



TOWN OF ELIZABETH

**TOWN OF ELIZABETH
MAIN STREET BOARD OF DIRECTORS WORKSHOP & REGULAR MEETING
Monday, February 12, 2024 at 8:30 AM
Town Hall, 151 S. Banner Street**

WORKSHOP AGENDA

Strategic Planning Effort and 2024 Workplan with Melissa Antol

Regular Meeting Scheduled to Begin at Approximately 9:30 AM

CALL TO ORDER

ROLL CALL

AGENDA CHANGES

UNSCHEDULED PUBLIC COMMENT

CONSENT AGENDA

1. Minutes of the Rescheduled Regular Meeting of January 22, 2024

NEW BUSINESS

2. Discussion and possible action regarding election of 2024 Officers
3. Discussion regarding Main Street Station - Russ Berget
4. Discussion regarding 2024 Main Street Networking Event

STAFF REPORT

5. Staff Report

BOARD REPORTS

ADJOURNMENT



**MAIN STREET BOARD OF DIRECTORS – RECORD OF PROCEEDINGS
JANUARY 22, 2024**

CALL TO ORDER

The Regular Meeting of the Main Street Board of Directors was called to order on Monday, January 22, 2024, at 8:32 AM by Vice President Linda Bulmer.

ROLL CALL

Present were Vice President Linda Bulmer, and Board Members Jeff Struthers, Michael Hussey, Brandon Jeffress, and Carrie Wedel. President Tedd Lipka and Member Kurt Prinslow were not present. There was a quorum to conduct business.

Also present were Community Development Director Zach Higgins, Planner/Project Manager Alexandra Cramer, Town Clerk Michelle Oeser, and Community Development Administrative Assistant Dianna Hiatt.

AGENDA CHANGES

No changes from Staff.

No changes from the Board.

Agenda set.

UNSCHEDULED PUBLIC COMMENT

There was no unscheduled public comment.

CONSENT AGENDA

1. Minutes of the Regular Meeting of December 11, 2023

Motion by Mr. Hussey, seconded by Mr. Jeffress, to approve the minutes from December 11, 2023.

The vote of those Board Members present was unanimously in favor. Motion carried.



NEW BUSINESS

2. Discussion and possible action regarding Main Street Board of Directors Resolution 24-01, a Resolution Establishing a Designated Public Place for the Posting of Meeting Notices Pursuant to C.R.S. 24-6-402(2)(c)

Ms. Oeser provided a Staff report.

Motion by Ms. Wedel, seconded by Mr. Hussey, to approve Resolution 24-01, a Resolution Establishing a Designated Public Place for the Posting of Meeting Notices Pursuant to C.R.S. 24-6-402(2)(c).

The vote of those Board Members present was unanimously in favor. Motion carried.

3. Discussion regarding Locable (8:30 am)

Mr. Higgins provided a Staff report. Brian Ostrovsky gave a presentation on Locable.

4. Discussion regarding Munibit (9:15 am)

Mr. Higgins provided a Staff report. Walton Shilling gave a presentation on Munibit.

After discussion, the Main Street Board of Directors recommended moving forward with Locable.

5. Discussion regarding 501(c)3 status with Gillian Laycock, Hugo Main Street Manager (10:00 am)

Mr. Higgins introduced the Board to Gillian Laycock. Ms. Laycock provided information and discussion on the ins and outs of becoming a 501(c)3.

STAFF REPORTS

- Community Development Director Zach Higgins:
 - Provided a streetscape update.
 - Discussion on Gesin lot presentation to the Board of Trustees.
 - Stated the planned archway is moving forward.
 - Discussed applying for Hometown Grant for \$50,000.00.
 - 2023 ornament sales went great this year. All current and past ornaments have been sold.
 - Reminder that the Main Street Now Conference is coming up soon.



- Maverik is moving forward.
- Historic Advisory Board working on a District creation with guidelines.
- Joint workshops with the Board have been established.
- Discussion on the MSBOD strategic plan. Meeting dates were provided.

BOARD REPORTS

- Vice President Bulmer provided updates regarding:
 - Main Street Station

ADJOURNMENT

Motion by Mr. Hussey, seconded by Ms. Wedel, to adjourn the meeting at 11:00 AM.
The vote of those Board Members present was unanimously in favor. Motion carried.

President Tedd Lipka

Deputy Town Clerk Harmony Malakowski



TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

TO: Main Street Board of Directors
FROM: Zach Higgins, AICP Community Development Director
DATE: January 08, 2024
SUBJECT: Officer Elections

SUMMARY

Per the MSBOD Bylaws, officer elections are to be held the first meeting of each year. The President position shall run meetings. The Vice President shall run meetings in the absence of the President and shall assume the position of President in the instance that the President's seat is vacated or is removed.

RECOMMENDATION

Staff recommends the Main Street Board nominate and elect a President and Vice President for 2024.

ATTACHMENT(S)

N/A

SITE PLAN FOR MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES LOCATED AT: 556 & 620 S MAIN STREET

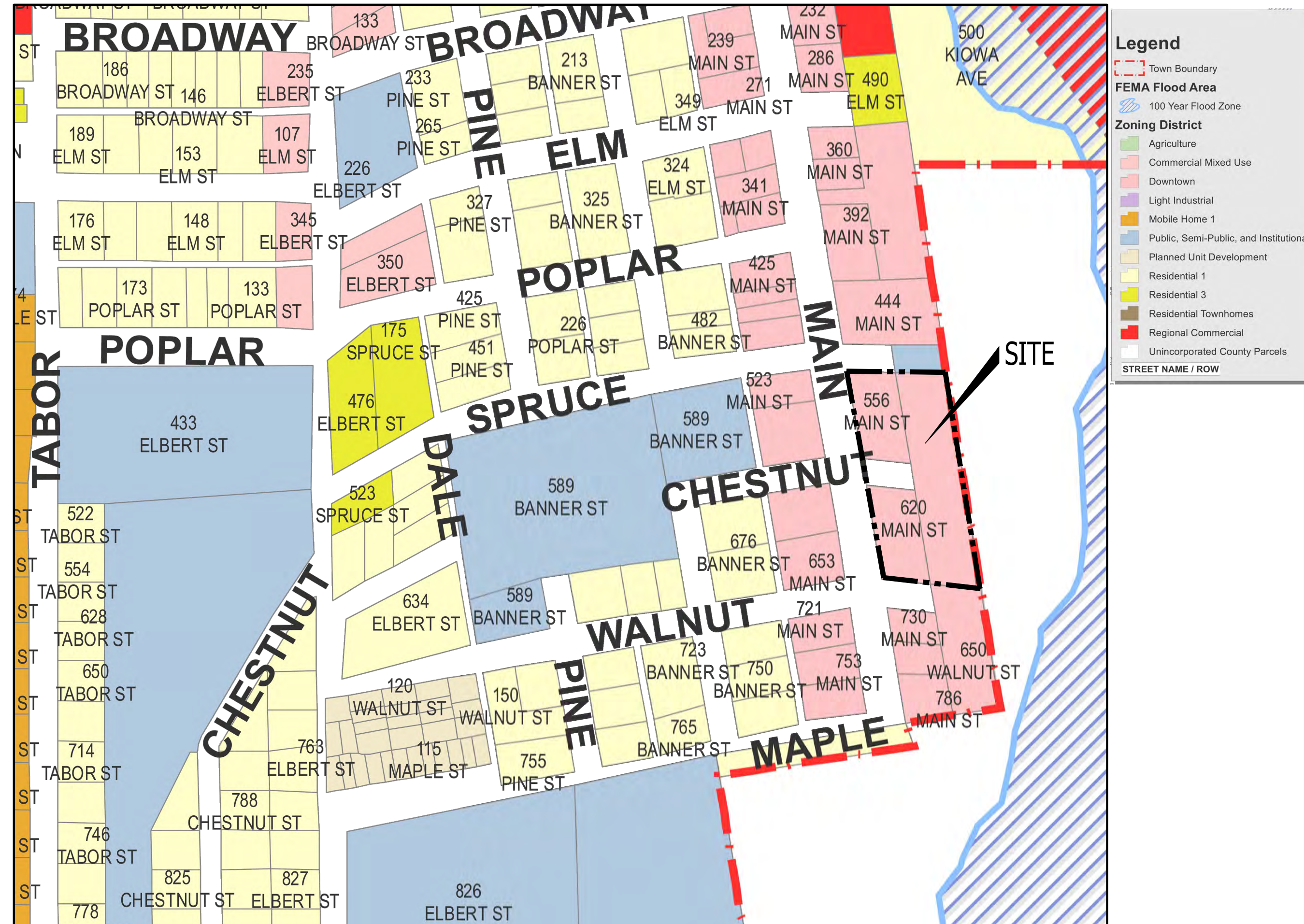
GENERAL SITE DATA	
ZONING:	DOWNTOWN
CURRENT USE:	VACANT
PROPOSED USE:	COMMERCIAL MIXED USE
PROPERTY AREA:	92,497 SF - 2.12 ACRES
DISTURBED AREA(LOC)	2.47 ACRES
LATITUDE:	39° 21' 30" N
LONGITUDE:	104° 35' 41" W

PROJECT DESCRIPTION
PROJECT DESCRIPTION:
THE OWNER PROPOSES TO CONSTRUCT TWO, TWO-STORY MIXED USE COMMERCIAL BUILDINGS IN TWO PHASES.

EXISTING CONDITIONS:
THE PROJECT AREA IS ZONED DOWNTOWN AND IS CURRENTLY VACANT. EXISTING RUNOFF IS CURRENTLY ROUTED EAST THROUGH BLOCK 14 AND IS UNDETAINED. WATER, SEWER, ELECTRIC, & GAS SERVICES ARE LOCATED IN THE MAIN STREET RIGHT OF WAY.

PROPOSED CONDITIONS:
THE OWNER PROPOSES TO CONSTRUCT TWO, TWO-STORY MIXED USE COMMERCIAL BUILDING IN TWO PHASES. THE BUILDINGS WILL RECEIVE UTILITY SERVICES FROM THE EXISTING MAIN STREET RIGHT OF WAY. INLETS WILL BE CONSTRUCTED IN THE MAIN STREET RIGHT OF WAY TO ACCOMMODATE THE EXISTING DRAINAGE PATTERNS. THESE FLOWS WILL BE ROUTED AROUND THE SITE TO THE NORTH IN A PROPOSED STORM SEWER. ALL OTHER SITE FLOWS WILL BE ROUTED THROUGH A 2-ZONE SAND FILTER.

GENERAL SITE DATA:	
LOT 1 - (PHASE 1)	
AREA:	1.07 AC
# BLDGS:	1
GROSS FLOOR AREA:	19,056 SF
UNDER ROOF COVERAGE:	9,670 SF
BLDG HEIGHT:	25 FEET
USE:	FLOOR 1 - COMMERCIAL MIXED USE FLOOR 2 - OFFICE SPACE
LOT 2 - (PHASE 2)	
AREA:	1.05 AC
# BLDGS:	1
GROSS FLOOR AREA:	28,686 SF
UNDER ROOF COVERAGE:	9,670 SF
BLDG HEIGHT:	28.75 FEET
USE:	FLOOR 1 - COMMERCIAL MIXED USE FLOOR 2 - OFFICE SPACE OR UP TO 9 ATTACHED SINGLE FAMILY RESIDENTIAL DWELLING UNITS
PARKING TOTALS	
TOTAL STALLS	111
STANDARD STALLS	105
TOTAL ADA STALLS	6
STANDARD ADA STALLS	4
VAN ADA STALLS	2
PHASE 1	
TOTAL STALLS	71
STANDARD STALLS	68
TOTAL ADA STALLS	3
STANDARD ADA STALLS	2
VAN ADA STALLS	1
PHASE 2	
TOTAL STALLS	40
STANDARD STALLS	37
TOTAL ADA STALLS	3
STANDARD ADA STALLS	2
VAN ADA STALLS	1



VICINITY MAP
SCALE: 1" = 200'-0"
SECTION-18 TOWNSHIP-8 S RANGE-64 W

LEGAL DESCRIPTION

A PARCEL OF PROPERTY LOCATED IN THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST OF THE 6TH. P.M., TOWN OF ELIZABETH, COUNTY OF ELBERT, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 14 OF PHILLIPS ADDITION TO THE TOWN OF ELIZABETH, AS RECORDED IN PLAT BOOK 2, PAGE 37, AND CONSIDERING THE NORTH LINE OF SAID BLOCK 14 TO BEAR N80°48'59"E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE N80°48'59"E, ALONG SAID NORTH LINE, A DISTANCE OF 99.62 FEET; THENCE N81°10'24"E, ALONG THE SOUTH LINE OF RIGHT-OF-WAY DESCRIBED IN REC. NO. 360818, A DISTANCE OF 109.11 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF THE FORMER COLORADO AND SOUTHERN RAILROAD AS DESCRIBED IN BOOK 22, AT PAGE 123 OF THE ELBERT COUNTY RECORDS; THENCE S04°39'26"E, ALONG SAID FORMER EAST R.O.W. LINE, A DISTANCE 118.10 FEET; THENCE S09°02'02"E, CONTINUING ALONG SAID FORMER EAST R.O.W. LINE, A DISTANCE OF 342.22 FEET TO THE INTERSECTION OF SAID FORMER EAST R.O.W. LINE AND THE EASTERLY EXTENTION OF THE SOUTH LINE OF BLOCK 15, PHILLIPS ADDITION TO THE TOWN OF ELIZABETH, AS RECORDED IN PLAT BK. 2, PG 37 IN THE OFFICE OF THE ELBERT COUNTY CLERK AND RECORDER; THENCE S80°51'46"W, A DISTANCE OF 99.84 FEET TO THE SOUTHEAST CORNER OF SAID BLOCK 15; THENCE S80°51'46"W, ALONG THE SOUTH LINE OF SAID BLOCK 15, A DISTANCE OF 99.95 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 15; THENCE 09°01'26"W, ALONG THE WEST LINE OF BLOCKS 15 AND 14 OF SAID PHILLIPS ADDITION TO THE TOWN OF ELIZABETH, A DISTANCE OF 460.47 FEET TO THE NORTHWEST CORNER OF BLOCK 14 OF PHILLIPS ADDITION TO THE TOWN OF ELIZABETH AND THE POINT OF BEGINNING, SAID PARCEL CONTAINING 2.12 ACRES MORE OR LESS, TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO.

BASIS OF BEARING & BENCHMARKS

NGS BENCHMARK DESIGNATION X336, PID: KK0308, USGS QUAD: ELIZABETH (1994) LAT: 39.36186 (Dec.) LONG: 104.60664 (Dec.) ELEVATION: 6571.77'

DT ZONING DISTRICT DIMENSIONAL STANDARDS

BLDG HEIGHT:	30' MAX. HEIGHT
SETBACKS:	0' - FRONT-PUBLIC RIGHT OF WAY 0' - REAR 0' - INTERIOR SIDE 5' - STREET SIDE-PUBLIC RIGHT OF WAY
MIN. LOT SIZE:	800 SF
MAX. LOT COVERAGES:	
UNDER ROOF	70%
MIN. VEGETATIVE AREA	5%

CONSULTANT CONTACTS

APPLICANT/DEVELOPER: MAIN STREET STATION ELIZABETH LLC
CONTACT: RUSS BERGET
(303)-667-7218

CIVIL ENGINEER: CANYON CREEK ENGINEERING, LLC
PO BOX 3072, PARKER, CO 80134
CONTACT: PHIL GIESING, P.E.
(303)-805-1803

ARCHITECT: WANGTASTIC ARCHDESIGN LLC
27972 E 7TH PL
AURORA, CO 80018
CONTACT: ALAN LI
720.238.9094

LANDSCAPE ARCH: WESTERN LANDS LLC
11038 TWENTY MILE ROAD
PARKER, CO 80134
CONTACT: TOM ROBERTS
720-936-9973

SHEET INDEX

C1.0 (1 OF 17)	COVER SHEET
C2.0 (2 OF 17)	SITE DIMENSION PLAN
C3.0 (3 OF 17)	SITE UTILITY PLAN
C4.0 (4 OF 17)	SITE GRADING PLAN - PHASE 1
C5.0 (5 OF 17)	SITE GRADING PLAN - PHASE 2
C6.0 (6 OF 17)	TRASH ENCLOSURE DETAILS
L1.0 (7 OF 17)	LANDSCAPE & IRRIGATION PLAN
L2.0 (8 OF 17)	LANDSCAPE & IRRIGATION PLAN
P3.1 (9 OF 17)	BUILDING 1 ELEVATIONS
P3.2 (10 OF 17)	BUILDING 2 ELEVATIONS
P3.3 (11 OF 17)	AVERAGE BUILDING HEIGHT
P7.1 (12 OF 17)	BUILDING 1 MATERIALS
P7.2 (13 OF 17)	BUILDING 2 MATERIALS
E1.0 (14 OF 17)	PHOTOMETRIC PLAN
E2.0 (15 OF 17)	PHOTOMETRIC DETAILS & SCHEDULE
E3.0 (16 OF 17)	LIGHT FIXTURE CUTSHEETS
E4.0 (17 OF 17)	LIGHT FIXTURE CUTSHEETS

APPLICANT/DEVELOPER SIGNATURE BLOCK

MAIN STREET STATION ELIZABETH LLC _____ DATE _____

CIVIL PLANNING STRUCTURAL

CANYON CREEK ENGINEERING

cce@canyoncreekengineering.com
PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:

MAIN STREET STATION ELIZABETH LLC

COVER SHEET

MAIN STREET STATION - SITE PLAN

PART OF SEC. 18, T8S, R64W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

#18-123

DATE: 1ST SUBMITTAL 9-21-23

C1.0

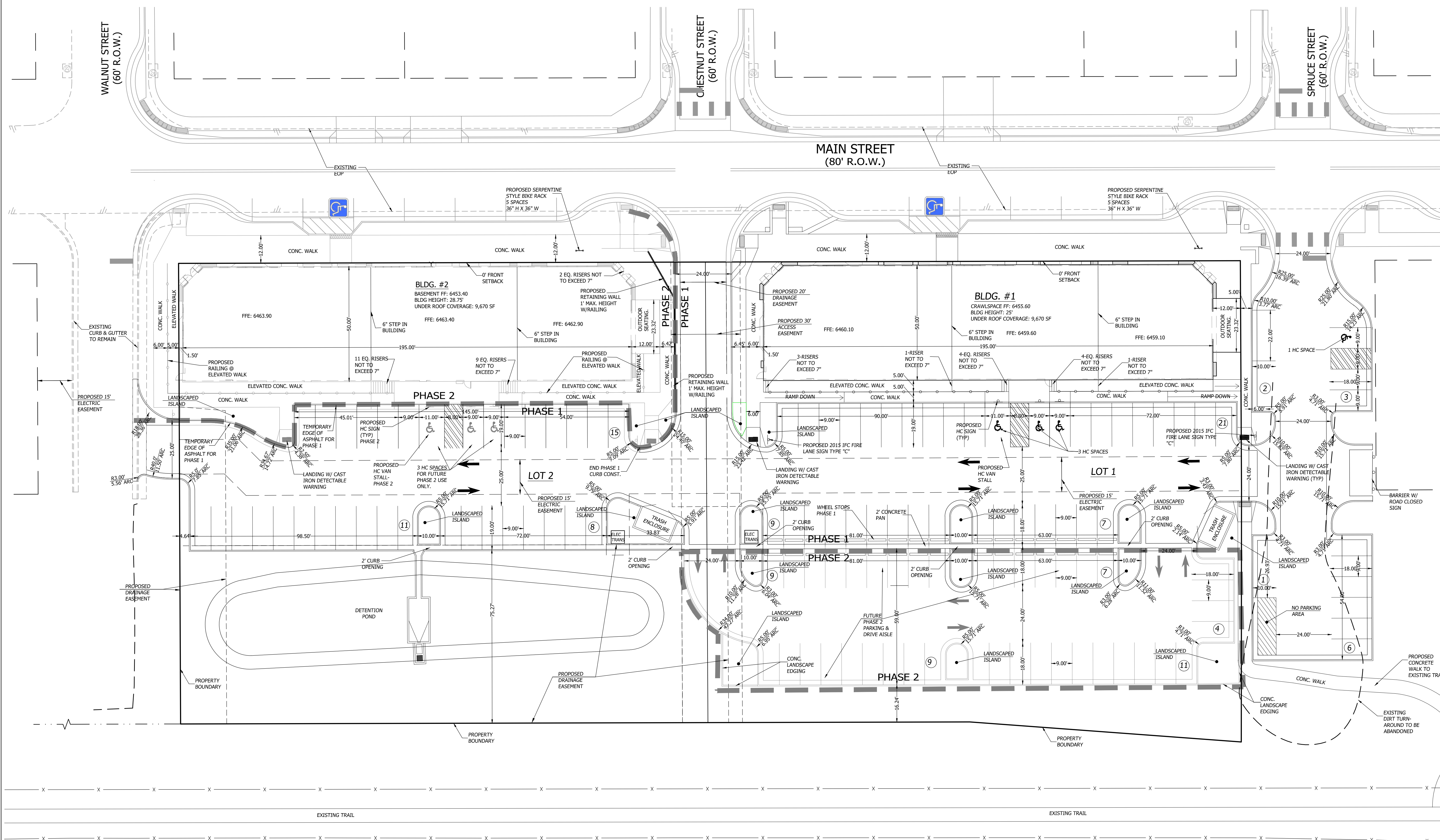
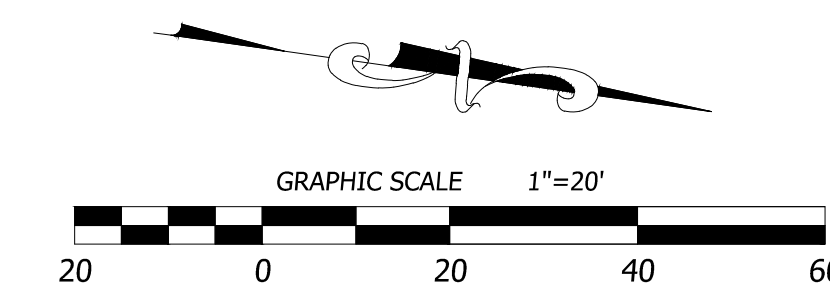
1 OF 17

DATE OF PREPARATION: 02-06-2024

Page 6

DIMENSION SITE PLAN MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES
LOCATED AT: 556 & 620 S MAIN STREET



CIVIL
PLANNING
STRUCTURAL

CANYON CREEK ENGINEERING

cce@canyoncreekeengineering.com
PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:
MAIN STREET STATION ELIZABETH LLC

DIMENSION SITE PLAN
MAIN STREET STATION - SITE PLAN
PART OF SEC. 18, T8S, R64W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

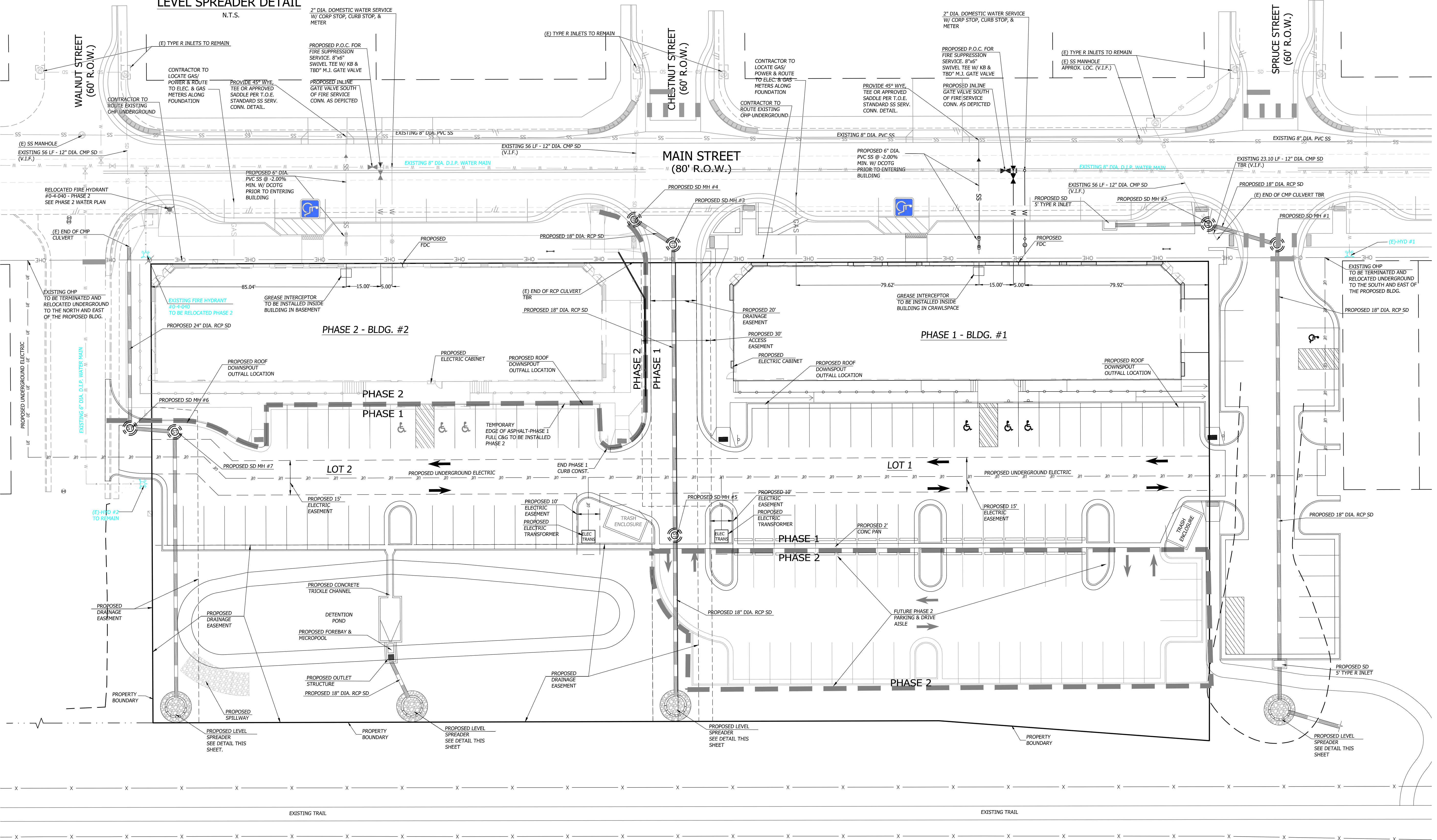
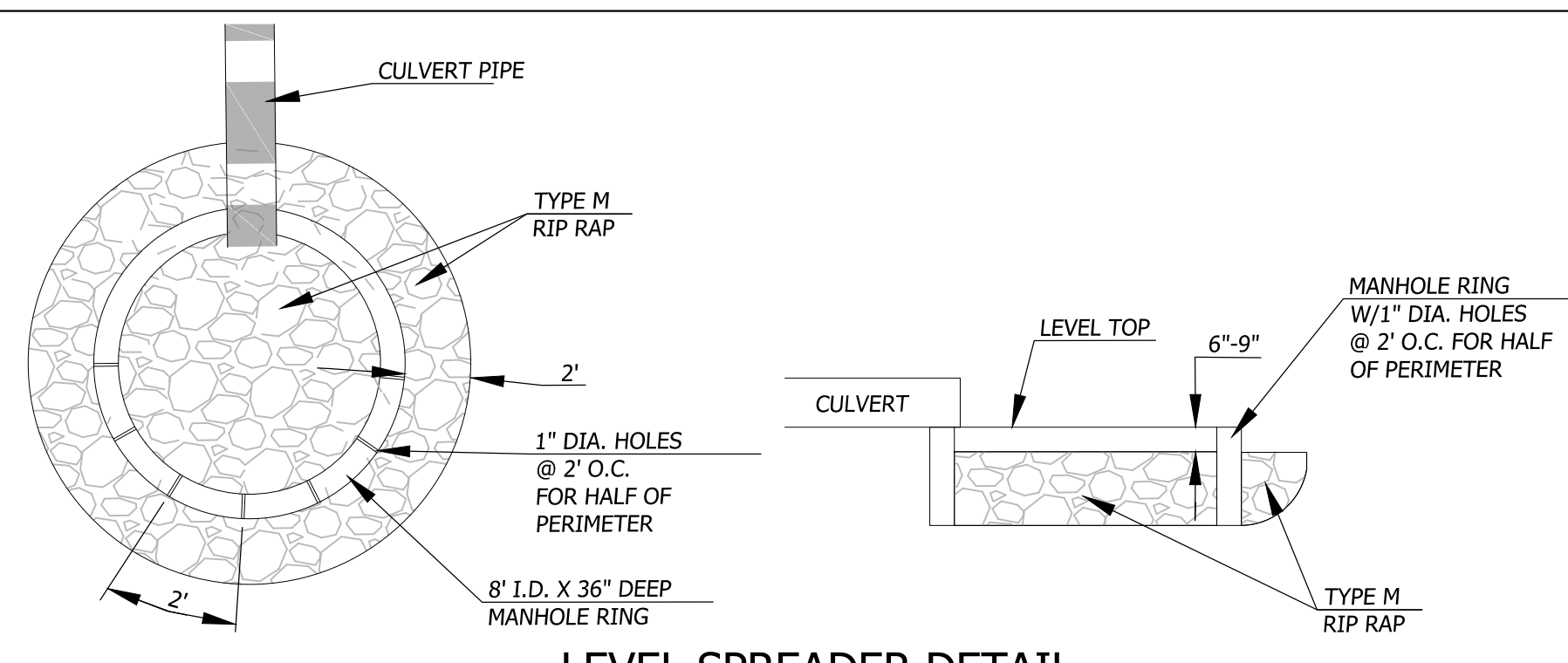
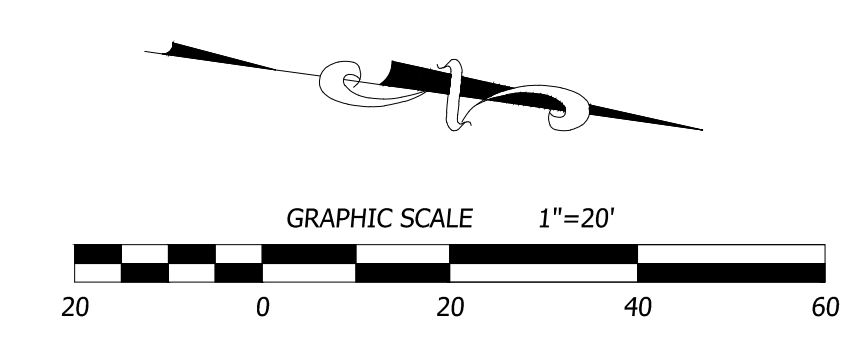
#18-123
DATE: 1ST SUBMITTAL 9-21-23
TOWN REDLINES 2-06-24

C2.0
2 OF 17

DATE OF PREPARATION: 02-06-2024

UTILITY PLAN MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES
LOCATED AT: 556 & 620 S MAIN STREET



CIVIL
PLANNING
STRUCTURAL
CANYON CREEK ENGINEERING
 cce@canyoncreekeengineering.com
 PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:
MAIN STREET STATION ELIZABETH LLC

UTILITY PLAN
MAIN STREET STATION - SITE PLAN
 PART OF SEC. 18, T8S, R64W, 6TH P.M.
 TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

#18-123
 DATE: 1ST SUBMITTAL 9-21-23
 TOWN REDLINES 2-06-24

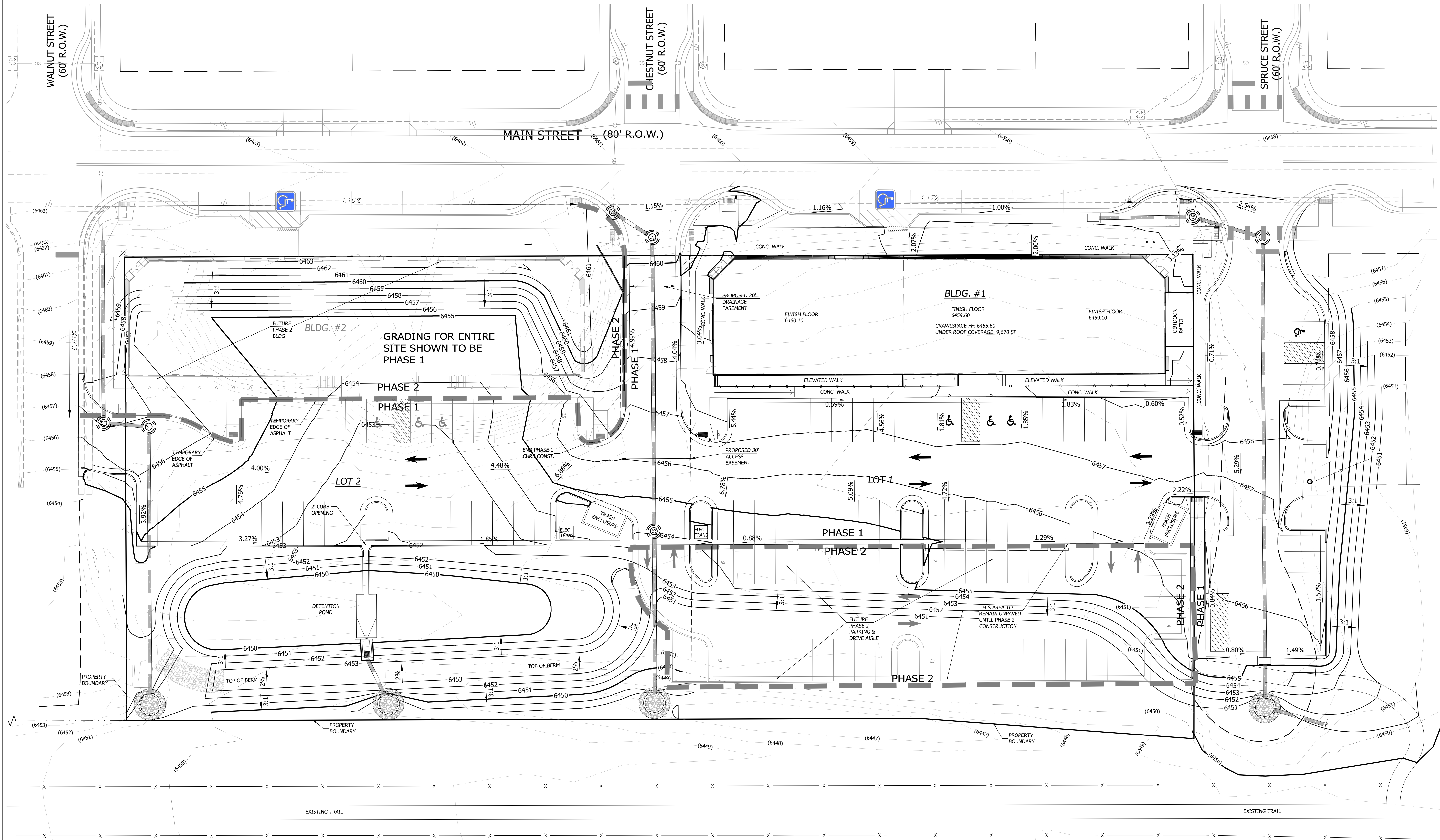
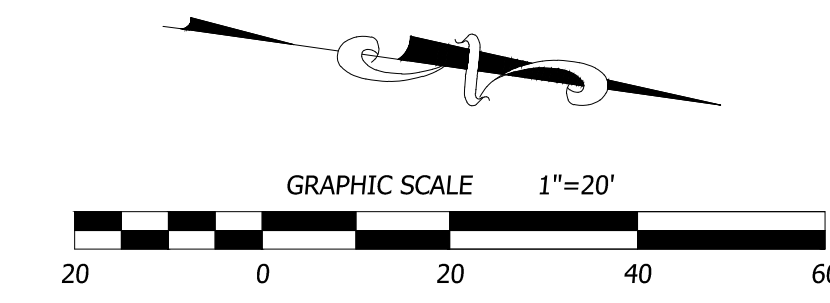
C3.0
 3 OF 17

DATE OF PREPARATION: 02-06-2024

GRADING PLAN MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES
LOCATED AT: 556 & 620 S MAIN STREET

