



PLANNING AND ZONING BOARD MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Monday, February 14, 2022 at 6:30 PM

Steve Kreidt
Chair

Ryan Santurri
Vice-Chair

David Gragg
Board Member

David Nelson
Board Member

Melissa Gibson
Board Member

AGENDA

WELCOME! We are very glad you have joined us for today’s Planning and Zoning meeting. The Planning and Zoning Board is an advisory board to City Council comprised of citizen members who voluntarily and without compensation devote their time and talents to a variety of zoning and land development issues in the community. All P&Z recommendations are subject to final action by City Council. The results of today’s meeting will be presented at the noted City Council meeting for approval of recommended actions. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. **CAUTION:** Untimely filing by any appellant shall result in an automatic denial of the appeal.

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL AND DETERMINATION OF QUORUM

D. APPROVAL OF MINUTES

- [1.](#) January 10, 2022 Planning and Zoning Meeting Minutes

E. NEW BUSINESS

- [1.](#) Details of February 14, 2022 Meeting
- 2. Mecato's Bakery and Café- Waiver Request Section 134-471(2)e
- [3.](#) Mecato's Bakery and Café- Site Plan Review

F. UNFINISHED BUSINESS

G. COMMENTS/ANNOUNCEMENTS

H. ADJOURNMENT

UPCOMING MEETINGS

Tuesday, February, 15, 2022..... February City Council Meeting
Monday, March, 14, 2022.....March P&Z Meeting

General Rules of Order

You are welcome to attend and express your opinion. The Board is pleased to hear non-repetitive comments related to business before the Board; however, a **five (5) minute time limit per person** has been set by the Board. Large groups are asked to name a spokesperson. If you wish to appear before the Board, please fill out an Appearance Request Registration Form and give it to the City Clerk. When recognized, state your name and speak directly into the microphone. The City is guided by **Roberts Rules of Order** in governing the conduct of the meeting. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at (407) 851-2920 at least 24 hours in advance of the meeting.

We ask that all electronic devices (i.e. cell phones, pagers) be silenced during our meeting!

Thank you for participating in your government!

Appeals

According to Edgewood City Code Section 26-24 (2), “any person aggrieved by any recommendation of the Board acting either under its general powers or as a Board of Adjustment may file a notice of appeal to the City Council within seven (7) days after such recommendation is filed with the City Clerk. Per **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceeding and may need to ensure that a verbatim record is made.

Americans with Disabilities Act

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



**Planning and Zoning Meeting Draft Minutes
January 10, 2022 at 6:30 pm**

Call to Order

Chair Kreidt called the meeting to order at 6:30 pm and led the Pledge of Allegiance, followed by an invocation.

Roll Call and Determination of Quorum

Deputy City Clerk Riffle announced a quorum; Board Member Gibson was absent.

The following Planning and Zoning and staff members were present.

Board Members: (Quorum)

Steve Kreidt, Chair
Ryan Santurri, Vice-Chair
David Gragg, Board Member
David Nelson, Board Member

Absent:

Melissa Gibson, Board Member

Staff:

Sandra Riffle, Deputy City Clerk
Brett Sollazzo, Administrative Assistant
Mike Fraticelli, Police Sergeant
Drew Smith, City Attorney
Allen Lane, P.E. CPH, City Engineer
Jim Winter, RLA, CPH, City Landscape Architect
Ellen Hardgrove, AICP, City Planner

Applicants:

Nelson Lerma, Mecato's Bakery and Café
Edwin Lurduy, Mecato's Bakery and Café
Jim Krantz, Allair Homes
Nicholas Hidalgo, Allair Homes

Administer Oath of Office

Deputy City Clerk Riffle administered the Oath of Office to Board Members Steve Kreidt, Ryan Santurri, and David Gragg,

Election of Chair and Vice-Chair

Board Member Gragg made a motion to re-elect Board Member Kreidt as Chair; seconded by Board Member Nelson. The motion was approved (4/0).

Board Member Gragg made a motion to re-elect Board Member Santurri as Vice-Chair; seconded by Chair Kreidt. The motion was approved (4/0).

Approval of Minutes

- **December 13, 2021 Planning and Zoning Meeting Minutes.**

Vice-Chair Santurri made a motion to approve the December 13, 2021 minutes as presented; seconded by Board Member Gragg. The motion was approved (4/0).

New Business

- **Mecato’s Bakery and Café
Variance 2021-01 and Waiver Requests**

Planner Hardgrove introduced the requested waivers where the proposed bakery plans cannot meet the criteria for the Edgewood Central District (ECD). She stated the waivers will be used to finalize the site plan, expected to be on the P&Z agenda in February.

Waiver for Architectural Design

Waiver of Code Section 134-469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height, along all flat or parapet roof portions.

Waiver of Code Section 134-469 (1)c.4 to allow the required building’s vertical change to not be hung between 13-15 feet above the grade.

There was a brief discussion regarding the two architectural waiver requests that were asked for due to the proposed architectural design of the building and how the awning was proposed to be constructed instead of “hung.” Planner Hardgrove stated the waivers would not be contrary to the intent of the ECD. She confirmed that there would be a parapet wall to screen equipment on the roof.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a waiver of Code Sections 134-469(1)f to allow the elimination of the required three-dimensional cornice and Code Section 134-469 (1)c.4 to allow the required vertical change to not be hung between 13-15 feet above the grade; seconded by Chair Kreidt. The motion was approved (4/0).

The motion was approved by roll call vote.

Chair Kreidt	Favor
Board Member Gragg	Favor
Board Member Nelson	Favor
Vice-Chair Santurri	Favor
Board Member Gibson	Absent

Parking Location

Waiver of Code Section 134-474(c)(4)(a), which requires parking to be behind the imaginary line extending from the front building façade.

Planner Hardgrove said that Staff supports this request since it is an expansion of an existing building, the parking spaces will be on existing pavement and the ECD screen wall will be provided

In response to Chair Kreidt, Planner Hardgrove confirmed the traffic flow would be counterclockwise, which was a Staff recommended change during the site plan review.

There was no public comment.

Chair Kreidt made a motion to recommend approval of a Waiver of Code Section 134-474(c)(4)(a) to allow parking in front of the imaginary line extending from the front building façade; seconded by Vice-Chair Santurri. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Nelson	Favor
Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Hansel Avenue Buffer

Waiver of Code Sections 134-471(2)e and 134-474(c)(4)a to allow the required street wall on the Hansel Avenue side of the property to be closer than 25 feet from the front property line, thus resulting in less than 25 feet wide of landscaped yard in front of the wall.

Planner Hardgrove requested that the Board postpone their consideration of these waivers for Sections 134-471(2)e and 134-474(c)(4)a until discussion of a related waiver later in the meeting.

Hoffner Ave People Space

Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.

Waiver of Code Section 134-471(2)e, which requires a street wall to screen the parking spaces (Hoffner Avenue).

Planner Hardgrove said Code requires a 25-foot buffer from the property line to the build line. The applicant requests to reduce the landscape buffer to 8.5 feet. Planner Hardgrove said the ECD requires the People Space be provided along Hoffner Avenue. The consideration of this request is more of a policy decision: should the People Space be required on this segment of Hoffner. The intent of this part of the regulation was for the portion of Hoffner between Hansel and Orange. Planner Hardgrove said Staff’s opinion was that this segment of Hoffner is more like a side street and other side streets are required to meet Chapter 114 landscaping requirements.

The applicant is requesting instead of the People Space, that only the landscaping requirements of Chapter 114 be required including not requiring the 8-foot-wide sidewalk. The rationale was the retrofit of the site, including providing necessary parking, and keeping the existing 5-foot-wide sidewalk would help to increase the existing landscape buffer from 5 feet to 8.5 feet. The hedge and trees would meet the landscape code.

Discussion ensued regarding landscaping and the need for the People Space street wall to hide the parking.

Chair Kreidt suggested the street wall along Hansel be turned to the east at the south end of the wall for a short section and have two short sections of the wall on either side of the sidewalk. It would not be costly but would provide a unifying feel to the site and provide a more defined space.

Landscape Architect Winter stated his concern that this would make the buffer along Hoffner even more narrow for the trees and suggested that the wall could be used instead of the shrubs. He suggested that columns could be added on each side of the stairs.

Planner Hardgrove asked if the stairs require a railing and Landscape Architect Winter suggested cheek walls parallel to the stairs with a connecting handrail.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a waiver in Code Sections 134-471(1)a and 134-471(2)i and Code Section 134-471(2)e, subject to the street wall continuing in front of the first two westernmost parking spaces plus columns at the top and bottom of both sides of the stairs on Hoffner Avenue, with the intent of unifying the look from Hansel; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Trees

Waiver of Code Section 134-468(h)(2), which would require Highrise Oaks with 5” caliper along the Hansel and Hoffner Avenues frontage.

Planner Hardgrove said that per her conversation with Landscape Architect Winter, Highrise Oaks and other trees of a 5” caliper are very difficult to obtain. Staff recommends approval to use alternative trees with a minimum caliper of 3”.

In response to Board Member Nelson, Planner Hardgrove said Staff proposes that the Chinese Elm, Japanese blueberry, or Alee be substituted for the Highrise Oaks.

There was no public comment.

Board Member Nelson made a motion to recommend a Waiver of Code Section 134-468(h)(2) to allow trees with 3” caliper in lieu of 5” caliper Highrise Oaks; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Chair Kreidt	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Board Member Gibson	Absent

Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width to provide a sustainable space for trees.

Planner Hardgrove said Staff recommends approval for two parking island locations: at the east end of the row of parking adjacent to Hoffner and at the west end of the row adjacent to the northern property line. She stated that the rationale for the width is sustainability of the tree that is required in the island. Staff supported the request along the north property line since the island was adjacent to the property line and there was green space on the other side property line giving the tree sufficient area. For the island along Hoffner, staff recommends the driveway be narrowed from 24-foot-wide to the minimum needed for emergency vehicle access to allow an increase in island width. This driveway is a only right in/ right out driveway due to the solid yellow line on Hoffner Avenue.

In response to Chair Kreidt question whether they have the required number of parking spaces, Planner Hardgrove said they have 31 parking spaces, including two for compact parking. They are required to have 29 spaces.

Conversation ensued regarding traffic flow and accessibility.

In response to Board Member Gragg, Planner Hardgrove said the proposed island width would not sustain even an understory tree Engineer Lane said sight visibility needs to be maintained as demonstrated by the sign visibility triangle to provide a driver with an unobstructed view of vehicles and pedestrians to pull out of the lot safely.

Discussion continued regarding landscaping and the use of groundcover on the parking island instead of a tree.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a waiver to Code Section 134-471(2)h for a reduction in island width for the island at the western end of the parking along the northern property line, and approve the reduction of island width for the island at the eastern end of the parking along the southern property line, conditioned on replacing the required parking island tree with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Chair Kreidt	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Board Member Gibson	Absent

Drive-up Window

Waiver of Code Section 134-472(b), which requires drive-up windows to be on the building’s rear side.

Planner Hardgrove said the drive-up window is proposed to be on the north side of the building as it would be difficult to place on the rear side of the building as required by ECD. Staff recommends approval conditioned on the applicant screening the drive-up window from Hansel Avenue. In being people-oriented, one of the ECD's objectives was not to be able to see drive-up windows.

Discussion ensued regarding the flow of traffic utilizing the drive-up window.

The property owner, Mr. Lerma, explained the intent is to beautify that area of the property with landscaping and cover the view of the drive-up window. He does not support staff’s proposed landscaping at the front end of the drive-through lane. He does not want to bottle-neck traffic on the property.

Discussion ensued related to what landscaping is proposed as shown on the applicant’s landscape plan. Also, the view of drive-up window would be blocked by the fact that Hansel is a one way north street. Attorney Smith commented that if the Board does not accept Staff’s recommendation, they could approve the waiver conditioned upon installing landscape screening in general conformance with the applicant’s presented landscape plan. This would be a way to mitigate the impact of the drive-thru on the side of the building.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a waiver to Code Section 134-472(b), to allow a drive-up window to be on the side of the building conditioned on landscaping to be provided in general conformance with the landscape plan submitted by the applicant at the hearing; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Chair Kreidt	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Board Member Gibson	Absent

Hansel Ave Buffer

Waiver of Code Section 134-471(2)e, which requires the street wall to be located at the build line (Hansel).

Waiver of Code Section 134-474(c)(4)a, which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.

Planner Hardgrove explained as proposed, the southern $\frac{3}{4}$ of the wall is proposed to be located ± 21 feet from the property line and the northern $\frac{1}{4}$ is proposed to be 8 feet from the front property line. For the southern $\frac{3}{4}$ of the wall, the placement is to allow passenger doors to fully open without hitting the wall. Planner Hardgrove said since P&Z Board voted to recommend approval of the waiver for parking in front of the front building elevation, Staff supports the southern wall segment location as it is impractical to place the wall at the required location.

For the northern $\frac{1}{4}$ segment, the rationale is to provide security for the bike parking. The bike parking location was chosen for its proximity to the crosswalk and minimal conflict with vehicles. Staff supported the request if the applicant demonstrated that there is no other practical location for the bike rack.

Discussion ensued about placing the bike rack where it was more obvious that it was available and that the wall would provide additional security for the bikes.

Chair Kreidt commented that he likes the bike rack located behind with the wall. Board Members Gragg and Nelson concurred that the bike rack's visibility may encourage bicycling.

Board Member Santurri said locating the rack behind the wall would provide a good barrier from the traffic and passersby.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a Waiver of Code Sections 134-471(2)e and 134-474(c)(4)a to approve the requested Hansel Avenue buffer; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Lighting

Waiver of Code Section 134-470(f), which requires a minimum foot-candle of 2.0 where pedestrians will be present.

Waiver of Code Section 134-470(f), which requires lighting fixtures to be decorative, at a maximum height of 16 feet, and located at least 15 feet from trees.

Planner Hardgrove said that lighting requirements in the back of properties was added to the ECD with a minimum foot-candle of 2.0 to ensure lighting in the parking lot since the parking is to be behind the building and street lights would not be present. Based on this proposed waiver, she consulted with Chief Freeburg on the appropriate level of lighting, and his opinion was that a 1.0 foot-candle should be acceptable for crime prevention and pedestrian safety. The change will be made in the Code, but at this time, a 1.0 foot-candle requires a waiver.

Planner Hardgrove explained that the ECD height limitation for light poles is on a lower scale for pedestrians. The applicant requests new 20-foot-high poles along the north property line and to retain two existing 28-foot poles, one along Hoffner and the other in the rear.

She said that after research, the ECD's 16 feet limit is a reasonable maximum height. Staff strongly recommends that the lights in front along Hansel Avenue be at 16 feet and recommends denial of anything higher.

Planner Hardgrove further explained that the two existing poles are the typical old-fashioned concrete light poles with the cobra head design. The light is inside the tree canopy on the east side of the property showing why the height limitation is needed.

The applicant also requested that some poles not be decorative, with shoebox lights. The shoebox provides a lot of light which would require fewer poles. The ECD specifically requires decorative lighting.

Mr. Lerma said that there is conflict in meeting this requirement from an engineering perspective. He said the poles on the north side could be 16 feet. They have been talking to Duke Energy about the electrical and trenching underground to the building and that Duke Energy would provide the poles with different options. He said they are willing to work through it and added that the trees would have up-lighting.

Board Member Gragg commented that if the poles are decorative at the front of the property, he would not have an issue with a 20-foot pole or shoebox lights. Mr. Lerma responded that Hansel Avenue would have four decorative lights.

Conversation continued regarding choices for the light poles.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of a Waiver of Code Section 134-470(f) only for the existing light fixture along the Hoffner Avenue side of the property and the existing light fixture along the east side of the property; those existing light fixtures may remain; all other light fixtures shall conform with Code Section 134-470(f)); and to allow a minimum foot candle of 1.0 where pedestrians will be present instead of 2.0; seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Chair Kreidt	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Board Member Gibson	Absent

Fences

Waiver of Code Section 134-470(c)(3), which limits the height of fences anywhere in the ECD to a maximum of 48 inches.

Planner Hardgrove said that a wall is required for properties adjacent to residential zoning, but a short segment of the east property line is not adjacent to residential zoning since what was Brickwood Drive has been discovered to still be owned by the late Mr. Hansel. The once thought to be public right-of-way has a Commercial Future Land Use designation. Regardless, the applicant would like to create a barrier between his property and the residential to the east. Because the applicant is attempting to purchase this small strip of the property he would prefer to have a more temporary barrier, the fence, rather than the wall. The applicant proposed to erect a 6-foot-high fence, but the ECD does not allow a fence over 4-feet high.

In response to Chair Kreidt, Planner Hardgrove said the wall to the south is 7-feet high. Mr. Lerma said, to be consistent, they could make the fence 7-feet high.

Planner Hardgrove said if the applicant can acquire the property to the east, his property would then be next to residential, but the City could not require a wall in that location as there would be nothing to trigger the requirement.

Planner Hardgrove said that Staff recommends approval with a condition that if the applicant purchases the former Brickwood Drive, a wall consistent with the ECD requirements would be required.

In response to the waiver request, the City received a letter from a resident on the other side of Brickwood Drive. The letter, included in the agenda packet, stated concerns regarding the fence and debris in the area.

There was no public comment.

Vice-Chair Santurri made a motion to recommend approval of the Waiver of Code Section 134-470(c)(3), to allow a seven-foot-high fence conditioned on that it will be replaced with a wall if the abutting former Brickwood Drive to the east is acquired; seconded by Chair Kreidt. The motion was approved (4/0).

The motion was approved by a roll call vote.

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Variance Request
Variance 2021-01 Cross -Access

The request is to eliminate the Code Section 134-142 requirement to provide vehicular cross access between adjacent parcels. Planner Hardgrove explained, the ECD requires cross-access between adjacent properties. To the east is residential land where cross access is inappropriate. To the north is a non-residential parcel; however, there is no benefit to connecting that parking area to that on the subject property, given the one-way circulation on the subject property. In addition, there is a significant grade difference between the two non-residential parcels.

She said the City’s engineer has determined it is not practical to require the vehicular cross access on the subject property as Hansel Avenue is a one-way road.

Staff recommends approval.

Chair Kreidt made a motion to recommend approval of Variance 2021-01 in Code Section 134-142 to eliminate the requirement for a cross access easement; the motion was seconded by Vice-Chair Santurri. The motion was approved (4/0).

The motion was approved by a roll call vote

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Planner Hardgrove said this application will go to City Council the next Tuesday. Board Member Gragg said he is looking forward to seeing that vacant corner revitalized.

- **Special Exception 2021-01**
Guest Cottage 1078 Harbour Island Road

Engineer Lane reviewed the application requesting a Special Exception per Section 134-220(c)(5) of the City’s Code to allow a guest cottage at 1078 Harbour Island Road, currently in the R-1AA

zoning district. The subject property is 54,908 SF (1.26 acres) and contains a two-story single-family, canal-front home residence.

He said the applicant requests a Special Exception to construct a guest cottage of approximately 1,724 square feet on the same lot. The proposed structure would not be connected to the residence and would not have a full kitchen or kitchenette. Code prohibits guest cottages from having paying guests or kitchen facilities.

Engineer Lane confirmed to Chair Kreidt that the proposed 7.5-foot side setback meets Code for an accessory structure.

In response to Board Member Nelson, applicant Jim Krantz said that it appears that there are no pipes in the drainage easement. Engineer Lane added that the purpose of a drainage easement is to prevent one property from discharging drainage onto another, and the proposed structure is outside of the easement.

Engineer Lane noted that a carport is included in the submittal. It is adjacent to the structure and is within the allowable limits of Impervious Surface Ratio (ISR) and setbacks. They have approximately 23% ISR.

Engineer Lane said Staff does not have any objections to this Special Exception.

Mr. Krantz, with Allair Homes, spoke on behalf of the applicant. He said the application is motivated by the property owners' necessity to care for their two elderly parents.

In response to Chair Kreidt, Engineer Lane said the neighbor to the east has a guest cottage. The applicant talked to the neighbor on the west side, and there have been no comments.

In response to Board Member Santurri, Mr. Krantz said they are adding a carport because they already have an enclosed garage.

Board Member Santurri noted that he is not aware of any other carports in the neighborhood. The garage is not visible from the street, but the proposed carport faces the road and is open all the way through.

Mr. Krantz responded that one of the ideas is to have access to the backyard with lawnmowers and other equipment.

Further discussion ensued regarding the details of the carport design.

There was no public comment.

Board Member Nelson made a motion to recommend approval of Special Exception 2021-01 as presented: seconded by Board Member Gragg. The motion was approved (4/0).

The motion was approved by roll call vote.

Board Member Gragg	Favor
Vice-Chair Santurri	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Gibson	Absent

Deputy City Clerk Riffle said this would go to City Council on February 15, 2022.

Board Member Gragg made a motion to adjourn the meeting; seconded by Chair Kreidt. The motion was approved (4/0).

The meeting adjourned at 8:20 pm.

Steve Kreidt, Chair

Sandra Riffle, Interim City Clerk

Memo

To: Planning and Zoning Board Members

CC: Sandy Riffle, Drew Smith, Ellen Hardgrove, David Mahler, Allen Lane, Jim Winter

From: Brett Sollazzo, Administrative Assistant

Date: February 10, 2022

Re: New Business Items Planning and Zoning Meeting February 14, 2022

For the February 14, 2022 Planning and Zoning Board meeting, the following is provided in your agenda packet for your review and consideration.

1. Mecato's Bakery and Café - 5645 Hansel Avenue

Waiver Request

- Waiver request for code Section 134-471(2)e to waive the required street wall to screen the parking from the road along Hoffner Avenue. *Note: There is no staff report for this waiver request. It will be discussed during the site plan review.*
- A legal advertisement was placed in the Orlando Sentinel on Thursday, February 3, 2022. to advertise the requested waiver, as required by City Code.

The City Planner and CPH Engineer and Landscape Architect are prepared to respond to any questions you may have regarding the waiver request. The applicant/representative for Mecato's Bakery and Café will also be in attendance.

2. Mecato's Bakery and Café - 5645 Hansel Avenue

Commercial Review

- Application Pages dated 9/14/2021
- Combined staff report from City Planner Ellen Hardgrove, City Engineer Allen Lane, and City Landscape Architect Jim Winter dated 2/6/2022
- Construction Plans dated 1/27/2022
- Additional documents including landscape plans, elevation drawings, lighting details, boundary survey, trip generation calculation, sight triangle analysis, and fire truck access plan.

The City Planner and CPH Engineer and Landscape Architect are prepared to respond to any questions you may have regarding the commercial site plan. The applicant/representative for Mecato's Bakery and Café will also be in attendance.



Orange County Division of Building Safety
201 South Rosalind Avenue
Reply To: Post Office Box 2687 • Orlando, Florida 32802-2687
Phone: 407-836-5550
www.ocfl.net/building

09 / 13 / 2021
Date
Building Permit Number

Section E, Item 3.

Permit Number

APPLICATION FOR BUILDING/LAND USE PERMIT*

* All Applications Must Comply with Concurrency Requirements

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

PLEASE PRINT:

The undersigned hereby applies for a permit to make building improvements as indicated below on property.

Project Address: 5845 Hansel Ave.
(Must match address on plans)

Suite/Unit #: _____ Bldg #: _____ City: Edgewood Zip Code: 32809

Subdivision Name: _____

Parcel ID Number: Section _____ Township _____ Range _____ Subdivision _____ Block _____ Lot _____
(15 Digit Parcel ID Number & Legal Description must be on plans)

Owner Name: CNBM Investments/Nelson Lerma Phone No.: (352) 262 - 8955

Owner Address: 1073 Campbell Street City: Orlando State: FL Zip Code: 32808

Tenant Name: BEMI Investments Phone No.: (352) 262 - 8955

Nature of Business: Cafe/Bakery

Architect Name: Rabits & Romano License No.: AR99846 Phone No.: (407) 490 - 350

Civil Engineer Name: Harris Civil Eng. License No.: 9814 Phone No.: (407) 629 - 4777

Nature of Proposed Improvements: site improvement/ expansion

Demolition Permit #: _____ Site Work Permit #: _____

PROPERTY ON SEWER or SEPTIC

Permit valuation greater than \$2500 requires a notarized Page 2, and Notice of Commencement prior to the first inspection.

Is Notice of Commencement Recorded? Yes No

If there were comments on this project, how would you like to receive them?

Pick them up E-Mail (Customer shall access Web Page)

Is proposed work in response to a Notice of Code Violation written by an Orange County Inspector? Yes No

Is proposed work in response to an unsafe abatement notice? Yes No

Has project had a pre-review? Yes No If Yes, Commercial Plans Examiner(s): _____

Is building fire sprinklered? Yes No

Detached Garage? Yes No Valuation for Detached Garage Only: \$0.00

Required work: Plumbing Electrical Mechanical Gas Roofing None

Alterations Only:

Is this a new tenant? Yes No If yes, state previous use: _____

Intended use of space: _____

List use of adjoining tenant space(s): Side: _____ Above: _____

Rear: _____ Side: _____ Below: _____

Total Job Valuation: \$ 400,000.

