

PLANNING AND ZONING BOARD MEETING

City Hall – Council Chamber 405 Bagshaw Way, Edgewood, Florida Monday, December 13, 2021 at 6:30 PM

Steve Kreidt Chair Ryan Santurri Vice-Chair David Gragg Board Member David Nelson Board Member Melissa Gibson Board Member

AGENDA

WELCOME! We are very glad you have joined us for today's Planning and Zoning meeting. The Planning and Zoning Board is an advisory board to City Council comprised of citizen members who voluntarily and without compensation devote their time and talents to a variety of zoning and land development issues in the community. All P&Z recommendations are subject to final action by City Council. The results of today's meeting will be presented at the noted City Council meeting for approval of recommended actions. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

- A. CALL TO ORDER
- B. PLEDGE OF ALLEGIANCE
- C. ROLL CALL AND DETERMINATION OF QUORUM
- D. APPROVAL OF MINUTES
 - 1. October 11, 2021 P&Z Meeting Minutes

E. NEW BUSINESS

- 1. Details of December 13, 2021 Meeting
- 2. City Planner Cover Letter Mecato's
- 3. Mecato's City Consultant Reports
- 4. Applicant's Response to Consultants
- 5. Mecato's Applications Building, Waiver and Variance
- 6. Mecato's Stormwater Report
- Mecato's Site Plan
- 8. Comprehensive Plan Amendments City Planner Cover Letter

F. UNFINISHED BUSINESS

G. COMMENTS/ANNOUNCEMENTS

UPCOMING MEETINGS

Tuesday, December 21, 2021	City Council
Monday, January 10, 2021	Planning & Zoning

H. ADJOURNMENT

General Rules of Order

You are welcome to attend and express your opinion. The Board is pleased to hear non-repetitive comments related to business before the Board; however, a **five (5) minute time limit per person** has been set by the Board. Large groups are asked to name a spokesperson. If you wish to appear before the Board, please fill out an Appearance Request Registration Form and give it to the City Clerk. When recognized, state your name and speak directly into the microphone. The City is guided by **Roberts Rules of Order** in governing the conduct of the meeting. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at (407) 851-2920 at least 24 hours in advance of the meeting.

We ask that all electronic devices (i.e. cell phones, pagers) be silenced during our meeting!

Thank you for participating in your government!

Appeals

According to Edgewood City Code Section 26-24 (2), "any person aggrieved by any recommendation of the Board acting either under its general powers or as a Board of Adjustment may file a notice of appeal to the City Council within seven (7) days after such recommendation is filed with the City Clerk. Per **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceeding and may need to ensure that a verbatim record is made.

Americans with Disabilities Act

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



Planning and Zoning Board Draft Minutes October 11, 2021

Call to Order

Vice-Chair Santurri called the meeting to order at 6:30 pm and led the Pledge of Allegiance.

(absent)

Roll Call and Determination of Quorum

The following Planning and Zoning and staff members were present.

Board Members: (Quorum)
Steve Kreidt, Chair
Ryan Santurri, Vice-Chair

David Gragg, Board Member David Nelson, Board Member Melissa Gibson, Board Member

Staff:

Sandra Riffle, Deputy City Clerk Tim Cardinal, Police Sergeant Drew Smith, City Attorney

Approval of Minutes

• September 13, 2021, Meeting Minutes Vice-Chair Santurri made a motion to approve the September 13, 2021 meeting minutes; second by Board Member Nelson. The motion was approved (3/0).

New Business

• Ordinance 2021-11 – Automotive Service Stations Zoning

AN ORDINANCE OF THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA AMENDING CHAPTER 134, "ZONING," SECTION 134-514, RELATED TO AUTOMOBILE SERVICE STATIONS; PROVIDING THAT AUTOMOBILE SERVICE STATIONS MAY BE PERMITTED IN THE CITY'S INDUSTRIAL ZONING DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS, AND EFFECTIVE DATE.

Attorney Smith explained that service stations cannot be zoned out of town; therefore, the City is opening up the Industrial zoning district.

In response to Vice-Chair Santurri, Attorney Smith said the Ordinance is consistent with State Law.

There were no comments.

Board Member Gibson made the motion to recommend approval of Ordinance 2021-11; second by Vice-Chair Santurri. The motion was approved (3/0).

The motion was approved with a roll call vote.

Board Member Gibson	Favor
Board Member Nelson	Favor
Vice-Chair Santurri	Favor

Comments/Announcements

Deputy City Clerk distributed flyers for the 2021 Trunk or Treat event to the Planning and Zoning Board members and encouraged them to attend.

Adjournment		

Vice-Chair Santurri motioned to adjourn the meeting at 6:36 pm; second by Board Member Nelson.

Steve Kreidt, Chair	r		Sandra Riffle, Deputy City Clerk



Memo

To: Planning and Zoning Board Members

CC: Bea Meeks, Drew Smith, Ellen Hardgrove, David Mahler, Allen Lane,

Jim Winter

From: Sandy Riffle, Deputy City Clerk

Date: December 7, 2021

Re: New Business Items Planning and Zoning Meeting December 13, 2021

For the December 13, 2021 Planning and Zoning Board meeting, the following is provided in your agenda packet for your review and consideration.

1. Mecato's Bakery and Café - Site Plan Review, Waivers and Variance Applications 5645 Hansel Avenue

- Cover Letter from City Planner Ellen Hardgrove
- City Consultant Reports Planner, Engineer and Landscape Engineer
- Mecato's/Applicant's Responses
- Application pages Building, Waiver and Variance Applications
- Mecato's Stormwater Report
- Mecato's Plans

The Notice of Public Hearing letters was sent on November 30, 2021 to those property owners within 500 feet of the subject property. There were 51 notices provided by U.S. Mail. No objections or comments were received at City Hall as of the date of this memo.

A legal advertisement was placed in the Orlando Sentinel on Friday, December 3, 2021.to advertise the requested waivers, as required by City Code.

The City Planner is prepared to respond to any questions you may have regarding the variance and waiver requests. The applicant/representative for Mecato's Bakery and Café will also be in attendance.

