



# CITY COUNCIL REGULAR MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Tuesday, February 15, 2022 at 6:30 PM

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## AGENDA

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**Welcome!** We are very glad you have joined us for today's Council meeting. If you are not on the agenda, please complete an appearance form and hand it to the City Clerk. When you are recognized, state your name and address. The Council is pleased to hear relevant comments; however, **a five (5) minute limit** has been set by Council. Large groups are asked to name a spokesperson. **Robert's Rules of Order** guide the conduct of the meeting. **Please silence all cellular phones and pagers during the meeting.** Thank you for participating in your City Government.

**A. CALL TO ORDER**

**B. INVOCATION & PLEDGE OF ALLEGIANCE**

**C. ROLL CALL & DETERMINATION OF QUORUM**

**D. PRESENTATION OF PROCLAMATION**

**E. APPROVAL OF MINUTES**

[1.](#) January 18, 2021 City Council Meeting Minutes (Pages 3-17)

**F. CONSENT AGENDA**

**G. ORDINANCES**

**H. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)**

**I. UNFINISHED BUSINESS**

**J. NEW BUSINESS**

[1.](#) 2021-22 1st Quarter Budget Amendment (Pages 18-21)

[2.](#) Discussion Item: Code Section 110-2(g) Impact Fee Payment Exemptions (Pages 22-23)

**K. GENERAL INFORMATION**

**L. CITIZEN COMMENTS**

**M. BOARDS & COMMITTEES**

[1.](#) January 10, 2022 Planning and Zoning Report - Special Exception 2021-01 (Page 24)

- [2.](#) Special Exception 2021-01  
1078 Harbour Island Rd. Guest Cottage (Pages 25-50)

**N. STAFF REPORTS**

City Attorney Smith

Police Chief Freeburg

- [1.](#) January 2022 Report (Page 51)

Interim City Clerk Riffle

**O. MAYOR AND CITY COUNCIL REPORTS**

Mayor Dowless

Council Member Chotas

Council Member Pierce

Council Member Rader

Council Member Lomas

Council President Horn

**P. ADJOURNMENT**

**UPCOMING MEETINGS**

Monday, March 14, 2022.....Planning and Zoning  
 Tuesday, March 15, 2022.....City Council

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**Meeting Records Request**

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You are welcome to attend and express your opinion. Please be advised that **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made.

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**Americans with Disabilities Act**

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In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



**City Council Meeting Draft Minutes  
January 18, 2022 at 6:30 pm**

**CALL TO ORDER – INVOCATION & PLEDGE OF ALLEGIANCE**

Council President Pro-Tem Pierce called the meeting to order at 6:30 by leading everyone in the Pledge of Allegiance.

**ROLL CALL & DETERMINATION OF QUORUM**

Deputy City Clerk Riffle announced there was a quorum. Council President Horn could not attend and requested to be excused.

President Pro-Tem Pierce made a motion to excuse Council President Horn; seconded by Councilmember Rader. The motion was approved (4/0).

**Attendees**

- John Dowless, Mayor
- Ben Pierce, Council President Pro-Tem
- Lee Chotas, Council Member
- Susan Lomas, Council Member
- Chris Rader, Council Member

**Absent**

- Richard Alan Horn, Council President

**Staff**

- Bea Meeks, City Clerk
- Sandra Riffle, Deputy City Clerk
- John Freeburg, Police Chief
- Shannon Patterson, Police Dept. Chief of Staff
- Stacey Salemi, Code Compliance Officer
- City Attorney, Drew Smith
- Ellen Hardgrove, AICP City Planner
- Allen Lane, P.E. CPH City Engineer
- Jim Winter, RLA, CLARB, CPH Landscape Architect

**PRESENTATIONS**

- **School Choice Week Proclamation**  
A proclamation was issued to recognize January 23 - 29, 2022 as School Choice Week.
- **Lt. Frank D. Harrison Proclamation**  
Mayor Dowless read a proclamation honoring World War II Veteran and Edgewood resident Lt. Frank D. Harrison in honor of his 100<sup>th</sup> birthday.

• **Presentations to City Clerk Bea Meeks**

- Pat Burke, FACC District Director, addressed Council and presented FACC Resolution 2021-12 to City Clerk Meeks to congratulate her on her retirement and recognize her career and service over the years.
- Chief Freeburg presented City Clerk Meeks with a plaque of appreciation from the Edgewood Police Department.
- Mayor Dowless read Resolution 2022-02 and declared January 28, 2022 to be Bea Meeks Day.

*Council President Pro-Tem Pierce made a motion to approve Resolution 2022-02; seconded by Councilmember Chotas. The motion was approved (4/0).*

A roll call vote was taken.

Councilmember Chotas	Favor
Councilmember Pierce	Favor
Councilmember Rader	Favor
Councilmember Lomas	Favor
Council President Horn	Absent

**APPROVAL OF MINUTES**

- December 21, 2021, City Council Meeting Minutes

*Councilmember Chotas made a motion to approve the December 21, 2021 meeting minutes as presented; seconded by Councilmember Rader. The motion was approved (4/0).*

**CONSENT AGENDA**

- **Resolution 2022-01 Orange County Local Mitigation Strategy**  
Attorney Smith read Resolution 2022-01 in title only.
- **Recommendation for Deputy City Clerk Riffle to Interim Clerk**

There was no public comment for the Consent Agenda.

*Councilmember Chotas made a motion to approve both items on the Consent Agenda; seconded by Councilmember Rader. The motion was approved (4/0).*

**PUBLIC HEARINGS (Ordinances – Second Readings & Related Action)**

None

**UNFINISHED BUSINESS**

None

**NEW BUSINESS**

Business for the Canvassing Board was pulled from the agenda as there will be no municipal election on March 8, 2022.

**GENERAL INFORMATION (No action required)**

None

**CITIZEN COMMENTS**

None

**GENERAL ANNOUNCEMENT**

None

**BOARDS & COMMITTEES**

**Mecato's Bakery and Café Waiver and Variance Requests  
5645 Hansel Avenue**

Planner Hardgrove presented her report for Mecato's Bakery and Café and their request for waivers where the applicant would not meet Edgewood Central District (ECD) site standards and the requested variance. The proposed bakery is located at the old bank building at the northeast corner of Hansel and Hoffner Avenues, within the ECD. She stated the waivers would be used to finalize the site plan, expected to be on Council's agenda in March.

Councilmember Rader noted the long list of waiver requests. He said he recognizes the unique nature of the site plan, and he requested that Planner Hardgrove point out where something else could be possible instead of the waiver.

**Architectural Design  
Waiver of Code Section 134-469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height, along all flat or parapet roof portions.**

Planner Hardgrove explained that the ECD requires a cornice to be attached to parapets. The architect that assisted with ECD requirements reviewed the waiver request and felt that the design would be awkward with a cornice, and the intent of the ECD was met. Both staff and Planning and Zoning recommended approval.

**Architecture Design Waiver of Code Section 134-469 (1)c.4 to allow the required building's vertical change to not be hung between 13-15 feet above the grade.** Planner Hardgrove said buildings in the ECD are required to have a vertical transition that could be provided with an awning. The architect reviewed the proposed building elevation and felt it met the ECD intent to provide the vertical change. Both Staff and Planning and Zoning recommended approval.

In response to Councilmember Rader, Attorney Smith said this is not a site plan review, but the illustration shown could be incorporated into a motion as a general reference for the concept.

***Councilmember Rader made a motion for approval of waivers to Code Section 134-469(1)f, and Code Section 134-469 (1)c 4 for architectural design standards, to be generally consistent rendering presented at the January 18, 2022, City Council meeting; seconded by Councilmember Lomas. The motion was approved (4/0).***

There was no public comment.

A roll call vote was taken.

Councilmember Rader	Favor
Councilmember Lomas	Favor
Councilmember Pierce	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

**Parking Location**

**Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.**

Planner Hardgrove explained that parking is required to be behind the front elevation line. Without a waiver, the applicant would lose approximately three and a half parking spaces in front of that line. They cannot add any more spaces in other locations.

Planner Hardgrove said the ECD requires a landscape buffer, called the People Space, which requires a street wall where adjacent to the pavement. Discussion ensued related to the required street walls and the required wall on the Hoffner Road side not being provided. She pointed out that the required width of the buffer is 25 feet, but the wall along the Hansel Avenue side is proposed to be set approximately two feet in, resulting in approximately 23 feet instead of the required 25 feet. The wall along Hansel also is proposed to jog forward in front of the proposed area for bicycle parking. The applicant wants to offer some security for the bike parking from traffic and passersby. Planning and Zoning thought the visibility of the bike rack would encourage more bicycling.

In response to Councilmember Rader, Planner Hardgrove said Planning and Zoning recommended the continuation of the Hansel Avenue street wall along the Hoffner Road side to hide the westernmost spaces and create continuity. She said the approval could be conditioned on the turning of the wall.

***Councilmember Rader made a motion to approve the waiver for parking location conditioned on approval of Planning and Zoning’s recommendations for the continuation of the wall adjacent to the entire length of the Hoffner Avenue pavement. There was no second.***

Discussion ensued regarding details and requirements for the Hoffner Avenue buffer.

Planner Hardgrove questioned if, as a policy, this portion of Hoffner Avenue should be required to provide the People Space as required on Gatlin and Holden Avenues. The alternative is to treat it like all the other side streets in the ECD, which are required to meet Chapter 114 for landscaping requirements. She recommended that in addition to granting the waiver to not require the People Space along Hoffner, they must follow Chapter 114.

In response to Councilmember Chotas, Planner Hardgrove said the recommendation would be to allow parking in front of the imaginary line extending from the front building façade conditioned on the street wall on Hansel Avenue continuing in front of the first two parking spaces.

**Before the vote on parking, Planner Hardgrove moved forward to discuss the Hoffner Avenue People Space.**

#### **Hoffner Ave People Space**

- a) Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.**
- b) Waiver of Code Section 134-471(2)e, which requires a street wall to screen the parking spaces (Hoffner Avenue).**

The implications of the waivers were discussed. Planner Hardgrove said that Planning and Zoning wanted to unify the two sides by recommending continuation of the Hansel Avenue street wall around the corner along Hoffner Avenue in front of the two westernmost parking spaces plus providing columns at the top and bottom of both sides of the stairs. She said that Landscape Architect Winter also recommended a cheek wall at the proposed steps to the sidewalk.

In response to Councilmember Rader, Planner Hardgrove explained the Planning and Zoning Board only recommended the wall along the first two parking spaces, not along the entire buffer, because the resulting width would be insufficient for the street trees. Councilmember Rader said the wall could be the boundary of the parking lot and that the tree, hedge, and the wall are feasible.

Planner Hardgrove requested that if approved, Council should condition that the landscaping along Hoffner Avenue meets Code Chapter 114 related to the minimum requirements for landscaping.

Councilmember Rader said he agrees that this is the only property on this short segment of Hoffner Avenue that is affected but was concerned that a waiver there would set a precedent for development along Holden and Gatlin Avenues. Attorney Smith said each property would have to stand on its own with a site-specific presentation. Councilmember Rader responded that the site-specific condition is that they are using an existing building.

City Clerk Meeks left the meeting at 7:20 pm.

Further discussion ensued regarding the location and dimensions of the wall.

Councilmember Chotas suggested they could structure the motion so there is flexibility when they discuss with their engineer and could address the details during site plan approval.

Councilmember Rader said that Code should not be changed just for this one property, and he wants them to meet the most ECD code as possible. The applicant needs to show why it is not possible without the waiver.

Mr. Lurduy said he would not mind if they have to build the wall but is also concerned about trucks hitting the wall. Aesthetically, he believes greenery would look better without the wall.

Councilmember Chotas said bakeries and coffee shops are not usually open after dark, so they may not need a wall for this business, but this use could eventually go away.

Mr. Lerma said they are open to a short wall segment after turning the corner from Hansel Avenue.

Attorney Smith advised that if the consensus is not to approve the waiver, thus, requiring the street wall portion along Hoffner Avenue, then deny the request to give the applicant clear direction for their site plan design and request the waiver again if necessary. They can then explain why the site plan won't work without a waiver.

Councilmember Pierce thought that there was potential for vehicles to hit the wall, which would look worse than not having the wall.

Councilmember Lomas said she does not have a problem with there not being a wall. She noted that hedges that are not maintained are addressed by Code Enforcement.

Councilmember Pierce made a motion to approve a Waiver of Code Sections 134- 471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.

Planner Hardgrove recommended that the motion be conditioned on the provision that landscaping be consistent with Chapter 114, with the required trees be a minimum of 3" caliper.

Councilmember Rader made a friendly amendment to Councilmember Pierce's motion to incorporate Chapter 114 of the landscaping code as well as a minimum 3" caliper trees.

***Councilmember Rader made a motion to approve of a Waiver of Code Sections 134- 471(1)a and 134-471(2)i. as it relates to the Hoffner Avenue People Space and eliminate the Road View requirements on the Hoffner Avenue side of the building, with the friendly amendment to incorporate Chapter 114 of the landscaping code as well as requiring trees with a minimum 3" caliper; seconded by Councilmember Lomas. The motion was approved (4/0).***

There was no public comment.



A roll call vote was taken.

Councilmember Pierce	Favor
Councilmember Rader	Favor
Councilmember Lomas	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

*Councilmember Rader made a motion for denial, without prejudice, of a waiver of Code Section 134- 471(2)e, which requires a street wall to screen the parking spaces on Hoffner Avenue based on lack of evidence that compliance is impractical; seconded by Councilmember Chotas. The motion for denial was approved (3/1).*

There was no public comment.

A roll call vote was taken.

Councilmember Chotas	Favor
Councilmember Rader	Favor
Councilmember Lomas	Oppose
Councilmember Pierce	Favor
Council President Horn	Absent

**Parking Location**

**Waiver of Code Section 134- 474(c)(4)(a), which requires parking to be behind the imaginary line extending from the front building façade.**

*Councilmember Rader made a motion to approve a Waiver of Code Section 134- 474(c)(4)(a), which requires parking to be behind the imaginary line extending from the front building façade; seconded by Councilmember Chotas. The motion was approved (4/0).*

There was no public comment.

A roll call vote was taken.

Councilmember Rader	Favor
Councilmember Lomas	Favor
Councilmember Pierce	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

**Trees (Part A) Waiver of Code Section 134- 468(h)(2), which would require Highrise Oaks with 5” caliper along the Hansel and Hoffner Avenues frontage.**

*Councilmember Rader made a motion to approve a Waiver of Code Section 134-468(h)(2), which would require Highrise Oaks along the Hansel and Hoffner Avenues frontage, conditioned on the minimum caliper being 3 inches due to the unavailability of large caliper trees under current market conditions; seconded by Councilmember Chotas. The motion was approved (4/0).*

There was no public comment.

A roll call vote was taken.

Councilmember Rader	Favor
Councilmember Lomas	Favor
Councilmember Pierce	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

**Hansel Avenue Buffer**

**Waiver of Code Section 134-471(2)e, which requires a street wall to screen the parking spaces (Hoffner Avenue).**

**Waiver of Code Section 134- 474(c)(4)a, which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.**

*Councilmember Chotas made a motion to approve a waiver of Code Section 134-471(2)e and of Code Section 134- 474(c)(4)a conditioned on the site plan to be generally in conformance to the landscape plan presented at the January 18, 2022 Council meeting; seconded by Councilmember Rader. The motion was approved (4/0).*

A roll call vote was taken.

Councilmember Lomas	Favor
Councilmember Rader	Favor
Councilmember Chotas	Favor
Councilmember Pierce	Favor
Council President Horn	Absent

**Trees (Part B)**

**Waiver of Code Section 134- 471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width to provide sustainable space for trees.**

Planner Hardgrove said the ECD requires landscape islands located at the end of parking rows to be 15 feet wide. The request is to waive the width of two parking islands: one at the western end of the parking along the northern property line; the other at the east end of the row along the Hoffner Avenue frontage. Without the waiver, they will lose two parking spaces. Staff and the Planning and Zoning

Board supported the request along the north property line since the island was adjacent to the property line and there was green space on the other side property line giving the tree sufficient area.

The other island is located at the eastern end of the parking along the southern property line, and the applicant requests the waiver so that they can maintain a 24-foot-wide driveway. Planning and Zoning discussed narrowing the drive from 24 feet to 20 feet. They decided to retain the 24-foot width and approve the waiver conditioned on replacing the required parking island tree with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility.

In response to Councilmember Rader, Planner Hardgrove said they meet parking requirements and provide two additional compact car spaces.

Councilmember Rader said the applicant meets the minimum requirements, and he thinks this sets a precedent where the waiver is unnecessary. They could give up two parking spaces and meet Code requirements.

*Councilmember Chotas made a motion to approve a waiver to Code Section 134- 471(2)h, for a reduction in island width for the island at the western end of the parking along the northern property line and approve the reduction of island width for the island at the eastern end of the parking along the southern property line, conditioned on replacing the required parking island tree for the island at the east end of the southern row of parking with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility; second by Councilmember Lomas. The motion was approved (3/1).*

There was no public comment.

A roll call vote was made.

Councilmember Chotas	Favor
Councilmember Lomas	Favor
Councilmember Pierce	Favor
Councilmember Rader	Oppose
Council President Horn	Absent

**Drive-Up Window**

**Waiver of Code Section 134- 472(b), which requires drive-up windows to be on the building’s rear side.**

Planner Hardgrove said the ECD requires drive-up windows to be located at the rear of a building. Because this is an existing building, it will be difficult to locate the drive-up window on the rear side. The drive-up is proposed on the north side, which is the side of the building.

She said the applicant met Staff’s strong recommendation that the site’s circulation be one-way all the way around. Planning and Zoning thought they met the intent of the Code, and since Hansel Avenue is a one-way road, the window would not be visible from the road.

In response to Councilmember Rader, Planner Hardgrove said Planning and Zoning did not include the recommendation of a condition for a redesign of the front elevation with a faux wall or landscaping to “hide” the vehicle centered feature from Hansel Avenue. In response to Councilmember Chotas, Planner Hardgrove said the applicant does not agree with that suggested condition of approval.

Attorney Smith explained the waiver standard is more liberal than a variance standard because the intent is to give developers an opportunity and to present alternative design plans.

Mr. Lerma said the design began with two-way traffic for easy in and out of the site. They are agreeable to a one-way traffic flow if the traffic does not bottle-neck inside the property. Councilmember Rader noted that the City Planner’s concept does have a return.

In response to Mayor Dowless, Planner Hardgrove confirmed the goal is to not see the drive-thru. Mayor Dowless thought it would require a head-turn to be able to see the window.

Planner Hardgrove said Planning and Zoning agreed, and that is why they conditioned approval on providing landscaping in general conformance with the landscape plan presented at the meeting.

Councilmember Rader said the one-way street gives him comfort in this modification because the window does not face the traffic.

***Councilmember Chotas made a motion to approve a waiver of Code Section 134- 472(b), to allow a drive-up on the side of the building conditioned on landscaping to be provided in general conformance with the landscape plan presented at the meeting; seconded by Councilmember Lomas.***

There was no public comment.

A roll call vote was taken.

Councilmember Lomas	Favor
Councilmember Rader	Favor
Councilmember Pierce	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

**Lighting**

**Waiver of Code Section 134-470(f), which requires a minimum foot-candle of 2.0 where pedestrians will be present.**

Planner Hardgrove said that a 2.0 foot-candle lighting requirement was added to the ECD when it was realized that lighting would be needed for rear parking. She discussed the waiver request with Chief Freeburg, and he felt that 1.0 would be sufficient. She stated this would be a code change in the near future.

Staff and Planning and Zoning recommended approval of a 1.0 foot-candle.

In response to Councilmember Lomas, Planner Hardgrove said a foot-candle is a measurement of the brightness of a light.

***Councilmember Rader made a motion to approve a waiver of Code Section 134-470(f) to allow a minimum foot-candle of 1.0 for the site; seconded by Councilmember Lomas. The motion was approved (4/0).***

There was no public comment.

A roll call vote was taken.

Councilmember Lomas	Favor
Councilmember Rader	Favor
Councilmember Pierce	Favor
Councilmember Chotas	Favor
Council President Horn	Absent

**A waiver of Code Section 134-470(f), which requires lighting fixtures to be decorative, at a maximum height of 16 feet, and located at least 15 feet from trees.**

Planner Hardgrove said there is existing lighting on the property, most of which is a typical 28-foot-high cobra head lights on concrete poles. The applicant has agreed to remove the pole that is along Hansel Avenue. The applicant would like to keep the other two existing light poles.

Planner Hardgrove said that Planning and Zoning recommended denial except for the existing fixture along the Hoffner frontage and the other along the east property line. The other lights should conform to ECD standards.

Mr. Lerma said he would provide decorative 16-foot high lighting for the other lights. They prefer the pendant-style light.

In response to Councilmember Rader, Mr. Lerma said they need a sturdy pole on the Hoffner Avenue side because of the transformer across the street. They request a waiver from the height requirement specifically for that pole.

