



CITY COUNCIL REGULAR MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Tuesday, March 21, 2023 at 6:30 PM

AGENDA

Welcome! We are very glad you have joined us for today's Council meeting. If you are not on the agenda, please complete an appearance form and hand it to the City Clerk. When you are recognized, state your name and address. The Council is pleased to hear relevant comments; however, a **five (5) minute limit** has been set by Council. Large groups are asked to name a spokesperson. **Robert's Rules of Order** guide the conduct of the meeting. **Please silence all cellular phones and pagers during the meeting.** Thank you for participating in your City Government.

A. CALL TO ORDER, INVOCATION, & PLEDGE OF ALLEGIANCE

B. ROLL CALL & DETERMINATION OF QUORUM

C. OATHS OF OFFICE

1. Administer Oaths of Office for Councilmembers Rader and Lomas

D. ELECTION OF COUNCIL PRESIDENT & PRESIDENT PRO-TEM

1. Election of Council President and Council President Pro-tem

E. CONSENT AGENDA

Items on the consent agenda are defined as routine in nature, therefore, do not warrant detailed discussion or individual action by the Council. Any member of the Council may remove any item from the consent agenda simply by verbal request prior to consideration of the consent agenda. The removed item(s) are moved to the end of New Business for discussion and consideration.

1. February 21, 2023 City Council Meeting Minutes

F. ORDINANCES (FIRST READING)

G. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)

1. Ordinance 2023-02: Boat Docks/Houses Residential Districts
2. Ordinance 2023-03: ECD Special Exception Change (Car Washes)

H. UNFINISHED BUSINESS

I. NEW BUSINESS

- [1.](#) Resolution 2023-01 Budget Amendmen
- [2.](#) IT Items for Disposal
- [3.](#) Discussion and Direction to Staff for Accessory Structures in the ECD
- [4.](#) Addendum - Request to extend Variance 2022-02 535 Mandalay Rd

J. GENERAL INFORMATION**K. CITIZEN COMMENTS****L. BOARDS & COMMITTEES**

- [1.](#) Boards & Committees Report 3-13-23
- [2.](#) Haven Oaks Final Plat Approval
- [3.](#) Haven Oaks Final Subdivision Plans Approval

M. STAFF REPORTS

City Attorney Smith

Police Chief DeSchryver

- [1.](#) Police Chief Report - February 2023

City Clerk Riffle

- [1.](#) Charter Review Commission - request for commission members

N. MAYOR AND CITY COUNCIL REPORTS

Mayor Dowless

Council Member Chotas

Council Member Pierce

Council Member Rader

Council Member Lomas

Council President Horn

O. ADJOURNMENT**UPCOMING MEETINGS**

Monday, April 10, 2023.....Planning & Zoning Meeting
Tuesday, April 18. 2023.....City Council Meeting

Meeting Records Request

You are welcome to attend and express your opinion. Please be advised that **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made.

Americans with Disabilities Act

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



CITY COUNCIL REGULAR MEETING
City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Tuesday, February 21, 2023 at 6:30 PM

DRAFT MINUTES

CALL TO ORDER, INVOCATION, & PLEDGE OF ALLEGIANCE

Council President Horn called the meeting to order at 6:30 pm. He asked for a moment of silence and then led the Pledge of Allegiance.

ROLL CALL & DETERMINATION OF QUORUM

City Clerk Riffle announced a quorum with four Councilmembers and Mayor Dowless present. She said that Councilmember Chotas was out of town and could not attend and requested to be excused.

Councilmember Rader made a motion to excuse Councilmember Chotas' absence, seconded by Councilmember Pierce. Motion approved by voice vote (4/0).

PRESENT

John Dowless, Mayor
Richard A. Horn, Council President
Ben Pierce, Council President Pro-Tem
Susan Lomas, Councilmember
Councilmember Chris Rader

ABSENT

Councilmember Lee Chotas

STAFF

Sandra Riffle, City Clerk
Dean DeSchryver, Police Chief
Shannon Patterson, Police Chief of Staff
Drew Smith, City Attorney
Ellen Hardgrove, City Planner

APPLICANT

Nelson Lerma - Mecato's Bakery

PRESENTATION OF PROCLAMATION

CONSENT AGENDA

- January 13, 2023 Special Council Meeting Minutes
January 17, 2023 Regular Council Meeting Minutes

January 13, 2023 Special Council Meeting Minutes

Councilmember Lomas requested to add her name to the list of Councilmembers as present.

January 17, 2023 Regular Council Meeting Minutes

Council President Horn requested to move Mayor Dowless and Councilmember Chotas as present.

Councilmember Rader made a motion to approve the January 13, 2023 and January 17, 2023 meeting minutes with corrections; seconded by Councilmember Lomas. Motion approved by voice vote (4/0).

Note: Minutes are in the order that each business item was heard.

ORDINANCES (PART 1)

- **Ordinance 2023-02: Boat Docks/Houses Residential Districts**

Attorney Smith read Ordinance 2023-02 in title only.

Planner Hardgrove said this ordinance is to recommend an administrative change to the residential zoning districts. She said staff recommends that the design requirements of boat docks/houses in the R-1-AAA, R-1AA, R-1-A, and R-2 zoning districts be changed to simply require conformance with the boat dock regulations in City Code, Chapter 14.

There were no proposed changes to the Ordinance and no public comment.

Councilmember Pierce voted to approve Ordinance 2023-02; seconded by Councilmember Lomas. Motion approved (4/0) by roll call vote.

Councilmember Rader	Approve
Councilmember Lomas	Approve
Council President Horn	Approve
Councilmember Pierce	Approve
Councilmember Chotas	Absent

- **Ordinance 2023-03: ECD Special Exception Change**

Attorney Smith read Ordinance 2023-03 in title only.

Planner Hardgrove said to maintain the City’s vision of the ECD, this is a recommended change to allow car washes as a special exception rather than as a permitted use, providing an additional review to ensure compatibility with surrounding properties.

Public Comment:

City Clerk Riffle summarized two emails that were received before the meeting with objections to car washes.

Sue Fulford, an Edgewood business owner, spoke as an opponent to allowing car washes as a permitted use or a special exception. She said the area by Gatlin and Holden is a bad location for a car wash, and there is too much traffic in that location.

Councilmember Rader clarified that this Ordinance would change car washes from a permitted use to a special exception. A special exception required that more criteria be met and would go through the Planning and Zoning review process in order to be allowed in a location.

Councilmember Pierce made a motion to approve Ordinance 2023-03; seconded by Councilmember Rader. Motion approved by roll call vote (4/0).

Councilmember Lomas	Approve
Councilmember Rader	Approve
Councilmember Pierce	Approve
Council President Horn	Approve
Councilmember Chotas	Absent

PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)

- **Ordinance 2022-08: Comp Plan Amendment (2nd Reading)**

Attorney Smith read Ordinance 2022-08 in title only.

Planner Hardgrove explained this is the end of the Comprehensive Plan amendment process to establish a new land use designation for a proposed use that would need additional review to ensure land use compatibility. Any use allowed in any of the other future land use designations would be allowed to be considered for a Site Specific Plan future land use designation.

She said the State had no comment on the proposed amendment.

Councilmember Rader expressed concerns about allowing any use to be considered for a proposed Site Specific Plan future land use map amendment. He said that Industrial zoning use seems inappropriate for Edgewood and inconsistent with the desired direction. He said most issues that have come before the Council in the last few years centered around industrial types of properties.

Planner Hardgrove explained that applicants would have to propose a specific policy that identified the proposed uses simultaneously with a proposed future land use map amendment to a Site Specific Plan designation and Council would have the ability to limit those uses based on adjacent land use compatibility.

Attorney Smith said a true industrial use would not be allowed since the City’s comprehensive plan does not have an Industrial future land use designation; however, there are industrial-like uses in the City’s commercial districts which could be allowed.

Councilmember Rader said the process to get to the dais is very onerous and will create an expectation of an applicant that when they get to Council, they will be on their way to approval.

Attorney Smith said if this Ordinance is adopted and an application is submitted, it is incumbent upon staff to impart to the applicant that the process does not guarantee approval.

There was no public comment.

Councilmember Pierce made a motion to approve Ordinance 2022-08; seconded by Councilmember Lomas. The motion was approved by a roll call vote (4/0).

Councilmember Pierce	Approve
Councilmember Rader	Approve
Councilmember Lomas	Approve
Council President Horn	Approve
Councilmember Chotas	Absent

- **Ordinance 2022-12: Rezoning Notice**

Attorney Smith read Ordinance 2022-12 in title only.

Attorney Smith explained that City Code requires more onerous notice requirements than what the State requires and that the proposed ordinance states that the City will follow State law regarding notice. He said there are no changes since the first reading.

There was no public comment.

Councilmember Rader made a motion to approve Ordinance 2022-12; seconded by Councilmember Pierce. Motion approved by a roll call vote (4/0).

Councilmember Rader	Approve
Councilmember Lomas	Approve
Councilmember Pierce	Approve
Council President Horn	Approve
Councilmember Chotas	Absent

ORDINANCES (PART 2)

- **Ordinance 2023-01: Site-Specific CP PD**

Attorney Smith read Ordinance 2023-01 in title only.

Planner Hardgrove said this is the tool that will implement the new Future Land Use designation. The intent of this new regulation is to provide a coordinated development approval process between the City, developers, adjacent property owners, and other stakeholders to ensure adjacent land use compatibility. In response to Councilmember Rader’s question as to the difference between the City’s C-3 zoning district and Industrial

zoning district, Attorney Smith said the Industrial zoning can do more than what is permitted in C-3, only by special exception.

Councilmember Rader said he does not even want to include C-3 special exceptions because it would be industrial. He suggested that I, IND-CA, and C-3 be removed from line 64 (permitted uses) based on the City's vision. Mayor Dowless disagreed.

Councilmember Rader said this Ordinance could potentially put a warehouse next to a residential area. The C-3 district prohibits that. He added that he wants to open the conversation to prohibit quasi-industrial uses from the list of permitted uses in this new district given Council has fought to eliminate such uses in the City.

Mayor Dowless responded there are industrial uses such as tech manufacturing and other potential uses that could be compatible with the City's vision and he does not want to be short-sighted.

Council President Horn noted that the process would make it so Council and staff would know what is being applied for. The City would have the ability to vet and determine if it is something the City wants through the process to rezone a property to this new district.

Councilmember Rader said he could not support this Ordinance as presented.

Council President Horn said he did not necessarily disagree with Councilmember Rader, but he did not want to shut the door on good possibilities.

The following changes were recommended to be made to the proposed ordinance:

- | | |
|----------|--|
| Line 85 | Remove the examples for mitigating the visual impacts, operational impacts, and impact to public services and facilities. |
| Line 135 | Related to utility information that needs to be provided, the method of connection needs to be added to avoid a situation such as that which occurred at Mecato's. |
| Line 144 | Traffic analysis, should always be required. |
| Line 174 | Related to replacement trees, City's Landscape Architect needs to be consulted to increase the caliper of replacement trees. |
| Line 217 | Related to the required development agreement, there needs to be clarification that it is a draft agreement that is required to be submitted prior to P&Z hearing. |

Lines 247 and 284

Related to notices of public hearing, Council asked staff to revise the language to ensure that all property owners in an abutting subdivision are noticed.

Line 310

Related to amendments to an approved CP PD plan, revise to make any change to a building design or location within 300 feet of a property boundary a substantial change.

There was no public comment.

Council President Horn made a motion to approve Ordinance 2023-01 with the discussed amendments; seconded by Councilmember Pierce. Motion approved by roll call vote (3/1).

Councilmember Lomas	Approve
Councilmember Rader	Deny
Councilmember Pierce	Approve
Council President Horn	Approve
Councilmember Chotas	Absent

UNFINISHED BUSINESS

NEW BUSINESS

1. Charter Review Commission

City Clerk Riffle explained that the City Charter requires a Charter Review Commission to be organized by May 1, 2023. She requested recommendations from Council for people to serve on the committee. The commission members must be chosen by the April 18, 2023 meeting to be organized by the deadline of May 1, 2023, and for the process to be completed by the October 1st deadline set in the Charter.

City Clerk Riffle said that she will provide this information on the Charter Review again for the March 21, 2023 agenda to discuss candidates for the commission.

Councilmember Pierce asked for the level of time commitment to serve on the commission. City Clerk Riffle said that last time the Commission met approximately twice a week between May and the end of September.

Attorney Smith said the duration is short, but the meetings are compressed, which means weekly or bi-weekly meetings. It is possible that the commission will meet only a few times if there is not much that is recommended to change. The recommendations go to City Council for their review and approval for the ballot. He suggested that candidates should be people without a lot of commitments so they can meet frequently.

Mayor Dowless requested that councilmembers send their list of candidates to City Clerk Riffle so that she can share that list with Council before the meeting.

GENERAL INFORMATION**CITIZEN COMMENTS**

Terence Curran, owner of Amphibious Group spoke to Council with a request to have a storage unit behind their property at 5639 Hansel Avenue. He has 59 employees working 7 days a week and plans to grow by an additional 135 people. He plans to increase the building space on the property but he is not ready to build for a year or two. In the meantime, he wants to install a permanent storage unit to store his medical supplies. It will not be office space.

He said that two sheds existed on the property when he bought the building.

Mr. Curran said the storage unit would not be visible except from 7-11 or the bus stop.

Planner Hardgrove said the ECD does not allow temporary structures except for construction trailers. She said that Nathaniel's Hope was denied a storage unit and the frame shop was required to move theirs off the property. She wants to avoid setting a precedent.

Mr. Curran said that he is out of space. They are closing their other offices and making their headquarters in Edgewood. He said he is waiting to build because the cost of materials is so high. He said he receives over 200 packages a day that must be climate controlled.

Attorney Smith told Mr. Curran that there are hurdles in Code that need to be overcome, and asked Council for their direction. He said that he and Planner Hardgrove could try and find options for a temporary solution while they prepare to build. He said that there would have to be a time limit.

Councilmember Rader said he would want to see an application with a certain end time, so the storage unit is not there for years and would not want to involve code enforcement or set a precedent.

Councilmember Rader cautioned Mr. Curran related to increasing impervious surface on the property including Mr. Curran's relocation of the existing two shed from the parking lot location to the grassed area. The increased impervious surface and runoff was probably not part of the original approved plans.

Attorney Smith acknowledged that the market conditions are real. He suggested considering something on a temporary basis that would sunset within a specific time period. Councilmember Rader agreed that a solution would need a specific end time.

In response to Mayor Dowless's question related to fencing as a screen for the storage unit Mr. Curran is proposing, Planner Hardgrove confirmed to Mayor Dowless that existing fences are grandfathered in the ECD, but new fences greater than four feet are not allowed. Mayor Dowless added that the goal is to get rid of them.

Mayor Dowless said he wants to help but they do not want trailers (the proposed storage unit) everywhere.

Edgewood business owner Sue Fulford said she does not want to see trailers everywhere either, but she likes the attitude of the council to try to work to find a way for a solution.

Mr. Curran says he wants to get to yes. He appreciated the Council's time.

BOARDS & COMMITTEES

- **Waiver 2023-01: Mecato's Bakery Wall**

Planner Hardgrove said the waiver request is to waive the ECD-required 7-foot high brick wall on the east property line abutting a single-family residential area.

She said that staff recommends approval and P&Z agreed.

Mr. Lerma, owner of Mecato's Bakery, said he is requesting to substitute a six feet high fence that has the appearance of stone instead of the required brick wall. He said a 4-inch force main was found to cut through their property about 10 feet from the property's east boundary. Currently, there is no County easement where this force main is located. The County is requiring a 20 feet wide easement along the property line in order for Mecato's to be connected to the line. Furthermore, the County will not allow any permanent structures in the easement including a wall; they would allow a fence.

Mr. Lerma showed the proposed fence with a stone design. The fence comes in 6 or 8 feet tall panels. He suggests 6 feet. It is better than a vinyl fence.

Officer Zane entered the meeting at 8:22 pm.

Councilmember Pierce asked if Mr. Lerma could build the brick wall on the west side of the easement. Mr. Lerma responded that they could but could not control the land between the fence and the property line; it would become isolated and be a potential area for trash and trespassing.

Planner Hardgrove added that there is natural vegetation on the west side of the proposed easement that would have to be removed if the fence were to be placed on the west side of the easement.

Mr. Lerma confirmed to Councilmember Lomas that Orange County has no objection to a fence.

Mr. Lerma said the lift station is designed to serve two properties: Mecato's and the Amphibious Group.

Mr. Lerma asked if the Council wanted to select the color. Attorney Smith suggested a color that would work with Nelson's building's color palette.

Rader motioned approval of waiver 2023-01, conditioned on the provision of a six (6) feet high composite fence that provides the appearance of a stone or brick wall and is consistent

with the color palette of the proposed building; seconded by Councilmember Lomas. The motion was approved by a roll call vote (4/0).

Councilmember Rader	Approve
Councilmember Lomas	Approve
Councilmember Pierce	Approve
Council President Chotas	Absent

STAFF REPORTS

- **City Attorney Smith**

Attorney Smith said that he and City Clerk Riffle attended a mediation for the Luz Rivera case which was a trip and fall on Orange Avenue by the traffic light box. There were three defendants, and the City settled for \$25,000. FDOT also settled for \$25,000, and the maintenance company settled for \$50,000. He felt it was an efficient settlement considering there were three law firms involved.

- **Chief DeSchryver – January 2023 Report**

- Chief DeSchryver said he is looking forward to being sworn in next month.
- He is working diligently to get staff positions filled. By end of the month the Police Department will have offers to three officers to begin the middle of March. By the end of July or August, he expects to be fully staffed.
- Mayor Dowless said Chief DeSchryver’s and Chief Gauntlett’s relationships were important to the process and that is how they found the new officers.
- Property and violent crimes are largely unchanged.

- **City Clerk Riffle**

Next month is the business meeting and Councilmembers Lomas and Rader will be sworn in. Council will vote for President and President Pro-Tem and assign responsibilities.

MAYOR AND CITY COUNCIL REPORTS

- **Mayor Dowless**

- Mayor Dowless asked if Council could come at 6 pm on March 21, 2023 to swear in Chief DeSchryver. There were no objections.
- ARPA dollars have to be encumbered by 12/31/2024 and can be spent on normal operations. He directed Tammy Campbell at McDirmit David to pay all payroll starting at the beginning of fiscal year so there is no time delay while deciding what to do with the ARPA dollars.

Attorney Smith added that there will probably be an amendment as there will be excess in payroll to move back to reserves.

- Mayor Dowless suggested DOT needs to be called regarding the new lane use on Holden at Orange Avenue. People don’t know which lane to use to go straight. Temporary signs are needed until people are used to the change.

Councilmember Lomas suggested a sign at the tracks showing the right lane is a right turn-only lane.

- Council President Horn

CP Horn said he is the scorekeeper for his daughter's Lacrosse team which are the defending state champs. He would like to attend next month's game which is the same day as the council meeting if he is not needed.

City Clerk Riffle said Councilmember Chotas would also be out next month.

Attorney Smith said that anything controversial could be moved to the April meeting.

Mayor Dowless said the councilmember assignments could be put off for a month but the election of the council president must be done next meeting. Council President Horn said he would be willing to accept a nomination to serve as Council President for another year.

Council Member Pierce – no report

Council Member Chotas – no report

Council Member Lomas – no report

Council Member Rader

Councilmember Rader said Mectato's situation makes him wonder if there is anything in the permitting process that ensures utility connections are considered. Planner Hardgrove said that at the time no one knew the sewer line was there; it was under what was known as "Brickwood Street," which was never dedicated as a right of way. Orange County must not have done the research of Brickwood's ownership when the line was put in.

ADJOURNMENT

Councilmember Pierce made a motion to adjourn the meeting at 8:47 pm. The motion was seconded by Councilmember Lomas.

Richard A. Horn, Council President

Attest:

Sandra Riffle, City Clerk

Approved in the _____ City Council meeting.



Date: March 17, 2023
To: City Council
From: Ellen Hardgrove, City Planning Consultant
XC: Sandy Riffle, City Clerk
Brett Sollazzo, Administrative & Permitting Manager
Drew Smith, City Attorney
Re: Change to Residential Zoning Districts related to Boat Dock Height

This agenda item is the second reading of the proposed ordinance that will provide consistency between boat dock regulations contained in the R-1-AAA, R-1AA, R-1-A, and R-2 zoning districts with the recent changes to Code Chapter 14 related to boat dock/house construction (Ordinance 2022-11). The proposed change to the listed residential districts is simply a requirement that boat docks/houses be designed in conformance with the boat dock regulations (Code Chapter 14). There has been no change to the ordinance presented at the first reading.

ESH

ORDINANCE NO. 2023-02

AN ORDINANCE OF THE CITY OF EDGEWOOD, FLORIDA AMENDING CHAPTER 134 OF THE CITY OF EDGEWOOD CODE OF ORDINANCES REGARDING RULES AND REGULATIONS FOR BOAT HOUSE/DOCK CONSTRUCTION IN RESIDENTIAL DISTRICTS; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of Edgewood Code of Ordinances includes rules and regulations as to where and how boat docks and houses may be constructed; and

WHEREAS, City Council amended Chapter 14 of the City of Edgewood code of ordinances regarding rules and regulations for boat dock/house construction with Ordinance 2022-11;

WHEREAS, there is a need to provide consistency in other sections of the Code that references boat dock/house construction;

WHEREAS, the Planning and Zoning Board has reviewed this Ordinance and recommended to the City Council approval of same; and

WHEREAS, the City Council finds the amendments contained herein are reasonable and appropriate and in the best interest of the health, safety, and welfare of the residents of the City of Edgewood; and

WHEREAS, deletions are identified herein by ~~strike through~~, additions are identified by underscore.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, FLORIDA as follows:

Section 1: The recitals set forth above are hereby adopted as findings of the City Council.

Section 2: Code Section 134-219 (2), "Uses permitted" in the R-1-AAA, R-1AA, or R-1-A and Code Section 134-255(3), "Permitted Uses" in the R-2 are hereby amended to read as follows:

Sec. 134-219 (2) Boathouses and boat docks as accessory uses providing ~~the roof of said boathouse does not exceed 13 feet above the designated control height of the applicable lake.~~ such is consistent with Code Chapter 14 - Boats, Docks and Waterways No boathouse or boat dock may be used for residential purposes. ~~Regulations regarding the construction of boathouses and boat docks shall be promulgated by the city council from time to time.~~

Sec. 134-255 (3) Boathouses and boat docks, provided ~~the roof of the boathouse does not exceed 13 feet above the normal high water elevation.~~ such is consistent with Code Chapter 14 - Boats, Docks and Waterways No boathouse or boat dock may be used for residential

41 purposes. ~~Regulations regarding the construction of boathouses and boat docks shall be~~
42 ~~promulgated by the city council from time to time.~~

43
44 **Section 3:** Conflicts. All ordinances or parts thereof in conflict herewith are hereby
45 repealed to the extent of such conflict.

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47 **Section 4:** Severability. If any section, paragraph, subsection, sentence, clause, phrase or
48 portion of this ordinance is for any reason held invalid or unconstitutional by any court of
49 competent jurisdiction, such portion shall be deemed a separate, distinct, and independent
50 provision and such holding shall not affect the validity of the remaining portions hereof.

51
52 **Section 5:** Codification. The provisions of this Ordinance shall be codified as and become
53 and be made a part of the *Code of Ordinances of the City of Edgewood*. The Sections of this
54 Ordinance may be renumbered or relettered to accomplish such intention and the word
55 “Ordinance”, or similar words, may be changed to “Section,” “Article”, or other appropriate word.
56 The Code codifier is granted liberal authority to codify the provisions of this Ordinance.

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58 **Section 6:** This ordinance shall take effect immediately upon its adoption.

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60 **PASSED AND ADOPTED** this _____ day of _____, 2023, by the City Council
61 of the City of Edgewood, Florida.

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64 PASSED ON FIRST READING: _____

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66 PASSED ON SECOND READING: _____

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Richard A. Horn, Council President

71 *ATTEST:*
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73 _____
74 Sandy Riffle
75 City Clerk

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Date: March 17, 2023
To: City Council
From: Ellen Hardgrove, City Planning Consultant
XC: Sandy Riffle, City Clerk
Brett Sollazzo, Administrative & Permitting Manager
Drew Smith, City Attorney
Re: Change to Permitted and Special Exception Uses allowed in the ECD.

This agenda item is the second reading of an ordinance that will change the uses permitted in the ECD in order to ensure achievement of the ECD vision. There have been no changes to the ordinance presented at the first reading.

Currently the district allows full service car washes (listed as either Car/Automotive Washing/Detailing, full-service only or Automotive washing/detailing, full-service only) as a permitted use. Given these are auto-oriented uses, these uses should undergo additional review to ensure the proposed location is consistent with the ECD vision. Approval of the ordinance will move the full service car was from the list of permitted uses to a special exception, which will provide for this additional review.

Approval of the ordinance also will require an applicant to provide more detail as well as will improve the review criteria for any special exception request in the ECD.

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ORDINANCE NO 2023-03

AN ORDINANCE OF THE CITY OF EDGEWOOD, FLORIDA, AMENDING CHAPTER 134 OF THE CODE OF ORDINANCES RELATED TO THE EDGEWOOD CENTRAL DISTRICT TO CHANGE THE PERMITTED USE KNOWN AS “CAR/AUTOMOTIVE WASHING/DETAILING, FULL-SERVICE” AND “AUTOMOTIVE WASHING/DETAILING, FULL-SERVICE” TO USES ONLY ALLOWED BY SPECIAL EXCEPTION, TO PROVIDE CLARIFICATION OF ADOPTED REGULATIONS AND STANDARDS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the City adopted Ordinance No. 2018-09 which created the Edgewood Central District zoning district and provided for development requirements within said district; and

WHEREAS, The City adopted Ordinance No. 2018-15 , which amended certain sections of Ordinance 2018-09,

WHEREAS, The City adopted Ordinance No. 2021-03 , which amended certain sections of Ordinance 2018-15,

WHEREAS, the City desires to require additional review for the location and design standards for a car wash to ensure land use compatibility and consistency with the City’s vision for the State Road 527 corridor; and

WHEREAS, the City Council finds that the Special Exception process provides an adequate review process to consider the location design standards of any proposed car wash with the State Road 527 corridor; and

WHEREAS, in this Ordinance additions to the Code of Ordinances are indicated by underline, deletions are indicated by ~~strikethrough~~, and portions of the Code that remain unchanged and which are not reprinted here are indicated by ellipses (***) .

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, FLORIDA, AS FOLLOWS:

SECTION ONE. The findings set forth in the recitals above are hereby adopted as legislative findings of the City Council pertaining to this Ordinance.

SECTION TWO. Chapter 134, “Zoning,” Section 134-467 is hereby amended as follows:

Sec. 134-467. - Permitted uses within the Edgewood Central District.

Car/Automotive Washing/Detailing, full-service only ¹

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Automotive washing/detailing1 , full-service only

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40 (c) The review and hearing of an application for a special exception shall consider consistency
 41 with the ECD Vision, the character and compatibility of the neighborhood surrounding area in
 42 which the proposed use is to be located, its effect on the value of surrounding lands, availability
 43 of public services and facilities, and the area of the site as it relates to the required open spaces
 44 and off-street parking facilities. Each application for a special exception shall be accompanied by
 45 a site plan incorporating the regulations established herein. ~~As a part of the application, T~~the site
 46 plan shall ~~include a simple plan~~ be drawn to an appropriate scale, and including the property's
 47 legal description, lot area, site dimensions, adjacent right-of-way location and width, existing
 48 and/or proposed parking areas and number of parking spaces, existing and/or proposed building
 49 location and setbacks from lot lines, total floor area existing and/or proposed for any building,
 50 proposed points of access, location of signs, location of existing easements and a general plan of
 51 proposed landscaping plan. Said site plan shall be submitted to and considered by the city council
 52 after recommendation by the planning and zoning board as provided for in article II of this chapter
 53 prior to the granting of a building permit. A special exception shall not be recommended by the
 54 Planning and Zoning Board (Board) nor approved by the City Council unless and until the Board
 55 and City Council make a finding that the granting of the special exception is consistent with the
 56 comprehensive plan and ECD Vision, the use is similar and compatible with the surrounding
 57 area, and will not act as a detrimental intrusion into the surrounding area nor negatively impact
 58 the level of service of public services and facilities. Upon such approval, said site plan becomes
 59 part of the building permit and may be amended only by the city council after recommendation by
 60 the planning and zoning board. Development under the special exception shall comply with all
 61 applicable city codes and ordinances.

62 * * *

63 **SECTION THREE.** Severability. If any section, subsection, sentence, clause, phrase,
 64 word or provision of this Ordinance is for any reason held invalid or unconstitutional by any court
 65 of competent jurisdiction, whether for substantive, procedural, or any other reason, such portion
 66 shall be deemed a separate, distinct and independent provision, and such holding shall not affect
 67 the validity of the remaining portions of this Ordinance.

68 **SECTION FOUR.** Conflicts. In the event of a conflict or conflicts between this Ordinance
 69 and any other ordinance or provision of law, this Ordinance controls to the extent of the conflict,
 70 as allowable under the law.

71 **SECTION FIVE.** Codification. It is the intent of the City Council of the City of Edgewood
72 that the provisions of this Ordinance shall be codified. The codifier is granted broad and liberal
73 authority in codifying the provisions of this Ordinance.

74 **SECTION SIX.** Effective date. This Ordinance shall take effect immediately upon
75 adoption as provided by the Charter of the City of Edgewood.

76 PASSED ON FIRST READING THIS 21st DAY OF February 2023. PASSED AND
77 ADOPTED THIS 21st DAY OF March 2023

CITY OF EDGEWOOD, FLORIDA
CITY COUNCIL

Richard A. Horn, Council President

ATTEST:

Sandra Riffle, City Clerk

78

RESOLUTION NO. 2023-01

A RESOLUTION OF THE CITY OF EDGEWOOD, FLORIDA AMENDING THE CITY'S BUDGET FOR THE 2022/2023 FISCAL YEAR; AUTHORIZING THE MAYOR AND/OR HIS DESIGNEE TO TAKE ALL ACTIONS NECESSARY TO IMPLEMENT THE TERMS AND CONDITIONS OF THIS RESOLUTION; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, at its regular meeting on September 20, 2022, the City Council of the City of Edgewood, Florida adopted Resolution No. 2022-06 approving the annual budget for Fiscal Year 2022-2023; and

WHEREAS, it is appropriate to provide for certain transfers, appropriations and authorizations based upon previous and anticipated expenditures and revenues, and

WHEREAS, the City Council has determined that it is necessary to amend the budget to reflect these changes.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, FLORIDA AS FOLLOWS:

SECTION 1. BUDGET AMENDMENT: The City Council of the City of Edgewood, Florida amends the Fiscal Year 2022/2023 budget as shown on Exhibit "A", which is attached hereto and incorporated by reference herein.

SECTION 2. EFFECTIVE DATE: This Resolution shall become effective immediately upon its passage and adoption.

PASSED and ADOPTED by the City Council of the City of Edgewood, Florida on the **21st** day of **March 2023**.

Richard Alan Horn, Council President

ATTEST:

Sandra Riffle, City Clerk

EXHIBIT A

City of Edgewood Budget Amendment

Submitted by: McDirmit Davis
Fiscal Year: 22/23
Submitted on: 2/23/2023

Account Number	Account Description		Amount
Expenditures:			
549670-02	Hurricane Expenses (Ian expenses)	\$	132,460.36
Revenues:			
334400-02	FEMA Reimbursements	\$	132,460.36
	Net effect on budget	\$	-

Notes/Comments:
Update budget to show anticipated FEMA Reimbursements for Hurricane Ian.

Signed by:



Memo

To: The Honorable Mayor and City Council
From: Sandra Riffle, City Clerk
Date: March 16 2023
Re: IT Items for Disposal

IT Manager, Scott Zane is requesting permission from City Council to dispose of the following list of laptops. They have all outlived their useful life and have minimal, if any, value.

Permission has been given from FDLE and DOJ to dispose of these assets. All laptops will be made inoperable before being delivered to the landfill.

Asset Tag or Serial Number	LAPTOP	System Model	Grant Number if Applicable
3SLMNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
5LLMNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
7T23PJ1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
7WZ9VM1	Latitude	Latitude E4310	2010-ARRC-ORAN-26-W7-229
94XLNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
95Z9VM1	Latitude	Latitude E4310	2010-ARRC-ORAN-26-W7-229
BTLMNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
CGX9VM1	Latitude	Latitude E4310	2010-ARRC-ORAN-26-W7-229
FWS91M1	Latitude	Latitude E6410	2010-ARRC-ORAN-26-W7-229
H7HY3K1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
HPVXRK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
HVLMNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
J1TNNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
JM4MNK1	Latitude	Latitude E6400	2010-ARRC-ORAN-26-W7-229
86XLNK1	Latitude	Latitude E6400	N/A
9XCCDK1	Latitude	Latitude E6400	N/A
BNX9VM1	Latitude	Latitude E4310	N/A
DWLMNK1	Latitude	Latitude E6400	N/A
HZL5CK1	Latitude	Latitude E6400	N/A

From: wrgac@aol.com <wrgac@aol.com>
Sent: Monday, March 13, 2023 9:19 AM
To: Mcabrera@theamphibiousgroup.com
Cc: Sandy Riffle <sriffle@edgewood-fl.gov>; dsmith@shepardfirm.com; Brett Sollazzo <bsollazzo@edgewood-fl.gov>
Subject: Re: 5639 Hansel Avenue - Meeting Request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Maria, I don't think a meeting is necessary. We can talk on the phone if you need more information than what is in this email.

The ability to move the structure proposed for this site has not been approved. What has to happen is this:

1) City Council needs to first decide if they want to go ahead and change the city's land development regulations to allow an accessory structure in the ECD zoning district. Currently, they are not permitted. There is a provision for temporary structures, but the intent is for a construction office, allowed to remain until the building construction is complete. There is no provision for a storage unit to be allowed on the property.

2) IF City Council directs staff to change the city's regulations, then an ordinance would have to be written and processed through the Planning and Zoning (P&Z) Board (public hearing) and then would have to have two public hearings at City Council for adoption.

The quickest this could happen would be an April P&Z meeting, first public hearing with Council in April (maybe May), and second in May (maybe June). Again, this is IF Council directs staff to propose an ordinance.

An option for y'all to consider would be to rent warehouse space along Force Four Parkway or Commerce Drive, off of Mary Jess Road (less than 1/4 mile from your office) or equally as close, there are mini storage units at the corner of Orange Avenue and Mary Jess Road. Air Conditioned storage space is also nearby at 3820 South Orange, about 1.5 miles north of your office.

Please do not hesitate to contact me if you have additional questions.

Regards
Ellen Hardgrove
407.425.0062

-----Original Message-----
From: Maria Cabrera <Mcabrera@theamphibiousgroup.com>
To: wrgac@aol.com <wrgac@aol.com>
Sent: Fri, Mar 10, 2023 4:27 pm
Subject: 5639 Hansel Avenue - Meeting Request

Good afternoon Ms. Groves,

Hope all is well. My name is Maria, and I am Terence Curran's assistant. He asked me to see if I can schedule a meeting with you to discuss the status of the shed for our building.

Please let me know if you are available next week for him to come to your office to discuss.

Looking forward to hearing from you.

Have a great weekend.

Kind Regards,

Maria Gabriela Cabrera
Executive Office Administrator
The Amphibious Group

p: 562-355-6108
e: mcabrera@theamphibiousgroup.com
w: <https://theamphibiousgroup.com/>

Sandy Riffle

From: Tina Baker <tbaker2533@gmail.com>
Sent: Wednesday, February 22, 2023 8:43 AM
To: Sandy Riffle
Cc: Eric Baker
Subject: Extension for Variance - 535 Mandalay Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Morning Sandy ~

Hope you are well. Last Spring, Eric and I came before P&Z and the City Council to request a variance for a small construction project on our property. The variance was granted. Unfortunately, we were not aware that we had one year to start the project. There are a couple of issues that caused the delay. One being that for many months we were considering relocating; however, once we decided to stay put contractors in the market have been challenged with supply chain delays and unable to get to this type of project.

We have been working toward securing someone and feel we are very close; however not sure we can meet an April timeline. We would like to understand from the City's perspective, what constitutes a "start" and also request an extension in order to get the most qualified contractor lined up. I did email the Mayor and City Council and was referred back to you.

Thanks for your consideration.

Tina



Memo

To: Mayor Dowless, Council President Horn,
Council Members Chotas, Lomas, Pierce, and Rader

From: Brett Sollazzo, Administrative & Permitting Manager

Date: March 14, 2023

Re: Boards & Committees Report

The following business items were reviewed by the Planning and Zoning Board at the March 13, 2023 meeting:

1. Haven Oaks Final Plat

- CPH Approval Letter date stamped 3/6/2023
- Plat Checklist date stamped 3/6/2023
- OCPA approval date stamped 3/6/2023
- Final Plat date stamped 3/9/2023
- Boundary Survey date stamped 3/3/2023
- Plat Title Letter date stamped 3/1/2023
- Tax Lien Statement date stamped 2/21/2023

The Haven Oaks Team has submitted their Final Plat for approval. CPH has reviewed the submittal, and provided their approval, along with the Orange County Property Appraiser (OCPA). As of this memo, there is a pending review for approval from Orange County Utilities (OCU). All of the additional documents are part of the Final Plat submittal, and have been reviewed by Staff. Approval of the Final Plat is part of City Code Sec. 126-94.

Staff is recommending approval of the Final Plat as presented with the following condition:

- 1) If there are any comments made by OCU, they will be revised on the Final Plat before recording with Orange County.

The following motion was made by the Planning and Zoning Board:

Chair Santurri made a motion to recommend approval of the Haven Oaks Final Plat with the condition that any comments made by OCU be revised on the Final Plat before recording; seconded by Vice-Chair Nelson. Approved (4/0).

The motion was approved with a roll call vote.

Chair Santurri	Favor
Vice Chair Nelson	Favor
Board Member Gibson	Favor
Board Member Nolan	Favor
Board Member Gragg	Absent

2. Haven Oaks Final Subdivision Plans

- CPH Approval Letter dated 9/19/2022
- Final Construction Plans date stamped 8/30/2022
- Final Hardscape Plans date stamped 9/9/2022
- Final Landscape & Irrigation Plans date stamped 9/9/2022
- Final Arbor Plans date stamped 9/9/2022

The Haven Oaks Team has submitted their Final Subdivision Plans for approval. This includes construction, hardscape, landscape, and arbor plans. CPH has reviewed the submittal, confirmed everything matches the Preliminary Site Plan, and provided their approval on 9/19/2022. Approval of the Final Subdivision Plans is part of City Code Sec. 126-94.

Staff is recommending approval of the Final Subdivision Plans as presented and approved by CPH.

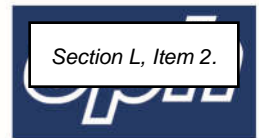
The following motion was made by the Planning and Zoning Board:

Chair Santurri made a motion to recommend approval of the Haven Oaks Final Subdivision Plans as presented and approved by CPH.; seconded by Board Member Gibson. Approved (4/0).

The motion was approved with a roll call vote.

Chair Santurri	Favor
Vice Chair Nelson	Favor
Board Member Gibson	Favor
Board Member Nolan	Favor
Board Member Gragg	Absent

City Engineer Allen Lane and the Applicants are in attendance to answer any questions regarding these agenda items.



1117 East Robinson St.
Orlando, FL 32801
Phone: 407.425.0452
Fax: 407.648.1036

March 6, 2023

Ms. Sandy Riffle, CMC
City Clerk
City of Edgewood
405 Bagshaw Way
Edgewood, FL 32809-3406

**RE: Haven Oaks – Final Plat 3-3-23
CPH Project No. E7601**

Dear Ms. Riffle,

We are in receipt of the updated final plat for review. This was in response to our earlier comments. We have reviewed the updated plat, received on March 3, 2023. All of our Civil comments have been addressed. We do not have any objections to the City approving the plat, pending review by the City Surveyor.

Sincerely,
CPH, LLC

A handwritten signature in cursive script that reads "Allen C. Lane, Jr." in black ink.

Allen C. Lane, Jr., P.E.
Sr. Project Manager

CC: File

J:\E7601\Civil\City Plans-Application Review\Holden Ave PD\letters\Haven Oaks - final plat acceptance - civil 3-6-23.docx

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

RECEIVED
3/6/2023
CITY OF EDGEWOOD
Section L, Item 2.

NAME OF PLAT: HAVEN OAKS
DATE REVIEWED: March 6, 2023
REVIEWED BY: Randall L. Roberts, RLS

177.041 - Boundary Survey and Title Certification Required

1. Signed and Sealed Boundary Survey prepared by Professional Surveyor and Mapper submitted.

APPROVED
 FAILED

2. Title Opinion or Property Information Report prepared by Attorney, Abstractor, or Title Company.

APPROVED
 FAILED

3. Title Certificate Legal Description exactly matches Plat Legal Description.

APPROVED
 FAILED

4. All Mortgages listed in Title Certificate are referenced on Plat.

APPROVED None per Title
 FAILED

5. All Easements listed in Title Certificate are shown on Plat.

APPROVED per revised Title
 FAILED

6. Title Opinion or Property Information Report addressed to the City of Edgewood.

APPROVED
 FAILED

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

177.051 - Name of Subdivision

7. Name of Subdivision is not a duplicate of any other subdivision except if it is another phase of existing Plat.

APPROVED
 FAILED

8. The words “the”, “replat” or “a” may not be used as first word of Subdivision’s primary name.

APPROVED
 FAILED

9. All words in the name are of the same size and type of font. (No hand lettered additions)

APPROVED
 FAILED

10. The subdivision name must be recited in the Owner’s dedication.

APPROVED
 FAILED

11. Subtitle of plat states the Section, Township, Range, County, City (if inside corporate limits) and State.

APPROVED
 FAILED –

12. If this is a replat, Subtitle must state that this is a replat and must quote the full name and recording data.

APPROVED N/A
 FAILED

CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

177.061 - Qualification of Person filing Plat

13. Plat was prepared by a Professional Surveyor licensed in accordance with Chapter 177 and the Boundary Survey was prepared by a Professional Surveyor licensed in accordance with Chapter 472, Florida Statutes

- APPROVED
 FAILED

14. Plat contains the printed name of the Surveyor of Record.

- APPROVED
 FAILED

15. Plat contains the full address of the Surveyor of Record.

- APPROVED
 FAILED

16. Plat contains the registration number of the Surveyor of Record

- APPROVED
 FAILED

17. Plat contains the certificate of authorization number of the Company if applicable.

- APPROVED
 FAILED

18. Signing surveyor must state that the plat was prepared under his/her direction and complies with all survey requirements of F.S. 177, Part I.

- APPROVED
 FAILED
-

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

177.071 - Approval of Plat by Governing Bodies

19. Municipality Approval checked for form and spelling.

- APPROVED
 FAILED

20. Planner's Approval checked for form and spelling.

- APPROVED –
 FAILED

21. Surveyor's Approval checked for form and spelling.

- APPROVED
 FAILED

22. Mayor, City of Edgewood Acceptance checked for form and spelling.

- APPROVED subject to adding names for Mayor and Clerk
 FAILED

23. Clerk of the Court's Approval checked for form and spelling.

- APPROVED
 FAILED

177.081 - Dedication and Approval

24. Dedication executed by all owners. Dedicates streets, alleys, and easements.

- APPROVED
 FAILED
N/A – Not Final Submittal

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

25. Mortgagee(s) executed joinder to the Dedication on face of Plat.

- APPROVED none per Title
 FAILED

177.091 - Plats made for Recording

26. Index or key map required for multiple sheet plats.

- APPROVED
 FAILED

27. All matchlines are clearly labeled, if applicable.

- APPROVED
 FAILED –

28. Scale and font size sufficient to show all detail. The minimum recommended text height is 0.07' at 1"=1"

- APPROVED
 FAILED

29. Scale shall be stated and graphically shown on every sheet showing any portion of the lands being platted.

- APPROVED
 FAILED

30. Name of the subdivision shown on all sheets in the same size and type of font.

- APPROVED
 FAILED

CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

31. Name of Surveyor or legal entity, street and mailing address shown on all sheets.

APPROVED
 FAILED

32. Prominent North Arrow on all sheets showing any portion of the lands being platted.

APPROVED
 FAILED

33. Basis of Bearing referenced to a well-established and monumented line stated on all sheets.

APPROVED
 FAILED

34. Permanent Reference Monuments (PRM's) placed at each corner or change in direction of the plat boundary. **(May not be more than 1400 feet apart and must be set prior to acceptance of the plat. Cannot be bonded.)**

APPROVED Per Legend
 FAILED

35. Inaccessible PRM's offset within the boundary of the plat and the offset properly noted.

APPROVED
 FAILED –

36. Registration number for found previously set PRM's noted or, if un-numbered, shall be so noted.

APPROVED Per Legend all set
 FAILED

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

37. Permanent Control Points (PCP's) set on centerline at the intersection and terminus of all streets, all changes of direction and not more than 1000 feet apart. **(Must be set within one year of the plat acceptance or, if bonded, must be set prior to the expiration of the bond)**

APPROVED per legend
 FAILED

38. Monumentation set at all lot corners, points of intersection, and changes of direction of lines within the subdivision which do not require a PRM or PCP. **(Must be set before the transfer of any lot or, if bonded, must be set prior to the expiration of the bond.)**

APPROVED - per Legend and new Note #10
 FAILED -

39. Section, Township and Range stated immediately under the name of the subdivision on each sheet along with the name of the appropriate city, town, village, county and state in which the plat is situated.

APPROVED
 FAILED

40. Description is complete, exactly matches the title opinion and accurately depicts the lands being platted.

APPROVED
 FAILED

41. All dedications and approvals required by ss.177.071 and 177.081 are shown.

APPROVED
 FAILED

42. The Clerk of the Court's and Professional Surveyor's seal and certification shown.

APPROVED
 FAILED

N/A – Preliminary Copy

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

43. All section lines and quarter section lines occurring within the subdivision are shown.

- APPROVED
 FAILED

44. All information in the legal description is shown. (Point of Commencement, Point of Beginning, etc.)

- APPROVED
 FAILED

45. Location, width, and names of all streets waterways or other right-of-ways shown.

- APPROVED
 FAILED

46. Location, width, and purpose of all existing and proposed easements shown. (Recording information for all existing easements required.)

- APPROVED
 FAILED –

47. All contiguous properties identified by subdivision title, plat book and page, or if unrecorded, noted as such.

- APPROVED
 FAILED

48. If a replat, sufficient ties to controlling lines on the previous plat to allow an overlay to be made.

- APPROVED
 FAILED

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

49. All lots numbered progressively or, if in blocks, progressively within the blocks.

- APPROVED
 FAILED
-

50. Sufficient survey data to accurately describe the bounds of every lot, block, street, easement, tract, etc.

- APPROVED
 FAILED –
-

51. All distances to the nearest hundredth of a foot.

- APPROVED
 FAILED
-

52. Curvilinear lot lines shall show as a minimum, the radii, arc distances and central angles.

- APPROVED
 FAILED
-

53. Radial lot lines shall be so designated. Directions of nonradial lines shall be indicated.

- APPROVED per Note #2
 FAILED
-

54. All angles, bearings, or azimuths to the nearest second of arc.

- APPROVED
 FAILED
-

55. Centerlines of noncurved streets dimensioned with distances together with either angles, bearings or azimuths.

- APPROVED
 FAILED
-

**CITY OF EDGEWOOD
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

56. Centerlines of curves streets dimensioned with arc distances, central angles, radii, chord distances, and chord bearings or azimuths.

APPROVED
 FAILED

57. Parks and recreations areas so designated.

APPROVED – N/A
 FAILED

58. All excepted parcels labeled as “Not a part of this plat.”

APPROVED – N/A
 FAILED

59. The purpose of all dedicated blocks, tracts or parcels shall be clearly stated.

APPROVED N/A
 FAILED –

60. If line or curve tables are used, the tabular data must appear on the sheet to which it applies.

APPROVED
 FAILED

61. The plat shall include in a prominent place the following statement:

NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

APPROVED
 FAILED

**CITY OF EDGEWATER
RECORD PLAT REVIEW CHECK SHEET**

Section L, Item 2.

NAME OF PLAT: HAVEN OAKS

DATE: March 6, 2023

62. All platted utility easements shall provide that such easements are for the construction, installation, maintenance, and operation of cable television.

APPROVED per Note #3
 FAILED

63. A legend of all symbols and abbreviations shall be shown.

APPROVED
 FAILED

COMMENTS:

Subject to staff comments including City Attorney and Engineer which may affect final review.

CERTIFICATION:

I HEREBY CERTIFY that this plat has been reviewed for the conformity to the requirements of Chapter 177, Part I of Florida Statutes. No confirmation of mathematical closure or the placement of PRM's and PCP's in the field was made in this review.

CPH, LLC. LB#7143
500 West Fulton St.
Sanford, Fl 32771

For the Firm

By: Randall L. Roberts, R.L.S.
Florida Registration Number 3144

Date: March 6, 2023

Brett Sollazzo

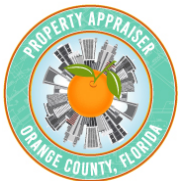
From: Rocco Campanale <rcampanale1@ocpafl.org>
Sent: Monday, March 6, 2023 10:39 AM
To: Brett Sollazzo; Melissa Martinez
Cc: Sandy Riffle; Stuart McDonald; Mark McIntosh; 20-156 Toll Bros. - Sodo-Holden
Subject: RE: City of Edgewood Plat Submittal to OC Property Appraiser_Haven Oaks

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

FYI - OCPA has no further comments pertaining to this preliminary plat.
 Regards,
 Rocco

**Rocco Campanale, CCF, CFE
 Manager, Cadastral Mapping**

Representing Amy Mercado | Orange County Property Appraiser
 200 S. Orange Ave | Suite 1700 | Orlando, FL 32801
 407.836.5077 work | 407.605.0391 fax
 rcampanale1@ocpafl.org | www.ocpafl.org



www.ocpafl.org



@AmyOCPA

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From: Brett Sollazzo <bsollazzo@edgewood-fl.gov>
Sent: Monday, March 6, 2023 9:46 AM
To: Melissa Martinez <MMartinez@poulosandbennett.com>; Rocco Campanale <rcampanale1@ocpafl.org>
Cc: Sandy Riffle <sriffle@edgewood-fl.gov>; Stuart McDonald <smcdonald1@tollbrothers.com>; Mark McIntosh <mmcintosh@tollbrothers.com>; 20-156 Toll Bros. - Sodo-Holden <20-156@poulosandbennett.com>
Subject: RE: City of Edgewood Plat Submittal to OC Property Appraiser_Haven Oaks



First American Title Insurance Company
2301 Maitland Center Parkway, Suite 450
Maitland, FL 32751
Phone: (407)691-5200
Fax: (407)691-5300

**PROPERTY INFORMATION REPORT FOR THE FILING
OF A SUBDIVISION PLAT IN
CITY OF EDGEWOOD, ORANGE County, Florida**

FATIC File No.: 2037-6279796/R3-Revised March 1, 2023/CMP

A search of the Public Records of ORANGE County, Florida, through February 24, 2023 at 8:00 a.m. reveals the following with respect to the legal description of the property set out on the subdivision plat of HAVEN OAKS (not yet recorded), said legal description attached hereto as Exhibit "A", and made a part hereof:

A. The last deed of record was dated November 3, 2022 and recorded November 8, 2022 in Instrument No. 20220678808 and Instrument No. 20220678810, of the Public Records of ORANGE County, Florida.

B. The record title holder is Toll Southeast LP Company, Inc., a Delaware corporation .

C. The name(s) of the record title holder coincides with the name(s) shown as owner(s) on the unrecorded plat of HAVEN OAKS .

D. Unsatisfied mortgages or liens encumbering said property are as follows:

NONE

E. Underlying rights of way, easements or plats affecting said property are as follows:

NONE

F. Other information regarding said property includes:

1. Planned Development Agreement recorded on March 22, 2021, in Instrument No. 20210162289, of the Public Records of Orange County, Florida.

2. School Concurrency Mitigation Agreement EDW-21-002 Holden Ave PD recorded on May 25, 2022, in Instrument No. 20220330866, of the Public Records of Orange County, Florida.

3. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020430.

4. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020431.

5. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020499.

6. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020500.

7. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020533.

8. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020565.

9. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020566.
10. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020567.
11. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020633.
12. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020634.
13. Notice of Commencement recorded on January 13, 2023, in Instrument No. 20230021927.

G. 2022 Ad valorem taxes on said property are PAID for Tax Parcel I. D. Numbers 14-23-29-0000-00-004; 14-23-29-0000-00-005; 14-23-29-0000-00-042; 14-23-29-0000-00-062; 14-23-29-0000-00-063 AND 14-23-29-0000-00-064.

**PROPERTY INFORMATION REPORT FOR THE FILING
OF A SUBDIVISION PLAT IN
CITY OF EDGEWOOD, ORANGE County, Florida**

This property information report is made for the purpose of furnishing the information required for the filing of the above referenced subdivision plat in accordance with the provisions of Chapter 177.041 of the Florida Statutes and the requirements of the City of Edgewood and Orange County Land Development Code. This search of a minimum of 30 years has been prepared expressly for the appropriate governing body as defined by Chapter 177.071 FS and it is not to be relied upon by any other group or person for any other purpose. This report is not an opinion of title, title insurance policy, warranty of title, or any other assurance as to the status of title and shall not be used for the purpose of issuing title insurance. Pursuant to s. 627.7843, Florida Statutes, the maximum liability of the issuer of this property information report for errors or omissions in this property information report is limited to the amount paid for this property information report, and is further limited to the person(s) expressly identified in the property information report as the recipients of the property information report.

First American Title Insurance Company



By: _____
Authorized Signatory

Exhibit "A"

A PARCEL OF LAND COMPRISING A PORTION OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF AFORESAID SECTION 14; THENCE RUN NORTH 89°33'17" EAST ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 14 FOR A DISTANCE OF 440.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN SOUTH 00°05'04" EAST FOR A DISTANCE OF 30.00 FEET TO THE POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HOLDEN AVENUE, ACCORDING TO DEED BOOK 338, PAGE 524 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE RUN NORTH 89°33'17" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 761.25 FEET TO A POINT ON THE EAST LINE OF THE WEST 403 FEET OF THE EAST 526.7 FEET OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00°06'48" EAST ALONG SAID EAST LINE FOR A DISTANCE OF 350.01 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 380 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 14; THENCE RUN SOUTH 89°33'17" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 403.01 FEET TO A POINT ON THE WEST LINE OF THE EAST 526.7 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE RUN SOUTH 00°06'48" EAST ALONG SAID WEST LINE FOR A DISTANCE OF 943.06 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE RUN SOUTH 89°44'46" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 358.89 FEET TO A POINT ON THE EAST LINE OF THE WEST 440 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 14 LYING ADJACENT TO AND CONTIGUOUS WITH THE EAST LINE OF HOLDEN RIDGE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 27, PAGES 80 AND 81 OF AFORESAID PUBLIC RECORDS; THENCE RUN NORTH 00°05'04" WEST ALONG SAID EAST LINE OF THE WEST 440 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 SAID SECTION 14 AND THE EAST LINE OF SAID HOLDEN RIDGE AND THE NORTHERLY EXTENSION THEREOF FOR A DISTANCE OF 1291.87 FEET TO THE POINT OF BEGINNING.

ORANGE COUNTY, FLORIDA

Tax Item No:

STATEMENT OF LIEN SETTLEMENT REQUIREMENTS FOR
Current Year Payable Taxes, Tax Sales and Capitol Improvements

OCA No.: 81671

Complete Plat Name: HAVEN OAKS

Size: 13.877 AC

Contact Person: MELISSA MARTINEZ

Phone: 407-487-2594 Ext.

This form is used to verify that all currently payable taxes are paid and all County liens are settled as required by County Ordinances prior to record of plats. Beginning with delivery of a copy of the most current plat to the Property Appraiser, the routing of this form is as follows:

- (1) Property Appraiser Office 200 S. Orange Avenue Suite 1700 (SunTrust Bldg.) Ph. (407) 836-5077
- (2) Tax Collector 200 S. Orange Avenue Suite 1600 (SunTrust Bldg.) Ph. (407) 836-2782
- (3) Special Assessments/Finance Dept. 201 S. Rosalind Avenue 4th Floor (Administration Center) Ph. (407) 836-5770
- (4) Official Records 109 E. Church Street Suite 300 Ph. (407) 836-5115

Note: Step 3 is to be omitted for plats located within municipalities.

(1) Property Appraiser Office The above named plat includes property contained in all or part of the following parcel(s).

Part	All	Parent Parcel Number(s)	Mill Code	Ag*	Part	All	Parent Parcel Number(s)	Mill Code	Ag*
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 004	EDG 11	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 005	EDG 11	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 042	EDG 11	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 062	EDG 11	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 063	EDG 11	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	14 23 29 0000 00 064	EDG 11	<input type="checkbox"/>

Notes:

Prepared By: *Julie Thayer*

Date: 02/21/2023

(2) Tax Collector

Current and delinquent taxes must be paid at the Tax Collector's Office.

As of 2/21/23 Real Estate Taxes for the above Parcel(s) are current.

Prepared By: *Jolaysee Jackson*

Date: 2/21/2023

(3) Special Assessments/Finance and Accounting Department

Outstanding Capital Improvements Liens

MSTU/BU No _____ Amount Owed _____ Receipt No _____

Prepared By:

Date:

Pursuant to F.S. 197.192, I agree to pay Orange County Tax Collector when billed (usually in November of the tax roll year applicable), the amount sufficient to pay the bill on the parcel(s) identified in STEP (1)

Signature of Owner or Representative *Melissa Martinez*
for Toll Bros.

Date: 02/21/2023

Additional Notes:

Any revision to the Plat, Condominium, or Timeshare requires an updated Tax Lien Settlement Statement. This form does not constitute final approval for the Plat, Condominium, or Timeshare recordings.

Tax Year Notice:

All Plat(s), Condominium(s), and Timeshare(s) to be recorded after August 15th might not be processed in the current tax year due to final tax roll deadlines.

All Plat(s), Condominium(s), and Timeshare(s) to be recorded after October 1st will require a new or updated Tax Lien Statement for the current tax year.

HAVEN OAKS
A PORTION OF THE NORTHWEST 1/4 OF SECTION 14,
TOWNSHIP 23 SOUTH, RANGE 29 EAST
CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA

SHEET 1 OF 4

PLAT BOOK PAGE

LEGAL DESCRIPTION

A PARCEL OF LAND COMPRISING A PORTION OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF AFORESAID SECTION 14; THENCE RUN NORTH 89°33'17" EAST ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 14 FOR A DISTANCE OF 440.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN SOUTH 00°05'04" EAST FOR A DISTANCE OF 30.00 FEET TO THE POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HOLDEN AVENUE, ACCORDING TO DEED BOOK 338, PAGE 524 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE RUN NORTH 89°33'17" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR A DISTANCE OF 761.25 FEET TO A POINT ON THE EAST LINE OF THE WEST 403 FEET OF THE EAST 526.7 FEET OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE RUN SOUTH 00°06'48" EAST ALONG SAID EAST LINE FOR A DISTANCE OF 350.01 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 380 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 14; THENCE RUN SOUTH 89°33'17" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 403.01 FEET TO A POINT ON THE WEST LINE OF THE EAST 526.7 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE RUN SOUTH 00°06'48" EAST ALONG SAID WEST LINE FOR A DISTANCE OF 943.06 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF AFORESAID SECTION 14; THENCE RUN SOUTH 89°44'46" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 358.89 FEET TO A POINT ON THE EAST LINE OF THE WEST 440 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 14 LYING ADJACENT TO AND CONTIGUOUS WITH THE EAST LINE OF HOLDEN RIDGE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 27, PAGES 80 AND 81 OF AFORESAID PUBLIC RECORDS; THENCE RUN NORTH 00°05'04" WEST ALONG SAID EAST LINE OF THE WEST 440 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 SAID SECTION 14 AND THE EAST LINE OF SAID HOLDEN RIDGE AND THE NORTHERLY EXTENSION THEREOF FOR A DISTANCE OF 1291.87 FEET TO THE POINT OF BEGINNING.

CONTAINS 13.877 ACRES MORE OR LESS.

NOTES:

- Bearings shown hereon are based on the North line of the Northwest 1/4 of Section 14, Township 23 South, Range 29 East being a bearing of N89°33'17"E.
- All lot lines are radial, unless otherwise noted non-radial (N.R.).
- All platted utility easements shall also be easements for the construction, installation, maintenance and operation of cable television services; provided, however, no such construction, installation, maintenance and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas or other public utility. Such construction, installation, maintenance and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- The Wall Easements shown hereon are to be dedicated to the HAVEN OAKS COMMUNITY HOMEOWNERS ASSOCIATION, INC. (the "Association") and maintained according to the Declaration of Covenants, Conditions and Restrictions to be recorded in the Public Records of Orange County, Florida and any supplements and/or amendments thereto (the "Declaration") with development rights dedicated to the City of Edgewood, Florida.
- Tracts A, B, C and D (Dry Pond) shall be owned by the Association and maintained according to the Declaration.
- Tracts E and F (Recreation Area) shall be owned by the Association and maintained according to the Declaration.
- Tract G (Roadway) shall be owned by the Association and maintained according to the Declaration.
- Tracts H and I (Landscape) shall be owned by the Association and maintained according to the Declaration.
- Tract J (Lift Station Tract) shall be owned and maintained by Orange County Utilities and will be conveyed by separate instrument.
- Lots corner monumentation set with 5/8" iron rod and caps stamped "ESE LB 7508".

LEGEND

- ☒ = CENTERLINE
- Δ = CENTRAL ANGLE
- CB = CHORD BEARING
- CCR = CERTIFIED CORNER RECORD
- CH = CHORD LENGTH
- ☒ = CENTERLINE
- D.E. = DRAINAGE EASEMENT
- DOC # = OFFICIAL RECORD DOCUMENT NUMBER OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
- L = ARC LENGTH
- NO. = NUMBER
- (N.R.) = NON-RADIAL
- N.T. = NON-TANGENT
- ORB. = OFFICIAL RECORDS BOOK
- OCU = ORANGE COUNTY UTILITIES
- PB. = PLAT BOOK
- P.C. = POINT OF CURVATURE
- PGS. = PAGES
- P.I. = POINT OF INTERSECTION
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.T. = POINT OF TANGENCY
- R = RADIUS
- R.P. = RADIUS POINT
- R/W = RIGHT-OF-WAY
- S.R. = STATE ROAD
- U.E. = UTILITY EASEMENT
- W.E. = WALL EASEMENT
- = SET 4"x4" CONCRETE MONUMENT WITH NAIL AND DISK STAMPED "PRM LB 7508"
- = SET NAIL AND DISK STAMPED "PCP LB 7508"

HAVEN OAKS

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that Toll Southeast LP Company, Inc., a Delaware corporation, (the "Owner") being the owner in fee simple of the lands described in the attached plat entitled "Haven Oaks", located in the City of Edgewood, Orange County, Florida, without dedicating said lands and plat to the public or for any public use or benefit whatsoever, except as expressly stated herein, hereby dedicates said lands and plat for the uses and purposes herein expressed; Tract G (Roadway) shall be owned and maintained by the Haven Oaks Community Homeowners Association, Inc., a Florida not-for-profit corporation ("Association"); the private roadways contained within Tract G shall be owned and maintained by the Association. Said private roadways are not required for City or County use and are private.

A non-exclusive, perpetual easement for pedestrian and vehicular ingress, egress, and passage over and upon such roads and their associated sidewalks is granted by this plat to the owners of all lots shown hereon and their respective tenants, guests and invitees, and to all private entities and public agencies providing mail, utility, fire protection, law enforcement, emergency medical, and other governmental services, including the United States Postal Service, the City of Edgewood and Orange County. All utility easements shown are dedicated to the perpetual use of the public for proper purpose.

IN WITNESS WHEREOF, the undersigned, TOLL SOUTHEAST LP COMPANY, INC., a Delaware corporation, has caused these present to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this _____ day of _____, 2023.

TOLL SOUTHEAST LP COMPANY, INC.,
a Delaware corporation

Signature of Witness _____

Printed Name of Witness _____

Signature of Witness _____ By: _____
Name _____

Printed Name of Witness _____ Title _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me by means of [] physical presence or [] online notarization, this _____ day of _____, 2023, by Brock Fanning, as Division President of TOLL SOUTHEAST LP COMPANY, INC., a Delaware corporation, on behalf of said corporation.

Signature of Notary Public _____

Printed Name of Notary Public _____

Notary Public in and for the State of Florida

My Commission Expires: _____

Commission Number: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the City Council of the City of Edgewood.

John Dowless, Mayor _____ Sandra Riffle, City Clerk _____

CERTIFICATE OF CITY ENGINEER

THIS IS TO CERTIFY, that on _____ the foregoing plat was examined and approved by _____

Allen C. Lane, Jr., CITY ENGINEER

CERTIFICATE OF APPROVAL BY PLANNING & ZONING BOARD

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Planning & Zoning Board of the City of Edgewood.

Chairperson of the Planning & Zoning Board _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records on _____ as DOC # _____

County Comptroller in and for Orange County, Florida

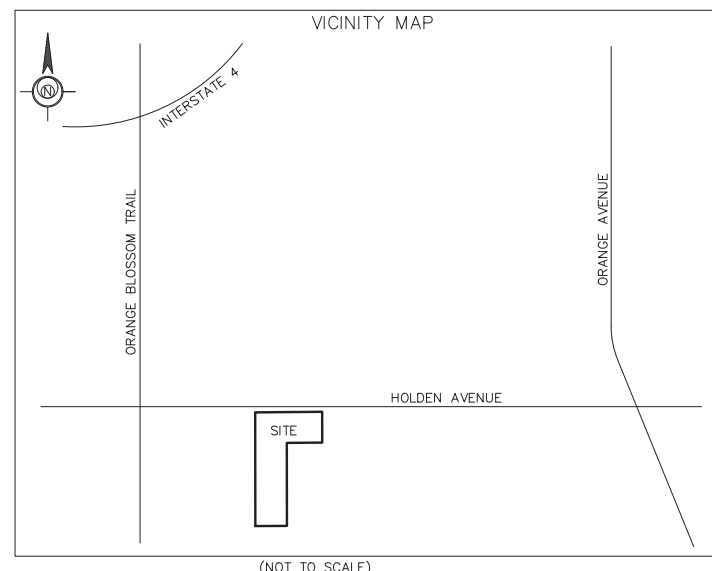
By: _____

CERTIFICATE OF REVIEW BY CITY SURVEYOR

I HEREBY CERTIFY that this plat has been reviewed for the conformity to the requirements of Chapter 177, Part I of Florida Statutes. No confirmation of mathematical closure or the placement of PRM's and PCP's in the field was made in this review.

CPH, LLC. LB#7143
500 West Fulton St.
Sanford, FL 32771

For the Firm _____ Date _____
By: Randall L. Roberts, R.L.S.
Florida Registration Number 3144



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

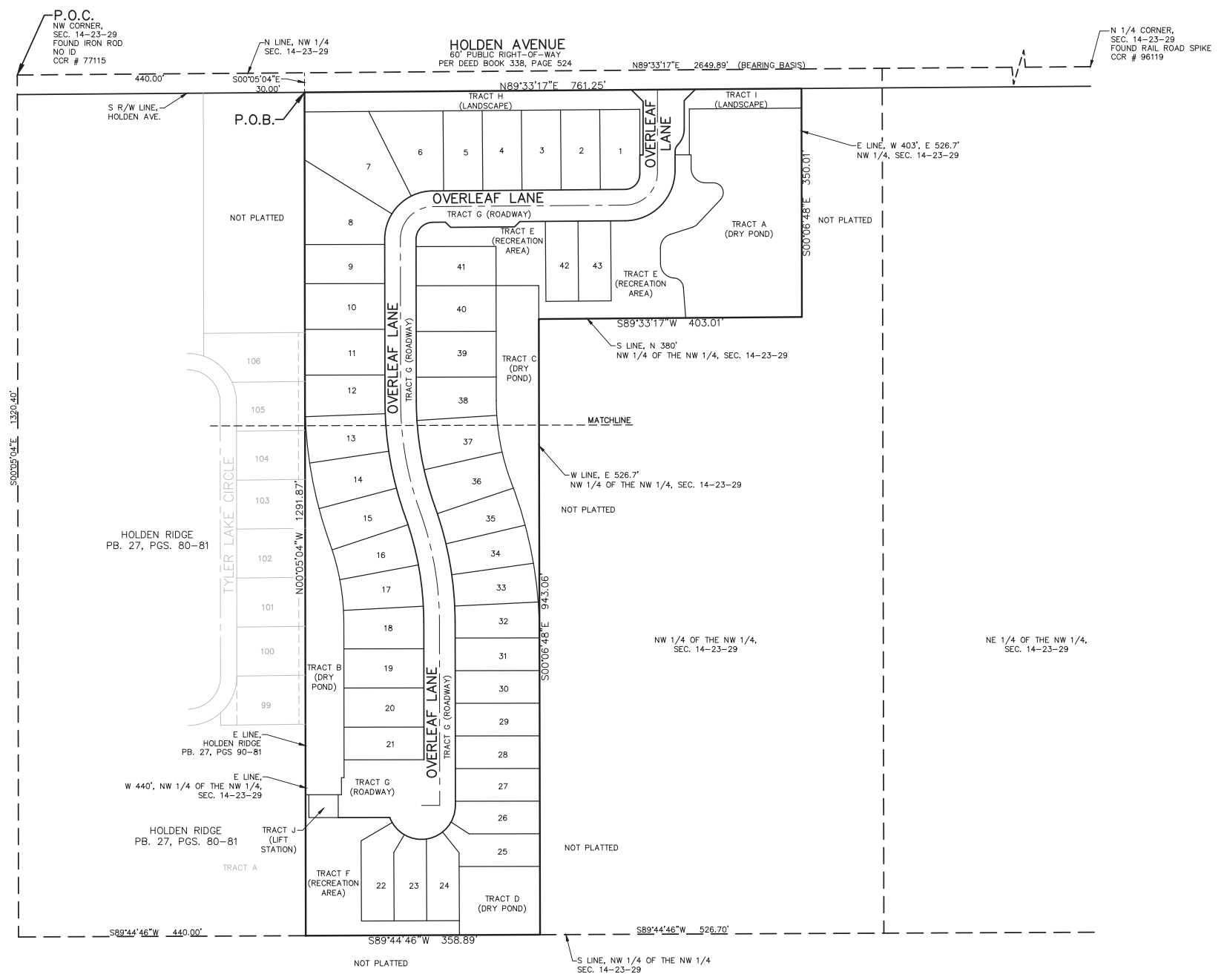
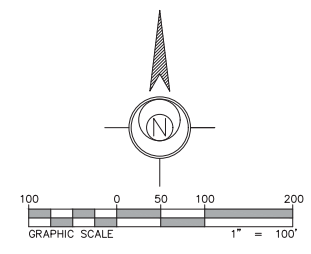
KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on _____ I completed the survey of the lands as shown in the foregoing plat or plan: that said plat is a true and correct representation of the lands surveyed and platted. This plat was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in Orange County, Florida.

