



TOWN OF ELIZABETH

WORKSHOP
DISCUSSION REGARDING ELIZABETH MUNICIPAL CODE
Tuesday, June 28, 2022, at 6:00 pm
Town Hall, 151 S. Banner Street

TOWN OF ELIZABETH
BOARD OF TRUSTEES REGULAR MEETING
Tuesday, June 28, 2022, at 7:00 PM
Town Hall, 151 S. Banner Street

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

UNSCHEDULED PUBLIC COMMENT

AGENDA CHANGES

CONSENT AGENDA

- [1.](#) Minutes of the Regular Meeting of June 14, 2022

PRESENTATIONS

- [2.](#) Swear in Officer Burnley
3. American Legion Presentation to Chief Berghahn

NEW BUSINESS

- [4.](#) Discussion and possible action on the appointment of Greg Lindbloom as a voting member of the Planning Commission with a term through December 31, 2025 – Pam Cherry
- [5.](#) Discussion and possible action on Resolution 22R29, a Resolution Electing to Opt the Town out from participation in the State of Colorado Family and Medical Leave Insurance Program – Patrick Davidson
- [6.](#) Discussion and possible action on Resolution 22R30, a Resolution repealing the 50% reduction of monthly water and sewer rates for residents that qualify for the Leap Program – Patrick Davidson

- [7.](#) Discussion and possible action on Resolution 22R31, a Resolution amending the Water and Sewer Tap Fees and the Renewable Water Resource Fee in the Town of Elizabeth – Patrick Davidson
- [8.](#) Discussion and possible action on Resolution 22R32, a Resolution ratifying the approval of the Site Plan for the property located at 755 Crossroads Circle – Pam Cherry

MANAGEMENT MONITORING REPORTS

- [9.](#) Management Monitoring Reports

BOARD OF TRUSTEES REPORTS

STUDENT LIAISON REPORT

MINUTES

- [10.](#) Minutes of the Main Street Board of Directors Meeting of June 12, 2022

ADJOURNMENT

MEETING PROTOCOL AND STANDARDS OF CONDUCT

Public Participation

Public comment is encouraged and will be listed as an agenda item at every regular Board meeting.

Each individual wishing to be heard during the public comment period will be given up to three (3) minutes to make a comment.

The public comment period will not be used to make political endorsements or for political campaign purposes.

Questions from the Board will be for clarification purposes only. Public comment will not be used as a time for problem solving or reacting to comments made but, rather, for listening to the comments of citizens without taking any formal action.

The Board may direct the Town Administrator to provide information requested by a speaker during the public comment period.

Speakers are not allowed to make belligerent, accusatory, impertinent, slanderous, threatening, abusive, or disparaging comments.

The Mayor may elect to defer public comment on a specific issue that appears on the regular agenda until that specific item is addressed.

The Mayor may call for order when sidebar conversations occur in the audience. Those conversations are distracting from the Board addressing the topics at hand.

Members of the public who do not follow proper conduct after a warning in a public meeting may be barred from further participation at that meeting or removed from the Board Chambers pursuant to the Elizabeth Municipal Code and Colorado Revised Statutes.



Board of Trustees – Record of Proceedings
June 14, 2022

CALL TO ORDER

The Regular Meeting of the Board of Trustees of the Town of Elizabeth was called to order on Tuesday, June 14, 2022, at 7:02 pm by Mayor Megan Vasquez.

ROLL CALL

Present were Mayor Megan Vasquez, Mayor Pro Tem Angela Ternus, Trustees Tammy Payne, Loren Einspahr, Linda Secrist, Daniel DiLoreto, and Nick Snively.

Also present were Town Administrator Patrick Davidson, Town Clerk Michelle Oeser, Chief of Police Melvin Berghahn, Community Development Director Pam Cherry, Public Works Director Mike DeVol, Planner Project Manager Zach Higgins, Deputy Town Clerk Harmony Malakowski, and Assistant Public Works Director James McErnie.
Student Liaison Bella Valentine was absent.

PLEDGE OF ALLEGIANCE

Mayor Vasquez led the Board in the Pledge of Allegiance.

UNSCHEDULED PUBLIC COMMENT

No public comment.

AGENDA CHANGES

No agenda changes from the Administration.

No agenda changes from the Board.

Agenda set.

CONSENT AGENDA

1. Minutes of the Regular Meeting of May 24, 2022

Motion by Trustee Einspahr, seconded by Trustee Payne, to approve the Consent Agenda as presented.

The vote of those Trustees present was 7 in favor and 0 opposed. Motion passed unanimously.

PRESENTATION

2. Vest Presentation

Jake Skifstad, Founder of Shield 616, presented the Elizabeth Police Department with state-of-the-art body armor.

3. The Arc Arapahoe & Douglas Counties

Luke Weeland, Lee Ray, and Darcy Tibbles, representatives of The Arc, and Developmental Pathways, introduced themselves and talked about their programs with the Board.

NEW BUSINESS

4. Discussion with Alana Wolner on Senior outreach

Alana Wolner introduced herself to the Board and followed up with a discussion on being involved with the Town and community service programs.

5. Discussion regarding possible Gesin Lot Development

Gene Gregory introduced himself to the Board and discussed a project he would like to develop on the Gesin Lot.

6. Discussion and possible action on Resolution 22R28, a Resolution establishing the Naming and Memorial Committee

Motion by Trustee Payne, seconded by Trustee DiLoreto, to approve Resolution 22R28, a Resolution establishing the Naming and Memorial Committee with removal of the second Town wording.

The vote of those Trustees present was 7 in favor and 0 opposed. Motion passed unanimously.

7. Discussion on a possible appointment of a backup Judge

The Board directed Town Clerk Michelle Oeser to bring both candidates to the following Board meeting.

MANAGEMENT MONITORING REPORTS

- Town Administrator Patrick Davidson discussed the possibility of moving the November 8th Board meeting to November 15th or possibly replace it with a Saturday

workshop.

- Mr. Davidson stated that deer complaints have been reported to Casey Westbrook, and that Mr. Westbrook will add them to his watchlist.
- Discussion regarding sick leave and PTO changes in the proposed updated employee handbook.
- Community Development Director Pam Cherry notified the Board that Pat Gonzales's last day was June 8th.
- Ms. Cherry let the Board know that a new employee has been hired and will start on June 20th.
- Ms. Cherry apprised the Board that a pre-application meeting had been held regarding Frontier High School.
- Discussion on what will be contained in site plan Board packet submittals.
- Discussion on Fireworks sales in Town limits.
- Town Clerk Michelle Oeser discussed the possibility of providing a free community movie night.
- Public Works Director, Mike Devol, discussed the roof on the stage at Running Creek Park.
- Discussion on the injury to Assistant Public Works Director James McErnie.
- Discussion on future additions to Running Creek Park.

BOARD OF TRUSTEE REPORTS

- Mayor Vasquez thanked Steve Gaither for helping build and drive the Board Float in the Stampede Parade.
- The Board discussed how much they enjoyed participating in the parade.
- The Board thanked the staff for all they do.

ADJOURNMENT

Motion by Trustee Secrist, seconded by Mayor Pro Tem Ternus, to adjourn meeting at 9:43 pm. The vote of those Trustees present was unanimously in favor. Motion carried.

Town Clerk Michelle Oeser

Mayor Megan Vasquez



TOWN OF ELIZABETH

STATE OF COLORADO)

COUNTY OF ELBERT) SS.

TOWN OF ELIZABETH

OATH OF OFFICE

I, Lyndi Burnley, do solemnly swear that I will support the Constitution of the United States and of the State of Colorado and Ordinances of the Town of Elizabeth, and faithfully perform the duties of the office of Police Officer, upon which I am about to enter.

Lyndi Burnley

Subscribed and sworn to before me this 28th day of June 2022.

Michelle M. Oeser, Town Clerk



TO: Honorable Mayor and Board of Trustees
FROM: Pam Cherry, Community Development Director
DATE: June 28, 2022
SUBJECT: Planning Commission Appointment

SUMMARY

The Town has received an application for a voting member to the Planning Commission. There are currently two open seats. Greg Lindbloom has applied to fill a vacancy on the Planning Commission as a voting representative. The term for this seat is through December 31, 2025.

Planning Commission Candidate Questions

The questions are based on the following: experience with land use and development, open mindedness (not concerned on just one issues), demonstration of good ethical behavior, detail oriented, commitment to community service, and speaking/ interpersonal skills.

1. Please tell us about yourself.
2. Please explain how your skillset and experience will contribute toward the duties of the Planning Commission.
3. The ideal candidate is open minded when it comes to Planning Commission business and is not solely concerned about one issue. Will you tell us how this does or does not describe you?
4. It is important that members of the Planning Commission demonstrate good ethical behavior. Please tell us how you currently demonstrate good ethical behavior and would apply that to the Planning Commission if appointed.
5. It is important that members of the Planning Commission be detail oriented. Are you detail oriented? If so, please provide an example.
6. The ideal Planning Commission candidate has a commitment to community service. Please tell us about your commitment to community service.
7. The Planning Commission role requires frequent interaction and communication with Staff, developers, and members of the public. That said, good interpersonal and speaking skills are pertinent to the position. Please tell us how you've demonstrated good speaking and interpersonal skills in the past.

ATTACHMENT(S)

Resume/Letter of Interest

Planning Commission
Town of Elizabeth
151 S. Banner St.
Elizabeth, CO 80107

RE: Town of Elizabeth Planning Commission Vacancy

Dear Commissioners:

I'm writing to express my interest in serving on the Town of Elizabeth's Planning Commission.

As an introduction, my family and I are new residents to the Town of Elizabeth; my wife, my son (14), and my daughter (11) moved here just over a year ago. We moved from Parker where owned a home and raised our kids for the previous 13 years. Prior to that, my wife and I lived in Aurora – where I was born and raised – and we can't see ourselves moving away from this fantastic state. I work for a nationwide firm in the exciting field of public accounting, focusing on tax related issues. My wife is a client coordinator/manager for a firm that provides productivity solutions for companies across the globe. We stay busy with work and our kids' school commitments and extra-curricular activities.

Although my background doesn't reflect any prior planning responsibilities or experience, I feel that serving on this Commission would be a significant and meaningful way for me to participate in my community and set an example for my children to witness. I look forward to sharing any expertise or general thoughts on how to make this a great community in which to live and work, while at the same time directly contributing in shaping of the Town of Elizabeth. I have a personal philosophy that I follow as best I can where I'm directed to gradual and continuous improvement across all aspects of my life. I would expect my time on the Commission would help me gain new skills, hear and share diverse viewpoints, and fulfill a civic duty to be the best citizen I can be. I also strongly feel that the strategy of continuous improvement would seamlessly transition to the Planning Commission because working together and serving in an advisory capacity to the Board of Trustees seems to be the major purpose of the role you're looking to fill. Even if things are working well in a particular moment, we could always make or do things better.

Attached is my current resume. I would welcome any questions, thoughts, or comments. I appreciate your consideration as you look to fill these two vacancies on the Planning Commission. I look forward the possible opportunity of serving the Town of Elizabeth in the near future.

Best,

Greg Lindbloom
790 Avena Dr.
Elizabeth, CO 80107
303-514-1024
greg.lindbloom@gmail.com

OBJECTIVE

Seeking to continue my professional career with the opportunity for challenges and advancement, while gaining knowledge of new skills and expertise.

SKILLS

- Comprehensive knowledge of accounting and taxation principles and guidelines
- Excellent communication and strong attention to detail
- Ability to learn quickly, perform accurately, and work independently
- Microsoft Office, specifically Excel; various tax preparation, fixed assets, and research/planning software

EXPERIENCE

Senior Tax Accountant – CBIZ-MHM – Denver, CO **January 2021 – Present**

Prepared individual, corporate, and partnership tax returns of varying complexities. Completed all aspects of accounting and tax engagements for clients, including status updates to managers and meeting time constraints and client deadlines. Supervised and evaluated associates work and provided constructive review points. Trained and mentored associate staff and helped to develop training program for staff when we merged with CBIZ.

Senior Tax Accountant – Richey, May & Co., LLP – Englewood, CO **November 2018 – December 2020**

Assisted in preparation of individual, corporate, and partnership Federal and multi-state tax returns of varying complexities. Read and analyze financial information and research tax matters. Assisted with billing, training, responding to IRS and state notices, among other duties. Familiar with ProSystem, Excel, and CCH Suite, including Engagement and Practice Management.

Tax Accountant – Richey, May & Co., LLP – Englewood, CO **August 2015 – October 2018**

Assisted in preparation of individual, corporate, and partnership tax returns of varying complexities. Read and analyzed financial information and researched tax matters for responses to Federal and State notices. Familiar with ProSystem, Excel, and CCH Suite, including Engagement and Practice Management.

Tax Accountant – Plante Moran (fka EKS&H, LLLP) – Denver, CO **November 2014 – August 2015**

Assisted in preparing relevant workpapers and Federal and multi-state tax returns for individuals, partnerships, and small corporations, specializing in the oil & gas industry. Used GoSystem and Excel primarily to complete assignments.

Accounting & Tax Compliance Intern – Newmont Mining Corporation – Englewood, CO **April 2013 – September 2014**

Assisted in preparing Federal and state tax returns for a Fortune 500 company. Helped with consolidation of tax return, including 100+ entities in the gold mining industry. Used Vertex, BPC Excel, FAM, and others to complete various assignments.

Tax Intern – Grabau & Co. – Denver, CO **January 2013 – April 2013**

Prepare business and individual income tax returns for small local CPA firm. Assist with financial compilations for audit reports, testing, and auditing accounts for financing.

Account Manager – Pozzetta Products – Englewood, CO **October 2010 – December 2011**

National account executive for local injection molded plastic company. Managed national accounts within team that grew 15% in twelve months. Traveled to customer sites and participated in marketing & trade shows.

Classroom Teacher – Douglas County School District – Castle Rock, CO **December 2006 – July 2010**

Elementary classroom duties for 4th and 5th grades, including planning, implementing, assessing and analyzing daily lesson plans, various units of study and comprehensive standardized testing. Assisted in coordinating afterschool activities and sponsored tutoring for at-risk students.

EDUCATION

Master of Professional Accountancy (Taxation) – MSU-Denver August 2012 – May 2014

Master of Education (Educational Technology) – Lesley University January 2007 – August 2008

Bachelor of Arts (Behavioral Science) – MSU-Denver August 2004 – December 2006

**TOWN OF ELIZABETH
RESOLUTION 22R29**

**A RESOLUTION ELECTING TO OPT THE TOWN OUT FROM
PARTICIPATION IN THE STATE OF COLORADO FAMILY AND
MEDICAL LEAVE INSURANCE PROGRAM**

WHEREAS, the Colorado Family and Medical Leave Insurance Act (the "Act") was enacted into law in 2021 and codified in Article 13.3 of Title 8 of the Colorado Revised Statutes;

WHEREAS, Section 8-13.3-522 permits local governments to opt out of participation in the program by a majority vote of the governing body at a public meeting;

WHEREAS, coverage under the Act begins January 1, 2023, and the Town must opt out at least 180 days prior to this date; and

WHEREAS, the Board of Trustees finds it is in the best interest of the Town to decline participation in the Act.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Town of Elizabeth hereby declines to participate in the Colorado Family and Medical Leave Insurance Act program and thus opts out of said program.

Section 2. The Town Administrator or a designee is authorized to take any and all further actions necessary to effectuate the Town opting out from participating in the insurance program under the Act.

PASSED, APPROVED, and ADOPTED this ____ day of _____, 2022, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of _____ for and _____ against.

Megan Vasquez, Mayor

ATTEST:

Michelle M. Oeser, Town Clerk



TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees
FROM: Patrick Davidson, Town Administrator
DATED: June 28, 2022
SUBJECT: LEAP Resolution

BACKGROUND

The State of Colorado provides winter heating assistance through a program known as the Low-income Energy Assistance Program (LEAP). LEAP assists by paying a portion of a home's heating costs during the winter months of November through April. The program is designed to pay a portion of the heating costs for the individual or family by making payments directly to the household energy supplier. As such, the energy supplier is made whole through the program.

Elizabeth Resolution 16R27 provides for a reduced monthly water and sewer rate for individuals who might otherwise qualify for LEAP heat funding. Specifically, the Resolution requires the Town to reduce the water and sewer rates by one-half (50%). The only prerequisite for this discount is annual qualification for the State's LEAP Program.

Several concerns have been raised in continuing this provision from 16R27. First, there are only three (3) citizens that make use of the program. This is likely since LEAP is technically only for winter heat assistance, and not for water and sewer expenses. Second, while LEAP only applies to certain months of the year, 16R27 applies year-round for water and sewer if the applicant is otherwise approved by the LEAP Program. Third, while in the case of LEAP, the household heating supplier is compensated regardless of their source and amount, in the case of Elizabeth's water and sewer, there is no recapture of funds. In other words, all water and sewer customers pay a little towards these bills.

ANALYSIS

While this matter is monetarily insignificant to the Town, the precedent set by continuing the policy is worth noting. Rather than have an automatic billing adjustment for three (3) households in the community, it would be preferable to work with citizens on a one-on-one basis to address payment concerns. Staff has always been willing to work with customers who are going to be late with a payment, have family emergencies, or other concerns. Removing the blanket approach provided by 16R27, which is designed to deal with an unrelated issue of heating is appropriate.

In the alternative, should the Board of Trustees seek to maintain some type of reduced billing criteria, it would be recommended to create a policy from scratch which would not be related to the LEAP Program.

▪ PO Box 159, 151 S. Banner Street ▪ Elizabeth, Colorado 80107 ▪ (303) 646-4166 ▪ Fax: (303) 646-9434 ▪
www.townofelizabeth.org

STAFF RECOMMENDATION

Staff recommends that the amendment be made to 16R27 to remove paragraph 1(f) addressing the inclusion of the LEAP calculation in assessing water and sewer fees.

BUDGET CONSIDERATIONS

Currently, as proposed the impact on the enterprise funds would be nominal, if at all.

ATTACHMENTS

Resolution 22R30

RESOLUTION 22R30

A RESOLUTION REPEALING THE 50% REDUCTION OF MONTHLY WATER AND SEWER RATES FOR RESIDENTS THAT QUALIFY FOR THE LEAP PROGRAM

WHEREAS, by the adoption of Resolution No. 16R27, the Town authorized a fifty percent (50%) reduction in monthly water and sewer rates for those residents that qualify for the Low-Income Energy Assistance Program ("LEAP") administered by the Colorado Department of Human Services;

WHEREAS, the LEAP Program is not a program that is largely utilized by the residents of the Town of Elizabeth, and the Board of Trustees determines that it is not a program that has provided a valuable tool for assisting those residents in need of assistance on their water and sewer bills; and

WHEREAS, the Board of Trustees therefore desires to repeal the authorization for such a reduction in the Town water and sewer rates based on qualification for the LEAP Program.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Board of Trustees hereby repeals Section 1, subsection f, of Resolution No. 16R27, repealing the authorization for a fifty percent (50%) reduction in monthly water and sewer rates for those residents that may qualify for the LEAP Program.

PASSED, APPROVED, and ADOPTED this ____ day of _____, 2022, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of _____ for and _____ against.

Megan Vasquez, Mayor

ATTEST:

Michelle M. Oeser, Town Clerk



TOWN OF ELIZABETH

PATRICK G. DAVIDSON, TOWN ADMINISTRATOR

TO: Honorable Mayor, Mayor Pro Tem, and Board of Trustees
FROM: Patrick Davidson, Town Administrator
DATED: June 13, 2022
SUBJECT: Tap Fee Resolution

BACKGROUND

The Town of Elizabeth has three (3) separate fees associated with development: water tap fees, sewer tap fees, and the water resource fund fee. The purpose of those fees is to allow for long term maintenance, development, and repair of the Town's water and wastewater systems as they age over time. These funds are earmarked specifically for these long-term projects and are not used for operational expenses for the enterprise funds. These fees have not been addressed since January 8, 2019.

ANALYSIS

Best practices would indicate that fixed fees and costs should be monitored and revised to reflect changes in the economy as well as anticipated increases in future costs of repairs and maintenance. In reviewing the U.S. Bureau of Labor Statistic's Consumer Price Index (CPI) from January 2019 through April 2022, the CPI has increased by approximately 15%. Consequently, it is reasonable to assume that the costs of those supplies that will ultimately be needed in the future for repair, maintenance, and upgrade to the water and wastewater systems have likewise increased 15% if not more over this same period.

Additionally, because the Town of Elizabeth is rightfully restrained on how its saved (unallocated and unassigned) funds can be invested or used, the rate of return on those funds have not risen at the same rate as the CPI. Therefore, long term there could be a future deficiency in funding available for these projects.

The proposed Resolution seeks to correct the initial discrepancy in tap fees based on the CPI, but also deal with future increases in costs over time. This is accomplished by amending existing water and sewer tap fees and the water resource fund fee to reflect the prior 15% increase in the CPI, and to also establish a regular increase to conform to the CPI.

The U.S. Bureau of Labor Statistics provides various numbers for calculations. It provides an overall CPI calculation for the entire United States, but also provides more narrowed areas for specific calculations. Elbert County (and Elizabeth) is considered part of the Denver-Aurora-Lakewood area. Consequently, the most logical means of basing future calculations is in this region. The Resolution allows for CPI increases to be calculated the 1st day of each year and the 1st day of July to reflect any increases in the regional CPI.

STAFF RECOMMENDATION

Staff recommends this increase in both the water and sewer tap fees, as well as an increase in the renewable water resource fee. These increases are both fair and reasonable considering the increasing impacts on the respective systems, the increase in real costs to the Town, and in consideration of fees charged at other locations.

BUDGET CONSIDERATIONS

There is no anticipated additional expenses related to this Resolution. The passage of the Resolution, and the automatic imposition of additional fees will have long-term, will likely result in additional review for allocation to the enterprise funds for future use in repairs and maintenance to the water and wastewater systems.

ATTACHMENTS

Resolution 22R31

RESOLUTION 22R31

A RESOLUTION AMENDING THE WATER AND SEWER TAP FEES AND THE RENEWABLE WATER RESOURCE FEE IN THE TOWN OF ELIZABETH

WHEREAS, Section 13-2-140 of the Town of Elizabeth Municipal Code authorizes the Board of Trustees to establish a water tap fee schedule by Resolution,

WHEREAS, Section 13-3-40 of the Town of Elizabeth Municipal Code authorizes the Board of Trustees to establish a sewer tap fee schedule by Resolution,

WHEREAS, Section 13-4-100 of the Town of Elizabeth Municipal Code authorizes the Board of Trustees to establish a fee to help defray the cost incurred by the Town in the acquisition and development of renewable water sources; and

WHEREAS, the Board of Trustees wants to ensure that the water and wastewater systems continue to operate efficiently and effectively.

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Board of Trustees amends its schedule for water and sewer development fees and tap fees as follows:

a) For water tap fees within the corporate limits of the Town:

Single Family Residential	\$9,200
Multi-Family Residential (First Unit)	\$9,200
Multi-Family Residential (per additional unit)	\$6,470
Commercial (3/4-inch tap)	\$8,625
Commercial (1-inch tap)	\$11,500
Commercial (1-1/2-inch tap)	\$17,250
Commercial (2-inch tap)	\$23,000
Commercial (3-inch tap)	\$46,000
Commercial (>3-inch tap)	Determined by Board

b) For sewer tap fees within the corporate limits of the Town:

\$9,200 per Equivalent Residential Unit (EQR). EQR Schedule is attached as Exhibit A.

c) Except as set forth by separate agreement approved by the Board of Trustees, sewer tap fees not within the corporate limits of the Town shall be charged at double the applicable in-Town rate.

d) There is imposed a renewable water resource fee of \$1,265 per water tap, as a condition to connect to the municipal water system.

Section 2. Effective upon adoption of this Resolution, the water and sewer tap fees and the renewable water resource fee shall be increased on the 1st day of each year and the 1st day of July each year in an amount equal to the Consumer Price Index (CPI) for the Denver-Aurora-Lakewood area. Any such amendment in fees shall be published by the Town on the Town website, and be available to the public upon request.

Section 3. This Resolution shall become effective July 1, 2022.

PASSED, APPROVED, and ADOPTED this ____ day of _____, 2022, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of _____ for and _____ against.

Megan Vasquez, Mayor

ATTEST:

Michelle M. Oeser, Town Clerk



UPDATED STAFF REPORT
Site Plan Application | Commercial Office Building
755 Crossroads Circle
June 28, 2022 – Hearing Date May 24, 2022

Applicant: Sean Cleary, Managing Partner, Shamrock Investments, LLC.

Location: 755 Crossroads Circle, Elizabeth CO

This Site Plan application was presented to the Trustees at a public hearing on May 28, 2022, where it was approved. The missing items from the packet are attached following this updated report and include:

Resolution
CORE Engineering
Site Development Agreement
Site Plan
Public Improvement Estimates
Referral Agency comments
Final approval email – Black Hills
Safe Built County Public Works

Specific items discussed by the Planning Commission include:

1. Where are trash bins located? Are they enclosed? Those locations were identified on the Site Plan.
2. Lighting? The fixtures used will be downcast and will not light up the neighborhood. Security lighting at night.
3. Is parking sufficient? The property is mainly used as office and warehouse. Parking is in compliance with the Elizabeth Municipal Code.
4. Access improvements necessary? There is additional right-of-way provided for future construction. The traffic report that was received with the subdivision addressed the entire subdivision and this use falls within the assumptions.

Applicant Request:

The Applicant, Sean Cleary, requests approval of a Site Plan Application for a new commercial office building at the Elizabeth Crossroads Business Park, 755 Crossroads Circle, near the corner of E. Kiowa Ave, and County Road 17 in the Town of Elizabeth, CO.

In accordance with Section 16-2-20(a) of the Elizabeth Municipal Code (EMC) – Site Plan Standards and Procedures – an approved Site Plan is required prior to the commencement of any site or building improvements or construction activity. Section 16-2-40(g) requires the Planning Commission to consider a site plan application and make a recommendation to the Board of Trustees to approve, approve with conditions, continue to obtain additional information, or deny. Planning Commission reviewed the application at the public hearing on May 3, 2022 and unanimously recommends approval on a vote of 3-0 with one member absent.



TOWN OF ELIZABETH

BOARD OF TRUSTEES

Proposal:

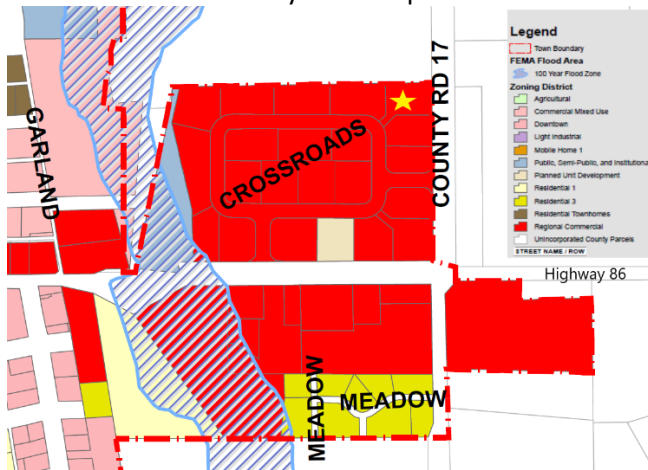
The applicant is proposing to develop the site at 755 Crossroads Circle to be a new commercial office building. A full site development plan is being proposed with a building, parking lot and new landscaping.

Current Vacant Site – looking west from County Road 17



Background:

The subject site is part of a larger business park, the Elizabeth Crossroads Business Park and is zoned Regional Commercial (RC). The proposal is located on one parcel in the Northeastern corner of the business park. The parcel is 27,386 sq./ft and proposed structure on site will be 4,368 sq./ft. The site is in proximity to but removed from the 100-year floodplain.



Surrounding Land Uses:

North:	Vacant Land / Evans Park
South:	Napa Auto Parts (Commercial)
East:	Vacant/natural area across CR 17
West:	Bender Menders Auto Body
	(commercial)

★ = Site

Zoning Map



Approval Criteria:

Section 16-2-40 of the Elizabeth Municipal Code includes criteria for the Planning Commission to offer a favorable recommendation for approval to the Board of Trustees. This includes review against all applicable standards as found in the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines. The Board of Trustees follows the same criteria to grant final approval.

Case Analysis:

Staff finds that the proposed building and site development plan displays general conformance with the applicable provisions of the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines. Town staff has provided suggested findings and a recommendation at the end of this report.

Elizabeth Municipal Code (EMC):

The existing shopping center is an allowed use in the Regional Commercial (RC) district per Table 16-5 of the EMC. The following topics outline the specific analysis applied to the proposal in the context of the district's requirements.

- **Bulk Standards:**

The proposed work does not impact any of the currently operating and existing structures on the site. As proposed, the structure complies with the underlying setback, height, and lot coverage standards of the RC district.

- **Lighting:**

The applicant is proposing cut off fixtures around the building that will mainly illuminate the site directly surrounding the building. The proposed light fixtures abide by the requirement of not exceeding 10 footcandles. There is no proposed parking lot lighting. The submitted photometric plan complies with the requirements and standards of the EMC.

- **Drainage:**

A drainage memo was provided by the applicant and reviewed by staff stormwater consultants. It was found to be acceptable for approval.

- **Floodplain**

The floodplain does not impact the site. Floodplain boundaries are present at the west side of the Crossroads Circle development.

- **Parking:**

The current parking requirements established by the Town of Elizabeth Code, Section 16-6-10 requires 1 parking space per 200 sq./ft of office space, and 1 parking space per 500 sq./ft of garage space. The proposed building has 3,024 sq./ft of office space (16 parking spaces), and 1,344 sq./ft of garage space (3 parking spaces). The required total parking for the site is 19 spaces and the applicant has provided 19 spaces along with a required 2 accessible spaces to abide by ADA standards.



- **Traffic and Access**

The site will now have more frequent use/traffic than before but not enough that it would change the traffic patterns currently associated with the site/business park. Access to the site will remain the same and operate in the same manner as before.

- **Right-of-Way (ROW)**

New ROW is not proposed with the enhancements.

- **Landscaping**

The existing and proposed landscape for the overall site meets the required 15% of the total site area with a proposed 21% of landscaped area. The applicant is proposing a mixture of evergreen and deciduous plantings that will ensure year-round interest throughout the site and they will also be utilizing the existing trees on site and will be relocating them on site or replacing depending upon

health. The required amount of trees are as follows: 1 tree required every 40 feet of frontage along county road 17 (4 trees required / 4 tree provided); 1 tree and 5 shrubs planted for each 1,500 sq./ft of lot area not covered by building or required parking (20 shrubs and 4 trees required, 20 shrubs and 4 trees provided). The planting schedule can be found in the table below:

PLANTING SCHEDULE

COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
ROCKY MOUNTAIN MAPLE	ACER GLABRUM	2	2 1/2" CALIPER MIN.
SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	1	2 1/2" CALIPER MIN.
TAMMY JUNIPER	JUNIPERUS SABINA 'TAMISCIFOLIA'	10	2' HEIGHT MIN.
COMPACT EVERGREEN OREGON GRAPE HOLLY	MAHONIA AQUILIFOLIUM 'COMPACTA'	10	1' HEIGHT MIN.

The Town of Elizabeth Design Standards and Guidelines:

The applicant has ensured consistency and efficiency when designing their building to adhere to the Town of Elizabeth’s Design Standards and Guidelines.