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations and County Ordinances regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable Orange County and/or State of Florida codes and/or ordinances. I hereby certify that the above is true and correct to the best of my knowledge.

PLEASE PRINT: (Check one) Owner: Contractor:

Name of License Holder/Agent: David Santiago Zuleta/Qualis Concrete

Contractor License Number (if applicable): CGC1530041

Contact Phone Number: (813) 378 6305 E-Mail Address: Santiago@qualisconcrete.com

Authorized Signature: _____

Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.

Permit Application Information - Page Two

Permit Number

Owner's Name CNBM Investments/Nelson Lerma

Owner's Address 1073 Campbell Street

Fee Simple Titleholder's Name (If other than owner's) _____

Fee Simple Titleholder's Address (If other than owner's) _____

City Orlando State FL Zip Code 32806

Contractor's Name David Santiago Zuleta

Contractor's Address 275 Lakay Place

City Longwood State FL Zip Code 32779

Job Name Mecatons Bakery & Cafe

Job Address 5645 Hansel Ave. SUITE/UNIT _____

City Edgewood State FL Zip Code 32809

Bonding Company Name _____

Bonding Company Address _____

City _____ State _____ Zip Code _____

Architect/Engineer's Name Rabits & Romano Architecture/Harris Civil Engineers

Architect/Engineer's Address 5127 S. Orange Ave, Suite 110, Orlando/1200 Hillcrest St.

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, SIGNS, POOLS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A Notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owner Signature [Signature]

The foregoing instrument was acknowledged before me this 9/14/21 by Nelson Lerma who is personally known to me and who produced FL DL as identification and who did not take an oath.

Contractor Signature [Signature]

The foregoing instrument was acknowledged before me this 9/14/21 by Zuleta David Santiago who is personally known to me and who produced FL DL as identification and who did not take an oath.

Notary as to Owner [Signature]

Commission No. HH112252

State of FL, County of Orange

My Commission expires: 03-31-2025

(SEAL)

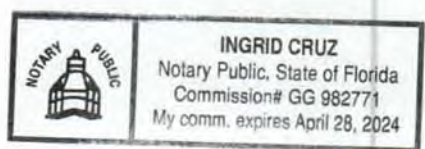
Notary as to Contractor [Signature]

Commission No. GG 982771

State of FL, County of Orange

My Commission expires: APRIL 28, 2024

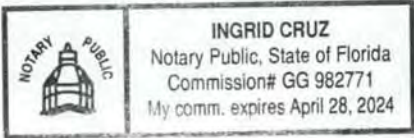
(SEAL)



Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.

COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION – Page Two

<p>Owner Signature <u>[Signature]</u></p> <p>The foregoing instrument was acknowledged before me this <u>9/14/21</u> by <u>Nelson Lerma</u> who is personally known to me and who produced <u>FL DL</u> as identification and who did not take an oath.</p>	<p>Contractor Signature <u>[Signature]</u></p> <p>The foregoing instrument was acknowledged before me this <u>9/14/21</u> by <u>Zuleta David Santiago</u> who is personally known to me and who produced <u>PL DL</u> as identification and who did not take an oath.</p>
<p>Notary as to Owner <u>[Signature]</u></p> <p>Commission No. <u>417 2252</u> State _____</p> <p>of FL County of <u>Orange</u> My _____</p> <p>Commission expires <u>3-31-2025</u> (SEAL)</p> 	<p>Notary as to Contractor <u>[Signature]</u></p> <p>Commission No. <u>GG 982771</u> State _____</p> <p>of FL County of <u>Orange</u> My _____</p> <p>Commission expires: <u>April 28, 2024</u> (SEAL)</p>





Date: February 6, 2022
 To: Planning and Zoning Board
 From: Ellen Hardgrove, City Planning Consultant
 Allen Lane, CPH Engineering, City Engineering Consultant
 Jim Winter, CPH Engineering, City Landscape Architect Consultant
 XC: Sandy Riffle, Interim City Clerk
 Brett Sollazzo, Administrative Assistant
 Drew Smith, City Attorney
 Re: Mecatos Bakery and Café Site Plan/Waiver/Variance Application

Agenda Item Description

This agenda item is for approval consideration of the site plan package for the Mecatos Bakery and Café that was submitted electronically to the City on January 27, 2022. The package includes the following

- Construction Documents Revision dated January 27, 2022
- Architect Elevation Drawing dated August 5, 2021
- Landscape Site Plan dated 1/25/22
- Photometrics undated
- Decorative Light Detail: Pendant Holophane GBLF3 and Washington WFCL2
- Boundary Survey with Trees dated 10/25/21

General Information

The proposal is for the 0.917-acre parcel located at the northeast corner of Hansel and Hoffner Avenues, within the ECD. The proposal is an expansion of an existing 1,443 square feet building to 2412.5 square feet and a retrofit of the site to meet most of the ECD site design standards. Waivers to some of the ECD standards and a variance were approved by City Council January 18, 2022 as listed below.

Subject	Code Section	Conditions of approval if any
Architecture Design	Waiver of Code Section 134-469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height, along all flat or parapet roof portions.	The design is to be generally consistent with the building illustration presented at the Council hearing

	Waiver of Code Section 134-469 (1)c.4 to allow the required building’s vertical change to not be hung between 13-15 feet above the grade.	
Parking Location	Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.	
Hansel Avenue Buffer	Waiver of Code Section 134-471(2)e, which requires the street wall to be located at the build line (Hansel).	The location is to be generally in conformance with the site plan presented at the hearing.
	Waiver of Code Section 134-474(c)(4)a, which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.	
Hoffner Avenue People Space	Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.	
Trees	Waiver of Code Section 134-468(h)(2), which would require Highrise Oaks with 5” caliper along the Hansel and Hoffner Avenues frontage.	The replacement trees shall be a minimum caliper of 3 inches
	Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width in order to provide a sustainable space for trees.	Approve the reduction in island width for that at the western end of the parking along the northern property line Approve the reduction of island width for that at the eastern end of the parking along the southern property line conditioned on replacing the required parking island tree with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility.
Drive Up Window	Waiver of Code Section 134-472(b), which requires drive-up windows to be on the building’s rear side.	Landscaping to be provided in general conformance with the landscape plan submitted by the applicant at the hearing.
Lighting	Waiver of Code Section 134-470(f), which requires a minimum foot candle of 2.0 where pedestrians will be present.	Approve conditioned on providing a minimum of 1.0 foot candle
	Waiver of Code Section 134-470(f)), which requires lighting fixtures to be decorative, at a maximum height of 16 feet, and located at least 15 feet from trees.	Only applies to the existing fixture located along the Hoffner frontage, and one along the east property line

Fences	Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the ECD to a maximum of 48 inches.	Approval of a 7 feet high fence as shown on the site plan presented at the hearing conditioned on construction of the wall if the former Brickwood Drive is incorporated into the property
Cross Access	Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.	

Staff Recommendation

Staff has reviewed the most recent submittal and recommends approval with the conditions listed under the suggested motion.

Suggested Motion

Approval of the Mecatos Site Plan Package submitted electronically to City Hall January 25, 2022, subject to the following changes made and represented on the revised plans as clouded information, a revision note added to the plans, and as well as a written response to all needed changes listed below to be submitted to City Hall by February 28, 2022 at noon.

1. Revise the traffic generation information sheet and on the construction document Cover Sheet comparing the last use/building square footage to that proposed.
2. Identify who the “others” are that will build the stairs.
3. On the elevation sheet, correct the metal awning arrow (West elevation) and stucco joint (West and South Elevations) which are in wrong place.
4. Landscape Plan, Exchange the Crepe Myrtle at the west end of north parking row for an evergreen shade tree.
5. Landscape Plan, Revise the Hoffner Avenue landscaping, on the street side of the wall, to provide a balanced tiered planting of groundcover, shrubs and accent plants that provide interest to the landscape similar to what is proposed on the Hansel Avenue frontage. The planting of primarily lirope in front of the wall does not meet this intent.
6. Landscape Plan, Revise the Hoffner Avenue trees to be understory trees spaced at 20’ on center.
7. Landscape Plan, Specify on the plan for trees and shrubs and ground cover in the visibility triangles FDOT’s required clear trunk measurements and the maximum shrub and/or ground cover heights.
8. Revise the Impervious/Pervious Surface information on the Cover sheet to be consistent with the storm water calculations (4,464 SF of paver area as impervious). The pervious pavers are listed as 100% pervious. While the pavers are designed to allow water to percolate through, the total paver area is not 100% pervious.
9. On Sheet C-001, General Notes – note 10 – the note references that the Contractor will coordinate his activities with all utility companies. Add the following to the note: “Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka Sunshine State One Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark

- their underground facilities and appropriately respond to the Positive Response System.”
10. On Sheet C-001, Erosion Protection Notes – note H – this note references tracking materials off-site and onto beach areas. Remove the beach reference from the note.
 11. On Sheet C-001, Erosion Protection Notes – note K references dewatering. Add to the note that any dewatering will be submitted to the City for review and approval as well as to the EOR.
 12. On Sheet C-001, Erosion Protection Notes – note M references dewatering; add note that the City will be required to review all testing results as well as the EOR.
 13. On Sheet C-001 Standard Sewer and Water Notes – note 4 references crossings between the water and sanitary utilities and specifically notes to concrete encase the sewage main if the minimum separation cannot be maintained. Since the sewer will be new construction and on the opposite side of the building from the existing water service to the building, there should be no issues with maintaining separation. Revise the note to state that the minimum separation will be maintained.
 14. On Sheet C-001, Standard Sewer and Water Notes, note 4, note that a copy of the FDEP Wastewater permit shall be submitted to the city since this site has a lift station and force main.
 15. On Sheet C-001, Standard Sewer and Water notes – note 6, eliminate the reference to Orange County Standards. The note should reference the OUC standards or manual as specified by OUC.
 16. Sheet C-001- Since the plans call out a new water service and backflow prevention device (sheet C-3000), add to the Sewer and Water notes: “The Contractor shall disinfect all sections of the water distribution in accordance with the FDEP water permit, and receive approval thereof from the local water utility, engineer of record, and FDEP, prior to placing in service. It is the contractor’s responsibility to obtain copies of the FDEP water and sewer permits from the project manager and maintain them on the job site at all times. Disinfection of the water distribution shall be performed in accordance with AWWA 651 “Disinfecting Water Mains” and the “2011 OCU Standards and Construction Manual”.”
 17. Sheet C-001 Standard Sewer and Water Notes – correct numbering under this section, some note numbers are repeated.
 18. Sheet C-100, change the lane line separating the drive-through from the circulating traffic to one single solid white line and add note referencing the lane line width and color.
 19. Sheet C-100, add the radius for the curbing on each side of the entrance/exit to Hansel Avenue verifying that the Fire Truck Turning Radius Plan, which is to be a 30-foot radius, is provided.
 20. Sheet C-100, add the call out for the Stop Sign and Right Turn Only Sign at the drive lane connection to Hoffner Avenue.
 21. Sheet C-300, eliminate the bend in the proposed gravity sanitary sewer to provide for a straight connection between the grease trap and the lift station.
 22. Sheet C-300, add notes to this plan sheet as well as the detail sheet referencing the installation and inspection of the new 1-inch water service and backflow prevention device shall be provided by Orlando Utilities Commission (OUC) prior to placing the water line into service.

23. Sheet C-300, add a note on this sheet for the contractor to coordinate with Orange County for the connection to the off-site force main when the tap to the existing force main is made.
24. Photometric plan, revise the plan sheet to show the property line around the site.
25. Tree-Topographic, Boundary Survey, Revise the title block to be “Tree-Topographic, Boundary Survey instead of “Map of Boundary and Topographic Survey.”
26. Address the following related to Stormwater Management Analysis.
 - a) Informational comment only - Half the site drains to the east, to the FDOT ROW. An FDOT stormwater permit will be required.
 - b) Page 1 of 4 of the report - The Methodology section is for a wet pond. Based on the plans, the pond is designed as a dry pond. The water quality paragraph states the volume is based on 2.5 inches of runoff over the impervious area for a wet pond. Please revise the narrative and revise the calculation for a dry pond.
 - c) Page 3 of 4 – Water Quality –check the required water quality volume required (two locations on this page).
 - d) Page 2 of 4 of the report - Post Construction Conditions – narrative states the East Basin runoff for the 25 year, 24 hour storm is 3.01 cfs. The Rational Method Table on page 11 of the storm report (PDF page 11) shows 2.98 cfs. These two numbers should match. Please double check the calculation on page 11 and the reported numbers on page 3 of 4.
 - e) Page 2 of 4 – the Post Condition narrative references the wrong area for the East Basin. Per the Pervious/Impervious table, the area is 0.557 acres. These numbers should match.
 - f) Page 11 of the report – Rational Method – East Basin. The calculation for the cfs discharge for the post development calculates to 3.20 cfs. The table shows 2.98 cfs. Please verify the numbers in the table (significant digits?).
 - g) Page 14 of the report (PDF page 14) - Water Quality Treatment calculations – East Basin – the total impervious and pervious area totals 19,788 SF. The basin area is listed as 24,472 SF. That is a difference of 4,684 SF, which should be area for the brick pavers.
 - h) Stormwater calculations – page 14 of the PDF is the water quality treatment required table. Footnote 1 states water quality treatment will not be required for the west basin. Since this basin drains directly to the FDOT ROW, we expect FDOT will require permitting which may require treatment. This will be determined by FDOT.

Informational Notes to Applicant

1. Failure to meet the conditions of approval may delay Council’s consideration.
2. Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State or County agencies which may have jurisdiction.
3. A separate wall permit application, with detail drawings, will be required.
4. Lift Station Voltage. The plans do not show the voltage. This may be required by Orange County as part of their review.

5. A tree removal permit application in accordance with Section 130-5(b) will be required with the submittal of the building permit application. Tree removal shall be coordinated with the Civil demolition plans and landscape plans.
6. Signage on site requires a separate permit/application.

END

RECEIVED
By Brett Solizzo at 9:05 am, Jan 28, 2022

MECATOS BAKERY & CAFE

5645 HANSEL AVE
EDGEWOOD, FL 32809

CONSTRUCTION DOCUMENTS

SITE DATA TABLE UPDATED
PER COMMENTS

PROJECT
SITE



LOCATION MAP
N.T.S

INDEX OF SHEETS

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-002 EXISTING CONDITIONS
- C-003 DEMOLITION AND EROSION CONTROL PLAN
- C-100 SITE AND GEOMETRY PLAN
- C-101 SITE COORDINATION WITH FDOT (HANSEL)
- C-200 GRADING AND DRAINAGE PLAN
- C-300 UTILITY PLAN
- C-400 DETAILS
- C-401 DETAILS
- C-402 LIFT STATION DETAIL
- L-101 LANDSCAPE SITE PLAN
- LI-101 IRRIGATION SITE PLAN
- L-501 LANDSCAPE DETAILS AND SPECIFICATIONS
- LI-501 IRRIGATION DETAILS AND SPECIFICATIONS

PREPARED BY

CIVIL ENGINEER
HARRIS CIVIL ENGINEERS, LLC.
1200 HILLCREST STREET, SUITE 200
ORLANDO, FL 32803
OFFICE: 407.629.4777

LANDSCAPE ARCHITECT
DALE & COMPANY
651 N. MILLS AVENUE
ORLANDO, FL 32803
OFFICE: 407.894.1317

ENGINEER OF RECORD: DAVID TAYLOR, P.E.
LICENSE NUMBER: 60928

HCE PROJECT NUMBER: 7391000
DATE: OCTOBER 25, 2021
REVISION 1: DECEMBER 20, 2021
REVISION 2: JANUARY 27, 2022

SITE DATA TABLE:		
PARCEL ACREAGE:	0.917 ACRES	
PARCEL:	24-23-29-3400-00-014	
PROPOSED USES:	FAST FOOD WITH DRIVE THRU	
ZONING:	EDGEWOOD CENTRAL DISTRICT (ECD)	
TRIP GENERATION:	FAST-FOOD RESTAURANT WITH DRIVE-THROUGH = 1315 TRIPS	FAST-FOOD RESTAURANT WITHOUT DRIVE-THROUGH = 1271 TRIPS
PROPOSED BUILDING AREA:	2,412.5 SF	
PROPOSED EXTERNAL SEATING:	930 SF	
ALLOWABLE BUILDING EXPANSION:	MAX 1,000 SF	PROPOSED 969.5 SF
PARKING:	MINIMUM REQUIRED: PER CITY CODE : 1 SPACE PER 100 SF GFA + 1 SPACE PER 200 SF EXTERNAL SEATING (INCLUSIVE OF HANDICAP ACCESSIBLE)	29 REGULAR 29 TOTAL SPACES REQUIRED
	PROVIDED:	27 REGULAR 2 COMPACT 2 HANDICAP ACCESSIBLE 31 TOTAL SPACES PROVIDED
BUILDING SETBACKS:	ECD REQUIRED	PROPOSED
BUILD-TO-LINE (W):	25' (BUILD LINE)	62'* (BLDG)
*NOTE: 62' FRONT SETBACK IS ALLOWED PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDING		
BUILDING SETBACKS:	REAR (R): 20' (BLDG) MIN. SIDE (N): 0' (BLDG) MIN. SIDE (S): 25' (BLDG) TO BUILD LINE	PROPOSED 126' (BLDG) 62' (BLDG) 65' (BLDG)
LOT WIDTH:	MIN. 100' 100'	ACTUAL 146' AT HANSEL 241 AT HOFFNER
BUILDING TO LOT WIDTH RATIO:	MIN(50%) 120.5'	PROPOSED 50.4*
*NOTE: PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDINGS, THE MINIMUM LOT TO BUILDING RATIO IS NOT REQUIRED SINCE BUILDING EXPANDS TOWARD SR		
FLOOR AREA RATIO:	ALLOWABLE 1.0 FAR	PROPOSED 0.0604 FAR
AREA CALCULATIONS		
	PRE-DEVELOPMENT	POST DEVELOPMENT
TOTAL	39,938 (SF)	39,938 (SF)
TOTAL IMPERVIOUS	22,496 (SF)	21,861 (SF)
BUILDING	1,443 (SF)	2,412.5 (SF)
PAVEMENT	21,053 (SF)	19,448.5 (SF)
TOTAL PERVIOUS (SF)	17,442 (SF)	18,077 (SF)
OPEN SPACE (SF)	17,442 (SF)	13,022 (SF)
PAVERS (SF)	0 (SF)	5,055 (SF)*
*NOTE: PAVERS SURFACE AREA CALCULATED AT 100%, BUT STORMWATER VOLUME FOR ATTENUATION AT 25%.		

HARRIS
Harris Civil Engineers, LLC
1200 Hillcrest Street
Suite 200
Orlando, Florida 32803
Phone: (407) 629-4777
Fax: (407) 629-7988
www.harriscivilengineers.com
EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
C/O NELSON LERMA, JR
1070 CAMPBELL ST
Orlando, Florida
32806

Rev.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

COVER SHEET

Design: DWT
Drawn: AJT
Checked: DWT

Scale: N.T.S.
Date: 2022-01-25
Project No: 7391000

David W. Taylor, PE
P.E. # 46928

Release:

C-000

CALL TWO BUSINESS DAYS BEFORE YOU DIG IT IS THE LAW. DIAL 811

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNS, BARRIERS, LABOR, EQUIPMENT, ETC., TO MAINTAIN A SAFE AND ADEQUATE FLOW OF PESTICIDES AND VEHICULAR TRAFFIC IN ROADWAYS AND WALKWAYS AND INTO AND OUT OF SITE AND BUILDINGS FOR THE DURATION OF THE CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS DURING CONSTRUCTION.
- SURVEY DATA BASED ON NAVD83 DATUM.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK MATERIALS INCLUDING BUT NOT LIMITED TO: CONCRETE, METALS, AND WOODS. CONTRACTOR SHALL ACCEPT PREMISES AS FOUND, OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
- UNLESS OTHERWISE NOTED, CONTRACTOR TO CLEAR AND GRUB WORK AREAS OF ALL VEGETATION, CONCRETE SLABS AND FOUNDATIONS, PAVEMENT, FENCES, LIGHT POLES, UTILITIES, ETC. AS INDICATED ON THE PLANS OR BY THE PROJECT MANAGER AND PROPERLY DISPOSED OF OFF SITE.
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. THE CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL REPORT TO THE ENGINEER ANY ERROR, INCONSISTENCIES, OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. THE MEANS OF CORRECTING ANY ERRORS SHALL FIRST BE APPROVED BY THE ENGINEER AND PROJECT MANAGER.
- CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FININGS AS SET FORTH IN THE GEOLOGICAL REPORT, THE PROJECT MANAGER AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS OR FOR THE FINAL RECOMMENDATIONS. CONTRACT THE PROJECT MANAGER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING CONDITIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND ENGINEER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL ENSURE THAT PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING WORK.
- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS WILL BE DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
- ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE PROJECT SPECIFICATIONS AND GENERAL CONDITIONS ARE TO BE FOLLOWED IN ADDITION TO THESE PLANS.
- SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN BASIS FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSIDERED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE KNOWLEDGEABLE OF AND STRICTLY ADHERE TO ALL OSHA STANDARDS.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AT PROPOSED CROSSINGS AND POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY UTILITY CONDITIONS OR DISCREPANCIES. ALL LOCATION DATA TO BE INCLUDED ON THE AS-BUILT DRAWINGS. REFER TO AS-BUILT REQUIREMENTS THIS SHEET AS WELL AS SPECIFICATIONS FOR AS-BUILT REQUIREMENTS.

DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE THEIR ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA AND THE PROJECT MANAGER. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES AND THE PROJECT MANAGER ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED, STUMPS AND ROOTS, EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- MINIMUM DEPTH FOR REMOVAL OF OBJECTS SHALL BE THREE (3) FEET BELOW SUB-GRADE IN ROADWAY AND SIDEWALK AREAS AND FOUR (4) FEET BELOW FINISHED GRADE ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, OR AT PROPOSED POOL LOCATIONS ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
- ALL BUILDING REMOVAL AND DEMOLITION SHALL BE PERFORMED AS SHOWN OR AS DIRECTED BY THE ENGINEER AND/OR THE PROJECT MANAGER.
- RELOCATION OR REMOVAL OF OVERHEAD OR UNDERGROUND UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY AND THE PROJECT MANAGER.
- SEE LANDSCAPE DEMOLITION PLAN FOR ADDITIONAL REQUIREMENTS FOR PLANT MATERIALS AND IRRIGATION LINES.
- CONTRACTOR TO COORDINATE EFFORTS AND THING SO THAT EXISTING UTILITIES REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED UTILITIES HAVE BEEN INSTALLED, AS-BUILT PROVIDED AND ACCEPTED BY ENGINEER.

GEOMETRY NOTES

- ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY THE OWNER, HARRIS CIVIL ENGINEERS, LLC, AND THE PROJECT MANAGER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS DATA.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- ALL PAVEMENT OFFSETS, RADI AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL STATE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STATE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.
- THE CONTRACTOR SHALL MAINTAIN A SET OF IN PROGRESS "AS-BUILT" PLANS ON-SITE AND SUBMIT THESE PLANS ALONG WITH THE CERTIFIED AS-BUILT PLANS TO THE ENGINEER OF RECORD UPON COMPLETION.

