



PLANNING AND ZONING BOARD MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Monday, September 12, 2022 at 6:30 PM

Steve Kreidt
Chair

Ryan Santurri
Vice-Chair

David Gragg
Board Member

David Nelson
Board Member

Melissa Gibson
Board Member

AGENDA

WELCOME! We are very glad you have joined us for today's Planning and Zoning meeting. The Planning and Zoning Board is an advisory board to City Council comprised of citizen members who voluntarily and without compensation devote their time and talents to a variety of zoning and land development issues in the community. All P&Z recommendations are subject to final action by City Council. The results of today's meeting will be presented at the noted City Council meeting for approval of recommended actions. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. **CAUTION:** Untimely filing by any appellant shall result in an automatic denial of the appeal.

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL AND DETERMINATION OF QUORUM

D. APPROVAL OF MINUTES

- [1.](#) August 8, 2022 Planning and Zoning Meeting Minutes

E. NEW BUSINESS

F. UNFINISHED BUSINESS

- [1.](#) Details for 9/12/2022 Planning and Zoning Meeting
- [2.](#) Waiver 2022-01: 4800 S. Orange Ave. - Car Wash

G. COMMENTS/ANNOUNCEMENTS

H. ADJOURNMENT

UPCOMING MEETINGS

Tuesday, September 20, 2022....Final Budget Hearing
Tuesday, September 20, 2022....City Council Meeting
Monday, October 10, 2022.....Planning & Zoning Meeting

General Rules of Order

You are welcome to attend and express your opinion. The Board is pleased to hear non-repetitive comments related to business before the Board; however, a **five (5) minute time limit per person** has been set by the Board. Large groups are asked to name a spokesperson. If you wish to appear before the Board, please fill out an Appearance Request Registration Form and give it to the City Clerk. When recognized, state your name and speak directly into the microphone. The City is guided by **Roberts Rules of Order** in governing the conduct of the meeting. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at (407) 851-2920 at least 24 hours in advance of the meeting.

We ask that all electronic devices (i.e. cell phones, pagers) be silenced during our meeting!

Thank you for participating in your government!

Appeals

According to Edgewood City Code Section 26-24 (2), "any person aggrieved by any recommendation of the Board acting either under its general powers or as a Board of Adjustment may file a notice of appeal to the City Council within seven (7) days after such recommendation is filed with the City Clerk. Per **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceeding and may need to ensure that a verbatim record is made.

Americans with Disabilities Act

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



PLANNING AND ZONING BOARD MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Monday, August 08, 2022 at 6:30 PM

Steve Kreidt
Chair

Ryan Santurri
Vice-Chair

David Gragg
Board Member

David Nelson
Board Member

Melissa Gibson
Board Member

MINUTES

CALL TO ORDER & PLEDGE OF ALLEGIANCE

Vice Chair Santurri called the meeting to order at 6:30 pm and led everyone in the Pledge of Allegiance.

ROLL CALL AND DETERMINATION OF QUORUM

Administrative Assistant Sollazzo confirmed there was a quorum with four board members present. Chair Kreidt was unable to attend the meeting.

BOARD MEMBERS PRESENT

Ryan Santurri, Vice-Chair
David Gragg, Board Member
Melissa Gibson, Board Member
David Nelson, Board Member

STAFF PRESENT

Sandra Riffle, Interim City Clerk
Brett Sollazzo, Administrative Assistant
Tim Cardinal, Police Sergeant
Drew Smith, City Attorney
Ellen Hardgrove, City Planner

BOARD MEMBERS ABSENT

Steve Kreidt, Chair

APPROVAL OF MINUTES

July 11, 2022 Planning and Zoning Meeting Minutes

Board Member Gragg made a motion to approve the July 11, 2022 Planning and Zoning meeting minutes as presented. The motion was seconded by Board Member Nelson. Approved (4/0).

NEW BUSINESS

▪ Variance 2022-07: 510 Gatlin Ave. - Tennis Court Fence

The applicant requested a variance to allow a ten-foot-high fence in the front yard of the property in lieu of the maximum of four-foot height.

Planner Hardgrove told the Planning and Zoning Board that the house and tennis court were built in 1935. There is currently an existing fence around the tennis court that ranges from 5 feet to ten feet in height, with most of the segments in the front setback 8.5 to 9.5 feet in height. The portions exceeding four feet in the front setback are viewed as legally nonconforming. The existing tennis court is also viewed as a legal nonconformity as an accessory use is not allowed in front of the principal building. Planner Hardgrove stated that per Code Section 134-104(3), prior to recommending approval of any variance, P&Z must make a finding that the six criteria stated in that Code section are met. She went on to explain each of the six criteria has been met. She recommended approval for a ten-foot-high fence in the front yard around the existing tennis court.

Adriano Swift, contractor and representative for the homeowner, explained that the concrete wall along the Gatlin Avenue side of the tennis court will stay in place. They plan to resurface the court, change the fence height to ten feet all around, and have no plans to add additional fence on top of the existing eight-foot wall.

There was no public comment.

Board Member Nelson made a motion to recommend approval for a ten feet high fence in the front yard conditioned on the location being limited to around the existing tennis court on the subject property. The motion was seconded by Board Member Gibson. Approved (4/0).

The motion was approved by roll call vote.

Vice-Chair Santurri	Favor
Board Member Gragg	Favor
Board Member Gibson	Favor
Board Member Nelson	Favor
Chair Kreidt	Absent

▪ **Waiver 2022-01: 4800 S. Orange Ave. - Car Wash**

After a brief discussion with Planner Hardgrove, the applicant requested to postpone their waiver request review until the September Planning and Zoning meeting to make some changes to their request.

Vice-Chair Santurri made a motion to table the waiver request for 4800 S. Orange Ave until September 12, 2022 Planning and Zoning Meeting at 6:30 pm in council chambers. The motion was seconded by Board Member Nelson. Approved (4/0).

▪ **Parcel Split 2022-01: 5540 Jessamine Lane.**

Board Member Gragg completed Form 8B, declaring a voting conflict, and recused himself due to him being the property owner/applicant.

Planner Hardgrove told the Planning and Zoning Board that this is a split of tax parcel 14-23-29-0000-00-060, which is an 8.35-acre parcel located off of Jessamine Lane, with access to property by easement.