2. Comprehensive Plan Amendment

• City Planner Memo



Date: December 3, 2021

To: Planning and Zoning Board (P&Z)

From: Ellen Hardgrove, City Planning Consultant

XC: Sandy Riffle, Deputy City Clerk

Bea Meeks, City Clerk

Allen Lane, CPH Engineering, City Engineering Consultant

Jim Winter, CPH Engineering, City Landscape Architect Consultant

Drew Smith, City Attorney

Re: Review of Mecatos Bakery and Café Site Plan/Waiver/Variance Application

This agenda item is consideration of site plan approval for the Mecatos Bakery and Café on the property located at the northeast corner of Hansel and Hoffner Avenues, within the ECD. The proposal is an expansion of the existing building and a retrofit of the site to meet most of the ECD site design standards. Waivers are being requested where site standards are not met. A variance is also requested.

Staff's review of the application resulted in the need for a significant amount of changes. Whereas, the applicant has agreed to make most of the changes, the applicant could not provide revised plans/information in a timeframe that would allow adequate time for a staff re-review. Code Section 134-138, states that P&Z is responsible for ensuring that "all components of the applications are compatible with this Code and all provisions of this article." It is unlikely that this determination can be made without the resubmittal/additional information. Proceeding with the public hearing is premature.

Staff is recommending P&Z table the agenda item. The delay will allow sufficient time for the applicant to revise and resubmit the site plans and other necessary information, allow adequate time for staff to review the resubmittals, and enable P&Z and the public a full understanding of the project.

For P&Z's information, attached to this report are the staff reports from the City's Engineer, Landscape Architect and Planner which detail the deficiencies in the application. The applicant's responses to the staff reports are also attached.

ESH

Ellen S. Hardgrove, AICP, Planning Consultant, Inc.

Date: November 18, 2021

To: Brett Solazzo, Administrative Assistant From: Ellen Hardgrove, City Planning Consultant

XC: Sandy Riffle, Deputy City Clerk

Bea Meeks, City Clerk

Allen Lane, CPH Engineering, City Engineering Consultant

Jim Winter, CPH Engineering, City Landscape Architect Consultant

Re: Review of Mecatos Site Plan Submittal

The comments below reflect a review of the Mecatos site plan and waiver application. They are divided into General Code Requirements and ECD Requirements. Based on the extent of these comments as well as the comments of the City's Engineer and Landscape Architect, it would be beneficial to delay the public hearing until the plans are revised and resubmitted.

A less than optimal, but still available option, is the applicant can present a list of acceptable changes that will be made prior to City Council's hearing; with that list presented to P&Z at the December meeting. If the applicant chooses this option, the deadline for the acceptable changes to be submitted to City Hall is **November 29th at noon.** The applicant's response should address each of staff's comment. For example,

- Sheet C-002 will be submitted by X date.
- Sheet C-100 will be changed to reflect the correct zoning: Edgewood Central District.

The noted deadline will allow time to finalize a report that will be sent to P&Z. Failure to meet that deadline will result in a staff recommendation to table the agenda item until January at the earliest.

GENERAL CODE REQUIREMENTS

Sheet C-000 dated October 25, 2021

This sheet references sheet C-002 (Existing Conditions) in the Index of Sheets. This sheet is not part of the submittal. **Action Needed: Submit Sheet C-002**

Zoning is incorrectly identified: The zoning is Edgewood Central District. This is not a "Special District," it is the zone. Action Needed: replace the identified C-1 zoning with Edgewood Central District; and eliminate "Special District."

Parking is calculated based on a 2309 gross square foot (GSF) building. Sheet C-101 identifies the GSF as "approx." 2309. Approximately is not acceptable. Architectural plan drafts submitted before the formal application identified a 50 x 48.25 dimensioned building, which totals 2412.5 GSF. Action Needed: Submit the Architectural Floor Plan as part of this application package and provide consistency of building square footage.

Per ECD, the front setback is a maximum; i.e., it is a build-to line. Action Needed: Change the sheet to indicate the build to line not minimum front setback and add a note stating that "the 62 feet front setback is allowed per Code Section 134-474(c) Expansion of Existing Buildings."

The rear and side setbacks are also identified incorrectly. Action Needed: Please refer to Code Section 134-468 and provide the correct setbacks.

ECD has other minimum site design standards that need to be included in the table as listed in Section 134-468: *Minimum lot width (corner lot), floor area ratio,* and *Minimum percentage of lot width occupied by building at the build line.* **Action needed: Include Minimum lot width (corner lot), floor area ratio, and Minimum lot width to building width (front elevation) and that proposed in the table.** This will help to provide the checklist of necessary waivers for this development.

The Parcel Acreage identified and the Area Pre-Development Total are not equal:39,938 square feet = 0.917 acre, not 0.908. **Action Needed: Provide consistency of parcel size.**

Total Impervious Surface is identified as 21,053 square feet (pre) and 19,031 square feet (post). This is the same as that identified for total pavement area, seeming to exclude the building square footage. Action Needed: revise or clarify what appears to be an error.

For the total pervious area, identify the percentage used to calculate the pervious area in pavers. It appears to be 93.28%: 17,948-13,784 = 4164; 4164/4464 = .9328. Justification is needed for this percentage and how the permeability of the pavers will be maintained over time. **Action Needed: Provide the requested information and amend Pervious Table if necessary.**

The existing building square footage in the Allowable Expansion Area (1,443) is not the same as listed in the Total Impervious Building "Pre Development" (1,439) **Action Needed: provide consistency.**

The sheet identifies a waiver is being requested for Lot to Building Ratio. Per Code Section 134-474(c), this waiver is not needed. Action Needed: Add a note to either the current location on the site plan or the table referenced above to identify that "per Code Section 134-474(c) Expansion of Existing Buildings, the minimum lot to building ratio is not required since the building is being expanded toward SR 527."

Action Needed: For the Proposed Expansion Area, identify the area of expansion only, e.g., 866 square feet; similarly, the Allowable Expansion Area is 1,000 square feet.