EROSION PROTECTION NOTES

- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERMITSER DETERMINE AGAINST ANY TRANSPORTATION OF SOILS OFF THE SITE. THE CONTRACTOR SHALL ACCEPT AND WILL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL FACILITIES.
- SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND IN GOOD CONDITION AT ALL LOCATIONS SHOWN ON THE PLANS AND AS REQUIRED UNTIL THE CONTRACT IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SET FORTH IN THESE PLANS ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS, ORANGE COUNTY AND S.J.R.W.M.D. REQUIREMENTS.
- LIMITS OF ALL EROSION PREVENTION MUST BE STATED BY CONTRACTOR AND THE LOCATION **INSPECTED AND APPROVED** BY THE PROJECT MANAGER PRIOR TO PLACE OF EROSION CONTROL MEASURES AND ANY CLEARING OR CONSTRUCTION ACTIVITIES. THE CITY NEEDS TO INSPECT EROSION PROTECTION MEASURES PRIOR TO ANY SITE WORK TAKING PLACE. ISOMAL OF THESE SAME EROSION CONTROLS AND PREVENTION MEASURES MAY BE DONE ONLY AFTER AUTHORIZATION BY THE PROJECT MANAGER IS OBTAINED.
- MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PROJECTER AREAS, WETLANDS, PROTECTED AREAS OR IN WOODWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES OR PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY AND AT NO COST TO THE OWNER.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING OR PRIVATE ROADS, BENCH AREAS, AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. OBJECTION FROM THIS WILL CAUSE PROJECT MANAGER NOTIFICATION, AND ALL WORK TO STOP UNTIL CORRECTED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT PROTECTION MEASURES ARE IN PLACE AND ESTABLISHED. TEMPORARY EROSION CONTROL MAY CONSIST OF, BUT NOT BE LIMITED TO, MULCH, SAND BAGS, PILING, SLOPE DRAINS, SETTLEMENT BASINS, ARTIFICIAL COVERINGS, BERMS, AND SOD CONTROL.
- ALL REVEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH MATERIALS AND PROCEDURES AS SPECIFIED BY THE MISSISSIPPI ACADEMY OF SOILS. SOIL STABILIZATION AND EROSION PREVENTION STABILIZATION IS TO BE MAINTAINED UNTIL FINAL ACCEPTANCE. REFER TO LANDSCAPE PLANS FOR FINAL VEGETATED SITE CONDITIONS.
- THE CONTRACTOR SHALL PREPARE A SCHEDULE OF Dewatering for utility items. THIS WILL CONSIST OF ESTIMATES OF VOLUMES OF DISCHARGE FLOWS, DATES AND DURATIONS FOR ALL UTILITY ITEMS WHICH WILL REQUIRE Dewatering. THIS WILL INCLUDE ALL UTILITIES. THIS SCHEDULE SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL OF THE Dewatering OPERATIONS.
- DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY MULCHING OR STABILIZATION FOR AREAS THAT HAVE BEEN CLEARED AND NOT RECOVERED WITHIN SEVEN (7) CALENDAR DAYS DURING THE WET SEASON AND FOURTEEN (14) CALENDAR DAYS DURING THE DRY SEASON. IN ADDITION, ALL SIDE SLOPES SHALL BE MULCHED OR STABILIZED WITH SEVEN (7) DAYS DURING THE WET SEASON AND FOURTEEN (14) DAYS DURING THE DRY SEASON.
- ALL SURFACE WATER DISCHARGE FROM THE SITE, INCLUDING Dewatering DISCHARGE SHALL MEET WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATER BODIES INCLUDING WETLANDS, LAKES AND STORM WATER PONDS. CONTRACTOR SHALL TAKE WATER SAMPLES PRIOR TO START OF CONSTRUCTION WHICH SHALL BE USED AS BASE LINE WATER QUALITY. ALL Dewatering PLANS AND TESTS MUST BE SUBMITTED TO AND APPROVED BY THE PROJECT MANAGER PRIOR TO INSTALLATION AND OPERATION.
- IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. ALL ALTERNATIVE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE PROJECT MANAGER PRIOR TO PLACEMENT.
- IN CONNECTION WITH STARTING AND PLACEMENT OF EROSION CONTROL MEASURES THE CONTRACTOR SHALL STATE THE LIMITS OF CLEARING AS INDICATED ON THE PLANS OR AS REQUIRED BY CONSTRUCTION. THE LIMITS OF CLEARING MUST BE **INSPECTED AND APPROVED** BY THE PROJECT MANAGER PRIOR TO ANY CLEARING AND REMOVAL. THE CONTRACTOR WILL FOR REVEGETATION OF ANY AND ALL AREAS THAT ARE CLEARED PRIOR TO THE PROJECT MANAGER'S APPROVAL OR AREAS THAT ARE CLEARED BEFORE THE LIMITS APPROVED BY THE PROJECT MANAGER.
- ALL DRAINAGE STRUCTURES, INLETS, ETC. MUST HAVE EROSION CONTROL MEASURES IN PLACE AND MAINTAINED UNTIL COMPLETION OF THE PROJECT.
- SILT FENCE LOCATIONS SHOWN ON THE PLANS ARE A REPRESENTATION, AS A MINIMUM TO WHERE SILT FENCING IS REQUIRED. THE EXACT LOCATION TO BE DETERMINED AS PART OF NOTE E ABOVE.

DRAINAGE NOTES

- ALL CONSTRUCTION SHALL CONFORM TO, AND SHALL BE INSTALLED AND LABELED FOR SERVICE IN ACCORDANCE WITH THE CITY OF EDGEWOOD AND SURVED STANDARDS, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, OR ON THE PLANS.
- ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, PLANS AND RECOMMENDATIONS OF THE GEOLOGICAL ENGINEER (AS APPLICABLE).
- WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH:
 - CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.850 WHICH IS INCORPORATED BY REFERENCE INTO THE SPECIFICATIONS, OR ON THE PLANS.
 - THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
 - TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR.
- ALL DRAINAGE PIPING OTHER THAN LANDSCAPE SOCK DRAIN PIPING SHALL HAVE A MINIMUM OF TWENTY-FOUR (24) INCHES OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL DRAINAGE AND LANDSCAPE SOCK DRAIN PIPING SHALL BE ADS M12 PIPE OR APPROVED EQUAL. PIPES 10-INCH DIAMETER AND SMALLER SHALL BE PVC SDR 26, PER ASTM D3212 AND ASTM F477. CONCRETE STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS III, ASTM C-76.
- DRAINAGE STRUCTURE RIM ELEVATIONS REFER TO TOP OF GRATE, OR EDGE OF PAVEMENT FOR CURB INLETS.
- CONTRACTOR TO PLACE RIM ELEVATIONS TO BE WITHIN 0.01' OF THE PROPOSED PAVEMENT GRADE.

PAVING AND GRADING NOTES

- CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS WITH THE PROJECT SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS OR IN THE GEOLOGICAL ENGINEERING REPORT.
- THE CONTRACTOR SHALL STATE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STATE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF ANY APPARENT DISCREPANCIES ARE FOUND.
- ALL AREAS WHICH ARE DISTURBED DURING CONSTRUCTION UNLESS OTHER WERE NOTED SHALL BE VEGETATED PER THE LANDSCAPE ARCHITECTS PLANS. ALL SLOPES STEEPER THAN 5:1 SHALL BE SOODED. ALL OTHER DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED UNLESS OTHERWISE NOTED. THESE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A SATISFACTORY STAND OF GRASS IS ESTABLISHED OR PERMANENT LANDSCAPE MATERIALS HAVE BEEN INSTALLED.
- ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM T-180), UNLESS OTHERWISE NOTED ON THE PLANS, IN THE SPECIFICATIONS OR THE GEOLOGICAL REPORT.
- RESERVED.
- TWO (2) WORKING DAYS NOTICE WILL BE GIVEN TO THE PROJECT MANAGER PRIOR TO TESTING ANY PAVEMENT SOON ON THESE PLANS.
- CONTRACTOR SHALL REFER TO THE CIVIL DRAWINGS FOR SITE DRAINS AND PAVEMENT SLOPES. SLOPE THE PAVEMENT AS INDICATED ON THE GRADING PLAN OR IF NOT SHOWN, SLOPE THE ENTIRE PAVED SURFACE WITHIN AN AREA TO THE STORM DRAINAGE STRUCTURE WHILE OBTAINING CROSS SLOPE AND MAXIMUM SLOPE WITH THE AMERICAN SLOPE GRADATION ACT. PONDING WATER DUE TO IMPROPER SLOPES AND/OR DRAIN INLETS HIGHER OR LOWER THAN THE SURROUNDING PAVEMENT SURFACE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO ENSURE THERE ARE NO FIELD DISCREPANCIES FOUND WHEN MATCHING EXISTING PAVEMENT ELEVATIONS TO THOSE SHATED ON THE PLANS. CONTRACTOR TO INFORM THE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

STANDARD SEWER AND WATER NOTES

- THE CONTRACTOR MUST VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. DISCREPANCIES DISCOVERED DURING CONSTRUCTION SHALL BE REPORTED IMMEDIATELY TO THE PROJECT MANAGERS/ENGINEER'S ATTENTION.
- ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- A MINIMUM OF THREE (3) FEET OF COVER SHALL BE MAINTAINED OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER PIPING, UNLESS SHOWN OTHERWISE ON THE PLANS.
- WHERE POTABLE WATER AND SANITARY UTILITIES (SANITARY SEWER, FORCE MAIN, REUSE WATER) CROSS WITH THE AMERICAN SLOPE GRADATION ACT, PONDING WATER DUE TO IMPROPER SLOPES AND/OR DRAIN INLETS HIGHER OR LOWER THAN THE SURROUNDING PAVEMENT SURFACE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL SANITARY SEWER MATERIALS AND APPURTENANCES CONNECTING TO THE ORANGE COUNTY PUBLIC UTILITY SYSTEM (OCU) SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION* FOR ORANGE COUNTY AND THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- ALL WATER MAIN MATERIALS AND APPURTENANCE CONNECTING TO THE ORLANDO UTILITY COMMISSION (OUC) SYSTEM SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTE WATER AND WATER MAIN CONSTRUCTION* FOR ORANGE COUNTY AND THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEM AND OTHER PRESSURIZED PIPING IN ACCORDANCE WITH THE ORLANDO UTILITY COMMISSION STANDARDS AND IN ACCORDANCE WITH ANNA STANDARD 0066 FOR DUCTILE IRON PIPE. TESTING SHALL BE IN ACCORDANCE WITH ANNA MANUAL M23 FOR PVC PIPE.
- PVC GRAVITY SEWER FOUR (4) INCH THROUGH (1.5) INCH SHALL BE SDR 26. JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. ALL PVC SEWER SHALL BEAR THE "NSF-60" SEAL.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- ALL WATER AND SEWER LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
- ALL POTABLE WATER MAINS MUST BEAR THE "NSF" LOGO.
- A TWO WORKING DAYS NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD, OUC INSPECTORS, OUC INSPECTORS, AND THE CITY OF EDGEWOOD INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS. ADDITIONAL RE-INSPECTIONS/DUE TO FAILED TESTING WILL BE PAID FOR BY THE CONTRACTOR.
- RESERVED.
- WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH:
 - CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.850.
 - THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
 - TRENCH SAFETY SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR.
- ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE CONSTRUCTED, INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH OUC SPECIFICATIONS, PROJECT SPECIFICATIONS AND CITY REGULATIONS.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO AN CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THIS PROJECT REQUIRES AN FDP SEWER CONSTRUCTION PERMIT. THE CONTRACTOR SHOULD REQUEST A COPY OF THIS PERMIT AND KEEP IT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOT PUT THE SYSTEM INTO SERVICE (EXCEPT FOR NECESSARY TESTING) UNTIL THE CONTRACTOR HAS PROVIDED CERTIFIED "AS-BUILT" PLANS TO THE ENGINEER OF RECORD, AND THE ENGINEER HAS OBTAINED A CLEARANCE LETTER FROM FDP. FROM THE TIME AS-BUILT DRAWINGS ARE APPROVED BY THE ENGINEER, THE ESTIMATED TIME FOR PROCESSING AND RECEIPT OF FDP CERTIFICATION IS 30 TO 45 DAYS.
- THIS PROJECT DOES NOT REQUIRE REQUIRES AN FDP DOMESTIC WATER CONSTRUCTION PERMIT. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO INSTALL AND TEST THE WATER SERVICES IN A MANNER THAT IS CONSISTENT WITH FDP AND ANNA STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOT PUT THE SYSTEM INTO SERVICE (EXCEPT FOR NECESSARY TESTING) UNTIL THE CONTRACTOR HAS PROVIDED CERTIFIED "AS-BUILT" PLANS TO THE ENGINEER OF RECORD AND CITY, AND THE ENGINEER OF

RECORD AND THE CITY HAVE CLEARED THE SYSTEM FOR USE.

- CONTRACTOR TO COORDINATE EFFORTS AND THING SO THAT EXISTING POTABLE WATER AND SANITARY SEWER LINE REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED POTABLE WATER AND SANITARY LINES HAVE BEEN INSTALLED AND AS-BUILT PROVIDED AND ACCEPTED BY ENGINEER AND CITY.
- ON-SITE WASTEWATER COLLECTION SHALL BE PRIVATELY OWNED AND MAINTAINED.
- ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED.
- ON-SITE MANHOLE COVER WILL NOT HAVE "ORANGE COUNTY" ON COVERS.

AS-BUILT SUBMITTAL

THE CONTRACTOR SHALL SUBMIT SIX SETS OF PLANS AND AN AUTOCAD FILE ON A CD OF THE AS-BUILT DRAWINGS PREPARED BY A REGISTERED SURVEYOR TO BE FOR REVIEW. THE AS-BUILT DRAWINGS SHALL CONTAIN THE FOLLOWING INFORMATION:

- WATER LINES
 - THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR TOP OF ALL THE PROPOSED WATER MAINS, LATERALS AND APPURTENANCES, I.E. TE-IN POINT, BENDS, TEES, VALVES & BOXES, FIRE HYDRANTS, METERS, BACKFLOW VALVES, STUES, ETC. NOTE ALL PIPE MATERIALS, SIZES AND ANY CONCRETE ENCASEMENT OR SLEEVES. AS-BUILT PLANS ARE TO INCLUDE THE NUMBER OF TEST POINTS AND LOCATIONS OF THE BACTERIOLOGICAL SAMPLE AS STIPULATED IN THE FDP PERMIT.
- SANITARY SEWER
 - THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLES, RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES. AS-BUILT DATA SHALL ALSO INCLUDE THE LOCATIONS OF CHANGE IN MATERIALS AND CONCRETE ENCASEMENT.
- STORM DRAINAGE
 - THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLES, INLETS, CATCH BASINS, RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES. AS-BUILT COORDINATES AND TOP OF PIPE ELEVATIONS FOR EACH LANDSCAPE SOCK DRAIN PIPES SHALL BE PROVIDED EVERY 25' ALONG THE PIPE.
- EXISTING UTILITIES
 - WHEN EXISTING UTILITIES ARE CROSSED OR ENCOUNTERED THE TYPE OF CROSSING SHALL BE NOTED ALONG WITH THE LOCATION, TYPE, SIZE, MATERIAL, AND ELEVATION. THE AS-BUILT DATA FOR ALL EXISTING UTILITIES ENCOUNTERED SHALL MEET THE WATER LINE, SANITARY SEWER AND STORM SEWER REQUIREMENTS NOTED ABOVE.

HARRIS CIVIL ENGINEERS, LLC (HCE) WILL REVIEW THE AS-BUILT DRAWINGS FOR COMPLIANCE WITH THE PLANS AND DOCUMENTATION PERMITS AND ISSUE COMMENTS TO THE CONTRACTOR.

UPON RECEIVING AND COMPLETION OF ANY COMMENTS AND CORRECTIVE WORK, HCE WILL ADVISE THE CONTRACTOR ON THE NUMBER OF SIGNED AND SEALED AS-BUILT DRAWINGS THAT ARE NEEDED FOR CERTIFICATION TO THE VARIOUS GOVERNMENTAL AGENCIES. ONCE SUBMITTED, CERTIFICATION AND ACCEPTANCE COULD TAKE FROM 30 TO 45 DAYS FOR EACH PERMIT.

UPDATED GENERAL NOTES PER CITY COMMENTS

HARRIS

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 ES 9/14

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 C/O NELSON LERMA, JR
 1073 CAMPBELL ST
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 32806

Revisions:

No.	Date	Description
1	11-21-23	REVISION PER CITY COMMENTS
2	12-04-23	REVISION PER CITY COMMENTS
3	12-04-23	REVISION PER CITY COMMENTS
4		
5		
6		
7		
8		
9		

Scale: NTS
 Date: 2023-10-26
 Project No.: 759000

Design: DWT
 Drawn: AJT
 Checked: DWT

Release:

RECEIVED
 By Brett Solazzo at 9:12 am, Jan 28, 2022

C-001

Section E, Item 3.

HARRIS

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 EIR 9814

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 By Brett Sollazzo at 9:13 am, Jan 28, 2022

DEMO + EROSION LEGEND

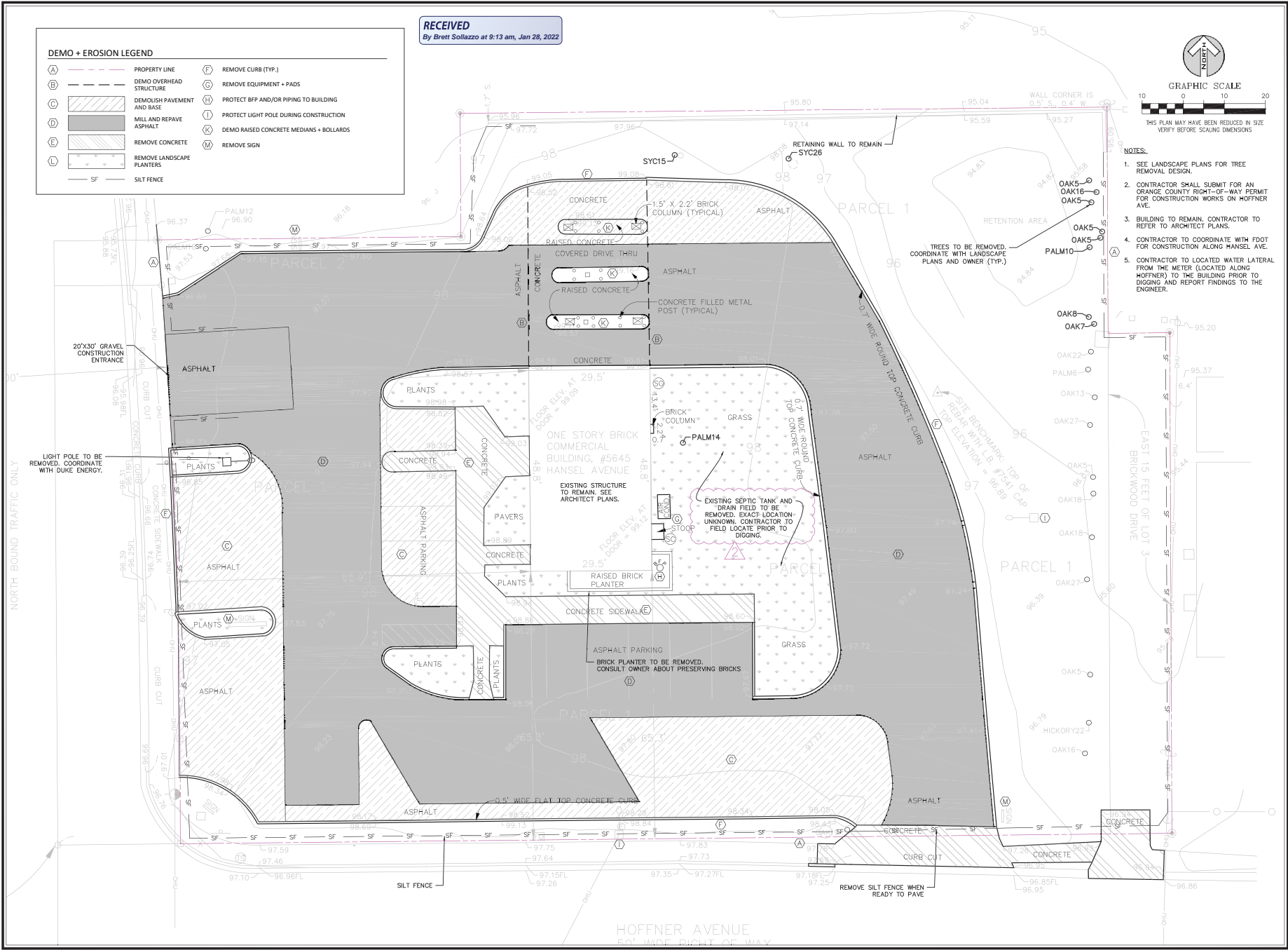
(A) ---	PROPERTY LINE	(F) ---	REMOVE CURB (TYP.)
(B) ---	DEMO OVERHEAD STRUCTURE	(G) ---	REMOVE EQUIPMENT + PADS
(C) ---	DEMOLISH PAVEMENT AND BASE	(H) ---	PROTECT BFP AND/OR PIPING TO BUILDING
(D) ---	MILL AND REPAVE ASPHALT	(I) ---	PROTECT LIGHT POLE DURING CONSTRUCTION
(E) ---	REMOVE CONCRETE	(K) ---	DEMO RAISED CONCRETE MEDIANS + BOLLARDS
(L) ---	REMOVE LANDSCAPE PLANTERS	(M) ---	REMOVE SIGN
---	SILT FENCE		



THIS PLAN MAY HAVE BEEN REDUCED IN SIZE
 VERIFY BEFORE SCALING DIMENSIONS

NOTES:

- SEE LANDSCAPE PLANS FOR TREE REMOVAL DESIGN.
- CONTRACTOR SHALL SUBMIT FOR AN ORANGE COUNTY RIGHT-OF-WAY PERMIT FOR CONSTRUCTION WORKS ON HOFFNER AVE.
- BUILDING TO REMAIN. CONTRACTOR TO REFER TO ARCHITECT PLANS.
- CONTRACTOR TO COORDINATE WITH FDOT FOR CONSTRUCTION ALONG HANSEL AVE.
- CONTRACTOR TO LOCATED WATER LATERAL FROM THE METER (LOCATED ALONG HOFFNER) TO THE BUILDING PRIOR TO DIGGING AND REPORT FINDINGS TO THE ENGINEER.



5645 HANSEL AVE, EDGEWOOD, FL
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Revisions:

No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		

DEMOLITION AND EROSION CONTROL PLAN

Scale: SEE SHEET
 Date: 02/10/25
 Project No: 7891000

Design: DWI
 Drawn: AJT
 Checked: DWT

David W. Taylor, PE
 EIR 8-40293

Release:

C-003

Section E, Item 3.

RECEIVED
By Brett Solazzo at 9:13 am, Jan 28, 2022

HARRIS

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GRAPHIC SCALE
0 10 20
THIS PLAN MAY HAVE BEEN REDUCED IN SIZE
VERIFY BEFORE SCALING DIMENSIONS

SITE LEGEND

- PROPERTY LINE
- BUILDING (BY OTHERS)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- PERVIOUS PAVERS (SEE DETAIL 5, SHEET C-400)
- CONCRETE PAVEMENT (SEE DETAIL 7, SHEET C-400)
- STAMPED ASPHALT WALKWAY SEE NOTE 5
- MASONRY WALL
- DIMENSION
- PARKING STALL COUNT
- ADA PARKING (SEE DETAIL 15, SHEET C-400)
- ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
- TYPE 'D' CURB (SEE DETAIL 8, SHEET C-400)
- RIBBON CURB, 5" TRANSITION TYP. (SEE DETAIL 9 SHEET C-400)
- 36" HIGH WALL DESIGNED BY ARCHITECT/STRUCTURAL ENGINEER

- NOTES:**
1. ALL SIDEWALK CURB RAMPS SHALL BE INSTALLED PER F.D.O.T. INDEX S22 (CURRENT EDITION).
 2. ALL PARKING AND ROADWAY STRIPING PER F.D.O.T. INDEX 711.
 3. WHITE DIRECTIONAL ARROWS REFER TO F.D.O.T. INDEX 711.
 4. WHITE STOP BAR MARKING W/STOP SIGN REFER TO F.D.O.T. INDEX 711.
 5. STAMPED ASPHALT WALKWAY TO BE PATTERN AND COLOR CONSISTENT WITH PERVIOUS PAVERS.