Section 126-61 of the recently passed code provides an exemption from the full subdivision review process when no streets, water, sewer, or drainage structures are involved; and when it is a tax parcel, not a lot that is in a platted subdivision. The proposed subdivision qualifies for this exemption. The parcel is zoned R-1AA, and both proposed parcels will meet R-1AA minimum lot area which is 10,000 square feet. Both will also have a practical building envelope with the standard R-1AA minimum setbacks.

Public Comment:

Emily Gibson, an Edgewood resident, spoke as an opponent. She questioned the purpose of splitting the parcel into two parcels. Board Member Gragg stated that he plans to sell the new parcel. Ms. Gibson then went on to state that they live directly behind the property, and currently enjoy a nice view of Lake Jessamine, and do not want a new building that will block their view. She also stated that construction can lead to a bigger mess in the area of the access easement that is not being well maintained as is.

Tyler Gibson, an Edgewood resident, spoke as an opponent. He brought up the easement directly adjacent to the parcel and questioned who maintains it. Board Member Nelson asked who owns the easement. Board

Member Gragg stated that it is private; owned by one of the neighbors, as well as the previous neighbor from 5526 Jessamine Lane.

Discussion ensued regarding the vegetation along the easement, and working on getting it cleaned up.

Board Member Nelson made a motion to recommend approval of the creation of two parcels as legally described on the submitted survey dated “received April 22, 2022”; The motion was seconded by Board Member Gibson. Approved (3/0).

The motion was approved by roll call vote.

Vice-Chair Santurri	Favor
Board Member Gragg	Recused
Board Member Gibson	Favor
Board Member Nelson	Favor
Chair Kreidt	Absent

- **Ordinance 2022-06: Fence Regulation**

AN ORDINANCE OF THE CITY OF EDGEWOOD AMENDING CHAPTER 134 OF THE CODE OF ORDINANCES RELATED TO LOCATION, HEIGHT, AND CONSTRUCTION STANDARDS AND REGULATIONS APPLICABLE TO FENCES AND SCREENING WALLS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS AND AN EFFECTIVE DATE.

Planner Hardgrove introduced Ordinance 2022-06 for discussion, stating that the purpose and intent is straight forward. Applicability unless exempted will apply to all new construction, repair, or replacement of 50% or more of an existing wall or fence. She asked the Board Members if 50% is a good number, and recommended to add the word “length” to the end of the sentence. Board Member Gragg asked what the industry average is in other municipalities? Attorney Smith stated that he has seen anywhere between 50%-75% most frequently occur, but would not call it industry standard. There were no objections to the proposed 50% and Planner Hardgrove’s suggested word addition.

Planner Hardgrove then proceeded to reviewed each section of the ordinance.

Related to the ability to have a higher front yard fence on residential property fronting a major road if landscaping was provided, Board Member Nelson stated he wanted the landscaping criteria to be clarified to state that one evergreen tree shall be planted along the fence or wall at a rate of one (1) per 40 linear feet of road frontage with the trees evenly spaced along the pervious area of the frontage. In addition, Planner Hardgrove clarified that if overhead utilities exist, the required trees would be understory trees and the required number would be at a different rate. Planner Hardgrove stated that if hedges are planted along the fence, they are to be maintained at a height not to exceed six feet, and that this requirement is only if you want a fence or wall higher than four feet. She asked the Board Members if they wanted to limit height of all landscaping along frontage to be six feet in height, regardless of fence/wall height. Planner Hardgrove reiterated that this requirement is strictly for taller fences along the road. Discussion ensued. Board Members Nelson and Gragg both stated to leave the six-foot hedge height as presented. There were no objections.

There was also discussion related to the proposed maximum height of hedges in other required setbacks. She recommended to take this part out of the code. Discussion ensued. There were no objections to Planner Hargrove’s recommendation.

Planner Hardgrove and the Board also discussed the minimum distance a gate would have to be from the sidewalk if used on property fronting a major road. She asked the Board Members if they agreed with the twenty-foot setback. The Board agreed twenty feet was appropriate.

Maximum height of a fence anywhere on the property (including outside of setbacks) was discussed. As proposed, that maximum is eight feet in height unless a more restricted height limit applies, such as in the front yard. As proposed, a fence or wall height greater than eight feet may be approved by special exception. Board Members agreed that what was proposed (by special exception) was appropriate. Board Member Nelson suggested to change line 102 from six-foot minimum clear trunk to state six-foot minimum vertical clearance to limbs for clarification. Planner Hardgrove agreed, and said she will make the suggested change.

Significant discussion ensued relative to fencing in Industrial districts. Board Member Nelson suggested to keep the proposed fence limitations relative to height and opacity as originally presented. Planner Hardgrove asked if they needed to add chain link fencing to be allowed in the industrial district and stated C-3 is basically the City's industrial district. Attorney Smith stated that City is trying to grow beyond C-3 being an industrial district, and would not want to encourage any industrial looking components into the section of code.

Planner Hardgrove briefly discussed the types of fences that will be allowed. Board Member Nelson asked what if the fencing is plastic/vinyl and questioned the ability to force maintenance of these fences. Planner Hardgrove directed the Board to the maintenance section of the proposed regulation which includes keeping fences mold free. Attorney Smith suggested to add peeling or chipping paint to maintenance section.

Planner Hardgrove asked if a section for metal fences should be added? The direction from the Board was to make other types of fences special exceptions. Planner Hardgrove reviewed the fence and wall color regulations. Board Member Gragg stated he had an issue with including pastel colors. Planner Hardgrove asked the Board Members if they want to take that part out of the section? Discussion ensued. Attorney Smith suggested having different requirements for residential and non-residential in regards to fence and wall colors allowed. Board Member Gibson said it seems more appropriate to simply state only earth tones, and matte black or white would be allowed for residential fences. The Board members agreed that the color of nonresidential fences/walls should complement the primary color of the development and should not be so extreme in contrast or intensity that the color competes with the building for attention or acts as a sign.

Planner Hardgrove reviewed the electrical fence regulations and how electrical fences are not allowed anywhere except to retain animals upon proof submitted to City Council. Attorney Smith suggested this type of regulation is most likely more applicable to rural communities with farm animals. He recommended eliminating the ability to have electrical fences. There were no objections to Attorney Smith's recommendation.

Vice-Chair Santurri made a motion to recommend approval of Ordinance 2022-06 as amended. The motion was seconded by Board Member Nelson. Approved (4/0).