Building Mass & Scale

- The proposed buildings mass and scale is proportionate and complimentary to the surrounding buildings and their uses and continues to provide the small town feel that is consistently seen throughout the Town of Elizabeth.

Building Materials:

- The exterior façade utilizes design, materials, and colors that promote compatibility with the surrounding buildings and uses in the area.

Architectural Style

- The proposed building achieves a four-sided architecture and balanced proportion of windows to walls as outlined in the Towns Design Standards and Guidelines. The building form is also



readily understood and devoid of confusing, cluttered or unnecessarily complex arrangement of shapes.

Elizabeth Comprehensive Plan:

Staff has found that the proposed site plan complies the Town’s adopted Comprehensive Plan. The future land use map depicts the site as commercial/retail development described as the following:

“Commercial/Retail” areas depict locations where neighborhood or regional-level commercial centers could be located in the Elizabeth area over the next two decades. These areas include key intersections along Highway 86, to the east and west of the current Town.

- **Future Land Use and Development GOAL 1:** *Maintain a sustainable balance in land uses between residential, commercial, office / business park, industrial, and park / open space land uses*
 - The project is an enhancement to an undeveloped area helping to promote further development and balance of land uses in town and contributing to growth of the Town.

- **Economic Development and Tourism – Goal 2:** *Actively promote Elizabeth as a great place for investment and employment*
 - This project positively supports reinvestment into the Town of Elizabeth’s existing businesses perpetuating owner pride and upkeep of the community presence

Referrals

The following agencies provided comment during the referral period. All comments have been addressed by the applicant.

Referral Agency / Consultant	Discipline
SafeBuilt	Community Development
CORE	Town Engineer
CORE Electric	Lands & Rights of Way
JVA	Public Works - Water & Sewer
Elizabeth Public Works	Public Works
Stolfus & Associates	Transportation
Elizabeth Fire Protection District	Fire
Elbert County Community Development	Community Development
Black Hills Energy	Utility Company
Elbert County Public Health	Environmental Review
Elbert County Assessors Office	GIS



Findings and Staff Recommendation:

The site plan has been reviewed and approved by the development review team and staff in accordance with Section 16-2-40 of the EMC.

Findings:

1. The proposal has been found to substantially comply with the standards for development as found in the Chapter 16 of the Elizabeth Municipal Code.
 - a. The proposal fulfills the purpose of the RC zone district by providing the expansion of general commercial activities.
 - b. The applicant has provided landscaping covering > 15% of the site.
 - c. Summary finding of the architecture compatibility
 - d. A drainage memo has been provided and approved by Town engineers.
 - e. No floodplain issues are present.
 - f. There is no evidence of increased traffic to the area
2. The proposal has been found to substantially comply with the adopted Comprehensive Plan.
3. The proposal has been found to substantially comply with the Town of Elizabeth Design Standards and Guidelines.
4. The development will be served by adequate water supply and waste disposal systems.

Staff Recommendation:

Based on the analysis above, staff believes that the application meets the criteria for a Site Plan approval as set forth in Chapter 16 of the Elizabeth Municipal Code. Planning Commission reviewed this application for a Site Plan at the meeting on May 3, 2022, and unanimously recommends approval on a vote of 3-0 with one member absent.

Recommended Conditions of Approval:

1. none

RESOLUTION 22R32

A RESOLUTION RATIFYING THE APPROVAL OF THE SITE PLAN FOR THE PROPERTY LOCATED AT 755 CROSSROADS CIRCLE

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF ELIZABETH, COLORADO AS FOLLOWS:

Section 1. The Board of Trustees hereby ratifies the approval of the Site Plan for property located at 755 Crossroads Circle following a public hearing conducted on May 24, 2022, said site plan attached hereto as **Exhibit A**.

Section 2. The Board of Trustees further approves the Site Development Agreement between the Town and Shamrock Investments, LLC, a Wisconsin limited liability company, attached hereto as **Exhibit B**, and authorizes the Mayor to sign the Agreement on behalf of the Town.

PASSED, APPROVED, and ADOPTED this ____ day of _____, 2022, by the Board of Trustees of the Town of Elizabeth, Colorado, on first and final reading, by a vote of _____ for and _____ against.

Megan Vasquez, Mayor

ATTEST:

Michelle M. Oeser, Town Clerk



April 18, 2022

Ms. Pam Cherry
Community Development Director
Town of Elizabeth
151 S. Banner Street
Elizabeth, Colorado 80107

RE: Shamrock Investments, LLC (aka Cleary Office Bldg)– Engineering 4th Review of Site Plan

Dear Ms. Cherry,

Core Consultants Inc has completed our review of the recent submittal of the above site plan and related documents, dated April 1st, 2022, and find them to be acceptable. As a part of the Site Development Agreement (SDA), the Owner has 30 days following approval of the SDA to provide the dedication of 5' of additional Right of Way on County Rd. 17.

Should you have any questions, please feel free to contact me at (303) 730-5985 or by email at mnuno@liveyourcore.com

Sincerely,
CORE Consultants, Inc.

A handwritten signature in blue ink, appearing to read "MN", with a long horizontal flourish extending to the right.

Manny Nuno, PE, CFM, LEED AP, CPESC
Project Manager



3473 South Broadway
Englewood, Colorado 80113
303.703.4444
LIVEYOURCORE.COM

Site Development Agreement

This Site Development Agreement (the "Agreement") is made this ____ day of June, 2022, by and between the Town of Elizabeth, Colorado, a statutory municipal corporation (the "Town") and Shamrock Investments, LLC, a Wisconsin limited liability company (the "Developer").

RECITALS:

A. The Developer is the owner of certain real property located in the Town of Elizabeth, known generally as 755 Crossroads Circle, Town of Elizabeth, County of Elbert, State of Colorado (the "Property").

B. On May 24, 2022, the Board of Trustees of the Town of Elizabeth, after holding all necessary public hearings and having received a recommendation of approval from the Elizabeth Planning Commission, approved the Site Plan for the Property attached hereto as **Exhibit A**, and incorporated herein by this reference (the "Site Plan"), conditioned upon the construction of certain public improvements pursuant to Section 16-2-20(h) of the Town of Elizabeth Municipal Code as more particularly described in **Exhibits B1 and B2**, attached hereto and incorporated herein by this reference (the "Cost Estimate").

AGREEMENT

Now, therefore, for and in consideration of the mutual promises and covenants contained herein, the sufficiency of which are mutually acknowledged, the Parties hereto agree as follows:

1. Purpose. The purpose of this agreement is to set forth the terms and conditions of the Town's approval of the Site Plan for the Property. All conditions contained herein are in addition to any and all requirements of the Town of Elizabeth Land Use Code, any and all state statutes, and any other sections of the Town of Elizabeth Municipal Code, and are not intended to supersede any requirements contained therein.

2. Fees. The following fees shall be paid to the Town, unless otherwise noted, by the developer.

- a. The Developer hereby agrees to pay the Town the actual cost to the Town for plan review, engineering review, hydrological and surveying review prior to and during the development process, and for construction observation, inspection and materials testing during the construction process for public improvements, and for construction observation, inspection and materials testing and electronic deliverable review during the warranty period for public improvements, and for legal services (the "Actual Costs") rendered in connection with the review of the Site Plan, and subsequent construction and improvements of the Property, including related administrative fees not to exceed one hundred fifteen percent (115%) of the Actual Costs.

- b. Pursuant to Chapter 18 of the Elizabeth Municipal Code, all fees associated with building permits and related building inspections and approvals.
- c. The Developer shall not pay any annexation impact fee.

3. Specific Conditions.

- a. The Developer hereby agrees to construct the following public improvements as a condition of the Town's Site Plan approval:
 - (i) Improvements to Crossroads Circle to provide ramps compliant with the Americans with Disabilities Act, as amended consistent with the Cost Estimate.
 - (ii) Water, sewer and irrigation improvements, as more particularly depicted and set forth in the Site Plan, consistent with the Cost Estimate; and
 - (iii) Landscaping, as more particularly depicted and set forth in the Site Plan, consistent with the Cost Estimate
- b. Within thirty (30) days of approval of this Agreement, the Developer agrees to dedicate the approximately .04 acres of right-of-way, as more particularly described in **Exhibit C**, attached hereto and incorporated herein by this reference, free and clear of all liens and encumbrances, to the Town for future improvements to County Road 17.
- c. Within thirty (30) days of approval of this Agreement, Developer shall pay the amount of Eleven Thousand Five Hundred Dollars (\$11,500.00) as the Developer's contribution to the construction of the County Road 17 improvements.

4. Breach by the Developer; Town's Remedies. In the event of a breach of any of the terms and conditions of this Agreement by the Developer, the Board of Trustees shall be notified immediately and the Town may take such action as permitted and/or authorized by law, this Agreement or the ordinances of the Town, as the Town deems necessary to protect the public health, safety and welfare; to protect lot buyers and builders; and to protect the citizens of the Town from hardship and undue risk. The remedies include, but are not limited to:

- a. The refusal to issue any building permit or certificate of occupancy;
- b. The revocation of any building permit previously issued under which construction directly related to such building permit has not commenced, except a building permit previously issued to a third party;
- c. A demand that the security given for the completion of the public improvements be paid or honored; or

- d. Any other remedy available at law.

Unless necessary to protect the immediate health, safety and welfare of the Town, or to protect the interest of the Town with regard to security given for the completion of the public improvements, the Town shall provide the Developer thirty (30) days' written notice of its intent to take any action under this paragraph, during which thirty-day period, the Developer may cure the breach described in the notice and prevent further action by the Town.

5. Public Improvements and Warranty. All associated public improvements identified in paragraph 3 shall be installed and completed, at the expense of the Developer. Where public improvements are within public rights-of-way or other Town-owned property, following acceptance by the Town, such improvements shall be dedicated and/or conveyed to the Town.

The Developer shall warrant any and all Public Improvements, which are conveyed to the Town pursuant to this Agreement for a period of two (2) years from the date the Town Director of Public Works grants probationary acceptance of the Public Improvements as approved by the Town. The warranty period shall extend to the date final acceptance is granted in writing by the Town Director of Public Works. The Developer shall be responsible for scheduling the necessary inspections for probationary and final acceptance. Specifically, but not by the way of limitation, the Developer shall warrant the following:

- a. Any and all facilities so conveyed shall be free of defects in materials or workmanship for a period of two (2) years as stated above.

The Town will accept for maintenance all Public Improvements after the warranty period has expired provided, all warranty work has been completed.

6. Observation. The Town shall have the right to make reasonable engineering observations at the Developer's expense as the Town may request. Observation, acquiescence in, or approval by any engineering inspector of the construction of the physical facilities at any particular time shall not constitute the approval by the Town of any portion of the construction of such public improvements. Such approval shall be made by the Town only after completion of construction and in the manner hereinafter set forth.

7. Completion of Public Improvements. The obligations of the Developer provided for in paragraph 3 of this Agreement, including the inspections hereof, shall be performed one (1) year from the approved site plan, and proper application for acceptance of the Public Improvements shall be made on or before such date. Upon completion of construction by the Developer of such Public Improvements, the Town's Director of Public Works or his designee shall inspect the improvements and certify with specificity their conformity or lack thereof to the Town's specifications. The Developer shall make all corrections necessary to bring the improvements into conformity with the Town's specifications. Once approved by the Town's Engineer, the Town shall accept said improvements upon conveyance provided, however, the

Town shall not be obligated to accept the Public Improvements until fees described in paragraph 2 of this Agreement are paid in full by the Developer.

8. Related Costs - Public Improvements. The Developer shall provide all necessary engineering designs, surveys, field surveys and incidental services related to the construction of the Public Improvements at its sole cost and expense, including electronic reproducible "as built" drawings certified accurate by a professional engineer registered in the State of Colorado.

9. Improvements to be the Property of the Town. All Public Improvements accepted by the Town shall be dedicated to the Town and warranted for a period of two (2) years following probationary acceptance by the Town, as provided above. Upon completion of construction and conformity with the Site Plan, and associated construction plans, and any properly approved changes, the Developer shall convey to the Town by bill of sale, all installed physical facilities.

10. Performance Guarantee. In order to secure the construction and installation of the Public Improvements the Developer shall, prior to building permit, furnish the Town at the Developer's expense with the Performance Guarantee described herein. The Performance Guarantee provided by the Developer shall be cash or an irrevocable letter of credit in which the Town is designated as beneficiary in an amount equal to one hundred ten percent (110%) of the estimated costs of the Public Improvements to be constructed and installed as set forth in **Exhibit B1 – Civil Site Cost of \$1,725 and B2 Landscape Cost of \$2,484.00**, to secure the performance and completion of the Public Improvements. The Developer agrees that the approval of the final Site Plan by the Town is contingent upon the Developer's provision of cash or an irrevocable letter of credit to the Town within ninety (90) days of the execution of this Agreement in the amount and form provided herein. Failure of the Developer to provide cash or an irrevocable letter of credit to the Town in the manner provided herein shall negate the Town's approval of the Site Plan. The Developer shall not start the construction of any public or private improvement on the property, including, but not limited to, staking, earthwork, overlot grading or the erection of any structure, temporary or otherwise, until the Town has received and approved the cash or irrevocable letter of credit.

The estimated costs of the Public Improvements shall be a figure mutually agreed upon by the Developer and the Town's Engineer as set forth in **Exhibits B1 and B2** attached hereto. If, however, they are unable to agree, the Town Engineer's estimate shall govern after giving consideration to information provided by the Developer including, but not limited to, construction contracts and engineering estimates. The purpose of the cost estimate is solely to determine the amount of security. No representations are made as to the accuracy of these estimates, and the Developer agrees to pay the Actual Costs of all such Public Improvements.

The estimated costs of the Public Improvements may increase in the future. Accordingly, the Town reserves the right to review and adjust the cost estimates on an annual basis. Adjusted cost estimates will be made according to changes in the Construction Costs Index as published by the Engineering News Record. If the Town adjusts the cost estimate for the Public Improvements, the Town shall give written notice to the Developer. The Developer shall, within thirty (30) days after receipt of said written notice, provide the Town with a new or amended letter of credit in the amount of the adjusted cost estimates. If the Developer refuses or fails to so provide the Town

with a new or amended letter of credit, the Town may exercise the remedies provided for in paragraph 5 section (e) of this Agreement; provided, however, that prior to increasing the amount of additional security required, the Town shall give credit to the Developer for all required Public Improvements which have actually been completed so that the amount of security required at any time shall relate to the cost of required Public Improvements not yet constructed.

In the event the Public Improvements are not constructed or completed within the period of time specified in paragraph 5 section (e) this Agreement or a written extension of time mutually agreed upon by the Parties to this Agreement, the Town may draw on the letter of credit to complete the Public Improvements called for in this Agreement. In the event the letter of credit is to expire within fourteen (14) calendar days and the Developer has not yet provided a satisfactory replacement, the Town may draw on the letter of credit and either hold such funds as security for performance of this Agreement or spend such funds to finish the Public Improvements or correct problems with the Public Improvements as the Town deems appropriate.

Upon completion of performance of such improvements, conditions and requirements within the required time and the approval of the Town Public Works Director, the Developer shall issue an irrevocable letter of credit to the Town or the Town shall retain a cash deposit from Developer in the amount of twenty percent (20%) of the total cost of the construction and installation of the Public Improvements, to be held by the Town during the two-year warranty period. If the Public Improvements are not completed within the required time, the monies may be used to complete the improvements.

11. Indemnification. The Developer shall indemnify and hold harmless the Town, its officers, employees, agents or servants from any and all suits, actions, and claims of every nature and description caused by, arising from or on account of any act or omission of the Developer, or any other person or entity for whose act or omission the Developer is liable, with respect to construction of the Public Improvements; and the Developer shall pay any and all judgments rendered against the Town as the result of any suit, action, or claim together with all reasonable expenses and attorney fees incurred by the Town in defending any such suit, action or claim.

The Developer shall pay all accumulated property taxes on the Property dedicated to the Town, and shall indemnify and hold harmless the Town for any property tax liability prior to the dedication of the property.

The Developer shall require that all contractors and other employees engaged in construction of the Public Improvements maintain adequate workers' compensation insurance and public liability coverage and shall faithfully comply with the provisions of the Federal Occupational Safety and Health Act.

12. Waiver and Defects. In executing this Agreement, the Developer waives all objections it may have concerning defects, if any, in the formalities whereby it is executed, or concerning the power of the Town to impose conditions on the Developer as set forth herein, and concerning the procedure, substance, and form of the ordinances or resolutions adopting this Agreement.

13. Modifications. This Agreement shall not be amended except by subsequent written agreement of the Parties.

14. Release of Liability. It is expressly understood that the Town cannot be legally bound by presentations of any of its officers or agents or their designees except in accordance with the Town of Elizabeth Codes of Ordinances and the laws of the State of Colorado.

15. Captions. The captions to this Agreement are inserted only for the purpose of convenient reference and in no way define, limit, or prescribe the scope or intent of this Agreement or any part thereof.

16. Binding Effect. This Agreement shall be binding upon and inure to the benefit of the Parties hereto and their respective heirs, successors, and assigns as the case may be.

17. Invalid Provision. If any provision of this Agreement shall be determined to be void by any court of competent jurisdiction, then such determination shall not affect any other provision hereof, and all of the other provisions shall remain in full force and effect. It is the intention of the Parties hereto that if any provision of this Agreement is capable of two (2) constructions, one of which would render the provisions valid, then the provision shall have the meaning which renders it valid.

18. Governing Law. The laws of the State of Colorado shall govern the validity, performance and enforcement of this Agreement. Should either Party institute legal suit or action for enforcement of any obligation contained herein, it is agreed that the venue of such suit or action shall be in Elbert County, Colorado.

19. Attorney Fees. Should this Agreement become the subject of litigation to resolve a claim of default of performance by the Developer and a court of competent jurisdiction determines that the Developer was in default in the performance of the Agreement, the Developer shall pay the attorney fees, expenses and court costs of the Town.

20. Notice. All notices required under this Agreement shall be in writing and shall be hand-delivered or sent by registered or certified mail, return receipt requested, postage prepaid, to the addresses of the Parties herein set forth. All notices so given shall be considered effective seventy-two (72) hours after deposit in the United States mail with the proper address as set forth below. Either Party by notice so given may change the address to which notices shall be sent.

Notice to the Town: Patrick Davidson
Town Administrator
151 South Banner Street
P.O. Box 159
Elizabeth, Colorado 80107

With Copy To: Corey Y. Hoffmann
Hoffmann, Parker, Wilson and Carberry P.C.
511 16th Street, Suite 610
Denver, Colorado 80202

Notice to Developer: Shamrock Investments, LLC
Attn: Sean Cleary, Managing Partner
190 Paoli Street
Verona, WI 53593

21. Force Majeure. Whenever the Developer is required to complete the construction, repair or replacement of the Public Improvements by an agreed deadline, the Developer shall be entitled to an extension of time equal to a delay in completing the foregoing due to unforeseeable causes beyond the control and without the fault or negligence of the Developer including, but not limited to, acts of God, weather, fires and strikes.

22. Approvals. Whenever approval or acceptance of the Town is necessary pursuant to any provision of this Agreement, the Town shall act reasonably and in a timely manner in responding to such request for approval or acceptance.

23. Assignment or Assignments. There shall be no transfer or assignment of any of the rights or obligations of the Developer under this Agreement without the prior written approval of the Town, provided that Developer may assign this Agreement to any affiliated entity of Developer so long as Developer remains liable for the payment and performance of the Developer's obligations hereunder. The Developer agrees to provide the Town with at least fourteen (14) days' advance written notice of the transfer or assignment of any of the rights and obligations of the Developer under this Agreement.

24. Title and Authority. The Developer expressly warrants and represents to the Town that it has full power and authority to enter into this Site Plan Agreement. The Developer and the undersigned individuals understand that the Town is relying on such representations and warranties in entering into this Agreement.

WHEREFORE, the Parties hereto have executed this Agreement on the day and year first above-written.

TOWN OF ELIZABETH, COLORADO

By: _____
Megan Vasquez, Mayor

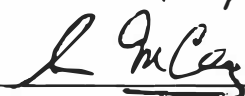
ATTEST:

Michelle M. Oeser, Town Clerk

APPROVED AS TO FORM:


Corey Y Hoffmann, Town Attorney

DEVELOPER

By: Sean M. Cleary
Name/Title: Managing Member
Signature: 

STATE OF WISCONSIN)
)
COUNTY OF DANE) ss.

^{13th} The foregoing instrument was subscribed, sworn to, and acknowledged before me this ___
day of JUNE, 2022, by Sean Cleary, of Shamrock Investments, LLC, a Wisconsin limited liability company, on behalf of said company.

My commission expires: 05/09/2023

(SEAL)


Notary Public



EXHIBIT B CIVIL SITE

March 25, 2022

Town of Elizabeth
Community Development
PO Box 159
Elizabeth, CO 80107

RE: Estimate of Probable Costs for Public Improvements for Lot 3, Crossroads Business Park, Elizabeth, Colorado.

To: Town Staff,

It is our understanding that an estimated cost of public improvements is required to be provided for the subject development. The only public improvements include the construction of ADA curb ramps in line with the future sidewalks at the entrance to this site. Because of the narrow width of the lot at the entrance, there are no other public improvements.

<u>Item</u>	<u>Unit of Measurement</u>	<u>Estimated Unit Cost</u>	<u>Estimated Quantity</u>	<u>Total Cost</u>
Curb Ramp	SqYd	\$120	12.5	\$1,500
			<u>15% Contingency</u>	<u>\$225</u>
			Total	\$1,725

Please feel free to call if you have any questions.

Sincerely,

Brian Johnson, P.E.
Prism Design & Consulting Group



2022.0
3.25
09:11:3
6
-06'00'



EXHIBIT B² LANDSCAPE

34090 Pine Ridge Circle
Elizabeth, CO 80107
Phone: 303.248.6294
Web: 101Landscaping.com

Attention: Matt -Shamrock Investments-ROW of Estimate

{Cleary Building}
751 Crossroads Circle
Elizabeth CO 80107

Upon a review of the site plan we find only excavation, turf installation and irrigation to be required in the Public Right of Way. Please see costs below:

700 sqft sod to be installed with proper soil prep and amendments \$1,260.00

One zone of irrigation to be installed @ \$900

Any other add ons or details will be additional cost signed off by builder or developer

This proposal is good for thirty days after that may need revised do to fuel, delivery or product price increase

Contingency of 15%: \$324.00

Total Cost Estimate: \$2,484.00



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

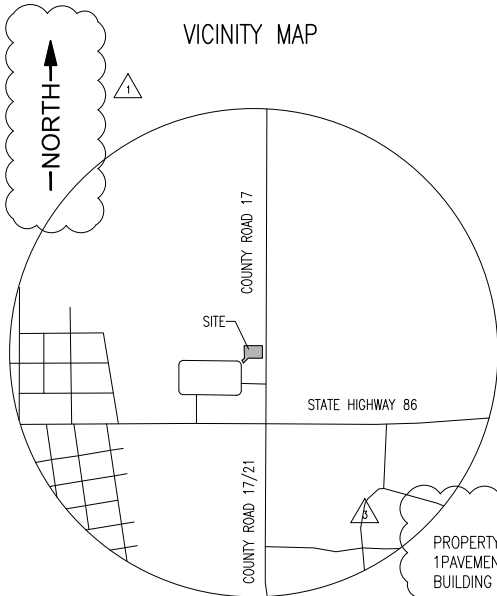
DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

SHAMROCK INVESTMENTS LLC

Site Plan for Shamrock Investments LLC
755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO



SCALE = 1:7500

LAND USE / SITE DATA

PROPERTY AREA: 27,442 SQ.FT. GROSS - 26,571 SQ.FT. NET
PAVEMENT AREA: 17,167 SQ.FT.
BUILDING AREA: 4,368 SQ.FT.

LOT COVERAGE (PER TABLE 16-6)

UNDER ROOF (ALLOWED): 50%
UNDER ROOF (ACTUAL): 4,368 SQ.FT. / 27,442 SQ.FT. = .159
≈16%

MINIMUM VEGETATIVE

AREA (REQUIRED): 15%
VEGETATIVE AREA (PROVIDED): 5,852 SQ.FT. / 27,442 SQ.FT. = .214
≈21%

PARKING SUMMARY

PARKING FORMULA: 1 SP. PER 200 SQ.FT. OF OFFICE SPACE
1 SP. PER 500 SQ.FT. OF GARAGE SPACE

SPACES REQUIRED:

OFFICE SPACE = 3,024 SF / 200 = 16 SPACES
GARAGE SPACE = 1,344 SF / 500 = 3 SPACES

19 SPACES REQUIRED TOTAL

SPACES PROVIDED: 19 SPACES PROVIDED

ACCESSIBLE SPACES PROVIDED: 2

SPACING SIZES: PARKING SPACES ARE REQUIRED TO BE BROKEN DOWN INTO 3 DIFFERENT SIZES

50% FULL SIZE (9' x 19') = 9 SPACES (9 PROVIDED)
25% OVERSIZE (10' x 20') = 4 SPACES (4 PROVIDED)
25% COMPACT (8' x 17') = 4 SPACES (4 PROVIDED)

OWNER OR TENANT

SHAMROCK INVESTMENTS
SHAMROCK INVESTMENTS LLC
CORPORATE OFFICES
190 PAOLI ST.
VERONA, WISCONSIN 53593

SHEET INDEX

SHEET NUMBER	SHEET NAME
CT1.0	SITE PLAN COVER SHEET
D1.0	SITE DEVELOPMENT PLAN
L1.0	LANDSCAPE AND IRRIGATION PLAN
EE1.0	EXTERIOR ELEVATIONS
SG1.0	BUILDING EXTERIOR SIGNAGE
IP1.0	INTERIOR ROOM LAYOUT PLAN
SP1.0	SITE PHOTOMETRIC PLAN
SP1.1	SITE LIGHTING DETAILS
C1.0	COVER SHEET & NOTES
C1.1	GRADING PLAN
C1.2	UTILITY SERVICE PLAN
C1.3	EROSION CONTROL PLAN
C1.4	EROSION & SEDIMENT CONTROL DETAILS

LEGAL DESCRIPTION

SECTION: 7 TOWNSHIP: 8 RANGE: 64 SUBDIVISION:
ELIZABETH CROSS ROADS BUSINESS PARK LOT: 3
1/21 INT TRACT C

SITE PLAN NOTES

- THIS SITE IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08039C0480C, EFFECTIVE DATE MARCH 17, 2011.
- THE PROPERTY IS ZONED RC: REGIONAL COMMERCIAL
- DENSITY AND DIMENSIONAL STANDARDS, CHAPTER 16 OF THE MUNICIPAL CODE:
MAXIMUM BUILDING HEIGHT - 35 FEET
FRONT SETBACK - 25 FEET WHEN ADJACENT TO PUBLIC ROW
10 FEET WHEN ADJACENT TO PRIVATE ROW
SIDE SETBACK - 10 FEET WHEN ADJACENT TO PUBLIC ROW
5 FEET WHEN ADJACENT TO PRIVATE ROW
REAR SETBACK - 5 FEET

PARKING SUMMARY

PARKING FORMULA: 1 SP. PER 200 SQ.FT. OF OFFICE SPACE
1 SP. PER 500 SQ.FT. OF GARAGE SPACE

SPACES REQUIRED:

OFFICE SPACE = 3,024 SF / 200 = 16 SPACES
GARAGE SPACE = 1,344 SF / 500 = 3 SPACES

19 SPACES REQUIRED TOTAL

SPACES PROVIDED: 19 SPACES PROVIDED

ACCESSIBLE SPACES PROVIDED: 2

SPACING SIZES: PARKING SPACES ARE REQUIRED TO BE BROKEN DOWN INTO 3 DIFFERENT SIZES

50% FULL SIZE (9' x 19') = 9 SPACES (9 PROVIDED)
25% OVERSIZE (10' x 20') = 4 SPACES (4 PROVIDED)
25% COMPACT (8' x 17') = 4 SPACES (4 PROVIDED)

PROJECT NAME: **SHAMROCK INVESTMENTS**
PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME: SITE PLAN COVER SHEET

PROJECT NUMBER: **PR201039**
SHEET NUMBER: **CT1.0**
SHEET SCALE:



ZONING

CLASSIFICATION:
 PROPERTY AREA:
 PAVEMENT AREA:

ZONING CODE

RC (REGIONAL COMMERCIAL)
 27,442 SQ.FT. GROSS - 26,571 SQ.FT. NET
 17,167 SQ.FT.

