



TOWN OF ELIZABETH

**TOWN OF ELIZABETH
Planning Commission Regular Meeting
Tuesday, May 03, 2022 at 6:30 PM
Town Hall, 151 S. Banner Street**

CALL TO ORDER

ROLL CALL

AGENDA CHANGES

UNSCHEDULED PUBLIC COMMENT

MINUTES

- [1.](#) Regular Minutes of April 5, 2022

PUBLIC HEARING

- [2.](#) 755 Crossroads Circle (Cleary) Site Plan

NEW BUSINESS

3. Discussion and possible action of recommendation to Board of Trustees approval of 755 Crossroads Circle (Cleary) Site Plan
- [4.](#) Discussion regarding Elizabeth 44 and THK Associates presentation
- [5.](#) Discussion to gain feedback regarding the Draft Historic Preservation Code update

REPORTS

- [6.](#) Staff Report
7. Commissioner Reports

ADJOURNMENT



TOWN OF ELIZABETH

PLANNING COMMISSION

PLANNING COMMISSION – RECORD OF PROCEEDINGS

APRIL 5, 2022

CALL TO ORDER

The Regular Meeting of the Elizabeth Planning Commission was called to order on Tuesday, April 5, 2022, at 6:30 PM by Commissioner Nick Snively.

ROLL CALL

Present were Commissioners Jenny Case, Barbara McGinn, Nick Snively, Julie Uhernik and Ed Beard. Commissioner Rob Porter was not present. There was a quorum to conduct business.

Also present were Community Development Director Pam Cherry, Planner/Project Manager Zach Higgins, and Deputy Town Clerk Harmony Malakowski.

AGENDA CHANGES

No agenda changes from staff.

No agenda changes by the Commissioners.

PUBLIC COMMENT

No Public Comment

MINUTES

Regular Minutes of January 4, 2022

Motion by Commissioner McGinn, seconded by Commissioner Case, to approve the minutes from January 4, 2022.

The vote of those Commissioners present was unanimously in favor. Motion carried.

NEW BUSINESS

Election of 2022 Chair

Motion by Commissioner Case, seconded by Commissioner Uhernik, to appoint Commissioner Nick Snively as 2022 Chair.

The vote of those Commissioners present was unanimously in favor. Motion carried.



TOWN OF ELIZABETH

PLANNING COMMISSION

Election of 2022 Vice Chair

Motion by Commissioner Uhernik, seconded by Chair Snively, to appoint Commissioner McGinn as 2022 Vice Chair.

The vote of those Commissioners present was unanimously in favor. Motion carried.

Introduction of Pam Cherry, new Community Development Director

Pam Cherry introduced herself and answered questions from the Commissioners.

Briefing on the Board of Trustees approval of Resolution 22R14, a Resolution approving the assignment of rights in and to the Site Development Plan, and the Site Development Agreement, as amended, for the Pine Ridge Crossing Site plan from Pine Ridge Crossing, LLC as owner and Turn 2 Construction, LLC as Developer to Neighborhood Carwash Aurora, LLC DBA Pine Ridge Apartments, LLC

Mr. Higgins provided the Commissioners with an update on the Pine Ridge Apartments and answered questions from the Commissioners.

REPORTS

- Mr. Higgins provided updates to the Commission regarding positions filled and current vacancies.
- Mr. Higgins reminded the Commissioners about the upcoming joint training on April 26 at 5:00 PM.
- Mr. Higgins updated the Commissioners on the upcoming Main Street Streetscape public meeting and the Historic Advisory Board survey available.
- Mr. Higgins provided an update regarding the Farmer's Market agreement with The Elizabeth Brewing Company.
- Vice Chair McGinn asked about the CML conference and training opportunities.
- Mr. Higgins provided an update regarding the Commission schedule for the rest of the year.
- Ms. Cherry requested that CML conference information be provided to the Commissioners to check on their interest in training opportunities.

ADJOURNMENT

Motion by Commissioner Beard, seconded by Commissioner Uhernik, to adjourn meeting at 7:24 PM. The vote of those Commissioners present was unanimously in favor. Motion carried.

Chair Nick Snively

Deputy Town Clerk Harmony Malakowski



TOWN OF ELIZABETH

STAFF REPORT

Site Plan Application | Commercial Office Building 755 Crossroads Circle

Applicant: Sean Cleary, Managing Partner, Shamrock Investments, LLC.

Location: 755 Crossroads Circle, Elizabeth CO

Applicant Request:

The Applicant, Sean Cleary, request the Planning Commission provide a positive recommendation to the Board of Trustees to approve a Site Plan Application for a new commercial office building at the Elizabeth Crossroads Business Park, 755 Crossroads Circle, near the corner of E. Kiowa Ave, and County Road 17 in the Town of Elizabeth, CO.

In accordance with Section 16-2-20(a) of the Elizabeth Municipal Code (EMC) – Site Plan Standards and Procedures – an approved Site Plan is required prior to the commencement of any site or building improvements or construction activity. Section 16-2-40(g) requires the Planning Commission to consider a site plan application and make a recommendation to the Board of Trustees to approve, approve with conditions, continue to obtain additional information, or deny.

Proposal:

The applicant is proposing to develop the site at 755 Crossroads Circle to be a new commercial office building. A full site development plan is being proposed with a building, parking lot and new landscaping.

Current Vacant Site – looking west from County Road 17



PO Box 159, 151 S. Banner Street, Elizabeth, Colorado 80107
Phone: (303) 646-4166 | Fax: (303) 646-9434 | www.townofelizabeth.org

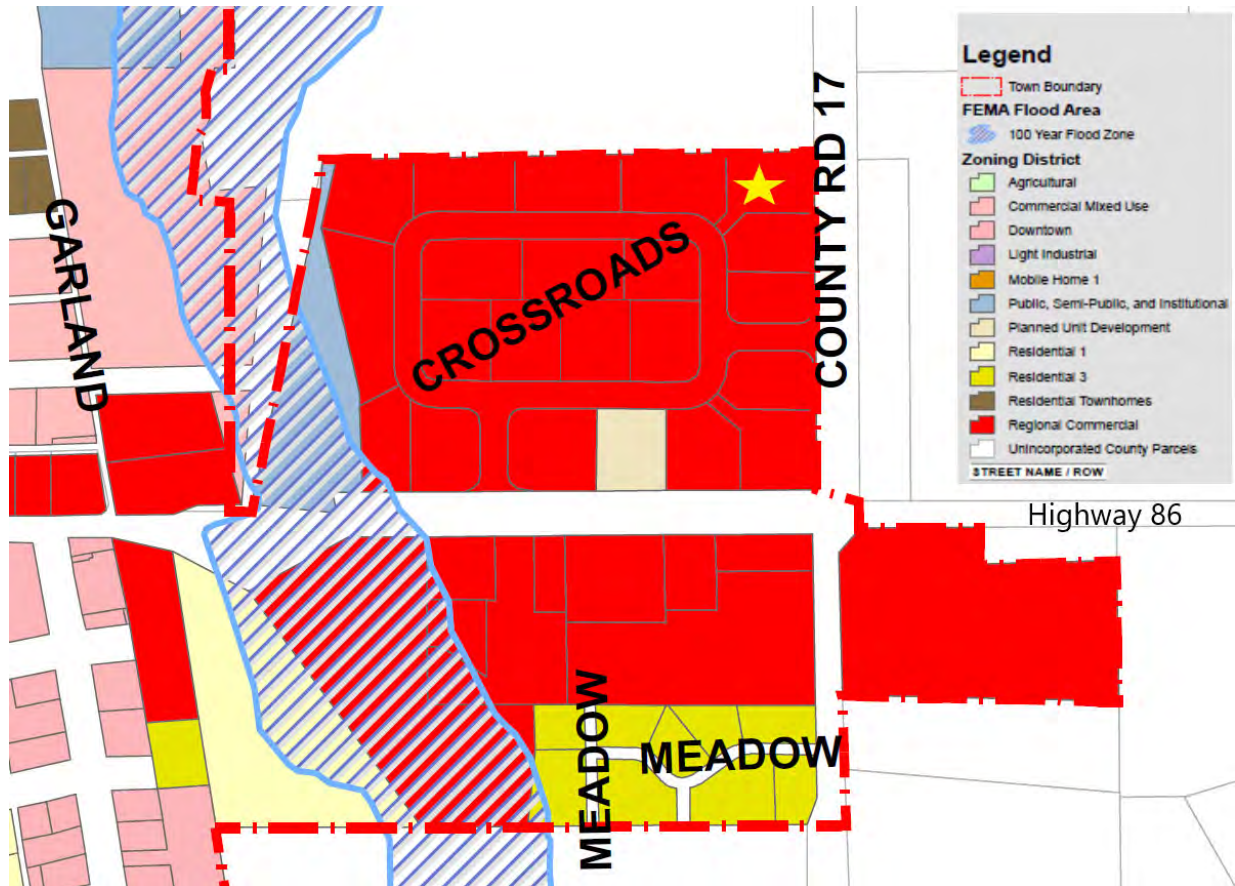


TOWN OF ELIZABETH

BOARD OF TRUSTEES

Background:

The subject site is part of a larger business park, the Elizabeth Crossroads Business Park and is zoned Regional Commercial (RC). The proposal is located on one parcel in the Northeastern corner of the business park. The parcel is 27,386 sq./ft and proposed structure on site will be 4,368 sq./ft. The site is in proximity to but removed from the 100-year floodplain.



Zoning Map

Surrounding Land Uses:

- North: Vacant Land / Evans Park
- South: Napa Auto Parts (Commercial)
- East: Vacant/natural area across CR 17
- West: Bender Menders Auto Body (commercial)



TOWN OF ELIZABETH

BOARD OF TRUSTEES

Approval Criteria:

Section 16-2-40 of the EMC includes criteria for the Planning Commission to consider in order to offer a favorable recommendation for approval to the Board of Trustees. This includes review against all applicable standards as found in the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines.

Case Analysis:

Staff finds that the proposed building and site development plan displays general conformance with the applicable provisions of the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines. Town staff has provided suggested findings and a recommendation at the end of this report.

Elizabeth Municipal Code (EMC):

The proposed commercial office building is an allowed use in the Regional Commercial (RC) district per Table 16-5 of the EMC. The following topics outline the specific analysis applied to the proposal in the context of the district's requirements.

- **Bulk Standards:**

The proposed work does not impact any of the currently operating and existing structures on the site. As proposed, the structure complies with the underlying setback, height and lot coverage standards of the RC district.

- **Lighting:**

The applicant is proposing cut off fixtures around the building that will mainly illuminate the site directly surrounding the building. The proposed light fixtures abide by the requirement of not exceeding 10 footcandles. There is no proposed parking lot lighting. The submitted photometric plan complies with the requirements and standards of the EMC.

- **Drainage:**

A drainage memo was provided by the applicant and reviewed by staff stormwater consultants. It was found to be acceptable for approval.

- **Floodplain**

The floodplain does not impact the site. Floodplain boundaries are present at the west side of the Crossroads Circle development.

- **Parking:**

The current parking requirements established by the Town of Elizabeth Code, Section 16-6-10 requires 1 parking space per 200 sq./ft of office space, and 1 parking space per 500 sq./ft of garage space. The proposed building has 3,024 sq./ft of office space (16 parking spaces), and 1,344 sq./ft of garage space (3 parking spaces). The required total parking for the site is 19 spaces and the applicant has provided 19 spaces along with a required 2 accessible spaces to abide by ADA standards.



TOWN OF ELIZABETH

BOARD OF TRUSTEES

- **Traffic and Access**

The site will now have more frequent use/traffic than before but not enough that it would change the traffic patterns currently associated with the site/business park. Access to the site will remain the same and operate in the same manner as before.

- **Right-of-Way (ROW)**

No new ROW is proposed with the enhancements.

- **Landscaping**

The existing and proposed landscape for the overall site meets the required 15% of the total site area with a proposed 21% of landscaped area. The applicant is proposing a mixture of evergreen and deciduous plantings that will ensure year-round interest throughout the site and they will also be utilizing the existing trees on site and will be relocating them on site or replacing depending upon health. The required amount of trees are as follows: 1 tree required every 40 feet of frontage along county road 17 (4 trees required / 4 tree provided); 1 tree and 5 shrubs planted for each 1,500 sq./ft of lot area not covered by building or required parking (20 shrubs and 4 trees required, 20 shrubs and 4 trees provided). The planting schedule can be found in the table below:

PLANTING SCHEDULE			
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
ROCKY MOUNTAIN MAPLE	ACER GLABRUM	2	2 1/2" CALIPER MIN.
SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	1	2 1/2" CALIPER MIN.
TAMMY JUNIPER	JUNIPERUS SABINA 'TAMISCIFOLIA'	10	2' HEIGHT MIN.
COMPACT EVERGREEN OREGON GRAPE HOLLY	MAHONIA AQUILIFOLIUM 'COMPACTA'	10	1' HEIGHT MIN.

The Town of Elizabeth Design Standards and Guidelines:

The applicant has ensured consistency and efficiency when designing their building to adhere to the Town of Elizabeth’s Design Standards and Guidelines.

Building Mass & Scale

- The proposed buildings mass and scale is proportionate and complimentary to the surrounding buildings and their uses and continues to provide the small town feel that is consistently seen throughout the Town of Elizabeth.

Building Materials:

- The exterior façade utilizes design, materials, and colors that promote compatibility with the surrounding buildings and uses in the area.

Architectural Style

- The proposed building achieves a four-sided architecture and balanced proportion of windows to walls as outlined in the Towns Design Standards and Guidelines. The building form is also readily understood and devoid of confusing, cluttered or unnecessarily complex arrangement of shapes.



TOWN OF ELIZABETH

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Elizabeth Comprehensive Plan:

Staff has found that the proposed site plan complies the Town's adopted Comprehensive Plan. The future land use map depicts the site as commercial/retail development described as the following:

"Commercial/Retail" areas depict locations where neighborhood or regional-level commercial centers could be located in the Elizabeth area over the next two decades. These areas include key intersections along Highway 86, to the east and west of the current Town.

- **Future Land Use and Development GOAL 1:** *Maintain a sustainable balance in land uses between residential, commercial, office / business park, industrial, and park / open space land uses*
 - The project is an enhancement to an undeveloped area helping to promote further development and balance of land uses in town and contributing to growth of the Town.
- **Economic Development and Tourism – Goal 2:** *Actively promote Elizabeth as a great place for investment and employment*
 - This project positively supports reinvestment into the Town of Elizabeth's existing businesses perpetuating owner pride and upkeep of the community presence

Referrals

The following agencies provided comment during the referral period. All comments have been addressed by the applicant.

Referral Agency / Consultant	Discipline
SafeBuilt	Community Development
CORE	Town Engineer
CORE Electric	Lands & Rights of Way
JVA	Public Works - Water & Sewer
Elizabeth Public Works	Public Works
Stolfus & Associates	Transportation
Elizabeth Fire Protection District	Fire
Elbert County Community Development	Community Development
Black Hills Energy	Utility Company
Elbert County Public Health	Environmental Review
Elbert County Assessors Office	GIS



TOWN OF ELIZABETH

BOARD OF TRUSTEES

Findings and Staff Recommendation:

The site plan has been reviewed and approved by the development review team and staff in accordance with Section 16-2-40 of the EMC.

Findings:

1. The proposal has been found to substantially comply with the standards for development as found in the Chapter 16 of the Elizabeth Municipal Code.
 - a. The proposal fulfills the purpose of the RC zone district by providing the expansion of general commercial activities.
 - b. The applicant has provided landscaping covering > 15% of the site.
 - c. Summary finding of the architecture compatibility
 - d. A drainage memo has been provided and approved by Town engineers.
 - e. No floodplain issues are present.
 - f. There is no evidence of increased traffic to the area
2. The proposal has been found to substantially comply with the adopted Comprehensive Plan.
3. The proposal has been found to substantially comply with the Town of Elizabeth Design Standards and Guidelines.
4. The development will be served by adequate water supply and waste disposal systems.

Staff Recommendation:

Based on the analysis above, staff believes that the application meets the criteria for a Site Plan as set forth in Chapter 16 of the Elizabeth Municipal Code.

Recommended Conditions of Approval:

1. None

Attachments:

- A. Clear Building Site Plan
- B. Roof and Siding Material
- C. Final Plat



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

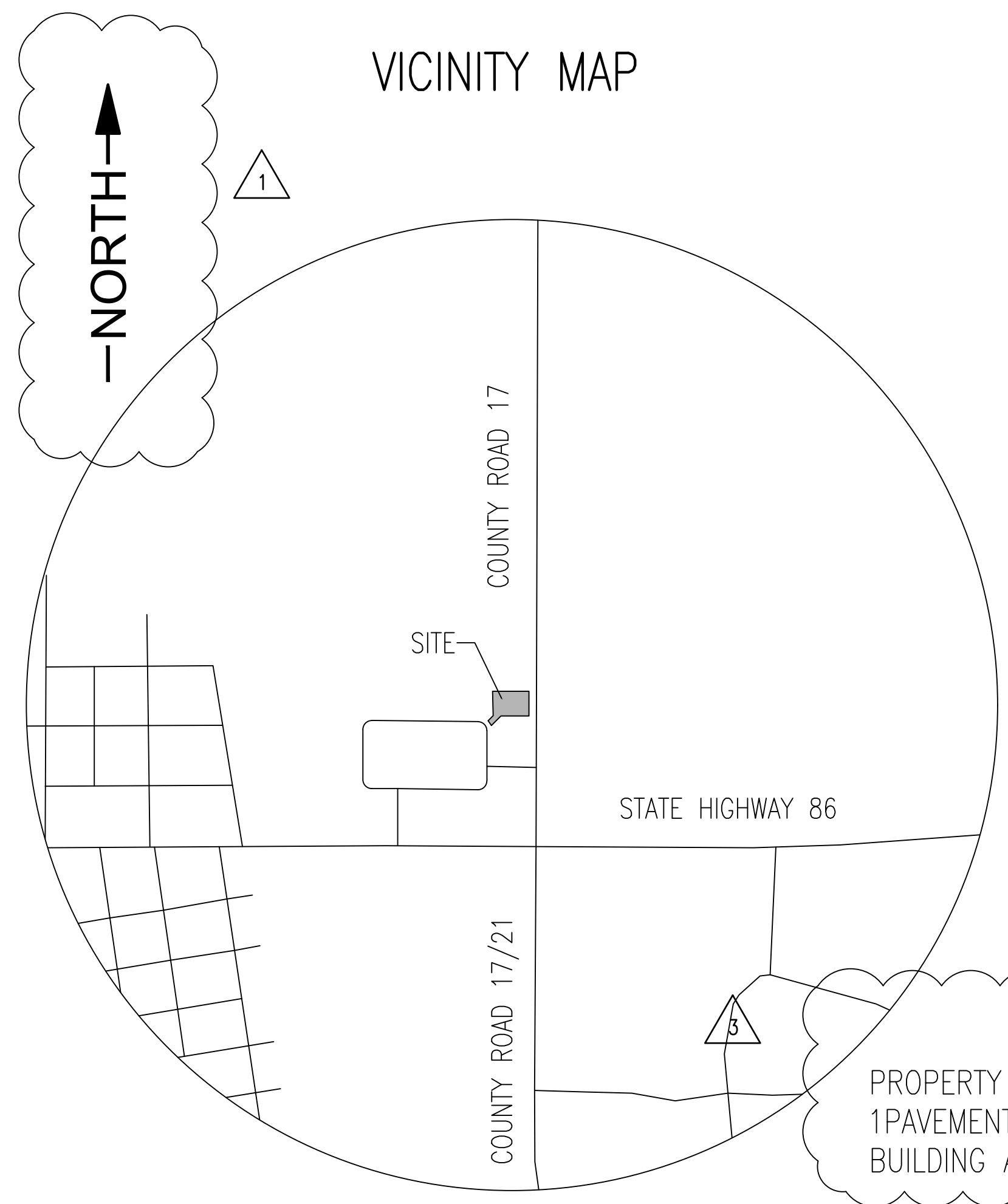
DRAWN BY: WALDERA

DATE DRAWN: 7/16/21

PLAN REVISIONS:		
NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

SHAMROCK INVESTMENTS LLC

Site Plan for Shamrock Investments LLC
755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO



SCALE = 1:7500

LAND USE / SITE DATA

PROPERTY AREA: 27,442 SQ.FT. GROSS - 26,571 SQ.FT. NET
PAVEMENT AREA: 17,167 SQ.FT.
BUILDING AREA: 4,368 SQ.FT.

LOT COVERAGE (PER TABLE 16-6)
 UNDER ROOF (ALLOWED): 50%
 UNDER ROOF (ACTUAL): 4,368 SQ.FT. / 27,442 SQ.FT. = .159 ≈ 16%
 MINIMUM VEGETATIVE AREA (REQUIRED): 15%
 VEGETATIVE AREA (PROVIDED): 5,852 SQ.FT. / 27,442 SQ.FT. = .214 ≈ 21%

SITE PLAN NOTES

- THIS SITE IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08039C0480C, EFFECTIVE DATE MARCH 17, 2011.
- THE PROPERTY IS ZONED RC: REGIONAL COMMERCIAL
- DENSITY AND DIMENSIONAL STANDARDS, CHAPTER 16 OF THE MUNICIPAL CODE:
 MAXIMUM BUILDING HEIGHT - 35 FEET
 FRONT SETBACK - 25 FEET WHEN ADJACENT TO PUBLIC ROW
 10 FEET WHEN ADJACENT TO PRIVATE ROW
 SIDE SETBACK - 10 FEET WHEN ADJACENT TO PUBLIC ROW
 5 FEET WHEN ADJACENT TO PRIVATE ROW
 REAR SETBACK - 5 FEET

PARKING SUMMARY
 PARKING FORMULA: 1 SP. PER 200 SQ.FT. OF OFFICE SPACE
 1 SP. PER 500 SQ.FT. OF GARAGE SPACE

SPACES REQUIRED:
 OFFICE SPACE = 3,024 SF / 200 = 16 SPACES
 GARAGE SPACE = 1,344 SF / 500 = 3 SPACES
 19 SPACES REQUIRED TOTAL

SPACES PROVIDED: 19 SPACES PROVIDED

ACCESSIBLE SPACES PROVIDED: 2

SPACING SIZES:
 PARKING SPACES ARE REQUIRED TO BE BROKEN DOWN INTO 3 DIFFERENT SIZES
 50% FULL SIZE (9' x 19') = 9 SPACES (9 PROVIDED)
 25% OVERSIZE (10' x 20') = 4 SPACES (4 PROVIDED)
 25% COMPACT (8' x 17') = 4 SPACES (4 PROVIDED)

OWNER OR TENANT
SHAMROCK INVESTMENTS
 SHAMROCK INVESTMENTS LLC
 CORPORATE OFFICES
 190 PAOLI ST.
 VERONA, WISCONSIN 53593

SHEET INDEX

SHEET NUMBER	SHEET NAME
CT1.0	SITE PLAN COVER SHEET
D1.0	SITE DEVELOPMENT PLAN
L1.0	LANDSCAPE AND IRRIGATION PLAN
EE1.0	EXTERIOR ELEVATIONS
SG1.0	BUILDING EXTERIOR SIGNAGE
IP1.0	INTERIOR ROOM LAYOUT PLAN
SP1.0	SITE PHOTOMETRIC PLAN
SP1.1	SITE LIGHTING DETAILS
C1.0	COVER SHEET & NOTES
C1.1	GRADING PLAN
C1.2	UTILITY SERVICE PLAN
C1.3	EROSION CONTROL PLAN
C1.4	EROSION & SEDIMENT CONTROL DETAILS

LEGAL DESCRIPTION

SECTION: 7 TOWNSHIP: 8 RANGE: 64 SUBDIVISION:
 ELIZABETH CROSS ROADS BUSINESS PARK LOT: 3
 1/21 INT TRACT C

PROJECT NAME:
SHAMROCK INVESTMENTS

PROJECT SITE ADDRESS:
 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO

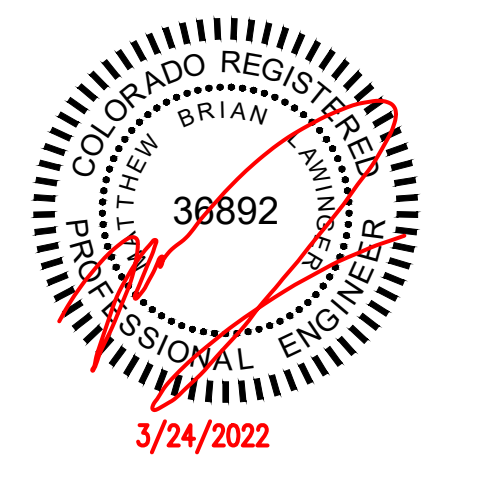
BUILDING SIZE:
 42'x32'x14'-8" & 42'x72'x11'-8"

SHEET NAME:
 SITE PLAN COVER SHEET

PROJECT NUMBER:
PR2021039

SHEET NUMBER:
CT1.0

SHEET SCALE:





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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 7/16/21

PLAN REVISIONS:

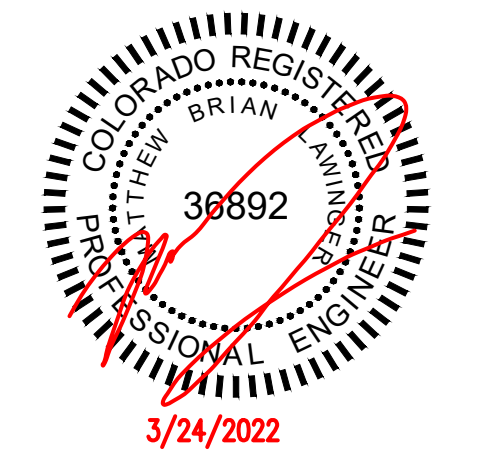
NUMBER	DATE	BY
1	1/27/22	MW
2	2/3/22	MW
3	3/4/22	MW
4	3/24/22	MW

PROJECT NAME: SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: SITE DEVELOPMENT PLAN

PROJECT NUMBER: PR2021039

SHEET NUMBER: D1.0

SHEET SCALE: 1/16" = 1'-0"



ZONING CLASSIFICATION:
 PROPERTY AREA:
 PAVEMENT AREA:

ZONING CODE
 RC (REGIONAL COMMERCIAL)
 27,442 SQ.FT. GROSS - 26,571 SQ.FT. NET
 17,167 SQ.FT.

