



# TOWN OF ELIZABETH

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**TOWN OF ELIZABETH  
BOARD OF TRUSTEES REGULAR MEETING  
Wednesday, April 30, 2025 at 7:00 PM  
Town Hall, 151 S. Banner Street**

Conferencing Access Information: This is viewing-only access.

[Zoom Link](#)

**Join via phone at 1 669 900 9128 Meeting ID: 833 8576 3443**

**Meeting Passcode: 646323**

## **CALL TO ORDER**

## **ROLL CALL**

## **PLEDGE OF ALLEGIANCE**

## **NEW BUSINESS**

- [1.](#) Discussion and possible action on Resolution 25R18, a Resolution authorizing the Mayor to enter into a contract for the construction and completion of the Depot Parking Lot – Patrick Davidson

## **ADJOURNMENT**

# MEETING PROTOCOL AND STANDARDS OF CONDUCT

## Public Participation

Public comment is encouraged and will be listed as an agenda item at every regular Board meeting.

Each individual wishing to be heard during the public comment period will be given up to five (5) minutes to make a comment.

The public comment period will not be used to make political endorsements or for political campaign purposes.

Questions from the Board will be for clarification purposes only. Public comment will not be used as a time for problem solving or reacting to comments made, but rather, for listening to the comments of citizens without taking any formal action.

The Board may direct the Town Administrator to provide information requested by a speaker during the public comment period.

Speakers are not allowed to make belligerent, accusatory, impertinent, slanderous, threatening, abusive, or disparaging comments.

The Mayor may elect to defer public comment on a specific issue that appears on the regular agenda until that specific item is addressed.

The Mayor may call for order when sidebar conversations occur in the audience. Those conversations are distracting from the Board addressing the topics at hand.

Members of the public who do not follow proper conduct after a warning in a public meeting may be barred from further participation at that meeting or removed from the Board Chambers pursuant to the Elizabeth Municipal Code and Colorado Revised Statutes.



# TOWN OF ELIZABETH

MICHAEL DEVOL/PUBLIC WORKS DIRECTOR

TO: Mayor, Mayor Pro-Tem, and Town Board of Trustees  
FROM: Mike DeVol, Town of Elizabeth Public Works Director  
DATE: April 22, 2025  
SUBJECT: BOARD ACTION MEMO FOR BID AWARD FOR DEPOT LOT PARKING

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Madam Mayor, Mayor Pro-Tem, and Board of Trustees,

Public Works and Terracina Engineering received four bids for the Depot Parking lot project on Monday April 14, 2025, at 2p.m. The four bids have been evaluated and found that the bids ranged from lowest \$1,327,423.13 to highest at \$2,277,481.33 with two other bids at \$1,703,325.89 and \$1,591,134.00 for the project. After careful review, evaluation, and reference checks Public Works recommends awarding the bid to RME Ltd., LLC d/b/a Elite Surface Infrastructure for the Bid Price of \$1,327,423.13. The budget for the Depot Parking Lot in Capital and Streets Capital is budgeted for \$1,400,000.00 for 2025. The amount spent to date is \$20,685.85 leaving a balance of \$1,379,314.15 which would leave a contingency of \$51,891.02 savings on the project or for any unforeseen possible change orders.

The Board can proceed with approving the contract with RME Ltd., LLC d/b/a Elite Surface Infrastructure during the May 13, 2025, Board Meeting. This would cause a two (2) week delay in mobilization and construction of The Depot. In the alternative, a Resolution is also presented which allows the Director of Public Works, or his designee to enter the contract. Either method is acceptable, with an understanding of any associated time delays.

Public Works recommends approval for the Bid of \$1,327,423.15 for Elite Surface Constructors, and the Town Administrator recommends a Resolution authorizing the Public Works Director to execute the documents.

Regards,

Mike DeVol  
Town of Elizabeth  
Public Works Director  
303-913-6453  
[mdevol@townofelizabeth.org](mailto:mdevol@townofelizabeth.org)

Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities														
Description	Engineers Quantity (Bid)	Contractors Takeoff (Elite Industries)	Contractors Takeoff (Ironwoman)	Contractors Takeoff (Elite Surface)	Contractors Takeoff (Triple M)	Unit	Unit Price (Elite Industries)	Unit Prices (Ironwoman)	Unit Prices (Elite Surface)	Unit Prices (Triple M)	Contractor Bid (Elite Industries)	Contractor Bid (Iron Woman)	Contractor Bid (Elite Surface)	Contractor Bid (Triple M)
<b>EARTHWORK</b>														
Mobilization	1	1	1	1	1	EA	\$ 21,117.00	\$ 29,671.80	\$ 8,470.00	\$ 5,000.00	\$ 21,117.00	\$ 29,671.80	\$ 8,470.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 1,000.00	\$ 15,212.65	\$ 1,272.00	\$ 500.00	\$ 1,000.00	\$ 15,212.65	\$ 1,272.00	\$ 500.00
Cut to Fill	1,993	2000	1,993	1993	1993	CY	\$ 20.00	\$ 12.95	\$ 21.06	\$ 80.00	\$ 40,000.00	\$ 25,809.35	\$ 41,972.58	\$ 159,440.00
Excess Cut to Haul off Site		0				CY	\$ -	\$ -	\$ -	\$ 110.00	\$ -	\$ -	\$ -	\$ -
Imported Fill Material	3,554	3600	3,554	3554	3554	CY	\$ 95.00	\$ 17.10	\$ 15.02	\$ 58.00	\$ 342,000.00	\$ 60,773.40	\$ 53,381.08	\$ 206,132.00
Fine Grading		6780		1		SY	\$ 3.60	\$ -	\$ 43,470.00	\$ 90.00	\$ 24,408.00	\$ -	\$ 43,470.00	\$ -
Temporary Sediment Basins	1	1	1	1	1	EA	\$ 9,000.00	\$ 1,856.40	\$ 22,710.00	\$ 2,000.00	\$ 9,000.00	\$ 1,856.40	\$ 22,710.00	\$ 2,000.00
Clearing/Grubbing	2	2	2	2	2	AC	\$ 17,424.00	\$ 19,103.99	\$ 17,465.00	\$ 2,500.00	\$ 34,848.00	\$ 38,207.98	\$ 34,930.00	\$ 5,000.00
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)		1100				CY	\$ 20.00		\$ -	\$ 95.00	\$ 22,000.00	\$ -	\$ -	\$ -
<b>PAVING</b>														
Mobilization	1	1	1	1	1	EA	\$ 21,675.00	\$ 11,969.46	\$ 6,825.00	\$ 5,000.00	\$ 21,675.00	\$ 11,969.46	\$ 6,825.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 800.00	\$ 3,803.16	\$ -	\$ 500.00	\$ 800.00	\$ 3,803.16	\$ -	\$ 500.00
Remove Asphalt Pavement	106	106	106	106	106	SY	\$ 27.00	\$ 24.63	\$ 17.00	\$ 40.00	\$ 2,862.00	\$ 2,610.78	\$ 1,802.00	\$ 4,240.00
Saw Cut Existing Asphalt	125	125	125	125	125	LF	\$ 2.00	\$ 6.08	\$ 8.65	\$ 6.00	\$ 250.00	\$ 760.00	\$ 1,081.25	\$ 750.00
After Utility Install - Cut Grade to subgrade design	1,640	1640	1,640	1640	1640	SY	\$ 3.35	\$ 2.47	\$ 3.60	\$ 65.00	\$ 5,494.00	\$ 4,050.80	\$ 5,904.00	\$ 106,600.00
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY		per 1000 CY				CY	\$ 2,000.00	\$ -	\$ -	\$ 70.00	\$ -	\$ -	\$ -	\$ -
Subgrade Prep (rip and re-compact)	6,558	6800	6,558	6558	6558	SY	\$ 4.80	\$ 3.67	\$ 3.55	\$ 35.00	\$ 32,640.00	\$ 24,067.86	\$ 23,280.90	\$ 229,530.00
Local - Asphalt - 5" Thick	4,674	4675	4,674	4674	4674	SY	\$ 41.35	\$ 43.78	\$ 35.62	\$ 90.00	\$ 193,311.25	\$ 204,627.72	\$ 166,487.88	\$ 420,660.00
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558	6800	6,558	6558	6558	SY	\$ 26.45	\$ 17.13	\$ 14.11	\$ 30.00	\$ 179,860.00	\$ 112,338.54	\$ 92,533.38	\$ 196,740.00
Adjust Manholes/Cleanouts	2	2	2	2	2	EA	\$ 650.00	\$ 772.63	\$ 635.25	\$ 1,000.00	\$ 1,300.00	\$ 1,545.26	\$ 1,270.50	\$ 2,000.00
Adjust Valves	4	4	4	4	4	EA	\$ 350.00	\$ 515.09	\$ 381.15	\$ 1,000.00	\$ 1,400.00	\$ 2,060.36	\$ 1,524.60	\$ 4,000.00
Public Signage	13	13	13	13	13	EA	\$ 650.00	\$ 433.36	\$ 352.00	\$ 500.00	\$ 8,450.00	\$ 5,633.68	\$ 4,576.00	\$ 6,500.00
Street Name Signs	1	1	1	1	1	EA	\$ 650.00	\$ 5,633.77	\$ 254.10	\$ 2,000.00	\$ 650.00	\$ 5,633.77	\$ 254.10	\$ 2,000.00
Striping - White Line - 6" Solid	2,736	2750	2,736	2736	2736	LF	\$ 2.00	\$ 0.71	\$ 0.70	\$ 14.00	\$ 5,500.00	\$ 1,942.56	\$ 1,915.20	\$ 38,304.00
Striping - Crosswalk (2' x 8' Bar)	5	5	5	5	5	EA	\$ 730.00	\$ 332.23	\$ 284.60	\$ 250.00	\$ 3,650.00	\$ 1,661.15	\$ 1,423.00	\$ 1,250.00
Striping - Stop Bar	8	8	8	8	8	LF	\$ 96.00	\$ 62.20	\$ 53.40	\$ 40.00	\$ 768.00	\$ 497.60	\$ 427.20	\$ 320.00
Striping - Road Markings	12	12	12	12	12	EA	\$ 350.00	\$ 518.30	\$ 445.00	\$ 1,000.00	\$ 4,200.00	\$ 6,219.60	\$ 5,340.00	\$ 12,000.00
<b>CONCRETE</b>														
Mobilization	1	1	1	1	1	EA	\$ 12,011.00	\$ 12,891.34	\$ 2,510.00	\$ 5,000.00	\$ 12,011.00	\$ 12,891.34	\$ 2,510.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 200.00	\$ 3,803.16	\$ -	\$ 500.00	\$ 200.00	\$ 3,803.16	\$ -	\$ 500.00
Remove Curb & Gutter	50	50	50	50	50	LF	\$ 18.00	\$ 18.30	\$ 15.25	\$ 20.00	\$ 900.00	\$ 915.00	\$ 762.50	\$ 1,000.00
Remove Sidewalk	30	30	30	30	30	SY	\$ 30.00	\$ 30.50	\$ 22.15	\$ 30.00	\$ 900.00	\$ 915.00	\$ 664.50	\$ 900.00
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771	1775	1,771	1771	1771	LF	\$ 42.00	\$ 44.12	\$ 30.59	\$ 48.00	\$ 74,550.00	\$ 78,136.52	\$ 54,174.89	\$ 85,008.00
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922	925	922	922	922	LF	\$ 33.00	\$ 43.51	\$ 26.70	\$ 46.00	\$ 30,525.00	\$ 40,116.22	\$ 24,617.40	\$ 42,412.00
Crossspan	1	1	1	1	1	LS	\$ 9,100.00	\$ 7,282.04	\$ 5,930.00	\$ 10,000.00	\$ 9,100.00	\$ 7,282.04	\$ 5,930.00	\$ 10,000.00
Curb Chase	32	32	32	32	32	LF	\$ 115.00	\$ 29.10	\$ 366.65	\$ 350.00	\$ 3,680.00	\$ 931.20	\$ 11,732.80	\$ 11,200.00
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771	770	771	771	771	LF	\$ 74.00	\$ 314.70	\$ 139.73	\$ 85.00	\$ 56,980.00	\$ 242,633.70	\$ 107,731.83	\$ 65,535.00
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271	275	271	271	271	SY	\$ 22.45	\$ 52.86	\$ 21.10	\$ 90.00	\$ 6,173.75	\$ 14,325.06	\$ 5,718.10	\$ 24,390.00
Handicap Ramps and Respective Landings	9	9	9	9	9	EA	\$ 4,325.00	\$ 6,058.71	\$ 3,140.28	\$ 3,900.00	\$ 38,925.00	\$ 54,528.39	\$ 28,262.52	\$ 35,100.00
Fence (Relocated Smoking Area)	140	141	140	140	140	LF	\$ 40.00	\$ 10.92	\$ 37.00	\$ 500.00	\$ 5,640.00	\$ 1,528.80	\$ 5,180.00	\$ 70,000.00
Concrete (Pad for Bathrooms)	96	96	96	96	96	SY	\$ 135.00	\$ 99.80	\$ 81.15	\$ 100.00	\$ 12,960.00	\$ 9,580.80	\$ 7,790.40	\$ 9,600.00

<b>WATER</b>														
Mobilization, Overhead and General Conditions	1	1	1	1	1	LS	\$ 4,097.00	\$ 3,863.15	\$ 5,610.00	\$ 5,000.00	\$ 4,097.00	\$ 3,863.15	\$ 5,610.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 650.00	\$ 1,267.72	\$ -	\$ 500.00	\$ 650.00	\$ 1,267.72	\$ -	\$ 500.00
Connect to Existing Water Infrastructure	2	2	2	2	2	EA	\$ 8,475.00	\$ 14,878.23	\$ 5,415.00	\$ 7,000.00	\$ 16,950.00	\$ 29,756.46	\$ 10,830.00	\$ 14,000.00
Water Service 2"	3	3	3	3	3	EA	\$ 1,552.00	\$ 2,968.22	\$ 3,540.00	\$ 15,000.00	\$ 4,656.00	\$ 8,904.66	\$ 10,620.00	\$ 45,000.00
PVC Pipe (C900) 2"	86	87	86	86	86	LF	\$ 103.00	\$ 117.50	\$ 115.50	\$ 50.00	\$ 8,961.00	\$ 10,105.00	\$ 9,933.00	\$ 4,300.00
PVC Pipe (C900) 8"	226	236	226	226	226	LF	\$ 80.00	\$ 73.19	\$ 103.77	\$ 120.00	\$ 18,880.00	\$ 16,540.94	\$ 23,452.02	\$ 27,120.00
Bend 2"	2	2	2	2	2	EA	\$ 550.00	\$ 103.39	\$ 634.15	\$ 100.00	\$ 1,100.00	\$ 206.78	\$ 1,268.30	\$ 200.00
Bend 8"		0				EA	\$ -	\$ -	\$ -	\$ 180.00	\$ -	\$ -	\$ -	\$ -
Bend 12"		0				EA	\$ -	\$ -	\$ -	\$ 220.00	\$ -	\$ -	\$ -	\$ -
Valve 2"	1	1	1	1	1	EA	\$ 1,300.00	\$ 234.97	\$ 685.25	\$ 5,000.00	\$ 1,300.00	\$ 234.97	\$ 685.25	\$ 5,000.00
Valve 8"	2	2	2	2	2	EA	\$ 4,300.00	\$ 234.97	\$ 3,675.00	\$ 6,000.00	\$ 8,600.00	\$ 469.94	\$ 7,350.00	\$ 12,000.00
Tee 2"x2"	3	3	3	3	3	EA	\$ 700.00	\$ 234.97	\$ 685.20	\$ 1,000.00	\$ 2,100.00	\$ 704.91	\$ 2,055.60	\$ 3,000.00
Tee 8"x8"	1	1	1	1	1	EA	\$ 1,300.00	\$ 234.97	\$ 1,625.00	\$ 2,000.00	\$ 1,300.00	\$ 234.97	\$ 1,625.00	\$ 2,000.00
Tee 8"x6"	1	1	1	1	1	EA	\$ 1,130.00	\$ 234.97	\$ 1,625.00	\$ 1,800.00	\$ 1,130.00	\$ 234.97	\$ 1,625.00	\$ 1,800.00
Cross 8"x8"		0				EA	\$ -	\$ -	\$ -	\$ 1,800.00	\$ -	\$ -	\$ -	\$ -
2" Plug with Blow-Off	1	1	1	1	1	EA	\$ 3,000.00	\$ 4,038.12	\$ 4,220.00	\$ 1,000.00	\$ 3,000.00	\$ 4,038.12	\$ 4,220.00	\$ 1,000.00
8" Plug with Blow-Off	1	1	1	1	1	EA	\$ 3,225.00	\$ 4,038.12	\$ 4,575.00	\$ 1,500.00	\$ 3,225.00	\$ 4,038.12	\$ 4,575.00	\$ 1,500.00
Blow-off 8"		0				EA	\$ -	\$ -	\$ -	\$ 1,100.00	\$ -	\$ -	\$ -	\$ -
Reducer 8"x6"		0				EA	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -
Air Release Manhole and Vent Pipe		0				EA	\$ -	\$ -	\$ -	\$ 7,000.00	\$ -	\$ -	\$ -	\$ -
8" Blow off assembly		0				EA	\$ -	\$ -	\$ -	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1	1	1	1	1	EA	\$ 11,000.00	\$ 12,256.45	\$ 14,130.00	\$ 15,000.00	\$ 11,000.00	\$ 12,256.45	\$ 14,130.00	\$ 15,000.00
<b>SANITARY SEWER</b>														
Mobilization, Overhead and General Conditions	1	1	1	1	1	LS	\$ 1,130.00	\$ 8,370.16	\$ 5,610.00	\$ 5,000.00	\$ 1,130.00	\$ 8,370.16	\$ 5,610.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 350.00	\$ 4,437.02	\$ -	\$ 500.00	\$ 350.00	\$ 4,437.02	\$ -	\$ 500.00
Connect to Existing Sanitary Main	1	1	1	1	1	EA	\$ 2,500.00	\$ 22,158.29	\$ 3,515.00	\$ 38,000.00	\$ 2,500.00	\$ 22,158.29	\$ 3,515.00	\$ 38,000.00
Sanitary Service 4"		3				EA	\$ 1,500.00	\$ -	\$ -	\$ 10,000.00	\$ 4,500.00	\$ -	\$ -	\$ -
Manhole 4'	1	1	1	1	1	EA	\$ 5,900.00	\$ 5,706.08	\$ 9,780.00	\$ 10,000.00	\$ 5,900.00	\$ 5,706.08	\$ 9,780.00	\$ 10,000.00
Manhole 5'		0				EA	\$ -	\$ -	\$ -	\$ 1,550.00	\$ -	\$ -	\$ -	\$ -
4" Sanitary Clean Out	5	5	5	5	5	EA	\$ 950.00	\$ 1,484.11	\$ 686.75	\$ 1,000.00	\$ 4,750.00	\$ 7,420.55	\$ 3,433.75	\$ 5,000.00
PVC Pipe 6"	303	303	303	303	303	LF	\$ 30.00	\$ 353.51	\$ 181.45	\$ 50.00	\$ 9,090.00	\$ 107,113.53	\$ 54,979.35	\$ 15,150.00
PVC Pipe 8"		0				LF	\$ -	\$ -	\$ -	\$ 80.00	\$ -	\$ -	\$ -	\$ -
<b>STORM SEWER</b>														
Mobilization, Overhead and General Conditions	1	1	1	1	1	LS	\$ 10,396.00	\$ 965.78	\$ 8,920.00	\$ 5,000.00	\$ 10,396.00	\$ 965.78	\$ 8,920.00	\$ 5,000.00
Permits	1	1	1	1	1	LS	\$ 350.00	\$ 4,437.02	\$ -	\$ 500.00	\$ 350.00	\$ 4,437.02	\$ -	\$ 500.00
Connect to Existing Storm		1				EA	\$ 4,500.00	\$ -	\$ -	\$ 10,000.00	\$ 4,500.00	\$ -	\$ -	\$ -
RCP Pipe 15"		0				LF	\$ -	\$ -	\$ -	\$ 130.00	\$ -	\$ -	\$ -	\$ -
RCP Pipe 18"	277	275	277	277	277	LF	\$ 185.00	\$ 115.17	\$ 114.18	\$ 160.00	\$ 50,875.00	\$ 31,902.09	\$ 31,627.86	\$ 44,320.00
RCP Pipe 24"	32	32	32	64	32	LF	\$ 225.00	\$ 448.71	\$ 162.60	\$ 185.00	\$ 7,200.00	\$ 14,358.72	\$ 10,406.40	\$ 5,920.00
RCP Pipe 30"		0				LF	\$ -	\$ -	\$ -	\$ 200.00	\$ -	\$ -	\$ -	\$ -
Manhole 4' Diameter		1				EA	\$ 5,900.00	\$ -	\$ -	\$ 10,000.00	\$ 5,900.00	\$ -	\$ -	\$ -
Manhole 5' Diameter	2	1	2	2	2	EA	\$ 6,500.00	\$ 10,083.68	\$ 8,900.00	\$ 10,000.00	\$ 6,500.00	\$ 20,167.36	\$ 17,800.00	\$ 20,000.00
Manhole 6' Diameter		0				EA	\$ -	\$ -	\$ -	\$ 11,000.00	\$ -	\$ -	\$ -	\$ -
Inlet Type R - 5'		0				EA	\$ -	\$ -	\$ -	\$ 11,000.00	\$ -	\$ -	\$ -	\$ -
Inlet Type R - 10'	1	1	1	1	1	EA	\$ 11,000.00	\$ 12,964.96	\$ 15,600.00	\$ 10,500.00	\$ 11,000.00	\$ 12,964.96	\$ 15,600.00	\$ 10,500.00
Inlet Type R - 15'	1	1	1	1	1	EA	\$ 15,500.00	\$ 14,866.55	\$ 19,370.00	\$ 12,500.00	\$ 15,500.00	\$ 14,866.55	\$ 19,370.00	\$ 12,500.00
Inlet Type C	1	1	1	1	1	EA	\$ 11,500.00	\$ 5,992.50	\$ -	\$ 11,000.00	\$ 11,500.00	\$ 5,992.50	\$ -	\$ 11,000.00
Inlet Type D		0				EA	\$ -	\$ -	\$ -	\$ 11,000.00	\$ -	\$ -	\$ -	\$ -
FES 15"		0				EA	\$ -	\$ -	\$ -	\$ 8,000.00	\$ -	\$ -	\$ -	\$ -
FES 18"	3	3	3	3	3	EA	\$ 3,650.00	\$ 3,158.20	\$ 2,480.00	\$ 11,000.00	\$ 10,950.00	\$ 9,474.60	\$ 7,440.00	\$ 33,000.00
FES 24"		0				EA	\$ -	\$ -	\$ -	\$ 13,000.00	\$ -	\$ -	\$ -	\$ -
FES 30"		0				EA	\$ -	\$ -	\$ -	\$ 14,000.00	\$ -	\$ -	\$ -	\$ -
Forebay (30 SY)	1	1	1	1	1	EA	\$ 21,250.00	\$ 30,916.27	\$ 24,330.00	\$ 15,000.00	\$ 21,250.00	\$ 30,916.27	\$ 24,330.00	\$ 15,000.00
Forebay (70 SY)		0				EA	\$ -	\$ -	\$ -	\$ 18,000.00	\$ -	\$ -	\$ -	\$ -
Outlet Structure	1	1	1	1	1	EA	\$ 23,500.00	\$ 78,746.26	\$ 42,115.00	\$ 9,000.00	\$ 23,500.00	\$ 78,746.26	\$ 42,115.00	\$ 9,000.00
Spillway Cutoff Wall	45	45	45	45	45	LF	\$ 234.00	\$ 1,219.39	\$ 921.58	\$ 90.00	\$ 10,530.00	\$ 54,872.55	\$ 41,471.10	\$ 4,050.00
Concrete Trickle Channel (3' Wide) (6" Thick)	114	115	114	114	114	LF	\$ 95.00	\$ 186.50	\$ 146.15	\$ 200.00	\$ 10,925.00	\$ 21,261.00	\$ 16,661.10	\$ 22,800.00
Riprap (Type VL)		0				SY	\$ -	\$ -	\$ -	\$ 90.00	\$ -	\$ -	\$ -	\$ -
Riprap (Type M)	112	112	112	112	112	SY	\$ 188.00	\$ 398.40	\$ 197.33	\$ 90.00	\$ 21,056.00	\$ 44,620.80	\$ 22,100.96	\$ 10,080.00
Riprap (Type H)		0				SY	\$ -	\$ -	\$ -	\$ 90.00	\$ -	\$ -	\$ -	\$ -

<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>														
Check Dam		0				LF	\$ -	\$ -	\$ -	\$ 100.00	\$ -	\$ -	\$ -	
Compost Blanket		0				SF	\$ -	\$ -	\$ -	\$ 10.00	\$ -	\$ -	\$ -	
Compost Filler Berm		0				LF	\$ -	\$ -	\$ -	\$ 15.00	\$ -	\$ -	\$ -	
Concrete Washout Area	1	1	1	1	1	EA	\$ 2,000.00	\$ 5,415.85	\$ 3,488.00	\$ 2,000.00	\$ 2,000.00	\$ 5,415.85	\$ 3,488.00	\$ 2,000.00
Construction Fence		0				LF	\$ -	\$ -	\$ -	\$ 5.00	\$ -	\$ -	\$ -	\$ -
Construction Markers	878	878	878	878	878	LF	\$ 3.00	\$ 2.58	\$ 0.65	\$ 12.00	\$ 2,634.00	\$ 2,265.24	\$ 570.70	\$ 10,536.00
Dewatering		0				EA	\$ -	\$ -	\$ -	\$ 5,000.00	\$ -	\$ -	\$ -	\$ -
Diversion Ditch		0				LF	\$ -	\$ -	\$ -	\$ 200.00	\$ -	\$ -	\$ -	\$ -
Erosion Control Blanket	394	390	394	394	394	SY	\$ 3.00	\$ 3.10	\$ 3.25	\$ 10.00	\$ 1,170.00	\$ 1,221.40	\$ 1,280.50	\$ 3,940.00
Inlet Protection	40	40	40	40	40	LF	\$ 30.00	\$ 24.47	\$ 31.75	\$ 15.00	\$ 1,200.00	\$ 978.80	\$ 1,270.00	\$ 600.00
Reinforced Check Dam		0				LF	\$ -	\$ -	\$ -	\$ 15.00	\$ -	\$ -	\$ -	\$ -
Reinforced Rock Berm	4	4	4	4	4	LF	\$ 450.00	\$ 130.38	\$ 31.75	\$ 50.00	\$ 1,800.00	\$ 521.52	\$ 127.00	\$ 200.00
RRB for Culvert Protection	31	30	31	31	31	LF	\$ 35.00	\$ 19.32	\$ 38.15	\$ 20.00	\$ 1,050.00	\$ 598.92	\$ 1,182.65	\$ 620.00
Sediment Basin	4	4	4	4	4	AC	\$ 4,140.00	\$ 796.23	\$ 5,676.45	\$ 500.00	\$ 16,560.00	\$ 3,184.92	\$ 22,705.80	\$ 2,000.00
Sediment Control Log	425	426	425	425	425	LF	\$ 4.00	\$ 6.12	\$ 3.50	\$ 6.00	\$ 1,704.00	\$ 2,601.00	\$ 1,487.50	\$ 2,550.00
Sediment Trap		0				EA	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -
Seeding and Mulching	1	1.4	1	1	1	AC	\$ 19,602.00	\$ 2,269.60	\$ 2,290.00	\$ 3,000.00	\$ 27,442.80	\$ 2,269.60	\$ 2,290.00	\$ 3,000.00
Silt Fence	1,252	1250	1,252	1252	1252	LF	\$ 4.00	\$ 1.56	\$ 1.80	\$ 3.00	\$ 5,000.00	\$ 1,953.12	\$ 2,253.60	\$ 3,756.00
Silt Fence (Vertical)		0				LF	\$ 5.00	\$ -	\$ -	\$ 3.00	\$ -	\$ -	\$ -	\$ -
Stabilized Staging Area	553	533	553	553	553	SY	\$ 2.50	\$ 14.17	\$ 10.45	\$ 10.00	\$ 1,332.50	\$ 7,836.01	\$ 5,778.85	\$ 5,530.00
Surface Roughening	2.7	3	2.7	2.7	2.7	AC	\$ 4,400.00	\$ 1,609.64	\$ 127.10	\$ 500.00	\$ 13,200.00	\$ 4,346.03	\$ 343.17	\$ 1,350.00
Temporary Slope Drain		0				LF	\$ -	\$ -	\$ -	\$ 20.00	\$ -	\$ -	\$ -	\$ -
Temporary Stream Crossing		0				EA	\$ -	\$ -	\$ -	\$ 2,500.00	\$ -	\$ -	\$ -	\$ -
Terracing		0					\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -
Vehicle Tracking Control	1	1	1	1	1	EA	\$ 5,000.00	\$ 6,438.59	\$ 7,370.00	\$ 2,000.00	\$ 5,000.00	\$ 6,438.59	\$ 7,370.00	\$ 2,000.00
VTC with Wheel Wash		0				EA	\$ 8,900.00	\$ -	\$ -	\$ 4,000.00	\$ -	\$ -	\$ -	\$ -
Temporary Batch Plant Restoration		0				AC	\$ -	\$ -	\$ -	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -
Other: Curb Sock		0				LF	\$ -	\$ -	\$ -	\$ 50.00	\$ -	\$ -	\$ -	\$ -
<b>Additional Line Items Found on Plan (Elite Industries)</b>														
Site Survey		1				LS	\$ 26,250.00	\$ -	\$ -	\$ -	\$ 26,250.00	\$ -	\$ -	\$ -
Remove Storage Shed		11				EA	\$ 1,260.00	\$ -	\$ -	\$ -	\$ 13,860.00	\$ -	\$ -	\$ -
Remove Storm Culvert		1				EA	\$ 368.00	\$ -	\$ -	\$ -	\$ 368.00	\$ -	\$ -	\$ -
Demo Fence		307				LF	\$ 15.75	\$ -	\$ -	\$ -	\$ 4,835.25	\$ -	\$ -	\$ -
Demo Smoking Area		1				EA	\$ 1,970.00	\$ -	\$ -	\$ -	\$ 1,970.00	\$ -	\$ -	\$ -
Demo FES		3				EA	\$ 315.00	\$ -	\$ -	\$ -	\$ 945.00	\$ -	\$ -	\$ -
Demo CPP		17				LF	\$ 21.00	\$ -	\$ -	\$ -	\$ 357.00	\$ -	\$ -	\$ -
Demo RCP		27				LF	\$ 21.00	\$ -	\$ -	\$ -	\$ 567.00	\$ -	\$ -	\$ -
Demo Trees		4				EA	\$ 788.00	\$ -	\$ -	\$ -	\$ 3,152.00	\$ -	\$ -	\$ -
Demo 701 SY of Trees and Vegetation Near Property Line		1				LS	\$ 23,100.00	\$ -	\$ -	\$ -	\$ 23,100.00	\$ -	\$ -	\$ -
Relocate Water Tank		1				EA	\$ 788.00	\$ -	\$ -	\$ -	\$ 788.00	\$ -	\$ -	\$ -
Relocate Satellite Dish		1				EA	\$ 475.00	\$ -	\$ -	\$ -	\$ 475.00	\$ -	\$ -	\$ -
Relocate Sign		1				EA	\$ 475.00	\$ -	\$ -	\$ -	\$ 475.00	\$ -	\$ -	\$ -
Demo Gravel and Haul Away		1870				SY	\$ 13.45	\$ -	\$ -	\$ -	\$ 25,151.50	\$ -	\$ -	\$ -
Type II Bedding		112				SY	\$ 47.25	\$ -	\$ -	\$ -	\$ 5,292.00	\$ -	\$ -	\$ -
ADA Parking Symbols		5				EA	\$ 370.00	\$ -	\$ -	\$ -	\$ 1,850.00	\$ -	\$ -	\$ -
Mobilization/Overhead for Erosion Control		1				LS	\$ 3,670.00	\$ -	\$ -	\$ -	\$ 3,670.00	\$ -	\$ -	\$ -
<b>Alt Items Per Elite Surface</b>														
Alt 1: Removal of Fence				307		LF			\$ 8.40			\$ 2,578.80	\$ -	
Alt 2: Removal of Trees				10		EA			\$ 1,284.40			\$ 12,844.00	\$ -	
Alt 3: Removal of Gravel				893		SY			\$ 6.55			\$ 5,849.15	\$ -	
Alt 4: Removal of FES				3		EA			\$ 600.00			\$ 1,800.00	\$ -	
Alt 5: Vegetation				701		SY			\$ 3.85			\$ 2,698.85	\$ -	
Alt 6: Vehicle Tracking Control				1		LS			\$ 4,550.00			\$ 4,550.00	\$ -	
Alt 7: Traffic Control Management				1		LS			\$ 12,705.00			\$ 12,705.00	\$ -	
<b>Sub-Total</b>														
											\$ 1,740,028.05	\$ 1,661,781.36	\$ 1,259,213.07	\$ 2,221,933.00
<b>SHPIP Wrap Insurance</b>	1	1	1	1	1	LS	2.5%	2.5%	2.5%	2.5%	\$ 43,500.70	\$ 41,544.53	\$ 25,184.26	\$ 55,548.33
<b>GRAND TOTAL</b>											\$ 1,783,528.75	\$ 1,703,325.89	\$ 1,327,423.13	\$ 2,277,481.33

**NOTES:**

1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.

**202502 – TOWN OF ELIZABETH DEPOT PARKING LOT**

*Town of Elizabeth*

**STATEMENT OF QUALIFICATIONS**



**STATE OF COLORADO**

**ELITE INDUSTRIES, INC.  
535 SOUTH GILBERT STREET  
CASTLE ROCK, CO 80104  
PHONE: 303.722.0700 FAX: 970.224.3906  
[WWW.ELITEINDUSTRIESINC.COM](http://WWW.ELITEINDUSTRIESINC.COM)**

## COMPANY INTRODUCTION

Elite Industries is a locally owned business that has served the Colorado community since 2014, specializing in horizontal construction for the Colorado community. Our clients range from cities, school districts, counties, and private firms. We have successfully carried out all contracts made as we are dedicated to great customer service while bringing quality, experience, and professionalism to every project.

**Contractor:** Elite Industries, Inc.

ICC Certified / Class B General Contractor License #250553161

Irrigation Technician Certifications & HDPE Fusion Certified

Pesticide Applicator Certified

OSHA 10 & 30

### **Main Office**

535 S. Gilbert Street, Castle Rock, CO 80104

Office Phone: 303.722.0700

Fax: 970.224.3906

Website: [www.eliteindustriesinc.com](http://www.eliteindustriesinc.com)

Office Hours: Monday to Friday, 7am – 5pm

### **Additional Locations**

5607 E. 48<sup>th</sup> Avenue, Commerce City, CO 80216

20504 CO Rd 54, Greeley, CO 80631

805 N Mason Street, Fort Collins, CO 80524

### **Lead Point of Contact**

Brad Bensko, President

Email: [brad@eliteindustriesinc.com](mailto:brad@eliteindustriesinc.com)

Cell: 970.980.5581

## KEY MANAGEMENT AND FIELD PERSONNEL

### **Brad B. – President**

*Bachelor's Degree of Science 'Horticulture and Landscape Design'*

17 years of industry experience & Lead Designer

### **Chris K. – Lead Estimator**

12 years of industry experience

### **Marshall P. – Chief Operations Officer**

15 years of industry experience

### **Mario M. – VP of Operations**

17 years of industry experience

### **Chris R. – Sr. Project Manager**

15 years of industry experience

### **Patrick L. – Project Manager**

8 years of industry experience

### **Josh T. – Sr. Construction Superintendent**

13 years of industry experience

### **Bob F. – Construction Superintendent**

28 years of industry experience

### **Jeremiah G. – Lead Civil Foreman**

8 years of industry experience

### **Jorge G. – Lead Landscape Foreman**

6 years of industry experience

### **Tomas L. – Lead Equipment Operator**

6 years of industry experience

## OFFICE PERSONNEL

### **Larissa G. – Office Manager**

larissa@eliteindustriesinc.com

### **Rebecca W. – AR/AP Manager**

info@eliteindustriesinc.com

## EXPERIENCE AND CAPABILITIES

### **Squires Park – City of Westminster**

Present: 15 Acre Park Renovation. Demo existing baseball field and backstop, existing playground, 19,340 sq. ft. of concrete, and landscaping. Install new 2-5 and 5-12 playground equipment, zip line, embankment slide, and sandblasted animal boulders. Clear and grub 92,308 sq ft of topsoil, 36,200 sq. ft. of new ADA compliant 6” concrete flatwork, 315 tons of boulder walls, 70,561 sq. ft. of native seeding, 21,141 sq. ft. of dog tuff plugs, plant material, and other misc. landscaping items.

Current Contract Amount: \$2,008,000      Anticipated Completion: July 2025 – 50% complete

*Contact: Karley Olson, Sr. Project Manager - Anser Advisory*

*P: 303.918.0317      E: Karley.Olson@anseradvisory.com*

### **Bates & Logan Phases I, II & III – City of Englewood**

Present: 6 Acre Park Renovation. Install new CXT restroom facility, renovated utility hook ups, 2 – ICON park shelters, 25,000 sq. ft. of concrete flatwork, post tension basketball court, seating walls, drainage improvements, renovate entire irrigation system, electrical upgrades, new 2-5 and 5-12 play equipment, bike skills course, site furnishings, and misc. landscape items.

Current Contract Amount: \$3,101,000      Anticipated Completion: June 2025 – 63% complete

*Contact: Tim Holt, Parks Supervisor*

*P: 720.636.4736      E: tholt@englewoodco.gov*

### **Cherry Meadows Park – City of Brighton**

Present: 5 Acre New Park Construction. Clear and Grub 81,750 sq. ft. of native soil, strip and stockpile 3,090 CY of topsoil, and export 3,220 CY of excess material. Install 14,730 sq. ft of ADA compliant 6” concrete sidewalks, new 2” water tap, 2” water meter w/ vault, and 155 liner feet of 8” SDR 35 storm water pipe. New 2-5 and 5-12 playground, shade shelters, site furnishings, new irrigation system, and misc. landscape items.

Current Contract Amount: \$2,242,000      Anticipated Completion: June 2025 – 74% complete

*Contact: Kyle Sylvester, Assistant Director of Parks and Open Space*

*P: 303.655.2089      E: ksylvester@brightonco.gov*

### **Monaco Park – City of Commerce City**

Fall 2024: 9 Acre Park Renovation. Demo existing play equipment, concrete, and landscaping. Install 45,000 sq. ft. of ADA compliant 6” concrete flatwork and sidewalks, new 10,000 sq. ft. asphalt parking lot including new curb and gutter, new utility connections (sewer, water, and electrical) for CXT restroom facility, 3 – ICON picnic shelters, new post tension basketball court, renovate entire irrigation system, new 2-5 and 5-12 play equipment, site furnishings, new outdoor work-out center, and misc. landscape items.

Completed Contract Amount: \$2,669,000

Contact: Tony Jaramillo, Parks Capital Project Manager

P: 303.944.9112 E: tjaramillo@c3gov.com

### **Misc. Parks - Hyland Hills Metro District**

Summer 2022: 11 Acre Bell Roth Park Irrigation Renovation: Tie into 8” HDPE pump station to allow for 400 GPM flow allowing entire park to get ½”-1” of water during a 4-hour watering window. Materials included Toro Sentinel controller, 6” B0ermad master valve, 6” flow sensor, 37 brass electric control valves, 250 stainless steel Rainbird rotors.

Completed Contract Amount: \$589,000

Winter 2024: 17 Acre Clear Creek Valley Park Renovation. Install 3 ICON shelters with electrical and stone masonry, 17,530 sq. ft. of concrete flatwork and sidewalks, 18” RCP drainage improvements, electrical pathway and parking lot upgrades, irrigation renovation, and misc. landscape items.

Completed Contract Amount: \$641,830

Contact: Steve Heger, Sr. Project Operations Manager

P: 303.489.8051 E: sheger@hylandhills.org

## **FINANCIAL REFERENCES**

### **Bank of Colorado**

Ryan Gloden, Branch Manager

P: 970.223.8200 E: ryan.gloden@bankofcolorado.com

### **RLI Insurance Company**

Evergreen Surety (bonding agent) - Tom Patton, President

P: 303.520.0249 E: tpatton@evergreensurety.com

**PROPOSED MAJOR EQUIPMENT**

2023 Kubota SVL75 Tracked Skid Loader	
2021 Toro Dingo TX525 with attachments	2019 John Deere 524L Wheel Loader
2019 Toro Dingo TX1000 with attachments	2025 John Deere 644 G-Tier Wheel Loader
2025 KX040-4R3A Excavator	2014 John Deere 772G 6WD Motor Grader
2024 Kubota Stand-on Compact Loader	Standard Construction Fencing
2018 Ditch Witch RT45 Trencher	2023 Plate Compactor
2023 Kubota KX057 Mini Excavator E26	2022 Hamm 54" Padfoot Roller
2024 Kubota KX080-5R3A Excavator	Dump Trucks
2021 FINN T75 Hydro seeder	1,000 Gallon Water Trailer
2022 Bomag Trench Roller	Misc. Hand Tools

**PROPOSED SUBCONTRACTORS**

Colorado Asphalt Services, Inc.	Item: Asphalt (12% of project total)
Gray Matter Construction LLC	Item: Concrete (14% of project total)
Kolbe Striping	Item: Striping (less than 1% of project total)
R. W. Bayer & Associates	Item: Surveying (less than 2% of project total)

**PROPOSED MATERIAL SUPPLIERS**

Ferguson Ent	Core & Main
Rio Grande	CPS Distributors
Ewing Landscape Supply	DBC Irrigation Supply
Site One Landscape Supply	Old Castle Precast



**SECTION 00300**

**BID FORM**

PROJECT IDENTIFICATION: TOWN OF ELIZABETH  
2025 Mian Street Depot Parking Lot

CONTRACT IDENTIFICATION NUMBER:

THIS BID IS SUBMITTED TO: Town of Elizabeth  
151 S. Banner St.  
Elizabeth, CO 80107

THE UNDERSIGNED BIDDER, having familiarized itself with the work required by the Contract Documents, the Site where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having satisfied itself of the expense and difficulties attending performance of the Work.

HEREBY PROPOSES and agrees, if this Bid is accepted, to enter into Agreement in the form attached, to perform all work, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Agreement and the furnishing of materials and equipment required to be incorporated in and form a permanent part of the Work, tools, equipment, supplies, transportation, facilities, labor, superintendence and services required to perform the Work; and Bond, insurance and submittals; all as indicated or specified in the Contract Documents to be performed or furnished by Contractor in accordance with the following Bid prices (Contractor must submit on Base Bid and Bid Alternates, if any, to be considered).

A. The undersigned Bidder agrees to furnish the required Bonds, certificates of insurance on ACORD Form 27, and copies of applicable insurance policies and enter into Agreement within TEN (10) days after acceptance of this Bid, and further agrees to complete all work covered by the Bid, in accordance with specified requirements and in accordance with the following schedule:

- i. Notice of Award: April 15, 2025
- ii. Substantial Completion: June 5, 2025
- iii. Final Completion: September 1, 2025

B. LIQUIDATED DAMAGES. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed within the time specified above, plus any extensions thereof allowed in accordance with the General Conditions. They also recognize the delays, expense and difficulties involved in proving, in a legal or arbitration proceeding, the actual loss suffered by the Owner if the Work is not substantially complete on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner Seven Hundred Fifty Dollars (\$750) for each day past substantial completion.

C. BID SECURITY. Enclosed herewith is the required Bid Security, in the form of Cashier's Check Bid Bond (strike one), in the amount of 51. Dollars (\$ \_\_\_\_\_) which the undersigned Bidder agrees is to be forfeited to and become the property of owner, as liquidated damages, in connection with the Bid Security, should this Bid be accepted and Bidder fails to enter into Agreement in the form prescribed and to furnish the required Bonds within ten (10) days, or should Bidder fail to enter such agreement and give such bond or bonds, if Bidder fails to pay to owner the difference between the amount specified in this Bid and such larger amount for which owner may in good faith contract with another party to perform the Work covered by this Bid, but otherwise the Bid Security will be returned upon Bidder signing the Agreement and delivering the Performance Bond, Labor and Materials Payment Bond certificates of insurance on ACORD Form 27 and copies of applicable insurance policies.

D. BID REJECTION. In submitting this Bid it is understood that Owner reserves the right to reject any and all Bids, to waive any informality, technicality or irregularity in any Bid, to disregard all non-conforming, non-responsive, conditional or alternate Bids, to negotiate contract terms with the Successful Bidder, to require statements or evidence of Bidder's qualifications, including financial statements, and to accept the proposal that in the opinion of the Owner is in its best interest. It is understood that this Bid may not be withdrawn during a period of sixty (60) days after the scheduled time for the receipt of Bids.

E. BID IS GENUINE. The undersigned Bidder hereby certifies (a) that this Bid is genuine and is not made in the interest of, or in the behalf of, any undisclosed person, firm, or corporation, and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation; (b) that Bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham Bid; (c) that Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and (d) that Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over the Owner.

F. EQUIPMENT RENTAL Attached herewith is a copy of Bidder's equipment rental rate schedule and a copy of rate schedules related to protection of work during winter working conditions.

G. INTERESTED PARTIES. The full names and addresses of parties interested in this Bid as principals are as follows:

- a. ELITE INDUSTRIES, INC. - BRAD BENSKO, PRESIDENT
- b. 535 S GILBERT STREET, CASTLE ROCK, CO 80104
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

- H. In submitting this Bid. BIDDER represents, as more fully set forth in the Agreement, that BIDDER has examined copies of all the Bidding Documents.
- I. BIDDER will complete the work, as defined by OWNER to include all phases and schedules, for the following prices (attach additional sheets if necessary):
- J. BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.
- K. The following documents are attached to and made a condition of this Bid:
  - a. Required Bid Security
  - b. A tabulation of Subcontractors, suppliers and other persons and organizations required to be identified in this Bid
  - c. Required Bidders Qualification Statement with supporting data

SUBMITTED ON APRIL 14, 2025

If BIDDER is:

An Individual

By NIA  
(SEAL)

-  
(Individual's Name)

doing business as -

Business address:  
-  
-  
-

Phone No.: -

A Partnership

By NIA  
(SEAL)

-  
(Firm Name)

-  
(General Partner)

Business address:

-  
-  
-

Phone No.: -

A Corporation


ELITE INDUSTRIES, INC.  
(Corporation Name)

COLORADO  
(State of Incorporation)

By BRAD BENSKO   
(SEAL)

PRESIDENT  
(Title)

(Corporate Seal)

Attest: VARISSA GARCIA   
(Secretary)

Business address:

535 S GILBERT STREET, CASTLE ROCK, CO 80104

\_\_\_\_\_

\_\_\_\_\_

Phone No.: 303.722.0700

A Joint Venture

By N/A  
(Name)

-  
(Address)

By -  
(Name)

-  
(Address)

(Each joint venture must sign. The manner of signing for each individual, partnership and corporation that is a party to the joint venture should be in the manner indicated above.)

**END OF SECTION**

**Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities**

Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b><u>EARTHWORK</u></b>					
Mobilization	1	1	EA	\$ 21,117.00	\$ 21,117.00
Permits	1	1	LS	\$ 1,000.00	\$ 1,000.00
Cut to Fill	1,993	2,000	CY	\$ 20.00	\$ 39,860.00
Excess Cut to Haul off Site		0	CY	\$ -	\$ -
Imported Fill Material	3,554	3600	CY	\$ 95.00	\$ 337,630.00
Fine Grading		6780	SY	\$ 3.60	\$ -
Temporary Sediment Basins	1	1	EA	\$ 9,000.00	\$ 9,000.00
Clearing/Grubbing	2	2	AC	\$ 17,424.00	\$ 34,848.00
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)		1100	CY	\$ 20.00	\$ -
<b><u>PAVING</u></b>					
Mobilization	1	1	EA	\$ 21,675.00	\$ 21,675.00
Permits	1	1	LS	\$ 800.00	\$ 800.00
Remove Asphalt Pavement	106	106	SY	\$ 27.00	\$ 2,862.00
Saw Cut Existing Asphalt	125	125	LF	\$ 2.00	\$ 250.00
After Utility Install - Cut Grade to subgrade design	1,640	1640	SY	\$ 3.35	\$ 5,494.00
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY		per 1000 CY	CY	\$ 2,000.00	\$ -
Subgrade Prep (rip and re-compact)	6,558	6800	SY	\$ 4.80	\$ 31,478.40
Local - Asphalt - 5" Thick	4,674	4675	SY	\$ 41.35	\$ 193,269.90
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558	6800	SY	\$ 26.45	\$ 173,459.10
Adjust Manholes/Cleanouts	2	2	EA	\$ 650.00	\$ 1,300.00
Adjust Valves	4	4	EA	\$ 350.00	\$ 1,400.00
Public Signage	13	13	EA	\$ 650.00	\$ 8,450.00
Street Name Signs	1	1	EA	\$ 650.00	\$ 650.00
Striping - White Line - 6" Solid	2,736	2750	LF	\$ 2.00	\$ 5,472.00
Striping - Crosswalk (2' x 8' Bar)	5	5	EA	\$ 730.00	\$ 3,650.00
Striping - Stop Bar	8	8	LF	\$ 96.00	\$ 768.00
Striping - Road Markings	12	12	EA	\$ 350.00	\$ 4,200.00
<b><u>CONCRETE</u></b>					
Mobilization	1	1	EA	\$ 12,011.00	\$ 12,011.00
Permits	1	1	LS	\$ 200.00	\$ 200.00
Remove Curb & Gutter	50	50	LF	\$ 18.00	\$ 900.00
Remove Sidewalk	30	30	SY	\$ 30.00	\$ 900.00
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771	1775	LF	\$ 42.00	\$ 74,382.00
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922	925	LF	\$ 33.00	\$ 30,426.00
Crosspan	1	1	LS	\$ 9,100.00	\$ 9,100.00
Curb Chase	32	32	LF	\$ 115.00	\$ 3,680.00
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade)	771	770	LF	\$ 74.00	\$ 57,054.00
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271	275	SY	\$ 22.45	\$ 6,083.95
Handicap Ramps and Respective Landings	9	9	EA	\$ 4,325.00	\$ 38,925.00

Fence (Relocated Smoking Area)	140	141	LF	\$ 40.00	\$ 5,600.00
Concrete (Pad for Bathrooms)	96	96	SY	\$ 135.00	\$ 12,960.00
<b>WATER</b>					
Mobilization, Overhead and General Conditions	1	1	LS	\$ 4,097.00	\$ 4,097.00
Permits	1	1	LS	\$ 650.00	\$ 650.00
Connect to Existing Water Infrastructure	2	2	EA	\$ 8,475.00	\$ 16,950.00
Water Service 2"	3	3	EA	\$ 1,552.00	\$ 4,656.00
PVC Pipe (C900) 2"	86	87	LF	\$ 103.00	\$ 8,858.00
PVC Pipe (C900) 8"	226	236	LF	\$ 80.00	\$ 18,080.00
Bend 2"	2	2	EA	\$ 550.00	\$ 1,100.00
Bend 8"		0	EA	\$ -	\$ -
Bend 12"		0	EA	\$ -	\$ -
Valve 2"	1	1	EA	\$ 1,300.00	\$ 1,300.00
Valve 8"	2	2	EA	\$ 4,300.00	\$ 8,600.00
Tee 2"x2"	3	3	EA	\$ 700.00	\$ 2,100.00
Tee 8"x8"	1	1	EA	\$ 1,300.00	\$ 1,300.00
Tee 8"x6"	1	1	EA	\$ 1,130.00	\$ 1,130.00
Cross 8"x8"		0	EA	\$ -	\$ -
2" Plug with Blow-Off	1	1	EA	\$ 3,000.00	\$ 3,000.00
8" Plug with Blow-Off	1	1	EA	\$ 3,225.00	\$ 3,225.00
Blow-off 8"		0	EA	\$ -	\$ -
Reducer 8"x6"		0	EA	\$ -	\$ -
Air Release Manhole and Vent Pipe		0	EA	\$ -	\$ -
8" Blow off assembly		0	EA	\$ -	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1	1	EA	\$ 11,000.00	\$ 11,000.00
<b>SANITARY SEWER</b>					
Mobilization, Overhead and General Conditions	1	1	LS	\$ 1,130.00	\$ 1,130.00
Permits	1	1	LS	\$ 350.00	\$ 350.00
Connect to Existing Sanitary Main	1	1	EA	\$ 2,500.00	\$ 2,500.00
Sanitary Service 4"		3	EA	\$ 1,500.00	\$ -
Manhole 4'	1	1	EA	\$ 5,900.00	\$ 5,900.00
Manhole 5'		0	EA	\$ -	\$ -
4" Sanitary Clean Out	5	5	EA	\$ 950.00	\$ 4,750.00
PVC Pipe 6"	303	303	LF	\$ 30.00	\$ 9,090.00
PVC Pipe 8"		0	LF	\$ -	\$ -
<b>STORM SEWER</b>					
Mobilization, Overhead and General Conditions	1	1	LS	\$ 10,396.00	\$ 10,396.00
Permits	1	1	LS	\$ 350.00	\$ 350.00
Connect to Existing Storm		1	EA	\$ 4,500.00	\$ -
RCP Pipe 15"		0	LF	\$ -	\$ -
RCP Pipe 18"	277	275	LF	\$ 185.00	\$ 51,245.00
RCP Pipe 24"	32	32	LF	\$ 225.00	\$ 7,200.00
RCP Pipe 30"		0	LF	\$ -	\$ -
Manhole 4' Diameter		1	EA	\$ 5,900.00	\$ -
Manhole 5' Diameter	2	1	EA	\$ 6,500.00	\$ 13,000.00
Manhole 6' Diameter		0	EA	\$ -	\$ -
Inlet Type R - 5'		0	EA	\$ -	\$ -
Inlet Type R - 10'	1	1	EA	\$ 11,000.00	\$ 11,000.00
Inlet Type R - 15'	1	1	EA	\$ 15,500.00	\$ 15,500.00

Inlet Type C	1	1	EA	\$ 11,500.00	\$ 11,500.00
Inlet Type D		0	EA	\$ -	\$ -
FES 15"		0	EA	\$ -	\$ -
FES 18"	3	3	EA	\$ 3,650.00	\$ 10,950.00
FES 24"		0	EA	\$ -	\$ -
FES 30"		0	EA	\$ -	\$ -
Forebay (30 SY)	1	1	EA	\$ 21,250.00	\$ 21,250.00
Forebay (70 SY)		0	EA	\$ -	\$ -
Outlet Structure	1	1	EA	\$ 23,500.00	\$ 23,500.00
Spillway Cutoff Wall	45	45	LF	\$ 234.00	\$ 10,530.00
Concrete Trickle Channel (3' Wide) (6" Thick)	114	115	LF	\$ 95.00	\$ 10,830.00
Riprap (Type VL)		0	SY	\$ -	\$ -
Riprap (Type M)	112	112	SY	\$ 188.00	\$ 21,056.00
Riprap (Type H)		0	SY	\$ -	\$ -
<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam		0	LF	\$ -	\$ -
Compost Blanket		0	SF	\$ -	\$ -
Compost Filler Berm		0	LF	\$ -	\$ -
Concrete Washout Area	1	1	EA	\$ 2,000.00	\$ 2,000.00
Construction Fence		0	LF	\$ -	\$ -
Construction Markers	878	878	LF	\$ 3.00	\$ 2,634.00
Dewatering		0	EA	\$ -	\$ -
Diversion Ditch		0	LF	\$ -	\$ -
Erosion Control Blanket	394	390	SY	\$ 9.00	\$ 3,546.00
Inlet Protection	40	40	LF	\$ 30.00	\$ 1,200.00
Reinforced Check Dam		0	LF	\$ -	\$ -
Reinforced Rock Berm	4	4	LF	\$ 450.00	\$ 1,800.00
RRB for Culvert Protection	31	30	LF	\$ 35.00	\$ 1,085.00
Sediment Basin	4	4	AC	\$ 4,140.00	\$ 16,560.00
Sediment Control Log	425	426	LF	\$ 4.00	\$ 1,700.00
Sediment Trap		0	EA	\$ -	\$ -
Seeding and Mulching	1	1.4	AC	\$ 19,602.00	\$ 19,602.00
Silt Fence	1,252	1250	LF	\$ 4.00	\$ 5,008.00
Silt Fence (Vertical)		0	LF	\$ 5.00	\$ -
Stabilized Staging Area	553	553	SY	\$ 2.50	\$ 1,382.50
Surface Roughening	2.7	3	AC	\$ 4,400.00	\$ 11,880.00
Temporary Slope Drain		0	LF	\$ -	\$ -
Temporary Stream Crossing		0	EA	\$ -	\$ -
Terracing		0		\$ -	\$ -
Vehicle Tracking Control	1	1	EA	\$ 5,000.00	\$ 5,000.00
VTC with Wheel Wash		0	EA	\$ 8,900.00	\$ -
Temporary Batch Plant Restoration		0	AC	\$ -	\$ -
Other: Curb Sock		0	LF	\$ -	\$ -
<b>Sub-Total</b>					\$ 1,552,325.85
<b>SHPIP Wrap Insurance</b>	1	1	LS	2.5%	\$ 38,808.15
<b>GRAND TOTAL</b>					\$ 1,591,134.00

NOTES:

1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.

**Credit Per CY Per NOTE 1**

Credit for using material provided by Town per NOTE 1 (Mat. & Hauling by Town)		1	CY	\$ (55.00)	\$ (55.00)
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**Additional Line Items Found on Plan - Alternative Line Items per NOTE 5.**

Site Survey		1	LS	\$ 26,250.00	\$ 26,250.00
Remove Storage Sheds		11	EA	\$ 1,260.00	\$ 13,860.00
Remove Storm Culvert		1	EA	\$ 368.00	\$ 368.00
Demo Fence		307	LF	\$ 15.75	\$ 4,835.25
Demo Smoking Area		1	EA	\$ 1,970.00	\$ 1,970.00
Demo FES		3	EA	\$ 315.00	\$ 945.00
Demo CPP		17	LF	\$ 21.00	\$ 357.00
Demo RCP		27	LF	\$ 21.00	\$ 567.00
Demo Trees		4	EA	\$ 788.00	\$ 3,152.00
Demo 701 SY of Trees and Vegetation Near Property Line		1	LS	\$ 23,100.00	\$ 23,100.00
Relocate Water Tank		1	EA	\$ 788.00	\$ 788.00
Relocate Satellite Dish		1	EA	\$ 475.00	\$ 475.00
Relocate Sign		1	EA	\$ 475.00	\$ 475.00
Demo Gravel and Haul Away		1870	SY	\$ 13.45	\$ 25,151.50
Type II Bedding		112	SY	\$ 47.25	\$ 5,292.00
ADA Parking Symbols		5	EA	\$ 370.00	\$ 1,850.00
Mobilization/Overhead for Erosion Control		1	LS	\$ 3,670.00	\$ 3,670.00

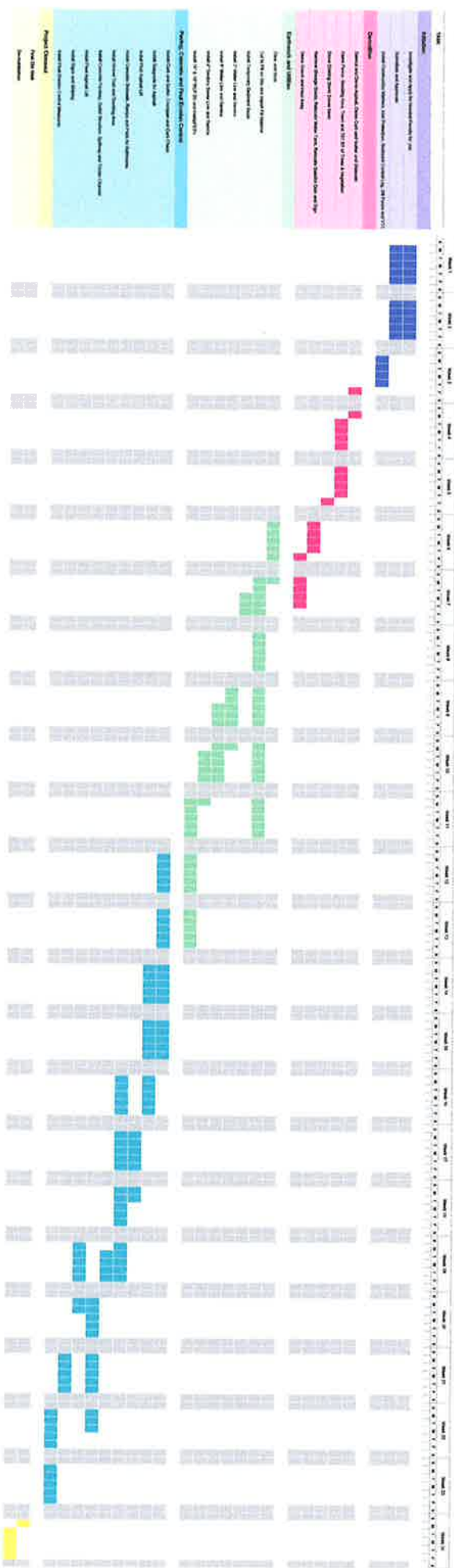
# Main Street Depot Parking Lot

Sheet Project Manager: Chris Becker

Location: Beacon

Project Name:

Expanding Notice To Proceed



SECTION 00410

BID BOND

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, Elite Industries, Inc., of the City of Castle Rock, County of Douglas, and State of Colorado (hereinafter called "Principal") as Principal and RLI Insurance Company (hereinafter called "Surety") as surety, a corporation organized and existing under and by virtue of the laws of the State of Illinois and authorized to do business within the state of Colorado and to act as surety on bonds for principals, are held and firmly bound unto Town of Elizabeth (hereinafter called "Owner") as obligee, in the sum of Ten Percent of Amount Bid and No/100 Dollars Dollars (\$ 10% of Amount Bid ) in lawful money of the United States, for the payment of which sum, well and truly to be made, the Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted a Bid Form (Proposal) to enter into a certain written agreement with Owner for Construction of PROJECT, hereinafter referred to as "Agreement".

NOW, THEREFORE, the condition of this obligation is such that if (1) Owner shall accept the Bid Form (Proposal) of the Principal and Principal shall faithfully enter into Agreement with the Owner in accordance with the terms of such Bid and give such Bonds as are specified in the Bidding or Contract Documents, or (2) in the event of the failure of Principal to enter such Agreement and give such Bond or Bonds, if Principal shall pay to Owner the difference not to exceed the sum hereof between the amount specified in said Bid and such larger amount for which Owner may in good faith contract with another party to perform the work covered by said Bid, then (3) this obligation shall be null and void, otherwise to remain in full force and effect. The sum of this Bid Bond is not less than 10% of the Principal's Bid.

The sum of this Bid Bond is Ten Percent of Amount Bid and No/100 Dollars (10% of Amount Bid), and subject to the conditions stated above, shall be forfeited to Owner in its entirety upon failure of Principal to perform as contemplated in clause (1) or (2) herein.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its Bond shall be in no way impaired or affected by any extension of the time within which the Owner may accept such Bid; and said Surety does hereby waive notice of any such extension.

Signed and sealed this 14th day of April, 2025.


PRINCIPAL: Elite Industries, Inc.

By:   
BRAD BENSLD, PRESIDENT

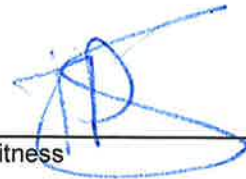
Address: 535 S. Gilbert Street  
Castle Rock, CO 80104

Witness 

SURETY: RLI Insurance Company

By:   
Megan L. Burns, Attorney-in-Fact

Address: 9025 N. Lindbergh Drive  
Peoria, IL 61615

Witness 

Surety's No. 309-692-1000

**END OF SECTION**

# POWER OF ATTORNEY

## RLI Insurance Company Contractors Bonding and Insurance Company

9025 N. Lindbergh Dr. Peoria, IL 61615  
Phone: 800-645-2402

### Know All Men by These Presents:

That this Power of Attorney is not valid or in effect unless attached to the bond which it authorizes executed, but may be detached by the approving officer if desired.

That **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, each an Illinois corporation, (separately and together, the "Company") do hereby make, constitute and appoint:

Thomas W. Patton, Megan L. Burns, jointly or severally

in the City of Centennial, State of Colorado its true and lawful Agent(s) and Attorney(s) in Fact, with full power and authority hereby conferred, to sign, execute, acknowledge and deliver for and on its behalf as Surety, in general, any and all bonds and undertakings in an amount not to exceed Twenty Five Million Dollars (\$25,000,000.00) for any single obligation.

The acknowledgment and execution of such bond by the said Attorney in Fact shall be as binding upon the Company as if such bond had been executed and acknowledged by the regularly elected officers of the Company.

**RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, as applicable, have each further certified that the following is a true and exact copy of a Resolution adopted by the Board of Directors of each such corporation, and is now in force, to-wit:

"All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or Agents who shall have authority to issue bonds, policies or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

IN WITNESS WHEREOF, the **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, as applicable, have caused these presents to be executed by its respective Vice President with its corporate seal affixed this 4th day of August, 2023.



**RLI Insurance Company**  
**Contractors Bonding and Insurance Company**

By: B. W. Davis  
Barton W. Davis Vice President

State of Illinois }  
County of Peoria } SS

### CERTIFICATE

On this 4th day of August, 2023, before me, a Notary Public, personally appeared Barton W. Davis, who being by me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of the **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company** and acknowledged said instrument to be the voluntary act and deed of said corporation.

I, the undersigned officer of **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company**, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable; and furthermore, that the Resolution of the Company as set forth in the Power of Attorney, is now in force. In testimony whereof, I have hereunto set my hand and the seal of the **RLI Insurance Company** and/or **Contractors Bonding and Insurance Company** this 14th day of April, 2025.

By: Catherine D. Geiger  
Catherine D. Geiger Notary Public

**RLI Insurance Company**  
**Contractors Bonding and Insurance Company**

By: Jeffrey D. Fick  
Jeffrey D. Fick Corporate Secretary



SECTION 00420

BIDDERS QUALIFICATION STATEMENT

The undersigned certifies under oath the truth and correctness of all statements and of all answers to questions made hereinafter.

SUBMITTED TO: TOWN OF ELIZABETH

SUBMITTED BY: NAME: ELITE INDUSTRIES, INC.

ADDRESS: 535 S GILBERT STREET

CASTLE ROCK, CO 80104

PRINCIPAL OFFICE: 535 S GILBERT STREET

CASTLE ROCK, CO 80104

DOING BUSINESS AS: [  ] Corporation [  ] Partnership [  ] Individual [  ] Joint Venture [  ] Other

(NOTE: Attach separate sheets as required)

1. How many years has your organization been in business as a General Contractor?

11 YEARS


2. How many years has your organization been in business under its present business name?

11 YEARS

3. If a Corporation, answer the following:

Date of Incorporation: 01-01-2014

State of Incorporation: COLORADO

President: BRAD BENSKO 

Vice President(s) -

Secretary: -

Treasurer: -

4. If a Partnership, answer the following:

Date of organization NIA

Type of Partnership: -

Name and address of all partners:

-

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5. If other than a Corporation or Partnership, describe Organization and name Principals:

NIA

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6. What percent of the work do you normally perform with your own forces?

70% TO 100%, PROJECT DEPENDENT

List trades:

HORIZONTAL CONSTRUCTION:

LIGHT CIVIL, IRRIGATION + LANDSCAPE CONSTRUCTION

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7. Have you ever failed to complete any work awarded to you? If so, indicate when, where, and why:

NO

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8. Has any Officer or Partner of your Organization ever been an Officer or Partner of another Organization that failed to complete a construction contract?

NO

If Yes, state the circumstances:

N/A

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9. List major construction projects your organization has under contract on this date:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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PLEASE SEE ATTACHED

10. List major construction projects your Organization has completed in the past five years:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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PLEASE SEE ATTACHED

11. List the construction experience of the principal individuals in your Organization:

Individual's Name	Construction Previous Position & Experience-Years	Present Position & Years Experience	Dollar Volume Responsibility	Years
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PLEASE SEE ATTACHED

12. List states and categories in which your Organization is legally qualified to do business:

STATE: COLORADO

CATEGORIES: CLASS B GENERAL CONTRACTOR LICENSE

IRRIGATION

LANDSCAPE CONSTRUCTION

CIVIL CONSTRUCTION

13. Bank References:

BANK OF COLORADO - RYAN GUDEN - 970-223-8200

14. Trade references:

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15. Name of Bonding and Insurance Companies and Name and Address of Agents:  
Max Bonding Capacity

EVERGREEN SURETY - TOM PATTON - 303.520.0249

RII INSURANCE COMPANY

\$6 MILLION RANGE, \$15 MILLION AGGREGATE CAPACITY

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16. The undersigned agrees to furnish, upon request by the TOWN, within 24 hours after the Bid Opening, a current Statement of Financial Conditions, including Contractor's latest regular dated financial statement or balance sheet which must contain the following items:

Current Assets: (Cash, joint venture accounts, accounts receivable, notes receivable, accrued interest on notes, deposits, and materials and prepaid expenses), net fixed assets and other assets.

Current Liabilities; (Accounts payable, notes payable, accrued interest on notes, provisions for income taxes, advances received from owners, accrued salaries, accrued payroll taxes), other liabilities, and capital (capital stock, authorized and outstanding shares par values, earned surplus).

Date of statement or balance sheet:

12/31/2024 OR CURRENT YEAR TO DATE

Name of firm preparing statement:

CONOVER ASAY / GRAY FOX COLLECTIVE

By: GLEN CONOVER / DIEGO FLORES  
(Agent and Capacity)

17. Dated at 9AM this 14TH day of  
APRIL, 2025

Name of Organization: ELITE INDUSTRIES, INC.

By: BRAD BENSKO 

Title: PRESIDENT

18. NOTARIZATION: State of COLORADO County of  
DOUGLAS


M BRAD BENSKO

Says that he (she) is the PRESIDENT of

ELITE INDUSTRIES, INC.

and that the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn before me this 14TH day of APRIL, 2025

Notary Public 

My commission expires: 01-26-2026

END OF SECTION

LARISSA GARCIA  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20174005108  
MY COMMISSION EXPIRES JAN 26, 2026

SECTION 00430

SUBCONTRACTOR LISTING

The following information is submitted for each subcontractor that will be used in the work if the Bidder is awarded the Agreement. Additional numbered pages shall be attached to this page as required. Each page shall be headed "SUBCONTRACTOR LISTING" and signed. All work to be subcontracted over 25% in labor and/or materials shall be listed.

Amount of Subcontract	Name and Address of Subcontractor	Portion of Work
121.	COLORADO ASPHALT SERVICES INC.	ASPHALT
141.	GRAY MATTER CONSTRUCTION LLC	CONCRETE
711.	KOLBE STRIPING	STRIPING
721.	R.W. BAYER & ASSOCIATES	SURVEYING

Signature 

END OF SECTION



*Town of Elizabeth*

**Addendum Description**

Addendum #1 - To address missing signature sheet on bit bond, provide qty's for CD's, and provide pre-bid signup sheet.

**Notice Modifications**

Notice Information	From Value	To Value
No entries		

**Category Modifications**

Added Categories
No Categories Added

Removed Categories
No Categories Removed

**Added Documents[A]**

Document	Size	Uploaded Date	Language
Elizabeth Specs 07 Bid Bond.pdf [pdf]	43 Kb	03/26/2025 01:06 PM EDT	English
ToE-Main Street Depot Parking PreBidSignIn.pdf [pdf]	202 Kb	03/26/2025 01:06 PM EDT	English
ToE-Main Street Depot Parking Qty.pdf [pdf]	188 Kb	03/26/2025 01:06 PM EDT	English

*Town of Elizabeth*

**Addendum Description**

Questions and Answers

**Notice Modifications**

Notice Information	From Value	To Value
No entries		

**Category Modifications**

**Added Categories**  
No Categories Added

**Removed Categories**  
No Categories Removed

**Added Documents[A]**

Document	Size	Uploaded Date	Language
ToE-Main Street Depot Lot-Question.pdf [pdf]	84 Kb	04/01/2025 10:15 AM EDT	English



March 31, 2025

Main Street Depot Questions:

- There is an electrical post with multiple outlets located in or near the pond footprint, will this be shut off and removed or is it to be protected in place? it is not shown within the plans.
  - Shut off and removed.
- Will the smoking area in fact need to be relocated? And if so can the new location be provided?
  - To be removed.
- Can architectural plans be provided before bid due date to provide detail on bathroom foundation and slab detail?
  - Not at this time, working through bathroom selection. Account for concrete slab at bathroom location.
- Can a detail be provided on the handrail for the stairs or will they be CDOT spec?
  - CDOT spec
- Will Equipment Idle time during the shut down be covered by the city?
  - No, not covered on this project.
- Will tapered edges or thickened edges be required where concrete sidewalk meets the aggregate path?
  - Thickened edges.
- Does the city of Elizabeth currently have any fill material available for use?
  - The Town is working on this but not confirmed. Bid based on providing import.
- Is there a bid tab form or excel spreadsheet available for the bid form with QTY or SOV to bid from?
  - Has been added to BidNET.
- Is there a requirement or specification for import material for fill?
  - CDOT Specification

terraccina design

Landscape Architecture • Planning • Civil Engineering  
10200 E. Girard Avenue, A-314. Denver, CO 80231 ph: 303.632.8867

*Town of Elizabeth*

**Addendum Description**

Updated Quantities

**Notice Modifications**

Notice Information	From Value	To Value
No entries		

**Category Modifications**

**Added Categories**  
No Categories Added

**Removed Categories**  
No Categories Removed

**Added Documents[A]**

Document	Size	Uploaded Date	Language
ToE-Main Street Depot Parking Qty - 2025.04.01.pdf [pdf]	188 Kb	04/01/2025 10:59 AM EDT	English



OFFICE OF THE SECRETARY OF STATE  
OF THE STATE OF COLORADO

**CERTIFICATE OF FACT OF GOOD STANDING**

I, Jena Griswold, as the Secretary of State of the State of Colorado, hereby certify that, according to the records of this office,

ELITE INDUSTRIES, INC

is a

Corporation

formed or registered on 01/01/2014 under the law of Colorado, has complied with all applicable requirements of this office, and is in good standing with this office. This entity has been assigned entity identification number 20131709901 .

This certificate reflects facts established or disclosed by documents delivered to this office on paper through 04/10/2025 that have been posted, and by documents delivered to this office electronically through 04/11/2025 @ 13:14:00 .

I have affixed hereto the Great Seal of the State of Colorado and duly generated, executed, and issued this official certificate at Denver, Colorado on 04/11/2025 @ 13:14:00 in accordance with applicable law. This certificate is assigned Confirmation Number 17195619 .



*Jena Griswold*

Secretary of State of the State of Colorado

\*\*\*\*\*End of Certificate\*\*\*\*\*

Notice: A certificate issued electronically from the Colorado Secretary of State's website is fully and immediately valid and effective. However, as an option, the issuance and validity of a certificate obtained electronically may be established by visiting the Validate a Certificate page of the Secretary of State's website, <https://www.coloradosos.gov/biz/CertificateSearchCriteria.do> entering the certificate's confirmation number displayed on the certificate, and following the instructions displayed. Confirming the issuance of a certificate is merely optional and is not necessary to the valid and effective issuance of a certificate. For more information, visit our website, <https://www.coloradosos.gov> click "Businesses, trademarks, trade names" and select "Frequently Asked Questions."

# Request for Taxpayer Identification Number and Certification

**Give Form to the  
 requester. Do not  
 send to the IRS.**

▶ Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

<b>1</b> Name (as shown on your income tax return). Name is required on this line; do not leave this line blank. <b>Elite Industries, Inc.</b>	
<b>2</b> Business name/disregarded entity name, if different from above	
<b>3</b> Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only <b>one</b> of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input checked="" type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate  <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ _____ <b>Note:</b> Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is <b>not</b> disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.  <input type="checkbox"/> Other (see instructions) ▶ _____	<b>4</b> Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):  Exempt payee code (if any) _____  Exemption from FATCA reporting code (if any) _____  <i>(Applies to accounts maintained outside the U.S.)</i>
<b>5</b> Address (number, street, and apt. or suite no.) See instructions. <b>535 S Gilbert Street</b>	<b>Requester's name and address (optional)</b>
<b>6</b> City, state, and ZIP code <b>Castle Rock, CO 80104</b>	
<b>7</b> List account number(s) here (optional)	

Print or type.  
See Specific Instructions on page 3.

## Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

**Note:** If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

<b>Social security number</b>									
or									
<b>Employer identification number</b>									
4	6	-	4	2	8	3	5	1	6

## Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

<b>Sign Here</b>	Signature of U.S. person ▶	Date ▶ 01.01.2025
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## General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

### Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
  - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
  - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
  - Form 1099-S (proceeds from real estate transactions)
  - Form 1099-K (merchant card and third party network transactions)
  - Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
  - Form 1099-C (canceled debt)
  - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*

**SECTION 00300**

**BID FORM**

PROJECT IDENTIFICATION: TOWN OF ELIZABETH  
2025 Mian Street Depot Parking Lot

CONTRACT IDENTIFICATION NUMBER:

THIS BID IS SUBMITTED TO: Town of Elizabeth  
151 S. Banner St.  
Elizabeth, CO 80107

THE UNDERSIGNED BIDDER, having familiarized itself with the work required by the Contract Documents, the Site where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having satisfied itself of the expense and difficulties attending performance of the Work.

HEREBY PROPOSES and agrees, if this Bid is accepted, to enter into Agreement in the form attached, to perform all work, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Agreement and the furnishing of materials and equipment required to be incorporated in and form a permanent part of the Work, tools, equipment, supplies, transportation, facilities, labor, superintendence and services required to perform the Work; and Bond, insurance and submittals; all as indicated or specified in the Contract Documents to be performed or furnished by Contractor in accordance with the following Bid prices (Contractor must submit on Base Bid and Bid Alternates, if any, to be considered).

- A. The undersigned Bidder agrees to furnish the required Bonds, certificates of insurance on ACORD Form 27, and copies of applicable insurance policies and enter into Agreement within TEN (10) days after acceptance of this Bid, and further agrees to complete all work covered by the Bid, in accordance with specified requirements and in accordance with the following schedule:

- i. Notice of Award: April 15, 2025
- ii. Substantial Completion: June 5, 2025
- iii. Final Completion: September 1, 2025

- B. LIQUIDATED DAMAGES. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed within the time specified above, plus any extensions thereof allowed in accordance with the General Conditions. They also recognize the delays, expense and difficulties involved in proving, in a legal or arbitration proceeding, the actual loss suffered by the Owner if the Work is not substantially complete on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner Seven Hundred Fifty Dollars (\$750) for each day past substantial completion.

See Attached

C. BID SECURITY. Enclosed herewith is the required Bid Security, in the form of Cashier's Check/Bid Bond (strike one), in the amount of \_\_\_\_\_ Dollars (\$ 1090 ) which the undersigned Bidder agrees is to be forfeited to and become the property of owner, as liquidated damages, in connection with the Bid Security, should this Bid be accepted and Bidder fails to enter into Agreement in the form prescribed and to furnish the required Bonds within ten (10) days, or should Bidder fail to enter such agreement and give such bond or bonds, if Bidder fails to pay to owner the difference between the amount specified in this Bid and such larger amount for which owner may in good faith contract with another party to perform the Work covered by this Bid, but otherwise the Bid Security will be returned upon Bidder signing the Agreement and delivering the Performance Bond, Labor and Materials Payment Bond certificates of insurance on ACORD Form 27 and copies of applicable insurance policies.

D. BID REJECTION. In submitting this Bid it is understood that Owner reserves the right to reject any and all Bids, to waive any informality, technicality or irregularity in any Bid, to disregard all non-conforming, non-responsive, conditional or alternate Bids, to negotiate contract terms with the Successful Bidder, to require statements or evidence of Bidder's qualifications, including financial statements, and to accept the proposal that in the opinion of the Owner is in its best interest. It is understood that this Bid may not be withdrawn during a period of sixty (60) days after the scheduled time for the receipt of Bids.

E. BID IS GENUINE. The undersigned Bidder hereby certifies (a) that this Bid is genuine and is not made in the interest of, or in the behalf of, any undisclosed person, firm, or corporation, and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation; (b) that Bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham Bid; (c) that Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and (d) that Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over the Owner.

F. EQUIPMENT RENTAL Attached herewith is a copy of Bidder's equipment rental rate schedule and a copy of rate schedules related to protection of work during winter working conditions.

G. INTERESTED PARTIES. The full names and addresses of parties interested in this Bid as principals are as follows:

- a. QP Services, LLC
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

- H. In submitting this Bid. BIDDER represents, as more fully set forth in the Agreement, that BIDDER has examined copies of all the Bidding Documents.
- I. BIDDER will complete the work, as defined by OWNER to include all phases and schedules, for the following prices (attach additional sheets if necessary):
- J. BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.
- K. The following documents are attached to and made a condition of this Bid:
  - a. Required Bid Security
  - b. A tabulation of Subcontractors, suppliers and other persons and organizations required to be identified in this Bid
  - c. Required Bidders Qualification Statement with supporting data

SUBMITTED ON 2/14, 2025

If BIDDER is:

An Individual

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Individual's Name)

doing business as \_\_\_\_\_

Business address:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Partnership

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Firm Name)

\_\_\_\_\_  
(General Partner)

Business address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Corporation

QP Services  
\_\_\_\_\_  
(Corporation Name)

Colorado  
\_\_\_\_\_  
(State of Incorporation)

By *Scott Boyd*  
\_\_\_\_\_  
(SEAL)

Vice President  
\_\_\_\_\_  
(Title)

(Corporate Seal)

Attest: *[Signature]*  
\_\_\_\_\_  
(Secretary)

Business address:

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Phone No.: \_\_\_\_\_

**A Joint Venture**

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

(Each joint venture must sign. The manner of signing for each individual, partnership and corporation that is a party to the joint venture should be in the manner indicated above.)

**END OF SECTION**

**POWER OF ATTORNEY  
SIRIUSPOINT AMERICA INSURANCE COMPANY  
NEW YORK**

**SURLIT01\_0324**

**KNOW ALL MEN BY THESE PRESENTS:** That SiriusPoint America Insurance Company (the "Company"), a New York corporation, having its principal office in the City of New York, pursuant to the following Resolution, which was adopted on August 27, 2024 by Unanimous Written Consent of the Board of the Directors of the Company, to wit:

**RESOLVED**, that the President, Senior Vice President, Chief Financial Officer, Secretary or the Assistant Secretary is hereby authorized to execute Powers of Attorney appointing as attorneys-in-fact selected employees of certain surety companies who shall have the power for and on behalf of the Company to execute and affix the seal of the Company to surety contracts as co-surety.

Does hereby nominate, constitute and appoint:

Douglas J. Rothery, Wesley J. Butorac, Cynthia M. Burnett, Erik E. Ulibarri, Jason A. McMillan, Kimberly Payton, Zachary J. Rothery

Its true and lawful agent and attorney-in-fact, to make, execute, seal and deliver for and on its behalf, and its act and deed any and all bonds, contracts, agreements of indemnity and other undertakings in suretyship (NOT INCLUDING bonds without a fixed penalty or financial guarantee) and to bind the Company thereby as fully and to the same extent as of same were signed by the duly authorized officers of the Company, provided, however, that the penal sum of any one such instrument executed hereunder shall not exceed the sum of:

\$62,687,000 single bond limit

All acts of said attorneys-in-fact pursuant to the authorities herein given are hereby ratified and confirmed. The President, Senior Vice President, Chief Financial Officer, Secretary or Assistant Secretary may from time to time and at any time remove such appointee and remove the power given to him or her.

The execution of such bonds or undertakings in pursuance of these presents, within one year of the date of these present, shall be binding under said Company, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the Company at its office in New York, New York, in their own proper persons.

**IN WITNESS WHEREOF**, SiriusPoint America Insurance Company has caused its corporate seal to be hereunto affixed and these presents to be signed by its President this tenth day of October, 2024.

SiriusPoint America Insurance Company



  
Paul Mihulka

President

State of New York  
County of New York

On this tenth day of October 2024, before me a Notary Public of the State of New York, in and for the County of New York, duly commissioned and qualified, came Paul Mihulka, President, of SiriusPoint America Insurance Company, to me personally known to be the individual and officer described in, and who executed the preceding instrument, and acknowledged the execution of the same, and being by me duly sworn, deposed and said that he is the officer of the said Company aforesaid, and that the seal affixed to the preceding instrument is the Corporate Seal of said Company, and the said Corporate seal and his signature as officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Company, referred to in the preceding instrument is now in force.

**IN TESTIMONY WHEREOF**, I have hereunto set my hand and affixed my official seal.





Notary Public

My Commission expires Dec. 5, 2026

STATE OF New York  
COUNTY OF New York

I, Paul Mihulka, President of SiriusPoint America Insurance Company, a New York corporation, do hereby certify that the above and foregoing is a full, true and correct copy of Power of Attorney, is still in full force and effect and has not been revoked.

**IN WITNESS WHEREOF**, I have hereunto set my hand, and affixed the Seal of said Company, on the 14th day of April, 2025



  
Paul Mihulka

President

**SECTION 00410**

**BID BOND**

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, QP SERVICES, LLC, of the City of Denver, County of Adams, and State of Colorado (hereinafter called "Principal") as Principal and SIRIUSPOINT AMERICA INSURANCE COMPANY (hereinafter called "Surety") as surety, a corporation organized and existing under and by virtue of the laws of the State of New York and authorized to do business within the state of Colorado and to act as surety on bonds for principals, are held and firmly bound unto Town of Elizabeth (hereinafter called "Owner") as obligee, in the sum of Ten Percent (10%) of the Total Amount of the Bid Dollars (\$) in lawful money of the United States, for the payment of which sum, well and truly to be made, the Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted a Bid Form (Proposal) to enter into a certain written agreement with Owner for Construction of PROJECT, hereinafter referred to as "Agreement".

NOW, THEREFORE, the condition of this obligation is such that if (1) Owner shall accept the Bid Form (Proposal) of the Principal and Principal shall faithfully enter into Agreement with the Owner in accordance with the terms of such Bid and give such Bonds as are specified in the Bidding or Contract Documents, or (2) in the event of the failure of Principal to enter such Agreement and give such Bond or Bonds, if Principal shall pay to Owner the difference not to exceed the sum hereof between the amount specified in said Bid and such larger amount for which Owner may in good faith contract with another party to perform the work covered by said Bid, then (3) this obligation shall be null and void, otherwise to remain in full force and effect. The sum of this Bid Bond is not less than 10% of the Principal's Bid.

The sum of this Bid Bond is Ten Percent (10%) of the Total Amount of the Bid, and subject to the conditions stated above, shall be forfeited to Owner in its entirety upon failure of Principal to perform as contemplated in clause (1) or (2) herein.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its Bond shall be in no way impaired or affected by any extension of the time within which the Owner may accept such Bid; and said Surety does hereby waive notice of any such extension.

**Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities**

Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ 29,671.80	\$ 29,671.80
Permits	1		LS	\$ 15,212.65	\$ 15,212.65
Cut to Fill	1,993		CY	\$ 12.95	\$ 25,809.35
Excess Cut to Haul off Site			CY		\$ -
Imported Fill Material	3,554		CY	\$ 17.10	\$ 60,773.40
Fine Grading			SY		\$ -
Temporary Sediment Basins	1		EA	\$ 1,856.40	\$ 1,856.40
Clearing/Grubbing	2		AC	\$ 19,103.99	\$ 38,207.98
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)			CY		\$ -
					\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ 11,969.46	\$ 11,969.46
Permits	1		LS	\$ 3,803.16	\$ 3,803.16
Remove Asphalt Pavement	106		SY	\$ 24.63	\$ 2,610.78
Saw Cut Existing Asphalt	125		LF	\$ 6.08	\$ 760.00
After Utility Install - Cut Grade to subgrade design	1,640		SY	\$ 2.47	\$ 4,050.80
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY		\$ -
Subgrade Prep (rip and re-compact)	6,558		SY	\$ 3.67	\$ 24,067.86
Local - Asphalt - 5" Thick	4,674		SY	\$ 43.78	\$ 204,627.72
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558		SY	\$ 17.13	\$ 112,338.54
Adjust Manholes/Cleanouts	2		EA	\$ 772.63	\$ 1,545.26
Adjust Valves	4		EA	\$ 515.09	\$ 2,060.36
Public Signage	13		EA	\$ 433.36	\$ 5,633.68
Street Name Signs	1		EA	\$ 5,633.77	\$ 5,633.77
Striping - White Line - 6" Solid	2,736		LF	\$ 0.71	\$ 1,942.56
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ 332.23	\$ 1,661.15
Striping - Stop Bar	8		LF	\$ 62.20	\$ 497.60

Striping - Road Markings	12		EA	\$ 518.30	\$	6,219
<b>CONCRETE</b>					\$	-
Mobilization	1		EA	\$ 12,891.34	\$	12,891.34
Permits	1		LS	\$ 3,803.16	\$	3,803.16
Remove Curb & Gutter	50		LF	\$ 18.30	\$	915.00
Remove Sidewalk	30		SY	\$ 30.50	\$	915.00
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ 44.12	\$	78,136.52
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ 43.51	\$	40,116.22
Crosspan	1		LS	\$ 7,282.04	\$	7,282.04
Curb Chase	32		LF	\$ 29.10	\$	931.20
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ 314.70	\$	242,633.70
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ 52.86	\$	14,325.06
Handicap Ramps and Respective Landings	9		EA	\$ 6,058.71	\$	54,528.39
Fence (Relocated Smoking Area)	140		LF	\$ 10.92	\$	1,528.80
Concrete (Pad for Bathrooms)	96		SY	\$ 99.80	\$	9,580.80
					\$	-
<b>WATER</b>					\$	-
Mobilization, Overhead and General Conditions	1		LS	\$ 3,863.15	\$	3,863.15
Permits	1		LS	\$ 1,267.72	\$	1,267.72
Connect to Existing Water Infrastructure	2		EA	\$ 14,878.23	\$	29,756.46
Water Service 2"	3		EA	\$ 2,968.22	\$	8,904.66
PVC Pipe (C900) 2"	86		LF	\$ 117.50	\$	10,105.00
PVC Pipe (C900) 8"	226		LF	\$ 73.19	\$	16,540.94
Bend 2"	2		EA	\$ 103.39	\$	206.78
Bend 8"			EA		\$	-
Bend 12"			EA		\$	-
Valve 2"	1		EA	\$ 234.97	\$	234.97
Valve 8"	2		EA	\$ 234.97	\$	469.94
Tee 2"x2"	3		EA	\$ 234.97	\$	704.91

Tee 8"x8"	1		EA	\$	234.97	\$	234
Tee 8"x6"	1		EA	\$	234.97	\$	234.97
Cross 8"x8"			EA			\$	-
2" Plug with Blow-Off	1		EA	\$	4,038.12	\$	4,038.12
8" Plug with Blow-Off	1		EA	\$	4,038.12	\$	4,038.12
Blow-off 8"			EA			\$	-
Reducer 8"x6"			EA			\$	-
Air Release Manhole and Vent Pipe			EA			\$	-
8" Blow off assembly			EA			\$	-
Hydrant Assembly (Includes Tee, Valve, & DIP)	1		EA	\$	12,256.45	\$	12,256.45
						\$	-
						\$	-
<b>SANITARY SEWER</b>							
Mobilization, Overhead and General Conditions	1		LS	\$	8,370.16	\$	8,370.16
Permits	1		LS	\$	4,437.02	\$	4,437.02
Connect to Existing Sanitary Main	1		EA	\$	22,158.29	\$	22,158.29
Sanitary Service 4"			EA			\$	-
Manhole 4'	1		EA	\$	5,706.08	\$	5,706.08
Manhole 5'			EA			\$	-
4" Sanitary Clean Out	5		EA	\$	1,484.11	\$	7,420.55
PVC Pipe 6"	303		LF	\$	353.51	\$	107,113.53
PVC Pipe 8"			LF			\$	-
						\$	-
						\$	-
<b>STORM SEWER</b>							
Mobilization, Overhead and General Conditions	1		LS	\$	965.78	\$	965.78
Permits	1		LS	\$	4,437.02	\$	4,437.02
Connect to Existing Storm			EA			\$	-
RCP Pipe 15"			LF			\$	-
RCP Pipe 18"	277		LF	\$	115.17	\$	31,902.09
RCP Pipe 24"	32		LF	\$	448.71	\$	14,358.72
RCP Pipe 30"			LF			\$	-
Manhole 4' Diameter			EA			\$	-
Manhole 5' Diameter	2		EA	\$	10,083.68	\$	20,167.36
Manhole 6' Diameter			EA			\$	-
Inlet Type R - 5'			EA			\$	-

Inlet Type R - 10'	1		EA	\$ 12,964.96	\$ 12,964
Inlet Type R - 15'	1		EA	\$ 14,866.55	\$ 14,866.55
Inlet Type C	1		EA	\$ 5,992.50	\$ 5,992.50
Inlet Type D			EA		-
FES 15"			EA		-
FES 18"	3		EA	\$ 3,158.20	\$ 9,474.60
FES 24"			EA		-
FES 30"			EA		-
Forebay (30 SY)	1		EA	\$ 30,916.27	\$ 30,916.27
Forebay (70 SY)			EA		-
Outlet Structure	1		EA	\$ 78,746.26	\$ 78,746.26
Spillway Cutoff Wall	45		LF	\$ 1,219.39	\$ 54,872.55
Concrete Trickle Channel (3' Wide) (6" Thick)	114		LF	\$ 186.50	\$ 21,261.00
Riprap (Type VL)			SY		-
Riprap (Type M)	112		SY	\$ 398.40	\$ 44,620.80
Riprap (Type H)			SY		-
<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam			LF		-
Compost Blanket			SF		-
Compost Filler Berm			LF		-
Concrete Washout Area	1		EA	\$ 5,415.85	\$ 5,415.85
Construction Fence			LF		-
Construction Markers	878		LF	\$ 2.58	\$ 2,265.24
Dewatering			EA		-
Diversion Ditch			LF		-
Erosion Control Blanket	394		SY	\$ 3.10	\$ 1,221.40
Inlet Protection	40		LF	\$ 24.47	\$ 978.80
Reinforced Check Dam			LF		-
Reinforced Rock Berm	4		LF	\$ 130.38	\$ 521.52
RRB for Culvert Protection	31		LF	\$ 19.32	\$ 598.92
Sediment Basin	4		AC	\$ 796.23	\$ 3,184.92
Sediment Control Log	425		LF	\$ 6.12	\$ 2,601.00
Sediment Trap			EA		-

Seeding and Mulching	1	AC	\$ 2,269.60	\$	2,269.60
Silt Fence	1,252	LF	\$ 1.56	\$	1,953.12
Silt Fence (Vertical)		LF		\$	-
Stabilized Staging Area	553	SY	\$ 14.17	\$	7,836.01
Surface Roughening	2.7	AC	\$ 1,609.64	\$	4,346.03
Temporary Slope Drain		LF		\$	-
Temporary Stream Crossing		EA		\$	-
Terracing				\$	-
Vehicle Tracking Control	1	EA	\$ 6,438.59	\$	6,438.59
VTC with Wheel Wash		EA		\$	-
Temporary Batch Plant Restoration		AC		\$	-
Other: Curb Sock		LF		\$	-
				\$	-
				\$	-
<b>Sub-Total</b>				\$	1,661,781.36
<b>SHIPP Wrap Insurance</b>	1	LS	2.50%	\$	41,544.53
<b>GRAND TOTAL</b>				\$	1,703,325.89

**NOTES:**

1. Using Onsite Materials - (Estimate Total Qty's) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.

SECTION 00420

BIDDERS QUALIFICATION STATEMENT

The undersigned certifies under oath the truth and correctness of all statements and of all answers to questions made hereinafter.

SUBMITTED TO: TOWN OF ELIZABETH

SUBMITTED BY: NAME: QP Services, LLC  
ADDRESS: 120503 E Euclid Drive  
Suite 200  
Centennial, Co. 80111

PRINCIPAL OFFICE: Same Address

DOING BUSINESS AS:  Corporation [ ] Partnership [ ] Individual [ ] Joint Venture [ ] Other

(NOTE: Attach separate sheets as required)

1. How many years has your organization been in business as a General Contractor?  
25 years
2. How many years has your organization been in business under its present business name?  
6 years
3. If a Corporation, answer the following:  
Date of Incorporation: 2019  
State of Incorporation: Colorado  
President: Steve Burns  
Vice President(s) Andrew Bachman (Scott Boyd)  
Secretary: n/A  
Treasurer: Matt Griffin

4. If a Partnership, answer the following:

Date of organization \_\_\_\_\_

Type of Partnership: \_\_\_\_\_

Name and address of all partners:

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5. If other than a Corporation or Partnership, describe Organization and name Principals:

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6. What percent of the work do you normally perform with your own forces?

80%  
\_\_\_\_\_

List trades:

wet utilities  
\_\_\_\_\_

Grading  
\_\_\_\_\_

Testing

Assessments

Pipe/Concrete Rehab

7. Have you ever failed to complete any work awarded to you? If so, indicate when, where, and why:

No

8. Has any Officer or Partner of your Organization ever been an Officer or Partner of another Organization that failed to complete a construction contract?

No

If Yes, state the circumstances:

9. List major construction projects your organization has under contract on this date:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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*See Attached*

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10. List major construction projects your Organization has completed in the past five years:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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*See Attached*

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11. List the construction experience of the principal individuals in your Organization:

Individual's Name Experience	Construction Previous Position & Experience-Years	Present Position & Years Experience	Dollar Volume Responsibility	Years
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*See Attached Resumes*

12. List states and categories in which your Organization is legally qualified to do business:

Colorado, Utah, Texas, Arizona

13. Bank References:

See Attached

14. Trade references:

Ferguson - 22400 E 19th Aurora, Co 80019 / 303 - 739-8000  
Linker - 9455 Boston Ct., Henderson, Co. 80640 / 903 - 413-2806

15. Name of Bonding and Insurance Companies and Name and Address of Agents:  
Max Bonding Capacity

Surescape

Cindy Burnett - VP 303 - 225 - 8030

7800 Elati Street Suite 100

Littleton, Co 80120

\$20,000,000 and \$40,000,000 combined

16. The undersigned agrees to furnish, upon request by the TOWN, within 24 hours after the Bid Opening, a current Statement of Financial Conditions, including Contractor's latest regular dated financial statement or balance sheet which must contain the following items:

Current Assets: (Cash, joint venture accounts, accounts receivable, notes receivable, accrued interest on notes, deposits, and materials and prepaid expenses), net fixed assets and other assets.

Current Liabilities: (Accounts payable, notes payable, accrued interest on notes, provisions for income taxes, advances received from owners, accrued salaries, accrued payroll taxes), other liabilities, and capital (capital stock, authorized and outstanding shares par values, earned surplus).

See Attached  
Date of statement or balance sheet:

\_\_\_\_\_  
Name of firm preparing statement:

See Attached

By: VP Business Development  
(Agent and Capacity)

17. Dated at Centennial this 11 day of  
April, 2025

Name of Organization: QP Services

By: Scott Boyd

Title: VP

18. NOTARIZATION: State of Colorado County of  
Arapahoe

M Scott Boyd

Says that he (she) is the VP of  
QP Services, LLC

and that the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn before me this 11<sup>th</sup> day of April, 2025

Notary Public Nicole M Bullock

My commission expires: 10/9/2027

**END OF SECTION**

NICOLE M BULLOCK  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 19964012922  
MY COMMISSION EXPIRES OCTOBER 09, 2027

SECTION 00430

SUBCONTRACTOR LISTING

The following information is submitted for each subcontractor that will be used in the work if the Bidder is awarded the Agreement. Additional numbered pages shall be attached to this page as required. Each page shall be headed "SUBCONTRACTOR LISTING" and signed. All work to be subcontracted over 25% in labor and/or materials shall be listed.

Amount of Subcontract	Name and Address of Subcontractor	Portion of Work
25%	Omyx Paving 170 E 114 <sup>th</sup> PL Denver, CO	Concrete
25%	ESI Paving 115 Inverness DR Englewood CO	Asphalt, Concrete
25%	Apox concrete N/A	GEP Structures

Signature 


END OF SECTION

SECTION 00450

MATERIAL AND EQUIPMENT SUPPLIER LISTING

The following information is submitted for each major supplier of material and each manufacturer and supplier of equipment for manufacturers and suppliers of major items of material, equipment and systems to be used in the work if the Bidder is awarded the contract.

Specification and Section No.	Material or Equipment Description	Manufacturer Supplier
PVC/copper	Ferguson materials	Various
Pre cast concrete	Pre-cast MH/Inlets	Rinker
metals	Metal Grates	Degeon

  
Signature

END OF SECTION

Agenda #1 Return 3/26/25 

# MAIN STREET DEPOT PRE-BID MEETING

ORGANIZATION      TIME      EVENT DATE      LOCATION  
 Town of Elizabeth      10am-11am      03/24/2025      Town Hall

NO	NAME	PHONE	EMAIL	COMPANY	MISC.
1	Mabel Moreno	780331-6342	TriplemConstruction@aol.com	Triple M Construction	
2	MARCELO ESAYOIS	(919)232-0606	Area. Marcelo. Esayois@Dgrain.com	CAVALERO CONCR. I.	
3	DAVID EVANUS	303-385-9370	DevansoTimberlinebuildingssystem1.com	DAVID EVANUS	
4	Marco Moreno	720-725-5232	KRMconcrete@gmail.com	<sup>(Timberline)</sup> KRM concrete LLC	
5	Trent Spindel	720-556-4858	Tspindel@Ironwoman.com	QRS/Iron Woman	
6	Ron Simms	720-697-0699	Rsimms@Ironwoman.com	QRS/Iron woman	
7	Vlad Boharov	303-502-0375	vladboharov@construction.co	West Fork	
8	<del>Jeff</del> Lawson	303-460-0139	jlawson@schmidtco.co	Schmidt Construction	
9	JACOB HANSEN	770-454-5376	jacobh@sv-contractors.com	Sun Valley Contractors	
10	Jaine Walton	303-591-6244	jainew@asphaltrepair.com	A-1 Chip Seal	
11	SAMU CASTILLO	720-492-5363	castillo@essentialcontractors.net	Essential Contractors	
12					
13					

# MAIN STREET DEPOT PRE-BID MEETING

ORGANIZATION                      TIME                      EVENT DATE                      LOCATION  
 Town of Elizabeth                      10am-11am                      03/24/2025                      Town Hall

NO	NAME	PHONE	EMAIL	COMPANY	MISC.
1	John Feldman	720-814-6126	SFELDP@USE2@IRONWOMAN.COM	QP Services	
2	Jared Richardson	719-385-9171	JRichardson@timberlineBuildingSystems.com	TBS	
3	LEE MELAMEDS	720-903-9784	LEE.MELAMEDS@MARTINMARGRETTA.COM	Martin Margretta	
4	Derek Diehl	720-760-1071	Derek.Diehl@ellipsi.com	Elite Surfaces Infrastructure	
5	James Gordon	803-492-3978	james.gordon@holcim.com	Holcim	
6	Alonso Poytaria	719-505-6257	arenortia@jarco.com	JARCO	
7	<del>Frank</del>	720-234-8335	bram@ABCAsphaltCo.com	ABC Asphalt	
8					
9					
10					
11					
12					
13					

# MAIN STREET DEPOT PRE-BID MEETING

ORGANIZATION      TIME      EVENT DATE      LOCATION  
 Town of Elizabeth      10am-11am      03/24/2025      Town Hall

NO	NAME	PHONE	EMAIL	COMPANY	MISC.
1	Nick Jehua	71921 0012	Njehua@venuemanager.com	EW/ops	
2	Josh Talcott	7203987986	joshuatalcott@elitesi.com	ESI	
3	BRAND Bensko	303-722-0700	BRAND@ELKREINOVUSKARE.SINX.COM	ELKRE INOVUSKARES WK.	
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

SECTION 00410

BID BOND

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned,

\_\_\_\_\_ of the City of \_\_\_\_\_, County of \_\_\_\_\_, and State of \_\_\_\_\_ (hereinafter called "Principal") as Principal and \_\_\_\_\_ (hereinafter called

"Surety") as surety, a corporation organized and existing under and by virtue of the laws of the State of \_\_\_\_\_

and authorized to do business within the state of Colorado and to act as surety on bonds for

principals, are held and firmly bound unto Town of Elizabeth (hereinafter called "Owner") as obligee, in the sum of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_) in

lawful money of the United States, for the payment of which sum, well and truly to be made, the Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted a Bid Form (Proposal) to enter into a certain written agreement with Owner for Construction of PROJECT, hereinafter referred to as "Agreement":

NOW, THEREFORE, the condition of this obligation is such that if (1) Owner shall accept the Bid Form (Proposal) of the Principal and Principal shall faithfully enter into Agreement with the Owner in accordance with the terms of such Bid and give such Bonds as are specified in the Bidding or Contract Documents, or (2) in the event of the failure of Principal to enter such Agreement and give such Bond or Bonds, if Principal shall pay to Owner the difference not to exceed the sum another party to perform the work covered by said Bid, then (3) this obligation shall be null and void, otherwise to remain in full force and effect. The sum of this Bid Bond is not less than 10% of the Principal's Bid.

The sum of this Bid Bond is \_\_\_\_\_, and subject to the conditions stated above, shall be forfeited to Owner in its entirety upon failure of Principal to perform as contemplated in clause (1) or (2) herein.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its Bond shall be in no way impaired or affected by any extension of the time within which the Owner may accept such Bid; and said Surety does hereby waive notice of any such extension.

Signed and sealed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

PRINCIPAL:

By: \_\_\_\_\_

Address: \_\_\_\_\_

SURETY:

By: \_\_\_\_\_

Address: \_\_\_\_\_

Surety's No. \_\_\_\_\_

END OF SECTION

Witness \_\_\_\_\_

Witness \_\_\_\_\_



Addendum No 2 Received 4/1/25

March 31, 2025

Main Street Depot Questions:

- There is an electrical post with multiple outlets located in or near the pond footprint, will this be shut off and removed or is it to be protected in place? it is not shown within the plans.
  - Shut off and removed.
- Will the smoking area in fact need to be relocated? And if so can the new location be provided?
  - To be removed.
- Can architectural plans be provided before bid due date to provide detail on bathroom foundation and slab detail?
  - Not at this time, working through bathroom selection. Account for concrete slab at bathroom location.
- Can a detail be provided on the handrail for the stairs or will they be CDOT spec?
  - CDOT spec
- Will Equipment Idle time during the shut down be covered by the city?
  - No, not covered on this project.
- Will tapered edges or thickened edges be required where concrete sidewalk meets the aggregate path?
  - Thickened edges.
- Does the city of Elizabeth currently have any fill material available for use?
  - The Town is working on this but not confirmed. Bid based on providing import.
- Is there a bid tab form or excel spreadsheet available for the bid form with QTY or SOV to bid from?
  - Has been added to BidNET.
- Is there a requirement or specification for import material for fill?
  - CDOT Specification

terraccina design

Landscape Architecture • Planning • Civil Engineering  
10200 E. Girard Avenue, A-314. Denver, CO 80231 ph: 303.632.8867

Addendum No 3 Revised 4/1/25 

Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities					
Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Cut to Fill	1,993		CY	\$ -	\$ -
Excess Cut to Haul off Site			CY	\$ -	\$ -
Imported Fill Material	3,554		CY		
Fine Grading			SY	\$ -	\$ -
Temporary Sediment Basins	1		EA	\$ -	\$ -
Clearing/Grubbing	2		AC	\$ -	\$ -
Topsoll - Strip, Stockpile, & Redistribute (6 Inch)			CY	\$ -	\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Asphalt Pavement	106		SY	\$ -	\$ -
Saw Cut Existing Asphalt	125		LF	\$ -	\$ -
After Utility Install - Cut Grade to subgrade design	1,640		SY	\$ -	\$ -
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY	\$ -	\$ -
Subgrade Prep (rip and re-compact)	6,558		SY	\$ -	\$ -
Local - Asphalt - 5" Thick	4,674		SY	\$ -	\$ -
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558		SY	\$ -	\$ -
Adjust Manholes/Cleanouts	2		EA	\$ -	\$ -
Adjust Valves	4		EA	\$ -	\$ -
Public Signage	13		EA	\$ -	\$ -
Street Name Signs	1		EA	\$ -	\$ -
Striping - White Line - 6" Solid	2,736		LF	\$ -	\$ -
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ -	\$ -
Striping - Stop Bar	8		LF	\$ -	\$ -
Striping - Road Markings	12		EA	\$ -	\$ -
<b>CONCRETE</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Curb & Gutter	50		LF	\$ -	\$ -
Remove Sidewalk	30		SY	\$ -	\$ -
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ -	\$ -
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ -	\$ -
Crosspan	1		LS	\$ -	\$ -
Curb Chase	32		LF	\$ -	\$ -
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ -	\$ -
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ -	\$ -
Handicap Ramps and Respective Landings	9		EA	\$ -	\$ -
Fence (Relocated Smoking Area)	140		LF	\$ -	\$ -
Concrete (Pad for Bathrooms)	96		SY	\$ -	\$ -

<b>WATER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Water Infrastructure	2		EA	\$ -	\$ -
Water Service 2"	3		EA	\$ -	\$ -
PVC Pipe (C900) 2"	86		LF	\$ -	\$ -
PVC Pipe (C900) 8"	226		LF	\$ -	\$ -
Bend 2"	2		EA	\$ -	\$ -
Bend 8"			EA	\$ -	\$ -
Bend 12"			EA	\$ -	\$ -
Valve 2"	1		EA	\$ -	\$ -
Valve 8"	2		EA	\$ -	\$ -
Tee 2"x2"	3		EA	\$ -	\$ -
Tee 8"x8"	1		EA	\$ -	\$ -
Tee 8"x6"	1		EA	\$ -	\$ -
Cross 8"x8"			EA	\$ -	\$ -
2" Plug with Blow-Off	1		EA	\$ -	\$ -
8" Plug with Blow-Off	1		EA	\$ -	\$ -
Blow-off 8"			EA	\$ -	\$ -
Reducer 8"x6"			EA	\$ -	\$ -
Air Release Manhole and Vent Pipe			EA	\$ -	\$ -
8" Blow off assembly			EA	\$ -	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1		EA	\$ -	\$ -
<b>SANITARY SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Sanitary Main	1		EA	\$ -	\$ -
Sanitary Service 4"			EA	\$ -	\$ -
Manhole 4'	1		EA	\$ -	\$ -
Manhole 5'			EA	\$ -	\$ -
4" Sanitary Clean Out	5		EA	\$ -	\$ -
PVC Pipe 6"	303		LF	\$ -	\$ -
PVC Pipe 8"			LF	\$ -	\$ -
<b>STORM SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Storm			EA	\$ -	\$ -
RCP Pipe 15"			LF	\$ -	\$ -
RCP Pipe 18"	277		LF	\$ -	\$ -
RCP Pipe 24"	32		LF	\$ -	\$ -
RCP Pipe 30"			LF	\$ -	\$ -
Manhole 4' Diameter			EA	\$ -	\$ -
Manhole 5' Diameter	2		EA	\$ -	\$ -
Manhole 6' Diameter			EA	\$ -	\$ -
Inlet Type R - 5'			EA	\$ -	\$ -
Inlet Type R - 10'	1		EA	\$ -	\$ -
Inlet Type R - 15'	1		EA	\$ -	\$ -
Inlet Type C	1		EA	\$ -	\$ -
Inlet Type D			EA	\$ -	\$ -
FES 15"			EA	\$ -	\$ -
FES 18"	3		EA	\$ -	\$ -
FES 24"			EA	\$ -	\$ -
FES 30"			EA	\$ -	\$ -
Forebay (30 SY)	1		EA	\$ -	\$ -
Forebay (70 SY)			EA	\$ -	\$ -
Outlet Structure	1		EA	\$ -	\$ -
Spillway Cutoff Wall	45		LF	\$ -	\$ -
Concrete Trickle Channel (3' Wide) (6" Thick)	114		LF	\$ -	\$ -
Riprap (Type VL)			SY	\$ -	\$ -
Riprap (Type M)	112		SY	\$ -	\$ -
Riprap (Type H)			SY	\$ -	\$ -

<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam			LF	\$ -	\$ -
Compost Blanket			SF	\$ -	\$ -
Compost Filler Berm			LF	\$ -	\$ -
Concrete Washout Area	1		EA	\$ -	\$ -
Construction Fence			LF	\$ -	\$ -
Construction Markers	878		LF	\$ -	\$ -
Dewatering			EA	\$ -	\$ -
Diversion Ditch			LF	\$ -	\$ -
Erosion Control Blanket	394		SY	\$ -	\$ -
Inlet Protection	40		LF	\$ -	\$ -
Reinforced Check Dam			LF	\$ -	\$ -
Reinforced Rock Berm	4		LF	\$ -	\$ -
RRB for Culvert Protection	31		LF	\$ -	\$ -
Sediment Basin	4		AC	\$ -	\$ -
Sediment Control Log	425		LF	\$ -	\$ -
Sediment Trap			EA	\$ -	\$ -
Seeding and Mulching	1		AC	\$ -	\$ -
Silt Fence	1,252		LF	\$ -	\$ -
Silt Fence (Vertical)			LF	\$ -	\$ -
Stabilized Staging Area	553		SY	\$ -	\$ -
Surface Roughening	2.7		AC	\$ -	\$ -
Temporary Slope Drain			LF	\$ -	\$ -
Temporary Stream Crossing			EA	\$ -	\$ -
Terracing				\$ -	\$ -
Vehicle Tracking Control	1		EA	\$ -	\$ -
VTC with Wheel Wash			EA	\$ -	\$ -
Temporary Batch Plant Restoration			AC	\$ -	\$ -
Other: Curb Sock			LF	\$ -	\$ -
<b>Sub-Total</b>					\$ -
<b>SHIPIP Wrap Insurance</b>	1		LS	2.5%	
<b>GRAND TOTAL</b>					\$ -

- NOTES:**
1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
  2. Contractor is responsible for all construction water.
  3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
  4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
  5. Identify any missed bid line items as an Alternative Line Item
  6. Grading 100% Complete.

Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities					
Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Cut to Fill	2,960		CY	\$ -	\$ -
Excess Cut to Haul off Site			CY	\$ -	\$ -
Imported Fill Material	2,604				
Fine Grading			SY	\$ -	\$ -
Temporary Sediment Basins	1		EA	\$ -	\$ -
Clearing/Grubbing	2		AC	\$ -	\$ -
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)			CY	\$ -	\$ -
Subexc Excavation			CY	\$ -	\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Asphalt Pavement	106		SY	\$ -	\$ -
Saw Cut Existing Asphalt	125		LF	\$ -	\$ -
After Utility Install - Cut Grade to subgrade design	1,487		SY	\$ -	\$ -
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY	\$ -	\$ -
Subgrade Prep (rip and re-compact)	5,947		SY	\$ -	\$ -
Local - Asphalt - 5" Thick	3,992		SY	\$ -	\$ -
Local - Asphalt - 5" Thick	1,347		TONS		
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	5,947		SY	\$ -	\$ -
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	2,114		TONS		
Adjust Manholes/Cleanouts	2		EA	\$ -	\$ -
Adjust Valves	4		EA	\$ -	\$ -
Public Signage	13		EA	\$ -	\$ -
Street Name Signs	1		EA	\$ -	\$ -
Striping - White Line - 6" Solid	2,736		LF	\$ -	\$ -
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ -	\$ -
Striping - Stop Bar	8		LF	\$ -	\$ -
Striping - Road Markings	12		EA	\$ -	\$ -
<b>CONCRETE</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Curb & Gutter	50		LF	\$ -	\$ -
Remove Sidewalk	30		SY	\$ -	\$ -
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ -	\$ -
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ -	\$ -
Crossspan	1		LS	\$ -	\$ -
Curb Chase	32		LF	\$ -	\$ -
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ -	\$ -
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ -	\$ -
Handicap Ramps and Respective Landings	9		EA	\$ -	\$ -
Fence (Relocated Smoking Area)	140		LF	\$ -	\$ -

<b>WATER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Water Infrastructure	2		EA	\$ -	\$ -
Water Service 2"	3		EA	\$ -	\$ -
PVC Pipe (C900) 2"	86		LF	\$ -	\$ -
PVC Pipe (C900) 8"	226		LF	\$ -	\$ -
Bend 2"	2		EA	\$ -	\$ -
Bend 8"			EA	\$ -	\$ -
Bend 12"			EA	\$ -	\$ -
Valve 2"	1		EA	\$ -	\$ -
Valve 8"	2		EA	\$ -	\$ -
Tee 2"x2"	3		EA	\$ -	\$ -
Tee 8"x8"	1		EA	\$ -	\$ -
Tee 8"x6"	1		EA	\$ -	\$ -
Cross 8"x8"			EA	\$ -	\$ -
2" Plug with Blow-Off	1		EA	\$ -	\$ -
8" Plug with Blow-Off	1		EA	\$ -	\$ -
Blow-off 8"			EA	\$ -	\$ -
Reducer 8"x6"			EA	\$ -	\$ -
Air Release Manhole and Vent Pipe			EA	\$ -	\$ -
8" Blow off assembly			EA	\$ -	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1		EA	\$ -	\$ -
<b>SANITARY SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Sanitary Main	1		EA	\$ -	\$ -
Sanitary Service 4"			EA	\$ -	\$ -
Manhole 4'	1		EA	\$ -	\$ -
Manhole 5'			EA	\$ -	\$ -
4" Sanitary Clean Out	5		EA	\$ -	\$ -
PVC Pipe 6"	303		LF	\$ -	\$ -
PVC Pipe 8"			LF	\$ -	\$ -
<b>STORM SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Storm			EA	\$ -	\$ -
RCP Pipe 15"			LF	\$ -	\$ -
RCP Pipe 18"	277		LF	\$ -	\$ -
RCP Pipe 24"	32		LF	\$ -	\$ -
RCP Pipe 30"			LF	\$ -	\$ -
Manhole 4' Diameter			EA	\$ -	\$ -
Manhole 5' Diameter	2		EA	\$ -	\$ -
Manhole 6' Diameter			EA	\$ -	\$ -
Inlet Type R - 5'			EA	\$ -	\$ -
Inlet Type R - 10'	1		EA	\$ -	\$ -
Inlet Type R - 15'	1		EA	\$ -	\$ -
Inlet Type C	1		EA	\$ -	\$ -
Inlet Type D			EA	\$ -	\$ -
FES 15"			EA	\$ -	\$ -
FES 18"	3		EA	\$ -	\$ -
FES 24"			EA	\$ -	\$ -
FES 30"			EA	\$ -	\$ -
Forebay (30 SY)	1		EA	\$ -	\$ -
Forebay (70 SY)			EA	\$ -	\$ -
Outlet Structure	1		EA	\$ -	\$ -
Spillway Cutoff Wall	45		LF	\$ -	\$ -
Concrete Trickle Channel (3' Wide) (6" Thick)	114		LF	\$ -	\$ -
Riprap (Type VL)			SY	\$ -	\$ -
Riprap (Type M)	112		SY	\$ -	\$ -
Riprap (Type H)			SY	\$ -	\$ -

<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam			LF	\$	- \$ -
Compost Blanket			SF	\$	- \$ -
Compost Filler Berm			LF	\$	- \$ -
Concrete Washout Area	1		EA	\$	- \$ -
Construction Fence			LF	\$	- \$ -
Construction Markers	878		LF	\$	- \$ -
Dewatering			EA	\$	- \$ -
Diversion Ditch			LF	\$	- \$ -
Erosion Control Blanket	394		SY	\$	- \$ -
Inlet Protection	40		LF	\$	- \$ -
Reinforced Check Dam			LF	\$	- \$ -
Reinforced Rock Berm	4		LF	\$	- \$ -
RRB for Culvert Protection	31		LF	\$	- \$ -
Sediment Basin	4		AC	\$	- \$ -
Sediment Control Log	425		LF	\$	- \$ -
Sediment Trap			EA	\$	- \$ -
Seeding and Mulching	1		AC	\$	- \$ -
Silt Fence	1,252		LF	\$	- \$ -
Silt Fence (Vertical)			LF	\$	- \$ -
Stabilized Staging Area	553		SY	\$	- \$ -
Surface Roughening	2.7		AC	\$	- \$ -
Temporary Slope Drain			LF	\$	- \$ -
Temporary Stream Crossing			EA	\$	- \$ -
Terracing				\$	- \$ -
Vehicle Tracking Control	1		EA	\$	- \$ -
VTC with Wheel Wash			EA	\$	- \$ -
Temporary Batch Plant Restoration			AC	\$	- \$ -
Other: Curb Sock			LF	\$	- \$ -
<b>Sub-Total</b>					\$ -
<b>SHPIP Wrap Insurance</b>	1		LS		2.5%
<b>GRAND TOTAL</b>					\$ -

**NOTES:**

1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.



**Building Today for a  
Sustainable Tomorrow**

# **QP Services / Iron Woman Construction and Environmental Services, LLC**

*An Employee-Owned Company*



5680 Emerson Street, Denver, CO 80216

**T:** 303-399-5534

**F:** 720-484-6463

[www.ironwomancon.com](http://www.ironwomancon.com)

**OUR MISSION:** Safely and effectively deploy our resources every day to exceed the expectation of our customers in delivering our core products and services. Safety and quality are at the core of our business model and that mind-set is reflected everyday with every crew and every employee—from project kickoff to project closeout.





## Delivering Civil Construction and Transportation Solutions for 25 Years

Iron Woman Construction and Environmental Services was founded as a trucking company in 1999 and has since expanded to become a multidisciplinary general contractor. We provide sustainable infrastructure solutions that have helped generate record growth across the Rocky Mountain region. The name "Iron Woman" is a homage to founder Shaun Egan's great-great-great-grandmother, a full-blood Blackfeet Indian.



As a diversified general contractor with multiple service lines, Iron Woman serves a variety of markets including water, municipal, federal, residential, energy, mining, and transportation.

Our value comes from the complex problem-solving power of combining each of our divisions and services to provide whole solutions. From our trucking roots, we've diversified into constructors with a focus on water infrastructure, environmental, mining, and logistics. Our sustainable infrastructure solutions solve increasingly complex problems.

With approximately 300 employees, 19 crews, and more than 300 pieces of equipment, including trucks, trailers, and yellow iron, Iron Woman has successfully delivered more than \$500 million in utility, heavy civil, environmental, and construction-transportation projects throughout Colorado and much of the United States.

### QP SERVICES AND SPRAYROQ:

We build and maintain critical infrastructure for the life and well-being of our community. Our heavy civil and utility services focus on water infrastructure construction and maintenance, as well as site development in residential, municipal, water, and industrial markets.

Our diversified project portfolio includes mass excavation and fills, mass concrete installations, stormwater infrastructure, water distribution centers, dewatering systems, and sanitary water systems.

Iron Woman also provides turn-key water and wastewater maintenance and rehabilitation services for customers throughout the Western U.S. As asset management experts, we specialize in digital CCTV inspection, sewer and storm pipe jetting/vac cleaning, state-of-the-art data transfer, lift station cleaning and treatment facility maintenance, manhole GIS and inspection, and hydro-excavation, as well as smoke testing and manhole/pipe testing. Our NASSCO-certified in-house experts provide MACP, LACP, and PACP training.

Iron Woman is the exclusive Sprayroq partner in Colorado, Utah, Wyoming, and Southern Idaho. Sprayroq uses a plural-component spray technology that develops a fast-curing structural and chemical-resistant formula capable of excellent adhesion for the rehabilitation of underground infrastructure. This trenchless technology provides long life, corrosion control, abrasion resistance, and NSF Certification for potable water applications.





## Safety First

Iron Woman is built on TEAM Commitment from our employees, to our employees and their families, and to those clients that we provide services for. This TEAM Commitment allows us to be second to none in SAFETY, QUALITY, and PRODUCTION, which are our company's core values.

Iron Woman's TEAM Commitment does not just start at the top but is a part of each and every employee.

We have not only built a growing safety culture of zero harm and a workplace free of injuries and occupational illnesses, but this safety culture has now also become a part of their home lives.

The following principles guide our health and safety performance:

Our goal is to achieve a zero-harm workplace.

All injuries are preventable.

If a task cannot be done safely, it will not be done.

Working safely is a condition of employment.

Everyone is accountable for his or her own safety and the safety of those around them.

Everyone is expected to identify hazards and manage risks.

Everyone must maintain the necessary skills to work SAFER.

There are certain safety practices that, if breached, may lead to termination of employment.

## Awards

### AGC Willis Towers Watson Construction Safety Excellence Award:

Iron Woman won 2nd place nationally in the Over 400,000 Hours Utility Infrastructure Division of the 2023 Associated General Contractors of America's (AGC) Construction Safety Excellence Awards. The award was presented on March 15th, 2023, at the AGC Annual Convention in Las Vegas, NV. The CSEA is the industry's elite safety excellence awards program for companies of all sizes and specialties. This national recognition underscores our teams' efforts and commitment to safety.

### AGC Willis Towers Watson Construction Safety Excellence Award:

Iron Woman earned first place in the 2019 AGC Willis Towers Watson Construction Safety Excellence Award (CSEA) program. We were recognized in the heavy division, for companies with more than 500,000 manhours.

*"This national recognition underscores Iron Woman's commitment to safety in every aspect of our business. I am proud of the efforts of everyone who contributed to this prestigious award,"* Shaun Egan, President and CEO of Iron Woman.





Contact:  
Tori Wood  
720-217-3616

## Parker Water & Sanitation

On-Call Sewer Maintenance

Task-order based schedule

\$50,000 per year

QP Services provides the Parker Water and Sanitation District with turn-key sewer maintenance. QP Services' work includes sanitary sewer cleaning, CCTV inspection, manhole rehabilitation, lift station maintenance, and digester maintenance. QP Services maintains approximately 400,000 linear feet of sanitary sewer pipe, 7,000 manholes, and two treatment plants. We deliver data and reports annually, allowing Parker Water to stay proactive in repairing their assets.

Project Challenges



Contact:  
Bryce Carson  
720-486-6695

## Denver Water

On-Call Emergency Potholing

Task-order based schedule

\$200,000 per year

The on-call maintenance contract includes non-destructive excavation, hydro-jetting, vacuuming, and potholing services. The work is completed in support of various Denver Water pipeline projects and includes potholing to mark and locate all utility interference and cleanups resulting from main breaks.

Project Challenges



Contact:  
Tori Wood  
720-217-3616

## Buckley Space Force Base-Four

Water/ Sewer / Gas Infrastructure Recapitalization  
2021  
\$6 million

The project included installation of water lines and electrical conduit at the Buckley Space Force Base in Denver, Colorado. Work included the hydro-excavation of the entire length of the new waterline using a vac tube and cross trench every 30 to 40 feet. To limit open trench danger and avoid trench cave-ins, the team utilized continuous backfill and compacts. During the second phase, work included the hydro-excavation of the entire length of the new waterline using a vac tube and cross trench every 30 to 40 feet.



Contact:  
Nathan Travis  
303-827-4824

## Castle Pines North Metro District

On-Call Maintenance  
Task-order based schedule

QP Services has an ongoing maintenance contract with Castle Pines North Metro District. Services include CCTV and jetting of sewer infrastructure, water and sewer repairs, ozone, coatings, traffic control, and permitting.

## QP Services / Iron Woman Construction & Environmental Services, LLC

### Relevant and Recent Experience

QP Services, LLC combines the resources of the region's leading underground infrastructure inspection and testing company - Quality Pipe Services, Inc. - with the depth and breadth of Iron Woman Construction and Environmental Services, LLC.

QP Services continues to provide the same high-quality service that clients came to expect from Quality Pipe Services, providing full turn-key water and wastewater maintenance and rehabilitation services for customers throughout the Western U.S. As asset management experts, QP Services specializes in digital CCTV inspection; sewer and storm pipe jetting/vac cleaning; state-of-the-art data transfer; lift station cleaning and treatment facility maintenance; manhole GIS and inspection; and hydro-excavation, as well as smoke testing and manhole/pipe testing. Our NASSCO-certified in-house experts provide MACP, LACP, and PACP training.

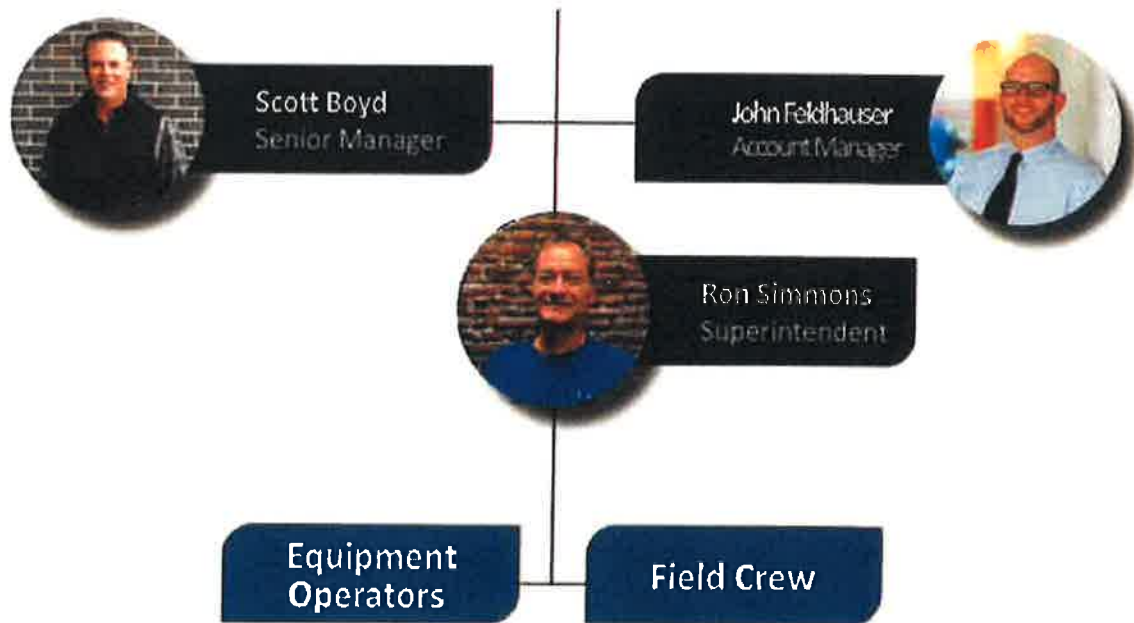
Project Name / Location	Project Description	Date	Contract Amount
Buckley Space Force Base Comm Duct Bank, Phase I, Flor, Aurora, CO	QP Services installed water lines and electrical conduit at the Buckley Space Force Base in Denver, Colorado. Work included the hydro-excavation of the entire length of the new waterline using a vac tube and cross trench every 30 to 40 feet. To limit open trench danger and avoid trench cave-ins, the team utilized continuous backfill and compacts.	2021 – 2022	\$6M
Buckley Space Force Base Water/Sewer/ Gas Infrastructure Recapitalization, Phase II, Flor, Aurora, CO	QP Services provided civil and utility construction for Phase 2 of the Buckley Space Force Base water infrastructure. The project included the construction of 3,600 linear feet of 10-inch PVC water main and involved three trenchless installations using a 20-foot-deep directional bore.	2022	\$6M
Wastewater Rehabilitation, Roxborough Park Metropolitan District, CO	Sewer rehabilitation, including installation of 5,000 linear feet of 36-inch sanitary pipe lining and the rehabilitation of 20 manholes. The project also included jetting and CCTV of sanitary pipe.	2021	\$800K
Wastewater Rehabilitation, Roxborough Park Metropolitan District CO	Sewer rehabilitation, including installation of 19,000 linear feet of 8-inch sanitary sewer lining. The project also included jetting and CCTV of the sanitary pipe.	2022	\$950K
On-Call Sewer Maintenance, Parker Water and Sanitation, Parker, CO	QP Services provides the Parker Water and Sanitation District with turn-key sewer maintenance. QP Services' work includes sanitary sewer cleaning, CCTV inspection, manhole rehabilitation, lift station maintenance, and digester maintenance. QP Services maintains approximately 400,000 linear feet of sanitary sewer pipe, 7,000 manholes, and two treatment plants. QP Services delivers data and reports annually, allowing Parker Water to stay proactive in repairing their assets.	On-Going	\$50K/Yr
On-Call Maintenance Contract, Castle Pines CO	QP Services has an ongoing maintenance contract with Castle Pines North Metro District. Services include CCTV and jetting of sewer infrastructure, water and sewer repairs, ozone, coatings, traffic control, and permitting.	On-Going	\$200K/Yr

Project Name / Location	Project Description	Date	Contract Amount
Emergency Potholing, Denver Water Denver, CO	The on-call maintenance contract includes non-destructive excavation, hydro-jetting, vacuuming, and potholing services. The work is completed in support of various Denver Water pipeline projects and includes potholing to mark and locate all utility interference and cleanups resulting from main breaks.	On-Going	\$600K/Yr
Transmission System Structure Rehabilitation, Metro Wastewater Reclamation District, Denver, CO	Structural rehabilitation and other miscellaneous improvements in 15 diversion structures and three metering facilities throughout the Denver Metro area. The work also included structural rehabilitation of 18 manholes, traffic control, and bypass pumping.	2020	\$2.85M
Utilities On-call, City of Englewood, CO	QP Services was awarded a three-year contract with The City of Englewood for water infrastructure maintenance. The contract includes miscellaneous construction and repairs, HVAC, plumbing, electrical, utility maintenance, and environmental cleaning. Services are provided on a 24-hour/ seven days a week basis with response times of one hour during regular hours and two hours outside of business hours. The contract includes catastrophic emergency response.	2023	\$250K/Yr
Sewer Rehabilitation, Southgate Water and Sanitation District, CO	Rehabilitation of 13 manholes including structural build back and Sprayroq application.	2019	\$412K

## Project Team

At QP Services, our highly qualified team is fully committed to delivering pre-construction and project execution with a focus on scope, budget, and quality. We have extensive experience in task-order projects and a strong track record of working efficiently as an integrated team. Scott Boyd, Senior Manager, will oversee all operations, including estimating, project management, staffing, and client relations. John Feldhauser III, CCM, CWP, Account Manager, serves as the primary liaison with the City of Northglenn, ensuring all project requirements are met. Ron Simmons, Superintendent, expertly manages field operations and pre-construction, overseeing performance, budget, safety, and quality. Each team member has hands-on experience in on-call and emergency response water and wastewater repair, maintenance, and rehabilitation services. We are confident in our ability to meet the City's needs. The staffing matrix is provided at the end of this section.

## QP Services Organizational Chart





# Scott Boyd

Senior Manager

Availability: 100%

Years of Experience: 25

## EDUCATION AND CERTIFICATIONS

University of Colorado, Denver  
Associate degree in Business

- MSHA
- OSHA HAZWOPER

### Contact:

303-662-8014

sboyd@Ironwomancon.com

Mr. Boyd currently leads operations for QP Services including maintaining and auditing internal and external processes, communication, safety, and policies/procedures. He has served as the Quality Manager for the City of Parker's annual pipe assessment contract since 2003, in addition to several other on-call contracts in the Denver Metro. Mr. Boyd is integral to QP Services client relationships. He assists in pre construction, market evaluation, estimating, and continued client contact throughout projects. Relevant project experience is below.

### Emergency Potholing, Denver Water

2023/ Ongoing | \$600,000 annually

The on-call maintenance contract includes non-destructive excavation, hydro-jetting, vacuuming, and potholing services. The work is completed in support of various Denver Water pipeline projects and includes potholing to mark and locate all utility interference and cleanups resulting from main breaks.

### Utilities On-call, City of Englewood

2023 | \$250,000 annually | Project Manager

The three-year contract includes miscellaneous construction and repairs, HVAC, plumbing, electrical, utility maintenance, and environmental cleaning. Services are provided on a 24-hour/ seven days a week basis with response times of one hour during regular hours and two hours outside of business hours. The contract includes catastrophic emergency response.

### Buckley Airforce Base Waterline, Fluor, Denver, CO

2022 | \$6 million | Senior Manager

Iron Woman has provided installation of water lines and electrical conduit at the Buckley Airforce Base in Denver, Colorado. Work included the hydro-excavation of the entire length of the new waterline using a vac tube and cross trench every 30-40 feet. To limit open trench danger, the team utilized continuous backfill and compacts.

### Annual Maintenance, Parker Water and Sanitation

2003 - 2022 | \$1.3 million | Senior Manager

Iron Woman completed the annual assessment of 400,000 linear feet of pipe ranging in size from 6 to 24 inches. The project consisted of cleaning sewer pipes with high-pressure water blasting. CCTV was used to assess the flow of the pipe, including pipe condition, flow, and GPS verification.





# John Feldhouser III, CCM, CWP

Account Manager

Availability: 100%

Years of Experience: 15

## EDUCATION AND CERTIFICATIONS

Colorado State University 2023  
Construction Management, B.S.

Red Rocks Community College  
2020: Engineering Graphics  
Civil, Certificate  
2010: Water Quality  
Management, AA

Colorado School of Mines  
(CSM) - 2018  
Tunneling Fundamentals,  
Practice, and Innovation

Sacramento University – 2014  
Water Distribution Specialist  
Certificate  
Utility Management Certificate

EPA University - 2014  
Watershed Management  
Certificate

Certified Construction Manager  
through the Construction  
Management Association of  
America (CMAA)

## REGISTRATIONS

- Hazardous Materials, Colorado, US, 40hr Hazwoper
- Industrial Treatment Plant Operator, Colorado, US, Class D

Mr. Feldhouser is a water/ wastewater construction specialist with experience in water treatment, water distribution, wastewater collection, stormwater operation, maintenance, and construction. He has experience in performing specialized construction management and inspections, which include water/wastewater construction of both pipelines and treatment/ pumping facilities, reinforced structural rebar inspection, concrete inspection, and CLSM inspections— coordinating and observing material testing, welding inspections, non-destructive weld testing, cathodic protection testing, and coating testing. Mr. Feldhouser worked with Denver Water for seven years on water distribution and the Lead Reduction Program. Relevant project experience is below.

### Denver Water, Application for Contaminated Drinking Water 2017 | Designer / Fabricator

John was the Lead designer and fabricator for chemical application into Conduit 3 decontamination cleaning and sampling. The project incorporated existing high-pressure wash equipment and a chemical injection pump to reach 800LF of cleaning area for the application of the chemical.

### Denver Water, Conduit 3 Transmission Line Chemical Cleaning 2017 | Assistant Project Manager, Water Quality Operations

John oversaw the application of cleaning chemicals into 36" drinking water conduit for 6,000LF of the pipeline. He also oversaw chemical injection equipment and sampling protocol for application and dewatering.

### City of Westminster, Big Dry Creek Interceptor and CIPP

2020-2022 | \$32 million | Resident Project Rep/ Construction Manager

The project encompassed thirteen project areas and included the relocation of 500LF of 48" PCCP Thorton / Northglenn Raw waterline in a 12-day shut-down, 80,000LF of CIPP lining ranging from 15" to 42", and Open Cutwork of a dual sewer interceptor of 30" for 8,000 LF, including 2 split-flow structures and one 450LF MTBM tunnel.

- Water Distribution, Colorado, US, Class 4
- Water Treatment, Colorado, US, Class A
- Wastewater Treatment D, Colorado, US
- OSHA 10-Hour Construction Safety, Colorado, US,
- Erosion and Sediment Control, Colorado, US, CDOT Storm Water Erosion Control
- OSHA - Permit-Required Confined Space Standard, 29 CFR 1910.146, Colorado, US, 8hr Confined Space
- Wastewater System Operator, Colorado, US, Class 4

Contact:  
 720-822-8546  
 jfeldjauser@ironwomancon.com

**City of Centennial Water & Sanitation District Construction Management  
 2019 | \$23 million | Resident Project Rep/ Construction Manager**

The project included the design of the new Mirabelle Lift Station and associated gravity sewer piping to serve the new Plum Creek Development Site and Chatfield State Park (CSP) Marina and Campground. It also included the design for a new lift station, new emergency generator, valve vault, metering manhole, and dried-in structure for EI&C equipment; hydraulic evaluation; permitting assistance; opinion of probable construction cost; bidding phase services; and engineering services during construction.

**City of Westminster, Little Dry Creek Interceptor BPS**

2017-2019 | \$10 million | Resident Project Rep/ Construction Manager  
 This project consisted of 6,700 linear feet of 24" and 21" gravity interceptors along the Little Dry Creek in Westminster. The project includes two 6" water pipeline bores (400 linear feet) for crossing Little Dry Creek. The project was constructed in a manner that will allow for the continued operation of the existing wastewater

**Denver Water, 2019 Pipe Rehabilitation Project**

2013 | Project Manager Water Quality Operations  
 John served as Project Manager for Water Quality Operations for Cement Mortar Lining of 6",8",10",12" for ~72,000LF of water distribution pipelines. Oversaw daily operations of CCTV inspection for quality control, water main hydrostatic testing, and disinfection.





# Ron Simmons

Superintendent

Availability: 100%

Years of Experience: 22

## EDUCATION AND CERTIFICATIONS

- OSHA 400 – Competent Person
- OSHA 30
- Confined Space Entry
- Trench Safety
- CPR
- HAZWOPER

Contact:

720-697-0699

rsimmons@ironwomancon.com

Mr. Simmons began working in the heavy civil and water infrastructure industry in 1997. He began his career as a laborer and pipe layer, then worked his way up to equipment operator and foreman. In his nine years with Iron Woman, Mr. Simmons has worked on a variety of high-impact projects, such as DIA, National Western Center, and Buckley Space Force Base.

### Emergency Potholing, Denver Water

2023/ Ongoing | \$600,000 annually

The on-call maintenance contract includes non-destructive excavation, hydro-jetting, vacuuming, and potholing services. The work is completed in support of various Denver Water pipeline projects and includes potholing to mark and locate all utility interference and cleanups resulting from main breaks.

### National Western Center Campus Energy

2021 | \$1.4 million

Iron Woman completed the Wet Well portion of the thermal energy project at the National Western Center. Iron Woman built a 11x11x25 underground concrete vault that houses two 10-inch raw sewage pumps and a screening system.

### Transmission System Structure Rehabilitation, Metro Wastewater Reclamation District

2021 | \$2.8M

Structural rehabilitation and other miscellaneous improvements in 15 diversion structures and 3 metering facilities throughout the Denver Metro area. The work also included structural rehabilitation of 18 manholes, traffic control, and bypass pumping.

### On-Call Maintenance Contract, Castle Pines

2023 / Ongoing | \$200,000 annually

QP Services has an ongoing maintenance contract with Castle Pines North Metro District. Services include CCTV and jetting of sewer infrastructure, water and sewer repairs, ozone, coatings, traffic control, and permitting.

**2025 TIME & MATERIAL RATE SHEET**



**LABOR RATES**

	HOURLY RATE	EMERGENCY RATE
Project Director	\$ 154.00 / Hour	\$ 154.00 / Hour
Project Manager	\$ 131.00 / Hour	\$ 131.00 / Hour
Project Controls	\$ 114.00 / Hour	\$ 114.00 / Hour
Asst. Project Manager	\$ 80.00 / Hour	\$ 100.00 / Hour
Superintendent	\$ 118.00 / Hour	\$ 148.00 / Hour
Foreman	\$ 114.00 / Hour	\$ 143.00 / Hour
Field Engineer	\$ 66.00 / Hour	\$ 83.00 / Hour
Safety Adviser	\$ 91.00 / Hour	\$ 114.00 / Hour
Excavator Operator	\$ 84.00 / Hour	\$ 105.00 / Hour
Equipment Operator	\$ 65.00 / Hour	\$ 82.00 / Hour
Laborer	\$ 56.00 / Hour	\$ 70.00 / Hour
Pipelayer/Topman	\$ 71.00 / Hour	\$ 89.00 / Hour
CCTV Van Operator	\$ 60.00 / Hour	\$ 75.00 / Hour
Jet/Vac Truck Driver	\$ 64.00 / Hour	\$ 80.00 / Hour

**EQUIPMENT RATES**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
<b>EXCAVATORS</b>				
	SIZE	MODEL	HOURLY RATE	25% Premium EMERGENCY RATE
Mini Excavator	5k-10k#	PC35 or equiv.	\$ 42.00 / Hour	\$ 52.50 / Hour
Mini Excavator	10k-18k#	PC55 / 308	\$ 100.00 / Hour	\$ 125.00 / Hour
Tracked Excavator - 1cy bucket	31k#	PC138 / 312	\$ 108.00 / Hour	\$ 135.00 / Hour
Tracked Excavator - 1.5cy bucket	40k#	PC150 / 315	\$ 145.00 / Hour	\$ 181.25 / Hour
Tracked Excavator - 2cy bucket	45k-55k#	PC210 / 320 / 321	\$ 133.00 / Hour	\$ 166.25 / Hour
Tracked Excavator - 2.5cy bucket	66k#	PC290 / 325	\$ 152.00 / Hour	\$ 190.00 / Hour
Tracked Excavator - 3cy bucket	79k#	PC360 / 336	\$ 197.00 / Hour	\$ 246.25 / Hour
Tracked Excavator - 4cy bucket	105k#	PC490 / 349	\$ 265.00 / Hour	\$ 331.25 / Hour
Tracked Excavator - 6cy bucket	158k#	PC650 / 374	\$ 291.00 / Hour	\$ 363.75 / Hour
Tracked Excavator - 6cy bucket	207k#	PC800 / 395	\$ 425.00 / Hour	\$ 531.25 / Hour

**EXCAVATOR ATTACHMENTS**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Compaction Wheel	31k#	PC138 / 312	\$ 2.85 / Hour	\$ 3.56 / Hour
Compaction Wheel	45k-55k#	PC210 / 320 / 321	\$ 2.85 / Hour	\$ 3.56 / Hour
Compaction Wheel	66k#	PC290 / 325	\$ 2.85 / Hour	\$ 3.56 / Hour
Compaction Wheel	79k#	PC360 / 336	\$ 2.85 / Hour	\$ 3.56 / Hour
Compaction Wheel	105k#	PC490 / 349	\$ 2.85 / Hour	\$ 3.56 / Hour
Hammer	31k#	PC138 / 312	\$ 37.00 / Hour	\$ 46.25 / Hour
Hammer	45k-55k#	PC210 / 320 / 321	\$ 40.00 / Hour	\$ 50.00 / Hour
Hammer	66k#	PC290 / 325	\$ 75.00 / Hour	\$ 93.75 / Hour
Hammer	79k#	PC360 / 336	\$ 77.00 / Hour	\$ 96.25 / Hour
Hammer	105k#	PC490 / 349	\$ 88.00 / Hour	\$ 110.00 / Hour

**FRONT END LOADER**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Wheeled Loader - 2cy	17k#	903D	\$ 33.00 / Hour	\$ 41.25 / Hour
Wheeled Loader - 3cy	27k#	928G	\$ 82.00 / Hour	\$ 102.50 / Hour
Wheeled Loader - 3.5cy	33k#	930M	\$ 88.00 / Hour	\$ 110.00 / Hour
Wheeled Loader - 3.5cy	33k#	938M	\$ 87.00 / Hour	\$ 108.75 / Hour
Wheeled Loader - 4cy	40k#	950M	\$ 102.00 / Hour	\$ 127.50 / Hour
Wheeled Loader - 5cy	52k#	966M	\$ 129.00 / Hour	\$ 161.25 / Hour
Wheeled Loader - 7cy	69k#	988K	\$ 212.00 / Hour	\$ 265.00 / Hour

**TRACK-TYPE TRACTORS (BULLDOZERS)**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Dozer	30k#	D5R	\$ 200.00 / Hour	\$ 250.00 / Hour
Dozer	46k#	D6T	\$ 214.00 / Hour	\$ 267.50 / Hour
Dozer	85k#	D8T / D155AX	\$ 391.00 / Hour	\$ 488.75 / Hour

**SKID LOADERS**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Skidsteer		246	\$ 62.00 / Hour	\$ 77.50 / Hour
Skidsteer w/ Tracks		289	\$ 92.00 / Hour	\$ 115.00 / Hour

**SKID LOADER ATTACHMENTS**

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Hammer			\$ 15.00 / Hour	\$ 18.75 / Hour
Sweeper			\$ 5.50 / Hour	\$ 6.88 / Hour

## 2025 TIME & MATERIAL RATE SHEET



<u>WATER TRUCK</u>	<u>SIZE</u>	<u>MODEL</u>	<u>HOURLY RATE</u>	<u>EMERGENCY RATE</u>
Water Truck - 2k Gallon			\$ 39.00 / Hour	\$ 48.75 / Hour
Water Truck - 4k Gallon			\$ 69.00 / Hour	\$ 86.25 / Hour
<u>SOIL COMPACTORS</u>	<u>SIZE</u>	<u>MODEL</u>	<u>HOURLY RATE</u>	<u>EMERGENCY RATE</u>
Jumping Jack			\$ 13.00 / Hour	\$ 16.25 / Hour
Plate Compactor, Walk-Behind			\$ 11.00 / Hour	\$ 13.75 / Hour
Rammex			\$ 101.00 / Hour	\$ 126.25 / Hour
54" Drum Compactor - Smooth / Padfoot		CS34	\$ 119.00 / Hour	\$ 148.75 / Hour
66" Drum Compactor - Smooth / Padfoot		CP44	\$ 181.00 / Hour	\$ 226.25 / Hour
84" Drum Compactor - Smooth / Padfoot		CS78B	\$ 181.00 / Hour	\$ 226.25 / Hour
Rex Compactor			\$ 316.00 / Hour	\$ 395.00 / Hour
<u>VAC / COMBO TRUCKS</u>	<u>SIZE</u>	<u>MODEL</u>	<u>HOURLY RATE</u>	<u>EMERGENCY RATE</u>
Pothole Vac Truck (Operated)			\$ 325.00 / Hour	\$ 406.25 / Hour
Rate Includes:				
Vac Truck	\$ 205 / Hour			
Operator	\$ 64 / Hour			
Laborer	\$ 56 / Hour			
Jet / Vac Truck (Operated)			\$ 325.00 / Hour	\$ 406.25 / Hour
Rate Includes:				
Combo Jet/Vac Truck	\$ 205 / Hour			
Operator	\$ 64 / Hour			
Laborer	\$ 56 / Hour			
<u>VAC POTHOLE TRAILER</u>	<u>SIZE</u>	<u>MODEL</u>	<u>HOURLY RATE</u>	<u>EMERGENCY RATE</u>
Pothole Trailer (Operated)		RTCL RTT	\$ 285.00 / Hour	\$ 356.25 / Hour
Rate Includes:				
Pickup Truck	\$ 36 / Hour			
Pothole Trailer	\$ 129 / Hour			
Operator	\$ 64 / Hour			
Laborer	\$ 56 / Hour			
<u>CAMERA VAN</u>				
CCTV Van (Operated)			\$ 285.00 / Hour	\$ 356.25 / Hour
Rate Includes:				
CCTV Van	\$ 169 / Hour			
Operator	\$ 60 / Hour			
Laborer	\$ 56 / Hour			
CCTV Van w/ Lateral Launcher (Operated)			\$ 300.00 / Hour	\$ 375.00 / Hour
Rate Includes:				
CCTV Van w Lateral Launcher	\$ 184 / Hour			
Operator	\$ 60 / Hour			
Laborer	\$ 56 / Hour			
<u>TRUCKS &amp; TRAILERS</u>	<u>SIZE</u>	<u>MODEL</u>	<u>HOURLY RATE</u>	<u>EMERGENCY RATE</u>
Pickup		2500, 3500	\$ 35.00 / Hour	\$ 43.75 / Hour
Side Dump w/ Tractor			\$ 125.00 / Hour	\$ 156.25 / Hour
End Dump w/Tractor			\$ 125.00 / Hour	\$ 156.25 / Hour
Belly Dump w/ Tractor			\$ 125.00 / Hour	\$ 156.25 / Hour
Tandum Dump Truck			\$ 110.00 / Hour	\$ 137.50 / Hour
Flatbed			\$ 105.00 / Hour	\$ 131.25 / Hour
High Side Demo w/ Tractor			\$ 130.00 / Hour	\$ 162.50 / Hour
Low Boy Trailer w/ Tractor			\$ 165.00 / Hour	\$ 206.25 / Hour
Tow Behind Dump Trailer			\$ 65.00 / Hour	\$ 81.25 / Hour

## 2025 TIME & MATERIAL RATE SHEET



### SPRAYROQ EQUIPMENT

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
Spray Roq Box Truck (Operated)			\$ 316.00 / Hour	\$ 395.00 / Hour
Rate Includes:				
Spray Roq Box Truck	196			
Operator	64			
Laborer	56			

### MISCELLANEOUS EQUIPMENT

	SIZE	MODEL	HOURLY RATE	EMERGENCY RATE
2" Water Pump			\$ 110.00 / Day	\$ 137.50 / Day
3" Water Pump			\$ 135.00 / Day	\$ 168.75 / Day
4" Water Pump			\$ 165.00 / Day	\$ 206.25 / Day
6" Water Pump			\$ 375.00 / Day	\$ 468.75 / Day
8" Water Pump			\$ 450.00 / Day	\$ 562.50 / Day
56KW Generator			\$ 300.00 / Day	\$ 375.00 / Day
Air Compressor - Tow Behind			\$ 56.00 / Hour	\$ 70.00 / Hour
Jack Hammer	50#		\$ 65.00 / Day	\$ 81.25 / Day
Jack Hammer	95#		\$ 90.00 / Day	\$ 112.50 / Day
Tool Trailer (cutoff saw, small generator, lasers, etc)			\$ 51.00 / Hour	\$ 63.75 / Hour
Trench Box - 8'x20'			\$ 25.00 / Hour	\$ 31.25 / Hour
Trench Box - 8'x24'			\$ 28.00 / Hour	\$ 35.00 / Hour
Manhole Box			\$ 25.00 / Hour	\$ 31.25 / Hour
Bedding Box			\$ 25.00 / Hour	\$ 31.25 / Hour

**2025 TIME & MATERIAL RATE SHEET**



**MATERIAL RATES**

**UNIT RATE**

MISCELLANEOUS MATERIALS

General Backfill	/Ton
Structural Backfill	/Ton
Cold Patch Material	/Ton
Non-Haz Disposal	/Ton

TERMS & CONDITIONS

- 1) Rates are subject to change without notice. Please verify pricing.
- 2) All rates for equipment and trucks does not include an operator/driver.
- 3) Rates do not include markup for overhead and profit.



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# Iron Woman Partners, LLC and Affiliate

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**Consolidated and Combined Financial Report  
with Supplemental Information  
December 31, 2023**

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## **Independent Auditor's Report**

To the Board of Directors and Members  
Iron Woman Partners, LLC and Affiliate

### **Opinion**

We have audited the consolidated and combined financial statements of Iron Woman Partners, LLC and Affiliate (the "Company"), which comprise the consolidated and combined balance sheet as of December 31, 2023 and 2022 and the related consolidated and combined statements of operations, changes in stockholder's and members' equity, and cash flows for the years then ended, and the related notes to the consolidated and combined financial statements.

In our opinion, the accompanying consolidated and combined financial statements present fairly, in all material respects, the financial position of the Company as of December 31, 2023 and 2022 and the results of its operations and its cash flows for the years then ended in accordance with accounting principles generally accepted in the United States of America.

### **Basis for Opinion**

We conducted our audits in accordance with auditing standards generally accepted in the United States of America (GAAS). Our responsibilities under those standards are further described in the *Auditor's Responsibilities for the Audits of the Consolidated and Combined Financial Statements* section of our report. We are required to be independent of the Company and to meet our ethical responsibilities in accordance with the relevant ethical requirements relating to our audits. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

### **Responsibilities of Management for the Consolidated and Combined Financial Statements**

Management is responsible for the preparation and fair presentation of the consolidated and combined financial statements in accordance with accounting principles generally accepted in the United States of America and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of consolidated and combined financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the consolidated and combined financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Company's ability to continue as a going concern within one year after the date that the consolidated and combined financial statements are issued or available to be issued.

### **Auditor's Responsibilities for the Audits of the Consolidated and Combined Financial Statements**

Our objectives are to obtain reasonable assurance about whether the consolidated and combined financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not absolute assurance and, therefore, is not a guarantee that audits conducted in accordance with GAAS will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the consolidated and combined financial statements.

To the Board of Directors and Members  
Iron Woman Partners, LLC and Affiliate

In performing audits in accordance with GAAS, we:

- Exercise professional judgment and maintain professional skepticism throughout the audits.
- Identify and assess the risks of material misstatement of the consolidated and combined financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the consolidated and combined financial statements.
- Obtain an understanding of internal control relevant to the audits in order to design audit procedures that are appropriate in the circumstances but not for the purpose of expressing an opinion on the effectiveness of the Company's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the consolidated and combined financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Company's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audits, significant audit findings, and certain internal control-related matters that we identified during the audits.

*Plante & Moran, PLLC*

June 28, 2024

## Iron Woman Partners, LLC and Affiliate

# Consolidated and Combined Balance Sheet

December 31, 2023 and 2022

	2023	2022
<b>Assets</b>		
<b>Current Assets</b>		
Cash	\$ 3,047,246	\$ 1,385,980
Receivables:		
Trade	15,776,448	11,199,142
Employees	74,893	147,439
Contract assets: (Note 4)		
Costs and estimated earnings in excess of billings on uncompleted contracts	3,177,379	4,355,187
Retentions	5,164,783	4,572,160
Inventory	929,138	910,100
Due from members	679,978	-
Prepaid expenses and other current assets	855,961	871,160
	<u>29,705,826</u>	<u>23,441,168</u>
Total current assets	29,705,826	23,441,168
<b>Property and Equipment - Net (Note 5)</b>	11,455,430	11,995,531
<b>Right-of-use Operating Lease Assets - Net (Note 10)</b>	3,188,549	1,239,150
<b>Investment in Real Estate - Related parties (Note 6)</b>	276,279	258,348
<b>Notes Receivable - Related parties (Note 12)</b>	525,000	1,000,000
<b>Due from Members and Employees (Note 12)</b>	185,380	427,802
<b>Deposits</b>	20,050	59,050
	<u>20,050</u>	<u>59,050</u>
Total assets	<u><b>\$ 45,356,514</b></u>	<u><b>\$ 38,421,049</b></u>

## Iron Woman Partners, LLC and Affiliate

### Consolidated and Combined Balance Sheet (Continued)

December 31, 2023 and 2022

	2023	2022
<b>Liabilities and Stockholder's and Members' Equity</b>		
<b>Current Liabilities</b>		
Checks issued in excess of bank balance	\$ 123,071	\$ 211,368
Accounts payable:		
Trade	13,794,299	10,537,387
Retentions	619,256	705,618
Line of credit (Note 8)	4,720,644	-
Current portion of long-term debt (Note 9)	2,097,582	2,680,560
Current portion of operating lease liabilities (Note 10)	782,930	623,526
Current portion of finance lease liabilities (Note 10)	19,964	23,967
Contract liabilities - Billings in excess of costs and estimated earnings on uncompleted contracts (Note 4)	2,349,716	4,024,390
Subordinated note payable - Related party	1,000,000	-
Accrued liabilities (Note 7)	2,293,526	1,135,386
Total current liabilities	27,800,988	19,942,202
<b>Long-term Debt</b> - Net of current portion (Note 9)	3,888,114	6,064,659
<b>Operating Lease Liabilities</b> - Net of current portion (Note 10)	2,456,947	632,337
<b>Finance Lease Liabilities</b> - Net of current portion (Note 10)	-	48,562
<b>Subordinated Note Payable</b> - Related party (Note 12)	-	1,000,000
Total liabilities	34,146,049	27,687,760
<b>Stockholder's and Members' Equity</b>	11,210,465	10,733,289
Total liabilities and stockholder's and members' equity	<b>\$ 45,356,514</b>	<b>\$ 38,421,049</b>

## Iron Woman Partners, LLC and Affiliate

# Consolidated and Combined Statement of Operations

Years Ended December 31, 2023 and 2022

	2023		2022	
	Amount	Percent of Revenue	Amount	Percent of Revenue
<b>Revenue</b>	\$ 102,104,194	100.0	\$ 113,896,922	100.0
<b>Cost of Revenue</b>	92,012,363	90.1	100,745,429	88.5
<b>Gross Profit</b>	10,091,831	9.9	13,151,493	11.5
<b>General and Administrative Expenses</b>	11,146,633	10.9	10,989,019	9.6
<b>Operating (Loss) Income</b>	(1,054,802)	(1.0)	2,162,474	1.9
<b>Other Income (Expense)</b>				
Interest income	58,952	0.1	-	-
Interest expense	(868,924)	(0.9)	(335,431)	(0.3)
Other (expense) income	(113,738)	(0.1)	40,116	-
Equity in the earnings of investment in real estate - Related party	17,931	-	18,713	-
Total other expense	(905,779)	(0.9)	(276,602)	(0.3)
<b>Consolidated and Combined Net (Loss) Income</b>	<b>\$ (1,960,581)</b>	<b>(1.9)</b>	<b>\$ 1,885,872</b>	<b>1.6</b>

## Iron Woman Partners, LLC and Affiliate

# Consolidated and Combined Statement of Changes in Stockholder's and Members' Equity

Years Ended December 31, 2023 and 2022

	<u>Common Stock</u>	<u>Members' Equity and Retained Earnings</u>	<u>Total Stockholder's and Members' Equity</u>
<b>Balance - January 1, 2022</b>	\$ 42,914	\$ 10,096,974	\$ 10,139,888
Consolidated and combined net income	-	1,885,872	1,885,872
Issuance of membership interests - B units	-	214,095	214,095
Redemption of membership interests - B units	-	(344,288)	(344,288)
Distributions	-	(1,162,278)	(1,162,278)
<b>Balance - December 31, 2022</b>	42,914	10,690,375	10,733,289
Consolidated and combined net loss	-	(1,960,581)	(1,960,581)
Issuance of membership interests - A units	-	2,600,000	2,600,000
Issuance of membership interests - B units	-	1,580	1,580
Redemption of membership interests - B units	-	(163,823)	(163,823)
<b>Balance - December 31, 2023</b>	<u>\$ 42,914</u>	<u>\$ 11,167,551</u>	<u>\$ 11,210,465</u>

## Iron Woman Partners, LLC and Affiliate

# Consolidated and Combined Statement of Cash Flows

Years Ended December 31, 2023 and 2022

	2023	2022
<b>Cash Flows from Operating Activities</b>		
Consolidated and combined net (loss) income	\$ (1,960,581)	\$ 1,885,872
Adjustments to reconcile consolidated and combined net (loss) income to net cash from operating activities:		
Depreciation and amortization	4,282,781	3,322,299
Gain on disposal of property and equipment	(236,659)	(236,354)
Bad debt expense	75,686	13,251
Equity in the earnings of investment in real estate - Related party	(17,931)	(18,713)
Noncash lease expense	34,615	16,713
Changes in operating assets and liabilities that (used) provided cash:		
Trade and retention receivables	(5,245,615)	3,966,914
Employee and member receivables	19,166	(59,403)
Costs and estimated earnings in excess of billings on uncompleted contracts	1,177,808	(2,606,323)
Inventory	(19,038)	(85,393)
Prepaid expenses and other current assets	15,199	170,132
Deposits	39,000	(41,800)
Accounts and retentions payable	3,170,550	1,570,547
Billings in excess of costs and estimated earnings on uncompleted contracts	(1,674,674)	(2,252,534)
Accrued liabilities	1,158,140	231,328
Payable to related party	-	(382,589)
Net cash provided by operating activities	818,447	5,493,947
<b>Cash Flows from Investing Activities</b>		
Purchases of property and equipment	(2,779,237)	(3,399,063)
Proceeds from disposition of property and equipment	1,303,304	423,170
Proceeds from note receivable from related parties	475,000	363,971
(Advances to) proceeds from members	(384,176)	166,185
Net cash used in investing activities	(1,385,109)	(2,445,737)
<b>Cash Flows from Financing Activities</b>		
Payments on debt	(4,789,611)	(2,429,176)
Payments on finance lease liabilities	(52,565)	(32,232)
Payments on line of credit	(4,029,356)	(10,250,000)
Proceeds from line of credit	8,750,000	10,250,000
Proceeds from issuance of membership interests - A units	2,600,000	-
Proceeds from issuance of membership interests - B units	1,580	214,095
Distribution to stockholder and members	-	(1,162,278)
Redemption of membership interests - B units	(163,823)	(344,288)
Change in checks written in excess of bank balance	(88,297)	88,834
Net cash provided by (used in) financing activities	2,227,928	(3,665,045)
<b>Net Increase (Decrease) in Cash</b>	1,661,266	(616,835)
<b>Cash - Beginning of year</b>	1,385,980	2,002,815
<b>Cash - End of year</b>	<b>\$ 3,047,246</b>	<b>\$ 1,385,980</b>
<b>Supplemental Cash Flow Information - Cash paid for interest</b>		
	\$ 868,924	\$ 335,431
<b>Significant Noncash Transactions</b>		
Equipment and vehicles acquired through notes payable	\$ 2,030,088	\$ 4,461,748
Right-of-use assets obtained in exchange for new operating lease liabilities	2,620,631	742,926

# Notes to Consolidated and Combined Financial Statements

**December 31, 2023 and 2022**

## **Note 1 - Nature of Business**

Iron Woman Partners, LLC (IWP) is an environmental and civil general contractor, based in Denver, Colorado, that performs environmental remediation, mining services, transportation, civil and utilities, and infrastructure and rehabilitation work. Founded in 1999, the Company is asset based and self-performs as a general contractor with nearly 300 employees.

The Company has diversified business streams, and customers rely on the Company's expertise to solve complex infrastructure problems in the rapidly growing Rocky Mountain region. Its environmental and civil experience uniquely position the Company to identify and execute on value-engineered opportunities and resolve constructability issues before the construction phase of project.

The consolidated and combined financial statements consist of IWP, the holding company, and its material subsidiaries, Iron Woman Construction and Environmental Services, LLC (IWCES or Iron Woman); QP Services, LLC (QP Services); Iron Woman Mining Services, LLC (IWMS) and its subsidiary, Iron Woman Idaho Mining Services, LLC (IWIMS); Elevated Clean-Up Services, LLC (Elevated); Iron Woman Logistic Services, LLC (IWLS); Iron Woman Federal Services, LLC (IWFS); Iron Woman Support Services, LLC (IWSS); and ITS Equipment, LLC (ITSE). The consolidated and combined financial statements of IWP and Integrating Technology & Standards, Inc. (ITS) are under common ownership and are collectively referred to as the "Company."

## **Note 2 - Significant Accounting Policies**

### ***Basis of Accounting***

The consolidated and combined financial statements of the Company have been prepared on the basis of generally accepted accounting principles (GAAP). The Company has elected to adopt certain accounting alternatives for private companies developed by the Private Company Council, including not to analyze potential variable interest entities (VIEs) for consolidation in common control relationships or situations.

### ***Operating Cycle***

The length of the Company's contracts varies, and certain contracts exceed one year in duration. All assets and liabilities related to construction contracts are classified as current based on the operating cycle.

### ***Principles of Consolidation and Combination***

The accompanying consolidated and combined financial statements include the accounts of Iron Woman Partners, LLC and Affiliate. Intercompany balances and transactions have been eliminated upon consolidation and combination.

### ***Use of Estimates***

The preparation of consolidated and combined financial statements in conformity with generally accepted accounting principles requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the consolidated and combined financial statements and the reported amounts of revenue and expenses during the reporting period. Actual results could differ from those estimates.

Work awarded to the Company is often the result of competitive bidding, and most of the Company's contracts are based on a fixed price rather than cost-plus or time and materials. Initial cost estimates supporting the Company's bids are based on facts and circumstances known at the time the estimates are made. Estimates of projected contract costs are continuously updated over the period of contract performance. Disagreements or disputes about the scope of the work may arise during contract performance, and change order negotiations may affect overall job profitability. Unsatisfactory performance of subcontractors may also adversely affect the Company's ultimate profitability. Most contracts pose risks for both the quality and timeliness of performance. Many contracts include liquidating or liquidated damage clauses to penalize the Company for failure to meet contractual deadlines.

## Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 2 - Significant Accounting Policies (Continued)

#### ***Checks Issued in Excess of Bank Balance***

Under the Company's cash management system, checks issued but not yet presented to the Company's bank frequently result in overdraft balances for accounting purposes and are classified as checks issued in excess of bank balance on the consolidated and combined balance sheet.

#### ***Credit Risk***

The Company extends trade credit to its customers on terms that are generally practiced in the construction industry.

The Company's trade receivables balance consists of amounts due from its customers and are stated at invoice amounts less retentions. An allowance for credit losses is established for amounts expected to be uncollectible over the contractual life of the trade receivables and contract assets. The Company collectively evaluates trade receivables and contract assets to determine the allowance for credit losses based on the aging of account balances, historical credit loss experience, customer concentrations, customer creditworthiness, the availability of mechanics' and other liens, and the existence of other sources of payment. The Company calculates the allowance using an expected loss model that considers the Company's actual historical loss rates adjusted for current economic conditions along with reasonable and supportable forecasts. The Company considers changes in customer, economic, market or other circumstances when making adjustments for reasonable and supportable forecasts. Uncollectible amounts are written off against the allowance for credit losses in the period they are determined to be uncollectible. Recoveries of amounts previously written off are recognized when received. The Company currently has no credit loss reserve. The Company's accounts receivable collateralize the Company's line of credit.

#### ***Inventory***

Inventory is stated at the lower of cost or net realizable value, with cost determined on the first-in, first-out (FIFO) method. Inventory is composed primarily of supplies and materials to be used in contracts.

#### ***Property and Equipment***

Property and equipment are recorded at cost. The straight-line method is used for computing depreciation and amortization. Assets are depreciated over their estimated useful lives, ranging from one to seven years. The cost of leasehold improvements is depreciated over the lesser of the length of the related leases or the estimated useful lives of the assets. Costs of maintenance and repairs are charged to expense when incurred.

#### ***Investment in Real Estate - Related Party***

Investments in limited liability companies (LLCs), including the real estate entity further described in Note 6, in which the Company has more than a minor interest (generally 3 to 5 percent) are accounted for using the equity method. Under the equity method, the investment is carried at cost, adjusted for the Company's proportionate share of undistributed earnings or losses. Impairment losses due to a decline in the value of the investment that is other than temporary are recognized when incurred. No impairment losses were recognized for 2023 and 2022.

#### ***Accrued Liabilities***

Accrued liabilities primarily include accrued payroll and bonuses and related taxes, employee benefits, and accrued sales and use taxes.

#### ***Surety Bonds***

As a condition for entering into some of its construction contracts, the Company had outstanding surety bonds as of December 31, 2023 and 2022.

## Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 2 - Significant Accounting Policies (Continued)

#### *Revenue Recognition*

The Company's primary revenue streams are generated from long-term construction contracts to provide utilities, mining, and environmental services, as well as inspection and testing of underground infrastructure, to cities, municipalities, real estate developers, land owners, and owners of mines. The Company also generates revenue from trucking and hauling services, including the sale of materials, on a time and materials basis. The Company also generates revenue from one contract for the storage of materials for a customer.

Long-term construction contracts are the most common source of revenue for the Company and include promises to provide services in accordance with the customer's approved plans and specifications and are typically delivered for a stipulated lump-sum amount. The typical length for these contracts is 9 to 18 months. Total revenue related to these contracts was approximately \$79,370,000 and \$91,100,000 in 2023 and 2022, respectively.

Trucking, hauling, and other short-term contracts, including the sale of materials, are entered into when a customer reaches out to the Company with a specific need through a work order to provide materials to a specific location. These agreements are typically related to a single task or various interrelated tasks that are short-term time commitments. The Company will order and ship the needed materials to the specified location. The Company will typically issue one invoice and bill upon completion of the service. Revenue is recorded over time as the performance obligation is met. The typical length for this type of job is within one day. Total revenue related to these contracts was approximately \$21,580,000 and \$21,700,000 in 2023 and 2022, respectively.

The storage contract was entered into because the customer has an ongoing and, in many cases, urgent need for materials. In exchange for a promise to always keep a specified minimum amount of materials on hand at all times, the Company receives an agreed-upon amount on a monthly basis. The length of this contract was five years through July 31, 2023, was extended through December of 2023, and then was extended another five-years subsequent to year end. Total revenue related to this contract was approximately \$1,150,000 and \$1,100,000 in 2023 and 2022, respectively.

During 2023, two contracts in progress experienced downward revisions in estimated total gross profit of approximately \$(6,900,000) compared with profitability projections for those same contracts as of December 31, 2022. These downward revisions in total estimated gross profit were treated as changes in estimates during 2023, as the situations giving rise to these downward revisions were not known or knowable as of December 31, 2022. These downward revisions are partially offset by net estimated total profitability increases of approximately \$1,500,000 on all other contracts that were uncompleted as of December 31, 2022 compared with current year estimated total gross profit as of December 31, 2023 for those same contracts.

#### *Timing of Performance Obligations*

The Company typically satisfies its performance obligations as goods are delivered and as services are rendered.

For long-term construction contracts, the Company's contracts typically include only one performance obligation for a transaction price explicitly stated in the contract. Revenue is recognized over time using contract costs incurred to date as a percentage of estimated total contract costs as the measure of progress toward complete satisfaction of the performance obligation. Contract costs include all direct material and labor costs and those indirect costs related to contract performance, such as indirect labor, supplies, tools, repairs, and depreciation costs.

## Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 2 - Significant Accounting Policies (Continued)

The Company records revenue from trucking and hauling services based on hours and miles incurred times an agreed-upon rate. This work is a single performance obligation for each work order. Progress toward completion is measured by the specific time and miles incurred under these work orders. Revenue is recognized over time using the right to invoice practical expedient. As the timing of performance for trucking and hauling services is typically trivially short, revenue is recognized and billed upon completion of the trucking and hauling services.

When the Company does identify multiple performance obligations, progress toward satisfying these performance obligations uses the same measures of progress discussed above.

#### Determining and Allocating the Transaction Price

The transaction price of a contract is the amount of consideration to which the Company expects to be entitled in exchange for transferring promised goods or services to a customer. Transaction prices do not include amounts collected for sales taxes.

To determine the transaction price of a contract, the Company considers its customary business practices and the terms of the contract. For the purpose of determining transaction prices, the Company assumes that the goods or services will be transferred to the customer as promised in accordance with existing contracts and that the contracts will not be canceled, renewed, or modified.

Expected contract values are agreed to prior to the commencement of work. Contract modifications to changes in scope and amounts are approved in writing as change orders. Change orders are ordinary and customary during the construction process and typically modify existing performance obligations; therefore, change orders are typically recognized using the cumulative catch-up method.

For some contracts, the amount of consideration to which the Company will be entitled is variable based on quantity estimates and change orders in progress. Under those contracts, some or all of the consideration for satisfied performance obligations is contingent on events over which the Company has no direct influence. For example, with regard to contracts with significant outstanding change orders, the Company will not know the actual price until the change order is signed. The Company excludes amounts of variable consideration from a contract's transaction price (and from the Company's disclosure of the amounts of contract transaction prices allocated to remaining performance obligations) to the extent that revenue would be subject to significant future reversals. None of the Company's contracts have a significant financing component.

When the Company has identified multiple performance obligations, the Company allocates the transaction price into what the Company expects to bill for each performance obligation.

#### Significant Payment Terms

Under the typical payment terms, progress billings are submitted monthly to the customer based on the work completed. Payment is generally due within 45 days.

#### Warranties

Most contracts entered into by the Company provide for an industry-standard one-year period of correction from the date of substantial completion for work not completed in accordance with the contract. These warranties are not a separate performance obligation. Warranty expenditures have been infrequent and rare, and the Company does not sell warranties separately.

#### Contract Balances

Contract assets are recorded when the Company recognizes revenue in excess of the amounts billed to the customer on uncompleted contracts, along with retention receivables. Contract liabilities are recorded when customers are billed in excess of revenue recognized on uncompleted contracts.

## Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 2 - Significant Accounting Policies (Continued)

Opening balances of trade receivables, retentions, costs and estimated earnings in excess of billings on uncompleted contracts, and billings in excess of costs and estimated earnings on uncompleted contracts as of January 1, 2022 were \$16,744,393, \$3,007,074, \$1,748,864, and \$6,276,924, respectively.

#### **Costs of Obtaining and Fulfilling a Contract with a Customer**

Costs to obtain a contract with a customer are generally incurred regardless of whether the contract was obtained and are expensed as incurred. Costs incurred in fulfilling a contract with a customer are recorded as contract costs, as these costs are considered necessary for progress toward completion on the contract. Contract costs include all direct material, labor, and subcontract costs and certain allocated indirect costs.

#### **Provisions for Estimated Losses**

Provisions for estimated losses on uncompleted contracts are recognized in the period in which such losses are determined. Changes in job performance, conditions, and estimated profitability may result in revisions to costs and income and are recognized in the period in which they are determined. Due to uncertainties inherent in the estimating process, it is at least reasonably possible that, in the near term, the Company will revise its cost and profit estimates related to construction contracts in progress.

#### **Leases**

The Company has operating leases, as described in Note 10. The Company recognizes expense for operating leases on a straight-line basis over the lease term. The Company elected to use the risk-free rate as the discount rate for calculating the right-of-use asset and lease liability in place of the incremental borrowing rate for its operating leases.

The Company has other operating leases with a lease term of one year or less that the Company elected to account for as short-term leases. As these leases are short-term leases, they are not included in the right-of-use asset and lease liability.

#### **Income Taxes**

Pursuant to provisions of the Internal Revenue Code, ITS has elected to be taxed as an S corporation. Generally, the income of an S corporation is not subject to federal income tax at the corporate level, but rather the stockholder is taxed on the corporation's taxable income or loss, irrespective of whether dividends have been paid. Accordingly, no provision for federal income taxes has been made in the accompanying consolidated and combined financial statements.

IWP is a limited liability company and elected to be treated as a partnership for federal income tax purposes. Accordingly, federal income taxes are not payable or provided for by IWP. The members are taxed individually on limited liability companies' earnings.

#### **Advertising Expense**

Advertising expense is charged to income during the year in which it is incurred. Advertising expense for 2023 and 2022 was \$291,145 and \$401,882, respectively.

#### **Entities Under Common Control**

The Company has elected to apply the private company accounting alternative for accounting for variable interest entities. Under this accounting alternative the Company is not required to apply the variable interest entity guidance when determining whether it is required to consolidate legal entities that are under common control that meet certain criteria. Instead, the determination of whether these legal entities under common control are consolidated is based on whether the Company controls the legal entities based on its direct voting rights in those entities.

Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

**Note 2 - Significant Accounting Policies (Continued)**

**Adoption of Accounting Pronouncement**

As of January 1, 2023, the Company adopted Financial Accounting Standards Board (FASB) Accounting Standards Update (ASU) No. 2016-13, *Financial Instruments - Credit Losses: Measurement of Credit Losses on Financial Instruments*. The ASU includes changes to the accounting and measurement of financial assets, including the Company's contracts receivable and contract assets. The amendments in this ASU reflect an entity's current estimate of all expected credit losses using reasonable and supportable forecasts. The Company adopted the ASU using the modified retrospective transition method as of January 1, 2023. The adoption of this standard did not have a significant effect on the Company's consolidated and combined financial statements.

**Subsequent Events**

The consolidated and combined financial statements and related disclosures include evaluation of events up through and including June 28, 2024, which is the date the consolidated and combined financial statements were available to be issued.

**Note 3 - Contracts in Progress**

Costs and estimated earnings on contracts in progress at December 31, 2023 and 2022 are as follows:

	<u>2023</u>	<u>2022</u>
Costs incurred on uncompleted contracts	\$ 196,361,621	\$ 131,460,035
Estimated earnings on uncompleted contracts	47,944,043	36,421,071
Total costs and estimated earnings on uncompleted contracts	244,305,664	167,881,106
Billings to date	<u>243,478,001</u>	<u>167,550,309</u>
Total	<u>\$ 827,663</u>	<u>\$ 330,797</u>
Consolidated and combined balance sheet classification:		
Costs and estimated earnings in excess of billings on uncompleted contracts	\$ 3,177,379	\$ 4,355,187
Billings in excess of costs and estimated earnings on uncompleted contracts	<u>(2,349,716)</u>	<u>(4,024,390)</u>
Total	<u>\$ 827,663</u>	<u>\$ 330,797</u>

**Note 4 - Backlog**

The following schedule shows a reconciliation of backlog representing the amount of revenue the Company expects to realize from work to be performed on uncompleted contracts in progress at December 31, 2023 and 2022 and from contractual agreements on which work has not yet begun:

	<u>2023</u>	<u>2022</u>
Balance - Beginning of year	\$ 46,757,106	\$ 74,766,125
New contracts and contract adjustments during the year	78,194,610	77,582,414
Subtotal	124,951,716	152,348,539
Long-term contract revenue earned	<u>(87,470,730)</u>	<u>(105,591,433)</u>
Balance - End of year	<u>\$ 37,480,986</u>	<u>\$ 46,757,106</u>

Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

**Note 5 - Property and Equipment**

Property and equipment are summarized as follows:

	2023	2022
Equipment and vehicles	\$ 25,259,865	\$ 23,781,506
Capitalized software	3,462,725	-
Leasehold improvements	721,512	762,464
Office furniture and fixtures	388,208	533,301
Work in progress - Software and other	48,924	2,258,892
<b>Total cost</b>	<b>29,881,234</b>	<b>27,336,163</b>
<b>Accumulated depreciation and amortization</b>	<b>18,425,804</b>	<b>15,340,632</b>
<b>Net property and equipment</b>	<b>\$ 11,455,430</b>	<b>\$ 11,995,531</b>

Depreciation and amortization expense for 2023 and 2022 was \$4,282,781 and \$3,322,299, respectively. Depreciation charged to cost of revenue for the years ended December 31, 2023 and 2022 was \$4,277,915 and \$3,276,745, respectively. Depreciation and amortization charged to general and administrative expenses for the years ended December 31, 2023 and 2022 was \$4,866 and \$45,554, respectively.