Additional comments that potentially relate to the information provided on the cover are provided under "Code Section 134-135 Site Plan Review" below.

Sheet C 001-C-001

Action Needed: Change Drainage Note 1 references Orange County add "City standards" since the City will review the construction documents as well as Orange County.

Paving and Grading Note 5 identifies the architect as providing the paving and grading design. This was not provided. **Recommended Action: Provide this information or change note if this is incorrect.**

Standard Sewer and Water Notes 1, 5 and 6 identify Orange County mains. Action Needed: If OUC is the provider of water to the site, amend these notes. Note 16 references only Orange County inspectors need to be notified. Action Needed: Add City of Edgewood, OUC and FDOT.

Note 24 references connection to Orange County system. Action Needed: If water is from OUC, reference OUC's standards/manuals.

Code Section 134-135 Site Plan Review

Action Needed: 134-135(2) Rename the "Tree Survey" to "Tree, Boundary and Topographic survey."

134-135(6) A traffic impact analysis of projected trip generation, including methods of circulation for the development, is required to be submitted. Action Needed: Add to Sheet 000, the trip generation for the use compared to a café/bakery without drive through (the previous use).

Per Code Section 134-137(4), the site plan must demonstrate safe and convenient ingress to and egress from the property and internal circulation, including access of service and emergency vehicles and design of off-street parking and loading areas.

Analysis has not been submitted related to the two-way traffic driveway on the south and west sides of the building and the potential points of conflict between vehicles entering and exiting the Hoffner and Hansel driveways with vehicles attempting to circumnavigate the building, vehicles entering the drive-through lane, the potential for back up in the drive-through lane, and parking as well as onsite loading/unloading. Safety of pedestrians within the primary parking area for the use is also a significant concern given the potential conflicts described above.

Recommenced Action: Eliminate the two-way drive aisles and provide the standard drivethrough lane length (see illustration later in the report).

Action Needed: Add a cross walk across the Hansel Avenue driveway.

134-135(7) The location, size and capacity of all existing and proposed utilities, including but not limited to, potable water, sanitary sewer, storm sewer, electric power, natural gas, and existing fire hydrant locations: **Action Needed: Provide this information. In addition, a letter** from the fire department is needed to confirm adequate access to a fire hydrant is

available. There is concern that use of the fire hydrant across three lanes of traffic may be unacceptable to for new construction.

134-135(15) Signage is not included in the submittal and will be reviewed under a separate sign permit application.

Note that Code Section 134-138 requires a tree removal application upon building permit application and that the application is required to be reviewed by the planning and zoning board. In an effort of efficiency, the applicant may want to submit this application concurrent with the site plan review application. Note that in addition to the three trees proposed for removal (denoted with "X" on the "Tree Survey" sheet), additional trees may be impacted by grading for the stormwater pond in the NE corner. **Recommended Action: Submit a tree removal application prior to P&Z hearing so it can be included in the submittal package.**

Sheet C-100 -C-100

Code Section Sec. 130-4 prohibits impervious paving within a six-foot radius of the trunk perimeter of any existing tree. Trees four feet or more in diameter as measured three feet above actual grade require additional space. Action Needed: Review the distances and revise the site plan accordingly, paying particular attention to the parking on the east side of the property, particularly the southernmost space. One solution could be to shorten this space and sign for compact car only. Whereas code does not allow for compact spaces, according to the parking calculation, only 29 spaces are needed and 31 provided; thus, the compact space would be considered an extra space.

The Demo Sheet shows the concrete driveway at the Hoffner Avenue right-of-way being removed. Action Needed: Eliminate "Concrete" from the background of this sheet.

This sheet shows a 7 feet high fence along the east property line. Action Needed: Provide consistency between this sheet and the waiver, which is a request for a 6 feet high fence.

Code Section 134-142 requires vehicular and pedestrian cross access to be provided between adjacent parcels. To the east is residential land. To the north is a nonresidential parcel, however, there is no benefit to connecting that parking area to that on the subject property given the one-way circulation on the subject property. In addition, there is a significant grade difference between the two nonresidential parcels. The City's engineer has determined it is not practical to require the cross access on the subject property; however, a variance is required to be approved to allow the elimination of the Code requirement.

Variances are allowed where there are practical difficulties or unnecessary hardships in complying with the strict letter of Code. The criteria for approval are met.

- 1. There are special conditions and circumstances which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- 2. The special conditions and circumstances do not result from the actions of the applicant.
- 3. That approval of the variance requested will not confer on the applicant any special privilege that would be denied to other lands, buildings or structures in the same situation.
- 4. The literal interpretation of the provisions contained in this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
- 5. The variance approved is the minimum variance that will make possible the reasonable use of the land, building or structure.
- 6. The approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Sheet C-400

The regular parking space should be 9×20 not 9×18.5 . Action Needed: Correct and make the corrections where necessary on sheet C-100.

Demo Sheet

A sign is located in the southwest corner of the site. It should be noted that only one ground sign per frontage is allowed. Retaining this sign will count toward the maximum copy area provided onsite as well as the allowable ground signs.

Sheet C-100 shows the creation of an 8.5 feet wide buffer along Hoffner, an expansion of ± 3.5 feet, however, demolition is not shown to accommodate this expansion. **Action Needed: Modify the demo sheet to match the site plan.**

ECD REQUIREMENTS

Wall where adjacent to residential

Per Code Section 134-468 (g)(1) a, where EC District is adjacent to property with a low density residential future land use designation, a seven-foot high opaque brick wall, of colors normally found in manufactured fired brick, is required to be constructed on the property line adjacent to the residential designation. The property to east has a County future land use designation of Low Density Residential.

Mecatos Site Plan Application City Planner Review November 18, 2021

A waiver is being requested for the brick wall. In lieu of the brick wall, a beige six (or seven) foot vinyl fence is proposed to be used. The rationale that was included in the request does not prove the provision of a wall is illogical, impossible, impractical or unreasonable. The objective of the requirement is for aesthetics for not only the ECD, but also for the adjacent property owner; and minimizes the maintenance for both the ECD property owner and the adjacent property owner.

