



# TOWN OF ELIZABETH

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**TOWN OF ELIZABETH  
Planning Commission Regular Meeting  
Tuesday, February 21, 2023 at 6:30 PM  
Town Hall, 151 S. Banner Street**

**CALL TO ORDER**

**ROLL CALL**

**AGENDA CHANGES**

**UNSCHEDULED PUBLIC COMMENT**

**CONSENT AGENDA**

1. Minutes of the Regular Meeting of February 7, 2023

**PUBLIC HEARING**

2. 701 S Elizabeth St - Pine Ridge Crossing Site Plan Amendment

**NEW BUSINESS**

3. Discussion and possible action on recommendation for approval regarding 701 S Elizabeth Street - Pine Ridge Crossing Site Plan Amendment

**PUBLIC HEARING**

4. SE corner of Walnut Street and S Elbert Street - Walnut Grove Sketch Plan

**NEW BUSINESS**

5. Discussion and possible action on recommendation for approval regarding SE corner of E Walnut St and S Elbert St - Walnut Grove Sketch Plan

**STAFF REPORT**

**COMMISSIONER REPORTS**

**ADJOURNMENT**



# TOWN OF ELIZABETH

PLANNING COMMISSION

## PLANNING COMMISSION – RECORD OF PROCEEDINGS FEBRUARY 7, 2023

### CALL TO ORDER

The Regular Meeting of the Elizabeth Planning Commission was called to order on Tuesday, February 7, 2023, at 6:35 PM by Chair Jenny Case.

### ROLL CALL

Present were Chair Jenny Case and Commissioners Julie Uhernik, Greg Lindbloom, Amy Schmidt, George Fick, Rob Porter, and Ed Beard. There was a quorum to conduct business.

Also present were Town Administrator Patrick Davidson, Community Development Director Zach Higgins, and Deputy Town Clerk Harmony Malakowski.

### AGENDA CHANGES

No agenda changes from staff.

No agenda changes by the Commissioners.

### UNSCHEDULED PUBLIC COMMENT

No Unscheduled Public Comment.

### CONSENT AGENDA

1. Minutes of the Regular Meeting of December 6, 2022

Motion by Commissioner Schmidt, seconded by Commissioner Lindbloom, to approve the Consent Agenda as presented.

The vote of those Commissioners present was unanimously in favor. Motion carried.

### NEW BUSINESS

2. Discussion and possible action on appointment of Chair and Vice Chair

Motion by Commissioner Schmidt, seconded by Commissioner Lindbloom, to appoint Jenny Case as Chair for 2023.

The vote of those commissioners present was unanimously in favor. Motion carried.

Motion by Commissioner Lindbloom, seconded by Commissioner Uhernik, to appoint Amy Schmidt

**TOWN OF ELIZABETH**

PLANNING COMMISSION

as Vice Chair for 2023.

The vote of those commissioners present was unanimously in favor. Motion carried.

3. Discussion and possible action on Planning Commission Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c)

Motion by Commissioner Lindbloom, seconded by Vice Chair Schmidt, to approve Planning Commission Resolution 23-01, a Resolution establishing a designated public place for the posting of meeting notices pursuant to C.R.S. 24-6-402(2)(c).

The vote of those commissioners present was unanimously in favor. Motion carried.

4. Discussion regarding upcoming Board of Trustees Code Workshops

Commissioners provided feedback to Mr. Higgins regarding attendance at upcoming workshops.

5. Presentation and Discussion regarding Development Staff Reports

Commissioners watched a training video regarding development staff reports and provided feedback to Mr. Higgins on what they would like to see. This issue will be revisited at future meetings as needed.

**STAFF REPORT**

- Mr. Higgins provided reminders and dates regarding upcoming training opportunities.
- Mr. Higgins updated the Commissioners regarding Ordinance 23-02. Discussion followed regarding developer meeting requirements.
- Mr. Higgins asked the Commissioners to think about an alternate meeting date for May 16<sup>th</sup> as a Special Election may be held. Decision regarding an alternate meeting date will be postponed until March.
- Mr. Higgins provided dates to the Commissioners for upcoming meetings regarding the Olde Town Traffic Study results.
- Mr. Davidson updated the Commissioners regarding the plans, development, and upcoming meetings for the Senior Center. Discussion followed regarding senior services in Town.

**COMMISSIONER REPORTS**

- Vice Chair Schmidt asked a question regarding Commissioner Reports and what they entail.
- Chair Case had a question regarding the sign she saw for a replat on Elbert St.
- Discussion followed regarding upcoming hearings.
- Discussion on location of Senior Center.



# TOWN OF ELIZABETH

PLANNING COMMISSION

## ADJOURNMENT

Motion by Commissioner Lindbloom, seconded by Vice Chair Schmidt, to adjourn meeting at 8:44 p.m.  
The vote of those Commissioners present was unanimously in favor. Motion carried.

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Chair Jenny Case

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Town Clerk Michelle Oeser



# TOWN OF ELIZABETH

## STAFF REPORT Site Plan Amendment Application Pine Ridge Crossing

**Applicant:** Pine Ridge Apartments, LLC. / Applicant Representative: Tahoe Consulting, LLC.  
**Location:** 879 S. Elizabeth Street, Elizabeth CO  
**Zoning:** Commercial Mixed- Use (CMU)

**Exhibits:**  
**Exhibit A:** Applicant’s submittal documents and proposed plans  
**Exhibit B:** Referral agency compiled comment letters and redlines

### APPLICANT REQUEST

The Applicants, Pine Ridge Apartments, LLC, request the Planning Commission provide a recommendation of approval to the Board of Trustees for a proposed Site Plan Amendment Application at the Pine Ridge Crossing development, located at the corner of E. Kiowa Ave, and County Road 17 in the Town of Elizabeth, CO. (Exhibit A).

In accordance with [Section 16-2-20 \(a\)](#) of the Elizabeth Municipal Code (EMC) – Site Plan Standards and Procedures – an approved Site Plan may be revised or amended and per Sec. [16-2-20 \(k\)](#), this application may be process as a minor revision or formal amendment. Due to the nature of the request, staff has processed the site plan amendment as a formal amendment that will require a full submittal to all applicable referral agencies as well as Planning Commission and Board of Trustees review and approval processes. In accordance with [Section 16-2-40\(g\)](#) the Planning Commission shall consider a site plan application and make a recommendation to the Board of Trustees to approve, approve with conditions, continue to obtain additional information, or deny.

### General Project Location



PO Box 159, 151 S. Banner Street, Elizabeth, Colorado 80107  
Phone: (303) 646-4166 | Fax: (303) 646-9434 | [www.townofelizabeth.org](http://www.townofelizabeth.org)

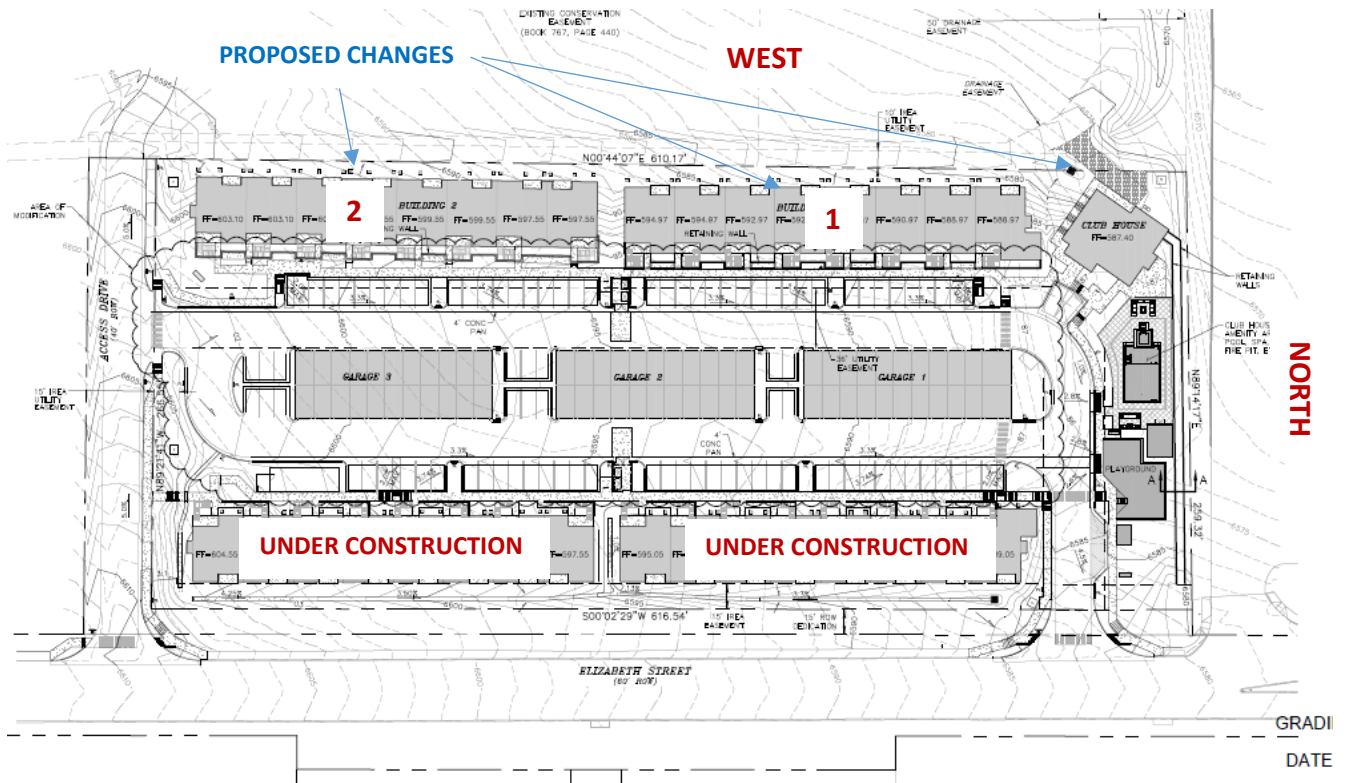


# TOWN OF ELIZABETH

## BOARD OF TRUSTEES

### Proposal/Background:

The applicant is proposing to amend the previously approved Pine Ridge Crossing site plan to increase the density of allowed dwelling units, without reconfiguring the buildings, infrastructure or increasing the building height.



The original project was approved through the Town’s \*Use by Special Review and Site Plan processes in 2019. The subject site is 4.19 acres and is currently being developed to support four (4) two-story apartment buildings, parking (both surface and garage), pool, clubhouse/management office and playground. The four apartment buildings included (16) two- bedroom apartments each, totaling (64) proposed units. The approved proposal provided 150 parking spaces, of which 60 are parking spaces provided in garages.

The proposal for a Site Plan Amendment includes the addition of 16-units to the overall development with eight additional units proposed in each of buildings one (1) & two (2). The additional units are proposed as “garden-level”, lower floor additions to each building bringing the total unit count to 80 units. Parking would be increased to 160 spaces to meet the Town’s current parking standards, with six parking spaces dedicated to ADA. The site is in proximity to but removed from the 100-year floodplain.

Additionally, changes to the clubhouse elevations and an expansion of the overall gross floor area of the clubhouse were noted as part of the review process. These changes were not outlined in the original narrative submitted with the proposal.



# TOWN OF ELIZABETH

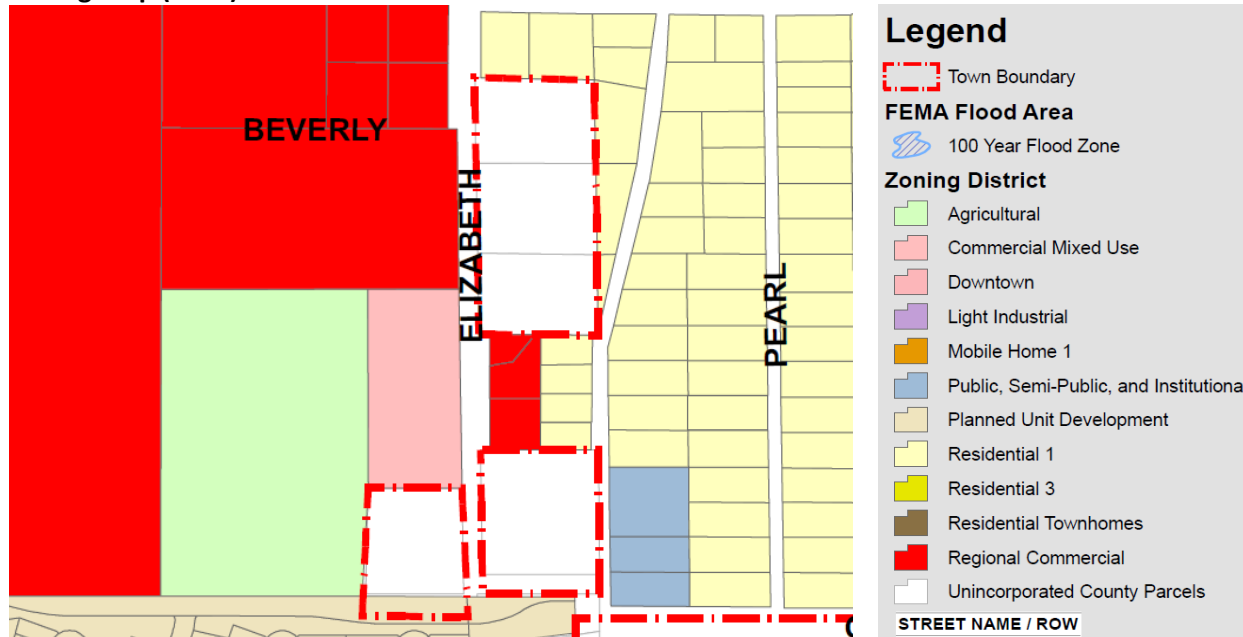
## BOARD OF TRUSTEES

*\*Staff note - As noted, the original project was entitled under a Site Plan process and a Use by Special Review process that includes various criteria for approval. The Use by Special Review process is a requirement for all residential development that is proposed in a Commercial Mixed-Use zone district. Based on the analysis of the proposed changes to the project, the absence of code language considering amendments to Uses by Special Review, and the accompanying impacts of higher densities (traffic, noise, etc..), staff has elected to have the Planning Commission and Board of Trustees hear this proposal as a Site Plan Amendment.*

### Approval Criteria:

Section [16-2-40](#) of the EMC includes criteria for the Planning Commission to consider in order to offer a favorable recommendation for approval to the Board of Trustees. This includes review against all applicable standards as found in the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines.

### Zoning Map (2019):



### Surrounding Land Uses:

- North: Big R Store (Regional Commercial)
- South: Single-family dwelling units (Unincorporated County Parcels - Residential)
- East: Vacant (Regional Commercial)
- West: Single-family dwelling units (Agricultural)



# TOWN OF ELIZABETH

BOARD OF TRUSTEES

Current Site – Aerial View



Current Site – (Under Development)





# TOWN OF ELIZABETH

BOARD OF TRUSTEES

**Current Site – (Under Development)**



**Site – Vacant (prior to start of construction)**



PO Box 159, 151 S. Banner Street, Elizabeth, Colorado 80107  
Phone: (303) 646-4166 | Fax: (303) 646-9434 | [www.townofelizabeth.org](http://www.townofelizabeth.org)



# TOWN OF ELIZABETH

BOARD OF TRUSTEES

## CASE ANALYSIS

### Elizabeth Municipal Code (EMC):

The proposal is to amend the previously approved Pine Ridge Crossing site plan located within the Commercial Mixed-use (CMU) district. Approval for residential uses in the CMU district was granted via the Use by Special Review process as required per code. As such, the following topics outline the specific analysis applied to the proposal:

- **Density**
  - The Town's comprehensive plan anticipates "Mixed-Use" development in this location with a general range of residential densities from 8-24 dwelling units per acre. The increase to 80 units would seemingly provide an overall density of approximately 19.1 units/acre, an increase of 3.82 units/acre from the previous density or 25%. The proposed density increase is well within the range of anticipated density for the mixed-use designation of the Comprehensive Plan and as noted on the future land use map.
  - The current zoning code establishes a "minimum lot/space size (square feet)" of "2,500 sq. ft." This is assumed to be a minimum land to unit, area ratio that helps prescribe density for a particular parcel within the CMU zoning district. Although not expressly denoted in the code, this type of regulation is traditionally used to regulate density. Per application of these zoning parameters, the additional units would require an approximate 1-acre larger parcel size to adhere to the standards. Overall, using these parameters, the 80 total units would require a development property of approximately 4.6 acres.
- **Bulk Standards:**
  - Per code [Sec. 16-1-20](#), building height "means the vertical distance from the average finished grade to the highest point of the roof surface. A weighted average on the perimeter of the building may be utilized." The amended site plan proposes to provide for additional units located below (sub-surface) the surrounding grade for building one and two only and includes space for accessing and traversing the area at the base of the building. Essentially, no additional height will be added from that approved with the original site plan.
- **Lighting:**
  - The light levels measured at the SW corner of the site do not demonstrate compliance with code [Sec. 16-8-20 \(b\)\(6\)](#); therefore, an updated lighting plan that shows compliance with this standard has been requested from the applicant.
- **Drainage:**
  - A drainage memo was provided by the applicant and reviewed by staff consultants. Staff has requested additional grading detail regarding the new entry area retaining walls which have been triggered by the garden level units, and an addendum to the drainage report that discusses the



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## BOARD OF TRUSTEES

increase in impervious area and changes needed to the storm drainage facilities including the pond and its outlet control box.

- **Floodplain**

- The floodplain does not impact the site.

- **Parking:**

- The applicant has demonstrated compliance with code [Sec 16-6-10 \(b.1\)](#) that requires two (2) off-street parking spaces be provided for each new dwelling unit (d.u.). The amended parking configuration proposes 160 parking spaces (80 d.u. x 2 parking spaces). From the total provided parking spaces, six are allocated as ADA parking spaces, which shows compliance with code [Sec. 16-6-10 \(f.1\)](#).

- **Traffic and Access**

- No changes to the existing structures is proposed that would change the traffic patterns and access to the site will remain the same. The Town's Traffic consultant provided no comments regarding the proposal.

- **Right-of-Way (ROW)**

- No new ROW is proposed with the amended site plan.

- **Landscaping**

- Per code [Sec. 16-2-50 \(2.b and 2.c\)](#), at least seventy-five percent (75%) of the area required to be landscaped shall have a ground cover of living plant materials, including but not limited to grass and other recognized ground-covering plant materials. The remaining twenty-five percent (25%) of the area required to be landscaped may be covered with bark, wood chips, wood shavings, rock, stones or other materials approved during the site plan processes. As denoted for change, the overall required landscape area appears to be comprised of 31% non-living material and 69% living material. An updated landscape plan that shows compliance with this standard has been requested from the applicant.
- Per code [Sec. 16-2-50 \(2.f\)](#), all development projects requiring off-street parking spaces for fifty (50) or more cars shall allocate a minimum area equal to ten percent (10%) of the total area covered by the parking lot for landscaped islands. The area covered by the parking lot shall include parking stalls and vehicular circulation aisles, but exclude driveways, access drives, loading areas and similar access features. As proposed, the landscape islands comprise approximately 9% (2,537 sf /27,388 sf) of the parking lot square footage. An updated landscape plan that shows compliance with this standard has been requested from the applicant.

### **The Town of Elizabeth Design Standards and Guidelines:**

The original proposal was reviewed in the context of the Town's adopted Design Standards and Guidelines. Nothing regarding the proposed additional units will impact the requirements of the Design Standards and Guidelines.



# TOWN OF ELIZABETH

## BOARD OF TRUSTEES

### Elizabeth Comprehensive Plan:

The Town's [Comprehensive Plan \(2019\)](#) anticipates "Mixed-Use" development in this location with a general range of residential densities from 8-24 dwelling units per acre. The previously approved site plan allowed for 64 units and an overall density of 15.3 units/acre. The increase to 80 units would seemingly provide an overall density of approximately 19.1 units/acre, an increase of 3.82 units/acre from the previous density or 25%. The proposed density increase is well within the range of anticipated density for the mixed-use designation of the Comprehensive Plan and as noted on the future land use map. The increased density furthers the Town's goal of offering expanded housing options and increasing density as outline below:

- **Future Land Use and Development - GOAL 1, POLICY 1.4:** *Encourage the diversification of Elizabeth's housing options to meet the full life cycle of the community's housing needs. This would enable residents to remain in the community as their housing needs change and would accommodate a more diverse range of residents from a wider range of ages to live in Elizabeth.*
  - By increasing the density, the enhanced availability of housing options will benefit the Town and serve as a resource for residents of all ages.
- **Future Land Use and Development GOAL 3:** *Future development in Elizabeth incorporates appropriate levels of density and design to support increased housing options, the viability of neighborhood commercial, and overall long-term neighborhood sustainability.*
  - The increased density and previously approved design ensure that the Town's availability of new residential housing is focused near commercial services, which may ensure long-term neighborhood sustainability.

## Findings and Staff Recommendation

1. At this time, based on the need for the applicant to respond to the various outstanding comments provided by the review team (Exhibit B), staff is not putting forward a recommendation or suggested findings of fact.

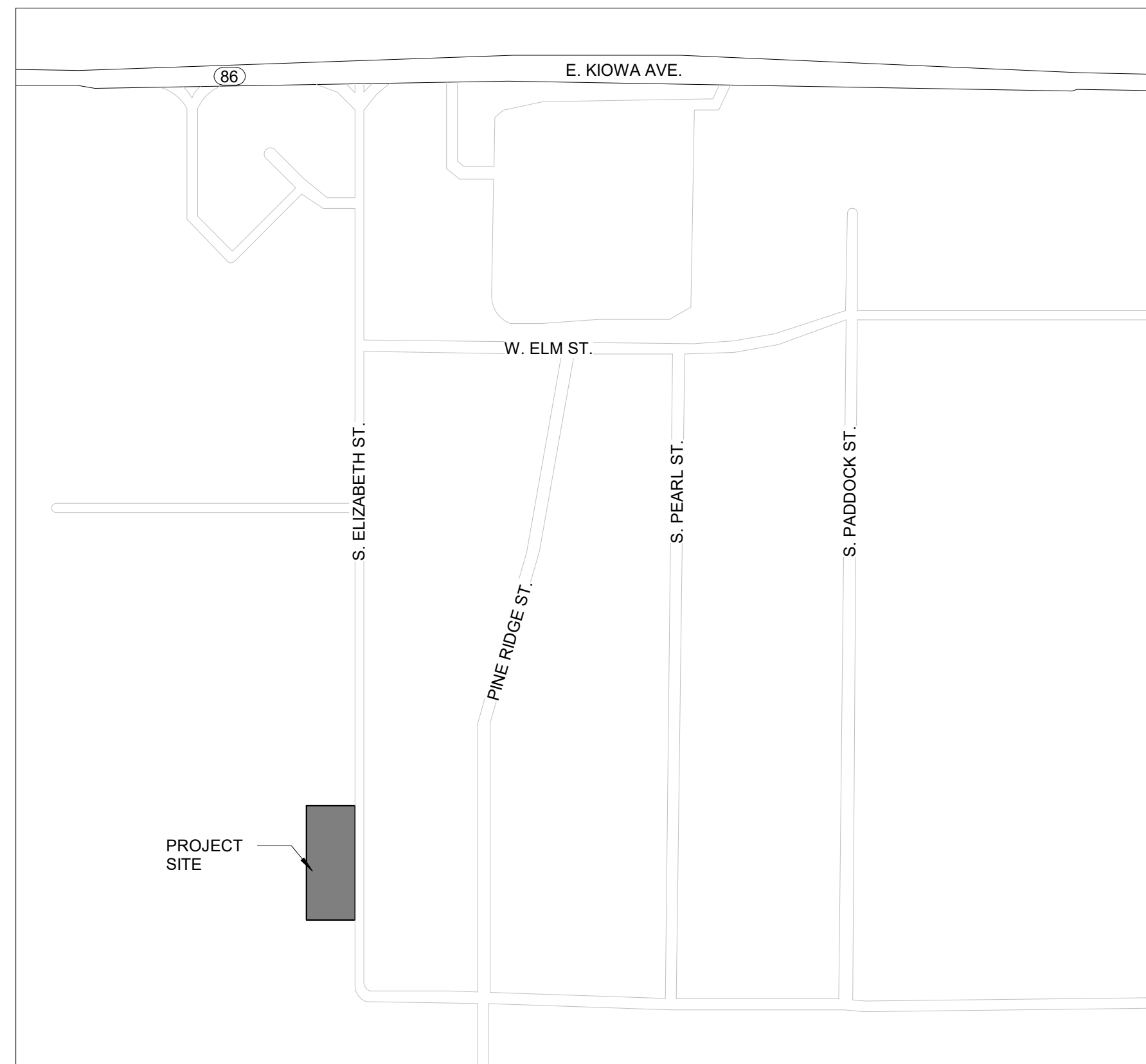
# Exhibit A

## SITE PLAN NOTES:

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE TOWN PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENT, LOTS,TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
5. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 16-8-20 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
6. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH TOWN SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
7. FIRE HYDRANTS MUST MEET OR EXCEED ELIZABETH FIRE PROTECTION DISTRICT STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
8. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
9. ALL SIDEWALKS AND RAMPS MUST CONFORM TO TOWN STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- 10.COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS IN COMMON OPEN SPACE AREAS.
11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO TOWN OF ELIZABETH STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
12. **TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
13. **AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
14. **CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCIES PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

## SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160 4.187 ACRES



VICINITY MAP SCALE: N.T.S.

## ARCHITECT STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ARCHITECT IN THE STATE OF COLORADO, HEREBY ATTEST THAT THIS SITE PLAN AND SET OF DRAWINGS HAVE BEEN DESIGNATED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH DESIGN STANDARDS

REGISTERED ARCHITECT \_\_\_\_\_ DATE \_\_\_\_\_

## CIVIL ENGINEER'S STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH CONSTRUCTION STANDARDS

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

## SITE DATA:

<b>EXISTING ZONING:</b> CMU - COMMERCIAL MIXED USE (USE BY SPECIAL REVIEW)						
<b>SITE BREAKDOWN:</b>						
TOTAL NET SITE AREA:	181,824 S.F.	4.17 ACRES	100%			
BUILDING COVERAGE:	54,470 S.F.	1.25 ACRES	30%			
DRIVE, WALKS & PARKING:	89,479 S.F.	2.05 ACRES	49%			
LANDSCAPE COVERAGE:	37,875 S.F.	0.87 ACRES	21%rv			
<b>TOTAL:</b>	<b>181,824 S.F.</b>	<b>4.17 ACRES</b>	<b>100%</b>			
<b>CURRENT ZONING:</b> CMU - COMMERCIAL MIXED USE						
<b>GROSS DENSITY:</b> 20 DU/ACRE						
<b>BUILDING COVERAGE:RV:</b>						
BUILDING	FOOTPRINT AREA	CONSTRUCTION TYPE	SPRINKLER SYSTEM			
BUILDING TYPE 1, BUILDING 4	10,208 S.F.	TYPE VB	NFPA 13R			
BUILDING TYPE 1B, BUILDING 1	10,004 S.F.	TYPE VB	NFPA 13R			
BUILDING TYPE 2, BUILDING 3	10,004 S.F.	TYPE VB	NONE			
BUILDING TYPE 2B, BUILDING 2	10,208 S.F.	TYPE VB	NONE			
CLUBHOUSE	2,026 S.F.	TYPE VB	NONE			
<b>PARKING REQUIRED:</b>						
STANDARD PARKING:	EACH DWELLING UNIT:		2 REQUIRED			
HANDICAP PARKING:	101-199 PARKING SPACE		6 REQUIRED			
<b>TOTAL:</b>	<b>(80 UNITS X 2 SPACES)</b>		<b>160 SPACES REQUIRED</b>			
<b>PARKING PROVIDED:</b>						
GARAGE STALL - FULL-SIZE AUTO			32 PARKING SPACES			
GARAGE STALL - OVERSIZED AUTO			32 PARKING SPACES			
GARAGE VAN ACCESSIBLE			2 PARKING SPACES			
(90 DEGREE ANGLE: 9'-0" X 18'-0" FULL-SIZE AUTO)			90 PARKING SPACES			
HANDICAP PARKING:			4 PARKING SPACES			
<b>TOTAL:</b>			<b>160 SPACES PROVIDED</b>			
<b>PARKING BREAKDOWN:</b>						
STANDARD	128 (50%)					
OVERSIZED	33 (25%)					
<b>BUILDING TYPES:</b> MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES						
	HEIGHT	TOTAL # ON SITE	2 BEDROOMS	3 BEDROOMS	GARAGES	STORAGE
BUILDING TYPE 1	2 STORY	1	14	2		
BUILDING TYPE 1B	3 STORY	1	21	3		
BUILDING TYPE 2	2 STORY	1	16			
BUILDING TYPE 2B	3 STORY	1	24			
BUILDING TYPE 3	1 STORY	1	-	-	20	2
BUILDING TYPE 4	1 STORY	2	-	-	44	
CLUBHOUSE		1	-	-	-	-
MAIL		1	-	-	-	-
TRASH ENCLOSURES		2	-	-	-	-
<b>TOTAL:</b>			<b>75</b>	<b>5</b>	<b>64</b>	<b>2</b>
<b>TOTAL APT. UNITS: 80 UNITS ON SITE</b>						
<b>SETBACK DATA:</b>						
15'-0" TO E. ELIZABETH STREET.						
5'-0" TO NON-ARTERIAL STREETS						
<b>PROPOSED BUILDING HEIGHT:</b>						
BUILDING TYPE	HEIGHT					
CLUBHOUSE	20' - 6"					
BUILDING TYPE 1	31' - 8"					
BUILDING TYPE 2	31' - 4"					
BUILDING TYPE 3	19' - 9"					
BUILDING TYPE 4	20' - 3"					
MAIL KIOSK	11' - 10"					
POOL EQUIPMENT	11' - 5"					

## PROPERTY DESCRIPTION

A TRACT OF LAND SITUATED IN THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 8 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, ELBERT COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4; THENCE N89°21'41"W ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 A DISTANCE OF 370.75 FEET TO THE WEST RIGHT OF WAY LINE OF ELIZABETH STREET; THENCE N89°21'41"E ALONG SAID SOUTH LINE A DISTANCE OF 269.92 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING N89°21'41"W ALONG SAID SOUTH LINE OF A DISTANCE OF 664.95 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4; THENCE N00°41'18" E ALONG THE WEST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF A DISTANCE OF 949.88 FEET; THENCE N89°14'17"E A DISTANCE OF 924.19 FEET TO THE WEST RIGHT OF WAY LINE OF ELIZABETH STREET; THENCE N89°21'41" W A DISTANCE OF 282.18 FEET; THENCE S02°10'53E A DISTANCE OF 315.98 FEET TO THE POINT OF BEGINNING; ALL IN THE COUNTY OF ELBERT, COUNTY OF ELBERT, STATE OF COLORADO

## CLERK AND RECORDER

STATE OF COLORADO )  
) SS  
COUNTY OF ELBERT )  
I hereby certify that this site plan was filed in my office on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ A.D., at \_\_\_\_\_ a.m./p.m., and was recorded at Reception Number \_\_\_\_\_  
(Signature)  
County Clerk and Recorder

## PROPERTY OWNER

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREIN IN THE TOWN OF ELIZABETH, COUNTY OF ELBERT AND STATE OF COLORADO.  
  
\_\_\_\_\_  
NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC  
  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

## LIST OF CONTACTS:

<b>OWNER:</b> NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC 14205 E. DAVIES AVENUE CENTENNIAL, CO 80112	<b>CIVIL ENGINEER / SURVEYOR:</b> CKE ENGINEERING INC. 14257 WEST EVANS CIRCLE LAKEWOOD, CO 80228	<b>ELECTRICAL ENGINEER</b> BOULDER ENGINEERING COMPANCY 1717 15TH STREET BOULDER, CO 80302	<b>TRAFFIC ENGINEER</b> EST, INC 1873 S. BELLAIRE STREET, SUITE 1101 DENVER, CO 80222
<b>ARCHITECT:</b> PWN ARCHITECTS & PLANNERS, INC. 9250 E. COSTILLA AVE., SUITE 620 GREENWOOD VILLAGE, CO 80112	<b>LANDSCAPE ARCHITECT:</b> BASELINE ENGINEERING CORPORATION 112 N. RUBEY DRIVE, #210 GOLDEN, CO 80403	<b>GEOTECHNICAL SERVICES:</b> GEOSCIENCE & DESIGN, INC. P.O. BOX 68 FRANKTOWN, CO 80116	

## SHEET INDEX

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6	LANDSCAPE PLAN	16	BUILDING TYPE 3 AND 4 ELEVATIONS
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8	PLAYGROUND DETAILS	18	SITE PHOTOMETRIC PLAN
9	LANDSCAPE PLAN	19	SITE LIGHTING CUT SHEET
10	CLUBHOUSE ELEVATIONS	20	SITE LIGHTING CUT SHEET

## COVER SHEET

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

# NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

SHEET  
**1** OF **20**



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES**

- NOTES**
1. A TOTAL OF 2 TYPE "A" UNITS ARE PROVIDED. SEE SITE PLAN FOR LOCATIONS.
  2. REFER TO CIVIL CONSTRUCTION DRAWINGS FOR RETAINING WALL LOCATIONS.
  3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN AND LAYOUT.
  4. VERIFY PARKING SIGNAGE WITH CURRENT CODES AND STANDARDS.
  5. COORD. ALL SIDEWALK CHASES LOCATION AND DESIGN W/ CIVIL.

**ACCESSIBLE UNIT REQUIREMENT**

IBC REQUIREMENT:  
2 TYPE "A" UNITS ARE REQUIRED PER 2018 IBC 1107.6.2.1.1  
(80 TOTAL UNITS X 2% = 2 UNITS)

PROVIDED UNITS:  
TWO BEDROOM - UNIT A1, UNIT A2, UNIT B1 & UNIT B2  
THREE BEDROOM - UNIT C1 & C2

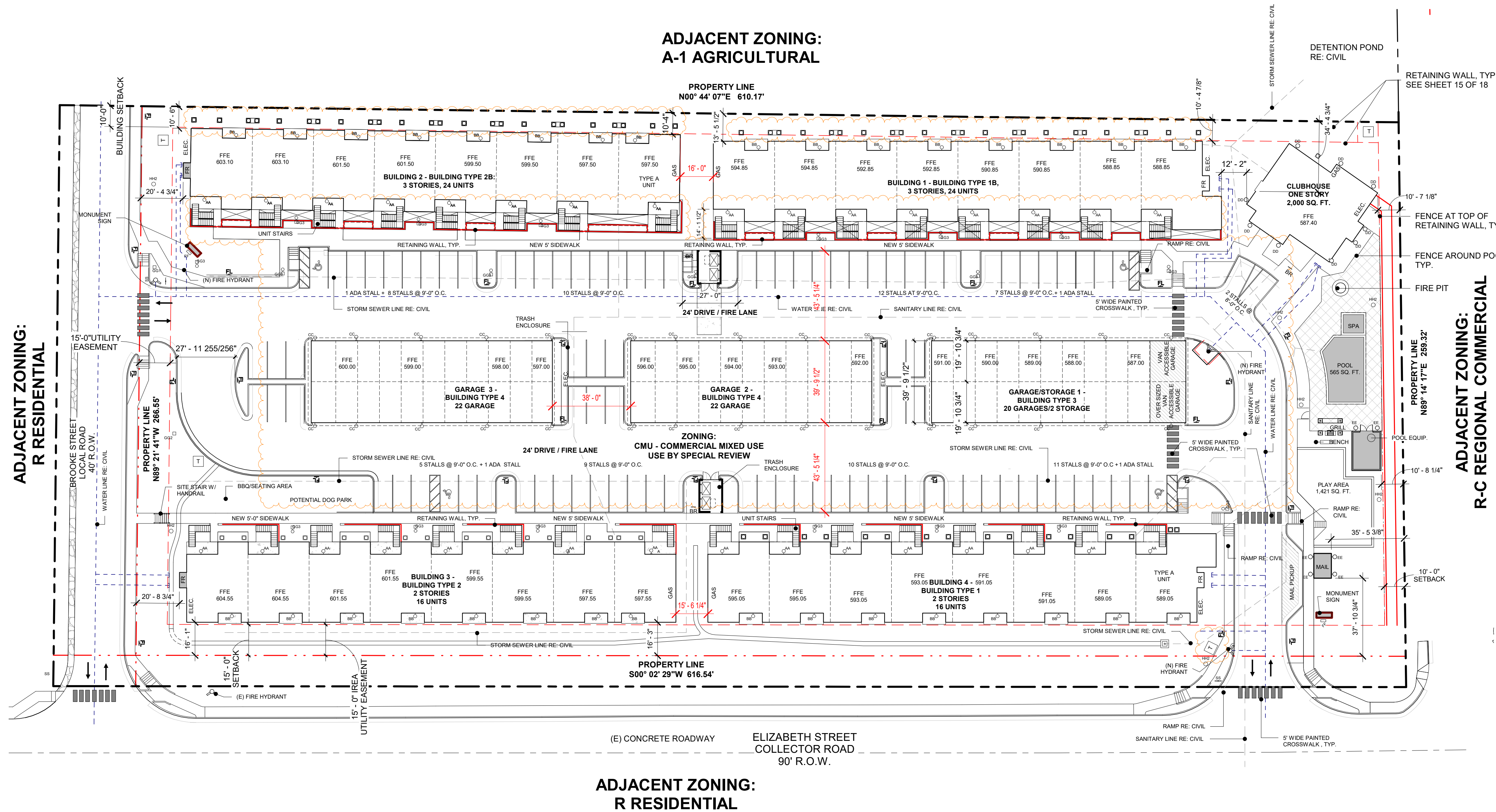
COLORADO TITLE 9 REQUIREMENT:

TYPE A UNITS: 2 UNITS PROVIDED X 6 =	12 POINTS
TYPE B UNITS: 78 UNITS PROVIDED X 2 =	156 POINTS
<b>TOTAL</b>	<b>168 POINTS PROVIDED</b>
	168 POINTS REQUIRED

**LAND USE DATA:**

TOTAL UNITS	SITE AREA	UNIT/ACRE
80 UNITS	4.187 ACRES	19.1 UNITS/ACRE

**ADJACENT ZONING:  
A-1 AGRICULTURAL**

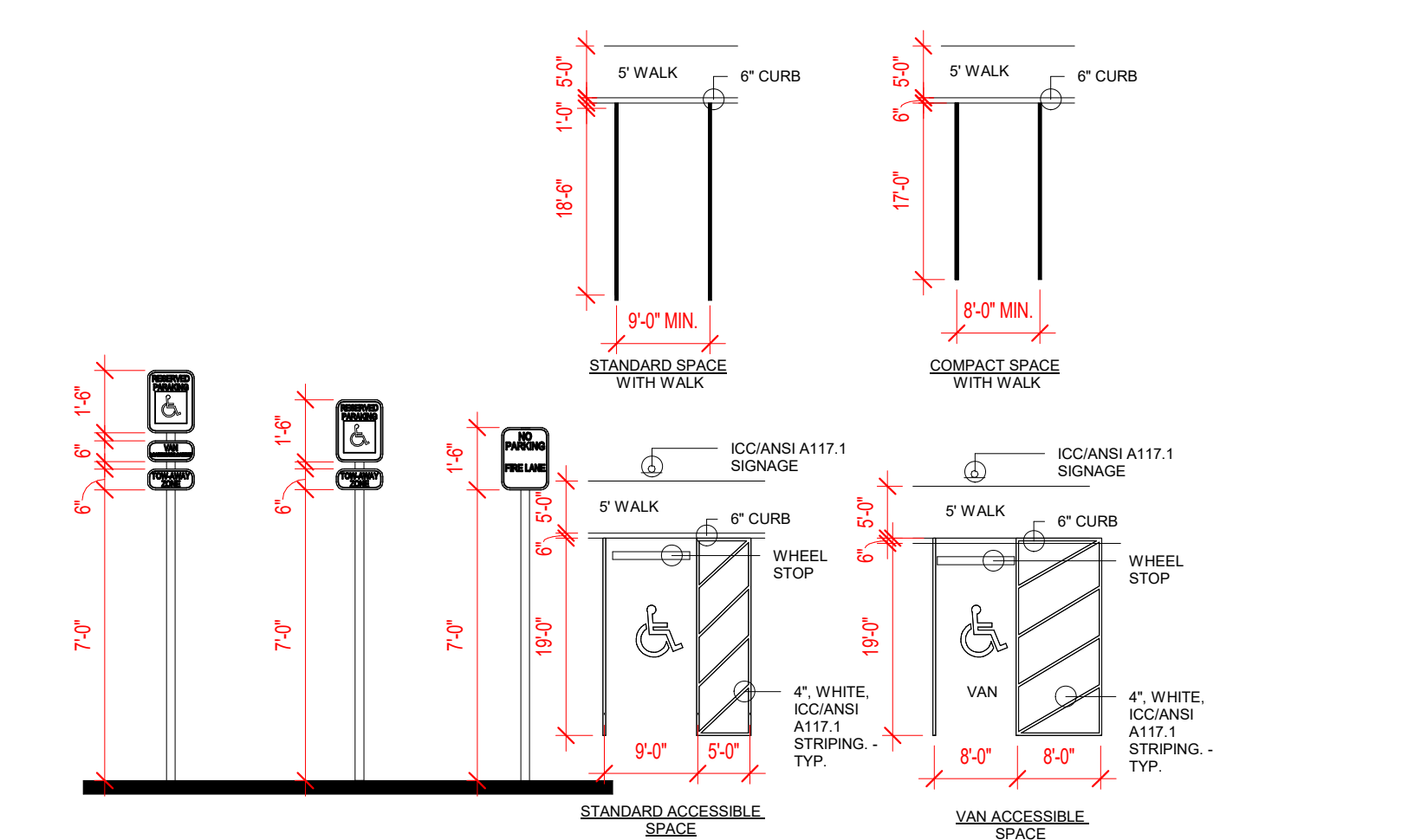


**ADJACENT ZONING:  
R RESIDENTIAL**

**ADJACENT ZONING:  
R-C REGIONAL COMMERCIAL**

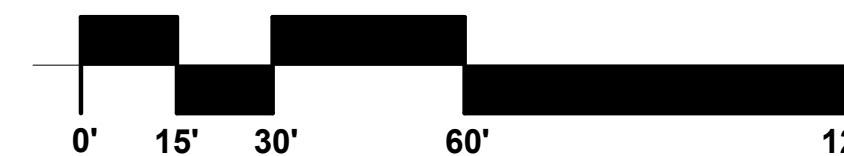
**SITE PLAN KEY:**

	TYPE "A" UNIT		TURN ARROW
	ACCESSIBLE CURB RAMP		ADA ACCESS ROUTES
	HANDICAP PARKING SPACE		RETAINING WALL
	RESERVED HANDICAP PARKING SIGN		EXPOSED FOUNDATION
	STOP SIGN		LIGHT FIXTURE (AA)
	FIRE LANE SIGN LOCATION TO BE COORDINATED WITH COMMERCIAL CITY TRAFFIC ENGINEER (SEE DETAILS)		LIGHT FIXTURE (BB)
	BIKE RACK		LIGHT FIXTURE (CC)
	2 HR FIRE SEPARATION WALL		LIGHT FIXTURE (DD)
	CURB CHASE		LIGHT FIXTURE (EE)
	FIRE HYDRANT		LIGHT FIXTURE (FF)
	FIRE RISER ROOM W/ APPROVED KNOX BOX		LIGHT FIXTURE (GG1, GG2 & GG3)
	LOCATION OF ELECTRICAL METERS		LIGHT FIXTURE (HH2)
	LOCATION OF ELECTRICAL METERS		EXIST. FIRE HYDRANT
	CONDENSER		EXIST. ELECTRICAL BOX
	TRANSFORMER		EXIST. TRANSFORMER
			EXISTING TREE, NONE TO REMAIN



**SITE PLAN - PLANNING**

1" = 30'-0"



ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**ARCHITECTURAL SITE PLAN**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

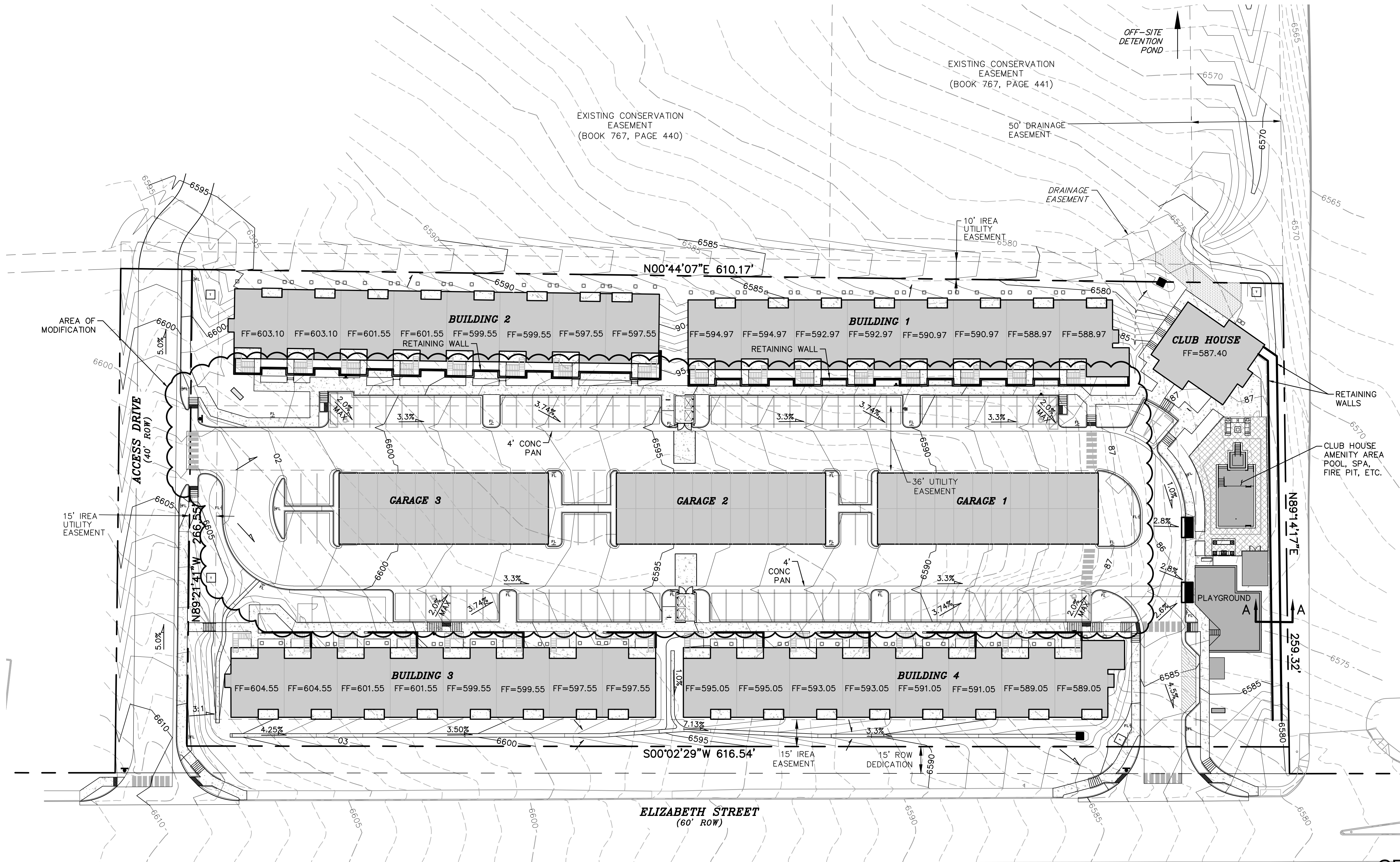
SHEET  
**2 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

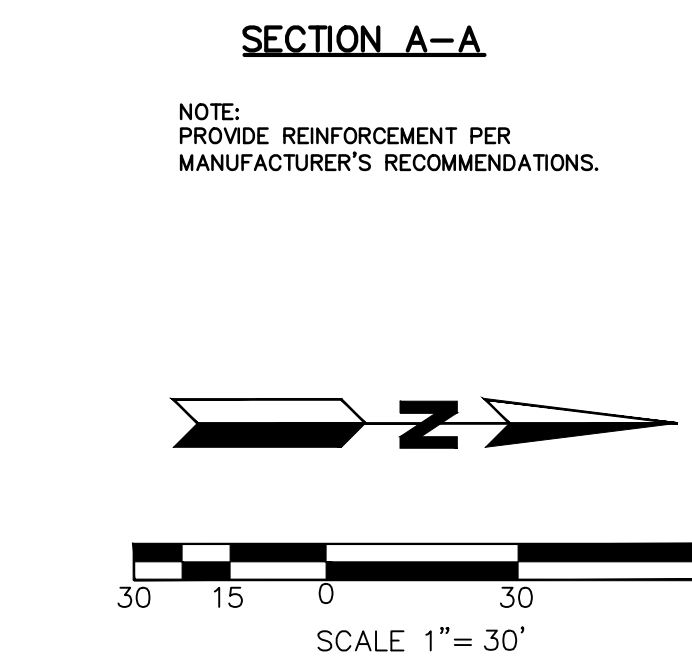
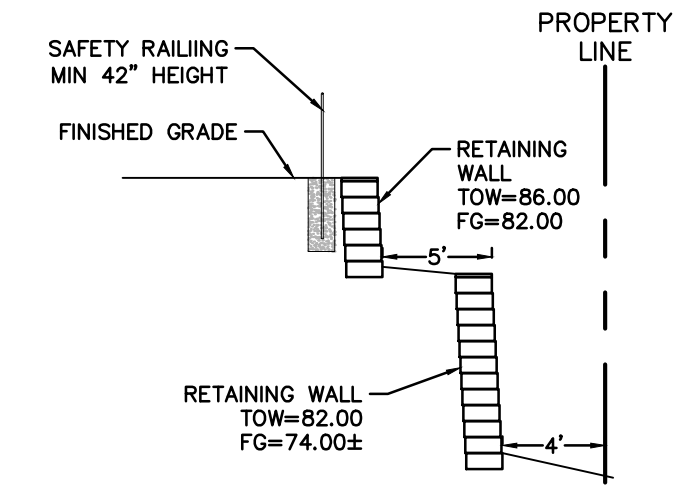
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY EASEMENT
	CONCRETE
	CURB AND GUTTER
	CONTOUR 5500
	SANITARY SEWER SS
	STORM SEWER ST
	WATER LINE W
	UNDERGROUND ELECTRIC
	TELEPHONE CABLE TELE
	GAS LINE GAS
	FIRE HYDRANT
	LIGHT POLE
	SANITARY MANHOLE
	STORM MANHOLE
	CLEAN OUT
	WATER VALVE
	CURB INLET
	AREA INLET
	FES
	SIGN
	PROPERTY PIN
	FIRE LANE NO PARKING SIGN



CKE Engineering assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

**CKE ENGINEERING, INC.**  
14257 W. EVANS CIRCLE  
LAKEWOOD, CO. 80228  
(303) 917-1757

GRADING AND DRAINAGE PLAN

DATE PREPARED: 1-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

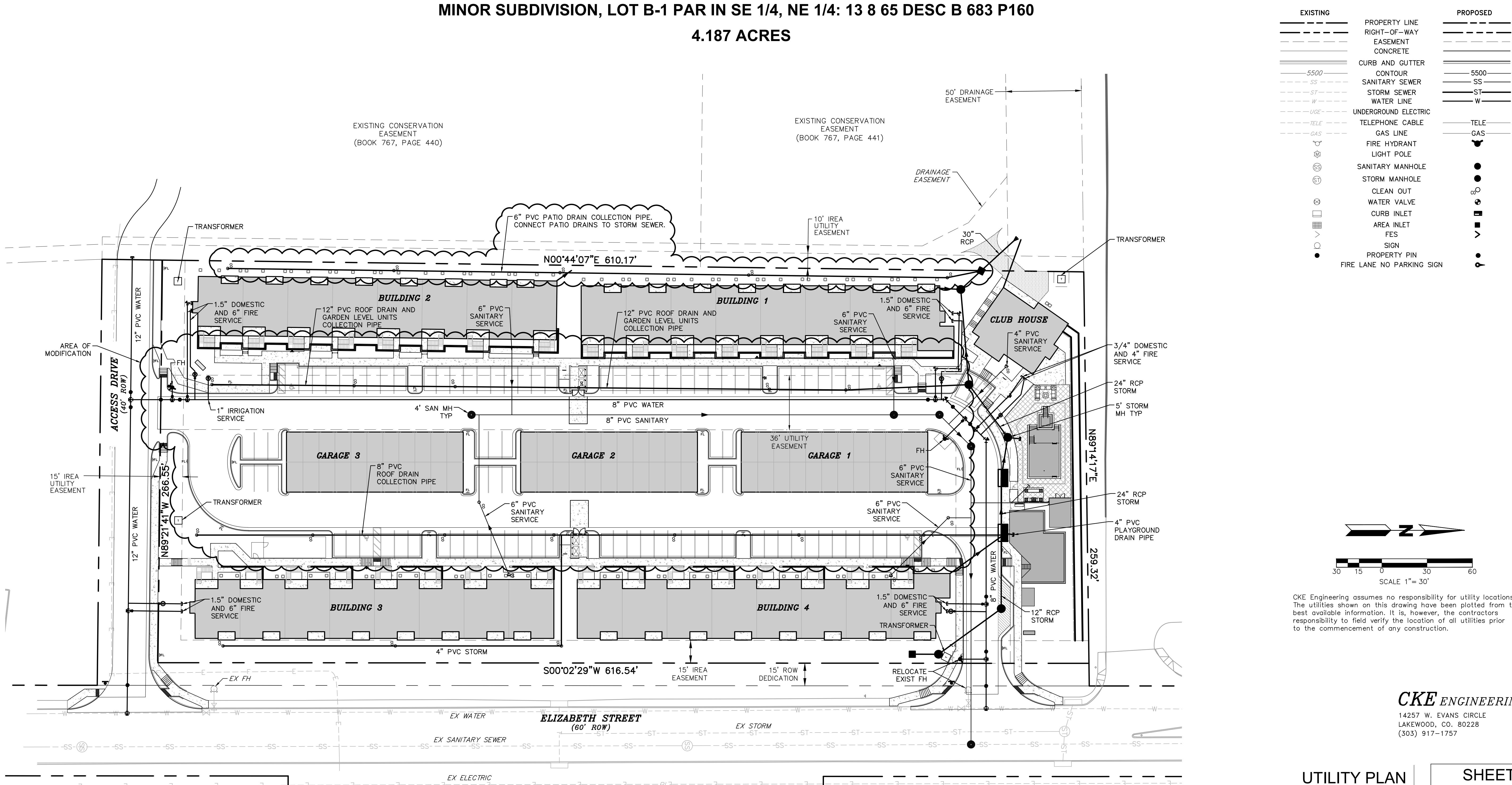
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**3** OF 20

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

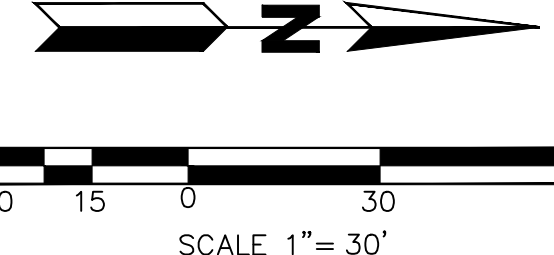
SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

Item 2.



**LEGEND**

EXISTING	PROPOSED
(Solid line)	PROPERTY LINE
(Dashed line)	RIGHT-OF-WAY
(Dotted line)	EASEMENT
(Line with dashes)	CONCRETE
(Line with dashes)	CURB AND GUTTER
(Line with dashes)	CONTOUR
(Line with dashes)	SANITARY SEWER
(Line with dashes)	STORM SEWER
(Line with dashes)	WATER LINE
(Line with dashes)	UNDERGROUND ELECTRIC
(Line with dashes)	TELEPHONE CABLE
(Line with dashes)	GAS LINE
(Symbol)	FIRE HYDRANT
(Symbol)	LIGHT POLE
(Symbol)	SANITARY MANHOLE
(Symbol)	STORM MANHOLE
(Symbol)	CLEAN OUT
(Symbol)	WATER VALVE
(Symbol)	CURB INLET
(Symbol)	AREA INLET
(Symbol)	FES
(Symbol)	SIGN
(Symbol)	PROPERTY PIN
(Symbol)	FIRE LANE NO PARKING SIGN



CKE Engineering assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

**CKE ENGINEERING, INC.**  
14257 W. EVANS CIRCLE  
LAKEWOOD, CO. 80228  
(303) 917-1757

**UTILITY PLAN**

DATE PREPARED: 1-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**4** OF **20**

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

PLANT SCHEDULE:										
SYMBOL	TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	HT	WIDTH	HYDRO-ZONE	NOTES	%
<b>DECIDUOUS CANOPY TREES</b>										
(Circle)	ACE	6	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	B&B	24%
(Circle)	AGG	1	AUTUMN GOLD GINKGO	GINKGO BILOBA 'AUTUMN GOLD'	2" CAL.	40	30	M-H	B&B	4%
(Circle)	CTA	4	CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	B&B	16%
(Circle)	HAC	6	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	B&B	24%
(Circle)	KCT	8	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	B&B	32%
		<b>Subtotal</b>	<b>25</b>							
<b>EVERGREEN TREES</b>										
(Starburst)	LBP	4	LIMBER PINE	PINUS FLEXILIS	6" HT	35	15	L-M	B&B	100%
		<b>Subtotal</b>	<b>4</b>							
<b>DECIDUOUS SHRUBS</b>										
(Circle)	BMS	32	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL	3	3	L-M		6%
(Circle)	CPB	26	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	5 GAL	2	3	L-M		5%
(Circle)	CSR	27	CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL	3	3	M		5%
(Circle)	FWS	30	FOUR WING SALT BUSH	ATRIPLEX CANESCENS	5 GAL	6	3	L		10%
(Circle)	KDD	48	KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL	3	3	M		9%
(Circle)	KOR	179	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL	3	3	M		35%
(Circle)	KSV	38	KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL	6	6	M-H		7%
(Circle)	MAE	5	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL	5	5	M		1%
(Circle)	PML	19	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL	5	5	M		4%
(Circle)	RUS	45	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL	4	4	L		9%
(Circle)	WSC	39	WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL	5	5	L-M		8%
(Circle)	YTD	2	YELLOW TWIG DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL	6	6	M		0%
		<b>Subtotal</b>	<b>510</b>							
<b>LOW SPREADING SHRUBS</b>										
(Circle)	ARJ	25	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL	2	6	L-M		8%
(Circle)	BRD	75	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL	1	6	L-M		25%
(Circle)	CCJ	38	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL	1	6	L-M		13%
(Circle)	EFJ	6	EFFUSA COMMON JUNIPER	JUNIPERUS COMMUNIS 'EFFUSA'	5 GAL	2	6	L		2%
(Circle)	GLS	38	GRO LOW SUMAC	RHUS AROMATICA 'GRO LOW'	5 GAL	3	7	L-M		13%
(Circle)	HCS	30	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL	3	5	L-M		10%
(Circle)	PBC	57	CREEPIING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL	2	5	L-M		19%
(Circle)	PWJ	28	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL	1	8	L-M		9%
		<b>Subtotal</b>	<b>297</b>							
<b>PERENNIALS W/ CEDAR MULCH</b>										
(Starburst)	AJ	58	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS	2	1.5	L-M	18" O.C.	
(Starburst)	DF	48	DWARF BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS	1	2	L-M	18" O.C.	
(Starburst)	MN	46	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS	2	2	M	18" O.C.	
(Starburst)	PM	68	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS	1.5	1.5	M	18" O.C.	
		<b>Subtotal</b>	<b>220</b>							
<b>ORNAMENTAL GRASSES</b>										
(Starburst)	BBG	49	BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL	6	3	L-M		
(Starburst)	BLA	36	BLONDE AMBITION GRASS	BOUTELLOUA GRACILIS	1 GAL	2	2	L		
(Starburst)	FRG	105	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL	4	3	L-M		
(Starburst)	PDG	47	PRAIRIE DROPS EED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL	3	3	L-M		
(Starburst)	PMG	63	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL	4	3	L-M		
(Starburst)	SWG	88	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL	5	3	L-M		
		<b>Subtotal</b>	<b>388</b>							
(Starburst)	NATIVE GRASS SEED (VERY LOW WATER USE)									
(Starburst)	NATURE'S PRAIRIE SOD BY TURFMASTER SOD (970) 493.8311									

SITE DATA TABLE							
Site Data	Actual SF	Min Area SF Required	% Required	% Max	% Provided	CY Compost Req'd @ 4/1000 SF	
Gross Site Area:	181,824	N.A.	N.A.	N.A.	100%	N.A.	
Building Coverage:	54,470	N.A.	N.A.	N.A.	30%	N.A.	
Hard Surface Area:	89,479	N.A.	N.A.	N.A.	49%	N.A.	
Total Landscaped Area (Excluding R.O.W.)	37,875	N.A.	N.A.	N.A.	N.A.	See below	
Subtotal Landscaped Area (Excluding R.O.W. & Parking Islands)	35,338	27,274	15%	N.A.	19%	See below	
Native Grass	222	N.A.	N.A.	N.A.	N.A.	N.A.	1
Planting Beds (Shrubs, Perennials, Ornamental Grasses)	35,940	N.A.	N.A.	N.A.	N.A.	See below	
Non-Living Landscape	11,607	N.A.	N.A.	25%	31%	N.A.	0
Irrigated Sod (Excluding R.O.W.)	460	N.A.	N.A.	N.A.	1%	See below	
Playground area	1,253	N.A.	N.A.	N.A.	N.A.	N.A.	
Permanently Irrigated Landscape (Including R.O.W.)	39,493	N.A.	N.A.	N.A.	N.A.	158	
Native Grass (R.O.W.)	12,410	N.A.	N.A.	N.A.	N.A.	N.A.	50
Planting Beds (R.O.W.) (Shrubs, Perennials, Ornamental Grasses)	3,095	N.A.	N.A.	N.A.	N.A.	N.A.	
<b>TOTAL CY OF COMPOST:</b>							<b>209</b>

LANDSCAPE REQUIREMENTS															
Description	Parking Lot SF	Min. 10% SF Landscaped	Min. 15% SF Landscaped	Square Foot Landscaped	Trees Required 1/1500 SF	Trees Required 1 per Island	Linear Feet	1 Tree per 40 LF	Trees Provided	Shrubs Required 5/1500 SF	Shrubs Required 5/40 LF	# of Parking Islands	Shrubs Required # of Islands X 4+ (SF-Qty of Islands X 150)/15	Shrubs Provided	Ten (10) shrubs substituted for one (1) tree
ROW (Elizabeth St)	N.A.	N.A.	N.A.	13,322	N.A.	N.A.	522	13	14	N.A.	N.A.	N.A.	N.A.	75	N.A.
ROW (Private St)	N.A.	N.A.	N.A.	2,183	N.A.	N.A.	208	5	0	N.A.	N.A.	N.A.	N.A.	0	N.A.
Parking Lot interior Islands	27,388	2,739	N.A.	2,537	N.A.	10	N.A.	N.A.	10	N.A.	N.A.	10	109	93	0
Landscape Areas (Excludes Parking Lot Islands & ROW)	N.A.	N.A.	27,274	39,574	18	N.A.	N.A.	N.A.	46	5	91	N.A.	N.A.	639	55
<b>TOTAL TREES REQUIRED:</b>										<b>46</b>					
<b>SUBTOTAL TREES PROVIDED:</b>										<b>29</b>					
<b>ADDITIONAL TREES PROVIDED BY SHRUB SUBSTITUTION:</b>										<b>55</b>					
<b>TOTAL TREES PROVIDED:</b>										<b>84</b>					
<b>TOTAL SHRUBS REQUIRED:</b>										<b>200</b>					
<b>TOTAL SHRUBS PROVIDED:</b>										<b>807</b>					

- ### LANDSCAPE NOTES:
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
  - OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
  - PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
  - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
  - ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
  - MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
  - PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
  - ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
  - ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" WESTERN RIVER ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL ORNAMENTAL GRASS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
  - SHRUB BEDS ARE TO BE CONTAINED BY PERFORATED GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER. CONTACT LL JOHNSON FOR EDGER.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
  - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
  - LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
  - ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
  - ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
  - KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
  - LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
  - SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
  - ALL EXISTING TREES & SHRUBS ON SITE SHALL BE REMOVED.
  - A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE COLORADO GEOSCIENCE & DESIGN REPORT #17-839 JANUARY 23, 2018 #11. SURFACE DRAINAGE: THE OWNERS SHOULD BE CAUTIONED REGARDING THE INSTALLATION OF A LAWN ADJACENT TO THE FOUNDATION WALLS. LAWN IRRIGATION MUST BE MORE THAN FIVE FEET (5') FROM THE FOUNDATION WALLS TO PREVENT WETTING OF THE SUBSURFACE SOILS. LAWN AND/OR PLANTS SHOULD NOT BE PLANTED WITHIN FIVE FEET (5') OF THE FOUNDATION WALLS. WE RECOMMEND PROVIDING DECORATIVE GRAVEL OR BARK AROUND THE FOUNDATIONS, AS SHOWN IN FOUNDATION GRADING DETAIL 2. THIS METHOD WILL PREVENT PONDING OF WATER AND PROVIDE FOR PROPER DRAINAGE FROM THE FOUNDATIONS. NON-WOVEN GEO TEXTILE FABRIC CAN BE PLACED UNDER THE MULCH TO REDUCE WEED GROWTH AND STILL ALLOW SOME EVAPORATION OF SOIL MOISTURE. SPRINKLER HEADS AND EMITTERS SHOULD NOT BE LOCATED OR SPRAY WITHIN 5 FEET OF THE FOUNDATION OR PATIO SLABS AND BEYOND BACKFILL ZONES. PLANTINGS NEAR THE FOUNDATIONS SHOULD NOT TRAP SURFACE RUNOFF. FURTHERMORE, SIDEWALKS OR LOW-WATER CONSUMPTION GROUND COVER ARE RECOMMENDED TO FURTHER REDUCE THE RISK OF WATER INFILTRATION NEAR THE FOUNDATION WALLS. ALL PRESSURIZED IRRIGATION LINES AND VALVE BOXES SHOULD BE LOCATED AT LEAST 10 FEET FROM THE FOUNDATION OR PATIO SLABS. "

NATIVE GRASS SEED MIX - NON-IRRIGATED (TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT)			
LOW GROW MIX - DRILL SEEDED (INCREASE SEED RATE TO 50 PLS FOR BROADCAST)			
COMMON NAME	% OF TOTAL	PLS PER ACRE	HEIGHT/FT
EPHRAIM CRESTED WHEATGRASS	25	6.3	2.0
DWARF PERENNIAL RYEGRASS	18	4.5	0.5
SR3200 BLUE FESCUE	9	2.3	0.5
REUBENS CANADA BLUEGRASS	13	3.3	0.5
BARLEY	12	3.0	2.0
SHEEP FESCUE	23	5.8	2.0
<b>TOTAL</b>	<b>100</b>	<b>25</b>	

- ### NATIVE GRASS SEED NOTES:
- SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

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LANDSCAPE ARCHITECT

SHEET  
**5** OF 20  
PLANT SCHEDULES  
DATE PREPARED: 1-5-2023

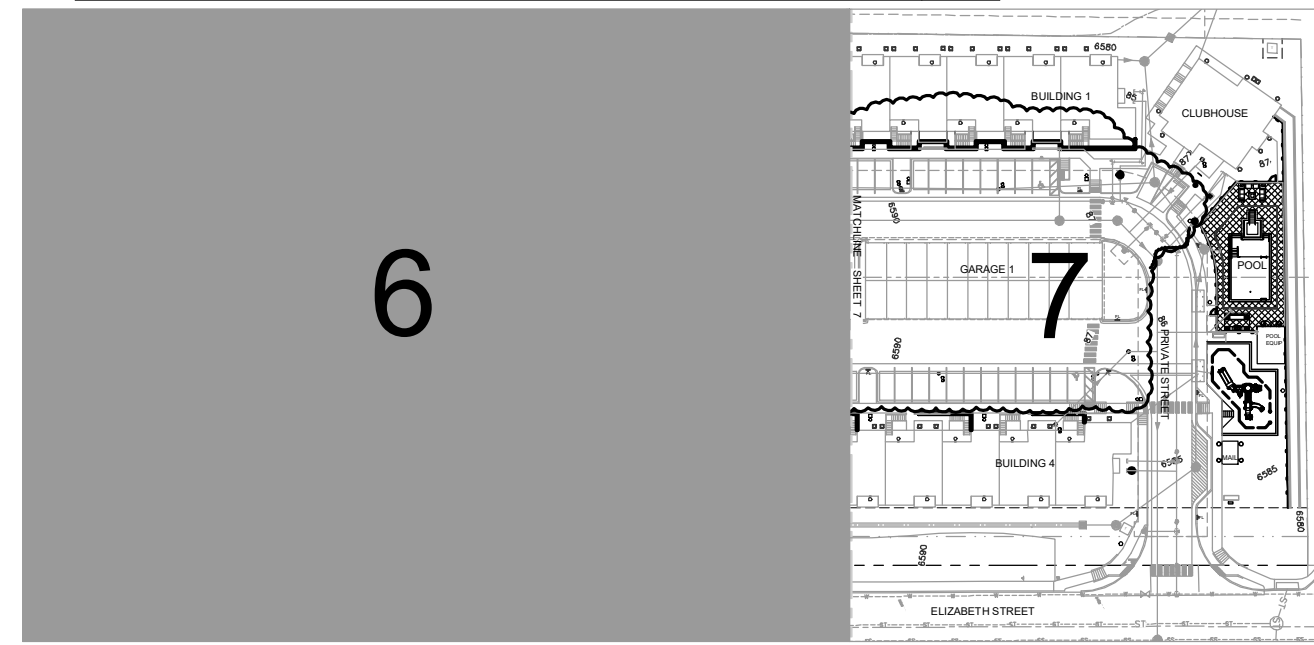
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112



KEYMAP



PINE RIDGE CROSSING

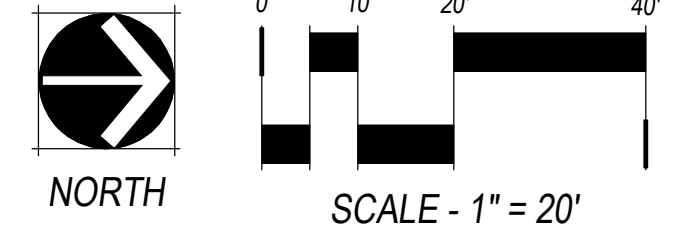
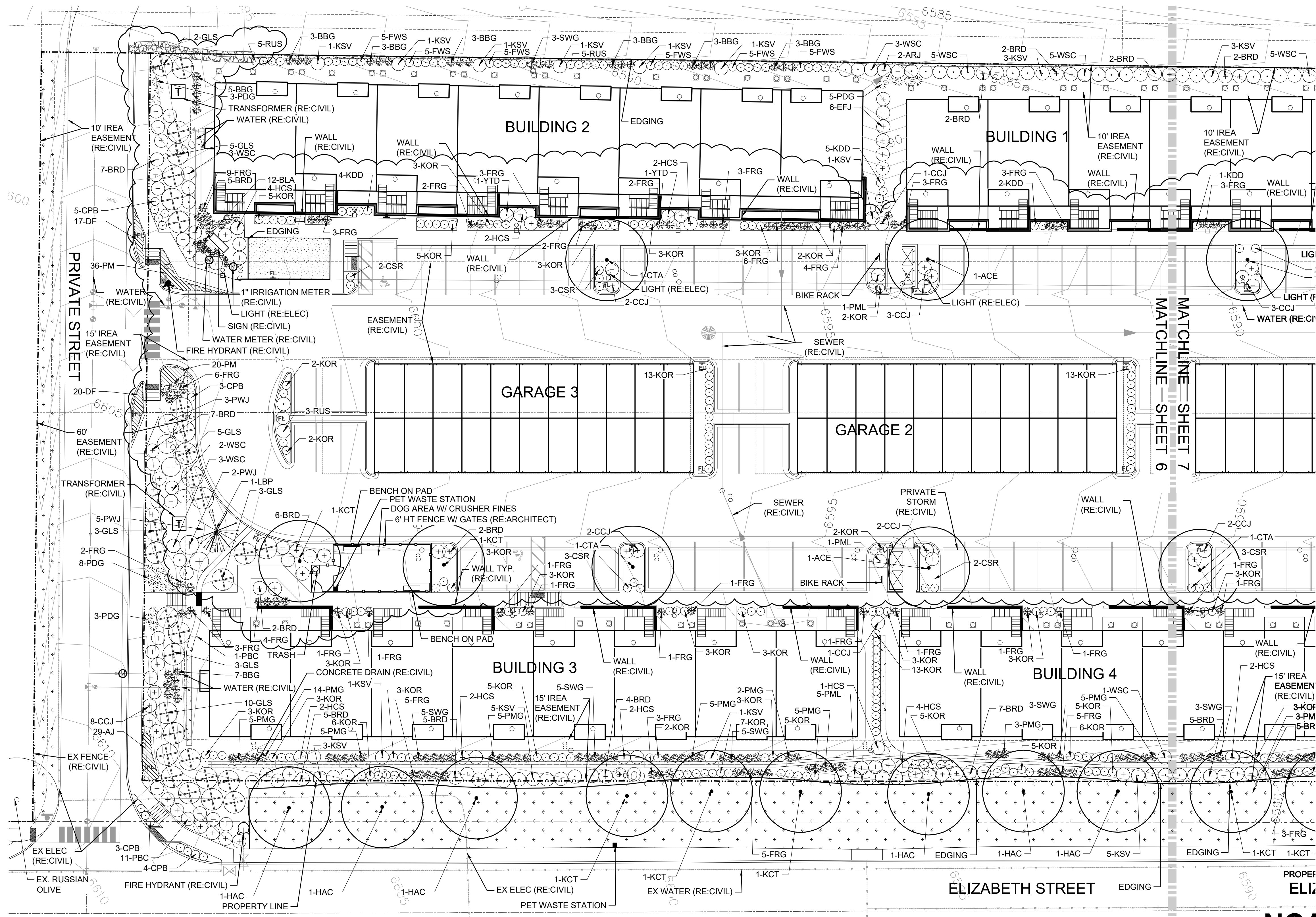
SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

\*PARTIAL PLANT SCHEDULE  
(SEE SHEET 5 FOR COMPLETE SCHEDULE)

PLANT SCHEDULE:

SYMBOL	TAG	QTY.	COMMON NAME
<b>DECIDUOUS CANOPY TREES</b>			
○	ACE	6	ACCOLADE ELM
○	AGG	1	AUTUMN GOLD GINKGO
○	CTA	4	CATALPA
○	HAC	6	HACKBERRY
○	KCT	8	KENTUCKY COFFEETREE
	Subtotal	25	
<b>EVERGREEN TREES</b>			
★	LBP	4	LIMBER PINE
	Subtotal	4	
<b>DECIDUOUS SHRUBS</b>			
○	BMS	32	BLUE MIST SPIREA
○	CPB	26	CRIMSON PYGMY BARBERRY
○	CSR	27	CAREFREE SUNSHINE ROSE
○	FWS	50	FOUR WING SALTBUSH
○	KDD	48	KELSEY DWARF DOGWOOD
○	KOR	173	KNOCK OUT PINK ROSE
○	KSV	38	KOREAN SPICE VIBURNUM
○	MAE	5	MANHATTAN EUONYMUS
○	PML	19	MEYER LLAC
○	RUS	45	RUSSIAN SAGE
○	WSC	39	WESTERN SAND SHERRY
○	YTD	2	YELLOW TWIG DOGWOOD
	Subtotal	510	
<b>LOW SPREADING SHRUBS</b>			
○	ARJ	25	ARCADIA JUNIPER
○	BRD	75	BROADMOOR JUNIPER
○	CCJ	38	CALGARY CARPET JUNIPER
○	EFJ	6	EFFUSA COMMON JUNIPER
○	GLS	38	GRO LOW SUMAC
○	HCS	30	HANCOCK CORALBERRY
○	PBC	57	CREeping WESTERN SAND CHERRY
○	PWJ	28	PRINCE OF WALES JUNIPER
	Subtotal	297	
<b>PERENNIALS W CEDAR MULCH</b>			
○	AJ	58	AUTUMN JOY SEDUM
○	DF	48	DWARF BLANKETFLOWER
○	MN	46	MAY NIGHT SALVIA
○	PM	68	PARDON ME DAYLILY
	Subtotal	220	
<b>ORNAMENTAL GRASSES</b>			
○	BBG	49	BIG BLUESTEM GRASS
○	BLA	25	BLONDE AMBITION GRASS
○	FRG	105	FEATHER REED GRASS
○	PDG	47	PRAIRIE DROPSSEED GRASS
○	PMG	63	PURPLE MAIDEN GRASS
○	SWG	88	SWITCHGRASS
	Subtotal	388	



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LANDSCAPE ARCHITECT

SHEET 6 OF 20  
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DATE REVISED: TBD  
PLANS PREPARED FOR:

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

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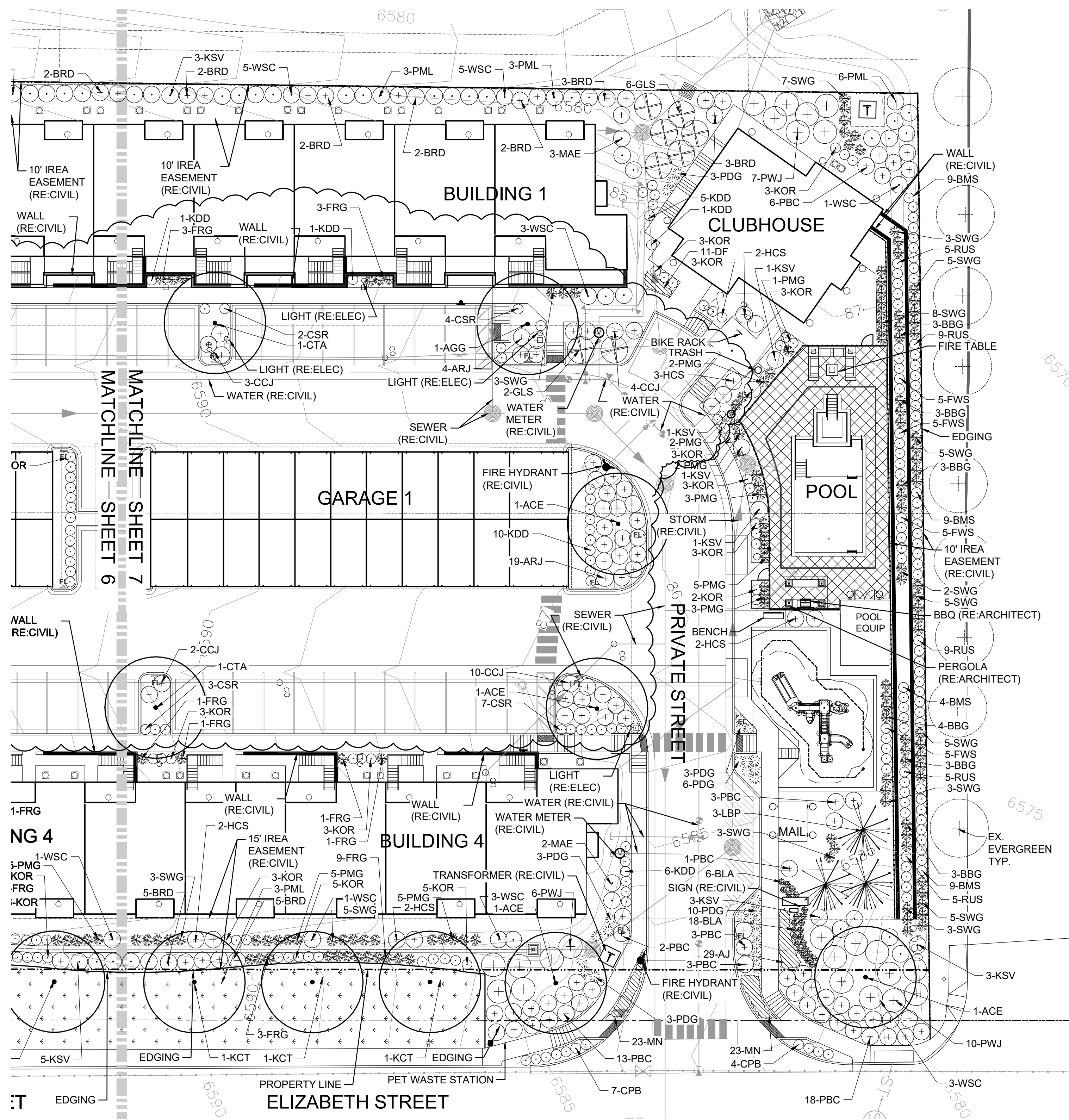
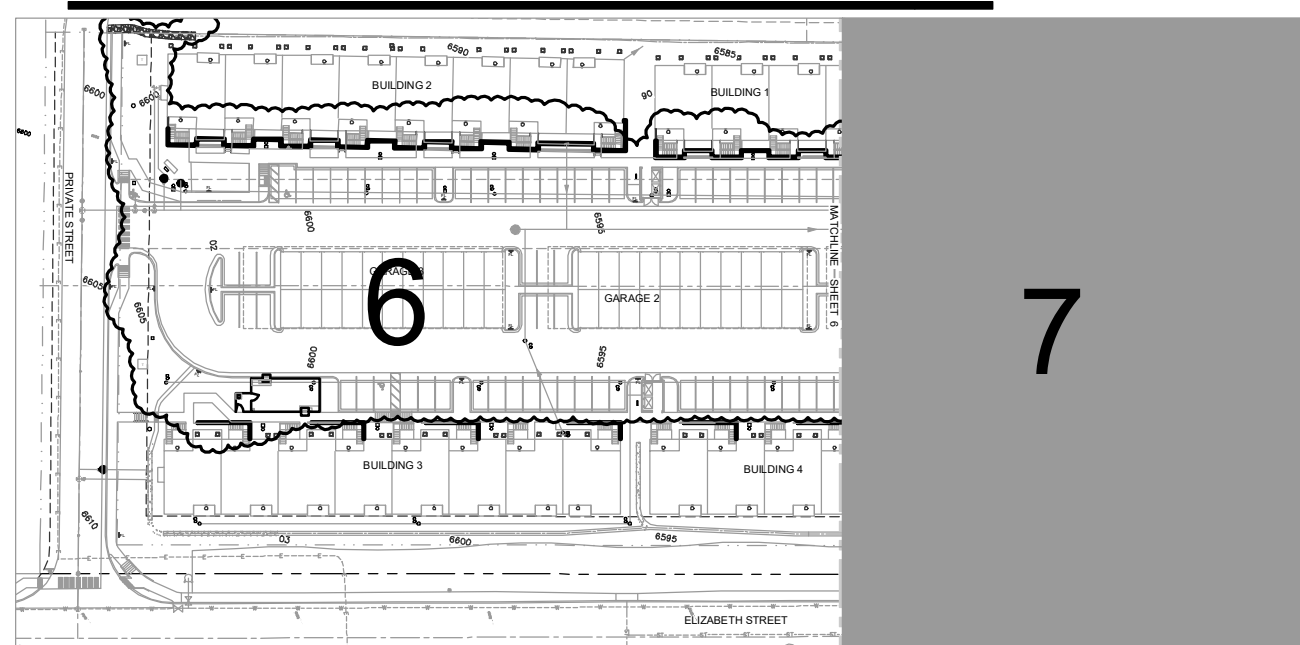
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# PINE RIDGE CROSSING

## SITE PLAN AMENDMENT

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### KEYMAP



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LANDSCAPE ARCHITECT

PLANT SCHEDULES  
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DATE REVISED: TBD  
PLANS PREPARED FOR:

### NCA, LLC, dba PINE RIDGE APARTMENTS LLC

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SHEET  
**7 OF 20**

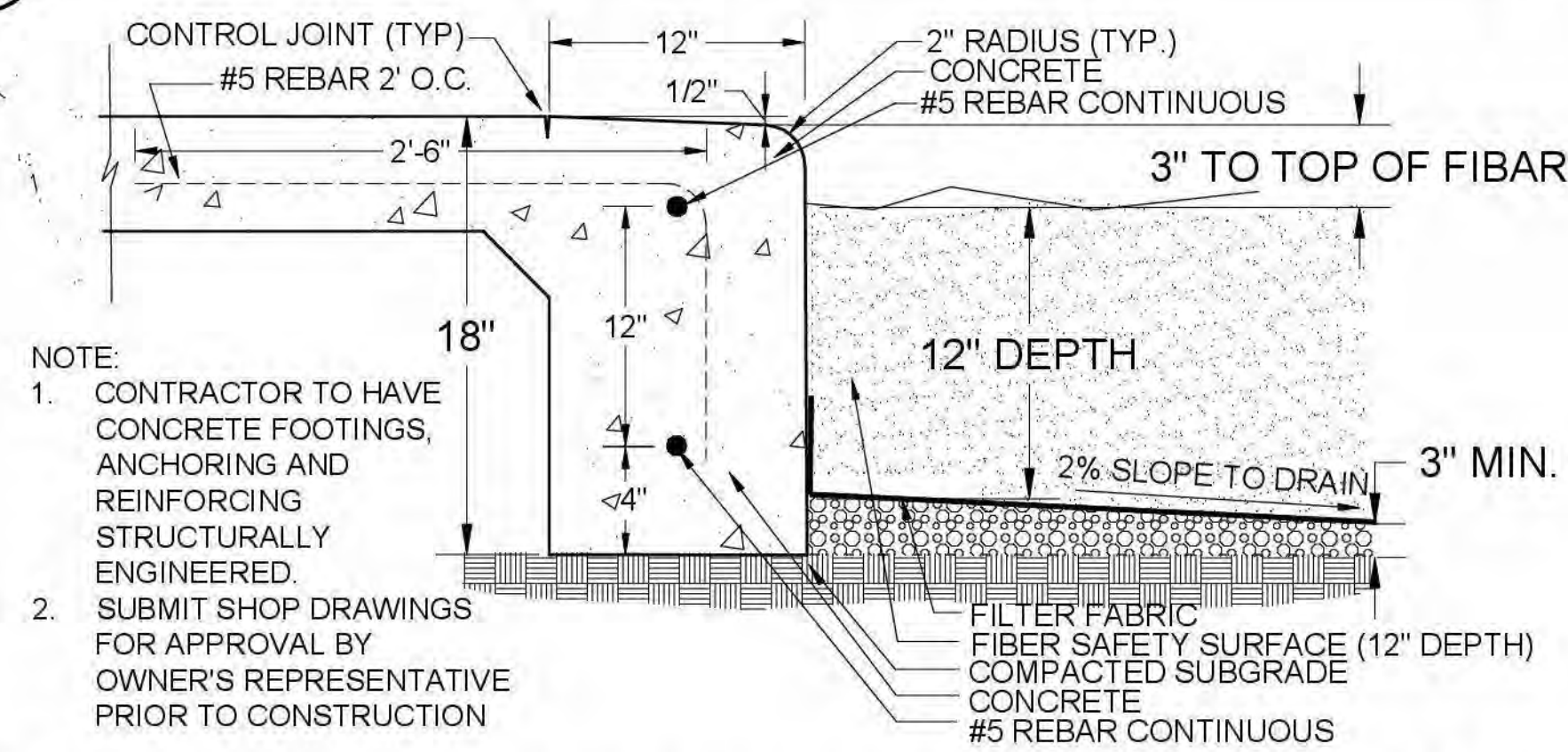
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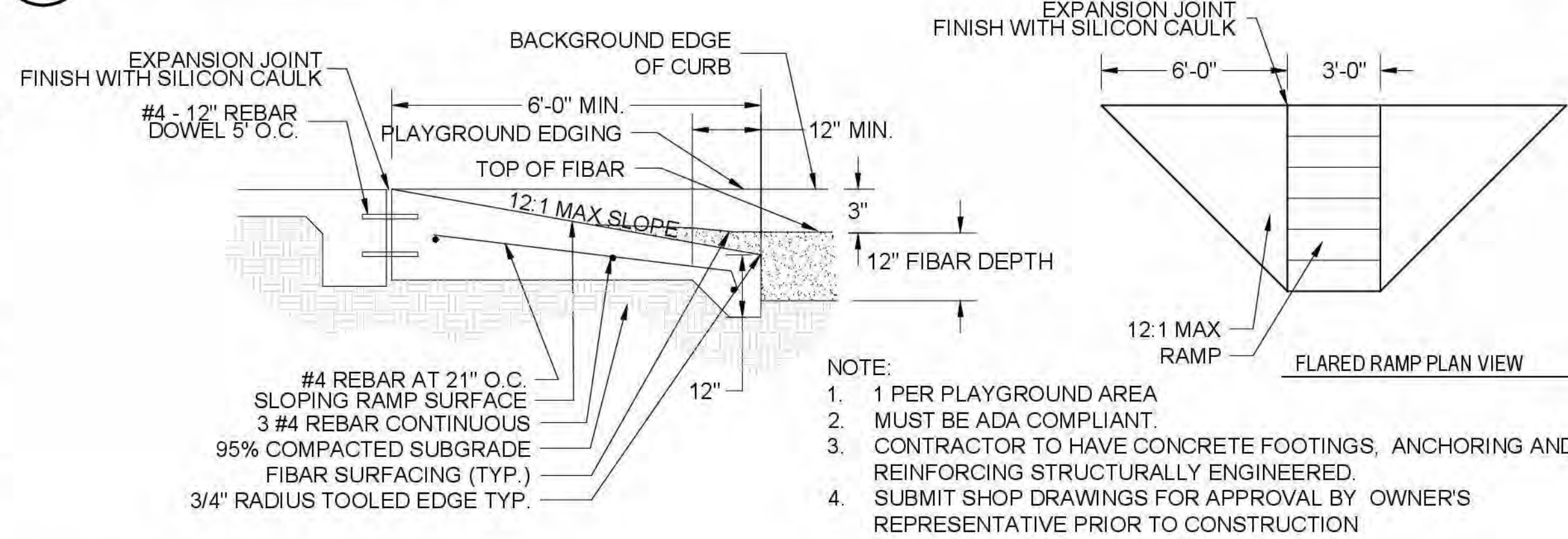
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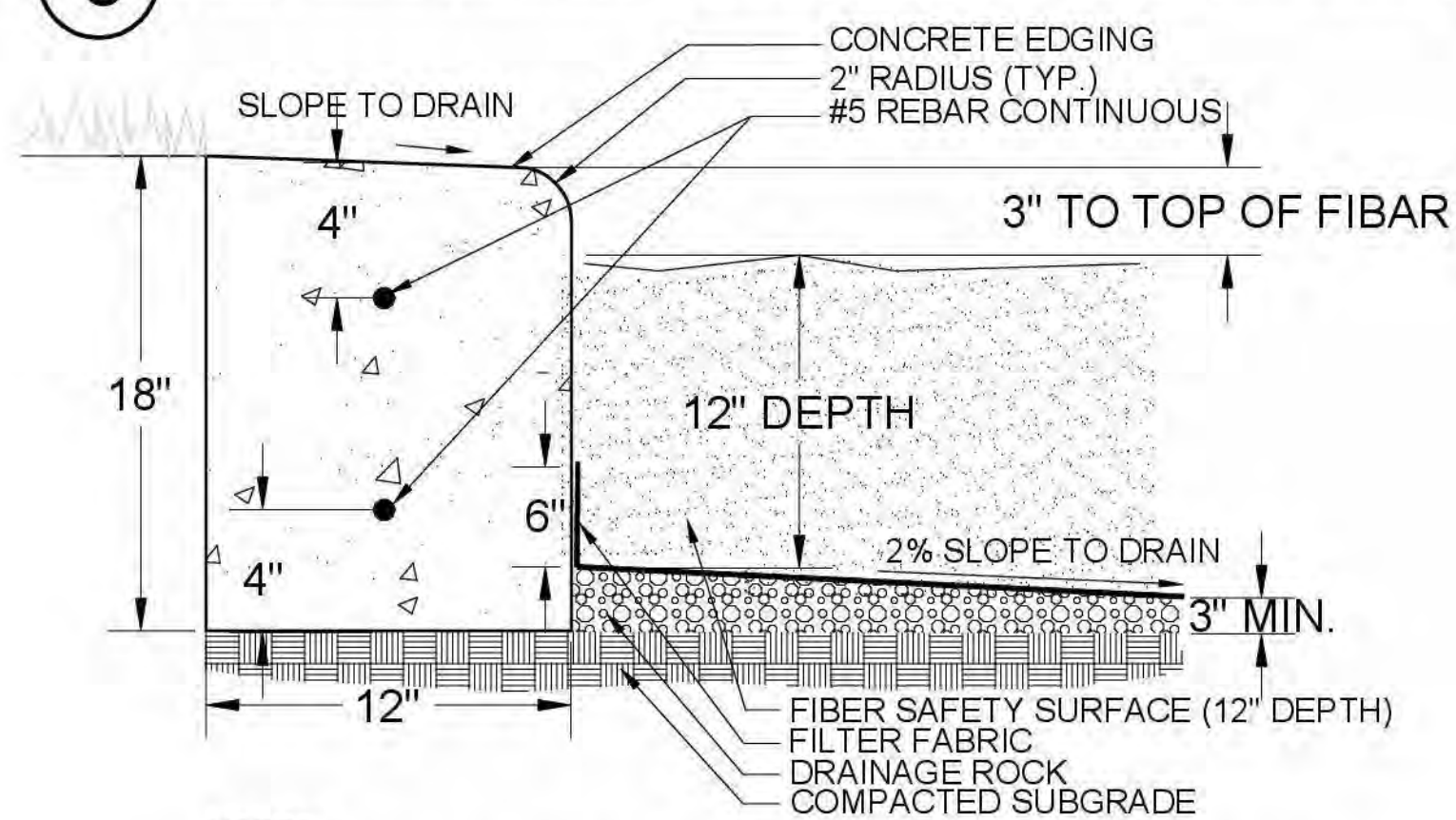
**1** PLAYGROUND EDGING DETAIL (ADJACENT TO CONCRETE) NTS



**2** PLAYGROUND RAMP DETAIL NTS



**3** PLAYGROUND EDGING (ADJACENT TO SOD/ BED AREA) NTS



**4** PLAY EQUIPMENT SCHEDULE

**GAMETIME**  
DOUG JOHANNSEN  
TRIPLE M RECREATION, LLC  
1169 HALFMOON DRIVE  
CASTLE ROCK, CO 80104  
720.489.7311 TELEPHONE  
720.489.7316 FACSIMILE  
800-235-2440 TOLL FREE  
DJOHANNSEN@TRIPLEMREC.COM  
WWW.TRIPLEMREC.COM  
PLAYGROUND SURFACING  
Fiber Safety Surface - 12" depth  
6x250 Duraliner (Geotextile Fabric)

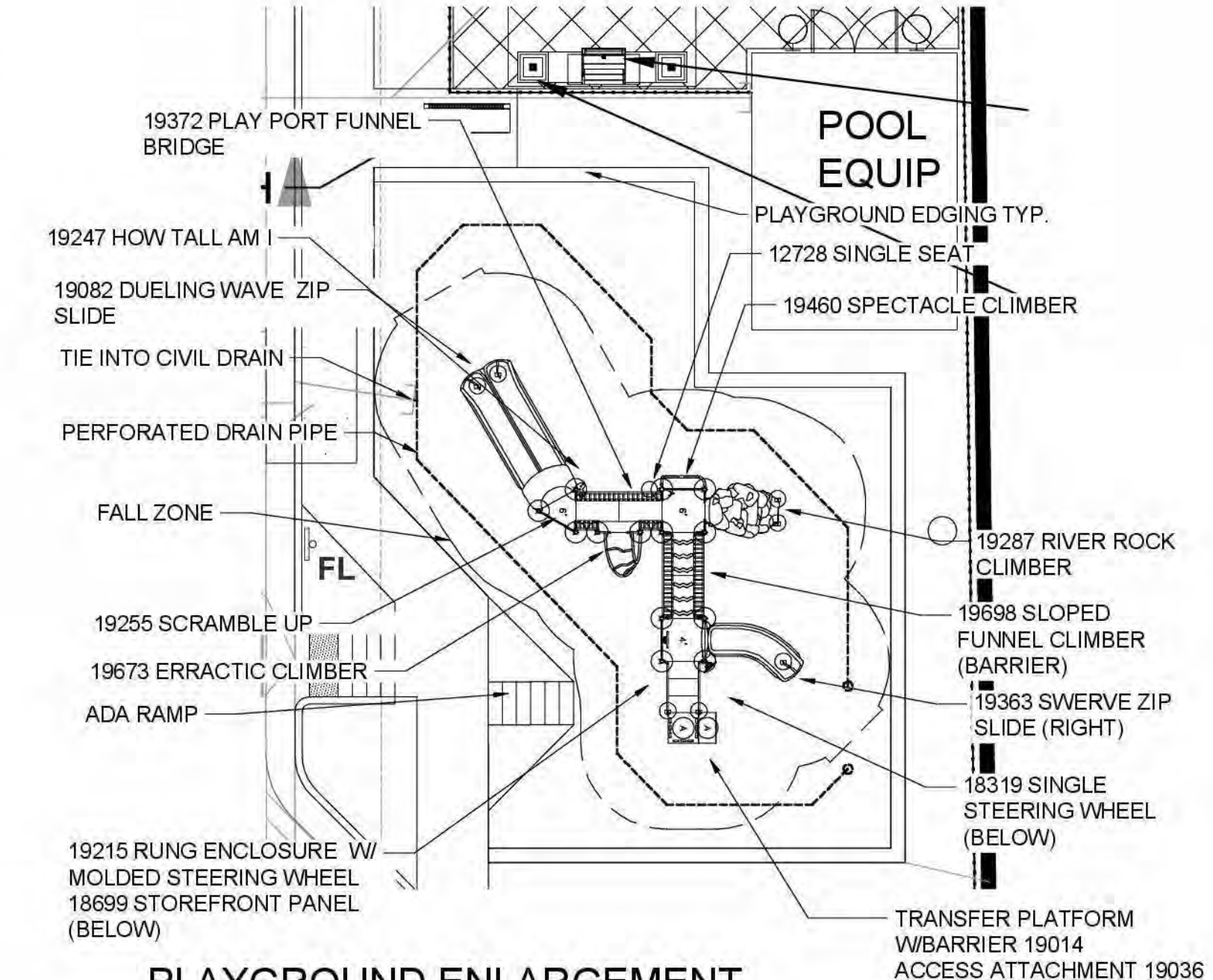
- PLAYGROUND NOTES:**
- INSTALL ALL PLAY EQUIPMENT AND SAFETY SURFACE AS PER MANUFACTURERS RECOMMENDATION AND SPECIFICATIONS. CONTRACTOR TO INSTALL ALL POSTS AND HARDWARE NECESSARY TO INSTALL PLAY EQUIPMENT.
  - INSTALLER TO VERIFY LOCATION AND ORIENTATION OF PLAYGROUND EQUIP.
  - CONTRACTOR SHALL HAVE PLAY EQUIPMENT STRUCTURALLY ENGINEERED FOR REINFORCING, ANCHORING, FOOTING, AND ANY OTHER NECESSARY ENGINEERING.
  - CONTRACTOR SHALL SUBMIT DETAILED AND DIMENSIONED SHOP DRAWINGS AND DATA SHEETS FOR THE LAYOUT AND INSTALLATION OF THE PLAYGROUND EQUIPMENT FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
  - PLAYGROUND EQUIPMENT MUST MEET ALL REQUIREMENTS OF THE SPECIFICATIONS AND BE WITHIN ALL TOLERANCES INDICATED ON THESE DRAWINGS. BOTH FALL ZONES AND SAFETY SURFACE MUST MEET ALL ADA REQUIREMENTS AND FIT WITHIN THE LIMITS OF THE PLAYGROUND.