**Note 6 - Investment in Real Estate - Related Parties**

Iron Woman has a 25 percent investment in 2200 W Radcliff, LLC (Radcliff), a party related through common ownership, accounted for using the equity method. Radcliff began operations during 2019. The Company's share of Radcliff's net income for the years ended December 31, 2023 and 2022 was \$15,893 and \$16,897, respectively. The balance of this investment at December 31, 2023 and 2022 was \$245,709 and \$229,816, respectively.

The Company has guaranteed a bank loan for Radcliff. In the event of a default by the affiliate, the Company could be obligated to repay the full amount outstanding on this loan. As of December 31, 2023, the maximum potential future obligations under this guarantee totaled \$2,098,512 and are payable through November 2028. In the event the Company is required to make payments under this guarantee, the Company could seek to recover those amounts from the affiliate; however, the Company does not hold specific recourse or collateral rights in connection with the guarantee. As of December 31, 2023, the Company is unaware of any circumstances that would require performance under this guarantee.

Iron Woman has a 25 percent investment in 5102 Emporia Way, LLC (Emporia), a party related through common ownership, accounted for using the equity method. Emporia began operations during 2021. The Company's share of Emporia's net income for the years ended December 31, 2023 and 2022 was \$2,038 and \$1,816, respectively. The balance of this investment at December 31, 2023 and 2022 was \$30,570 and \$28,532, respectively.

**Note 7 - Accrued Liabilities**

The following is the detail of accrued liabilities:

	2023	2022
Accrued compensation	\$ 1,512,991	\$ 891,768
Provision for estimated losses on uncompleted contracts	441,577	-
Accrued health and other insurance	126,140	111,849
Accrued sales and use tax	95,700	103,634
Other accrued liabilities	117,118	28,135
<b>Total</b>	<b>\$ 2,293,526</b>	<b>\$ 1,135,386</b>

Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

**Note 8 - Line of Credit**

Iron Woman, IWSS, QP Services, IWMS, and ITSE (collectively, the "IWP Entities") have a line of credit with a bank with maximum available borrowings of approximately \$7,000,000, less any issued letters of credit. Interest is payable monthly at a rate of 0.90 percent below the prime rate (an effective rate of 7.60 percent and 6.60 percent at December 31, 2023 and 2022, respectively). The balance on the line of credit was \$4,720,644 and \$0 as of December 31, 2023 and 2022, respectively. The line of credit is collateralized by all the assets of the IWP Entities; is guaranteed by IWP; and is subject to debt service coverage ratio and a total funded debt to earnings before interest, taxes, depreciation, and amortization (EBITDA) ratio. The line of credit matures in October 2025. Related to this line of credit, the IWP Entities have the additional ability to issue letters of credit. As of both December 31, 2023 and 2022, two letters of credit have been issued and are outstanding for a total of \$710,000, thus reducing the Company's availability on the line of credit to approximately \$1,570,000. Both letters of credit are set to expire in 2024.

At December 31, 2023, the Company was in violation of the total funded debt to EBITDA covenant. At March 31, 2024, the Company was in violation of the debt service coverage ratio and the total funded debt to EBITDA covenants. The Company is currently working through the waiver process with the bank and amending the line of credit, which has not been finalized as of the date these consolidated and combined financial statements were issued.

**Note 9 - Long-term Debt**

Long-term debt at December 31 is as follows:

	2023	2022
Various notes payable with a bank, with interest rates ranging from 2.99 percent to 4.48 percent, total monthly installments of \$51,025, maturing from April 2024 through December 2026, and collateralized by equipment and vehicles	\$ 615,147	\$ 1,480,783
Various notes payable with a bank, with interest rates ranging from 2.38 percent to 7.52 percent, total monthly installments of \$60,244, maturing from April 2023 to October 2029, and collateralized by equipment	1,133,538	900,291
Various notes payable with a bank, including the term debt issued as part of the revolving credit facility from Note 8, with interest rates ranging from 2.94 percent to 5.05 percent, total monthly installments of \$35,250, maturing from October 2024 through March 2026, and collateralized by equipment and vehicles	893,097	1,162,722
Two notes payable with a bank paid in full in 2023	-	10,544
A note payable with a bank paid in full in 2023	-	11,143
Various notes payable with a bank, with interest rates of 5.45 percent, monthly installments of \$30,509, maturing from October 2027 through January 2028, and collateralized by equipment	1,276,154	1,293,554
A note payable with a bank paid in full in 2023	-	236,400
Various notes payable with a bank, with interest rates of 2.90 percent to 6.13 percent, total monthly installments of \$80,006, maturing from December 2024 through June 2029, and collateralized by equipment	<u>2,067,760</u>	<u>3,649,782</u>
Long-term debt	5,985,696	8,745,219
Less current portion	<u>2,097,582</u>	<u>2,680,560</u>
Long-term portion	<u>\$ 3,888,114</u>	<u>\$ 6,064,659</u>

## Iron Woman Partners, LLC and Affiliate

# Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 9 - Long-term Debt (Continued)

The balance of the above debt matures as follows:

Years Ending	Amount
2024	\$ 2,097,582
2025	1,441,653
2026	1,295,673
2027	750,224
2028	287,614
Thereafter	<u>112,950</u>
Total	<u>\$ 5,985,696</u>

### Note 10 - Leases

The Company has third-party and related party operating leases for facilities, equipment, and vehicles, expiring at various dates through 2028. The related party leases are for facilities leased from Big Sky Commercial Property, LLC (Big Sky) and from Radcliff; both are controlled by an individual who controls the Company. The leases require the Company to pay taxes, insurance, utilities, and maintenance costs.

The Company leases equipment under long-term lease arrangements that are classified as finance leases and are due through 2024. The present values of the future lease payments have been capitalized and are being amortized over the lease term. Amortization of the leased property is included in depreciation expense.

At December 31, 2023 and 2022, property under finance leases consists of leased equipment with a gross cost of \$144,871. Accumulated depreciation on the property under finance leases was \$83,733 and \$72,354 at December 31, 2023 and 2022, respectively. These amounts are included in property and equipment - net on the consolidated and combined balance sheet.

Expenses recognized under these leases consist of the following:

	2023	2022
Lease cost:		
Finance lease cost:		
Amortization of right-of-use assets	\$ 19,316	\$ 62,146
Interest on lease liabilities	2,225	2,945
Operating lease cost - Related party	358,571	285,205
Operating lease cost - Third party	332,438	334,078
Short-term lease cost - Related party	135,086	196,037
Short-term lease cost - Third party	<u>4,974,820</u>	<u>5,132,164</u>
Total lease cost	<u>\$ 5,822,456</u>	<u>\$ 6,012,575</u>
Other information:		
Cash paid for amounts included in the measurement of lease liabilities:		
Operating cash flows from operating leases - Related party and third party	\$ 640,911	\$ 602,570
Financing cash flows from finance leases	52,565	32,232
Right-of-use assets obtained in exchange for new operating lease liabilities	2,620,631	742,926
Weighted-average remaining lease term in years - Finance leases	0.86	1.86
Weighted-average remaining lease term in years - Operating leases	4.26	2.82
Weighted-average discount rate - Finance leases	3.3 %	3.3 %
Weighted-average discount rate - Operating leases	3.8 %	1.6 %

## Iron Woman Partners, LLC and Affiliate

# Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 10 - Leases (Continued)

The future lease payments under operating and finance leases are as follows:

Years Ending December 31	Operating Leases - Related Party	Operating Leases - Third Party	Finance Leases	Total Payments
2024	\$ 567,914	\$ 338,886	\$ 21,299	\$ 928,099
2025	595,711	76,695	-	672,406
2026	624,877	24,000	-	648,877
2027	655,479	20,000	-	675,479
2028	687,590	-	-	687,590
Total	3,131,571	459,581	21,299	3,612,451
Less amount representing interest	344,682	6,593	1,335	352,610
Present value of future lease payments	2,786,889	452,988	19,964	3,259,841
Less current obligations	448,942	333,988	19,964	802,894
Long-term obligations under leases	\$ 2,337,947	\$ 119,000	\$ -	\$ 2,456,947

### Note 11 - Capital Stock and Members' Equity

The common stock of ITS consists of 50,000 authorized shares of no par value stock. As of December 31, 2023 and 2022, there were 42,914 shares issued and outstanding.

The membership interests of IWP consist of A units and B units. IWP is authorized to issue up to 3,000,000 A units and 5,000,000 B units. During the years ended December 31, 2023 and 2022, the Company issued 146 B units to employees in exchange for \$1,580 cash and 21,177 B units to employees in exchange for \$214,095 cash, respectively. During the year ended December 31, 2023, the Company issued 193,165 A units to an existing member for \$2,600,000 cash, which was funded by utilizing cash borrowed by Big Sky and distributed to the controlling member of Big Sky.

During the years ended December 31, 2023 and 2022, members redeemed 15,361 B units valued at \$163,823 and 38,643 B units valued at \$344,288, respectively. As of December 31, 2023 and 2022, 1,114,470 and 921,305 A units, respectively, were issued and outstanding. As of December 31, 2023 and 2022, 1,270,459 and 1,285,944 B units, respectively, were issued and outstanding.

#### **Voting**

A unit holders are entitled to vote on all matters. B unit holders are not entitled to vote on matters presented to the Company's members for approval, except to the extent the consent of the B unit holders is specifically requested by the managers.

#### **Additional Capital Contributions**

Upon recommendation of the managers of the Company and affirmative vote of voting members holding a majority interest, each A unit holder may be required to contribute additional capital. B units are not subject to making additional capital contributions. No capital calls are outstanding as of December 31, 2023.

## Notes to Consolidated and Combined Financial Statements

December 31, 2023 and 2022

### Note 11 - Capital Stock and Members' Equity (Continued)

#### ***Buy, Sell Agreement***

In the event a member desires to dispose of a membership interest, the member shall make a written offer to sell at a price equal to the damage price, as defined in the agreement. If the Company fails to accept or assign the member's offer, then the member shall make such interests available for purchase by any employee-member of the Company upon the same terms. A unit holders have the first priority to purchase the interests, and B unit holders have second priority. No membership interests are open for repurchase as of December 31, 2023 or 2022.

### Note 12 - Related Party Transactions

The following is a description of transactions between the Company and related parties:

#### ***Employee Receivables***

At December 31, 2023 and 2022, the Company had receivables due from employees totaling \$128,273 and \$147,439, respectively.

Employee receivables of \$74,893 are expected to be repaid during 2024. The remaining \$53,380 is expected to be collected through 2030.

#### ***Due from Members***

The Company has advanced two members a cumulative total of \$679,978 through December 31, 2023, which accrues interest at the prime rate (8.50 percent and 7.50 percent at December 31, 2023 and 2022, respectively), which has been repaid during 2024. The balance outstanding at December 31, 2023 and 2022 was \$679,978 and \$290,002, respectively.

During 2019, the Company entered into a long-term note receivable with a member, with no stated interest rate or maturity date, for \$104,600. During 2021, the long-term note receivable was amended to increase the note by \$90,000, for total balance of \$194,600, and amended the interest rate to 1 percent and the maturity date to September 1, 2033. As of December 31, 2023 and 2022, the balance outstanding was \$132,000 and \$137,800, respectively.

#### ***Notes Receivable***

During 2020, the Company advanced \$2,000,000 to New Beginnings Insurance Company (NBIC), a party related through common ownership, in exchange for a note receivable with interest calculated at 5 percent simple interest, due on demand but no later than December 31, 2030. At December 31, 2023 and 2022, the balance outstanding was \$525,000 and \$1,000,000, respectively.

During 2021, the Company paid tax and legal costs of \$363,971 for GEN-1 Insurance Company (SP) in exchange for a note receivable with no stated interest rate or maturity date. The balance was paid in full during the year ended December 31, 2022.

#### ***Subordinated Note Payable***

The Company has a long-term note payable agreement with a member with an interest rate of prime less 1 percent (an effective rate of 7.50 percent and 6.50 percent at December 31, 2023 and 2022, respectively), and this note is expected to be paid in full during 2024. As of both December 31, 2023 and 2022, the balance of this note payable was \$1,000,000.

#### ***Expenses Paid***

For the years ended December 31, 2023 and 2022, the Company paid \$39,160 and \$47,544, respectively, related to insurance premiums and taxes to NBIC.

**Notes to Consolidated and Combined Financial Statements**

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**December 31, 2023 and 2022**

**Note 12 - Related Party Transactions (Continued)**

For the years ended December 31, 2023 and 2022, the Company paid \$446,960 and \$560,722 to Big Sky and Radcliff, respectively, of which \$42,879 and \$43,538 related to property taxes and other expenses. The remaining amounts were for lease expenses, as discussed in Note 10.

For the years ended December 31, 2023 and 2022, the Company paid \$35,354 and \$43,264, respectively, for rent to Emporia, an entity related by common ownership.

***Guarantee***

The Company and various other related parties have guaranteed a bank loan of Big Sky. The bank loan is subject to various financial covenants of both Big Sky and the Company. In the event of a default by Big Sky, the Company could be obligated to repay the full amount outstanding on this loan. As of December 31, 2023, the maximum potential future obligations under this guarantee totals \$3,600,000 and is payable through November 2028. In the event the Company is required to make payments under this guarantee, the Company could seek to recover those amounts from Big Sky; however, the Company does not hold specific recourse or collateral rights in connection with the guarantee. As of December 31, 2023, the Company is unaware of any circumstances that would require performance under this guarantee.

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## Supplemental Information

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**Independent Auditor's Report on Supplemental Information**

To the Board of Directors and Members  
Iron Woman Partners, LLC and Affiliate

We have audited the consolidated and combined financial statements of Iron Woman Partners, LLC and Affiliate as of and for the years ended December 31, 2023 and 2022 and have issued our report thereon dated June 28, 2024, which contained an unmodified opinion on those consolidated and combined financial statements. Our audits were performed for the purpose of forming an opinion on the consolidated and combined financial statements as a whole. The supplemental consolidated and combined schedule of general and administrative expenses, consolidated and combined schedule of contracts, consolidating and combining balance sheet, and consolidating and combining statement of operations are presented for the purpose of additional analysis rather than to present the financial position, results of operations, and cash flows of the individual companies and are not a required part of the consolidated and combined financial statements. Such information is the responsibility of management and was derived from, and relates directly to, the underlying accounting and other records used to prepare the consolidated and combined financial statements. The information has been subjected to the auditing procedures applied in the audits of the consolidated and combined financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the consolidated and combined financial statements or to the consolidated and combined financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the information is fairly stated in all material respects in relation to the consolidated and combined financial statements as a whole.

*Plante & Moran, PLLC*

June 28, 2024

**Iron Woman Partners, LLC and Affiliate**

**Consolidated and Combined Schedule of General and Administrative Expenses**

**Years Ended December 31, 2023 and 2022**

	2023		2022	
	Amount	Percent of Total	Amount	Percent of Total
Salaries and wages	\$ 6,291,501	56.4	\$ 5,987,893	54.5
Professional fees	1,121,252	10.1	1,180,174	10.7
Office	862,368	7.7	710,948	6.5
Rent	764,886	6.9	710,564	6.5
Insurance	622,903	5.6	548,692	5.0
Advertising and business development	291,145	2.6	401,882	3.7
Insurance - Officer life	287,908	2.6	281,004	2.6
Travel and entertainment	231,298	2.1	309,921	2.8
Taxes - Other	195,817	1.8	272,998	2.5
Recruiting	142,135	1.3	236,654	2.2
Vehicles	129,175	1.2	82,138	0.7
Dues and subscriptions	110,429	1.0	104,062	0.9
Bad debt expense	75,686	0.7	13,251	0.1
Repairs and maintenance	65,108	0.6	68,384	0.6
Taxes and licenses	55,459	0.5	124,020	1.1
Contributions	52,662	0.5	93,625	0.9
Telephone and utilities	48,592	0.4	49,092	0.4
Director fees	29,018	0.2	4,524	0.1
Depreciation and amortization	4,866	-	45,554	0.4
Miscellaneous	1,084	-	(7)	-
Gain on disposal of property and equipment	(236,659)	(2.2)	(236,354)	(2.2)
<b>Total general and administrative expenses</b>	<b>\$ 11,146,633</b>	<b>100.0</b>	<b>\$ 10,989,019</b>	<b>100.0</b>

Consolidated and Combined Schedule of Contracts

Year Ended December 31, 2023

At December 31, 2023

Job Number	Job Description	Contract Value	Total Estimated Costs	Estimated Gross Profit	Gross Profit Percent	Revenues Earned	Costs of Revenues	Gross Profit	Billed To Date	Estimated Costs To Complete	Percent Complete	Costs And Estimated Earnings In Excess Of Billings	Billings In Excess Of Costs And Estimated Earnings
<b>Completed Contracts</b>													
IWCS-000038	Canyors P2 1st Amendment	6,080,798	5,003,722	1,077,076	18%	6,080,798	5,003,722	1,077,076	6,080,798	-	100%	-	-
IWCS-000048	Waste Management SLIC	4,843,245	4,075,381	767,864	16%	4,843,245	4,075,381	767,864	4,843,245	-	100%	-	-
IWCS-000049	Sprigg Valley Ranch F1	3,966,238	3,482,180	484,058	12%	3,966,238	3,482,180	484,058	3,966,238	-	100%	-	-
IWCS-000021	Sterling Ranch Filling 5B	2,789,383	2,437,280	352,103	13%	2,789,383	2,437,280	352,103	2,789,383	-	100%	-	-
IWCS-000027	Canyors Secondary Water Loop	2,593,543	2,756,678	(163,135)	-6%	2,593,543	2,756,678	(163,135)	2,593,543	-	100%	-	-
IWDM-000005	Jervois T&M/Task Order #1	2,269,743	2,019,620	250,123	11%	2,269,743	2,019,620	250,123	2,269,743	-	100%	-	-
IWCS-000082	S. Wolcott at Sanderson Gulch	2,245,338	1,629,606	615,732	27%	2,245,338	1,629,606	615,732	2,245,338	-	100%	-	-
IWCS-000026	Herriman Park Waterline	2,239,541	1,791,970	447,571	20%	2,239,541	1,791,970	447,571	2,239,541	-	100%	-	-
IWCS-000029	2022 Coudant Valve Replacement	1,996,613	1,961,372	35,241	2%	1,996,613	1,961,372	35,241	1,996,613	-	100%	-	-
IWCS-000037	Sterling Ranch Filling 5A	1,884,205	1,471,635	412,570	22%	1,884,205	1,471,635	412,570	1,884,205	-	100%	-	-
IWCS-000030	Prattie Center Lot 4	1,779,067	1,440,906	338,161	19%	1,779,067	1,440,906	338,161	1,779,067	-	100%	-	-
IWCS-000035	McNulty Gulch Soil Salvage	1,693,244	1,421,927	284,862	17%	1,693,244	1,421,927	284,862	1,693,244	-	100%	-	-
QPS-000164	97th ST Water Main Replacement	1,087,788	750,169	337,619	31%	1,087,788	750,169	337,619	1,087,788	-	100%	-	-
	Small completed jobs	10,840,130	8,122,450	2,717,680	25%	10,840,130	8,122,450	2,717,680	10,840,130	-	100%	-	-
		<b>48,015,685</b>	<b>39,980,156</b>	<b>8,035,529</b>	<b>17%</b>	<b>48,015,685</b>	<b>39,980,156</b>	<b>8,035,529</b>	<b>48,015,685</b>	<b>-</b>	<b>100%</b>	<b>-</b>	<b>-</b>

Uncompleted Contracts

d/a	Denver Water Materials	58,658,043	39,102,495	19,555,548	33%	58,658,043	39,102,495	19,555,548	58,658,043	-	100%	-	-
IWCS-000027	Sterling Ranch 3ABC Wtr	40,943,322	31,489,950	9,453,372	23%	40,938,379	31,486,148	9,452,231	40,926,891	-	100%	11,488	-
IWCS-000025	Legato	23,349,843	20,287,480	3,062,363	13%	23,349,843	20,282,156	3,067,687	23,349,709	-	100%	-	(40,572)
IWCS-000042	Heron Pond-CS Park	20,659,830	23,937,791	(3,277,961)	-16%	17,965,210	21,243,471	(3,277,961)	16,756,593	2,694,620	87%	1,238,617	(45,650)
IWCS-000109	Painted Prairie Fig. 4, Onsite Improvements	16,928,819	14,396,657	2,532,162	15%	4,233,827	3,600,544	633,283	4,279,477	10,796,113	25%	4,279,477	-
IWCS-000113	Jackson Street Storm Phase 2	16,273,566	13,806,589	2,466,977	15%	2,466,977	2,070,107	396,870	2,184,722	11,726,482	15%	255,274	-
d/a	Waste Management projects	13,087,443	11,349,872	1,737,571	13%	13,087,443	12,713,753	373,690	13,087,443	-	100%	-	-
IWCS-000034	Koppers Q56	12,505,132	12,902,159	(397,027)	-3%	13,087,443	12,713,753	373,690	12,460,542	188,406	98%	-	(13,316)
IWDM-000028	Silbrite TCRA 2023	7,469,035	5,626,586	1,842,449	25%	7,469,035	5,626,586	1,842,449	7,469,035	-	100%	-	-
IWCS-000024	Trellis @ Stondy Hill	6,692,791	5,788,473	904,318	14%	6,288,108	5,438,470	849,638	6,152,481	313,025	94%	135,627	-
IWCS-000105	Boonville Steam Pump Station and Pipeline F	6,242,298	5,565,824	676,474	11%	6,242,298	5,303,509	938,789	6,242,298	2,783,645	50%	724,125	(363,461)
IWPCS-000023	BUCKLEY WATER LINE PHASE 2	4,670,379	4,179,734	490,645	11%	4,670,379	4,084,780	585,599	4,670,379	94,954	98%	-	-
IWCS-000091	Canyors Fig. 3	4,226,560	4,550,136	(323,576)	-7%	4,226,560	4,319,538	(98,978)	4,226,560	210,778	95%	103,981	(37,948)
IWCS-000056	DEN Concrete Expansion	3,925,150	3,349,317	575,833	15%	3,925,150	3,349,317	575,833	4,226,746	147	100%	-	(186)
IWCS-000057	SPNAC Creek Improvement	3,249,717	2,613,577	636,140	20%	3,908,557	3,058,480	850,077	3,925,650	13,000	100%	-	(1,86)
IWPCS-000021	BUCKLEY WATER LINE PHASE 1	3,064,715	2,324,527	740,188	24%	3,749,717	2,613,577	1,136,140	3,749,717	-	100%	-	-
IWCS-000045	Agrium Fertilizer	3,058,852	2,283,173	775,679	25%	3,058,852	2,315,717	743,135	3,058,852	3,415,047	100%	-	(13,403)
IWCS-000041	Grand View at Interlocken	3,498,164	3,004,696	493,468	14%	3,498,164	3,172,883	325,281	3,497,959	147,153	94%	105	-
IWCS-000104	Clintac Trail Farm & Excavation	3,008,874	2,291,943	716,931	24%	2,909,066	2,372,883	536,183	3,018,322	896	89%	-	(109,256)
QPS-000053	Historic Vevare and Drainage	2,852,077	1,826,951	1,025,126	36%	2,852,077	1,660,851	1,191,226	2,205,777	711,180	91%	387,794	-
IWCS-000040	Compak Village South Aprt	1,754,110	1,144,660	609,450	35%	1,577,207	1,029,007	548,200	1,749,449	491,262	75%	38,413	-
IWCS-000108	Lorain Heights Federal Storm Reoult	12,389,115	9,292,959	3,096,156	25%	11,251,429	8,007,238	3,244,191	11,623,745	1,115,053	90%	291,955	(17,742)
	Small uncompleted contracts	281,786,690	\$ 228,751,293	\$ 53,035,397	19%	\$ 244,005,044	\$ 196,361,621	\$ 47,643,423	\$ 248,478,001	\$ 32,389,772	86%	\$ 1,177,379	\$ (2,349,716)

Iron Woman Partners, LLC and Affiliate

Consolidating and Combining Balance Sheet

Year Ended December 31, 2023

Consolidated and Combined

	MMS		QP Services		ITS Equipment		MSS & MWP		MWCS		Eliminated		MWS		Eliminations		Combined		
<b>Current assets</b>																			
Cash	\$ 4,913	\$ 62,697	\$ 128,541	\$ -	\$ -	\$ 1,453,213	\$ 989,385	\$ -	\$ 334,450	\$ 74,047	\$ -	\$ 3,047,246	\$ -	\$ -	\$ -	\$ -	\$ 3,047,246	\$ -	
Receivables:																			
Trade	2,868,864	697,719	1,914,695	4,995,232	7,937,689	2,866,204	2,866,204	3,080,178	697,894	(39,146,843)	15,778,448	2,866,204	2,866,204	3,080,178	(39,146,843)	15,778,448	2,866,204	2,866,204	
Due from Intercompany	567,293	7,642,986	4,161,026	14,805,564	17,171,461	22,329,884	22,329,884	12,449,858	4,403,281	(62,643,811)	1,111,000	1,111,000	1,111,000	(1,111,000)	1,111,000	1,111,000	1,111,000	1,111,000	
Due from Members	-	-	8,500	13,052	20,348	27,521	27,521	27,521	5,482	-	74,893	74,893	74,893	-	-	74,893	74,893	74,893	74,893
Contract assets:																			
Costs and estimated earnings in excess of billings on uncompleted contracts	-	-	606,417	-	-	-	2,559,842	11,120	-	11,120	-	3,177,379	-	-	-	3,177,379	-	3,177,379	3,177,379
Receivables	-	-	111,077	209,416	-	579,978	4,531,208	285,289	522,500	-	5,164,783	-	5,164,783	-	-	5,164,783	-	5,164,783	5,164,783
Inventory	-	-	380,813	-	-	891,986	3,593,221	579,978	1,375	-	5,792,978	-	5,792,978	-	-	5,792,978	-	5,792,978	5,792,978
Prepaid expenses and other current assets	-	46,578	67,006	95,623	-	891,986	30,029	-	13,755	-	833,080	-	833,080	-	-	833,080	-	833,080	833,080
Total current assets	\$ 3,439,060	\$ 8,715,162	\$ 7,996,037	\$ 20,078,676	\$ 27,751,655	\$ 62,009,547	\$ 216,348	\$ 16,323,518	\$ 9,161,072	\$ (121,790,654)	\$ 33,001,021	\$ 120,881	\$ (3,416,076)	\$ 29,705,828	\$ 11,455,430	\$ 11,455,430	\$ 29,705,828	\$ 11,455,430	\$ 11,455,430
<b>Property and Equipment - Net</b>																			
Right-of-use Operating Lease Assets - Net	-	-	-	-	-	-	78,559	-	-	-	-	-	-	-	-	-	-	-	-
Property and equipment	-	89,130	26,539	8,264,564	2,987,884	3,998,419	3,998,419	3,188,549	-	-	3,188,549	-	3,188,549	-	-	3,188,549	-	3,188,549	3,188,549
Accumulated depreciation	-	-	-	-	-	-	2,792,279	-	-	-	-	-	-	-	-	-	-	-	-
Notes Receivable - Related parties	-	-	29,781	-	-	65,000	65,000	-	-	-	65,000	-	65,000	-	-	65,000	-	65,000	65,000
Due from Members and Employees	-	-	1,800	1,000	-	15,450	-	-	-	-	20,050	-	20,050	-	-	20,050	-	20,050	20,050
Total assets	\$ 3,439,060	\$ 8,804,292	\$ 7,754,157	\$ 28,343,840	\$ 31,355,138	\$ 65,544,294	\$ 1,000	\$ 16,323,518	\$ 9,161,072	\$ (121,790,654)	\$ 49,851,709	\$ 3,792,751	\$ (2,087,346)	\$ 48,356,514	\$ 11,455,430	\$ 11,455,430	\$ 48,356,514	\$ 11,455,430	\$ 11,455,430
<b>Current liabilities</b>																			
Accounts payable	-	-	-	-	-	-	103,294	-	-	-	103,294	-	-	-	-	103,294	-	103,294	103,294
Trade	(589)	347,193	250,498	774,759	756,882	10,304,339	553,051	1,130,953	211,985	13,775,991	18,308	(3,182,836)	619,256	13,794,299	619,256	13,794,299	619,256	13,794,299	619,256
Receivables	4,407,263	247,733	5,174,339	3,792,659	10,194,247	11,822,940	28,555,324	9,531,134	1,465,937	1,458,716	229,518	2,807,418	(3,182,836)	2,807,418	(3,182,836)	2,807,418	2,807,418	2,807,418	
Due to - Intercompany	602,450	6,234,544	4,834,711	19,227,702	14,466,773	4,120,544	790,212	5,039,315	5,039,315	-	4,720,444	-	4,720,444	-	-	4,720,444	-	4,720,444	4,720,444
Liabilities	-	-	-	2,097,292	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Current portion of long-term debt	-	22,716	-	19,864	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Current portion of operating lease liability	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Current portion of finance lease liability	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Contract liabilities- Billings in excess of earnings on uncompleted contracts	-	-	-	-	-	-	1,365,154	-	-	-	238,171	-	-	-	-	238,171	-	-	-
Subordinated note payable - Related party	-	302,923	388,159	46,688	569,574	1,000,000	1,000,000	181,654	-	-	2,349,716	-	-	2,349,716	-	2,349,716	-	2,349,716	2,349,716
Accrued liabilities	15,529	7,223,930	10,850,597	22,065,843	25,977,246	58,654,787	1,115,704	13,089,659	6,559,072	(121,790,654)	2,203,471	30,056	(3,416,076)	2,293,526	2,293,526	2,293,526	2,293,526	2,293,526	
Deferred current liabilities	-	-	-	3,868,114	-	2,390,535	-	-	-	-	3,031,588	-	-	3,031,588	-	3,031,588	-	3,031,588	3,031,588
Total current liabilities	\$ 5,009,794	\$ 7,290,332	\$ 10,930,507	\$ 28,953,782	\$ 25,977,246	\$ 61,045,002	\$ 1,115,704	\$ 13,089,659	\$ 6,559,072	\$ (121,790,654)	\$ 34,550,557	\$ 3,031,588	\$ (3,416,076)	\$ 34,165,045	\$ 34,165,045	\$ 34,165,045	\$ 34,165,045	\$ 34,165,045	\$ 34,165,045
<b>Long-term Debt - Net of current portion</b>																			
Operating Lease Liabilities - Net of current portion	-	69,412	-	-	-	2,390,535	-	-	-	-	3,031,588	-	-	3,031,588	-	3,031,588	-	3,031,588	3,031,588
Stockholder's and Member (Deficit) Equity	(1,570,644)	1,513,960	(3,726,344)	2,380,178	5,377,692	4,499,292	(798,812)	4,233,830	2,202,000	-	14,121,152	761,183	(3,671,870)	11,210,465	11,210,465	11,210,465	11,210,465	11,210,465	11,210,465
Total liabilities stockholder's and member (Deficit) Equity	\$ 3,439,060	\$ 8,804,292	\$ 7,154,157	\$ 28,343,840	\$ 31,355,138	\$ 65,544,294	\$ 316,892	\$ 16,323,518	\$ 9,161,072	\$ (121,790,654)	\$ 49,851,709	\$ 3,792,751	\$ (2,087,346)	\$ 48,356,514	\$ 48,356,514	\$ 48,356,514	\$ 48,356,514	\$ 48,356,514	\$ 48,356,514

Iron Woman Partners, LLC and Affiliate

Consolidating and Combining Statement of Operations

Year Ended December 31, 2023

	GP Services	MMS	MMS	MCS	ITS Equipment	WSS & MP	WCES	Eliminations	Revised	MLS	Consolidated LMP	ITS	Eliminations	Consolidated
Revenue	\$ 6,976,019	\$ 209,539	\$ 9,204,507	\$ 5,611,153	\$ 11,992,856	\$ -	\$ 57,842,944	\$ (13,718,308)	\$ 59,470	\$ 23,996,014	\$ 102,104,194	\$ 1,284,406	\$ (1,284,406)	\$ 102,104,194
Cost of Revenue	5,718,816	481,733	7,347,131	4,063,069	11,156,838	(11,486)	59,609,630	(13,718,308)	105,156	17,243,298	91,875,877	1,320,892	(1,284,406)	92,012,363
Gross Profit	1,257,203	(272,194)	1,857,376	1,548,084	836,018	11,486	(1,766,686)	-	(45,686)	6,682,716	10,728,317	(35,486)	-	10,091,831
General and Administrative Expenses	1,224,623	250,628	545,677	520,224	49,165	(310,387)	5,964,564	-	189,687	2,287,889	10,711,872	434,761	-	11,146,633
Operating Income (Loss)	22,580	(522,820)	1,311,699	1,027,860	806,853	321,873	(7,731,250)	-	(235,373)	4,415,033	(583,555)	(471,247)	-	(1,054,822)
Other Income (Expenses)	-	-	-	-	-	58,952	-	-	-	-	58,952	-	-	58,952
Interest Income	-	-	-	-	-	(478,243)	-	-	-	(1,409)	(868,924)	-	-	(868,924)
Other (expense) Income	(69)	498	694	2,703	(20,517)	(27,471)	289	-	-	(903)	(113,579)	(189)	-	(113,768)
Equity in the earnings of investments in real estate in other (expense) income	(71,059)	498	894	2,703	(498,620)	(27,471)	1,862	-	-	(303)	(905,020)	(189)	-	(905,779)
Consolidated and Combined Net (Loss) Income	\$ (48,518)	\$ (622,322)	\$ 1,312,593	\$ 1,030,553	\$ 308,033	\$ (18,153)	\$ (7,729,089)	\$ -	\$ (235,373)	\$ 4,413,121	\$ (1,489,179)	\$ (471,486)	\$ -	\$ (1,960,551)

SECTION 00410

BID BOND

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned, RME Ltd., LLC dba Elite Surface Infrastructure, of the City of Englewood, County of Arapahoe, and State of Colorado (hereinafter called "Principal") as Principal and Axis Insurance Company (hereinafter called "Surety") as surety, a corporation organized and existing under and by virtue of the laws of the State of Illinois and authorized to do business within the state of Colorado and to act as surety on bonds for principals, are held and firmly bound unto Town of Elizabeth (hereinafter called "Owner") as obligee, in the sum of Ten Percent of the Amount Bid Dollars (\$ 10% of Amount Bid) in lawful money of the United States, for the payment of which sum, well and truly to be made, the Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted a Bid Form (Proposal) to enter into a certain written agreement with Owner for Construction of PROJECT, hereinafter referred to as "Agreement".

Project: 2025 Main Street Depot Parking Lot Improvements

NOW, THEREFORE, the condition of this obligation is such that if (1) Owner shall accept the Bid Form (Proposal) of the Principal and Principal shall faithfully enter into Agreement with the Owner in accordance with the terms of such Bid and give such Bonds as are specified in the Bidding or Contract Documents, or (2) in the event of the failure of Principal to enter such Agreement and give such Bond or Bonds, if Principal shall pay to Owner the difference not to exceed the sum hereof between the amount specified in said Bid and such larger amount for which Owner may in good faith contract with another party to perform the work covered by said Bid, then (3) this obligation shall be null and void, otherwise to remain in full force and effect. The sum of this Bid Bond is not less than 10% of the Principal's Bid.

The sum of this Bid Bond is Ten Percent of the Amount Bid, and subject to the conditions stated above, shall be forfeited to Owner in its entirety upon failure of Principal to perform as contemplated in clause (1) or (2) herein.

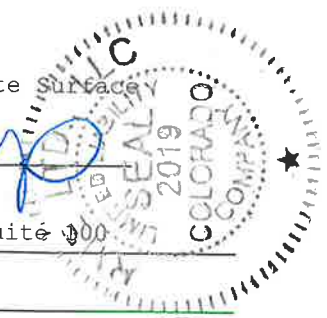
The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its Bond shall be in no way impaired or affected by any extension of the time within which the Owner may accept such Bid; and said Surety does hereby waive notice of any such extension.

Signed and sealed this 14 day of April, 2025.

PRINCIPAL: RME Ltd., LLC dba Elite Surface  
Infrastructure

By: [Signature]

Address: 115 Inverness Drive E, Suite 400  
Englewood, CO 80122



[Signature]  
Witness

SURETY: Axis Insurance Company

By: [Signature]  
Andrew Thome, Attorney-in-Fact

Address: 10000 Avalon Blvd., Suite 200  
Alpharetta, GA 30009



[Signature]  
Witness, Amanda L. Williams

Surety's No. 678-746-9400

**END OF SECTION**

State of Missouri  
County of St. Louis

On 4/14/2025, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Andrew Thome known to me to be Attorney-in-Fact of

**Axis Insurance Company**

the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of said corporation, and he duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.



**Amanda L. Williams**, Notary Public

AMANDA L. WILLIAMS  
Notary Public - Notary Seal  
STATE OF MISSOURI  
St. Louis County  
My Commission Expires: Jul. 24, 2025  
Commission # 13507257

My Commission Expires: \_\_\_\_\_

POWER OF ATTORNEY

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint:

Andrew Thome, Blake Messer, Donna Robson, Christina Culotta and Dana Johnessee.

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on September 27, 2023:

RESOLVED, that in connection with the Agreements, any one of the Chief Executive Officer, President, any Executive Vice President, any Senior Vice President of the Company, or any Vice President - Surety (each an "Authorized Officer"), acting singly, shall have the power and authority to appoint and revoke Attorneys-In-Fact, and to allow such Attorneys-In-Fact to further delegate their power and authority pursuant to appropriate written agreements, to make, execute, seal and deliver for and on behalf of the Company as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf; and

RESOLVED FURTHER, that each of the each of the Authorized Officers and any Secretary or Assistant Secretary of the Company, hereby is, acting singly, authorized, empowered and directed to perform such acts and things as may be necessary or appropriate to carry out the foregoing resolution and the transactions contemplated thereby.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 10th day of October, 2023.

Attested and Certified  
AXIS Insurance Company

By: [Signature]  
Printed Name: Andrew M. Weissert  
Title: Senior Vice President



STATE OF GEORGIA  
COUNTY OF FULTON

Before me personally came Andrew M. Weissert, Senior Vice President of AXIS Insurance Company, to me known to be the individual and officer described herein, who acknowledged that they, being duly authorized, signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal.

[Signature]  
Notary Public



CERTIFICATION

I, Frances R. Mathis, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney the 10th day of October, 2023, on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Andrew M. Weissert, who executed the Power of Attorney, was a duly elected Senior Vice President of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on this the 14 day of April, 2025.

By: [Signature]  
Printed Name: Frances R. Mathis  
Title: Assistant Secretary



**Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities**

Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ 8,470.00	\$ 8,470.00
Permits	1		LS	\$ 1,272.00	\$ 1,272.00
Cut to Fill	1,993		CY	\$ 21.06	\$ 41,972.58
Excess Cut to Haul off Site			CY		\$ -
Imported Fill Material	3,554		CY	\$ 15.02	\$ 53,381.08
Fine Grading	1		SY	\$ 43,470.00	\$ 43,470.00
Temporary Sediment Basins	1		EA	\$ 22,710.00	\$ 22,710.00
Clearing/Grubbing	2		AC	\$ 17,465.00	\$ 34,930.00
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)			CY		\$ -
					\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ 6,825.00	\$ 6,825.00
Permits	1		LS		\$ -
Remove Asphalt Pavement	106		SY	\$ 17.00	\$ 1,802.00
Saw Cut Existing Asphalt	125		LF	\$ 8.65	\$ 1,081.25
After Utility Install - Cut Grade to subgrade design	1,640		SY	\$ 3.60	\$ 5,904.00
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY		\$ -
Subgrade Prep (rip and re-compact)	6,558		SY	\$ 3.55	\$ 23,280.90
Local - Asphalt - 5" Thick	4,674		SY	\$ 35.62	\$ 166,487.88
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558		SY	\$ 14.11	\$ 92,533.38
Adjust Manholes/Cleanouts	2		EA	\$ 635.25	\$ 1,270.50
Adjust Valves	4		EA	\$ 381.15	\$ 1,524.60
Public Signage	13		EA	\$ 352.00	\$ 4,576.00
Street Name Signs	1		EA	\$ 254.10	\$ 254.10
Striping - White Line - 6" Solid	2,736		LF	\$ 0.70	\$ 1,915.20
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ 284.60	\$ 1,423.00
Striping - Stop Bar	8		LF	\$ 53.40	\$ 427.20
Striping - Road Markings	12		EA	\$ 445.00	\$ 5,340.00
					\$ -
<b>CONCRETE</b>					
Mobilization	1		EA	\$ 2,510.00	\$ 2,510.00
Permits	1		LS		\$ -
Remove Curb & Gutter	50		LF	\$ 15.25	\$ 762.50
Remove Sidewalk	30		SY	\$ 22.15	\$ 664.50
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ 30.59	\$ 54,174.89
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ 26.70	\$ 24,617.40
Crossspan	1		LS	\$ 5,930.00	\$ 5,930.00
Curb Chase	32		LF	\$ 366.65	\$ 11,732.80
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ 139.73	\$ 107,731.83
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ 21.10	\$ 5,718.10
Handicap Ramps and Respective Landings	9		EA	\$ 3,140.28	\$ 28,262.52
Fence (Relocated Smoking Area)	140		LF	\$ 37.00	\$ 5,180.00
Concrete (Pad for Bathrooms)	96		SY	\$ 81.15	\$ 7,790.40
					\$ -
<b>WATER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ 5,610.00	\$ 5,610.00
Permits	1		LS		\$ -
Connect to Existing Water Infrastructure	2		EA	\$ 5,415.00	\$ 10,830.00
Water Service 2"	3		EA	\$ 3,540.00	\$ 10,620.00
PVC Pipe (C900) 2"	86		LF	\$ 115.50	\$ 9,933.00
PVC Pipe (C900) 8"	226		LF	\$ 103.77	\$ 23,452.02
Bend 2"	2		EA	\$ 634.15	\$ 1,268.30
Bend 8"			EA		\$ -
Bend 12"			EA		\$ -
Valve 2"	1		EA	\$ 685.25	\$ 685.25
Valve 8"	2		EA	\$ 3,675.00	\$ 7,350.00

Sediment Control Log	425		LF	\$ 3.50	\$ 1,487.50
Sediment Trap			EA		\$ -
Seeding and Mulching	1		AC	\$ 2,290.00	\$ 2,290.00
Silt Fence	1,252		LF	\$ 1.80	\$ 2,253.60
Silt Fence (Vertical)			LF		\$ -
Stabilized Staging Area	553		SY	\$ 10.45	\$ 5,778.85
Surface Roughening	2.7		AC	\$ 127.10	\$ 343.17
Temporary Slope Drain			LF		\$ -
Temporary Stream Crossing			EA		\$ -
Terracing					\$ -
Vehicle Tracking Control	1		EA	\$ 7,370.00	\$ 7,370.00
VTC with Wheel Wash			EA		\$ -
Temporary Batch Plant Restoration			AC		\$ -
Other: Curb Sock			LF		\$ -
<b>Sub-Total</b>					\$ 1,259,213.07
<b>SHPIP Wrap Insurance</b>	1		LS	2.5%	\$ 25,184.26
Alt 1: Removal of Fence	307		LF	\$8.40	\$ 2,578.80
Alt 2: Removal of Trees	10		EA	\$1,284.40	\$ 12,844.00
Alt 3: Removal of Gravel	893		SY	\$6.55	\$ 5,849.15
Alt 4: Removal of FES	3		EA	\$600.00	\$ 1,800.00
Alt 5: Vegetation	701		SY	\$3.85	\$ 2,698.85
Alt 6: Vehicle Tracking Control	1		LS	\$4,550.00	\$ 4,550.00
Alt 7: Traffic Control Management	1		LS	\$12,705.00	\$ 12,705.00
<b>GRAND TOTAL</b>					\$ 1,327,423.13

**NOTES:**

1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.

SECTION 00420

BIDDERS QUALIFICATION STATEMENT

The undersigned certifies under oath the truth and correctness of all statements and of all answers to questions made hereinafter.

SUBMITTED TO: TOWN OF ELIZABETH

SUBMITTED BY: NAME: RME Ltd., LLC dba Elite Surface Infrastructure

ADDRESS: 115 Inverness Dr East, Suite 100

Englewood, CO 80112

PRINCIPAL OFFICE: 115 Inverness Dr East, Suite 100

Englewood, CO 80112

DOING BUSINESS AS:  Corporation [ ] Partnership [ ] Individual [ ] Joint Venture [ ] Other

(NOTE: Attach separate sheets as required)

1. How many years has your organization been in business as a General Contractor?

26 years

2. How many years has your organization been in business under its present business name?

6 years

3. If a Corporation, answer the following:

Date of Incorporation: October 29, 1998

State of Incorporation: Colorado

CEO

President: Christopher A. Weems

Vice President(s) Jeremiah Kamp; Jake Rae; Tim Ulmer

Secretary: Nathan Amsinger (Secretarty and COO)

Treasurer: N/A

4. If a Partnership, answer the following:

Date of organization \_\_\_\_\_

Type of Partnership: \_\_\_\_\_

Name and address of all partners:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. If other than a Corporation or Partnership, describe Organization and name Principals:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. What percent of the work do you normally perform with your own forces?

Approximately 75% - depends on the project

List trades:

Earthwork

underground utilities,

asphalt paving

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asphalt milling

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concrete sitework

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7. Have you ever failed to complete any work awarded to you? If so, indicate when, where, and why:

No

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8. Has any Officer or Partner of your Organization ever been an Officer or Partner of another Organization that failed to complete a construction contract?

No

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If Yes, state the circumstances:

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9. List major construction projects your organization has under contract on this date:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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See the attached list of current projects under contract

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10. List major construction projects your Organization has completed in the past five years:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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See the attached list of MAJOR completed projects

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11. List the construction experience of the principal individuals in your Organization:

Individual's Name	Construction Previous Position & Experience-Years	Present Position & Years Experience	Dollar Volume Responsibility	Years
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See the attached list of principals and key construction personnel

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12. List states and categories in which your Organization is legally qualified to do business:

See the attached list of licenses held in Colorado

Colorado, Wyoming, and South Dakota

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13. Bank References:

UMB, NA - Gregory Hottman (303) 839-2217 gregory.hottman@umb.com

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14. Trade references:

Please see the attached list of Construction References. Supplier references are available upon request.

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15. Name of Bonding and Insurance Companies and Name and Address of Agents:  
Max Bonding Capacity

Bonding: Axis Insuranc Company

Agent: Marsh & McLennan Agency - 825 Maryville Dr, Suite 200

St.Louis, MO 63017

Bonding Capacity: \$40M single project and \$100M aggregate

Insurance: Amerisure Partners Insurance Co (Liability) / Amerisure Insurance Co (Auto/WC)

Agent: Marsh & McLennan Agency - 825 Maryville Dr, Suite 200

St.Louis, MO 63017

16. The undersigned agrees to furnish, upon request by the TOWN, within 24 hours after the Bid Opening, a current Statement of Financial Conditions, including Contractor's latest regular dated financial statement or balance sheet which must contain the following items:

Current Assets: (Cash, joint venture accounts, accounts receivable, notes receivable, accrued interest on notes, deposits, and materials and prepaid expenses), net fixed assets and other assets.

Current Liabilities; (Accounts payable. notes payable, accrued interest on notes, provisions for income taxes, advances received from owners, accrued salaries, accrued payroll taxes), other liabilities, and capital (capital stock, authorized and outstanding shares par values. earned surplus).

Date of statement or balance sheet:

12/31/2023

Name of firm preparing statement:

Wipfli

By: Wipfli - Independent Auditor  
(Agent and Capacity)

17. Dated at 10:00 am this 14th day of  
April, 2025

Name of Organization: RME Ltd., LLC dba Elite Surface Infrastructure

By: *[Signature]*

Title: Jeremiah Kamp - Vice President

18. NOTARIZATION: State of Colorado County of

Arapahoe

M. Jeremiah Kamp

Says that he (she) is the Vice President of  
RME Ltd LLC dba Elite Surface Infrastructure

and that the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn before me this 9 day of April, 2025

Notary Public *C. Bazar*

My commission expires: 11-30-2026

**END OF SECTION**

CHRISSIE BAZAR  
Notary Public  
State of Colorado  
Notary ID # 20224045292  
My Commission Expires 11-30-2026

**SECTION 00300**

**BID FORM**

PROJECT IDENTIFICATION: TOWN OF ELIZABETH  
2025 Mian Street Depot Parking Lot

CONTRACT IDENTIFICATION NUMBER:

THIS BID IS SUBMITTED TO: Town of Elizabeth  
151 S. Banner St.  
Elizabeth, CO 80107

THE UNDERSIGNED BIDDER, having familiarized itself with the work required by the Contract Documents, the Site where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having satisfied itself of the expense and difficulties attending performance of the Work.

HEREBY PROPOSES and agrees, if this Bid is accepted, to enter into Agreement in the form attached, to perform all work, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Agreement and the furnishing of materials and equipment required to be incorporated in and form a permanent part of the Work, tools, equipment, supplies, transportation, facilities, labor, superintendence and services required to perform the Work; and Bond, insurance and submittals; all as indicated or specified in the Contract Documents to be performed or furnished by Contractor in accordance with the following Bid prices (Contractor must submit on Base Bid and Bid Alternates, if any, to be considered).

A. The undersigned Bidder agrees to furnish the required Bonds, certificates of insurance on ACORD Form 27, and copies of applicable insurance policies and enter into Agreement within TEN (10) days after acceptance of this Bid, and further agrees to complete all work covered by the Bid, in accordance with specified requirements and in accordance with the following schedule:

- i. Notice of Award: April 15, 2025
- ii. Substantial Completion: June 5, 2025
- iii. Final Completion: September 1, 2025

B. LIQUIDATED DAMAGES. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed within the time specified above, plus any extensions thereof allowed in accordance with the General Conditions. They also recognize the delays, expense and difficulties involved in proving, in a legal or arbitration proceeding, the actual loss suffered by the Owner if the Work is not substantially complete on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner Seven Hundred Fifty Dollars (\$750) for each day past substantial completion.

- C. **BID SECURITY.** Enclosed herewith is the required Bid Security, in the form of Cashier's Check/Bid Bond (strike one), in the amount of 10% of bid price Dollars (\$ 10% of bid price ) which the undersigned Bidder agrees is to be forfeited to and become the property of owner, as liquidated damages, in connection with the Bid Security, should this Bid be accepted and Bidder fails to enter into Agreement in the form prescribed and to furnish the required Bonds within ten (10) days, or should Bidder fail to enter such agreement and give such bond or bonds, if Bidder fails to pay to owner the difference between the amount specified in this Bid and such larger amount for which owner may in good faith contract with another party to perform the Work covered by this Bid, but otherwise the Bid Security will be returned upon Bidder signing the Agreement and delivering the Performance Bond, Labor and Materials Payment Bond certificates of insurance on ACORD Form 27 and copies of applicable insurance policies.
- D. **BID REJECTION.** In submitting this Bid it is understood that Owner reserves the right to reject any and all Bids, to waive any informality, technicality or irregularity in any Bid, to disregard all non-conforming, non-responsive, conditional or alternate Bids, to negotiate contract terms with the Successful Bidder, to require statements or evidence of Bidder's qualifications, including financial statements, and to accept the proposal that in the opinion of the Owner is in its best interest. It is understood that this Bid may not be withdrawn during a period of sixty (60) days after the scheduled time for the receipt of Bids.
- E. **BID IS GENUINE.** The undersigned Bidder hereby certifies (a) that this Bid is genuine and is not made in the interest of, or in the behalf of, any undisclosed person, firm, or corporation, and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation; (b) that Bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham Bid; (c) that Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and (d) that Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over the Owner.
- F. **EQUIPMENT RENTAL** Attached herewith is a copy of Bidder's equipment rental rate schedule and a copy of rate schedules related to protection of work during winter working conditions.
- G. **INTERESTED PARTIES.** The full names and addresses of parties interested in this Bid as principals are as follows:
- a. Christopher A. Weems - CEO - 115 Inverness Dr East, Suite 100, Englewood, CO 80112  
\_\_\_\_\_
  - b. Nathan Amsinger - COO - 115 Inverness Dr East, Suite 100, Englewood, CO 80112  
\_\_\_\_\_
  - c. Jeremiah Kamp - Vice President - 115 Inverness Dr East, Suite 100, Englewood, CO 80112  
\_\_\_\_\_
  - d. Jake Rae - Vice President - 115 Inverness Dr East, Suite 100, Englewood, CO 80112  
\_\_\_\_\_
  - e. Tim Ulmer - Vice President - 115 Inverness Dr East, Suite 100, Englewood, CO 80112  
\_\_\_\_\_

- H. In submitting this Bid. BIDDER represents, as more fully set forth in the Agreement, that BIDDER has examined copies of all the Bidding Documents.
- I. BIDDER will complete the work, as defined by OWNER to include all phases and schedules, for the following prices (attach additional sheets if necessary):
- J. BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.
- K. The following documents are attached to and made a condition of this Bid:
  - a. Required Bid Security
  - b. A tabulation of Subcontractors, suppliers and other persons and organizations required to be identified in this Bid
  - c. Required Bidders Qualification Statement with supporting data

SUBMITTED ON April 14th, 2025

If BIDDER is:

An Individual

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Individual's Name)

doing business as

\_\_\_\_\_

Business address:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Partnership

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Firm Name)

\_\_\_\_\_  
(General Partner)

Business address:

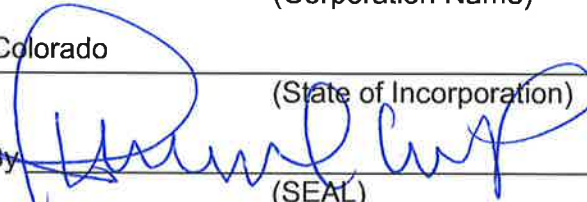
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Corporation

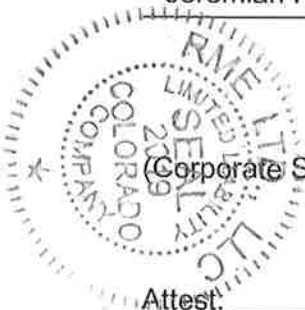
RME Ltd., LLC dba Elite Surface Infrastructure  
\_\_\_\_\_  
(Corporation Name)


Colorado  
\_\_\_\_\_  
(State of Incorporation)

By   
\_\_\_\_\_  
(SEAL)

Jeremiah Kamp - Vice President  
\_\_\_\_\_  
(Title)

(Corporate Seal)



Attest:   
\_\_\_\_\_  
(Secretary) Nathan Amsinger

Business address:

115 Inverness Dr East, Suite 100

Englewood, CO 80112

Phone No.: (303) 841-0292

A Joint Venture

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

(Each joint venture must sign. The manner of signing for each individual, partnership and corporation that is a party to the joint venture should be in the manner indicated above.)

**END OF SECTION**

**SECTION 00430**

**SUBCONTRACTOR LISTING**

The following information is submitted for each subcontractor that will be used in the work if the Bidder is awarded the Agreement. Additional numbered pages shall be attached to this page as required. Each page shall be headed "SUBCONTRACTOR LISTING" and signed. All work to be subcontracted over 25% in labor and/or materials shall be listed.

<b>Amount of Subcontract</b>	<b>Name and Address of Subcontractor</b>	<b>Portion of Work</b>
\$24,793.85	Powell Restoration-6395 Brighton Blvd. Commerce City, 80022	2%
\$119,000.00	Inlet Structures - 5110 York St, Denver, CO 80216	11%
\$11,520.00	Leadens Contracting - 4838 N. Plum Ave, Sedalia, CO 80135	1%
\$12,978.00	Weis Metals - 30668 W. County Rd. 6, Keenesburg, CO 80643	1%

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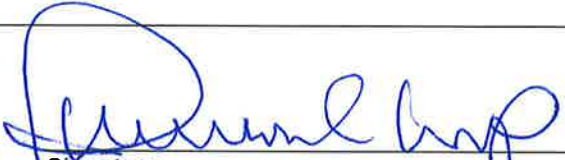
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Signature

Jeremiah Kamp - Vice President

**END OF SECTION**

SECTION 00450

MATERIAL AND EQUIPMENT SUPPLIER LISTING

The following information is submitted for each major supplier of material and each manufacturer and supplier of equipment for manufacturers and suppliers of major items of material, equipment and systems to be used in the work if the Bidder is awarded the contract.

Specification and Section No.	Material or Equipment Description	Manufacturer Supplier
304	Class 6	Burnco
403	Asphalt	Brannan Sand & Gravel
412	Concrete	Burnco
304	Class 1	Burnco

  
Signature

Jeremiah Kamp - Vice President

END OF SECTION

Job #	Job Name	Location	Description of Work	Owner Name	Prime Contractor	Original Contract	Current Contract	Estimated Contract Completion	Self-Performance	% Completed
210413-01	KARL'S FARM MULTI-FAMILY	NORTHELENN, CO	Scarify, recompact and fine grade subgrade, asphalt paving, striping and signage	Karl's Farm North Glenn, LLC	SLC Commercial Construction, LLC	682,607	1,564,487	Q2 - 2025	97.00%	83.00%
210643-03	SCHRIEVER AFB CSOF	SCHRIEVER AFB, CO	Storm sewer, water lines, sanitary sewer, fireline, supply and place rip rap, FDC, asphalt paving.	United States Air Force	Hensel Phelps Construction Co	1,445,462	2,590,519	Q3 - Q4 2025	98.00%	97.00%
220063-01	COA VALVE VAULT REHAB PROJECT	AURORA, CO	Asphalt patching in various streets	City of Aurora	Glacier Construction Company	189,000	188,950	Q3 - Q4 2025	100.00%	6.00%
220383-01	MILLENNIUM PEAKVIEW	CENTENNIAL, CO	Underground utilities (wreter, storm and sanitary). Tie in to existing, fire line, manholes, perimeter drain and tie in for roof drains.	Millennium Peakview, LLC	Shaw Builders LLC	651,430	620,724	Q1 - 2025	99.00%	97.00%
230001-03	BSFB MILL AND OVERLAY BASE WIDE	BUCKLEY SFB, CO	Full depth asphalt removal, cement treated subgrade, asphalt paving, crack seal, striping and signage	United States Air Force	Skv Blue RME JV LLC	1,527,102	1,755,043	Q1 - 2025	TBD	78.00%
230007-1	ULSTER ST APTS ASPHALT PAVING	DENVER, CO	Full depth asphalt paving, grading of subgrade, asphalt paving	Legacy/PL DTC JV, LLC	Caramount Constructors	128,204	175,111	Q2 - 2025	TBD	61.00%
230023	955 BANNOCK ST P&F	DENVER, CO	Place and finish structural concrete on decking and slab on grade	Unknown	McClone Construction Company	179,211	218,208	Q3 - Q4 2025	100.00%	82.00%
230037-01	YORK STREET PHASE II IMPROVEMENTS	THORNTON, CO	Asphalt patching, asphalt paving	Board of County Commissioners - Adams County	HEB CMI	2,597,912	2,621,082	Q3 - Q4 2025	100.00%	63.00%
230048	PANORAMA HEIGHTS	COLORADO SPRINGS, CO	Scarify and recompact, aggregate basecourse, asphalt paving, full depth asphalt patching, traffic control	lots @1609, LLC	Brinkmann Constructors	216,487	348,810	Q1 - 2025	TBD	84.00%
230084	WINSOME FILING 3	BLACK FOREST, CO	Full depth asphalt paving	Unknown	Terra Builders, LLC	802,057	802,057	Q2 - 2025	100.00%	0.00%
230100	LAZY DOG CASTLE ROCK	CASTLE ROCK, CO	Site demo, site grading, structural earthwork, storm sewer, sanitary sewer, water lines, grease interceptor, concrete stitework, aggregate base course, asphalt paving, striping and signage.	lazy Dog Restaurants, LLC	ESI	1,641,845	2,008,632	Q3 - Q4 2025	92.00%	75.00%
230111-03	BIG BEND LH ABUTMENT	FORT THOMPSON, SD	Dewatering, excavation and removal of soils, remove and replace corrugated pipe, revegetation, install drometers	US Army Corps of Engineers	ESI	4,191,845	4,212,135	Q1 - 2025	TBD	84.00%
230124-1	3295 ELIOT ST	DENVER, CO	Sanitary sewer line, connect to existing with manhole, water line (tie in to existing, fire line, hydrants, service line, meter vault), storm sewer (pipe, connect to existing, manholes, inlet, and underground detention)	3295 Eliot Street LLC	Aco/Murray National Construction Company, Inc.	253,780	380,423	Q3 - Q4 2025	TBD	97.00%
230132-03	FC RENOVATE FIRE SYSTEM 99620	FORT CARSON ARMY BASE, CO	Remove existing valves and tee connections, abandon existing piping, excavate and backfill foundations, 12" subgrade below foundations, install new fireline, bollards and PIV, install cathodic protection, sanitary sewer line, asphalt patching	United States Army	NASCO	385,200	457,360	Q1 - 2025	TBD	84.00%
230142-1	PROJECT SYCAMORE WEST PHASE II	AURORA, CO	Survey, clear and grub, remove existing asphalt and concrete, remove guardrail and retaining wall, remove existing storm sewer pipe. Import soil, prep subgrade for concrete and asphalt, export excess material, asphalt paving, adjust manholes and valve boxes, site concrete, landscaping and irrigation, storm sewer and manholes.	JP Morgan Chase & CO	Turner Construction Company	4,195,047	5,583,345	Q1 - 2025	TBD	96.00%

Job #	Job Name	Location	Description of Work	Owner Name	Prime Contractor	Original Contract	Current Contract	Estimated Contract Completion	Percentage of Self-Performance	% Completed
230159.13	RALLY FLATS	BOULDER, CO	Clear and grub, cut and fill, subgrade prep, structural excavation and backfill, grading for building slab, 4" capillary barrier, building over-ex, perimeter drain, sanitary sewer (pipe, manholes, and tie in), waterline (tie in, pipe, fireline, fire hydrant), storm sewer (RCP and PVC pipe, tie in to existing, inlets and manholes, WQ structures), install rain garden, asphalt patching.	Rally Flats LLP c/o Boulder Housing Partners	Millender White	1,477,622	2,173,788	Q1 - 2025	TBD	95.00%
230164.01	64TH AVE OVER E470	AURORA, CO	Asphalt paving Pulverize asphalt into the subgrade, excavate 4" of subgrade and haul off, chemical stabilize subgrade to 12" depth, adjust manholes & water valves, asphalt paving.	64th Ave ARI Authority	Sema Construction	1,489,731	1,489,731	Q1 - 2025	100.00%	91.00%
230170	TEMPLETON HEIGHTS FILING 6A	COLORADO SPRINGS, CO	Full depth removal of asphalt paving at various locations. Scarify, moisture condition, and recompact the subgrade. Fix soft spots in subgrade as needed. Asphalt paving, shouldering, adjust manholes and water valves, concrete curb and gutter, detectable warning strips.	Templeton Heights LLC	ESI	392,060	392,060	Q1 - 2025	TBD	76.00%
230175.03	BSFB M&O BASEWIDE CRWU23-1011	BUCKLEY SFB, CO	Place and finish structural concrete on decking and slab on grade	United States Air Force	Sky Blue RME JV LLC	2,009,583	2,019,608	Q2 - 2025	TBD	69.00%
230185.1	ALEXAN BOULDER	BOULDER, CO	Place and finish concrete on slab on grade, multiple elevated structural decks, and concrete stairs.	AB Apartments, LLC	McCione Construction Company	217,241	250,562	TBD	100.00%	95.00%
230195.1	4040 FOX P&F	DENVER, CO	Remove existing milling roadway and 17" of soil, scarify and recompact subgrade, haul and place aggregate base course, fine grade, full depth asphalt paving, shouldering, adjust manholes and valve boxes.	4040 Fox Street LLC	McCione Construction Company	187,998	196,952	Q2 - 2025	100.00%	78.00%
240007.03	BSFS CONST ROADWAY @ PICADILLY GATE	BUCKLEY SFB, CO	Widen Meridian Road, install traffic signals, full depth reconstruction of both roads, new water quality ditches, storm drainage, erosion control, traffic control. Work completed in 3 Phases.	United States Air Force	Sky Blue RME JV LLC	128,762	128,762	Q3 - Q4 2025	TBD	0.00%
240008.01	REX AND MERIDIAN INTERSECTION IMPROVEMENTS	BLACK FOREST, CO	Full depth reconstruction and widening of roadway, asphalt pavement and subgrade treatment, curb and sidewalk replacement. Improvements to the waterline and drainage. Striping, traffic control, erosion control, export excess material.	El Paso County	ESI	7,059,631	8,009,631	Q3 - Q4 2025	TBD	96.00%
240016.01	2024 MONARCH BLVD PH 1	CASTLE PINES, CO	Remove existing CMP under road, install new HERCP with head walls, toe walls, junction structures, and manholes. Regrade ditches, add rip rap, asphalt patching, erosion control, site restoration, dewatering, and traffic control.	City of Castle Pines	ESI	5,600,441	7,164,871	Q3 - Q4 2025	TBD	92.00%
240017.01	W. BELLEVIEW AVE. OVER BERGEN DITCH	MORRISON, CO	Place and finish concrete on structural deck and slab on grade	Jefferson County	ESI	559,182	658,445	Q3 - 2025	TBD	87.00%
240021.1	AMU 855 N. BROADWAY GTI CONCRETE	DENVER, CO		PPF AMU 815 N. Broadway LLC	Swirneron Builders	922,616	921,624	Q3 - Q4 2025	TBD	68.00%

Job #	Job Name	Location	Description of Work	Owner Name	Prime Contractor	Original Contract	Current Contract	Estimated Contract Completion	Percentage of Self-Performance	% Completed
240022	20 ST CONCRETE R&R (XCEL ENERGY)	DENVER, CO	Sawcut and remove various concrete paving areas	Xcel Energy	Michels Drower, Inc	378,139	418,127	Q3 - Q4 2025	100.00%	27.00%
240024	WEST MAIN STREET OPERATIONAL IMPROVEMENTS	PARKER, CO	Add multiple turn lane, replace traffic signal, stormwater improvements, demo, traffic control, landscaping, irrigation, erosion control, striping, signage, retaining walls, earthwork, relocate firehydrants, diamond grinding asphalt paving, concrete sidewalk.	Town of Parker	ESI	3,367,795	3,367,795	Q3 - Q4 2025	TBD	89.00%
240029.01	TUTT BLVD EXTENSION - DUBLIN TO TEMPLETON GAP	COLORADO SPRINGS, CO	Remove asphalt paving and misc. concrete sidewalk. Clear and grub and subgrade prep for sidewalks and paving, export excess material, install manholes, inlets, storm pipe, rip rap, floor drain, site concrete (sidewalk, handicap ramps, paving), CIP stairs, trench drain, and bollards.	City of Colorado Springs	ESI	1,682,972	1,682,972	Q3 - Q4 2025	TBD	96.00%
240030.03	BSFB BLDG 841 SITE IMPROVEMENTS	BUCKLEY SFB, CO	Digout and asphalt patch various street throughout the City/ Import, place and grade basecourse.	Department of the Air Force	HHL Construction	1,297,900	1,241,918	Q1 - 2025	TBD	90.00%
240032.01	2024 PRRYA DIGOUT AND PATCH - TO 2024-001	COLORADO SPRINGS, CO	Place and finish concrete on multiple structural decks, slab on grade, and cast-in-place concrete stairs.	City of Colorado Springs	ESI	250,000	250,000	Q1 - 2025	TBD	78.00%
240033.03	COLO SCHOOL OF MINES EMRF P&F CONCRETE	GOLDEN, CO	Demo existing utilities, install sanitary sewer, domestic water and fireline, storm drainage, water quality system, asphalt patching, erosion control, temp sewer to job trailer, manholes, perimeter drain at building, concrete and rip rap removal.	Colorado School of Mines	McClone Construction Company	486,904	486,904	Q3 - Q4 2025	TBD	28.00%
240035	LOCKHEED MARTIN BLDG 352	LITTLETON, CO	Demo pond structure, storm sewer, curb and gutter, asphalt paving, signs, fence. Clear and grub, adjust manholes and valves, place and grade aggregate base course, asphalt paving, rip rap, storm sewer, concrete trickle channel, outlet structures, inlets, manholes, bollards, firehydrants.	Lockheed Martin	Hensel Phelps Construction Co	1,934,833	2,588,398	Q2 - 2025	TBD	55.00%
240039.12	WORLDPORT PARKING EXPANSION	DENVER, CO	Install underground utilities, Sanitary sewer (pipe, manholes, grease interceptor, remove existing manhole), water (pipe, fire hydrants, fire line, irrigation tap/meter pit), storm sewer (RCP and PVC pipe, roof drain wyes and cleanouts, r/rap at outfall, forebay), rain garden, bore pits, casing spacers, shoring for bore pits, dewatering bore pits.	Denver International Airport	Sky Blue Builders, LLC	2,848,320	3,044,195	Nov-24	TBD	88.00%
240041	7-11 KEN PRATT UTILITIES	LONGMONT, CO		UP Zikzen Retail, LLC	Pioneer Group, Inc.	862,875	1,211,333	Q1 - 2025	TBD	91.00%

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240042	NAVALO MIXED-USE	DENVER, CO	Demo (asphalt, curb, sidewalk), cut/fill, site grading, excavate/backfill foundations, export excess materials, waterlines, sanitary sewer, storm drainage, sand/oil interceptor, grease interceptor. Site concrete (C&G, HC ramps, sidewalk, paving), built up ramp and stairs, CIP stairs, transformer pad, asphalt patching	Nivalo 37 LLC	Infinity Communities, Inc.	699,015	695,445	Q3 - Q4 2025	TBD	61.00%
240056.01	2024 ENGLEWOOD M&O	ENGLEWOOD, CO	Full depth asphalt removal, stabilize subgrade with Portland Cement Concrete, asphalt paving.	City of Englewood	ESI	1,902,058	2,052,060	Q3 - Q4 2025	TBD	94.00%
240065.03	IUCS 2024 PAVEMENT IMPROVEMENTS	COLORADO SPRINGS, CO	Concrete sidewalk (curb and gutter, drive cuts, curb ramps, sidewalks, median cover, utility crossings)	State of Colorado	ESI	831,998	831,997	Q1 - 2025	TBD	95.00%
240067.01	WOODLAND PARK CAPITAL IMPROVEMENTS	WOODLAND PARK, CO	Clear and grub, demo asphalt, clean culvert, unclassified excavation, excavation/backfill structure, aggregate base course, rip rap, boulder retaining wall, seeding, storm pipe, outlet structure, signage, striping, asphalt paving, inlets.	City of Woodland Park	ESI	3,252,685	3,252,685	Q2 - 2025	TBD	84.00%
240075.01	DENVER 60 CONCRETE	AURORA, CO	Concrete sidewalk (curb and gutter, drive cuts, curb ramps, sidewalks, median cover, utility crossings)	Sand Creek Metro District	Flore & Sons, Inc.	1,296,833	1,152,189	Q1 - 2025	TBD	80.00%
240076.01	FLOYD HILL PARKING AREA IMPROVEMENTS	EVERGREEN, CO	Concrete Harkwork (2' splash guard, handicap ramp, sidewalk, and concrete island	Clear Creek County	ESI	649,772	673,879	Q1 - 2025	TBD	87.00%
240077.01	TELLURIDE EAST TRAIL	AURORA, CO	Sawcut and remove asphalt edge, clear & grub, cut/fill, moisture condition 12" of subgrade at hardscapes, excavation for retaining walls, export excess materials, 5' over-ex at building pad	Sand Creek Metro District	Flore & Sons, Inc.	171,069	346,310	Q2 - 2025	TBD	42.00%
240078	OVERLOOK AT SPRING CREEK	COLORADO SPRINGS, CO	Asphalt paving numerous roads in the development. Fine grade (blue top), full depth asphalt paving, adjust manholes, water valves, and cleanouts, mill and overlay one road	Challenger Homes	ESI	740,326	740,326	Q1 - 2025	TBD	9900.00%
240079.01	DENVER 60 ASPHALT	AURORA, CO	Asphalt patching, asphalt paving, detour road paving	Sand Creek Metro District	Flore & Sons, Inc.	2,202,313	1,989,753	Q3 - Q4 2025	TBD	42.00%
240081.03	DIVERGIN DIAMOND INTERCHANGE US 24 & 21	COLORADO SPRINGS, CO	Scarify and recompact subgrade, full depth asphalt paving, asphalt patching, adjust manholes, water valves and cleanouts	CDOT	W. W. Clyde & Co	621,733	621,733	Q3 - Q4 2025		100.00%
240085.01	RUBY VISTA ASPHALT	DENVER, CO	Asphalt paving	1900 South LLC - Gorman & Company LLC	Deneuve Construction Services, Inc.	148,726	201,828	Q2 - 2025	TBD	77.00%
240086.03	BOTTI-25 & BROADWAY WEDGE RAMP	DENVER, CO	Mill and overlay asphalt paving	CDOT	Kraemer North America, LLC	566,346	566,346	Q3 - Q4 2025	TBD	9.00%
240087.01	C-470 TRAIL CONNECTOR TO RTD PARK MEADOWS ILLONE TREE, CO	ILLONE TREE, CO	Mill and overlay asphalt paving	City of Lone Tree	Structures, Inc.	124,254	124,254	Q2 - 2025		100.00%

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240088.03	CMSFS CONSTRUCT LARGE VEHICLE SEARCH FACILITY	CHEYENNE MOUNTAIN SPACE FORCE STATION, COLORADO SPRINGS, CO	Remove trees, scrub oak, shelter, asphalt paving, C&G, boulders, rip rap, and gravel. Cut/fill, rough grading, excavate for retaining walls. Over-exc for building, exc/bf foundations, rough grade for concrete slab. Export excess material, storm drainage (pipe and inlets), scarify & recompact subgrade, aggregate base course, full depth asphalt paving.	Department of Air Force	NASCO	502,257	545,093	Q2 - 2025	TBD	82.00%
240091	RV VAULT AT PIONEER BUSINESS PARK	AURORA, CO	Site grading, cut/fill, fine grading at handscapes, sanitary sewer (connect to existing, install pipe and manholes), water lines (tie-in to existing, install pipe, hydrants, irrigation stub), storm drainage (install 18" to 54" RCP pipe, manholes, inlets), edge drains and cleanouts, detention pond (CIP structure, forebay, spillway, trickle channel, and riprap), asphalt paving (scarify & recompact subgrade, aggregate base course, full depth asphalt, adjust manholes/cleanouts/valves), site concrete (scarify & recompact subgrade, C&G, sidewalks, drive cut, crossspan, handicap ramps, and trickle channel).	BMI & Associates, Inc.	ESI	2,622,293	2,771,093	Q3 - Q4 2025	TBD	68.00%
240093.01	MMOF SIDEWALK, PED RAMP & TRAIL RECON	WOODLAND PARK, CO	Demo concrete sitework, erosion control, reset signage, seeding, aggregate base course, full depth asphalt removal, asphalt paving, concrete sitework (paving, sidewalk, curb ramp, C&G, median cover), striping, traffic control.	City of Woodland Park	ESI	1,110,565	1,110,565	Q3 - Q4 2025	TBD	81.00%
240098.01	WARREN AVE WIDENING	AURORA, CO	Clear and grub, removals (riprap, sidewalk, C&G, asphalt, signage), erosion control, adjust valve boxes/manholes, landscaping, asphalt paving, concrete sitework (sidewalk, chase drain, C&G), survey, traffic control.	City of Aurora	ESI	324,464	324,464	TBD	TBD	67.00%
240099	TRANTERRA FILING 7	PARKER, CO	Scarify and recompact subgrade, fine grade, asphalt paving, adjust manholes and valve boxes, handicap ramps, C&G, sidewalk.	Trumark Homes Colorado	Iron Woman Construction & Environmental Services	992,303	992,303	Q2 - 2025	TBD	0.00%
240103.01	LORETTA HEIGHTS PH 1G & 1D	DENVER, CO	Subgrade prep, concrete sidewalks, concrete paving.	Loretta Land LLC	Iron Woman Construction & Environmental Services	375,940	375,940	Q3 - Q4 2025	TBD	0.00%
240105.1	DEL MAR ARCHWELL HEALTH CLINIC	AURORA, CO	Water services, sanitary sewer service, export spoils, potholing, traffic control, landscape repairs (asphalt patching, curb, sidewalks, striping), handicap modifications	Archwell Health LLC	JE Dunn Construction Company	101,175	101,175	Q1 - 2025	TBD	0.00%
240106	PARKING STRUCTURE AT LIMELIGHT HOTEL	BOULDER, CO	Remove existing utilities (water meter pits, sanitary pipe, dry utility vaults), storm sewer, sanitary sewer, fire line, waterline, export excess material	Limelight Boulder Joint Venture, LLC	Hensel Phelps Construction Co	387,695	387,695	Q2 - 2025	TBD	25.00%

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240108.03	HC SPECKER & PERSHING FIELD IMPROVEMENTS	FORT CARSON ARMY BASE, CO	Cut/fill, grading for hardscapes, concrete sidewalks, concrete stairs, asphalt paving, place and grade aggregate base course, traffic control, erosion control, storm drainage, waterline, sanitary sewer	Department of Army	Sky Blue RME JV LLC	493,425	493,425	Q2 - 2025	TBD	94.00%
240111.13	ARVADA ARCHWELL HEALTH CLINIC	ARVADA, CO	Water service, sanitary sewer service, export spoils, potholing, traffic control, hardscape repairs (asphalt patching, curb, sidewalks, striping), hand/cap modifications	Archwell Health LLC	JE Dunn Construction Company	97,525	97,525	Q1 - 2025	TBD	9.00%
240114.03	RED ROCKS LOADING DOCK	MORRISON, CO	Remove existing loading dock and paving. Clear and grub, export excess material, import basecourse, over-ex, barfill, connect to existing utilities, sanitary sewer, water line, storm sewer (rip rap, piping).	City and County of Denver	Howell Construction	307,050	317,427	Q2 - 2025	TBD	51.00%
240115.13	NREL EWAPS	GOLDEN, CO	Place and finish structural concrete on decking and slab on grade Demo (paving, trees, and roadways), clear and grub, cut/fills, grading, over-ex, structural excavation and backfill, capillary barrier, export excess materials, water lines (main line, hydrants, service line), sanitary sewer (lopie, manholes, DIP pipe), storm drainage (outfall pipe and rip rap), detention pond (geomembrane, geofabric, underdrain, gravel, rock mulch), asphalt paving (scarify and recompact subgrade, class 6 basecourse, full depth asphalt paving) caissons, traffic control, cathodic protection.	Alliance for Sustainable Energy LLC	JE Dunn Construction Company	299,287	299,287	Q3 - Q4 2025	TBD	0.00%
240016.03	USAF ACADEMY EXPANSION	UNITED STATES AIR FORCE ACADEMY, CO	Demo (hardscapes, boulders, landscaping, clear/grub, trees), trench and backfill for electrical/comms, grading, export excess material, install manholes/navals, concrete repairs, asphalt patching, initial erosion control and maintenance, tempo, waterline.	United States Air Force	Iron Mike Construction, LLC	1,210,834	1,210,834	Q2 - 2025	TBD	27.00%
240119.03	BSFB POWER DISTRIBUTION	BUCKLEY SFB, CO	Install storm sewer (manholes, tie-in, outlets, RCP, detention pond, grates, inlets, liner, rip rap bedding with filter fabric), sanitary sewer (tie-in, pipe, camera line after install), and waterlines (water, irrigation line to main meter pit, fire line and fire hydrants). Asphalt paving (final grading and asphalt paving). Concrete flatwork (cross pans, ADA ramps, sidewalks, C&G, stairs, seat walls, concrete paving).	National Reconnaissance Office	Whiting-Turner Contracting Company	5,450,000	5,450,000	Q4 - 2025	TBD	7.00%
240123.11	THE COL	GOLDEN, CO	Concrete sitework for new playground (structural curb, sidewalk, shade structure caissons), scarify & recompact subgrade, grading, excavation for structural curb	West Colfax Golden LLC	Confluence Builders LLC	1,807,224	2,082,723	Q3 - Q4 2025	TBD	39.00%
240124.01	DENVER 60 PUBLIC PAC FLAG 1 TRACT D	AURORA, CO		Sand Creek Metro District	Fiore & Sons, Inc.	282,270	282,270	Q2 - 2025	TBD	75.00%

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240125.01	EL PASO COUNTY CONC. MAINTENANCE TO #4	COLORADO SPRINGS, CO	Remove existing hardstand concrete and C&G. Install erosion control, grade subgrade, form and pour concrete hardstand and C&G. Install ballards. Place and finish structural concrete on decking and topping.	El Paso County	ESI	829,411	829,411	Q1 - 2025	TBD	58.00%
240126.03	FC PRR HARSTAND B2082	FORT CARSON ARMY BASE CO	Remove existing hardstand concrete and C&G. Install erosion control, grade subgrade, form and pour concrete hardstand and C&G. Install ballards. Place and finish structural concrete on decking and topping.	Directorate of Public Works - FC	Sky Blue RME JV LLC	1,616,175	1,616,175	Q2 - 2025	TBD	0.00%
240127.11	THE COI, P&F	GOLDEN, CO	Survey, potholing, erosion control, remove storm drain, subgrade prep, signage, adjust manholes and valve boxes, reset manholes, asphalt paving, storm pipe and end section, riprap, revegetation	West Colfax Golden LLC	Confluence Builders LLC	156,143	156,143	Q3 - Q4 2025	TBD	0.00%
240128.01	RUSTIC HILLS HALFMOON PAVING	COLORADO SPRINGS, CO	Concrete site work (C&G, vertical curb, handicap ramps, crossspan, sidewalk, concrete pavement, CIP stairs)	City of Colorado Springs	ESI	482,608	482,608	Q2 - 2025	TBD	0.00%
240129.03	555B ADAL FITNESS CENTER	SCHRIEVER AFB, CO	Clear and grub, strip topsoil, cut/fill, sanitary sewer (pipe and service lines), waterline (pipe, valves, fire hydrant, service lines), asphalt paving, basecourse, curb & gutter, subgrade prep, sidewalks, handicap ramps, striping, signage, erosion control, traffic control, survey	US Army Corps of Engineers	NH1 JV	537,950	537,950	Q3 - Q4 2025	TBD	0.00%
240132.01	PEARL ST PAVING & IMPROVEMENTS	BENNETT, CO	Place and finish structural concrete and slab on grade.	Town of Bennett Clayworks B3 holder Construction Group LLC	Holder Construction Group LLC	1,018,309	1,018,309	Q1 - 2025	TBD	74.00%
240135.1	CLAYWORKS B3 P&F	GOLDEN, CO	Scarify and recompact subgrade, full depth asphalt paving, asphalt patching, adjust manholes, water valves and cleanouts	Holder Construction Group LLC	Holder Construction Group LLC	279,203	279,203	Q3 - Q4 2025	TBD	10.00%
240136	CSOG ORTHOPEDIC MOB	COLORADO SPRINGS, CO	Scarify and recompact subgrade, full depth asphalt paving, asphalt patching, adjust manholes, water valves and cleanouts	Ortho1 Holdings LLC	GH Phlips Construction Companies	371,681	371,681	Q3 - Q4 2025	TBD	2.00%
240138.02	ASCENT AT HOVER ASPHALT	LONGMONT, CO	Remove and replace asphalt paving, scarify and recompact subgrade, place and finish basecourse, striping, signage, and parking blocks	Ascent at Hover Crossing LLP	Deneuve Construction Services, Inc	98,571	105,918	Q1 - 2025	TBD	70.00%
240140.01	CSPD STETSON SUBSTATION	COLORADO SPRINGS, CO	Demo existing asphalt (milling), dumpster enclosure, concrete joint seals and expansion joint, Remove existing subgrade, scarify & recompact subgrade, grade, install geogrid, place and grade aggregate basecourse, curb & gutter, asphalt paving, concrete joint repairs	City of Colorado Springs	ESI	203,626	203,626	Q1 - 2025	TBD	1.00%
240142.03	FC PRR PARKING B756	FORT CARSON ARMY BASE, CO	Debris cleanup, place riprap, spall repairs, pothole repairs, hydroseeding, reconfigure spillway slope, place topsoil at trail, asphalt milling, place and grade aggregate basecourse, striping.	Directorate of Public Works - FC	Sky Blue RME JV LLC	811,665	811,665	Q1 - 2025	TBD	22.00%
240143.02	BEAR CREEK & CHATFIELD RESERVOIR	LAKEWOOD, CO		US Army Corps of Engineers	Copper River Infrastructure Services	352,837	352,837	Q2 - 2025		90.00%

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240145.03	JOSEPH P. MARTINEZ PARK PH. 1A	DENVER, CO	Scarify & recompact subgrade, fine grade, place and grade aggregate base course, full depth asphalt, demo (sidewalk, asphalt, C&G, fences, signage, inlets, bldg foundation), cur/fill and overlot grading, moisture condition, fine grade, structure exc/bf, overex, export excess materials, storm drainage (manholes, inlets, pipe, rip rap, multi-flow drain), bio-retention pond.	City and County of Denver	Roche Constructors, Inc.	557,509	607,055	Q2 - 2025	TBD	18.00%
240146.03	FC CMS 2 DRIVE THRU GATES 69646	FORT CARSON ARMY BASE, CO	Remove existing vegetation, import structural fill, grade lot, import and grade aggregate base course, scarify subgrade, import millings and grade, asphalt patching, concrete paving.	Directorate of Public Works - FC	Sky Blue RME JV LLC	204,000	204,000	Q1 - 2025	TBD	0.00%
240147.03	BSEB DEMO LAKE WILLIAMS AND DAM	BUCKLEY SFB, CO	Erosion control, temp drainage berms and basins, clear & grub, dam removal, overlot grading, earthwork, concrete drop down structures, RAP access roads, rip rap, cast in place box culvert, site restoration.	United States Air Force	Sky Blue RME JV LLC	3,524,721	3,524,721	Q2 - 2025	TBD	0.00%
240150.01	FC RRR TTUS BLVD	FORT CARSON ARMY BASE, CO	Pulverize asphalt into the subgrade, excavate 4" of subgrade and haul off, chemical stabilize subgrade to 12" depth, adjust manholes & water valves, asphalt paving, concrete C&G	Directorate of Public Works - FC	Sky Blue RME JV LLC	1,700,725	1,700,725	Q3 - Q4 2025	TBD	0.00%
240151	BENNETT RANCH TOWNHOMES, FILING 2	BENNETT, CO	Form and pour light pole bases, scarify and recompact subgrade, place and grade aggregate basecourse, asphalt paving, concrete tarwork (paving, C&G, valley pan, sidewalk), adjust manholes and valve boxes/cleanouts	LGI Homes, Colorado LLC	Iron Woman Construction & Environmental Services	783,022	783,022	Q3 - Q4 2025	TBD	0.00%
240152.1	CANYON CREEK	ERIE, CO	Scarify and recompact subgrade and fine grade for concrete sitework, concrete sitework (curb and gutter, median splash blocks, median cover, sidewalk, handicap ramp, cross pan, drive cuts, concrete trail), scarify, recompact, and fine grade for asphalt paving, place and grade aggregate basecourse, adjust manholes, adjust water valves, adjust sewer cleanouts, asphalt paving.	KB Home Colorado, Inc.	ESI	6,307,411	6,402,022	Q3 - Q4 2025	TBD	13.00%
240153.1	HUB BOULDER P&F	BOULDER, CO	Place and finish concrete structural slab and slab on grade	PCTreehouse, LLC	McClone Construction Company	246,105	246,105	TBD		0.00%
240154	AMU LITTLETON VILLAGE II	LITTLETON, CO	Traffic control, sanitary storm, sanitary sewer, waterline, landscape drains	PPP AMU Littleton Village II, LLC	ESI	821,700	821,700	Q2 - 2025	TBD	16.00%
240155	SPECTRIUM LOOP ASPHALT	COLORADO SPRINGS, CO	Scarify and recompact subgrade, asphalt paving, adjust manholes, water valves and cleanouts, striping, and signage.	TTRES CO Colorado Springs Spectrum Loop, LLC	Thompson Trif Construction, Inc.	870,000	870,000	Q3 - Q4 2025	TBD	0.00%
240156	PANTERRA SUBDIVISION FILING 4	PARKER, CO	Scarify and recompact subgrade, fine grade, asphalt paving, adjust manholes and valve boxes, handicap ramps, C&G, sidewalk, and crosspans.	Truemark Homes Colorado	Iron Woman Construction & Environmental Services	989,896	989,896	Q3 - Q4 2025	TBD	0.00%

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240157.01	PACE PARKING GARAGE	PARKER, CO	Demo hardscapes, storm inlets and pipe, trees, duct banks and electrical conduits. Clear and grub, cut/fill, subgrade prep, excavate/backfill for foundations, prep building pad, capillary barrier, water lines (fire line, hydrant, and service line), sanitary sewer pipe and cleanouts, sand oil interceptor, storm drainage (inlets, manholes, roof drains), fine grading for asphalt paving, asphalt paving.	Town of Parker	Confluence Builders LLC	678,300	678,300	Q3 - Q4 2025	TBD	6.00%
240160	BIOLIFE COLORADO SPRINGS	COLORADO SPRINGS, CO	Scarify and recompact subgrade, asphalt paving, asphalt milling and overlay, aggregate basecourse, adjust manholes.	Build to Suit	Engelisma Construction, Inc	141,250	141,250	Q3 - Q4 2025	TBD	0.00%
240161	PANTERRA HILING 5 COMBINED	PARKER, CO	Scarify and recompact subgrade, aggregate base course, asphalt paving, adjust manholes/walves/cleanouts, concrete sidewalk (curb and gutter, sidewalk, handicap ramps, crosspans) Curb and gutters, crosspans, curb chase, sidewalks, and concrete trail	Trumark Homes Colorado Dawson Trails Metropolitan District No. 1	Iron Woman Construction & Environmental Services Bernas Construction, Inc.	1,061,937 403,520	1,061,937 403,520	Q3 - Q4 2025 Apr-25	TBD TBD	0.00% 0.00%
250000.01	DAWSON TRAILS BLVD FLATWORK	CASTLE ROCK, CO	Scarify and recompact subgrade, place and finish aggregate basecourse, full depth asphalt paving, sealcoat, traffic control, asphalt patching	Fillmore Apartments, LP	The Garrett Construction Company, LLC	716,772	716,772	TBD	TBD	0.00%
250001	CRESTONE AT FILMORE (FLM)	COLORADO SPRINGS, CO	Demo asphalt paving, concrete sidewalk, and GMP pipe. Install elliptical RCP and flared end section, headwall and toewall, rip rap, clear and grub, traffic control, potholing, concrete sidewalk, driveway, crosspans, C&G, erosion control, inlets, RCP pipe, revegetation, drop inlet, R&R guardrail, grogrid	Town of Monument	ESI	540,174	540,174	Dec-25	TBD	0.00%
250002.01	2024 MONUMENT STORMWATER IMPROVEMENTS	MONUMENT, CO	Erosion control, demo (RCP, inlets, concrete road, asphalt paving, C&G, sidewalk), clear and grub, unclassified excavation, rip-rap, DIP and PVC waterline, connect to existing, firehydrants, casing, subgrade prep, asphalt paving, striping, aggregate basecourse, C&G	Dawson Trails Metropolitan District No. 1	ESI	914,444	914,444	Jun-25	TBD	0.00%
250003.01	PLUM CREEK PARKWAY WATERLINE	CASTLE ROCK, CO	Demo (rip-rap, pipe, asphalt paving, fence), clear and grub, unclassified excavation, erosion control, site restoration, aggregate basecourse, subgrade prep, asphalt paving, rip-rap, RCP pipe, concrete paving, install fence, survey, striping, traffic control, guardrail, and signage	Town of Bennett	ESI	677,576	677,576	Mar-25	TBD	0.00%
250004.03	KIOWA-BENNETT ROAD SAFETY IMPROVEMENTS	BENNETT, CO	Scarify and recompact, subgrade, fine grade, full depth asphalt paving, adjust manholes, water valves and cleanouts	Place and finish structural concrete	The Garrett Construction Company, LLC	598,665	598,665	TBD	TBD	0.00%
250008.01	PARKER II ASPHALT PAVING	PARKER, CO	Place and finish structural concrete	Echelon Parker Two, LLC	AP Construction, Inc	151,258	151,258	Sep-25	TBD	100.00%
250009.01	PACE P&F PARKING GARAGE CONCRETE	PARKER, CO								0.00%