The motion was approved by roll call vote.

Vice-Chair Santurri	Favor
Board Member Gragg	Favor
Board Member Gibson	Favor
Board Member Nelson	Favor
Chair Kreidt	Absent

ADJOURNMENT

The meeting adjourned at 7:55 pm.

Ryan Santurri, Vice Chair

Brett Sollazzo, Administrative Assistant

DRAFT

Memo

To: Planning and Zoning Board Members
CC: Sandy Riffle, Drew Smith, Ellen Hardgrove,
From: Brett Sollazzo, Administrative Assistant
Date: September 8, 2022
Re: Business Items Planning and Zoning Meeting September 12, 2022

For the September 12, 2022 Planning and Zoning Board meeting, the following is provided in your agenda packet for your review and consideration.

1. Waiver 2022-01: 4800 S. Orange Ave. - Car Wash

- City Planner report dated 8/30/2022
- Site plan and elevation drawings dated 8/23/2022

A legal advertisement was placed in the Orlando Sentinel on Thursday, July 28 2022 and Friday, September 2 2022 to advertise the requested waivers, as required by City Code.

Planner Hardgrove is unable to attend this meeting, but has provided you with a detailed report. Attorney Smith is prepared respond to any questions you may have regarding the above business item, as well as the applicants for the waiver request.

Date: Updated Report: August 30, 2022
 To: Planning and Zoning Board (P&Z)
 From: Ellen Hardgrove, City Planning Consultant
 XC: Sandy Riffle, Interim City Clerk
 Brett Sollazzo, Administrative Assistant
 Drew Smith, City Attorney
 Allen Lane, City Engineering Consultant
 Re: ECD Waivers Related to Proposed Car Wash at 4800 South Orange Avenue.

INTRODUCTION/BACKGROUND

This agenda item is a request for waivers to ECD standards for a proposed car wash at 4800 South Orange Avenue, the current location of the Coq Au Vin Restaurant as shown in Exhibit 1.

Exhibit 1 – Subject Property



The building on the property has been there since 1973 according to Orange County Property Appraiser records and the Coq Au Vin opened in 1976. It is positioned along the southern property line, with the north 2/3's of the site either undeveloped or a parking lot as shown in Exhibit 2. The proposal is to demolish the building and redevelop the site for a car wash.

Exhibit 2 – Aerial of Subject Property



Code Section 134-475 authorizes City Council to approve waivers to ECD regulations when it finds, based upon substantial competent evidence presented to it, that strict application of such standards would create an illogical, impossible, impractical or unreasonable result on an applicant. In order to grant the waivers, City Council must find:

- (1) That the granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- (2) That the granting of the proposed waiver will serve the health, safety and welfare of the city;
- (3) That any waiver granted is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard contained in this division; and
- (4) That any waivers granted will not adversely impact the use or property values of adjacent properties.

REQUESTED WAIVERS

The primary waiver requested is to allow the building to only face 11.25% of the Orange Avenue frontage (28 feet building frontage with 248.8 feet lot width) instead of the required 70% (Code Section 134-468(f)). The premise for the waiver, according to the applicant, is to help achieve the City’s goal to provide a solution to the traffic issues created by Holden/Orange/Gatlin Avenues offset intersections by limiting the development to the southern 2/3’s of the property to preserve the north 1/3 for a potential Holden Avenue realignment.

With use of the waiver, the applicant would build the car wash tunnel/building perpendicular to Orange Avenue and use the north 1/3 of the property only for stormwater management. If Holden Avenue is realigned, the idea is to accommodate the stormwater from the car wash into the road’s stormwater management system. Exhibit 3 shows the proposed site layout with the conceptual alignment for the Holden Avenue realignment as shown in Orange County’s Intersection Analysis Study (November 2021) superimposed over the car wash site layout.

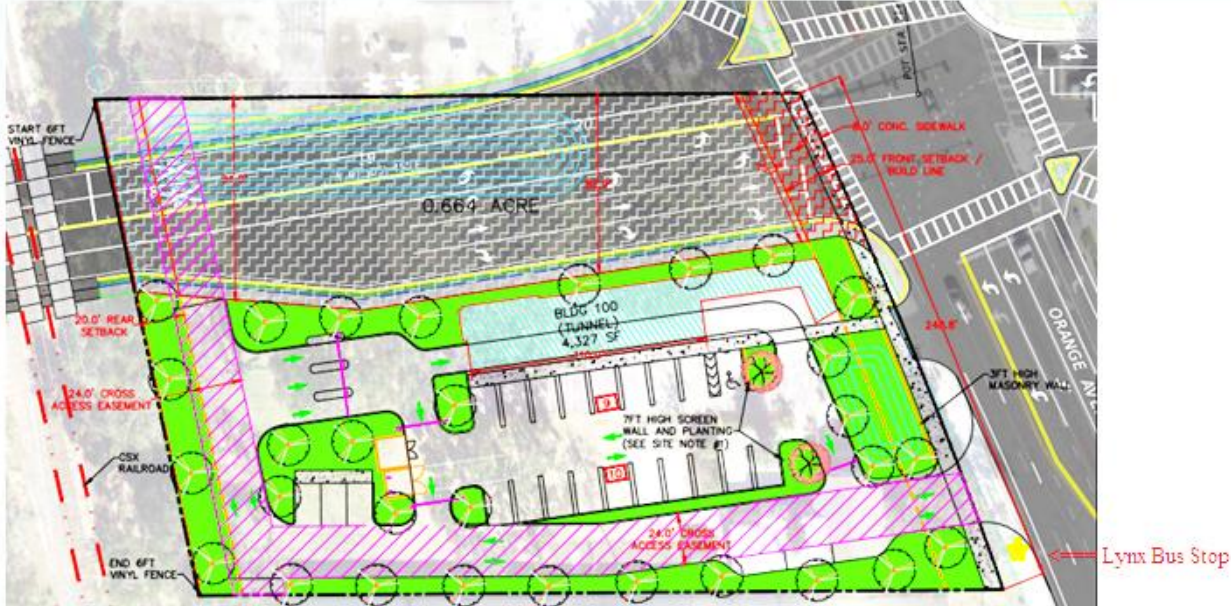
A waiver would still be needed if that portion of the property were already acquired for the realigned road; the proposed building frontage would account for only 16% of the property frontage, still significantly substandard for the ECD requirement.