GAMETIME EQUIPMENT- Large Playground	
19287	RIVER ROCK CLIMBER
19698	SLOPED FUNNEL CLIMBER (BARRIER)
19363	SWERVE ZIP SLIDE (RIGHT)
18319	SINGLE STEERING WHEEL (BELOW)
19014	TRANSFER PLATFORM W/BARRIER
19036	ACCESS ATTACHMENT
19215	RUNG ENCLOSURE W/ MOLDED STEERING WHEEL
18699	STOREFRONT PANEL (BELOW)
19673	ERRACTIC CLIMBER
19255	SCRAMBLE UP
19082	DUELING WAVE ZIP SLIDE
19247	HOW TALL AM I
19372	PLAY PORT FUNNEL BRIDGE
12728	SINGLE SEAT
19460	SPECTACLE CLIMBER

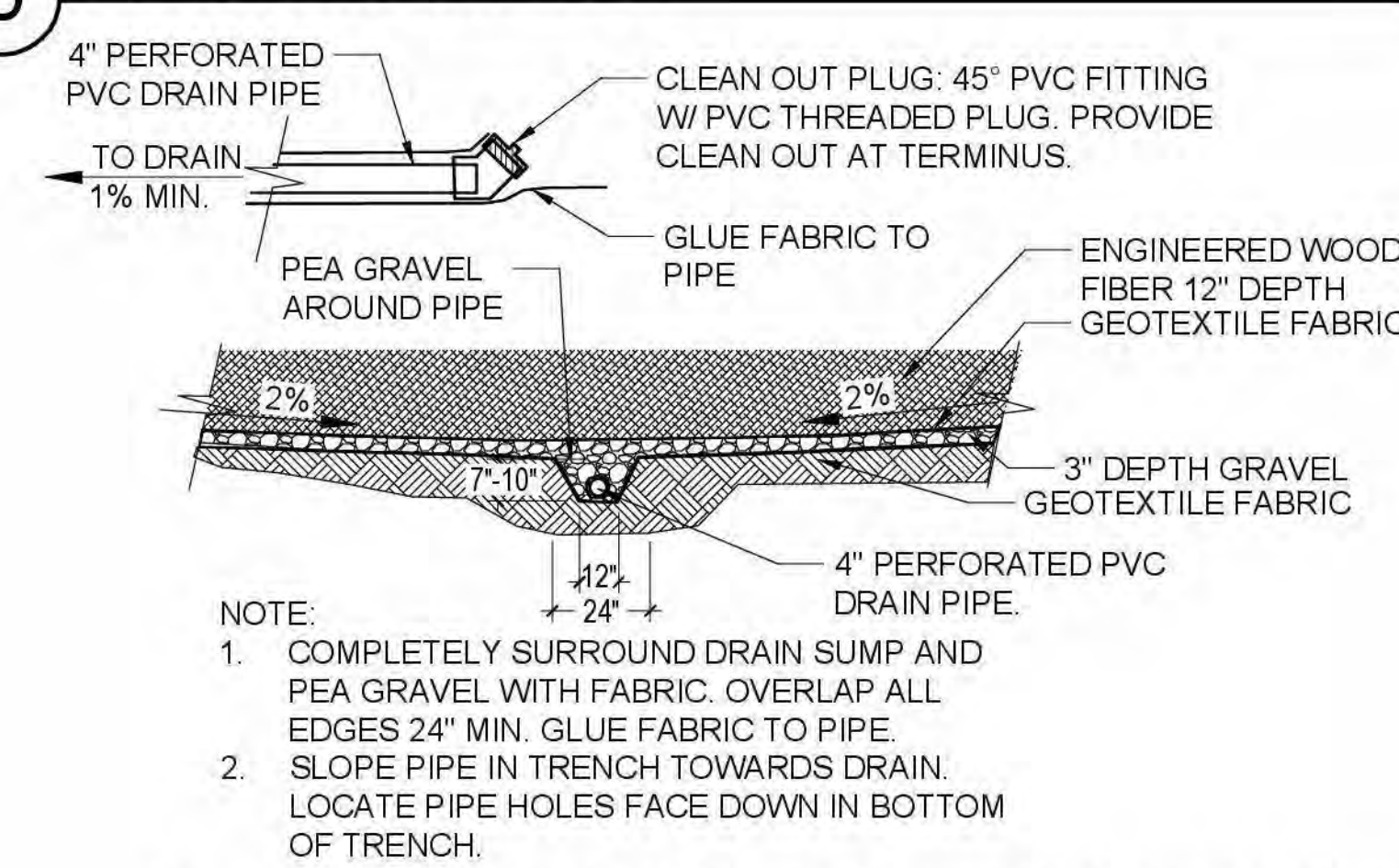
ADA REQUIREMENTS FOR STRUCTURE AGES 2-5 YEARS OLD	IN PLAN	REQ'D.
TOTAL NUMBER OF ELEVATED PLAY COMPONENTS	4	
TOTAL EVENTS ACCESSIBLE VIA TRANSFER	4	2
TOTAL ACCESSIBLE EVENTS VIA RAMP	0	0
TOTAL ACCESSIBLE GROUND LEVEL EVENTS	2	1
DIFFERENT TYPES OF GROUND LEVEL EVENTS	2	1
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE		

ADA REQUIREMENTS FOR STRUCTURE AGES 2-12 YEARS OLD	IN PLAN	REQ'D.
TOTAL NUMBER OF ELEVATED PLAY COMPONENTS	9	
TOTAL EVENTS ACCESSIBLE VIA TRANSFER	9	5
TOTAL ACCESSIBLE EVENTS VIA RAMP	0	0
TOTAL ACCESSIBLE GROUND LEVEL EVENTS	3	3
DIFFERENT TYPES OF GROUND LEVEL EVENTS	3	3
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE		



**5** PLAYGROUND DRAIN PIPE



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LANDSCAPE ARCHITECT

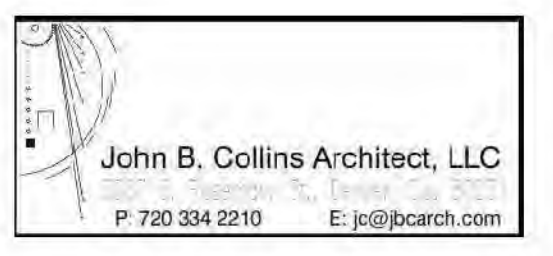
SHEET  
**8 OF 20**

PLAYGROUND DETAILS  
DATE PREPARED: 1-5-2023

DATE REVISED: TBD  
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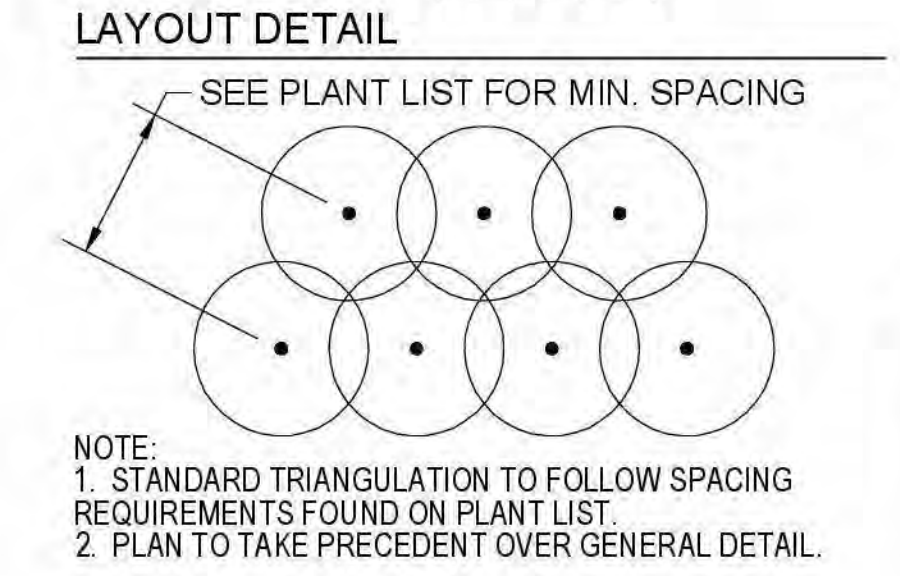
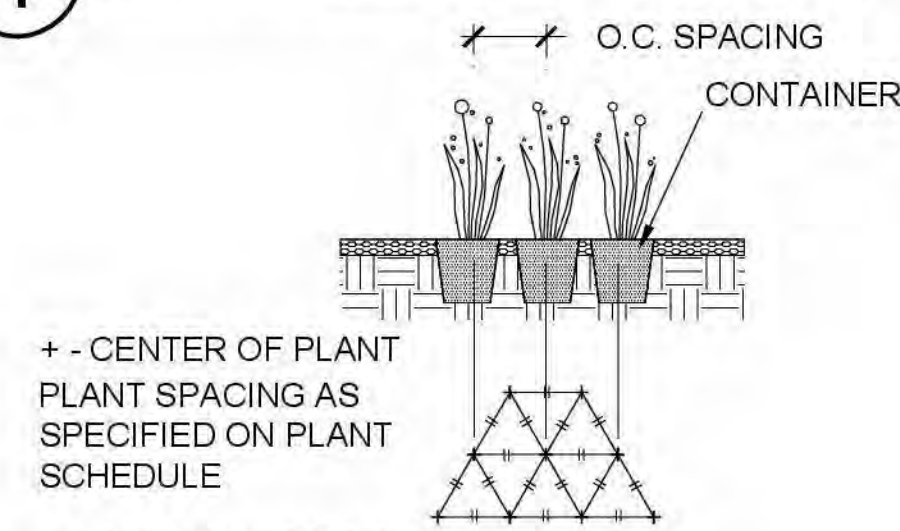


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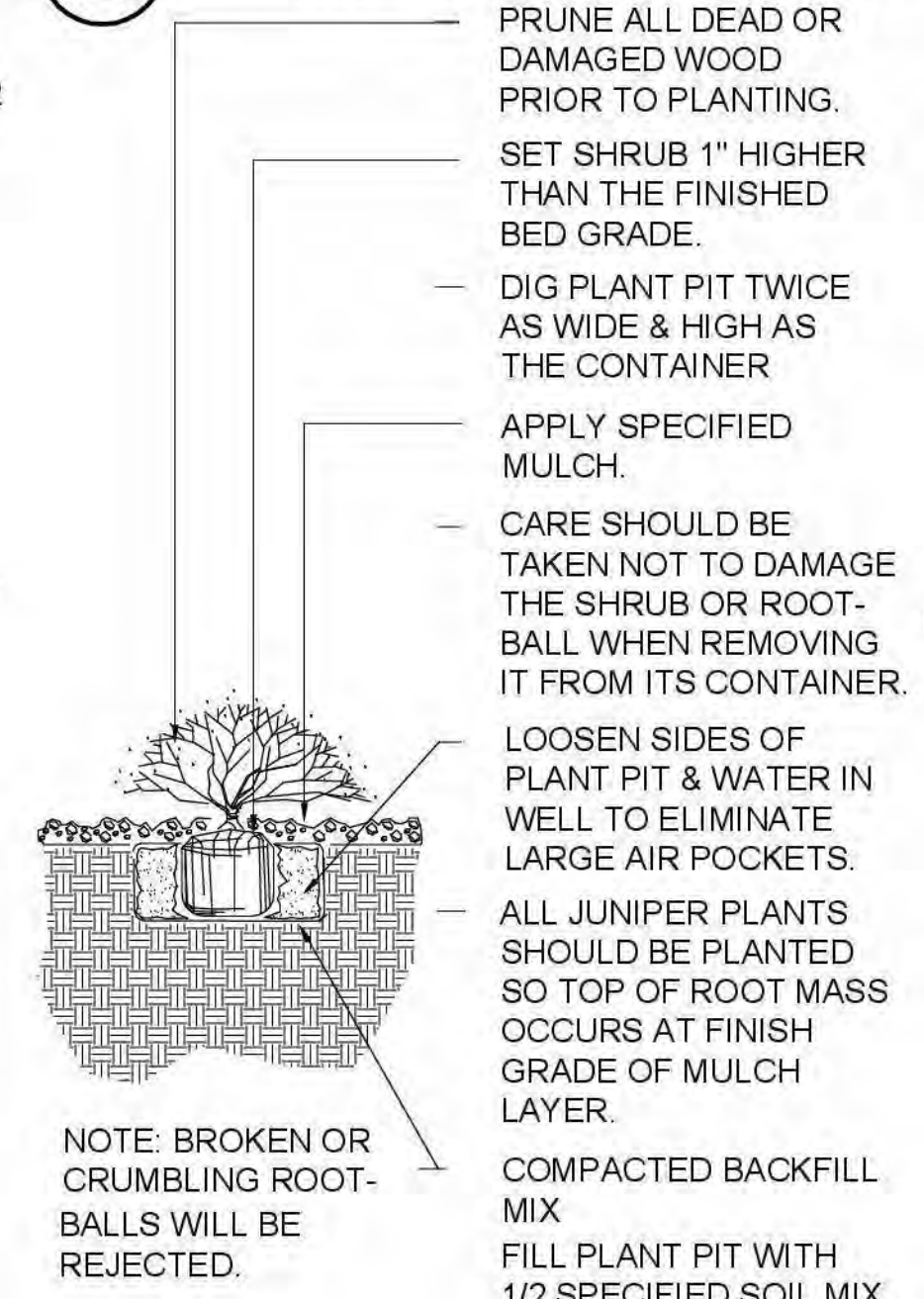
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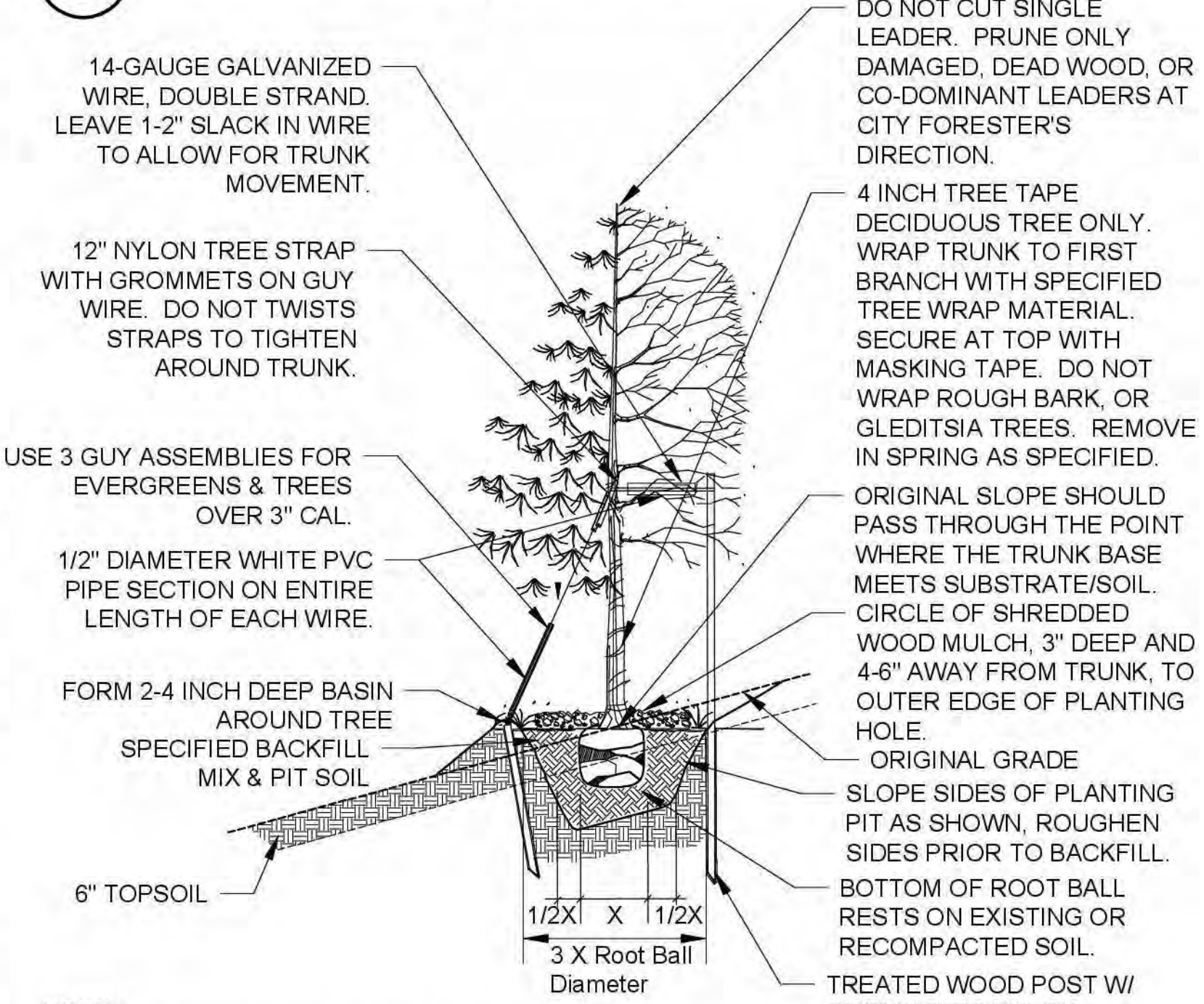
## 1 PERENNIAL / POTTED DETAILS NTS



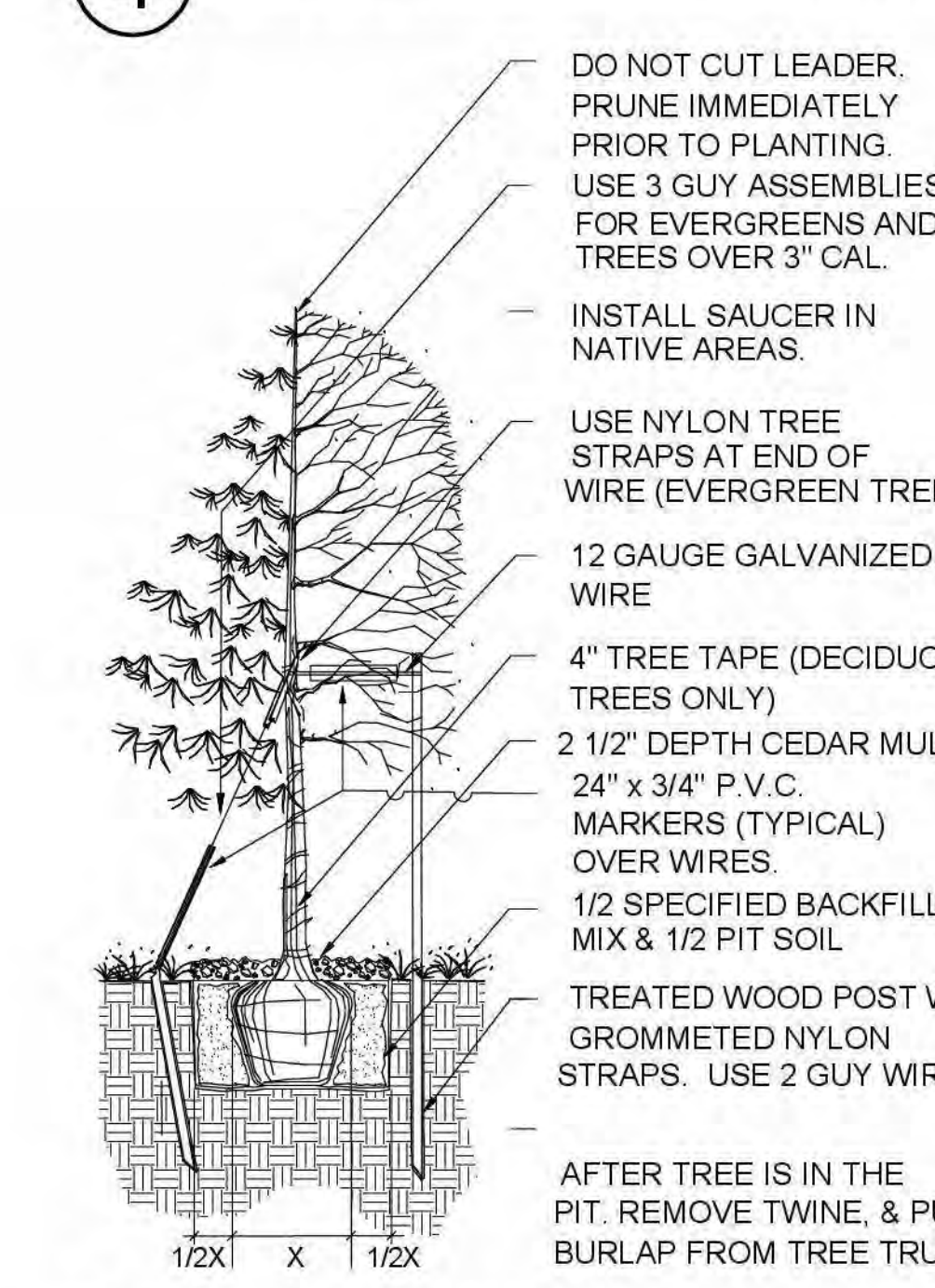
## 2 SHRUB PLANTING NTS



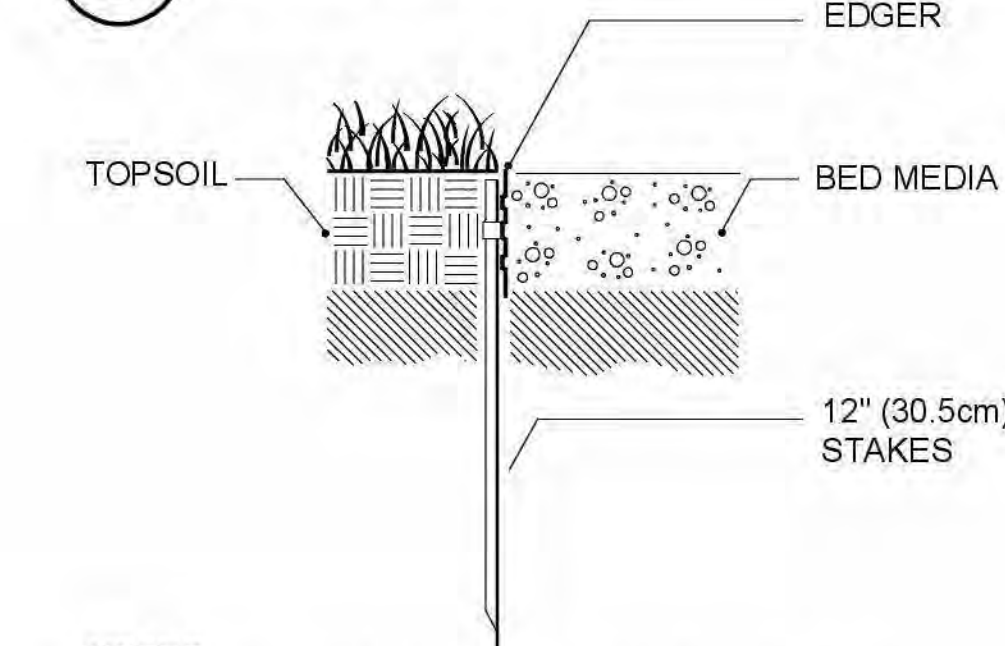
## 3 TREE PLANTING ON SLOPE NTS



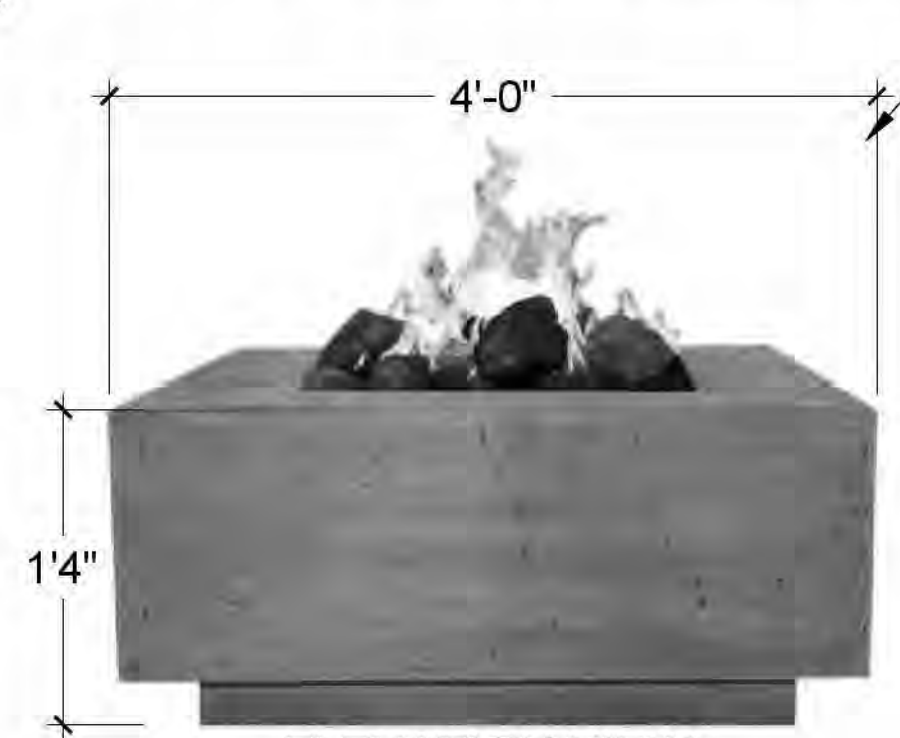
## 4 TREE PLANTING NTS



## 5 EDGING DETAIL

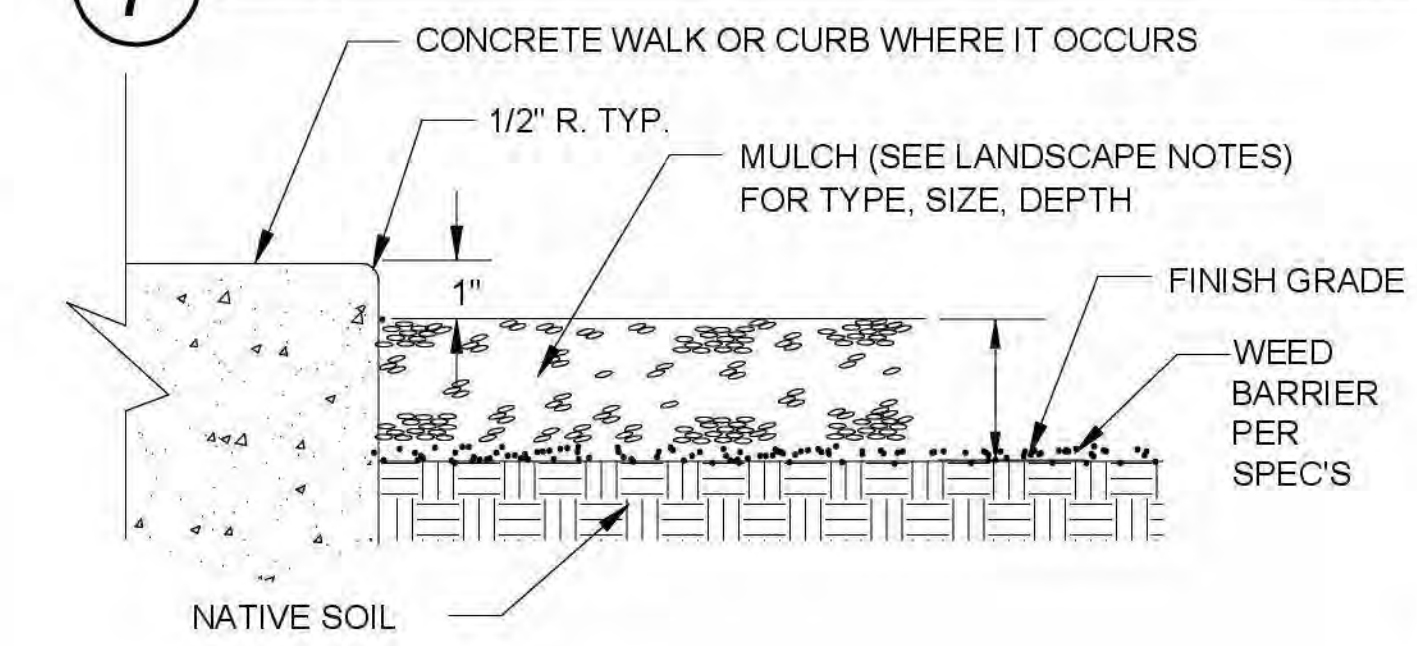


## 6 NATURAL GAS FIREPIT - SQUARE

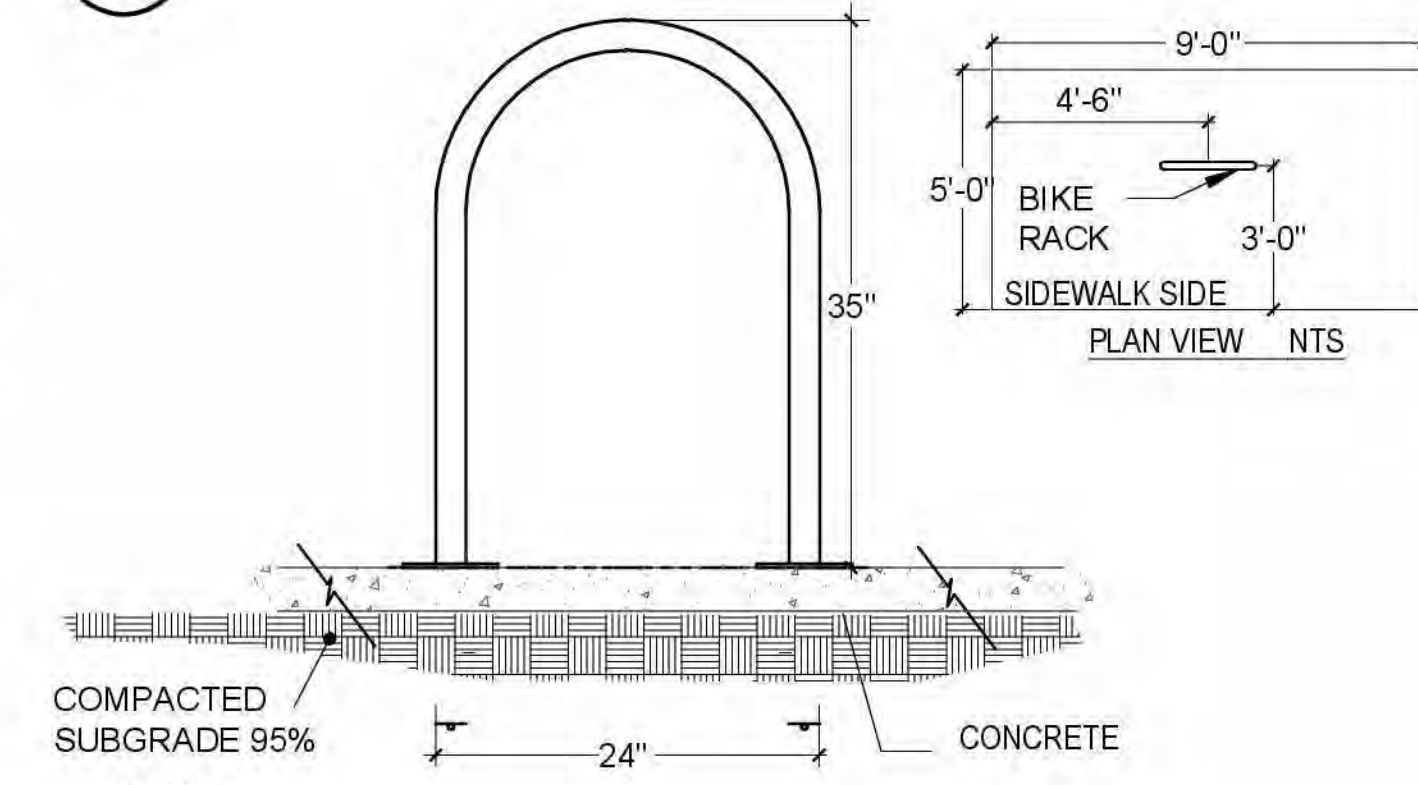


- GLASS FIBER REINFORCED CONCRETE (GFRC)
- FIREPIT NOTES:
  - INSTALL PER MANUFACTURER'S RECOMMENDATION.
  - OPERATES ON NATURAL GAS CONVERSION KIT (INSTALL 3-HOUR SAFETY TIMER TO SAFELY SHUT OFF NATURAL GAS).
  - GAS FIRE PIT TO HAVE: ELECTRONIC IGNITION, FIREGLASS MEDIA (COLOR/TYPE PER OWNER'S REP), WEATHERPROOF COVER, TEMPERED GLASS WINDSHIELD.
  - WIRELESS WALL MOUNTED TIMER, LOCATE TIMER PER OWNER'S REP.
  - PROVIDE TEMPERED GLASS WINDSHIELD AND PROTECTIVE WEATHER COVER.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS & SHALL MEET STATE & LOCAL CODES.
  - CONTRACTOR SHALL PROVIDE UNDERGROUND GAS PIPE CONNECTION. (RE: CIVIL PLANS)

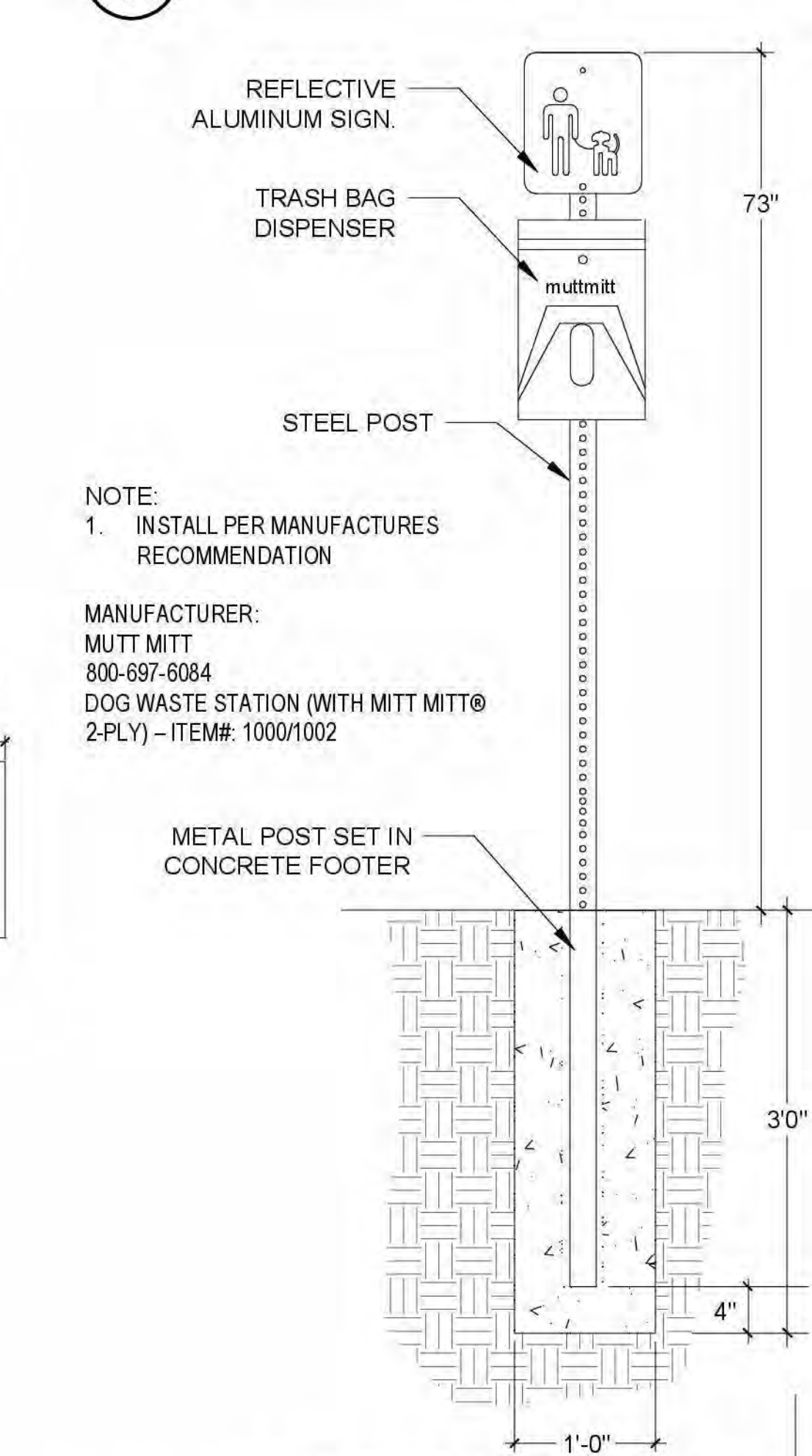
## 7 MULCH DETAIL



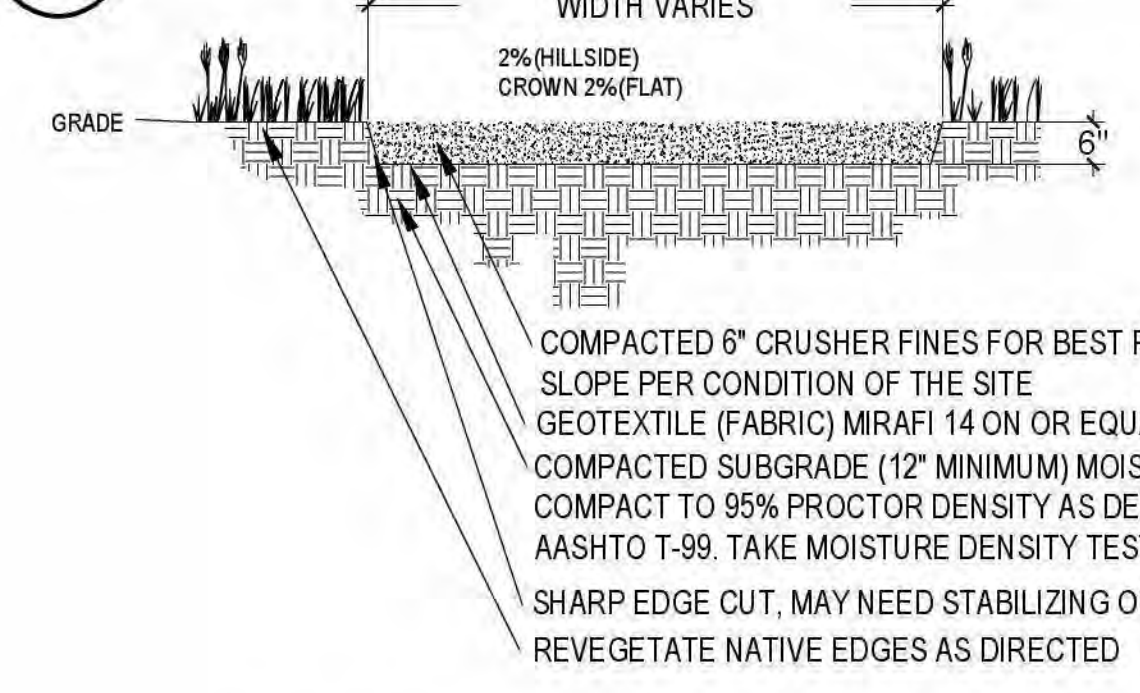
## 8 OUTDOOR BIKERACK DETAIL



## 9 DOG WASTE STATION NTS



## 10 CRUSHER FINES PATH NTS



- NOTE:
  - THE EXCAVATED AREA TO BE COMPACTED USING A DOUBLE-DRUM VIBRATORY ROLLER.
  - TREAD SURFACE ("CRUSHERFINE" OR "GRANITE SANDS") TO BE RAKED BY HAND OR MACHINE TO PROVIDE ADEQUATE OUTSLOPING (2%).
  - WHILE WET, THE SURFACE IS COMPACTED DOWN TO THE FINAL GRADE WITH THE VIBRATORY ROLLER.
  - IN WET AREAS THE TRENCH SHOULD BE COMPACTED TO 8" DEPTH. COMPACTED SUBGRADE IS TO BE COVERED WITH GEOTEXTILE FABRIC PRIOR TO INSTALLATION OF GRANITE SANDS.
  - FOR AREAS WITH A CROSS SLOPE, A DRAINAGE SWALE IS INSTALLED ON THE UPHILL SIDE OF THE TRAIL.
  - TRAIL ALIGNMENT SHOULD WORK WITH THE NATURAL TOPOGRAPHY.
  - PROVIDE OCCASIONAL VIEWING AND SEATING AREAS ALONG THE PATH TO ACCOMMODATE PASSIVE RECREATION AREAS.
  - TRAIL COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - AGGREGATE PAVING TO BLEND 'STABILIZER' OR EQUAL. BINDER ADDITIVE TO BE MIXED PER MANUFACTURER'S RECOMMENDATION.
  - CONTACT: STABILIZER SOLUTIONS INC. 205 SOUTH 28TH ST., PHOENIX, AZ 85034; PHONE (602) 225-5900, (800) 336-2468; FAX (602) 225-5902; WEBSITE STABILIZERSOLUTIONS.COM

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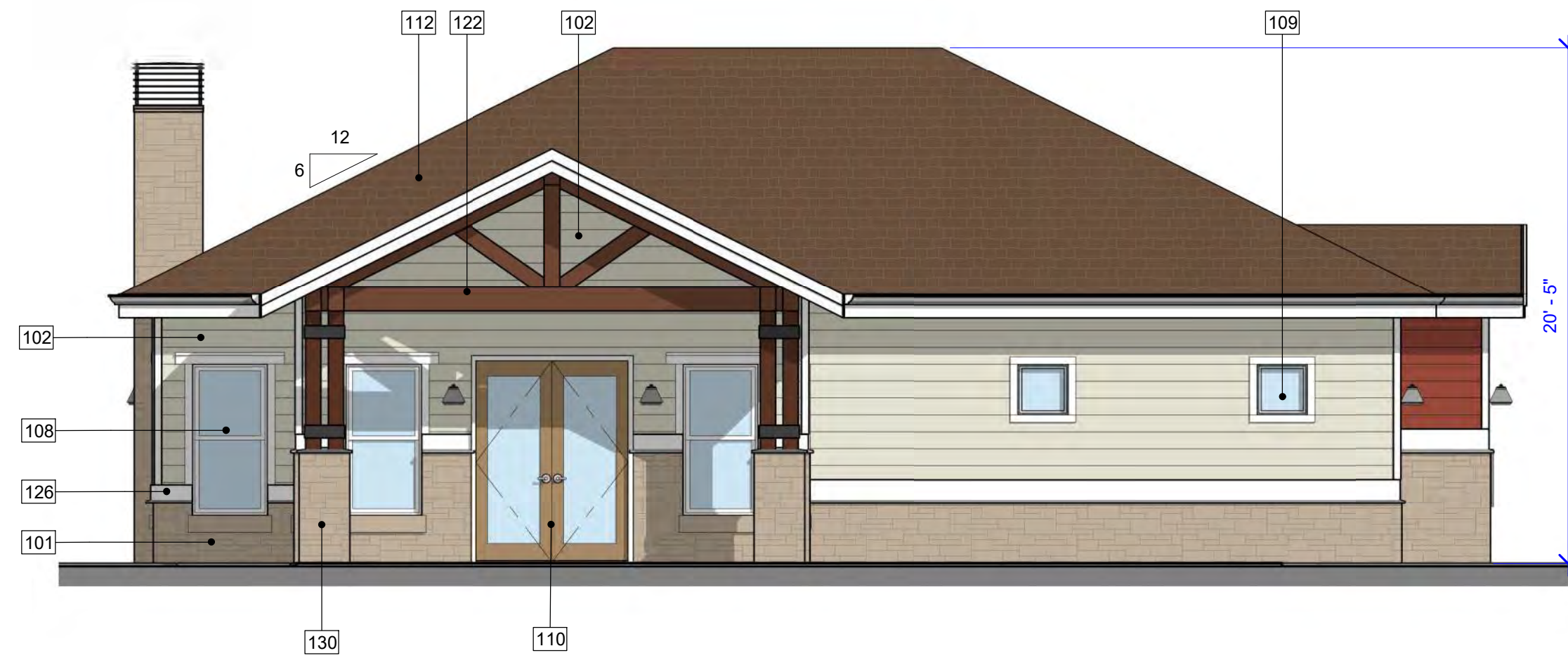
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# PINE RIDGE CROSSING SITE PLAN AMENDMENT

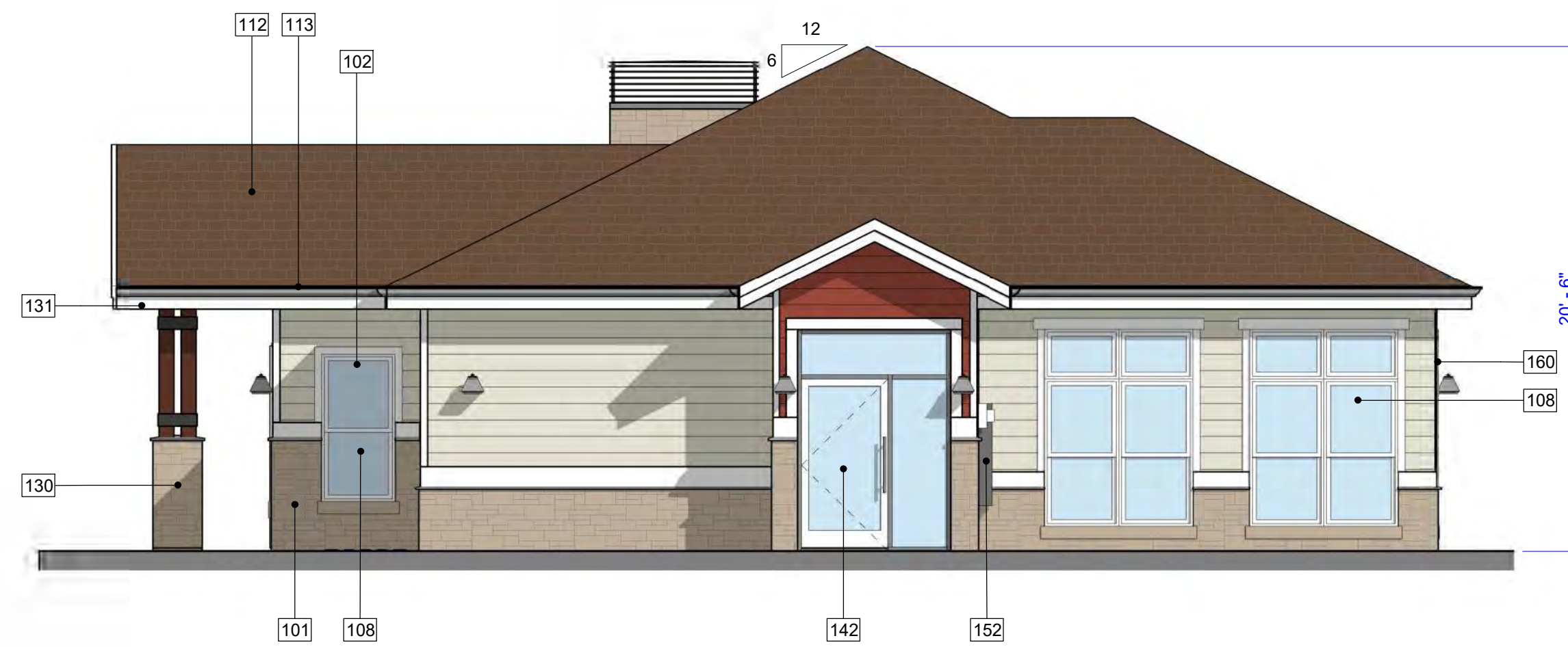
SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



**CLUBHOUSE - FRONT ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE - EAST ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE PERSPECTIVE 1**



**CLUBHOUSE - NORTH ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE - WEST ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE PERSPECTIVE 2**

BUILDING MATERIAL & COLOR SCHEME					
	B-1 BODY COLOR SIDING - HORIZ	B-2 BODY COLOR SIDING - HORIZ	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT			SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN				SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>					
<b>T-1 TRIM COLOR</b>					
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE					
<b>P-2 PUNCH COLOR</b>					
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD					
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS, SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE		

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
109	VINYL WINDOWS - FIXED
110	CUSTOM ENTRY DOOR
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
122	DECORATIVE WOOD TRUSS W/ DECORATIVE BRACKETS
123	GARAGE DOOR WITH ROW OF GLASS
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
142	ENTRY DOOR
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
153	CONDENSING UNIT RE. MECHANICAL
159	ACCESS DOOR TO ADA GARAGE.
160	CORNER TRIM 5/4X4

ENTIREMENT DRAWINGS NOT FOR CONSTRUCTION

**CLUBHOUSE ELEVATIONS AND PERSPECTIVES**  
DATE PREPARED: 01-05-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**10 OF 20**

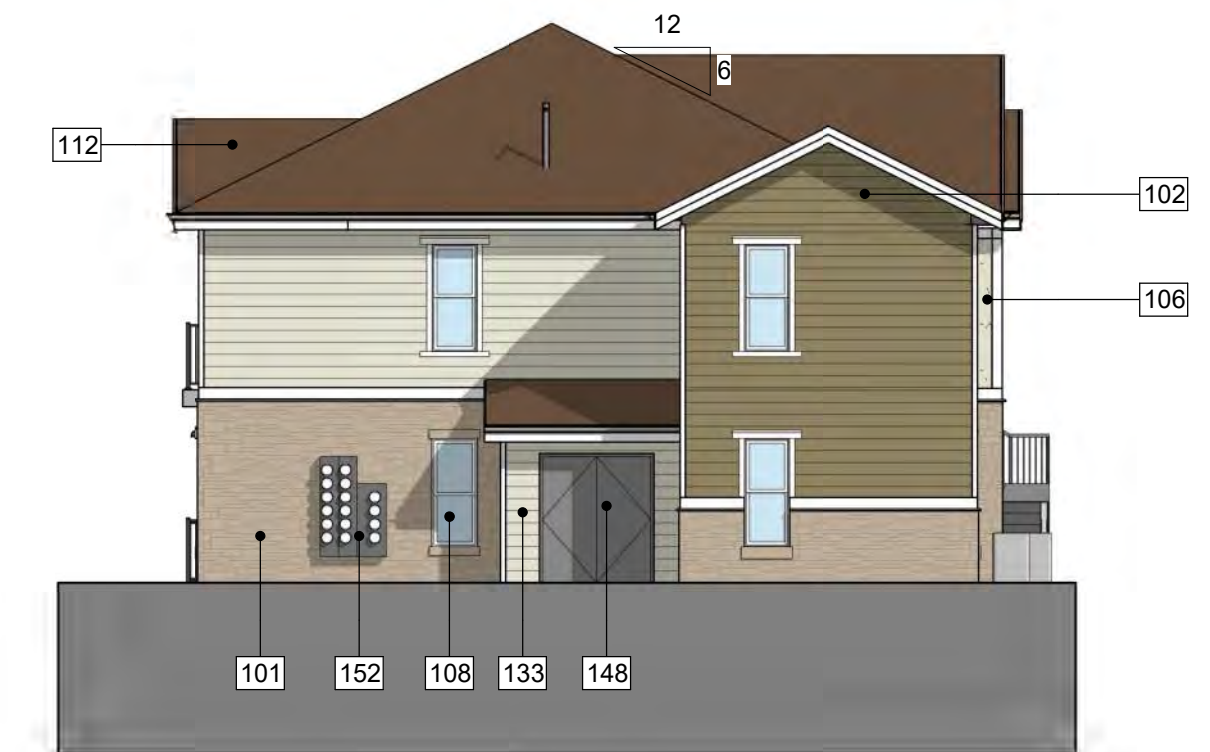


# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



**BLDG TYPE I - FRONT ELEVATION, BLDG 4**  
3/32" = 1'-0"



**BLDG TYPE I - SIDE 1 ELEVATION, BLDG 4**  
3/32" = 1'-0"



**BLDG TYPE 1 - REAR ELEVATION, BLDG 4**  
3/32" = 1'-0"

ELIZABETH STREET ELEVATION AT BUILDING # 2



**BLDG TYPE I - SIDE 2 ELEVATION, BLDG 4**  
3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ.	B-2 BODY COLOR SIDING - HORIZ.	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT				SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
ALL BUILDINGS						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE: ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER. COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
157	MECHANICAL VENT, 1ST FLR. VENTS OUT WALL, 2ND FLR. VENTS THRU ROOF, RE: MECH
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6
162	8" STONE TRIM

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

BUILDING TYPE 1 ELEVATIONS - BLDG FOUR  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:  
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**11 OF 20**

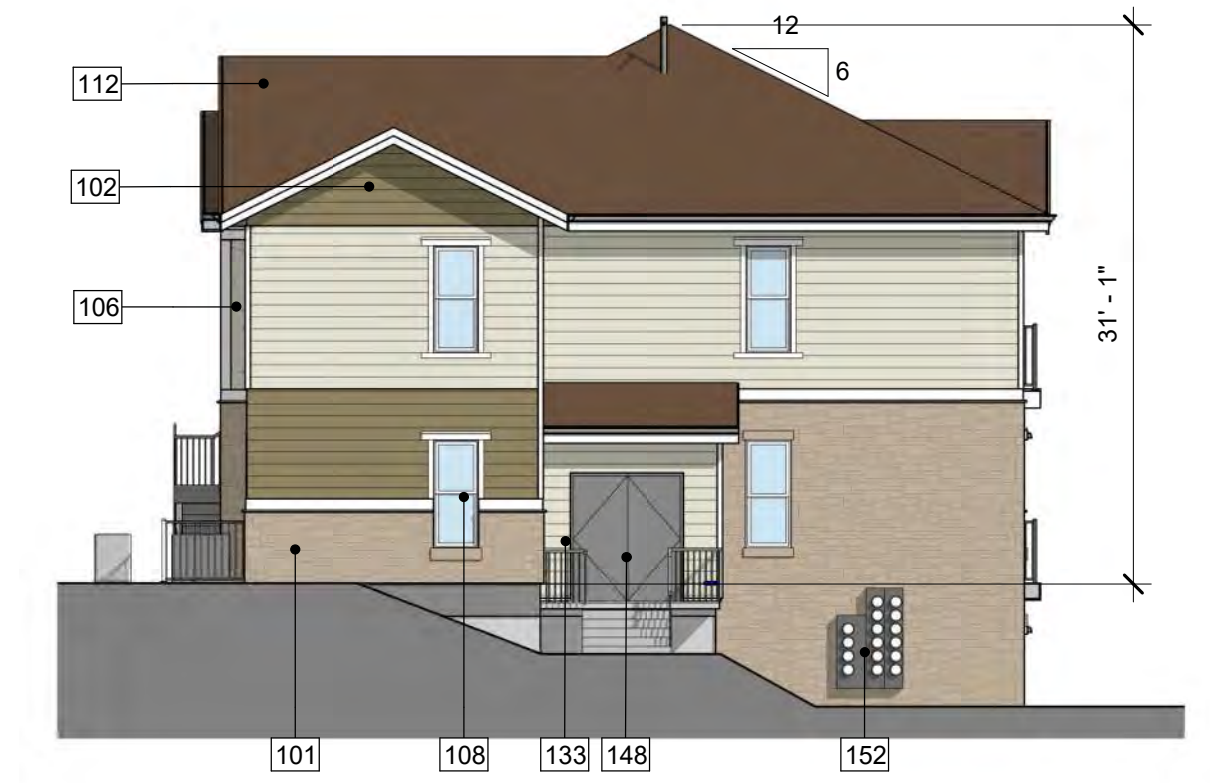
John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



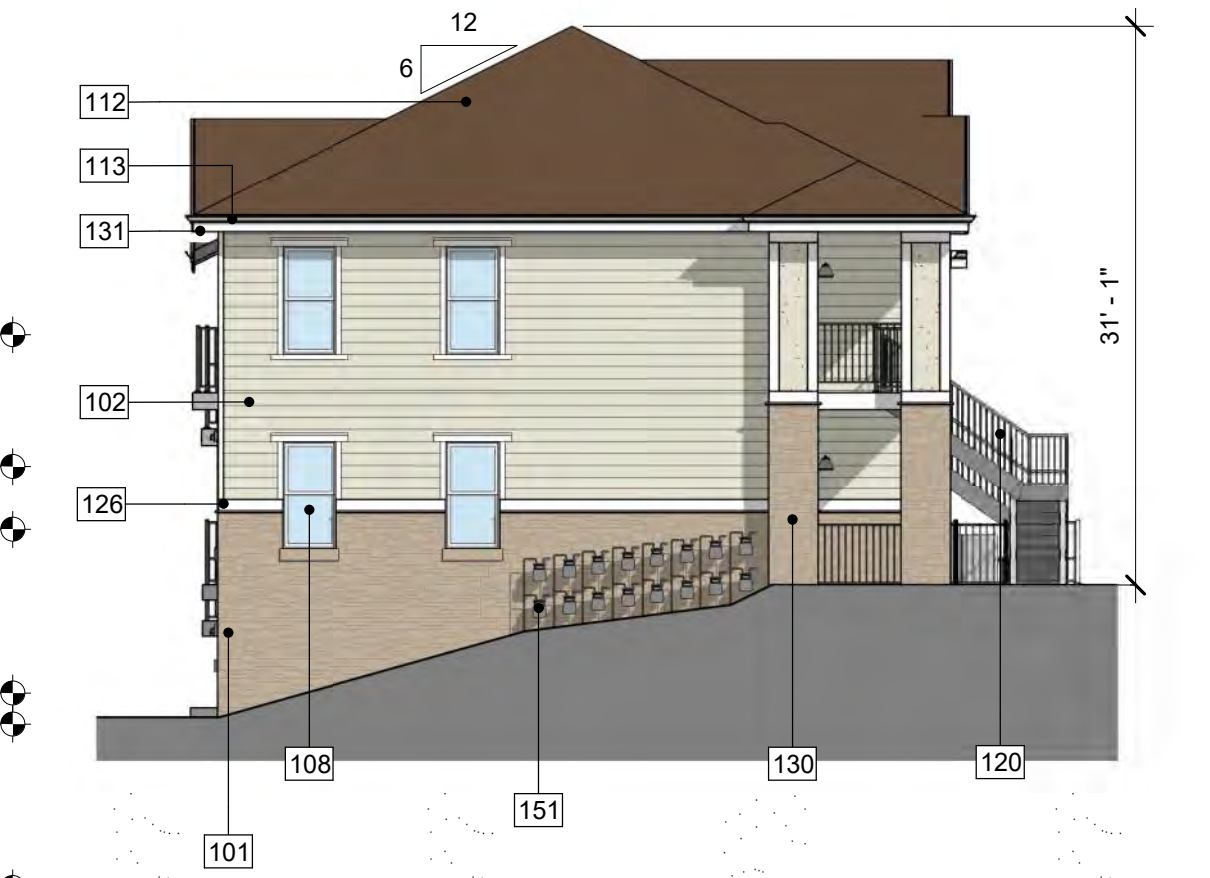
**BLDG TYPE 1B - FRONT ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - SIDE 1 ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - REAR ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - SIDE 2 ELEVATION, BLDG 1**  
3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ.	B-2 BODY COLOR SIDING - HORIZ.	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT				SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
ALL BUILDINGS						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE: ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
157	MECHANICAL VENT, 1ST FLR. VENTS OUT WALL, 2ND FLR. VENTS THRU ROOF, RE: MECH
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6
162	8" STONE TRIM
164	LINE OF GRADE BEHIND

**BUILDING TYPE 1B ELEVATIONS, BUILDING ONE**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**12 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



**BLDG TYPE II - FRONT ELEVATION, BLDG 3**

3/32" = 1'-0"



**BLDG TYPE II - SIDE 1 ELEVATION, BLDG 3**

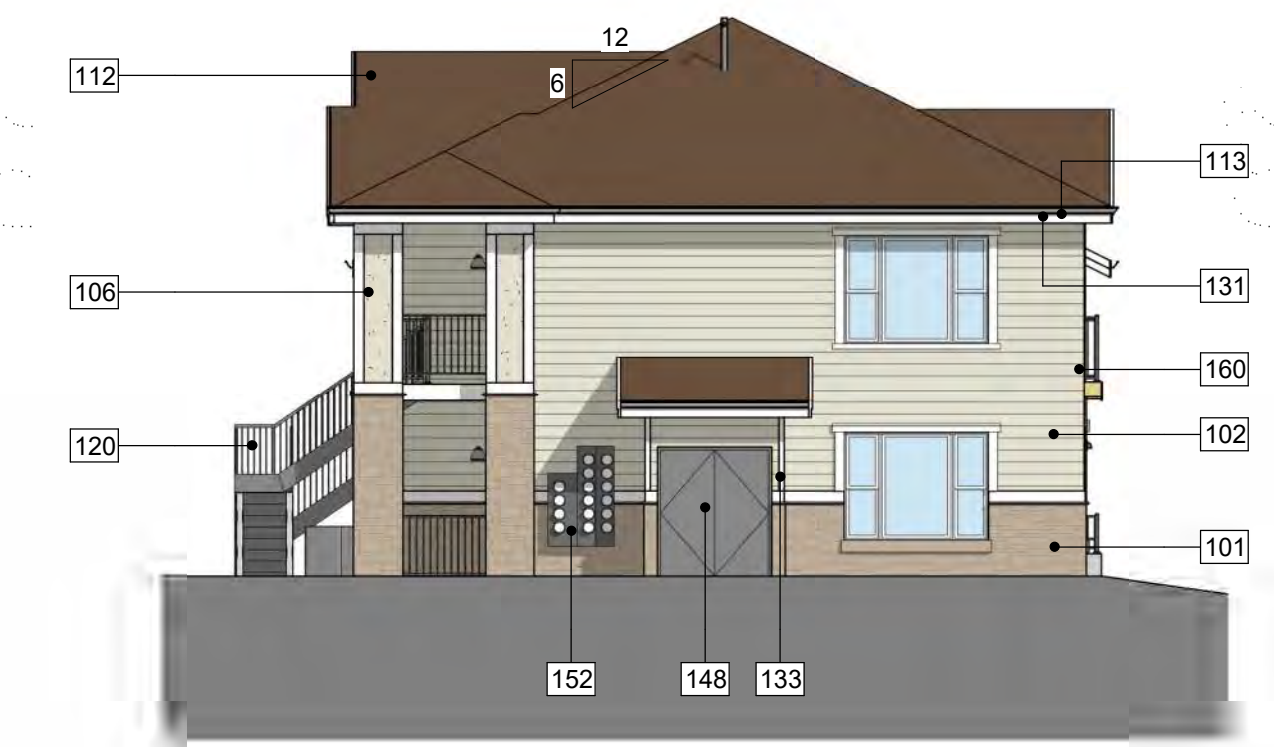
3/32" = 1'-0"



**BLDG TYPE II - REAR ELEVATION, BLDG 3**

3/32" = 1'-0"

**ELIZABETH STREET ELEVATION AT BUILDING # 3**



**BLDG TYPE II - SIDE 2 ELEVATION, BLDG 3**

3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ	B-2 BODY COLOR SIDING - HORIZ	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
<b>T-1 TRIM COLOR</b>						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
<b>P-2 PUNCH COLOR</b>						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPER CORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE:SITE PLAN
152	ELECTRIC METER RE:SITE PLAN
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6

ENTIREMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**BUILDING TYPE 2 ELEVATIONS**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**13 OF 20**



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

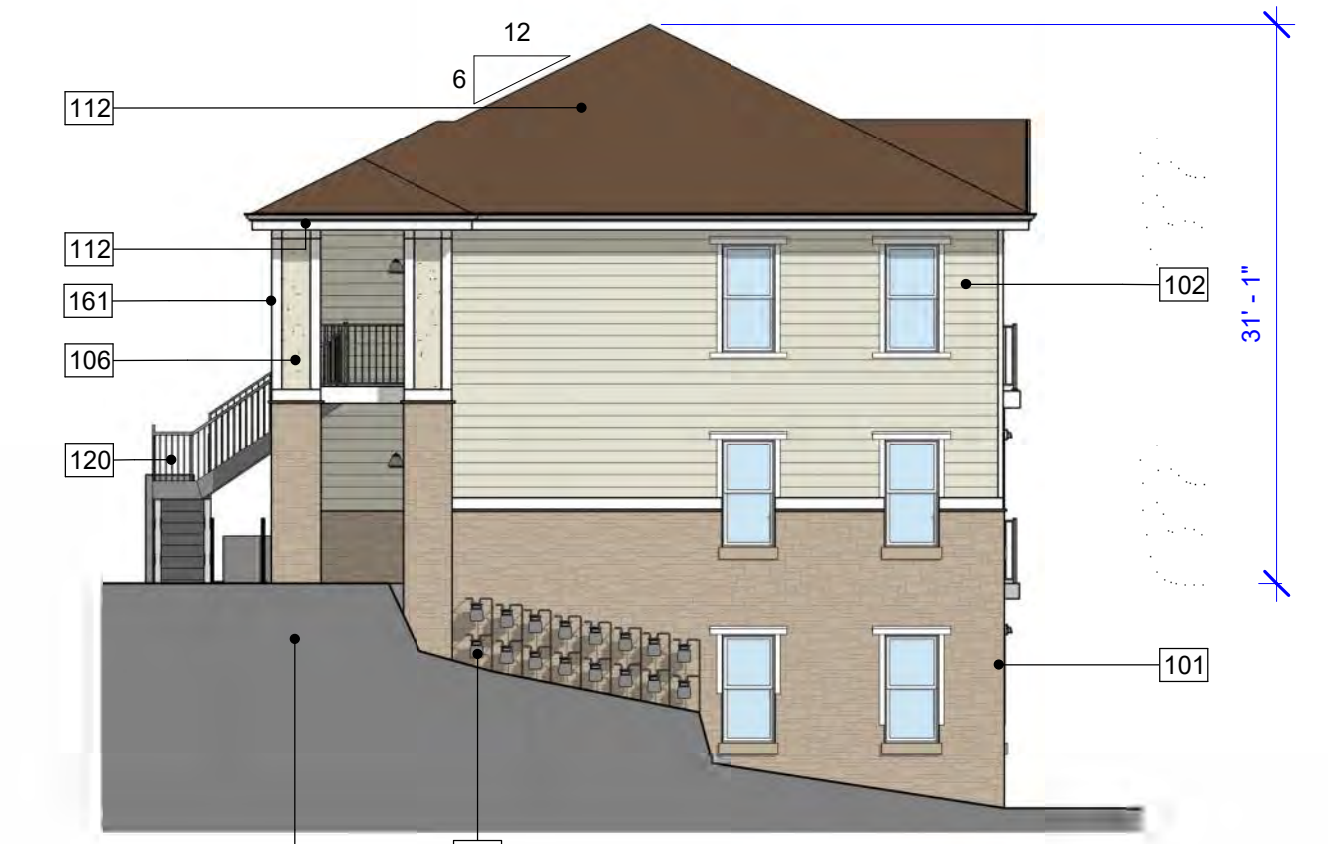
SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



**BLDG TYPE IIB - FRONT ELEVATION, BLDG 2**

3/32" = 1'-0"



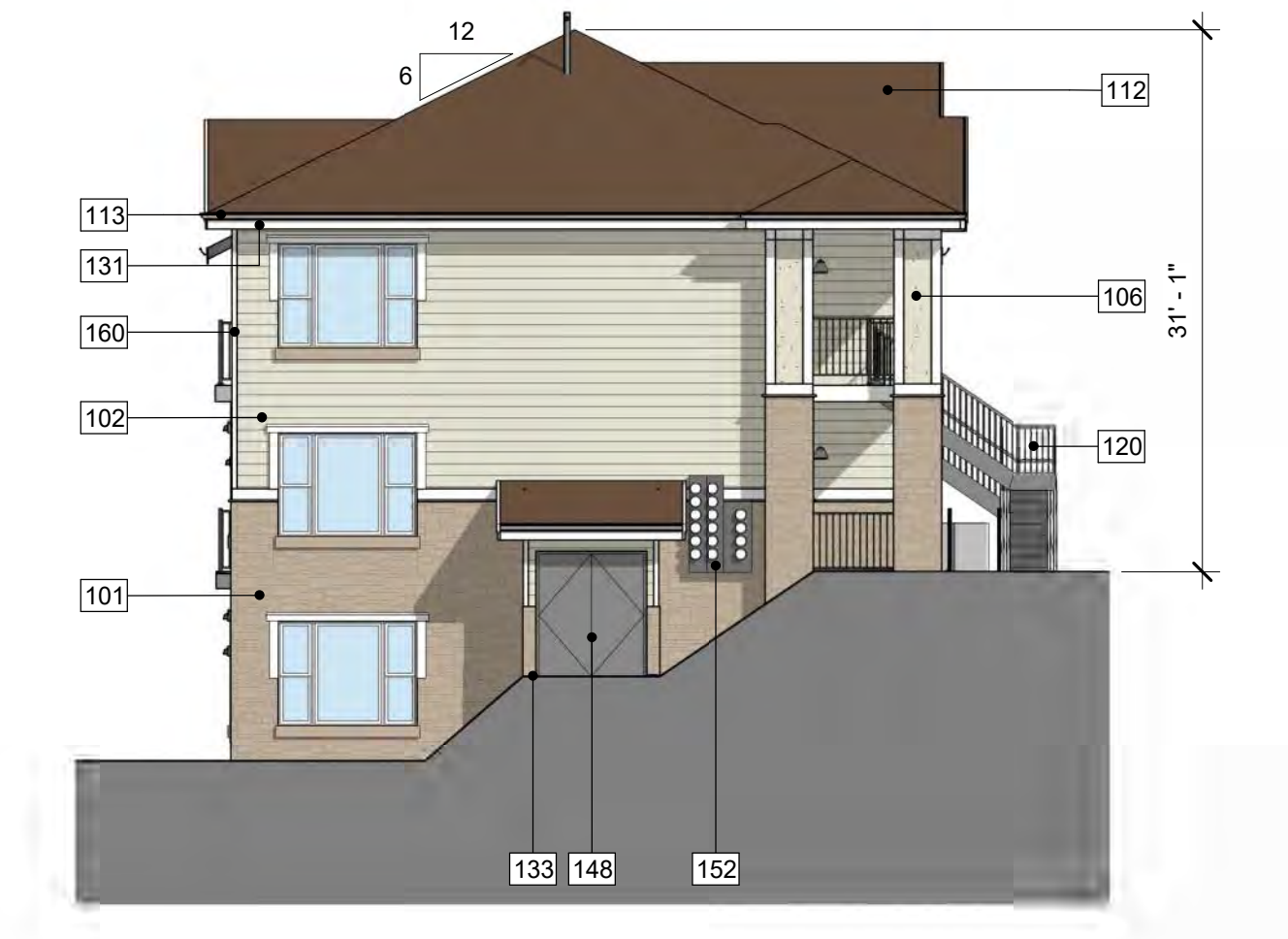
**BLDG TYPE IIB - SIDE 1 ELEVATION, BLDG 2**

3/32" = 1'-0"



**BLDG TYPE IIB - REAR ELEVATION, BLDG 2**

3/32" = 1'-0"



**BLDG TYPE IIB - SIDE 2 ELEVATION, BLDG 2**

3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	<b>B-1 BODY COLOR</b> SIDING - HORIZ	<b>B-2 BODY COLOR</b> SIDING - HORIZ	<b>B-3 BODY COLOR</b> SIDING - SHAKE	<b>B-4 BODY COLOR</b> SIDING - SHAKE	<b>B-4 BODY COLOR</b> WOOD PANEL	<b>P-1 PUNCH COLOR</b> DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
<b>T-1 TRIM COLOR</b>						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
<b>P-2 PUNCH COLOR</b>						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPER CORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE:SITE PLAN
152	ELECTRIC METER RE:SITE PLAN
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**BUILDING TYPE 2B ELEVATIONS**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**14 OF 20**

John B. Collins Architect, LLC  
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# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



BUILDING TYPE IB - PERSPECTIVE 1



BUILDING TYPE IB - PERSPECTIVE 2



BUILDING TYPE IIB - PERSPECTIVE 1



BUILDING TYPE IIB - PERSPECTIVE 2

PERSPECTIVES

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

ENTITLEMENT  
DRAWINGS  
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SHEET  
**15 OF 20**

John B. Collins Architect, LLC  
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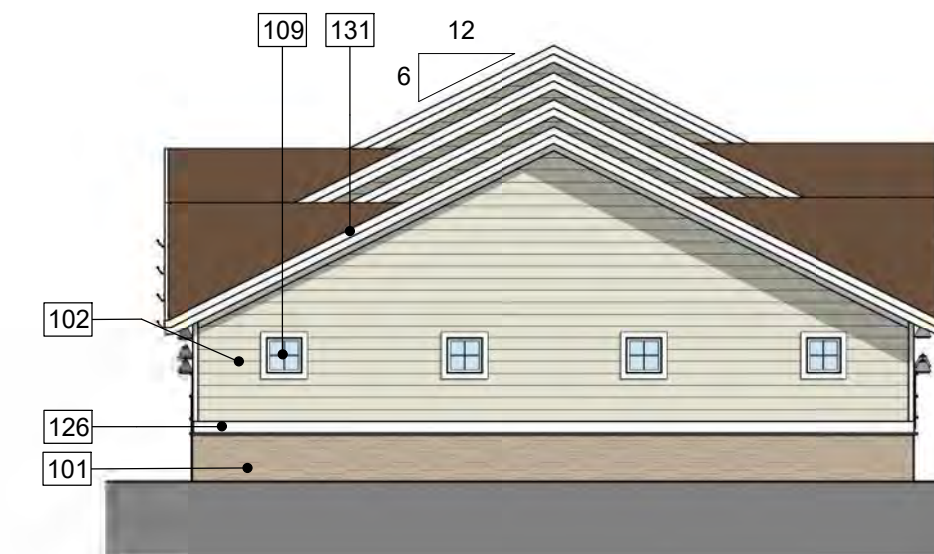
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

BUILDING MATERIAL & COLOR SCHEME						
CLUBHOUSE	B-1 BODY COLOR SIDING - HORIZ. SW7567 - NATURAL TAN	B-2 BODY COLOR SIDING - HORIZ. SW 6334 - FLOWER POT	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
ALL BUILDINGS						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS, SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			



**BUILDING TYPE III - FRONTELEVATION, GARAGE 1**  
3/32" = 1'-0"

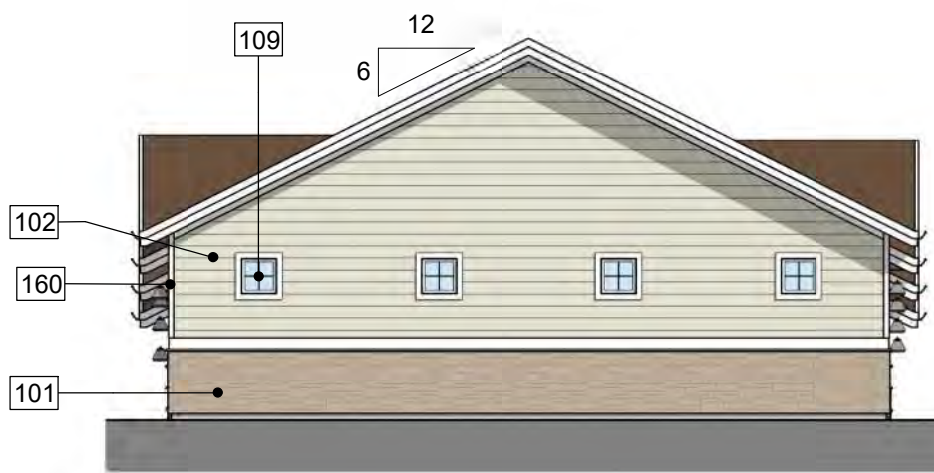


**BLDG TYPE III - SIDE 1 ELEV.**  
3/32" = 1'-0"

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
109	VINYL WINDOWS - FIXED
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
121	CORNER TRIM 5/4X4
123	GARAGE DOOR WITH ROW OF GLASS
126	WATERTABLE & 5/4X8" WOOD TRIM
131	FASCIA 2X8
159	ACCESS DOOR TO ADA GARAGE.
160	CORNER TRIM 5/4X4



**BUILDING TYPE III - REAR ELEVATION, GARAGE 1**  
3/32" = 1'-0"



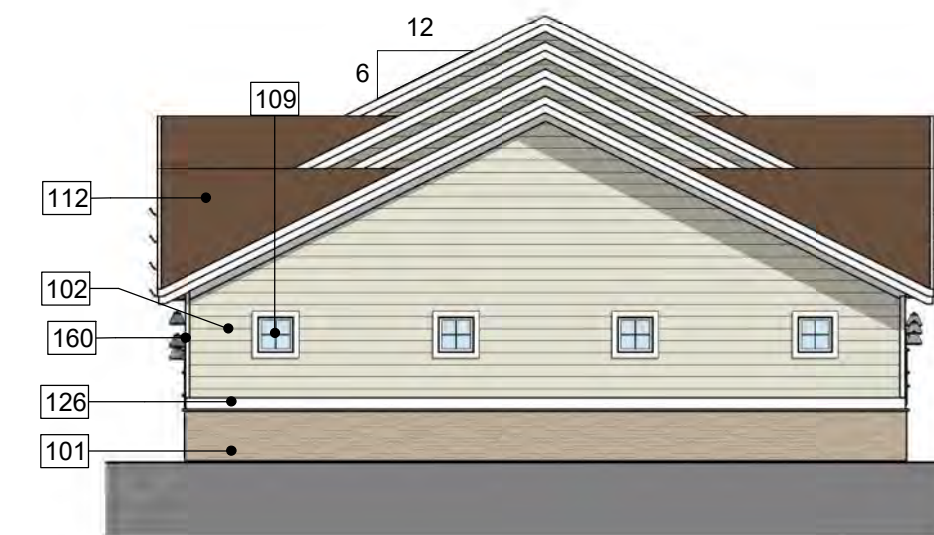
**BLDG TYPE III - SIDE 2 ELEV.**  
3/32" = 1'-0"



**BUILDING TYPE III - PERSPECTIVE, GARAGE 1**



**BUILDING TYPE IV - FRONT ELEVATION, GARAGES 2 & 3**  
3/32" = 1'-0"



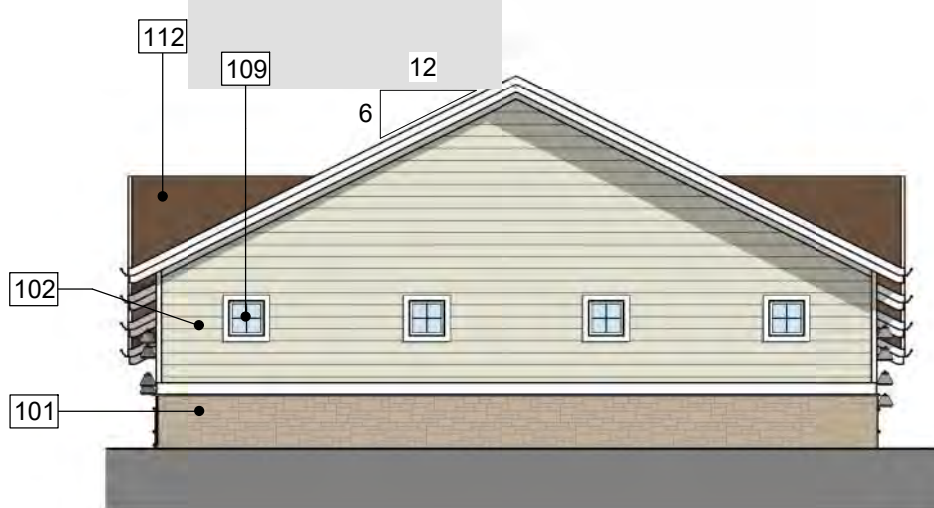
**BLDG TYPE IV - SIDE 1 ELEV.**  
3/32" = 1'-0"



**BUILDING TYPE IV - PERSPECTIVE, GARAGES 2 & 3**



**BUILDING TYPE IV - REAR ELEVATION, GARAGES 2 & 3**  
3/32" = 1'-0"



**BLDG TYPE IV - SIDE 2 ELEV.**  
3/32" = 1'-0"

BUILDING TYPE 3 AND 4 ELEVATIONS AND PERSPECTIVES  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**16 OF 20**



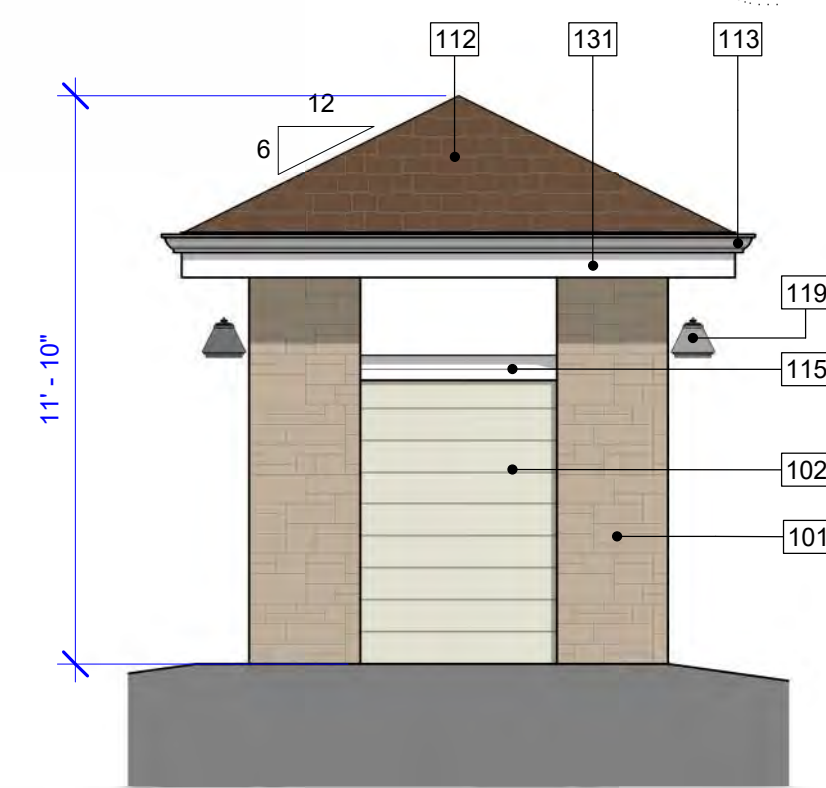
ENTIREMENT DRAWINGS NOT FOR CONSTRUCTION

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES**



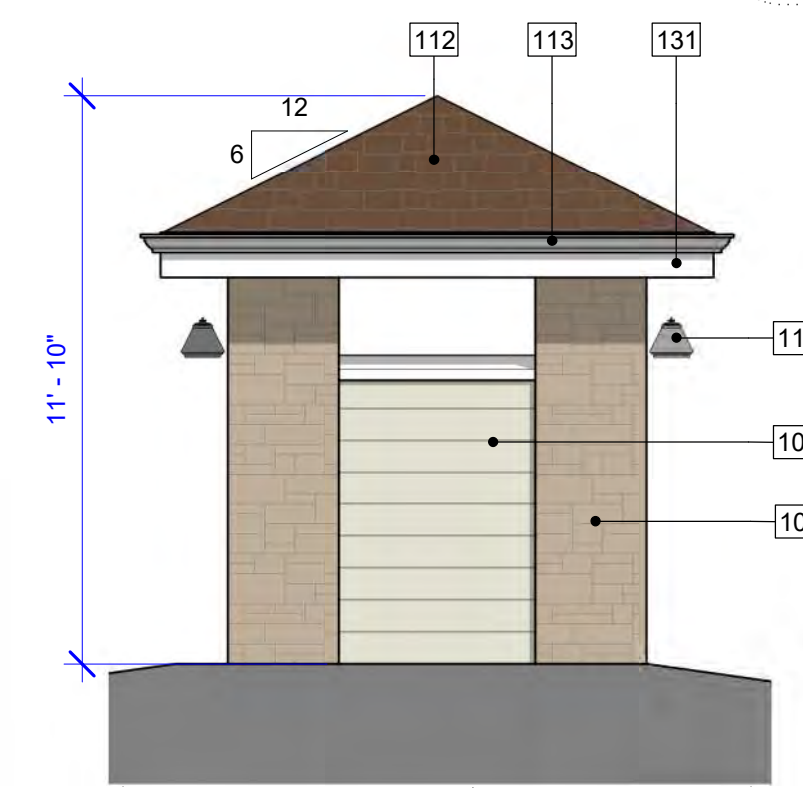
**MAIL KIOSK - FRONT**  
1/4" = 1'-0"



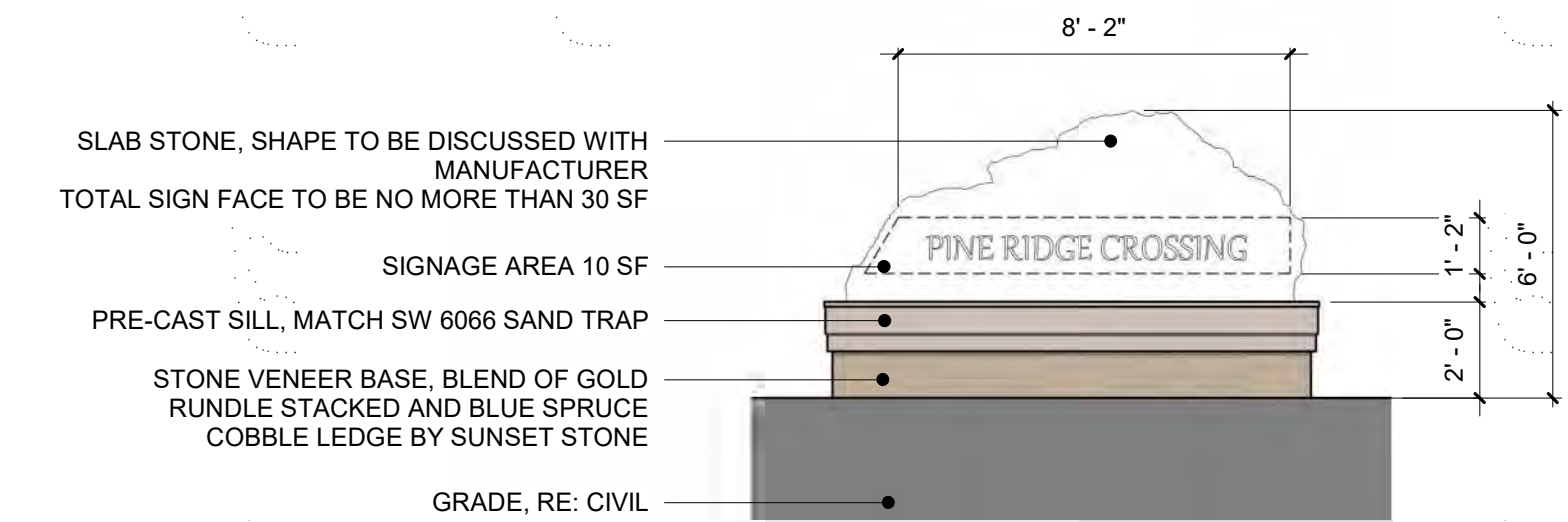
**MAIL KIOSK - SIDE 1**  
1/4" = 1'-0"



**MAIL KIOSK - REAR**  
1/4" = 1'-0"



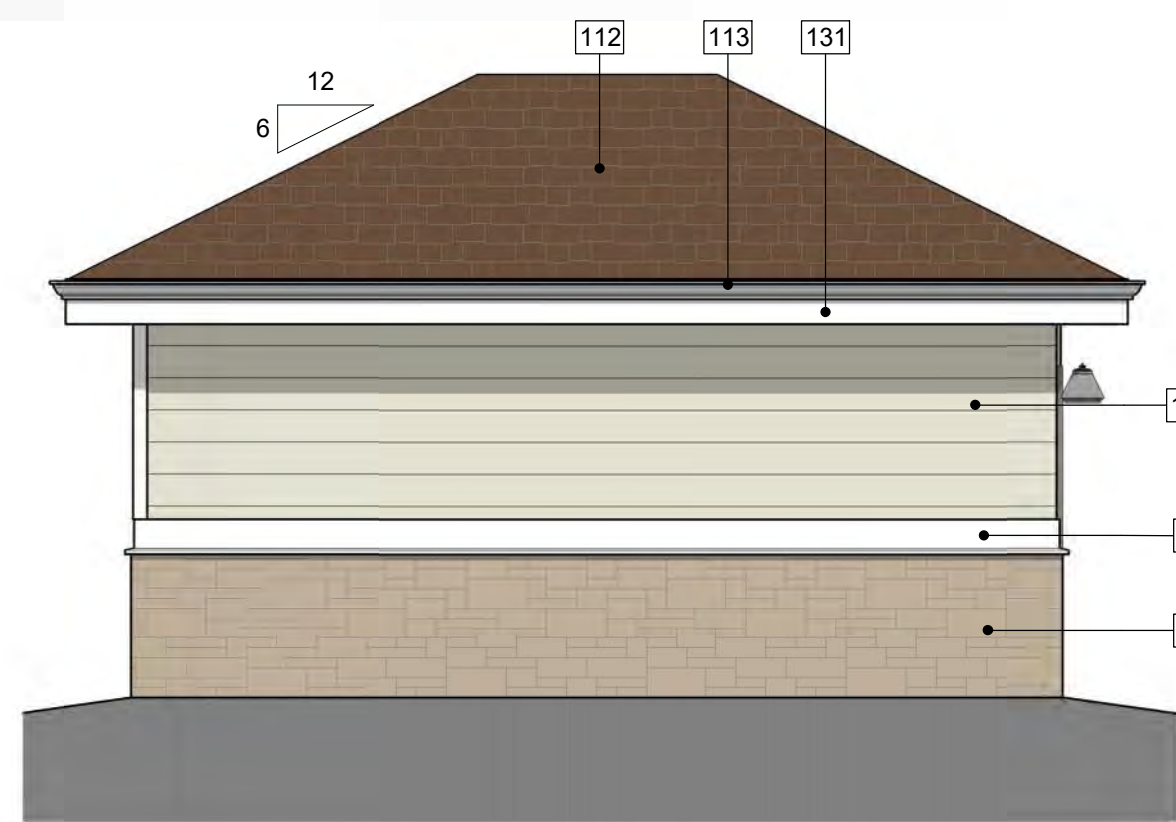
**MAIL KIOSK - SIDE 2**  
1/4" = 1'-0"



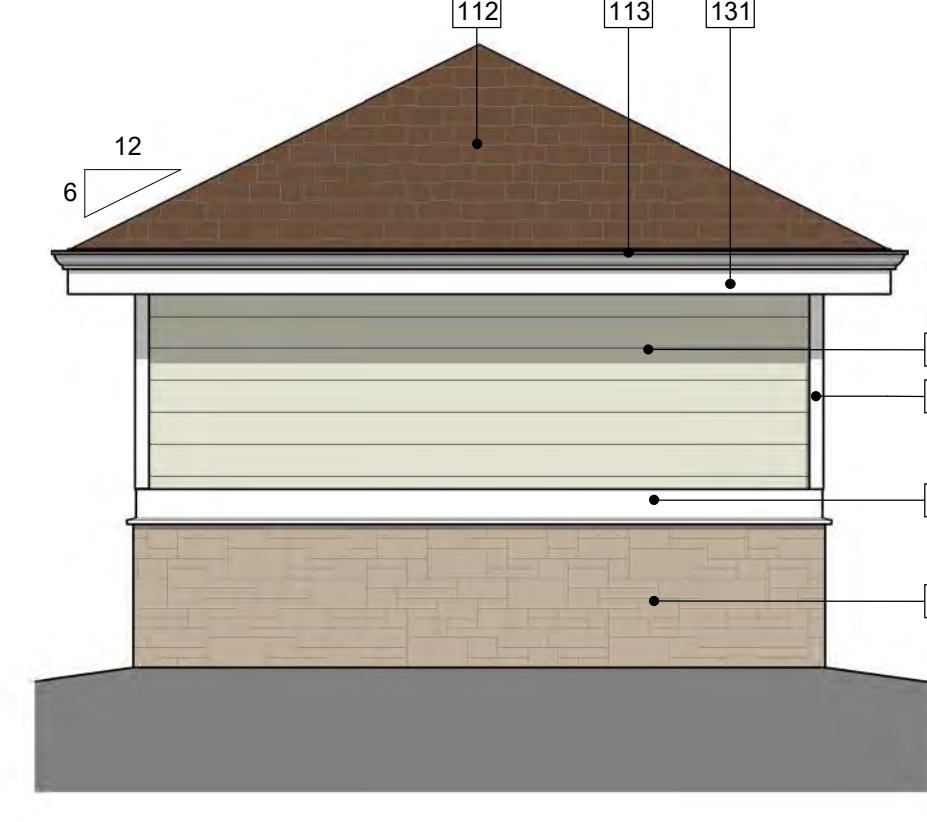
**MONUMENT SIGN - FRONT**  
1/4" = 1'-0"



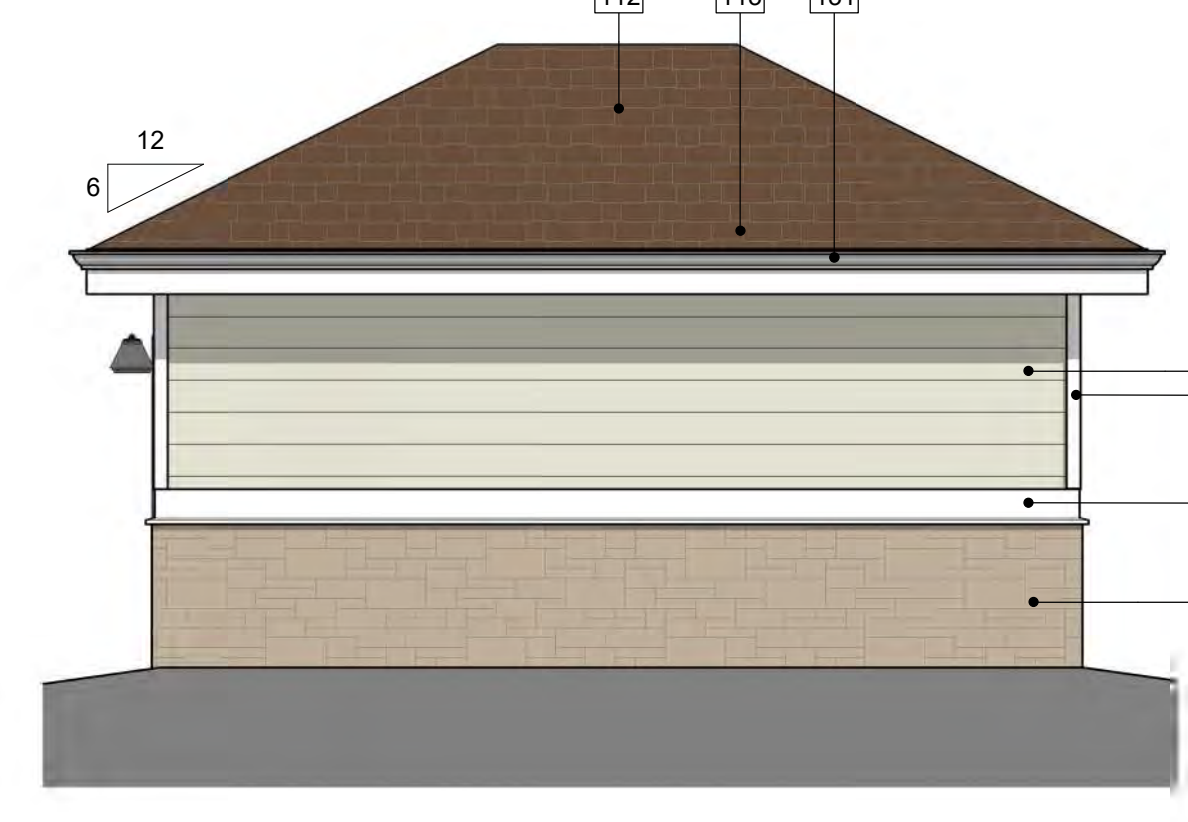
**POOL EQUIP. - FRONT**  
1/4" = 1'-0"



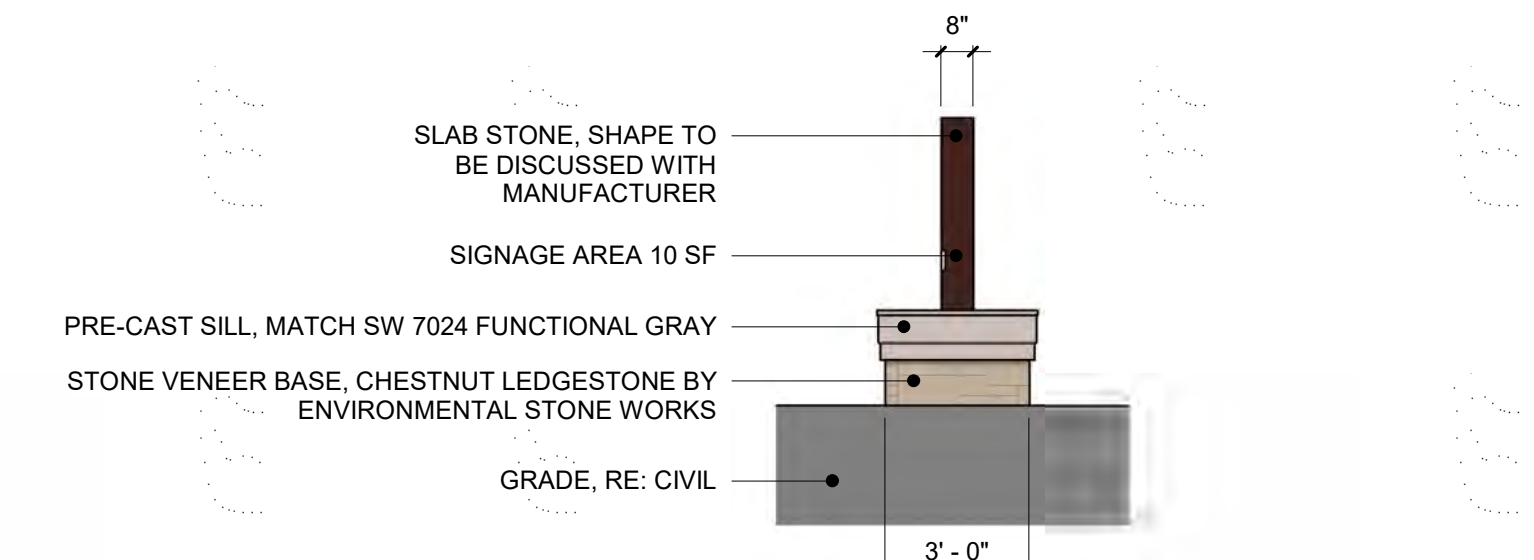
**POOL EQUIP. - SIDE 1**  
1/4" = 1'-0"



**POOL EQUIP. - REAR**  
1/4" = 1'-0"



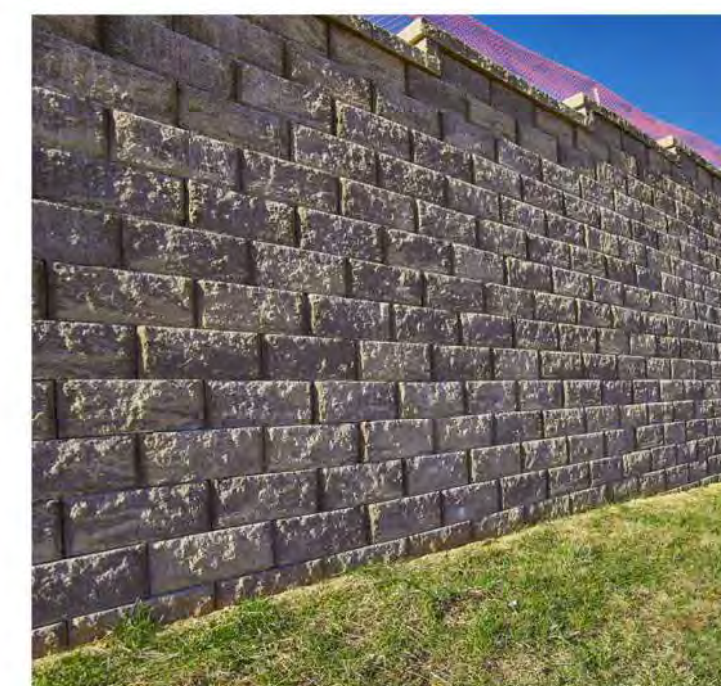
**POOL EQUIP. - SIDE 2**  
1/4" = 1'-0"



**MONUMENT SIGN - SIDE**  
1/4" = 1'-0"

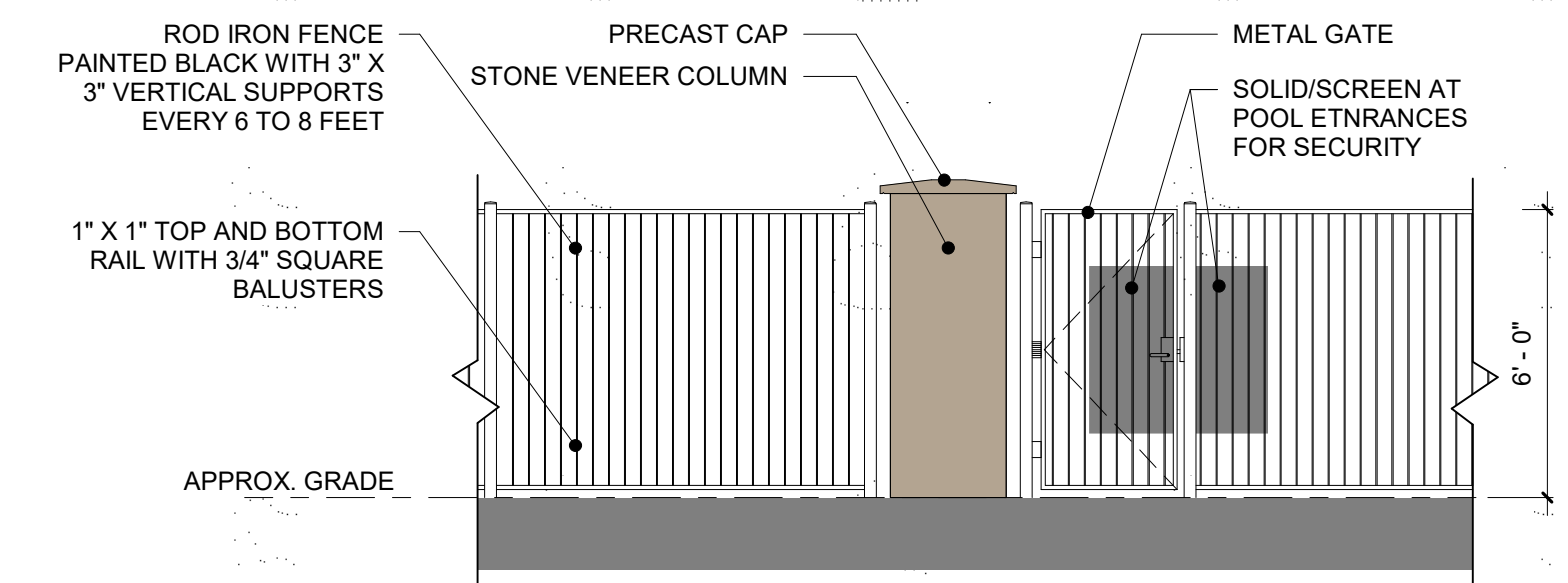
BUILDING MATERIAL & COLOR SCHEME						
CLUBHOUSE	B-1 BODY COLOR SIDING - HORIZ. SW7567 - NATURAL TAN	B-2 BODY COLOR SIDING - HORIZ. SW 6334 - FLOWER POT	B-3 BODY COLOR SIDING - SHAKE SW7567 - NATURAL TAN	B-4 BODY COLOR SIDING - SHAKE SW 7734 - OLIVE GROVE	B-4 BODY COLOR WOOD PANEL SW 7005 - PURE WHITE	P-1 PUNCH COLOR DOORS SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE: ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
115	MANUFACTURED STONE CAP
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
126	WATERTABLE & 5/4X8" WOOD TRIM
131	FASCIA 2X8
134	MAIL BOX
148	FIRE RISER ROOM
160	CORNER TRIM 5/4X4



**RETAINING WALL**

BROADSTONE 8" ROCK FACE FROM KEYSTONE  
COLOR: SIERRA BLEND



**POOL FENCING**  
1/4" = 1'-0"

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**ACCESSORY BUILDING ELEVATIONS**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

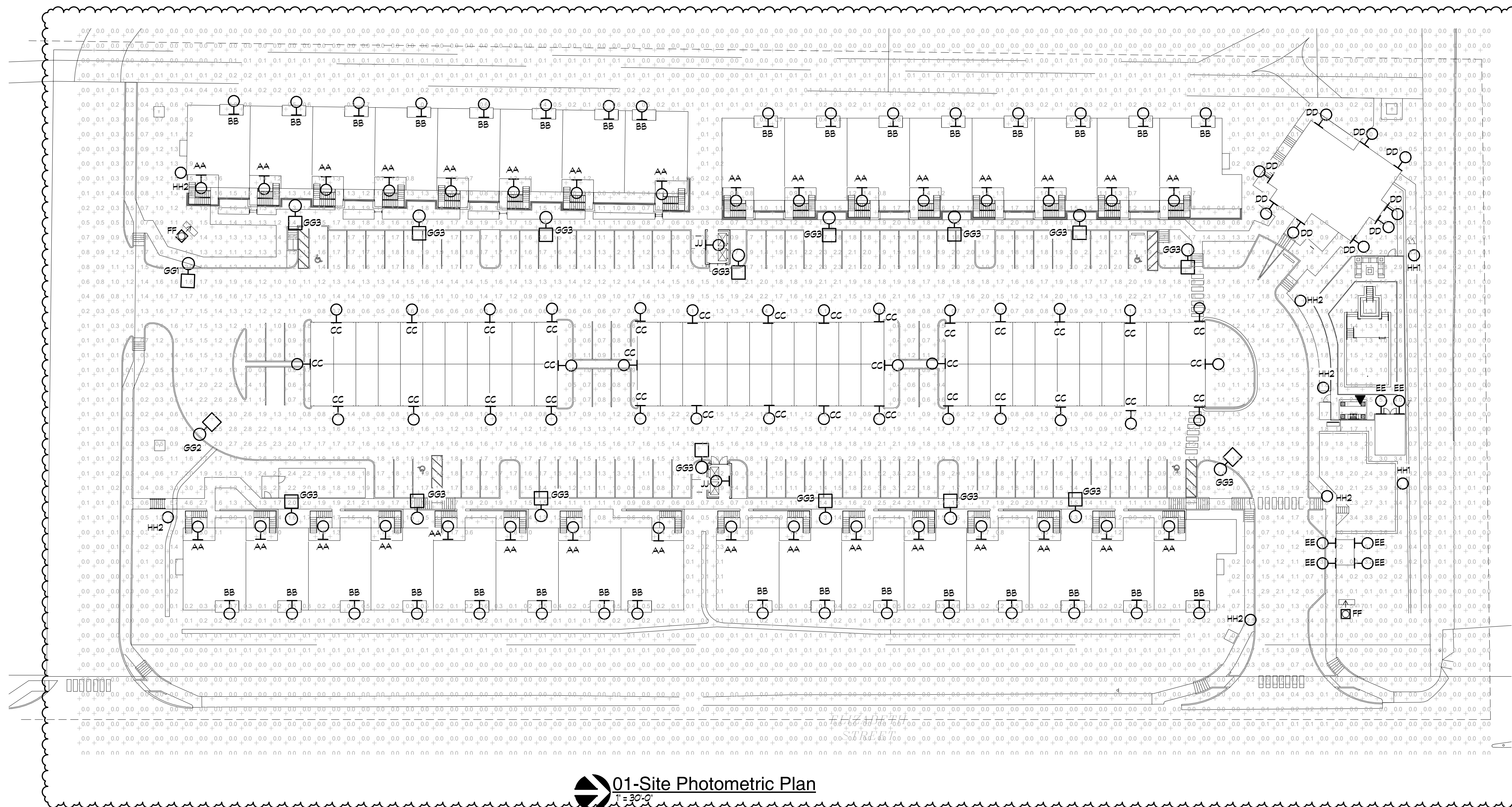
SHEET  
**17 OF 20**



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



01-Site Photometric Plan

### EXTERIOR LUMINAIRE SCHEDULE

KEY	LAMP	DESCRIPTION	CEILING (DEPTH)	MANUFACTURER/#	VOLT
AA	8W LED, 211 LUM, 3000K	EXTERIOR WALL MOUNTED SCONCE	WALL 7 A.F.F.	MODERN FORMS, PASADENA OUTDOOR LARGE LED WALL SCONCE, WS-W62610-B2-A12175	120
BB	143W CFL, 450 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 8' A.F.F.	CAPITAL LIGHTING FIXTURE COMPANY, LAKESHORE 1 LIGHT WALL LANTERN, 988108	120
CC	11.5W LED, 585 LUM, 3000K	EXTERIOR WALL MOUNTED SCONCE	WALL 7 A.F.F.	WAC LIGHTING, SODOR LED OUTDOOR SCONCE, WS-W1870-GH	120
DD	8W LED, 800 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 10' A.F.F.	SEAGULL LIGHTING, ONE LIGHT OUTDOOR WALL LANTERN, 88242-780	120
EE	12W LED, 1400 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 9' A.F.F.	EATON LUMARK CROSSTOUR LED, XTORIB-W	120
FF	28W LED FLOOD	MONUMENT SIGN LIGHTING FIXTURE	GROUND	HUBBELL FSL-7L LED DECORATIVE FLOOD.	120
G91	34W LED, 3,566 LUM, 3000K, TYPE 2 DIST	PARKING LOT LIGHT FIXTURE	25' POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01LED-U-T2	120
G92	34W LED, 3,787 LUM, 3000K, TYPE 2R DIST	PARKING LOT LIGHT FIXTURE	25' POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01LED-U-T2R	120
G93	34W LED, 3,636 LUM, 3000K, TYPE 3 DIST	PARKING LOT LIGHT FIXTURE	25' POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01LED-U-T3	120
HH1	37W LED, 3810 LUM, 3000K TYPE 3 DIST	PEDESTRIAN PENDANT POLE LIGHT FIXTURE	10' POLE	PHILIPS LUMEC METROSCAPE PENDANT, MSR-35W32LED3K-G2-LESS	120
HH2	37W LED, 3733 LUM, 3000K, TYPE 5 DIST	PEDESTRIAN PENDANT POLE LIGHT FIXTURE	10' POLE	PHILIPS LUMEC METROSCAPE PENDANT, MSR-35W32LED3K-G2-LESS	120
JJ	LED	EXTERIOR WALL MOUNTED SCONCE	WALL 6' A.F.F.	HI-LITE MFG. CO., INC. H-LCGU-FB VAPOR JAR COLLECTION	120

NOTES: \*NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN MODEL NUMBERS AND DESCRIPTIONS PRIOR TO ORDERING  
\*VERIFY CEILING INSULATION W/ GC AND NOTIFY ENGINEER OF ANY IC RATING CONFLICTS PRIOR TO ORDERING

SITE PHOTOMETRIC PLAN

DATE PREPARED: 01-05-2023  
DATE REVISED: TBD

PLANS PREPARED FOR:

## NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**18 OF 20**

John B. Collins Architect, LLC  
256 S. Broadway St., Denver, CO 80201  
P: 720.334.2210 E: jc@jbcarch.com

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# PINE RIDGE CROSSING SITE PLAN AMENDMENT

## SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES

FIXTURE 'AA'

3/22/2018



Pasadena Outdoor LED Wall Sconce by Modern Forms at Lumens.com

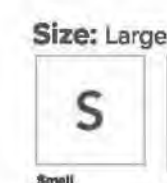
CALL US  
877-465-4488  
Mon-Fri 9am-5pm PT  
Sat 9am-5pm PT

### Pasadena Outdoor LED Wall Sconce By Modern Forms

\$219.00 - \$259.00

IN STOCK Ships within 2 business days.