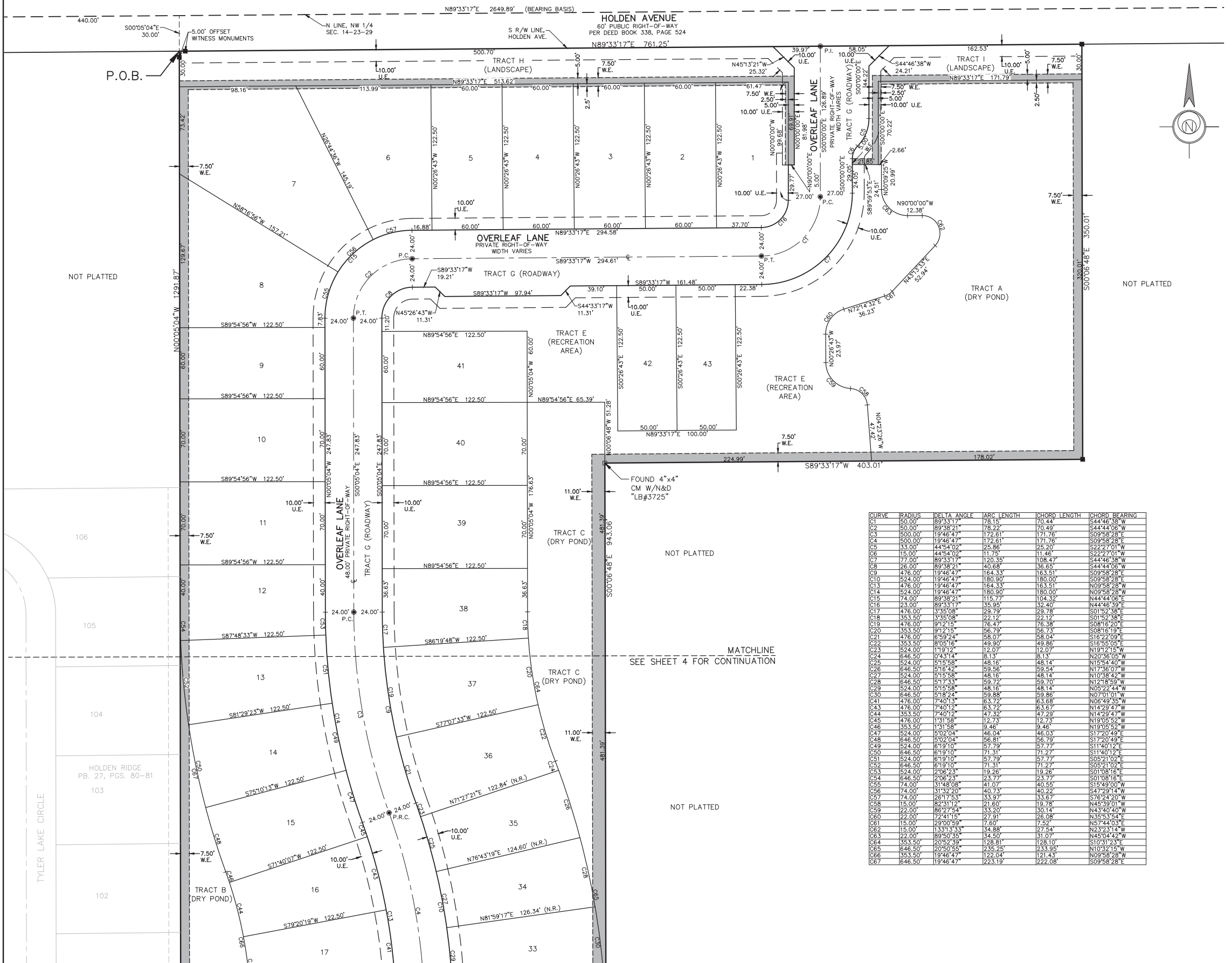
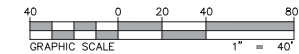
Noah Catha _____ Date _____
Professional Survey and Mapper
Florida Certificate No. 6873

ESE Consultants, Inc.
2966 Commerce Park Drive
Suite 100
Orlando, FL 32819
Certificate No. 7508

HAVEN OAKS

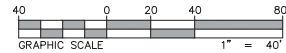
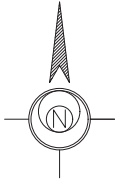
A PORTION OF THE NORTHWEST 1/4 OF SECTION 14,
TOWNSHIP 23 SOUTH, RANGE 29 EAST
CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA





CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	50.00	89°33'17"	78.15'	70.44'	S44°46'38"W
C2	50.00	89°38'21"	78.22'	70.49'	S44°44'06"W
C3	500.00	19°46'47"	172.61'	171.76'	S09°58'28"E
C4	500.00	19°46'47"	172.61'	171.76'	S09°58'28"E
C5	33.00	44°54'02"	25.86'	25.20'	S22°27'01"W
C6	15.00	44°54'02"	11.46'	11.46'	S22°27'01"W
C7	77.00	89°33'17"	120.35'	108.47'	S44°46'38"W
C8	26.00	89°38'21"	40.68'	36.65'	S44°44'06"W
C9	476.00	19°46'47"	164.33'	163.51'	S09°58'28"E
C10	524.00	19°46'47"	180.90'	180.00'	S09°58'28"E
C11	476.00	19°46'47"	164.33'	163.51'	N09°58'28"W
C12	524.00	19°46'47"	180.90'	180.00'	N09°58'28"W
C13	74.00	89°38'21"	115.77'	104.39'	N44°44'06"E
C14	23.00	89°33'17"	35.85'	32.40'	N44°46'39"E
C15	476.00	19°46'47"	29.79'	29.78'	S01°52'38"E
C16	353.50	33°35'08"	22.12'	22.12'	S01°52'38"E
C17	476.00	19°46'47"	76.43'	76.38'	S08°16'19"E
C18	353.50	33°35'08"	58.07'	58.04'	S16°22'09"E
C19	476.00	19°46'47"	49.90'	49.86'	S16°22'09"E
C20	353.50	33°35'08"	58.07'	58.04'	S16°22'09"E
C21	476.00	19°46'47"	49.90'	49.86'	S16°22'09"E
C22	353.50	33°35'08"	58.07'	58.04'	S16°22'09"E
C23	524.00	11°19'12"	12.07'	12.07'	N19°12'15"W
C24	646.50	0°43'14"	8.13'	8.13'	N20°36'05"W
C25	524.00	5°15'58"	48.16'	48.14'	N15°54'40"W
C26	646.50	5°15'58"	59.56'	59.54'	N19°36'09"W
C27	524.00	5°15'58"	48.16'	48.14'	N10°38'42"W
C28	646.50	5°17'33"	59.72'	59.70'	N12°18'59"W
C29	524.00	5°15'58"	48.16'	48.14'	N05°22'44"W
C30	646.50	5°18'24"	59.88'	59.86'	N07°01'01"W
C31	476.00	7°40'13"	63.72'	63.68'	N06°49'35"W
C32	476.00	7°40'13"	63.72'	63.67'	N14°29'47"W
C33	353.50	7°40'13"	47.25'	47.25'	N14°29'47"W
C34	353.50	7°40'13"	47.25'	47.25'	N14°29'47"W
C35	476.00	1°31'58"	12.73'	12.73'	N19°05'52"W
C36	353.50	1°31'58"	9.46'	9.46'	N19°05'52"W
C37	524.00	6°02'04"	46.03'	46.03'	S17°20'49"E
C38	646.50	5°02'04"	56.81'	56.79'	S17°20'49"E
C39	524.00	6°19'10"	57.79'	57.77'	S11°40'12"E
C40	646.50	6°19'10"	71.27'	71.27'	S11°40'12"E
C41	524.00	6°19'10"	57.79'	57.77'	S05°21'02"E
C42	646.50	6°19'10"	71.27'	71.27'	S05°21'02"E
C43	524.00	2°06'23"	19.26'	19.26'	S01°08'16"E
C44	646.50	2°06'23"	23.77'	23.77'	S01°08'16"E
C45	74.00	31°48'08"	41.07'	40.55'	S15°49'00"W
C46	74.00	31°32'20"	40.73'	40.22'	S47°29'14"W
C47	74.00	28°17'53"	33.67'	33.67'	S78°22'20"W
C48	15.00	82°31'12"	21.60'	19.78'	N45°39'01"W
C49	22.00	86°27'54"	33.20'	30.14'	N43°40'40"W
C50	22.00	72°41'15"	27.91'	26.08'	N35°53'54"E
C51	15.00	29°00'59"	7.80'	7.80'	N37°44'03"E
C52	15.00	133°13'33"	34.88'	27.54'	N23°21'14"W
C53	22.00	89°50'35"	34.50'	31.07'	N45°04'42"W
C54	353.50	2°05'59"	128.81'	128.81'	S10°31'23"E
C55	646.50	2°05'59"	235.25'	233.99'	N10°32'15"W
C56	353.50	19°46'47"	122.04'	121.43'	N09°58'28"E
C57	646.50	19°46'47"	223.19'	222.08'	S09°58'28"E

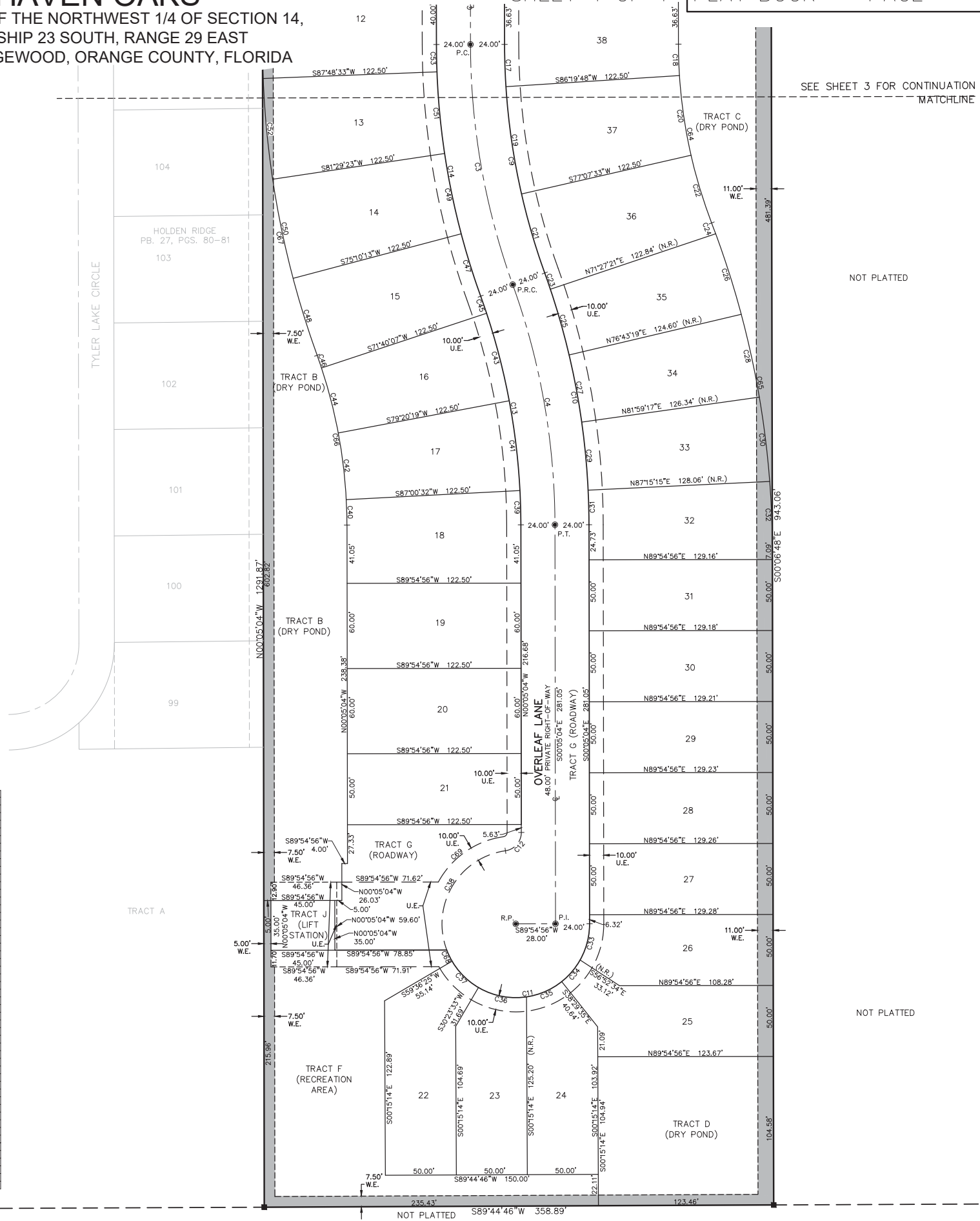
MATCHLINE
SEE SHEET 4 FOR CONTINUATION

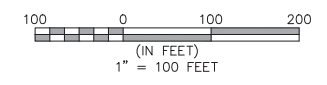
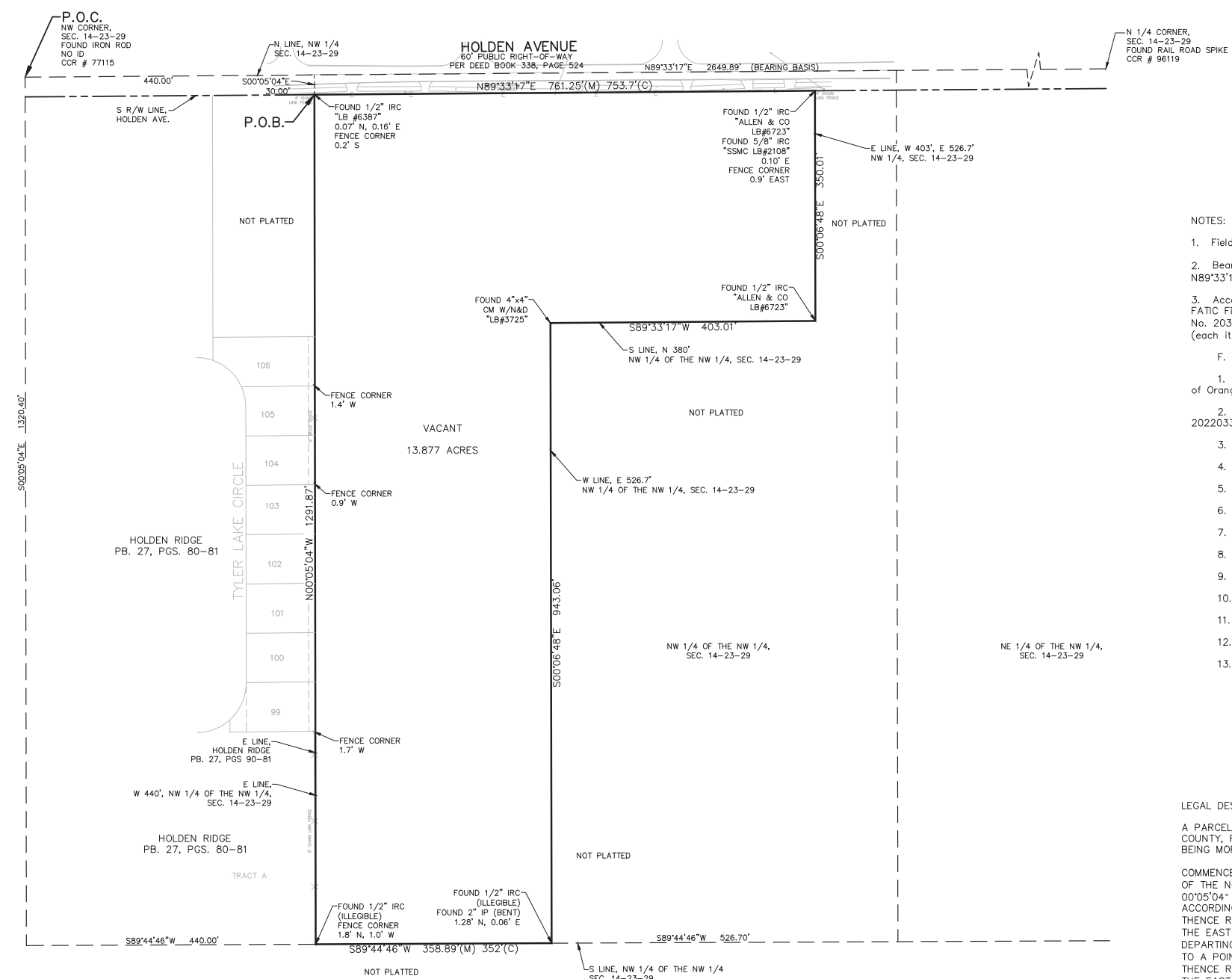


HAVEN OAKS

A PORTION OF THE NORTHWEST 1/4 OF SECTION 14,
TOWNSHIP 23 SOUTH, RANGE 29 EAST
CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C3	500.00	19°46'47"	172.61	171.76	S09°58'28"E
C4	500.00	19°46'47"	172.61	171.76	S09°58'28"E
C9	476.00	19°46'47"	164.33	163.51	S09°58'28"E
C10	524.00	19°46'47"	180.90	180.00	S09°58'28"E
C11	52.00	159°19'23"	144.60	102.31	N79°34'38"E
C12	15.00	82°02'28"	16.61	17.06	N40°56'10"E
C13	476.00	19°46'47"	164.33	163.51	N09°58'28"W
C14	524.00	19°46'47"	180.90	180.00	N09°58'28"W
C17	476.00	3°35'08"	29.79	29.78	S01°52'58"E
C18	353.50	3°35'08"	22.12	22.12	S01°52'58"E
C19	476.00	9°12'15"	76.47	76.38	S08°16'20"E
C20	353.50	9°12'15"	56.79	56.73	S08°16'19"E
C21	476.00	6°59'24"	58.07	58.04	S12°22'09"E
C22	353.50	6°59'24"	49.90	49.86	S12°22'09"E
C23	524.00	1°19'12"	12.07	12.07	N19°12'15"W
C24	646.50	0°43'14"	8.13	8.13	N20°36'05"W
C25	524.00	5°15'58"	48.16	48.14	N15°54'40"W
C26	646.50	5°15'58"	48.16	48.14	N15°54'40"W
C27	524.00	5°15'58"	48.16	48.14	N10°38'42"W
C28	646.50	5°15'58"	48.16	48.14	N12°15'55"W
C29	524.00	5°15'58"	48.16	48.14	N05°22'44"W
C30	646.50	5°18'24"	59.88	59.86	N07°01'01"W
C31	524.00	2°39'41"	24.34	24.34	N01°24'55"W
C32	646.50	4°13'01"	47.96	47.95	N02°14'19"W
C33	52.00	29°24'59"	26.70	26.41	N14°37'25"E
C34	52.00	22°10'30"	20.13	20.00	N40°25'10"E
C35	52.00	13°07'23"	17.34	17.23	N68°34'07"E
C36	52.00	38°45'45"	35.18	34.51	S78°59'19"E
C37	52.00	29°12'52"	26.51	26.23	S45°00'01"E
C38	476.00	10°24'05"	93.22	81.23	S30°21'02"E
C39	476.00	25°42'24"	24.15	24.15	N01°32'16"W
C40	353.50	2°54'24"	17.93	17.93	N01°32'16"W
C41	476.00	7°40'13"	63.72	63.68	N06°49'35"W
C42	353.50	7°40'13"	47.32	47.29	N08°49'35"W
C43	476.00	7°40'12"	63.72	63.67	N14°29'47"W
C44	353.50	7°40'12"	47.32	47.29	N14°29'47"W
C45	476.00	1°31'58"	12.73	12.73	N19°05'52"W
C46	353.50	1°31'58"	9.46	9.46	N19°05'52"W
C47	524.00	5°02'04"	46.04	46.03	S17°20'49"E
C48	646.50	5°02'04"	46.81	46.79	S17°20'49"E
C49	524.00	6°19'10"	57.79	57.77	S11°40'12"E
C50	646.50	6°19'10"	57.79	57.77	S05°21'02"E
C51	524.00	6°19'10"	57.79	57.77	S05°21'02"E
C52	646.50	6°19'10"	57.79	57.77	S05°21'02"E
C53	524.00	2°06'23"	19.26	19.26	S01°08'16"E
C64	353.50	20°52'39"	128.81	128.10	S10°31'23"E
C65	646.50	20°50'55"	235.25	233.95	N10°32'15"W
C66	353.50	19°46'47"	122.04	121.43	N09°58'28"W
C67	646.50	19°46'47"	223.19	222.08	S09°58'28"E
C68	52.00	9°37'54"	8.74	8.73	S25°34'38"E
C69	62.00	5°35'18"	57.99	55.90	S55°09'45"W





- NOTES:
1. Field work completed on February 23, 2023.
 2. Bearings shown hereon are based on the North line of the Northwest 1/4 of Section 14-23-29 being a bearing of N89°33'17\".
 3. According to the First American Title Insurance Company Property Information Report for the filing of a Subdivision Plat, FATIC File No. 2037-6279796/R-1, dated February 21, 2023, this property is subject to the following items: (each item is blanket in unless otherwise noted)
 - F. Other information regarding said property includes:
 1. Planned Development Agreement recorded on March 22, 2021, in Instrument No. 20210162289, of the Public Records of Orange County, Florida.
 2. School Concurrence Mitigation Agreement EDW-21-002 Holden Ave PD recorded on may 25, 2022, in Instrument No. 20220330866, of the Public Records of Orange County, Florida.
 3. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020430.
 4. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020431.
 5. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020499.
 6. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020500.
 7. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020533.
 8. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020565.
 9. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020566.
 10. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020567.
 11. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020633.
 12. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230020634.
 13. Notice of Commencement recorded on January 12, 2023, in Instrument No. 20230021927.

LEGAL DESCRIPTION

A PARCEL OF LAND COMPRISING A PORTION OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF AFORESAID SECTION 14; THENCE RUN NORTH 89°33'17\"/>

CONTAINS 13.877 ACRES MORE OR LESS.

- LEGEND
- P.O.C. = POINT OF COMMENCEMENT
 - P.O.B. = POINT OF BEGINNING
 - CCR = CERTIFIED CORNER RECORD
 - NO. = NUMBER
 - PB. = PLAT BOOK
 - ORB. = OFFICIAL RECORDS BOOK
 - PGS. = PAGES
 - DOC # = OFFICIAL RECORD DOCUMENT NUMBER OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
 - CM = CONCRETE MONUMENT
 - IP = IRON PIPE
 - IRC = IRON ROD AND CAP
 - (M) = MEASURED
 - (C) = CALCULATED

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND CONTROL, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND COMPLIES WITH THE STANDARDS OF PRACTICE FOR SURVEYING PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.



Digitally signed by Noah Catha
 DN: c=US, st=Florida, o=Orlando, o=Toll Brothers, Inc., cn=Noah Catha, email=ncatha@eseconsultants.com
 Date: 2023.03.02 12:15:12 -0500

Noah Catha
 Professional Surveyor & Mapper Registration No. 6873
 State of Florida
 Note: Not valid without the original raised seal of a Florida licensed Surveyor and Mapper

ESE Consultants, Inc.
 2966 Commerce Park Drive
 Suite 100
 Orlando, FL 32819
 TEL: 407-345-6050



REV.	DATE	DESCRIPTION

HAVEN OAKS
 BOUNDARY SURVEY
 CITY OF EDGEWOOD
 FLORIDA

DATE: 03/02/23	SCALE: 1"=100'
DESIGNER: ---	DRAWN: NC
JOB NO.:	FILE NAME:
REF. NO.:	47
SHEET NO.:	1

RECEIVED
 3/3/2023
 CITY OF EDGEWOOD



1117 East Robinson St.
Orlando, FL 32801
Phone: 407.425.0452
Fax: 407.648.1036

September 19, 2022

Ms. Sandy Riffle, CMC, CBTO
Deputy City Clerk
City of Edgewood
405 Bagshaw Way
Edgewood, FL 32809-3406

**RE: Haven Oaks (aka Holden Avenue) – Construction Plan Review
CPH Project No. E7601**

Dear Ms. Riffle;

We are in receipt of the re-submittal of the construction plans, received September , 2022, for the above listed project. The submittal package included the construction plans, an arbor plan, landscape and irrigation plans, hardscape plans, Stormwater Report and comment/response letters. The submittal did not include a Geotechnical Report, Environmental Assessment, or a Lighting Plan. As of this submittal, all of our previous Civil comments have been addressed.

All the outstanding civil plan review comments have been addressed. The pavilion comments are submitted under a separate letter for clarity and to assist in keeping the site plans review moving forward. All the landscape comments have been addressed.

There is one outstanding comment referencing the off-site, over-head power lines. It is our understanding per the DA that the power lines along the frontage of the site are to be buried. We do not see this called out on the plans. Please have the EOR or Developer confirm with the City that this has been accounted for in documentation to the City.

We do not have any objection to the City approving these plans once the issue with the over-head power lines has been confirmed. Please be reminded, final approval of the application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,
CPH, LLC

A handwritten signature in cursive script that reads "Allen C. Lane, Jr.".

Allen C. Lane, Jr., P.E.
Sr. Project Manager

CC: James Winter, CPH
File

J:\E7601\Civil\City Plans-Application Review\Holden Ave PD\letters\Haven Oaks Construction Plans 3rd Review
Comments - 9-2-22.docx

RECEIVED

8/30/2022

CITY OF EDGEWOOD

Section L, Item 3.

22-E-041

HAVEN OAKS CONSTRUCTION PLANS

PARCEL ID#s: 14-23-29-0000-00-004, 14-23-29-0000-00-005,
14-23-29-0000-00-042, 14-23-29-0000-00-062,
14-23-29-0000-00-063, 14-23-29-0000-00-064

CITY OF EDGEWOOD

Zoning Plans Review

By Brett Sollazzo Date 9/26/2022

Approved Rejected

Hold on Certificate of Occupancy?

Yes No

CITY OF EDGEWOOD ZONING HOLD

LEGAL DESCRIPTION

LEGAL DESCRIPTION:

PARCEL 1:

THE WEST 165 FT OF THE FOLLOWING TRACT: BEGIN AT A POINT 6 2/3 CHAINS EAST OF THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 23 S, RANGE 29 EAST, RUN THENCE EAST 5 1/3 CHAINS; THENCE SOUTH 20 CHAINS TO THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4; 5 1/3 CHAINS; THENCE NORTH 20 CHAINS TO THE POINT OF BEGINNING.

PARCEL 2:

THE EAST 187 FEET OF THE FOLLOWING: BEGIN 440 FEET EAST OF THE NORTHWEST CORNER OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN EAST 352 FEET; THENCE SOUTH 1320 FEET; THENCE WEST 352 FEET; THENCE NORTH 1320 FEET TO THE POINT OF BEGINNING, ORANGE COUNTY, FLORIDA (LESS THE NORTH 30 FEET FOR RIGHT OF WAY).

ALSO DESCRIBED AS THE EAST 187 FEET TO THE FOLLOWING: BEGINNING AT A POINT 6 2/3 CHAINS EAST OF THE NW CORNER OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN THENCE EAST 5 1/3 CHAINS, THENCE SOUTH TO THE SOUTH LINE OF THE SAID FOR1Y 20 CHAINS; THENCE WEST ALONG THE SAID SOUTH LINE OF THE SAID FOR1Y 5 1/3 CHAINS, THENCE NORTH 20 CHAINS TO THE POINT OF BEGINNING (LESS THE NORTH 30 FEET FOR RIGHT OF WAY).

PARCEL 3

THE NORTH 380 FEET OF THE WEST 303 FEET OF THE EAST 426.7 FEET OF THE NW 1/4 OF THE NW 1/4 (LESS N 155 FEET OF E 125 FEET, AND LESS N 155 FEET OF W 128 FEET, AND LESS N 30 FEET FOR ROAD), SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, OF ORANGE COUNTY, FLORIDA.

PARCEL 4

THE NORTH 155 FEET OF THE WEST 125 FEET OF THE EAST 248.7 FEET OF THE NW 1/4 OF THE NW 1/4 (LESS NORTH 30 FEET FOR ROAD) OF SECTION 14 TOWNSHIP 23 SOUTH RANGE 29 EAST, OF ORANGE COUNTY, FLORIDA.

PARCEL 5

THE NORTH 155 FEET OF THE WEST 128 FEET OF THE EAST 426.7 FEET OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14 TOWNSHIP 23 SOUTH RANGE 29 EAST, ORANGE COUNTY, FLORIDA, LESS THE NORTH 30 FEET THEREOF FOR ROAD RIGHT OF WAY.

PARCEL 6

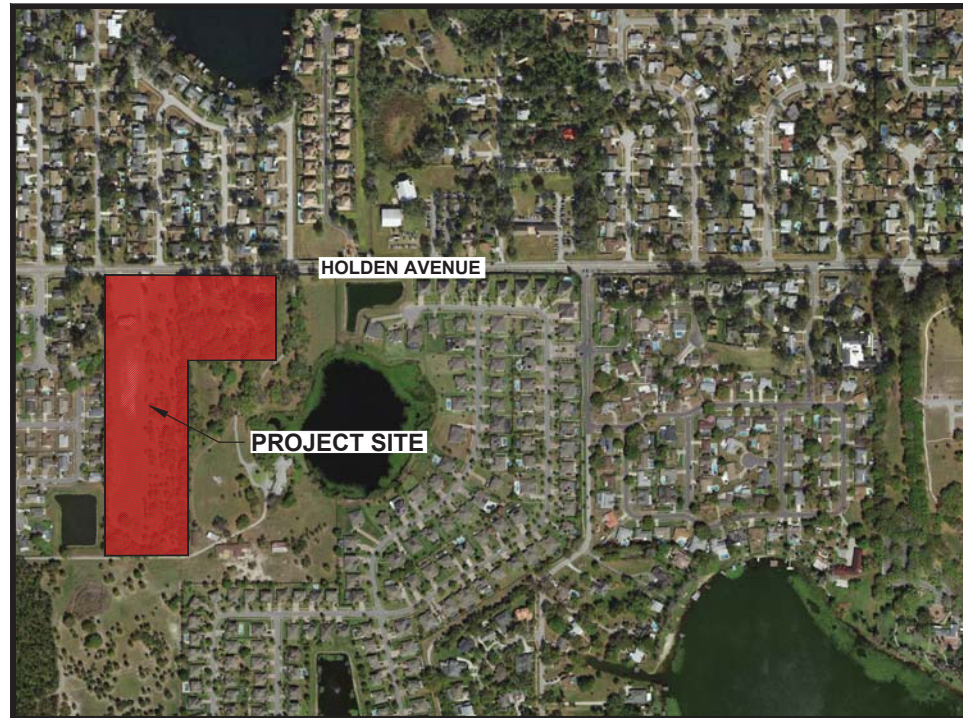
THE NORTH 380 FEET OF THE WEST 100 FEET OF THE EAST 526.7 FEET OF THE NW 1/4 OF THE NW 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA, LESS THE NORTH 30 FEET THEREOF FOR ROAD RIGHT OF WAY.

THE ABOVE DESCRIBED TRACT OF LAND LIES IN THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA AND CONTAINS 13.68 ACRES MORE OR LESS.

ORLANDO, FLORIDA 32839

2022-08-30

LOCATION MAP:



Sheet List Table	
Sheet Number	Sheet Title
BS C-000	Cover Sheet
BS C-001	General Notes
BS C-100	Demolition & Erosion Control Plan North
BS C-101	Demolition & Erosion Control Plan South
BS C-102	Demolition & Erosion Control Notes
BS C-200	Overall Site Plan
BS C-201	Geometry & Striping Plan North
BS C-202	Geometry & Striping Plan South
BS C-203	Civil Details 1
BS C-204	Vehicle Tracking Plan
BS C-205	Street Parking Signage Plan
BS C-300	Grading Plan North
BS C-301	Grading Plan South
BS C-302	Drainage Plan North
BS C-303	Drainage Plan South
BS C-304	Grading & Drainage Details 1
BS C-305	Grading & Drainage Details 2
BS C-306	Grading Sections
BS C-400	Utility Plan North
BS C-401	Utility Plan South
BS C-402	Profile Plan 1
BS C-404	Utility Details 1
BS C-403	Profile Plan 2
BS C-405	Utility Details 2
BS C-406	Utility Details 3
BS C-407	Utility Details 4
BS C-408	Utility Details 5
BS C-409	Utility Details 6
BS C-410	Lift Station & Details Plan
BS C-411	Force Main Profiles 1
BS C-412	Force Main Profiles 2
BS C-500	Offsite Plan
BS C-501	Offsite Sections 1
BS C-502	Offsite Sections 2
BS C-503	Offsite Sections 3
BS C-504	Offsite Striping Plan

PROJECT TEAM

OWNER/APPLICANT
TOLL BROTHERS, INC.
2966 COMMERCE PARK DR., SUITE 100
ORLANDO, FL 32819
SMCDONALD1@TOLLBROTHERS.COM

ENVIRONMENTAL
BIO-TECH CONSULTING
3025 E. SOUTH STREET
ORLANDO, FL 32803
(407) 894-5969

CIVIL ENGINEER
AVCON, INC.
5555 E MICHIGAN ST, SUITE 200
ORLANDO, FL 32822
(407) 599-1122

GEOTECHNICAL
UNIVERSAL ENGINEERING SCIENCES
3532 MAGGIE BLVD.
ORLANDO, FL 32811
(407) 423-0504

SURVEYOR
ALLEN & COMPANY
16 EAST PLANT STREET
WINTER GARDEN, FL 34787
(407) 654 - 5355

UTILITY PROVIDERS

WATER

ORLANDO UTILITIES COMMISSION
100 W ANDERSON ST
ORLANDO, FLORIDA 32801

SEWER/WASTEWATER

ORANGE COUNTY UTILITIES
9150 CURRY FORD RD.
ORLANDO, FLORIDA 32825

AVCON PROJECT NO.	2019.0099.15	
DATE	8/30/2022	
REVISIONS		
NO.	DATE	DESCRIPTION
△	01-13-22	CONSTRUCTION PLAN REVISIONS
△	04-22-22	OCPW RAI #1
△	05-19-22	OCU RAI #1
△	07-19-22	OCU RAI #2
△	07-19-22	CITY OF EDGEWOOD REVISION 2
△	08-01-22	OCPW RAI #2



AVCON, INC.
ENGINEERS & PLANNERS
5555 East Michigan Street, Suite 200 Orlando, FL 32822-2779
Office: (407) 599-1122 Mobile: (407) 599-1133
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 387
www.avcon.com

ENGINEER OF RECORD:

Digitally signed by
Aldo E Mejias
DN: c=US,
o=AVCON INC,
dnQualifier=A0141
0C0000178F9AEE
503000FB835,
cn=Aldo E Mejias
Date: 2022.09.22
08:53:42 -04'00'

ALDO E. MEJIAS, P.E.
FL P.E. #76019

ENGINEER'S CERTIFICATION
CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE CITY OF EDGEWOOD, ORANGE COUNTY, AND ORLANDO UTILITIES COMMISSION REGULATIONS

NOTES:

1. THE IMPROVEMENTS ON A COUNTY ROAD REQUIRES A LETTER OF CREDIT IN ACCORDANCE TO COUNTY CODE SEC 21-202 AS PART OF THE REQUIRED RIGHT OF WAY PERMIT

GENERAL NOTES

- PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM), THE SITE IS CLASSIFIED AS FLOOD ZONES X ON MAP PANEL NUMBER 12095C0410F, DATED SEPTEMBER 25, 2009.
- THE HORIZONTAL AND VERTICAL LAYOUT OF THIS PROJECT IS DESIGNED BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY ESE CONSULTANTS
- THE VERTICAL DATUM FOR WHICH ALL ELEVATIONS ARE IN REFERENCE TO, UNLESS OTHERWISE NOTED, IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), BASED ON ORANGE COUNTY BENCHMARK NUMBER 'C599002', ELEVATION 105.60' AND CITY OF ORLANDO BENCHMARK 'BM 16-030', ELEVATION 104.79'
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE FOLLOWING CODES, STANDARDS, AND SPECIFICATIONS, UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THIS CONTRACT DOCUMENTS:
 - CITY OF EDGEWOOD DESIGN STANDARDS
 - ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP)
 - FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT)
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - AMERICANS WITH DISABILITIES ACT (ADA)
 - ORLANDO UTILITIES COMMISSION (OUC)
- IF ANY OF THE STANDARDS, SPECIFICATIONS, OR CODES ARE IN CONFLICT WITH EACH OTHER OR IN CONFLICT WITH THE DESIGN AS DEPICTED WITHIN THIS PLAN SET, THE ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY. THE MORE STRINGENT CRITERIA SHALL BE FOLLOWED AT THE DISCRETION OF THE ENGINEER OF RECORD.
- THE SURVEY, ALL STANDARDS & SPECIFICATIONS LISTED HEREIN, AND ALL PLAN SHEETS PREPARED BY AVCON, INC., ARE HEREBY INCORPORATED AS THE "COMPLETE CIVIL ENGINEERING CONSTRUCTION DOCUMENTS", HEREINAFTER REFERRED TO AS "CONSTRUCTION DOCUMENTS".
- IF ANY ITEMS ARE DISCOVERED WITHIN THE CONSTRUCTION LIMITS THAT APPEAR TO BE HISTORICAL OR ARCHEOLOGICAL ARTIFACTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, ENGINEER OF RECORD, AND THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, BUREAU OF HISTORIC PRESERVATION.
- MANHOLE FRAMES AND COVERS SHALL BE ADJUSTED TO MATCH FINISHED GRADE.
- ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

GRADING AND DRAINAGE NOTES

- PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, CONTRACTOR SHALL TAKE ALL NECESSARY AND PRACTICAL MEASURES TO ENSURE THAT UNAUTHORIZED ACCESS TO THE EXCAVATION IS PREVENTED.
- ALL GRADING AND SITE PREPARATION SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO ORANGE COUNTY AND CITY OF EDGEWOOD REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE SODDED PER PROJECT SPECIFICATIONS.
- ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE EXTERIOR FINISHED GRADES UNLESS INDICATED OTHERWISE.
- INLET AND MANHOLE ELEVATIONS ARE TOP OF RIM.
- ALL SIDEWALK CROSS SLOPE SHALL HAVE MAXIMUM 2% CROSS SLOPE. SIDEWALK ALONG BUILDING SHALL SLOPE AWAY FROM BUILDING AND SIDEWALK ALONG STREET SHALL SLOPE TOWARD THE STREET.
- ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS IF THE ACTUAL FIELD CONDITIONS VARY FROM THE SURVEYED INFORMATION THAT THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH THIS AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INFORMATION SHOULD THE INTENT OF THE PLANS BE UNCLEAR.
- THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXCESS CUT OR SUPPLYING FILL AS NEEDED TO GRADE THE SITE AS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
- F.S. 556 REQUIRES CONTRACTORS TO CONTACT SUNSHINE 811 PRIOR TO ANY DEMOLITION OR EXCAVATION. FLORIDA LAW (F.S. 556) UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT MANDATES THAT EXCAVATORS / CONTRACTORS SHALL CONTACT SUNSHINE 811 (EAK: SUNSHINE STATE ONE-CALL OF FLORIDA) BY CALLING 800-432-4770 OR 811 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION TO ALLOW MEMBER OPERATORS AN OPPORTUNITY TO IDENTIFY AND MARK THEIR UNDERGROUND FACILITIES AND APPROPRIATELY RESPOND TO THE POSITIVE RESPONSE SYSTEM.
- CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.650, SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62., FLORIDA STATUTES.
- CONTRACTOR RESPONSIBLE TO OBTAIN ALL NECESSARY APPROVALS FOR DEWATERING ACTIVITIES.
- THE CONTRACTOR MUST MEET ALL DEWATERING CRITERIA AS REQUIRED BY ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD).
- IF DEWATERING IS REQUIRED, THE CONTRACTOR IS TO SUBMIT A DEWATERING APPLICATION PACKAGE TO SJRWMD AT LEAST 21 DAYS PRIOR TO COMMENCING WITH DEWATERING ACTIVITIES.

PIPE TRENCH/BEDDING NOTES (AVCON, INC.)

- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- THE TOP TWENTY-FOUR (24) INCHES OF ALL UTILITY TRENCHES WITHIN VEHICULAR TRAVEL PATHS SHALL BE PLACED IN MAXIMUM OF TWELVE (12) INCH LIFTS AND SHALL BE COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY. ALL OTHER UTILITY TRENCHES SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF THE MAXIMUM DENSITY.
- PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK, IN ACCORDANCE WITH BEDDING AND TRENCHING DETAIL, MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
- COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THREE AND ONE-HALF (3 1/2) INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 10 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
- MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE. ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED AS SPECIFIED HEREIN FOR DISPOSAL OF UNSUITABLE MATERIALS. SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE MATERIAL SHALL CONTAIN NO STONES LARGER THEN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

CONTRACTOR NOTES

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), CONTRACTOR FURTHER AGREES TO COMPLY WITH ALL STATE LAWS AND REGULATIONS PERTAINING TO JOB SITE SAFETY.
- CONTRACTOR SHALL BE AWARE OF, AND FOLLOW, ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, BUILDING CODES, AND SAFETY CODES.
- CONTRACTOR SHALL OBTAIN, FROM THE OWNER, COPIES OF ALL PERMITS ISSUED BY THE GOVERNING AUTHORITIES FOR THIS PROJECT. CONTRACTOR SHALL ABIDE BY ALL TERMS, CONDITIONS, REQUIREMENTS, AND LIMITATIONS CONTAINED WITHIN SAID PERMITS. A COPY OF ALL PERMITS SHALL BE KEPT ONSITE AND AVAILABLE FOR REVIEW AT ANY TIME.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER REQUIRED PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- THE LOCATION OF EXISTING UTILITY SERVICES AND SITE IMPROVEMENTS IS BASED ON THE BEST AVAILABLE DATA DURING THE DESIGN PHASE OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL AREAS WITHIN THE PROJECT LIMITS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER.
- ALL WORK PERFORMED BY THE CONTRACTOR, OR THEIR DESIGNEES, SHALL BE IN REASONABLE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR IS RESPONSIBLE FOR PRODUCING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN AND HAVING IT APPROVED BY THE CITY OF EDGEWOOD FOR ANY LOCATIONS WHERE CONSTRUCTION CAUSES AN OBSTRUCTION TO THE NORMAL FLOW OF TRAFFIC OR POSES A THREAT, IN ANY WAY, TO THE WELL-BEING OF THE PUBLIC.
- CONTRACTOR SHALL PREPARE AN MOT PLAN FOR REVIEW AND APPROVAL BY ORANGE COUNTY FOR WORK IN THE HOLDEN AVENUE ROW. CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND MAINTAINING EVERYTHING REQUIRED TO EXECUTE THE M.O.T. PLAN.
- IF THE CONTRACTOR BELIEVES THAT THERE ARE ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS, THEY SHALL CONTACT THE OWNER, OR OWNERS DESIGNEE, IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. IF EXISTING SURVEY MONUMENTATION IS DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, IT SHALL BE RESTORED BY A LICENSED FLORIDA LAND SURVEYOR, SELECTED BY THE OWNER, AT THE CONTRACTORS EXPENSE.
- THE OWNER, OWNER'S REPRESENTATIVES AND GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT, SHALL BE GRANTED ACCESS TO THE SITE, BY THE CONTRACTOR, AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL PROVIDE THE NECESSARY FACILITIES FOR SUCH ACCESS.
- CONTRACTOR SHALL ENSURE THAT THE SITE IS SECURE FROM UNAUTHORIZED ACCESS. MEASURES TAKEN MAY INCLUDE, BUT ARE NOT LIMITED TO, PERIMETER FENCING, SIGNAGE, AND/OR SECURITY GUARDS.
- UNTIL FINAL ACCEPTANCE BY THE OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL COMPLETED WORK THAT MAY BE SUBJECT TO DAMAGE BY SUBSEQUENT CONSTRUCTION ACTIVITIES, INCLIMATE WEATHER, OR ANY OTHER CAUSE, ANY WORK THAT IS DAMAGED SHALL BE REPAIRED OR REPLACED PRIOR TO THE OWNER'S FINAL ACCEPTANCE, AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL NOT PERFORM ANY WORK LOCATED BEYOND THE LIMITS OF CONSTRUCTION AS REPRESENTED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES AND/OR LENGTHS OF MATERIALS DEPICTED THROUGHOUT THE CONSTRUCTION DOCUMENTS. ALL QUANTITY AND LENGTH CALL-OUTS THROUGHOUT THE CONSTRUCTION DOCUMENTS ARE MERELY FOR REFERENCE AND SHALL NOT BE USED AS CONTRACTORS BASIS OF BIDDING THE PROJECT.
- IT IS THE ENGINEER'S INTENT TO HAVE CONSTRUCTED WHAT IS REPRESENTED ON THE ENGINEER'S PLANS. IF THE CONTRACTOR DISCOVERS A DISCREPANCY BETWEEN ANY CALL-OUT ON THE PLANS VERSUS WHAT IS SHOWN ON THE PLANS, IT SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO BIDDING THE PROJECT. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL ERRORS AND NECESSARY CORRECTIONS THAT ARISE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO PROCUREMENT OF MATERIALS, INCLUDING, BUT NOT LIMITED TO, CONCRETE MIX, LIMEROCK AND ASPHALT CONCRETE PAVING.
- CONTRACTOR SHALL SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO THE ENGINEER CERTIFICATION LETTERS AND ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM CONSTRUCTION ACTIVITIES WITHIN ROW
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OUT ANY EXISTING PIPE AND/OR STRUCTURE TO REMAIN ON-SITE TO ENSURE PROPER OPERATION OF THE SYSTEM

UTILITY NOTES

- THE CONSTRUCTION OF ALL ONSITE, PRIVATELY OWNED UTILITIES (WATER AND WASTEWATER), SHALL BE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS FOR THE PROJECT AND ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL AND OUC GUIDELINES FOR DESIGN OF POTABLE WATER DISTRIBUTION FACILITIES IN NEW DEVELOPMENTS. THE CONSTRUCTION OF ALL OFFSITE UTILITIES, OWNED BY THE PURVEYOR, SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY ORANGE COUNTY UTILITIES (OCU) AND ORLANDO UTILITIES COMMISSION (OUC) GUIDELINES.
 - ALL ON SITE UTILITY CONSTRUCTION TO POINT OF SERVICE CONNECTIONS SHALL BE PERFORMED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED BY THE STATE OF FLORIDA.
 - ALL ON SITE UTILITY SERVICES FROM THE WATER METER FOR EACH LOT TO THE HOME SHALL BE PERFORMED BY A PLUMBER LICENSED BY THE STATE OF FLORIDA.
- THE LICENSED UNDERGROUND UTILITY CONTRACTOR AND PLUMBING CONTRACTOR SHALL COORDINATE FULLY WITH ORANGE COUNTY UTILITIES (OCU) AND ORLANDO UTILITIES COMMISSION (OUC) FOR THE REQUIREMENT OF THEIR WORK, INCLUDING NECESSARY PERMITS, INSPECTIONS AND APPROVALS.
- ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, FIRE HYDRANTS, AND RELATED PRODUCTS THAT WILL COME INTO CONTACT WITH DRINKING WATER SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NSF INTERNATIONAL STANDARD 61.
- ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. ALL NEW AND RELOCATED WATER MAIN PIPE AND FITTINGS SHALL CONTAIN NO MORE THAN 0.25 PERCENT LEAD, AND ALL PACKING AND JOINTING MATERIALS USED IN THE JOINTS OF NEW OR RELOCATED WATER MAIN PIPE SHALL BE IN CONFORMANCE WITH APPLICABLE AWWA STANDARDS.
- ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS AND/OR THE PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF THE PIPE, AND CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND NEW AND RELOCATED WATER MAIN PIPE TO A SUFFICIENT HEIGHT ABOVE IT TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.
- ALL TEES, BENDS, PLUGS, AND HYDRANTS IN NEW AND RELOCATED WATER MAINS SHALL BE PROVIDED WITH MECHANICALLY RESTRAINED JOINTS TO PREVENT MOVEMENT OR SEPARATION OF THE PIPE AND ITS APPURTENANCES.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.345, F.A.C.
- BACKFLOW-PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, F.A.C. AND THE AWWA MANUAL M14, RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL AND ORLANDO UTILITIES COMMISSION (OUC) GUIDELINES.
- ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE, AND ALL PIPE AND PIPE FITTINGS FOR NEW AND RELOCATED WATER SERVICES SHALL CONTAIN NO MORE THAN 0.2 PERCENT LEAD.
- THE CONTRACTOR SHALL NOTIFY ORANGE COUNTY UTILITIES (OCU) OR ORLANDO UTILITIES COMMISSION (OUC) 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- ALL WATER DISTRIBUTION PIPING OWNED BY ORANGE COUNTY UTILITIES (OCU) OR ORLANDO UTILITIES COMMISSION (OUC) SHALL BE DUCTILE IRON PIPE. THE EXTENTS OF PIPING TO BE DUCTILE IRON SHALL BE FROM THE WET TAP TO THE UNDERGROUND 90° BEND ON THE DOWNSTREAM SIDE OF THE BACKFLOW PREVENTERS.
- ALL EXISTING UTILITIES MUST BE FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
- ALL UTILITIES (INCLUDING PUMP STATION) SHALL BE OWNED AND MAINTAINED BY ORANGE COUNTY UTILITIES (OCU) AND ORLANDO UTILITIES COMMISSION (OUC)
- MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER LINES.
- ALL WATER DISTRIBUTION SYSTEM PRESSURE PIPE SHALL HAVE A MINIMUM OF THIRTY-SIX (36) INCHES OF COVER.
- ALL PVC WATER DISTRIBUTION SYSTEM PRESSURE PIPE TO BEAR NSF LOGO FOR POTABLE WATER USE. ALL PVC PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900 (LATEST EDITION). THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150 PSI AND SHALL HAVE A DIMENSION RATIO (DR) OF 14 FOR PIPE OF NOMINAL DIAMETER FOUR (4) INCHES THROUGH TWELVE (12) INCHES. ALL PVC PIPE SMALLER THAN 4" SHALL BEAR THE NSF LOGO AND SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 200 PSI.
- THE CONTRACTOR SHALL TAKE ADEQUATE MEASURES TO ENSURE THE PROTECTION OF EXISTING ACTIVE MAINS FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING AND MAINTAINING A PRESSURE IN THE PIPING UNTIL A LETTER OF CLEARANCE IS OBTAINED FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- HYDROSTATIC TESTS WILL BE PERFORMED ON THE NEWLY INSTALLED POTABLE WATER DISTRIBUTION SYSTEM PRESSURE PIPE AND APPURTENANCES IN ACCORDANCE WITH ANSI/AWWA C600-93 SECTION 4.
- WATER DISTRIBUTION LINES AND SERVICES ARE SHOWN SCHEMATICALLY. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE SYSTEM WITH THE NECESSARY FITTINGS, JOINTS, AND BENDS TO ALIGN THE SYSTEM IN COMPLIANCE WITH FDEP PERMIT REQUIREMENTS, AND OUC STANDARDS AND ACCEPTANCE.
- IN THE EVENT THAT THE POTABLE WATER SYSTEM IS CONTAMINATED (I.E. WATER DOES NOT MEET FEDERAL AND STATE REQUIREMENTS) DUE TO CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE RESPONSIBLE, UNDER THE DIRECTION OF THE OWNER, OR STATE AND LOCAL REGULATORY AGENCY, FOR CORRECTING ANY SUCH CONTAMINATION PROBLEM INCLUDING DISINFECTION, TESTING, AND OTHER CORRECTIVE ACTION AT CONTRACTOR'S EXPENSE.
- STABILIZED ROADBEDS AND A SUITABLE WATER SUPPLY SHALL BE PROVIDED ON THE PROJECT WHEN AND IF COMBUSTIBLE MATERIALS ARE BROUGHT ONTO THE CONSTRUCTION SITE IN QUANTITIES DEEMED TO BE HAZARDOUS PER 602.6.1 SFC (94' ED.).

FIRE

- HYDRANT COLOR CODING SHALL BE PAINTED IN ACCORDANCE WITH N.F.P.A. 291.
- THE BODY OF PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN COLOR. COLOR CODING OF THE HYDRANT BONNET AND CAPS TO ILLUSTRATE AVAILABLE FIRE FLOW AMOUNTS SHALL BE ACCOMPLISHED PER THE GUIDELINES OF NFPA 291, RECOMMENDED PRACTICES FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS.
- FIRE PROTECTION SYSTEM MAINS ON PRIVATE PROPERTY SHALL MEET THE REQUIREMENTS AND SHALL BE INSTALLED PER NFPA 24, STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES AND/OR NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS AS ADOPTED IN THE FLORIDA FIRE PREVENTION CODE.
- FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE LARGE 4.5" (STEAMER) PORT IS FACING THE ROADWAY IT IS ACCESSED BY.
- CLEARANCES AROUND THE PROPOSED FIRE DEPARTMENT CONNECTION MUST BE AT LEAST 7.5' IN FRONT OF AND TO EITHER SIDE OF THE APPLIANCE PER ORANGE COUNTY FIRE RESCUE DEPARTMENT'S NEW CONSTRUCTION CHECKLIST AS ADOPTED IN THE FPFC.
- ALL PVC PIPING DEDICATED FOR FIRE PROTECTION SHALL HAVE A DIMENSION RATIO OF 14.
- THE CENTER OF A HOSE OUTLET SHALL BE NOT LESS THAN 18" ABOVE FINAL GRADE OR, WHERE LOCATED IN A HOSE HOUSE, 12" ABOVE THE FLOOR PER 7.3.3, NFPA 24.
- FIRE HYDRANTS SHALL BE LOCATED 5' FROM THE EDGE OF PAVEMENT, MEASURED FROM THE CENTER

Section L, Item 3.



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HAVEN OAKS

CONSTRUCTION PLANS

GENERAL NOTES

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SCALE:

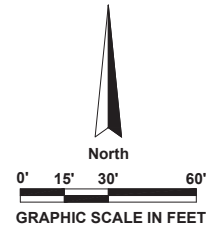
REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	01-13-2022	BRE	CONST PLAN REVISIONS

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-00

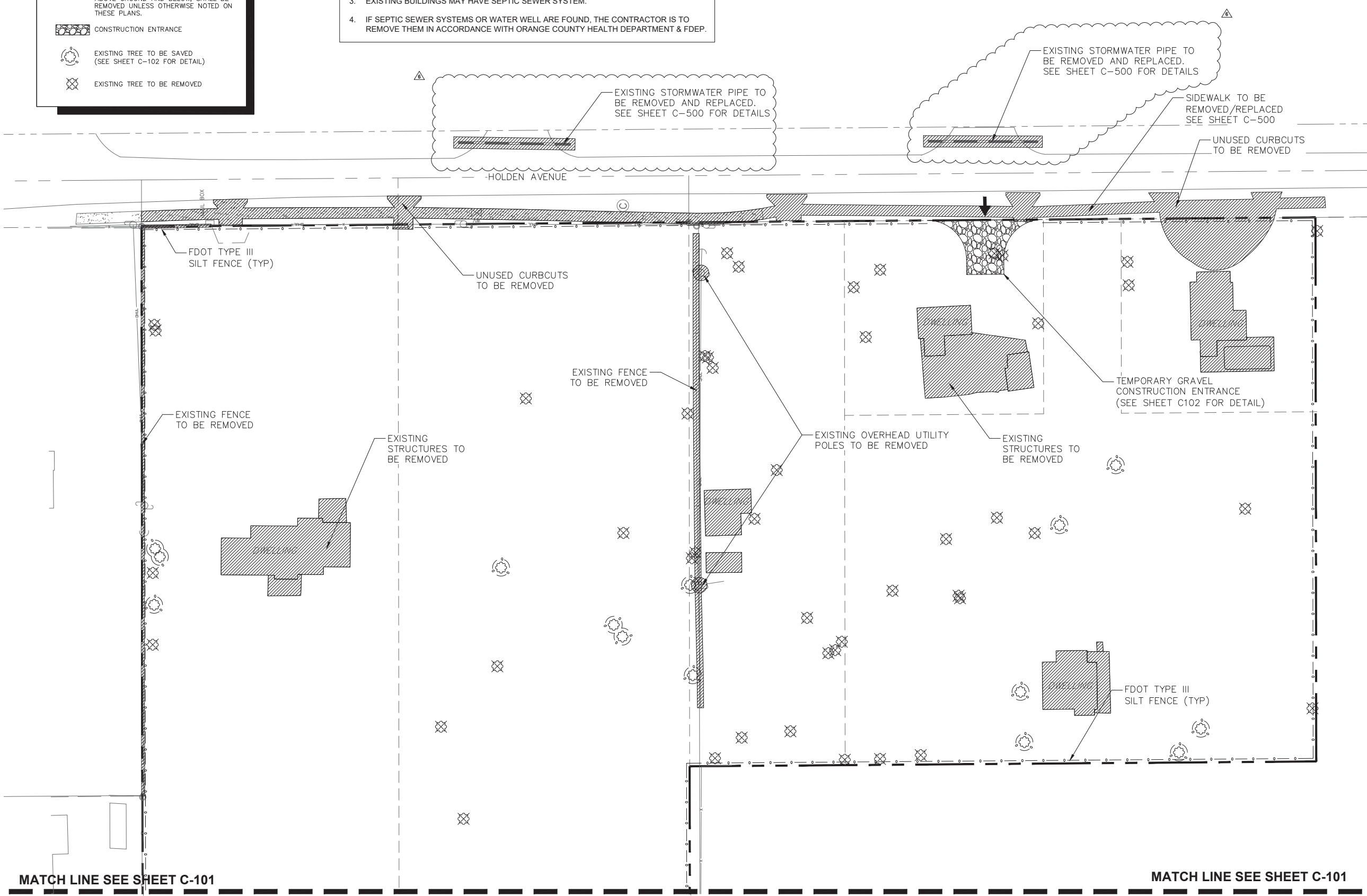


LEGEND:

- FDOT TYPE III SILT FENCE
- ➔ CONSTRUCTION ENTRANCE
- ▨ LIMITS OF CLEARING & GRUBBING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVEMENT, WALKS, FENCE, BUILDING, UTILITIES, TREES, ETC) ALL IMPROVEMENTS IN THIS AREA BOTH ABOVE GROUND AND BELOW SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- ⊗ CONSTRUCTION ENTRANCE
- ⊙ EXISTING TREE TO BE SAVED (SEE SHEET C-102 FOR DETAIL)
- ⊗ EXISTING TREE TO BE REMOVED

NOTE:

1. FIELD LOCATION OF TREES ALONG THE PROPERTY BORDER ARE TO BE FIELD VERIFIED, AND THE LOCATION OF THE PRECAST WALL AND WALL EASEMENT SHALL BE ADJUSTED AS NECESSARY TO AVOID AND PROTECT TREES DESIGNATED TO BE SAVED.
2. CONTRACTOR TO LOCATE WATER SERVICES OF EXISTING BUILDINGS AND REMOVE AND PLUG AT PROPERTY LINE.
3. EXISTING BUILDINGS MAY HAVE SEPTIC SEWER SYSTEM.
4. IF SEPTIC SEWER SYSTEMS OR WATER WELL ARE FOUND, THE CONTRACTOR IS TO REMOVE THEM IN ACCORDANCE WITH ORANGE COUNTY HEALTH DEPARTMENT & FDEP.



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CONSTRUCTION PLANS

DEMOLITION & EROSION CONTROL PLAN NORTH

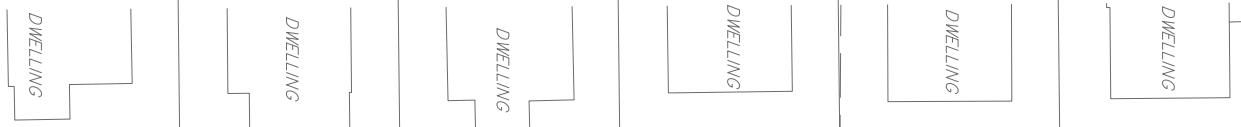
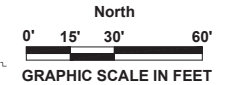
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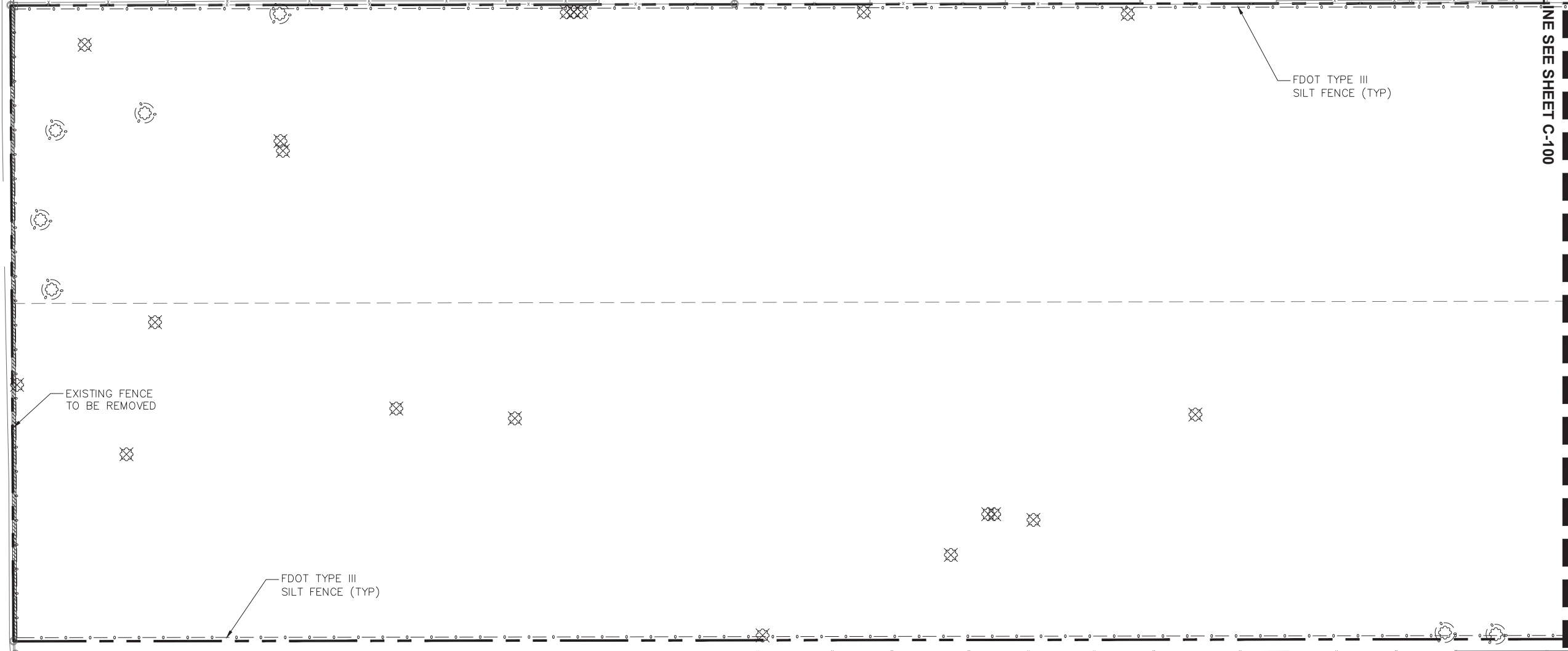
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1	08-01-2022	BRE	OCPW RAI#2

DESIGNED BY: RVB
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 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 08-30-2022

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MATCH LINE SEE SHEET C-100



FDOT TYPE III
SILT FENCE (TYP)

EXISTING FENCE
TO BE REMOVED

FDOT TYPE III
SILT FENCE (TYP)

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HAVEN OAKS

CONSTRUCTION PLANS

DEMOLITION & EROSION
CONTROL PLAN SOUTH

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LEGEND:

- FDOT TYPE III SILT FENCE
- ➔ CONSTRUCTION ENTRANCE
- ▨ LIMITS OF CLEARING & GRUBBING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVEMENT, WALKS, FENCE, BUILDING, UTILITIES, TREES, ETC) ALL IMPROVEMENTS IN THIS AREA BOTH ABOVE GROUND AND BELOW, SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- ➔ CONSTRUCTION ENTRANCE
- ⊙ EXISTING TREE TO BE SAVED (SEE SHEET C-102 FOR DETAIL)
- ⊗ EXISTING TREE TO BE REMOVED

MATCH LINE SEE SHEET C-100

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

AN EROSION CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND APPROVED BY THE CITY OF EDGEWOOD PRIOR TO SCHEDULING OF PRE-CONSTRUCTION CONFERENCE. THE CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS ARE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS CONDITION WILL BE SATISFIED FOR THE TOTAL ANTICIPATED CONSTRUCTION PERIOD. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENTS BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF THE CONSTRUCTION. CONTRACTOR SHALL PROVIDE SYNTHETIC HAY BALES, TEMPORARY GRASSING ETC. AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION.

- STOCKPILING MATERIAL:
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DRAIN DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
- EXPOSED MATERIAL:
THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING, OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 40 ACRES SO LONG AS THIS OPERATION WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
- INLET PROTECTION:
THE CONSTRUCTION OF SWALES AND THE STORMWATER COLLECTION SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- TEMPORARY SEEDING:
AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN SEVEN DAYS, SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
- TEMPORARY GRASSING:
SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN 4 ABOVE, SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDDED AREA TO A DEPTH OF FOUR INCHES.
- TEMPORARY GRASSING:
THE SEEDDED OR SEEDDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR COVER.
- TEMPORARY RE-GRASSING:
IF AFTER FOURTEEN DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% COVERAGE, AREAS WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER.
- MAINTENANCE:
ALL FEATURES OF THE PROJECT WILL BE CONSTRUCTED TO PREVENT EROSION AND SEDIMENT AND SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
- DUST ABATEMENT:
DUST SHALL BE CONTROLLED WITH USE OF WATER AND CALCIUM CHLORIDE.
STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

EROSION CONTROL NOTES:

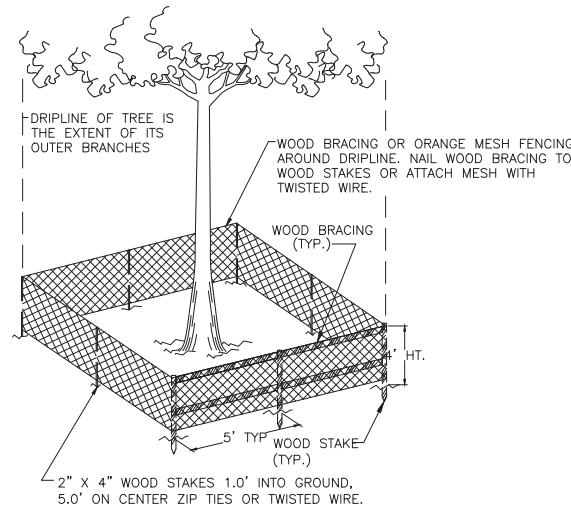
- THE CONSTRUCTION OF SWALES AND THE STORM SEWER SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- INLET OPENINGS SHALL BE COVERED WITH FILTER FABRIC OR SURROUNDED BY SYNTHETIC HAY BALES.
- THE CONTRACTOR SHALL MINIMIZE THE AERIAL EXTENT OF EXPOSED EARTH AT ONE TIME DURING CONSTRUCTION AND UTILIZE WATERING TRUCKS TO WET THE EARTH DURING DRY MONTHS TO MINIMIZE EROSION DUE TO WIND.
- SILT FENCE MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT AND FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO REMAIN ON THE ROADWAY OVERNIGHT BY THE CONTRACTOR.
- ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - PREPARING FDEP NOTICE OF INTENT APPLICATIONS, (NOI & NOT)
 - FDEP NOTICE OF INTENT APPLICATION FEES.
 - PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
 - SUBMITTAL OF THE FDEP NOTICE OF INTENTS APPLICATIONS (NOI & NOT)
- THE SUBMITTAL OF THE FDEP NOI MUST BE DONE PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL OBTAIN WATER MANAGEMENT DISTRICT PERMITS PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DOWATERING PERMITS.
- UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS, AS A MINIMUM, SHALL BE SEEDDED AND MULCHED AND COMPACTED EQUIVALENT TO THAT OF NATIVE SURROUNDING EARTH.

SEDIMENT CONTROL NOTES:

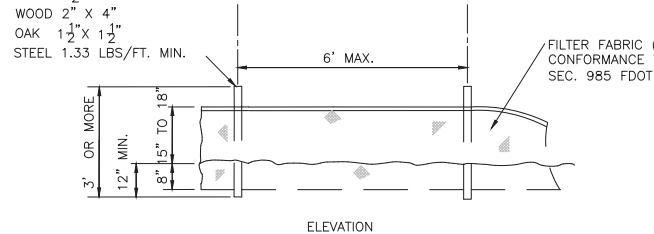
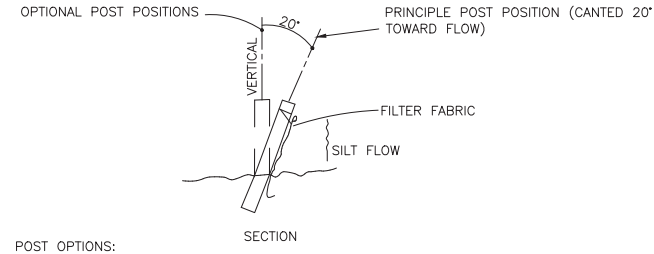
- ALL SEDIMENT CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OR EXISTING SURFACE MATERIAL ON THE BALANCE OF THE SITE.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED.
- ALL TEMPORARY EARTH BERMS AND DIVERSIONS SHALL BE MACHINE COMPACTED, SEEDDED, AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 7 DAYS AFTER GRADING.
- CONSTRUCTED BERMS, DIKES, ETC., SHALL BE COMPACTED BY SEVERAL PASSES WITH CONSTRUCTION EQUIPMENT (BULLDOZER, BACKHOE, OR OTHER HEAVY EQUIPMENT, OR BY USE OF A SUITABLE ROLLER).
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- IN PLACE SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED AND ALL PERMIT REQUIREMENTS ARE MET.