PARKING SUMMARY
 PARKING FORMULA:

1 SP. PER 200 SQ.FT. OFFICE SPACE
 1 SP. PER 500 SQ.FT. GARAGE SPACE
 OFFICE SPACE = 3,024 SF
 OTHER SPACE = 1,344 SF

SPACES REQUIRED:

3,024/200 = 16 SPACES
 1,344/500 = 3 SPACES
 19 SPACES REQUIRED

SPACES PROVIDED:

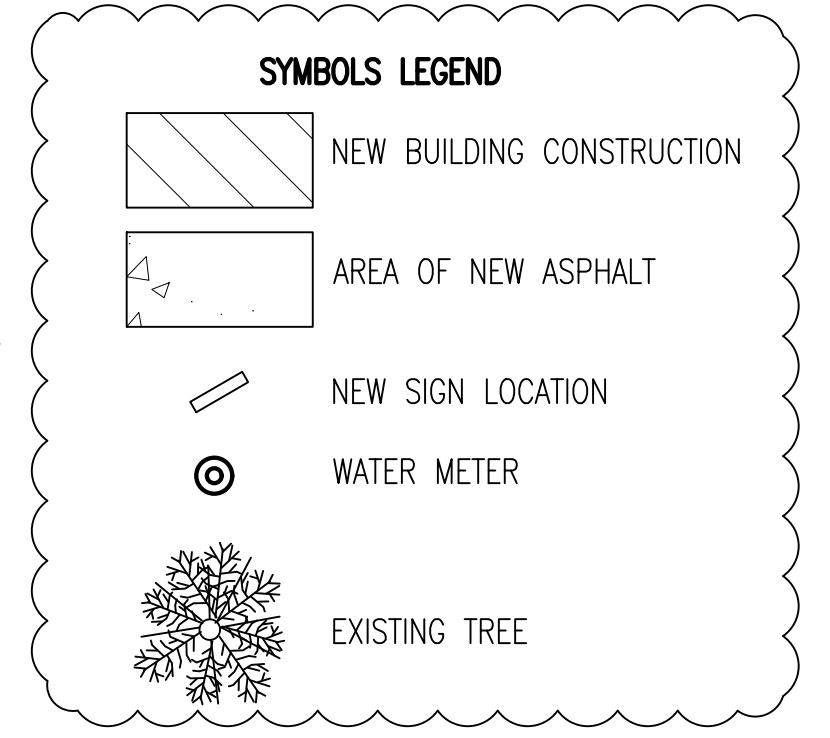
19 SPACES PROVIDED

H.C. SPACES PROVIDED: 2

SPACE SIZES:

PARKING SPACES ARE REQUIRED TO BE BROKEN
 DOWN INTO 3 DIFFERENT SIZES:

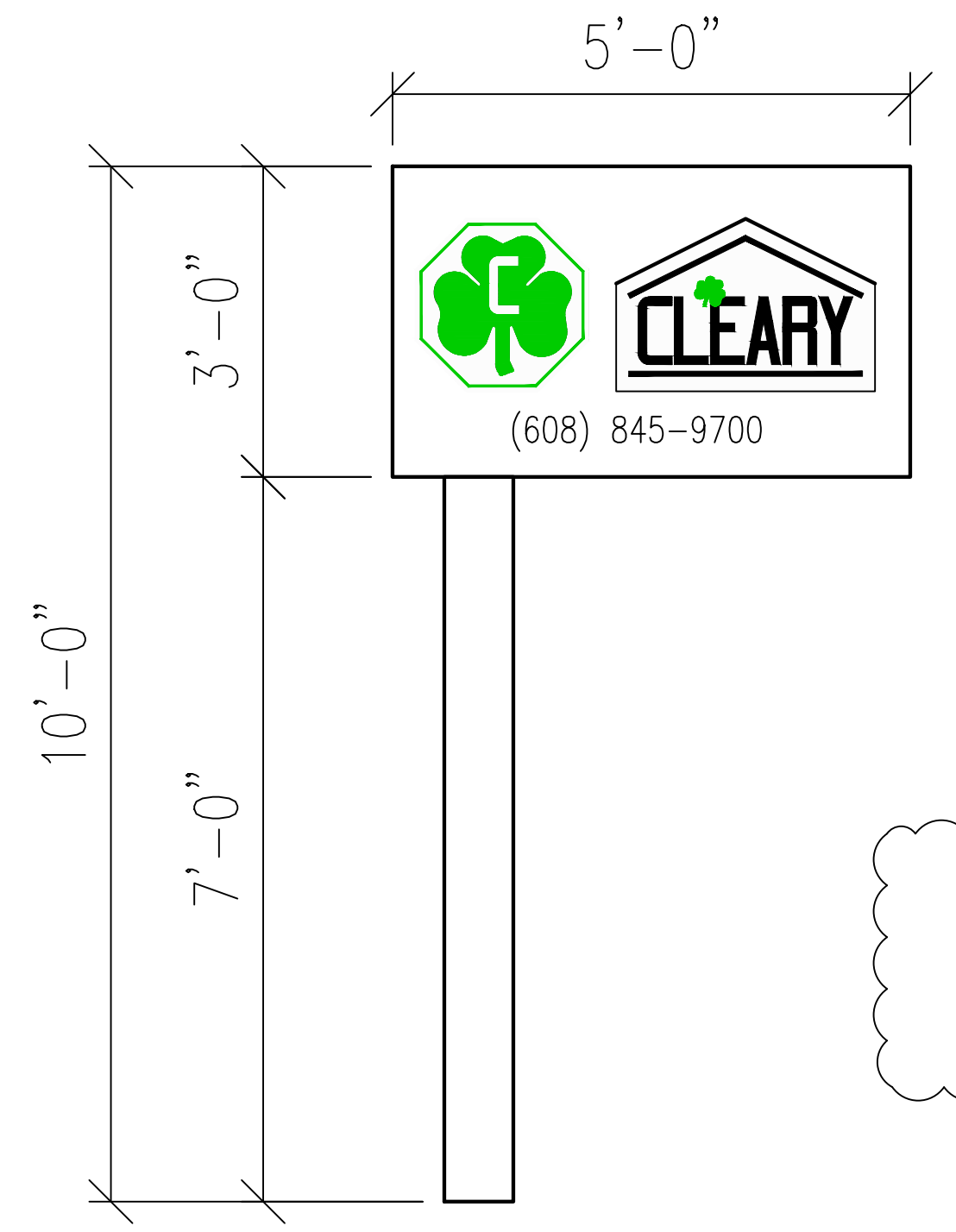
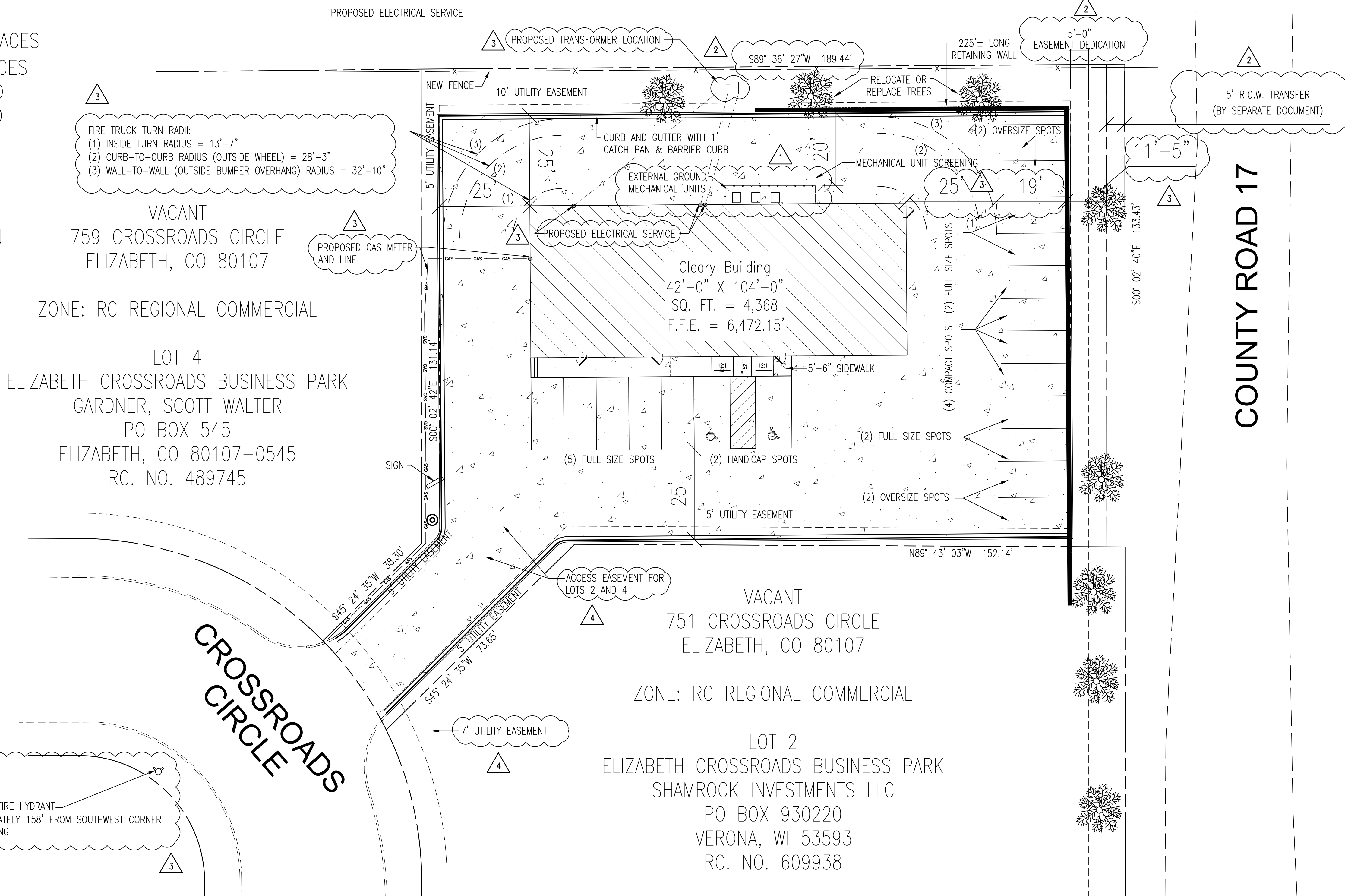
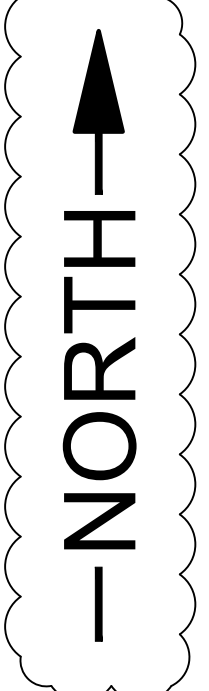
50% FULL SIZE (9' x 19') = 9 SPACES
 25% OVERSIZE (10' x 20') = 4 SPACES
 25% COMPACT (8' x 17') = 4 SPACES



EXEMPT
 34201 COUNTY RD17
 ELIZABETH, CO 80107

ZONE: A AGRICULTURE

ELIZABETH PARK AND RECREATION DISTRICT
 PO BOX 434
 ELIZABETH, CO 80107-0434
 RC. NO. 377430



SIGN ELEVATION

File Name and Path: I:\Commercial\CAD FILES\2021\PROPOSAL\PR2021039\ELIZABETH SUBMITTAL\PR2021039-02-SITE-DEVELOPMENT-PLAN-D1.0-4.dwg
 Printed By: Michael Waldera
 Date Printed: 3/24/2022 11:59 AM

PLANTING SCHEDULE

MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	DETAIL	NOTES
●	ROCKY MOUNTAIN MAPLE	ACER GLABRUM	2	2 1/2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
●	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	1	2 1/2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
●	TAMMY JUNIPER	JUNIPERUS SABINA 'TAMISCIFOLIA'	10	2' HEIGHT MIN.	4/L1.2	FULL PLANT
●	COMPACT EVERGREEN OREGON GRAPE HOLLY	MAHONIA AQUILIFOLIUM 'COMPACTA'	10	1' HEIGHT MIN.	4/L1.2	FULL PLAN

EXEMPT
34201 COUNTY RD17
ELIZABETH, CO 80107

ZONE: A AGRICULTURE

ELIZABETH PARK AND RECREATION DISTRICT
PO BOX 434
ELIZABETH, CO 80107-0434
RC. NO. 377430



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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
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2	2/3/22	MW
3	3/4/22	MW
4	3/24/22	MW

GENERAL NOTES

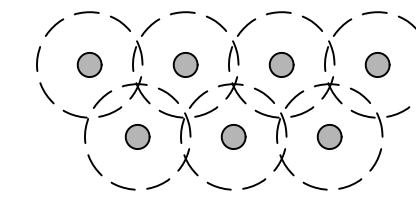
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SHOWN COVERAGE AREAS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL AS SPECIFIED.
- VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND PLANTING, REFER TO LANDSCAPE PLAN. WHEN TRENCHING AVOID TREE ROOT BALLS AND INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO AVOID OVERTHROW ON SIDEWALKS, PAVING, WALLS, ROADWAYS, AND BEYOND PROPERTY LINES, UNLESS OTHERWISE INDICATED. THROTTLE ALL IRRIGATION CONTROL VALUES AS REQUIRED TO PREVENT FOGGING. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 18" FROM WALLS AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD.
- TOP OF SPRAY AND ROTOR HEADS SHALL BE SE AT TOP OF SOD OR TOP OF MULCH LAYERS.
- PROVIDE RAIN SENSOR AND ANIT-FREEZE ASSEMBLY OON IRRIGATION SYSTEM.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000 PSI POURED CONCRETE THRUST BLOCKS.
- PROVIDE COMPRESSED AIR QUICK CONNECT BRASS FITTING IN VALVE BOX FOR WINTERIZATION. LOCATE AS CLOSE TO WATER SOURCE AS POSSIBLE.

KEY NOTES

- (A) APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO UTILITIES PLAN
- (B) IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING
- (C) 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE

COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



LANDSCAPE CALCULATIONS

LANDSCAPE AND BUFFER AREA SEC. 16-2-50
REQUIRED:
15% OF SITE AREA
PROVIDED:
5,852 SQ.FT. / 27,387 SQ.FT. = .214 ≈ 21%

BUFFER STRIP PLANTING REQUIREMENTS SEC. 16-2-50
ALONG ALL PUBLIC AND PRIVATE STREETS:
DECIDUOUS AND CONIFEROUS TREES PLANTED AT FORTY-FOOT INTERVALS WITHIN TEN (10) FEET OF THE PAVEMENT OR CURBS LINE< EXCEPT ALONG STATE HIGHWAY 86 WHERE THE PROPERTY LINE SHALL BE USED.

REQUIRED ALONG COUNTY ROAD 17:
133.43' FRONTAGE/40.0' = 3.34 ≈ 4 TREES REQUIRED/4 TREES PROVIDED

IN ALL LANDSCAPING AREAS, ONE (1) TREE AND FIVE SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY BUILDING OR REQUIRED PARKING.
5,852 SQ.FT. / 1,500 SQ.FT. = 3.90
3.90 x 5 = 19.5 ≈ 20 SHRUBS / 20 PROVIDED
3.90 x 1 = 3.90 ≈ 4 TREES / 4 PROVIDED

SYMBOLS LEGEND

- EXISTING TREES
- NEW TREES PLANTING
- NEW SHRUBS PLANTING
- NEW AREA OF IRRIGATION SYSTEM COVERAGE AND AREA OF SOD

VACANT
759 CROSSROADS CIRCLE
ELIZABETH, CO 80107

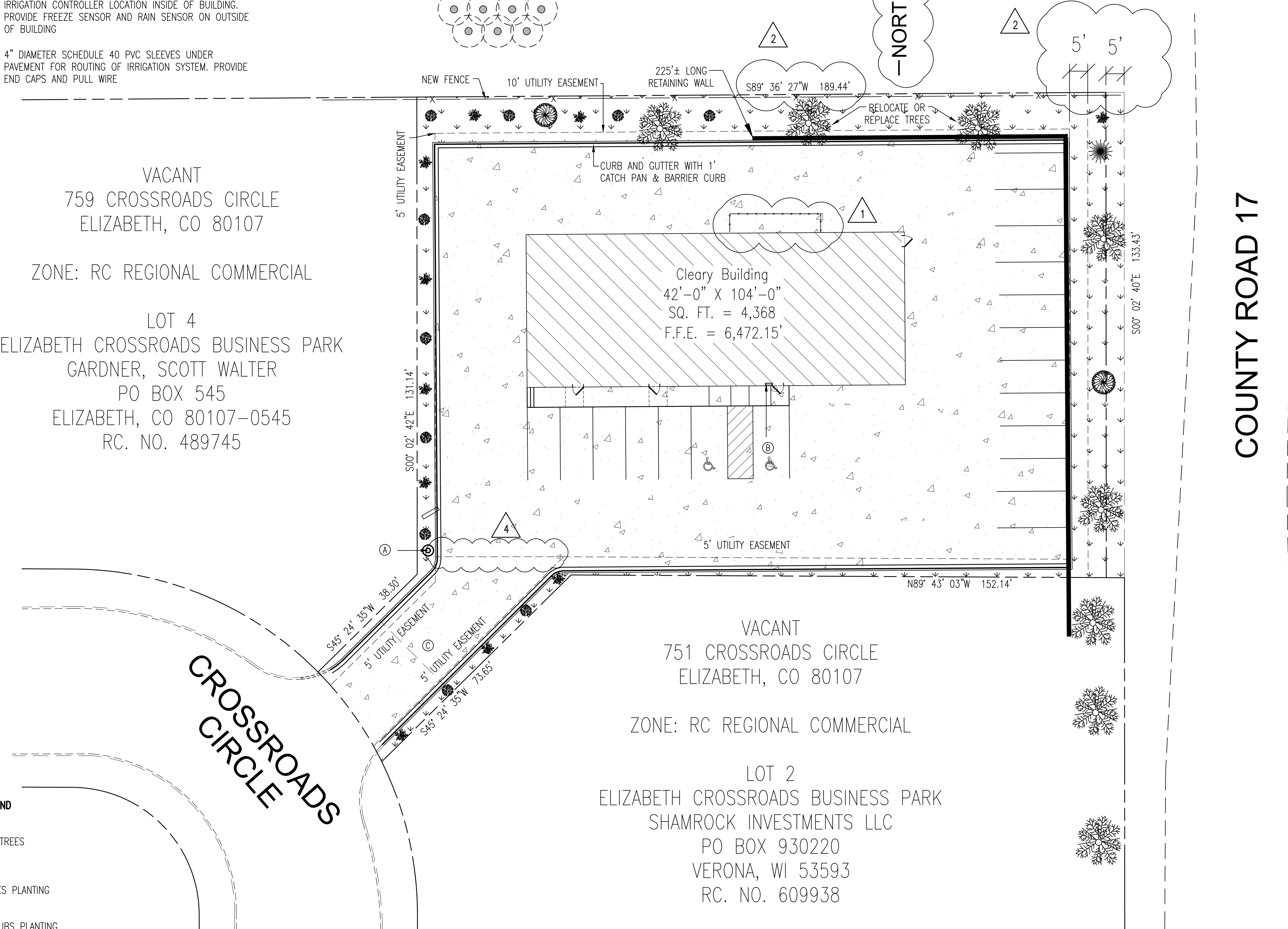
ZONE: RC REGIONAL COMMERCIAL

LOT 4
ELIZABETH CROSSROADS BUSINESS PARK
GARDNER, SCOTT WALTER
PO BOX 545
ELIZABETH, CO 80107-0545
RC. NO. 489745

VACANT
751 CROSSROADS CIRCLE
ELIZABETH, CO 80107

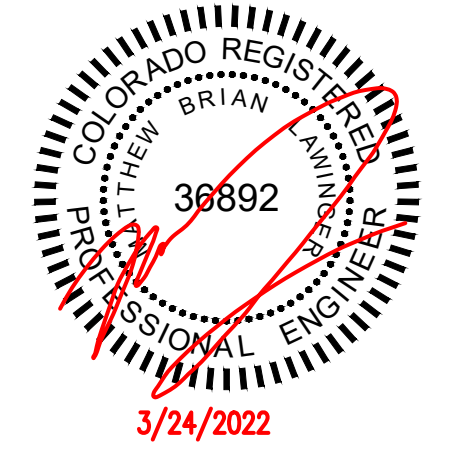
ZONE: RC REGIONAL COMMERCIAL

LOT 2
ELIZABETH CROSSROADS BUSINESS PARK
SHAMROCK INVESTMENTS LLC
PO BOX 930220
VERONA, WI 53593
RC. NO. 609938



PROJECT NAME:
SHAMROCK INVESTMENTS
PROJECT SITE ADDRESS:
755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO
BUILDING SIZE:
42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME:
LANDSCAPE AND IRRIGATION PLAN

PROJECT NUMBER:
PR2021039
SHEET NUMBER:
L1.0
SHEET SCALE: 1/16" = 1'-0"





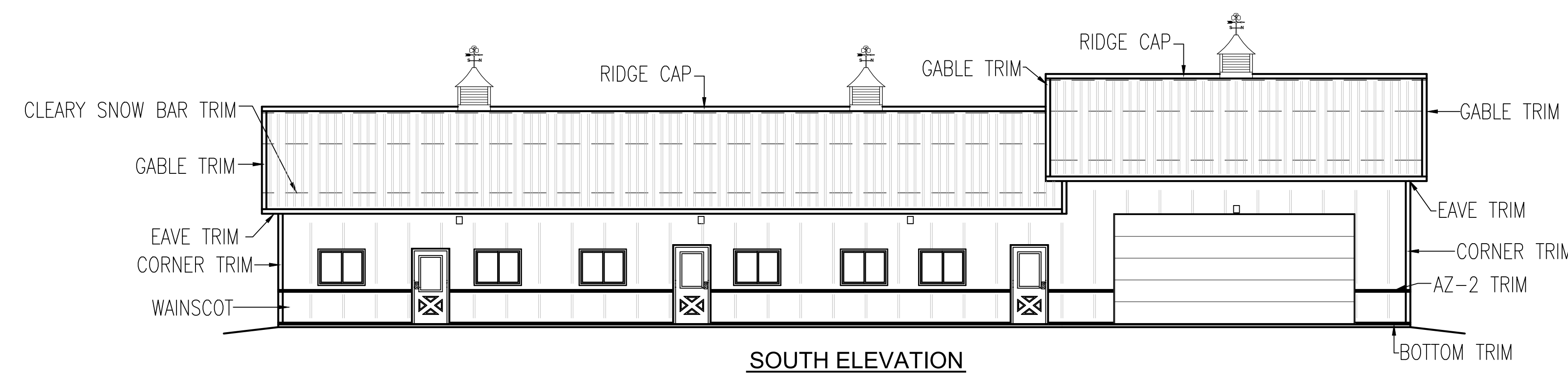
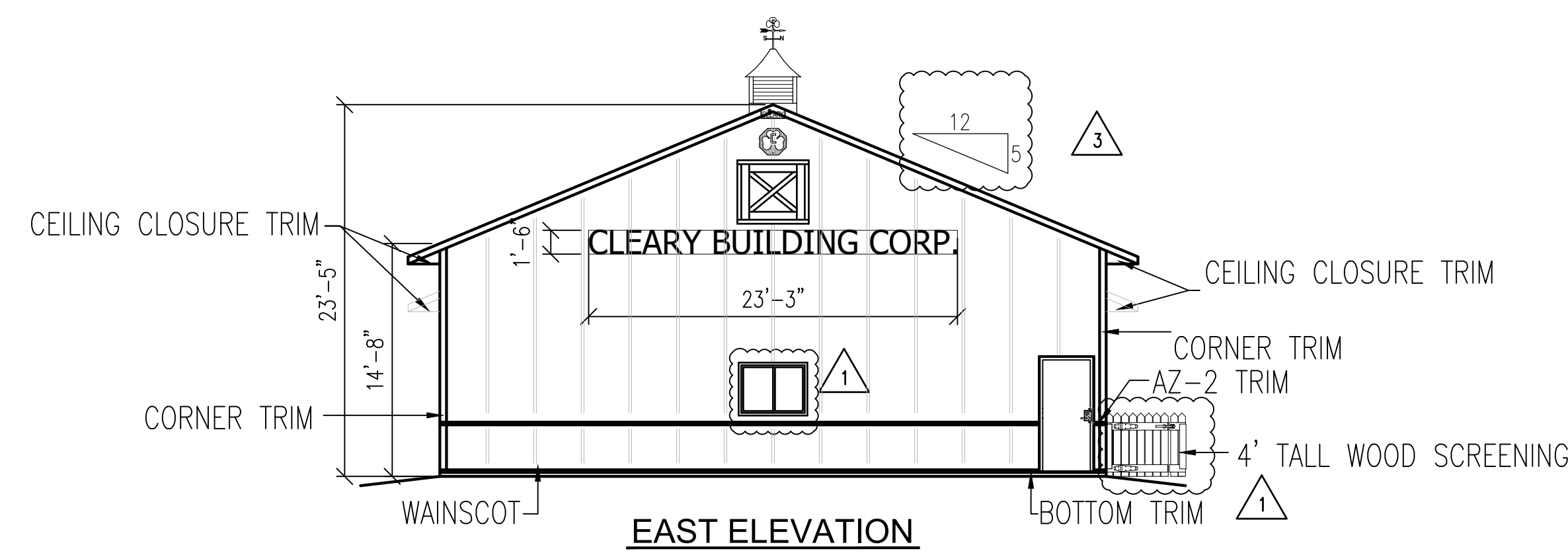
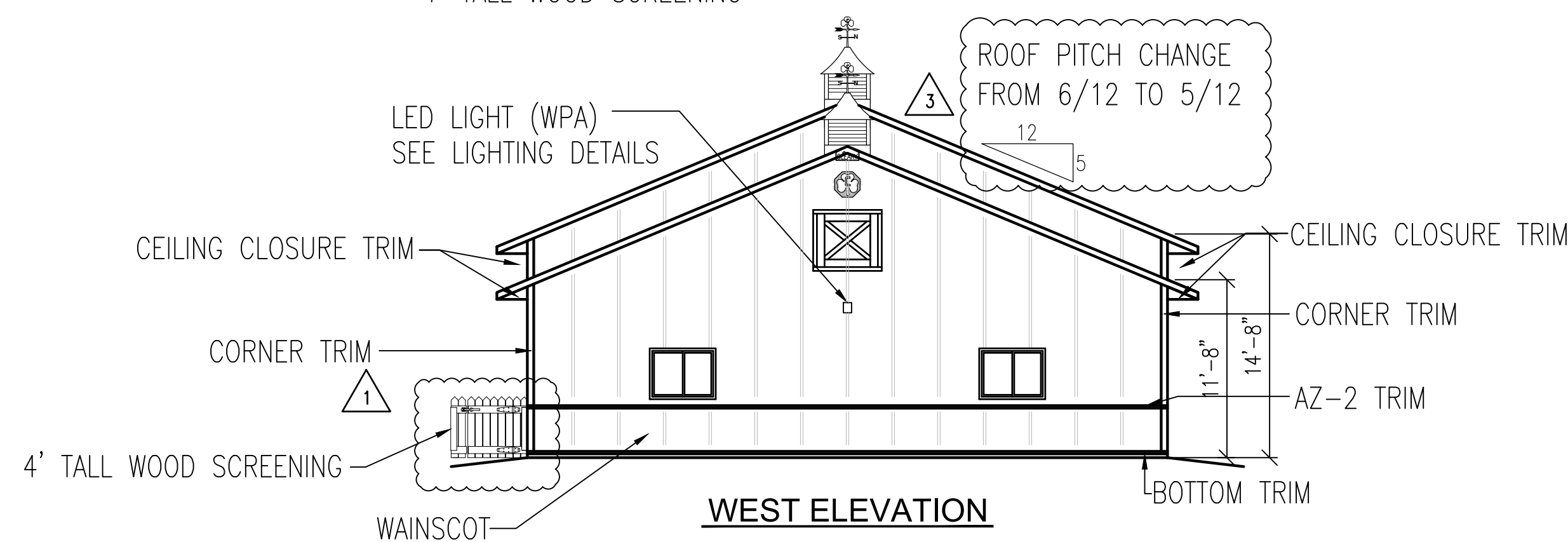
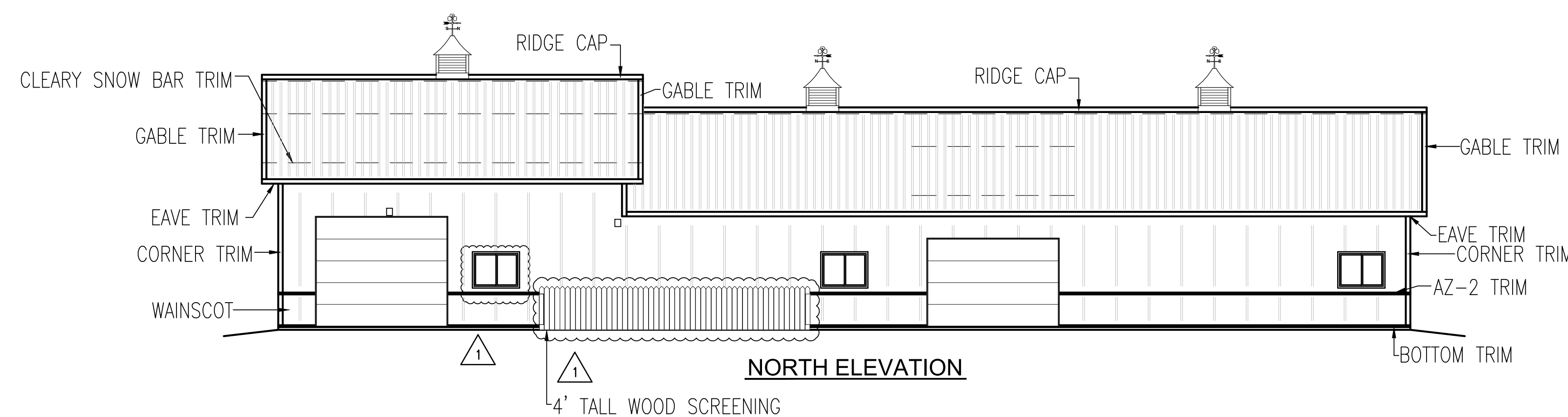
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DATE DRAWN: 7/16/21