**FREE SHIPPING** on orders over \$75.  
**FREE GIFT ONLY AT LUMENS:** Use coupon code DISC at checkout to get a FREE Disc LED Task Lamp (a \$249 value) with qualifying \$350+ Modern Forms purchase during The Design Event. Limited time only.  
**FREE DESIGN GIFT ONLY AT LUMENS:** Use code DESIGN at checkout to get a FREE Alessi Nuvem Wire Basket (\$50 Value) or Grey Firenze Clock (\$90 value) with qualifying \$400 purchase during The Design Event. Limited time only. SEE DETAILS



ITEM # MPM07723  
MFG ID: W15W200-02  
**\$259.00**  
IN STOCK Ships within 2 business days.

#### Details

Named after the famous Gamble House in southern California, the Modern Forms Pasadena Outdoor LED Wall Sconce exhibits West coast arts and crafts styling. Inspired by the forms of the bungalow architecture, the sloping shade lights the space with energy efficient LEDs, and also prevents light pollution of the night sky.

WAC Lighting, founded in 1984, has developed a strong reputation for high quality decorative and task lighting. Based in Garden City, New York, WAC Lighting is a leading manufacturer of low voltage, line voltage and LED lighting, including track systems, transformers, lamps, cabinet lighting and recessed downlights.

The Pasadena Outdoor LED Wall Sconce is available with the following:

- Details:**
  - Material: Aluminum end mouth blown glass
  - Shade Material: Mouth blown etched opal glass
  - Universal driver (120V-220V-277V)
  - Dark Sky compliant
  - ETL Listed Wet
  - Made In China

#### Options:

- Finish:** Bronze, Graphite
- Size:** Small, Large

#### Lighting:

- 8 Watt (210 Lumens) 120 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 80000 hours

#### Compare Brightness:



#### Dimensions:

- Large Option Fixture:** Width 9.75", Height 10", Depth 10.75", Weight 5.6 Lbs.
- Small Option Fixture:** Width 7.5", Height 8", Depth 9", Weight 4.1 Lbs.



Shown in Bronze Finish. Small Size

FIXTURE 'BB'



Capital Lighting Fixture Company  
5039 Ruffe Berks Drive, Flowery Branch, GA, 30542-2768  
TF: 800.323.3257 | P: 770.965.7238 | F: 770.965.7254  
www.capitalightingfixture.com

Collection: Lakeshore

### 1 Light Wall Lantern

9881OB

6.5"W x 13"H x 5.5"D

Old Bronze

#### Specs

Description  
1 Light Wall Lantern

Collection  
Lakeshore

Finish Description  
Old Bronze

Fixture Material  
Metal

Glass  
Frosted Glass

Lamping  
1-80 Watt Medium

Voltage  
120V

Certification  
UL Listed, Rated for Wet Environments.

Back Plate Junction Top  
4.6"

Back Plate Length  
13"

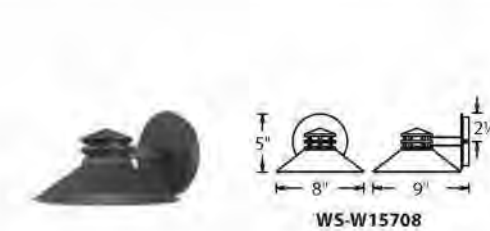
Back Plate Width  
5.6"

Center/Top  
6.5"

Center/Bottom  
6.5"

FIXTURE 'CC'

### SODOR - model: WS-W157 dweILED™ LED Outdoor



WS-W15708



WS-W15710

**PRODUCT DESCRIPTION**  
A Seamwork inspired approach to a traditional lantern design. Sodor is constructed with a solid die-cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

**FEATURES**

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CR: 90
- Dimming: 100% - 5% EV
- Rated life: 50,000 hours
- Input: 120V

#### ORDER NUMBER

	LED Lumens	Delivered Lumens	Finish
8" WS-W15708	8W 750	375	BZ / Graphite
10" WS-W15710	11.5W 1200	560	IGH / Graphite

Example: WS-W15708-GH

FIXTURE 'EE'



**Feature-Benefit Method** mark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/ceiling, inverted mount for landscape/area illumination, post/bollards, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks etc.

#### SPECIFICATION FEATURES

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 28W. The medium housing is available in the 36W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 2-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 500K, 400K and 300K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 20W and 36W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three branch wiring. Back box is an authorized

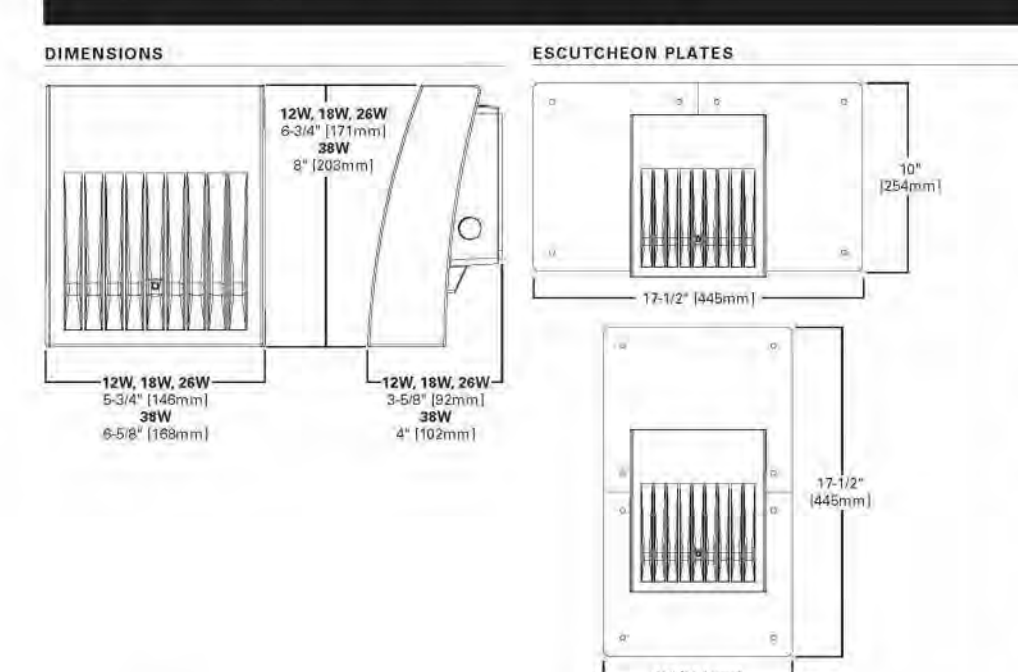
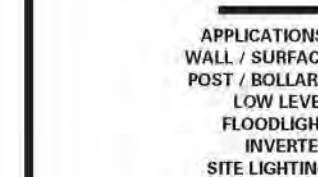
electrical wiring compartment. Integral LED electronic driver incorporates surge protection, 120-277V 50/60Hz or 347V 60Hz models.

**Finish**  
Crosstour is protected with a Super durable TGIC carbon bronze or sunburst white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE POST / BOLLARD FLOODLIGHT REVERSED SITE LIGHTING

### XTOR CROSSTOUR LED



**CERTIFICATION DATA**  
ULUS, Wet Location Listed  
LMF1 (LM80) Compliant  
DALI Compliant  
NEMA Compliant  
IP68 Ingress Protection  
T10000 hrs at 27°C  
Temp. at 27°C  
Temp. at 27°C

**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wire @ 60°C Minimum

**EPA**  
Efficacy Projected (lm/W) 100  
XTOR1B, XTOR3B, XTOR4B (L-1)  
XTOR4B (L-2)

**SHIPPING DATA**  
Approximate Net Weight: 2.7 - 5.25 lbs (1.2 - 2.4 kg)

### Lumark

Product #	Type
WS-W15708	Small
WS-W15710	Large

Example: WS-W15708-GH

FIXTURE 'DD'



88242-780: One Light Outdoor Wall Lantern



Collection: Cape May

One Light Wall Lantern in Burled Iron Finish with Etched Hammered with Light Amber Glass Shade

UPC #: 785652242786

Finish: Burled Iron (780)

#### Dimensions:

Width: 11" Extends: 13 3/4"  
Height: 28 1/4" Wire: 6 1/2"  
Weight: 7.5 lbs. Mounting Proc.: Cap Nuts  
Connection: Mounted To Box

#### Bulbs:

- 1 - Medium A19 120v Max. 120v - Not included
- 1 - LED Medium A19 8w Max. 120v - Not included
- 1 - LED Medium A19 13.5w Max. 120v - Not included

#### Features:

- Easily converts to LED with optional replacement lamp
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

#### Material List:

1 Body - Aluminum - Burled Iron

#### Safety Listing:

Safety Listed for Wet Locations  
Safety Listed for Wet Locations / Non-IC

#### Instruction Sheets:

English (HC-1180)  
French (F-006)

#### Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	Etched Hammered with Light Amber	1				10 15/32	8 5/8				

#### Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	18 1/8	4 1/2	1		9 1/4	17

#### Replacement Bulb Data:

Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI	
9730S	Frosted	A19	E-26 Medium	8	8	120v	50000	450	3000	85
9740S	Frosted	A19	E-26 Medium	8	8	120v	50000	450	2700	85
9730S	Frosted	A19	E-26 Medium	13.5	13.5	120v	50000	800	3000	85
9740S	Frosted	A19	E-26 Medium	13.5	13.5	120v	50000	800	2700	85

#### Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	88242-780	1	785652242786	15.75	13.5	27	3.322	11.6	250	Yes
N/A Pallet		21		48	40	72.5	80.556	243.6		No
NV Pallet		21		48	40	72.5	80.556	243.6		No

#### XTOR - CROSSTOUR LED

LED Information (Wall Mount)	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Diffused Lumens (Wall Mount)	1,416	1,396	1,327	2,136	2,103	1,957	2,761	2,730	2,675	4,269	4,266	3,966
Diffused Lumens (With Flood Accessory Kit)*	1,805	590	840	1,456	1,472	1,299	3,099	3,080	1,585	3,168	3,121	2,885
E.L.C. Rating**	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B1-LB-G9	B2-LB-G9	B2-LB-G9	B2-LB-G9
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CEI Color Rendering Index	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	28W	28W	28W	38W	38W	38W

NOTES:  
\* Floodlight (see data sheet) and cover. \*\* B.L.U. Rating does not apply to floodlighting.

Series *	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1B - Small Door, 12W	[Blank] - Bright White (Standard)	[Blank] - Carbon Bronze (Standard)	PC1 - Photocentric 120V**	WG-XTOR - Wire Guard**
XTOR3B - Small Door, 18W	[Blank] - Bright White (Standard), 3000K	[Blank] - Carbon Bronze (Standard)	PC2 - Photocentric 120V/277V**	XTORFL-BDC - Adjustable Floodlight Kit*
XTOR3B - Small Door, 28W	W - Neutral White, 3000K	W - Neutral White, 3000K	WT - Sunburst White	XTORFL-TM - Translucent Floodlight Kit*
XTOR4B - Medium Door, 38W	Y - Warm White, 3000K	Y - Warm White, 3000K	BK - Black	XTORFL-BDC-MT - Adjustable Floodlight Kit, Sunburst White*
			BE - Bronze	XTORFL-TM-WT - Translucent Floodlight Kit, Sunburst White*
			AP - Grey	EWP-XTOR - Escutcheon Wall Plate, Carbon Bronze
			GM - Graphite Metallic	EWP-XTOR-WT - Escutcheon Wall Plate, Sunburst White
			DP - Dark Platinum	

NOTES:  
1. Change Light Concentration: Qualified and specified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.  
2. Photo Centre, see factory installed.  
3. Cover PCB is UV resistant.  
4. The floodlighting is available with WA option or with 347V. XTOR3B not available with WA and 347V or 120V combination.  
5. Wire guard for wall/ceiling mount. Not for use with floodlight accessories.  
6. Floodlighting is not available with the 347V option. Floodlighting is not available with the 120V option. Floodlighting is not available with the 277V option.

**DATE PREPARED: 01-05-2023**  
**DATE REVISED: TBD**  
**PLANS PREPARED FOR:**  
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

**SHEET  
19 OF 20**

John B. Collins Architect, LLC  
256 S. Broadway St., Denver, CO 80201  
P: 720.334.2210 E: jc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES

FIXTURE FF

Col. #	Job	Type	Approach

**FSL LED DECORATIVE FLOOD**

**SPECIFICATIONS**  
Intended Use: Ultra compact flood with wide beam NEMA 6 x 6 distribution for lighting applications such as safety/security, facade, area, or sign; operating temperature of -35°C to 49°C.

**Construction:**  
• Rugged die-cast aluminum housing with die-cast brass feet  
• High impact UV stabilized acrylic outer lens protects LEDs and allows for cleaning/debris removal  
• Vented housing isolates LED module from driver maximizing product life and performance  
• Vase and vandal shield available

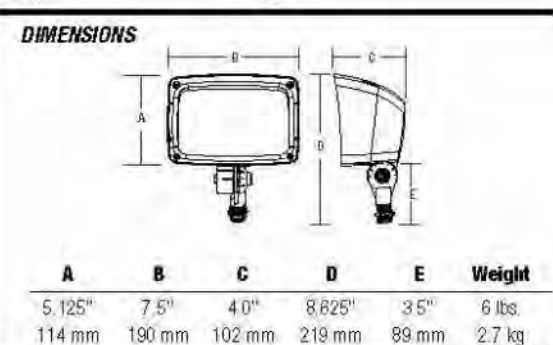
**LED:**  
• 7 high powered LEDs  
• 4000K or 5000K CCT, 70 CRI

**Optical/Electrical**  
• Wide flood beam 6 x 6 distribution for general purpose flood and facade lighting  
• 120-277V operation, 50/60Hz 26w, 1050mA  
• IP66 rated RoHS compliant driver  
• 100V surge protector

**Installation:**  
• Traditional 1/2" x 1/4 NPS threaded adjustable knuckle mounting

**Lighting:**  
• Meets DesignLights Consortium (DLC) qualifications  
• Lighting Facts  
• IP66, Listed to UL1699 for use in wet locations

**Warnings:**  
For more information visit: <http://www.hubbell.com/led>



**CERTIFICATIONS/LISTINGS**

IP66

**ORDERING INFORMATION**

Catalog Number	Mount	Max. Cable Power	Beam Pattern	Wattage	Drive Current	Voltage	Color Temperature	Lumens	LPW	Weight (lb.)
FSL-7	1/2" thread	1790	Wide	26	1050mA	120-277V	5000K	2448	94	6 (2.7)
FSL-7-POI	1/2" thread	1790	Wide	26	1050mA	120-277V	5000K	2448	94	6 (2.7)
FSL-7-FLK	1/2" thread	1794	Wide	26	1050mA	120-277V	4000K	2406	92.5	6 (2.7)
FSL-7-FLK-POI	1/2" thread	1794	Wide	26	1050mA	120-277V	4000K	2406	92.5	6 (2.7)

**ACCESSORIES/REPLACEMENT PARTS - Order Separately**

Catalog Number	Description
FSL-SPC	Polycarbonate lens (Replaces existing acrylic lens)
FSL-VISOR-XXI	Top/Bottom visor (Top holes in lens frame for field installation)
500479456	Acrylic lens w/ gasket
68047957	Top/Bottom Visor Mount
2075010204	Knuckle mount Dark Bronze finish. Contact factory for additional finishes
S-302	Signets 1/2" or 2" pipe (1.5" OD or 2.39" OD) with 1/2" N.P.S.M. nut, Gray
S-302-BE1	Signets 1/2" or 2" pipe (1.5" OD or 2.39" OD) with 1/2" N.P.S.M. nut, Bronze
S-302-BE2	Signets 1/2" or 2" pipe (1.5" OD or 2.39" OD) with 1/2" N.P.S.M. nut, White
TRN-XX	Transition adapter for 1/2" threaded knuckle mount

Frame & Lens, FSL-SPC, FSL-VISOR - 3/4 View, Front View, S-302-XX

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-676-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
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FIXTURE GG1, GG2, GG3

**DESCRIPTION**  
The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/CUL Listed for wet locations.

**Streetworks**

Category #	Type
Project	Date
Comments	
Prepared by	

**SPECIFICATION FEATURES**

**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 33 vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing in IP66 rated.

**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

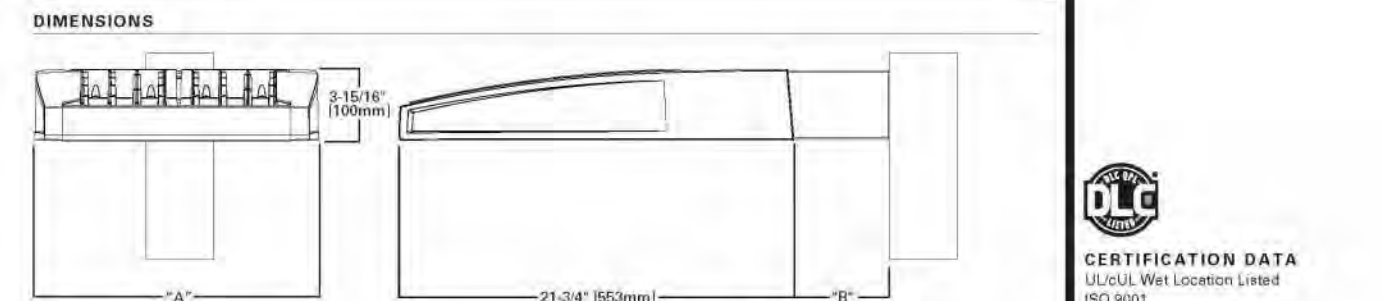
**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 327V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 100V of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 80% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Mounting**  
**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guide allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

**Round pole adapter included:** For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
Five-year warranty.



**CERTIFICATION DATA**  
UL/CUL Wet Location Listed  
90-500T  
LM79 / LM80 Compliant  
50 Vibration Rated  
IP66 Rated  
DesignLights Consortium™ Qualified

**ENERGY DATA**  
**Business LED Driver**  
• 0.9 Power Factor  
• >95% Total Harmonic Distortion  
• 120V 277V 50/60Hz  
• 50V & 480V 60Hz  
• -40°C Min. Temperature  
• 40°C Max. Temperature  
• 50°C Max. Temperature (HA Option)

**DRILLING PATTERN**

2" (51mm) Diameter Hole  
2" (51mm) Diameter Hole  
2" (51mm) Diameter Hole  
2" (51mm) Diameter Hole  
2" (51mm) Diameter Hole

**DIMENSION DATA**

Number of Light Squares	"A" Width	"B" Standard Arm Length	"C" Optional Arm Length	Weight with Arm (lbs.)	EPW with Arm (ft. lbs.)
1-4	15.12" (383mm)	7" (178mm)	10" (254mm)	33	336
6-8	21.58" (549mm)	7" (178mm)	10" (254mm)	46	459
7-8	27.58" (702mm)	7" (178mm)	10" (254mm)	54	537
9-10	33.34" (848mm)	7" (178mm)	10" (254mm)	65	643

NOTE: 1. Column arm length to be used when mounting two fixtures at 90° or 120° apart. 2. EPW calculated with optional arm length.

FIXTURE HH1, HH2

MSR

**GAN GALLEON LED**  
1-10 Light Squares  
Solid State LED  
AREA / ROADWAY LUMINAIRE

**Key features**

- Up to 96 high performance white LEDs
- Can deliver over 20,000 lumens equivalent to 400W HID
- Complete IP66 rated luminaire
- Dedicated LED optics (types 2, 3, 4 & 5)
- Operating lifespan of 100,000 hours (with L70 lumen maintenance at 29°C)
- Ships standard with dimmable (0-10V) driver

**Flat lens** 27 1/2" (699 mm) x 23" (584 mm)  
**Sag lens** 27 1/2" (699 mm) x 23" (584 mm)  
EPA: 2.22 sq ft  
Weight: 5.1 lbs (2.3 kg)

FIXTURE UJ

**HI-LITE MFG. CO., INC.**  
13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: [www.hilitemfg.com](http://www.hilitemfg.com)  
e-mail: [sales@hilitemfg.com](mailto:sales@hilitemfg.com)

**H-LCGU-FB Vapor Jar Collection**

**Job Name:**  
**Type:**  
**Quantity:**

**FINISH** - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, metal, or galvanized finishes.  
Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).  
Upgraded Finishes are: 29, 96, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.  
For interior finish of fixture refer to color chart on pages 344-348.

**SOCKETS/LAMPS** - Available in:  
Incandescent  
- rated 200 watt max/120 volt, medium base.  
Compact Fluorescent(CFL)  
- rated 13/18/26/32/42 watt max/120/277 volt, GX24Q base.  
Metal Halide(MH)  
- rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base. 4KV socket.  
High Pressure Sodium(HPS)  
- rated 50/70/100/150 watt max/120/277 volt, medium base.  
Light-Emitted Diode(LED)  
- See LED specification sheet.

**LENS OPTION** - CLR(Clear), RIB(Clear Ribbed), FR(Frost), RD(Red), BL(Blue), GRN(Green), AM(Amber) and AMC(Amber Crackle) available.

**MOUNTING** - Wall, Flush or Column mount.  
**ACCESSORIES** - Cast guard, Wire guard and Acorn globe available.

**MADE IN THE U.S.A.** Suitable for wet location.

**UL LISTED**

Pendant

**Luminaire ordering guide**

Example: MSR-MSW64LED4K-T-LE3F-10-CDMGMS-5MA-RCD-BXTX

Series	Lamp	CCT	Gen.	Optics	Lens	Voltage	Driver	Adapter	Luminaire opt	Mounting	Pole	Finish
MSR	35W32LED 55W32LED 75W32LED 97W32LED 55W48LED 80W48LED 108W48LED 140W48LED 70W64LED 110W64LED 145W64LED 195W64LED 90W80LED 135W80LED 180W80LED 110W96LED 160W96LED 215W96LED	3K 3000K 4K 4000K	G2 Gen2	LE2 Type I (90°/90°) LE3 Type II (45°/90°) LE3W Type III (60°/90°) wide flat lens LE4 Type IV (45°/90°) LE5* Type V (90°/90°)	F Flat lens S Sag lens	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	CDMG Dynadimmer for standard dimming CLO Pre-set driver to manage lumen depreciation AST Pre-set driver for progressive start-up OTL Pre-set driver to signal end of lamp life DALI Pre-set driver compatible with the DALI control system DMG 0-10 volt	MA1 1 1/2" NPT threaded hole adapter accepting threaded tube MA2 1 1/2" NPT threaded hole insulator accepting threaded tube SMA Decoupled retro side-mounted cast-aluminum accept tubes from 1 1/2" to 2 1/4"	BX Bird repellent DH Opaque decorative hood HS Housie Side Shield PH8 Photoelectric cell PH9 Shorting Cup PHXL Photoelectric cell, extended life RCD 5- Pin receptacle for dimming photoelectric cell RCD7 7- Pin receptacle for photoelectric cell SP2 20kV/20kA Surge Protector (optional)	Consult the Philips web-site for details and the complete line of Mountings	Consult the Philips web-site for details and the complete line of Poles	BE2TX BE6TX BE8TX BG2TX BKTX BRTX GN4TX GN6TX GN8TX GNTX GR GY3TX HP RD2TX RD4TX SP TS WHTX

**SITE LIGHTING CUT SHEETS**  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:  
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

**SHEET 20 OF 20**

John B. Collins Architect, LLC  
250 S. University St., Denver, CO 80202  
P: 720.334.2210 E: [jbc@jbcarch.com](mailto:jbc@jbcarch.com)

**UL LISTED**

TO: Zach Higgins, Community Development Director, Town of Elizabeth  
Applicant – Tahoe Consulting, LLC  
FROM: Travis Reynolds, AICP, Planning Manager, SAFEbuilt Studio  
DATE: February 09, 2023  
SUBJECT: Review – Site Plan Amendment – Pine Ridge Crossing

SAFEbuilt Studio staff provides the following review comments for the Pine Ridge Crossing Site Plan Amendment, generally located on 4.19 acres southeast of the intersection of Elbert Street and East Walnut Street in the Town of Elizabeth. Staff conducted the review in the context of Chapter 16 – Land Use and Development of the Town of Elizabeth Municipal Code, the Town’s Master Plan, and the Elizabeth 86 PUD Development Guide.

Project Summary - The original project was approved through the Town’s Use by Special Review and Site Plan processes. The property is currently zoned Commercial Mixed-Use (CMU). The applicant originally proposed to construct multifamily apartments at the project location. The concept plan included four (4) two-story apartment buildings, parking (both surface and garage), pool, clubhouse/management office and playground. The four apartment buildings included (16) two- bedroom apartments each, totaling (64) proposed units. The approved proposal provided 150 parking spaces, of which 60 are parking spaces provided in garages.

The proposal for a Site Plan Amendment includes the addition of 16-units to the overall development with eight additional units proposed in each of buildings 1 & 2. The additional units are proposed as “garden-level”, lower floor additions to each building bringing the total unit count to 80 overall units. Parking would be increased to 160 spaces to meet the Town’s current parking standards.

Please see the following application specific comments as they relate to the proposed Site Plan Amendment:

Comprehensive Plan, Land Use, & Density– The Town’s comprehensive plan anticipates “Mixed-Use” development in this location with a general range of residential densities from 8-24 dwelling units per acre. The increase to 80 units would seemingly provide an overall density of approximately 19.1 units/acre, an increase of 3.82 units/acre from the previous density or 25%.

It should also be noted that dimensional standards of the Commercial Mixed Use district, of the existing zoning code, establishes a “minimum lot/space size (square feet)” of “2,500 sq. ft.” This is assumed to be a minimum land to unit, area ratio that helps prescribe density for a particular parcel within the Commercial Mixed Use zoning district. Although not expressly denoted in the code, this type of regulation is traditionally used to regulate density. Per application of these zoning parameters, the additional units would require an approximate 1 acre larger parcel size to adhere to the standards. Overall, using these parameters, the 80 total units would require a development property of approximately 4.6 acres.

As noted, the original plan was entitled under a Use by Special Review that includes various criteria for approval. Based on the analysis above, the absence of code language considering amendments to Uses by Special Review, and the accompanying impacts of higher densities (traffic, noise, etc.), Town Staff has determined that it will highlight these items as part of the application for the Site Plan Amendment for consideration by the Commission and Board. Please anticipate discussing the increase in density proposed by this amendment.

Building Heights – Please note that the Town’s adopted regulations highlight the definition of Building Height as the following: “Building height means the vertical distance from the average finished grade to the highest

point of the roof surface. A weighted average on the perimeter of the building may be utilized.” Staff recognizes that the proposed amendment will provide for additional units located below (sub-surface) the surrounding grade for the proposed structure and includes space for accessing and traversing the area at the base of the building. Essentially, no additional height will be added from that approved with the original site plan. Please provide a section drawing or an enhanced, elevation perspective that will more easily depict this construction condition for Town Staff and Board Members. Staff recognizes that there is technically no increase in height to the proposed structures, however, a larger bulk of the building will be exposed.

Landscaping

Please note that various elements of the approved Landscape plan are highlighted for changes under this proposal. Please provide remedy for the following required landscape standards:

Per 16-2-50 2(b)&(c) of the Elizabeth Land Development Code (LDC), at least seventy-five percent (75%) of the area required to be landscaped shall have a ground cover of living plant materials, including but not limited to grass and other recognized ground-covering plant materials. The remaining twenty-five percent (25%) of the area required to be landscaped may be covered with bark, wood chips, wood shavings, rock, stones or other materials approved during the site plan processes. As denoted for change, the overall required landscape area appears to be comprised of 31% non-living material and 69% living material. Please adjust these to depict compliance.

All development projects requiring off-street parking spaces for fifty (50) or more cars shall allocate a minimum area equal to ten percent (10%) of the total area covered by the parking lot for landscaped islands. The area covered by the parking lot shall include parking stalls and vehicular circulation aisles, but exclude driveways, access drives, loading areas and similar access features. As proposed, it appears that landscape islands comprise approximately 9% (2,537/27,388) of the parking lot square footage. Please adjust this item to depict compliance.

Upon resubmittal of the plans, please provide a written narrative that outlines the various changes to the landscape plans as compared to the original approved plans.

Lighting

Per 16-8-20 (b)(6) - Light levels measured twenty (20) feet beyond the site's property line that is adjacent to any residential property line or public right-of-way shall never exceed 0.1 foot-candles as a direct result of the on-site lighting. It appears that the levels are exceeded in the SW corner of the site. Please review and remedy for compliance.

Submittal requirements for Site Plan review or amendment-

REQUIREMENT	SUBMITTED	REMEDY/COMMENT
Completed land use application/fees	YES	
ESCROW paperwork/ account		
Narrative Applicant's name Proposal Current zoning General development schedule and phasing (if applicable)	YES	
Warranty deed	YES	
Interactive title commitment current within 30 days of submittal	YES	

Disclosure letter/letter of consent from property owner	YES	
Site plan (requirements specified in code-)	YES	<b><u>SEE COMMENTS ABOVE</u></b>
Landscape plan	YES	<b><u>SEE COMMENTS ABOVE</u></b>
Drainage memo	YES	<b><u>SEE COMMENTS FROM CIVIL ENGINEERING DISCIPLINE</u></b>
Colored building elevations of all sides (requirements specified in code; also see Design Standards and Guidelines)	YES	
Color and materials boards	YES	COLOR RENDERINGS PROVIDED
Diagram or schematic showing rooftop mechanical structures	NO	<b><u>PLEASE CONFIRM IF ANY MECHANICAL EQUIPMENT WILL BE PLACED ON THE GROUND AT THE PERIMTER OF ANY STRUCTURES</u></b>
<b>Plat</b> or metes and bounds description of property verified and signed by registered land surveyor in State	NO	<b><u>PLEASE SUBMIT THE CURRENT PLAT OF THE PROPERTY</u></b>
Site lighting photometric plan	YES	<b><u>SEE COMMENTS ABOVE</u></b>
Traffic impact study	NO	<b><u>SEE COMMENTS FROM TRAFFIC ENGINEERING CONSULTANT</u></b>

Please provide remedy for the comments above and outlined in the attached memos. Please resubmit the information for confirmation of compliance.



February 3, 2023

Ms. Dianna Hiatt  
Community Development Administrative Assistant  
Town of Elizabeth  
151 S Banner Street  
Elizabeth, CO 80107

**RE: Pine Ridge Crossing – Site Plan Amendment 1/2023**

Dear Ms. Hiatt

CORE Consultants has completed our review of the application to approve a Site Plan Amendment for Pine Ridge Crossing Apartments located on Elizabeth St. Our comments are provided on the attached red lined plans which (upon Town review) should be forwarded to the Applicant. We do note the following items of concern:

1. There remains some outstanding Easement dedications and vacations on this project that need to be rectified. Our last contact with IREA (Core Elec) occurred on 6/14/22, when we were informed that IREA could not release certain Easements until The Owner paid for some utility relocation.
2. The overall grading plan does not provide the grading detail needed at the new entry area retaining walls which have been triggered by the garden level units.
3. An addendum to the drainage report is needed to discuss the increase in impervious area and changes needed to the storm drainage facilities including the pond and its outlet control box.

Should you have any questions, please feel free to contact me at (303) 730-5985 or by email at [mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com)

Sincerely,  
**CORE Consultants, Inc.**

A handwritten signature in blue ink, appearing to read "MN".

Manny Nuno, PE, CFM, LEED AP, CPESC  
Project Manager



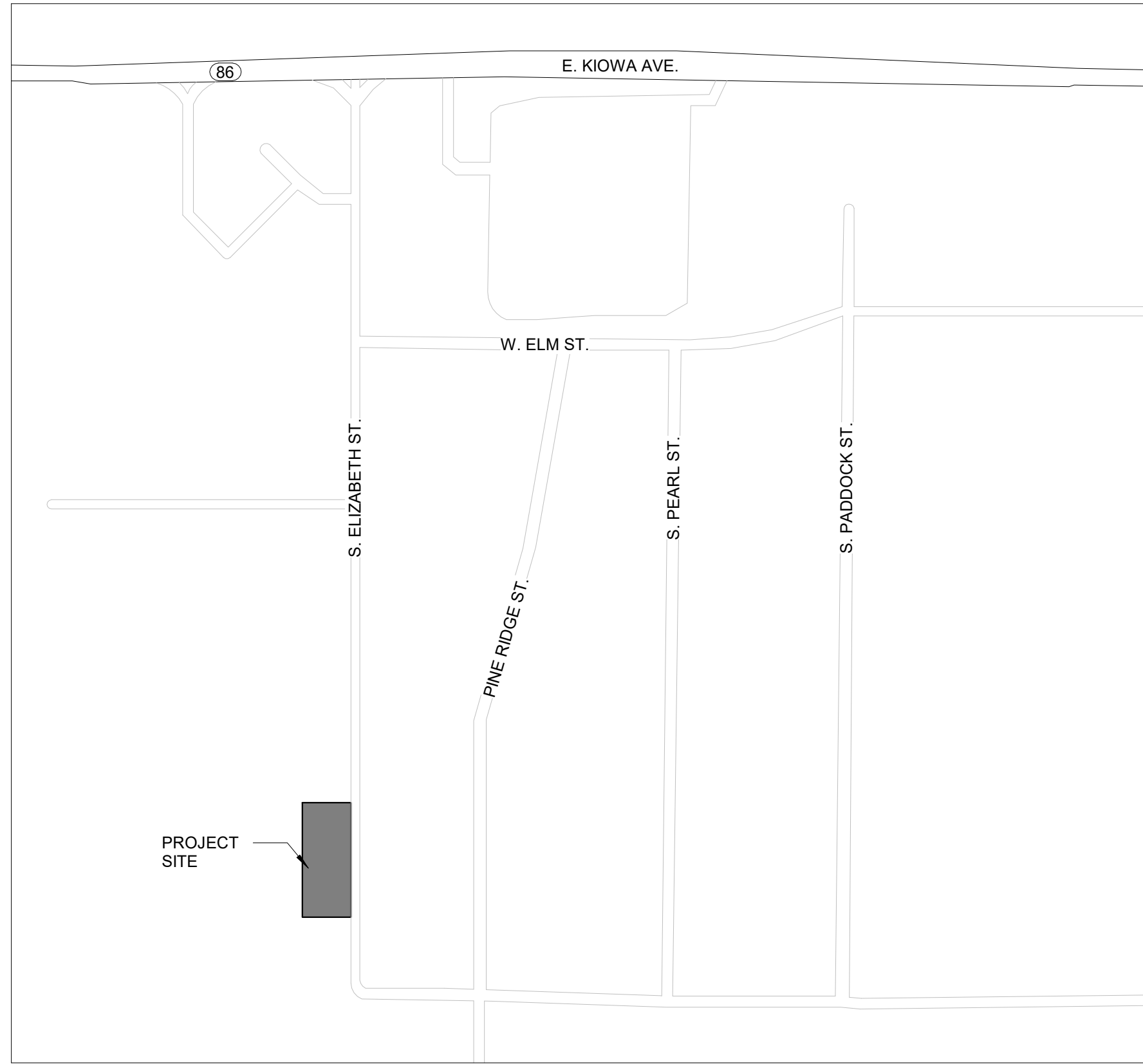
3473 South Broadway  
Englewood, Colorado 80113  
303.703.4444  
[LIVEYOURCORE.COM](http://LIVEYOURCORE.COM)

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

## SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160 4.187 ACRES

### SITE PLAN NOTES:

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE TOWN PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENT, LOTS,TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
5. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 16-8-20 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
6. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH TOWN SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
7. FIRE HYDRANTS MUST MEET OR EXCEED ELIZABETH FIRE PROTECTION DISTRICT STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
8. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
9. ALL SIDEWALKS AND RAMPS MUST CONFORM TO TOWN STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- 10.COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS IN COMMON OPEN SPACE AREAS.
11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO TOWN OF ELIZABETH STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
12. **TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
13. **AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
14. **CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCIES PRIOR TO THE ISSUANCE OF BUILDING PERMITS.



VICINITY MAP  
SCALE: N.T.S.

### ARCHITECT STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ARCHITECT IN THE STATE OF COLORADO, HEREBY ATTEST THAT THIS SITE PLAN AND SET OF DRAWINGS HAVE BEEN DESIGNATED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH DESIGN STANDARDS

REGISTERED ARCHITECT \_\_\_\_\_ DATE \_\_\_\_\_

### CIVIL ENGINEER'S STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH CONSTRUCTION STANDARDS

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

### CLERK AND RECORDER

STATE OF COLORADO )  
) SS  
COUNTY OF ELBERT )  
I hereby certify that this site plan was filed in my office on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ A.D., at \_\_\_\_\_ a.m./p.m., and was recorded at Reception Number \_\_\_\_\_  
(Signature)  
County Clerk and Recorder

### PROPERTY OWNER

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREIN IN THE TOWN OF ELIZABETH, COUNTY OF ELBERT AND STATE OF COLORADO.  
  
NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC  
  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

### LIST OF CONTACTS:

OWNER:	CIVIL ENGINEER / SURVEYOR:	ELECTRICAL ENGINEER	TRAFFIC ENGINEER
NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC 14205 E. DAVIES AVENUE CENTENNIAL, CO 80112	CKE ENGINEERING INC. 14257 WEST EVANS CIRCLE LAKEWOOD, CO 80228	BOULDER ENGINEERING COMPANCY 1717 15TH STREET BOULDER, CO 80302	EST, INC 1873 S. BELLAIRE STREET, SUITE 1101 DENVER, CO 80222
ARCHITECT:	LANDSCAPE ARCHITECT:	GEOTECHNICAL SERVICES:	
PWN ARCHITECTS & PLANNERS, INC. 9250 E. COSTILLA AVE., SUITE 620 GREENWOOD VILLAGE, CO 80112	BASELINE ENGINEERING CORPORATION 112 N. RUBEY DRIVE, #210 GOLDEN, CO 80403	GEOSCIENCE & DESIGN, INC. P.O. BOX 68 FRANKTOWN, CO 80116	

### SITE DATA:

<b>EXISTING ZONING:</b> CMU - COMMERCIAL MIXED USE (USE BY SPECIAL REVIEW)			
<b>SITE BREAKDOWN:</b>			
TOTAL NET SITE AREA:	181,824 S.F.	4.17 ACRES	100%
BUILDING COVERAGE:	54,470 S.F.	1.25 ACRES	30%
DRIVE, WALKS & PARKING:	89,479 S.F.	2.05 ACRES	49%
LANDSCAPE COVERAGE:	37,875 S.F.	0.87 ACRES	21%rv
<b>TOTAL:</b>	<b>181,824 S.F.</b>	<b>4.17 ACRES</b>	<b>100%</b>
<b>CURRENT ZONING:</b> CMU - COMMERCIAL MIXED USE			
<b>GROSS DENSITY:</b> 20 DU/ACRE			
<b>BUILDING COVERAGE:RV:</b>			
BUILDING	FOOTPRINT AREA	CONSTRUCTION TYPE	SPRINKLER SYSTEM
BUILDING TYPE 1, BUILDING 4	10,208 S.F.	TYPE VB	NFPA 13R
BUILDING TYPE 1B, BUILDING 1	10,004 S.F.	TYPE VB	NFPA 13R
BUILDING TYPE 2, BUILDING 3	10,004 S.F.	TYPE VB	NONE
BUILDING TYPE 2B, BUILDING 2	10,208 S.F.	TYPE VB	NONE
CLUBHOUSE	2,026 S.F.	TYPE VB	NONE
<b>PARKING REQUIRED:</b>			
STANDARD PARKING:	EACH DWELLING UNIT:	2 REQUIRED	
HANDICAP PARKING:	101-199 PARKING SPACE	6 REQUIRED	
<b>TOTAL:</b>	<b>(80 UNITS X 2 SPACES)</b>	<b>160 SPACES REQUIRED</b>	
<b>PARKING PROVIDED:</b>			
GARAGE STALL - FULL-SIZE AUTO		32 PARKING SPACES	
GARAGE STALL - OVERSIZED AUTO		32 PARKING SPACES	
GARAGE VAN ACCESSIBLE		2 PARKING SPACES	
(90 DEGREE ANGLE: 9'-0" X 18'-0" FULL-SIZE AUTO)		90 PARKING SPACES	
HANDICAP PARKING:		4 PARKING SPACES	
<b>TOTAL:</b>		<b>160 SPACES PROVIDED</b>	
<b>PARKING BREAKDOWN:</b>			
STANDARD	128 (50%)		
OVERSIZED	33 (25%)		
<b>BUILDING TYPES:</b> MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES			
	HEIGHT	TOTAL # ON SITE	2 BEDROOMS
BUILDING TYPE 1	2 STORY	1	14
BUILDING TYPE 1B	3 STORY	1	21
BUILDING TYPE 2	2 STORY	1	16
BUILDING TYPE 2B	3 STORY	1	24
BUILDING TYPE 3	1 STORY	1	-
BUILDING TYPE 4	1 STORY	2	-
CLUBHOUSE		1	-
MAIL		1	-
TRASH ENCLOSURES		2	-
<b>TOTAL:</b>			
<b>TOTAL APT. UNITS: 80 UNITS ON SITE</b>			<b>75</b>
			<b>5</b>
			<b>64</b>
			<b>2</b>
<b>SETBACK DATA:</b> 15'-0" TO E. ELIZABETH STREET. 5'-0" TO NON-ARTERIAL STREETS			
<b>PROPOSED BUILDING HEIGHT:</b>			
BUILDING TYPE	HEIGHT		
CLUBHOUSE	20' - 6"		
BUILDING TYPE 1	31' - 8"		
BUILDING TYPE 2	31' - 4"		
BUILDING TYPE 3	19' - 9"		
BUILDING TYPE 4	20' - 3"		
MAIL KIOSK	11' - 10"		
POOL EQUIPMENT	11' - 5"		

### SHEET INDEX

1	COVER SHEET	11	BUILDING TYPE 1 ELEVATIONS
2	ARCHITECTURAL SITE PLAN	12	BUILDING TYPE 1B ELEVATIONS
3	GRADING AND DRAINAGE PLAN	13	BUILDING TYPE 2 ELEVATIONS
4	UTILITY PLAN	14	BUILDING TYPE 2B ELEVATIONS
5	LANDSCAPE SCHEDULE	15	BUILDING TYPE 1 AND 2 PERSPECTIVES
6	LANDSCAPE PLAN	16	BUILDING TYPE 3 AND 4 ELEVATIONS
7	LANDSCAPE PLAN	17	ACCESSORY BUILDING ELEVATIONS
8	PLAYGROUND DETAILS	18	SITE PHOTOMETRIC PLAN
9	LANDSCAPE PLAN	19	SITE LIGHTING CUT SHEET
10	CLUBHOUSE ELEVATIONS	20	SITE LIGHTING CUT SHEET

### COVER SHEET

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

# NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

## SHEET 1 OF 20



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES

ENGINEERING COMMENTS -  
SP - 1/2023

- NOTES**
- 1 A TOTAL OF 2 TYPE "A" UNITS ARE PROVIDED. SEE SITE PLAN FOR LOCATIONS.
  - 2 REFER TO CIVIL CONSTRUCTION DRAWINGS FOR RETAINING WALL LOCATIONS.
  - 3 REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN AND LAYOUT.
  - 4 VERIFY PARKING SIGNAGE WITH CURRENT CODES AND STANDARDS.
  - 5 COORD. ALL SIDEWALK CHASES LOCATION AND DESIGN W/ CIVIL.

**ACCESSIBLE UNIT REQUIREMENT**

IBC REQUIREMENT:  
2 TYPE "A" UNITS ARE REQUIRED PER 2018 IBC 1107.6.2.1.1  
(80 TOTAL UNITS X 2% = 2 UNITS)

PROVIDED UNITS:  
TWO BEDROOM - UNIT A1, UNIT A2, UNIT B1 & UNIT B2  
THREE BEDROOM - UNIT C1 & C2

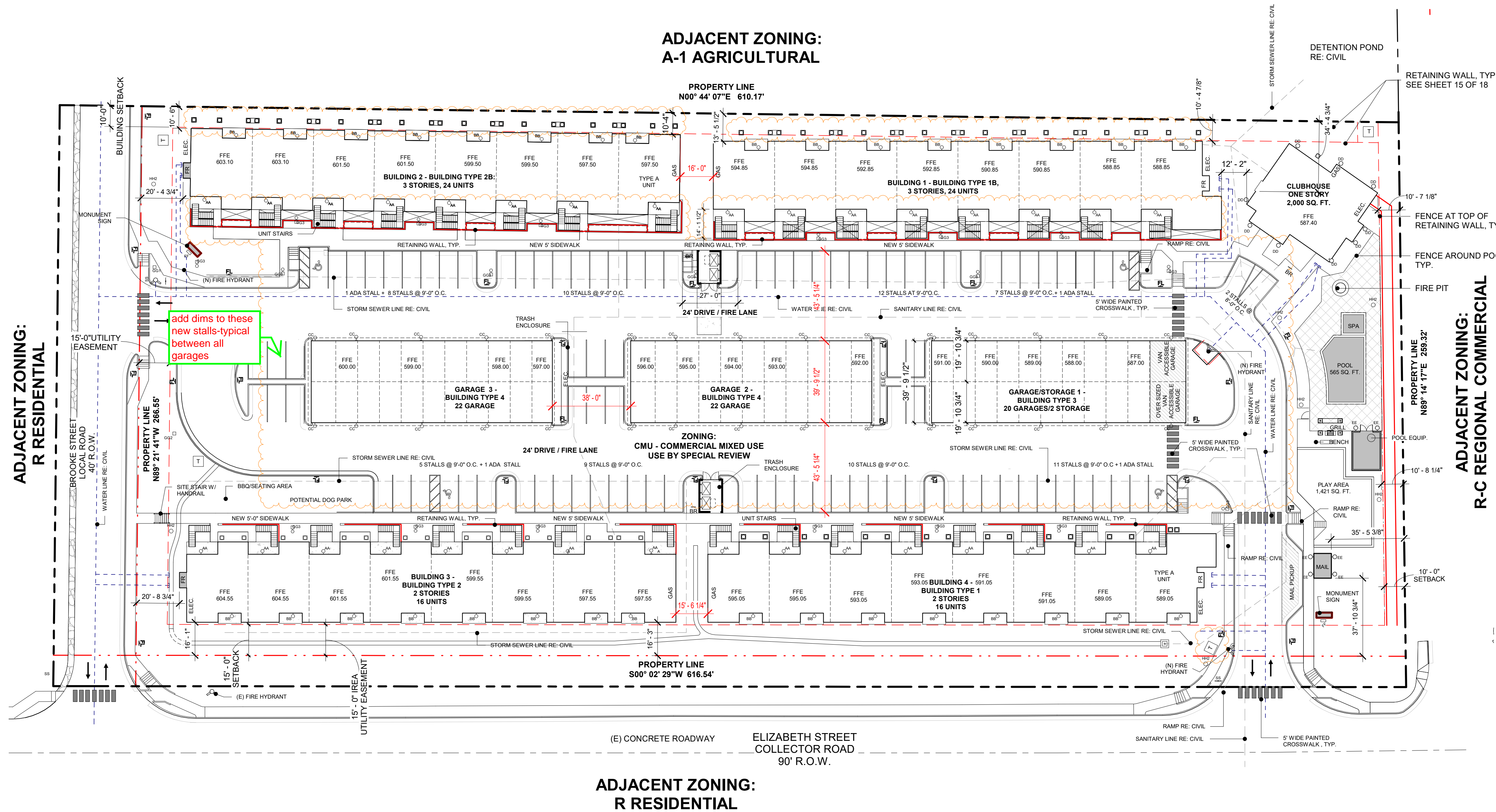
COLORADO TITLE 9 REQUIREMENT:

TYPE A UNITS: 2 UNITS PROVIDED X 6 =	12 POINTS
TYPE B UNITS: 78 UNITS PROVIDED X 2 =	156 POINTS
TOTAL	168 POINTS PROVIDED
	168 POINTS REQUIRED

**LAND USE DATA:**

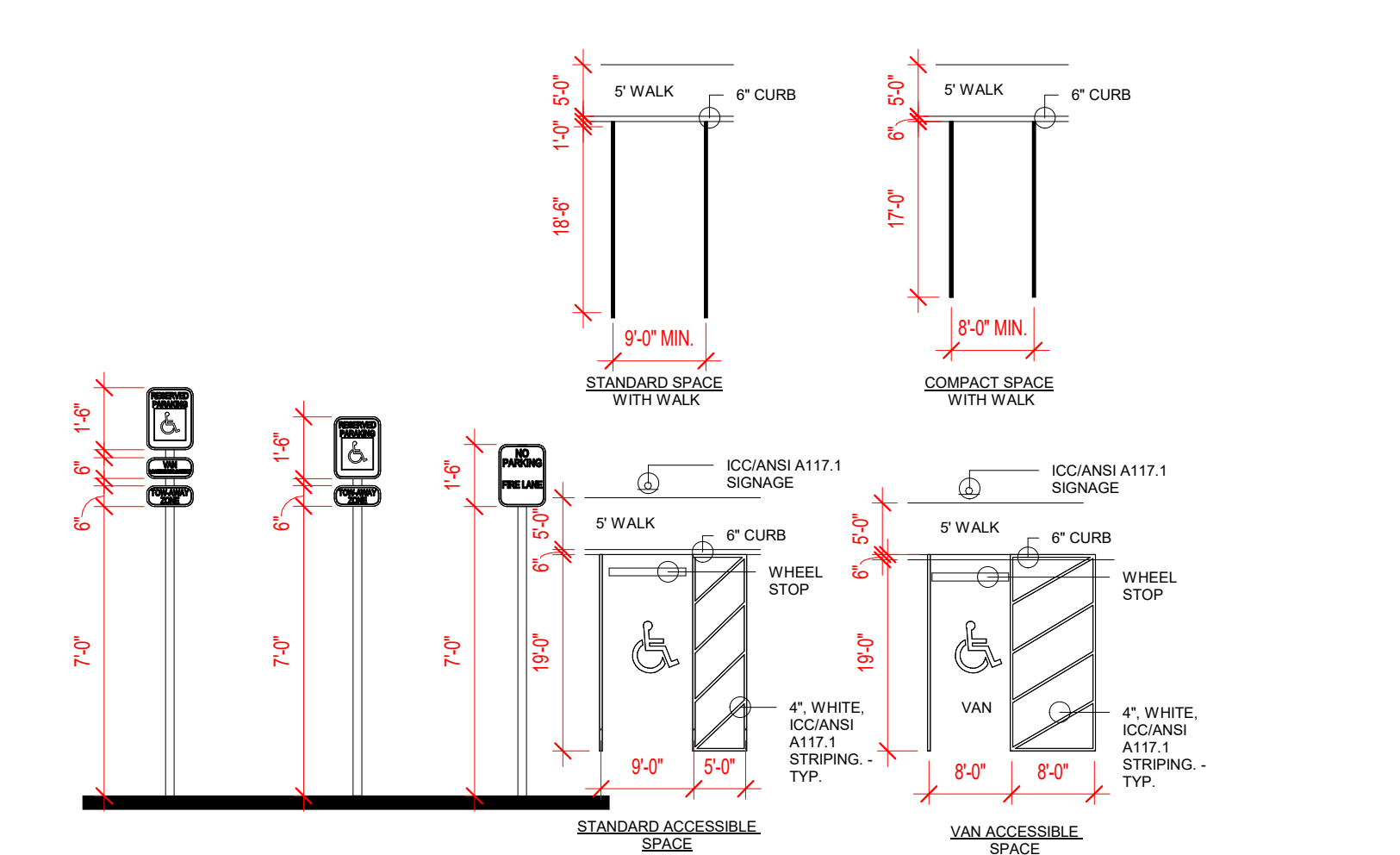
TOTAL UNITS	SITE AREA	UNIT/ACRE
80 UNITS	4.187 ACRES	19.1 UNITS/ACRE

**ADJACENT ZONING:  
A-1 AGRICULTURAL**



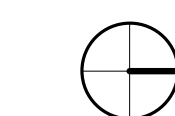
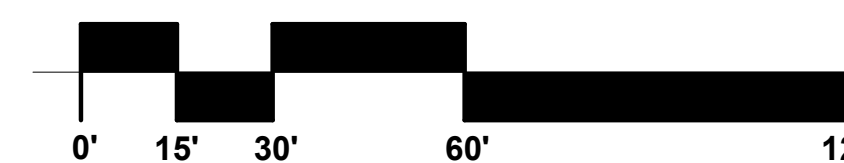
**SITE PLAN KEY:**

	TYPE "A" UNIT		TURN ARROW
	ACCESSIBLE CURB RAMP		ADA ACCESS ROUTES
	HANDICAP PARKING SPACE		RETAINING WALL
	RESERVED HANDICAP PARKING SIGN		EXPOSED FOUNDATION
	STOP SIGN		LIGHT FIXTURE (AA)
	FIRE LANE SIGN LOCATION TO BE COORDINATED WITH COMMERCIAL CITY TRAFFIC ENGINEER (SEE DETAILS)		LIGHT FIXTURE (BB)
	BIKE RACK		LIGHT FIXTURE (CC)
	2 HR FIRE SEPARATION WALL		LIGHT FIXTURE (DD)
	CURB CHASE		LIGHT FIXTURE (EE)
	FIRE HYDRANT		LIGHT FIXTURE (FF)
	FIRE RISER ROOM W/ APPROVED KNOX BOX		LIGHT FIXTURE (GG1, GG2 & GG3)
	LOCATION OF ELECTRICAL METERS		LIGHT FIXTURE (HH2)
	LOCATION OF ELECTRICAL METERS		EXIST. FIRE HYDRANT
	CONDENSER		EXIST. ELECTRICAL BOX
	TRANSFORMER		EXIST. TRANSFORMER
			EXISTING TREE, NONE TO REMAIN



SITE PLAN - PLANNING

1" = 30'-0"



ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

ARCHITECTURAL SITE PLAN

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**2 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160**

4.187 ACRES

EXISTING	PROPOSED
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Need Drain report addendum to discuss increases in "I" factor due to additional parking and possible changes to pond volumes and storage requirements

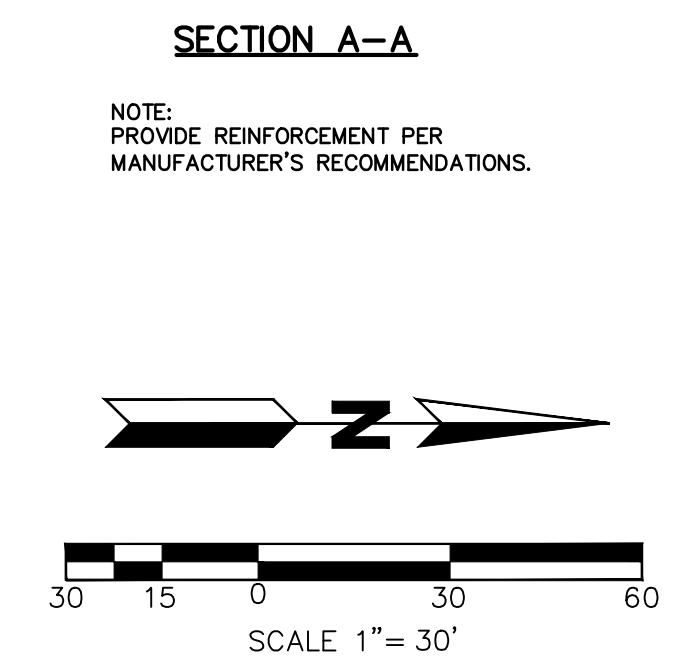
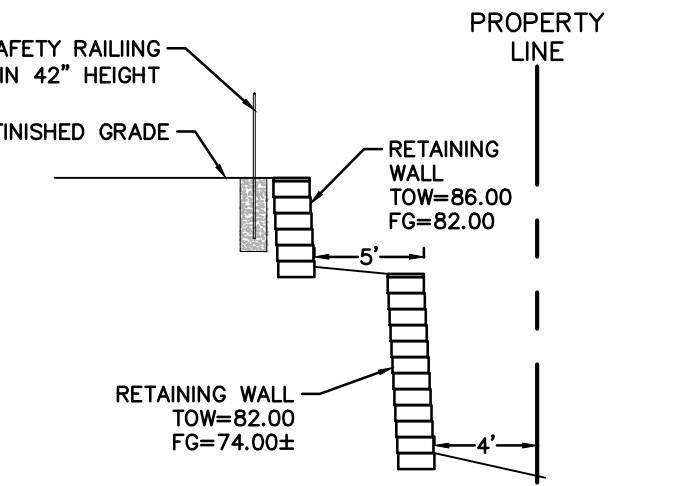
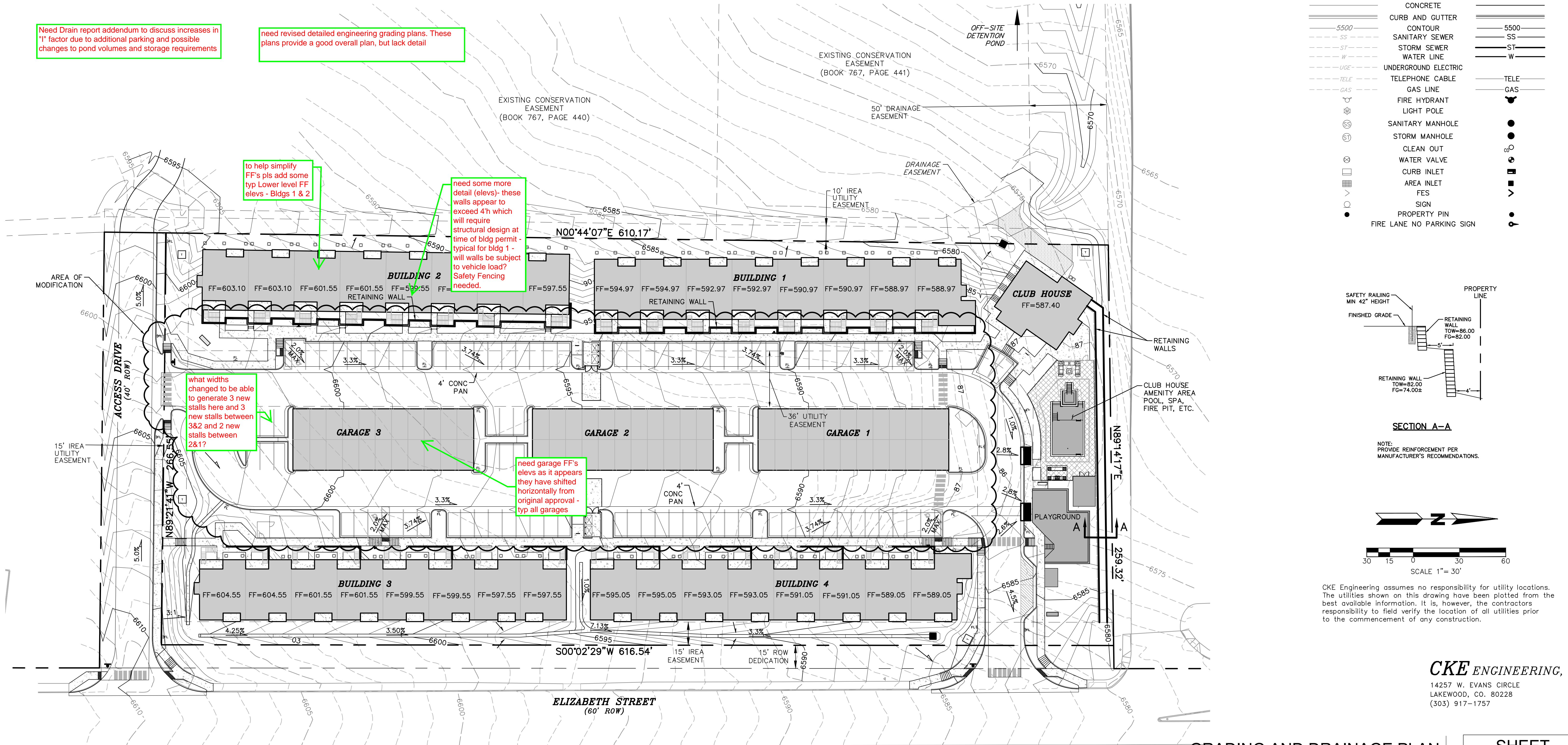
need revised detailed engineering grading plans. These plans provide a good overall plan, but lack detail

to help simplify FF's pls add some typ Lower level FF elevs - Bldgs 1 & 2

need some more detail (elevs)- these walls appear to exceed 4'h which will require structural design at time of bldg permit - typical for bldg 1 - will walls be subject to vehicle load? Safety Fencing needed.

what widths changed to be able to generate 3 new stalls here and 3 new stalls between 3&2 and 2&1?

need garage FF's elevs as it appears they have shifted horizontally from original approval - typ all garages



CKE Engineering assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

**CKE ENGINEERING, INC.**  
14257 W. EVANS CIRCLE  
LAKEWOOD, CO. 80228  
(303) 917-1757

**GRADING AND DRAINAGE PLAN**

DATE PREPARED: 1-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

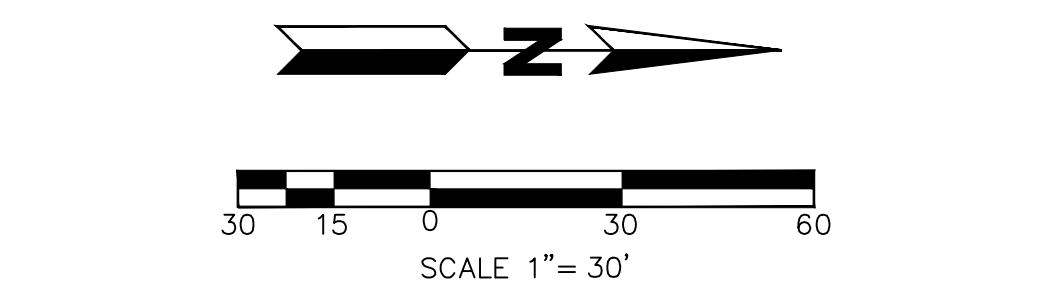
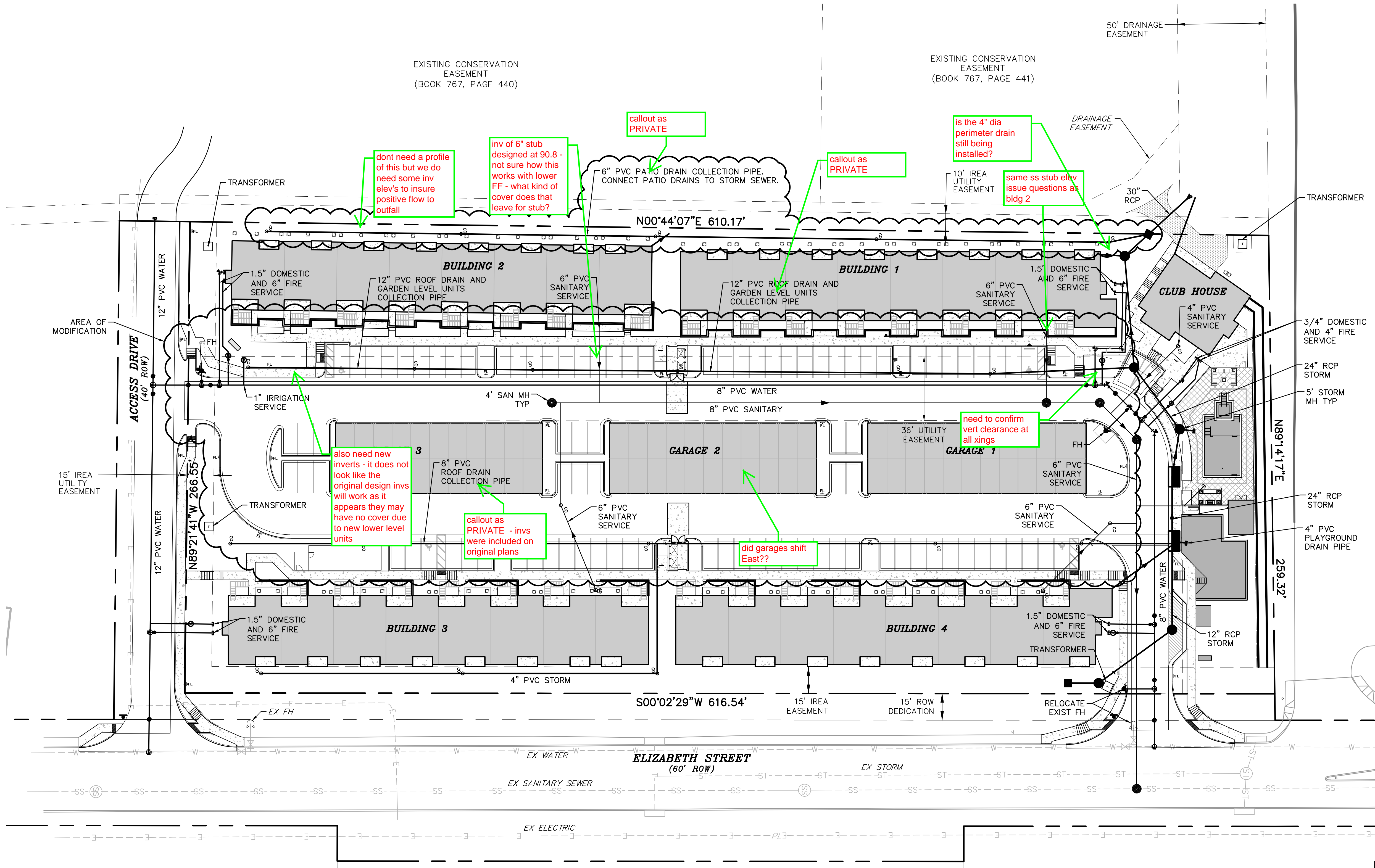
SHEET  
**3 OF 20**

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES**

## LEGEND

EXISTING		PROPOSED
--- (solid)	PROPERTY LINE	--- (dashed)
--- (dashed)	RIGHT-OF-WAY	--- (dashed)
--- (dashed)	EASEMENT	--- (dashed)
--- (dashed)	CONCRETE	--- (dashed)
--- (dashed)	CURB AND GUTTER	--- (dashed)
--- (dashed)	CONTOUR	--- (dashed)
--- (dashed)	SANITARY SEWER	--- (dashed)
--- (dashed)	STORM SEWER	--- (dashed)
--- (dashed)	WATER LINE	--- (dashed)
--- (dashed)	UNDERGROUND ELECTRIC	--- (dashed)
--- (dashed)	TELEPHONE CABLE	--- (dashed)
--- (dashed)	GAS LINE	--- (dashed)
⊕	FIRE HYDRANT	⊕
⊙	LIGHT POLE	⊙
⊙	SANITARY MANHOLE	⊙
⊙	STORM MANHOLE	⊙
⊙	CLEAN OUT	⊙
⊙	WATER VALVE	⊙
⊙	CURB INLET	⊙
⊙	AREA INLET	⊙
⊙	FES	⊙
⊙	SIGN	⊙
⊙	PROPERTY PIN	⊙
⊙	FIRE LANE NO PARKING SIGN	⊙



CKE Engineering assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

**CKE ENGINEERING, INC.**  
14257 W. EVANS CIRCLE  
LAKEWOOD, CO. 80228  
(303) 917-1757

UTILITY PLAN  
DATE PREPARED: 1-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:  
**SHEET 4 OF 20**

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

### PLANT SCHEDULE:

SYMBOL	TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	HT	WIDTH	HYDRO-ZONE	NOTES	%
<b>DECIDUOUS CANOPY TREES</b>										
○	ACE	6	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	B&B	24%
	AGG	1	AUTUMN GOLD GINKGO	GINKGO BILOBA 'AUTUMN GOLD'	2" CAL.	40	30	M-H	B&B	4%
	CTA	4	CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	B&B	16%
	HAC	6	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	B&B	24%
	KCT	8	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	B&B	32%
Subtotal 25										
<b>EVERGREEN TREES</b>										
⊛	LBP	4	LIMBER PINE	PINUS FLEXILIS	6" HT	35	15	L-M	B&B	100%
Subtotal 4										
<b>DECIDUOUS SHRUBS</b>										
	BMS	32	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M		6%
	CPB	26	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	5 GAL.	2	3	L-M		5%
	CSR	27	CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL.	3	3	M		5%
	FWS	30	FOUR WING SALT BUSH	ATRIPLEX CANESCENS	5 GAL.	6	3	L		10%
	KDD	48	KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL.	3	3	M		9%
	KOR	179	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M		35%
	KSV	38	KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL.	6	6	M-H		7%
	MAE	5	MANHATTAN EUONYMUS	EUONYMUS KIANTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M		1%
	PML	19	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M		4%
	RUS	45	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L		9%
	WSC	39	WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL.	5	5	L-M		8%
	YTD	2	YELLOW TWIG DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL.	6	6	M		0%
Subtotal 510										
<b>LOW SPREADING SHRUBS</b>										
⊕	ARJ	25	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL.	2	6	L-M		8%
	BRD	75	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	1	6	L-M		25%
	CCJ	38	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL.	1	6	L-M		13%
	EFJ	6	EFFUSA COMMON JUNIPER	JUNIPERUS COMMUNIS 'EFFUSA'	5 GAL.	2	6	L		2%
	GLS	38	GRO LOW SUMAC	RHUS AROMATICA 'GRO LOW'	5 GAL.	3	7	L-M		13%
	HCS	30	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL.	3	5	L-M		10%
	PBC	57	CREEPIING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2	5	L-M		19%
	PWJ	28	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL.	1	8	L-M		9%
Subtotal 297										
<b>PERENNIALS W CEDAR MULCH</b>										
⊗	AJ	58	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS	2	1.5	L-M	18" O.C.	
	DF	48	DWARF BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS	1	2	L-M	18" O.C.	
	MN	46	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS	2	2	M	18" O.C.	
	PM	68	PARDON ME DAILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS	1.5	1.5	M	18" O.C.	
Subtotal 220										
<b>ORNAMENTAL GRASSES</b>										
⊙	BBG	49	BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL.	6	3	L-M		
	BLA	36	BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L		
	FRG	105	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M		
	PDG	47	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL.	3	3	L-M		
	PMG	63	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M		
	SWG	88	SWITCH GRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M		
Subtotal 388										

☛	NATIVE GRASS SEED (VERY LOW WATER USE)
⊗	NATURE'S PRAIRIE SOD BY TURFMASTER SOD (970) 493.8311

### LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" WESTERN RIVER ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL ORNAMENTAL GRASS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY PERFORATED GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER. CONTACT LL JOHNSON FOR EDGER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES & SHRUBS ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE COLORADO GEOSCIENCE & DESIGN REPORT #17-839 JANUARY 23.2018 #11. SURFACE DRAINAGE: THE OWNERS SHOULD BE CAUTIONED REGARDING THE INSTALLATION OF A LAWN ADJACENT TO THE FOUNDATION WALLS. LAWN IRRIGATION MUST BE MORE THAN FIVE FEET (5') FROM THE FOUNDATION WALLS TO PREVENT WETTING OF THE SUBSURFACE SOILS. LAWN AND/OR PLANTS SHOULD NOT BE PLANTED WITHIN FIVE FEET (5') OF THE FOUNDATION WALLS. WE RECOMMEND PROVIDING DECORATIVE GRAVEL OR BARK AROUND THE FOUNDATIONS, AS SHOWN IN FOUNDATION GRADING DETAIL 2. THIS METHOD WILL PREVENT PONDING OF WATER AND PROVIDE FOR PROPER DRAINAGE FROM THE FOUNDATIONS. NON-WOVEN GEO TEXTILE FABRIC CAN BE PLACED UNDER THE MULCH TO REDUCE WEED GROWTH AND STILL ALLOW SOME EVAPORATION OF SOIL MOISTURE. SPRINKLER HEADS AND EMITTERS SHOULD NOT BE LOCATED OR SPRAY WITHIN 5 FEET OF THE FOUNDATION OR PATIO SLABS AND BEYOND BACKFILL ZONES. PLANTINGS NEAR THE FOUNDATIONS SHOULD NOT TRAP SURFACE RUNOFF. FURTHERMORE, SIDEWALKS OR LOW-WATER CONSUMPTION GROUND COVER ARE RECOMMENDED TO FURTHER REDUCE THE RISK OF WATER INFILTRATION NEAR THE FOUNDATION WALLS. ALL PRESSURIZED IRRIGATION LINES AND VALVE BOXES SHOULD BE LOCATED AT LEAST 10 FEET FROM THE FOUNDATION OR PATIO SLABS."

SITE DATA TABLE						
Site Data	Actual SF	Min Area SF	% Required	% Max	% Provided	CY Compost Req'd @ 4/1000 SF
Gross Site Area:	181,824	N.A.	N.A.	N.A.	100%	N.A.
Building Coverage:	54,470	N.A.	N.A.	N.A.	30%	N.A.
Hard Surface Area:	89,479	N.A.	N.A.	N.A.	49%	N.A.
Total Landscaped Area (Excluding R.O.W.)	37,875	N.A.	N.A.	N.A.	N.A.	See below
Subtotal Landscaped Area (Excluding R.O.W. & Parking Islands)	35,338	27,274	15%	N.A.	19%	See below
Native Grass	222	N.A.	N.A.	N.A.	N.A.	1
Planting Beds (Shrubs, Perennials, Ornamental Grasses)	35,940	N.A.	N.A.	N.A.	N.A.	See below
Non-Living Landscape	11,607	N.A.	N.A.	25%	31%	0
Irrigated Sod (Excluding R.O.W.)	460	N.A.	N.A.	N.A.	1%	See below
Playground area	1,253	N.A.	N.A.	N.A.	N.A.	N.A.
Permanently Irrigated Landscape (Including R.O.W.)	39,493	N.A.	N.A.	N.A.	N.A.	158
Native Grass (R.O.W.)	12,410	N.A.	N.A.	N.A.	N.A.	50
Planting Beds (R.O.W.) (Shrubs, Perennials, Ornamental Grasses)	3,095	N.A.	N.A.	N.A.	N.A.	N.A.
TOTAL CY OF COMPOST:						209

LANDSCAPE REQUIREMENTS															
Description	Parking Lot SF	Min. 10% SF Landscaped	Min. 15% SF Landscaped	Square Foot Landscaped	Trees Required 1/1500 SF	Trees Required 1 per Island	Linear Feet	1 Tree per 40 LF	Trees Provided	Shrubs Required 5/1500 SF	Shrubs Required 5/40 LF	# of Parking Islands	Shrubs Required # of Islands X 4+ (SF-Qty of Islands X 150/15)	Shrubs Provided	Ten (10) shrubs substituted for one (1) tree
ROW (Elizabeth St)	N.A.	N.A.	N.A.	13,322	N.A.	N.A.	522	13	14	N.A.	N.A.	N.A.	N.A.	75	N.A.
ROW (Private St)	N.A.	N.A.	N.A.	2,183	N.A.	N.A.	208	5	0	N.A.	N.A.	N.A.	N.A.	0	N.A.
Parking Lot															
interior Islands	27,388	2,739	N.A.	2,537	N.A.	10	N.A.	N.A.	10	N.A.	N.A.	10	109	93	0
Landscape Areas (Excludes Parking Lot Islands & ROW)	N.A.	N.A.	27,274	39,574	18	N.A.	N.A.	N.A.	5	91	N.A.	N.A.	N.A.	639	55
TOTAL TREES REQUIRED:									46						
SUBTOTAL TREES PROVIDED:									29						
ADDITIONAL TREES PROVIDED BY SHRUB SUBSTITUTION:									55						
TOTAL TREES PROVIDED:									84						
TOTAL SHRUBS REQUIRED:									200						
TOTAL SHRUBS PROVIDED:									807						

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

NATIVE GRASS SEED MIX - NON-IRRIGATED (TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT)		
LOW GROW MIX - DRILL SEEDED (INCREASE SEED RATE TO 50 PLS FOR BROADCAST)		
COMMON NAME	% OF TOTAL	PLS PER ACRE
EPHRAIM CRESTED WHEATGRASS	25	6.3
DWARF PERENNIAL RYEGRASS	18	4.5
SR3200 BLUE FESCUE	9	2.3
REUBENS CANADA BLUEGRASS	13	3.3
BARLEY	12	3.0
SHEEP FESCUE	23	5.8
TOTAL	100	25

### NATIVE GRASS SEED NOTES:

SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

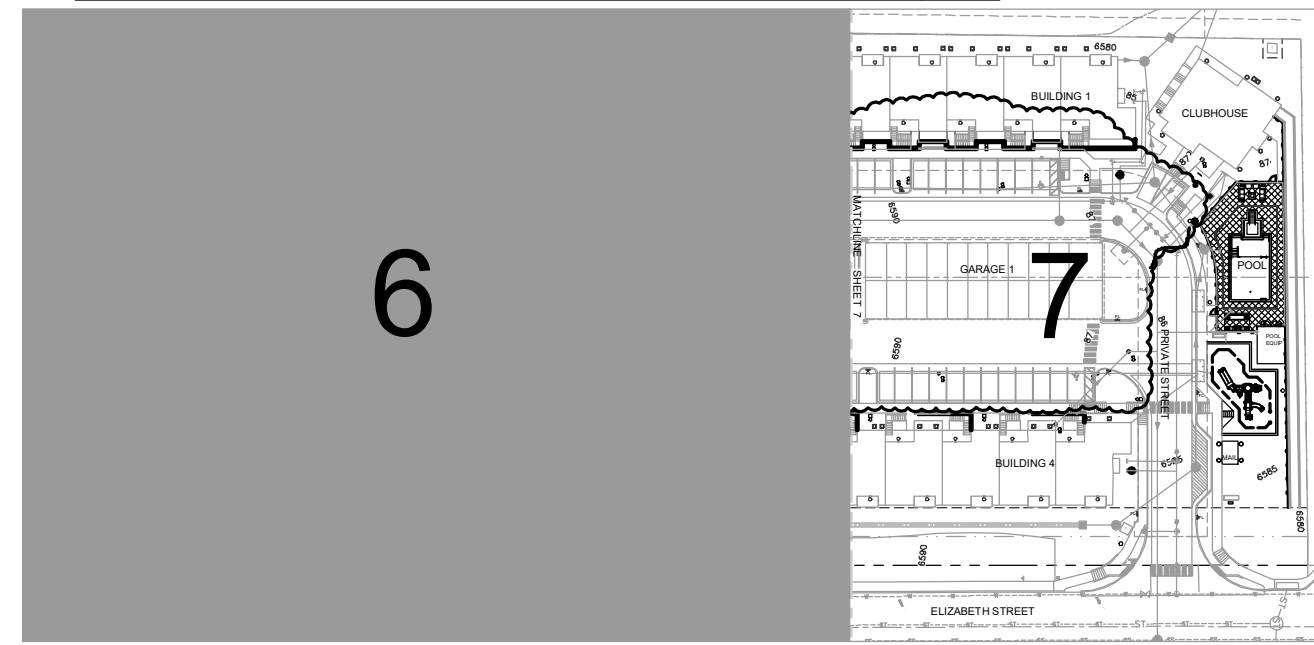
HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

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LANDSCAPE ARCHITECT

SHEET  
5 OF 20  
PLANT SCHEDULES  
DATE PREPARED: 1-5-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:  
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

John B. Collins Architect, LLC  
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KEYMAP



# PINE RIDGE CROSSING

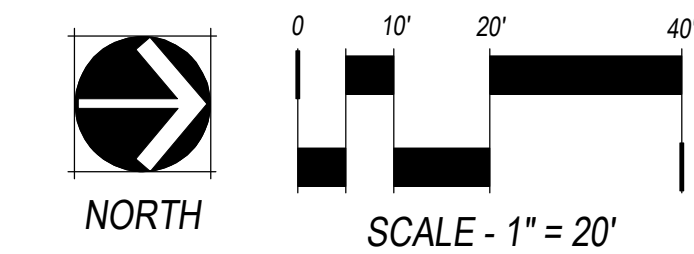
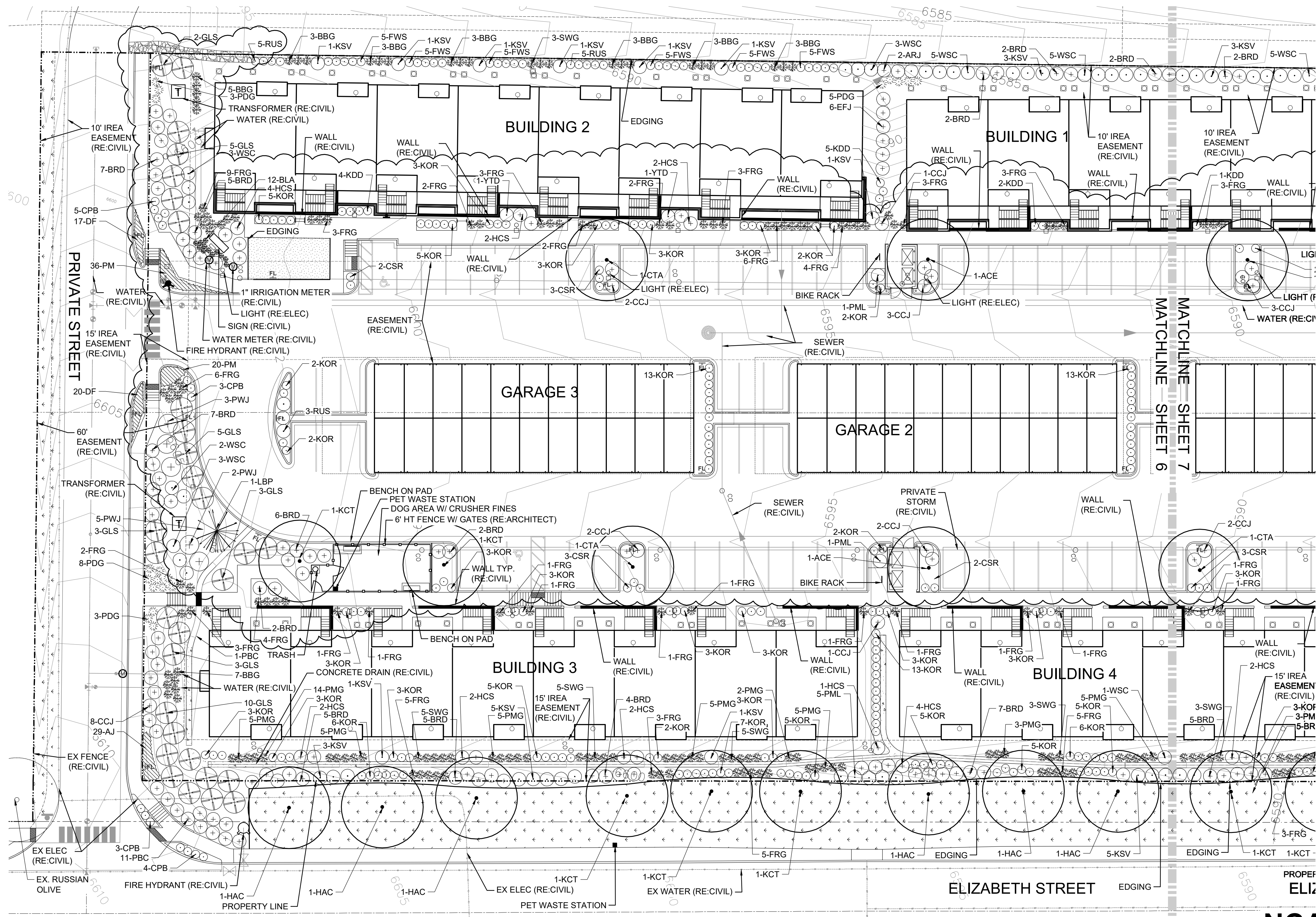
## SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

\*PARTIAL PLANT SCHEDULE  
(SEE SHEET 5 FOR COMPLETE SCHEDULE)

PLANT SCHEDULE:

SYMBOL	TAG	QTY.	COMMON NAME
<b>DECIDUOUS CANOPY TREES</b>			
○	ACE	6	ACCOLADE ELM
○	AGG	1	AUTUMN GOLD GINKGO
○	CTA	4	CATALPA
○	HAC	6	HACKBERRY
○	KCT	8	KENTUCKY COFFEETREE
Subtotal		25	
<b>EVERGREEN TREES</b>			
★	LBP	4	LIMBER PINE
Subtotal		4	
<b>DECIDUOUS SHRUBS</b>			
○	BMS	32	BLUE MIST SPIREA
○	CPB	26	CRIMSON PYGMY BARBERRY
○	CSR	27	CAREFREE SUNSHINE ROSE
○	FWS	50	FOUR WING SALTBUSH
○	KDD	48	KELSEY DWARF DOGWOOD
○	KOR	173	KNOCK OUT PINK ROSE
○	KSV	38	KOREAN SPICE VIBURNUM
○	MAE	5	MANHATTAN EUONYMUS
○	PML	19	MEYER LLAC
○	RUS	45	RUSSIAN SAGE
○	WSC	39	WESTERN SAND SHERRY
○	YTD	2	YELLOW TWIG DOGWOOD
Subtotal		510	
<b>LOW SPREADING SHRUBS</b>			
○	ARJ	25	ARCADIA JUNIPER
○	BRD	75	BROADMOOR JUNIPER
○	CCJ	38	CALGARY CARPET JUNIPER
○	EFJ	6	EFFUSA COMMON JUNIPER
○	GLS	38	GRO LOW SUMAC
○	HCS	30	HANCOCK CORALBERRY
○	PBC	57	CREeping WESTERN SAND CHERRY
○	PWJ	28	PRINCE OF WALES JUNIPER
Subtotal		297	
<b>PERENNIALS W CEDAR MULCH</b>			
○	AJ	58	AUTUMN JOY SEDUM
○	DF	48	DWARF BLANKETFLOWER
○	MN	46	MAY NIGHT SALVIA
○	PM	68	PARDON ME DAYLILY
Subtotal		220	
<b>ORNAMENTAL GRASSES</b>			
○	BBG	49	BIG BLUESTEM GRASS
○	BLA	25	BLONDE AMBITION GRASS
○	FRG	105	FEATHER REED GRASS
○	PDG	47	PRAIRIE DROPSSEED GRASS
○	PMG	63	PURPLE MAIDEN GRASS
○	SWG	88	SWITCHGRASS
Subtotal		388	



ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

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LANDSCAPE ARCHITECT

SHEET 6 OF 20  
PLANT SCHEDULES  
DATE PREPARED: 1-5-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:



**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

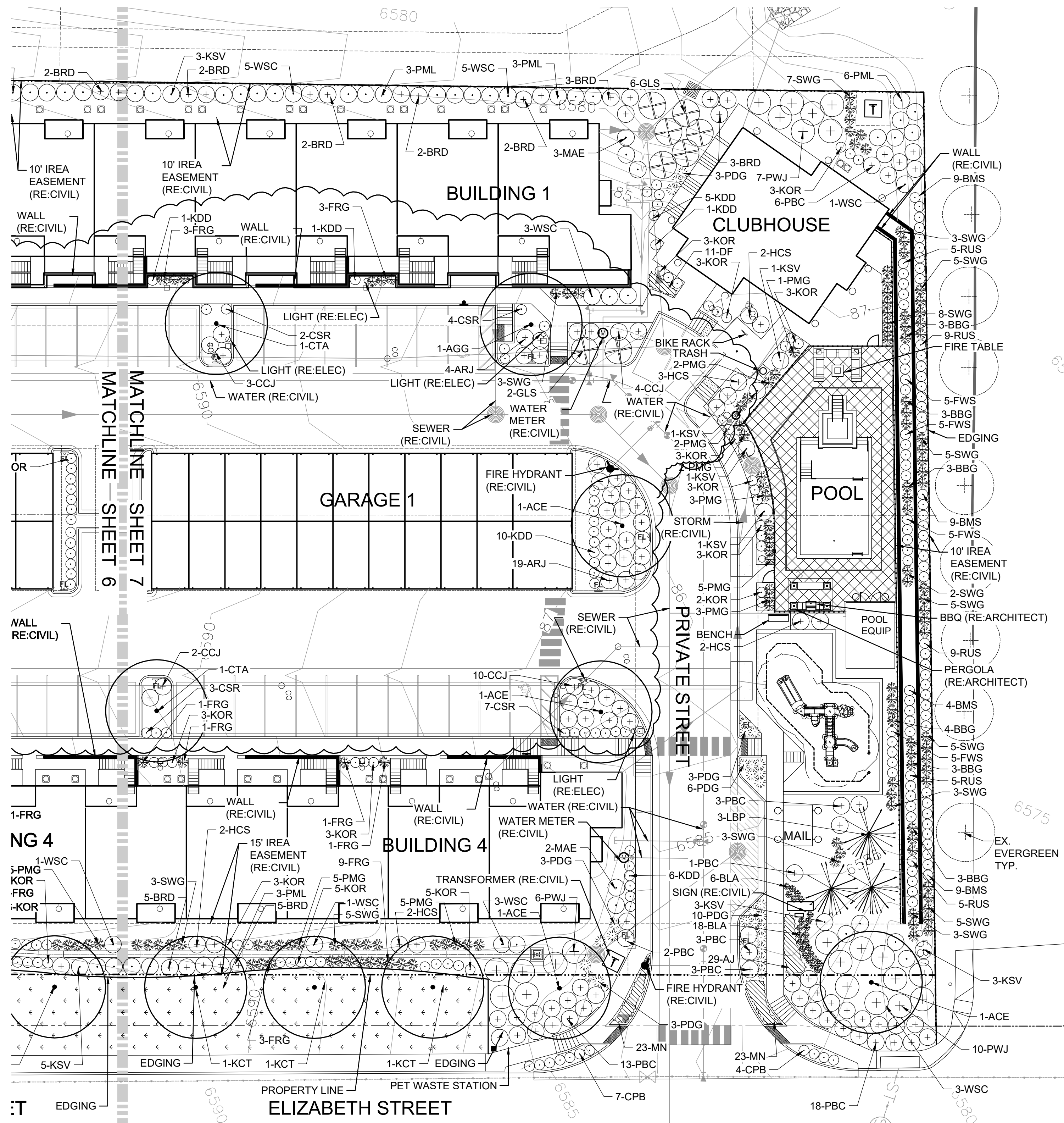
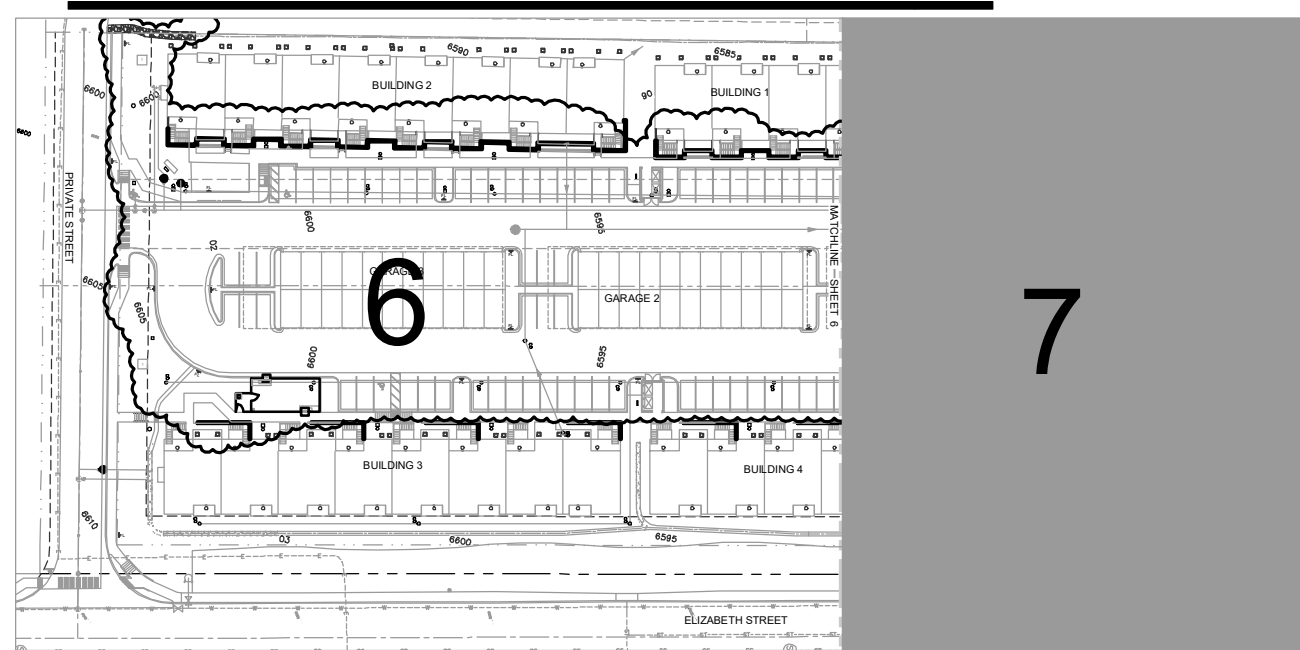
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# PINE RIDGE CROSSING

## SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

### KEYMAP



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(SEE SHEET 5 FOR  
COMPLETE SCHEDULE)

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DRAWINGS  
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CONSTRUCTION

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PLANT SCHEDULES  
DATE PREPARED: 1-5-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

### NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**7 OF 20**

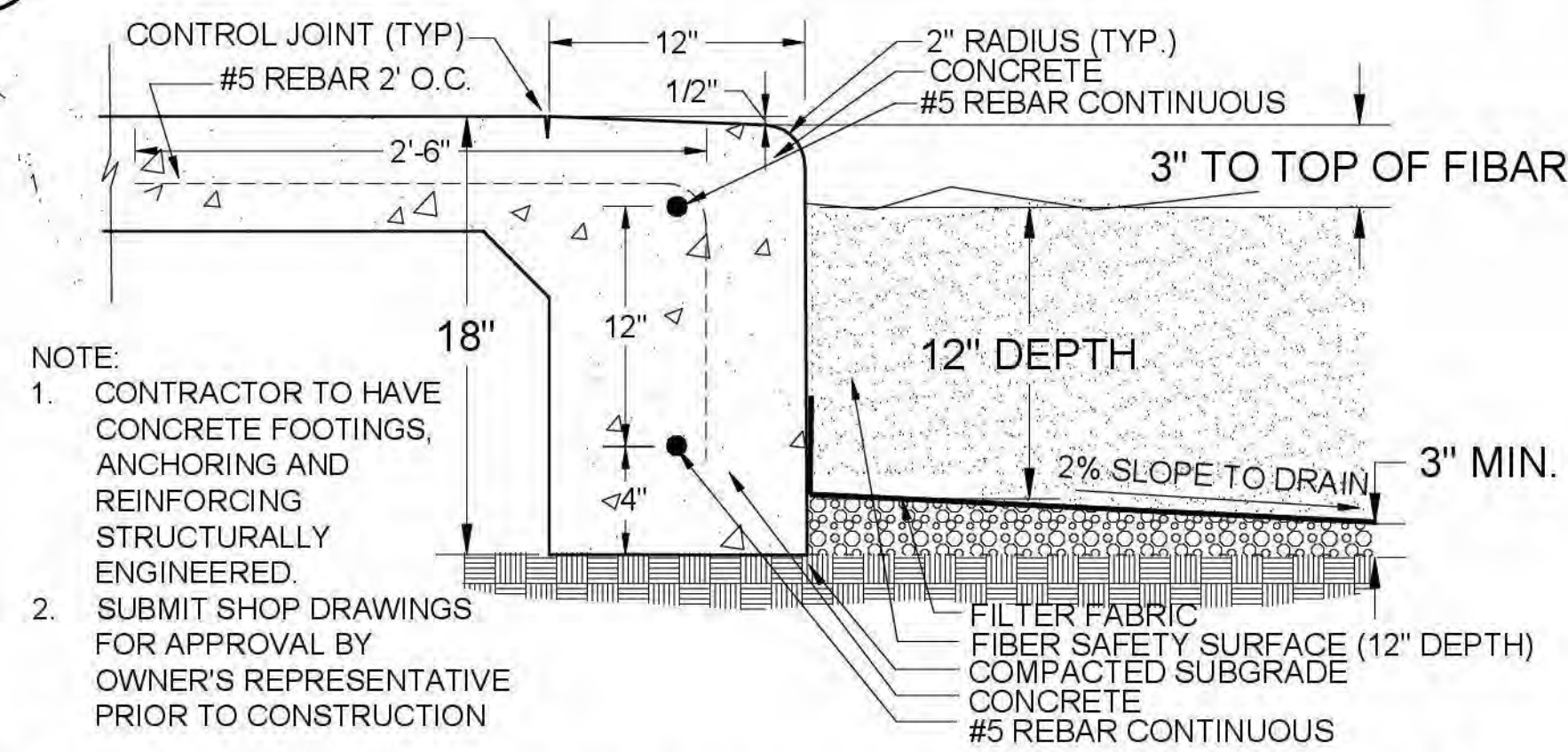
John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

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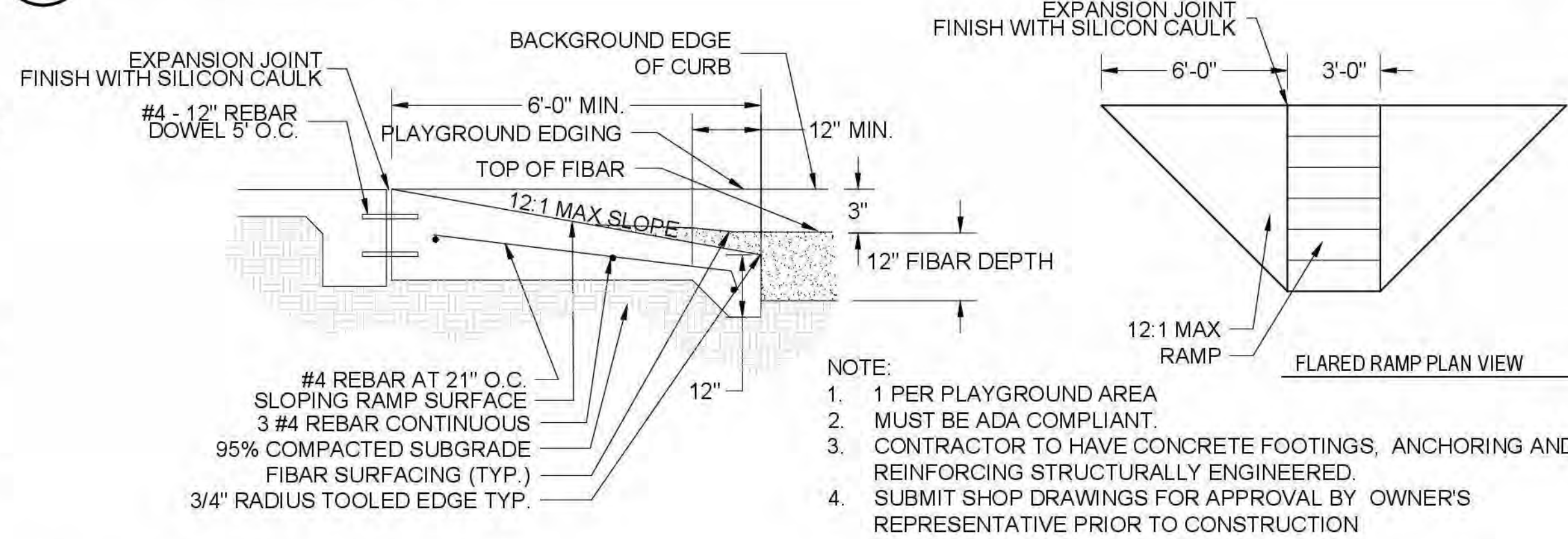
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

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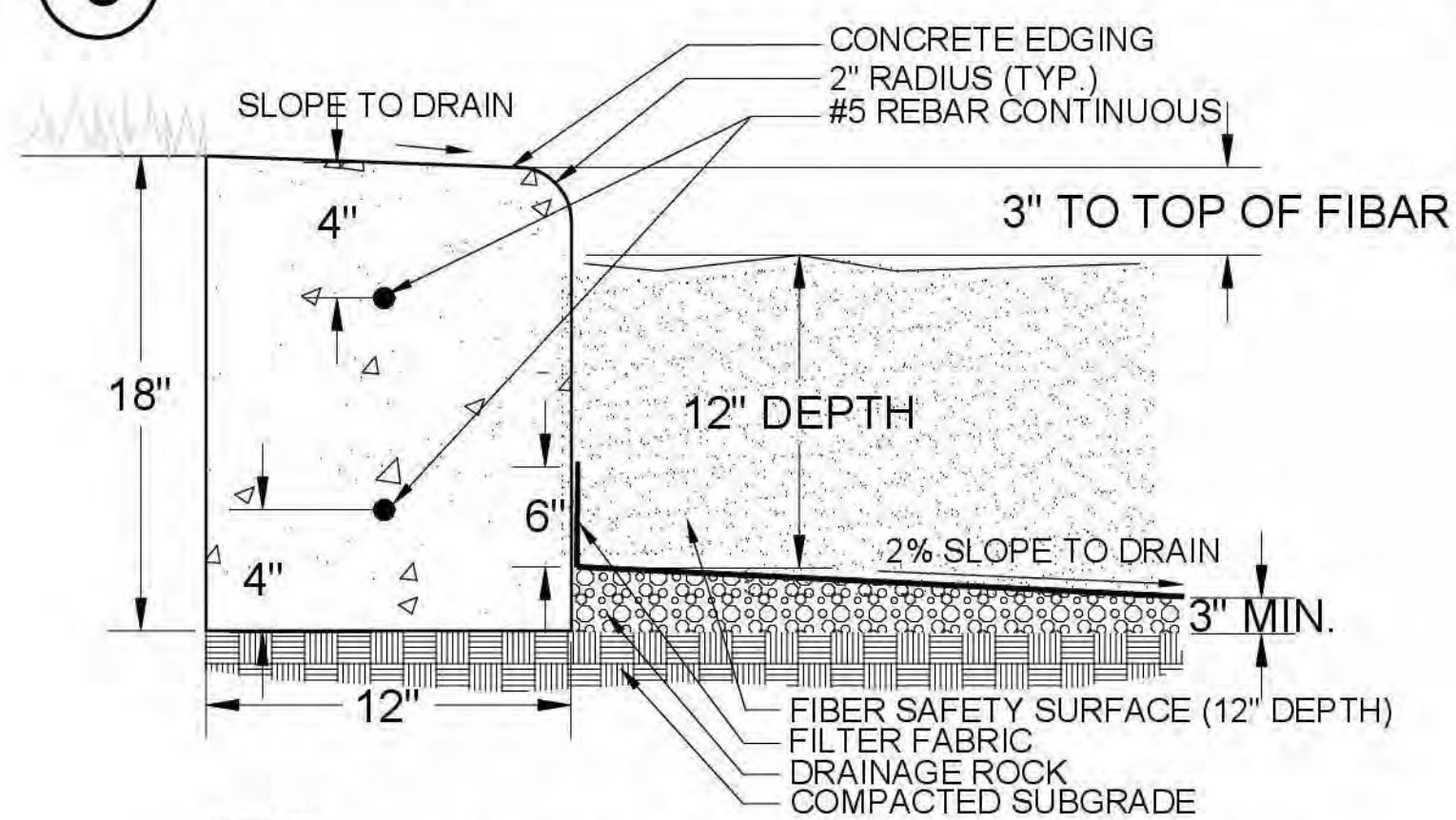
**1** PLAYGROUND EDGING DETAIL (ADJACENT TO CONCRETE) NTS



**2** PLAYGROUND RAMP DETAIL NTS



**3** PLAYGROUND EDGING (ADJACENT TO SOD/ BED AREA) NTS



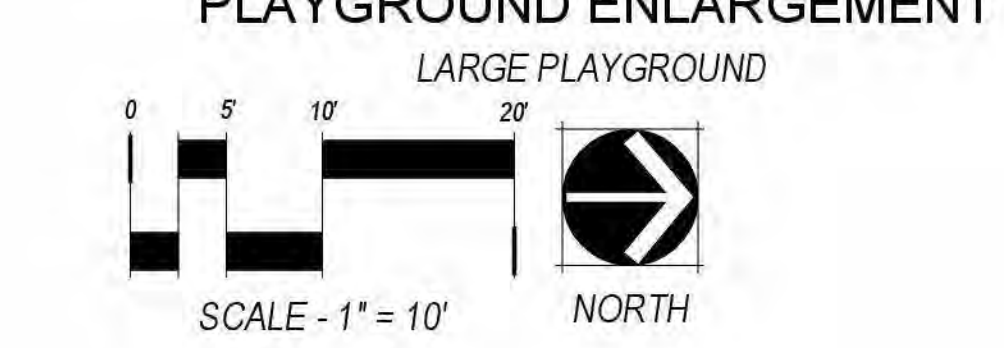
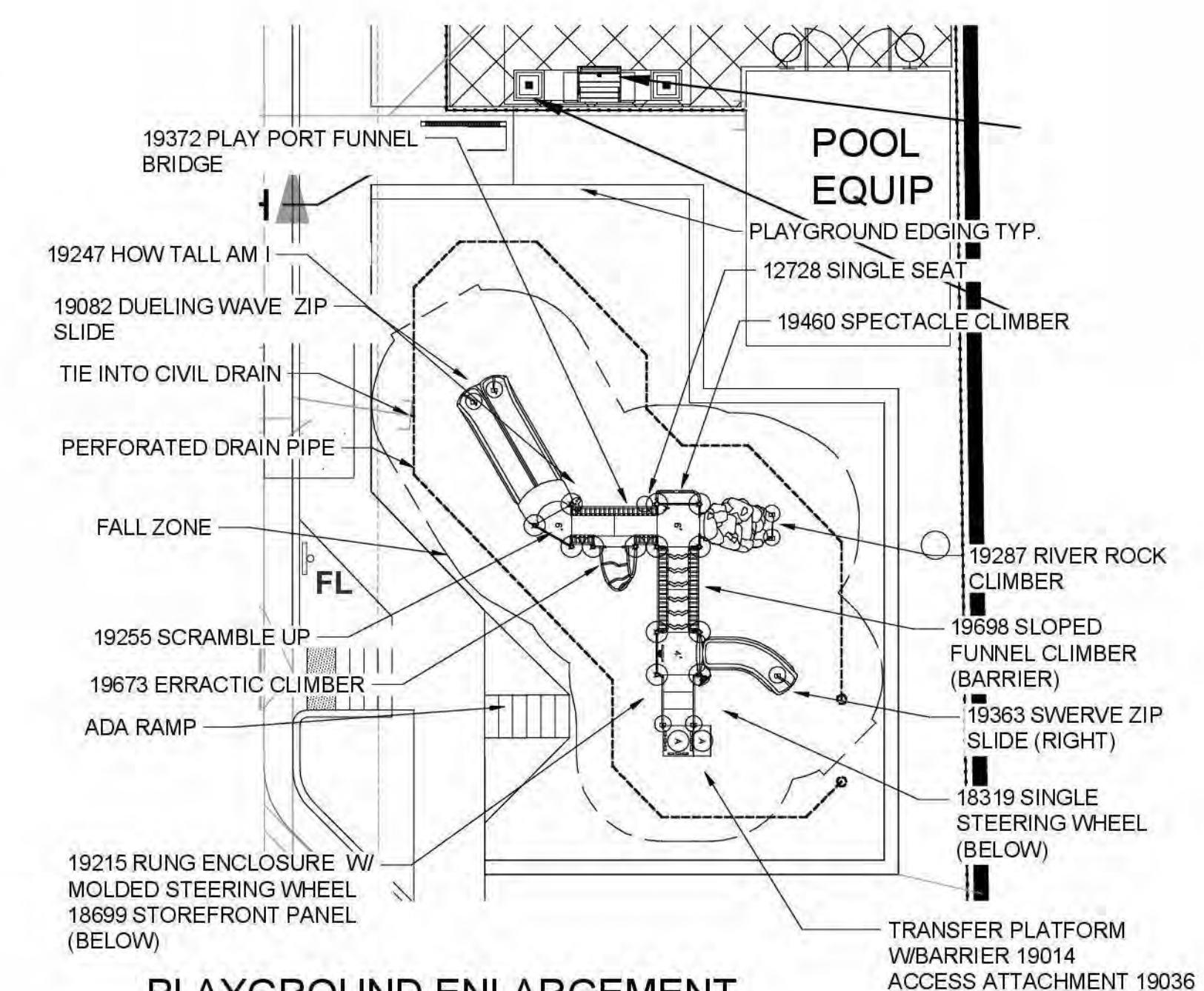
**4** PLAY EQUIPMENT SCHEDULE

**GAMETIME**  
DOUG JOHANNSEN  
TRIPLE M RECREATION, LLC  
1169 HALFMOON DRIVE  
CASTLE ROCK, CO 80104  
720.489.7311 TELEPHONE  
720.489.7316 FACSIMILE  
800-235-2440 TOLL FREE  
DJOHANNSEN@TRIPLEMREC.COM  
WWW.TRIPLEMREC.COM  
PLAYGROUND SURFACING  
Fiber Safety Surface - 12" depth  
6x250 Duraliner (Geotextile Fabric)

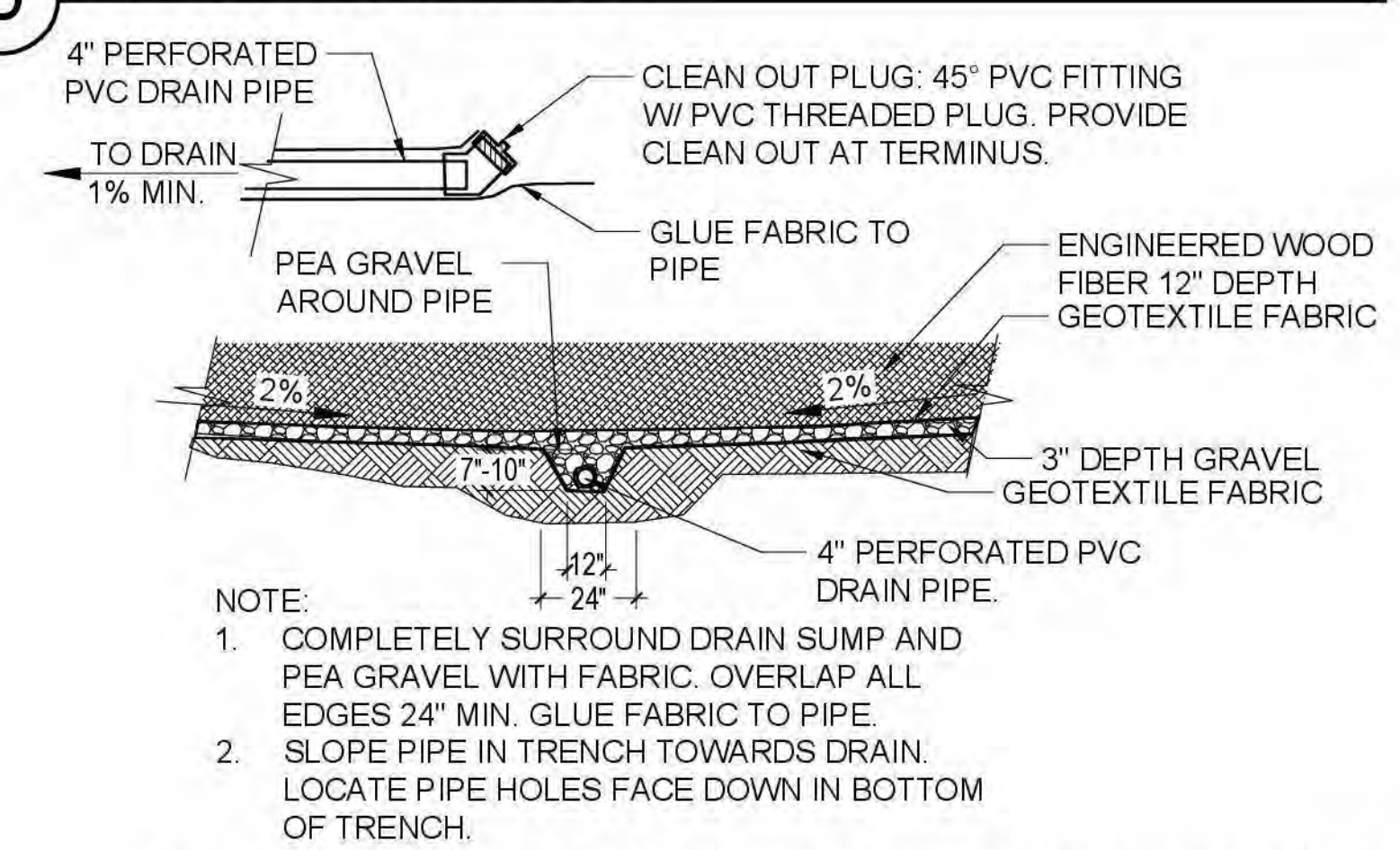
- PLAYGROUND NOTES:**
- INSTALL ALL PLAY EQUIPMENT AND SAFETY SURFACE AS PER MANUFACTURERS RECOMMENDATION AND SPECIFICATIONS. CONTRACTOR TO INSTALL ALL POSTS AND HARDWARE NECESSARY TO INSTALL PLAY EQUIPMENT.
  - INSTALLER TO VERIFY LOCATION AND ORIENTATION OF PLAYGROUND EQUIP.
  - CONTRACTOR SHALL HAVE PLAY EQUIPMENT STRUCTURALLY ENGINEERED FOR REINFORCING, ANCHORING, FOOTING, AND ANY OTHER NECESSARY ENGINEERING.
  - CONTRACTOR SHALL SUBMIT DETAILED AND DIMENSIONED SHOP DRAWINGS AND DATA SHEETS FOR THE LAYOUT AND INSTALLATION OF THE PLAYGROUND EQUIPMENT FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
  - PLAYGROUND EQUIPMENT MUST MEET ALL REQUIREMENTS OF THE SPECIFICATIONS AND BE WITHIN ALL TOLERANCES INDICATED ON THESE DRAWINGS. BOTH FALL ZONES AND SAFETY SURFACE MUST MEET ALL ADA REQUIREMENTS AND FIT WITHIN THE LIMITS OF THE PLAYGROUND.

GAMETIME EQUIPMENT- Large Playground	
19287	RIVER ROCK CLIMBER
19698	SLOPED FUNNEL CLIMBER (BARRIER)
19363	SWERVE ZIP SLIDE (RIGHT)
18319	SINGLE STEERING WHEEL (BELOW)
19014	TRANSFER PLATFORM W/BARRIER
19036	ACCESS ATTACHMENT
19215	RUNG ENCLOSURE W/ MOLDED STEERING WHEEL
18699	STOREFRONT PANEL (BELOW)
19673	ERRACTIC CLIMBER
19255	SCRAMBLE UP
19082	DUELING WAVE ZIP SLIDE
19247	HOW TALL AM I
19372	PLAY PORT FUNNEL BRIDGE
12728	SINGLE SEAT
19460	SPECTACLE CLIMBER

ADA REQUIREMENTS FOR STRUCTURE AGES 2-5 YEARS OLD	IN PLAN	REQ'D.
TOTAL NUMBER OF ELEVATED PLAY COMPONENTS	4	
TOTAL EVENTS ACCESSIBLE VIA TRANSFER	4	2
TOTAL ACCESSIBLE EVENTS VIA RAMP	0	0
TOTAL ACCESSIBLE GROUND LEVEL EVENTS	2	1
DIFFERENT TYPES OF GROUND LEVEL EVENTS	2	1
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE		
ADA REQUIREMENTS FOR STRUCTURE AGES 2-12 YEARS OLD	IN PLAN	REQ'D.
TOTAL NUMBER OF ELEVATED PLAY COMPONENTS	9	
TOTAL EVENTS ACCESSIBLE VIA TRANSFER	9	5
TOTAL ACCESSIBLE EVENTS VIA RAMP	0	0
TOTAL ACCESSIBLE GROUND LEVEL EVENTS	3	3
DIFFERENT TYPES OF GROUND LEVEL EVENTS	3	3
THIS PLAYGROUND MEETS ALL CURRENT ADA REQUIREMENTS & THE FINAL RULE ABOVE CHART/INFO IS APPLICABLE WHEN USING AN ACCESSIBLE SAFETY SURFACE		



**5** PLAYGROUND DRAIN PIPE



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LANDSCAPE ARCHITECT

SHEET  
**8 OF 20**

PLAYGROUND DETAILS  
DATE PREPARED: 1-5-2023  
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PLANS PREPARED FOR:  
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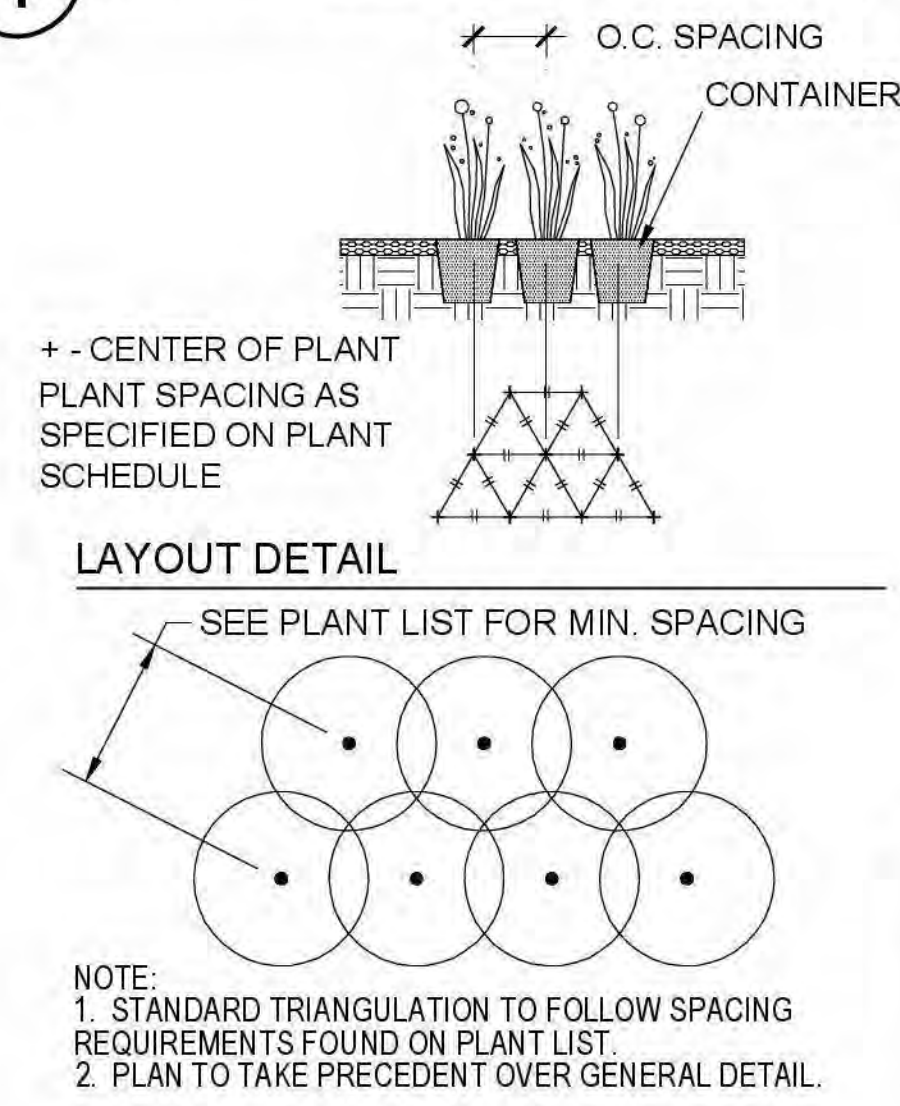
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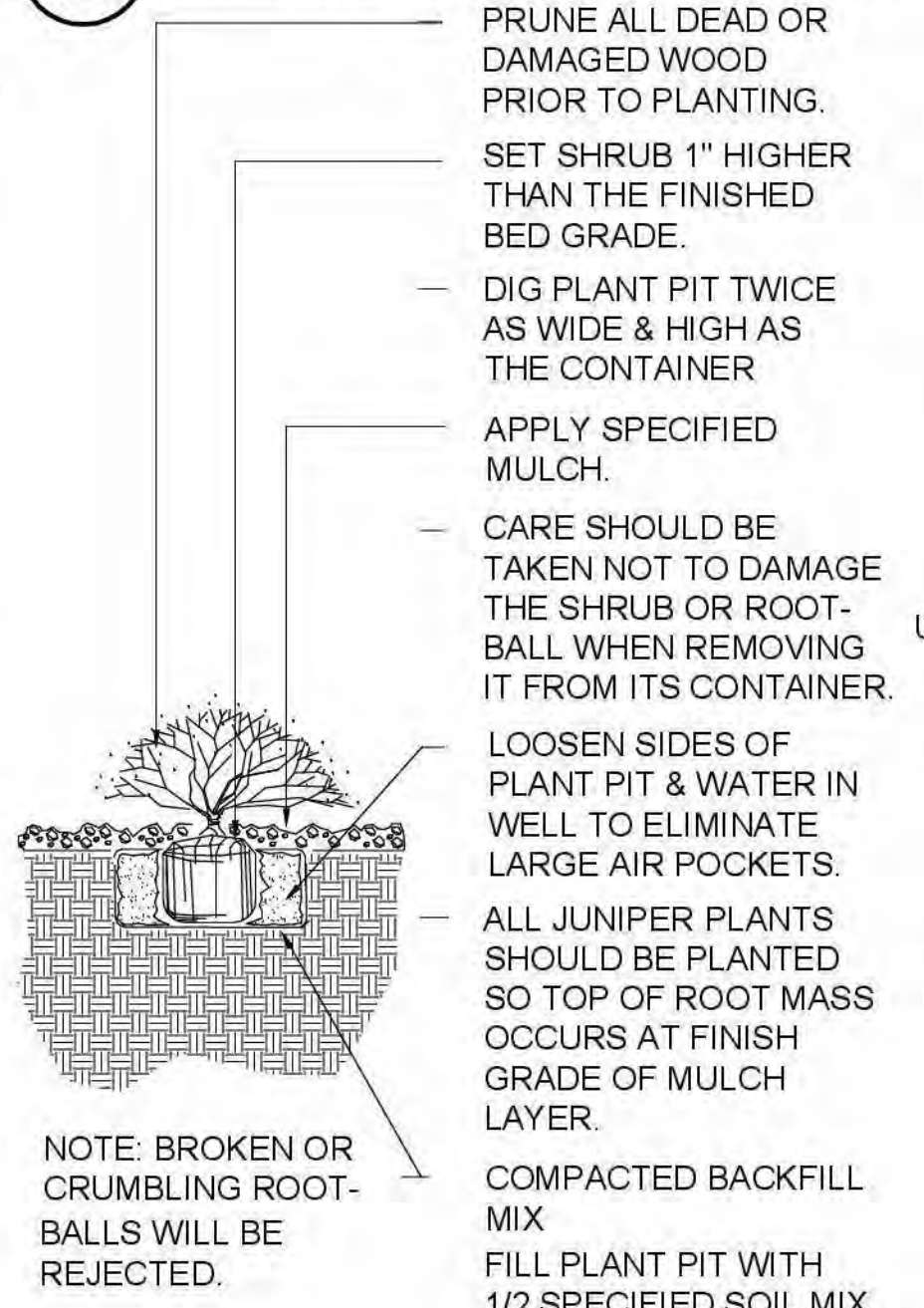
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

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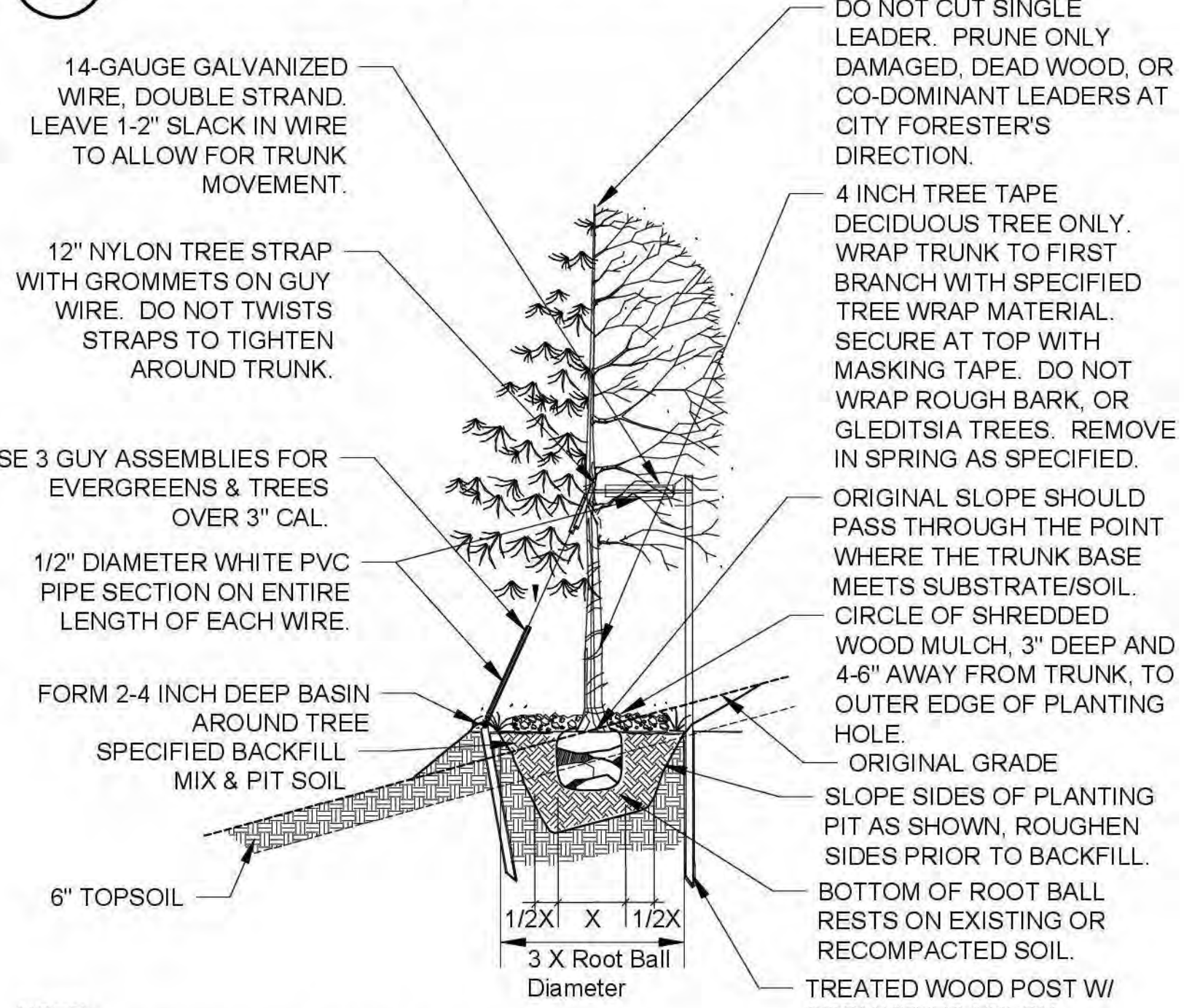
## 1 PERENNIAL / POTTED DETAILS NTS



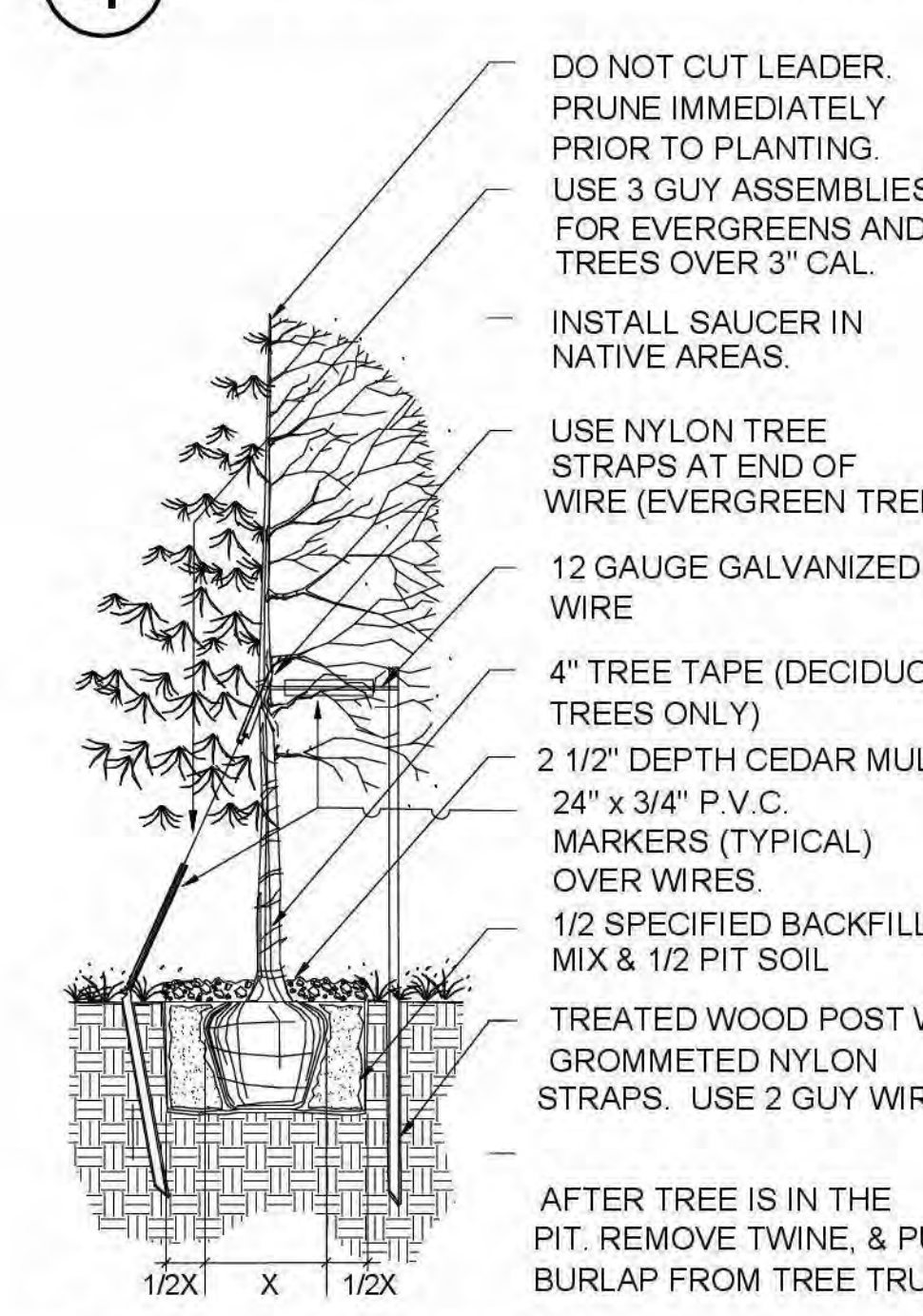
## 2 SHRUB PLANTING NTS



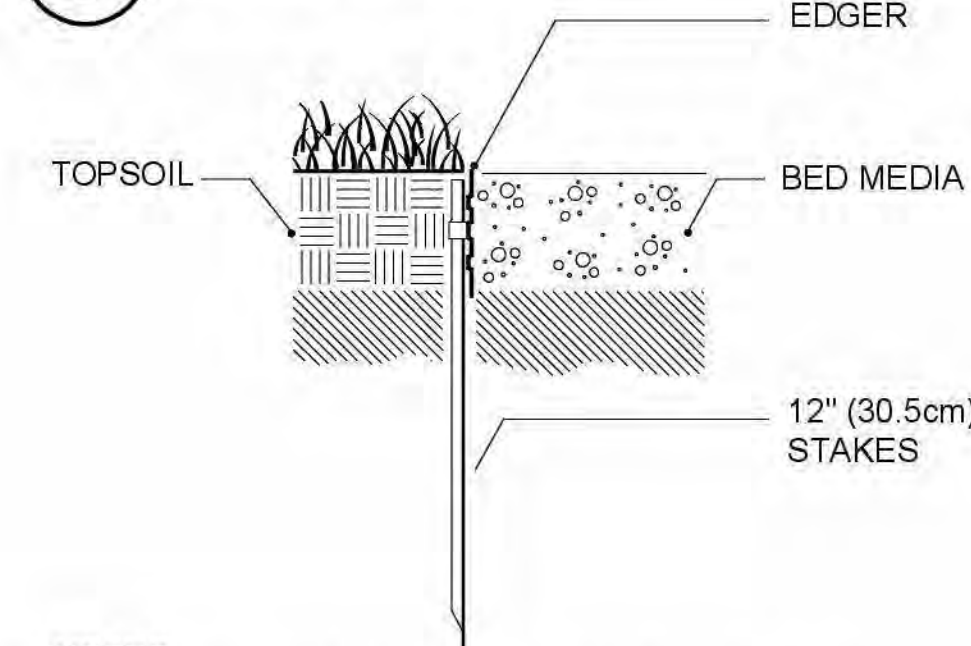
## 3 TREE PLANTING ON SLOPE NTS



## 4 TREE PLANTING NTS

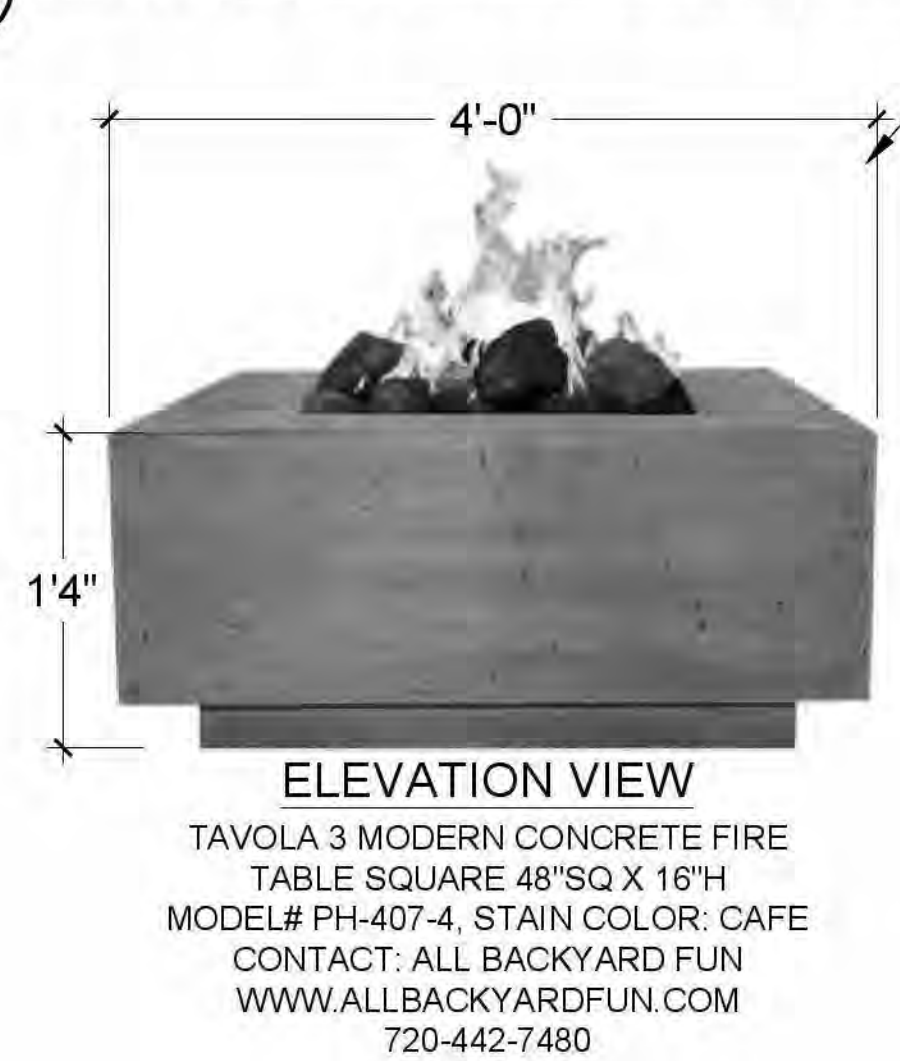


## 5 EDGING DETAIL



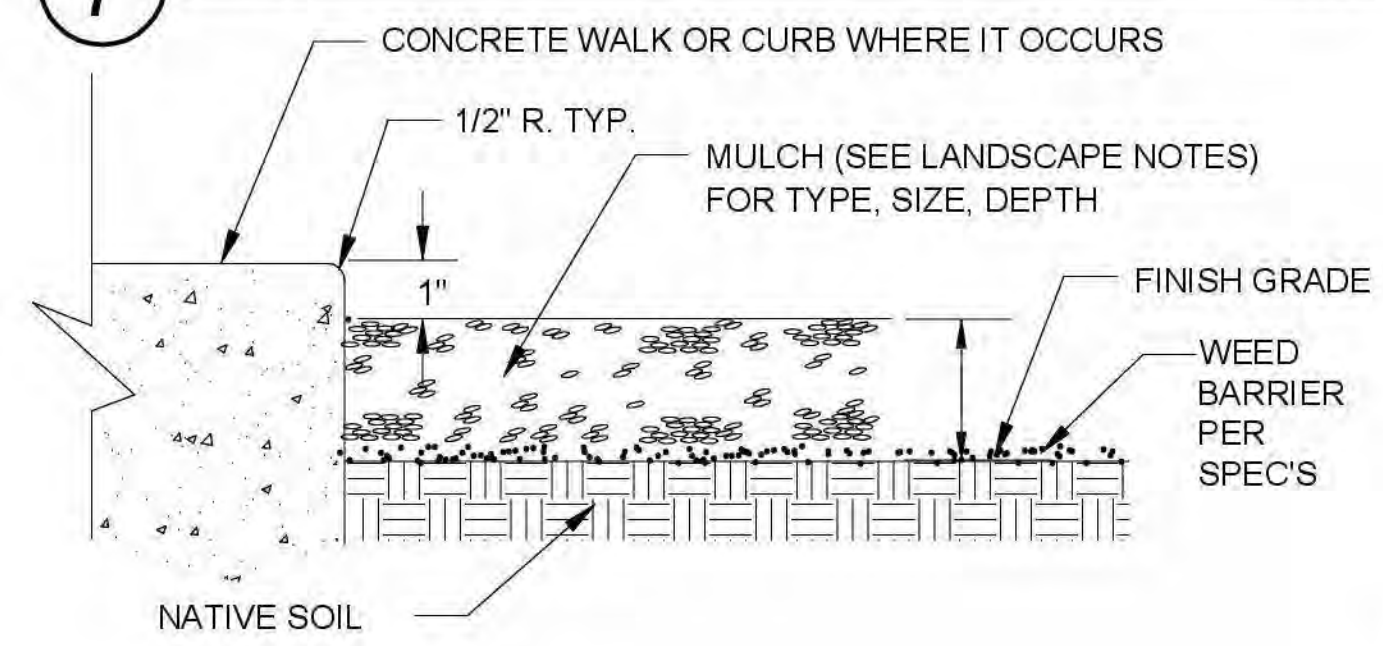
- NOTES: 1. INSTALL PER MANUFACTURER'S DIRECTION. 2. COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING. 3. CORNERS - CUT BASE OF EDGING UP HALF WAY AND FORM A CONTINUOUS CORNER.

## 6 NATURAL GAS FIREPIT - SQUARE

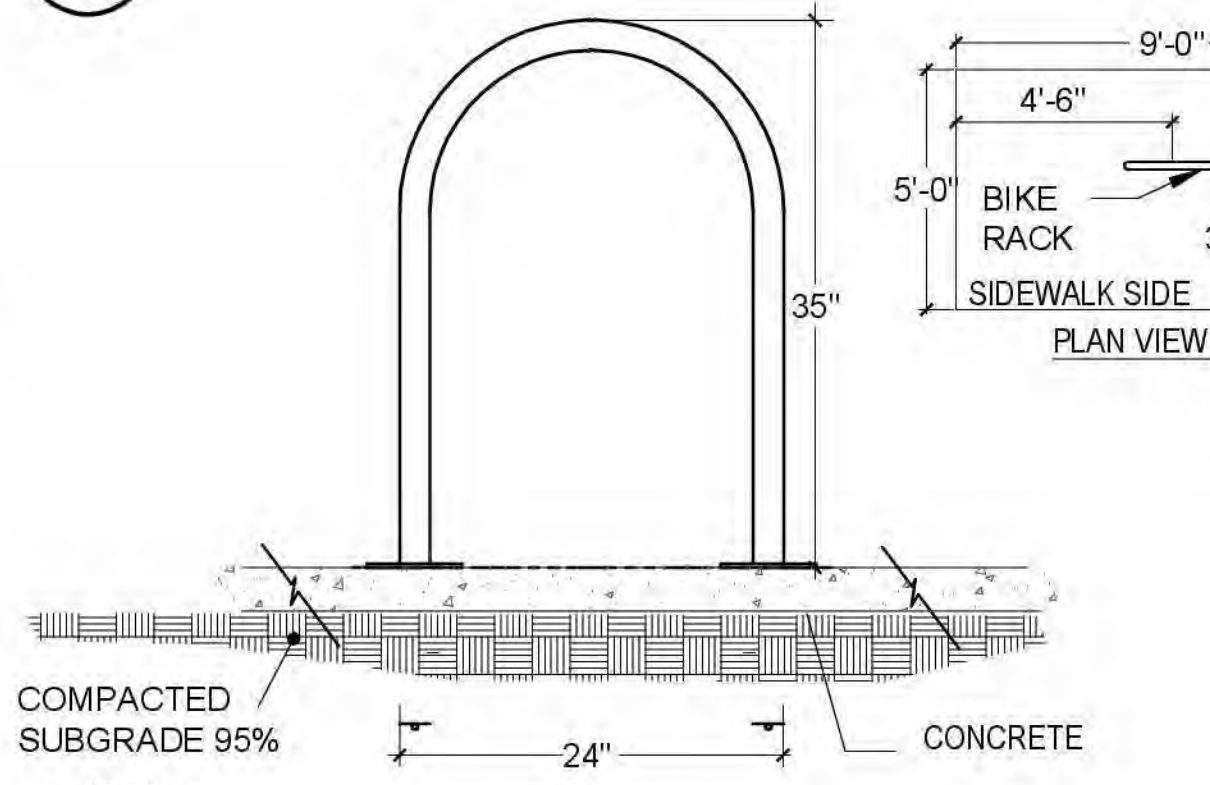


- FIREPIT NOTES: 1. INSTALL PER MANUFACTURER'S RECOMMENDATION. 2. OPERATES ON NATURAL GAS CONVERSION KIT. 3. GAS FIRE PIT TO HAVE: ELECTRONIC IGNITION, FIREGLASS MEDIA. 4. WIRELESS WALL MOUNTED TIMER. 5. PROVIDE TEMPERED GLASS WINDSHIELD AND PROTECTIVE WEATHER COVER. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS. 7. CONTRACTOR SHALL PROVIDE UNDERGROUND GAS PIPE CONNECTION.

## 7 MULCH DETAIL NTS

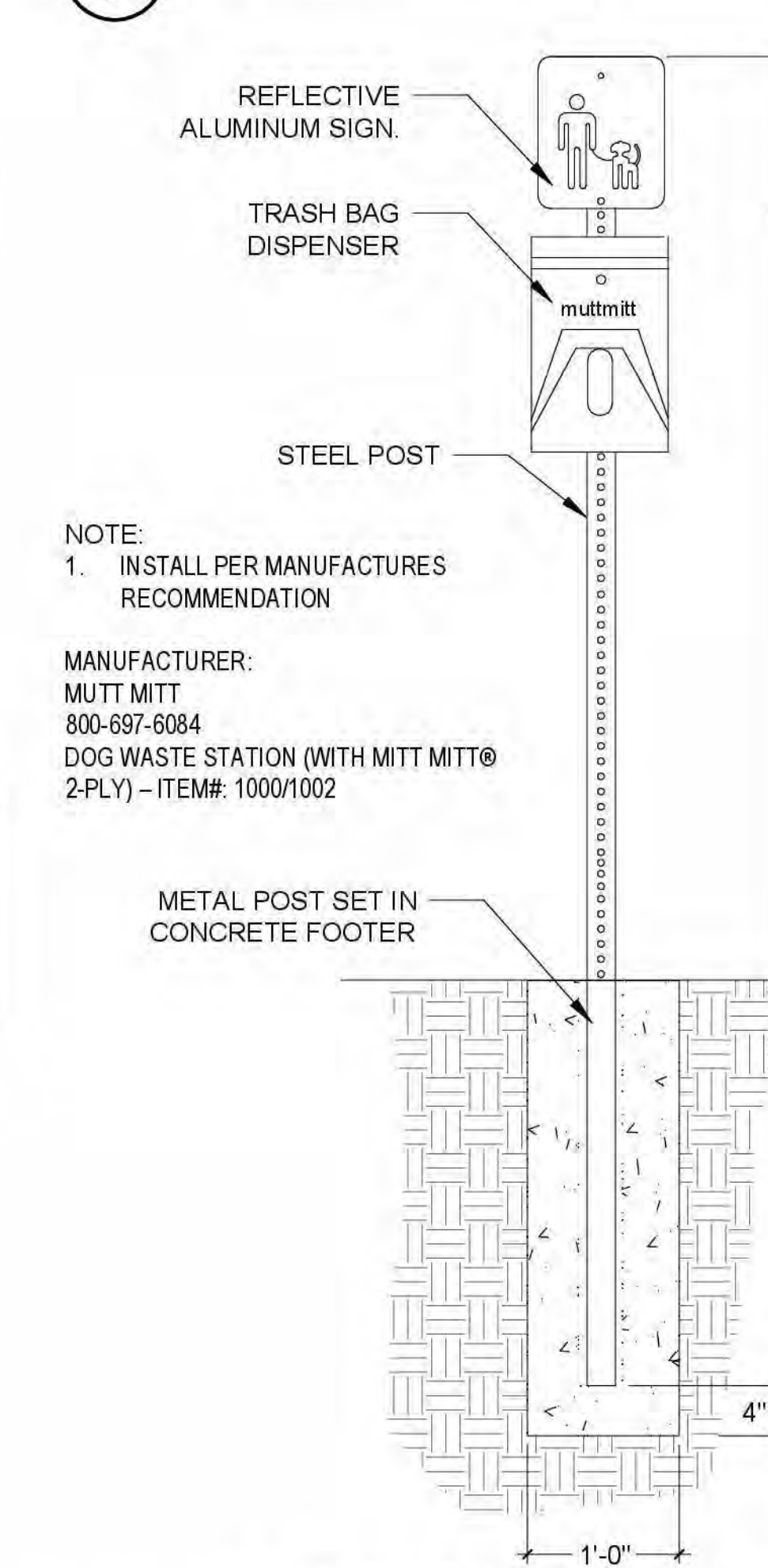


## 8 OUTDOOR BIKERACK DETAIL NTS



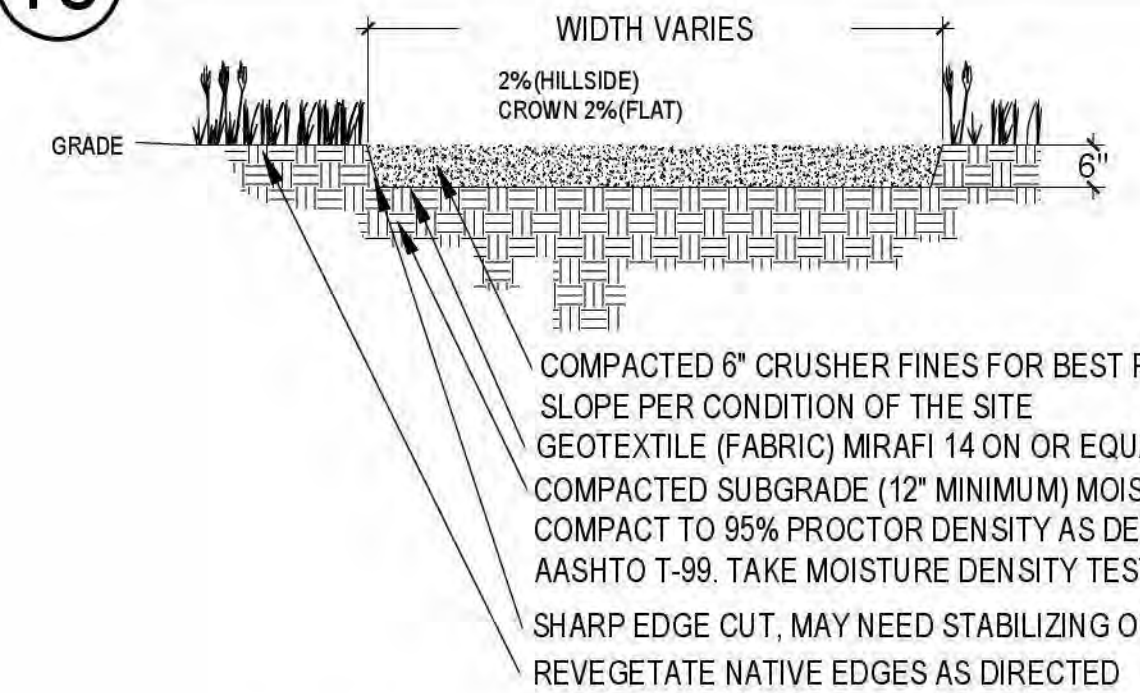
- NOTES: 1. POWDERCOATED COLOR TO BE DETERMINED & APPROVED BY OWNERS' REP PRIOR TO ORDERING. 2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATION. 3. MANUFACTURER: DERO, MODEL: HOOP RACK. 4. CONCRETE PAD, RE: CIVIL PLANS FOR TYPE OF CONCRETE.

## 9 DOG WASTE STATION NTS



- NOTE: 1. INSTALL PER MANUFACTURER'S RECOMMENDATION. MANUFACTURER: MUTT MITT, 800-697-6084, DOG WASTE STATION (WITH MUTT MITT® 2-PLY) - ITEM#: 1000/1002

## 10 CRUSHER FINES PATH NTS



- NOTE: 1. THE EXCAVATED AREA TO BE COMPACTED USING A DOUBLE-DRUM VIBRATORY ROLLER. 2. TREAD SURFACE TO BE RAKED BY HAND OR MACHINE TO PROVIDE ADEQUATE OUTSLOPING (2%). 3. WHILE WET, THE SURFACE IS COMPACTED DOWN TO THE FINAL GRADE WITH THE VIBRATORY ROLLER. 4. IN WET AREAS THE TRENCH SHOULD BE COMPACTED TO 8" DEPTH. 5. FOR AREAS WITH A CROSS SLOPE, A DRAINAGE SWALE IS INSTALLED ON THE UPHILL SIDE OF THE TRAIL. 6. TRAIL ALIGNMENT SHOULD WORK WITH THE NATURAL TOPOGRAPHY. 7. PROVIDE OCCASIONAL VIEWING AND SEATING AREAS ALONG THE PATH TO ACCOMMODATE PASSIVE RECREATION AREAS. 8. TRAIL COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE. 9. AGGREGATE PAVING TO BLEND 'STABILIZER' OR EQUAL. 10. CONTACT: STABILIZER SOLUTIONS INC. 205 SOUTH 28TH ST., PHOENIX, AZ 85034; PHONE (602) 225-5900, (800) 336-2468; FAX (602) 225-5902; WEBSITE STABILIZERSOLUTIONS.COM

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**BASELINE**  
Engineering - Planning - Surveying  
112 N. RUBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
P: 303.940.9566 • F: 303.940.9559 • www.baselinecorp.com  
LANDSCAPE ARCHITECT

LANDSCAPE DETAILS  
DATE PREPARED: 1-5-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

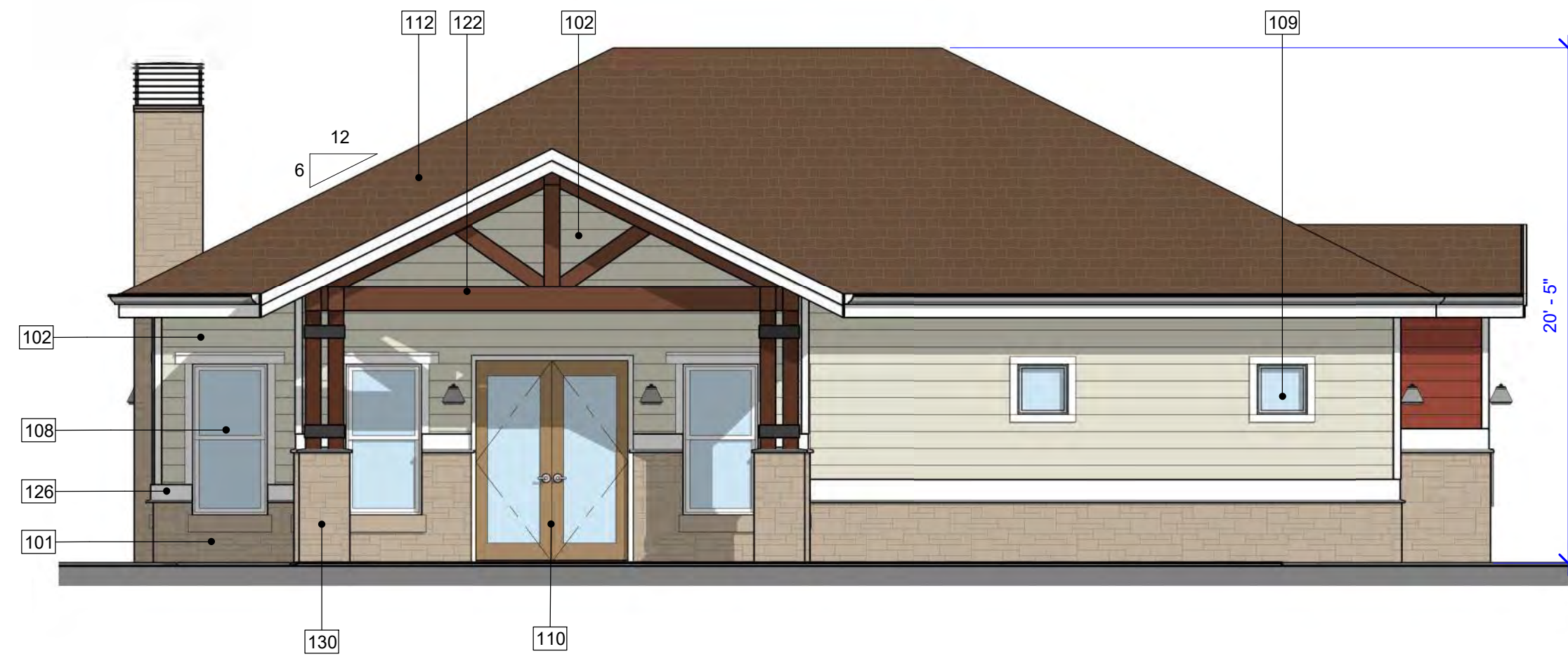
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**9 OF 20**  
John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

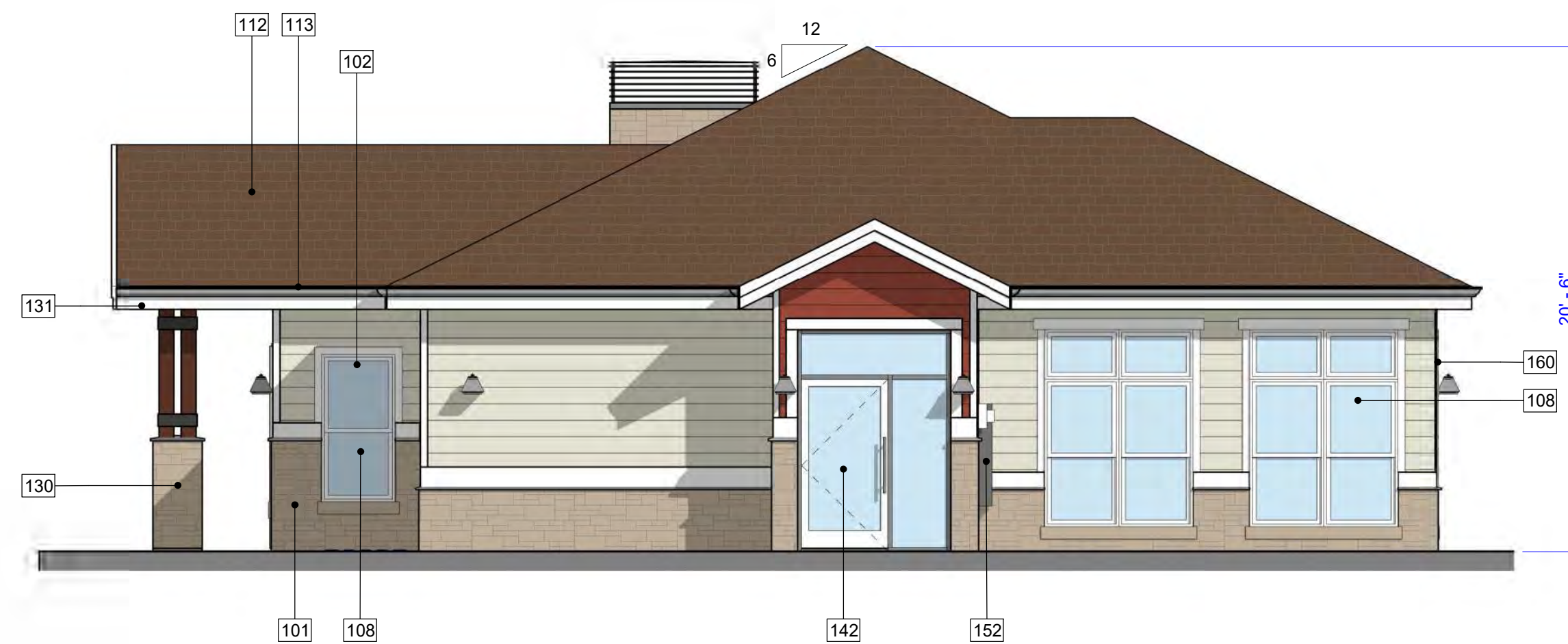
SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



**CLUBHOUSE - FRONT ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE - EAST ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE PERSPECTIVE 1**



**CLUBHOUSE - NORTH ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE - WEST ELEVATION**

3/16" = 1'-0"



**CLUBHOUSE PERSPECTIVE 2**

BUILDING MATERIAL & COLOR SCHEME					
	B-1 BODY COLOR SIDING - HORIZ	B-2 BODY COLOR SIDING - HORIZ	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN				SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>					
<b>T-1 TRIM COLOR</b>					
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE					
<b>P-2 PUNCH COLOR</b>					
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD					
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS, SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF, OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE		

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
109	VINYL WINDOWS - FIXED
110	CUSTOM ENTRY DOOR
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
122	DECORATIVE WOOD TRUSS W/ DECORATIVE BRACKETS
123	GARAGE DOOR WITH ROW OF GLASS
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
142	ENTRY DOOR
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
153	CONDENSING UNIT RE. MECHANICAL
159	ACCESS DOOR TO ADA GARAGE.
160	CORNER TRIM 5/4X4

ENTIREMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**CLUBHOUSE ELEVATIONS AND  
PERSPECTIVES**  
DATE PREPARED: 01-05-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**10 OF 20**

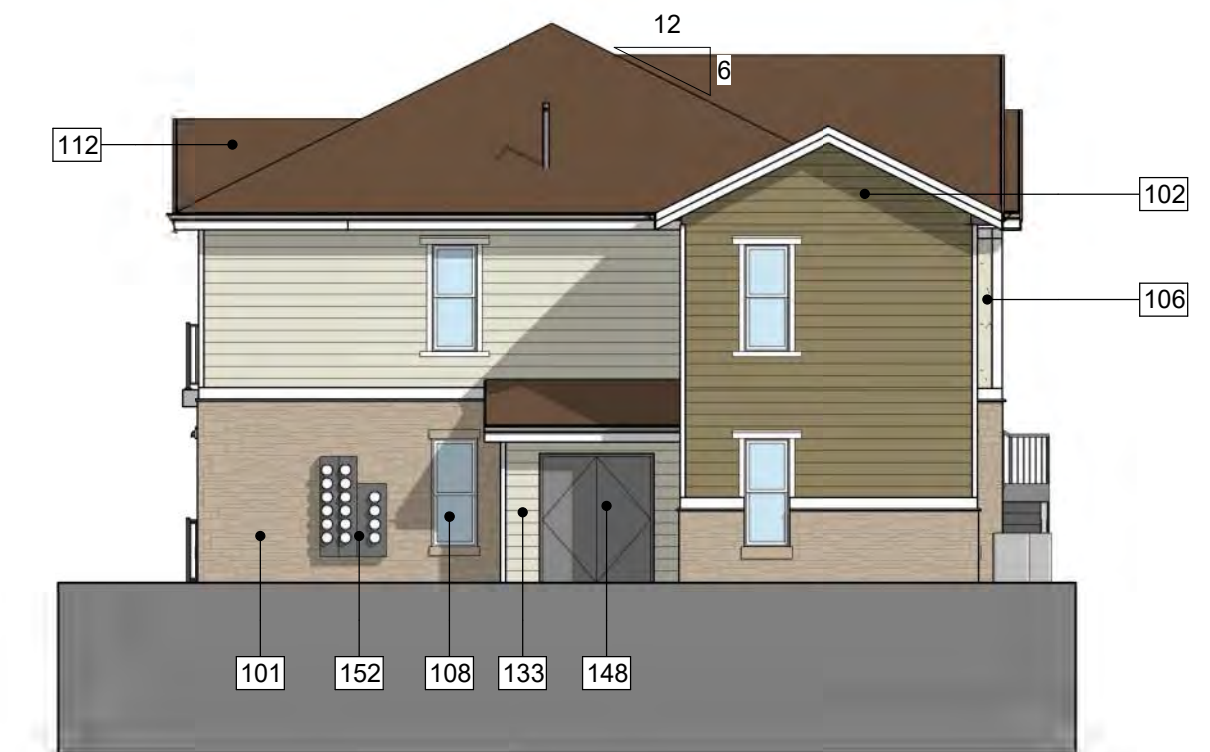


# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



**BLDG TYPE I - FRONT ELEVATION, BLDG 4**  
3/32" = 1'-0"



**BLDG TYPE I - SIDE 1 ELEVATION, BLDG 4**  
3/32" = 1'-0"



**BLDG TYPE 1 - REAR ELEVATION, BLDG 4**  
3/32" = 1'-0"

ELIZABETH STREET ELEVATION AT BUILDING # 2



**BLDG TYPE I - SIDE 2 ELEVATION, BLDG 4**  
3/32" = 1'-0"

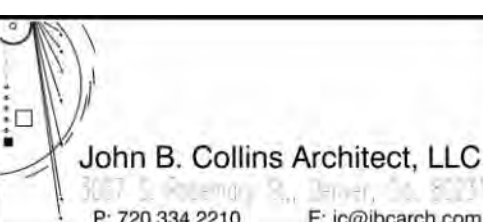
BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ.	B-2 BODY COLOR SIDING - HORIZ.	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT				SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
ALL BUILDINGS						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE: ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
157	MECHANICAL VENT, 1ST FLR. VENTS OUT WALL, 2ND FLR. VENTS THRU ROOF, RE: MECH
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6
162	8" STONE TRIM

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

BUILDING TYPE 1 ELEVATIONS - BLDG  
FOUR  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:  
**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**11 OF 20**



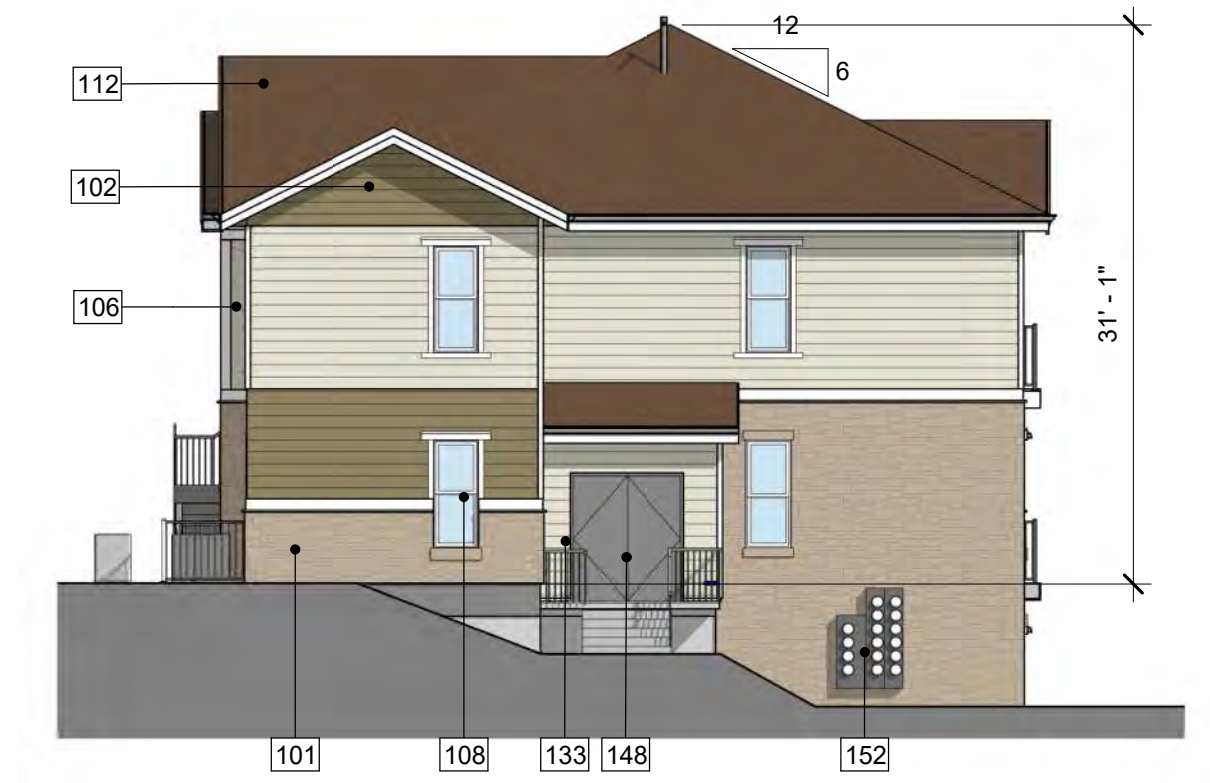
John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



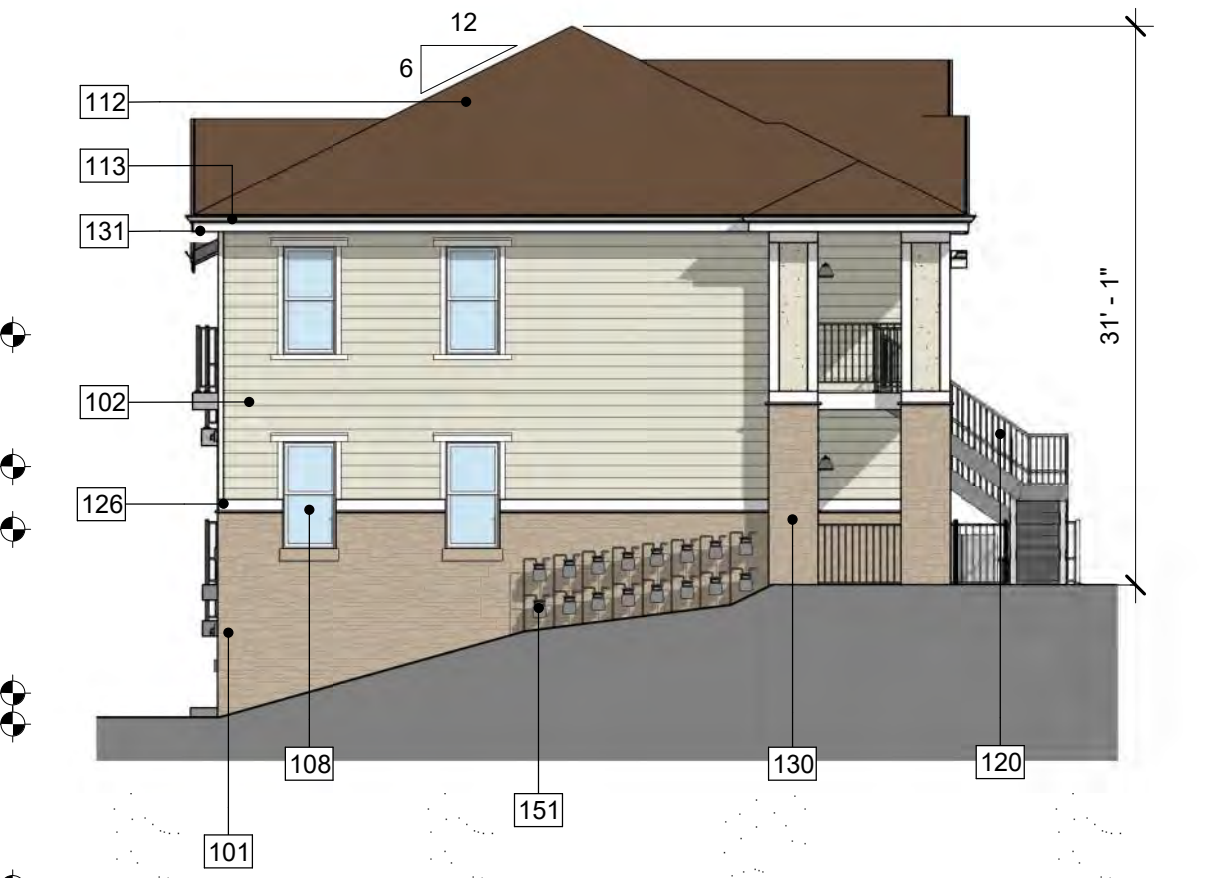
**BLDG TYPE 1B - FRONT ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - SIDE 1 ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - REAR ELEVATION, BLDG 1**  
3/32" = 1'-0"



**BLDG TYPE 1B - SIDE 2 ELEVATION, BLDG 1**  
3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ.	B-2 BODY COLOR SIDING - HORIZ.	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT				SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
ALL BUILDINGS						
T-1 TRIM COLOR						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
P-2 PUNCH COLOR						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCON						
FAUX GABLE: SW3507 - RIVERWOOD						
STONE: ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE-SITE PLAN
152	ELECTRIC METER RE-SITE PLAN
157	MECHANICAL VENT, 1ST FLR. VENTS OUT WALL, 2ND FLR. VENTS THRU ROOF, RE: MECH
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6
162	8" STONE TRIM
164	LINE OF GRADE BEHIND

**BUILDING TYPE 1B ELEVATIONS, BUILDING ONE**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**12 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



**BLDG TYPE II - FRONT ELEVATION, BLDG 3**

3/32" = 1'-0"



**BLDG TYPE II - SIDE 1 ELEVATION, BLDG 3**

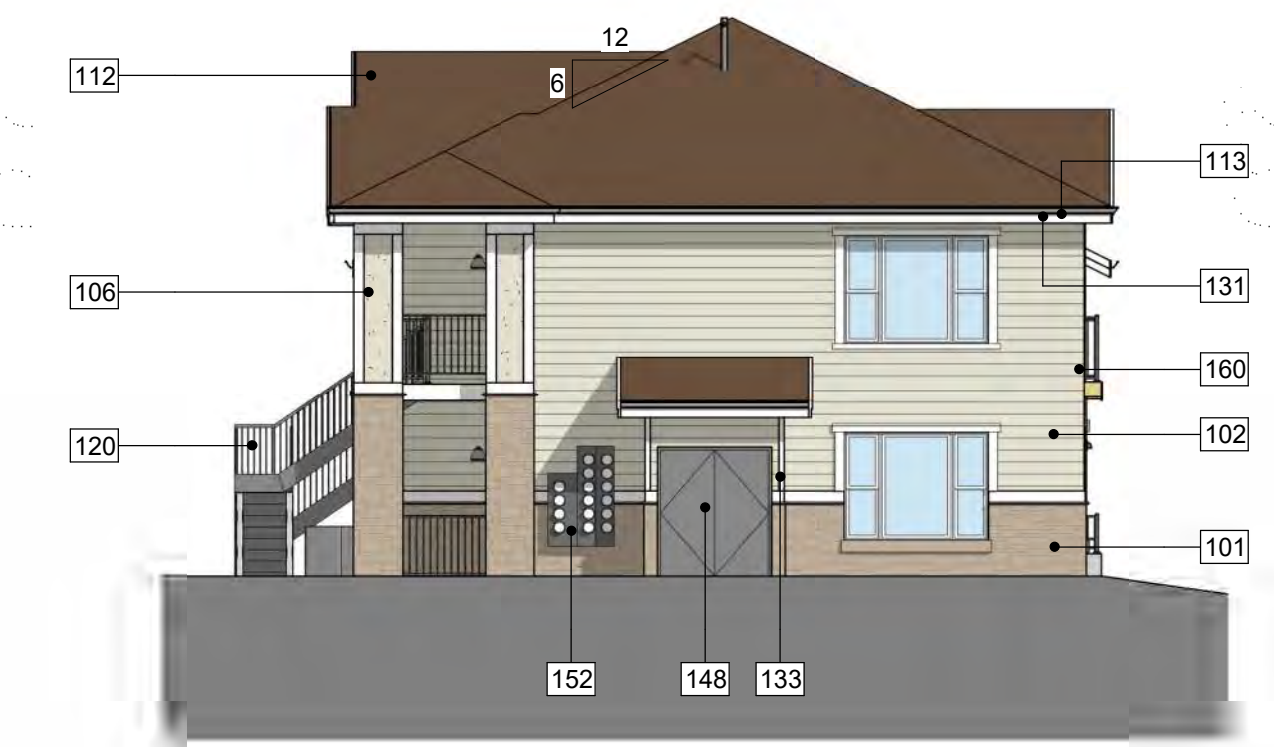
3/32" = 1'-0"



**BLDG TYPE II - REAR ELEVATION, BLDG 3**

3/32" = 1'-0"

**ELIZABETH STREET ELEVATION AT BUILDING # 3**



**BLDG TYPE II - SIDE 2 ELEVATION, BLDG 3**

3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
	B-1 BODY COLOR SIDING - HORIZ	B-2 BODY COLOR SIDING - HORIZ	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS
CLUBHOUSE	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
<b>T-1 TRIM COLOR</b>						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
<b>P-2 PUNCH COLOR</b>						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPER CORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE:SITE PLAN
152	ELECTRIC METER RE:SITE PLAN
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6

ENTIREMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**BUILDING TYPE 2 ELEVATIONS**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**13 OF 20**

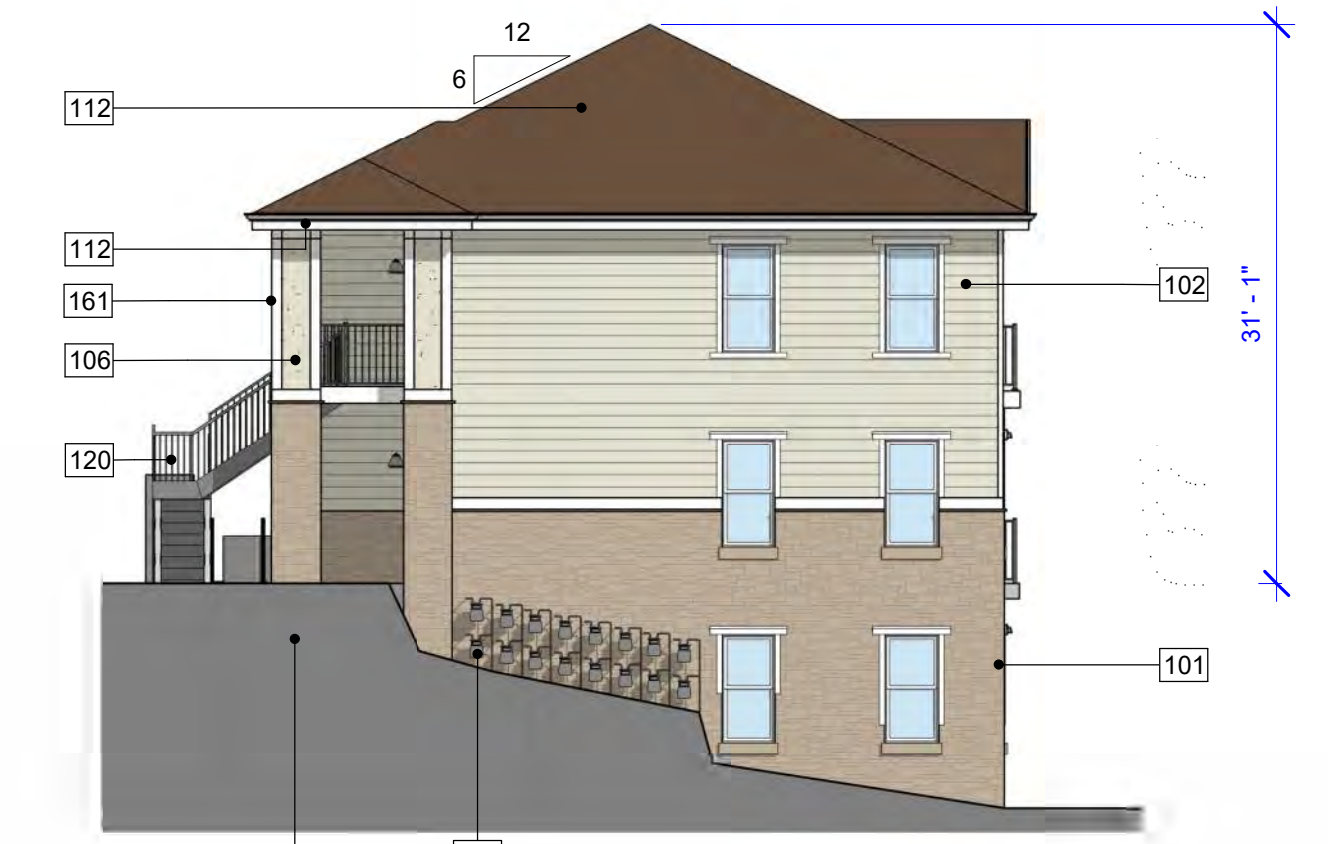


# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



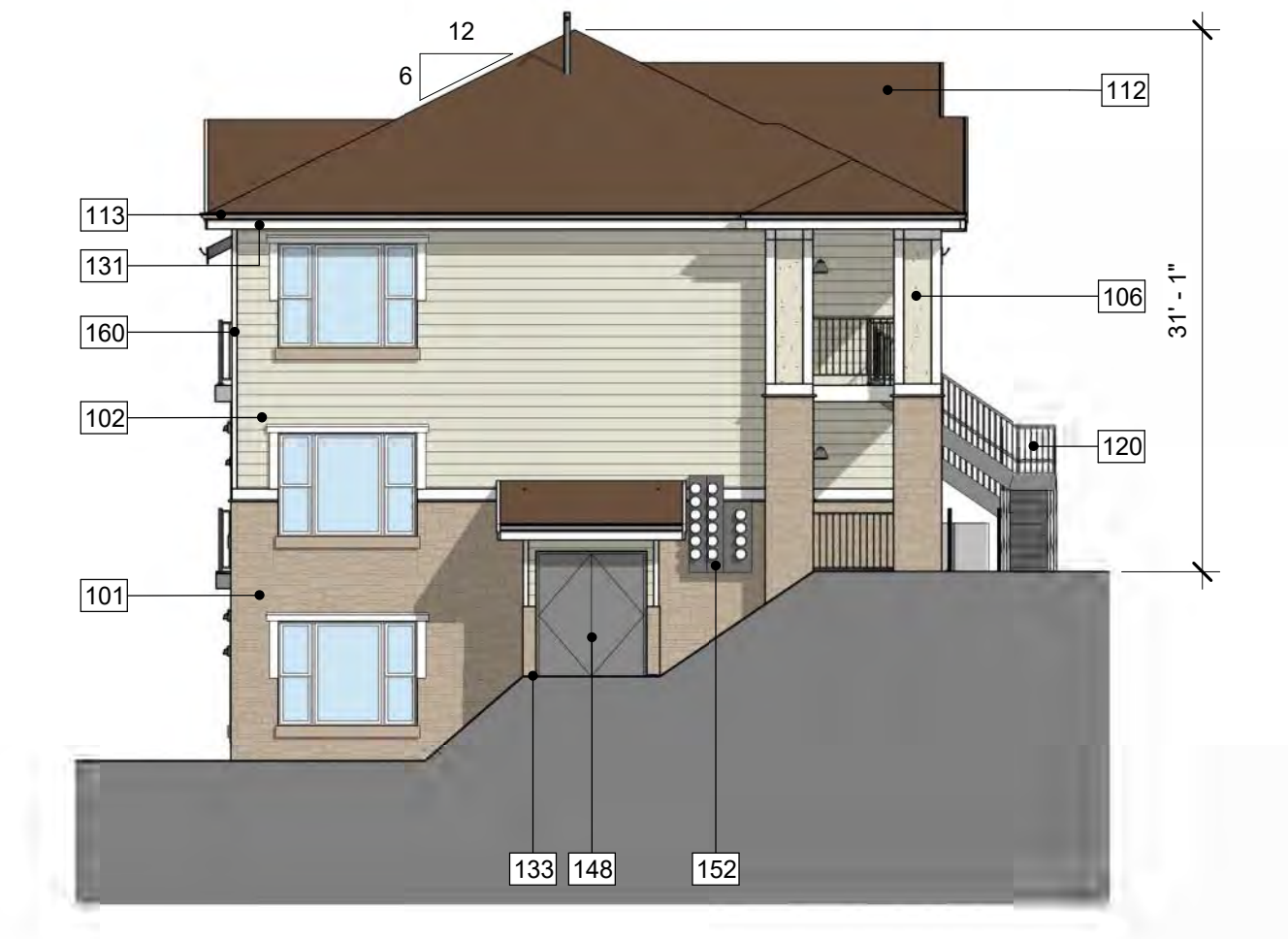
**BLDG TYPE IIB - FRONT ELEVATION, BLDG 2**  
3/32" = 1'-0"



**BLDG TYPE IIB - SIDE 1 ELEVATION, BLDG 2**  
3/32" = 1'-0"



**BLDG TYPE IIB - REAR ELEVATION, BLDG 2**  
3/32" = 1'-0"



**BLDG TYPE IIB - SIDE 2 ELEVATION, BLDG 2**  
3/32" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
CLUBHOUSE	B-1 BODY COLOR SIDING - HORIZ SW7567 - NATURAL TAN	B-2 BODY COLOR SIDING - HORIZ SW 6334 - FLOWER POT	B-3 BODY COLOR SIDING - SHAKE SW7567 - NATURAL TAN	B-4 BODY COLOR SIDING - SHAKE SW 7734 - OLIVE GROVE	B-4 BODY COLOR WOOD PANEL SW 7005 - PURE WHITE	P-1 PUNCH COLOR DOORS SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
<b>T-1 TRIM COLOR</b>						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
<b>P-2 PUNCH COLOR</b>						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS: SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
103	SHAKE SIDING
106	CEMENTITIOUS PANEL
108	VINYL WINDOWS - OPERABLE (SINGLE, DOUBLE AND TRIPLE)
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
120	METAL RAILING
126	WATERTABLE & 5/4X8" WOOD TRIM
130	COLUMN
131	FASCIA 2X8
133	KNOX BOX
142	ENTRY DOOR
148	FIRE RISER ROOM
151	GAS METER RE:SITE PLAN
152	ELECTRIC METER RE:SITE PLAN
160	CORNER TRIM 5/4X4
161	CORNER TRIM 5/4X6

ENTITLEMENT  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**BUILDING TYPE 2B ELEVATIONS**

DATE PREPARED: 01-05-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**14 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



BUILDING TYPE IB - PERSPECTIVE 1



BUILDING TYPE IB - PERSPECTIVE 2



BUILDING TYPE IIB - PERSPECTIVE 1



BUILDING TYPE IIB - PERSPECTIVE 2

PERSPECTIVES

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE  
APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

ENTITLEMENT  
DRAWINGS  
NOT FOR  
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SHEET  
**15 OF 20**

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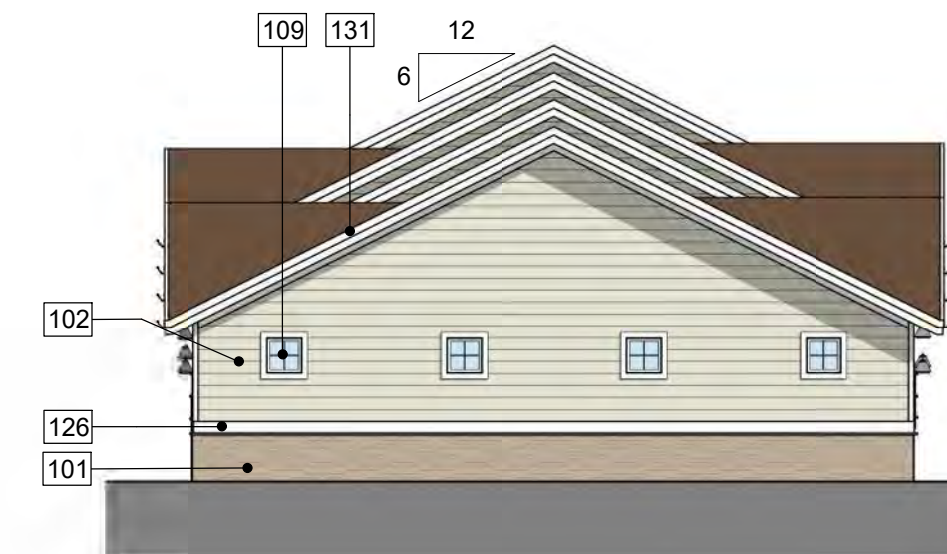
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES**

BUILDING MATERIAL & COLOR SCHEME						
CLUBHOUSE	B-1 BODY COLOR SIDING - HORIZ. SW7567 - NATURAL TAN	B-2 BODY COLOR SIDING - HORIZ. SW 6334 - FLOWER POT	B-3 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR SIDING - SHAKE	B-4 BODY COLOR WOOD PANEL	P-1 PUNCH COLOR DOORS SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 1	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW7567 - NATURAL TAN	SW 7734 - OLIVE GROVE	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 2	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW7567 - NATURAL TAN	SW 6334 - FLOWER POT	SW 7005 - PURE WHITE	SW7024 - FUNCTIONAL GRAY
BUILDING TYPE 3 & 4, POOL EQUIPMENT AND MAIL KIOSK	SW7567 - NATURAL TAN					SW7024 - FUNCTIONAL GRAY
<b>ALL BUILDINGS</b>						
<b>T-1 TRIM COLOR</b>						
WINDOW/DOOR TRIM, FASCIA/GUTTERS, SOFFITS, CEILINGS, BELT TRIM COURSE, FRIEZE TRIM, CEMENTITIOUS PANELS: SW 7005 PURE WHITE						
<b>P-2 PUNCH COLOR</b>						
RAILING, HANDRAILS, TRASH SCREEN GATES: SW 7674 PEPPERCORN FAUX GABLE: SW3507 - RIVERWOOD						
STONE, ENVIRONMENTAL STONE WORK - CHESTNUT LEDGESTONE	WINDOWS, SHERWIN WILLIAMS, COLOR: SW 7005 PURE WHITE	ROOF: OWENS CORNING, COLOR: DRIFTWOOD	WOOD STAIN: SHERWIN WILLIAMS, COLOR: SW 3518 HAWTHORNE			



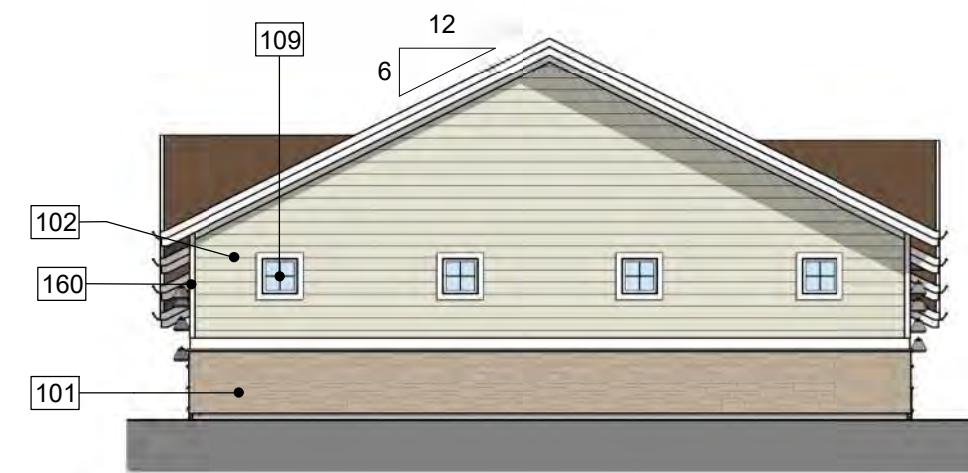
**BUILDING TYPE III - FRONTELEVATION, GARAGE 1**  
3/32" = 1'-0"



**BLDG TYPE III - SIDE 1 ELEV.**  
3/32" = 1'-0"



**BUILDING TYPE III - REAR ELEVATION, GARAGE 1**  
3/32" = 1'-0"



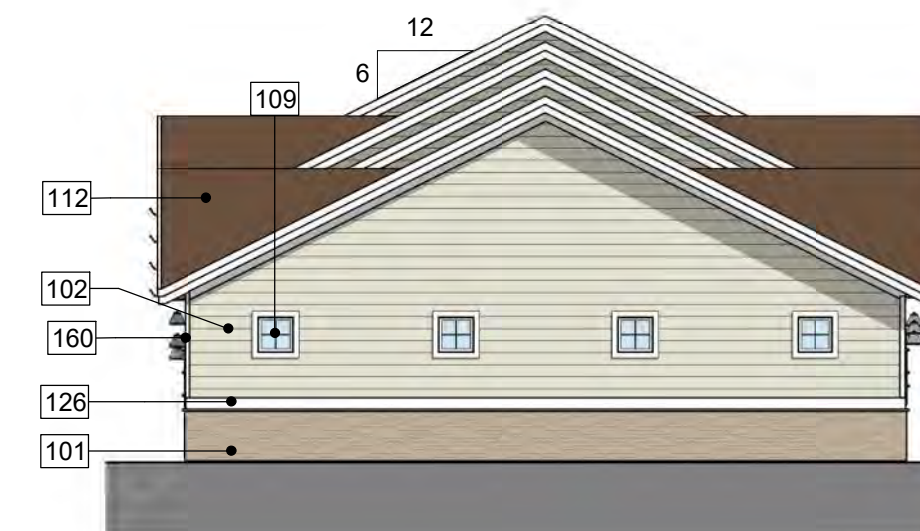
**BLDG TYPE III - SIDE 2 ELEV.**  
3/32" = 1'-0"



**BUILDING TYPE III - PERSPECTIVE, GARAGE 1**



**BUILDING TYPE IV - FRONT ELEVATION, GARAGES 2 & 3**  
3/32" = 1'-0"



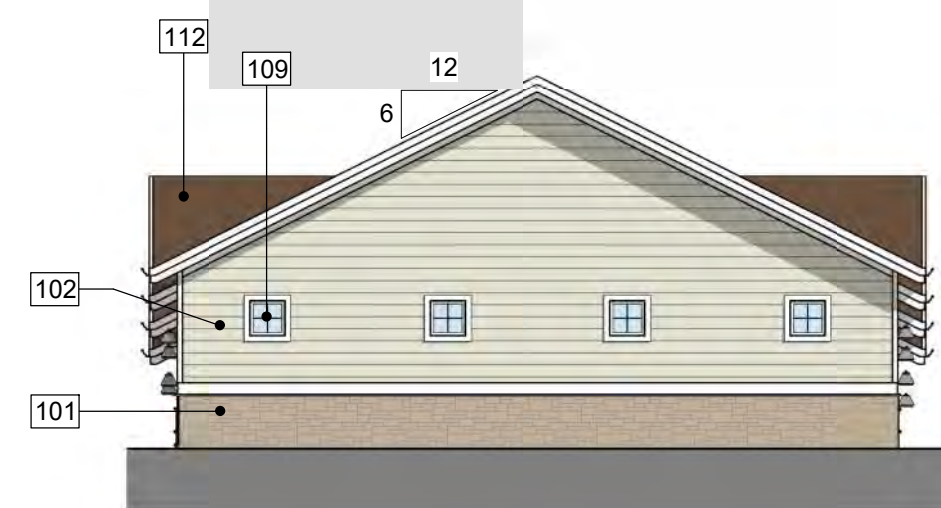
**BLDG TYPE IV - SIDE 1 ELEV.**  
3/32" = 1'-0"



**BUILDING TYPE IV - PERSPECTIVE, GARAGES 2 & 3**



**BUILDING TYPE IV - REAR ELEVATION, GARAGES 2 & 3**  
3/32" = 1'-0"



**BLDG TYPE IV - SIDE 2 ELEV.**  
3/32" = 1'-0"

ELEVATION MATERIAL NOTES	
101	CULTURED STONE
102	LAP SIDING
109	VINYL WINDOWS - FIXED
112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
114	GABLE VENT
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
121	CORNER TRIM 5/4X4
123	GARAGE DOOR WITH ROW OF GLASS
126	WATERTABLE & 5/4X8" WOOD TRIM
131	FASCIA 2X8
159	ACCESS DOOR TO ADA GARAGE.
160	CORNER TRIM 5/4X4

BUILDING TYPE 3 AND 4 ELEVATIONS AND PERSPECTIVES  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**16 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

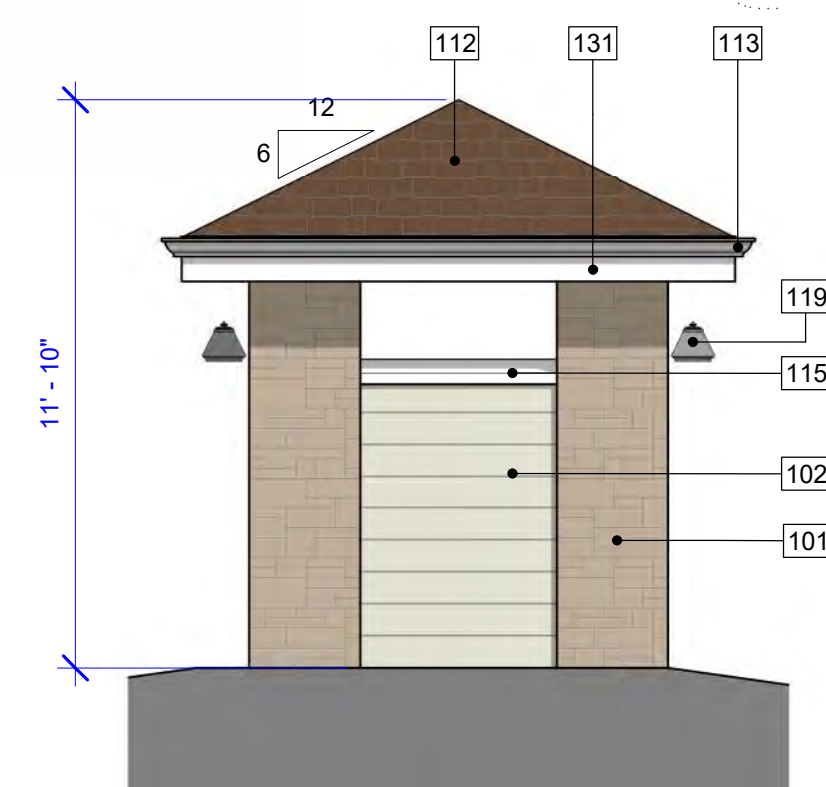
ENTIREMENT DRAWINGS NOT FOR CONSTRUCTION

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES



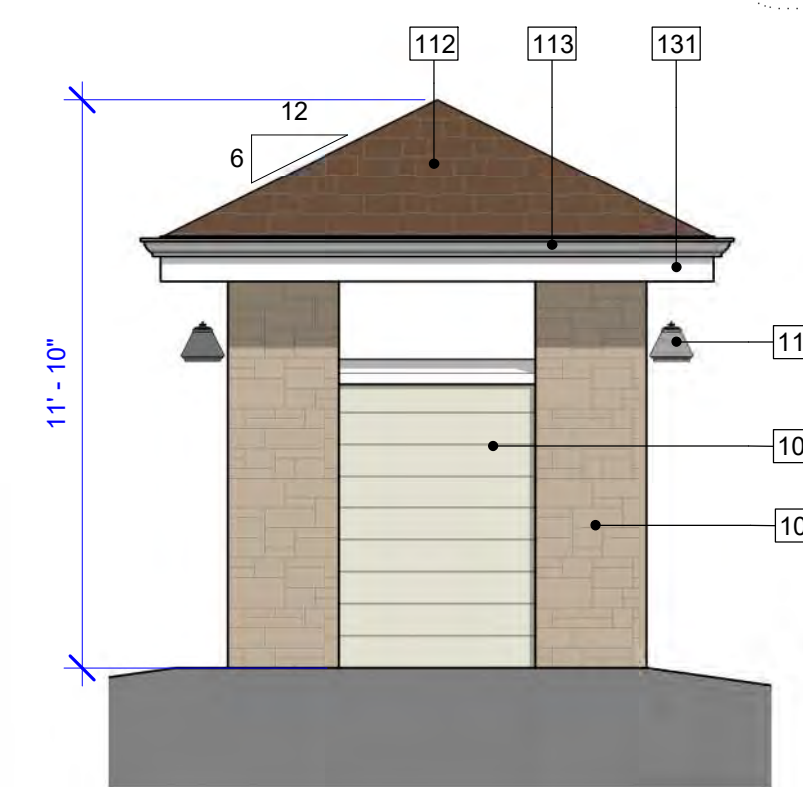
**MAIL KIOSK - FRONT**  
1/4" = 1'-0"