Councilmember Rader said the height restriction is to prevent light pollution to nearby properties.

Mr. Lerma explained that power to the building runs through one that light pole. Councilmember Rader said it is a power pole with a fixture.

Attorney Smith reviewed Planning and Zoning’s recommendation to recommend approval only for the existing light fixture along the Hoffner Avenue side of the property and the existing light fixture along the east side of the property; those existing light fixtures may remain. All other light fixtures shall conform with Code Section 134-470(f) with a height of 16 feet.

Further discussion ensued regarding the options for lighting on the property.

*Councilmember Rader made a motion to approve a waiver of Code Section 134-470(f)), in accordance with Planning and Zoning’s recommendation to approve only the existing light fixture along the Hoffner Avenue side of the property and the existing light fixture along the east side of the property; those existing light fixtures may remain. All other light fixtures shall conform with Code Section 134-470(f)) with a maximum height of 16 feet; seconded by Councilmember Lomas. The motion was approved (4/0).*

A roll call vote was taken.

Councilmember Pierce	Favor
Councilmember Lomas	Favor
Councilmember Chotas	Favor
Councilmember Rader	Favor
Council President Horn	Absent

**Fences**

**Waiver of Code Section 134-470(c)(3), which limits the height of fences anywhere in the ECD to a maximum of 48 inches.**

Planner Hardgrove explained that a wall is required when a property abuts future residential land use in the ECD. The property to the east is zoned and designated for low-density residential, except the short segment of the east property line adjacent to what was Brickwood Drive. “Brickwood Drive” was recently discovered to be still owned by the late Mr. Hansel. The once thought to be public right-of-way has a Commercial Future Land Use designation. Regardless, the applicant would like to create a barrier between his property and the residential to the east. Because the applicant is attempting to purchase this small strip of the property, he would prefer to have a more temporary barrier, the fence, rather than the wall. The applicant proposed to erect a 7-foot-high fence, but the ECD does not allow a fence over 4-feet high.

Planner Hardgrove said if the applicant can acquire the property to the east, his property would then be next to residential, but the City could not require a wall in that location as there would be nothing to trigger the requirement. She recommended having this be part of the conditions of approval.

Mr. Lerma said the residential properties are encroaching onto the Brickwood Road property. They do not want to erect a wall until there is a permanent solution.

*Councilmember Rader made a motion to approve a waiver Code Section 134-470(c)(3) with the recommendation from Planning and Zoning to allow a seven-foot-high fence conditioned on that it will be replaced with a wall if the abutting former Brickwood Drive to the east is acquired by the subject property owner; seconded by Councilmember Lomas. The motion was approved (4/0).*

There was no public comment.

The motion was approved by roll call vote.

Councilmember Lomas	Favor
Councilmember Chotas	Favor
Councilmember Pierce	Favor
Councilmember Rader	Favor
Council President Horn	Absent

**Variance 2021-01 Request for cross-access**

**The request is to eliminate the Code Section 134-142 requirement to provide vehicular cross access between adjacent parcels.**

Planner Hardgrove explained the ECD requires cross-access between adjacent properties. To the east is residential land where cross access is inappropriate. To the north is a non-residential parcel; however, there is no benefit to connecting that parking area to that on the subject property, given the one-way circulation on the subject property. In addition, there is a significant grade difference between the two non-residential parcels.

She said the City’s engineer has determined it is not practical to require the vehicular cross access on the subject property as Hansel Avenue is a one-way road. Staff and the Planning and Zoning Board recommended approval.

*Councilmember Rader made a motion to recommend approval of Variance 2021-01 in Code Section 134-142 to eliminate the requirement for a cross-access easement; seconded by Councilmember Chotas. The motion was approved (4/0).*

A roll call vote was taken.

Councilmember Chotas	Favor
Councilmember Pierce	Favor
Councilmember Lomas	Favor
Councilmember Rader	Favor
Council President Horn	Absent

**STAFF REPORTS**

• **City Attorney Smith**

No report

• **Police Chief Freeburg:**

Chief Freeburg presented his monthly report.

- The Police Department is in the process of mock assessment for accreditation.
- He is working with Mayor Dowless for signs on Orange Avenue
- Fingerprinting was shut down for a couple of weeks due to a surge in Covid.

- **Deputy City Clerk Riffle:**  
There is no election as both incumbents qualified and there no other candidates. Mayor Dowless and Council President Horn will be sworn in during the business meeting in the March City Council meeting.

**MAYOR AND COUNCIL REPORTS**

- **Mayor Dowless**
  - Chief Freeburg received some prices for repairing the lift station. It will be less than \$10,000 and will come from the ARP money.
  - He is getting more details on the advisory committee for ARP funds and expenditures. He spoke to Planning and Zoning Board Member Steve Kreidt who is willing to serve on the committee.
  - He heard back from Orange County regarding the City’s comments on the road realignment report, and they want to plan a date and time for the public meeting. He is trying to find out if the City can participate in the meeting and not just be a spectator. The subject still requires education, and he will need support from Council. This still requires education and support from the Council.
- **Council President Horn**  
No report.
- **Councilmember Rader**  
No report
- **Councilmember Chotas**  
No report
- **Councilmember Pierce**  
No report
- **Councilmember Lomas**  
No report



**ADJOURNMENT**

*Councilmember Pierce made a motion to adjourn the meeting; seconded by*

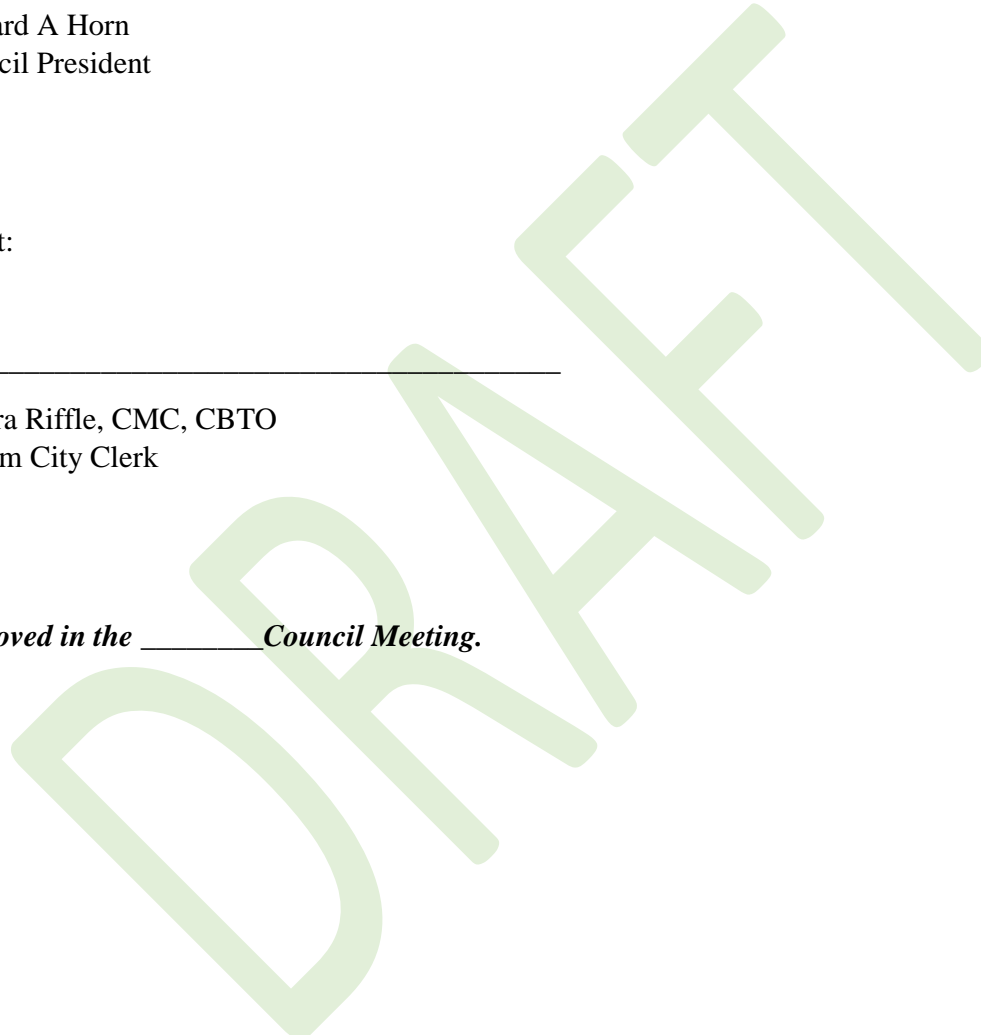
The meeting adjourned at 8:38 pm.

\_\_\_\_\_  
Richard A Horn  
Council President

Attest:

\_\_\_\_\_  
Sandra Riffle, CMC, CBTO  
Interim City Clerk

*Approved in the \_\_\_\_\_ Council Meeting.*





# Memo

**To:** Mayor John Dowless, Council President Horn,  
Council Member Chotas, Lomas, Pierce and Horn  
**From:** Sandy Riffle, Interim City Clerk  
**Date:** February 10, 2022  
**Re:** 2022 1<sup>st</sup> Quarter Budget Amendment

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Rather than wait until the end of the fiscal year, going forward the City will submit proposed budget amendments on a quarterly basis.

The following items are included for your review:

- **Resolution 2022-03**  
A RESOLUTION OF THE CITY OF EDGEWOOD, FLORIDA AMENDING THE CITY'S BUDGET FOR THE 2021/2022 FISCAL YEAR; AUTHORIZING THE MAYOR AND/OR HIS DESIGNEE TO TAKE ALL ACTIONS NECESSARY TO IMPLEMENT THE TERMS AND CONDITIONS OF THIS RESOLUTION; PROVIDING FOR AN EFFECTIVE DATE.
- **Budget Amendment – Exhibit A**  
Update budget to show ARPA Funds Expenses and Revenues
- **Budget Amendment – Exhibit B**  
Police Department radio purchases – Update budget to show the use of fire rescue impact fees from restricted reserves.

**RESOLUTION NO. 2022-03**

**A RESOLUTION OF THE CITY OF EDGEWOOD, FLORIDA AMENDING THE CITY'S BUDGET FOR THE 2021/2022 FISCAL YEAR; AUTHORIZING THE MAYOR AND/OR HIS DESIGNEE TO TAKE ALL ACTIONS NECESSARY TO IMPLEMENT THE TERMS AND CONDITIONS OF THIS RESOLUTION; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, at its regular meeting on September 21, 2021, the City Council of the City of Edgewood, Florida adopted Resolution No. 2021-07 approving the annual budget for Fiscal Year 2021-2022; and

**WHEREAS**, it is appropriate to provide for certain transfers, appropriations and authorizations based upon previous and anticipated expenditures and revenues, and

**WHEREAS**, the City Council has determined that it is necessary to amend the budget to reflect these changes.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, FLORIDA AS FOLLOWS:**

**SECTION 1. BUDGET AMENDMENT:** The City Council of the City of Edgewood, Florida amends the Fiscal Year 2021/2022 budget as shown on Exhibits "A" and "B", which are attached hereto and incorporated by reference herein.

**SECTION 2. EFFECTIVE DATE:** This Resolution shall become effective immediately upon its passage and adoption.

**PASSED and ADOPTED** by the City Council of the City of Edgewood, Florida on the **15<sup>th</sup>** day of **February**, 2022.

\_\_\_\_\_  
Richard Alan Horn, Council President

ATTEST:

\_\_\_\_\_  
Sandra Riffle, CMC, CBTO  
Interim City Clerk

## City of Edgewood Budget Amendment

Submitted by: McDirmit Davis  
 Fiscal Year: 21/22  
 Submitted on: 2/8/2022

Account Number	Account Description	Amount
<b>Expenditures:</b>		
570000-01	ARPA Funds Expense	
	Balmoral Group - Assistance with ARPA funds	\$ 6,955.00
	Mathis & Sons - Pump Replacement	\$ 9,814.00
<b>Revenues:</b>		
370000-01	ARPA Funds Revenue	\$ 16,769.00
	Net effect on budget - none	\$ -

**Notes/Comments:**  
 Update budget to show the use of ARPA Funds to date.  
 Total ARPA funds received on 10/04/21 was \$752,033. This budget amendment will leave \$735,264 remaining.

Signed by:

## City of Edgewood Budget Amendment

Submitted by: McDirmit Davis  
 Fiscal Year: 21/22  
 Submitted on: 2/2/2022

Account Number	Account Description	Amount
<b><u>Expenditures:</u></b>		
521410-07	Communications	\$ 43,663.00
<b><u>Revenues:</u></b>		
<b><u>Reserves</u></b>		
271700-07	Transportation Impact Fees Reserves	\$ 43,663.00
	Net effect on budget- use of restricted reserves	\$ 43,663.00

**Notes/Comments:**

Update budget to show the use of fire rescue impact fee restricted reserves for radio purchases

Signed by:



Date: February 9, 2022  
To: City Council  
From: Drew Smith, City Attorney  
Ellen Hardgrove, City Planning Consultant  
XC: Sandy Riffle, Interim City Clerk

Re: Discussion Item: Code Section 110-2(g) Impact Fee Payment Exemptions

Council discussion is requested to provide staff direction on the exemptions to the payment of impact fees should be applied. Code Section 110-2(g) lists exemptions from the payment of impact fees.

One exemption is when a destroyed or partially destroyed building is reconstructed with a new building of the same size and use, **provided that the building was not willfully destroyed or demolished.** This exemption leads to the conclusion that if the building is willfully demolished impact fees must be paid. Another exemption is for an addition to an existing residential structure or when a residential unit is expanded, provided the expansion does not increase the number of dwelling units in the building.

The question becomes, what constitutes an addition or expansion? Can new construction of a residential unit that is willfully nearly demolished; e.g., leave one wall remaining, be considered an addition/expansion? The Code does not define a threshold.

Impact fees are established to help pay for the impact of new development. A rational question is, why should a property that burned down be given different treatment than a property that was willfully demolished? No new impacts are created in both scenarios.

Many local governments allow an exemption for replacing a unit. Some have put a replacement date deadline; e.g., the demolished structure must rebuilt and ready for occupancy within a specific time period, e.g. (2) years of its demolition. Others have allowed a complete replacement provided the house that was demolished was built after the impact fee regulation was adopted (assumes the impact fee would have been paid upon its original construction).

Council direction to staff is requested.

From the Code:

110-2(g) *Exemptions*. The following types of development are exempt from the payment of the impact fees imposed pursuant to this section to the extent there is no increase in traffic generation associated with the property or use:

- (1) The construction of any addition or expansion to a residential building which does not increase the number of dwelling units in the building.
- (2) The construction of accessory buildings or structures which will not increase the traffic counts associated with the principal building or structure (or the land).
- (3) Any reconstruction of a destroyed or partially destroyed building or structure with a new building or structure of the same size and use, provided that the destruction of the building or structure occurred other than by willful razing or demolition.
- (4) Expansions of or additions to existing structures, provided that such expansion or addition does not create a new dwelling unit or add over 1,000 square feet to any nonresidential structure.
- (5) Publicly owned and operated buildings or structures used for general governmental purposes (including, but not limited to sewer, stormwater, police, fire, ground transportation, solid waste, parks, recreation, and cultural purposes).
- (6) Agricultural structures.
- (7) Eaves, overhangs, and enclosed canopied walkways.
- (8) Temporary uses as defined in subsection [110-2\(d\)](#).

To the extent that such construction does increase traffic generation rates, the new or additional trips shall be subject to payment of the impact fee under this article.

Any claim of exemption must be made no later than the time for application for a development permit. Any claim not so made shall be deemed invalid.



# Memo

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas Lomas, Pierce, and Rader

**From:** Sandy Riffle, Interim City Clerk

**Date:** February 1, 2022

**Re:** Special Exception 2021-01  
1078 Harbour Island Road Guest Cottage

The Planning and Zoning Board met on January 10, 2022, to consider Special Exception 2021-01 to allow a guest cottage at 1078 Harbour Island Road.

**The following is provided in your agenda packet for your review and consideration.**

**Special Exception 2021-01 – 1078 Harbour Island Rd Accessory Structure/Guest Cottage**

- Cover letter from City Engineer Allen Lane, dated 12/17/2021
- Application for Special Exception, date stamped 12/6/2021
- Orange County Building application and plans, date stamped 11/9/2021

The Notice of Public Hearing letters was sent on December 28, 2021 to those property owners within 500 feet of the subject property regarding Special Exception 2021-01. There were 52 notices provided by U.S. Mail. One notice was returned as undeliverable and City Hall has not received any objections or comments as of the date of this memo.

The City Engineer is prepared to respond to any questions you may have regarding the Special Exception request. The applicant/representative will also be in attendance.

The following motion was made by the Planning and Zoning Board:

***Board Member Nelson made a motion to approve Special Exception 2021-01 as presented: seconded by Board Member Gragg. The motion was approved (4/0).***

The motion was approved by roll call vote.

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent





**Project:** 1078 Harbour Island Road – accessory building construction  
**Date:** December 17, 2021

This review is for an application to construct an additional building (accessory structure) on the existing single family lot at the above address. The property is within the Harbour Island Subdivision 1, Lot 23.

The subject property is 54,908 SF (1.26 acres) and contains a two story single family home residence. The residence is a canal front property. The canal adjoins Little Lake Conway.

The applicant proposes to construct an accessory structure on the same lot. The structure includes approximately 1,724 SF of new impervious area to the lot. The structure is not shown to be directly connected to the existing home.

Per the information received for review, this accessory structure will be for living quarters and will not have a full kitchen or kitchenette. Per the City Zoning Code, Chapter 134, Section 134-1, definitions, this appears to be classified as a Guest Cottage. A Guest Cottage is defined as *living quarters within a detached accessory building located on the same lot or parcel of land as the principal building, to be used exclusively for housing members of the family occupying the principal building and their nonpaying guests, such quarters shall have no kitchen facilities and shall not be rented or otherwise used as a separate dwelling.*

The City Zoning code has a reference for cottages and in Section 134-220, Special Exceptions, paragraph c, there is a reference to guest cottages as a use that may be permitted. A Special exception application must be submitted for this use.

The accessory structure may not encroach on the side setbacks as described for the specific lot zoning. City code Section 134-483, paragraphs a, b, c, f, h and i, has additional information on the “location” of the proposed structure and maximum height.

The proposed accessory structure is greater than the minimum 5 foot setback, per Section 134-483. The proposed distance is 7'-6", which is outside the existing side yard drainage easement.

Section 134-483, (i) - The maximum height may not exceed the height of the principal structure. The height is shown on the site plan as 14'-6", which is less than the height of the home and less than the maximum of 16' for accessory structures.

The plans also proposed a 36' by 11'-8" carport. The total area of the car port is 420 SF. Per Section 134-483, (g) – detached garages shall be limited to a maximum of 600 SF.

The existing impervious area for the lot is 10,912 SF. The new total impervious area with the new addition and the changes to the driveway is approximately 12,636 SF. The total lot area is 54,908 SF. The percent impervious after construction will be approximately 23%, which is below the allowable limit of 45%.



Based on our review, the proposed accessory structure appears to meet the criteria listed in the City Code. As noted above, the code states this will need to be submitted to the City for review and then to Planning and Zoning and City Council for final approval.

Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,  
**CPH, Inc.**

Allen C. Lane, Jr., P.E.  
Project Engineer



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# APPLICATION FOR SPECIAL EXCEPTION

**Reference: City of Edgewood Code of Ordinances, Section 134-121**  
**REQUIRED FEE: \$750.00 + Applicable Pass-Through Fees (Ordinance 2013-01)**  
**(Please note this fee is non-refundable)**

<b>PLANNING AND ZONING MEETING DATE:</b>	1/10/2022
<b>CITY COUNCIL MEETING DATE:</b>	2/15/2022

**IMPORTANT:** A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk 30 days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for.

Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

- New Special Exception Request
- Amendment to Special Exception. Date special exception granted \_\_\_\_\_

Applicant's Name:	Roland J. Krantz	Owner's Name:	Anthony W. Johnson
Address:	102 Drennen Road Suite A-2, Orlando FL 32806	Address:	1078 Harbour Island Rd Orlando, FL 32809-3040
Phone Number:	407-326-2119	Phone Number:	407-496-8657
Fax:		Fax:	N/A
Email:	<u>Jim.krantz@alairhomes.com</u>	Email:	barillasjohnson@yahoo.com
Legal Description:	HARBOUR ISLAND SUB 1/131 LOT 23		
Zoned:	R-1AA		
Location:	Harbour Island		
Tract Size:	1.26 acres		
City section of the Zoning Code from which Special Exception is requested:	Residential (R-1AA). 134-220(C)(5)		



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CITY OF EDGEWOOD

Request:	Construction of detached dwelling approximately 1,215sqft.
Existing on Site:	Existing home approximately 4,760sqft with a screened pool and boat dock.