PLAN REVISIONS:

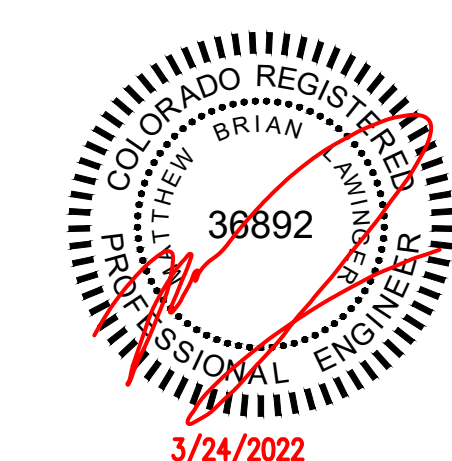
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3	3/4/22	MW
4		



BUILDING COLORS
 ROOF: GRAND RIB III +, RED
 SIDES: GRAND RIB III +, LIGHT STONE
 TRIM: GRAND RIB III +, RED
 WAINSCOTING: GRAND RIB III +, RED
 BUILDING SIGN: CELLULOSE ACETATE BUTYRATE, DARK GREEN

PROJECT NAME: **SHAMROCK INVESTMENTS**
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: EXTERIOR ELEVATIONS

PROJECT NUMBER: **PR2021039**
 SHEET NUMBER: **EE1.0**
 SHEET SCALE: 1/8" = 1'-0"



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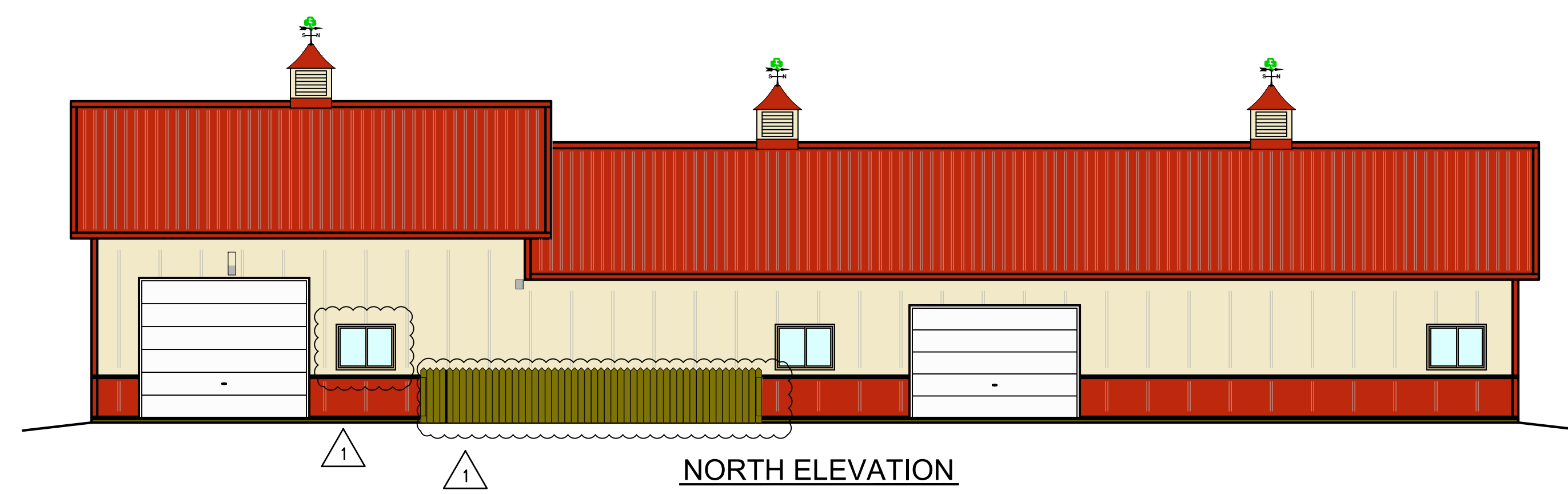
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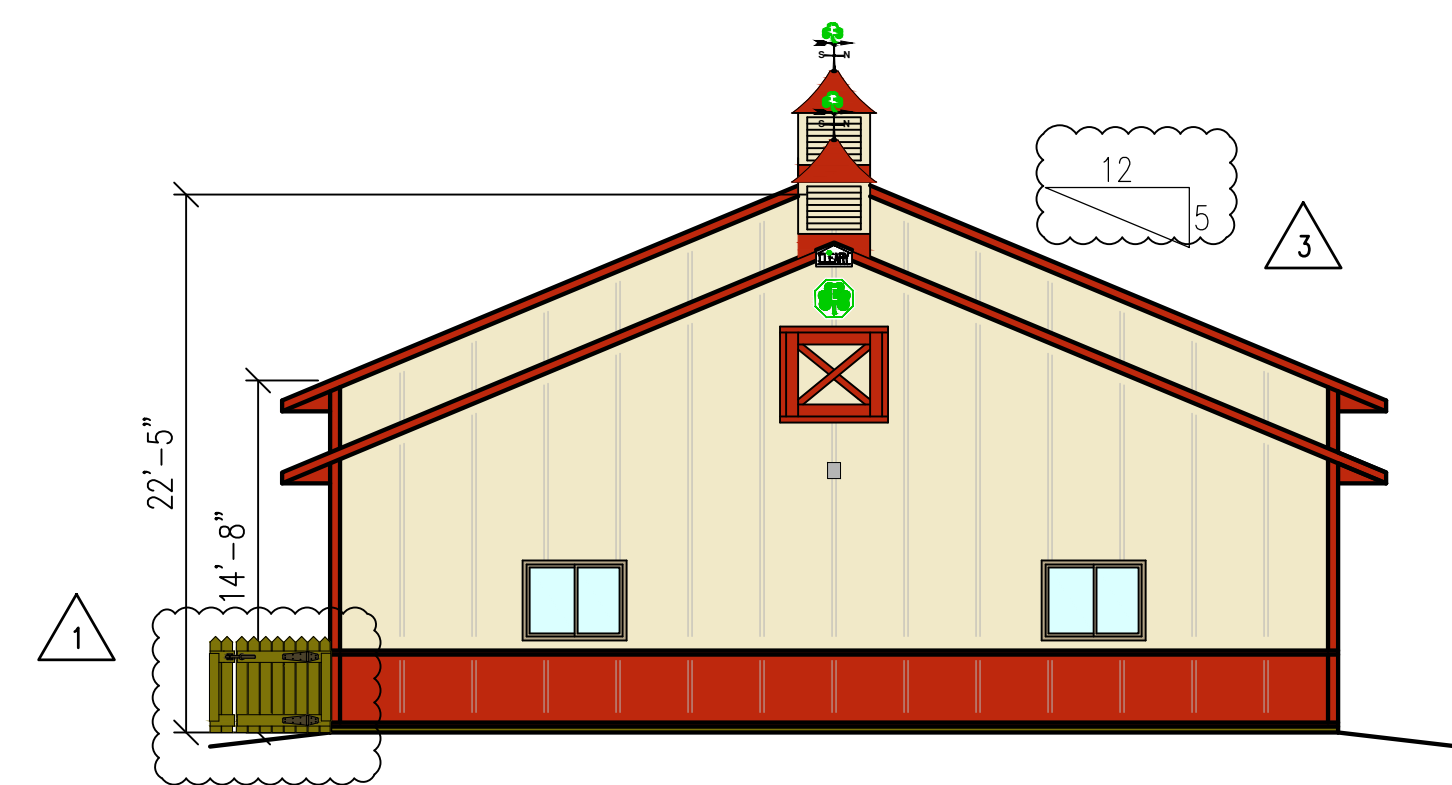
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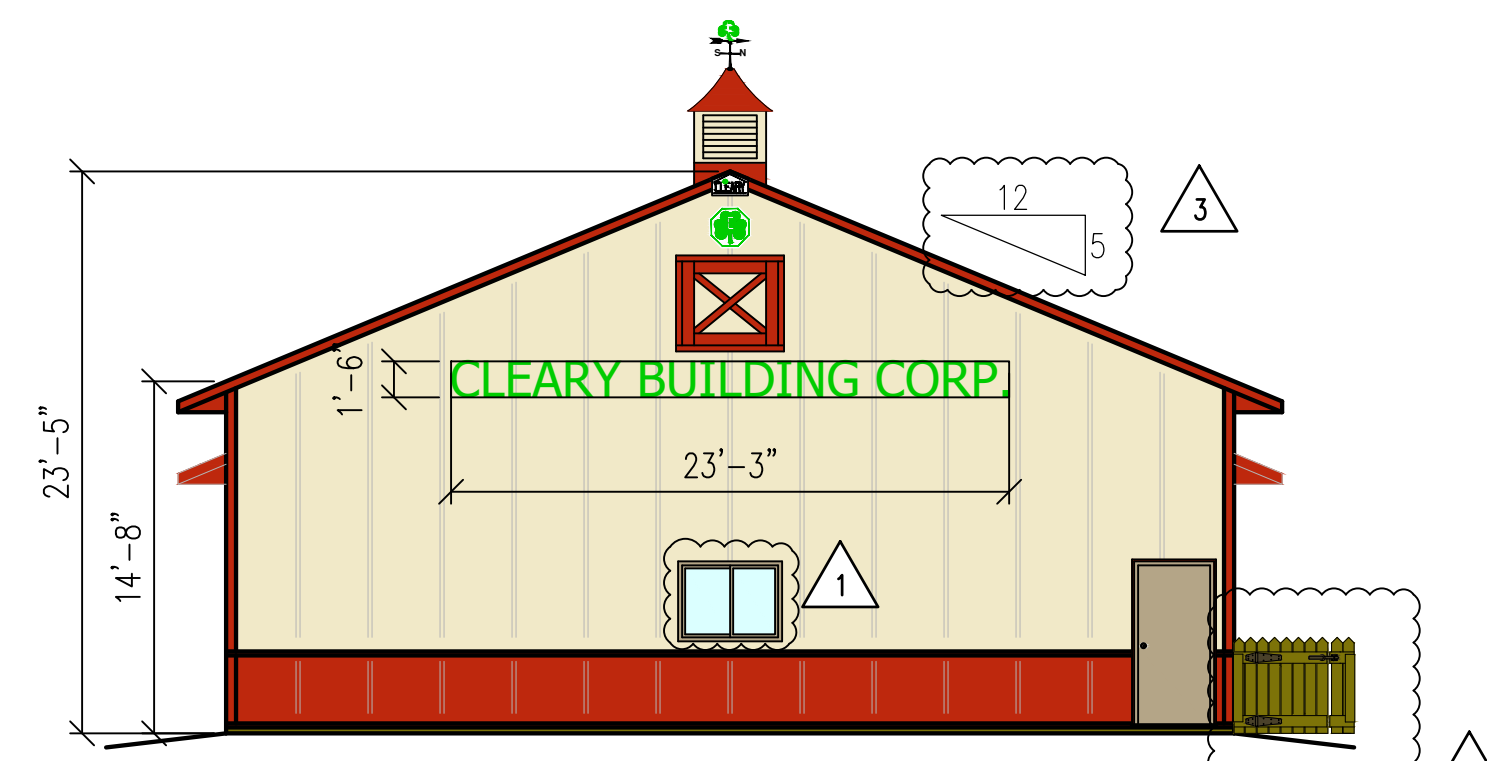
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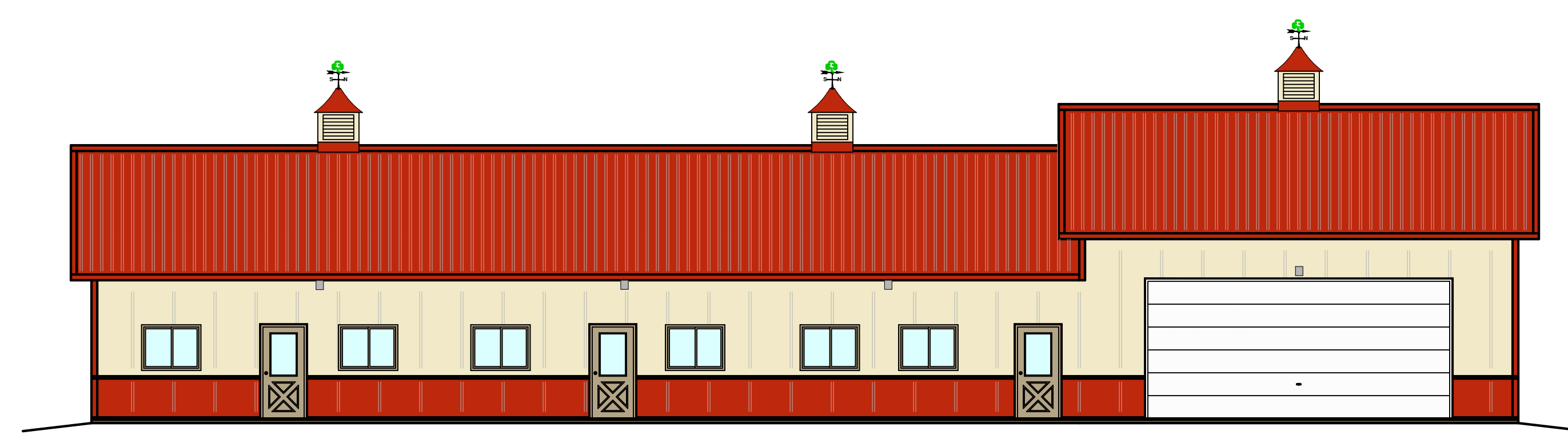
NORTH ELEVATION



EAST ELEVATION






EAST ELEVATION



SOUTH ELEVATION

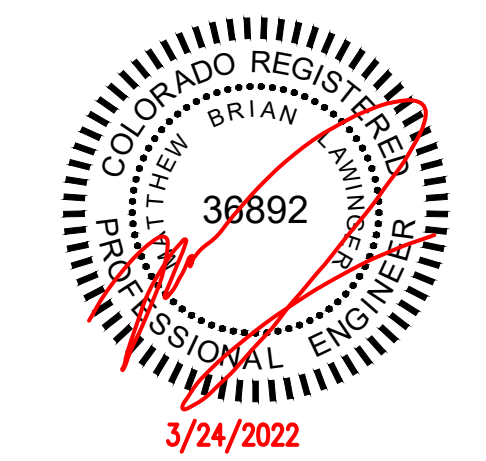
BUILDING COLORS

ROOF: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 SIDES: GRAND RIB III +, LIGHT STONE
 TRIM: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 WAINSCOTING: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 BUILDING SIGN: CELLULOSE ACETATE BUTYRATE, DARK GREEN

-  FABRAL: RED (898)
-  FABRAL: LIGHT STONE (887)
-  CAPITAL CITY NEON SIGN CO.: DARK GREEN (2030)

PROJECT NAME: **SHAMROCK INVESTMENTS**
 PROJECT SITE ADDRESS: **755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO**
 BUILDING SIZE: **42'x32'x14'-8" & 42'x72'x11'-8"**
 SHEET NAME: **BUILDING EXTERIOR SIGNAGE**

PROJECT NUMBER: **PR2021039**
 SHEET NUMBER: **SG1.0**
 SHEET SCALE: 1/8"=1'-0"





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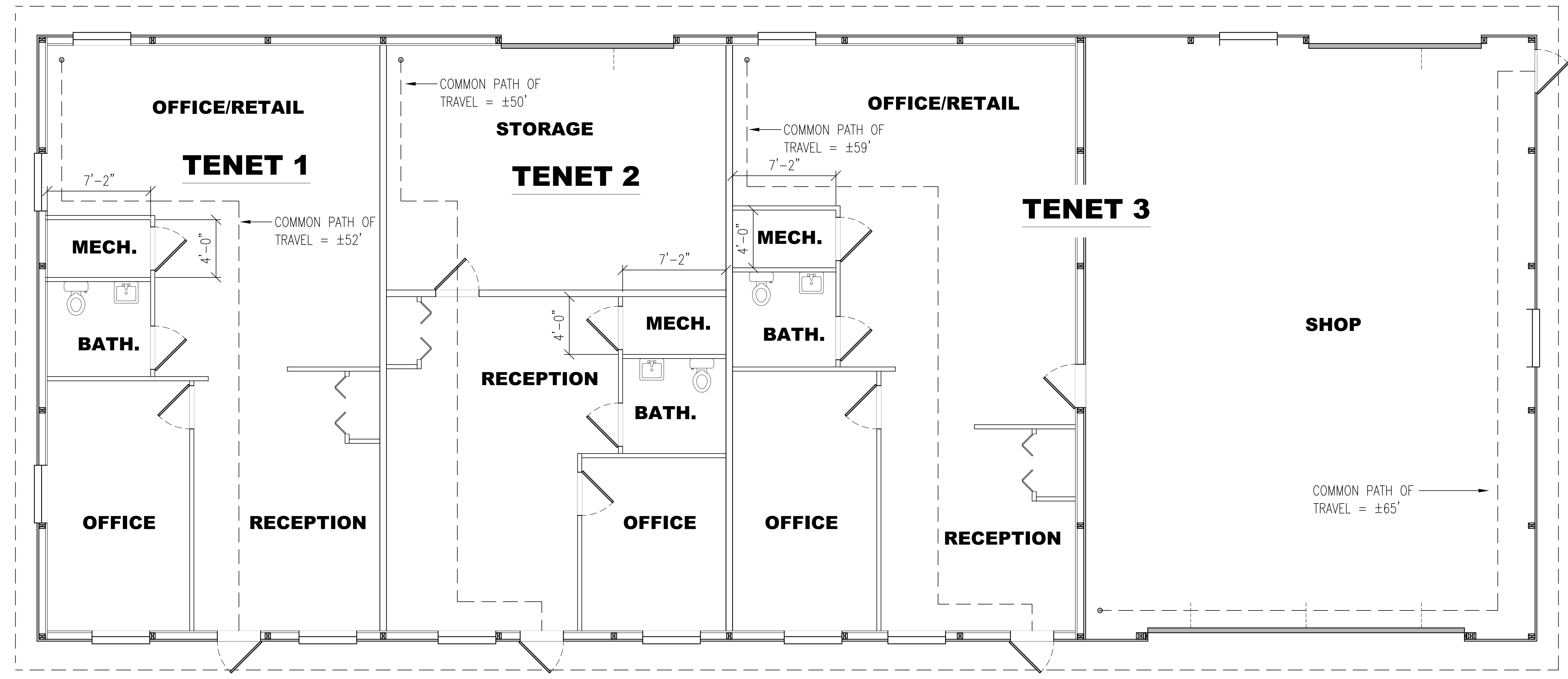
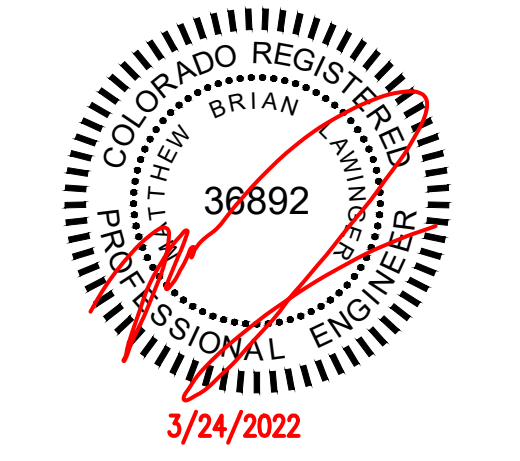
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NUMBER	DATE	BY
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PROJECT NAME: SHAMROCK INVESTMENTS
PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME: INTERIOR ROOM LAYOUT PLAN

PROJECT NUMBER: PR2021039

SHEET NUMBER: IP1.0

SHEET SCALE: 1/4"=1'-0"



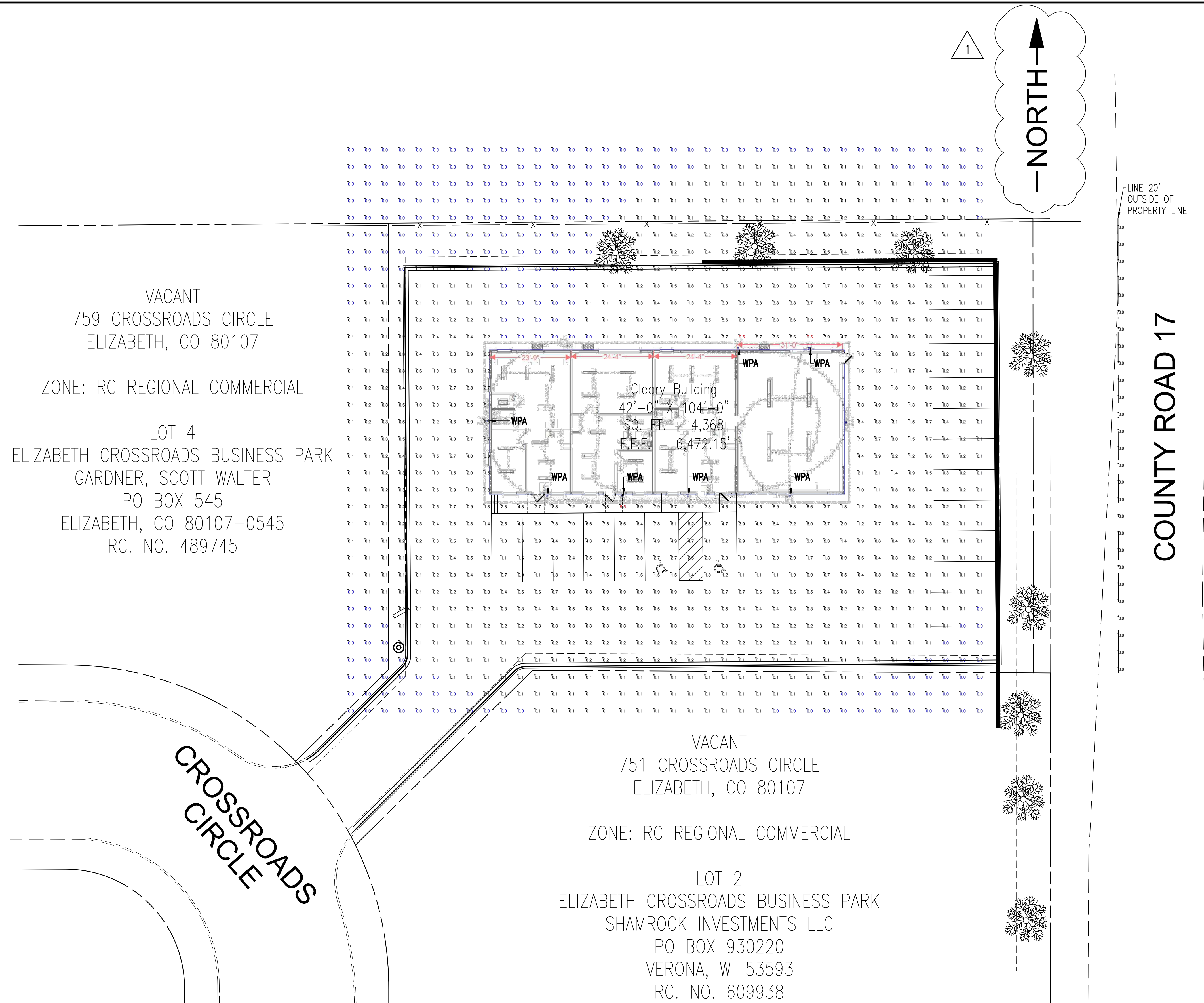
FINISH SCHEDULE			
ROOM	WALL	CEILING	FLOOR
SHOP	- UNFINISHED FRAMING	- UNFINISHED FRAMING	CONCRETE
MECHANICAL	-UNFINISHED FRAMING	- LINER PANEL CEILING WITH (3) MIL. POLY. - ATTIC INSULATION (BY CLEARY SUB) -8'-0" FROM FINISHED FLOOR TO CEILING	CONCRETE
BATHROOMS	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- 2x8 SP#1 DECK JOISTS AT 16" O.C. - 5/8" GYPSUM WALL BOARD CEILING - 8'-0" FROM FINISHED FLOOR TO CEILING	VINYL
RECEPTION	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CARPET
OFFICES	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- 2x8 SP#1 DECK JOISTS AT 16" O.C. - 5/8" GYPSUM WALL BOARD CEILING - 8'-0" FROM FINISHED FLOOR TO CEILING	CARPET
OFFICE/RETAIL	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CONCRETE
STORAGE	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CONCRETE

NOTE:
ALL EXTERIOR AND INTERIOR DOORS TO BE ADA COMPLIANT

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AUTOMATIC LIGHTING CONTROL
 COMPLIANCE WITH ENERGY CODE IS
 ACHIEVED BY:

1. ALL SIGNAGE LIGHTING SHALL BE EXTINGUISHED WITHIN ONE (1) HOUR OF THE END OF BUSINESS HOURS, AND REMAIN EXTINGUISHED UNTIL ONE (1) HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS HOURS.
2. LIGHTS SHALL BE AUTOMATICALLY TURNED OFF WHEN DAYLIGHT IS PRESENT AND SATISFIES THE LIGHTING NEEDS. BUILDING FACADE AND LANDSCAPE LIGHTING SHALL AUTOMATICALLY SHUT OFF FROM NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENING.
3. TIME SWITCH CONTROLS FOR EXTERIOR LIGHTING SHALL COMPLY WITH THE FOLLOWING:
 - 3.1. THEY SHALL HAVE A CLOCK CAPABLE OF BEING PROGRAMMED FOR NOT FEWER THAN 7 DAYS.
 - 3.2. THEY SHALL BE CAPABLE OF BEING SET FOR SEVEN DIFFERENT DAY TYPES PER WEEK.
 - 3.3. THEY SHALL INCORPORATE AN AUTOMATIC HOLIDAY SETBACK FEATURE.
 - 3.4. THEY SHALL HAVE PROGRAM BACKUP CAPABILITIES THAT PREVENT THE LOSS OF PROGRAM TIME SETTINGS FOR A PERIOD OF NOT LESS THAN 10 HOURS IN THE EVENT THAT POWER IS INTERRUPTED.



EXTERIOR LIGHT FIXTURE SCHEDULE

MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	MOUNTING	LAMP TYPE	WATTAGE	NOTES
WPA	EIKO	WPA-455-35W-740-UD-BZ	120-277V	WALL	LED	35.1W	FULL CUTOFF



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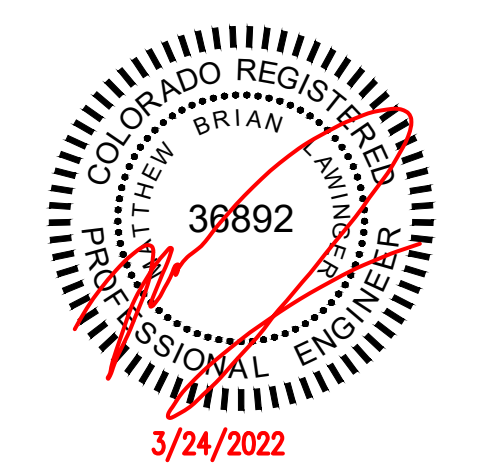
DRAWN BY: WALDERA
 DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

PROJECT NAME: SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: SITE PHOTOMETRIC PLAN

PROJECT NUMBER: PR2021039
 SHEET NUMBER: SP1.0
 SHEET SCALE: 1/16"=1'-0"





WALLPACK : FULL CUTOFF

DESCRIPTION

A stylish and slim adjustable wallpack featuring 130lpw efficiency and 0°-90° adjustability.