PARKING SUMMARY

PARKING FORMULA:

1 SP. PER 200 SQ.FT. OFFICE SPACE
 1 SP. PER 500 SQ.FT. GARAGE SPACE
 OFFICE SPACE = 3,024 SF
 OTHER SPACE = 1,344 SF

SPACES REQUIRED:

3,024/200 = 16 SPACES
 1,344/500 = 3 SPACES
 19 SPACES REQUIRED

SPACES PROVIDED:

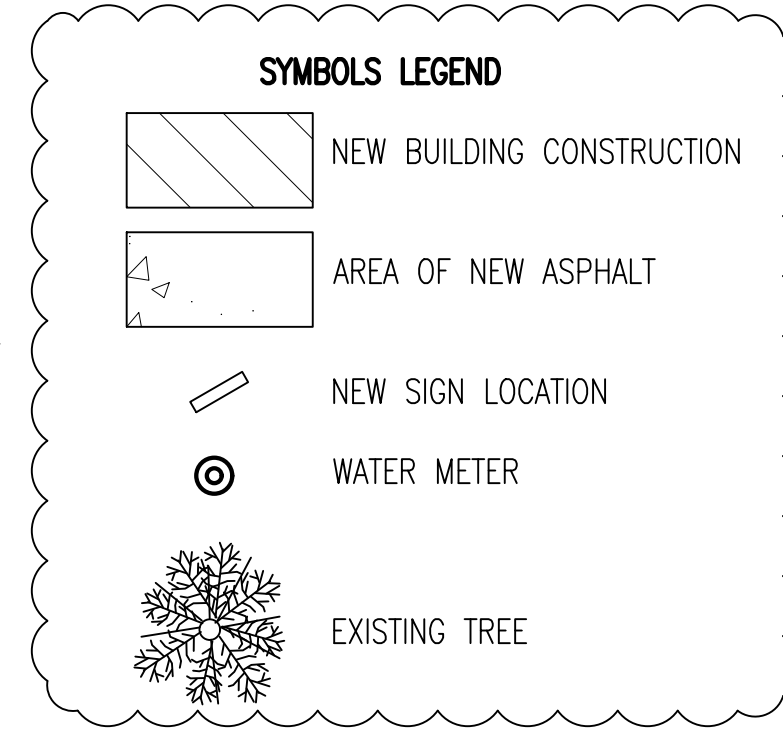
19 SPACES PROVIDED

H.C. SPACES PROVIDED: 2

SPACE SIZES:

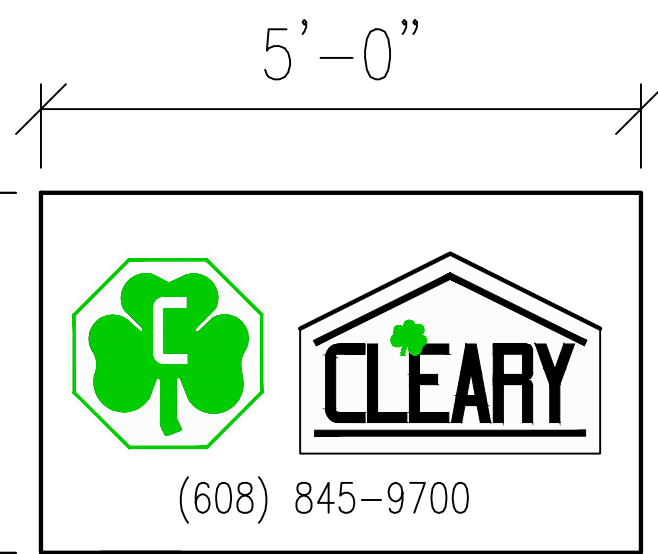
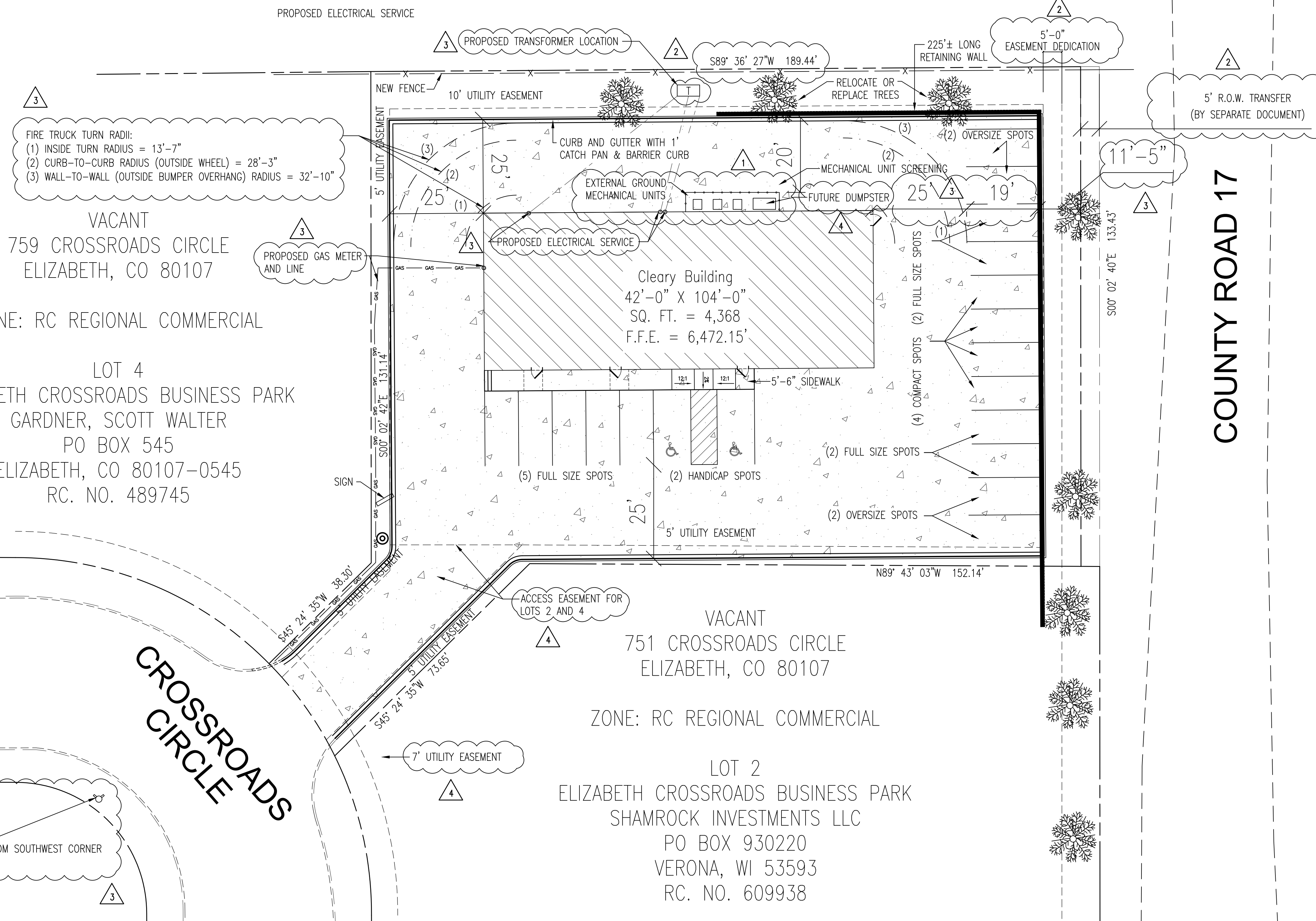
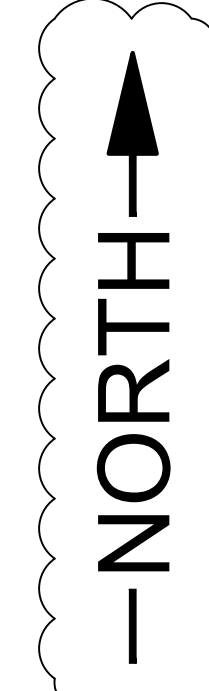
PARKING SPACES ARE REQUIRED TO BE BROKEN
 DOWN INTO 3 DIFFERENT SIZES:

50% FULL SIZE (9' x 19') = 9 SPACES
 25% OVERSIZE (10' x 20') = 4 SPACES
 25% COMPACT (8' x 17') = 4 SPACES

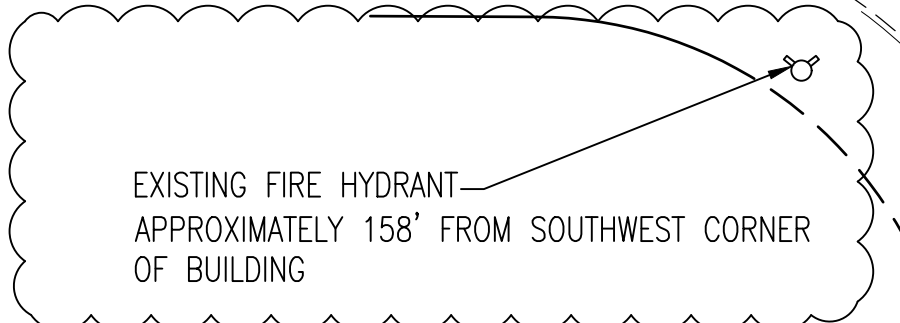


EXEMPT
 34201 COUNTY RD17
 ELIZABETH, CO 80107
 ZONE: A AGRICULTURE

ELIZABETH PARK AND RECREATION DISTRICT
 PO BOX 434
 ELIZABETH, CO 80107-0434
 RC. NO. 377430



SIGN ELEVATION



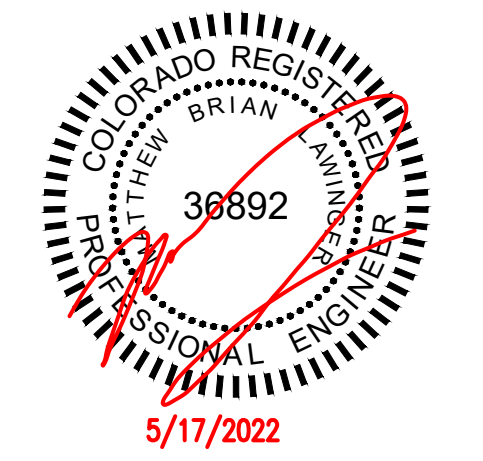
DRAWN BY: WALDERA
 DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2	2/3/22	MW
3	3/4/22	MW
4	3/24/22	MW

PROJECT NAME: SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: SITE DEVELOPMENT PLAN

PROJECT NUMBER: PR2021039
 SHEET NUMBER: D1.0
 SHEET SCALE: 1/16" = 1'-0"



PLANTING SCHEDULE

MARK	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	DETAIL	NOTES
●	ROCKY MOUNTAIN MAPLE	ACER GLABRUM	2	2 1/2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
☀	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	1	2 1/2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
●	TAMMY JUNIPER	JUNIPERUS SABINA 'TAMISCIFOLIA'	10	2' HEIGHT MIN.	4/L1.2	FULL PLANT
★	COMPACT EVERGREEN OREGON GRAPE HOLLY	MAHONIA AQUILIFOLIUM 'COMPACTA'	10	1' HEIGHT MIN.	4/L1.2	FULL PLAN

GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SHOWN COVERAGE AREAS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL AS SPECIFIED.
- VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND PLANTING. REFER TO LANDSCAPE PLAN. WHEN TRENCHING AVOID TREE ROOT BALLS AND INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO AVOID OVERTHROW ON SIDEWALKS, PAVING, WALLS, ROADWAYS, AND BEYOND PROPERTY LINES, UNLESS OTHERWISE INDICATED. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 18" FROM WALLS AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD.
- TOP OF SPRAY AND ROTOR HEADS SHALL BE SE AT TOP OF SOD OR TOP OF MULCH LAYERS.
- PROVIDE RAIN SENSOR AND ANTI-FREEZE ASSEMBLY ON IRRIGATION SYSTEM.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000 PSI POURED CONCRETE THRUST BLOCKS.
- PROVIDE COMPRESSED AIR QUICK CONNECT BRASS FITTING IN VALVE BOX FOR WINTERIZATION. LOCATE AS CLOSE TO WATER SOURCE AS POSSIBLE.

KEY NOTES

- (A) APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO UTILITIES PLAN.
- (B) IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- (C) 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



VACANT
759 CROSSROADS CIRCLE
ELIZABETH, CO 80107

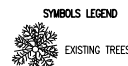
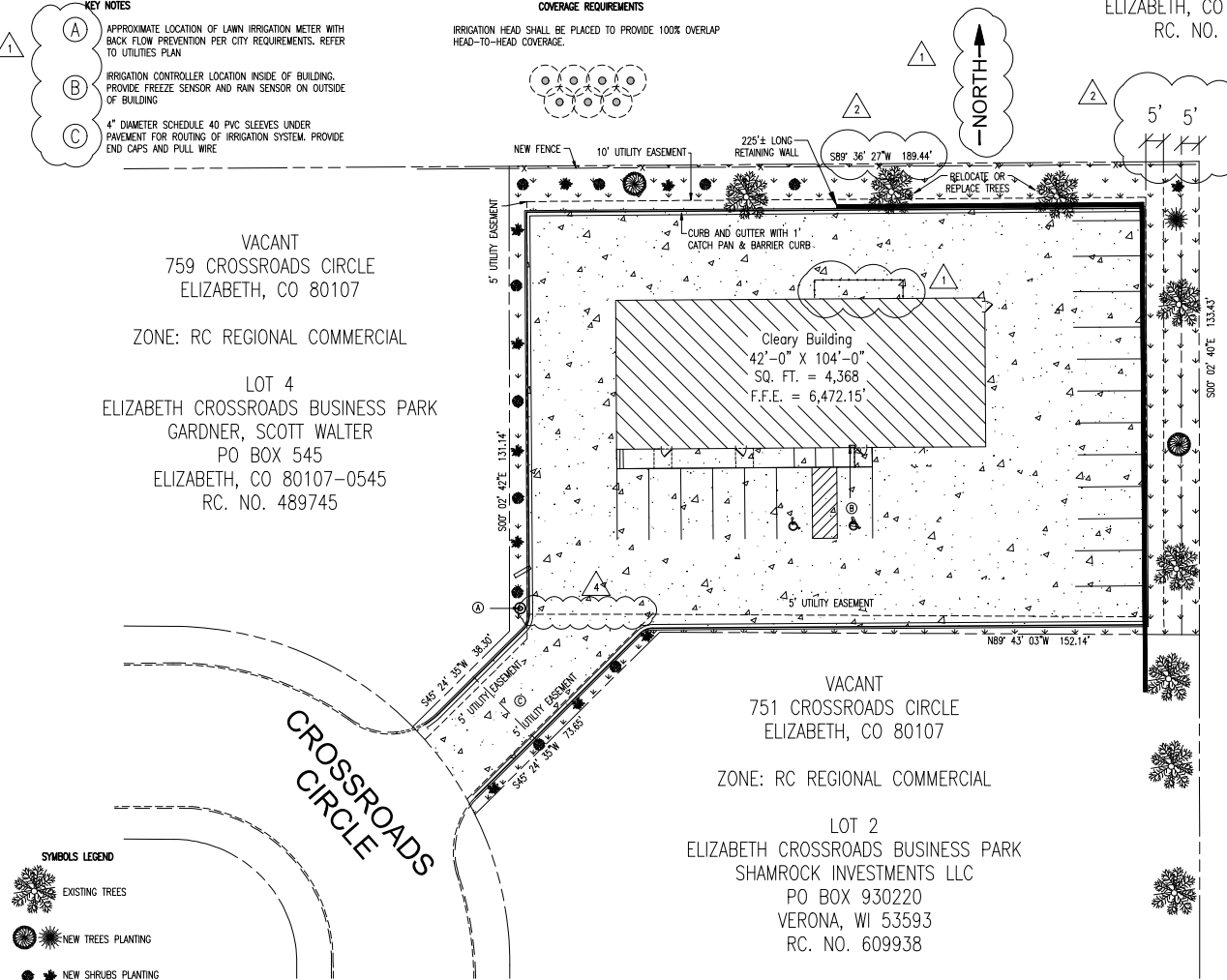
ZONE: RC REGIONAL COMMERCIAL

LOT 4
ELIZABETH CROSSROADS BUSINESS PARK
GARDNER, SCOTT WALTER
PO BOX 545
ELIZABETH, CO 80107-0545
RC. NO. 489745

VACANT
751 CROSSROADS CIRCLE
ELIZABETH, CO 80107

ZONE: RC REGIONAL COMMERCIAL

LOT 2
ELIZABETH CROSSROADS BUSINESS PARK
SHAMROCK INVESTMENTS LLC
PO BOX 930220
VERONA, WI 53593
RC. NO. 609938



LANDSCAPE CALCULATIONS

LANDSCAPE AND BUFFER AREA SEC. 16-2-50
REQUIRED:
15% OF SITE AREA
PROVIDED:
5,852 SQ.FT. / 27,387 SQ.FT. = .214 ≈ 21%

BUFFER STRIP PLANTING REQUIREMENTS SEC. 16-2-50
ALONG ALL PUBLIC AND PRIVATE STREETS:
DECIDUOUS AND CONIFEROUS TREES PLANTED AT FORTY-FOOT INTERVALS WITHIN TEN (10) FEET OF THE PAVEMENT OR CURBS LINE EXCEPT ALONG STATE HIGHWAY 86 WHERE THE PROPERTY LINE SHALL BE USED.

REQUIRED ALONG COUNTY ROAD 17:
133.43' FRONTAGE/40.0' = 3.34 ≈ 4 TREES REQUIRED/4 TREES PROVIDED

IN ALL LANDSCAPING AREAS, ONE (1) TREE AND FIVE SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY BUILDING OR REQUIRED PARKING.
5,852 SQ.FT. / 1,500 SQ.FT. = 3.90
3.90 x 5 = 19.5 ≈ 20 SHRUBS / 20 PROVIDED
3.90 x 1 = 3.90 ≈ 4 TREES / 4 PROVIDED

EXEMPT
34201 COUNTY RD17
ELIZABETH, CO 80107

ZONE: A AGRICULTURE

ELIZABETH PARK AND RECREATION DISTRICT
PO BOX 434
ELIZABETH, CO 80107-0434
RC. NO. 377430



DRAWN BY: WALDERA
DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2	2/3/22	MW
3	3/4/22	MW
4	3/24/22	MW

PROJECT NAME:
SHAMROCK INVESTMENTS

PROJECT SITE ADDRESS:
755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO

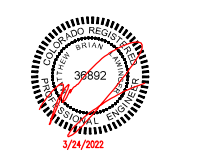
BUILDING SIZE:
42'x32'x14'-8" & 42'x72'x11'-8"

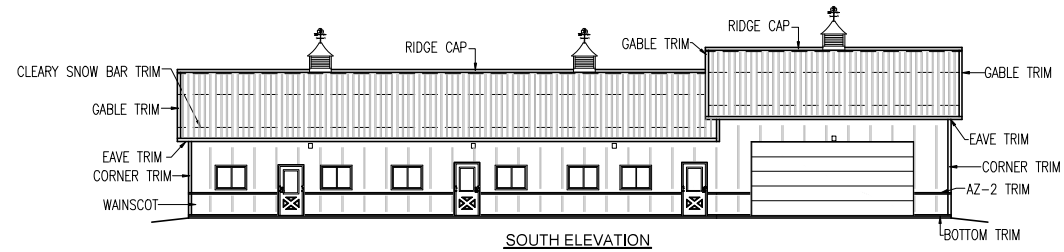
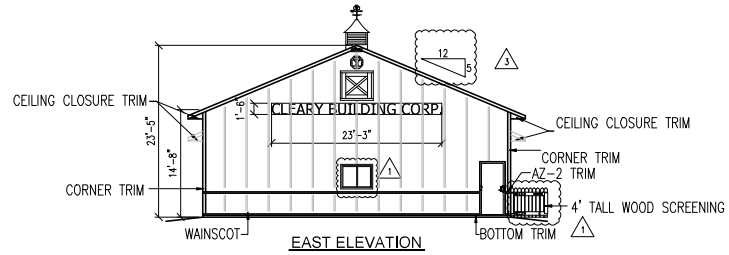
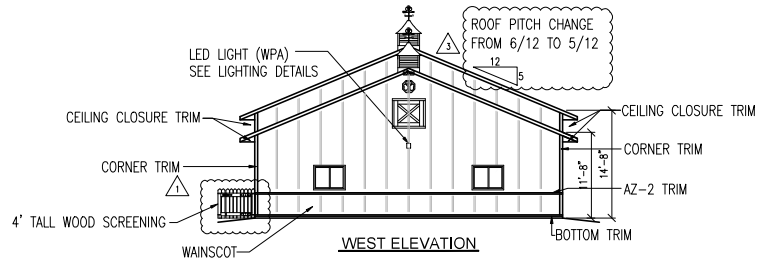
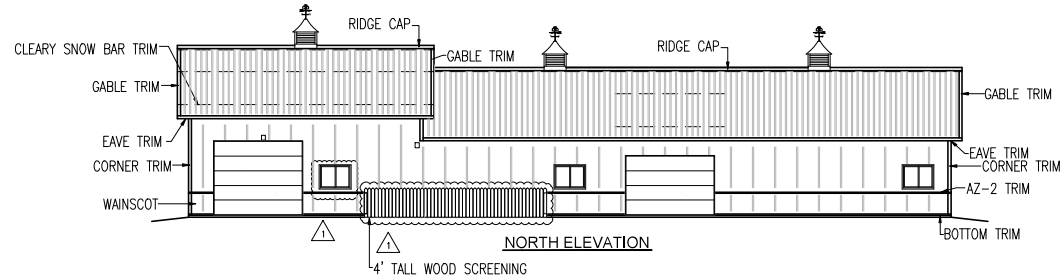
SHEET NAME:
LANDSCAPE AND IRRIGATION PLAN

PROJECT NUMBER:
PR2021039

SHEET NUMBER:
L1.0

SHEET SCALE: 1/16"=1'-0"





BUILDING COLORS
 ROOF: GRAND RIB III +, RED
 SIDES: GRAND RIB III +, LIGHT STONE
 TRIM: GRAND RIB III +, RED
 WAINSCOTING: GRAND RIB III +, RED
 BUILDING SIGN: CELLULOSE ACETATE BUTYRATE, DARK GREEN



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 7/16/21

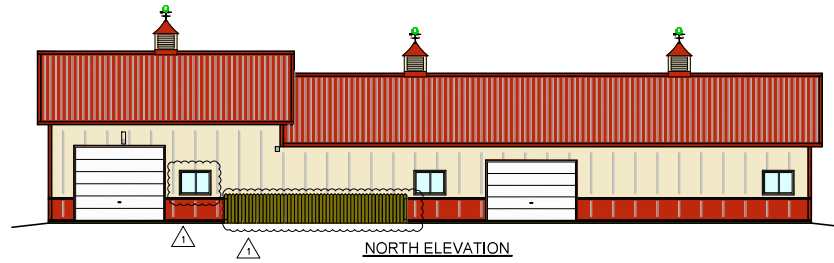
PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

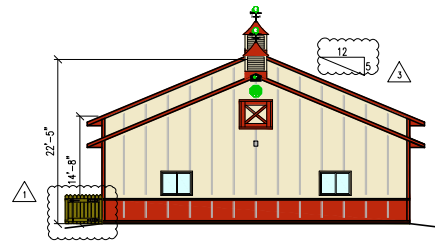
PROJECT NAME: SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS: 755 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: EXTERIOR ELEVATIONS

PROJECT NUMBER: PR2021039
 SHEET NUMBER: EE1.0
 SHEET SCALE: 1/8"=1'-0"

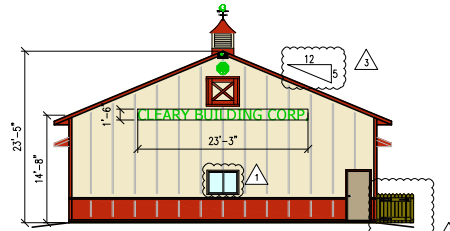




NORTH ELEVATION






EAST ELEVATION



SOUTH ELEVATION

BUILDING COLORS

ROOF: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 SIDES: GRAND RIB III +, LIGHT STONE
 TRIM: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 WAINSCOTING: GRAND RIB III +, CRINKLE FINISH - RURAL RED
 BUILDING SIGN: CELLULOSE ACETATE BUTYRATE, DARK GREEN

-  FABRAL: RED (898)
-  FABRAL: LIGHT STONE (887)
-  CAPITAL CITY NEON SIGN CO.: DARK GREEN (2030)

CLEARY BUILDING CORP.
 190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA
 DATE DRAWN: 7/16/21

PLAN REVISIONS:		
NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

PROJECT NAME: **SHAMROCK INVESTMENTS**
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
 SHEET NAME: BUILDING EXTERIOR SIGNAGE

PROJECT NUMBER: **PR2021039**
 SHEET NUMBER: **SG1.0**
 SHEET SCALE: 1/8"=1'-0"





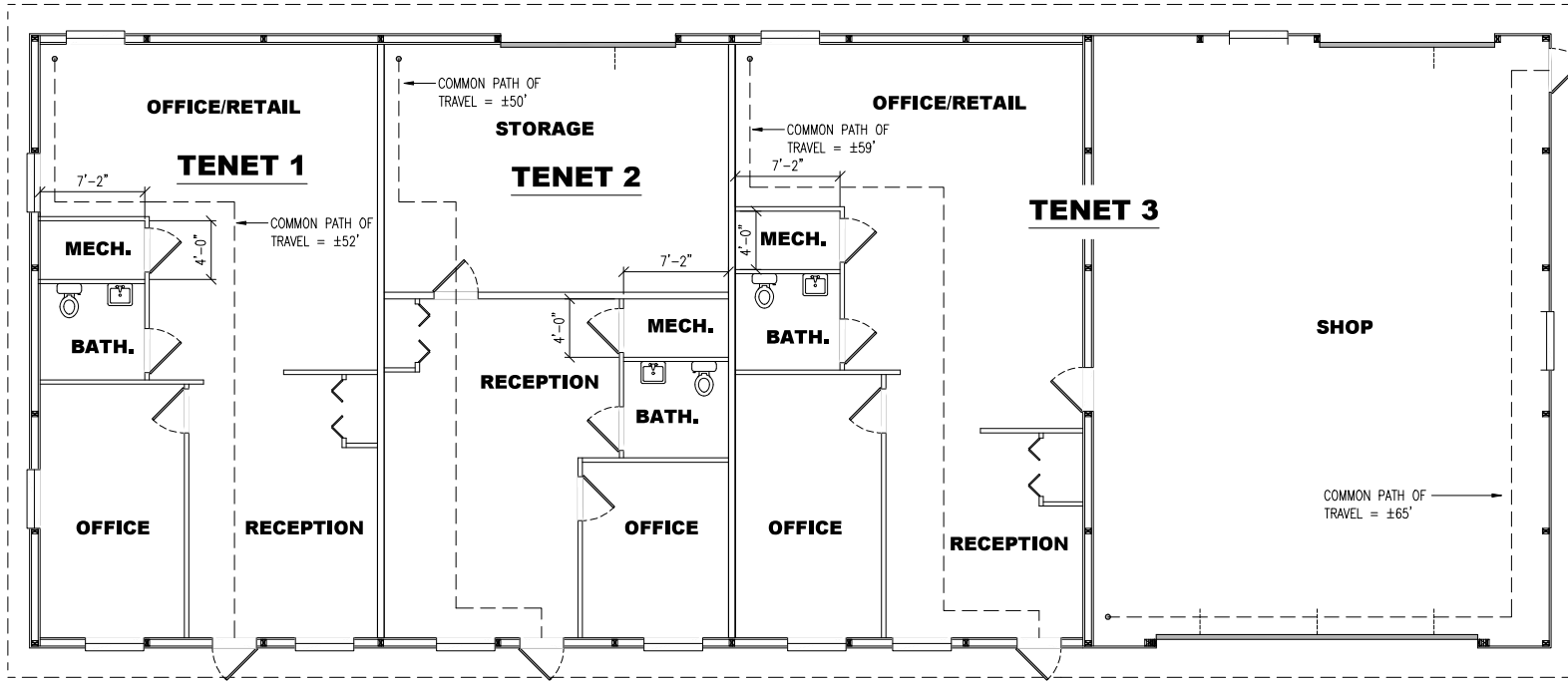
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 3/4/22

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		



FINISH SCHEDULE			
ROOM	WALL	CEILING	FLOOR
SHOP	- UNFINISHED FRAMING	- UNFINISHED FRAMING	CONCRETE
MECHANICAL	- UNFINISHED FRAMING	- LINER PANEL CEILING WITH (3) MIL. POLY. - ATTIC INSULATION (BY CLEARY SUB) - 8'-0" FROM FINISHED FLOOR TO CEILING	CONCRETE
BATHROOMS	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- 2x8 SP#1 DECK JOISTS AT 16" O.C. - 5/8" GYPSUM WALL BOARD CEILING - 8'-0" FROM FINISHED FLOOR TO CEILING	VINYL
RECEPTION	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CARPET
OFFICES	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- 2x8 SP#1 DECK JOISTS AT 16" O.C. - 5/8" GYPSUM WALL BOARD CEILING - 8'-0" FROM FINISHED FLOOR TO CEILING	CARPET
OFFICE/RETAIL	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CONCRETE
STORAGE	- 2x4 NAILERS AT 24" O.C. - 1/2" GYPSUM WALL BOARD - 4" VINYL BASE BOARD	- STEEL CEILING - ATTIC INSULATION - FLOOR TO CEILING HEIGHT VARIES	CONCRETE

NOTE:
ALL EXTERIOR AND INTERIOR
DOORS TO BE ADA COMPLIANT

PROJECT NAME: SHAMROCK INVESTMENTS
PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO
BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME: INTERIOR ROOM LAYOUT PLAN

PROJECT NUMBER: PR2021039
SHEET NUMBER: IP1.0
SHEET SCALE: 1/4"=1'-0"

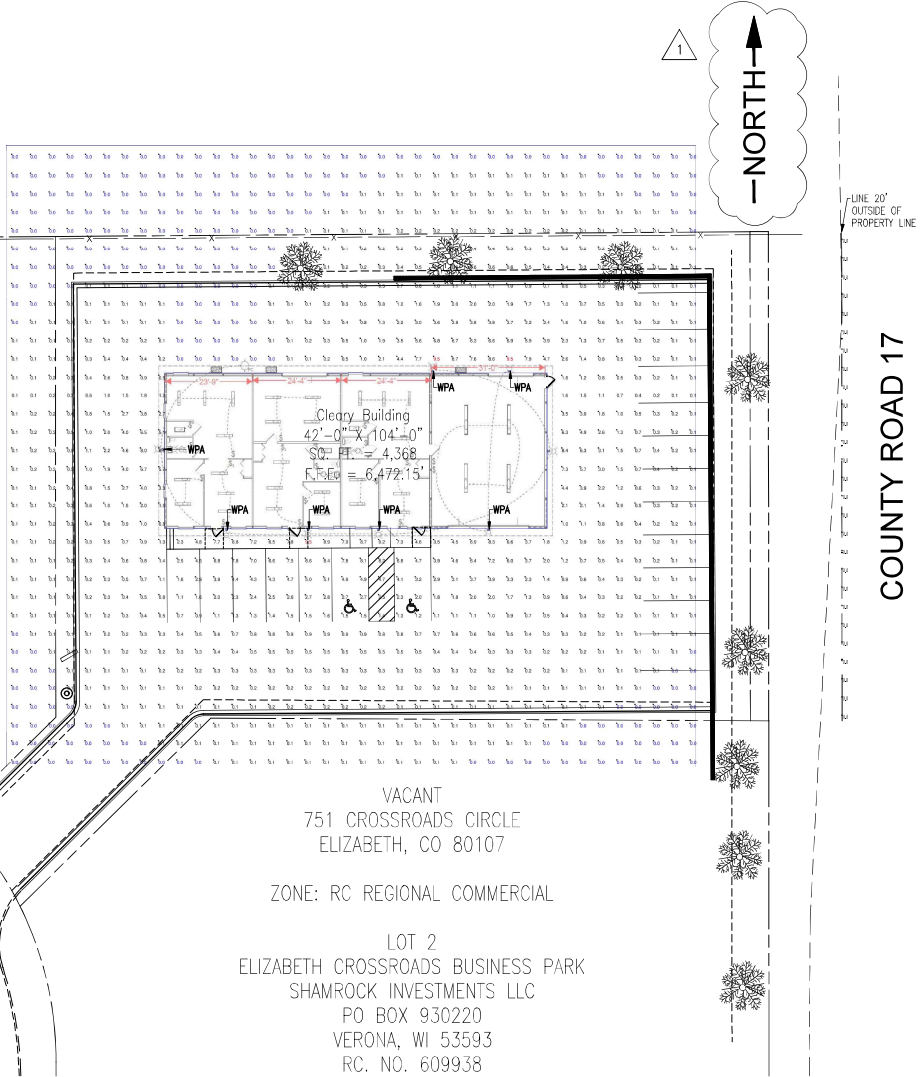


AUTOMATIC LIGHTING CONTROL
COMPLIANCE WITH ENERGY CODE IS
ACHIEVED BY:

1. ALL SIGNAGE LIGHTING SHALL BE EXTINGUISHED WITHIN ONE (1) HOUR OF THE END OF BUSINESS HOURS, AND REMAIN EXTINGUISHED UNTIL ONE (1) HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS HOURS.
2. LIGHTS SHALL BE AUTOMATICALLY TURNED OFF WHEN DAYLIGHT IS PRESENT AND SATISFIES THE LIGHTING NEEDS. BUILDING FACADE AND LANDSCAPE LIGHTING SHALL AUTOMATICALLY SHUT OFF FROM NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENING.
3. TIME SWITCH CONTROLS FOR EXTERIOR LIGHTING SHALL COMPLY WITH THE FOLLOWING:
 - 3.1. THEY SHALL HAVE A CLOCK CAPABLE OF BEING PROGRAMMED FOR NOT FEWER THAN 7 DAYS.
 - 3.2. THEY SHALL BE CAPABLE OF BEING SET FOR SEVEN DIFFERENT DAY TYPES PER WEEK.
 - 3.3. THEY SHALL INCORPORATE AN AUTOMATIC HOLIDAY SETBACK FEATURE.
 - 3.4. THEY SHALL HAVE PROGRAM BACKUP CAPABILITIES THAT PREVENT THE LOSS OF PROGRAM TIME SETTINGS FOR A PERIOD OF NOT LESS THAN 10 HOURS IN THE EVENT THAT POWER IS INTERRUPTED.