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250010.10	MURPHY CREEK FLUNG 1.8 PH. 1-3	AURORA, CO	Scarify and recompact subgrade, place and grade basecourse, full depth asphalt paving, adjust manholes and water valves, asphalt patching.	KB Home Colorado, Inc.	ESI	1,043,266	1,043,266	TBD	TBD	0.00%
250011.03	3RD & WELKER INTERSECTION IMPROVEMENTS	MEAD, CO	Asphalt paving, adjust manholes and water valves, paving for detour road	Town of Mead	Galisco International, Inc	479,830	479,830	TBD	TBD	0.00%
250012.01	BYSD MONARCH HS RENOVATION	LOUISVILLE, CO	Asphalt mill and overlay Install utilities. Water Lines (demo asphalt, connect to existing main, install fireline, hydrant, water service) storm drainage (install precast inlet and outlet structure, grouted rip rap, RCP pipe, and trickle channels), traffic control.	Boulder Valley School District	GH Phillips Construction Companies	357,687	357,687	Aug-25	TBD	0.00%
250013.01	ASPEN ACADEMY ECE	LITTLETON, CO	Remove dirt to stockpile area, scarify and recompact subgrade, valley pan, full depth asphalt paving	Aspen Academy	Fransen Pittman Construction Co, Inc	288,634	288,634	Apr-25	TBD	0.00%
250014	WAGNER AURORA II PAVING	AURORA, CO	Concrete flatwork (curb and gutter, sidewalk, curb ramp, splash apron, chase drain, paving, decorative concrete), subgrade prep, traffic control	Wagner Equipment Co.	ESI	255,292	255,292	Mar-25	TBD	0.00%
250015.01	SOUTHLANDS PUBLIC ROADWAYS	BROMFIELD, CO	Full depth asphalt milling, remove subgrade, scarify and recompact subgrade, place and grade aggregate basecourse, concrete pavement, install speed concrete speed humps	Baseline metro District	ESI	4,148,449	4,148,449	TBD	TBD	0.00%
250020.01	PEAK TO PEAK CHARTER SCHOOL	LAFAYETTE, CO	Mill and overlay asphalt paving, asphalt patching	Peak to Peak Charter School	Fransen Pittman Construction Co., Inc	137,393	137,393	TBD	TBD	0.00%
250023.01	S. PLATTE RIVER DRIVE IMPROVEMENTS	DENVER, CO	Install watermain. Erosion control, demo existing hardscapes, clear and grub, install PVC pipe and valves, bore portion of pipe, shoring, connect to existing, testing, concrete sidewalk, traffic control, site restoration	City and County of Denver	Ames Construction, Inc.	233,750	233,750	TBD	TBD	0.00%
250025.01	DAWSON TRAILS OFFSITE WATERMAIN	CASTLE ROCK, CO	Mill and overlay asphalt parking lot	Dawson Trails Metro District No. 1	ESI	3,745,197	3,745,197	Q3 2025	TBD	0.00%
250026	AUSTIN BLUFES M&O	COLORADO SPRINGS, CO	Demo (sawcut, remove culverts, remove asphalt, stockpile riprap), clear and grub, site grading, channel excavation, grade for hardscapes, install RCP pipe and FES, place riprap, excavate and backfill box culverts, CIP box culverts, waterline lowering, ABC for hardscape repairs, site concrete (C&G, plumes, paving), asphalt paving, remove waterline, relocate fire hydrant	AmCap	Leadens Contracting, Inc	163,823	163,823	TBD	100.00%	0.00%
250030.03	FC BUTTS STORMWATER MITIGATION	FORT CARSON ARMY BASE, CO	Mill and overlay asphalt roadway, remove and replace concrete sitework/paving, valley pan, C&G, sidewalk), grading for hardscapes	US Army Corps of Engineers	Gideon Contracting, LLC	1,490,000	1,490,000	Sep-25	TBD	0.00%
250032	LORETTO HEIGHTS INFRASTRUCTURE PACKAGE 3	DENVER, CO		ACMI Loretto VI, LLC	ESI	455,106	455,106	May-25	TBD	0.00%

Job #	Job Name	Location	Description of Work	Owner Name	Prime Contractor	Original Contract	Current Contract	Estimated Contract Completion	Percentage of Self-Performance	% Completed
250034	DILON POINTE PHASE 2 - ASPHALT & CONCRETE	BROOMFIELD, CO	Balance roadway and alleys, moisture condition subgrade, haul excess to stockpile, scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes/water valves, concrete sitework (C&G, sidewalks, crosspans, chase drain, ramps), traffic control demo existing C&G/sidewalks.	Brightland Homes, LTD	FSI	1,250,747	1,250,747	Q3 - Q4 2025	TBD	0.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
10-16-1101	OLGDIV/BAFB-ASPEN & KEVSTONE	BUCKLEY AFB, CO	Repair subgrade at existing parking lot. Asphalt demo	United States Air Force	SUB	356,000.00	544,188.00	Sep-20	100.00%
10-17-1096	PCLCON/PACO SANCHEZ PARK	DENVER, CO	Demo sidewalk, curb and gutter, asphalt paving and playground equipment.	Denver Parks and Recreation	SUB	272,690.00	1,595,000.00	Jul-20	98.00%
10-18-1073	TURCON/MEOW WOLF	DENVER, CO	Misc. site grading	Revesco Properties	SUB	997,676.00	1,234,081.10	Aug-20	100.00%
10-18-1077	POEINC/FEDEX DENVER HUB SITWRK	COMMERCE CITY, CO	Earthwork, utilities, and asphalt utilities, subgrade prep	FedEx	SUB	2,771,440.00	3,751,312.00	May-22	98.00%
10-18-1086	HENPHE/ROCKIES WEST LOT	DENVER, CO	Install temporary storm system, underground detention vault, on site storm pipe, sanitary sewer pipe, inlets, manholes, connect to storm and sanitary pipe	Colorado Rockies	SUB	2,295,770.00	3,027,840.00	Dec-20	95.00%
10-18-1102	DOUCOU/SANDSTONE RANCH	DOUGLAS COUNTY, CO	Placement of roadbase and grading of various roads. Dredging various ponds in the subdivision and stockpile material	Douglas County	PRIME	29,955.00	99,022.15	Jul-20	100.00%
181107	FEDEX DENVER HUB PAVING	COMMERCE CITY, CO	Moisture condition, fine grade subgrade, placement of roadbase, asphalt paving, crack seal, seal coat, striping.	FedEx	SUB	639,108.00	1,695,936.00	Nov-20	96.00%
10-18-2102	FC POSTWIDE WATER RPRS	FORT CARSON ARMY BASE, CO	Replace various waterlines, R&R concrete C&G and sidewalks, asphalt patching, borers under railroad tracks, meter vaults	United States Army	PRIME	2,940,263.45	3,804,780.32	Feb-21	81.00%
190052	PENRITH PARK CONTRACT MATCH	ADAMS COUNTY, CO	Scarify, recompact & fine grade, asphalt paving, manhole adjustments	DR Horton Homes	SUB	1,280,283.65	1,646,811.03	Sep-20	100.00%
190192	GREEN VALLEY RANCH FILING 1	DENVER, CO	Concrete flatwork, asphalt paving, place and grade basecourse, valve box and manhole adjustments	Oakwood Homes, LLC	PRIME	1,066,887.80	4,438,536.89	Jul-20	92.00%
190255.01	2019 STREET RECONSTRUCTION - LOUISVILLE	LOUISVILLE, CO	Asphalt removal for various roads and parking lots throughout the city. Excavation, milling, subgrade prep, manhole adjustments, striping, traffic control	City of Louisville	PRIME	633,883.45	826,119.50	Mar-20	85.00%
190270.08	GEORGETOWN GATEWAY SEGMENT	GEORGETOWN, CO	Demo, unclassified excavation, erosion control, asphalt paving, storm sewer, concrete sitework, electrical, striping, traffic control, survey	Town of Georgetown	PRIME	980,092.12	1,185,411.25	Jul-20	51.00%
190600.01	RIDGEGATE PARKWAY EXPANSION PH 2	DENVER, CO	Subgrade prep, asphalt paving, asphalt patching, manhole/valve box adjustments, milling	City and County of Denver	SUB	1,639,198.05	1,940,000.00	Dec-20	100.00%
190602	FEDEX BOULDER PARKING EXPANSION	BROOMFIELD, CO	Fine grade subgrade, concrete sitework	FedEx	SUB	341,634.50	343,010.75	Apr-21	100.00%
190628.01	FALL RIVER ROAD IMPROVEMENTS - 2019	CLEAR CREEK COUNTY, CO	Sawcut, mill and overlay asphalt, moisture condition subgrade, fine grading, shoulder stabilization, survey, traffic control	Clear Creek County	PRIME	829,667.20	886,273.11	Aug-20	89.00%
190697.03	PENA BLVD DESIGN BUILD PH. 1	DENVER, CO	Asphalt paving for detour lane. Concrete C&G, cross pan, sidewalk, concrete paving, colored concrete patio, trickle channel, grading for asphalt, asphalt paving, striping and signage	City and County of Denver	SUB	1,718,139.35	282,085.00	Nov-20	100.00%
190759.01	WASHINGTON CENTER AVIILLA EASTLAKE	COMMERCE CITY, CO		Unknown	SUB	1,793,318.79	2,371,833.46	Aug-21	95.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
190769-02	GATEWAY PROJECT - NORTH	DENVER, CO	Recompact and grade subgrade, asphalt paving	Gateway Housing Partners	SUB	80,747.00	121,407.00	Aug-20	100.00%
10-19-1010	ADABU/PLUM CREEK RIDGE TOWNHOMES	CASTLE ROCK, CO	Clear and grub, erosion control, survey, water lines, sanitary sewer, storm drainage, asphalt paving, concrete sidewalk, guardrail installation, retaining wall, export of excess materials	Plum Creek Associates	SUB	545,000.00	588,960.98	Jul-20	75.00%
10-19-1015	SANHIL/THE SANDS SITE IMPROVEMENTS	COLORADO SPRINGS, CO	Clear and grub, cut and fill, moisture conditioning, underground utilities (water, sanitary, storm), asphalt paving, detention pond concrete.	Sand Hills Development Company	PRIME	1,427,477.34	1,497,036.62	Apr-20	100.00%
10-19-1023	IRONW/GORDON DRIVE IMPROVEMENTS	CASTLE ROCK, CO	Fine grade subgrade, asphalt placement, valve and manhole adjustments, asphalt patching	Town of Castle Rock	SUB	184,103.75	233,856.65	Jul-20	100.00%
10-19-1027	ETENV/WM D&R TRNSFR STN	COMMERCE CITY, CO	Moisture condition existing subgrade, grading, asphalt paving	Waste Management	SUB	550,665.54	702,006.11	Jul-20	100.00%
191054	BROADSTONE UPTOWN	DENVER, CO	Place and finish concrete for structural deck	PR III Broadstone Uptown, LLC	SUB	262,500.00	262,500.00	Feb-21	100.00%
191055-03	FY19 EMERGENCY ROAD REPAIRS	SAN ISABEL NATIONAL FOREST	Clear avalanche debris, regrade/fix roads, place and finish aggregate base course	USDA - Forest Service	PRIME	183,619.00	367,352.96	Jul-20	100.00%
191056-03	DIA CONCOURSE B WEST EXPANSION	DENVER, CO	Place and finish concrete for structural deck	Denver Airport Authority	SUB	210,640.10	175,952.00	Feb-20	100.00%
191058	HOLIDAY INN - FOUNTAIN	FOUNTAIN, CO	Fine grade subgrade asphalt placement	Fountain Hospitality, LLC	SUB	122,300.00	122,300.00	Apr-20	100.00%
191063	X DENVER 2	DENVER, CO	Place and finish concrete for structural deck and slab on grade	Unknown	SUB	216,206.00	216,199.57	Sep-20	100.00%
191064	31ST 7 ZUNI - 3115, 3117, 3125 WYANDOT	DENVER, CO	Utility demo on various lots	Infinity Highlands Management, LLC	SUB	49,004.28	49,004.28	Jun-20	80.00%
191068.1	26TH & WELTON (THE HOOPER)	DENVER, CO	Place and finish concrete for structural deck and slab on grade	Unknown	SUB	50,538.00	214,439.60	Aug-20	100.00%
191069	REMUDA RANCH	DOUGLAS COUNTY, CO	Earthwork (clear & grub, overlot grading, sitework prep), erosion control, import and place roadbase, asphalt paving, utilities (water, sanitary and storm sewer), concrete sitework	Remuda Ranch Development, LLC	PRIME	7,831,936.40	11,988,798.38	Oct-21	86.00%
191070	Z-ELEVEN SHELL CONSTITUTION	COLORADO SPRINGS, CO	Clear/grub, cut and fill, overlot grading, moisture condition, water, storm sewer, sanitary sewer, asphalt patching, trench and backfill for gas line	Sand Hills Development Company	SUB	81,353.00	81,353.00	Feb-20	100.00%
191071-03	FAR VIEW WASTEWATER FACILITY	MESA VERDE NATIONAL PARK	Remove existing sanitary concrete basin, install new CIP concrete basin, new PVC piping, erosion control, backfill, recommissioning	National Park Service	PRIME	406,367.98	406,367.98	May-20	94.00%
191073	LES SCHWAB TIRE CENTER REPAIRS	CASTLE ROCK, CO	R&R asphalt and concrete paving, R&R irrigation lines, subgrade prep for new asphalt and concrete paving, asphalt paving, concrete placement	Les Schwab Tire Center	SUB	44,200.00	44,200.00	Nov-20	99.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
191074.1	BASECAMP / THE EDDY	GOLDEN, CO	Excavate and backfill for 3 buildings, cut and fill of lot, site grading (rough and fine), demo existing utilities, install waterlines, sanitary sewer, and storm sewer, asphalt paving, clear and grub, erosion control, and traffic control	CD-Briarwood, LLC	SUB	1,200,000.00	1,635,574.23	Nov-20	90.00%
191089	HELLYSTONE AT LARKSPUR	LARKSPUR, CO	Demo existing structures, install drainage ditches, site earthwork, install pond liner, excavate for retaining wall, fine grading for site concrete and asphalt, utilities (water, sanitary and storm sewer)	Sun Jelly-Larkspur CO RV, LLC	SUB	1,356,547.50	4,712,690.00	Nov-20	67.00%
191092.03	FC - B9426 CNS HARDSTAND	FORT CARSON ARMY BASE, CO	Temporary fencing, sawcutting, Cut and fill, moisture conditioning, install basecourse, install bollards, grading for new concrete hardstand, rip rap, landscaping rock, relocate fire hydrant, place and finish concrete	United States Army	SUB	1,086,360.00	1,086,360.00	Jan-20	100.00%
191093.03	FC - B9436 CNS HARDSTAND	FORT CARSON ARMY BASE, CO	Temporary fencing, sawcutting, Cut and fill, moisture conditioning, install basecourse, install bollards, grading for new concrete hardstand, rip rap, landscaping rock, relocate fire hydrant, place and finish concrete	United States Army	SUB	1,398,580.00	1,438,688.00	Mar-20	100.00%
191095.03	FC - B9456 CNS HARDSTAND	FORT CARSON ARMY BASE, CO	Temporary fencing, sawcutting, Cut and fill, moisture conditioning, install basecourse, install bollards, grading for new concrete hardstand, rip rap, landscaping rock, relocate fire hydrant, place and finish concrete	United States Army	SUB	987,925.00	1,010,172.00	Mar-20	100.00%
191096.03	FC - B9466 CNS HARDSTAND	FORT CARSON ARMY BASE, CO	Temporary fencing, sawcutting, Cut and fill, moisture conditioning, install basecourse, install bollards, grading for new concrete hardstand, rip rap, landscaping rock, relocate fire hydrant, place and finish concrete	United States Army	SUB	1,160,966.00	1,181,442.00	Mar-20	100.00%
191098	SYNERGY MOB	ENGLEWOOD, CO	Place and finish concrete for structural slab	Synergy MOB	SUB	187,500.00	187,500.00	Jun-20	100.00%
191099.1	PINE STREET LOFTS	BOULDER, CO	Place and finish concrete for structural deck	Unknown	SUB	49,247.85	49,247.85	Jan-20	100.00%
191106	MEADOWS SUBSTATION	CASTLE ROCK, CO	Clear and grub, site grading, import and place aggregate surface course, erosion control, seeding and mulching, box culvert, rip rap, grouted boulders, storm pipe, concrete trail, and waterline relocation	IBEA	SUB	1,090,726.00	1,160,346.00	Mar-20	94.00%
191107.03	FC BLDG 7500 REPAIR SPALLING CONCRETE	FORT CARSON ARMY BASE, CO	Remove and replace failing concrete at the loading docks of the Army hospital. Repair subgrade as necessary	USACE	SUB	624,465.00	642,116.50	Apr-20	100.00%
191108	PINERY FILING 30B	PARKER, CO	Sanitary sewer (PVC pipe and manholes), water line (pipe, valves, F/H, services), storm sewer (pipe, inlets, manholes, rip rap basin)	Timbers Development Group, Inc	PRIME	1,318,689.50	1,455,070.04	May-21	90.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
191109	PINERY FILING 31	PARKER, CO	Sanitary sewer (PVC pipe and manholes), water line (pipe, valves, F/H services), storm sewer (pipe, inlets, manholes, rip rap basin)	Timbers Development Group, Inc	PRIME	1,361,175.38	1,655,841.42	Sep-20	90.00%
19112.03	DIA CONCOURSE A WEST EXPANSION	DENVER INTERNATIONAL AIRPORT	Place and finish concrete for structural deck	Denver Airport Authority	SUB	652,941.00	679,664.00	Aug-21	100.00%
19114.03	SBB DIA CONCOURSE B EAST EXPANSION	DENVER INTERNATIONAL AIRPORT	Place and finish concrete for structural deck and footings	Denver Airport Authority	SUB	528,002.00	538,502.00	Apr-20	100.00%
191115	MIKE SHAW SUBARU	FEDERAL HEIGHTS, CO	Install waterlines, sanitary sewer, and storm sewer. Asphalt patching, repair concrete flatwork, and traffic control	Mike Shaw Subaru	SUB	229,350.00	236,275.00	May-20	91.00%
191120.01	144th WIDENING	THORNTON, CO	Widen the existing road. Excavating, grading, storm sewer, traffic control, erosion control, striping, asphalt paving, signage.	City of Thornton	PRIME	7,444,803.46	8,504,729.73	Nov-21	70.00%
191124.1	THE COVE AT TAVA WATERS - P&F	AURORA, CO	Place and finish concrete for structural deck	Tava Waters	SUB	232,667.55	232,667.55	May-20	100.00%
191125.1	1616 MARKET STREET HOTEL	DENVER, CO	Place and finish concrete for structural deck	K4 Development, LLC	SUB	187,500.00	187,500.00	Nov-20	100.00%
191125.1	ENCORE CASTLE ROCK	CASTLE ROCK, CO	Demo of existing utilities, install water, storm and sanitary sewer lines	Encore Castle Rock, LLC	SUB	514,350.00	651,770.58	Jun-21	94.00%
192101.03	FC - REPAIRS HAYMES DAM & CULVERTS	FORT CARSON ARMY BASE, CO	Remove existing guardrail, R&R rip rap, fix existing slopes and embankment, grade ditches, seed ditches, install checkdams, asphalt patching and install new guardrail. Clear and grub all vegetation 3' or less, remove existing light pole, moisture condition existing subgrade, fine grad and seed disturbed areas	USACE	PRIME	875,540.00	875,540.00	Jan-20	86.00%
192102.03	RFP#30 RPR STREAM CHANNEL MSR	FORT CARSON ARMY BASE, CO	Excavate for new stream channel crossing. Form and pour concrete. Place rip rap and erosion control.	USACE	PRIME	725,000.00	821,031.00	Jul-20	88.00%
192103.03	CERRY CREEK SPILLWAY MAINTENANCE	AURORA, CO	Striping topsoil, clear and grub, storm culverts, asphalt patching, seeding, erosion control, dewatering, R&R concrete sidewalk, unclassified excavation, traffic control	USACE	PRIME	6,031,050.00	6,939,151.01	Jun-21	95.00%
192104.03	BARB EAST TOLL GATE CREEK	BUCKLEY AFB, CO	Bypass the existing stream channel, clean out the stream channel, erosion control, landscaping and sheet piling	USACE	PRIME	1,300,700.00	1,308,287.00	Apr-21	95.00%
192105.03	RFP#33 REPAIR SEWER, 7000 & 8000 AREAS	FORT CARSON ARMY BASE, CO	Install new sanitary sewer pipe and manholes. Repair concrete flatwork, asphalt paving and landscaping	USACE	PRIME	2,878,308.25	2,878,308.25	Mar-21	93.00%
193502.03	DFC - ROADS & PARKING AREAS	DENVER FEDERAL CENTER, CO	Mill and overlay asphalt in various parking lots and roadways. Traffic control and striping.	General Services Administration	PRIME	359,793.13	359,793.13	Mar-20	87.00%
10-19-4100	SBRMIV/FC-GNS PARKING LOT	FORT CARSON ARMY BASE, CO	Construction of new parking lot and repairs to various other parking lots. Earthwork, grading, aggregate basecourse, asphalt paving, striping, site concrete	USACE	SUB	1,793,400.00	2,130,019.00	Jun-20	90.00%
200022.1	DRIVETRAIN RINO	DENVER, CO	Place and finish concrete for structural deck and slab on grade	CP VI RINO, LLC	SUB	397,933.91	397,933.91	Dec-20	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
200032.01	CONSTRUCT TAXIMAY R3	WATKINS, CO	Remove existing asphalt, place and grade asphalt millings, erosion control, subgrade prep, asphalt paving, signage, electrical conduit	Adams County	PRIME	485,352.75	485,352.75	Jun-20	85.00%
200057	FITZSIMMONS VILLAGE - CONCRETE	AURORA, CO	Concrete curb and gutter, cross pans	Legacy Fitzsimmons, LLC	SUB	244,357.95	280,418.43	Nov-21	100.00%
200061.1	ARIA CONDOS	DENVER, CO	Demo, earthwork, underground utilities (fire line and storm sewer), rebar placement, caisson placement, place and finish concrete on structural deck	2851 Builders, LLC	SUB	1,412,493.00	1,467,381.00	Jul-20	65.00%
200073.02	30TH AND PEARL	BOULDER, CO	Place and finish concrete for structural deck and slab on grade	Unknown	SUB	259,200.65	259,200.65	Nov-20	100.00%
200078.01	CITY OF AURORA CRACK SEAL PROGRAM	AURORA, CO	Crack seal various streets throughout Aurora, traffic control, clean up	City of Aurora	PRIME	355,440.00	355,440.00	Nov-20	93.00%
200107.03	STAPLETON FILING 49 BLOCK 39	DENVER, CO	Water service lines, sanitary service lines, asphalt paving, concrete C&G, erosion control, concrete paving	Park Creek Metro District	SUB	455,151.00	464,839.00	Aug-20	50.00%
200108.03	STAPLETON FILING 59	DENVER, CO	Concrete R&R, asphalt paving, utility valves adjustments, fine grading, signage and striping, traffic control	Park Creek Metro District	SUB	485,248.00	540,195.00	Jun-21	96.00%
200112	FOXHILL SUBDIVISION	FRANKTOWN, CO	Earthwork, water, sanitary, storm sewer, asphalt paving, concrete C&G, crosspan, concrete paving, erosion control	Fox Hill Development	PRIME	3,108,295.40	4,470,350.26	Aug-20	84.00%
200118.01	STERLING RANCH FILING 3	LITTLETON, CO	Place and grade basecourse, asphalt paving, adjust manholes, adjust valve boxes	Sterling Ranch Community	SUB	2,530,630.00	6,824,491.54	May-22	100.00%
200133	INSPIRATION FILING 18 / AKA ROCKING HORSE FILING 18	AURORA, CO	Scarify and recompact subgrade, fine grade, place and grade basecourse, asphalt paving	Newland Communities dba NASH Inspiration LLC	PRIME	1,257,373.10	1,379,909.35	Jul-20	96.00%
200149	CENTENNIAL STORAGE PARK	ERIE, CO	Demo, place and grade basecourse, traffic control, asphalt paving, scarify and recompact subgrade, curb and gutter, sidewalk, cross pans, concrete paving	Centennial Storage, Ltd	PRIME	366,955.50	71,299.85	Jun-22	98.00%
200152.01	BINNERY CONNECTION PROJECT TREATMENT & PUMPING	AURORA, CO	Scarify and recompact subgrade, place aggregate base course, asphalt paving, Mill and overlay various streets throughout Arapahoe County. Also includes traffic control and public notifications.	South Metro Water Authority	SUB	61,150.50	197,707.45	Sep-21	100.00%
200159.01	2020-2021 CONTRACT MILLING PROGRAM	ARAPAHOE COUNTY, CO	Erosion control, water, sanitary, storm sewer,	Arapahoe County	PRIME	278,768.75	545,925.16	Dec-21	92.00%
200163	EGOS HOTEL REMODEL	DENVER, CO	Mill and overlay asphalt, traffic control, testing	WelAcm Land, LLC	SUB	193,700.00	340,254.73	Aug-21	100.00%
200169	CASI 2" M&O DENVER WATER BOARD	DENVER, CO	Traffic control, unclassified excavation, asphalt paving, manhole and valve adjustments, asphalt patching, striping, Mill and overlay asphalt, R&R concrete curb and gutter/cross pans/sidewalk, striping	Various Cities	SUB	1,124,505.95	1,124,505.95	Dec-20	90.00%
200202.01	2020 LOUISVILLE STREET RECONSTRUCTION	LOUISVILLE, CO		City of Louisville	PRIME	1,332,122.10	1,332,662.01	Sep-20	94.00%
200236.01	2020 PARKING LOT PAVEMENT REHAB	WESTMINSTER, CO		City of Westminster	PRIME	591,298.00	627,535.15	Aug-20	95.00%

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200238	31ST AND ZUNI / 31ST AND WYANDOT	DENVER, CO	Utility demo, excavate/backfill for buildings, export excess material, fine grading, water lines, sanitary, storm sewer, asphalt patching.	Infinity Communities, Corp	PRIME	5,000,636.26	5,950,000.00	04-22	69.00%
200246.01	2020 FREDERICK PAVEMENT MAINTENANCE	FREDERICK, CO	Asphalt paving, milling, asphalt patching, street reconstruction, traffic control, striping, foundations for 3 homes.	City of Frederick	PRIME	474,477.50	531,478.68	Jul-20	81.00%
200254.03	FORT CARSON HUMAN PERFORMANCE TRAIL	FORT CARSON ARMY BASE, CO	Erosion control, demo, site grading, structural earthwork, basecourse at sidewalks, water lines, sanitary sewer and storm sewer	USACE	SUB	824,875.00	759,816.00	Feb-21	98.00%
200258	2770-7430 W. 88TH AVENUE	WESTMINSTER, CO	Mill and overlay, seal coat, asphalt patching, striping and crack seal	Unknown	SUB	111,285.00	111,285.00	Jul-20	98.00%
200264.01	2020 GRAVEL ROADS REHAB	GREENWOOD VILLAGE, CO	Clear and grub, erosion control, remove culvert, clean culverts, reset manholes and fences, import and place aggregate base course, install culvert, traffic control	City of Greenwood Village	PRIME	282,004.63	300,448.48	Aug-20	85.00%
200282.01	LITTLETON PUBLIC SCHOOLS BOND	LITTLETON, CO	Milling, asphalt paving and patching, misc concrete work, seal coat, moisture condition and grade subgrade, striping at various schools within the Littleton School District	Littleton Public Schools	PRIME	1,035,900.00	1,577,523.43	Mar-21	98.00%
200293.01	2020 RESIDENTIAL STREETS PROGRAM	NORTHGLENN, CO	R&R concrete (C&G, sidewalk, cross pans, handicap ramps)	City of Northglenn	SUB	1,330,196.00	1,537,174.63	Oct-20	82.00%
200298.01	2020 LAFAYETTE CITY WIDE STREET REHAB	LAFAYETTE, CO	Mill and overlay asphalt, subgrade stabilization, striping, traffic control, adjust manholes, adjust water valves.	City of Lafayette	PRIME	1,624,242.20	1,624,242.20	Jul-20	92.00%
200299.01	CITY OF LAFAYETTE - 2020 CRACK SEAL PROJ	LAFAYETTE, CO	Traffic control, crack seal and mastic	City of Lafayette	PRIME	127,270.00	127,270.00	Jul-20	98.00%
200302.03	E. 38TH AVE IMPROVEMENT	DENVER, CO	Scarify and recompact subgrade, import and grade aggregate base course, asphalt paving.	City and County of Denver	SUB	550,864.30	581,629.85	Aug-20	100.00%
200303.01	2020 ASPHALT MILL AND OVERLAY	COMMERCE CITY, CO	Mill and overlay asphalt, striping and traffic control	City of Commerce City	PRIME	1,992,178.40	2,667,115.47	Aug-20	89.00%
200320	CASTLE PINES SERVICE LINES	CASTLE PINES, CO	Install fire hydrants, install manholes, connect service lines, erosion control, testing and seeding	YSW CO Inc	PRIME	146,350.00	146,350.00	Jul-20	92.00%
200321.03	FC SDF MOUNTAINEERING FACILITY	FORT CARSON ARMY BASE, CO	Clear and grub, erosion control, cut/fill, demo, import and place aggregate base course, exc/br wall lines, water lines, sanitary, storm sewer, industrial waste.	USACE	SUB	725,000.00	849,996.00	Mar-21	100.00%
200340	GREENWOOD CORPORATE PLAZA MAINT BLDG		R&R concrete (C&G, sidewalk, cross pans, handicap ramps), asphalt patching	FRDGS GCP, LLC	PRIME	99,692.30	106,937.30	Aug-20	98.00%
200344	ROXBOROUGH HOA ASPHALT IMPR. 2020	LITTLETON, CO	Mill and overlay asphalt, asphalt patching, R&R concrete	Roxborough Park HOA Foundation	PRIME	551,266.30	551,266.30	Nov-20	95.00%
200348	PINERY FILING 31 PAVING - ROADS & STREET	PARKER, CO	Scarify and recompact subgraded, import and grade aggregate base course, asphalt paving, adjust manholes, adjust valve boxes.	Timbers Development Group, Inc	PRIME	376,255.00	380,255.00	Nov-20	92.00%
200354	GEDDES	CENTENNIAL, CO	Place and finish concrete for structural deck	CSM Centennial, LLC	SUB	287,000.00	287,000.00	Jan-21	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
200389	240 ST PAUL STREET	DENVER, CO	Place and finish concrete on slab on grade and elevated decks	BMC Investments	SUB	122,587.36	122,587.36	Apr-21	100.00%
200402	1701 PLATTE OWNER LLC	DENVER, CO	Place and finish concrete on structural deck	HCBECK, Ltd.	SUB	469,500.00	430,000.00	Jun-21	100.00%
200413	INSPIRATION FILING 19 AKA ROCKING HORSE FILING 19	AURORA, CO	Subgrade prep and asphalt paving and utility box adjustments	Newland Communities DBA NASH Inspiration LLC	SUB	1,356,290.75	1,549,541.04	May-21	100.00%
200430	D4 BOADWAY PARK INFRASTRUCTURE	DENVER, CO	Scarify and moisture condition subgrade, fine grade and asphalt paving	D4 URBAN, LLC.	SUB	267,445.00	258,161.75	May-21	100.00%
200431	MIMI CUSTOMER EXPERIENCE & WEST WING EXPANSION	BOULDER, CO	Sanitary sewer, storm sewer and water utilities	Micro Motion, Inc.	SUB	897,000.00	700,000.00	Feb-21	100.00%
200455	PINERY FILING 27 & 29 R&R - FINAL	PARKER, CO	Remove and replace curb and gutter, concrete cross pans, subgrade prep	Timbers Development Group, Inc	PRIME	56,188.00	56,188.00	Aug-20	100.00%
200476	CENTENNIAL HANGAR SITE IMPR.	CENTENNIAL, CO	Mill and overlay asphalt paving	ARRIVAL CENTRE HANGAR CONDOMINIUM	SUB	233,560.00	281,128.90	Sep-20	97.00%
200500.01	OPEN SPACE N 40 PARKING LOT	GOLDEN, CO	Remove and replace existing asphalt, subgrade prep and striping	Jefferson County	PRIME	90,852.00	90,852.00	Oct-20	64.00%
200523.01	UCHEALTH PRRH CIVIL WORK AREA B&D	WOODLAND PARK, CO	R&R asphalt and concrete paving, subgrade prep and striping	UC Health	SUB	520,244.00	555,244.00	Oct-20	95.00%
200535	CASTLE ROCK AUTO STORAGE	CASTLE ROCK, CO	Earthwork, storm sewer, sanitary sewer, and water lines	CR Properties	SUB	550,000.00	616,285.47	Aug-21	100.00%
200542.03	BEAVER MEADOWS ROAD - ASPHALT	ROCKY MOUNTAIN NATIONAL PARK	Full depth asphalt paving	Federal Highway Administration	SUB	395,300.00	378,340.55	Jul-21	100.00%
200553	PINERY FILING 30B ROADS & STREETS	PARKER, CO	Concrete stetwork - C&G, crosspans, sidewalks and median cover	Timbers Development Group, Inc	PRIME	204,496.10	213,035.50	Oct-20	100.00%
200554	PINERY FILING 30B ROADS & STREETS - PAVING	PARKER, CO	Scarify and recompact subgrade, fine grade subgrade and asphalt paving	Timbers Development Group, Inc	PRIME	334,083.00	334,083.00	Dec-20	100.00%
200557	FEDEX-DENRY21 YARD IMPROVEMENTS	HENDERSON, CO	Mill and overlay asphalt, R&R concrete paving, cracksealing	FedEx	PRIME	1,635,132.90	1,635,132.90	Oct-20	96.00%
200561	BRIGHTON EAST FARMS - PHASE 2 FLG 3	BRIGHTON, CO	Scarify and recompact subgrade, place aggregate base course, asphalt paving and adjust manholes/valves	Kings Co., LLC	SUB	956,345	1,325,444	Jul-23	100.00%
200595.01	BRIGHTON ROAD E. 104TH TO E 112TH NATIONAL JEWISH CENTER FOR	COMMERCE CITY, CO	Demo, earthwork, utilities, traffic control, erosion control, testing, landscaping, guardrail replacement, asphalt paving, signage and striping	City of Commerce City	PRIME	2,603,977.43	2,069,031.68	Dec-20	85.00%
200598.01	OUTPATIENT HEALTH	DENVER, CO	Subgrade prep and asphalt paving.	Mortenson Development	SUB	223,040.00	409,034.51	Sep-21	100.00%
200602.03	FC COF BUTTS AIRFIELD	FORT CARSON ARMY BASE, CO	Site demo, earthwork, utilities, site concrete asphalt paving	USACE	SUB	2,369,875.00	2,537,768.00	Nov-21	98.00%
200609	HERITAGE @ EAGLE BEND HOA 2020	AURORA, CO	Infrared patching, concrete removal, subgrade prep, concrete paving and crack seal	Heritage at Eagle Bend HOA	PRIME	92,280.00	92,280.00	Nov-20	100.00%
200615	BROADCOM PARKING LOT RENO 2020	BROOMFIELD, CO	R&R concrete stetwork, mill and overlay asphalt paving, crack seal and striping	Broadcom Communications Systems	PRIME	918,800.38	918,800.38	May-21	90.00%
200632.01	PEORIA STREET WIDENING	DOUGLAS COUNTY, CO	Asphalt paving	Douglas County	SUB	220,471.90	220,471.90	Dec-20	100.00%
200644.01	HIGHWAY 79 WIDENING	BENNETT, CO	Demo, erosion control, asphalt paving, infrared patching, asphalt paving and crack seal	Town of Bennett	PRIME	410,431.00	425,417.50	May-21	100.00%
200646	ARAPAHOE VILLAGE 2020	CENTENNIAL, CO	Subgrade prep, asphalt paving and site concrete	ACF Property Management	PRIME	112,413.85	112,413.85	Dec-20	100.00%
200665.01	STERLING RANCH MIDDLE FORK ST	LITTLETON, CO	Subgrade prep, asphalt paving and site concrete	Unknown	SUB	2,376,161.20	2,237,144.28	Aug-21	100.00%
200679	KING SCOOPERS #80 M&O	LONGMONT, CO	Mill and overlay asphalt paving	Dillon Companies, Inc.	SUB	283,600.00	350,388.00	Jun-21	100.00%
200680	KING SCOOPERS #124 M&O	GLENDALE, CO	Mill and overlay asphalt paving	Dillon Companies, Inc.	SUB	214,258.00	220,258.00	Dec-20	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
200690.03	BARB LARGE VEHICLE INSPECTION POINT	BUCKLEY AFB, CO	Subgrade prep, structural excavation and backfill, utilities (water, sanitary, storm), asphalt paving, concrete foundations, site concrete, structural concrete	United States Air Force	SUB	1,171,414.00	1,226,087.00	Nov-21	99.00%
200697	PROJECT SYCAMORE WEST PHASE II AURORA/AURORA, CO	AURORA, CO	Demo, structural excavation and backfill, prep subgrade for building slab on grade, storm utilities	JP Morgan & Associates	SUB	199,125.00	229,052.00	Jun-21	100.00%
200706.03	FC PARKING LOT B1526 & B1525	FORT CARSON ARMY BASE, CO	Demo, cutting and removal of existing asphalt mat, concrete curb ramp and concrete curb and gutter, asphalt paving, subgrade prep	United States Army	PRIME	718,667.00	634,005.09	Sep-21	100.00%
200707.1	PROJECT SYCAMORE WEST PHASE II BROOM/BROOMFIELD, CO	BROOMFIELD, CO	Demo, structural excavation and backfill, prep subgrade for building slab on grade, storm utilities, curb & gutter	JP Morgan & Associates	SUB	214,929.00	360,156.00	Oct-21	100.00%
200709.03	FC RIGHT TURN LANE TITUS & SPECKER	FORT CARSON ARMY BASE, CO	Demo, subgrade prep, erosion control, site concrete, concrete paving, place rip rap, storm pipe, aggregate basecourse, potholing	United States Army	PRIME	345,183.00	226,219.43	Oct-22	99.00%
200710	THE CANYONS	CASTLE PINES, CO	Excavate and backfill for foundations and install water and sewer laterals for residential homes.	Infinity Home Collection Foundation	SUB	121,000.00	282,987.58	Aug-21	100.00%
200715.03	FC RPR LEGACY TEME 2792 HARDSTAND	FORT CARSON ARMY BASE, CO	Demo and removal of Existing Concrete, pavement, storm inlets and boulders, concrete paving, curb & gutter, subgrade prep, earthwork, storm drainage (inlet and grate)	United States Army	PRIME	881,482.00	898,889.50	Mar-21	93.00%
200716	AEROSPACE COS 2 PARKING LOT ADDITION	COLORADO SPRINGS, CO	Fine grade subgrade, asphalt paving, striping	The Aerospace Corporation	SUB	708,561.00	1,273,243.00	May-22	96.00%
200717.03	FC HARDSTAND B3092	FORT CARSON ARMY BASE, CO	Demo and removal of Existing Concrete, pavement, storm inlets and boulders, concrete paving, curb & gutter, subgrade prep, earthwork, storm drainage (inlet and grate)	United States Army	PRIME	963,535.00	1,191,769.07	Jun-21	99.00%
200720.01	ST. VRAIN WWTP	LONGMONT, CO	Place and finish concrete on structural deck and slabs on grade.	St. Vrain Water and Sewer District	SUB	100,846.65	100,846.65	Apr-22	100.00%
200721	GRANDWOOD RANCH	MONUMENT, CO	Overlot grading, storm drainage, subgrade prep, asphalt paving, aggregate base course, manhole adjustments	Sylvan Vista, Inc.	PRIME	2,672,836.25	3,434,026.10	Nov-21	70.00%
200724	CLARE GARDENS APARTMENTS	DENVER, CO	Demo, site grading, site concrete, asphalt paving	Mercy Housing	SUB	102,752.00	499,850.00	Aug-22	98.00%
200724	ANTERO RETAIL - ASPHALT REPAIRS	DENVER, CO	Mill and overlay asphalt paving, striping and site concrete. Moisture condition, fine grade for asphalt paving, storm pipe, aggregate base course, asphalt paving and concrete paving, concrete curb and gutter.	Antero Retail Group, LLC	PRIME	77,771.90	104,777.80	Sep-21	97.00%
210000.01	BARB COARNG - ENCLAVE EROSION CONTR	BUCKLEY AFB, CO	Site concrete paving, site concrete sidewalks, curb & gutter, and light pole bases	United States Air Force	SUB	277,455.00	398,691.69	Oct-21	100.00%
210017	HILLTOP SENIOR LIVING CENTER - SITE CONCRETE R3	DENVER, CO	Site concrete paving, site concrete sidewalks, curb & gutter, and light pole bases	BMISH II Denver CO Owner LLC	SUB	361,209.00	426,062.00	Feb-22	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
210018.03	FC ROUTE 1 MILL & OVERLAY (MSR-1)	FORT CARSON ARMY BASE, CO	Mill and overlay asphalt to portion of road downgrade. Full depth removal in some spots for full depth subgrade removal.	United States Army	PRIME	2,723,604.00	4,977,822.56	Dec-21	100.00%
210019.01	SOUTH PLATTE WELLS TRANSMISSION LINE	BRIGHTON, CO	Mill and overlay 2" of asphalt	City of Brighton	SUB	597,705.00	488,418.25	Aug-21	100.00%
210027	4825 CROWFOOT VALLEY ROAD	CASTLE ROCK, CO	Fine grade subgrade, asphalt paving, place and finish shoulder material	Sterling Custom Homes	SUB	126,867.75	126,867.75	Jun-21	91.00%
210025.01	COLORADO COLLEGE ROBSON ARENA	COLORADO SPRINGS, CO	Provide, place and finish concrete slab for an ice rink	Colorado College	SUB	147,050.00	147,050.00	Apr-21	100.00%
210026.01	ENGLEWOOD SERVICE CENTER DRAINAGE & PARKING LOT IMPROVEMENTS	ENGLEWOOD, CO	Demo existing parking lot, re-grade for proper drainage, erosion control, reset existing fence, re-vegetation, storm sewer, rip ramp, survey, asphalt paving, striping	City of Englewood	PRIME	554,564.30	563,940.43	May-21	90.00%
210041.01	2021 AURORA CRACK SEAL PROGRAM	AURORA, CO	Placement of crack seal throughout the City of Aurora. Includes traffic control.	City of Aurora	PRIME	342,860.00	342,860.00	Dec-22	100.00%
210042.03	RPR-CONV B1553 TO VISITOR CONTROL CTR	BUCKLEY ARB, CO	Demo existing curb and gutter, sidewalks and asphalt paving. Clear and grub, cut and fill, fine grading, install rip rap swale, relocate existing dirt road, install erosion control, exc/inf for building foundation, chemical treat subgrade, storm install, export excess material, asphalt paving and wheel stops.	United States Air Force	SUB	295,000.00	318,990.00	Oct-21	85.00%
210047.01	2021 MEADOWS-CASTLETON CONCRETE PAVEMENT RESTORATION	CASTLE ROCK, CO	Remove and replace concrete curb and gutter, sidewalks, concrete paving, repair existing inlet pan and top, unclassified excavation, striping and traffic control.	Town of Castle Rock	PRIME	1,775,000.00	2,023,407.00	Dec-21	68.00%
210051.01	2021 TOWNWIDE ROADWAY RECONSTRUCT PROGRAM	PARKER, CO	Remove and concrete paving, curb and gutter, sidewalks, curb ramp and cross pan. Install inlet protection, moisture condition subgrade, place and grade aggregate basecourse, asphalt paving, form and pour concrete sidewalks, handicap ramps, cross pans, striping, traffic control and traffic sensor loop.	Town of Parker	PRIME	1,446,279.00	1,322,690.29	Aug-21	85.00%
210058.01	2021 FULL DEPTH RECLAMATION PROJECT	CASTLE ROCK, CO	Remove and replace concrete curb, gutter and sidewalk. Adjust water valves, sanitary and storm manhole repairs, inlet protection, place and grade aggregate basecourse, full depth reclamation, asphalt paving, traffic control and striping	Town of Castle Rock	PRIME	508,444.00	563,793.90	Aug-21	86.00%
210061.01	WWTP ENTRY ASPHALT REPLACEMENT	NIWOT, CO	Remove existing asphalt and portion of subgrade in the parking lot, place and grade roadbase, place asphalt, remove and replace existing culvert.	Niwot Sanitation District	PRIME	299,885.00	316,487.70	Jul-21	75.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
210063.01	EAST BEAVER AVENUE EXTENSION	FORT MORGAN, CO	Extend existing roadway to include clear and grub, erosion control, add storm drain inlet, seeding, stabilize subgrade, place asphalt, concrete C&G and cross pan, signage, adjust water valves and manholes, traffic control and striping	City of Fort Morgan	PRIME	686,321.20	653,757.64	May-22	88.00%
210064	CAMPING WORLD GOLDEN	GOLDEN, CO	Scarify and recompact subgrade, place aggregate base course, asphalt paving and adjust manholes/valves, striping, remove asphalt offsite, overlay asphalt, striping and signage	DBA Group	PRIME	464,758.00	482,852.20	May-22	100.00%
210065.01	2021 PAVEMENT CRACK SEAL - LOUISVILLE	LOUISVILLE, CO	Placement of crack seal throughout the City of Louisville. Includes traffic control.	City of Louisville	PRIME	106,850.00	117,350.00	Sep-21	81.00%
210071	NORTHWEST BUSINESS PARK	WESTMINSTER, CO	Construct new parking lot. Demo fence, asphalt paving, concrete C&G. Strip topsoil, remove existing subgrade, install inlets and pipe and manholes, install edge drain, scarify and recompact subgrade, place concrete C&G and sidewalks, asphalt paving, striping, signage, traffic control, seeding and irrigation repairs.	ClO Circle Point Land LP	PRIME	862,493	991,533	Oct-23	70.00%
210073.01	UCB 000277 EGNW ECNT RENOVATIONS	BOULDER, CO	Demo existing asphalt, wet utilities, signs, trees, landscaping for new sewer pipe, light poles. Install new sewer pipe and connect to main. Excavate for crawlspace of new building. Exc/BF landscaping wall. Earthwork for stairs and structural backfill at retaining wall. Grade site.	CU Boulder	SUB	330,200.00	440,311.00	Nov-21	98.00%
210076.03	USPS PEYTON - PAVING UPGRADES	PEYTON, CO	Mill existing asphalt, grade subgrade, asphalt paving, install parking blocks and striping.	United States Postal Service	SUB	109,974.00	109,974.00	Jun-21	98.00%
210085	BRIGHTON CROSSING N 45TH & LONGS PEAK ST	BRIGHTON, CO	Remove existing asphalt, scarify, recompact and subgrade, place and grade roadbase, adjust water valves and manholes.	Brookfield Residential	SUB	813,456.90	971,501.20	Oct-21	95.00%
210086	WILCOX & SOUTH ST ROUNDABOUT	CASTLE ROCK, CO	Demo existing concrete and asphalt. Survey, prep subgrade, asphalt paving, landscaping, striping and signage, PLD pond, storm utilities, erosion control, traffic control, striping and material testing.	Town of Castle Rock	SUB	1,613,743.27	1,839,911.28	Jun-21	80.00%
210089.02	DFC BLDG 810 SAF RECONFIGURATION	DENVER FEDERAL CENTER, CO	Manage and schedule subcontractors for an interior remodel.	GSA	SUB	171,996.45	171,996.45	Aug-21	47.00%
210093	PINERY FILING 30B PH. 2 - ASPHALT	PARKER, CO	Scarify and recompact subgrade for roads at a new development. Place and grade aggregate base course, asphalt paving, water valve and manhole adjustments.	Timbers Development Group, Inc	PRIME	313,393.44	343,368.44	Sep-21	85.00%
210095	PINERY FILING 30B PH. 2 - CONCRETE	PARKER, CO	Install concrete sidewalk, C&G, cross pans, handicap ramps and colored median cover	Timbers Development Group, Inc	PRIME	164,597.15	192,866.20	Jul-21	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
210099.01	2021 DOWNTOWN ALLEY IMPROVEMENTS	CASTLE ROCK, CO	Remove and replace existing sanitary sewer to include pipe, manholes, erosion control, traffic control, concrete paving and asphalt paving.	Town of Castle Rock	PRIME	798,079.85	814,789.84	Dec-21	85.00%
210101.01	GRISWOLD WATER TREATMENT FLOW CONTROL BUILDING	AURORA, CO	Place and grade basecourse, asphalt paving, adjust manholes, adjust valve boxes	Aurora Water	SUB	113,554.35	113,554.35	Jul-21	78.00%
210111	DCS4 DISTRIBUTION CENTER PROJECT ACADEMY	COLORADO SPRINGS, CO	Demo existing asphalt, concrete, trees and bollards. Site grading (cut and fills) for concrete and asphalt. Install rain garden, storm sewer, waterlines, export excess material over-ex and import structural fill.	Amazon	SUB	1,186,000.00	5,559,962.34	Mar-22	90.00%
210113	THE FOUNDRY AT 38TH & BLAKE	DENVER, CO	Demo existing paving and concrete, manholes, relocate waterline. Install waterlines, fireline meter and meter vault, storm sewer and sanitary sewer. Survey and traffic control.	PR/MMF Foundry Owner LLC	SUB	349,921.00	367,753.00	Apr-22	98.00%
210115.03	CDOT US 40 GENESSEE TO CR93	GENESSEE, CO	Widen roadbase, install inlets, RCP pipe, rip rap, remove existing inlet, geotextile.	CDOT	SUB	196,988.75	344,428.58	Aug-21	100.00%
210116	LOOKING GLASS FILING 4 #1	PARKER, CO	Scarify and recompact subgrade, asphalt paving, adjust water valves and manholes and install signage. Install C&G, sidewalks, crossbars, curb ramp.	Taylor Morrison	SUB	1,309,326.60	1,218,279.75	Oct-21	100.00%
210117.01	BLOCK B-2 PARKING LOT RECONFIGURATION	WESTMINSTER, CO	Parking lot reconstruction, including asphalt, curb and gutter, storm sewer, solar light reinstallation and minor demolition on the west side of JCPenney located on Block B-2 of Downtown Westminister.	City of Westminister	PRIME	222,895.00	249,950.00	Jun-21	67.00%
210130.01	PARKVIEW TRIBUTARY & FIFTH ST TRAIL DRAINAGE	CASTLE ROCK, CO	Clearing and Grubbing, Removal of Existing Improvements, Dewatering, Asphalt Pavement, Concrete Pavement, Concrete Sidewalk, Concrete Curb & Gutter, Reinforced Concrete Pipe, HDPE Pipe, Storm Sewer Inlets, Storm Sewer Manholes, Culvert Lining, Modular Block Wall, Riprap, PVC Sanitary Sewer Pipe, Sanitary Sewer Service Connections, Ductile Iron Pipe, PVC Water Pipe, Water Service Adjustments, Water Service Connections, Handrail, Fencing, and Temporary Erosion and Sediment Control (TSSC) Items	Town of Castle Rock	PRIME	1,396,501.10	1,546,047.01	Feb-22	90.00%
210131	CASTLE PINES FILING 41	CASTLE PINES, CO	Scarify and recompact and grade subgrade, place and grade aggregate basecourse, asphalt paving	Brookfield Residential	SUB	428,397.40	519,803.34	Aug-22	100.00%
210132	CRESCENDO AT STEPPING STONE CHAMBERS WIDENING	PARKER, CO	Remove existing asphalt paving, scarify, recompact and grade subgrade, place and grade aggregate basecourse, asphalt paving.	Shea Homes	SUB	111,126.30	149,494.05	Sep-21	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
210137	MERCY HOUSING COLFAX SANITARY	DENVER, CO	Install new manholes and sanitary sewer pipe in road. Asphalt patching and traffic control.	MHMP 150 E. Colfax LLP "Mercy"	PRIME	122,000.00	163,889.00	Nov-21	92.00%
210139.01	TOWN OF BENNETT COMMUNITY CNTR	BENNETT, CO	Full depth asphalt removal, subgrade prep, asphalt patching, asphalt paving and striping	Town of Bennett	PRIME	163,850.00	163,850.00	Jul-21	96.00%
210141.03	GREELEY MP MILL & OVERLAY	GREELEY, CO	Mill and overlay asphalt paving, striping	City of Greeley	SUB	107,509.00	107,509.00	Jul-21	98.00%
210153.01	2021 ASPHALT MILL & OVERLAY - COMMERCE CITY	COMMERCE CITY, CO	Full depth asphalt removal, asphalt paving, valve box and manhole adjusting, striping, traffic control, R&R concrete curb and gutter.	City of Commerce City	PRIME	2,711,308.91	2,836,775.92	Dec-21	85.00%
210164.01	ROXBOROUGH ROCK WREN W&S REPLACEMENT	LITTLETON, CO	Full depth asphalt mill, scarify and recompact subgrade, blue top subgrade, asphalt paving, striping, traffic control, valve and manhole adjustments. Asphalt Infrared.	Roxborough Water and Sanitation District	SUB	41,248.45	131,248.45	Oct-21	96.00%
210167	GREEN VALLEY RANCH EAST MARKET	DENVER, CO	Scarify and recompact subgrade and asphalt paving	OPG Green Valley Ranch Partners II, LLC	PRIME	109,656	106,270	Dec-22	100.00%
210168.02	GREEN VALLEY RANCH WEST AFFORDABLE APTS	DENVER, CO	Scarify and recompact subgrade and asphalt paving	OPG Green Valley Ranch Partners II, LLC	PRIME	243,533.00	226,552.00	Dec-21	100.00%
210168.03	GREEN VALLEY RANCH WEST AFFORDABLE APTS	DENVER, CO	Full depth asphalt removal, scarify and recompact subgrade, fine grading, asphalt paving, adjust manholes and water valves	Arco National Living Group	PRIME	243,533.00	252,747.00	May-22	100.00%
210170.01	7300 LOWELL BLVD - WESTMINSTER PUBLIC SCHOOLS	WESTMINSTER, CO	Full depth asphalt remove and replace, R&R concrete sidewalk (curb and gutter, valley pan and retaining wall, scarify and recompact subgrade, remove brick pavers and replace with concrete	Westminster Public Schools	PRIME	340,250.00	340,250.00	Sep-21	74.00%
210186	FACULTY CLUB HOTEL	AURORA, CO	Place and finish concrete on structural deck and slabs on grade.	Airco Redevelopment	SUB	105,025.60	113,797.35	Feb-22	100.00%
210193	KENNENS RUN GREENWAY	GOLDEN, CO	Scarify and recompact subgrade, place basecourse, site concrete (sidewalk, curb & gutter, handicap ramps)	Molson Coors Brewing Company	PRIME	445,468.39	400,322.54	May-22	100.00%
210201.01	FC NICOE	FORT CARSON ARMY BASE, CO	Erosion control, excavate and backfill foundation, caisson spoil removal, grading for sitework, aggregate basecourse under concrete, perforated drain at foundation, concrete at building and site concrete	United States Army	SUB	1,379,817.00	1,423,234.00	Mar-22	97.00%
210203.01	LITTLETON PUBLIC SCHOOLS 2021	LITTLETON, CO	Crackseal and seal coat parking lots at various schools	Littleton Public Schools	PRIME	137,017.46	137,017.46	Sep-21	77.00%
210206	VENTANA AMBER RIDGE	CASTLE ROCK, CO	Full depth mill of asphalt, scarify and recompact subgrade, asphalt paving, R&R concrete (curb & gutter, crosspans and handicap ramps), crack seal	Peak to Peak Management	PRIME	571,635.50	463,717.92	Aug-21	83.00%
210212.03	COLORADO SPRINGS P&DC PAVEMENT UPGRADES USFS	COLORADO SPRINGS, CO	Remove existing asphalt and concrete and subgrade, scarify and recompact subgrade, asphalt paving, concrete paving, speed bumps, automatic gate sensors, striping, loading dock repair, install bollards, R&R wheel stops	United States Postal Service	PRIME	1,726,347.64	1,739,677.89	Dec-21	96.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
210231.02	DFC WIDE STORM DRAIN REPAIR	DENVER FEDERAL CENTER, CO	Repair existing inlets and connect an existing storm drain to a new storm drain.	GSA	SUB	106,739.50	114,290.67	Oct-21	95.00%
210233	2021 PARK NORTH SEWER REPLACEMENT	THORNTON, CO	Erosion control, remove existing pipe and soil, install pvc sewer pipe, manholes, concrete sidewalk, asphalt patches, camera new pvc lines	Park North Townhouse	PRIME	1,308,412.40	1,267,068.37	Jul-22	99.00%
210263.01	2021 WINTER PARK & FRASER ASPHALT REHAB	WINTER PARK, CO	Mill and overlay various streets, R&R concrete valley pans.	Towns of Winter Park & Fraser	PRIME	646,400.05	646,400.05	Oct-21	99.00%
210267.1	LOCKHEED MARTIN SSN	LITTLETON, CO	Remove planters and asphalt paving, excavate/backfill for building addition, install utilities (water, sanitary and storm), excavate/backfill for gas line	Lockheed Martin	SUB	390,862.50	711,011.00	Nov-23	84.00%
210277.01	DPS MVEC ZUNI PARKING LOT & HVAC	DENVER, CO	Install bioretention pond, storm drainage, asphalt paving and patching, concrete valley pan, concrete dumpster pad and concrete paving	Denver Public Schools	SUB	247,672.00	356,484.10	Nov-21	100.00%
210278	STERLING RANCH FILING 3 REPAIRS	LITTLETON, CO	Mill and overlay asphalt paving, crack seal	Sterling Ranch Community	SUB	151,675.00	214,086.46	Feb-22	100.00%
210293.1	BRONCO BILLY'S HOTEL & CONFERENCE CTR	CRIPPLE CREEK, CO	Site cut and fill, site grading, structural excavation and backfill, perimeter drain, inlets, storm line	FHR-Colorado, LLC	SUB	799,807	5,257,139	Oct-23	100.00%
210321	AIRWAYS DIST CTR II	DENVER, CO	Mill and overlay parking lots and striping	Prologis, LP	PRIME	223,437.75	223,437.75	Sep-21	97.00%
210322	AIRWAYS DIST CTR I	DENVER, CO	Mill and overlay parking lots and striping	Prologis, LP	PRIME	110,241.30	110,241.30	Sep-21	97.00%
210323	AIRPORT DIST. CTR 2 - 32ND AVE	DENVER, CO	Mill and overlay parking lots and striping	Prologis, LP	PRIME	230,833.97	230,833.97	Sep-21	97.00%
210333.13	NORTH I-25 EXPRESS LANES DESIGN/BUILD (Port of Entry)	FORT COLLINS, CO	Excavation/backfill for foundations and scale pits, concrete for buildings and scale pits, underground utilities (water, sanitary, storm), concrete stewart, install bollards, install septic systems, headwalls and rip rap	CDOT	SUB	3,005,593.97	3,042,693.97	May-22	96.00%
210338	1701 PLATTE OWNER LLC - SITE CONCRETE	DENVER, CO	Scarify and recompact the subgrade, place and finish structural slab, curb & gutter, sidewalks, and light pole bases	HCBECK, Ltd.	SUB	307,176.10	303,377.33	Feb-22	100.00%
210342	MARKETPLACE AT NORTHGLENN	NORTHGLENN, CO	R&R curb & gutter, asphalt mill and overlay, crackseal, remove wheel stops, asphalt patching, infrared patching, striping, sealcoat	MP Northglenn, LLC	PRIME	249,015.10	249,015.10	Sep-21	94.00%
210345	ALEXAN EVANS STATION	DENVER, CO	Place and finish structural slab on deck and on grade.	Unknown	SUB	157,580.00	162,118.60	Mar-22	100.00%
210346.01	UCHEALTH UNIVERSITY OF COLORADO HOSPITAL TOWER 3	AURORA, CO	Concrete sitework to include sidewalks, paving, curb & gutter, cross pans, pipe bollards, concrete seat wall, handicap ramps, fine grade all subgrade and install trendrains.	UC Health	SUB	435,889	729,746	Sep-23	100.00%
210347.01	ROCKY MOUNTAIN ACADEMY OF EVERGREEN	EVERGREEN, CO	Demo existing trees, clear and grub, cut and fill, erosion control, site concrete, asphalt paving, install retaining wall	Jefferson County School District	PRIME	438,974.95	430,581.18	Jul-22	84.00%

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210352	ROXBOROUGH PARK 2021 ROADWAY IMP	LITTLETON, CO	Traffic control, mill and overlay, full depth asphalt removal, scarify and recompact subgrade, asphalt paving, adjust manholes and valve boxes, striping	Roxborough Park HOA Foundation	PRIME	563,991.40	548,141.40	Sep-21	94.00%
210358.01	5 ALKIRE STREET ROADWAY IMPROVEMENTS	JEFFERSON COUNTY, CO	Mill and overlay asphalt, asphalt patching	Jefferson County	SUB	263,412.25	253,214.15	Feb-22	100.00%
210377	PCC PAVING LOT ANTHEM HIGHLANDS	BROOMFIELD, CO	Remove curb & gutter and asphalt paving, storm improvements, grading for sidewalks, site concrete, asphalt paving and patching, material testing, erosion control, place wheelstops	Anthem Highlands Community Association	PRIME	191,853.50	205,402.50	Nov-21	92.00%
210382.01	CITY OF FEDERAL HEIGHTS 2021 M&O	FEDERAL HEIGHTS, CO	Mill and overlay various streets, R&R concrete C&G and sidewalks	City of Federal Heights	PRIME	553,028.00	595,265.35	Nov-21	90.00%
210385	HANCOCK PLAZA SPRING 2021 REVISED	COLORADO SPRINGS, CO	Mill and overlay asphalt parking lot; add speed bumps, asphalt patching and striping	H Plaza LLC	SUB	171,863.75	171,863.75	Aug-21	97.00%
210399	SHORTLINE GMC 2021 ASPHALT & CONCRETE	AURORA, CO	Sawcut existing asphalt and concrete, remove concrete valley pan and paving, mill asphalt paving, form and pour concrete valley pan and paving, asphalt paving and patching, sealcoat asphalt, seal concrete paving and striping	Shortline GMC	PRIME	163,337.83	165,434.45	Sep-21	95.00%
210401.01	2021 ROADWAY IMPROVEMENTS	BOW MAR, CO	Full depth asphalt removal, subgrade prep, traffic control, asphalt paving, striping, inlet protection	Town of Bow Mar	PRIME	447,900.00	447,900.00	Jan-22	100.00%
210406.01	POINTE PLAZA INFRASTRUCTURE & ROAD CONSTRUCTION	FORT MORGAN, CO	Clear and grub, subgrade prep, asphalt paving, concrete sidewalk and C&G, concrete cross pan and handicap ramp, water, firehydrant, rip rap, sanitary sewer pipe and manholes, erosion control, striping and traffic control	City of Fort Morgan	PRIME	1,396,806.00	1,489,648.70	Aug-22	98.00%
210408.01	2021 MILL AND OVERLAY	ENGLEWOOD, CO	Mill and overlay asphalt, full depth asphalt removal and replacement, subgrade prep, place and grade roadbase, R&R concrete sidewalk, striping, erosion control and striping	City of Englewood	PRIME	2,293,616.65	2,145,144.49	Jan-22	95.00%
210410.03	2021 NORTHWEST AURORA ALLEY IMPROVEMENTS	AURORA, CO	Traffic control, remove existing concrete, remove subgrade, for and pour new concrete paving, traffic control and erosion control	City of Aurora	PRIME	258,851.50	258,851.50	Oct-21	98.00%
210415.01	2021 STREETS - TOWN OF GEORGETOWN	GEORGETOWN, CO	Mill and overlay asphalt paving, adjust manholes and valves, traffic control and concrete valley pan	Town of Georgetown	PRIME	386,731.00	386,731.00	Oct-21	98.00%
210417	MICRO CENTER DENVER	DENVER, CO	Clear and grub, remove and replace topsoil, erosion control, storm sewer and detention basin, class 6 basecourse for trail, new waterline, new sanitary line and manholes	GP Retail, Llc	PRIME	313,520.05	313,520.05	Sep-21	79.00%
210419	COLORADO GOLF CLUB PRESERVATION TRIAL	PARKER, CO	Clear and grub, remove and replace topsoil, erosion control, storm sewer and detention basin, class 6 basecourse for trail, new waterline, new sanitary line and manholes	Betts Lake LLC	PRIME	842,325.85	972,172.85	Mar-22	99.00%

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210428.03	VA DENVER PTSD CLINIC NEW BUILD	AURORA, CO	Install storm sewer pipe, fire line to building, fire hydrants. Building foundation excavation and backfill, grading for exterior site work and building SOG, grading for roadway	Dept. of Veteran Affairs	SUB	254,917	486,163	Dec-23	100.00%
210431.01	UCHEALTH MEMORIAL EMPLOYEE LOT	COLORADO SPRINGS, CO	Scarify existing subgrade, install aggregate base course, asphalt paving, concrete sidewalk, adjust manhole lids and utility valves	UC Health	SUB	256,335.00	261,519.00	Oct-21	100.00%
210434.1	HIGHLAND APARTMENTS	LONGMONT, CO	Clear and grub, excavation and embankment, reconditioning, structural concrete, culverts, sanitary sewer, manholes, inlets and meter vaults, water lines	Denver Housing Authority	SUB	3,187,291	4,390,987	Jun-24	90.00%
210433.03	DHA 13TH AVE & BRYAN ST ELEVATE DENVER BOND	DENVER, CO	Demo curb and gutter, fine grading, adjust manholes and valves, asphalt paving	Echelon Longmont, LLC	SUB	558,896.75	588,107.43	May-22	100.00%
210447	RIDGEGATE HAPPY CANYON PH 2 ASPHALT REPL AT 17 N SPRUCE ST PARKING LOT	CASTLE PINES, CO	Scarify, recompact and grade, aggregate base course, asphalt paving, concrete handicap ramp and vertical C&G	Rampart Range Metro District No. 5	SUB	192,107.90	260,899.78	Nov-21	100.00%
210453.01	ASPHALT REPL AT 17 N SPRUCE ST PARKING LOT	COLORADO SPRINGS, CO	Remove and replace asphalt parking lot. Striping and traffic control	El Paso County Financial Service Department	PRIME	141,238.50	141,238.50	Oct-21	98.00%
210464	2021 PARKING LOT REPAIRS AIRWAYS	AURORA, CO	Sawcutting, concrete R&R, asphalt patch, asphalt milling, infrared patching, crack sealing, seal coat, striping	Eastgroup Properties LP	PRIME	195,471.73	195,471.73	Nov-21	99.00%
210472	4TH ST RESIDENTIAL TOWNHOMES	SILVERTHORNE, CO	Excavate and backfill building foundation, fine grade building slab, fire line, scarify and recompact subgrade, storm line for roof drains	RCS-MW Fourth Street LLC	SUB	265,684.00	339,063.84	Oct-22	100.00%
210473	SECOND CREEK FILING 2	COMMERCE CITY, CO	Scarify and recompact subgrade, full depth asphalt paving, adjust manholes and utility valves	LGI Homes Colorado, LLC	SUB	1,794,864.30	1,953,290.74	Sep-22	100.00%
210482.03	ARAPAHOE CO LULIF CORRIDOR IMP	ARAPAHOE COUNTY, CO	Mill and overlay asphalt paving	Arapahoe County	SUB	4,043,426	4,776,080	Sep-23	99.00%
210491	INDIAN TREE LLC 7705, 7735, 7555 WADSWORTH BLVD	ARVADA, CO	Mill and overlay asphalt paving, full depth asphalt removal and replacement, scarify and recompact subgrade, infrared patching and striping	GP Retail I, LLC dba Indian Tree LLC	PRIME	437,332.50	437,332.50	Dec-21	98.00%
210503.01	TERRAIN CONTROL VALVE PROJECT	CASTLE ROCK, CO	Cutting in a new automated butterfly valve and vault in the existing water main installed in the Founders Parkway right-of-way. The project will also include a new electrical service that will be used to operate the valve.	Town of Castle Rock	PRIME	275,875.00	300,016.00	Jan-22	86.00%
210504	RED BARN SUBDIVISION	WELD COUNTY, CO	Mill and overlay asphalt paving	Century Communities, LLC	SUB	76,066.05	209,386.39	Sep-22	95.00%
210506.01	2021 SODA CREEK ROAD PAVEMENT OVERLAY PROJECT	CLEAR CREEK COUNTY, CO	Remove and replace storm pipe, improve drainage, full depth R&R of asphalt paving, mill and overlay asphalt paving, traffic control, erosion control.	Clear Creek County	PRIME	655,262.90	583,493.35	Aug-22	74.00%

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210518.03	PAFB SPACE CONTROL FACILITY	PETERSON AFB, CO	Full depth mill existing asphalt, grade existing subgrade, asphalt paving, R&R valley pans, R&R existing handicap ramps, erosion control, traffic control	City of Pueblo	PRIME	505,367.05	467,688.74	Jan-22	80.00%
210518.03	PAFB SPACE CONTROL FACILITY	PETERSON AFB, CO	Supply and install vapor barrier and rebar, place and finish concrete for slab on grade and MEP pads. Form and pour building radius wall, site concrete sidewalk and concrete paving.	Colorado Air National Guard	SUB	383,589	705,403	Nov-22	100.00%
210526	THE VILLAGE SHOPPING CENTER	BOULDER, CO	Full depth mill and full depth asphalt paving. Mill and overlay asphalt paving, striping, traffic control, remove brick and concrete drive pan. Form and pour new drive pan. Install concrete aprons around storm drains.	GRI Village LP c/o Gart Properties, LLC	PRIME	306,625.10	278,487.00	May-22	99.00%
210529	PAVILLION SHOPPING CENTER	FORT COLLINS, CO	Infrared patching, full depth mill and asphalt paving, R&R concrete curb and gutter, mill and overlay asphalt paving, striping, traffic control. Demo, scarify, recompact and fine grade concrete islands.	GP Retail 1, LLC dba 6592-2 Pavilion, LLC	PRIME	395,928.19	356,191.78	Aug-22	98.00%
210544.01	PAX CHRISTI PARKING LOT REPAIRS	LITTLETON, CO	Mill and overlay asphalt paving, crack seal, sealcoat, striping, R&R Cross pans and C&G	Pax Christ Church	SUB	106,913.65	112,002.40	Feb-22	97.00%
210546.03	CITYWIDE SIDEWALKS	DENVER, CO	Clear and grub, concrete demo, grading, concrete and asphalt patching, for and pour sidewalk and C&G	City and County of Denver	SUB	366,960.10	320,771.86	Apr-22	96.00%
210549.01	AURORA HIGHLANDS 38TH PKWY RESERVE - MONAGHAN	AURORA, CO	Scarify and recompact subgrade, fine grade, place and grade basecourse, asphalt paving, repair drainage issue, striping	Aerotropolis Area Coordinating Metro District	SUB	1,050,840.00	1,126,045.00	Dec-21	98.00%
210555	KIEWIT CORPORATE N LOT EXPANSION	LONE TREE, CO	Asphalt paving of new parking lot. Mill and overlay existing parking lot. Crack repairs, infrared patching and striping	Kiewit Construction	SUB	34,718.35	162,610.81	May-22	100.00%
210558	BUILDING 21 MILL & OVERLAY	AURORA, CO	Remove existing asphalt paving, recompact subgrade, place rebar, place and finish concrete paving, R&R wheel stops, striping	Majestic Management Co.	PRIME	275,363.25	282,359.00	Nov-21	100.00%
210560	FEDEX SERVICE CENTER YARD IMPROVEMENTS	HENDERSON, CO	Remove existing asphalt paving, recompact subgrade, place rebar, place and finish concrete paving, R&R wheel stops, striping	FedEx	PRIME	1,344,345.00	1,344,345.00	May-22	94.00%
210561.03	USAA MAINTAIN PKNG COMMUNITY CENTER	UNITED STATES AIR FORCE ACADEMY, CO	Crack seal, joint seal at C&G, repair inlets and pothole repairs	United States Air Force	PRIME	103,197.00	103,197.00	Nov-21	100.00%
210563	GK JETTING COTTAGES	COLORADO SPRINGS, CO	Place and finish aggregate basecourse and full depth paving	Unknown	SUB	155,323	162,060	Jun-23	100.00%
210576	VILLAGE OF TAMARAC	WOODLAND PARK, CO	Two lifts of asphalt paving	Terra Builders	SUB	123,048.00	123,048.00	Nov-21	100.00%
210578.1	3900 BRIGHTON	DENVER, CO	Place and finish structural concrete deck	Unknown	SUB	330,000.00	253,994.81	Oct-23	100.00%
210579.1	66 VAN GORDON APARTMENTS	DENVER, CO	Place and finish structural concrete deck	Unknown	SUB	330,000.00	276,214.58	Sep-22	100.00%
210595.01	THE ROSE ON COLFAX 008	DENVER, CO	Demo existing parking lot, erosion control, site cut and fill, site grading, structural excavation and backfill, water lines, sanitary sewer and storm sewer	Mercy Housing	SUB	280,345	322,676	Jun-23	100.00%

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210598.03	BARB MAINTAIN CURB & GUTTER	BUCKLEY AFB, CO	Remove and replace curb and gutter base-wide	United States Air Force	PRIME	364,735.20	364,735.20	Aug-22	100.00%
210601.01	CR314 IDAHO SPRINGS TO VETERANS MEMORIAL TUNNELS	IDAHO SPRINGS, CO	Asphalt patchback and asphalt paving	CDOT	SUB	373,268	419,291	Jul-23	100.00%
210611.03	FC PAVING PROJECTS RFP 13	FORT CARSON ARMY BASE, CO	Full depth asphalt removal by milling, subgrade strengthening, R&R curb and gutter, replace storm inlets, partial depth mill and overlay	United States Army	PRIME	3,716,317.40	3,190,772.98	Oct-22	95.00%
210614.1	LITTLETON VILLAGE APARTMENTS	LITTLETON, CO	Subgrade prep and grading asphalt paving	Littleton Village Apartment Owners, LLC	SUB	237,783.00	249,622.25	Dec-22	100.00%
210616.1	DENARGO MARKETPLACE PHASE 4	DENVER, CO	Place and finish concrete on structural deck and slabs on grade.	Cypress Real Estate Advisors	SUB	286,049	281,247	Nov-22	86.00%
210619	COMPASS MERIDIAN APARTMENTS	LONE TREE, CO	Concrete paving, asphalt paving, signage and striping	Shea Properties	SUB	2,877,672	4,079,775	Jul-24	98.00%
210620.03	40TH AVENUE EXTENSION	DENVER, CO	Concrete sidewalk, concrete paving, curb & gutter, Traffic control, Place and finish aggregate base course and asphalt paving. Cut to fill, grading for roadway and site concrete, waterline, sanitary sewer and storm lines and erosion control.	Forest City Stapleton, Inc.	PRIME	966,387.00	1,174,458.00	Aug-22	98.00%
210626.1	HANOVER RINO BRIGHTON BLVD	DENVER, CO	Place and finish concrete on structural deck, slab on grade and stairs	Hanover RS Construction, LLC	SUB	232,098	116,049	Jan-23	100.00%
210631.1	PROJECT STEEL	COLORADO SPRINGS, CO	Misc excavation and backfill, asphalt patching, abandon tank in place, moisture condition and grade for misc concrete pads, excavation and shoring for firewater tanks.	Keysight Technologies	PRIME	5,000.00	312,124.00	May-22	100.00%
210632.01	ENGINEERING HOUSING MAINT SHOP	FORT CARSON ARMY BASE, CO	Clear and grub, site cut and fill, site grading, overex for building foundation, backfill foundations, place and grade basecourse for concrete flatwork and asphalt paving, grading for building slab and all site concrete	United States Army	SUB	154,000	186,479	Dec-22	100.00%
210640.03	FC RPR IHP WALKING TRAIL IRON HORSE PARK	FORT CARSON ARMY BASE, CO	Demo, mill existing trail, electrical, grading, basecourse for new trail, paving trail, subgrade deep strengthening.	United States Army	PRIME	394,912.00	391,215.30	May-22	70.00%
210646	ORACLE BROOMFIELD PH 4 DRAINAGE RPRS & NEW IMP	BROOMFIELD, CO	Clear and grub work areas, firelines to various buildings, replace perimeter drains, demo asphalt paving, asphalt patch back, storm lines, erosion control, survey, temp fencing relocation, remove retaining wall, street sweeping, domestic water line	Oracle Broomfield	SUB	2,940,248	3,811,942	Jan-23	96.00%
210652.03	CCD LRG RED ROCKS RD DRAINAGE & PED BRIDGE	DENVER, CO	Full depth mill, subgrade prep, place and grade aggregate base course, asphalt paving	City and County of Denver	SUB	282,029.00	291,292.13	May-22	100.00%
210653.03	88th USARC PAVING MARTINEZ ARC	DENVER, CO	Demo of existing concrete and asphalt paving, remove existing fencing, relocate underground utilities, erosion control, restabilization, electrical, replace fence and signage	Air National Guard/USACE	PRIME	901,295	938,796	May-23	100.00%

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220000.01	KEYSIGHT DESIGN BUILD INFRASTRUCTURE PROJECTS	COLORADO SPRINGS, CO	Demo asphalt paving, install firewater pipe and fittings, export spoils, asphalt patching Full depth asphalt removal, scarify and recompact subgrade, fine grading, asphalt paving and concrete curbs.	Keysight Technologies	SUB	152,367.00	258,415.00	Apr-22	100.00%
220002.03	SABE REPAIR CDC PARKING ROADWAY B60	SCHRIEVER SFB, CO	Convert existing intersection to a roundabout. Traffic control, clear and grub, potholing, erosion control, demo, grading, excavation and embankment, concrete pavement, asphalt paving, stormwater management, sidewalks and curb ramps, lighting, survey	United States Air Force	PRIME	670,354.67	670,354.67	Sep-22	100.00%
220003.01	HENDERSON RD & PARK BLVD ROUNDABOUT	ADAMS COUNTY, CO	Underground utilities (water, sanitary sewer and storm sewer). Connect to existing water main, install firehydrant and service line. Install sanitary sewer line and sand/oil interceptor. Connect to existing storm line and install sanitary pipe and precast structures.	Adams County	PRIME	1,880,830.70	1,956,577.00	Jun-22	80.00%
220007	ALPINE AUTO BODY & SERVICE CENTER	LITTLETON, CO	Form and pour concrete site work to include curb and gutter, sidewalk, trickle channel, valley pan, reinforced concrete steps, handicap ramps, monument pads, concrete paving, colored concrete pool deck and light pole bases. Asphalt paving and stop box and manholes adjustments.	Drawe Holdings, LLC	SUB	276,750.00	286,049.00	Apr-22	99.00%
220016.11	ALANA APARTMENTS	CASTLE ROCK, CO	Scarify and recompact subgrade, fine grade, place and grade aggregate basecourse, valve and manhole adjustments, asphalt paving.	Forum Real Estate Group	SUB	1,404,319	4,663,231	Mar-24	97.50%
220021	HOME PLACE PHASE 2A 4	THORNTON, CO	Install underground utilities to include water service line, fire hydrants, sanitary sewer service line, RCP pipe, forebay, inlets and manholes	Unknown	SUB	235,435.00	163,468.00	Sep-22	100.00%
220022	BOULEVARD ONE BLOCK 6 CORE SHELL	DENVER, CO	Place and finish concrete on structural deck and slab on grade.	Confluence Development	SUB	199,950.00	241,823.00	Jul-22	90.00%
220026.1	SUPERIOR TOWN CENTER CONCRETE P&F	SUPERIOR, CO	Mill and overlay asphalt paving, full depth asphalt repairs in specific areas, shouldering, traffic control, route and seal concrete cracks, geogrid basecourse reinforcement, striping.	CP VII Superior, LLC	SUB	123,908	149,040	Jan-23	100.00%
220030.03	BAEB M & O VAIL ST & SILVER CREEK AVE WEST	BUCKLEY SFB, CO	Scarify, recompact and fine grade, asphalt paving, adjust manholes and water valves	United States Air Force	PRIME	352,680.00	352,680.00	Aug-22	100.00%
220032.01	SHOPS AT WILD POINTE WEST	ELIZABETH, CO	Full depth asphalt paving	Ebert and Highway 86 Commercial Metro District	SUB	232,632.50	272,664.25	Aug-22	100.00%
220034.01	FULTON DITCH BRIDGE REPLACEMENT	COMMERCE CITY, CO		City of Commerce City	SUB	153,649.60	141,084.80	Apr-22	100.00%

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220036.01	BROADLANDS LANE RECONSTRUCTION	BROOMFIELD, CO	Excavate for post tension concrete floors. Install PT cables, vapor barrier, post walls and curb, and form and pour concrete floor on various buildings.	City and County of Broomfield	PRIME	385,744.00	433,480.48	Aug-22	75.00%
220038.1	SUPERIOR TOWN CENTER AURORA CROSSROADS SUBDIVISION FILING 1 CIVIL	SUPERIOR, CO	Asphalt paving and patching. Scarify, recompact, fine grade, asphalt paving, adjust manholes and water valves	CP VII Superior, LLC	SUB	1,616,555	3,853,682	Dec-23	89.00%
220040.01	AURORA CROSSROADS SUBDIVISION FILING 1 CIVIL	AURORA, CO	Asphalt paving and patching. Scarify, recompact, fine grade, asphalt paving, adjust manholes and water valves	Aurora Crossroads Metro District No. 1	SUB	1,620,011	2,074,577	Dec-23	98.00%
220041.1	835 PINEHURST TERRACE LLC	LAKEWOOD, CO	Crackseal various residential streets in Colorado Springs. Street sweeping. Traffic control	Pinehurst Terrace LLC	PRIME	156,140	154,365	Oct-23	99.00%
220050.01	2022 PPRTA CRACK SEAL PROGRAM	COLORADO SPRINGS, CO	Demolition, water line repairs, shoring, backfill	Pikes Peak Rural Transportation Authority	PRIME	500,000.00	527,400.00	Oct-22	100.00%
220051.03	DIA WEST GARAGE VALVE LEAK	DENVER, CO	Demo existing C&G, sidewalk, curb ramps and concrete pavement, sawcutting. Mill existing asphalt, asphalt paving, concrete stewart (C&G, sidewalk, curb ramps and paving), striping, traffic control, adjust manholes and valve boxes. Material testing	City and County of Denver	SUB	163,225.00	133,650.00	May-22	94.00%
220057.01	TOCR 2022 ASPHALT OVERLAY	CASTLE ROCK, CO	Sanitary sewer line, water line and fire loop, storm sewer and manholes, direction bores (water line), foundation perimeter drain.	Town of Castle Rock	PRIME	5,973,766.00	5,487,733.27	Nov-22	90.00%
220059.13	PARB SOCGNORTH Theater Ops Facility	PETERSSON ARB, CO	Scarify and recompact subgrade, subgrade fine grade, adjust manholes and valve boxes, asphalt paving	United States Air Force	SUB	801,500	1,099,564	Nov-23	94.00%
22064.03	SUN VALLEY PH 1 GREEN HAUS	DENVER, CO	Full depth asphalt remove and replace, infrared patching, subgrade prep and striping of parking lot.	City and County of Denver Housing Authority	SUB	94,864	161,858	Jan-23	100.00%
220066.01	APEX 22 - 9181, 9183, 9187 PARKING LOT REPAIRS	ARVADA, CO	Remove and replace concrete C&G, sidewalks, paving, curb ramps. Traffic control, material testing and asphalt patching.	Apex Park & Recreation District	PRIME	152,857.05	198,612.90	May-22	99.00%
220070.01	TOCR 2022 CURB GUTTER& SIDEWALK	CASTLE ROCK, CO	Mill and overlay existing parking lot and roadway. Full depth removal in some locations. Subgrade moisture condition and grading. Supply and install basecourse.	Town of Castle Rock	PRIME	470,227.00	442,000.05	Aug-22	85.00%
220074.01	ROCKY MOUNTAIN RAIL YARD SOUTH PARCEL	BENNETT, CO	Supply and install utilities (waterline, fire line, fire hydrants, sanitary sewer and manholes, grease interceptor, storm sewer and manholes and inlets).	Rocky Mountain Rail Park Metro District	SUB	764,018.90	1,134,717.10	Nov-22	100.00%
220075	GARAGE POINT	MORRISON, CO	Highpoint Storage, LLC	SUB	757,300	996,607	Feb-23	94.00%	

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
220076.01	LEGATO FL SPINE INFRASTRUCTURE IMP	COMMERCE CITY, CO	Scarify and recompact for new asphalt paving, asphalt for temp access road, pond maintenance, scarify and recompact for concrete flatwork (C&G, sidewalks, median cover and handicap ramps).	Legato Community Authority	SUB	3,983,611	4,157,461	Sep-23	96.00%
220077.01	COLUMBINE HS DRAINAGE IMP	LITTLETON, CO	Install RCP storm pipe, flared end sections and replace disturbed landscaping.	Jefferson County School District	PRIME	150,270.00	191,762.00	Jul-22	86.00%
220078.1	VIEW AT CASTLE ROCK	CASTLE ROCK, CO	Place and finish structural concrete on decking and slab on grade	Unknown	SUB	417,953	384,284	Sep-23	100.00%
220080	COUNTRY VILLAGE SITE REPAIRS	ELIZABETH, CO	Demo concrete, subgrade prep entire lot, form and pour C&G, sidewalks, curb ramps, trash pads and valley pans. Install concrete stairs and railing. Asphalt paving and place steel bollards. Crackseal and sealcoat, add speed bumps and striping. Install electric line and light poles	SRO 3 Under 3 LLC Suite 301 LLC Aydin LLC	PRIME	721,038.78	838,871.57	Nov-22	54.00%
220081.03	PENA STATION	DENVER, CO	Scarify and recompact subgrade, asphalt paving, place geo grid in areas and place and grade aggregate road base.	Aviation Station N. Metropolitan District No. 1	SUB	670,722	967,709	Jun-24	96.00%
220082.01	CHAMBERS HIGH POINT BELFORD AVE IMP	PARKER, CO	Install utilities (water, fire hydrants, fire line, storm sewer pipe and manholes and inlets, sanitary sewer pipe and manholes). Outlet structures and micropiles; asphalt paving and concrete sidewalk; traffic control	Chambers High Metropolitan District No 1	PRIME	3,512,667	5,115,520	Oct-23	91.00%
220085	MODERN AVIATION NEW FBO & HANGAR	ENGLEWOOD, CO	Scarify and recompact subgrade, asphalt paving, signage and striping.	Modern Aviation	SUB	197,782	221,610	Jan-23	99.00%
220086.1	ALEXAN MONTVIEW PLAZE	AURORA, CO	Place and finish structural concrete on decking and slab on grade. Sawcutting	Maple Multi-Family Contractors, LLC	SUB	129,671	129,671	Nov-22	100.00%
220088.01	2022 ARAPAHOE COUNTY MILLING	ARAPAHOE COUNTY, CO	Mill existing asphalt in various locations, street sweeping and traffic control.	Arapahoe County	PRIME	484,024	484,024	Dec-22	86.00%
220089.01	COAL CREEK PARK REDEVELOPMENT	ERIE, CO	Scarify and recompact subgrade, place and finish aggregate base course, asphalt patching, asphalt paving	Town of Erie	SUB	134,484.90	158,778.61	Nov-22	100.00%
220092	N UNION COMMERCIAL PROPERTY DRAINAGE REPAIRS	COLORADO SPRINGS, CO	Remove and replace concrete sidewalk (C&G, sidewalk, valley pans), remove aggregate base course, moisture condition and recompact subgrade, mill and overlay asphalt paving	Mountain Management & Real Estate Inc.	PRIME	100,338.30	100,338.30	Aug-22	100.00%
220096.01	2022 STREET RESURFACING LOUISVILLE	LOUISVILLE, CO	Erosion control, full depth mill of asphalt, adjust manhole covers and valve boxes, supply and place geogrid, asphalt paving, slurry seal, striping and traffic control.	City of Louisville	PRIME	1,853,843.70	1,925,406.00	Oct-22	84.00%
220100.01	2022 PAVEMENT REHAB SOUTHWEST PLAZA	LITTLETON, CO	Mill and overlay portion of the asphalt parking lot. R&R concrete C&G. Striping, adjust manholes and water valves.	Southwest Plaza Metro District	PRIME	220,887.80	222,667.04	May-22	97.00%