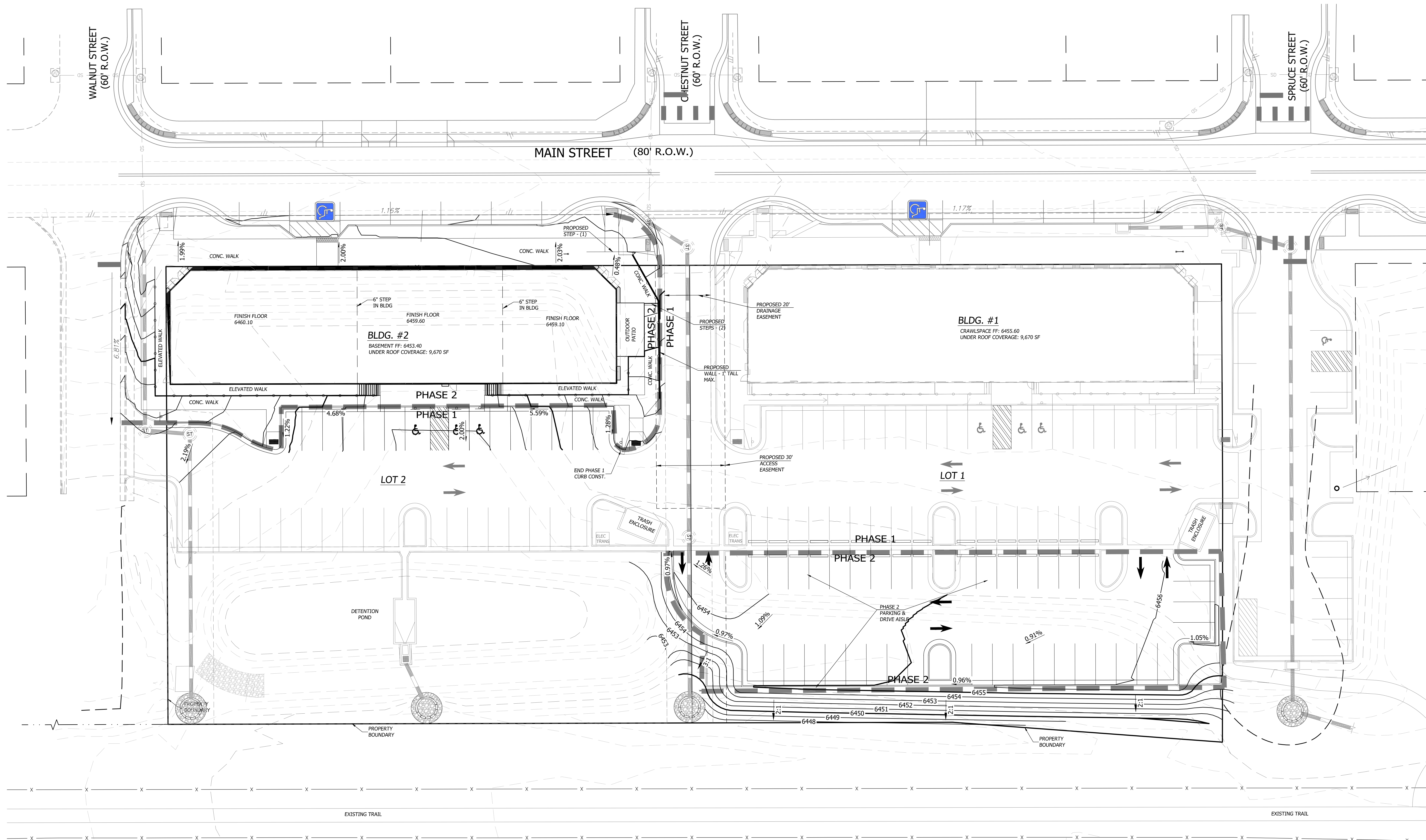
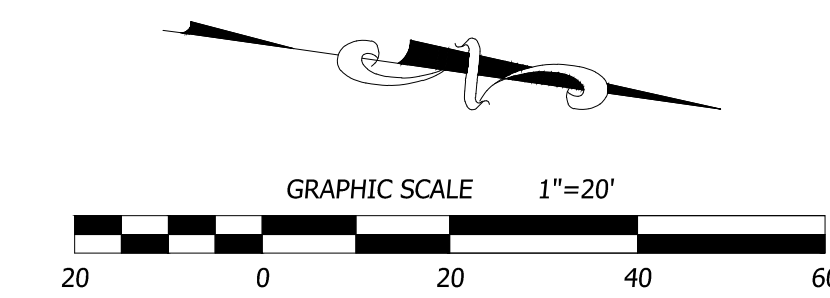
EARTHWORK:
TOTAL SITE: 6001 CU YD FILL (IMPORT)
POND VOLUME: 0.34 AC FT



GRADING PLAN MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES
LOCATED AT: 556 & 620 S MAIN STREET

EARTHWORK:
TOTAL SITE: 933 CU YD FILL (IMPORT)



CIVIL
PLANNING
STRUCTURAL

CANYON CREEK ENGINEERING

cce@canyoncreekeengineering.com
PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:

MAIN STREET STATION ELIZABETH LLC

GRADING PLAN - PHASE 2

MAIN STREET STATION - SITE PLAN

PART OF SEC. 18, T8S, R64W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

#18-123
DATE: 1ST SUBMITTAL 9-21-23
TOWN REDLINES 2-06-24

C5.0
5 OF 17

DATE OF PREPARATION: 02-06-2024

TRASH ENCLOSURE DETAILS MAIN STREET STATION

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M.
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO
+/- 2.12 ACRES
LOCATED AT: 556 & 620 S MAIN STREET

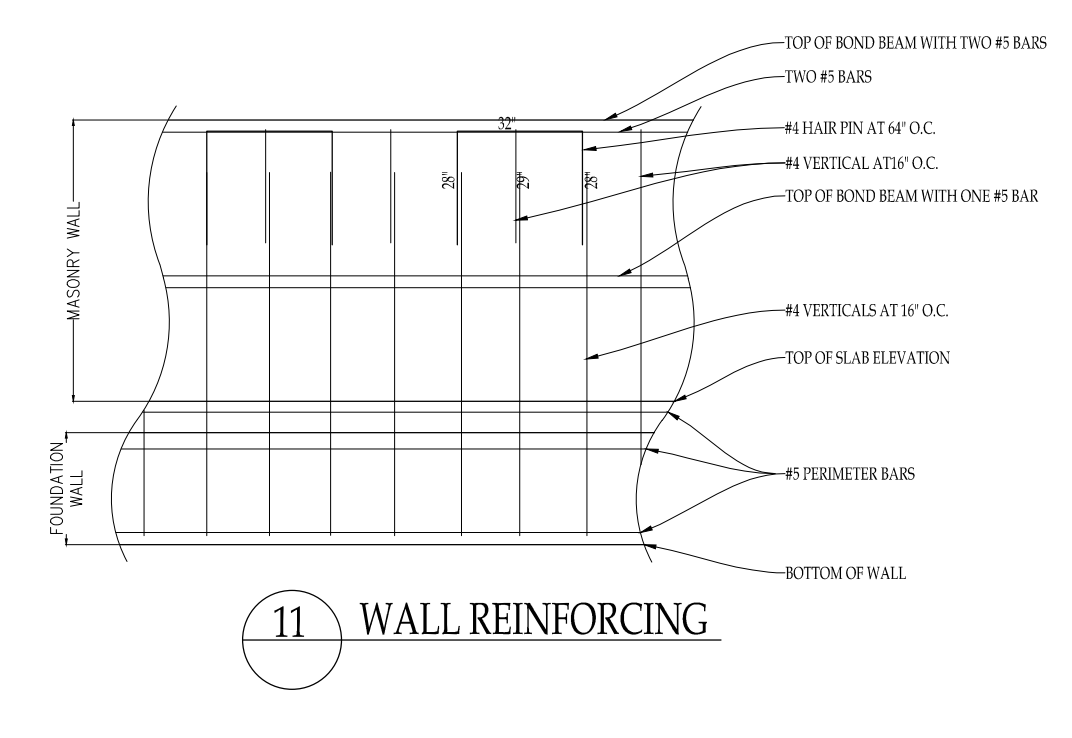
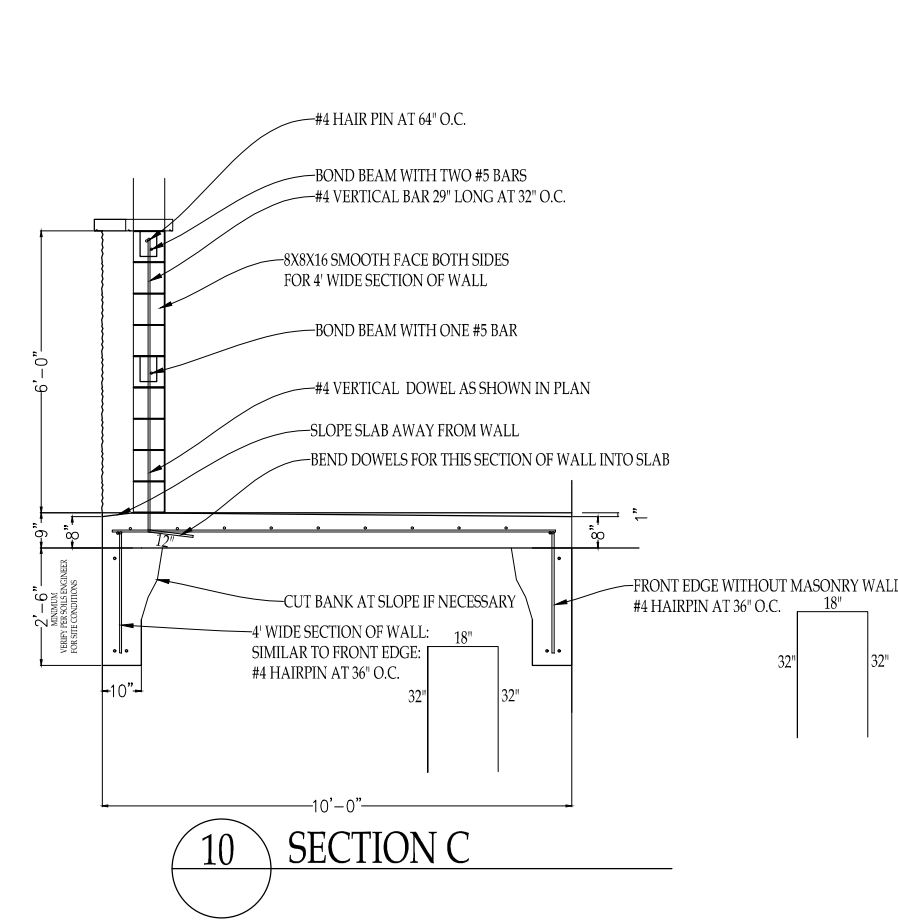
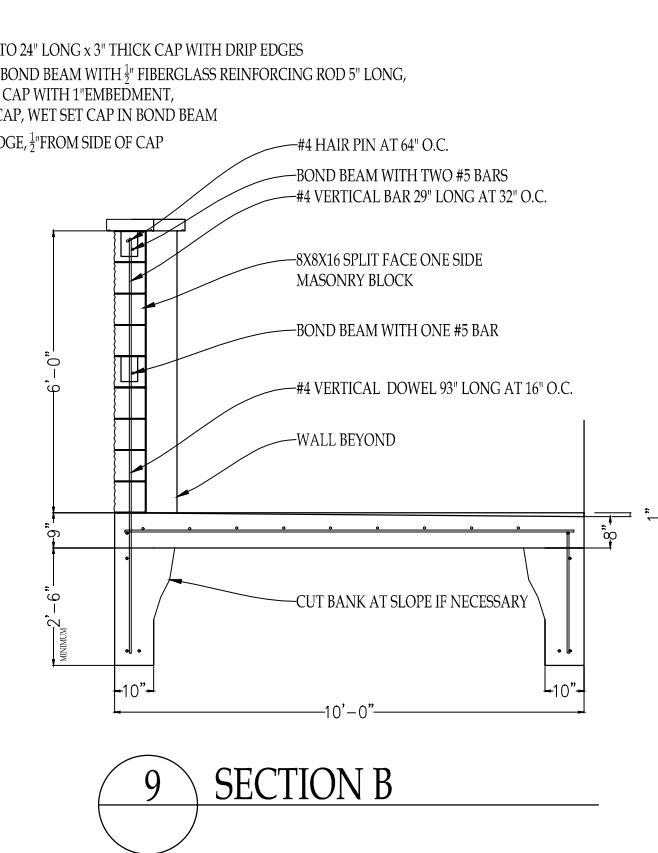
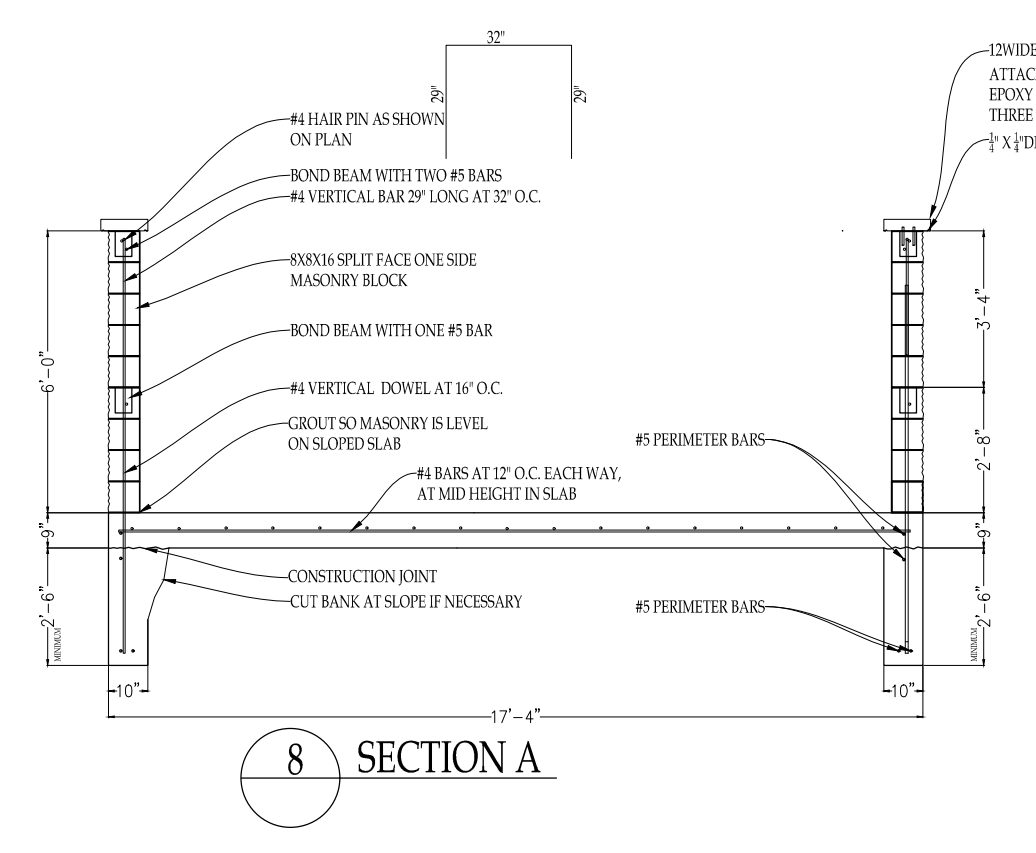
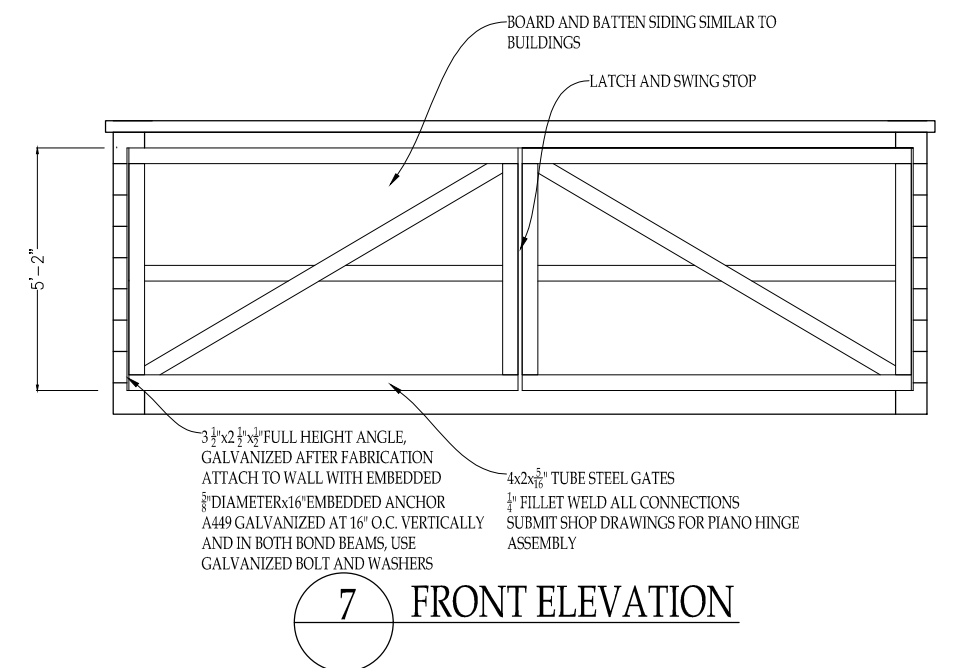
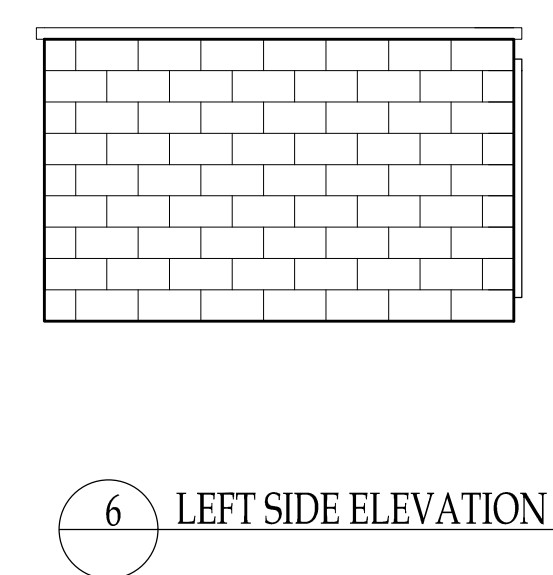
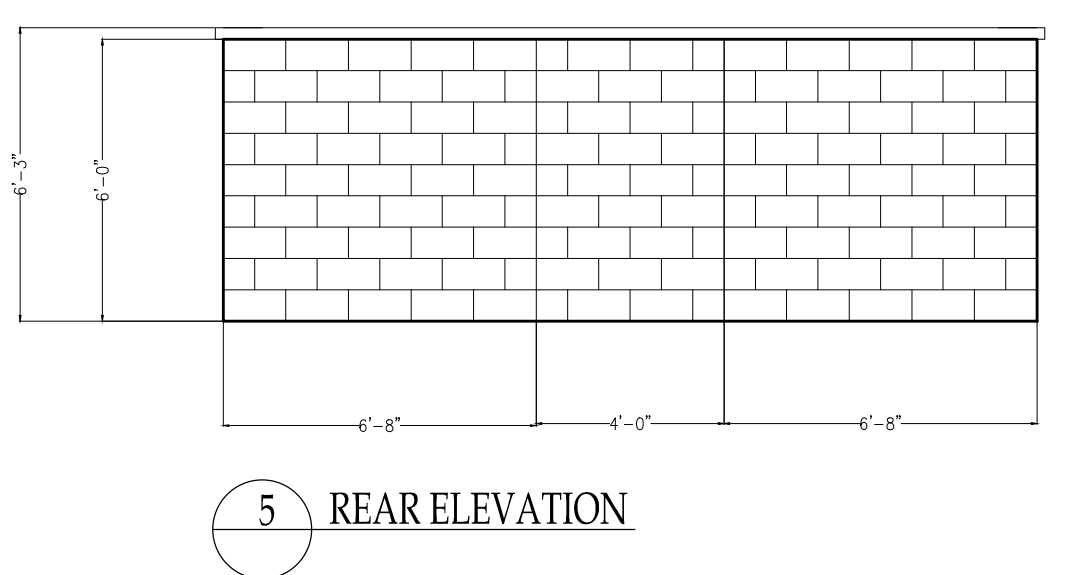
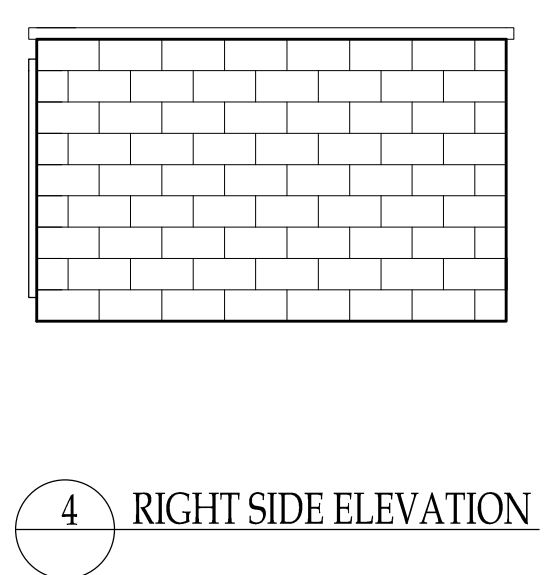
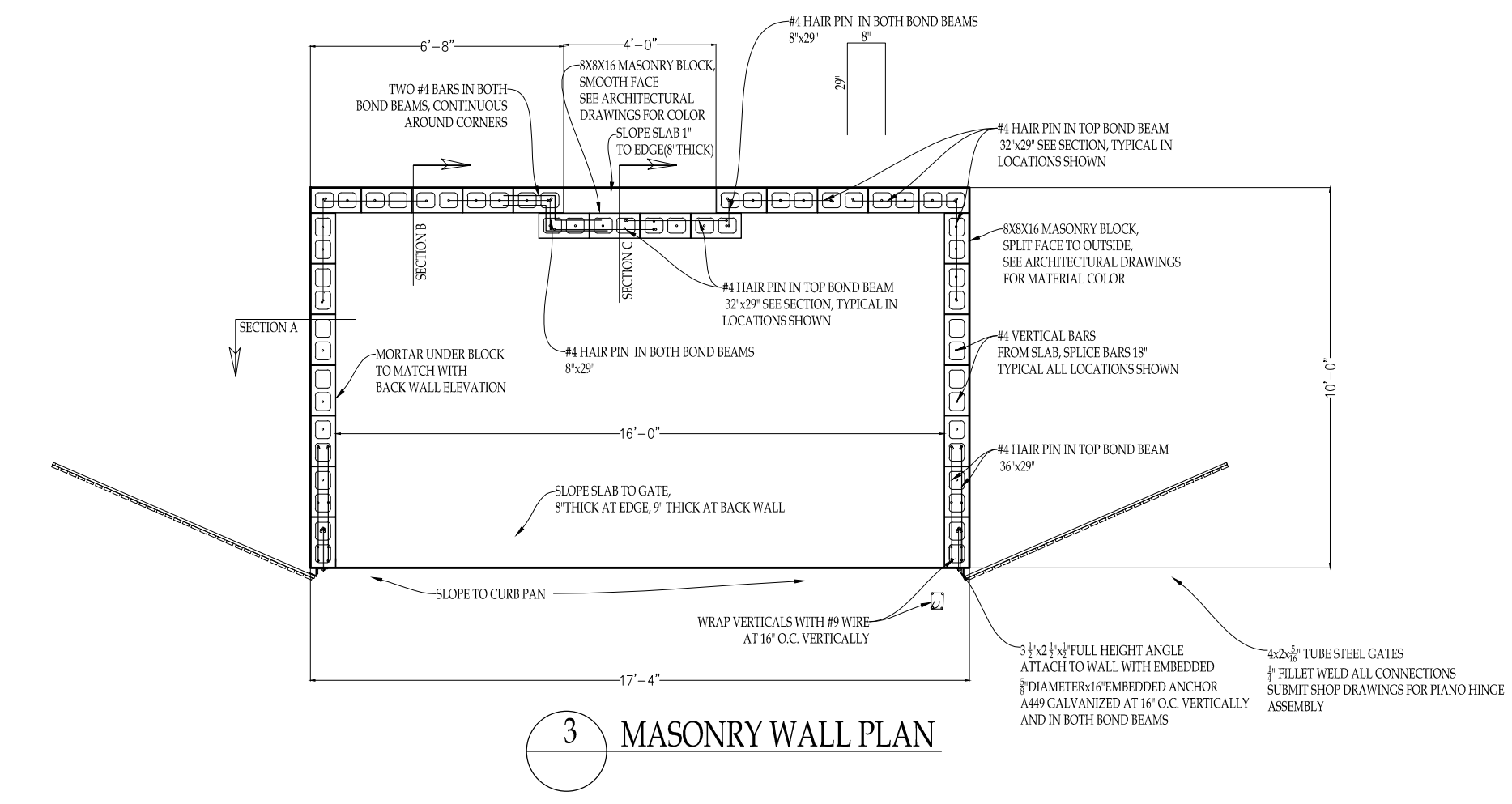
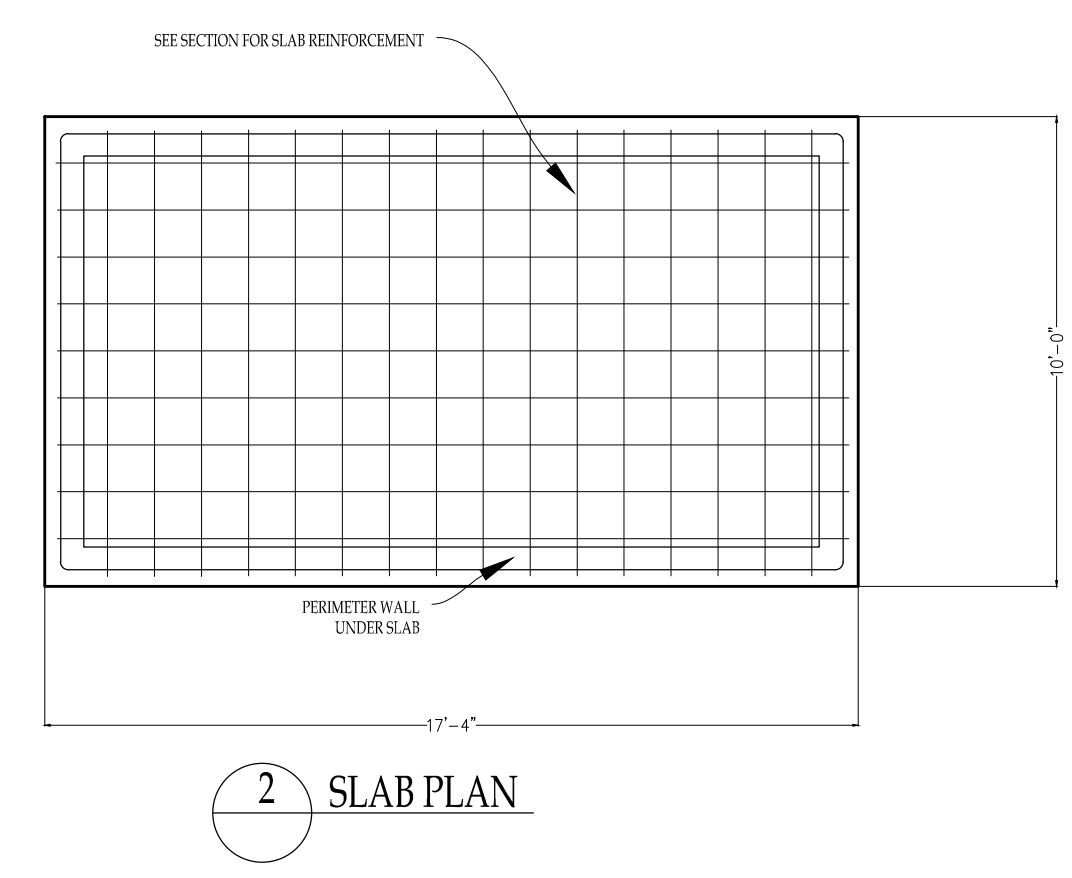
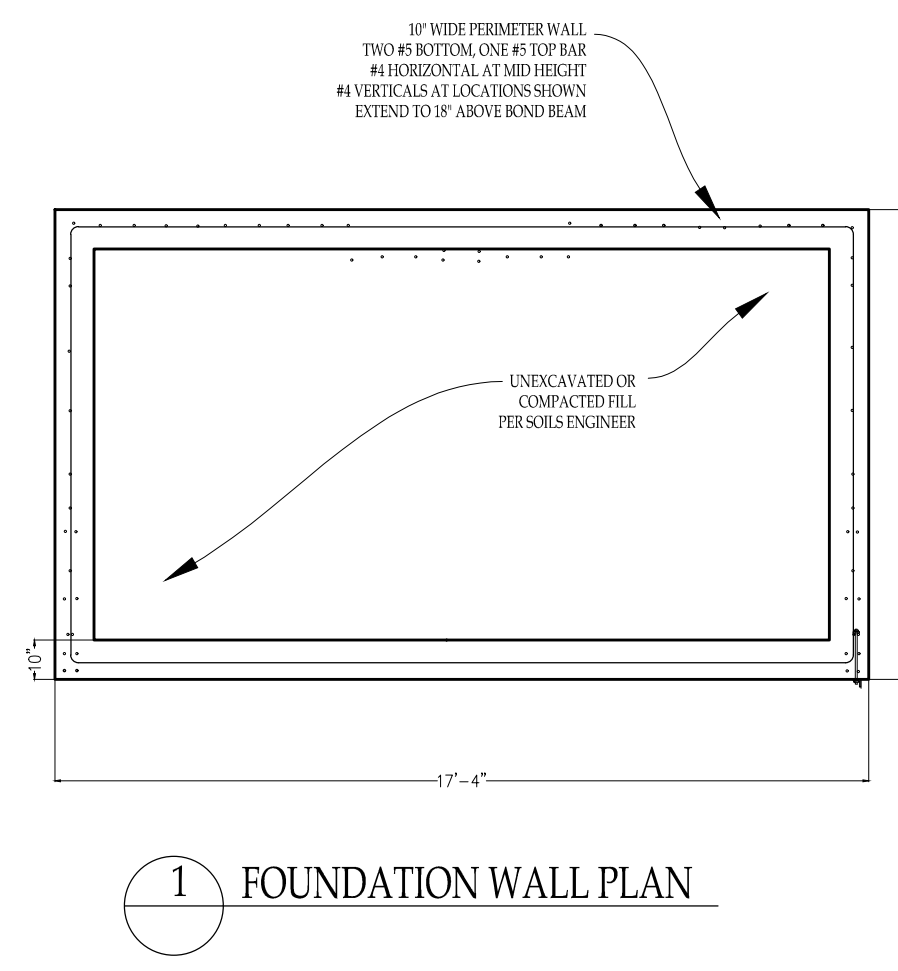
PROJECT FOR:
MAIN STREET STATION ELIZABETH LLC