VACANT
 759 CROSSROADS CIRCLE
 ELIZABETH, CO 80107
 ZONE: RC REGIONAL COMMERCIAL
 LOT 4
 ELIZABETH CROSSROADS BUSINESS PARK
 GARDNER, SCOTT WALTER
 PO BOX 545
 ELIZABETH, CO 80107-0545
 RC. NO. 489745

VACANT
 751 CROSSROADS CIRCLE
 ELIZABETH, CO 80107
 ZONE: RC REGIONAL COMMERCIAL
 LOT 2
 ELIZABETH CROSSROADS BUSINESS PARK
 SHAMROCK INVESTMENTS LLC
 PO BOX 930220
 VERONA, WI 53593
 RC. NO. 609938



DRAWN BY: WALDERA
 DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/22	MW
2		
3	3/4/22	MW
4		

PROJECT NAME:
SHAMROCK INVESTMENTS

PROJECT SITE ADDRESS:
 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO

BUILDING SIZE:
 42'x32'x14'-8" & 42'x72'x11'-8"

SHEET NAME:
 SITE PHOTOMETRIC PLAN

PROJECT NUMBER:
PR2021039

SHEET NUMBER:
SP1.0

SHEET SCALE: 1/16"=1'-0"



EXTERIOR LIGHT FIXTURE SCHEDULE

MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	MOUNTING	LAMP TYPE	WATTAGE	NOTES
WPA	EIKO	WPA-455-35W-740-UD-BZ	120-277V	WALL	LED	35.1W	FULL CUTOFF



WALLPACK : FULL CUTOFF

DESCRIPTION

A stylish and slim adjustable wallpack featuring 130lpw efficiency and 0°-90° adjustability.

FEATURES

- 0°-90° adjustable
- Easy installation and maintenance

LISTINGS

- UL Listed for wet locations
- IP65 Rated
- DesignLights Consortium® Premium Qualified - meets the requirements for the highest DLC qualification for efficacy and lumen maintenance

LED CHARACTERISTICS

- Rated lifetime L70: 50,000 hours
- 4000K/5000K CCT
- CRI: >70

ELECTRICAL

- Input voltage: 120-277V
- Power factor: >0.9
- THD: <20%

CONSTRUCTION

- Integrated aluminum heat sink
- Polycarbonate lens
- Corrosion-resistant coating
- -40°F to 122°F (-40°C to 50°C) operating temperature

WARRANTY

- 5 year limited warranty. Additional warranty options available. Contact EIKO for details

project name	type
catalog number	
comments	voltage
approved by	date



12W/35W



50W/75W

APPLICATIONS

- Industrial Parks
- Loading Docks
- Utility Sheds
- Entrways
- Walkways
- Storage Areas
- Security



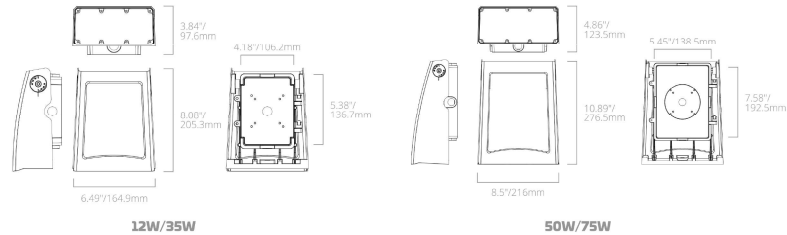
PERFORMANCE SUMMARY

Order Code	Item #	Watts	Lumens	CCT	CRI	Volts	Dimming	DLC Premium
11139	WPA-156-12W-740-UD-BZ	12W	1,560	4000K	70+	120-277V	0-10V	✓
11140	WPA-156-12W-750-UD-BZ	12W	1,560	5000K	70+	120-277V	0-10V	✓
11141	WPA-455-35W-740-UD-BZ	35W	4,550	4000K	70+	120-277V	0-10V	✓
11142	WPA-455-35W-750-UD-BZ	35W	4,550	5000K	70+	120-277V	0-10V	✓
11144	WPA-650-50W-740-UD-BZ	50W	6,500	4000K	70+	120-277V	0-10V	✓
11145	WPA-650-50W-750-UD-BZ	50W	6,500	5000K	70+	120-277V	0-10V	✓
11146	WPA-975-75W-740-UD-BZ	75W	9,750	4000K	70+	120-277V	0-10V	✓
11147	WPA-975-75W-750-UD-BZ	75W	9,750	5000K	70+	120-277V	0-10V	✓

ACCESSORIES

Order Code	Item #	Description
11154	WPAYOKESM	Adjustable Wall Pack Yoke Mount Small (12W/35W models)
11155	WPAKNUCKLES	Adjustable Wall Pack Knuckle Mount Small (12W/35W models)
11156	WPAYOKEMD	Adjustable Wall Pack Yoke Mount Medium (50W/75W models)
11157	WPAKNUCKLEMD	Adjustable Wall Pack Knuckle Mount Medium (50W/75W models)
09966	PC1-4036-U	Photocell, Flush Mount, 120-277V
09967	PC1-4136-U	Photocell, Stem Mount, Side Lens, 120-277V
09968	PC1-4236-U	Photocell, Stem Swivel Mount, Side Lens, 120-277V
09969	PC1-4736-U	Photocell, Stem Swivel Mount, Top Lens, 120-277V

DIMENSIONS



ORDERING INFORMATION

EXAMPLE: WPA-156-12W-740-UD-BZ

Model	Lumens	Watts	CRI/CCT	Voltage	Dimming	Finish
WPA : Adjustable Wallpack	156 - 1,560 lm	12W - 12W	740 - 70 CRI; 4000K 750 - 70 CRI; 5000K	U - 120-277V	D - 0-10V Dimming	BZ - Bronze
	455 - 4,550 lm	35W - 35W				
	650 - 6,500 lm	50W - 50W				
	975 - 9,750 lm	75W - 75W				



190 PACLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDEPA

DATE DRAWN: 7/16/21

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3	3/4/22	
4		

PROJECT NAME: SHAMROCK INVESTMENTS
PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
TOWN OF ELIZABETH, COLORADO
BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x11'-8"
SHEET NAME: SITE LIGHTING DETAILS

PROJECT NUMBER: PR2021039

SHEET NUMBER: SP1.1

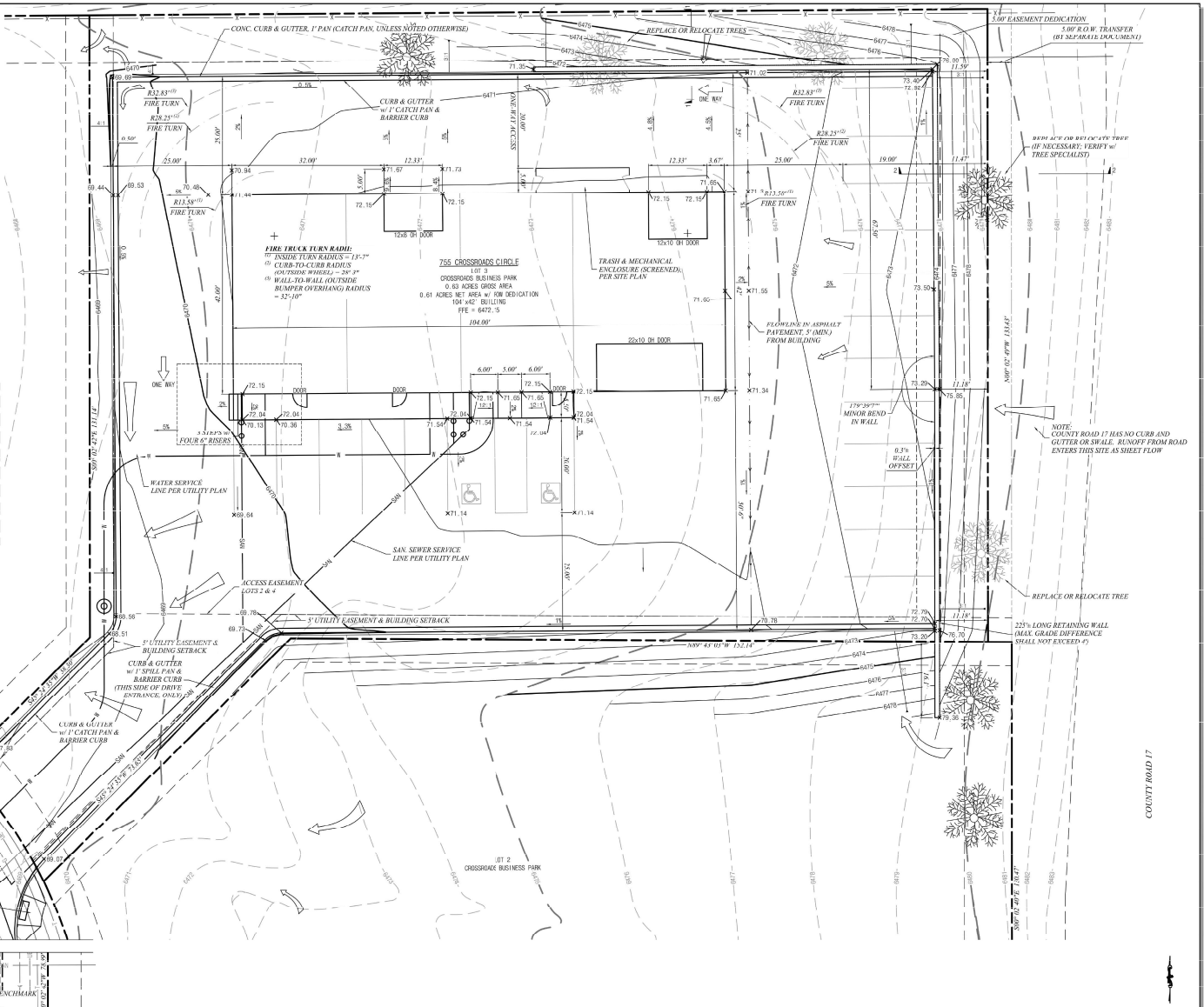
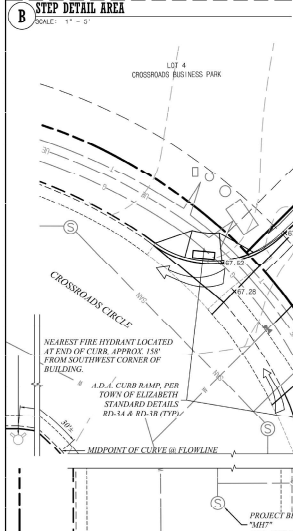
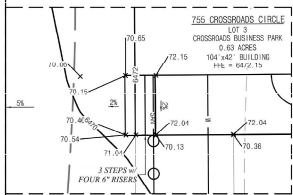
SHEET SCALE:



LEGEND

PROPERTY	
	SECTION LINE & CORNER
	PROPERTY LINE
	LOT LINE
	PROPERTY LINE - OFFSITE
	EASEMENT - PROPOSED
	EASEMENT - EXISTING

SITE	
EXISTING	DEVELOPED
	CURB & GUTTER (I.P. FLOWLINE & BACK OF CURB)
	SIDEWALK
	ASPHALT PAVEMENT
	TRAFFIC CONTROL SIGN
	MINOR CONTOUR
	MAJOR CONTOUR
	DRAINAGE SWALE
	RETAINING WALL
	FENCE - WIRE
	FENCE - PRIVACY
	FENCE - SPLIT RAIL
	RIDGE
	PROPOSED GROUND
	SPOT ELEVATION
	FLOW ARROW - GENERAL
	SLOPE ARROW - ON GRADE
	SLOPE



NO.	DATE	REVISION



THIS DRAWING MAY BE REPRODUCED FOR THE PURPOSE OF PREPARING CONTRACTS COVERING THE SAME UNDER THE SUPERVISION OF THE ENGINEER OR ARCHITECT. THIS REPRODUCTION MAY BE APPLIED TO OTHER SITES PROVIDED THAT THE REPRODUCER OBTAINS THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. THIS REPRODUCTION MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT.

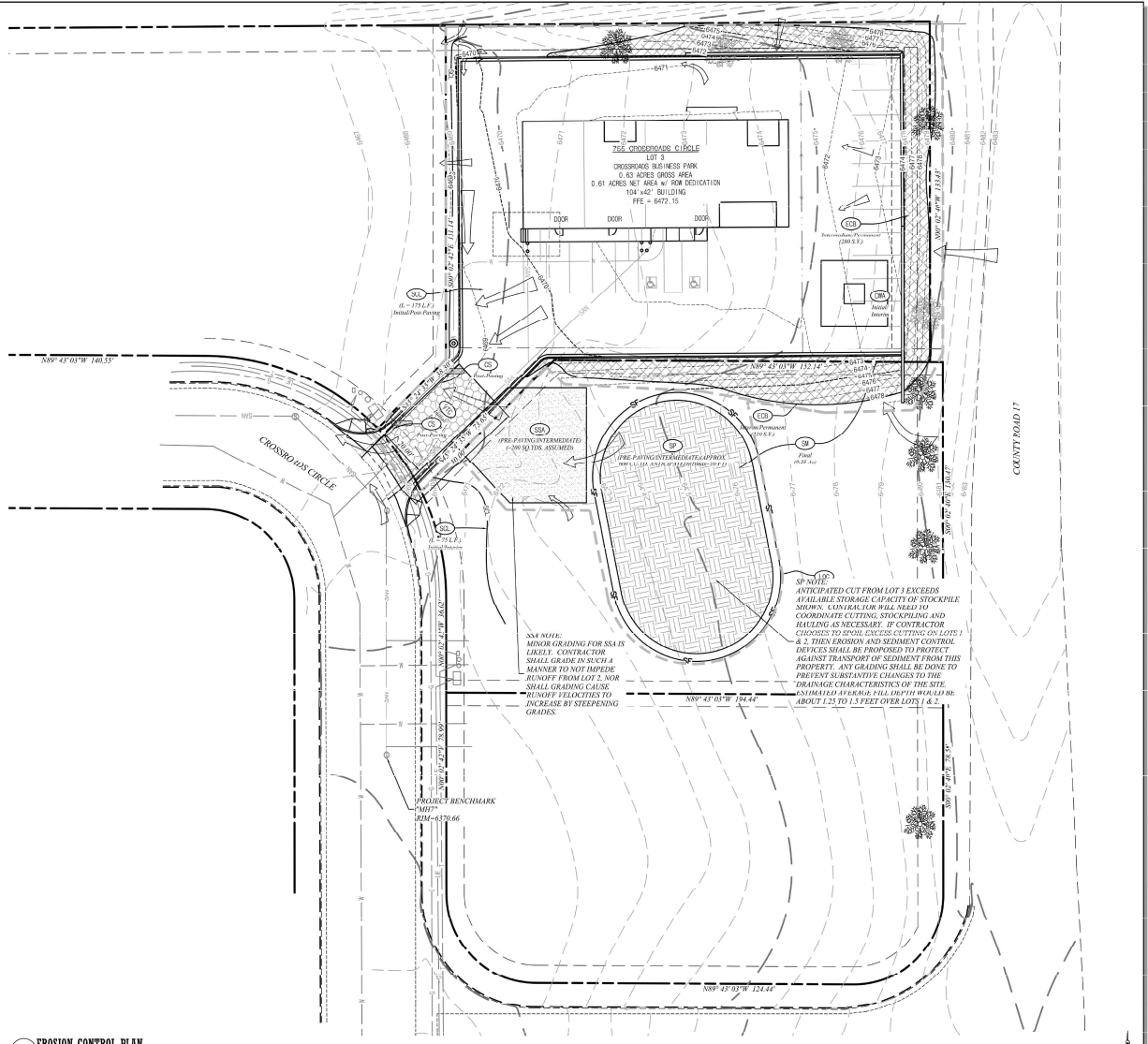
NOTE: COUNTY ROAD 17 HAS NO CURB AND GUTTER OR SWALE. RUNOFF FROM ROAD ENTERS THIS SITE AS SHEET 17-01.

PRISM DESIGN & CONSULTING GROUP
P.C. BOX 481730
Phone: 732-689-2324
www.prismdesign.com

GRADING PLAN
PROJECT CLIENT: Chery Building Corp
381 Crossroads Circle, Lot 4, Crossroads Business Park, Town of Newark, Newark, NJ 07102
PROJECT NO: 21-021
DATE: 04/2023
SCALE: 1" = 10'
SHEET: C1.1

- LEGEND**
- PROPERTY**
- SECTION LINE & CORNER
 - PROPERTY LINE
 - EASEMENT - EXISTING
 - BUILDING SETBACK
- UTILITIES**
- EXISTING**
- WATER MAIN & VALVE
 - FIRE HYDRANT & VALVE
 - WATER SERVICE
 - SANITARY SEWER MAIN & BOX
 - SANITARY SEWER SERVICE
- DEVELOPED**
- CURB & GUTTER (L.P., FLOWLINE & BACK OF CURB)
 - SIDEWALK
 - ASPHALT PAVEMENT
 - TRAFFIC CONTROL SIGN
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - DRAINAGE SWALE
 - RETAINING WALL
 - PROPOSED GROUND
 - SPOT ELEVATION
 - FLOW ARROW - GENERAL
 - SLOPE ARROW - ON GRADE
 - SLOPE

- EROSION CONTROL**
- LIMITS OF CONSTRUCTION
 - SILT FENCE
 - SEDIMENT CONTROL LOG
 - CONCRETE WASHOUT AREA
 - STABILIZED STAGING AREA
 - EROSION CONTROL BLANKET
 - SEEDING AND MULCHING / GENERAL LANDSCAPING
 - VEHICLE TRACKING CONTROL
 - SOIL STOCKPILE
 - INLET PROTECTION
 - CURB ROCKS
 - ROCK SOCK CHECK DAM
 - SEDIMENT BASIN



A EROSION CONTROL PLAN
SCALE: 1" = 20'

REVISIONS	
NO.	DATE
<p>THIS DRAWING MAY BE REPRODUCED FOR THE PURPOSE OF PREPARING CONTRACTS COVERED BY THE LICENSE HOLDER'S LICENSE TO PRACTICE ARCHITECTURE OR PROFESSIONAL ENGINEERING, OR THIS DESIGN MAY BE REPRODUCED OR APPLIED IN OTHER LICENSED PROFESSIONS WITHOUT THE WRITTEN CONSENT OF AN INDIVIDUAL REVIEWED BY DESIGNER'S SIGNATURE.</p> <p>THIS DESIGN MAY BE LIMITED TO PRESENTATION FOR REVIEW PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION AFTER THIS TIME. DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT TO WHICH THIS DESIGN WAS APPLIED IN COMPLIANCE WITH CONTRACT DOCUMENTS.</p> <p>NOTICE: PROPERTY OWNERS AND INVESTORS SHOULD BE AWARE OF THE DESIGNER'S LIABILITY.</p>	
<p>PRISMA DESIGN & CONSULTING GROUP, INC. P.O. BOX 481730 DENVER, COLORADO 80248 PHONE: 720-669-2342 WWW.PRISMADESIGN.COM</p>	
<p>EROSION CONTROL PLAN</p> <p>PROJECT LOCATION: Cherry Building Corp 1810 Crossroads Circle, Lot 3, Crossroads Business Park Town of Lincoln, Lincoln, Nebraska</p> <p>DRAWN BY: Shanmuck Investments LLC 1810 Park Street Lincoln, NE 68508</p>	
NO. PROJECT:	21-021
DRAWN BY:	MS/MS
DATE:	3-24-2022
CHECKED BY:	MS/MS
DATE:	3-24-2022
SCALE:	1" = 20'
PROJECT NO.:	C1.3

Roof /
Wainscot

Item 2.



Siding



FINAL PLAT

ELIZABETH CROSS ROADS BUSINESS PARK

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, T8S, R64W, 6th P.M., TOWN OF ELIZABETH, ELBERT COUNTY, COLORADO

12-126
1/2

PROPERTY DESCRIPTION:

A parcel of land in the Southeast 1/4 of Section 7, Township 8 South, Range 64 West of the 6th Principal Meridian, Elbert County, Colorado, more particularly described as follows: Commencing at the Southeast corner of said Section 7 and commencing the East line of the Southeast 1/4 to bear N00°02'40"W with all bearings contained herein relative thereto; Thence N00°02'40"W along said East line a distance of 88.00 feet; Thence N88°43'37"E a distance of 40.00 feet to a point on the North Right of Way line of State Highway No. 86 and the true point of beginning; Thence N88°43'37"E along said North Right of Way line a distance of 581.60 feet; Thence S28°38'57"W along said North Right of Way line a distance of 410.44 feet; Thence S02°00'00"W a distance of 215.33 feet; Thence N12°00'00"W a distance of 378.77 feet; Thence N12°26'25"E a distance of 161.26 feet; Thence N88°36'27"E a distance of 1059.02 feet; Thence S00°02'40"E a distance of 748.44 feet to the point of beginning; Containing 17.81 acres, more or less.

DEDICATION STATEMENT:

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the lands described herein, have laid out, subdivided and platted said lands into lots, blocks, blocks, streets and easements as shown herein under the name and subdivision of Elizabeth Cross Roads Business Park. The utility easements as shown herein are hereby dedicated for public utility and public communication systems and other purposes as shown herein. The cost of providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for location, maintenance and replacement of utility lines and related facilities. The easements of ingress and egress, shown herein are dedicated and conveyed to the public in the simple absolute for public use and purposes.

[Signature]
Notary Public
Title: *[Signature]*

ATTEST:
Elizabeth Cross Roads Bus Park LLC

Subscribed and sworn to before me this 13 day of September, 2005, by *[Signature]*

WITNESS my hand and official seal.
[Signature]
Notary Public

My commission expires 10/25/07



TITLE VERIFICATION:

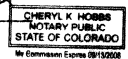
We, Security Title Guaranty Company, a qualified title insurance company, do hereby certify that we have examined the title of all land platted herein and that title to such land is in the dedication (a) free and clear of all liens, taxes and encumbrances, except as follows:
Debtors 3rd 2005 Lien R. Under Sec 1-P.

Date September 3rd 2005
Subscribed and sworn to before me this 3 day of October, 2005.

by *[Signature]*
Notary Public

WITNESS my hand and official seal.
Notary Public *[Signature]*

by Commission Expires 10/25/07



BOARD OF TRUSTEES:

This plat was approved for filing by the Board of Trustees of the Town of Elizabeth, Colorado on the 22nd day of July, 2005 for filing. The dedications are hereby accepted.

All expenses incurred with respect to improvements for all utility services, paving, grading, curbs, gutters, sidewalks, road lighting, road signs, flood protection devices, drainage structures and all other improvements that may be required shall be the responsibility of the subdividers and not the Town of Elizabeth. The Town shall only accept maintenance of the roadway improvements after construction has been completed, and after the warranty period, in accordance with Town Regulations.

[Signature]
Mayor, Town of Elizabeth

Attest: *[Signature]*
Town Clerk

CLERK AND RECORDER'S CERTIFICATE:

STATE OF COLORADO
COUNTY OF ELBERT

I hereby certify that this plat was filed in my office on this 13th day of September, 2005, at 1:22 a.m. and was recorded at Reception Number 41757, Book 12 Page 126

[Signature]
County Clerk and Recorder



PLANNING COMMISSION:

The Final Plat was reviewed by the Planning Commission on July 9, 2005.

[Signature]
Chair, Planning Commission

SURVEYOR'S CERTIFICATE:

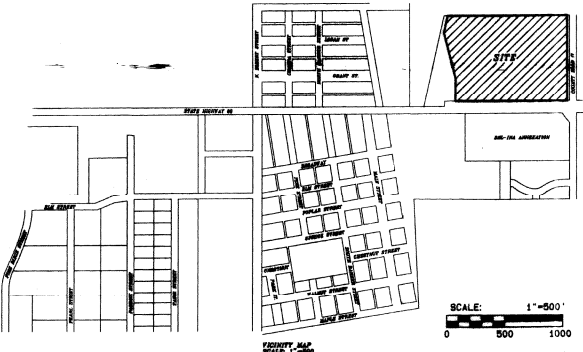
I, David E. Archer, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made in January, 2005, by me or under my direct supervision and that all monuments used as shown herein; that mathematical errors are less than 1:50,000 (second order); and that said plat has been prepared in full compliance with all applicable laws of the State of Colorado dealing with monuments, subdivisions or surveying of land and all provisions, within my control, of the Town Subdivision regulations.

I attest the above on this 13th day of SEPTEMBER, 2005.

[Signature]
David E. Archer
Professional Land Surveyor

GENERAL NOTES:

- This property is subject to the Subdivision Agreement between Elizabeth Cross Roads Business Park, LLC and the Town of Elizabeth, Colorado, which was executed on , 2005, and recorded at Reception No. in the office of the Clerk and Recorder for Elbert County, Colorado.
- This property is subject to the Declaration of Covenants for Elizabeth Cross Roads Business Park, which will be recorded in the office of the Clerk and Recorder for Elbert County, Colorado immediately after recording of this plat.
- Tract "C" depicted herein will be dedicated to the Elizabeth Cross Roads Owners Association in the Declaration of Covenants for Elizabeth Cross Roads Business Park, on which a detention pond will be constructed for which the Association will assume all maintenance responsibility. Tract "C" will be deemed a common element of the Elizabeth Cross Roads Business Park.
- All water mains not located within the public road right of way shall be constructed in the center of the easement.
- The use of all lots shall be consistent with Highway Commercial District Zone (B-1). No Lot shall be larger than 40,000 square feet unless approved by the Board of Trustees.
- Each Lot shall comply with the Town of Elizabeth's Site Plan Standards and Procedures, including but not limited to lighting, landscaping, parking, and storage requirements.
- Tracts B and C and Lots 6, 7 and 8 are affected by an agreement between the U.S. Fish and Wildlife Service Permit No. TE-079424-0 Dated September 23, 2004. The property owner will provide habitat for the Pribilof Meadow Jumping Scaup. Development of these Tracts and Lots are restricted by the agreement for as long as the agreement remains in effect.
- Developed drainage patterns shall be consistent with those outlined in the approved final drainage report for the site.
- In the event that easements over private property are necessary to obtain water and sewer service, the Developer shall obtain at their own expense all necessary water and sewer utility easements and dedicate said easements to the Town.



<p>FORM NO. 100 6-10-00</p>			<p>FINAL PLAT ELIZABETH CROSS ROADS BUSINESS PARK</p> <p>ELIZABETH CROSSROADS LLC</p> <p>Sheet <u>1</u> of <u>2</u> 97-0119</p>
-----------------------------	--	--	---

*NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

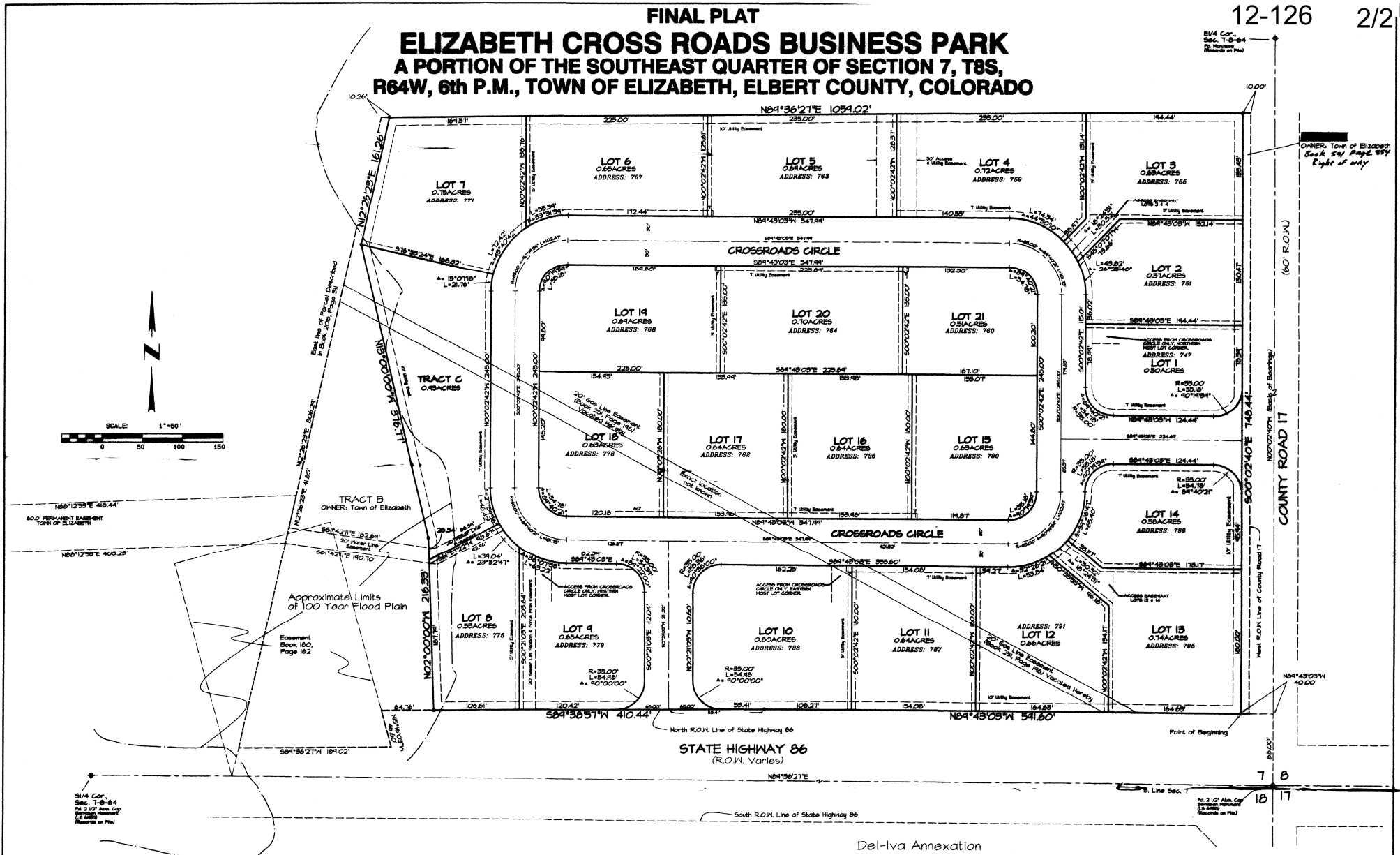
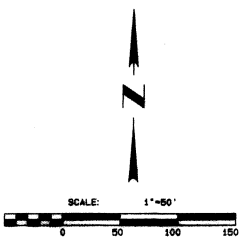
FINAL PLAT

ELIZABETH CROSS ROADS BUSINESS PARK

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 7, T8S, R64W, 6th P.M., TOWN OF ELIZABETH, ELBERT COUNTY, COLORADO

B1/4 Cor. Sec. 7-8-64 (Record as Plat)

OWNER: Town of Elizabeth
Book 54 Page 889
Right of Way



STATE HIGHWAY 86
(R.O.W. Varies)

Del-Iva Annexation

*NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than two years from the date of the certification shown hereon.

Revised 8-18-05 	PL 2107 Ann. Cor. 12-1-00 (Record as Plat) PL 2107 Ann. Cor. 12-1-00 (Record as Plat) PL 2107 Ann. Cor. 12-1-00 (Record as Plat)	FINAL PLAT ELIZABETH CROSS ROADS BUSINESS PARK ELIZABETH CROSSROADS LLC 100 FEET Sheet 2 of 2 97-0119
---------------------	--	---



P.O. BOX 930220
VERONA, WI 53593-0220
(608) 845-9700 / Fax (608) 845-7070
www.clearybuilding.com



March 28, 2022

Village of Elizabeth
151 S Banner St
P O Box 159
Elizabeth, Colorado 80107

Dear Sirs:

Please find the requested site plan information listed below.