The applicant hereby states that the above request for Special Exception does not violate any deed restrictions on the property. **Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.**

Applicant's Signature		Date:	12/6/21
Applicant's Printed Name	Roland J. Krantz	Date:	12/6/21
Owner's Signature			
Owner's Printed Name	Anthony W. Johnson		

**Office Use Only:**

Received Date:	12/6/2021
Received By:	Brett Sellauro
Forwarded To:	CPT- Allen Lane
Notes:	

Please submit your completed application to City Hall via email to [bmeeks@edgewood-fl.gov](mailto:bmeeks@edgewood-fl.gov) or to [sriffle@edgewood-fl.gov](mailto:sriffle@edgewood-fl.gov), via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Bagshaw Way. For additional questions, please contact City Hall at 407-851-2920.

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**SPECIAL EXCEPTION APPLICATION**

1. Provide the legal description (include street address) .
2. If you are not the owner of the subject property, provide written acknowledgement and authorization from property owner that they do not object to the use requested in the Special Exception Application, and give their authorization for the use if approved.
3. SURROUNDING ZONING DESIGNATIONS:

DIRECTION	ZONING
NORTH	R1-A
SOUTH	R-1A
EAST	R-1AA
WEST	ECD

4. Describe the proposed use you; including conditions on the use, hours of operation, required parking and loading spaces, and number of employees. If proposed use is a training/vocational school, provide the number of anticipated students/clients.
5. **If applicable, please provide:**
  - Dimensions of the property (see attached example)
  - Existing and proposed location of structure(s) on the property
  - Vehicular access ways, driveways, circulation areas (include widths)
  - Off-street parking and loading areas
  - Refuse and service areas
  - Required setbacks; landscape or buffer areas; and other open spaces
  - Existing and proposed adjacent rights-of-way, showing widths and centerlines
  - Distances between buildings
  - Interior and terminal landscape islands  All existing and proposed sidewalks.
  - Landscape plan

Revised 3/27/2020



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CITY OF EDGEWOOD

Orange County Division of Building Safety

201 South Rosalind Avenue

Post Office Box 2687 • Orlando, Florida 32802-2687

Phone: 407-836-5550

www.ocfl.net/building

Section M, Item 2.

10 / 25 / 2021

Date

Building Permit Number

APPLICATION FOR BUILDING/LAND USE PERMIT\*

\* All Applications Must Comply with Concurrency Requirements

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

PLEASE PRINT:

The undersigned hereby applies for a permit to make building improvements as indicated below on property.

Project Address: 1078 Harbour Island Road (Must match address on plans)

Suite/Unit #: Bldg #: City: Orlando Zip Code: 32809

Subdivision Name:

Parcel ID Number: Section Township Range Subdivision Block Lot (15 Digit Parcel ID Number & Legal Description must be on plans)

Owner Name: Anthony & Dennis Johnson Phone No.: ( 407 ) 496 - 8657

Owner Address: 1078 Harbour Island Road City: Orlando State: FL Zip Code: 32809

Tenant Name: Phone No.: ( ) -

Nature of Business:

Architect Name: License No.: Phone No.: ( ) -

Civil Engineer Name: License No.: Phone No.: ( ) -

Nature of Proposed Improvements: New construction on existing property. PROPERTY WILL NOT INCLUDE FULL KITCHEN!

FUTURE USE OF PROPERTY WILL BE AN OFFICE SPACE FOR RESIDENCE.

Demolition Permit #: Site Work Permit #:

PROPERTY ON SEWER or SEPTIC

Permit valuation greater than \$2500 requires a notarized Page 2. and Notice of Commencement prior to the first inspection.

Is Notice of Commencement Recorded? Yes No

If there were comments on this project, how would you like to receive them?

Pick them up E-Mail (Customer shall access Web Page)

Is proposed work in response to a Notice of Code Violation written by an Orange County Inspector? Yes No

Is proposed work in response to an unsafe abatement notice? Yes No

Has project had a pre-review? Yes No If Yes, Commercial Plans Examiner(s):

Is building fire sprinklered? Yes No

Detached Garage? Yes No Valuation for Detached Garage Only: \$

Required work: Plumbing Electrical Mechanical Gas Roofing None

Alterations Only:

Is this a new tenant? Yes No If yes, state previous use:

Intended use of space:

List use of adjoining tenant space(s): Side: Above:

Rear: Side: Below:

Permit Number

# Permit Application Information - Page Two

NOV 09 2021  
CITY OF EDGEWOOD

Permit Number

Owner's Name Anthony & Dennis Johnson

Owner's Address 1078 Harbour Island Road

Fee Simple Titleholder's Name (If other than owner's) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner's) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Contractor's Name Roland James Krantz

Contractor's Address 102 Drennen Road

City Orlando State FL Zip Code 32806

Job Name \_\_\_\_\_

Job Address 1078 Harbour Island Road SUITE/UNIT \_\_\_\_\_

City Orlando State \_\_\_\_\_ Zip Code 32809

Bonding Company Name \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, SIGNS, POOLS, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning. \_\_\_\_\_

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A Notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owner Signature [Signature]

The foregoing instrument was acknowledged before me this 10/27/21

by DENISE JOHNSON who is personally known to me

and who produced I.D.

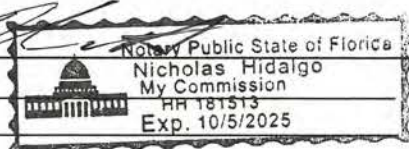
\_\_\_\_\_ as identification and who

did not take an oath.

Notary as to Owner

Commission No. \_\_\_\_\_

State of FL. County of \_\_\_\_\_



Contractor Signature [Signature]

The foregoing instrument was acknowledged before me this 10/27/21

by ROLAND KRANTZ who is personally known to me

and who produced I.D.

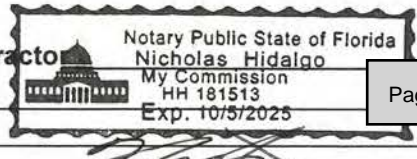
\_\_\_\_\_ as identification and who

did not take an oath.

Notary as to Contractor

Commission No. \_\_\_\_\_

State of FL. County of \_\_\_\_\_



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11/9/2021

CITY OF EDGEWOOD

Section M, Item 2.

# JOHNSON RESIDENCE

ORLANDO, FL.



SQUARE FOOTAGE TABULATIONS	
EXISTING SQUARE FOOTAGE (CONDITIONED):	3,017
EXISTING SQUARE FOOTAGE (NON-CONDITIONED):	1,743
EXISTING TOTAL GROSS:	4,760
NEW ADU SQUARE FOOTAGE (CONDITIONED):	699
NEW ADA SQUARE FOOTAGE (NON-CONDITIONED):	516
NEW TOTAL ADU GROSS:	1,215
NEW ADU FRONT COVERED PORCH SF:	151
NEW ADU REAR COVERED PORCH SF:	291
TOTAL SITE CONDITIONED SF EXISTING + ADU:	3,716
TOTAL SITE NON-CONDITIONED SF EXISTING + ADU:	2,259
TOTAL SITE GROSS SF EXISTING + ADU:	5,975



ARCHITECT:  
 studio+  
 AA26003729  
 EDWARD JOE KNOUS, RA  
 2733 DONALDSON DRIVE  
 ORLANDO, FL 32812  
 407-590-0505  
 JOEKNOUS@STUDIOONEPLUS.COM

SEAL  
  
 Edward Joe Knous 97048  
 2021.10.08  
 16:38:16-04'00'

NAME: EDWARD JOE KNOUS  
 FL REG. NO.: AR97048



PROJECT  
 LOCATION  
 JOHNSON RESIDENCE  
 1078 HARBOUR ISLAND ROAD  
 ORLANDO, FL. 32809  
 AHJ: EDGEWOOD

DATE ISSUED FOR  
 10/08/2021 PERMITTING

JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
 APPROVED BY: J. KNOUS

LAST FILED:  
 FL, 09 Oct 2021  
 4:26pm

SHEET TITLE:  
 COVER

SHEET NUMBER: A1  
 REV:

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ARCHITECT:  
 studio1+  
 AA2603729  
 EDWARD JOE KNOUS, RA  
 2733 DONALDSON DRIVE  
 ORLANDO, FL 32812  
 407-690-0505  
 JOEKNOUS@STUDIOONEPLUS.COM

SEAL

NAME: EDWARD JOE KNOUS  
 FL REG. NO.: AR97048

CONSULTANTS

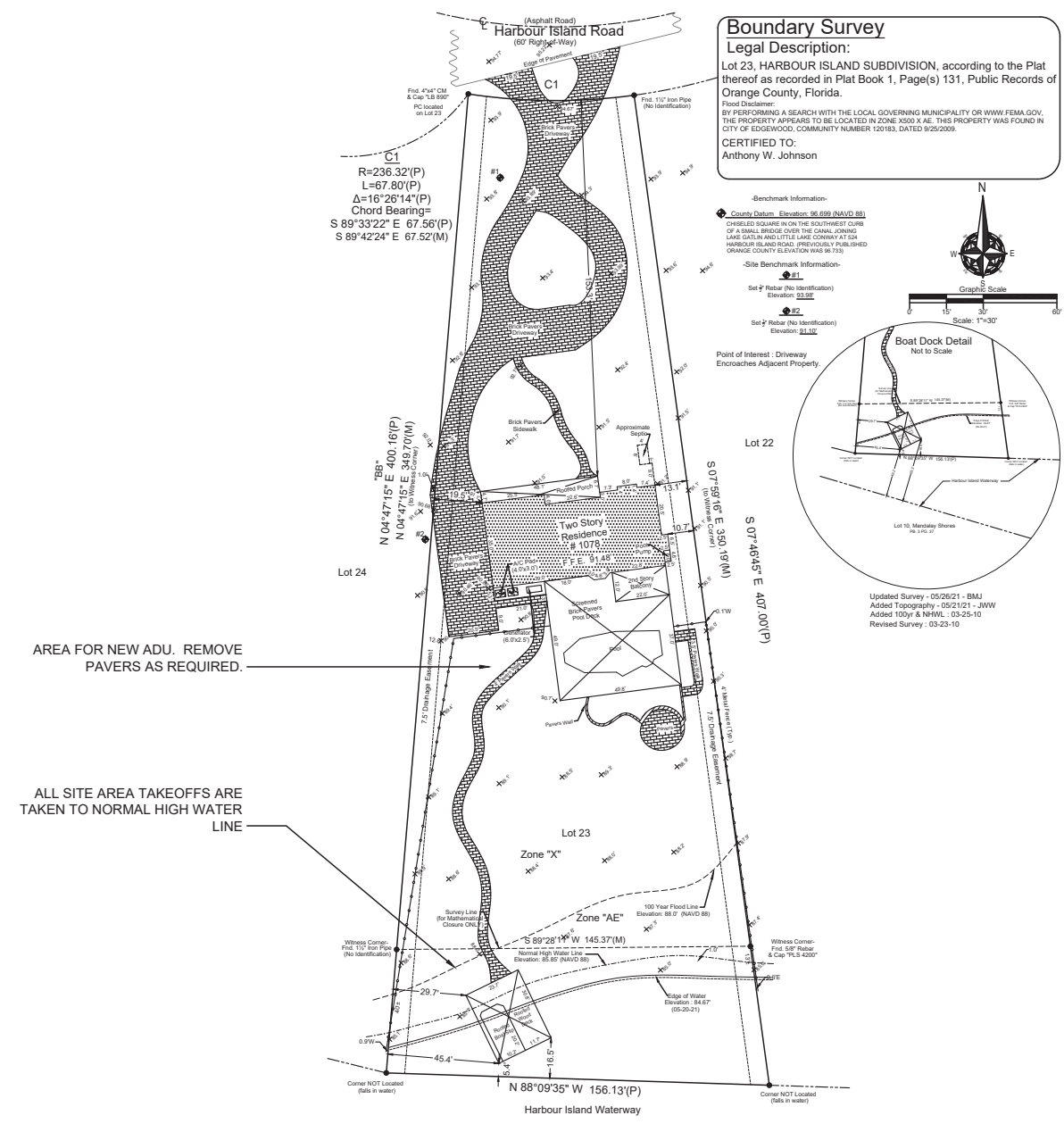


PROJECT LOCATION

JOHNSON RESIDENCE  
 1078 HARBOUR ISLAND ROAD  
 ORLANDO, FL. 32809  
 AHJ: EDGEWOOD

DATE ISSUED FOR  
 10/08/2021 PERMITTING

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**11/9/2021**  
**CITY OF EDGEWOOD**



EXISTING SITE PLAN  
 SCALE: 1/32" = 1'-0"

- EXISTING SITE NOTES
- EXISTING LOT AREA = 54,908 SF PER ORANGE COUNTY WEBSITE
  - ACTUAL MEASURED LOT AREA TO NORMAL HIGH WATER LINE = 38,677 SF
  - EXISTING BUILDING PAD = 2,384 SF
  - EXISTING POOL DECK = 1,874 SF
  - EXISTING DRIVEWAY = 5,277 SF
  - EXISTING WALKWAYS = 1,010 SF
  - EXISTING PADS = 51 SF
  - EXISTING FRONT PORCH = 316 SF
  - EXISTING TOTAL IMPERVIOUS AREA = 10,912 SF
  - EXISTING ISR = 28% MEASURED TO NHWL

JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
 APPROVED BY: J. KNOUS

LAST FILED:  
 Fri, 08 Oct 2021  
 4:25pm

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SEAL

NAME: EDWARD JOE KNOUS  
 FL REG. NO.: AR97048

CONSULTANTS



JOHNSON RESIDENCE  
 1078 HARBOUR ISLAND ROAD  
 ORLANDO, FL. 32809  
 AHJ: EDGEWOOD

PROJECT LOCATION

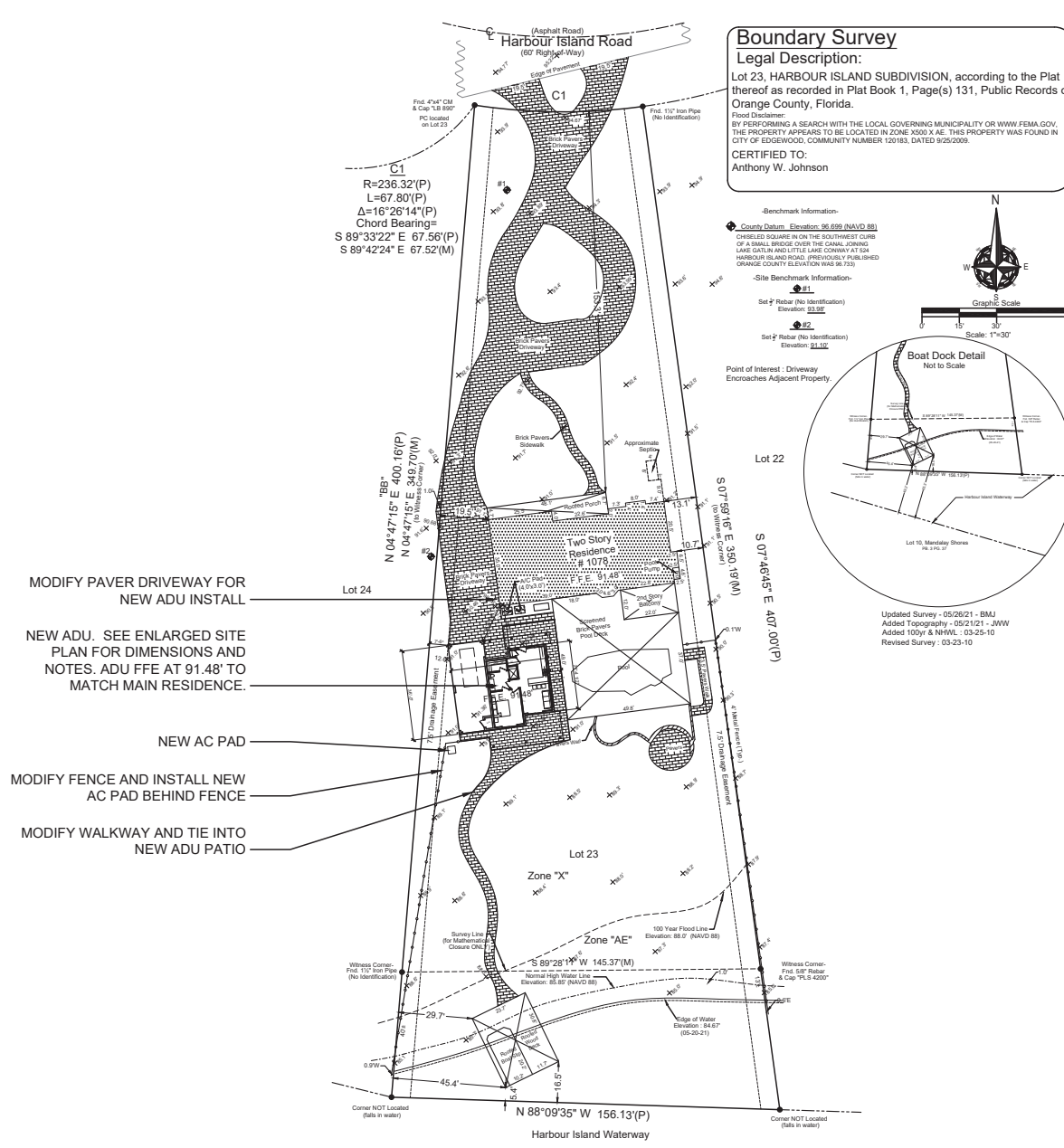
DATE ISSUED FOR  
 10/08/2021 PERMITTING

JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
 APPROVED BY: J. KNOUS

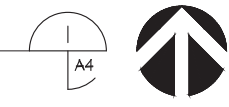
LAST FILED:  
 Fri, 08 Oct 2021  
 4:25pm

SHEET TITLE:

NEW SITE PLAN



NEW SITE PLAN  
 SCALE: 1/32" = 1'-0"



- SITE NOTES**
- MIN. LOT AREA: 10,890 SF
  - ACTUAL LOT AREA: 54,908 SF
  - LOT AREA MEASURED TO NHWL: 38,677 SF
  - MIN. FLOOR AREA: 2,200 SF
  - MAX HEIGHT: 35 FEET
  - ACTUAL HEIGHT: 14'-6"
  - REAR SETBACK: 50 FEET
  - SIDE SETBACK: 10 FEET PRIMARY STRUCTURE, 5 FEET FOR ADU.
  - SEPARATION FROM BUILDINGS: 6 FEET
  - FRONT SETBACK: 30 FEET
  - EXISTING BUILDING PAD = 2,384 SF
  - EXISTING POOL DECK = 1,874 SF
  - MODIFIED DRIVEWAY = 5,199 SF
  - MODIFIED WALKWAYS = 1,588 SF
  - EXISTING PADS = 51 SF
  - EXISTING FRONT PORCH = 316 SF
  - NEW ADU AC PAD = 9 SF
  - NEW ADU BUILDING PAD = 1,215 SF
  - TOTAL IMPERVIOUS AREA = 12,636 SF
  - ISR = 0.33% MEASURED TO NHWL
  - MAX ISR: 0.55
  - PROJECT SCOPE: ADD NEW DETACHED STRUCTURE

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ARCHITECT:  
studio1+  
AA26003729  
EDWARD JOE KNOUS, RA  
2733 DONALDSON DRIVE  
ORLANDO, FL 32812  
407-690-0505  
JOEKNOUS@STUDIOONEPLUS.COM