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220101	5 HELENA ST IMPROVEMENTS	AURORA, CO	Remove C&G, full depth asphalt removal, remove subgrade, scarify and recompact subgrade, place and grade aggregate base course, asphalt paving, form and pour concrete C&G, traffic control.	851 Helena LLC	PRIME	121,206	196,996	May-23	100.00%
220105	DORAL ACADEMY WESTMINSTER	WESTMINSTER, CO	Clear and grub, cut and fill, demo existing curb, prep subgrade for paving, excavate and backfill building foundation and SOG, form and pour building pads and SOG, vapor barrier, anchor bolts, form and pour all site concrete.	Doral Academy	SUB	1,831,036	1,981,933	Aug-23	99.00%
220112	VILLAGE CENTER VET CLINIC	COLORADO SPRINGS, CO	Demolition, clear and grub, cut and fills, overex at building, excavate and backfill building foundation, finegrade SOG, water line to building, sanitary sewer pipe and cleanout, storm pipe and manhole and connect to existing.	Dr. Anne Pearce - Village Center Vet Care 710	SUB	208,062.50	235,902.35	Aug-22	100.00%
220114	HILTON GARDEN DIA	DENVER, CO	Scarify and recompact subgrade, asphalt paving, signage and striping. Adjust manholes, water valves and cleanout. Final lot sweeping.	DIA 66th & Argonne Development	SUB	206,338	257,602	Nov-23	97.00%
220115	SETTLERS CROSSING FILING 2	COMMERCE CITY, CO	Scarify and recompact subgrade, asphalt paving, adjust manholes, adjust water valves and cleanouts	D R Horton America's Builder	PRIME	1,258,209.75	1,430,886.03	Sep-22	99.00%
220116	PLUM CREEK CENTRE ALLEY R&R ASPHALT	CASTLE ROCK, CO	Full depth mill of asphalt and full depth asphalt paving. Stabilize subgrade with geofabric and imported aggregate basecourse. R&R concrete paving, install bollards and striping.	Plum Creek Centre, LLC c/o RRI Mgmt	PRIME	264,666.20	263,545.40	Aug-22	98.00%
220129.01	PROMENADE METRO DISTRICT 2 (ALAMA METRO)	CASTLE ROCK, CO	Scarify and recompact subgrade, fine grade, concrete sitework (C&G, sidewalk, valley pan, concrete paving and handicap ramp).	Promenade Metro District 2	SUB	131,058	207,266	Feb-23	100.00%
220131	HAMPTON HOMEZ AURORA	AURORA, CO	Scarify and recompact subgrade, fine grade and asphalt paving.	Twenty One Lodging LLC	SUB	309,722	365,962	Oct-24	96.00%
220141.03	FCB1550 PARKING LOT DPW21-046	FORT CARSON ARMY BASE, CO	Full depth asphalt removal, scarify and recompact subgrade, demo brick pavers, asphalt paving, satmped concrete pathway, curb and gutter and subgrade deep strengthening.	United States Army	PRIME	481,196.00	473,824.50	Aug-22	93.00%
220143.1	EDERA APARTMENTS	DENVER, CO	All exterior concrete flatwork and asphalt paving. Fine grading, sidewalks, cross-pan, handicap ramps, dumpster pads, curb and gutter, concrete paving, colored concrete at pool deck. Scarify and recompact subgrade for asphalt paving. Signage and striping.	FDG Monaco Associates, LLC	SUB	1,264,231	1,964,480	Nov-24	98.00%
220146.03	2275 WADSWORTH	LAKEWOOD, CO	Scarify, recompact and fine grade subgrade, full depth asphalt paving, adjust manholes/water valves/cleanout, signage and striping.	2275 Wadsworth LIHTC, LLLP	SUB	138,305	173,710	Nov-23	85.00%

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220147	AURORA PLAZA KING SOOPERS PKG LOT & ADA IMP	AURORA, CO	Remove concrete sidewalk and install ADA handicap ramp. Install bollards, mill and overlay existing asphalt, striping, signage and wheels stops.	Brimor GA Apollo III Sub Holdings LLC	PRIME	172,933.90	178,158.35	Sep-22	93.00%
220159.1	TRAILS AT SMOKEY HILL	PARKER, CO	Scarify, recompact and fine grade subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes/water valves/cleanout.	CC Communities, LLC dba Century Communities	PRIME	2,094,051	1,102,053	Dec-23	99.00%
220165.01	2022 SURFACE TREATMENT PROJECT FORT MORGAN	FORT MORGAN, CO	Furnish and install chipseal on various streets and traffic control.	City Of Fort Morgan	PRIME	121,432.00	121,432.00	Oct-22	7.00%
220166	QUICKTRIP 4206 PARKER	PARKER, CO	Scarify, recompact and fine grade subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes/water valves/cleanout.	QuickTrip Corporation	SUB	201,288.00	201,288.00	Oct-22	90.00%
220167.01	PLUMCREEK WIDENING PH2	CASTLE ROCK, CO	Widen Plum Creek Parkway. To include existing pavement removal, install new storm drain (pipe, manholes and inlets), grouted rip rap, earthwork, retaining wall, asphalt paving, traffic control, erosion control, signage and striping.	Town Of Castle Rock	PRIME	6,845,575	7,086,655	Oct-23	86.00%
220168.01	SAGEPORT & BANNOCK IMPROVEMENTS LID	CASTLE ROCK, CO	Remove and replace existing waterline, fire hydrants, sanitary sewer line, and storm line, rip rap, manholes, inlets, install curb & gutter, erosion control, asphalt paving, striping and signage.	Douglas County	PRIME	2,488,164	2,586,164	Nov-22	93.00%
220169	ASPEN ENDOPTICS	COLORADO SPRINGS, CO	Underground utilities (water, sanitary sewer and storm sewer), manholes, inlets, firehydrant, connect to existing, bore pits, traffic control, asphalt patching.	Unknown	SUB	422,000	570,477	Jan-23	99.00%
220171	PAVILLION SHOPPING CENTER 2022	FORT COLLINS, CO	Full depth asphalt removal by milling, scarify and recompact subgrade, asphalt paving, traffic control and striping.	GP Retail 1, LLC dba G592-2 Pavilion, LLC	PRIME	316,949.30	335,211.71	Oct-22	99.00%
220176	ERRERT ST LONGMONT WATERMARK	LONGMONT, CO	Scarify, recompact and fine grade subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes/water valves/cleanout, sealcoat, signage and striping.	Watermark at Longmont Errert, LLC	SUB	1,283,202	1,559,534	Jun-24	84.00%
220179.01	WASHINGTON AVE RECON & DRAINAGE IMP	LOUISVILLE, CO	Reconstruction of existing street. Demo existing asphalt, scarify and recompact subgrade, new storm pipe and inlets, concrete C&G, sidewalks, handicap ramps and cross pans, traffic control.	City of Louisville	PRIME	805,668.20	892,266.00	Oct-22	76.00%
220181	THE VILLAGE SHOPPING CENTER 2022 ASPHALT	BOULDER, CO	Remove existing C&G, concrete median cover and sidewalks. Mill and overlay asphalt paving in parking lot, form and pour C&G and handicap ramps, striping, R&R wheel stops.	GRI Village LP c/o Gart Properties, LLC	PRIME	339,510.65	348,632.65	Aug-22	89.00%

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220182	INDIAN TREE 2022 ASPHALT	ARVADA, CO	Full depth and partial depth asphalt removal by milling, scarify and recompact existing subgrade, asphalt paving and striping	GP Retail I, LLC dba Indian Tree LLC	PRIME	374,530.00	413,350.05	Aug-22	97.00%
220183	MIRCO CENTER DENVER 2022 ASPHALT	DENVER, CO	Full depth asphalt removal by milling, scarify and recompact subgrade, asphalt paving, infrared asphalt patching, traffic control and striping.	GP Retail I, LLC dba 225 Tamarac, LLC c/o Gart Properties	PRIME	369,050.85	374,943.10	Aug-22	99.00%
220184_01	PEACE WITH CHRIST CHURCH ASPHALT R&R	AURORA, CO	Mill and overlay asphalt paving, seal coat asphalt parking lot, striping and various asphalt patching	Peace With Christ Church	PRIME	144,998.50	133,940.25	Jul-22	95.00%
220191	2 INVERNESS DR EAST - 2022 M & O - FULL LOT	ENGLEWOOD, CO	Remove and haul existing landscaping and C&G, form and pour C&G and flatwork, install bollards, mill and overlay asphalt paving, traffic control and striping.	The Condo Assoc. for Commons at Inverness Inc	PRIME	111,926.95	134,649.45	Aug-22	93.00%
220199	2022 COOPER OAKS MILL & OVERLAY	LAKEWOOD, CO	Mill and overlay existing asphalt parking lot. Striping	AMA	PRIME	159,000.00	159,000.00	Aug-22	94.00%
220202_01	VIRGINIA COURT MODULAR BUILDINGS	AURORA, CO	Asphalt removal for electrical trench. Clear and grub, moisture condition and grade for concrete pad. Water service, sanitary sewer and storm sewer (roof drain laterals). Install vehicle tracking pad and traffic control. Asphalt paving for modular classroom placement.	Aurora Public Schools	SUB	358,463.00	362,200.00	Aug-22	99.00%
220203	MERIDIAN OFFICE LOT MAINTENANCE 2022	ENGLEWOOD, CO	Remove existing asphalt and replace with concrete paving. Install dumpster pad. Crackseal and seal coat existing parking lot. Striping	Meridian Office Partners, LLC	PRIME	101,310.10	100,347.10	Oct-22	39.00%
220204	MERIDIAN OFFICE LOT 2022 MILL & OVERLAY	ENGLEWOOD, CO	Mill and overlay asphalt in existing parking lot. Striping	Meridian Office Partners, LLC	PRIME	170,810.40	170,810.40	Aug-22	98.00%
220207_1	SOLANA BEELER PARK	DENVER, CO	Install sanitary sewer line and connect to existing sanitary sewer in ROW. Install waterline, fireline and fire hydrant and connect to existing waterline in ROW. Install RCP pipe, manholes, inlets and connect to existing in ROW. Concrete and asphalt patching.	Solana Beeler Park LLC	SUB	570,000	651,946	Sep-24	97.00%
220209_03	FC REPAIR LOTS GR41 DPW21-058	FORT CARSON ARMY BASE, CO	Full depth removal of asphalt parking lots. Remove existing aggregate base course and install new base course. R&R existing C&G. Large crack repairs.	United States Army	PRIME	791,583.00	791,583.00	Oct-22	97.00%

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220211.1	UAL FLIGHT TRAINING BLDG EXPANSION	DENVER, CO	Scarify, recompact and grade subgrade. Place and grade aggregate base course. Full depth asphalt paving for new parking lot, walking path and private street. Mill and overlay existing asphalt street. Asphalt patching. Traffic control and erosion control.	United Airlines, Inc.	SUB	2,252,191	5,539,107	Sep-24	91.00%
220212	MILLSTONE SUBDIVISION LITTLETON	LITTLETON, CO	Mill and overlay existing asphalt streets. Full depth asphalt repairs. Asphalt curbs. Adjust manholes and water valves/cleanouts. Traffic control.	Epic Homes	SUB	297,563	425,039	Dec-22	98.00%
220213.01	STREET IMPROV DUNCA, MESA MICHIGAN AVES	MANITOU SPRINGS, CO	Site grading, asphalt base course and surface courses in parking lots, asphalt walking path and asphalt curb head	City of Manitou Springs	PRIME	152,899.65	152,889.65	Aug-22	88.00%
220216.02	ECD HERON POND CS PARK PH 1B	DENVER, CO	Scarify, recompact and grade subgrade. Full depth asphalt paving. Form and pour curb and gutter, cross-pan and handicap ramps.	City and County of Denver	SUB	365,623	402,414	May-23	100.00%
220226	KOPPERS OS6	DENVER, CO	Scarify, recompact and fine grade subgrade, asphalt paving, manhole/valve box adjustments, concrete sidewalk.	Quantum 56, LLC	SUB	937,527	937,527	Dec-22	100.00%
220229	CERRYWOOD POINTE SENIOR LIVING	ARVADA, CO	Site Concrete curb and gutter, sidewalk, handicap ramp, concrete paving]	Cherrywood Senior Living	SUB	196,000	703,247	May-24	93.00%
220231	SUNCAP VERVE INNOVATION PARK	WESTMINSTER, CO	Scarify, recompact fine grade subgrade. Place and finish base course, asphalt paving and adjust manholes/valve boxes	SIF II Suncap Verve Ventures, LLC	SUB	971,372	971,372	Feb-23	100.00%
220234	GREEN VALLEY RANCH EAST FILING 7	DENVER, CO	Installation of waterline, tie ins, hydrants, valves, asphalt patching, site restoration, traffic control	Oakwood Homes, LLC	PRIME	1,364,006	348,780	Jan-23	92.00%
220248.01	BELL MOUNTAIN RANCH WATER CONNECTION	CASTLE ROCK, CO	Mill and overlay various streets, traffic control, adjust manholes/valve boxes, striping	Town Of Castle Rock	PRIME	2,364,200	2,137,290	Dec-23	97.00%
220249.01	2022 ASPHALT M&O COMMERCIE CITY	COMMERCIE CITY, CO	Mill and overlay asphalt parking lot, striping, remove and replace wheel stops	City Of Commerce City	PRIME	2,218,865	2,885,272	Dec-22	85.00%
220251.03	USPS DENVER 2022 MILL & OVERLAY	DENVER, CO	Clear and grub, overlot grading, export excess material, survey and erosion control	United States Postal Service	SUB	131,385.30	131,385.30	Oct-22	85.00%
220252	SYCAMORE BROOMFIELD GRADING	BROOMFIELD, CO		JPMG, Inc.	SUB	9,700.00	277,196.50	Nov-22	100.00%

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220255	PAULSADE PARK-URBAN PARK 168th & GALAPAGO	BROOMFIELD, CO	Scarify, recompact, fine grade, asphalt paving, adjust manholes and water valves. Place and grade recycled asphalt under concrete curb areas	Kayama, LLC	SUB	268,095.30	263,276.28	Nov-22	99.00%
220260	SOUTH ACADEMY HIGHLANDS FILING 4	FOUNTAIN, CO	Clear and grub, cut and fill, grading for handscapes, export excess material	UTW Academy Development, LLC	PRIME	207,700	465,379	Nov-22	100.00%
220266	KIOWA BENNETT CONCRETE TRAIL EXTN	BENNETT, CO	Form and pour a concrete walking trail	Arapahoe County	SUB	127,946.00	127,946.00	Jul-22	100.00%
220275-01	TALLMAN GULCH PHASES 3 & 4	PARKER, CO	Scarify, recompact and grade subgrade. Place and grade aggregate basecourses, asphalt paving, adjust manholes/valves, material hauling	Cardel US Management, LLC c/o Cardel Homes	PRIME	1,044,648	1,568,734	Nov-23	99.00%
220276-01	2022 BOW MAR ROADWAY IMP	BOW MAR, CO	Clear and grub, remove existing landscaping and signage, full depth asphalt removal, scarify and recompact subgrade, place and finish aggregate base course, clean culvert, remove curb and gutter and concrete paving. Asphalt paving, site concrete, install signage and landscaping.	Town of Bow Mar	PRIME	507,981.35	507,981.35	Oct-22	91.00%
220272	1740 BROADWAY AT THE ATRIUM	DENVER, CO	Remove existing sanitary sewer and water lines. Install new sanitary sewer and water line, export excess materials, cut and cap fire line.	Beacon Capital Partners - 1740 Broadway Property, LLC	SUB	216,600	358,274	May-23	90.00%
220273	MEADOW FILING 19 LOT 2 NORTH	CASTLE ROCK, CO	Scarify, recompact and fine grade subgrade, asphalt paving, adjust manholes and valves	Castle Rock Development Co	PRIME	805,845	976,027	Apr-23	98.00%
220274-03	BASEB ADD/ALT SEWER MAIN CRWU16-1021	BUCKLEY SFB, CO	Remove existing sanitary sewer line, install new sanitary sewer line, asphalt patching, erosion control, revegetation, replace existing concrete site work	United States Air Force	PRIME	265,508.00	273,558.00	Nov-22	100.00%
220278-02	US/AFB MAINTAIN EARTHEN BERMS CATM PISTOL RANGE	UNITED STATES AIR FORCE ACADEMY, CO	Reconstruct existing berms using existing material and add topsoil	United States Air Force	SUB	92,500.00	92,500.00	Nov-22	100.00%
220288	HWY 7 EAST HURON WIDENING URBAN PARK	BROOMFIELD, CO	Import and place basecourse, fine grade and stabilization, asphalt paving, form and pour concrete C&G and handicap ramp	Kevarna 725 LLC	SUB	1,294,948	1,772,479	May-24	99.00%
220292-01	UCHEALTH MEMORIAL EMPLOYEE LOT MEI 2022	COLORADO SPRINGS, CO	Remove existing asphalt, scarify, recompact and fine grade subgrade. Asphalt paving, striping, concrete curb and gutter	UC Health	SUB	839,951.00	839,951.00	Dec-22	99.00%
220304-01	E BEAVER AVE CIVIL INFRASTRUCTURE PROJECT	FORT MORGAN, CO	Clear and grub, subgrade stabilization, erosion control, site restoration, asphalt paving, concrete C&G, sidewalk, handicap ramp, storm pipes, curb inlet, rip rap, signage, adjust manholes/water valves, striping	City Of Fort Morgan	PRIME	1,068,613	1,087,508	May-23	77.00%
220318	WINTER PARK WORKFORCE HOUSING	WINTER PARK, CO	Asphalt paving, adjust manholes/water valves	Town of Winter Park	SUB	153,253	230,769	Oct-23	100.00%
220320-01	2022 WINTER PARK & FRASER MILL & OVERLAY	WINTER PARK, CO	Mill and overlay existing asphalt, full depth asphalt patching, striping and traffic control	Towns of Winter Park & Fraser	PRIME	555,995.45	555,995.45	Oct-22	91.00%
220322-1	ANTHOLOGY WEST STROH RANCH PH 3	PARKER, CO	Asphalt patching, infrared patching, mill and overlay, crackseal, sealcoat	Century Communities, LLC	PRIME	26,344.40	139,219.00	Nov-22	79.00%

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220327.03	USAFA SUSTAIN REPAIR STADIUM BLVD M&O	UNITED STATES AIR FORCE ACADEMY, CO	Full depth asphalt repairs, repair cracks and potholes, mill and overlay existing asphalt	United States Air Force	SUB	2,344,229	2,793,258	Dec-22	100.00%
220328.01	D49 TRANSPORTATION FACILITY	PETTON, CO	Scarify, recompact and grade subgrade, import and place aggregate basecourse, import and place gravel for parking lot, asphalt paving, traffic control	School District No. 49	SUB	1,351,929	6,052,834	Jul-24	99.00%
220330.1	STERLING POINTE	FRASER, CO	Scarify, recompact and fine grade. Asphalt paving	Big Valley Construction	SUB	180,330	180,330	Aug-23	100.00%
220333	W-225 BUSINESS CENTER/SMITH ROAD	AURORA, CO	Mill and overlay asphalt, install Petromat, remove and replace concrete valley pan	Columbia Colorado Smith Industrial, LLC	PRIME	167,412.67	167,412.67	Sep-22	100.00%
220338.03	BAFB MAINTAIN SAND SEAL RESTRIPE CRWU 21-1027	BUCKLEY SFB, CO	Asphalt patching, remove and replace concrete curb and gutter, install detectable handicap ramps, install geogrid, import and place aggregate base course	United States Air Force	PRIME	155,387.70	155,387.70	Oct-22	98.00%
220345	HILLSIDE AT CASTLE ROCK	CASTLE ROCK, CO	Asphalt paving and patching, form and pour concrete C&G, sidewalk and curb ramp, install speed cushions	BLVD Hill, LLC	SUB	374,365	486,194	Sep-23	94.00%
220349.03	GN BIKE FACILITIES PKG 1	DENVER, CO	Asphalt paving	City and County of Denver	SUB	220,073	1,776,079	Feb-24	99.00%
220350.03	WESTMINSTER SHERIDAN UNDERPASS CMGC	WESTMINSTER, CO	Underground utilities (water, sanitary sewer and storm sewer), Scarify and recompact subgrade for asphalt paving, adjust manholes and water valves, asphalt paving.	City of Westminster	SUB	461,432	525,304	Jun-23	100.00%
220351	EKC AZURA LOWRY SITE & SHELL	DENVER, CO	Underground utilities (water, sanitary sewer and storm sewer), Scarify and recompact subgrade for asphalt paving, adjust manholes and water valves, asphalt paving.	Lowry Renal Construction LLC	SUB	302,651	358,791	May-23	97.00%
220354	SVP CALEY AVE	CENTENNIAL, CO	Fine grade subgrade, asphalt paving	South Valley Industrial	SUB	319,577	331,999	Jan-23	100.00%
220356.1	THE EMERSON	ENGLEWOOD, CO	Remove existing landscaping, building, curb and gutter, water and sewer piping. Exc/Bf for building, site and slab grading, export excess materials. Underground utilities (water, sanitary and storm) and perimeter drain at building. Asphalt patching and mill & overlay existing asphalt.	South Emerson 0023 LLC	SUB	1,095,500	2,090,880	Nov-24	99.00%
220361	WELLINGTON CONDOS 2022	LAKEWOOD, CO	R&G existing concrete flatwork, full depth asphalt removal, petromat, asphalt paving and patching, crackseal, infrared patching, striping	AMA	PRIME	163,099.40	163,099.40	Oct-22	92.00%
220366.01	BIOSCIENCE 5 INFRASTRUCTURE	AURORA, CO	Underground utilities (water, sanitary and storm), tie in to existing, hydrants, inlets. Asphalt paving and patching. Aggregate base course.	Colorado Science and Technology Park	SUB	2,273,296	2,923,127	Jul-23	95.00%
220370.11	221 WILCOX	CASTLE ROCK, CO	Demo parking lot and curbs. Cut and fills for lot contours. Excavate and backfill for building foundation. Grade for building SOG.	Riverwalk II, LLC	SUB	353,876	516,916	Mar-24	96.00%
220375.01	LAFAYETTE 2022 CITYWIDE STREET REHAB	LAFAYETTE, CO	Mill and overlay various streets, traffic control, striping	City of Lafayette	PRIME	832,422	832,422	Apr-23	95.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
220379.12	VILLAGE COOPERATIVE OF CHATFIELD	LITTLETON, CO	Underground utilities. Sanitary pipe and connect to existing. Storm pipe, precast structures, rip rap, connect to existing and new underground detention system; Water pipe, fireline, hydrants and connect to existing. Asphalt patching and traffic control. Scarify and recompact subgrade. Place and grade aggregate base course. Asphalt paving.	Village Cooperative of Chatfield	SUB	1,165,235	1,255,817	Sep-23	99.00%
220381	COPPER ROSE APARTMENTS - COLORADO SPRINGS INLAND COLORADO	COLORADO SPRINGS, CO	Asphalt paving, asphalt patching, adjust manholes and water valves.	Copper Rose Apartments, LLC	SUB	505,206	601,223	Feb-24	100.00%
220385.01	DENVER GATEWAY FILING NO. 7	DENVER, CO	Asphalt paving, asphalt patching, adjust manholes and water valves.	Denver Gateway Center Metro District	SUB	500,425	392,665	Sep-23	100.00%
220390.01	MILLERS LANDING INDUSTRIAL TRIBUTARY	CASTLE ROCK, CO	Survey, potholing, erosion control, dewatering, street sweeping, sheet piles, rip rap, boulder placement, strip/replace topsoil, clear and grub, cut and fill, restoration, trail bridge signage, concrete trail, temp. irrigation.	Miller's Landing Business Improvements District	PRIME	3,005,349	4,475,912	Oct-24	30.00%
220396	VILLAGE AT SOLID ROCK ASPHALT PAVING	COLORADO SPRINGS, CO	Full depth asphalt paving	2520 Arlington Apartments, LLC	SUB	155,377	176,322	Nov-22	100.00%
220401	SYRACUSE HILL ONE 2022 MILL & OVERLAY	GREENWOOD VILLAGE, CO	Mill and overlay asphalt paving, install speedbumps, sealcoat, striping. Mill and overlay asphalt paving, crackseal, and asphalt patching at various roads and parking lots.	Melcor Syracuse LLC c/o Prime West Real Estate	PRIME	139,298.20	136,573.20	Dec-22	97.00%
220406.03	DFC ASPHALT REPAIRS 2022	DENVER FEDERAL CENTER, CO	Place and finish podium deck, post tension slab and slab on grade.	General Services Administration	SUB	151,528.28	151,528.28	Nov-22	100.00%
220409	RALSTON CREEK	ARVADA, CO	Place and finish slab on grade, stairs, podium decks and topping slabs.	Unknown	SUB	141,170	144,504	Apr-23	100.00%
220411	FITZSIMONS 500 GARAGE	AURORA, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	Unknown	SUB	207,106	195,917	Mar-24	100.00%
220413.01	BENNETT RANCHO MD ONSITE FL PH1	BENNETT, CO	Place and finish concrete on structural deck	Bennett Metro District #1	SUB	1,946,128	2,898,586	Oct-23	97.00%
220414	14TH AND COURT CONCRETE FRAME	DENVER, CO		HBeck, Ltd.	SUB	176,004	149,939	Nov-23	100.00%
220425.03	BSFB AIRFIELD LIGHTING	BUCKLEY SFB, CO	Remove existing stockpiled millings, concrete bases for light poles and pull boxes/conduit. Site grading, place and grade asphalt millings on roadway, excavate/backfill for light bar, prep subgrade for asphalt paving, asphalt paving.	United States Air Force	SUB	614,330	614,330	Jul-23	100.00%
220428.11	RIDGEGATE STATION APARTMENTS	LONE TREE, CO	Scarify and recompact subgrade, full depth asphalt paving, adjust manholes and water valves	Daro Ventures V, LLC	SUB	155,712	242,829	Dec-23	95.00%
220431.01	RENUUDA RANCHO PKWY FENCE PROJECT	DOUGLAS COUNTY, CO	Remove existing fence and install new barbed wire fence	Douglas County	PRIME	145,380	167,408	Mar-23	42.00%
220432.01	CANYONS SUBDIVISION PARCEL 1	CASTLE PINES, CO	Fine grade subgrade, asphalt paving, adjust manholes and water valves	North Canyons Development Company, LLC	SUB	174,095.20	183,200.45	Nov-22	94.00%
220434	CASTLE PINES FILING 44-A 1ST AMENDMENT	CASTLE PINES, CO	Scarify and recompact subgrade, full depth asphalt paving, adjust manholes and water valves	The Back Tree's at Castle Pines	SUB	200,753	128,558	May-23	100.00%

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220435	NORTH RIDGE DEVELOPMENT EARTHWORK	JOHNSTOWN, CO	Demo asphalt paving, C&G, storm structures and pipe, and stockpile riprap. Clear and grub, overtop grading, import fill material, grade for roadways	Caliber Diversified Opportunity Fund II, LP	SUB	945,000	1,018,857	May-23	40.00%
220439.01	LIMELIGHT HOTEL & CONFERENCE CENTER	BOULDER, CO	Underground utilities. Sanitary pipe, manholes, connect to existing and service lines. Water pipe, service lines, hydrants and meter pits. Storm pipe, inlets and manholes. Underground courtyard detention system.	Limelight Boulder Joint Venture, LLC	SUB	707,844	913,938	Sep-24	97.00%
220440	CLEARHOME SELF STORAGE	LONGMONT, CO	Clear and grub, grade for drainage, storm pipe and inlets, install machine gun tubes	CRS Storage SP, LC	PRIME	307,949	310,974	Nov-23	100.00%
220441.03	USAF CATIM STORM DRAINAGE	UNITED STATES AIR FORCE ACADEMY, CO	Remove and replace concrete C&G, sidewalk, cross pan, mill and overlay asphalt paving, adjust manholes, traffic control, striping	United States Air Force	SUB	395,886	415,588	Oct-24	100.00%
220444.01	2022 STREETS TOWN OF GEORGETOWN	GEORGETOWN, CO	Full depth asphalt removal, asphalt paving, striping, ADA signs, bollards and parking blocks.	Town of Georgetown	PRIME	266,813	330,813	Aug-23	96.00%
220450	AURORA PLAZA - RINV-AURORA PLAZA-CHUZE FLD	AURORA, CO	Underground utilities. Sanitary pipe, tie in to existing, manholes. Water pipe, tie in to existing, install blowoffs and testing. Storm pipe and inlets, cast in place cutoff wall, install rip rap, flared end sections. Irrigation pipe and manholes.	Brikmor GA Abolio III Sub Holdings LLC	PRIME	138,568.10	138,568.10	Dec-22	95.00%
220451	NORTH RIDGE UTILITIES	LONE TREE, CO	Install erosion control, sediment and diversion ditches, site grading, excavate/backfill for building, export excess material, sanitary sewer, water lines, storm sewer, asphalt patching, traffic control	Caliber Diversified Opportunity Fund II, LP	SUB	2,522,000	2,846,235	Aug-23	98.00%
220454	FITZSIMONS 500 PARKING GARAGE EARTHWORK	AURORA, CO	Scarify and recompact subgrade, full depth asphalt paving, adjust manholes and water valves	Corporex, LLC	PRIME	809,785	865,273	Dec-23	97.00%
220455	STATION 60 APARTMENTS	AURORA, CO	Scarify, recompact and fine grade subgrade. Full depth asphalt paving, asphalt patching, adjust manholes and valve boxes, signage, striping and wheelstops.	Roerz Aurora Apartment Owner LLC	SUB	441,983	487,515	Nov-24	95.00%
220460	PARK REGENCY MEMORY CARE ADDITION	THORNTON, CO	Install waterlines, cathodic protection and sanitary sewer lines.	BSIC Thornton, LLC	SUB	117,630	115,698	Sep-23	93.00%
220462.03	FC WAREHOUSE & MUNITIONS STORAGE FACILITY	FORT CARSON ARMY BASE, CO	Place and finish concrete on structural deck	United States Army	SUB	390,500	406,042	Jul-23	100.00%
220464.11	THE EMERSON P&F	ENGLEWOOD, CO	Place and finish concrete on structural deck	South Emerson 0023 LLC	SUB	611,052	637,512	Jun-24	100.00%
230000.1	EVANS WEST DEVELOPMENT	DENVER, CO	Place and finish concrete on structural deck	BTC IV Evans School, LLC	SUB	322,108	353,947	Apr-24	100.00%

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230002.03	BSEB A BASIN CONSTRUCT SIDEWALK	BUCKLEY SFB, CO	Demo existing sidewalk, scarify and recompact subgrade, storm drainage, concrete sidewalk	United States Air Force	PRIME	677,969	789,319	Sep-24	95.00%
230003	WILLOW SPRINGS RANCH F-11	MORRISON, CO	Scarify, recompact and fine grade subgrade. Asphalt paving, mill and overlay	WSE Morrison, LLC	SUB	247,164	446,624	Jul-23	96.00%
230005.03	SAB CONSTRUCT PARKING LOT BLDG 300	SCHRIEVER AFB, CO	Overlay grade for new parking lot. Asphalt paving, concrete sidewalk and curb and gutter, dumpster enclosure. Scarify and recompact subgrade, asphalt paving, site concrete (curb and gutter, sidewalks, ADA ramps, cross pans, aprons, light pole bases, pool deck, exterior stairs)	United States Air Force	PRIME	392,152	392,152	Apr-24	60.00%
230008.01	ASPGREN PARK APARTMENTS	DENVER, CO	Scarify and recompact subgrade, asphalt paving	728 S. Lipan St., LLLP	SUB	701,325	905,538	Jun-24	99.00%
230009	GARAGE POINT ASPHALT PAVING	MORRISON, CO	Scarify and recompact subgrade, asphalt paving	Highpoint Storage, LLC	SUB	497,263	971,093	Dec-24	96.00%
230012	STRATUS APARTMENT HYDRANT TESTING	WESTMINSTER, CO	Grading for building slab on grade, capillary barrier, perimeter drain, connect roof drains to storm sewer. Mill existing asphalt, asphalt paving and patching	Stratus Townhomes	SUB	2,000	211,294	Feb-24	99.00%
230014.01	CROSSROADS OFFSITE SANITARY SEWER	AURORA, CO	Mill existing asphalt, asphalt paving and patching	Aurora Crossroads Metro District No. 1	SUB	115,118	338,836	Nov-23	99.00%
230016.03	BSEB REPAIR AIRFIELD RAMP H3	PETERSON AFB, CO	Remove existing concrete paving (30) 20'x20' slabs on the airfield. Dowel into existing concrete, concrete paving, joint sealant and traffic control	United States Air Force	PRIME	378,695	378,695	Oct-23	97.00%
230017	ISP STATION 60	AURORA, CO	Scarify, recompact and fine grade subgrade. Asphalt paving, and adjust manholes and valves	Roers Aurora Apartment Owner LLC	SUB	425,642	417,635	Jun-24	94.00%
230026.01	CLEAR CREEK COUNTY RD 170	CLEAR CREEK COUNTY, CO	Full depth asphalt removal, demo existing landscaping, recondition subgrade, erosion control, asphalt paving, striping, signage, underdrain and rip rap, survey, fencing.	Clear Creek County	PRIME	1,081,362	1,081,362	Sep-23	80.00%
230031	SPRING VALLEY METRO DIST NO 1 FILING 7	ELIZABETH, CO	Scarify and recompact subgrade, adjust manholes and valves, asphalt paving	Spring Valley Land Investment II	SUB	714,725	421,545	Sep-23	98.00%
230032	STONE MESA FLATS	COLORADO SPRINGS, CO	Fine grade subgrade, asphalt paving, adjust manholes, valves, and cleanouts	Stone Mesa Flats, LLC	SUB	457,094	466,006	Nov-23	100.00%
230033	TRAILS EDGE AT GREEN ACRES PH. 1	AURORA, CO	Mill & overlay asphalt paving, full depth asphalt removal, full depth asphalt paving, adjust manholes and valves	Toll Brothers	SUB	493,977	496,626	Jun-23	96.00%
230034.01	BASILINE ROAD IMPROVEMENT PROJECT BNSF CTY RD 49 & INTERSECTION	BRIGHTON, CO	Concrete sitework (C&G, sidewalk, ADA ramps, median cover). Scarify and recompact subgrade, asphalt paving, adjust manholes.	Ridgeline Vista Metro District	SUB	806,853	863,504	Jul-23	97.00%
230035	IMPROVEMENTS	HUDSON, CO	Place and grade aggregate basecourse, asphalt paving	BDSF Railway Company	SUB	2,125,939	2,090,102	Nov-23	100.00%
230039.01	DIGOUT & PATCH PRTA & 2C TO #1	COLORADO SPRINGS, CO	Full depth asphalt patches on various city streets. Place and grade road base.	City of Colorado Springs	PRIME	125,000	164,900	Jun-23	68.00%

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230040.03	FC RPR B9090 PARKING & MOTORPOOL	FORT CARSON ARMY BASE, CO	Remove concrete paving and flatwork, remove asphalt paving. Erosion control, adjust manholes and valve boxes, scarify and recompact subgrade, asphalt paving, concrete paving, concrete C&G and sidewalk, striping, traffic control, landscaping.	United States Army	PRIME	2,181,850	2,581,483	Oct-23	99.00%
230043.01	2023 PARKER TOWNWIDE ROADWAY RECONSTRUCT	PARKER, CO	Full and partial depth asphalt milling, street sweeping, traffic control	Town of Parker	PRIME	963,262	1,216,830	Jan-24	92.00%
230045.01	2023 ARAPAHOE COUNTY MILLING	ARAPAHOE COUNTY, CO	Clear and grub, erosion control, survey, remove curbs, cut and fill, remove C&G, remove signage, aggregate basecourse, asphalt paving, concrete sidewalk (ramps, C&G, chase drains, barrier curb), signage, striping, landscaping and revegetation	Arapahoe County	PRIME	492,778	577,298	Sep-23	85.00%
230046.01	DUBLIN & MARSHFELL INTERSECTION IMP	COLORADO SPRINGS, CO	Install waterlines, valves, fire hydrants, cap existing, relocate service lines, testing, crosspan replacement, asphalt patching, traffic control, dewatering	City of Colorado Springs	PRIME	603,743	561,291	Sep-23	63.00%
230050.01	W PRESTWICK WATER REHAB	CASTLE ROCK, CO	Demo of concrete sidewalk, asphalt paving, electrical. Erosion control, aggregate basecourse, landscaping, asphalt paving, concrete sidewalk, electrical, traffic signal, survey, traffic control, striping.	Town Of Castle Rock	PRIME	1,095,135	1,121,679	Sep-23	98.00%
230052.01	104TH AVE EB RIGHT TURN LANE AT YORK ST	THORNTON, CO	Clear and grub, demo landscaping, concrete sidewalk, asphalt paving. Erosion control, adjust manholes and valve boxes, aggregate basecourse, asphalt paving, concrete sidewalk, install inlets, electric for lightpoles, signage, striping, traffic control.	City of Thornton	PRIME	577,833	603,550	Sep-23	82.00%
230055.01	PIKES PEAK DRIVE SIDEWALK IMPROVEMENTS	PARKER, CO	Install water, sanitary and sewer utilities, manholes, cut and fill, concrete sidewalk, subgrade prep, asphalt paving, erosion control, striping and signage.	Town of Parker	PRIME	2,133,392	2,105,536	Dec-23	66.00%
230056	CHAMBERS HIGH POINT PHASE 2	PARKER, CO	Mill and overlay asphalt roadway, Asphalt patching in select spots	Chambers High Metropolitan District No 1	PRIME	1,763,774	1,828,851	Oct-23	95.00%
230057	HORSESHOE RANCH 2023 ASPHALT	SEDALIA, CO	Demo existing parking lot and sidewalk, subgrade prep, asphalt paving, concrete flatwork	Horseshoe Ranch Estates HOA	PRIME	742,443	885,442	May-23	98.00%
230058.01	COLORADO CLAYS SP - ENTRANCE ROAD IMP	BRIGHTON, CO	Full depth asphalt paving	Colorado Division of Parks and Wildlife	SUB	182,955	248,174	May-23	100.00%
230060.03	FC RPR B1666 PARKING LOT	FORT CARSON ARMY BASE, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	United States Army	PRIME	601,480	601,480	Aug-23	86.00%
230061	CO MONUMENT JACKSON CREEK	MONUMENT, CO	Subgrade prep, fine grading, asphalt paving, shouldering, traffic control	TRES CO Monument Jackson Creek, LLC	SUB	727,481	733,492	Sep-24	100.00%
230063.01	2023 CHERRY HILLS VI. M&O 2021 CONTINUED	CHERRY HILLS VILLAGE, CO		City of Cherry Hills	PRIME	144,691	129,052	May-23	100.00%

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230065	VINCENT VILLAGE IMPR @SHORELINE DITCH	FORT LUPTON, CO	Erosion control, install waterline and valves, firehydrant, remove existing waterline, testing, asphalt patching, R&R concrete flatwork, signage, traffic control, RCP storm pipe and manholes	Vincent Village LLC	PRIME	615,632	642,531	Oct-23	97.00%
230066	VICTORY RIDGE PH II	COLORADO SPRINGS, CO	Place and grade aggregate base course, asphalt paving, adjust manholes and valves	The Garrett Companies, LLC	SUB	549,857	549,857	Oct-24	100.00%
230067	CITIZEN ON CONSTITUTION	CIMARRON HILLS, CO	Asphalt patching, scarify and recompact subgrade, place and grade aggregate basecourse, asphalt paving	The Citizen on Constitution, LLC	SUB	920,130	947,322	Jul-24	100.00%
230068.13	Mt CALVARY SENIOR HOUSING	BOULDER, CO	Scarify and recompact subgrade, adjust valves and cleanouts, asphalt paving	Mount Calvary LLP	SUB	139,334	191,589	Nov-24	96.00%
230069.03	CU BOULDER RESTROOM CONCESSIONS BLDG	BOULDER, CO	Clear and grub, site grading, place and grade aggregates for sidewalks, scarify and recompact subgrade, excavate and backfill for building foundation, install rip rap and swales, install manholes, sanitary sewer lines, storm sewer lines, water lines, tracer wire, inlet structures, meter vault, restore gravel roadway	University of Colorado	SUB	218,355	280,882	Aug-23	100.00%
230076	2023 ROXBOROUGH ROADWAY IMPROVEMENTS	LITTLETON, CO	Asphalt patching, adjust manholes and valves, R&R concrete C&G and crossspan, striping, mill and overlay asphalt paving, repair subgrade as needed, full depth asphalt paving	Roxborough Park HOA Foundation	PRIME	3,381,349	3,459,726	Oct-23	96.00%
230077.03	B5FB CONSTRUCT FIRE TRUCK DRIVEWAY	BUCKLEY SFB, CO	Remove topsoil, grade for concrete paving, storm drainage at driveway, concrete stewart and paving.	United States Air Force	PRIME	137,700	137,700	Nov-23	98.00%
230082	VAPOR TRAIL INDOOR RV STORAGE	COLORADO SPRINGS, CO	Full depth asphalt paving	PR Vapor Trail RM, LLC	SUB	358,600	373,079	Nov-24	100.00%
230083	WAGNER EQUIPMENT LAYDOWN YARD	AURORA, CO	Clear and grub, scarify and recompact subgrade, concrete paving, sawcutting	Wagner Equipment Co	PRIME	284,392	309,733	Jun-23	99.00%
230089.01	2023 ENGLWOOD MILL & OVERLAY	ENGLEWOOD, CO	Erosion control, traffic control, R&R concrete stewart, milling of asphalt, subgrade prep, place and finish aggregate basecourse, asphalt paving, striping, signage, adjust manholes, parking blocks, haul and place asphalt millings	City of Englewood	PRIME	3,179,302	4,865,777	Feb-24	92.00%
230090.01	QUINCY AVENUE WIDENING	AURORA, CO	R&R firehydrant, R&R concrete sitework, clear and grub, erosion control, adjust valve boxes, revegetation, RCP storm pipe and inlets, edge drain, ECP storm pipe, signage, traffic signal and electrical, water pipe, survey, striping, signage	City of Aurora	PRIME	1,991,167	1,821,696	Nov-23	90.00%
230094	DEN FEDEX FY24 YARD IMPROVEMENTS	HENDERSON, CO	Form, place and finish concrete paving.	FedEx	SUB	1,332,150	1,332,150	Nov-23	94.00%
230097.1	ALLOY SUNNYSIDE APARTMENTS - CONCRETE	DENVER, CO	Site concrete (sidewalks, curb and gutter, paving, ADA ramps), asphalt paving, manhole and valve adjustments, Alloy Property Owner, LLC	Alloy Property Owner, LLC	SUB	208,063	235,116	Mar-24	100.00%

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230104.02	PEORIA CROSSING PHASE II	AURORA, CO	Asphalt patching, scarify and recompact subgrade, asphalt paving, adjust manholes and water valves.	Aurora Housing Authority	SUB	12,709	162,163	Jun-24	100.00%
230105.01	2023 BOW MAR ROADWAY IMPROVEMENTS	BOW MAR, CO	Full depth asphalt removal, scarify and recompact subgrade, replace existing culverts, asphalt paving, shouldering, and landscape repairs	Town of Bow Mar	PRIME	347,725	344,090	Nov-23	90.00%
230107	TRU AND HOMEWOOD SUITES	COLORADO SPRINGS, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	Kudos, LLC	SUB	407,598	394,339	May-24	97.00%
230108.01	DOVE VALLEY REGIONAL PARK	CENTENNIAL, CO	Fine grade existing base course, asphalt paving, place and finish recycled asphalt shouldering, adjust manholes and water valves.	City of Aurora	SUB	363,227	478,473	Aug-24	TBD
230109.01	WTP SOLIDS HANDLING IMPROVEMENTS	NORTGLENN, CO	Mill existing asphalt, asphalt paving and patching	City of Northglenn	SUB	50,166	137,608	Dec-23	100.00%
230110.01	SOUTH PLATTE RENEW OCARR	ENGLEWOOD, CO	Site demo, site grading, structural excavation and backfill, place and grade aggregate base course, water lines, sanitary sewer, storm sewer, R&R manholes, adjust manholes and water valves, asphalt paving, erosion control	City of Englewood	SUB	619,600	715,063	Jul-24	99.00%
230112.11	MONTBELLO FRESHLO THE HUB	DENVER, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	Montbello Freshlo LLC	SUB	191,400	205,755	Jun-24	94.00%
230114	CITYLINE STATION P2SP6 TOWER MISC	GREELEY, CO	Remove existing water line, install new water line, fire line, meter pit	Warm Springs Holdings, LLC	SUB	163,600	639,148	Oct-24	99.00%
230117.01	2023 LAFAYETTE CITY WIDE STREET REHAB	LAFAYETTE, CO	Mill and overlay various streets throughout the city, full depth asphalt removal and replacement, asphalt patching, striping, traffic control	City of Lafayette	PRIME	1,525,563	1,313,625	Dec-23	88.00%
230118.01	2023GEORGETOWN STREETS IMPROVEMENT	GEORGETOWN, CO	Mill and overlay asphalt paving, concrete sidewalk, survey, traffic control	Town of Georgetown	PRIME	307,685	307,685	Sep-23	99.00%
230120	XCEL ENERGY - AURORA SERVICE CENTER	AURORA, CO	Fine grade subgrade, concrete paving, curb and gutter, valley pans, and sidewalk	Xcel Energy	SUB	760,013	849,173	Apr-24	100.00%
230122.01	2023 WINTER PARK & FRASER MILL & OVERLAY	WINTER PARK, CO	Mill and overlay various streets and various asphalt patching	Town of Winter Park	PRIME	442,753	468,858	Oct-23	94.00%
230127.01	2023 2C OVERLAY Y3B13	COLORADO SPRINGS, CO	Mill existing asphalt on various streets throughout the city	City of Colorado Springs	SUB	281,767	290,068	Oct-23	100.00%
230131	PEAKVIEW PLACE TRACT A (WESTRAY)	CENTENNIAL, CO	Scarify and recompact subgrade, asphalt paving, adjust manholes and water valves	SW Greenwood Plaza, LLC	SUB	159,633	175,812	Dec-23	97.00%
230133	QUANTUM 56 BUILDING PH 1	DENVER, CO	Mill and overlay asphalt paving, R&R concrete sidewalks, R&R curb and gutter, R&R ramps and valley pan, adjust manholes and water valves, install new inlet and RCP pipe, striping, install new inlet	Quantum 56 Vertical Phase 1, LLC	SUB	119,424	159,472	Jul-24	97.00%
230137.01	2023 PINE STREET AND BOURION STREET MILL & OVERLAY	CENTRAL CITY, CO	Asphalt paving, adjust manholes	City of Central City	PRIME	233,687	233,687	Dec-23	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
230145	12850 E. 40TH AVE PAVING	DENVER, CO	Mill and overlay, restripe per existing layout	Stream Realty Partners - Denver	PRIME	104,365	104,365	Nov-23	96.00%
230146.01	UC HEALTH SPD DENVER SERVICE	AURORA, CO	Remove existing concrete paving, grading, import basecourse, form and place new concrete paving.	UC Health	SUB	295,025	322,444	Dec-23	95.00%
230148	11525 MAIN STREET BROOMFIELD M&O	BROOMFIELD, CO	Mill and overlay parking lot. Layout and restripe per existing parking stalls	LD DI Assetco, LLC	PRIME	148,034	149,542	Nov-23	97.00%
230149	BEST BOX BENNETT	BENNETT, CO	Scarify, recompact and fine grade the existing subgrade. Asphalt paving, adjust manholes and water valves	Best Box Bennett CO 1st, LLC	SUB	428,370	430,384	Dec-23	99.00%
230150.01	LUTHERAN H.S. EAST PARKING LOT EXPANSION	PARKER, CO	Remove curb and gutter and asphalt paving, site grading, asphalt paving and patching, relocate fire hydrant, concrete sidewalk	Lutheran High School	SUB	404,468	414,955	Nov-23	100.00%
230153.01	NORTH PLAINS LIFT STATION PAVING KEN CARYL LITTLETON, CO		Mill and overlay asphalt paving. Scarify, recompact and fine grade the subgrade. Asphalt paving	Ken Caryl Ranch Water and Sanitation District	SUB	225,598	124,023	Jul-24	100.00%
230154.08	FC PRUSSMAN BLVD & SHERIDAN BLVD	FORT CARSON ARMY BASE, CO	Remove existing asphalt and concrete sidewalk. Scarify and recompact the existing subgrade (deep strengthen the subgrade as needed). Concrete sidewalk, asphalt paving, remove and replace guardrail on bridge, traffic control.	United States Army	PRIME	938,015	933,415	Jun-24	77.00%
230155	WOODBRIDGE TOWNHOMES M&O	COLORADO SPRINGS, CO	Mill and overlay asphalt paving. Striping to existing layout.	Woodbridge Townhomes HOA	PRIME	102,806	102,806	Oct-23	100.00%
230157	IMBODEN ROAD IMPROVEMENTS	AURORA, CO	Fine grading, asphalt paving and patching	City of Aurora	SUB	848,493	848,493	Nov-23	97.00%
230158.033	NIST MESA ROAD CONSTR GRADING	BOULDER, CO	Clear and grub shoulders of existing road and for new 12' wide roadway. Import and place roadbase to fix eroded areas. Clear and grub and grade for a new walking path. Import and grade roadbase for walking path	NIST	SUB	216,025	239,362	Nov-23	100.00%
230160.01	MONTBELLO DR - ACADEMY BLVD TO UNION BL	COLORADO SPRINGS, CO	Full depth asphalt milling, remove 6" of subgrade and export, scarify and recompact 12" of subgrade, place and grade aggregate base course, asphalt paving, striping, traffic control, and testing.	City of Colorado Springs	PRIME	105,559	90,672	Dec-23	82.00%
230162.01	RESURRECTION LUTHERAN CHURCH	COLORADO SPRINGS, CO	Full depth asphalt milling, scarify, recompact and fine grade subgrade, full depth asphalt paving, restripe, remove & replace parking blocks.	Resurrection Lutheran Church	PRIME	156,531	156,531	Nov-23	99.00%
230165	GREEN VALLEY RANCH E 48TH AVE PAVING	AURORA, CO	Asphalt paving	City of Aurora	SUB	369,551	369,551	Oct-23	100.00%
230166	CITY & COUNTY OF DENVER SMITH RD MAINTENANCE FACILITY	DENVER, CO	Concrete sidewalk, concrete paving, asphalt paving and patching, install bollards	City and County of Denver	SUB	189,517	287,460	Aug-24	98.00%
230167.03	NIST CONCRETE HAZARD REPAIRS	BOULDER, CO	Erosion control, remove and replace concrete sidewalk, stairs, and handrail. Repair concrete dock area.	NIST	SUB	137,750	139,816	Dec-23	70.00%
230168.02	FC RECREATIONAL LODGE AND RV PARK	FORT CARSON ARMY BASE, CO	Fine grade subgrade, asphalt paving	United States Army	SUB	128,952	128,952	Nov-23	100.00%
230169	SERENITY RIDGE PAVING EVANS RIDGE RD	PARKER, CO	Asphalt paving	EOFB, LLC	SUB	123,750	128,520	Jun-24	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
230171.02	CHERRY CREEK SPILLWAY	AURORA, CO	Excavate and haul existing material for road, place and grade aggregate base course for roadway, seed and mulch, erosion control	US Army Corps of Engineers	SUB	127,418	238,860	Feb-24	96.00%
230174.03	USAFE PAVING	COLORADO SPRINGS, CO	Full depth asphalt and concrete removal of various roadways and parking lots, mill and overlay parking lot, drainage repairs, place and grade aggregate base course, asphalt paving, concrete paving and sticwork.	US Army Corps of Engineers	PRIME	2,291,047	2,291,047	Sep-24	96.00%
230176	CALHAN BRIDGE REPLACEMENT	CALHAN, CO	Asphalt paving for temporary detour road. Full depth asphalt paving for bridge replacement	El Paso County	SUB	201,185	193,189	Jul-24	100.00%
230177.01	HR MAHMOLES BTWN BURNTWOOD WAY & GOLDSMITH DR	HIGHLANDS RANCH, CO	Concrete removal (paving, sidewalks, C&G), muck excavation, erosion control, remove CMP, install CIP manholes, concrete paving, concrete sticwork (sidewalk and C&G), traffic control	Douglas County Public Works	PRIME	427,700	324,995	Apr-24	77.00%
230178	BRONCO BILLY'S MISCELLANEOUS	CRIPPLE CREEK, CO	Site concrete (sidewalks, curb and gutter, drive lanes and cross pans), asphalt paving, striping (temporary and permanent), storm drainage (pipe, inlets and connect to existing), haul excess material off-site	FHR-Colorado, LLC	SUB	360,138	885,904	Dec-23	99.00%
230180	CASTLE ROCK WAREHOUSE	CASTLE ROCK, CO	Scarify and recompact subgrade for asphalt paving, asphalt paving, misc concrete sticwork (C&G, sidewalks, cross pans, trickle channel, dumpster pad, steps), concrete paving, striping and signage, light pole bases	Integrity Funding	SUB	339,568	343,633	Aug-24	98.00%
230181.03	CC DENVER RED ROCK ADA PH II	MORRISON, CO	Demo asphalt, concrete, signs, inlets. Site grading, exc/bf foundations, export excess material, utilities (water, sanitary, storm), septic system, asphalt paving, asphalt milling	City and County of Denver	PRIME	1,559,821	1,973,262	Jul-24	81.00%
230183.03	44TH & BROADWAY SIDEWALKS	DENVER, CO	Clear and grub, demo (pipe, bollards, concrete sticwork, asphalt paving, fence, guardrail), unclassified excavation, structural excavation/backfill, place structural fill, modify manhole and inlet, place and grade aggregate base course, asphalt paving, concrete paving, RCP pipe, inlets, manholes, concrete sticwork (sidewalk, C&G, median cover).	City and County of Denver	SUB	957,306	1,183,612	Jun-24	99.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
230187	EQUIPMENT SHARE - UTILITIES	COLORADO SPRINGS, CO	Install underground utilities. Sanitary sewer pipe, cleanouts, and tie in to existing. Install fire line, fire riser, service line, hydrant, interior meter and tie in to existing. Install RCP pipe, PVC pipe, manholes, inlets, roof drain connections and connect to existing HDPE pipe. 2 additional contracts for demo and asphalt paving.	Equipment Share Inc.	SUB	237,078	237,797	Sep-24	100.00%
230190.01	CORPOREX PROMENADE	AURORA, CO	Clear and curb, minor cut/fills for site grading, place/grade aggregate base course for walks and curb, place/grade crusher fines at dog park, export excess materials, utility potholing, concrete sitework (sidewalk and paving), form and pour planer walls, concrete stools, and perimeter curb at dog park.	Corporex, LLC	SUB	429,985	429,985	May-24	74.00%
230191.1	FLATRION MEADOWS VILLAS LP	ERIE, CO	Mill and overlay existing asphalt street. Adjust manholes and valve boxes	KB Home Colorado Inc	PRIME	110,960	118,160	Jul-24	94.00%
240002	EAGLE BEND (EB)	AURORA, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	Ethelon Eagle Bend	SUB	957,802	957,802	Dec-24	99.00%
240005	CALIBER COLLISON BRIGHTON	BRIGHTON, CO	Scarify and recompact the subgrade, 5" and 6" full asphalt paving, adjust cleanouts to grade and misc. asphalt patching.	VRD at Brighton	SUB	191,378	191,378	Jun-24	100.00%
240009.01	HORIZON UPTOWN PH II PAVING	AURORA, CO	Mill and overlay street off-site. Scarify and recompact subgrade, adjust manholes and water valves, full depth asphalt paving.	DHI Communities Construction of Colorado, LLC	PRIME	359,176	382,341	Sep-24	100.00%
240012	WOODSPRINGS SUITES HOTEL CENTENNIAL	CENTENNIAL, CO	Sanitary sewer line, connect to existing with manhole, water line (tie in to existing, fire line, hydrants, service line, meter vault), storm sewer (pipe, connect to existing, manholes, inlet, roof drain connections, and stilling basin)	SSH Hotel Property XV, LLC	SUB	469,775	608,299	Aug-24	88.00%
240013	ZIGGIL'S COFFEE PARKER	PARKER, CO	Site demo (remove retaining wall, concrete paving, pond inlet, storm pipe, and trees), clear and grub site, cut/fill, export excess materials, exc & backfill for footings, place and grade roadbase under building slab, waterline, fireline, water service, sanitary sewer (pipe, inlets, manhole), storm sewer pipe, detention pond with outlet structure and forebay, tracking pad, and building perimeter drain.	Parker Equity Group, LLC	SUB	346,950	406,473	Sep-24	89.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
240015_01	HAPPY CANYON RD & LAGAE RD ROUNDABOUT	CASTLE PINES, CO	Construction of a roundabout, reconstruction of a portion of the existing roadway, erosion control, extend stormwater detention, curb and gutter, median cover, concrete apron, concrete paving, storm inlets and pipe, fencing, signage, export excess material	City of Castle Pines	PRIME	3,627,116	3,731,928	Dec-24	77.00%
240018	NSMC - HELIPORT	THORNTON, CO	Install underground utilities: Sanitary sewer pipe, cleanouts, and tie in to existing. Install fire line, fire riser, service line, hydrant, meter vault, service line and tie in to existing. Install RCP pipe, PVC pipe, area inlets, roof drain connections and	HCA HealthOne, LLC	SUB	189,925	250,010	Sep-24	97.00%
240019	ROCKY MOUNTAIN SPORTS CENTER PARKING EXPANSION	NORTHGLENN, CO	Expand existing parking lot to include erosion control, remove curb and gutter, remove and export 12" of existing soil, scarify and recompact subgrade, place and grade aggregate base course, form and pour curb and gutter, full depth asphalt paving, striping.	Let's Play Soccer	PRIME	105,694	153,600	Jun-24	82.00%
240020	REVERE AT JOHNSTOWN - PHASE 2	JOHNSTOWN, CO	Demolish and dispose of existing concrete and asphalt, curb and gutter, and sidewalk. Fine grade and install subgrade prep, place and grade roadbase, asphalt paving, reinforce manholes, traffic control	Forestar	PRIME	1,087,468	524,382	Oct-24	98.00%
240028_1	DENARGO MARKET INFRASTRUCTURE	DENVER, CO	Scarify and recompact subgrade, place and grade aggregate base course, full depth asphalt paving, adjust manholes and water valves.	JV Denargo LLC	SUB	298,707	308,044	Nov-24	100.00%
240031_02	PRAIRIE CENTER SALOON BATTERY FARM	BRIGHTON, CO	Erosion control, clear and grub, overlot grading, excavate for pads, backfill concrete pads, subgrade prep (moisture conifition, re-compact, fine grade), haul and place aggregate basecourse, concrete paving, survey, material testing.	Xcel Energy	SUB	1,149,421	1,287,913	Dec-24	93.00%
240037	BENNETT RANCH F1 CDOT ACCESS	BENNETT, CO	Temporary roadway paving, milling of various streets, full depth asphalt paving, two-lift asphalt paving.	Bennett Metro District #1	SUB	617,815	668,766	Sep-24	100.00%
240043	VAPOR TRAIL RV TOP LIFT	COLORADO SPRINGS, CO	Remove and dispose of existing asphalt ramps. Asphalt paving of top lift. Form, place and finish exterior concrete flatwork (paving, curb ramp, sidewalk, and C&G)	PT Vapor Trail RV, LLC	PRIME	116,764	133,784	Jun-24	100.00%
240044_01	RIDGEGATE EAST F-4 STREET & UTILITIES	LONE TREE, CO	Install storm drainage (pipe, fittings, area drains, underdrain, water quality manhole, inlet, catch basins, outlet structure, rip rap placement)	Rampart Range Metro District No. 5	SUB	279,211	176,518	Dec-24	100.00%
240047_01	AURORA FIRING RANGE BUILDING	AURORA, CO		City of Aurora	SUB	167,175	171,548	Oct-24	67.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
240048	HILLCREST TERRACE PAVING	ARVADA, CO	Scarify and recompact subgrade, asphalt paving, adjust manholes and valves, striping	Hillcrest Terrace LLC	PRIME	113,994	126,166	Nov-24	100.00%
240051	GDHS STAFF PARKING LOT	DENVER, CO	Demo asphalt, curb and gutter, concrete paving, and signage. Clear & grub, cut/fill, 1.2" scarify and recompact native subgrade, fine grade for paving, place and grade aggregate base course, export excess materials, full depth asphalt paving, crack seal, sealcoat.	State of Colorado	SUB	148,044	159,840	Aug-24	86.00%
240053.01	2024 LAFAYETTE CITYWIDE M&O	LAFAYETTE, CO	Mill and overlay various streets, full depth asphalt removal and paving, striping, adjust manholes and valves, misc. subgrade work, aggregate base course, transverse crack patching	City of Lafayette	PRIME	1,361,417	1,361,417	Oct-24	93.00%
240054	RIVERWALK PAVING WINTER PARK	WINTER PARK, CO	Fine grade subgrade, full depth asphalt paving, adjust manholes, valves, and cleanouts	Nassar Developments	SUB	132,691	132,691	Sep-24	96.00%
240055	SOLOURN IDLEWILD PAVING WINTER PARK	WINTER PARK, CO	Fine grade subgrade, full depth asphalt paving, adjust manholes, valves, and cleanouts	Highland Development Company	SUB	271,412	324,230	Oct-24	95.00%
240057.01	GLEN HEATHER FITNESS PAD PARKING LOT	DACONO, CO	Demo trees, concrete sitework, asphalt paving. Unclassified excavation, erosion control, adjust manholes and valves, landscaping, asphalt paving, concrete sitework, signage, survey striping.	City of Dacono	PRIME	363,658	358,304	Nov-24	93.00% Jeremy Carpenter
240058	11TH AVENUE EXTENSION	DENVER, CO	Scarify and recompact subgrade, full depth asphalt paving, adjust manholes and water valves	City and County of Denver	SUB	102,219	109,577	Dec-24	100.00% Mike Fairbairn
240059	12775 E. 38TH AVE M&O	DENVER, CO	Mill and overlay asphalt paving, restripe lot per existing layout	IC Industrial Reit - A Maryland Reit	PRIME	123,137	123,942	Aug-24	98.00%
240063.03	B1444 WOLF DFAC PARKING LOT	FORT CARSON ARMY BASE, CO	Full depth mill the existing asphalt parking lot. Recondition the subgrade, deep strengthen as necessary, full depth asphalt paving, R&R concrete sidewalk and C&G, traffic control.	United States Army	PRIME	1,022,539	1,022,539	Sep-24	100.00%
240066.01	GOLD HILL SUBSTATION PAVING	COLORADO SPRINGS, CO	Mill and overlay asphalt, restriping, concrete paving, concrete sidewalk, curb and gutter, and ADA ramp.	City of Colorado Springs	PRIME	224,485	341,781	Sep-24	97.00%
240068.01	2024 GEORGETOWN STREET IMPROVEMENTS	GEORGETOWN, CO	Pulverize asphalt and haul to recycle yard, moisture condition, recompact and fine grade subgrade, 3" asphalt paving, traffic control.	Town of Georgetown	PRIME	123,245	123,245	Jul-24	85.00%
240073	TOWER FARMS MOB	DENVER, CO	Scarify and recompact subgrade, full depth asphalt paving.	Unknown	SUB	107,929	112,821	Sep-24	100.00%
240074.01	BELLA CIMA DRIVEWAY IMPROVEMENTS	COLORADO SPRINGS, CO	Unclassified excavation, storm pipe and flared end section, import and place road base and granite aggregate, erosion control	City of Colorado Springs	PRIME	108,546	145,266	Nov-24	100.00%
240080	FOUNTAIN CDOT AREA E PAVING	FOUNTAIN, CO	Fine grading, full depth asphalt paving	TIRES CO Fountain Metropolitan	SUB	111,997	111,997	Aug-24	100.00%

Job #	Job Name	Location	Description of Work	Owner Name	Sub or Prime	Original Contract	Final Contract	Contract Completion	Percentage of Self-Performance
240084	CRACKER BARREL DENVER (STAPLETON)	DENVER, CO	Sanitary sewer (connect to existing, install pipe and grease traps), waterlines (the into existing, install fireline, water service, pipe, meter pit), storm sewer (connect to existing, install manholes, catch basins, storm pipe, roof drain connections)	Cracker Barrel	SUB	508,075	526,599	Dec-24	96.00%
240092.02	BRIGHT'S VILLAGE ASPHALT	FREDERICK, CO	Scarify, recompact and fine grade subgrade, asphalt paving, adjust manholes and water valves/cleanouts.	St. Bright's GP, LLLP	SUB	109,197	106,797	Sep-24	100.00%
240100.01	2024 WINTER PARK ASPHALT REHAB	WINTER PARK, CO	Mill and overlay asphalt paving, full depth asphalt patching, striping	Town of Winter Park	PRIME	769,325	800,852	Sep-24	87.00%
240109	VILLAGE SQUARE DR & LN ASPHALT	CASTLE PINES, CO	Mill & overlay asphalt, install asphalt speedbumps, striping	PT Village Square LLC c/o Protterra Properties	PRIME	190,971	215,029	Oct-24	98.00%
240110	WM DENVER EAST DEVELOPMENT ASPHAL PAVI	AURORA, CO	Full depth asphalt paving, mill and overlay patching	Waste Management	SUB	114,392	121,493	Nov-24	100.00%
240112.03	FC CONNEX YARD POV PARKING LOT B9680	FORT CARSON ARMY BASE, CO	Grading, place and grade aggregate base course, concrete driveway, curbs & sidewalks, traffic control	United States Army	PRIME	221,400	221,400	Sep-24	100.00%
240117	NORTH TRACK TRAIL DRAINAGE	HENDERSON, CO	Remove existing gravel, concrete, and RR tracks. Cut/fill & overlot grading, regrade for gravel paving, scarify and recompact, fine grade. Storm sewer (RCP pipe, install catch basins, connect to existing), concrete paving and valley gutter.	Purina Foods	PRIME	374,000	446,321	Nov-24	98.00%
240118	CENTRETECH AREA A&B	AURORA, CO	Remove and replace concrete C&G and concrete paving. Fine grading for asphalt paving, asphalt paving, remove asphalt paving, form and pour concrete paving.	Unknown	SUB	183,940	197,622	Sep-24	99.00%
240120	BENNETT PUBLIC STORM	BENNETT, CO	Install storm sewer (inlets, manholes, HDPE pipe, and r/rtrap)	Best Box	SUB	365,000	313,000	Oct-24	86.00%

## Construction References

- Bruce Gurney – Contracting Officer Rep (US Army Corp of Engineers)  
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## List of Key Individuals and Construction Experience

- Nathan Amsinger – Chief Operating Officer
  - Years with ESI – 9.5 years
  - Years of Construction Experience – 21 years
  - Construction Experience – Nathan’s experience has been in specializing in Asphalt Paving and civil construction of municipal, commercial, DOT and federal government construction. As an experienced professional he has expertise in construction management, scheduling management, operations management, safety management, job costing and estimating
  
- Jeremiah Kamp – Vice President Business Development / Estimating
  - Years with ESI – 19 years
  - Years of Construction Experience – 19 years
  - Construction Experience – Jeremiah’s experience has been on multiple military/government installations and private commercial projects with duties ranging from Operator, Foreman, Project Superintendent, Project Manager, Department Manager, and now Vice President.
  
- Tim Ulmer – Vice President Logistics
  - Years with ESI – 14 years
  - Years of Construction Experience – 23 years
  - Construction Experience – Tim’s construction experience has been with commercial, private, and government projects. This experience has given him knowledge in the many levels of the civil construction process. His background consists of managing multiple employees on various size civil projects as an operator, a site foreman, superintendent and SSHO. Tim took on the role of Operations Manager in 2011 and is now the Vice President of Logistics. He utilizes his previous experience and skills to accomplish the management of all crews and equipment throughout the company.
  
- Daniel Lavigne – Senior Estimator (Earth/Utilities)
  - Years with ESI – 15 years
  - Years of Construction Experience – 15 years
  - Education - BS in Civil Engineering
  - Construction Experience – Daniel’s experience is with commercial, private and government projects. The years of experience have given him knowledge in the many levels of the civil construction process. His background consists of estimating, project managing, scheduling, contract buyout, quality control, submittal processes, and closeout procedures for multiple projects at any one time.

- Van Miranda – Senior Estimator (Asphalt and Concrete)
  - Years with ESI – 7 years
  - Years of Construction Experience – 40 years
  - Construction Experience – Van’s experience is in Heavy Highway and Civil Infrastructure Construction. Van has worked for large sand and gravel, asphalt paving and earthwork contractors as a laborer, operator, superintendent, estimator and project manager. He has training in soils and materials testing, surveying, scheduling software and most estimating programs. Van has estimated and managed CDOT roadway widening projects as a General Contractor along with other Municipal roadway maintenance programs. Van has also estimated and managed millions of dollars of private development infrastructure projects. He has worked as a department manager, estimator and project manager for 33 of his 40 years in the industry.
  
- Caleb Bottom – Earth and Utilities Department Manager
  - Years with ESI – 6.5 years
  - Years of Construction Experience – 6.5 years
  - Education - BS in Construction Management
  - Construction Experience – Caleb’s experience has been on multiple civil construction projects (earthwork, utilities, asphalt paving, and site concrete) with various federal agencies, local municipalities and private commercial owners with duties ranging from laborer, equipment operator, pipe layer, top man, crew lead, assistant foreman, estimator, and project manager.
  
- Jake Kamp – Concrete Department Manager
  - Years with ESI – 11 years
  - Years of Construction Experience – 11.5 years
  - Construction Experience – Jacob’s experience has been on multiple military and government installations with duties ranging from Foreman to Assistant Project Superintendent to Project Superintendent, Site Safety Health Officer and Quality Control Manager, Project Manager/QC Manager, and now Senior Project Manager. Jacob’s experience with these Government installations has been a fair balance of bid-build and design-build civil contracts. Jacob has also been involved in some projects in the private sector of construction.
  
- Mike Fairbairn – Asphalt Department Manager
  - Years with ESI – 10 years
  - Years of Construction Experience – 23 years
  - Construction Experience – Mike’s experience has been on multiple paving projects with various federal agencies, state agencies and local municipalities with duties ranging from Project Superintendent, Estimator, Project Manager and Quality

Control Manager. These projects consisted of parking lots repairs and new construction, roadway repairs, and underground utilities. As a Department Manager, Mike is responsible for the financial stability of the department while managing the estimators and project managers, reviewing contracts, hiring of office and field employees, managing backlog and customer relations. He also project manages some of the larger projects that the company completes.

Specific resumes with additional information for the key individuals listed above are available upon request.

Information for additional key individuals is available upon request.



License/Registration	License/Registration #	Expiration
City of Littleton - Contractor License - D15105 - Excavation	D15105	1/1/2026
Town of Parker - Contractor's License - General A	CL15-0291	1/13/2026
City of Arvada Municipal Contractor's License - Right of Way	AEC 2487	1/23/2026
City of Lafayette - Special Contractor	22-097036	1/27/2026
City of Castle Pines - Class H - Asphalt Paving Contractor License	25CCP-AP-3319	2/3/2026
City of Castle Pines - Class I - Concrete and Forms Contractor License	25CCP-CF-3319	2/3/2026
City of Castle Pines - Class J - Demolition Contractor License	25CCP-DEMO-3319	2/3/2026
City of Castle Pines - Class K - Excavation Contractor License	25CCP-EXCV-3319	2/3/2026
City of Castle Pines - Class L - Utility Contractor License	25CCP-UC-3319	2/3/2026
Town of Johnstown - General Contractor License	AEC-1572	2/28/2026
Douglas County Building Division - Contractor Registration	A170094	3/17/2026
City of Lakewood – Contractor's License	14868	3/24/2026
Town of Bennett - ROW License	ROW-CL-014	3/31/2026
City of Louisville - General Building Contractor - Class D	LSVL-003095-2020	4/16/2025
Westminster - Contractor Registration (Public Way Contractor)	1902651	4/30/2025
City of Cripple Creek - Class D - Excavation	CC-0006-GC-D	5/8/2025
Town of Monument - Business License	3529	5/31/2025
Centennial - General Contractor's License	CL-000820-2019	6/4/2025
Englewood - Class D06 (Concrete)	12204	6/4/2025
Englewood - Class D05 (Exc/Drill/Drain)	21249	6/4/2025
Town of Castle Rock – General Contractor License	CR23-0550	6/4/2025
City of Boulder - ROW License	LIC-00991782	6/11/2025
City of Brighton Contractor License D/E	CL-1065	6/16/2025
Aurora Business/Tax License	S20022082-0001	6/23/2025
Colorado Springs – Excavation License	0719048L	6/30/2025
Teller County - Full Excavation License	29382EX	7/3/2025
Commerce City - Sales and Business License	030952	7/7/2025
City of Golden Contractor Registration	TL-GC-00298	7/13/2025
Greenwood Village – Commercial Contractors License (Level A)	OL-23-01457	7/25/2025
City and County of Denver – Water Service	238029	7/31/2027
City of Aurora - ROW General	2024 2456702 00 CL	8/1/2025
City of Greeley - Public ROW License	119708	8/6/2025
City of Colorado Springs – Concrete License	729710L	8/12/2025
South Adams County Water and Sanitation Contractor's License	978	8/15/2025
Town of Frederick Contractor Licensed - Class C (Special)	TL-SC-000504	8/28/2025
City and County of Broomfield - Class C Contractor License	OL-25-11785	8/30/2025
City and County of Denver - ROW-Sewer License	LIC236073	8/31/2025



License/Registration	License/Registration #	Expiration
Town of Winter Park Business License	024594	9/30/2025
City and County of Denver – ROW General	LIC236368	9/30/2025
City of Aurora - Commercial Building Contractor	24 2477924 CL	11/1/2025
City of Thornton - Contractor's License (Excavation & Utilities License)	EXC202403467	11/30/2025
City of Wheat Ridge Municipal Contractor License - Class B	000711	12/4/2025
Town of Erie - Contractor Class C	GC-002558-2019	12/9/2025
Town of Firestone - Class A Contractor License	CLA24-000018	12/31/2025
City of Pueblo - Contractor License - B00 Limited	0013761	12/31/2025
Commerce City – Subcontractor ROW	1571	12/31/2025
Town of Castle Rock – Business and Tax License - allow 3-4 days for processing	107718	12/31/2025
Colo. Div. of Fire Prev. and Control - Fire Suppression Systems Contractor - Underground	25-U-01069	12/31/2025
Grand County Contractor Registration	CR25-0035	12/31/2025
City of Northglenn Right-of-Way Certificate - Utility	24-ROW-0168	12/31/2025
City of Lone Tree - Sales/Business License	8692	12/31/2025
Town of Parker - Business/Sales Tax License - allow for 3 - 4 weeks for processing	12346	12/31/2026
City of Canon City - Excavation/Concrete Contractor License	001495	12/31/2025
Town of Silverthorne - Business License	34115	12/31/2025
City of Canon City - ROW License	1495-1-02	12/31/2025
City of Fort Lupton - Building Contractor License	24FTL-BCL-0875	12/31/2025
City of Dacono - Class A Contractor License	25DAC-A-0728	12/31/2025
Woodland Park - Business/Tax License	#335414	12/31/2025
<b><u>States Registered to as Foreign Business Entity</u></b>		
State of Florida Annual Report	M21000010962	1/1/2026
South Dakota Secretary of State - Annual Filing	FL253538	6/1/2025
State of Wyoming – Certificate of Authority	2012-000627711	8/1/2025

**SECTION 00300**

**BID FORM**

PROJECT IDENTIFICATION: TOWN OF ELIZABETH  
2025 Mian Street Depot Parking Lot

CONTRACT IDENTIFICATION NUMBER:

THIS BID IS SUBMITTED TO: Town of Elizabeth  
151 S. Banner St.  
Elizabeth, CO 80107

THE UNDERSIGNED BIDDER, having familiarized itself with the work required by the Contract Documents, the Site where the Work is to be performed, local labor conditions and all laws, regulations and other factors affecting performance of the Work, and having satisfied itself of the expense and difficulties attending performance of the Work.

HEREBY PROPOSES and agrees, if this Bid is accepted, to enter into Agreement in the form attached, to perform all work, including the assumption of all obligations, duties and responsibilities necessary to the successful completion of the Agreement and the furnishing of materials and equipment required to be incorporated in and form a permanent part of the Work, tools, equipment, supplies, transportation, facilities, labor, superintendence and services required to perform the Work; and Bond, insurance and submittals; all as indicated or specified in the Contract Documents to be performed or furnished by Contractor in accordance with the following Bid prices (Contractor must submit on Base Bid and Bid Alternates, if any, to be considered).

- A. The undersigned Bidder agrees to furnish the required Bonds, certificates of insurance on ACORD Form 27, and copies of applicable insurance policies and enter into Agreement within TEN (10) days after acceptance of this Bid, and further agrees to complete all work covered by the Bid, in accordance with specified requirements and in accordance with the following schedule:
  - i. Notice of Award: April 15, 2025
  - ii. Substantial Completion: June 5, 2025
  - iii. Final Completion: September 1, 2025
  
- B. LIQUIDATED DAMAGES. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed within the time specified above, plus any extensions thereof allowed in accordance with the General Conditions. They also recognize the delays, expense and difficulties involved in proving, in a legal or arbitration proceeding, the actual loss suffered by the Owner if the Work is not substantially complete on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner Seven Hundred Fifty Dollars (\$750) for each day past substantial completion.

C. BID SECURITY. Enclosed herewith is the required Bid Security, in the form of Cashier's Check/Bid Bond (strike one), in the amount of 10% Dollars (\$ 2,277,491.32 ) which the undersigned Bidder agrees is to be forfeited to and become the property of owner, as liquidated damages, in connection with the Bid Security, should this Bid be accepted and Bidder fails to enter into Agreement in the form prescribed and to furnish the required Bonds within ten (10) days, or should Bidder fail to enter such agreement and give such bond or bonds, if Bidder fails to pay to owner the difference between the amount specified in this Bid and such larger amount for which owner may in good faith contract with another party to perform the Work covered by this Bid, but otherwise the Bid Security will be returned upon Bidder signing the Agreement and delivering the Performance Bond, Labor and Materials Payment Bond certificates of insurance on ACORD Form 27 and copies of applicable insurance policies.

D. BID REJECTION. In submitting this Bid it is understood that Owner reserves the right to reject any and all Bids, to waive any informality, technicality or irregularity in any Bid, to disregard all non-conforming, non-responsive, conditional or alternate Bids, to negotiate contract terms with the Successful Bidder, to require statements or evidence of Bidder's qualifications, including financial statements, and to accept the proposal that in the opinion of the Owner is in its best interest. It is understood that this Bid may not be withdrawn during a period of sixty (60) days after the scheduled time for the receipt of Bids.

E. BID IS GENUINE. The undersigned Bidder hereby certifies (a) that this Bid is genuine and is not made in the interest of, or in the behalf of, any undisclosed person, firm, or corporation, and is not submitted in conformity with any agreement or rules of any group, association, organization, or corporation; (b) that Bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham Bid; (c) that Bidder has not solicited or induced any person, firm, or corporation to refrain from bidding; and (d) that Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over the Owner.

F. EQUIPMENT RENTAL Attached herewith is a copy of Bidder's equipment rental rate schedule and a copy of rate schedules related to protection of work during winter working conditions.

G. INTERESTED PARTIES. The full names and addresses of parties interested in this Bid as principals are as follows:

- a. Mabel Moreno 7200 Quivas St Denver CO 80221
- b. Martin Moreno 7200 Quivas St Denver CO 80221
- c. Martin Moreno Jr 7200 Quivas St Denver CO 80221
- d. \_\_\_\_\_
- e. \_\_\_\_\_

- H. In submitting this Bid. BIDDER represents, as more fully set forth in the Agreement, that BIDDER has examined copies of all the Bidding Documents.
- I. BIDDER will complete the work, as defined by OWNER to include all phases and schedules, for the following prices (attach additional sheets if necessary):
- J. BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.
- K. The following documents are attached to and made a condition of this Bid:
  - a. Required Bid Security
  - b. A tabulation of Subcontractors, suppliers and other persons and organizations required to be identified in this Bid
  - c. Required Bidders Qualification Statement with supporting data

SUBMITTED ON April 14, 2025

If BIDDER is:

An Individual

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Individual's Name)

doing business as \_\_\_\_\_

Business address:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Partnership

By \_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
(Firm Name)

\_\_\_\_\_  
(General Partner)

Business address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone No.: \_\_\_\_\_

A Corporation

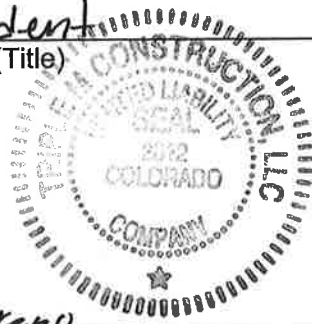
Triple M Construction  
(Corporation Name)

Colorado  
(State of Incorporation)

By Mahul Youmud  
(SEAL)

President  
(Title)

(Corporate Seal)



Attest: Martin Alvarez  
(Secretary)

Business address:

7200 Quivas St

Denver CO 80221

Phone No.: 720-331-6342

A Joint Venture

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

By \_\_\_\_\_  
(Name)

\_\_\_\_\_  
(Address)

(Each joint venture must sign. The manner of signing for each individual, partnership and corporation that is a party to the joint venture should be in the manner indicated above.)

**END OF SECTION**

SECTION 00410

BID BOND

KNOW ALL MEN BY THESE PRESENTS: That we, the undersigned,  
Triple M Construction, LLC, of the City of Denver, County of  
Denver, and State of Colorado (hereinafter called "Principal") as Principal and  
Philadelphia Indemnity Insurance Company (hereinafter called  
"Surety") as surety, a corporation organized and existing under and by virtue of the laws of the State of  
Pennsylvania and authorized to do business within the state of Colorado and to act as surety on bonds for  
principals, are held and firmly bound unto Town of Elizabeth (hereinafter called "Owner") as obligee, in the sum of  
Ten Percent of Total Bid Amount Dollars (\$ 10% ) in  
lawful money of the United States, for the payment of which sum, well and truly to be made, the Principal and Surety, bind  
ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted a Bid Form (Proposal) to enter into a certain written agreement with Owner  
for Construction of PROJECT, hereinafter referred to as "Agreement".

NOW, THEREFORE, the condition of this obligation is such that if (1) Owner shall accept the Bid Form (Proposal)  
of the Principal and Principal shall faithfully enter into Agreement with the Owner in accordance with the terms of such Bid  
and give such Bonds as are specified in the Bidding or Contract Documents, or (2) in the event of the failure of Principal to  
enter such Agreement and give such Bond or Bonds, if Principal shall pay to Owner the difference not to exceed the sum  
hereof between the amount specified in said Bid and such larger amount for which Owner may in good faith contract with  
another party to perform the work covered by said Bid, then (3) this obligation shall be null and void, otherwise to remain  
in full force and effect. The sum of this Bid Bond is not less than 10% of the Principal's Bid.

The sum of this Bid Bond is Ten Percent of Total Bid Amount, and subject to the conditions stated  
above, shall be forfeited to Owner in its entirety upon failure of Principal to perform as contemplated in clause (1) or (2)  
herein.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its Bond shall  
be in no way impaired or affected by any extension of the time within which the Owner may accept such Bid; and said  
Surety does hereby waive notice of any such extension.

Signed and sealed this 14th day of April, 2025.

PRINCIPAL: Triple M Construction, LLC

By: *Mabel Moreno*  
Mabel Moreno, President

*Mabel Moreno*  
Witness

Address: 7200 Quivas St  
Denver, CO 80221

SURETY: Philadelphia Indemnity Insurance Company

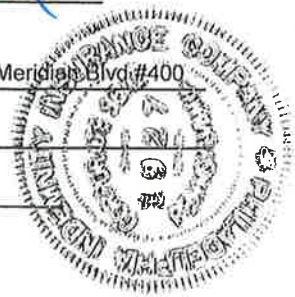
By: *Christine Crowder*  
Christine Crowder, Attorney-In-Fact

*Kathryn Dater*  
Witness Kathryn Dater

Address: c/o CRS Insurance Brokerage, 9780 S Meridian Blvd #400  
Englewood, CO 80112

Surety's No. 303-996-7801

END OF SECTION



**PHILADELPHIA INDEMNITY INSURANCE COMPANY**

One Bala Plaza, Suite 100  
Bala Cynwyd, PA 19004-0950

**Power of Attorney**

KNOW ALL PERSONS BY THESE PRESENTS: That **PHILADELPHIA INDEMNITY INSURANCE COMPANY** (the Company), a corporation organized and existing under the laws of the Commonwealth of Pennsylvania, does hereby constitute and appoint **Cally Lever, Christine Crowder, Doug Rothey, Cindy Burnett, Wes Butorac, Zach Rothey, and Kim Payton of Commercial Risk Solutions, Inc. dba CRS Insurance Brokerage,** its true and lawful Attorney-in-fact with full authority to execute on its behalf bonds, undertakings, recognizances and other contracts of indemnity and writings obligatory in the nature thereof, issued in the course of its business and to bind the Company thereby, in an amount not to exceed **\$50,000,000.**

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of PHILADELPHIA INDEMNITY INSURANCE COMPANY on the 14<sup>th</sup> of November, 2016.

**RESOLVED:** That the Board of Directors hereby authorizes the President or any Vice President of the Company: (1) Appoint Attorney(s) in Fact and authorize the Attorney(s) in Fact to execute on behalf of the Company bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof and to attach the seal of the Company thereto; and (2) to remove, at any time, any such Attorney-in-Fact and revoke the authority given. And, be it

**FURTHER RESOLVED:** That the signatures of such officers and the seal of the Company may be affixed to any such Power of Attorney or certificate relating thereto by facsimile, and any such Power of Attorney so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking to which it is attached.

IN TESTIMONY WHEREOF, PHILADELPHIA INDEMNITY INSURANCE COMPANY HAS CAUSED THIS INSTRUMENT TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY ITS AUTHORIZED OFFICE THIS 5TH DAY OF MARCH, 2021.

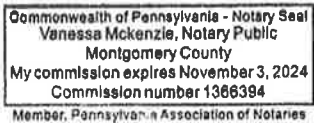


(Seal)

John Glomb, President & CEO  
Philadelphia Indemnity Insurance Company

On this 5<sup>th</sup> day of March, 2021 before me came the individual who executed the preceding instrument, to me personally known, and being by me duly sworn said that he is the therein described and authorized officer of the **PHILADELPHIA INDEMNITY INSURANCE COMPANY**; that the seal affixed to said instrument is the Corporate seal of said Company; that the said Corporate Seal and his signature were duly affixed.

Notary Public:



residing at:

Bala Cynwyd, PA

My commission expires:

November 3, 2024

I, Edward Sayago, Corporate Secretary of PHILADELPHIA INDEMNITY INSURANCE COMPANY, do hereby certify that the foregoing resolution of the Board of Directors and the Power of Attorney issued pursuant thereto on the 5<sup>th</sup> day March, 2021 are true and correct and are still in full force and effect. I do further certify that John Glomb, who executed the Power of Attorney as President, was on the date of execution of the attached Power of Attorney the duly elected President of PHILADELPHIA INDEMNITY INSURANCE COMPANY.