**MAIL KIOSK - SIDE 1**  
1/4" = 1'-0"



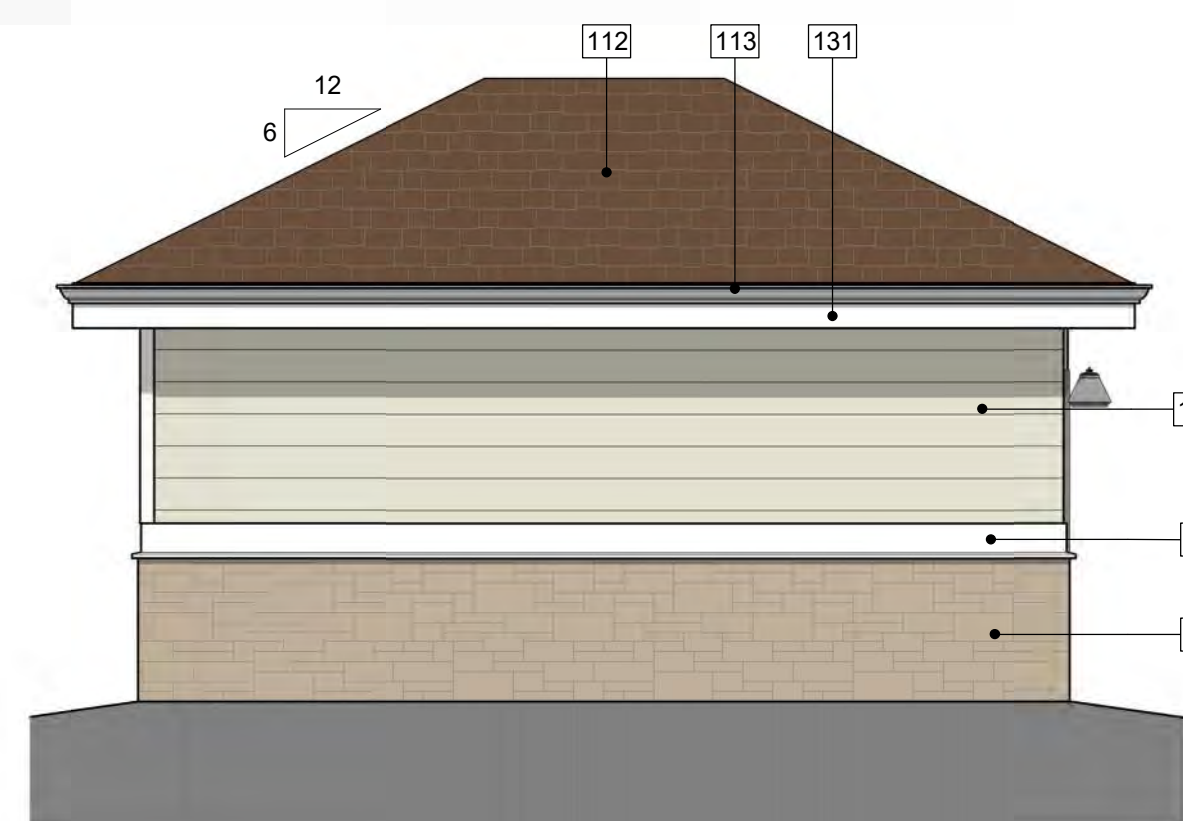
**MAIL KIOSK - REAR**  
1/4" = 1'-0"



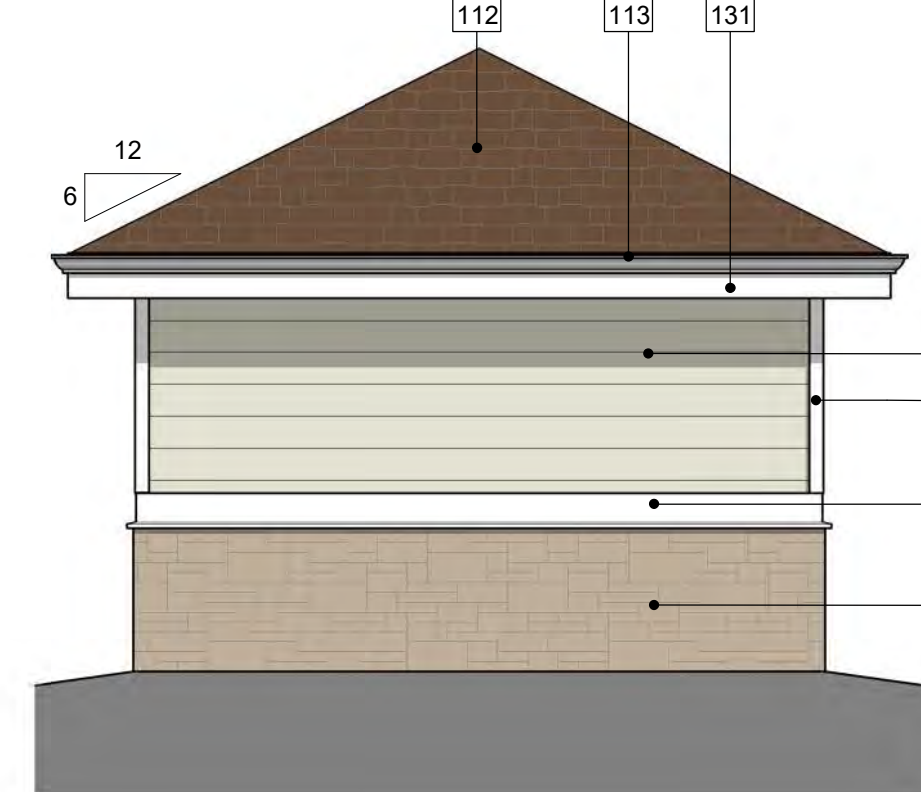
**MAIL KIOSK - SIDE 2**  
1/4" = 1'-0"



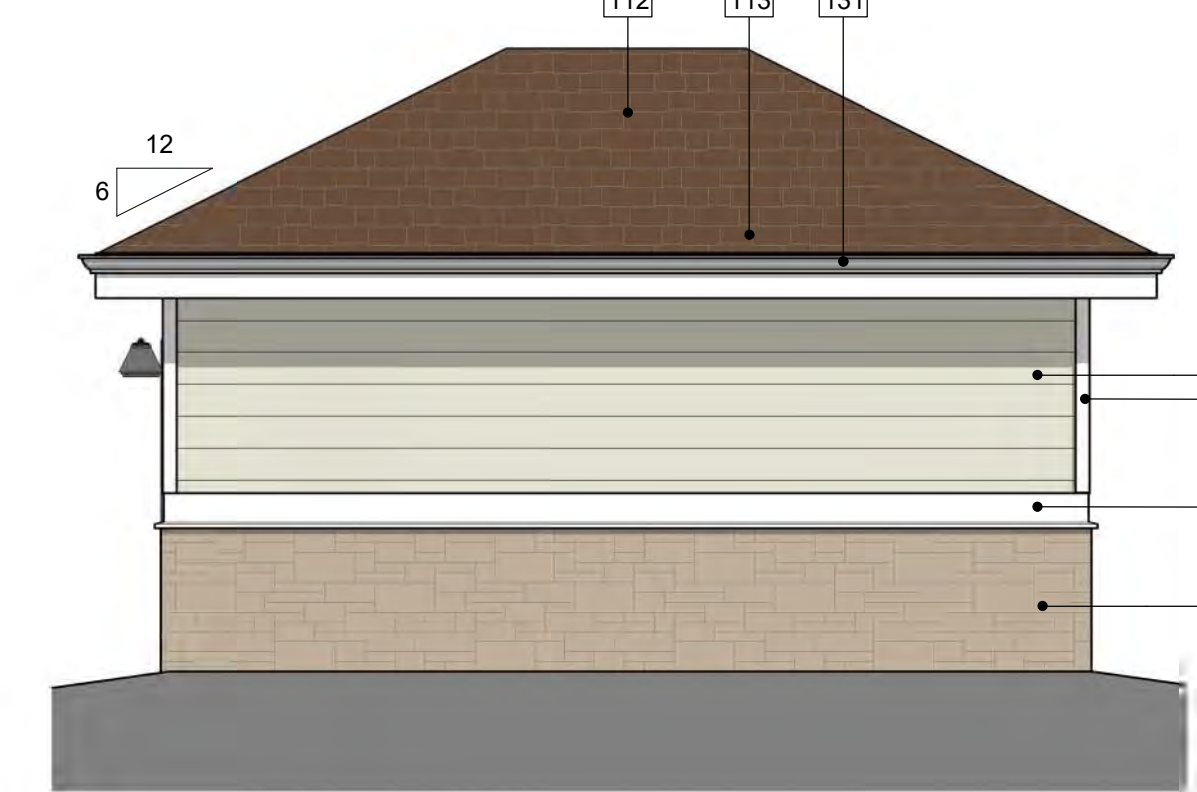
**POOL EQUIP. - FRONT**  
1/4" = 1'-0"



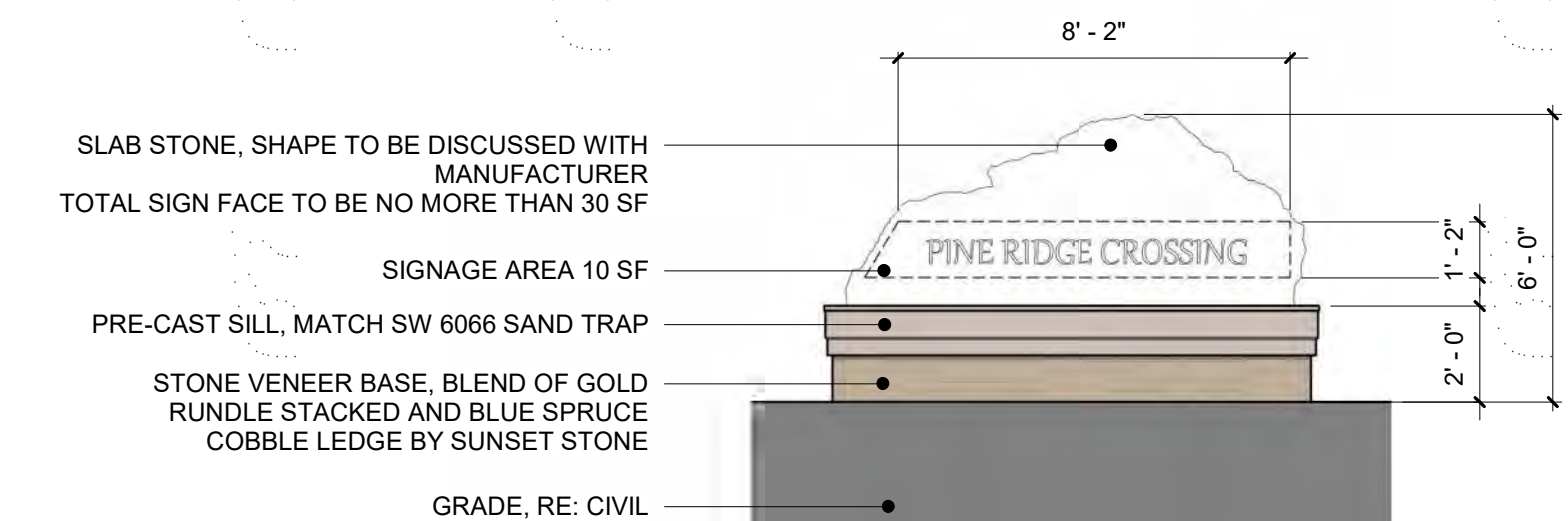
**POOL EQUIP. - SIDE 1**  
1/4" = 1'-0"



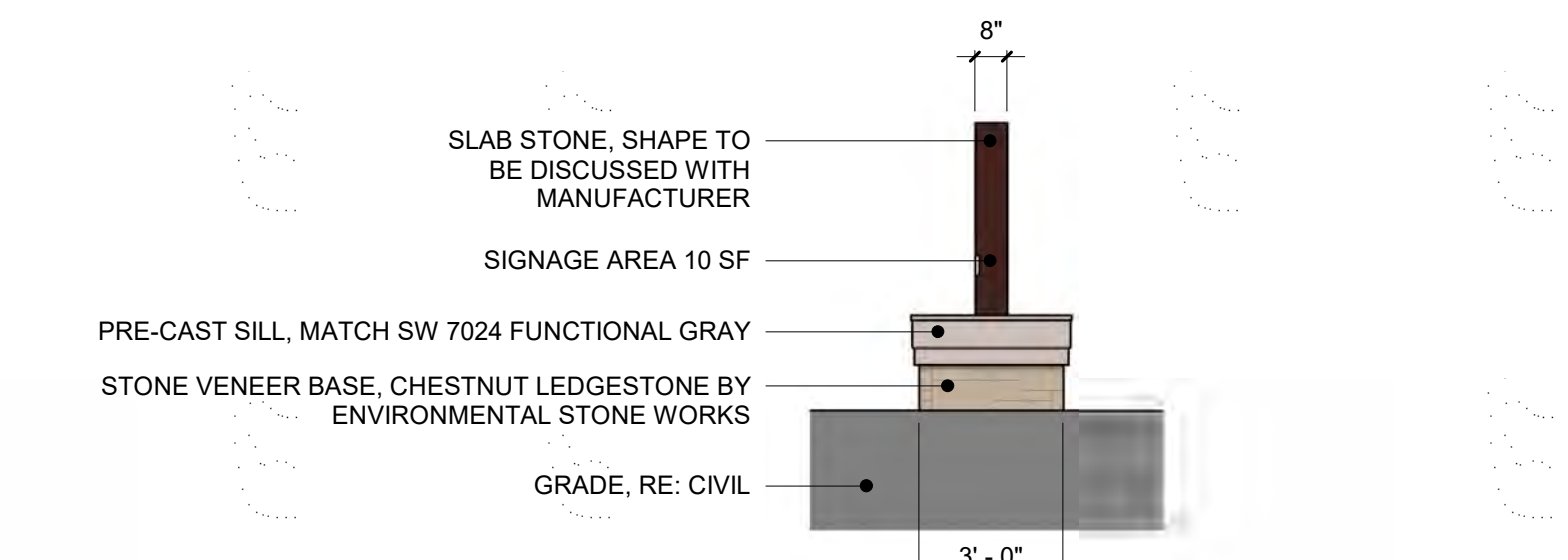
**POOL EQUIP. - REAR**  
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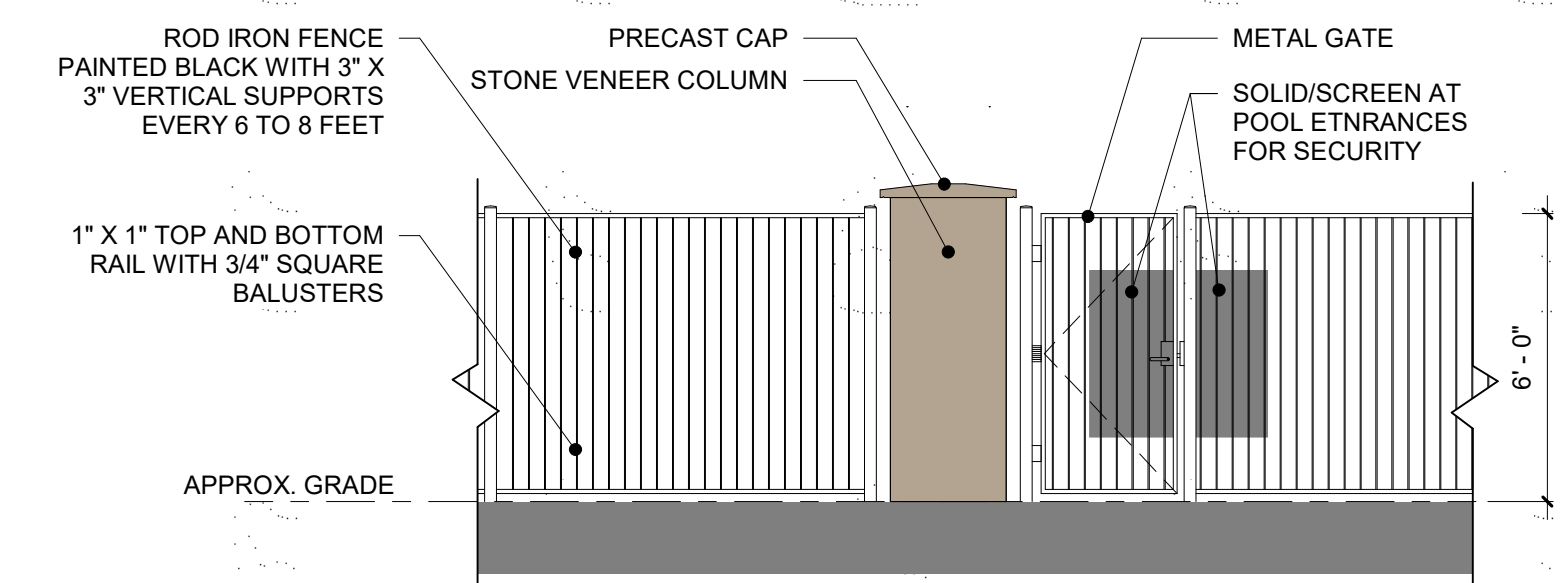
**POOL EQUIP. - SIDE 2**  
1/4" = 1'-0"



**MONUMENT SIGN - FRONT**  
1/4" = 1'-0"



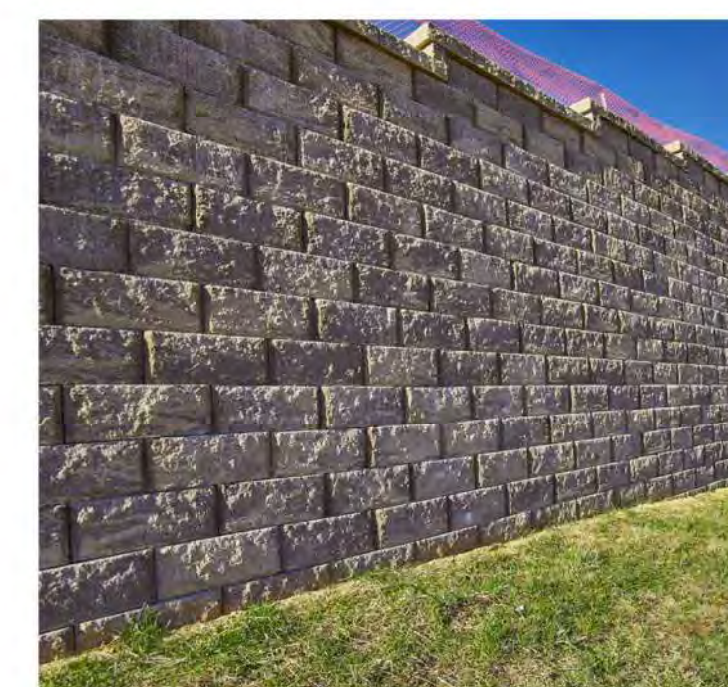
**MONUMENT SIGN - SIDE**  
1/4" = 1'-0"



**POOL FENCING**  
1/4" = 1'-0"

BUILDING MATERIAL & COLOR SCHEME						
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112	HIGH PROFILE ASPHALT SHINGLE ROOF
113	DOWNSPOUT AND GUTTER, COLOR TO MATCH FACIA
115	MANUFACTURED STONE CAP
119	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
126	WATERTABLE & 5/4X8" WOOD TRIM
131	FASCIA 2X8
134	MAIL BOX
148	FIRE RISER ROOM
160	CORNER TRIM 5/4X4



**RETAINING WALL**  
BROADSTONE 8" ROCK FACE FROM KEYSTONE  
COLOR: SIERRA BLEND

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**ACCESSORY BUILDING ELEVATIONS**

DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

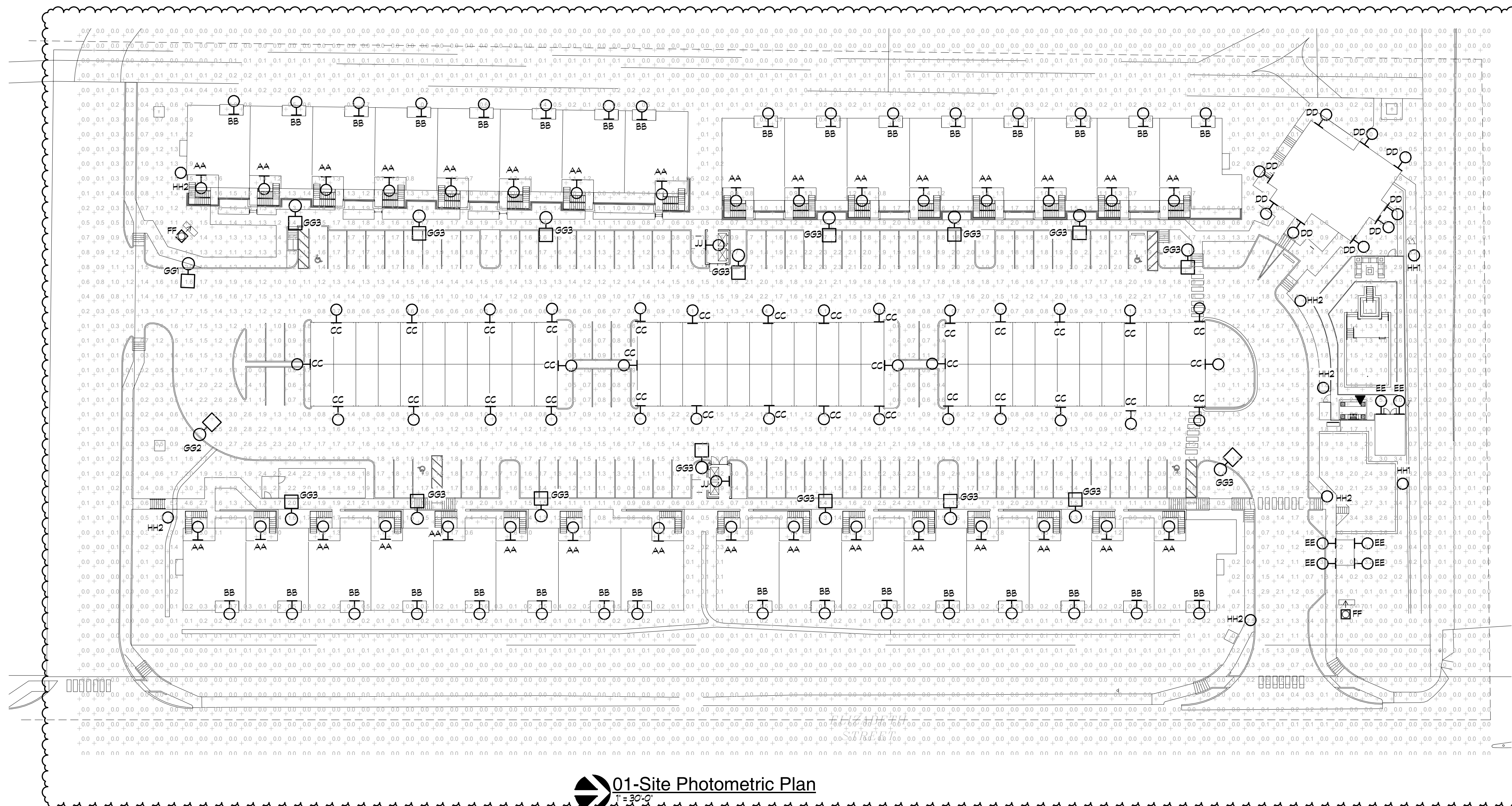
SHEET  
**17 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES



01-Site Photometric Plan

### EXTERIOR LUMINAIRE SCHEDULE

KEY	LAMP	DESCRIPTION	CEILING (DEPTH)	MANUFACTURER/#	VOLT
AA	8W LED, 211 LUM, 3000K	EXTERIOR WALL MOUNTED SCONCE	WALL 7 A.F.F.	MODERN FORMS, PASADENA OUTDOOR LARGE LED WALL SCONCE, WS-W62610-B2-A12175	120
BB	143W CFL, 450 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 8 A.F.F.	CAPITAL LIGHTING FIXTURE COMPANY, LAKESHORE 1 LIGHT WALL LANTERN, 988108	120
CC	11.5W LED, 585 LUM, 3000K	EXTERIOR WALL MOUNTED SCONCE	WALL 7 A.F.F.	WAC LIGHTING, SODOR LED OUTDOOR SCONCE, WS-W15710-GH	120
DD	8W LED, 800 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 10 A.F.F.	SEAGULL LIGHTING, ONE LIGHT OUTDOOR WALL LANTERN, 88242-780	120
EE	12W LED, 1400 LUM	EXTERIOR WALL MOUNTED SCONCE	WALL 9 A.F.F.	EATON LUMARK CROSSTOUR LED, XTORIB-W	120
FF	28W LED FLOOD	MONUMENT SIGN LIGHTING FIXTURE	GROUND	HUBBELL FSL-7L LED DECORATIVE FLOOD.	120
GG1	34W LED, 3,566 LUM, 3000K, TYPE 2 DIST	PARKING LOT LIGHT FIXTURE	25 POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01-LED-U-T2	120
GG2	34W LED, 3,787 LUM, 3000K, TYPE 2R DIST	PARKING LOT LIGHT FIXTURE	25 POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01-LED-U-T2R	120
GG3	34W LED, 3,636 LUM, 3000K, TYPE 3 DIST	PARKING LOT LIGHT FIXTURE	25 POLE	EATON STREETWORKS GALLEON LED, GAN-AF-01-LED-U-T3	120
HH1	37W LED, 3810 LUM, 3000K TYPE 3 DIST	PEDESTRIAN PENDANT POLE LIGHT FIXTURE	10 POLE	PHILIPS LUMEC METROSCAPE PENDANT, MSR-35W32LED3K-G2-LESS	120
HH2	37W LED, 3733 LUM, 3000K, TYPE 5 DIST	PEDESTRIAN PENDANT POLE LIGHT FIXTURE	10 POLE	PHILIPS LUMEC METROSCAPE PENDANT, MSR-35W32LED3K-G2-LESS	120
JJ	LED	EXTERIOR WALL MOUNTED SCONCE	WALL 6 A.F.F.	HI-LITE MFG. CO., INC. H-LCGU-FB VAPOR JAR COLLECTION	120

NOTES: \*NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN MODEL NUMBERS AND DESCRIPTIONS PRIOR TO ORDERING  
\*VERIFY CEILING INSULATION W/ GC AND NOTIFY ENGINEER OF ANY IC RATING CONFLICTS PRIOR TO ORDERING

SITE PHOTOMETRIC PLAN

DATE PREPARED: 01-05-2023  
DATE REVISED: TBD

PLANS PREPARED FOR:

## NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**18 OF 20**

John B. Collins Architect, LLC  
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# PINE RIDGE CROSSING


## SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

4.187 ACRES

FIXTURE 'AA'

3/22/2018 Pasadena Outdoor LED Wall Sconce by Modern Forms at Lumens.com



CALL US  
877-483-4488  
Mon-Fri 9am-5pm PT  
Sat 7am-5pm PT

### Pasadena Outdoor LED Wall Sconce

By Modern Forms

**\$219.00 - \$259.00**

IN STOCK Ships within 2 business days.



FREE SHIPPING on orders over \$75.  
 FREE GIFT ONLY AT LUMENS: Use coupon code DISC at checkout to get a FREE Disc LED Task Lamp (a \$249 value) with qualifying \$350+ Modern Forms purchase during The Design Event. Limited time only.  
 FREE DESIGN GIFT ONLY AT LUMENS: Use code DESIGN at checkout to get a FREE Alessi Nuvem Wire Basket (\$50 Value) or Grey Firenze Clock (\$90 value) with qualifying \$400 purchase during The Design Event. Limited time only. [SEE DETAILS](#)

**Finish:** Bronze

**Size:** Large



ITEM #: MFPA07733  
MFG ID: WS16280-02 **\$259.00**

IN STOCK Ships within 2 business days.

**Details**

Named after the famous Gamble House in southern California, the Modern Forms Pasadena Outdoor LED Wall Sconce exhibits West coast arts and crafts styling. Inspired by the forms of the bungalow architecture, the sloping shade lights the space with energy efficient LEDs, and also prevents light pollution of the night sky.

WAC Lighting, founded in 1984, has developed a strong reputation for high quality decorative and task lighting. Based in Garden City, New York, WAC Lighting is a leading manufacturer of low voltage, line voltage and LED lighting, including track systems, transformers, lamps, cabinet lighting and recessed downlights.

The Pasadena Outdoor LED Wall Sconce is available with the following:

- Material:** Aluminum end mouth blown glass
- Shade Material:** Mouth blown etched opal glass
- Universal driver (120V-220V-277V)**
- Dark Sky compliant**
- ETL Listed Wet**
- Made in China**


**Options:**

- Finish:** Bronze, Graphite
- Size:** Small, Large

**Lighting:**

- 8 Watt (210 Lumens) 120 Volt Integrated LED.** CRI: 90 Color Temp: 3000K Lifespan: 80000 hours

**Compare Brightness:**



**Dimensions:**

- Large Option Fixture:** Width 9.75", Height 10", Depth 10.75", Weight 5.6 Lbs.
- Small Option Fixture:** Width 7.5", Height 8", Depth 9", Weight 4.1 Lbs.

FIXTURE 'BB'



Capital Lighting Fixture Company  
5359 Ruffe Banks Drive, Flowery Branch, GA, 30542-2768  
TF: 800.323.3257 | P: 770.965.7238 | F: 770.965.7254  
www.capitalightingfixture.com

Collection: Lakeshore

### 1 Light Wall Lantern

9881OB

6.5"W x 13"H x 5.5"D

Old Bronze

**Specs**

**Description**  
1 Light Wall Lantern

**Collection**  
Lakeshore

**Finish Description**  
Old Bronze

**Fixture Material**  
Metal

**Glass**  
Frosted Glass

**Lamping**  
1-80 Watt Medium

**Voltage**  
120V

**Certification**  
UL Listed, Rated for Wet Environments.

**Back Plate Junction Top**  
4.6"

**Back Plate Length**  
13"

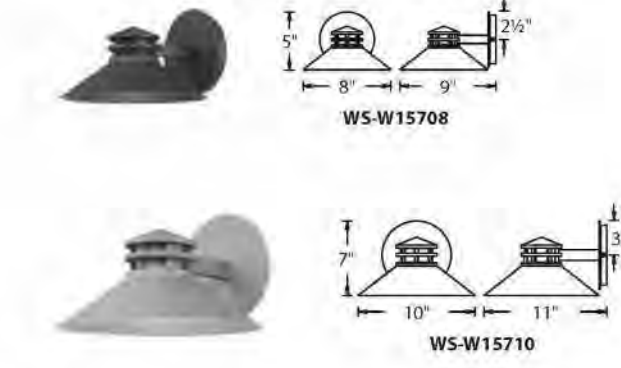
**Back Plate Width**  
5.6"

**Center/Top**  
6.5"

**Center/Bottom**  
6.5"

FIXTURE 'CC'

SODOR – model: WS-W157  
dweLED™ LED Outdoor



**PRODUCT DESCRIPTION**  
A Seamless inspired approach to a traditional lantern design, Sodor is constructed with a solid die-cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

**FEATURES**

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CRI: 90
- Dimming: 100% - 5% ELV
- Rated Life: 50,000 hours
- Input: 120V

**SPECIFICATIONS**

**Construction:** Aluminum and White Diffuser Lens

**Light Source:** High output LED.

**Finish:** Bronze (BZ), Graphite (GH)

**Standards:** ETL & cETL, wet location listed, IP 65, Dark Sky Friendly

FIXTURE 'DD'

Sea Gull Lighting®

Life Illuminated | Since 1919

88242-780: One Light Outdoor Wall Lantern



Collection: Cape May

One Light Wall Lantern in Burled Iron Finish with Etched Hammered with Light Amber Glass Shade

UPC #: 785652242786

Finish: Burled Iron (780)

**Dimensions:**

- Width: 11"
- Height: 28 1/4"
- Weight: 7.5 lbs.

**Extends:** 13 3/4"

**Wire:** 6 1/2"

**Mounting Proc.:** Cap Nuts

**Connection:** Mounted To Box

**Bulbs:**

- 1 - Medium A19 120v Max. 120v - Not included
- 1 - LED Medium A19 8w Max. 120v - Not included
- 1 - LED Medium A19 13.5w Max. 120v - Not included

**Features:**

- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance Database.

**Material List:**

- 1 Body - Aluminum - Burled Iron

**Safety Listing:**

- Safety Listed for Wet Locations
- Safety Listed for Wet Locations / Non-IC

**Instruction Sheets:**

- English (HC-1180)
- French (F-006)

**Lumark**

**PRODUCT DESCRIPTION**  
The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/face, inverted mount for landscape/way illumination, post/bollards, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks etc.

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 28W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 2 1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 500K, 400K and 300K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 28W and 38W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 60°C models available. Crosstour luminaires maintain greater than 85% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

**Finish**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**  
Five-year warranty.

**XTOR CROSSTOUR LED**

**APPLICATIONS:** WALL / SURFACE POST / HOLLARD FLOODLIGHT INVERTED SITE LIGHTING

Series	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTORIB-Small Door, 12W	[Blank]-Bright White (Standard)	[Blank]-Carbon Bronze (Standard)	PCI-Photocontrol 120V/1 PCZ-Photocontrol 120V/277V**	WGL-XTOR-Wire Guard* XTORFLD-KIC-Kickable Floodlight Kit*
XTORIB-Small Door, 18W	W-Neutral White, 4000K	W-Neutral White, 4000K	WF-Summit White, 3000K	XTORFLD-TM-TM Kickable Floodlight Kit*
XTORIB-Small Door, 28W	W-Neutral White, 3000K	W-Neutral White, 3000K	WY-Vivid White, 3000K	XTORFLD-TM-TM Kickable Floodlight Kit*, Summit White*
XTORIB-Medium Door, 38W	[Blank]-Bright White (Standard)	[Blank]-Carbon Bronze (Standard)	PCI-Photocontrol 120V/1 PCZ-Photocontrol 120V/277V**	WGL-XTOR-Wire Guard* XTORFLD-KIC-Kickable Floodlight Kit* XTORFLD-TM-TM Kickable Floodlight Kit*, Summit White* XTORFLD-TM-W-T Translucent Floodlight Kit, Summit White*

**NOTES:**

- \* Kickable Lights: Constructed with steel and finished for both SDC Standard and DLC Premium; refer to www.designlights.org for details.
- \*\* Photocontrol are factory installed.
- \*\* On a PC1 in 10/12 modes.
- \*\* The standard wiring not available with WA option or with 347V, XTORIB not available with WA and 347V or 18W combination.
- \*\* Wire gauge for wall/face mount. Not for use with floodlight kit accessories.
- \*\* Floodlight kit includes: 2' x 4' x 8" fixture, 2' x 4' x 8" mounting bracket, 2' x 4' x 8" pole and 2' x 4' x 8" pole bracket.

**TECHNICAL DATA**

- 40°C Maximum Ambient Temperature
- External Supply Wire @ 60°C Minimum
- EPA: Effective Projected Temp 35 to 111
- XTORIB, XTORIB-S, XTORIB-M, XTORIB-L
- XTORIB-0-35

**SHIPPING DATA**

- Approximate Net Weight: 2.7 - 5.25 lbs (1.2 - 2.4 kg)

**Shade / Glass / Diffuser Details:**

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	Etched Hammered with Light Amber	1		10 15/32"	8 5/8"	10 15/32"	8 5/8"				

**Backplate / Canopy Details:**

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	16 1/8"	4 1/2"	1"		9 1/4"	17"

**Replacement Bulb Data:**

Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CR1	
9730BS	Frosted	A19	E-26 Medium	8	8	120v	50000	450	3000	85
9740BS	Frosted	A19	E-26 Medium	8	8	120v	50000	450	2700	85
9730GS	Frosted	A19	E-26 Medium	13.5	13.5	120v	50000	800	3000	85
9740GS	Frosted	A19	E-26 Medium	13.5	13.5	120v	50000	800	2700	85

**Shipping Information:**

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Ftl. Class	UPS Ship
Individual	88242-780	1	785652242786	15.75	13.5	27	3.322	11.6	250	Yes
N/A Pallet		21		48	40	72.5	80.556	243.6		No
NV Pallet		21		48	40	72.5	80.556	243.6		No

**POWER AND LUMENS BY FIXTURE MODEL**

LED Information (Wall Mount)	XTORIB	XTORIB-W	XTORIB-Y	XTORIB	XTORIB-W	XTORIB-Y	XTORIB	XTORIB-W	XTORIB-Y	XTORIB-W	XTORIB-Y	XTORIB-W	XTORIB-Y
Diffused Lumens (Wall Mount)	1,410	1,390	1,327	2,130	2,100	1,957	2,761	2,710	2,575	4,269	4,206	3,956	
Diffused Lumens (With Flood Accessory Kit *)	1,805	590	840	1,455	1,472	1,289	2,099	2,060	1,965	3,168	3,121	2,985	
B.L.C. Rating*	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B1-L16-G0	B2-L16-G0	B2-L16-G0	B2-L16-G0	
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	
CRI Color Rendering Index	70	70	70	70	70	70	70	70	70	70	70	70	
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	28W	28W	28W	38W	38W	38W	

**ORDERING INFORMATION**

Sample Number: XTORIB-WVF-PCI

# SITE LIGHTING CUT SHEETS

DATE PREPARED: 01-05-2023  
DATE REVISED: TBD

## PLANS PREPARED FOR:

# NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**19 OF 20**

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# PINE RIDGE CROSSING SITE PLAN AMENDMENT

## SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160 4.187 ACRES

FIXTURE FF

**FSL LED DECORATIVE FLOOD**

**HUBBELL Outdoor Lighting**

**SPECIFICATIONS**  
 Intended Use: Ultra compact flood with wide beam NEMA 6 x 6 distribution for lighting applications such as safety/security, facade, area, or signs, operating temperature -35°C to 49°C.  
 Construction: Rugged die-cast aluminum housing with dark bronze finish. High impact UV stabilized acrylic outer lens protects LEDs and allows for cleaning/debris removal. Vented housing isolates LED module from driver maximizing product life and performance. Vibration and shock resistant.

**PRODUCT IMAGES**

**Dimensions**  
 A: 5.125", B: 7.5", C: 4.0", D: 8.625", E: 3.5", Weight: 6 lbs  
 114 mm, 190 mm, 102 mm, 219 mm, 89 mm, 2.7 kg

**ORDERING INFORMATION**

Ordering Number	Mount	Max. Cable Power	Beam Pattern	Wattage	Drive Current	Voltage	Color Temperature	Lumens	LPW	Weight (lb. kg)
FSL-7	1/2" thread	1790	Wide	26	1050mA	120-277V	5000K	2448	94	6 (2.7)
FSL-7-POI	1/2" thread	1790	Wide	26	1050mA	120-277V	5000K	2448	94	6 (2.7)
FSL-7-PLK	1/2" thread	1794	Wide	26	1050mA	120-277V	4000K	2406	92.5	6 (2.7)
FSL-7-PLK-POI	1/2" thread	1794	Wide	26	1050mA	120-277V	4000K	2406	92.5	6 (2.7)

FIXTURE GG1, GG2, GG3

**Streetworks**

**DESCRIPTION**  
 The Gallleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/CUL Listed for wet locations.

**SPECIFICATION FEATURES**  
**Construction**  
 Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 33 vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing in IP66 rated.

**Optics**  
 Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

**Electrical**  
 LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 327V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 100V of transient line surge. The Gallleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Mounting**  
**STANDARD ARM MOUNT:**  
 Extruded aluminum arm includes internal bolt guide allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

**Round pole adapter included:** For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
 Five-year warranty.

**GAN GALLEON LED**  
 1-10 Light Squares Solid State LED  
 AREA / ROADWAY LUMINAIRE

**Dimensions**

**DRILLING PATTERN**

**CERTIFICATION DATA**  
 UL/CUL Wet Location Listed  
 800 500T  
 LMTV / LMB Conditions  
 50 Vibration Rated  
 IP66 Rated  
 Design/Lights Consortium® Qualified®

**ENERGY DATA**  
 Business LED Driver  
 <math>0.9</math> Power Factor  
 <math>>95%</math> Total Harmonic Distortion  
 120V 277V 50/60Hz  
 50V & 480V 60Hz  
 -40°C Min. Temperature  
 40°C Max. Temperature  
 50°C Max. Temperature (HA Option)

FIXTURE HH1, HH2

**MSR**

**DESCRIPTION**  
 Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
 Five-year warranty.

**Key features**

- Up to 96 high performance white LEDs
- Can deliver over 20,000 lumens equivalent to 400W HID
- Complete IP66 rated luminaire
- Dedicated LED optics (types 2, 3, 4 & 5)
- Operating lifespan of 100,000 hours (with L70 lumen maintenance at 29°C)
- Ships standard with dimmable (0-10V) driver

**Flat lens**  
 EPA 2.22 sq ft  
 Weight 5.1 lbs (2.3 kg)

**Sag lens**  
 EPA 2.22 sq ft  
 Weight 5.1 lbs (2.3 kg)

**MAINTENANCE**  
 Washable  
 Maintenance  
 Parts list

FIXTURE JJ

**HI-LITE MFG. CO., INC.**  
 13450 Monte Vista Avenue  
 Chino, California 91710  
 Telephone: (909) 465-1999  
 Toll Free: (800) 465-0211  
 Fax: (909) 465-0907  
 web: www.hilitemfg.com  
 e-mail: sales@hilitemfg.com

**H-LCGU-FB Vapor Jar Collection**

**Job Name:**  
**Type:**  
**Quantity:**

**Dimensions:**  
 6" x 11"

**FINISH** - Offered in exceptional finishes, comprised of polyester/polished powder coat, baking enamel liquid, metal, or galvanized finishes.  
 Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).  
 Upgraded Finishes are: 29, 96, 92, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.  
 For interior finish of fixture refer to color chart on pages 344-348.

**SOCKETS/LAMPS** - Available in:  
 Incandescent  
 - rated 200 watt max/120 volt, medium base.  
 Compact Fluorescent(CFL)  
 - rated 13/18/26/32/42 watt max/120/277 volt, GX24Q base.  
 Metal Halide(MH)  
 - rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.  
 High Pressure Sodium(HPS)  
 - rated 50/70/100/150 watt max/120/277 volt, medium base.  
 Light-Emitted Diode(LED)  
 - See LED specification sheet.

**LENS OPTION** - CLR(Clear), RIB(Clear Ribbed), FR(Frost), RD(Red), BL(Blue), GRN(Green), AM(Amber) and AMC(Amber Crackle) available.

**MOUNTING** - Wall, Flush or Column mount.  
**ACCESSORIES** - Cast guard, Wire guard and Acorn globe available.

**MADE IN THE U.S.A.** Suitable for wet location. **UL LISTED**

**ACCESSORIES/REPLACEMENT PARTS - Order Separately**

Ordering Number	Description
FSL-SPC	Polycarbonate lens (Replaces existing acrylic lens)
FSL-MSOR-XXI	Top/Bottom cover (Top holes in lens frame for field installation)
50079456	Acrylic lens w/ gasket
88041951	Top/Bottom cover (1/8" thick)
2075010204	Knockout mount Dark Bronze finish. Contact factory for additional finishes
S-302	Signets 1-1/2" or 2" pipe (1.875" OD or 2.3125" OD) with 1/2" N.P.S.M. hub, Gray
S-302-351	Signets 1-1/2" or 2" pipe (1.875" OD or 2.3125" OD) with 1/2" N.P.S.M. hub, Bronze
S-302-352	Signets 1-1/2" or 2" pipe (1.875" OD or 2.3125" OD) with 1/2" N.P.S.M. hub, White
TRN-XX	Transition adapter for 1/2" threaded knockout mount

**FRAMES & LENS**  
 FSL-SPC  
 FSL-MSOR - 3/4 View  
 Front View  
 S-302-XX

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: (854) 676-1000  
 Due to our continued efforts to expand our products, product specifications are subject to change without notice.  
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 FSL-7-LED 1016

### Pendant

Luminaire ordering guide

Example: MSR-MSW64LED4K-T-LE3F-120-CDMGM25-SMA-RCD-6NTX

Series	Lamp	CCT	Gen.	Optics	Lenz	Voltage	Driver	Adapter	Luminaire opt	Mounting	Pole	Finish
MSR	35W32LED 55W32LED 75W32LED 97W32LED 55W48LED 80W48LED 108W48LED 140W48LED 70W64LED 110W64LED 145W64LED 195W64LED 90W90LED 135W90LED 110W90LED 160W90LED 215W90LED	3K 3000K 4K 4000K	G2 Gen2	LE2 Type I (95°/90°) LE3 Type II (45°/90°) LE3W Type III (65°/90°) wide flat lens LE4 Type IV (45°/90°) LE5 Type V (95°/90°)	F Flat lens S Sag lens	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	CDMG Dynadimmer for standard dimming CLO Pre-set driver to manage lumen depreciation AST Pre-set driver for progressive start-up OTL Pre-set driver to signal end of lamp life DALI Pre-set driver compatible with the DALI control system DMG 0-10 volt	MA1 1 1/2" NPT threaded hole adapter accepting threaded tube MA2 1 1/2" NPT threaded hole insulator accepting threaded tube SMA Decoupled retro side-mounted cast-aluminum, accepts tubes from 1 1/2" to 2 1/4" SMB Decoupled retro side-mounted cast-aluminum, accepts tubes from 1 1/2" to 2 1/4"	BX Bird repellent DH Opaque decorative hood HS Haque Side Shield PH8 Photoelectric cell PH9 Shorring Clip PHXL Photoelectric cell, extended life RCD 5-Pin receptacle for dimming photoelectric cell RCD7 7-Pin receptacle for photoelectric cell SP2 20kV/20kA Surge Protector (optional)	Consult the Philips web-site for details and the complete line of Mountings	Consult the Philips web-site for details and the complete line of Poles	BE2TX BE6TX BE8TX BG2TX BKTX BRTX GN4TX GN6TX GN8TX CNTX GR GY3TX HP RD2TX RD4TX SCTX WHTX

**SITE LIGHTING CUT SHEETS**  
 DATE PREPARED: 01-05-2023  
 DATE REVISED: TBD  
 PLANS PREPARED FOR:  
**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
 14205 E. Davies Ave  
 Centennial, CO 80112

**SHEET 20 OF 20**

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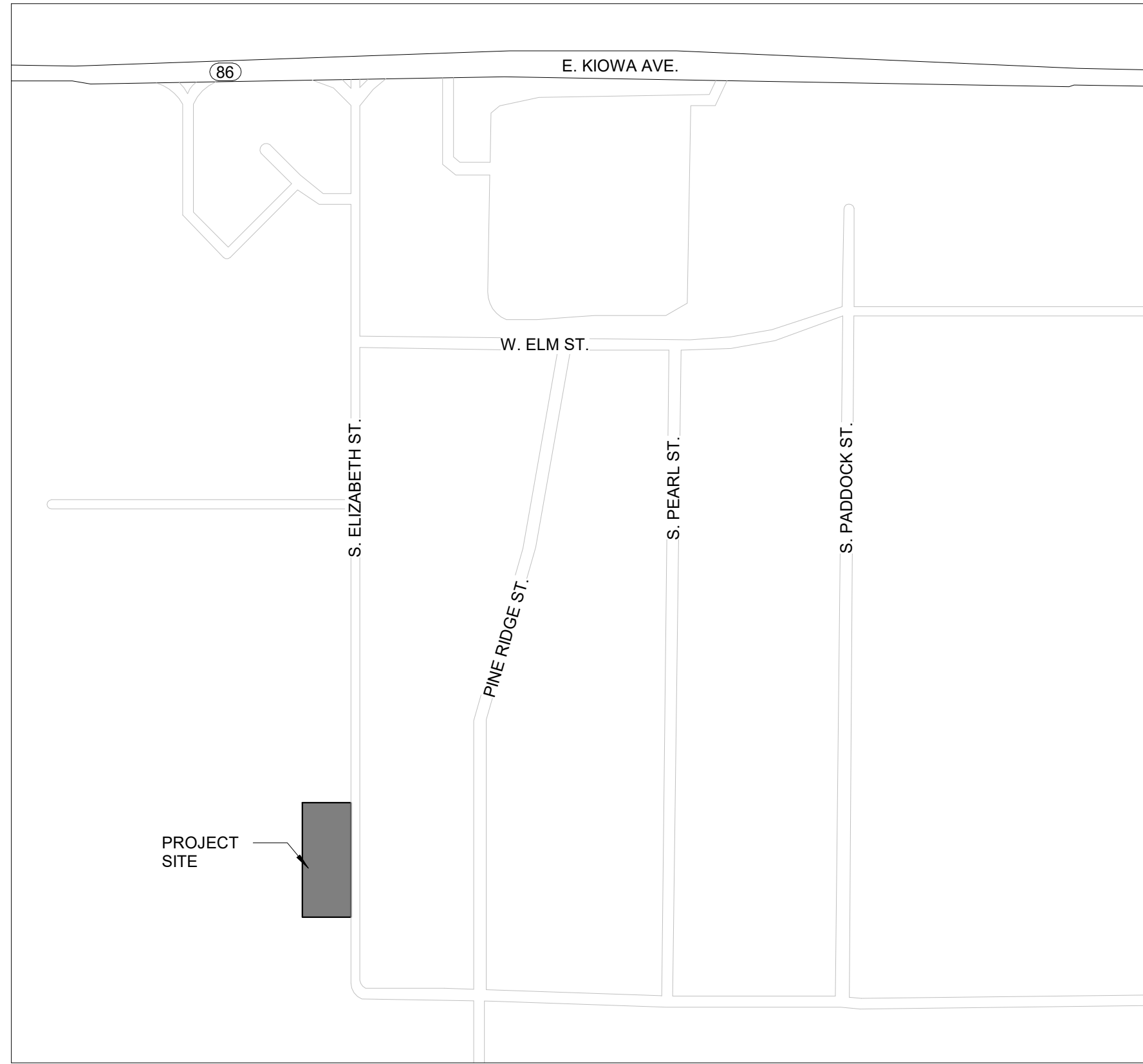
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# PINE RIDGE CROSSING SITE PLAN AMENDMENT

## SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160 4.187 ACRES

### SITE PLAN NOTES:

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE TOWN PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
3. REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENT, LOTS,TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
4. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
5. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN SECTION 16-8-20 OF THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
6. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH TOWN SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
7. FIRE HYDRANTS MUST MEET OR EXCEED ELIZABETH FIRE PROTECTION DISTRICT STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
8. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
9. ALL SIDEWALKS AND RAMPS MUST CONFORM TO TOWN STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- 10.COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS' ASSOCIATION. THE PROPERTY OWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS IN COMMON OPEN SPACE AREAS.
11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO TOWN OF ELIZABETH STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
12. **TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
13. **AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
14. **CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCIES PRIOR TO THE ISSUANCE OF BUILDING PERMITS.



VICINITY MAP  
SCALE: N.T.S.

### ARCHITECT STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ARCHITECT IN THE STATE OF COLORADO, HEREBY ATTEST THAT THIS SITE PLAN AND SET OF DRAWINGS HAVE BEEN DESIGNATED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH DESIGN STANDARDS

REGISTERED ARCHITECT \_\_\_\_\_ DATE \_\_\_\_\_

### CIVIL ENGINEER'S STATEMENT

I, \_\_\_\_\_, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL OF THE TOWN OF ELIZABETH CONSTRUCTION STANDARDS

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

### CLERK AND RECORDER

STATE OF COLORADO )  
) SS  
COUNTY OF ELBERT )  
I hereby certify that this site plan was filed in my office on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ A.D., at \_\_\_\_\_ a.m./p.m., and was recorded at Reception Number \_\_\_\_\_  
(Signature)  
County Clerk and Recorder

### PROPERTY OWNER

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE PROPERTY DESCRIBED HEREIN IN THE TOWN OF ELIZABETH, COUNTY OF ELBERT AND STATE OF COLORADO.

NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

### LIST OF CONTACTS:

OWNER:	CIVIL ENGINEER / SURVEYOR:	ELECTRICAL ENGINEER	TRAFFIC ENGINEER
NCA, LLC, DBA PINE RIDGE APARTMENTS, LLC 14205 E. DAVIES AVENUE CENTENNIAL, CO 80112	CKE ENGINEERING INC. 14257 WEST EVANS AVENUE LAKEWOOD, CO 80228	BOULDER ENGINEERING COMPANCY 1717 15TH STREET BOULDER, CO 80302	EST, INC 1873 S. BELLAIRE STREET, SUITE 1101 DENVER, CO 80222
ARCHITECT:	LANDSCAPE ARCHITECT:	GEOTECHNICAL SERVICES:	
PWN ARCHITECTS & PLANNERS, INC. 9250 E. COSTILLA AVE., SUITE 620 GREENWOOD VILLAGE, CO 80112	BASELINE ENGINEERING CORPORATION 112 N. RUBEY DRIVE, #210 GOLDEN, CO 80403	GEOSCIENCE & DESIGN, INC. P.O. BOX 68 FRANKTOWN, CO 80116	

### SITE DATA:

<b>EXISTING ZONING:</b> CMU - COMMERCIAL MIXED USE (USE BY SPECIAL REVIEW)						
<b>SITE BREAKDOWN:</b>						
TOTAL NET SITE AREA:	181,824 S.F.	4.17 ACRES	100%			
BUILDING COVERAGE:	54,470 S.F.	1.25 ACRES	30%			
DRIVE, WALKS & PARKING:	89,479 S.F.	2.05 ACRES	49%			
LANDSCAPE COVERAGE:	37,875 S.F.	0.87 ACRES	21%rv			
<b>TOTAL:</b>	<b>181,824 S.F.</b>	<b>4.17 ACRES</b>	<b>100%</b>			
<b>CURRENT ZONING:</b> CMU - COMMERCIAL MIXED USE						
<b>GROSS DENSITY:</b> 20 DU/ACRE						
<b>BUILDING COVERAGE:RV:</b>						
BUILDING	FOOTPRINT AREA	CONSTRUCTION TYPE	SPRINKLER SYSTEM			
BUILDING TYPE 1, BUILDING 4	10,208 S.F.	TYPE VB	NFPA 13R			
BUILDING TYPE 1B, BUILDING 1	10,004 S.F.	TYPE VB	NFPA 13R			
BUILDING TYPE 2, BUILDING 3	10,004 S.F.	TYPE VB	NONE			
BUILDING TYPE 2B, BUILDING 2	10,208 S.F.	TYPE VB	NONE			
CLUBHOUSE	2,026 S.F.	TYPE VB	NONE			
<b>PARKING REQUIRED:</b>						
STANDARD PARKING:	EACH DWELLING UNIT:		2 REQUIRED			
HANDICAP PARKING:	101-199 PARKING SPACE		6 REQUIRED			
<b>TOTAL:</b>	<b>(80 UNITS X 2 SPACES)</b>		<b>160 SPACES REQUIRED</b>			
<b>PARKING PROVIDED:</b>						
GARAGE STALL - FULL-SIZE AUTO			32 PARKING SPACES			
GARAGE STALL - OVERSIZED AUTO			32 PARKING SPACES			
GARAGE VAN ACCESSIBLE			2 PARKING SPACES			
(90 DEGREE ANGLE: 9'-0" X 18'-0" FULL-SIZE AUTO)			90 PARKING SPACES			
HANDICAP PARKING:			4 PARKING SPACES			
<b>TOTAL:</b>			<b>160 SPACES PROVIDED</b>			
<b>PARKING BREAKDOWN:</b>						
STANDARD	128 (50%)					
OVERSIZED	33 (25%)					
<b>BUILDING TYPES:</b> MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES						
	HEIGHT	TOTAL # ON SITE	2 BEDROOMS	3 BEDROOMS	GARAGES	STORAGE
BUILDING TYPE 1	2 STORY	1	14	2		
BUILDING TYPE 1B	3 STORY	1	21	3		
BUILDING TYPE 2	2 STORY	1	16			
BUILDING TYPE 2B	3 STORY	1	24			
BUILDING TYPE 3	1 STORY	1	-	-	20	2
BUILDING TYPE 4	1 STORY	2	-	-	44	
CLUBHOUSE		1	-	-	-	-
MAIL		1	-	-	-	-
TRASH ENCLOSURES		2	-	-	-	-
<b>TOTAL:</b>			<b>75</b>	<b>5</b>	<b>64</b>	<b>2</b>
<b>TOTAL APT. UNITS: 80 UNITS ON SITE</b>						
<b>SETBACK DATA:</b>						
15'-0" TO E. ELIZABETH STREET.						
5'-0" TO NON-ARTERIAL STREETS						
<b>PROPOSED BUILDING HEIGHT:</b>						
BUILDING TYPE	HEIGHT					
CLUBHOUSE	20' - 6"					
BUILDING TYPE 1	31' - 8"					
BUILDING TYPE 2	31' - 4"					
BUILDING TYPE 3	19' - 9"					
BUILDING TYPE 4	20' - 3"					
MAIL KIOSK	11' - 10"					
POOL EQUIPMENT	11' - 5"					

### SHEET INDEX

1	COVER SHEET	11	BUILDING TYPE 1 ELEVATIONS
2	ARCHITECTURAL SITE PLAN	12	BUILDING TYPE 1B ELEVATIONS
3	GRADING AND DRAINAGE PLAN	13	BUILDING TYPE 2 ELEVATIONS
4	UTILITY PLAN	14	BUILDING TYPE 2B ELEVATIONS
5	LANDSCAPE SCHEDULE	15	BUILDING TYPE 1 AND 2 PERSPECTIVES
6	LANDSCAPE PLAN	16	BUILDING TYPE 3 AND 4 ELEVATIONS
7	LANDSCAPE PLAN	17	ACCESSORY BUILDING ELEVATIONS
8	PLAYGROUND DETAILS	18	SITE PHOTOMETRIC PLAN
9	LANDSCAPE PLAN	19	SITE LIGHTING CUT SHEET
10	CLUBHOUSE ELEVATIONS	20	SITE LIGHTING CUT SHEET

### COVER SHEET

DATE PREPARED: 01-05-2023

DATE REVISED: TBD

PLANS PREPARED FOR:

# NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

## SHEET 1 OF 20



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

**SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES**

- NOTES**
1. A TOTAL OF 2 TYPE "A" UNITS ARE PROVIDED. SEE SITE PLAN FOR LOCATION.
  2. REFER TO CIVIL CONSTRUCTION DRAWINGS FOR RETAINING WALL LOCATIONS.
  3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN AND LAYOUT.
  4. VERIFY PARKING SIGNAGE WITH CURRENT CODES AND STANDARDS.
  5. COORD. ALL SIDEWALK CHASES LOCATION AND DESIGN W/ CIVIL.

**ACCESSIBLE UNIT REQUIREMENT**

IBC REQUIREMENT:  
2 TYPE "A" UNITS ARE REQUIRED PER 2018 IBC 1107.6.2.1.1  
(80 TOTAL UNITS X 2% = 2 UNITS)

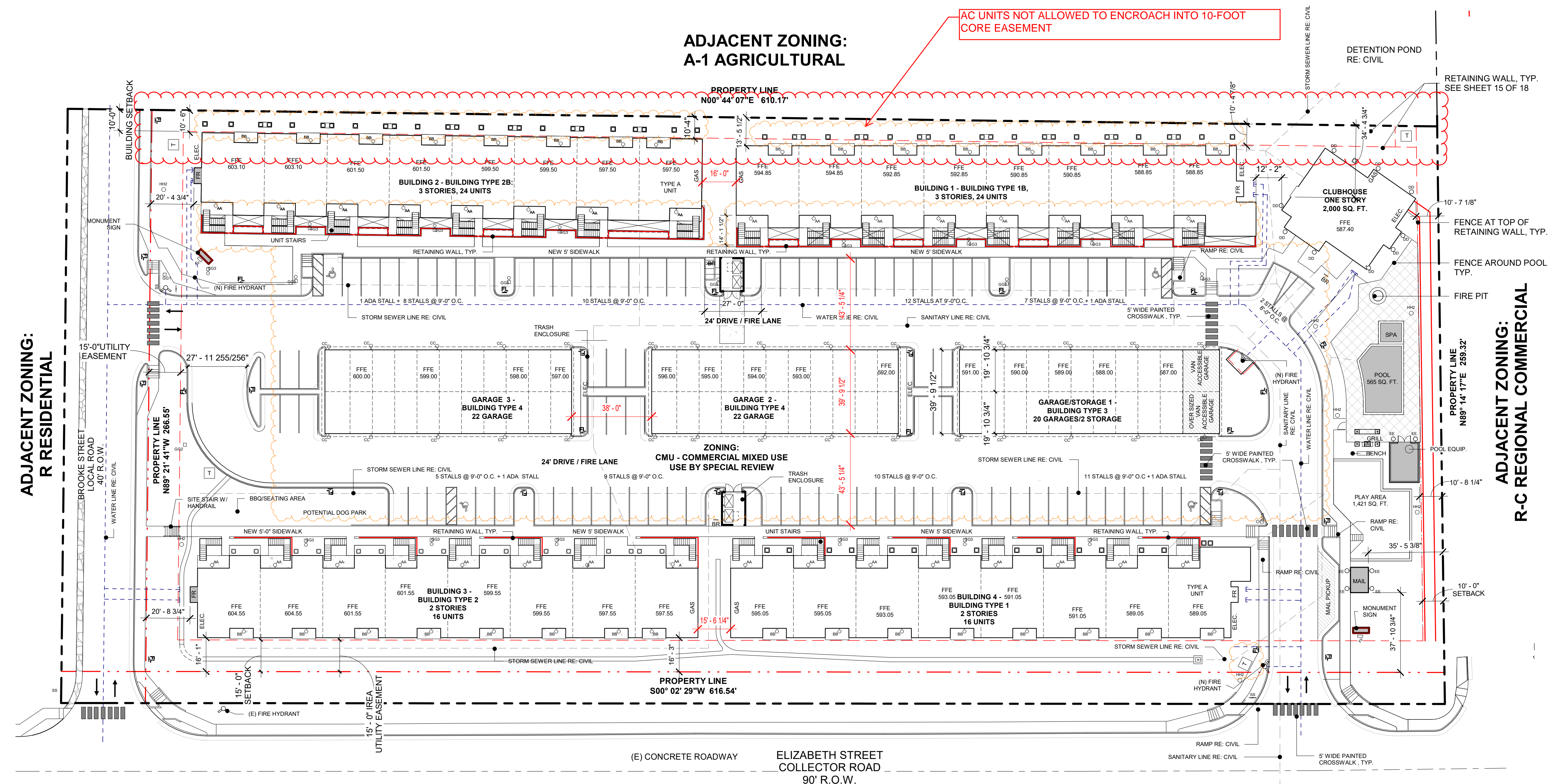
PROVIDED UNITS:  
TWO BEDROOM - UNIT A1, UNIT A2, UNIT B1 & UNIT B2  
THREE BEDROOM - UNIT C1 & C2

COLORADO TITLE 9 REQUIREMENT:

TYPE A UNITS: 2 UNITS PROVIDED X 6 =	12 POINTS
TYPE B UNITS: 78 UNITS PROVIDED X 2 =	156 POINTS
<b>TOTAL</b>	<b>168 POINTS PROVIDED</b>
	<b>168 POINTS REQUIRED</b>

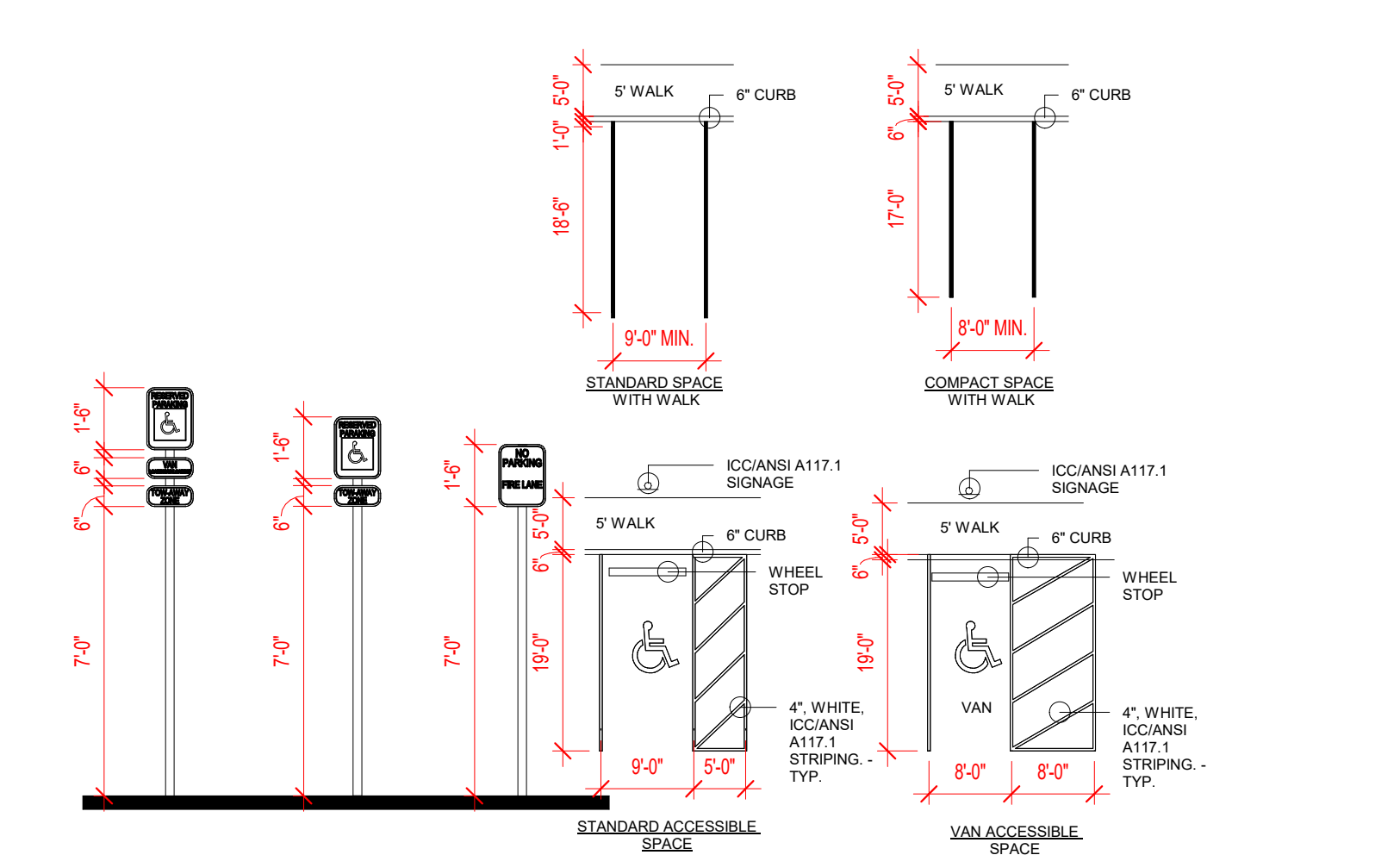
**LAND USE DATA:**

TOTAL UNITS	SITE AREA	UNIT/ACRE
80 UNITS	4.187 ACRES	19.1 UNITS/ACRE

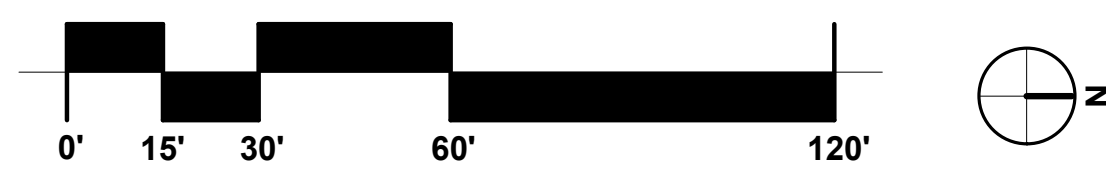


**SITE PLAN KEY:**

	TYPE "A" UNIT		TURN ARROW
	ACCESSIBLE CURB RAMP		ADA ACCESS ROUTES
	HANDICAP PARKING SPACE		RETAINING WALL
	RESERVED HANDICAP PARKING SIGN		EXPOSED FOUNDATION
	STOP SIGN		LIGHT FIXTURE (AA)
	FIRE LANE SIGN LOCATION TO BE COORDINATED WITH COMMERCIAL CITY TRAFFIC ENGINEER (SEE DETAILS)		LIGHT FIXTURE (BB)
	BIKE RACK		LIGHT FIXTURE (CC)
	2 HR FIRE SEPARATION WALL		LIGHT FIXTURE (DD)
	CURB CHASE		LIGHT FIXTURE (EE)
	FIRE HYDRANT		LIGHT FIXTURE (FF)
	FIRE RISER ROOM W/ APPROVED KNOX BOX		LIGHT FIXTURE (GG1, GG2 & GG3)
	LOCATION OF ELECTRICAL METERS		LIGHT FIXTURE (HH2)
	LOCATION OF ELECTRICAL METERS		EXIST. FIRE HYDRANT
	CONDENSER		EXIST. ELECTRICAL BOX
	TRANSFORMER		EXIST. TRANSFORMER
			EXISTING TREE, NONE TO REMAIN



**SITE PLAN - PLANNING**  
1" = 30'-0"



ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**ARCHITECTURAL SITE PLAN**  
DATE PREPARED: 01-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

**SHEET  
2 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

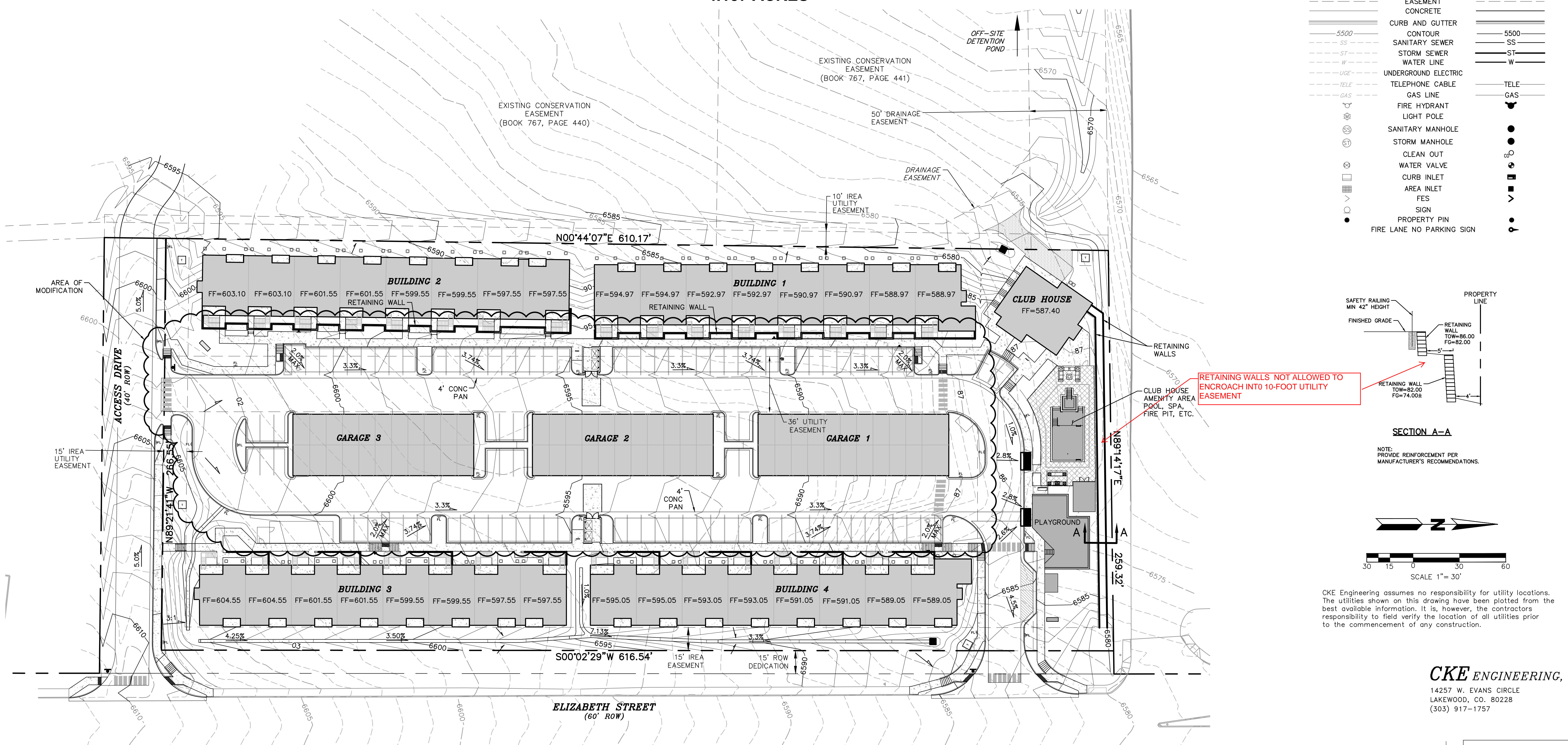
# PINE RIDGE CROSSING SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160

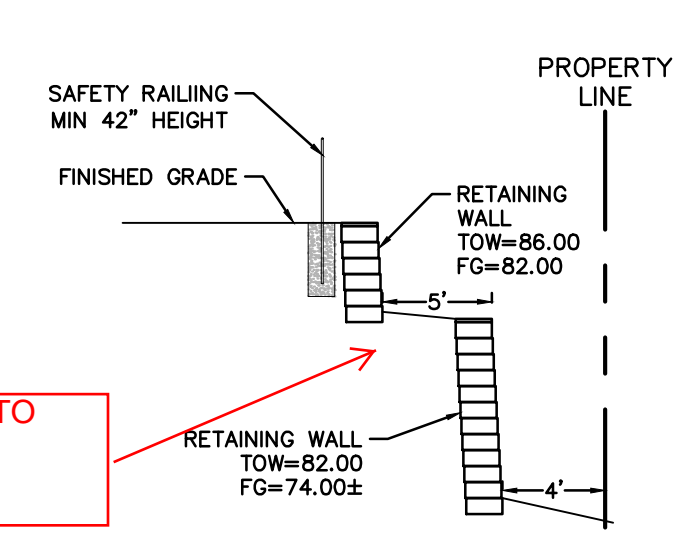
4.187 ACRES

### LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
- - - -	RIGHT-OF-WAY	- - - -
---	EASEMENT	---
---	CONCRETE	---
---	CURB AND GUTTER	---
5500	CONTOUR	5500
SS	SANITARY SEWER	SS
ST	STORM SEWER	ST
W	WATER LINE	W
UGE	UNDERGROUND ELECTRIC	---
TELE	TELEPHONE CABLE	---
GAS	GAS LINE	---
⊕	FIRE HYDRANT	⊕
⊙	LIGHT POLE	⊙
⊕	SANITARY MANHOLE	⊕
⊕	STORM MANHOLE	⊕
⊕	CLEAN OUT	⊕
⊕	WATER VALVE	⊕
⊕	CURB INLET	⊕
⊕	AREA INLET	⊕
⊕	FES	⊕
⊕	SIGN	⊕
⊕	PROPERTY PIN	⊕
⊕	FIRE LANE NO PARKING SIGN	⊕



**RETAINING WALLS NOT ALLOWED TO ENCROACH INTO 10-FOOT UTILITY EASEMENT**



CKE Engineering assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

**CKE ENGINEERING, INC.**  
14257 W. EVANS CIRCLE  
LAKEWOOD, CO. 80228  
(303) 917-1757

### GRADING AND DRAINAGE PLAN

DATE PREPARED: 1-05-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:

**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**  
14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**3** OF 20



# PINE RIDGE CROSSING SITE PLAN AMENDMENT

### SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160 4.187 ACRES

PLANT SCHEDULE:				HYDRO - ZONE				NOTES		%	
SYMBOL	TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	HT	WIDTH	ZONE			
<b>DECIDUOUS CANOPY TREES</b>											
	ACE	6	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	B&B		24%
	AGG	1	AUTUMN GOLD GINKGO	GINKGO BILOBA 'AUTUMN GOLD'	2" CAL.	40	30	M-H	B&B		4%
	CTA	4	CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	B&B		16%
	HAC	6	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	B&B		24%
	KCT	8	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	B&B		32%
Subtotal											
<b>EVERGREEN TREES</b>											
	LBP	4	LIMBER PINE	PINUS FLEXILIS	6" HT	35	15	L-M	B&B		100%
Subtotal											
<b>DECIDUOUS SHRUBS</b>											
	BMS	32	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M			6%
	CPB	26	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	5 GAL.	2	3	L-M			5%
	CSR	27	CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL.	3	3	M			5%
	FWS	30	FOUR WING SALT BUSH	ATRIPLEX CANESCENS	5 GAL.	6	3	L			10%
	KDD	48	KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL.	3	3	M			9%
	KOR	179	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M			35%
	KSV	38	KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL.	6	6	M-H			7%
	MAE	5	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M			1%
	PML	19	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M			4%
	RUS	45	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L			9%
	WSC	39	WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL.	5	5	L-M			8%
	YTD	2	YELLOW TWIG DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL.	6	6	M			0%
Subtotal											
<b>LOW SPREADING SHRUBS</b>											
	ARJ	25	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL.	2	6	L-M			8%
	BRD	75	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	1	6	L-M			25%
	CCJ	38	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL.	1	6	L-M			13%
	EFJ	6	EFFUSA COMMON JUNIPER	JUNIPERUS COMMUNIS 'EFFUSA'	5 GAL.	2	6	L			2%
	GLS	38	GRO LOW SUMAC	RHUS AROMATICA 'GRO LOW'	5 GAL.	3	7	L-M			13%
	HCS	30	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL.	3	5	L-M			10%
	PBC	57	CREEPPING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2	5	L-M			19%
	PWJ	28	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL.	1	8	L-M			9%
Subtotal											
<b>PERENNIALS W CEDAR MULCH</b>											
	AJ	58	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS	2	1.5	L-M			18" O.C.
	DF	48	DWARF BLANKET FLOWER	GALLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS	1	2	L-M			18" O.C.
	MN	46	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS	2	2	M			18" O.C.
	PM	68	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS	1.5	1.5	M			18" O.C.
Subtotal											
<b>ORNAMENTAL GRASSES</b>											
	BBG	49	BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL.	6	3	L-M			
	BLA	36	BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L			
	FRG	105	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M			
	PDG	47	PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL.	3	3	L-M			
	PMG	63	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M			
	SWG	88	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M			
Subtotal											

NATIVE GRASS SEED (VERY LOW WATER USE)

NATURE'S PRAIRIE SOD BY TURFMASTER SOD (970) 493.8311

#### LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" WESTERN RIVER ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL ORNAMENTAL GRASS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY PERFORATED GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER, CONTACT LL JOHNSON FOR EDGER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES & SHRUBS ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE COLORADO GEOSCIENCE & DESIGN REPORT #17-839 JANUARY 23, 2018 #11. SURFACE DRAINAGE: THE OWNERS SHOULD BE CAUTIONED REGARDING THE INSTALLATION OF A LAWN ADJACENT TO THE FOUNDATION WALLS. LAWN IRRIGATION MUST BE MORE THAN FIVE FEET (5') FROM THE FOUNDATION WALLS TO PREVENT WETTING OF THE SUBSURFACE SOILS. LAWN AND/OR PLANTS SHOULD NOT BE PLANTED WITHIN FIVE FEET (5') OF THE FOUNDATION WALLS. WE RECOMMEND PROVIDING DECORATIVE GRAVEL OR BARK AROUND THE FOUNDATIONS, AS SHOWN IN FOUNDATION GRADING DETAIL 2. THIS METHOD WILL PREVENT PONDING OF WATER AND PROVIDE FOR PROPER DRAINAGE FROM THE FOUNDATIONS. NON-WOVEN GEO TEXTILE FABRIC CAN BE PLACED UNDER THE MULCH TO REDUCE WEED GROWTH AND STILL ALLOW SOME EVAPORATION OF SOIL MOISTURE. SPRINKLER HEADS AND EMITTERS SHOULD NOT BE LOCATED OR SPRAY WITHIN 5 FEET OF THE FOUNDATION OR PATIO SLABS AND BEYOND BACKFILL ZONES. PLANTINGS NEAR THE FOUNDATIONS SHOULD NOT TRAP SURFACE RUNOFF. FURTHERMORE, SIDEWALKS OR LOW-WATER CONSUMPTION GROUND COVER ARE RECOMMENDED TO FURTHER REDUCE THE RISK OF WATER INFILTRATION NEAR THE FOUNDATION WALLS. ALL PRESSURIZED IRRIGATION LINES AND VALVE BOXES SHOULD BE LOCATED AT LEAST 10 FEET FROM THE FOUNDATION OR PATIO SLABS.

SITE DATA TABLE					
Site Data	Actual SF	Min Area SF Required	% Required	% Max Provided	CY Compost Reqd @ 4/1000 SF
Gross Site Area:	181,824	N.A.	N.A.	N.A.	100%
Building Coverage:	54,470	N.A.	N.A.	N.A.	30%
Hard Surface Area:	89,479	N.A.	N.A.	N.A.	49%
Total Landscaped Area (Excluding R.O.W.)	37,875	N.A.	N.A.	N.A.	See below
Subtotal Landscaped Area (Excluding R.O.W. & Parking Islands)	35,338	27,274	15%	N.A.	19%
Native Grass	222	N.A.	N.A.	N.A.	N.A.
Planting Beds (Shrubs, Perennials, Ornamental Grasses)	35,940	N.A.	N.A.	N.A.	See below
Non-Living Landscape	11,607	N.A.	N.A.	25%	31%
Irrigated Sod (Excluding R.O.W.)	466	N.A.	N.A.	N.A.	1%
Playground area	1,253	N.A.	N.A.	N.A.	N.A.
Permanently Irrigated Landscape (Including R.O.W.)	39,493	N.A.	N.A.	N.A.	158
Native Grass (R.O.W.)	12,410	N.A.	N.A.	N.A.	50
Planting Beds (R.O.W.) (Shrubs, Perennials, Ornamental Grasses)	3,095	N.A.	N.A.	N.A.	N.A.
TOTAL CY OF COMPOST: 209					

LANDSCAPE REQUIREMENTS																
Description	Parking Lot SF	Min. 10% SF Landscaped	Min. 15% SF Landscaped	Square Foot Landscaped	Trees Required 1/1500 SF	Trees Required 1 per Island	Linear Feet	1 Tree per 40 LF	Trees Provided	Shrubs Required 5/1500 SF	Shrubs Required 5/40 LF	# of Parking Islands	Shrubs Required # of Islands X 4+ (SF-Qty of Islands X 150)/15	Shrubs Provided	Ten (10) shrubs substituted for one (1) tree	
ROW (Elizabeth St)	N.A.	N.A.	N.A.	13,322	N.A.	N.A.	522	13	14	N.A.	N.A.	N.A.	N.A.	75	N.A.	
ROW (Private St)	N.A.	N.A.	N.A.	2,183	N.A.	N.A.	208	5	0	N.A.	N.A.	N.A.	N.A.	0	N.A.	
Parking Lot																
Interior Islands	27,388	2,739	N.A.	2,537	N.A.	10	N.A.	N.A.	10	N.A.	N.A.	10	109	93	0	
Landscape Areas (Excludes Parking Lot Islands & ROW)	N.A.	N.A.	27,274	39,574	18	N.A.	N.A.	N.A.	46	5	91	N.A.	N.A.	639	55	
TOTAL TREES REQUIRED:												18	46	55	639	55
SUBTOTAL TREES PROVIDED:												46	29	55		
ADDITIONAL TREES PROVIDED BY SHRUB SUBSTITUTION:																
TOTAL TREES PROVIDED:												46	84	55		
TOTAL SHRUBS REQUIRED:													200			807
TOTAL SHRUBS PROVIDED:																

NATIVE GRASS SEED MIX - NON-IRRIGATED (TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT)			
LOW GROW MIX - DRILL SEEDED (INCREASE SEED RATE TO 50 PLS FOR BROADCAST)			
COMMON NAME	% OF TOTAL	PLS PER ACRE	HEIGHT/FT
EPHRAIM CRESTED WHEATGRASS	25	6.3	2.0
DWARF PERENNIAL RYEGRASS	18	4.5	0.5
SR3200 BLUE FESCUE	9	2.3	0.5
REUBENS CANADA BLUEGRASS	13	3.3	0.5
BARLEY	12	3.0	2.0
SHEEP FESCUE	23	5.8	2.0
TOTAL	100	25	

**NATIVE GRASS SEED NOTES:**  
SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**BASELINE**  
Engineering - Planning - Surveying  
112 N. RUBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
P: 303.940.9966 • F: 303.940.9959 • www.baselinecorp.com

LANDSCAPE ARCHITECT

SHEET  
5 OF 20  
PLANT SCHEDULES  
DATE PREPARED: 1-5-2023

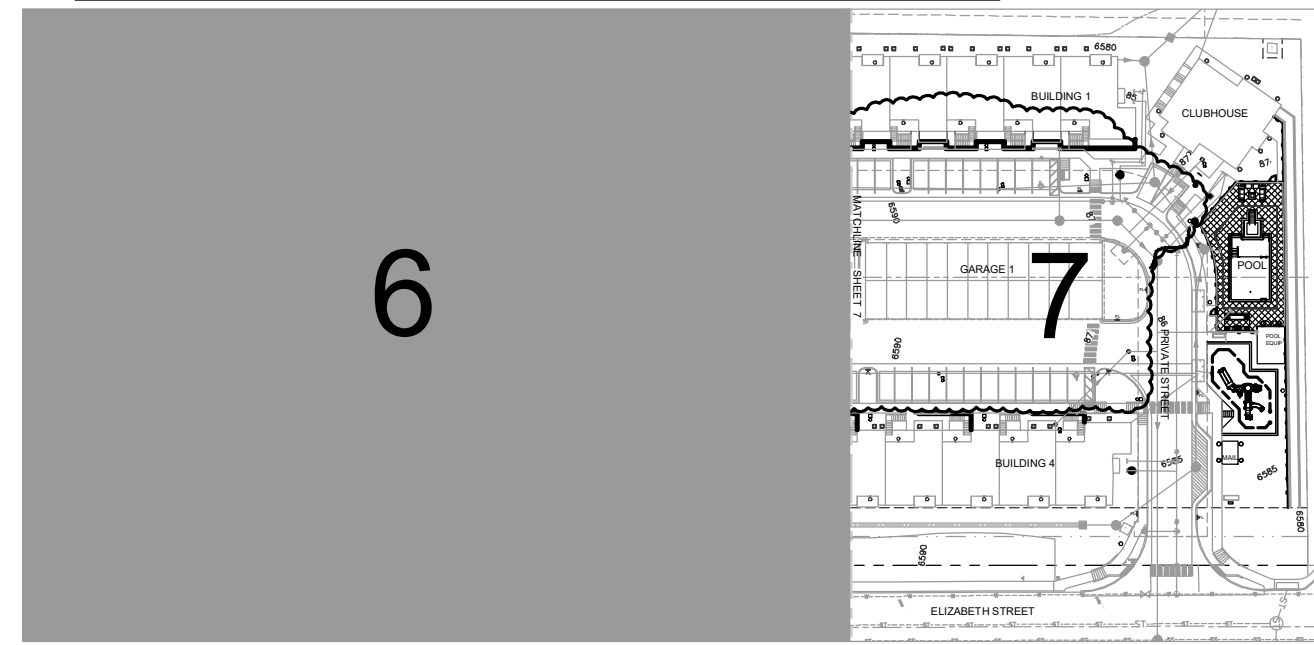
DATE REVISED: TBD  
PLANS PREPARED FOR:

## NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

KEYMAP



# PINE RIDGE CROSSING

## SITE PLAN AMENDMENT

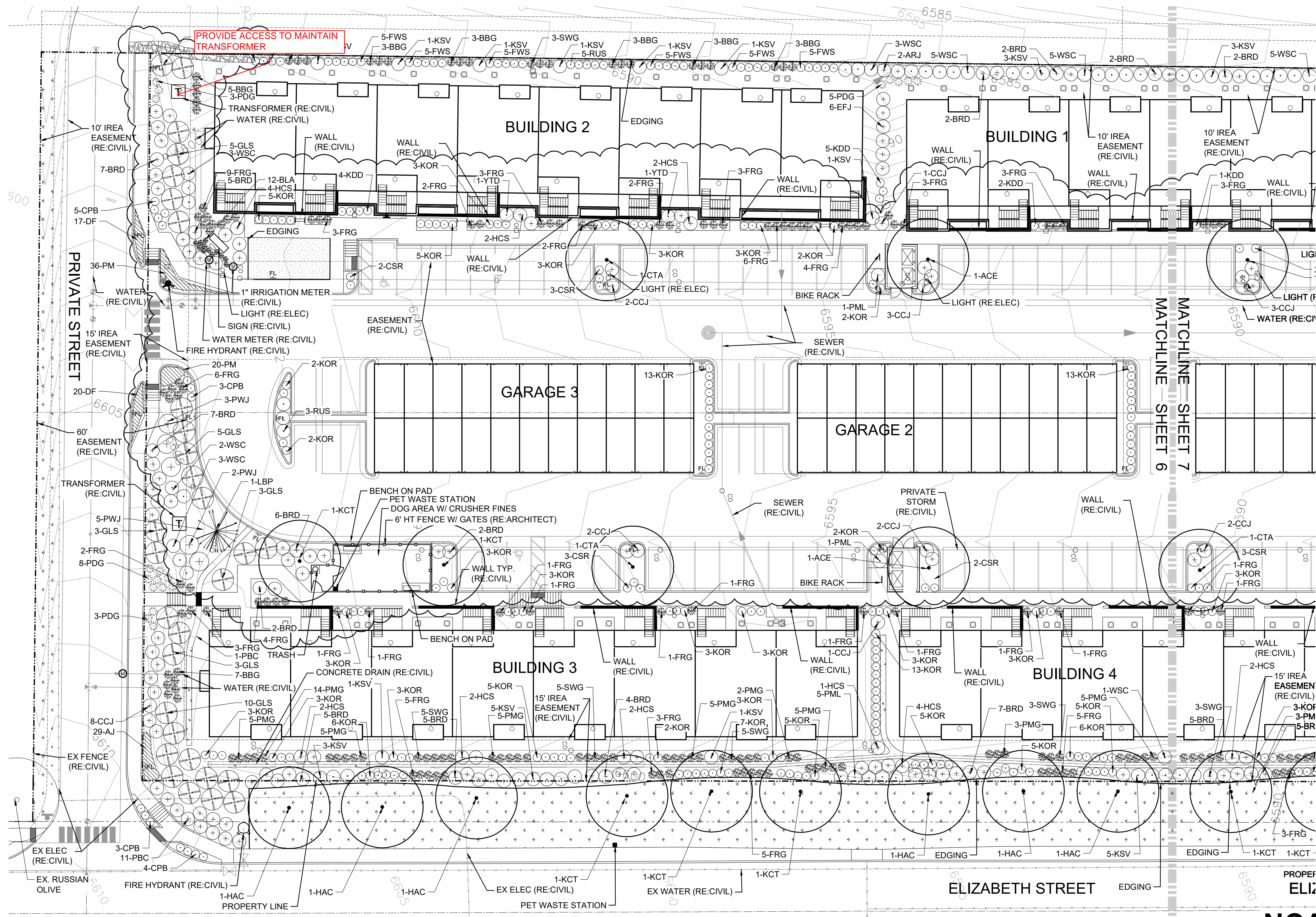
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MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

\*PARTIAL PLANT SCHEDULE  
(SEE SHEET 5 FOR COMPLETE SCHEDULE)

PLANT SCHEDULE:

SYMBOL	TAG	QTY.	COMMON NAME
<b>DECIDUOUS CANOPY TREES</b>			
○	ACE	6	ACCOLADE ELM
○	AGG	1	AUTUMN GOLD GINKGO
○	CTA	4	CATALPA
○	HAC	6	HACKBERRY
○	KCT	8	KENTUCKY COFFEETREE
○	Subtotal	25	
<b>EVERGREEN TREES</b>			
★	LBP	4	LIMBER PINE
★	Subtotal	4	
<b>DECIDUOUS SHRUBS</b>			
○	BMS	32	BLUE MIST SPIREA
○	CPB	26	CRIMSON PYGMY BARBERRY
○	CSR	27	CAREFREE SUNSHINE ROSE
○	FWS	50	FOUR WING SALTBUSH
○	KDD	48	KELSEY DWARF DOGWOOD
○	KOR	173	KNOCK OUT PINK ROSE
○	KSV	38	KOREAN SPICE VIBURNUM
○	MAE	5	MANHATTAN EUONYMUS
○	PML	19	MEYER LILAC
○	RUS	45	RUSSIAN SAGE
○	WSC	39	WESTERN SAND SHERRY
○	YTD	2	YELLOW TWIG DOGWOOD
○	Subtotal	510	
<b>LOW SPREADING SHRUBS</b>			
○	ARJ	25	ARCADIA JUNIPER
○	BRD	75	BROADMOOR JUNIPER
○	CCJ	38	CALGARY CARPET JUNIPER
○	EFJ	6	EFFUSA COMMON JUNIPER
○	GLS	38	GRO LOW SUMAC
○	HCS	30	HANCOCK CORALBERRY
○	PBC	57	CREeping WESTERN SAND CHERRY
○	PWJ	28	PRINCE OF WALES JUNIPER
○	Subtotal	297	
<b>PERENNIALS W CEDAR MULCH</b>			
○	AJ	58	AUTUMN JOY SEDUM
○	DF	48	DWARF BLANKETFLOWER
○	MN	46	MAY NIGHT SALVIA
○	PM	68	PARDON ME DAYLILY
○	Subtotal	220	
<b>ORNAMENTAL GRASSES</b>			
○	BBG	49	BIG BLUESTEM GRASS
○	BLA	25	BLONDE AMBITION GRASS
○	FRG	105	FEATHER REED GRASS
○	PDG	47	PRAIRIE DROPSSEED GRASS
○	PMG	63	PURPLE MAIDEN GRASS
○	SWG	88	SWITCHGRASS
○	Subtotal	388	

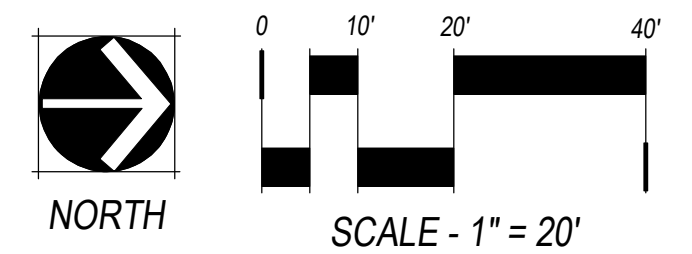
○ NATIVE GRASS SEED (VERY LOW WATER USE)  
 ■ NATURE'S PRAIRIE SOD BY TURFM.



ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**BASELINE**  
Engineering - Planning - Surveying  
112 N. RUBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
P: 303.940.9966 • F: 303.940.9959 • www.baselinecorp.com

LANDSCAPE ARCHITECT



SHEET 6 OF 20

PLANT SCHEDULES  
DATE PREPARED: 1-5-2023  
DATE REVISED: TBD  
PLANS PREPARED FOR:



**NCA, LLC, dba PINE RIDGE APARTMENTS LLC**

14205 E. Davies Ave  
Centennial, CO 80112

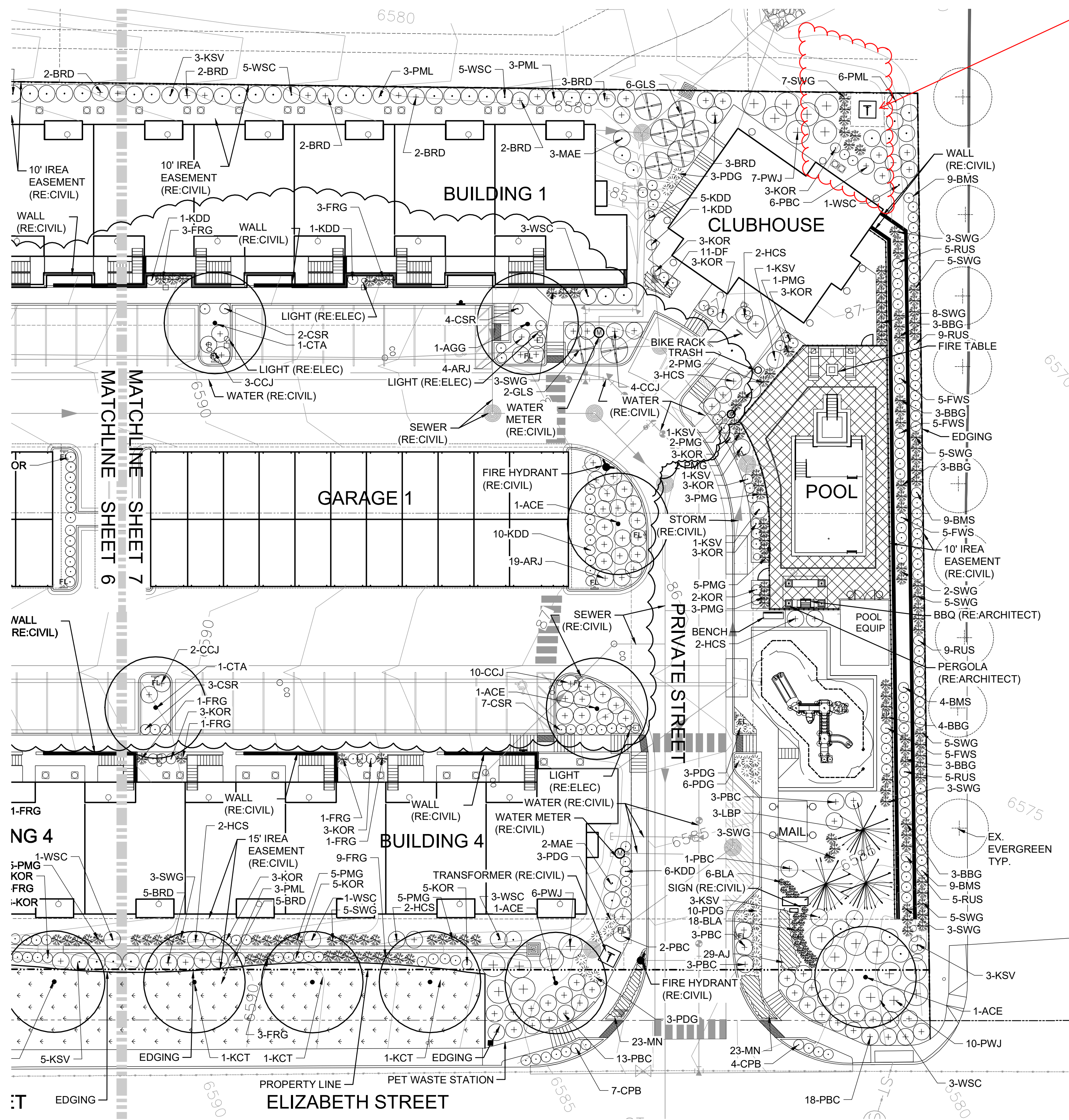
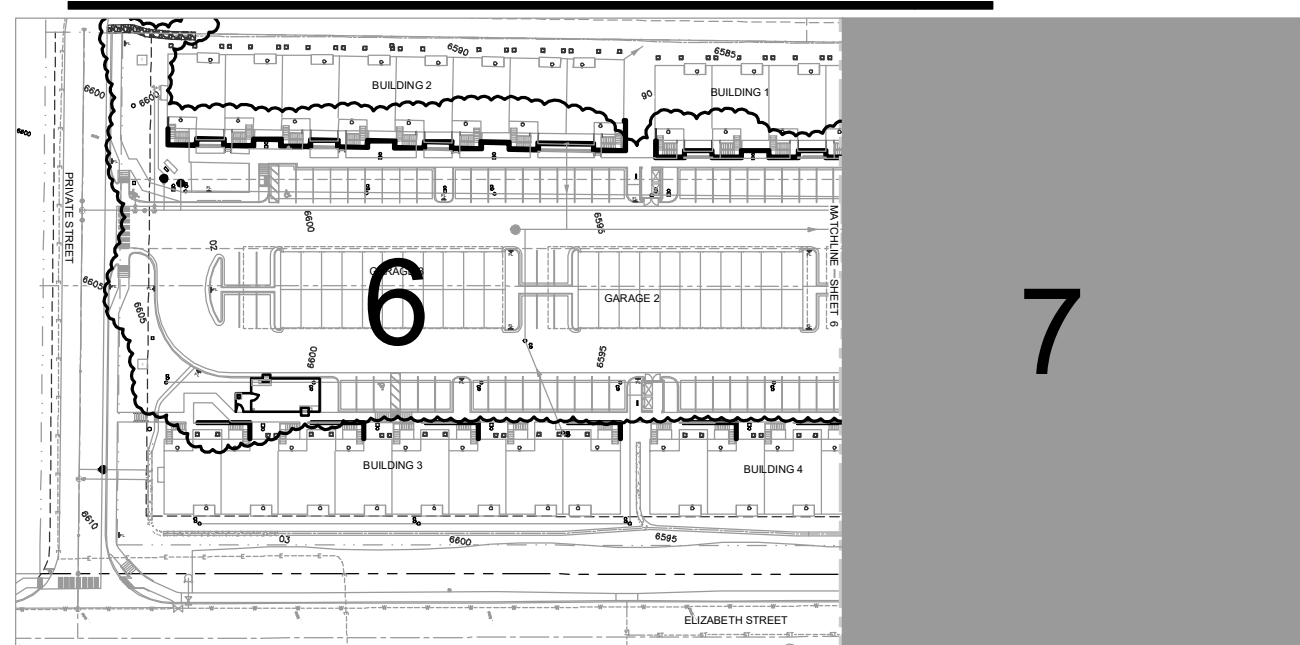
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF BASELINE ENGINEERING CORP. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF BASELINE ENGINEERING CORP.