TRASH ENCLOSURE DETAILS
MAIN STREET STATION - SITE PLAN
 PART OF SEC. 18, T8S, R64W, 6TH P.M.
 TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

18-123
DATE: 1ST SUBMITTAL 9-21-23
TOWN REDLINES 2-06-24

C6.0
6 OF 17

DATE OF PREPARATION: 02-06-2024





MAIN ST STATION COMMERCIAL BLDGS

556 S MAIN ST & 620 S MAIN ST
ELIZABETH, CO 80107

PROJECT CODE: 23-026
 ISSUE DATE: 08/07/2023
 CONCEPT DRAWINGS

REVISIONS		
DATE	NO.	DESCRIPTION

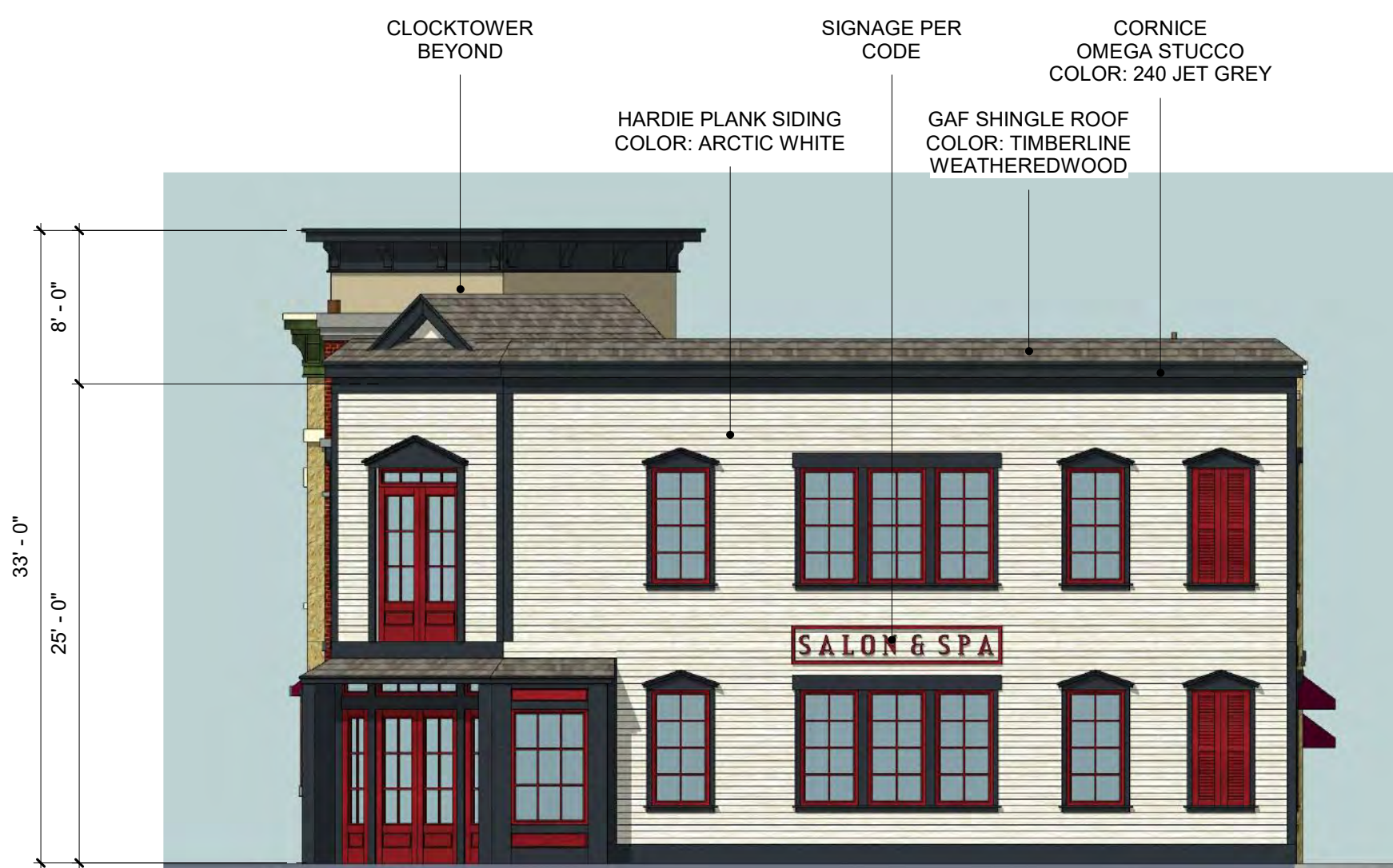
DRAWINGS
 PREPARED FOR:
**MAIN STREET
 STATION
 ELIZABETH LLC**
 5369 GRAND FIR WAY
 PARKER, CO 80134

SHEET NAME
**BUILDING 1 -
 ELEVATIONS**
 9 OF 17

SHEET NUMBER
P3.1



4 BUILDING 1 - REAR ELEVATION
1/8" = 1'-0"



3 BUILDING 1 - SIDE ELEVATION 2
1/8" = 1'-0"



2 BUILDING 1 - SIDE ELEVATION 1
1/8" = 1'-0"



1 BUILDING 1 - FRONT ELEVATION
1/8" = 1'-0"

9/20/2023 11:08:15 AM C:\Business\Architectural\Projects\2023\Projects\026_BEC_Bergel\Elizabeth\Commercial\Drawings\Rev\BEC_Bergel\Elizabeth\Commercial.rvt

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MAIN ST STATION COMMERCIAL BLDGS