In Testimony Whereof I have subscribed my name and affixed the facsimile seal of each Company this 14th day of April, 2025



Edward Sayago, Corporate Secretary  
PHILADELPHIA INDEMNITY INSURANCE COMPANY

Town of Elizabeth 2025 Main Street Depot Parking Lot

***Acknowledge Addendum***

Addendum #1 3/26/2025

Addendum #2 4/1/2025

Addendum #3 4/1/2025

**Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities**

Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Cut to Fill	1,993		CY	\$ 80.00	\$ 159,440.00
Excess Cut to Haul off Site			CY	\$ 110.00	\$ -
Imported Fill Material	3,554		CY	\$ 58.00	\$ 206,132.00
Fine Grading			SY	\$ 90.00	\$ -
Temporary Sediment Basins	1		EA	\$ 2,000.00	\$ 2,000.00
Clearing/Grubbing	2		AC	\$ 2,500.00	\$ 5,000.00
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)			CY	\$ 95.00	\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Remove Asphalt Pavement	106		SY	\$ 40.00	\$ 4,240.00
Saw Cut Existing Asphalt	125		LF	\$ 6.00	\$ 750.00
After Utility Install - Cut Grade to subgrade design	1,640		SY	\$ 65.00	\$ 106,600.00
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY	\$ 70.00	\$ -
Subgrade Prep (rip and re-compact)	6,558		SY	\$ 35.00	\$ 229,530.00
Local - Asphalt - 5" Thick	4,674		SY	\$ 90.00	\$ 420,660.00
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	6,558		SY	\$ 30.00	\$ 196,740.00
Adjust Manholes/Cleanouts	2		EA	\$ 1,000.00	\$ 2,000.00
Adjust Valves	4		EA	\$ 1,000.00	\$ 4,000.00
Public Signage	13		EA	\$ 500.00	\$ 6,500.00
Street Name Signs	1		EA	\$ 2,000.00	\$ 2,000.00
Striping - White Line - 6" Solid	2,736		LF	\$ 14.00	\$ 38,304.00
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ 250.00	\$ 1,250.00
Striping - Stop Bar	8		LF	\$ 40.00	\$ 320.00
Striping - Road Markings	12		EA	\$ 1,000.00	\$ 12,000.00
<b>CONCRETE</b>					
Mobilization	1		EA	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Remove Curb & Gutter	50		LF	\$ 20.00	\$ 1,000.00
Remove Sidewalk	30		SY	\$ 30.00	\$ 900.00
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ 48.00	\$ 85,008.00
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ 46.00	\$ 42,412.00
Crossspan	1		LS	\$ 10,000.00	\$ 10,000.00
Curb Chase	32		LF	\$ 350.00	\$ 11,200.00
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ 85.00	\$ 65,535.00
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ 90.00	\$ 24,390.00
Handicap Ramps and Respective Landings	9		EA	\$ 3,900.00	\$ 35,100.00
Fence (Relocated Smoking Area)	140		LF	\$ 500.00	\$ 70,000.00
Concrete (Pad for Bathrooms)	96		SY	\$ 100.00	\$ 9,600.00
<b>WATER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Connect to Existing Water Infrastructure	2		EA	\$ 7,000.00	\$ 14,000.00

Water Service 2"	3		EA	\$ 15,000.00	\$ 45,000.00
PVC Pipe (C900) 2"	86		LF	\$ 50.00	\$ 4,300.00
PVC Pipe (C900) 8"	226		LF	\$ 120.00	\$ 27,120.00
Bend 2"	2		EA	\$ 100.00	\$ 200.00
Bend 8"			EA	\$ 180.00	\$ -
Bend 12"			EA	\$ 220.00	\$ -
Valve 2"	1		EA	\$ 5,000.00	\$ 5,000.00
Valve 8"	2		EA	\$ 6,000.00	\$ 12,000.00
Tee 2"x2"	3		EA	\$ 1,000.00	\$ 3,000.00
Tee 8"x8"	1		EA	\$ 2,000.00	\$ 2,000.00
Tee 8"x6"	1		EA	\$ 1,800.00	\$ 1,800.00
Cross 8"x8"			EA	\$ 1,800.00	\$ -
2" Plug with Blow-Off	1		EA	\$ 1,000.00	\$ 1,000.00
8" Plug with Blow-Off	1		EA	\$ 1,500.00	\$ 1,500.00
Blow-off 8"			EA	\$ 1,100.00	\$ -
Reducer 8"x6"			EA	\$ 1,000.00	\$ -
Air Release Manhole and Vent Pipe			EA	\$ 7,000.00	\$ -
8" Blow off assembly			EA	\$ 1,500.00	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1		EA	\$ 15,000.00	\$ 15,000.00
<b>SANITARY SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Connect to Existing Sanitary Main	1		EA	\$ 38,000.00	\$ 38,000.00
Sanitary Service 4"			EA	\$ 10,000.00	\$ -
Manhole 4'	1		EA	\$ 10,000.00	\$ 10,000.00
Manhole 5'			EA	\$ 10,550.00	\$ -
4" Sanitary Clean Out	5		EA	\$ 1,000.00	\$ 5,000.00
PVC Pipe 6"	303		LF	\$ 50.00	\$ 15,150.00
PVC Pipe 8"			LF	\$ 80.00	\$ -
<b>STORM SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ 5,000.00	\$ 5,000.00
Permits	1		LS	\$ 500.00	\$ 500.00
Connect to Existing Storm			EA	\$ 10,000.00	\$ -
RCP Pipe 15"			LF	\$ 130.00	\$ -
RCP Pipe 18"	277		LF	\$ 160.00	\$ 44,320.00
RCP Pipe 24"	32		LF	\$ 185.00	\$ 5,920.00
RCP Pipe 30"			LF	\$ 200.00	\$ -
Manhole 4' Diameter			EA	\$ 10,000.00	\$ -
Manhole 5' Diameter	2		EA	\$ 10,000.00	\$ 20,000.00
Manhole 6' Diameter			EA	\$ 11,000.00	\$ -
Inlet Type R - 5'			EA	\$ 11,000.00	\$ -
Inlet Type R - 10'	1		EA	\$ 10,500.00	\$ 10,500.00
Inlet Type R - 15'	1		EA	\$ 12,500.00	\$ 12,500.00
Inlet Type C	1		EA	\$ 11,000.00	\$ 11,000.00
Inlet Type D			EA	\$ 11,000.00	\$ -
FES 15"			EA	\$ 8,000.00	\$ -
FES 18"	3		EA	\$ 11,000.00	\$ 33,000.00
FES 24"			EA	\$ 13,000.00	\$ -
FES 30"			EA	\$ 14,000.00	\$ -
Forebay (30 SY)	1		EA	\$ 15,000.00	\$ 15,000.00
Forebay (70 SY)			EA	\$ 18,000.00	\$ -
Outlet Structure	1		EA	\$ 9,000.00	\$ 9,000.00
Spillway Cutoff Wall	45		LF	\$ 90.00	\$ 4,050.00
Concrete Trickle Channel (3' Wide) (6" Thick)	114		LF	\$ 200.00	\$ 22,800.00
Riprap (Type VL)			SY	\$ 90.00	\$ -
Riprap (Type M)	112		SY	\$ 90.00	\$ -
Riprap (Type H)			SY	\$ 90.00	\$ -

<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam			LF	\$ 100.00	\$ -
Compost Blanket			SF	\$ 10.00	\$ -
Compost Filler Berm			LF	\$ 15.00	\$ -
Concrete Washout Area	1		EA	\$ 2,000.00	\$ 2,000.00
Construction Fence			LF	\$ 5.00	\$ -
Construction Markers	878		LF	\$ 12.00	\$ 10,536.00
Dewatering			EA	\$ 5,000.00	\$ -
Diversion Ditch			LF	\$ 200.00	\$ -
Erosion Control Blanket	394		SY	\$ 10.00	\$ 3,940.00
Inlet Protection	40		LF	\$ 15.00	\$ 600.00
Reinforced Check Dam			LF	\$ 15.00	\$ -
Reinforced Rock Berm	4		LF	\$ 50.00	\$ 200.00
RRB for Culvert Protection	31		LF	\$ 20.00	\$ 620.00
Sediment Basin	4		AC	\$ 500.00	\$ 2,000.00
Sediment Control Log	425		LF	\$ 6.00	\$ 2,550.00
Sediment Trap			EA	\$ 1,000.00	\$ -
Seeding and Mulching	1		AC	\$ 3,000.00	\$ 3,000.00
Silt Fence	1,252		LF	\$ 3.00	\$ 3,756.00
Silt Fence (Vertical)			LF	\$ 3.00	\$ -
Stabilized Staging Area	553		SY	\$ 10.00	\$ 5,530.00
Surface Roughening	2.7		AC	\$ 500.00	\$ 1,350.00
Temporary Slope Drain			LF	\$ 20.00	\$ -
Temporary Stream Crossing			EA	\$ 2,500.00	\$ -
Terracing				\$ 1,000.00	\$ -
Vehicle Tracking Control	1		EA	\$ 2,000.00	\$ 2,000.00
VTC with Wheel Wash			EA	\$ 4,000.00	\$ -
Temporary Batch Plant Restoration			AC	\$ 1,000.00	\$ -
Other: Curb Sock			LF	\$ 50.00	\$ -
<b>Sub-Total</b>					\$ 2,221,933.00
<b>SHPIP Wrap Insurance</b>	1		LS	2.5%	55,548.32
<b>GRAND TOTAL</b>					\$ 2,277,481.32

- NOTES:**
1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
  2. Contractor is responsible for all construction water.
  3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
  4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
  5. Identify any missed bid line items as an Alternative Line Item
  6. Grading 100% Complete.

SECTION 00420

BIDDERS QUALIFICATION STATEMENT

The undersigned certifies under oath the truth and correctness of all statements and of all answers to questions made hereinafter.

SUBMITTED TO: TOWN OF ELIZABETH

SUBMITTED BY: NAME: Triple M Construction, LLC

ADDRESS: 7200 Quivas St

Denver CO 80221

PRINCIPAL OFFICE: 7200 Quivas St

Denver CO 80221

DOING BUSINESS AS:  Corporation [ ] Partnership [ ] Individual [ ] Joint Venture [ ]  
Other

(NOTE: Attach separate sheets as required)

1. How many years has your organization been in business as a General Contractor?

13 years

2. How many years has your organization been in business under its present business name?

13 years

3. If a Corporation, answer the following:

Date of Incorporation: Sep 2012

State of Incorporation: Colorado

President: Mabel Moreno

Vice President(s) Martin Moreno

Secretary: Martin Moreno Jr.

Treasurer: \_\_\_\_\_

4. If a Partnership, answer the following:

Date of organization \_\_\_\_\_

Type of Partnership: \_\_\_\_\_

Name and address of all partners:

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5. If other than a Corporation or Partnership, describe Organization and name Principals:

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6. What percent of the work do you normally perform with your own forces?

90/100%

List trades:

Concrete flat work

Sewer

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7. Have you ever failed to complete any work awarded to you? If so, indicate when, where, and why:

**NO**

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8. Has any Officer or Partner of your Organization ever been an Officer or Partner of another Organization that failed to complete a construction contract?

**NO**

If Yes, state the circumstances:

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9. List major construction projects your organization has under contract on this date:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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See Attachment

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10. List major construction projects your Organization has completed in the past five years:

Scheduled Project Name	Owner	Architect/Engineer	Contract Amount	Contract Date	% Complete
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See Attachment

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11. List the construction experience of the principal individuals in your Organization:

Individual's Name	Construction Previous Position & Experience-Years	Present Position & Years Experience	Dollar Volume Responsibility	Years
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**Work Currently Under Contract**

**Town of Elizabeth**

Zach Hribar 303-725-7496

Elizabeth Main Streetscape

Phase 2

Project # 10-010-069

General Contractor

\$ 1,110,000.00

Completion Date: May 2025

**Town of Fraser**

Greg Steed 970-744-3031

Fraser Old Town Sidewalk and C&G Project

Project # 0000365515

\$320,068.00

Start Date: June 2025 Depending on Weather

Completion Date: Within one week of start date



## **Projects**

### **Town of Elizabeth**

James McErnie 303-596-1594  
Elizabeth Main Streetscape  
Phase 1  
Project # 10-010-069  
General Contractor  
\$1,456,110.87

### **City of Arvada**

Rob Lafrate 720-602-6191  
2024 Concrete Replacement  
Project # 24-ST-10A  
General Contractor  
\$3,465,936.61  
Complete 100%

### **City of Lone Tree**

Eric Barns 720-670-0925  
2024 Concrete Replacement  
Project # 2024-02 PW  
General Contractor  
\$682,315.00  
Complete 100%

### **City of Louisville**

Geoff Nettleton 518-255-9399  
2024 Concrete Replacement  
Project # 301312-660022  
General Contractor  
\$1,387,643.00  
Complete 100%

### **City of Louisville**

Geoff Nettleton 518-255-9399  
Coal Creek Golf Course Hole 13 Cart Path Project  
Project # 301537-630115  
General Contractor  
\$160,039.05  
Complete 100%



**City of Broomfield**

Ed Thompson 303-901-0676

Industrial Lane Phase 1

General Contractor

\$2,086,213.60

Complete 100%

**City of Arvada**

Jim Greer 720-765-3663

2023 Concrete Replacement

Project # 23-ST-10A

General Contractor

\$3,653,425.00

Complete 100%

**City of Louisville**

Geoff Nettleton 518-255-9399

2023 Concrete Replacement

Project # 301312-660022

General Contractor

\$1,320,654.20

Complete 100%

**City of Lone Tree**

Eric Barns 720-670-0925

2023 Concrete Replacement

Project # 2023-02 PW

General Contractor

\$669,580.00

Complete 100%

Martin Moreno 41yrs Superintendent  
Martin Moreno Jr 19yrs Superintendent/Project Manager  
Mabel Moreno 21yrs Office Manager

\*see Attachment for resumes

12. List states and categories in which your Organization is legally qualified to do business:

Colorado

\*see Attachment for Qualification Statement

13. Bank References:

Chase Bank  
Krista - 303-423-2918  
7605 W 88<sup>th</sup> Ave  
Arvada CO 80005

14. Trade references:

Martin Moreno  
7200 Quivas St. Denver, Co 80221  
Triplemconstruction@aol.com

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### Professional Summary

- Construction equipment operator skilled at maneuvering the heavy machinery used to construct roads, bridges.
- Operator with more than 26 years of experience operating heavy duty machinery on diverse range of construction sites and projects.
- Construction equipment operator offering extensive experience operating Loaders for major state and local construction projects.

### Skills

- Equipment Operator
- Backhoe loader
- Big backhoe
- Backhoe Digger
- Cat backhoe
- Grader
- Excavators
- Curb Machine
- Asphalt Paving
- Roller and compactors operation
- Skid steer loader

### Work History

Operator, 03/2008 to 03/2013

Keene Concrete- 7110 Ivy St. Commerce City, Co 80022

- Applied asphalt on highways private roadways, parking lots and driveways
- Paved roadways using roller equipment
- Consistently assumed additional responsibilities and worked extended hours to meet project deadline
- Operated heavy equipment including motors graders, heavy loaders carryalls, bulldozers, backhoes, roller scrapers and tractors
- Concrete replacements
- Curb and gutter, sidewalks

Operator, Labor, 04/1992 to 03/2008

Concrete Work of Colorado- 1266 Rock Creek Circle Lafayette, Co 80026

- Applied asphalt on highways private roadways, parking lots and driveways
- Paved roadways using roller equipment
- Consistently assumed additional responsibilities and worked extended hours to meet project deadline
- Operated heavy equipment including motors graders, heavy loaders carryalls, bulldozers, backhoes, roller scrapers and tractors
- Concrete replacements
- Curb and gutter, sidewalks

Vice President 09/2012 to Present

Triple M Construction, LLC

- Superintendent
- Concrete replacement
- Curb & Gutter and Sidewalk
- Operates Equipment Backhoe, Loader, Bobcat
- Consistently assumed additional responsibilities, works extended hours to meet project deadlines

Martin Moreno Jr.  
7200 Quivas St. Denver, Co 80221  
Triplemconstruction@aol.com

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**Professional Summary**

- Construction equipment operator skilled at maneuvering the heavy machinery
- Operator with more than 12 years of experience operating heavy duty machinery on diverse range of construction sites and projects.
- Construction equipment operator offering extensive experience operating Loaders for major state and local construction projects.

**Skills**

- Equipment Operator
- Backhoe loader
- Big backhoe
- Backhoe Digger
- Cat backhoe
- Grader
- Excavators
- Curb Machine
- Asphalt Paving
- Roller and compactors operation
- Skid steer loader

**Work History**

Secretary of Triple M Construction, LLC 09/2012 to Present  
Triple M Construction, LLC

- Bidding
- Superintendent
- Operator

# Mabel Moreno

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7200 Quivas St. Denver CO 80221

720-331-6342

[Mabel.moreno@aol.com](mailto:Mabel.moreno@aol.com)

## Professional Experience

### ***BL International Beauty College, Denver Colorado United State***

***Assistant Manager Volunteer, Jan 2009 - Nov 2011***

- Answer Phones, Take Messages, Return Calls, Run Errands, Data, Word Processing, Office Accounting, Student Enrollment Contract, Meetings, Invoice Billing

### ***Moreno's Boutique, Nov 2003 - May 2003***

- Customer Service, File and Organize Papers, Invoice Billing, Place Orders, Run Errands, Taxes and Accounting, Answer Calls, Meetings

### ***Triple M Construction, LLC***

***President Sep 2012 - Present***

- Bids, Answer Phones, Take Messages, Return Calls, Run Errands, Data, Payroll, Taxes, Meetings, Invoice Billing, File and Organize Papers

## ***Education***

- BL International Beauty College III, Denver, Colorado United States

## ***Additional Skills***

- Bilingual, Communication Skills, Interpersonal Abilities, Flexibility, Planning



**CONSTRUCTION LLC**

7200 Quivas St. Denver CO, 80221

Triple M Construction, LLC Company is dedicated to providing its customers with a First Class Construction Experience. At Triple M Construction the mission is to make our Clients feel that we exceeded expectations. In fact, what Triple M Construction really inspires to do is to construct something better than you expect. The high quality results of our finished projects evolve from the attention to detail we employ from the pre-construction stage to the completion. With the ability to provide a multitude of services, we take pride in our integrity and high ethical standards in our dealing with clients while providing them with the highest quality project at the best value.



**CERTIFICATIONS:**

- SBE
- CDOT
- DBE
- MWBE



**SERVICES OFFERED:**

Concrete paving, curb and gutter, sidewalks, crosspans, ADA ramps, walls, inlets drain, concrete finishing, concrete repair, concrete pumping, concrete floor surfacing, grouting, concrete stairways, concrete coating glazing, concrete breaking, concrete walls, concrete sawing, excavation, land cleaning.



**PROJECTS, CLIENT LIST:**

- City Of Arvada                      City Of Greeley    Town of Elizabeth
- City Of Lone Tree                City of Boulder    Town of Fraser
- City Of Louisville                City of Aurora
- City of Broomfield                City of Denver
- City of Highlands Ranch        City Of Greeley



Mabel Moreno  
7200 Quivas St.  
Denver, CO 80221  
Office: 720.331.6342  
Fax: 303.657.2768  
TripleMConstruction@aol.com

See Attachment.

15. Name of Bonding and Insurance Companies and Name and Address of Agents:  
Max Bonding Capacity

CRS Insurance

9780 S Meridian Blvd #400 Englewood Co 80112

Nathan Fonseca 720-290-1145

Philadelphia Indemnity Insurance

Chris Crowder 303-996-7866

Bonding Capacity \$30,000,000.00

16. The undersigned agrees to furnish, upon request by the TOWN, within 24 hours after the Bid Opening, a current Statement of Financial Conditions, including Contractor's latest regular dated financial statement or balance sheet which must contain the following items:

Current Assets: (Cash, joint venture accounts, accounts receivable, notes receivable, accrued interest on notes, deposits, and materials and prepaid expenses), net fixed assets and other assets.

Current Liabilities; (Accounts payable, notes payable, accrued interest on notes, provisions for income taxes, advances received from owners, accrued salaries, accrued payroll taxes), other liabilities, and capital (capital stock, authorized and outstanding shares par values, earned surplus).

Date of statement or balance sheet:

April 14, 2025

Name of firm preparing statement:



## **Trade References**

**Brannan Sand and Gravel**  
2500 Brannan Way Denver CO 80229  
Jennifer Zessin 720-323-5026

**Dalco Industries**  
12600 E. 38<sup>th</sup> Ave Denver CO 80239  
Mike Anderson 720-837-6823

**TMA Construction Supple**  
800 E 71<sup>st</sup> Ave Denver CO 80229  
Mary 303-295-6050

**Bobcat of the Rockies**  
10397 Havana St Henderson CO 80640  
Ward Williams 303-356-7425

Triple M Construction, LLC / Martinvejvoda & Associates

By: Jesse Singhurse  
(Agent and Capacity)

17. Dated at 11:32 am this 14<sup>th</sup> day of  
April, 2025

Name of Organization: Triple M Construction, LLC

By: Mabel Moreno

Title: President

18. NOTARIZATION: State of Colorado County of  
Adams

Mabel Moreno

Says that he (she) is the President of

Triple M Construction LLC

and that the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn before me this 14 day of April, 2025

Notary Public Ashley Rebecca Engle Salgado

My commission expires: 02/07/2028

END OF SECTION

ASHLEY REBECCA ENGLE SALGADO  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20244005582  
MY COMMISSION EXPIRES FEB. 07, 2028

**SECTION 00430**

**SUBCONTRACTOR LISTING**

The following information is submitted for each subcontractor that will be used in the work if the Bidder is awarded the Agreement. Additional numbered pages shall be attached to this page as required. Each page shall be headed "SUBCONTRACTOR LISTING" and signed. All work to be subcontracted over 25% in labor and/or materials shall be listed.

<b>Amount of Subcontract</b>	<b>Name and Address of Subcontractor</b>	<b>Portion of Work</b>
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NO SubContractors

  
Signature

**END OF SECTION**

SECTION 00450

MATERIAL AND EQUIPMENT SUPPLIER LISTING

The following information is submitted for each major supplier of material and each manufacturer and supplier of equipment for manufacturers and suppliers of major items of material, equipment and systems to be used in the work if the Bidder is awarded the contract.

Specification and Section No.	Material or Equipment Description	Manufacturer Supplier
Concrete	Material	velocity Read Mix
Asphalt	Material	Brannan sand & Gravel
water /sanitary sewer	Material	Binker Material
storm sewer	Material	Binker Material
Erosion	Material	Bowman Construction supply
Loader	Equipment	John Deere
Gradall	Equipment	Gradall Discovery
Bobcat	Equipment	Bobcat of the Rockies

  
Signature

END OF SECTION

**RESOLUTION 25R18**

**A RESOLUTION AUTHORIZING THE MAYOR TO ENTER INTO A CONTRACT FOR THE CONSTRUCTION AND COMPLETION OF THE DEPOT PARKING LOT.**

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. By and through the Town of Elizabeth’s 2024 Budget Process, the Board of Trustees specifically budgeted funds for the construction and development of The Depot Parking Lot in the amount of one million, four hundred thousand dollars (\$1,400,000.00). The funding for this project is from Account Number 31-80-6510 in the amount of \$770,000.00 and from Account Number 32-49-9115 in the amount of \$630,000.00.

Section 2. Terracina Design, in conjunction with Elizabeth Public Works published a request for proposals, and a bid opening was held on April 14, 2025. A total of four (4) bids were received as follows: RME Ltd., LLC d/b/a Elite Surface Infrastructure in the amount of \$1,327,423.13; Elite Industries, Inc. in the amount of \$1,591,134.00; QP Services, LLC in the amount of \$1,703,325.89; and Triple M Construction, LLC in the amount of \$2,277,481.32.

Section 3. The apparent lowest qualified bidder is RME Ltd., LLC d/b/a Elite Surface Infrastructure of Englewood, Colorado with a total bid of one million, three hundred twenty-seven thousand, four hundred twenty-three dollars and thirteen cents (\$1,327,423.13)

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH; COLORADO AS FOLLOWS:

The Mayor of Elizabeth is hereby authorized to enter a contract with RME Ltd., LLC d/b/a Elite Surface Infrastructure of Englewood, Colorado in the amount of one million, three hundred twenty-seven thousand, four hundred twenty-three dollars and thirteen cents (\$1,327,423.13) for construction of The Depot Parking Lot on Main Street.

PASSED, APPROVED, and ADOPTED this 30th day of April 2025, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of \_\_\_\_\_ for and \_\_\_\_\_ against.

\_\_\_\_\_  
Angela Ternus, Mayor

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk

## TRADE CONTRACTOR AGREEMENT

THIS AGREEMENT is made this 30th day of April 2025 between the Town of Elizabeth, Colorado (the "Town") and RME Ltd LLC/d/b/a Elite Surface Infrastructure, ("Contractor").

In consideration of the mutual covenants, agreements, conditions and undertakings hereinafter specified, the Town and Contractor agree as follows:

Section 1. Scope of Work. Contractor shall perform all work in accordance with **Exhibit A**, which is attached hereto and incorporated by this reference, including furnishing all supervision, labor, equipment, and materials therefor (the "Project").

Section 2. Contract Documents. The Contract Documents, which comprise the entire agreement and contract between the Town and Contractor, consist of this Agreement and Exhibit A; any special conditions measurement and payment technical specifications and drawings; and any modifications, change orders or other such revisions properly authorized after the execution of this Agreement.

Section 3. Agreement Price. The Town has appropriated the money necessary to fund this project. The Town shall pay the Trade Contractor in current funds for the performance of the work, subject to any additions and deletions, by written change order, the total sum not to exceed One million-three hundred twenty-seven thousand-four hundred twenty- three dollars and thirteen cents. (\$1,327,423.13) (the "Original Contract Amount"). Notwithstanding anything to the contrary contained in this Agreement, no change order or other form of directive by the Town requiring additional compensable work to be performed, which causes the aggregate amount payable under this Agreement, to exceed the amount appropriated for the Original Contract Amount, unless the Trade Contractor is given written assurance by the Town that lawful appropriations have been made by the Town to cover the cost of the additional work.

Section 4. Times and Methods of Payment.

a. Progress payments shall be made in proportion to services rendered and shall be due and owing within thirty (30) days of Contractor's submittal of his monthly invoice. The contractor shall submit invoices prior to the twenty-fourth (24th) day of each month for payment the following month. Payment of any invoice that is received after the twenty-fourth (24th) day of each month may be delayed up to a period of sixty (60) days. If the Town objects to any invoices submitted by Contractor, the Town will so advice Contractor in writing giving the reason within fourteen (14) days of receipt of such invoice.

b. If the Town fails to make payments due Contractor within sixty (60) days after receipt and acceptance of Contractor's bill, Contractor may, after giving seven (7) days written notice to the Town, suspend services under this Agreement until Contractor's outstanding bills have been paid in full.

Section 5. Retainage. An amount equal to ten percent (10%) of all progress payments shall be retained by the Town until the Project is completed satisfactorily and finally accepted by the Town at the conclusion of the warranty period.

Section 6. Final Payment. The Town shall make final payment to the Contractor when the Project is complete and finally accepted by the Town, which final acceptance shall occur at the conclusion of the warranty period.

Section 7. Probationary and Final Acceptance. Probationary acceptance of the Project shall follow the inspection and approval of Contractor's performance by the Town, along with inspection by appropriate government officials pursuant to local, state and federal requirements, if necessary. The Town shall have the right and authority to determine the acceptability of the Contractor's performance for conformity with this Agreement, which determination should be conclusive and binding upon Contractor. Upon such a determination, the Town shall accept the Project on a probationary basis. Final acceptance by the Town shall then occur upon the termination of the Warranty Period and the completion of punch list items, if any. Final acceptance shall be subject to the provisions of this Contract and Colo. Rev. Stat. Section 38-26-107, as amended, and in no manner affects or releases any warranties or guarantees with Contractor or manufacturers of Project equipment.

The Project, when presented to the Town for final acceptance, shall be delivered free from all claims or encumbrances whether then in existence or later established by law, statute, ordinance or otherwise. No claim or encumbrance against the Project or the Project site shall be outstanding or otherwise unsettled at the time of final acceptance. The right to assert any claim or encumbrance against the Project, after final acceptance by the Town and final payment to Contractor, is hereby waived by Contractor on behalf of itself and any subcontractor, laborer, materialman, equipment supplier, manufacturer or other person.

Section 8. Commencement and Completion of Performance. The services called for shall commence on May 1, 2025, and end on September 10, 2025. The Contractor shall commence any work requested by the Town within ten (10) days of notification by the Town. In the event Contractor fails to commence work within this time period, the Town may take over the work

and prosecute the same to completion. The date of beginning and the time for completion of the work are essential conditions of this Agreement. The contractor shall proceed with the work at such a rate of progress to ensure full completion within the contract time. It is expressly understood and agreed by and between the Town and Contractor that the contract time for the completion of the work described herein is a reasonable time, taking into consideration the average climatic and economic conditions and other factors prevailing in the locality of the work during the period such work is to be performed. If Contractor shall fail to complete the work within the contract time, or extension of time granted by the Town, then Contractor shall pay to the Town the amount of liquidated damages and not as penalty the sum of One thousand-five hundred dollars and no cents (\$1,500.00) for each calendar day that Contractor shall be in default after September 10, 2025. The Town will charge the Contractor and may deduct from the partial and final payment for the work, all architectural, engineering and construction management expenses incurred by the Town in connection with any work accomplished after the specified completion date.

Contractor will not be charged with liquidated damages or any excess cost when the delay in completion of the work is due to the following, and Contractor has promptly given written notice of such a delay to the Town:

- a. to any preference, priority or allocation order duly issued by the Town; and
- b. to unforeseeable causes beyond the control and without the fault or negligence of Contractor including, but not restricted to, unforeseen conditions, acts of God or of the public enemy, acts of the Town, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and abnormal and unforeseeable weather.

#### Section 9. Termination.

a. This Agreement may be terminated in whole or in part in writing by either party in the event of substantial failure by the other party to fulfill its obligations under this Agreement through no fault of the terminating party, provided, that no such termination may be affected unless the other party is given:

- i. not less than ten (10) calendar days written notice of intent to terminate, and
- ii. an opportunity for consultation with the terminating party prior to

termination.

b. This Agreement may be terminated in whole or in part in writing by the Town for its convenience.

c. Upon receipt of a termination action pursuant to paragraphs a. and b. above, Contractor shall promptly discontinue all services affected (unless the notice directs otherwise) and the Town may take over the work and prosecute the same to completion by agreement with another party or otherwise.

Section 10. Taxes, Licenses, Permits and Regulations. In all operations connected with the Project, Contractor shall pay all fees, charges and taxes imposed by law and shall obtain all licenses and permits necessary for completion of the Project, paying all fees therefore unless otherwise specified by the Town. The Town shall assist the Contractor to determine which licenses and permits are required for completion of the Project.

The Town is exempt from Colorado state sales and use taxes on materials to be permanently incorporated in the work. Accordingly, taxes for which the Town is exempt shall not be included in the Agreement Price. The Town shall, upon request, furnish Contractor with a copy of its Certificate of Tax Exemption. Contractors and subcontractors shall apply to the Colorado Department of Revenue, Sales Tax Division, for an exemption certificate and purchase the materials tax free. Pursuant to C.R.S. §39-26-114(1)(a)(XIX), Contractor and subcontractors shall be liable to the State of Colorado for exempt taxes paid due to failure to apply for exemption certificates or for failure to use said certificates. Contractors shall comply with all laws, ordinances, codes, rules and regulations of all governmental authorities, whether local, state or federal, relating to the performance of work on the Project and, particularly, in complying with those laws concerning the environment, workers' compensation, safety and health, state labor and materials, and equal employment opportunity.

Section 11. Insurance.

The Trade Contractor agrees to obtain and maintain during the life of this Contract, a policy or policies of insurance against all liability, claims, demands, and other obligations assumed by the Trade Contractor pursuant to Section 1 above. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Trade Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to Section 1 above, by reason of its failure to obtain and maintain during the life of this Contract insurance in sufficient amounts, durations, or types.

The Trade Contractor shall obtain and maintain during the life of this Contract and shall cause any subcontractor to obtain and maintain during the life of this Contract the minimum insurance coverage listed below. Such coverages shall be obtained and maintained with forms and insurers acceptable to the Town. All coverages shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Trade Contractor pursuant to Section 1 above. In the case of a claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage.

Worker's Compensation Insurance to cover obligations imposed by applicable laws for any employee engaged in the performance of the work under this contract, and Employers Liability Insurance with minimum limits of five hundred, thousand dollars (\$500,000) each accident, five hundred, thousand dollars (\$500,000) disease-policy limit, and five hundred, thousand dollars (\$500,000) disease-each employee.

General Public Liability Insurance to be written with a limit of liability of not less than one million dollars (\$1,000,000) for all damages arising out of bodily injury, personal injury (including coverage for employee and contractual acts), including death, at any time resulting therefrom, sustained by any one person and not less than one million, five hundred, thousand dollars (\$1,500,000) for all damages arising out of bodily injury, including death, at any time resulting therefrom, sustained by two or more persons in any one accident. This policy shall also include coverage for blanket contractual and independent contractor risks.

The limits of General Public Liability Insurance for broad form property damage (including products and completed operations) shall be not less than one million dollars (\$1,000,000) for all damages arising out of injury to or destruction of property in any one accident and not less than one million, five hundred, thousand dollars (\$1,500,000) for all damages arising out of injury to, or destruction of property, including the Town's property during the policy period.

The General Public Liability Insurance policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability of interest's provision.

Protective Liability and Property Damage insurance covering the liability of the Town, including any employee, officer or agent of the Town with respect to all operations under the Contract by the Trade Contractor or his sub-contractors shall be obtained and maintained during the life of the contract. The limits of the Town's Protective Liability Policy, to be provided by the Trade Contractor, as described in this Section 2, shall be increased to the same limits as described above for the Trade Contractor's General Public Liability Insurance.

Comprehensive Automobile Liability Insurance with minimum combined single limits for bodily injury and property damage of not less than one million dollars (\$1,000,000) each occurrence and one million dollars (\$1,000,000) aggregate with respect to each of the Trade Contractor's owned, hired, and non-owned vehicles assigned to or used in performance of the services. The policy shall contain a severability of interest's provision. If the Trade Contractor has no owned automobiles, the requirements of this paragraph shall be met by each employee of the Trade Contractor providing services to the Town under this contract.

All Insurance Policies and Certificates of Insurance issued for this project shall name as additional insured(s), the Town, whether private or governmental, the Town's officers and employees, and the Engineer and its agents and employees, and any other person(s), company(ies), or entity(ies) deemed necessary by the Town. The Trade Contractor shall be solely responsible for any deductible losses under any policy required herein.

The insurance provided by the Trade Contractor shall be primary to insurance carried by the Town, the Engineer, and all other additional insureds, and the principal defense of any claims resulting from the Trade Contractor's obligations under the Contract shall rest with the Trade Contractor's Insurer.

The certificate of insurance provided by the Trade Contractor shall be completed by the Trade Contractor's insurance agent as evidence that policies providing the required coverage, conditions, and minimum limits are in full force and effect, and shall be reviewed and approved by the Town prior to commencement of the contract. No other form of certificate shall be used. The certificate shall identify this Contract and shall provide that the coverages afforded under the policies shall not be cancelled, terminated or materially changed until at least 30 days prior written notice has been given to the Town. The completed certificate of insurance shall be sent to:

Patrick Davidson  
Town of Elizabeth  
Box 159  
151 South Banner Street  
Elizabeth, Colorado 80107

Failure on the part of the Trade Contractor to procure or maintain policies providing the required coverages, conditions, and minimum limits shall constitute a material breach of contract upon which the Town may immediately terminate this contract, or at its discretion the Town may

procure or renew any such policy or any extended reporting period thereto and may pay any and all premiums in connection therewith, and all monies so paid by the Town shall be repaid by the Trade Contractor to the Town upon demand, or the Town may offset the cost of the premiums against any monies due to the Trade Contractor from the Town.

The Town reserves the right to request and receive a certified copy of any policy and any endorsement thereto.

The parties hereto understand and agree that the Town is relying on and does not waive or intend to waive by any provision of this contract, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, 24-10-101 et seq., 10 C.R.S., as from time to time amended, or otherwise available to the Town, its officers, or its employees.

Section 12. Warranties and Guarantees. Contractor hereby represents, warrants and guarantees to the Town all workmanship, equipment and materials on or made a part of the Project and its structures for a period of two (2) years from and after the date of probationary acceptance of the work by the Town as provided by this Agreement.

Section 13. Indemnification. Contractor shall indemnify, defend and hold the Town, its agents, employees, engineers, and attorneys harmless from and against all claims, damages, judgments, losses and expenses of every nature, including reasonable attorney fees, arising at any time out of any act or omission of Contractor, its employees, subcontractors and their employees, and all other persons directly or indirectly involved in or performing work for Contractor on the Project.

Section 14. Subcontractors. All contracts between Contractor and subcontractors shall conform explicitly to all applicable provisions of this Agreement. Contractor shall require any subcontractors to provide the Town with a certificate of insurance which provides insurance coverage as provided by Section 11 of this Agreement. The certificate of insurance shall name the Town as an additional insured and provide that the policy shall not be terminated without ten (10) days' written notice to the Town. In all events, Contractor shall be responsible and held liable for any bonding, insurance, warranties, indemnities, progress payments and completion of performance of or to such subcontractors. Upon receipt of progress and final payments from the Town, the Contractor shall disburse the same immediately to subcontractors without any requirement of the Town to supervise the same. The Town may, but shall not be obligated to, require Contractor to furnish lien waivers for the work performed or materials furnished by subcontractors or materialmen prior to payment of progress payments or final payment. No

contractual relationship shall exist between the Town and any subcontractor because of the subletting of any part of the Project work.

Section 15. Change Order. There shall be no increase in price or change in the scope of work described herein without a written change order issued by the Town along with the Town's written assurance that lawful appropriations have been made by the Town to cover the cost of any additional work or materials described in the change order.

Section 16. Work Rules.

a. Contractor shall perform all work hereunder in keeping with the rules and regulations that the Town may promulgate at any time for the safe, orderly, and efficient conduct of all operations.

b. The Town shall have the right to require of Contractor the immediate removal from the Project of any employee of Contractor or of his subcontractors who, in the discretion of the Town, is not qualified to perform the work assigned to him, is guilty of improper conduct, or is not working in harmony with the other trades.

c. Nothing contained in this Agreement shall constitute Contractor as being an employee of the Town, nor shall any employment relationship between the Town and Contractor be created by the terms hereof.

d. Contractor is responsible for the safety of any of its materials, tools, possessions, and rented items stored on the job site and for protection of the Project and shall hold the Town and its authorized representatives harmless from any damage or loss incurred thereto.

e. Contractor shall promptly pay in full for any and all damage caused to the Project site by Contractor or by any subcontractor or other person or entity of any nature furnishing materials, equipment, machinery, supplies, labor, skilled services, or instruments for whose actions Contractor is responsible hereunder.

f. No material, equipment, tools, supplies, or instruments other than those belonging to or leased by Contractor will be removed from the Project site by Contractor without the prior written approval of the Town.

g. Contractor agrees to report immediately to the Town, in writing, any and all property damage and/or personal injury that occurs on the Project site during the course of Contractor's performance.

Section 17. Assignment. Contractor shall not, at any time, assign any interest in this Agreement or the other Contract Documents to any person or entity without the prior written consent of the Town. The terms of this Agreement shall inure to and be binding upon the successors and assigns of the parties hereto.

Section 18. Amendment. This Agreement may be amended from time to time by agreement between the parties hereto. No amendment, modification, or alteration of this Agreement shall be binding upon the parties hereto unless the same is in writing and approved by the duly authorized representatives of each party hereto.

Section 19. Severability. If any term, section, or other provision of this Agreement shall, for any reason, be held to be invalid or unenforceable, the invalidity or unenforceability of such term, section or other provision shall not affect any of the remaining provisions of this Agreement.

Section 20. Waiver. No waiver any either party of any right, term or condition of this Agreement shall be deemed or construed as a waiver of any other right, term or condition, nor shall a waiver of any breach hereof be deemed to constitute a waiver of any subsequent breach, whether of the same or of a different provision of this Agreement.

Section 21. Remedies. None of the remedies provided to either party under this Agreement shall be required to be exhausted or exercised as a prerequisite to resort to any further relief to which such party may then be entitled. Every obligation assumed by, or imposed upon, either party hereto shall be enforceable by any appropriate action, petition or proceeding at law or in equity. In addition to any other remedies provided by law, this Agreement shall be specifically enforceable by either party. This Agreement shall be construed in accordance with the laws of the State of Colorado, and particularly those relating to governmental contracts.

Section 22. Counterparts. This Agreement may be executed in multiple counterparts, each of which shall constitute an original, but all of which shall constitute one and the same document.

Section 23. Entirety. This Agreement constitutes the entire agreement between the parties concerning the subject matter herein, and all prior negotiations, representations, contracts, understandings, or agreements pertaining to such matters are merged into, and are superseded by this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement on the day and year first above written.

TOWN OF ELIZABETH, COLORADO

By: \_\_\_\_\_  
Angela Ternus, Mayor of Elizabeth

ATTEST:

\_\_\_\_\_  
Michelle M. Oeser, Town Clerk

CONTRACTOR

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF COLORADO )

) ss.

COUNTY OF \_\_\_\_\_ )

The foregoing instrument was subscribed, sworn to, and acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by \_\_\_\_\_ as the \_\_\_\_\_ of \_\_\_\_\_.

My commission expires: \_\_\_\_\_

(SEAL)

\_\_\_\_\_  
Notary Public

**Exhibit A**

Main Street Depot Parking Lot Construction Plans  
Engineer Quantities

# MAIN STREET OFF-STREET PARKING LOT

LOTS 2-6 OF BLOCK 13  
 WITHIN THE NE QUARTER OF SECTION 18, T8S, R64W, 6TH P.M.,  
 TOWN OF ELIZABETH, ELBERT COUNTY, COLORADO



DATE	BY
11/01/2024	MM
01/17/2025	MM
02/28/2025	MM

#	REVISION DESCRIPTION
1	1ST SUBMITTAL
2	2ND SUBMITTAL
3	3RD SUBMITTAL

**NOT FOR CONSTRUCTION**

MAIN STREET OFF-STREET PARKING LOT  
 TOWN OF ELIZABETH, COLORADO  
 CONSTRUCTION DOCUMENTS  
 COVER SHEET

Know what's below.  
 Call before you dig.

**OWNER**  
 TOWN OF ELIZABETH  
 151 S BANNER ST  
 P.O. BOX 159  
 ELIZABETH, CO 80107  
 CONTACT: ZACH HIGGINS  
 ZHIGGINS@TOWNOFELIZABETH.ORG

**ENGINEER**  
 TERRACINA DESIGN  
 10200 E. GIRARD AVE., SUITE A-314  
 DENVER, CO 80231  
 CONTACT: MARTIN METSKER  
 303.632.8867  
 MMETSKER@TERRACINADESIGN.COM

**SURVEYOR**  
 AZTEC CONSULTANTS  
 390 EAST MINERAL AVE, SUITE 1,  
 LITTLETON, CO 80122  
 (303) 713-1899  
 CONTACT: MIKE NOFFSINGER

**UTILITY PROVIDERS**  
 CORE ELECTRIC  
 188 CTC BLVD SUITE A  
 LOUISVILLE, CO 80027  
 (303) 887-3877



**VICINITY MAP**  
 0 1000' 2000'  
 1 inch = 1000'

**SHEET INDEX**

NO	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING SITE & DEMO PLAN
4	OVERALL SITE PLAN
5	OVERALL UTILITY PLAN
6	OVERALL GRADING PLAN
7	HORIZONTAL CONTROL & GRADING PLAN (1 OF 4)
8	HORIZONTAL CONTROL & GRADING PLAN (2 OF 4)
9	HORIZONTAL CONTROL & GRADING PLAN (3 OF 4)
10	HORIZONTAL CONTROL & GRADING PLAN (4 OF 4)
11	STORM P&P - STORM F
12	STORM P&P - STORM C AND CULVERT
13	STORM - POND F
14	STORM - OUTLET STRUCTURE - POND F
15	SANITARY P&P - RESTROOM SANITARY SERVICE
16	WATER P&P - RESTROOM WATER SERVICE
17	GESC - INITIAL PLAN
18	GESC - INITIAL PLAN
19	GESC - INTERIM PLAN
20	GESC - INTERIM PLAN
21	GESC - FINAL PLAN
22	GESC - FINAL PLAN
23	DETAILS
24	DETAILS
25	DETAILS
26	DETAILS
27	DETAILS
28	DETAILS
29	DETAILS
30	DETAILS
31	DETAILS
32	DETAILS

**PROFESSIONAL ENGINEER CERTIFICATION**

THESE CONSTRUCTION PLANS FOR THE MAIN STREET OFF-STREET PARKING LOT WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ELIZABETH DESIGN REVIEW STANDARDS AND GUIDELINES, WATER AND SEWER STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION AND SEDIMENT CONTROL MANUAL.

MARTIN METSKER, PE #41743  
 TERRACINA DESIGN  
 10200 E. GIRARD AVE., SUITE A-314  
 DENVER, CO 80231  
 PHONE (303) 632-8867 EXT.110

DATE

**BASIS OF BEARINGS**  
 THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, ASSUMED TO BEAR SOUTH 89°12'42" WEST, A DISTANCE OF 2642.37 FEET.

**BENCHMARK**  
 PROJECT BENCHMARK (AZTEC #400):  
 PROJECT BENCHMARK IS A NGS MONUMENT DESIGNATION H 53 (POINT ID KK0312). SAID MONUMENT IS AN NGS STANDARD DISK SET ON THE TOP OF A CONCRETE PORCH, STAMPED "H 53 1934." MONUMENT IS LOCATED ON 188 S. MAIN ST., NORTH EAST SIDE OF THE FORMER BANK, 4 FT EAST OF THE CENTERLINE OF SIDEWALK AND 5 INCHES NORTH OF A BRICK PILLAR.  
 NGS PUBLISHED ELEVATION = 6451.58 FT. (NAVD 88)

THESE DESIGNS, PLANS, AND CONTRACT DOCUMENTS ARE REVIEWED FOR CONCEPT AND GENERAL CONFORMANCE TO THE TOWN'S MINIMUM STANDARDS ONLY. AND THE PRIMARY RESPONSIBILITY FOR DESIGN ADEQUACY IS TO REMAIN WITH THE ENGINEER OF RECORD. THIS REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE TOWN OF ELIZABETH, OR THE TOWN ENGINEER FOR COMPLETENESS, ACCURACY OR CORRECTNESS OF CALCULATION. THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS INDICATED ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN FOR ADDITIONAL ITEMS AND ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

APPROVED FOR CONSTRUCTION WITHIN ONE YEAR OF THE EARLIEST OF THESE DATES:

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TOWN ENGINEER

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TOWN OF ELIZABETH-PUBLIC WORKS DIRECTOR

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TOWN OF ELIZABETH-TOWN ADMINISTRATOR

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ELIZABETH FIRE DEPARTMENT

**GENERAL NOTES:**

- UNLESS OTHERWISE INDICATED HEREIN, ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE GOVERNING MUNICIPALITY, DISTRICT, AGENCY OR ENTITY. IF THE GOVERNING MUNICIPALITY, DISTRICT, AGENCY OR ENTITY DOES NOT HAVE A STANDARD, AN APPLICABLE STANDARD FROM THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARDS IN 63 STANDARDS, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SHALL BE ADHERED TO. FURTHER ALL OTHER APPLICABLE STATE AND FEDERAL REGULATIONS ARE TO BE FOLLOWED. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS OR REGULATIONS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED UPON THE BEST INFORMATION AVAILABLE AS SUPPLIED BY SURFACE EVIDENCE AND UTILITY COMPANY MAPS. UTILITIES THAT EXIST MAY NOT BE SHOWN HEREIN. THE SIZE, LOCATION, TYPE AND NUMBER OF UTILITY SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND NOTIFICATION OF ANY DISCREPANCY SHALL BE MADE TO THE OWNER AND ENGINEER BEFORE ANY OTHER WORK IS PERFORMED.
- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811, AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- A STATE CONSTRUCTION DETERMINING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DETERMINED TO BE REQUIRED IN ORDER TO INSTALL UTILITIES OR WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF JOB SITE SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL REFER TO AN APPROVED GEOTECHNICAL STUDY FOR ADDITIONAL INFORMATION PERTAINING TO THE SITE CONSTRUCTION, MATERIALS AND PAVEMENTS.
- CONTRACTOR SHALL REFER TO THE APPROVED EROSION CONTROL MANAGEMENT PLAN FOR IMPLEMENTATION OF BEST MANAGEMENT PRACTICES TO MINIMIZE OR ELIMINATE EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.

**GRADING NOTES:**

- REFER TO THE ROADWAY PLANS FOR GRADING AND CONSTRUCTION DETAIL IN THE PUBLIC RIGHT OF WAY.
- REFER TO APPROVED GEOTECHNICAL REPORT FOR ADDITIONAL CONSTRUCTION AND GRADING REQUIREMENTS.
- STOCKPILE ON-SITE TOPSOIL FOR REUSE ON-SITE. LOCATIONS OF TOPSOIL, REUSE SHALL BE IN LANDSCAPE AREAS, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT ARE IN CONTACT WITH EXTERIOR FOUNDATION WALLS AND ARE LESS THAN EIGHT (8) INCHES FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
- FOR ALL AREAS ADJACENT TO STRUCTURES THAT ARE HARD SURFACE, THE FINAL FINISH GRADE SHALL FALL AWAY FROM THE BUILDING AT A GRADE OF 1.4% (MIN) FOR PEDESTRIAN PATHS OR 3% FOR NON-PEDESTRIAN AREAS.
- FOR ALL AREAS ADJACENT TO STRUCTURES THAT ARE NOT HARD SURFACE, THE FINAL FINISH GRADE SHALL FALL AWAY FROM THE BUILDING AT A GRADE OF 10% (MIN) FOR 10-FT (MIN.), UNLESS MODIFIED BY AN APPROVED GEOTECHNICAL STUDY.
- STEPS AND GRADES SHOWN INSIDE BUILDING ENVELOPES AND GARAGES ARE FOR INFORMATION ONLY. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
- REFER TO THE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR THE LOCATION AND EXTENT OF FOUNDATION STEM WALLS AND/OR EXPOSED FOUNDATION.
- REFER TO THE LANDSCAPE PLANS FOR RETAINING WALL MATERIALS AND CONSTRUCTION DETAILS.
- SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- SPOT ELEVATIONS ARE FLOWLINE OR FINISH GRADE UNLESS OTHERWISE INDICATED.
- SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF FIVE PERCENT (5%).
- RAMP AND SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2%.
- RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 12.1% (3.33%) AND SHALL NOT EXCEED THIRTY FEET IN LENGTH OR THIRTY INCHES IN HEIGHT, WITHOUT INTERMEDIATE LANDINGS.
- RAMPS, EXCEPT CURB RAMPS, SHALL HAVE HAND RAILS ON BOTH SIDES.
- ALL SITE STEP TREADS ARE 11-INCHES DEEP UNLESS OTHERWISE NOTED.
- STAIRWAY AND RAMP LANDINGS SHALL HAVE A MAXIMUM SLOPE, IN ANY DIRECTION, OF TWO PERCENT AND SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRS AND 5 FT LONG, UNLESS OTHERWISE INDICATED ON THE PLAN.
- ALL RAMPS AND STAIRS SHALL BE CONSTRUCTED, INCLUDING THE USE OF RAILINGS, IN ACCORDANCE WITH APPLICABLE ADA (ADAAG), FAIR HOUSING STANDARDS, AND BUILDING CODE STANDARDS.
- EDGE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODES AT ALL LOCATIONS WHICH REQUIRE HANDRAILS.
- RE LANDSCAPE PLANS AND/OR ARCHITECTURAL PLANS FOR HANDRAIL DETAIL.
- RETAINING WALL ELEVATIONS ARE SHOWN TO THE EXPOSED FACE OF WALL AT THE TOE AND THE TOP OF WALL.
- RETAINING WALLS ARE TO BE DESIGNED BY OTHERS.
- THE CONTRACTOR SHALL REVIEW ALL ELEVATIONS WITH THEIR SURVEYOR PRIOR TO STAKING AND CONSTRUCTION OF THE BUILDINGS.
- REFER TO LANDSCAPE PLANS FOR PLANTER DESIGN INCLUDING HEIGHT ABOVE FINISH GRADE.
- ALL ROOF DOWNSPOUTS MUST CONNECT TO THE ROOF DRAIN PIPING SYSTEM OR DOWNSPOUTS THAT DISCHARGE TO THE SURFACE SHALL SPILL ONTO THE SPLASH BLOCKS THAT EXTEND A MINIMUM OF FIVE (5) FEET AWAY FROM THE FOUNDATION.

**PAVING, SIGNING & STRIPING NOTES:**

- PAVING OF PUBLIC STREETS AND SIDEWALKS SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY CRITERIA.
- ALL ON-SITE CURB AND GUTTER IS 6-IN VERTICAL WITH 1-FT SPILL PAN UNLESS OTHERWISE INDICATED.
- ON-SITE SIDEWALK SHALL BE 4-IN THICK (MIN) AND 5-IN THICK (MIN) IF IT CROSSES A DRIVING SURFACE.
- CONCRETE PAVING JOINTS SHALL BE IN CONFORMANCE WITH GOVERNING AGENCY ROADWAY STANDARDS OR, IN THE ABSENCE OF A STANDARD, THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) M & S STANDARDS, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- UNLESS SPECIFICALLY DETAILED ON THESE PLANS AND REFERENCED TO AN APPROVED GEOTECHNICAL STUDY, THESE PLANS DO NOT DETAIL THE REQUIRED PAVING SECTIONS.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH CDOT CRITERIA AND COMPACTED TO 95% OPTIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99, UNLESS FURTHER RESTRICTED BY THE APPROVED PAVING DESIGN.
- ALL PAVEMENT IS ASPHALT UNLESS OTHERWISE INDICATED. NO CONTRACTION OR EXPANSION JOINTS SHALL BE LOCATED WITHIN TWELVE INCHES (LONGITUDINALLY) OF THE FLOWLINE.
- CONCRETE FOR DRIVING SURFACES SHALL BE CDOT CLASS P UNLESS OTHERWISE INDICATED OR APPROVED BY THE ENGINEER.
- TOOLED OR SAWED CONTRACTION JOINTS AT 8-FT ON CENTER (MAX) OR AS SHOWN ON PLAN.
- ALL CONCRETE JOINTS PER CDOT STANDARDS.
- ALL EXPANSION JOINTS SHALL BE SEALED PER CDOT STANDARDS.
- ALL NEW OR RELOCATED STREET TRAFFIC SIGNS SHALL BE INSTALLED PER CURRENT GOVERNING MUNICIPALITY STANDARDS.
- SIGNAGE AND STRIPING SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS. IN THE ABSENCE OF A STANDARD IT SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION.
- STRIPING OUTSIDE OF THE RIGHT-OF-WAY SHALL BE EPOXY PAINT. SYMBOLS SHALL BE METHYL METHACRYLATE, HOT-APPLIED THERMOPLASTIC (60 MIL) PRE-FORMED PLASTIC (60 MIL) OR INLAIN TAPE (STAMARK), OR APPROVED EQUAL.

**DEMOLITION NOTES:**

- THE WORK GENERALLY INCLUDES REMOVAL/DEMOLITION OF INDICATED EXISTING SURFACE FEATURES (I.E. STRUCTURES, CURB, GUTTER, DRAINAGE STRUCTURES, ASPHALT, LIGHTS, VEGETATION, ETC.) AND UNDERGROUND UTILITIES (I.E. ELECTRIC LINES, GAS LINES, FIBER OPTIC LINES, DRAINAGE LINES, ETC.) WITHIN THE PROPERTY BOUNDARY. NO WORK UNLESS SPECIFICALLY NOTED SHALL BE OUTSIDE OF THE SUBJECT PROPERTY. SEE PLANS FOR LIMITS OF REMOVAL/DEMOLITION.
- LIMITS OF REMOVAL SHOWN ARE APPROXIMATE.
- CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS INCLUDING SITE SAFETY FOR ALL ASPECTS OF DEMOLITION INCLUDING OPERATION WITHIN THE REGULATIONS OF GOVERNING AGENCIES.
- ALL UNDERGROUND STORM SEWER, WATER, SANITARY SEWER, GAS, ELECTRIC, OTHER UTILITY LOCATIONS, AND EXISTING SITE APPURTENANCES ARE BASED ON THE ALTA SURVEY PREPARED FOR THE SITE AND ARE TO BE CONSIDERED APPROXIMATE ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL ITEMS NOTED AS "REMOVE" SHALL BE DEMOLISHED/REMOVED FROM THE SITE. ALL ITEMS NOTED "VERIFY/REMOVE" SHALL BE REMOVED ONLY AFTER VERIFICATION THAT THE UTILITY IS NO LONGER NEEDED TO PROVIDE SERVICE TO ANY ADJACENT PROPERTIES OR USERS. COORDINATE WITH LOCAL UTILITY PROVIDER. ALL ITEMS NOTED FOR REUSE SHALL BE REPLACED AS DIRECTED. HOWEVER, THE GOVERNING AGENCY (ON THE INSTANCE OF PUBLIC INFRASTRUCTURE) OR THE ENGINEER SHALL DETERMINE IF THE ITEM IS IN ADEQUATE CONDITION TO BE REUSED.
- ITEMS TO BE REUSED SHALL BE REMOVED AND SAFELY STORED AS NECESSARY PRIOR TO REPLACEMENT.
- UNLESS SPECIFICALLY DIRECTED, THE CONTRACTOR SHALL DISPOSE OF CONCRETE, ASPHALT TRUBBLE AND ANY OTHER DEMOLISHED/REMOVED MATERIALS OFF-SITE.
- CONTRACTOR SHALL DISPOSE OF AND TRANSPORT DEBRIS TO OFF-SITE IN A SAFE AND LEGAL MANNER AND SHALL NOT STORE OR BURN MATERIALS ON-SITE. CONTRACTOR SHALL HANDLE AND DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. DISPOSAL SHALL BE TRANSPORTED TO AN APPROVED LANDFILL OR OTHER APPROVED FACILITY.
- CONCRETE SHALL BE REMOVED TO THE NEAREST JOINT.
- THE CONTRACTOR SHALL VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED AS REQUIRED FOR THE WORK.
- CONTRACTOR SHALL ERECT BARRIERS, FENCES, DUMDRALS, ENCLOSURES, ETC. TO PROTECT THE SITE AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION, AS REQUIRED FOR THE WORK.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK SHOWN.
- CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION AND BENCHMARK(S). CONTRACTOR SHALL HAVE A LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THE CONTRACTOR'S COST.

**DEMOLITION NOTES (CONT.):**

- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, FEATURES, IMPROVEMENTS, AND UTILITIES (OVERHEAD OR UNDERGROUND) AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION NOT INTENDED TO BE REMOVED OR DEMOLISHED. CONTRACTOR WILL BE RESPONSIBLE FOR ALL RESULTANT COSTS DUE TO SUCH DAMAGES.
- REFER TO SHEET C3-10 FOR DEMOLITIONS IN THE RIGHT OF WAY.

**GENERAL UTILITY NOTES:**

- DESIGN OF UTILITIES WITHIN FIVE (5) FEET OF THE BUILDING ARE EXCLUDED FROM THESE PLANS. UTILITIES, INCLUDING DOWNSPOUT CONNECTIONS, CLEAN-OUTS, ETC WITHIN FIVE (5) FEET OF THE BUILDING SHALL BE DETAILED BY THE ARCHITECT OR MECHANICAL ENGINEER.

**SANITARY NOTES:**

- CONCRETE USED IN SANITARY SEWER STRUCTURES SHALL BE AS SPECIFIED BY THE GOVERNING AGENCY OR CLASS B AS DEFINED BY CDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IN THE ABSENCE OF AN AGENCY SPECIFICATION.
- SEWER SERVICE CONNECTIONS WITH THE MAIN LINE SHALL BE IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS. IF NO STANDARD EXISTS, WYE OR TEE (AS NOTED ON PLANS) SHALL BE CUT INTO THE MAIN LINE AND INSTALLED WITH FLEXIBLE NON-SHEAR REINFORCED COUPLINGS ON THE MAIN.
- IF NOT SPECIFIED BY THE UTILITY DISTRICT, SANITARY SEWER SERVICE CONNECTIONS TO THE MAINLINE SHALL CONNECT AT 2.00 OR 10.00 ON THE MAIN.
- MINIMUM DROP FROM THE SERVICE LINE HEAD TO THE MAIN SHALL BE EQUAL TO THE SIZE OF THE MAINLINE.
- SLOPE OF SERVICE LINES SHALL BE AS NOTED ON PLANS.
- PIPE AND FITTINGS SHALL BE PER GOVERNING AGENCY STANDARD AND IN THE ABSENCE OF A STANDARD SHALL BE PVC SDR 35, MEETING ASTM D3034.
- BEDDING SHALL BE PROVIDED AND PLACED IN ACCORDANCE WITH GOVERNING AGENCY STANDARD OR APPROVED EQUAL.
- PIPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- ALL PIPE LENGTHS ARE MEASURED TO CENTER OF MANHOLES.
- COORDINATES FOR MANHOLES ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE INDICATED.

**STORM NOTES:**

- CONCRETE USED IN STORM SEWER STRUCTURES SHALL BE AS SPECIFIED BY THE GOVERNING AGENCY OR CLASS B AS DEFINED BY CDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IN THE ABSENCE OF AN AGENCY SPECIFICATION.
- REFER TO STORM SEWER PLANS FOR LANDSCAPE/ ROOF DRAINS AND DETENTION POND FACILITIES, INCLUDING OUTFALLS.
- IF CONNECTED TO AN UNDERGROUND SYSTEM, DOWNSPOUTS SHALL HAVE AN OVERFLOW PROTECTION. REFER TO ARCHITECTURAL PLANS.
- ALL PVC PIPE SHALL BE PVC SCHEDULE 40, OR APPROVED EQUAL.
- ALL CONCRETE PIPE SHALL BE REINFORCED AND CLASS III (MIN).
- SLOPE OF SERVICE LINES SHALL BE AS NOTED ON PLANS.
- BEDDING SHALL BE PROVIDED AND PLACED IN ACCORDANCE WITH GOVERNING AGENCY STANDARD OR APPROVED EQUAL.
- PIPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- ALL PIPE LENGTHS ARE MEASURED TO CENTER OF MANHOLES AND LANDSCAPE INLETS, AND INSIDE FACE OF OTHER STRUCTURES.
- COORDINATES FOR TYPE INLETS ARE TO FLOWLINE AT MIDPOINT OF INLET.
- COORDINATES FOR ALL OTHER STRUCTURES ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE INDICATED.
- LANDSCAPE DRAINS (18" SQUARE OR SMALLER) SHALL BE 105 CATCH BASINS WITH ADA COMPLIANT GRATES THAT MEET HS-20 LOADING OR APPROVED EQUAL, UNLESS OTHERWISE SPECIFIED ON THE PLANS.

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE
B.O.P.	BOTTOM OF PIPE
CC	CONCRETE
CL	ROADWAY CENTERLINE
CMP	CORRUGATED METAL PIPE
CR	CURB RAMP
DE / DEMO	DEMOLITION
DIA	DIAMETER
DWG	DRAWING
DRNG	DRAINAGE
ESMT	EASEMENT
E / ELEC	ELECTRICAL
E	EAST
EC	EDGE OF CONCRETE
EG	EXISTING GRADE
EL / ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EX / EXIST	EXISTING
FES	FLARED END SECTION
FG	FINISHED GRADE
FL	FLOWLINE
FH	FIRE HYDRANT
FO	FIBER OPTIC
G	GAS
GND	GROUND
GRV	GRAVEL
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HP	HIGH POINT
INT	INTERSECTION
INV	INVERT
LP	LOW POINT
LF	LEFT
LN	LANE
LS	LIFT STATIO
MAT	MATERIAL
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N	NORTH
NO	NUMBER
NTS	NOT TO SCALE
OH	OVERHEAD
OH/E	OVERHEAD ELECTRICAL
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCR	POINT OF CURVATURE, REVERSE
PE	PROFESSIONAL ENGINEER
PI	POINT OF INTERSECTION
PLS	PROFESSIONAL LAND SURVEYOR
PR	PROPOSED
PT	POINT OF TANGENCY / POINT
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS / RIGHT
REC	RECORDING
RCP	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT-OF-WAY
RD	ROAD / ROADWAY
RT	RIGHT
S	SOUTH
SD	STORM DRAIN
SEC	SECTION
SHT	SHEET
SI	SIGNING & STRIPING
SS	SANITARY SEWER
ST	STREET
STA	STATION
STD	STANDARD
SW	SIDEWALK
T / TELE	TELEPHONE
TBC	TOP BACK OF CURB
TC	TOP OF CURB / TRAFFIC CONTROL
TOE	TOE OF SLOPE
TOW	TOP OF WALL
T.O.P.	TOP OF PIPE
TYP	TYPICAL
TV	TELEVISION
UE	UTILITY EASEMENT
VERT	VERTICAL
VC	VERTICAL CURVE
W	WEST / WATER
WT	WATER
XC	CROSS-SECTION
Y1	SINGLE YELLOW STRIPE
Y2	DOUBLE YELLOW STRIPE

**LEGEND**

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FINISHED GRADE
	PROJECT BOUNDARY
	RIGHT OF WAY (ROW)
	EASEMENT
	CENTERLINE
	LOT / TRACT / PARCEL BOUNDARY
	SIGHT / SAFETY TRIANGLE
	BLOCK NUMBER
	LOT NUMBER
	DRAINAGE SWALE
	GUARDRAIL
	STREET LIGHT
	STREET SIGNS
	CURB RAMPS
	TOWNHOMES
	ROAD WARPING
	CONCRETE
	MAINTENANCE ACCESS / GRAVEL ROAD
	RIPRAP
	SOIL RIPRAP
	SAWCUT
	STORM (FES, MH, & INLET)
	SANITARY WATER (HYDRANT, VALVE, BEND, MH)
	RAW WATER (VALVE, BEND, MH)
	FOREBAY
	STORM INLETS (TYPE C, D, I, & R)
	STORM 100 YEAR HGL
	STORM 5 YEAR HGL
	A LOT
	B LOT
	WALKOUT LOT
	TRANSITION LOT
	EX STORM (FES, MH, & INLET)
	EX SANITARY WATER (HYDRANT, VALVE, BEND, MH)
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM
	EXISTING STORM SWALE
	EXISTING SANITARY CLEAN OUT
	EXISTING TREE
	EXISTING SIGN
	EXISTING WATER
	EXISTING GAS
	EXISTING FIBER OPTIC
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FENCE
	EXISTING WETLAND
	EX ROLLBACK
	EX ELECTRIC BREAKER BOX
	EX FIBER OPTIC VAULT
	EX GAS METER
	EX METAL POST
	EX OIL & GAS WELL
	EX TELEPHONE PEDESTAL
	EXISTING POWER POLE & GUY WIRE
	EX WATER MH, METER, & VENT PIPE
	EX WATER VALVE & HYDRANT

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DATE	BY
1/10/2024	MM
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02/28/2025	MM

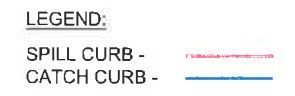
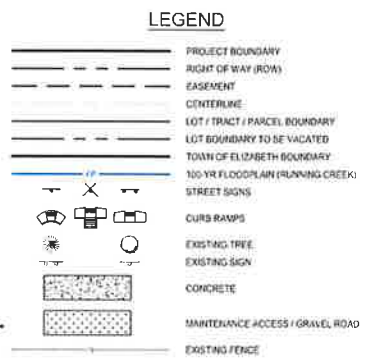
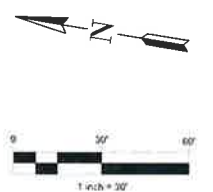
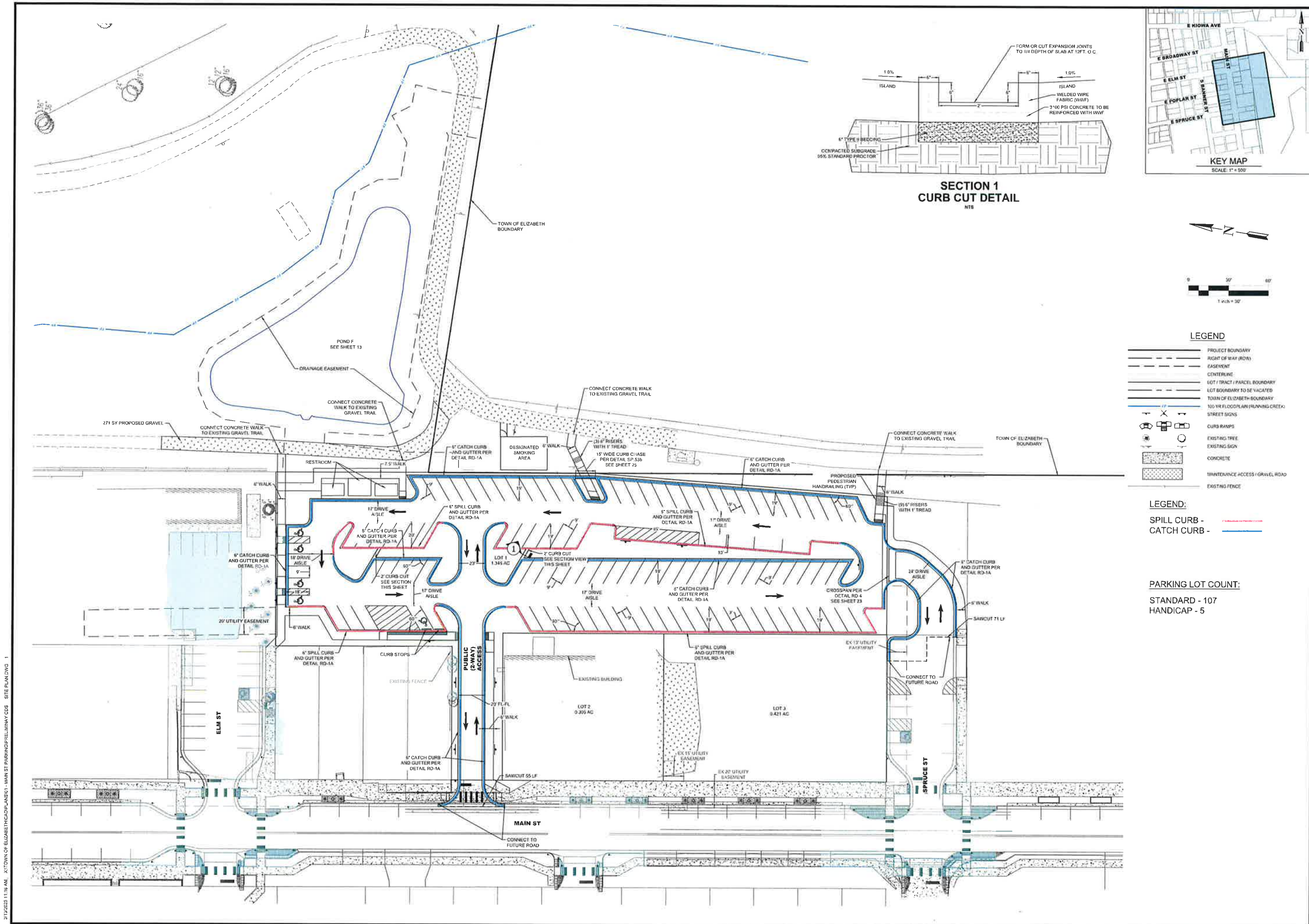
#	REVISION DESCRIPTION
1	1ST SUBMITTAL
2	2ND SUBMITTAL
3	3RD SUBMITTAL

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
GENERAL NOTES

Know what's below.  
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**811**





**PARKING LOT COUNT:**  
 STANDARD - 107  
 HANDICAP - 5

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01/17/2025	MM	2. 2ND SUBMITTAL
02/28/2025	MM	3. 3RD SUBMITTAL

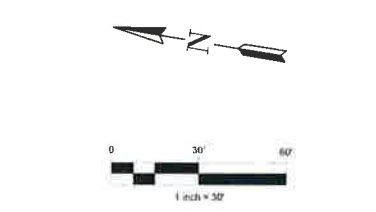
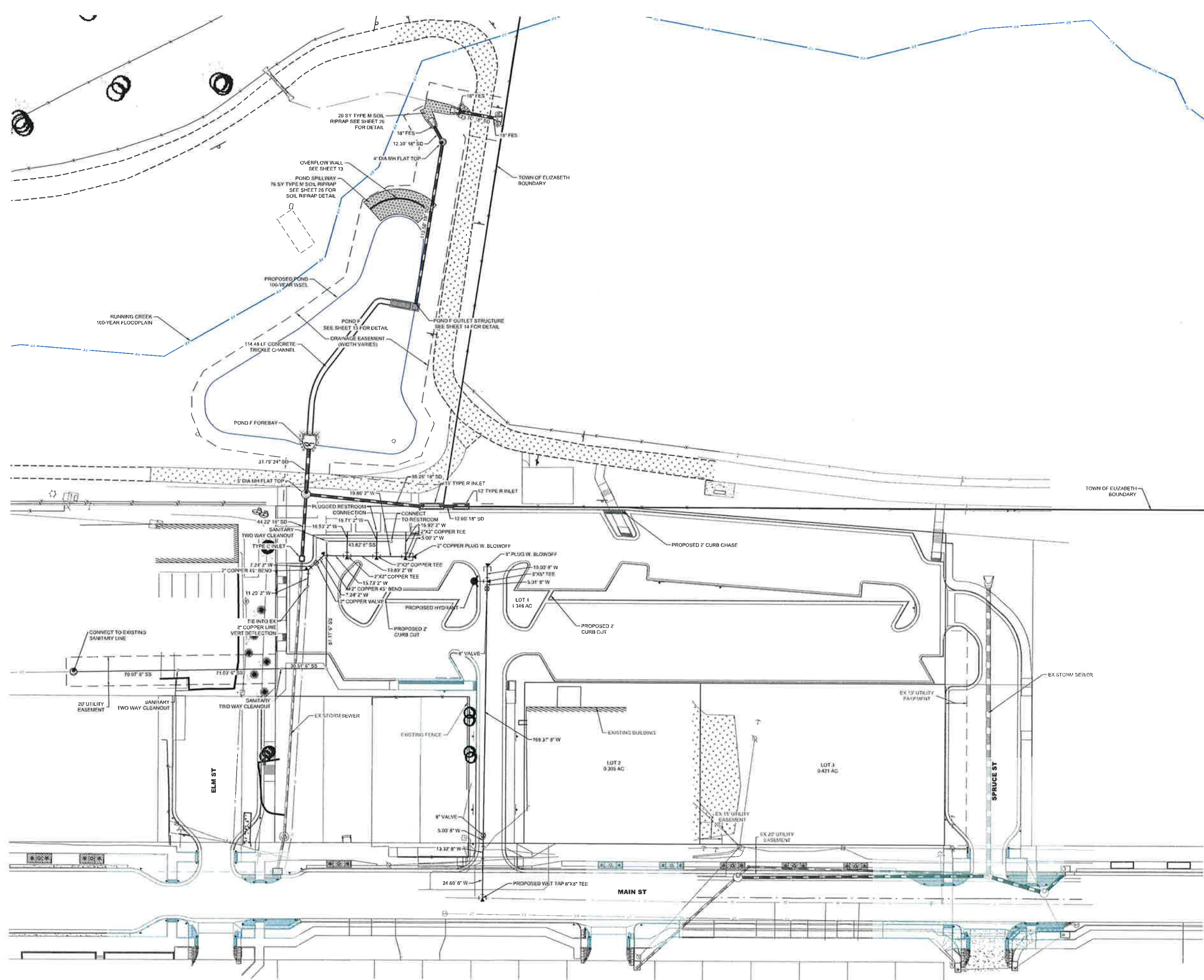
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
 TOWN OF ELIZABETH, COLORADO  
 CONSTRUCTION DOCUMENTS  
 OVERALL SITE PLAN

4 OF 32

3/19/2025 11:16 AM X:\TOWN OF ELIZABETH\CADD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS SITE PLAN.DWG 1

3/12/2025 11:16 AM X:\TOWN OF ELIZABETH\CD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS UTILITY PLAN.DWG 1



**LEGEND**

	STORM (PES, MH, & INLET)
	STORM INLETS (TYPE C, D, I3, & R1)
	SANITARY WATER (HYDRANT, VALVE, BEND, MH)
	100-YR FLOODPLAIN (RUNNING CREEK)
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING FENCE
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING STORM
	EXISTING TELEPHONE
	EXISTING WATER
	EXISTING SWALE
	EXISTING SANITARY CLEAN OUT
	EXISTING WATER MANHOLE
	MAINTENANCE ACCESS / GRAVEL TRAIL
	RIPRAP
	CONCRETE

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#	DATE	BY	REVISION DESCRIPTION
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2	01/17/2025	MM	2ND SUBMITTAL
3	02/28/2025	MM	3RD SUBMITTAL

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**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
OVERALL UTILITY PLAN

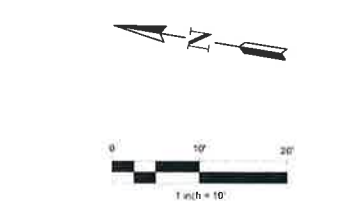
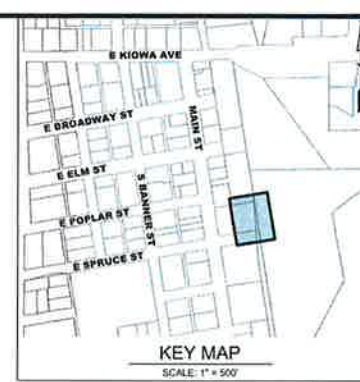
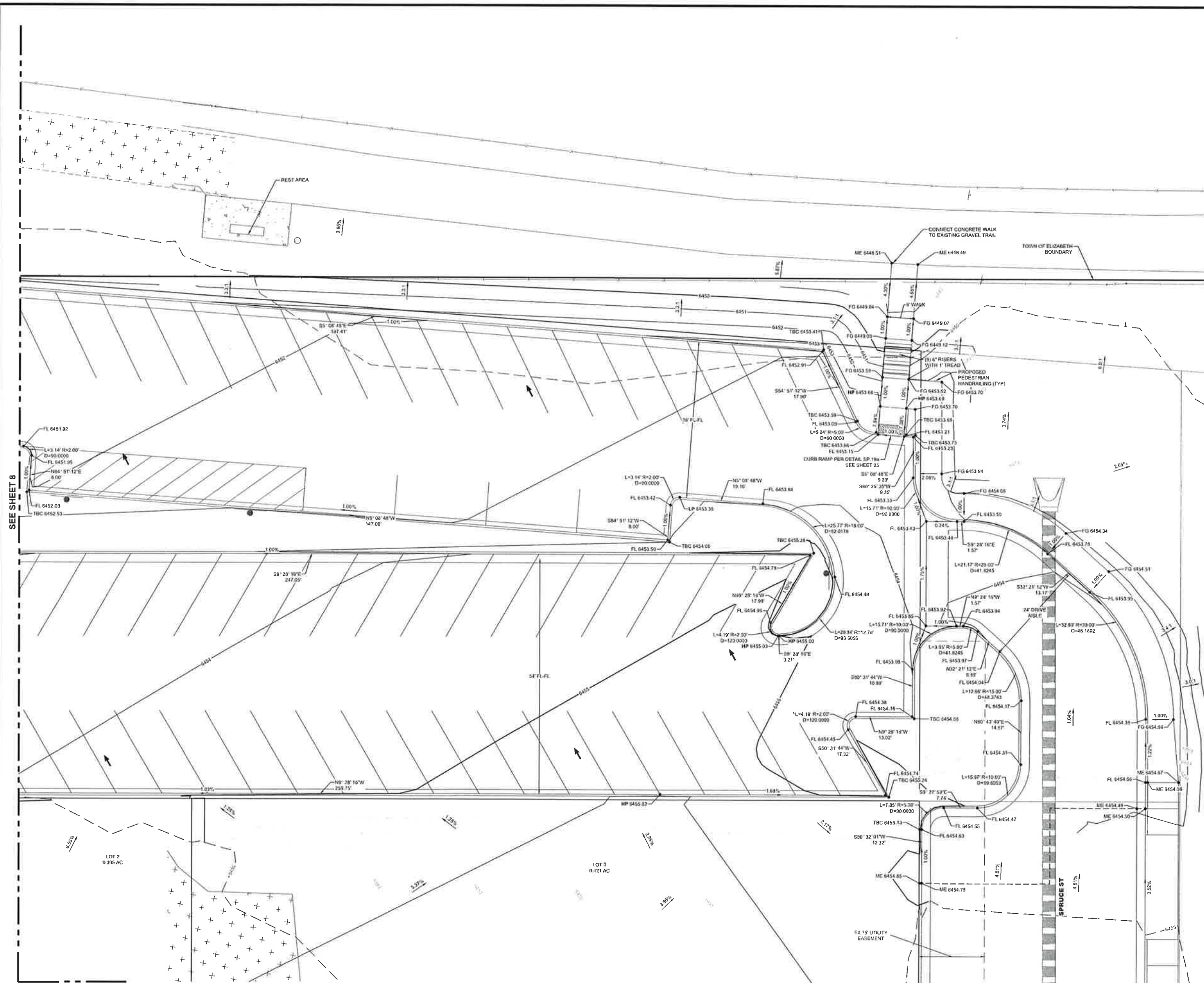
Know what's below.  
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SHEET

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- LEGEND**
- PROJECT BOUNDARY
  - RIGHT OF WAY (ROW)
  - EASEMENT
  - LOT / TRACT / PARCEL BOUNDARY
  - PROPOSED MAJOR CONTOUR (1 FT)
  - PROPOSED MINOR CONTOUR (1 FT)
  - 100-YR FLOODPLAIN (RUNNING CREEK)
  - 100-YR WATER SURFACE ELEVATION
  - STREET SIGNS
  - CURB RAMPS
  - EXISTING TREE
  - EXISTING SIGN
  - CONCRETE
  - MAINTENANCE ACCESS / GRAVEL ROAD
  - EXISTING FENCE

**LEGEND:**  
ADA ACCESS -

1000 E. 10th St.  
Denver, CO 80203  
ph: 303.632.8807

DATE	BY	REVISION DESCRIPTION
11/07/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

NOT FOR CONSTRUCTION

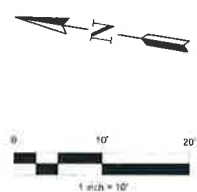
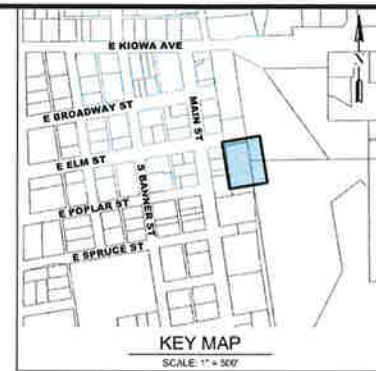
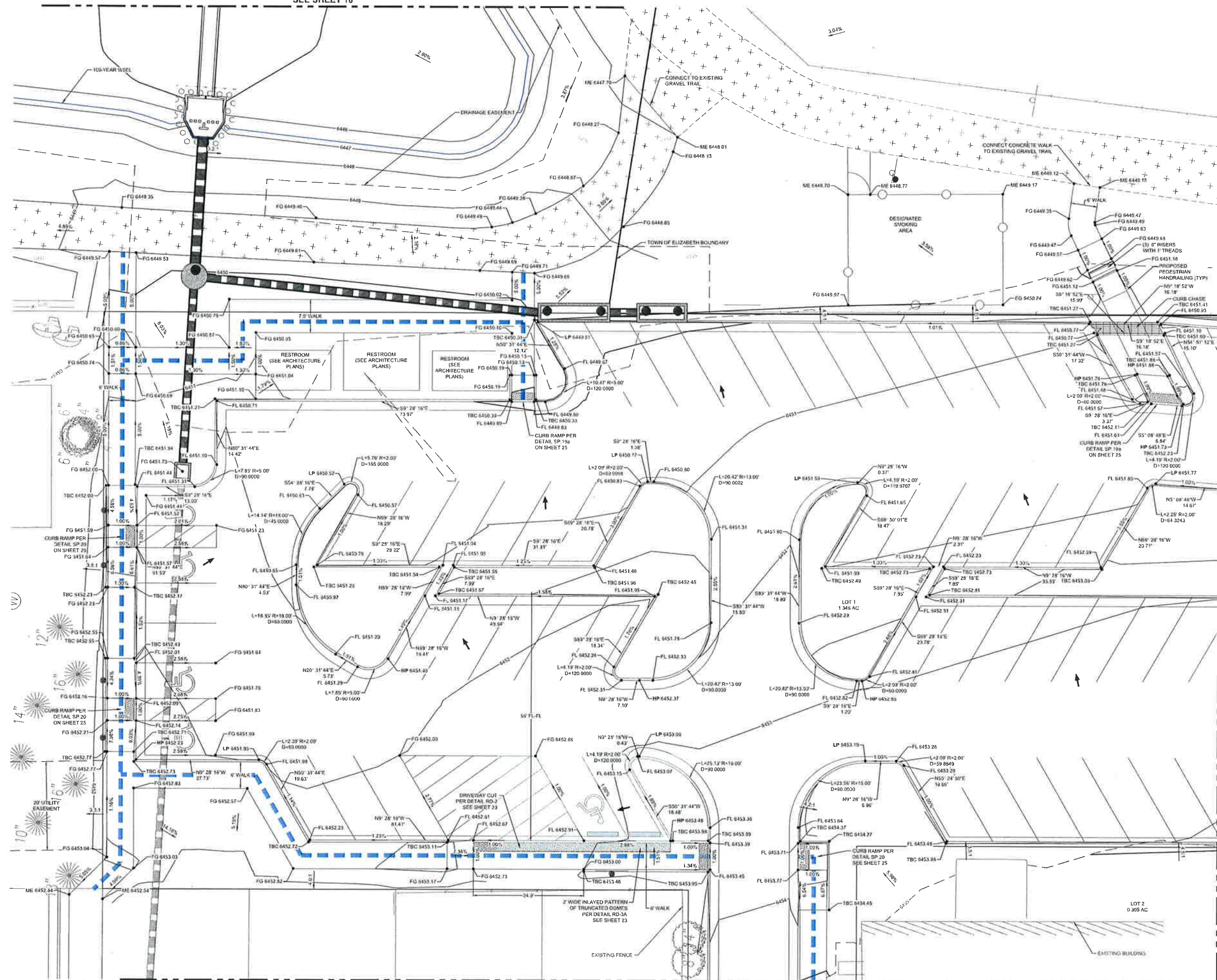
**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
HORIZONTAL CONTROL & GRADING PLAN (1 OF 4)

811  
Know what's below.  
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7 OF 32

3:02:25 11:17 AM, X:\TOWN OF ELIZABETH\CD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS - DETAILED GRADING PLANDWG 2

SEE SHEET 10



- LEGEND**
- PROJECT BOUNDARY
  - RIGHT OF WAY (ROW)
  - BASEMENT
  - LOT / TRACT / PARCEL BOUNDARY
  - PROPOSED MAJOR CONTOUR (1 FT)
  - PROPOSED MINOR CONTOUR (1 FT)
  - PROPOSED MAJOR CONTOUR (1 FT)
  - PROPOSED MINOR CONTOUR (1 FT)
  - 100-YR FLOODPLAIN (RUNNING CREEK)
  - 100-YR WATER SURFACE ELEVATION
  - STREET SIGNS
  - CURB RAMP
  - EXISTING TREE
  - EXISTING SIGN
  - CONCRETE
  - MAINTENANCE ACCESS / GRAVEL ROAD
  - EXISTING FENCE

**LEGEND:**  
ADA ACCESS -



DATE	BY
11/07/2024	MM
01/17/2025	MM
02/26/2025	MM

#	REVISION DESCRIPTION
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2	2ND SUBMITTAL
3	3RD SUBMITTAL

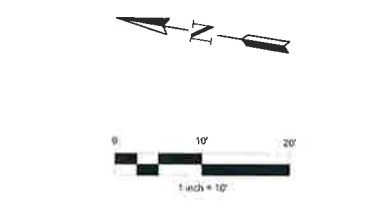
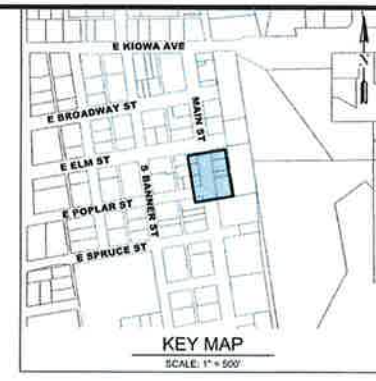
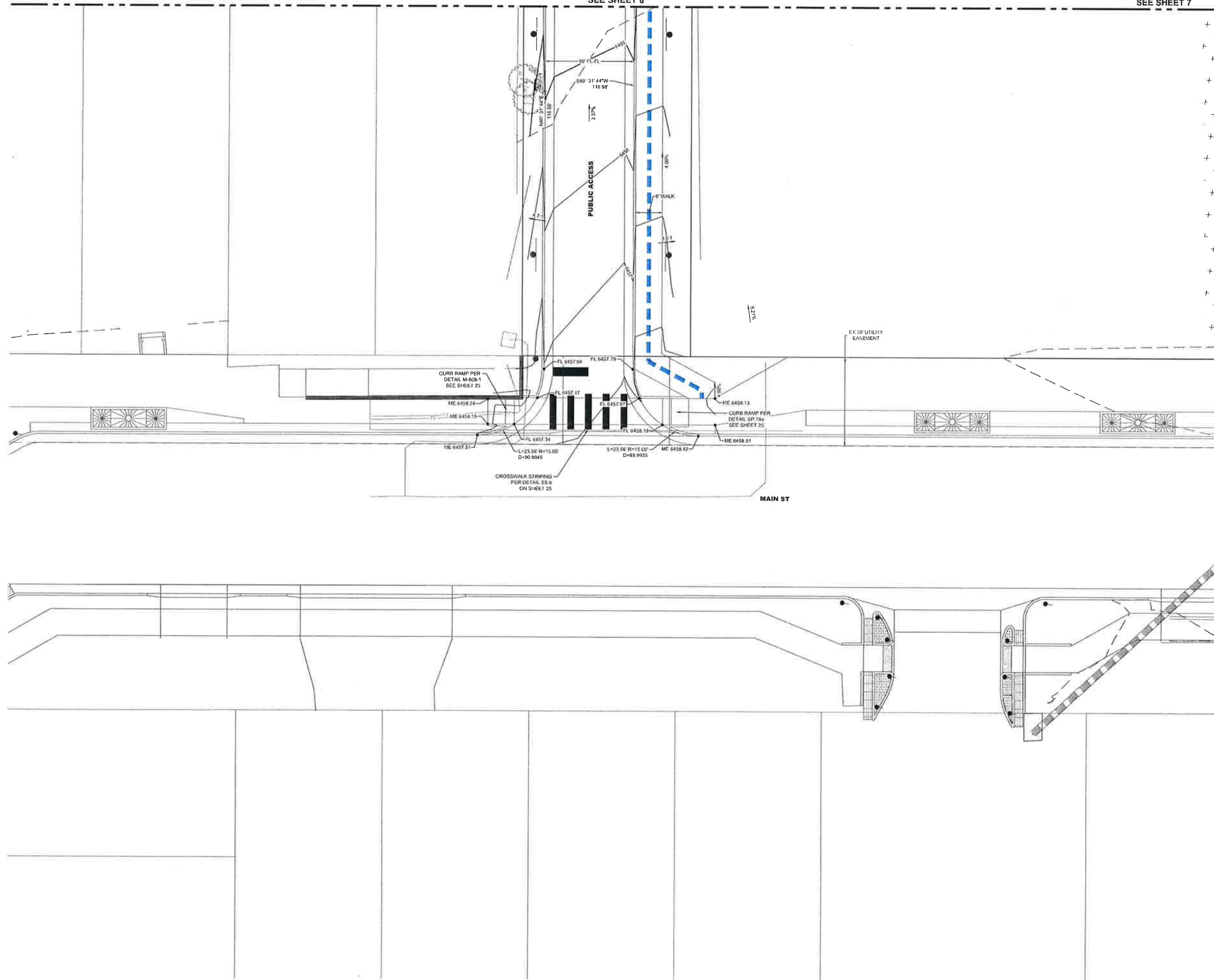
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**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
HORIZONTAL CONTROL & GRADING PLAN (2 OF 4)

Know where below. Call before dig.