FEATURES

- 0°-90° adjustable
- Easy installation and maintenance

LISTINGS

- UL Listed for wet locations
- IP65 Rated
- DesignLights Consortium® Premium Qualified - meets the requirements for the highest DLC qualification for efficacy and lumen maintenance

LED CHARACTERISTICS

- Rated lifetime L70: 50,000 hours
- 4000K/5000K CCT
- CRI: >70

ELECTRICAL

- Input voltage: 120-277V
- Power Factor: >0.9
- THD: <20%

CONSTRUCTION

- Integrated aluminum heat sink
- Polycarbonate lens
- Corrosion-resistant coating
- -40°F to 122°F (-40°C to 50°C) operating temperature

WARRANTY

- 5 year limited warranty. Additional warranty options available. Contact EIKO for details

project name	type
catalog number	
comments	voltage
approved by	date



12W/35W



50W/75W

APPLICATIONS

- Industrial Parks
- Loading Docks
- Utility Sheds
- Entryways
- Walkways
- Storage Areas
- Security



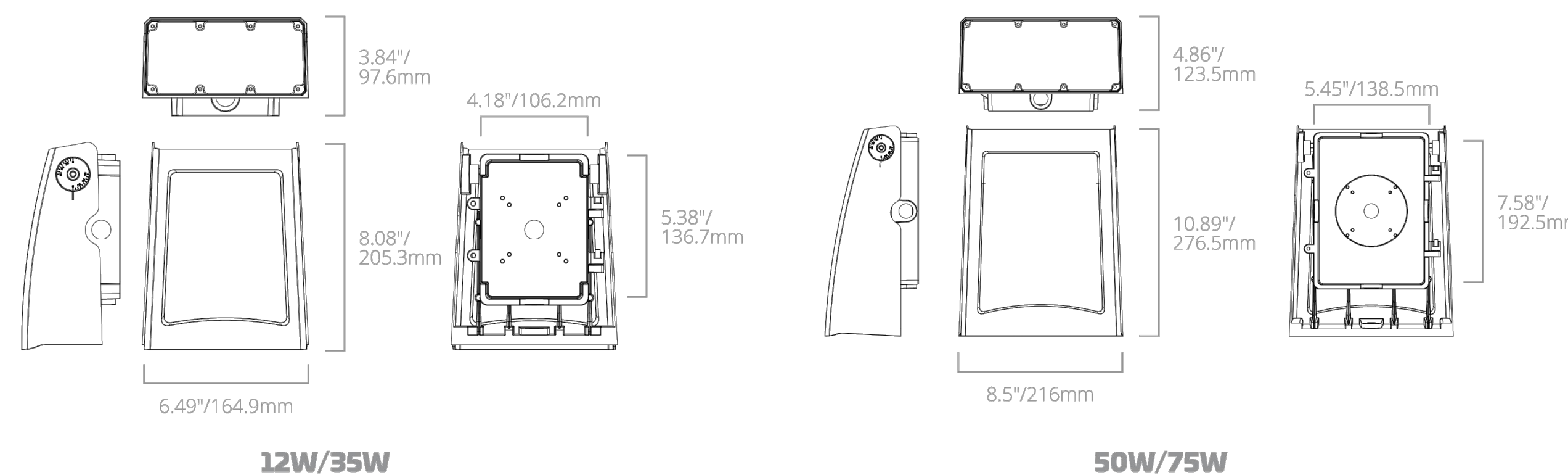
PERFORMANCE SUMMARY

Order Code	Item #	Watts	Lumens	CCT	CRI	Volts	Dimming	DLC Premium
11139	WPA-156-12W-740-UD-BZ	12W	1,560	4000K	70+	120-277V	0-10V	✓
11140	WPA-156-12W-750-UD-BZ	12W	1,560	5000K	70+	120-277V	0-10V	✓
11141	WPA-455-35W-740-UD-BZ	35W	4,550	4000K	70+	120-277V	0-10V	✓
11142	WPA-455-35W-750-UD-BZ	35W	4,550	5000K	70+	120-277V	0-10V	✓
11144	WPA-650-50W-740-UD-BZ	50W	6,500	4000K	70+	120-277V	0-10V	✓
11145	WPA-650-50W-750-UD-BZ	50W	6,500	5000K	70+	120-277V	0-10V	✓
11146	WPA-975-75W-740-UD-BZ	75W	9,750	4000K	70+	120-277V	0-10V	✓
11147	WPA-975-75W-750-UD-BZ	75W	9,750	5000K	70+	120-277V	0-10V	✓

ACCESSORIES

Order Code	Item #	Description
11154	WPAYOKESM	Adjustable Wall Pack Yoke Mount Small (12W/35W models)
11155	WPAKNUCKLESM	Adjustable Wall Pack Knuckle Mount Small (12W/35W models)
11156	WPAYOKEMD	Adjustable Wall Pack Yoke Medium (50W/75W models)
11157	WPAKNUCKLEMD	Adjustable Wall Pack Knuckle Mount Medium (50W/75W models)
09966	PC1-4036-U	Photocell, Flush Mount, 120-277V
09967	PC1-4136-U	Photocell, Stem Mount, Side Lens, 120-277V
09968	PC1-4236-U	Photocell, Stem Swivel Mount, Side Lens, 120-277V
09969	PC1-4736-U	Photocell, Stem Swivel Mount, Top Lens, 120-277V

DIMENSIONS



ORDERING INFORMATION

EXAMPLE: WPA-156-12W-740-UD-BZ

Model	Lumens	Watts	CRI/CCT	Voltage	Dimming	Finish
WPA : Adjustable Wallpack	156 - 1,560 lm	12W - 12W	740 - 70 CRI; 4000K 750 - 70 CRI; 5000K	U - 120-277V	D - 0-10V Dimming	BZ - Bronze
	455 - 4,550 lm	35W - 35W				
	650 - 6,500 lm	50W - 50W				
	975 - 9,750 lm	75W - 75W				



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PLAN REVISIONS:

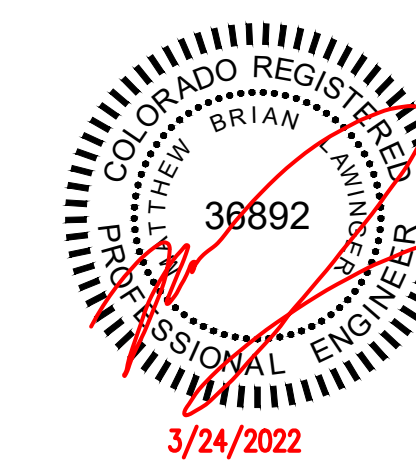
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2		
3	3/4/22	
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PROJECT NAME: SHAMROCK INVESTMENTS
PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME: SITE LIGHTING DETAILS

PROJECT NUMBER: PR2021039

SHEET NUMBER: SP1.1

SHEET SCALE:



File Name and Path: I:\Commercial\CAD FILES\2021\PROPOSAL\PR2021039\ELIZABETH SUBMITTAL\PR2021039-08-SITE-LIGHTING-DETAILS-SP1.1-3.dwg
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NOTES

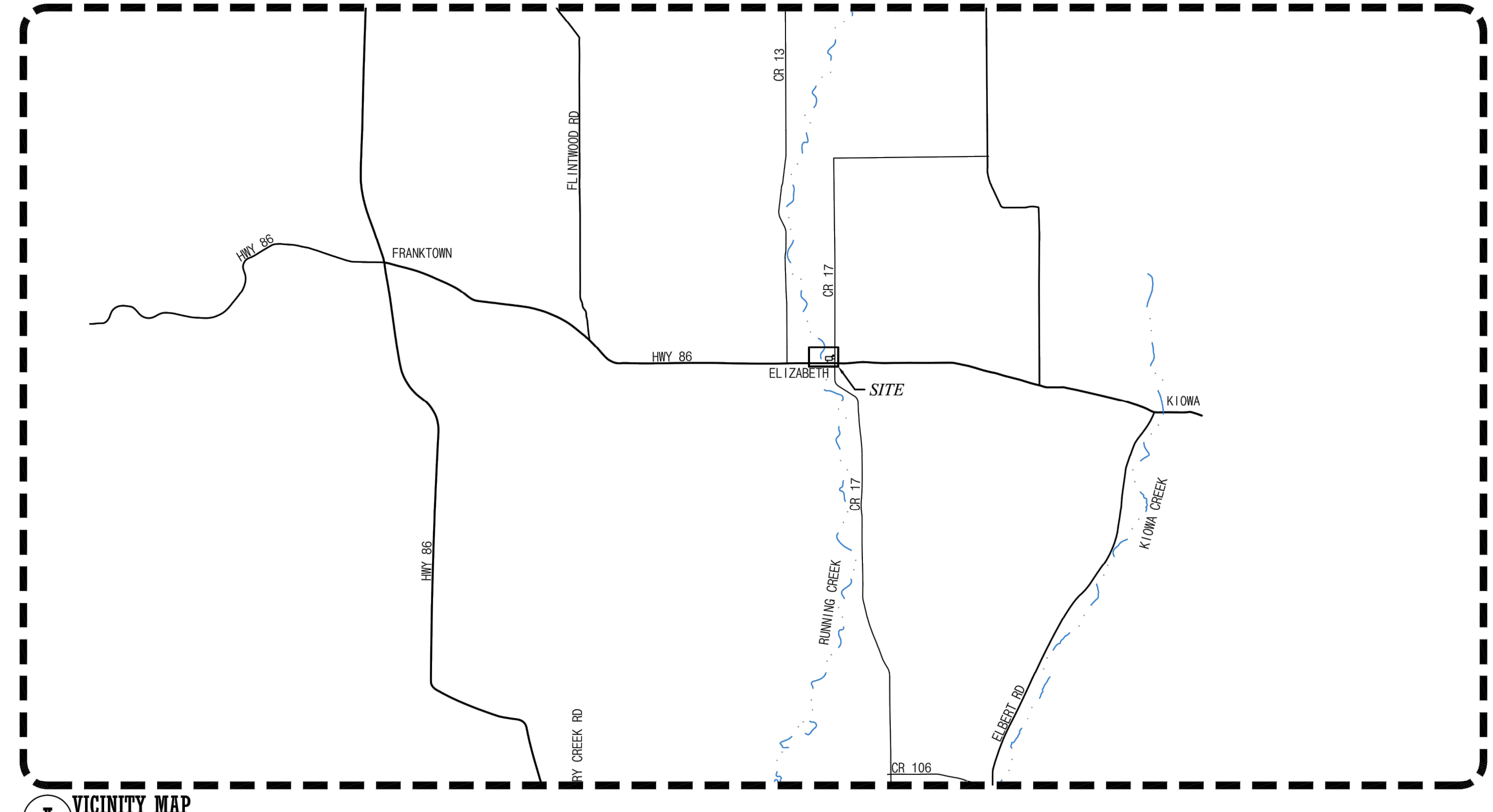
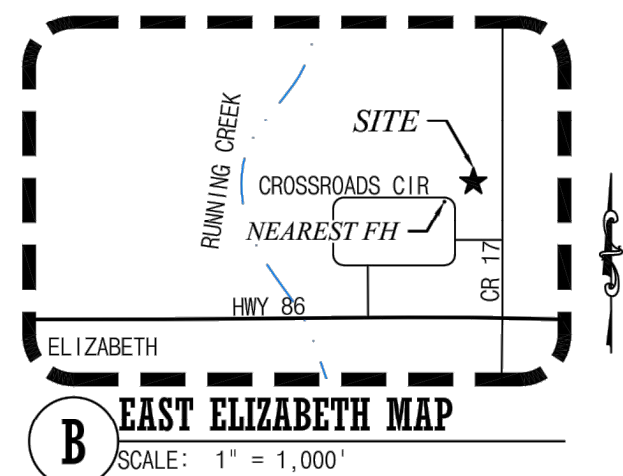
- GENERAL**
- THE CONTRACTOR SHALL COORDINATE AND PROVIDE FOR THE PROTECTION OF CONFLICTING UTILITIES AND DRAINAGE STRUCTURES. UTILITIES OR OTHER OBSTRUCTIONS REQUIRING RELOCATION OR UTILITIES OR OTHER FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE RELOCATED AND/OR REPAIRED BY THE CONTRACTOR. THE UTILITY NOTIFICATION CENTER OF COLORADO SHALL BE CONTACTED BY DIALING 811 OR 1-800-922-1987.
 - THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING UTILITIES UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL UTILITIES SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION UNLESS OTHER ARRANGEMENTS, ACCEPTABLE TO THE OWNER, ARE MADE BETWEEN THE CONTRACTOR, THE RESPECTIVE UTILITY DEPARTMENT AND WHERE APPROPRIATE, THE PRIVATE THE PROPERTY OWNER(S).
 - THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- EARTHWORK**
- ALL EXCAVATION, PIPE EMBEDMENT AND TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH TOWN OF ELIZABETH STANDARDS AND SPECIFICATIONS.
 - IN THOSE AREAS WHERE PIPELINE TRENCHING ACTIVITIES OCCUR OUTSIDE OF EXISTING GRAVEL OR ASPHALT ROADS, THE EXISTING TOPSOIL SHALL BE FULLY STRIPPED, STOCKPILED AND REINSTALLED UPON COMPLETION OF THE BACKFILL PROCEDURE.
 - IN THOSE AREAS WHERE CONSTRUCTION ACTIVITY ALTERS EXISTING DRAINAGE CONFIGURATIONS, DRAINAGE PATTERNS SHALL BE INSTALLED AS SHOWN OR RESTORED TO AS GOOD AS OR BETTER CONDITIONS THAN THOSE THAT EXISTED PRIOR TO THE CONSTRUCTION ACTIVITY.
 - COMPACTION SHALL BE IN COMPLIANCE WITH TOWN OF ELIZABETH STANDARDS AND SPECIFICATIONS. IN THOSE AREAS WHERE CUT PERMITS ARE ISSUED BY AN OUTSIDE AUTHORITY OR IN CASE OF CONFLICT IN THE REFERENCED STANDARDS, COMPLY WITH THE MORE STRINGENT SPECIFICATION.
 - ANY MATERIAL NOT SUITABLE FOR INCORPORATION INTO TRENCH BACKFILL OR STREET SUBGRADE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY AND AT THE EXPENSE OF THE CONTRACTOR.
 - ANY SOIL THAT IS DISTURBED BELOW THE DESIGNATED SUBGRADE ELEVATIONS BY CONSTRUCTION ACTIVITIES SHALL BE RECOMPACTED IN ACCORDANCE WITH TOWN OF ELIZABETH CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- TRAFFIC CONTROL AND STREET SURFACE RESTORATION**
- IF REQUIRED, THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE AGENCY HAVING JURISDICTION OVER THE ROADWAY WHICH MAY INCLUDE, BUT IS NOT LIMITED TO, THE TOWN OF ELIZABETH PUBLIC WORKS DEPARTMENT.
 - ALL STREET SURFACE RESTORATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TOWN OF ELIZABETH PUBLIC WORKS.
 - DRIVEWAY RESTORATION: IN THOSE AREAS WHERE CONSTRUCTION ACTIVITY CROSSES EXISTING DRIVEWAYS, EXISTING SURFACE MATERIALS OTHER THAN ASPHALT SHALL BE FULLY STRIPPED, STOCKPILED AND REINSTALLED. DRIVEWAY RESTORATION SHALL RESULT IN A DRIVEWAY THAT IS EQUAL TO OR BETTER THAN THAT EXISTING PRIOR TO CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

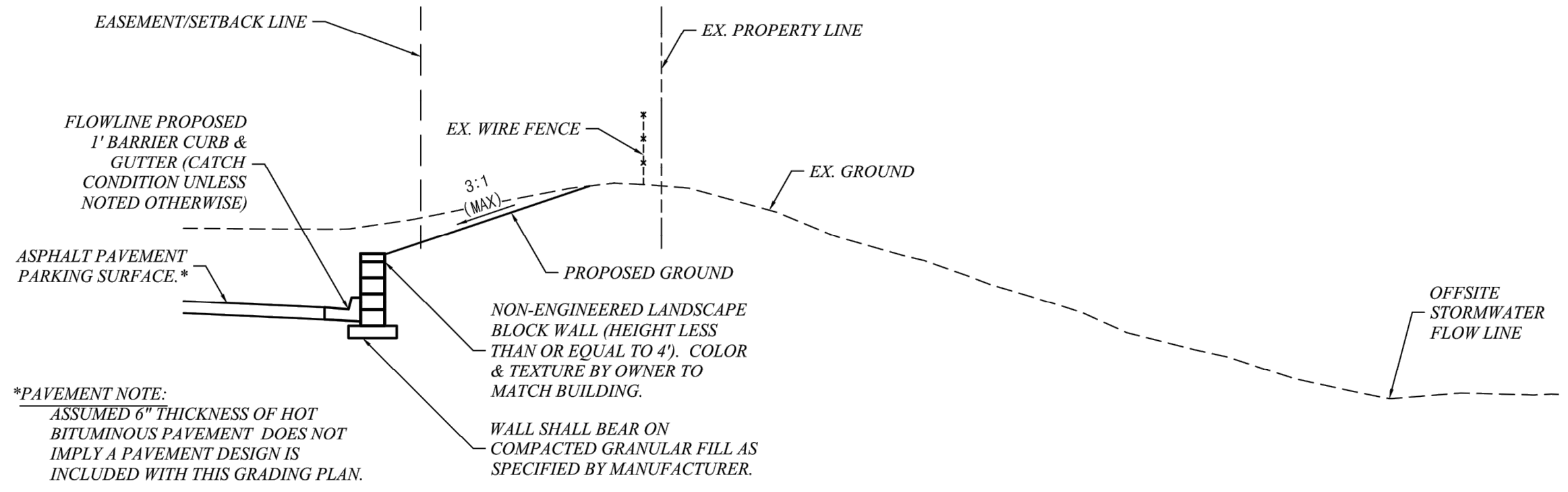
- ANY SIGNS, DELINEATOR POSTS, MAILBOXES, NEWSPAPER BOXES AND OTHER APPURTENANCES REMOVED DURING CONSTRUCTION SHALL BE REINSTALLED IN A CONDITION AS GOOD AS OR BETTER THAN ORIGINALLY FOUND.
- IN THOSE AREAS WHERE NEW PIPELINE CONSTRUCTION IMPACTS EXISTING FENCING, THE CONTRACTOR SHALL REMOVE THE FENCING AS NECESSARY. ALL FENCING REMOVED DURING CONSTRUCTION SHALL BE REINSTALLED IN A CONDITION AS GOOD AS OR BETTER THAN ORIGINALLY FOUND.
- EXISTING PROPERTY CORNERS AND SECTION MONUMENTATION SHALL NOT BE DISTURBED. IN THE EVENT ANY EXISTING PROPERTY MONUMENTATION IS DISTURBED DURING THE COURSE OF CONSTRUCTION, IT SHALL BE REPLACED AT THE CONTRACTOR'S COST BY A SURVEYOR LICENSED IN THE STATE OF COLORADO.
- THE CONTRACTOR SHALL SET ALL MANHOLE RINGS AND COVERS IN UNPAVED AREAS 2-INCHES ABOVE THE FINISH GRADE AND INSTALL A CARBONITE MARKER POST AT EACH MANHOLE. IN ASPHALT ROADS, MANHOLE RINGS SHALL BE SET 1/4-INCH BELOW FINISH GRADE. IN GRAVEL ROADS, MANHOLE RINGS SHALL BE SET 7-INCHES BELOW FINISH GRADE. CARE SHALL BE TAKEN IN FINAL GRADING TO PRECLUDE PONDING OF SURFACE WATER OVER MANHOLE RINGS AND COVERS.
- THE CONTRACTOR IS TO UNDERTAKE HIS WORK IN ACCORDANCE WITH OSHA'S CONFINED SPACE ENTRY REQUIREMENTS.
- NEW MATERIALS SHALL BE USED FOR ALL WORK UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. FINAL GRADING IS SUBJECT TO REVIEW AND APPROVAL.
- THE SUBGRADE UNDERNEATH ALL BUILDING STRUCTURES SHALL BE ADEQUATELY STABILIZED IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY A GEOTECHNICAL ENGINEER.
- THE SUBGRADE UNDERNEATH ALL NON-BUILDING STRUCTURES SHALL BE ADEQUATELY STABILIZED IN ACCORDANCE WITH TOWN OF ELIZABETH DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- PIPELINE INSTALLATION SHALL GENERALLY BE UNDERTAKEN FROM THE DOWNHILL PORTION OF THE PROJECT PROCEEDING UPHILL.
- ALL PIPES SHALL BE "AS BUILT" SURVEYED AND "AS BUILT" DRAWINGS SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
- THE OWNER/DEVELOPER MUST OBTAIN THE WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- THE OWNER/CONTRACTOR MUST OBTAIN A C.D.P.S. STORM WATER DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, IF REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH TOWN OF ELIZABETH ANY INSPECTIONS REQUIRED BY THE TOWN.
- ALL UTILITY EASEMENTS MUST REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.

EROSION CONTROL NOTES

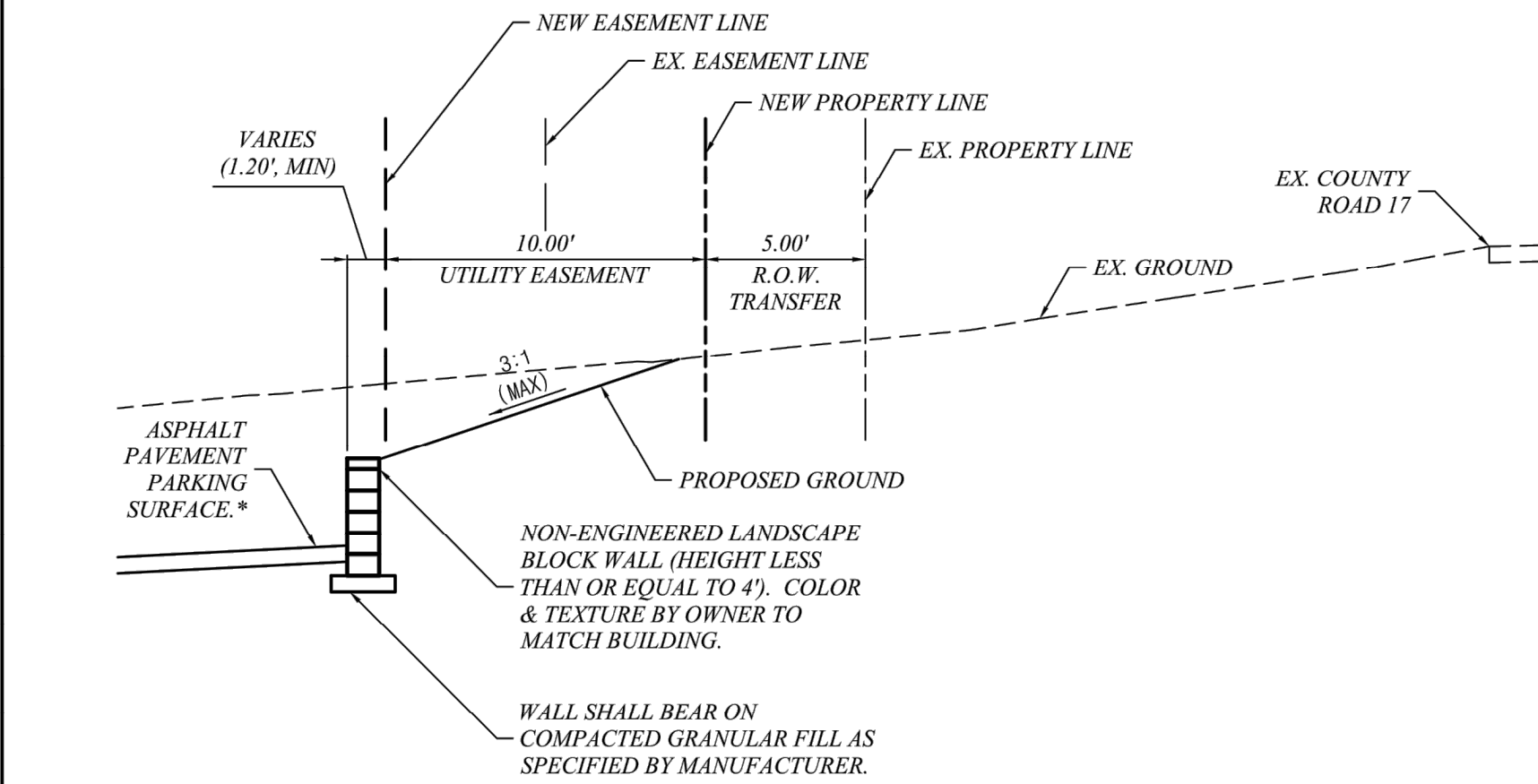
- GENERAL:**
- REFER TO EROSION CONTROL DETAILS, FOR SPECIFIC DETAILS IDENTIFIED ON THIS SET. CONTRACTOR SHALL MONITOR EROSION AND SEDIMENT TRANSPORT ON A REGULAR (WEEKLY) BASIS. IF IT IS DETERMINED THAT THERE ARE AREAS OF EXCESSIVE EROSION AND/OR SEDIMENT TRANSPORT, CONTRACTOR SHALL ADDRESS SAID CONDITION, USING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES, AS NEEDED. CONTRACTOR IS ENCOURAGED TO UTILIZE THE MILE HIGH FLOOD DISTRICT (MHFD) BEST MANAGEMENT PRACTICES DETAILED IN VOLUME 3 OF THE DRAINAGE CRITERIA MANUAL. CONTACT ENGINEER FOR ASSISTANCE.
- LANDSCAPING:**
- FOLLOWING PAVING AND FINAL GRADING, PLACE ALL LANDSCAPING AS SOON AS POSSIBLE. IF PAVING AND FINAL GRADING OPERATIONS ARE COMPLETED DURING WINTER NON-GROWING MONTHS, LANDSCAPING SHALL BE COMPLETED AS EARLY AS POSSIBLE, DEPENDING ON WEATHER, IN THE NEXT SPRING.
- SOIL STOCKPILE:**
- CONTRACTOR SHALL PROVIDE SOIL STOCKPILE (STK) IN A LOCATION TO HAVE MINIMAL VISUAL IMPACT ON THE DEVELOPMENT AND CAN PROPERLY MANAGE EROSION/SEDIMENT CONTROL ISSUES.
- SOIL HAULING:**
- IF ADDITIONAL FILL DIRT IS NEEDED, USE AREA WITHIN STORMWATER MANAGEMENT PONDS (CATTLE WATERING PONDS). CONSULT WITH GEOTECHNICAL ENGINEER FOR APPROVAL OF SPECIFIC FILL DIRT AND COMPACTION REQUIREMENTS.



EARTHWORK/DATA SUMMARY TABLE		
SITE EARTHWORK		
GROSS ESTIMATED CUT FROM COMPUTER MODEL	1575 C.Y.	
GROSS ESTIMATED FILL FROM COMPUTER MODEL	100 C.Y.	
EXCESS CUT (OR FILL) MATERIAL FROM SITE GRADING		1475 C.Y.
CONTRIBUTING EARTHWORK INFLUENCES		
ONSITE TRASH/DEBRIS TO BE REMOVED	0 C.Y.	
ESTIMATED VOLUME OF CONCRETE & OTHER MATERIALS FOR FOUNDATIONS, SLABS, PAVEMENT & RETAINING WALL	375 C.Y.	
NET VOLUME OF MATERIAL IMPORTED TO (OR EXPORTED FROM) SITE		1180 C.Y.