556 S MAIN ST & 620 S MAIN ST
ELIZABETH, CO 80107

PROJECT CODE: 23-026
ISSUE DATE: 08/07/2023
CONCEPT DRAWINGS

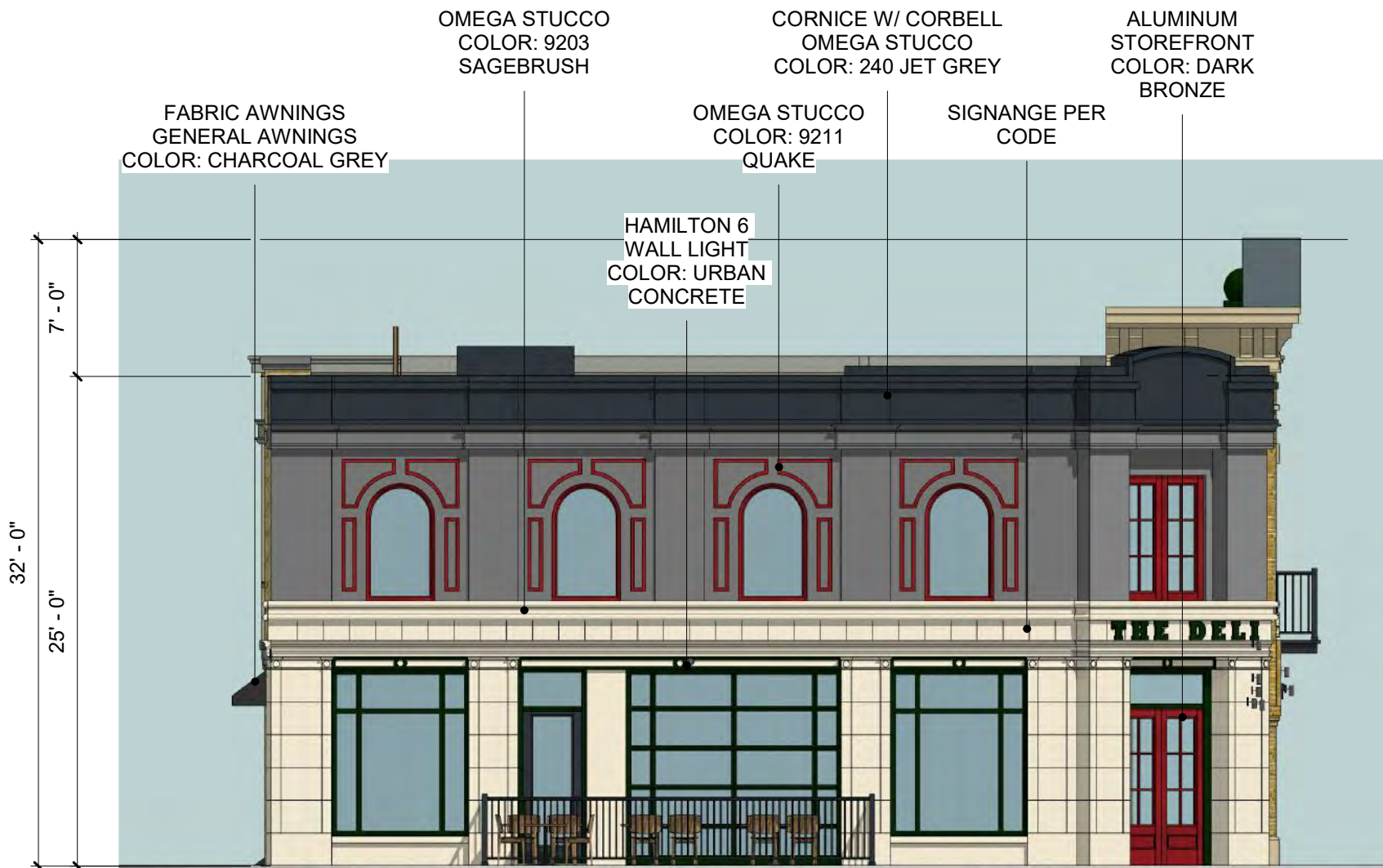
REVISIONS		
DATE	NO.	DESCRIPTION

DRAWINGS PREPARED FOR:
MAIN STREET STATION ELIZABETH LLC
5369 GRAND FIR WAY
PARKER, CO 80134

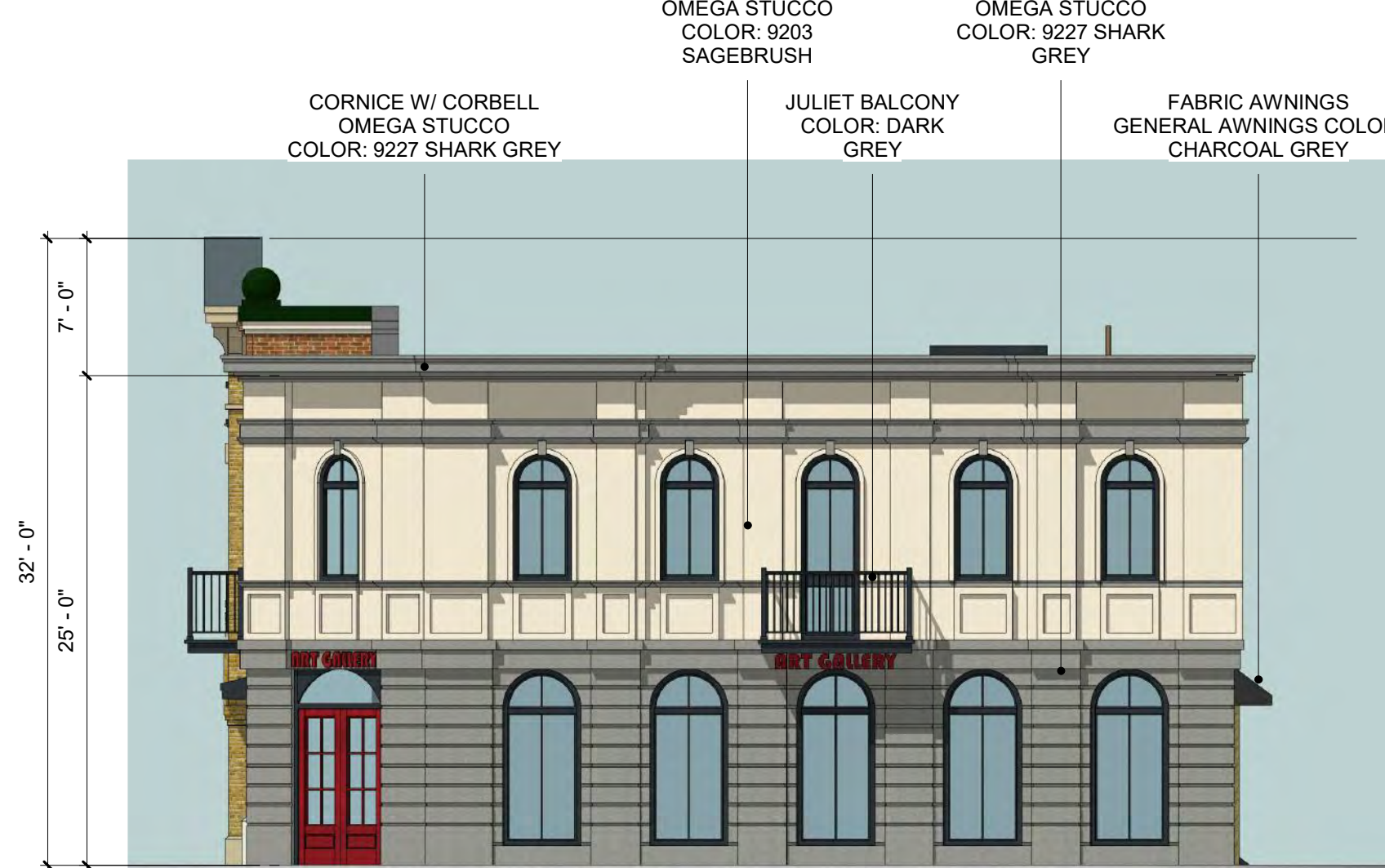
SHEET NAME
BUILDING 2 - ELEVATIONS
10 OF 17
SHEET NUMBER
P3.2



2 BUILDING 2 - REAR ELEVATION
1/8" = 1'-0"



3 BUILDING 2 - SIDE ELEVATION 1
1/8" = 1'-0"



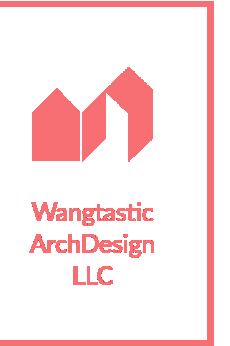
4 BUILDING 2 - SIDE ELEVATION 2
1/8" = 1'-0"



1 BUILDING 2 - FRONT ELEVATION
1/8" = 1'-0"

9/20/2023 11:08:16 AM C:\Business\Architectural\Projects\2023\Projects\026_BEC_Bergel\Elizabeth\Commercial\Drawings\Rev\BEC_Bergel\Elizabeth\Commercial.rvt

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MAIN ST STATION COMMERCIAL BLDGS

556 S MAIN ST & 620 S MAIN ST
ELIZABETH, CO 80107



2 BUILDING 2 - AVERAGE BUILDING HEIGHT
1" = 10'-0"



1 BUILDING 1 - AVERAGE BUILDING HEIGHT
1" = 10'-0"

PROJECT CODE: 23-026
ISSUE DATE: 08/07/2023

CONCEPT DRAWINGS

REVISIONS		
DATE	NO.	DESCRIPTION

DRAWINGS PREPARED FOR:
MAIN STREET STATION ELIZABETH LLC
5369 GRAND FIR WAY
PARKER, CO 80134

SHEET NAME

AVERAGE BUILDING HEIGHT
11 OF 17

SHEET NUMBER

P3.3



MAIN ST STATION COMMERCIAL BLDGS

556 S MAIN ST & 620 S MAIN ST
ELIZABETH, CO 80107

PROJECT CODE: 23-026
ISSUE DATE: 08/07/2023

CONCEPT DRAWINGS

REVISIONS		
DATE	NO.	DESCRIPTION

DRAWINGS
PREPARED FOR:
**MAIN STREET
STATION
ELIZABETH LLC**
5369 GRAND FIR WAY
PARKER, CO 80134

SHEET NAME
**BUILDING 1 -
MATERIALS
BOARD**

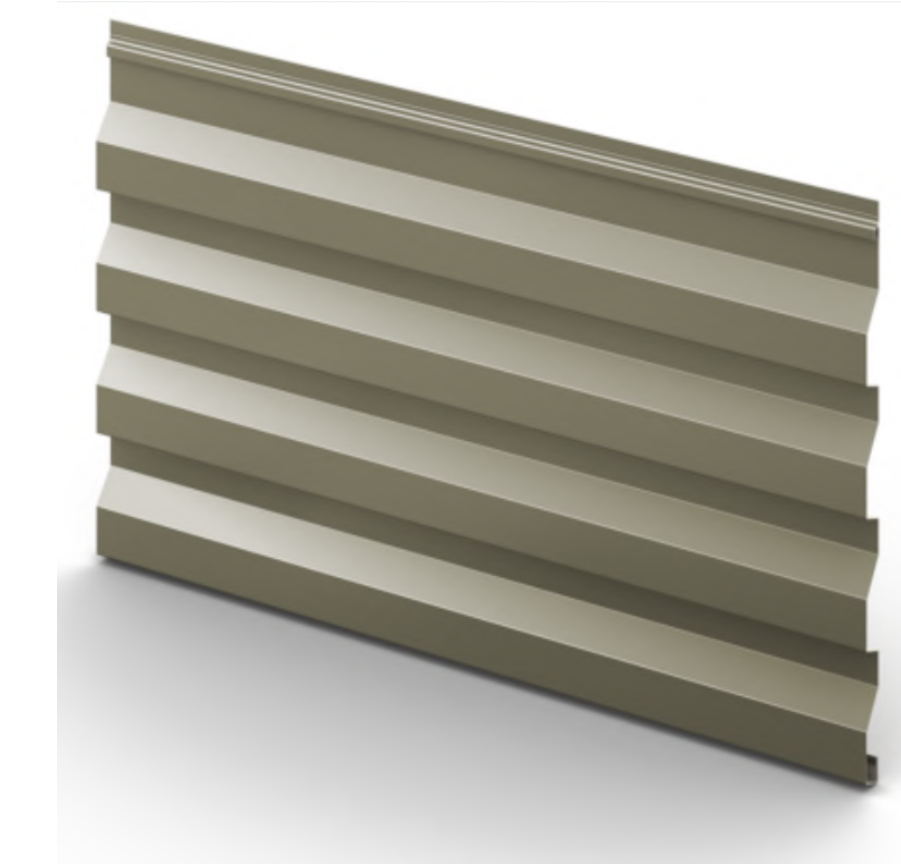
SHEET NUMBER
12 OF 17
P7.1



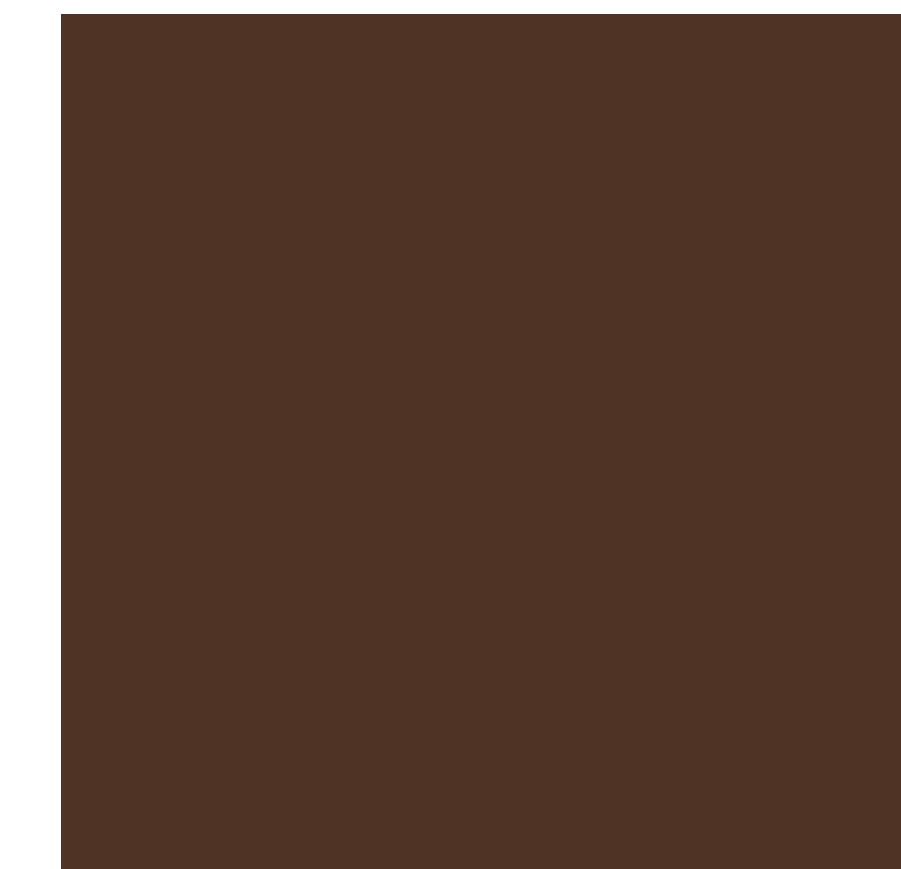
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OMEGA STUCCO.
COLOR: 9203 SAGEBRUSH



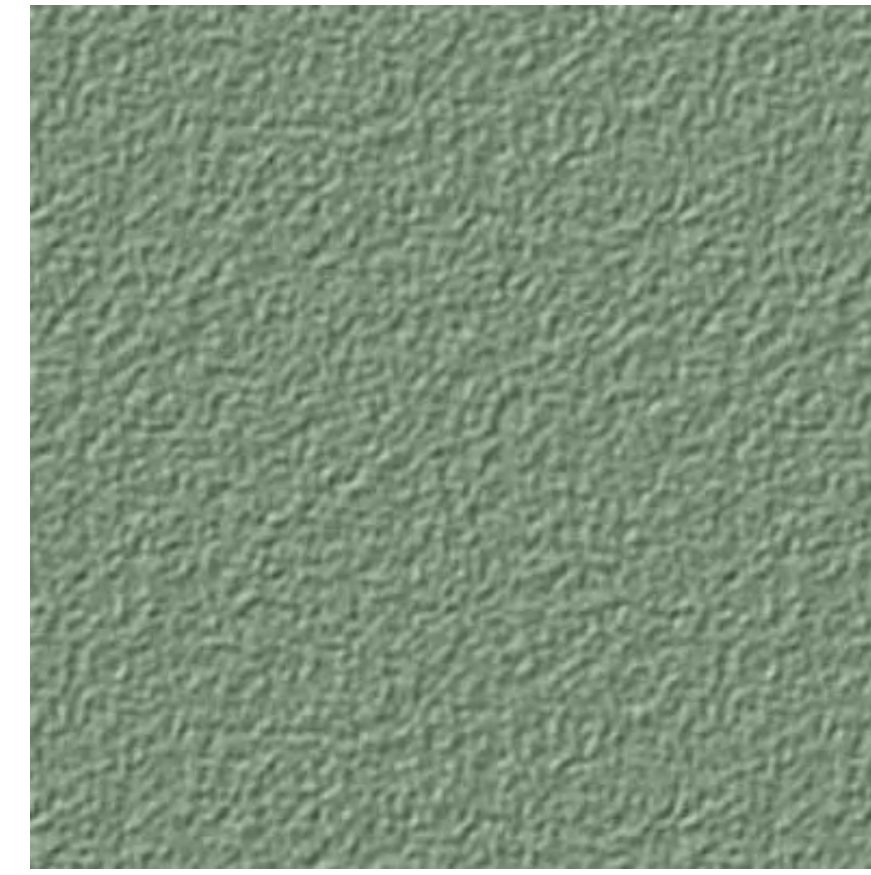
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HARDIE PLANK SIDING.
COLOR: ARCTIC WHITE



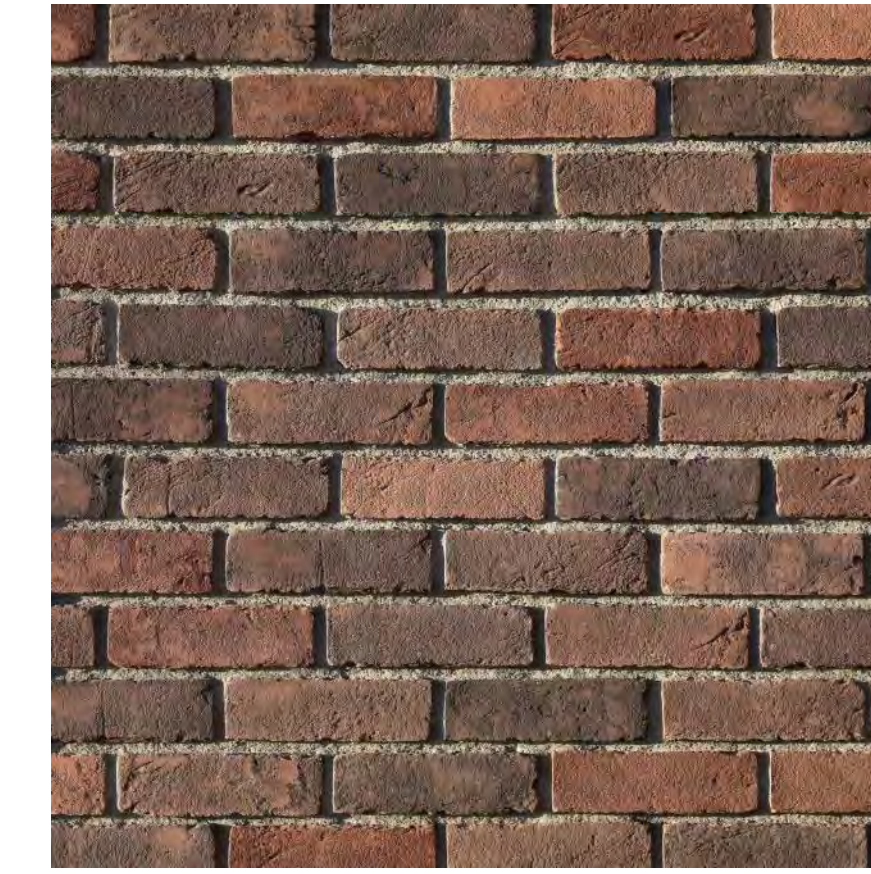
WALL
BERRIDGE CORRUGATE METAL PANEL
COLOR: BUCKSKIN