DEMOLITION NOTES:

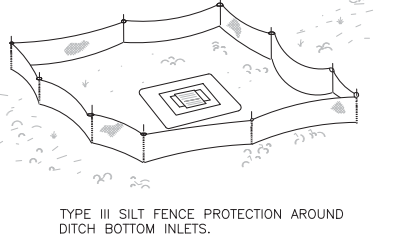
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCOMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY.
- FLORIDA LAW (F.S. 558) UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT MANDATES THAT EXCAVATORS / CONTRACTORS SHALL CONTACT SUNSHINE 811 (FKA: SUNSHINE STATE ONE-CALL OF FLORIDA) BY CALLING 800-432-4770 OR 811 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION TO ALLOW MEMBER OPERATORS AN OPPORTUNITY TO IDENTIFY AND MARK THEIR UNDERGROUND FACILITIES AND APPROPRIATELY RESPOND TO THE POSITIVE RESPONSE SYSTEM.
- ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ASPHALT RESURFACING TO ALL EXISTING ROADS WHICH ARE SAW-CUT OR DAMAGED DURING CONSTRUCTION. ALL REPAIRS TO BE MADE IN ACCORDANCE WITH CITY OF EDGEWOOD REQUIREMENTS.
- ANY ENCOUNTERED CONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
- ANY MISCELLANEOUS GARBAGE, YARD WASTE AND CONSTRUCTION DEBRIS PRESENTLY ON-SITE DUE TO ILLEGAL DUMPING SHALL BE DISPOSED OF OFF-SITE ACCORDING TO THE SOLID WASTE AND HAZARDOUS WASTE REGULATIONS. USE CAUTION IF ANY HAZARDOUS WASTE IS PRESENT.
- EXISTING IRRIGATION SYSTEMS ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE PROTECTED. ANY IRRIGATION SYSTEM COMPONENTS REMOVED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RESTORED AS QUICKLY AS POSSIBLE.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION; FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADES.
- SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
- AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF ABUTTING ROADS SHALL BE BACK FILLED IN ACCORDANCE WITH FOOT STANDARDS OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR EXPENSE.
- THE CONTRACTOR SHALL ENSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH FOOT STANDARDS FOR WORK BEING PERFORMED. ACCESS TO ADJACENT PROPERTIES TO BE MAINTAINED DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH CONSTRUCTION OF IMPROVEMENTS WITHIN THE ROAD RIGHT-OF-WAY TO MINIMIZE TRAFFIC DISRUPTION.
- CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. ALL EXISTING UTILITY CONNECTIONS TO BE DISCONNECTED AND REMOVED TO SERVICE POINT OR METER UNLESS NOTED TO REMAIN. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS/HERS EXPENSE.
- EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- CLEAR AND GRUB ALL DISTURBED AREAS PRIOR TO CONSTRUCTION.



TREE PROTECTION BARRICADE DETAIL
N.T.S.



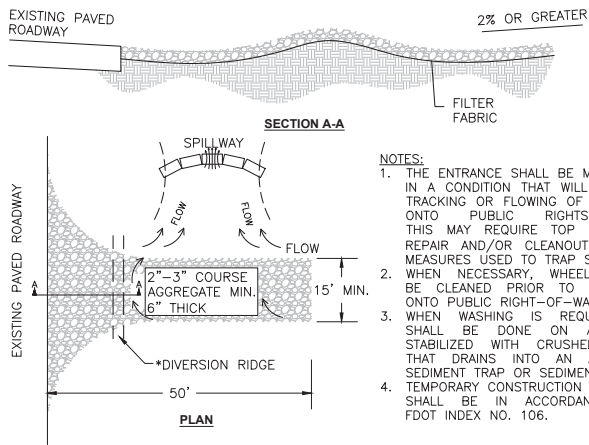
TYPE III SILT FENCE
N.T.S.



TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS.

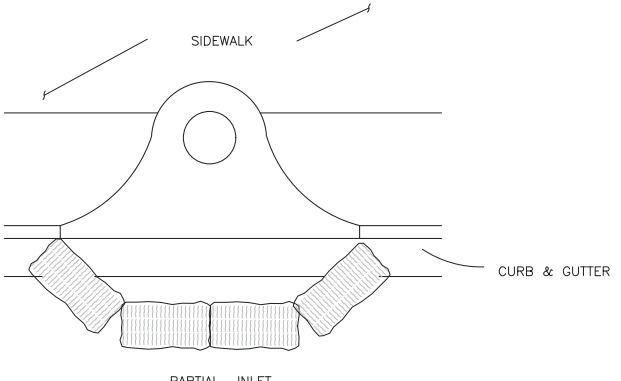
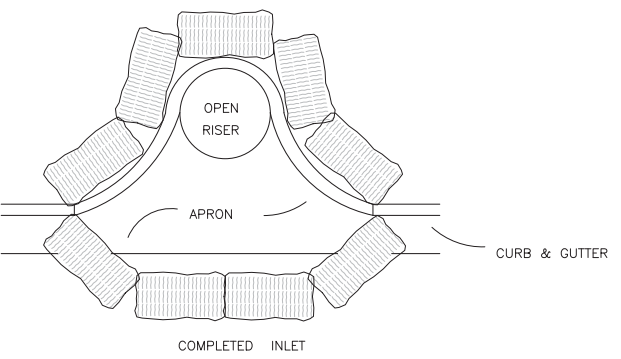
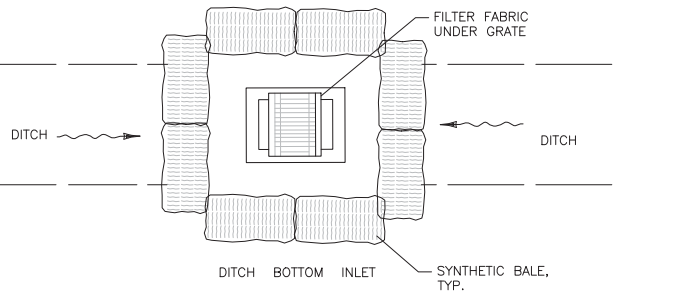
NOTE: DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UNPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
N.T.S.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
*DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - TEMPORARY CONSTRUCTION ENTRANCE SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 106.



NOTE: ANCHOR SYNTHETIC BALES WITH 2 - 2" x 2" x 4' STAKES PER BALE.

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

DEMOLITION & EROSION CONTROL NOTES

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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	01-13-2022	BRE	CONST PLAN REVISIONS

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

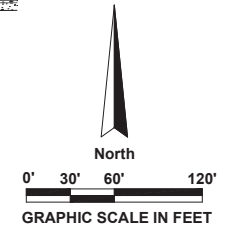
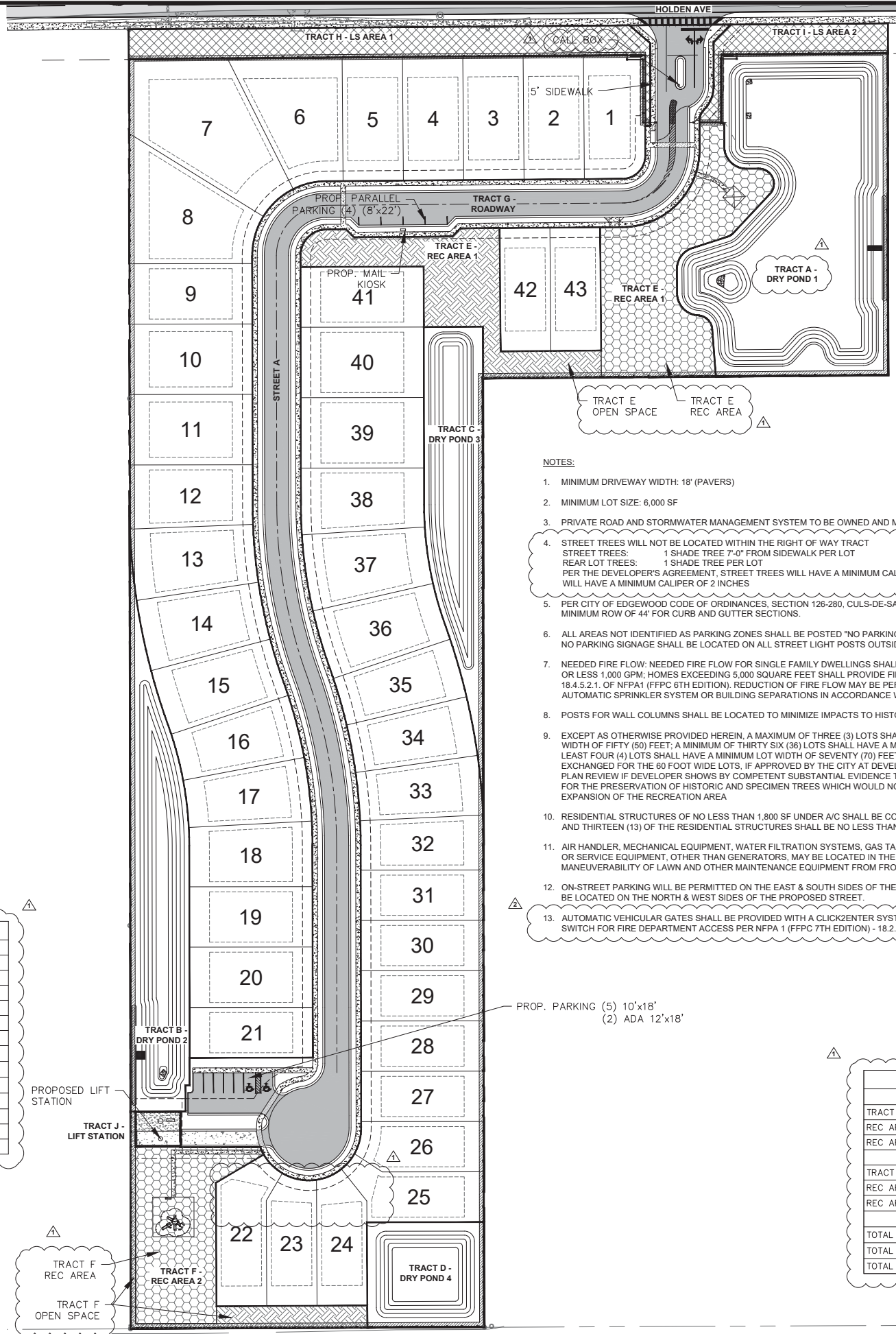
GENERAL SITE DATA	
PARCEL ID#	14-23-29-0000-00-004 14-23-29-0000-00-005 14-23-29-0000-00-062 14-23-29-0000-00-064 14-23-29-0000-00-063 & 14-23-29-0000-00-042
ZONING	PD
EXISTING USE	VACANT / SINGLE FAMILY HOME
JURISDICTION	CITY OF EDGEWOOD
FUTURE LAND USE	LOW DENSITY RESIDENTIAL (LDR)
DEVELOPABLE AREA	13.68 ACRES
LOT DENSITY	3.14 DU/AC (MAX 4 DU/AC)
PROPOSED DEVELOPMENT (SINGLE FAMILY)	43 LOTS (SINGLE PHASE)
MINIMUM LIVING AREA	1,800 SF MINIMUM. 13 OF THE RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN 2200 SF
NET UNITS PER ACRE	3.14 UNITS PER ACRE
MIN. LOT SIZE	6,000 SF
MIN. LOT WIDTH	50' (FRONT SETBACK LINE)
MAXIMUM BUILDING HEIGHT	35' TWO STORY
MAXIMUM IMPERVIOUS LOT COVERAGE	70% FOR 50' AND 60' LOTS, 63% FOR 70' LOTS
OPEN SPACE REQUIREMENT	40% (46.63% PROVIDED)
RECREATION AREA (5% OF THE TOTAL AREA)	0.775 AC REQUIRED, 0.821 PROVIDED
PROJECTED STUDENT POPULATION (43 DWELLING UNITS X 0.431 STUDENTS)	19 STUDENTS
ITE AVERAGE DAILY TRIPS (43 LOTS X 9.52 ADT)	409.4 ADT (ITE CODE 210)
OCU POTABLE WATER SERVICE (43 LOTS X 275 GPD)	11,825 GPD (8.21 GPM)
FIRE PROTECTION (ORANGE COUNTY FIRE & RESCUE)	1000 GPM
OCU SANITARY SEWER SERVICE (43 LOTS X 300 GPD)	12,900 GPD (8.96 GPM)
STORMWATER	STORMWATER FACILITY ON SITE
PHASING SCHEDULE	PROJECT TO BE CONSTRUCTED IN ONE PHASE
MODEL HOMES	5 ALLOWED

OCPS STUDENT GENERATION RATES	
ELEMENTARY	0.196
MIDDLE	0.100
HIGH	0.134
TOTAL	0.431

SETBACKS	
FRONT LOT	20' HOUSE, 23' GARAGE, 15' PORCH 35' FOR LOT 7 LOTS 22-25 PER SECTION 126-168(B)
SIDE LOT	5' for 50' & 60' lots - 7.5' for 70' lots
REAR LOT	20' BUILDING, 5' SCREEN ENCLOSURE*
URBAN MINOR ARTERIAL - HOLDEN AVENUE	60' FROM CENTERLINE
CORNER LOT SIDE STREET SETBACK	15'-0"
POOLS*	5' (50' & 60' LOTS) OR 7.5' (70' LOTS) INTERIOR SIDE, 10' SIDE STREET, 5' REAR
POOL ENCLOSURES*	5' (50' & 60' LOTS) OR 7.5' (70' LOTS) INTERIOR SIDE, 10' SIDE STREET, 5' REAR

*THE LISTED SETBACK FOR POOLS, POOL/SCREEN ENCLOSURE, AS WELL AS OTHER ACCESSORY STRUCTURES, CAN ONLY BE APPLIED TO THE LOTS ADJACENT TO HOLDEN AVENUE IF APPROVED BY ORANGE COUNTY TRAFFIC ENGINEERING / TRANSPORTATION PLANNING

TRACT AREAS			
TRACT	AREA	PERCENTAGE	OWNERSHIP
TRACT A - DRY POND 1	53,803 SF - 1.235 AC	9.03%	HOA
TRACT B - DRY POND 2	24,481 SF - 0.562 AC	4.11%	HOA
TRACT C - DRY POND 3	19,436 SF - 0.446 AC	3.26%	HOA
TRACT D - DRY POND 4	12,230 SF - 0.281 AC	2.05%	HOA
TRACT E - RECREATION AREA 1	35,294 SF - 0.810 AC	5.92%	HOA
TRACT F - RECREATION AREA 2	19,876 SF - 0.456 AC	3.33%	HOA
TRACT G - ROADWAY	86,956 SF - 1.996 AC	14.59%	HOA
TRACT H - LANDSCAPE AREA 1	15,723 SF - 0.361 AC	2.64%	HOA
TRACT I - LANDSCAPE AREA 2	5,831 SF - 0.134 AC	0.98%	HOA
TRACT J - LIFT STATION TRACT	1,575 SF - 0.036 AC	0.26%	OCU
TOTAL PROPERTY	595,996 SF - 13.68 AC	100.00%	-
TOTAL POND TRACT AREAS	109,950 SF - 2.524 AC	18.45%	-
TOTAL RECREATION TRACT AREAS	55,170 SF - 1.267 AC	9.26%	-



CITY OF EDGEWOOD
Zoning Plans Review
 By **Brett Sollazzo** Date **9/26/2022**
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No
CITY OF EDGEWOOD ZONING HOLD

- NOTES:
- MINIMUM DRIVEWAY WIDTH: 18' (PAVERS)
 - MINIMUM LOT SIZE: 6,000 SF
 - PRIVATE ROAD AND STORMWATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY THE HOA
 - STREET TREES WILL NOT BE LOCATED WITHIN THE RIGHT OF WAY TRACT STREET TREES: 1 SHADE TREE 7'-0" FROM SIDEWALK PER LOT REAR LOT TREES: 1 SHADE TREE PER LOT PER THE DEVELOPER'S AGREEMENT, STREET TREES WILL HAVE A MINIMUM CALIPER OF 3 INCHES, AND REAR LOT TREES WILL HAVE A MINIMUM CALIPER OF 2 INCHES
 - PER CITY OF EDGEWOOD CODE OF ORDINANCES, SECTION 126-280, CULS-DE-SAC REQUIRES A MINIMUM RADIUS OF 34' AND A MINIMUM ROW OF 44' FOR CURB AND GUTTER SECTIONS.
 - ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 NFPA 1 (FFPC 6TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
 - NEEDED FIRE FLOW: NEEDED FIRE FLOW FOR SINGLE FAMILY DWELLINGS SHALL BE AS FOLLOWS: HOMES 5,000 SQUARE FEET OR LESS 1,000 GPM; HOMES EXCEEDING 5,000 SQUARE FEET SHALL PROVIDE FIRE FLOW IN ACCORDANCE WITH TABLE 18.4.5.2.1 OF NFPA1 (FFPC 6TH EDITION). REDUCTION OF FIRE FLOW MAY BE PERMITTED IF DWELLING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM OR BUILDING SEPARATIONS IN ACCORDANCE WITH TABLE 14.4.5.1.4 (FFPC 6TH EDITION).
 - POSTS FOR WALL COLUMNS SHALL BE LOCATED TO MINIMIZE IMPACTS TO HISTORIC TREE ROOTS.
 - EXCEPT AS OTHERWISE PROVIDED HEREIN, A MAXIMUM OF THREE (3) LOTS SHALL BE ALLOWED TO HAVE A MINIMUM LOT WIDTH OF FIFTY (50) FEET; A MINIMUM OF THIRTY SIX (36) LOTS SHALL HAVE A MINIMUM LOT WIDTH OF SIXTY (60) FEET; AT LEAST FOUR (4) LOTS SHALL HAVE A MINIMUM LOT WIDTH OF SEVENTY (70) FEET. ADDITIONAL FIFTY-FOOT WIDE LOTS MAY BE EXCHANGED FOR THE 60 FOOT WIDE LOTS, IF APPROVED BY THE CITY AT DEVELOPMENT PLAN/PRELIMINARY SUBDIVISION PLAN REVIEW IF DEVELOPER SHOWS BY COMPETENT SUBSTANTIAL EVIDENCE THAT THE REDUCTION OF LOT SIZE ALLOWS FOR THE PRESERVATION OF HISTORIC AND SPECIMEN TREES WHICH WOULD NOT OTHERWISE HAVE BEEN PRESERVED OR EXPANSION OF THE RECREATION AREA
 - RESIDENTIAL STRUCTURES OF NO LESS THAN 1,800 SF UNDER A/C SHALL BE CONSTRUCTED ON THE SUBJECT PROPERTY AND THIRTEEN (13) OF THE RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN 2,200 SQUARE FEET UNDER A/C
 - AIR HANDLER, MECHANICAL EQUIPMENT, WATER FILTRATION SYSTEMS, GAS TANKS, PROPANE TANKS, AND OTHER UTILITY OR SERVICE EQUIPMENT, OTHER THAN GENERATORS, MAY BE LOCATED IN THE SIDE YARD SETBACKS PROVIDED THE MANEUVERABILITY OF LAWN AND OTHER MAINTENANCE EQUIPMENT FROM FRONT YARD TO REAR YARD IS MAINTAINED
 - ON-STREET PARKING WILL BE PERMITTED ON THE EAST & SOUTH SIDES OF THE PROPOSED STREET 'A'. FIRE HYDRANTS WILL BE LOCATED ON THE NORTH & WEST SIDES OF THE PROPOSED STREET.
 - AUTOMATIC VEHICULAR GATES SHALL BE PROVIDED WITH A CLICKCENTER SYSTEM WITH BATTERY BACK-UP AND KNOX KEY SWITCH FOR FIRE DEPARTMENT ACCESS PER NFPA 1 (FFPC 7TH EDITION) - 18.2.2.2

RECREATION AREAS		
TRACT	AREA (SF)	AREA (AC)
TRACT E - RECREATION AREA 1	35,294 SF	0.810 AC
REC AREA 1 - OPEN SPACE	14,607 SF	0.335 AC
REC AREA 1 - RECREATION	20,687 SF	0.475 AC
TRACT F - RECREATION AREA 2	19,876 SF	0.456 AC
REC AREA 2 - OPEN SPACE	4,799 SF	0.110 AC
REC AREA 2 - RECREATION	15,077 SF	0.346 AC
TOTAL REC TRACT AREAS	55,170 SF	1.267 AC
TOTAL REC - OPEN SPACE	19,406 SF	0.446 AC
TOTAL REC - RECREATION	35,764 SF	0.821 AC



ALDO E. MEJIAS
 P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

OVERALL SITE PLAN

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SCALE:			
REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	01-13-2022	BRE	CONST PLAN REVISIONS
2	04-22-2022	BRE	OCPW RAI #1

DESIGNED BY: **RVB**
 DRAWN BY: **BRE**
 CHECKED BY: **RVB**
 APPROVED BY: **RVB**
 DATE: **08-30-2022**

AVCON PROJECT No. **2019.0099.15**

CITY OF EDGEWOOD

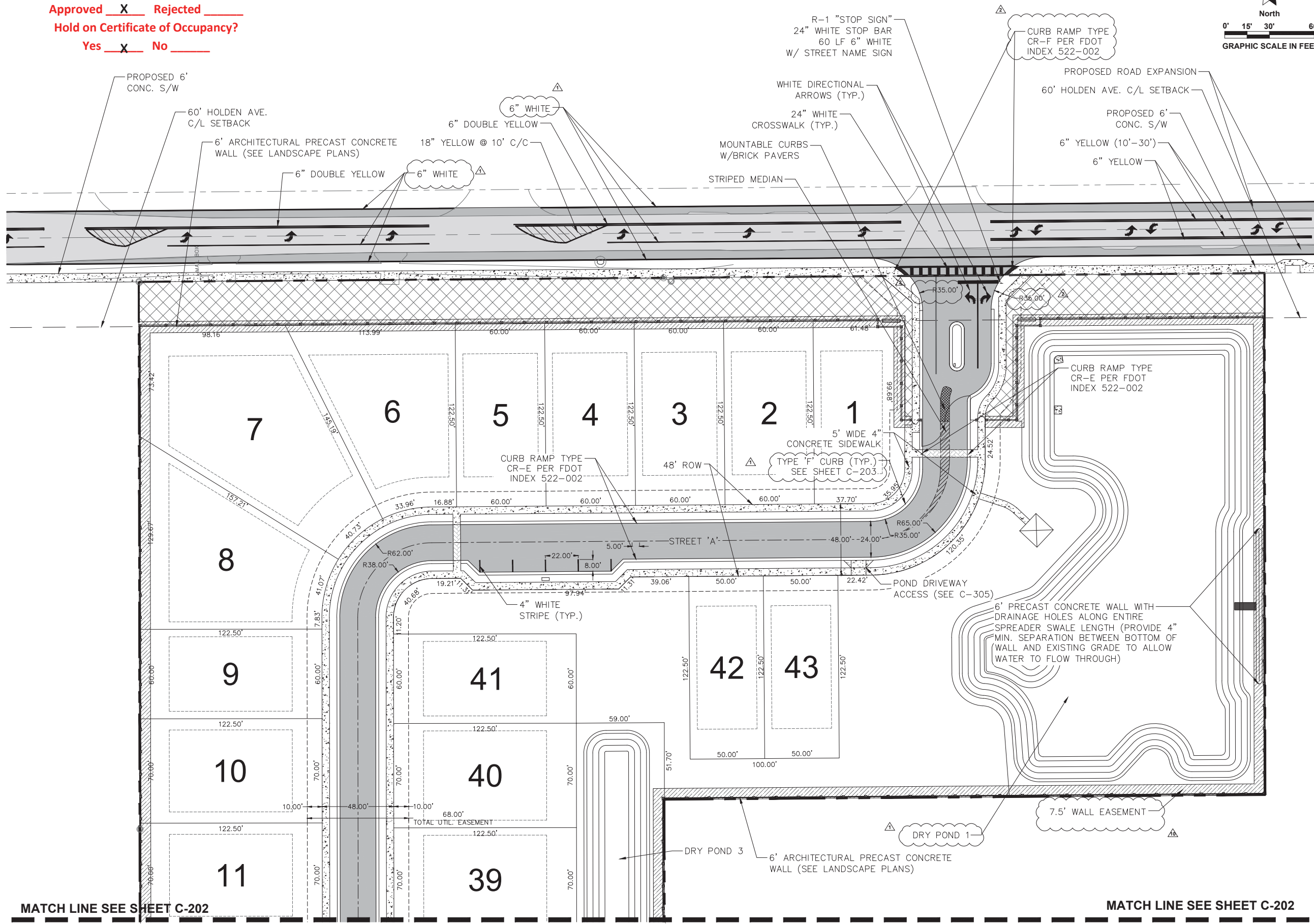
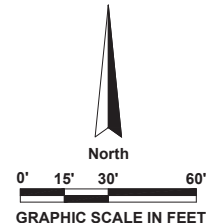
Zoning Plans Review

By **Brett Sollazzo** Date **11/21/2022**

Approved Rejected

Hold on Certificate of Occupancy?

Yes No



Digitally signed by Aldo E Mejias
 DN: c=US, o=AVCON INC, dnQualifier=A01410C0000178F9AE50300FB835, cn=Aldo E Mejias
 Date: 2022.11.17 15:29:19 -05'00'
ALDO E. MEJIAS
 P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

GEOMETRY & STRIPING PLAN NORTH

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SCALE:

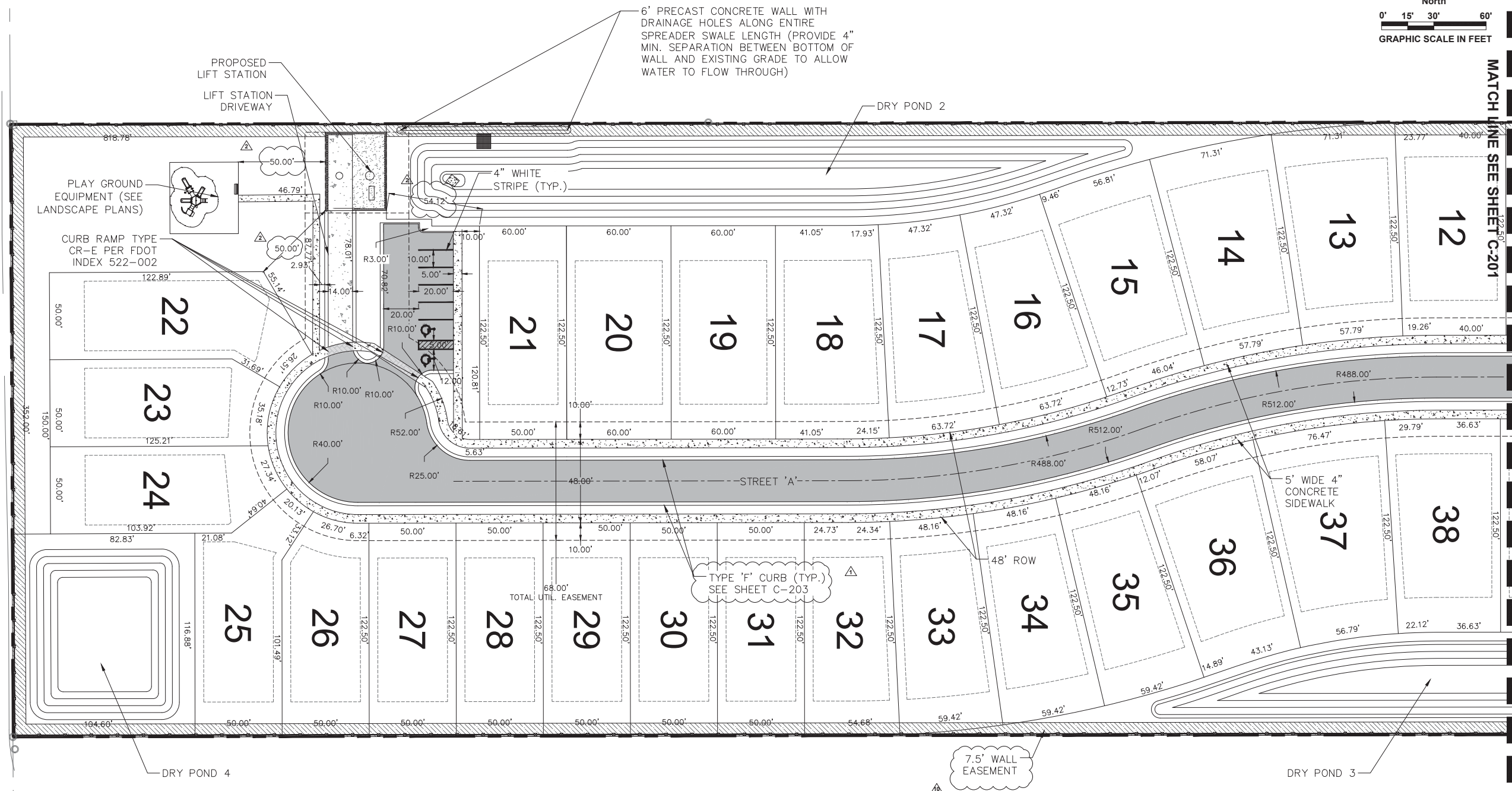
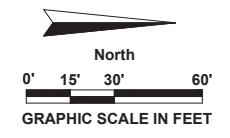
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NO.	DATE	BY	DESCRIPTION
△	01-13-2022	BRE	CONST PLAN REVISIONS
△	04-22-2022	BRE	OCPW RAI #1
△	11-17-2022	BRE	WALL EASEMENT

DESIGNED BY: RVB
 DRAWN BY: BRE
 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 11-17-2022

AVCON PROJECT No. 2019.0099.15

MATCH LINE SEE SHEET C-202

MATCH LINE SEE SHEET C-202



MATCH LINE SEE SHEET C-201

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ENGINEERS & PLANNERS
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OFFICE: (407) 599-1122 - FAX: (407) 599-1133
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
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ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

GEOMETRY & STRIPING PLAN SOUTH

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DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 11-17-2022

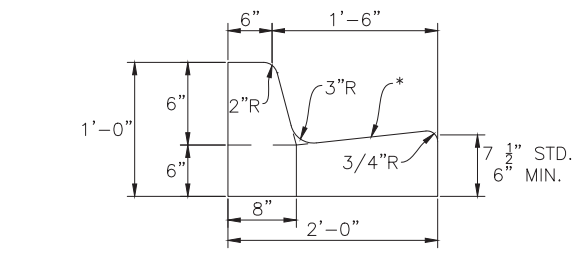
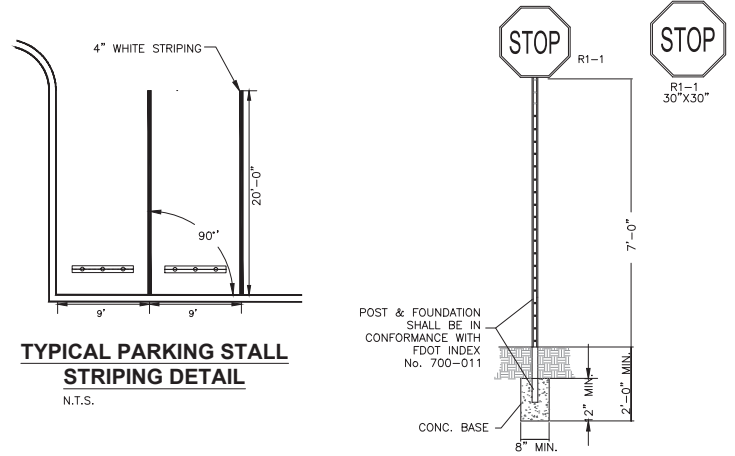
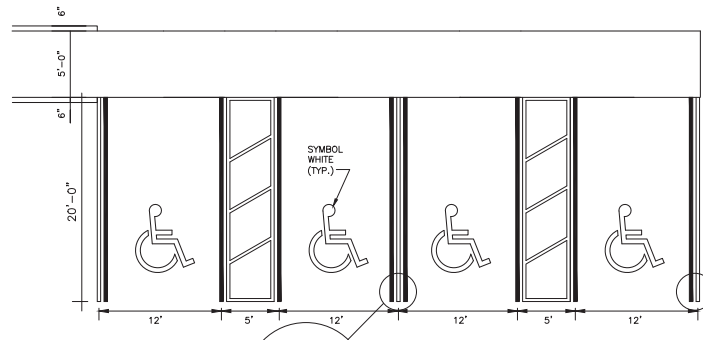
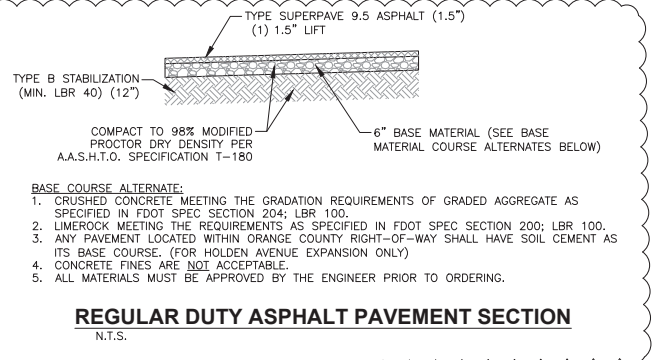
AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

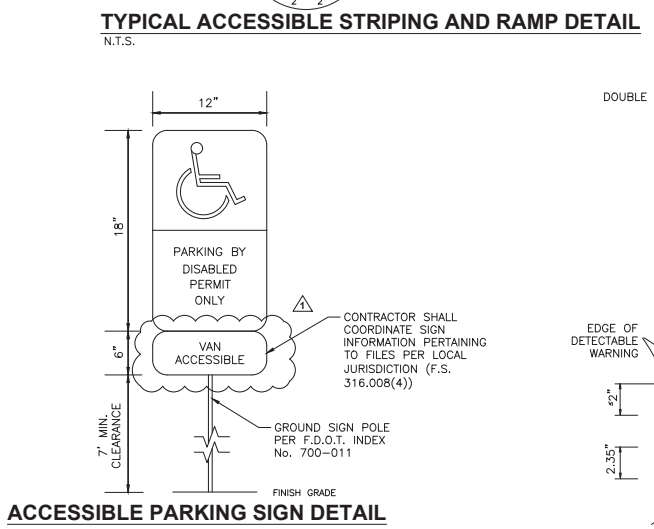
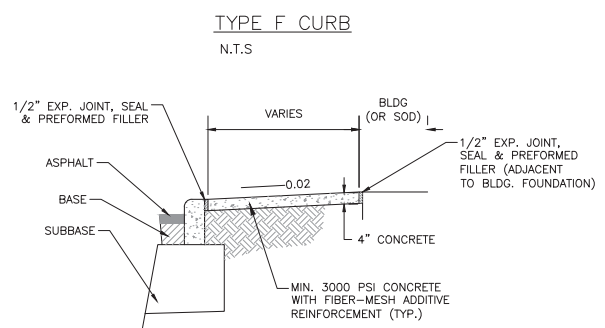
C-202 Page 60

CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 11/21/2022
Approved Rejected
Hold on Certificate of Occupancy?
Yes No

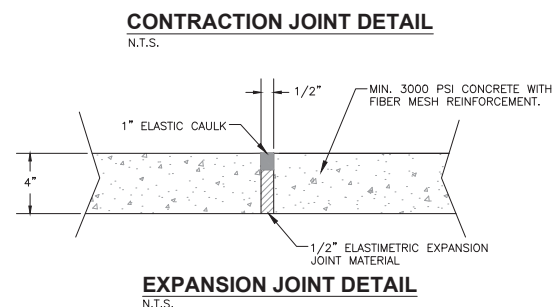
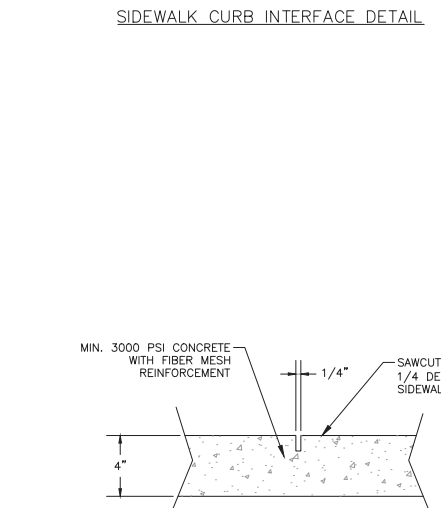
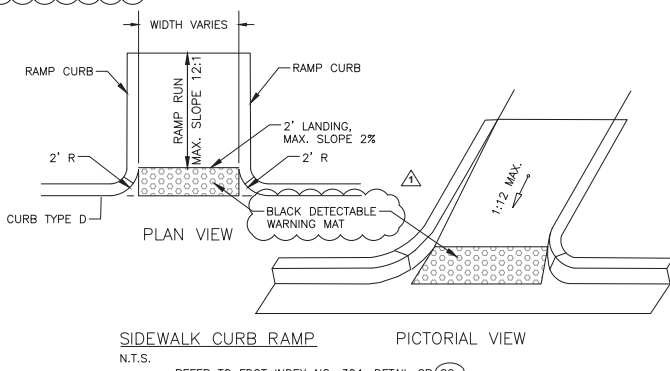
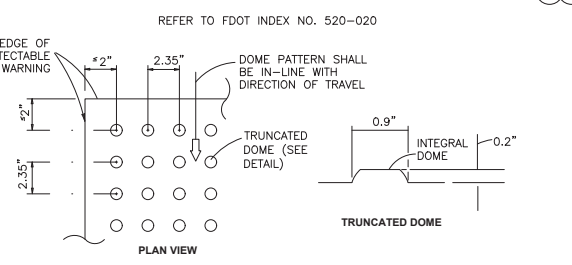
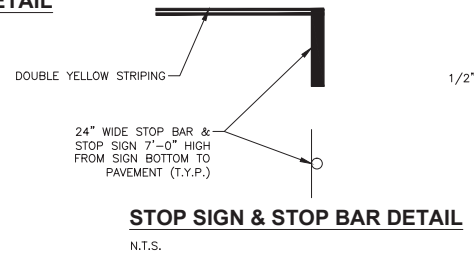
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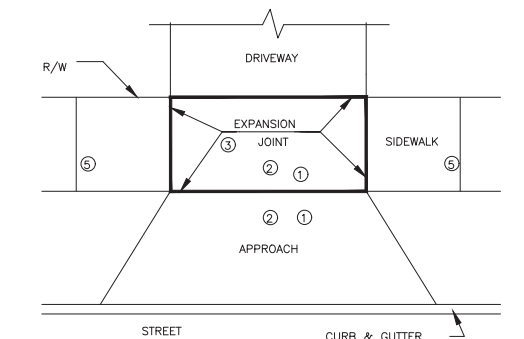
*NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.



NOTES:
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE SYMBOL AND N.T.S. BORDER
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT.

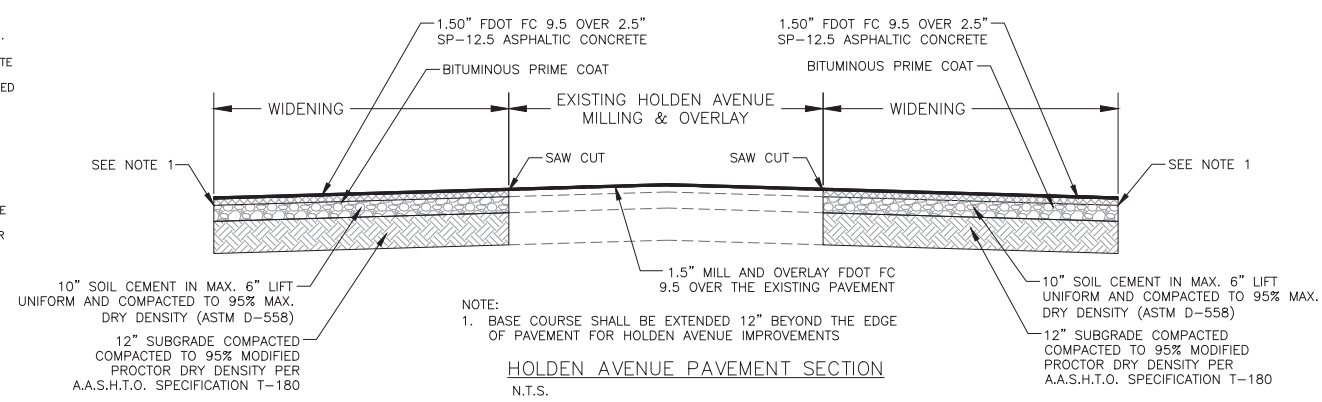
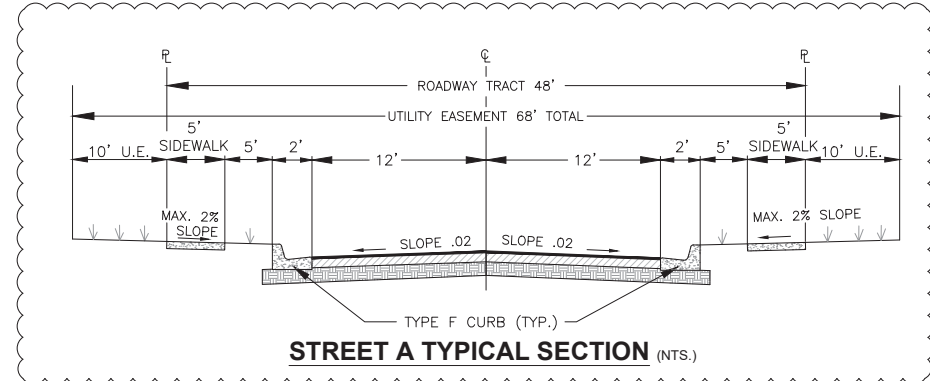


ALL SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT LOCATED AT A MAXIMUM DISTANCE OF 40 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 8 LINEAR FEET.



NOTES:
1- CONCRETE TO BE 3000 PSI
2- APPROACH & SIDEWALK IN DRIVE TO BE 6" THICK W/ WIRE MESH OR FIBER MESH.
3- 1 x 4 USED AT EXPANSION JOINTS TO BE FIBER BOARD.
4- ALL WOOD STAKES USED IN FORM WORK TO HAVE 2" OR MORE MORE OF CONCRETE COVER.
5- SIDEWALK TO BE JOINTED AT INCREMENTS TO EQUAL SIDEWALK WIDTH. NOT REQUIRED IN DRIVE.
6- NO BRICKS OR BRICK PAVERS AR ALLOWED WITHIN CITY R.O.W.

DRIVEWAY APPROACH DISCLAIMER
THE CITY ALLOWS THE USE OF NON-STANDARD OR ALTERNATIVE MATERIALS IN THE RIGHT-OF-WAY FOR THE DRIVEWAY APPROACH RAMP. HOWEVER, SHOULD THE CITY BE REQUIRED TO PERFORM A MAINTENANCE OPERATION ON OR REPAIR OF UNDERGROUND FACILITIES THAT CAUSES THE NON-STANDARD OR ALTERNATIVE MATERIAL DRIVEWAY TO BE REMOVED, THE CITY WILL AS BEST AS POSSIBLE REMOVE THE NON-STANDARD OR ALTERNATIVE MATERIALS AND SET THEM ASIDE. THE CITY WILL NOT BE RESPONSIBLE FOR RE-INSTALLING THE NON-STANDARD OR ALTERNATIVE MATERIALS FOR THE DRIVEWAY APPROACH RAMP. THE REINSTALLATION COST FOR THE NON-STANDARD OR ALTERNATIVE MATERIALS DRIVEWAY APPROACH RAMP WILL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS
CONSTRUCTION PLANS
CIVIL DETAILS 1

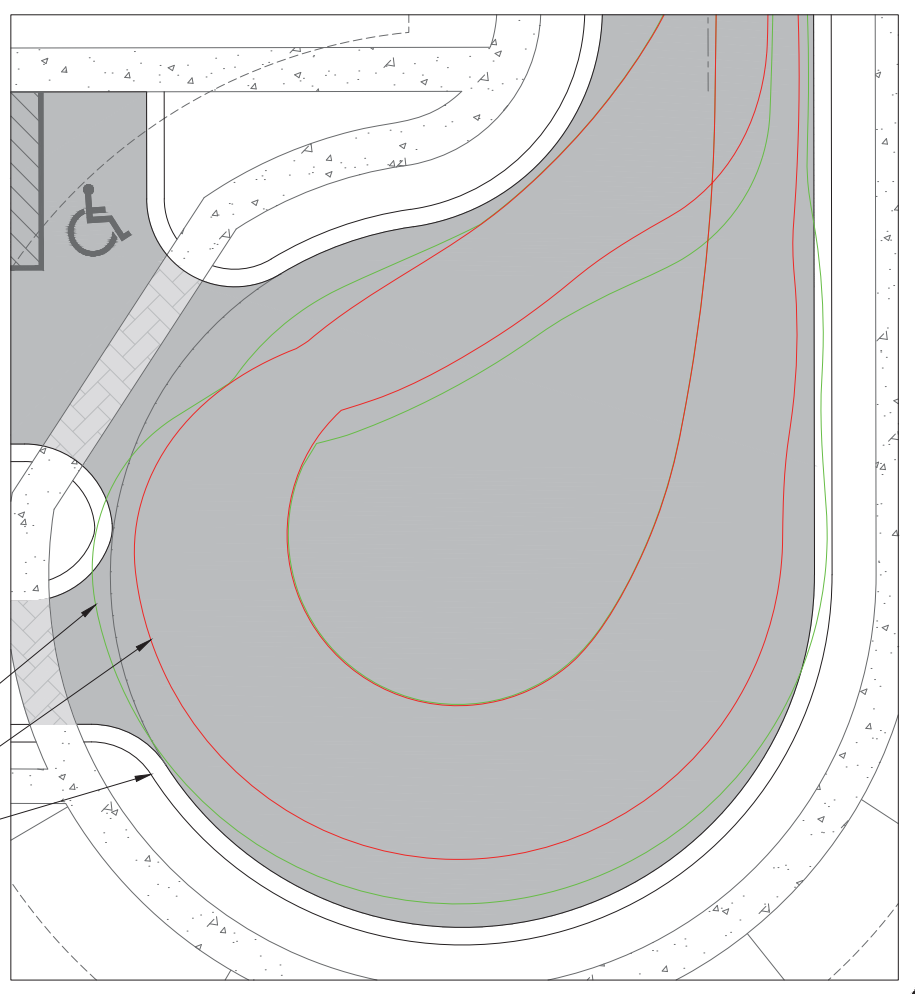
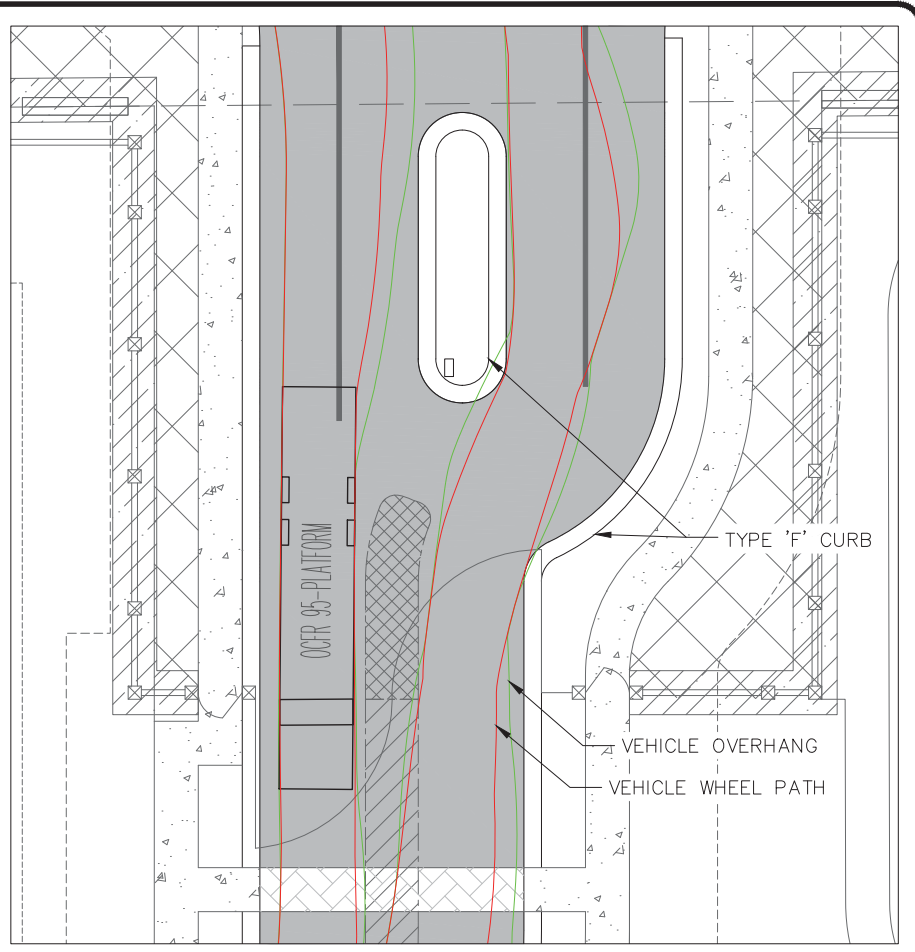
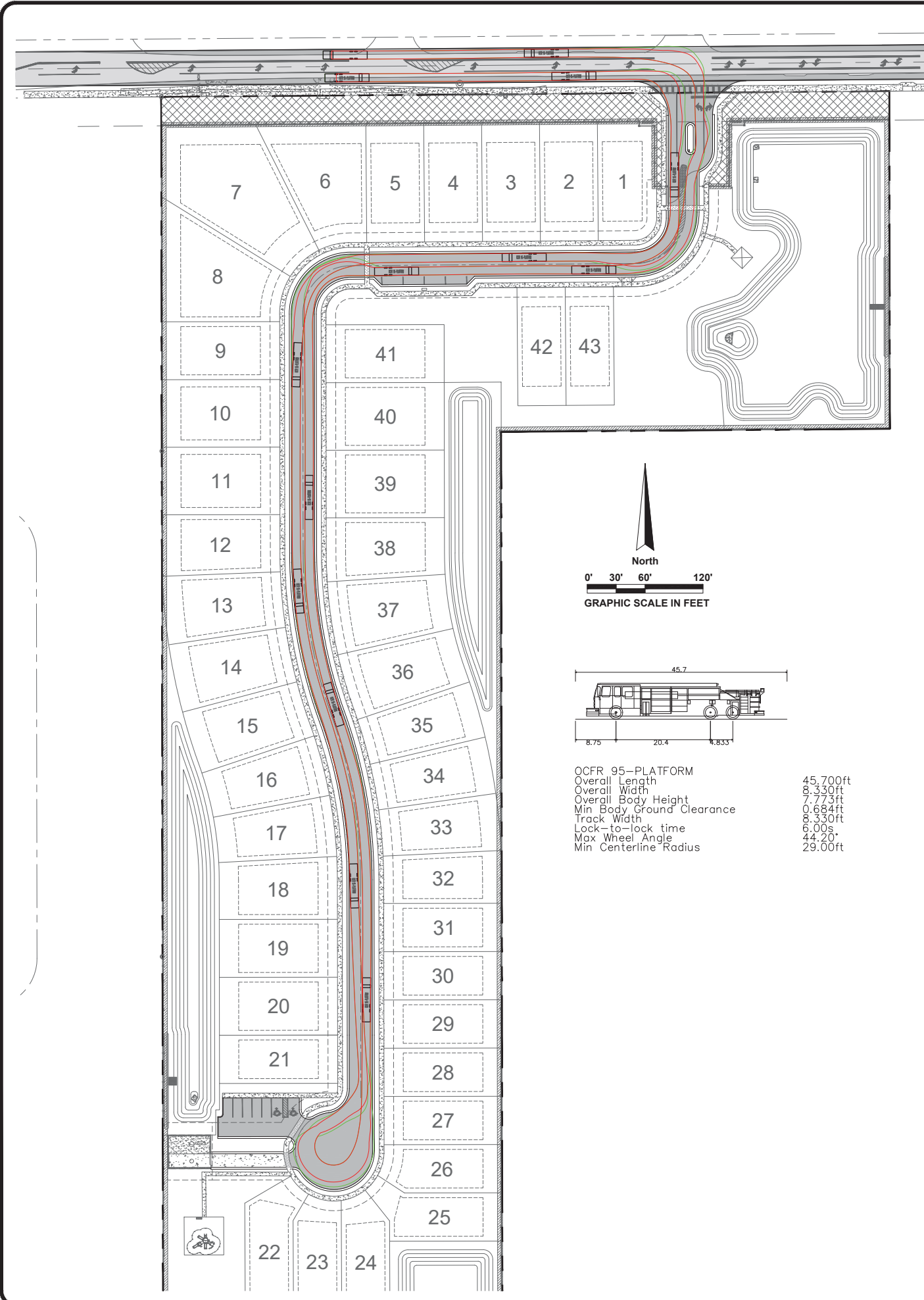
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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
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2	04-22-2022	BRE	OCPW RAI #1

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

VEHICLE TRACKING PLAN

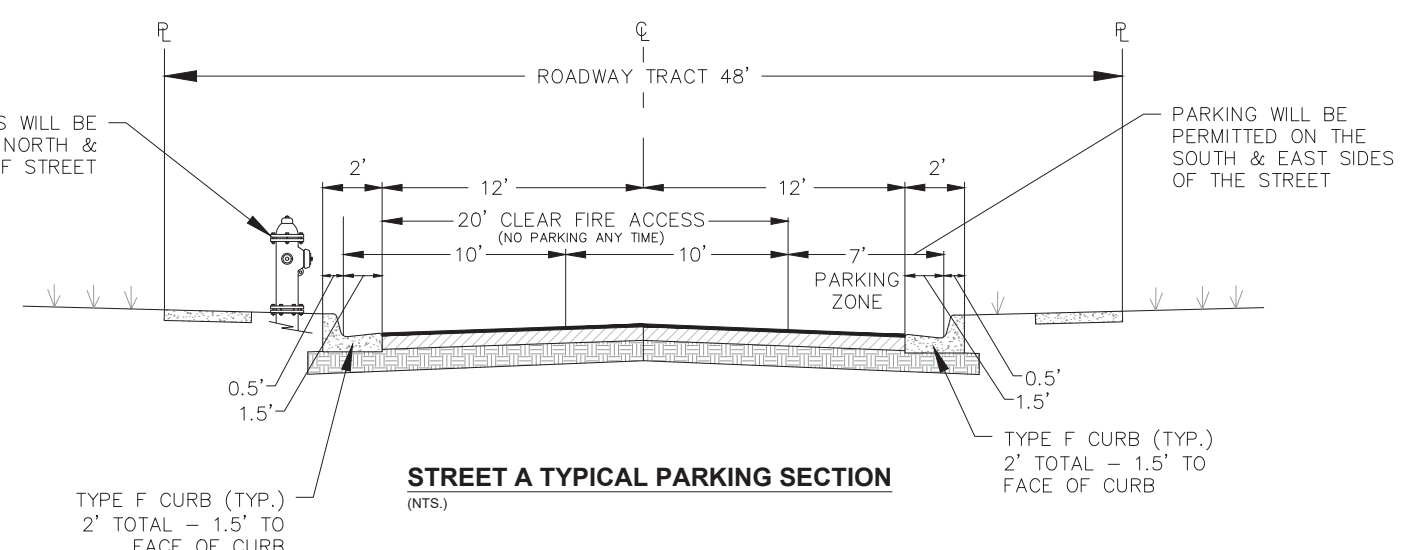
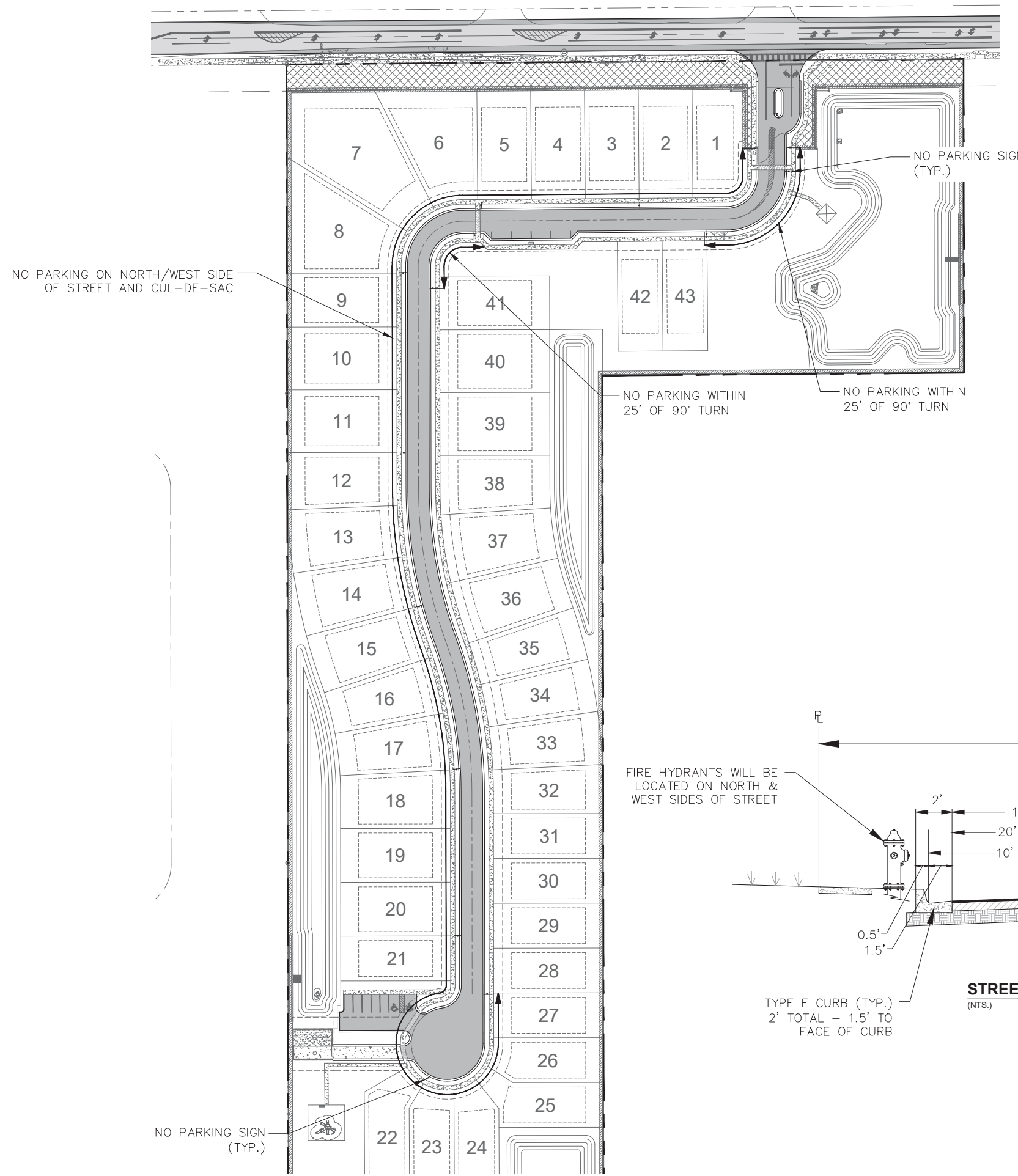
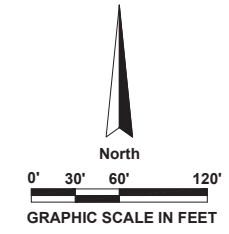
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CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS
CONSTRUCTION PLANS

STREET PARKING SIGNAGE PLAN

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CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

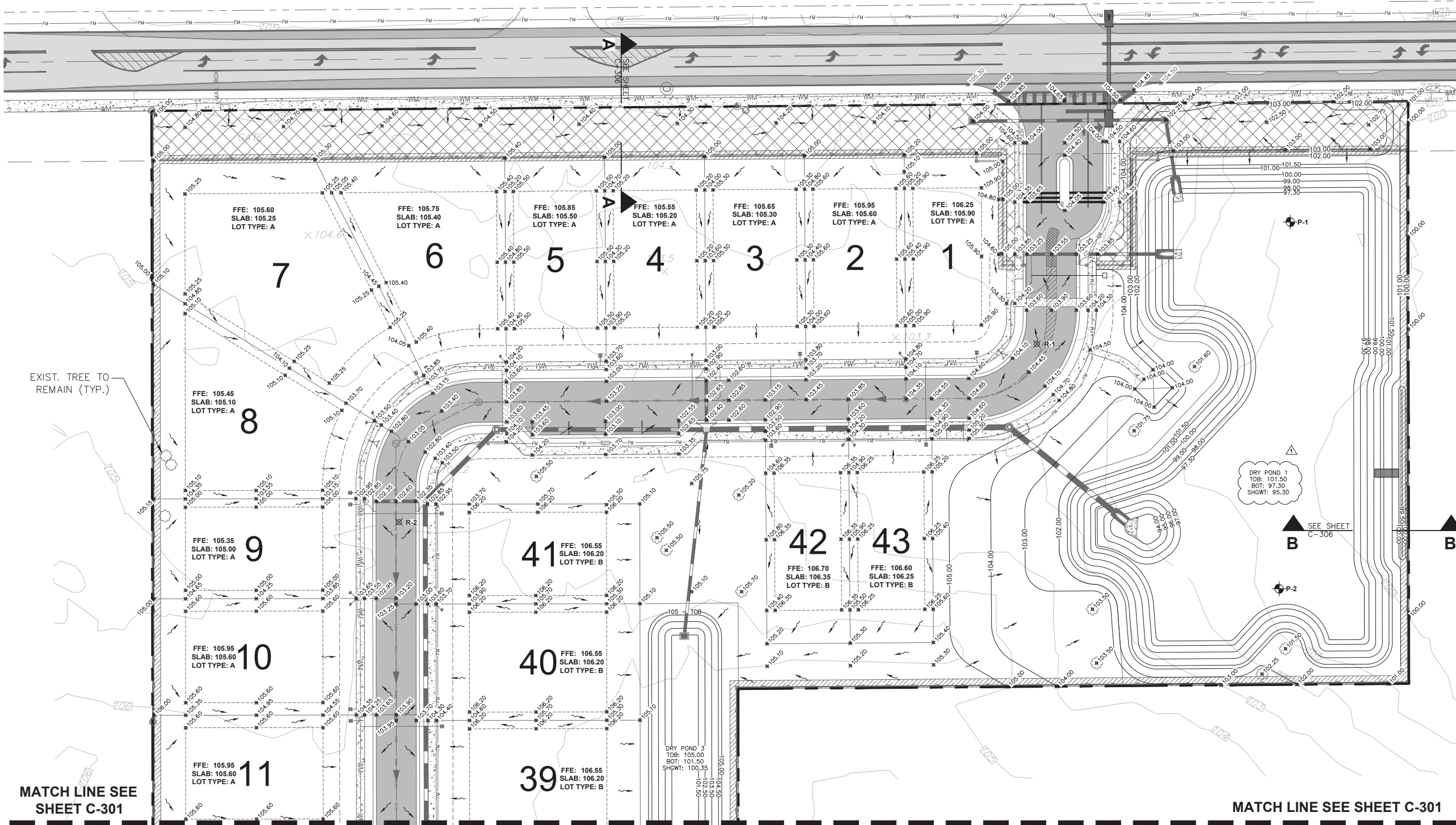
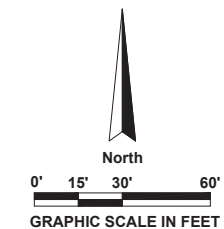
AVCON PROJECT No. 2019.0099.15

NOTES:

1. ALL PROJECT SITE PERIMETER SLOPES AND DRY POND SLOPES ARE TO BE SODDED.
2. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND A.D.A. SPECIFICATIONS.
3. ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE.

LEGEND

- ▲ 90.00 FINISHED ELEVATION
- ▲ 85.50 EXISTING ELEVATION
- STORMWATER FLOW ARROW
- ⊕ SOIL BORING



AVCON, INC.
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HAVEN OAKS

CONSTRUCTION PLANS

GRADING PLAN NORTH

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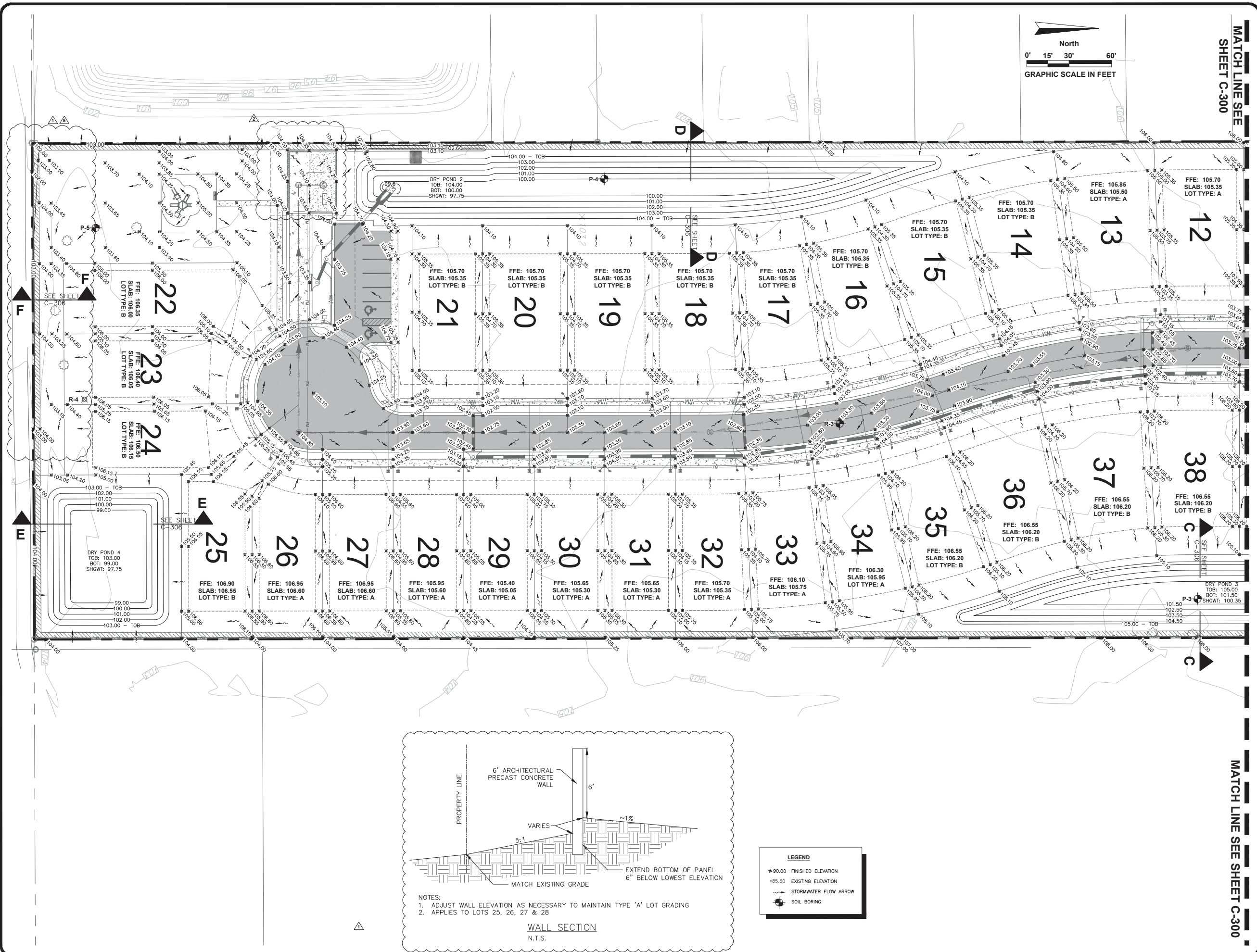
REVISIONS:			
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1	01-13-2022	BRE	CONST PLAN REVISIONS

DESIGNED BY: RVB
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AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-300 Page 64



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 ENGINEERS & PLANNERS
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CONSTRUCTION PLANS

GRADING PLAN SOUTH

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△	07-19-2022	BRE	CITY OF EDGEWOOD REV2

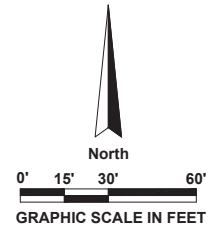
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 DRAWN BY: BRE
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 APPROVED BY: RVB
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AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-30

- NOTES:
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 2. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND A.D.A. SPECIFICATIONS.
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ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

DRAINAGE PLAN NORTH

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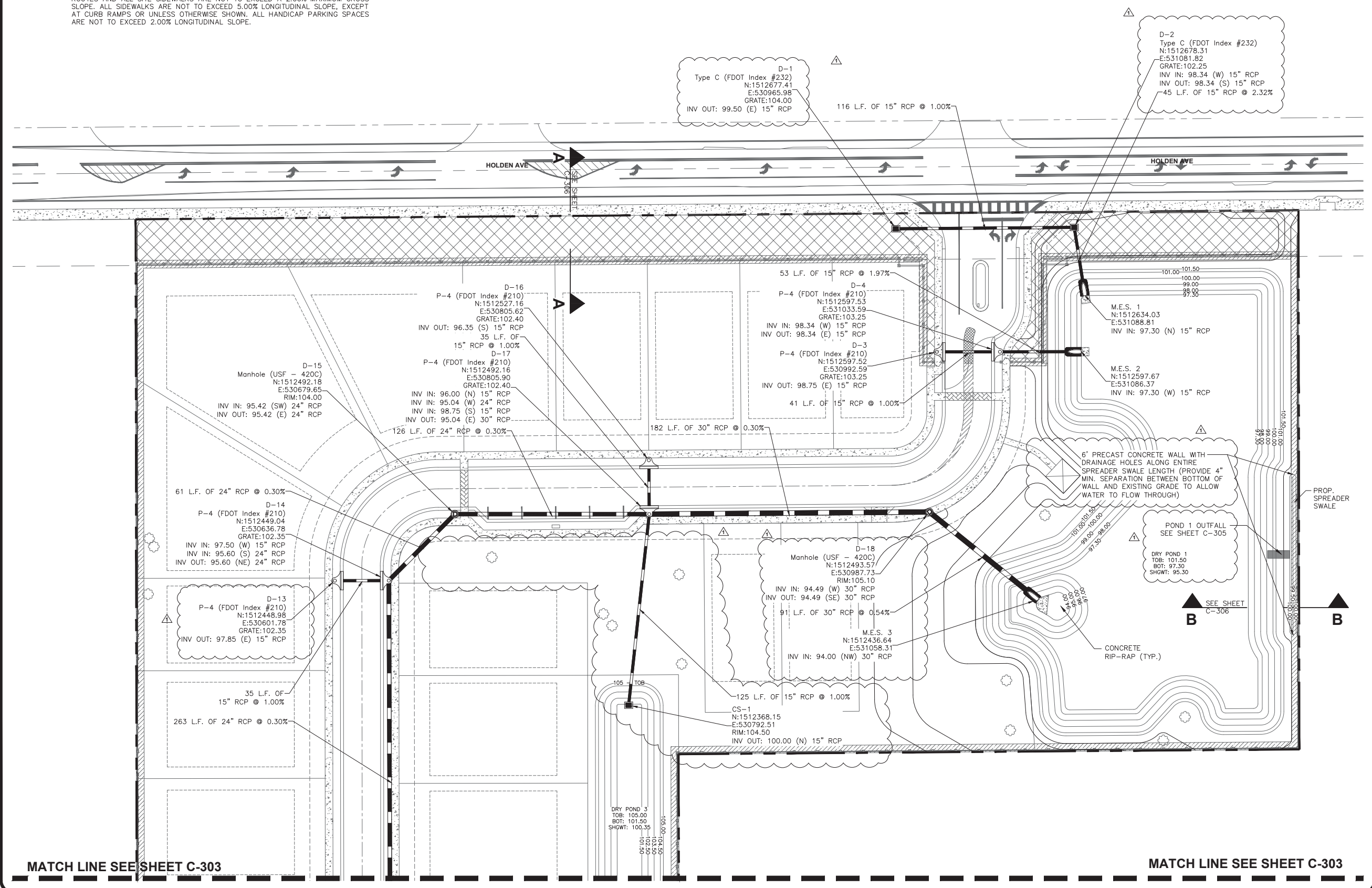
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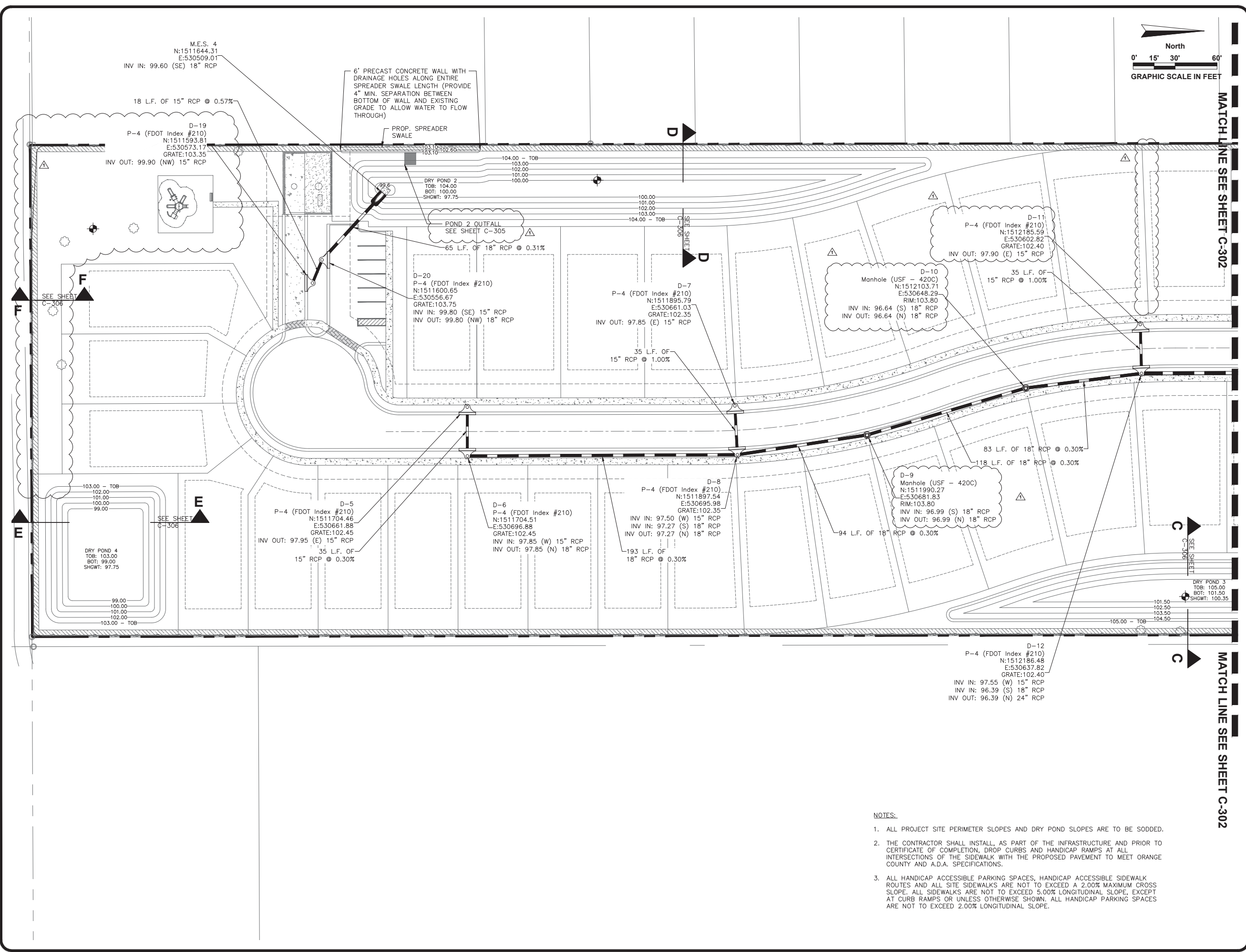
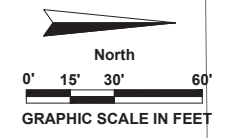
C-302 Page 66



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 AVCON, INC.