Any consideration of approval of this requested waiver should be conditioned on preservation of obtaining the ECD goal of creating interest for pedestrian activity. There are likely many creative ideas.

One idea could be creating a park like setting in the ±45x70 feet green space proposed between the driveway and the building, setting back the street wall along the west side of that green space and providing street furniture, bike parking, and enhanced landscaping. A Lynx bus shelter could be incorporated into the green space; the bus stop current location will need to be relocated if this site plan is implemented as the current location would be on edge the driveway’s radius connection to Orange Avenue. The shelter could be accommodated within an expanded urban services easement. Based on the estimated distance between the back of Orange Avenue curb

and property line, the easement will be needed to accommodate the minimum six feet grassed strip and the eight feet wide unobstructed sidewalk width along Orange Avenue; thus, there is not a burden to creating the easement for the Lynx shelter.

Exhibit 3 – Proposed Car Wash Layout



Furthermore, given the premise of the waiver is to accommodate a future Holden Avenue realignment, the north side of the site/building should be required to be designed in anticipation of the new road. The ECD standards including the People Space and building design are not met as currently proposed.

The ECD requires buildings facing Holden Avenue to be constructed at the “build line.” This provides a 25 feet wide green buffer to accommodate shade trees spaced 35 feet on center for an aesthetic as well as shaded pedestrian path. The proposed building is situated only 5-7 feet from what is shown as the future Holden Avenue right-of-way line; this is not only inconsistent with the ECD requirements, but shade trees in this narrow space would cause future damage to sidewalks and the building.

The ECD also requires buildings adjacent to Holden Avenue to be designed to avoid blank walls; at least 60 percent of the width of the building is to be glass windows and/or doors and the building façade is to vary horizontally at least every 40 feet. As shown in Exhibit 4, the building does not meet these standards.

Exhibit 4 – Proposed Elevation Adjacent to the Proposed Holden Avenue Realignment



As stated in the ECD, the intent of these design standards is to avoid long uninterrupted, monolithic appearance of façade planes, thus enhancing the visual appearance of development within the city and creating a human scale building, which in turn encourages pedestrian activity. Examples of innovative car wash design found on the internet are presented in Exhibit 5.

Exhibit 5: Innovative Designs which could be used along Holden Avenue Realignment





The applicant is also requesting the following two (2) waivers.

- **A waiver to allow the vacuum stations to be screened from Orange Avenue with an alternate design than that required by Code Section 134-472(a)(4).** The applicant is proposing a 7 feet high masonry stucco wall matching the colors of the building at the east end of each row of vacuum parking stalls as shown in Exhibits 6 and 7. ECD design standards require those walls to be consistent with ECD front elevation standards such as, but limited to, window transparency and avoidance of blank walls. The applicant justifies the need for this waiver as a consequence to turning the building in order to preserve the northern 1/3 of the property for the Holden Avenue realignment.

To minimize the blank wall aesthetic, the applicant is proposing a magnolia tree, 3 inch caliper/12 feet high at planting, to be placed in front of each wall plus a hedge along the entire length. It should be noted that the City's Landscape Architect has concerns related to the viability of the hedges in this location: the hedges will not receive enough sunlight with a wall blocking all the afternoon sun and magnolia trees blocking most of the morning sun.

Exhibit 6 – Proposed Vacuum Screen Wall Locations

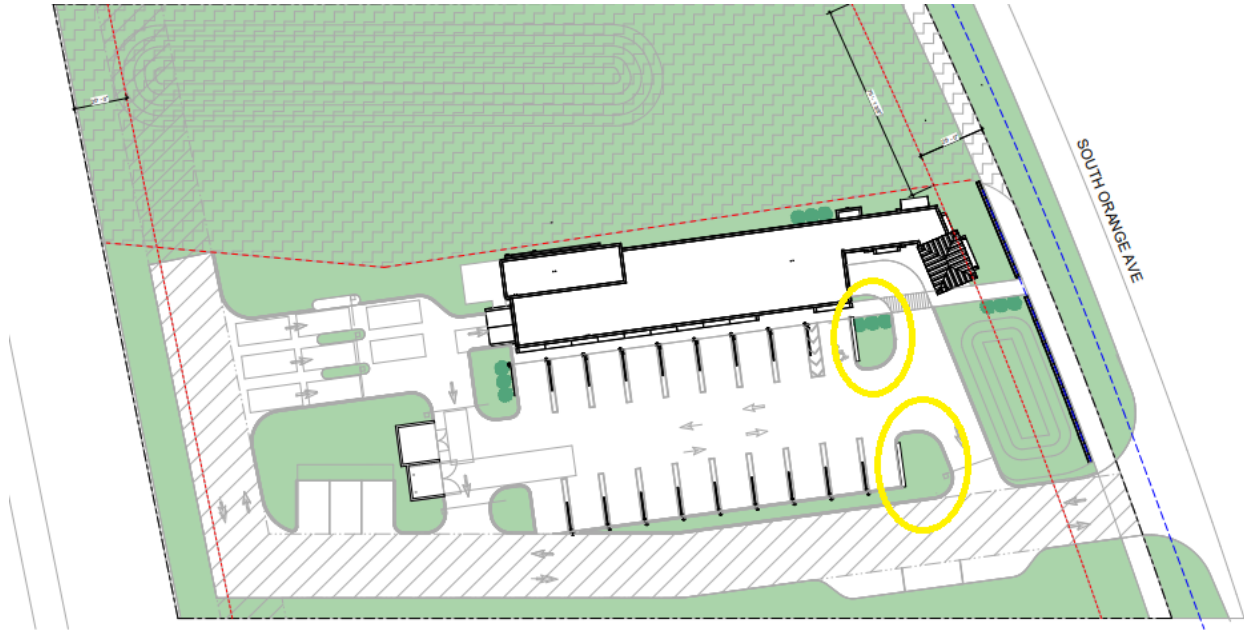
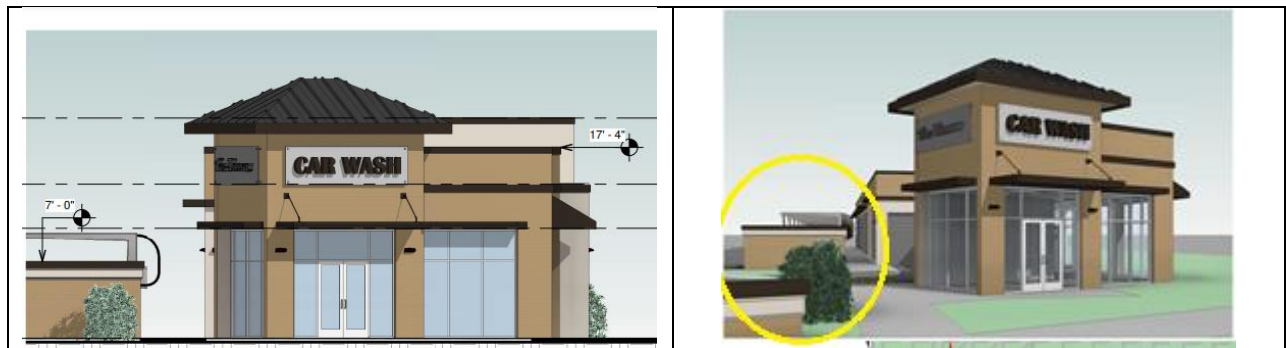