1 NORTH BUFFER SECTION SCALE: 1" = 5'



2 EAST BUFFER SECTION SCALE: 1" = 5'

CONTACT INFO

ENGINEER/SURVEYOR
 PRISM DESIGN & CONSULTING GROUP, INC.
 BRIAN JOHNSON, PE
 GARRY ROHLEDER, PLS
 P.O. BOX 441730
 AURORA, CO 80044
 PHONE: 720-689-7324

OWNERS
 CLEARY BUILDING CORP
 190 PAOLI STREET
 VERONA, WI 53593
 PROJECT MGR.: MATTHEW SCHNEIDER
 PHONE: 608-497-4735

SHEET INDEX

- C1.0 COVER SHEET & NOTES
- C1.1 GRADING PLAN
- C1.2 UTILITY PLAN
- C1.3 EROSION CONTROL PLAN
- C1.4 EROSION & SEDIMENT CONTROL DETAILS

REVISIONS

NO.	DATE	REVISION

PROFESSIONAL ENGINEER
 Brian Johnson, PE
 LICENSE NO. 31692
 EXPIRES 12/31/2024

PRISM DESIGN & CONSULTING GROUP
 P.O. BOX 441730
 AURORA, CO 80044
 phone: 720-689-7324
 web: PRISMDCG.COM

Shamrock Investments LLC
 100 Paoli Street
 Verona, WI 53593

COVER SHEET & NOTES

PROJECT LOCATION: Cleary Building Corp
 155 Crossroads Circle - Lot 3 Crossroads Business Park
 Town of Elizabeth, Colorado

DATE: 3/4/2022

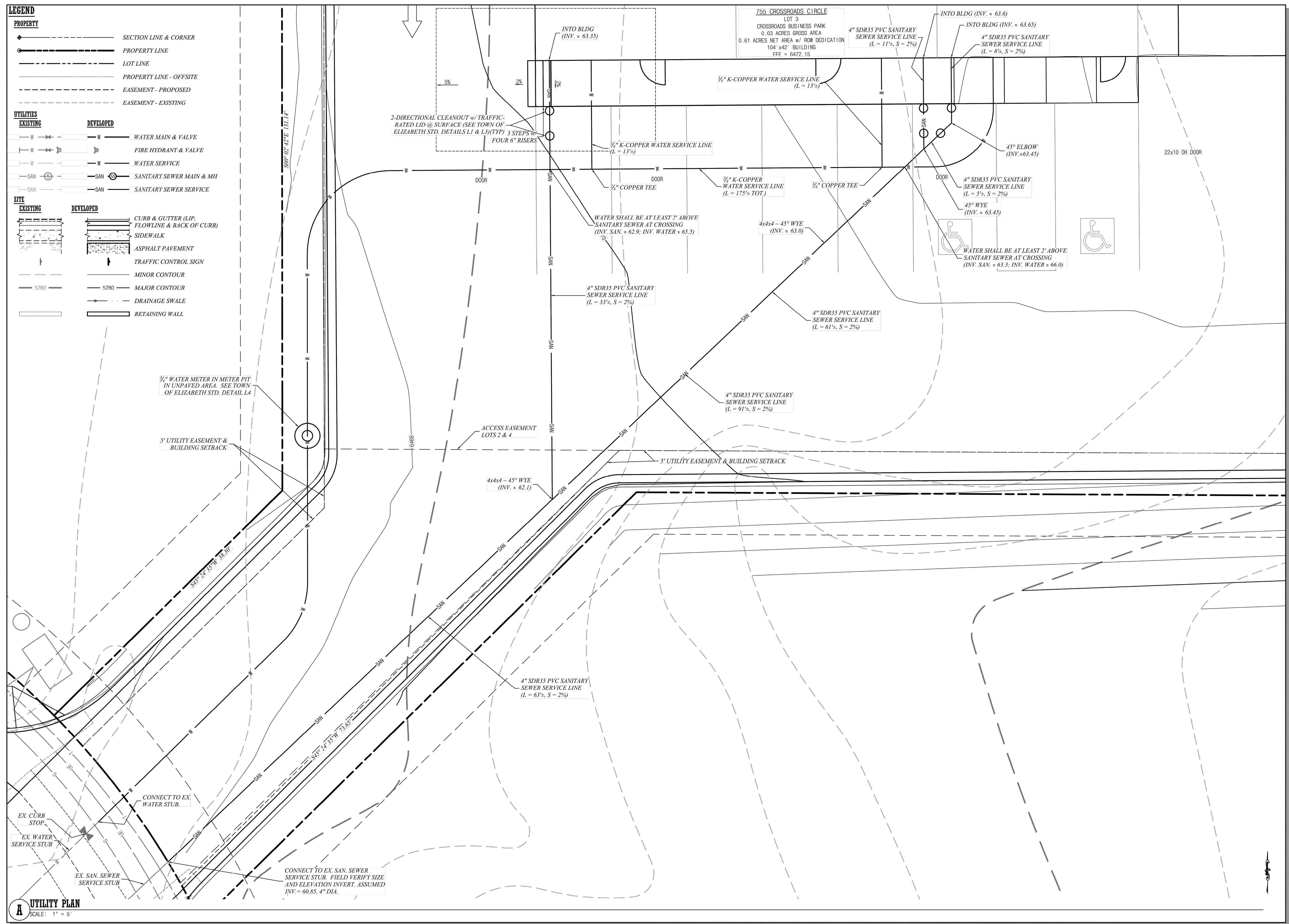
SCALE: AS SHOWN

21-021

DATE: 3/4/2022

SCALE: C1.0

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Printed By: Michael Waldera
Date Printed: 3/24/2022 11:59 AM



LEGEND

PROPERTY

- SECTION LINE & CORNER
- PROPERTY LINE
- LOT LINE
- PROPERTY LINE - OFFSITE
- EASEMENT - PROPOSED
- EASEMENT - EXISTING

UTILITIES

EXISTING

- WATER MAIN & VALVE
- FIRE HYDRANT & VALVE
- WATER SERVICE
- SAN - SAN - SANITARY SEWER MAIN & MH
- SAN - SAN - SANITARY SEWER SERVICE

DEVELOPED

- WATER MAIN & VALVE
- FIRE HYDRANT & VALVE
- WATER SERVICE
- SAN - SAN - SANITARY SEWER MAIN & MH
- SAN - SAN - SANITARY SEWER SERVICE

SITE

EXISTING

- CURB & GUTTER (LIP, FLOWLINE & BACK OF CURB) SIDEWALK
- ASPHALT PAVEMENT
- TRAFFIC CONTROL SIGN
- MINOR CONTOUR
- MAJOR CONTOUR
- DRAINAGE SWALE
- RETAINING WALL

DEVELOPED

- CURB & GUTTER (LIP, FLOWLINE & BACK OF CURB) SIDEWALK
- ASPHALT PAVEMENT
- TRAFFIC CONTROL SIGN
- MINOR CONTOUR
- MAJOR CONTOUR
- DRAINAGE SWALE
- RETAINING WALL

REVISIONS

REV	DATE	COMMENT

CALCULATED OR PHYSICAL DATA AND SPECIFICATIONS SUBJECT TO VERIFICATION FOR CONSTRUCTION PURPOSES.

THIS DRAWING MAY BE REPRODUCED FOR THE PURPOSE OF PROVIDING ADDITIONAL COPIES OF THE SAME DESIGN (SUCH AS PROJECTS TO NEIGHBORING PARTIES OR BY PRODUCTION FOR REPAIRING, ETC.) THIS DESIGN MAY NOT, HOWEVER, BE APPLIED TO OTHER SITES/PROPERTIES WITHOUT EXPRESS WRITTEN CONSENT OF OR THROUGH REVIEW BY PRISM DESIGN & CONSULTING GROUP.

THIS DESIGN MAY BE SUBMITTED TO JURISDICTION FOR REVIEW/PERMIT WITHIN 1 YEAR FROM THE DATE OF THE SEAL SIGNATURE. AFTER THIS TIME, PRISM DESIGN & CONSULTING GROUP RESERVES THE RIGHT TO REVIEW THE PLANS TO DETERMINE THEY ARE IN COMPLIANCE WITH CURRENT REGULATIONS/CRITERIA.

BENCHMARK:
CENTER OF SANITARY SEWER MANHOLE LID IN CROSSROADS CIRCLE, LOCATED ABOUT 110' SOUTH OF THE PROPOSED DRIVEWAY OVERHANG. "MET" FROM SUBSTATION AS-BUILT DRAWINGS; LID ELEV. = 66.60'

NOTE: PROPERTY CORNERS NOT MONUMENTED. ORIGINAL BY OWNER OF PRE-DEVELOPED LAND PLOTTED.

PRISM DESIGN & CONSULTING GROUP
P.O. BOX 401730
AURORA, CO. 80044
phone: 720-689-7324
web: PRISMDCG.COM

UTILITY SERVICE PLAN

PROJECT LOCATION:
Clary Building Corp
155 Crossroads Circle - Lot 3
Crossroads Business Park
Town of Elizabeth, Colorado

PREPARED BY:
Shamrock Investments LLC
100 Park Street
Verona, WI 53593

JOB NUMBER: **21-021**

DRAWN BY: [Signature] ORIGINAL DATE: 3/1/2022
DESIGN BY: [Signature] ORIGINAL DATE: 3/1/2022
SCALE: 1" = 5' SHEET: **C1.2**
3 5

LEGEND

PROPERTY

- SECTION LINE & CORNER
- PROPERTY LINE
- EASEMENT - EXISTING
- BUILDING SETBACK

UTILITIES

EXISTING

- WATER MAIN & VALVE
- FIRE HYDRANT & VALVE
- WATER SERVICE
- SAN - SAN - SANITARY SEWER MAIN & MH
- SAN - SAN - SANITARY SEWER SERVICE

DEVELOPED

- WATER MAIN & VALVE
- FIRE HYDRANT & VALVE
- WATER SERVICE
- SAN - SAN - SANITARY SEWER MAIN & MH
- SAN - SAN - SANITARY SEWER SERVICE

SITE

EXISTING

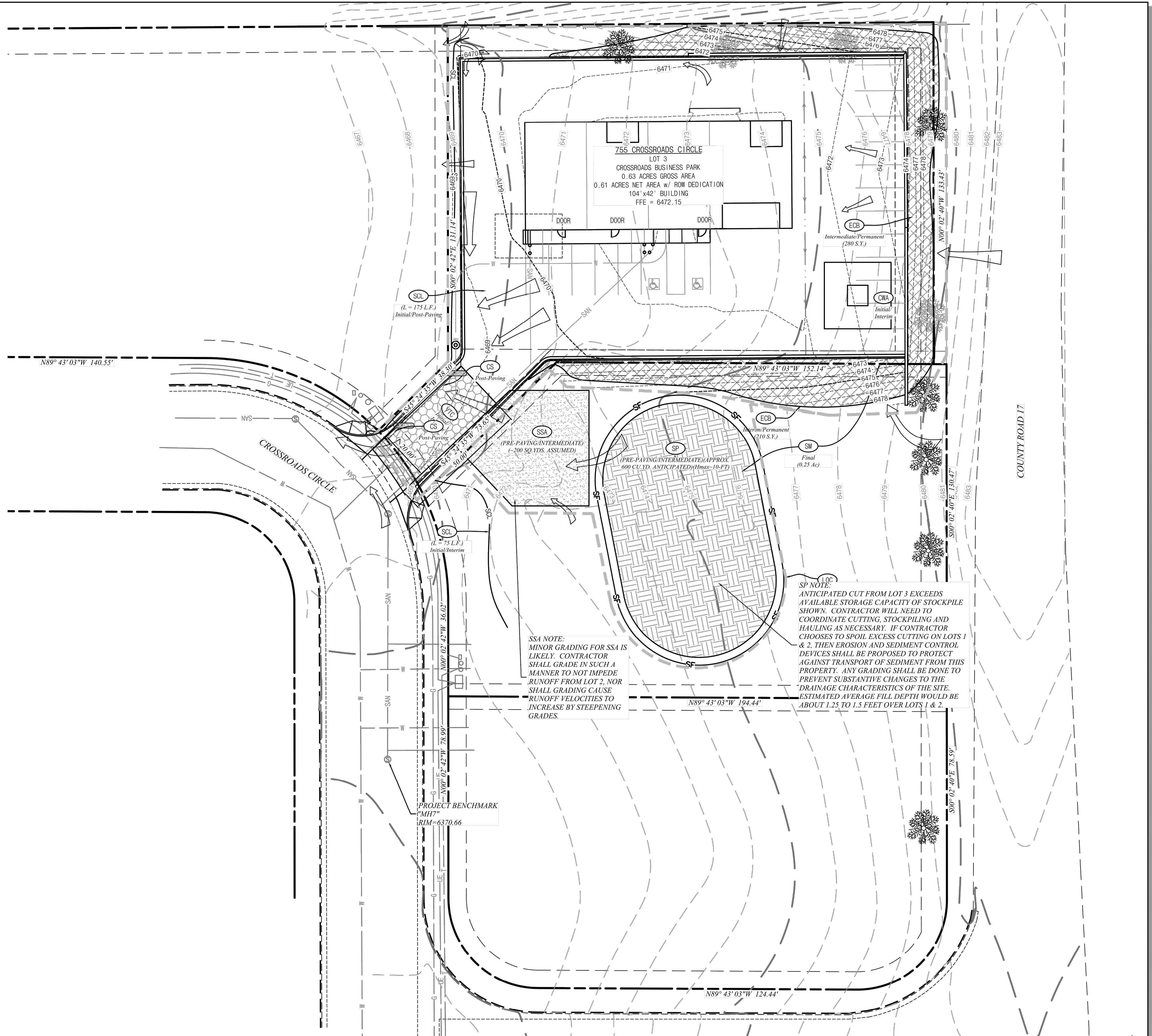
- CURB & GUTTER (LIP, FLOWLINE & BACK OF CURB)
- SIDEWALK
- ASPHALT PAVEMENT
- TRAFFIC CONTROL SIGN
- MINOR CONTOUR
- 5280 - MAJOR CONTOUR
- DRAINAGE SWALE
- RETAINING WALL
- 5280.03 - PROPOSED GROUND SPOT ELEVATION
- FLOW ARROW - GENERAL
- SLOPE ARROW - ON GRADE
- SLOPE

DEVELOPED

- CURB & GUTTER (LIP, FLOWLINE & BACK OF CURB)
- SIDEWALK
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- RETAINING WALL
- 5280.03 - PROPOSED GROUND SPOT ELEVATION
- FLOW ARROW - GENERAL
- SLOPE ARROW - ON GRADE
- SLOPE

EROSION CONTROL

- LOC - LIMITS OF CONSTRUCTION
- SF - SILT FENCE
- SCL - SEDIMENT CONTROL LOG
- CWA - CONCRETE WASHOUT AREA
- SSA - STABILIZED STAGING AREA
- ECB - EROSION CONTROL BLANKET
- SM - SEEDING AND MULCHING / GENERAL LANDSCAPING
- VTC - VEHICLE TRACKING CONTROL
- SP - SOIL STOCKPILE
- IP - INLET PROTECTION
- CS - CURB SOCKS
- CD - ROCK SOCK CHECK DAM
- SB - SEDIMENT BASIN

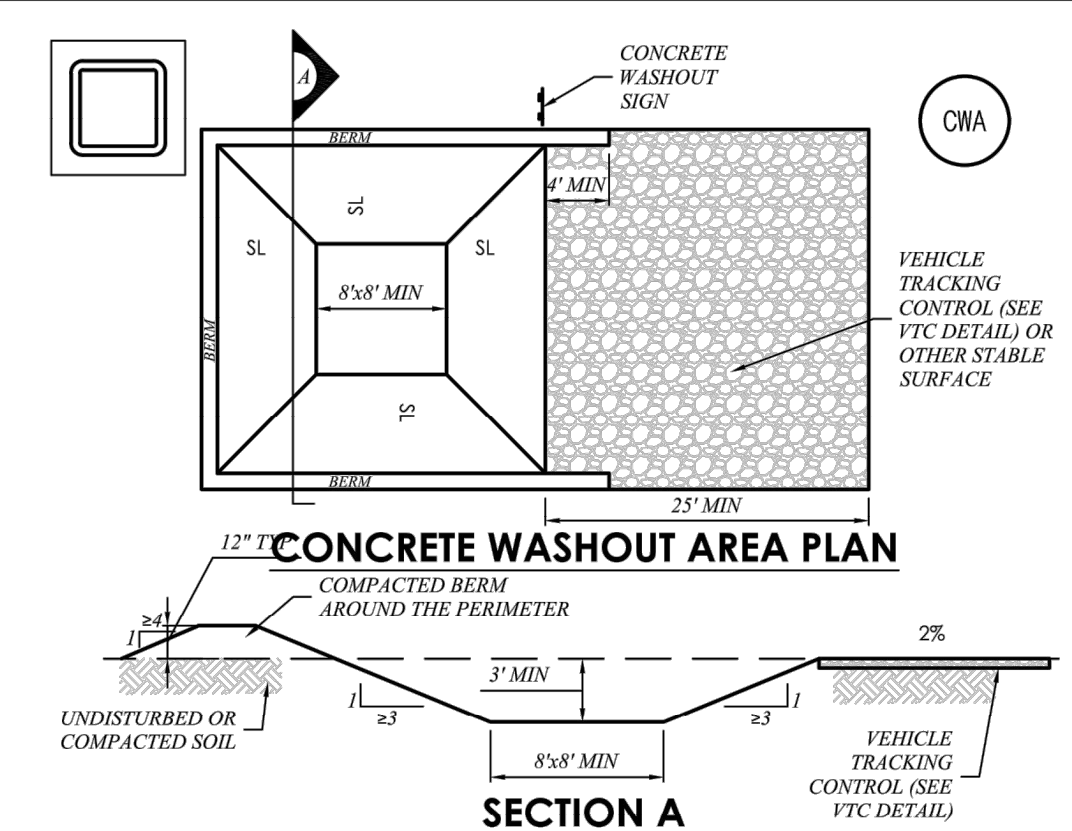


SSA NOTE:
MINOR GRADING FOR SSA IS LIKELY. CONTRACTOR SHALL GRADE IN SUCH A MANNER TO NOT IMPEDE RUNOFF FROM LOT 2, NOR SHALL GRADING CAUSE RUNOFF VELOCITIES TO INCREASE BY STEEPENING GRADES.

SP NOTE:
ANTICIPATED CUT FROM LOT 3 EXCEEDS AVAILABLE STORAGE CAPACITY OF STOCKPILE SHOWN. CONTRACTOR WILL NEED TO COORDINATE CUTTING, STOCKPILING AND HAULING AS NECESSARY. IF CONTRACTOR CHOOSES TO SPOIL EXCESS CUTTING ON LOTS 1 & 2, THEN EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPOSED TO PROTECT AGAINST TRANSPORT OF SEDIMENT FROM THIS PROPERTY. ANY GRADING SHALL BE DONE TO PREVENT SUBSTANTIVE CHANGES TO THE DRAINAGE CHARACTERISTICS OF THE SITE. ESTIMATED AVERAGE FILL DEPTH WOULD BE ABOUT 1.25 TO 1.5 FEET OVER LOTS 1 & 2.

A EROSION CONTROL PLAN
SCALE: 1" = 20'

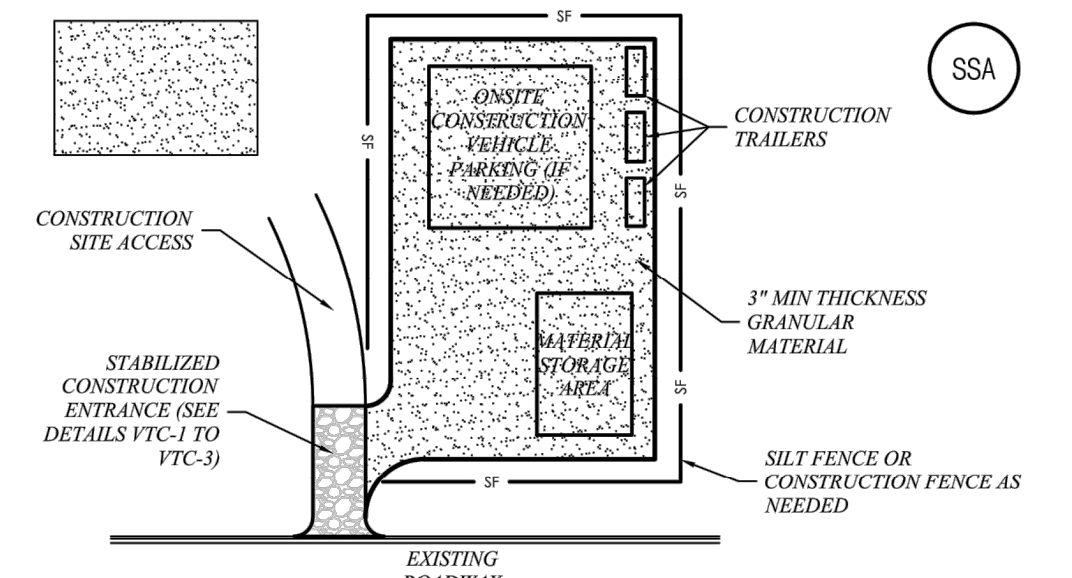
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>COMMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		REV	DATE	COMMENT									
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<p>DESIGNER OR PHYSICAL SEAL AND SIGNATURE REQUIRED FOR OFFICIAL OR CONSTRUCTION DRAWING</p>													
<p>THIS DRAWING MAY BE REPRODUCED FOR THE PURPOSE OF PROVIDING ADDITIONAL COPIES OF THE SAME DESIGN (AS PERMITTED BY LAW) OR BY REPRODUCTION FOR RECORDING, ETC. THIS DESIGN MAY NOT BE APPLIED TO OTHER SITES/PROJECTS WITHOUT EXPRESS WRITTEN CONSENT OF PRISM DESIGN & CONSULTING GROUP.</p> <p>THIS DESIGN MAY BE SUBMITTED TO JURISDICTION FOR REVIEW/PERMIT WITHIN 1 YEAR FROM THE DATE OF THE SEAL/SIGNATURE. AFTER THIS TIME, PRISM DESIGN & CONSULTING GROUP ACCEPTS THE RISK TO REVIEW THE PLANS TO DETERMINE IF THEY ARE IN COMPLIANCE WITH CURRENT REGULATIONS/CRITERIA.</p> <p>REMARKS: CENTER OF SANITARY SEWER MAINLINE IS ON CROSSROADS CIRCLE, LOCATED ABOUT 10' SOUTH OF THE PROPOSED HIGHWAY OVERPASS. "NET" FROM SUBDIVISION AS-BUILT DRAWINGS) IS 124.44'.</p> <p>NOTE: PROPERTY COORDINATES NOT MONUMENTED. ORIGINAL BY OWNER OF PRE-DEVELOPED LAND PLOTTED.</p>													
<p>PRISM DESIGN & CONSULTING GROUP P.O. BOX 461730 AURORA, CO. 80044 phone: 720-689-7324 web: PrismDCG.COM</p>													
<p>EROSION CONTROL PLAN</p> <p>PROJECT LOCATION: Clary Building Corp 155 Crossroads Circle - Lot 3 Crossroads Business Park Town of Elizabeth, Colorado</p> <p>PREPARED BY: Shamrock Investments LLC 100 Park Street Verona, WI 53593</p>													
<p>JOB NUMBER: 21-021</p> <table border="1"> <tr> <td>DRAWN BY: bwl</td> <td>ORIGINAL DATE: 3/4/2022</td> </tr> <tr> <td>DESIGN BY: bwl</td> <td>ORIGINAL DATE: 3/4/2022</td> </tr> <tr> <td>SCALE: 1" = 20'</td> <td>SHEET: C1.3 4 5</td> </tr> </table>		DRAWN BY: bwl	ORIGINAL DATE: 3/4/2022	DESIGN BY: bwl	ORIGINAL DATE: 3/4/2022	SCALE: 1" = 20'	SHEET: C1.3 4 5						
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DESIGN BY: bwl	ORIGINAL DATE: 3/4/2022												
SCALE: 1" = 20'	SHEET: C1.3 4 5												



CWA-1. CONCRETE WASHOUT AREA

- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 100' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS UNFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVE PRE-ABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE AREA SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE.
 - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
 - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

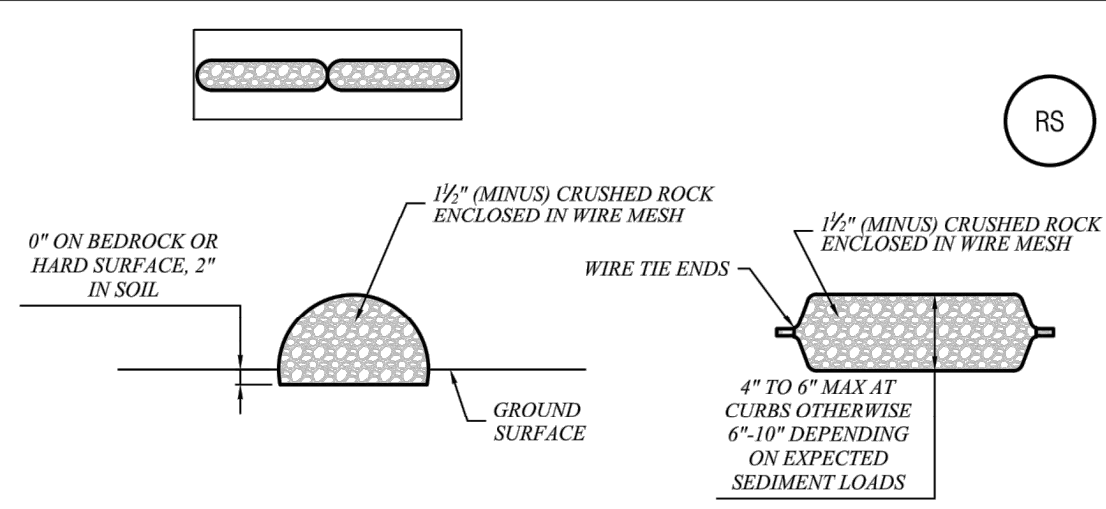
- CWA MAINTENANCE NOTES**
- INSPECT B MPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF B MPS SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT B MPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.



SSA-1. STABILIZED STAGING AREA

- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION(S) OF STAGING AREA(S).
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
 - STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
 - STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
 - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
 - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF CDOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
 - ADDITIONAL PERIMETER B MPS MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

- STABILIZED CONSTRUCTION ENTRANCE EXIT MAINTENANCE NOTES**
- INSPECT B MPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF B MPS SHOULD BE PROACTIVE, NOT REACTIVE.
 - INSPECT B MPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY IF BUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
 - STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEED, AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.