SEAL

NAME: EDWARD JOE KNOUS  
FL REG. NO.: AR97048

CONSULTANTS



JOHNSON RESIDENCE  
1078 HARBOUR ISLAND ROAD  
ORLANDO, FL. 32809  
AHJ: EDGEWOOD

PROJECT LOCATION  
DATE ISSUED FOR  
10/08/2021 PERMITTING

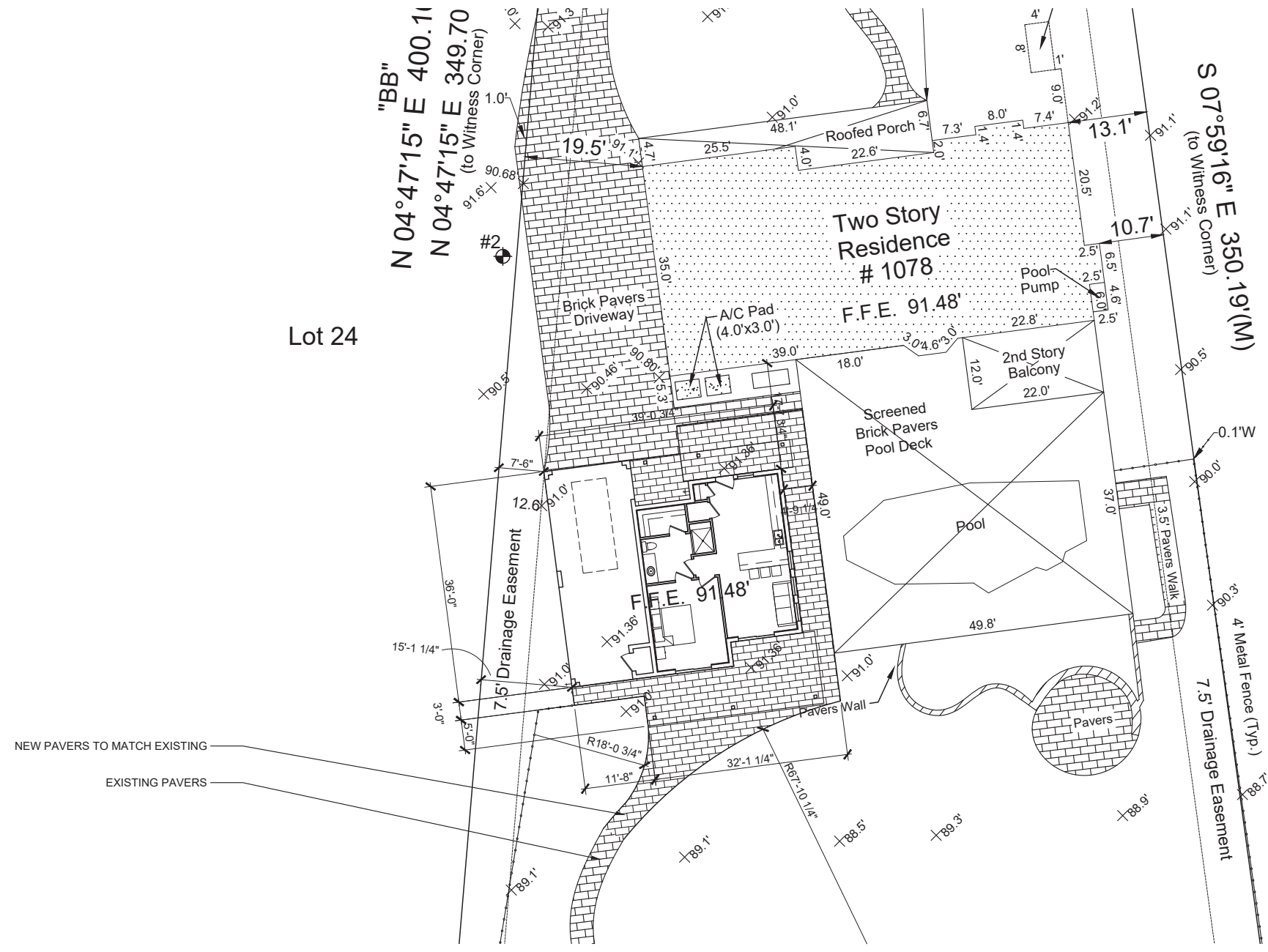
JOB NUMBER: 20-079  
PROJECT MANAGER: --  
DRAWN BY: J. KNOUS  
APPROVED BY: J. KNOUS

LAST FILED:  
Fri, 08 Oct 2021  
4:27pm

SHEET TITLE:  
NEW ENLARGED  
SITE PLAN  
SHEET NUMBER:  
A4.1

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NEW ENLARGED SITE PLAN  
SCALE: 3/32" = 1'-0"



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FOUNDATION NOTES

1. PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER OVER TERMITE TREATED SOIL. ALL JOINTS TO BE LAPPED 6" AND SEALED.
2. W.W.F. 6 X 6 W1.4 X W1.4. OR FIBERMESH.
3. 4" REINFORCED 3000 PSI CONCRETE FOR SLABS.
4. 6" REINFORCED 3000 PSI CONCRETE FOR STAIRS.
5. REFER TO MANUFACTURER SPECIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS.
6. EXTERIOR PORCHES TO SLOPE AWAY FROM HOUSE AS INDICATED ON PLANS.
7. EXTERIOR HOUSEKEEPING AC PAD TO SLOPE 1/2" PER FOOT AWAY FROM HOUSE.
8. ALL FILL TO BE FREE OF ORGANIC MATERIAL AND COHESIVE SOILS, COMPACTED IN 12" LIFTS TO 95% OF MAX. DRY DENSITY AS DETERMINED BY ASTM-1557
9. ■ INDICATES FILLED CELL WITH 3,000 PSI CONC. FROM FOUNDATION TO BEAM WITH (1) #5 REBAR TYPICAL ABOVE SLAB. HOOKED FTG. DOWELS 6" EMBEDMENT WITH 25" EXTENSION ABOVE SLAB. FILLED CELLS TO BE PLACED AT EACH CORNER, END OF INDICATED BRG. WALLS, EACH SIDE OF ALL OPENINGS, UNDER GIRDER TRUSSES (FLOOR AND ROOF), AND 48" O.C. MAX.
10. CONTROL JOINTS ARE NOT REQUIRED BY CODE BUT ARE SUGGESTED (ESPECIALLY WHEN USING FIBER REINFOR. CONCRETE OR IN EXTERIOR CONDITIONS). CONTROL JOINTS TO BE 1/8" SAW CUT A DEPTH OF 1/4 OF THE THICKNESS OF THE SLAB. FILL CUT W/ APPROVED JOINT MATERIAL.

UPLIFT CONNECTORS

1. UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS, AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. COORDINATE WITH THE TRUSS ENGINEER AND PLANS FOR THE LOCATION OF THESE WALLS.

CAST IN PLACE REINFORCED CONCRETE

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRNGTH AT 28 DAYS OF 3,000 PSI.
2. HORIZONTAL FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH A 2'-0" LAP PROVIDED.
3. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM U.N.O.
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 / A185M-07. WWM SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". POLYPROPYLENE FIBERS FOR SLABS ON GRADE TO BE MIN 1.5 LBS OF FIBER PER CUBIC YARD.
5. ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE, AND OIL AND SHALL MEET ASTM A615 / A185M-04A. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS. TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS AND FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS-REINFORCING TIED TO FOOTING REINFORCING.
6. IF TIE ANCHORS ARE USED, SIMPSON HIGH STRENGTH EPOXY TIE ANCHORING ADHESIVE SHALL BE USED.

MISSED DOWELS/ANCHORS

1. MISSED J BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATION OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS.
2. FOR MISSED VERT. DOWELS, DRILL A 3/4" DIA. HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STRENGTH EPOXY TIE ANCHORING ADHESIVE) MIXED PER THE MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALL THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS.
3. FOR MORTAR JOINTS INSTALLED THAT ARE LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING).
4. INTERIOR BEARING WALL: (IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS) 5/8" DIA. X 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 48" O.C. IF RESISTING UPLIFT LOADS OR 3 1/2" EMBEDMENT AT 48" O.C. IF RESISTING GRAVITY LOADS.
5. EXTERIOR BEARING WALL: (IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS) 5/8" DIA. X 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C.

stu **Section M, Item 2.**

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PROJECT LOCATION

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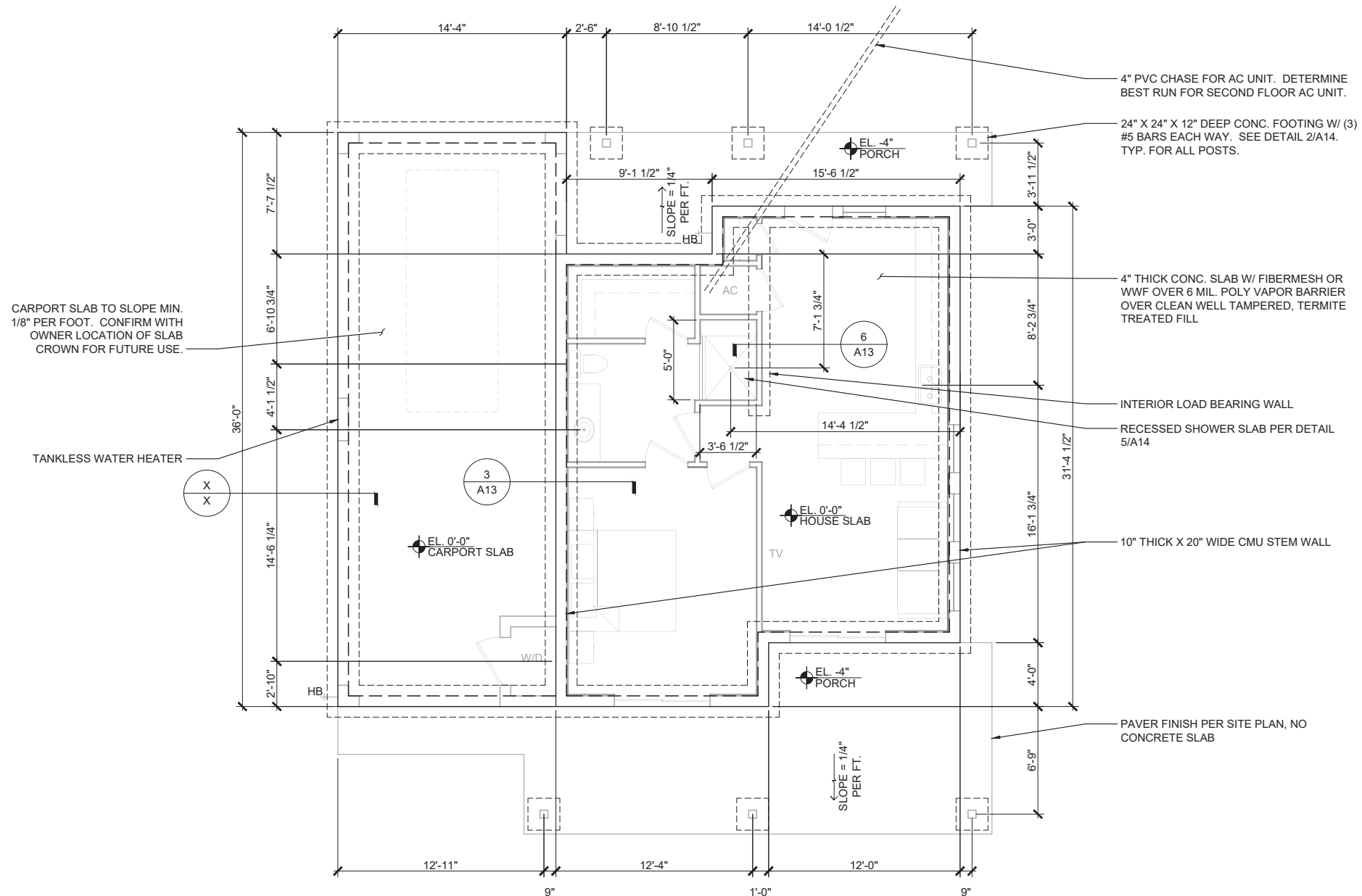
JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
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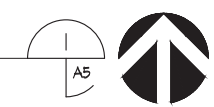
FOUNDATION PLAN

SHEET NUMBER: A5 **Page 37**



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FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"



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WIND LOAD CRITERIA			
ULTIMATE WIND SPEED:	140 MPH	ROOF:	
NOMINAL WIND SPEED:	108 MPH	ZONE 1 (FIELD)	
RISK CATEGORY:	II	10 SF	19.4 -21.0
WIND EXPOSURE:	B	20 SF	18.8 -20.0
INT. PRESSURE COEFF.	+/- 0.18 ENCLOSED	50 SF	18.1 -18.0
EXPOSURE ADJ. COEFF.	1.00	100 SF	17.6 -17.0
ZONE WIDTHS ARE 4'-0"		ZONE 2 (EDGE)	
		10 SF	19.4 -24.0
		20 SF	18.8 -23.0
OVERHANG:		50 SF	18.1 -22.0
ZONE 2	-73.3	100 SF	17.6 -21.0
ZONE 3	-73.3	ZONE 3 (CORNER)	
		10 SF	19.4 -24.0
GARAGE DOOR:		20 SF	18.8 -23.0
9 FOOT WIDE	18.5 -20.9	50 SF	18.1 -22.0
16 FOOT WIDE	17.7 -19.7	100 SF	17.6 -21.0
WALL:		WALL:	
ZONE 4 (FIELD)		ZONE 5 (CORNER)	
10 SF	21.2 -22.0	10 SF	21.2 -28.0
20 SF	20.2 -22.0	20 SF	20.2 -26.0
50 SF	19.0 -20.0	50 SF	19.0 -23.0
100 SF	18.0 -19.0	100 SF	18.0 -22.0
500 SF	15.8 -17.0	500 SF	15.8 -17.0

PLYWOOD SHEATHING NOTES	
1.	EXTERIOR FASTENING SCHEDULE:
1.1.	NAIL SIZE: 8d
1.2.	VERTICAL SPACING: 6" O.C.
1.3.	HORIZONTAL SPACING: 6" O.C.
1.4.	FIELD SPACING: 12" O.C.
2.	EXTERIOR GABLE END FASTENING SCHEDULE:
2.1.	NAIL SIZE: 8d
2.2.	VERTICAL SPACING: 4" O.C.
2.3.	HORIZONTAL SPACING: 4" O.C.
2.4.	FIELD SPACING: 8" O.C.
3.	PROVIDE BLOCKING AT ALL SHEATHING EDGES

GENERAL NOTES	
1.	ALL HABITABLE ROOMS TO MEET THE MINIMUM LIGHT AND VENTILATION REQUIREMENTS OF FLORIDA BUILDING CODE-RESIDENTIAL, SECTION R303.
2.	ALL WALL DIMENSIONS ARE SHOWN FROM FACE OF STUD OR CMU. STUDS SHALL BE 16" O.C.
3.	WALL INSULATION R-6.
4.	VERIFY CABINET SIZES AND ROUGH OPENINGS WITH STUD LAYOUT.
5.	COORDINATE WITH OWNER LOCATION OF ALL INTERIOR FINISHES.
6.	CEILING HEIGHT VARIES.

PRECAST LINTEL SCHEDULE					
MARK	SIZE	REBAR IN LINTEL	REBAR IN KO	MASONRY OPENING	CONFIGURATION
L-1	8"x8"	#5	-	11'-8"	FILLED PRECAST
L-2	8"x8"	#5	-	5'-1 1/2"	FILLED PRECAST
L-3	8"x8"	#5	-	3'-0"	FILLED PRECAST
L-4	8"x8"	#5	-	2'-8"	FILLED PRECAST
L-5	8"x8"	#5	-	6'-0"	FILLED PRECAST
L-6	8"x8"	#5	-	8'-10"	FILLED PRECAST
L-7	8"x16"	#5	#5	15'-4"	FILLED PRECAST AND PRESTRESSED W/ FILLED KO ABOVE

NOTE: LINTEL SCHEDULE IS BASED ON WINDOW OPENING. CONTRACTOR SHALL FIELD VERIFY BLOCK COURSING AS LINTEL SIZE MAY BE REQUIRED TO BE LONGER FOR BLOCK COURSING.

GARAGE DOOR NOTE	
1.	GARAGE DOORS CONNECTED TO HOUSE SHALL BE 1-3/8" SOLID WOOD DOOR, 1-3/8" SOLID OR HONEYCOMB CORE STEEL DOOR, OR 20-MINUTE RATED DOOR. PROVIDE SELF CLOSING DEVICE.

CONNECTOR SCHEDULE				
CONNECTOR	UPLIFT	ALLOWABLE LOADS (LATERAL)	FASTENERS	NOTES
A23	-	715/565 (DF/SP)	10d X 1 1/2"	
A33	-	800/330 (DF/SP)	10d	
ABU66Z	2,475	18,205 (DOWN)	0.162 X 3.5"	
H1	480	510/190 (DF/SP)	0.131	
H2.5A	565	110 (DF/SP)	0.131	
H3	400	210/170 (DF/SP)	0.131	
H6	1,230	-	0.131	
H8	780	90 (DF/SP)	0.148	
H10A	1,040	(DF/SP)	0.148 X 1 1/2"	
H10A-2	1,080	(DF/SP)	0.148 X 1 1/2"	
H10S	910	660/215 (DF/SP)	0.131 X 1 1/2"	
HETA -20	1,810	-	(9) #10	
HD3B	1,895	1,610 (SPF/HF)	5/8"	1 1/2" WOOD MEMBER THICKNESS
	2,525	2,145 (SPF/HF)	5/8"	2 1/2" WOOD MEMBER THICKNESS
	3,130	3,050 (SPF/HF)	5/8"	3" WOOD MEMBER THICKNESS
	3,130	3,050 (SPF/HF)	5/8"	3 1/2" WOOD MEMBER THICKNESS
HGA10	605	500/720 (DF/SP)	1/4" X 1.5" SDS	
HGA10KT	650	1,165/940 (DF/SP)	1/4" X 1.5" SDS	
HGUS26-2	1,725	-	SD10212	SD SCREWS
HGUS28-3	3,235	-	0.162 X 3.5"	
HTS16	1,260	-	10d	
HTS20	1,450	-	10d	
HTT4	-	3,000 (DF/SP)	10d X 1 1/2"	1 1/2" X 5 1/2" WOOD MEMBER SIZE
HUC212-2	1,135	1,805 (DF/SP)	10d	
HUS26	1,320	(DF/SP)	0.162 X 3 1/2"	
LTS12	660	(DF/SP)	0.148" X 3"	
LTS16	660	(DF/SP)	0.148" X 3"	
LUS24	435	(DF/SP)	0.148" X 3"	
MPB66Z	5,815	3,545	1/4"x2.5"	ROTATIONAL STIFFNESS: 2,405,00
MBHA 3.56/16	3,475	5,330 (DF)	10d X 1 1/2"	
MSTA24	1,640	1,455 (SPF/HF)	10d	
MSTA36	2,050	2,050 (SPF/HF)	10d	
MSTAM36	1,870	-	10d	
MTS12	1,000	-	10d X 1 1/2"	
MTS18	1,000	-	10d X 1 1/2"	
SP1	585	535 (SPF/HF)	10d	
SP2	1,065	605 (SPF/HF)	10d	
SP4	825	-	#10	
SP8	930	-	#10	
SS1.5	-	500 (COMPRESSION)	10d X 1 1/2"	
SS3	-	665 (COMPRESSION)	10d	
PSC	-	-	-	SIZE BASED ON PLYWOOD

NOTE:  
1. CONTRACTOR SHALL REFER TO TRUSS PACKAGE FOR ENGINEERED UPLIFT VALUES. SIMPSON DEVICE SHALL MEET THE MINIMUM UPLIFT VALUE IDENTIFIED ON THE TRUSS PACKAGE. LARGEST UPLIFT VALUE IS 1,977 ON TRUSS #24. SIMPSON MSTAM36 STRAP.

stu **Section M, Item 2.**

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PROJECT MANAGER: --  
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FLOOR PLAN -  
NOTES

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A5

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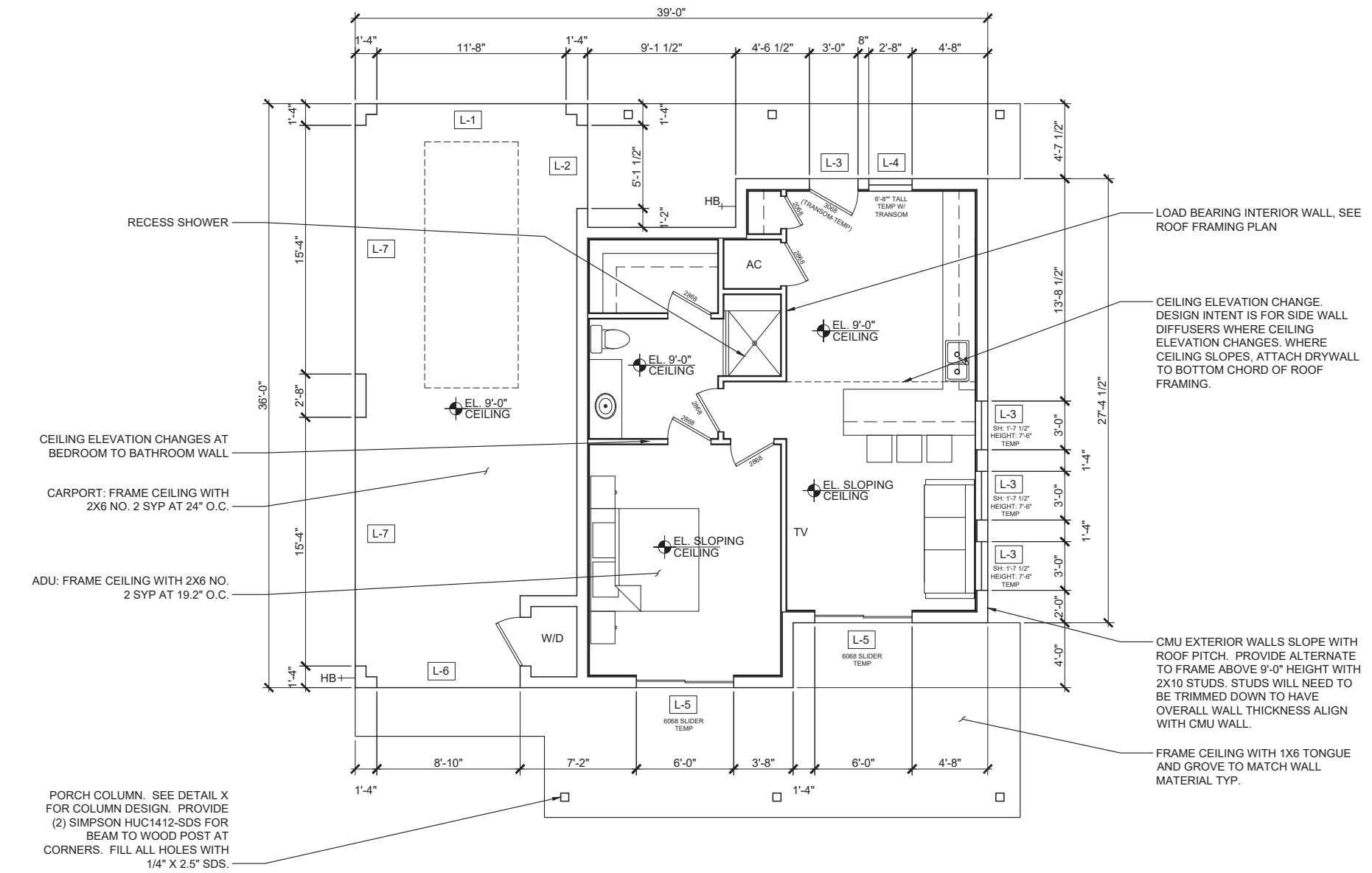
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FLOOR PLAN