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DRAINAGE PLAN SOUTH

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 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-303 Page 67

- NOTES:
- ALL PROJECT SITE PERIMETER SLOPES AND DRY POND SLOPES ARE TO BE SODDED.
 - THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND A.D.A. SPECIFICATIONS.
 - ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE.



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

GRADING & DRAINAGE
DETAILS 1

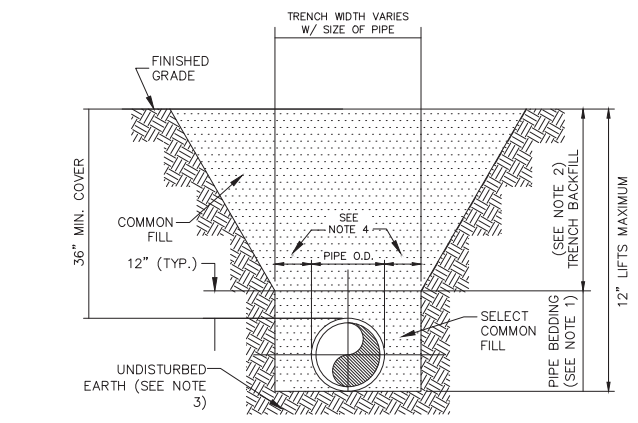
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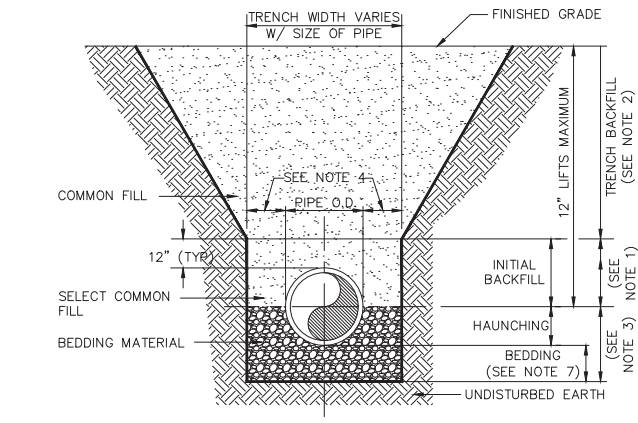
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AVCON PROJECT No. 2019.0099.15



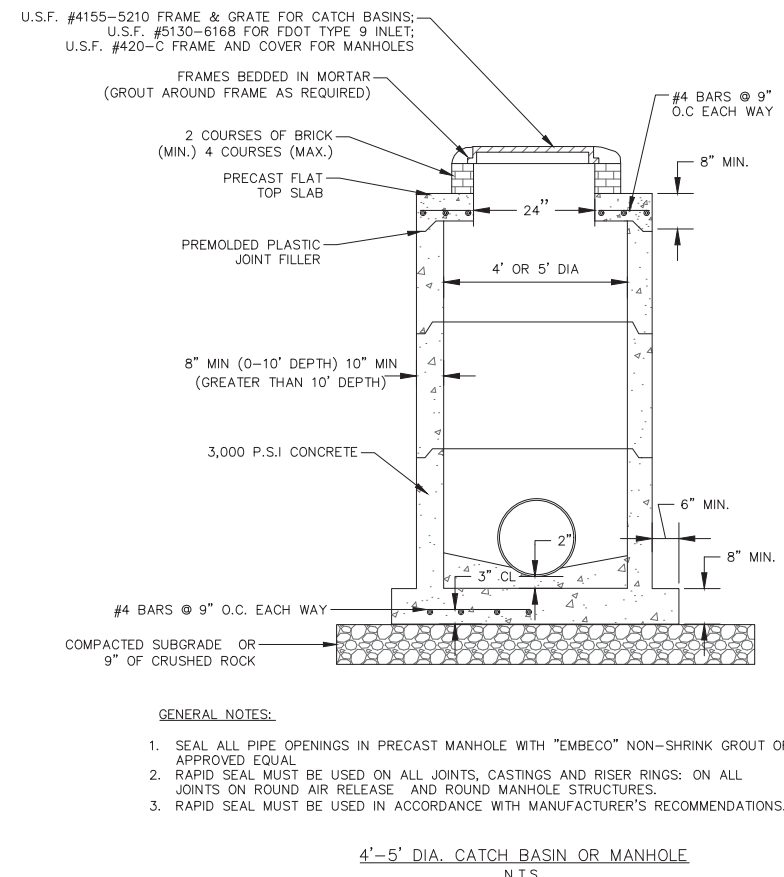
- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
 - (*): 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 - COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THREE AND ONE-HALF (3 1/2") INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 12 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
 - MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE.
 - ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED IN AN APPROVED MANNER.
 - SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE MATERIAL SHALL CONTAIN NO STONES LARGER THAN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

BEDDING AND TRENCHING DETAIL
NTS



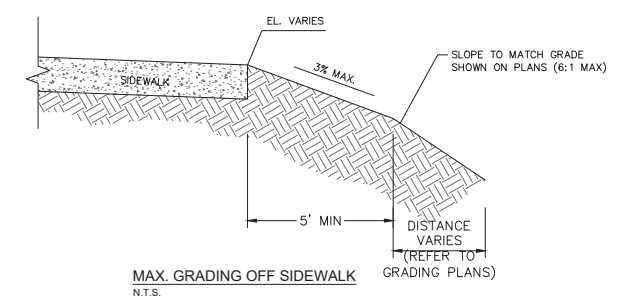
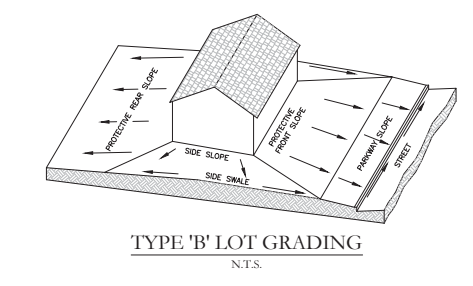
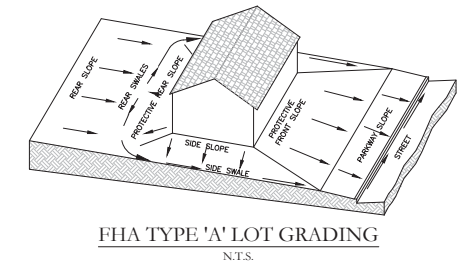
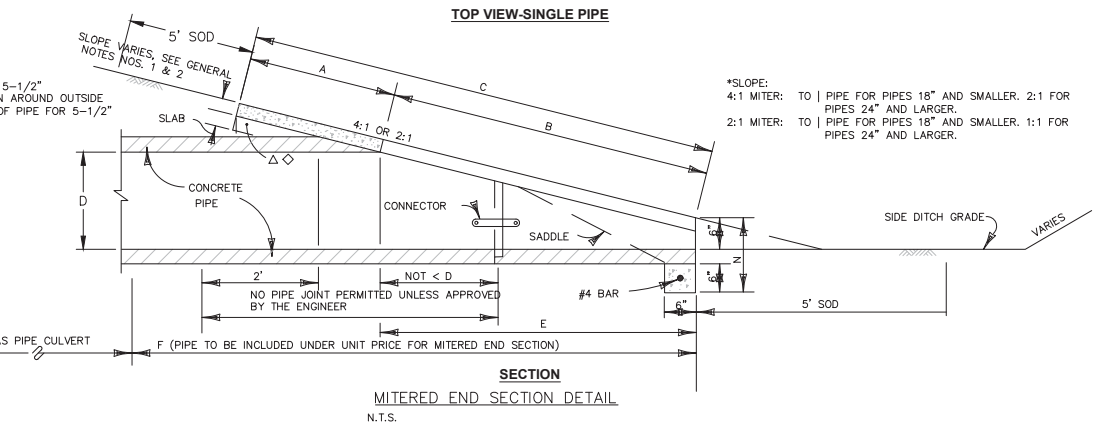
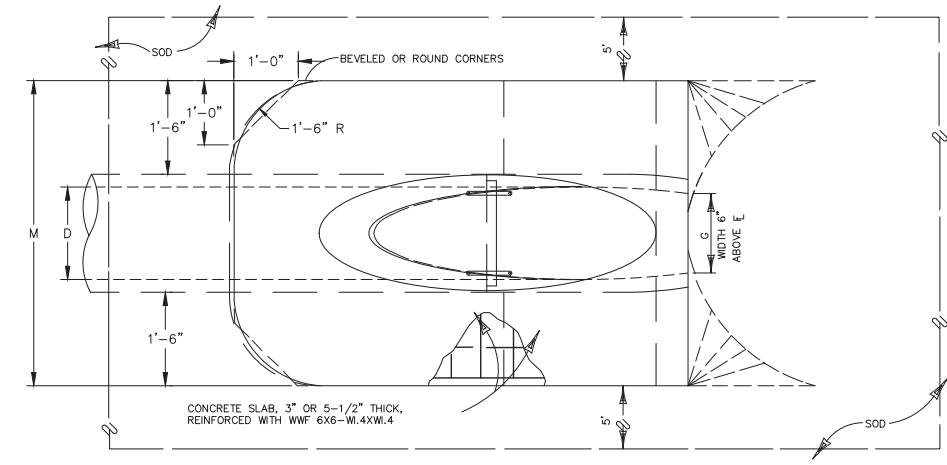
- NOTES:
- INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 - COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THREE AND ONE-HALF (3 1/2") INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 12 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
 - MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE.
 - ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED IN AN APPROVED MANNER.
 - SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE MATERIAL SHALL CONTAIN NO STONES LARGER THAN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

TYPE A BEDDING AND TRENCHING DETAIL
NTS



- GENERAL NOTES:
- SEAL ALL PIPE OPENINGS IN PRECAST MANHOLE WITH "EMBECO" NON-SHRINK GROUT OR APPROVED EQUAL.
 - RAPID SEAL MUST BE USED ON ALL JOINTS, CASTINGS AND RISER RINGS: ON ALL JOINTS ON ROUND AIR RELEASE AND ROUND MANHOLE STRUCTURES.
 - RAPID SEAL MUST BE USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

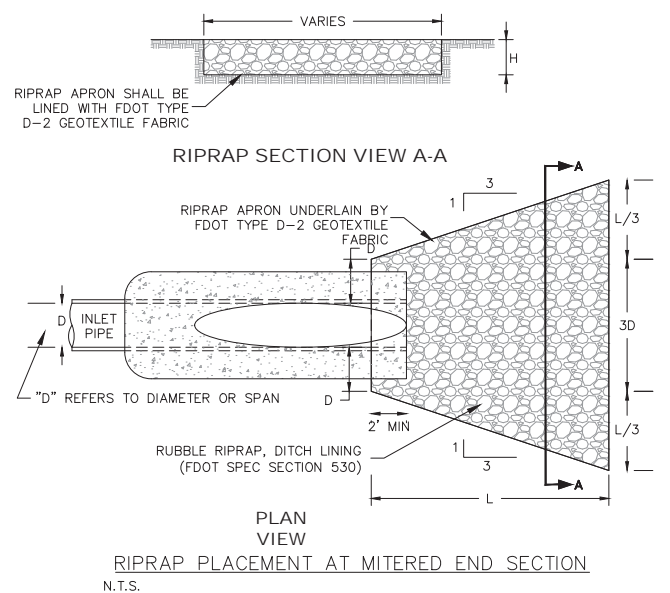
4'-5' DIA. CATCH BASIN OR MANHOLE
N.T.S.



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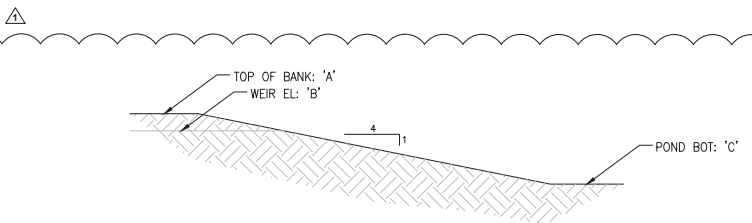
GRADING AND DRAINAGE NOTES

- ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.
- PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, CONTRACTOR SHALL TAKE ALL NECESSARY AND PRACTICAL MEASURES TO ENSURE THAT UNAUTHORIZED ACCESS TO THE EXCAVATION IS PREVENTED.
- ALL GRADING AND SITE PREPARATION SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF EDGEWOOD REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE SODDED PER PROJECT SPECIFICATIONS.
- ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE EXTERIOR FINISHED GRADES UNLESS INDICATED OTHERWISE.
- INLET AND MANHOLE ELEVATIONS ARE TOP OF RIM.
- ALL SIDEWALK CROSS SLOPE SHALL HAVE MAXIMUM 2% CROSS SLOPE. SIDEWALK ALONG BUILDING SHALL SLOPE AWAY FROM BUILDING AND SIDEWALK ALONG STREET SHALL SLOPE TOWARD THE STREET.
- ALL ROOF DRAINAGE DISCHARGE IS TO CONNECT TO ONSITE STORMWATER MANAGEMENT SYSTEM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL CONFIRM EXACT LOCATION OF ALL TIE-INS TO ROOF DRAINAGE PIPING PRIOR TO INSTALLATION OF ROOF PIPING AND ASSOCIATED FITTINGS.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE A MINIMUM CLASS III, UNLESS OTHERWISE SPECIFIED.
- WRAP ALL CONCRETE PIPE JOINTS WITH A MINIMUM TWO (2) FOOT, TYPE D-3 FILTER FABRIC (SEE FILTER FABRIC JACKET DETAIL).
- ALL PVC STORM SEWER PIPE WITH A DIAMETER OF 4 INCHES AND LARGER, SHALL HAVE A MINIMUM DIMENSION RATIO OF 35. ALL PVC STORM SEWER PIPE WITH A DIAMETER LESS THAN 4 INCHES SHALL BE SCHEDULE 40.
- ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS IF THE ACTUAL FIELD CONDITIONS VARY FROM THE SURVEYED INFORMATION THAT THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH THIS AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INFORMATION SHOULD THE INTENT OF THE PLANS BE UNCLEAR.
- THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.
- AFTER THE PAVEMENT SECTIONS HAVE BEEN CONSTRUCTED TO SUBGRADE, THEY SHALL BE PROOF-ROLLED TO ASSURE PROPER COMPACTION HAS BEEN ACHIEVED. THE PROOF ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXCESS CUT OR SUPPLYING FILL AS NEEDED TO GRADE THE SITE AS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING PIPE INVERTS AND PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY DRAINAGE STRUCTURES. IF EXISTING PIPE INVERTS VARY FROM WHAT IS SHOWN IN THE TABLE OF DRAINAGE STRUCTURES, CONTRACTOR SHALL NOTIFY CIVIL ENGINEER WITH THE CORRECT INVERTS. IF NECESSARY, CIVIL ENGINEER WILL MAKE ADJUSTMENTS TO PROPOSED STRUCTURE INVERT ELEVATIONS.
- CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING STORM PIPES THAT ARE SHOWN AS TO REMAIN. ANY MAJOR VISUAL DAMAGE TO SAID EXISTING PIPES SUCH AS CRACKING, CRUMBLING, AND UN-ALIGNED JOINTS SHALL BE REPORTED IMMEDIATELY TO THE CIVIL ENGINEER.
- CONTRACTOR SHALL DESILT ALL EXISTING STORM PIPES THAT ARE SHOWN AS TO REMAIN.
- ALL PAVEMENT ELEVATIONS SHOWN WITHIN THE EXISTING BUS LOOP AND VEHICLE PARKING LOT ARE INTERPRETED FROM THE PROJECT SURVEY. SAID ELEVATIONS ARE INTENDED TO MATCH THE EXISTING GRADES WITHIN THE AREAS MENTIONED. THESE GRADES ARE SHOWN TO ILLUSTRATE THAT THE SIDEWALK SHALL BE CONSTRUCTED 6 INCHES ABOVE THE FINISHED ASPHALT GRADE.
- FLORIDA LAW (F.S. 556) UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT MANDATES THAT EXCAVATORS / CONTRACTORS SHALL CONTACT SUNSHINE 811 (FKA: SUNSHINE STATE ONE-CALL OF FLORIDA) BY CALLING 800-432-4770 OR 811 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION TO ALLOW MEMBER OPERATORS AN OPPORTUNITY TO IDENTIFY AND MARK THEIR UNDERGROUND FACILITIES AND APPROPRIATELY RESPOND TO THE POSITIVE RESPONSE SYSTEM.
- CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 CFR 1926.650, SUBPART E, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62, FLORIDA STATUTES.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR MUST MEET ALL THE CRITERIA FOR A "NO-NOTICE" DEWATERING PERMIT AS SPECIFIED IN SECTION 2.5.1 OF THE "BASIS OF REVIEW FOR WATER USE PERMIT APPLICATIONS WITHIN THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD)."
- THE "NO-NOTICE" DEWATERING CRITERIA INCLUDES, BUT IS NOT LIMITED TO, RETAINING ALL THE DEWATERING DISCHARGE ON THE PROJECT SITE.
- IF THE CONDITIONS OF THE "NO-NOTICE" DEWATERING PERMIT CANNOT BE MET, THE CONTRACTOR IS TO SUBMIT A DEWATERING PERMIT APPLICATION TO THE SJRWMD AT LEAST 30 DAYS PRIOR TO THE PROPOSED DEWATERING ACTIVITIES. DEWATERING CANNOT COMMENCE BEFORE THE SFWMD ISSUES A DEWATERING PERMIT FOR THIS PROJECT.



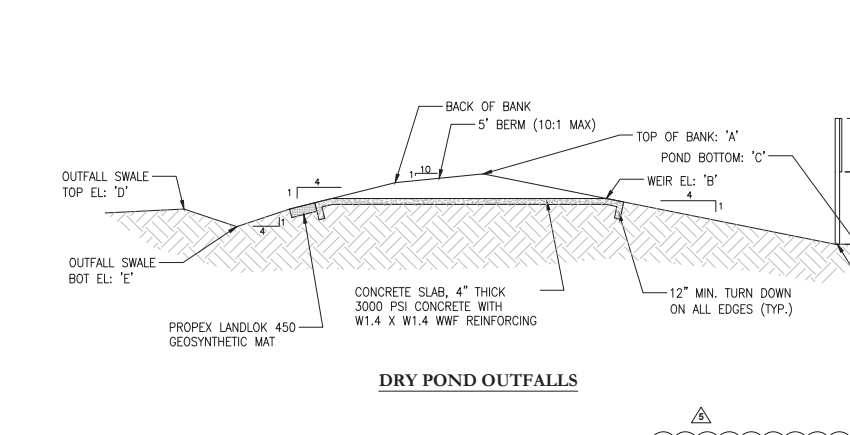
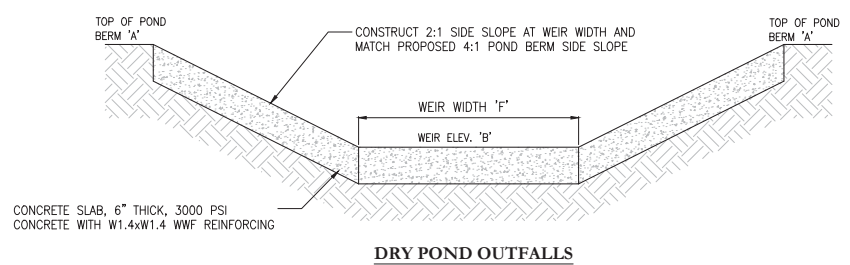
RIPRAP APRON DIMENSIONS AND ESTIMATED QUANTITIES

INLET PIPE SIZE "D" (IN)	LENGTH OF APRON "L" (FT)	DEPTH OF APRON "h" (FT)	ESTIMATED RIPRAP (CY)	ESTIMATED GEOTEXTILE (SY)
24x38	13.5	2	14	36
29x45	16	2	20	47



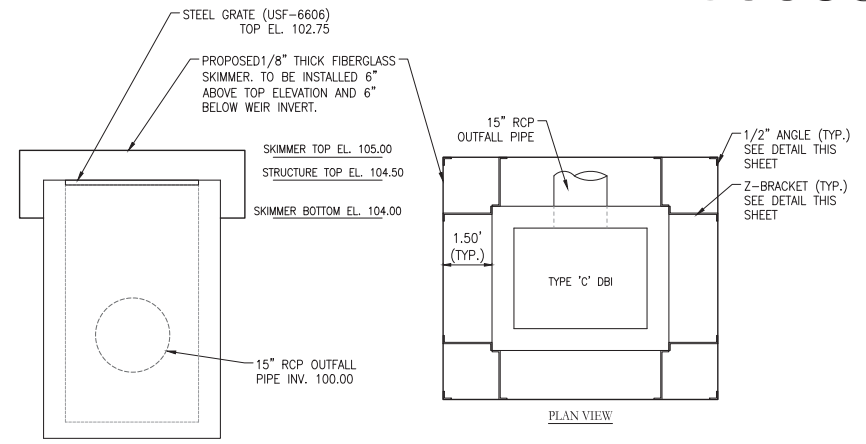
Pond Chart

Pond #	El. 'A'	El. 'B'	El. 'C'	SHGWT	MEAN ANNUAL	10 YR - 24 HR	25 YR - 24 HR	100 YR - 24 HR	FREEBOARD
1	101.50	100.15	97.30	94.80	98.95	100.33	100.53	100.98	0.97
2	104.00	103.25	100.00	97.75	101.90	103.27	103.35	103.50	0.65
3	105.00	N/A	101.50	100.35	102.46	103.64	104.28	104.65	0.72
4	103.00	N/A	99.00	97.75	99.70	100.85	101.53	102.67	1.47



Pond Chart

Pond #	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'D'	EL. 'E'	WIDTH 'F'
1	101.50	100.15	97.30	100.00	99.50	5.00'
2	104.00	103.25	100.00	103.10	102.60	8.00'



PROPOSED TYPE "C" OUTFALL W/STEEL GRATE USF-6606 OUTFALL STRUCTURE CS-1



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

GRADING & DRAINAGE DETAILS 2

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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	01-13-2022	BRE	CONST PLAN REVISIONS
2	07-19-2022	BRE	CITY OF EDGEWOOD REV 2

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-305 Page 69

By Brett Solazzo Date 11/21/2022

Approved Rejected

Hold on Certificate of Occupancy?

Yes No



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ENGINEERS & PLANNERS
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OFFICE: (407) 599-1122 - FAX: (407) 599-1133
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
www.avconinc.com

ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

GRADING SECTIONS

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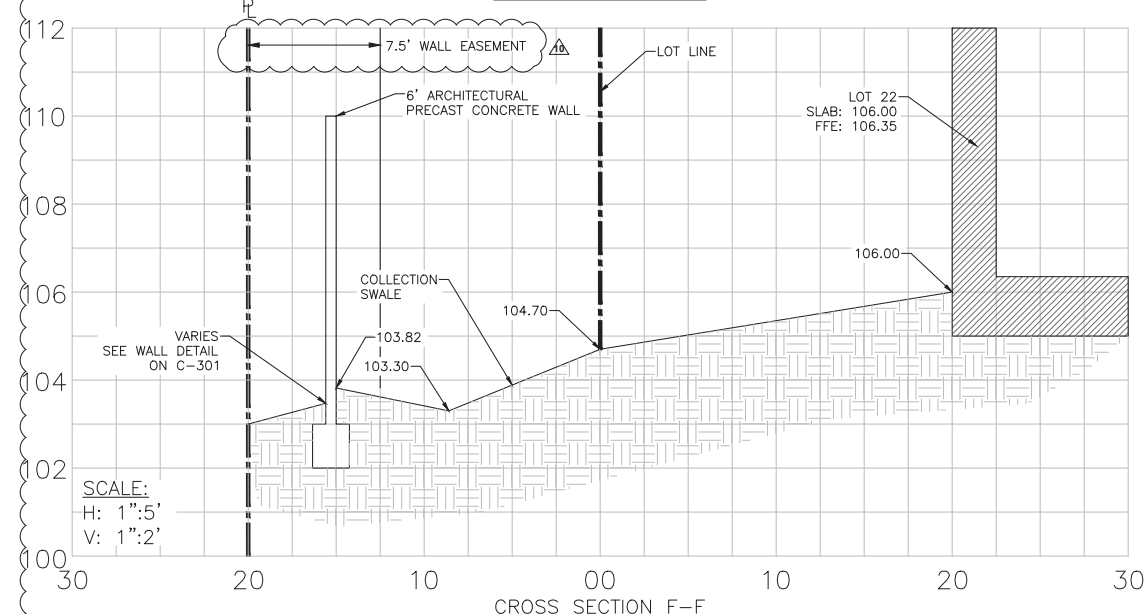
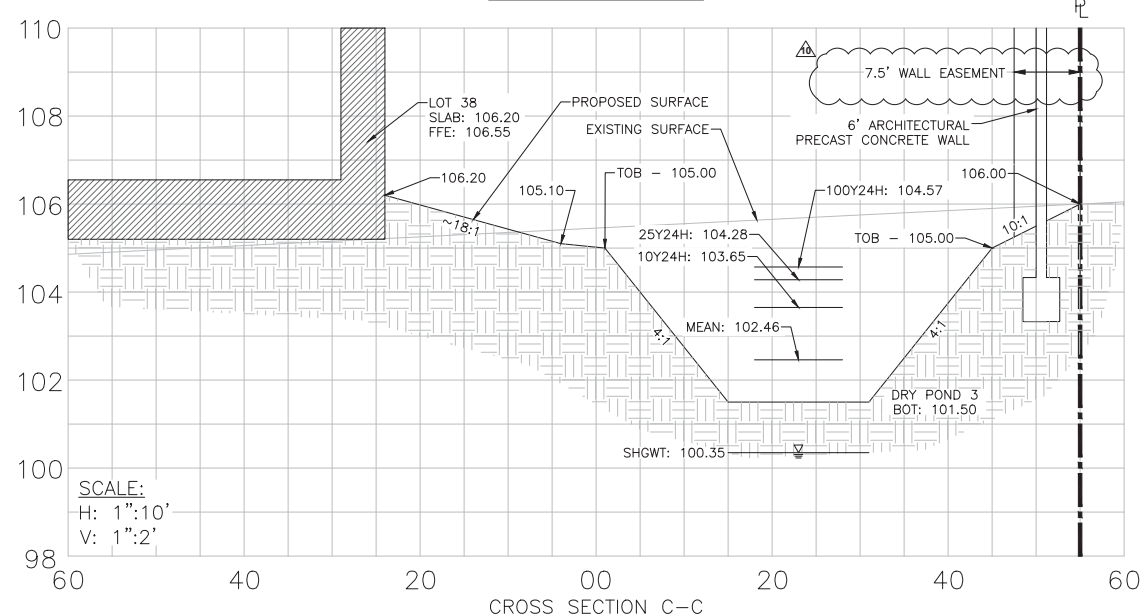
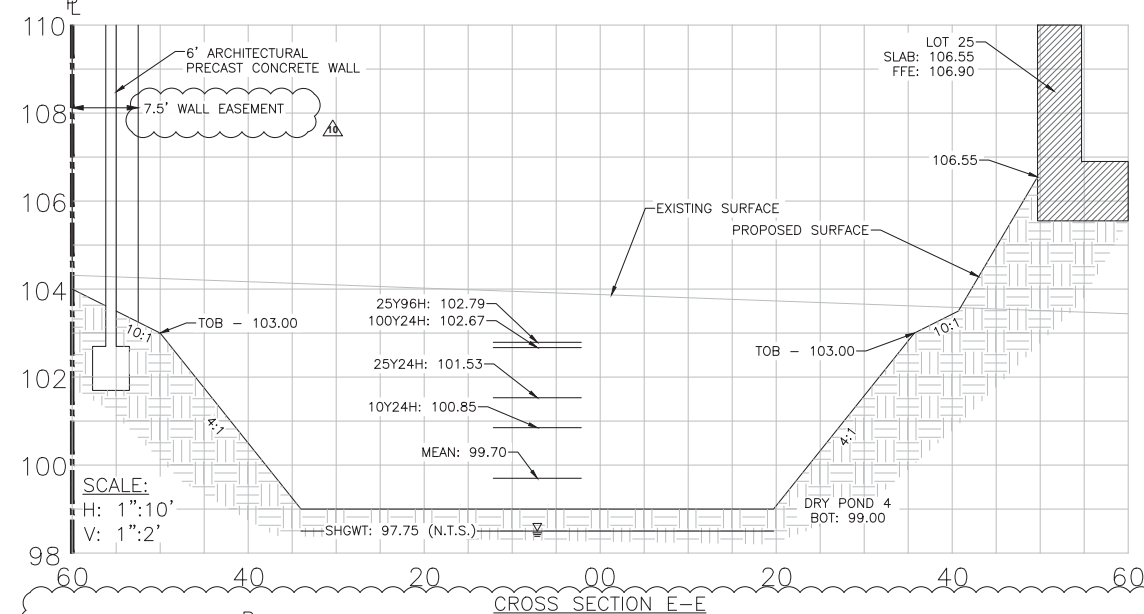
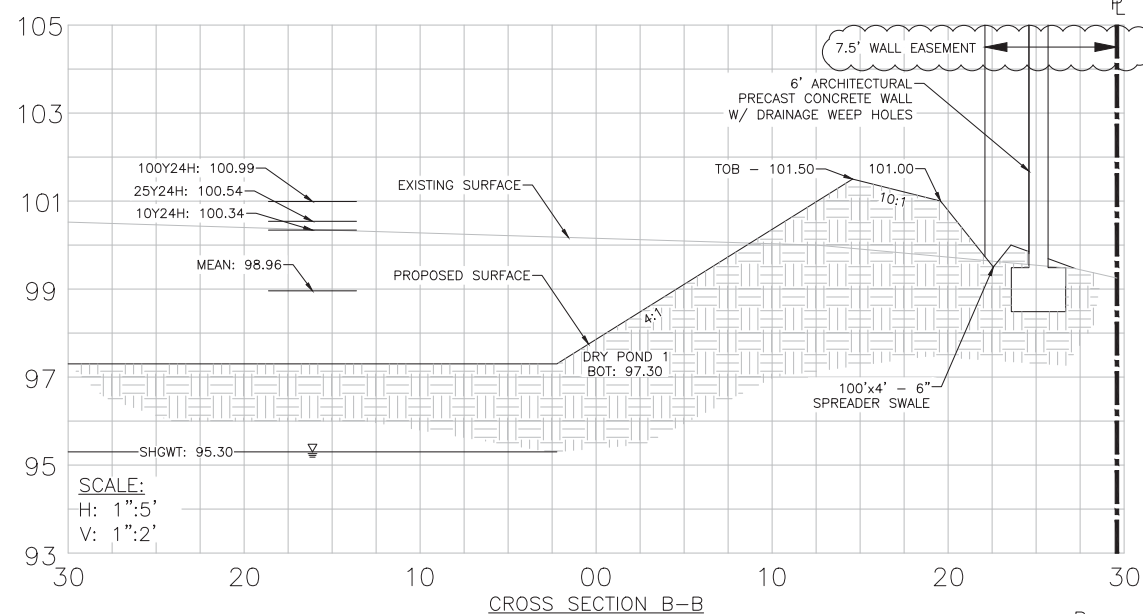
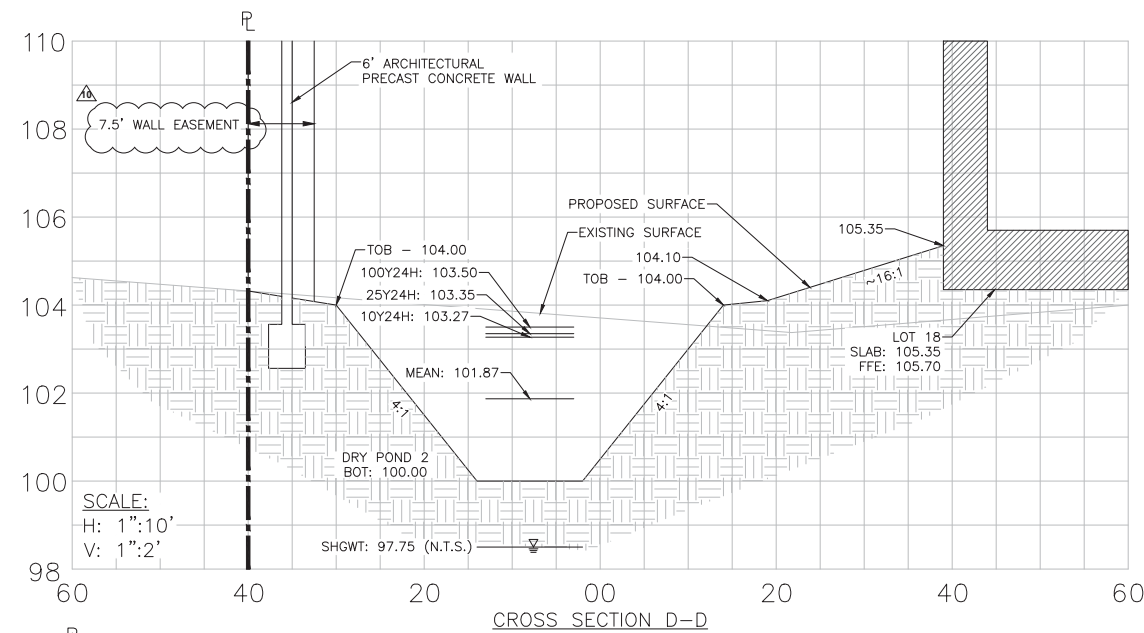
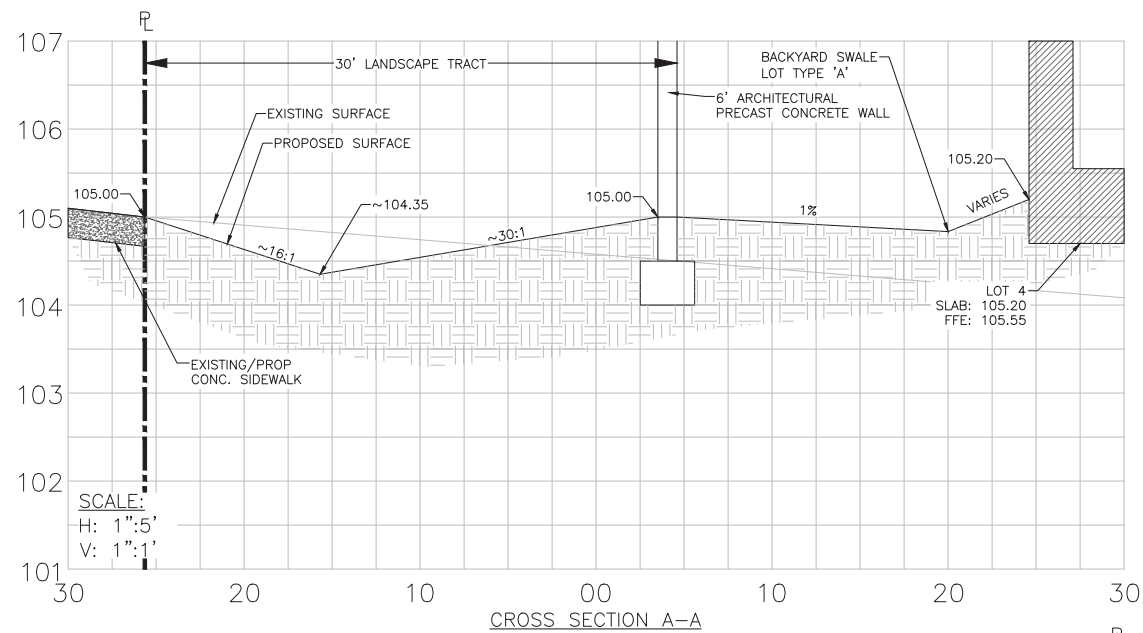
REVISIONS:			
NO.	DATE	BY	DESCRIPTION
△	07-19-2022	BRE	CITY OF EDGEWOOD REV2
△	11-17-2022	BRE	WALL EASEMENT

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 11-17-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-306 Page 70



11/21/2022 10:11 AM - User: Brett Solazzo - Path: C:\Projects\2019\2019.0099.15 - Haven Oaks - Final\2022\11-21-2022 - Final\2022\11-21-2022.dwg

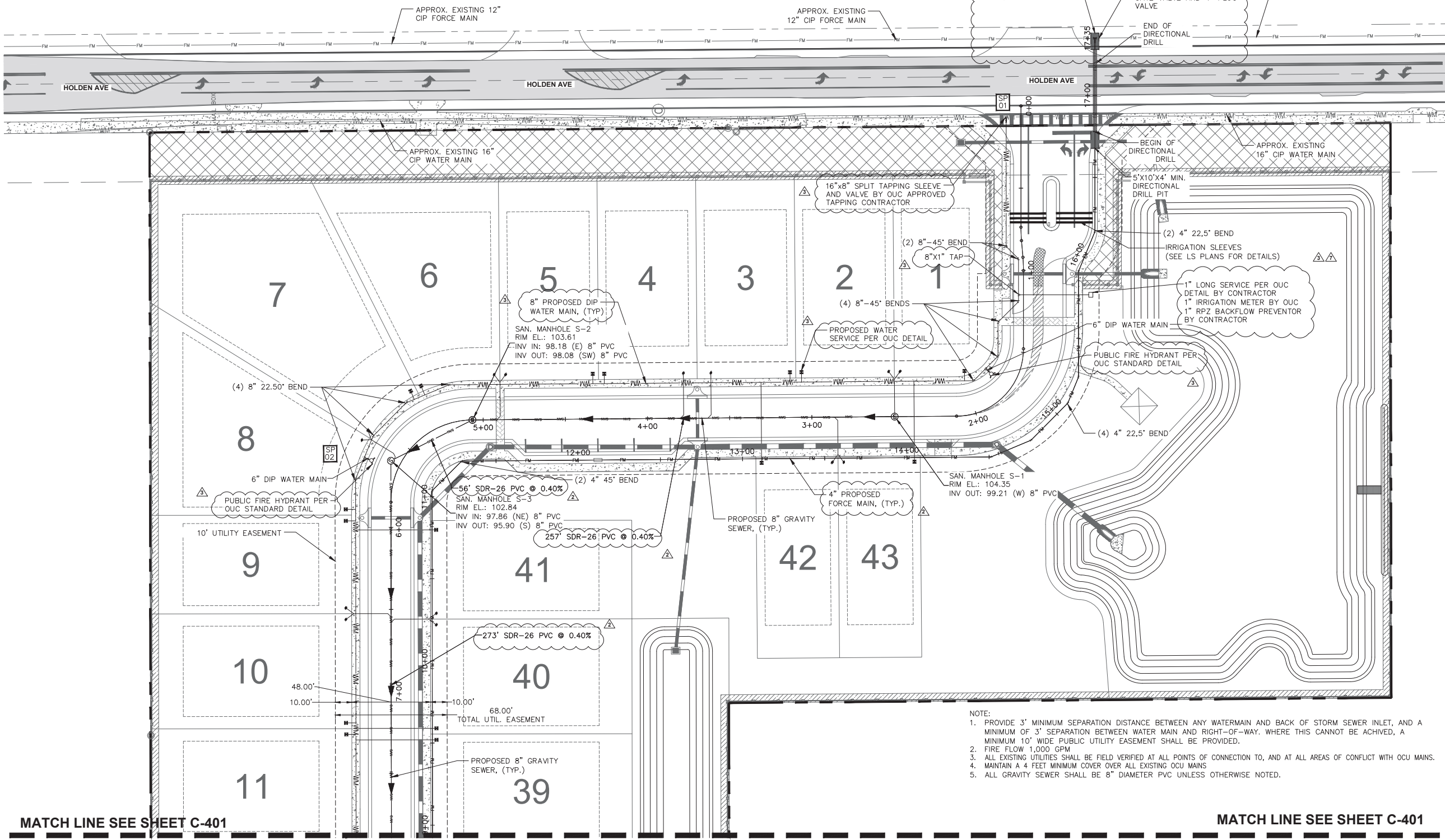
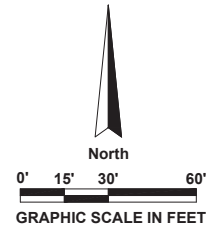
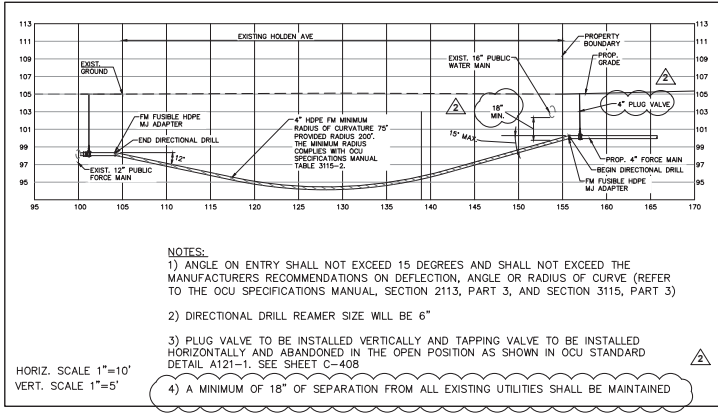
LEGEND

- WATER LINE
- SANITARY LINE
- FM FORCE MAIN
- ⊕ FIRE HYDRANT ASSEMBLY
- ⊗ GATE VALVE
- ⊠ CROSSING NUMBER
- ⊙ SANITARY MANHOLE
- ⊞ SAMPLE POINT (TOTAL OF XX)
- ↓ WATER SERVICE
- ↘ SANITARY LATERAL

TYPICAL PIPE BENDS

- 90° BEND
- 45° BEND
- TEE

NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS
CONSTRUCTION PLANS
UTILITY PLAN NORTH

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SCALE:

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1	01-13-2022	BRE	CONST PLAN REVISIONS
2	04-22-2022	BRE	OCPW RAI #1
3	05-19-2022	BRE	OCU RAI #1
4	08-24-2022	BRE	OCU RAI #2

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

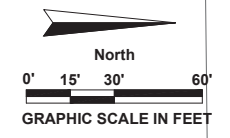
SHEET NUMBER
C-400 Page 71

MATCH LINE SEE SHEET C-401

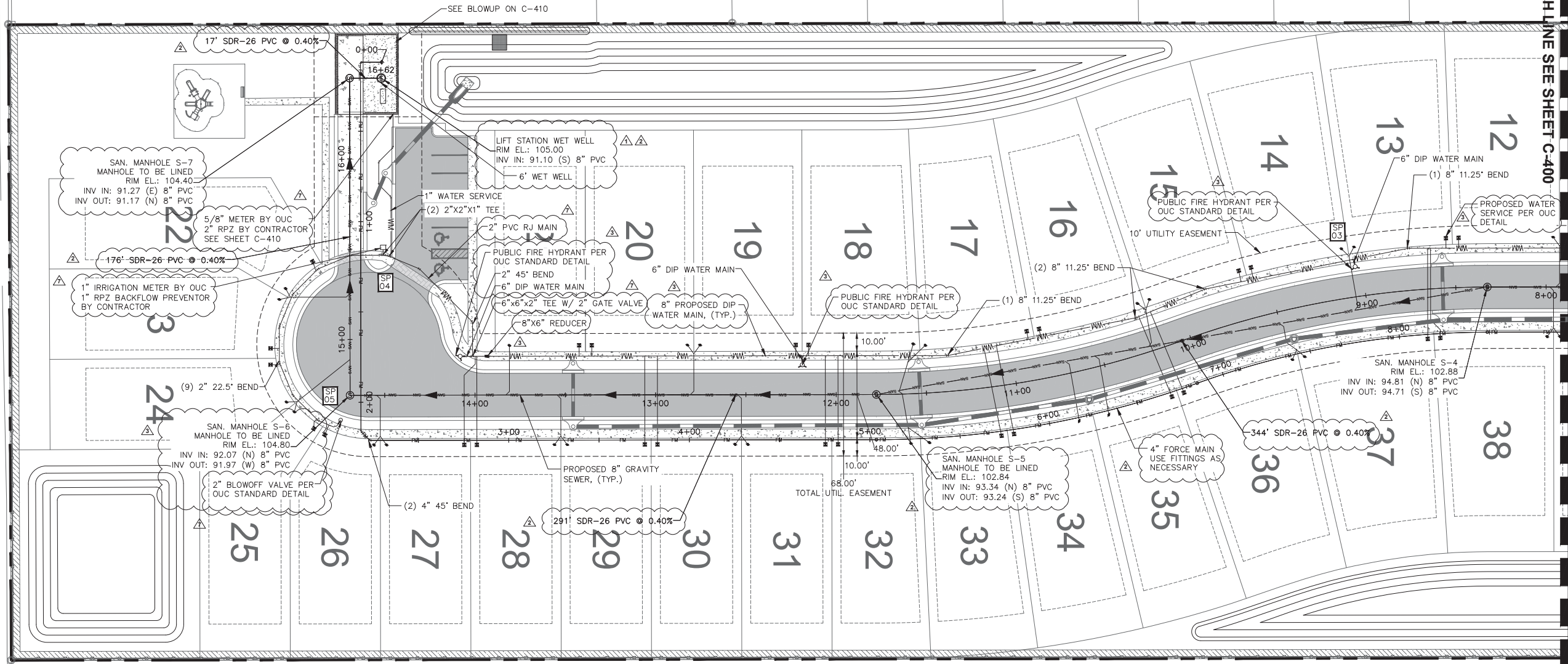
MATCH LINE SEE SHEET C-401

NOTE:

1. PROVIDE 3' MINIMUM SEPARATION DISTANCE BETWEEN ANY WATERMAIN AND BACK OF STORM SEWER INLET, AND A MINIMUM OF 3' SEPARATION BETWEEN WATER MAIN AND RIGHT-OF-WAY. WHERE THIS CANNOT BE ACHIEVED, A MINIMUM 10' WIDE PUBLIC UTILITY EASEMENT SHALL BE PROVIDED.
2. FIRE FLOW 1,000 GPM
3. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCU MAINS.
4. MAINTAIN A 4 FEET MINIMUM COVER OVER ALL EXISTING OCU MAINS
5. ALL GRAVITY SEWER SHALL BE 8" DIAMETER PVC UNLESS OTHERWISE NOTED.



MATCH LINE SEE SHEET C-400



MATCH LINE SEE SHEET C-400



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HAVEN OAKS

CONSTRUCTION PLANS

UTILITY PLAN SOUTH

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DESIGNED BY: RVB
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CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-401 Page 72

LEGEND

	WATER LINE
	SANITARY LINE
	FORCE MAIN
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	CROSSING NUMBER
	SANITARY MANHOLE
	SAMPLE POINT (TOTAL OF XX)
	WATER SERVICE
	SANITARY LATERAL

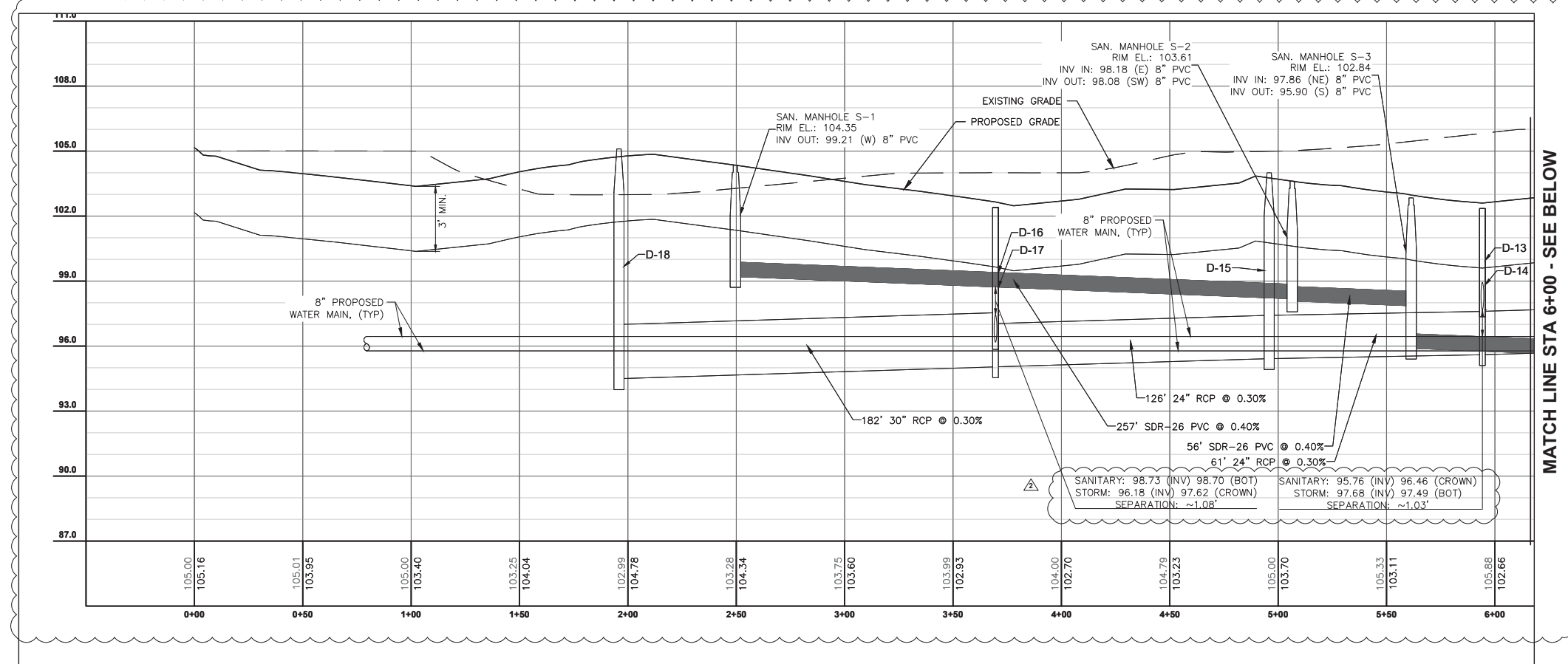
TYPICAL PIPE BENDS

	90° BEND
	45° BEND
	TEE

NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS

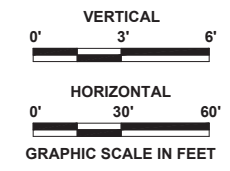
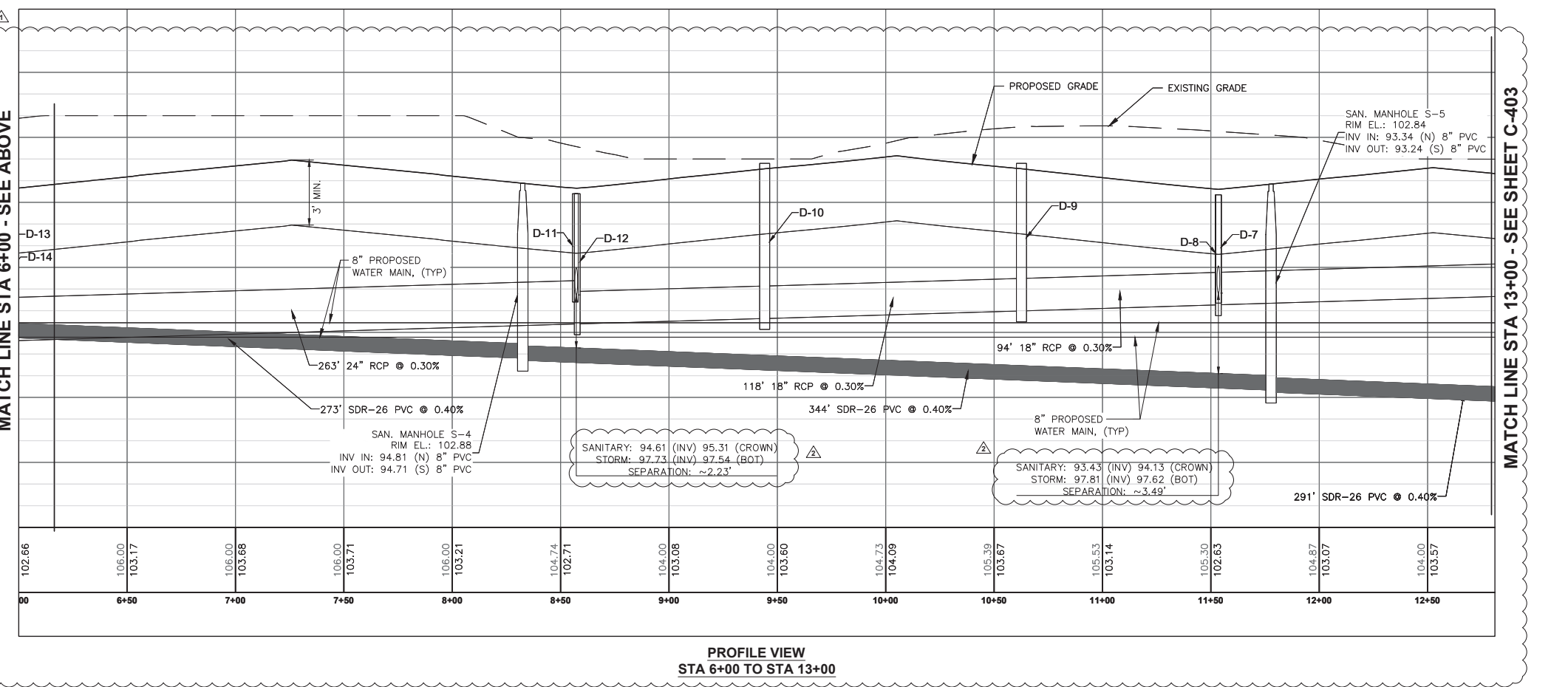
- NOTE:
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 - ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCU MAINS.
 - MAINTAIN A 4 FEET MINIMUM COVER OVER ALL EXISTING OCU MAINS
 - ALL GRAVITY SEWER SHALL BE 8" DIAMETER PVC UNLESS OTHERWISE NOTED.

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DRAINAGE STRUCTURES

D-7	RM = 103.35 INV IN = 98.85 INV OUT = 98.85
D-8	RM = 103.35 INV IN = 98.50 INV IN = 98.04 INV OUT = 98.04
D-9	RM = 104.80 INV IN = 97.66 INV IN = 97.66 INV OUT = 97.66
D-10	RM = 104.80 INV IN = 97.19 INV IN = 97.19 INV OUT = 97.19
D-11	RM = 103.40 INV IN = 98.90 INV IN = 98.90 INV OUT = 98.90
D-12	RM = 103.40 INV IN = 98.55 INV IN = 98.55 INV OUT = 98.55
D-13	RM = 103.35 INV IN = 98.85 INV IN = 98.85 INV OUT = 98.85
D-14	RM = 103.40 INV IN = 98.50 INV IN = 98.50 INV OUT = 98.50
D-15	RM = 103.35 INV IN = 98.57 INV IN = 98.57 INV OUT = 98.57
D-16	RM = 103.15 INV IN = 98.65 INV IN = 98.65 INV OUT = 98.65
D-17	RM = 103.15 INV IN = 98.30 INV IN = 95.01 INV OUT = 95.01
D-18	RM = 105.10 INV IN = 94.34 INV IN = 94.34 INV OUT = 94.34



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HAVEN OAKS

CONSTRUCTION PLANS

PROFILE PLAN 1

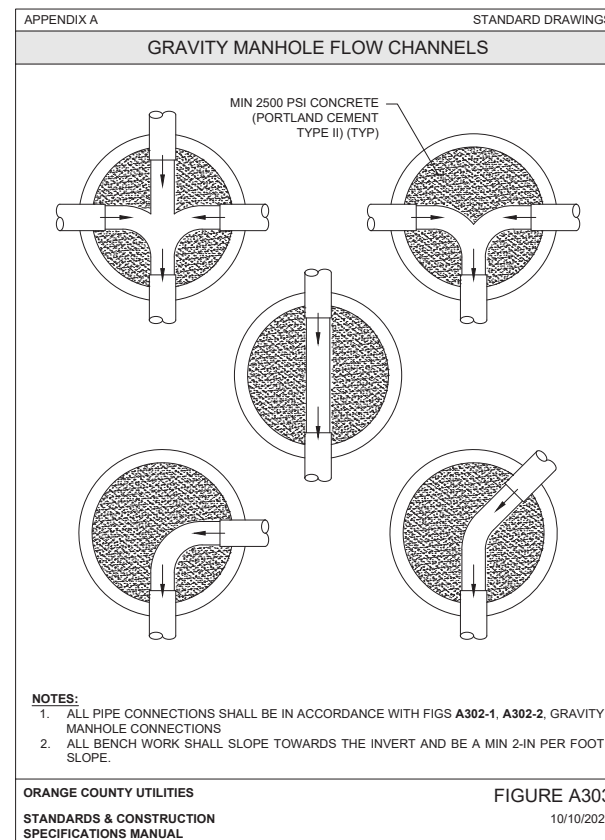
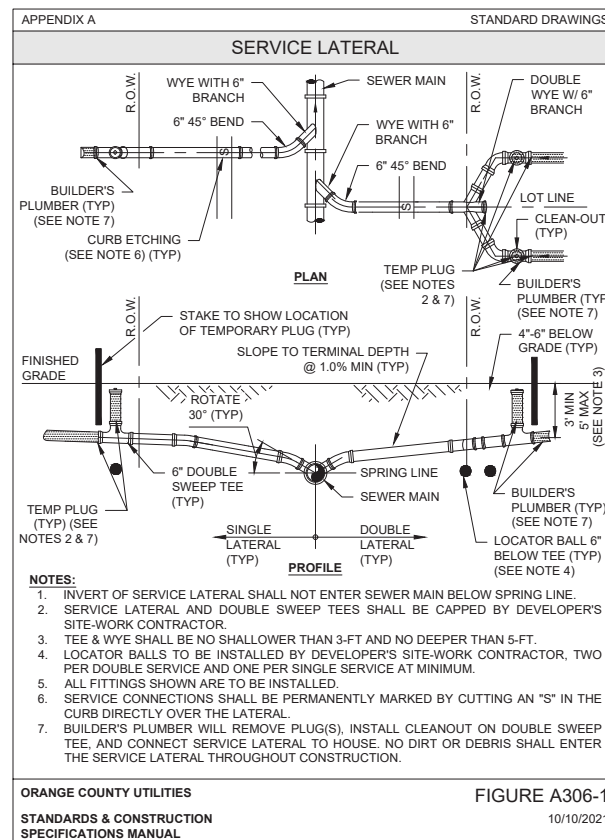
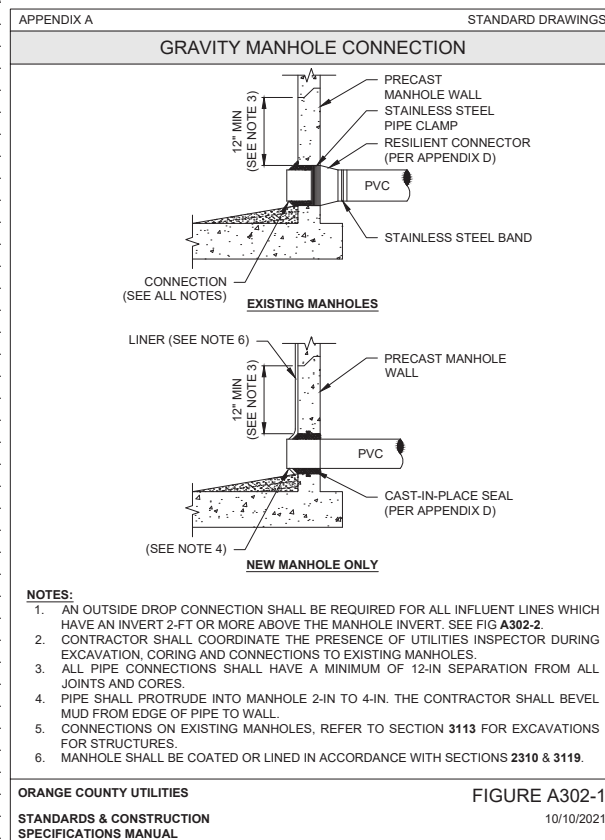
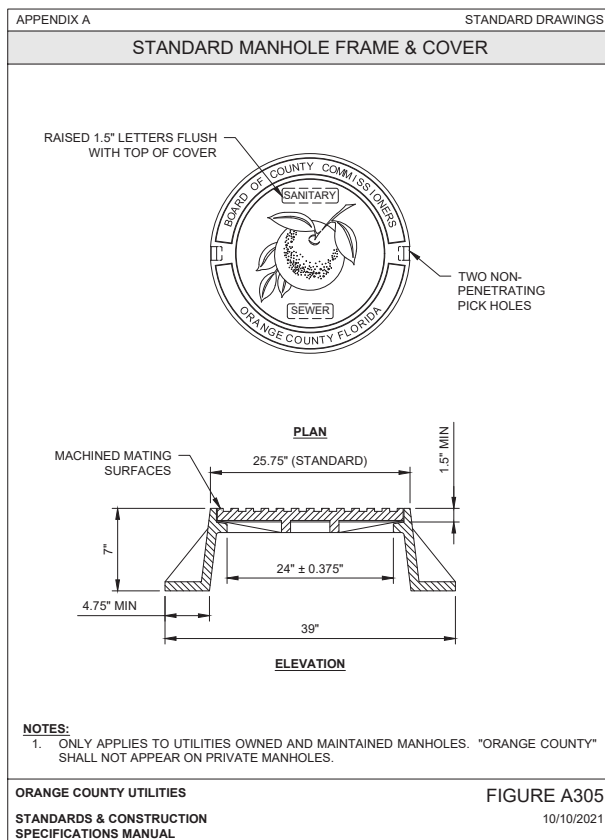
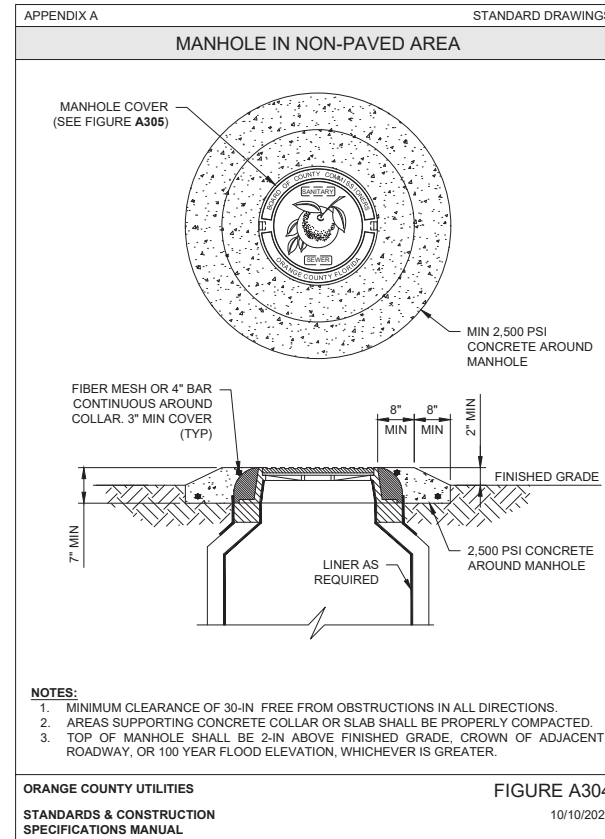
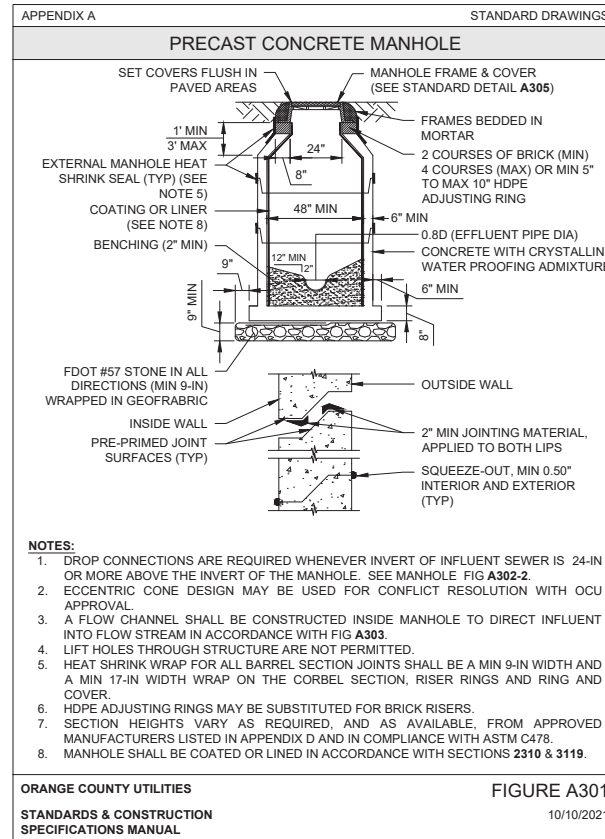
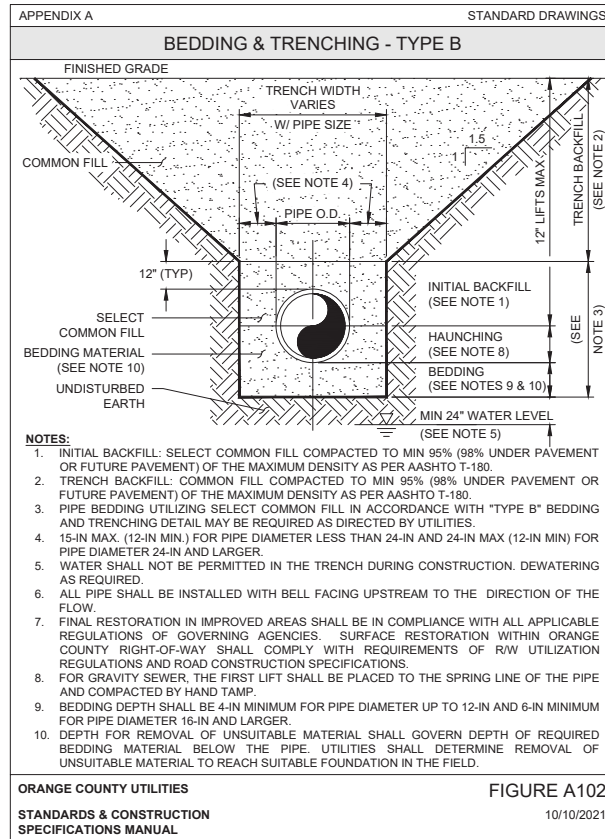
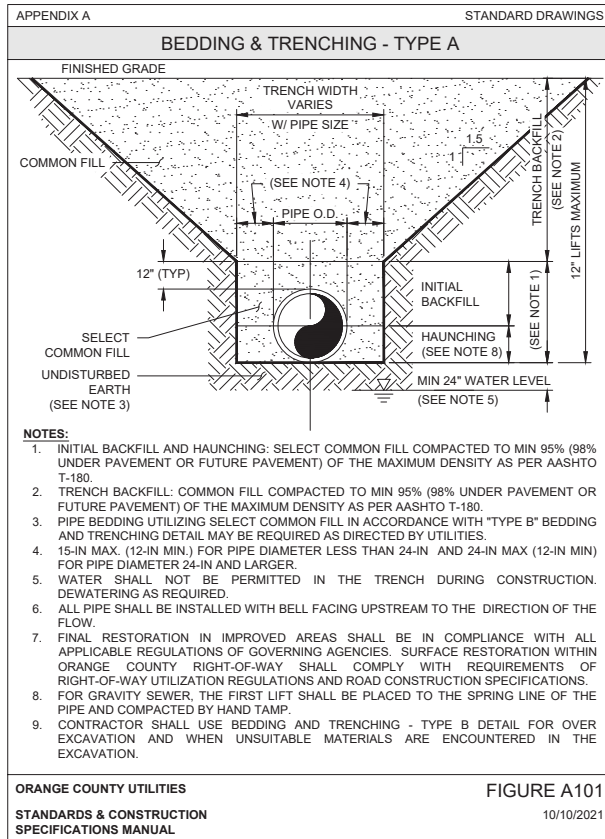
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DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



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CONSTRUCTION PLANS

UTILITY DETAILS 1

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APPENDIX A		STANDARD DRAWINGS									
HORIZONTAL PIPELINE SEPARATION REQUIREMENTS											
HORIZONTAL SEPARATION REQUIREMENTS (NOTES 1 & 2)											
PROPOSED UTILITY		POTABLE WATER (NOTE 3)		RECLAIMED WATER MAIN (SEE NOTE 7)		WASTEWATER FORCEMAIN		SANITARY SEWER		STRUCTURAL FOUNDATION, WALLS, ETC. (SEE NOTE 8)	
		4"-12"	16"-UP	4"-12"	16"-UP	4"-12"	16"-UP	ALL SIZES	ALL SIZES	ALL SIZES	ALL SIZES
POTABLE WATER (NOTE 3)	4"-12"	3'	5'	3'	5'	6'	6'	6'	3'	10'	
	16"-UP	5'	5'	5'	5'	6'	6'	6'	5'	15' (NOTE 5)	
RECLAIMED WATER MAIN (SEE NOTE 7)	4"-12"	3'	5'	3'	5'	3'	5'	3'	3'	10'	
	16"-UP	5'	5'	5'	5'	5'	5'	5'	5'	15' (NOTE 5)	
WASTEWATER FORCEMAIN	4"-12"	6'	6'	3'	5'	3'	5'	3'	3'	10'	
	16"-UP	6'	6'	5'	5'	5'	5'	5'	5'	15' (NOTE 5)	
SANITARY SEWER	ALL SIZES	6'	6'	3'	5'	3'	5'	3'	5'	VARIABLE PER DEPTH	

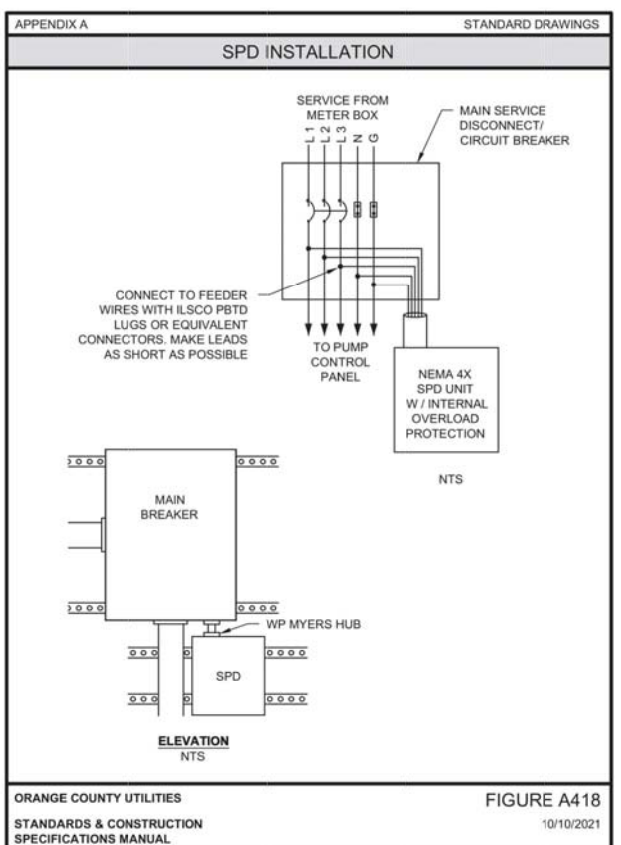
NOTES:
 1. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
 2. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. FOR PIPES INSTALLED AT GREATER DEPTHS THAN THE MINIMUM OCU DESIGN STANDARDS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
 3. THIS SEPARATION REQUIREMENT COMPLIES WITH THE MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, F.A.C. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), F.A.C. AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND UTILITIES PRIOR TO INSTALLATION.
 4. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.
 5. PRESSURE MAINS 16-IN TO 24-IN MAY HAVE 10-FT SEPARATION FROM STRUCTURAL FOUNDATION, WALLS, ETC IF NEW MAINS ARE RESTRAINED FOR THE ENTIRE LENGTH.
 6. REFERENCE FIGURE A116-2 FOR VERTICAL PIPELINE SEPARATION REQUIREMENTS.
 7. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-910, F.A.C.
 8. ADDITIONAL SEPARATION SHALL BE REQUIRED BY UTILITIES FOR CONSTRUCTION OF, INCLUDING, BUT NOT LIMITED TO: LIVE LOADS, MULTI-STORY COMMERCIAL BUILDINGS, SUPERSTRUCTURES, EMBANKMENTS, RETAINING WALLS, BRIDGES, RAILROADS, HIGH VOLTAGE TRANSMISSION MAINS, GAS MAINS, ETC.