PARAPET CAP
SHERWIN WILLIAMS
COLOR: 6069 FRENCH ROAST



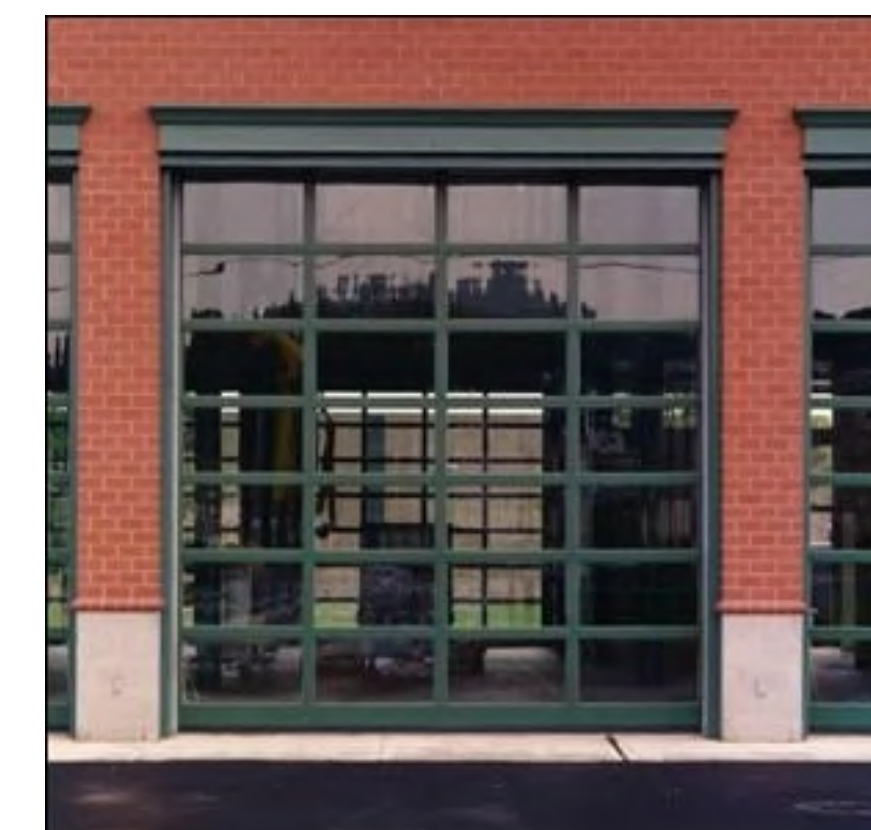
CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 9218 SHADE TREE



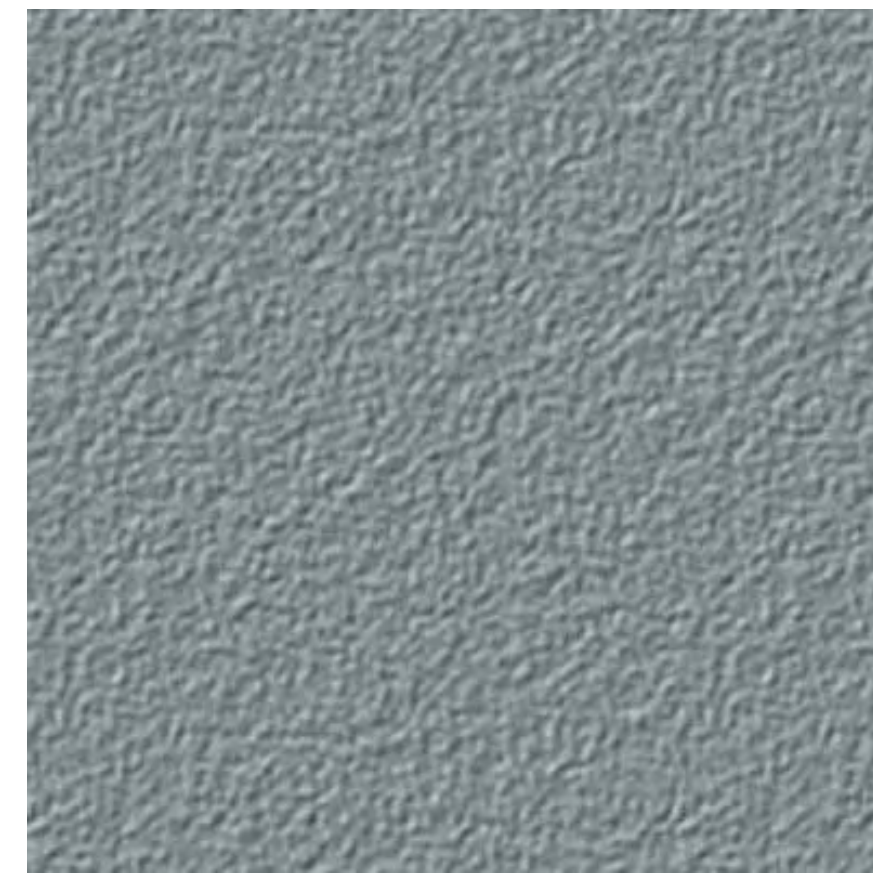
WALL
ELDORADO BRICK
COLOR: TUNDRA HARTFORD



FABRIC AWNINGS
GENERAL AWNINGS
COLOR: NEW YORKER



OVERHEAD ROLL-UP DOOR
ARM-R-LITE TITAN
COLOR: CARNIVAL RED II



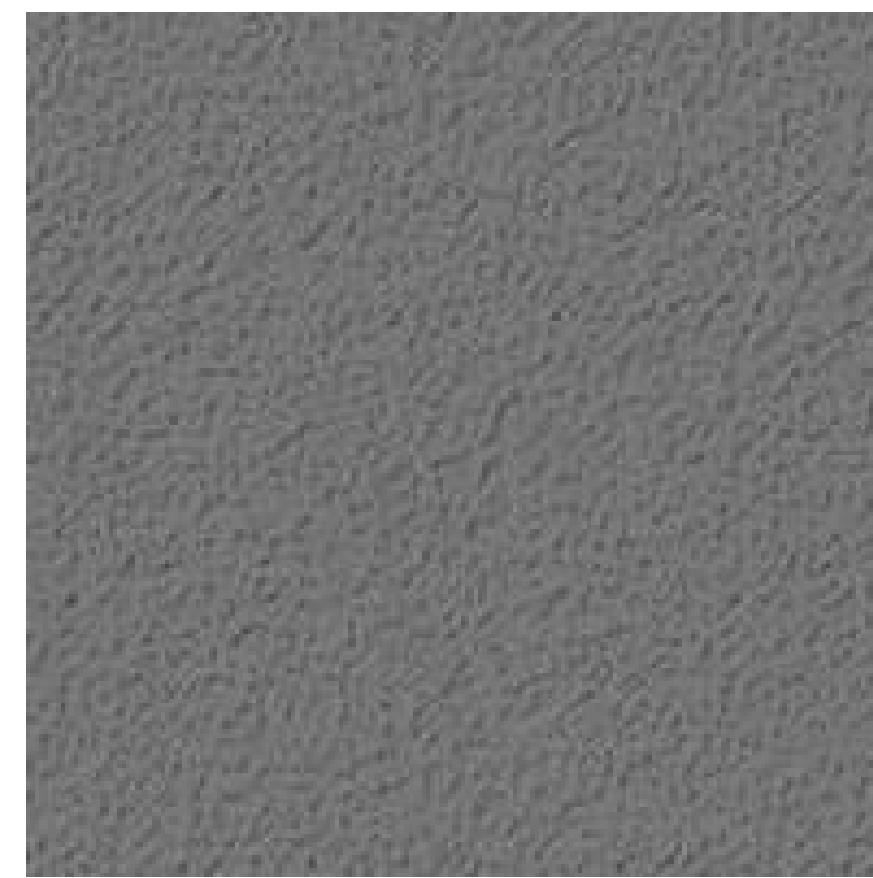
CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 9227 SHARK GREY



COLUMN BASE
ELDORADO STONE
COLOR: WHITEBARK



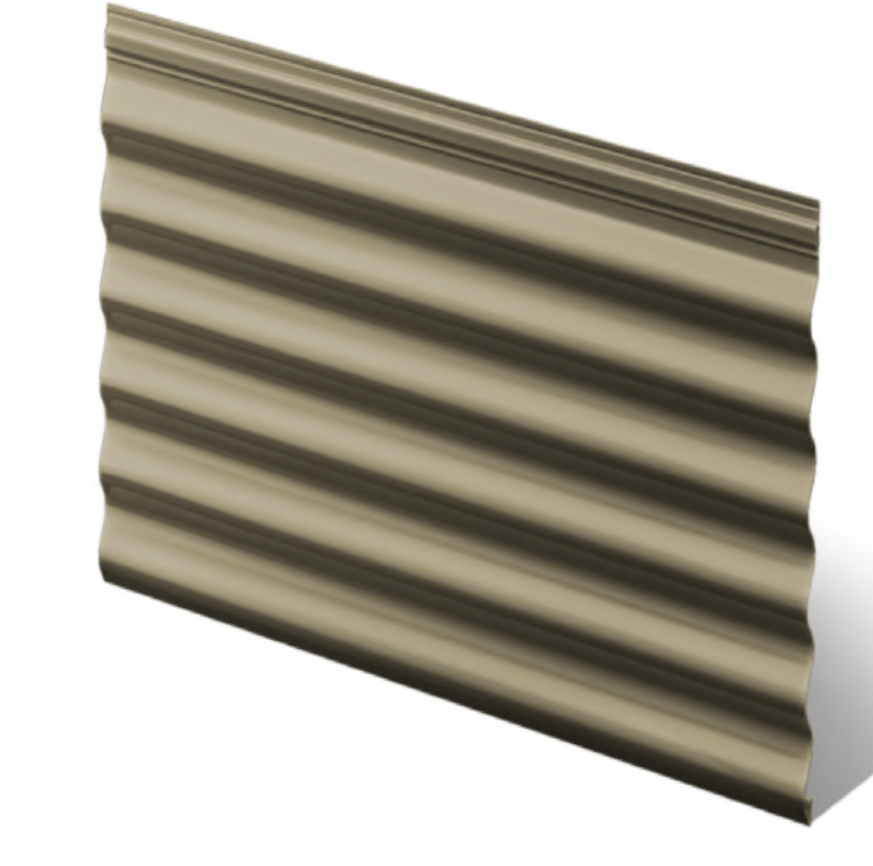
ALUMINUM STOREFRONT
KAWNEER
COLOR: 40 DARK BRONZE



CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 240 JET GREY



WALL
BEST BLOCK SPLIT FACE CMU
COLOR: 276 WESTERN BEIGE



ROOF SCREENING
CORRUGATE METAL PANEL.
BERRIDGE
COLOR: SIERRA TAN



WALL
KWP COMPOSITE BOARD
COLOR: RUSTIC WOOD

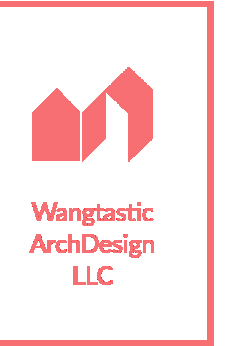


ROOF
GAF SHINGLE
COLOR: TIMBERLINE WEATHEREDWOOD



ROOF
STANDING SEAM METAL
BERRIDGE TEE PANEL
COLOR: CHARCOAL GREY

1 BUILDING 1 - MATERIALS
12" = 1'-0"



MAIN ST STATION COMMERCIAL BLDGS

556 S MAIN ST & 620 S MAIN ST
ELIZABETH, CO 80107

PROJECT CODE: 23-026
ISSUE DATE: 08/07/2023
CONCEPT DRAWINGS

REVISIONS		
DATE	NO.	DESCRIPTION

DRAWINGS
PREPARED FOR:
**MAIN STREET
STATION
ELIZABETH LLC**
5369 GRAND FIR WAY
PARKER, CO 80134

SHEET NAME
BUILDING 2 -
MATERIALS
BOARD

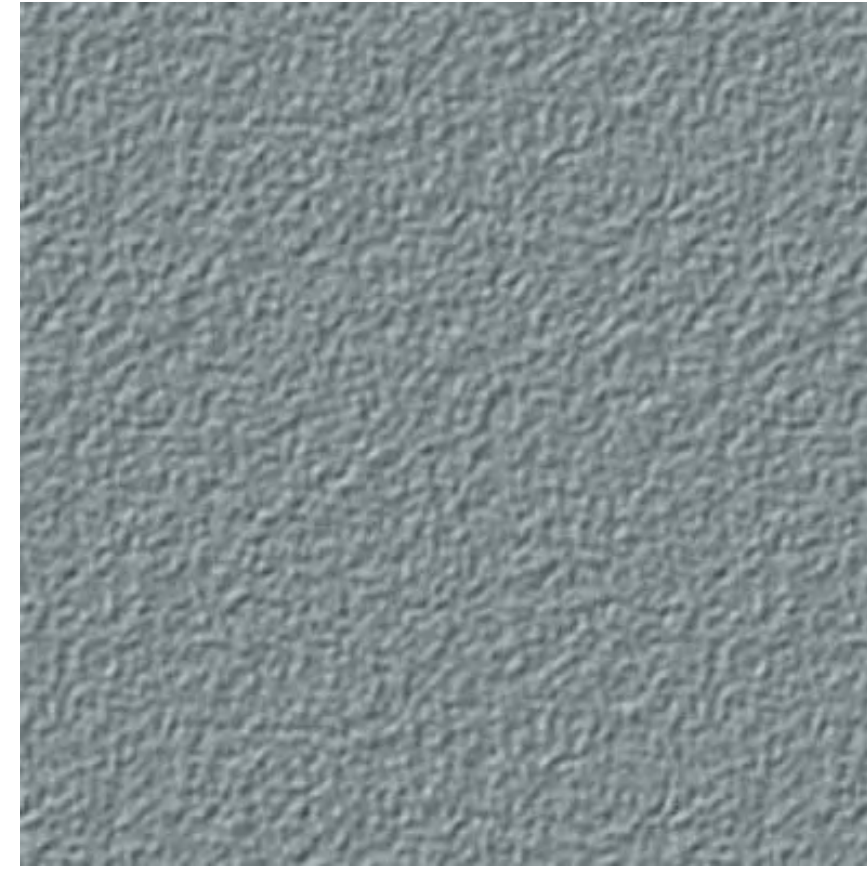
SHEET NUMBER
13 OF 17
P7.2



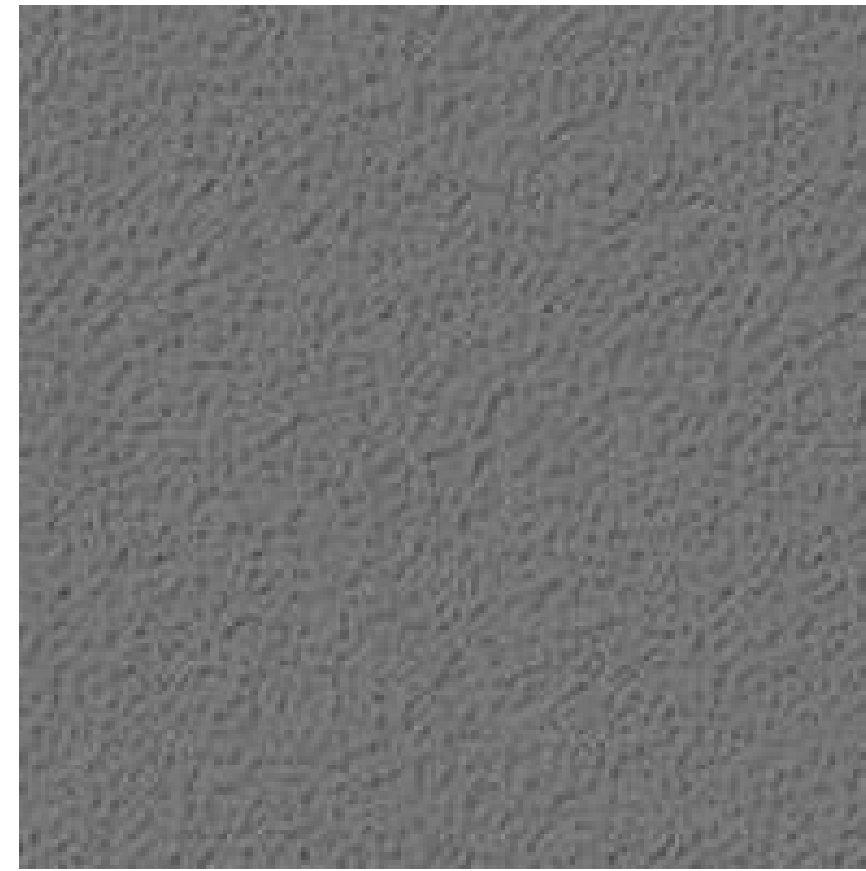
WALL
OMEGA STUCCO.
COLOR: 9203 SAGEBRUSH



WALL
OMEGA STUCCO.
COLOR: 9211 QUAKE



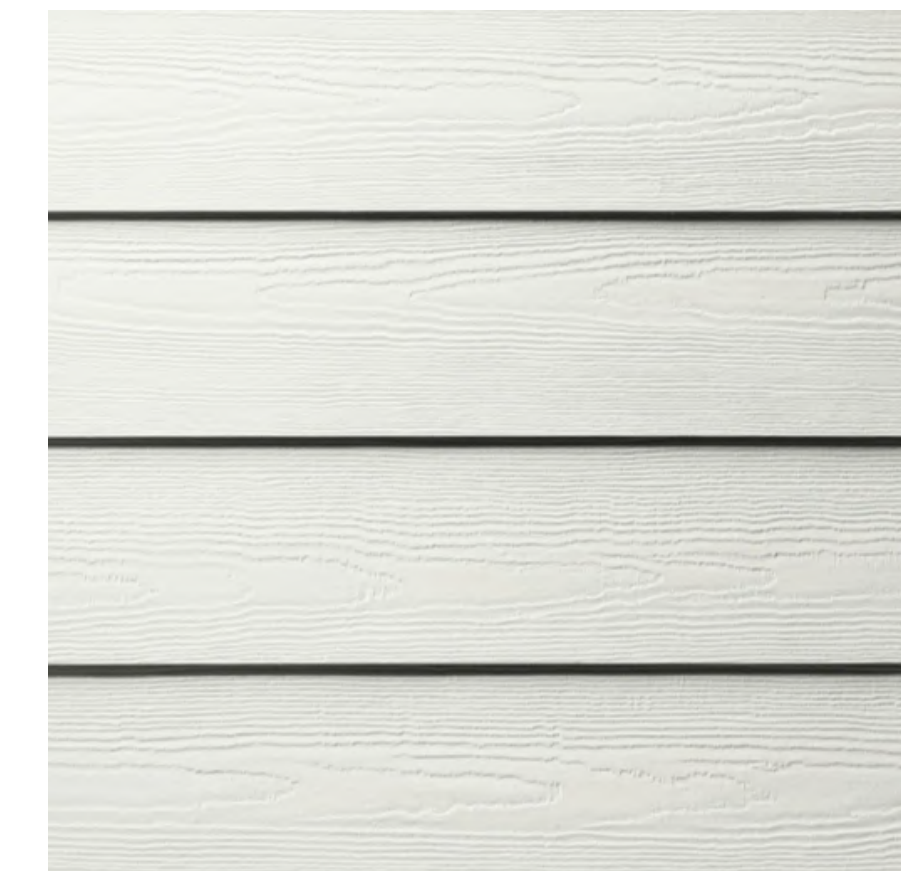
CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 9227 SHARK GREY