Staff can only support the allowance of a fence for the two sides of the area east of the jog, which is currently not possible due to the history of ownership of that small area.



If P&Z and Council support this waiver, a second waiver needs to be approved: Waiver of the Sec. 134-470(c)(3) Other Design Standards-Fences, which limits height of fences anywhere in the district to a maximum of 48 inches.

Waiver of Code Section 134-470(c)(3) to allow a 7 feet high fence along a portion of the east property line as shown on the site plan.

Waiver of Code Section 134-468 (g)(1)a, to allow a fence in lieu of the wall along the east property line.

People Space Along Hansel Avenue

Code Section 134-468(h) requires the People Space, which includes the 8 feet wide public sidewalk and the minimum six (6) feet of pervious area adjacent to the curb, along Hansel Avenue. This design will be accomplished with FDOT's sidewalk improvements as is illustrated on Sheet C-100-C101. Action Needed: Provide a letter from FDOT confirming this improvement and the schedule for implementation.

Additional comments related to the Hansel Avenue People Space are provided by the City's Landscape Architect.

People Space Along Hoffner Avenue

The applicant is asking for waivers from Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building: a six feet wide impervious area adjacent to the road curb, then an eight feet wide sidewalk, then a 25 feet wide landscaped area extending to the build to line. Conformance with the ECD requirements would eliminate all the parking on the south side of the building.

Staff supports all these waivers finding that,

- granting of the proposed waivers will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waivers will be detrimental to the health, safety and welfare of the city;
- that proposed reasonably eliminates the impractical result caused the applicable standard.

In addition to the elimination of parking rationale, allowing the waiver would not defeat the purpose of the ECD People Space requirement. The intent of the Road View/People Space application along Hoffner was primarily intended for the segment between Orange and Hansel Avenues since the ECD will not extend east of this parcel.

Screening Parking along Hoffner Avenue

With the elimination of the Road View requirement along Hoffner, parking would be allowed between the building and the road, as is proposed. The applicant is requesting a waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces. The applicant is requesting to substitute landscaping for the wall, using Code Section 114-4(1)a as the standard: minimum 7 feet wide buffer width, one shade tree for each 40 linear feet, or fraction thereof and a continuous hedge at least 30 inches high at planting of a species capable of growing to at least 36 inches in height within 18 months, with the height of the hedge measured at grade of the adjacent parking lot. Demonstration of the approval criteria has not been provided; this would be a policy change to not require the street walls along all non SR 527 frontages.

To be noted, the proposed design is an improvement of the existing condition. The site plan shows an expansion of the existing five feet wide landscape buffer between the sidewalk and vehicular use area to 8.5 feet and adding a parking island in the adjacent row of parking, which is not required. The additional parking island creates the need for a waiver to Code Section 134-471(2)h, which requires the island width to be a minimum of fifteen (15) feet in width. The middle island and the end of row island (east side) are 14 feet wide.

If the waivers are approved, the proposed location of the hedge adjacent to the sidewalk should be changed. There is a significant grade difference between the parking lot and sidewalk. Placing the hedge adjacent to the parking spaces instead of the sidewalk would provide a better screening of the cars and would eliminate a very tall hedge along the sidewalk as the three feet height the hedge is required to be maintained at is measured from the parking lot grade. Recommended Action: On the Landscape Plan, show the hedge along Hoffner adjacent to the parking spaces and not the sidewalk.

Parking Forward of the Front Building Elevation

The applicant is requesting a waiver from Code Section 134-474(c)(4)(a), which relates specifically to expansions of existing buildings requiring conformance with the standard ECD prohibition of parking in front of the building.

As shown on the site plan, four parking spaces are in front of the imaginary line extended from the front façade of the building. The rationale provided by the applicant is that these four spaces will be on existing pavement. Currently the area is used as a drive aisle with parking on the north side of the drive aisle. The proposed parking layout was proposed to meet the minimum required for the proposed expansion. To retain this area as a drive aisle would result in the same condition; pavement adjacent to the front landscaped area. The drive aisle is allowed by this Code section if there is no practical alternative for onsite vehicular circulation, which is the case for the subject property/site plan. In both options, the street wall will screen the pavement from Hansel Avenue. Furthermore, replacing this parking, which is needed to meet the minimum parking required, is impossible in other areas of the site.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- allowing four spaces in the proposed location is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Hansel Avenue Street Wall

The proposed street wall, as shown on the Architectural Elevations, does not meet the minimum height required (3 feet). Action Needed: Revise and resubmit the street wall design according to code requirements.

The location of the proposed street wall in the Hansel Avenue landscape buffer of the People Space is contrary to Code Section 134-474(c)(4)a, which states, the wall is required to be placed two feet from the drive aisle, including the width of a vertical curb, on the building side of the People Space, but not within the required buffer width, thus retaining the full width of the landscape buffer; which for the subject property would be 27 feet, plus the width of the wall.

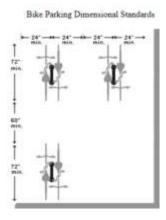
The street wall is also not located per Code. It is required to be at the build line (25 feet from the front property line). It is proposed to be located at 21 feet from the property line south of the sidewalk and 8 feet from the front property line north of the sidewalk. A waiver for the width could be requested; however, the applicant must demonstrate that the reduction in width is illogical, impossible, impractical or unreasonable. Staff is recommending the drive aisles be changed to one-way, which eliminates the need for a 24 feet drive aisle width and provides the necessary width to meet the ECD standard (25 feet + 2 feet + width of wall).

Whereas it is reasonable to put the bicycle parking behind the street wall, the wall should then return to the required location. An alternative would be to move the bicycle parking to another location (see a potential site on the next page).

Action Needed: Redesign the buffer width and street wall location or request a waiver. Recommended Action: relocate the bicycle parking and provide envisioned ECD design.