ORANGE COUNTY UTILITIES STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL
 FIGURE A116-1
 10/10/2021

APPENDIX A		STANDARD DRAWINGS					
VERTICAL PIPELINE SEPARATION REQUIREMENTS							
VERTICAL SEPARATION REQUIREMENTS (NOTES 1 & 2)							
PROPOSED UTILITY	POTABLE WATER (NOTE 4)	RECLAIMED WATER MAIN	WASTEWATER FORCEMAIN	SANITARY SEWER	STORM SEWER (NOTE 3)		
POTABLE WATER (NOTE 4)	12"	12"	12" / 18"	12" / 18"	12" / 18"		
RECLAIMED WATER MAIN	12"	12"	12"	12"	12" / 18"		
WASTEWATER FORCEMAIN	12"	12"	12"	12"	12" / 18"		
SANITARY SEWER	12" / 18"	12"	12"	12"	12" / 18"		

NOTES:
 1. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
 2. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE.
 3. THE 18-IN SEPARATION REQUIREMENT APPLIES WHEN THE STORM PIPE OR SANITARY SEWER CROSSES ABOVE THE UTILITY MAIN, AND WHEN THE STORM PIPE HAS A DIAMETER EQUAL TO OR GREATER THAN 24-IN. OTHERWISE, THE REQUIRED SEPARATION IS 12-IN.
 4. THIS SEPARATION REQUIREMENT COMPLIES WITH THE MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, F.A.C. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), F.A.C. AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND UTILITIES.
 5. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.
 6. REFERENCE FIGURE A116-1 FOR HORIZONTAL PIPELINE SEPARATION REQUIREMENTS.
 7. JOINT SPACING AT CROSSING SHALL COMPLY WITH THE MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, F.A.C.

ORANGE COUNTY UTILITIES STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL
 FIGURE A116-2
 10/10/2021



OUC Water Engineering Notes (Rev. 10/30/13):

The developer/customer shall accomplish all water main and service work through the point of service/control valve and water meters and deed to OUC. OUC will own and operate up to and including the OUC point of service/control valve and meters only. The required work shall be performed per current OUC guidelines, OUC Water Distribution Standard Specifications and OUC Water Distribution Material Specifications and water detail sheet under OUC inspection. The developer/customer must contact OUC Inspection at 407-649-4428 to schedule a pre-construction meeting prior to any water construction.

A minimum 4' clearance (including landscaping) must be maintained around meter assembly.

Domestic/fire master meter assembly will be provided by OUC at the developer/customer's expense and shall be installed by the developer/customer. After payment, allow 30 days for receipt of the meter by OUC. The developer/customer shall arrange pickup from the OUC warehouse facility through the OUC inspector.

Contact OUC Inspection department for approved material and construction specifications pertaining to the installation of ductile iron pipe via directional or jack and bore method.

The developer/customer shall field verify the horizontal and vertical location of existing OUC water facilities before commencement of construction.

For water wet taps, use only OUC approved tapping contractors:

- Action Industries, Inc. 352-732-6941 or 800-216-4464
- Central Florida Tapping and Construction Services, Inc. 407-834-8271
- Mac Tapping, Inc. 407-468-0557
- Rangeline Tapping Services, Inc. 800-346-5971
- TDW Services, Inc. 407-843-2800
- T & R Tapping Service, Inc. 407-339-3685
- EA Services 407-880-6786

Easements:

All on-site OUC water facilities (mains, services, meters, and fire hydrants) shall be located within a utility easement in accordance with current OUC private property guidelines. The developer is to furnish all necessary information, including legal description(s) to prepare and document this easement. Water meters and fire services will not be activated until the final easement(s) have been received and approved by OUC. Any questions or comments please contact OUC Property and Right of Way department at 407-434-2158.

Connection to Existing valve

Contractor to verify location, condition and pressure test existing valve prior to connection. If valve does not hold required pressure test additional valve will be required at developer/contractor's expense.

OUC Backflow Prevention Requirements:

Backflow devices will be owned and maintained by customer unless otherwise noted. Any questions contact OUC Backflow Prevention Department at 407-649-4428.

Domestic and Irrigation

The Developer/Customer is responsible for the required Reduced Pressure Backflow Preventer. Residential domestic backflow preventers are required in areas where reclaimed or other water supply, i.e. well, is provided to the site.

Fire Line:

The Developer/Customer is responsible for the required Reduced Pressure Detector Check Assembly w/Monitoring meter for backflow prevention.

As - Built Drawings

The customer/developer shall provide vertical and horizontal as-built information relative to all constructed utilities and structures. The submittal will include a signed and sealed drawing and a CD with the as built information in AutoCAD 2004 format.

State Planes Coordinates, East Florida, NAD 1983-90 is the preferred coordinate system. If a project coordinate system is used, all drawings will be based on this system and existing features i.e. edge of pavement, road intersections, buildings must be referenced to aid in the locating of project infrastructure in OUC's Geographic Information System. If no existing features are shown at least 2 State Plane Coordinate points must be surveyed and bench marked.

As-Built information for the water system shall include, but not be limited to, the following:

1. Location of all valves, fittings, hydrants, and services.
2. Location of the water main tied horizontally to the back of curb or edge of pavement.
3. Certification as to the system meeting the minimum cover requirements.
4. Horizontal and vertical data for any construction which deviates from the approved engineering plans.

The contractor shall cut "W" in the top curb of each water service and a "V" at all valve locations. Cut W's and V's shall be highlighted with blue paint.



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CONSTRUCTION PLANS

UTILITY DETAILS 2

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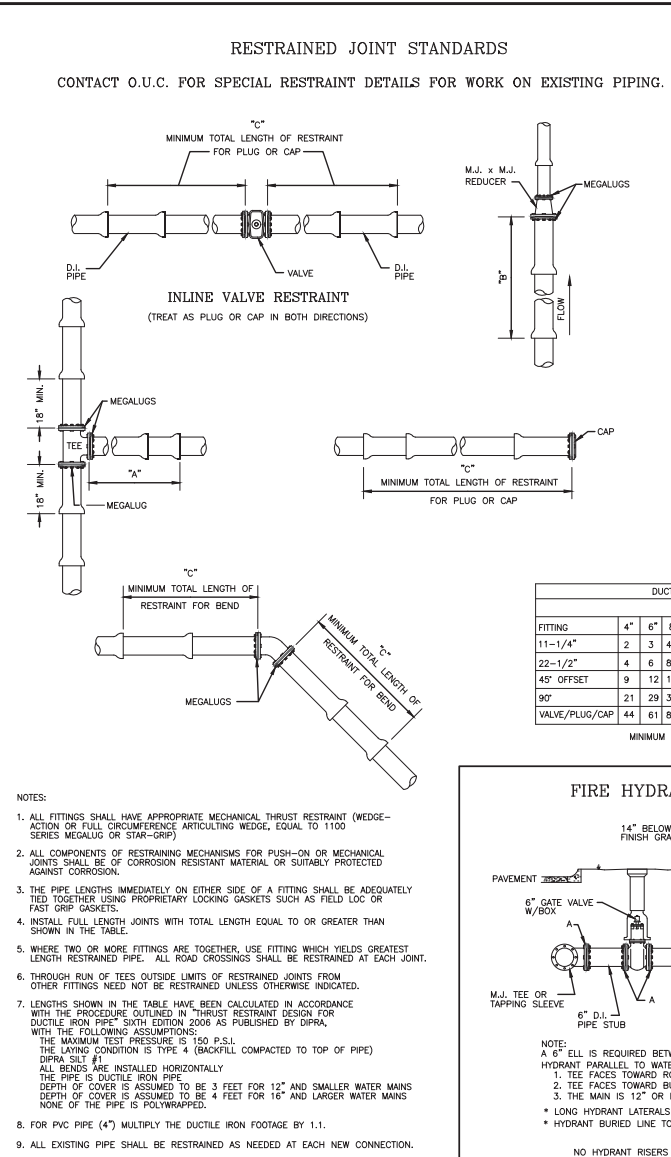
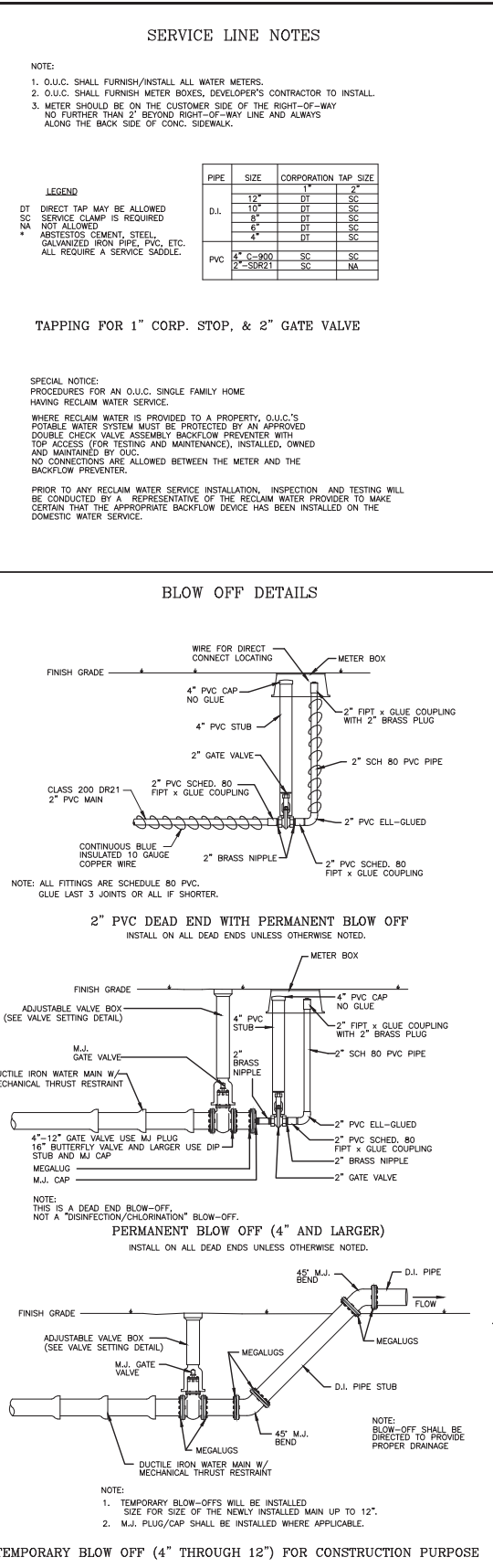
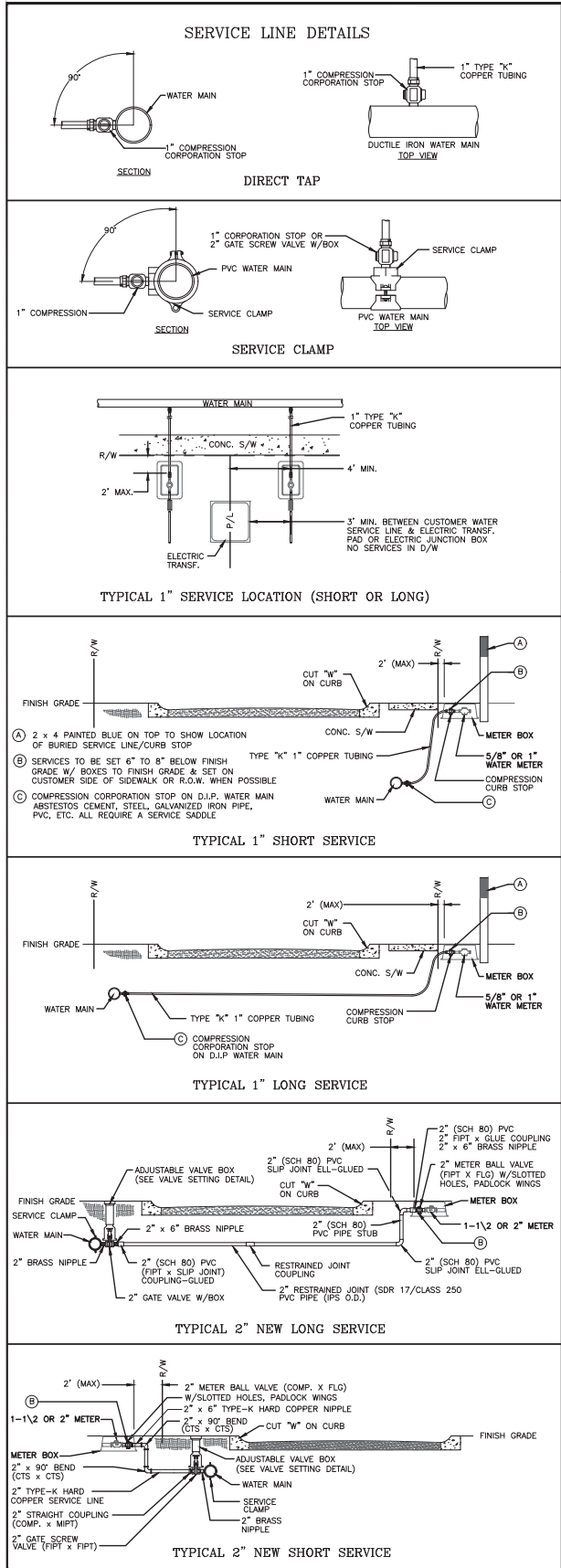
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AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-405 Page 76



2" PVC - PIPE RESTRAINT (LF)

FITTING SIZE"	TEE "A"	REDUCER "B"
2 x 2	11	0
4 x 2	8	0
6 x 2	5	0
8 x 2	3	0
10 x 2	0	0
D.I. PIPE RESTRAINT - (LF)		
FITTING SIZE"	TEE "A"	REDUCER "B"
4 x 4	39	0
8 x 4	36	32
6 x 6	56	0
8 x 4	34	58
8 x 6	55	34
8 x 8	75	0
10 x 4	32	78
10 x 6	53	59
10 x 8	74	52
10 x 10	91	0
12 x 4	29	98
12 x 6	51	82
12 x 8	73	60
12 x 10	90	53
12 x 12	108	0
16 x 4	14	154
16 x 6	34	95
16 x 8	51	82
16 x 10	66	67
16 x 12	81	48
18 x 18	107	0
20 x 4	6	129
20 x 6	30	122
20 x 8	49	117
20 x 10	64	100
20 x 12	79	85
20 x 14	106	48
20 x 20	131	0
24 x 6	26	140
24 x 8	45	140
24 x 10	61	130
24 x 12	78	117
24 x 16	104	87
24 x 20	130	48
24 x 24	154	0

MINIMUM FOOTAGE OF PIPE TO BE RESTRAINED.

DUCTILE IRON PIPE RESTRAINT "C" (LF)

FITTING SIZE"	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"	2"
11-1/4"	2	3	4	4	5	6	7	9	10	1	
22-1/2"	4	6	8	9	11	13	15	18	20	1	
45" OFFSET	9	12	16	19	22	22	26	31	36	42	3
90"	21	29	38	46	53	64	74	88	101	6	
VALVE/PLUG/CAP	44	61	80	96	113	136	159	191	221	13	

MINIMUM FOOTAGE OF PIPE TO BE RESTRAINED.

GENERAL SPECIFICATIONS

1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE IN-HAND BEFORE BEGINNING ANY CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISRUPTION OF SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES OR UTILITIES FROM CONSTRUCTION OF WATER FACILITIES. CONTRACTOR SHALL COORDINATE ANY NECESSARY ADJUSTMENTS AND COOPERATE WITH THE OWNERS.

3. ANY DELAY OR INCONVENIENCE OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

4. ALL CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL MEET CURRENT ORLANDO UTILITIES COMMISSION SPECIFICATIONS FOR MATERIAL, INSTALLATION, AND DISINFECTION. ALL MATERIAL AND EQUIPMENT SHALL BE STORED, INSTALLED, AND USED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.

5. ALL WATER FACILITIES WILL BE IN COMPLIANCE WITH THE CONDITIONS OF FDEP PERMIT FOR THE PROJECT.

6. WATER MAIN SEPARATION FROM SEWER, STORM, AND RECLAIM LINES WILL BE IN COMPLIANCE WITH FDEP GUIDELINES.

7. THE MINIMUM SEPARATION REQUIREMENTS FROM SANITARY FORCE MAINS, MATERIAL, AND EQUIPMENT SHALL BE STORED, INSTALLED, AND USED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.

8. WATER MAINS SHALL BE INSTALLED AT A MINIMUM HORIZONTAL DISTANCE OF 5 FEET (EDGE TO EDGE) FROM THE POTABLE WATER MAIN. RECLAIMED WATER MAINS SHALL BE BELOW POTABLE WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF 12".

9. ALL HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH ANSI/AWWA C600 FOR D.I. PIPE AND ANSI/AWWA C900 FOR PVC PIPE.

10. PROVISIONS ARE REQUIRED TO PROTECT EXISTING ACTIVE WATER MAINS FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING, AND MAINTAINING A PRESSURE IN THE NEW PIPING UNTIL A FDEP LETTER OF CLEARANCE IS OBTAINED.

11. THE DISINFECTION OF WATER MAINS SHALL BE IN COMPLIANCE WITH RULES OF THE DEPARTMENT OF ENVIRONMENTAL REGULATION - CHAPTER 62-555 "PERMITTING AND CONSTRUCTION OF PUBLIC WATER SYSTEMS".

12. EXCEED THE REQUIREMENTS SET FORTH IN ANSI/AWWA STANDARDS C900, C900 MONITORING AND TESTING PROCESSES, STARTING AND ENDING APPROVED BY O.U.C.

13. CROSS CONNECTION CONTROL SHALL BE IN ACCORDANCE WITH RULES AND REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION - CHAPTER 62-555 "PERMITTING AND CONSTRUCTION OF PUBLIC WATER SYSTEMS".

14. BACKFLOW PREVENTERS SHALL BE LOCATED NO MORE THAN 10 FEET FROM POINT OF SERVICE UNLESS PRIOR APPROVAL HAS BEEN RECEIVED FROM OUC CROSS CONNECTION CONTROL DEPT.

15. ALL PIPE WITH DIAMETER OF 12" OR LESS SHALL HAVE A MINIMUM BURIAL DEPTH OF 36" AND ALL PIPE WITH DIAMETER OF 16" OR GREATER SHALL HAVE A MINIMUM BURIAL DEPTH OF 48" AND NOT EXCEED 60" DEEP UNLESS APPROVED OUC.

16. A PRE-CONSTRUCTION MEETING FOR THE INSTALLATION OF WATER FACILITIES IS REQUIRED. CONTACT: OUC WATER CONSTRUCTION 407-434-2535.

17. ON NEWLY INSTALLED PIPE, ONLY ONE (1) REPAIR EVERY EIGHT-HUNDRED (800) FEET WILL BE PERMITTED. IF MORE THAN ONE REPAIR IS NECESSARY, THE PIPE WILL NEED TO BE REINSTALLED PER OUC STANDARDS. REPAIRS ARE TO BE MADE USING MECHANICALLY RESTRAINED SLEEVES. BOLT CLAMPS ARE NOT TO BE USED. ANY OTHER METHODS MUST BE APPROVED BY THE OUC ENGINEER.

18. ALL TAPS ON ACTIVE WATER MAINS SHALL BE PERFORMED BY AN OUC APPROVED TAPPING CONTRACTOR.

19. ALL OUC OWNED SERVICES ASSEMBLIES SHALL HAVE A MINIMUM OF 10' SEPARATION FROM STRUCTURES AND TREES.

20. THE CONNECTION OF GROUNDING SYSTEMS FOR NEW OR RENOVATION CONSTRUCTION TO OUC WATER SYSTEM FACILITIES IS PROHIBITED.

GENERAL MATERIAL SPECIFICATIONS

MATERIAL USED IN THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL ADHERE TO THE REQUIREMENTS OUTLINED IN THE OUC WATER DISTRIBUTION'S SPECIFICATION STANDARDS MANUAL. THE FOLLOWING INFORMATION IS TO PROVIDE GENERAL GUIDANCE IN THE PREPARATION OF CONSTRUCTION PLANS AND SPECIFICATIONS, AND IN NO WAY LIMITS OUC'S RIGHTS TO APPROVE OR DISAPPROVE PLANS, SPECIFICATIONS OR INSTALLATIONS. MOST CENTRAL FLORIDA UTILITY SUPPLY COMPANIES HAVE A COPY OF OUC'S SPECIFICATION STANDARDS MANUAL.

1. THE TYPICAL O.U.C. DISTRIBUTION SYSTEM PIPE SIZES AND MATERIAL USED ARE:

- TWO INCH (2") WATER MAINS SHALL BE ASTM 2241 CLASS 200 SDR21 POLYVINYL CHLORIDE (PVC) PIPE.
- TWO INCH (2") WATER MAIN UNDER ROADWAY REQUIRES 2" RESTRAINT JOINT SIPR 17/CLASS 250 PIPE.
- FOUR INCH (4") WATER MAINS SHALL BE EITHER PRESSURE CLASS 350 DUCTILE IRON (D.I.) IN ACCORDANCE WITH ANSI/AWWA C150/A21.50-96 AND ANSI/AWWA C151/A21.51 OR, AS CONDITIONS WARRANT, C300 SDR18 CLASS 150 PVC PIPE.
- SIX INCH (6") THROUGH TWENTY FOUR INCH (24") WATER MAINS SHALL BE PRESSURE CLASS 350 D.I. PIPE IN ACCORDANCE WITH ANSI/AWWA C150/A21.50 AND ANSI/AWWA C151/A21.51.
- THIRTY INCH (30") AND LARGER WATER MAINS SHALL BE PRESSURE CLASS 250 D.I. PIPE IN ACCORDANCE WITH ANSI/AWWA C150/A21.50 AND ANSI/AWWA C151/A21.51.

NOTE: THE USE OF 2" AND/OR 4" PVC PIPE MUST BE APPROVED BY O.U.C. WATER ENGINEERING.

2. PVC PIPE MUST BE BLUE IN COLOR OR HAVING CONTINUOUS BLUE MARKINGS TO CONFORM TO AWWA C900S WITH NSF LOGO FOR POTABLE WATER USE.

3. DUCTILE IRON POTABLE WATER MAINS REQUIRE SPECIAL IDENTIFICATION. SUCH IDENTIFICATION SHALL INCLUDE A MINIMUM OF 4 CONTINUOUS STRIPES SPACED AT NO MORE THAN 30" FROM EACH OTHER. THE PIPE SHALL BE A MINIMUM TWO INCHES IN WIDTH FOR PIPE 4-12 INCH IN DIAMETER AND FOUR (4) INCHES IN WIDTH FOR LARGER PIPE. IDENTIFICATION SHALL BE BLUE IN COLOR. IDENTIFICATION SHALL NOT BE PLACED FOR AT LEAST 30 MINUTES FOLLOWING PLANT APPLICATION.

4. ALL PIPE FITTINGS 4" UP TO 30" SHALL BE CEMENT OR EPOXY LINED (CLASS 350) AWWA C900 "COMPACT" DUCTILE IRON, WITH MECHANICAL JOINT ENDS. ALL PIPE FITTINGS 36" OR LARGER SHALL BE CEMENT LINED (CLASS 250) DUCTILE IRON, WITH MECHANICAL JOINT ENDS.

5. A SERVICE MATERIAL FOR 1" SHALL INCLUDE SOFT ANNEALED TYPE-K COPPER TUBING.

6. SERVICE MATERIAL FOR 2" SHORT SIDE SERVICES SHALL INCLUDE 2" CTS TYPE-K HARD COPPER PIPE.

7. SERVICE MATERIAL FOR 2" LONG SIDE SERVICES SHALL INCLUDE 2" RESTRAINED JOINT SIPR 17/CLASS 250 PVC PIPE (PS-10).

8. SERVICE MATERIAL (CORP. STOPS, CURB STOPS, ETC.) FOR 1" AND 2" SERVICES SHALL BE BRASS COMPRESSION FITTINGS IN ACCORDANCE WITH AWWA C800. FLARED FITTINGS ARE ACCEPTABLE UNDER CONTROLLED CONDITIONS. AN AWWA (CC) THREADING IS REQUIRED ON ALL 1" CORPORATION STOPS USED WITH DIRECT PIPE TAPPING ON DUCTILE IRON PIPE OR WITH SERVICE CLAMPS ON PVC PIPE. INSTALLATION OF 2" SERVICES REQUIRE SERVICE CLAMPS AND TO ACCOMMODATE 1 1/2" OR 2" METERS, 2" BALL ANGLE METER VALVES (CTS X FLANGE) WITH SLOTTED HOLES ON THE FLANGE FACE ARE REQUIRED. PADLOCK WINGS MUST BE INCLUDED ON EACH CURB STOP OR BALL METER VALVE.

9. FIRE HYDRANTS SHALL BE TRAFFIC DRY BARREL TYPE AND MEET OUC SPECIFICATIONS.

10. ALL VALVES 4" THROUGH 12" SHALL BE RESILIENT SEAT/WEDGE GATE VALVES WITH EPOXY COATING INTERNALLY/EXTERNALLY AND CONFORM TO ANSI/AWWA STANDARD C509 OR LATEST REVISION. ALL VALVES 16" AND LARGER SHALL BE BUTTERFLY, HAVE EPOXY COATING AND CONFORM TO ANSI/AWWA C504 OR LATEST REVISION.

11. VALVE BOXES SHALL BE CAST IRON SLEUNG TYPE ONLY.

12. FOR VALVES OVER 5' DEEP A PIECE OF 6" SCH 40 BLUE PVC PIPE SHALL BE INSTALLED BETWEEN THE VALVE BOX TOP AND BOTTOM.

SPECIAL NOTICE:

OUC'S SPECIFICATIONS OFTEN ADD TO THE MANUFACTURER'S SPECIFICATIONS. IF YOU HAVE ANY QUESTIONS REGARDING MATERIAL SPECIFICATIONS OR CONSTRUCTION STANDARD SPECIFICATIONS, PLEASE CONTACT OUC'S WATER DELIVERY DEPARTMENT AT 407-434-2535 OR VISIT OUR WEB SITE AT http://www.ouc.com/any-commercial/water/monthly_reports.aspx

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CONSTRUCTION PLANS

UTILITY DETAILS 3

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AVCON PROJECT NO. 2019.0099.15

OUC
ORLANDO UTILITIES COMMISSION
WATER BUSINESS UNIT
3800 GARDNER AVE. ORLANDO, FL 32809

DATE: 12/28/2012 5:01
SCALE: A1:5
FILE: WSD2012-009
REV. SEC. A.14

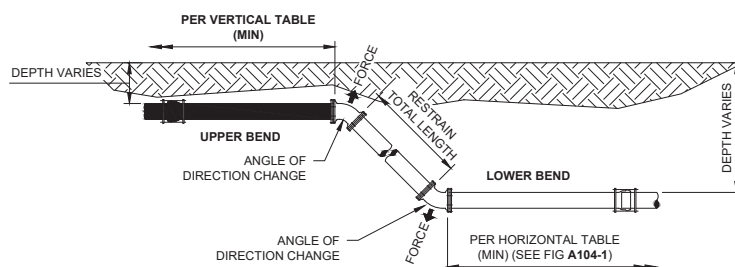
WATER DETAIL SHEET
INSTALLATION INSTRUCTIONS

OCU GENERAL NOTES

1. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF INCLUDING, BUT NOT LIMITED TO WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS, RECLAIMED WATER MAINS, ELECTRIC, GAS, CABLE TV, TELECOMMUNICATIONS, STORM WATER, FIBER OPTIC AND OTHER UNDERGROUND FACILITIES. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
2. SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION INSPECTION SECTION, FIELD SERVICES DIVISION AT LEAST 10 CALENDAR DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
4. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION INSPECTOR IN ACCORDANCE WITH TABLE 4110-1 UTILITIES SCHEDULE OF NOTIFICATIONS IN THIS MANUAL.
5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE STANDARDS, CONSTRUCTION SPECIFICATIONS, AND APPENDIX D IN THIS MANUAL.
6. ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO WATER MAINS, FORCE MAINS, RECLAIMED WATER MAIN, SANITARY GRAVITY PIPES, STORM WATER PIPES, ELECTRIC, TELEPHONE, GAS, POLES AND STAYS, CABLE TV AND OTHER UTILITY FACILITIES WITHIN THE LIMITS OF THE PROJECT WILL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, CURBS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO, PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS. ALL ADJUSTMENTS SHALL BE MADE TO CURRENT STANDARDS.
8. ONLY OCU PERSONNEL SHALL OPERATE EXISTING OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR IS RESPONSIBLE FOR OPERATING ANY NEWLY INSTALLED VALVE THAT HAS NOT BEEN CLEARED FOR USAGE BY FDEP AND OCU. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
9. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE AND WRITTEN NOTICE SHALL BE GIVEN TO AFFECTED CUSTOMERS AT LEAST 4 WORKING DAYS IN ADVANCE.
10. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND / OR HAULING OF WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS OR HAUL PLAN, REVIEWED AND APPROVED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING AND TO THE INSPECTOR FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
11. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
12. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH AN APPROVED BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCE MAIN SHALL ALSO BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTER.
13. FOR PVC PIPE, NO JOINT DEFLECTION OR PIPE BENDING IS ALLOWED. ALIGNMENT CHANGE SHALL BE MADE ONLY WITH FITTINGS.
14. FOR DIP PIPE, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.
15. FOR APPROVED PVC OR HDPE PIPE USED IN A HORIZONTAL DIRECTIONAL DRILL INSTALLATION, THE CURVATURE AND/OR DEFLECTION SHALL NOT EXCEED THE PARAMETERS ESTABLISHED IN THIS MANUAL.
16. ALL DAMAGE TO ORANGE COUNTY INFRASTRUCTURE, PIPELINES, AND ASSETS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE WITH AN APPROVED METHOD BY THE COUNTY. IF THE REPAIR IS NOT PERFORMED IN A TIMELY MANNER, AS DETERMINED BY THE ORANGE COUNTY UTILITY INSPECTOR, ORANGE COUNTY MAY PERFORM REPAIRS AND THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
17. THE CONTRACTOR SHALL BE LIABLE FOR ANY AND ALL SANITARY SEWER OVERFLOWS (SSO) ASSOCIATED WITH THE WORK, REGARDLESS OF FAULT. THE CONTRACTOR WILL BE ASSESSED PENALTIES FOR ANY AND EACH SSO AS SPECIFIED IN SECTION 3110, GENERAL CONSTRUCTION REQUIREMENTS.

ORANGE COUNTY UTILITIES STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL
 FIGURE GN
 10/10/2021

RESTRAINED VERTICAL PIPE - WATER, WASTEWATER FORCE, & RECLAIMED WATER MAINS (150 PSI)

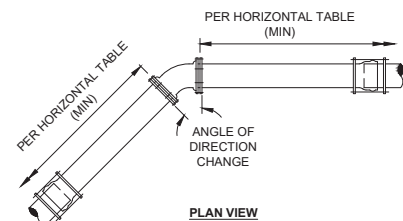


MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)		PVC AND DUCTILE IRON PIPE SIZE (IN)													
		4	6	8	12	16	20	24	30	36	42	48	54	60	64
VERTICAL (UPPER)	90° BEND	43	59	78	109	139	167	277	330	415	424	465	506	529	551
	45° BEND	18	25	32	45	58	69	115	137	172	176	193	210	219	229
	22-1/2" BEND	9	12	16	22	28	34	56	66	83	85	93	101	106	110
	11-1/4" BEND	5	6	8	11	14	17	28	33	41	42	46	50	53	55
	5 5/8" BEND OR MJ SLEEVE	3	3	4	6	7	9	14	17	21	21	23	25	26	28

- NOTES:**
1. FITTINGS SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN LENGTH SHOWN IN THE TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE IN SERIES, SELECT FITTING RESTRAINT LENGTH THAT YIELDS THE LONGEST RESTRAINT DISTANCE.
 4. ALL INLINE VALVES SHALL BE RESTRAINED.
 5. WHERE INTERNAL RESTRAINED JOINTS ARE USED, THE ENTIRE BELL SHALL BE PAINTED RED.
 6. LENGTHS SHOWN IN THE TABLE WERE CALCULATED IN ACCORDANCE WITH PROCEDURES OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" GUIDELINES PUBLISHED BY DIPRA, USING THE ASSUMPTIONS SHOWN BELOW:
 WORKING PRESSURE: 150 PSI
 SOIL DESIGNATION: SM (SAND SILT)
 LAYING CONDITIONS: 3
 DEPTH OF COVER: 3-FT
 SAFETY FACTOR: 1.5
 THE DESIGN ENGINEER SHALL INCREASE THE VALUES IN THE TABLE AS WARRANTED BY SITE-SPECIFIC PARAMETERS, SUCH AS SOIL DESIGNATIONS AND LAYING CONDITIONS.
 7. 90° BENDS ON VERTICAL PIPE ARE SUBJECT TO REVIEW AND APPROVAL OF UTILITIES.
 8. IF 4-IN THRU 20-IN PIPE IS POLYETHYLENE ENCASED, USE 1.25 MULTIPLIER ON RESTRAINT LENGTH.
 9. RESTRAINING REQUIREMENTS APPLY TO BOTH EXISTING AND PROPOSED MAINS.

ORANGE COUNTY UTILITIES STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL
 FIGURE A104-2
 10/10/2021

RESTRAINED HORIZONTAL PIPE - WATER, WASTEWATER FORCE, & RECLAIMED WATER MAINS (150 PSI)



MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)		PVC AND DUCTILE IRON PIPE SIZE (IN)													
		4	6	8	12	16	20	24	30	36	42	48	54	60	64
HORIZONTAL	90° BEND	21	29	37	52	65	78	104	122	143	154	167	180	188	195
	45° BEND	9	12	16	22	27	33	43	51	60	64	70	75	78	81
	22-1/2" BEND	5	6	8	11	13	16	21	25	29	31	34	36	38	39
	11-1/4" BEND	2	3	4	6	7	8	11	12	15	16	17	18	19	20
	5 5/8" BEND OR MJ SLEEVE	1	2	2	3	4	4	6	6	8	8	9	9	10	10
	PLUG OR BRANCH OF TEE OR DEAD END	43	59	78	109	139	167	277	330	415	424	465	506	529	551
	VALVE OR LINE STOP	22	30	39	55	70	84	139	165	208	212	233	253	265	276
HDPE CONNECTION	19	26	34	49	62	75	125	151	174	203	223				

- NOTES:**
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 WORKING PRESSURE: 150 PSI
 SOIL DESIGNATION: SM (SAND SILT)
 LAYING CONDITIONS: 3
 DEPTH OF COVER: 3-FT
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ORANGE COUNTY UTILITIES STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL
 FIGURE A104-1
 10/10/2021



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 CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
 www.avconinc.com

ALDO E. MEJIAS
 P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

UTILITY DETAILS 4

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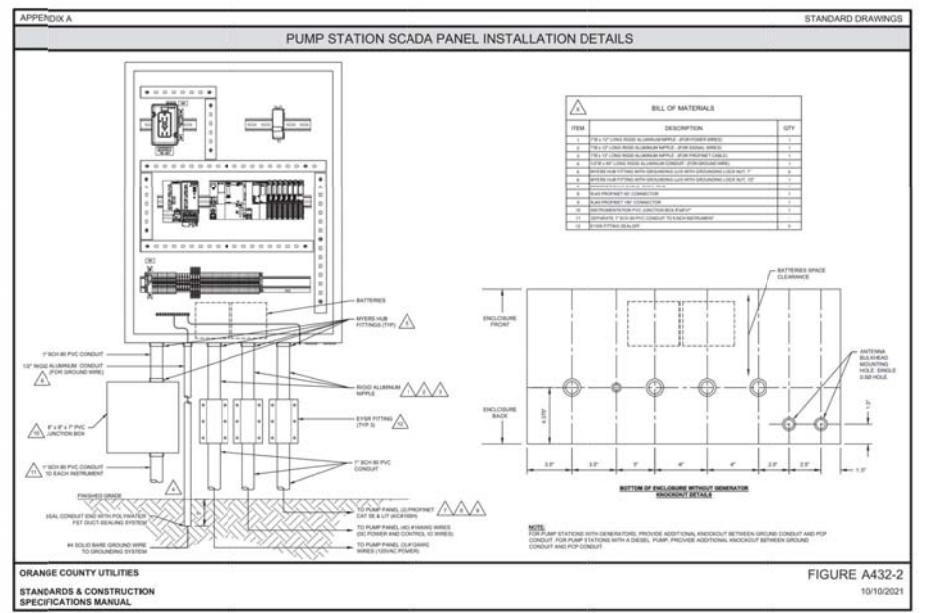
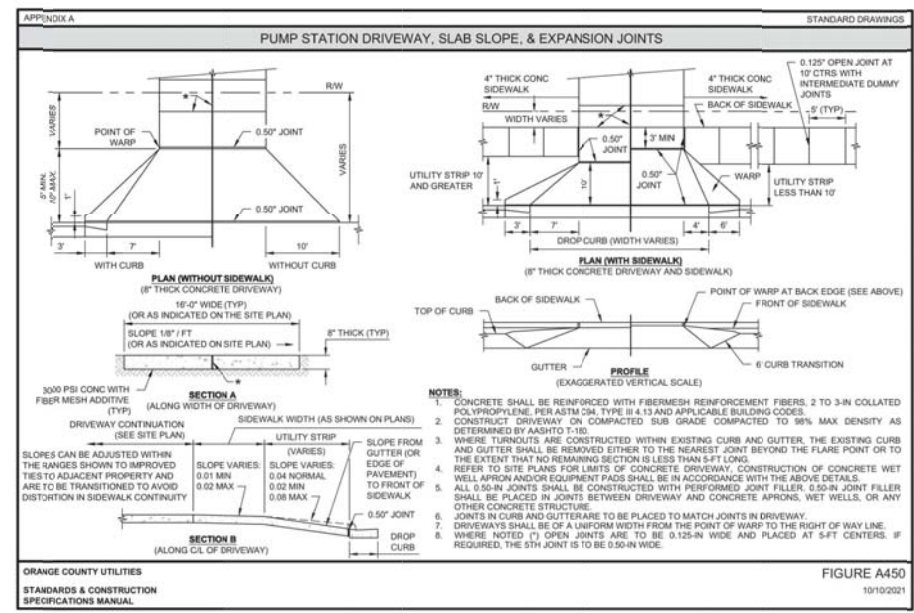
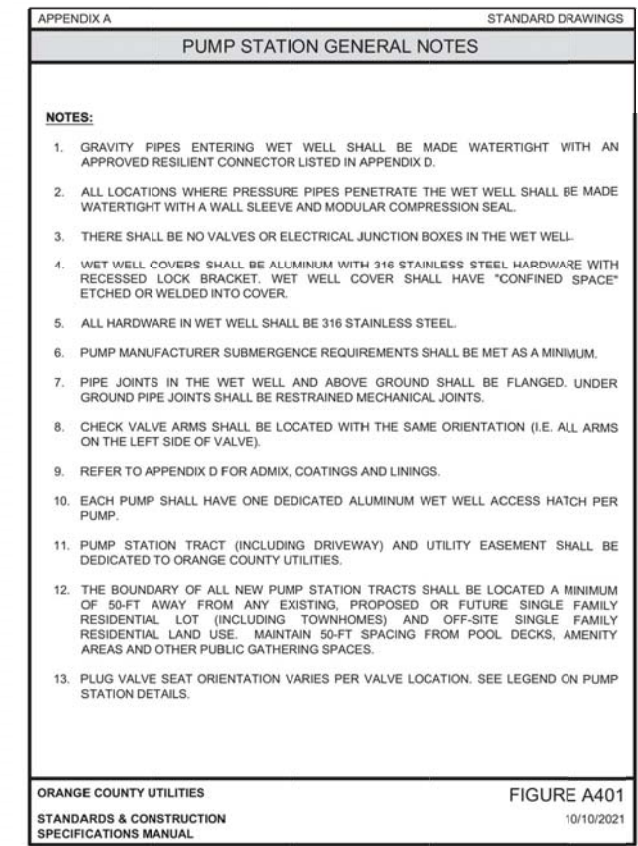
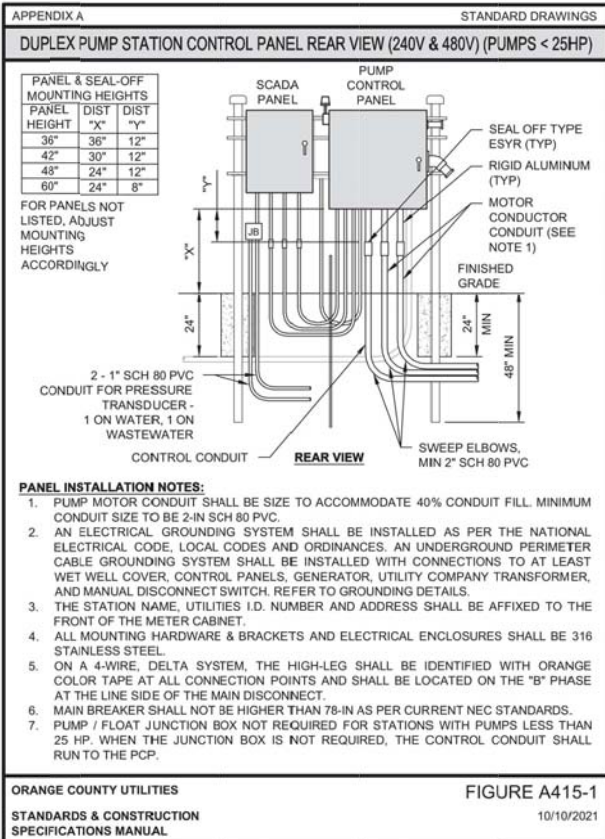
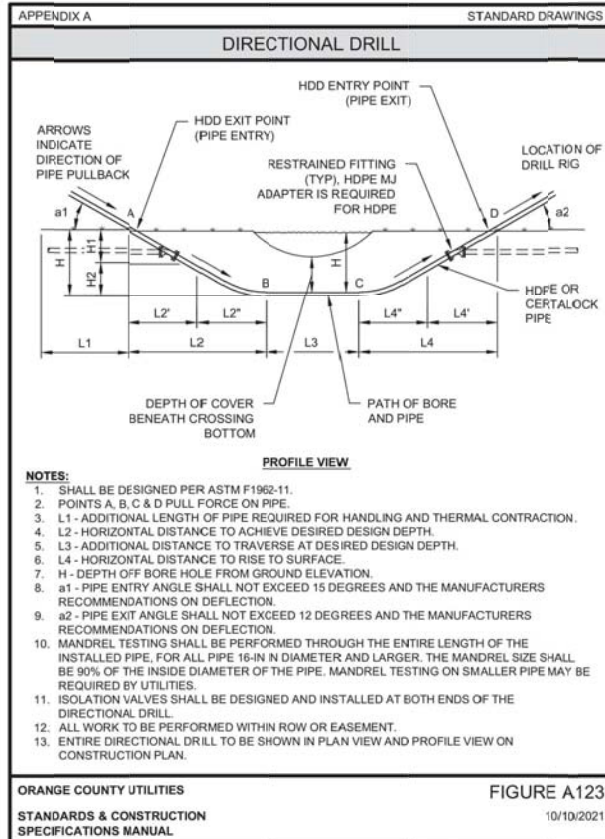
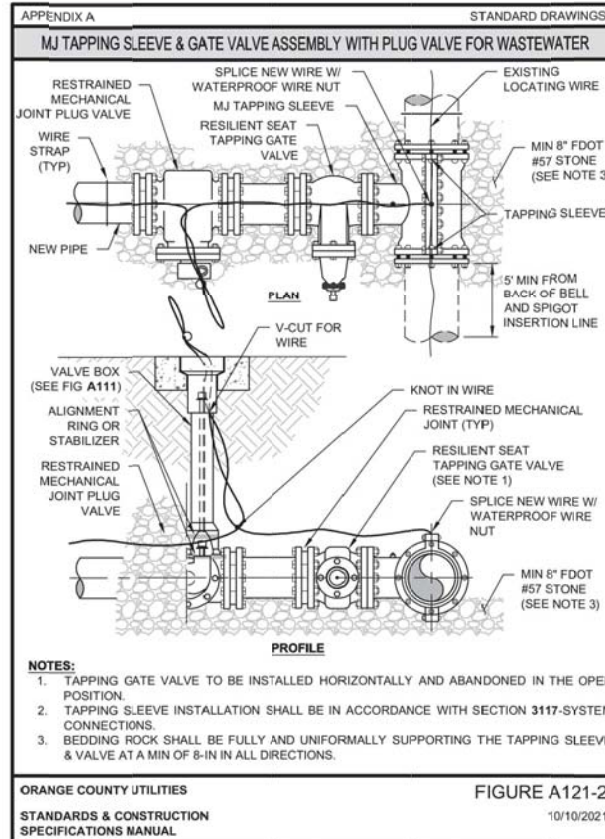
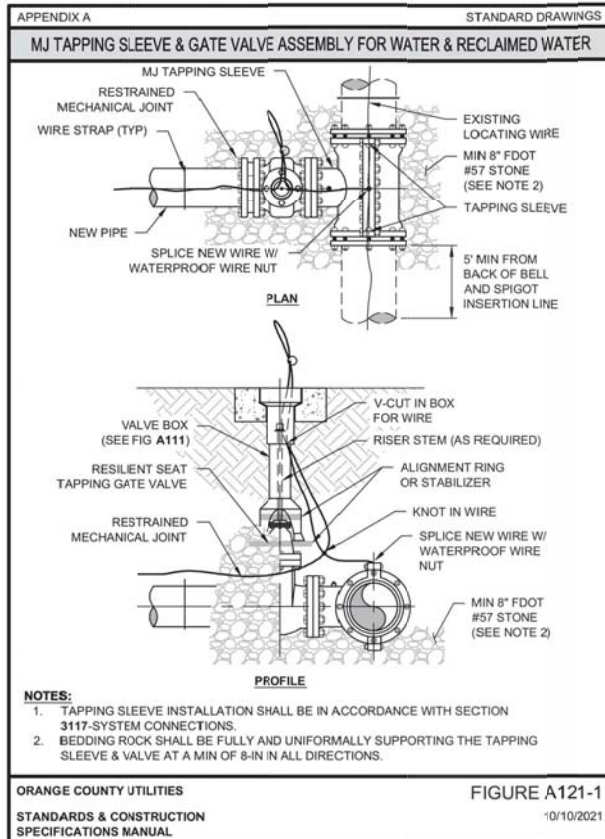
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 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-407 Page 78



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CONSTRUCTION PLANS

UTILITY DETAILS 5

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CONSTRUCTION PLANS

UTILITY DETAILS 6

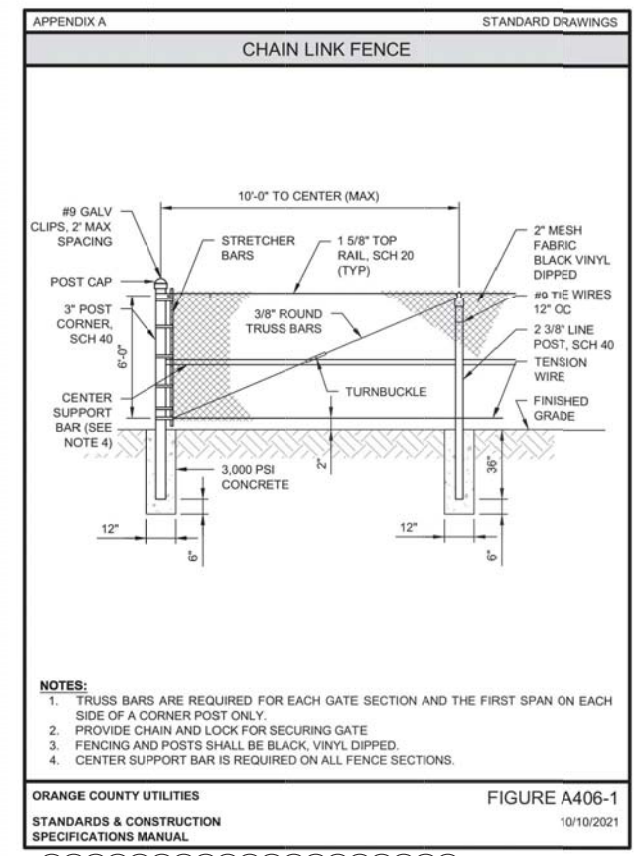
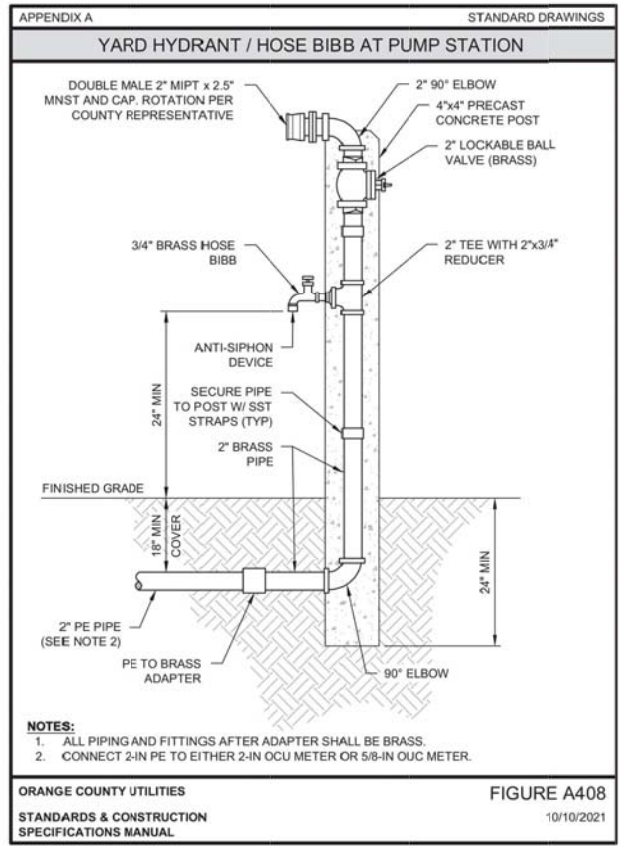
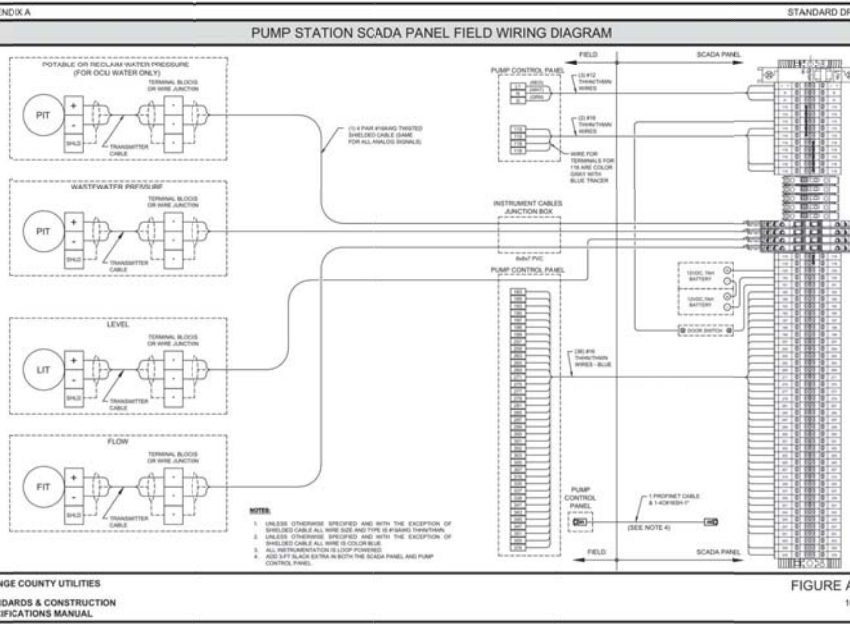
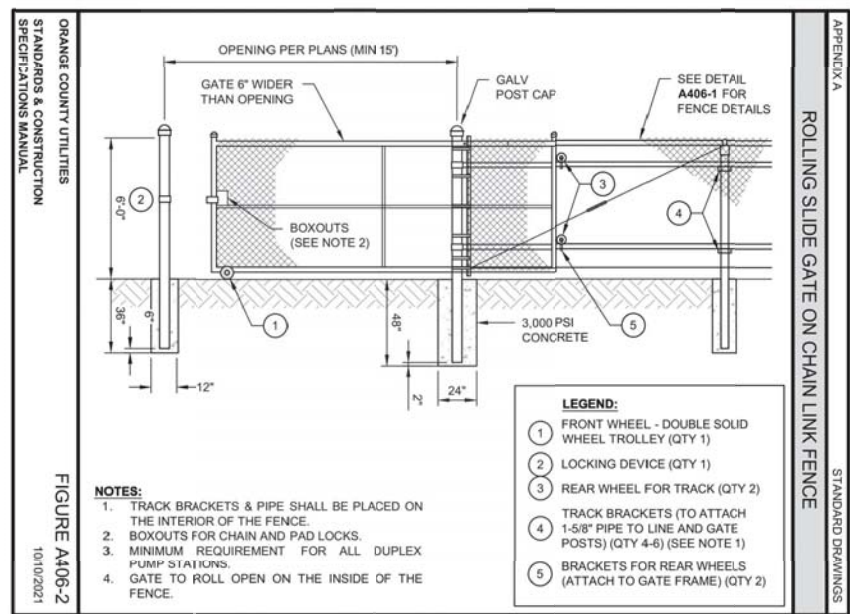
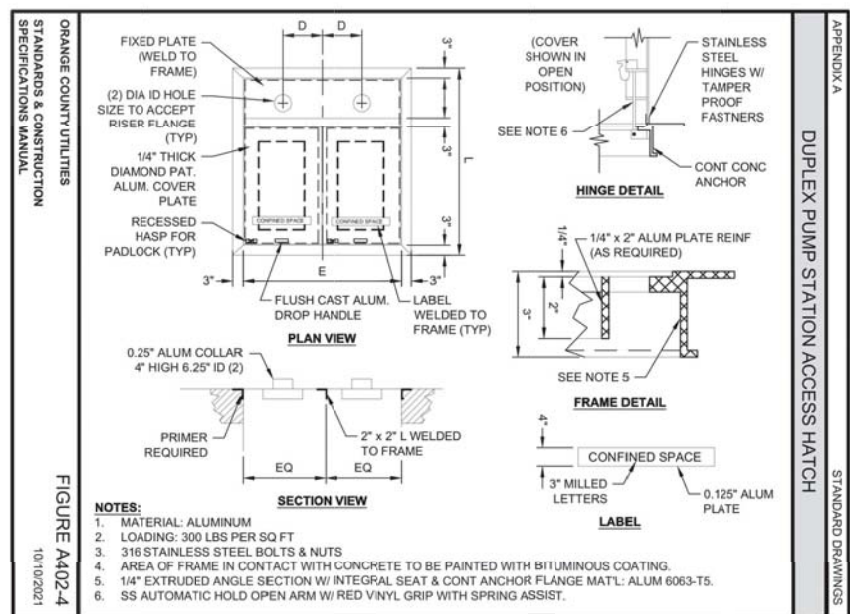
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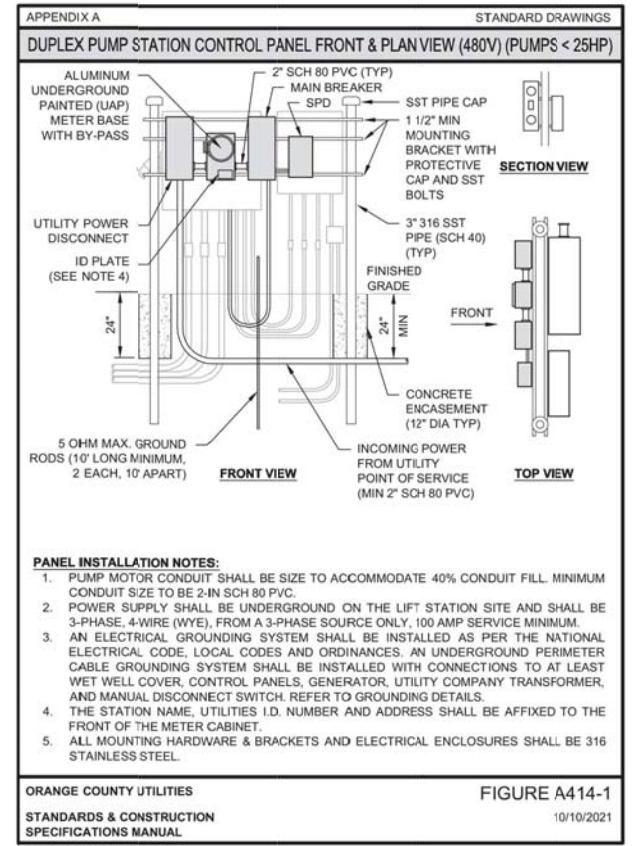
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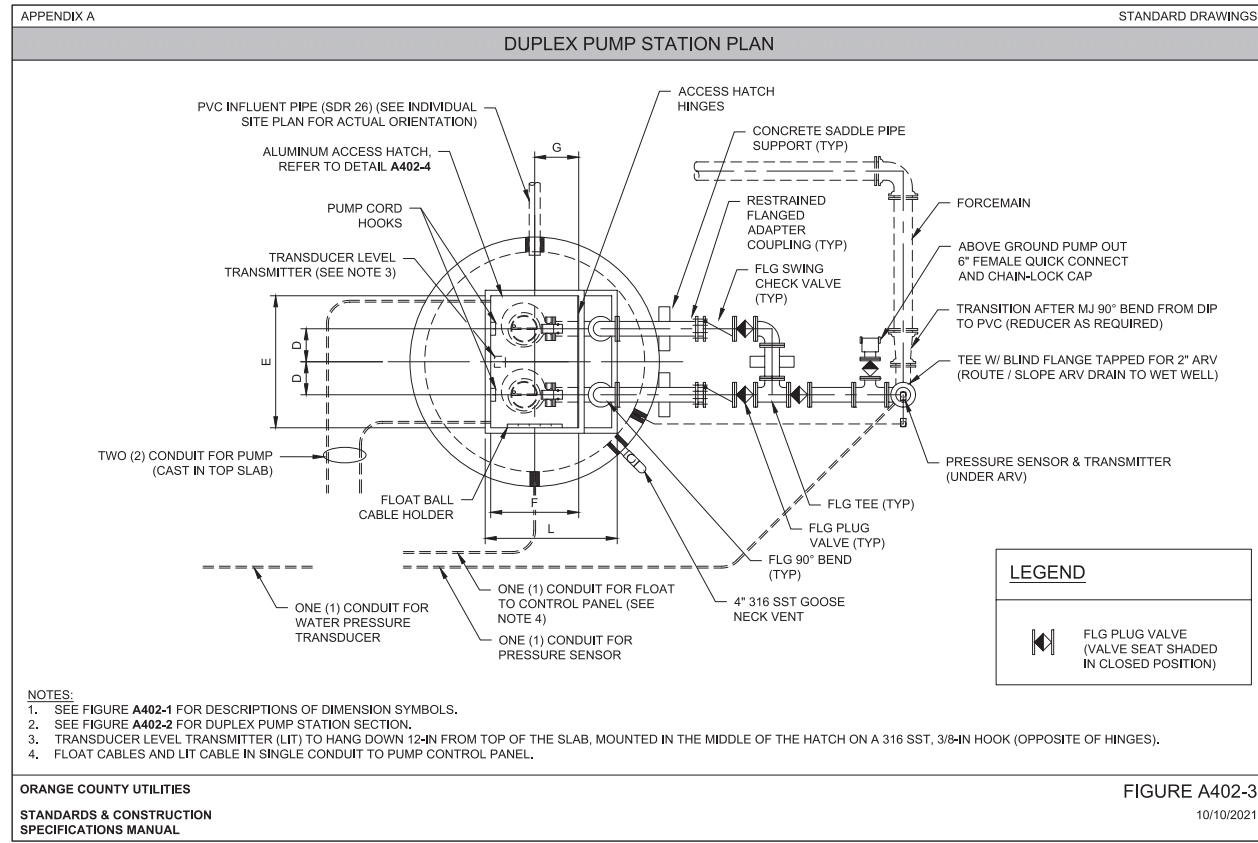
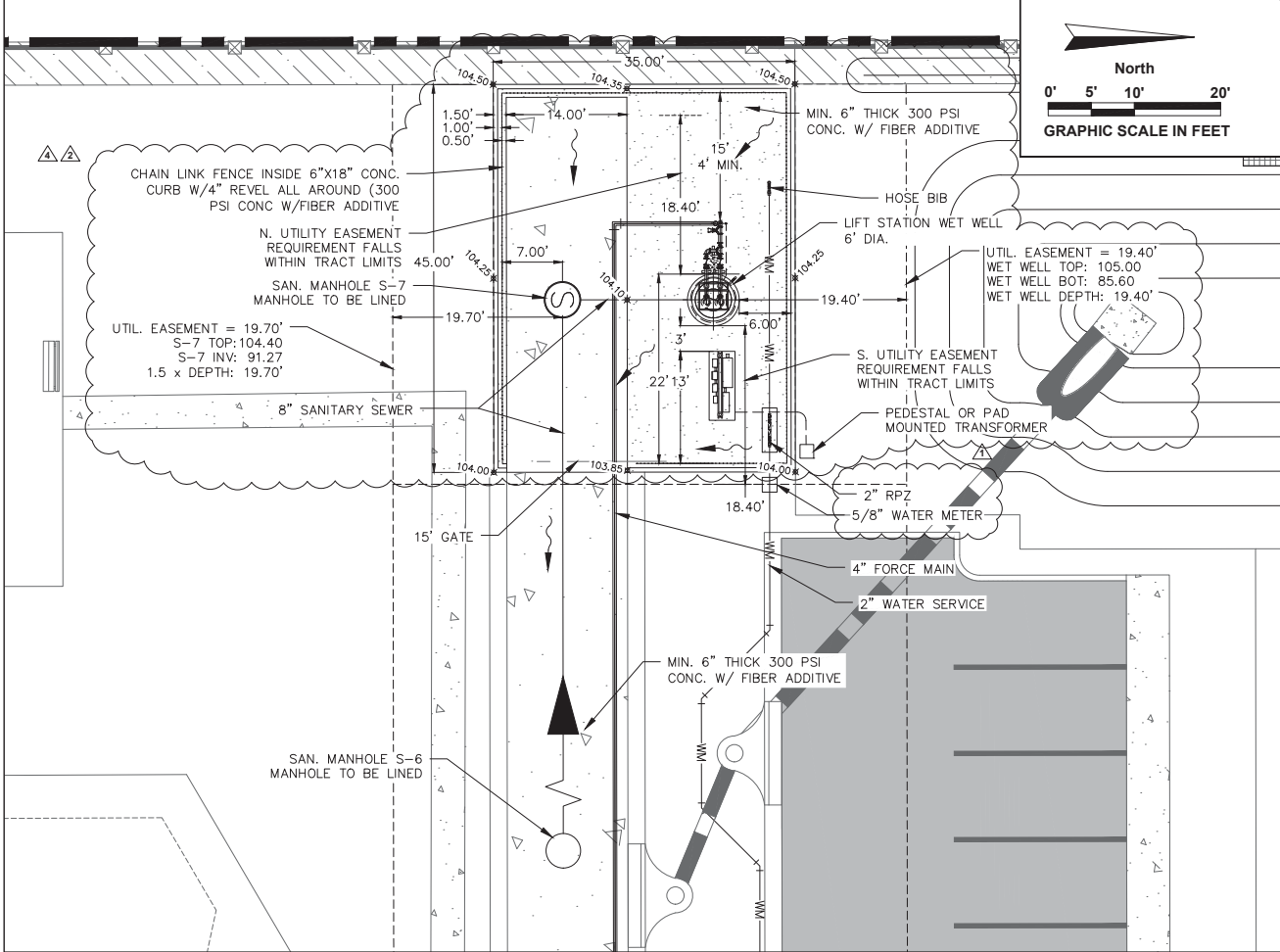
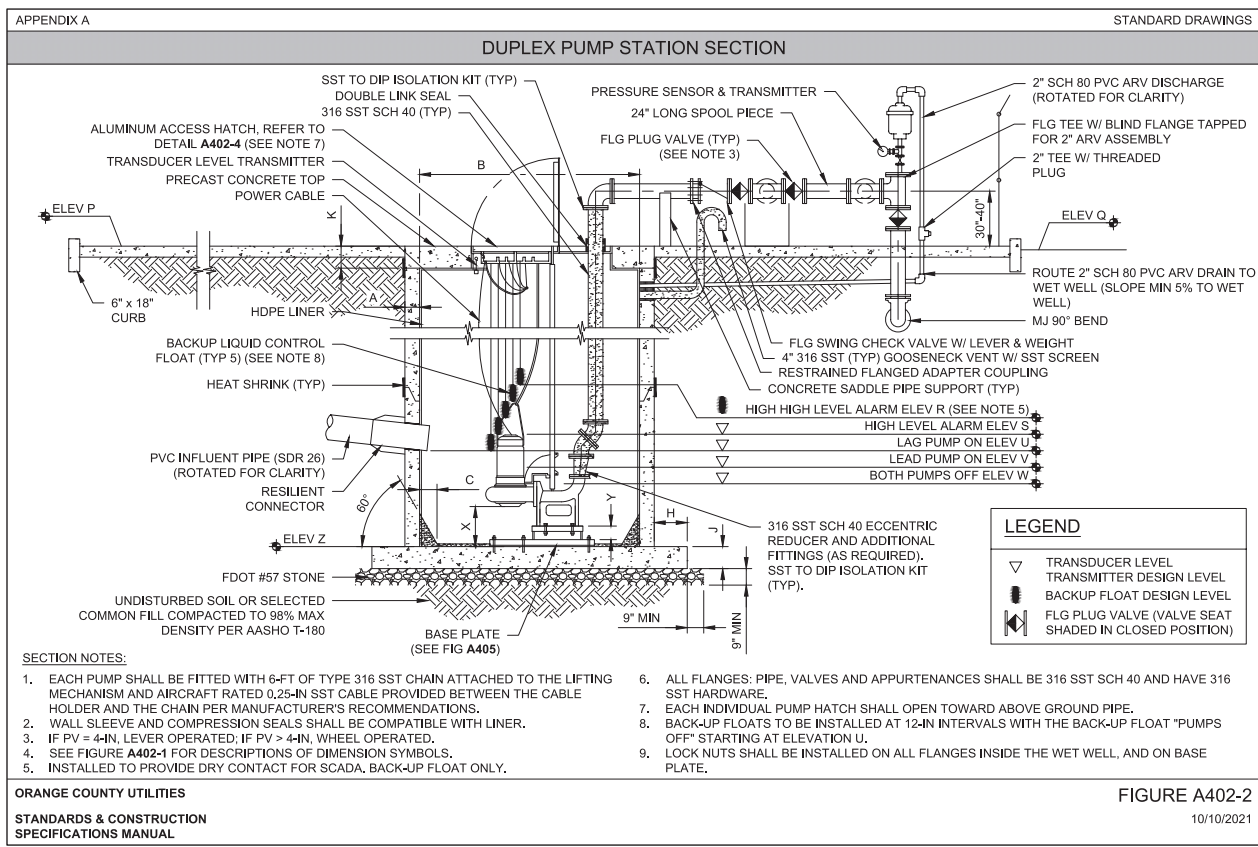
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AVCON PROJECT No. 2019.0099.15