ROCK SOCK SECTION and ROCK SOCK PLAN

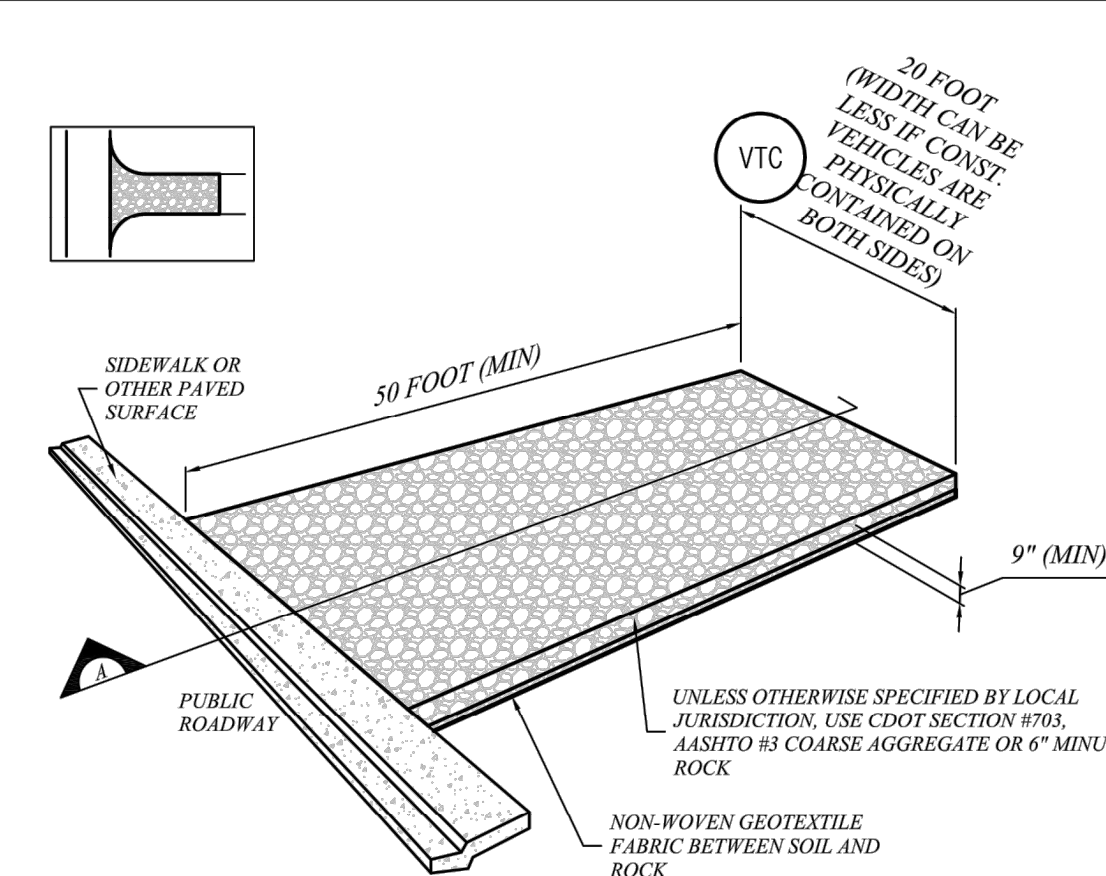
- ROCK SOCK INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION(S) OF ROCK SOCKS.
 - CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
 - WIRE MESH SHALL BE FABRICATED OF 10 GAUGE POLYESTER MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2". RECOMMENDED MINIMUM ROLL WIDTH OF 48'.
 - WIRE MESH SHALL BE SECURED USING "HOOK RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
 - SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

GRADATION TABLE

SIEVE SIZE	MASS PERCENT PASSING	SQUARE WEBSIEVE
NO. 4	100	
2"	100	
1 1/2"	90-100	
1"	20-55	
3/4"	0-15	
3/8"	0-5	

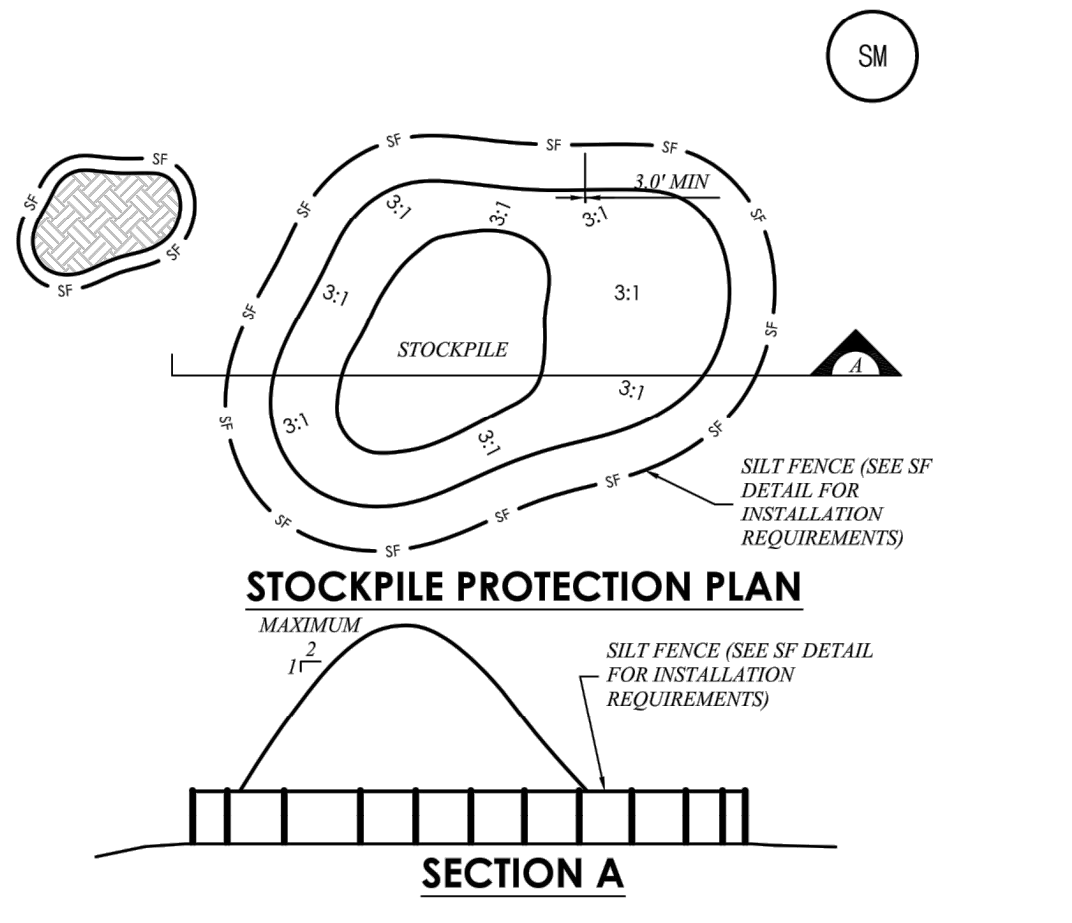
MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

- ROCK SOCK MAINTENANCE NOTES**
- INSPECT B MPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF B MPS SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT B MPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
 - SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE B MP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2" OF THE HEIGHT OF THE ROCK SOCK.
 - ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
 - WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEED, AND MULCH OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



CONSTRUCTION ENTRANCE EXIT INSTALLATION NOTES

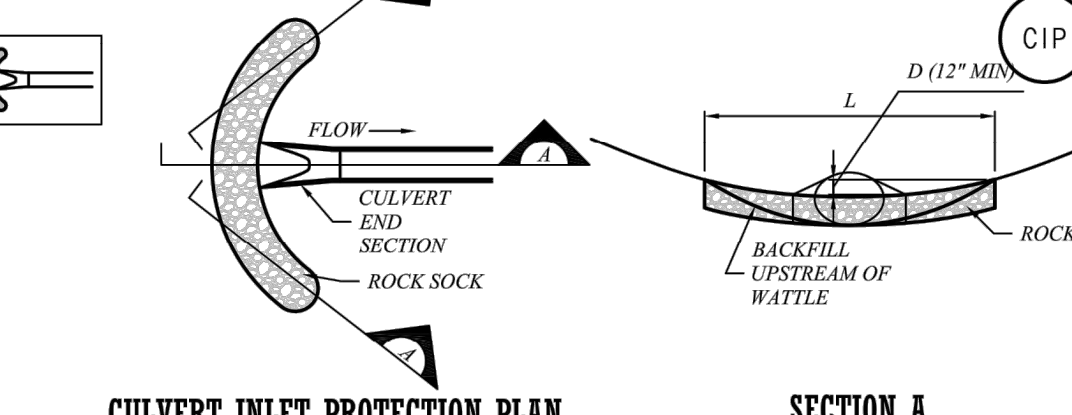
- CONSTRUCTION ENTRANCE EXIT MAINTENANCE NOTES**
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 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY TO MAINTAIN A CONSISTENT DEPTH.
 - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.



SP-1. STOCKPILE PROTECTION

- STOCKPILE PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR TYPE OF STOCKPILE PROTECTION.
 - INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHT OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHEDS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
 - STABILIZE THE STOCKPILE SURFACE WITH TOPSOIL, SEEDING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEED, MULCH, AND COVERED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
 - FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNDRAIN CONTROLS INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

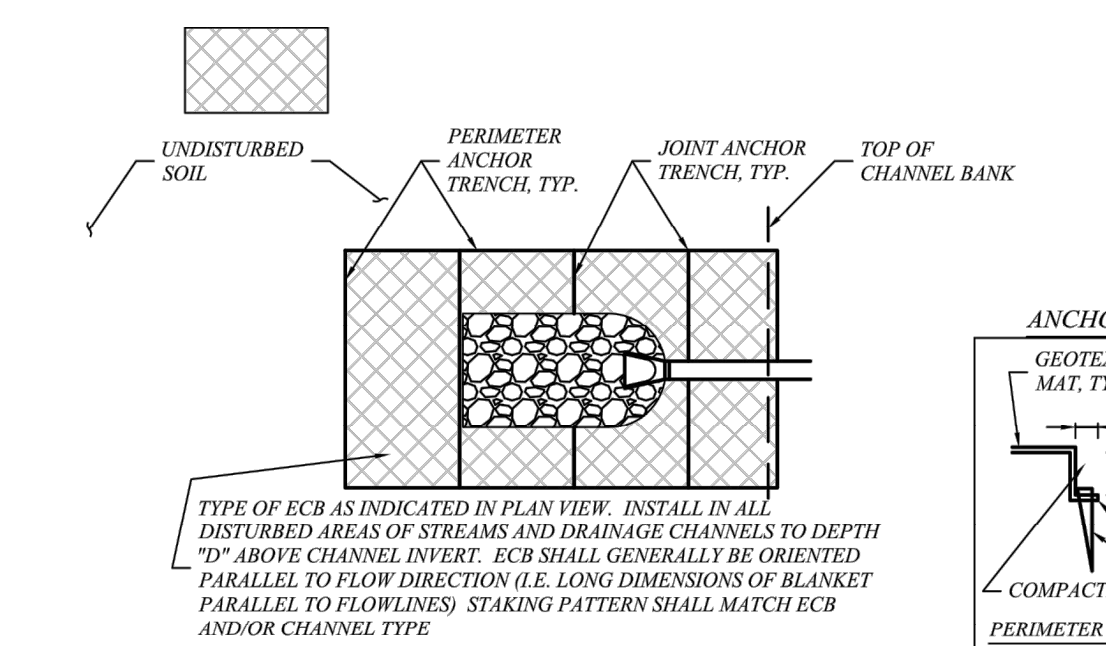
- STOCKPILE PROTECTION MAINTENANCE NOTES**
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 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
 - STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.



CULVERT INLET PROTECTION PLAN and SECTION A

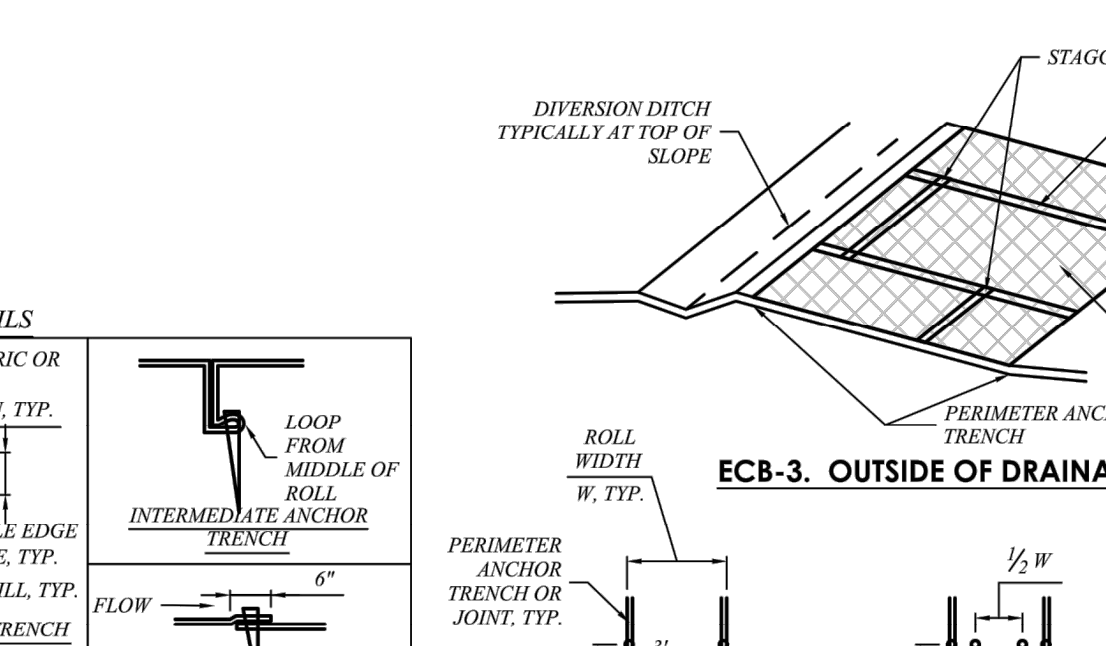
- CULVERT INLET PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR TYPE OF CULVERT INLET PROTECTION.
 - SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINTING DETAIL.
- CULVERT INLET PROTECTION MAINTENANCE NOTES**
- INSPECT B MPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF B MPS SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT B MPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
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 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT REACHES 1/2" OF THE HEIGHT OF THE ROCK SOCK.
 - CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

- GENERAL INLET PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR TYPE OF INLET PROTECTION.
 - LOCATION OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5).
 - INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
 - MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED (WHEN DIFFERENCES ARE NOTED).
- INLET PROTECTION MAINTENANCE NOTES**
- INSPECT B MPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF B MPS SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT B MPS AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN B MPS IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE B MPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
 - STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.



ECB-1. PIPE OUTLET TO DRAINAGEWAY

- EROSION CONTROL BLANKET INSTALLATION NOTES**
- SEE PLAN VIEW FOR TYPE OF ECB.
 - AREA, IN SQUARE YARDS OF EACH TYPE OF ECB.
 - 100% NATURAL AND REGRADABLE MATERIALS ARE PREFERRED FOR RECS, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS.
 - IN AREAS WHERE RECS ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SURGRADE SHALL BE SMOOTH AND MOST PRIOR TO ECB INSTALLATION, AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
 - PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL BLANKET AREAS.
 - JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECB TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL RECS EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT.
 - INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR RECS.
 - OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECB TOGETHER FOR RECS ON SLOPES.



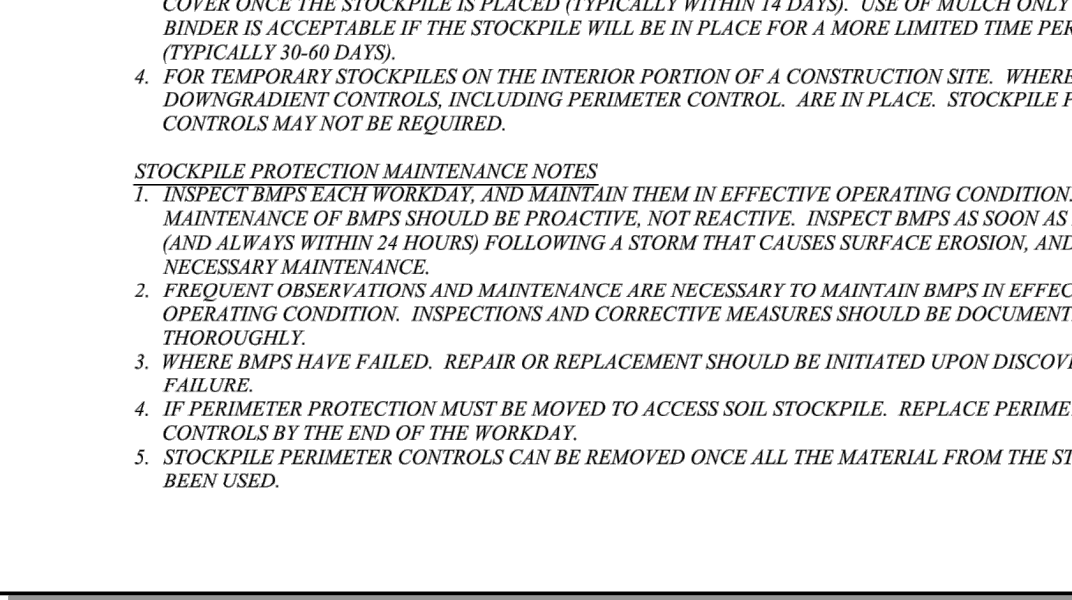
ECB-3. OUTSIDE OF DRAINAGEWAY

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TABLE ECB-1, ECB MATERIAL SPECIFICATIONS

TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING
STRAW**	-	100%	-	DOUBLE
STRAW-COCONUT	30% MIN	70% MAX	-	DOUBLE/NATURAL
COCONUT	100%	-	-	DOUBLE/NATURAL
EXCELSIOR	-	-	100%	DOUBLE/NATURAL

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CIP-1. CULVERT INLET PROTECTION

- EROSION CONTROL BLANKET STAKING PATTERNS BY ECB TYPE**
- STAGGER OVERLAPS
OVERLAPPING JOINT
- STAKING PATTERN PER MANUFACTURER SPEC OR PATTERN BASED ON ECB AND/OR SLOPE TYPE (SEE STAKING PATTERN DETAIL)
- PERIMETER ANCHOR TRENCH
- ROLL WIDTH W, TYP.
- STRAW
- STRAW-COCONUT
- COCONUT OR EXCELSIOR
- STAKING PATTERNS BY SLOPE OR CHANNEL TYPE
- LOW FLOW CHANNEL
- HIGH FLOW CHANNEL



ECB-2. SMALL DITCH OR DRAINAGEWAY

- EROSION CONTROL BLANKET STAKING PATTERNS BY SLOPE OR CHANNEL TYPE**
- STAGGER OVERLAPS
OVERLAPPING JOINT
- STAKING PATTERN PER MANUFACTURER SPEC OR PATTERN BASED ON ECB AND/OR SLOPE TYPE (SEE STAKING PATTERN DETAIL)
- PERIMETER ANCHOR TRENCH
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Roof /
Wainscot

Item 2.



Siding



FINAL PLAT

ELIZABETH CROSS ROADS BUSINESS PARK

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, T8S, R64W, 6th P.M., TOWN OF ELIZABETH, ELBERT COUNTY, COLORADO

12-126
1/2

PROPERTY DESCRIPTION:

A parcel of land in the Southeast 1/4 of Section 7, Township 8 South, Range 64 West of the 6th Principal Meridian, Elbert County, Colorado, more particularly described as follows: Commencing at the Southeast corner of said Section 7 and considering the East line of the Southeast 1/4 to bear N00°02'40"W with all bearings contained herein relative thereto; Thence N00°02'40"W along said East line a distance of 88.00 feet; Thence N89°43'03"W a distance of 40.00 feet to a point on the North Right of Way line of State Highway No. 86 and the true point of beginning; Thence N89°43'03"W along said North Right of Way line a distance of 591.60 feet; Thence S89°38'57"W along said North Right of Way line a distance of 410.44 feet; Thence N02°00'00"W a distance of 218.33 feet; Thence N13°00'00"W a distance 376.77 feet; Thence N12°28'23"E a distance 181.28 feet; Thence N89°58'27"E a distance of 1089.02 feet; Thence S00°02'40"E a distance of 748.44 feet to the point of beginning; Containing 17.81 acres, more or less.

PLANNING COMMISSION:

The Final Plat was reviewed by the Planning Commission on July 19, 2005.

Robert J. A.
Chair, Planning Commission

SURVEYOR'S CERTIFICATE:

I, David E. Archer, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made in January, 2005, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical errors are less than 1:50,000 (second order); and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivisions or surveying of land and all provisions, within my control, of the Town Subdivision regulations.

I attest the above on this 15th day of SEPTEMBER, 2005.

David E. Archer
Colorado Registered Professional Land Surveyor
Land Surveyor #1833

GENERAL NOTES:

- This property is subject to the Subdivision Agreement between Elizabeth Cross Roads Business Park, LLC, and the Town of Elizabeth, Colorado, which was executed on _____, 2005, and recorded at Reception No. _____ in the office of the Clerk and Recorder for Elbert County, Colorado.
- This property is subject to the Declaration of Covenants for Elizabeth Cross Roads Business Park, which will be recorded in the office of the Clerk and Recorder for Elbert County, Colorado immediately after recording of this plat.
- Tract "C" depicted hereon will be dedicated to the Elizabeth Cross Roads Owners Association in the Declaration of Covenants for Elizabeth Cross Roads Business Park, on which a detention pond will be constructed for which the Association will assume all maintenance responsibility. Tract "C" will be deemed a common element of the Elizabeth Cross Roads Business Park.
- All water mains not located within the public road right of way shall be constructed in the center of the easement.
- The use of all lots shall be consistent with Highway Commercial District Zone (B-1). No Lot shall be larger than 40,000 square feet unless approved by the Board of Trustees.
- Each Lot shall comply with the Town of Elizabeth's Site Plan Standards and Procedures, including but not limited to lighting, landscaping, parking, and signage requirements.
- Tracts B and C and Lots 6, 7 and 8 are affected by an agreement between the U.S. Fish and Wildlife Service Permit No. TE-078424-0 Dated: September 23, 2004. The property owner will provide habitat for the Preble's Meadow Jumping Mouse. Development of these Tracts and Lots are restricted by the agreement for as long as the agreement remains in effect.
- Developed drainage patterns shall be consistent with those outlined in the approved final drainage report for the site.
- In the event that easements over private property are necessary to obtain water and sewer service, the Developer shall obtain at their own expense all necessary water and sewer utility easements and dedicate said easements to the Town.

DEDICATION STATEMENT:

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests of the lands described herein, have laid out, subdivided and platted said lands into lots, tracts, blocks, streets and easements as shown hereon under the name and subdivision of Elizabeth Cross Roads Business Park. The utility easements as shown hereon are hereby dedicated for public utilities and cable communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance and replacement of utility lines and related facilities. All streets and rights-of-way, shown hereon are dedicated and conveyed to the Town of Elizabeth, Colorado, in fee simple absolute, for public use and purposes.

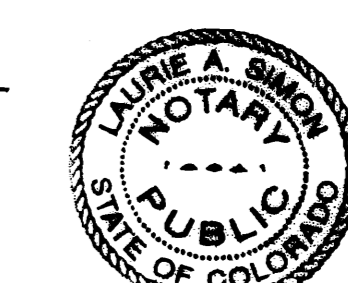
Elizabeth Cross Roads Business Park LLC
(Owners/Mortgagees)
By: Robert J. A.
Title: Chairman

ATTEST:
Elizabeth Cross Roads Bus Park LLC
Secretary Robert J. A.

Subscribed and sworn to before me this 19 day of September, 2005, by Robert J. A.

WITNESS my hand and official seal.
Cheryl K. Hobbs
Notary Public

My commission expires 10/25/07



TITLE VERIFICATION:

We, Security Title Guaranty Company, a qualified title insurance company, do hereby certify that we have examined the title of all land platted hereon and that title to such land is in the dedication(s) free and clear of all liens, taxes and encumbrances, except as follows:

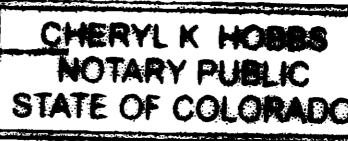
October 3rd 2005 Lawrence R. Croucher Esq. V.P.
Date

Subscribed and sworn to before me this 3 day of October, 2005.

by Lawrence R. Croucher
Esq. Vice President

WITNESS my hand and official seal.
Notary Public Cheryl K. Hobbs

My Commission expires _____



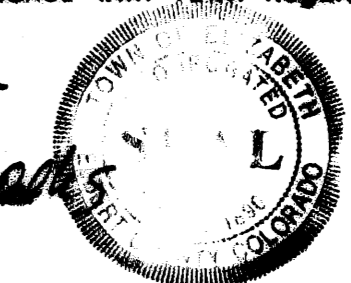
BOARD OF TRUSTEES:

This plat was approved for filing by the Board of Trustees of the Town of Elizabeth, Colorado on the 15th day of July, 2005 for filing. The dedications are hereby accepted.

All expenses incurred with respect to improvements for all utility services, paving, grading, curbs, gutter, sidewalks, road lighting, road signs, flood protection devices, drainage structures and all other improvements that may be required shall be the responsibility of the subdivider and not the Town of Elizabeth. The Town shall only accept maintenance of the roadway improvements after construction has been completed, and after the warranty period, in accordance with Town Regulations.