# PINE RIDGE CROSSING

## SITE PLAN AMENDMENT

SECTION 13, TOWNSHIP 8, RANGE 65, SUBDIVISION DESTINY VENTURES II  
MINOR SUBDIVISION, LOT B-1 PAR IN SE 1/4, NE 1/4: 13 8 65 DESC B 683 P160  
4.187 ACRES

### KEYMAP



PROVIDE ACCESS TO MAINTAIN TRANSFORMER

\*PARTIAL PLANT SCHEDULE  
(SEE SHEET 5 FOR COMPLETE SCHEDULE)

**PLANT SCHEDULE:**

SYMBOL	TAG	QTY.	COMMON NAME
<b>DECIDUOUS CANOPY TREES</b>			
ACE	6	6	ACCOLADE ELM
AGG	1	1	AUTUMN GOLD GINKGO
CTA	4	4	CATALPA
HAC	6	6	HACKBERRY
KCT	8	8	KENTUCKY COFFEETREE
Subtotal		25	
<b>EVERGREEN TREES</b>			
LBP	4	4	LIMBER PINE
Subtotal		4	
<b>DECIDUOUS SHRUBS</b>			
BMS	32	32	BLUE MIST SPIREA
CPB	26	26	CRIMSON PYGMY BARBERRY
CSR	27	27	CAREFREE SUNSHINE ROSE
FWS	50	50	FOUR WING SALTBUSH
KDD	48	48	KELSEY DWARF DOGWOOD
KOR	179	179	KNOCK OUT PINK ROSE
KSV	38	38	KOREAN SPICE VIBURNUM
MAE	5	5	MANHATTAN EUONYMUS
PML	19	19	MEYER LILAC
RUS	45	45	RUSSIAN SAGE
WSC	39	39	WESTERN SAND SHERRY
YTD	2	2	YELLOW TWIG DOGWOOD
Subtotal		510	
<b>LOW SPREADING SHRUBS</b>			
ARJ	25	25	ARCADIA JUNIPER
BRD	75	75	BROADMOOR JUNIPER
CGJ	38	38	CALGARY CARPET JUNIPER
EFJ	6	6	EFFUSA COMMON JUNIPER
GLS	38	38	GRO LOW SUMAC
HCS	30	30	HANCOCK CORALBERRY
PBC	57	57	CREeping WESTERN SAND CHERRY
PWJ	28	28	PRINCE OF WALES JUNIPER
Subtotal		297	
<b>PERENNIALS W CEDAR MULCH</b>			
AJ	58	58	AUTUMN JOY SEDUM
DF	48	48	DWARF BLANKETFLOWER
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PM	68	68	PARDON ME DAYLILY
Subtotal		220	
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BBG	49	49	BIG BLUESTEM GRASS
BLA	26	26	BLONDE AMBITION GRASS
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PMG	63	63	PURPLE MAIDEN GRASS
SWG	88	88	SWITCHGRASS
Subtotal		388	

ENTITLEMENT DRAWINGS NOT FOR CONSTRUCTION

**BASELINE**  
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112 N. RUBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
P: 303.940.9966 • F: 303.940.9959 • www.baselinecorp.com

LANDSCAPE ARCHITECT

PLANT SCHEDULES  
DATE PREPARED: 1-5-2023

DATE REVISED: TBD  
PLANS PREPARED FOR:

### NCA, LLC, dba PINE RIDGE APARTMENTS LLC

14205 E. Davies Ave  
Centennial, CO 80112

SHEET  
**7 OF 20**

John B. Collins Architect, LLC  
P: 720.334.2210 E: jbc@jbcarch.com

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HERE IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF BASELINE ENGINEERING CORP. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF BASELINE ENGINEERING CORP.



# Elizabeth Fire Protection District

P.O. Box 441  
155 W Kiowa Ave.  
Elizabeth, Colorado  
80107

Phone: 303-646-3800  
Fax: 303-688-6994  
Email: kara@elizabethfire.com  
Website: https://www.elizabethfire.com

**Division Chief of Administration  
and Prevention**

Date 2-6-2023  
Applicant Pine Ridge Apartments, LLC  
Applicant Address 14205 E. Davies Ave.  
Project Pine Ridge Apartments Site Plan Amendment  
Project Address 6213 Brooke Street Elizabeth, CO 80107  
Plans Dated 1-05-23  
Review Number 1  
Plan Review Fee \$0

**Approved**  **Needs Changes**  **Rejected**

A review was conducted on the submitted plans for the above location based on the adopted codes and standards below.

- 2012 International Codes and Adopted Standards
- 2015 International Codes and Adopted Standards
- 2018 International Codes and Adopted Standards

Reviewed By: Kara Gerczynski  
Title: Division Chief/Fire Marshal

Signature: \_\_\_\_\_

## RESPONSE TO PLAN REVIEW COMMENTS AND INSPECTION REQUESTS

**Please read this document in its entirety.** The contractor and/or applicant is responsible for compliance with all requests, comments, applicable codes, ordinance or policy of the fire department. All comments shall be addressed in writing. If plans are rejected, additional review fees may be charged. If changes are needed, additional submittals may be required.

Conditions found, or other data collected or submitted, shall not prevent the fire official from requiring correction of errors found.

Inspections are required to be requested on our website at [www.elizabethfire.com](http://www.elizabethfire.com) or phoned in by 4:00 p.m. at 303-646-3800 the day before the day you wish the inspection.

NOTE: ALL INSPECTION TIMES ARE SUBJECT TO INSPECTOR AVAILABILITY

After hour inspections can be scheduled for additional fees. All review and inspection fees are due at the time of review pick-up. Fees schedules are located on our website at [www.elizabethfire.com](http://www.elizabethfire.com)

Section 1

**BUILDING INFORMATION**

Building Square Footage: Not Given at this time  
Type of Construction: VB

Section 2

**Fire Service Features**

**FIRE SERVICE WATER SUPPLY**

**Required Fire Flow:**

Fire flow: Previoulsy Approved  
Duration: Previoulsy Approved  
Total Capacity: Previoulsy Approved  
Sprinklered Building reduction: Previoulsy Approved

**Fire Hydrant Location and Distribution:**

Number of Fire Hydrants: Previoulsy Approved  
Average Spacing: Previoulsy Approved

**FIRE SERVICE ACCESS**

**Width and Surface:**

	Approved	Rejected	N/A
Width:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Length:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Turn-around:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Surface:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Premises Identification:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Key Boxes:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Radio coverage:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Additional Comments:**

The Impact Fee Form will need to be updated to account for the additional square footage of the west buildings.  
Please submit the total square footage for the new buildings to update that information.  
New building plans and deferred special system plans need to be submitted to this office for review.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Commercial building plans need to be submitted to this office for review. An Impact Fee Agreement needs to be signed before recordation of site plan. The required fire department access and fire hydrants shall be installed and approved prior to construction beginning above foundation level or the moving of combustible materials onto the construction site.**

**From:** [Dianna Hiatt](#)  
**To:** [Randy Baca](#); [matt@stolfusandassociates.com](mailto:matt@stolfusandassociates.com); [mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com); [kara@elizabethfire.org](mailto:kara@elizabethfire.org); [Michael DeVol](#); [Sean Bigler](#); [Brooks Kaufman](#); [Jason McKune \(jason.mckune@blackhillscorp.com\)](mailto:Jason.McKune@blackhillscorp.com); [Scott Pease](#)  
**Cc:** [Zach Higgins](#); [Travis Reynolds](#)  
**Subject:** RE: COMMENTS by February 6 - Pine Ridge Crossing Site Plan Amendment  
**Date:** Monday, February 6, 2023 10:19:31 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)

Thanks Randy. Your comments will be helpful for Zach and Travis to review.



Enjoy your day,

**Dianna Hiatt**

Administrative Assistant  
 Community Development Department  
 Town of Elizabeth

**Office:** 303.646.4166 x4

**Email :** [dhiatt@townofelizabeth.org](mailto:dhiatt@townofelizabeth.org)

**PO Box 159, 151 S Banner Street  
 Elizabeth, CO 80107**

**[www.townofelizabeth.org](http://www.townofelizabeth.org)**



**From:** Randy Baca <[rbaca@safebuilt.com](mailto:rbaca@safebuilt.com)>  
**Sent:** Monday, February 6, 2023 10:15 AM  
**To:** Dianna Hiatt <[DHiatt@townofelizabeth.org](mailto:DHiatt@townofelizabeth.org)>; [matt@stolfusandassociates.com](mailto:matt@stolfusandassociates.com); [mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com); [kara@elizabethfire.org](mailto:kara@elizabethfire.org); [Michael DeVol <mdevol@townofelizabeth.org>](mailto:mdevol@townofelizabeth.org); [Sean Bigler <sbigler@townofelizabeth.org>](mailto:sbigler@townofelizabeth.org); [Brooks Kaufman <BKaufman@core.coop>](mailto:BKaufman@core.coop); [Jason McKune \(jason.mckune@blackhillscorp.com\) <jason.mckune@blackhillscorp.com>](mailto:jason.mckune@blackhillscorp.com); [Scott Pease <spease@liveyourcore.com>](mailto:spease@liveyourcore.com)  
**Cc:** [Zach Higgins <zhiggins@townofelizabeth.org>](mailto:zhiggins@townofelizabeth.org); [Travis Reynolds <treynolds@safebuilt.com>](mailto:treynolds@safebuilt.com)  
**Subject:** RE: COMMENTS by February 6 - Pine Ridge Crossing Site Plan Amendment

Just a few things I would mention...

If these buildings change to 3 stories as proposed, they would be a completely new review for a completely new building.

They are increasing the number of parking spaces by adding them between buildings, something that may actually help them since they were closer together before. They are providing six accessible spaces, code would require six, so good there. They are providing the only two van accessible spaces within the garages, which isn't a great design, but not necessarily a code violation since van space dispersion is not codified.

Those are about the only things I would look at for a change to the site plan, and building doesn't usually review civil drawings anyway. We look for this information on an architectural site plan.

Hope that is helpful. Sorry for the late submission.

**Randy Baca**



Building Official  
7437 Village Square Lane #215  
Castle Pines, CO 80108  
O: (303) 705-0227  
C: (303) 552-6136

[rbaca@safebuilt.com](mailto:rbaca@safebuilt.com)

---

**From:** Dianna Hiatt <[DHiatt@townofelizabeth.org](mailto:DHiatt@townofelizabeth.org)>  
**Sent:** Friday, February 3, 2023 12:09 PM  
**To:** [matt@stolfusandassociates.com](mailto:matt@stolfusandassociates.com); [mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com); [kara@elizabethfire.org](mailto:kara@elizabethfire.org); Randy Baca <[rbaca@safebuilt.com](mailto:rbaca@safebuilt.com)>; Michael DeVol <[mdevol@townofelizabeth.org](mailto:mdevol@townofelizabeth.org)>; Sean Bigler <[sbigler@townofelizabeth.org](mailto:sbigler@townofelizabeth.org)>; Brooks Kaufman <[BKaufman@core.coop](mailto:BKaufman@core.coop)>; Jason McKune ([jason.mckune@blackhillscorp.com](mailto:jason.mckune@blackhillscorp.com)) <[jason.mckune@blackhillscorp.com](mailto:jason.mckune@blackhillscorp.com)>; Scott Pease <[spease@liveyourcore.com](mailto:spease@liveyourcore.com)>  
**Cc:** Zach Higgins <[zhiggins@townofelizabeth.org](mailto:zhiggins@townofelizabeth.org)>; Travis Reynolds <[treynolds@safebuilt.com](mailto:treynolds@safebuilt.com)>  
**Subject:** COMMENTS by February 6 - Pine Ridge Crossing Site Plan Amendment

Just a friendly reminder that we would appreciate your comments on the site plan amendment for Pine Ridge Crossing Apartments early next week. We are preparing for public meetings. Thanks!

Happy Friday.



Enjoy your day,  
**Dianna Hiatt**  
Administrative Assistant  
Community Development Department  
Town of Elizabeth  
**Office:** 303.646.4166 x4  
**Email :** [dhiatt@townofelizabeth.org](mailto:dhiatt@townofelizabeth.org)  
**PO Box 159, 151 S Banner Street**  
**Elizabeth, CO 80107**  
[www.townofelizabeth.org](http://www.townofelizabeth.org)

**Dianna Hiatt**

---

**From:** Sean Bigler  
**Sent:** Saturday, February 4, 2023 2:01 PM  
**To:** Dianna Hiatt  
**Subject:** RE: COMMENTS by February 6 - Pine Ridge Crossing Site Plan Amendment

No issues from PD.

Sergeant Sean R. Bigler / Badge #1504  
Patrol Supervisor  
Elizabeth Police Department  
425 S. Main St. / PO Box 1527  
Elizabeth, CO, 80107  
Phone: 303-646-4664 Ext. 571  
Fax: 303-646-0676



---

**From:** Dianna Hiatt <DHiatt@townofelizabeth.org>  
**Sent:** Friday, February 3, 2023 12:09 PM  
**To:** matt@stolfusandassociates.com; mnuno@liveyourcore.com; kara@elizabethfire.org; rbaca@safebuilt.com; Michael DeVol <mdevol@townofelizabeth.org>; Sean Bigler <sbigler@townofelizabeth.org>; Brooks Kaufman <BKaufman@core.coop>; Jason McKune (jason.mckune@blackhillscorp.com) <jason.mckune@blackhillscorp.com>; Scott Pease <spease@liveyourcore.com>  
**Cc:** Zach Higgins <zhiggins@townofelizabeth.org>; Travis Reynolds <treynolds@safebuilt.com>  
**Subject:** COMMENTS by February 6 - Pine Ridge Crossing Site Plan Amendment

Just a friendly reminder that we would appreciate your comments on the site plan amendment for Pine Ridge Crossing Apartments early next week. We are preparing for public meetings. Thanks!

Happy Friday.



Enjoy your day,  
**Dianna Hiatt**  
Administrative Assistant  
Community Development Department  
Town of Elizabeth  
**Office:** 303.646.4166 x4  
**Email :** [dhiatt@townofelizabeth.org](mailto:dhiatt@townofelizabeth.org)  
**PO Box 159, 151 S Banner Street**  
**Elizabeth, CO 80107**  
[www.townofelizabeth.org](http://www.townofelizabeth.org)

---

**From:** Dianna Hiatt  
**Sent:** Friday, January 20, 2023 3:54 PM

To: Matt Brown <[matt@stolfusandassociates.com](mailto:matt@stolfusandassociates.com)>; Manny Nuno <[mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com)>; Kara Gerczynski <[kara@elizabethfire.org](mailto:kara@elizabethfire.org)>; Randy Baca <[rbaca@safebuilt.com](mailto:rbaca@safebuilt.com)>; Travis Reynolds <[treynolds@safebuilt.com](mailto:treynolds@safebuilt.com)>; Michael DeVol <[mdevol@townofelizabeth.org](mailto:mdevol@townofelizabeth.org)>; Sean Bigler <[sbigler@townofelizabeth.org](mailto:sbigler@townofelizabeth.org)>; Brooks Kaufman <[BKaufman@core.coop](mailto:BKaufman@core.coop)>; Jason McKune ([jason.mckune@blackhillscorp.com](mailto:jason.mckune@blackhillscorp.com)) <[jason.mckune@blackhillscorp.com](mailto:jason.mckune@blackhillscorp.com)>; Scott Pease <[spease@liveyourcore.com](mailto:spease@liveyourcore.com)>  
Cc: Zach Higgins <[zhiggins@townofelizabeth.org](mailto:zhiggins@townofelizabeth.org)>; Patrick Davidson <[pdavidson@townofelizabeth.org](mailto:pdavidson@townofelizabeth.org)>  
Subject: Pine Ridge Crossing Site Plan Amendment

**TOWN OF ELIZABETH REFERRAL REQUEST**

**SUBJECT:** Pine Ridge Apartments

**PROJECT NAME:** Pine Ridge Crossing Site Plan Amendment

**PROJECT LOCATION:** Elizabeth Street; Lot B-1 Destiny Ventures II Minor Subdivision

**APPLICATION TYPE:** Site Plan Amendment

**APPLICANT:** Property Owner: Pine Ridge Apartments LLC, 303-680-0091

**APPLICANT REPRESENTATIVE:** Tahoe Consulting LLC, [cjkirst@tahoelandservices.net](mailto:cjkirst@tahoelandservices.net), 303-330-8947

**COMMUNITY DEVELOPMENT DIRECTOR:**

**PLANNER/PROJECT MANAGER:** Zach Higgins: [zhiggins@townofelizabeth.org](mailto:zhiggins@townofelizabeth.org), 303-725-7496

**COMMENTS DUE:** Monday, February 6, 2023

The Town of Elizabeth Community Development Department has received submittal of a site plan amendment for the Pine Ridge Crossing Apartments. All documents for your review are attached to this email.

Please review the submittal documents and provide comments by replying to this email by Monday, February 6, 2023.

Thank you for your time in reviewing this rezoning request.

You may contact Zach or me with questions or for additional information.



Enjoy your day,

*Dianna Hiatt*

Administrative Assistant  
Community Development Department  
Town of Elizabeth

Office: 303.646.4166 x4

Email : [dhiatt@townofelizabeth.org](mailto:dhiatt@townofelizabeth.org)

PO Box 159, 151 S Banner Street  
Elizabeth, CO 80107

[www.townofelizabeth.org](http://www.townofelizabeth.org)

**From:** [Matthew Brown](#)  
**To:** [Dianna Hiatt](#); [mnuno@liveyourcore.com](#); [kara@elizabethfire.org](#); [rbaca@safebuilt.com](#); [Travis Reynolds](#); [Michael DeVol](#); [Sean Bigler](#); [Brooks Kaufman](#); [Jason McKune \(jason.mckune@blackhillscorp.com\)](#); [Scott Pease](#)  
**Cc:** [Zach Higgins](#); [Patrick Davidson](#)  
**Subject:** RE: Pine Ridge Crossing Site Plan Amendment  
**Date:** Tuesday, February 7, 2023 9:07:44 AM  
**Attachments:** [image001.png](#)  
[827bf33e-bc74-4a28-8d13-e198b14bf4fb.png](#)

---

Hi Dianna,

I have no comments on Pine Ridge Crossings proposal to add 16 additional units to the site plan.

Regards,

Matt

**Matthew J. Brown, PE, PTOE**  
 Senior Transportation Engineer



Stolfus & Associates, Inc. | 5690 DTC Boulevard, Suite 330W | Greenwood Village, CO 80111  
 303-221-2330 | 720-979-5892 | [matt@stolfusandassociates.com](mailto:matt@stolfusandassociates.com)  
[www.stolfusandassociates.com](http://www.stolfusandassociates.com)

---

**From:** Dianna Hiatt <DHiatt@townofelizabeth.org>  
**Sent:** Friday, January 20, 2023 3:54 PM  
**To:** Matthew Brown <Matt@Stolfusandassociates.com>; mnuno@liveyourcore.com; kara@elizabethfire.org; rbaca@safebuilt.com; Travis Reynolds <treynolds@safebuilt.com>; Michael DeVol <mdevol@townofelizabeth.org>; Sean Bigler <sbigler@townofelizabeth.org>; Brooks Kaufman <BKaufman@core.coop>; Jason McKune (jason.mckune@blackhillscorp.com) <jason.mckune@blackhillscorp.com>; Scott Pease <spease@liveyourcore.com>  
**Cc:** Zach Higgins <zhiggins@townofelizabeth.org>; Patrick Davidson <pdavidson@townofelizabeth.org>  
**Subject:** Pine Ridge Crossing Site Plan Amendment

## TOWN OF ELIZABETH REFERRAL REQUEST

**SUBJECT:** Pine Ridge Apartments

**PROJECT NAME:** Pine Ridge Crossing Site Plan Amendment

**PROJECT LOCATION:** Elizabeth Street; Lot B-1 Destiny Ventures II Minor Subdivision

**APPLICATION TYPE:** Site Plan Amendment

**APPLICANT:** Property Owner: Pine Ridge Apartments LLC, 303-680-0091

**APPLICANT REPRESENTATIVE:** Tahoe Consulting LLC, [cjkirst@tahoelandservices.net](mailto:cjkirst@tahoelandservices.net), 303-330-8947

**COMMUNITY DEVELOPMENT DIRECTOR:**

**PLANNER/PROJECT MANAGER:** Zach Higgins: [zhiggins@townofelizabeth.org](mailto:zhiggins@townofelizabeth.org), 303-725-7496

**COMMENTS DUE:** Monday, February 6, 2023

The Town of Elizabeth Community Development Department has received submittal of a site plan amendment for the Pine Ridge Crossing Apartments. All documents for your review are attached to this email.

Please review the submittal documents and provide comments by replying to this email by Monday, February 6, 2023.

Thank you for your time in reviewing this rezoning request.

You may contact Zach or me with questions or for additional information.



Enjoy your day,

*Dianna Hiatt*

Administrative Assistant  
Community Development Department  
Town of Elizabeth

**Office:** 303.646.4166 x4

**Email :** [dhiatt@townofelizabeth.org](mailto:dhiatt@townofelizabeth.org)

**PO Box 159, 151 S Banner Street  
Elizabeth, CO 80107**

**[www.townofelizabeth.org](http://www.townofelizabeth.org)**



# TOWN OF ELIZABETH

## STAFF REPORT Sketch Plan Application Lot Reconfiguration of Walnut Grove

**Applicant:** Unibuilders / Applicant Representative: Otto Burden, PE  
**Location:** SE corner of E Walnut St and S Elbert St, Elizabeth CO  
**Zone District:** Planned Unit Development (PUD)

**Exhibits:**  
**Exhibit A:** Sketch Plan Submittal  
**Exhibit B:** Referral Agency Comment Letter(s) (incl. applicant response for second submittal)  
**Exhibit C:** Preliminary Plan including proposed configuration and previously approved plat related to approved PUD and site plan

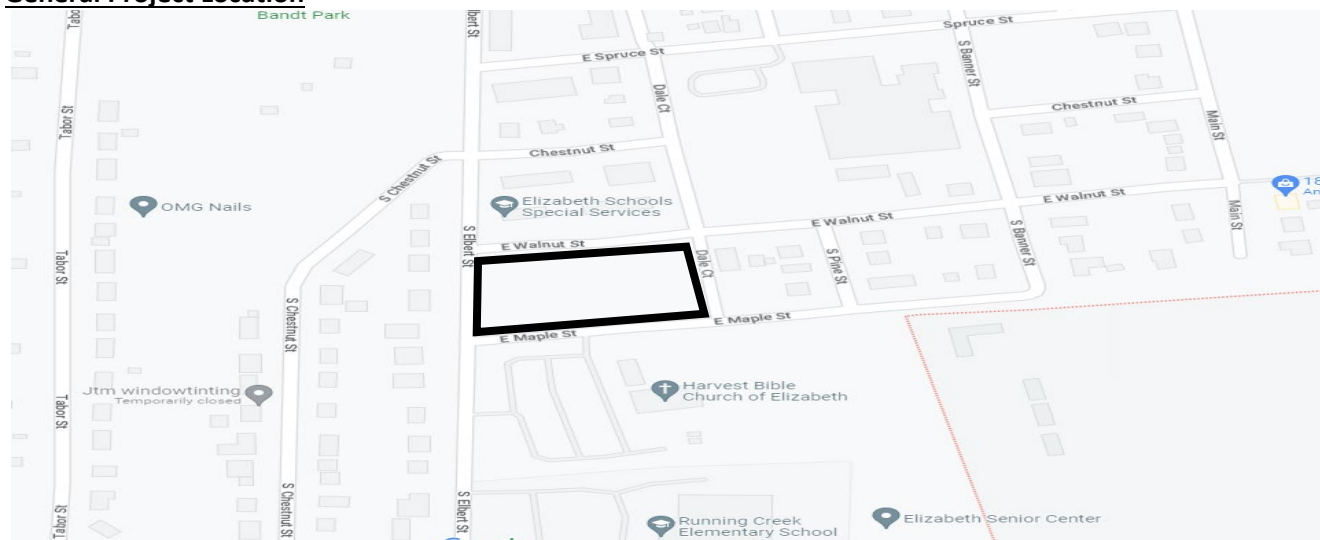
### Applicant Request

The Applicant, Unibuilders, represented by Otto Burden, PE, request the Planning Commission provide a positive recommendation to the Board of Trustees to approve a Sketch Plan Application for a new residential development at the NE corner of S Elbert St and E Maple St in the Town of Elizabeth, CO.

As stated in [Section 16-3-40\(a\)](#) of the Elizabeth Municipal Code (EMC), the intent of the sketch plan is to examine the general feasibility of a conceptual layout of the subdivision.

In accordance with [Section 16-3-40\(b.7\)](#), the Planning Commission shall make a recommendation to the Board of Trustees to approve, approve with conditions, continue for additional information, or deny the sketch plan.

### General Project Location



PO Box 159, 151 S. Banner Street, Elizabeth, Colorado 80107  
Phone: (303) 646-4166 | Fax: (303) 646-9434 | [www.townofelizabeth.org](http://www.townofelizabeth.org)



# TOWN OF ELIZABETH

BOARD OF TRUSTEES

**Proposal:**

The applicant is proposing to reconfigure the previously approved Walnut Grove Townhomes Planned Development Final Plat (See Exhibit A & Exhibit C).

**Background:**

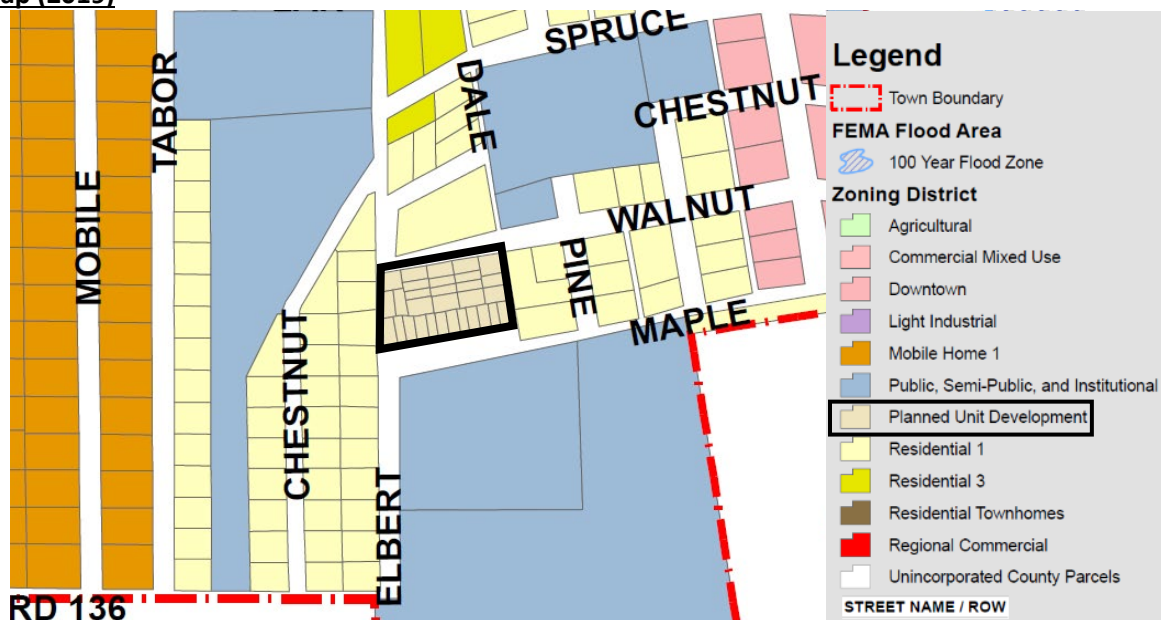
The subject site is a currently vacant, 1.568 acre parcel, that was previously occupied by 24 mobile homes. In 2012, The Town approved ordinance 07-12 that rezoned the property from Mobile Home Park-2 (MH-2) to Planned Unit Development (PUD) that allowed for 28 townhomes. The ensuing resolution, 07R19, provided approval for the site plan, preliminary plat, and final plat. Through ordinance 07-15, Park Street right-of-way was vacated within the site. The PUD was subsequently amended by ordinance 18-03 to increase the density and allow for the development of up to 44 apartments and townhomes.

As mentioned, the applicant is proposing to reconfigure the final plat and develop the parcel in two phases. Phase one will include a one, 28-unit, three-story above grade and one-story below grade multi-family apartment, as well as one, one-story community building. Phase two of the development will include 14, one-story, townhomes. The current proposal proceeds a required preliminary plat and final plat process where the Commission and Board will examine additional details. As the proposal for this sketch plan differs from the existing, approved land use documents, the applicant understands that future information and additional details will be required of the preliminary and final plat process.

**Approval Criteria:**

The Land Use and Development code, Article III and [Sec. 16-3-40](#), do not stipulate criteria for approval of a sketch plan application; therefore, staff has established a set of criteria for the Planning Commission to consider in order to offer a recommendation to the Board of Trustees. This includes review against all applicable standards as found in the EMC and the Elizabeth Comprehensive Plan.

**Zoning Map (2019)**



PO Box 159, 151 S. Banner Street, Elizabeth, Colorado 80107

Phone: (303) 646-4166 | Fax: (303) 646-9434 | [www.townofelizabeth.org](http://www.townofelizabeth.org)



# TOWN OF ELIZABETH

BOARD OF TRUSTEES

### Surrounding Land Uses:

- North: Elizabeth School District (Residential 1)
- South: Harvest Bible Church of Elizabeth (Public, Semi-Public, and Institutional)
- East: Single-family dwellings (Residential 1)
- West: Single-family dwellings (Residential 1)

### Current Vacant Site – Aerial View



### Current Vacant Site – NE corner of S Elbert St and E Maple St





# TOWN OF ELIZABETH

BOARD OF TRUSTEES

**Current Vacant Site – On street view from E Maple St looking north**



**Current Vacant Site – NW corner of Dale Ct and E Maple St**





# TOWN OF ELIZABETH

BOARD OF TRUSTEES

**Current Vacant Site – SW corner of S Elbert St and E Walnut St**



**Current Vacant Site – On street view from S Elbert St looking east**





# TOWN OF ELIZABETH

BOARD OF TRUSTEES

**Current Vacant Site – SE corner of Dale Ct and E Walnut St**



**Current Vacant Site – On street view from E Walnut St looking south**





# TOWN OF ELIZABETH

BOARD OF TRUSTEES

## Case Analysis:

Staff finds that the proposed building and site development plan displays general conformance with the applicable provisions of the EMC, the Elizabeth Comprehensive Plan, and the Town of Elizabeth Design Guidelines. Town staff has provided suggested findings and a recommendation at the end of this report.

### Elizabeth Municipal Code (EMC):

The applicant is proposing to reconfigure the lot for the previously approved planned development. As such, the following topics outline the specific analysis applied to the proposal in the context of Staff's proposed sketch plan requirements.

- **Submittal Requirements (see Exhibit A)**
  - Completed land use application: This submittal requirement has been met.
  - Application fee: This submittal requirement has been met.
  - A copy of the recorded warranty deed and title commitment or updated title commitment current within thirty (30) days: The Town has received an updated title commitment.
  - A notarized letter of authorization from the landowner permitting a representative to process the application: This submittal requirement has been met.
  - Plan exhibit: This submittal requirement has been met.
  - Development reports: This submittal requirement has been met as the Town has received a preliminary drainage and geotechnical report.
- **Subdivision Design Standards**
  - The proposed lot reconfiguration has been reviewed against the subdivision design standards of code [Sec. 16-3-110](#) and has been determined to be in general compliance.
- **Drainage**
  - Staff is completing a second review of the proposed drainage plan to ensure compliance with the Town standards. As of the publication of this staff report, final review of the applicant's response is not complete by the Civil consultants.
- **Floodplain**
  - The floodplain does not impact the site.
- **Traffic and Access**
  - As the proposal will maintain the same number of approved dwelling units it is anticipated that traffic on the site will remain the same. Access has been modified due to the reconfiguration of the site. The Town's traffic consultant had no comments regarding the sketch plan application.
- **Right-of-Way (ROW)**



# TOWN OF ELIZABETH

## BOARD OF TRUSTEES

- No new ROW is proposed with the development. All streets internal to the development are anticipated to remain private with no dedication to the Town.
- **Landscaping**
  - The proposed landscape for the overall site meets the minimum requirement of 15% of the total site area as stated in code [Sec. 16-2-50 \(b.1\)](#). The applicant is proposing 22% landscaped area that includes a private playground located at the southwest corner of the site (see **Exhibit A**). Further examination of the proposed landscaping was part of the original approval of the site plan. If an amendment to the site plan is required, details will be examined during the site plan amendment process. The proposed sketch plan and lot reconfiguration does not appear to conflict with the previously approved landscape plans.

### Elizabeth Comprehensive Plan (2019):

Staff has found that the proposed use does not conform to the Town’s currently adopted [2019 Comprehensive Plan](#). The future land use map depicts the site as low density residential, which proposes a density of two to four dwellings per acre (on a gross basis). However, through the rezoning of the parcel via zoning ordinance 07-12 to Planned Unit Development (PUD), an increase in the density was allowed. While the proposed density differs from the current Comprehensive Plan, the increased density aids the Town in meeting the goal of increasing housing options and density as outline below:

- **Future Land Use and Development - GOAL 1, POLICY 1.4:** *Encourage the diversification of Elizabeth’s housing options to meet the full life cycle of the community’s housing needs. This would enable residents to remain in the community as their housing needs change and would accommodate a more diverse range of residents from a wider range of ages to live in Elizabeth.*
  - By reconfiguring the lot, the applicant is proposing to diversify the provided housing types to meet the full life cycle of the community’s housing needs and thereby better serve the Town.
- **Future Land Use and Development GOAL 3:** *Future development in Elizabeth incorporates appropriate levels of density and design to support increased housing options, the viability of neighborhood commercial, and overall long-term neighborhood sustainability.*
  - The reconfiguration of the approved final plat does not propose to further increase the density allowed by the Walnut Grove Townhomes PUD. As such, the proposal will lead to the development of the vacant site into multi-family apartments and townhomes that expands upon the available housing options for the Town.

## Referrals

The following agencies provided comment during the referral period (see **Exhibit B**).

Referral Agency / Consultant	Discipline
SAFEbuilt	Community Development
CORE Engineering	Town Engineer
CORE Electric / IREA	Lands & Rights of Way



# TOWN OF ELIZABETH

## BOARD OF TRUSTEES

JVA	Public Works - Water & Sewer
Elizabeth Public Works	Public Works
Stolfus & Associates	Transportation
Elizabeth Fire Protection District	Fire
Elbert County Community Development	Community Development
Black Hills Energy	Utility Company
Elbert County Public Health	Environmental Review
Elbert County Assessor's Office	GIS

### Outstanding Referral Comments:

A second submittal, with a response to comments, was received by staff (2/10/23) that will require an additional review by the above referral agencies. As of publication of this staff report the following outstanding comments remain for the applicant:

- **CORE Electric Cooperative / IREA:**

- "CORE Electric Cooperative does not approve the Walnut Grove Sketch Plan, as the proposed development does not address existing electric facilities and the easement requirements to serve the development."
  - *Town staff note – as mentioned above, a preliminary plat and final plat process is required and subsequent to the sketch plan process. Traditionally, easement vacations and official dedication of any required easements occurs at those later stages and are reflected on the final, approved plat – as recorded with the County Clerk.*

- **CORE Engineering:**

- The Applicant submitted a "Final" Drainage Report which includes far more detailed technical information than what is provided with a Sketch Plan. The Report must be identified as a "Preliminary" Report.
- It is unclear from the Sketch Plan if the Applicant is intending to utilize Dale Ct in any way. This should be made clear at this Sketch Plan phase.

*Applicant's response – "Dale Ct will not be vacated. Some of the TH sidewalks are within the ROW. ROW will be used for pedestrians only and maintained by the development."*

### Findings and Staff Recommendation:

A favorable recommendation is provided for the sketch plan application upon review by the development review team and staff in accordance with Section [16-3-40](#) of the EMC. Staff provides the recommendation in the context of the following findings.

#### Findings:



# TOWN OF ELIZABETH

## BOARD OF TRUSTEES

1. The sketch plan application is a simple reconfiguration of the lots for a previously approved planned development (**see “background” section**). No proposed changes to land use accompany the application and the reconfiguration of lots does not create any additional impacts that were not considered during the previous approval process.
2. The proposal has been found to substantially comply with the standards for development as found in the Chapter 16 of the Elizabeth Municipal Code.
  - a. The proposal maintains the nature of the development previously approved by the PUD ordinance and site plan approval process.
  - b. The applicant has provided landscaping covering > 15% of the site.
  - c. Required easement dedications or vacations are noted and can be addressed prior to subsequent platting processes required by the Town and prior to any issuance of permits for construction.
  - d. An updated drainage memo has been provided, reviewed, and is under current review with the Town’s engineering consultant.
  - e. No floodplain issues are present.
  - f. There is no evidence of increased traffic to the area that wasn’t previously reviewed and approved.
3. The proposal has been found to comply with various housing elements of the Town’s current Comprehensive Plan.
4. The proposal has been found to substantially comply with the Town of Elizabeth Design Standards for subdivisions as outlined in [Sec. 16-3-110](#).
5. The development will be served by adequate water supply and waste disposal systems as determined through the previous approval process of the PUD and Site Plan.

### Staff Recommendation:

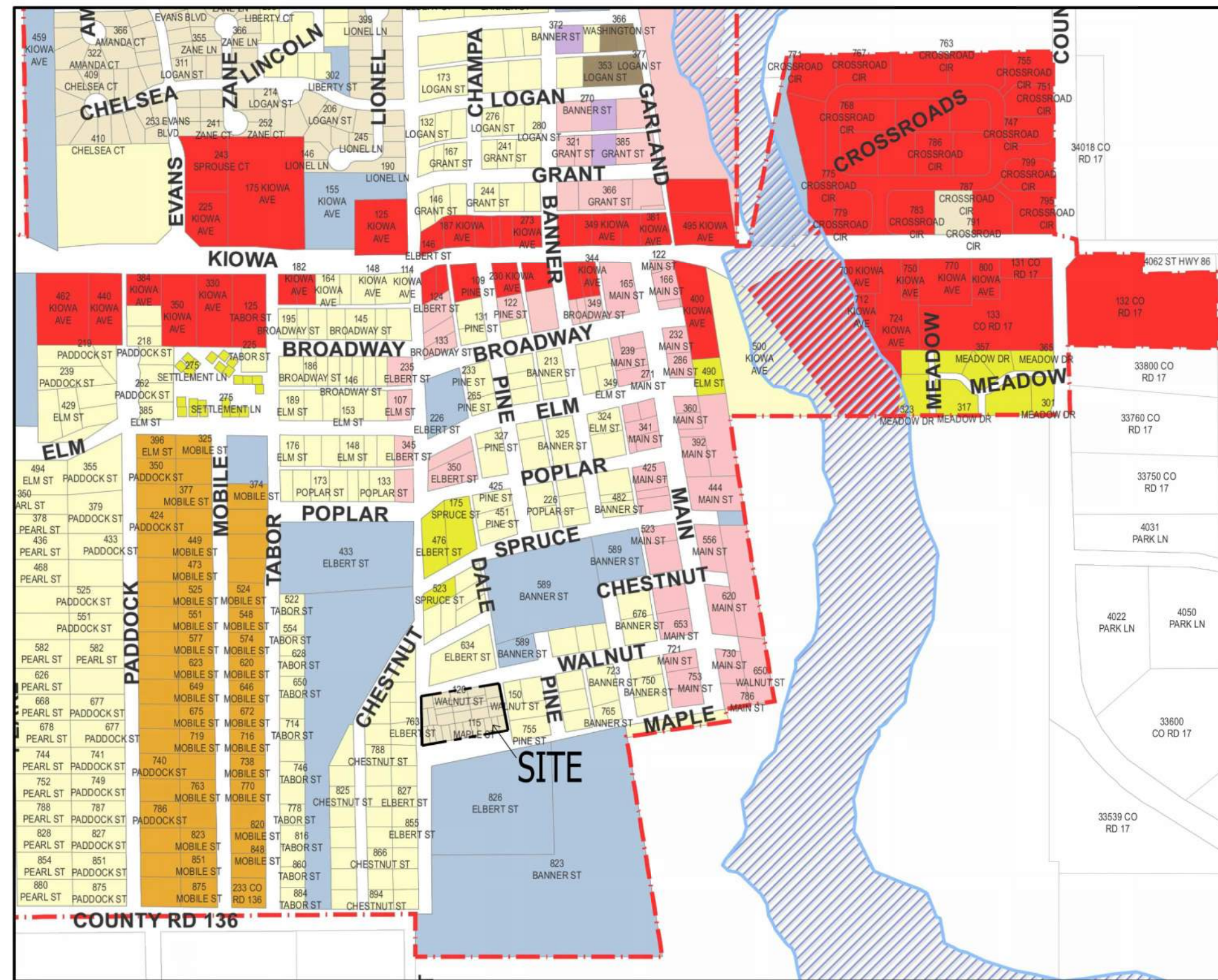
Based on the analysis above, staff believes that the application meets the criteria for a recommendation of approval to the Board of Trustees as set forth in [Chapter 16-3-40 \(b\)\(9\)](#) of the Elizabeth Municipal Code.

# EXHIBIT A

## SKETCH PLAN FOR WALNUT GROVE

LOTS 1A THROUGH 6A, BLOCK 30, LOTS 7A AND 8A, BLOCK 28 AND THE 60 FOOT WIDE RIGHT-OF-WAY FOR PARK STREET LYING BETWEEN BLOCKS 28 AND 30, PHILLIPS ADDITION, AS RECORDED UNDER RECEPTION #304731, WITHIN SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST. OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO.  
+/- 1.568 ACRES

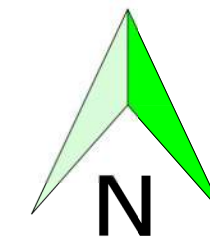
LOCATED AT: SOUTHEASTERN CORNER OF ELBERT & WALNUT STREET INTERSECTION



VICINITY MAP

SCALE: 1" = 500'-0"

SECTION-18 TOWNSHIP-8 S RANGE-64 W



**Legend**

- Town Boundary
- FEMA Flood Area
  - 100 Year Flood Zone
- Zoning District
  - Agriculture
  - Commercial Mixed Use
  - Downtown
  - Light Industrial
  - Mobile Home 1
  - Public, Semi-Public, and Institutional
  - Planned Unit Development
  - Residential 1
  - Residential 3
  - Residential Townhomes
  - Regional Commercial
  - Unincorporated County Parcels

**STREET NAME / ROW**



Know what's below. Call before you dig.

### NOTES:

1. THIS PROPOSED REPLAT-SITE PLAN COMPOSES THE ENTIRETY OF THE EXISTING PLANNED DEVELOPMENT.
2. HAZARD AREAS - NONE
3. VIEWS FROM OR TO SITE - NONE
4. WILDLIFE AREAS - NONE
5. THE STREETS INTERNAL TO THE DEVELOPMENT ARE TO REMAIN PRIVATE WITH NO DEDICATION TO THE TOWN.
6. ALL SNOW REMOVED FROM PARKING AND DRIVE AREAS MUST REMAIN ON-SITE AND NOT DEPOSITED ON PUBLIC PROPERTY NOR THE RIGHT-OF-WAY.

### SITE DATA

ZONING: PLANNED UNIT DEVELOPMENT  
 CURRENT USE: VACANT  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL  
 PROPERTY AREA: 68,306 SF - 1.568 ACRES  
 DISTURBED AREA(LOC) 1.64 ACRES

LATITUDE: 39° 21' 21.43" N  
 LONGITUDE: 104° 35' 55.62" W

### PROJECT DESCRIPTION

**PROJECT DESCRIPTION:**  
 THE OWNER PROPOSES TO CONSTRUCT ONE, 28 UNIT, THREE-STORY ABOVE GRADE & ONE-STORY BELOW GRADE MULTI-FAMILY APARTMENT BUILDING WITHIN THE LIMITS OF BLOCKS 28 THROUGH 30 ON THE CORNER OF ELBERT & WALNUT STREET IN ELIZABETH, COLORADO. ADDITIONALLY, THE SITE WILL BE PREPARED FOR THE CONSTRUCTION OF 14, THREE-STORY TOWNHOMES AND 1 ONE-STORY COMMUNITY BLDG.

**EXISTING CONDITIONS:**  
 THE PROJECT AREA IS ZONED PUD AND IS CURRENTLY VACANT. EXISTING RUNOFF IS CURRENTLY ROUTED NORTHEAST AND IS UNDETAINED.

**PROPOSED CONDITIONS:**  
 THE SITE WILL BE BUILT IN TWO PHASES. THE FIRST PHASE WILL BE THE APARTMENT BUILDING AND COMMUNITY BUILDING. THE SECOND PHASE WILL BE TOWNHOME BUILDINGS. THE APARTMENT & COMMUNITY BUILDINGS WILL RECEIVE UTILITY SERVICES FROM THE EXISTING WALNUT STREET RIGHT OF WAY. SANITARY SEWER WILL BE SHARED ONSITE AND ROUTED NORTH TO THE WALNUT STREET RIGHT OF WAY. A 2" WATER TAP FROM WALNUT STREET WILL SUPPLY THE APARTMENT & COMMUNITY BUILDINGS WITH POTABLE WATER ALONG WITH A SEPARATE 6" FIRE LINE FOR THE APARTMENTS. THE ONE PROPOSED HYDRANT IS SERVICED FROM A PROPOSED 6" WATER LINE NEAR THE WALNUT STREET ENTRANCE. FOR PHASE 2, THE TOWNHOMES WILL BE SERVICED BY A 2" DIA. WATER LINE TAP FROM THE EXISTING MAPLE STREET EXISTING 6" WATER MAIN TO SUPPLY POTABLE WATER. SANITARY FOR THE MIDDLE TOWNHOME BUILDINGS WILL BE AN 8" MAIN THAT GOES TO AN THE 8" SANITARY STUB THAT WILL BE BUILT IN PHASE 1 AS SHOWN ON UTILITY PLANS. THE SANITARY FOR THE EAST TOWNHOME BUILDING WILL BE SERVICED BY THE EXISTING 8" SANITARY MAIN THAT DRAINS NORTH TO WALNUT STREET. RUNOFF FROM THE SITE WILL BE DIRECTED TO THE 3-ZONE EXTENDED DETENTION BASIN LOCATED IN THE NORTHEAST CORNER OF THE SITE. THE POND WILL DISCHARGE AT HISTORIC RATES TO THE STORM SEWER LOCATED IN WALNUT STREET.

### BASIS OF BEARING & BENCHMARKS

CP 950, A #5 REBAR APPROXIMATELY 50' SOUTH OF THE SOUTHWEST CORNER, 1.3' EAST OF THE BACK OF WALK ON ELBERT STREET. ELEVATION - 6522.29'  
 CP 953, A #5 REBAR APPROXIMATELY 66' NORTH OF THE NORTHEAST CORNER, 2.3' WEST OF THE EDGE OF DALE COURT. NAVD88 DATUM. ELEVATION - 6498.63'

### LEGAL DESCRIPTION

Lots 1-28 and Tracts A & B, Walnut Grove Townhomes Planned Development, as recorded in Elbert County, CO, Reception no. 531671, Bk 13, Pg 70 in November of 2012. Within Section 18, Township 8 South, Range 64 West of the 6th Principal Meridian, Town of Elizabeth, County of Elbert, State of Colorado.

### CONSULTANT CONTACTS

**APPLICANT/DEVELOPER:** UNIBUILDERS, LLC  
 CONTACT: DAVE AHMADABADI (720)-641-0350

**CIVIL ENGINEER:** COLORADO CIVIL ENGINEERING, LLC  
 41435 CTRY ROSE, PARKER, CO 80138  
 CONTACT: OTTO BURDEN, P.E. (303)-708-1930

**ARCHITECT:** SANDELLA DESIGN  
 CONTACT: DANIEL SPIESMAN (719)-839-0842

**MECHANICAL:** LOHR DESIGN GROUP  
 5995 LASSO PLACE  
 PARKER, COLORADO 80134  
 SCOTT LOHR P.E. (303) 870-5170

**LIGHTING:** KAZIN & ASSOCIATES, INC.  
 9364 TEDDY LANE, SUITE 101  
 LONE TREE, COLORADO 80124  
 BRYAN KAZIN, PE 720-489-16095

### SHEET INDEX

- C 1 - COVER SHEET
- C 2 - SKETCH PLAN
- C 3 - SKETCH PLAN LOTS

### LOT USAGE

- LOT 1 - APARTMENT RENTALS
- LOT 2 - TOWNHOUSE RENTALS
- LOT 3 - COMMUNITY CENTER, OWNED BY HOA
- TRACT A - DETENTON POND TRACT, OWNED & MAINTAINED BY HOA

### DEVELOPMENT DATA:

SITE AREA BREAKDOWN:	AREA	% OF 1.568 AC
DESCRIPTION		
APARTMENTS	9,117 SF	13.34%
TOWNHOMES	11,439 SF	16.75%
COMMUNITY BLDG.	1,582 SF	2.32%
DRIVING/PARKING SURFACES	24,512 SF	35.89%
SIDEWALKS	6,571 SF	9.62%
LANDSCAPING (OPEN SPACE)	15,081 SF	22.08%
TOTAL	68,305.84 SF	100.00%

**PARKING:**  
 2 SPACES PER UNIT INCL HANDICAP (4MIN. W/1 VAN)= 84 TOTAL SPACES REQUIRED

TYPE	PROVIDED
STANDARD	78
HANDICAP	4 STANDARD/2 VAN
TOTAL	84

PARKING MIX:	TYPE	PROVIDED	% OF TOTAL
STANDARD	STANDARD	4	4.76%
VAN HANDICAP	HANDICAP	2	2.38%
FULL SIZE	STANDARD	28	33.33%
OVERSIZED	STANDARD	9	10.71%
COMPACT SIZE	STANDARD	13	15.49%
TOWNHOME GARAGE	STANDARD	28	33.33%
TOTAL	STANDARD	84	100.00%

### R-3 ZONING DISTRICT DIMENSIONAL STANDARDS

ORDINANCE # 578652 B 787, P 515 (DATED 5/8/2018)  
 AMENDMENT TO UNDERLYING ZONING/PUD ALLOWANCES PER ORDINANCE #578652

**BLDG HEIGHT:** 37' MAX. HEIGHT (ENTIRE SITE)

**SETBACKS:**  
 0' - WALNUT STREET  
 0' - ELBERT STREET  
 10' - MAPLE STREET

**DENSITY:** 29 UNITS/ACRE

**MIN. LOT WIDTH:** 197 FEET

STANDARD R-3 ZONING/PUD ALLOWANCES PER TABLE 16-2

**MIN. LOT SIZE:** 9000 SF

**MAX. LOT COVERAGES:**  
 UNDER ROOF 35%  
 MIN. VEGETATIVE AREA 20%

**MIN. SQUARE FEET PER DWELLING** 600 SF

ENTITLEMENT SET FOR:

WALNUT GROVE

COVER SHEET

WALNUT GROVE - SKETCH PLAN  
ELBERT & WALNUT STREET INTERSECTION  
ELIZABETH, COLORADO

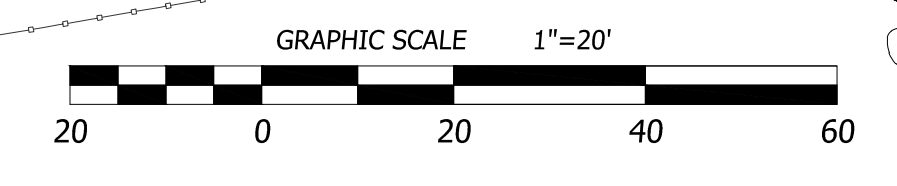
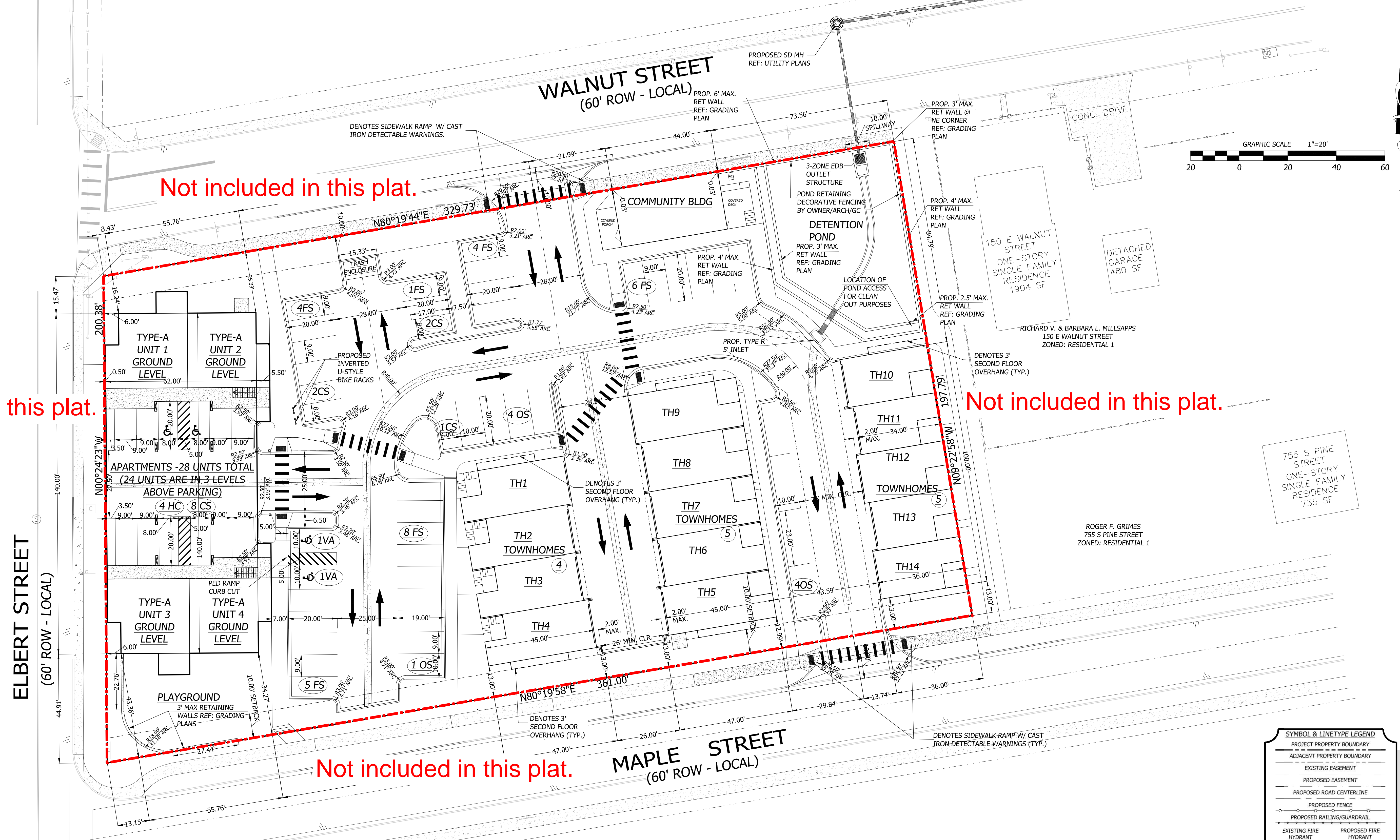
DATE: 10-06-22

C 1

SHEET 1 OF 3

# SKETCH PLAN FOR WALNUT GROVE

+/- 1.568 ACRES  
LOCATED AT: SOUTHEASTERN CORNER OF ELBERT & WALNUT STREET INTERSECTION



SYMBOL & LINETYPE LEGEND	
	PROJECT PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED ROAD CENTERLINE
	PROPOSED FENCE
	PROPOSED RAILING/GUARDRAIL
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	EXISTING PAVEMENT
	PROPOSED DRIVING SURFACE
	EXISTING CONCRETE
	PROPOSED CONCRETE

NOTES:  
STRIPED CROSSWALKS SHALL BE  
PAINTED ACROSS ALL ACCESS POINTS.

ENTITLEMENT SET FOR:  
WALNUT GROVE

ENTITLEMENT SET FOR:  
WALNUT GROVE

SITE DIMENSION PLAN  
WALNUT GROVE - SKETCH PLAN  
ELBERT & WALNUT STREET INTERSECTION  
ELIZABETH, COLORADO

DATE: 10-06-22



**Project Narrative for**  
**Walnut Grove**

**Legal Description:**

Lots 1-28 and Tracts A & B, Walnut Grove Townhomes Planned Development, as recorded in Elbert County, CO, Reception no. 531671, Bk 13, Pg 70 in November of 2012. Within Section 18, Township 8 South, Range 64 West of the 6th Principal Meridan, Town of Elizabeth, County of Elbert, State of Colorado.

Owner/Applicant/Developer:  
David Ahmadabadi  
Elizabeth 44, LLC  
Email: [dave@unibuilders.com](mailto:dave@unibuilders.com)

Site plan by:  
Colorado Civil Engineering - Otto Burden, PE  
Email: [oburden@coloradocivil.com](mailto:oburden@coloradocivil.com)

### **Project Narrative**

The owner proposes to construct one, 28-unit, three-story above grade & one-story below grade multi-family apartment building within the limits of blocks 28 through 30 on the corner of Elbert & Walnut street in Elizabeth, Colorado. Additionally, the site will be prepared for the construction of 14, three-story townhomes. All townhome units have a two-car garage on the lower level. The apartments have four lower level, Type-A, handicap units. Additional handicap parking has been provided to ensure adequate visitor spaces as well as available spaces for the handicap residents.

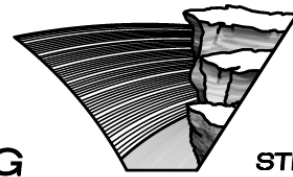
The site is zoned PUD and is currently vacant. Adjacent sites are as follows: The proposed development is bordered by Walnut Street Right of Way to the north, a vacant alley right of way to the east abutting residential home sites, Maple Street Right of Way to the south, and the Elbert Street Right of Way to the west. The proposed site will have access off of Walnut Street and Maple Street.

Water for the proposed apartments will be acquired from the existing water main located in the Walnut Street Right of Way. This structure will incorporate an NFPA 13 system. Water for the proposed townhomes will be acquired via an 2” water line that will make a connection in Maple Street during Phase 2 of the project. These townhomes will utilize the same residential taps to install an NFPA 13D system in each unit. Backflow prevention and metering will take place within the unit. A hydrant is proposed just west of the clubhouse to comply with spacing and distance requirements delineated by the IFC. On-site sanitary sewer will be served by a 8" pvc sewer line and manholes to connect to the existing town sewer in Walnut street. Townhouse units will be served by this constructed line or by the existing line in the town right of way just east of the detention pond. Irrigation will be provided efficiently as site landscaping has been designed to use minimal water and utilize on-site water to the maximum effect through drainage design and concept. The proposed development is bordered by Walnut Street Right of Way to the north, a vacant alley right of way to the east abutting residential home sites, Maple Street Right of Way to the south, and the Elbert Street Right of Way to the west

The proposed site has incorporated usable open space in multiple locations. A playground has been planned for in the southwest corner of the site and adequate parking has been provided for the development.

The owner is proposing to build all site improvements necessary for the apartment building, parking, community room, and storm water runoff and detention facility in Phase 1. Phase 2 will include the townhouses, water extension to Maple street, sewer, and additional landscaping.

The Developers plan on beginning site grading as soon as possible and target occupancy time frame on the Apartment building is Summer of 2023.

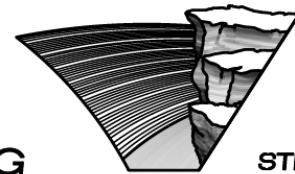


**Preliminary Drainage Report for  
Walnut Grove**

LOTS 1A THROUGH 6A, BLOCK 30, LOTS 7A AND 8A, BLOCK 28 AND THE 60 FOOT WIDE RIGHT-OF-WAY FOR PARK STREET LYING BETWEEN BLOCKS 28 AND 30, PHILLIPS ADDITION, AS RECORDED UNDER RECEPTION #304731, WITHIN SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST. OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO.

Owner/Applicant/Developer:  
Arman K Pishke  
Elizabeth 44, LLC  
Email: [arman@unibuilders.com](mailto:arman@unibuilders.com)

Design/Report by:  
Canyon Creek Engineering - Phil Giesing, P.E.  
Email: [Phil@canyoncreekengineering.com](mailto:Phil@canyoncreekengineering.com)



Final Drainage Report V1.0 for Elizabeth 44.

**Table of Contents:**

Drainage Statements and Report	pages 3-11
Vicinity Map	page 12
Flood Insurance Rate Map	page 13
Soils Map	page 14
Soil Types Explained	pages 15-16
NOAA Point Precipitation Frequency Estimates	pages 17-20
UD-Detention Stage vs. Storage Calculations	page 21
UD-Detention Outlet Structure Calculations/Release Rates	pages 22-23
Subbasin Flows	pages 24-25
Open Channel Flow Design Point Calculations	page 26
Pond Outlet Pipe Calculations	page 27
On-Site Drainage Subbasin Map <b>DR.0</b>	FOLDED & ATT
Drainage Details <b>DR.1</b>	FOLDED & ATT

**DRAINAGE STATEMENTS**

Engineer's Certification:

This report for the final drainage design of (Elizabeth 44) was prepared by me or under my direct supervision in accordance with the provisions of Town of Elizabeth Storm Drainage Design and Technical Criteria, and was designed to comply with the provisions thereof. I understand that the Town of Elizabeth does not and will not assume liability for drainage facilities designed by others.

---

Phil Giesing – Registered Professional Engineer  
State of Colorado  
No. 27384

Seal/Date



## DRAINAGE REPORT

### I. GENERAL LOCATION AND DESCRIPTION:

#### a. Site Location

##### 1. Site Vicinity Map

- Please refer to the table of contents for the location of the site vicinity map within this report. Proposed site is located in the southeastern corner of the Elbert and Maple Street Intersection within Elizabeth, Colorado.

##### 2. Township, range, section, ¼ section

- Township 8 south, Ranges 64 west, NE 1/4 of section 18.

##### 3. Existing and proposed streets, roadways, and highways adjacent to and within the proposed development, or within the area served by the proposed drainage improvements

- The proposed development will have access off of Maple Street and Walnut Street. The proposed site is bordered by Elbert Street to the west. The drainage improvements serve the site described above and a portion of the existing vacant alley to the east of the site.

##### 4. Names of surrounding or adjacent developments, including land use or zoning information

- The proposed development is bordered by Walnut Street Right of Way to the north, a vacant alley right of way to the east abutting residential home sites, Maple Street Right of Way to the south, and the Elbert Street Right of Way to the west.

#### b. Description of Property

##### 1. Area in Acres

- Project area enclosed by the property boundary is 1.568 acres but limits of construction are depicted on the GESC plan and contain 2.01 acres.

##### 2. Ground cover, vegetation, site topography and slopes

- Existing ground cover consists of native grasses and slopes steeply to the northeast, away from the Elbert Street Right of Way.

##### 3. NRCS Soils Classification Map and discussion

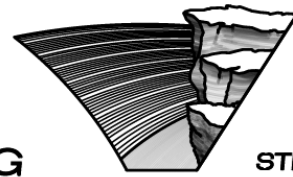
- Please refer to the table of contents for the location of the site soils map and soils description within this report. 100 percent of our on-site soils fall into hydraulic soils group B. These soils consist of Bresser Sandy Loam.

##### 4. Major and minor drainageways

- The proposed site is not located within any drainageways as the highpoint in the vicinity is in the Elbert street right of way abutting the proposed site to the west.

##### 5. Floodplains delineated by UDFCD FHAD studies or on FEMA FIRM Maps

- Please refer to the table of contents for the location of the FEMA



FIRM map within this report. Our site is not impacted by existing floodplain.

6. Existing irrigation canals or ditches
  - None are existing or known of on-site.
7. Significant Geological Features
  - There are no significant geological features existing on-site.
8. Proposed land use
  - Proposed land use is Multi-family Residential.

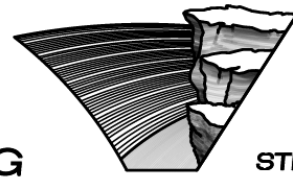
## II. DRAINAGE BASINS AND SUBBASINS:

### a. Major Drainage Basins

1. On-site and off-site major drainage basin characteristics and flow patterns and paths
  - Please reference the on-site drainage subbasin map that is folded and attached at the back of this report. Basins with the A designation are within the limits of our site and are conveyed to the pond in all but one location. Basins with the OS designation are located off-site and are delineated only because they contribute to design point flows and to the detention pond. Flow currently heads to the northeast where it is undetained. Runoff will still be routed to the northeast where it will be detained, treated, and released at or below historic rates.
2. Existing and proposed land uses within the basins if known
  - Only abutting right of way contributes to our runoff generated (OS basins) and routed to the detention pond.
3. Discussion of all drainageway planning or floodplain delineation studies that affect the major drainageways, such as UDFCD FHAD studies and outfall system planning studies
  - We are not aware of any of these studies currently. The on-site basins post developed condition matches that of the pre-developed condition. Our detention ponds will release historic flows or less for the 100-yr storm for approximately 1.57 acres of tributary area.
4. Discussion of the condition of any channel within or adjacent to the development, including existing conditions, need for improvements, and impact on the proposed development
  - The proposed detention pond will require a connection to the existing storm sewer network located within the walnut street right of way.
5. Discussion of the impacts of the off-site flow patterns and paths, under fully developed conditions
  - Minimal impact to off-site flow paths and patterns are anticipated.

### b. Minor Drainage Basins

1. On-site and off-site minor drainage basin characteristics and flow patterns and paths under historic and developed conditions



- Please reference the on-site drainage subbasin map that is folded and attached at the back of this report. Basins with the A designation are within the limits of our site and are conveyed to the pond. Basins with the OS designation are located off-site and are delineated only because they contribute to design point flows. Flow currently heads to the northeast where it is undetained. Runoff will still be routed to the northeast where it will be detained, treated, and released at historic rates.
- 2. Existing and proposed land uses within the basins
  - Only abutting right of way contributes to our runoff generated.
- 3. Discussion of irrigation facilities that will influence or be impacted by the site drainage
  - There are no irrigation facilities that will be impacted due to site drainage.
- 4. Discussion of the impacts of the off-site flow patterns and paths, under fully developed conditions
  - Minimal impact to off-site flow paths and patterns are anticipated. In the event of a pond emergency overflow, the emergency spillway will discharge to the north into the Walnut Street right of way.

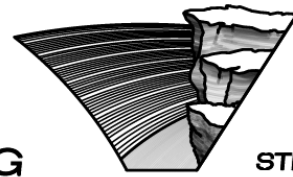
### III. DRAINAGE DESIGN CRITERIA:

#### a. Regulations

1. Describe the use of optional provisions and any deviation from these CRITERIA and justification for such actions.
  - The drainage concept has been designed using NRCS Soil data, NOAA precipitation data, The rational method for minor onsite flows, and the urban drainage criteria and UD-Detention workbooks.

#### b. Drainage Studies, Outfall Systems Plans, Site Constraints

1. Discuss previous drainage studies or master plans for the site or project that influence the stormwater facility design
  - We are not in possession of any prior study for the site in question.
2. Discuss drainage studies for adjacent developments and how those developments affect the stormwater facility design
  - We are not in possession of any prior studies for the adjacent sites but fully developed conditions for our site do not negatively impact adjacent developments
3. Discuss UDFCD Outfall Systems Plans and how recommendations in those studies affect the design
  - We are not in possession of any outfall system plans. Recommendations if applicable to the site can be accommodated if provided.



4. Discuss impacts to stormwater management facility design caused by site constraints, such as streets, utilities, light rail, rapid transit, existing structures, etc
  - The main site constraints in developing the proposed site is the lack of storm sewer to the north of the property for discharge of our pond, the excess of soil on-site for balancing cut and fills, and the existing slopes of both Walnut and Maple Street.

c. Hydrology

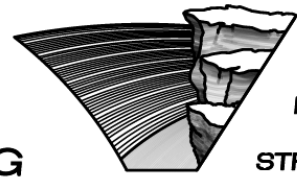
1. Runoff calculations method(s)
  - Rational Method.
2. Design Storm recurrence intervals
  - Design storm return periods provided are 5-year, 10 year and 100-year.
3. Design rainfall
  - NOAA Point Precipitation Frequency Estimates for Elizabeth, Colorado.
4. Detention storage calculations method(s)
  - Please see attached UD-Detention workbook pages. Stage vs. Storage table is shown with user inputted parameters. The proposed pond is a 3-zone extended detention basin. A typical outlet structure incorporating a micro pool will be provided. Water will be released over time using an orifice plate and weir/grate leading to the city storm sewer. An emergency spillway will be incorporated into the retaining wall and spill onto Walnut street right of way.
5. Detention storage release rate calculation method
  - Please see attached UD-Detention workbook pages. Outlet Calculations using orifice plate, weir/grate and spillways are shown with user inputted parameters to ensure less than historic flows are provided in the post-developed condition.

d. Hydraulics

1. Methods used to determine conveyance facility capacities
  - Urban Drainage spreadsheets and workbooks have been provided showing the required design point calculations. Less detailed, open channel flow calculations have also been provided to delineate flows at other design points.
2. Hydraulic grade line calculation method and discussion of loss coefficients
3. Not applied at this time.
4. Methods used to calculate water surface profile
  - Stage vs Storage workbook has been applied to the onsite detention facility. An outlet structure detail on sheet DR.1 has been provided showing the schematic in section view.
5. Detention pond routing

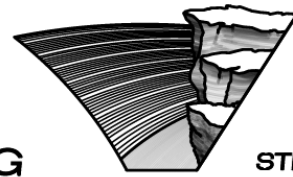


- Not applied at this time.
- e. Water Quality Enhancement
1. Discuss proposed best management practices
    - Micropool and proper release rates have been implemented.
  2. Identify design procedures
    - First, Subbasin flow table input parameters were delineated using basin maps, and on-site soils maps. Design point flows were verified and calculations provided showing adequate capacities within the flow path. UD-Detention workbooks were used to model the pond and it's outlet.
- IV. STORMWATER MANAGEMENT FACILITY DESIGN:
- a. Stormwater Conveyance Facilities
1. Discuss general conveyance concepts
    - Grass lined swales will be used where possible but due to the urban nature of the site, these locations are limited. Sidewalk chases are used instead of inlets wherever possible to continue the flow of runoff on the surface. The site should be relatively low maintenance and risk from a drainage perspective for this reason.
  2. Discuss proposed drainage paths and patterns
    - Refer to the on-site subbasin maps located at the back of this report for flow paths and patterns.
  3. Discuss storm sewer design, including inlet and pipe locations and sizes, tributary basins and areas, peak flow rates at design points, hydraulic grade lines, etc.
    - Please refer to the offsite and on-site subbasin flow tables for deign point flows. Calculations have been provided at the back of this report showing the flow rates and depths within the pipes and chases.
  4. Discuss storm sewer outfall locations and design, including method of energy dissipation
    - Energy will be dissipated with riprap basins where applicable.
  5. Discuss how runoff is conveyed from all outfalls to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Ultimately on-site and upstream off-site flows are routed to the northeast, as they were historically.
  6. Discuss open channel and swale designs, including dimensions, alignments, tributary basins and areas, peak flow rates at design points, stabilization and grade control improvements, low flow or trickle channel capacities, water surface elevations, etc
    - This information can be obtained throughout the calculations. WSE data has been provided on the drainage basin map within the pond section. Trickle channel is not proposed within this concept as pond bottom slopes are adequate to prevent ponding. Slopes



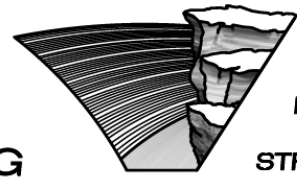
greater than 4:1 will be stabilized with erosion control blanket and channels with sizable flows will be stabilized using riprap basins.

7. Discuss allowable street capacities
  - Runoff in concrete swales in access roads will be less than 3” deep at 100yr storm event. The Type R inlet will be submerged 7.5” during a 100 yr storm event (1.5” above top of curb, to be detained by landscaping).
8. Discuss maintenance aspects of the design and easements and tracts that are required for stormwater conveyance purposes
  - Sediment removal will be required at the pond bottom, maintenance access easements will be required at these locations.
9. Discussion of the facilities needed off site for the conveyance of minor and major flows to the major drainageway
  - The site will require a manhole in the Walnut street right of way and a length of pipe to the northeast to connect to the existing town of Elizabeth storm sewer system.
- b. Stormwater Storage Facilities
  1. Discuss detention pond designs, including release rates, storage volumes and water surface elevations for the 2-year, 100-year and emergency overflow conditions, outlet structure design, emergency spillway design, etc
    - Please see attached UD-Detention workbook pages. Stage vs. Storage table is shown with user inputted parameters. The proposed pond is a 3-zone extended detention basin. The pond does not have any low slopes requiring a trickle channel. A typical outlet structure incorporating a micro pool will be provided. Water will be released over time using an orifice plate, overflow weir/grate, and emergency spillway.
  2. Discuss pond outfall locations and design, including method of energy dissipation
    - Pond outfall will be connected to the existing storm sewer within the walnut street right of way. No energy dissipation is required.
  3. Discuss how runoff is conveyed from all pond outfalls and emergency spillways to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Please refer to the on-site subbasin maps for flow path from pond to adjacent property. Runoff is routed through vacant property to the existing floodplain to the east.
  4. Discuss maintenance aspects of the design and easements and tracts that are required for stormwater storage purposes
    - Ponds will require sediment removal in the future to ensure that the micropool continues to function properly. Maintenance access



easements will be in place to have these facilities kept in proper working order.

- c. Water Quality Enhancement Best Management Practices
  1. Discuss the design of all structural water quality Best Management Practices, including tributary areas, sizing, treatment volumes, design features, etc
    - Water Quality is provided through extended drain times within the proposed full spectrum detention pond.
  2. Discuss how runoff is conveyed from all pond outfalls to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Please refer to the On-site drainage subbasin map sheet DR.0 for conveyance and path of pond flows.
  3. Discuss the operation and maintenance aspects of the design and easements and tracts that are required for stormwater quality enhancement purposes
    - Easements will be required to maintain the stormwater treatment facilities.
- d. Floodplain Modification
  1. Discuss why the floodplain modifications are proposed
    - No floodplain modifications are proposed.
  2. Discuss the source of the floodplain information and level of detail (UDFCD Flood Hazard Area Delineation or FEMA Flood Insurance Rate Maps)
    - Please refer to the table of contents for the locations of the FEMA FIRM within this report.
  3. Discuss details of floodplain modifications, including level of encroachment, velocities, depths, stabilization measures, water surface elevations, etc
    - Floodplain does not encroach on the proposed site.
  4. Discuss Conditional Letter or Map Revision (CLOMR) and Letter or Map Revision (LOMR) requirements
    - Not applicable.
  5. Discuss County floodplain development regulations and Floodplain Development Permit
    - No development within the FEMA floodplain proposed.
- e. Additional Permitting Requirements
  1. Section 404 of the clean water act
    - No discharge of dredged or fill material is proposed within our site.
  2. The endangered species act
    - We are not aware of any endangered species that are native to the proposed site.
  3. Other local, state or federal requirements



- 97% of stormwater from the 5-yr event will be held on-site for no longer than 72 hours. Refer to the UD-Detention outlet structure and release rates workbook for these values.

f. General

1. Discuss all tables, figures, charts, drawings, etc. that were used in design of stormwater management facilities and describe materials that are included in the appendix of the report
  - Please refer to the table of contents for a list of all tables, maps, and spreadsheets produced in the process of designing stormwater management facilities.

V. CONCLUSIONS:

a. Compliance with Standards

1. Criteria
  - NOAA precipitation depths are compliant with Elizabeth Criteria. Pond design and treatment of runoff is compliant with UDFCD recommendations.
2. UDFCD Criteria
  - The proposed site is compliant with many of UDFCD's provisions. This is evident in our effort to reduce erosion and provide water quality features for the site.
3. Manual
  - Pond design is largely focused around accommodating recommendations from the UDFCD.

b. Drainage Concept

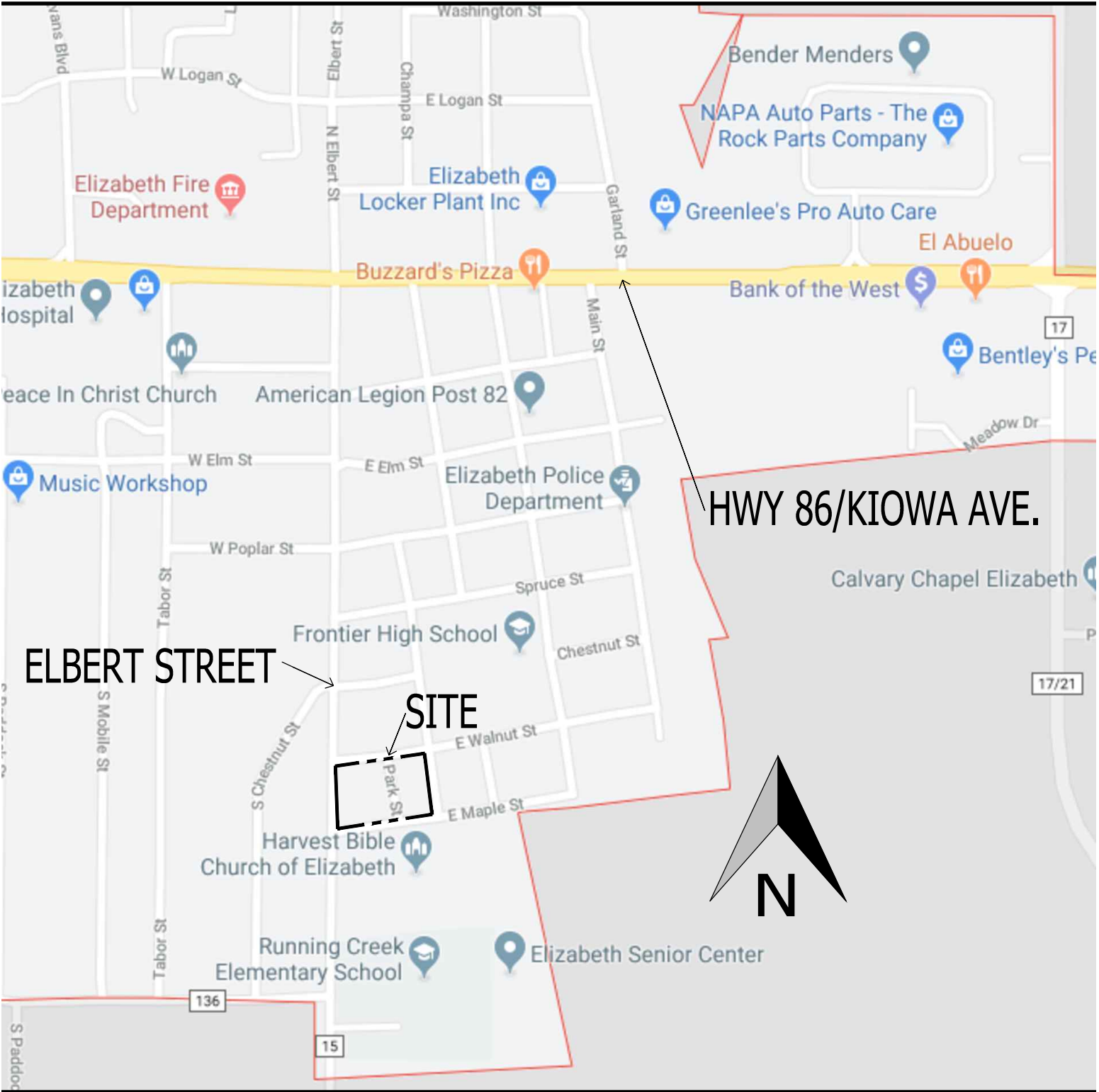
1. Discuss overall effectiveness of stormwater management design to properly convey, store and treat stormwater
  - The post-developed condition of our site will not adversely impact downstream and adjacent sites. Conveyance and storage based BMPs will be implemented and preserved throughout the site as detailed above.

VI. REFERENCES:

- a. Town of Elizabeth Drainage Criteria.
- b. Urban Drainage and Flood Control District Storm Drainage Criteria Manuals (volumes 1 through 3) and related workbooks.

VII. APPENDICES:

- a. Hydrological Computations
  1. Reference table of contents and resultant calculations.
- b. Hydraulic Computations
  1. Reference table of contents and resultant calculations.



ELBERT STREET

SITE

HWY 86/KIOWA AVE.

N

# VICINITY MAP

SCALE: 1" = 500'-0"

SECTION-18 TOWNSHIP-8 S RANGE-64 W

**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only to landward of 0.0' North American Vertical Datum of 1988 (NAVD88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 13. The horizontal datum was NAD83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988 (NAVD88). These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NINGS12  
National Geodetic Survey  
SSMC-2, #9202  
1315 East-West Highway  
Silver Spring, MD 20910-3282

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit its website at <http://www.ngs.noaa.gov/>.

**Base Map** information shown on this FIRM was provided in digital format by Elbert County GIS Department and Anderson Consulting Engineers, Inc. These data are current as of 2009.

This map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels, community map repository addresses, and a listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

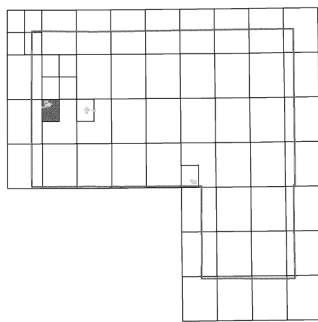
Contact **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov/>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA Map (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/>.

**Elbert County Vertical Datum Offset Table**

Flooding Source	Vertical Datum Offset (ft)
N/A	N/A

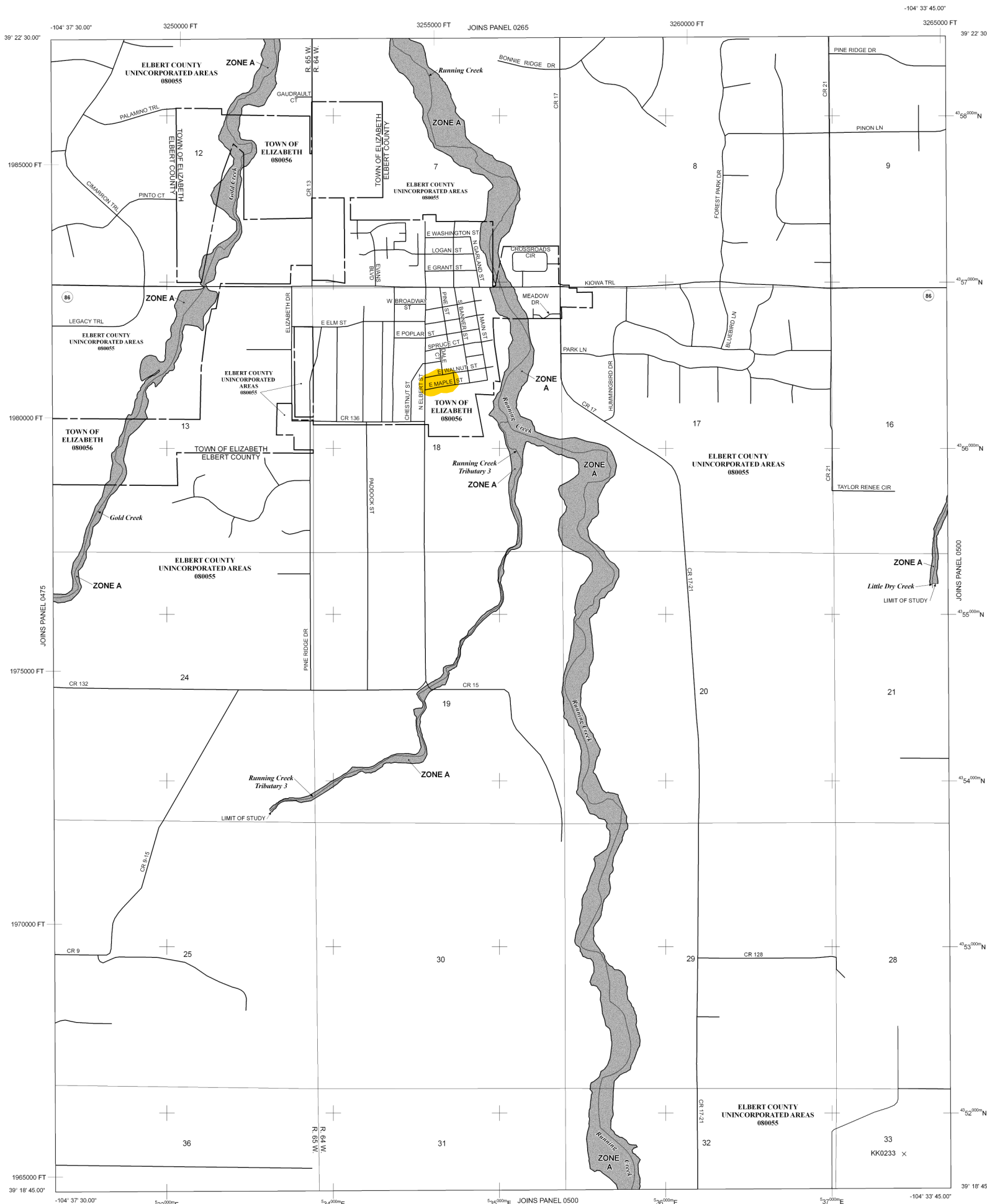
**Panel Location Map**



This Digital Flood Insurance Rate Map (DFIRM) was produced through a Cooperating Technical Partner (CTP) agreement between the State of Colorado Water Conservation Board (CWCB) and the Federal Emergency Management Agency (FEMA).



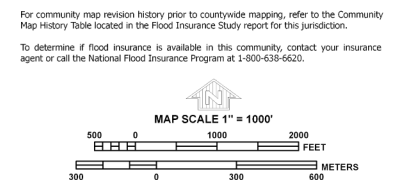
Additional Flood Hazard information and resources are available from local communities and the Colorado Water Conservation Board.



NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 8S SOUTH, RANGE 64 WEST, AND TOWNSHIP 8S SOUTH, RANGE 65 WEST.

**LEGEND**

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
- The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- No Base Flood Elevations determined.
- Zone AE Base Flood Elevations determined.
- Zone AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- Zone AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- Zone AR Special Flood Hazard Area Formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- Zone A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- Zone V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- Zone VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS
- Zone X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS
- Zone X Areas determined to be outside the 0.2% annual chance floodplain.
- Zone D Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
- OTHERWISE PROTECTED AREAS (OPAs)
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- Floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet\* (EL 987)
- Base Flood Elevation value where uniform within zone; elevation in feet\*
- \* Referenced to the North American Vertical Datum of 1988 (NAVD 88)
- Cross section line
- Transect line
- 97° 07' 30.00" 32° 22' 30.00" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
- 47° 50' 00" 1000-meter Universal Transverse Mercator grid ticks, zone 13
- 6000000 FT 5000-foot grid ticks; Colorado State Plane coordinate system, central zone (FIPS-ZONE 0502), Lambert Conformal Conic Projection
- DX5510 Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.5 River Mile
- MAP REPOSITORIES Refer to Map Repositories list on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP MARCH 17, 2011



**PANEL 0480C**

**FIRM**  
FLOOD INSURANCE RATE MAP  
**ELBERT COUNTY,  
COLORADO  
AND INCORPORATED AREAS**

**PANEL 0480 OF 1200**  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS

COMMUNITY	NUMBER	PANEL	SUFFIX
ELBERT COUNTY	08055	0480	C
ELIZABETH TOWN OF	08056	0480	C

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

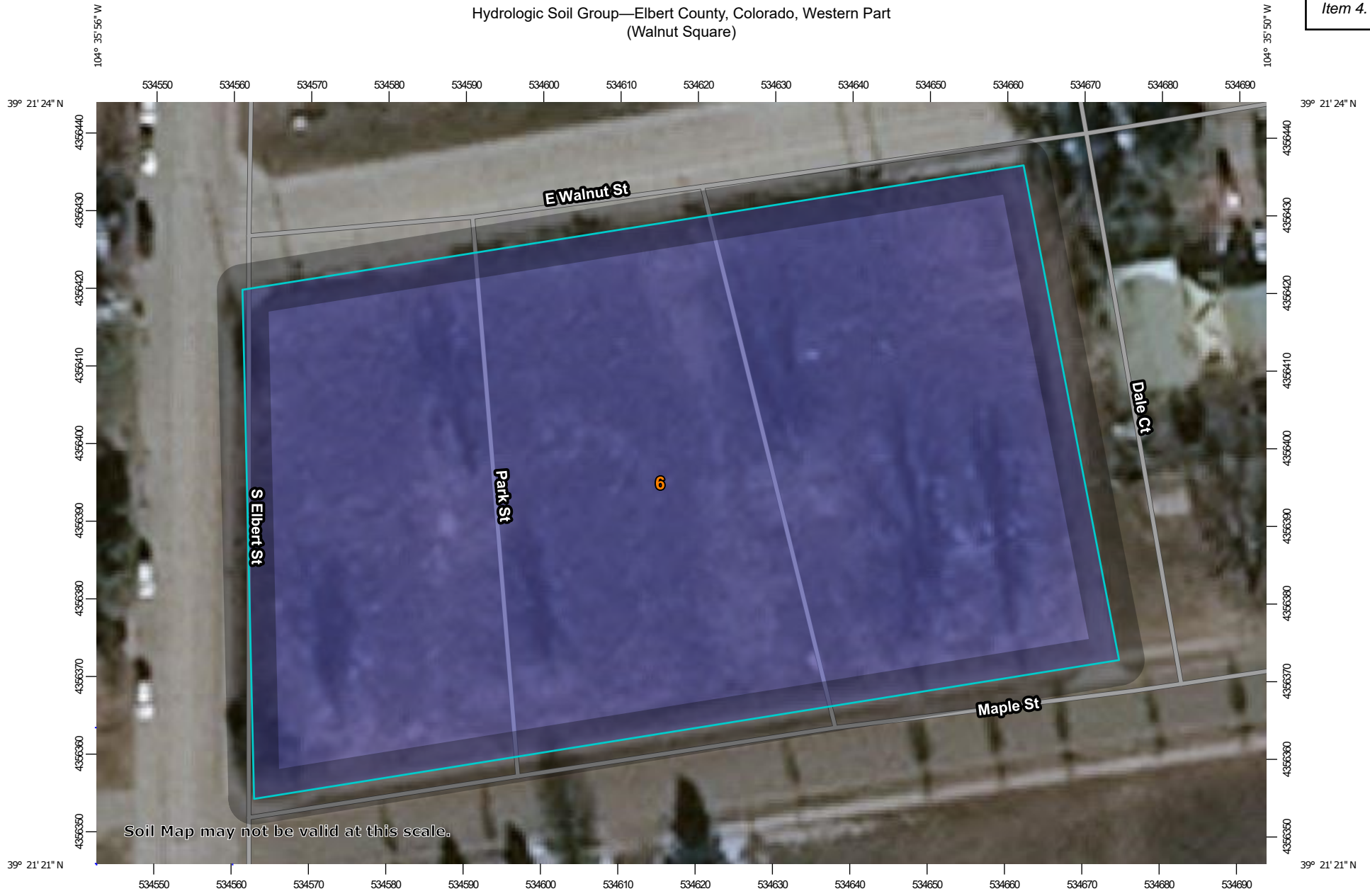
**MAP NUMBER**  
08039C0480C

**EFFECTIVE DATE:**  
MARCH 17, 2011

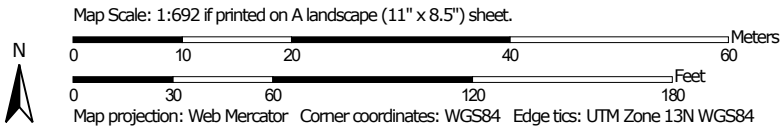
Federal Emergency Management Agency

Item 4.

































Hydrologic Soil Group—Elbert County, Colorado, Western Part  
(Walnut Square)



Soil Map may not be valid at this scale.



### MAP LEGEND

- Area of Interest (AOI)**
  -  Area of Interest (AOI)
- Soils**
  - Soil Rating Polygons**
    -  A
    -  A/D
    -  B
    -  B/D
    -  C
    -  C/D
    -  D
    -  Not rated or not available
  - Soil Rating Lines**
    -  A
    -  A/D
    -  B
    -  B/D
    -  C
    -  C/D
    -  D
    -  Not rated or not available
  - Soil Rating Points**
    -  A
    -  A/D
    -  B
    -  B/D
- Water Features**
  -  Streams and Canals
- Transportation**
  -  Rails
  -  Interstate Highways
  -  US Routes
  -  Major Roads
  -  Local Roads
- Background**
  -  Aerial Photography
- Other**
  -  C
  -  C/D
  -  D
  -  Not rated or not available

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.  
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Elbert County, Colorado, Western Part  
Survey Area Data: Version 14, Sep 10, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 24, 2018—Nov 19, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
6	Bresser sandy loam, cool, 5 to 9 percent slopes	B	1.7	100.0%
<b>Totals for Area of Interest</b>			<b>1.7</b>	<b>100.0%</b>

### Rating Options

*Aggregation Method: Dominant Condition*

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*



**NOAA Atlas 14, Volume 8, Version 2**  
**Location name: Elizabeth, Colorado, USA\***  
**Latitude: 39.3562°, Longitude: -104.5986°**  
**Elevation: 6514.26 ft\*\***  
 \* source: ESRI Maps  
 \*\* source: USGS



Item 4.

**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk,  
 Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps & aerals](#)

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
<b>5-min</b>	<b>0.231</b> (0.188-0.286)	<b>0.287</b> (0.233-0.355)	<b>0.382</b> (0.309-0.474)	<b>0.465</b> (0.374-0.580)	<b>0.586</b> (0.458-0.758)	<b>0.685</b> (0.521-0.892)	<b>0.788</b> (0.578-1.05)	<b>0.896</b> (0.630-1.22)	<b>1.05</b> (0.707-1.45)	<b>1.17</b> (0.765-1.63)
<b>10-min</b>	<b>0.338</b> (0.275-0.419)	<b>0.420</b> (0.341-0.520)	<b>0.559</b> (0.452-0.694)	<b>0.681</b> (0.548-0.849)	<b>0.859</b> (0.670-1.11)	<b>1.00</b> (0.762-1.31)	<b>1.15</b> (0.846-1.53)	<b>1.31</b> (0.923-1.78)	<b>1.53</b> (1.03-2.12)	<b>1.71</b> (1.12-2.38)
<b>15-min</b>	<b>0.413</b> (0.335-0.511)	<b>0.512</b> (0.415-0.634)	<b>0.682</b> (0.552-0.847)	<b>0.831</b> (0.668-1.03)	<b>1.05</b> (0.817-1.35)	<b>1.22</b> (0.930-1.59)	<b>1.41</b> (1.03-1.87)	<b>1.60</b> (1.13-2.17)	<b>1.87</b> (1.26-2.59)	<b>2.08</b> (1.37-2.91)
<b>30-min</b>	<b>0.561</b> (0.456-0.695)	<b>0.696</b> (0.565-0.863)	<b>0.927</b> (0.750-1.15)	<b>1.13</b> (0.908-1.41)	<b>1.42</b> (1.11-1.84)	<b>1.66</b> (1.26-2.16)	<b>1.91</b> (1.40-2.53)	<b>2.17</b> (1.52-2.94)	<b>2.53</b> (1.71-3.50)	<b>2.82</b> (1.85-3.93)
<b>60-min</b>	<b>0.703</b> (0.571-0.871)	<b>0.864</b> (0.701-1.07)	<b>1.15</b> (0.927-1.42)	<b>1.40</b> (1.12-1.74)	<b>1.77</b> (1.38-2.29)	<b>2.07</b> (1.58-2.71)	<b>2.40</b> (1.76-3.19)	<b>2.74</b> (1.93-3.73)	<b>3.23</b> (2.18-4.48)	<b>3.62</b> (2.37-5.05)
<b>2-hr</b>	<b>0.844</b> (0.690-1.04)	<b>1.03</b> (0.843-1.27)	<b>1.37</b> (1.11-1.68)	<b>1.67</b> (1.35-2.06)	<b>2.12</b> (1.67-2.73)	<b>2.49</b> (1.91-3.24)	<b>2.89</b> (2.14-3.83)	<b>3.32</b> (2.36-4.49)	<b>3.93</b> (2.68-5.43)	<b>4.42</b> (2.92-6.13)
<b>3-hr</b>	<b>0.931</b> (0.763-1.14)	<b>1.13</b> (0.924-1.38)	<b>1.49</b> (1.21-1.82)	<b>1.81</b> (1.47-2.23)	<b>2.31</b> (1.83-2.98)	<b>2.73</b> (2.10-3.54)	<b>3.18</b> (2.37-4.20)	<b>3.67</b> (2.62-4.95)	<b>4.37</b> (2.99-6.02)	<b>4.93</b> (3.28-6.82)
<b>6-hr</b>	<b>1.11</b> (0.912-1.34)	<b>1.33</b> (1.09-1.62)	<b>1.73</b> (1.42-2.11)	<b>2.11</b> (1.72-2.58)	<b>2.68</b> (2.14-3.44)	<b>3.17</b> (2.46-4.09)	<b>3.70</b> (2.77-4.86)	<b>4.28</b> (3.07-5.73)	<b>5.10</b> (3.52-6.98)	<b>5.77</b> (3.86-7.93)
<b>12-hr</b>	<b>1.33</b> (1.10-1.60)	<b>1.59</b> (1.32-1.92)	<b>2.06</b> (1.70-2.49)	<b>2.48</b> (2.04-3.01)	<b>3.12</b> (2.51-3.96)	<b>3.67</b> (2.86-4.68)	<b>4.25</b> (3.20-5.53)	<b>4.88</b> (3.53-6.49)	<b>5.78</b> (4.02-7.85)	<b>6.51</b> (4.39-8.88)
<b>24-hr</b>	<b>1.59</b> (1.33-1.91)	<b>1.89</b> (1.58-2.27)	<b>2.42</b> (2.01-2.90)	<b>2.89</b> (2.39-3.48)	<b>3.59</b> (2.89-4.50)	<b>4.17</b> (3.27-5.27)	<b>4.79</b> (3.63-6.17)	<b>5.45</b> (3.96-7.18)	<b>6.38</b> (4.46-8.59)	<b>7.12</b> (4.84-9.66)
<b>2-day</b>	<b>1.88</b> (1.57-2.23)	<b>2.22</b> (1.86-2.63)	<b>2.80</b> (2.34-3.34)	<b>3.32</b> (2.75-3.97)	<b>4.07</b> (3.29-5.04)	<b>4.68</b> (3.69-5.86)	<b>5.32</b> (4.06-6.79)	<b>6.00</b> (4.39-7.84)	<b>6.95</b> (4.89-9.28)	<b>7.70</b> (5.27-10.4)
<b>3-day</b>	<b>2.04</b> (1.72-2.41)	<b>2.42</b> (2.03-2.86)	<b>3.05</b> (2.56-3.62)	<b>3.61</b> (3.01-4.30)	<b>4.41</b> (3.57-5.43)	<b>5.06</b> (3.99-6.29)	<b>5.73</b> (4.38-7.27)	<b>6.43</b> (4.72-8.35)	<b>7.41</b> (5.23-9.84)	<b>8.18</b> (5.62-11.0)
<b>4-day</b>	<b>2.17</b> (1.83-2.56)	<b>2.57</b> (2.17-3.03)	<b>3.25</b> (2.73-3.84)	<b>3.83</b> (3.20-4.54)	<b>4.67</b> (3.78-5.72)	<b>5.34</b> (4.23-6.61)	<b>6.04</b> (4.62-7.63)	<b>6.77</b> (4.98-8.75)	<b>7.77</b> (5.51-10.3)	<b>8.56</b> (5.90-11.5)
<b>7-day</b>	<b>2.53</b> (2.14-2.96)	<b>2.95</b> (2.50-3.46)	<b>3.67</b> (3.10-4.31)	<b>4.29</b> (3.60-5.06)	<b>5.19</b> (4.23-6.33)	<b>5.92</b> (4.71-7.28)	<b>6.66</b> (5.14-8.38)	<b>7.45</b> (5.52-9.59)	<b>8.54</b> (6.09-11.2)	<b>9.39</b> (6.52-12.5)
<b>10-day</b>	<b>2.84</b> (2.41-3.31)	<b>3.28</b> (2.79-3.83)	<b>4.04</b> (3.41-4.72)	<b>4.69</b> (3.95-5.51)	<b>5.63</b> (4.61-6.83)	<b>6.39</b> (5.11-7.84)	<b>7.18</b> (5.55-8.99)	<b>8.01</b> (5.95-10.3)	<b>9.15</b> (6.55-12.0)	<b>10.0</b> (7.00-13.3)
<b>20-day</b>	<b>3.73</b> (3.19-4.32)	<b>4.26</b> (3.64-4.94)	<b>5.15</b> (4.39-5.98)	<b>5.92</b> (5.01-6.89)	<b>7.00</b> (5.75-8.40)	<b>7.86</b> (6.31-9.54)	<b>8.74</b> (6.80-10.8)	<b>9.65</b> (7.22-12.3)	<b>10.9</b> (7.86-14.2)	<b>11.9</b> (8.34-15.6)
<b>30-day</b>	<b>4.50</b> (3.86-5.18)	<b>5.13</b> (4.40-5.92)	<b>6.18</b> (5.28-7.14)	<b>7.05</b> (5.99-8.18)	<b>8.27</b> (6.80-9.85)	<b>9.21</b> (7.42-11.1)	<b>10.2</b> (7.93-12.5)	<b>11.1</b> (8.35-14.1)	<b>12.4</b> (8.99-16.1)	<b>13.4</b> (9.48-17.6)
<b>45-day</b>	<b>5.50</b> (4.73-6.31)	<b>6.29</b> (5.41-7.22)	<b>7.56</b> (6.48-8.70)	<b>8.60</b> (7.33-9.93)	<b>10.0</b> (8.24-11.8)	<b>11.1</b> (8.93-13.2)	<b>12.1</b> (9.46-14.8)	<b>13.1</b> (9.88-16.5)	<b>14.5</b> (10.5-18.6)	<b>15.5</b> (11.0-20.2)
<b>60-day</b>	<b>6.37</b> (5.50-7.29)	<b>7.31</b> (6.30-8.37)	<b>8.80</b> (7.57-10.1)	<b>9.99</b> (8.54-11.5)	<b>11.6</b> (9.54-13.6)	<b>12.7</b> (10.3-15.1)	<b>13.8</b> (10.8-16.8)	<b>14.9</b> (11.2-18.6)	<b>16.3</b> (11.8-20.8)	<b>17.2</b> (12.3-22.5)

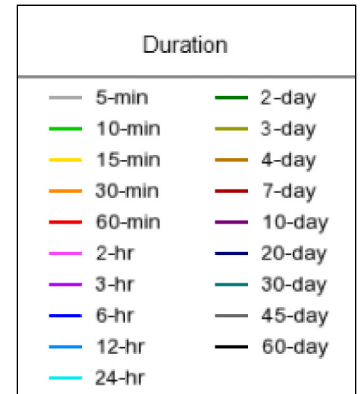
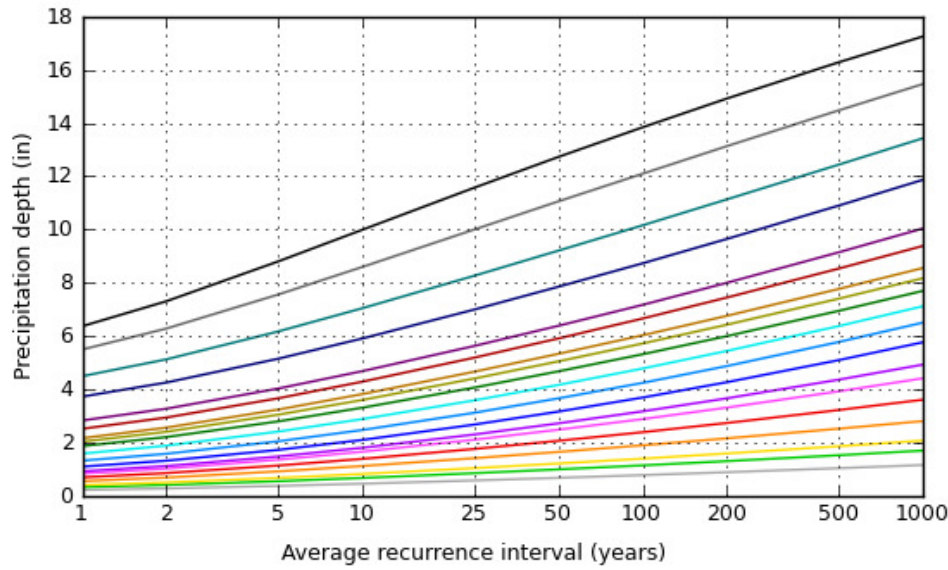
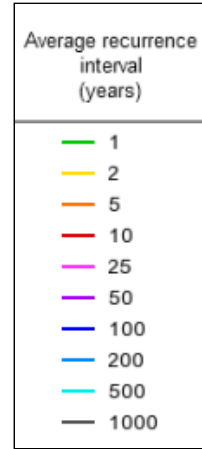
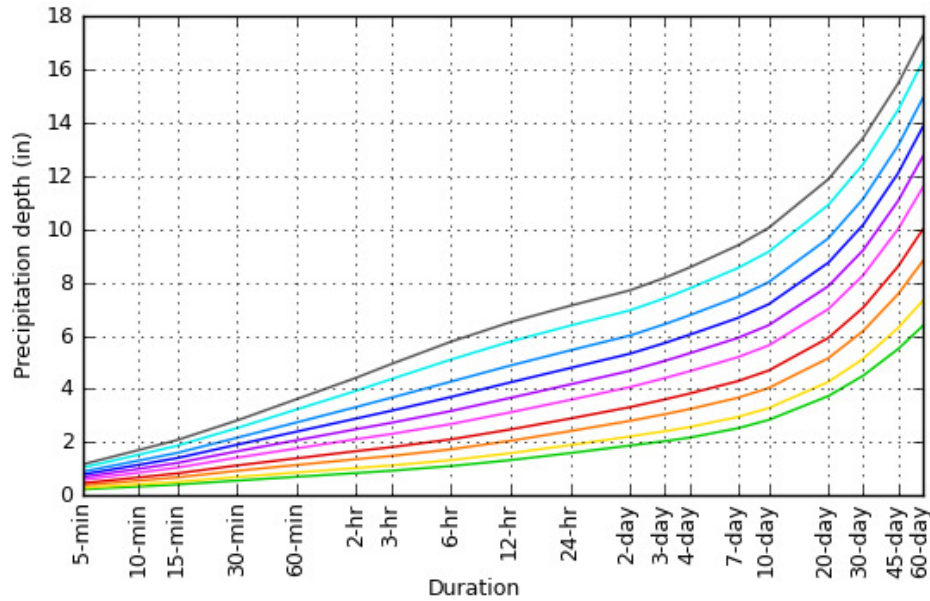
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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# PF graphical

Item 4.