NOTE:
EXPOSED TOP WIRES OF CHAIN LINK FENCE ARE TO BE TURNED IN





Appendix A Standard Drawings: Duplex Pump Station Design Specifications. Pump Station ID: _____

MANUFACTURER: FLYGT		DESIGN A SPECIFICATIONS		MANUFACTURER: ABS		DESIGN B SPECIFICATIONS	
PUMP MODEL:	NP3153 SH 3	VOLTAGE:	460	PUMP MODEL:		VOLTAGE:	
IMPELLER MODEL:	492	PHASE:	3	IMPELLER MODEL:		PHASE:	
IMPELLER DIAMETER (MM):	276	MOTOR H.P.:	20	IMPELLER DIAMETER (MM):		MOTOR H.P.:	
NOMINAL SPEED (RPM):	1755	MAX. SOLID SIZE (IN):	4	NOMINAL SPEED (RPM):		MAX. SOLID SIZE (IN):	
DISCHARGE SIZE (IN):	4	CURVE NUMBER:	9906	DISCHARGE SIZE (IN):		CURVE NUMBER:	
PEAK DESIGN INFLOW: 36 GPM SHUT OFF HEAD: 30 FEET TDH HIGH HEAD CONDITION: 155 GPM AT 121 FEET TDH (DESIGN POINT) MINIMUM HEAD CONDITION: 153 GPM AT 120 FEET TDH				PEAK DESIGN INFLOW: _____ GPM SHUT OFF HEAD: _____ FEET TDH HIGH HEAD CONDITION: _____ GPM AT _____ FEET TDH (DESIGN POINT) MINIMUM HEAD CONDITION: _____ GPM AT _____ FEET TDH			
DESCRIPTION	SYMBOL	DIM	DESIGN ELEV *	AS-BUILT ELEV	AS-BUILT DEPTH **	DESIGN A & B SPECIFICATION NOTES	
THICKNESS OF WALL	A	8" (MIN)	8'	-	-	1. PER PUMP MANUFACTURER REQUIREMENTS.	
DIAMETER OF WET WELL	B	6" (MIN)	6'	-	-	2. DIMENSION X AND ELEVATION Y AND Z MUST MEET BOTH PUMP MFR'S REQUIREMENTS.	
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	-	-	-	3. EL V - EL Z ≥ 5 FEET.	
C/L OF WET WELL TO C/L OF PIPES	D	SEE NOTE 1	-	-	-	4. ELEVATION OF HIGH HIGH LEVEL ALARM SHALL BE A MIN OF 12-IN LOWER THAN THE LOWEST MANHOLE LID ELEVATION IN THE UPSTREAM GRAVITY SYSTEM.	
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	-	-	-	5. TOP ELEVATION OF WETWELL SHALL BE A MINIMUM OF 1-FT ABOVE THE 100-YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.	
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	-	-	-	6. PUMP OFF ELEVATION TO BE PER MANUFACTURER'S MINIMUM SUBMERGENCE.	
CENTER OF WET WELL TO EDGE OF HATCH	G	SEE NOTE 1	-	-	-	* PROVIDE WET WELL DIMENSIONS SUFFICIENT TO ACCOMMODATE BOTH FLYGT AND ABS PUMP MODELS. THE LARGER / DEEPER OF THE TWO SHALL PREVAIL.	
LIP WIDTH OF WET WELL BASE	H	18" (MIN)	18"	-	-	** PROVIDE AS-BUILT DEPTH IN INCHES FROM TOP OF HATCH.	
THICKNESS OF WET WELL BASE	J	12" (MIN)	18"	-	-	† POPULATE ELEV S, U, V, AND W WITH TRANSDUCER ELEV AND DEPTHS. THE TRANSDUCER SYSTEM SHALL CONTROL THE OPERATION OF THE PUMPS UNDER NORMAL OPERATING CONDITIONS. THERE SHALL ALSO BE A BACKUP FLOAT CONTROL SYSTEM. ELEV R (HIGH HIGH FLOAT) IS POSITIONED 36-IN ABOVE THE TRANSDUCER AT ELEV S. FOUR (4) ADDITIONAL FLOATS (NOT SHOWN ON THIS DRAWING) HIGH LEVEL, LAG, LEAD AND OFF, WILL BE POSITIONED BELOW THE HIGH HIGH FLOAT AT 12-IN INTERVALS AS SHOWN IN FIG A402-2.	
THICKNESS OF WET WELL TOP SLAB	K	12" (MIN)	12"	-	-		
TOP OF WET WELL	P	SEE NOTE 5	106.00				
FINISHED GRADE	Q	PER DESIGN	105.00				
HIGH HIGH LEVEL ALARM (FLOAT ONLY)	R	ELEV S + 36"	95.10				
HIGH LEVEL ALARM †	S	ELEV U + 12"	92.10				
LAG PUMP ON (INFLUENT PIPE INVERT) †	U	ELEV V + 12"	91.10				
LEAD PUMP ON †	V	PER DESIGN	90.10				
PUMPS OFF (SEE NOTE 6) †	W	PER DESIGN	88.85				
BOTTOM OF PUMP	X	SEE NOTE 2					
TOP OF STEP	Y	SEE NOTE 2					
FLOOR OF WET WELL	Z	SEE NOTE 2 & 3	85.60				



ALDO E. MEJIAS
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HAVEN OAKS

CONSTRUCTION PLANS

LIFT STATION & DETAILS PLAN

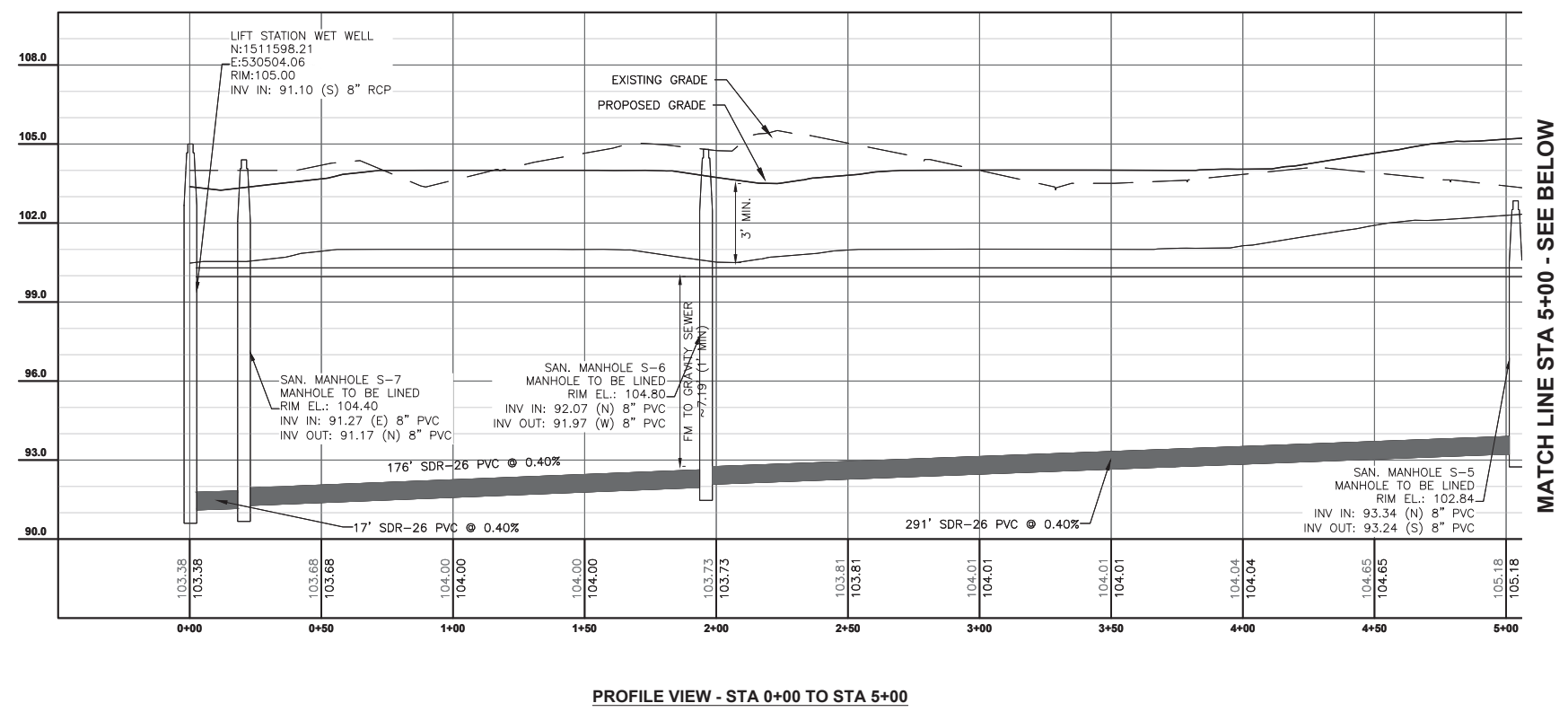
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2	04-22-2022	HS	OCPW RAI #1
3	07-19-2022	BRE	OCU RAI #2
4	07-19-2022	BRE	CITY OF EDGEWOOD REV2

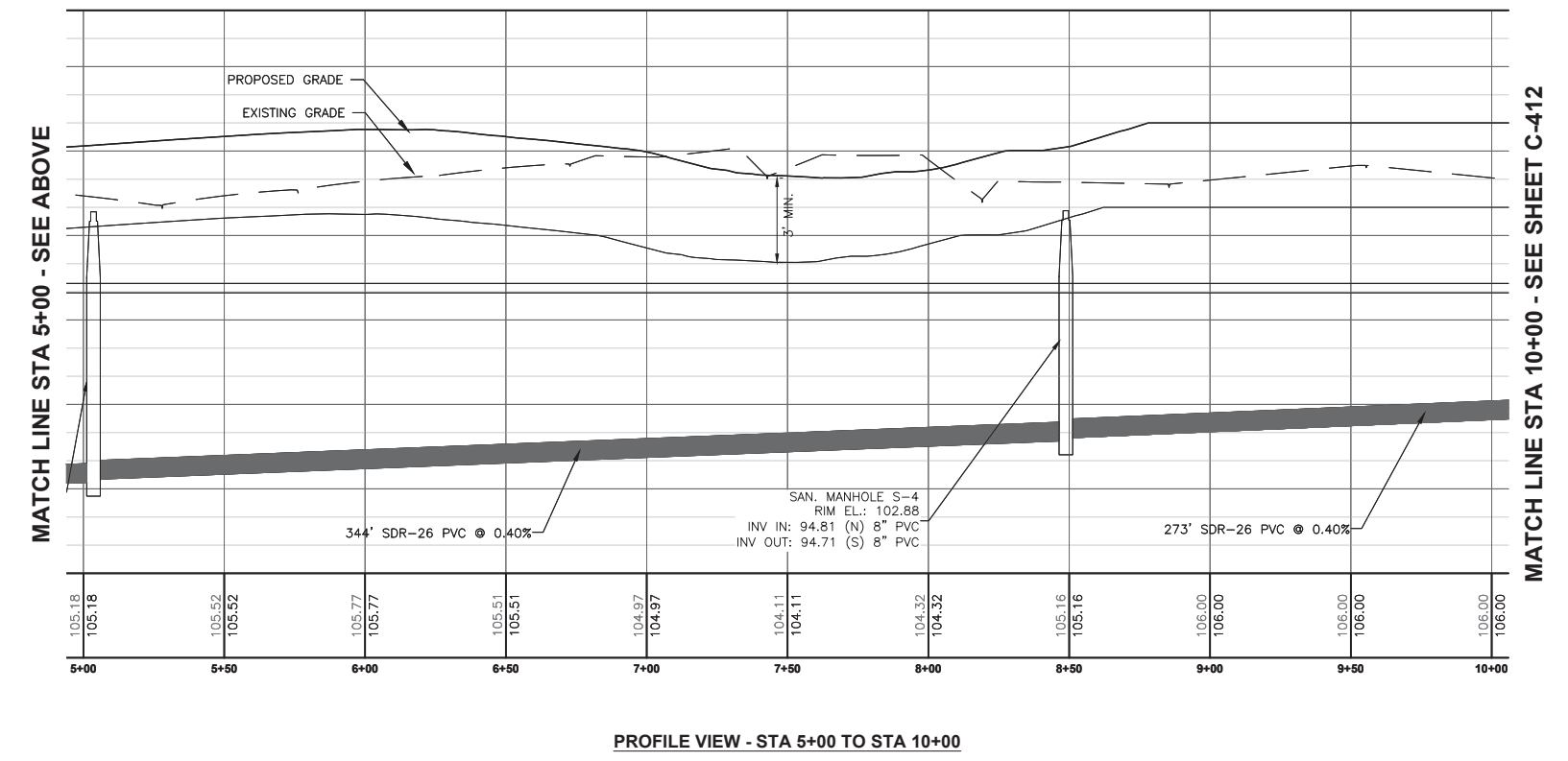
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MATCH LINE STA 5+00 - SEE BELOW

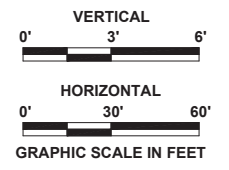
PROFILE VIEW - STA 0+00 TO STA 5+00



MATCH LINE STA 5+00 - SEE ABOVE

MATCH LINE STA 10+00 - SEE SHEET C-412

PROFILE VIEW - STA 5+00 TO STA 10+00



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HAVEN OAKS

CONSTRUCTION PLANS

FORCE MAIN PROFILES 1

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CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER
C-411 Page 82

L:\2019\20190815\1 - Haven Oaks - Substation - Substation - Force Main Profile - 1/1/2022



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

FORCE MAIN PROFILES 2

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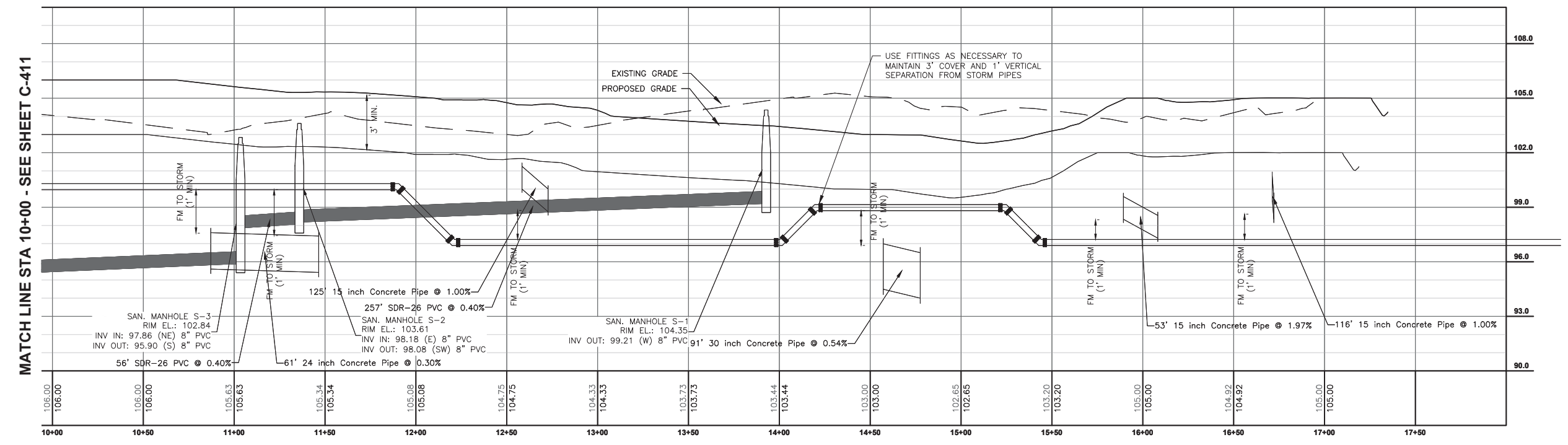
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REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	04-22-2022	BRE	OC PW RAI #1

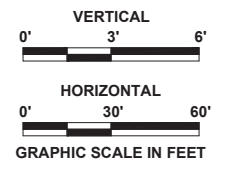
DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER
C-412 Page 83



PROFILE VIEW - STA 10+00 TO STA 17+50



L:\2022\08\20220815 - Haven Oaks - Substation - Substation - Force Main Profile - C-412 - Force Main Profile.dwg 1/8/2022

Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No



AVCON, INC.
 ENGINEERS & PLANNERS
 5555 E. MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822-2779
 OFFICE: (407) 599-1122 - FAX: (407) 599-1133
 CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
 www.avconinc.com

ALDO E. MEJIAS
 P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

OFFSITE PLAN

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SCALE:

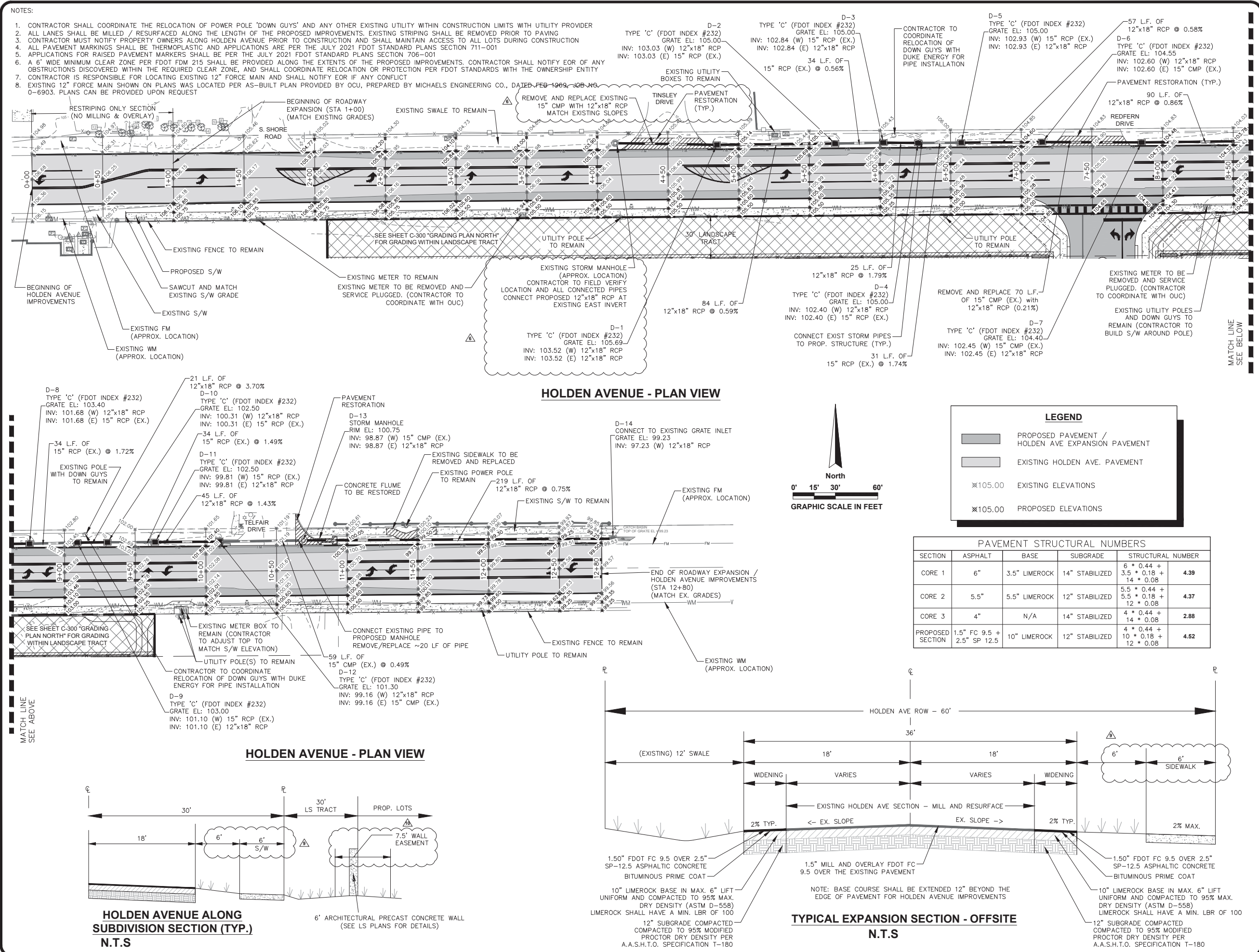
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NO.	DATE	BY	DESCRIPTION
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2	04-22-2022	BRE	OCPW RAI #1
3	08-01-2022	BRE	OCPW RAI #2
4	09-23-2022	BRE	OCPW FINAL COMMENTS
5	11-17-2022	BRE	WALL EASEMENT

DESIGNED BY: RVB
 DRAWN BY: BRE
 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 11-17-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

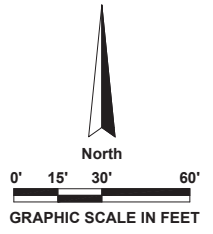
C-500



NOTES:

- CONTRACTOR SHALL COORDINATE THE RELOCATION OF POWER POLE 'DOWN GUYS' AND ANY OTHER EXISTING UTILITY WITHIN CONSTRUCTION LIMITS WITH UTILITY PROVIDER
- ALL LANES SHALL BE MILLED / RESURFACED ALONG THE LENGTH OF THE PROPOSED IMPROVEMENTS. EXISTING STRIPING SHALL BE REMOVED PRIOR TO PAVING
- CONTRACTOR MUST NOTIFY PROPERTY OWNERS ALONG HOLDEN AVENUE PRIOR TO CONSTRUCTION AND SHALL MAINTAIN ACCESS TO ALL LOTS DURING CONSTRUCTION
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND APPLICATIONS ARE PER THE JULY 2021 FDOT STANDARD PLANS SECTION 711-001
- APPLICATIONS FOR RAISED PAVEMENT MARKERS SHALL BE PER THE JULY 2021 FDOT STANDARD PLANS SECTION 706-001
- A 6' WIDE MINIMUM CLEAR ZONE PER FDOT FDM 215 SHALL BE PROVIDED ALONG THE EXTENTS OF THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY EOR OF ANY OBSTRUCTIONS DISCOVERED WITHIN THE REQUIRED CLEAR ZONE, AND SHALL COORDINATE RELOCATION OR PROTECTION PER FDOT STANDARDS WITH THE OWNERSHIP ENTITY
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING 12" FORCE MAIN AND SHALL NOTIFY EOR IF ANY CONFLICT
- EXISTING 12" FORCE MAIN SHOWN ON PLANS WAS LOCATED PER AS-BUILT PLAN PROVIDED BY OCU, PREPARED BY MICHAELS ENGINEERING CO., DATED FEB 1969, JOB NO. 0-6903. PLANS CAN BE PROVIDED UPON REQUEST

HOLDEN AVENUE - PLAN VIEW



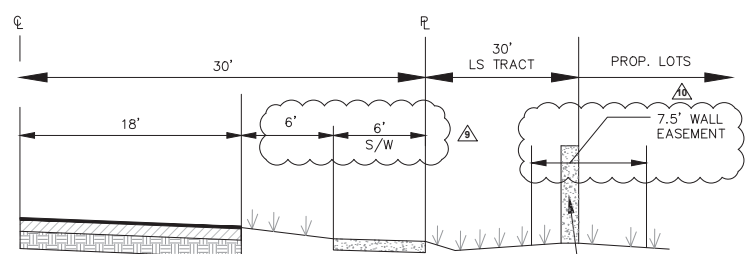
LEGEND

[Pattern]	PROPOSED PAVEMENT / HOLDEN AVE EXPANSION PAVEMENT
[Pattern]	EXISTING HOLDEN AVE. PAVEMENT
⊗105.00	EXISTING ELEVATIONS
⊗105.00	PROPOSED ELEVATIONS

PAVEMENT STRUCTURAL NUMBERS

SECTION	ASPHALT	BASE	SUBGRADE	STRUCTURAL NUMBER
CORE 1	6"	3.5" LIMEROCK	14" STABILIZED	6 * 0.44 + 3.5 * 0.18 + 14 * 0.08 = 4.39
CORE 2	5.5"	5.5" LIMEROCK	12" STABILIZED	5.5 * 0.44 + 5.5 * 0.18 + 12 * 0.08 = 4.37
CORE 3	4"	N/A	14" STABILIZED	4 * 0.44 + 14 * 0.08 = 2.88
PROPOSED SECTION	1.5" FC 9.5 + 2.5" SP 12.5	10" LIMEROCK	12" STABILIZED	4 * 0.44 + 10 * 0.18 + 12 * 0.08 = 4.62

HOLDEN AVENUE - PLAN VIEW



HOLDEN AVENUE ALONG SUBDIVISION SECTION (TYP.) N.T.S

TYPICAL EXPANSION SECTION - OFFSITE N.T.S

1.50" FDOT FC 9.5 OVER 2.5" SP-12.5 ASPHALTIC CONCRETE BITUMINOUS PRIME COAT
 10" LIMEROCK BASE IN MAX. 6" LIFT UNIFORM AND COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-558) LIMEROCK SHALL HAVE A MIN. LBR OF 100
 12" SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DRY DENSITY PER A.A.S.H.T.O. SPECIFICATION T-180

NOTE: BASE COURSE SHALL BE EXTENDED 12" BEYOND THE EDGE OF PAVEMENT FOR HOLDEN AVENUE IMPROVEMENTS

1.5" MILL AND OVERLAY FDOT FC 9.5 OVER THE EXISTING PAVEMENT

1.50" FDOT FC 9.5 OVER 2.5" SP-12.5 ASPHALTIC CONCRETE BITUMINOUS PRIME COAT
 10" LIMEROCK BASE IN MAX. 6" LIFT UNIFORM AND COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-558) LIMEROCK SHALL HAVE A MIN. LBR OF 100
 12" SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DRY DENSITY PER A.A.S.H.T.O. SPECIFICATION T-180



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

OFFSITE SECTIONS 1

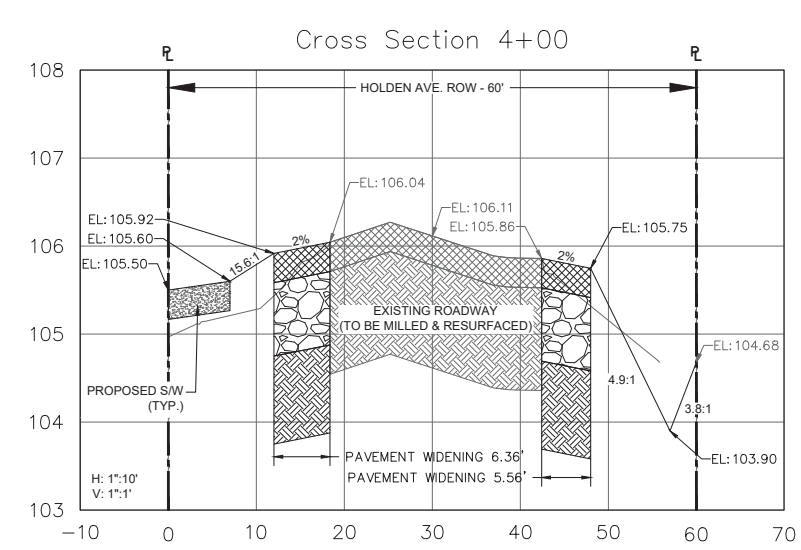
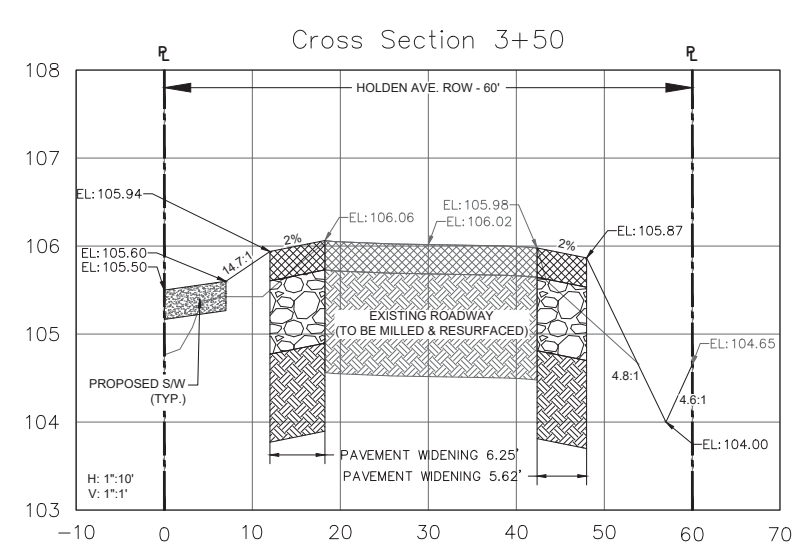
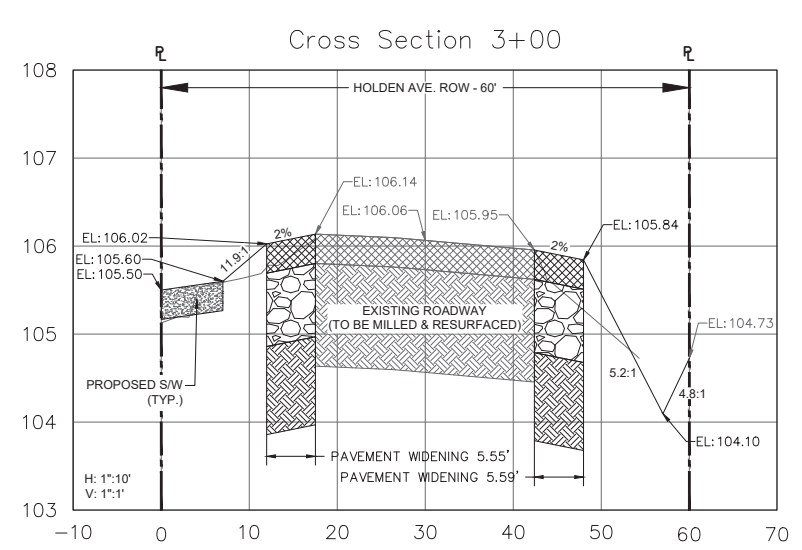
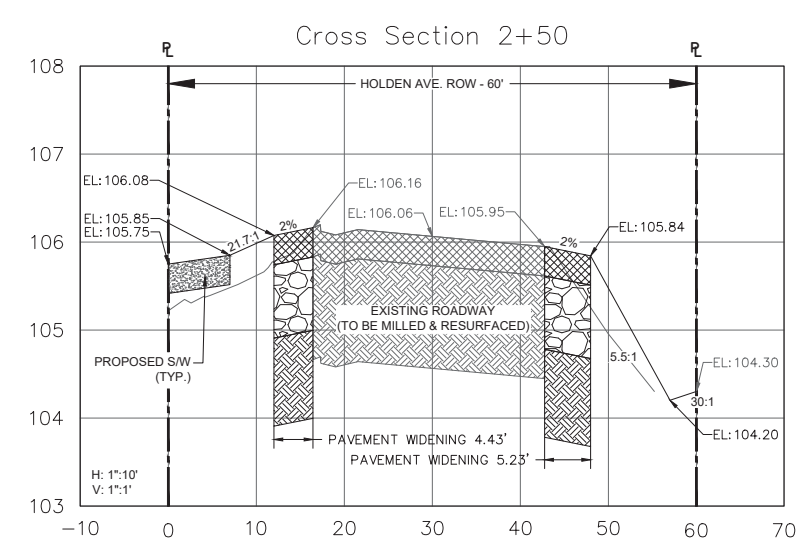
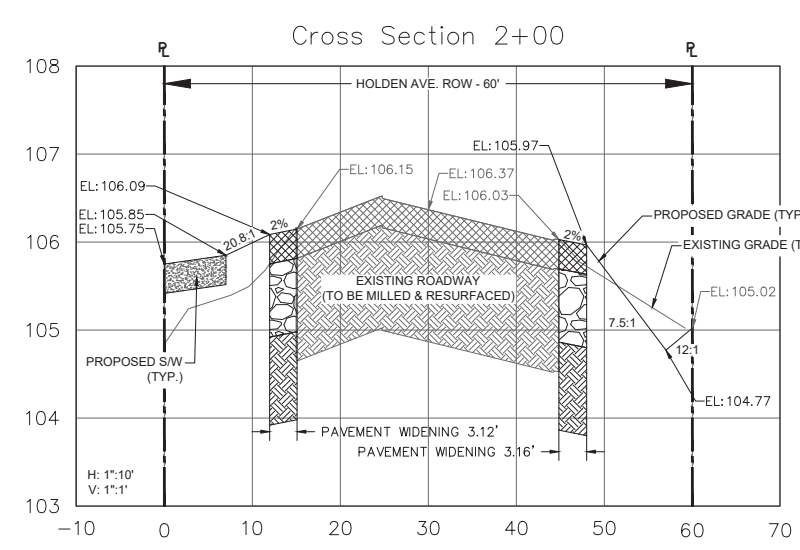
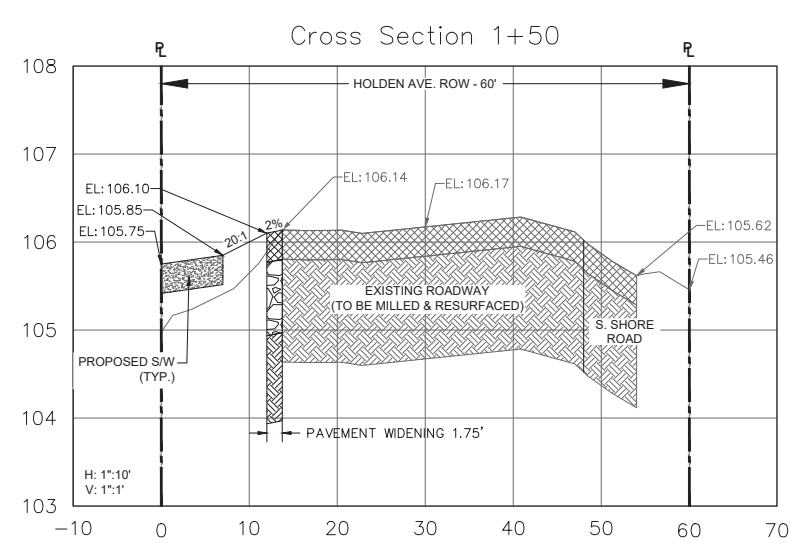
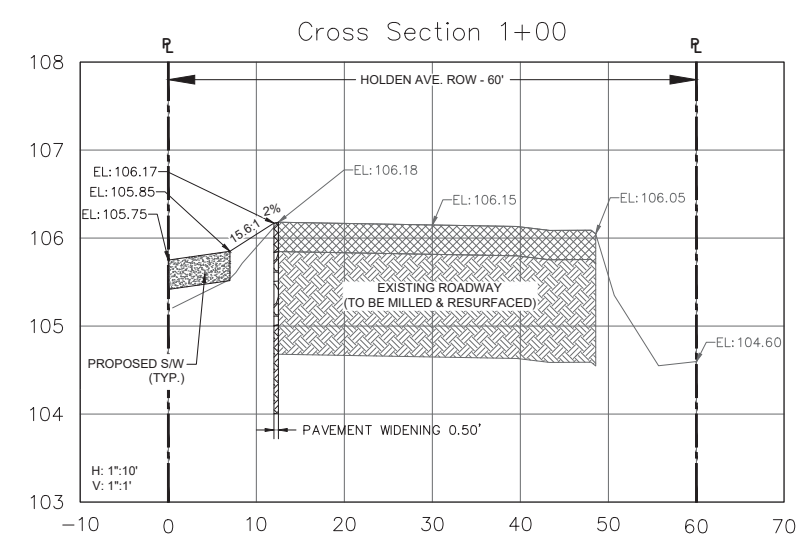
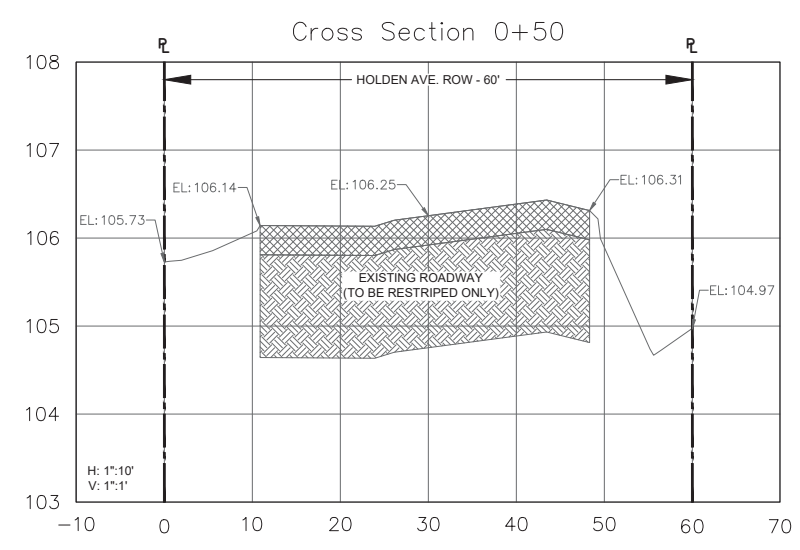
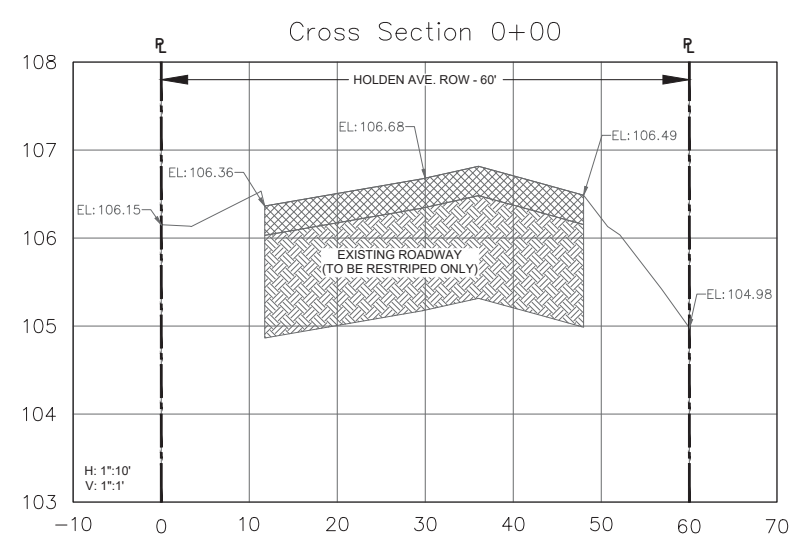
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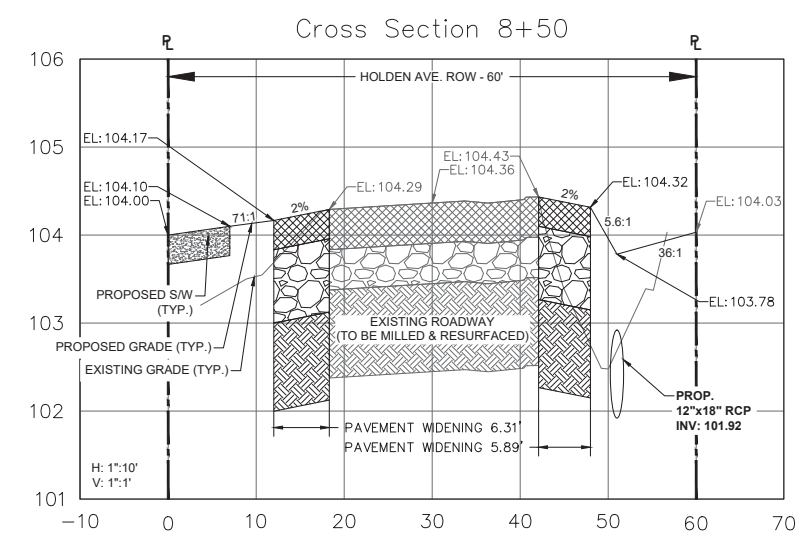
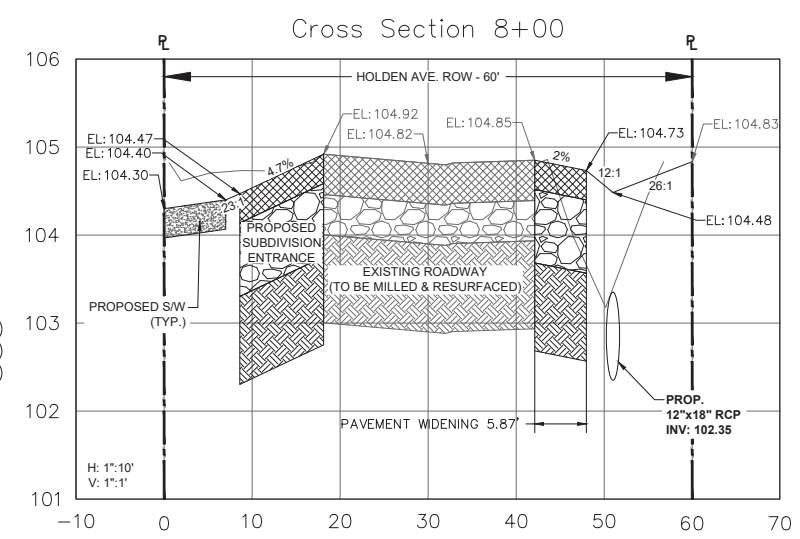
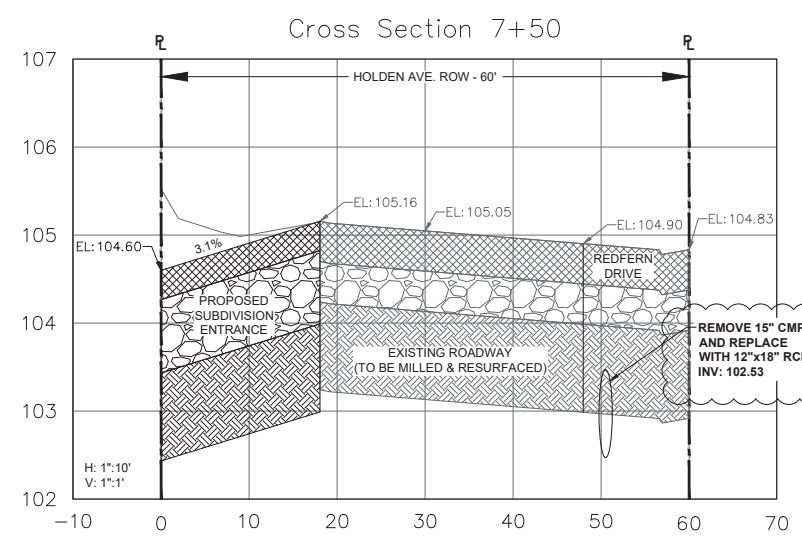
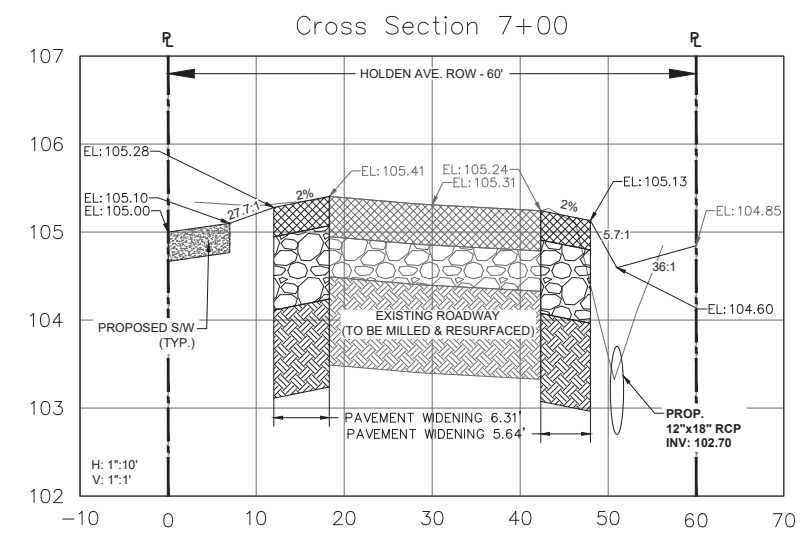
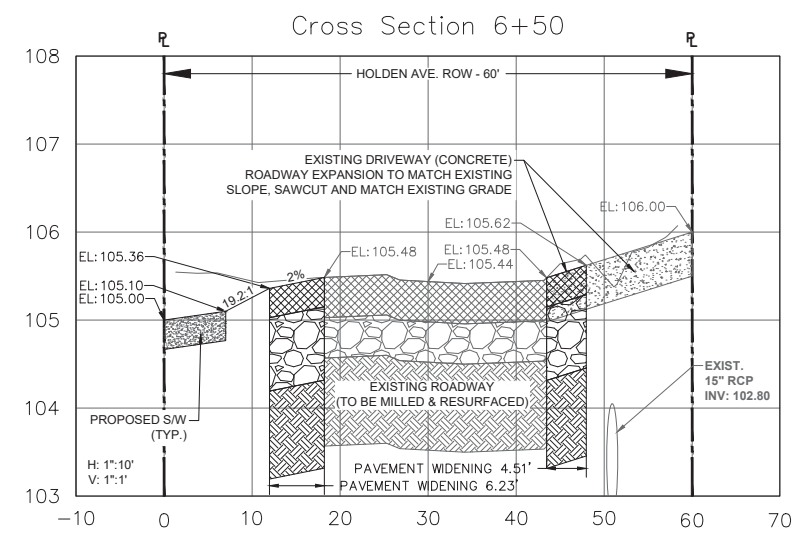
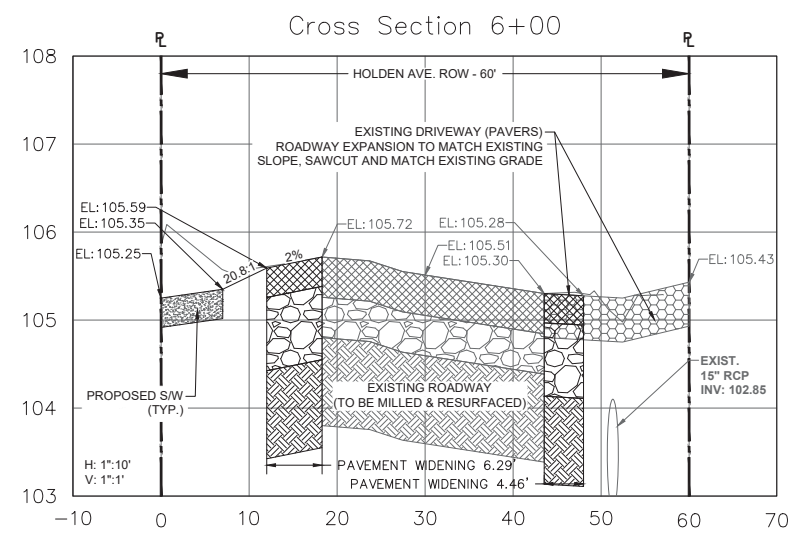
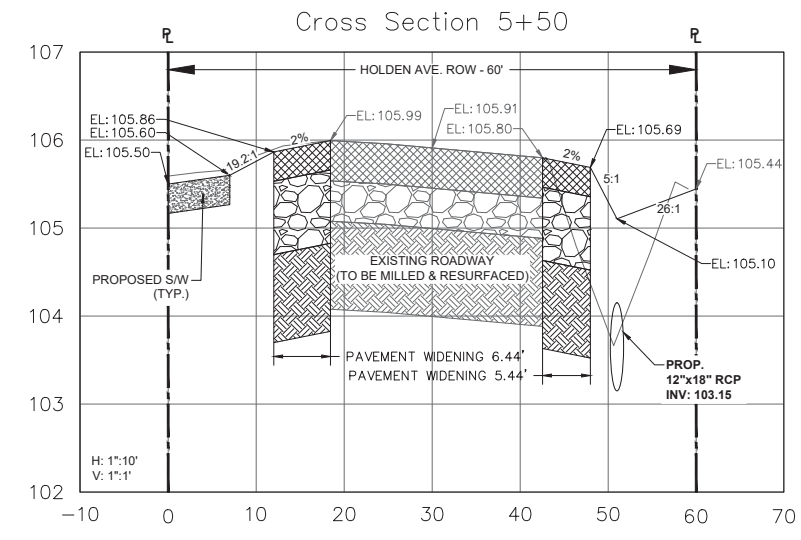
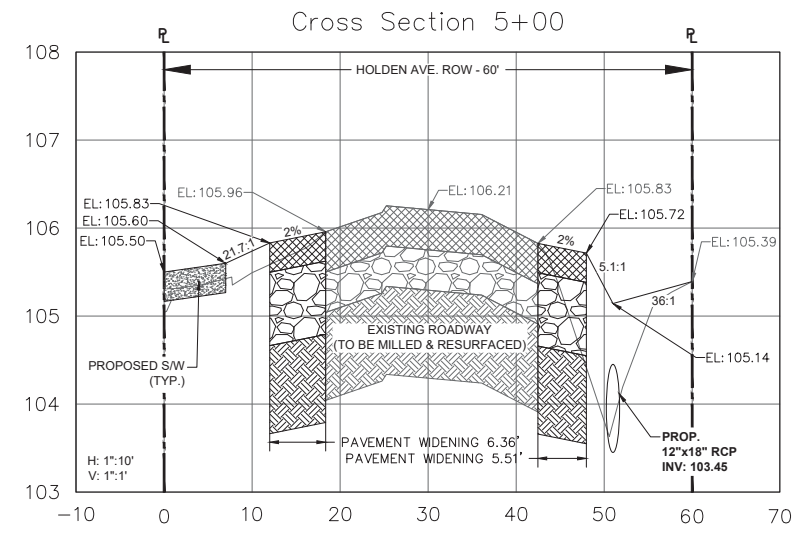
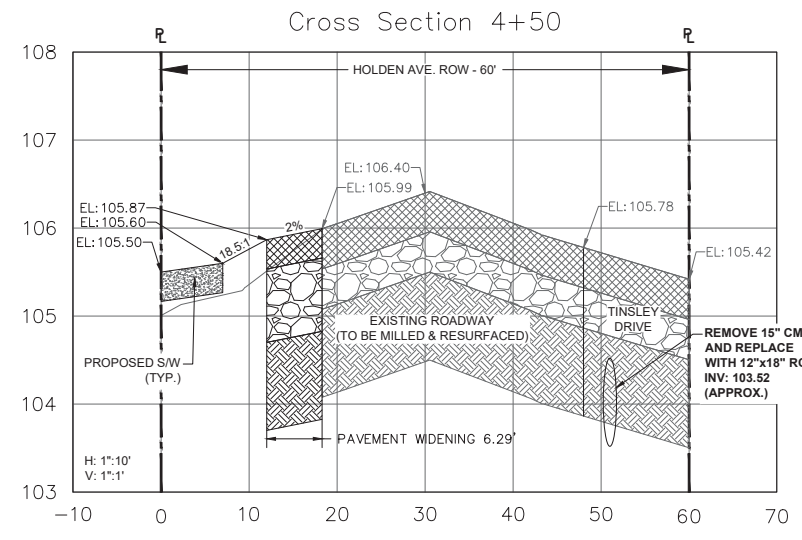
REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	04-22-2022	BRE	OC PW RAI #1

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



L:\2022\20220815\20220815.dwg - 10/20/2022 10:00:00 AM - 10/20/2022 10:00:00 AM - 10/20/2022 10:00:00 AM - 10/20/2022 10:00:00 AM



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

OFFSITE SECTIONS 2

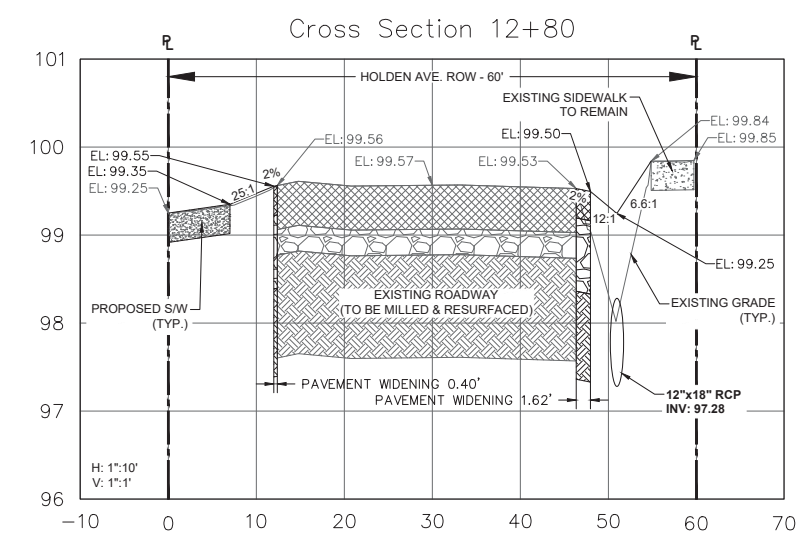
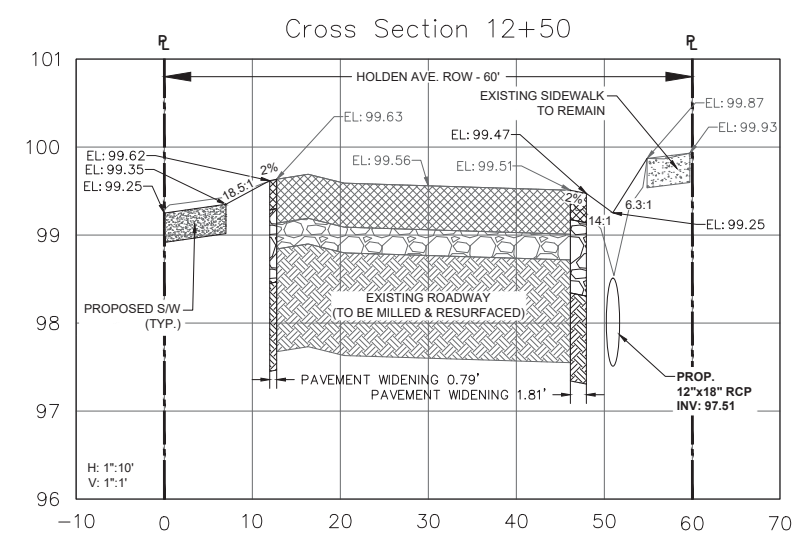
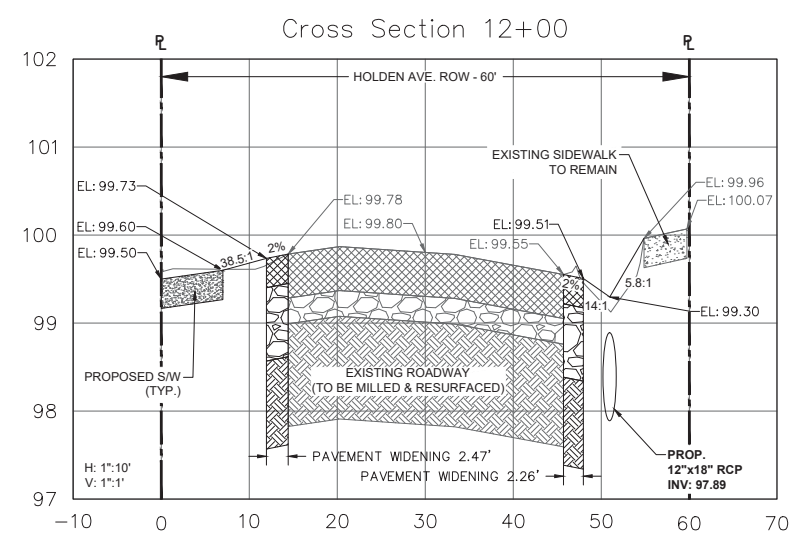
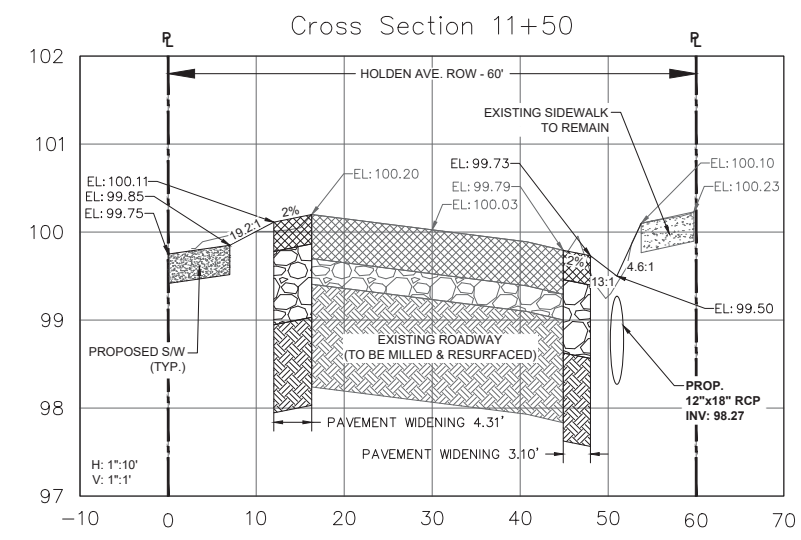
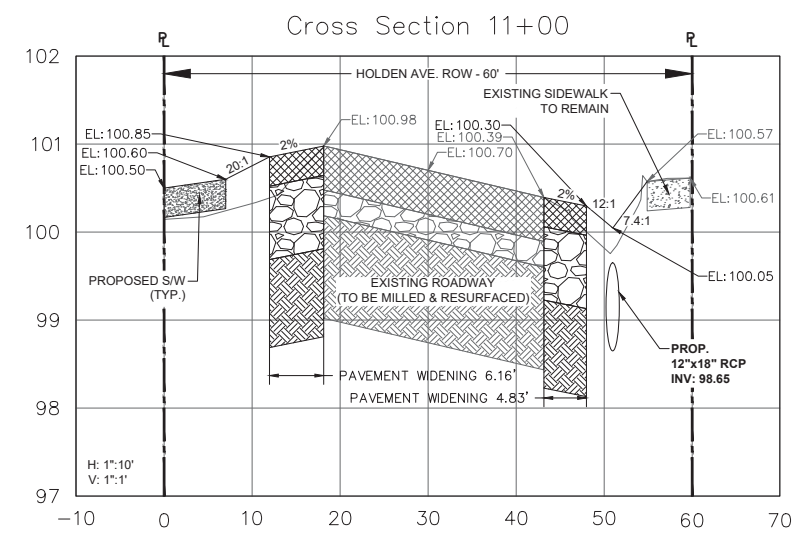
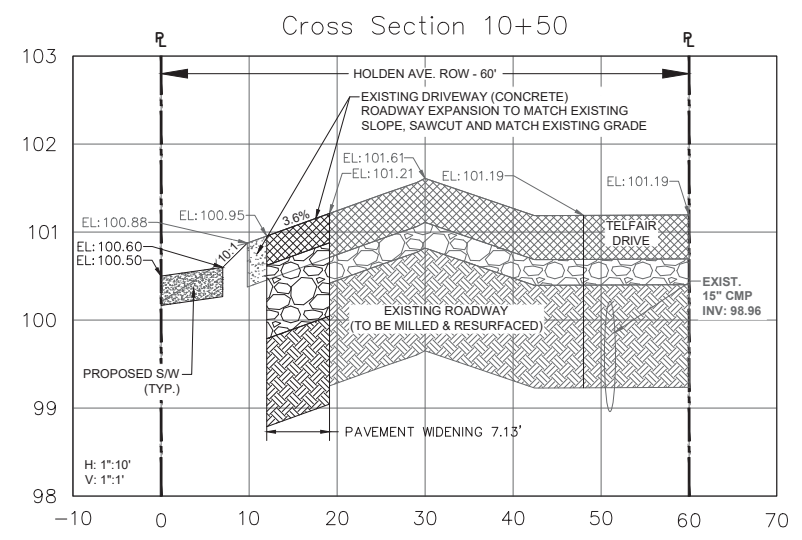
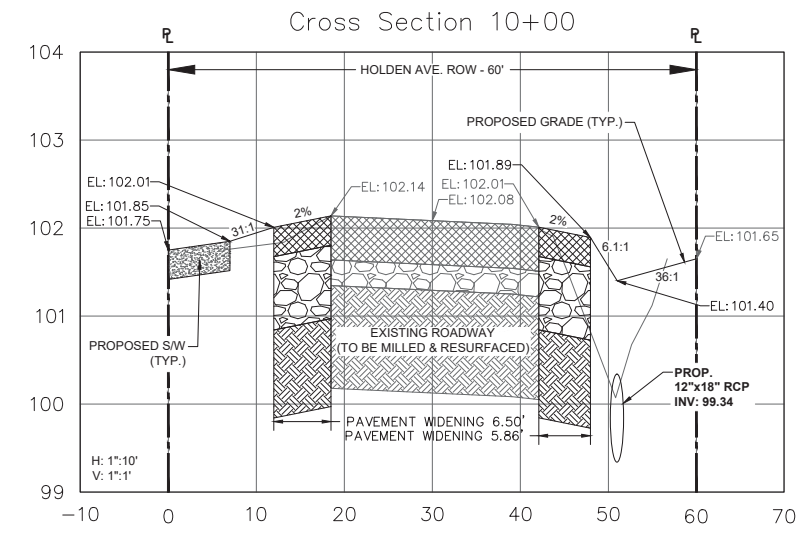
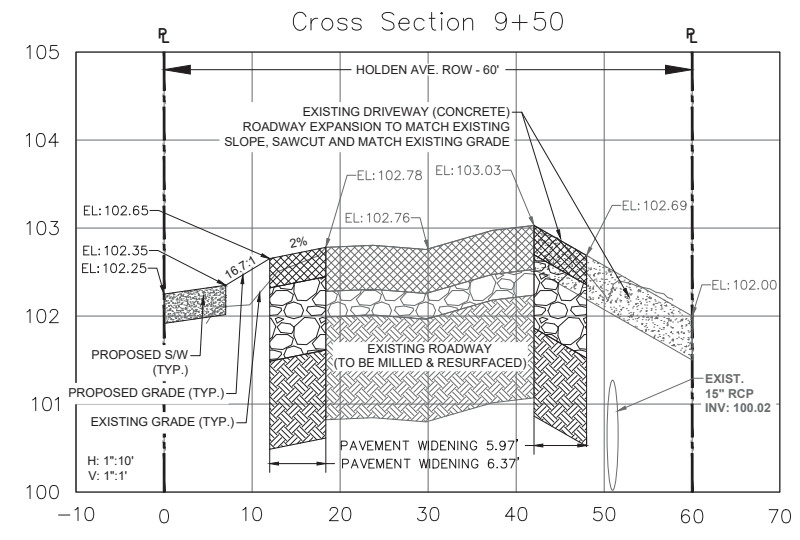
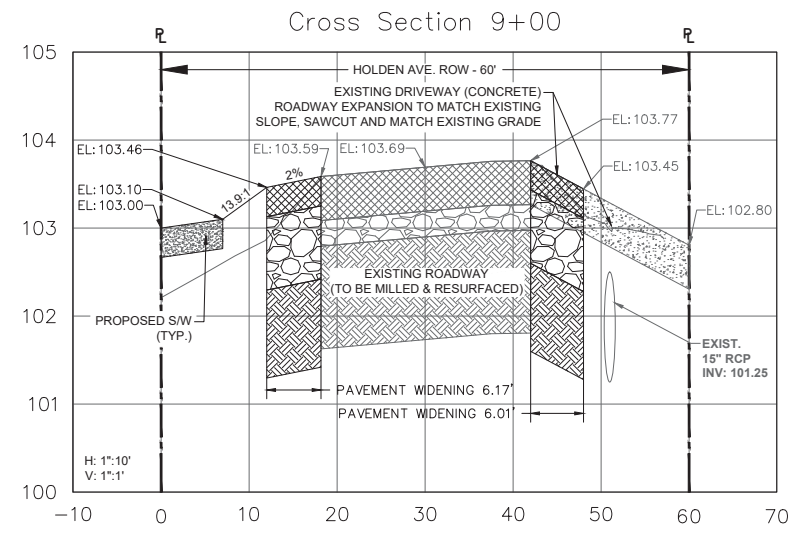
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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	04-22-2022	BRE	OCPW RAI #1
2	08-01-2022	BRE	OCPW RAI#2

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



ALDO E. MEJIAS
P.E. #76019

HAVEN OAKS

CONSTRUCTION PLANS

OFFSITE SECTIONS 3

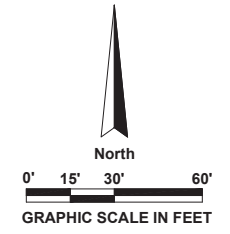
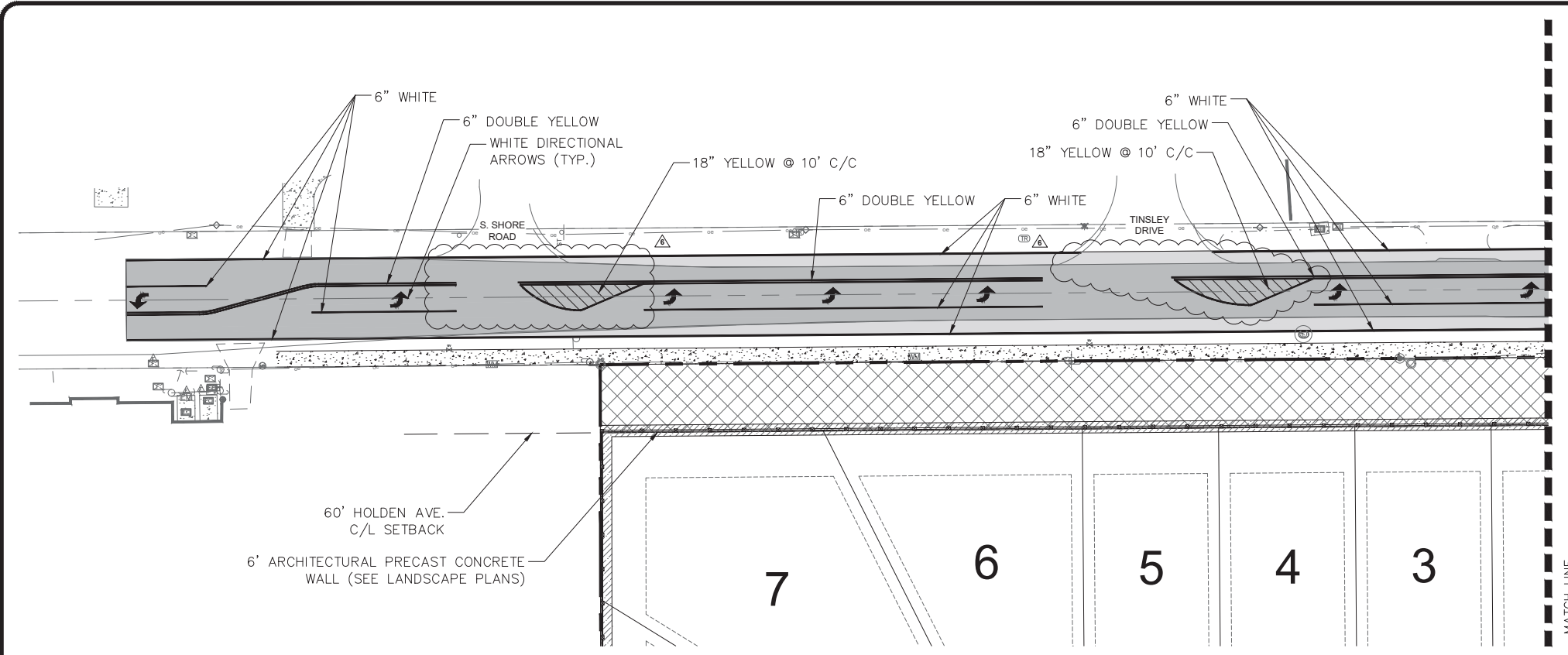
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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	04-22-2022	BRE	OCPW RAI #1

DESIGNED BY: RVB
DRAWN BY: BRE
CHECKED BY: RVB
APPROVED BY: RVB
DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



LEGEND

- PROPOSED PAVEMENT / HOLDEN AVE EXPANSION PAVEMENT
- EXISTING HOLDEN AVE. PAVEMENT

AVCON
 ENGINEERS & PLANNERS
 AVCON, INC.
 5555 E. MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822-2779
 OFFICE: (407) 599-1122 - FAX: (407) 599-1133
 CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057
 www.avconinc.com

ALDO E. MEJIAS
 P.E. #76019

HAVEN OAKS
 CONSTRUCTION PLANS

OFFSITE STRIPING PLAN

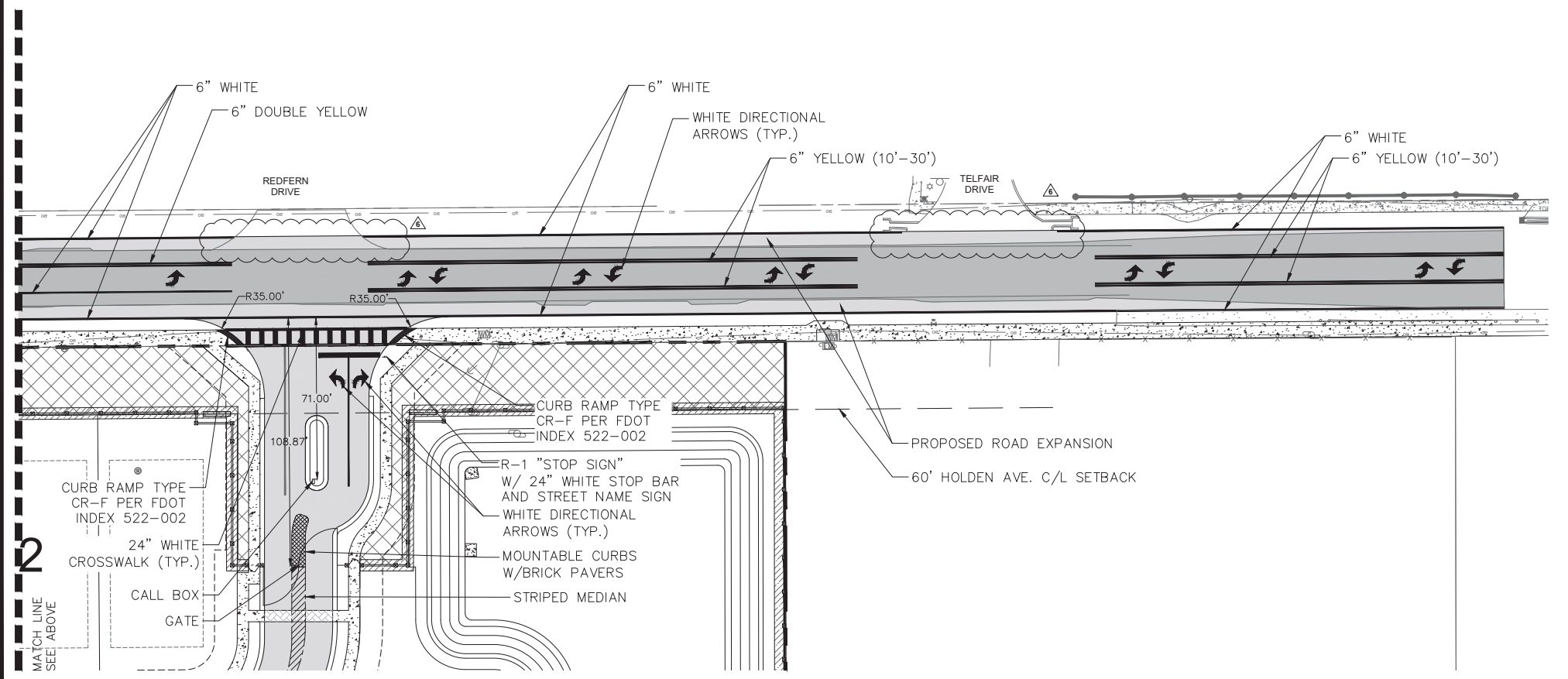
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SCALE:

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	04-22-2022	BRE	OC PW RAI #1
2	08-01-2022	BRE	OC PW RAI #2

DESIGNED BY: RVB
 DRAWN BY: BRE
 CHECKED BY: RVB
 APPROVED BY: RVB
 DATE: 08-30-2022

AVCON PROJECT No. 2019.0099.15



- NOTES:
- CONTRACTOR SHALL COORDINATE THE RELOCATION OF POWER POLE 'DOWN GUYS' AND ANY OTHER EXISTING UTILITY WITHIN CONSTRUCTION LIMITS WITH UTILITY PROVIDER
 - ALL LANES SHALL BE MILLED / RESURFACED ALONG THE LENGTH OF THE PROPOSED IMPROVEMENTS. EXISTING STRIPING SHALL BE REMOVED PRIOR TO PAVING
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 - APPLICATIONS FOR RAISED PAVEMENT MARKERS SHALL BE PER THE JULY 2021 FDOT STANDARD PLANS SECTION 706-001
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CITY OF EDGEWOOD

Zoning Plans Review

By Brett Sollazzo Date 9/26/2022

Approved Rejected

Hold on Certificate of Occupancy?