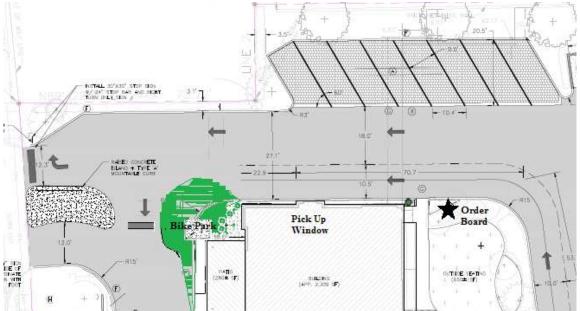
The minimum wall landscaping is not provided. The street wall is to have least one row of shrubs planted parallel to the wall (on the street side). The shrubs are to be at least 24 inches high at planting of a species capable of growing to 36 inches in height within 18 months and spaced to achieve a continuous hedge at maturity. In addition to the hedge requirement, small/understory trees are required to be planted at a rate of one tree/20 feet, or portion thereof, of the wall. An alternative design for a continuous mass planting parallel to the wall that combines a mix of required trees and understory trees, shrubs, accent plants and groundcover may be approved by City Council upon recommendation by the City's Landscape Architect, however, the landscape plan shows no shrubs except north of the bike parking. Liriope is considered a grass, not a shrub. Note, the hedge is required to be on the street side of the wall. See Landscape Architect's comments.

Whereas the minimum number of bicycle parking spaces is provided, they are not spaced correctly on sheet C-100 and sheet C-400. Action Needed: Revise the spacing to have 48 inches between the two racks. Also submit details of the type of racks to be used: Minimum tube diameter: 1.9 inches, Maximum rack height: 36 inches. Powder-coated, or other weather-proof surface



Drive-up Window Location and Queue Lane

The applicant is requesting a waiver from Code Section 134-472(b), which requires drive-up windows to be designed on the rear of the building and to incorporate a drive up lane of a minimum of 120 feet in length as measured from the first stopping point; e.g., the order board. Due to using an existing building, the most practical location for a pick up window from the internal bakery floor plan perspective is on the north side. It would be impractical to locate the window in the rear. Staff can support this location with a condition for redesign of the front elevation with a faux wall or landscaping to "hide" the window from Hansel Avenue (see illustration).

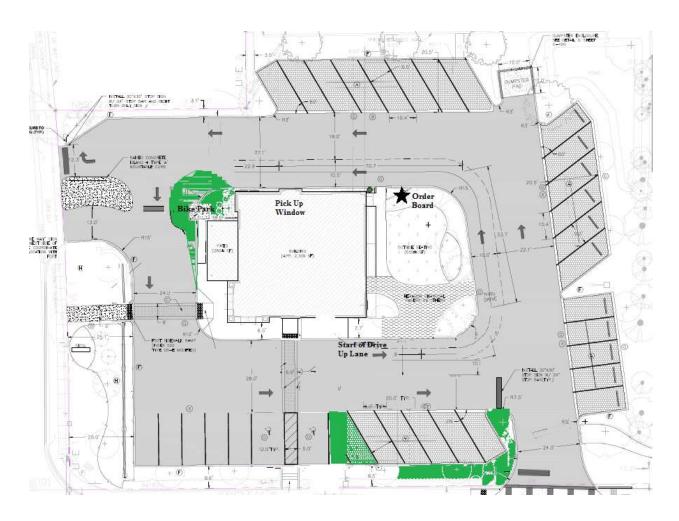


Staff supports approval with the condition of screening the drive through lane/window from Hansel Avenue. The condition will help to,

- preserve the intent and purpose of the standard that is the subject of the requested waiver;
- serve the health, safety and welfare of the city; and,
- would reasonably mitigate the impractical application of the standard.

Action Needed: Redesign to screen the drive through lane/window from Hansel Avenue.

The second waiver related to the drive-up window is the queue length. The menu board/order location is not identified on the site plan, however is identified on the landscape plan. The proposed queue at the order board is 57 feet, only accommodating the ordering vehicle and one waiting. Code requires 120 feet, accommodating one at the order board and five waiting. The queue length can be increased by moving the order board to the west and using the northern 10.5 feet of part of the east/west drive aisle (after conversion to one-way) as illustrated on the next page. No parking spaces are lost in this alternative design.



In addition, an increase in queue length is recommended by moving the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area. Staff recommends provision of a cross walk and adding pavement striping to delineate the drive through lane staff recommends approval. This will help to serve the health, safety and welfare of the city.

Action Needed: Increase queue length, move the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area, provision of a cross walk, and adding pavement striping to delineate the drive through lane

Sheet C-400

Code Section 134-470(b) requires the dumpster enclosure to be finished with materials and colors which are similar to the materials and colors utilized in the principal building on site. While compliance is stated on this sheet, no details on how the dumpster enclosure "will match the principal structure." There is no exposed masonry block on the principal structure.

Action Needed: Provide dumpster details to demonstrate the match to the principal structure.

Landscape Plan

The applicant is requesting a waiver from Code Section 134-468(h)(2) to substitute other trees for the required Highrise Oaks and to allow the planting of 3" caliper trees in lieu of 5" caliper as required. See the Landscape Architect's comments.

Action Needed: identify the plants adjacent to the northwest corner of the building.

Architecture Plans

Code Section 134-469(1)b requires at least 60 percent of the width of the ground floor road frontage façade to contain clear (transparent) or spectrally selective glazings (minimum VLT of 60 percent) considered as "non-reflective" glass. This requirement includes doors and windows affording views into the interior areas. Opaque, translucent or reflective glass cannot be counted towards the transparency ratio. **Action Needed: Include a statement on the Architectural Plans that the glass will be a minimum VLT of 60 percent.**

Code Section 134-469(1)g. requires blank walls facing a street that are ten feet in length or greater to incorporate one or more of the specified design treatments so as to eliminate blank walls more than ten feet in length. The proposal is to incorporate Design Treatment 4, which is wall signage of at least six feet in length and four feet in height. A condition of approval will be that the Certificate of Occupancy will not be approved until the sign is approved and installed. Note the maximum square footage of a sign on this side of the building is 50 square feet.