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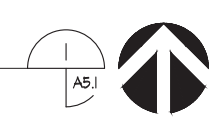
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FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

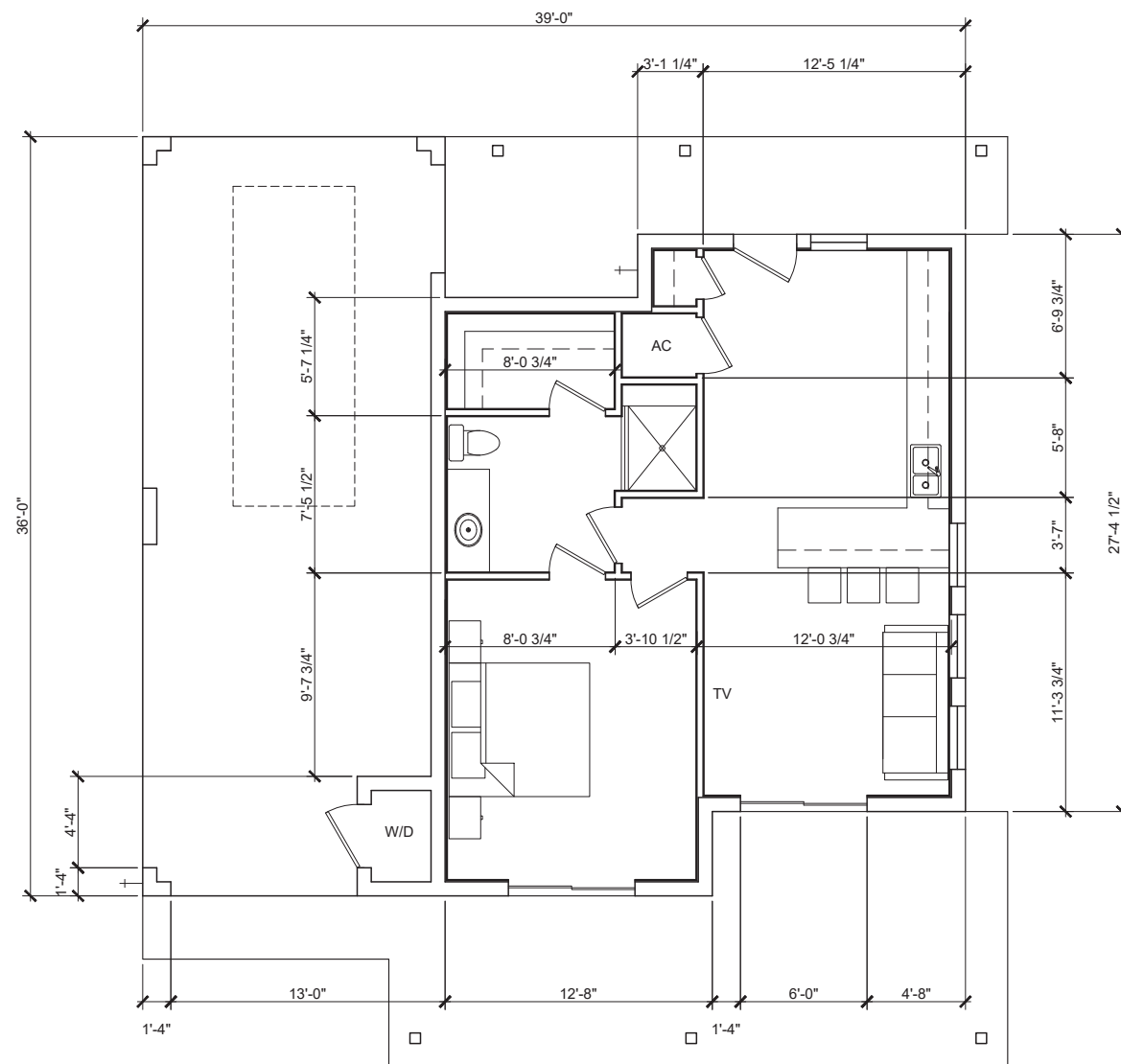
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DIMENSION FLOOR PLAN  
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AHJ: EDGEWOOD  
LOCATION

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DIMENSION FLOOR PLAN





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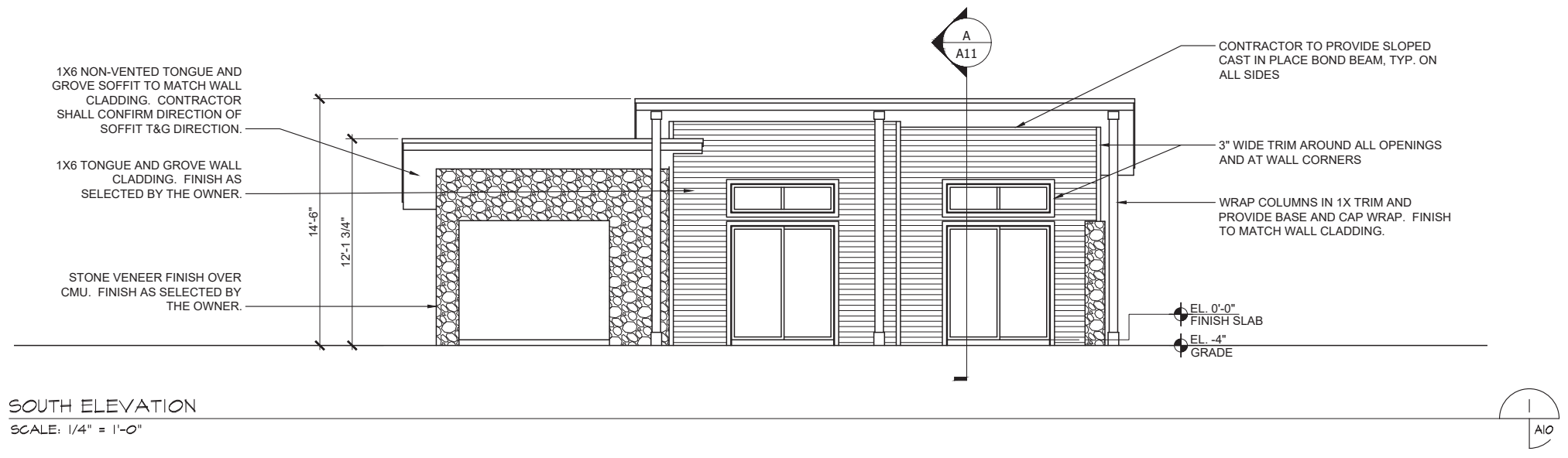
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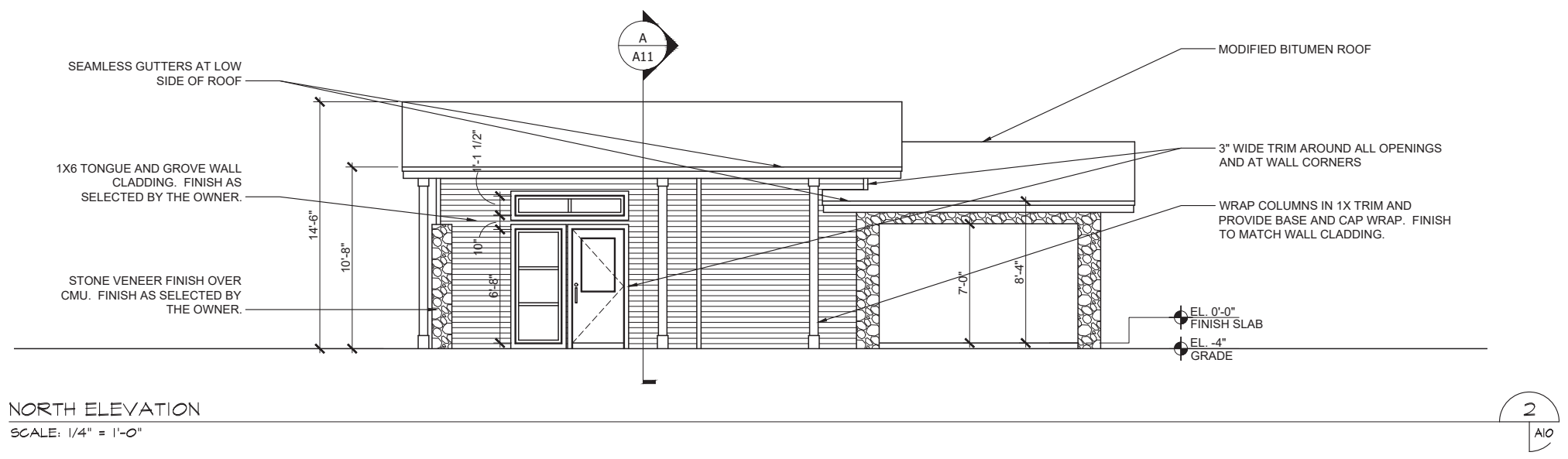


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SHEET NUMBER:	Page 41



SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

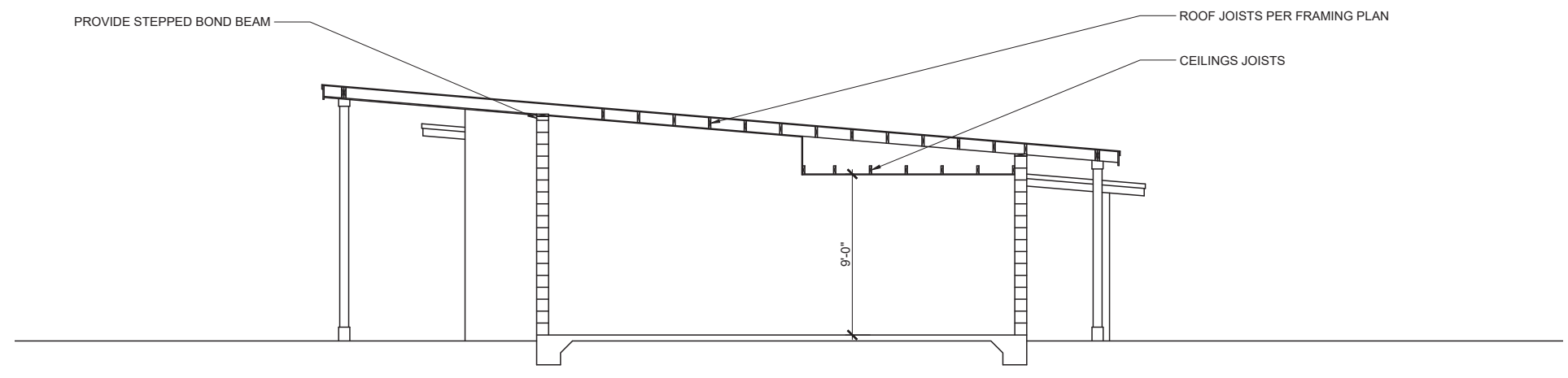
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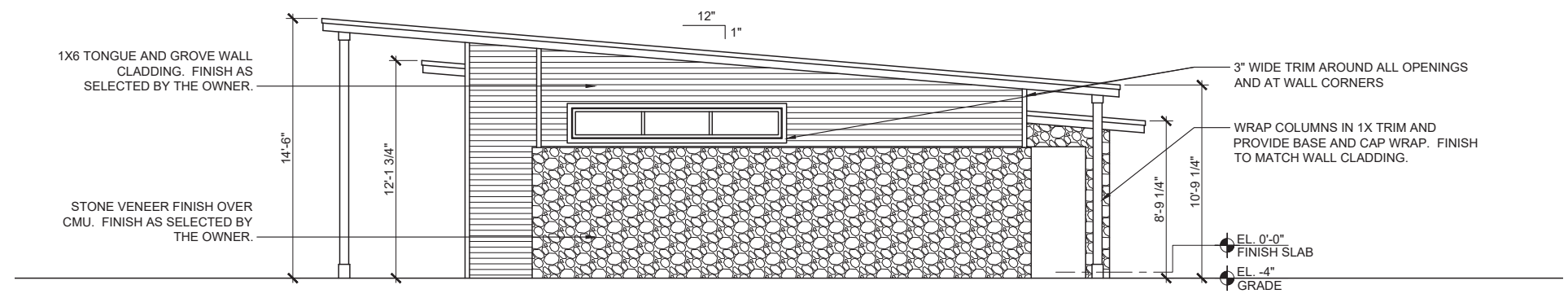
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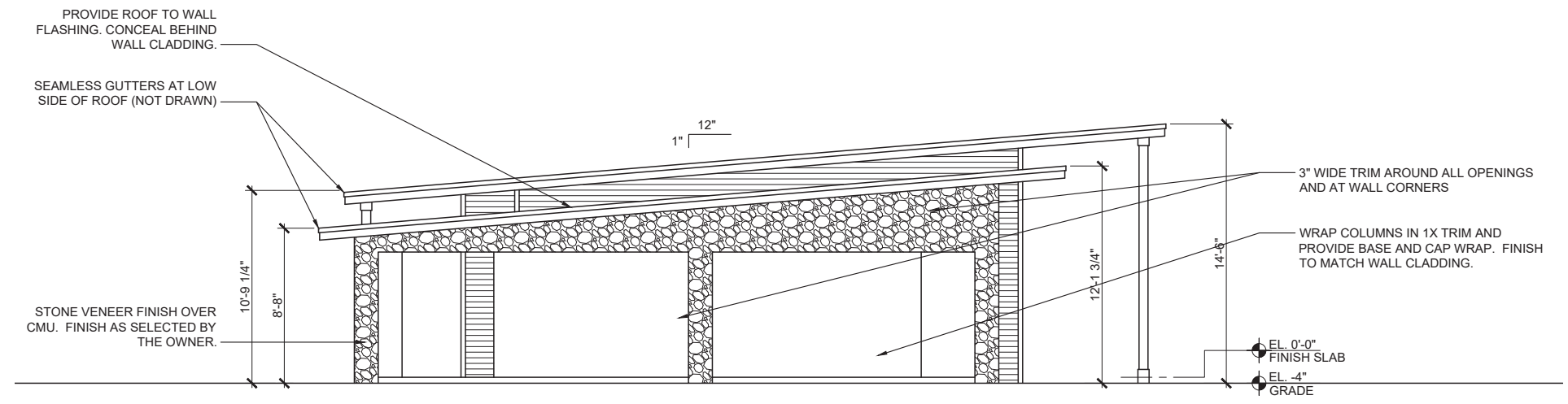
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NORTH/SOUTH SECTION  
 SCALE: 1/4" = 1'-0"



EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



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JOHNSON RESIDENCE	ORLANDO, FL. 32809
1078 HARBOUR ISLAND ROAD	AHJ: EDGEWOOD

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GENERAL NOTES:  
 1. REFER TO A15 FOR WALL DETAILS.  
 2. SIMPSON TITEN HD SECURING 2X SOLE PLATE SHALL BE SPACED 48" O.C., 12" FROM CORNERS, AND 12" FROM SOLE PLATE SPLICES.

Section M, Item 2.  
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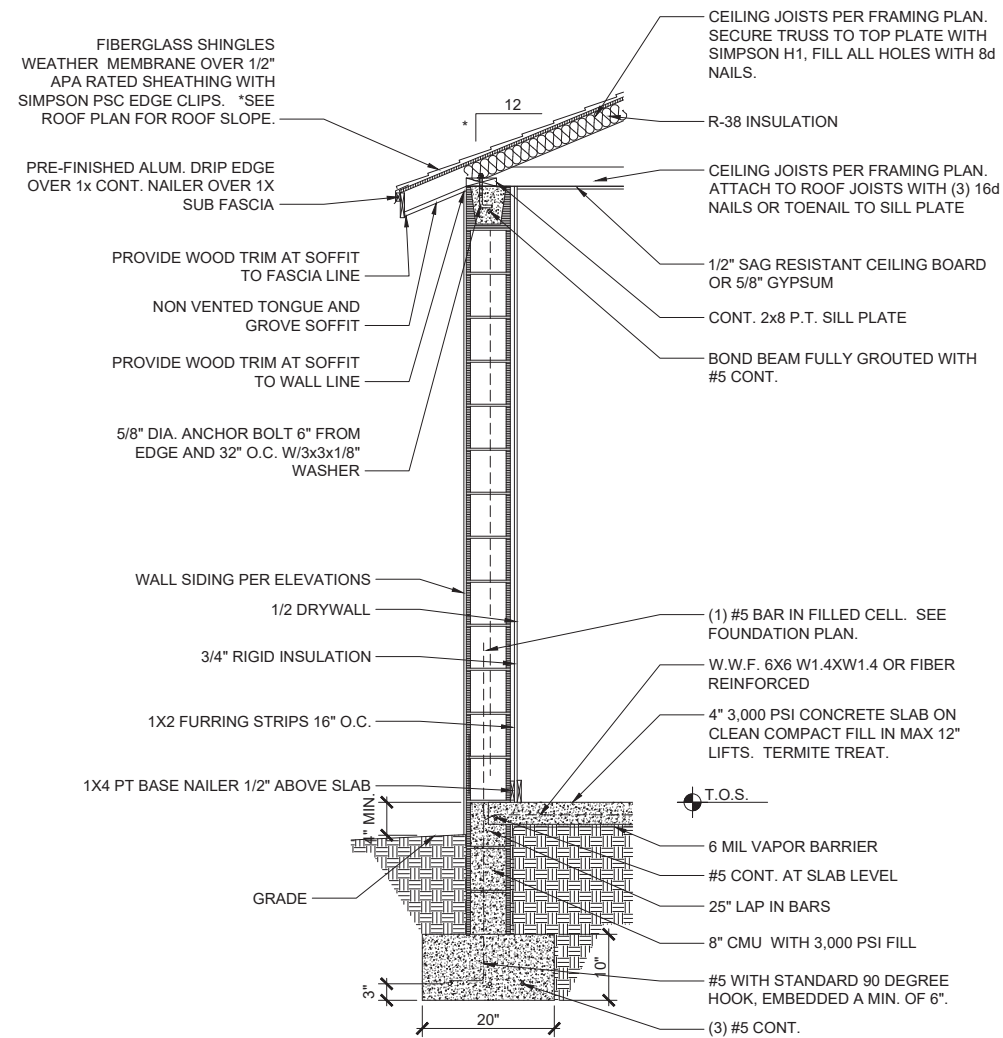


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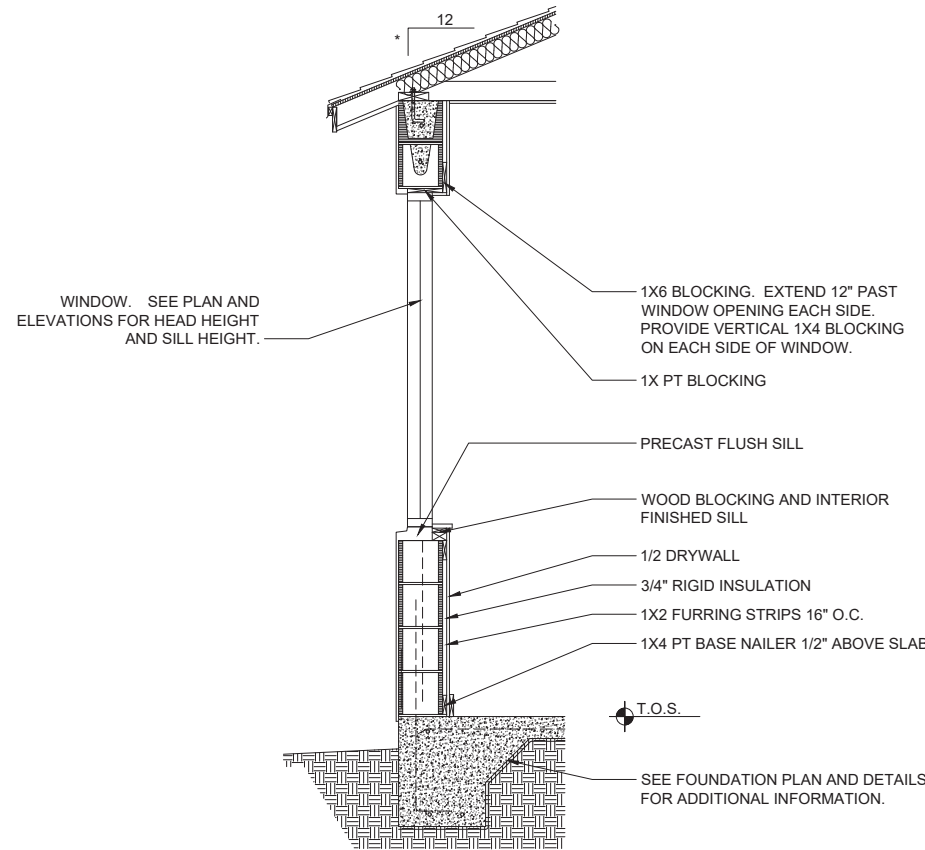
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 EXT. WALLS SECTIONS

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 Page 43



EXT. WALL SECTION  
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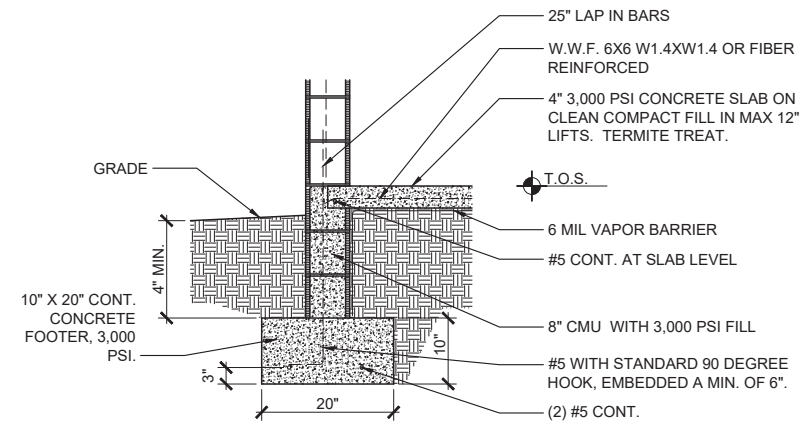


NOTE:  
 1. SEE WALL SECTION 1/A12 FOR ADDITIONAL INFORMATION.