Exhibit 7 – Views from Orange Avenue



- **A waiver to allow the vacuum stations to be screened from adjacent Low Density Residential Future Land Use (LDR FLU) designated land (west property line) with a six feet high beige vinyl fence instead of a seven (7) feet high opaque brick wall as required by Code Section 134-472(a)(4).** This wall is also required for all ECD development adjacent to Low Density Residential Development, not just to screen the vacuum stations (**Code Section 134-468(g)(1)a**); a waiver to this code section has also been requested. The applicant’s justification for the vinyl fence is that the adjacent land is the railroad and then Cypress Grove Park, not residential used land.

The required ECD brick wall was contemplated in this location even with the presence of the railroad tracks and park. Deviation from this ECD design standard in this location should be viewed as a policy change that would be applied in other locations adjacent to the railroad track and park.

A second justification for this waiver is a fence would be easier to remove if the land eventually became the Holden Avenue alignment. As stated above the County’s conceptual design for the realignment is the northern 1/3 of the property, while the

applicant is requesting the less permanent screen (fence vs wall) along the entire perimeter.

The application is also requesting a waiver to Code Section 134-472(a)(2) which requires the car wash tunnel entrance/exit to not face Orange Avenue. A Council decision on the need for this waiver is requested by staff. Staff's opinion is that the proposed design of the tunnel as shown in Exhibit 8 provides for conformance with the ECD car wash design standard; it is hidden from Orange Avenue by the design of the building.

Exhibit 8 – Tunnel Design for Conformance with Code Section 134-472(a)(2)



STAFF RECOMMENDATION

P&Z's public hearing for these waivers should be used to gain evidence and testimony as to verifying the four criteria are met.

- (1) The granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- (2) The granting of the proposed waiver will serve the health, safety and welfare of the city;
- (3) Any waiver granted is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard contained in this division; and
- (4) Any waivers granted will not adversely impact the use or property values of adjacent properties.

Of primary issue is demonstration as to how the applicant intends to meet the ECD goals, particularly the principal goal of the ECD to create a land use pattern that encourages pedestrian activity along Orange Avenue and how the northern building elevation design will be modified to meet the design standards, including building design and the 25 feet buffer for the People Space/shade trees along the potential Holden Avenue realignment.

Staff strongly recommends that if P&Z contemplates a recommendation for approval, that approval should include a condition that development shall be in general conformance with the site plan and elevation drawings dated “received August 23, 2022” to ensure the site is developed consistent with the applicant’s premise for the waiver of not developing the area shown in the conceptual Holden Avenue alignment.

The reference to general conformance with the site should not be viewed as a staff site plan approval. Modifications to the site plan will surely be necessary prior to final approval in order to meet ECD and other city standards, including but not limited to additional building perimeter landscaping along Orange Avenue; a raised directional island at the driveway entrance to force “right-in/right-out only” access; efficient and effective trash pickup/dumpster location; and, safe pathways connecting employee parking spaces to the building. Also for the applicant to note, the proposed ADA accessible vacuum station will be required to be converted into an ADA accessible employee parking space. There will also be a recommendation to convert one of the other vacuum stations into an ADA accessible vacuum space for a disabled customer’s use as well as incorporation of brick into the building façade as the ECD requires that the street wall include brick or cultured stone as well as complement the finish of the primary building. Also, only one sign on the building will be allowed until the Holden Avenue frontage becomes a reality.

Another strong staff recommendation if P&Z recommends approval is to attach conditions detailing 1) the development will meet the goal of creating pedestrian interest along the Orange Avenue frontage such as provision of a park-like setting along the Orange Avenue frontage between the building and the driveway and incorporation of the Lynx bus shelter, and 2) how the north elevation, along the potential future Holden Avenue alignment, will be innovatively designed to meet the ECD building design/People Space standards as discussed within this report.

If the waiver for screening the vacuum stations from Orange Avenue is approved by P&Z, staff recommends a condition of approval be attached to 1) require the walls compliment the building materials/colors and 2) the trees and the other landscaping be approved by the City’s Landscape Architect, with the trees being a minimum 3” caliper/12 feet in height at planting unless otherwise allowed by the City’s Landscape Architect.

The staff recommendation is for denial of the requested waiver for the substitution of the brick wall for a vinyl fence unless the recommendation of the P&Z is to change the ECD design standard for the brick wall for all property abutting the railroad.

Staff also recommends that P&Z make a recommendation to Council related to whether the building’s design needs or does not need a waiver to the ECD requirement that the tunnel entrance/exit shall not be oriented toward Orange Avenue.

ESH

6/6/2022

CITY OF EDGEWOOD



COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION

City of Edgewood, Florida

Per Section 134-134 – Commercial/Industrial

MAKE PAYMENTS PAYABLE TO: City of Edgewood

REQUIRED FEE: \$500.00

INSTRUCTIONS: Type or print with BLACK INK. Fill out carefully. Each question must be answered and the necessary documentation provided with this application. Attach additional pages as necessary.