Code Section 134.469(1)f. requires a three-dimensional cornice, at least 2.5 feet in height or as needed to conceal mechanical equipment (whichever is taller), shall be used along all flat (less than 3:12 pitch) or parapet roof portions. The cornice is not proposed. The conclusion of an architect consultation is support of the proposed waiver.

Granting of the proposed waiver from Code Section 134.469(1)f. to not require the 2.5 feet high cornice in the building design will,

- not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- the size and current parapet design is sufficient to meet the design objective of the ECD;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare of the city;
- Requiring the addition of a 2.5 feet in height cornice to the design is illogical, impractical, and unreasonable.

Another requested waiver is to Code Section 134.469 (1)c.4 allowing the required vertical change to not be hung between 13-15 feet above the grade. A building height more than 20 feet requires a vertical change in 75% of the front façade between 13 to 15 feet above the adjacent sidewalk grade to ensure a human scale. This can include a step back or step forward of the building, a material change, or awnings/canopies. For the subject building, this is accomplished

with the use of a covered patio, the windows change to stucco, and the glass to wood at the entrance. Technically, the covered patio does not meet code as it is 12 feet above the grade; it does, however, meet the intent and staff supports the waiver.

- The waiver will not have the effect of nullifying the intent and purpose of the standard;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare of the city;
- Requiring the patio canopy to be 13 feet above the adjacent sidewalk grade is unreasonable if the ECD design objective is met.

Lighting and Photometric Lighting Plan

The applicant is requesting several waivers from the ECD lighting standards required by Code Section 134-470(f). First, Code Section 134-470(f)(1)a. requires a minimum foot candle of 2.0 where pedestrians will be present. In general, 2.0 foot candles is the recommended lighting for parking lots. This compares to 20-35 for recreational tennis courts and 80-150 for televised college football stadiums. Other jurisdictions in the area allow design to 1 to 1.5. Consultation with Chief Freeburg agreed 1.0 provides reasonable lighting coverage.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- the waiver is the minimum that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Second, Code Section 134-470(f)(2) requires decorative lighting and Code Section 134-470(f)(3) limits the lighting fixture height to 16 feet. As well, per Code Section 134-470(f)(1)b, except for bollard type lights, light poles must be set a minimum distance of 17.5 feet from trees. The applicant is requesting waivers from fixture height and decorative requirements claiming it is unreasonable to not allow continuation of the existing three 30-foot high light poles on the property.

The first one is along Hansel Avenue as shown on the next page. This type of lighting is contrary to the character envisioned along the main road of the ECD.



- Granting a waiver to allow this light fixture to remain will have the effect of nullifying the intent and purpose of the lighting standards;
- Granting a waiver to allow this light fixture to remain will negatively impact the health, safety and welfare of the city; and
- Provision of the required lighting is reasonable, logical, and possible.

The second existing light fixture is along Hoffner Avenue as shown below.



It may be unreasonable to require jack and bore under the road to provide electricity to fixtures on this side of the property; however, with other lighting being required to provide the minimum foot candle throughout the parking lot, electricity from a different direction is likely to be avaible making elimination of this light pole possible. Elimination would also provide consistency with ECD Section which calls for elimination of overhead utilities. Additional information is necessary to determine if elimination of this fixture is unreasonable.

The illustration of the third existing light pole, which is in the rear/easten portion of the property, shows the rationale for maintaining the lighting fixture height. The light fixture is totally within the tree canopy. Whereas staff does not oppose maintaining this fixture if demolition is unreasonable, the additional lighting to meet the minimum footcandle along the east side of the parking area should meet the ECD height and decorative standards.



Action Needed: Revise the site plan adding the decorative lighting where necessary to achieve the minimum foot candle. Revise the demolition plan to include the demolition of the 30-foot light pole along Hansel Avenue.

Waiver and Variance Summary

- Waiver of Code Section 134-468 (g)(1) a to allow a seven-foot high opaque vinyl fence in lieu of the seven-foot high opaque brick wall where property is adjacent to Low Density Residential designated property.
- Waiver of Code Section 134-468(h)(2) which requires Highrise Oaks with 5" caliper.
- Waiver of Code Section 134.469 (1)c.4 to allow the required vertical change to not be hung between 13-15 feet above the grade.
- Waiver of Code Section 134.469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height along all flat or parapet roof portions.
- Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the district to a maximum of 48 inches.
- Waivers of Code Section 134-470(f) which requires a minimum foot candle of 2.0 where pedestrians will be present.
- Waiver of Code Section 134-470(f)) which requires decorative lighting, at a maximum fixture height of 16 feet, and located at least 17.5 feet from trees.
- Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner side of the building.
- Waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces (Hoffner).
- Waiver of Code Section 134-471(2)e., which requires the street wall to be located at the build line (Hansel).
- Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width.
- Waiver of Code Section 134-472(b), which requires drive-up windows to on the rear of the building.
- Waiver of Code Section 134-472(b, which requires a drive up lane of a minimum of 120 feet in length as measured at the first stopping point.
- Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.
- Waiver of Code Section 134-474(c)(4)a. which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.
- Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.

ESH

Section E, Item 3.