Applicant:

Shamrock Investments L.L.C.
190 Paoli Street
P.O. Box 930220
Verona, WI 53593

The associated landscaping costs with the proposed project total: \$42,000.00

Including:

Grading, Retaining walls, plantings, irrigation.
Please see the attached local contractors cost estimate for said work.

The associated costs for public improvements on the site are projected to be: \$1,725.00

Including:

Curb Removal/replacement
Required Ramping-work is minimal
Please find attached a cost estimate from a local Engineer.

Respectfully Submitted,

Matt Schneider
Cleary Building Corp.
Special Projects Manager

Enclosures (2)

built with pride before the  *is applied*



34090 Pine Ridge Circle
Elizabeth, CO 80107
Phone: 303.248.6294
Web: 101Landscaping.com

Attention : Matt 751 Crossroads Circle Elizabeth CO 80107 {Cleary building}

Approx 900 facet feet granite boulder retaining wall @ \$20 per = \$18,000.00

Three 2.5" caliper trees {refer to landscape plan} planted and guaranteed for one year \$3000

Twenty 7 gallon shrubs {refer to plan } planted and guaranteed for one year \$2000

Approx 5800 sqft sod to be installed with proper soil prep and amendments \$10,500.00

Approx seven zones of irrigation to be installed @ \$900 per zone = \$6300

Water tap complete with back flow and irrigation clock \$2200

Any other add ons or details will be additional cost signed off by builder or developer

This proposal is good for thirty days after that may need revised do to fuel, delivery or product price increase

Total \$42,000.00



PO Box 441730
Aurora, CO 80044

March 25, 2022

Town of Elizabeth
Community Development
PO Box 159
Elizabeth, CO 80107

RE: Estimate of Probable Costs for Public Improvements for Lot 3, Crossroads Business Park,
Elizabeth, Colorado.

To: Town Staff,

It is our understanding that an estimated cost of public improvements is required to be provided for the subject development. The only public improvements include the construction of ADA curb ramps in line with the future sidewalks at the entrance to this site. Because of the narrow width of the lot at the entrance, there are no other public improvements.

<u>Item</u>	<u>Unit of Measurement</u>	<u>Estimated Unit Cost</u>	<u>Estimated Quantity</u>	<u>Total Cost</u>
Curb Ramp	SqYd	\$120	12.5	\$1,500
			<u>15% Contingency</u>	<u>\$225</u>
			Total	\$1,725

Please feel free to call if you have any questions.

Sincerely,

Brian Johnson, P.E.
Prism Design & Consulting Group



2022.0
3.25
09:11:3
6
-06'00'



RE: REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Kara Gerczynski <kara@elizabethfire.org>
To: Carrie McCool <carrie@mccooldevelopment.com>

Tue, Feb 8, 2022 at 9:39 AM

Hi Carrie,

I don't have any additional comments, but I do not think they addressed the distance to the closest hydrant anywhere in the comment section and have added that on the site plan drawings. Here is my site plan review.

Kara

From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Thursday, February 3, 2022 10:16 AM
Subject: Re: REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Dear Referral Agencies,

The applicant revised the Cleary Site Plan (Shamrock Investments LLC) to reflect the required right-of-way dedication. The revised plan set has been uploaded on the sharefile (Click [HERE](#)). It is labeled "PR2021039-ELIZABETH SUBMITTAL-2-3-22" and replaced the old file labeled "PR2021039-ELIZABETH SUBMITTAL-1-31-22-merged." The applicant apologies for the confusion.

Please let me know if any additional review time is needed due to the revisions received and posted today.

Best,



Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

----- Forwarded message -----

From: **Carrie McCool** <carrie@mccooldevelopment.com>
Date: Wed, Feb 2, 2022 at 7:22 AM
Subject: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP
To:

TOWN OF ELIZABETH ELECTRONIC 2nd REFERRAL REQUEST

TODAY'S DATE: February 2, 2022

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan (Shamrock Investments LLC)

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Friday, February 18, 2022

The Town of Elizabeth has received a resubmittal of the Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan resubmittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Thank you,



Carrie McCool, Elizabeth Interim Community Development Director

McCool Development Solutions

4383 Tennyson Street, Unit 1-D

Denver, CO 80212

Direct: 303.378.4540

www.mccooldevelopment.com

 **Site Plan Review.pdf**
136K



February 17, 2022

Mr. Mike DeVol
Town of Elizabeth Public Works Director
Elizabeth, CO

RE: Shamrock Investments, LLC (aka Cleary Office Bldg)– Engineering 2nd Review of Site Plan

Dear Mr. DeVol,

CORE Consultants has completed the second review of the Site Plan for the Shamrock Investments, LLC (referred to as the Cleary office building) at 755 Crossroads Circle, Lot 3 of Crossroads Business Park in the Town of Elizabeth with a stamped date of February 3, 2022. After completing our review of the documents, CORE has the following comments, which we consider to be minor items:

1. Sht CT1.0 – Please recheck the property area on the cover sheet and insure that it reflects the required 5' right of way dedication. Perhaps a "Gross Area" and a "Net Area" (after R/W dedication) is in order.
2. Sht D1.0 – The access easement for adjacent lots 2 and 4 needs to be shown and called out on the plan.
3. Sht D1.0 – add a dimension string from the east wall of the building to the new East lot line. This string should include (at minimum) the drive isle width, parking stall depth to face of wall, and West face of wall to new east lot line.
4. Sht D1.0 – The symbols legend still indicates that the parking lot will be Concrete while the grading plan identifies asphalt.
5. Sht C1.1 – the plan identifies a 2% slope from the front door to the pavement of 2%. Presuming the curb will be dropped, a substantially steeper slope from the finished floor elev. Is created.

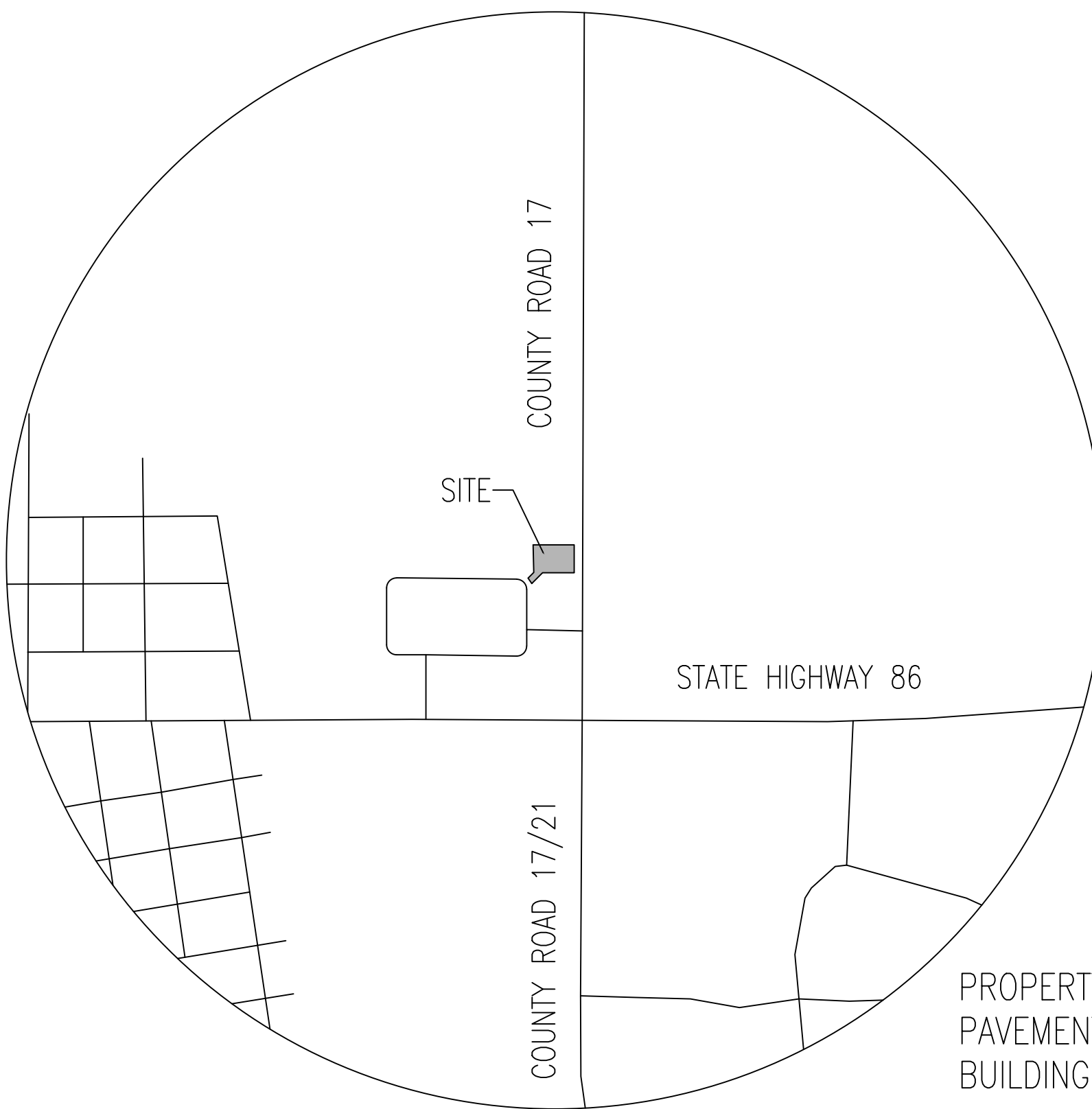
CORE is happy to discuss any questions or concerns regarding these comments with the applicant, should they require additional clarification. We appreciate the opportunity to review the project.

Sincerely,
CORE Consultants, Inc.

Manny Nuno, PE, CFM, LEED AP, CPESC
Project Manager

CC: Carrie McCool

VICINITY MAP



SCALE = 1:7500

SHAMROCK INVESTMENTS LLC

Site Plan for Shamrock Investments LLC
 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO

LAND USE / SITE DATA

PROPERTY AREA: 27,387 SQ.FT.
 PAVEMENT AREA: 17,167 SQ.FT.
 BUILDING AREA: 4,368 SQ.FT.

LOT COVERAGE (PER TABLE 16-6)
 UNDER ROOF (ALLOWED): 50%
 UNDER ROOF (ACTUAL): 4,368 SQ.FT. / 27,387 SQ.FT. = .159 ≈16%
 MINIMUM VEGETATIVE AREA (REQUIRED): 15%
 VEGETATIVE AREA (PROVIDED): 5,852 SQ.FT. / 27,387 SQ.FT. = .214 ≈21%

SITE PLAN NOTES

- THIS SITE IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08039C0480C, EFFECTIVE DATE MARCH 17, 2011.
- THE PROPERTY IS ZONED RC: REGIONAL COMMERCIAL
- DENSITY AND DIMENSIONAL STANDARDS, CHAPTER 16 OF THE MUNICIPAL CODE:
 MAXIMUM BUILDING HEIGHT – 35 FEET
 FRONT SETBACK – 25 FEET WHEN ADJACENT TO PUBLIC ROW
 10 FEET WHEN ADJACENT TO PRIVATE ROW
 SIDE SETBACK – 10 FEET WHEN ADJACENT TO PUBLIC ROW
 5 FEET WHEN ADJACENT TO PRIVATE ROW
 REAR SETBACK – 5 FEET

PARKING SUMMARY
 PARKING FORMULA:
 1 SP. PER 200 SQ.FT. OF OFFICE SPACE
 1 SP. PER 500 SQ.FT. OF GARAGE SPACE

SPACES REQUIRED:
 OFFICE SPACE = 3,024 SF / 200 = 16 SPACES
 GARAGE SPACE = 1,344 SF / 500 = 3 SPACES
 19 SPACES REQUIRED TOTAL

SPACES PROVIDED: 19 SPACES PROVIDED

ACCESSIBLE SPACES PROVIDED: 2

SPACING SIZES:
 PARKING SPACES ARE REQUIRED TO BE BROKEN DOWN INTO 3 DIFFERENT SIZES
 50% FULL SIZE (9' x 19') = 9 SPACES (9 PROVIDED)
 25% OVERSIZE (10' x 20') = 4 SPACES (4 PROVIDED)
 25% COMPACT (8' x 17') = 4 SPACES (4 PROVIDED)

OWNER OR TENANT
SHAMROCK INVESTMENTS
 SHAMROCK INVESTMENTS LLC
 CORPORATE OFFICES
 190 PAOLI ST.
 VERONA, WISCONSIN 53593

SHEET INDEX

SHEET NUMBER	SHEET NAME
CT1.0	SITE PLAN COVER SHEET
D1.0	SITE DEVELOPMENT PLAN
L1.0	LANDSCAPE AND IRRIGATION PLAN
EE1.0	EXTERIOR ELEVATIONS
SG1.0	BUILDING EXTERIOR SIGNAGE
SP1.0	SITE PHOTOMETRIC PLAN
SP1.1	SITE LIGHTING DETAILS
C1.0	COVER SHEET & NOTES
C1.1	GRADING PLAN
C1.2	UTILITY SERVICE PLAN
C1.3	EROSION CONTROL PLAN
C1.4	EROSION & SEDIMENT CONTROL DETAILS

LEGAL DESCRIPTION

SECTION: 7 TOWNSHIP: 8 RANGE: 64 SUBDIVISION:
 ELIZABETH CROSS ROADS BUSINESS PARK LOT: 3
 1/21 INT TRACT C



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: WALDERA

DATE DRAWN: 7/16/21

PLAN REVISIONS:

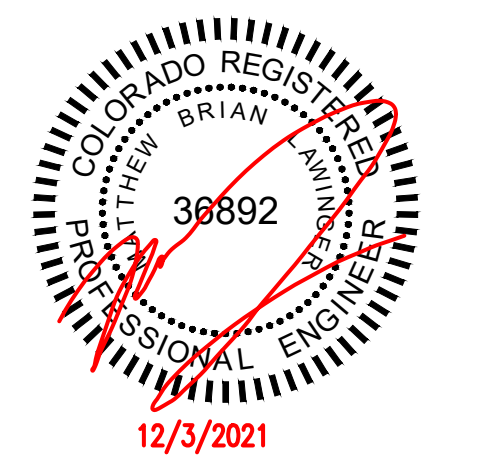
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS:
 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK
 TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE:
 42'x32'x14'-8" & 42'x72'x12'-8"
 SHEET NAME:
 SITE PLAN COVER SHEET

PROJECT NUMBER:
PR2021039

SHEET NUMBER:
CT1.0

SHEET SCALE:



ZONING

CLASSIFICATION: RC (REGIONAL COMMERCIAL)
 PROPERTY AREA: 27,387 SQ.FT.
 PAVEMENT AREA: 17,167 SQ.FT.

PARKING SUMMARY

PARKING FORMULA: 1 SP. PER 200 SQ.FT. OFFICE SPACE
 1 SP. PER 500 SQ.FT. GARAGE SPACE
 OFFICE SPACE = 3,024 SF
 OTHER SPACE = 1,344 SF

SPACES REQUIRED: 3,024/200 = 16 SPACES

1,344/500 = 3 SPACES

19 SPACES REQUIRED

SPACES PROVIDED: 19 SPACES PROVIDED

H.C. SPACES PROVIDED: 2

SPACE SIZES:

PARKING SPACES ARE REQUIRED TO BE BROKEN
 DOWN INTO 3 DIFFERENT SIZES:

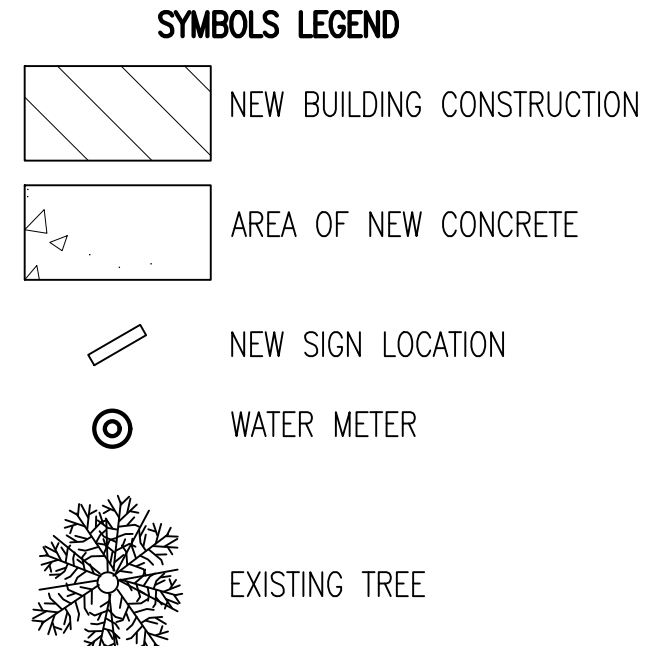
50% FULL SIZE (9' x 19') = 9 SPACES

25% OVERSIZE (10' x 20') = 4 SPACES

25% COMPACT (8' x 17') = 4 SPACES

ZONING CODE

RC (REGIONAL COMMERCIAL)
 27,387 SQ.FT.
 17,167 SQ.FT.

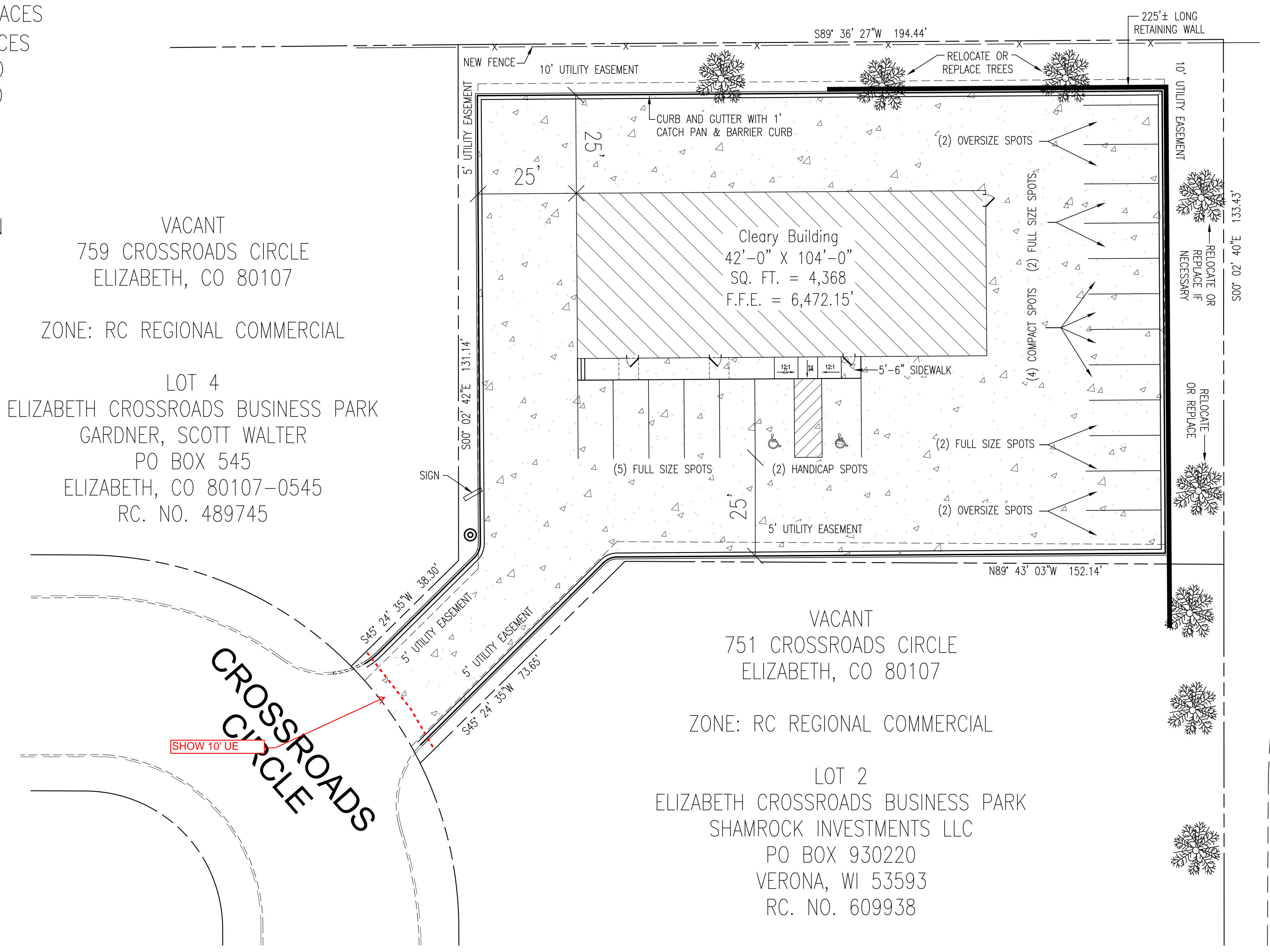


EXEMPT
 34201 COUNTY RD17
 ELIZABETH, CO 80107

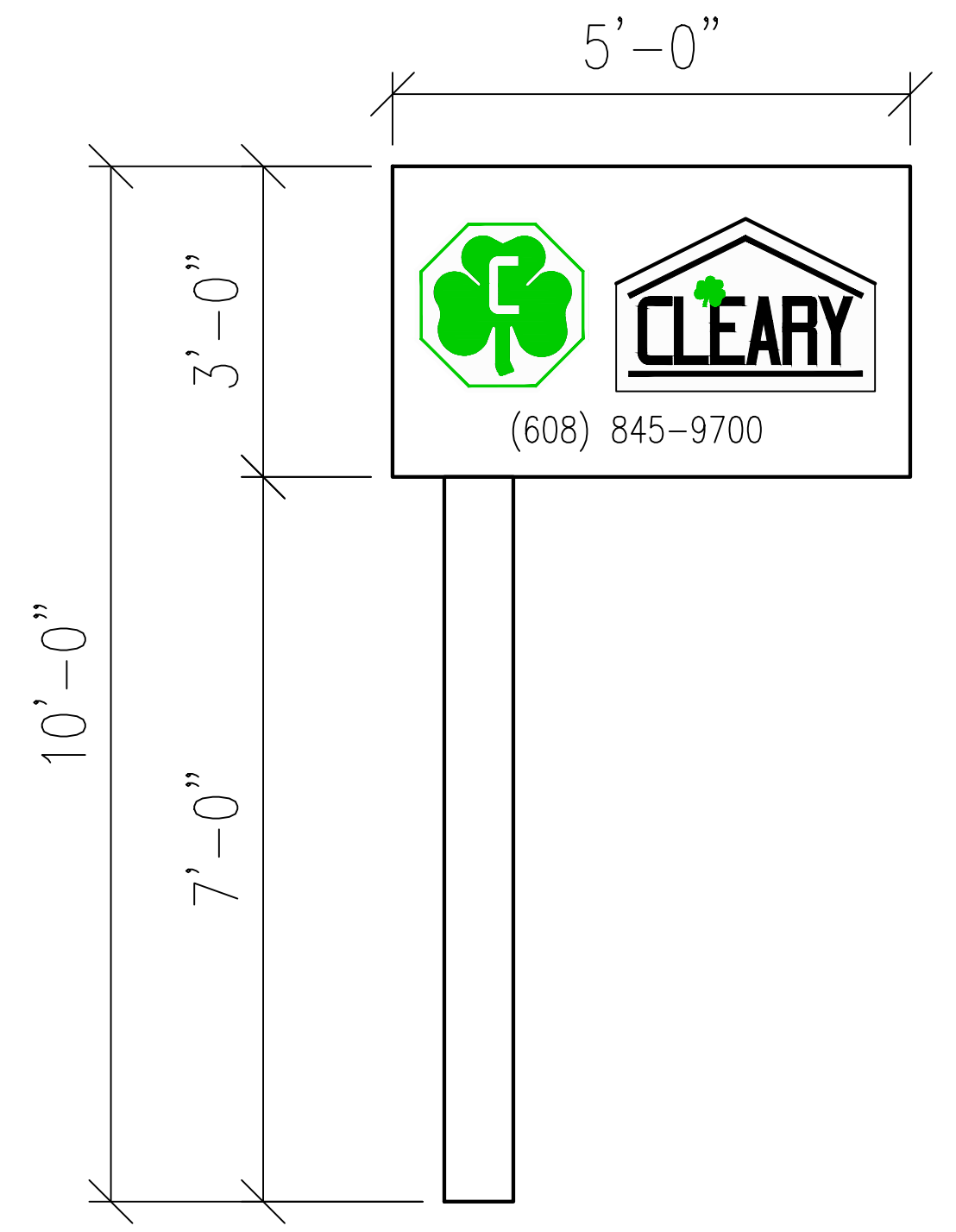
ZONE: A AGRICULTURE

ELIZABETH PARK AND RECREATION DISTRICT
 PO BOX 434
 ELIZABETH, CO 80107-0434
 RC. NO. 377430

PROVIDE TRANSFORMER AND EUSERC
 CABINET LOCATIONS



COUNTY ROAD 17



SIGN ELEVATION



DRAWN BY: WALDERA
 DATE DRAWN: 7/16/21

PLAN REVISIONS:

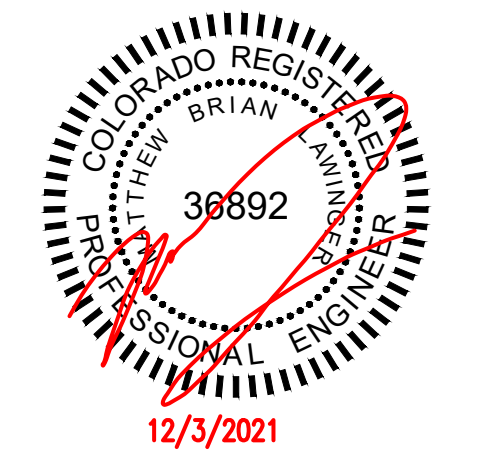
NUMBER	DATE	BY
1		
2		
3		
4		

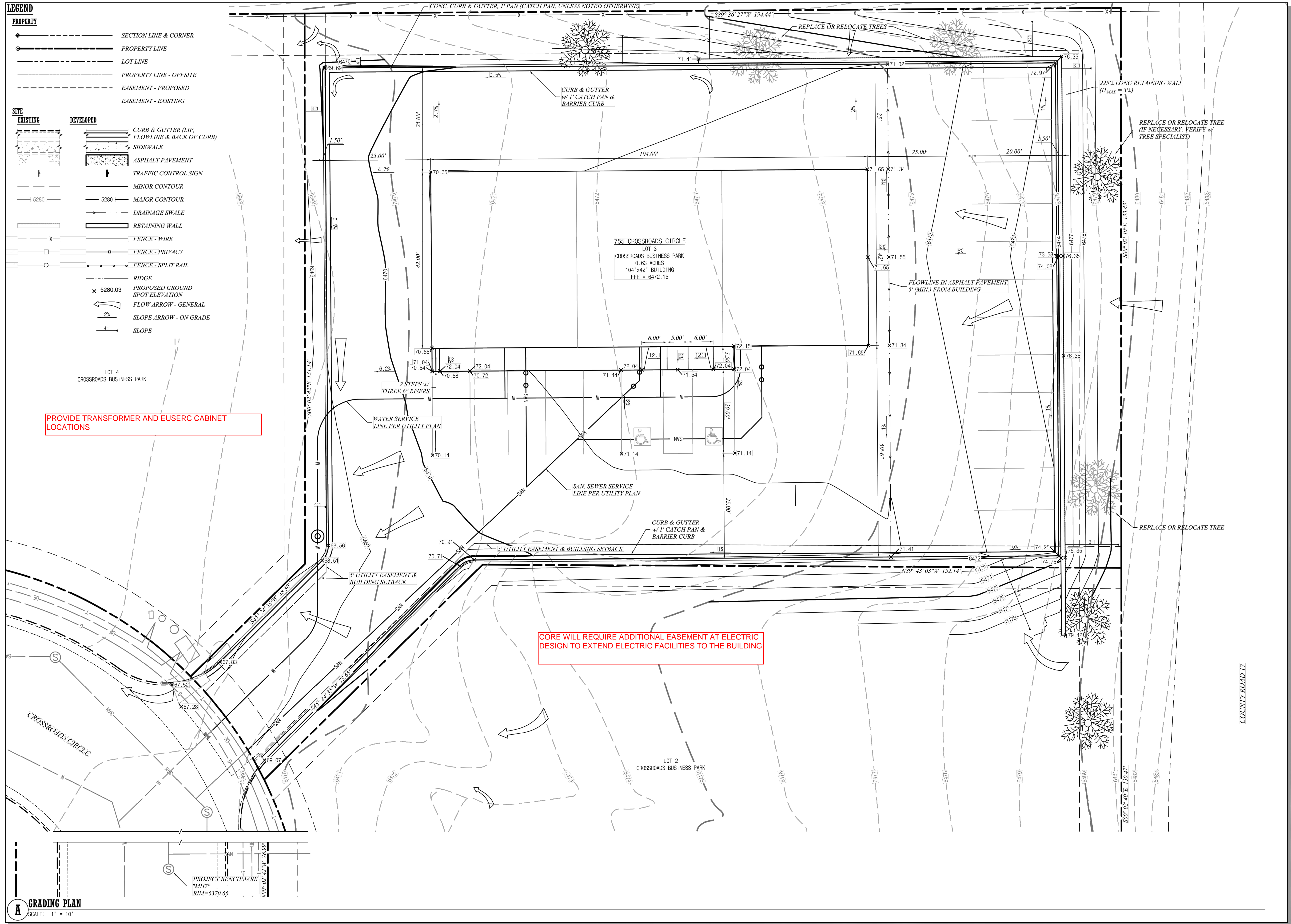
PROJECT NAME: SHAMROCK INVESTMENTS
 PROJECT SITE ADDRESS: 755 CROSSROADS CIRCLE, LOT 3 CROSSROADS BUSINESS PARK TOWN OF ELIZABETH, COLORADO
 BUILDING SIZE: 42'x32'x14'-8" & 42'x72'x12'-8"
 SHEET NAME: SITE DEVELOPMENT PLAN

PROJECT NUMBER: PR2021039

SHEET NUMBER: D1.0

SHEET SCALE: 1/16" = 1'-0"





LEGEND

PROPERTY

- SECTION LINE & CORNER
- PROPERTY LINE
- LOT LINE
- PROPERTY LINE - OFFSITE
- EASEMENT - PROPOSED
- EASEMENT - EXISTING

SITE

EXISTING

- CURB & GUTTER (LIP, FLOWLINE & BACK OF CURB)
- TRAFFIC CONTROL SIGN
- MINOR CONTOUR
- MAJOR CONTOUR
- DRAINAGE SWALE
- RETAINING WALL
- FENCE - WIRE
- FENCE - PRIVACY
- FENCE - SPLIT RAIL
- RIDGE
- PROPOSED GROUND SPOT ELEVATION
- FLOW ARROW - GENERAL
- SLOPE ARROW - ON GRADE
- SLOPE

DEVELOPED

- ASPHALT PAVEMENT
- MINOR CONTOUR
- MAJOR CONTOUR
- DRAINAGE SWALE
- RETAINING WALL
- FENCE - WIRE
- FENCE - PRIVACY
- FENCE - SPLIT RAIL
- RIDGE
- PROPOSED GROUND SPOT ELEVATION
- FLOW ARROW - GENERAL
- SLOPE ARROW - ON GRADE
- SLOPE

LOT 4 CROSSROADS BUSINESS PARK

LOT 3 CROSSROADS BUSINESS PARK
 0.63 ACRES
 104' x 42' BUILDING
 FFE = 6472.15

LOT 2 CROSSROADS BUSINESS PARK

CROSSROADS CIRCLE

COUNTY ROAD 17

PROJECT BENCHMARK
 "MH1"
 RIM=6370.66

SCALE: 1" = 10'

PROVIDE TRANSFORMER AND EUSERC CABINET LOCATIONS

CORE WILL REQUIRE ADDITIONAL EASEMENT AT ELECTRIC DESIGN TO EXTEND ELECTRIC FACILITIES TO THE BUILDING

REVISIONS

REV	DATE	COMMENT

CHECKED BY: [Signature]
 DATE: 11/29/2021

DESIGNED BY: [Signature]
 DATE: 11/29/2021

SCALE: 1" = 10'

SHEET: 2 OF 5

C1.1

PRISM DESIGN & CONSULTING GROUP
 P.O. BOX 401730
 AURORA, CO. 80044
 phone: 720-689-7324
 web: PRISMDCG.COM

Clearly Building Corp
 PROJECT LOCATION:
 Clearly Building Corp
 155 Crossroads Circle - Lot 3 Crossroads Business Park
 Town of Elizabeth, Colorado

PREPARED BY:
 Clearly Building Corp
 100 Paul Street
 Verona, WI 53593

JOB NUMBER: 21-021

DRAWN BY: [Signature]
 ORIGINAL DATE: 11/29/2021

DESIGN BY: [Signature]
 ORIGINAL DATE: 11/29/2021

REFERRAL COMMENTS



February 17, 2022

Mr. Mike DeVol
Town of Elizabeth Public Works Director
Elizabeth, CO

RE: Shamrock Investments, LLC (aka Cleary Office Bldg)– Engineering 2nd Review of Site Plan

Dear Mr. DeVol,

CORE Consultants has completed the second review of the Site Plan for the Shamrock Investments, LLC (referred to as the Cleary office building) at 755 Crossroads Circle, Lot 3 of Crossroads Business Park in the Town of Elizabeth with a stamped date of February 3, 2022. After completing our review of the documents, CORE has the following comments, which we consider to be minor items:

1. Sht CT1.0 – Please recheck the property area on the cover sheet and insure that it reflects the required 5' right of way dedication. Perhaps a "Gross Area" and a "Net Area" (after R/W dedication) is in order.
2. Sht D1.0 – The access easement for adjacent lots 2 and 4 needs to be shown and called out on the plan.
3. Sht D1.0 – add a dimension string from the east wall of the building to the new East lot line. This string should include (at minimum) the drive isle width, parking stall depth to face of wall, and West face of wall to new east lot line.
4. Sht D1.0 – The symbols legend still indicates that the parking lot will be Concrete while the grading plan identifies asphalt.
5. Sht C1.1 – the plan identifies a 2% slope from the front door to the pavement of 2%. Presuming the curb will be dropped, a substantially steeper slope from the finished floor elev. Is created.