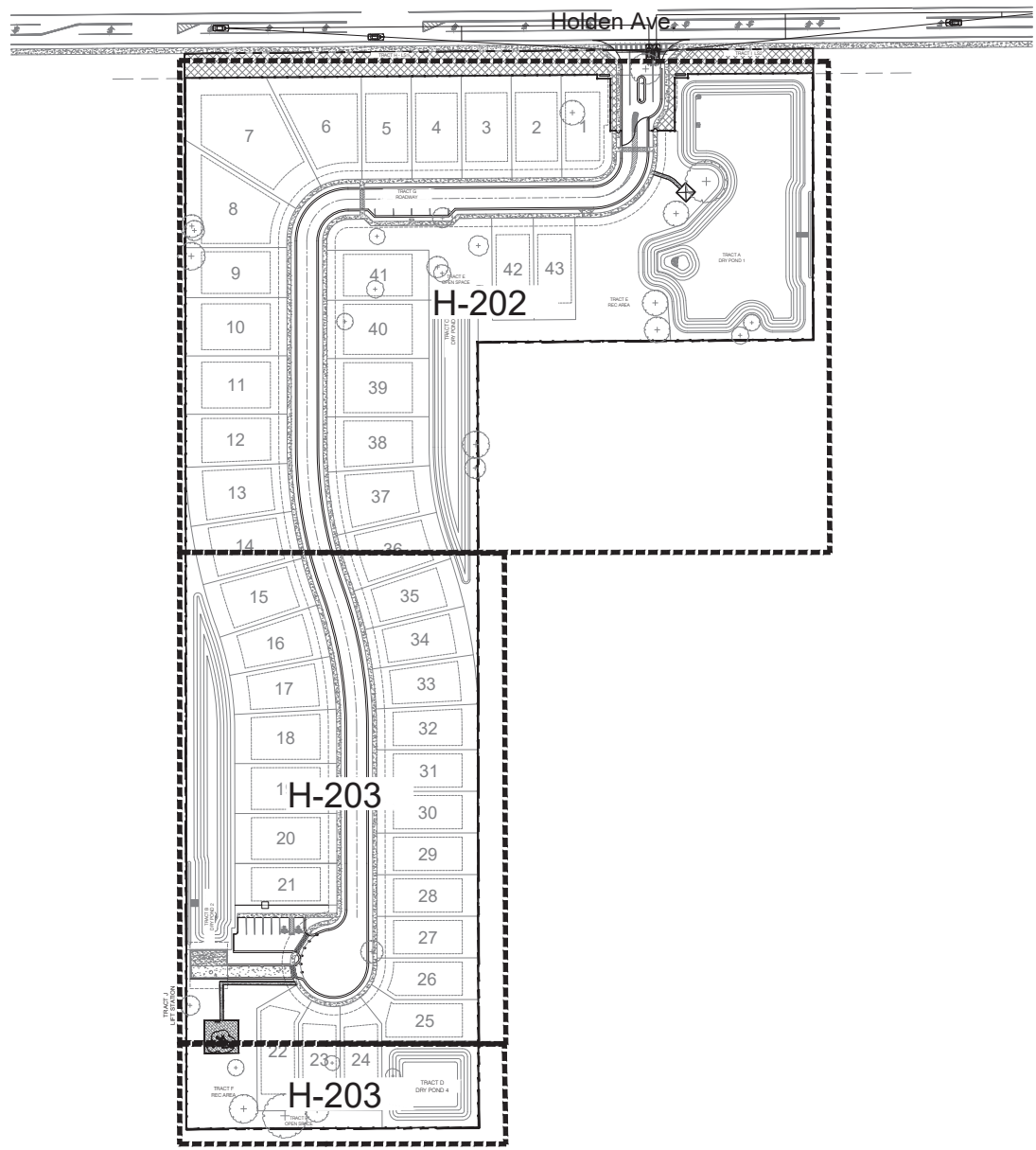
Yes No

CITY OF EDGEWOOD ZONING HOLD

RECEIVED

9/9/2022

CITY OF EDGEWOOD



daly design group inc.

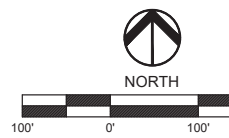
Land Planning, Landscape Architecture, Project Management, Development Consulting
604 Courtland St., Suite 101, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY

Key Sheet
Hardscape Plan
Haven Oaks
Orlando, Florida



Digitally signed by
William G Maki
Date: 2022.09.09 14:30:47 -04'00'



PROJECT NO. 1930
SCALE 1"= 100'
DATE April 2022
SHEET K-200

CITY OF EDGEWOOD

Zoning Plans Review

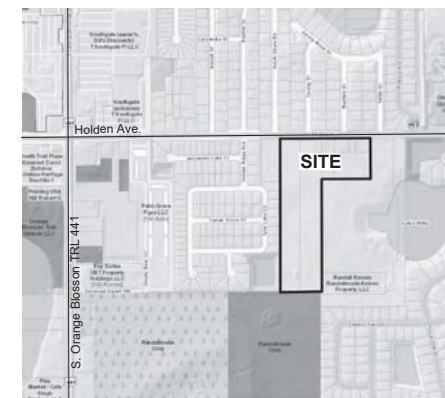
By Brett Sollazzo Date 9/26/2022

Approved Rejected

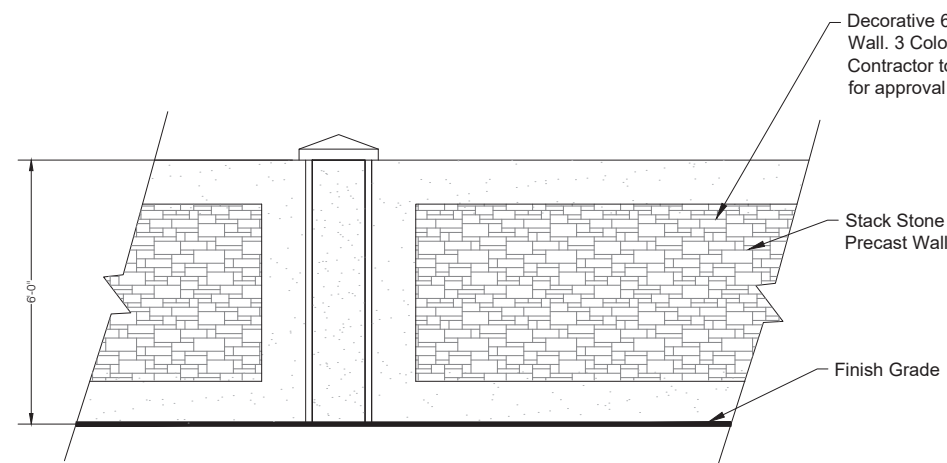
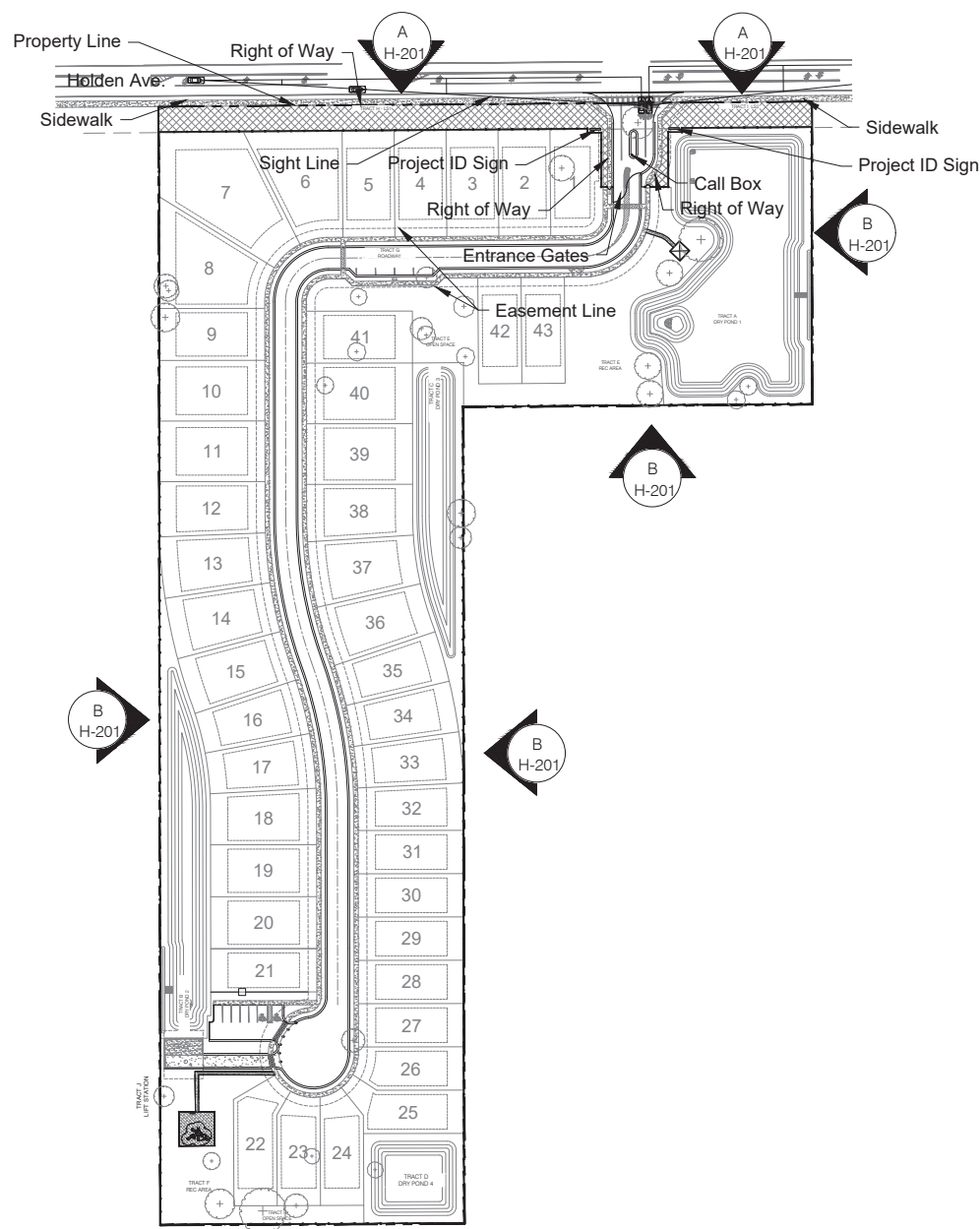
Hold on Certificate of Occupancy?

Yes No

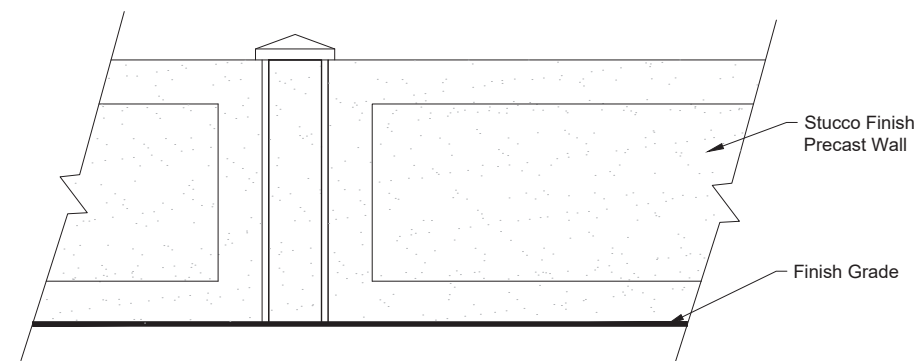
CITY OF EDGEWOOD ZONING HOLD



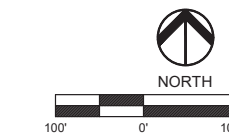
Location Map



Elevation A
6' Precast Wall Type A
NTS



Elevation B
6' Precast Wall Type B
NTS



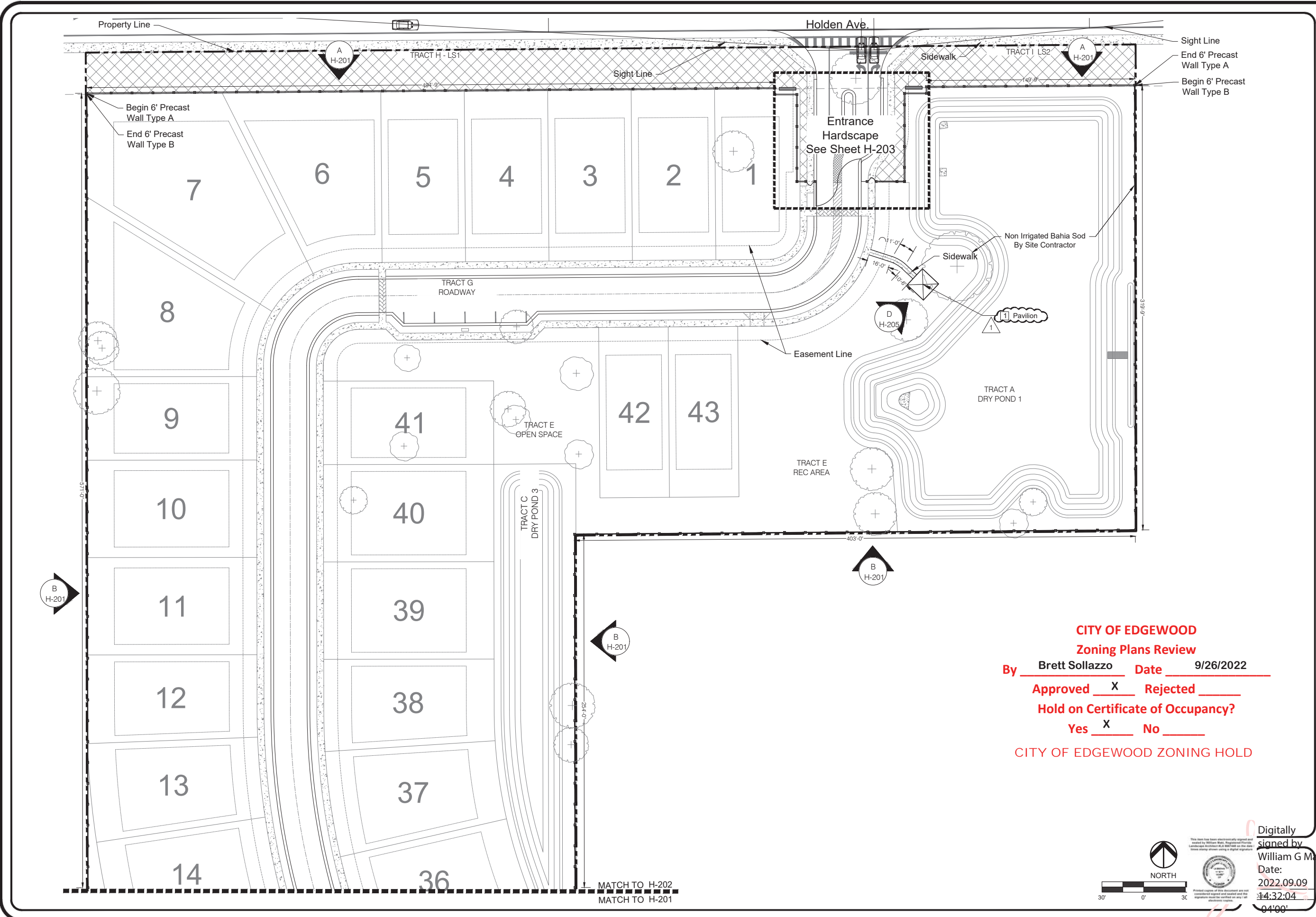
Digitally signed
by William G Maki
Date: 2022.09.09 14:31:41 -04'00'

REV	DATE	DESCRIPTION	BY

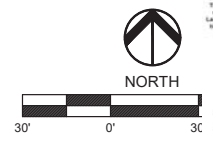
Wall Plan & Elevations
Landscape Plans
Haven Oaks
Orlando, Florida



PROJECT NO. 1930
SCALE 1"= 100'
DATE June 2022
SHEET H-201



CITY OF EDGEWOOD
Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No
CITY OF EDGEWOOD ZONING HOLD

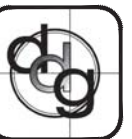


Digitally signed by
 William G. Markham
 Date: 2022.09.09 14:32:04 -0400

daly design group inc.
 Land Planning, Landscape Architecture, Project Management, Development Consulting
 604 Courtland St., Suite 101, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY
1	8/23/2022	Revised per Client Comments	GH

Precast Wall & Pavilion
 Hardscape Plan
 Haven Oaks
 Orlando, Florida

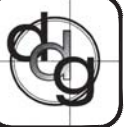


PROJECT NO. 1930
 SCALE 1" = 30'
 DATE June 2022
 SHEET H-202

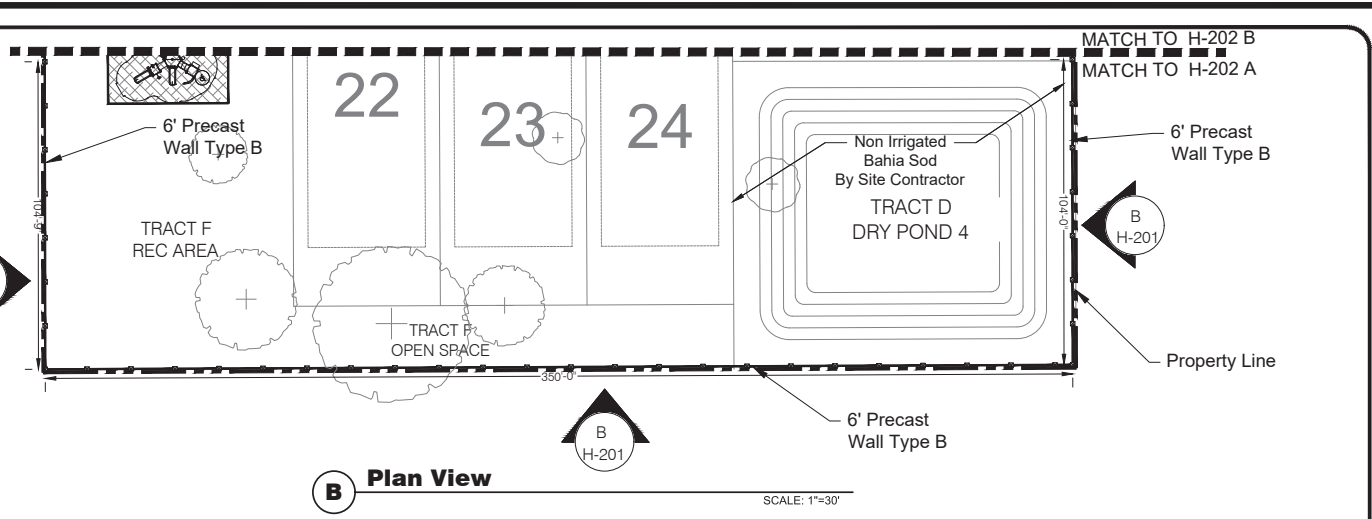
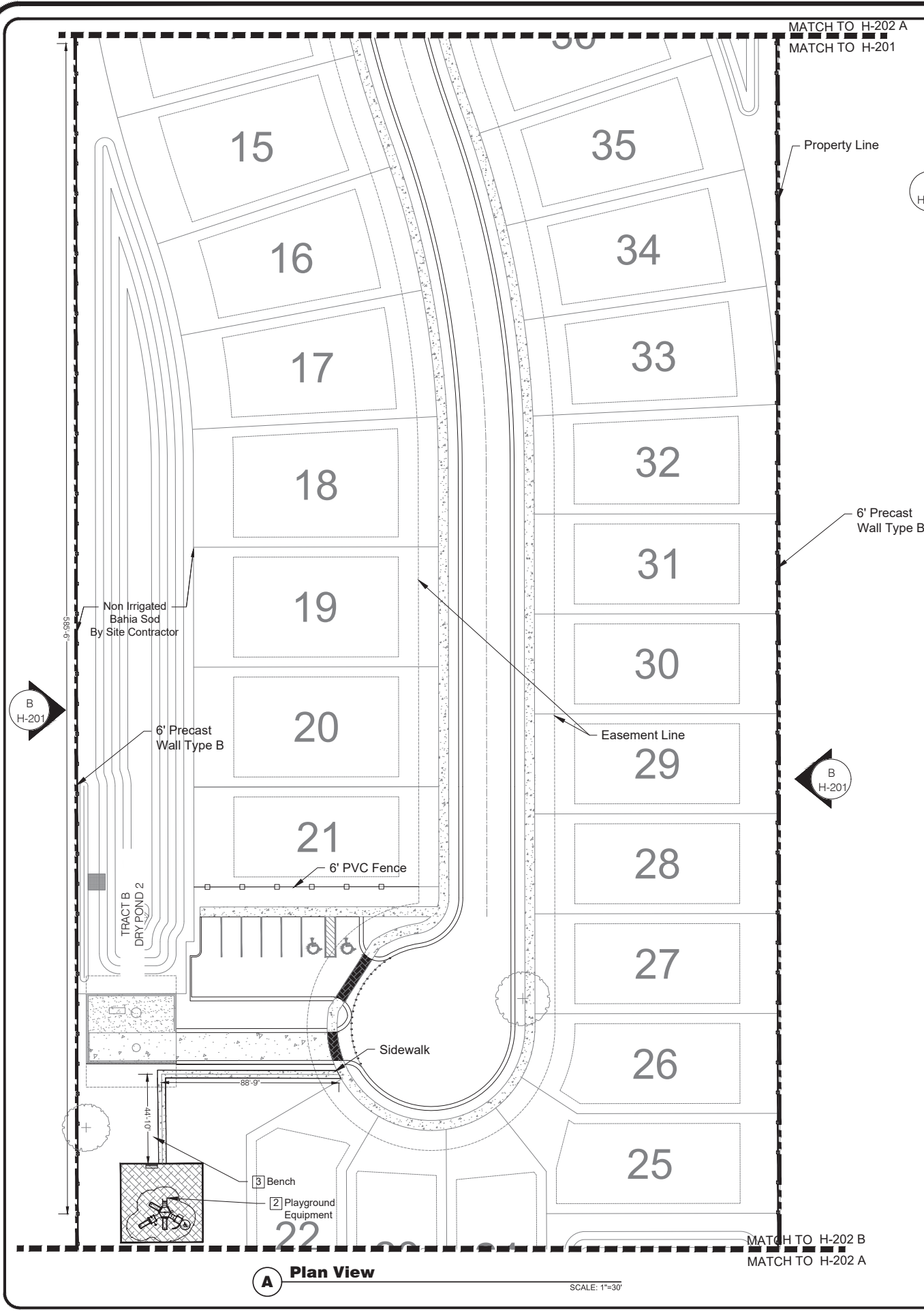
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 Land Planning, Landscape Architecture, Project Management, Development Consulting
 604 Courtland St., Suite 101, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION
1	8/23/2022	Revised per Client Comments

Precast Wall & Playground
 Hardscape Plan
 Haven Oaks
 Orlando, Florida



PROJECT NO. 1930
 SCALE 1"= 30'
 DATE June 2022
 SHEET H-203



Hardscape Schedule

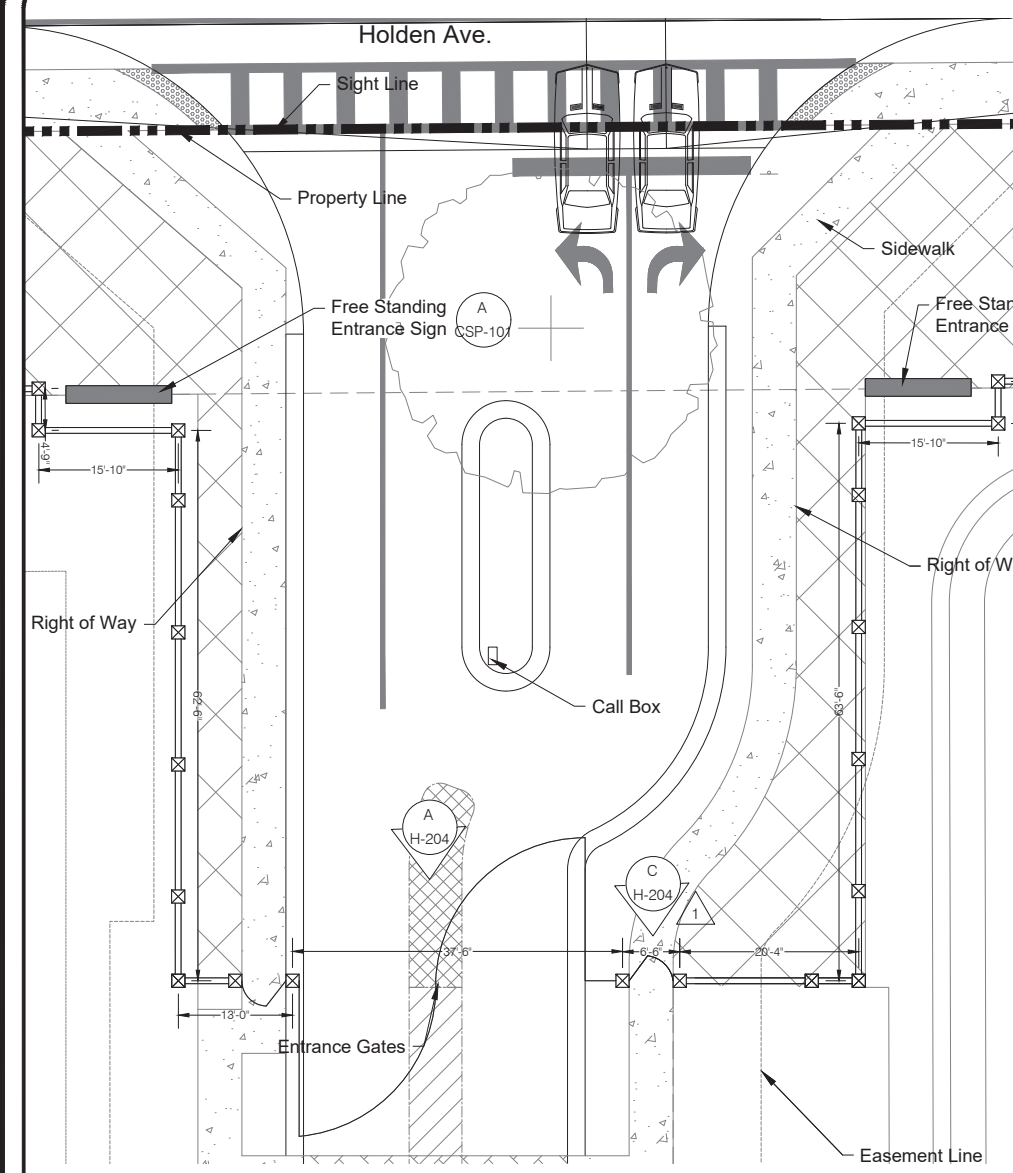
No.	Item:	Manufacturer or Distributer:	Catalogue # or Description:	Notes:
1	PAVILION	BY CONTRACTOR		SEE STRUCTURAL ENGINEERING PLANS
2	PLAYGROUND EQUIPMENT	ALL PEOPLE CAN PLAY APCPLAY.COM	IMAGINATION STATION; MODEL NUMBER 689-86006; NATURAL COLORS	INSTALL PER MANUFACTURES SEECIFICAITONS, OR EQUAL
3	BENCH	MY T COAT, COMMERCIAL OUTDOOR FURNITURE; WWW.MYTCOAT.COM	6' MODERN BENCH; PERFORATED; POWDER COAT BLACK; MBPB-003	IN GROUND MOUNT; INSTALL PER MANUFACTURES SEECIFICAITONS, OR EQUAL

HARDSCAPE NOTES:

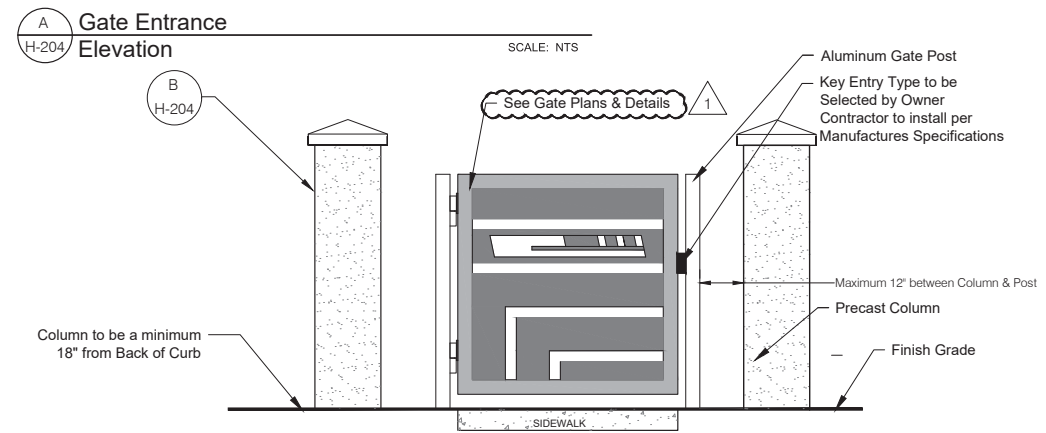
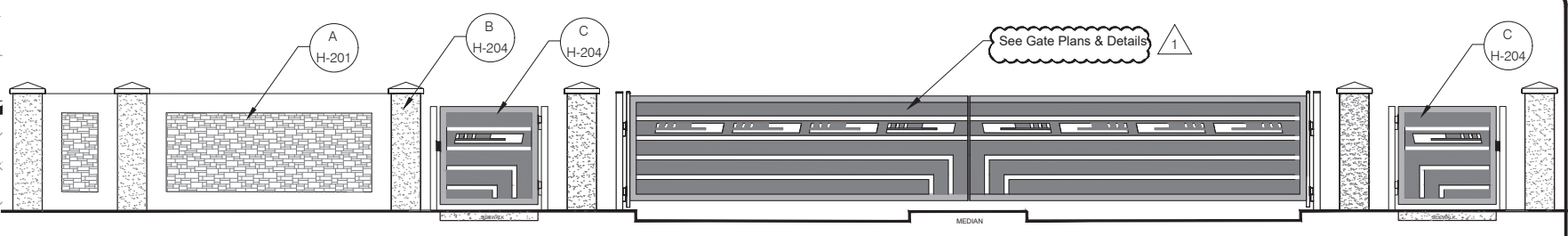
- CONSTRUCTION DETAILS SHOWN ON THESE PLANS ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND STRUCTURAL ENGINEERING TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF ITEMS SHOWN ON THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF DOCUMENTS, PERMIT APPLICATION AND THE SECURING OF BUILDING PERMITS FOR THE PROPOSED IMPROVEMENTS.
- PLANS AND DETAILS ARE BASED UPON PLANS PREPARED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
- ALL DIMENSIONS SHOWN ARE "ON-CENTER" UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL PRODUCTS IDENTIFIED ON THE PLANS ARE CONSIDERED "OR EQUAL". CONTRACTOR MAY PROPOSE ALTERNATE PRODUCTS AND FINISHES TO OWNER FOR REVIEW AND APPROVAL.
- ALL STUCCO FINISHES ON WALLS, COLUMNS & CAPS WILL BE PAINTED ON BOTH SIDES. OWNER WILL REQUEST PAINT SAMPLES TO BE PROVIDED ON SITE AS PART OF THE SELECTION PROCESS.
- CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES AT TIME OF BIDDING.
- UNLESS OTHERWISE NOTED ALL ALUMINUM GATES AND FENCING TO BE POWDER COATED BLACK.
- UNLESS OTHERWISE NOTED ALL COLUMNS SHALL BE A MINIMUM 12" FROM THE BACK OF CURB AND OR THE BACK OF SIDEWALK.

CITY OF EDGEWOOD
Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No
CITY OF EDGEWOOD ZONING HOLD

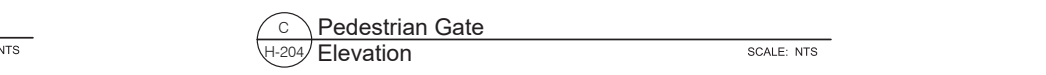
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 Date: 2022.09.09 14:34:12
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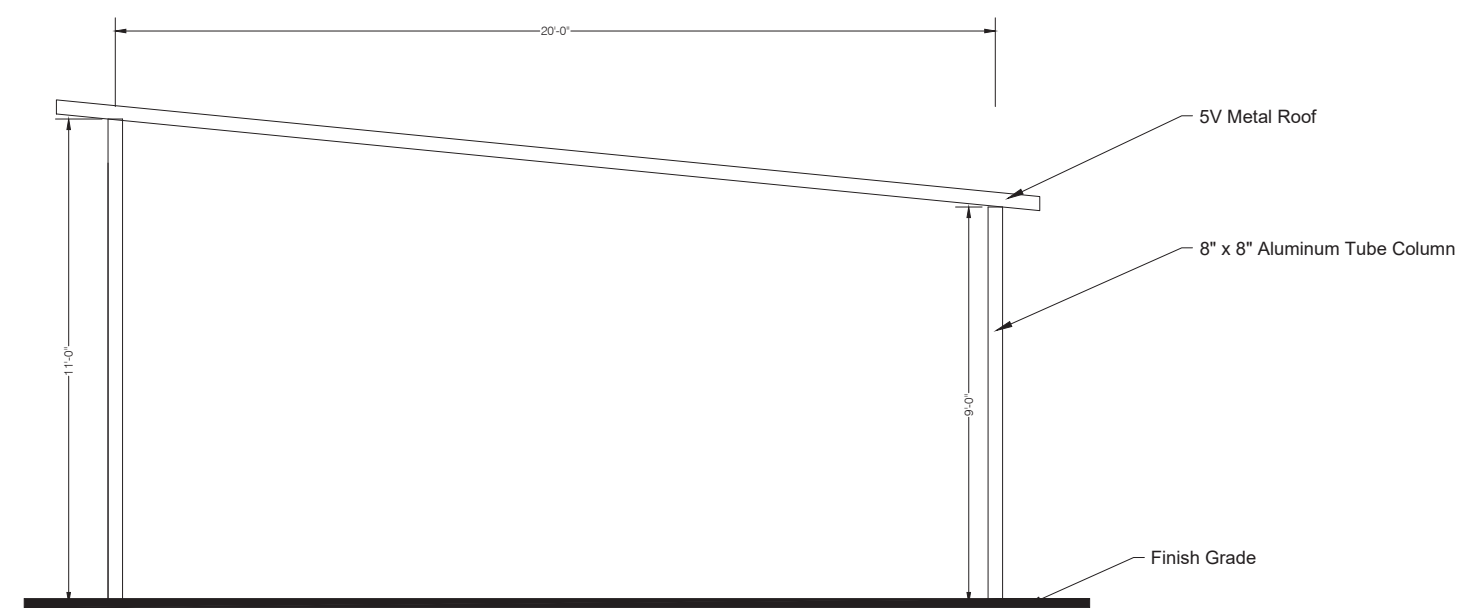
Plan View
SCALE: 1"=10'



B 6' Precast Column Elevation
SCALE: NTS



C Pedestrian Gate Elevation
SCALE: NTS



D Pavilion Elevation
SCALE: NTS

CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved Rejected
Hold on Certificate of Occupancy?
Yes No
CITY OF EDGEWOOD ZONING HOLD

Digitally signed by William G Maki
Date: 2022.09.09 14:34:23 -04'00'

REV	DATE	DESCRIPTION	BY
1	8.23.2022	Revised per Client Comments	GH

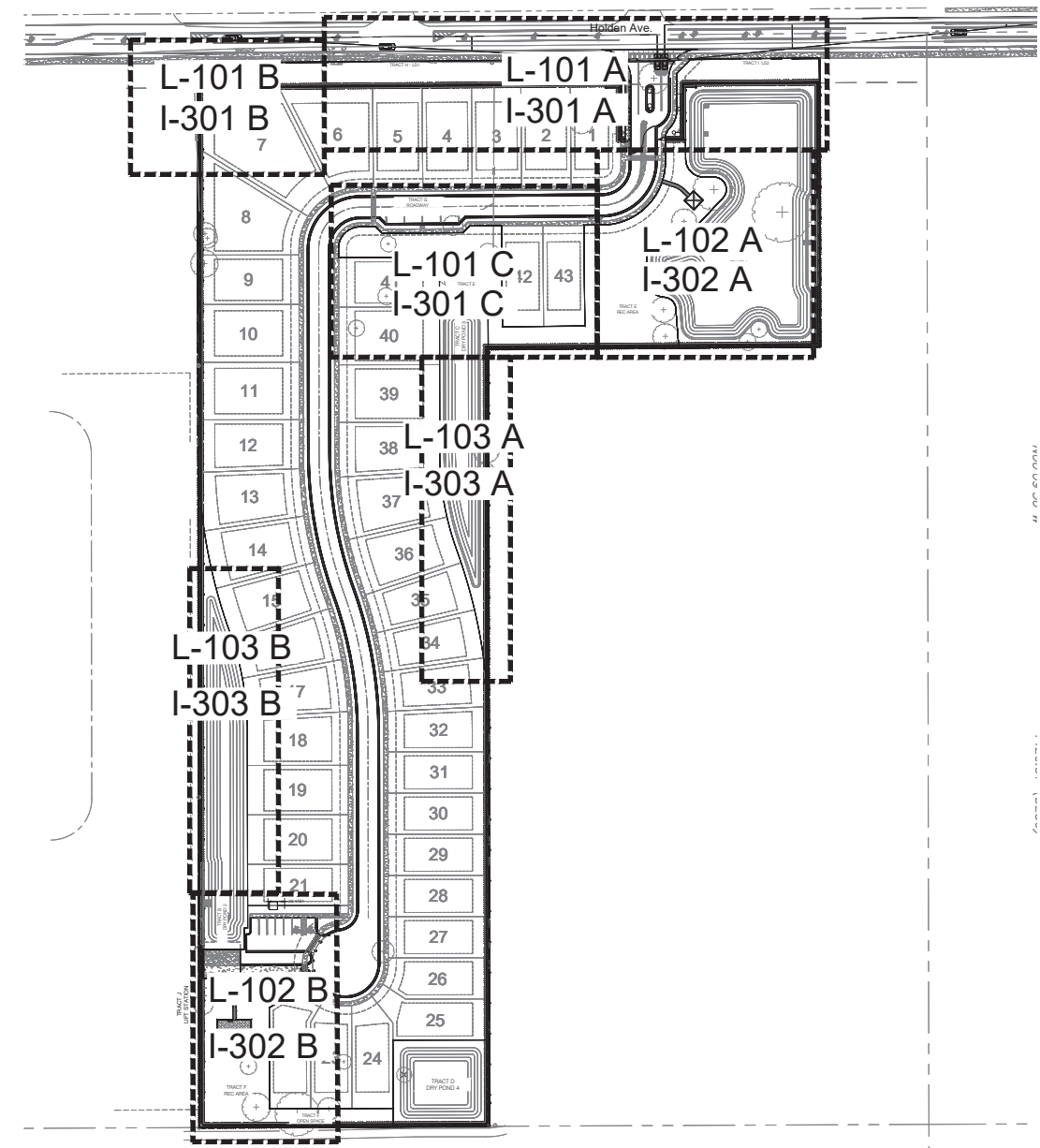
Entrance Gate & Wall Elevation & Details
Hardscape Plan
Haven Oaks
Orlando, Florida



PROJECT NO. 1930
SCALE: nts
DATE: June 2022
SHEET H-204

RECEIVED
 9/9/2022
CITY OF EDGEWOOD

CITY OF EDGEWOOD
Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No



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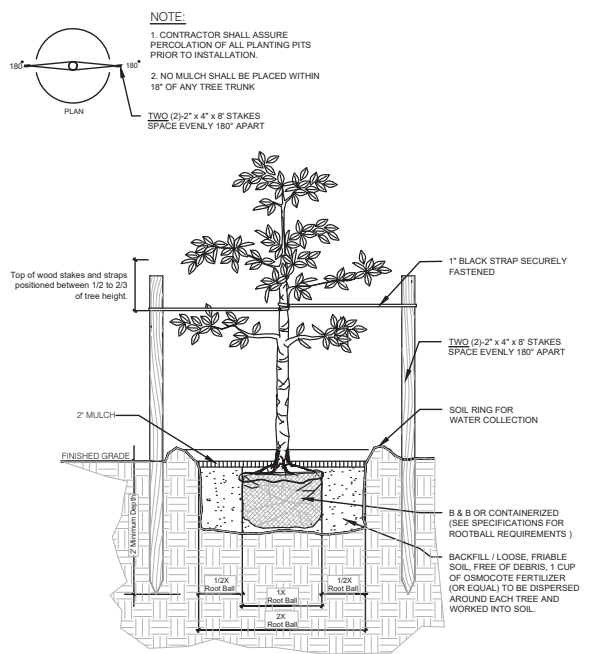
REV	DATE	DESCRIPTION	BY

Key Sheet
 Landscape Construction Plans
 Haven Oaks
 Orlando, Florida

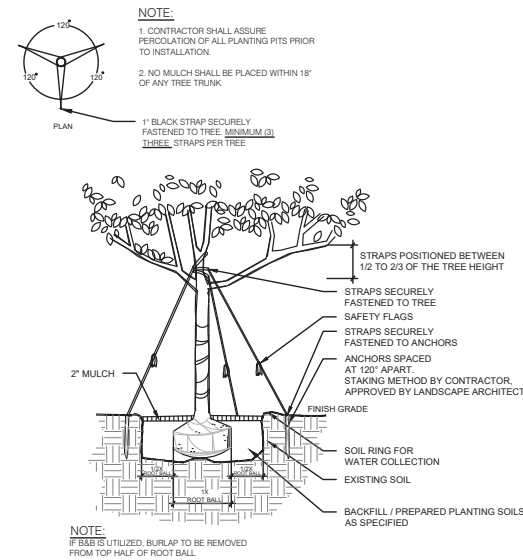


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 PROJECT NO. 1930
 SCALE 1"= 100'
 DATE June 2022
 SHEET K-100

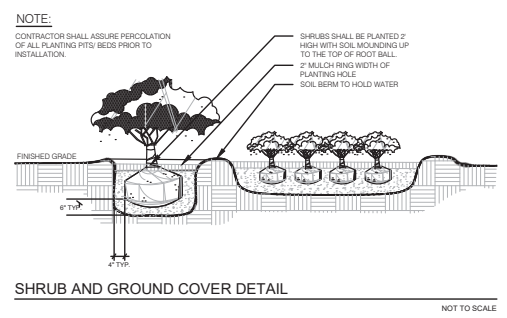
PLANT DETAILS



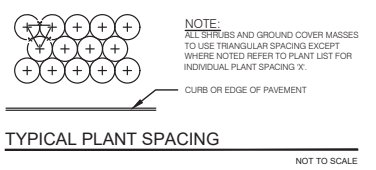
SMALL TREE GUYING DETAIL
Detail for trees between 1" and 2.5" cal. NOT TO SCALE



LARGE TREE GUYING DETAIL
Detail for trees greater than 3" cal. NOT TO SCALE



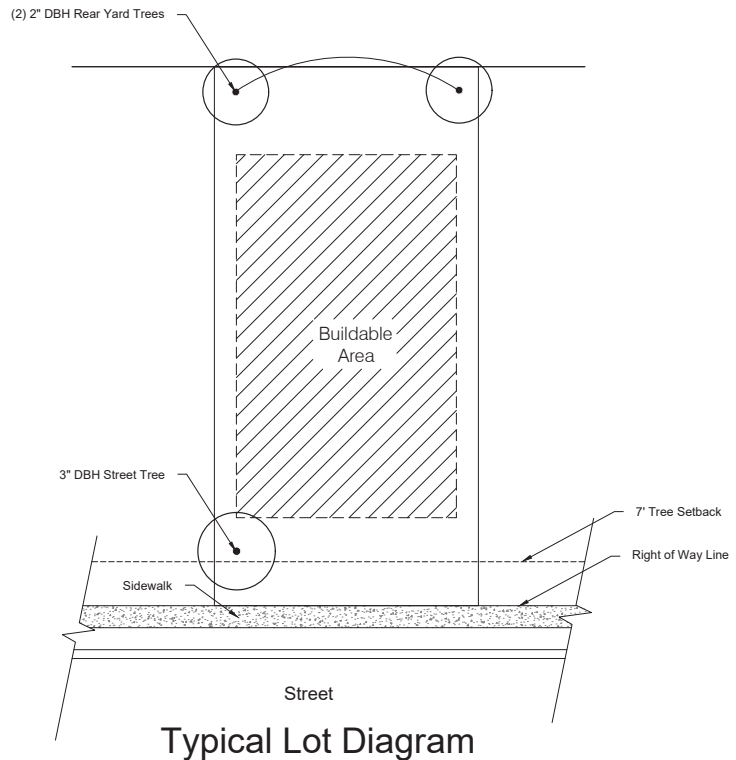
SHRUB AND GROUND COVER DETAIL
NOT TO SCALE



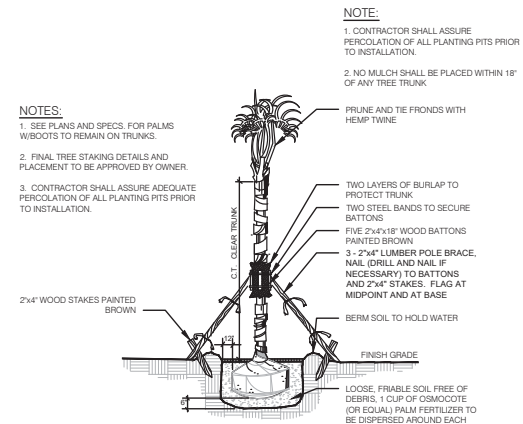
TYPICAL PLANT SPACING
NOT TO SCALE

PLANT SCHEDULE

Quantity	SIMBOL	Botanical	Common	Specifications
68	AD	Asparagus aethiopicus	Foxtail Fern	Min. 3 gal., Full Pot 24" o.c.
6	BN	Bismarckia nobilis	Bismarck Palm	10' Clear Trunk
45	CA	Crinum asiaticum	Crinum Lily	Min. 7 gal., 24" ht. x 24" spd.
215	DE	Duranta erecta 'Gold Mound'	Gold Mound Duranta	Min. 7 gal., 24" ht. x 24" spd. 30" o.c.
34	LIT	Ligustrum japonicum	Japanese Privet	Min. 30 gal., 8' ht., 3 steams, 3/4" caliper
18	QV	Quercus virginiana	Southern Live Oak	Min. 200 gal., 16' ht., 5" DBH
9	QV1	Quercus virginiana	Southern Live Oak	Min. 200 gal., 18' ht., 6" DBH
40	QV2	Quercus virginiana	Southern Live Oak	Min. 15 gal., 8' ht., 6" DBH
366	TAM	Trachelospermum asiaticum	Asian Jasmine	Min. 1 gal., full pot 18" o.c.
21	VS	Viburnum suspensum	Sandankwa Viburnum	Min. 7 gal., 20" ht. x 20" spd., 36" o. c.
49,752 SF	SOD A	St. Augustine Sod		



Typical Lot Diagram



PALM TREE GUYING DETAIL
NOT TO SCALE

GENERAL LANDSCAPE NOTES

- Landscape Contractor shall be responsible for all materials and plants as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at time of bidding.
- All plant material shall be graded Florida No. 1 or better, as outlined by "Grades and Standards for Nursery Plants", Florida Department of Agriculture and Consumer Services, division of Plant Industry.
- All planting shall be top dressed with a minimum of 2" pine bark.
- The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shrubs and shall be legally liable for any damage caused by instability of plant material. The staking method, if not shown by detail on this plan, shall be approved by the owner or his/her authorized representative.
- Every possible safeguard shall be taken to protect existing trees that are shown on the landscape plan to be preserved.
- The Landscape Contractor is responsible for cleaning all debris associated with their work.
- Height and spread specifications refer to the overall plant form. Singular branches may not be used to meet minimum requirements. Tree size to be measured at DBH 4.5' above grade.
- All landscaping shall be installed according to accepted commercial planting procedures. Soil, shall be free of limerock, pebbles, or other construction debris.
- All landscaping shall conform to the standards set forth in the city of Edgewood Land Development code (unless a higher standard is required per the Development agreement).
- Landscaping shall not interfere with power lines, sewer or water pipes or any other existing or proposed utilities.
- All landscaping areas shall be 100% irrigated.
- Ball & burlap material shall be an acceptable alternative to container grown trees.
- Occasionally there is the potential for site modification due to revised field grading, clearing of existing tree canopy or other unforeseen conditions. The Landscape Contractor shall be responsible for informing the Owner and Landscape Architect of site conditions adverse to the healthy establishment of any plant material prior to planting so that a resolution may be achieved.
- The Landscape Contractor shall be responsible for arranging a pre-construction meeting with the Owner and Landscape architect in order to address and clarify any questions, concerns and/or conditions related to these drawings or the existing site.
- Landscape Contractor shall use appropriate container size to meet minimum plant height, if minimum plant height can not be met with specified container size.
- This Landscape plan has been prepared by a certified Landscape Architect who is registered in the State of Florida.

CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved X Rejected _____
Hold on Certificate of Occupancy?
Yes X No _____

Note:
All replacement trees shall have a 1 year warranty from the date of final acceptance, whether on common area or private lots. Replacement trees that die within the 1 year warranty period shall be replace by the same species and size originally specified.

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Date: 2022.09.09 14:35:09 -0400

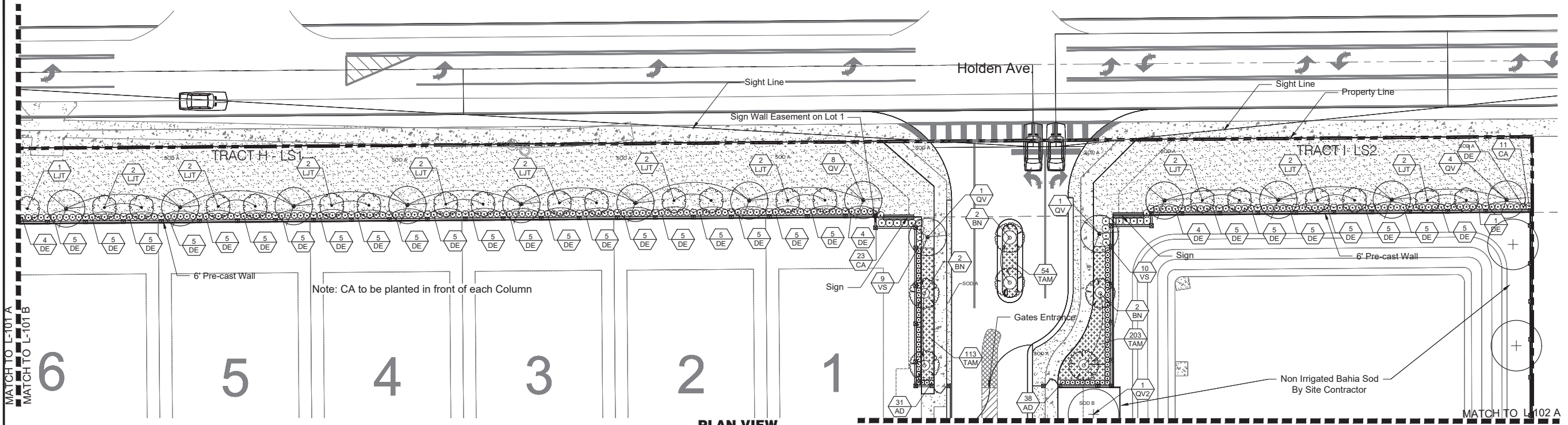
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REV	DATE	DESCRIPTION	BY
2	09.09.22	Revisions per City Comments	GH

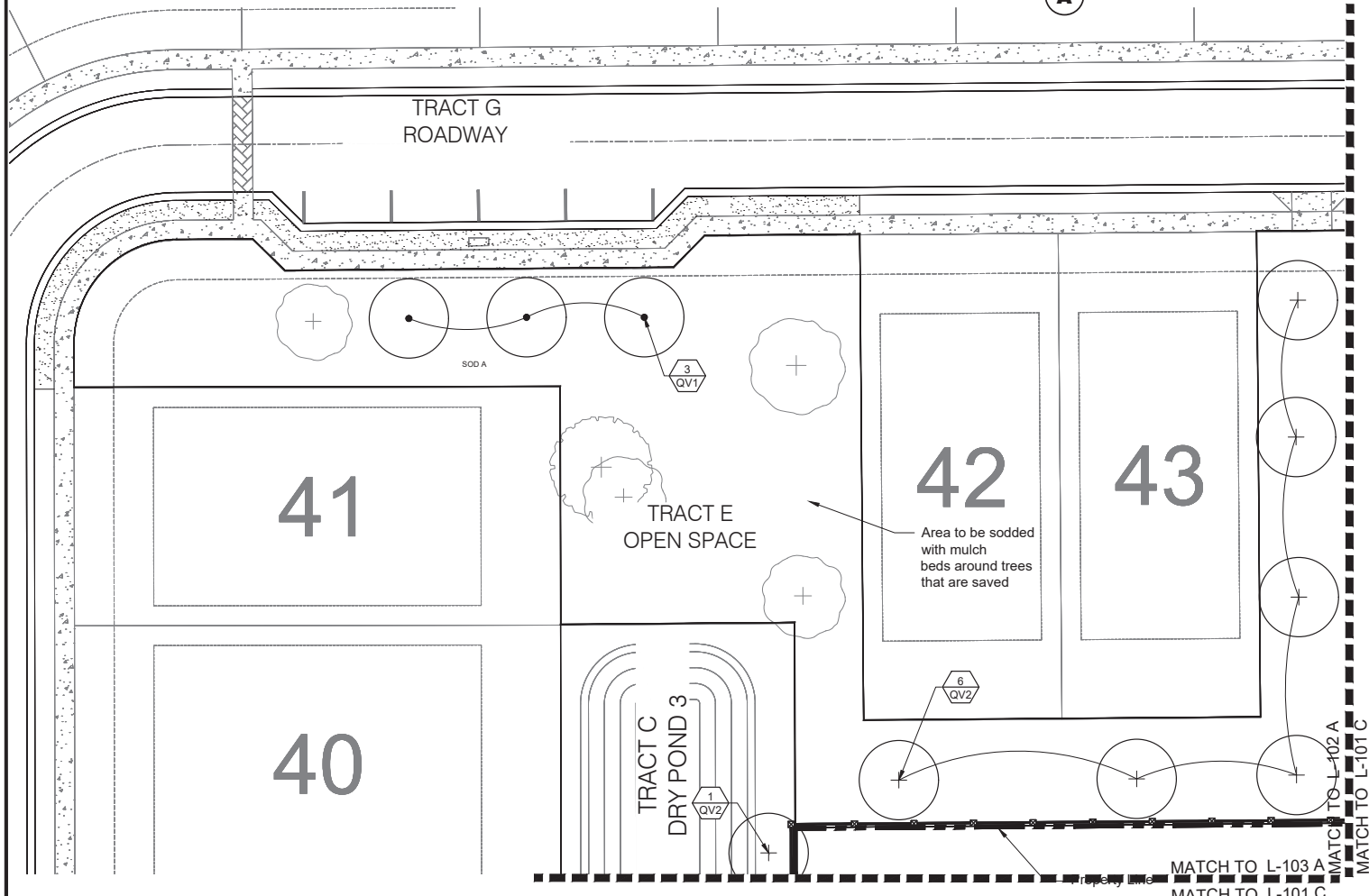
Plant Schedule and Details
Landscape Construction Plans
Haven Oaks
Orlando, Florida

PROJECT NO. 1930
SCALE NTS
DATE June 2022
SHEET L-001

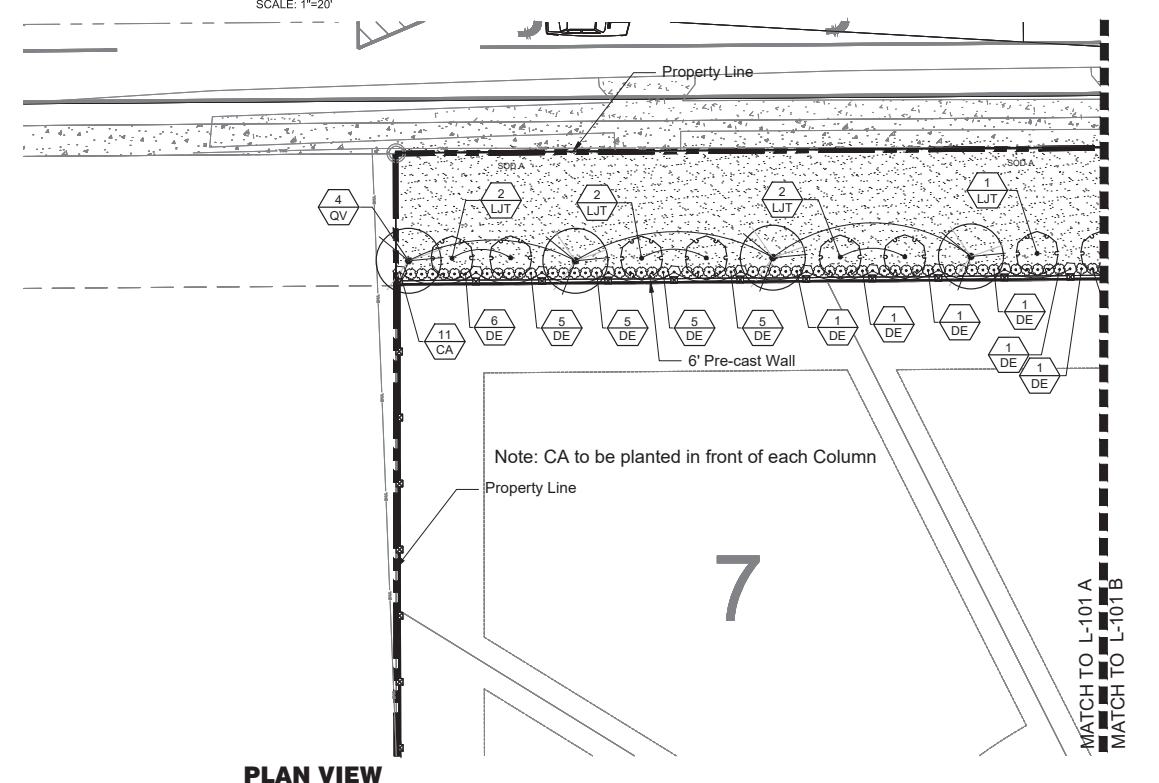
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A PLAN VIEW LANDSCAPE TRACT
 SCALE: 1"=20"

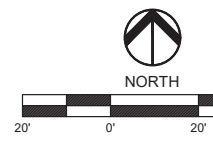


C PLAN VIEW TRACT D RECREATION
 SCALE: 1"=20"



B PLAN VIEW TRACT D
 SCALE: 1"=20"

CITY OF EDGEWOOD
Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No



Digitally signed by
 William G Maki
 Date: 2022.09.09 14:35:22
 04'00'

REV	DATE	DESCRIPTION

Landscape Tract & Tract D
 Landscape Construction Plans
 Haven Oaks
 Orlando, Florida



PROJECT NO. 1930
 SCALE 1"= 20'
 DATE June 2022
 SHEET L-101

CITY OF EDGEWOOD

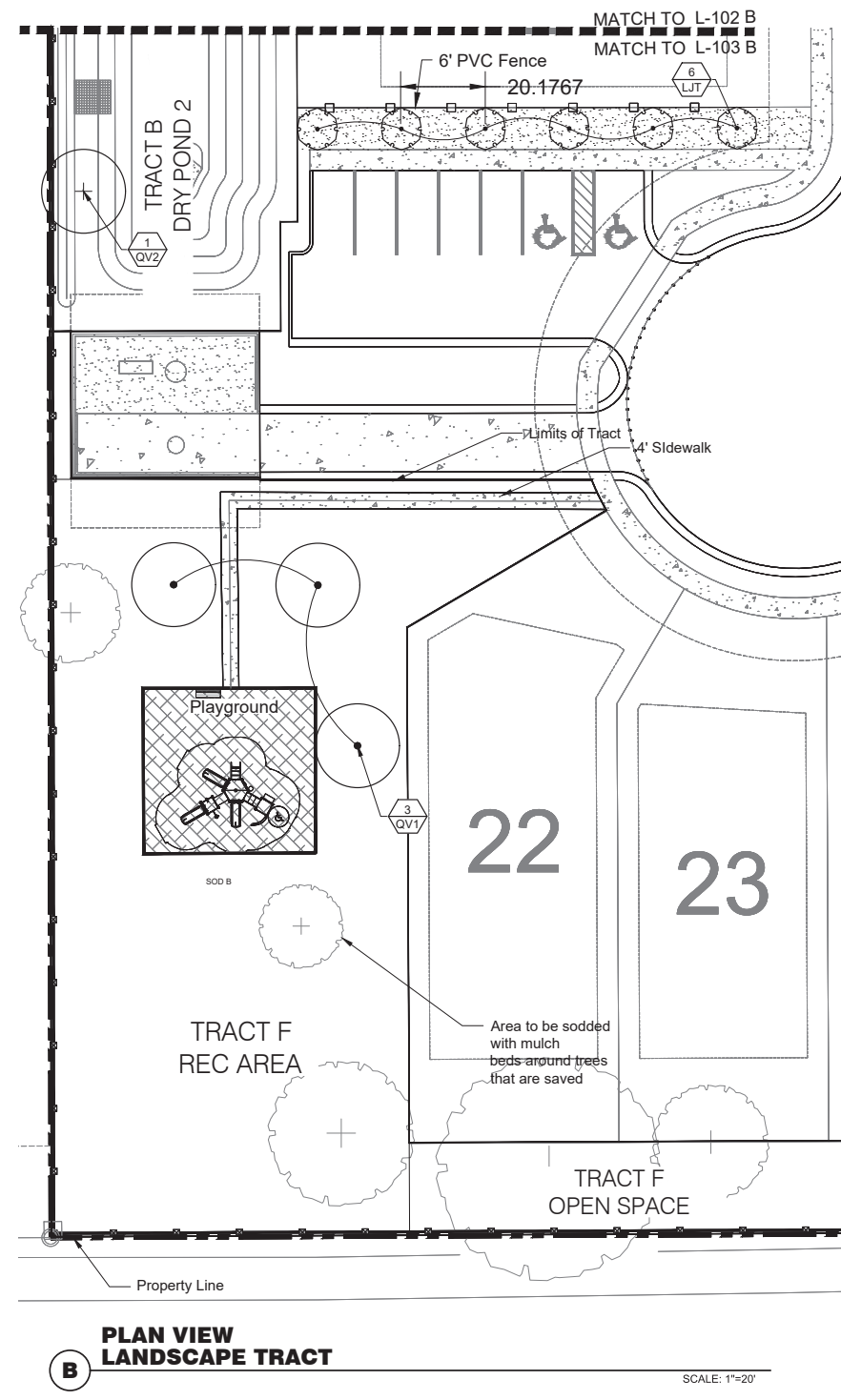
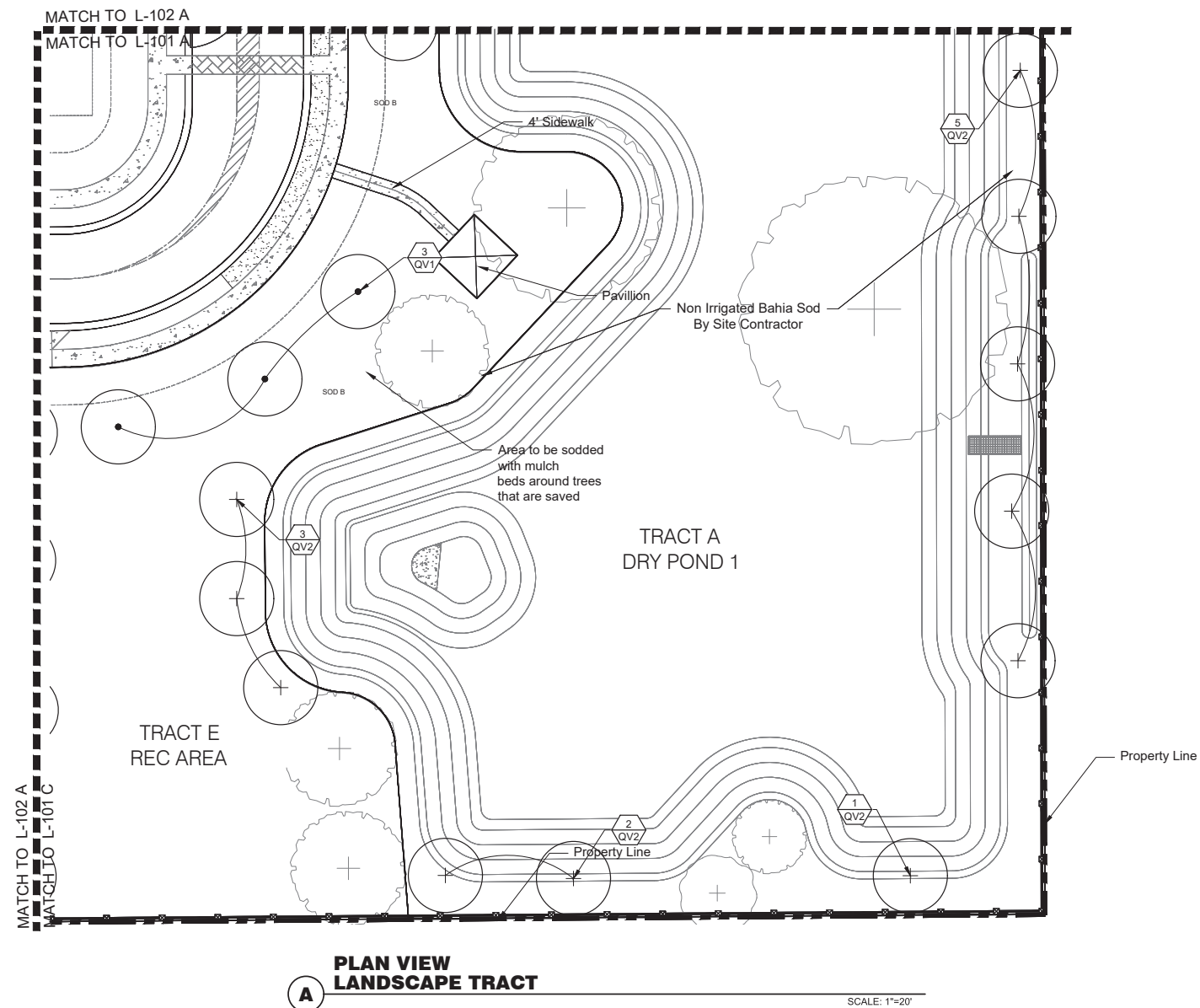
Zoning Plans Review

By Brett Sollazzo Date 9/26/2022

Approved Rejected

Hold on Certificate of Occupancy?