EXT. WALL SECTION AT WINDOW  
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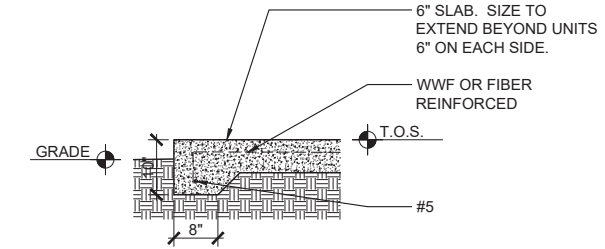


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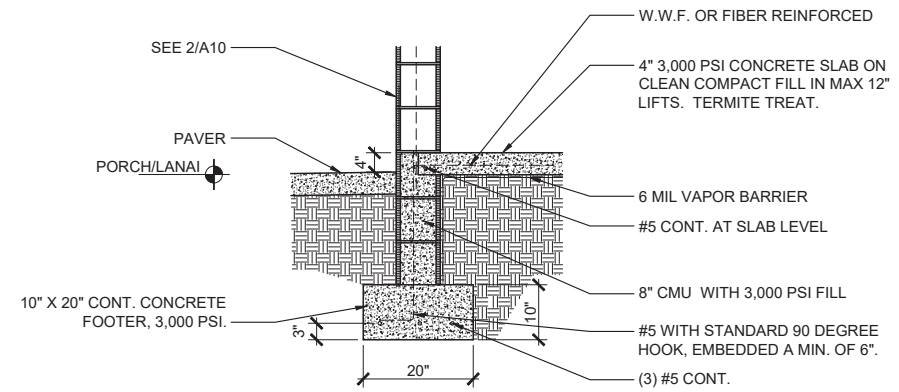


- SPECIFIC TYP. STEM WALL NOTES:**
1. VERTICAL REINF. IN SOLID GROUTED CELLS AT ALL CORNERS AND PER DOWEL PLAN.
  2. REINF. AT CORNER FOOTINGS SHALL BE L SHAPE AND EXTEND 25" IN BOTH DIRECTIONS TO TIE TO CONT. REINF.
  3. ALL EXTERIOR FOOTINGS (BOTTOM OF FOOTING) SHALL BE PLACED AT LEAST 12" BELOW THE UNDISTURBED GROUND SURFACE.

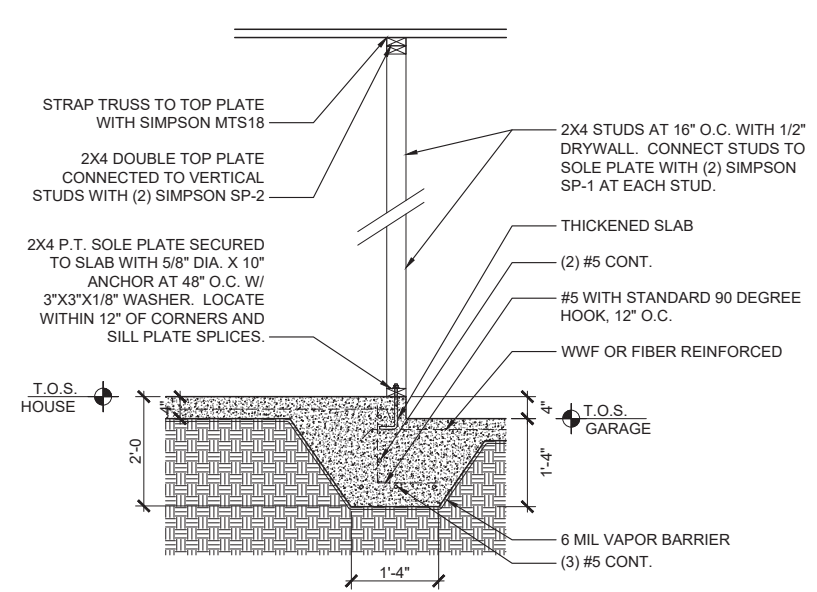
**TYPICAL STEM WALL**  
 SCALE: 3/4" = 1'-0"



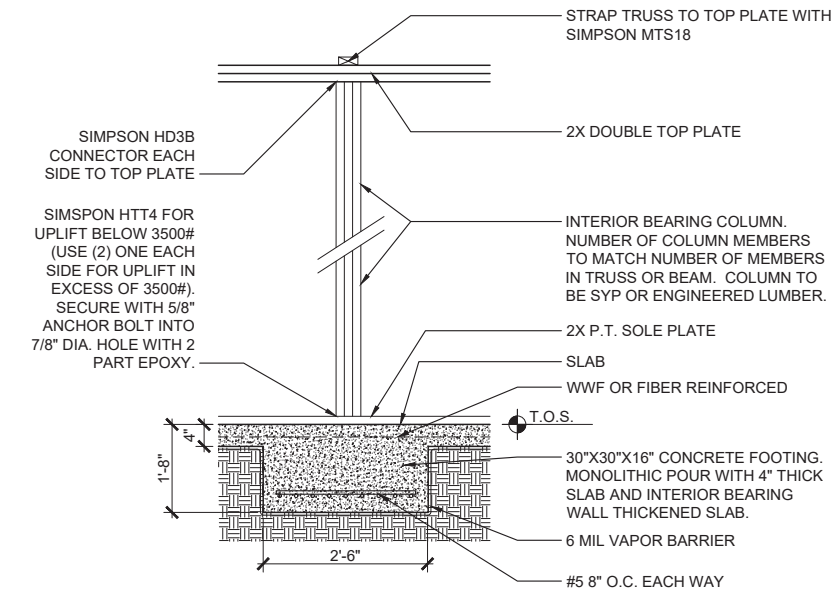
**AC HOUSEKEEPING PAD**  
 SCALE: 3/4" = 1'-0"



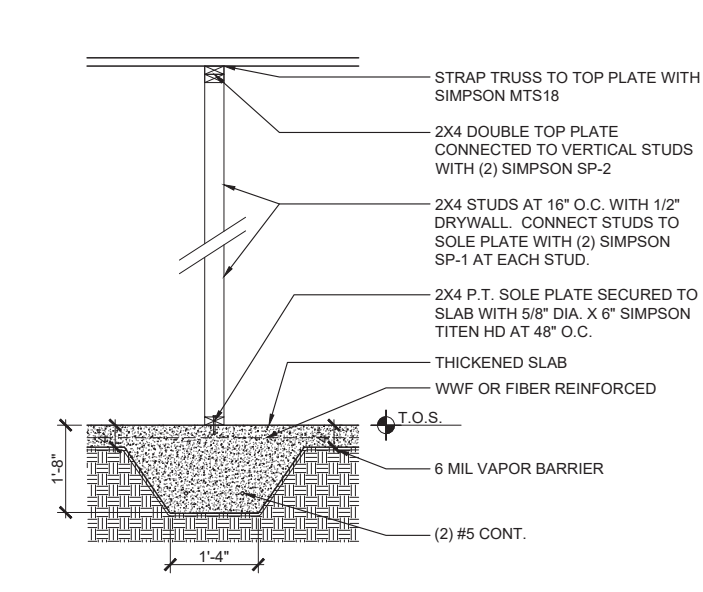
**BEARING WALL STEP DOWN PORCH/LANAI**  
 SCALE: 3/4" = 1'-0"



**LOAD BEARING WALL AT GARAGE**  
 SCALE: 3/4" = 1'-0"



**BEARING POST DETAIL**  
 SCALE: 3/4" = 1'-0"



**INTERIOR LOAD BEARING WALL**  
 SCALE: 3/4" = 1'-0"

**GENERAL NOTES:**

1. REFER TO A15 FOR WALL DETAILS.
2. SIMPSON TITEN HD SECURING 2X SOLE PLATE SHALL BE SPACED 48" O.C., 12" FROM CORNERS, AND 12" FROM SOLE PLATE SPLICES.

**Section M, Item 2.**

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PROJECT LOCATION  
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 AHJ: EDGEWOOD

DATE ISSUED FOR  
 10/08/2021 PERMITTING

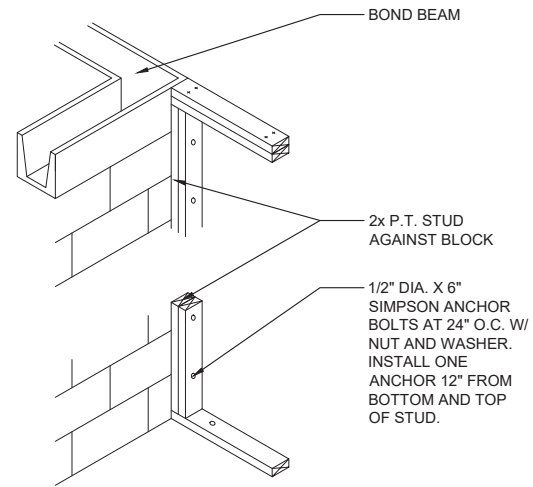
JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
 APPROVED BY: J. KNOUS

LAST FILED:  
 Fri, 08 Oct 2021  
 4:23pm

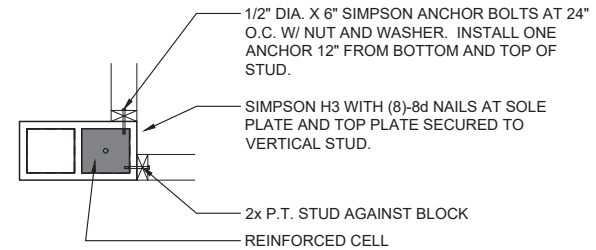
DETAILS -  
 FOUNDATION

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NOTE:  
1. NOT ALL FASTENING INFORMATION SHOWN ON THIS DETAIL. REFER TO A15 FOR ADDITIONAL STUD WALL FRAMING INFORMATION.



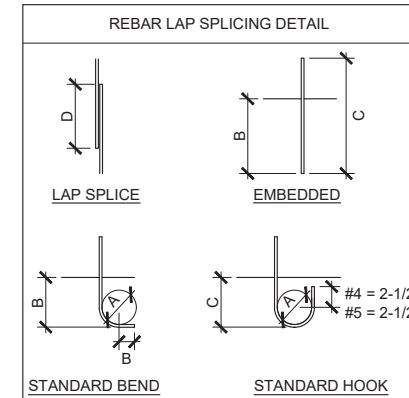
NOTE:  
1. STUD PLACEMENT TO BLOCK SHALL BE PER FLOOR PLAN. ILLUSTRATION ABOVE IS FOR GENERAL DETAILING.

**GARAGE DOOR FRAMING**

SCALE: NTS

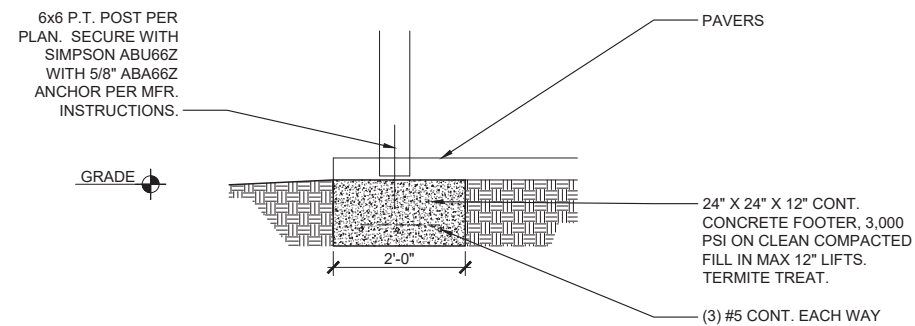


GENERAL NOTES:  
1. REFER TO A15 FOR WALL DETAILS.  
2. SIMPSON TITEN HD SECURING 2X SOLE PLATE SHALL BE SPACED 48" O.C., 12" FROM CORNERS, AND 12" FROM SOLE PLATE SPLICES.



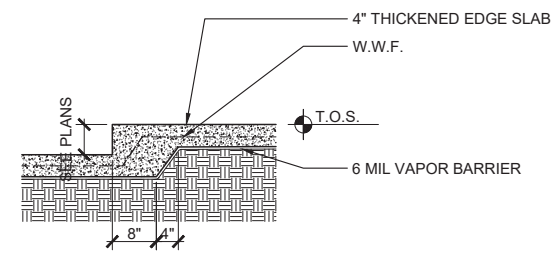
REQUIRED LAP SPLICE, EMBEDMENT, AND HOOKED REINFORCING STEEL (INCHES)

BAR SIZE	BEND DIA.	GRADE 40		
		EMBEDDED	HOOKED LENGTH	LAP SPLICE
#4	2-1/2	5-5/8	9-1/2	20
#5	3-1/8	7	11-3/4	25



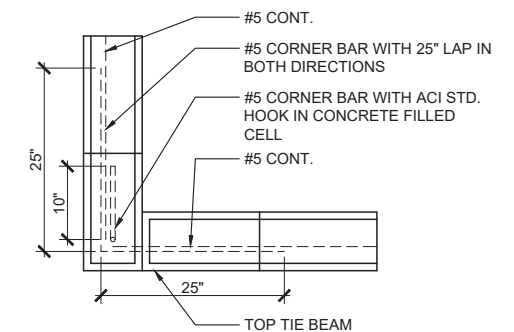
**POST DETAIL**

SCALE: 3/4" = 1'-0"



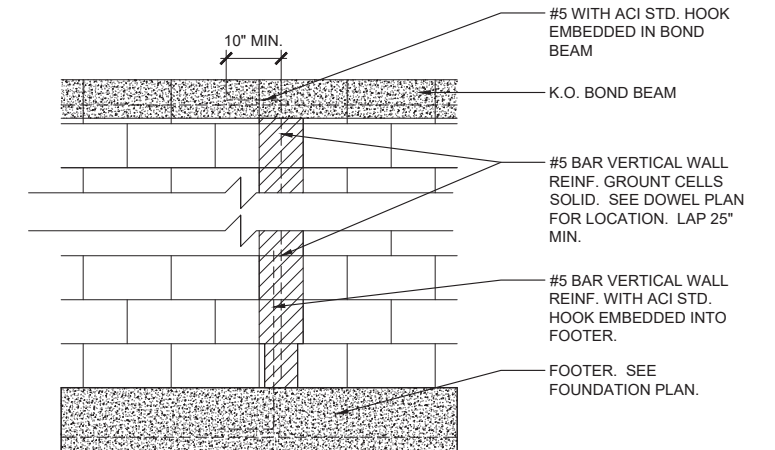
**SHOWER RECESS**

SCALE: 3/4" = 1'-0"



**CORNER REINFORCEMENT**

SCALE: 1" = 1'-0"



**MAONRY WALL REINFORCED CELL DETAIL**

SCALE: 3/4" = 1'-0"



Section M, Item 2.

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PROJECT MANAGER: --  
DRAWN BY: J. KNOUS  
APPROVED BY: J. KNOUS

LAST FILED:  
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4:23pm

SHEET TITLE:  
DETAILS

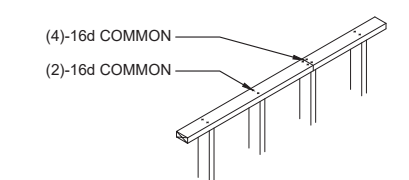
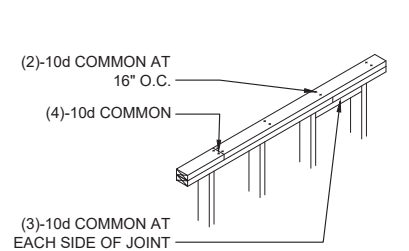
SHEET NUMBER:  
A14

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**11/9/2021**  
**CITY OF EDGEWOOD**

HEADER SCHEDULE		
OPENING SIZE	BEARING WALL	NON-BEARING WALL
0 - 3'-0"	(2) 2x6	(2) 2x4
3'-1" - 5'-0"	(2) 2x10	(2) 2x6
5'-1"-16'-0"	(2) 2x12	(2) 2x10

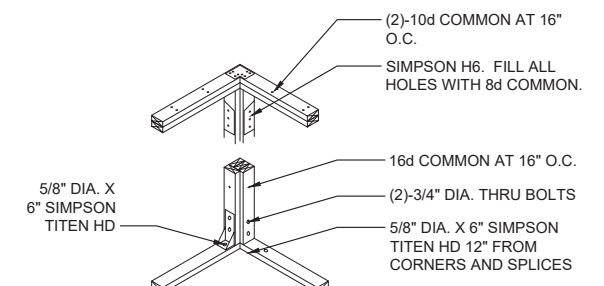
NOTE: PROVIDE FLITCH PLATE FOR ALL HEADERS

HEADER SUPPORT NO. OF JACKS AND STUDS REQ. AT OPENINGS		
OPENING SIZE	2x4 WALL	
	JACKS EA. END	KINGS EA. END
1'-0" - 3'-11"	1	1
4'-0" - 10'-5"	2	1
10'-6"-16'-0"	2	2

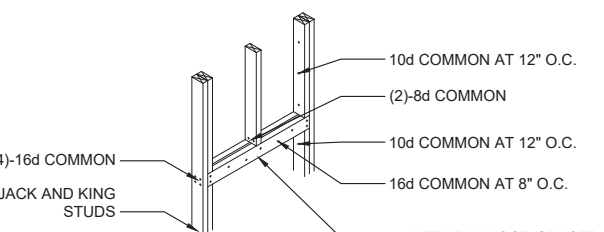


NOTE:  
1. WHERE NOTCH OR BORE IS GREATER THAN 50 PERCENT OF THE PLATE WIDTH, PROVIDE 16 GAUGE X 1.5\"/>

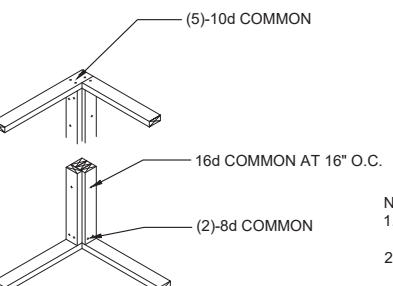
TOP PLATE FASTENERS



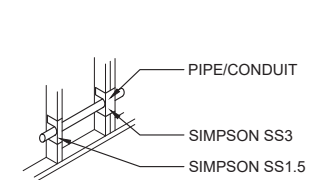
4 STUD CORNER - STRAPPING INFORMATION



INTERIOR HEADER

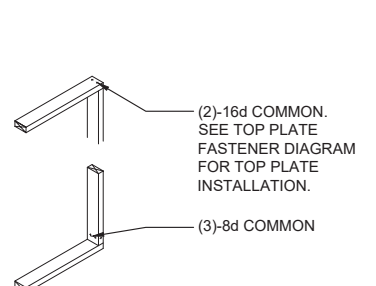


4 STUD CORNER

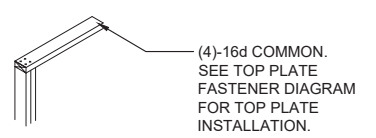


- NOTE:
1. NOTCHING AND DRILLING SHALL BE PER F.B.C. R602.2.3
  2. NOTCHING: EXTERIOR WALL OR LOAD BEARING, DEPTH NOT EXCEEDING 25 PERCENT OF ITS STUDS WIDTH.
  3. NOTCHING: INTERIOR NON LOAD BEARING, DEPTH NOT TO EXCEED 40 PERCENT OF ITS STUDS WIDTH.
  4. DRILLING: HOLE IS NO MORE THAN 60 PERCENT OF ITS STUDS WIDTH, THE EDGE OF HOLE IS NO MORE THAN 5/8\"/>