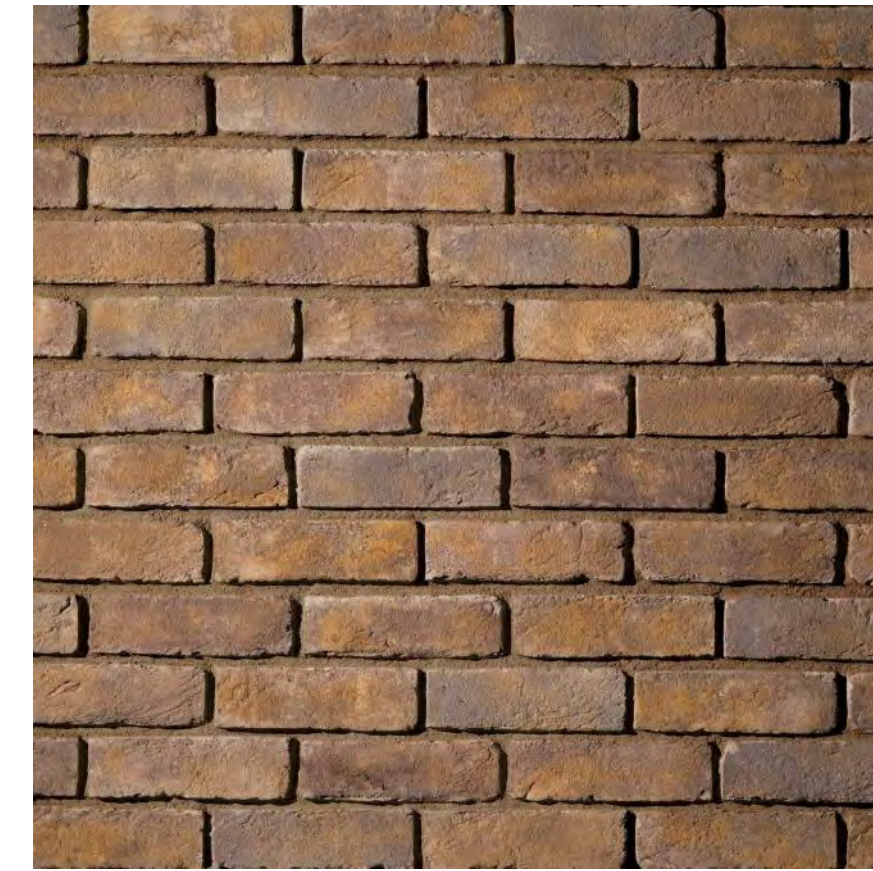
CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 240 JET GREY



CORNICE W/ CORBELL
OMEGA STUCCO.
COLOR: 9201 FEATHERLY



WALL
HARDIE PLANK SIDING.
COLOR: ARCTIC WHITE



WALL
ELDORADO BRICK
COLOR: RIVERBED



COLUMN BASE
ELDORADO STONE
COLOR: WHITEBARK



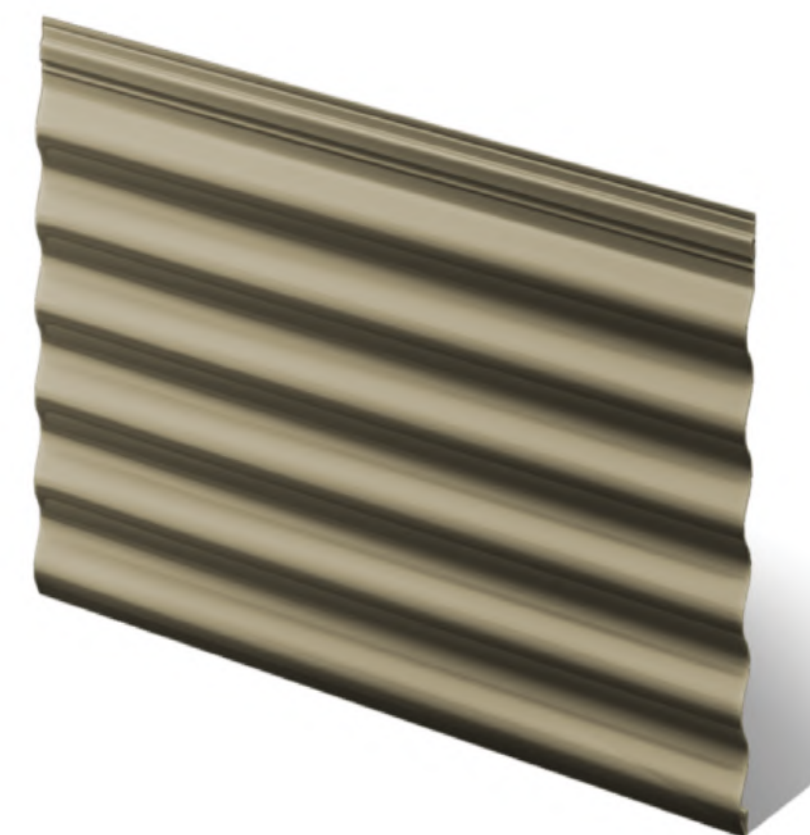
WALL
BEST BLOCK SPLIT FACE CMU
COLOR: 276 WESTERN BEIGE



FABRIC AWNINGS
GENERAL AWNINGS
COLOR: CHARCOAL GREY



ALUMINUM STOREFRONT
COLOR: DARK BRONZE



ROOF SCREENING
CORRUGATE METAL PANEL.
BERRIDGE
COLOR: SIERRA TAN



JULIET BALCONY
WESTBURY ALUMINUM RAILING
COLOR: NINETY BRONZE



OVERHEAD ROLL-UP DOOR
ARM-R-LITE TITAN
COLOR: DARK BRONZE ANODIZED

1 BUILDING 2 - MATERIALS
12" = 1'-0"

IRRIGATION NOTES

1. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM PROVIDING DRIP IRRIGATION TO ALL BED AREAS AND TREES LOCATED OUT OF BED AREAS INCLUDING 100% COVERAGE SPRAY IRRIGATION TO NEW NATIVE SEED AREAS WILL BE PROVIDED.
2. CONTRACTOR RESPONSIBLE FOR UTILITY LOCATORS PRIOR TO START OF ANY REMOVALS OR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
3. ANY MAJOR CHANGES REQUIRED AS A RESULT OF FIELD CONDITIONS VS THIS DRAWING SET SHALL BE CORRECTED AND CALLED OUT ON THE SHOP DRAWINGS.
4. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER OR OWNER'S REP IMMEDIATELY.
5. AS BUILT IRRIGATION DRAWINGS TO BE PROVIDED BY CONTRACTOR, TO THE OWNER, AS REQUESTED.
6. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM PROPOSED WORK.
7. REFER TO QUANTITIES SHOWN GRAPHICALLY IF DISCREPANCIES EXIST BETWEEN WRITTEN AND GRAPHIC QUANTITIES.
8. ALL PROPOSED EQUIPMENT TO HAVE CUT SHEETS SUBMITTED WITH IRRIGATION SHOP DRAWING BY CONTRACTOR.
9. IRRIGATION SYSTEM CONTROLLER TO BE SMART WIRELESS CONTROLLER.
10. MAIN LINES AND VALVE BOX LOCATIONS TO BE COORDINATED WITH PROPOSED LANDSCAPE FOR MINIMAL CONFLICT.
11. ALL MAIN LINES TO BE A MINIMUM 18" IN DEPTH.
12. ALL LATERALS TO BE A MINIMUM OF 12" IN DEPTH.
13. NO ROCKS, BOULDER OR OTHER EXTRANEOUS MATERIALS TO BE USED IN BACKFILLING TRENCHES. ALL TRENCHES REQUIRE COMPACTION TO AVOID ANY SETTLEMENT AFTER INSTALLATION.
14. ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
15. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE.
16. AUTOMATIC DRAIN DEVICES TO BE INSTALLED WHERE LOW HEAD DRAINAGE MAY OCCUR.
17. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS.
18. TURF AREAS TO RECEIVE 100% SPRAY COVERAGE BY SPRAY ROTORS IF SHOWN ON PLANS.
19. NATIVE SEED AREAS TO RECEIVE 100% SPRAY COVERAGE BY ROTOR.
20. NATIVE SEED TO BE SET ON SEPARATE ZONES SO THAT THEY CAN BE SHUTOFF AFTER ESTABLISHMENT.
21. NATIVE SEED ZONES TO BE INSTALLED AS FULLY UNDERGROUND SYSTEM. TO BE USED AS NECESSARY IN THE FUTURE.

SLEEVING NOTES:

22. THIS PLAN WILL BE PROVIDED TO GENERAL CONTRACTOR FOR SLEEVE INSTALLATION.
23. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWING DETAILS SHOWING THE SLEEVING BELOW CONCRETE AND FOR INSTALLING SLEEVES IN COORDINATION WITH HARDSCAPE INSTALLATION.
24. SLEEVE SIZES SHOULD BE 2" IN DIA. UNLESS THEY ARE OTHERWISE NOTED ON PLAN.
25. ALL SLEEVES SHALL BE SCHEDULE 40 SOLVENT WELD PVC PIPE.

NATIVE SEED ESTABLISHMENT

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER OR OWNER'S REP IMMEDIATELY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OF NATIVE SEEDED AREAS (NATURALIZED AREAS). AFTER A PERIOD OF ONE YEAR, THERE SHOULD BE SIGNIFICANT COVERAGE OF THE SEEDED AREA WITH BARE SPOTS NOT EXCEEDING ONE AREA NINE FEET SQUARED IN SIZE. BARE SPOTS SHALL BE RE-SEEDED AND MULCHED TO IMPROVE THE GRASS STAND. THE AREA SHALL BE MAINTAINED AS WEED FREE THE ENTIRE TIME. MOWING, PULLING, AND CHEMICAL METHODS MAY BE USED TO CONTROL WEEDS AND PREVENT REDEVELOPMENT OF SEED HEADS ON THE WEED PLANT.
3. CONTRACTOR TO PROVIDE INSTALLATION AND MAINTENANCE PLAN FOR THE 1 YEAR OF ESTABLISHMENT WITH OVERALL BID.
4. REQUIREMENTS FOR EROSION AND SEDIMENTATION CONTROL AS STATED IN LOCAL CODES SHALL APPLY.
5. CONTRACTOR SHALL BE REQUIRED TO TURN OVER SEED LABELS UPON INSTALLATION.
6. FINAL ACCEPTANCE OF SEEDED AREAS WILL BE CONSIDERED AT 1 YEAR WALK THROUGH. ANY ISSUES PRIOR TO THIS DATE SHALL BE BROUGHT TO WESTERN LANDS ATTENTION IN A TIMELY MANNER.
7. FINAL ACCEPTANCE OF NATIVE SEED AREA BASED ON GERMINATION, FULL STAND OF GRASS IN A VIGOROUS GROWING CONDITION WITH CONSISTENCY AND COMPLETE COVERAGE. IF ON SITE INSPECTIONS DETERMINE THAT GERMINATION OF ANY SEEDED AREA DOES NOT COMPLY WITH THESE NOTES OR LOCAL CODES, RE-SEEDING MAY BE REQUIRED.
8. THE SEEDBED SHALL BE WELL SETTLED AND FIRM, BUT FRIABLE ENOUGH THAT SEED CAN BE PLACED AT THE SEEDED DEPTH SPECIFIED. THE SEEDBED SHALL BE REASONABLY FREE OF WEEDS. SOILS THAT HAVE BEEN OVER-COMPACTED BY TRAFFIC OR EQUIPMENT, ESPECIALLY WHEN WET, SHALL BE TILLED TO BREAKUP ROOTING RESTRICTIVE LAYERS AND THEN HARROWED, ROLLED OR PACKED TO PREPARE THE REQUIRED FIRM SEEDBED.
9. BIOSOL APPLIED TO ALL SEEDED AREAS AT A RATE OF 25 LBS PER 1,000 S.F.
10. BROADCAST SEED SHALL BE HAND RAKED OR DRAGGED TO A DEPTH OF 1/4".
11. HYDRO MULCH OR STRAW MULCH WILL BE USED ON ALL NATIVE SEEDED AREAS.

SEEDING NOTES

NATIVE SEED WITH WILDFLOWER ENHANCEMENT

COMMON NAME	% OF MIX
NATIVE GRASS SEED MIXTURE	
BIG BLUESTEM	20
INDIANGRASS	20
WESTERN WHEATGRASS	20
PRAIRIE SANDREED	10
SIDEOATS GRAMA	10
SLENDER WHEATGRASS	5
STREAMBANK WHEATGRASS	5
SWITCHGRASS	5
THICKSPIKE WHEATGRASS	5
18 LBS/ACRE BROADCAST	100%

WESTERN LANDS

LANDSCAPE ARCHITECTURE

11038 Twenty Mile Road
#2-301
Parker, CO 80134
p. 720-936-9973

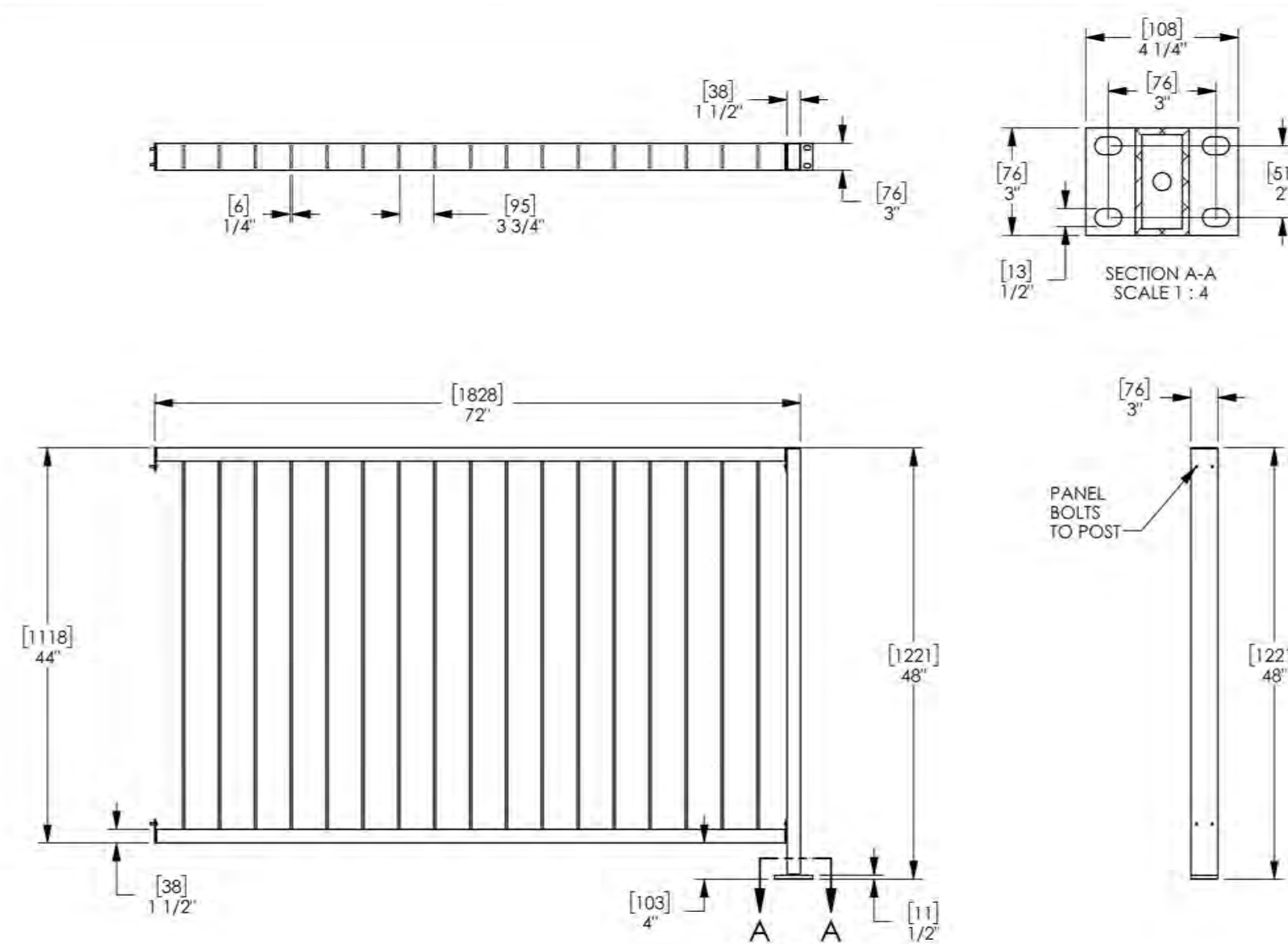
Tom Roberts
tom@western-lands.com
www.western-lands.com