SEE SHEET 8

SEE SHEET 7



**LEGEND**

[Symbol]	PROJECT BOUNDARY
[Symbol]	RIGHT OF WAY (ROW)
[Symbol]	EASEMENT
[Symbol]	LOT / TRACT / PARCEL BOUNDARY
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	10-YR FLOODPLAIN (BURNING CREEK)
[Symbol]	10-YR WATER SURFACE ELEVATION
[Symbol]	STREET SIGNS
[Symbol]	CURB RAMPS
[Symbol]	EXISTING TREE
[Symbol]	EXISTING SIGN
[Symbol]	CONCRETE
[Symbol]	MAINTENANCE ACCESS / GRAVEL ROAD
[Symbol]	EXISTING FENCE

**LEGEND:**  
ADA ACCESS - [Blue dashed line symbol]

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DATE	BY
11/01/2024	MM
01/17/2025	MM
02/28/2025	MM

REVISION DESCRIPTION

#	DESCRIPTION
1	1ST SUBMITTAL
2	2ND SUBMITTAL
3	3RD SUBMITTAL

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MAIN STREET OFF-STREET PARKING LOT

TOWN OF ELIZABETH, COLORADO

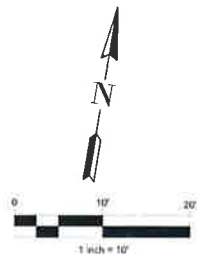
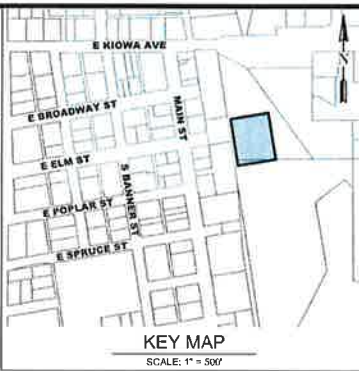
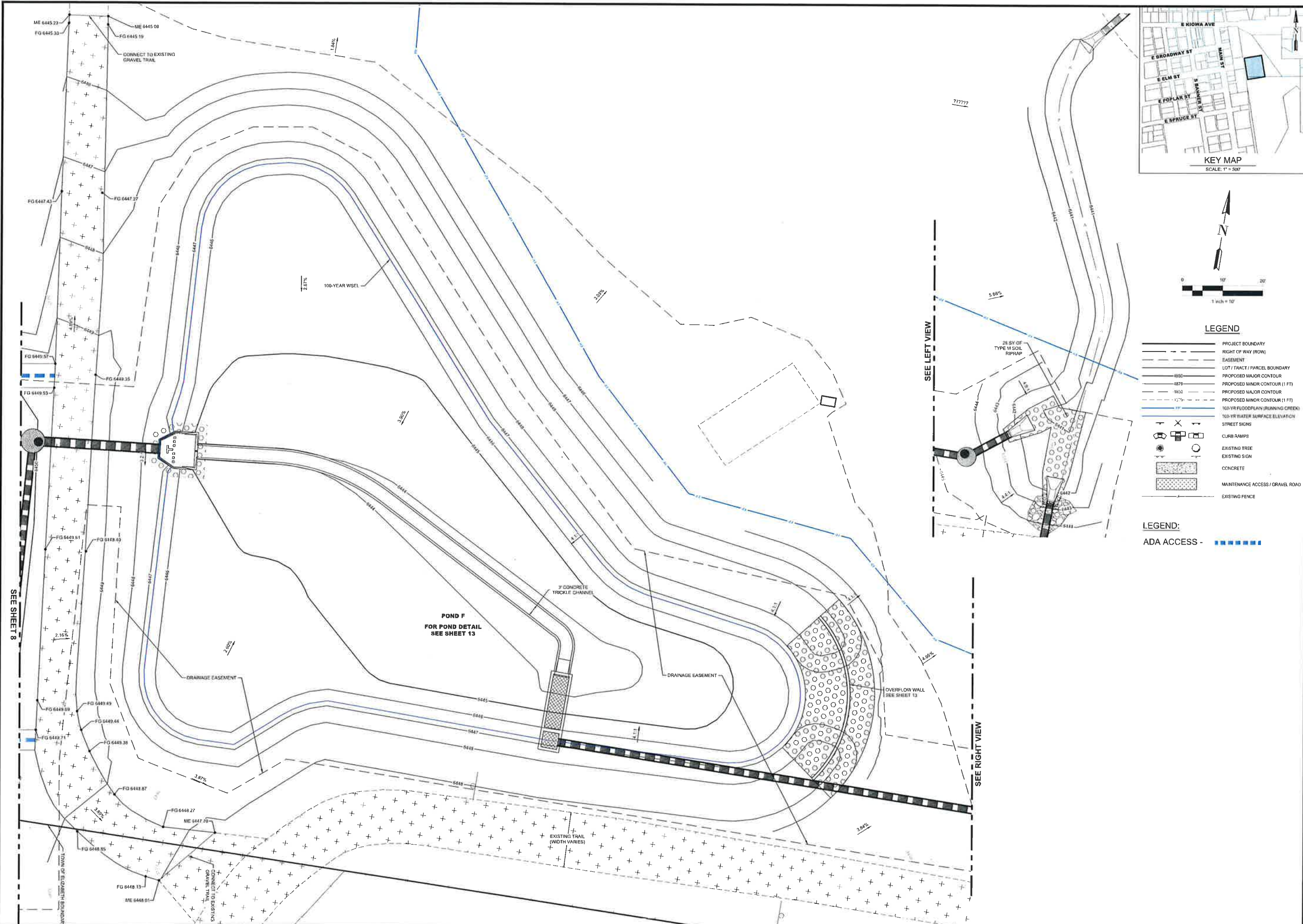
CONSTRUCTION DOCUMENTS

HORIZONTAL CONTROL & GRADING PLAN (3 OF 4)

Know what's below.  
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SHEET  
9 OF 32

Page 246



**LEGEND**

[Symbol]	PROJECT BOUNDARY
[Symbol]	RIGHT OF WAY (ROW)
[Symbol]	EASEMENT
[Symbol]	LOT / TRACT / PARCEL BOUNDARY
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	PROPOSED MAJOR CONTOUR (1 FT)
[Symbol]	100-YR FLOODPLAIN (RUNNING CREEK)
[Symbol]	100-YR WATER SURFACE ELEVATION
[Symbol]	STREET SIGNS
[Symbol]	CURB RAMPS
[Symbol]	EXISTING TREE
[Symbol]	EXISTING SIGN
[Symbol]	CONCRETE
[Symbol]	MAINTENANCE ACCESS / GRAVEL ROAD
[Symbol]	EXISTING FENCE

**LEGEND:**  
ADA ACCESS - [Symbol]

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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/02/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

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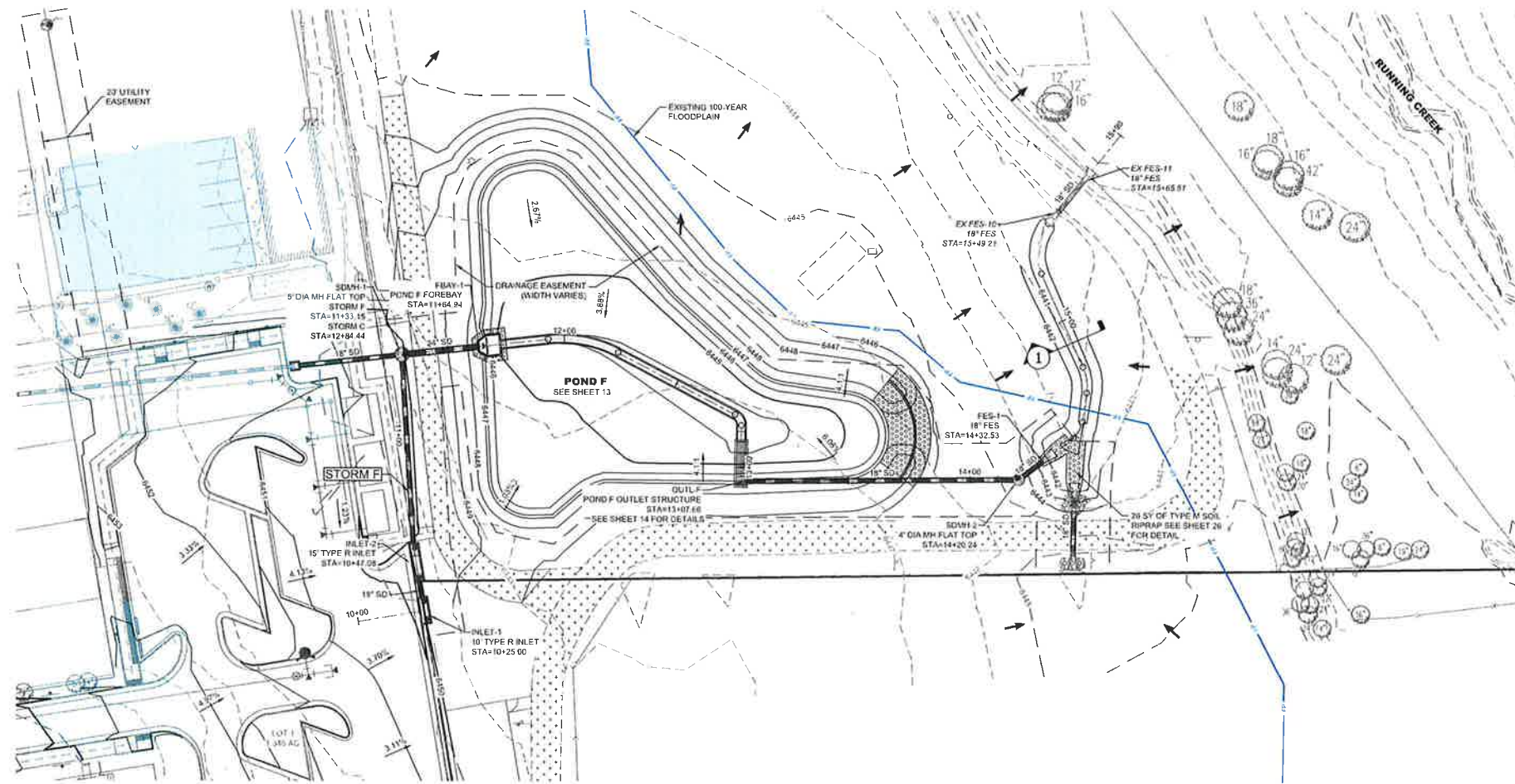
**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
HORIZONTAL CONTROL & GRADING PLAN (4 OF 4)

911

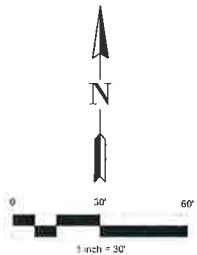
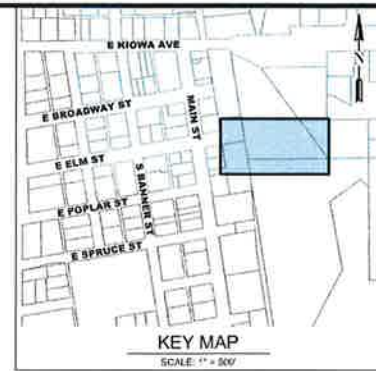
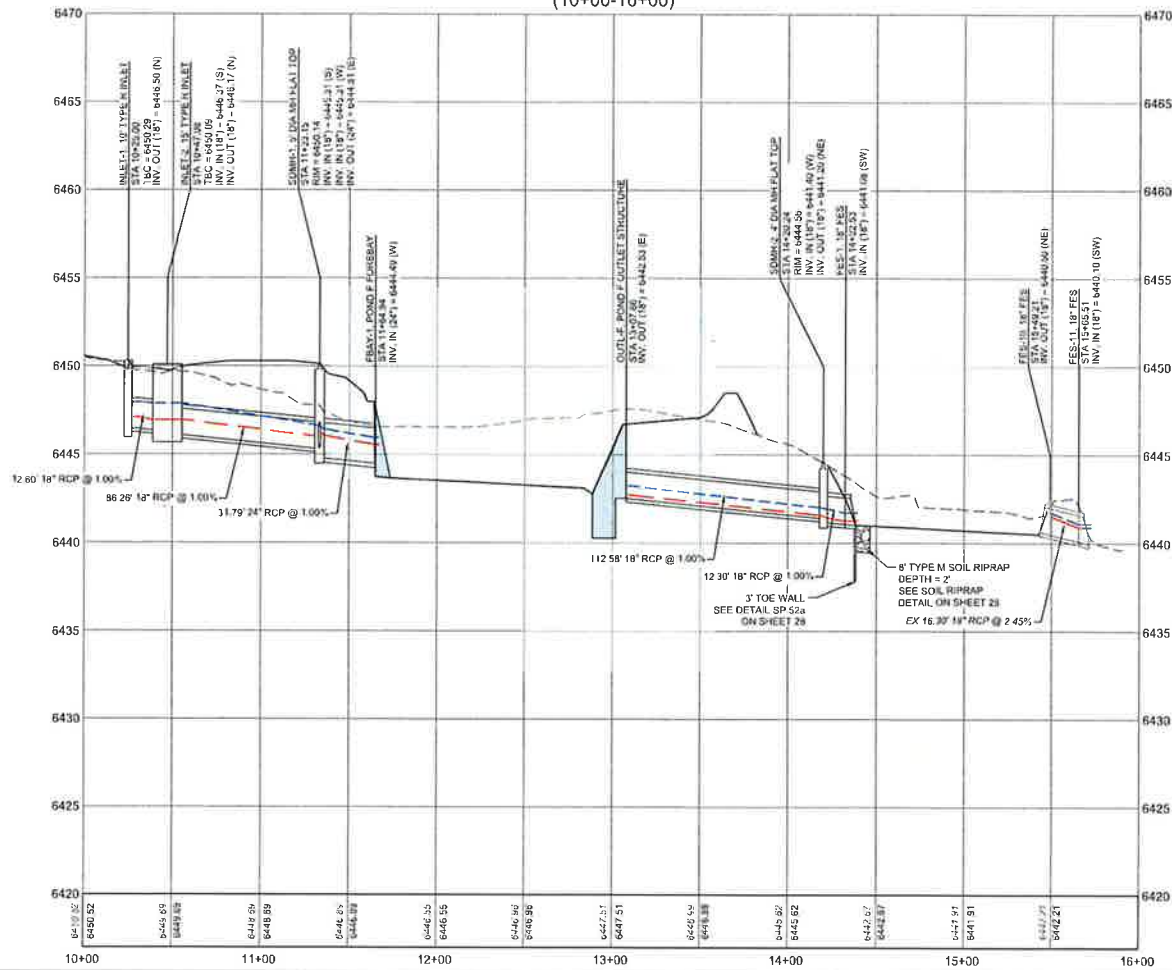
Page 247

10 OF 32

SHEET



**STORM F**  
(10+00-16+00)

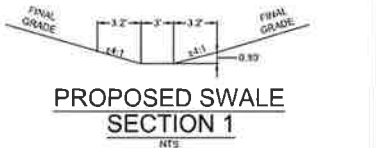


**PROFILE LEGEND**

	100-YR HGL
	5-YR HGL
	EXIST GRADE
	PROP GRADE
	1"=50' (HORIZ)
	1"=5' (VERT)

**LEGEND**

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROJECT BOUNDARY
	RIGHT OF WAY (ROW)
	EASEMENT
	LOT BOUNDARY
	CONCRETE
	MAINTENANCE ACCESS / GRAVEL ROAD
	RIPRAP
	SOIL RIPRAP
	STORM (FES, MH, & INLET)
	SANITARY
	WATER (HYDRANT, VALVE, BEND, MH)
	FOREBAY
	STORM INLETS (TYPE C, O, 13, & 7)
	STORM 100 YEAR HGL
	STORM 5 YEAR HGL
	EX STORM (FES, MH, & INLET)
	EXISTING UTILITY
	EXISTING SWALE
	EXISTING SIGN
	EXISTING WATER
	EXISTING FENCE
	EXISTING POWER POLE & GUY WIRE
	EX WATER MH, METER, & VENT PIPE
	EX WATER VALVE & HYDRANT



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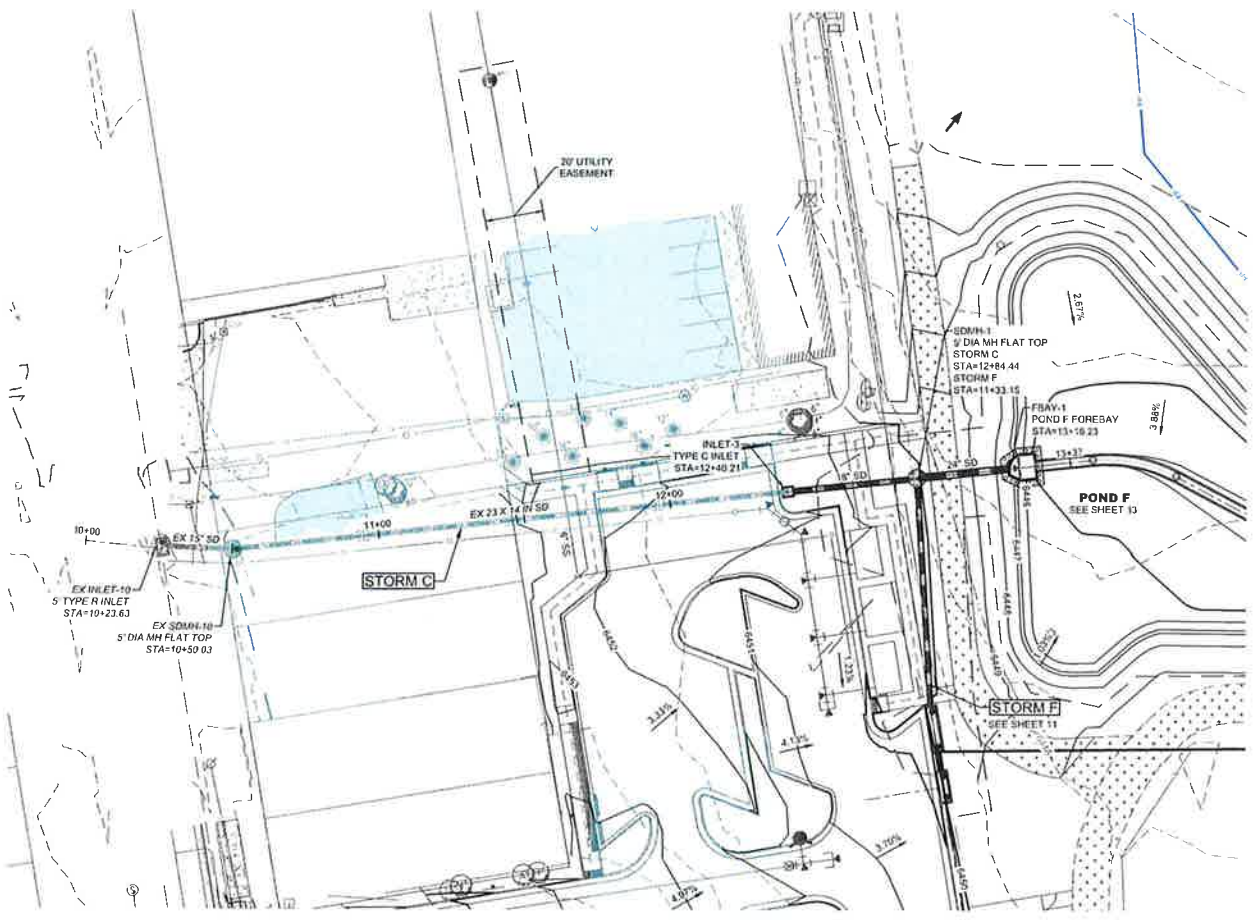
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11/17/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

**NOT FOR CONSTRUCTION**

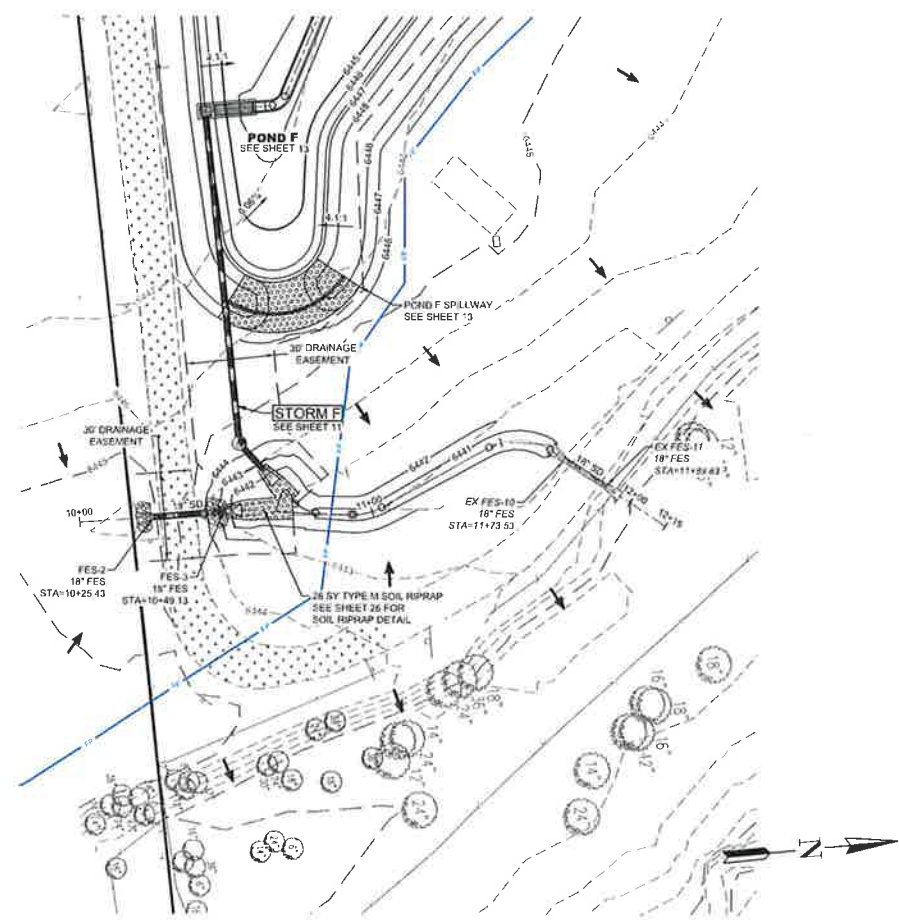
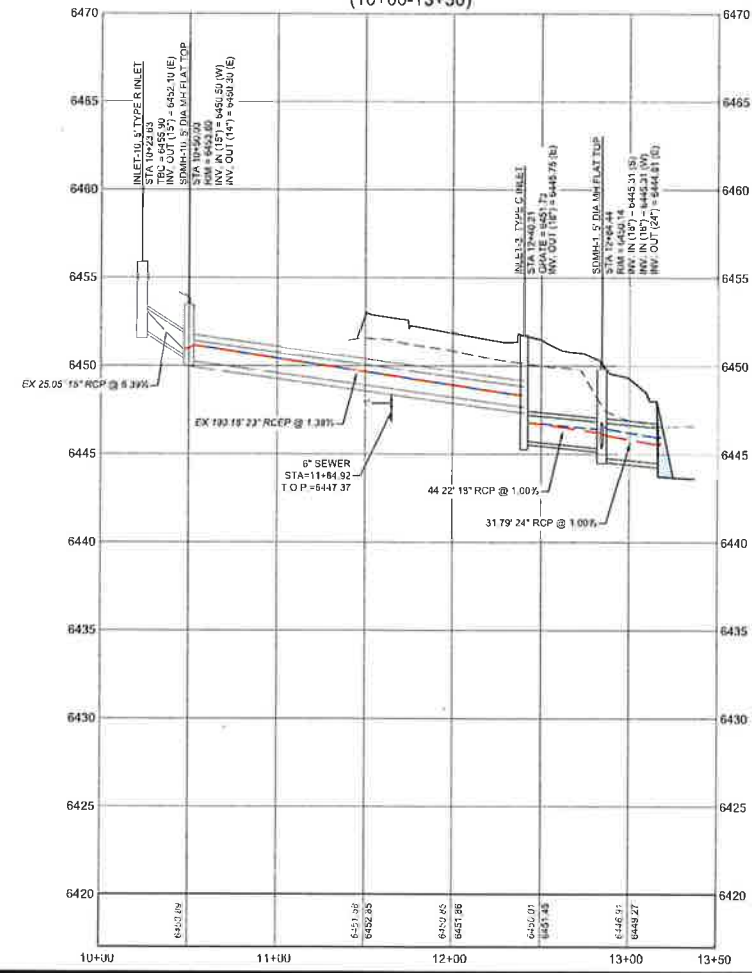
**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
STORM P&P - STORM F

911  
Please call below.  
Call before you dig.

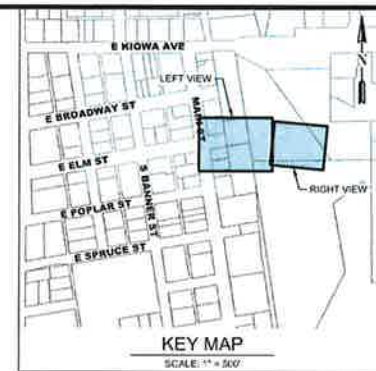
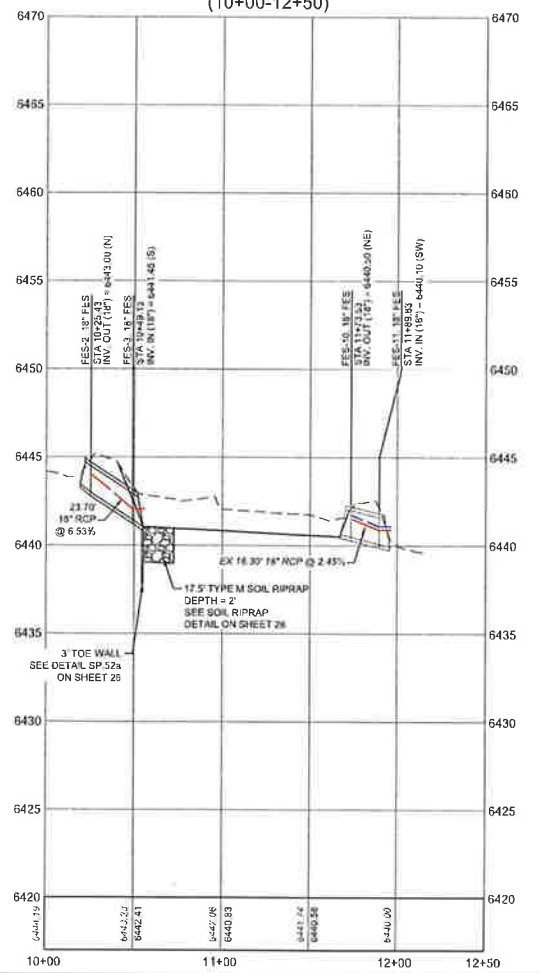
3/12/2025 11:17 AM, X:\TOWN OF ELIZABETH\CD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS - STORM P&P DWG. 2



**STORM C**  
(10+00-13+50)



**STORM CULVERT**  
(10+00-12+50)



**PROFILE LEGEND**

	100-YR HGL
	5-YR HGL
	EXIST GRADE
	PROP GRADE
	1"=50' (HORZ)
	1"=5' (VERT)

**LEGEND**

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROJECT BOUNDARY
	RIGHT OF WAY (ROW)
	EASEMENT
	LOT BOUNDARY
	CONCRETE
	MAINTENANCE ACCESS / GRAVEL ROAD
	RIPRAP
	SOIL RIPRAP
	STORM (FES, IM, & INLET)
	SANITARY
	WATER (HYDRANT, VALVE, BEND, MH)
	FORESAY
	STORM INLETS (TYPE C, D, I, & R)
	STORM 100 YEAR HGL
	STORM 5 YEAR HGL
	EX STORM (FES, IM, & INLET)
	EXISTING UTILITY
	EXISTING SWALE
	EXISTING WATER
	EXISTING WATER
	EXISTING FENCE
	EXISTING POWER POLE & GUY WIRE
	EX WATER MH, METER, & VENT PPE
	EX WATER VALVE & HYDRANT

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PH: 303.632.8887

DATE	BY	REVISION DESCRIPTION
11/01/2024	MM	1ST SUBMITTAL
01/17/2025	MM	2ND SUBMITTAL
02/28/2025	MM	3RD SUBMITTAL

NOT FOR CONSTRUCTION

MAIN STREET OFF-STREET PARKING LOT

TOWN OF ELIZABETH, COLORADO

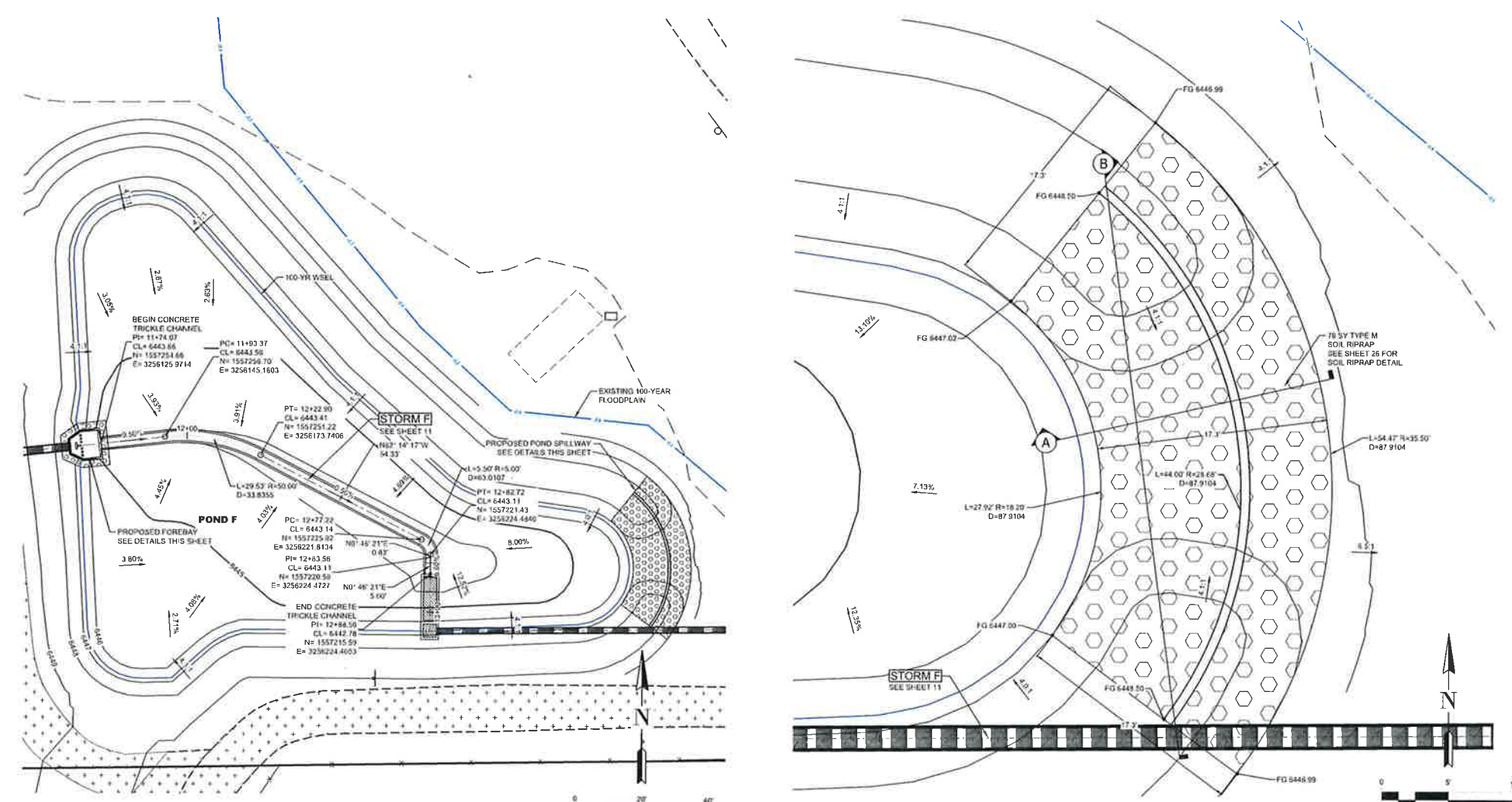
CONSTRUCTION DOCUMENTS

STORM P&P - STORM C AND CULVERT

Know what's below.  
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SHEET 12 OF 32
Page 249

3/13/2025 11:17 AM, X:\TOWN OF ELIZABETH\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS - POND SHEET.DWG, POND



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td  
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DENVER, CO 80231  
PH: 303.632.8967

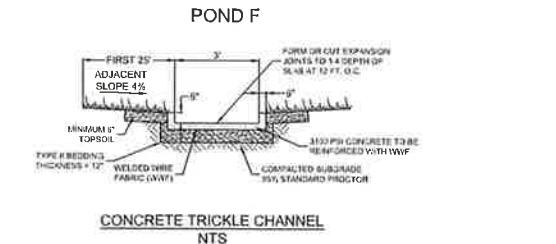
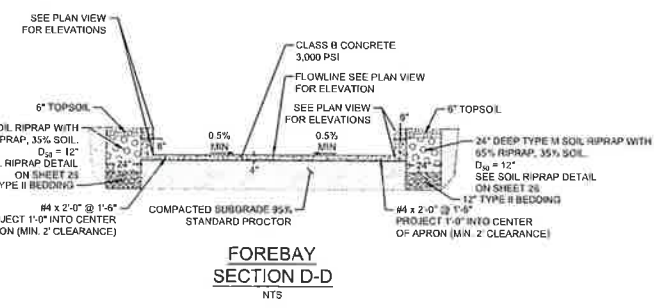
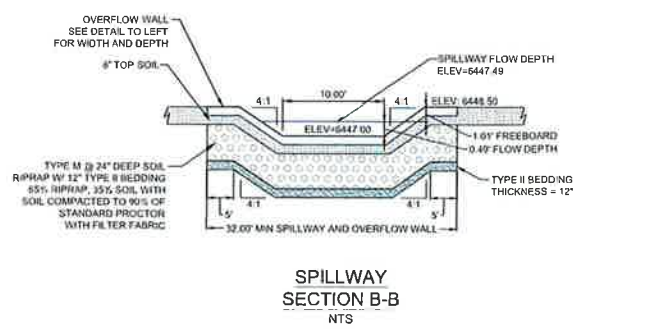
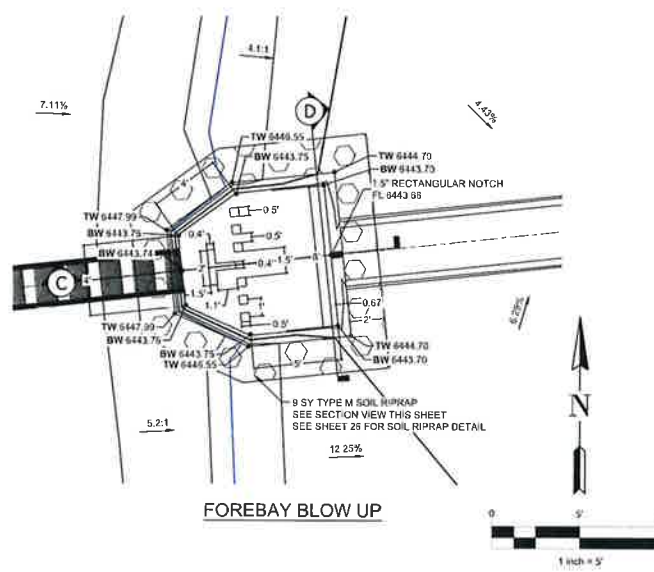
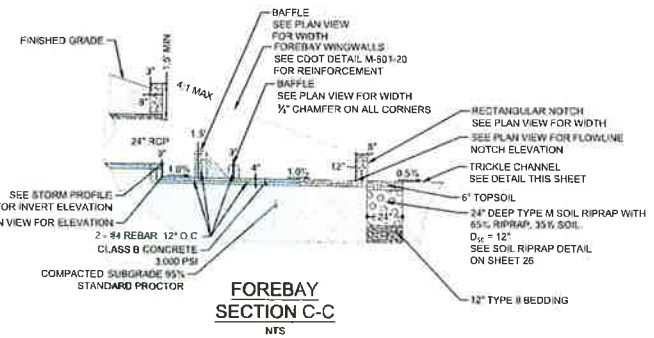
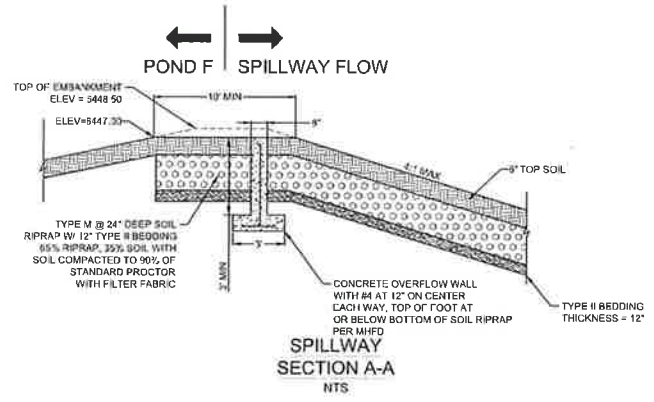
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01/17/2025	MM	2ND SUBMITTAL
02/28/2025	MM	3RD SUBMITTAL

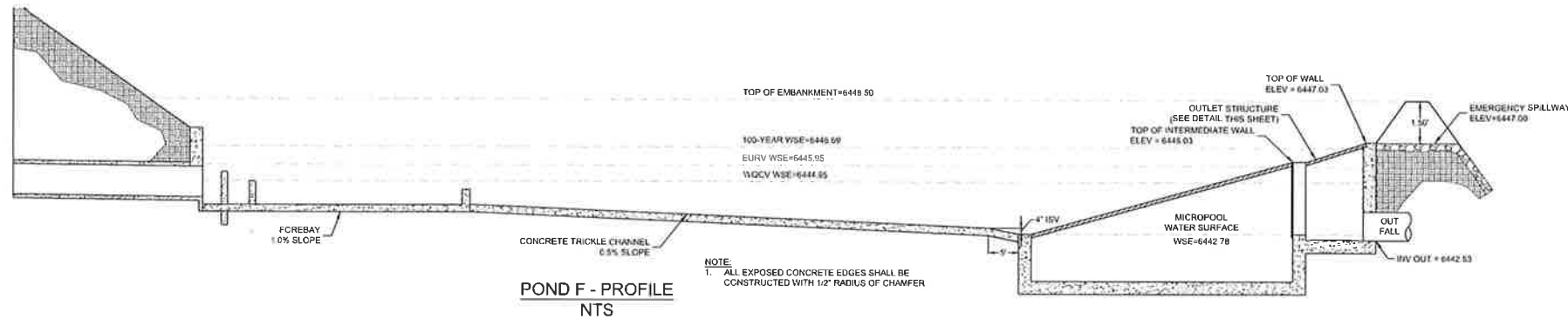
**LEGEND**

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROJECT BOUNDARY
	RIGHT OF WAY (ROW)
	EASEMENT
	LOT BOUNDARY
	CONCRETE
	MAINTENANCE ACCESS / GRAVEL ROAD
	RIPRAP
	SOIL RIPRAP
	STORM INLET (TYPE C, D, 13, & R)
	SANITARY INLET (TYPE M, L, & N)
	WATER HYDRANT, VALVE, BEND, TEE
	FOREBAY
	STORM INLETS (TYPE C, D, 13, & R)
	STORM 100 YEAR HGL
	STORM 5 YEAR HGL
	EXISTING STORM INLET (TYPE M, L, & N)
	EXISTING UTILITY
	EXISTING SWALE
	EXISTING SIGN
	EXISTING WATER
	EXISTING FENCE
	EXISTING POWER POLE & GUY WIRE
	EXISTING MANHOLE, METER, & VENT PIPE
	EXISTING WATER VALVE & HYDRANT

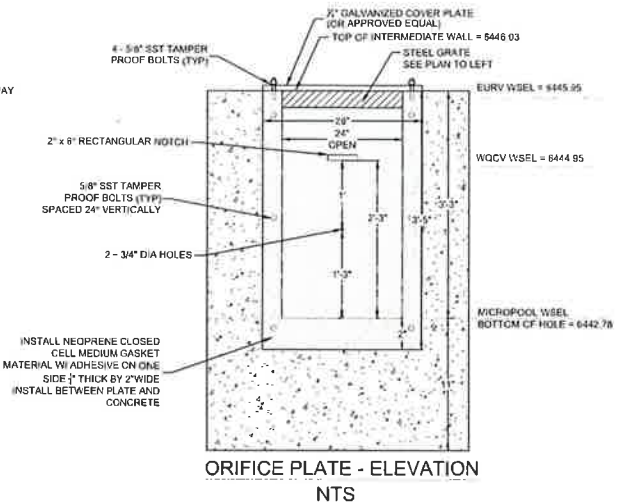
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
STORM - POND F

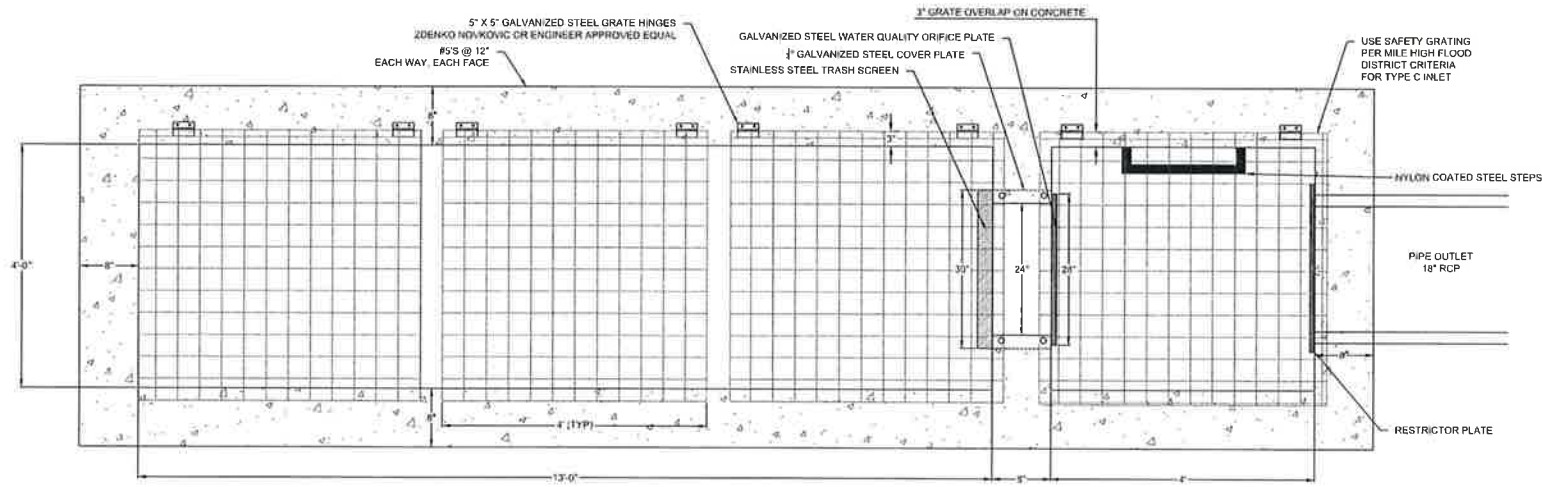




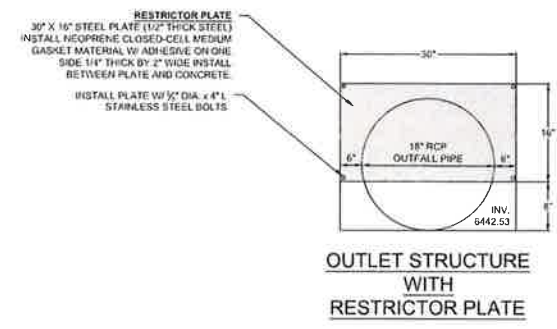
POND F - PROFILE  
NTS



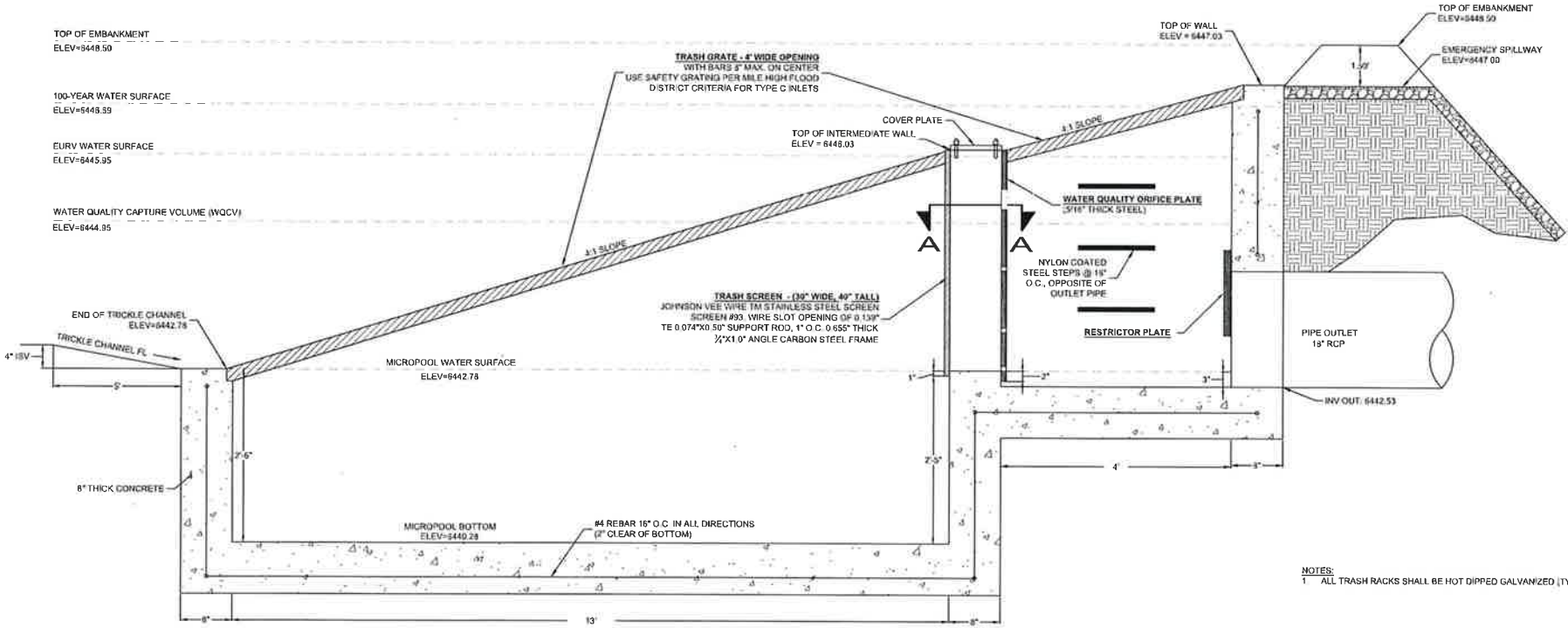
ORIFICE PLATE - ELEVATION  
NTS



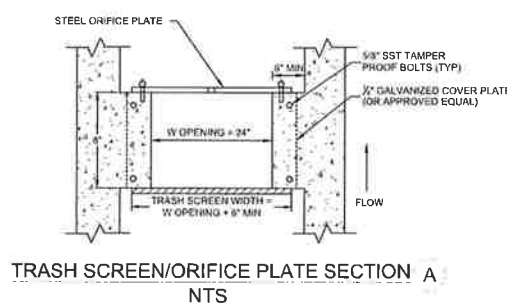
POND F - OUTLET STRUCTURE PLAN  
NTS



OUTLET STRUCTURE  
WITH  
RESTRICTOR PLATE



POND F - OUTLET STRUCTURE SECTION  
NTS



TRASH SCREEN/ORIFICE PLATE SECTION A  
NTS

NOTES:  
1. ALL TRASH RACKS SHALL BE HOT DIPPED GALVANIZED (TYPICAL)

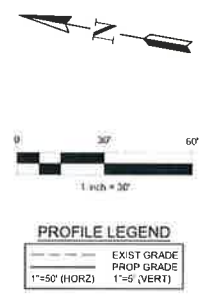
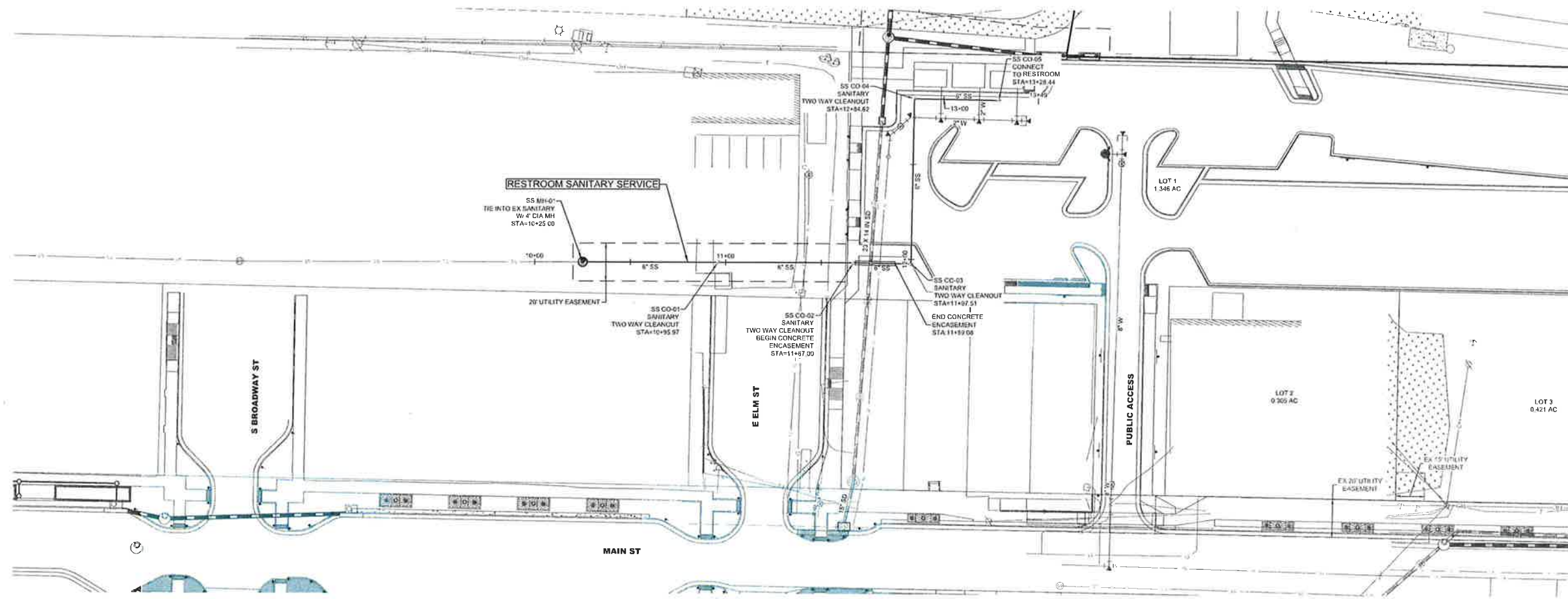
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REVISION DESCRIPTION	DATE	BY
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2	01/17/2025	MM
3	02/28/2025	MM

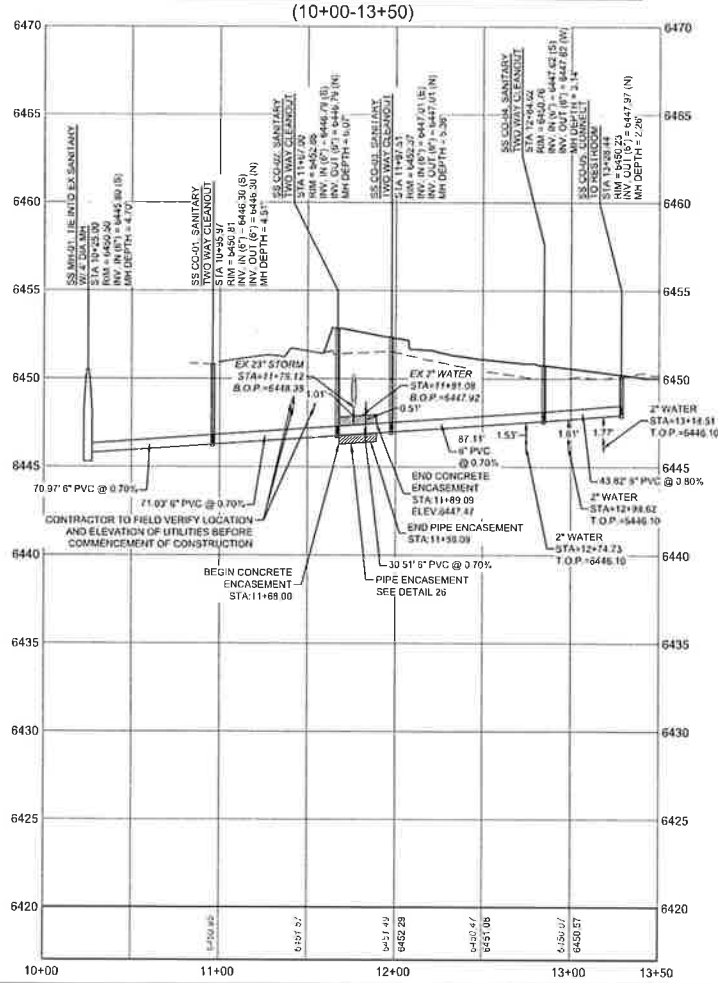
**NOT FOR CONSTRUCTION**

MAIN STREET OFF-STREET PARKING LOT  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
STORM - OUTLET STRUCTURE - POND F

3/1/2025 11:17 AM X:\TOWN OF ELIZABETH\CADD\NS01 - MAIN ST PARKING PRELIMINARY CDS SANITARY P&P.DWG 1



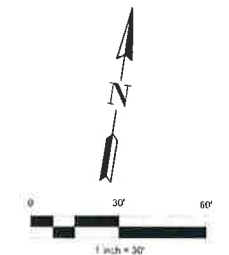
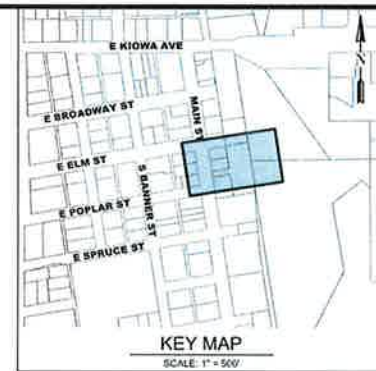
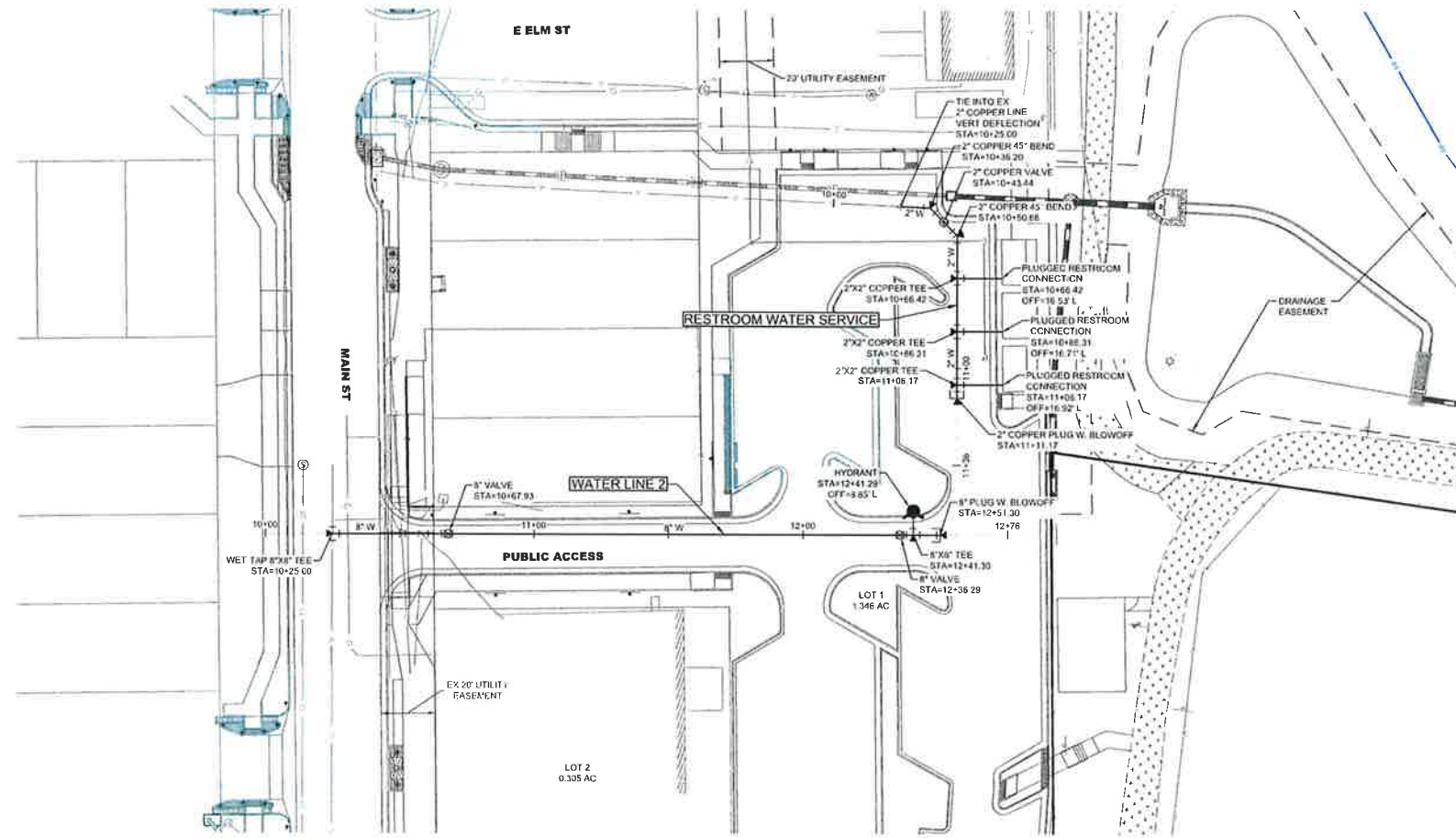
**RESTROOM SANITARY SERVICE**



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/01/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

**NOT FOR CONSTRUCTION**

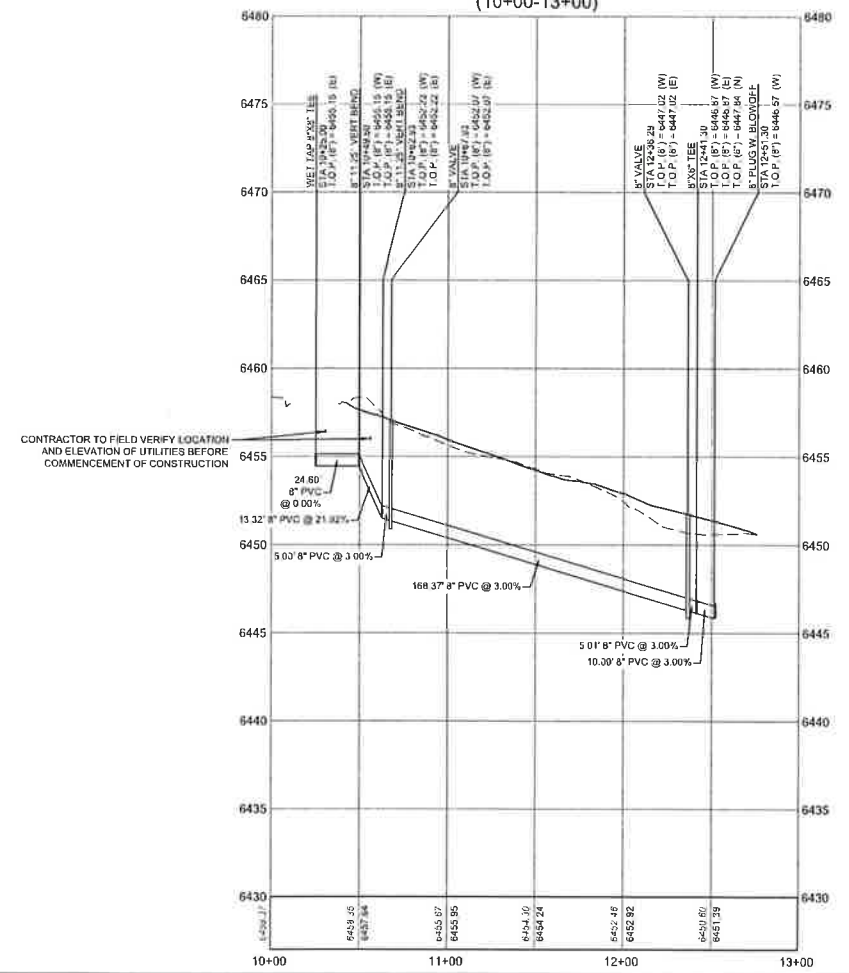
**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
SANITARY P&P - RESTROOM SANITARY SERVICE



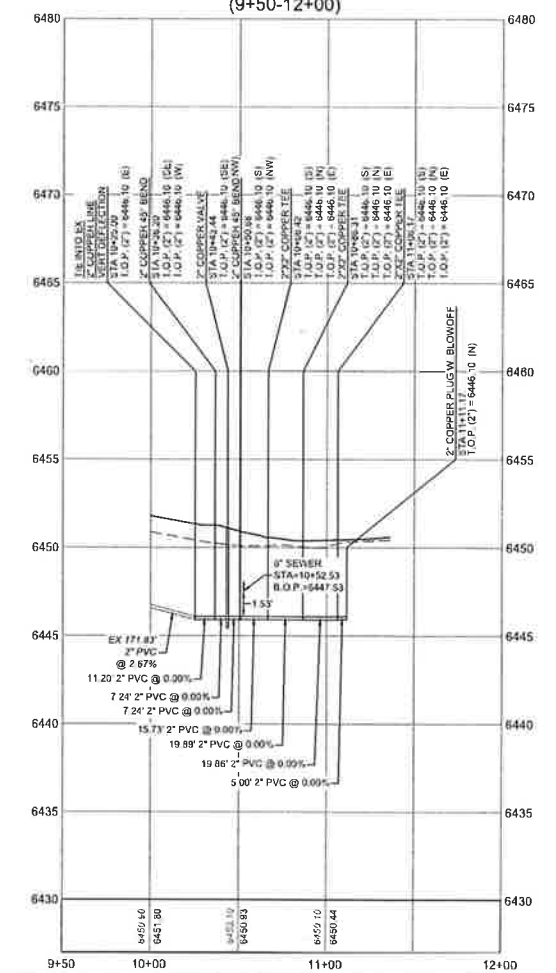
**PROFILE LEGEND**

---	EXIST GRADE
---	PROP GRADE
1"=50' (HORZ)	1"=5' (VERT)

**WATER LINE 2**  
(10+00-13+00)



**RESTROOM WATER SERVICE**  
(9+50-12+00)

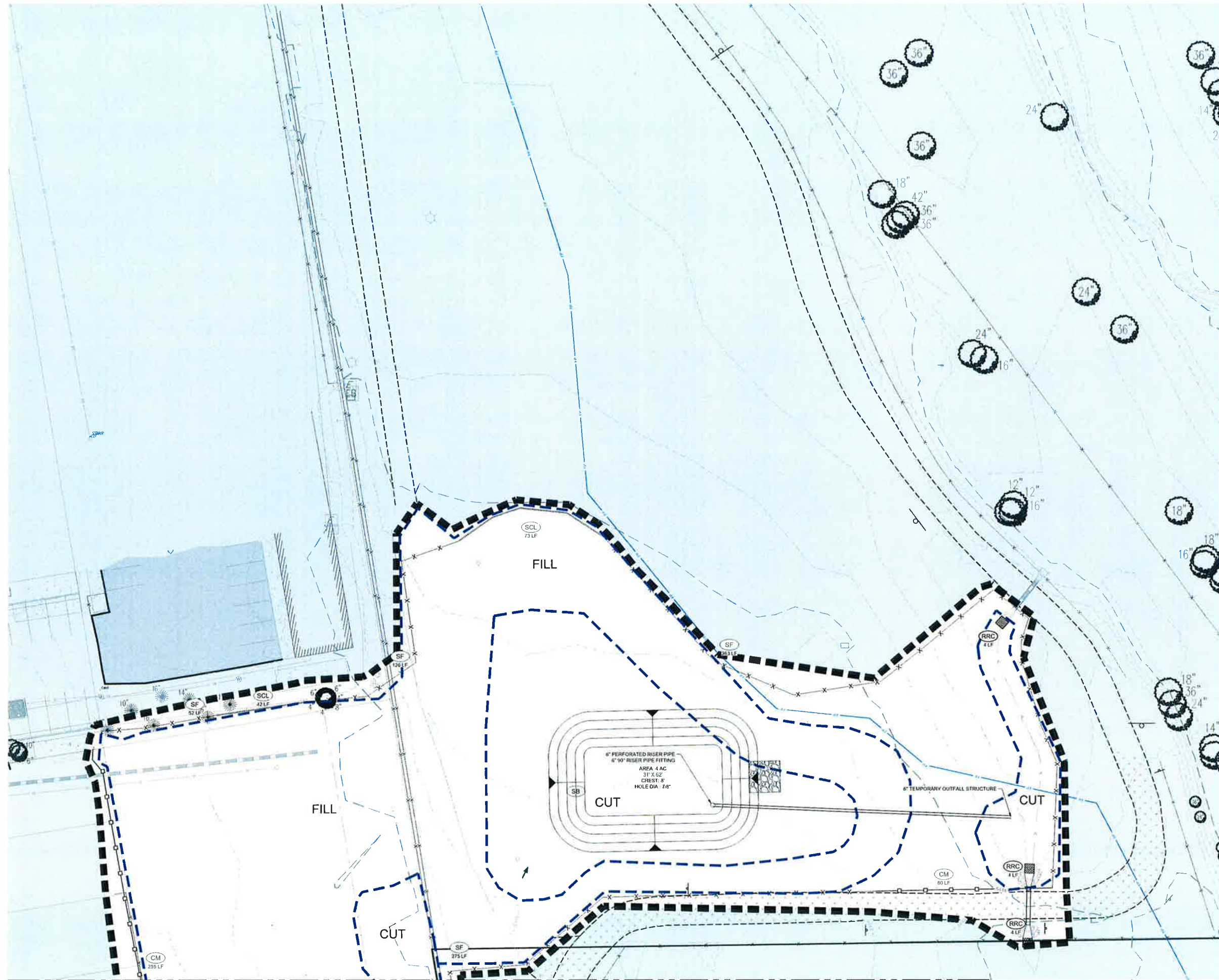


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01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

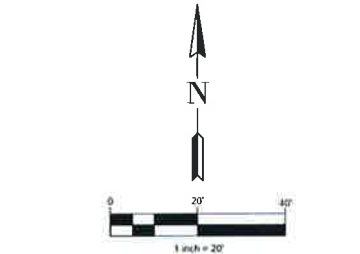
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
WATER P&P - RESTROOM WATER SERVICE

3/10/2025 11:17 AM X:\TOWN OF ELIZABETH\CD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS - GESC - INITIAL DWG 1



SEE SHEET 18



**LEGEND**

	OUTSIDE LIMITS OF CONSTRUCTION		CD CHECK DAM
	CWA CONCRETE WASHOUT AREA		CM CONSTRUCTION MARKER
	CS CURB SOCK / ROCK SOCK		DD DIVERSION DITCH
	ECB EROSION CONTROL BLANKET		IP INLET PROTECTION
	RRC REINFORCED ROCK BERM FOR CULVERT PROTECTION		SB TEMPORARY SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG		SF SILT FENCE
	ST SEDIMENT TRAP		SM SEEDING AND MULCHING
	SSA STABILIZED STAGING AREA		SR SURFACE ROUGHENING
	VTC VEHICLE TRACKING CONTROL		LOC LIMITS OF CONSTRUCTION

**NOTES:**  
 1. SEE SHEETS 25-32 FOR GESC DETAILS.  
 2. THE SITE EARTHWORK  
 1986 CY CUT, 4779 CY FILL, 2814 CY NET FILL



DATE	BY	REVISION DESCRIPTION
11/07/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/26/2025	MM	3 3RD SUBMITTAL

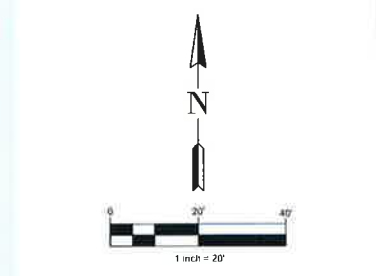
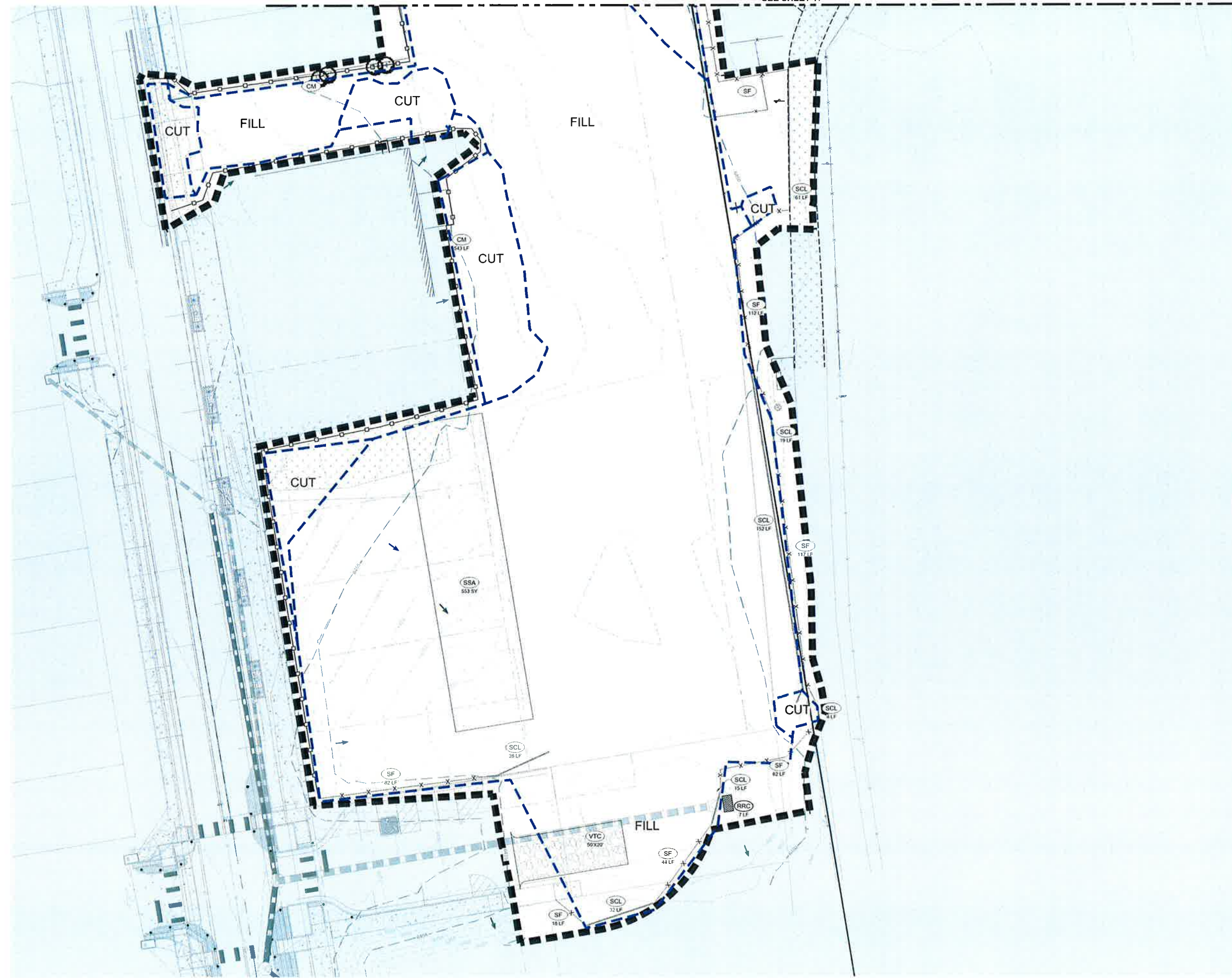
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
 TOWN OF ELIZABETH, COLORADO  
 CONSTRUCTION DOCUMENTS  
 GESC - INITIAL PLAN



3/1/2025 11:17 AM X:TOWN OF ELIZABETH\CAD\PLANS\01 - MAIN ST PARKING\PRELIMINARY CDS - GESC - INITIAL.DWG 2

SEE SHEET 17



**LEGEND**

	OUTSIDE LIMITS OF CONSTRUCTION
	CD CHECK DAM
	CWA CONCRETE WASHOUT AREA
	CM CONSTRUCTION MARKER
	CS CURB SOCK / ROCK SOCK
	DD DIVERSION DITCH
	ECB EROSION CONTROL BLANKET
	IP INLET PROTECTION
	RRC REINFORCED ROCK BERM FOR CULVERT PROTECTION
	SB TEMPORARY SEDIMENT BASH
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	ST SEDIMENT TRAP
	SM SEEDING AND MULCHING
	SSA STABILIZED STAGING AREA
	SR SURFACE ROUGHENING
	VTC VEHICLE TRACKING CONTROL
	LOC LIMITS OF CONSTRUCTION

**NOTES:**  
 1. SEE SHEETS 25-32 FOR GESC DETAILS  
 2. THE SITE EARTHWORK: 1966 CY CUT, 4779 CY FILL, 2814 CY NET FILL



DATE	BY
11/01/2024	JMI
01/17/2025	JMI
02/25/2025	JMI

#	REVISION DESCRIPTION
1	1ST SUBMITTAL
2	2ND SUBMITTAL
3	3RD SUBMITTAL

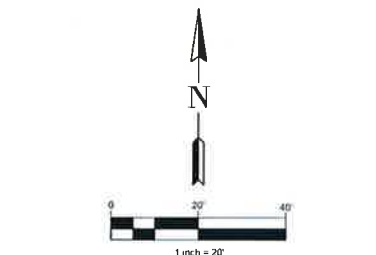
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
 TOWN OF ELIZABETH, COLORADO  
 CONSTRUCTION DOCUMENTS  
 GESC - INITIAL PLAN





SEE SHEET 20



**LEGEND**

	OUTSIDE LIMITS OF CONSTRUCTION
	CD CHECK DAM
	CWA CONCRETE WASHOUT AREA
	CM CONSTRUCTION MARKER
	CS CURB SOCK / ROCK SOCK
	DD DIVERSION DITCH
	ECB EROSION CONTROL BLANKET
	IP INLET PROTECTION
	RRC REINFORCED ROCK BERM FOR CULVERT PROTECTION
	SB TEMPORARY SEDIMENT BASH
	SCL SEGMENT CONTROL LOG
	SF SILT FENCE
	ST SEDIMENT TRAP
	SM SEEDING AND MULCHING
	SSA STABILIZED STAGING AREA
	SR SURFACE ROUGHENING
	VTC VEHICLE TRACKING CONTROL
	LOC LIMITS OF CONSTRUCTION

**NOTES:**  
 1. SEE SHEETS 25-32 FOR GESC DETAILS.  
 2. THE SITE EARTHWORK:  
 1960 CY CUT, 4773 CY FILL, 2014 CY NET FILL

**terraccina design**  
 tdd  
 10200 E. Colfax Ave., A-314  
 Denver, CO 80231  
 PH: 303.632.8987

DATE	BY	REVISION DESCRIPTION
1/10/2024	MM	1ST SUBMITTAL
01/17/2025	MM	2ND SUBMITTAL
02/26/2025	MM	3RD SUBMITTAL

NOT FOR CONSTRUCTION

MAIN STREET OFF-STREET PARKING LOT

TOWN OF ELIZABETH, COLORADO

CONSTRUCTION DOCUMENTS

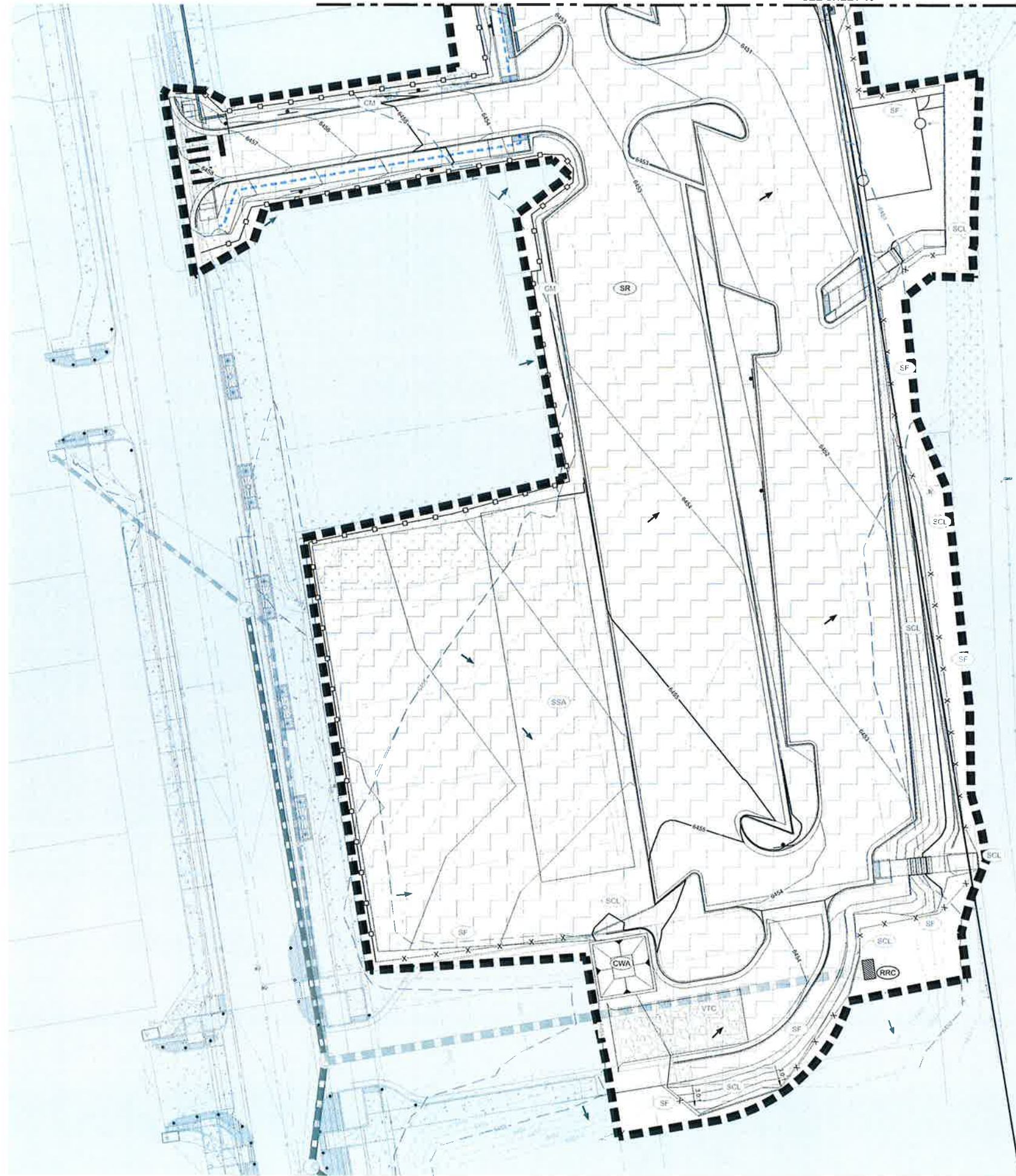
GESC - INTERIM PLAN

Know what's below.  
 Call 311 now.

SHEET

19 OF 32

SEE SHEET 19



**LEGEND**

	OUTSIDE LIMITS OF CONSTRUCTION
	CD CHECK DAM
	CWA CONCRETE WASHOUT AREA
	CM CONSTRUCTION MARKER
	CS CLEAR SOCK / ROCK SOCK
	DD DIVERSION DITCH
	ECB EROSION CONTROL BLANKET
	IP INLET PROTECTION
	RRC REINFORCED ROCK BERM FOR CULVERT PROTECTION
	SB TEMPORARY SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF SILT FENCE
	ST SEDIMENT TRAP
	SM SEEDING AND MULCHING
	SSA STABILIZED STAGING AREA
	SR SURFACE ROUGHENING
	VTC VEHICLE TRACKING CONTROL
	LOC LIMITS OF CONSTRUCTION

**NOTES:**

- SEE SHEETS 25-32 FOR GESC DETAILS.
- THE SITE EARTHWORK  
1866 CY CLIT, 4729 CY FILL, 2884 CY NET FILL

10000 E. Grant Ave., A-314  
Denver, CO 80231  
PH: 303.632.8967

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/07/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

NOT FOR CONSTRUCTION

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
GESC - INTERIM PLAN

Know what's below.  
Call before you dig.

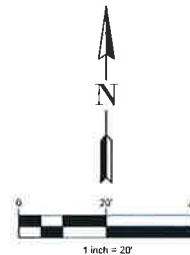
SHEET

20 OF 32

3/13/2025 11:18 AM - TOWN OF ELIZABETH PLANS 01 - MAIN ST PARKING PRELIMINARY GIS - GESC - FINAL DWG 1



SEE SHEET 22



LEGEND

- |  |  |
|--|--|
|  | OUTSIDE LIMITS OF CONSTRUCTION                   |
|  | CD CHECK DAM                                     |
|  | CWA CONCRETE WASHOUT AREA                        |
|  | CM CONSTRUCTION MARKER                           |
|  | CS CURB SOCK / ROCK SOCK                         |
|  | DD DIVERSION DITCH                               |
|  | ECB EROSION CONTROL BLANKET                      |
|  | IP INLET PROTECTION                              |
|  | RRC REINFORCED ROCK BERMS FOR CULVERT PROTECTION |
|  | SB TEMPORARY SEDIMENT BASIN                      |
|  | SCL SEDIMENT CONTROL LOG                         |
|  | SF SILT FENCE                                    |
|  | ST SEDIMENT TRAP                                 |
|  | SM SEEDING AND MULCHING                          |
|  | SSA STABILIZED STAGING AREA                      |
|  | SR SURFACE ROUGHENING                            |
|  | VTC VEHICLE TRACKING CONTROL                     |
|  | LOC LIMITS OF CONSTRUCTION                       |

NOTES:

- SEE SHEETS 25-32 FOR GESC DETAILS
- THE SITE EARTHWORK:  
1966 CY CUT, 4779 CY FILL, 2814 CY NET FILL

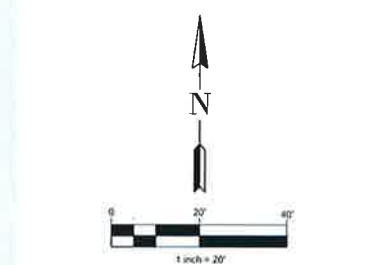
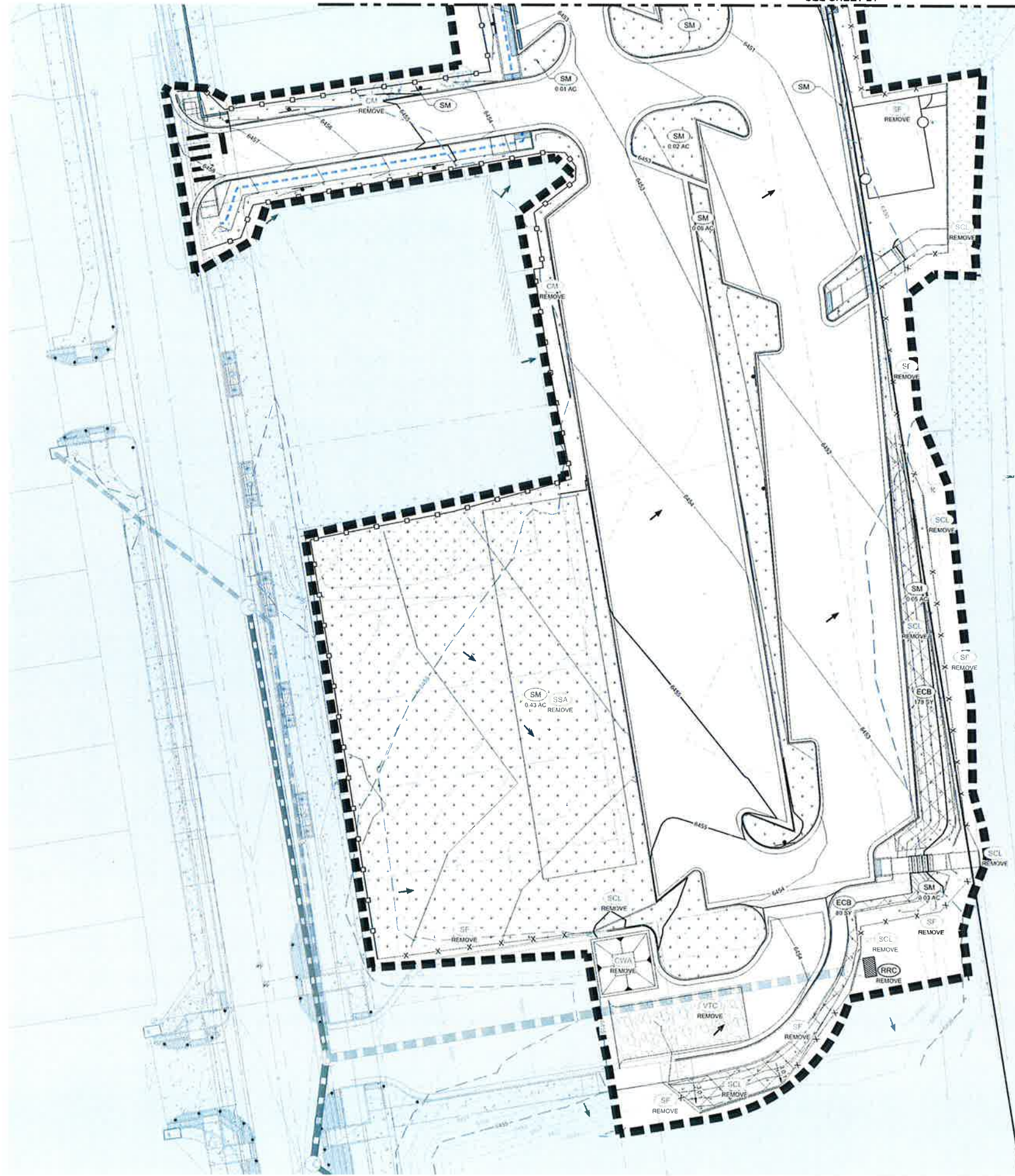


DATE	BY	REVISION DESCRIPTION
11/01/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
GESC - FINAL PLAN

SEE SHEET 21



**LEGEND**

	OUTSIDE LIMITS OF CONSTRUCTION
	CD CHECK DIM
	CWA CONCRETE WASHOUT AREA
	CM CONSTRUCTION MARKER
	CS CURB SOCK / ROCK SOCK
	DD DIVERSION DITCH
	ECB EROSION CONTROL BLANKET
	IP INLET PROTECTION
	RRC REINFORCED ROCK BERRI FOR CULVERT PROTECTION
	SB TEMPORARY SEDIMENT BASIN
	SCL SEDIMENT CONTROL LOG
	SF BILT FENCE
	ST SEDIMENT TRAP
	SM SEEDING AND MULCHING
	SSA STABILIZED STAGING AREA
	SR SURFACE ROUGHENING
	VTC VEHICLE TRACKING CONTROL
	LOC LIMITS OF CONSTRUCTION

**NOTES:**  
 1. SEE SHEETS 25-32 FOR GESC DETAILS.  
 2. THE SITE EARTHWORK:  
 1966 CY EXCAV, 4779 CY FILL, 2814 CY NET FILL

**terraccina**  
**td design**

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DENVER, CO 80231  
PH: 303.632.8867

DATE	BY	REVISION DESCRIPTION
11/07/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

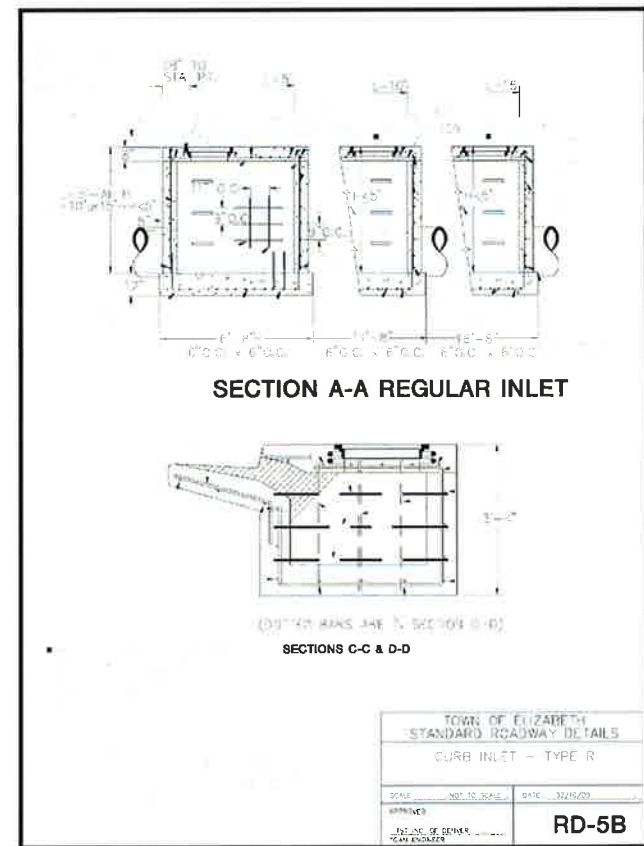
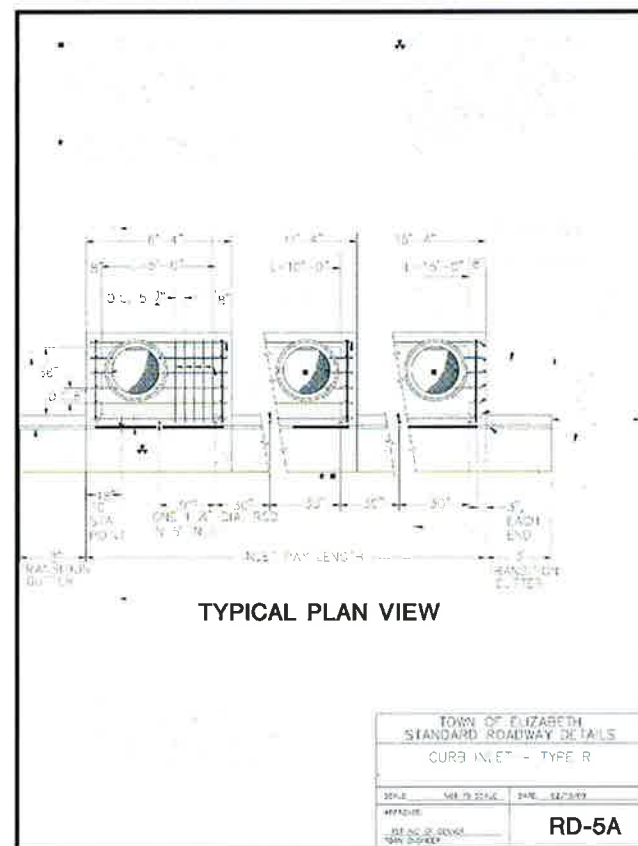
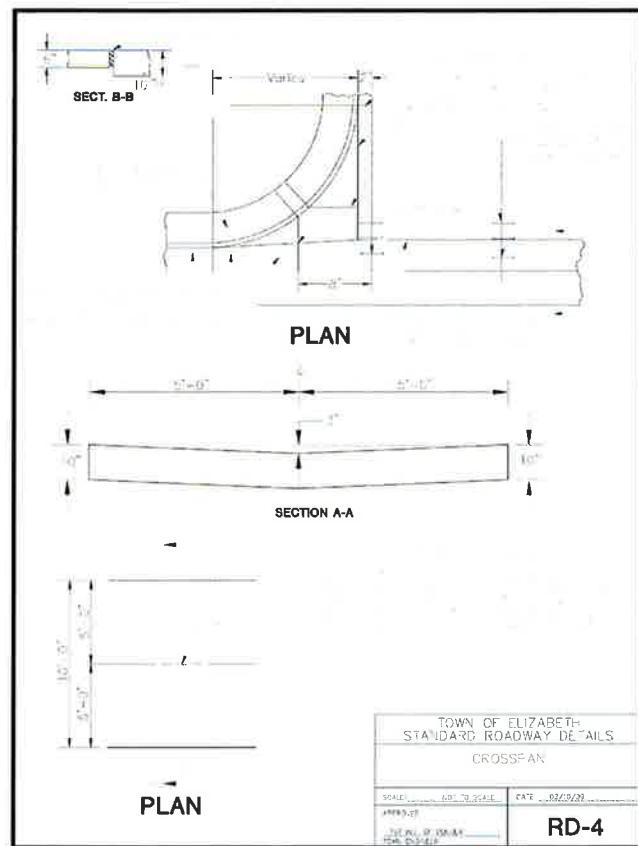
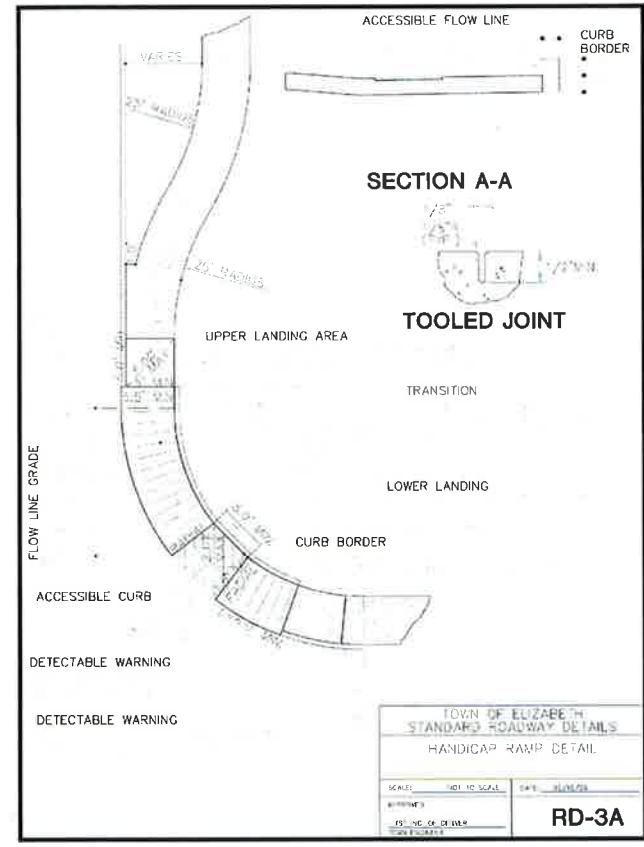
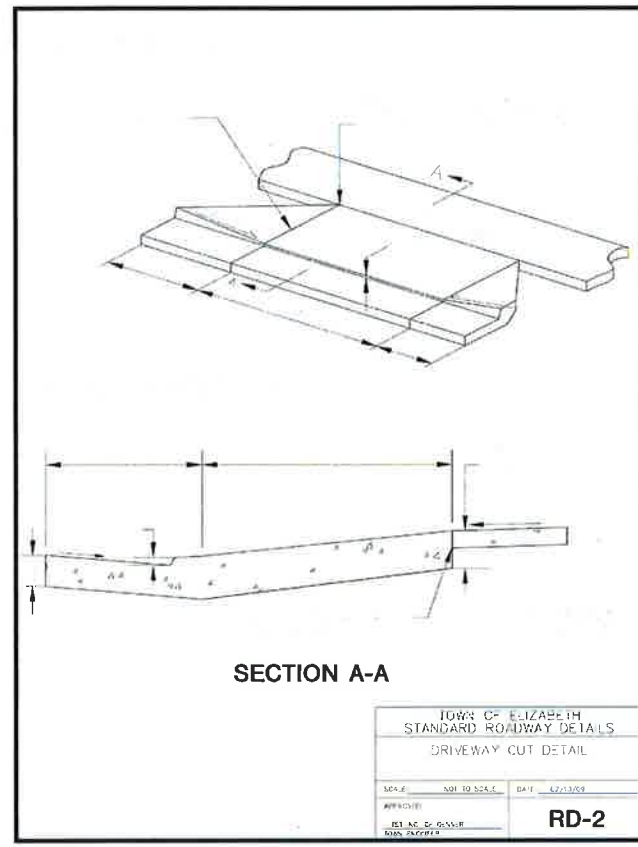
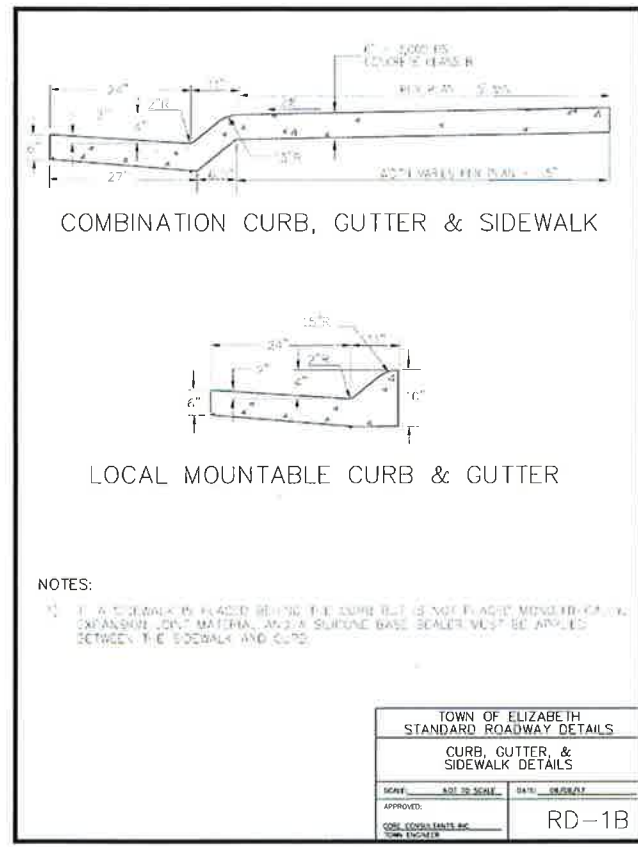
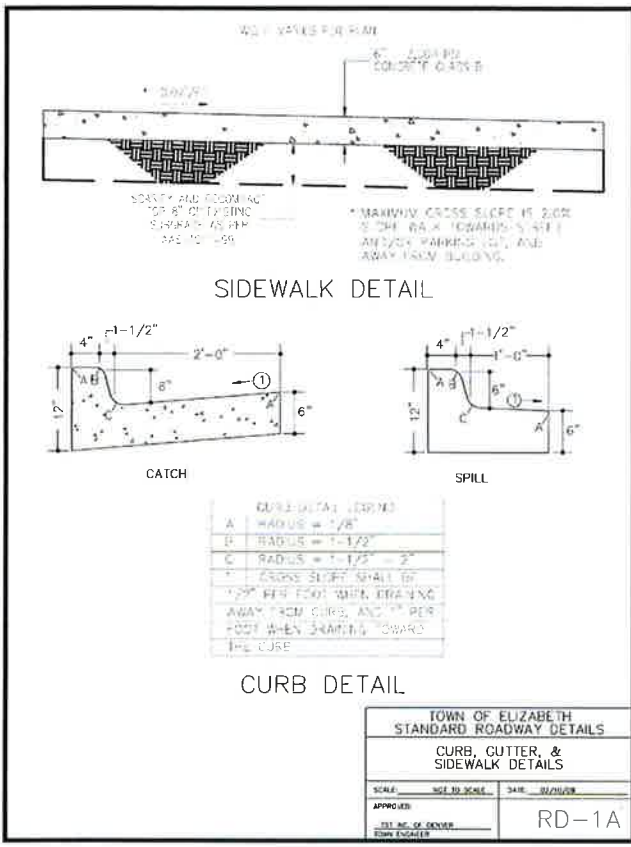
**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO

CONSTRUCTION DOCUMENTS  
GESC - FINAL PLAN

Know what's below.  
Call before you dig.