1117 East Robinson St.

Orlando, FL 32801 Phone: 407.425.0452

Fax: 407.648.1036

November 18, 2021

Ms. Sandy Riffle, CMC Deputy City Clerk City of Edgewood 405 Bagshaw Way Edgewood, FL 32809-3406

RE: 5645 Hansel Ave – Mecatos Bakery and Cafe – construction plan review

CPH project number E7601

Dear Ms. Riffle;

We are in receipt of the construction plan for the above listed project. The application and preliminary site plan were previously submitted for review. We have reviewed the plans to verify the necessary information has been provided. We have also coordinated with the City Planner for review comments. The CPH comments are to be included with the City Planner comments. Below are our comments and observations:

- Sheet C-000 Update the reference to contact Sunshine One Call for utility locates. Need
 to add the Sunshine logo to the plans reference to call at least two full business days in
 advance for locates. This notification will be on the Sunshine logo and is downloadable
 from their website.
- 2. Sheet C-000 The total impervious area does not include the building area for both predevelopment and post-development.
- 3. Sheet C-002 was not provided.
- 4. Sheet C-001 General Note 5 references "any existing utility services shall be properly disconnected, plugged, removed or abandoned." This note indicates all the water and sewer services are to be removed from the site. How will water be provided to the site?
- 5. Sheet C-001 In addition, the Demo Plan references to protect BFP and/or piping to building. The only item on the demo plan is the location of the BFP. The existing water line needs to be shown on the demo plan and the Site Utility plan. The existing water line and BPD also need to be shown on the landscape plans to verify no conflicts with plantings.
- 6. Sheet C-001 site and drainage to be designed to SJRWMD criteria. Revise Drainage note 1 accordingly.
- 7. Sheet C-001 Drainage Note 8 references to set the proposed storm structures to the existing pavement grade. This should reference the proposed grades.
- 8. Sheet C-001 Paving note 6 referencing testing for any roadway shown on the plans. Shouldn't this note reference any new pavement?
- 9. Sheet C-001 Sewer and Water notes add OUC (water provider) to note 1.
- 10. Sheet C-001 Note 4 references concrete encasing the sewer main if separation cannot be met. Based on the plans, the only gravity sewer is the portion from the north side of the building and extending NE to the lift station. If there is a conflict with the water main, we recommend adjusting the water main to avoid the conflict. Concrete encasement is not a recommended option.



- 11. Sheet C-001 OUC is the water provider. Revise note to include OUC. Also, the plans do not show a water main. Show the water service to the site and how it ties to the backflow prevention device.
- 12. Sheet C-001 Water and Sewer notes Do the water notes apply for this project? Revise to be specific to this project with respect to installation, testing, clearance. Will an FDEP water permit be required/submitted for this project?
- 13. Sheet C-001 Water and Sewer notes 24. Include OUC in the notes (for connection to the OUC system).
- 14. Sheet C-003 There is some demolition work taking place in the Hoffner Avenue ROW. Verify that an Orange County ROW permit will not be required. Provide documentation to the City.
- 15. Sheet C-100 Code Section 134-142 requires vehicular and pedestrian cross access to be provided between adjacent parcels consistent with sound and generally accepted engineering practices and principles. The City's engineer has determined it is not practical to require the cross access on the subject property. To the east is residential land. To the north is a nonresidential parcel, however, there is no benefit to connecting that parking area to that on the subject property given the one-way circulation on the subject property.
- 16. Sheet C-100 Missing dimension for the paver parking on the SE portion of the site.
- 17. Sheet C-100 The plans show two-way traffic on the south and west side of the site. The same plan only shows room for two cars in the drive through lane. The circulation needs to be one-way, counterclock wise through the site. See note 7 below.
- 18. Sheet C-100 the drive through lane appears short. There is only room for two vehicles. If 3 or more vehicles que up, where will the balance of the cars wait? We expect they will be queued up along the south side of the drive lane blocking the parking spaces on the south side of the site. Consider extending the drive through lane around the south side of the drive lane, with striping to denote drive thru versus pass through traffic.
- 19. Sheet C-100 the lane line separating the drive through from the circulating traffic should be one single solid white line.
- 20. Sheet C-100 the width of the exit lane to Hansel Avenue is 12.3' feet wide. Please verify with Orange County Fire Rescue. Their minimum width is typically 20 feet.
- 21. Sheet C-100 will the raised concrete island have the mountable curbing painted yellow (recommended)?
- 22. Sheet C-101 The plan sheet shows the turning movements for vehicles traveling on Hoffner Avenue and Hansel Avenue. Show how delivery trucks will circulate through the proposed site. Show how the Orange County Fire Rescue trucks will circulate through the site (this may also be a comment from OCFR).
- 23. Sheet C-200: The stormwater structures are not called out. Please provide the structure inlet types, grate elevations, storm pipe inverts with direction (E, W, N, S?), and sizes for the pipes.
- 24. Sheet C-200 for the "clean-outs" in the open spaces, revise to show either yard inlets or typical concrete storm inlets.
- 25. Sheet C-200 there appear to be numerous conflicts with either existing or proposed trees and the proposed under drain system. Show on the grading plan or the landscape plan the location of both the proposed piping and the existing/proposed trees. The concern is



- the tree roots will grow to and into the pipes (water source for roots). How will this be addressed?
- 26. Sheet C-200: The mitered end sections in the stormwater pond should be at the bottom of the pond to prevent erosion. Call out the MES inverts. Consider adding energy dissipaters at the end of the pipes for erosion protection in the pond.
- 27. Sheet C-200 recommend including the existing topo and existing spot elevations on the plan to verify the proposed site grading and tie-in to existing grades (on-site and off-site).
- 28. Sheet C-200 the grades for the paver parking on the SE corner of the site depict the slope from the asphalt drive lane across the parking and into the grass area to the east. How is the runoff from this area collected and drained to the storm water pond? Based on the existing survey, the area appears to drain either east or south, away from the proposed pond.
- 29. Sheet C-200 one of the pond contours next to the dumpster does not appear to cross through the designated contour elevation (number). The contour appears to be too close to the back of cur and dumpster enclosure.
- 30. Sheet C-200 the proposed pond is in conflict with the existing and proposed trees. Please clarify how the grading will take place around the trees to remain. We anticipate there will be more trees that will need to be removed based on the design.
- 31. Sheet C-200 north parking area why is there a portion of the under drain pipe under the pervious parking call out as PVC? Shouldn't this all be perforated pipe? Also, designs do not usually include a change in direction in pipe without an inlet or clean out.
- 32. Sheet C-200 all underdrain pipes on the north and east side are at the same elevation as the pond bottom.
- 33. Sheet C-300 The plans are missing the water service to the site. At a minimum, the plans should show the location of the existing water service to the site, the water meter location and the service to the building. The plans should also show the location of the gravity sewer from the building to the connection point at the property line, if any.
- 34. Sheet C-402 how was the head and GPM calculated for the lift station? Provide lift station and sewer flow calculations for review.
- 35. Sheet C-402 the General notes references the pumps will be 3 Phase. The same notes states the Contractor to field verify available voltage prior to procurement of pumps. How was the phase determined if the voltage has not been determined?