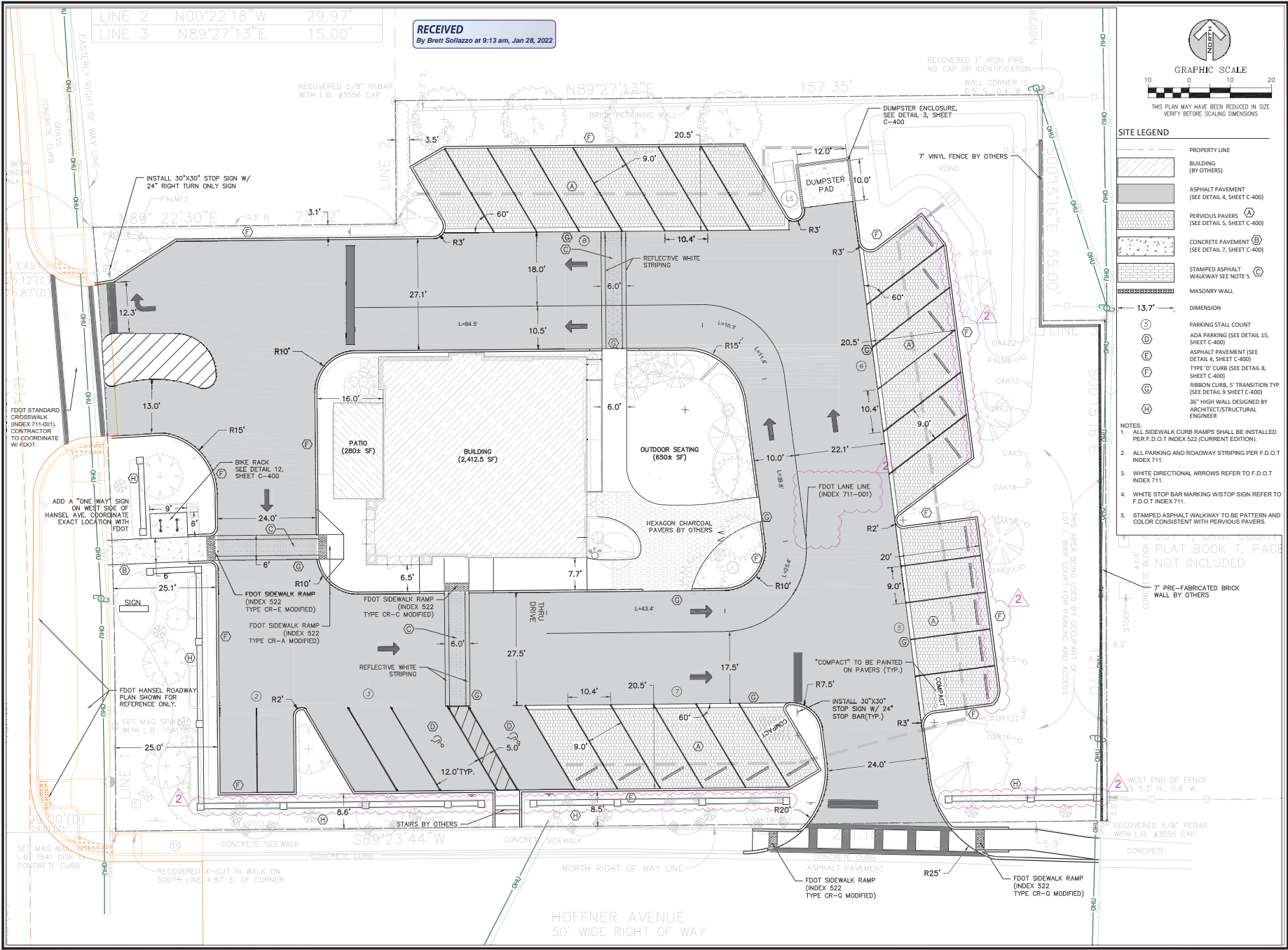
5645 HANSEL AVE, EDGEWOOD, FL
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32806

Revisions:

No.	Date	Description
1		
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SITE AND GEOMETRY PLAN
Scale: SEE SHEET
Date: 2021-10-25
Project No: 7891000

Design: DWT
Drawn: CT
Check/ect: DWT



Release:

C-100

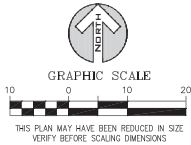
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NOTES:

1. FDOT PRELIMINARY LAYOUT SHOWN FOR REFERENCE. SITE CONTRACTOR TO COORDINATE CONSTRUCTION WITH FDOT PLANS AND CONTRACTOR.
2. CONTRACTOR TO VERIFY/COORDINATE WITH FDOT PLANS FOR POSSIBLE CONNECTION TO FDOT LAYOUT FOR NEW CURB AND SIDEWALK LOCATION.

LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'

CONSTRUCTION LIMITS SHOWN ON C-100



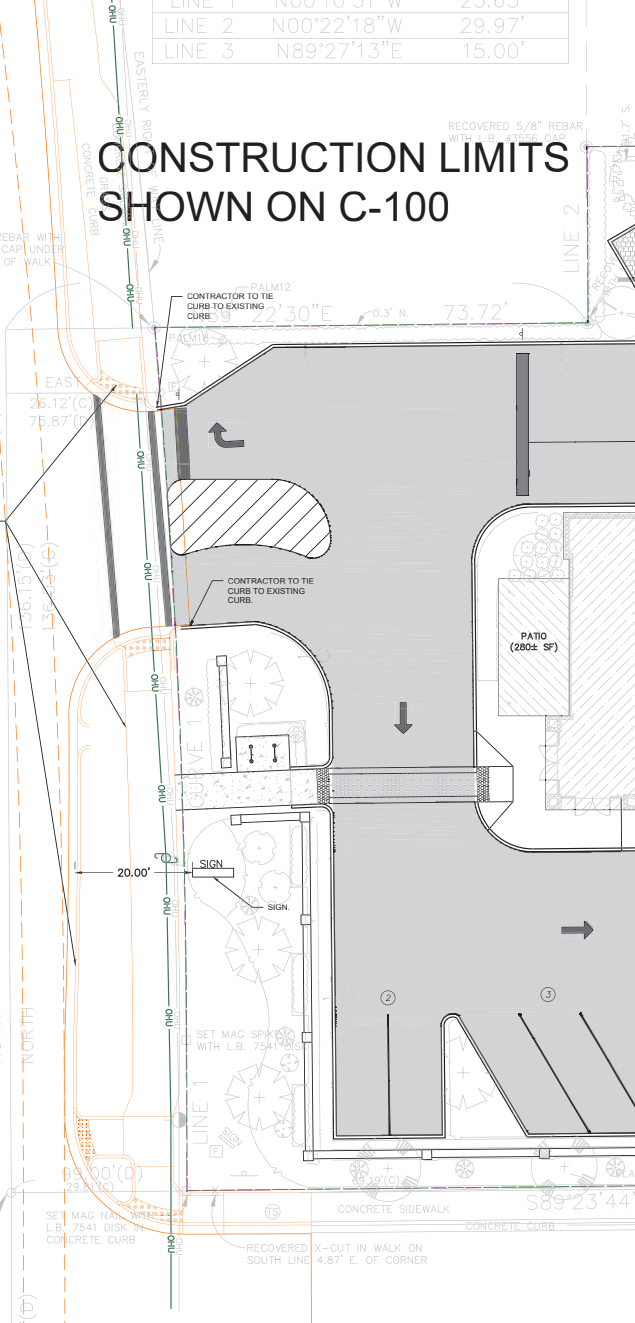
L = 838.05'
CHORD = N17°17'29"W 825.64'

STATE ROAD NO. 527, HANSEL AVENUE
60' WIDE RIGHT OF WAY
NORTH BOUND TRAFFIC ONLY

- RECOVERED MAG NAIL WITH L.B. #6030 DISK
- RECOVERED 1" IRON PIPE NO CAP OR IDENTIFICATION
- RECOVERED MAG NAIL WITH L.B. #6030 DISK

POINT OF BEGINNING
SOUTHWEST CORNER OF LOT 1, THE

FDOT HANSEL ROADWAY PLAN SHOWN FOR REFERENCE ONLY.



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C/O NELSON LERMA, JR
1073 CAMPBELL ST
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32806

Revisions:

No.	Date	Description
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SITE COORDINATION WITH FDOT (HANSEL)

Scale: SEE SHEET
Date: 2021-10-25
Project No: 738000

Design: DWT
Drawn: AJT
Checked: DWT

David W. Taylor, PE
FL No. 44292

Release:

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By Brett Sollazzo at 9:13 am, Jan 28, 2022

C-101

Section E, Item 3.

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No.	Date	Description
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GRADING AND DRAINAGE PLAN

Scale: SEE SHEET
Date: 2024-09-25
Project: No. 7390000

Design: DWT
Drawn: AJT
Checked: DWT

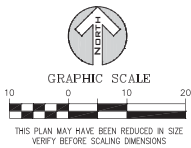
Released:

C-200

GRADING NOTES.

- DATUM NOTE: ELEVATIONS INDICATED BY THESE PLANS ARE BASED ON NAVD 88.
- ELEVATIONS SHOWN ARE TO THE EDGE OF PAVEMENT (UNLESS OTHERWISE NOTED).

REVISED GRADING PER CITY COMMENTS. REVIEW ENTIRE SHEET.



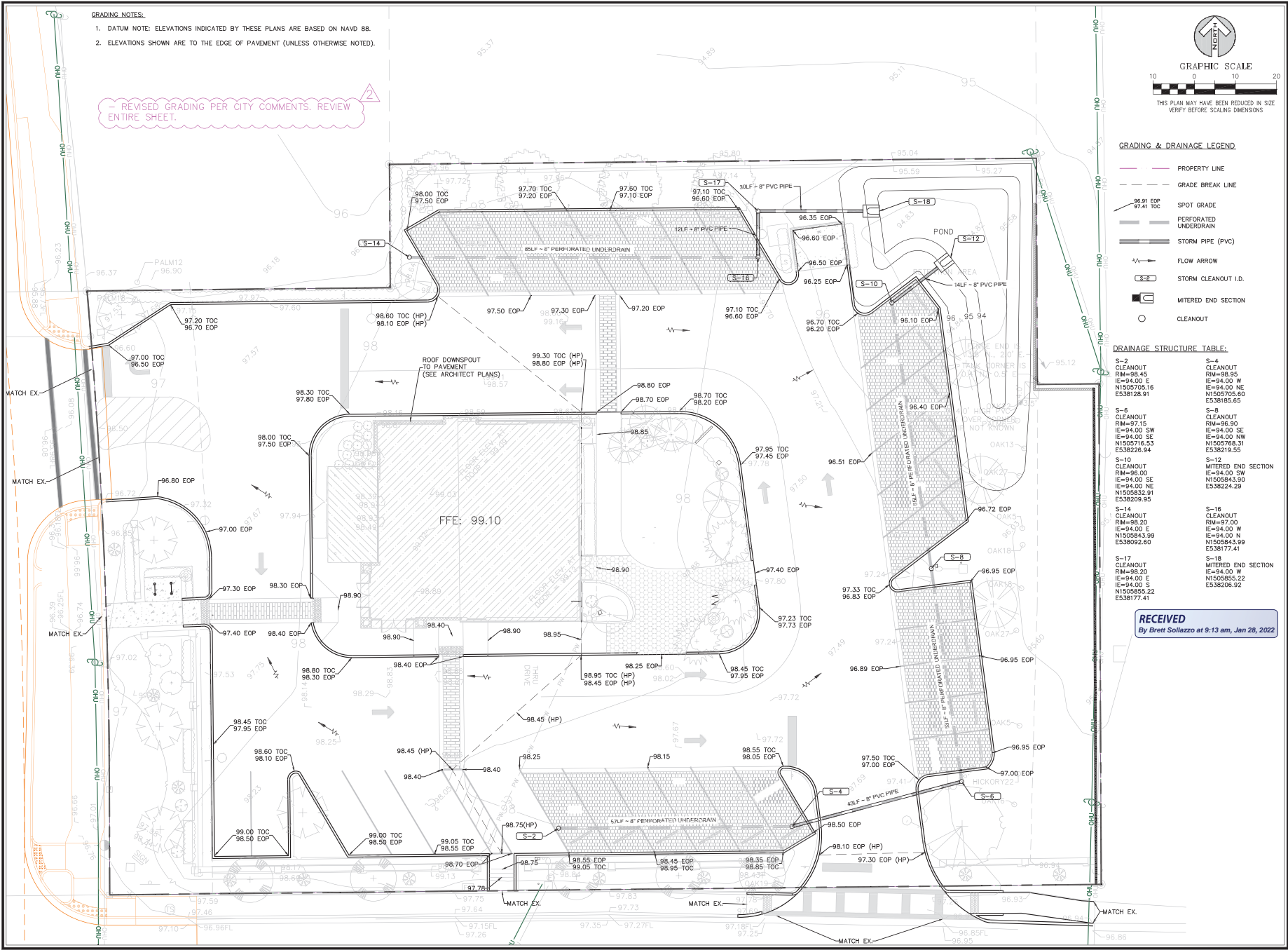
GRADING & DRAINAGE LEGEND

- PROPERTY LINE
- - - GRADE BREAK LINE
- SPOT GRADE
- PERFORATED UNDERDRAIN
- STORM PIPE (PVC)
- FLOW ARROW
- STORM CLEANOUT I.D.
- MITERED END SECTION
- CLEANOUT

DRAINAGE STRUCTURE TABLE:

S-2 CLEANOUT RM=98.45 IE=94.00 SW N1505705.16 E538128.91	S-4 CLEANOUT RM=98.95 IE=94.00 W N1505705.60 E538185.65
S-6 CLEANOUT RM=97.15 IE=94.00 SW N1505716.53 E538226.94	S-8 CLEANOUT RM=96.90 IE=94.00 SE N1505768.31 E538219.55
S-10 CLEANOUT RM=96.00 IE=94.00 SE N1505843.99 E538209.95	S-12 MITERED END SECTION IE=94.00 SW N1505843.90 E538224.29
S-14 CLEANOUT RM=98.20 IE=94.00 E N1505843.99 E538092.60	S-16 CLEANOUT RM=97.00 IE=94.00 W N1505855.22 E538208.92
S-17 CLEANOUT RM=98.20 IE=94.00 E N1505843.99 E538177.41	S-18 MITERED END SECTION IE=94.00 W N1505855.22 E538208.92

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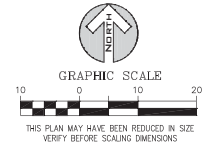
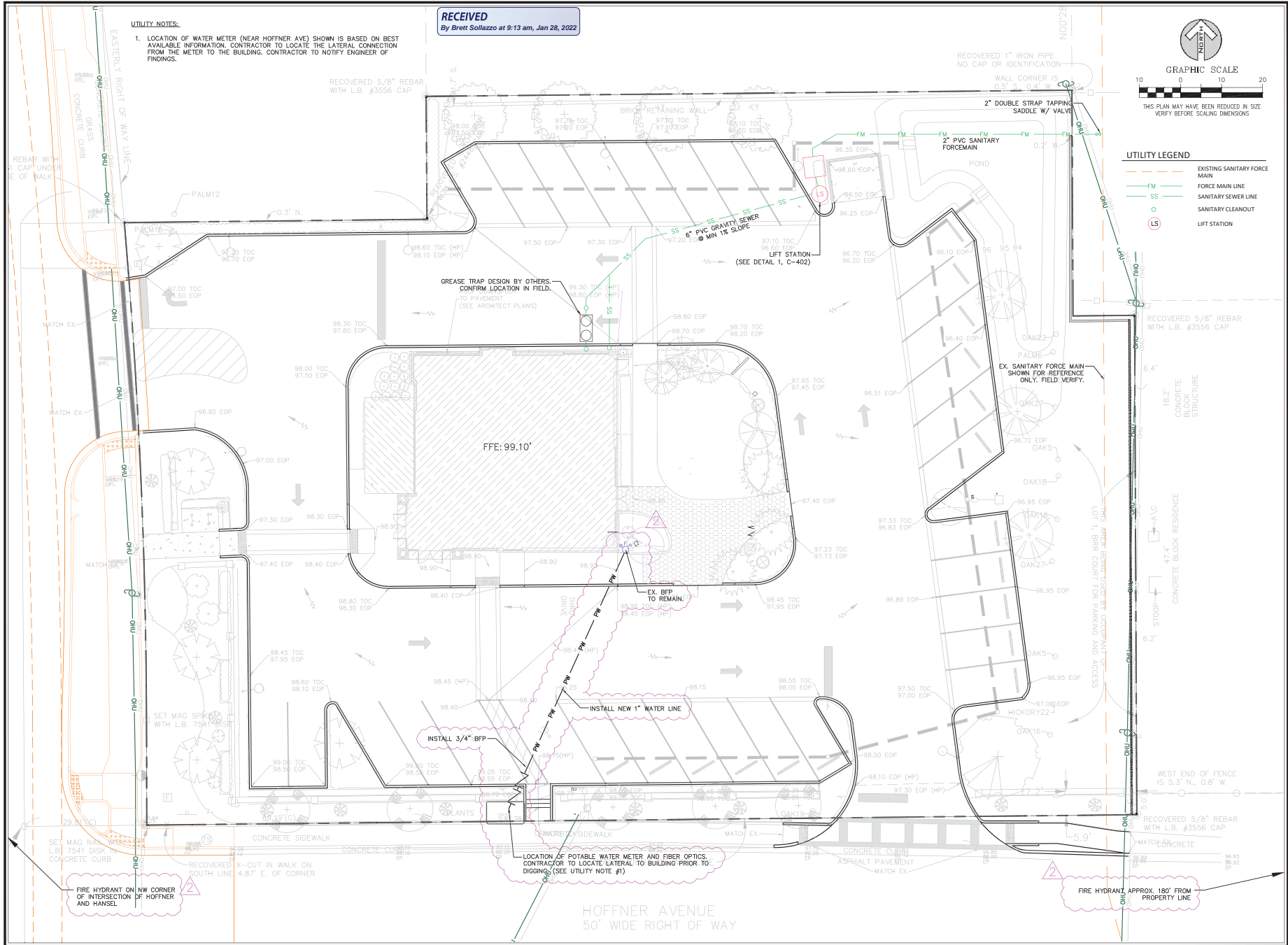


Section E, Item 3.

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UTILITY NOTES.

1. LOCATION OF WATER METER (NEAR HOFFNER AVE) SHOWN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR TO LOCATE THE LATERAL CONNECTION FROM THE METER TO THE BUILDING. CONTRACTOR TO NOTIFY ENGINEER OF FINDINGS.



- UTILITY LEGEND**
- FM EXISTING SANITARY FORCE MAIN
 - FM FORCE MAIN LINE
 - SS SANITARY SEWER LINE
 - SANITARY CLEANOUT
 - LS LIFT STATION

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Revisions:

No.	Date	Description
1		
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UTILITY PLAN

Scale: SEE SHEET
Date: 2021-10-25
Project No: 7281000

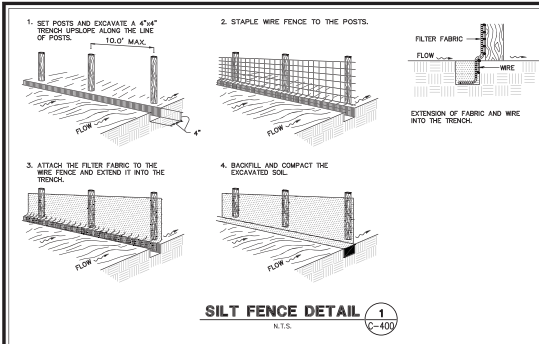
Design: DWT
Drawn: AJT
Checked: DWT

Drawn: W. Taylor, PE
EIR: 8-629256

Release:

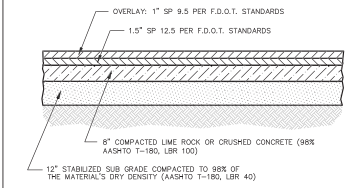
C-300

Section E, Item 3.

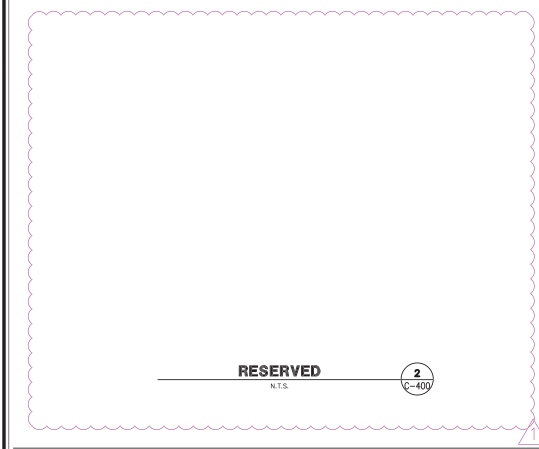


SILT FENCE DETAIL 1
N.T.S. C-400

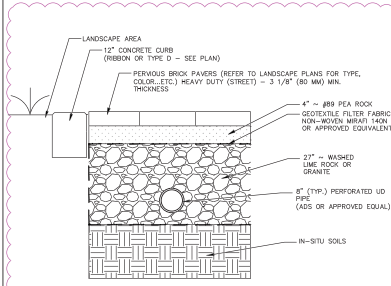
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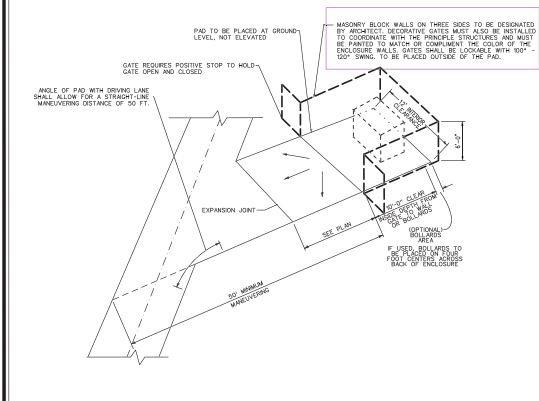
TYPICAL ASPHALT PAVEMENT DETAIL 4
N.T.S. C-400



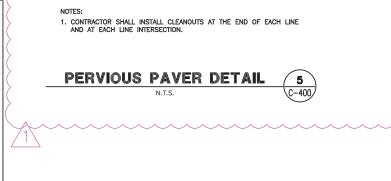
RESERVED 2
N.T.S. C-400



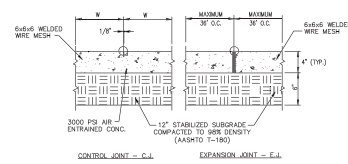
PERVIOUS PAVER DETAIL 5
N.T.S. C-400



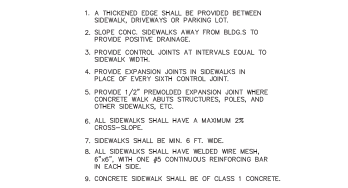
DUMPSTER ENCLOSURE DETAIL 3
N.T.S. C-400



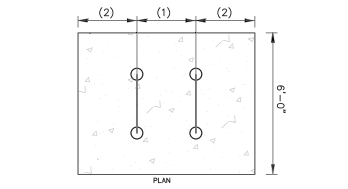
TYPICAL SIGN DETAIL 6
N.T.S. C-400



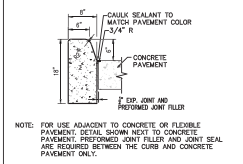
SIDEWALK DETAIL 7
N.T.S. C-400



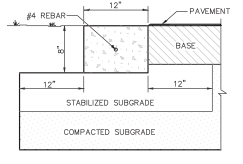
WHEELSTOP DETAIL 10
N.T.S. C-400



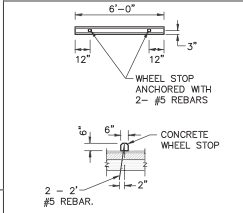
BIKE RACK DETAIL 14
N.T.S. C-400



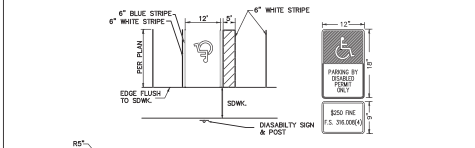
TYPE D CURB 8
N.T.S. C-400



RIBBON CURB DETAIL 9
N.T.S. C-400



PARKING STALL STRIPING DETAIL 11
N.T.S. C-400



ACCESSIBLE PARKING DETAIL 12
N.T.S. C-400



RESERVED 13
N.T.S. C-400

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Revisions:

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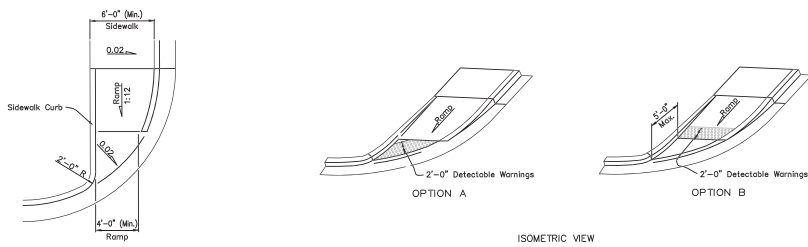
DETAILS

Scale: N.T.S.
Date: 02/27/22
Project No: 2301000

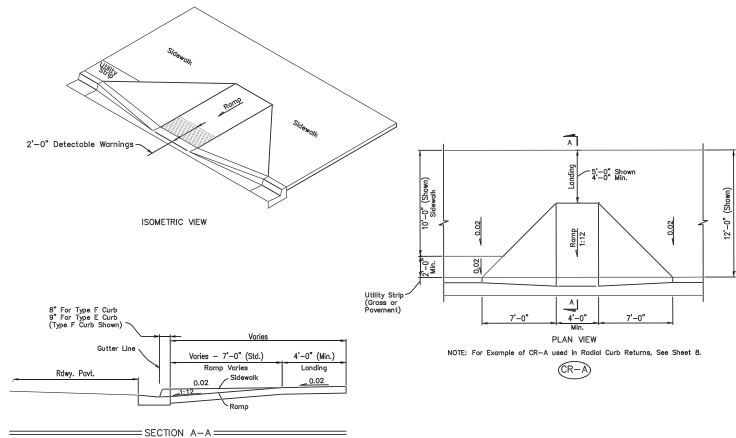
Design: DWT
Drawn: CT
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FLS 842026