SHEET 22 OF 32



**terracina design**  
10200 E. Grand Ave. #314  
Denver, CO 80231  
PH: 303.632.8887

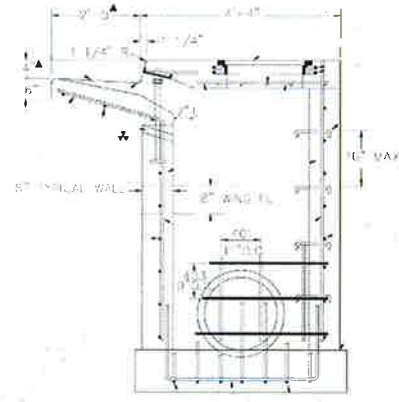
DATE	BY	REVISION DESCRIPTION
11/01/2024	MM	1 1ST SUBMITTAL
01/17/2025	MM	2 2ND SUBMITTAL
02/28/2025	MM	3 3RD SUBMITTAL

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

**811**  
Know what's below.  
Call before you dig.

Page 260  
23 OF 32

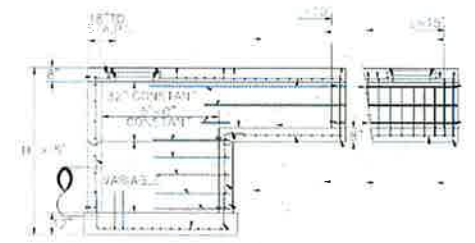


SECTION B-B  
TYPICAL END VIEW



TRANSITION CURB

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS CURB INLET - TYPE R	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-5C</b>	

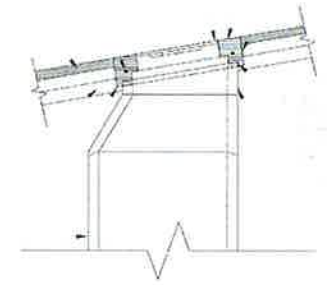


SECTION A-A  
INLET WITH DROP BOX 'H>S'



CURB FACE ASSEMBLY

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS CURB INLET - TYPE R	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-5D</b>	

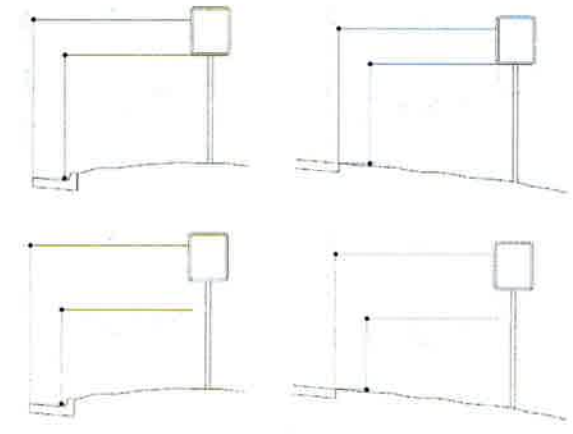


TOWN OF ELIZABETH STANDARD ROADWAY DETAILS MANHOLE RING AND COVER	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-7</b>	

THE FOLLOWING NOTES ARE APPLICABLE TO ALL ROADWAY SECTIONS IDENTIFIED ON THE STANDARD ROADWAY DETAILS. THESE DETAILS ARE FOR GENERAL INFORMATION ONLY AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION WITHOUT THE CONSULTATION OF THE ENGINEER.

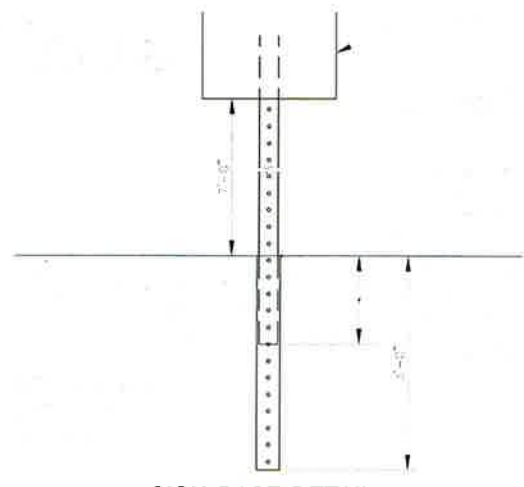
- NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2007 EDITION, AS AMENDED.
  3. TOTAL ROADWAY WIDTHS SHALL BE DETERMINED BY THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2007 EDITION, AS AMENDED.
  4. ELEVATIONS SHALL BE IN FEET ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
  5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2007 EDITION, AS AMENDED.
- LEGEND:
- ▽ FINISHED GRADE
  - ▲ EXISTING FINISHED GRADE
  - ▲ FINISHED GRADE

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS STREET CROSS SECTIONS NOTES	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-8</b>	



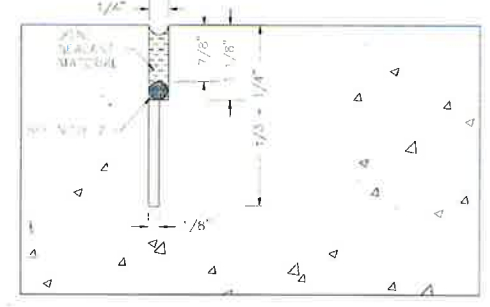
REGULATION SIGN PLACEMENT

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS REGULATION SIGN PLACEMENT	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-15</b>	

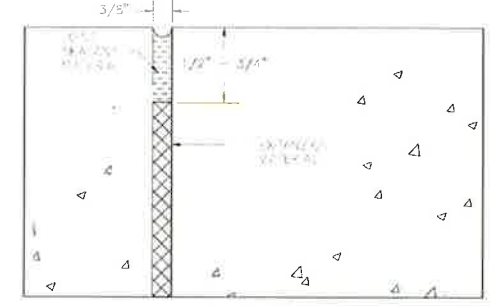


SIGN BASE DETAIL

TOWN OF ELIZABETH STANDARD ROADWAY DETAILS SIGN BASE DETAIL	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-16</b>	



SAWED JOINT



EXPANSION JOINT

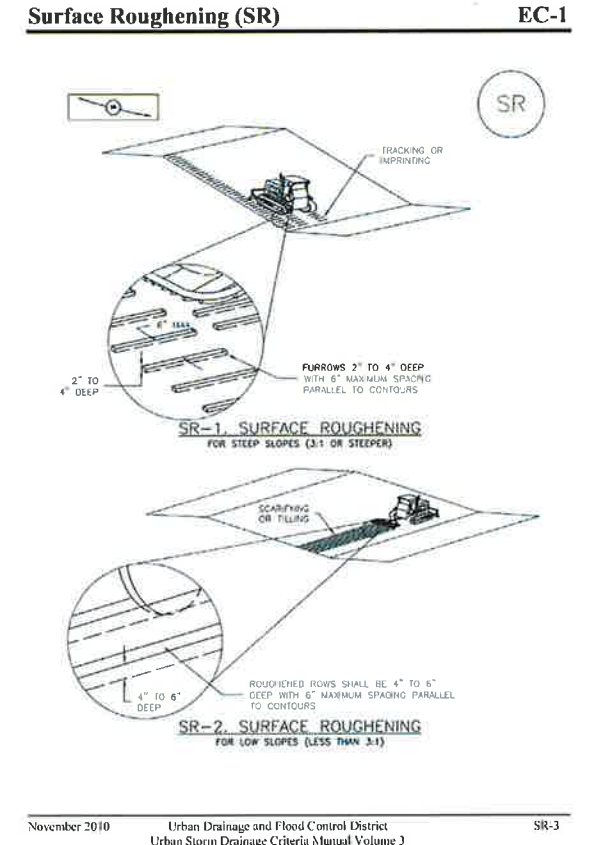
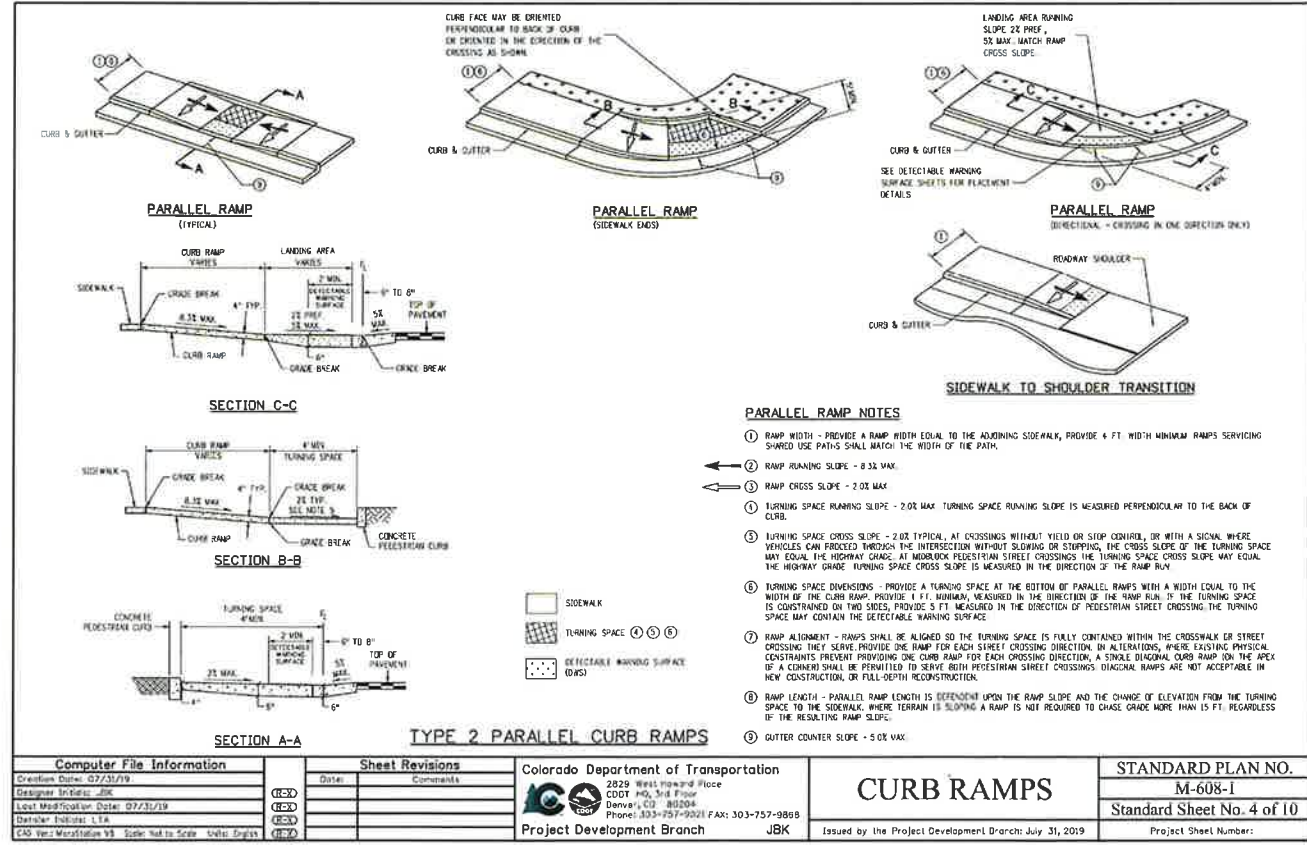
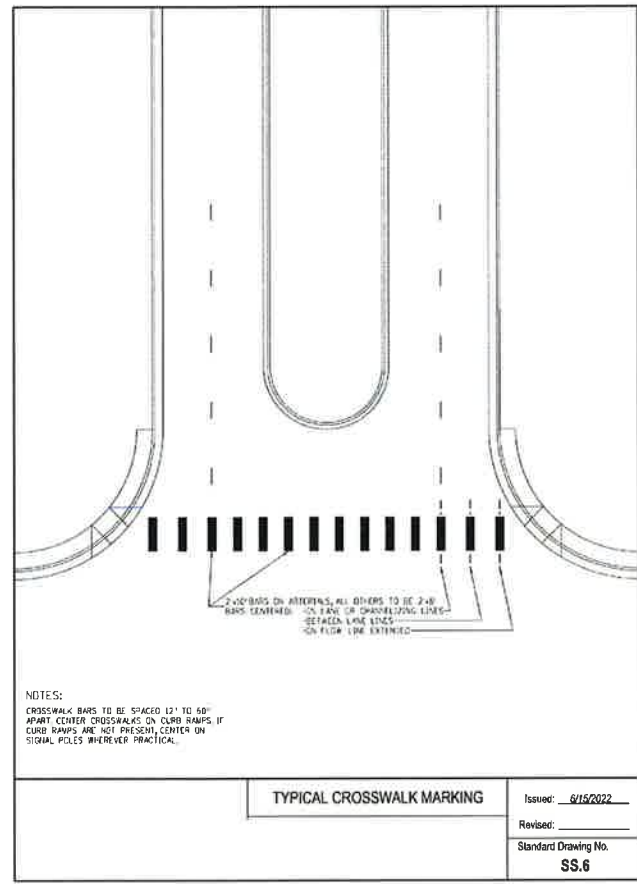
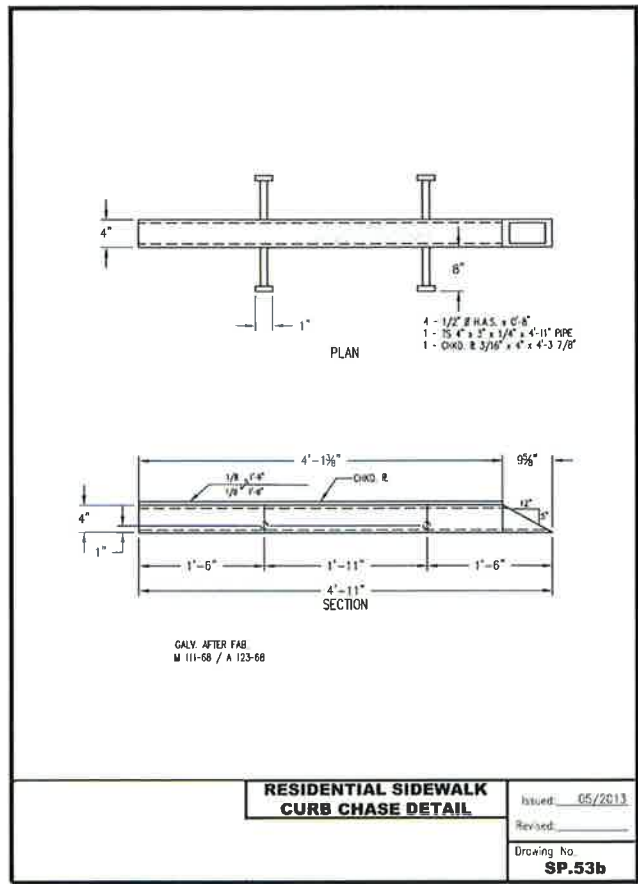
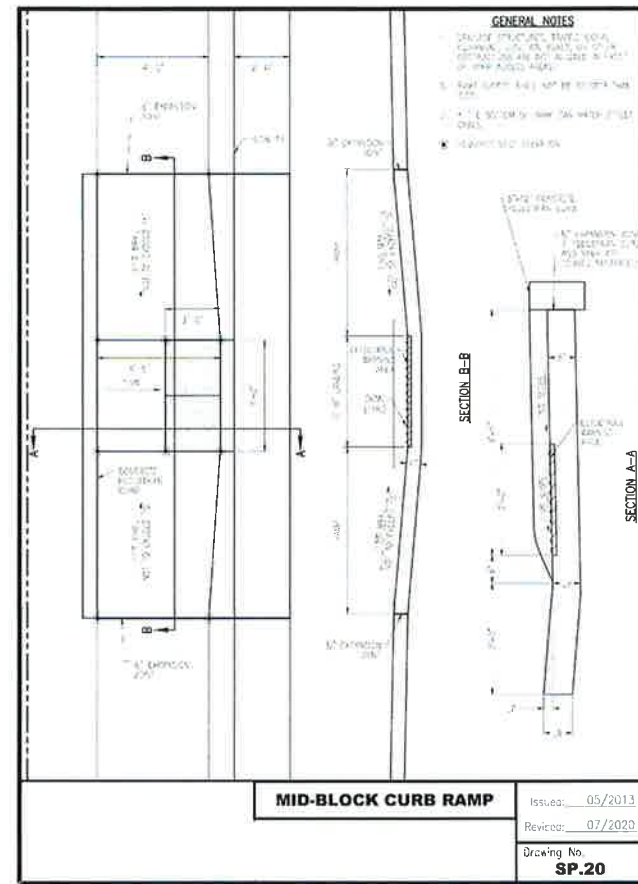
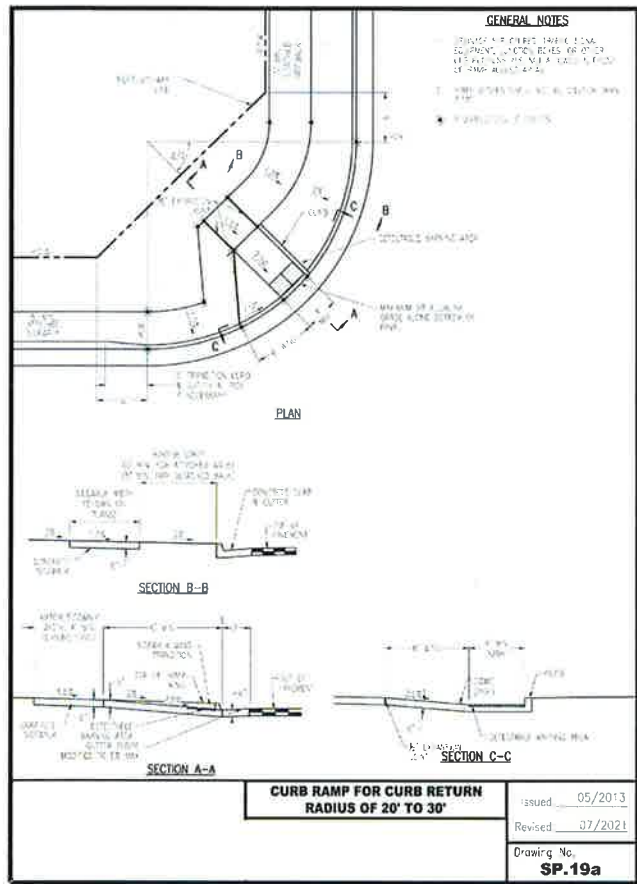
TOWN OF ELIZABETH STANDARD ROADWAY DETAILS SAWED JOINT AND EXPANSION JOINT	
SCALE: NOT TO SCALE	DATE: 02/25/09
APPROVER:	
DESIGNER:	
<b>RD-20</b>	

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/07/2008	MM
2	2ND SUBMITTAL	01/17/2009	MM
3	3RD SUBMITTAL	02/28/2009	MM

**NOT FOR CONSTRUCTION**

MAIN STREET OFF-STREET PARKING LOT  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

3/13/2025 11:18 AM - X:\TOWN OF ELIZABETH\PLANS\01 - MAIN ST PARKING\PRELIMINARY\CS - DETAILS.DWG 3



**terraccina design**  
td  
10200 E. Grant Ave #314  
Denver, CO 80231  
ph: 303.632.8867

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/07/2021	MM
2	2ND SUBMITTAL	01/17/2022	MM
3	3RD SUBMITTAL	02/28/2025	MM

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

**811**

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Urban Drainage and Flood Control District  
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Temporary and Permanent Seeding (TS/PS) EC-2

Description

Temporary seeding can be used to stabilize disturbed areas that will be inactive for an extended period. Permanent seeding should be used to stabilize areas at final grade that will not be otherwise stabilized. Effective seeding includes preparing a seedbed, selecting an appropriate seed mixture, using proper planting techniques, and protecting the seeded area with mulch, geotextiles, or other appropriate measures.



Photograph TS/PS-1. Equipment used to drill seed. Photo courtesy of Douglas County.

Appropriate Uses

When the soil surface is disturbed and will remain inactive for an extended period (typically determined by local government requirements), proactive stabilization measures, including planting a temporary seed mix, should be implemented. If the inactive period is short-lived (on the order of two weeks), techniques such as surface roughening may be appropriate. For longer periods of inactivity of up to one year, temporary seeding and mulching can provide effective erosion control. Permanent seeding should be used on finished areas that have not been otherwise stabilized.

The USDCM Volume 2 *Revegetation* Chapter contains suggested annual grains and native seed mixes to use for temporary seeding. Alternatively, local governments may have their own seed mixes and timelines for seeding. Check jurisdictional requirements for seeding and temporary stabilization.

Design and Installation

Effective seeding requires proper seedbed preparation, selecting an appropriate seed mixture, using appropriate seeding equipment to ensure proper coverage and density, and protecting seeded areas with mulch or fabric until plants are established.

The USDCM Volume 2 *Revegetation* Chapter contains detailed seed mixes, soil preparation practices, and seeding and mulching recommendations that should be referenced to supplement this Fact Sheet.

Drill seeding is the preferred seeding method. Hydromulching is not recommended except in areas where steep slopes prevent use of drill seeding equipment, and even in these instances it is preferable to hand seed and mulch. Some jurisdictions do not allow hydromulching or hydromulching.

Seedbed Preparation

Prior to seeding, ensure that areas to be revegetated have soil conditions capable of supporting vegetation. Over-ripping grading can result in loss of topsoil and compaction, resulting in poor quality subsoils at the ground surface that

Temporary and Permanent Seeding	
Functions	
Erosion Control	Yes
Sediment Control	No
Site/Material Management	No

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Temporary and Permanent Seeding (TS/PS) EC-2

have low nutrient value, little organic matter content, few soil microorganisms, rooting restrictions, and conditions less conducive to infiltration of precipitation. As a result, it is typically necessary to provide stockpiled topsoil, compost, or other soil amendments and retilled them into the soil to a depth of 6 inches or more.

Topsoil should be salvaged during grading operations for use and spread on areas to be revegetated later. Topsoil should be viewed as an important resource to be utilized for vegetation establishment, due to its water-holding capacity, structure, texture, organic matter content, biological activity, and nutrient content. The rooting depth of most native grasses in the semi-arid Denver metropolitan area is 6 to 18 inches. If present, at a minimum of the upper 6 inches of topsoil should be stripped, stockpiled, and ultimately respread across areas that will be revegetated.

Where topsoil is not available, subsoils should be amended to provide an appropriate plant-growth medium. Organic matter, such as well digested compost, can be added to improve soil characteristics conducive to plant growth. Other treatments can be used to adjust soil pH conditions when needed. Soil testing, which is typically inexpensive, should be completed to determine and optimize the types and amounts of amendments that are required.

If the disturbed ground surface is compacted, rip or retilled the upper 12 inches of the surface prior to placing topsoil. If adding compost to the existing soil surface, retiling is necessary. Surface roughening will assist in placing a stable topsoil layer on steeper slopes, and allow infiltration and root penetration to greater depth. Topsoil should not be placed when either the salvaged topsoil or receiving ground are frozen or snow covered.

Prior to seeding, the soil surface should be rough and the seedbed should be firm, but neither too loose nor compacted. The upper layer of soil should be in a condition suitable for seeding at the proper depth and conducive to plant growth. Seed-to-soil contact is the key to good germination.

Refer to MHD's Topsoil Management Guidance for detailed information on topsoil assessment, design, and construction.

Temporary Vegetation

To provide temporary vegetative cover on disturbed areas which will not be paved, built upon, or fully landscaped or worked for an extended period (typically 30 days or more), plant an annual grass appropriate for the time of planting and mulch the planted areas. Temporary grain seed mixes suitable for the Denver metropolitan area are listed in Table TS/PS-1. Native temporary seed mixes are provided in USDCM Volume 2, Chapter 13, Appendix A. These are to be considered only as general recommendations when specific design guidance for a particular site is not available. Local governments typically specify seed mixes appropriate for their jurisdiction.

Permanent Revegetation

To provide vegetative cover on disturbed areas that have reached final grade, a perennial grass mix should be established. Permanent seeding should be performed promptly (typically within 14 days) after reaching final grade. Each site will have different characteristics and a landscape professional or the local jurisdiction should be contacted to determine the most suitable seed mix for a specific site. In lieu of a specific recommendation, one of the perennial grass mixes appropriate for site conditions and growth season listed in seed mix tables in the USDCM Volume 2 *Revegetation* Chapter can be used. The pure live seed (PLS) rates of application recommended in these tables are considered to be absolute minimum rates for seed applied using proper drill-seeding equipment. These are to be considered only as general

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Temporary and Permanent Seeding (TS/PS) EC-2

recommendations when specific design guidance for a particular site is not available. Local governments typically specify seed mixes appropriate for their jurisdiction.

If desired for wildlife habitat or landscape diversity, shrubs such as rubber rabbitbrush (*Chrysothamnus nauseosus*), fourwing saltbush (*Atriplex canescens*) and skunkbush sumac (*Rhus trilobata*) could be added to the upland seed mixes at 0.25, 0.3 and 1 pound PLS/acre, respectively. In riparian zones, planting root stock of such species as American plum (*Prunus americana*), woods rose (*Rosa woodsii*), plains cottonwood (*Populus sargentii*), and willow (*Salix spp.*) may be considered. On non-topsoiled upland sites, a legume such as Ladak alfalfa at 1 pound PLS/acre can be included as a source of nitrogen for perennial grasses.

Timing of seeding is an important aspect of the revegetation process. For upland and riparian areas on the Colorado Front Range, the suitable timing for seeding is from October through May. The most favorable time to plant non-irrigated areas is during the fall, so that seed can take advantage of winter and spring moisture. Seed should not be planted if the soil is frozen, snow covered, or wet.

Seeding dates for the highest success probability of perennial species along the Front Range are generally in the spring from April through early May and in the fall after the first of September until the ground freezes. If the area is irrigated, seeding may occur in summer months, as well. See Table TS/PS-2 for appropriate seeding dates.

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Temporary and Permanent Seeding (TS/PS) EC-2

Table TS/PS-1. Minimum Drill Seeding Rates for Various Temporary Annual Grasses

Species* (Common name)	Growth Season*	Pounds of Pure Live Seed (PLS)/acre	Planting Depth (inches)
1. Oats	Cool	35 - 50	1 - 2
2. Spring wheat	Cool	25 - 35	1 - 2
3. Spring barley	Cool	25 - 35	1 - 2
4. Annual ryegrass	Cool	10 - 15	1/2
5. Millet	Warm	3 - 15	1/2 - 3/4
6. Winter wheat	Cool	20-35	1 - 2
7. Winter barley	Cool	20-35	1 - 2
8. Winter rye	Cool	20-35	1 - 2
9. Triticale	Cool	25-40	1 - 2

\* Successful seeding of annual grass resulting in adequate plant growth will usually produce enough dead-plant residue to provide protection from wind and water erosion for an additional year. This assumes that the cover is not disturbed or mowed closer than 8 inches.

Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1 or where access limitations exist. When hydraulic seeding is used, hydraulic mulching should be applied as a separate operation, when practical, to prevent the seeds from being encapsulated in the mulch.

<sup>b</sup> See Table TS/PS-2 for seeding dates. Irrigation, if consistently applied, may extend the use of cool season species during the summer months.

<sup>c</sup> Seeding rates should be doubled if seed is broadcast, or increased by 50 percent if done using a Brillion Drill or by hydraulic seeding.

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Temporary and Permanent Seeding (TS/PS) EC-2

Table TS/PS-2. Seeding Dates for Annual and Perennial Grasses

Seeding Dates	Annual Grasses (Numbers in table reference species in Table TS/PS-1)		Perennial Grasses	
	Warm	Cool	Warm	Cool
January 1-March 15			✓	✓
March 16-April 30		1,2,3	✓	✓
May 1-May 15			✓	
May 16-June 30	5			
July 1-July 15	5			
July 16-August 31				
September 1-September 30		6, 7, 8, 9		
October 1-December 31			✓	✓

Mulch

Cover seeded areas with mulch or an appropriate rolled erosion control product to promote establishment of vegetation. Anchor mulch by crimping, netting or use of a non-toxic tackifier. See the USDCM Volume 2 *Revegetation* Chapter and Volume 3 *Mulching BMP Fact Sheet* (EC-04) for additional guidance.

Maintenance and Removal

Monitor and observe seeded areas to identify areas of poor growth or areas that fail to germinate. Recess and mulch these areas, as needed.

If a temporary annual seed was planted, the area should be reseeded with the desired perennial mix when there will be no further work in the area. To minimize competition between annual and perennial species, the annual mix needs time to mature and die before seeding the perennial mix. To increase success of the perennial mix, it should be seeded during the appropriate seeding dates the second year after the temporary annual mix was seeded. Alternatively, if this timeline is not feasible, the annual mix seed heads should be removed and then the area seeded with the perennial mix.

An area that has been permanently seeded should have a good stand of vegetation within one growing season if irrigated and within three growing seasons without irrigation in Colorado. Recess portions of the site that fail to germinate or remain bare after the first growing season.

Seeded areas may require irrigation, particularly during extended dry periods. Targeted weed control may also be necessary.

Protect seeded areas from construction equipment and vehicle access.

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Mulching (MU) EC-4

Description

Mulching consists of evenly applying straw, hay, shredded wood mulch, rock, bark or compost to disturbed soils and securing the mulch by crimping, tackifiers, netting or other measures. Mulching helps reduce erosion by protecting bare soil from rainfall impact, increasing infiltration, and reducing runoff. Although often applied in conjunction with temporary or permanent seeding, it can also be used for temporary stabilization of areas that cannot be reseeded due to seasonal constraints.



Photograph MU-1. An area that was recently seeded, mulched, and crimped.

Mulch can be applied either using standard mechanical dry application methods or using hydromulching equipment that hydraulically applies a slurry of water, wood fiber mulch, and often a tackifier.

Appropriate Uses

Use mulch in conjunction with seeding to help protect the seedbed and stabilize the soil. Mulch can also be used as a temporary cover on low to mild slopes to help temporarily stabilize disturbed areas where growing season constraints prevent effective reseeding. Disturbed areas should be properly mulched and tacked, or seeded, mulched and tacked promptly after final grade is reached (typically within no longer than 14 days) on portions of the site not otherwise permanently stabilized.

Standard dry mulching is encouraged in most jurisdictions; however, hydromulching may not be allowed in certain jurisdictions or may not be allowed near waterways.

Do not apply mulch during windy conditions.

Design and Installation

Prior to mulching, surface-roughen areas by rolling with a crimping or punching type roller or by track walking. Track walking should only be used where other methods are impractical because track walking with heavy equipment typically compacts the soil.

A variety of mulches can be used effectively at construction sites. Consider the following:

Mulch	
Functions	
Erosion Control	Yes
Sediment Control	Moderate
Site/Material Management	No

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Mulching (MU) EC-4

Clean, weed-free and seed-free cereal grain straw should be applied evenly at a rate of 2 tons per acre and must be tacked or fastened by a method suitable for the condition of the site. Straw mulch must be anchored (and not merely placed) on the surface. This can be accomplished mechanically by crimping or with the aid of tackifiers or nets. Anchoring with a crimping implement is preferred, and is the recommended method for areas flatter than 3:1. Mechanical crimpers must be capable of tacking the long mulch fibers into the soil to a depth of 3 inches without cutting them. An agricultural disk, while not an ideal substitute, may work if the disk blades are dull or blunted and set vertically; however, the frame may have to be weighted to afford proper soil penetration.

Grass hay may be used in place of straw; however, because hay is comprised of the entire plant including seed, mulching with hay may seed the site with non-native grass species which might in turn out-compete the native seed. Alternatively, native species of grass hay may be purchased, but can be difficult to find and are more expensive than straw. Purchasing and utilizing a certified weed-free straw is a easier and less costly mulching method. When using grass hay, follow the same guidelines as for straw (provided above).

On small areas sheltered from the wind and heavy runoff, spraying a tackifier on the mulch is satisfactory for holding it in place. For steep slopes and special situations where greater control is needed, erosion control blankets anchored with stakes should be used instead of mulch.

Hydraulic mulching consists of wood cellulose fibers mixed with water and a tackifying agent and should be applied at a rate of no less than 1,500 pounds per acre (1,425 lbs of fibers mixed with at least 75 lbs of tackifier) with a hydraulic mulcher. For steeper slopes, up to 2000 pounds per acre may be required for effective hydromulching. Hydromulch typically requires up to 24 hours to dry; therefore, it should not be applied immediately prior to inclement weather. Application to roads, waterways and existing vegetation should be avoided.

Erosion control mats, blankets, or nets are recommended to help stabilize steep slopes (generally 3:1 and steeper) and waterways. Depending on the product, these may be used alone or in conjunction with grass or straw mulch. Normally, use of these products will be restricted to relatively small areas. Biodegradable mats made of straw and jute, straw-coconut, coconut fiber, or eucalyptus can be used instead of mulch. (See the ECM-TRM BMP for more information.)

Some tackifiers or binders may be used to anchor mulch. Check with the local jurisdiction for allowed tackifiers. Manufacturer's recommendations should be followed at all times. (See the Soil Binder BMP for more information on general types of tackifiers.)

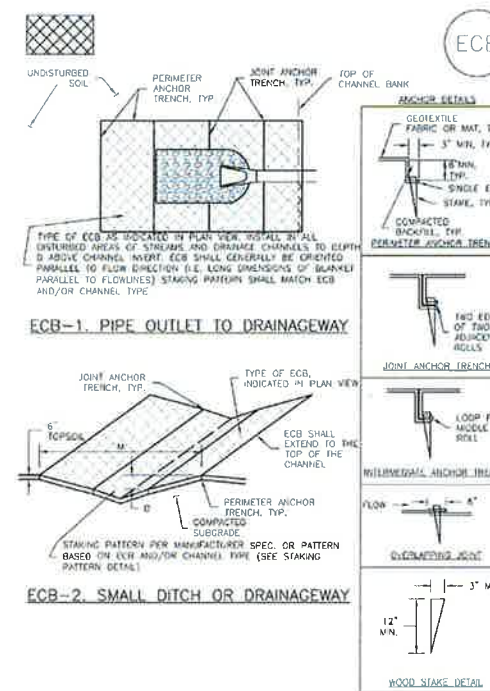
Rock can also be used as mulch. It provides protection of exposed soils to wind and water erosion and allows infiltration of precipitation. An aggregate base course can be spread on disturbed areas for temporary or permanent stabilization. The rock mulch layer should be thick enough to provide full coverage of exposed soil on the area it is applied.

Maintenance and Removal

After mulching, the bare ground surface should not be more than 10 percent exposed. Reapply mulch, as needed, to cover bare areas.

MU-2	Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3	June 2012
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Rolled Erosion Control Products (RECP) EC-6



RECP-6	Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3	November 2010
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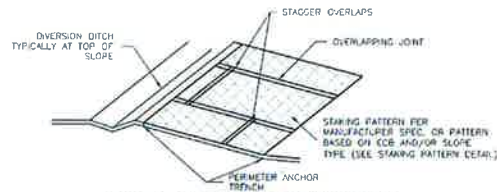


#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/01/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/20/2025	MM

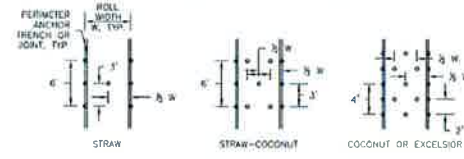
NOT FOR CONSTRUCTION

MAIN STREET OFF-STREET PARKING LOT  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

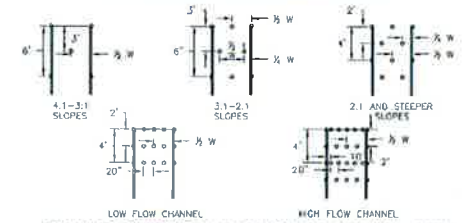
811  
Have plans below. Call before you dig.



ECB-3, OUTSIDE OF DRAINAGEWAY



STAKING PATTERNS BY ECB TYPE



STAKING PATTERNS BY SLOPE OR CHANNEL TYPE

EROSION CONTROL BLANKET INSTALLATION NOTES

- SEE PLAN VIEW FOR:
  - LOCATION OF ECB
  - TYPE OF ECB (STRAW, STRAW-COCONUT, COCONUT, OR EXCELSIOR)
  - AREA, A, IN SQUARE YARDS OF EACH TYPE OF ECB
- 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR RECP, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS.
- IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO ECB INSTALLATION AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR Voids SHALL EXIST UNDER THE BLANKET.
- PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL BLANKET AREAS.
- JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL ECBs EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT.
- INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR ECBs.
- OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES.
- MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
- ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBs SHALL BE RESEEDED AND MULCHED.
- DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

TABLE ECB-1. ECB MATERIAL SPECIFICATIONS

TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING**
STRAW*	-	100%	-	DOUBLE/NATURAL
STRAW-COCONUT	30% MIN	70% MAX	-	DOUBLE/NATURAL
COCONUT	100%	-	-	DOUBLE/NATURAL
EXCELSIOR	-	-	100%	DOUBLE/NATURAL

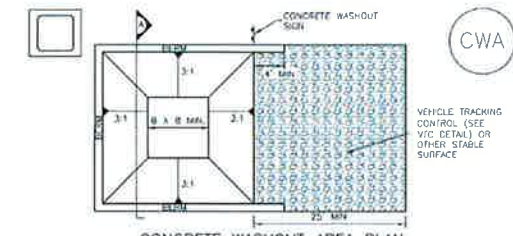
\*STRAW ECBs MAY ONLY BE USED ON SLOPES OF 2:1 AND STEEPER SLOPES. \*\*MATERIAL NETTING MAY BE AVAILABLE IN SOME JURISDICTIONS.

EROSION CONTROL BLANKET MAINTENANCE NOTES

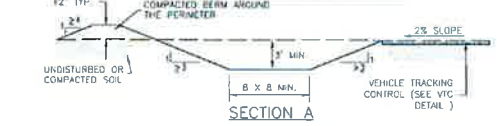
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ECBs SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE, UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION.
- ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW THE GEOTEXTILE THAT HAVE EXPOSED TO EROSION A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEEDED AND MULCHED AND THE ECB REINSTALLED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

DETAILS ADAPTED FROM EROSION CONTROL, DESIGN AND TYPING OF PAPER COLLECTED, NOT AVAILABLE IN AUTOCAD



CONCRETE WASHOUT AREA PLAN



SECTION A

CWA-1, CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

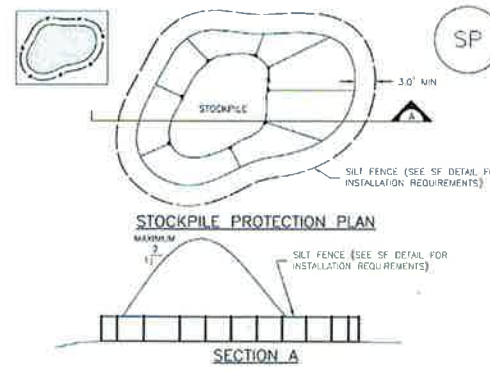
- SEE PLAN VIEW FOR:
  - CWA INSTALLATION LOCATION
- DO NOT LOCATE AN UNLINED CWA WITHIN 1,000' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR GRABING WATER SOURCES IF SITE CONSTRAINTS MAKE THIS UNFEASIBLE, OR A HIGHLY PERMEABLE SOIL EXISTS ON SITE. THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BMP SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SOILS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A GALLEY-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

DETAILS ADAPTED FROM EROSION CONTROL, DESIGN AND TYPING OF PAPER COLLECTED, NOT AVAILABLE IN AUTOCAD

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



STOCKPILE PROTECTION PLAN

SECTION A

SP-1, STOCKPILE PROTECTION

STOCKPILE PROTECTION INSTALLATION NOTES

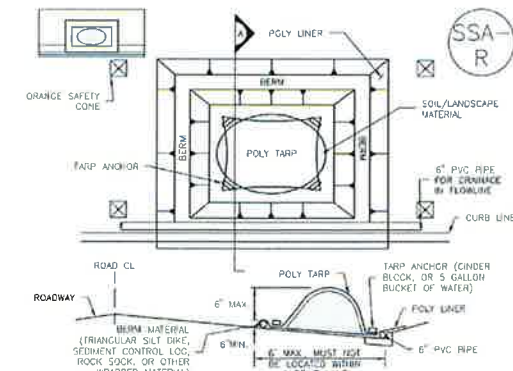
- SEE PLAN VIEW FOR:
  - LOCATION OF STOCKPILE
  - TYPE OF STOCKPILE PROTECTION
- INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ADULTY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLIPS AWAY FROM THE PERIMETER, AND OTHER FACTORS.
- STABILIZE THE STOCKPILE SURFACE WITH SURFACE BIODEGRADABLE TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE RESEED AND MULCHED WITH A TEMPORARY GRASS COVER PACE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
- FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNSTREAM CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

STOCKPILE PROTECTION MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
- STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

DETAILS ADAPTED FROM EROSION CONTROL, DESIGN AND TYPING OF PAPER COLLECTED, NOT AVAILABLE IN AUTOCAD

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



SP-2, MATERIALS STAGING IN ROADWAY

MATERIALS STAGING IN ROADWAYS INSTALLATION NOTES

- SEE PLAN VIEW FOR:
  - LOCATION OF MATERIAL STAGING AREAS
  - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION
- FEATURE MUST BE INSTALLED PRIOR TO EXCAVATION, EARTHWORK OR DELIVERY OF MATERIALS.
- MATERIALS MUST BE STAGED ON THE POLY LINER. ANY EXCESSIVE MATERIALS DISPOSED ON PAVED SURFACE OR ALONG CURB LINE MUST BE CLEANED UP PROMPTLY.
- POLY LINER AND TARP COVER SHOULD BE OF SIGNIFICANT THICKNESS TO PREVENT DAMAGE OR LOSS OF INTEGRITY.
- SAND BAGS MAY BE SUBSTITUTED TO ANCHOR THE COVER TARP OR PROVIDE BERMING UNDER THE BASE LINER.
- FEATURE IS NOT INTENDED FOR USE WITH HOT MATERIAL THAT WILL BE DRIVING AND/OR SPREADING OUT ON THE POLY LINER OR FOR DEVIOLATION MATERIALS.
- THIS FEATURE CAN BE USED FOR:
  - UTILITY REPAIRS
  - OTHER STAGING LOCATIONS AND OPTIONS ARE LIMITED
  - OTHER LIMITED APPLICATION AND SHORT DURATION STAGING



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/07/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/26/2025	MM

NOT FOR CONSTRUCTION

MAIN STREET OFF-STREET PARKING LOT  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

**MM-2 Stockpile Management (SM)**

**MATERIALS STAGING IN ROADWAY MAINTENANCE NOTES**

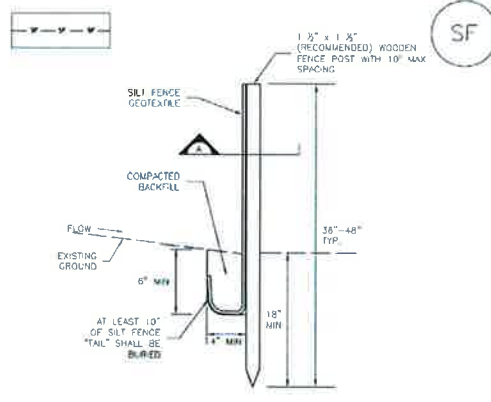
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. INSPECT PVC PIPE ALONG CURB LINE FOR CLOGGING AND DEBRIS. REMOVE OBSTRUCTIONS PROMPTLY.
5. CLEAN MATERIAL FROM PAVED SURFACES BY SWEEPING OR VACUUMING.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM ALBERTA GOVERNMENT)

SP-6 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

**Silt Fence (SF) SC-1**



**SILT FENCE**



**SECTION A**

**SF-1. SILT FENCE**

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Urban Storm Drainage Criteria Manual Volume 3

**SC-1 Silt Fence (SF) SC-1**

**SILT FENCE INSTALLATION NOTES**

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER RAINING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-3 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR MOVING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRACTOR OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JAMMING JACK" OR BY WHEEL ROLLING. EQUIPMENT SHALL BE SUCH THAT SILT FENCE REMAINS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE PLACED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

**SILT FENCE MAINTENANCE NOTES**

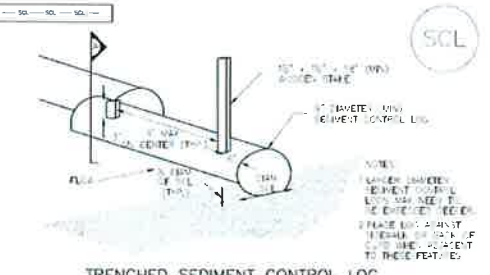
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS, AND MULCH OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF DENVER, NOT AVAILABLE IN ALBERTA)

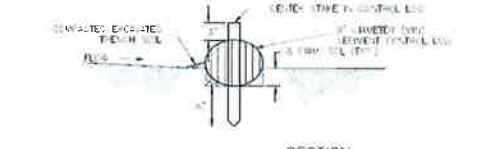
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SP-4 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

**Sediment Control Log (SCL) SC-2**

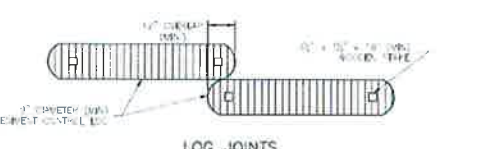


**TRENCHED SEDIMENT CONTROL LOG**



**SECTION A**

**TRENCHED SEDIMENT CONTROL LOG**

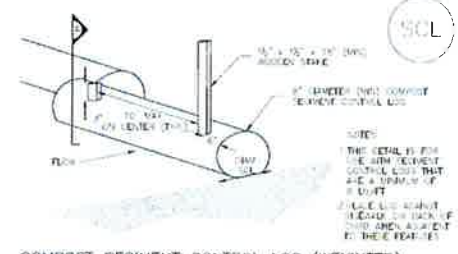


**LOG JOINTS**

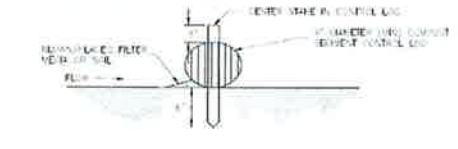
**SC1-1. TRENCHED SEDIMENT CONTROL LOG**

November 2015 Urban Drainage and Flood Control District November 2015  
Urban Storm Drainage Criteria Manual Volume 3

**SC-2 Sediment Control Log (SCL)**

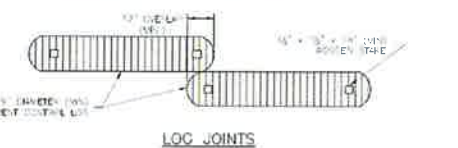


**COMPOST SEDIMENT CONTROL LOG (WEIGHTED)**



**SECTION A**

**COMPOST SEDIMENT CONTROL LOG**

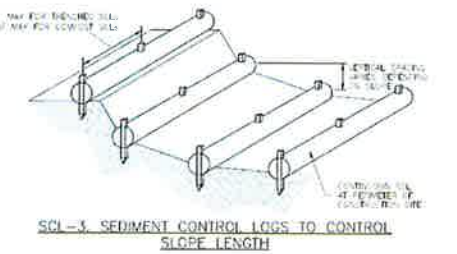


**LOG JOINTS**

**SC1-2. COMPOST SEDIMENT CONTROL LOG (WEIGHTED)**

SC1-1 Urban Drainage and Flood Control District November 2015  
Urban Storm Drainage Criteria Manual Volume 3

**Sediment Control Log (SCL) SC-2**



**SC1-3. SEDIMENT CONTROL LOGS TO CONTROL SLOPE LENGTH**

November 2015 Urban Drainage and Flood Control District November 2015  
Urban Storm Drainage Criteria Manual Volume 3

**SC-2 Sediment Control Log (SCL)**

**SEDIMENT CONTROL LOG INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PERPENDICULAR TO ANY UPSTREAM LANE-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STAKES, COMPOST, EXCELLOID, OR COCOFIBER. PRIOR, AND SHALL BE FREE OF ANY HAZARDOUS WEED SEEDS OR DEBRIS INCLUDING NAILS, NAILS AND CHAINS WEAR.
4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS BY STAKES AND STAKES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/2 THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE, LIGHT TRENCH INSTALLATION WITH DEBRIS NOT TO DAMAGE LANDSCAPE. A DEEPER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT<sup>2</sup> DO NOT NEED TO BE TRENCHED.
6. THE UPSTREAM END OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAMIN ROLLER OR ROLLER IN PLACE.
7. FOLLOW MANUFACTURER'S GUIDANCE FOR STAKING. IF MANUFACTURER'S INSTRUCTIONS DO NOT SPECIFY STAKING, STAKES SHALL BE PLACED ON 4' CENTERS AND ENDED IN A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE RE-PLACED. COMPOST LOGS SHALL BE STAKED 10' ON CENTER.

**SEDIMENT CONTROL LOG MAINTENANCE NOTES**

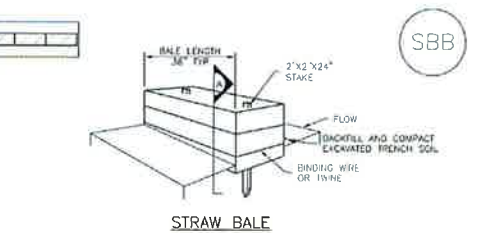
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS SOILS ARE REMOVED AND THE AREA RESEED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDS, AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, SOUTHERN COLORADO COUNTY, COLORADO, AND CITY OF DENVER, NOT AVAILABLE IN ALBERTA)

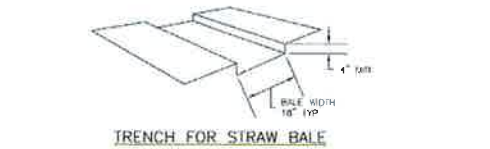
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SC1-6 Urban Drainage and Flood Control District November 2015  
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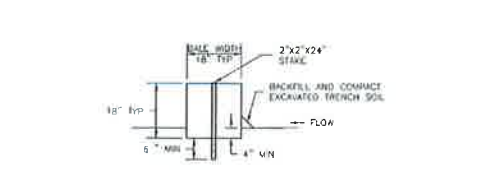
**SC-3 Straw Bale Barrier (SBB)**



**STRAW BALE**



**TRENCH FOR STRAW BALE**



**SECTION A**

**SBB-1. STRAW BALE**

SBB-2 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

terraccina design td  
10200 E. Colfax Ave., Suite 100  
Denver, CO 80231  
PH: 303.832.8887

#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/17/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

Know what's below. Call 911 before you dig.

Page 266  
SHEET 29 OF 32

**STRAW BALE INSTALLATION NOTES**

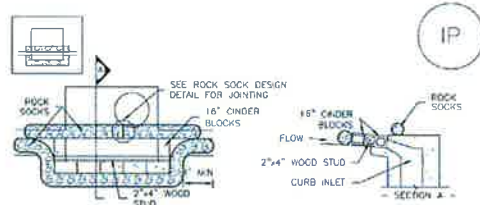
1. SEE PLAN VIEW FOR LOCATION(S) OF STRAW BALES.
2. STRAW BALES SHALL CONSIST OF CERTIFIED WOOD FREE STRAW OR HAY. LOCAL JURISDICTIONS MAY REQUIRE FROST FREE BALES ARE WOOD FREE.
3. STRAW BALES SHALL CONSIST OF APPROXIMATELY 5 CUBIC FEET OF STRAW OR HAY AND WEIGH NOT LESS THAN 25 POUNDS.
4. WHEN STRAW BALES ARE USED IN SERIES AS A BARRIER, THE END OF EACH BALE SHALL BE TIGHTLY ADJUTING ONE ANOTHER.
5. STRAW BALE DIMENSIONS SHALL BE APPROXIMATELY 54"X18"X18".
6. A UNIFORM ANCHOR TRENCH SHALL BE EXCAVATED TO A DEPTH OF 4" STRAW BALES SHALL BE PLACED SO THAT BINDING THINE IS ENCOMPASSING THE VERTICAL SIDES OF THE BALES(S). ALL EXCAVATED SOIL SHALL BE PLACED ON THE UPHILL SIDE OF THE STRAW BALES(S) AND COMPACTED.
7. TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE 2"x2"x24". WOODEN STAKES SHALL BE DRIVEN 6" INTO THE GROUND.

**STRAW BALE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. STRAW BALES SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR DAMAGED BEYOND REPAIR.
5. SEDIMENT ACCUMULATED UPSTREAM OF STRAW BALE BARRIER SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE STRAW BALE BARRIER.
6. STRAW BALES ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
7. WHEN STRAW BALES ARE REVOLVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM BMPs OF FINNEY, ESTERSON, AND ALBERTSON IN ALASKA)

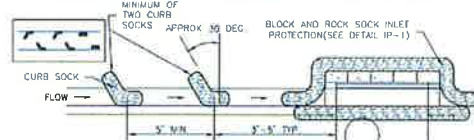
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



**IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION**

**BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**

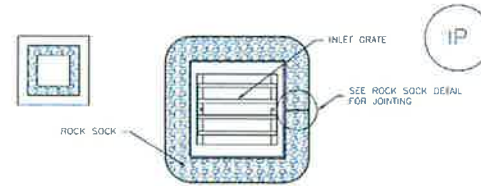
1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ADJUTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BASS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ADJUTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



**IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**

**CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**

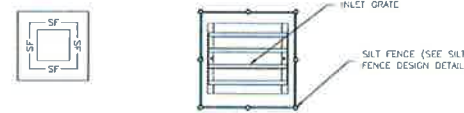
1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.



**IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION**

**ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES**

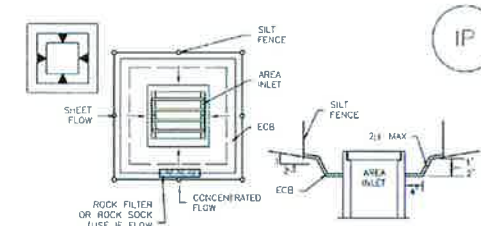
1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WHIFFLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



**IP-4. SILT FENCE FOR SUMP INLET PROTECTION**

**SILT FENCE INLET PROTECTION INSTALLATION NOTES**

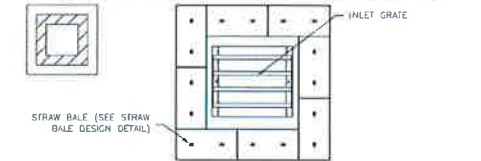
1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 5 FEET.
3. STRAW WHIFFLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



**IP-5. OVEREXCAVATION INLET PROTECTION**

**OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES**

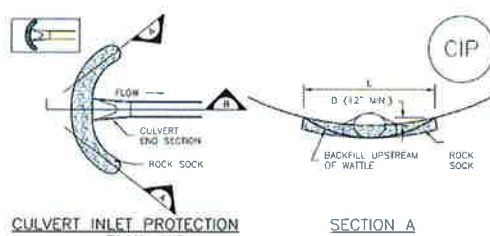
1. THIS FORM OF INLET PROTECTION IS PREFERABLE APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
2. WHEN USING FOR CONCENTRATED FLOWS, SHAPE SLOPE BY 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
3. SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



**IP-6. STRAW BALE FOR SUMP INLET PROTECTION**

**STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES**

1. SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ADJUTING ONE ANOTHER.



**CIP-1. CULVERT INLET PROTECTION**

**CULVERT INLET PROTECTION INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF CULVERT INLET PROTECTION.
  2. SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRABBER REQUIREMENTS AND JOINING DETAIL.
- CULVERT INLET PROTECTION MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  4. SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 OF THE HEIGHT OF THE ROCK SOCK.
  5. CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM ALASKA, CALIFORNIA, AND CITY OF ALASKA, COURTESY NOT AVAILABLE IN ALASKA)

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DRAINER MEMORANDUM AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. USFCO NEITHER ENCOURAGES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION METHODS. IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S LITERATURE.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

**GENERAL INLET PROTECTION INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF INLET PROTECTION. TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6).
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER BALE CONSTRUCTION OR PAVING IS COMPLETE, (TYPICALLY WITHIN 48 HOURS) OF A RAINFALL/STORM EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF RAIN.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**INLET PROTECTION MAINTENANCE NOTES**

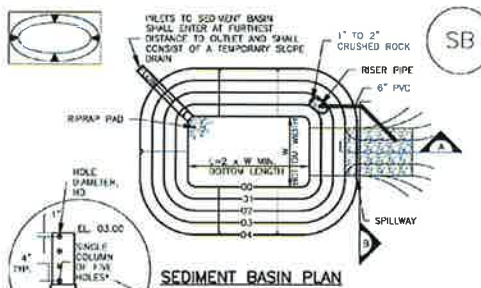
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/2 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED. CHECKS THE LOCAL JURISDICTION APPROVES CULVERT REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDING AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

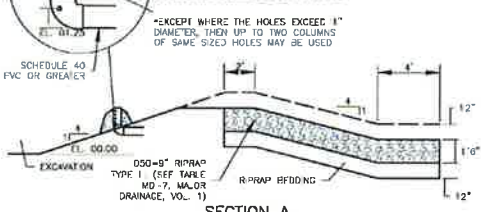
(DETAILS ADAPTED FROM BMPs OF FINNEY, ESTERSON, AND ALBERTSON IN ALASKA)

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DRAINER MEMORANDUM AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. USFCO NEITHER ENCOURAGES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION METHODS. IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S LITERATURE.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.



**SEDIMENT BASIN PLAN**



**SECTION A**

Upstream Drainage Area (rounded to nearest acre) (ac)	Basin Bottom Width (ft.) (ft.)	Spillway Crest Length (ft.) (ft.)	Basin Diameter (ft.) (ft.)
1	12 1/2	2	5 1/2
2	21	3	9 1/2
3	28	4	13
4	33 1/2	5	16 1/2
5	38 1/2	6	19 1/2
6	43	7	22 1/2
7	47 1/2	8	25 1/2
8	51	9	28 1/2
9	55	10	31 1/2
10	58 1/2	11	34 1/2
11	61	12	37 1/2
12	64	13	40 1/2
13	67 1/2	14	43 1/2
14	70 1/2	15	46 1/2
15	73 1/2	16	49 1/2

**SEDIMENT BASIN INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF SEDIMENT BASIN. TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN). FOR STANDARD BASIN, BOTTOM WIDTH IS, CREST LENGTH IS, AND HOLE DIAMETER, INCH. FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING HOLES HEIGHT, NUMBER OF COLUMNS N, HOLE DIAMETER, HO AND PVC DIAWATER D.
2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
3. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON OR BARRIERS AS A STORMWATER CONTROL.
4. ENHANCEMENT MATERIAL SHALL CONSIST OF SOIL, FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE, GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
5. ENHANCEMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
6. PIPE, 30CM OR GREATER SHALL BE USED.
7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASINS FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR ENHANCED, STORAGE, WETLAND, SPILLWAY, OULET, AND OULET PROTECTION DETAILS FOR ANY SEDIMENT BASINS THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/07/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS



3: 0205 11:19 AM - X:\TOWN OF ELIZABETH\CADD\LANDSD - MAIN ST PARKING LOT\MAINWAY CDS - DETAILS.DWG 7

**Sediment Basin (SB)**

SC-7

**SEDIMENT BASIN MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (1.0 FEET) BELOW THE SPILLWAY CHISEL.
5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GROSS SOILS IS ACCEPTED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCHES OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

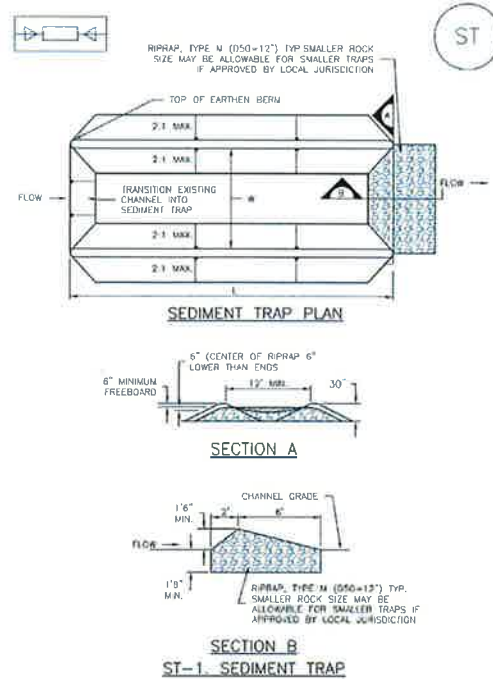
(DETAILS ADAPTED FROM SDG&S CDMP-03-00000)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

August 2013 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SB-7

**Sediment Trap (ST)**

SC-8



ST-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Sediment Trap (ST)**

SC-8

**SEDIMENT TRAP INSTALLATION NOTES**

1. SEE PLAN VIEW FOR: -LOCATION, LENGTH AND WIDTH OF SEDIMENT TRAP
2. ONLY USE FOR DRAINAGE AREAS LESS THAN 1 ACRE.
3. SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY UPRIGHTING AND-DISTURBING ACTIVITIES.
4. SEDIMENT TRAP BERM SHALL BE CONSTRUCTED FROM MATERIAL FROM EXCAVATION. THE BERM SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557.
5. SEDIMENT TRAP OUTLET TO BE CONSTRUCTED OF RIPRAP, TYPE M (350-12") TYP SMALLER ROCK SIZE MAY BE ALLOWABLE FOR SMALLER TRAPS IF APPROVED BY LOCAL JURISDICTION.
6. THE TOP OF THE EARTHEN BERM SHALL BE A MINIMUM OF 6" HIGHER THAN THE TOP OF THE RIPRAP OUTLET STRUCTURE.
7. THE ENDS OF THE RIPRAP OUTLET STRUCTURE SHALL BE A MINIMUM OF 6" HIGHER THAN THE CENTER OF THE OUTLET STRUCTURE.

**SEDIMENT TRAP MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. REMOVE SEDIMENT ACCUMULATED IN TRAP AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN THE SEDIMENT DEPTH REACHES 3/4 THE HEIGHT OF THE RIPRAP OUTLET.
5. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCHES OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM SDG&S CDMP-03-00000)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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**Construction Phasing/Sequencing (CP)**

SM-1

Table CP-1. Typical Phased BMP Installation for Construction Projects

Project Phase	BMPs
Pre-disturbance, Site Access	<ul style="list-style-type: none"> <li>• Install sediment controls downgradient of access point (on paved streets this may consist of inlet protection).</li> <li>• Establish vehicle tracking control at entrances to paved streets. Fence as needed.</li> <li>• Use construction fencing to define the boundaries of the project and limit access to areas of the site that are not to be disturbed.</li> </ul> <p>Note: it may be necessary to protect inlets in the general vicinity of the site, even if not downgradient, if there is a possibility that sediment tracked from the site could contribute to the inlets.</p>
Site Clearing and Grubbing	<ul style="list-style-type: none"> <li>• Install perimeter controls as needed on downgradient perimeter of site (silt fence, waffles, etc).</li> <li>• Limit disturbance to those areas planned for disturbance and protect undisturbed areas within the site (construction fence, flagging, etc).</li> <li>• Preserve vegetative buffer at site perimeter.</li> <li>• Create stabilized staging area.</li> <li>• Locate portable toilets on flat surfaces away from drainage paths. Stake in areas susceptible to high winds.</li> <li>• Construct concrete washout area and provide signage.</li> <li>• Establish waste disposal areas.</li> <li>• Install sediment basins.</li> <li>• Create dirt perimeter berms and/or brush barriers during grubbing and clearing.</li> <li>• Separate and stockpile topsoil, leave roughened and/or cover.</li> <li>• Protect stockpiles with perimeter control BMPs. Stockpiles should be located away from drainage paths and should be accessed from the upgradient side so that perimeter controls can remain in place on the downgradient side. Use erosion control blankets, temporary seeding, and/or mulch for stockpiles that will be inactive for an extended period.</li> <li>• Leave disturbed area of site in a roughened condition to limit erosion. Consider temporary revegetation for areas of the site that have been disturbed but that will be inactive for an extended period.</li> <li>• Water to minimize dust but not to the point that watering creates runoff.</li> </ul>

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**Construction Phasing/Sequencing (CP)**

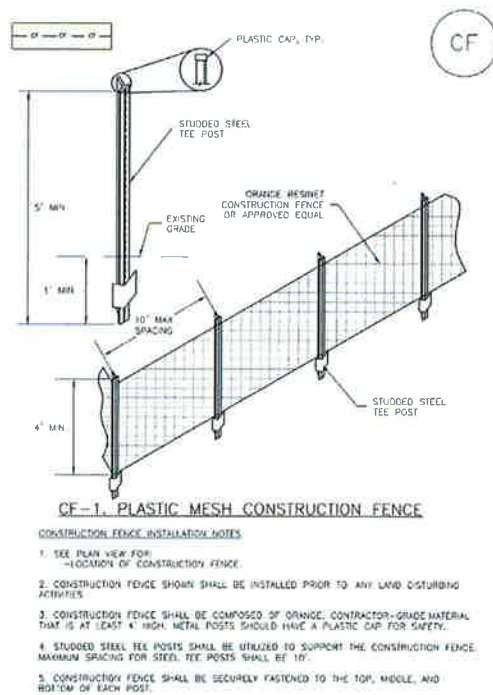
SM-1

Project Phase	BMPs
Utility And Infrastructure Installation	<p><b>In Addition to the Above BMPs:</b></p> <ul style="list-style-type: none"> <li>• Close trench as soon as possible (generally at the end of the day).</li> <li>• Use rough-cut street control or apply road base for streets that will not be promptly paved.</li> <li>• Provide inlet protection as streets are paved and inlets are constructed.</li> <li>• Protect and repair BMPs, as necessary.</li> <li>• Perform street sweeping as needed.</li> </ul>
Building Construction	<p><b>In Addition to the Above BMPs:</b></p> <ul style="list-style-type: none"> <li>• Implement materials management and good housekeeping practices for home building activities.</li> <li>• Use perimeter controls for temporary stockpiles from foundation excavations.</li> <li>• For lots adjacent to streets, lot-line perimeter controls may be necessary at the back of curb.</li> </ul>
Final Grading	<p><b>In Addition to the Above BMPs:</b></p> <ul style="list-style-type: none"> <li>• Remove excess or waste materials.</li> <li>• Remove stored materials.</li> </ul>
Final Stabilization	<p><b>In Addition to the Above BMPs:</b></p> <ul style="list-style-type: none"> <li>• Seed and mulch/trackify.</li> <li>• Seed and install blankets on steep slopes.</li> <li>• Remove all temporary BMPs when site has reached final stabilization.</li> </ul>

CP-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Construction Fence (CF)**

SM-3



CF-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Construction Fence (CF)**

SM-3

**CONSTRUCTION FENCE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCHES, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

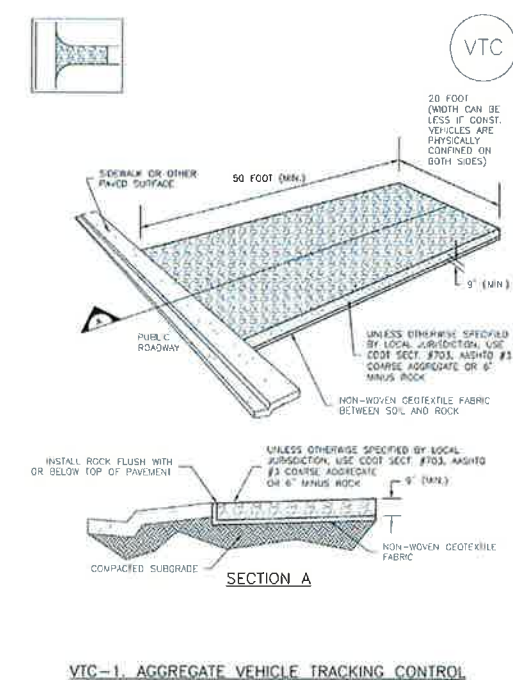
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCO STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM SDG&S CDMP-03-00000)

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**Vehicle Tracking Control (VTC)**

SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

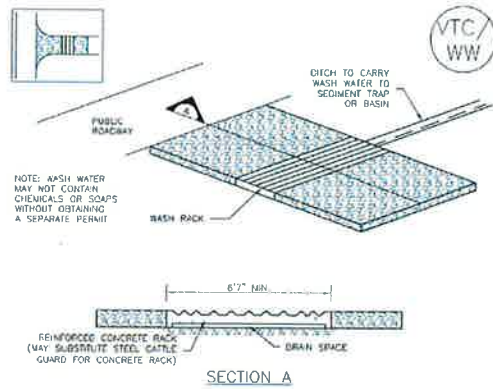
#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/02/2024	MM
2	2ND SUBMITTAL	01/17/2025	MM
3	3RD SUBMITTAL	02/28/2025	MM

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

Know what's below. Call before you dig.

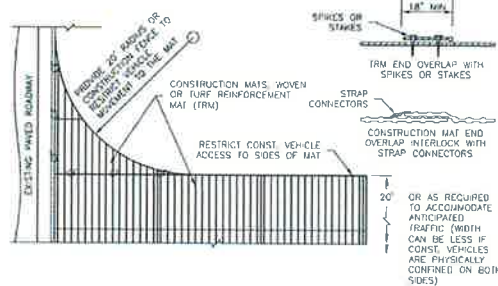
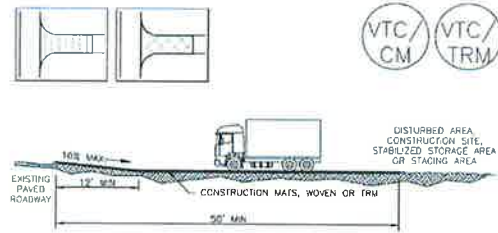
**SM-4 Vehicle Tracking Control (VTC)**



**VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK**

VTC-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Vehicle Tracking Control (VTC) SM-4**



**VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)**

VTC-5 November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3

**SM-4 Vehicle Tracking Control (VTC)**

**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S). TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

DETAILS ADAPTED FROM CITY OF BROWARD COUNTY, COLORADO, NOT AVAILABLE IN AIRBORNE

VTC-6 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Stabilized Construction Roadway (SCR) SM-5**

**Description**

A stabilized construction roadway is a temporary method to control sediment runoff, vehicle tracking, and dust from roads during construction activities.

**Appropriate Uses**

Use on high traffic construction roads to minimize dust and erosion.

Stabilized construction roadways are used instead of rough-cut street controls on roadways with frequent construction traffic.

**Design and Installation**

Stabilized construction roadways typically involve two key components: 1) stabilizing the road surface with an aggregate base course of 3-inch-diameter granular material and 2) stabilizing roadside ditches, if applicable. Early application of road base is generally suitable where a layer of coarse aggregate is specified for final road construction.

**Maintenance and Removal**

Apply additional gravel as necessary to ensure roadway integrity.

Inspect drainage ditches along the roadway for erosion and stabilize, as needed, through the use of check dams or rolled erosion control products.

Gravel may be removed once the road is ready to be paved. Prior to paving, the road should be inspected for grade changes and damage. Regrade and repair as necessary.

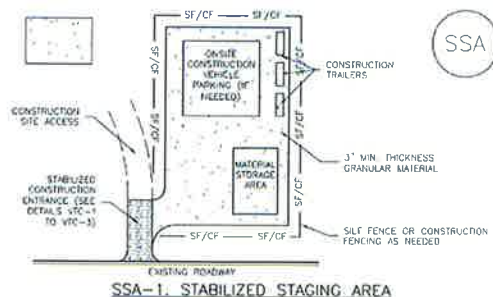


Photograph SCR-1. Stabilized construction roadway.

Stabilized Construction Roadway	
Functions	
Erosion Control	Yes
Sediment Control	Moderate
Site/Material Management	Yes

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**Stabilized Staging Area (SSA) SM-6**



**SSA-1. STABILIZED STAGING AREA**

**STABILIZED STAGING AREA INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF STAGING AREA(S). CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING AS NEEDED.

**STABILIZED STAGING AREA MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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**SM-6 Stabilized Staging Area (SSA)**

**STABILIZED STAGING AREA MAINTENANCE NOTES**

5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, DECEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

DETAILS ADAPTED FROM BROWARD COUNTY, COLORADO, NOT AVAILABLE IN AIRBORNE

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**SM-7 Street Sweeping and Vacuuming (SS)**

**Description**

Street sweeping and vacuuming remove sediment that has been tracked onto roadways to reduce sediment transport into storm drain systems or a surface waterway.

**Appropriate Uses**

Use this practice at construction sites where vehicles may track sediment offsite onto paved roadways.

**Design and Installation**

Street sweeping or vacuuming should be conducted when there is noticeable sediment accumulation on roadways adjacent to the construction site. Typically, this will be concentrated at the entrance/exit to the construction site. Well-maintained stabilized construction entrances, vehicle tracking controls and tire wash facilities can help reduce the necessary frequency of street sweeping and vacuuming.

On smaller construction sites, street sweeping can be conducted manually using a shovel and broom. Never wash accumulated sediment on roadways into storm drains.

**Maintenance and Removal**

- Inspect paved roads around the perimeter of the construction site on a daily basis and more frequently, as needed. Remove accumulated sediment, as needed.
- Following street sweeping, check inlet protection that may have been displaced during street sweeping.
- Inspect area to be swept for materials that may be hazardous prior to beginning sweeping operations.



Photograph SS-1. A street sweeper removes sediment and potential pollutants along the curb line at a construction site. Photo courtesy of Tom Givie.

Street Sweeping/Vacuuming	
Functions	
Erosion Control	No
Sediment Control	Yes
Site/Material Management	Yes

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**SM-12 Paving and Grinding Operations (PGO)**

**Description**

Manage runoff from paving and grinding operations to reduce pollutants entering storm drainage systems and natural drainageways.

**Appropriate Uses**

Use runoff management practices during all paving and grinding operations such as surfacing, resurfacing, and saw cutting.

**Design and Installation**

There are a variety of management strategies that can be used to manage runoff from paving and grinding operations:

- Establish inlet protection for all inlets that could potentially receive runoff.
- Schedule paving operations when dry weather is forecasted.
- Keep spill kits onsite for equipment spills and keep drip pans onsite for stored equipment.
- Install perimeter controls when asphalt material is used on embankments or shoulders near waterways, drainages, or inlets.
- Do not wash any paved surface into receiving storm drain inlets or natural drainageways. Instead, loose material should be swept or vacuumed following paving and grinding operations.
- Store materials away from drainages or waterways.
- Recycle asphalt and pavement material when feasible. Material that cannot be recycled must be disposed of in accordance with applicable regulations.

See BMP Fact Sheets for Inlet Protection, Silt Fence and other perimeter controls selected for use during paving and grinding operations.

**Maintenance and Removal**

Perform maintenance and removal of inlet protection and perimeter controls in accordance with their respective fact sheets.

Promptly respond to spills in accordance with the spill prevention and control plan.

Paving and Grinding Operations	
Functions	
Erosion Control	No
Sediment Control	No
Site/Material Management	Yes

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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	11/01/2009	MM
2	2ND SUBMITTAL	01/17/2010	MM
3	3RD SUBMITTAL	02/26/2010	MM

**NOT FOR CONSTRUCTION**

**MAIN STREET OFF-STREET PARKING LOT**  
TOWN OF ELIZABETH, COLORADO  
CONSTRUCTION DOCUMENTS  
DETAILS

Know what's below. Call before you dig.

Town of Elizabeth - Main Street Depot - Grading, Paving, Concrete, & Utilities					
Description	Engineers Quantity (Bid)	Contractors Takeoff	Unit	Unit Price	Contractor Bid (Engineers Qty)
<b>EARTHWORK</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Cut to Fill	2,960		CY	\$ -	\$ -
Excess Cut to Haul off Site			CY	\$ -	\$ -
Imported Fill Material	2,604				
Fine Grading			SY	\$ -	\$ -
Temporary Sediment Basins	1		EA	\$ -	\$ -
Clearing/Grubbing	2		AC	\$ -	\$ -
Topsoil - Strip, Stockpile, & Redistribute (6 Inch)			CY	\$ -	\$ -
Subex Excavation			CY	\$ -	\$ -
<b>PAVING</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Asphalt Pavement	106		SY	\$ -	\$ -
Saw Cut Existing Asphalt	125		LF	\$ -	\$ -
After Utility Install - Cut Grade to subgrade design	1,487		SY	\$ -	\$ -
Haul excess dirt to onsite stockpile (after cutting to subgrade) - Per 1000/CY			CY	\$ -	\$ -
Subgrade Prep (rip and re-compact)	5,947		SY	\$ -	\$ -
Local - Asphalt - 5" Thick	3,992		SY	\$ -	\$ -
Local - Asphalt - 5" Thick	1,347		TONS		
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	5,947		SY	\$ -	\$ -
8" Base Course "ABC" - Prep (Grading and Compaction to 1' beyond back of curb)	2,114		TONS		
Adjust Manholes/Cleanouts	2		EA	\$ -	\$ -
Adjust Valves	4		EA	\$ -	\$ -
Public Signage	13		EA	\$ -	\$ -
Street Name Signs	1		EA	\$ -	\$ -
Striping - White Line - 6" Solid	2,736		LF	\$ -	\$ -
Striping - Crosswalk (2' x 8' Bar)	5		EA	\$ -	\$ -
Striping - Stop Bar	8		LF	\$ -	\$ -
Striping - Road Markings	12		EA	\$ -	\$ -
<b>CONCRETE</b>					
Mobilization	1		EA	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Remove Curb & Gutter	50		LF	\$ -	\$ -
Remove Sidewalk	30		SY	\$ -	\$ -
Curb & Gutter - Mountable w/ 2' Pan (price includes subgrade prep)	1,771		LF	\$ -	\$ -
Curb & Gutter - Mountable w/ 1' Pan (price includes subgrade prep)	922		LF	\$ -	\$ -
Crosspan	1		LS	\$ -	\$ -
Curb Chase	32		LF	\$ -	\$ -
6' Concrete Sidewalk (6" thick) (price includes cutting to subgrade & subgrade prep)	771		LF	\$ -	\$ -
10' Gravel Trail (6" thick) (price includes cutting to subgrade & subgrade prep)	271		SY	\$ -	\$ -
Handicap Ramps and Respective Landings	9		EA	\$ -	\$ -
Fence (Relocated Smoking Area)	140		LF	\$ -	\$ -

<b>WATER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Water Infrastructure	2		EA	\$ -	\$ -
Water Service 2"	3		EA	\$ -	\$ -
PVC Pipe (C900) 2"	86		LF	\$ -	\$ -
PVC Pipe (C900) 8"	226		LF	\$ -	\$ -
Bend 2"	2		EA	\$ -	\$ -
Bend 8"			EA	\$ -	\$ -
Bend 12"			EA	\$ -	\$ -
Valve 2"	1		EA	\$ -	\$ -
Valve 8"	2		EA	\$ -	\$ -
Tee 2"x2"	3		EA	\$ -	\$ -
Tee 8"x8"	1		EA	\$ -	\$ -
Tee 8"x6"	1		EA	\$ -	\$ -
Cross 8"x8"			EA	\$ -	\$ -
2" Plug with Blow-Off	1		EA	\$ -	\$ -
8" Plug with Blow-Off	1		EA	\$ -	\$ -
Blow-off 8"			EA	\$ -	\$ -
Reducer 8"x6"			EA	\$ -	\$ -
Air Release Manhole and Vent Pipe			EA	\$ -	\$ -
8" Blow off assembly			EA	\$ -	\$ -
Hydrant Assembly (Includes Tee, Valve, & DIP)	1		EA	\$ -	\$ -
<b>SANITARY SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Sanitary Main	1		EA	\$ -	\$ -
Sanitary Service 4"			EA	\$ -	\$ -
Manhole 4'	1		EA	\$ -	\$ -
Manhole 5'			EA	\$ -	\$ -
4" Sanitary Clean Out	5		EA	\$ -	\$ -
PVC Pipe 6"	303		LF	\$ -	\$ -
PVC Pipe 8"			LF	\$ -	\$ -
<b>STORM SEWER</b>					
Mobilization, Overhead and General Conditions	1		LS	\$ -	\$ -
Permits	1		LS	\$ -	\$ -
Connect to Existing Storm			EA	\$ -	\$ -
RCP Pipe 15"			LF	\$ -	\$ -
RCP Pipe 18"	277		LF	\$ -	\$ -
RCP Pipe 24"	32		LF	\$ -	\$ -
RCP Pipe 30"			LF	\$ -	\$ -
Manhole 4' Diameter			EA	\$ -	\$ -
Manhole 5' Diameter	2		EA	\$ -	\$ -
Manhole 6' Diameter			EA	\$ -	\$ -
Inlet Type R - 5'			EA	\$ -	\$ -
Inlet Type R - 10'	1		EA	\$ -	\$ -
Inlet Type R - 15'	1		EA	\$ -	\$ -
Inlet Type C	1		EA	\$ -	\$ -
Inlet Type D			EA	\$ -	\$ -
FES 15"			EA	\$ -	\$ -
FES 18"	3		EA	\$ -	\$ -
FES 24"			EA	\$ -	\$ -
FES 30"			EA	\$ -	\$ -
Forebay (30 SY)	1		EA	\$ -	\$ -
Forebay (70 SY)			EA	\$ -	\$ -
Outlet Structure	1		EA	\$ -	\$ -
Spillway Cutoff Wall	45		LF	\$ -	\$ -
Concrete Trickle Channel (3' Wide) (6" Thick)	114		LF	\$ -	\$ -
Riprap (Type VL)			SY	\$ -	\$ -
Riprap (Type M)	112		SY	\$ -	\$ -
Riprap (Type H)			SY	\$ -	\$ -

<b>GRADING, EROSION, &amp; SEDIMENT CONTROL</b>					
Check Dam			LF	\$ -	\$ -
Compost Blanket			SF	\$ -	\$ -
Compost Filler Berm			LF	\$ -	\$ -
Concrete Washout Area	1		EA	\$ -	\$ -
Construction Fence			LF	\$ -	\$ -
Construction Markers	878		LF	\$ -	\$ -
Dewatering			EA	\$ -	\$ -
Diversion Ditch			LF	\$ -	\$ -
Erosion Control Blanket	394		SY	\$ -	\$ -
Inlet Protection	40		LF	\$ -	\$ -
Reinforced Check Dam			LF	\$ -	\$ -
Reinforced Rock Berm	4		LF	\$ -	\$ -
RRB for Culvert Protection	31		LF	\$ -	\$ -
Sediment Basin	4		AC	\$ -	\$ -
Sediment Control Log	425		LF	\$ -	\$ -
Sediment Trap			EA	\$ -	\$ -
Seeding and Mulching	1		AC	\$ -	\$ -
Silt Fence	1,252		LF	\$ -	\$ -
Silt Fence (Vertical)			LF	\$ -	\$ -
Stabilized Staging Area	553		SY	\$ -	\$ -
Surface Roughening	2.7		AC	\$ -	\$ -
Temporary Slope Drain			LF	\$ -	\$ -
Temporary Stream Crossing			EA	\$ -	\$ -
Terracing				\$ -	\$ -
Vehicle Tracking Control	1		EA	\$ -	\$ -
VTC with Wheel Wash			EA	\$ -	\$ -
Temporary Batch Plant Restoration			AC	\$ -	\$ -
Other: Curb Sock			LF	\$ -	\$ -
<b>Sub-Total</b>					\$ -
<b>SHPIP Wrap Insurance</b>	1		LS	2.5%	
<b>GRAND TOTAL</b>					\$ -

**NOTES:**

1. Using Onsite Materials - (Estimate Total Qtys) - Provide the amount of credit per CY to use our onsite material.
2. Contractor is responsible for all construction water.
3. SHPIP WRAP INSURANCE INCLUDED @ 2.5%
4. Identify any discrepancies between Engineers Quantities vs Contractor Quantities
5. Identify any missed bid line items as an Alternative Line Item
6. Grading 100% Complete.