INTERIOR HEADER



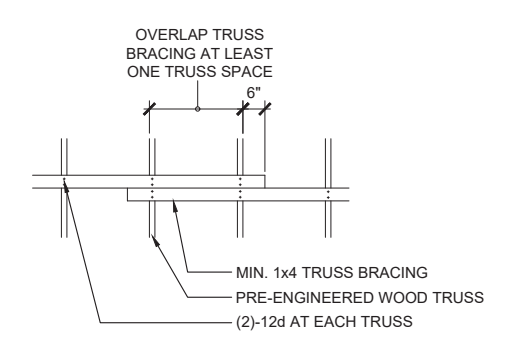
END STUD INTERIOR



DOUBLE END STUD

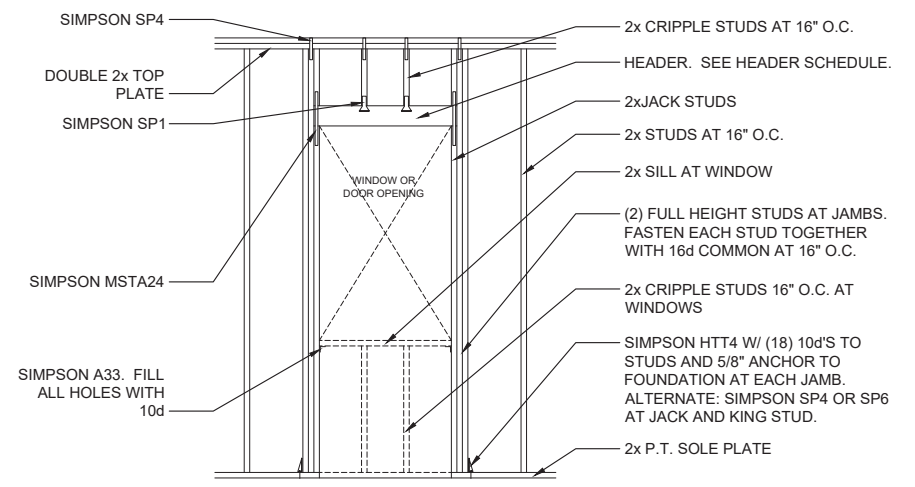
GENERAL WOOD ATTACHMENT DETAILS

SCALE: 1/2" = 1'-0"



TRUSS BRACING OVERLAP

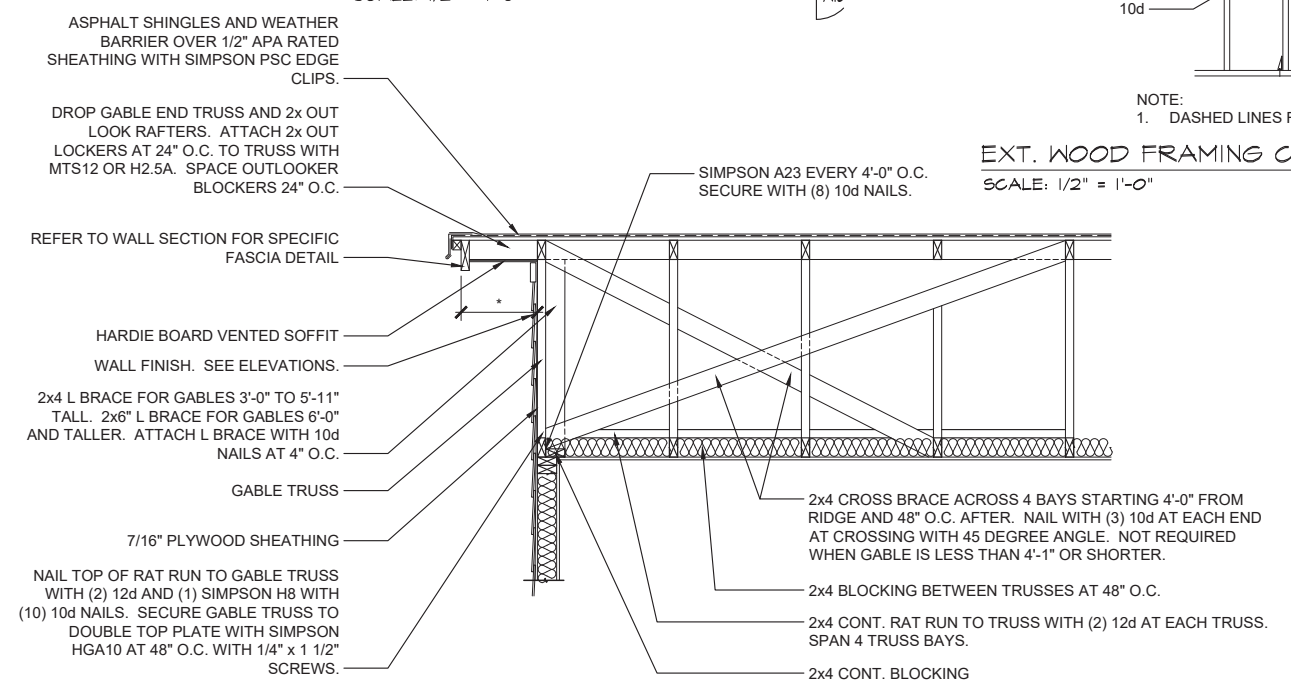
SCALE: 1/2" = 1'-0"



EXT. WOOD FRAMING CONNECTION DETAIL

SCALE: 1/2" = 1'-0"

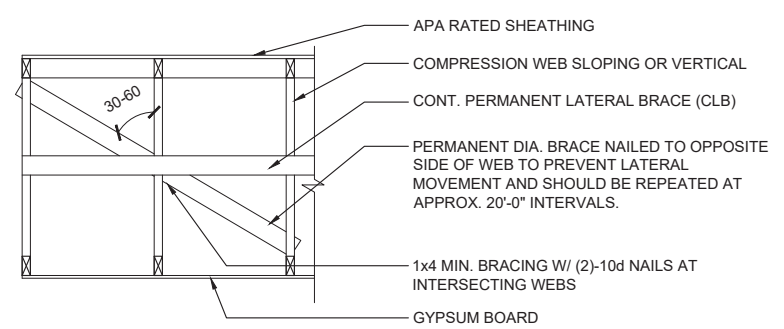
- NOTE:  
1. DASHED LINES REPRESENT FRAMING FOR WINDOW OPENING.



TYP. FRAME WALL GABLE END

SCALE: 3/4" = 1'-0"

- NOTE:  
1. DETAIL REPRESENTS TYP. GABLE END FRAMING CONDITION. SPECIFIC DETAIL MAY VARY SLIGHTLY BASED ON TRUSS DESIGN AND LAYOUT. REFER TO DETAIL FOR ATTACHMENT AND BRACING REQUIREMENTS.



- NOTE:  
1. THREE OR MORE REPEATED IDENTICAL TRUSSES SHALL HAVE DIA. BRACES (AS REQUIRED BY HIB-91).

CLB BRACING AT 20' MAX. INTERVALS

SCALE: 3/4" = 1'-0"

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**11/9/2021**  
**CITY OF EDGEWOOD**

- GENERAL NOTES:
1. INTERIOR NON-LOAD BEARING WALLS DO NOT REQUIRE SP-1 AND SP-2 STUD FASTENERS TO SOLE AND TOP PLATES.
  2. SEE SHEET A13 FOR LOAD BEARING STUD CONNECTION DETAILS
  3. ALL FLASHING SHALL BE PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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AHJ: EDGEWOOD

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PROJECT MANAGER: --  
DRAWN BY: J. KNOUS  
APPROVED BY: J. KNOUS

LAST FILED:  
Fri, 08 Oct 2021  
4:25pm

SHEET TITLE:  
DETAILS -  
WALL FRAMING

SHEET NUMBER:  
A15

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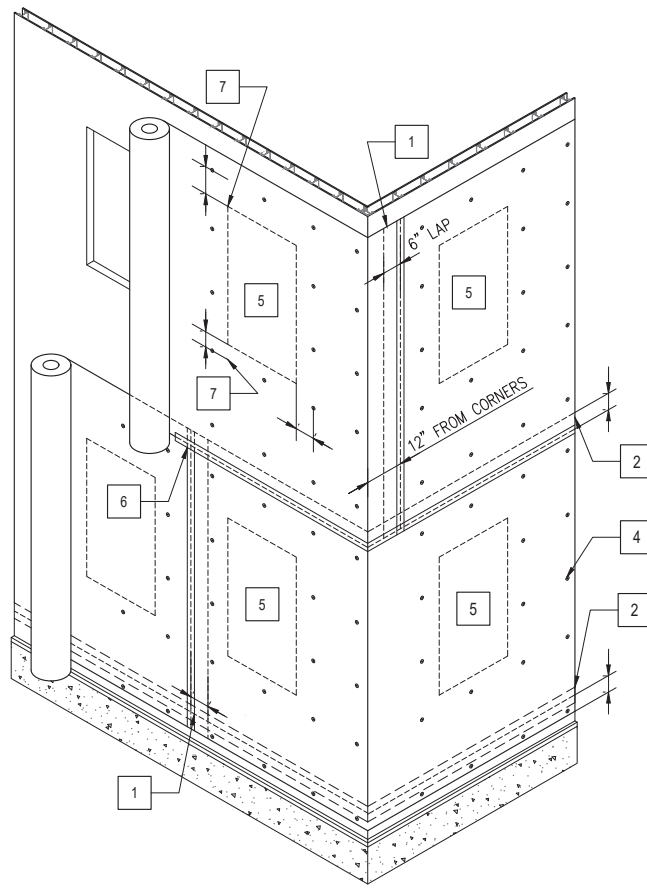
**RECEIVED**  
**11/9/2021**  
**CITY OF EDGEWOOD**

GENERAL NOTES:  
1. ALL FLASHING PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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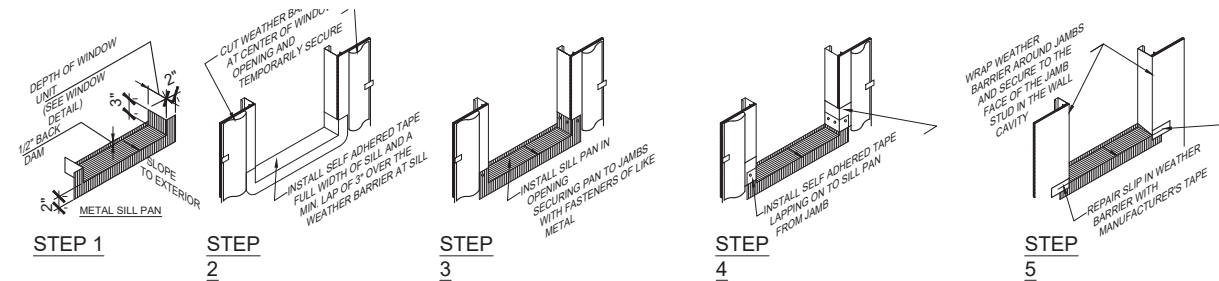
**WEATHER BARRIER INSTALLATION - EXCEPT AT STUCCO FINISH**

1. START AT CORNER OF BUILDING, UNROLL WEATHER BARRIER KEEPING THE ROLL PLUMB; EXTEND THE WEATHER BARRIER TO A POINT 12" PAST AN OUTSIDE OR INSIDE CORNER OF WALL. VERTICALLY OVERLAP THE PREVIOUS SHEET OF WEATHER BARRIER A MINIMUM OF 6". VERTICAL GRID LINES AT 8" SPACING ARE PROVIDED TO ASSIST IN ALIGNMENT WITH STUDS.
2. PROPER SHINGLING OF THE WEATHER BARRIER IS ESSENTIAL IN KEEPING MOISTURE OUT OF THE EXTERIOR ENVELOPE. WEATHER BARRIERS ARE TO BE INSTALLED STARTING AT THE LOWEST POINT TO RECEIVE WEATHER BARRIER WITH SUBSEQUENT COURSES LAPPING THE PREVIOUS SHEET TO ENSURE BARRIER SHINGLING.
3. WEATHER BARRIER SHOULD OVERLAP THROUGH-WALL FLASHING BY A MINIMUM OF 6" FOR MAXIMUM AIR LEAKAGE REDUCTION.
4. SECURE WEATHER BARRIER WITH FASTENERS AND CAPS AS DIRECTED BY THE MANUFACTURER AND FASTEN AT STUDS.
5. UNROLL WEATHER BARRIER DIRECTLY OVER DOOR AND WINDOW ROUGH OPENINGS.
6. ALL HORIZONTAL AND VERTICAL LAPS SHALL BE A MINIMUM OF 6". TAPE ALL JOINTS USING MANUFACTURER'S TAPE.
7. DO NOT INSTALL FASTENERS WITHIN 6" OF SILLS AND JAMBS AT OPENINGS AND 9" AT THE HEAD OF THESE OPENINGS.



**WEATHER BARRIER INSTALLATION AT STUCCO FINISH**

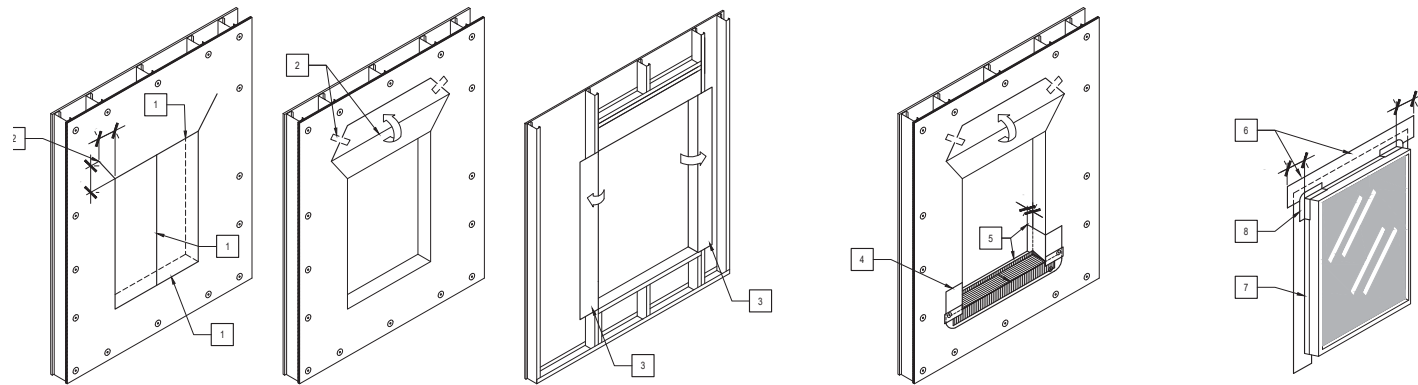
9. WEATHER BARRIERS AT STUCCO FINISHES REQUIRE 2 COMPLETE LAYERS OF WEATHER BARRIER.
10. FIRST LAYER IS THE DRAINAGE LAYER AND SHALL BE INSTALLED WITH THE RIBBED DRAINAGE PLANE ORIENTED VERTICALLY AND INSTALLED AS DIRECTED IN STEPS 1 THROUGH 7 ABOVE. USE DUPONT TYVEK WEATHER BARRIER.
11. THE SECOND LAYER IS INSTALLED OVER THE DRAINAGE PLANE AS DIRECTED IN STEPS 1 THROUGH 7 ABOVE. USE DUPONT TYVEK STUCCOWRAP WEATHER BARRIER.



- NOTES:  
1. ALL PANS ARE TO BE SOLDERED AND MADE WATER TIGHT.  
2. WHEN ATTACHMENT REQUIRES FASTENER THROUGH THE SILL, ADD AN ADDITIONAL APPLICATION OF SELF ADHERED MEMBRANE ON TOP OF METAL PAN.  
3. FIELD VERIFY ALL WINDOW AND DOOR DIMENSIONS TO VERIFY PROPER WALL AND FLASHING WATERPROOFING.  
4. ALL INSTALLATION DETAIL DRAWINGS REFER TO BOTH WINDOW AND DOOR INSTALLATIONS. CONTRACTOR TO INTERPOLATE DETAIL FOR SPECIFIC APPLICATION.

**WEATHER BARRIER ASSEMBLY**

SCALE: NTS

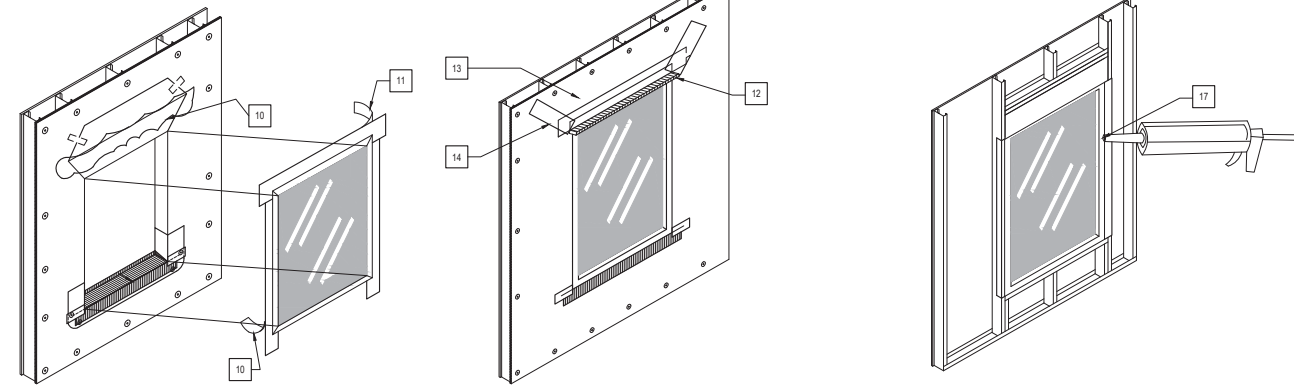


1. MAKE AN I-CUT IN THE WEATHER BARRIER. BEGIN WITH A HORIZONTAL CUT ACROSS THE BOTTOM AND THE TOP OF THE WINDOW FRAME. FROM THE CENTER CUT STRAIGHT DOWN TO THE SILL.
2. CUT TWO 45 DEGREE SLITS A MINIMUM OF 8" FROM THE CORNER OF THE HEADER TO CREATE A FLAP ABOVE THE ROUGH OPENING TO EXPOSE SHEATHING OR FRAMING MEMBERS AND TO ALLOW HEAD FLASHING INSTALLATION. FLIP HEAD FLAP UP AND TEMPORARILY SECURE WITH TAPE.
3. FOLD SIDE FLAPS INTO ROUGH OPENING, CUT EXCESS FLAPS, AND SECURE.  
NOTE: SIDE FLAPS SHOULD COVER INTERIOR FACING FRAMING STUD.