PDS-based depth-duration-frequency (DDF) curves  
Latitude: 39.3562°, Longitude: -104.5986°

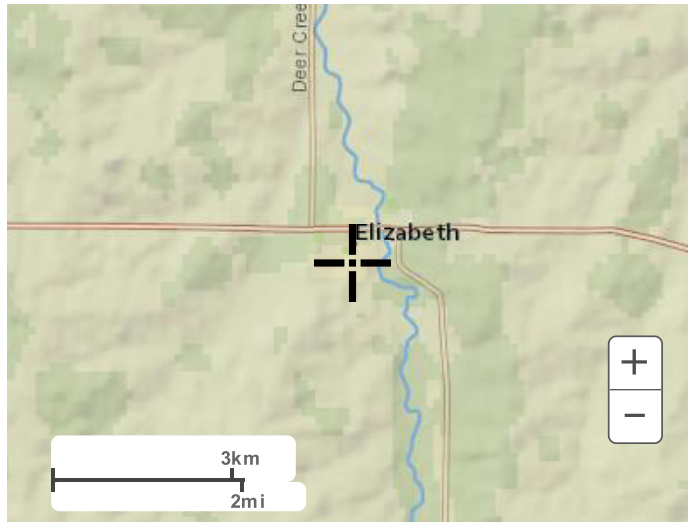


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## Maps & aerials

Small scale terrain

Item 4.



Large scale terrain

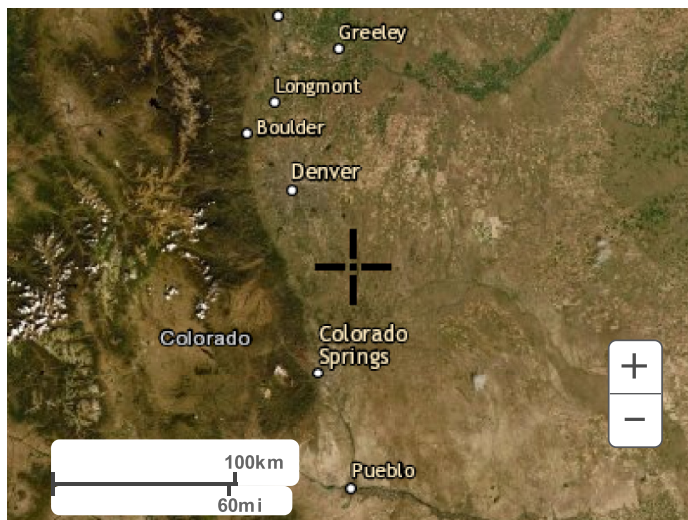


Large scale map



Large scale aerial

Item 4.



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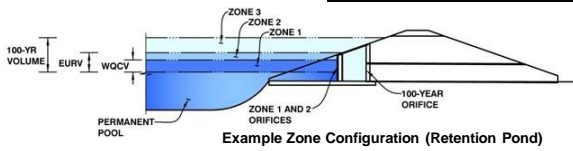
[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
[National Water Center](#)  
1325 East West Highway  
Silver Spring, MD 20910  
Questions?: [HDSC.Questions@noaa.gov](mailto:HDSC.Questions@noaa.gov)  
[Disclaimer](#)



## DETENTION BASIN OUTLET STRUCTURE DESIGN

*MHFD- Detention, Version 4.04 (February 2021)*

Project: \_\_\_\_\_  
Basin ID: \_\_\_\_\_



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	1.84	0.043	Orifice Plate
Zone 2 (EURV)	3.44	0.096	Orifice Plate
Zone 3 (100-year)	4.30	0.062	Weir (No Pipe)
<b>Total (all zones)</b>		<b>0.202</b>	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth =  ft (distance below the filtration media surface)  
Underdrain Orifice Diameter =  inches

Calculated Parameters for Underdrain  
Underdrain Orifice Area =  ft<sup>2</sup>  
Underdrain Orifice Centroid =  feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Invert of Lowest Orifice =  ft (relative to basin bottom at Stage = 0 ft)  
Depth at top of Zone using Orifice Plate =  ft (relative to basin bottom at Stage = 0 ft)  
Orifice Plate: Orifice Vertical Spacing =  inches  
Orifice Plate: Orifice Area per Row =  inches

Calculated Parameters for Plate  
WQ Orifice Area per Row =  ft<sup>2</sup>  
Elliptical Half-Width =  feet  
Elliptical Slot Centroid =  feet  
Elliptical Slot Area =  ft<sup>2</sup>

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	1.15	2.29					
Orifice Area (sq. inches)	0.30	0.32	0.32					

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

Invert of Vertical Orifice =   ft (relative to basin bottom at Stage = 0 ft)  
Depth at top of Zone using Vertical Orifice =   ft (relative to basin bottom at Stage = 0 ft)  
Vertical Orifice Diameter =   inches

Calculated Parameters for Vertical Orifice  
Vertical Orifice Area =   ft<sup>2</sup>  
Vertical Orifice Centroid =   feet

User Input: Overflow Weir (Dropbox with Flat or Sloped Gate and Outlet Pipe OR Rectangular/Trapezoidal Weir (and No Outlet Pipe)

Overflow Weir Front Edge Height, H<sub>o</sub> =   ft (relative to basin bottom at Stage = 0 ft)  
Overflow Weir Bottom Length =   feet  
Overflow Weir Side Slopes =   H:V  
Horiz. Length of Weir Sides =   feet  
Overflow Grate Type =    
Debris Clogging % =   %

Calculated Parameters for Overflow Weir  
Height of Grate Upper Edge, H<sub>g</sub> =   feet  
Overflow Weir Slope Length =   feet  
Grate Open Area / 100-yr Orifice Area =    
Overflow Grate Open Area w/o Debris =   ft<sup>2</sup>  
Overflow Grate Open Area w/ Debris =   ft<sup>2</sup>

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

Depth to Invert of Outlet Pipe =   ft (distance below basin bottom at Stage = 0 ft)  
Circular Orifice Diameter =   inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate  
Outlet Orifice Area =   ft<sup>2</sup>  
Outlet Orifice Centroid =   feet  
Half-Central Angle of Restrictor Plate on Pipe =   radians

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage =  ft (relative to basin bottom at Stage = 0 ft)  
Spillway Crest Length =  feet  
Spillway End Slopes =  H:V  
Freeboard above Max Water Surface =  feet  
Spillway position relative to Overflow Weir =

Calculated Parameters for Spillway  
Spillway Design Flow Depth =  feet  
Stage at Top of Freeboard =  feet  
Basin Area at Top of Freeboard =  acres  
Basin Volume at Top of Freeboard =  acre-ft

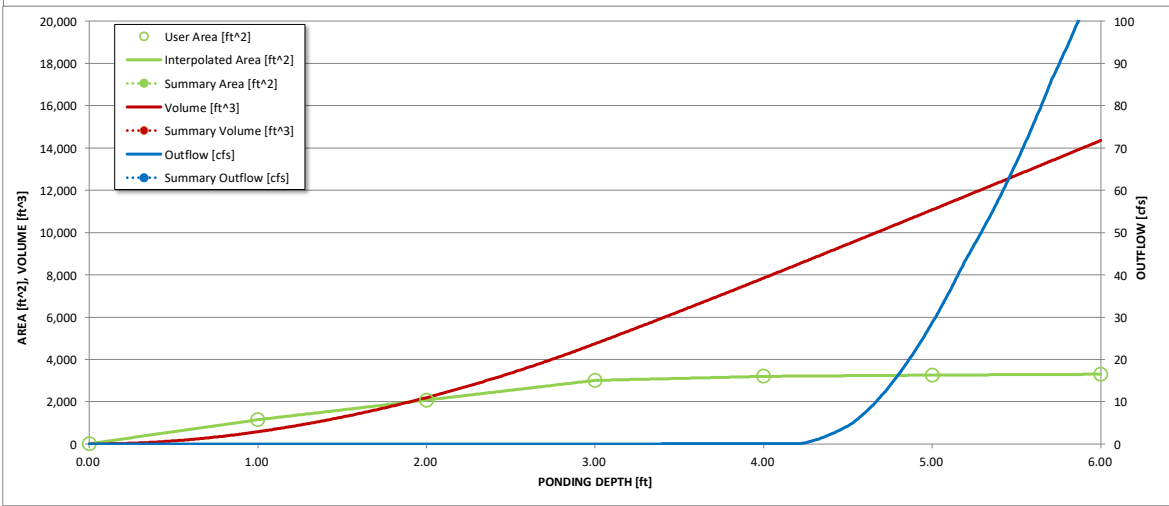
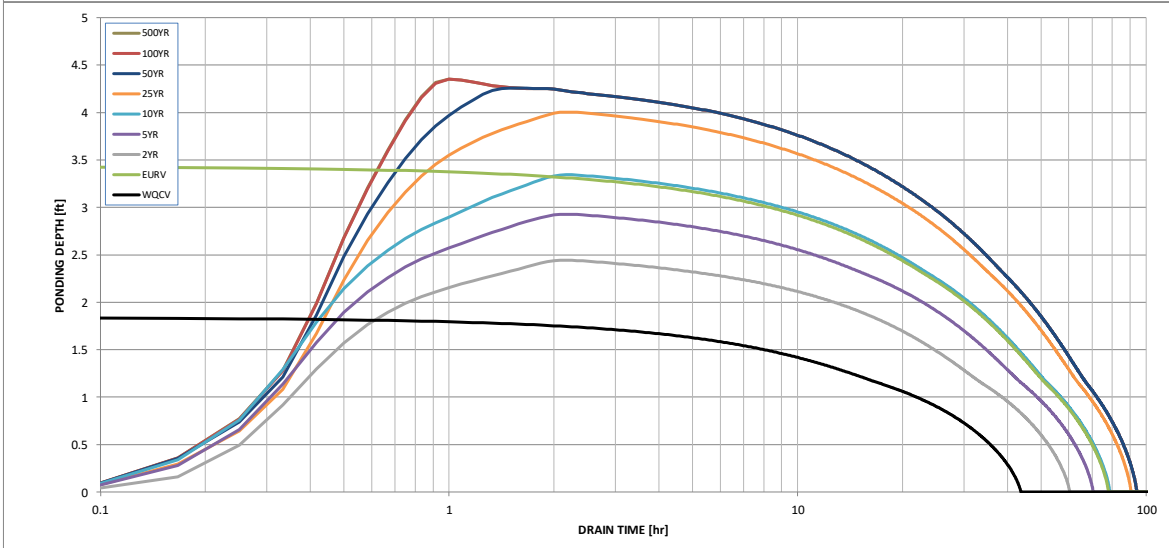
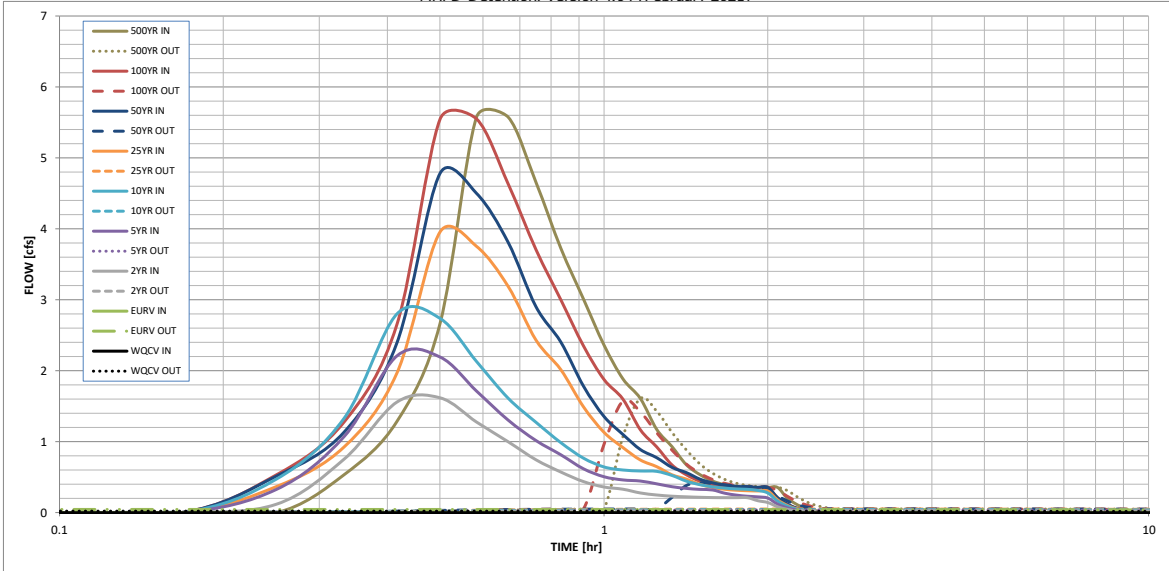
### Routed Hydrograph Results

*The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through AF).*

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	500 Year
Design Storm Return Period =									
One-Hour Rainfall Depth (in) =	N/A	N/A	0.86	1.15	1.40	1.77	2.07	2.40	2.41
CUHP Runoff Volume (acre-ft) =	0.043	0.139	0.078	0.110	0.139	0.188	0.226	0.270	0.271
Inflow Hydrograph Volume (acre-ft) =	N/A	N/A	0.078	0.110	0.139	0.188	0.226	0.270	0.271
CUHP Predevelopment Peak Q (cfs) =	N/A	N/A	0.0	0.1	0.4	1.2	1.7	2.2	2.3
OPTIONAL Override Predevelopment Peak Q (cfs) =	N/A	N/A							
Predevelopment Unit Peak Flow, q (cfs/acre) =	N/A	N/A	0.01	0.05	0.25	0.76	1.05	1.42	1.44
Peak Inflow Q (cfs) =	N/A	N/A	1.6	2.2	2.8	4.0	4.8	5.6	5.6
Peak Outflow Q (cfs) =	0.0	0.0	0.0	0.0	0.1	0.1	0.4	1.6	1.6
Ratio Peak Outflow to Predevelopment Q =	N/A	N/A	N/A	0.5	0.1	0.0	0.3	0.7	0.7
Structure Controlling Flow =	Plate	Plate	Plate	Plate	Plate	Plate	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1
Max Velocity through Gate 1 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	0.0	0.0	0.0
Max Velocity through Gate 2 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours) =	40	69	54	63	70	79	81	79	79
Time to Drain 99% of Inflow Volume (hours) =	42	74	58	67	75	85	88	87	87
Maximum Ponding Depth (ft) =	1.84	3.43	2.44	2.93	3.34	4.00	4.26	4.35	4.35
Area at Maximum Ponding Depth (acres) =	0.04	0.07	0.06	0.07	0.07	0.07	0.07	0.07	0.07
Maximum Volume Stored (acre-ft) =	0.043	0.139	0.074	0.103	0.133	0.180	0.199	0.206	0.206

## DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.04 (February 2021)



Calculation of Peak Runoff

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location:

Version 2.00 released May 2017

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

$$t_i = \frac{0.395(1.1 - C_s)\sqrt{L_i}}{S_i^{0.33}}$$

$$t_t = \frac{L_t}{60K\sqrt{S_t}} = \frac{L_t}{60V_t}$$

Computed  $t_c = t_i + t_t$

Regional  $t_c = (26 - 17i) + \frac{L_t}{60(14i + 9)\sqrt{S_t}}$

$t_{\text{minimum}} = 5$   
 $t_{\text{minimum}} = 10$   
 Selected  $t_c =$

Subcatchment Name	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C							Overland (Initial) Flow Time				Channelized			
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	Overland Flow Length $L_i$ (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)	Overland Flow Slope $S_i$ (ft/ft)	Overland Flow Time $t_i$ (min)	Channelized Flow Length $L_c$ (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)
DP1	0.19	B	65.0	0.50	0.54	0.58	0.66	0.69	0.73	0.77	50.00			0.020	5.72	150.00		
				0.51	0.53	0.56	0.64	0.67	0.71	0.76					5.79			
DP2	0.18	B	85.0	0.69	0.72	0.74	0.78	0.80	0.82	0.85	50.00			0.100	2.28	130.00		
				0.71	0.73	0.74	0.78	0.80	0.82	0.85					2.21			
DP3	1.36	B	85.0	0.69	0.72	0.74	0.78	0.80	0.82	0.85	50.00			0.040	3.09	320.00		
				0.71	0.74	0.75	0.79	0.81	0.83	0.85					2.91			
DP4	0.08	B	90.0	0.74	0.76	0.78	0.81	0.83	0.84	0.87	50.00			0.030	2.98	100.00		
				0.74	0.76	0.77	0.81	0.82	0.84	0.86					3.02			
DP5	1.57	B	80.0	0.64	0.67	0.70	0.75	0.77	0.80	0.83	50.00			0.020	4.34	120.00		
				0.67	0.69	0.71	0.75	0.78	0.80	0.83					4.16			

**f using Rational Method**

(urban)  
(non-urban)

Select UDFCD location for NOAA Atlas 14 Rainfall Depths from the pulldown list OR enter your own depths obtained from the NOAA website (click this link)

1-hour rainfall depth, P1 (in) =

2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
0.86	1.15	1.40	1.77	2.07	2.40	3.23

max{t<sub>minimum</sub>, min(Computed t<sub>c</sub>, Regional t<sub>c</sub>)}

Rainfall Intensity Equation Coefficients =

a	b	c
28.50	10.00	0.786

$$I(in/hr) = \frac{a * P_1}{(b + t_c)^c}$$

Q(cfs) = CIA

Channelized (Travel) Flow Time				Time of Concentration			Rainfall Intensity, I (in/hr)							Peak Flow, Q (cfs)							
Channelized Flow Slope S <sub>i</sub> (ft/ft)	NRCS Conveyance Factor K	Channelized Flow Velocity V <sub>i</sub> (ft/sec)	Channelized Flow Time t <sub>t</sub> (min)	Computed t <sub>c</sub> (min)	Regional t <sub>c</sub> (min)	Selected t <sub>c</sub> (min)	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	
0.060	15	3.67	0.68	6.41	15.51	6.41	2.73	3.64	4.43	5.60	6.54	7.59	10.21	0.26	0.37	0.49	0.70	0.86	1.05	1.50	
				6.47																	
0.080	15	4.24	0.51	2.79	11.92	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	0.36	0.50	0.64	0.85	1.01	1.20	1.67	
				2.72																	
0.050	20	4.47	1.19	4.28	12.69	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	2.75	3.81	4.80	6.39	7.66	9.09	12.62	
				4.10																	
0.030	20	3.46	0.48	3.46	11.15	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	0.17	0.24	0.30	0.39	0.47	0.55	0.76	
				3.50																	
0.020	20	2.83	0.71	5.05	13.10	5.05	2.92	3.89	4.74	5.99	7.00	8.12	10.93	2.95	4.11	5.22	7.06	8.51	10.17	14.22	
				4.87																	

# DRAINAGE BASINS

ONSITE RUNOFF TO POND	A1	5,859sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A2	7,244sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A3	30,270sf. 0.69ac.	.60ac.@100% impervious .09ac.@ 10% impervious
	A4	7,770sf. 0.18ac.	.15ac.@100% impervious .03ac.@ 10% impervious
	A5	8,253sf. 0.19ac.	.18ac.@100% impervious .01ac.@ 10% impervious
	A6	2,070sf. 0.05ac.	.05ac.@100% impervious
	A7	4,754sf. 0.11ac.	.01ac.@100% impervious .10ac.@ 10% impervious

OFFSITE TO POND	OS1	752sf. 0.02ac.	.01ac.@100% impervious .01ac.@ 10% impervious
	OS2	445sf. 0.01ac.	.01ac.@100% impervious
	OS3	287sf. 0.01ac.	.01ac.@ 10% impervious
	OS4	1,246sf. 0.03ac.	.02ac.@100% impervious .01ac.@ 10% impervious

BYPASS POND	B1	1,015sf. 0.02ac.	.02ac.@100% impervious
	B2	71sf. 0.01ac.	.01ac.@ 10% impervious
	C1	463sf. 0.01ac.	.005ac.@100% impervious .005ac.@10% impervious

## DESIGN POINTS

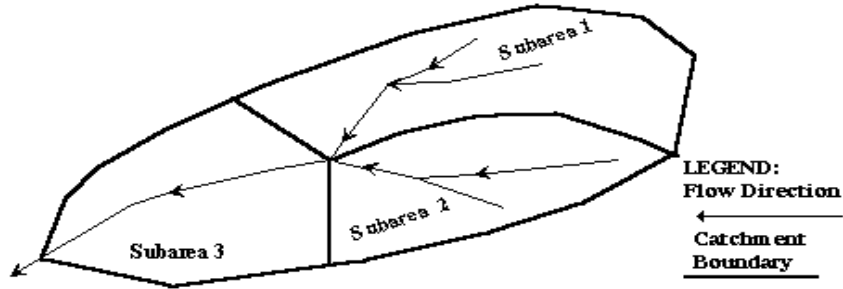
				5yr	10yr	100yr
△	SIDEWALK CHASE BASIN A2 + OS1 = 7,997sf.	0.18ac.	△	0.37	0.47	1.02
△	CONCRETE PAN BASIN A4 = 7,770sf.	0.18ac.	△	0.51	0.63	1.20
△	TYPE R INLET BASIN A1+A2+A3+A4+A5+OS1+OS2+OS3= 59,396sf.	1.36ac.	△	3.93	4.84	9.19
△	SWALE INTO POND BASIN A6+OS4 = 2,709sf.	0.06ac.	△	0.24	0.29	0.55
△	OUTLET STRUCTURE BASINS A1 through A7+OS1 through OS4=68,343sf.	1.57ac.	△	4.21	5.28	10.20

7.5" DEPTH  
@100YR

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

**Designer:** pg  
**Company:** canyon creek  
**Date:** 10/18/2021  
**Project:** elizabeth 44  
**Location:** \_\_\_\_\_



<b>Subcatchment Name</b>
DP 1

Cells of this color are for required user-input
Cells of this color are for optional override values
Cells of this color are for calculated results based on overrides

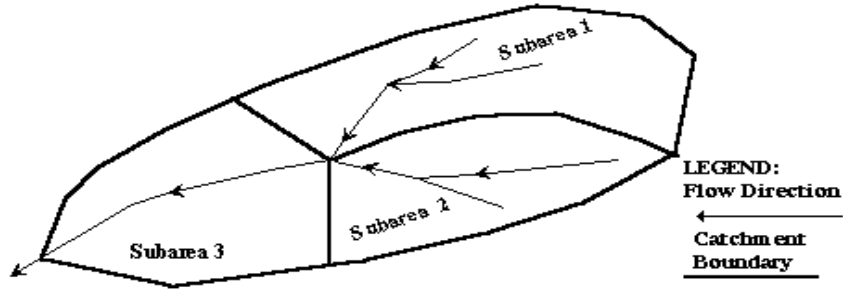
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
OS1	0.02	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A2	0.11	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
A2	0.06	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.19</b>	<b>Area-Weighted C</b>		<b>0.51</b>	<b>0.53</b>	<b>0.56</b>	<b>0.64</b>	<b>0.67</b>	<b>0.71</b>	<b>0.76</b>
<b>Area-Weighted Override C</b>				<b>0.51</b>	<b>0.53</b>	<b>0.56</b>	<b>0.64</b>	<b>0.67</b>	<b>0.71</b>	<b>0.76</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP2

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

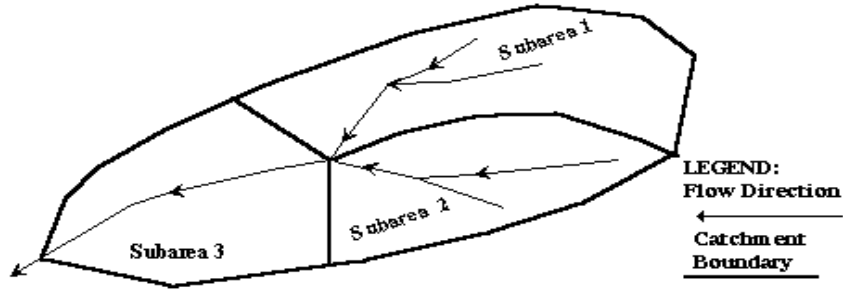
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A4	0.15	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.18</b>			<b>0.71</b>	<b>0.73</b>	<b>0.74</b>	<b>0.78</b>	<b>0.80</b>	<b>0.82</b>	<b>0.85</b>
			<b>Area-Weighted C</b>	<b>0.71</b>	<b>0.73</b>	<b>0.74</b>	<b>0.78</b>	<b>0.80</b>	<b>0.82</b>	<b>0.85</b>
			<b>Area-Weighted Override C</b>	<b>0.71</b>	<b>0.73</b>	<b>0.74</b>	<b>0.78</b>	<b>0.80</b>	<b>0.82</b>	<b>0.85</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

**Designer:** pg  
**Company:** canyon creek  
**Date:** 10/18/2021  
**Project:** elizabeth 44  
**Location:** \_\_\_\_\_



Subcatchment Name
DP3

Cells of this color are for required user-input
Cells of this color are for optional override values
Cells of this color are for calculated results based on overrides

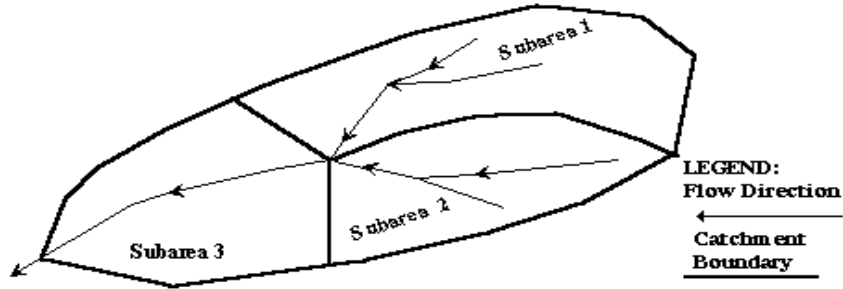
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A1	0.10	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A2	0.10	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A3	0.60	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.09	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A4+A5	0.33	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.04	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
OS1-3	0.02	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.02	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>1.36</b>	<b>Area-Weighted C</b>		<b>0.71</b>	<b>0.74</b>	<b>0.75</b>	<b>0.79</b>	<b>0.81</b>	<b>0.83</b>	<b>0.85</b>
		<b>Area-Weighted Override C</b>		<b>0.71</b>	<b>0.74</b>	<b>0.75</b>	<b>0.79</b>	<b>0.81</b>	<b>0.83</b>	<b>0.85</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP4

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

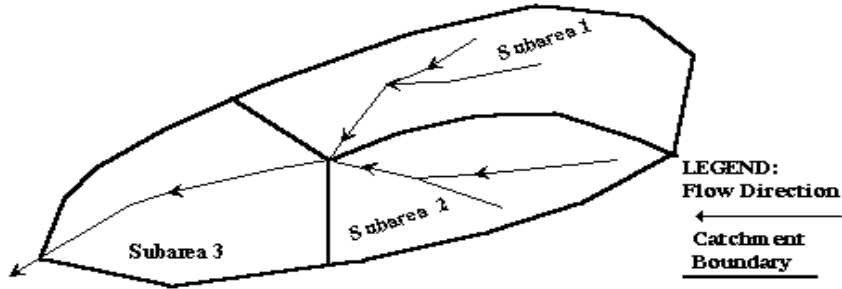
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A6	0.05	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
OS4	0.02	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.01	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.08</b>			<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>
			<b>Area-Weighted C</b>	<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>
			<b>Area-Weighted Override C</b>	<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP5

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A BASINS	1.19	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.31	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
OS BASINS	0.04	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>1.57</b>			<b>0.67</b>	<b>0.69</b>	<b>0.71</b>	<b>0.75</b>	<b>0.78</b>	<b>0.80</b>	<b>0.83</b>
			<b>Area-Weighted C</b>	<b>0.67</b>	<b>0.69</b>	<b>0.71</b>	<b>0.75</b>	<b>0.78</b>	<b>0.80</b>	<b>0.83</b>
			<b>Area-Weighted Override C</b>	<b>0.67</b>	<b>0.69</b>	<b>0.71</b>	<b>0.75</b>	<b>0.78</b>	<b>0.80</b>	<b>0.83</b>

Elizabeth 44  
 SIDEWALK CHASE AND CONCRETE SWALE

Sidewalk Chase DP #1			
A	0.33	FT2	
P	1.6	FT	
R	0.20625		
S	0.02	FT/FT	
N	0.015	Conc.	
Q	1.954967	CFS	
V	5.924143	FPS	
g	32.2	ft/s <sup>2</sup>	
Top width	1	ft	
D	0.33	ft	
Fr	1.817359	**Protect Outlet	

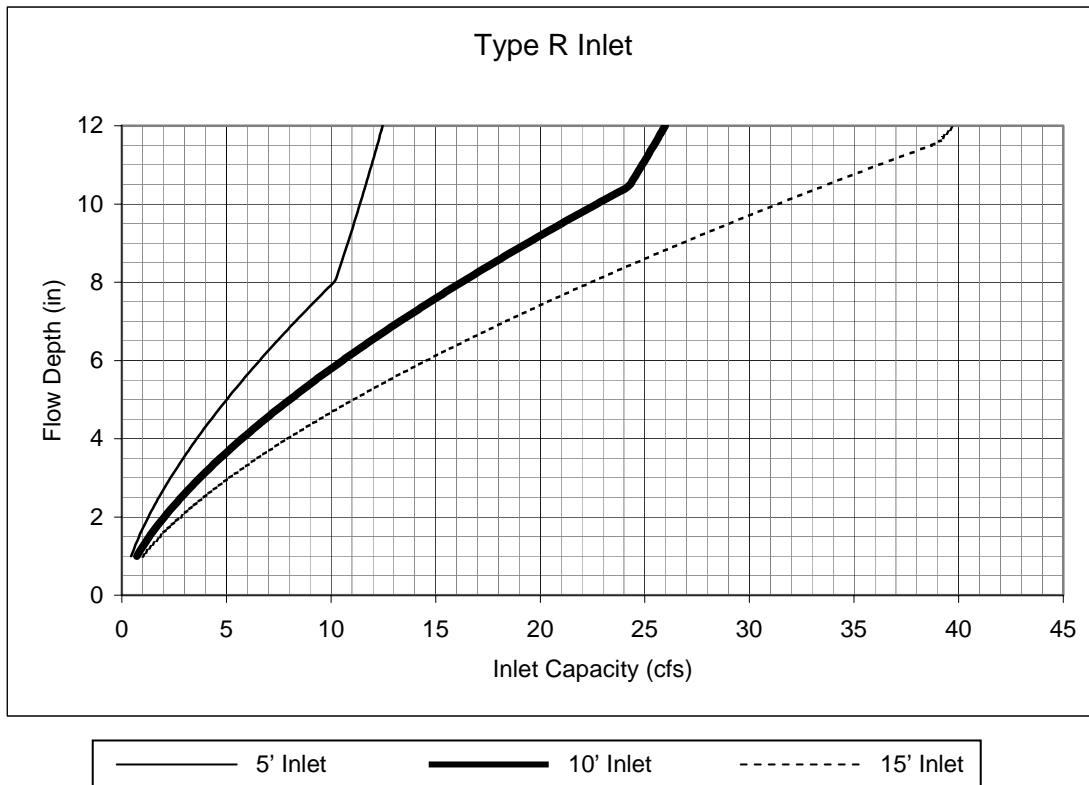
100YR = 1.5CFS

Townhome Drive Aisle DP #2 (3% Long. Slope)			
A	0.47	FT2	
P	5	FT	
R	0.094		
S	0.03	FT/FT	
N	0.015	CONC	
Q	2.019567	CFS	
V	4.296951	FPS	
g	32.2	ft/s <sup>2</sup>	
Top width	21.22	ft	
D	0.26	ft	
Fr	1.485066		

100YR=1.67CFS

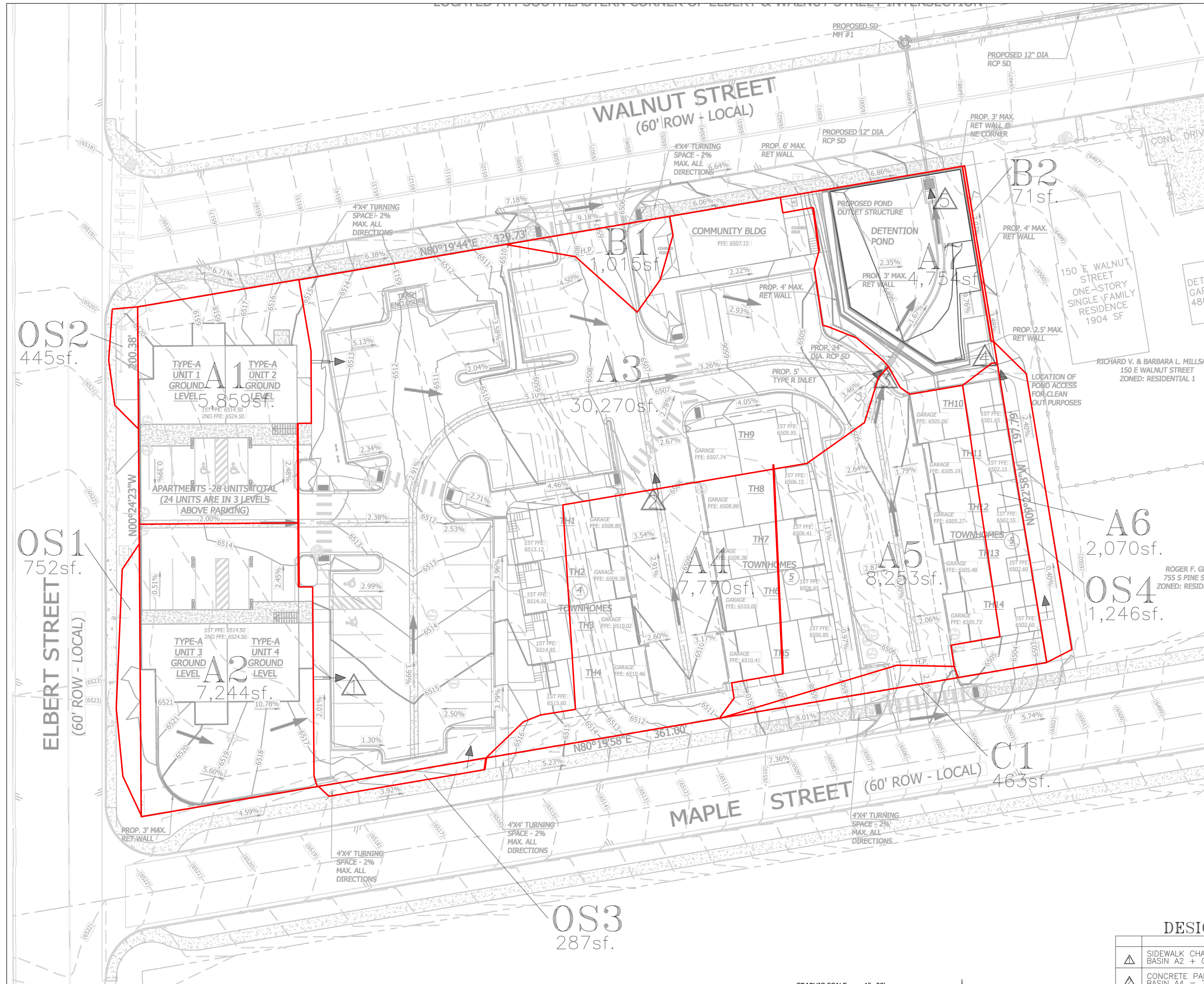
## Chapter 8. Inlets

**FIGURE 8-13, INLET CAPACITY CHART SUMP CONDITIONS**  
CURB OPENING (TYPE R) INLET



Notes:

1. The Douglas County standard inlet parameters must apply to use this chart.



**DRAINAGE BASINS**

Basin	Area (sf)	Area (ac)	Impervious %
A1	5,859sf. 0.13ac.	.10ac.	100% impervious
A2	7,244sf. 0.13ac.	.03ac.	10% impervious
A3	30,270sf. 0.69ac.	.60ac.	100% impervious
A4	7,770sf. 0.18ac.	.15ac.	100% impervious
A5	8,253sf. 0.19ac.	.18ac.	100% impervious
A6	2,070sf. 0.05ac.	.01ac.	100% impervious
A7	4,754sf. 0.11ac.	.10ac.	10% impervious

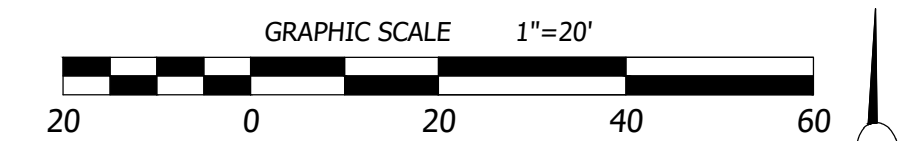
Basin	Area (sf)	Area (ac)	Impervious %
OS1	752sf. 0.02ac.	.01ac.	100% impervious
OS2	445sf. 0.01ac.	.01ac.	100% impervious
OS3	287sf. 0.01ac.	.01ac.	10% impervious
OS4	1,246sf. 0.03ac.	.02ac.	100% impervious

Basin	Area (sf)	Area (ac)	Impervious %
B1	1,015sf. 0.02ac.	.02ac.	100% impervious
B2	71sf. 0.01ac.	.01ac.	10% impervious
C1	463sf. 0.01ac.	.005ac.	100% impervious

**DESIGN POINTS**

Point	Description	Area (sf)	Area (ac)	5yr	10yr	100yr
△	SIDEWALK CHASE BASIN A2 + OS1 = 7,997sf.		0.18ac.	0.37	0.47	1.02
△	CONCRETE PAN BASIN A4 = 7,770sf.		0.18ac.	0.51	0.63	1.20
△	TYPE R INLET BASIN A1+A2+A3+A4+A5+OS1+OS2+OS3= 59,396sf.		1.36ac.	3.93	4.84	9.19
△	SWALE INTO POND BASIN A6+OS4 = 2,709sf.		0.06ac.	0.24	0.29	0.55
△	OUTLET STRUCTURE BASINS A1 through A7+OS1 through OS4=68,343sf.		1.57ac.	4.21	5.28	10.20

7.5" DEPTH @100YR

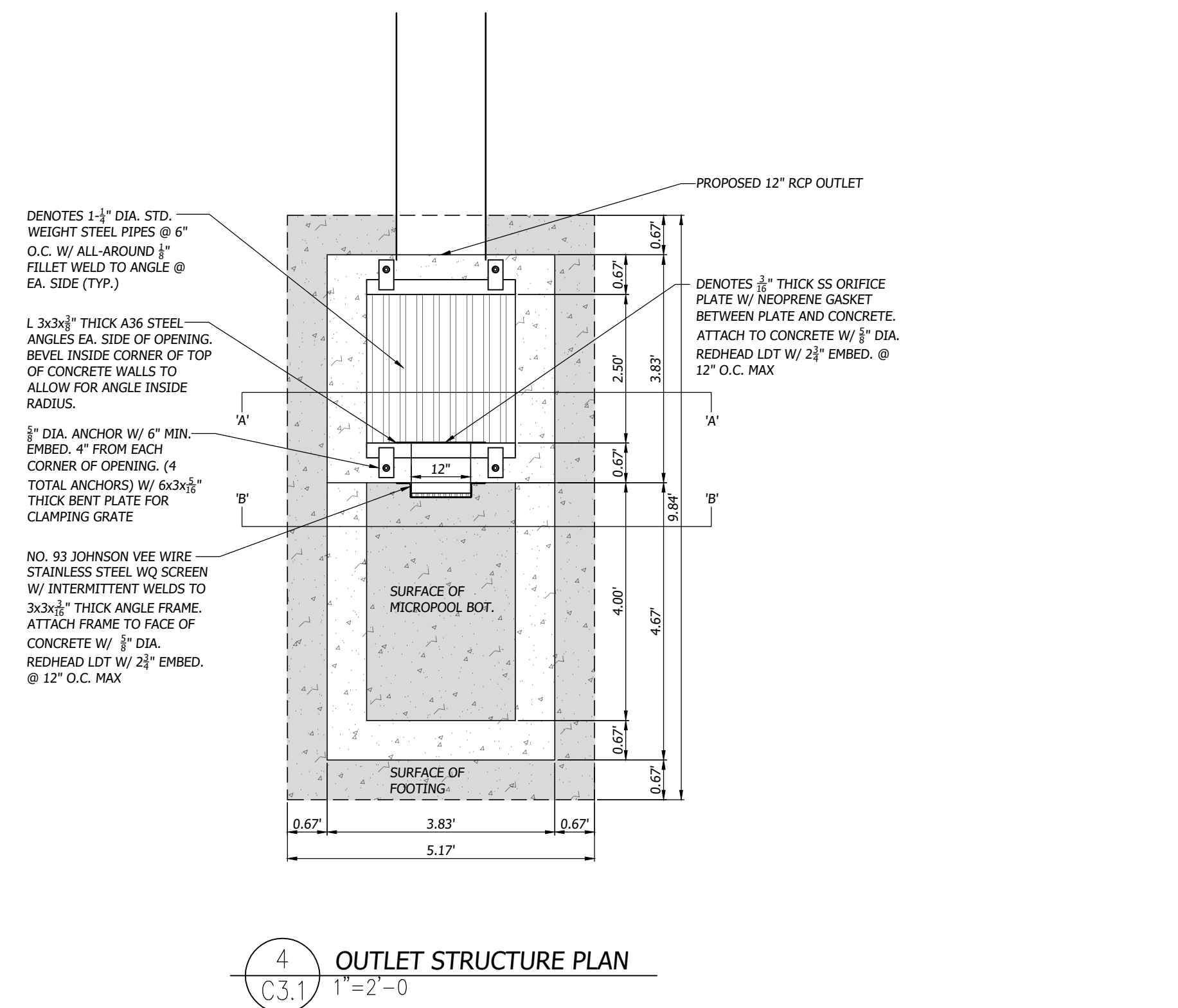
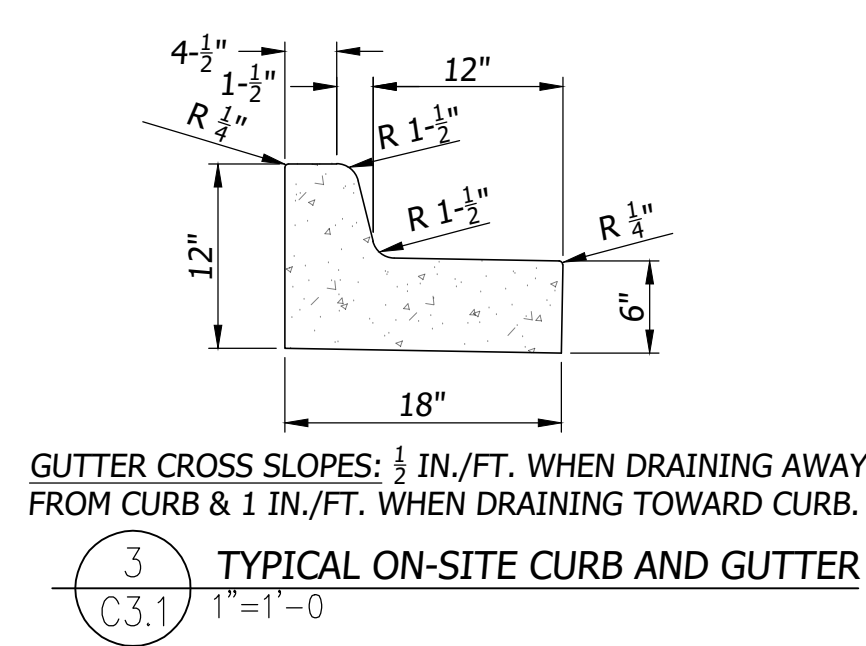
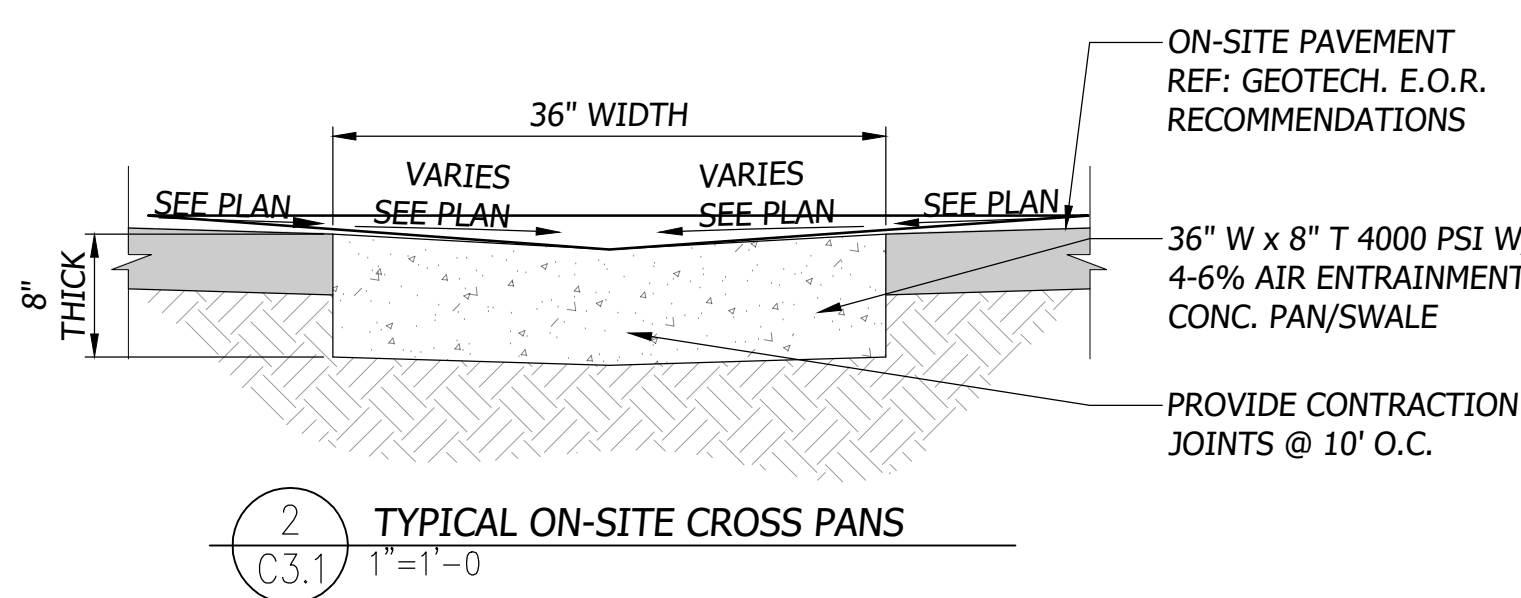
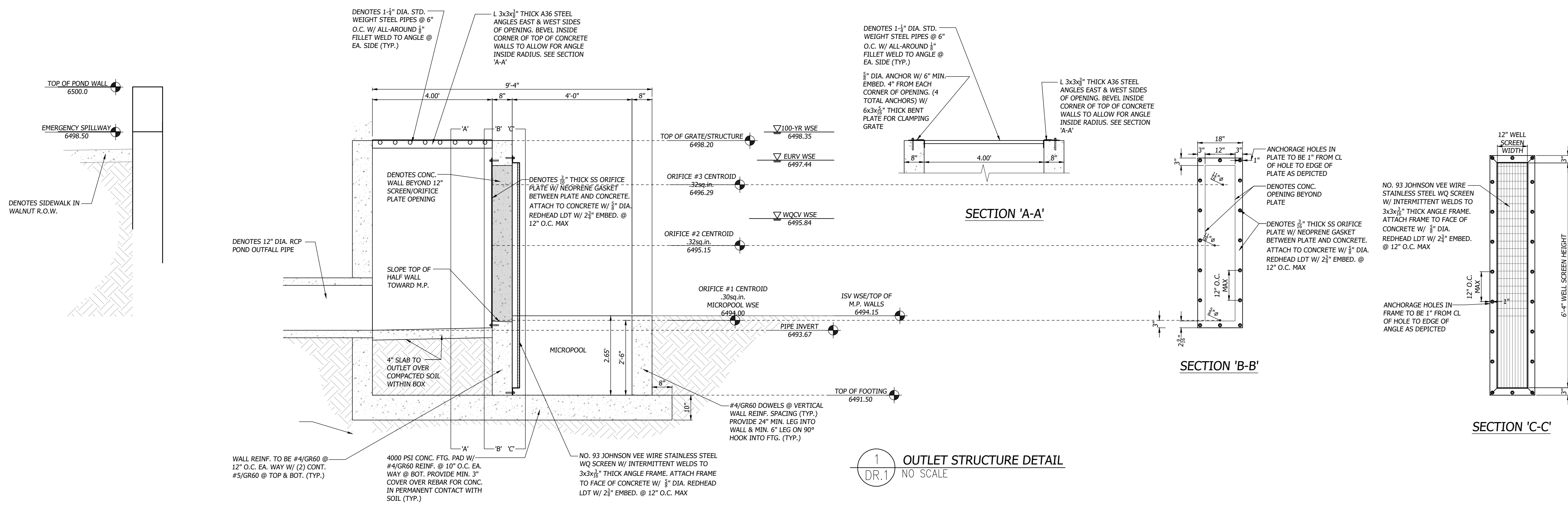


CIVIL PLANNING STRUCTURAL  
**CANYON CREEK ENGINEERING**  
 cce@canyoncreekeengineering.com  
 PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:  
**ELIZABETH 44, LLC**

ON-SITE DRAINAGE SUBBASIN MAP  
 ELIZABETH 44 - FINAL DRAINAGE REPORT  
 ELBERT & WALNUT STREET INTERSECTION  
 ELIZABETH, COLORADO

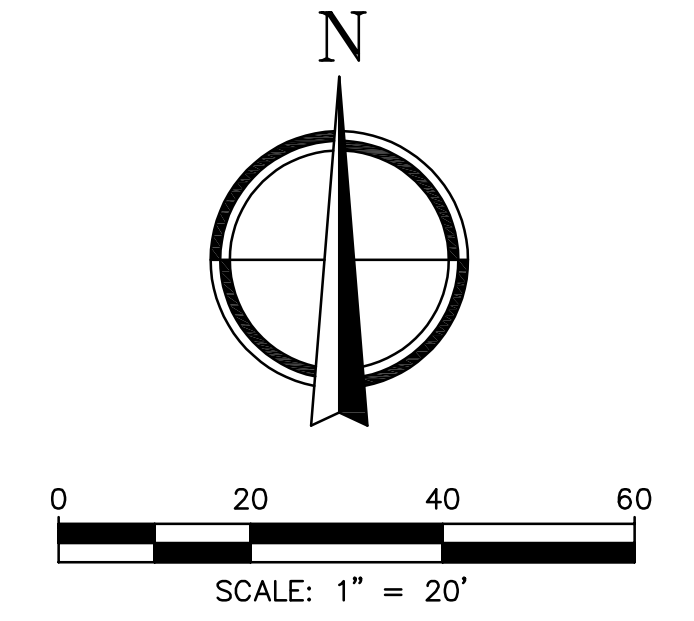
DATE: 10-19-20  
**DR.0**  
 1 OF 2



# WALNUT GROVE MINOR SUBDIVISION

## A VACATION AND REPLAT OF LOTS 1-28 AND TRACTS A & B, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT

PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M., TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO



CYNTHIA L. & SCOTT NEES  
PO BOX 662  
ELIZABETH, CO 80107  
(NOT A PART)

THOMAS D. THORNTON  
719 S. ELBERT ST.  
ELIZABETH, CO 80107  
(NOT A PART)

BRADEN H. & DAWN M. DAVIS  
PO BOX 1600  
ELIZABETH, CO 80107  
(NOT A PART)

STEVEN E. & DIANA TAPP  
PO BOX 942  
ELIZABETH, CO 80107  
(NOT A PART)

DOROTHY C. STONE  
PO BOX 1273  
ELIZABETH, CO 80107  
(NOT A PART)

ELIZABETH C-1 SCHOOL DISTRICT  
PO BOX 610  
ELIZABETH, CO 80107  
(NOT A PART)

RICHARD V. & BARBARA L. MILLSAPPS  
150 E. WALNUT ST.  
ELIZABETH, CO 80107  
(NOT A PART)

ROGER F. GRIMES  
755 S. PINE ST.  
ELIZABETH, CO 80107  
(NOT A PART)

HARVEST BIBLE CHURCH OF ELIZABETH  
826 S. ELBERT ST.  
PO BOX 1598  
ELIZABETH, CO 80107  
(NOT A PART)

N1/4 COR. SEC 18, T8S, R64W, 6TH P.M.  
FOUND 3/4" ALUM. CAP STAMPED  
"COLO. DEPT. OF TRANSPORTATION  
PLS. 31548, 2001"

C1/4 COR. SEC 18, T8S, R64W, 6TH P.M.  
FOUND 2-1/2" ALUM. CAP STAMPED  
"ARCHER & ASSOC.  
LS. 6935, 1998"

DATE:	REVISIONS:
02/01/2022	1ST COMMENTS
06/09/22	ADD EASE AND LOTS

**FRANE SURVEYING INC.**

303-241-0017  
P.O. BOX 2372  
ELIZABETH, CO 80107

DATE: 09/03/2019  
DRAWN BY: D. COTTER

WALNUT GROVE MINOR SUBDIVISION PART OF SEC. 18, T8S, R64W, 6TH P.M. ELBERT COUNTY, STATE OF COLORADO	
CLIENT:	ELIZABETH 44, LLC
SHEET 2 OF 2	JOB NUMBER: 19-170



*S. ELBERT STREET (60' R.O.W.)*

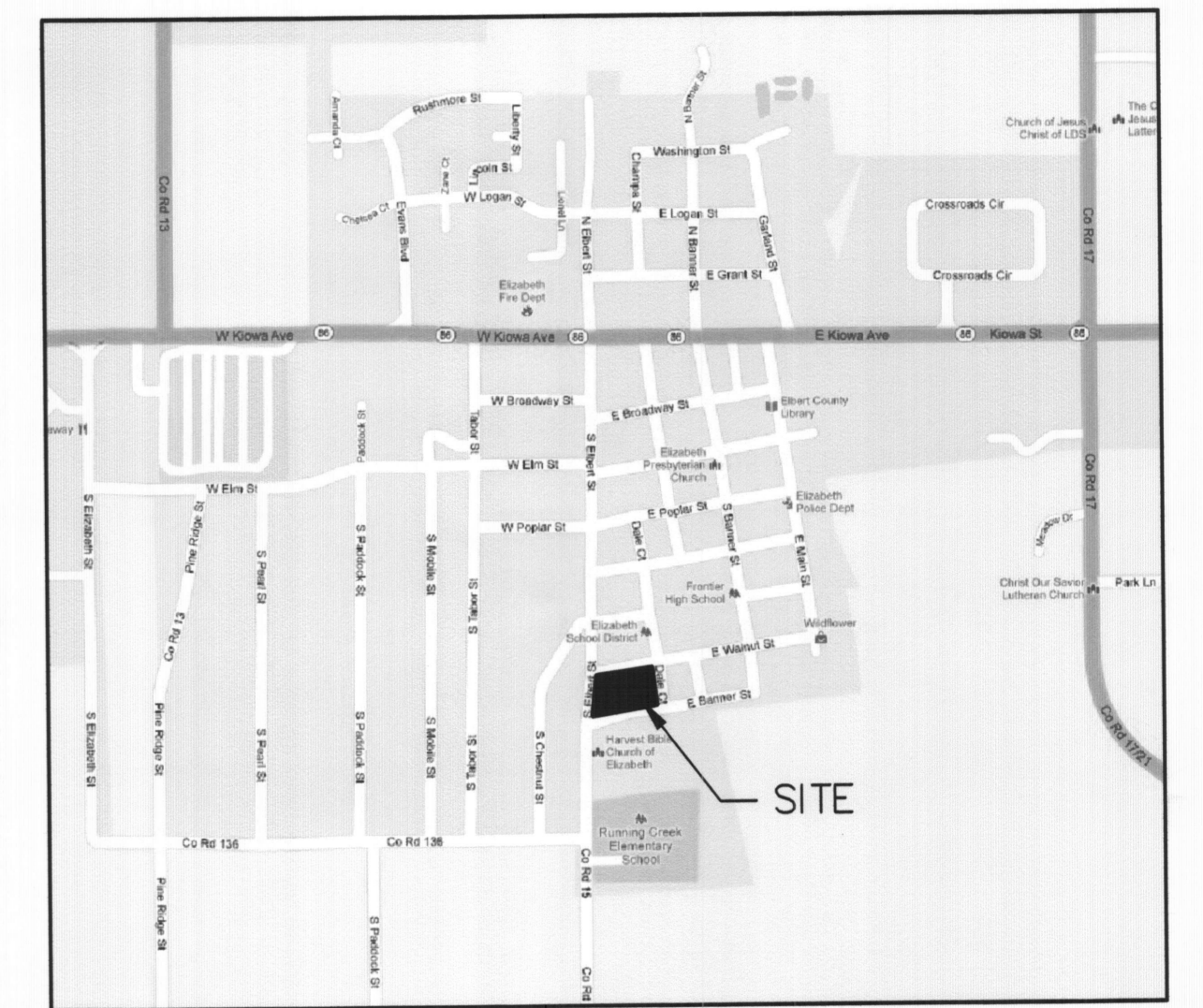
*WALNUT STREET (60' R.O.W.)*

*MAPLE STREET (60' R.O.W.)*

**Aerial Map**

# ALTA/ACSM LAND TITLE SURVEY

## PART OF SECTION 18, T. 8 S, R. 64 W, 6TH P.M. COUNTY OF ELBERT, STATE OF COLORADO



VICINITY MAP  
N.T.S.



### GENERAL NOTES:

1. All references to books, pages and reception numbers are public documents on file with the Clerk and Recorder of the County of Elbert, Colorado.
2. According to FEMA FIRM Map # 0803900480C, the subject property does not fall within any designated flood zone.
3. There is no observable evidence of this site being used as a solid waste dump, sump or sanitary landfill.
4. There is no observable evidence of recent earth work, building construction or building additions.
5. Underground gas lines may exist on site as evidenced by previous surveys, however, no markers were found on the subject property. Before any construction, call 811 Colorado One Call, for utility locates, 72 hours prior to any construction.

### LIMITATIONS OF ACTIONS AGAINST LAND SURVEYORS

ALL ACTIONS AGAINST ANY LAND SURVEYOR BROUGHT TO RECOVER DAMAGES FROM ANY ALLEGED NEGLIGENCE OR DEFECTIVE LAND SURVEY SHALL BE BROUGHT WITHIN THREE YEARS AFTER THE PERSON BRINGING THE ACTION EITHER DISCOVERED OR IN THE EXERCISE OF REASONABLE DILIGENCE AND CONCERN SHOULD HAVE DISCOVERED THE NEGLIGENCE OR DEFECT WHICH GAVE RISE TO SUCH ACTION, AND NOT THEREAFTER, BUT IN NO CASE SHALL SUCH AN ACTION BE BROUGHT MORE THAN TEN YEARS AFTER THE COMPLETION OF THE SURVEY UPON WHICH SUCH ACTION IS BASED.

### TITLE COMMITMENT NOTES:

This survey does not constitute a title search by High Prairie Survey Co., Inc. to determine ownership of this tract or to verify the description shown; the compatibility of this description with that of adjacent tracts; nor easements of record. For all information regarding easements, right-of-ways or title of record, High Prairie Survey Co., Inc. relied upon title commitment provided by Unified Title Company, LLC, their Commitment No.: 55502UTC; Dated January 08, 2018.

The following comments are in regards to the the same above-mentioned Commitment. The numbers in our comments correspond to the numbering system used in said Commitment.

- Schedule A:**
1. - 3. High Prairie Survey Co., Inc. did not examine or address these items.
  4. Legal is shown hereon as listed on said Title Commitment.
- Schedule B - Section I:**
- a. - h. High Prairie Survey Co., Inc. did not examine or address these items.
- Schedule B - Section II Exceptions:**
1. - 8. High Prairie Survey Co., Inc. did not examine or address these items.
  9. the Plat of Phillips Addition to the Town of Elizabeth recorded May 5, 1889, has been superceded by the plat of Walnut Grove Townhomes Planned Development.
  10. High Prairie Survey Co., Inc. did not examine or address these items.
  11. All applicable easements and restrictions from the plat of Phillips Addition Third Addition have been incorporated hereon.
  12. - 16. All items as shown hereon.

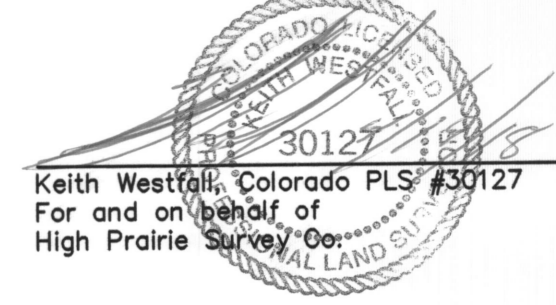
### PROPERTY DESCRIPTION

TRACT A-B, LOTS 1-28, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT, COUNTY OF ELBERT, STATE OF COLORADO.  
CONTAINING 68,305 SQ. FT. OR 1.57 ACRES MORE OR LESS.

### TITLE COMMITMENT CERTIFICATION:

TO: GREEN STREET DEVELOPMENT & UNIFIED TITLE COMPANY, LLC.

This is to certify that this map or plat and the survey performed on 04/16/2018, on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS in 2015, and includes items 1, 3 & 4 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered with the State of Colorado, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.



### CERTIFICATE OF DEPOSIT:

Deposited this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in the County \_\_\_\_\_  
Surveyor's land survey plat/right-of-way surveys at reception number \_\_\_\_\_  
In the office of the Elbert County Clerk and Recorder.

Signed \_\_\_\_\_

N 1/4 COR. SEC. 18, T8S, R64W,  
6TH P.M.  
FOUND 3 1/4" ALUM. CAP  
"COLO. DEPT. OF TRANSPORTATION  
PLS. 31548, 2001"

WEST LINE NE 1/4, SEC. 18  
(BASIS OF BEARINGS)  
N00°24'23"W  
1802.87'

ELBERT STREET (60' R.O.W.)  
N00°24'23"W  
200.38'

FOUND  
PIN & CAP  
LS# 30127

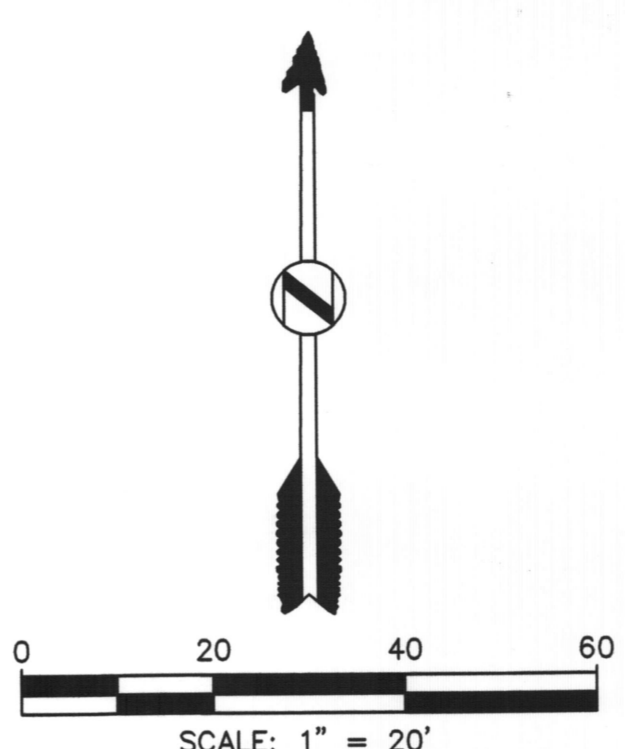
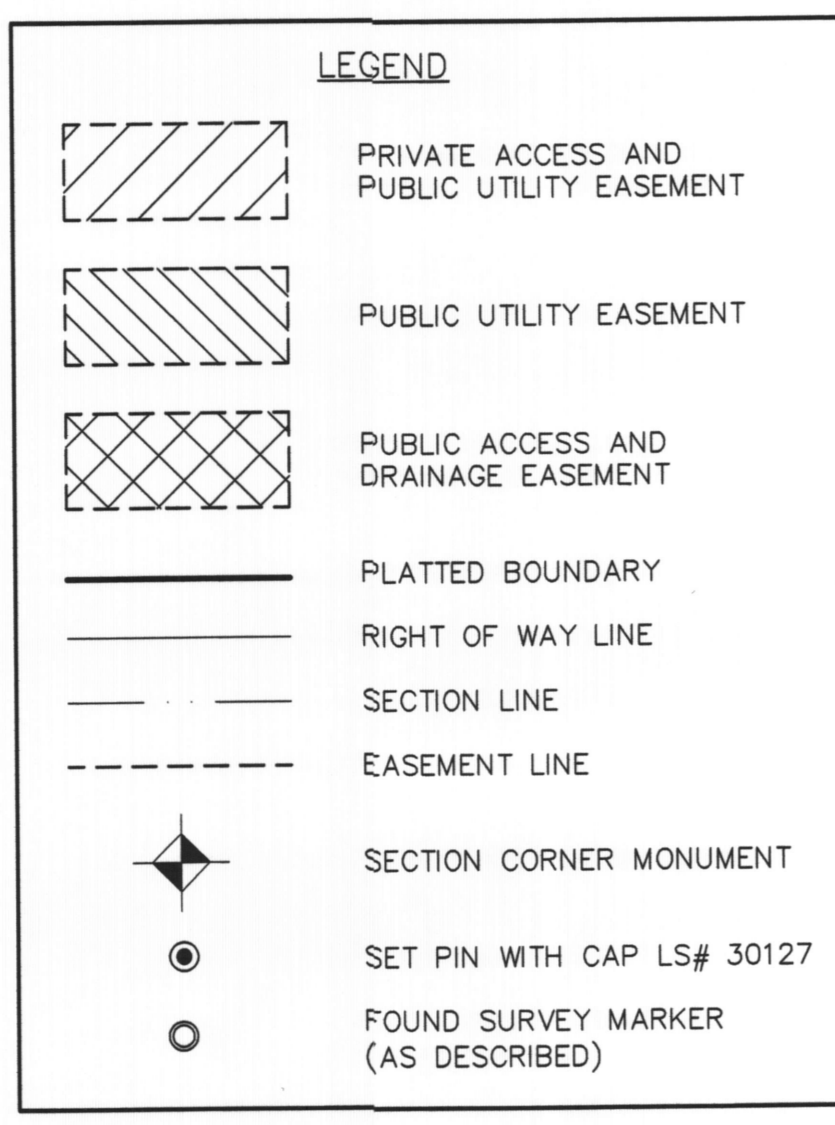
FOUND  
PIN & CAP  
LS# ILLEGIBLE

ELIZABETH PHILLIPS ADDITION  
BLOCK 28

DALE COURT (16' R.O.W.)  
PUBLIC ACCESS AND DRAINAGE EASEMENT  
S09°22'58"E  
197.79'  
44.50'

SET PIN  
WITH CAP  
LS# 30127

CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD BEARING	CHORD DIST.
C1	16°01'26"	16.78'	60.00'	S88°20'41"W	16.73'
C2	6°10'00"	6.46'	60.00'	S83°24'58"W	6.45'
C3	9°51'26"	10.32'	60.00'	N88°34'19"W	10.31'
C4	16°01'26"	16.78'	60.00'	N88°20'41"E	16.73'
C5	6°43'56"	7.05'	60.00'	S87°00'34"E	7.05'
C6	9°17'30"	9.73'	60.00'	S84°58'43"E	9.72'
C7	7°43'00"	6.46'	48.00'	S84°11'28"W	6.46'
C8	8°18'26"	6.96'	48.00'	S87°47'49"W	6.95'
C9	7°43'57"	10.42'	72.00'	S87°47'21"E	10.41'
C10	7°43'57"	10.42'	72.00'	N84°11'56"W	9.71'
C11	90°00'00"	29.85'	19.00'	N35°19'58"E	26.87'
C12	90°00'00"	29.85'	19.00'	S54°40'02"E	26.87'
C13	90°00'00"	29.85'	19.00'	N35°19'58"E	26.87'
C14	90°00'00"	21.99'	14.00'	S54°40'02"E	19.80'



DISCLAIMER: PLEASE NOTE THAT SURVEYING IS AN INEXACT SCIENCE AND IS SUBJECT TO A CERTAIN DEGREE OF INACCURACY AND OPINION.

### BASIS OF BEARINGS:

CONSIDERING THE SOUTH LINE OF LOT 6A TO HAVE AN ASSUMED BEARING OF N80°18'23"E AND MONUMENTED AS SHOWN HEREON.

"NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon."

DATE:	REVISIONS:	<b>High Prairie Survey Co.</b> LAND SURVEYING CONSTRUCTION STAKING OIL AND GAS SURVEYING 303-621-8672 FAX 303-621-7749 P.O. BOX 384 KIOWA, COLORADO 80117	TITLE ALTA/ACSM LAND TITLE SURVEY PART OF SEC. 18, T8S, R64W, 6TH P.M. ELBERT COUNTY, STATE OF COLORADO
REFERENCE DWG:			CLIENT GREEN STREET DEVELOPMENT
		SCALE 1"=30'	JOB NUMBER 18067-ALTA
		DATE 04/17/2018	SHEET 1 OF 1
		DRAWN BY D. COTTER	



## TOWN OF ELIZABETH

MIKE DEVOL, PUBLIC WORKS DIRECTOR

October 19, 2022

Mr. Otto Burden  
Colorado Civil Engineering LLC  
303-708-1930

RE: Will Serve Letter for Water and Sanitary Sewer Service of Walnut Grove

Dear Mr. Burden,

The Town of Elizabeth has the ability to serve Water and Sanitary Sewer Service for Walnut Grove Apartments and Townhomes. The Town of Elizabeth Water and Sewer Standards can be found on-line for your reference. The Town of Elizabeth will need calculations for the number of plumbing fixtures for the entire project so that we can assess for the Equivalent Residential Unit (EQR) and Tap Fees per Town Resolution 22R31 (attached) review and approval with the Public Works Director, Town Engineer, and Town Administrator for concurrence.

Please note this letter does not authorize the disruption of the current property, including pre-construction or construction activities. It also does not waive any steps in the approval process, including the payment of water, sewer, and renewable water tap fees.

Please feel free to contact me for any questions or concerns.

Thank you,

Mike DeVol  
Town of Elizabeth  
Public Works Director  
GCWWTP Operations  
[mdevol@townofelizabeth.org](mailto:mdevol@townofelizabeth.org)  
303-913-6453

TO: Zach Higgins, Acting Community Development Director  
 FROM: Travis Reynolds, AICP, Planning Manager, SAFEbuilt Studio  
 DATE: February 2, 2023  
 SUBJECT: Review – Sketch Plan for Walnut Grove

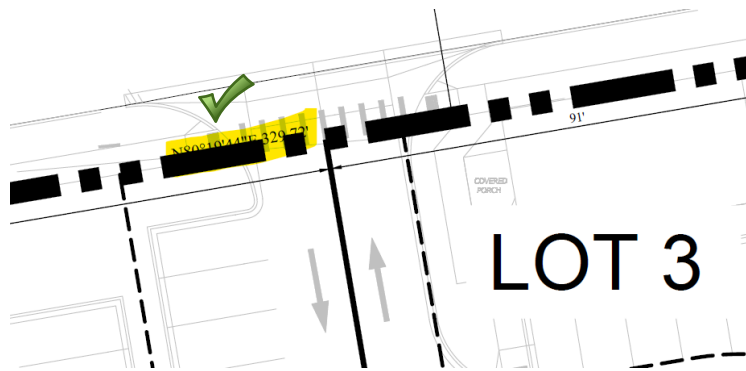
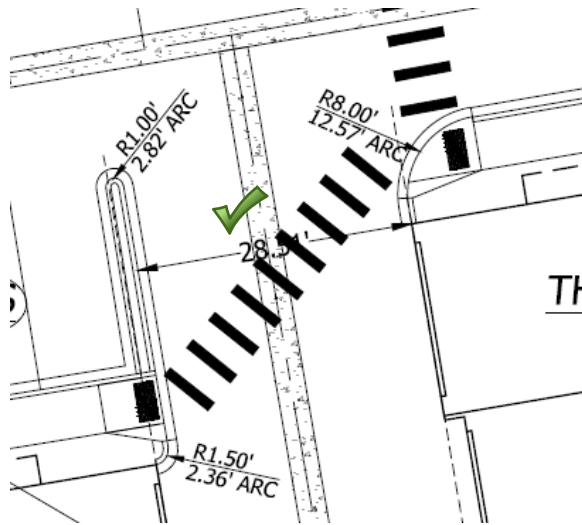
SAFEbuilt Studio staff provides the following review comments for the Walnut Grove Sketch Plan, generally located on 1.57 acres southeast of the intersection of Elbert Street and East Walnut Street in the Town of Elizabeth. Staff conducted the review in the context of Chapter 16 – Land Use and Development of the Town of Elizabeth Municipal Code, the Town’s Master Plan, and the Elizabeth 86 PUD Development Guide.

**Sec. 16-3-40(d) Sketch Plan Exhibit Requirements: Please supply the following information or add the following items to the sketch plan exhibit.**

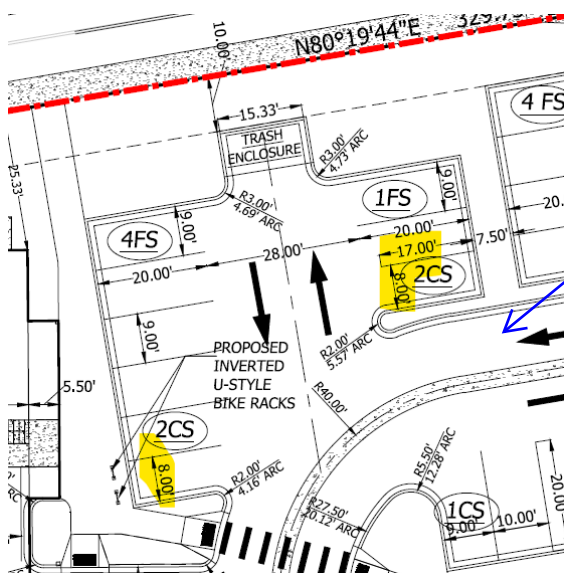
1. Please provide a copy of the existing, recorded plat as a depiction of the current property configuration. Recorded plat included in resubmittal.
2. Upon resubmittal of the plans, please include copies of the previously amended subdivision improvement agreement (2016). Please note that an updated agreement will be required as part of future plat processes. Old SIA included in resubmittal. Revisions coming understood.
3. Please combine the two pages as submitted for the Sketch Plan into one document with a consistent numbering sequence. Sheet Nos and Title has been revised on all 3 sheets.
4. Please adjust the “Sheet Index” to include only the proposed pages of the Sketch Plan. Alternatively, please submit the listed utility and grading plans. Sheet Index has been revised.
5. Please include a lot table indicating the anticipated use of each lot and the anticipated use of Tract A. Lot use table has been added to the cover sheet.
6. Please depict all easements as noted in the title commitment and the ALTA survey as submitted. Easement conflicts are not as critical for the sketch plan process, but will be critical for required, future Preliminary and Final plat steps. Current Preliminary Plan and Proposed replat included in resubmittal.
7. Please provide contour lines on the sketch plan, depicted at ten-foot intervals.

**General Comments**

- a. Adjust labels and symbology such that the symbology does not obstruct any labels. Kindly reference the examples below. Revisions have been made to the plan per this suggestion.



- Per Sec. 16-6-10 of the Code, the minimum parking stall width is 9 feet and the length is 18 feet. Some parking spaces in the sketch plan do not meet these requirements. Please modify the sketch plan accordingly. Kindly reference the example below from page two of the sketch plan.



These are preliminary site plan details. The Town code will be followed on the final Site Plan.

**External Review Agency Comments**

Civil Comments (CORE Engineering) – Please see the attached letter and relines below

Civil Comments – Water and Sewer – (JVA, Inc.) – No comments at this time

Public Works – Town of Elizabeth

- ✓ 1. Please note that the streets internal to the development are anticipated to remain private with no dedication to the Town.
- ✓ 2. Please note that all snow removed from parking and drive areas must remain on-site and not deposited on public property or the right-of-way.

CORE Electric Cooperative

- 1. Please note that the CORE Electric Cooperative will require utility easements that are not depicted on the sketch plan submittal. Please see the planning comments above regarding the depiction of easements and other information.

Utility easements will be added as the design progresses and easement needs determined.

Elizabeth FIRE -

- 1. Attached to this email is Invoice 123-274 for \$267.00 for Walnut Grove Sketch Plan (see below). Once we have received payment for that invoice, we will be able to release those review comments to you. 2/2/23

So noted. Has been passed onto the developer.

We accept payments via credit/debit card or electronic check through the payment portal available on our website: <https://elizabethfpd.colorado.gov/make-a-payment>. If you would prefer to mail a check to our department, please use the PO Box address listed below:

Traffic (Stolfus) – No comments

So noted. Has been passed onto the developer.

U.S. Fish and Wildlife – No comments

Pines and Plains Libraries – No comments

Dale Ct will not be vacated. Some of the TH sidewalks are within the ROW. ROW will be used for pedestrians only and maintained by the development.

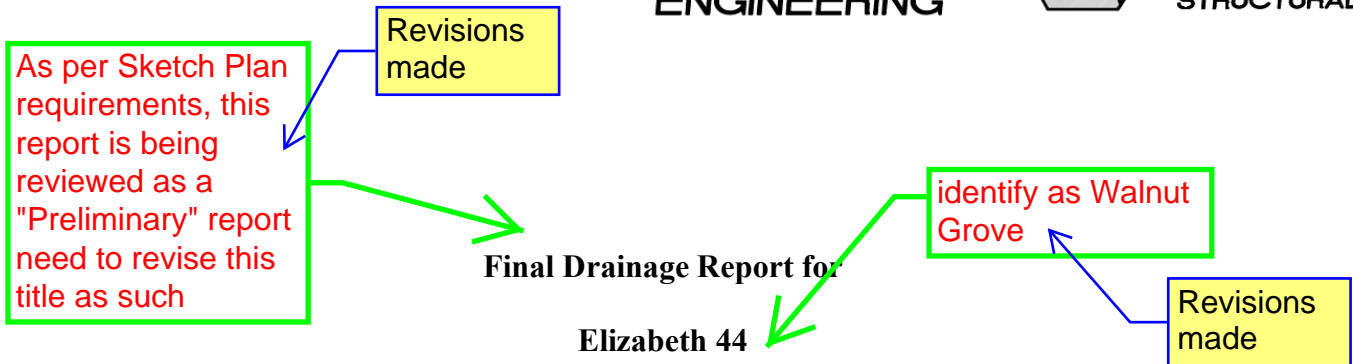
Elbert County  
GIS

- 1. Please clarify if there is a plan to vacate a portion of the Dale Ct. ROW? As depicted, it appears that a portion of the town homes extend into Dale Ct.
- 2. Please coordinate with the County regarding addressing for the structures at a later date.

Public Health - No Comments

So noted.

Please address the comments outlined above and resubmit the requested information to the Town. Please include a comment response letter outlining your responses to comments. This will help the reviewers expedite responses to the requested updates.



LOTS 1A THROUGH 6A, BLOCK 30, LOTS 7A AND 8A, BLOCK 28 AND THE 60 FOOT WIDE RIGHT-OF-WAY FOR PARK STREET LYING BETWEEN BLOCKS 28 AND 30, PHILLIPS ADDITION, AS RECORDED UNDER RECEPTION #304731, WITHIN SECTION 18, TOWNSHIP 8 SOUTH, RANGE 64 WEST. OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO.

Owner/Applicant/Developer:  
Arman K Pishke  
Elizabeth 44, LLC  
Email: [arman@unibuilders.com](mailto:arman@unibuilders.com)

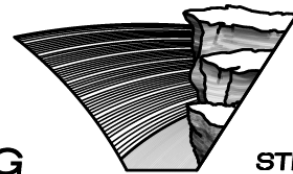
Design/Report by:  
Canyon Creek Engineering - Phil Giesing, P.E.  
Email: [Phil@canyoncreekengineering.com](mailto:Phil@canyoncreekengineering.com)



Final Drainage Report V1.0 for Elizabeth 44.

**Table of Contents:**

Drainage Statements and Report	pages 3-11
Vicinity Map	page 12
Flood Insurance Rate Map	page 13
Soils Map	page 14
Soil Types Explained	pages 15-16
NOAA Point Precipitation Frequency Estimates	pages 17-20
UD-Detention Stage vs. Storage Calculations	page 21
UD-Detention Outlet Structure Calculations/Release Rates	pages 22-23
Subbasin Flows	pages 24-25
Open Channel Flow Design Point Calculations	page 26
Pond Outlet Pipe Calculations	page 27
On-Site Drainage Subbasin Map <b>DR.0</b>	FOLDED & ATT
Drainage Details <b>DR.1</b>	FOLDED & ATT



**DRAINAGE STATEMENTS**

Engineer's Certification:

This report for the final drainage design of (Elizabeth 44) was prepared by me or under my direct supervision in accordance with the provisions of Town of Elizabeth Storm Drainage Design and Technical Criteria, and was designed to comply with the provisions thereof. I understand that the Town of Elizabeth does not and will not assume liability for drainage facilities designed by others.

Preliminary drainage report was prepared by Phil Giesing, Canyon Creek Engineering. The Final drainage report will be prepared and certified by Colorado Civil Engineering.

---

Phil Giesing – Registered Professional Engineer  
State of Colorado  
No. 27384

Seal/Date

update engineers certification per Criteria Manual Sec 2.2 (IV) - also do not need Developers cert for a Prelim report



## DRAINAGE REPORT

### I. GENERAL LOCATION AND DESCRIPTION:

#### a. Site Location

##### 1. Site Vicinity Map

- Please refer to the table of contents for the location of the site vicinity map within this report. Proposed site is located in the southeastern corner of the Elbert and Maple Street Intersection within Elizabeth, Colorado.

##### 2. Township, range, section, ¼ section

- Township 8 south, Ranges 64 west, NE 1/4 of section 18.

##### 3. Existing and proposed streets, roadways, and highways adjacent to and within the proposed development, or within the area served by the proposed drainage improvements

- The proposed development will have access off of Maple Street and Walnut Street. The proposed site is bordered by Elbert Street to the west. The drainage improvements serve the site described above and a portion of the existing vacant alley to the east of the site.

##### 4. Names of surrounding or adjacent developments, including land use or zoning information

- The proposed development is bordered by Walnut Street Right of Way to the north, a vacant alley right of way to the east abutting residential home sites, Maple Street Right of Way to the south, and the Elbert Street Right of Way to the west.

#### b. Description of Property

##### 1. Area in Acres

- Project area enclosed by the property boundary is 1.568 acres but limits of construction are depicted on the GESC plan and contain 2.01 acres.

##### 2. Ground cover, vegetation, site topography and slopes

- Existing ground cover consists of native grasses and slopes steeply to the northeast, away from the Elbert Street Right of Way.

##### 3. NRCS Soils Classification Map and discussion

- Please refer to the table of contents for the location of the site soils map and soils description within this report. 100 percent of our on-site soils fall into hydraulic soils group B. These soils consist of Bresser Sandy Loam.

##### 4. Major and minor drainageways

- The proposed site is not located within any drainageways as the highpoint in the vicinity is in the Elbert street right of way abutting the proposed site to the west.

##### 5. Floodplains delineated by UDFCD FHAD studies or on FEMA FIRM Maps

- Please refer to the table of contents for the location of the FEMA



FIRM map within this report. Our site is not impacted by existing floodplain.

6. Existing irrigation canals or ditches
  - None are existing or known of on-site.
7. Significant Geological Features
  - There are no significant geological features existing on-site.
8. Proposed land use
  - Proposed land use is Multi-family Residential.

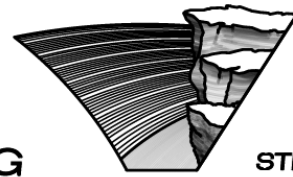
II. DRAINAGE BASINS AND SUBBASINS:

a. Major Drainage Basins

1. On-site and off-site major drainage basin characteristics and flow patterns and paths
  - Please reference the on-site drainage subbasin map that is folded and attached at the back of this report. Basins with the A designation are within the limits of our site and are conveyed to the pond in all but one location. Basins with the OS designation are located off-site and are delineated only because they contribute to design point flows and to the detention pond. Flow currently heads to the northeast where it is undetained. Runoff will still be routed to the northeast where it will be detained, treated, and released at or below historic rates.
2. Existing and proposed land uses within the basins if known
  - Only abutting right of way contributes to our runoff generated (OS basins) and routed to the detention pond.
3. Discussion of all drainageway planning or floodplain delineation studies that affect the major drainageways, such as UDFCD FHAD studies and outfall system planning studies
  - We are not aware of any of these studies currently. The on-site basins post developed condition matches that of the pre-developed condition. Our detention ponds will release historic flows or less for the 100-yr storm for approximately 1.57 acres of tributary area.
4. Discussion of the condition of any channel within or adjacent to the development, including existing conditions, need for improvements, and impact on the proposed development
  - The proposed detention pond will require a connection to the existing storm sewer network located within the walnut street right of way.
5. Discussion of the impacts of the off-site flow patterns and paths, under fully developed conditions
  - Minimal impact to off-site flow paths and patterns are anticipated.

b. Minor Drainage Basins

1. On-site and off-site minor drainage basin characteristics and flow patterns and paths under historic and developed conditions



- Please reference the on-site drainage subbasin map that is folded and attached at the back of this report. Basins with the A designation are within the limits of our site and are conveyed to the pond. Basins with the OS designation are located off-site and are delineated only because they contribute to design point flows. Flow currently heads to the northeast where it is undetained. Runoff will still be routed to the northeast where it will be detained, treated, and released at historic rates.
- 2. Existing and proposed land uses within the basins
  - Only abutting right of way contributes to our runoff generated.
- 3. Discussion of irrigation facilities that will influence or be impacted by the site drainage
  - There are no irrigation facilities that will be impacted due to site drainage.
- 4. Discussion of the impacts of the off-site flow patterns and paths, under fully developed conditions
  - Minimal impact to off-site flow paths and patterns are anticipated. In the event of a pond emergency overflow, the emergency spillway will discharge to the north into the Walnut Street right of way.

### III. DRAINAGE DESIGN CRITERIA:

#### a. Regulations

1. Describe the use of optional provisions and any deviation from these CRITERIA and justification for such actions.
  - The drainage concept has been designed using NRCS Soil data, NOAA precipitation data, The rational method for minor onsite flows, and the urban drainage criteria and UD-Detention workbooks.

#### b. Drainage Studies, Outfall Systems Plans, Site Constraints

1. Discuss previous drainage studies or master plans for the site or project that influence the stormwater facility design
  - We are not in possession of any prior study for the site in question.
2. Discuss drainage studies for adjacent developments and how those developments affect the stormwater facility design
  - We are not in possession of any prior studies for the adjacent sites but fully developed conditions for our site do not negatively impact adjacent developments
3. Discuss UDFCD Outfall Systems Plans and how recommendations in those studies affect the design
  - We are not in possession of any outfall system plans. Recommendations if applicable to the site can be accommodated if provided.



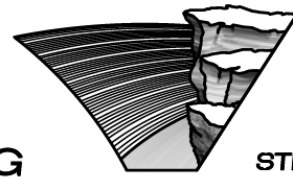
4. Discuss impacts to stormwater management facility design caused by site constraints, such as streets, utilities, light rail, rapid transit, existing structures, etc
  - The main site constraints in developing the proposed site is the lack of storm sewer to the north of the property for discharge of our pond, the excess of soil on-site for balancing cut and fills, and the existing slopes of both Walnut and Maple Street.

c. Hydrology

1. Runoff calculations method(s)
  - Rational Method.
2. Design Storm recurrence intervals
  - Design storm return periods provided are 5-year, 10 year and 100-year.
3. Design rainfall
  - NOAA Point Precipitation Frequency Estimates for Elizabeth, Colorado.
4. Detention storage calculations method(s)
  - Please see attached UD-Detention workbook pages. Stage vs. Storage table is shown with user inputted parameters. The proposed pond is a 3-zone extended detention basin. A typical outlet structure incorporating a micro pool will be provided. Water will be released over time using an orifice plate and weir/grate leading to the city storm sewer. An emergency spillway will be incorporated into the retaining wall and spill onto Walnut street right of way.
5. Detention storage release rate calculation method
  - Please see attached UD-Detention workbook pages. Outlet Calculations using orifice plate, weir/grate and spillways are shown with user inputted parameters to ensure less than historic flows are provided in the post-developed condition.

d. Hydraulics

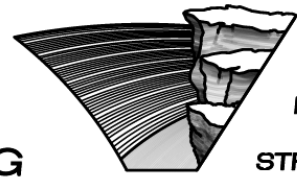
1. Methods used to determine conveyance facility capacities
  - Urban Drainage spreadsheets and workbooks have been provided showing the required design point calculations. Less detailed, open channel flow calculations have also been provided to delineate flows at other design points.
2. Hydraulic grade line calculation method and discussion of loss coefficients
3. Not applied at this time.
4. Methods used to calculate water surface profile
  - Stage vs Storage workbook has been applied to the onsite detention facility. An outlet structure detail on sheet DR.1 has been provided showing the schematic in section view.
5. Detention pond routing



- Not applied at this time.
- e. Water Quality Enhancement
1. Discuss proposed best management practices
    - Micropool and proper release rates have been implemented.
  2. Identify design procedures
    - First, Subbasin flow table input parameters were delineated using basin maps, and on-site soils maps. Design point flows were verified and calculations provided showing adequate capacities within the flow path. UD-Detention workbooks were used to model the pond and it's outlet.

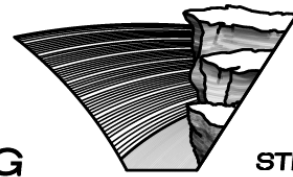
IV. STORMWATER MANAGEMENT FACILITY DESIGN:

- a. Stormwater Conveyance Facilities
1. Discuss general conveyance concepts
    - Grass lined swales will be used where possible but due to the urban nature of the site, these locations are limited. Sidewalk chases are used instead of inlets wherever possible to continue the flow of runoff on the surface. The site should be relatively low maintenance and risk from a drainage perspective for this reason.
  2. Discuss proposed drainage paths and patterns
    - Refer to the on-site subbasin maps located at the back of this report for flow paths and patterns.
  3. Discuss storm sewer design, including inlet and pipe locations and sizes, tributary basins and areas, peak flow rates at design points, hydraulic grade lines, etc.
    - Please refer to the offsite and on-site subbasin flow tables for deign point flows. Calculations have been provided at the back of this report showing the flow rates and depths within the pipes and chases.
  4. Discuss storm sewer outfall locations and design, including method of energy dissipation
    - Energy will be dissipated with riprap basins where applicable.
  5. Discuss how runoff is conveyed from all outfalls to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Ultimately on-site and upstream off-site flows are routed to the northeast, as they were historically.
  6. Discuss open channel and swale designs, including dimensions, alignments, tributary basins and areas, peak flow rates at design points, stabilization and grade control improvements, low flow or trickle channel capacities, water surface elevations, etc
    - This information can be obtained throughout the calculations. WSE data has been provided on the drainage basin map within the pond section. Trickle channel is not proposed within this concept as pond bottom slopes are adequate to prevent ponding. Slopes



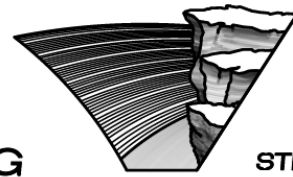
greater than 4:1 will be stabilized with erosion control blanket and channels with sizable flows will be stabilized using riprap basins.

7. Discuss allowable street capacities
  - Runoff in concrete swales in access roads will be less than 3” deep at 100yr storm event. The Type R inlet will be submerged 7.5” during a 100 yr storm event (1.5” above top of curb, to be detained by landscaping).
8. Discuss maintenance aspects of the design and easements and tracts that are required for stormwater conveyance purposes
  - Sediment removal will be required at the pond bottom, maintenance access easements will be required at these locations.
9. Discussion of the facilities needed off site for the conveyance of minor and major flows to the major drainageway
  - The site will require a manhole in the Walnut street right of way and a length of pipe to the northeast to connect to the existing town of Elizabeth storm sewer system.
- b. Stormwater Storage Facilities
  1. Discuss detention pond designs, including release rates, storage volumes and water surface elevations for the 2-year, 100-year and emergency overflow conditions, outlet structure design, emergency spillway design, etc
    - Please see attached UD-Detention workbook pages. Stage vs. Storage table is shown with user inputted parameters. The proposed pond is a 3-zone extended detention basin. The pond does not have any low slopes requiring a trickle channel. A typical outlet structure incorporating a micro pool will be provided. Water will be released over time using an orifice plate, overflow weir/grate, and emergency spillway.
  2. Discuss pond outfall locations and design, including method of energy dissipation
    - Pond outfall will be connected to the existing storm sewer within the walnut street right of way. No energy dissipation is required.
  3. Discuss how runoff is conveyed from all pond outfalls and emergency spillways to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Please refer to the on-site subbasin maps for flow path from pond to adjacent property. Runoff is routed through vacant property to the existing floodplain to the east.
  4. Discuss maintenance aspects of the design and easements and tracts that are required for stormwater storage purposes
    - Ponds will require sediment removal in the future to ensure that the micropool continues to function properly. Maintenance access



easements will be in place to have these facilities kept in proper working order.

- c. Water Quality Enhancement Best Management Practices
  1. Discuss the design of all structural water quality Best Management Practices, including tributary areas, sizing, treatment volumes, design features, etc
    - Water Quality is provided through extended drain times within the proposed full spectrum detention pond.
  2. Discuss how runoff is conveyed from all pond outfalls to the nearest major drainageway, including a discussion of the flow path and capacity downstream of the outfall to the nearest major drainageway
    - Please refer to the On-site drainage subbasin map sheet DR.0 for conveyance and path of pond flows.
  3. Discuss the operation and maintenance aspects of the design and easements and tracts that are required for stormwater quality enhancement purposes
    - Easements will be required to maintain the stormwater treatment facilities.
- d. Floodplain Modification
  1. Discuss why the floodplain modifications are proposed
    - No floodplain modifications are proposed.
  2. Discuss the source of the floodplain information and level of detail (UDFCD Flood Hazard Area Delineation or FEMA Flood Insurance Rate Maps)
    - Please refer to the table of contents for the locations of the FEMA FIRM within this report.
  3. Discuss details of floodplain modifications, including level of encroachment, velocities, depths, stabilization measures, water surface elevations, etc
    - Floodplain does not encroach on the proposed site.
  4. Discuss Conditional Letter or Map Revision (CLOMR) and Letter or Map Revision (LOMR) requirements
    - Not applicable.
  5. Discuss County floodplain development regulations and Floodplain Development Permit
    - No development within the FEMA floodplain proposed.
- e. Additional Permitting Requirements
  1. Section 404 of the clean water act
    - No discharge of dredged or fill material is proposed within our site.
  2. The endangered species act
    - We are not aware of any endangered species that are native to the proposed site.
  3. Other local, state or federal requirements



- 97% of stormwater from the 5-yr event will be held on-site for no longer than 72 hours. Refer to the UD-Detention outlet structure and release rates workbook for these values.

f. General

1. Discuss all tables, figures, charts, drawings, etc. that were used in design of stormwater management facilities and describe materials that are included in the appendix of the report
  - Please refer to the table of contents for a list of all tables, maps, and spreadsheets produced in the process of designing stormwater management facilities.

V. CONCLUSIONS:

a. Compliance with Standards

1. Criteria
  - NOAA precipitation depths are compliant with Elizabeth Criteria. Pond design and treatment of runoff is compliant with UDFCD recommendations.
2. UDFCD Criteria
  - The proposed site is compliant with many of UDFCD's provisions. This is evident in our effort to reduce erosion and provide water quality features for the site.
3. Manual
  - Pond design is largely focused around accommodating recommendations from the UDFCD.

b. Drainage Concept

1. Discuss overall effectiveness of stormwater management design to properly convey, store and treat stormwater
  - The post-developed condition of our site will not adversely impact downstream and adjacent sites. Conveyance and storage based BMPs will be implemented and preserved throughout the site as detailed above.

VI. REFERENCES:

- a. Town of Elizabeth Drainage Criteria.
- b. Urban Drainage and Flood Control District Storm Drainage Criteria Manuals (volumes 1 through 3) and related workbooks.

VII. APPENDICES:

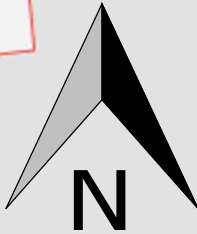
- a. Hydrological Computations
  1. Reference table of contents and resultant calculations.
- b. Hydraulic Computations
  1. Reference table of contents and resultant calculations.



ELBERT STREET

HWY 86/KIOWA AVE.