CORE is happy to discuss any questions or concerns regarding these comments with the applicant, should they require additional clarification. We appreciate the opportunity to review the project.

Sincerely,
CORE Consultants, Inc.

Manny Nuno, PE, CFM, LEED AP, CPESC
Project Manager

CC: Carrie McCool



RE: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Brooks Kaufman <BKaufman@core.coop>
To: Carrie McCool <carrie@mccooldevelopment.com>

Wed, Feb 16, 2022 at 8:01 AM

Dear Mrs. McCool

The applicant didn't address CORE's previous comments, to provide the transformer location and EUSERC Cabinet location. In addition update the site plan to include utility easements as shown on CORE Comment dated 1/17/2022.

Respectfully

Brooks Kaufman

Lands and Rights of Way Manager

800.332.9540 MAIN

720.733.5493 DIRECT

303.912.0765 MOBILE

www.core.coop.



From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Wednesday, February 2, 2022 7:22 AM
Subject: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

TOWN OF ELIZABETH ELECTRONIC 2nd REFERRAL REQUEST

TODAY'S DATE: February 2, 2022

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan (Shamrock Investments LLC)

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Friday, February 18, 2022

The Town of Elizabeth has received a resubmittal of the Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan resubmittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.








Thank you,



Carrie McCool, Elizabeth Interim Community Development Director

McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

7 attachments

-  **CORE COMMENTS 21-6-SP CLEARY SITE PLAN.pdf**
4412K
-  **Bldr-DevServiceRequirements_May2019 13.pdf**
129K
-  **Bldr-DevServiceRequirements_May2019 12.pdf**
110K
-  **Bldr-DevServiceRequirements_May2019 14.pdf**
165K
-  **Bldr-DevServiceRequirements_May2019 16.pdf**
131K
-  **Bldr-DevServiceRequirements_May2019 57.pdf**
81K
-  **Bldr-DevServiceRequirements_May2019 59.pdf**
110K



RE: REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Kara Gerczynski <kara@elizabethfire.org>
To: Carrie McCool <carrie@mccooldevelopment.com>

Tue, Feb 8, 2022 at 9:39 AM

Hi Carrie,

I don't have any additional comments, but I do not think they addressed the distance to the closest hydrant anywhere in the comment section and have added that on the site plan drawings. Here is my site plan review.

Kara

From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Thursday, February 3, 2022 10:16 AM
Subject: Re: REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Dear Referral Agencies,

The applicant revised the Cleary Site Plan (Shamrock Investments LLC) to reflect the required right-of-way dedication. The revised plan set has been uploaded on the sharefile (Click [HERE](#)). It is labeled "PR2021039-ELIZABETH SUBMITTAL-2-3-22" and replaced the old file labeled "PR2021039-ELIZABETH SUBMITTAL-1-31-22-merged." The applicant apologies for the confusion.

Please let me know if any additional review time is needed due to the revisions received and posted today.

Best,



Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

----- Forwarded message -----

From: **Carrie McCool** <carrie@mccooldevelopment.com>
Date: Wed, Feb 2, 2022 at 7:22 AM
Subject: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP
To:

TOWN OF ELIZABETH ELECTRONIC 2nd REFERRAL REQUEST

TODAY'S DATE: February 2, 2022

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan (Shamrock Investments LLC)

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Friday, February 18, 2022

The Town of Elizabeth has received a resubmittal of the Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan resubmittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Thank you,



Carrie McCool, Elizabeth Interim Community Development Director

McCool Development Solutions

4383 Tennyson Street, Unit 1-D

Denver, CO 80212

Direct: 303.378.4540

www.mccooldevelopment.com

 **Site Plan Review.pdf**
136K



Elizabeth Fire Protection District

P.O. Box 441
155 W Kiowa Ave.
Elizabeth, Colorado
80107

Phone: 303-646-3800
Fax: 303-688-6994
Email: kara@elizabethfire.com
Website: https://www.elizabethfire.com

Division Chief of Administration
and Prevention

Date 1/17/2021
Applicant Shamrock Investments
Applicant Address 190 Paoli Street Verona, WI 53593
Project Cleary Building Corp.
Project Address 755 Crossroads Circle
Plans Dated 7/16/2021
Review Number 1
Plan Review Fee 250.00

Approved Needs Changes Rejected

A review was conducted on the submitted plans for the above location based on the adopted codes and standards below.

- 2012 International Codes and Adopted Standards
- 2015 International Codes and Adopted Standards
- 2018 International Codes and Adopted Standards

Reviewed By: Kara Gerczynski
Title: Division chief/Fire Marshal

Signature: _____

RESPONSE TO PLAN REVIEW COMMENTS AND INSPECTION REQUESTS

Please read this document in its entirety. The contractor and/or applicant is responsible for compliance with all requests, comments, applicable codes, ordinance or policy of the fire department. All comments shall be addressed in writing. If plans are rejected, additional review fees may be charged. If changes are needed, additional submittals may be required.

Conditions found, or other data collected or submitted, shall not prevent the fire official from requiring correction of errors found.

Inspections are required to be requested on our website at www.elizabethfire.com or phoned in by 4:00 p.m. at 303-646-3800 the day before the day you wish the inspection.

NOTE: ALL INSPECTION TIMES ARE SUBJECT TO INSPECTOR AVAILABILITY

After hour inspections can be scheduled for additional fees. All review and inspection fees are due at the time of review pick-up. Fees schedules are located on our website at www.elizabethfire.com

Section 1

BUILDING INFORMATION

Building Square Footage: 4368
Type of Construction: VB

Section 2

Fire Service Features

FIRE SERVICE WATER SUPPLY

Required Fire Flow:

Fire flow: 1750 GPM
Duration: 2 Hours
Total Capacity: 210,000
Sprinklered Building reduction: N/A

Fire Hydrant Location and Distribution:

Number of Fire Hydrants: 1
Average Spacing: 400

FIRE SERVICE ACCESS

Width and Surface:

	Approved	Rejected	N/A
Width:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Length:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Turn-around:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Surface:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Premises Identification:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Key Boxes:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Radio coverage:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Additional Comments:

Fire Flow and Hydrants - The Town of Elizabeth water system is capable of supplying the required fire flow for the building. The site plan does not show a fire hydrant. The fire hydrant needs to be within 400 feet of all parts of the building. Locate the fire hydrant on the site plan drawings.

Commercial building plans need to be submitted to this office for review. An Impact Fee Agreement needs to be signed before recordation of site plan. The required fire department access and fire hydrants shall be installed and approved prior to construction beginning above foundation level or the moving of combustible materials onto the construction site.

Memorandum

To: Carrie McCool
From: Matt Brown, PE, PTOE
Date: January 17, 2022
Re: Site Plan 755 Crossroads Circle

The purpose of this memo is to provide the Town of Elizabeth with review comments related to transportation topics for the above referenced project. The documents were reviewed using the Town Code, the Town of Elizabeth Street Plan, and applicable engineering standards.

The east boundary of the subject property abuts Elbert County Road 17 (CR 17). Adjacent to the property, CR 17 currently has a 60-ft right-of-way (ROW). CR-17 is classified as a Major Collector (90-ft ROW) in the Town of Elizabeth's Street Plan.

- A 10-ft ROW dedication was previously dedicated per book 591, page 854, bringing the ROW west of CR 17 centerline to 40-ft.
- An additional 5-ft ROW dedication is requested along the CR-17 frontage to accommodate the Major Collector cross-section, including detached walk.
- The Applicant shall provide cash-in-lieu of constructing the detached sidewalk along CR 17.

(See the site development agreement for O'Reilly Auto Parts (#18-10-SP) located at 795 Crossroads Circle for precedent related to the ROW dedication and cash-in-lieu of sidewalk)

- Consistent with what has been done at adjacent properties within Crossroads Business Park, the Applicant shall provide 5-ft detached sidewalk along the Crossroads Boulevard frontage, and ADA compliant curb ramps at the driveway.
- In order to comply with ADA cross slope requirements, the connection to Crossroads Circle should have a maximum grade of 2%.
- Adequate parking is provided based upon the Town's parking code. All spaces may be full size (9-ft x 18-ft) if desired by the Applicant.

Please let me know if you have questions or require clarification from me on any of the topics discussed.



January 19, 2022

www.jvajva.com

Mr. Mike DeVol
Public Works Director
Town of Elizabeth
151 South Banner Street
Elizabeth, CO 80107

RE: Referral – Water & Sewer Review
Site Plan – Clearly Property
JVA Job No. 1052.e

Dear Mike:

On behalf of the Town of Elizabeth, JVA has reviewed the following submitted documents:

- Grading and Utility Service Plan
- Narrative

The property at 755 Crossroads Circle proposes to develop a single 4,368 sf commercial building. The building will include three (3) individual office spaces. We have the following comments:

1. Three individual water services and sewer services are shown for the three offices. Will the building have a single owner? If multiple owners, each office will require a separate meter.
2. Coordinate with Elizabeth Fire Department to determine if a fire suppression system will be required.
3. Water and sewer service extensions shall be installed per Town Water and Sewer Standards.
4. A sewer EQR assessment will be completed based on the final building floorplan and utility plan. Sewer and water tap fees will be determined based on the assessment.
5. Is landscaping proposed? If so, a separate service will be required.

These comments are based on information provided. Additional comments may arise as additional information is provided and/or reviewed.

Sincerely,
JVA, INCORPORATED

By:



Robert J. Anderson, PE
Senior Project Manager



RE: [External] Town of Elizabeth Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Greg Toles <Greg.Toles@elbertcounty-co.gov>
To: Carrie McCool <carrie@mccooldevelopment.com>

Thu, Dec 16, 2021 at 9:38 AM

Carrie,

Looks good to me. No issues.

Greg Toles

GIS Analyst

Assessor's Office

303-621-3111

greg.toles@elbertcounty-co.gov

From: Carrie McCool <carrie@mccooldevelopment.com>

Sent: Tuesday, December 14, 2021 4:56 PM

Subject: [External] Town of Elizabeth Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

TOWN OF ELIZABETH ELECTRONIC REFERRAL REQUEST

TODAY'S DATE: December 14, 2021

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Monday, January 17, 2022

The Town of Elizabeth has received a Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan submittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Happy Holidays,

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com



RE: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

McKune, Jason <Jason.McKune@blackhillscorp.com>
To: Carrie McCool <carrie@mccooldevelopment.com>

Thu, Feb 24, 2022 at 1:34 PM

Hi Carrie,

I didn't see where the applicant responded to the red lines that I provided on 1/24/2022. If the applicant is not wanting gas service than there will be no comment from Black Hills Energy, but if the applicant is wanted gas service than I would like to see where they plan on having the metering location on the building. Thank you for the follow up and please let me know if you have any questions.

Thank you,

Jason McKune



Utility Construction Planner|**Black Hills Energy**

Castle Rock|303-549-2271|jason.mckune@blackhillscorp.com

From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Thursday, February 24, 2022 8:20 AM
To: McKune, Jason <Jason.McKune@blackhillscorp.com>
Subject: Fwd: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

**** EXTERNAL EMAIL. Is this an expected email? STOP and THINK before clicking links or opening attachments. ****

Hi Jason,

I'm sending along the review comments and redlines on the Site Plan from Core Electric as I remembered that you were interested in their review comments on the first round. It doesn't appear the applicant indicated how they addressed your redlines in the attached Referral Response Summary Report. The Report requires the applicant to indicate how their plans were revised to address comments received. It is the word document labeled "1-31-22 Cleary Site Plan_Referral Response Summary Report 1_Relssued - CBC RESPONSES."

Let me know when we can expect your review comments or if you need an extension. Thanks for all you do.

Best,

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

----- Forwarded message -----

From: Brooks Kaufman <Bkaufman@core.coop>

Date: Wed, Feb 16, 2022 at 8:02 AM

Subject: RE: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

To: Carrie McCool <carrie@mccooldevelopment.com>

Dear Mrs. McCool

The applicant didn't address CORE's previous comments, to provide the transformer location and EUSERC Cabinet location. In addition update the site plan to include utility easements as shown on CORE Comment dated 1/17/2022.

Respectfully

Brooks Kaufman

Lands and Rights of Way Manager

800.332.9540 MAIN

720.733.5493 DIRECT

303.912.0765 MOBILE

www.core.coop.



From: Carrie McCool <carrie@mccooldevelopment.com>

Sent: Wednesday, February 2, 2022 7:22 AM

Subject: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

TOWN OF ELIZABETH ELECTRONIC 2nd REFERRAL REQUEST

TODAY'S DATE: February 2, 2022

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan (Shamrock Investments LLC)

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Friday, February 18, 2022

The Town of Elizabeth has received a resubmittal of the Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan resubmittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Thank you,

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
[4383 Tennyson Street, Unit 1-D](#)
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

This electronic message transmission contains information from Black Hills Corporation, its affiliate or subsidiary, which may be confidential or privileged. The information is intended to be for the use of the individual or entity named above. If you are not the intended recipient, be aware the disclosure, copying, distribution or use of the contents of this information is prohibited. If you received this electronic transmission in error, please reply to sender immediately; then delete this message without copying it or further reading.



Carrie McCool <carrie@mccooldevelopment.com>

RE: [External] Town of Elizabeth Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Stacey Rinehart <Stacey.Rinehart@elbertcounty-co.gov>
To: Carrie McCool <carrie@mccooldevelopment.com>

Tue, Dec 21, 2021 at 8:53 AM

ECPH has no concerns.

Thank you,

Stacey Rinehart EHS/BS

Environmental Health Specialist

Elbert County Public Health

Phone: 303-621-3193

Fax: 303-621-0122

From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Tuesday, December 14, 2021 4:56 PM
Subject: [External] Town of Elizabeth Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

TOWN OF ELIZABETH ELECTRONIC REFERRAL REQUEST

TODAY'S DATE: December 14, 2021

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Monday, January 17, 2022

The Town of Elizabeth has received a Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan submittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Happy Holidays,



Carrie McCool, Elizabeth Interim Community Development Director

McCool Development Solutions

[4383 Tennyson Street, Unit 1-D](#)

Denver, CO 80212

Direct: 303.378.4540

www.mccooldevelopment.com

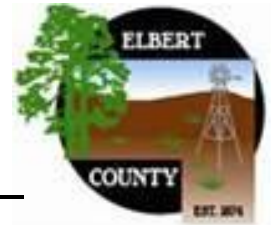
COMMUNITY & DEVELOPMENT SERVICES (CDS)

PO BOX 7

215 KIOWA STREET

KIOWA, COLORADO 80117

P: 303.621.3136 F: 303.621.3165



1/5/2022

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

Dear Ms. McCool,

After reviewing the Cleary Site Plan Case No. 21-6-SP for construction of a commercial office building within the Town of Elizabeth, Elbert County Community Development Services have the following comments:

- Added screening should be provided to the north to buffer the back of the building and the retaining wall facing the park.
- Why are the existing trees being relocated or replaced, where would they be relocated to? If replaced, they should be with trees in similar size or equivalent.
- Providing more street trees adjacent to CR 17 should be required, street trees are in closer proximity to one another providing more screening along CR 17 to the north and east.
- Ensuring lights are not tilted to shine off-site, lower more consistent foot candles across the parking lot would be preferable.

Should you have any questions, please contact me at 720-595-3615 or bailey.short@elbertcounty-co.gov.

Sincerely,

Bailey Short
Planning Technician



Community & Development Services
720.595.3615



RE: [External] REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Bailey Short <Bailey.Short@elbertcounty-co.gov>
To: Carrie McCool <carrie@mccooldevelopment.com>

Tue, Feb 8, 2022 at 1:15 PM

Hello,

Elbert County Community and Development Services have no further comment on the Cleary Site Plan.

Thank you,
Bailey Short
Planning Technician



Community & Development Services
720.595.3615
Elbert County Government
215 Comanche Street
(Mailing address: PO Box 7)
Kiowa, CO 80117
www.elbertcounty-co.gov

From: Carrie McCool <carrie@mccooldevelopment.com>
Sent: Thursday, February 3, 2022 10:16 AM
Subject: Re: [External] REVISED PLANS:Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

Dear Referral Agencies,

The applicant revised the Cleary Site Plan (Shamrock Investments LLC) to reflect the required right-of-way dedication. The revised plan set has been uploaded on the sharefile (Click [HERE](#)). It is labeled "PR2021039-ELIZABETH SUBMITTAL-2-3-22" and replaced the old file labeled "PR2021039-ELIZABETH SUBMITTAL-1-31-22-merged." The applicant apologizes for the confusion.

Please let me know if any additional review time is needed due to the revisions received and posted today.

Best,

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
4383 Tennyson Street, Unit 1-D
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com

----- Forwarded message -----

From: **Carrie McCool** <carrie@mccooldevelopment.com>

Date: Wed, Feb 2, 2022 at 7:22 AM

Subject: Town of Elizabeth 2nd Electronic Referral_Cleary Site Plan - Case No: 21-6-SP

To:

TOWN OF ELIZABETH ELECTRONIC 2nd REFERRAL REQUEST

TODAY'S DATE: February 2, 2022

SUBJECT: Site Plan approval to construct a commercial office building

PROJECT NAME: Cleary Site Plan (Shamrock Investments LLC)

PROJECT LOCATION: 755 Crossroads Circle, Elizabeth, Colorado

APPLICATION TYPE: Site Plan

APPLICANT: Matt Schneider

CASE MANAGER: Carrie McCool, Elizabeth Interim Community Development Director: carrie@mccooldevelopment.com, 303.378.4540

COMMENTS DUE: Friday, February 18, 2022

The Town of Elizabeth has received a resubmittal of the Site Plan application to construct a 4,368 square foot commercial office building in Cross Roads Business Park. The property is zoned Regional Commercial (RC). Click [HERE](#) to access the Cleary Site Plan resubmittal documents.

Please review and provide comments by replying to this email by the due date above so that we may give full consideration to your comments. Don't hesitate to let me know if you need to request an extension, so we may also communicate it to the applicant. If you have any questions about this application, please don't hesitate to contact me.

Thank you,

Carrie McCool, Elizabeth Interim Community Development Director
McCool Development Solutions
[4383 Tennyson Street, Unit 1-D](#)
Denver, CO 80212
Direct: 303.378.4540
www.mccooldevelopment.com



June 28, 2022

Management Team Updates

Community Development – Pam Cherry

- Shannon Walker, the new Community Development Administrative Assistant, has been with us just four days, as I write this. She is already proving to be a self-starter; she does not hesitate to assist with anything. She is an eager learner and doing a very good job. I am completely impressed with her willingness to start tasks with minimal oversight and does it successfully!
- We are anticipating several land use applications including site plans, replats, PUD amendments, etc. in the coming weeks.
- We have been reviewing regulations as we come across items that the Board may want to amend; we are creating a list of those sections.

Town Clerk – Michelle Oeser

- Harmony has started virtual trainings for Institute and will attend (in person) as a third-year attendee in July.
- Both backup judge candidates will be present at the July 12th Board meeting.
- The proposed employee handbook has been sent to CIRSA for review.
- The court docket is large for July and August is starting to build. Court day is a very busy day.
- Allison has started to regularly enter tickets into Caselle to help with the increased volume of court.
- Staff is working on the passport certification classes. Our goal is to be finished up with training by the end of July. We do the trainings in slower times, so it is taking us a little while to complete.

Police – Chief Melvin Berghahn

📎 See attached Stats

Public Works and Utilities – Mike DeVol

📎 No Report

TOWN OF ELIZABETH
BALANCE SHEET
APRIL 30, 2022

GENERAL FUND

ASSETS

10-100001	CASH IN COMBINED CASH FUND	2,047,988.28	
10-101000	PETTY CASH	200.00	
10-101100	PETTY CASH- POLICE DEPT	100.00	
10-102200	CONSERVATION TRUST FUND	114,430.28	
10-110000	PROPERTY TAXES RECEIVABLE	171,350.10	
10-115000	ACCOUNTS RECEIVABLE	275,514.94	
	TOTAL ASSETS		2,609,583.60

LIABILITIES AND EQUITY

LIABILITIES

10-202000	ACCOUNTS PAYABLE	18,812.13	
10-202201	COURT BONDS POSTED	590.00	
10-202202	OJW/WARRANT FEE DUE TO DMV	43.98	
10-202203	PERFORMANCE BONDS PAYABLE	65,714.39	
10-202300	AP TO ELBERT CO.--BLGUTX SHARE	(13,122.17)	
10-217100	FPPA CONTRIBUTIONS PAYABLE	372.13	
10-217200	SOC SEC TAXES PAYABLE	(68.09)	
10-217201	MEDICARE TAXES PAYABLE	(2.75)	
10-217300	FED'L WITHHOLDING TAXES PAYABL	(1.00)	
10-217400	STATE WITHHOLDING TAXES PAYABL	5,083.00	
10-217500	HEALTH INSURANCE PAYABLE	737.36	
10-217600	UNEMPLOYMENT INSURANCE PAYABLE	202.11	
10-217603	WORKERS' COMP. INS. PAYABLE	17,449.99	
10-219000	457 CONTRIBUTIONS PAYABLE	(28.85)	
10-222001	DEFERRED REVENUE - ARPA	151,899.36	
10-250022	LENNAR	(8,244.54)	
10-250039	SCARLETT CREEK SUBDIVISION	80.04	
10-250041	MAIN STREET STATION	259.21	
10-250042	ELIZABETH WEST ZONING	(5,009.41)	
10-250048	DAIRY QUEEN SITE PLAN	161.00	
10-250049	SPRADLING CAR WASH	(4,949.00)	
10-250051	HENDERSON REPLAT	461.05	
10-250052	ABRAHAM REZONE	513.23	
10-250053	LEGACY VILLAGE FILINGS 1 & 2	(1,076.69)	
10-250054	ZIGGI'S COFFEE	3,183.20	
10-250055	CLEARY BUILDING	(5,068.20)	
10-250056	MCDONALDS IGA	3,404.00	
10-250057	ANNA'S CAR WASH IGA	3,404.00	
10-250059	H1 ENTERPRISES	1,758.50	
10-250060	PINE RIDGE CROSSING (NEW)	1,373.54	
10-250061	LENNAR AT LEGACY VILLAGE	(2,726.24)	
	TOTAL LIABILITIES		235,205.28

FUND EQUITY

10-280000	FUND BALANCE	2,057,417.86	
-----------	--------------	--------------	--

TOWN OF ELIZABETH
BALANCE SHEET
APRIL 30, 2022

GENERAL FUND

UNAPPROPRIATED FUND BALANCE:			
REVENUE OVER EXPENDITURES - YTD	<u>316,960.46</u>		
BALANCE - CURRENT DATE		<u>316,960.46</u>	
TOTAL FUND EQUITY			<u>2,374,378.32</u>
TOTAL LIABILITIES AND EQUITY			<u><u>2,609,583.60</u></u>

TOWN OF ELIZABETH
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT	
<u>TAX</u>						
10-31-1000	CURRENT PROPERTY TAXES	165,154.54	462,674.17	710,786.00	248,111.83	65.1
10-31-2000	SPECIFIC OWNERSHIP TAX	9,186.55	34,500.43	105,000.00	70,499.57	32.9
10-31-3100	1% NON-TABOR SALES TAX	79,653.33	291,399.67	893,750.00	602,350.33	32.6
	TOTAL TAX	253,994.42	788,574.27	1,709,536.00	920,961.73	46.1
<u>LICENSES & PERMITS</u>						
10-32-1000	FRANCHISE TAX	.00	31,683.95	75,000.00	43,316.05	42.3
10-32-2000	BUILDING PERMIT	1,932.73	12,446.39	150,000.00	137,553.61	8.3
10-32-3000	OTHER LICENSES, FEES AND CHG	3,193.28	10,642.06	30,000.00	19,357.94	35.5
	TOTAL LICENSES & PERMITS	5,126.01	54,772.40	255,000.00	200,227.60	21.5
<u>INTERGOVERNMENTAL</u>						
10-33-2000	CIGARETTE TAX	.00	1,028.03	5,500.00	4,471.97	18.7
10-33-3000	CONSERVATION TRUST FUND	.00	2,979.78	8,500.00	5,520.22	35.1
	TOTAL INTERGOVERNMENTAL	.00	4,007.81	14,000.00	9,992.19	28.6
<u>SOURCE 34</u>						
10-34-1000	GRANTS	300.00	50,207.50	226,807.00	176,599.50	22.1
	TOTAL SOURCE 34	300.00	50,207.50	226,807.00	176,599.50	22.1
<u>EARMARKED FUNDS / MISCELLANEOU</u>						
10-36-1000	INTEREST	958.20	2,307.64	2,500.00	192.36	92.3
10-36-3100	FINES AND FOREFEITURES	.00	17,369.12	70,000.00	52,630.88	24.8
10-36-4000	PUBLIC IMPROVEMENT FEE	59,367.80	219,131.19	665,000.00	445,868.81	33.0
10-36-7000	POLICE REVENUE	376.08	989.91	35,000.00	34,010.09	2.8
	TOTAL EARMARKED FUNDS / MISCELLANEOU	60,702.08	239,797.86	772,500.00	532,702.14	31.0
<u>OTHER FUNDS</u>						
10-39-7000	TRANSFER FROM WATER FUND	14,583.33	58,333.32	175,000.00	116,666.68	33.3
10-39-7003	TRANSFER FROM CAP IMP FUND	4,583.33	18,333.32	55,000.00	36,666.68	33.3
10-39-7004	TRANSFER FROM STREET CAP FUND	4,166.67	16,666.68	50,000.00	33,333.32	33.3
	TOTAL OTHER FUNDS	23,333.33	93,333.32	280,000.00	186,666.68	33.3

TOWN OF ELIZABETH
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>OVER/UNDER BU</u>	<u>PCNT</u>
TOTAL FUND REVENUE	343,455.84	1,230,693.16	3,257,843.00	2,027,149.84	37.8

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TOWN CLERK</u>					
10-41-1100 SALARIES & WAGES	12,855.75	51,168.47	171,150.00	119,981.53	29.9
10-41-1150 TOWN CLERK SALARY	6,744.00	27,212.04	87,675.00	60,462.96	31.0
10-41-1400 WORKERS' COMPENSATION	21.65	86.88	260.00	173.12	33.4
10-41-1500 HEALTH INSURANCE	4,435.05	17,646.62	54,000.00	36,353.38	32.7
10-41-1550 RETIREMENT	587.14	2,344.88	7,765.00	5,420.12	30.2
10-41-1600 FICA	1,484.18	5,953.58	19,800.00	13,846.42	30.1
10-41-1700 COLO UNEMPLOYMENT	39.14	149.71	1,035.00	885.29	14.5
10-41-1800 TUITION REIMBURSEMENT	960.00	960.00	5,000.00	4,040.00	19.2
10-41-1825 MEMBERSHIPS - EMPLOYEE	10.00	415.00	1,500.00	1,085.00	27.7
10-41-1850 TRAINING, TRAVEL AND LODGING	163.04	1,981.80	13,000.00	11,018.20	15.2
10-41-1900 ALLOWANCES	87.50	618.75	2,700.00	2,081.25	22.9
10-41-2500 AUDIT	6,500.00	17,350.00	28,500.00	11,150.00	60.9
10-41-3000 COMMUNITY ENGAGEMENT	109.99	1,362.79	2,400.00	1,037.21	56.8
10-41-3200 CONTRACTED SERVICES	100.00	300.00	4,500.00	4,200.00	6.7
10-41-3320 CONTRIBUTIONS AND SPONSORSHIPS	.00	1,375.00	3,000.00	1,625.00	45.8
10-41-3350 COUNTY TREASURER & OTHER FEES	3,119.98	9,070.43	17,500.00	8,429.57	51.8
10-41-3400 LEGAL PUBLICATIONS	37.80	1,248.19	10,000.00	8,751.81	12.5
10-41-3450 ELECTIONS	.00	.00	15,000.00	15,000.00	.0
10-41-4000 BLDG MAINT AND REPAIRS	599.00	3,444.48	20,000.00	16,555.52	17.2
10-41-4400 EQUIPMENT AND MAINT	1,711.44	48,564.38	12,000.00	(36,564.38)	404.7
10-41-4500 FURNITURE	.00	1,496.45	5,000.00	3,503.55	29.9
10-41-4600 OFFICE SUPPLIES	1,215.74	3,634.61	13,000.00	9,365.39	28.0
10-41-4700 POSTAGE	901.69	2,362.58	12,000.00	9,637.42	19.7
10-41-4800 TELEPHONE AND INTERNET	449.60	4,312.31	12,600.00	8,287.69	34.2
10-41-4900 UTILITIES	341.60	2,569.73	5,600.00	3,030.27	45.9
10-41-5100 HUMAN RESOURCES - CONTRACTED	.00	.00	10,000.00	10,000.00	.0
10-41-5250 IT - CONTRACTED	1,756.84	10,333.39	30,000.00	19,666.61	34.4
10-41-5300 IT - HARDWARE	.00	1,238.40	15,000.00	13,761.60	8.3
10-41-5325 IT - SOFTWARE PURCHASES	.00	.00	5,000.00	5,000.00	.0
10-41-5350 IT - SOFTWARE CONTRACTS	1,961.00	20,342.52	42,000.00	21,657.48	48.4
10-41-5400 INSURANCE	20,872.70	42,372.54	99,000.00	56,627.46	42.8
10-41-5500 LEGAL - CONTRACTED	4,760.53	16,360.53	55,660.00	39,299.47	29.4
10-41-5600 MEMBERSHIPS - TOWN	927.63	4,443.26	11,500.00	7,056.74	38.6
10-41-5700 PUBLIC RELATIONS	.00	40.00	2,500.00	2,460.00	1.6
10-41-5800 TOWN HALL EVENTS	194.13	707.13	7,500.00	6,792.87	9.4
10-41-9000 OTHER	745.12	3,250.64	10,000.00	6,749.36	32.5
TOTAL TOWN CLERK	73,692.24	304,717.09	813,145.00	508,427.91	37.5