MAIN STREET STATION
 SITE PLAN AND REPLANT SUBMITTAL :: LANDSCAPE PLAN
 TOWN OF ELIZABETH :: ELBERT COUNTY :: COLORADO

PATIO FENCE DETAILS

PRODUCT DETAILS

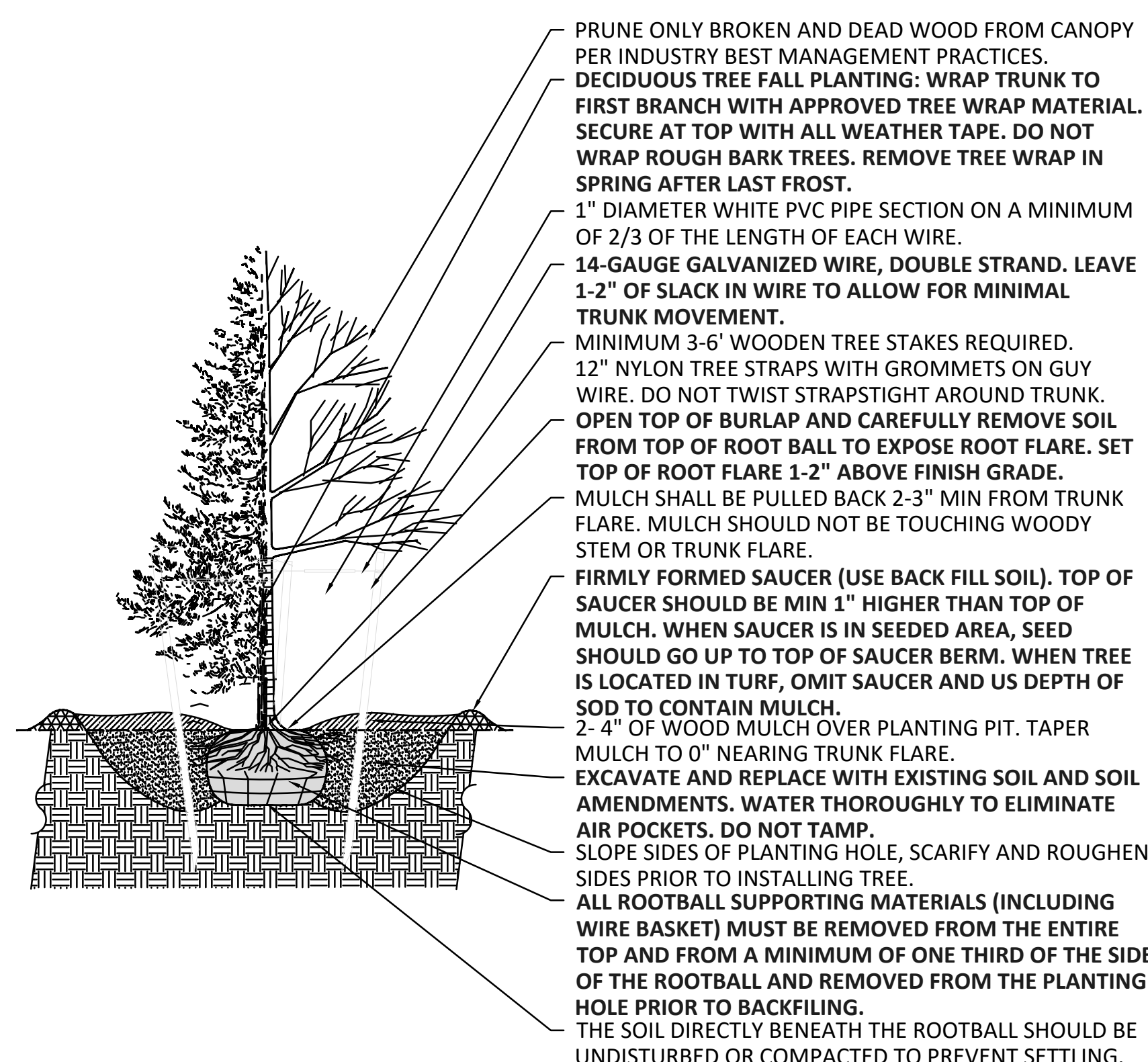
LINE panel with one post, 4ft high, straight vertical-louver panel
Product Drawing
Date: 07/17/2019
www.landscapiforms.com Ph: 800.521.2546



PRODUCT EXAMPLE



PLANTING DETAILS

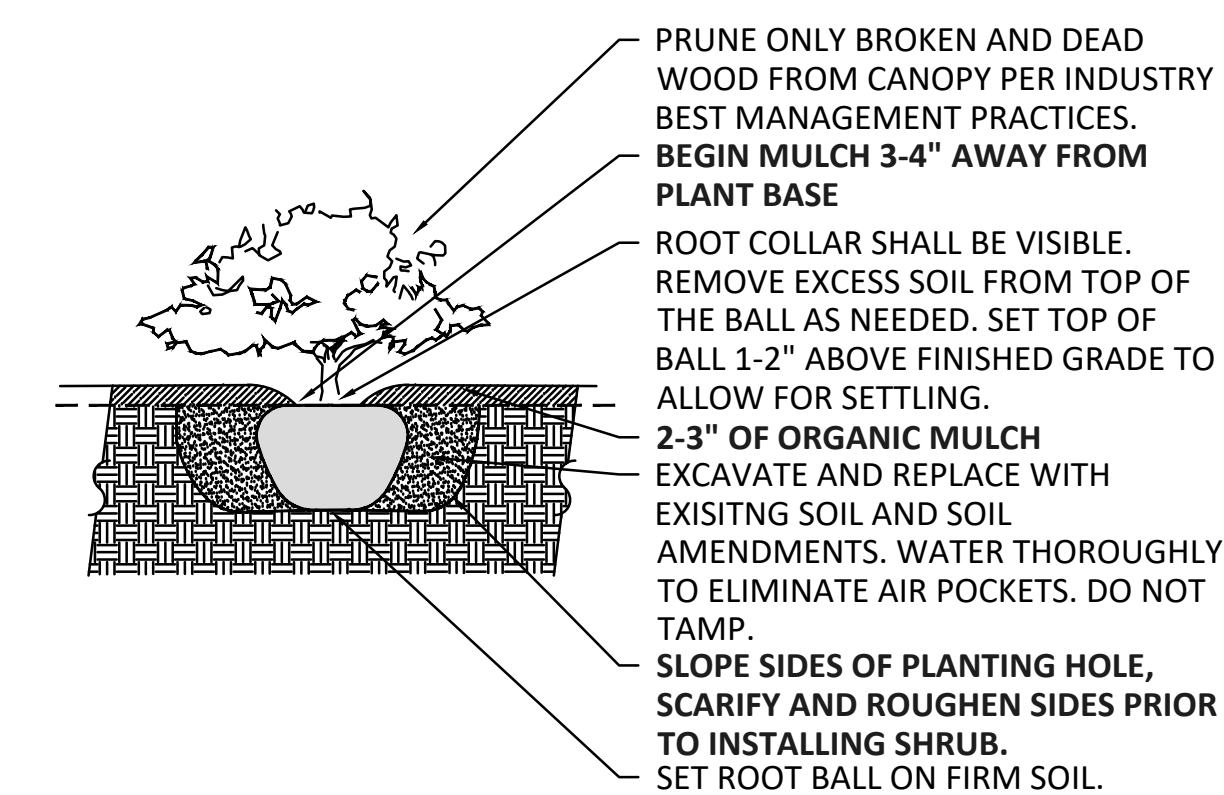


ANY BROKEN, CRUMBLING, OR OTHERWISE DAMAGED ROOTBALL SHALL NOT BE PLANTED.

TREE SPACING SHALL BE BASED ON PROJECTED MATURE CANOPY SIZE OR AS APPROVED BY THE OWNERS REPRESENTATIVE.

PLEASE REFER TO IRRIGATION NOTES FOR IRRIGATION REQUIREMENTS PER PLANT.

ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR 2 WINTER SEASONS.

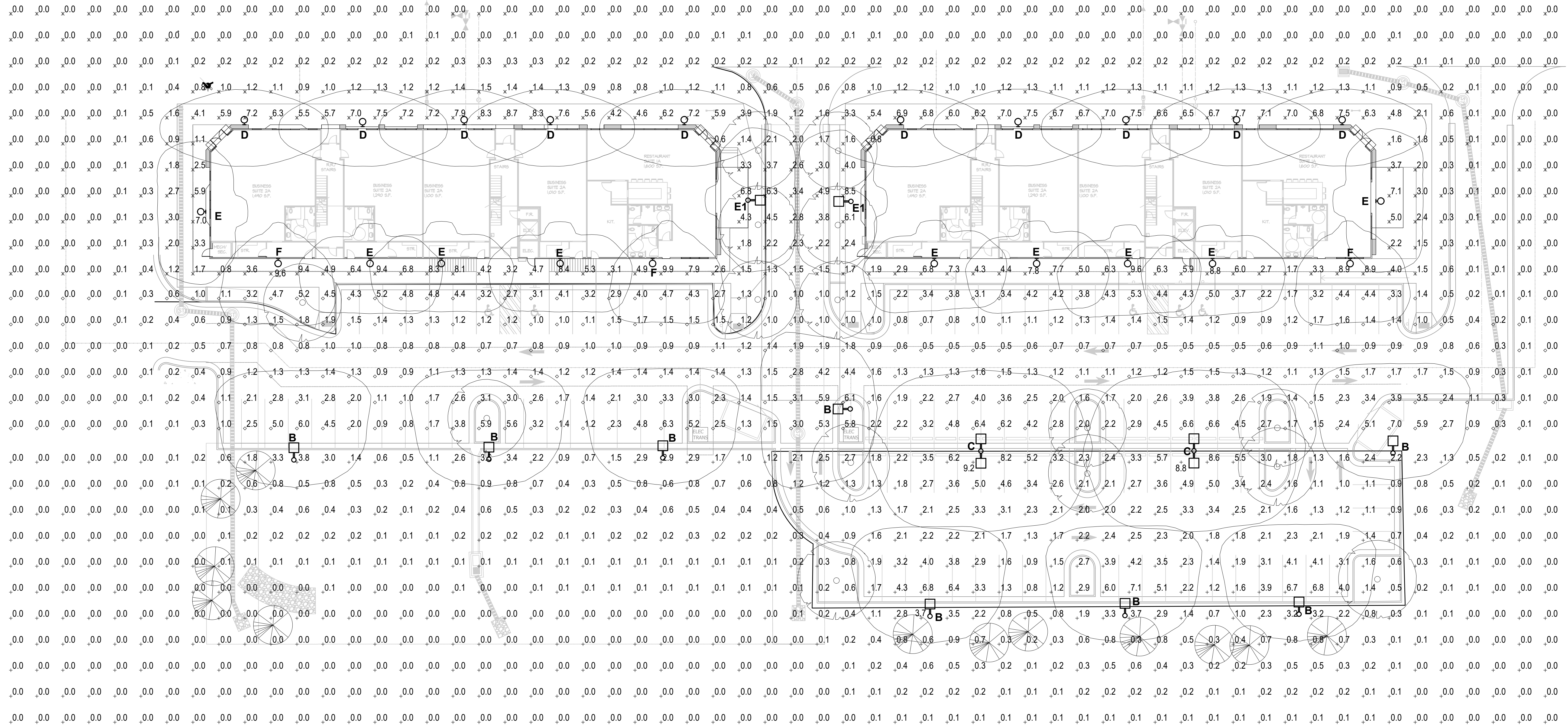


OWNER:
MAIN STREET STATION
ELIZABETH LLC

DATE AND TITLE:
09.22.23 :: SUBMITTAL

SHEET TITLE:
LANDSCAPE DETAILS
AND NOTES

SHEET NUMBER:
L2.0
8 OF 17



Statistics

Description	Symbol	Avg	Max	Min
Building Area	✕	1.5 fc	9.9 fc	0.0 fc
Lower Parking	+	0.7 fc	9.2 fc	0.0 fc
Upper Parking	◇	1.7 fc	7.0 fc	0.0 fc



PHOTOMETRIC PLAN

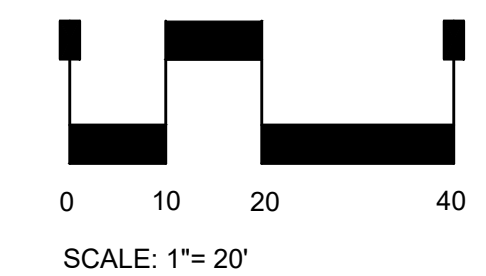
SCALE: 1" = 20'-0"

GENERAL NOTES:

- A. NEW AND RELOCATED ITEMS SHOWN AS BOLD
- B. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
- C. PARKING LOT LIGHT POLES ARE LIMITED TO 20 FOOT MAXIMUM (INCLUDING BASE).

DETAIL NOTES

1. ALL CONTROLS WILL BE PER CURRENT IECC CODES ON ANOTHER PROJECT.





TO: Main Street Board of Directors
FROM: Zach Higgins, AICP Community Development Director
DATE: February 12, 2024
SUBJECT: Main Street Networking Event

SUMMARY

The Main Street Board has chosen a date for the 2024 Main Street Networking Event, May 16th 2024. The Main Street Board should discuss the following:

- Who should be targeted for this event?
- How should those possible attendees be marketed to?
- Location of the event? (EBC) Reservation?
- Food or drinks for the event?
- Content to be delivered at the event?
- Games or entertainment at the event?
- Swag?

The Main Street Board has allocated \$1,000 for the 2024 Main Street Networking Event.

RECOMMENDATION

Staff recommends the Main Street Board provide feedback and possible recommendation regarding the Main Street Networking Event.

ATTACHMENT(S)

N/A



TO: Main Street Board of Directors
FROM: Zach Higgins, AICP Community Development Director
DATE: February 12, 2024
SUBJECT: Staff Report

STAFF REPORT

1. Streetscape Design Update

- a. The Board of Trustees approved the PSA with CORE Engineering for the Streetscape Design on 01/11/2022.
- b. The certified letter was distributed to property owners and business owners on 01/14/2022.
- c. The Revitalizing Main Street Grant application was completed and sent to CDOT on 02/04/2022 before the deadline.
- d. Second Public Meeting occurred on June 30th at 6:00pm.
- e. A second certified letter has been distributed to property owners to notify regarding the second public meeting on June 7th.
- f. The third public meeting has been set for 10/13/2022.
- g. The Board of Trustees have heard progress on the project and provided further direction at their 09/13/2022 workshop.
- h. Streetscape Design Check In meeting was held and feedback received. The feedback received will be presented to the BOT in a memo at their 11/15/2022 meeting.
- i. The Add Services agreement with CORE was approved by the BOT on 11/29/2022.
- j. The BOT heard Main Street recommendations from Stolfus related to their Old Town Traffic Study at their 02/14/2023 BOT meeting.
- k. Staff received direction from the BOT at their 02/14/2023 regarding parking and traffic movement on Main Street. The BOT tabled the resolution to update the street cross-sections in order to obtain additional information.
- l. MSBOD and BOT met on 04/01/2023 for a work session. BOT gave direction on Streetscape. Staff is working on implementing direction.
- m. The Streetscape Amendment #2 has been approved by the BOT on 05/09/2023.
- n. Manny presented the options based on block-by-block analysis on 06/27/2023.
- o. Staff is seeking formal direction based on the block-by-block analysis on 07/11/2023.
- p. The BOT has given formal direction to accept the block-by-block recommendations from CORE Engineering. They have also given direction to save the four trees in the 500 block of Main Street and remove parking from the



West side of that block. CORE Engineering is working on providing the cross-sections required for adoption by resolution.

- q. A Streetscape meeting took place on 08/24/2023 here at Town Hall. CORE presented their updated CAD layout and DHM presented their updated landscaping and street furniture design.
- r. Staff met with CORE's lighting consultant to discuss streetlights.
- s. Staff submitted the Revitalizing Main Street Grant in September and was successful in receiving an award of funds. Staff is still working with CDOT in regards to the details around the award.
- t. Staff has submitted a \$1,000,000 grant request to the DOLA EIAF TIER II grant program on December 1st.

2. Gesin Lot

- a. The Board of Trustees was presented with a proposal regarding the Gesin Lot by Gene Gregory. The Town is acquiring property valuation before continuing discussions with Mr. Gregory.
- b. The Board of Trustees is exploring additional options for the Gesin Lot before continuing conversations with Mr. Gregory.
- c. Mr. Gregory presented his latest proposal to the BOT on 02/28/2023. The Town is putting together a price for the property to be considered.
- d. The Board of Trustees has decided to not pursue Mr. Gregory's proposal further at this time.
- e. Staff will be seeking a site feasibility study for the Gesin Lot through DOLA.
- f. The monument sign/clock tower RFP has been distributed. The proposals will be reviewed on 05/11 at 2pm.
- g. DHM Design has been awarded the contract by DOLA. The Kick-Off meeting took place on 06/26 followed by the Design Charrette.
- h. DHM Design held their second meeting, to review and give feedback on three options on 08/14/2023 at Town Hall. The archway over Main Street was chosen by the group. DHM is working on additional design development before presenting to the BOT.
- i. The MSBOD made a design recommendation to the BOT. The BOT have moved forward with the MSBOD design recommendation at their 11/28/2023 BOT meeting.
- j. The Town will be seeking grant funding for this project through the T-Mobile Hometown Grant in the first quarter of 2024.
- k. The Town is starting the process of creating an RFP for the design and development of the Gesin Lot.

3. Ornaments



- a. Tom Pollard has provided pricing for this year's ornaments. The total will be \$2,195.00 which includes art and tooling, 200 ornaments, boxes with info sheet, and shipping.
 - b. The Town has received this year's ornaments. Ornaments are available for purchase by the Main Street businesses.
 - c. All 200 ornaments have been purchased from the Town for 2023.
- 4. Training Update/Reminder**
- a. Alert Staff of any trainings you feel are relevant.
 - b. DOLA Main Street Program provides monthly trainings online.
 - c. Main Street NOW Conference will be held on May 6th-8th in Birmingham, AL
 - d. Please work with staff to book your accommodations for the Main Street NOW Conference.
- 5. WiFi on Main Street**
- a. Town working with Maverix to provide wireless internet service to Main Street and possibly Running Creek Park. Maverix to meet with the BOT on October 10th.
 - b. BOT has approved Maverix contract and Maverix team is moving forward with infrastructure improvements.
- 6. 2023 Fourth quarter stats have been submitted to DOLA.**
- 7. HAB District Creation and Design Guideline Update**
- a. The HAB held their second public meeting on Historic District Creation and Design Guideline update on 06/12 at Town Hall.
 - b. The HAB is starting a new effort for Design Guideline creation for 2024.
- 8. MSBOD, HAB, PC, and BOT Joint Workshop**
- a. Tentative BOT and MSBOD Workshop schedule:
 - i. COMPLETED 01/23/2024 – 5pm (Gesin Lot Discussion)
 - ii. 04/23/2024 – 6:30pm
 - iii. 07/23/2024 – 6:30pm
 - iv. 09/24/2024 – 6pm (Advisory Board Budget Requests)
- 9. Strategic Planning with Melissa Antol, COREFLECTION**
- a. COMPLETED - Please complete the survey by 01/15 @5pm
 - b. COMPLETED - In-person workshop 01/29 4-8pm
 - c. COMPLETED - Virtual workshop 01/30 6-8pm
 - d. Follow up during regular meeting on 02/12