SITE



# VICINITY MAP

SCALE: 1" = 500'-0"

SECTION-18 TOWNSHIP-8 S RANGE-64 W

**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only to landward of 0.0' North American Vertical Datum of 1988 (NAVD88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 13. The horizontal datum was NAD83, GR80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988 (NAVD88). These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NINGS12  
National Geodetic Survey  
SSMC-2, #9202  
1315 East-West Highway  
Silver Spring, MD 20910-3282

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit its website at <http://www.ngs.noaa.gov/>.

**Base Map** information shown on this FIRM was provided in digital format by Elbert County GIS Department and Anderson Consulting Engineers, Inc. These data are current as of 2009.

This map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels, community map repository addresses, and a listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

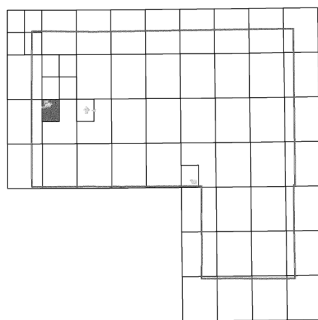
Contact **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov/>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA Map (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/>.

**Elbert County Vertical Datum Offset Table**

Flooding Source	Vertical Datum Offset (ft)
N/A	N/A

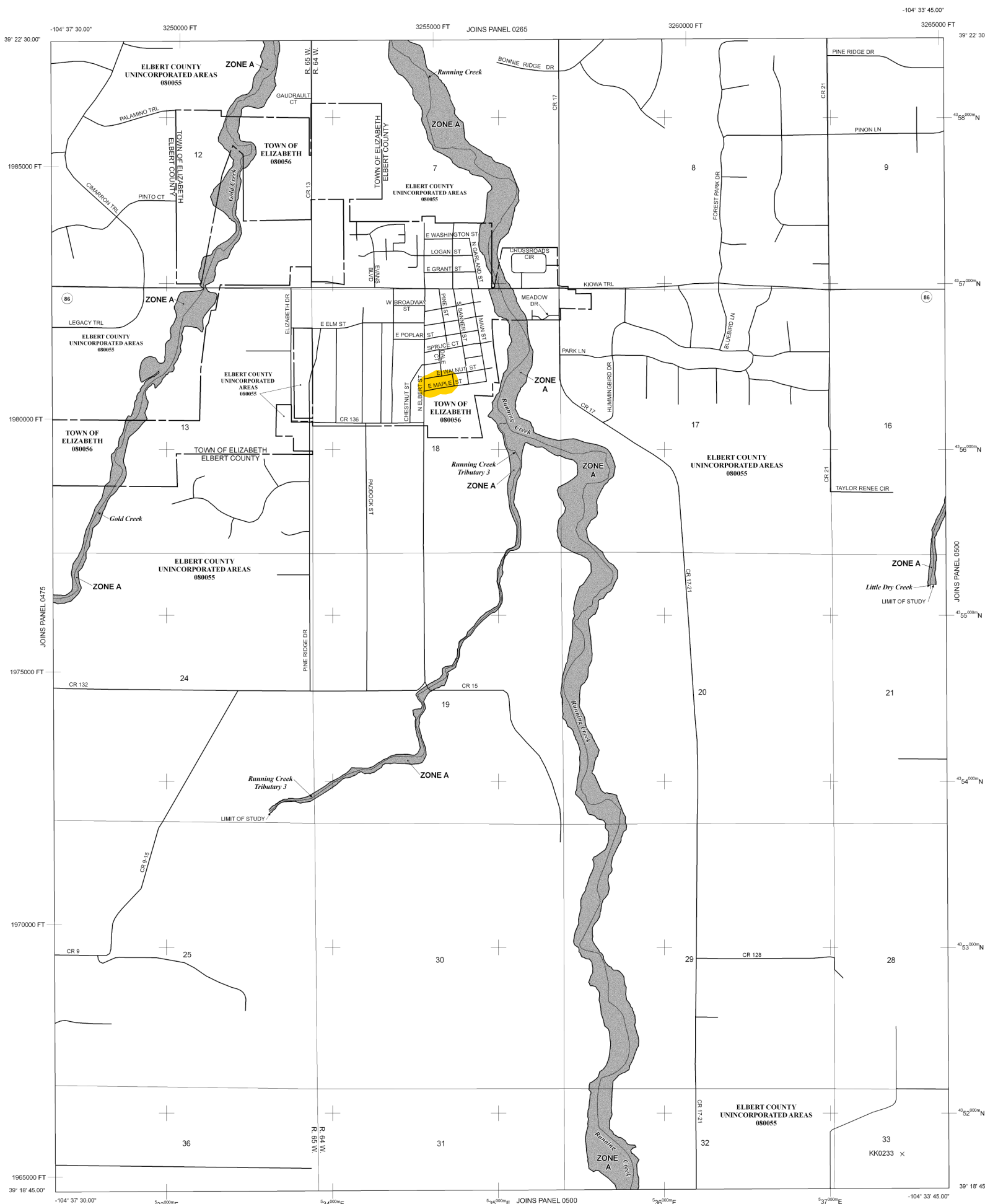
**Panel Location Map**



This Digital Flood Insurance Rate Map (DFIRM) was produced through a Cooperating Technical Partner (CTP) agreement between the State of Colorado Water Conservation Board (CWCB) and the Federal Emergency Management Agency (FEMA).



Additional Flood Hazard information and resources are available from local communities and the Colorado Water Conservation Board.



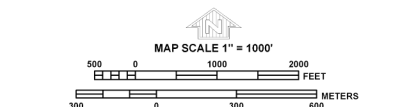
NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 8S SOUTH, RANGE 64 WEST, AND TOWNSHIP 8S SOUTH, RANGE 65 WEST.

**LEGEND**

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
- The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- No Base Flood Elevations determined.
- Zone AE Base Flood Elevations determined.
- Zone AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- Zone AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- Zone AR Special Flood Hazard Area Formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- Zone A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- Zone V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- Zone VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS
- Zone X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS
- Zone X Areas determined to be outside the 0.2% annual chance floodplain.
- Zone D Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
- OTHERWISE PROTECTED AREAS (OPAs)
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- Floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet\* (EL 987)
- Base Flood Elevation value where uniform within zone; elevation in feet\*
- \* Referenced to the North American Vertical Datum of 1988 (NAVD 88)
- Cross section line
- Transect line
- 97° 07' 30.00" 32° 22' 30.00" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
- 47° 50' 00" N 1000-meter Universal Transverse Mercator grid ticks, zone 13
- 6000000 FT 5000-foot grid ticks: Colorado State Plane coordinate system, central zone (FIPS-ZONE 0502), Lambert Conformal Conic Projection
- DX5510 X Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.5 River Mile
- MAP REPOSITORIES Refer to Map Repositories list on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP MARCH 17, 2011

For community map revision history prior to countywide mapping, refer to the Community Map History Table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



**PANEL 0480C**

**FIRM**  
FLOOD INSURANCE RATE MAP  
ELBERT COUNTY,  
COLORADO  
AND INCORPORATED AREAS

**PANEL 0480 OF 1200**  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS

COMMUNITY	NUMBER	PANEL	SUFFIX
ELBERT COUNTY	08055	0480	C
ELIZABETH TOWN OF	08056	0480	C

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

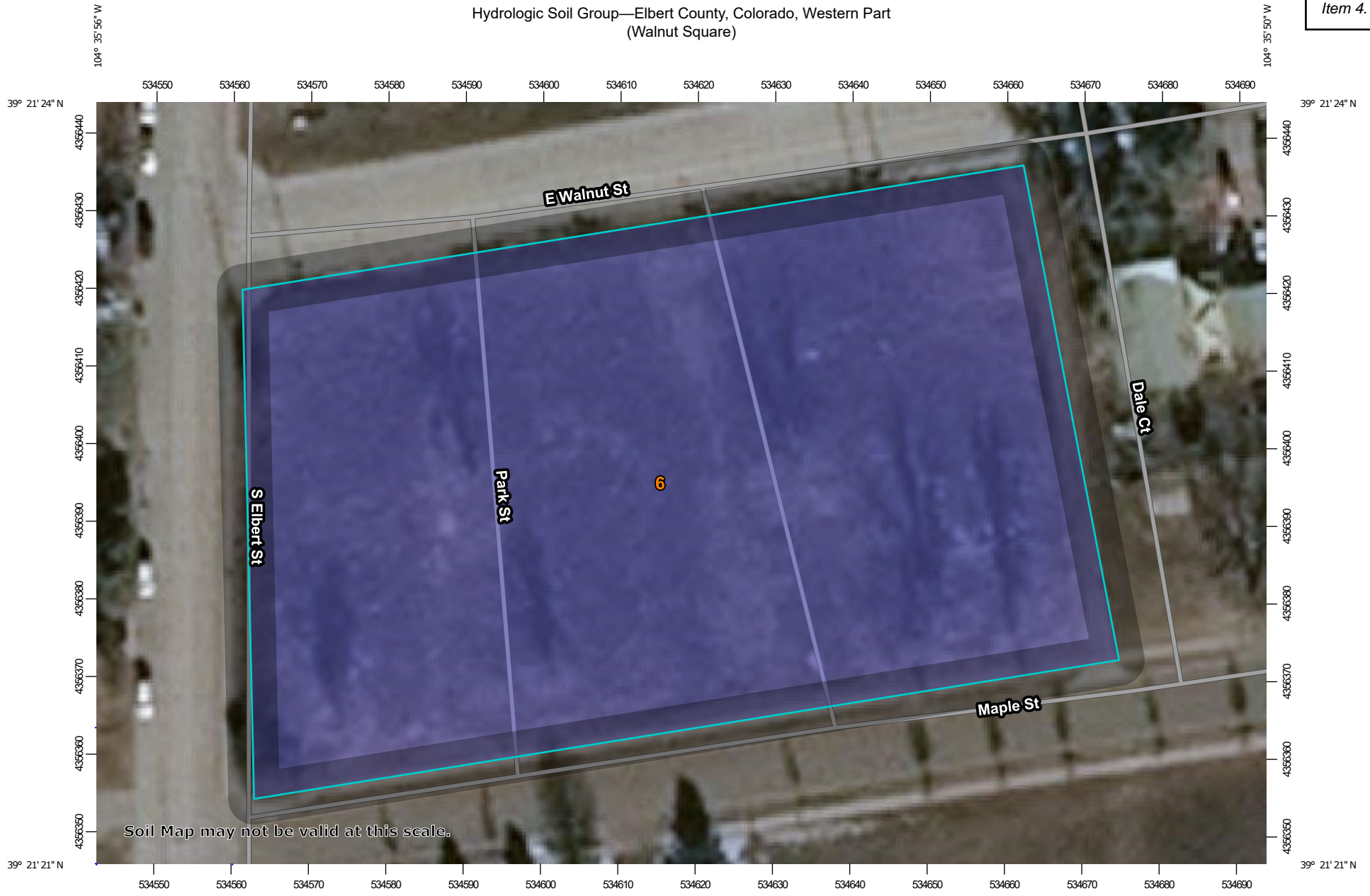
**MAP NUMBER**  
08039C0480C

**EFFECTIVE DATE:**  
MARCH 17, 2011

Federal Emergency Management Agency

Item 4.

Hydrologic Soil Group—Elbert County, Colorado, Western Part  
(Walnut Square)



































Soil Map may not be valid at this scale.

Map Scale: 1:692 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84

### MAP LEGEND

- Area of Interest (AOI)**
  -  Area of Interest (AOI)
- Soils**
  - Soil Rating Polygons**
    -  A
    -  A/D
    -  B
    -  B/D
    -  C
    -  C/D
    -  D
    -  Not rated or not available
  - Soil Rating Lines**
    -  A
    -  A/D
    -  B
    -  B/D
    -  C
    -  C/D
    -  D
    -  Not rated or not available
  - Soil Rating Points**
    -  A
    -  A/D
    -  B
    -  B/D
- Water Features**
  -  Streams and Canals
- Transportation**
  -  Rails
  -  Interstate Highways
  -  US Routes
  -  Major Roads
  -  Local Roads
- Background**
  -  Aerial Photography
- Other**
  -  C
  -  C/D
  -  D
  -  Not rated or not available

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.  
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Elbert County, Colorado, Western Part  
Survey Area Data: Version 14, Sep 10, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 24, 2018—Nov 19, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
6	Bresser sandy loam, cool, 5 to 9 percent slopes	B	1.7	100.0%
<b>Totals for Area of Interest</b>			<b>1.7</b>	<b>100.0%</b>

### Rating Options

*Aggregation Method: Dominant Condition*

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*



**NOAA Atlas 14, Volume 8, Version 2**  
**Location name: Elizabeth, Colorado, USA\***  
**Latitude: 39.3562°, Longitude: -104.5986°**  
**Elevation: 6514.26 ft\*\***



Item 4.

\* source: ESRI Maps  
 \*\* source: USGS

**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk,  
 Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps & aerals](#)

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
<b>5-min</b>	<b>0.231</b> (0.188-0.286)	<b>0.287</b> (0.233-0.355)	<b>0.382</b> (0.309-0.474)	<b>0.465</b> (0.374-0.580)	<b>0.586</b> (0.458-0.758)	<b>0.685</b> (0.521-0.892)	<b>0.788</b> (0.578-1.05)	<b>0.896</b> (0.630-1.22)	<b>1.05</b> (0.707-1.45)	<b>1.17</b> (0.765-1.63)
<b>10-min</b>	<b>0.338</b> (0.275-0.419)	<b>0.420</b> (0.341-0.520)	<b>0.559</b> (0.452-0.694)	<b>0.681</b> (0.548-0.849)	<b>0.859</b> (0.670-1.11)	<b>1.00</b> (0.762-1.31)	<b>1.15</b> (0.846-1.53)	<b>1.31</b> (0.923-1.78)	<b>1.53</b> (1.03-2.12)	<b>1.71</b> (1.12-2.38)
<b>15-min</b>	<b>0.413</b> (0.335-0.511)	<b>0.512</b> (0.415-0.634)	<b>0.682</b> (0.552-0.847)	<b>0.831</b> (0.668-1.03)	<b>1.05</b> (0.817-1.35)	<b>1.22</b> (0.930-1.59)	<b>1.41</b> (1.03-1.87)	<b>1.60</b> (1.13-2.17)	<b>1.87</b> (1.26-2.59)	<b>2.08</b> (1.37-2.91)
<b>30-min</b>	<b>0.561</b> (0.456-0.695)	<b>0.696</b> (0.565-0.863)	<b>0.927</b> (0.750-1.15)	<b>1.13</b> (0.908-1.41)	<b>1.42</b> (1.11-1.84)	<b>1.66</b> (1.26-2.16)	<b>1.91</b> (1.40-2.53)	<b>2.17</b> (1.52-2.94)	<b>2.53</b> (1.71-3.50)	<b>2.82</b> (1.85-3.93)
<b>60-min</b>	<b>0.703</b> (0.571-0.871)	<b>0.864</b> (0.701-1.07)	<b>1.15</b> (0.927-1.42)	<b>1.40</b> (1.12-1.74)	<b>1.77</b> (1.38-2.29)	<b>2.07</b> (1.58-2.71)	<b>2.40</b> (1.76-3.19)	<b>2.74</b> (1.93-3.73)	<b>3.23</b> (2.18-4.48)	<b>3.62</b> (2.37-5.05)
<b>2-hr</b>	<b>0.844</b> (0.690-1.04)	<b>1.03</b> (0.843-1.27)	<b>1.37</b> (1.11-1.68)	<b>1.67</b> (1.35-2.06)	<b>2.12</b> (1.67-2.73)	<b>2.49</b> (1.91-3.24)	<b>2.89</b> (2.14-3.83)	<b>3.32</b> (2.36-4.49)	<b>3.93</b> (2.68-5.43)	<b>4.42</b> (2.92-6.13)
<b>3-hr</b>	<b>0.931</b> (0.763-1.14)	<b>1.13</b> (0.924-1.38)	<b>1.49</b> (1.21-1.82)	<b>1.81</b> (1.47-2.23)	<b>2.31</b> (1.83-2.98)	<b>2.73</b> (2.10-3.54)	<b>3.18</b> (2.37-4.20)	<b>3.67</b> (2.62-4.95)	<b>4.37</b> (2.99-6.02)	<b>4.93</b> (3.28-6.82)
<b>6-hr</b>	<b>1.11</b> (0.912-1.34)	<b>1.33</b> (1.09-1.62)	<b>1.73</b> (1.42-2.11)	<b>2.11</b> (1.72-2.58)	<b>2.68</b> (2.14-3.44)	<b>3.17</b> (2.46-4.09)	<b>3.70</b> (2.77-4.86)	<b>4.28</b> (3.07-5.73)	<b>5.10</b> (3.52-6.98)	<b>5.77</b> (3.86-7.93)
<b>12-hr</b>	<b>1.33</b> (1.10-1.60)	<b>1.59</b> (1.32-1.92)	<b>2.06</b> (1.70-2.49)	<b>2.48</b> (2.04-3.01)	<b>3.12</b> (2.51-3.96)	<b>3.67</b> (2.86-4.68)	<b>4.25</b> (3.20-5.53)	<b>4.88</b> (3.53-6.49)	<b>5.78</b> (4.02-7.85)	<b>6.51</b> (4.39-8.88)
<b>24-hr</b>	<b>1.59</b> (1.33-1.91)	<b>1.89</b> (1.58-2.27)	<b>2.42</b> (2.01-2.90)	<b>2.89</b> (2.39-3.48)	<b>3.59</b> (2.89-4.50)	<b>4.17</b> (3.27-5.27)	<b>4.79</b> (3.63-6.17)	<b>5.45</b> (3.96-7.18)	<b>6.38</b> (4.46-8.59)	<b>7.12</b> (4.84-9.66)
<b>2-day</b>	<b>1.88</b> (1.57-2.23)	<b>2.22</b> (1.86-2.63)	<b>2.80</b> (2.34-3.34)	<b>3.32</b> (2.75-3.97)	<b>4.07</b> (3.29-5.04)	<b>4.68</b> (3.69-5.86)	<b>5.32</b> (4.06-6.79)	<b>6.00</b> (4.39-7.84)	<b>6.95</b> (4.89-9.28)	<b>7.70</b> (5.27-10.4)
<b>3-day</b>	<b>2.04</b> (1.72-2.41)	<b>2.42</b> (2.03-2.86)	<b>3.05</b> (2.56-3.62)	<b>3.61</b> (3.01-4.30)	<b>4.41</b> (3.57-5.43)	<b>5.06</b> (3.99-6.29)	<b>5.73</b> (4.38-7.27)	<b>6.43</b> (4.72-8.35)	<b>7.41</b> (5.23-9.84)	<b>8.18</b> (5.62-11.0)
<b>4-day</b>	<b>2.17</b> (1.83-2.56)	<b>2.57</b> (2.17-3.03)	<b>3.25</b> (2.73-3.84)	<b>3.83</b> (3.20-4.54)	<b>4.67</b> (3.78-5.72)	<b>5.34</b> (4.23-6.61)	<b>6.04</b> (4.62-7.63)	<b>6.77</b> (4.98-8.75)	<b>7.77</b> (5.51-10.3)	<b>8.56</b> (5.90-11.5)
<b>7-day</b>	<b>2.53</b> (2.14-2.96)	<b>2.95</b> (2.50-3.46)	<b>3.67</b> (3.10-4.31)	<b>4.29</b> (3.60-5.06)	<b>5.19</b> (4.23-6.33)	<b>5.92</b> (4.71-7.28)	<b>6.66</b> (5.14-8.38)	<b>7.45</b> (5.52-9.59)	<b>8.54</b> (6.09-11.2)	<b>9.39</b> (6.52-12.5)
<b>10-day</b>	<b>2.84</b> (2.41-3.31)	<b>3.28</b> (2.79-3.83)	<b>4.04</b> (3.41-4.72)	<b>4.69</b> (3.95-5.51)	<b>5.63</b> (4.61-6.83)	<b>6.39</b> (5.11-7.84)	<b>7.18</b> (5.55-8.99)	<b>8.01</b> (5.95-10.3)	<b>9.15</b> (6.55-12.0)	<b>10.0</b> (7.00-13.3)
<b>20-day</b>	<b>3.73</b> (3.19-4.32)	<b>4.26</b> (3.64-4.94)	<b>5.15</b> (4.39-5.98)	<b>5.92</b> (5.01-6.89)	<b>7.00</b> (5.75-8.40)	<b>7.86</b> (6.31-9.54)	<b>8.74</b> (6.80-10.8)	<b>9.65</b> (7.22-12.3)	<b>10.9</b> (7.86-14.2)	<b>11.9</b> (8.34-15.6)
<b>30-day</b>	<b>4.50</b> (3.86-5.18)	<b>5.13</b> (4.40-5.92)	<b>6.18</b> (5.28-7.14)	<b>7.05</b> (5.99-8.18)	<b>8.27</b> (6.80-9.85)	<b>9.21</b> (7.42-11.1)	<b>10.2</b> (7.93-12.5)	<b>11.1</b> (8.35-14.1)	<b>12.4</b> (8.99-16.1)	<b>13.4</b> (9.48-17.6)
<b>45-day</b>	<b>5.50</b> (4.73-6.31)	<b>6.29</b> (5.41-7.22)	<b>7.56</b> (6.48-8.70)	<b>8.60</b> (7.33-9.93)	<b>10.0</b> (8.24-11.8)	<b>11.1</b> (8.93-13.2)	<b>12.1</b> (9.46-14.8)	<b>13.1</b> (9.88-16.5)	<b>14.5</b> (10.5-18.6)	<b>15.5</b> (11.0-20.2)
<b>60-day</b>	<b>6.37</b> (5.50-7.29)	<b>7.31</b> (6.30-8.37)	<b>8.80</b> (7.57-10.1)	<b>9.99</b> (8.54-11.5)	<b>11.6</b> (9.54-13.6)	<b>12.7</b> (10.3-15.1)	<b>13.8</b> (10.8-16.8)	<b>14.9</b> (11.2-18.6)	<b>16.3</b> (11.8-20.8)	<b>17.2</b> (12.3-22.5)

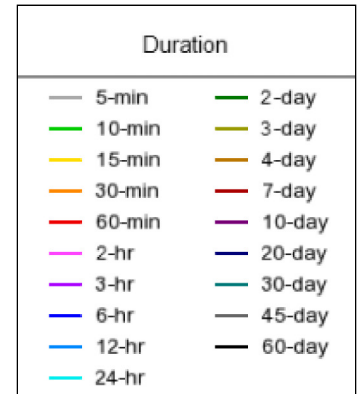
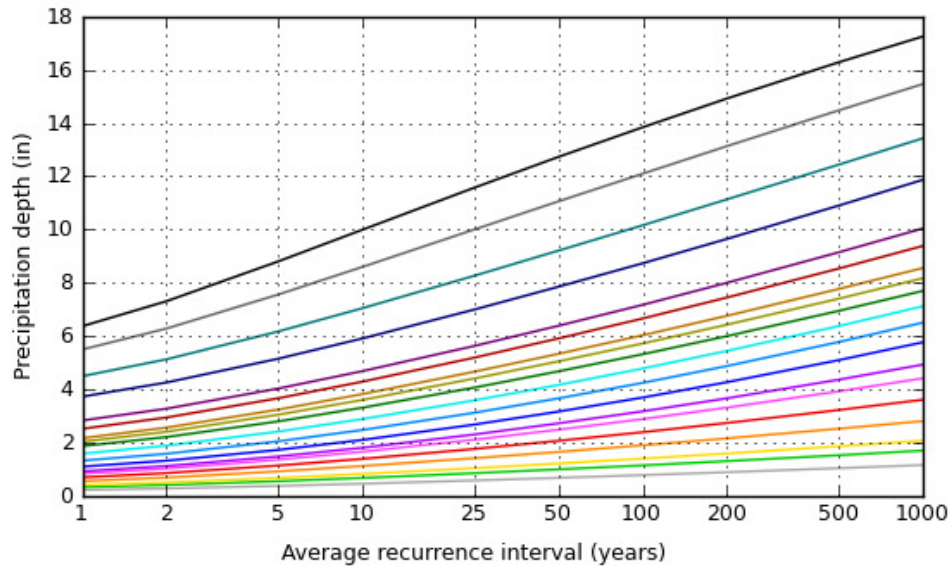
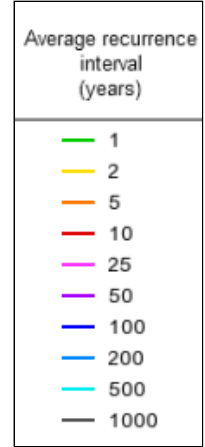
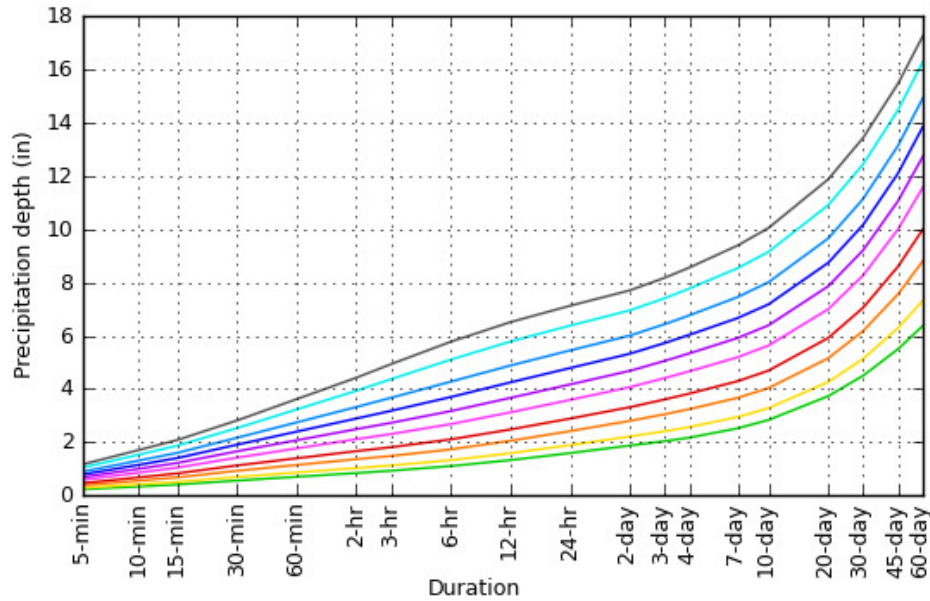
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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# PF graphical

Item 4.

PDS-based depth-duration-frequency (DDF) curves  
Latitude: 39.3562°, Longitude: -104.5986°

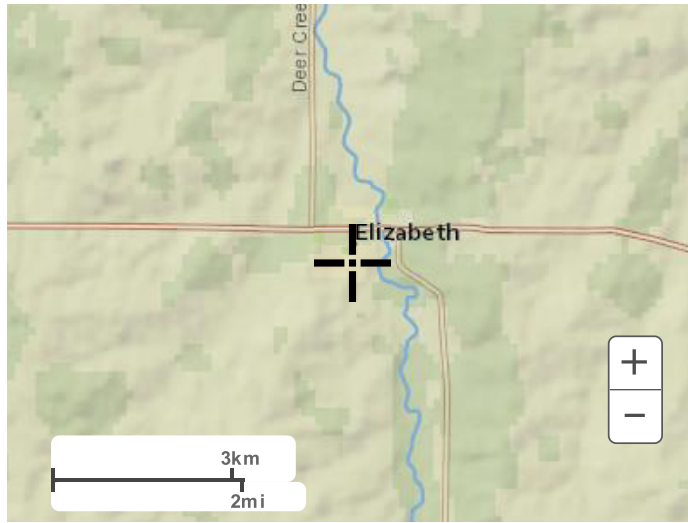


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## Maps & aerials

Small scale terrain

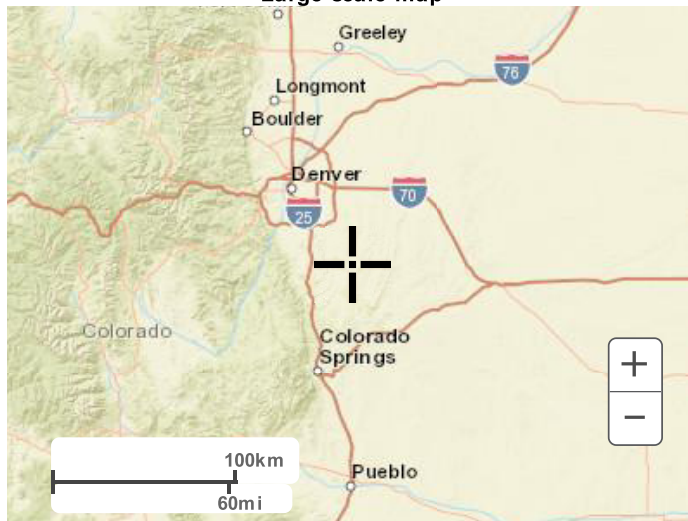
Item 4.



Large scale terrain

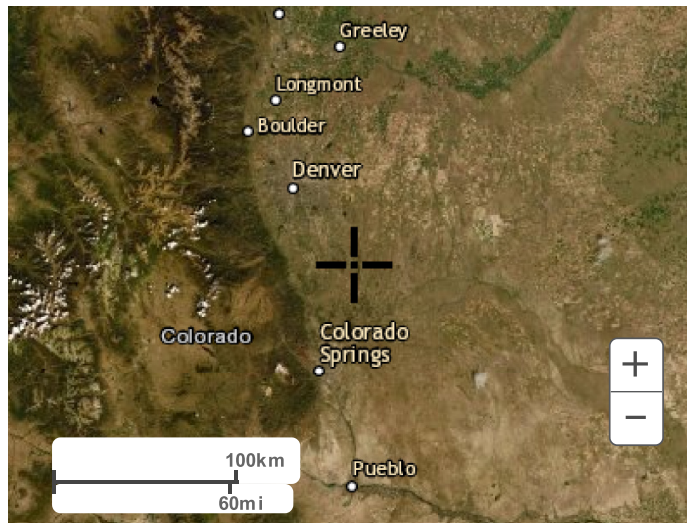


Large scale map



Large scale aerial

Item 4.



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[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
[National Water Center](#)  
1325 East West Highway  
Silver Spring, MD 20910  
Questions?: [HDSC.Questions@noaa.gov](mailto:HDSC.Questions@noaa.gov)

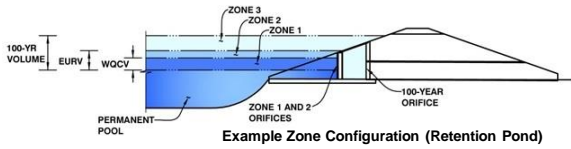
[Disclaimer](#)



## DETENTION BASIN OUTLET STRUCTURE DESIGN

*MHFD- Detention, Version 4.04 (February 2021)*

Project: \_\_\_\_\_  
Basin ID: \_\_\_\_\_



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	1.84	0.043	Orifice Plate
Zone 2 (EURV)	3.44	0.096	Orifice Plate
Zone 3 (100-year)	4.30	0.062	Weir (No Pipe)
<b>Total (all zones)</b>		<b>0.202</b>	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth =  ft (distance below the filtration media surface)  
Underdrain Orifice Diameter =  inches

Calculated Parameters for Underdrain  
Underdrain Orifice Area =  ft<sup>2</sup>  
Underdrain Orifice Centroid =  feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Invert of Lowest Orifice =  ft (relative to basin bottom at Stage = 0 ft)  
Depth at top of Zone using Orifice Plate =  ft (relative to basin bottom at Stage = 0 ft)  
Orifice Plate: Orifice Vertical Spacing =  inches  
Orifice Plate: Orifice Area per Row =  inches

Calculated Parameters for Plate  
WQ Orifice Area per Row =  ft<sup>2</sup>  
Elliptical Half-Width =  feet  
Elliptical Slot Centroid =  feet  
Elliptical Slot Area =  ft<sup>2</sup>

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	1.15	2.29					
Orifice Area (sq. inches)	0.30	0.32	0.32					
	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

Invert of Vertical Orifice =   ft (relative to basin bottom at Stage = 0 ft)  
Depth at top of Zone using Vertical Orifice =   ft (relative to basin bottom at Stage = 0 ft)  
Vertical Orifice Diameter =   inches

Calculated Parameters for Vertical Orifice  
Vertical Orifice Area =   ft<sup>2</sup>  
Vertical Orifice Centroid =   feet

User Input: Overflow Weir (Dropbox with Flat or Sloped Gate and Outlet Pipe OR Rectangular/Trapezoidal Weir (and No Outlet Pipe))

Overflow Weir Front Edge Height, H<sub>o</sub> =   ft (relative to basin bottom at Stage = 0 ft)  
Overflow Weir Bottom Length =   feet  
Overflow Weir Side Slopes =   H:V  
Horiz. Length of Weir Sides =   feet  
Overflow Grate Type =    
Debris Clogging % =   %

Calculated Parameters for Overflow Weir  
Height of Grate Upper Edge, H<sub>g</sub> =   feet  
Overflow Weir Slope Length =   feet  
Grate Open Area / 100-yr Orifice Area =    
Overflow Grate Open Area w/o Debris =   ft<sup>2</sup>  
Overflow Grate Open Area w/ Debris =   ft<sup>2</sup>

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

Depth to Invert of Outlet Pipe =   ft (distance below basin bottom at Stage = 0 ft)  
Circular Orifice Diameter =   inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate  
Outlet Orifice Area =   ft<sup>2</sup>  
Outlet Orifice Centroid =   feet  
Half-Central Angle of Restrictor Plate on Pipe =   radians

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage =  ft (relative to basin bottom at Stage = 0 ft)  
Spillway Crest Length =  feet  
Spillway End Slopes =  H:V  
Freeboard above Max Water Surface =  feet  
Spillway position relative to Overflow Weir =

Calculated Parameters for Spillway  
Spillway Design Flow Depth =  feet  
Stage at Top of Freeboard =  feet  
Basin Area at Top of Freeboard =  acres  
Basin Volume at Top of Freeboard =  acre-ft

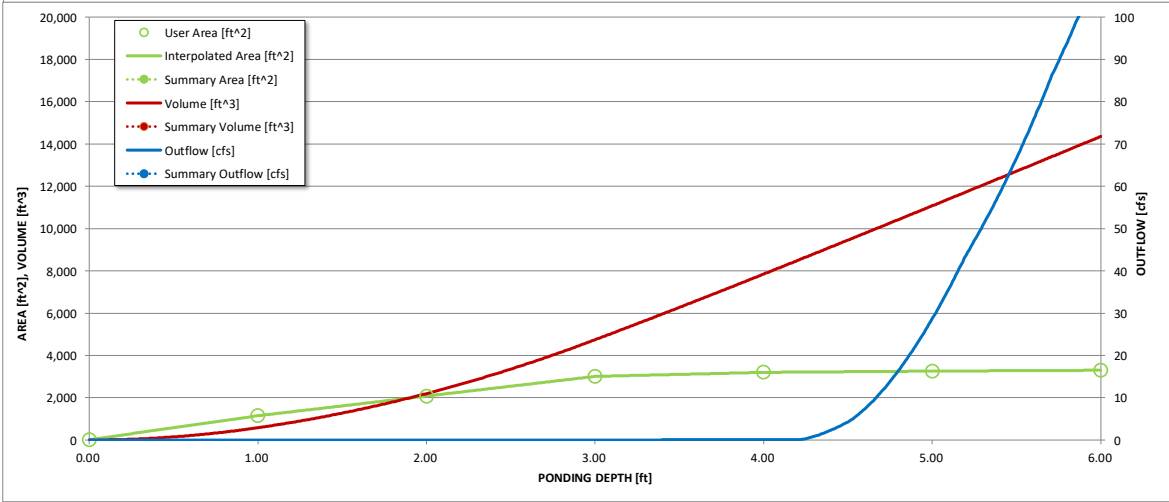
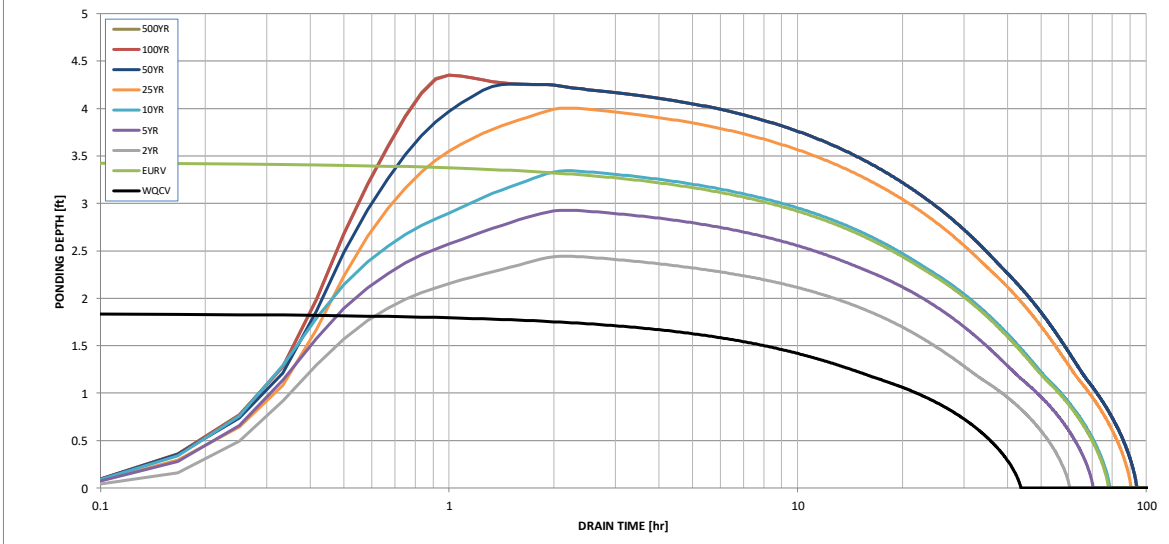
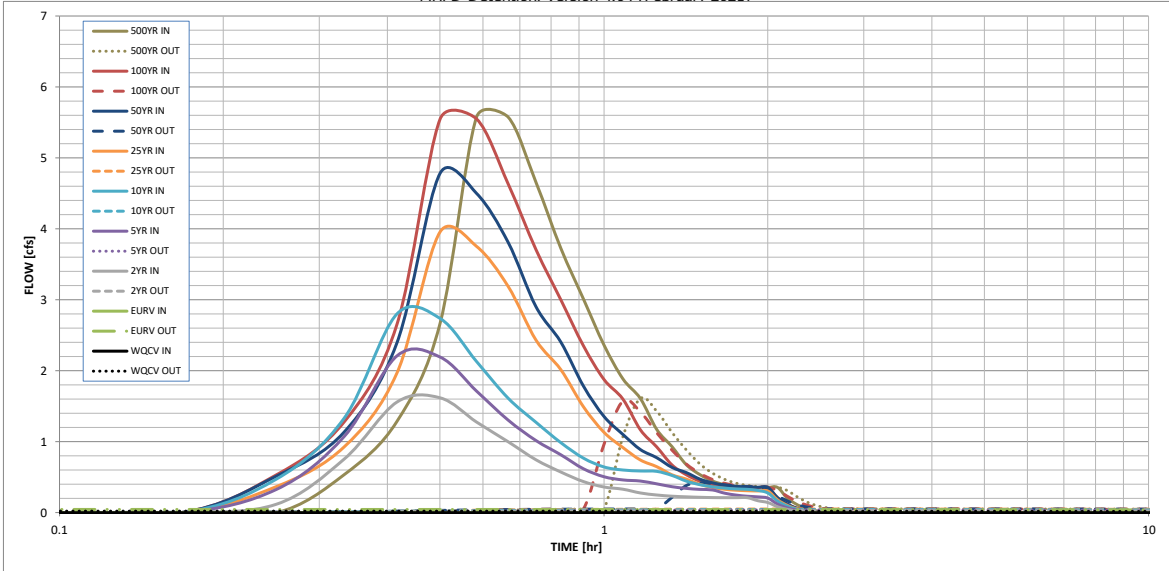
### Routed Hydrograph Results

*The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through AF).*

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	500 Year
Design Storm Return Period =									
One-Hour Rainfall Depth (in) =	N/A	N/A	0.86	1.15	1.40	1.77	2.07	2.40	2.41
CUHP Runoff Volume (acre-ft) =	0.043	0.139	0.078	0.110	0.139	0.188	0.226	0.270	0.271
Inflow Hydrograph Volume (acre-ft) =	N/A	N/A	0.078	0.110	0.139	0.188	0.226	0.270	0.271
CUHP Predevelopment Peak Q (cfs) =	N/A	N/A	0.0	0.1	0.4	1.2	1.7	2.2	2.3
OPTIONAL Override Predevelopment Peak Q (cfs) =	N/A	N/A							
Predevelopment Unit Peak Flow, q (cfs/acre) =	N/A	N/A	0.01	0.05	0.25	0.76	1.05	1.42	1.44
Peak Inflow Q (cfs) =	N/A	N/A	1.6	2.2	2.8	4.0	4.8	5.6	5.6
Peak Outflow Q (cfs) =	0.0	0.0	0.0	0.0	0.1	0.1	0.4	1.6	1.6
Ratio Peak Outflow to Predevelopment Q =	N/A	N/A	N/A	0.5	0.1	0.0	0.3	0.7	0.7
Structure Controlling Flow =	Plate	Plate	Plate	Plate	Plate	Plate	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1
Max Velocity through Gate 1 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	0.0	0.0	0.0
Max Velocity through Gate 2 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours) =	40	69	54	63	70	79	81	79	79
Time to Drain 99% of Inflow Volume (hours) =	42	74	58	67	75	85	88	87	87
Maximum Ponding Depth (ft) =	1.84	3.43	2.44	2.93	3.34	4.00	4.26	4.35	4.35
Area at Maximum Ponding Depth (acres) =	0.04	0.07	0.06	0.07	0.07	0.07	0.07	0.07	0.07
Maximum Volume Stored (acre-ft) =	0.043	0.139	0.074	0.103	0.133	0.180	0.199	0.206	0.206

## DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.04 (February 2021)



Calculation of Peak Runoff

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location:

Version 2.00 released May 2017

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

$$t_i = \frac{0.395(1.1 - C_s)\sqrt{L_i}}{S_i^{0.33}}$$

$$t_t = \frac{L_t}{60K\sqrt{S_t}} = \frac{L_t}{60V_t}$$

Computed  $t_c = t_i + t_t$

Regional  $t_c = (26 - 17i) + \frac{L_t}{60(14i + 9)\sqrt{S_t}}$

$t_{\text{minimum}} = 5$   
 $t_{\text{minimum}} = 10$   
 Selected  $t_c =$

Subcatchment Name	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C							Overland (Initial) Flow Time					Channel		
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	Overland Flow Length $L_i$ (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)	Overland Flow Slope $S_i$ (ft/ft)	Overland Flow Time $t_i$ (min)	Channelized Flow Length $L_c$ (ft)	U/S Elevation (ft) (Optional)	D/S Elevation (ft) (Optional)
DP1	0.19	B	85.0	0.50	0.54	0.58	0.66	0.69	0.73	0.77	50.00			0.020	5.72	150.00		
				0.51	0.53	0.56	0.64	0.67	0.71	0.76					5.79			
DP2	0.18	B	85.0	0.69	0.72	0.74	0.78	0.80	0.82	0.85	50.00			0.100	2.28	130.00		
				0.71	0.73	0.74	0.78	0.80	0.82	0.85					2.21			
DP3	1.36	B	85.0	0.69	0.72	0.74	0.78	0.80	0.82	0.85	50.00			0.040	3.09	320.00		
				0.71	0.74	0.75	0.79	0.81	0.83	0.85					2.91			
DP4	0.08	B	90.0	0.74	0.76	0.78	0.81	0.83	0.84	0.87	50.00			0.030	2.98	100.00		
				0.74	0.76	0.77	0.81	0.82	0.84	0.86					3.02			
DP5	1.57	B	80.0	0.64	0.67	0.70	0.75	0.77	0.80	0.83	50.00			0.020	4.34	120.00		
				0.67	0.69	0.71	0.75	0.78	0.80	0.83					4.16			

AT FINAL REPORT STAGE WE WILL NEED TO SEE A BREAKDOWN OF THESE VALUES (HOW WAS WEIGHTED "i" DETERMINED?)

So Noted.

**f using Rational Method**

(urban)  
(non-urban)

Select UDFCD location for NOAA Atlas 14 Rainfall Depths from the pulldown list OR enter your own depths obtained from the NOAA website (click this link)

1-hour rainfall depth, P1 (in) =

2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
0.86	1.15	1.40	1.77	2.07	2.40	3.23

max{t<sub>minimum</sub>, min(Computed t<sub>c</sub>, Regional t<sub>c</sub>)}

Rainfall Intensity Equation Coefficients =

a	b	c
28.50	10.00	0.786

$$I(in/hr) = \frac{a * P_1}{(b + t_c)^c}$$

Q(cfs) = CIA

Channelized (Travel) Flow Time				Time of Concentration			Rainfall Intensity, I (in/hr)							Peak Flow, Q (cfs)						
Channelized Flow Slope S <sub>i</sub> (ft/ft)	NRCS Conveyance Factor K	Channelized Flow Velocity V <sub>i</sub> (ft/sec)	Channelized Flow Time t <sub>t</sub> (min)	Computed t <sub>c</sub> (min)	Regional t <sub>c</sub> (min)	Selected t <sub>c</sub> (min)	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
0.060	15	3.67	0.68	6.41	15.51	6.41	2.73	3.64	4.43	5.60	6.54	7.59	10.21	0.26	0.37	0.49	0.70	0.86	1.05	1.50
				6.47		0.26	0.37	0.47	0.68	0.83	1.02	1.47								
0.080	15	4.24	0.51	2.79	11.92	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	0.36	0.50	0.64	0.85	1.01	1.20	1.67
				2.72		0.37	0.51	0.63	0.84	1.01	1.20	1.68								
0.050	20	4.47	1.19	4.28	12.69	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	2.75	3.81	4.80	6.39	7.66	9.09	12.62
				4.10		2.83	3.93	4.84	6.45	7.73	9.19	12.66								
0.030	20	3.46	0.48	3.46	11.15	5.00	2.93	3.90	4.75	6.00	7.02	8.14	10.96	0.17	0.24	0.30	0.39	0.47	0.55	0.76
				3.50		0.17	0.24	0.29	0.39	0.46	0.55	0.75								
0.020	20	2.83	0.71	5.05	13.10	5.05	2.92	3.89	4.74	5.99	7.00	8.12	10.93	2.95	4.11	5.22	7.06	8.51	10.17	14.22
				4.87		3.07	4.21	5.28	7.05	8.58	10.20	14.24								

# DRAINAGE BASINS

ONSITE RUNOFF TO POND	A1	5,859sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A2	7,244sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A3	30,270sf. 0.69ac.	.60ac.@100% impervious .09ac.@ 10% impervious
	A4	7,770sf. 0.18ac.	.15ac.@100% impervious .03ac.@ 10% impervious
	A5	8,253sf. 0.19ac.	.18ac.@100% impervious .01ac.@ 10% impervious
	A6	2,070sf. 0.05ac.	.05ac.@100% impervious
	A7	4,754sf. 0.11ac.	.01ac.@100% impervious .10ac.@ 10% impervious

OFFSITE TO POND	OS1	752sf. 0.02ac.	.01ac.@100% impervious .01ac.@ 10% impervious
	OS2	445sf. 0.01ac.	.01ac.@100% impervious
	OS3	287sf. 0.01ac.	.01ac.@ 10% impervious
	OS4	1,246sf. 0.03ac.	.02ac.@100% impervious .01ac.@ 10% impervious

BYPASS POND	B1	1,015sf. 0.02ac.	.02ac.@100% impervious
	B2	71sf. 0.01ac.	.01ac.@ 10% impervious
	C1	463sf. 0.01ac.	.005ac.@100% impervious .005ac.@10% impervious

## DESIGN POINTS

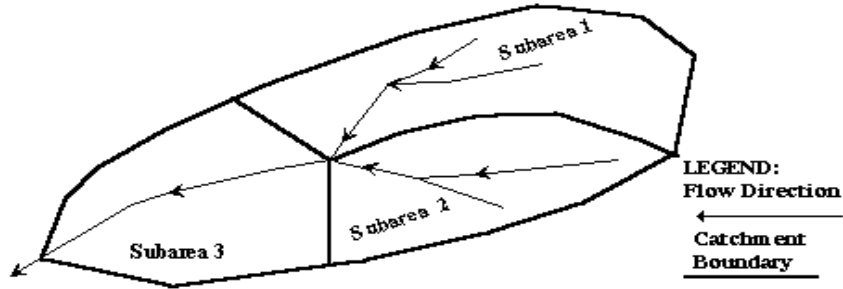
				5yr	10yr	100yr
▲	SIDEWALK CHASE BASIN A2 + OS1 = 7,997sf.	0.18ac.	▲	0.37	0.47	1.02
▲	CONCRETE PAN BASIN A4 = 7,770sf.	0.18ac.	▲	0.51	0.63	1.20
▲	TYPE R INLET BASIN A1+A2+A3+A4+A5+OS1+OS2+OS3= 59,396sf.	1.36ac.	▲	3.93	4.84	9.19
▲	SWALE INTO POND BASIN A6+OS4 = 2,709sf.	0.06ac.	▲	0.24	0.29	0.55
▲	OUTLET STRUCTURE BASINS A1 through A7+OS1 through OS4=68,343sf.	1.57ac.	▲	4.21	5.28	10.20

7.5" DEPTH  
@100YR

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP 1

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

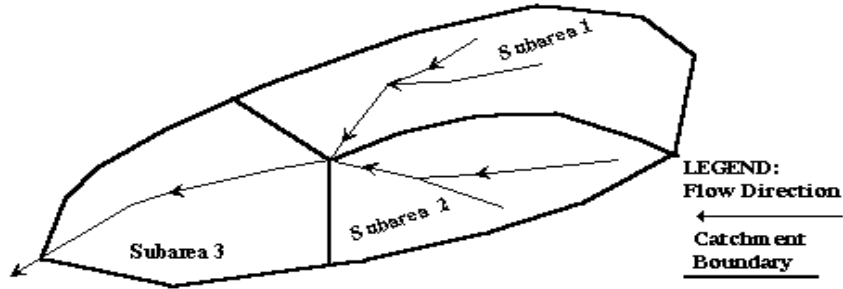
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
OS1	0.02	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A2	0.11	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
A2	0.06	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.19</b>			<b>0.51</b>	<b>0.53</b>	<b>0.56</b>	<b>0.64</b>	<b>0.67</b>	<b>0.71</b>	<b>0.76</b>
			<b>Area-Weighted C</b>	<b>0.51</b>	<b>0.53</b>	<b>0.56</b>	<b>0.64</b>	<b>0.67</b>	<b>0.71</b>	<b>0.76</b>
			<b>Area-Weighted Override C</b>	<b>0.51</b>	<b>0.53</b>	<b>0.56</b>	<b>0.64</b>	<b>0.67</b>	<b>0.71</b>	<b>0.76</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



<b>Subcatchment Name</b>
DP2

Cells of this color are for required user-input  
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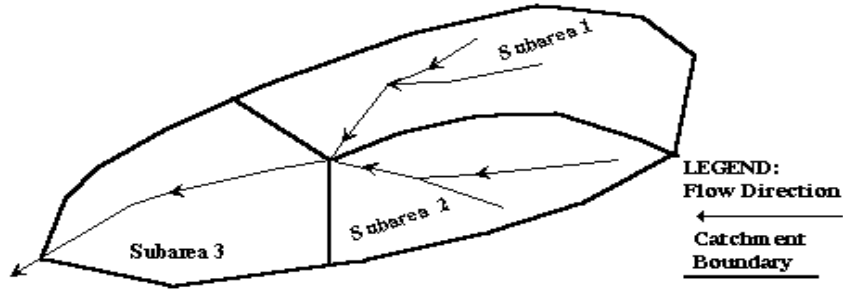
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A4	0.15	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.18</b>	<b>Area-Weighted C</b>		<b>0.71</b>	<b>0.73</b>	<b>0.74</b>	<b>0.78</b>	<b>0.80</b>	<b>0.82</b>	<b>0.85</b>
		<b>Area-Weighted Override C</b>		<b>0.71</b>	<b>0.73</b>	<b>0.74</b>	<b>0.78</b>	<b>0.80</b>	<b>0.82</b>	<b>0.85</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP3

Cells of this color are for required user-input  
 Cells of this color are for optional override values  
 Cells of this color are for calculated results based on overrides

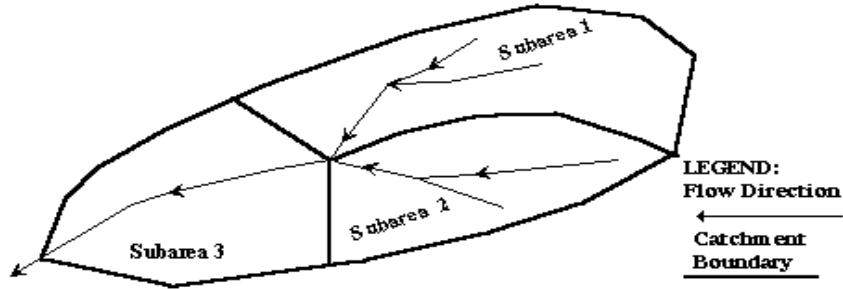
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A1	0.10	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A2	0.10	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A3	0.60	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.09	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
A4+A5	0.33	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.04	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
OS1-3	0.02	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.02	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>1.36</b>	<b>Area-Weighted C</b>		<b>0.71</b>	<b>0.74</b>	<b>0.75</b>	<b>0.79</b>	<b>0.81</b>	<b>0.83</b>	<b>0.85</b>
		<b>Area-Weighted Override C</b>		<b>0.71</b>	<b>0.74</b>	<b>0.75</b>	<b>0.79</b>	<b>0.81</b>	<b>0.83</b>	<b>0.85</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP4

Cells of this color are for required user-input  
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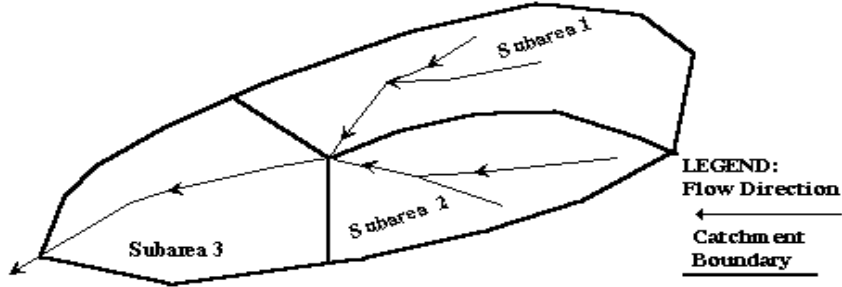
See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A6	0.05	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
OS4	0.02	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.01	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
<b>Total Area (ac)</b>	<b>0.08</b>			<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>
			<b>Area-Weighted C</b>	<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>
			<b>Area-Weighted Override C</b>	<b>0.74</b>	<b>0.76</b>	<b>0.77</b>	<b>0.81</b>	<b>0.82</b>	<b>0.84</b>	<b>0.86</b>

# Area-Weighted Runoff Coefficient Calculations

Version 2.00 released May 2017

Designer: pg  
 Company: canyon creek  
 Date: 10/18/2021  
 Project: elizabeth 44  
 Location: \_\_\_\_\_



Subcatchment Name
DP5

Cells of this color are for required user-input
Cells of this color are for optional override values
Cells of this color are for calculated results based on overrides

See sheet "Design Info" for imperviousness-based runoff coefficient values.

Sub-Area ID	Area (ac)	NRCS Hydrologic Soil Group	Percent Imperviousness	Runoff Coefficient, C						
				2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	500-yr
A BASINS	1.19	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.31	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
OS BASINS	0.04	B	100.0	0.84	0.86	0.86	0.88	0.89	0.89	0.90
	0.03	B	10.0	0.06	0.07	0.14	0.31	0.38	0.47	0.57
Total Area (ac)	1.57			0.67	0.69	0.71	0.75	0.78	0.80	0.83
			Area-Weighted C	0.67	0.69	0.71	0.75	0.78	0.80	0.83
			Area-Weighted Override C	0.67	0.69	0.71	0.75	0.78	0.80	0.83

Elizabeth 44  
 SIDEWALK CHASE AND CONCRETE SWALE

Sidewalk Chase DP #1		
A	0.33	FT2
P	1.6	FT
R	0.20625	
S	0.02	FT/FT
N	0.015	Conc.
Q	1.954967	CFS
V	5.924143	FPS
g	32.2	ft/s <sup>2</sup>
Top width	1	ft
D	0.33	ft
Fr	1.817359	**Protect Outlet

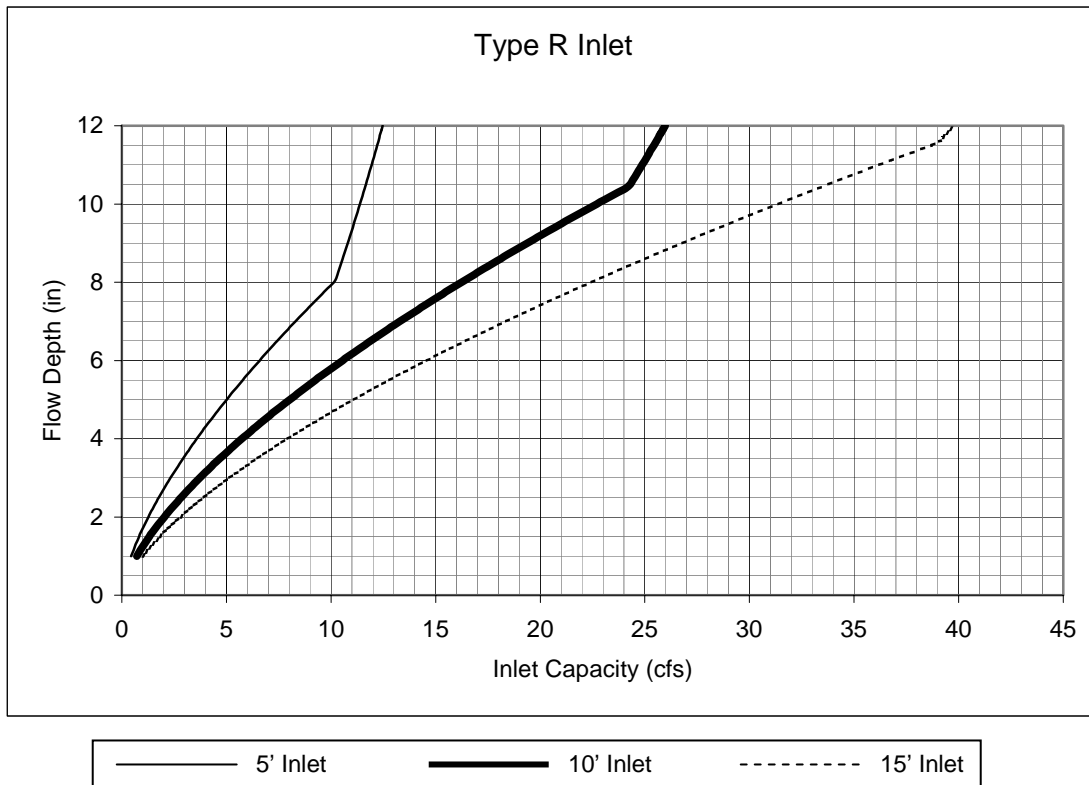
100YR = 1.5CFS

Townhome Drive Aisle DP #2 (3% Long. Slope)		
A	0.47	FT2
P	5	FT
R	0.094	
S	0.03	FT/FT
N	0.015	CONC
Q	2.019567	CFS
V	4.296951	FPS
g	32.2	ft/s <sup>2</sup>
Top width	21.22	ft
D	0.26	ft
Fr	1.485066	

100YR=1.67CFS

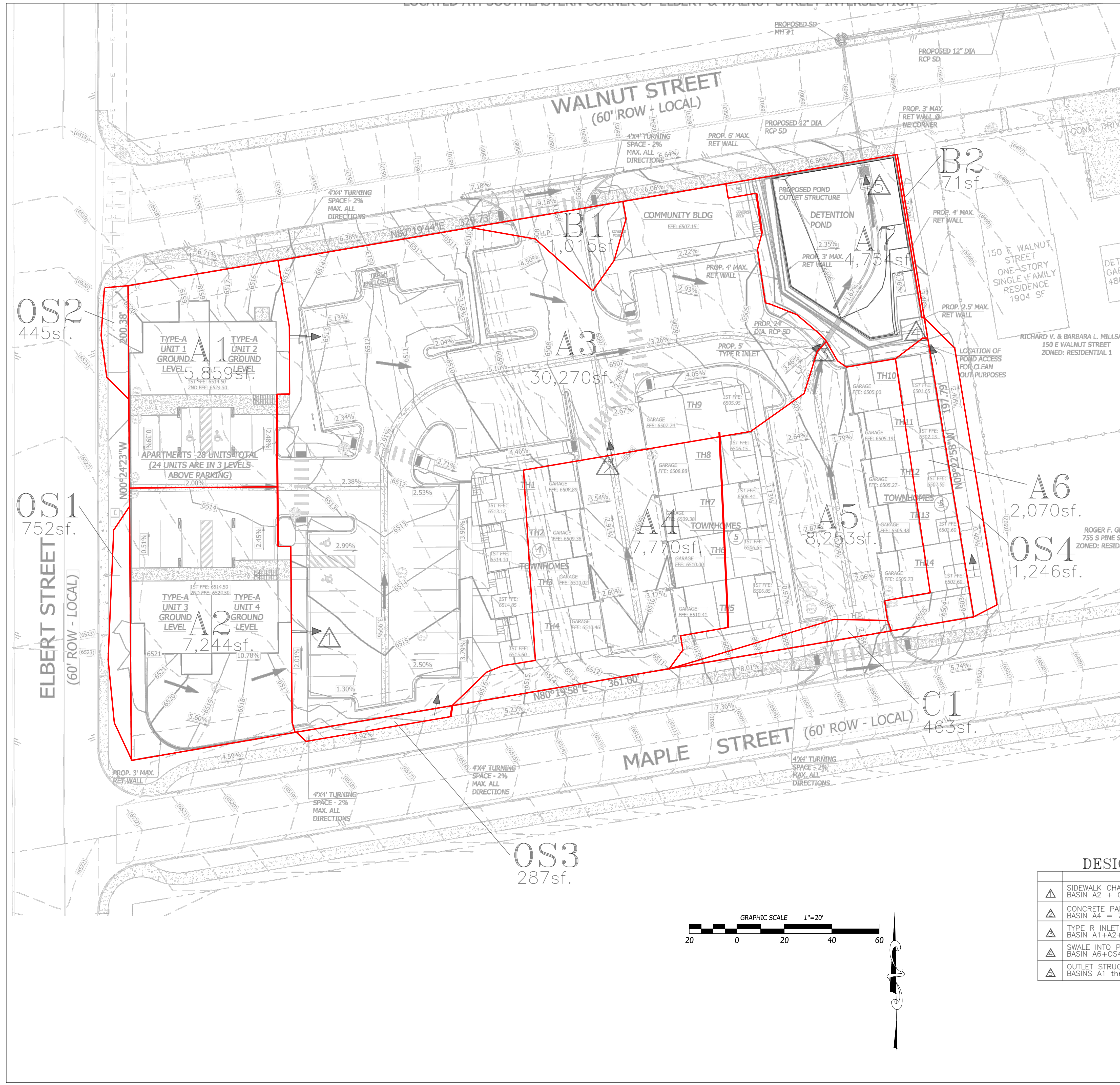
## Chapter 8. Inlets

**FIGURE 8-13, INLET CAPACITY CHART SUMP CONDITIONS**  
CURB OPENING (TYPE R) INLET



Notes:

1. The Douglas County standard inlet parameters must apply to use this chart.

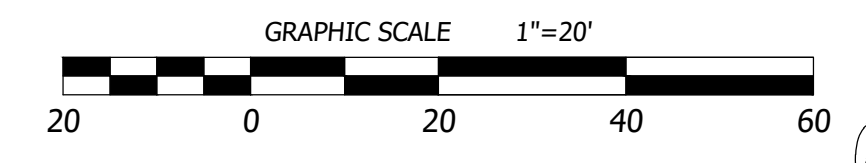


DRAINAGE BASINS			
ONSITE RUNOFF TO POND	A1	5,859sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A2	7,244sf. 0.13ac.	.10ac.@100% impervious .03ac.@ 10% impervious
	A3	30,270sf. 0.69ac.	.60ac.@100% impervious .09ac.@ 10% impervious
	A4	7,770sf. 0.18ac.	.15ac.@100% impervious .03ac.@ 10% impervious
	A5	8,253sf. 0.19ac.	.18ac.@100% impervious .01ac.@ 10% impervious
	A6	2,070sf. 0.05ac.	.05ac.@100% impervious
	A7	4,754sf. 0.11ac.	.01ac.@100% impervious .10ac.@ 10% impervious
OFFSITE TO POND	OS1	752sf. 0.02ac.	.01ac.@100% impervious .01ac.@ 10% impervious
	OS2	445sf. 0.01ac.	.01ac.@100% impervious
	OS3	287sf. 0.01ac.	.01ac.@ 10% impervious
	OS4	1,246sf. 0.03ac.	.02ac.@100% impervious .01ac.@ 10% impervious
BYPASS POND	B1	1,015sf. 0.02ac.	.02ac.@100% impervious
	B2	71sf. 0.01ac.	.01ac.@ 10% impervious
	C1	463sf. 0.01ac.	.005ac.@100% impervious .005ac.@10% impervious

ITS DIFFICULT TO SEE THE DRAINAGE BASIN BOUNDARIES ON THIS PLAN

Basins depicted in red lines now.

DESIGN POINTS		5yr	10yr	100yr	
△	SIDEWALK CHASE BASIN A2 + OS1 = 7,997sf.	0.18ac.	0.37	0.47	1.02
△	CONCRETE PAN BASIN A4 = 7,770sf.	0.18ac.	0.51	0.63	1.20
△	TYPE R INLET BASIN A1+A2+A3+A4+A5+OS1+OS2+OS3= 59,396sf.	1.36ac.	3.93	4.84	9.19
△	SWALE INTO POND BASIN A6+OS4 = 2,709sf.	0.06ac.	0.24	0.29	0.55
△	OUTLET STRUCTURE BASINS A1 through A7+OS1 through OS4=68,343sf.	1.57ac.	4.21	5.28	10.20



7.5" DEPTH @100YR

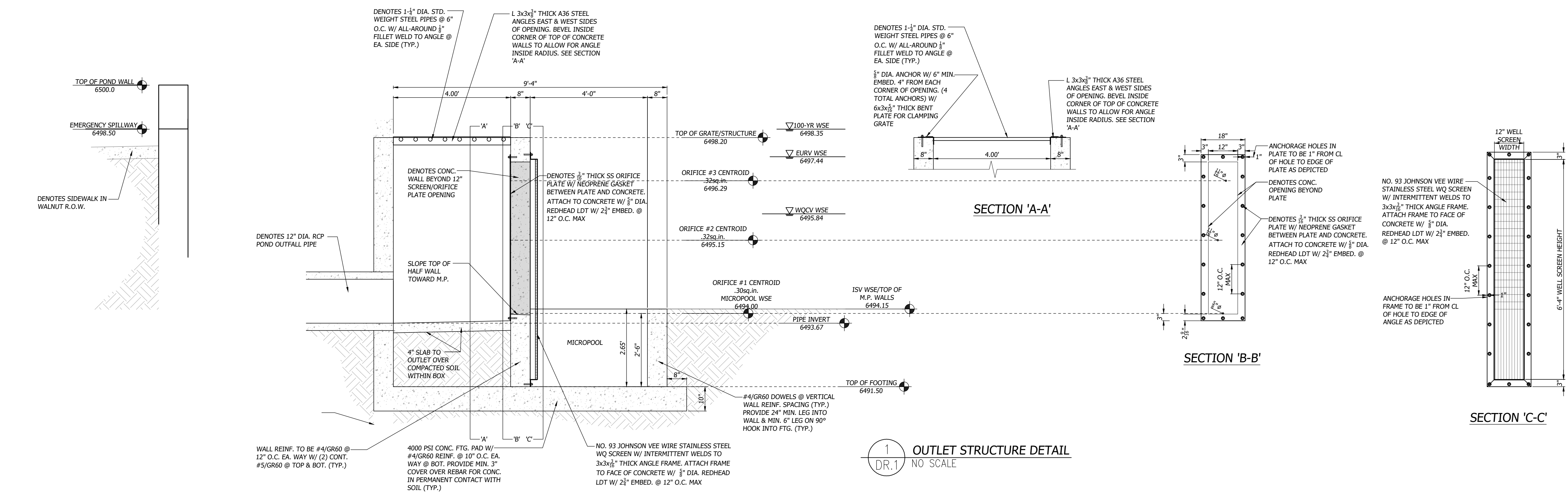
CIVIL PLANNING STRUCTURAL  
**CANYON CREEK ENGINEERING**  
 cce@canyoncreekeengineering.com  
 PO BOX 3072, PARKER, CO 80134 303.805.1803

PROJECT FOR:  
**ELIZABETH 44, LLC**

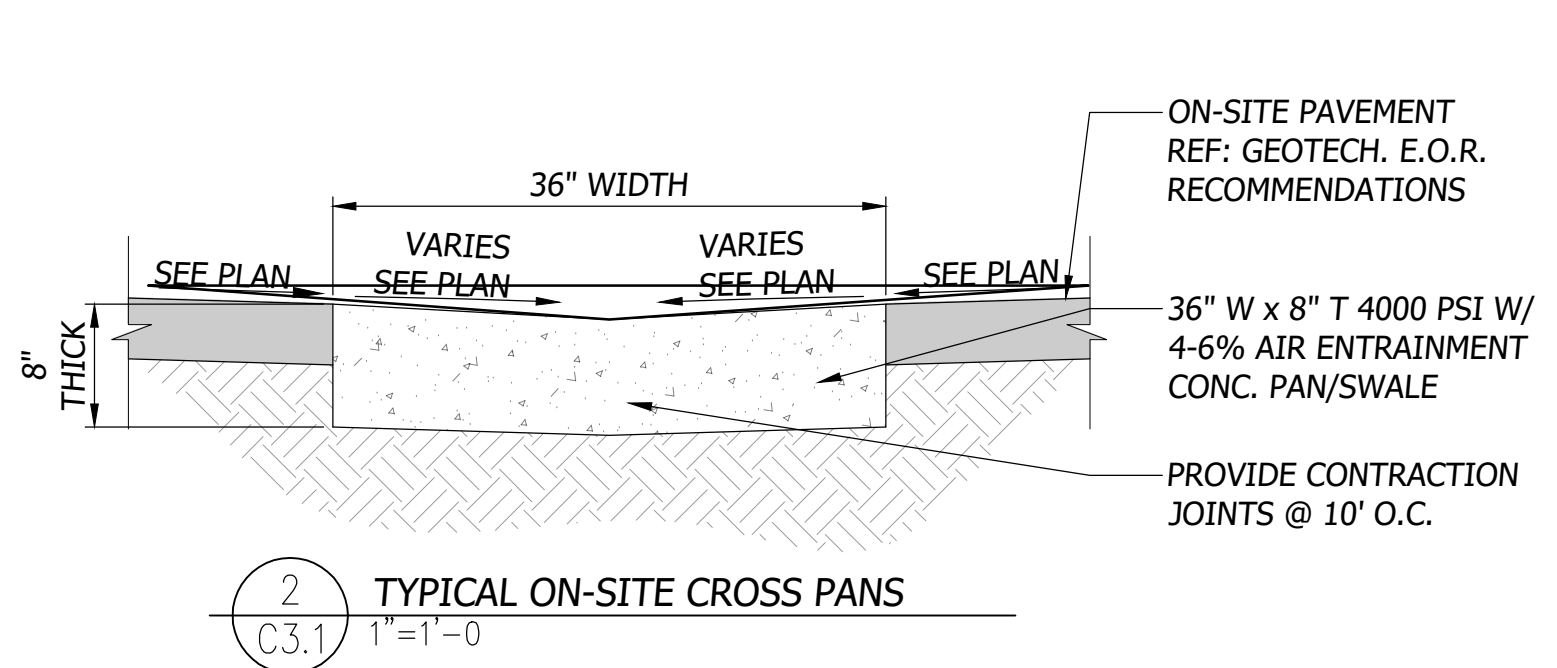
ON-SITE DRAINAGE SUBBASIN MAP  
 ELIZABETH 44 - FINAL DRAINAGE REPORT  
 ELBERT & WALNUT STREET INTERSECTION  
 ELIZABETH, COLORADO

DATE: 10-19-20

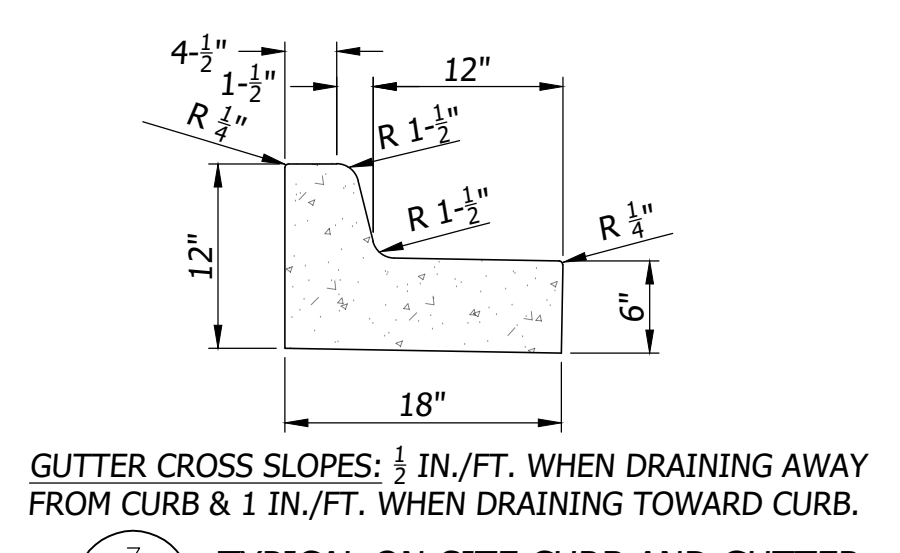
**DR.0**  
 1 OF 2



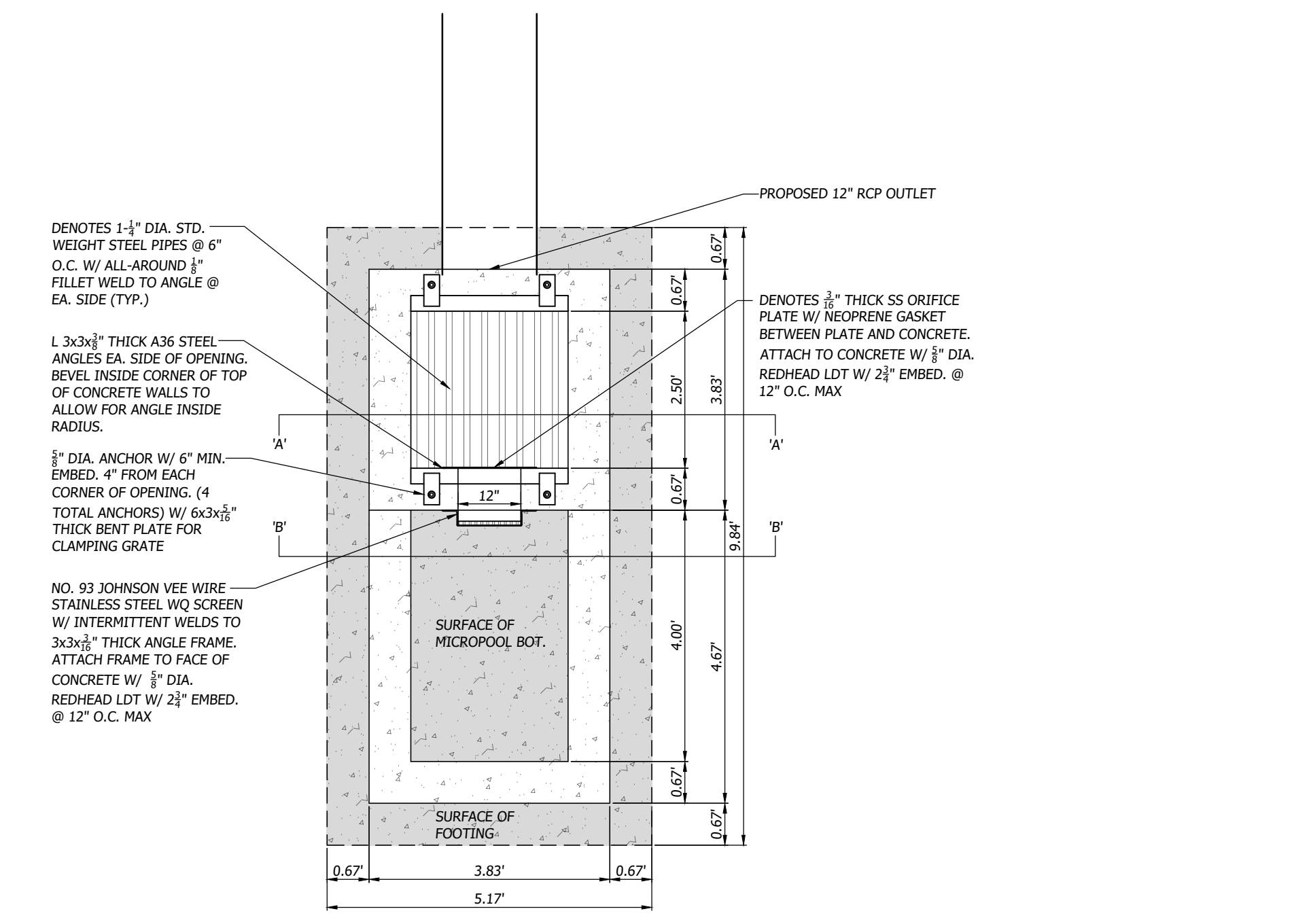
1 OUTLET STRUCTURE DETAIL  
DR.1 NO SCALE



2 TYPICAL ON-SITE CROSS PANS  
C3.1 1\"/>



3 TYPICAL ON-SITE CURB AND GUTTER  
C3.1 1\"/>



4 OUTLET STRUCTURE PLAN  
C3.1 1\"/>



February 2, 2023

Ms. Dianna Hiatt  
Community Development Administrative Assistant  
Town of Elizabeth  
151 S Banner Street  
Elizabeth, CO 80107

**RE: Walnut Grove – Sketch Plan Review**

Dear Ms. Hiatt

We have completed our review of the application to approve a Sketch Plan for the property at the Southeast corner of Walnut and Elbert Streets. Our comments are provided on the attached red lined plans, which (upon Town review) should be forwarded to the Applicant. We do note the following items of concern:

1. The Applicant submitted a "Final" Drainage Report which includes far more detailed technical information than what is provided with a Sketch Plan. The Report must be identified as a "Preliminary" Report.
2. It is unclear from the Sketch Plan if the Applicant is intending to utilize Dale Ct in any way. This should be made clear at this Sketch Plan phase.

Attached with this letter is a copy of the redlined plans for your reference. Should you have any questions, please feel free to contact me at (303) 730-5985 or by email at [mnuno@liveyourcore.com](mailto:mnuno@liveyourcore.com)

Sincerely,  
**CORE Consultants, Inc.**

A handwritten signature in blue ink, appearing to read "MN", with a long horizontal flourish extending to the right.

Manny Nuno, PE, CFM, LEED AP, CPESC  
Project Manager



3473 South Broadway  
Englewood, Colorado 80113  
303.703.4444  
**LIVEYOURCORE.CO**

# WALNUT GROVE SKETCH PLAN

A VACATION AND REPLAT OF LOTS 1-28 AND TRACTS A & B, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT  
PART OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 65 WEST, 6TH P.M.  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

**CCFE** Colorado Civil Engineering, LLC  
41435 County Rose Circle  
Parker, Colorado 80138  
303-708-1930

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-5708

**WALNUT GROVE**  
ELIZABETH, COLORADO

JOB NO. 1347  
DESIGN BY: OB  
ISSUE DATE: 01/03/2023

REVISIONS:  
1.)  
2.)  
3.)  
4.)

**SKETCH PLAN**  
**C 3**  
SHEET: 3 OF 3

### ZONING MAP

### ADJACENT PARCELS

### NOTES

- PEDESTRIAN MOVEMENT IS ALLOWED OVER AND ACROSS ALL SIDEWALKS WITHIN THIS PLAT.
- CONVEYANCE OF DRAINAGE IS ALLOWED OVER AND ACROSS ALL LOTS WITHIN THIS PLAT.
- LOT 3 - COMMUNITY CENTER BUILDING AND TRACT A - DETENTION POND ARE TO BE MAINTAINED EQUALLY BY LOTS 1 AND 2.
- ALL INTERNAL PRIVATE STREETS, SIDEWALKS (INCLUDING EXISTING DALE COURT), ALL FRONTAGE LANDSCAPING AND IRRIGATION AND SITE LANDSCAPING ARE TO BE MAINTAINED BY THE PERTINENT LOT.
- EXISTING DALE COURT (R.O.W.) SHALL BE UTILIZED FOR PUBLIC PEDESTRIAN SIDEWALK AND DRAINAGE SWALE AND SHALL BE MAINTAINED EQUALLY BETWEEN LOTS 1 AND 2.

### TOWN OF ELIZABETH APPROVALS

RECOMMENDED FOR APPROVAL BY THE ELIZABETH PLANNING COMMISSION TO THE BOARD OF TRUSTEES THE \_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

CHAIR \_\_\_\_\_ ATTEST: TOWN CLERK \_\_\_\_\_

APPROVED BY THE ELIZABETH BOARD OF TRUSTEES THE \_\_\_\_ DAY OF \_\_\_\_\_, 2022, A.D.

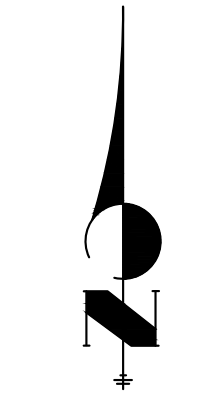
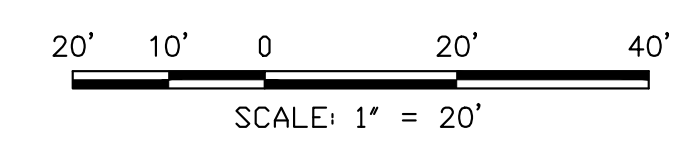
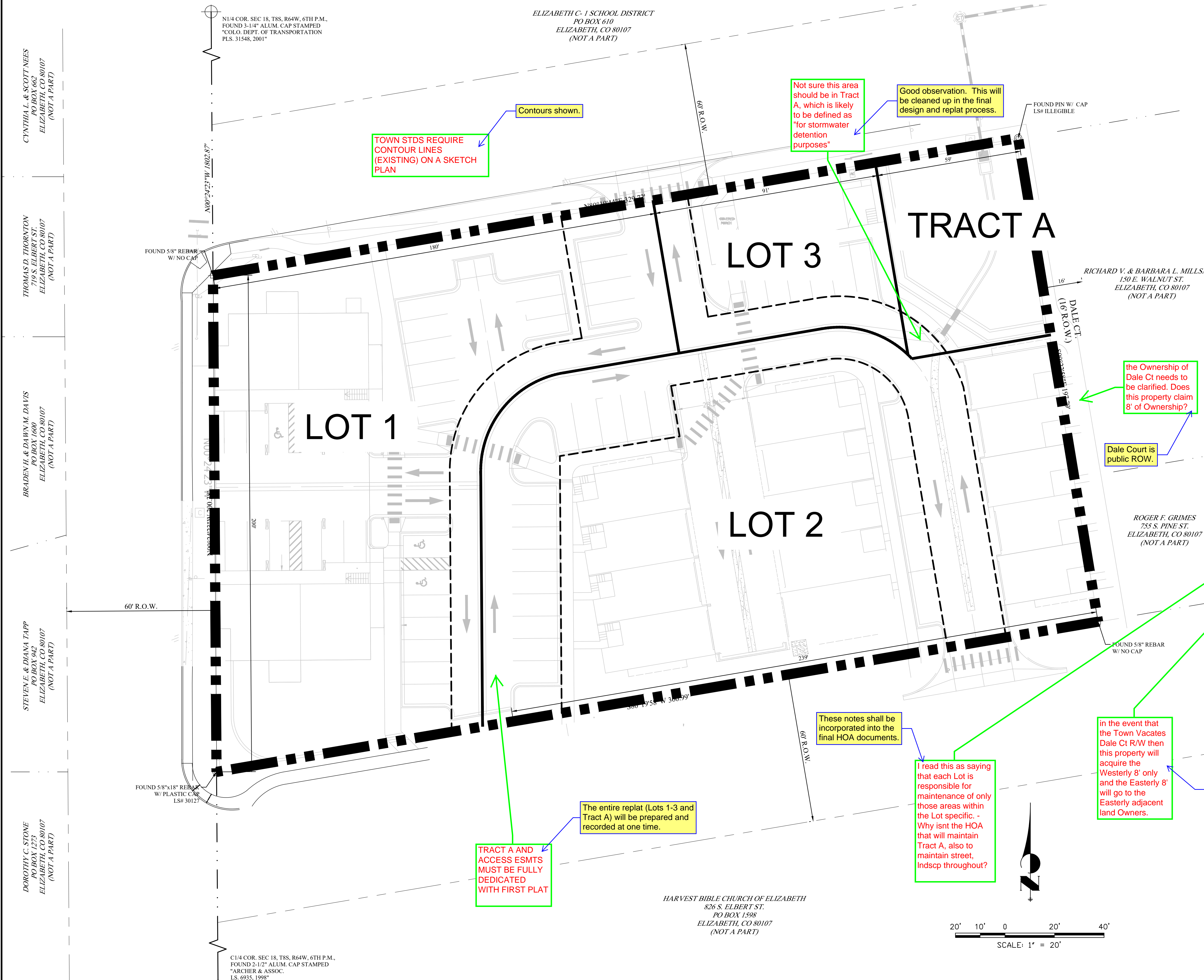
\_\_\_\_\_  
ATTEST: TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE:

STATE OF COLORADO )  
  ) SS  
COUNTY OF ELBERT )

I HEREBY CERTIFY THAT THIS PD REZONE AND SITE PLAN MAP WAS FILED IN MY OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022, A.D. AT \_\_\_\_\_ AM/PM, AND WAS RECORDED PER RECEPTION NUMBER \_\_\_\_\_.

\_\_\_\_\_  
CLERK AND RECORDER



N1/4 COR. SEC 18, T8S, R64W, 6TH P.M.  
FOUND 3-1/4" ALUM. CAP STAMPED  
\*COLO. DEPT. OF TRANSPORTATION  
P.L.S. 31548, 2001\*

ELIZABETH C-1 SCHOOL DISTRICT  
PO BOX 610  
ELIZABETH, CO 80107  
(NOT A PART)

RICHARD V. & BARBARA L. MILLSAPPS  
150 E. WALNUT ST.  
ELIZABETH, CO 80107  
(NOT A PART)

ROGER F. GRIMES  
755 S. PINE ST.  
ELIZABETH, CO 80107  
(NOT A PART)

HARVEST BIBLE CHURCH OF ELIZABETH  
826 S. ELBERT ST.  
PO BOX 1598  
ELIZABETH, CO 80107  
(NOT A PART)

C1/4 COR. SEC 18, T8S, R64W, 6TH P.M.  
FOUND 2-1/2" ALUM. CAP STAMPED  
\*ARCHER & ASSOC.  
L.S. 6935, 1998\*

CYNTHIA L. & SCOTT NEES  
ELIZABETH, CO 80107  
(NOT A PART)

THOMAS D. THORNTON  
ELIZABETH, CO 80107  
(NOT A PART)

BRIDEN H. & DAHNA M. DAVIS  
ELIZABETH, CO 80107  
(NOT A PART)

STEVEN E. & DIANA M. TAPP  
ELIZABETH, CO 80107  
(NOT A PART)

DOROTHY C. STONE  
ELIZABETH, CO 80107  
(NOT A PART)



Elizabeth Fire Protection District

155 West Kiowa Ave.  
 Elizabeth, CO 80107  
 (303) 646-3800

**Inv** Item 4.

Date	Invoice #
2/2/2023	123-274

Bill To
Unibuilders 2200 S Jasmin St Unit 109 Denver, CO 80222

Description	Amount
Walnut Grove Sketch Plan	142.00
<p>Elizabeth Fire Protection District is pleased to announce that we are now able to take payments online. By working with the Colorado Statewide Internet Portal Authority (SIPA) on their secured platform, you can click on the link below to make your payment with a credit card or e-check. Credit cards accepted are American Express, Discover, Mastercard, and Visa. A portal administration fee for credit card payments or electronic check payments will be charged and retained by the Portal, not Elizabeth Fire Protection District. A convenience fee of \$1 will be charged for payments made using an electronic check regardless of the transaction amount.</p> <p>The convenience fee for credit cards are as follows: the amount of the (payment + \$.75 x 2.25%) + \$.75            Please click on this link to make a payment <a href="https://secure.colorado.gov/payment/elizabethfirescue">https://secure.colorado.gov/payment/elizabethfirescue</a></p>	
<b>Total</b>	<b>\$142.00</b>

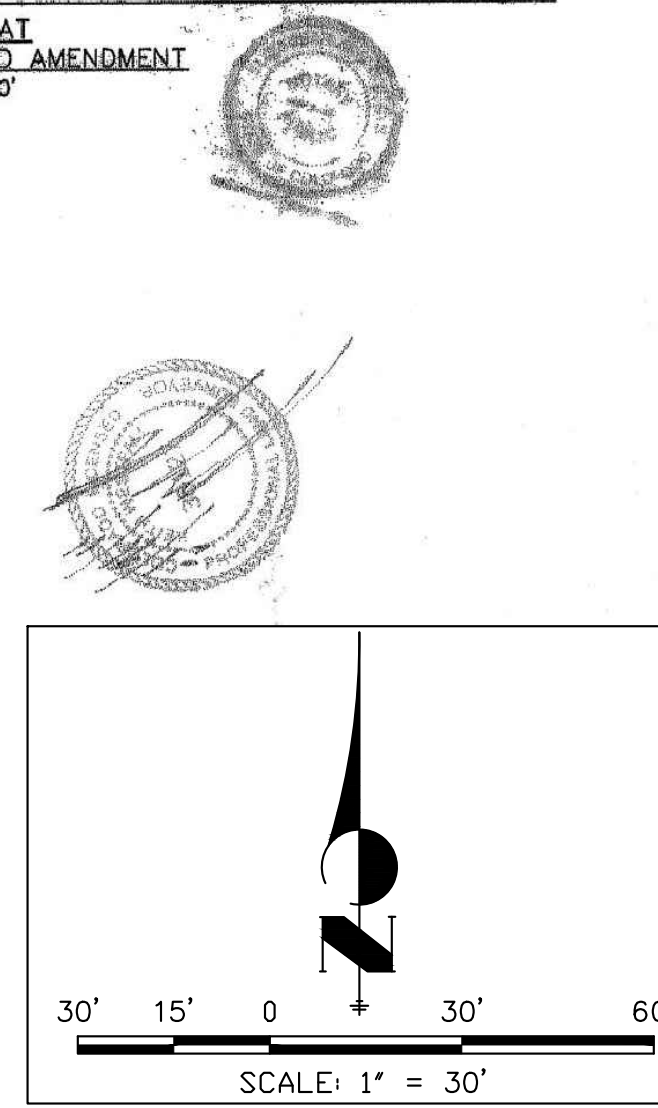
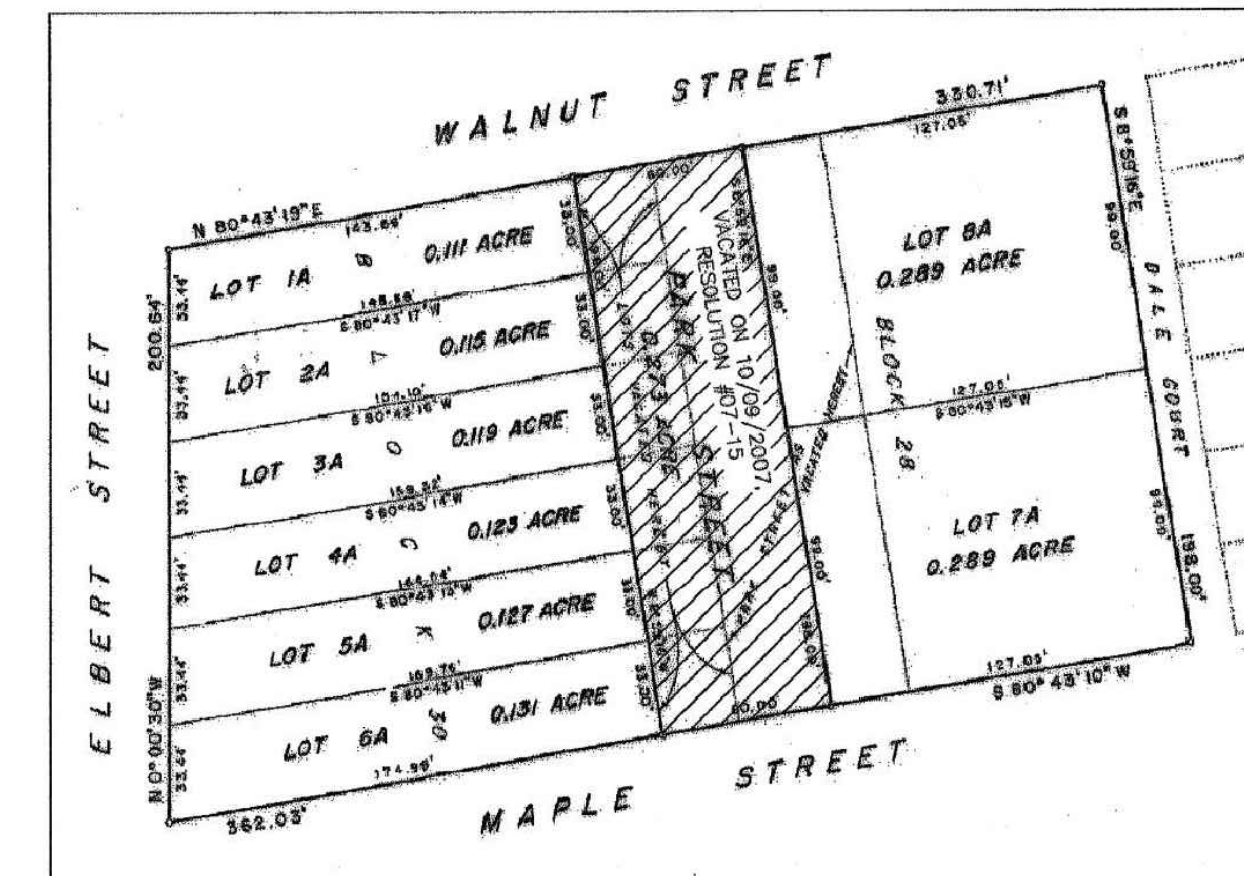
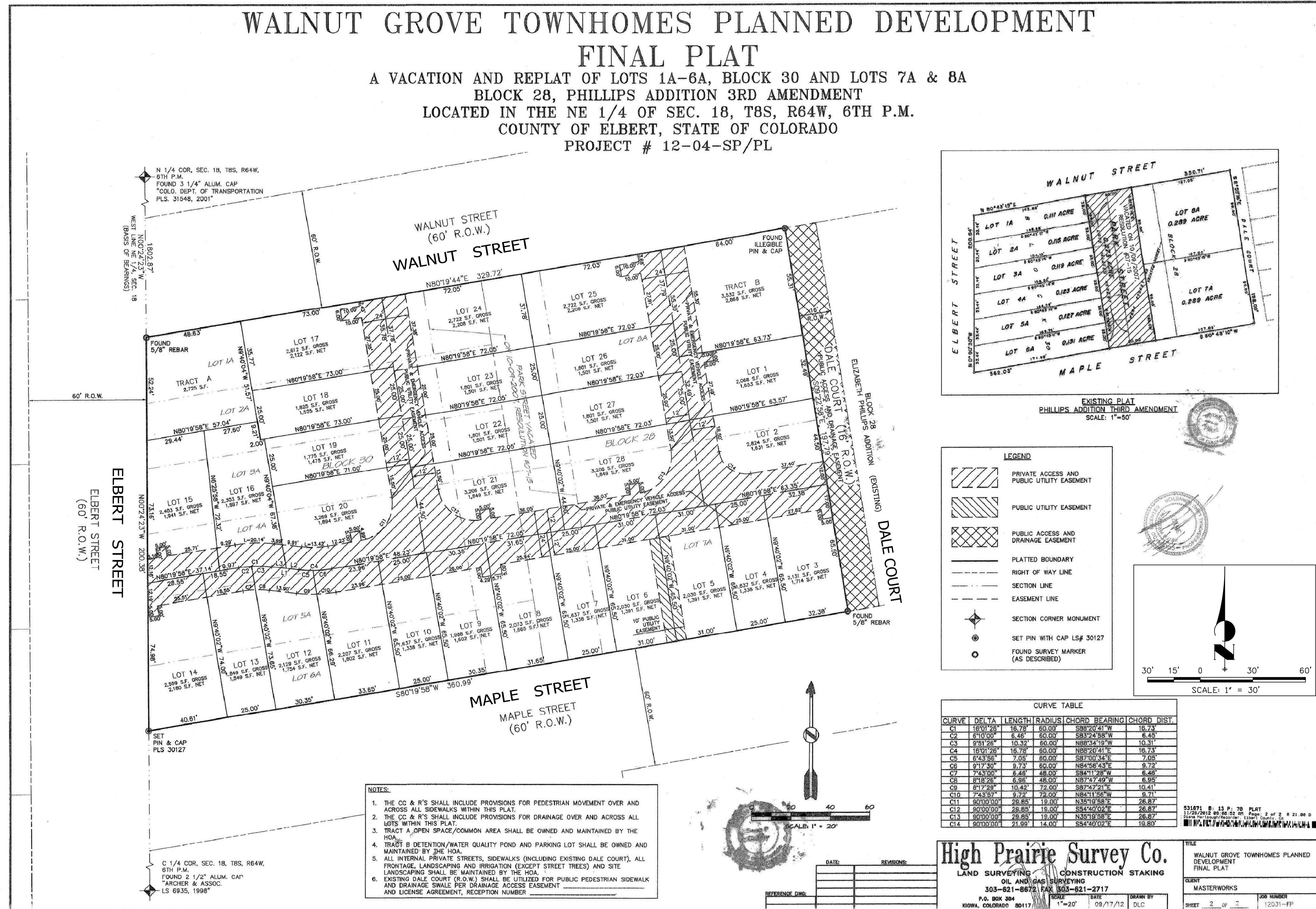


# WALNUT GROVE PRELIMINARY PLAN

A VACATION AND REPLAT OF LOTS 1-28 AND TRACTS A & B, WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT  
PART OF SECTION 18, TOWNSHIP 8 SOUTH, RANGE 65 WEST, 6TH P.M.  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO

## WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT FINAL PLAT

A VACATION AND REPLAT OF LOTS 1A-6A, BLOCK 30 AND LOTS 7A & 8A  
BLOCK 28, PHILLIPS ADDITION 3RD AMENDMENT  
LOCATED IN THE NE 1/4 OF SEC. 18, T8S, R64W, 6TH P.M.  
COUNTY OF ELBERT, STATE OF COLORADO  
PROJECT # 12-04-SP/PL



**CURVE TABLE**

CURVE	DELTA	LENGTH	RADIUS	CHORD BEARING	CHORD DIST.
C1	16°01'26"	16.78'	60.00'	S89°20'41"W	16.73'
C2	8°10'07"	8.48'	60.00'	S83°45'58"W	8.45'
C3	9°51'26"	10.32'	60.00'	N88°34'19"W	10.31'
C4	16°01'26"	16.78'	60.00'	N89°20'41"E	16.73'
C5	8°43'56"	7.05'	60.00'	S87°02'34"E	7.05'
C6	9°17'30"	9.73'	60.00'	N84°58'43"E	9.72'
C7	7°43'00"	6.48'	48.00'	S84°11'28"W	6.48'
C8	8°19'26"	6.98'	48.00'	N87°47'49"W	6.95'
C9	8°17'23"	6.92'	48.00'	S87°47'22"E	6.91'
C10	7°43'57"	9.72'	72.00'	N84°11'56"W	9.71'
C11	9°00'00"	26.85'	18.00'	N35°19'58"E	26.87'
C12	9°00'00"	26.85'	18.00'	S84°40'02"E	26.87'
C13	9°00'00"	26.85'	18.00'	N35°19'58"E	26.87'
C14	9°00'00"	21.89'	14.00'	S84°40'02"E	19.80'

**High Prairie Survey Co.**  
LAND SURVEYING CONSTRUCTION STAKING  
OIL AND GAS SURVEYING  
303-621-8672 FAX 303-621-2717  
P.O. BOX 364 NIOWA, COLORADO 80117  
SCALE: 1"=20' DATE: 09/17/12 DRAWN BY: DLG SHEET: 2 OF 2 JOB NUMBER: 12031-FP

**EXISTING PLAT  
WALNUT GROVE TOWNHOMES PLANNED DEVELOPMENT**  
BY HIGH PRAIRIE SURVEY CO  
RECEPTION #531671, BOOK 13, PAGE 70  
TOWN OF ELIZABETH, COUNTY OF ELBERT, STATE OF COLORADO  
RECORDED NOVEMBER 28, 2012

Item 4  
**CCFE** Colorado Civil Engineering, LLC  
41435 County Rose Circle  
Parker, Colorado 80138  
303-708-1930

PREPARED FOR:  
UNBUILDERS  
2200 S JASMINE ST UNIT 109  
DENVER, CO 80222-3708

**WALNUT GROVE  
ELIZABETH, COLORADO**

JOB NO. 1347  
DESIGN BY: OB  
ISSUE DATE: 12/22/2022

REVISIONS:

1.)	
2.)	
3.)	
4.)	

EXISTING  
RECORDED  
PLAT

**P 2**  
SHEET: 2 OF 2

B13 Pg. 70-2