Wendell C. Wilson
Mayor, Town of Elizabeth

Attest: Sumner A. Adams
Town Clerk

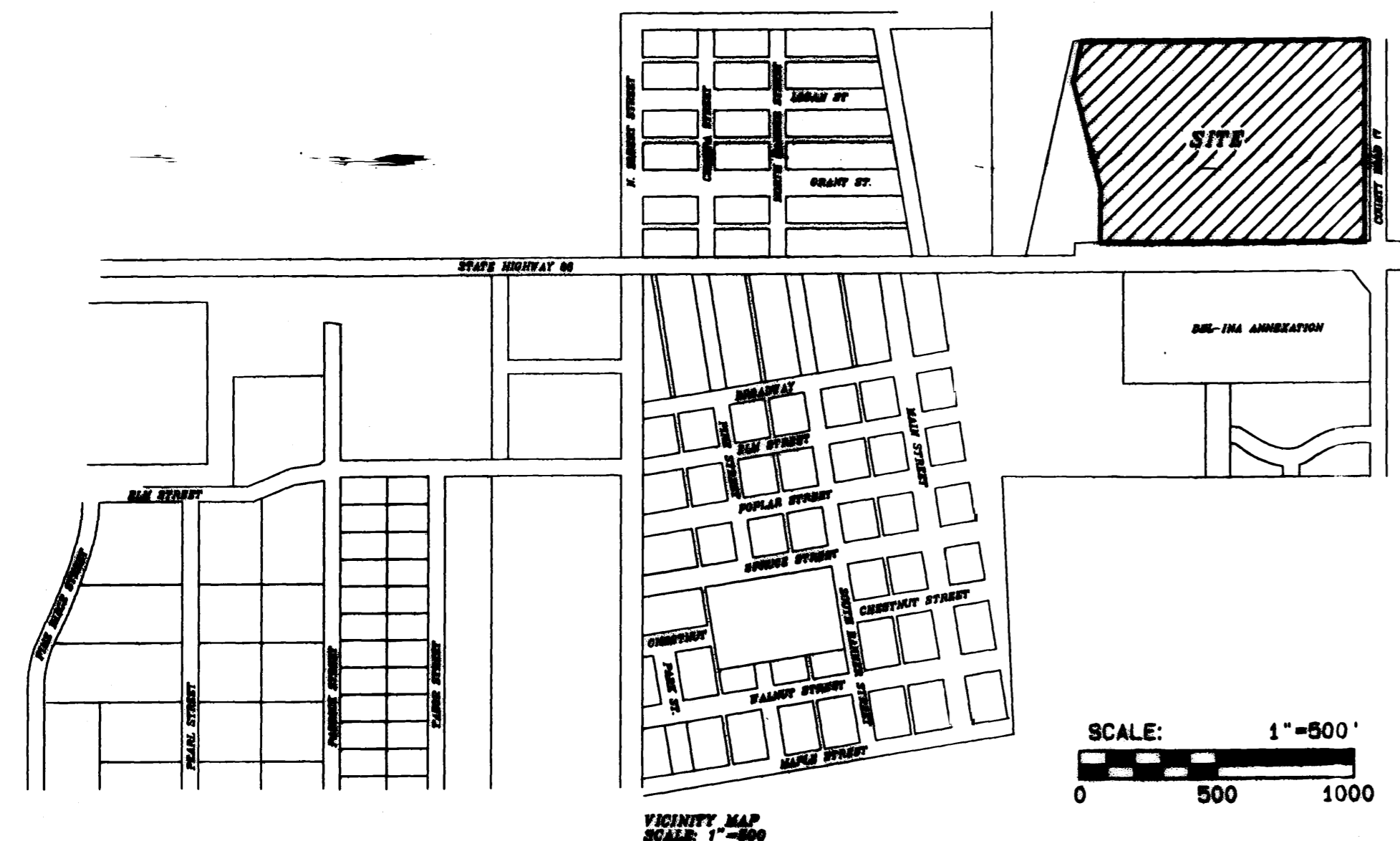
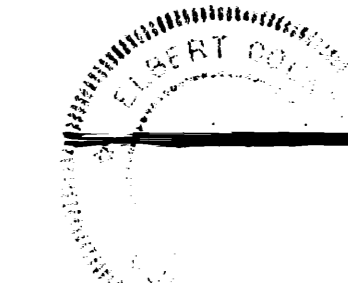


CLERK AND RECORDER'S CERTIFICATE:

STATE OF COLORADO }
COUNTY OF ELBERT }

I hereby certify that this plat was filed in my office on this 17th day of October, 2005, A.M. of 1:23 p.m. and was recorded at Reception Number 467458 Book T2 Page 126

Christina Lindmark
County Clerk and Recorder



<p>REVISIONS</p> <p>Revised 8-18-05</p>	<p>DAVID E. ARCHER & ASSOCIATES, INC.</p> <p>LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING</p> <p>PHONE (303) 888-4648 188 WILSON ST. GATEWAY ROCK, COLORADO 80104</p>		<p>FINAL PLAT</p> <p>ELIZABETH CROSS ROADS BUSINESS PARK</p> <p>ELIZABETH CROSSROADS LLC</p> <p>Sheet <u>1</u> of <u>2</u> <u>97-0119</u></p>
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*NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

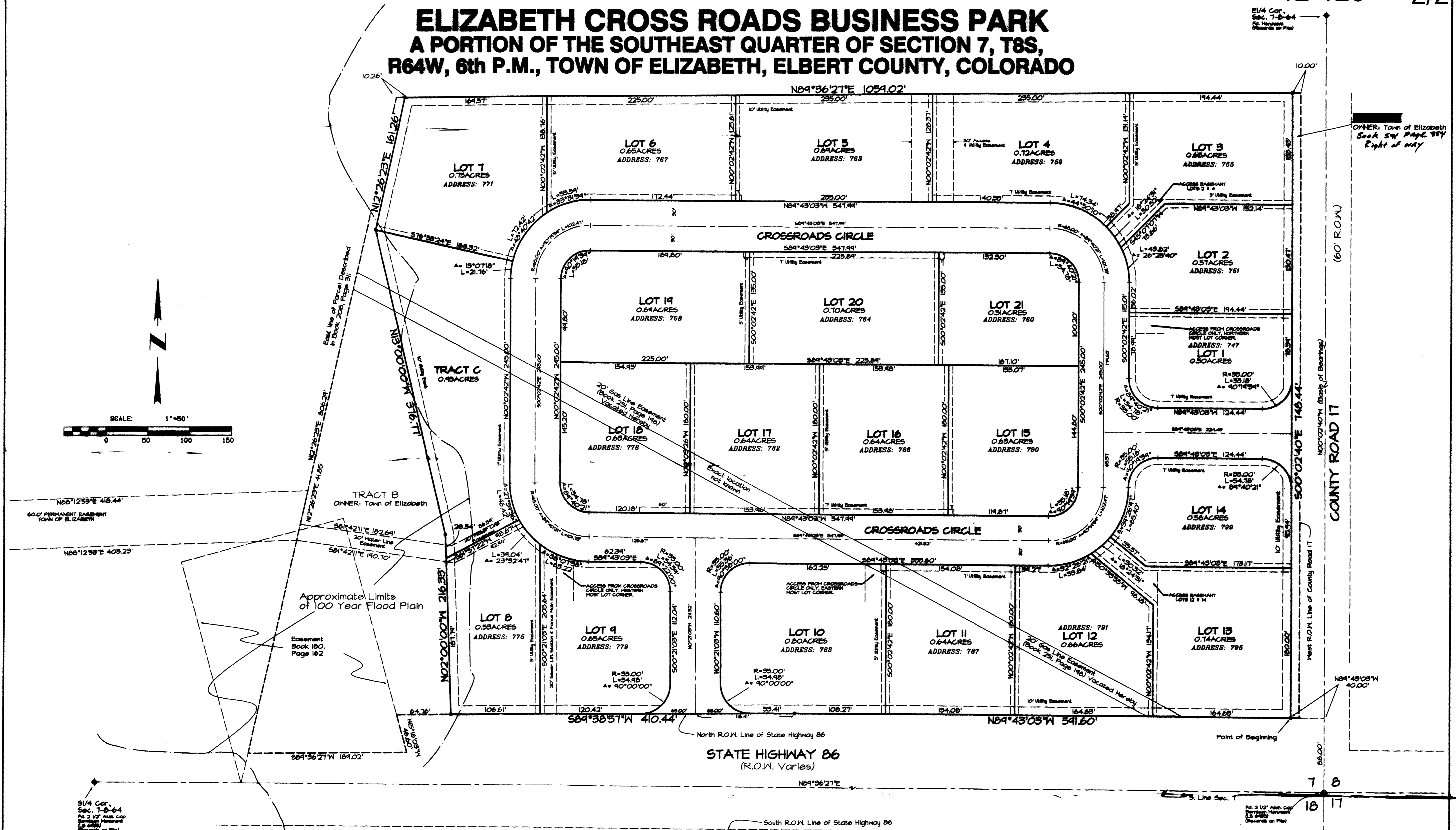
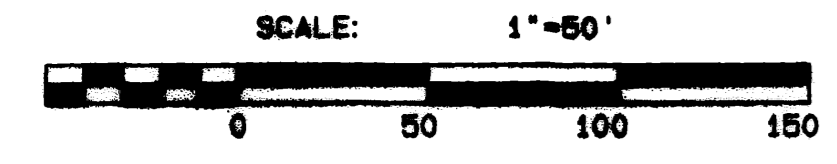
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1/4 Cor. Sec. 7-8-64
Pt. Monument
Records on File

OWNER: Town of Elizabeth
Book 541 Page 884
Right of way



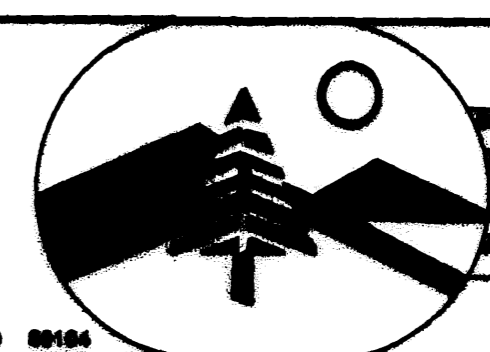
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Pt. 2 1/2\" Admin. Cap.
Easement Monument
(2.5 600)
Records on File

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REVISIONS
Revised 8-13-03

DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
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FINAL PLAT
ELIZABETH CROSS ROADS BUSINESS PARK
ELIZABETH CROSSROADS LLC
Sheet 2 of 2 97-0119



TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission
FROM: Zach Higgins, AICP Planner/Project Manager
DATE: May 03, 2022
SUBJECT: Feedback Requested – Elizabeth 44 (Abraham Lot)

SUMMARY

THK Associates has provided four exhibit documents showing what they think could be developed on the Abraham/Elizabeth 44 site. This site is zoned Commercial Mixed Use. They would like to get feedback and comments from the Planning Commission and Board of Trustees on what they have presented.

Representatives from THK are expected to be present to present to the Planning Commission and take feedback.

STAFF RECOMMENDATION

No vote is required at this time. Please provide feedback/comments regarding the exhibits so that THK may take into consideration before officially proposing to the Planning Commission and Board of Trustees.

ATTACHMENT(S)

Elizabeth 44 Exhibits

Retail/Commercial Neighborhood

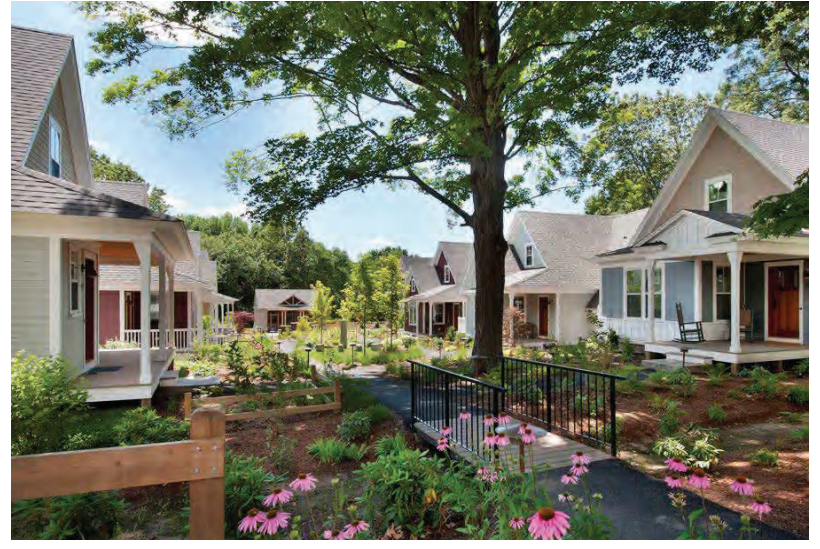


Multi-Family Neighborhood



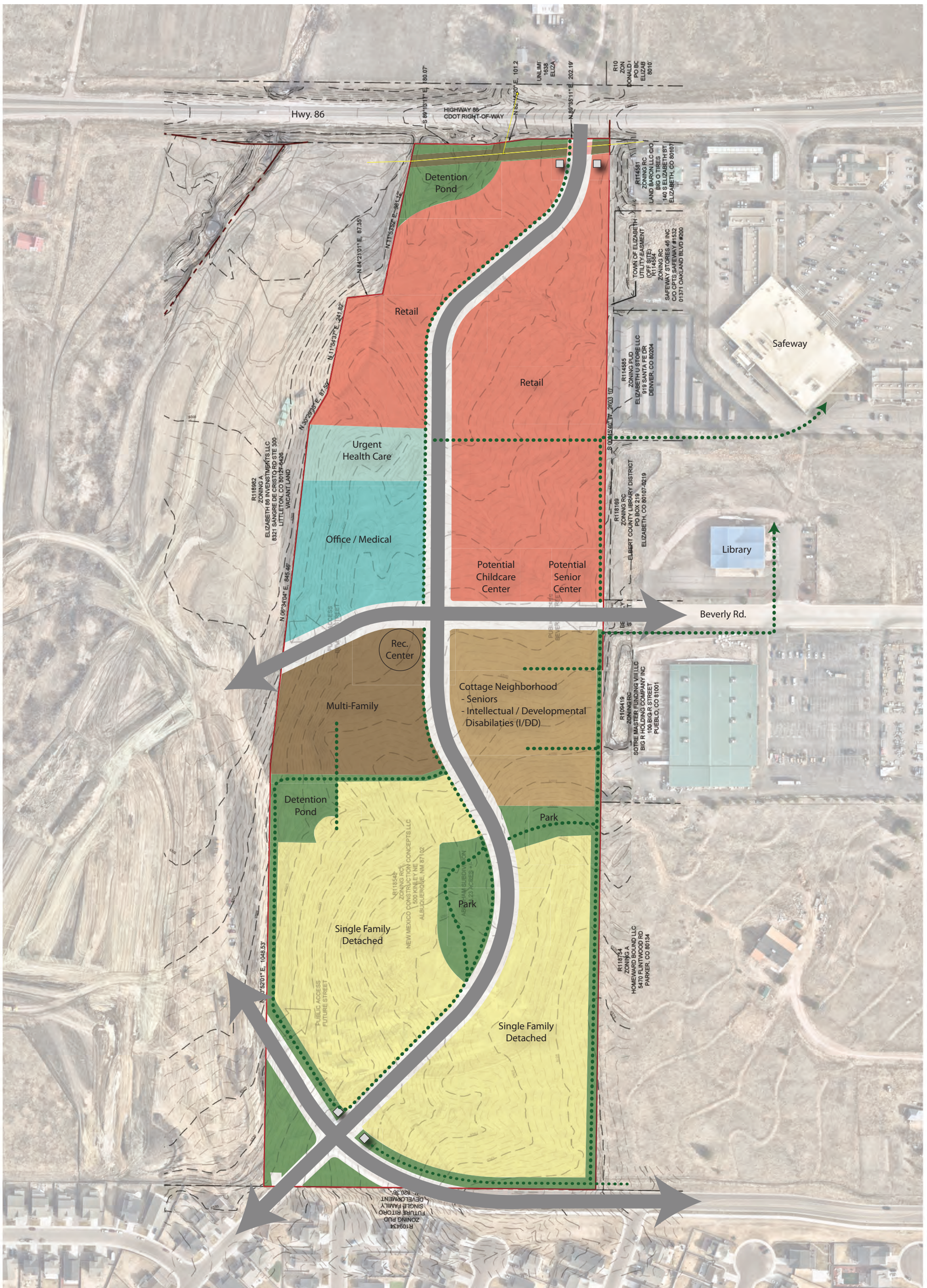
CLUBHOUSE PERSPECTIVE 1

Cottage Homes Neighborhood



Single Family Detached Neighborhood





- Retail / Commercial
- Office / Medical
- Multi-Family (90 Units)
- Cottage Homes (26 Units)
- Single Family Detached (95 Units)
- Parks / Open Space / Detention
- Pedestrian Network



- Retail / Commercial (79,025 SF)
- Multi-Family (90 Units)
- Single Family Detached (95 Units)
- Office (37,500 SF)
- Cottage Homes (26 Units)
- Parks / Open Space



TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission
FROM: Zach Higgins, AICP Planner/Project Manager
DATE: May 03, 2022
SUBJECT: Historic Preservation Code Update - Draft

SUMMARY

The Historic Advisory Board and Staff have held two public meetings, one in February and one in April. The HAB also released a Historic Preservation Survey which was distributed digitally and physically, which received over 130 responses. With that feedback, the HAB has chosen to use the Basic version of the History Colorado Model Certified Local Government Preservation Ordinance to use as a base for a possible municipal code update.

The draft of the slightly modified ordinance was presented at the April 18th public meeting and received majority positive feedback. The draft ordinance also received majority positive feedback from the Main Street Board of Directors at their April meeting.

The main differences between the current code and proposed code are below:

16-2-1 – Requirements (GIVES TOWN FORMAL PROCESS TO REVIEW ALTERATIONS. STOPS PERMIT APPROVAL IF A CERTIFICATE OF APPROPRIATENESS HAS NOT BEEN OBTAINED. ALSO, STOPS PERMIT APPROVALS AFTER NOMINATION FOR DESIGNATION)

16-2-2 – Application (OUTLINES APPLICATION PROCESS)

16-2-3 – Alteration Hearing

16-2-4 – Review Criteria (OUTLINES FORMAL CRITERIA)

16-2-5 – HAB Review (OUTLINES THE FORMAL HAB REVIEW PROCESS)

16-2-6 – Appeal of Denial of Certificate of Appropriateness (OUTLINES FORMAL APPEAL PROCESS)

16-3 – Relocation of Listed Properties (OUTLINES FORMAL PROCESS FOR CONSIDERING RELOCATION OF HISTORIC PROPERTIES)

16-4 – Demolition of Listed Properties

16-6 – Maintenance (OUTLINES THAT EXTERIOR AND INTERIOR MAINTENANCE OF DESIGNATED PROPERTIES MUST BE MAINTAINED TO PREVENT SIGNIFICANT DETERIORATION)



TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

16-7 – Unsafe or Dangerous Conditions Exempted (ALLOWS CERTAIN WORK TO BE COMPLETED AS NECESSARY TO CORRECT UNSAFE OR DANGEROUS CONDITIONS OF A PROPERTY)

16-8 – Enforcement and Penalties (OUTLINES ENFORCEMENT)

STAFF RECOMMENDATION

No vote is required at this time. Please provide staff with feedback/comments regarding this draft ordinance so that Staff and the HAB may take into consideration before officially proposing to the Planning Commission and Board of Trustees.

ATTACHMENT(S)

Draft Ordinance

Chapter 2 – Article VIII - Historic Advisory Board

Section 1. General

1. Purpose. The purpose of this ordinance is to enhance our community's local resources and to promote the public health, safety, and welfare through:
 - a. The protection and preservation of the Town's architecture, culture, and heritage as embodied in Historic Properties and Historic Districts, by appropriate regulations and incentives;
 - b. The enhancement of Property values and the stabilization of historic neighborhoods;
 - c. The establishment of the Town's Historic Register listing Historic Properties and Historic Districts;
 - d. The cultivation of civic pride in the art, architecture, and accomplishments of the past;
 - e. The encouragement of continued private ownership and utilization of such Historic Properties or Historic Districts now so owned and used;
 - f. The promotion of thoughtful community planning and design;
 - g. The maintenance and improvement of economic and financial benefits through the protection of attractions that bring tourists and visitors to the Town; and
 - h. The provision of educational opportunities to increase public appreciation of the Town's unique heritage.
2. Intent. The intention of this ordinance is to create a reasonable balance between private property rights and the public interest in preserving the City's unique historic character through the nomination of Buildings, Structures, Sites, Objects, and districts for preservation.
3. Definitions. For purposes of this ordinance, the following terms are to be defined as follows:
 - a. **Alteration or Alter** – Any act or process that changes one (1) or more of the exterior architectural or landscape features of a Building, Structure, Site, Object, or district.
 - b. **Applicant** – Person or persons submitting nomination or Alteration paperwork.
 - c. **Board of Trustees** – The board of trustees of the Town.
 - d. **Building** – A shelter or enclosure Constructed for persons, animals, or chattels.
 - e. **Building Code** – The [The current Town Building Code].
 - f. **Building Official** – The officer or other designated authority charged with the administration and enforcement of the Building Code, or that person's authorized representative.
 - g. **Certificate of Appropriateness** – Certificate issued by the Historic Advisory Board authorizing any proposed repair, restoration, Alteration, Construction, Relocation, or Demolition of a Historic Property or element within a Historic District pursuant to this ordinance.
 - h. **Certificate of Economic Hardship** – A certificate issued by the Commission authorizing the repair, restoration, Alteration, Construction, Relocation, or Demolition of a designated Building,

Structure, Object, Site, or element within a designated Historic District in accordance with the provisions of this ordinance, even though a Certificate of Appropriateness has previously been denied.

- i. **City's Historic Register** – The register established pursuant to Section 3 of this ordinance.
- j. **Code** – The [City Code/Municipal Code].
- k. **Colorado State Register of Historic Properties** – The official listing of state designated cultural resources.
- l. **Commission** – The Historic Preservation Commission established pursuant to Section 2 of this ordinance.
- m. **Compatible** or **Compatibility** – Consistent or harmonious with location, design, setting, materials, workmanship, feeling, or association of an individual Building, Structure, Object, or Site or of surrounding Properties.
- n. **Construction** or **Construct** – Act of erecting an addition to an existing Building, Structure, or Object or the erection of a new principal or accessory Building, Structure, or Object on a lot or Property.
- o. **Contributing Property** – A Building, Structure, Site, or Object that reflects the historic or architectural character within a Historic District.
- p. **Demolition** or **Demolish** – Any act or process that destroys in part or in whole a Building, Structure, Object, or Site.
- q. **Design Guidelines** – A standard of appropriate activity that will preserve the historic and architectural character of a Historic Property, Property, or Historic District.
- r. **Historic District** – Meaning as set forth in Section 3 of this ordinance.
- s. **Historic Property** – A Building, Structure, Site, or Object which is designated by the City Council pursuant to this ordinance.
- t. **Historic Significance** – The meaning or value ascribed to a Building, Structure, Object, Site, or district based on criteria for evaluation as defined by Section 3 below.
- u. **Infill** – Construction on vacant or under-used parcels within existing areas that are largely developed.
- v. **Integrity** – The ability of a property to convey its Historic Significance through its physical features.
- w. **Inventory** – Catalog of Buildings, Structures, Objects, and Sites within the City, listed, eligible for listing, or non-eligible for listing in the City's Historic Register.
- x. **Maintenance** – All activities necessary to prolong the useful life and aesthetic appearance of a Property.
- y. **National Register of Historic Places** – The list of significant Buildings, Structures, Sites, Objects, or districts in American history, architecture, archaeology, engineering, or culture maintained by the U.S. Secretary of the Interior.
- aa. **Non-Contributing Property** – A Building, Structure, Object, or Site that does not reflect the historic or architectural character within a Historic District because of age or lack of Integrity.

- bb. **Object** – A material item of functional, aesthetic, cultural, historical, or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.
- cc. **Period of Significance** – Span of time during which significant events and activities occurred.
- dd. **Owner** – The person, corporation, government, or other legal entity who owns or who has any legal or equitable interest in Property and who is so listed as Owner on the records of the Elbert County Assessor's Office.
- ee. **Property** – A Building, Structure, Site, or Object.
- ff. **Relocate or Relocate** – Moving a Building, Structure, or Object to a different location, either temporarily or permanently.
- gg. **Secretary** – The secretary of the Commission.
- hh. **Secretary of the Interior's Standards for the Treatment of Historic Properties** – The preservation, rehabilitation, restoration, and reconstruction standards adopted by the U.S. Department of the Interior.
- ii. **Section 106 Review** – Process required of federal agencies under 54 U.S.C. 306108 to consult local governments and other parties in consideration of the effects of projects carried out, permitted, licensed, or funded by that agency on properties listed in the National Register of Historic Places.
- jj. **Site** – Location of a significant event; a prehistoric or historic occupation or activity; or a Building, Structure, or Object, whether standing or vanished, where the location itself maintains historic or archaeological value regardless of the value of any existing Building, Structure, or Object.
- kk. **Structure** – A Construction for purposes other than shelter for humans, animals, or chattel (such as a road, bridge, canal, or fence).
- ll. **Town** – Town of Elizabeth, Colorado

Section 2. Historic Advisory Board

1. Creation. There is hereby established a Historic Advisory Board, which shall be appointed by the Board of Trustees, and hereinafter referred to as the "HAB."
2. Composition
 - a. The HAB shall be composed of seven (7) voting members, all of whom have demonstrated interest in, competence with or knowledge of preservation.
 - b. At least 40% of the members shall be professionals or shall have extensive expertise in a preservation-related discipline, including but not limited to History, Architecture, Landscape Architecture, American Studies, American Civilization, Cultural Geography, Cultural Anthropology, Planning, or Archaeology.
3. Term of Office
 - a. Members shall serve three-year staggered terms from the date of their appointment; provided, however, that the initial appointment to the Commission shall consist of one appointment of a term of one year, two appointments of a term of two years, and two

appointments of a term of three years.

- b. Members may continue to serve until their successors have been appointed.
4. Officers. The HAB shall, by majority vote, elect one of its members to serve as chairperson to preside over the HAB's meetings, one member to serve as the vice-chairperson and one member to serve as Secretary. The members so designated shall serve in these capacities for terms of one year.
5. Quorum and Voting. A quorum for the HAB shall consist of a majority or 51% of the members. A quorum is necessary for the HAB to conduct business, including holding a public hearing. A roll call vote shall be taken upon the request of any member. A tie vote shall be deemed a denial of the motion or recommended action.
6. Compensation. All members of the HAB shall serve without compensation except for such amounts determined appropriate, in advance, by the Board of Trustees to offset expenses incurred in the performance of their duties.
7. Powers and Duties. The HAB shall:
 - a. Conduct surveys and create Inventories of Properties and areas for the purpose of defining those of Historic Significance.
 - b. Review and determine qualifications of Buildings, Structures, Objects, Sites, and districts nominated for designation and recommend that the Board of Trustees designate by ordinance such Buildings, Structures, Objects, Sites, or districts qualifying for such designation.
 - c. Recommend to the Board of trustees the establishment of Construction and Design Guidelines, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, for review of proposals to Alter, Relocate, or Demolish Historic Properties.
 - d. Review and make recommendations on any application for Alteration, Relocation, or Demolition of a Historic Property or Historic District or planning and design project that may affect the character or Integrity of the Historic Property or Historic District.
 - e. Participate in review of National Register of Historic Places nominations.
 - f. Advise and assist Owners on physical and financial aspects of preservation, rehabilitation, restoration, and reconstruction, including nomination to the Town's Historic Register, the Colorado State Register of Historic Properties, and the National Register of Historic Places.
 - g. Develop and assist in public education programs on history, archaeology, and historic preservation.
 - h. Advise the Board of Trustees on matters related to preserving the historic character and substance of the Town and recommend easements, covenants, licenses, and other methods which will implement the completion of the purposes of this ordinance.
 - i. Participate in Federal Section 106 Review as requested by Board of Trustees or Staff.
 - j. Actively pursue financial assistance for preservation-related programs.

- k. Draft and recommend for adoption by the Board of Trustees such by-laws, operating policies and other rules of procedure as the HAB may deem appropriate.
- 8. Meetings
 - a. The HAB shall establish a regular meeting schedule with no less than four scheduled meetings per fiscal year.
 - b. Minutes shall be kept of all HAB proceedings.
 - c. All meetings of the HAB shall be open to the public.
- 9. Vacancies. Appointments to fill vacancies on the HAB shall be made by the Board of Trustees in the same manner as regular appointments.
- 10. Removal. Members of the HAB may be removed by the Board of Trustees with just cause.

Section 3. Establishment of Town Register and Designation Criteria

- 1. The Board of Trustees hereby establishes Elizabeth, Colorado Register of Historic Places.
 - a. Properties or districts may be listed in the Town's Historic Register only if such Property or district has been so designated pursuant to this ordinance.
 - b. All Properties listed in the Colorado State Register of Historic Properties and the National Register of Historic Places are eligible for the Town's Historic Register but are not designated until approval, pursuant to this ordinance, is obtained.
- 2. Eligibility Criteria
 - a. Properties or districts shall be at least fifty years old and meet one or more of the following criteria in order to be considered for designation:
 - i. Association with events that have made a significant contribution to history;
 - ii. Connection with persons significant in history;
 - iii. Distinctive characteristics of a type, period, method of Construction, or artisan;
 - iv. Geographic importance; and/or
 - v. Possibility to yield important information related to prehistory or history.
 - b. A Property or district may be exempted from the age standard if the City Council finds it to be exceptionally important in other criteria.
- 3. Integrity Criteria

All Properties and districts shall be evaluated for their physical Integrity using the following criteria:

 - a. Location
 - b. Design
 - c. Setting
 - d. Materials
 - e. Workmanship
 - f. Association (with prominent historical person or purpose)
- 4. Historic Districts
 - a. A "Historic District" is a geographically definable area including a concentration, linkage, or continuity of Properties within a specified

Period of Significance and may include within its geographic boundaries one or more Contributing Properties, which has been designated by the City Council pursuant to this ordinance.

- b. A Historic District is related by a pattern of either physical elements or social activities. Historic Significance is determined by applying eligibility and Integrity criteria to the pattern(s) and unifying element(s).
- c. Historic District boundaries will be defined by visual changes, historical documentation of different associations or patterns of development, or evidence of changes in Property type, density, or Integrity.
- d. Properties that do not contribute to the Historic Significance of the Historic District may be included within its boundaries.

Section 4. Designation Procedure

1. Nomination and Application

- a. Applications shall be submitted to the Town Clerk for consideration on a form provided by the Commission.
- b. A nomination for listing in the Town's Historic Register may be made:
 - i. By the Owner or Owners of the Property or Properties to be designated;
 - ii. By a member or members of the HAB;
 - iii. By a member or members of Board of Trustees; and/or
- c. Where nominated by someone other than the Property Owner or less than all of the Property Owners in a district nominated for designation, the Town or at least one member of the HAB shall contact the Owner or Owners of such Property or Properties nominated for designation in writing, outlining the reasons and effects of listing in the Town's Historic Register within 30 days of receipt of nomination.
- d. Applications determined incomplete shall be returned to the Applicant within 30 days with a request for additional information.
- e. Applications for a district nomination shall not be complete if more than 25% of the Property Owners within the proposed district oppose the nomination in writing or through ballot prepared and administered by the Town.