NAME OF DEVELOPMENT 4800 OG CARWASH

LOCATION 4800 S. ORANGE AVE

OWNER/DEVELOPER: Name _____ Phone #: _____

ENGINEER/ARCHITECT: Name QUANG LAM (dba Lam Civil Eng) Phone #: 407-234-8944

SURVEYOR: Name WILLIAM ELLIOTT (KLE SURVEYING AND MAPPING) Phone #: 407-402-2331

VICINITY PLAN: YES _____ NO _____ LEGEND: YES _____ NO _____

SITE PLAN: 1' = 40' ZONING CENTRAL DISTRICT NORTH ARROW _____

SETBACKS: FRONT 25FT SIDE 0FT REAR 20FT

LEGAL DESCRIPTION: LOT _____ PB _____ Pg _____
S 12 T 23S R 29E

BOUNDARY & TOPO (FLA P.L.S.): _____

GROSS AREA: 1.86 ACRES SQ.FT. CONTOURS _____ EASEMENTS _____ BENCH DATUM _____

EXISTING: BUILDING 3,230 SF POWER _____ SEWER _____ WATER _____
STORM DRAINAGE _____ PAVEMENT _____ GAS _____ OTHER _____

PROPOSED: BUILDINGS 5,010 SF GROSS AREA _____ SQ.FT. IMPERVIOUS _____
PAVEMENT AREA _____ SQ.FT SIDEWALKS _____

SETBACKS: FRONT _____ SIDE _____ REAR _____

PAVEMENT TYPICAL SECTION: 8" Concrete pavement for heavy pavement area and 5" concrete pavement for light pavement area

DRAINAGE: OPEN x CLOSED _____ RETENTION/DETENTION x FENCED Not Fenced

BASIN: WET _____ DRY x SIDE SLOPES 4H:1V VOL _____ CF _____

WATER: OUC x FIRE HYDRANT(S) 1 MAIN SIZE 8" Fire Line

SEWER: Private Liftstation SEPTIC TANK _____ POWER _____

LIGHTNING: _____ TELEPHONE _____ GAS _____ REFUSE _____

LANDSCAPING _____ SIGNS _____ STRIPING _____

PARKING: REQ'S SPACES 10 PROVIDED 8 REG 1 H'CAP _____
TOTAL _____

PERMITS REQUIRED
SEWER: City of Edgewood
DRAINAGE: FDEP 10-2
FDOT: Driveway Connection
SEPTIC TANK: _____
FIRE PROTECTION: _____
FDER: _____

SERVICE AGREEMENTS OR PERMITS:
ORLANDO UTILITIES COMMISSION _____
FLORIDA POWER CORPORATION _____
SEABOARD SYSTEM RAILROAD: _____
OTHER: _____

Reviewed by _____ Date _____

Site review fees as adopted by City Council December 3, 1985 is two (2%) percent of the cost of site but not less than \$200.00. Site work includes planning, drainage, utilities, parking, landscaping and related work.

Revised – 5/28/2020

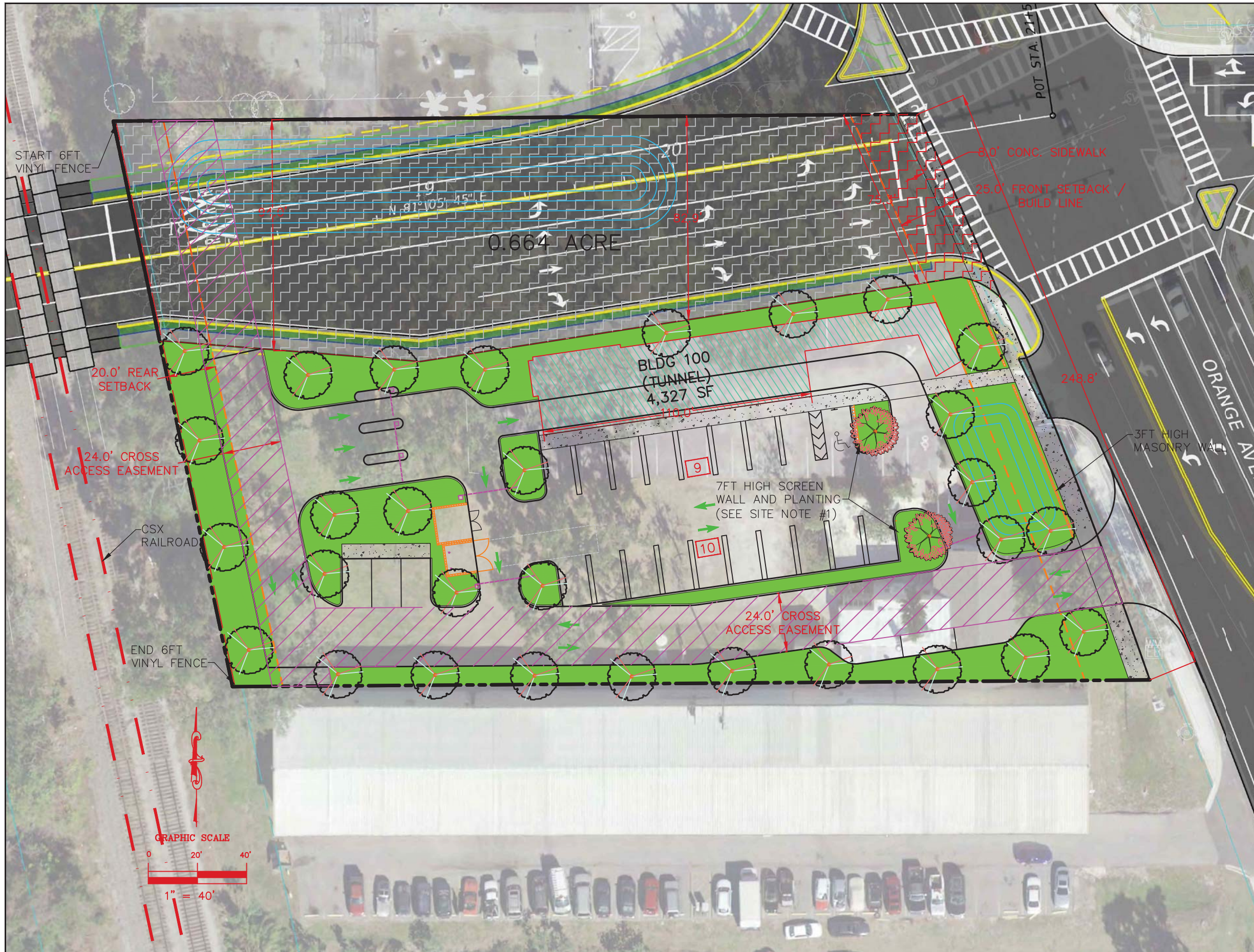
405 Bagshaw Way Edgewood, FL 32812 • Tel: 407-851-2920 • www.edgewood-fl.gov fl.gov

COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION – Page Two

<p>Owner Signature <u><i>Reimund Pitz</i></u></p> <p>The foregoing instrument was acknowledged before me this <u>05/20/2022</u> by <u>Reimund Pitz</u> who is personally known to me and who produced <u>FL DL</u> as identification and who did not take an oath.</p>	<p>Contractor Signature _____</p> <p>The foregoing instrument was acknowledged before me this ___/___/___ by _____ who is personally known to me and who produced _____ as identification and who did not take an oath.</p>
<p>Notary as to Owner <u><i>[Signature]</i></u></p> <p>Commission No. <u>GG270743</u> State _____ of FL. County of <u>Lake</u> My _____ Commission expires: <u>Nov. 23, 2022</u> (SEAL)</p>	<p>Notary as to Contractor _____</p> <p>Commission No. _____ State _____ of FL. County of _____ My _____ Commission expires: _____ (SEAL)</p>



Joshua Steele
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG270743
Expires 11/23/2022



SITE DATA

PARCEL ID 12-23-29-7312-00-181
 ADDRESS: 4800 S ORANGE AVE
 ORLANDO, FL 32806

- FUTURE LAND USE: COMMERCIAL
- ZONE: EDGEWOOD CENTRAL DISTRICT
- PROJECT AREA 1.86 ACRE
- MAXIMUM IMPERVIOUS SURFACE RATIO 80%
- MAXIMUM FLOOR AREA RATIO 1.0
- MAXIMUM HEIGHT 35 FT
- BUILDING SETBACK

	REQUIRED	PROVIDED
FRONT	25 FT	25 FT
SIDES	0 FT	5 FT (NORTH) 98 FT (SOUTH)
REAR	20 FT	145 FT
- PROPOSE USES

	BLD SQ FT
CARWASH	4,327 SF
- PRE-WASH (DE-BUG) 3 SPACES
- POST-WASH DETAILS 19 SPACES
- EMPLOYEE/GUEST PARKING 3 SPACES

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SYMBOL LEGEND

Full Building Section
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN

Wall Section
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN

Detail or Callout Reference
DETAIL NUMBER
SHEET WHERE DETAIL/CALLOUT IS DRAWN

Door Tag
DOOR NUMBER

Window Tag
WINDOW NUMBER

Grid Bubble - Proposed
GRID NUMBER
GRID LINE

Grid Bubble - Existing
GRID NUMBER
GRID LINE

Elevation Datum
LEVEL NAME
LEVEL ELEVATION

Spot Elevation
ELEVATION

North Arrow
PROJECT NORTH
TRUE NORTH

Room Tag
ROOM NAME
ROOM NUMBER
ROOM AREA

View Title
DRAWING NAME
DRAWING SCALE
DRAWING NUMBER

Matchlines
SEE SHEET A2.01.35 FOR CONTINUATION OF PLAN

View Reference
SEE SHEET A2.01.35

Elevation Symbol
SHEET NUMBER
DRAWING NUMBER

Light Fixture
EQUIPMENT ID

Specialty Equipment
EQUIPMENT ID

Plumbing Fixture Tag
PLUMBING FIXTURE ID

Material/Finish Tag
MATERIAL ID

Furniture Tag
FURNITURE ID

Revision Tag
REVISION NUMBER

MATERIAL LEGEND

BASE COURSE, COUSHIN FILL ROCK
SUB-BASE, GRAVEL, CRUSHED ROCK

SAND, MORTAR, GROUT, PLASTER
OR CONCRETE FILL

CONCRETE, CAST IN PLACE

BRICK

STONE

CONCRETE MASONRY UNITS

STEEL

ALUMINUM

WOOD

EARTH

WOOD FRAMING

WOOD BLOCKING OR SHIM

PLYWOOD

RIGID INSULATION

BATT INSULATION

GYPSUM BOARD

CEMENT PLASTER

WOOD FINISH

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR (SLAB)	INT	INTERIOR
AFG	ABOVE FINISH GRADE	LAV	LAVATORY
BLK	BLOCK	MECH	MECHANICAL
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BLDG	BUILDING	NIC	NOT IN CONTRACT
CW	COLD WATER	NTS	NOT TO SCALE
CL	CENTER LINE	OPP	OPPOSITE
CLR	CLEAR/CLEARANCE	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	RD	ROOF DRAIN
CU	CONDENSING UNIT	RET	RETAINING
CMU	CONCRETE MASONRY UNIT	REF	REFERENCE
CONT	CONTINUOUS	REV	REVISE/REVISION
CJ	CONTROL JOINT	REINF	REINFORCING
DN	DOWN	RTU	ROOF TOP UNIT (HVAC)
EA	EACH	SAN	SANITARY SEWER LINE
EFS	EXTERIOR INSULATED FINISHING SYSTEM	SM	SIMILAR
EL	ELEVATION	SPECS	SPECIFICATIONS
ELEC	ELECTRIC/ELECTRICAL EQUIVALENT	TS	TUBE STEEL
EQV	EQUIVALENT	T.O.	TOP OF
EXIST	EXISTING	TOC	TOP OF CONCRETE
EXT	EXTERIOR	TOS	TOP OF STEEL
EJ	EXPANSION JOINT	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FF	FINISHED FLOOR	WC	WATER CLOSET
FLR	FLOOR	WH	WATER HEATER
GA	GAGE/GAUGE	WWF	WELDED WIRE FABRIC
GC	GENERAL CONTRACTOR		
GALV	GALVANIZED		
GYP	GYPSUM		
HVAC	HEATING VENTILATING AIR CONDITIONING		
HW	HOT WATER		