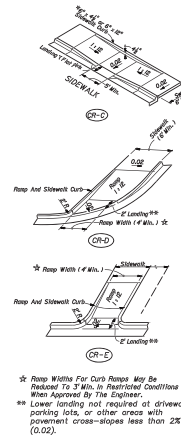
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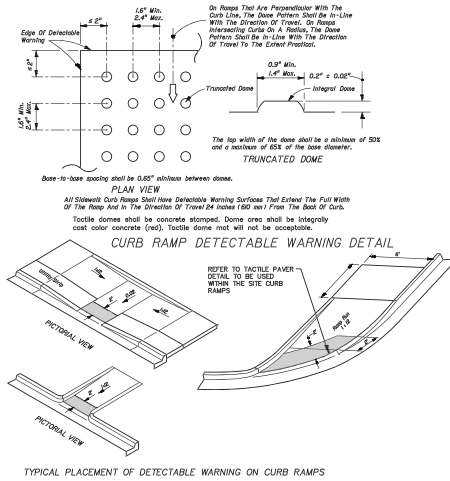
CURB RAMP CR-G DETAIL
N.T.S. (C-401)



CURB RAMP CR-A DETAIL
N.T.S. (C-401)



CURB RAMP CR-C DETAIL
N.T.S. (C-401)



TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMP

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DETAILS
Scale: N.T.S.
Date: 2022-10-25
Project No: 7391000

Design: DWT
Drawn: AL
Checked: DWT

David W. Taylor PE
FL No. 469028

C-401

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LIFT STATION DETAIL

Scale: N.T.S.
Date: 02/27/08
Project No: 7391000

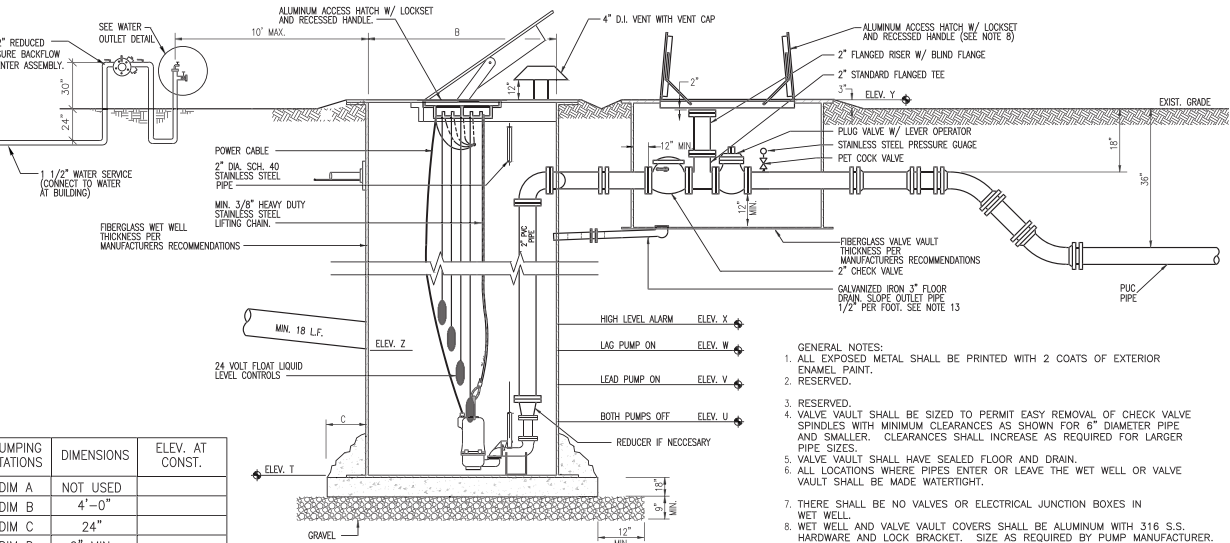
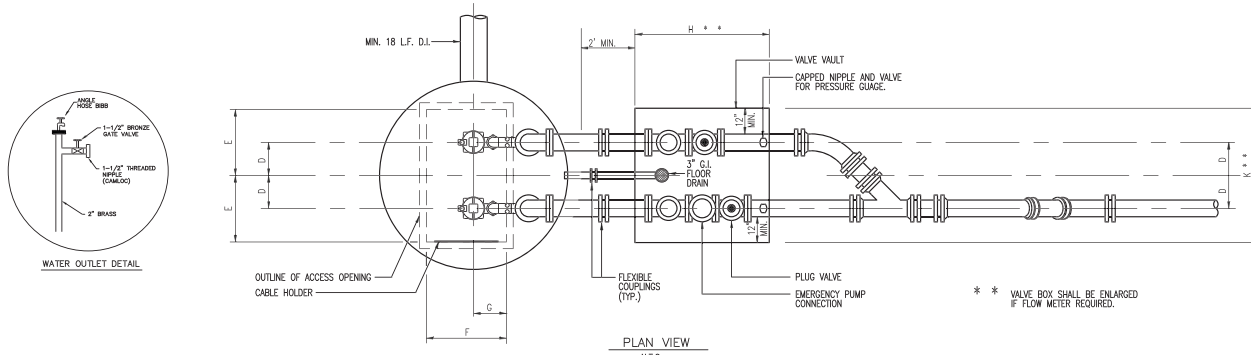
Design: DWT
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FL # 44292

Release:

C-402



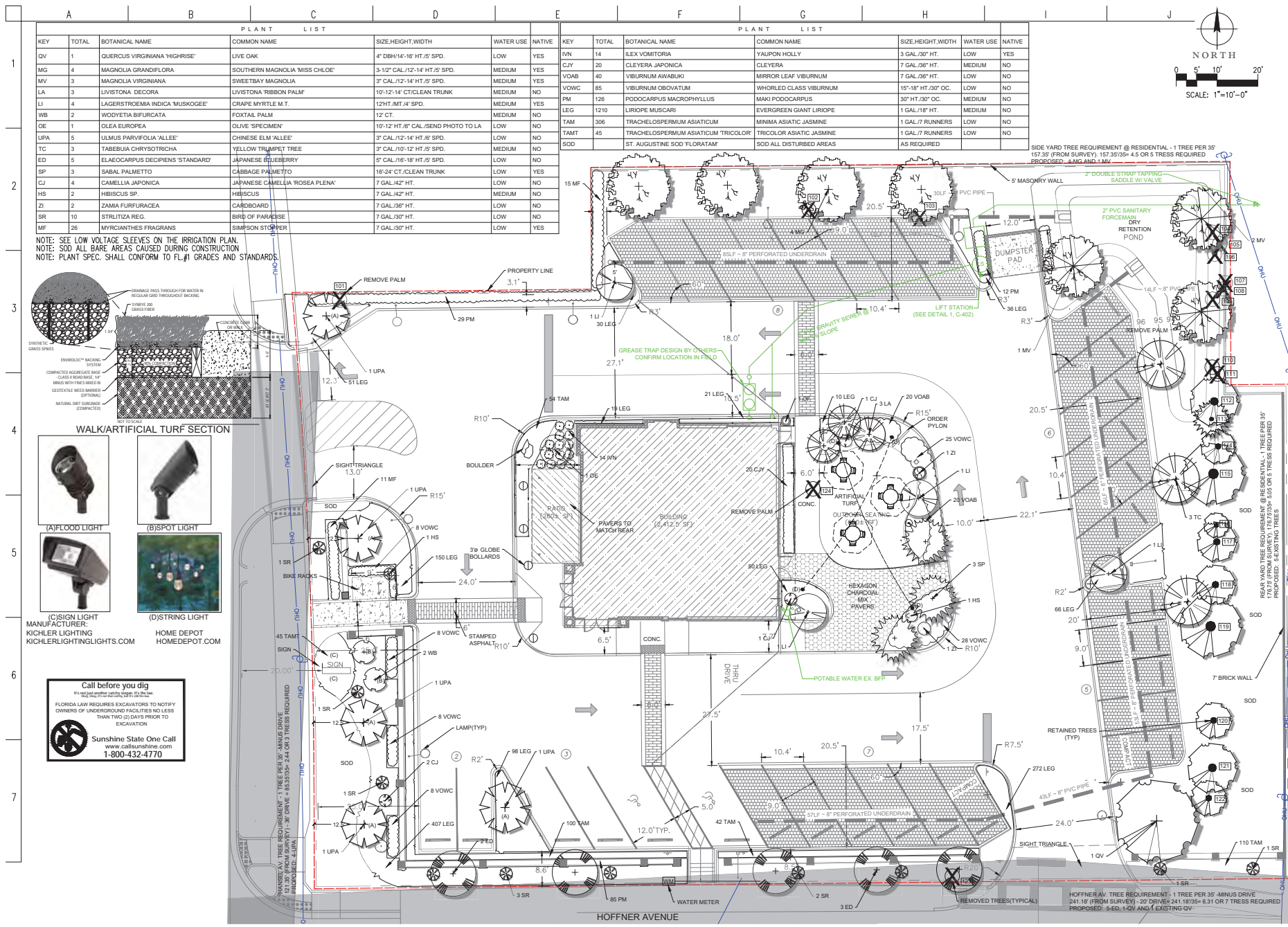
PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	NOT USED	
DIM B	4'-0"	
DIM C	24"	
DIM D	9" MIN.	
DIM E	18"	
DIM F	30"	
DIM G	*	
DIM H	5.00'	
DIM J		
DIM K	5.00'	
ELEV T		88.17'
ELEV U		90.17'
ELEV V		91.17'
ELEV W		91.67'
ELEV X		92.17'
ELEV Y		97.50'
ELEV Z		92.67'
* PER PUMP MANUFACTURERS REQUIREMENT		

PUMP STATION DETAILS
PLANS, SECTION, AND NOTES

- GENERAL NOTES:
- ALL EXPOSED METAL SHALL BE PRINTED WITH 2 COATS OF EXTERIOR ENAMEL PAINT.
 - RESERVED.
 - RESERVED.
 - VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
 - VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
 - ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT.
 - THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
 - WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE AND LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER.
 - FLEXIBLE COUPLING SHALL BE SLEEVE TYPE.
 - PUMPS SHALL BE:
MANUFACTURER: PENTAIR; MODEL: HVH200; IMP: -----; DIA: -----;
MM. SPEED: 3450 RPM; DISCHARGE SIZE: 1-1/4" IN.; VOLTAGE: ***;
HZ: 60; (PHASE: 3; H.P.: 2.0);
MIN. SOLID SIZE: ----- IN.; CURVE: -----
 - CONTRACTOR TO FIELD VERIFY AVAILABLE VOLTAGE AND PHASE PRIOR TO PROCUREMENT OF PUMPS
 - OPERATING CONDITIONS SHALL BE 20 GPM AT 73 FEET TDH.
 - ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
 - CONTRACTOR MAY INSTALL A "P" TRAP BETWEEN THE VALVE VAULT AND WET WELL AS AN ALTERNATIVE TO THE FLOOR DRAIN SHOWN.
 - OTHER PUMPS WILL BE CONSIDERED DURING SHOP DRAWING REVIEW. ALL SUBSTITUTES ARE SUBJECT TO DENIAL AT THE DISCRETION OF THE ENGINEER.
 - CONTRACTOR TO PROVIDE MANUFACTURER'S DOCUMENTATION OF WET WELL AND VALVE VAULT H-20 LOADING CAPABILITY AT SHOP DRAWING REVIEW. SHOP DRAWINGS WILL NOT BE APPROVED OTHERWISE.

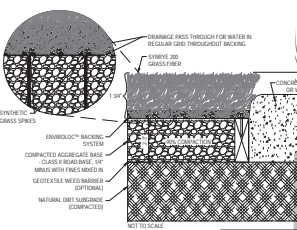
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PLANT LIST						PLANT LIST							
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE	KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
QV	1	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	4" DBH/14'-16" HT./5' SPD.	LOW	YES	RUN	14	ILEX VOMITORIA	YALPON HOLLY	3 GAL./30" HT.	LOW	YES
MG	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA 'MISS CHLOE'	3-1/2" CAL./12'-14" HT./5' SPD.	MEDIUM	YES	CJ7	20	CLEYERA JAPONICA	CLEYERA	7 GAL./30" HT.	MEDIUM	NO
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3" CAL./12'-14" HT./5' SPD.	MEDIUM	YES	VOAB	40	VIBURNUM ANABIKU	MIRROR LEAF VIBURNUM	7 GAL./30" HT.	LOW	NO
LA	3	LIVISTONA DECORA	LIVISTONA 'RIBBON PALM'	10'-12'-14" CT/CLEAN TRUNK	MEDIUM	NO	VOVC	95	VIBURNUM OBOVATUM	WORLEDED CLASS VIBURNUM	15'-18" HT./20" OC.	LOW	NO
LI	4	LAGERSTROEMIA INDICA 'MUSKOGEE'	CRAPE MYRTLE M.T.	12HT. MT.4' SPD.	MEDIUM	YES	PM	126	PODOCARPUS MACROPHYLLUS	EVERGREEN GIANT LIROPE	30" HT./30" OC.	MEDIUM	NO
WB	2	WODYETIA BIFURCATA	FOXTAIL PALM	12' CT.	LOW	NO	LEG	1210	LIROPE MUSCARI	EVERGREEN GIANT LIROPE	1 GAL./18" HT.	MEDIUM	NO
OE	1	OLEA EUROPEA	OLIVE 'SPECIMEN'	10'-12" HT./6" CAL./SEND PHOTO TO LA	LOW	NO	TAM	306	TRACHELOSPERMUM ASIATICUM	MINIMA ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
UPA	5	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM 'ALLEE'	3" CAL./12'-14" HT./6" SPD.	LOW	NO	TAMT	45	TRACHELOSPERMUM ASIATICUM 'TRICOLOR'	TRICOLOR ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
TC	3	TABEUIA CHRYSOTRICHA	YELLOW TRUMPET TREE	3" CAL./10'-12" HT./5' SPD.	MEDIUM	NO	SOD		ST. AUGUSTINE SOD 'FLORATAM'	SOD ALL DISTURBED AREAS	AS REQUIRED		
ED	5	ELAEOCARPUS DECIPiens 'STANDARD'	JAPANESE BLUEBERRY	5" CAL./16'-18" HT./5' SPD.	LOW	NO							
SP	3	SABAL PALMETTO	CABBAGE PALMETTO	16'-24" CT./CLEAN TRUNK	LOW	YES							
CJ	4	CAMELLIA JAPONICA	JAPANESE CAMELLIA 'ROSEA PLENA'	7 GAL./42" HT.	LOW	NO							
HS	2	HIBISCUS SP.	HIBISCUS	7 GAL./42" HT.	MEDIUM	NO							
ZI	2	ZAMIA FURFURACEA	CARDBOARD	7 GAL./36" HT.	LOW	NO							
SR	10	STRUTZIA REG.	BIRD OF PARADISE	7 GAL./30" HT.	LOW	NO							
MF	26	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	7 GAL./30" HT.	LOW	YES							

NOTE: SEE LOW VOLTAGE SLEEVES ON THE IRRIGATION PLAN. NOTE: SOD ALL BARE AREAS CAUSED DURING CONSTRUCTION. NOTE: PLANT SPEC. SHALL CONFORM TO FL.#1 GRADES AND STANDARDS.



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HOME DEPOT
HOMEDEPOT.COM

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FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION.
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DAIG & COMPANY
651 North Mills Avenue
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Landscape Architecture Analysis Planning

FLORIDA
EDGEWOOD

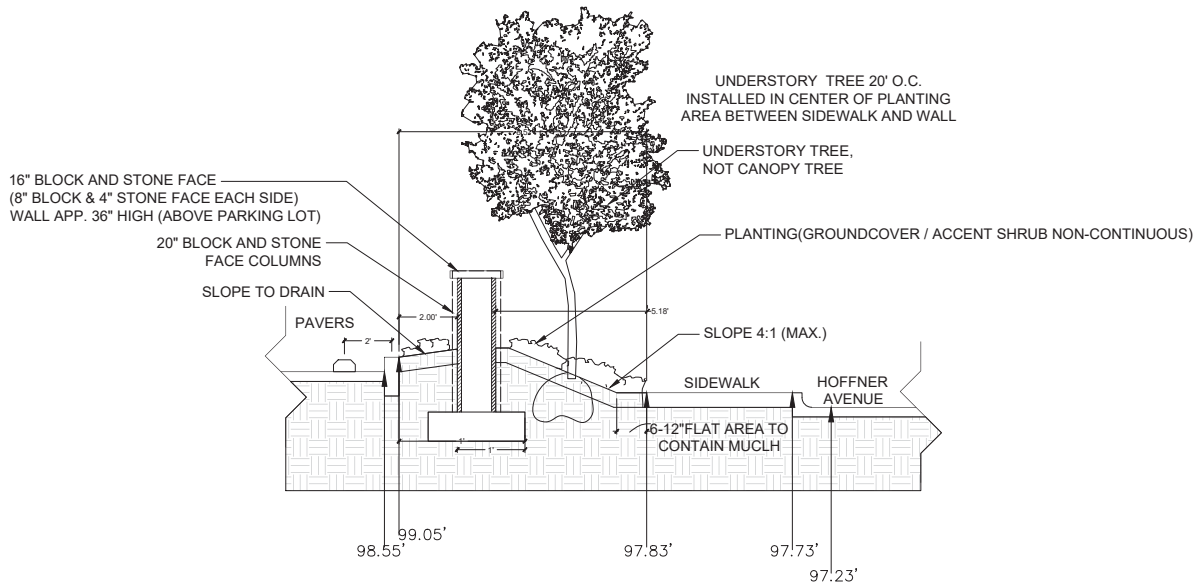
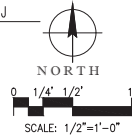
LANDSCAPE SITE PLAN FOR
Mecatos Cafe

DESIGNED BY: RCD
DRAWN BY: KHD
CHECKED BY: RCD
DATE: 08-13-21

REVISIONS
1. 11-05-21
2. 12-11-21
3. 01-27-22
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L-101

Section E, Item 3.



TREE DISPOSITION TABLE

Tree No.	Description	DBH	Remove	Remain	Notes	Condition	Replacement Minimum Requirements	Proposed Replacement
101	Sable Palm	18	Yes				None	16-24' CT Sabal Palm
102	Sycamore	15	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
103	Sycamore	26	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
104	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
105	Oak	16	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Ailee Elm 12-14' Ht. 6' Spr.
106	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
107	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
108	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
109	Palm	10	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
110	Oak	8	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
111	Oak	7	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
112	Oak	22		Yes	Specimen			
113	Palm	6		Yes				
114	Oak	13		Yes				
115	Oak	27		Yes	Historic			
116	Oak	5		Yes				
117	Oak	18		Yes	Specimen			
118	Oak	18		Yes	Specimen			
119	Oak	27		Yes	Historic			
120	Oak	5		Yes				
121	Hickory	22		Yes	Specimen			
122	Oak	16		Yes				
123	Oak	19	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	6" Cal. Specimen Olive 10-12' Ht.
124	Palm	14	Yes				None	16-24' CT Sabal Palm

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FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION.

Sunshine State One Call
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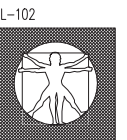


DAIG & COMPANY
 651 North Mills Avenue
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 Ph: (407) 894-1317
 Fax: (407) 894-6966
 Analysis Planning
 Landscape Architecture

LANDSCAPE SITE PLAN FOR
Mecatos Cafe
 EDGEWOOD FLORIDA

DESIGNED BY: RCD
 DRAWN BY: KHD
 CHECKED BY: RCD
 DATE: 01-25-22

- REVISIONS
- 1.
 - 2.
 - 3.
 - 4.
 - 5.
 - 6.





DALE & COMPANY
 Landscape Architecture Analysis Planning

651 North Mills Avenue
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 Fax: (407) 894-8986

LANDSCAPE DETAILS & SPECIFICATIONS FOR
Mecatons Cafe
 FLORIDA
 EDGEWOOD

DESIGNED BY: RCD
 DRAWN BY: KHD
 CHECKED BY: RCD
 DATE: 08-13-21

REVISIONS
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L-501



**SECTION 02900 LANDSCAPE
 PART ONE - GENERAL**

- 1.0 SUMMARY**
 A. All portions of Division 1 - General Requirements are included with this section.
 B. Furnish all transportation, materials, labor, equipment, taxes, and services to complete all work as shown on the drawings and as specified herein.
 C. Avoid conditions which will create hazards. Post signs or barriers as required.
 D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds etc. Repair or replace as required.
 E. Plant totals are for the completion of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
 F. Comply with all federal, state and local regulations.
 G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
 H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

1.1 RELATED SECTIONS: SECTION 02810 IRRIGATION

- 1.2 REFERENCES**
 A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
 B. Grader and Standards for Nursery Plants, Florida Department of Agriculture, Part II 1996.
 C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.1-1998).
 D. Hortus Third, Liberty Hyde Bailey Hortorum 1976.
 E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61090).

1.3 SUBMITTALS
 Provide to Owner's representative during:

- A. Preconstruction**
 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
 2. Proposed substitutions of materials or sizes.
 Obtain approval by both landscape architect and Owner's representative.
B. Construction
 1. Plant inspection certificates and shipping invoices as required.
 2. All fertilizer labels and notarized letter of conformance with these specifications.
C. Contract Close-out
 1. Two sets as-built record documents (red-line prints).

- 1.4 QUALITY ASSURANCE**
 A. All work shall be performed under the constant supervision of a foreman having at least one year experience or education in the nursery trades.
 B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
 C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of work, and to establish a "Date of Substantial Completion".

- 1.5 MAINTENANCE**
 A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work.
 B. Maintenance consists of pruning, cultivation, edging/beds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
 C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.

1.6 REPLACEMENTS

- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.**
B. Replacement period commences at Date of Substantial Completion and continues as follows:
 a. Trees - one (1) year
 b. Shrubs - ninety (90) days
 c. Sod - ninety (90) days
 d. Other Products - one (1) year
 Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unreasonable planting are exempt from the guarantee provision.

3.3 INSTALLATION

- A. Topsoil**
 Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
B. Rough Grading
 1. Mold land surfaces to within 1 inch of final grade.
 2. Contract erodes and berms. Fill low areas.
 3. Ensure proper "drainage of all areas. Spread 6 inch Sod at 85% compaction (Proctor).
 4. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
C. Final Grading
 1. Remove all non-conforming matter from site, such as rocks, soda, sticks, building rubble, wire, or cans.
 2. Dig out weeds by the roots.
 3. Fill in soil amendments such as lime, iron, or gypsum if indicated by local conditions; only after approval by landscape architect. Ensure uniform application.

PART TWO - PRODUCTS

- A. Topsoil** shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease and shall be stress-free. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

- C. Seed** shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall bear the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
D. Fertilizer
 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.
E. Pest
 Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
 1. 1 gallon plants - 1/3 cubic feet.
 2. 3 gallon plants - 1 cubic feet.
 3. Trees - 1/2 cubic foot per foot of height.
F. Herbicide
 "Solfen" or "Preen" pre-emergent.
G. Additional Soil Amendments
 1. Apply as needed to bring soil into optimum growth range for specified plants.
 2. If soil is below 5.0 pH incorporate enough horticultural lime to bring within 5.8 to 6.5 pH range.
H. Plants
 1. Measured standing in natural form of the size indicated on "plant list" and grade "Florida No 1" unless otherwise indicated.
 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
 4. Form shall be symmetrical or typical for species and variety.
 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
 6. Trees having rootballs wrapped with synthetic burlap will be rejected.
 7. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.