2. Designation Hearing

- a. Within 45 days after an application is determined complete, or within a time frame agreed upon by the Applicant and the Town, a public hearing shall be held by the HAB.
 - i. The Secretary shall provide notice of the date, time, and location of the public hearing to the Applicant, the Owner or Owners of record, the Owners of adjacent properties and, if known, to other persons having a legal or equitable interest in the Properties or district nominated for designation at least 10 days prior to the hearing.
 - ii. A legal notice indicating the nature of the hearing, the Property involved, and the time, date, and place of the scheduled public hearing, shall be published in the Town's

publication of record at least 10 days prior to the hearing.

- iii. The notice shall be posted at the Property's physical location at least 10 days prior to the hearing.
 - b. A hearing may be continued. If the hearing is continued, the time, date, and place of the continuation shall be established and announced to those present when the current session is to be adjourned. In no case shall a hearing be continued more than 30 days without the express consent of the Applicant.
 - c. Reasonable opportunity shall be provided for all interested parties to express their opinions regarding the proposed designation. However, nothing contained in this ordinance shall be construed to prevent the HAB from establishing reasonable rules to govern the proceedings of the hearings, or from establishing reasonable limits on the length of individual presentations.
 - d. Transcripts of the hearings are not required; however, the HAB's records shall include the name and address of each speaker; the organization or person the speaker represents, if any; whether or not the speaker is an Owner or holder of some interest in the Property or district nominated for designation, or represents such Owner or holder; and a summary of the relevant portions of each statement. Written reports and presentations shall be incorporated into the record of the hearing.
3. HAB Review
 - a. The HAB shall review the application for conformance with the established criteria for designation and with the purposes of this ordinance.
 - b. The HAB shall recommend:
 - i. Approval;
 - ii. Approval with conditions; or
 - iii. Denial of the application.

The HAB shall set forth in writing its findings of fact which constitute the basis of its recommendation.
 - c. If the HAB approves an application or approves an application with conditions, the HAB shall forward the application with a copy of its report and findings of approval to the Board of Trustees.
 - d. If the HAB denies the application, the Commission must notify, in writing, the Board of Trustees and the Applicant within 30 days of such denial. Such denial shall state the reasons for the denial and the procedures for appeal to the Board of Trustees.
 - e. The HAB may issue an order continuing the nomination process if the HAB finds that additional information is necessary to make a decision. If the hearing is continued, the time, date, and place of the continuation shall be established and announced to those present when the current session is to be adjourned. In no case can a hearing be continued more than 30 days without the express consent of the Applicant.
4. Board of Trustees Proceedings
 - a. Within 30 days after receipt of the HAB's approval of an application,

the Board of Trustees shall hold a public hearing to consider adopting by ordinance those properties qualifying for designation. Such notice and hearing shall be conducted in conformance with the procedures set forth in Section 4, Subsections 2(a)-(d), except the Town Clerk shall perform the responsibilities assigned therein to the Secretary.

- b. The Board of Trustees shall review the application for conformance with this ordinance.
 - c. The Board of Trustees shall, by ordinance, approve, approve with conditions, or deny the proposed application and shall issue written findings based on the HAB's recommendations.
 - d. The Town shall provide a copy of the results of the Board of Trustees' final action to the Applicant/Applicants, all Owners of record, the Planning Director, the Building Official, and any other person who has requested in writing to receive the same.
5. Recording of Designation. Within 30 days of the effective date of an ordinance designating a Historic Property or Historic District for preservation, the Town shall record the ordinance with the clerk and recorder of Elbert County.
 6. Records. The Town shall maintain a current record of all Historic Properties and Historic Districts and pending designations.
 7. Limitation on Resubmission and Reconsideration of Proposed Designation. Whenever the HAB or the Board of Trustees denies a proposed designation, no person shall submit an application that is the same or substantially the same for at least one year from the effective date of the final action on the denied application unless the HAB or Board of trustees has denied based on a request for additional information.
 8. Appeal of HABs Denial of Application
 - a. Applicant(s) and/or Owner(s) shall have the right to appeal such decision to the Board of Trustees by filing a written notice within 15 days after the date of receipt of the HAB's denial. Such written notice shall specify the factual and legal basis for the appeal.
 - b. Within 45 days after an appeal is received by the Town Clerk, or within a time frame agreed upon by the Applicant(s) and/or Owner(s) and the Town, a public hearing shall be held by the Board of Trustees. Notice of the Board of trustees' consideration of the appeal and hearing shall be provided in accordance with Section 4, Subsections 2(a)-(d), except the Town Clerk shall perform the responsibilities of the Secretary.
 - c. The Board of Trustees may consider only the notice of appeal, the HAB's reasons for denial of the application, and the comments related thereto made during the HAB hearing.
 - d. If the Board of Trustees finds the HAB's denial of the application was based on incorrect information, or there is shown to be newly discovered information not available at the time the application was submitted to the Commission, and if the correct or newly discovered information could, in the opinion of the Board of Trustees, change the HAB's denial of said application, then the entire matter shall be remanded by the Board of Trustees to the HAB for its consideration.

- e. The decision of the Board of Trustees shall be final.
9. Amendment of Designation
- a. Designation of a Historic Property or Historic District may be amended to add features or Properties to such Historic Property or Historic District under the procedures prescribed hereinabove.
 - b. Upon the Commission's decision to amend a designation, the Commission shall promptly notify the Owners of the Historic Property and the City shall cause to be prepared a resolution including the legal description of the affected Historic Property or Historic District stating notice of the amendment, and schedule the resolution for City Council review. Upon adoption by the City Council, the resolution shall be recorded.
10. Revocation of Designation
- a. If a Historic Property or Historic District has been Altered to a degree that it no longer retains its historic Integrity, the Owner may apply to the HAB for a revocation of the designation or the HAB shall recommend revocation of the designation to the Board of Trustees in the absence of the Owner's application to do so. The revocation application shall be reviewed under the same procedures described hereinabove.
 - b. Upon the HAB's decision to revoke a designation, the HAB shall promptly notify the Owners of the Historic Property or Historic District and the Town shall cause to be prepared a resolution including the legal description of the affected Historic Property or Historic District stating notice of the revocation, and schedule the resolution for Board of Trustees review. Upon adoption by the Board of Trustees, the resolution shall be recorded.

End of Article VIII draft

Chapter 16 – Article XI – Historic Preservation

(Provide link to Article VIII – Historic Advisory Board here)

Section 1. General

1. Purpose. The purpose of this ordinance is to enhance our community's local resources and to promote the public health, safety, and welfare through:
 - a. The protection and preservation of the Town's architecture, culture, and heritage as embodied in Historic Properties and Historic Districts, by appropriate regulations and incentives;
 - b. The enhancement of Property values and the stabilization of historic neighborhoods;
 - c. The establishment of the Town's Historic Register listing Historic Properties and Historic Districts;
 - d. The cultivation of civic pride in the art, architecture, and accomplishments of the past;
 - e. The encouragement of continued private ownership and utilization of such Historic Properties or Historic Districts now so owned and used;
 - f. The promotion of thoughtful community planning and design;
 - g. The maintenance and improvement of economic and financial benefits through the protection of attractions that bring tourists and visitors to the Town; and
 - h. The provision of educational opportunities to increase public appreciation of the Town's unique heritage.
2. Intent. The intention of this ordinance is to create a reasonable balance between private property rights and the public interest in preserving the City's unique historic character through the nomination of Buildings, Structures, Sites, Objects, and districts for preservation.
3. Definitions. For purposes of this ordinance, the following terms are to be defined as follows:
 - a. **Alteration or Alter** – Any act or process that changes one (1) or more of the exterior architectural or landscape features of a Building, Structure, Site, Object, or district.
 - b. **Applicant** – Person or persons submitting nomination or Alteration paperwork.
 - c. **Board of Trustees** – The board of trustees of the Town.
 - d. **Building** – A shelter or enclosure Constructed for persons, animals, or chattels.
 - e. **Building Code** – The [The current Town Building Code].
 - f. **Building Official** – The officer or other designated authority charged with the administration and enforcement of the Building Code, or that person's authorized representative.
 - g. **Certificate of Appropriateness** – Certificate issued by the Historic Advisory Board authorizing any proposed repair, restoration, Alteration, Construction, Relocation, or Demolition of a Historic Property or element within a Historic District pursuant to this ordinance.

- h. **Certificate of Economic Hardship** – A certificate issued by the Commission authorizing the repair, restoration, Alteration, Construction, Relocation, or Demolition of a designated Building, Structure, Object, Site, or element within a designated Historic District in accordance with the provisions of this ordinance, even though a Certificate of Appropriateness has previously been denied.
- i. **City’s Historic Register** – The register established pursuant to Section 3 of this ordinance.
- j. **Code** – The [City Code/Municipal Code].
- k. **Colorado State Register of Historic Properties** – The official listing of state designated cultural resources.
- l. **Commission** – The Historic Preservation Commission established pursuant to Section 2 of this ordinance.
- m. **Compatible or Compatibility** – Consistent or harmonious with location, design, setting, materials, workmanship, feeling, or association of an individual Building, Structure, Object, or Site or of surrounding Properties.
- n. **Construction or Construct** – Act of erecting an addition to an existing Building, Structure, or Object or the erection of a new principal or accessory Building, Structure, or Object on a lot or Property.
- o. **Contributing Property** – A Building, Structure, Site, or Object that reflects the historic or architectural character within a Historic District.
- p. **Demolition or Demolish** – Any act or process that destroys in part or in whole a Building, Structure, Object, or Site.
- q. **Design Guidelines** – A standard of appropriate activity that will preserve the historic and architectural character of a Historic Property, Property, or Historic District.
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- t. **Historic Significance** – The meaning or value ascribed to a Building, Structure, Object, Site, or district based on criteria for evaluation as defined by Section 3 below.
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- v. **Integrity** – The ability of a property to convey its Historic Significance through its physical features.
- w. **Inventory** – Catalog of Buildings, Structures, Objects, and Sites within the City, listed, eligible for listing, or non-eligible for listing in the City’s Historic Register.
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- y. **National Register of Historic Places** – The list of significant Buildings, Structures, Sites, Objects, or districts in American history, architecture, archaeology, engineering, or culture maintained by the U.S. Secretary of the Interior.

- aa. **Non-Contributing Property** – A Building, Structure, Object, or Site that does not reflect the historic or architectural character within a Historic District because of age or lack of Integrity.
- bb. **Object** – A material item of functional, aesthetic, cultural, historical, or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.
- cc. **Period of Significance** – Span of time during which significant events and activities occurred.
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- ee. **Property** – A Building, Structure, Site, or Object.
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- gg. **Secretary** – The secretary of the Commission.
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- jj. **Site** – Location of a significant event; a prehistoric or historic occupation or activity; or a Building, Structure, or Object, whether standing or vanished, where the location itself maintains historic or archaeological value regardless of the value of any existing Building, Structure, or Object.
- kk. **Structure** – A Construction for purposes other than shelter for humans, animals, or chattel (such as a road, bridge, canal, or fence).
- ll. **Town** – Town of Elizabeth, Colorado

Section 2. Alterations to Listed Properties and Historic Districts

1. Requirements

- a. Before carrying out any new Construction, Alteration, Relocation, or Demolition involving the exterior of any Historic Property or Property within a Historic District (including Non-Contributing Properties) such Owner(s) must first submit the proposed work to the HAB under this Section, as well as apply for any other permits required by Code.
- b. The Town shall review any building permit application received to determine whether the Property is a listed Historic Property or located in a Historic District and if so, if the Applicant has completed review by the HAB as required by this Section. If a Certificate of Appropriateness has been issued on the permit application and the proposed work conforms thereto, the Town shall process it without further action. If no Certificate of Appropriateness has been issued or if the Town

determines that the permit application does not conform to such, the Town shall not approve the permit application and shall not issue a permit until a Certificate of Appropriateness has been issued and the permit application conforms thereto.

- c. No person shall receive a building permit to Construct, Alter, remove, or Demolish any Building, Structure, Object, or other feature on a Site or element of a district nominated for designation after an application has been filed to initiate the designation of such Property or district. No such building permit shall be approved while proceedings are pending on such designation.
2. Application
 - a. A request for Alteration shall be initiated by the Owner(s). Such application shall be submitted to the Town for consideration on a form provided by the Hab. The application shall include anything the Town deems necessary, including, without limitation and as applicable, a description of the type of work proposed and its effect or impact upon the Historic Property or Historic District and plans and specifications showing the proposed exterior appearance, with finishes, materials, samples of materials, and architectural design and detail.
 - b. If the Town determines the application is complete, the Town shall promptly refer the application to the HAB. If the Town determines the application is incomplete, the Applicant shall be advised of the reasons in writing within 30 days of submittal.
 3. Alteration Hearing. Within 45 days after an application is determined complete by the Town, or within a time frame agreed upon by the Applicant and the Town, a public hearing shall be held by the HAB. Such notice and hearing shall be conducted in conformance with the procedures set forth in **Section 4, Subsections 2(a) – (d)**.
 4. Review Criteria
 - a. Compliance with any Design Guidelines adopted by the Town and the Secretary of the Interior's Standards for the Treatment of Historic Properties.
 - b. For Non-Contributing Properties within a Historic District:
 - i. Compatibility with the Property's current design, materials, features, size, scale and proportion, and massing; or
 - ii. Compatibility with the Historic District's design, materials, features, size, scale and proportion, and massing.
 - c. Infill Construction within Historic Districts shall be differentiated from the Historic Properties but be Compatible with the historic materials, features, size, scale and proportion, and massing to protect the Integrity of the Historic District and its environment.
 5. HAB Review
 - a. The HAB shall:
 - i. Approve;
 - ii. Approve with conditions; or

iii. Deny the application.

The HAB shall set forth in writing its findings of fact which constitute the basis of its recommendation.

- b. If the HAB approves or approves the application with conditions, the HAB shall issue and send a Certificate of Appropriateness to the Applicant, the Planning Director, the Building Official, and any other person who has requested in writing to receive the same within 30 days. If approved with conditions, such conditions shall be stated in writing in the Certificate of Appropriateness.
 - c. If the HAB denies the application, the HAB shall deny a Certificate of Appropriateness and notify, in writing, the Applicant, the Planning Director, the Building Official, and any other person who has requested in writing to receive the same within 30 days of such denial. Such denial shall state the reasons for the denial and the procedures for appeal to the Board of Trustees.
 - d. The HAB may issue an order continuing the Alteration application process if the HAB finds that additional information is necessary to make a decision. If the hearing is continued, the time, date, and place of the continuation shall be established and announced to those present when the current session is to be adjourned. In no case can a hearing be continued more than 30 days without the express consent of the Applicant.
 - e. The Applicant may resubmit an amended application or reapply for a building permit that takes into consideration the recommendations of the HAB or appeal the denial to the Board of Trustees.
 - f. If an application for a Certificate of Appropriateness is denied, no person may submit a subsequent application for the same Alteration or Construction within one year from the date of the final action upon the earlier application.
6. Appeal of Denial of Certificate of Appropriateness
- a. If a Certificate of Appropriateness is denied by the HAB, the Applicant may appeal the denial to the Board of Trustees by filing a written notice with the Town Clerk within 15 days after receipt of the Commission's denial.
 - b. Within 45 days after an appeal is received by the Town Clerk, or within a time frame agreed upon by the Applicant and the Town, a public hearing shall be held by the Board of Trustees.
 - c. Notice of the Board of Trustees consideration of the appeal and hearing shall be provided in accordance with Section 4, Subsections 2(a)-(d), except the Town Clerk shall perform the responsibilities of the Secretary.
 - d. The Board of Trustees shall consider the notice of appeal, the HAB's reasons for denial of the application, the comments related thereto made during the HAB hearing, and any evidence (including new evidence) it deems relevant to the application.
 - e. The Board of Trustees shall apply the criteria in **Section 5, Subsection 4** in making its decision.

- f. The decision of the Board of Trustees shall be final.

Section 3. Relocation of Listed Properties

1. General

- a. In addition to the criteria and procedures in Section 5, the HAB will use the criteria of this Section in considering applications for Relocating a Historic Property or Contributing Property in a Historic District within or outside of a designated Site or Historic District or Relocating a Property onto a designated Site or Historic District.
- b. Applicants for Relocation shall provide:
- i. A professionally prepared estimate of costs of continued Maintenance of the Property in its current condition, of rehabilitation on site, and of Relocation and rehabilitation;
 - ii. An engineer's or architect's report as to structural soundness;
 - iii. A professionally prepared estimate of the Property's market value in its current location and current condition, of the market value of the Property rehabbed on its current site, and of the site after Relocation of the Property; and
 - iv. Professionally prepared site plan and construction documents for the current site.

2. Review Criteria

- a. For consideration of the original Property and site, the HAB will review for the following criteria:
- i. The Property cannot be preserved, restored, rehabbed or reused on its current site to provide for any reasonable, beneficial use of the Property regardless of any proposed development plan for the Property's site or adjacent Properties;
 - ii. And
 1. Whether a structural report submitted by a licensed structural engineer adequately demonstrates the soundness of the Building, Structure, or Object proposed for Relocation;
 2. If the Property can be Relocated without significant damage to its physical Integrity; and
 3. Whether plans are specifically defined for the site to be vacated, and have been determined to meet all other City codes and ordinances.
- b. For consideration of the new location, the HAB will review for compliance with all of the following criteria:
- i. Whether the Building, Structure, or Object is Compatible with its proposed site and adjacent Properties; and if the receiving site is Compatible in nature with the Building, Structure, or Object proposed to be moved;
 - ii. The Building, Structure, or Object's architectural Integrity and its consistency with the character of the neighborhood of the receiving site;
 - iii. Whether the Relocation of the Building, Structure, or Object

will diminish the Integrity or character of the neighborhood of the receiving site; and

- iv. If a Relocation plan has been submitted and approved by the Town, including posting a bond, to ensure the safe Relocation, preservation, and repair (if required) of the Property and site preparation and infrastructure connections as described in the Code.

Section 4. Demolition of Listed Properties

1. General

- a. In addition to the criteria and procedures in Section 5, the Commission will use the criteria of this Section in considering applications for Demolition of Historic Properties and Contributing Properties in a Historic District.
- b. Applicants for Demolition shall provide:
 - i. A professionally prepared estimate of costs of continued Maintenance of the Property in its current condition, of rehabilitation, and of Demolition;
 - ii. An engineer's or architect's report as to structural soundness; and
 - iii. Professionally prepared estimates of the Property's market value in its current condition, as rehabbed and after Demolition.
- c. If a Demolition approval is granted on any basis other than that of an imminent hazard or economic hardship (See Section 8), a Certificate of Appropriateness will not be issued until a replacement/reuse plan for the Property has been approved by the Town.

2. Review Criteria for Total Demolition. Applicants requesting a Certificate of Appropriateness for total Demolition must provide data to clearly demonstrate all of the following criteria:

- a. The Property proposed for Demolition is not structurally sound, despite evidence of the Owner's efforts to properly maintain said Building, Structure, or Object;
- b. The Property cannot be preserved, restored, rehabbed, or reused on site to provide for any reasonable, beneficial use of the Property regardless of any proposed development plan for the Property's site or adjacent Properties;
- c. The Property cannot be practically moved to another site in the Town; and
- d. The Applicant demonstrates that the proposal mitigates, to the greatest extent practical, all the following:
 - i. Any impacts that occur to the visual character of the neighborhood where Demolition is proposed to occur;
 - ii. Any impact on the Historic Significance of the Buildings, Structures, or Objects located on the Property and adjacent Properties;
 - iii. Any impact to the Integrity of Buildings, Structures, or Objects located on the Property and adjacent Properties; and

- iv. Any impact to archaeological deposits or ruins or the potential to access such resources and whether information can be recovered as part of the Demolition process.
- 3. Review Criteria for Partial Demolition. Applicants requesting a Certificate of Appropriateness for partial Demolition must provide data to clearly demonstrate all of the following criteria:
 - a. The partial Demolition is required for the preservation, restoration, or rehabilitation of the Property; and
 - b. The Applicant demonstrates that the proposal mitigates to the greatest extent practical, all the following:
 - i. Any impact on the Historic Significance of the Buildings, Structures, or Objects located on the Property and adjacent Properties; and
 - ii. Any impact on the Integrity of the Buildings, Structures, or Objects located on the Property and adjacent Properties.

Section 5. Alteration Exemptions

- 1. General
 - a. If an application for a Certificate of Appropriateness is denied, the Applicant may request an exemption from such certificate requirement pursuant to this Section.
 - b. A request for exemption shall be initiated by the Owner(s). Such application shall be submitted to the City for consideration on a form provided by the HAB. The Applicant shall have the burden of proof to establish hardship.
 - c. The HAB may request additional information from the Applicant as necessary to make informed decisions according to the applicable criteria for decision-making.
 - d. If the Town determines the application is complete, the Town shall promptly refer the application to the Commission. If the Town determines the application is incomplete, the Applicant shall be advised of the reasons in writing within 30 days of submittal.
 - e. Certificate of Appropriateness exemptions are granted only to the specific Owner and are not transferable.
- 2. Criteria for Exemption
 - a. Economic Hardship. The following factors, evidence, and testimony are to be considered:
 - i. The structural soundness of any Buildings or Structures on the Property and their potential for rehabilitation.
 - ii. The economic feasibility of rehabilitation or reuse of the existing Property in the case of a proposed Demolition.
 - iii. For investment or income producing Properties, the ability to obtain a reasonable rate of return on the Property in its present condition, or in a rehabbed condition pursuant to the requirements of this ordinance.
 - iv. For non-income producing Properties consisting of owner-occupied single-family dwellings and/or non-income producing

institutional Properties not solely operating for profit, the ability to maintain or to convert the Property to a reasonable residential or institutional use in its present condition or in a rehabbed condition pursuant to the requirements of this ordinance or the ability to transfer the Property for a reasonable rate of return.

- v. The consideration for economic hardship shall not include any of the following:
 - 1. Willful or negligent acts by the Owner;
 - 2. Purchase of the Property for substantially more than its market value;
 - 3. Failure to perform normal Maintenance and repairs;
 - 4. Failure to diligently solicit and retain tenants;
 - 5. Failure to prescribe a rental amount which is reasonable; or
 - 6. Failure to provide normal tenant improvements.
 - b. Undue Hardship. An Applicant requesting an exemption based on undue hardship must show that the application of the criteria creates a situation that is substantially inadequate to meet the Applicant's needs because of specific health and/or safety issues.
3. Decision
- a. If the HAB deems the criteria of this Section are met, the HAB shall issue an order of exemption and send a Certificate of Economic Hardship to the Town within 30 days.
 - b. If the HAB deems the criteria of this Section are not met, the HAB shall deny the exemption request and notify, in writing, the Town and the Applicant within 30 days of such denial. Such denial shall state the reasons for the denial and the procedures for appeal to the Board of Trustees.
 - c. The HAB may issue an order continuing the exemption process for a period of not to exceed 90 days from the date of the application if the HAB would like additional information necessary to make a decision.
 - d. The Applicant may resubmit an amended application, reapply for an exemption that takes into consideration the recommendations of the HAB, or appeal the denial to the Board of Trustees.
 - e. If an application for an exemption is denied, no person may submit a subsequent application within one year for the same from the date of the final action upon the earlier application.
4. Appeal for Denial of Exemption
- a. If an exemption is denied by the HAB the Applicant may appeal the denial to the Board of Trustees by filing a written notice with the Town within 15 days of the date of the receipt of the HAB's denial.
 - b. Notice of the Board of Trustees consideration of the appeal and hearing shall be provided in accordance with Section 4, Subsections 2(a)-(d), except the Town Clerk shall perform the responsibilities of the Secretary.
 - c. The Board of Trustees shall hold a public hearing to consider the appeal, and consider any evidence (including new evidence) it

deems relevant to the application.

- d. The Board of Trustees shall apply the criteria in this Section in making its decision.
- e. The decision of the Board of Trustees shall be final.

Section 6. Maintenance

1. The Board of Trustees intends to preserve from deliberate or inadvertent neglect the exterior portions of Historic Properties or Historic Districts and all interior portions thereof whose Maintenance is necessary to prevent deterioration of any exterior portion. No Owner, lessee, or occupant of any Historic Property or Contributing Property within a Historic District shall fail to prevent significant deterioration of the exterior of the Building, Structure, Object, or special feature beyond the condition of such Historic Property or Contributing Property within a Historic District on the effective date of the designating ordinance.
2. No Owner, lessee, or occupant of any Historic Property or Contributing Property within a Historic District shall fail to comply with all applicable provisions of this ordinance and other ordinances of the Town regulating Maintenance.
3. Before the Town's attorney files a complaint in municipal court for failure to maintain the Historic Property or Contributing Property within a Historic District, the Town shall notify the Owner, lessee or occupant of the need to repair, maintain, or restore such Property; shall assist the Owner, lessee, or occupant in determining how to preserve such Property; and shall give the Owner, lessee, or occupant a reasonable time to perform such work.

Section 7. Unsafe or Dangerous Conditions Exempted

Nothing in this ordinance shall be construed to prevent any measures of Construction, Alteration, removal, or Demolition necessary to correct the unsafe or dangerous condition of any Property, other feature, or parts thereof where such condition is declared unsafe or dangerous by the Town and where the proposed measures have been declared necessary by the Town to correct the condition, as long as only such work that is absolutely necessary to correct the condition is performed. Any temporary measures may be taken without first obtaining a Certificate of Appropriateness under this ordinance, but a certificate is required for permanent Construction, Alteration, removal, or Demolition.

Section 8. Enforcement and Penalties

1. No person shall violate or permit to be violated any of the requirements of this ordinance or the terms of a certificate issued pursuant to this ordinance.
2. Violations of this ordinance are punishable as provided in the Code and may be subject to the following additional penalties:
 - a. If any Historic Property or Property within a Historic District is externally reconstructed, externally Altered, added to, Relocated, or Demolished in violation of this ordinance the HAB may order any such Property to be returned to its condition prior to such unlawful Construction, reconstruction, exterior Alteration, addition, Relocation, or Demolition. This may specifically include ordering the

reconstruction of a property that was Demolished to replicate as closely as possible the original Property.

- b. If any Building, Structure, or Object is erected or Constructed on a Historic Property or Property within a Historic District, the Commission may order any such Building, Structure, or Object to be removed or deconstructed.
- c. Alterations to a Historic Property or Historic District without an approved Certificate of Appropriateness will result in a one-year moratorium on all building permits for the subject Property.
- d. Relocating or Demolishing a Historic Property or Property within a Historic District without an approved Certificate of Appropriateness will result in a five-year moratorium on all relocation, Demolition, or building permits for such Property and/or its original location.

Section 9. Incentives

1. Any Owner of a Historic Property or Contributing Property within a Historic District under this ordinance may be eligible for economic incentives for the restoration or rehabilitation of that Property as provided by the State of Colorado and such additional incentives as may be developed by the HAB or the Board of Trustees.
2. The HAB shall identify and advise the Board of Trustees regarding the implementation of economic incentives for Historic Properties. The HAB shall notify the Owners of Historic Properties of economic incentive opportunities available.
3. The HAB shall make the determination for each request regarding economic incentives.

End of Article XI draft



TOWN OF ELIZABETH

COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission
FROM: Zach Higgins, AICP Planner/Project Manager
DATE: May 03, 2022
SUBJECT: Staff reports

- The Planning Commission membership vacancies will continue to be posted on the Town’s website and Facebook. We will consider additional members as they become available.
- The Board of Trustees held a joint training with the Planning Commission, Main Street Board of Directors, and the Historic Advisory Board on April 26th at 5:00pm.
- The Main Street Streetscape Project’s Kickoff Meeting was held on March 10th, the second public meeting will be held June 30th at Town Hall.
- The Historic Advisory Board had an open survey until April 11th followed by the second public meeting regarding the potential Historic Preservation code update held on April 18th.