1  
A16

**WINDOW SILL PAN - WHERE REQUIRED**

SCALE: NTS



4. CUT SELF ADHERING MEMBRANE 6" LONGER THAN WIDTH OF ROUGH OPENING SILL.
5. REMOVE THE CENTER PIECE OF RELEASE PAPER, COVER HORIZONTAL SILL BY OVERHANG INSIDE EDGE OF SILL BY 1" FOR BACKDAM, AND ADHERE INTO ROUGH OPENING ALONG SILL AND UP JAMBS MIN. 6" ON EACH SIDE.
6. PREPARE HEAD FLASHING BY CUTTING A PIECE OF SELF ADHERING MEMBRANE 12" LONGER THAN THE HEAD LENGTH. BEFORE FLASHING, PRIME WINDOW FINNS AND CASINGS WITH APPROVED PRIMER. CENTER THE FLASHING ON THE WINDOW HEAD AND POSITION SO THAT IT CONTACTS THE WINDOW FRAME AND INTERIOR SIDE OF THE FRONT FLANGE AND ADHERE THE FLASHING TO THE WINDOW FRAME. USE THE INNER RELEASE PAPER TO FORM A TIGHT SEAL IN THE CORNER. REMOVE THE INNER RELEASE PAPER AND ADHERE THE FLASHING TO THE BACK OF THE ALUMINUM WINDOW FIN AND CASING. AT THE CORNER OF THE WINDOW FRAME, CUT THE SELF ADHERING MEMBRANE ALONG THE CORNER AT A 45 DEGREE ANGLE AND FOLD IT DOWN FLAT.
7. PREPARE JAMB FLASHING BY CUTTING A PIECE OF SELF ADHERING MEMBRANE 6" LONGER THAN THE JAMB AND FOLLOW STEP 6, ATTACHING MEMBRANE TO WINDOW FRAME.
8. INSTALL 2"x4" SELF ADHERING MEMBRANE PATCH IN EACH CORNER
9. INSTALL WINDOW ACCORDING TO MFR. INSTALLATION INSTRUCTIONS.
10. SPRAY THE TOP OF THE JAMBS AND EXPOSED SHEATHING WITH APPROVED PRIMER. REMOVE THE REMAINING RELEASE PAPER FROM JAMB FLASHING AND PRESS FIRMLY TO ADHERE IT THE WEATHER BARRIER.
11. REMOVE THE RELEASE PAPER AT THE HEAD AND ADHERE IT TO THE WALL SURFACE.

12. WINDOW AND DOOR HEAD FLASHING. REFER TO WINDOW AND DOOR DETAIL FOR FLASHING INFORMATION. PLACE IN A BEAD OF APPROVED SEALANT ON THE REAR SIDE. INSTALL THE DRIP CAP TIGHT AGAINST THE WINDOW HEAD AND COVER THE TOP EDGE WITH SELF ADHERING MEMBRANE STRIPS.
13. FLIP DOWN UPPER FLAP OF WEATHER BARRIER SO IT LAYS FLAT ACROSS HEAD FLASHING.
14. TAPE ALONG ALL CUTS IN WEATHER BARRIER WITH SELF ADHERING MEMBRANE STRIPS.
15. CREATE THE HIGH PRESSURE SKIRT BY CUTTING A PIECE OF WEATHER BARRIER 2" WIDER THAN THE WIDTH OF WINDOW OPENING AND APPROXIMATELY 10" IN DEPTH. ATTACH SKIRT TO UNDERSIDE OF WINDOW USING A PIECE OF 4" SELF ADHERING MEMBRANE CUT TO THE SAME WIDTH AS THE SKIRT.
16. SECURE SIDE OF WINDOW AND SKIRT WITH WRAP CAPS OR APPROVED FASTENERS.
17. SEAL AROUND THE WINDOW OPENING AT THE INTERIOR, USING APPROVED SEALANT AND BACKER ROD AS NECESSARY. APPROVED SEALANT AND BACKER ROD WILL ALSO SERVE AS A BACK DAM.

**WINDOW FLASHING DETAIL**

SCALE: NTS

2  
A16

JOHNSON RESIDENCE  
1078 HARBOUR ISLAND ROAD  
ORLANDO, FL. 32809  
AHJ: EDGEWOOD

PROJECT LOCATION  
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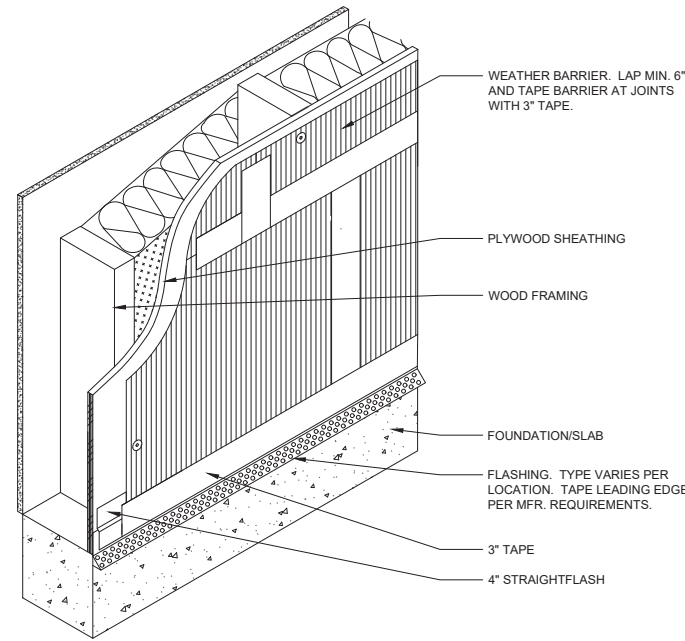
DETAILS -  
FLASHING

SHEET NUMBER: Page 47

A16

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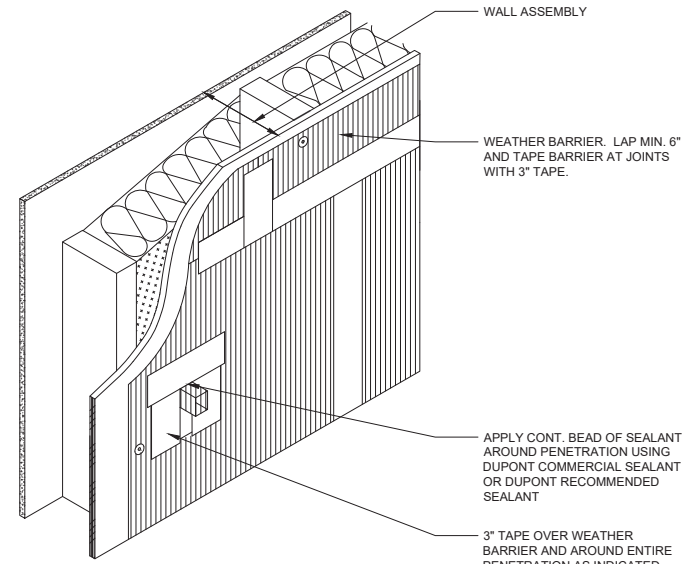
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NOTE:  
1. USE COMPLETE MANUFACTURE PRODUCT LINE FOR WALL CONSTRUCTION INCLUDING TAPE AND PRIMERS. DETAIL DRAWN UTILIZING DUPONT TYVEK SYSTEM. CONTRACTOR CAN SELECT APPROVED EQ.

WEATHER BARRIER ASSEMBLY - WALL BASE

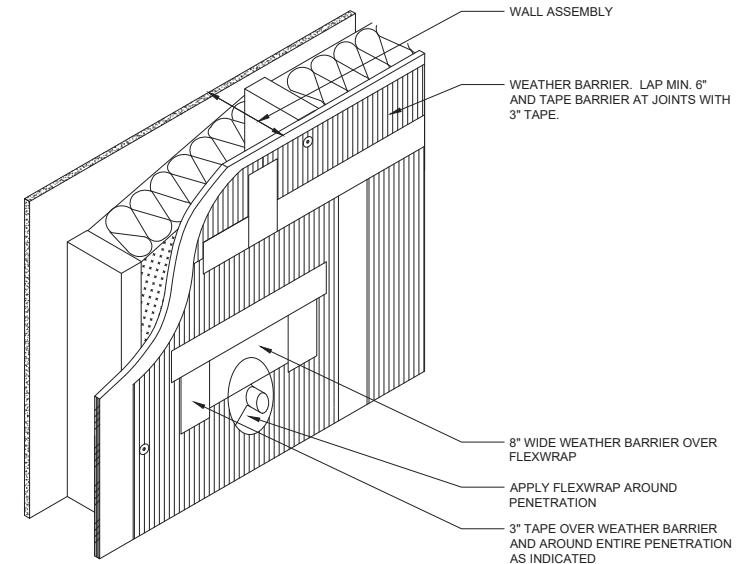
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APPLY CONT. BEAD OF SEALANT AROUND PENETRATION USING DUPONT COMMERCIAL SEALANT OR DUPONT RECOMMENDED SEALANT

WEATHER BARRIER ASSEMBLY - PENETRATION

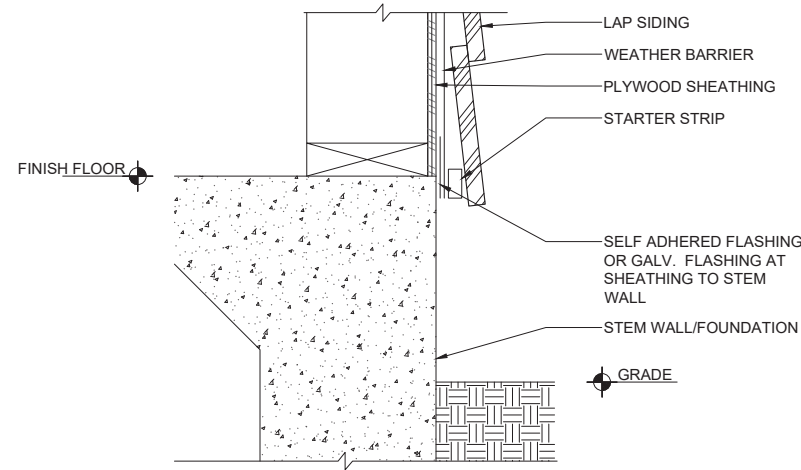
SCALE: NTS



APPLY FLEXWRAP AROUND PENETRATION

WEATHER BARRIER ASSEMBLY - PENETRATION

SCALE: NTS



LAP SIDING BASE AT GRADE

SCALE: 3" = 1'-0"



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**11/9/2021**  
**CITY OF EDGEWOOD**

GENERAL NOTES:

1. ALL FLASHING PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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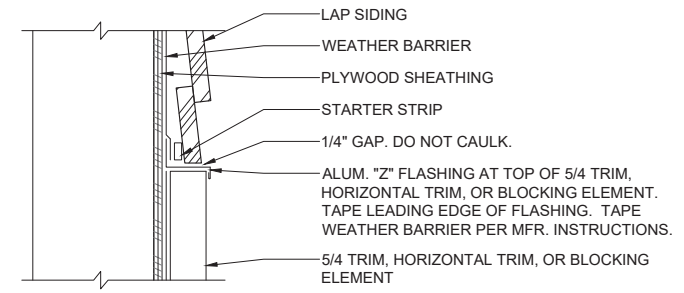
DETAILS -  
FLASHING

SHEET NUMBER:



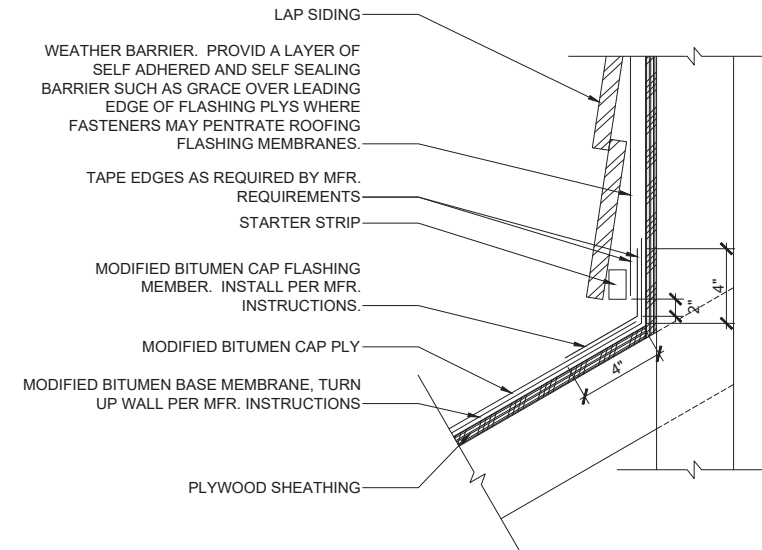
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LAP SIDING AT TRIM PROJECTION

SCALE: 3" = 1'-0"



ROOF TO WALL TRANSITION-MOD BIT ROOF

SCALE: 3" = 1'-0"



GENERAL NOTES:  
 1. ALL FLASHING SHALL BE PER FBC R903.2.1, R905.2.8, AND R703.4.1.

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CONSULTANTS



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 ORLANDO, FL. 32809  
 AHJ: EDGEWOOD

DATE ISSUED FOR  
 10/08/2021 PERMITTING

JOB NUMBER: 20-079  
 PROJECT MANAGER: --  
 DRAWN BY: J. KNOUS  
 APPROVED BY: J. KNOUS

LAST FILED:  
 Fri, 08 Oct 2021  
 4:29pm

SHEET TITLE:  
 DETAILS -  
 FLASHING

SHEET NUMBER:  
 A18

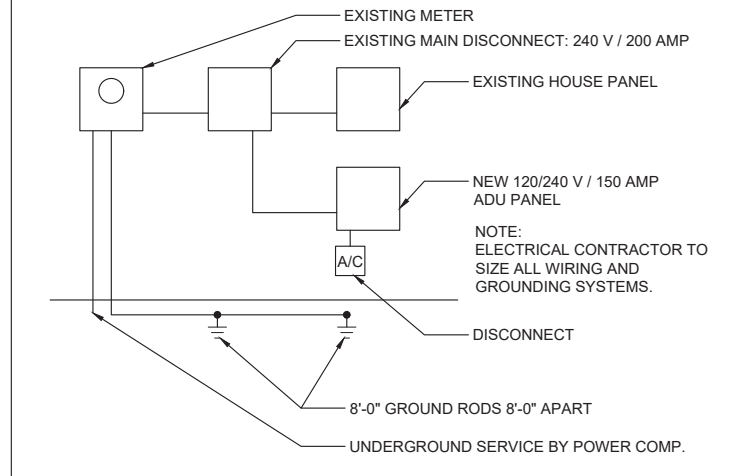
ELECTRICAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
2. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
3. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS LABELS, WHERE APPLICABLE.
4. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.
5. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
6. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW ALL INFORMATION FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
7. PROVIDE POWER AND PRE-WIRE ALL OPENINGS FOR OWNER'S INSTALLED SECURITY SYSTEM.
8. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MFR. SPECIFICATIONS.
9. PROVIDE GROUND FAULT INTERRUPT BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS.
10. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE APPROVED BY OWNER.
11. PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLANS. VERIFY LOCATIONS WITH OWNER.
12. PROVIDE PRE-WIRED TELEVISION OUTLETS AS SHOWN ON PLANS. VERIFY LOCATIONS WITH OWNER.
13. PROVIDE SMOKE DETECTION AT ALL BEDROOMS (INSIDE AND OUTSIDE) ADJACENT TO BEDROOM DOOR. DETECTORS SHALL BE TIED TOGETHER SO THAT IF ONE UNIT IS ACTIVATED, ALL UNITS ACTIVATE.
14. PROVIDE CARBON MONOXIDE ALARM WITHIN 10'-0" OF ALL BEDROOMS PER FLORID BUILDING CODE-RESIDENTIAL.
15. ALL BEDROOM RECEPTACLES MUST HAVE ARC FAULT CURRENT INTERRUPTERS PER CURRENT NEC CODE REQUIREMENTS.
16. GROUND FAULT PROTECTION SHOULD BE APPLIED TO ALL AREAS AS REQUIRED PER CURRENT NEC CODE.
17. ALL ELECTRICAL OUTLETS SHALL BE CONCEALED IN FRAMED WALLS. INTERIOR AND EXTERIOR CONDUIT SHALL NOT BE SURFACE MOUNTED.
18. WIRE FRONT DOOR WITH DOOR BELL.
19. OUTDOOR OUTLETS SHALL BE IN WEATHERPROOF ENCLOSURE.
20. IF EXTERIOR AC COMPRESSOR IS RELOCATED, (1) OUTLET SHALL BE WITHIN 25 FEET.
21. PROVIDE LIGHT WITHIN ATTIC SPACE ADJACENT TO ATTIC ACCESS POINT.
22. PROVIDE EQUIPMENT DISCONNECTS AS REQUIRED PER RECOMMENDATION OF MFR.
23. VERIFY EXACT LOCATION OF POWER METER WITH POWER COMPANY.
24. VERIFY WITH OWNER LOCATION OF ALL DIMMER SWITCHES.
25. VERIFY WITH OWNER LOCATION OF PENDANT AND RECESSED LIGHT FIXTURES.
26. ELECTRICAL LIGHTING SHALL MET COMPLIANCE WITH HIGH-EFFICIENCY LIGHTING PER FLORIDA BUILDING CODE ENERGY CONSERVATION R404.

**ELECTRICAL SYMBOL LEGEND**

- STRIP FLUORESCENT/LED LIGHT FIXTURE - CEILING MOUNTED, WALL MOUNTED
- INCANDESCENT, LED OR COMPACT FLUORESCENT FIXTURE - CEILING MOUNTED, WALL MOUNTED
- GAS CONNECTION
- SMOKE DETECTOR
- CARBON MONOXIDE
- THERMOSTATE
- EXHAUST FAN
- EXHAUST FAN AND LIGHT KIT
- 1-POLE, 3-WAY, OCCUPANCY SENSOR
- DIMMER SWITCH
- DUPLEX RECEPTACLE AT 18", ABOVE COUNTER AT 42", GROUND FAULT TYPE, ISOLATED GROUND TYPE
- WEATHERPROOF RECEPTACLE
- CEILING MOUNTED DUPLEX RECEPTACLE
- (2) DUPLEX RECEPTACLES IN SINGLE OUTLET BOX WITH SINGLE COVER PLATE AT 18", ABOVE COUNTER AT 42"
- JUNCTION BOX, MOTOR CONNECTION
- 120/240V PANELBOARD
- CONNECTION TO GROUND
- TELEPHONE OUTLET AT 18", WALL TELEPHONE OUTLET AT 54", ABOVE COUNTER, PAY TELEPHONE OUTLET. PROVIDE 4" SQ. BOX RJ45 OUTLET COVERPLATE WITH RJ11 BEZEL AND 1" RACEWAY TO ACCESSIBLE CEILING. NUMBER INDICATES QUANTITY OF OUTLETS PER BOX, WHEN MORE THAN 1. RUN (1)CAT5E WHITE PER OUTLET TO TELEPHONE BOARD.
- COMPUTER OUTLET AT 18", ABOVE COUNTER. PROVIDE 4" SQUARE BOX, RJ45 OUTLET, COVERPLATE, AND 1" CONDUIT TO ACCESSIBLE CEILING. NUMBER INDICATES QUANTITY WHEN MORE THAN 1. RUN (1)CAT5E BLU CABLE PER OUTLET TO LAN RACK.

POWER RISER DIAGRAM



ELECTRICAL LOAD CALCULATION NOTE

1. ELECTRICAL CONTRACTOR SHALL PROVIDE LOAD CALCULATIONS TO SIZE DISCONNECTS AND PANELS.
2. ELECTRICAL CONTRACTOR SHALL INDICATE ALL CIRCUITS ON PANEL.

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Section M, Item 2.  
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ELECTRICAL PLAN

SHEET NUMBER: Page 50

**ELECTRICAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PROVIDE CIRCUIT FOR SOFFIT LIGHTING, TYP.

EXTERIOR ELECTRICAL PANEL. CONFIRM FINAL LOCATION WITH OWNER.

TANKLESS WATER HEATER

PROVIDE SOFFIT OUTLET IN CORNER



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**Edgewood Police Department  
January City Council Report  
2022**

	<b>December</b>	<b>January</b>
<b>Residential Burglaries</b>	0	1
<b>Commercial Burglaries</b>	0	0
<b>Auto Burglaries</b>	4	1
<b>Theft</b>	2	4
<b>Assault/Battery</b>	2	4
<b>Sexual Battery</b>	0	0
<b>Homicides</b>	0	0
<b>Robbery</b>	0	0
<b>Traffic Accident</b>	9	11
<b>Traffic Citations</b>	76	162
<b>Traffic Warnings</b>	82	117
<b>Felony Arrests</b>	2	3
<b>Misdemeanor Arrests</b>	1	4
<b>Warrant Arrests</b>	0	3
<b>Traffic Arrests</b>	0	1
<b>DUI Arrests</b>	0	2
<b>Code Compliance Reports</b>	18	23

**Department Highlights:**

- Starting in January, Sergeant Tim Cardinal began attending the Florida Criminal Justice Executive Institute for training in Upper Management.
- The week of January 9<sup>th</sup>, the Edgewood Police Department celebrated National Law Enforcement Appreciation Day with donations of breakfast and lunch from Mission Barbeque and Covenant Cleaning Services.
- From January 22<sup>nd</sup> to January 24<sup>th</sup> the Edgewood Police Department went through a Mock Accreditation Assessment. During this time, three accreditation managers from surrounding agencies came into the department to review the department and our compliance for the on-site accreditation in April. The mock accreditation went successfully and the department is ready for its full accreditation.
- Chief Freeburg attended the Florida Chief Conference in Orlando January 10<sup>th</sup>-11<sup>th</sup>.
- The Edgewood Police Department hosted the Central Florida Police Chief Association meeting on January 20<sup>th</sup>.