PART THREE - EXECUTION

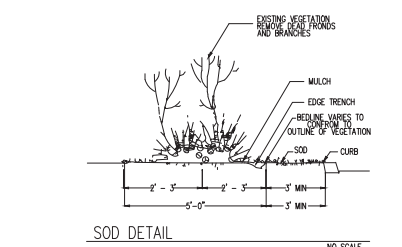
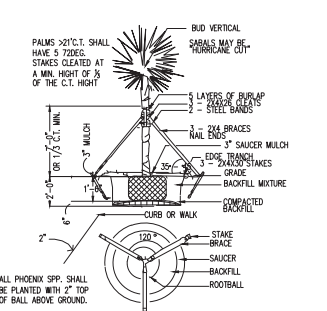
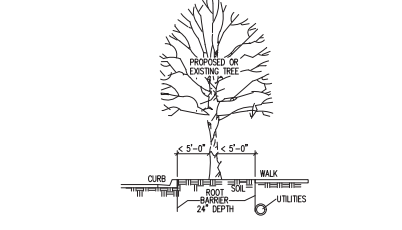
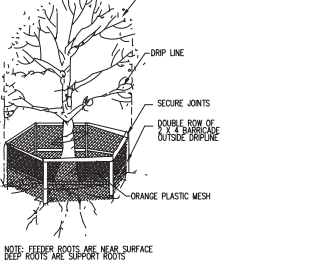
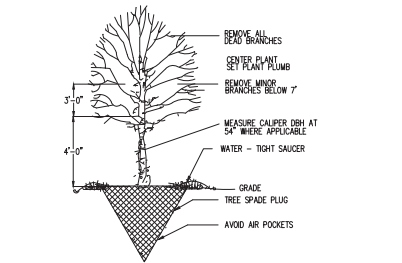
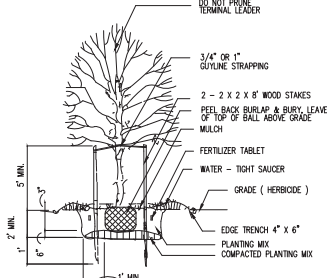
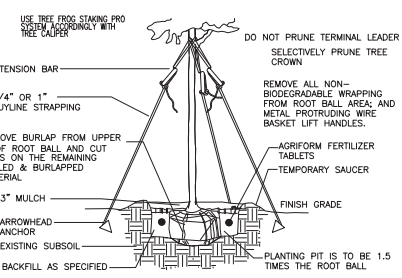
- 3.0 EXAMINATION**
 A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
 B. Review engineering drawings for additional information.
 C. Coordinate work with Owner and other related trades.
 D. Relocate existing plant material as directed by landscape architect, and according to drawings.
3.1 PROTECTION
 Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
3.2 PREPARATION
 Remove from site existing soda, seeds, inferior plantings and reconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

- D. Planting Pits**
 Excavate to dimensions shown on plan.
E. Plant Installation
 1. Do not crack or break soil away from root ball.
 2. Carefully set plant burlap, best side facing "out", at the same soil level, to 1" higher, as previously grown.
 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
 4. Form shaker baskets at each plant. Adjust grade to 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
 5. Space ground cover in triangle pattern with outside row parallel to baseline, 1/2 plant spacing distance from edge.
F. Sod Installation
 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
 3. Stake and guy.
G. Stake and guy . . . as per plan.
H. Fertilize
 Fertilize evenly at following rates:
 1. Tablet Fertilizer
 1 gallon plant - 1 tablet
 1 gallon plant - 1 to 2 tablets
 5 gallon plant - 2 to 3 tablets
 Trees - 1 tablet per foot of height
 2. Granular Fertilizer
 Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
I. Prune
 Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
J. Herbicide
 Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
K. Mulch
 Spread to a uniform depth of 2" min. Fluff and pat in place.

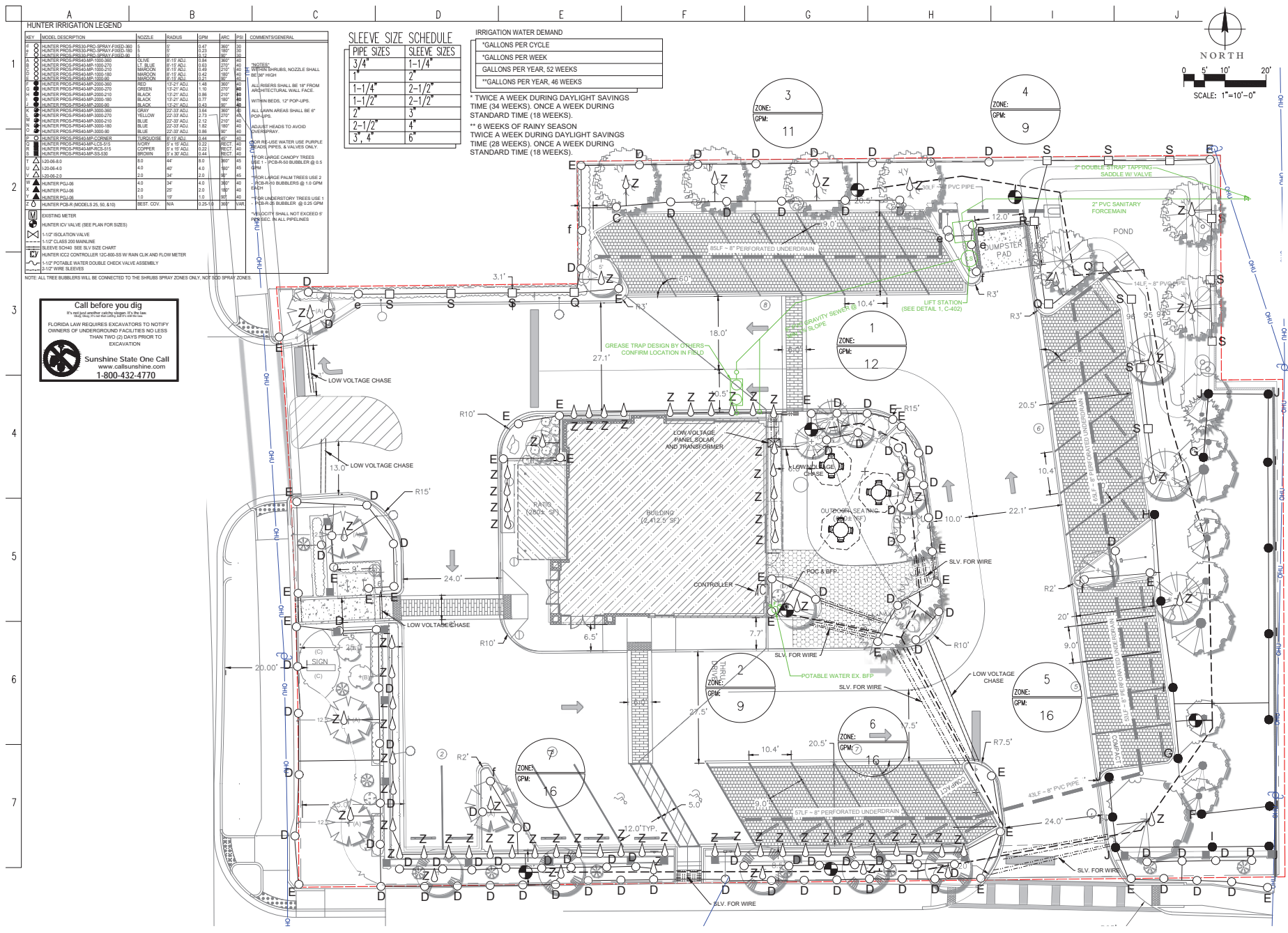
3.4 FIELD QUALITY CONTROL

- A. Landscape architect or Owner** may conduct periodic inspections to determine that the terms of this contract are fulfilled.
B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION



ALL PHOENIX SPP. SHALL BE PLANTED WITH 2" TOP OF BALL ABOVE GROUND.



HUNTER IRRIGATION LEGEND

KEY	MODEL DESCRIPTION	NOZZLE	RADIUS	GPM	ARC	PSI	COMMENTS/GENERAL
A	HUNTER PROS PRS200-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	0.87	90°	30	
B	HUNTER PROS PRS200-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	0.72	90°	30	
C	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.74	90°	30	
D	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
E	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
F	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
G	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
H	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
I	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
J	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
K	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
L	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
M	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
N	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
O	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
P	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
Q	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
R	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
S	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
T	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
U	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
V	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
W	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
X	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
Y	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	
Z	HUNTER PROS PRS400-PRO SPRAY FIBER 300	1/2" BLUE	15.0' ADJ.	1.48	90°	30	

SLEEVE SIZE SCHEDULE

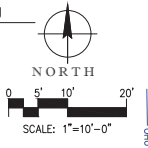
PIPE SIZES	SLEEVE SIZES
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3", 4"	6"

IRRIGATION WATER DEMAND

- *GALLONS PER CYCLE
- *GALLONS PER WEEK
- *GALLONS PER YEAR, 52 WEEKS
- **GALLONS PER YEAR, 46 WEEKS

* TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (34 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).

** 6 WEEKS OF RAINY SEASON TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (28 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).



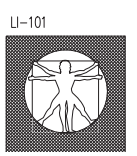
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IRRIGATION SITE PLAN FOR
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DATE: 09-09-21

REVISIONS
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2. 12-11-21
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4.
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651 North Mills Avenue
 Orlando, Florida 32803

FLORIDA

IRRIGATION DETAILS & SPECIFICATIONS FOR

Mecatons Cafe

EDGEWOOD

DESIGNED BY: RCD
 DRAWN BY: RCD
 CHECKED BY: RCD
 DATE: 09-09-21

REVISIONS
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LI-501



SECTION 0810
 IRRIGATION SYSTEMS
 PART ONE - GENERAL

- 1.0 SUMMARY**
 A. All portions of Division 1 - General Requirements are included with this section.
 B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.
- 1.1 RELATED SECTIONS:** section 0900 landscape planting
- 1.2 TOLERANCE**
 A. Install sprinkler heads where indicated by symbol.
 B. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.
- 1.3 SUBMITTALS**
 A. Submit two bound folders containing:
 1. Written operating instructions for all components.
 2. Complete parts list and manufacturer's data.
 3. Copy of well completion report.
 4. Written maintenance instructions.
 5. Provide 2 sets as-built record drawings with the following items dimensioned to the nearest foot:
 a. Sprinkler main lines
 b. Water source
 c. Control valves
 d. Gate valve
 e. Electric control wire path (red-line print)
 B. Products furnished but not installed:
 1. 2 extra heads of each type and size
 2. 2 extra nozzles of each type and size
 3. 2 extra head wrenches for each type of head
 4. 1 extra valve box with lid
- 1.4 COORDINATE WORK WITH OTHER AND OTHER TRADES**
 A. Licensed electrician will install power to the controller, pump, or fountain if utilized on project.
- 1.5 QUALITY ASSURANCE**
 A. Contractor is expected to participate in preconstruction meeting with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.
 B. Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish Date of Substantial Completion, and advise Owner as to system operation.
- 1.6 WARRANTIES**
 A. Contractor will be fully responsible for system operation until Date of Substantial Completion.
 B. Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.
 C. See to the fulfillment of all manufacturer's warranties.

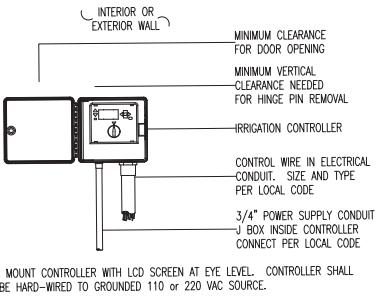
PART TWO - PRODUCTS

- 2.0 MATERIALS**
 Backfill shall be free from stone, trash, or other debris.
- 2.1 MANUFACTURED UNITS**
 A. Automatic electro-mechanical controller fully installed and operating.
 B. Electric valve installed in valve box.
 C. Valve box with lid manufactured by Amtrol® or "Brooks".
 D. Connection for control wires manufactured by Penite® or "Dai" installed as per manufacturer's directions, and above grade in valve boxes.
 E. Gate valves shall be brass and installed in valve box.
 F. Automatic drain valves shall be installed in 1 cubic foot gravel.
- 2.2 COMPONENTS**
 A. Control wire shall be direct burial #14, type UF. Tape to underside of main every 10 feet. Install spare ground wire - 5 extra wires.
 B. Main line shall be class 200 PVC (ANSI/ASTM D2241).
 C. Lateral line shall be class 160 PVC minimum (ANSI/ASTM D2241).
 D. Sleeve at all road and drive crossings shall be class 200 PVC.
 E. All pipe, connectors and manhole fittings for the meter and check valve assembly will be galvanized.
 F. All electrical work will conform to year construction N.E.C.

PART THREE - EXECUTION

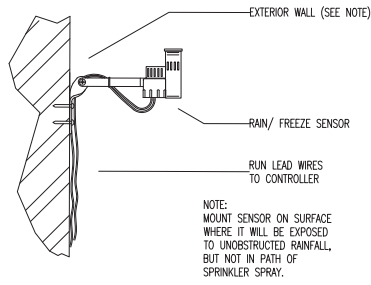
- 3.0 EXAMINATION**
 Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
- 3.1 PRETECTION**
 A. Locate, identify, and mark all known utilities in area of the work.
 B. Take reasonable care to avoid damage or hazards.
 C. Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.
 D. Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's expense, as directed.
- 3.2 PREPARATION**
 A. Surface Preparation. Stake out each run of pipes, each head, and each valve.
 B. Test control wire for continuity before unrolling for installation.
- 3.3 INSTALLATION**
 A. Keep pipe interior clean and dry at all times.
 B. Ensure a square cut at all joints and ream ends to a smooth finish, inside and out.
 C. Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.
 D. Support all pipe with clean, compact soil.
 E. Backfill and compact to original soil.
 F. Set heads plumb and flush with top of sod or mulch.
 G. For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.
- 3.4 TOLERANCES**
 A. Main line and drive crossings shall have 18 inches minimum cover.
 B. Lateral line shall have 12 inches minimum cover.
 C. All heads shall be 4 inches minimum from walls, drives, or curbs.
 D. All pop-up heads and valve boxes shall be installed with top flush with grade.
 E. All heads shall be installed plumb.
- 3.5 FIELD TESTS**
 Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.
- 3.6 ADJUSTMENTS**
 A. Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.
 B. Be heads shall be allowed to spray walls, fences, walls, or drives.
 C. Set times to operate as appropriate for season, soil type, drainage, and plant requirements.
- 3.7 FIELD QUALITY CONTROL**
 A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
 B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include, type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.
 C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

END OF SECTION

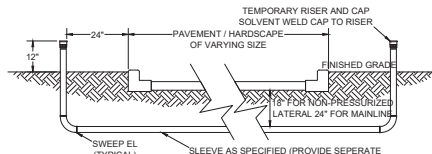


IRRIGATION CONTROLLER

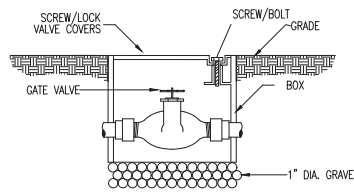
*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPARATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.



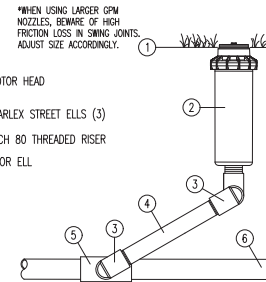
RAIN/ FREEZE SENSOR



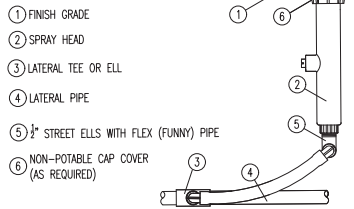
SLEEVE INSTALLATION



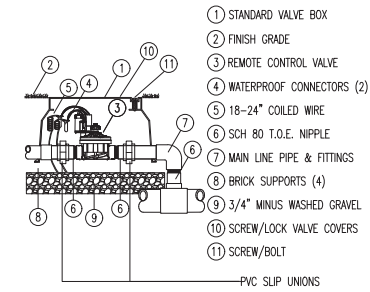
GATE VALVE



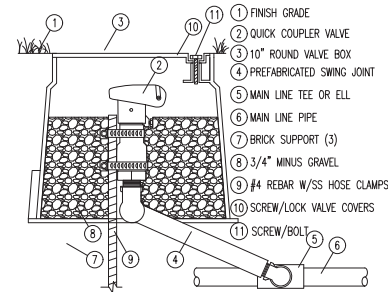
ROTOR HEAD



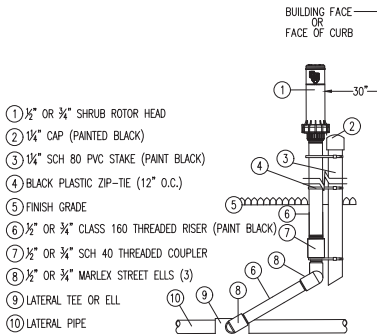
SPRAY HEAD



REMOTE CONTROL VALVE

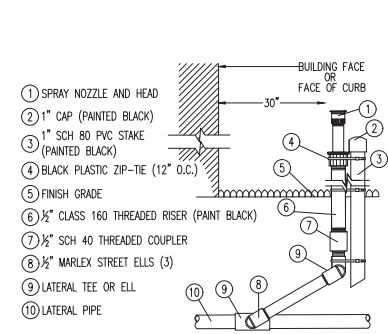


QUICK COUPLER VALVE



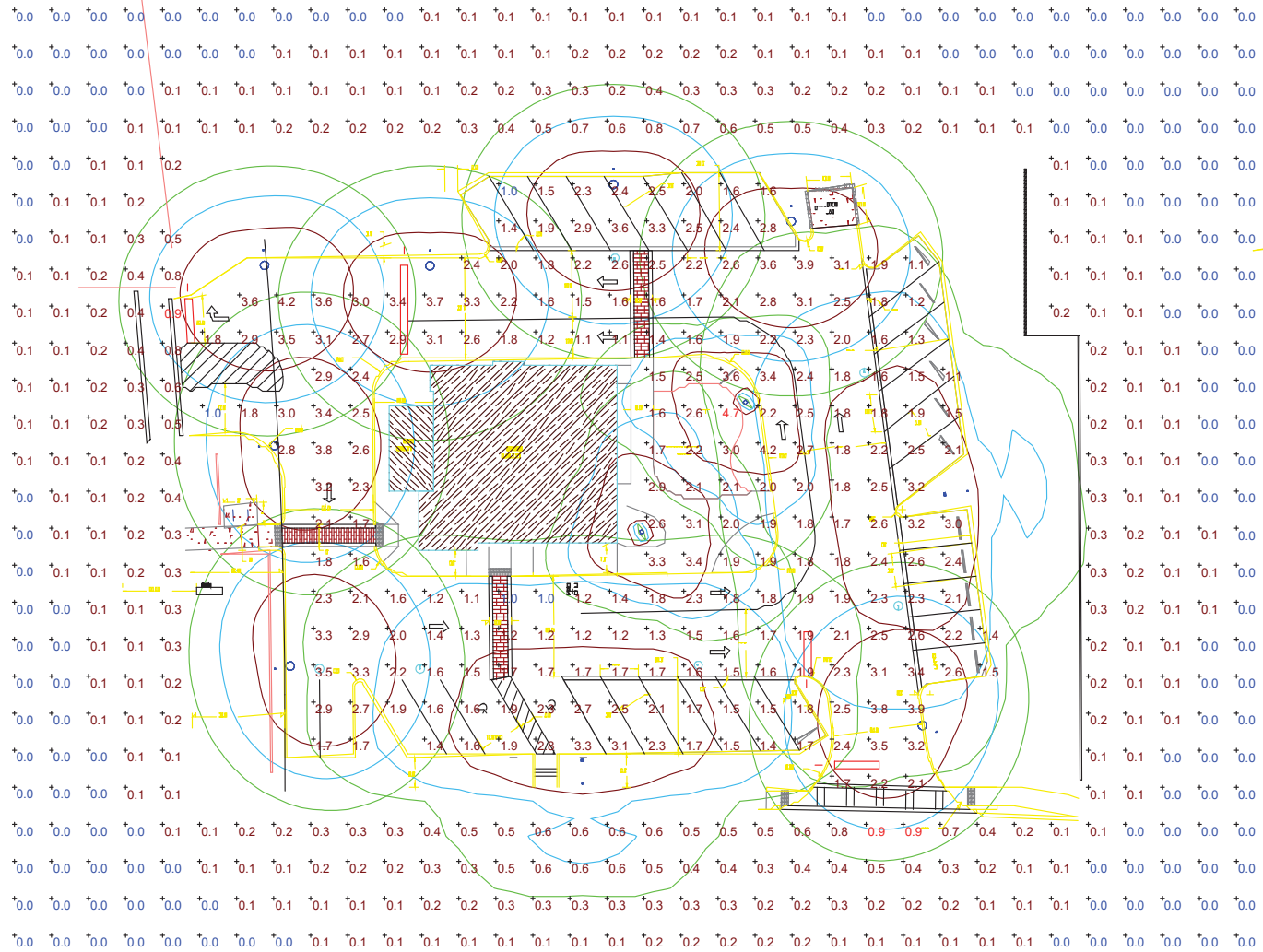
SHRUB ROTOR HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



SHRUB SPRAY HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



Catalog Number	Section E, Item 3.	
Notes	Type	

GBLF3

GlasWerks® Luminescent LED Bern®



General Description

The architectural luminaire consists of a flat LED optical assembly shielded by a decorative formed housing and a top mounted cast aluminum electrical assembly. The optical assembly is seamlessly integrated into the form factor for beautiful daytime appearance and exceptionally uniform lighting at night.

Optical Assembly

The optical assembly consists of an edgelit waveguide light engine for unmatched visual comfort. Light from the LED module is distributed by proprietary wave guide technology to maximize uniformity and minimize glare. Configurable with CCT options of 2700K, 3000K, and 4000K. CRI is 70 minimum. Available with asymmetric, symmetric, or pathway distributions.

Mounting Style

Optional mounting styles include Quick Lock Stem, NPT threads, and horizontal arm.

Quick Lock Stem Mounting style is compatible with the following leveling fitters:

- Boston Harbor Decorative Arm Fitter (BHDF)
- GlasWerks Decorative Arm Fitter (GWDF)
- West Liberty Decorative Arm Fitter (WLDF)
- Ball Style Decorative Fitter (BADF)

Electrical Assembly

The cast aluminum electrical housing has a smooth domed contour. A (3) station terminal block is provided to accept #14 through #2 size wire. The electrical housing is hinged with a tool-less latch to provide easy access to the gear assembly. The unitized electrical assembly, containing the electronic driver and other electrical components, plugs into the quick disconnect receptacle. The pendant mount version has a welded stem (Quick Lock Stem Mounting), which aids in installation speed. The arm mount version is provided with two U-bolts with washers and nuts and two leveling set screws that lock the housing to a 2 inch nominal (2-3/8" O.D.) horizontal

arm and allow a ±5° degree adjustment from horizontal to the cover.

Electrical System

Programmable LED driver with 0-10V dimming. Optional DALI dimming. Driver life is rated to at least 100,000 hours. Luminaire surge protection rating of 20kV/10kA per ANSI/IEEE C62.41.2.

Finish

The luminaire is finished with corrosion resistance super durable powder coat paint to ensure maximum durability. Finish is rated to 5,000 hours salt spray per ASTM B117.

Listing

The luminaire is CSA certified to US and Canadian standards. IP55 rated electrical chamber, IP66 rated LED optic chamber. 20kV/10kA extreme surge protection per ANSI/IEEE C136.2. Suitable for operation in ambient temperatures from -40°C to 40°C

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Buy American

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty

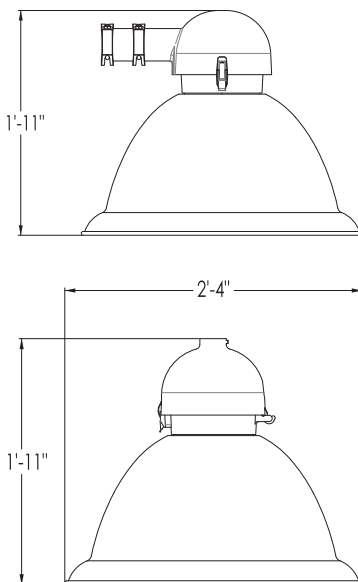
Limited warranty located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

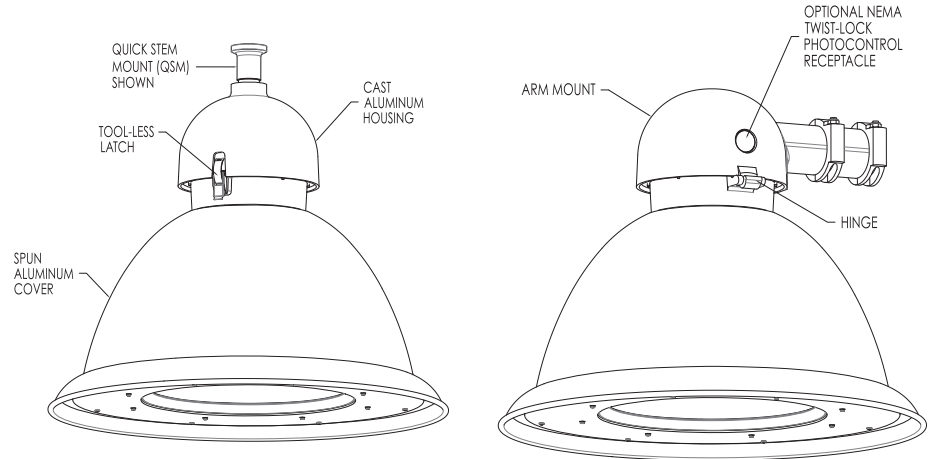
Specifications subject to change without notice.