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>JUDICIAL</u>					
10-42-1200 SALARIES & WAGES- MUNI JUDGE	719.26	2,877.04	10,000.00	7,122.96	28.8
10-42-1400 STATE COMP	14.03	56.12	240.00	183.88	23.4
10-42-1600 FICA	55.02	220.08	810.00	589.92	27.2
10-42-1700 COLO UNEMPLOYMENT	1.44	5.76	36.00	30.24	16.0
10-42-1850 TRAINING, TRAVEL AND LODGING	.00	.00	2,300.00	2,300.00	.0
10-42-3200 COURT PROSECUTOR - CONTRACTED	.00	4,440.00	6,500.00	2,060.00	68.3
10-42-9000 OTHER	.00	522.00	750.00	228.00	69.6
TOTAL JUDICIAL	789.75	8,121.00	20,636.00	12,515.00	39.4
<u>LEGISLATURE</u>					
10-43-1100 BOT - SALARIES & WAGES	.00	3,600.00	14,400.00	10,800.00	25.0
10-43-1200 COMPENSATION- PLAN COMM	.00	550.00	3,000.00	2,450.00	18.3
10-43-1400 BOT - WORKERS' COMPENSATION	.00	2.22	11.00	8.78	20.2
10-43-1600 BOT - FICA	.00	317.62	1,400.00	1,082.38	22.7
10-43-1700 BOT - COLO UNEMPLOYMENT	.00	8.30	60.00	51.70	13.8
10-43-1850 BOT - TRAIN, TRVL, LODG	10.98	2,415.11	8,000.00	5,584.89	30.2
10-43-3700 TRAINING, TRVL, LODG - PC	49.72	49.72	4,000.00	3,950.28	1.2
10-43-4400 BOT - EQUIPMENT	.00	.00	2,500.00	2,500.00	.0
10-43-5000 BOT - MEALS	38.74	146.72	1,500.00	1,353.28	9.8
10-43-9000 BOT- OTHER	.00	74.00	500.00	426.00	14.8
TOTAL LEGISLATURE	99.44	7,163.69	35,371.00	28,207.31	20.3

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>POLICE</u>						
10-46-1100	SALARIES & WAGES	52,007.74	207,599.52	767,000.00	559,400.48	27.1
10-46-1240	CONTRACTED OVERTIME	.00	.00	5,000.00	5,000.00	.0
10-46-1300	OVERTIME	1,244.77	1,539.23	12,000.00	10,460.77	12.8
10-46-1400	WORKERS' COMPENSATION	1,375.88	5,410.68	23,000.00	17,589.32	23.5
10-46-1500	HEALTH INSURANCE	14,537.48	54,853.95	195,000.00	140,146.05	28.1
10-46-1550	RETIREMENT	745.96	2,893.46	10,800.00	7,906.54	26.8
10-46-1600	FICA	1,139.40	4,491.28	11,122.00	6,630.72	40.4
10-46-1605	FPPA	5,413.37	22,165.69	69,030.00	46,864.31	32.1
10-46-1700	COLO UNEMPLOYMENT	98.51	339.28	3,068.00	2,728.72	11.1
10-46-1800	TUTITION REIMB	.00	.00	5,250.00	5,250.00	.0
10-46-1825	MEMBERSHIPS - EMPLOYEE	65.00	979.02	1,500.00	520.98	65.3
10-46-1850	TRAINING, TRAVEL AND LODGING	123.48	3,212.23	15,000.00	11,787.77	21.4
10-46-1900	ALLOWANCES	287.50	1,917.86	7,800.00	5,882.14	24.6
10-46-3000	COMMUNITY OUTREACH	80.82	80.82	3,000.00	2,919.18	2.7
10-46-3200	CONTRACTED SERVICES	5,284.08	21,371.99	70,000.00	48,628.01	30.5
10-46-3600	MOBILE DATA LAPTOPS	.00	1,100.98	4,500.00	3,399.02	24.5
10-46-3650	WEAPONS - NON-LETHAL	.00	629.03	6,000.00	5,370.97	10.5
10-46-4000	BLDG MAINT & REPAIRS	551.17	5,030.53	21,000.00	15,969.47	24.0
10-46-4300	DRUG, SCREEN, PSY & POLY TEST	110.00	650.00	4,000.00	3,350.00	16.3
10-46-4400	EQUIPMENT AND MAINTENANCE	350.30	3,013.86	12,000.00	8,986.14	25.1
10-46-4500	FURNITURE	.00	.00	2,500.00	2,500.00	.0
10-46-4650	OFFICE SUPPLILES	344.44	2,662.54	12,000.00	9,337.46	22.2
10-46-4700	POSTAGE	14.76	240.14	1,000.00	759.86	24.0
10-46-4800	TELEPHONE & INTERNET	509.26	4,607.27	16,000.00	11,392.73	28.8
10-46-4900	UTILITIES	401.98	1,896.04	7,000.00	5,103.96	27.1
10-46-6400	TRAINING AND AMMUNITION	.00	269.00	3,000.00	2,731.00	9.0
10-46-6600	UNIFORMS	567.04	1,573.60	15,000.00	13,426.40	10.5
10-46-8000	VEHICLES AND LEASES	.00	.00	100,000.00	100,000.00	.0
10-46-8050	VEHICLE MAINT & REPAIRS	1,321.77	2,017.73	25,000.00	22,982.27	8.1
10-46-8075	FUEL	1,990.01	7,090.85	20,000.00	12,909.15	35.5
10-46-9000	OTHER	529.89	829.42	6,000.00	5,170.58	13.8
TOTAL POLICE		89,094.61	358,466.00	1,453,570.00	1,095,104.00	24.7

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>PUBLIC WORKS/PARKS/BUILDINGS</u>					
10-49-1100 SALARIES & WAGES	2,693.59	11,344.91	39,500.00	28,155.09	28.7
10-49-1300 OVERTIME	131.85	773.81	3,000.00	2,226.19	25.8
10-49-1400 WORKERS' COMPENSATION	120.81	520.19	1,900.00	1,379.81	27.4
10-49-1500 HEALTH INSURANCE	763.25	3,468.57	7,800.00	4,331.43	44.5
10-49-1550 RETIREMENT	71.57	302.66	1,185.00	882.34	25.5
10-49-1600 FICA	212.26	911.66	3,022.00	2,110.34	30.2
10-49-1700 COLO UNEMPLOYMENT	5.65	21.03	158.00	136.97	13.3
10-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	150.00	150.00	.0
10-49-1900 ALLOWANCES	22.50	155.09	487.00	331.91	31.9
10-49-4000 BLDG MAINT & REPAIRS	184.00	1,058.89	20,000.00	18,941.11	5.3
10-49-4800 TELEPHONE AND CELLPHONES	.00	935.10	3,800.00	2,864.90	24.6
10-49-4900 UTILITIES	169.43	1,338.11	5,000.00	3,661.89	26.8
10-49-6100 PARKS MAINTENANCE	2,658.22	4,086.89	100,000.00	95,913.11	4.1
10-49-6300 PARTS AND REPAIRS	.00	.00	9,500.00	9,500.00	.0
10-49-6500 TREE CITY USA	.00	.00	2,000.00	2,000.00	.0
10-49-9000 OTHER	27.00	25.07	5,000.00	4,974.93	.5
TOTAL PUBLIC WORKS/PARKS/BUILDINGS	7,060.13	24,941.98	202,502.00	177,560.02	12.3
<u>TWN ADMINSTR</u>					
10-52-1100 SALARIES & WAGES	11,538.46	46,661.19	150,000.00	103,338.81	31.1
10-52-1400 WORKERS' COMPENSATION	12.76	51.67	150.00	98.33	34.5
10-52-1550 RETIREMENT	.00	.00	4,500.00	4,500.00	.0
10-52-1600 FICA	886.51	3,588.69	11,475.00	7,886.31	31.3
10-52-1700 COLO UNEMPLOYMENT	23.08	69.48	600.00	530.52	11.6
10-52-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	500.00	500.00	.0
10-52-1850 TRAINING, TRAVEL AND LODGING	295.00	498.00	7,000.00	6,502.00	7.1
10-52-1900 ALLOWANCES	50.00	250.00	900.00	650.00	27.8
TOTAL TWN ADMINSTR	12,805.81	51,119.03	175,125.00	124,005.97	29.2

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>COMM DEV</u>					
10-53-1100 SALARIES & WAGES- COMM DEV	15,687.25	43,692.76	225,000.00	181,307.24	19.4
10-53-1400 WORKERS' COMPENSATION	17.32	48.17	225.00	176.83	21.4
10-53-1500 HEALTH INSURANCE	2,863.57	8,925.44	34,000.00	25,074.56	26.3
10-53-1550 RETIREMENT	470.62	1,308.72	6,750.00	5,441.28	19.4
10-53-1600 FICA	1,197.37	3,321.59	17,100.00	13,778.41	19.4
10-53-1700 COLO UNEMPLOYMENT	31.38	79.05	900.00	820.95	8.8
10-53-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	1,200.00	1,200.00	.0
10-53-1850 TRAINING, TRAVEL AND LODGING	.00	150.00	7,000.00	6,850.00	2.1
10-53-1900 ALLOWANCES	62.50	125.00	3,600.00	3,475.00	3.5
10-53-2500 COMMUNITY EVENTS	12,100.00	12,635.60	45,000.00	32,364.40	28.1
10-53-3000 BUILDING PERMITS	1,302.55	9,056.80	112,500.00	103,443.20	8.1
10-53-3200 CONTRACTED SERVICES	2,794.50	25,332.75	25,000.00	(332.75)	101.3
10-53-3425 ELIZABETH MAIN STREET	1,258.84	4,776.81	33,000.00	28,223.19	14.5
10-53-3450 HISTORIC ADVISORY BOARD	38.75	1,985.54	37,000.00	35,014.46	5.4
10-53-3475 MARKETING MATERIALS & PUBL	.00	.00	5,000.00	5,000.00	.0
10-53-4000 GIS	.00	.00	800.00	800.00	.0
TOTAL COMM DEV	37,824.65	111,438.23	554,075.00	442,636.77	20.1
<u>NON-DEPARTMENTAL</u>					
10-59-9933 TRANSFER TO STREET MAINTENANCE	11,941.42	47,765.68	143,297.00	95,531.32	33.3
TOTAL NON-DEPARTMENTAL	11,941.42	47,765.68	143,297.00	95,531.32	33.3
TOTAL FUND EXPENDITURES	233,308.05	913,732.70	3,397,721.00	2,483,988.30	26.9
NET REVENUE OVER EXPENDITURES	110,147.79	316,960.46	(139,878.00)	(456,838.46)	226.6

TOWN OF ELIZABETH
 BALANCE SHEET
 APRIL 30, 2022

STREET FUND

ASSETS

21-100001	CASH IN COMBINED CASH FUND	835,155.77	
21-115000	ACCOUNTS RECEIVABLE	33,027.44	
	TOTAL ASSETS		868,183.21

LIABILITIES AND EQUITY

LIABILITIES

21-202000	ACCOUNTS PAYABLE	1,118.45	
	TOTAL LIABILITIES		1,118.45

FUND EQUITY

21-280000	FUND BALANCE	831,920.43	
	UNAPPROPRIATED FUND BALANCE: REVENUE OVER EXPENDITURES - YTD	35,144.33	
	BALANCE - CURRENT DATE	35,144.33	
	TOTAL FUND EQUITY		867,064.76
	TOTAL LIABILITIES AND EQUITY		868,183.21

TOWN OF ELIZABETH
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

STREET FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAXES</u>					
21-31-3000 GENERAL SALES TAX	11,948.00	43,709.95	134,063.00	90,353.05	32.6
21-31-4000 USE TAX	1,977.85	4,321.37	21,407.00	17,085.63	20.2
TOTAL TAXES	13,925.85	48,031.32	155,470.00	107,438.68	30.9
<u>INTERGOVERNMENT</u>					
21-33-1000 HIGHWAY USERS TAX	5,220.11	21,273.42	100,000.00	78,726.58	21.3
21-33-1050 ROAD & BRIDGE	.00	41,710.49	150,000.00	108,289.51	27.8
21-33-6100 M.V. REGISTRATION (\$1.50)	454.50	1,441.08	4,300.00	2,858.92	33.5
21-33-6200 M.V. REGISTRATION (\$2.50)	745.00	2,265.00	6,400.00	4,135.00	35.4
TOTAL INTERGOVERNMENT	6,419.61	66,689.99	260,700.00	194,010.01	25.6
<u>OTHER SOURCES OF REVENUE</u>					
21-36-1000 INVESTMENT INCOME	281.60	560.21	400.00	(160.21)	140.1
21-36-4000 PUBLIC IMPROVEMENT FEE	1,773.09	6,544.60	20,000.00	13,455.40	32.7
TOTAL OTHER SOURCES OF REVENUE	2,054.69	7,104.81	20,400.00	13,295.19	34.8
<u>SOURCE 39</u>					
21-39-7000 TRANSFER FROM GENERAL FUND	11,941.42	47,765.68	143,297.00	95,531.32	33.3
TOTAL SOURCE 39	11,941.42	47,765.68	143,297.00	95,531.32	33.3
TOTAL FUND REVENUE	34,341.57	169,591.80	579,867.00	410,275.20	29.3

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

STREET FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>STREETS</u>					
21-49-1100 SALARIES & WAGES- PUB WORKS	8,080.73	34,034.65	118,500.00	84,465.35	28.7
21-49-1300 OVERTIME	395.55	2,321.43	9,000.00	6,678.57	25.8
21-49-1400 WORKERS' COMPENSATION	229.78	1,015.25	5,700.00	4,684.75	17.8
21-49-1500 HEALTH INSURANCE	2,289.68	10,405.12	23,400.00	12,994.88	44.5
21-49-1550 RETIREMENT	214.72	902.25	3,555.00	2,652.75	25.4
21-49-1600 FICA	636.85	2,738.90	9,065.00	6,326.10	30.2
21-49-1700 COLO UNEMPLOYMENT	16.94	63.02	474.00	410.98	13.3
21-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	500.00	500.00	.0
21-49-1900 ALLOWANCES	67.50	511.88	1,463.00	951.12	35.0
21-49-3200 CONTRACTED SERVICES	1,603.90	13,637.35	70,000.00	56,362.65	19.5
21-49-3500 DE-ICING SUPPLIES	.00	.00	21,500.00	21,500.00	.0
21-49-3650 LIGHTS AND SIGNALS	1,371.96	5,504.35	18,000.00	12,495.65	30.6
21-49-4000 MAINTENANCE AND REPAIRS	11,187.97	32,354.08	97,000.00	64,645.92	33.4
21-49-5800 ROW MAINTENANCE	12,842.78	30,799.20	105,000.00	74,200.80	29.3
21-49-6100 SIGNS	.00	.00	1,500.00	1,500.00	.0
21-49-9000 OTHER	115.99	159.99	13,000.00	12,840.01	1.2
TOTAL STREETS	39,054.35	134,447.47	497,657.00	363,209.53	27.0
TOTAL FUND EXPENDITURES	39,054.35	134,447.47	497,657.00	363,209.53	27.0
NET REVENUE OVER EXPENDITURES	(4,712.78)	35,144.33	82,210.00	47,065.67	42.8

TOWN OF ELIZABETH
 BALANCE SHEET
 APRIL 30, 2022

CAPITAL IMPROVEMENT FUND

ASSETS

31-100001	CASH IN COMBINED CASH FUND	7,028,912.30	
31-115000	ACCOUNTS RECEIVABLE	231,502.63	
	TOTAL ASSETS		<u>7,260,414.93</u>

LIABILITIES AND EQUITY

FUND EQUITY

31-280000	FUND BALANCE	6,804,268.94	
	UNAPPROPRIATED FUND BALANCE:		
	REVENUE OVER EXPENDITURES - YTD	456,145.99	
	BALANCE - CURRENT DATE	456,145.99	
	TOTAL FUND EQUITY		<u>7,260,414.93</u>
	TOTAL LIABILITIES AND EQUITY		<u>7,260,414.93</u>

TOWN OF ELIZABETH
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

CAPITAL IMPROVEMENT FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAX</u>						
31-31-3000	SALES TAX	119,480.00	437,099.50	1,340,625.00	903,525.50	32.6
31-31-4000	USE TAX	19,778.44	43,213.67	214,073.00	170,859.33	20.2
	TOTAL TAX	139,258.44	480,313.17	1,554,698.00	1,074,384.83	30.9
<u>OTHER FINANCING SOURCES</u>						
31-36-1000	INVESTMENT INCOME	2,414.67	4,736.49	3,000.00	(1,736.49)	157.9
31-36-9000	OTHER REVENUE	.00	.00	100,000.00	100,000.00	.0
	TOTAL OTHER FINANCING SOURCES	2,414.67	4,736.49	103,000.00	98,263.51	4.6
	TOTAL FUND REVENUE	141,673.11	485,049.66	1,657,698.00	1,172,648.34	29.3

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

CAPITAL IMPROVEMENT FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CAPITAL IMPROVEMENT MISC</u>					
31-80-0100 LAND PURCHASE	.00	.00	250,000.00	250,000.00	.0
31-80-0600 TOWN EVENT PARK	.00	.00	125,000.00	125,000.00	.0
31-80-1100 SALARIES & WAGES	.00	.00	24,750.00	24,750.00	.0
31-80-1400 WORKER'S COMPENSATION	.00	.00	25.00	25.00	.0
31-80-1500 HEALTH INSURANCE	.00	.00	3,300.00	3,300.00	.0
31-80-1550 RETIREMENT	.00	.00	742.00	742.00	.0
31-80-1600 FICA	.00	.00	1,893.00	1,893.00	.0
31-80-1700 COLO UNEMPLOYMENT	.00	.00	99.00	99.00	.0
31-80-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	165.00	165.00	.0
31-80-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,650.00	1,650.00	.0
31-80-1900 ALLOWANCES	.00	.00	322.00	322.00	.0
31-80-3220 ASSET ASSESSMENT	.00	.00	25,000.00	25,000.00	.0
31-80-3400 FACILITIES MASTER PLAN	.00	.00	75,000.00	75,000.00	.0
31-80-3425 COMMUNITY STUDIES	.00	.00	50,000.00	50,000.00	.0
31-80-3450 SENIOR CENTER	.00	.00	50,000.00	50,000.00	.0
31-80-3475 CAPITAL PLANNING	.00	.00	15,000.00	15,000.00	.0
31-80-5500 TOWN HALL BLDG IMPROVEMENTS	.00	5,989.77	100,000.00	94,010.23	6.0
31-80-5550 LIBRARY PARTNERSHIP	.00	.00	400,000.00	400,000.00	.0
31-80-6500 TRAIL SYSTEMS	.00	4,580.58	9,900.00	5,319.42	46.3
31-80-9100 TOWN HALL LANDSCAPING	.00	.00	75,000.00	75,000.00	.0
31-80-9901 TRANSFER TO GENERAL FUND	4,583.33	18,333.32	55,000.00	36,666.68	33.3
TOTAL CAPITAL IMPROVEMENT MISC	4,583.33	28,903.67	1,262,846.00	1,233,942.33	2.3
TOTAL FUND EXPENDITURES	4,583.33	28,903.67	1,262,846.00	1,233,942.33	2.3
NET REVENUE OVER EXPENDITURES	137,089.78	456,145.99	394,852.00	(61,293.99)	115.5

TOWN OF ELIZABETH
BALANCE SHEET
APRIL 30, 2022

STREET CAPITAL IMPROVEMENT FND

ASSETS

32-100001	CASH IN COMBINED CASH FUND	3,208,278.84	
32-104400	STREET BOND RESERVE CD ACCOUNT	249,145.32	
32-115000	ACCOUNTS RECEIVABLE	208,352.36	
	TOTAL ASSETS		3,665,776.52

LIABILITIES AND EQUITY

LIABILITIES

32-203000	RETAINAGE PAYABLE	150,934.90	
32-222000	DEFERRED REVENUE	11,500.00	
	TOTAL LIABILITIES		162,434.90

FUND EQUITY

32-280000	FUND BALANCE	3,336,127.41	
	UNAPPROPRIATED FUND BALANCE: REVENUE OVER EXPENDITURES - YTD	167,214.21	
	BALANCE - CURRENT DATE	167,214.21	
	TOTAL FUND EQUITY		3,503,341.62
	TOTAL LIABILITIES AND EQUITY		3,665,776.52

TOWN OF ELIZABETH
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

STREET CAPITAL IMPROVEMENT FND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>TAX</u>					
32-31-3000 GENERAL SALES TAX	107,531.99	393,389.53	1,206,563.00	813,173.47	32.6
32-31-4000 USE TAX	17,800.61	38,892.31	192,665.00	153,772.69	20.2
TOTAL TAX	125,332.60	432,281.84	1,399,228.00	966,946.16	30.9
<u>OTHER FINANCING SOURCES</u>					
32-36-1000 INVESTMENT INCOME	1,197.27	2,393.39	3,000.00	606.61	79.8
32-36-3000 MISC REVENUE	.00	.00	25,000.00	25,000.00	.0
TOTAL OTHER FINANCING SOURCES	1,197.27	2,393.39	28,000.00	25,606.61	8.6
TOTAL FUND REVENUE	126,529.87	434,675.23	1,427,228.00	992,552.77	30.5

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

STREET CAPITAL IMPROVEMENT FND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CAPITAL OUTLAY</u>					
32-49-1100 SALARIES & WAGES	.00	.00	24,750.00	24,750.00	.0
32-49-1400 WORKER'S COMPENSATION	.00	.00	25.00	25.00	.0
32-49-1500 HEALTH INSURANCE	.00	.00	3,300.00	3,300.00	.0
32-49-1550 RETIREMENT	.00	.00	742.00	742.00	.0
32-49-1600 FICA	.00	.00	1,893.00	1,893.00	.0
32-49-1700 COLO UNEMPLOYMENT	.00	.00	99.00	99.00	.0
32-49-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	165.00	165.00	.0
32-49-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,650.00	1,650.00	.0
32-49-1900 ALLOWANCES	.00	.00	322.00	322.00	.0
32-49-3000 PAVING PROJECTS - CR13 SOUTH	.00	.00	750,000.00	750,000.00	.0
32-49-4000 ROAD BASE	.00	633.73	15,000.00	14,366.27	4.2
32-49-6600 RIGHT OF WAY EASEMENTS	.00	.00	50,000.00	50,000.00	.0
32-49-8000 STREET PAVING	.00	174,286.75	1,000,000.00	825,713.25	17.4
32-49-9000 CONCRETE STREET REPAIRS	.00	.00	250,000.00	250,000.00	.0
32-49-9100 EQUIPMENT	.00	.00	287,500.00	287,500.00	.0
32-49-9101 ROTOMILL	.00	.00	1,200,000.00	1,200,000.00	.0
32-49-9200 CURB & GUTTER WORK	.00	.00	5,000.00	5,000.00	.0
32-49-9300 SIDEWALK REPLACEMENT PROGRAM	.00	.00	250,000.00	250,000.00	.0
32-49-9305 MAIN ST STREETScape DESIGN	.00	37,341.11	269,000.00	231,658.89	13.9
32-49-9310 TRANSFER TO GENERAL FUND	4,166.67	16,666.68	50,000.00	33,333.32	33.3
TOTAL CAPITAL OUTLAY	4,166.67	228,928.27	4,159,446.00	3,930,517.73	5.5
<u>DEBT SVC</u>					
32-59-4000 PAYING AGENCY FEE	.00	.00	600.00	600.00	.0
32-59-9700 2014 REFUNDING BOND PRINCIPAL	.00	.00	245,000.00	245,000.00	.0
32-59-9750 2014 REFUNDING BOND INTEREST	3,050.25	3,050.25	6,101.00	3,050.75	50.0
32-59-9800 2015 REFUNDING BOND PRINCIPAL	.00	.00	165,000.00	165,000.00	.0
32-59-9850 2015 REFUNDING BOND INTEREST	35,482.50	35,482.50	70,965.00	35,482.50	50.0
TOTAL DEBT SVC	38,532.75	38,532.75	487,666.00	449,133.25	7.9
TOTAL FUND EXPENDITURES	42,699.42	267,461.02	4,647,112.00	4,379,650.98	5.8
NET REVENUE OVER EXPENDITURES	83,830.45	167,214.21	(3,219,884.00)	(3,387,098.21)	5.2

TOWN OF ELIZABETH
BALANCE SHEET
APRIL 30, 2022

WATER SEWER FUND

ASSETS

52-100001	CASH IN COMBINED CASH FUND	4,190,361.19	
52-101000	PETTY CASH	100.00	
52-110000	ACCOUNTS RECEIVABLE: UB	137,442.22	
52-160100	LAND: WATER	171,737.60	
52-160200	LAND: SEWER	143,729.50	
52-161100	EASEMENTS: WATER	10,890.77	
52-161200	EASEMENTS: SEWER	32,271.26	
52-162100	PLANT & EQUIPMENT: WATER	2,271,315.79	
52-162200	PLANT & EQUIPMENT: SEWER	6,013,924.47	
52-163100	WATER IMPROVEMENTS	2,288,597.77	
52-163200	SEWER IMPROVEMENTS	2,727,573.38	
52-165100	CONSTRUCTION IN PROGRESS: WTR	1,303,568.39	
52-165200	CONSTRUCTION IN PROGRESS: SWR	49,500.00	
52-169100	ACCUMULATED DEP: WATER	(2,727,106.48)	
52-169200	ACCUMULATED DEP: SEWER	(3,822,205.34)	
	TOTAL ASSETS		12,791,700.52

LIABILITIES AND EQUITY

LIABILITIES

52-202000	ACCOUNTS PAYABLE	229,770.05	
52-203000	RETAINAGE PAYABLE	24,515.00	
52-215200	ACCRUED INT PAY: SEWER	2,479.00	
52-218000	COMPENSATED ABSENCES PAYABLE	13,777.88	
52-218100	COMP ABSENCES- CURRENT PAYABLE	1,377.79	
52-220000	CUSTOMER METER DEPOSITS	40,139.28	
52-231200	2007 CWRPDA CUR NOTES PAYABLE	60,120.00	
52-239402	2007 CWRPDA NOTE PAYABLE	337,558.35	
	TOTAL LIABILITIES		709,737.35

FUND EQUITY

52-280000	RETAINED EARNINGS	12,508,662.70	
	UNAPPROPRIATED FUND BALANCE:		
	REVENUE OVER EXPENDITURES - YTD	(426,699.53)	
	BALANCE - CURRENT DATE	(426,699.53)	
	TOTAL FUND EQUITY		12,081,963.17
	TOTAL LIABILITIES AND EQUITY		12,791,700.52

TOWN OF ELIZABETH
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>CHARGE FOR SERVICES / TAP FEES</u>					
52-34-4100	WATER SALES	53,746.91	207,509.72	650,000.00	442,490.28 31.9
52-34-4200	SEWER SALES	62,419.43	251,144.50	675,000.00	423,855.50 37.2
52-34-8100	WATER TAP FEES	.00	.00	520,000.00	520,000.00 .0
52-34-8200	SEWER TAP FEES	15,000.00	15,000.00	592,000.00	577,000.00 2.5
	TOTAL CHARGE FOR SERVICES / TAP FEES	131,166.34	473,654.22	2,437,000.00	1,963,345.78 19.4
<u>MISCELLANEOUS</u>					
52-36-1000	INVESTMENT INCOME	1,522.88	3,063.43	2,700.00	(363.43) 113.5
52-36-9000	OTHER REVENUE	1,959.52	8,443.70	91,000.00	82,556.30 9.3
	TOTAL MISCELLANEOUS	3,482.40	11,507.13	93,700.00	82,192.87 12.3
	TOTAL FUND REVENUE	134,648.74	485,161.35	2,530,700.00	2,045,538.65 19.2

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>WATER</u>					
52-57-1100 SALARIES & WAGES- WATER	8,080.73	34,034.65	130,875.00	96,840.35	26.0
52-57-1300 OVERTIME	395.55	2,321.43	9,000.00	6,678.57	25.8
52-57-1400 WORKERS' COMPENSATION	229.78	1,015.54	6,295.00	5,279.46	16.1
52-57-1500 HEALTH INSURANCE	2,289.68	10,405.12	25,050.00	14,644.88	41.5
52-57-1550 RETIREMENT	214.72	902.25	3,925.00	3,022.75	23.0
52-57-1600 FICA	636.85	2,739.48	10,012.00	7,272.52	27.4
52-57-1700 COLO UNEMPLOYMENT	16.94	63.02	524.00	460.98	12.0
52-57-1825 MEMBERSHIPS - EMPLOYEE	.00	527.00	900.00	373.00	58.6
52-57-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,325.00	1,325.00	.0
52-57-1900 ALLOWANCES	67.50	519.64	1,625.00	1,105.36	32.0
52-57-3200 CONTRACTED SERVICES	.00	565.60	140,000.00	139,434.40	.4
52-57-4800 TELEPHONE AND CELLPHONES	.00	.00	1,800.00	1,800.00	.0
52-57-4900 UTILITIES	5,990.79	14,409.88	90,000.00	75,590.12	16.0
52-57-5400 INSURANCE	2,363.31	4,726.63	10,000.00	5,273.37	47.3
52-57-5500 LEGAL - CONTRACTED	.00	.00	8,000.00	8,000.00	.0
52-57-6000 MAINTENANCE AND REPAIRS	4,699.20	12,562.80	150,000.00	137,437.20	8.4
52-57-7500 CHEMICAL SUPPLIES	.00	1,057.40	9,000.00	7,942.60	11.8
52-57-7550 WATER SUPPLIES	704.20	11,365.75	14,000.00	2,634.25	81.2
52-57-9000 OTHER	80.99	456.19	18,000.00	17,543.81	2.5
52-57-9100 RITORO WELLS	229,315.05	607,535.98	700,000.00	92,464.02	86.8
52-57-9900 WATER LINE UPGRADE	.00	.00	25,000.00	25,000.00	.0
TOTAL WATER	255,085.29	705,208.36	1,355,331.00	650,122.64	52.0
<u>SEWER</u>					
52-58-1100 -SALARIES & WAGES- SEWER	8,080.73	34,034.61	130,875.00	96,840.39	26.0
52-58-1300 OVERTIME	395.55	2,321.43	9,000.00	6,678.57	25.8
52-58-1400 WORKERS' COMPENSATION	229.78	1,015.35	6,295.00	5,279.65	16.1
52-58-1500 HEALTH INSURANCE	2,289.66	10,405.87	25,050.00	14,644.13	41.5
52-58-1550 RETIREMENT	214.75	902.41	3,925.00	3,022.59	23.0
52-58-1600 FICA	636.84	2,739.60	10,012.00	7,272.40	27.4
52-58-1700 COLO UNEMPLOYMENT	24.98	91.64	524.00	432.36	17.5
52-58-1825 MEMBERSHIPS - EMPLOYEE	.00	.00	900.00	900.00	.0
52-58-1850 TRAINING, TRAVEL AND LODGING	.00	.00	1,325.00	1,325.00	.0
52-58-1900 ALLOWANCES	67.50	519.64	1,625.00	1,105.36	32.0
52-58-3200 CONTRACTED SERVICES	1,388.00	14,629.81	110,000.00	95,370.19	13.3
52-58-4800 TELEPHONE AND CELLPHONES	61.45	2,125.87	9,000.00	6,874.13	23.6
52-58-4900 UTILITIES	5,525.77	20,521.45	70,000.00	49,478.55	29.3
52-58-5400 INSURANCE	2,612.69	5,225.38	12,000.00	6,774.62	43.5
52-58-6000 MAINTENANCE AND REPAIRS	1,971.67	6,587.02	130,000.00	123,412.98	5.1
52-58-7500 SEWER SUPPLIES	.00	.00	2,500.00	2,500.00	.0
52-58-9000 OTHER	81.00	81.00	6,000.00	5,919.00	1.4
52-58-9400 WTP UPGRADES	.00	9,900.00	968,000.00	958,100.00	1.0
TOTAL SEWER	23,580.37	111,101.08	1,497,031.00	1,385,929.92	7.4

TOWN OF ELIZABETH
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING APRIL 30, 2022

WATER SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	OVER/UNDER BU	PCNT
<u>2007 CWRPDA</u>					
52-63-6300	2007 CWRPDA PYMT- PRINCIPAL	29,781.26	29,781.26	57,928.00	28,146.74 51.4
52-63-6400	2007 CWRPDA- INTEREST	7,436.86	7,436.86	16,508.00	9,071.14 45.1
	TOTAL 2007 CWRPDA	37,218.12	37,218.12	74,436.00	37,217.88 50.0
<u>DEPARTMENT 65</u>					
52-65-9900	TRANSFER TO GENERAL FUND	14,583.33	58,333.32	175,000.00	116,666.68 33.3
	TOTAL DEPARTMENT 65	14,583.33	58,333.32	175,000.00	116,666.68 33.3
	TOTAL FUND EXPENDITURES	330,467.11	911,860.88	3,101,798.00	2,189,937.12 29.4
	NET REVENUE OVER EXPENDITURES	(195,818.37)	(426,699.53)	(571,098.00)	(144,398.47) (74.7)

TOWN OF ELIZABETH
BALANCE SHEET
APRIL 30, 2022

COMBINED CASH FUND

ASSETS

99-100001	CASH ALLOCATED TO OTHER FUNDS	(17,410,100.88)	
99-100012	CASH CLEARING - COURT	(21,386.83)	
99-104201	COLOTRUST INVESTMENT ACCOUNT		12,708,886.00	
99-104202	CORE ARPA ACCOUNT		196,983.56	
99-104203	CORE INVESTMENT ACCOUNT		4,224,818.85	
99-105200	CBOC (WATER SEWER)		300,799.30	
			<hr/>	
	TOTAL ASSETS			<hr/> <hr/>
				.00



TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022



ELIZABETH POLICE DEPARTMENT'S MISSION STATEMENT:

“To provide a leadership role in creating an atmosphere of safety and community pride in the Town of Elizabeth by providing quality law enforcement services which utilize innovative approaches to address community needs”.