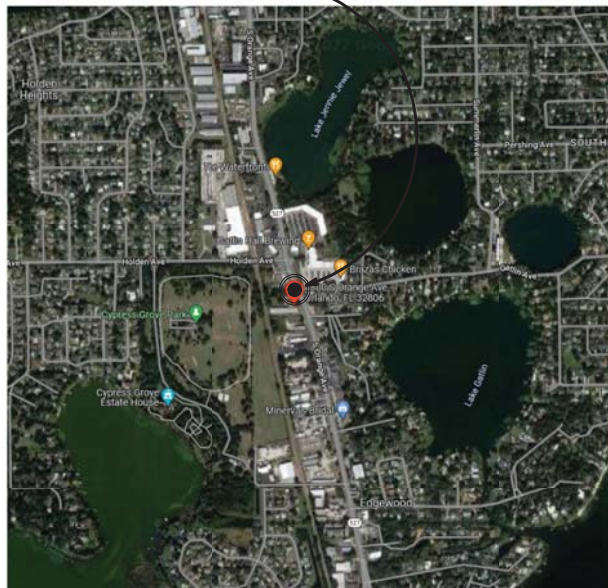
ORANGE AVE. CAR WASH

CONCEPT PACKAGE

4800 S Orange Ave, Orlando, FL 32806



PROJECT SITE



LEGAL DESCRIPTION

REV MAP OF ST PETERSBURG BLK 52, LOTS 18 AND 19

GENERAL NOTES

1. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION - WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
2. WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
3. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
4. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING/FURRING MEMBER UNLESS OTHERWISE NOTED.
5. WHERE BUILDING ELEMENTS ARE TOO LARGE TO FIT INSIDE THE CAVITY OF WALLS, WALLS ARE TO BE FURRED TO CONCEAL OR "BUILD IN" PIPING, ELECTRICAL PANELS AND OTHER RECESSED OBJECTS.
6. DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING.
7. IF THE CONTRACTOR DISCOVERS ANY CONFLICT BETWEEN THE DRAWINGS AND THE CONDITIONS WHERE WORK IS TO BE PERFORMED, HE SHALL PROMPTLY NOTIFY THE ARCHITECT.
8. DOCUMENTS ARE FOR CORE AND SHELL STRUCTURE ONLY. BUILDOUTS OF UNITS AND PUBLIC SPACES AND ASSOCIATED FINISHES SHALL BE BY SEPARATE PERMIT DOCUMENTS.

SHEET INDEX - ARCHITECTURAL

Sheet #	Sheet Name	Current Revision Date
A000	COVER	
A100	SITE PLAN	
A201	GROUND FLOOR PLAN	
A210	ROOF PLAN	
A501	BUILDING ELEVATIONS	
A990	3D VIEWS	

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STUDIO 407 Section F, Item 2.

Studio 407 LLC
7680 Universal Boulevard Suite 300
Orlando, FL 32819
(407) 342-5995
jeff@407studio.com | www.407studio.com

Orange Ave. Car Wash
4800 S Orange Ave.

CONSULTANT:

Issued For

Concept Design	05/25/22
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Revisions

#	Description	Date
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Seal

Project No: 22-073
Drawn By: Author
Jeff Galther, AIA
AR93666

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Sheet Title

COVER

A000

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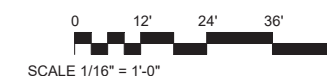
Project No: 22-073
Drawn By: PR

Jeff Galther, AIA
AR93666

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Sheet Title

SITE PLAN

1 SITE PLAN
1/16" = 1'-0"



A100

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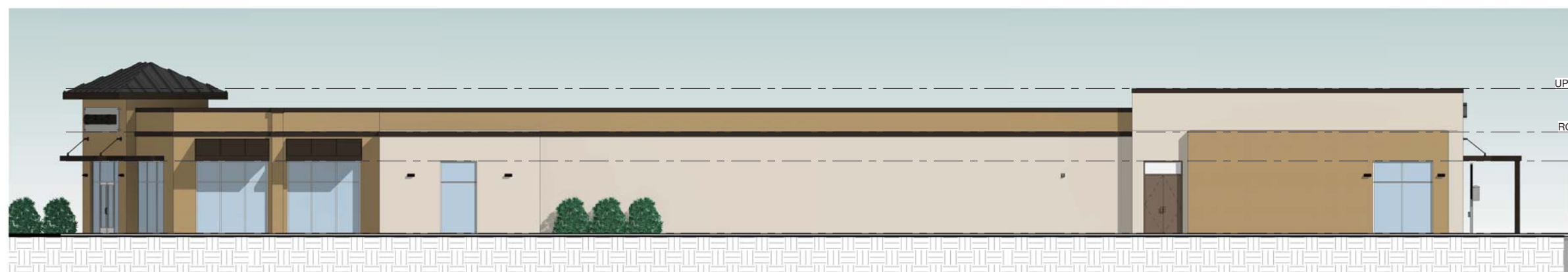
1 EAST ELEVATION
1/8" = 1'-0"



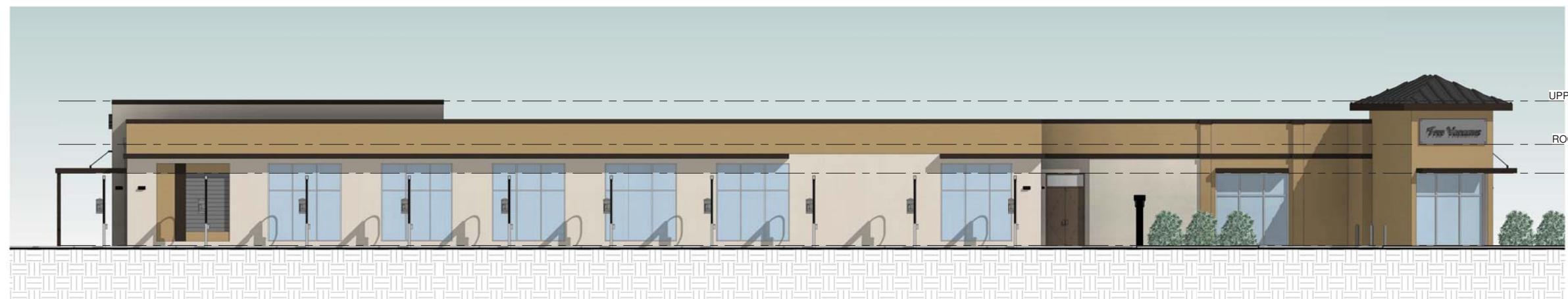
2 WEST ELEVATION
1/8" = 1'-0"



3 NORTHEAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



5 SOUTH ELEVATION
1/8" = 1'-0"

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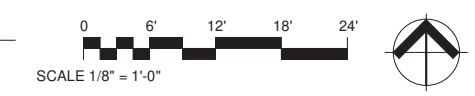
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BUILDING ELEVATIONS



A501

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 3D VIEWS

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