DIMENSIONAL DATA



Maximum Weight - 51 lbs

Maximum Effective Projected Area - 1.2 ft²



ORDERING INFORMATION

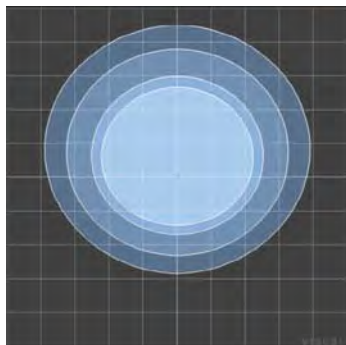
Example: GBLF3 P30 40K MVOLT ASY QSM BK

Cover Type	LED Lumen Package	Color Temperature	Voltage	Optics	Mounting Style	Finish Color
GBLF3 Bern	P10 P10 Performance Package	27K 2700K, 70 CRI	MVOLT 120-277V	ASY Asymmetric	ARM Horizontal Arm Mount	BK Black
	P20 P20 Performance Package	30K 3000K, 70 CRI	HVOLT 347-480V	SYM Symmetric	NPT 1.5" NPT Thread	BZ Bronze
	P30 P30 Performance Package	40K 4000K, 70 CRI		PTH Pathway	QSM Quick Stem Mount	GH Graphite
	P40 P40 Performance Package					GN Green
	P50 P50 Performance Package					GR Gray
	P60 P60 Performance Package					WH White
	P70 P70 Performance Package					
	P80 P80 Performance Package					

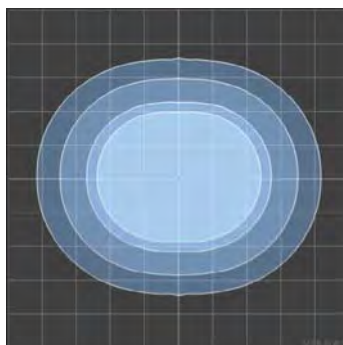
Options	
<p><u>Control Options:</u></p> <p>PR3 3 pin NEMA photocontrol receptacle</p> <p>PR7 7 pin NEMA photocontrol receptacle</p> <p>PR3E 3 pin NEMA photocontrol external</p> <p>PR7E 7 pin NEMA photocontrol external</p> <p>P34 Solid state long life photocontrol (347V)</p> <p>P48 Solid state long life photocontrol (480V)</p> <p>PCLL DLL photocontrol</p> <p>SH Shorting cap</p> <p>A0 Adjustable Output Module</p> <p>DALI DALI dimming</p> <p>WG Wire guard (ships separately)</p> <p>HSS House side shield (ships separately)</p>	<p><u>Prewire Lead Options:</u></p> <p>L03 3ft prewire leads</p> <p>L10 10ft prewire leads</p> <p>L20 20ft prewire leads</p> <p>L25 25ft prewire leads</p> <p>L30 30ft prewire leads</p> <p><u>NEMA Label Options:</u></p> <p>NL1X1 1" x 1" NEMA label</p> <p>NL3X3 3" x 3" NEMA label</p>

Accessories: Order as separate catalog number.	
GBLF3HSS	House side shield
GBLF3WG	Wire guard

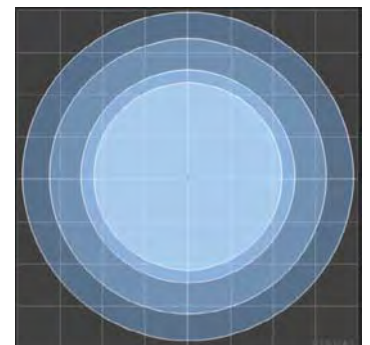
OPTICAL DISTRIBUTIONS



ASY



PTH



SYM

PERFORMANCE DATA

Lumen and Wattage Data

Lumen Package	System Wattage	Distribution	2700K, 70 CRI		3000K, 70 CRI		4000K, 70 CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P10	30	ASY	3,738	126	3,870	130	4,122	139
		SYM	3,860	130	3,995	134	4,256	143
		PTH	3,681	124	3,811	128	4,059	137
P20	51	ASY	6,143	121	6,359	125	6,774	134
		SYM	6,343	125	6,565	129	6,994	138
		PTH	6,049	119	6,262	123	6,671	132
P30	62	ASY	7,377	118	7,636	122	8,135	130
		SYM	7,617	122	7,884	126	8,399	135
		PTH	7,264	116	7,520	120	8,011	128
P40	75	ASY	8,767	116	9,075	121	9,668	128
		SYM	9,052	120	9,370	124	9,982	133
		PTH	8,633	115	8,937	119	9,520	126
P50	95	ASY	10,810	114	11,190	118	11,920	125
		SYM	11,161	117	11,553	121	12,308	129
		PTH	10,645	112	11,019	116	11,738	123
P60	118	ASY	12,781	108	13,230	112	14,094	119
		SYM	13,196	111	13,660	115	14,551	123
		PTH	12,586	106	13,028	110	13,878	117
P70	151	ASY	15,726	104	16,278	108	17,341	115
		SYM	16,236	108	16,807	111	17,904	119
		PTH	15,485	103	16,029	106	17,076	113
P80	173	ASY	17,544	101	18,161	105	19,346	112
		SYM	18,114	105	18,750	108	19,974	115
		PTH	17,276	100	17,883	103	19,050	110

OPTIONS MATRIX

		Lumen Package								Voltage		Receptacle				Photocontrol				Dimming Options	
		P10	P20	P30	P40	P50	P60	P70	P80	MVOLT	HVOLT	PR3	PR7	PR3E	PR7E	PCLL	PCL3	PCL4	SH	AO	DALI
Lumen Package	P10		N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P20	N		N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P30	N	N		N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P40	N	N	N		N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P50	N	N	N	N		N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P60	N	N	N	N	N		N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P70	N	N	N	N	N	N		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P80	N	N	N	N	N	N	N		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
Voltage	MVOLT	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	Y	Y	N	N	Y	Y	RFD
	HVOLT	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	Y	Y	N	Y	Y	Y	Y	N
Receptacle	PR3	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	N	Y	Y	Y	Y	Y	RFD
	PR7	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	Y	Y	Y	Y	Y	RFD
	PR3E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		N	N	Y	Y	Y	Y	Y	RFD
	PR7E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N		N	Y	Y	Y	Y	Y	RFD
Photocontrol	PCLL	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y		N	N	N	Y	RFD
	PCL3	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	N		N	N	Y	RFD
	PCL4	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	N	N		N	Y	RFD
	SH	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N		Y	RFD
Dimming Options	AO	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N
	DALI	RFD*	RFD*	RFD*	RFD*	RFD	RFD	RFD	RFD	RFD	N	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	N

Y = combination is available

N = combination is not available

RFD = consult factory, additional information required

RFD* = consult factory, additional information required, not CSA certified

GBLF3

GlasWerks® Luminescent LED Bern®

LED Lumen Maintenance					
25,000 hours	36,000 hours	50,000 hours	60,000 hours	75,000 hours	100,000 hours
98%	96%	94%	93%	91%	88%

Lumen maintenance calculated according to TM-21 at 25°C ambient. Italicized values are extrapolated beyond the standard.

Adjustable Output (AO) Response		
AO Setting	% Lumen Output	% Wattage
8	100%	100%
7	94%	94%
6	82%	81%
5	70%	68%
4	58%	56%
3	46%	43%
2	33%	31%
1	21%	19%

Luminaire Ambient Temperature Factor	
Ambient Temperature	Relative Lumen Output
0°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.99
40°C	0.98

Catalog Number		Section E, Item 3.
Notes	Type	

WFCL2

Utility Washington Series Luminaire
Full Cutoff LED2



Mechanical

- Heavy grade A360 cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocontrol receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions.
- Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon
- Decorative top cover contains stainless steel hinge which secures entry the LED optical chamber
- Polyester power coat paint to ensure maximum durability
- Finish meets 5,000-hour salt spray testing
- Holophane and RAL Classic finishes.

Electrical

- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA.
- Standard SPD meets 10kV/5kA per ANSI C136.2-2015.
- 20KV Option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LLED drivers meet maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are ROHS compliant. Minimum operating temperature is -40C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

Optical

- IP65 rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric full cutoff distributions
- 2700K, 3000K, 4000K, and 5000K CCT
- 70CRI Standard

Control Options

- Field Adjustable Output (AO) module - Onboard device that adjusts the light output and input wattage to meet site specific requirements. The AO module is preset at the factory to position number 8 (see chart).
- Wireless remote control for monitoring performance and/or maintenance of the system – ROAM
- Factory Programmed Driver (FPDxx) - Customize lumen output prior to manufacturing and still enables control leads so other options can also be used
- Long Life Photocontrols (PCLL) - 20 Year Life
- 3 and 7 pin photocontrol receptacles internally (P3, P7) or externally (P3E, P7E) mounted
- Part-night dimming (PND) enables luminaire to monitor and adjust 50% lumens based on season and geographic location, 8-day rolling average

Testing/Compliance

- UL 1598 - Wet Locations Safety Listing
- Suitable for ambient temperatures -40°C to 40°C
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check with the DLC Qualified Products List at www.designlights.org/QPL for updated list

Manufacturing

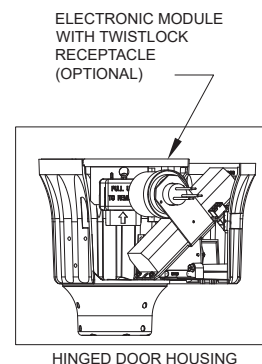
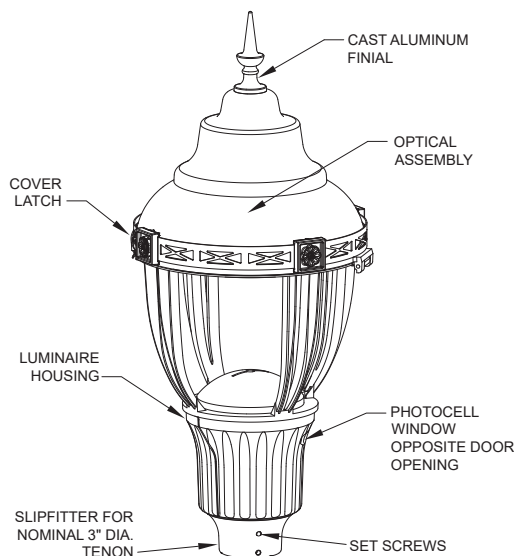
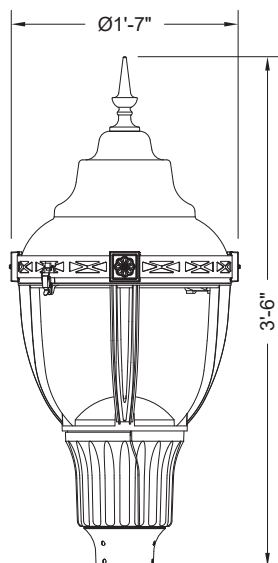
- Manufactured in Crawfordsville, Indiana, ARRA compliant
- 100% electrical testing on all luminaires before shipment
- Ten (10) years minimum experience in manufacturing LED based products

Warranty

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_Conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

DIMENSIONAL DATA



Maximum Weight - 57 lbs
Maximum Effective Projected Area - 1.72 sq. ft.

ORDERING INFORMATION

Example: WFCL2 P20 30K AS GN L2 N P73

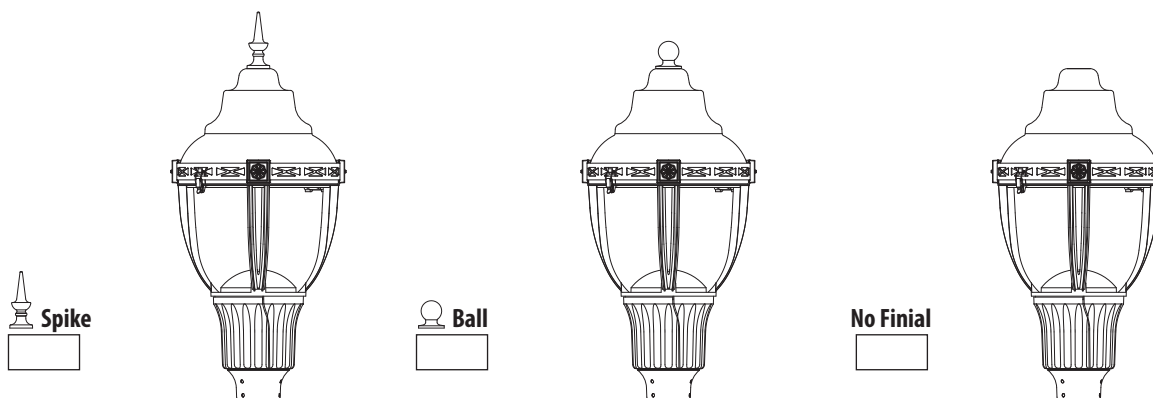
Series	Led performance package	LED Color temperature	Voltage	Housing color	Optics	Finial
WFCL2 Utility Washington LED FCO	P10 1,500 nominal lumens (amber only)	AM True amber 27K 2700K CCT	AS Auto-sensing voltage (120 thru 277) 50/60 HZ	BK Black	L2 Type 2 distribution full cutoff	N None
	P20 4,500 nominal lumens	30K 3000K CCT		GR Gray	L3 Type 3 distribution full cutoff	B Ball
	P30 6,500 nominal lumens	40K 4000K CCT	AH Auto-sensing voltage (347 thru 480) 50/60 HZ	GH Graphite	L4 Type 4 distribution full cutoff	S Spike
	P40 8,500 nominal lumens	50K 5000K CCT		GN Green	L5 Type 5 distribution full cutoff	
	P50 11,500 nominal lumens			PP Prime paint		
			WH White			
			BZ Bronze			
			TDC RAL Color color (RAL**)			
			CMC Custom color match			

Options: Option Compatibility Matrix on page 3 of 4						
A0	Field Adjustable Output		P3E	NEMA Twist Lock Dimming Photocontrol Receptacle - 3 PIN. Externally mounted	L1H	1.5 ft prewired leads
DE	ROAM Hardware DecoNode and DCM Factory Installed		P7E	NEMA Twist Lock Dimming Photocontrol Receptacle - 7 PIN. Externally mounted	L03	3ft prewired leads
FPDxx	Factory Programmed Driver		RME	ROAM Node (External)	L10	10 ft prewired leads
P3	NEMA Twist Lock photocontrol receptacle - 3 PIN receptacle only.		RME3	347V ROAM NODE (External)	L20	20 ft prewired leads
P7	NEMA Twist Lock Dimming photocontrol receptacle - 7 PIN receptacle only.		RME4	480V ROAM NODE (External)	L25	25 ft prewired leads
PCS	DTL twistoff photocontrol for solid-state lighting 120-277V		PSC	Shorting cap	L30	30 ft prewired leads
PCLL	DTL long life twistlock photocontrol for solid-state AS		HSS	House side shield	NL1X1	NEMA Label 1" X 1"
P34	DTL long life twistlock photocontrol for solid-state 347V				NL2X2	NEMA Label 2" X 2"
P48	DTL long life twistlock photocontrol for solid-state 480V				20KV	20kV/10kA surge protection
PND	Part night dimming - down to 50%					

Accessories: Order as separate catalog number.	
XXCL2HSS1	Field Accessory - Louvered house side shield (Qty 1)
XXCL2HSSJ50	Field Accessory - Louvered house side shield (Bulk Qty 50)
XXCL2SPD10KAS	10kV/5kA Extreme surge 120-277V
XXCL2SPD10KAH	10kV/5kA Extreme surge 480V
XXCL2SPD20KAS	20kV/10kA Extreme surge 120-277VV
XXCL2SPD20KAH	20kV/10kA Extreme surge 480V

FINIAL INFORMATION

Mark Appropriate Box for Finial Options



OPTIONS MATRIX

Mounting	SELECTED OPTION (start here)																	
	AO	DE	FPDxx	P3	P3E	P7	P7E	P34	P48	PCLL	PCS	PND	PSC	RME	RME3	RME4	20kV	
LED Performance Package	P10	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P20	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P30	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P40	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P50	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N
Voltage	AS	Y	Y	Y	Y	Y	Y	Y	N	N	Y	Y	Y	Y	Y	N	N	Y
	AH	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	N	N	Y	N	Y	Y	Y
Finial	B	Y	Y	Y	Y	N	Y	N	Y	Y	Y	Y	Y	Y	N	N	N	Y
	S	Y	Y	Y	Y	N	Y	N	Y	Y	Y	Y	Y	Y	N	N	N	Y
	N	Y	Y	Y	Y	M	Y	M	Y	Y	Y	Y	Y	Y	M	M	M	Y
Compatible Options	AO		N	Y	Y	Y	F	F	Y	Y	Y	Y	N	Y	N	N	N	Y
	DE	N		Y	Y	N	N	N	N	N	N	N	N	Y	N	N	N	Y
	FPDxx	Y	Y		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
	P3	F	M	Y	N	N	N	N	Y	Y	Y	Y	M	Y	N	N	N	Y
	P3E	F	N	Y	N		N	N	Y	Y	Y	Y	N	Y	N	N	N	Y
	P7	F	N	Y	N	N		N	Y	Y	Y	Y	N	Y	N	N	N	Y
	P7E	F	N	Y	N	N	N		Y	Y	Y	Y	N	Y	I	I	I	Y
	P34	Y	N	Y	Y	Y	Y	Y		N	N	N	N	N	N	N	N	Y
	P48	Y	N	Y	Y	Y	Y	Y	N		N	N	N	N	N	N	N	Y
	PCLL	Y	N	Y	Y	Y	Y	Y	N	N		N	M	N	N	N	N	Y
	PCS	Y	N	Y	Y	Y	Y	Y	N	N	N		M	N	N	N	N	Y
	PND	N	N	Y	Y	N	N	N	N	N	M	M		Y	N	N	N	Y
	PSC	Y	N	Y	Y	Y	Y	Y	N	N	N	N	Y		N	N	N	Y
	RME	N	N	Y	N	N	N	Y	N	N	N	N	N	N		N	N	Y
	RME3	N	N	Y	N	N	N	Y	N	N	N	N	N	N	N		N	Y
	RME4	N	N	Y	N	N	N	Y	N	N	N	N	N	N	N	N		Y
	20kV	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	

Y = Valid Option Combination

F = Future ready (wired with "AO", but could accept control device with tool-less field wiring)

M = Must have: one of these must be installed for the luminaire to operate

N = Combination Not available

ROAM OPTION DETAILS

DE = UL listed components without GPS capability, external antenna is black and includes ROAM capable node only, ROAM service package sold separately via Acuity Controls

RME = UL listed device without GPS capability, blue housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

RME3 = UL listed device without GPS capability, green housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

RME4 = UL listed device without GPS capability, yellow housing color, includes ROAM capable node only, ROAM service package sold separately via Acuity Controls and contact Acuity Controls for RME device with GPS capability or non-standard color

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Use the factors to determine relative lumen output for average ambient temperatures from 0-40C (32-104F)

Ambient Temp (degrees C) Lumen Multiplier								
0	5	10	15	20	25	30	35	40
1.05	1.04	1.03	1.02	1.01	1.00	0.99	0.98	0.97

PROJECTED LED LUMEN MAINTENANCE

Data references the extrapolated performance projections for the platforms noted in 25C ambient, based on 6,000 hours of IED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Package	Lumen Maintenance						L70 Hrs
	25k hrs	36k hrs	50k hrs	60k hrs	75k hrs	100k hrs	
P20-P40	0.97	0.96	0.95	0.94	0.93	0.91	383,000
P50	0.96	0.94	0.93	0.91	0.90	0.87	267,667

PERFORMANCE DATA

LED Package	Distribution	System Watts	2700K		3000K		4000K		5000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW
P20	L2	45	4174	93	4265	95	4701	104	4853	108
	L3	45	3756	83	3838	85	4230	94	4357	97
	L4	45	3968	88	4054	90	4468	99	4603	102
	L5	45	4120	92	4210	94	4640	103	4780	106
P30	L2	66	5952	90	6082	92	6703	102	6905	105
	L3	66	5355	81	5472	83	6031	91	6213	94
	L4	66	5657	86	5781	88	6371	97	6563	99
	L5	66	5874	89	6002	91	6615	100	6815	103
P40	L2	89	7656	86	7823	88	8622	97	8882	100
	L3	89	6888	77	7038	79	7757	87	7991	90
	L4	89	7277	82	7436	84	8195	92	8442	95
	L5	89	7667	85	7721	87	8509	96	8766	98
P50	L2	139	11058	80	11300	81	12454	90	12830	92
	L3	139	9959	72	10166	73	11205	81	11543	83
	L4	139	10511	76	10740	77	11837	85	12195	88
	L5	139	10914	79	11152	80	12291	88	12662	91

FPDXX DATA OPTIONS

FPDxx Setting	Wattage	P20 27K				P20 30K				P20 40K				P20 50K			
		L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	45	4174	3756	3968	4120	4265	3838	4054	4210	4701	4230	4468	4640	4843	4357	4603	4780
FPD95	43	3966	3568	3769	3914	4052	3646	3852	3999	4466	4018	4245	4408	4601	4139	4373	4541
FPD90	41	3757	3380	3571	3708	3839	3454	3649	3789	4231	3807	4021	4176	4359	3921	4143	4302
FPD85	38	3548	3192	3372	3502	3626	3262	3446	3578	3996	3595	3798	3944	4117	3704	3913	4063
FPD80	36	3339	3004	3174	3296	3412	3070	3243	3368	3761	3384	3575	3712	3874	3486	3683	3824

FPDxx Setting	Wattage	P30 27K				P30 30K				P30 40K				P30 50K			
		L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	66	5952	5355	5657	5874	6082	5472	5781	6002	6703	6031	6371	6615	6905	6213	6563	6815
FPD95	63	5654	5087	5374	5580	5778	5198	5492	5702	6368	5729	6053	6285	6560	5902	6235	6474
FPD90	59	5357	4819	5092	5287	5474	4925	5203	5402	6033	5428	5734	5954	6215	5591	5907	6134
FPD85	56	5059	4552	4809	4993	5170	4651	4914	5102	5698	5126	5415	5623	5870	5281	5579	5793
FPD80	53	4762	4284	4526	4699	4865	4377	4625	4802	5362	4825	5097	5292	5524	4970	5251	5452
FPD75	50	4464	4016	4243	4406	4561	4104	4336	4502	5027	4523	4778	4962	5179	4660	4923	5111
FPD70	46	4166	3748	3960	4112	4257	3830	4046	4202	4692	4221	4460	4631	4834	4349	4594	4771

FPDxx Setting	Wattage	P40 27K				P40 30K				P40 40K				P40 50K			
		L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	89	7656	6888	7277	7556	7823	7038	7436	7721	8622	7757	8195	8509	8882	7991	8442	8766
FPD95	85	7273	6543	6913	7178	7432	6686	7064	7335	8191	7369	7785	8084	8438	7592	8020	8328
FPD90	80	6890	6199	6549	6800	7041	6334	6692	6949	7760	6891	7375	7658	7994	7192	7598	7889
FPD85	76	6507	5855	6185	6422	6649	5982	6320	6562	7329	6593	6966	7233	7550	6792	7176	7451
FPD80	71	6125	5510	5821	6045	6258	5631	5948	6176	6897	6206	6566	6807	7106	6393	6754	7013

FPDxx Setting	Wattage	P50 27K				P50 30K				P50 40K				P50 50K			
		L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5	L2	L3	L4	L5
Standard	139	11058	9949	10511	10914	11300	10166	10740	11152	12454	11205	11837	11291	12830	11543	12195	12662
FPD95	132	10506	9452	9985	10368	10735	9658	10203	10594	11831	10644	11245	11677	12188	10966	11585	12029
FPD90	125	9953	8954	9460	9822	10170	9150	9666	10037	11209	10084	10654	11062	11547	10389	10975	11396
FPD85	118	9400	8457	8934	9277	9605	8641	9129	9479	10586	9524	10062	10447	10905	9811	10365	10763
FPD80	111	8847	7959	8409	8731	9040	8133	8592	8922	9963	8964	9470	9833	10264	9234	9756	10130

COMPONENTS & OPTIONS DATA



AO
Manual field adjustable output dimming device



RME (External)
Remote Asset Management Control Dimming Device
(specify with receptacle)



DE
Remote Asset Management Control Decorative Node
(specify with P3 receptacle)



20kV
Safeguard your investment from extreme voltage spikes with our new Extreme 20kV/10kA SPD



HSS
Minimize backlight with a louvered house-side-shield. Available as a factory option or field accessory

LEGAL DESCRIPTION — VESTING DEED:

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:
 Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:
 Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:
 Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

LEGAL DESCRIPTION — TITLE COMMITMENT:

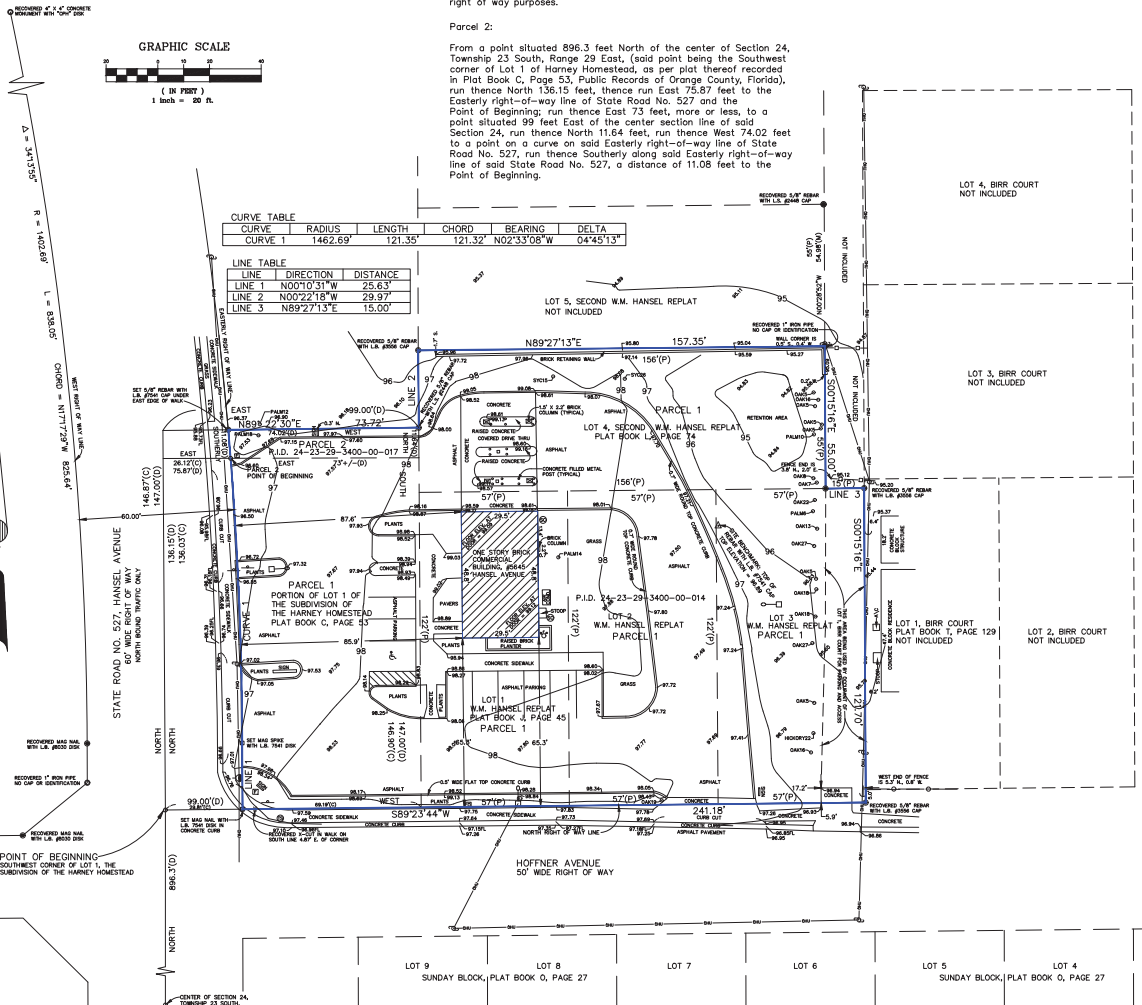
The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:
 Parcel 1:
 A portion of Lot 1 of The Subdivision of the Harney Homestead, more particularly described as follows:
 Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:
 Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:
 Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

Parcel 2:
 From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08"W	04°45'13"

LINE TABLE

LINE	DIRECTION	DISTANCE
LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	23.97'
LINE 3	N89°27'13"E	15.00'

SURVEYOR'S NOTES:
 BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF 89°23'44".
 THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-5182324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.
 NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN. THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.
 THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
 UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.
 HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINIMAL FLOODING".
 SEE MAP NUMBER 12095C0430 F, DATED 9-25-2009.
 ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
 THE SUBJECT PROPERTY CONTAINS 39.941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS.
 SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:
 REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S REPORT, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS:
 EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS, HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRK COURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3.
 EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS.
 EXCEPTION 9: MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HARNEY HOMESTEAD, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 10: MATTERS SHOWN ON THE PLAT OF THE W.M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 11: MATTERS SHOWN ON THE PLAT OF SECOND W.M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.
 EXCEPTION 12: DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565. THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A FLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON.
 EXCEPTION 13: THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

CONTIGUITY STATEMENT:
 BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECEIVED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT:
 PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HATTUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:
 THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION — DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION — TITLE COMMITMENT.

CERTIFIED SOLELY AND EXCLUSIVELY TO:
 WHITE & LUCZAK, P.A.
 FIRST AMERICAN TITLE INSURANCE COMPANY
 ORNL INVESTMENTS LLC
 AOKAN BANK, N.A.

- MAP LEGEND:**
- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
 - (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
 - (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
 - (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
 - LB INDICATES LAND SURVEYING BUSINESS.
 - LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
 - PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
 - P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
 - ☉ INDICATES A WOOD UTILITY POLE.
 - ← INDICATES A GUY WIRE ANCHOR.
 - INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
 - ▲ INDICATES A METAL SIGN ON A METAL POST.
 - ⊙ INDICATES A PVC SANITARY CLEANOUT.
 - ⊕ INDICATES A WATER BACK FLOW PREVENTER.
 - ⊖ INDICATES A CONCRETE POLE OR SIGN FOOTER.
 - ⊙ INDICATES A TRAFFIC SIGNAL JUNCTION BOX.
 - ⊙ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
 - ⊙ INDICATES A HANDICAP PARKING SPACE.
 - ⊙ INDICATES AN ELECTRIC JUNCTION BOX.
 - ⊙ INDICATES A FIBER OPTIC JUNCTION BOX.
 - INDICATES A CHAIN LINK FENCE.
 - INDICATES A WOOD PRIVACY FENCE.
 - INDICATES OVERHEAD UTILITY LINE(S).
 - ⊙ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
 - ⊙ INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
 - ⊙ INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
 - ⊙ INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.
 - ⊙ INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.
 - ⊙ INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.

AccuMap SURVEYING, LLC
 We draw this line around your piece of the sunshine
 2919 MONTICHEL LANE, WINTER PARK, FL 32789-4371
 Tel. 407-657-2568 E-mail: don@accumapsurveying.com
 Certificate of Authorization Number: LB 7541

PREPARED FOR:
ORNL INVESTMENTS, LLC
NELSON LERMA, JR.

1073 CAMPBELL STREET
 ORLANDO, FLORIDA 32806
 352-262-8955

MAP OF BOUNDARY
 AND TOPOGRAPHIC
 SURVEY

5643 AND 5645
 HANSEL AVENUE

IN SECTION 24,
 TOWNSHIP 23 SOUTH,
 RANGE 29 EAST

Surveyor's Certificate
 THIS IS TO CERTIFY THAT I AM A LICENSED SURVEYOR OF THE STATE OF FLORIDA AND THAT I HAVE PERSONALLY CONDUCTED A FIELD SURVEY OF THE HEREIN DESCRIBED PROPERTY, FOR THE PURPOSES HEREIN DESCRIBED. I HAVE MET THE STANDARDS OF PRACTICE FOR SAID SURVEY, SET FORTH IN THE FLORIDA SURVEYING AND MAPPING ACT, AND I HAVE EXERCISED THE BENEFIT OF THE ENTITLED LISTED HEREON AND SHALL NOT BE HELD RESPONSIBLE BY ANY OTHER ENTITY AND/OR INDIVIDUAL WHOEVER.
 State of Florida License #4608
 Don A. Moore 10-15-21
 Don A. Moore, Florida License #4608
 FIRST AMERICAN TITLE INSURANCE COMPANY
 ORNL INVESTMENTS LLC
 AOKAN BANK, N.A.



Revisions

NO.	DATE	BY	REVISION
1	04/08/21	DLB	ISSUE
2	04/08/21	DLB	REVISIONS TO THE TOPOGRAPHY
3	04/08/21	DLB	REVISIONS TO THE TOPOGRAPHY
4	04/08/21	DLB	REVISIONS TO THE TOPOGRAPHY

SCALE 1" = 20'
 JOB # S242329
 SHEET 1
 54

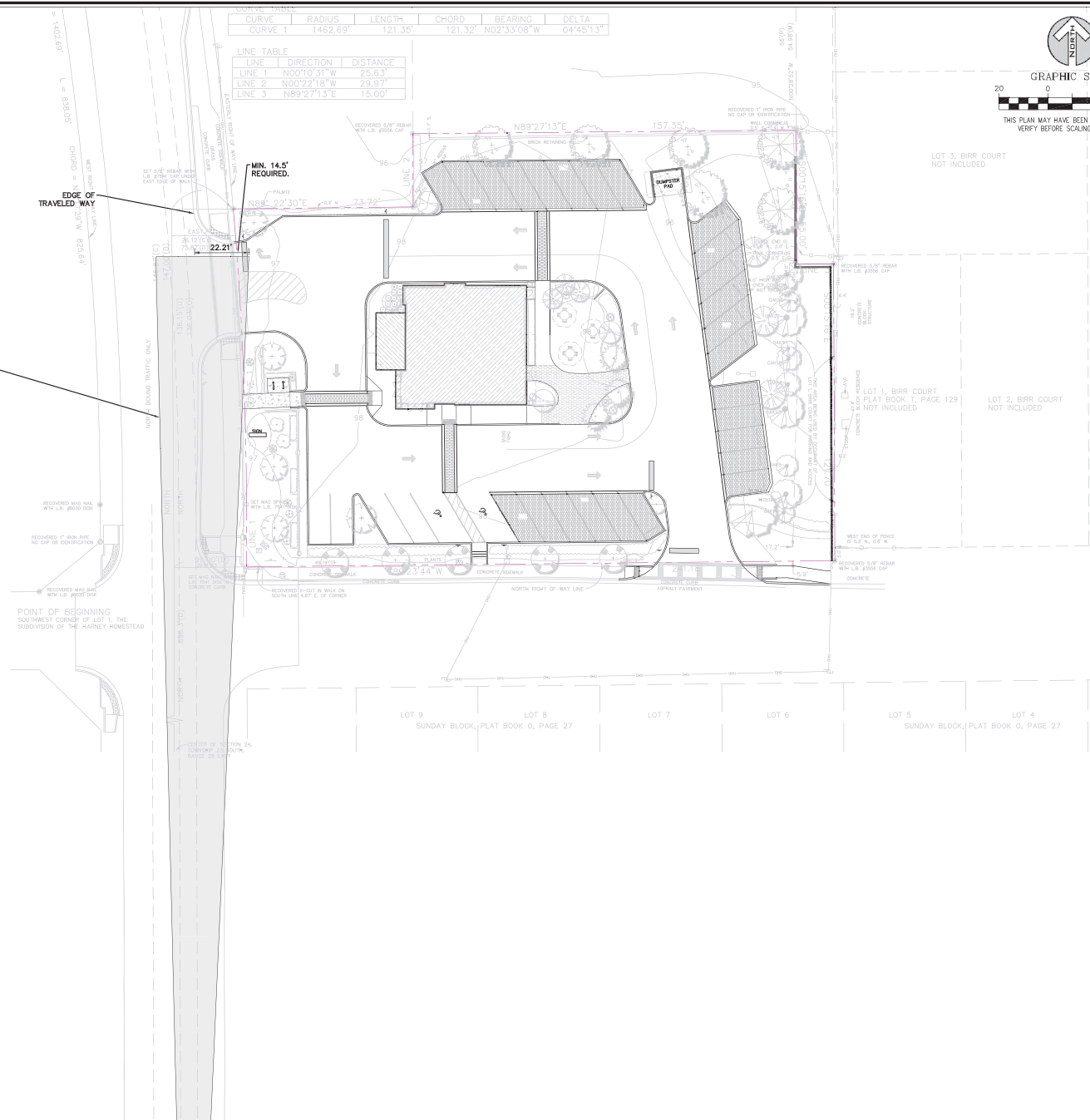
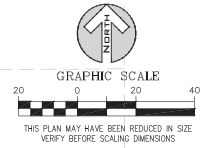
SIGHT TRIANGLE NOTES:

FDOT DESIGN MANUAL (FDOT DESIGN MANUAL SECTION 212.11.1)
 PICTORIAL: 2 LANE UNDIVIDED - ONE-WAY (RIGHT-ONLY)
 ASSUMED DESIGN SPEED: 40 MPH

SIGHT DISTANCE (S)
 LOOKING SOUTH ON HANSEL
 AVENUE = 560 FEET

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.89'	121.35'	121.32'	N02°33'08" W	04°45'13"

LINE	DIRECTION	DISTANCE
LINE 1	N00°02'31" W	25.63'
LINE 2	N00°22'18" W	23.97'
LINE 3	N89°27'13" E	15.00'



HARRIS

Harris Civil Engineers, LLC
 1200 Hillcrest Street
 Suite 200
 Orlando, Florida 32803
 Phone: (407) 629-4777
 Fax: (407) 629-7888
 www.harrisengineers.com
 EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
 C/O NELSON LERMA, JR
 1073 CAMPBELL ST
 Orlando, Florida
 32806

Revisions:

No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		

EXHIBIT 1 - SIGHT TRIANGLE ANALYSIS (HANSEL AVE)
 Scale: NTS
 Date: 2022-10-12
 Project No: 7381000
 Design: DWT
 Drawn: AL
 Check/ect: DWT

This item has been digitally signed and sealed by David Taylor, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



David W. Taylor, P.E.
 PL 15-8-00028
Release:

EX-1

Revisions:

No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

EXHIBIT 3 - SIGHT TRIANGLE ANALYSIS (HOFFNER AVE)

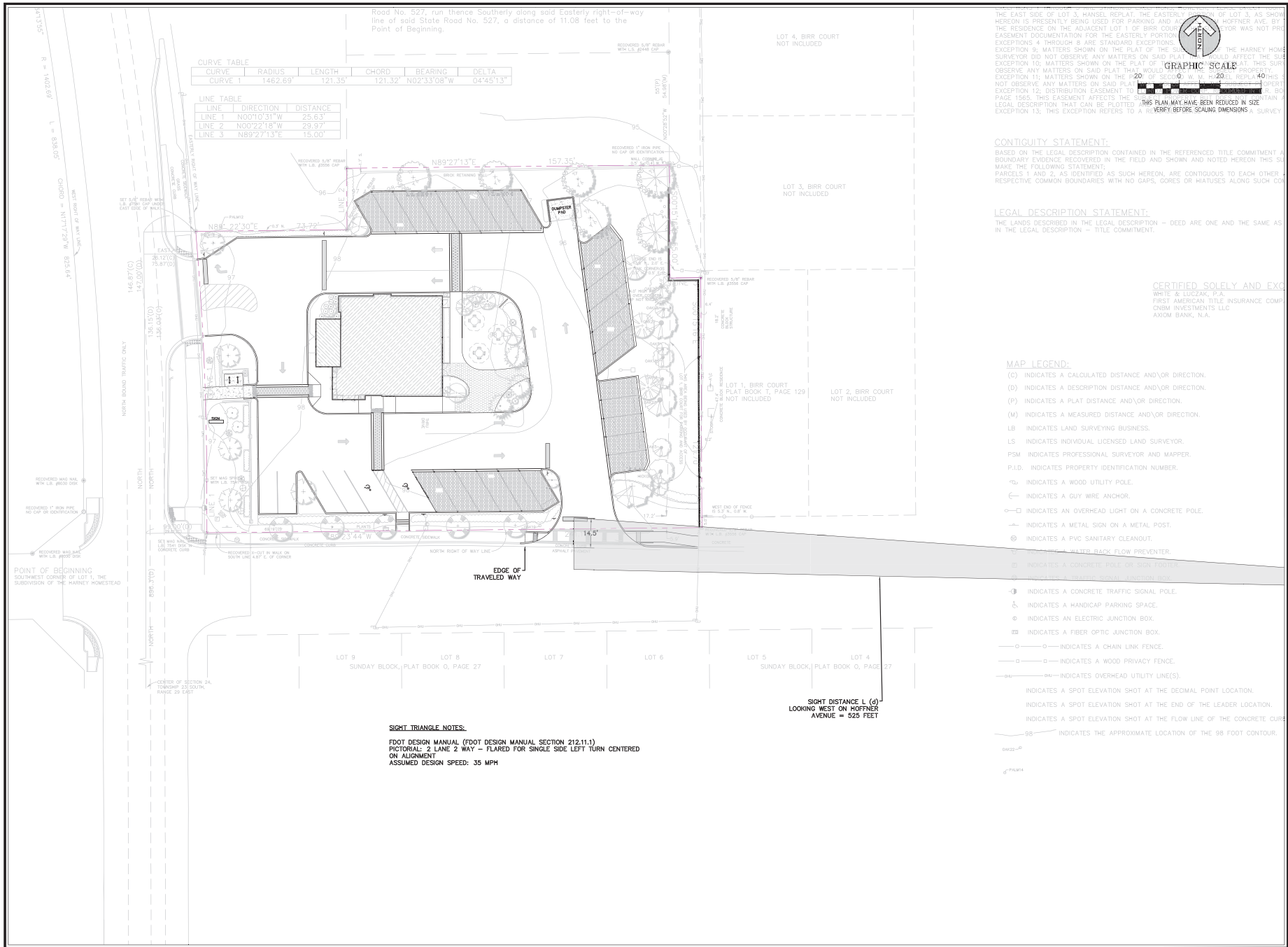
Scale: NTS
Date: 2025-10-12
Project No: 7381000

Design: DWT
Drawn: AL
Check/ect: DWT

This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

David W. Taylor, PE
PL 1E-8-60308

Release:



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08"W	04°45'13"

LINE TABLE

LINE	DIRECTION	DISTANCE
LINE 1	N00°10'31"W	75.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'

THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN HEREON IS PRESENTLY BEING USED FOR PARKING AND AS SUCH, HOFFNER AVE. BY THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRN COURT. THE SURVEYOR WAS NOT PROVIDED EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3. THE HARNEY HOME SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 9; MATTERS SHOWN ON THE PLAT OF THE HARNEY HOME SURVEYOR THAT THIS SURVEY OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 10; MATTERS SHOWN ON THE PLAT OF THE HARNEY HOME SURVEYOR THAT THIS SURVEY NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 11; MATTERS SHOWN ON THE PLAT OF THE HARNEY HOME SURVEYOR THAT THIS SURVEY NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SURVEY. EXCEPTION 12; DISTRIBUTION EASEMENT T. EXCEPTION 13; THIS EXCEPTION REFERS TO A REVEY BEFORE SCALING DIMENSIONS A SURVEY.

CONTIGUITY STATEMENT:
BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT A BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEY MAKE THE FOLLOWING STATEMENT:
PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER AND RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, CORES OR HIATUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:
THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - DEED ARE ONE AND THE SAME AS IN THE LEGAL DESCRIPTION - TITLE COMMITMENT.

- MAP LEGEND:**
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 - ⊜ INDICATES A CONCRETE POST OR SIGN FOOTING.
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 - ⊞ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
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 - ⊥ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
 - ⊦ INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
 - ⊧ INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
 - ⊨ INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.

SIGHT TRIANGLE NOTES:
FDOT DESIGN MANUAL (FDOT DESIGN MANUAL SECTION 212.1.1)
PICTORIAL: 2 LANE 2 WAY - FLARED FOR SINGLE SIDE LEFT TURN CENTERED ON ALIGNMENT
ASSUMED DESIGN SPEED: 35 MPH

SIGHT DISTANCE L (D) LOOKING WEST ON HOFFNER AVENUE = 525 FEET

Section E, Item 3.

HARRIS

Harris Civil Engineers, LLC
 1200 Hillcrest Street
 Suite 200
 Orlando, Florida 32803
 Phone: (407) 629-4777
 Fax: (407) 629-7868

www.harriscivilengineers.com
 EB 9814

5645 HANSEL AVE, EDGEWOOD, FL
 C/O NELSON LERMA, JR
 1078 CAMPBELL ST
 Orlando, Florida
 32806

Revisions:

No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

FIRE TRUCK ACCESS PLAN

Scale: SEE SHEET
 Date: 2021-09-08
 Project No: 7991000
 Design: DWT
 Drawn: CT
 Checked: DWT

This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

David W. Taylor, P.E.
 P.E. # 40003

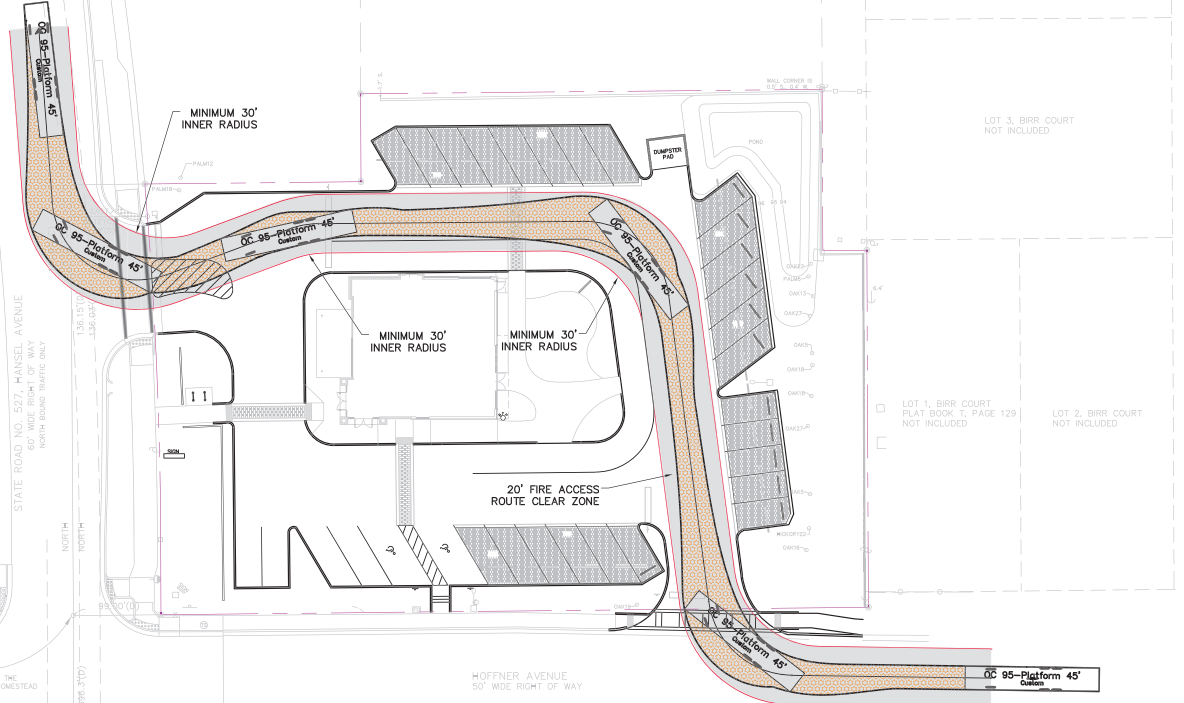
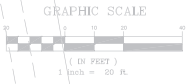
Release:

EX-4

right-of-way purposes.

Parcel 2:

From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.97 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.



STATE ROAD NO. 527, HANSEL AVENUE
 60' WIDE RIGHT OF WAY
 NORTH BOUND TRAFFIC ONLY

HOFFNER AVENUE
 50' WIDE RIGHT OF WAY

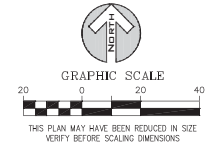
LOT 9 SUNDAY BLOCK, PLAT BOOK Q, PAGE 27
 LOT 8
 LOT 7
 LOT 6
 LOT 5 SUNDAY BLOCK, PLAT BOOK Q, PAGE 27
 LOT 4

LOT 4, BIRR COURT
 NOT INCLUDED

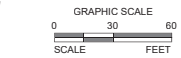
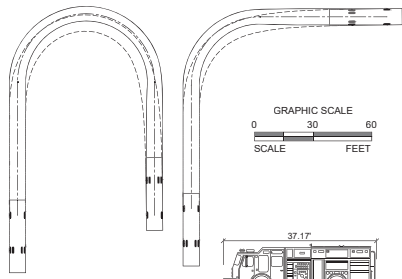
LOT 3, BIRR COURT
 NOT INCLUDED

LOT 1, BIRR COURT
 PLAT BOOK T, PAGE 129
 NOT INCLUDED

LOT 2, BIRR COURT
 NOT INCLUDED



THIS PLAN MAY HAVE BEEN REDUCED IN SIZE
 VERIFY BEFORE SCALING DIMENSIONS



*NOTE:
 ASSUMPTIONS AND MODIFIED
 TEMPLATES TAKEN FROM
 AUTOTURN 6.2 SOFTWARE.

ORANGE COUNTY HP75 AERIAL LADDER
 Width : 8.33'
 Track : 8.33'
 *Lock to Lock Time : 6.0
 *Steering Angle : 31.8
 *Min. Centerline Radius : 34.0'
 *Modified SU AASHTO 2004 (US) North America

FIRE TRUCK DIMENSIONS
 N.T.S.