The following is an informational breakdown of EPD police activity from **06/05/2022 at 12:01 a.m. to 06/18/2022 at 11:59 p.m.** This information is compiled from our Records Management System (RMS), identified as New World (NW), as well as Douglas County Regional Dispatch (DRDC) records.

All suspects/defendants are presumed innocent until proven guilty in a Court of Law.

▪ PO Box 1527, 425 S Main Street ▪ Elizabeth, Colorado 80107 ▪ (303) 646-4664 ▪ Fax: (303) 646-0676 ▪
www.townofelizabeth.org



TOWN OF ELIZABETH

POLICE DEPARTMENT
 MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

Total Calls for Service:

388

Traffic Stops:

Total Stops:	Penalty Assessments:	Written Warnings:	Verbal Warnings:	Assisting Other Agencies
57	39	7	10	1

Parking Violations:

Total Parking Violations:	Parking Citations:	Parking Written Warnings:	Parking Verbal Warnings:
18	12	2	4

Other Calls for Service:

Call Type:	Number of Calls:
Alarm Business Burglary	4
Animal Barking	3
Animal Complaint	4
Animal Cruelty	3
Assist Fire	1
Assist to other Agency	2
Attempt to Contact	1
Business Check	30
Citizen Assist	7
Citizen Contact	2
Civil Assist	1
Crime Prevention	3



TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

Criminal Mischief	1
Domestic Violence	4
Follow up	11
Found Property	1
Fraud	3
House Watch	10
Increased Patrol	164
Littering Complaint	1
Livestock	1
Medical Assist	4
Motorist Assist	2
Municipal Ordinance Violation	1
Motor Vehicle Accident Unknown Injuries	1
Parking Complaint	18
Private Tow	1
Report Every Drunk Driver Immediately (REDDI)	2
Special Assignment	1
Suicidal Subject	1
Suspicious Circumstance	4
Suspicious Person	2
Suspicious Vehicle	12
Theft	2
Traffic Complaint	2
Traffic Stop	57
Vehicle Fire	1
VIN Verify	9
Warrant Pickup	2
Welfare Check	4
Wildlife	4



TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

Open and Active Investigations:

Case/Incident Number:	Call Type:	Details:
22-2650	Fraud	EPD is investigating a fraud at a local business.
22-2964	Assault	An assault occurred at a local school.
22-3055	Assault	An assault occurred at a local school.
22-3061	Harassment	A harassment occurred at a local business/
22-3875	Fraud	A customer at a local bank had their account hacked.
22-3897	Domestic Violence	A possible domestic violence via text.

Please note that limited information regarding open investigations is available. This is to protect the integrity of the investigations.



TOWN OF ELIZABETH

POLICE DEPARTMENT
 MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

Closed Case/Incident Reports:

Case/Incident Number:	Call Type:	Details:
22-0370	Death	EPD concluded our investigation of the death of a resident.
22-3604	Traffic Stop	An EPD Officer contacted a motorist on a traffic stop. Upon investigation, several traffic violations had occurred. The vehicle was towed, and a municipal summons was issued to the motorist.
22-3091	Sex Offense	EPD investigated a sex assault involving a juvenile. After investigation, it was determined the alleged crime occurred outside of EPD's jurisdiction.
22-3667	Theft	A resident reported gas being siphoned from their gas tank overnight. No suspects were identified.
22-2994	Municipal Ordinance Violation-Sign Code	A sign was located within the Town's right of way. The sign was removed, and the owner was contacted to retrieve the sign.
22-3042	Municipal Ordinance Violation-Animal Complaint	EPD Community Services responded to a complaint of a barking dog. The owner of the dog was warned, and the case was closed.
22-3674	Citizen Assist	A citizen requested EPD be present for a civil standby. No crime occurred.
22-3673	Fraud	A member of a bank located in Town had their account hacked. The bank caught the fraud, so the member did not lose money. No suspects were identified.
22-2969	Municipal Ordinance Violation-Junk/Debris	A location in Town was discovered to have an accumulation of old appliances in their yard. After working with Community Services, the resident came into compliance with Town ordinances.



TOWN OF ELIZABETH

POLICE DEPARTMENT
 MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

22-3352	Municipal Ordinance Violation-Animal Complaint	EPD responded to reports of an aggressive and unlicensed dog. The owner was contacted, and the case was forwarded to Community Services for resolution.
22-3709	Informational	A report of the DEA drug take back EPD participated in where over fifty (50) pounds of household medications were turned over to the DEA for safe disposal.
22-3688	Warrant Arrest	A suspect was taken into custody and booked into the ECSO Detention Facility for an outstanding municipal warrant.
22-3683	Animal Cruelty	An animal cruelty was reported. The reporting party did not provide enough information for the investigation to be completed.
22-2667	Municipal Ordinance Violation-Animal Complaint	EPD Community Services worked with a Town resident to register their dogs, bringing them into compliance with Town Ordinances.
22-3700	Citizen Assist	A citizen requested extra patrols around their residence.
22-3468	Suicidal Subject	EPD responded to a juvenile who was reported to be suicidal. The subject was located safely and brought to EPD for evaluation by Centennial Mental Health. After evaluation, the juvenile was released on a safety plan to their parent.
22-2795	Theft	EPD responded to a report of a firearm and wallet that were stolen out of a vehicle. After investigation, no suspects were identified.
22-3186	Driving Under the Influence	EPD responded to a report very drunk driver immediately (REDDI) report. EPD located the vehicle and contacted the driver. Upon investigation, it was determined the driver was intoxicated and was taken into custody and booked into the ECSO Detention Facility.
22-3347	Welfare Check/Agency Assist	EPD contacted an adult male who was laying down in a field. The subject's welfare was checked, and he was released to ECSO as it was their jurisdiction.



TOWN OF ELIZABETH

POLICE DEPARTMENT
 MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

22-3304	Informational Report	A citizen reported a package theft. Upon investigation, it was determined the package was damaged in transit. The citizen was referred to the postal inspectors.
22-3626	Welfare Check	EPD responded to a possible suicidal subject. Upon contact the subjects welfare was checked and he was released.
22-3138	Municipal Ordinance Violation-Animal Complaint	EPD Community Services responded to a barking dog complaint. The owner was contacted and warned about Town ordinances.
22-3729	Domestic Violence	EPD responded to a possible domestic violence call. After investigation, the incident was verbal in nature and no crime occurred.
22-3259	Municipal Ordinance Violation-Building Code	EPD Community Services responded to a complaint that a property's fence was too high. After investigation, the fence was found to be within Town code guidelines.
22-3784	Traffic Stop	EPD contacted a motorist for traveling at an exceedingly high rate of speed (66mph in 30mph zone). The motorist was issued a municipal summons for several traffic offenses.
22-2833	Disturbing the Peace	EPD responded to a call for service regarding a resident challenging a neighbor to a fight. The suspect was issued a municipal summons.
22-3834	Fraud	A local business was defrauded by a suspect who impersonated a U.S. Marshall. No suspects were located.
22-3464	Assault	EPD responded to a local business where an employee assaulted a customer. The suspect was issued a municipal summons.
22-3350	Theft	A customer at a local business forgot to complete a transaction on the pin pad. As the business did not want charges pressed, EPD contacted the customer, who promptly paid the bill.
22-1690	Sex Offense	A sex offense investigation regarding an adult suspect and a juvenile victim. A warrant for the arrest of the suspect has been submitted.



TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

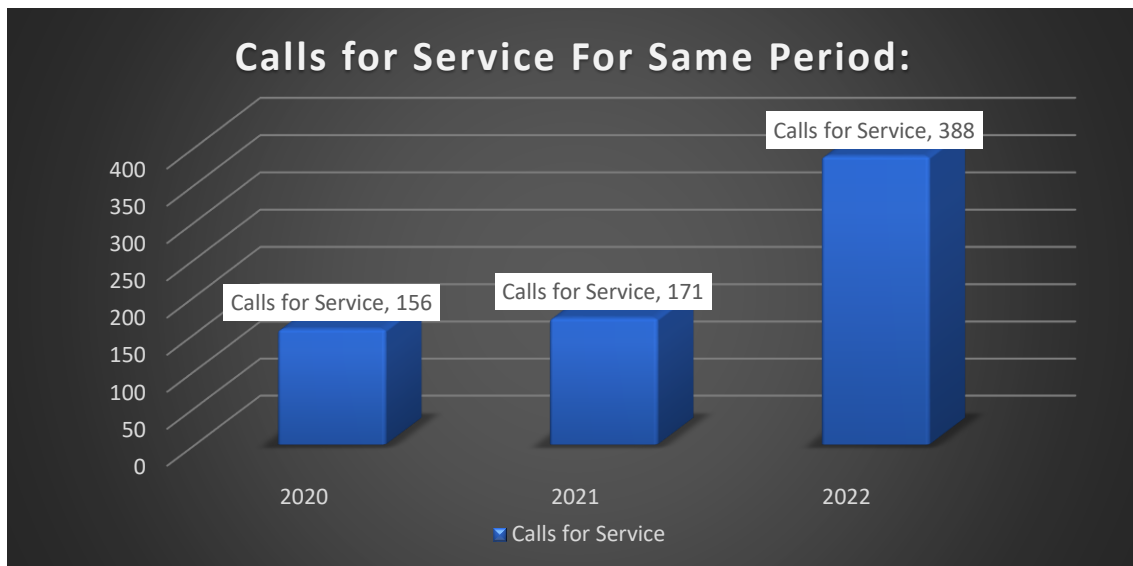
Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

22-3856	Suicidal Subject	EPD responded to a local business on report of a suicidal subject. The subject was contacted and evaluated by Centennial Mental Health. The subject was released to their spouse on a safety plan.
---------	------------------	--

Historical Data:





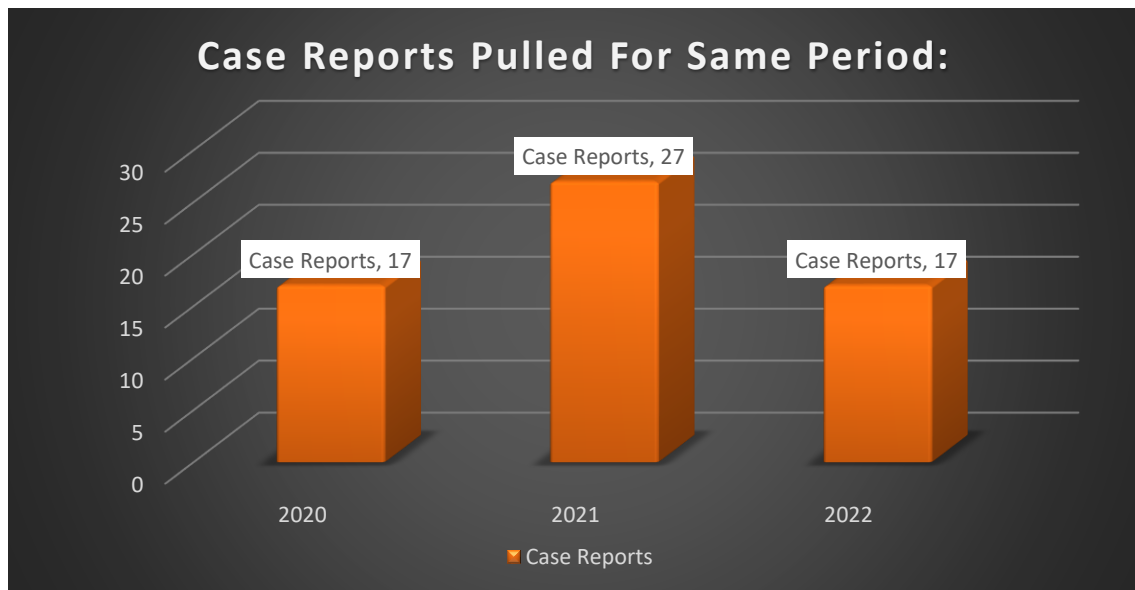
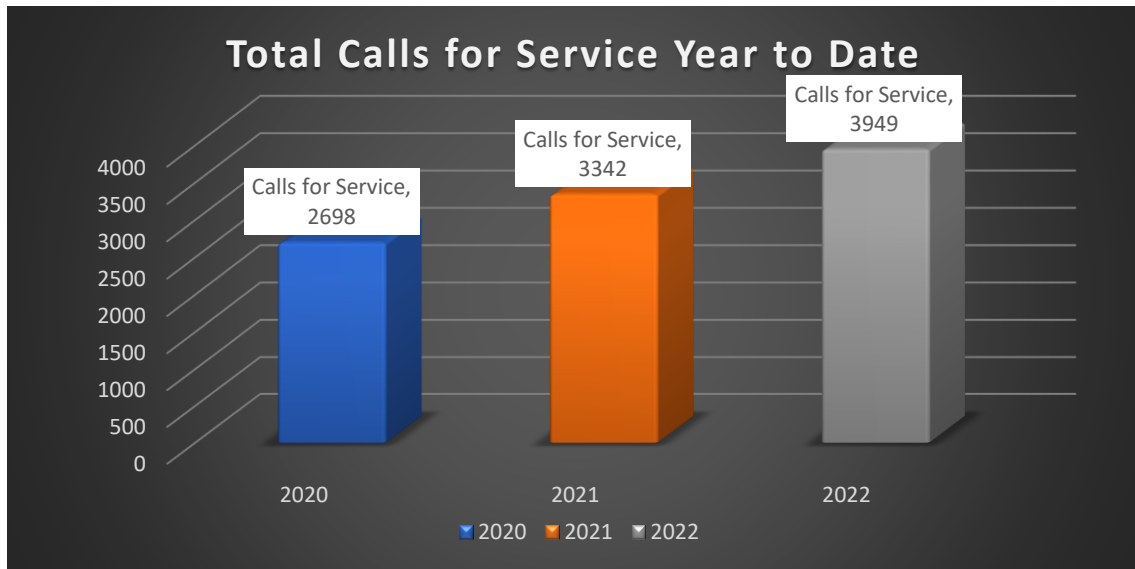
TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022





TOWN OF ELIZABETH

POLICE DEPARTMENT
MELVIN BERGHANN, CHIEF OF POLICE

Elizabeth Police Department Activity Statistics Report

Reporting Period:

06/05/2022 to 06/18/2022

Chief of Police's Advisements:

EPD is happy to advise the hiring of Lyndi Burnley, she has 1 year of policing experience. She worked in Adams County as a jailer. Lyndi grew up in the Town of Elbert and has returned to the serve the community she cares for.

EPD is happy to announce, along with the Elizabeth School District, we have been awarded the full requested amount of the 2022 SAFER Grant through the Colorado DHSEM. The grant award is for \$503,516.00 and it will provide inter-operable radio communication for all ESD schools. 7 school districts in the state of Colorado were awarded funding. They are as follows:

Elizabeth School District: 503,516.00

27J Schools: \$144,094.00

Northeast Colorado BOCES: \$854,882.00

Pueblo County District 70: \$1,098,837.00

Weld County School District 6: \$154,958.00

Alamosa School District: \$389,188.00

Widefield School District 3: \$1,113,172.00

Moffat Consolidated School District #2: \$249,700.00

San Juan BOCES: \$351,441.00

Refer to attachments for further details.

If you have any questions, please let me know!

Respectfully,

Chief Melvin Berghahn

Chief of Police

To: Melvin Berghahn, Chief, Elizabeth Police Department

From: Michael Newton, Director of Safety, Elizabeth School District

Subject: Interoperable Communications Grant Memorandum of Understanding

Date: February 16, 2022

Overview:

The Colorado Safe Schools Act (C.R.S. 22-32-109.1) recognizes Public Safety agencies are indispensable Community Partners upon which schools rely for school safety. The Colorado Safe Schools Act also identifies the importance of communications interoperability between those community partners as an important tool to resolve school crisis events.

During the 2018 legislative session, the SAFER Grant was established for Colorado to enable schools, school districts, charter schools and/or Boards of Cooperative Educational Services (BOCES) and their community partners to achieve emergency communications interoperability. As part of the application process, these various agencies must establish a memorandum of understanding regarding interoperable communications.

Agreement:

Responsibilities of School and/or School District, Charter School or BOCES:

- The School District shall follow the school safety, readiness, and incident management plan developed in accordance with School Response Framework (C.R.S. 22-32-109.1 Colorado Safe Schools Act) which identifies for each public school in the School District:
 - a. Safety teams and backups trained in the National Incident Management System (NIMS) and the Incident Command System (ICS), as specified by the School Response Framework, and
 - b. who are responsible for interacting with community partners and assuming key incident command positions
- Each participating public school, in collaboration with its school district, shall hold coordinated annual exercises among school employees and community partners, including at a minimum:
 - a. Orientation meetings to inform all parties about emergency operation plans and procedures;
 - b. All-hazard drills, in addition to fire drills, to improve individual and student emergency procedures and to test communications interoperability; and
 - c. Tabletop and/or full scale exercises to discuss and identify roles and responsibilities in different scenarios.

- The School District and each participating public school shall follow written procedures, as defined in its emergency communications plan, for taking action and communicating with participating state and local public safety agencies (Community Partners), parents, students, and the media in the event of certain incidents as identified by the school or school district.
- The School District and participating school shall work in cooperation with Community Partners to update and revise standard operating procedures, ensuring that the NIMS framework is incorporated.
- The School District and each participating public school shall conduct a written evaluation (After Action Report) following certain incidents as identified by the school or school district, to identify and address lessons learned and corrective actions in updating response plans and procedures.
- The School District and each participating public school shall include in their annual budget, funding dedicated to the maintenance and required upgrades of emergency equipment, including communications equipment that is interoperable with participating Community Partners.
- The School District and each participating public school shall include in their annual budget, funding and staffing dedicated to support planning and execution of required annual training exercises.
- The School District and participating school are prohibited from use of the emergency interoperability technology funded by the SAFER Grant for day-to-day operations on the public safety communications network.

Responsibilities of Community Partners (Public Safety Agencies & Radio System Owner/Operator)

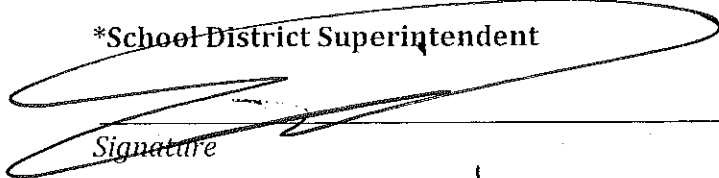
- When applicable, provide an existing common mutual aid radio channel to be used when needed for interoperability with the participating school and/or school district safety teams. Public Safety Dispatch Centers shall enable, control and disable the interoperable “bridge” as needed and according to the standard operating protocol developed by them as part of the interoperability project.
- Public Safety Radio System Owner/Operator shall closely monitor the system radio traffic during an incident and shall have the ability to disable the interoperability “bridge” in the event the radio system exceeds capacity and becomes inoperable.
- Will serve as a resource in updating emergency response plans for districts pertaining to issues of interoperability.
- Participate as a Community Partner during joint trainings and exercises in accordance with the Colorado Safe Schools Act.

When an application for a SAFER Grant is successful, each party shall adhere to its roles and responsibilities related to the application, including required annual training and exercise, coordinated response activities, and interoperable communications.

Signature Page

The undersigned agree to sustain this agreement into the future. The agreement shall be reviewed periodically to ensure the spirit and intent of this agreement remains viable to each agency. Changes or additions to this agreement may be made as a result of the periodic review. Changes or additions to this agreement shall be made through an amendment to the agreement signed by all participants.

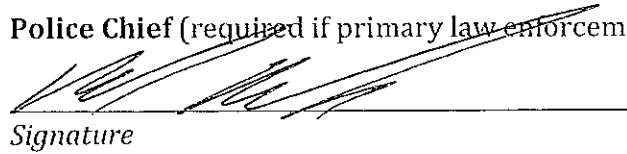
***School District Superintendent**


Signature

Date: 2/17/22

Printed Name: Douglas Bissonette

Police Chief (required if primary law enforcement agency)


Signature

Date: 02-17-22

Printed Name: Melvin Bechahn

***Required signature**

Melvin Berghahn

From: Mike Newton <mnewton@esdk12.org>
Sent: Friday, June 17, 2022 2:04 PM
To: Melvin Berghahn
Subject: 2022 SAFER Grant
Attachments: EPD SAFER Grant MOU Signed.pdf

Chief,

I am pleased to announce we have been awarded our full request for the 2022 SAFER Grant through the Colorado DHSEM. The grant award is for \$503,516.00 and it will provide interoperable radio communication for all ESD schools. This would not be possible without your department's support. Below is a list of the updates we will be receiving through the grant.

- SchoolSafe interoperable radio towers (includes Legacy Academy). Provides the ability to bridge school radios with local first responders.
- 150 new UHF handheld radios for all schools. This will provide 40 new radios for EHS, 30 new radios for EMS, RCE, and SHE, and 20 new radios for Legacy Academy.
- 14 Kenwood P25 800MHz radios.
- UHF radio repeaters for EHS.
- 2 FCC Licensed channels per school (primary and alternate), and a third district common channel.

This is a huge stride forward for ESD and adds to our overall layered security approach. I have attached the signed copy of the MOU for your records. I greatly appreciate the continued support of EPD. Please let me know if you have any questions or concerns.

<https://dhsem.colorado.gov/press-release/2022-school-access-for-emergency-response-safer-grant-program-awards-announced>

--

Michael Newton, CPP, PSP
Director of School Safety & Emergency Planning
Elizabeth School District
Office: (303) 646-1834
elizabethschooldistrict.org

CONFIDENTIALITY STATEMENT: This electronic message transmission contains information from Elizabeth School District which may be confidential and protected by FERPA. If you are not the intended recipient, be aware that any disclosure, copying, distribution, or use of the content of this information is prohibited. If you have received this communication in error, please notify Elizabeth School District immediately by email or by telephone (303-646-1834) and delete the original message.



COLORADO

Division of Homeland Security & Emergency Management (/)

Department of Public Safety

[Home \(/\)](#) 2022 School Access For Emergency Response (SAFER) Grant Program Awards Announced

2022 School Access For Emergency Response (SAFER) Grant Program Awards Announced

DHSEM is pleased to announce the awards for the State of Colorado's Legislature allocated \$4,859,788.00 for the 2022 [School Access For Emergency Response \(SAFER\) Grant Program](#) (<https://dhsem.colorado.gov/grants/grant-programs/school-emergency-response-grant-programs>). Seven school districts and two boards of cooperative educational services (BOCES) were selected to receive funding as directed by [SB18-158](#).

(<https://leg.colorado.gov/bills/sb18-158>). Thank you to all of those who applied for 2022 SAFER.

Everyone is eligible to apply again next year. The funding announcement for 2023 SAFER will be in the first calendar quarter of 2023.

Recipient Selection

- Elizabeth School District: 503,516.00
- 27J Schools: \$144,094.00
- Northeast Colorado BOCES: \$854,882.00
- Pueblo County District 70: \$1,098,837.00
- Weld County School District 6: \$154,958.00
- Alamosa School District: \$389,188.00
- Widefield School District 3: \$1,113,172.00
- Moffat Consolidated School District #2: \$249,700.00
- San Juan BOCES: \$351,441.00

Decision Notification

This announcement constitutes notification of an agency decision. Any request for reconsideration should be sent to Austin Geddis by email at Austin.geddis@state.co.us (mailto:Austin.geddis@state.co.us) by June 23, 2022.

Recent

[2022 - 2023 Colorado Academy for Professional Emergency Managers Announced \(/press-release/2022-2023-colorado-academy-for-professional-emergency-managers-announced\)](#)

Colorado DHS

[April 1 Colorado DR4634 Update: Boulder Fires and Straight Line Winds \(/press-release/april-1-colorado-dr4634-update-boulder-fires-and-straight-line-winds\)](#)

Donation and Resource Center April 30 is the last day the donation and resource center will be open to Marshall Fire and Wind survivors. Donation efforts will transfer to the Boulder County Long...

[March 25 Colorado DR4634 Update: Boulder Fires and Straight-Line Winds Update \(/press-release/march-25-colorado-dr4634-update-boulder-fires-and-straight-line-winds-update\)](#)

Today is the last update for the Marshall Fire Recovery until the FEMA Public Assistance Grant Program data updates begin.

Contact DHSEM

Agency Information

9195 E. Mineral Avenue, Suite 200
Centennial, CO 80112

Main Phone Number: (720) 852-6600

Hours of Operation: 8 a.m. - 5 p.m.

State of Colorado Emergency Operations line: (303) 279-8855

Public Information Line: (720) 432-2433

Website questions: Contact Micki Trost at micki.trost@state.co.us (<mailto:micki.trost@state.co.us>)

Accessibility: We strive to ensure inclusive, accessible content that enables all individuals to engage fully. To request content in alternative formats, please contact Micki Trost at Micki.Trost@state.co.us (<mailto:micki.trost@state.co.us>).

Select Language ▼

Powered by [Google Translate](https://translate.google.com) (<https://translate.google.com>)



**MAIN STREET BOARD OF DIRECTORS – RECORD OF PROCEEDINGS
MAY 12, 2022**

CALL TO ORDER

The Regular Meeting of the Main Street Board of Directors was called to order on Thursday, May 12, 2022, at 8:33 AM by President Tedd Lipka.

ROLL CALL

Present were President Tedd Lipka, Vice President Linda Bulmer, and Board Member Michael Hussey. Board Member Jeff Struthers was present by phone. There was a quorum to conduct business.

Also present were Planner/Project Manager Zach Higgins, Deputy Town Clerk Harmony Malakowski, and Community Development Administrative Assistant Pat Gonzales.

AGENDA CHANGES

No agenda changes by staff or Board.

MINUTES

Regular Minutes of April 21, 2022

Motion by Mr. Hussey, seconded by Vice President Bulmer, to approve the minutes from April 21, 2022.

The vote of those Board Members present was unanimously in favor. Motion carried.

NEW BUSINESS

Discussion regarding Main Street Streetscape

Mr. Higgins presented a preliminary survey and preliminary design plans to the Board.

Discussion regarding 2022 Ornaments

Ms. Gonzales provided an update regarding the 2022 Town Ornaments to the Board.



TOWN OF ELIZABETH

Discussion regarding Networking event with Main Street Businesses and Organizations

The Board discussed holding a networking event with Main Street Businesses and residents. The event is tentatively scheduled for July 28, 2022, at 5:30 PM to be hosted at The Nest.

Discussion regarding Main Street Board of Directors growth and organization within the Town

Mr. Higgins provided an update to the Board regarding the increase of Board membership.

STAFF REPORTS

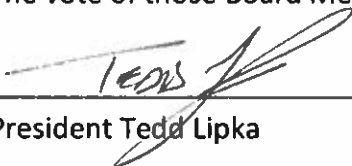
- Mr. Higgins provided the Board with updates regarding the Main Street Now Conference.
- Main Street Direction sign has been placed by CDOT.
- Ms. Gonzales provided an update regarding the Main Street flowers.

BOARD REPORTS


- Vice President Bulmer provided an update regarding the Gesin Lot development.
- Discussion regarding post office delivery on Main Street and throughout Town.

ADJOURNMENT

Motion by Mr. Struthers, seconded by Vice President Bulmer, to adjourn meeting at 9:38 AM. The vote of those Board Members present was unanimously in favor. Motion carried.



President Tedd Lipka



Deputy Town Clerk Harmony Malabarski
Town Clerk Michael M. Osey