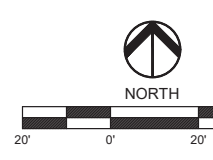
Yes No



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REV	DATE	DESCRIPTION	BY

Tracts E & F Landscape Plans
 Landscape Construction Plans
 Haven Oaks
 Orlando, Florida

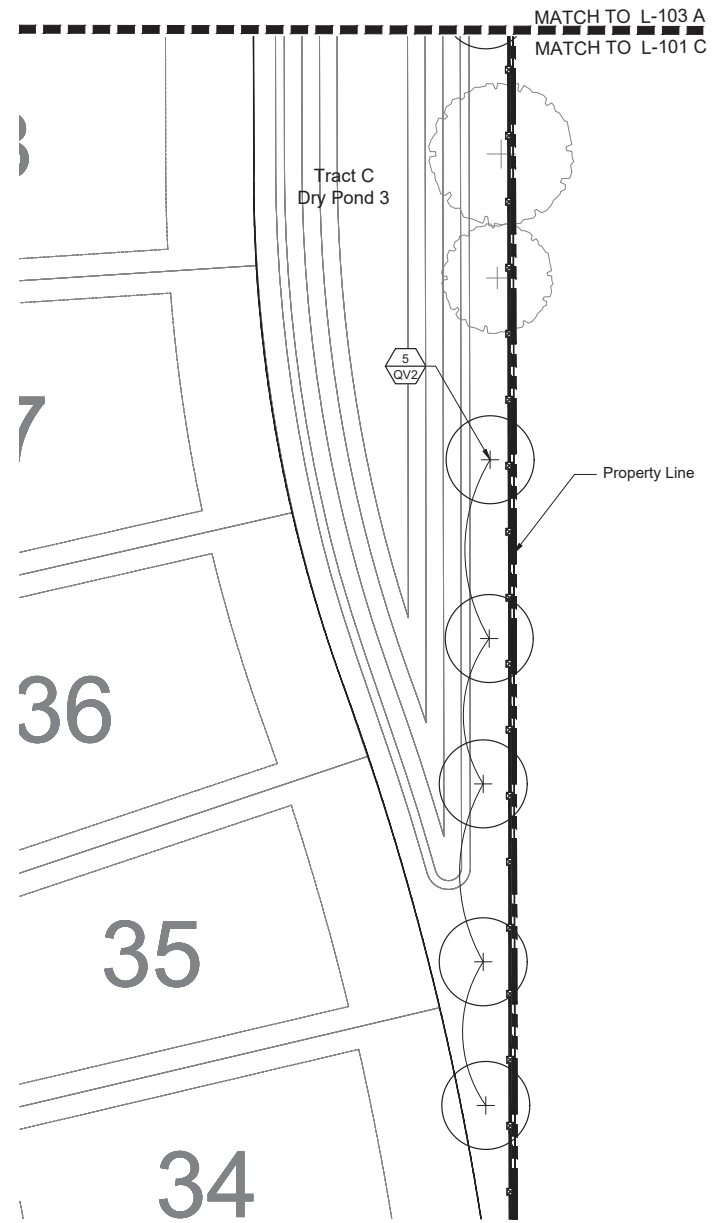


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PROJECT NO. 1930
 SCALE 1"= 20'
 DATE June 2022
 SHEET L-102

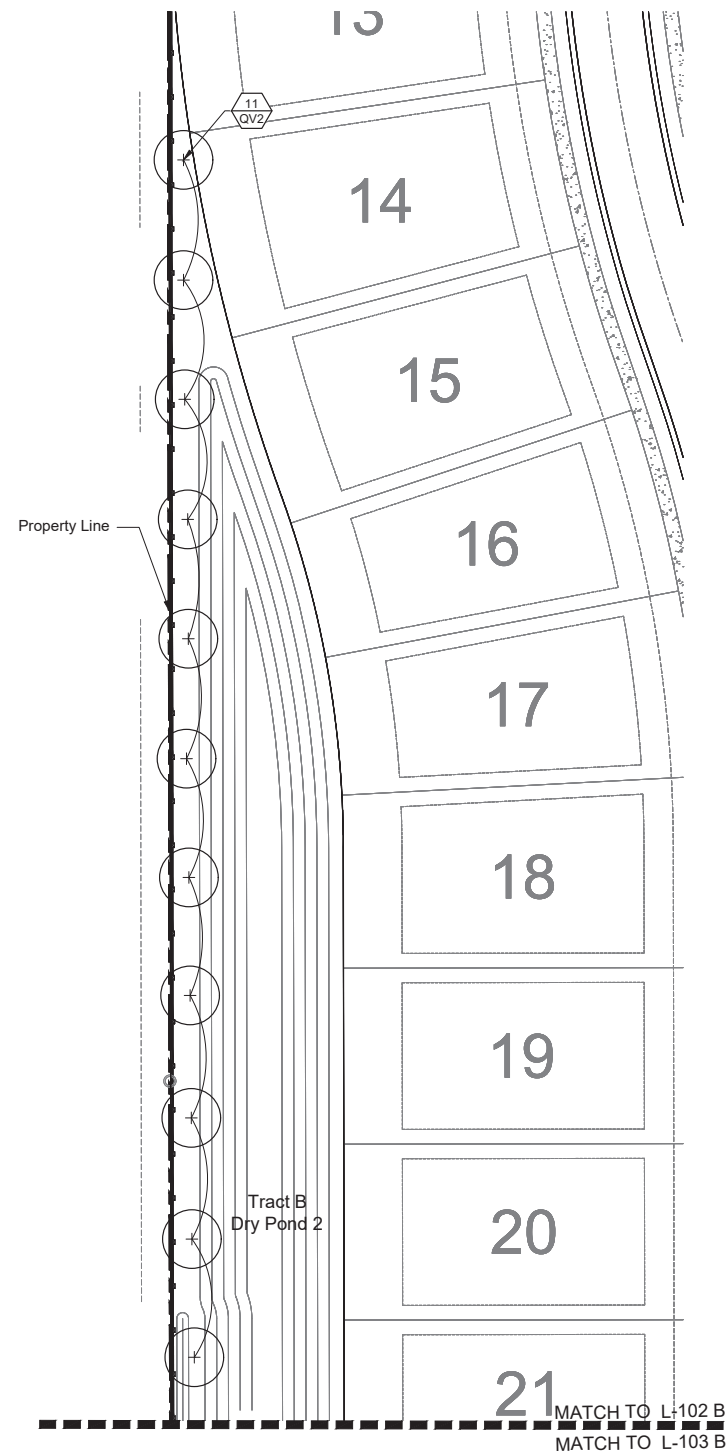
CITY OF EDGEWOOD
Zoning Plans Review

By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No



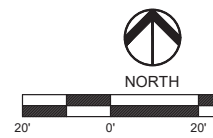
A PLAN VIEW
 LANDSCAPE TRACT

SCALE: 1"=20'



B PLAN VIEW
 LANDSCAPE TRACT

SCALE: 1"=30'



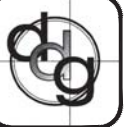
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PROJECT NO.
 1930
 SCALE
 1"= 20'
 DATE
 June 2022
 SHEET
 L-103

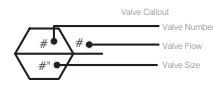
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 604 Courtland St., Suite 101, Orlando, FL 32804 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY

Ponds Landscape Plans
 Landscape Construction Plans
 Haven Oaks
 Orlando, Florida



IRRIGATION SCHEDULE						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI			
	Rain Bird 1806 (MPR) 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	89	30			
	Rain Bird 1806 (MPR) 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	4	30			
	Rain Bird 1806 (MPR) 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	7	30			
	Rain Bird 1806 (MPR) 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	3	30			
	Rain Bird 1806 (MPR) 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	12	30			
	Rain Bird 1804-1400 Flood Tree Bubbler 1401 Flood Bubbler 4.0" pop-up	107	20			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS	DETAIL
	Rain Bird 5006-R-NP-PC-FC-MPR Turf Rotor, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle), Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non-Potable Purple Cover. Pressure Regulating.	88	35		24'	
	Rain Bird 5006-R-NP-PC-FC-MPR Turf Rotor, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle), Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non-Potable Purple Cover. Pressure Regulating.	11	35		30'	
	Rain Bird 5006-R-NP-PC-FC-MPR Turf Rotor, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle), Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. With Non-Potable Purple Cover. Pressure Regulating.	27	35		34'	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Area to Receive Dripline Rain Bird XFCV-06-18 XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve. 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.	2,892 s.f.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird PESBR 1", 1-1/2", and 2" Durable Chlorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, and Purple Flow Control Handle.	20				
	Rain Bird PESBR-PRS-D (2) 1", 1-1/2", and 2" Durable Chlorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, Purple Flow Control Handle, and Pressure Regulator Module.	11				
	Hunter XCH-0600-SS with Solar Panel Electromechanical controller, 6 stations, outdoor model, battery-powered. Stainless Steel Cabinet. For residential/commercial use. Compatible with Solar Panel Kit	1				
	Rain Bird ESPLXME2 w/ (2) ESPLXMSM12 36 Station, Traditionally-Wired, Commercial Controller. (1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure w/ (2) ESPLXMSM12 - 12-Station Expansion Modules.	1				
	Rain Bird RSD-BEX Rain Sensor, with metal latching bracket, extension wire.	2				
	Water Meter 1" 1" Reclaim Water Meter	1				
	Water Meter 5/8" 5/8" Reclaim Water Meter	1				
	Irrigation Lateral Line: PVC Class 200 SDR 21	7,786 l.f.				
	Irrigation Mainline: PVC Class 200 SDR 21	1,697 l.f.				



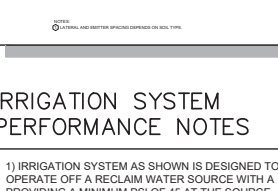
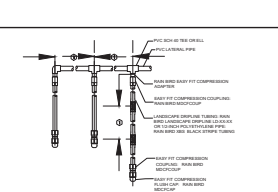
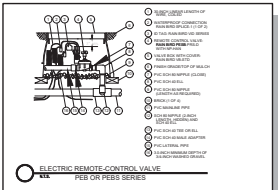
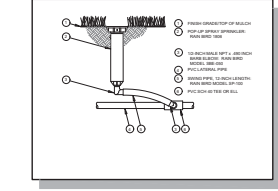
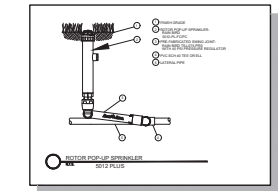
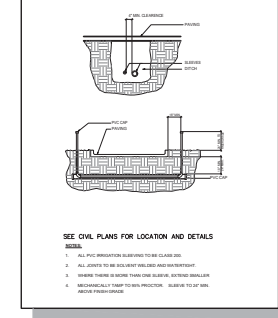
CITY OF EDGEWOOD
Zoning Plans Review

By Brett Sollazzo Date 9/26/2022

Approved Rejected
Hold on Certificate of Occupancy?
Yes No

WATERING SCHEDULE								
NUMBER	MODEL	TYPE	PRECIP	IN/WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY	
1	Rain Bird PESBR	Turf Rotor	0.56 in/h	1	108	2,242	1,121	
2	Rain Bird PESBR-PRS-D (2)	Area for Dripline	0.43 in/h	0.85	120	692.4	346.2	
3	Rain Bird PESBR	Turf Rotor	0.58 in/h	1	104	2,159	1,080	
4	Rain Bird PESBR	Turf Spray	1.82 in/h	1	33	659.0	329.5	
5	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	255	127.5	
6	Rain Bird PESBR	Turf Rotor	0.62 in/h	1	97	1,759	879.3	
7	Rain Bird PESBR-PRS-D (2)	Area for Dripline	0.43 in/h	0.85	120	535.2	267.6	
8	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	225	112.5	
9	Rain Bird PESBR	Turf Spray	1.69 in/h	1	36	624.6	312.3	
10	Rain Bird PESBR	Turf Rotor	0.57 in/h	1	106	2,149	1,074	
11	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	300	150	
12	Rain Bird PESBR	Turf Spray	1.77 in/h	1	34	679.0	339.5	
13	Rain Bird PESBR	Turf Rotor	0.57 in/h	1	106	2,204	1,102	
14	Rain Bird PESBR	Turf Rotor	0.52 in/h	1	115	2,284	1,142	
15	Rain Bird PESBR	Turf Rotor	0.6 in/h	1	100	2,001	1,001	
16	Rain Bird PESBR	Turf Rotor	0.62 in/h	1	97	1,570	785.2	
17	Rain Bird PESBR	Turf Rotor	0.62 in/h	1	97	1,892	945.8	
18	Rain Bird PESBR	Turf Rotor	0.58 in/h	1	105	1,761	880.4	
19	Rain Bird PESBR	Turf Rotor	0.64 in/h	1	94	1,801	900.5	
20	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	45	22.5	
21	Rain Bird PESBR	Turf Spray	1.66 in/h	1	37	718.2	359.1	
22	Rain Bird PESBR	Turf Rotor	0.59 in/h	1	102	1,985	992.5	
23	Rain Bird PESBR	Turf Spray	0.7 in/h	1	86	1,722	860.9	
24	Rain Bird PESBR	Turf Rotor	0.67 in/h	1	90	1,697	848.3	
25	Rain Bird PESBR	Turf Rotor	0.82 in/h	1	73	1,124	562.1	
26	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	165	82.5	
27	Rain Bird PESBR	Turf Rotor	0.54 in/h	1	112	2,256	1,128	
28	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	45	22.5	
29	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	270	135	
30	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	150	75	
31	Rain Bird PESBR-PRS-D (2)	Bubbler	3.4 in/h	0.85	15	150	75	
		TOTALS:			2,107	36,117	18,059	

DETAILS



IRRIGATION SYSTEM PERFORMANCE NOTES

- IRRIGATION SYSTEM AS SHOWN IS DESIGNED TO OPERATE OFF A RECLAIM WATER SOURCE WITH A PROVIDING A MINIMUM PSI OF 45 AT THE SOURCE
- HEAD LAYOUT BASED ON BASE INFORMATION PROVIDED. HEADS SHALL BE ADJUSTED TO ACCOMMODATE FIELD VARIATIONS WHILE MAINTAINING 100% COVERAGE AND MINIMIZING OVER SPRAY ONTO PAVED AREAS AND BUILDINGS.
- LATERAL PIPE SHALL BE SIZED SO THAT WATER VELOCITY DOES NOT EXCEED 5 FEET PER SECOND. MAXIMUM GPM PER PIPE SIZE AS FOLLOWS:

3/4" PIPE	8 GPM
1" PIPE	14 GPM
1 1/4" PIPE	24 GPM
1 1/2" PIPE	36 GPM
2" PIPE	50 GPM
2 1/2" PIPE	80 GPM
3" PIPE	120 GPM
4" PIPE	200 GPM
6" PIPE	450 GPM

- NOTE:**
- LAND FIX IRRIGATION WAS UTILIZED TO DESIGN THE IRRIGATION SYSTEM.
 - MAINLINE, LATERAL PIPE & CONTROL VALVES SHOWN IN HARDSCAPE/BUILDINGS AREA'S OR OUTSIDE OF PROPERTY LINES IS FOR CLARITY ONLY. INSTALL PIPE AND EQUIPMENT IN GREEN SPACE AND WITHIN PROPERTY LINES.

GENERAL NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE AND SHRUB LOCATIONS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER AND ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTOR AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. CONTRACTOR SHALL NOT USE FUNNY PIPE.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS, THE SMALLEST LATERAL, PIPE SIZE TO A SINGLE SPRAY OR ROTOR HEAD SHALL BE 3/4".
- ALL RISERS SHALL BE STAKED WITH A 1" METAL DOWEL AND SECURED WITH UV RESISTANT PLASTIC CABLE TIES. RISERS AND DOWEL SHALL BE PAINTED FLAT BLACK.
- ALL REMOTE CONTROL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- CONTROL WIRE SHALL BE 14-1 UF DIRECT BURIAL COLORED RED FOR CONTROL WIRES AND WHITE FOR COMMON WIRE. NO CROSS CONNECTION BETWEEN CONTROLLERS SHALL BE ALLOWED. WIRE SPLICES SHALL BE MADE ONLY IN VALVE BOXES USING RAINBIRD "SNAP-TITE" CONNECTORS.
- ANY PIPING OR VALVES SHOWN OUTSIDE THE PROPERTY LINE OR OUTSIDE OF A LANDSCAPE AREA IN SHOWN THERE FOR DESIGN CLARITY ONLY. ALL PIPING AND VALVES SHALL BE INSTALLED ON THE PROPERTY AND WITHIN LANDSCAPE AREAS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH, AND EXERCISE CARE SO AS TO NOT DAMAGE ANY EXISTING BERMS, WALLS, STRUCTURES, PLANT MATERIALS AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OR REPLACEMENT OF ALL ITEMS DAMAGE BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES AND PIPING THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN ARE DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER(S) SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION, (BY OTHERS, NOT A PART OF THIS CONTRACT) THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE JUNCTION BOX TO ALL EQUIPMENT.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES TO PROVIDE OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. IN ORDER TO ACCOMPLISH THIS, THE CONTRACTOR MAY SUBSTITUTE VARIABLE ARC NOZZLES IN PLACE OF THE SPECIFIED FIXED ARC NOZZLES WHERE NECESSARY. PRESSURE COMPENSATING SCREENS MAY ALSO BE USED TO REDUCE SPRAY DISTANCE.
- THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH ALL PREVAILING LAWS, CODES AND REGULATIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. A COPY OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE AS-BUILT DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- SLEEVES SHALL BE PLACE UNDER PAVEMENT AS SHOWN ON PLANS AND SHALL BE A MINIMUM OF 2X THE SIZE OF THE IRRIGATION PIPE.
- CONTRACTOR SHALL PERFORM PRESSURE AND VOLUME TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK, SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO MEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATIONS.
- ALL IRRIGATION PIPES, SPRINKLER CAPS AND VALVE BOX COVERS SHALL BE PURPLE TO DENOTE REUSE WATER. CONTRACTOR TO PROVIDE SIGNAGE AT ALL PROJECT ENTRANCES DENOTING REUSE IRRIGATION WATER. SEE CIVIL PLAN FOR LOCATION AND DETAIL.

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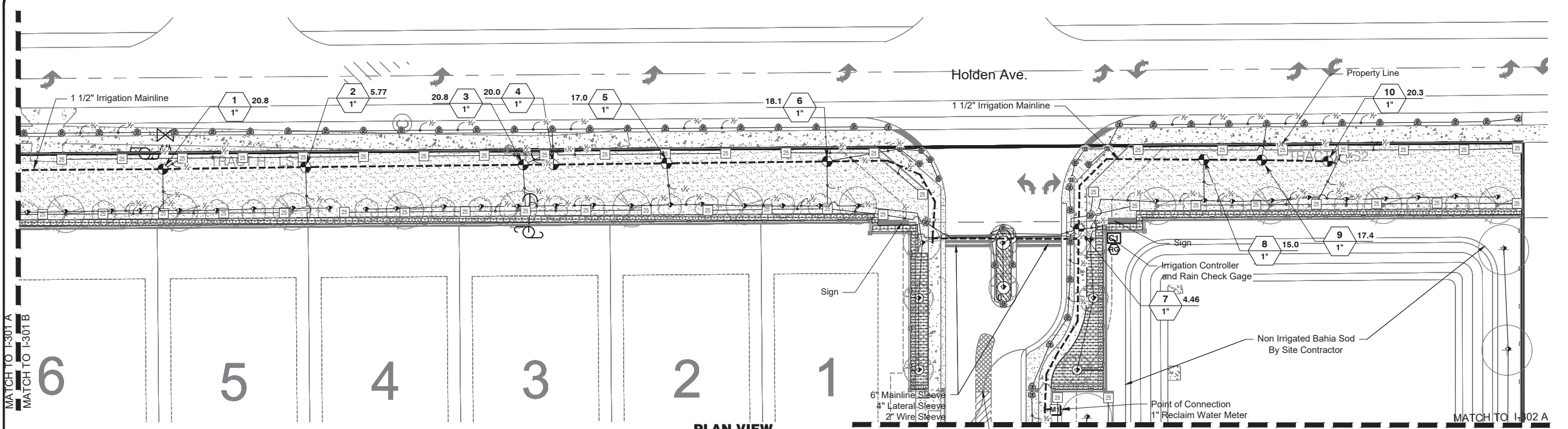
REV	DATE	DESCRIPTION
10	05.17.2022	Revision by City Comments

Irrigation Schedule & Details
Irrigation Plan
Haven Oaks
Orlando, Florida

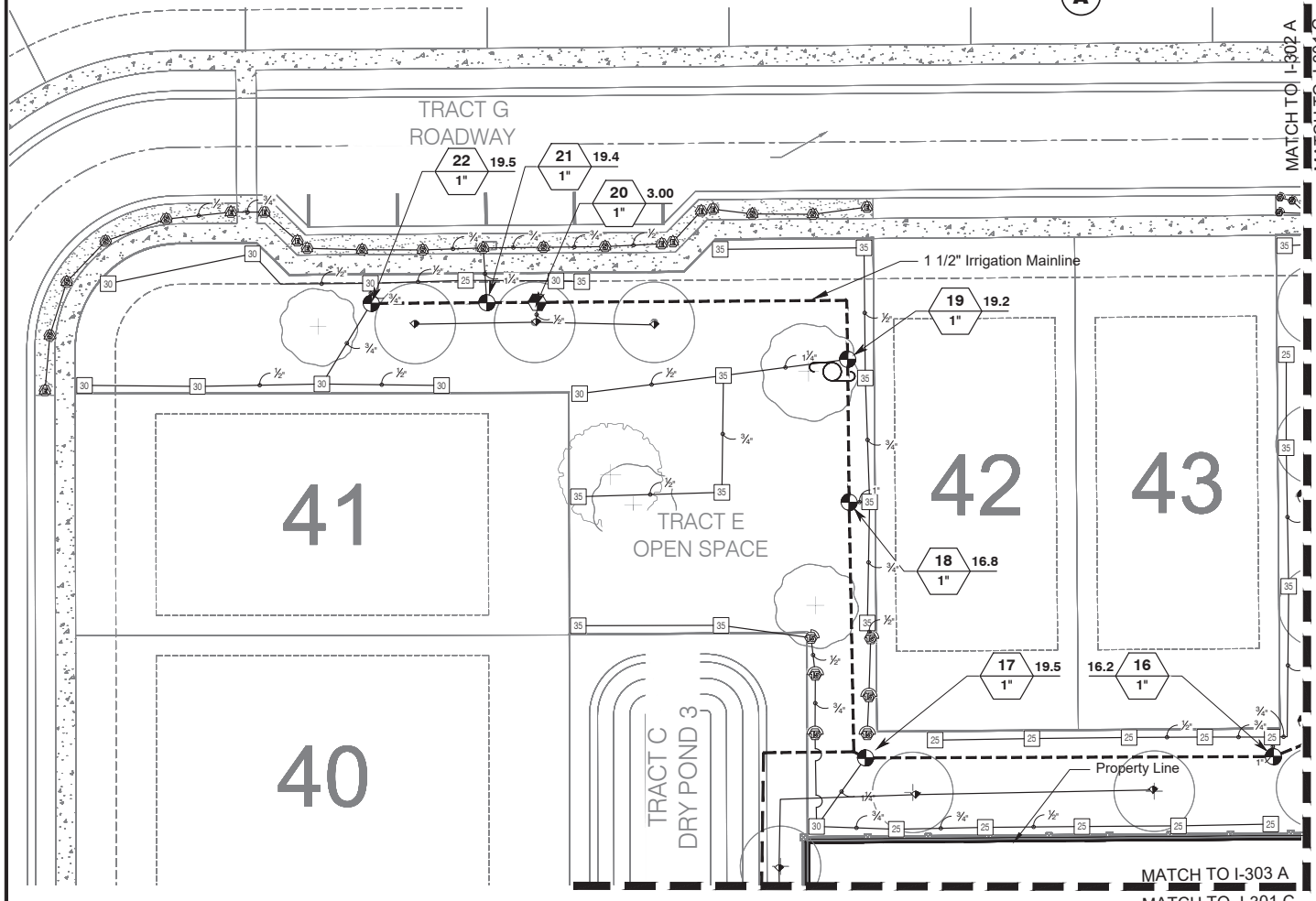


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Date: 2022.09.09 14:36:03 -0400

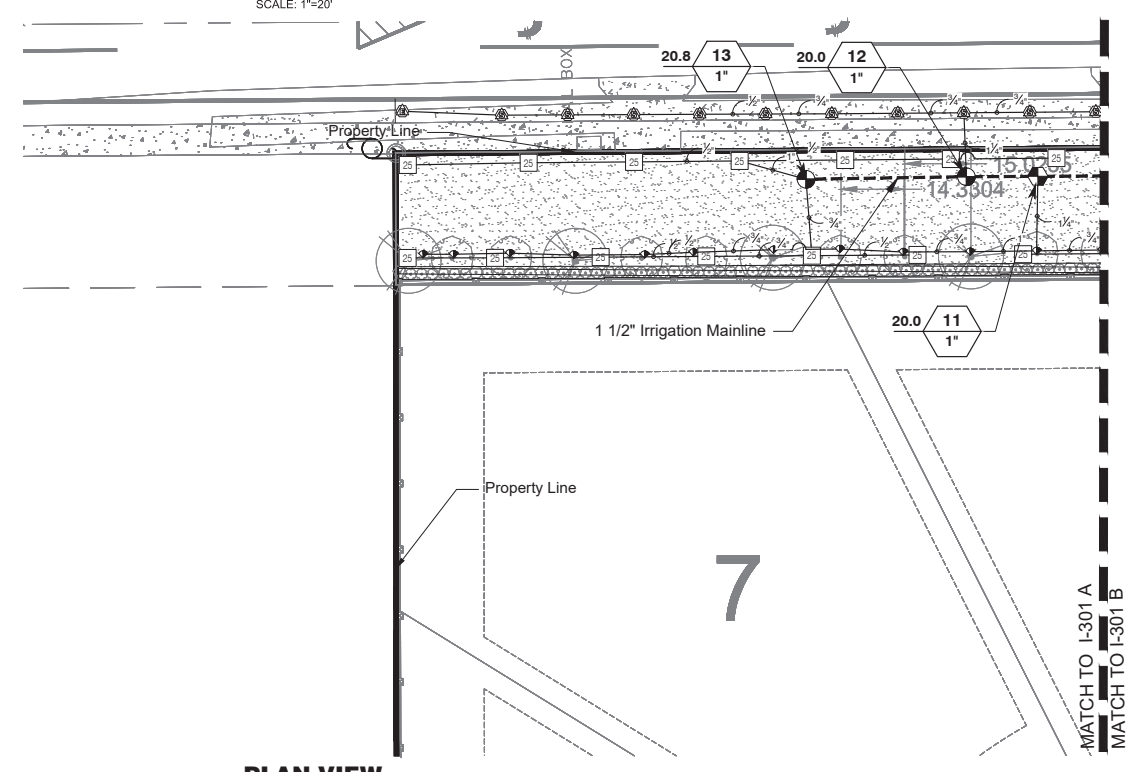
PROJECT NO.	1930
SCALE	nfs
DATE	June 2022
SHEET	I-001



**PLAN VIEW
LANDSCAPE TRACT**
A



**PLAN VIEW
TRACT D RECREATION**
C



**PLAN VIEW
TRACT D**
B

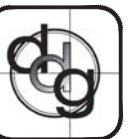
CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved Rejected
Hold on Certificate of Occupancy?
Yes No

Scale: 1"=20'
North arrow
Digital signature: William G. Maki
Date: 2022.09.09
14:36:19 -04'00'

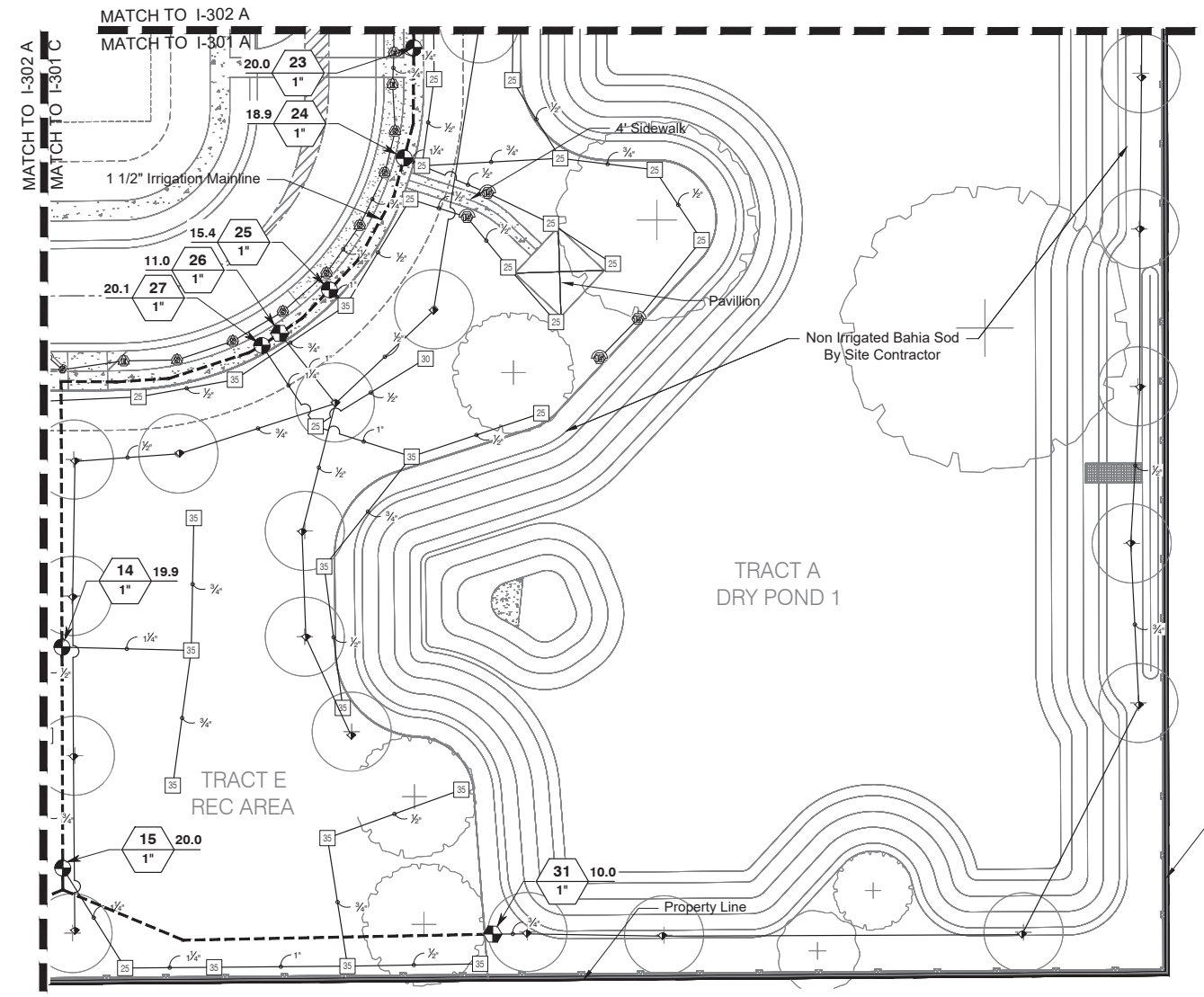
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REV	DATE	DESCRIPTION
10	05.17.2022	Revision by City Comments

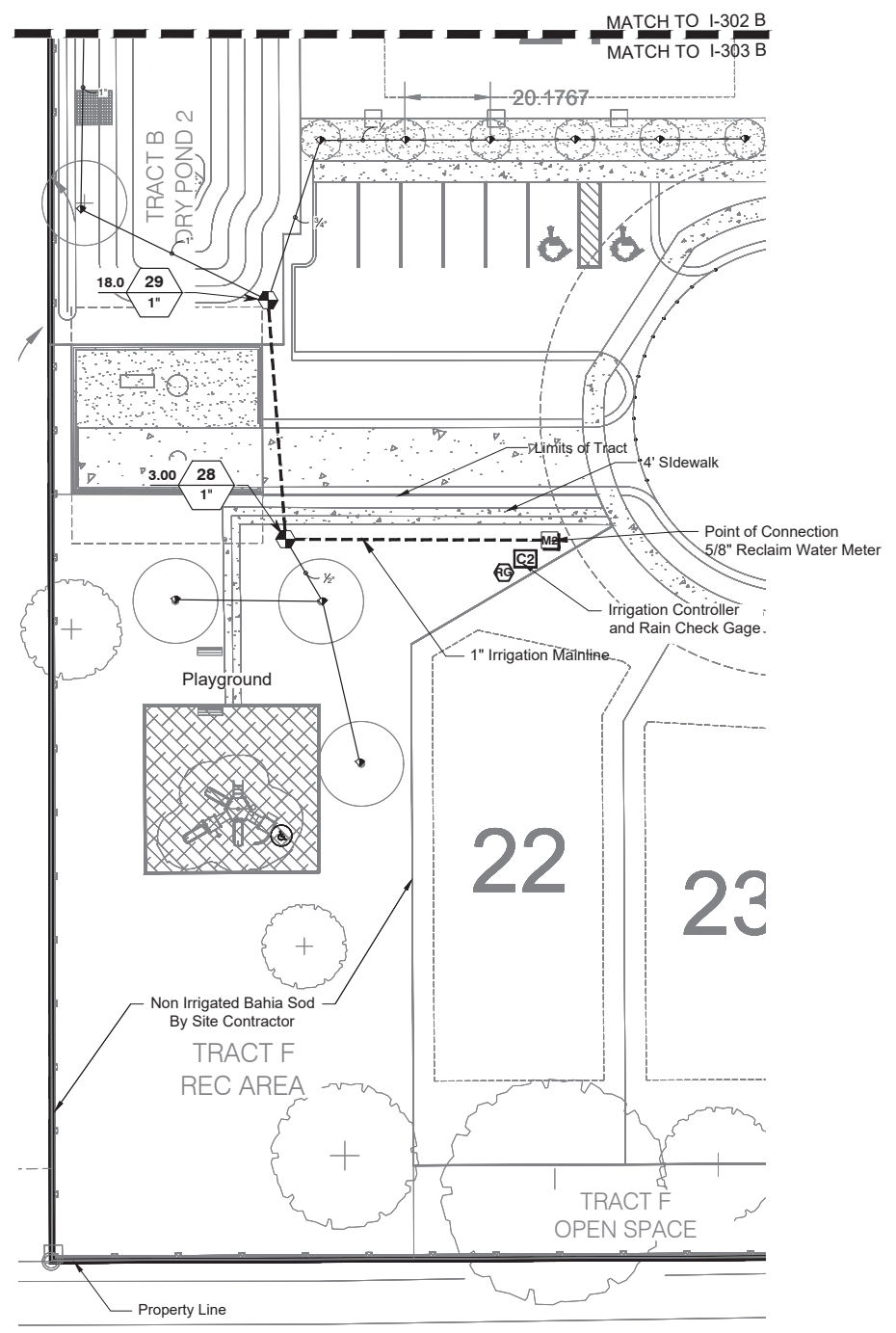
Irrigation Entrance Tract E & Tract D
Irrigation Plan
Haven Oaks
Orlando, Florida



PROJECT NO. 1930
SCALE 1"=20'
DATE June 2022
SHEET I-301



A PLAN VIEW LANDSCAPE TRACT
SCALE: 1"=20'



B PLAN VIEW LANDSCAPE TRACT
SCALE: 1"=20'

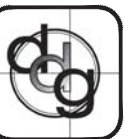
CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved Rejected
Hold on Certificate of Occupancy?
Yes No

NORTH
20' 0' 20'
Digitally signed by William G Mark...
Date: 2022.09.09 14:36:37 -04'00'
PROJECT NO. 1930
SCALE 1"= 20'
DATE June 2022
SHEET I-302

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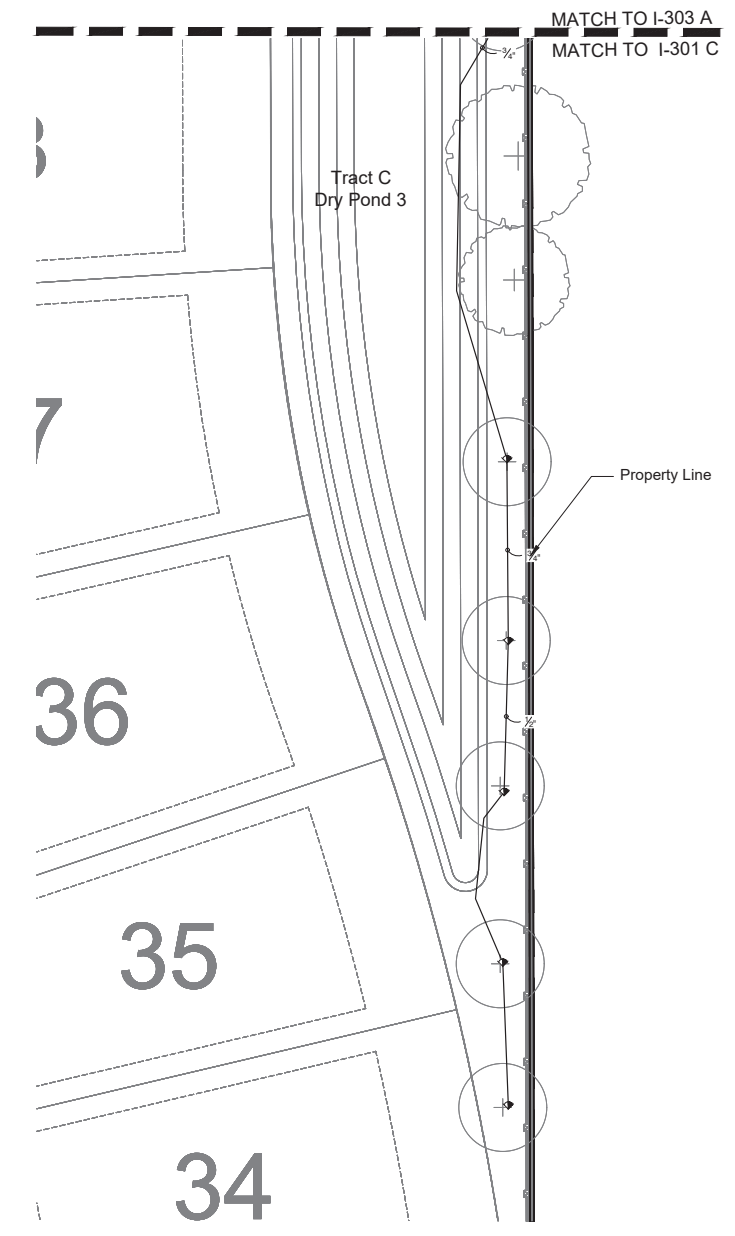
REV	DATE	DESCRIPTION	BY
10	05.17.2022	Revision by City Comments	GH

Tracts E & F Irrigation Plans
Irrigation Plan
Haven Oaks
Orlando, Florida

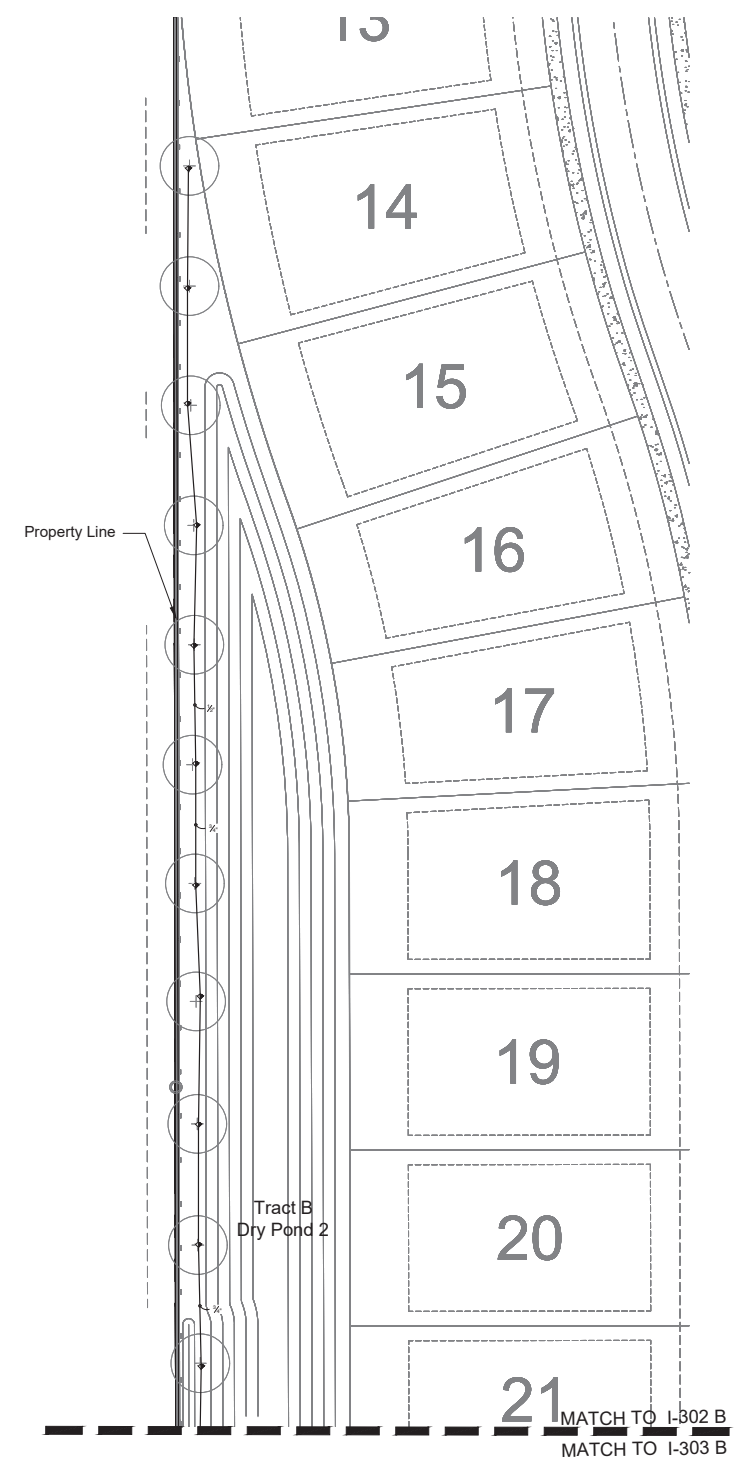


CITY OF EDGEWOOD
Zoning Plans Review

By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No



A PLAN VIEW LANDSCAPE TRACT
 SCALE: 1"=20'



B PLAN VIEW LANDSCAPE TRACT
 SCALE: 1"=30'

Digitally signed by
William G Maki
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 14:36:54

PROJECT NO. 1930
 SCALE 1"= 20'
 DATE June 2022
 SHEET I-103

0' 20'

NORTH

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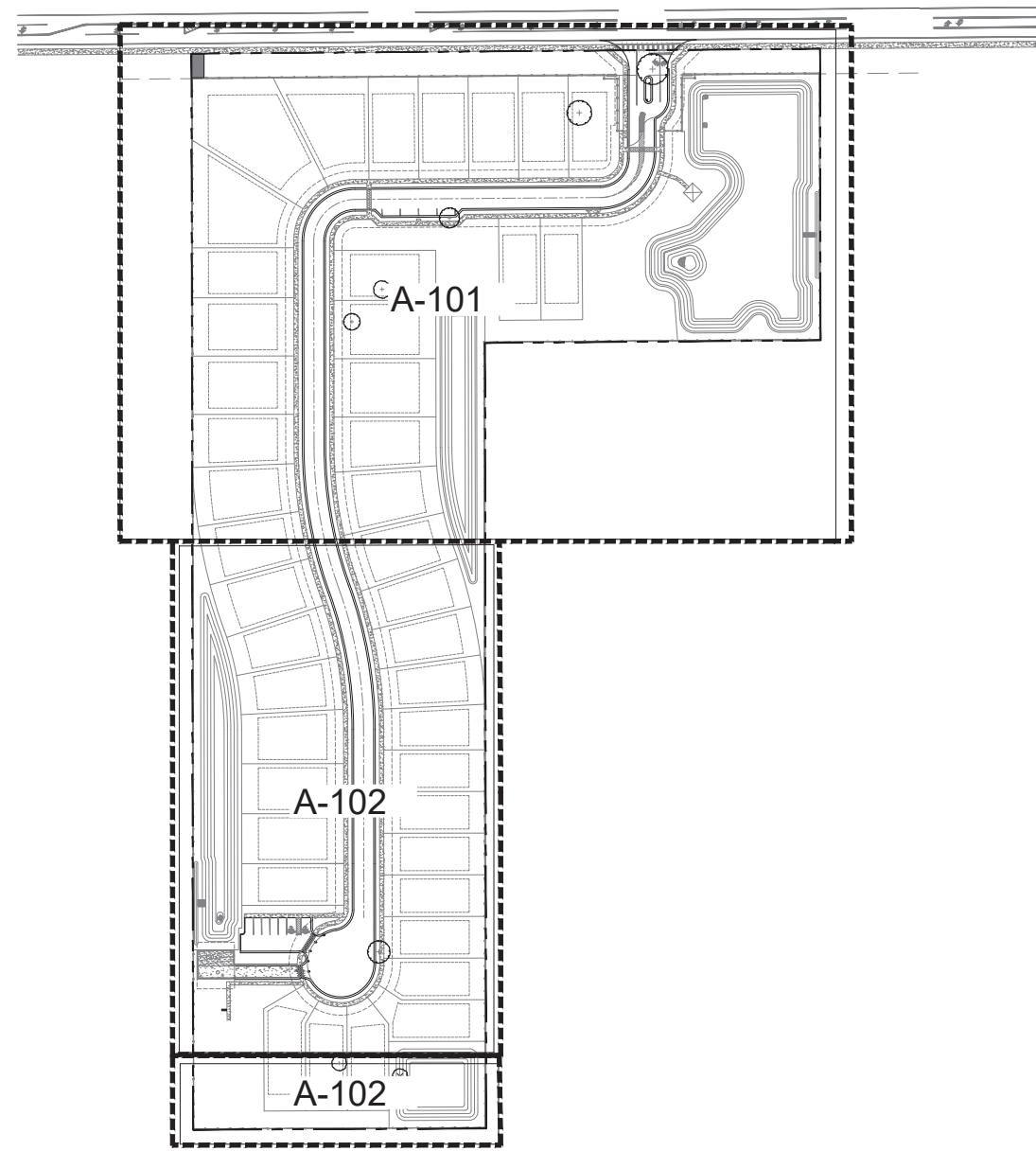
REV	DATE	DESCRIPTION	BY
10	05.17.2022	Revision by City Comments	GH

Ponds Landscape Plans
 Development Plan/Preliminary Subdivision Plan
Haven Oaks
 Orlando, Florida



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9/9/2022
CITY OF EDGEWOOD

CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved Rejected
Hold on Certificate of Occupancy?
Yes No
CITY OF EDGEWOOD HOLD



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REV	DATE	DESCRIPTION	BY

Key Sheet
Arbor Plan
Haven Oak
Orlando, FL



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Date: 2022.09.09 14:37:16 -04'00'

PROJECT NO. 1930
SCALE 1"=100'
DATE June 2022
SHEET K-103

Trees to be Saved

Tree ID	Tree Species	Tree Health	Tree DBH	Saved	Specimen 18" - 23"	Historic 24" >
3	Quercus laurifolia	Good	28	1		1
4	Quercus laurifolia	Good	25	1		1
6	Quercus laurifolia	Good	33	1		1
13	Quercus virginiana	Good	24	1		1
15	Quercus virginiana	Good	35	1		1
16	Quercus virginiana	Good	54	1		1
17	Quercus virginiana	Good	28	1		1
21	Quercus virginiana	Good	51	1		1
32	Quercus laurifolia	Good	25	1		1
33	Quercus laurifolia	Good	33	1		1
37	Quercus laurifolia	Good	19	1	1	
38	Quercus laurifolia	Good	26	1		1
39	Quercus laurifolia	Good	19	1	1	
52	Quercus laurifolia	Good	23	1	1	
53	Quercus laurifolia	Good	22	1	1	
64	Quercus virginiana	Good	31	1		1
65	Quercus virginiana	Good	31	1		1
72	Quercus virginiana	Good	31	1		1
73	Quercus laurifolia	Good	18	1	1	
74	Quercus virginiana	Good	38	1		1
77	Quercus virginiana	Good	55	1		1
Totals				21	5	16

Note:
All replacement trees shall have a 1 year warranty from the date of final acceptance, whether on common area or private lots. Replacement trees that die within the 1 year warranty period shall be replaced by the same species and size originally specified.

CITY OF EDGEWOOD
Zoning Plans Review
By Brett Sollazzo Date 9/26/2022
Approved X Rejected _____
Hold on Certificate of Occupancy?
Yes X No _____
CITY OF EDGEWOOD HOLD

Historic and Specimen Trees to be Removed

Tree ID	Tree Species	Tree Health	Tree DBH	Saved	Removed	Specimen 18" - 23"	Historic 24" >
19	Quercus laurifolia	Good	19		1	1	
20	Quercus virginiana	Good	18		1	1	
24	Quercus laurifolia	Good	27		1		1
35	Quercus laurifolia	Good	24		1		1
36	Quercus virginiana	Good	18		1	1	
40	Quercus laurifolia	Good	25		1		1
41	Quercus laurifolia	Good	24		1		1
76	Quercus virginiana	Good	73		1		1
82	Quercus virginiana	Good	38		1		1
84	Quercus virginiana	Good	30		1		1
Totals				0	10	3	7

Historic and Specimen Trees

Totals Trees to be saved:	21
Totals Trees to be removed:	10
Totals Trees to be replace:	10

The 10 trees to be replace, each tree is 6" DBH, 18" ht. and will be planted in the Park Tracts on the property.

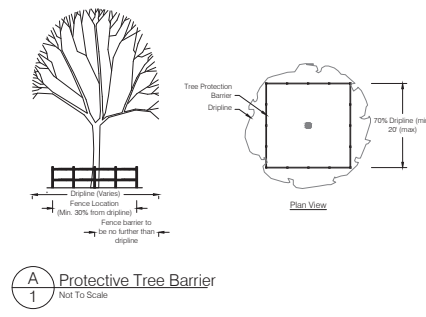
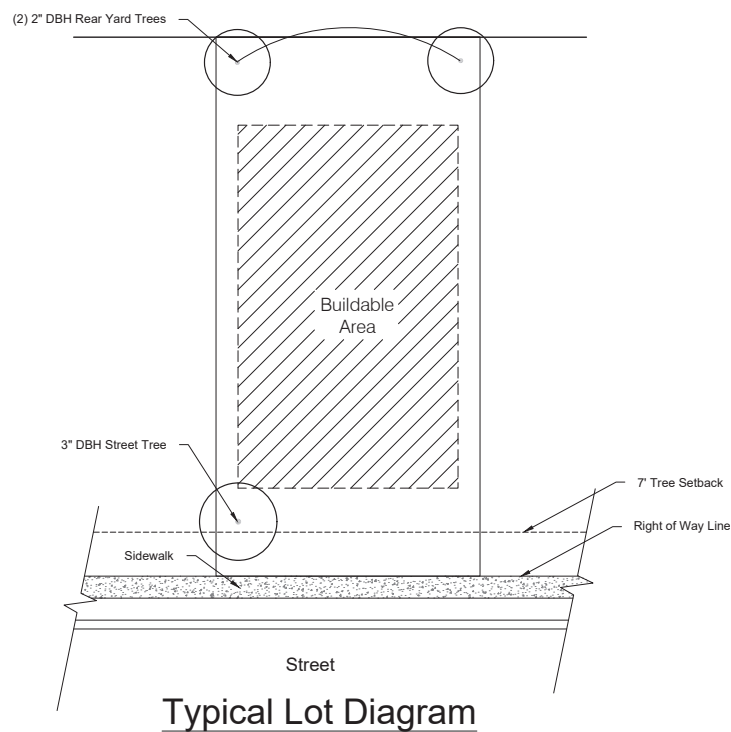
Total non Specimen to be Removed

Totals Trees to be saved:	57
Totals Trees to be removed:	375
Totals Trees to be replace:	375

375 Tree shall be planted as replacement. Replacement Trees shall be a min. 15 gal., 8' ht. Trees will be planted on Lots, Buffers or Common Areas. The applicant shall have the option of contributing to the city tree replacement fund for some or all of the replacement trees.

Replacement Tree Summary

Total Replacement Requirements:	375	Trees	(15 gal. 8' ht., 1 1/2")
Total Street Trees on Lots:	43	Trees	(3" DBH)
Total Rear Yard Lot Trees:	86	Trees	(2" DBH)
Total Trees Planted on Lots:	129	Trees	
Total Replacement Inches Required:	562.5	Inches	(375 x 1.5)
Total Replacement Inches on Lot:	301	Inches	(2" & 3" Trees)
Equivalent Inches Required for Replacement:	261.5	Inches	
Equivalent 15 gal. Trees @ 1.5 DBH:	174	Trees	
Total Replacement Inches in Open Space:	60	Inches	
Equivalent 15 gal. Trees @ 1.5 DBH:	40	Trees	



Historic and Specimen Trees in Poor Condition

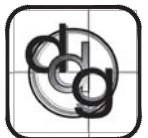
Tree ID	Tree Species	Tree Health	Tree DBH
1	Quercus laurifolia	Poor	31
2	Quercus laurifolia	Poor	35
5	Quercus laurifolia	Poor	25
7	Quercus laurifolia	Poor	47
8	Quercus laurifolia	Poor	23
9	Quercus laurifolia	Poor	28
10	Quercus laurifolia	Poor	19
11	Quercus laurifolia	Poor	21
12	Quercus laurifolia	Poor	20
14	Quercus virginiana	Poor	55
18	Quercus laurifolia	Poor	38
22	Quercus laurifolia	Poor	38
23	Quercus laurifolia	Poor	28
25	Quercus laurifolia	Poor	24
26	Quercus virginiana	Poor	23
27	Quercus laurifolia	Poor	19
28	Quercus laurifolia	Poor	19
29	Quercus laurifolia	Poor	23
30	Quercus laurifolia	Poor	32
31	Quercus laurifolia	Poor	23
34	Quercus laurifolia	Poor	18
42	Quercus laurifolia	Poor	23
43	Quercus laurifolia	Poor	26
44	Quercus laurifolia	Poor	27
45	Quercus laurifolia	Poor	22
46	Quercus laurifolia	Poor	28
47	Quercus laurifolia	Poor	28
48	Quercus laurifolia	Poor	64
49	Quercus virginiana	Poor	25
50	Quercus laurifolia	Poor	25
51	Quercus virginiana	Poor	19
54	Quercus laurifolia	Poor	28
55	Quercus virginiana	Poor	42
56	Quercus virginiana	Poor	24
57	Quercus virginiana	Poor	61
58	Quercus virginiana	Poor	43
59	Quercus virginiana	Poor	32
60	Quercus laurifolia	Poor	42
61	Quercus laurifolia	Poor	20
62	Quercus laurifolia	Poor	28
63	Quercus laurifolia	Poor	21
66	Quercus virginiana	Poor	27
67	Quercus virginiana	Poor	30
68	Quercus virginiana	Poor	56
69	Quercus laurifolia	Poor	32
70	Quercus virginiana	Poor	28
71	Quercus virginiana	Poor	31
75	Quercus virginiana	Poor	21
78	Quercus virginiana	Poor	43
79	Quercus virginiana	Poor	49
80	Quercus virginiana	Poor	41
81	Quercus laurifolia	Poor	42
83	Quercus laurifolia	Poor	34
85	Quercus virginiana	Poor	27
86	Quercus laurifolia	Poor	25
Total Trees in Poor Condition			55

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9/9/2022
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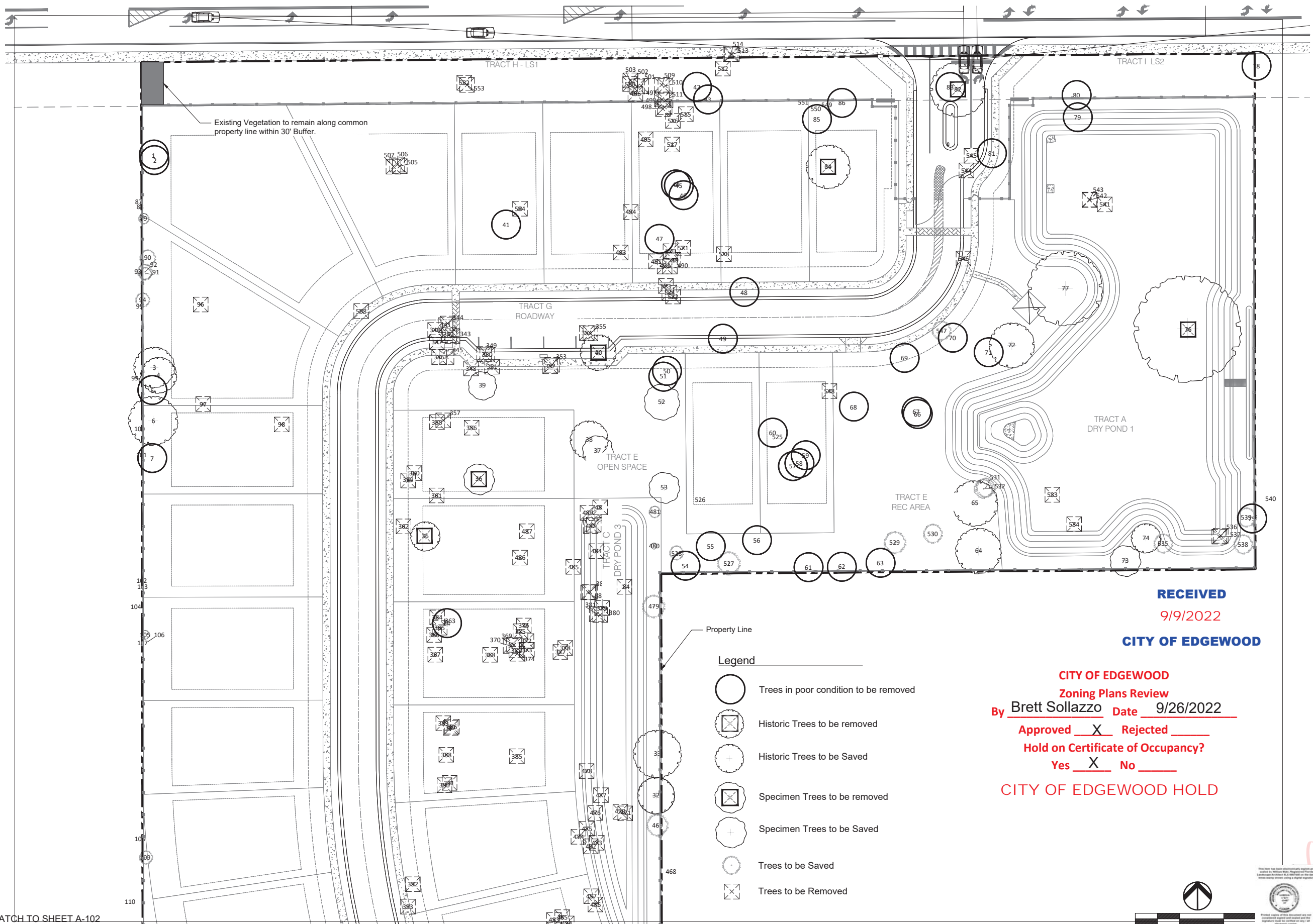
GH	BY
Revisions per City Comments	DESCRIPTION
1 07/27/2022	REV DATE

Arbor Schedule & Details
Arbor Plan
Haven Oak
Orlando, Florida



Digitally signed by William G Maki
Date: 2022.09.09 14:37:25 -0400

PROJECT NO.	1930
SCALE	NTS
DATE	June 2022
SHEET	A-001

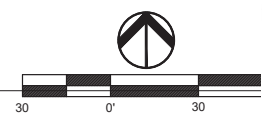


- Legend**
- Trees in poor condition to be removed
 - Historic Trees to be removed
 - Historic Trees to be Saved
 - Specimen Trees to be removed
 - Specimen Trees to be Saved
 - Trees to be Saved
 - Trees to be Removed

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 9/9/2022
CITY OF EDGEWOOD

CITY OF EDGEWOOD
 Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No
CITY OF EDGEWOOD HOLD

MATCH TO SHEET A-102
 MATCH TO SHEET A-101



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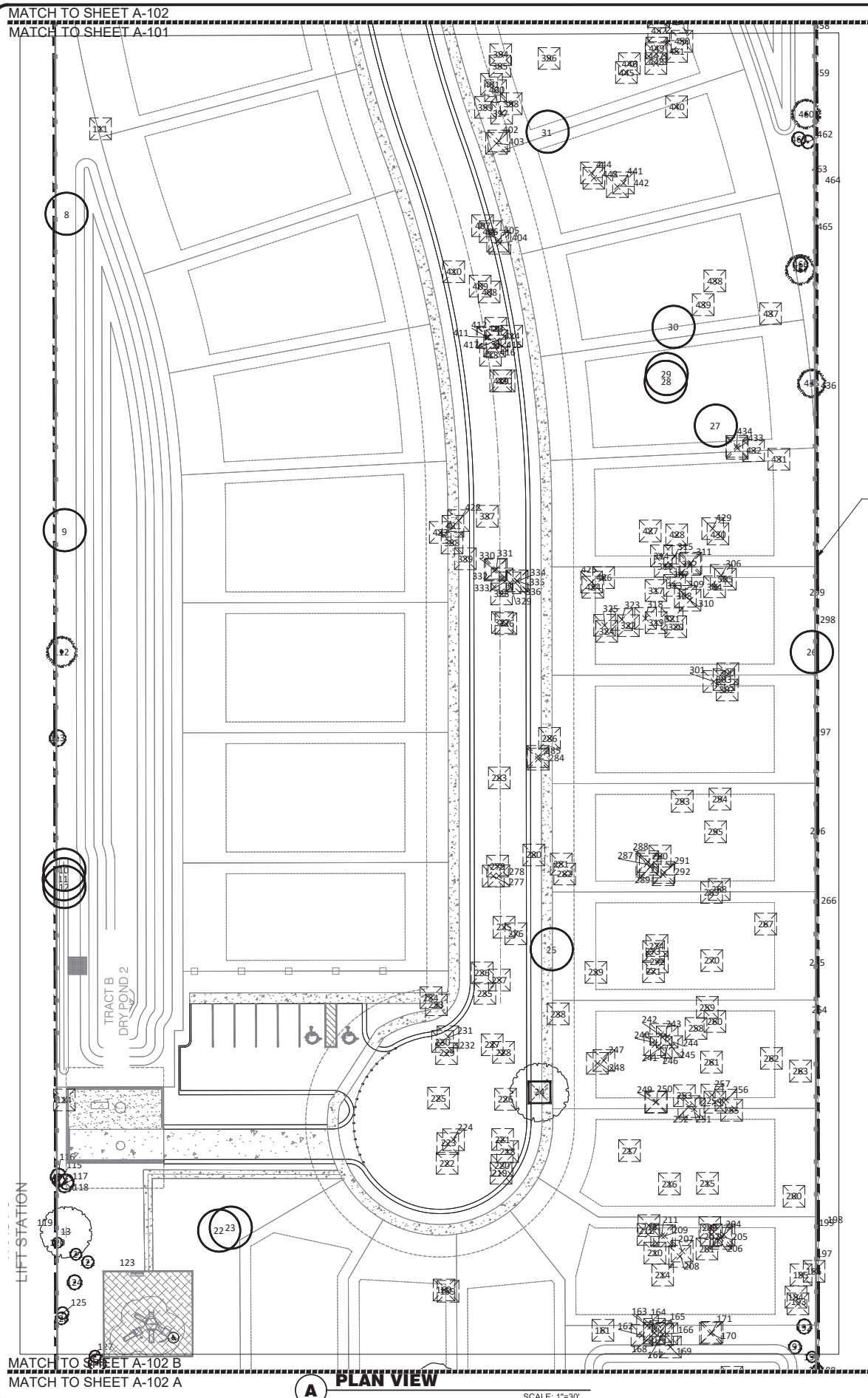
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REV	DATE	DESCRIPTION	BY

Trees Removal & Saved Plan
 Arbor Plan
 Haven Oak
 Orlando, FL

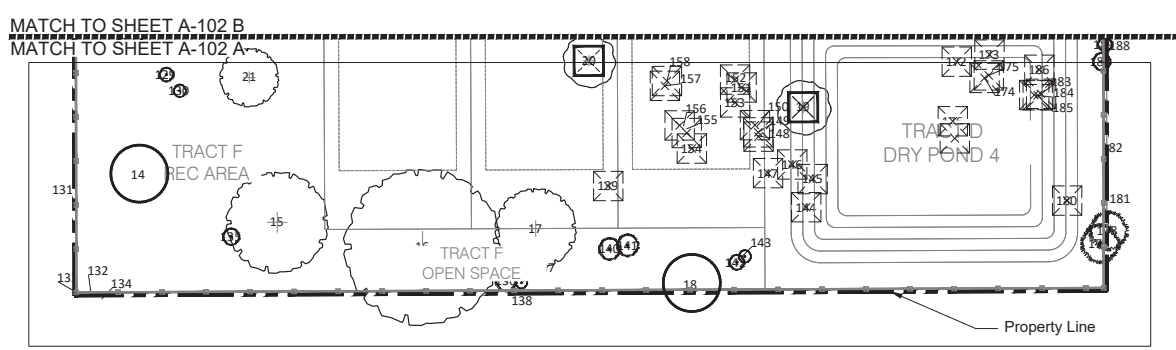


PROJECT NO. 1930
 SCALE 1"=30'
 DATE June 2022
 SHEET A-101



A PLAN VIEW

SCALE: 1"=30'

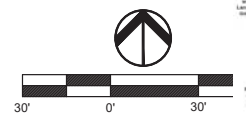


B PLAN VIEW

SCALE: 1"=30'

- Legend**
- Trees in poor condition to be removed
 - Historic Trees to be removed
 - Historic Trees to be Saved
 - Specimen Trees to be removed
 - Specimen Trees to be Saved
 - Trees to be Saved
 - Trees to be Removed

RECEIVED
 9/9/2022
CITY OF EDGEWOOD
 CITY OF EDGEWOOD
 Zoning Plans Review
 By Brett Sollazzo Date 9/26/2022
 Approved Rejected
 Hold on Certificate of Occupancy?
 Yes No
CITY OF EDGEWOOD HOLD



Digitally signed by
William G Maki
 Date: 2022.09.09 14:38:11 -0400

REV	DATE	DESCRIPTION	BY

Tree Removal & Saved Plan
 Arbor Plan
 Haven Oak
 Orlando, FL



PROJECT NO. 1930
 SCALE 1"=30'
 DATE June 2022
 SHEET A-102

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**Edgewood Police Department
City Council Report
February 2023**

	January	February
Residential Burglaries	0	0
Commercial Burglaries	0	0
Auto Burglaries	1	2
Theft	3	2
Assault/Battery	1	3
Sexual Battery	0	0
Homicides	0	0
Robbery	0	0
Traffic Accident	14	15
Traffic Citations	177	142
Traffic Warnings	94	116
Felony Arrests	4	1
Misdemeanor Arrests	4	2
Warrant Arrests	4	1
Traffic Arrests	1	0
DUI Arrests	1	0
Code Compliance Reports	31	24

Department Highlights:

- On February 1st the Edgewood Police Department welcomed the new Chief of Police Dean DeSchryver to the Agency.
- On February 7th, the Edgewood Police Department hosted a blood drive in the Edgewood Complex.
- The evening of February 7th, the Edgewood Police Department held a mandatory Officer and Staff meeting to introduce the New Chief of Police Dean DeSchryver and say goodbye to our Interim Chief of Police Peter Gauntlett.
- On February 12th, Officers participated in the FDOT Super Bowl Impaired Driving Campaign to promote not drinking and driving after the Super Bowl Festivities are over.
- From February 20th through February 24th, Accreditation Manager Adam LaFan and Police Clerk Haymee Watkins attended an Accreditation Conference.
- On February 28th Officer Christopher Meade preformed a traffic stop on a vehicle that had an expired tag, an owner who had 2 suspensions on his driver’s license, and window tint so dark you could not see into the vehicle. During the traffic stop the driver of the vehicle failed to comply with Officer Commands and had to be removed from the vehicle. The driver ended up with one citation, one criminal citation, an arrest for driving with a suspended license and an arrest for resisting arrest without violence.



Memo

To: The Honorable Mayor and City Council
From: Sandra Riffle, City Clerk
Date: March 17, 2023
Re: Charter Review Commission

In the February 21, 2023 Council meeting, we discussed the Charter Review Commission (CRC), which is required to be organized by May 1, 2023.

The criteria for selecting member of the CRC are as follows:

- The mayor and each member of the city council, other than the council president, shall appoint one (1) member to the Charter Review Commission.
- The council president shall appoint two (2) members to the Charter Review Commission.
- At least five (5) members of the Charter Review Commission shall be electors who are bona fide residents of the City of Edgewood.
- Up to two (2) members of the Charter Commission may be non-resident owners of non-residential property located within the City of Edgewood.
- In the event that any member of the city council or the mayor fails to appoint a member of the Charter Review Commission by the time required herein, the city council shall make appointments to any unfilled seats by majority vote at the city council's next regular meeting.

As of the date of this memo, I have received four out of the seven recommendations. If you have not already done so, **please submit your recommendations to me by April 12, 2023** for the April 18, 2023 City Council meeting. With your submittal **please include a short bio of the recommended CRC member** to be included in the next agenda package. Thank you.