Storm calculation review:

- 36. Half the site drains to the east, to the FDOT ROW. An FDOT permit will be required.
- 37. Appendix A east basin pervious/impervious post development table does not include the building. The post development map shows 100% of the building is included on the west basin. Will there be roof drains routing the runoff to the west ow will a portion of the building drain to the east?
- 38. Based on the plans and storm calcs, the pond is sized for the required volume. This will impact the trees on the east side of the site at the pond location. Update the landscape plan accordingly.
- 39. The Pervious/Impervious table areas for Basin 1 and 2 add up to 0.917 acres. The cover sheet lists the site as 0.906 acres. Please verify the total site area.
- 40. The storm calculations did not include any additional storm events such as the 10 year or the 25 year. How will the pond stage react to a larger storm event and what will be



- the post versus pre development runoff from the site. Be reminded, the site cannot create more runoff from the post development storms than from the predevelopment.
- 41. Also, to which direction will the discharge from the pond drain based on the 10 year or 25 year storm. We cannot have a point discharge onto adjacent properties or more runoff from the post storms. Please identify and provide additional information.

Please have the applicant revise and resubmit the necessary plans addressing the comments noted above. All changes need to be clouded and a revision note added to the plans. A response to all comments needs to be provided.

Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely, CPH, Inc.

Allen C. Lane, Jr., P.E.

Project Engineer

CC: Ellen Hardgrove, City Planner

file

J:\E7601\Civil\Documents\City Plans-Application Review\5645 Hansel - Mecatos Bakery\Letter\5645 Hansel Ave - construction plan review 11-12-21.docx



500 West Fulton Street Sanford, FL 32771 Phone: 407.322.6841 Fax: 407.330.0639

November 22, 2021

Ms. Sandy Riffle
Deputy City Clerk
City of Edgewood
405 Laure Avenue
Edgewood, FL 32809-3406

Re: 5645 Hansel Ave – Mecatos Bakery and Café – siteplan/landscape plan review CPH Project # E7601- Landscape Architecture Services

After reviewing the referenced site plan and landscape plans, I have the following comments and or suggestions for consideration.

Site Plan:

- 1. I still recommend that the traffic flow through the site become One way throughout, with angular parking throughout, to increase the landscape buffer on Hoffner Avenue and to provide for a safer more efficient traffic flow. Please consider a patron entering off Hoffner from the east and turning left (west) in the parking lot on the current plan. If the parking spaces are full, the patron will have to exit on to Hansel Avenue to park in the east or north parking spaces, or forget about using the business. If using the drive through lane, this driver off Hoffner, must drive around the building anyway, so this traffic pattern is already established for one way use.
- 2. Lots abutting Hoffner must comply with the road view site standards and the standards of the People Space, (formally Tree/Furnishings/Sign areas). The People Space area extends 25' from the property line inward towards the build line. A waiver from this requirement in Division 12 Edgewood Central District (ECD) Sec. 134-468-Site Design, (h) People Space, must be applied for to provide the parking adjacent to the Hoffner ROW. The suggestion above for the one way drive would help with providing additional green space so the street trees can be planted and the foundation planting can be provided.
- 3. The 36" wall is noted "by others". Please define who the "others" are and where the wall details can be found, IE refer to Architecture drawings. Submit the wall details in the follow up submittal. Note that the finish on the wall must match material used on the building. For example, if stone is used as an accent feature on the building, it should be used on the wall.
- 4. The bike rack is allowed in the People Space, but is preferred behind the wall. The wall can bump out towards the street to allow for this with approval of a waiver of code section 134.471(2)e that requires the wall to be at the build line, 25' off of the property line. The current layout of the wall does not provide a visual tie between the offset walls. I recommend placing a column opposite the column at the bike rack south of the sidewalk, then provide a wall



- section to the east to screen the bicycle parking. The other acceptable option is to place the bicycle parking behind the building, and re-align the walls into alignment at the setback line.
- 5. The depth of the bike rack must be a minimum of 72" wide, and 30" minimum between the vertical loops. Please provide a detail showing compliance with code section 134.471(6).
- 6. An 8' sidewalk is required, parallel to the street in the People Space. The 8' walk along Hansel Avenue is not shown on the landscape plans. Please show the FDOT improvements and the 8' sidewalk along Hansel on all plan sheets. A waiver will be required to maintain the existing sidewalk width on Hoffman, in lieu of the 8' walk requirement.
- 7. The ECD allow a maximum of 30% of the building frontage for outdoor seating area per ECD Section 134-468 (f)(2). Please demonstrate how the plan complies.
- 8. The sidewalk east of the building from the north parking spaces must be 6' wide.
- 9. Show FDOT Greenbook sight triangles at exits on to Hansel Avenue and Hoffman Avenue, on the landscape plans.
- Refer to chapter 4 plumbing code for plumbing fixtures based on total occupancy including outdoor seating.

Landscape Plan:

- 1. The landscape plan must follow the current ECD 2021 Amended Ordinance.
- 2. Provide site property line, utility lines and proposed walls and or fences on the Landscape Plans.
- 3. Provide buffer calculations to demonstrate compliance with the requirements.
- 4. Per the above referenced ordinance, Division 12 Edgewood Central District (ECD) Sec. 134-468-Site Design, (h) (2), highrise live oaks are required 35' on center along Hansel Avenue and Hoffman Avenue. Due to overhead lines on Hansel Avenue, a smaller shade trees may be used as long as they can be planted 12.5' off of the center of the power poles. Refer to City current Tree Stock Replacement list for acceptable species. The intent of the code is to have an evergreen tree equally spaced along the street frontage of the same size requirement of the highrise oaks, which is 5" caliper. A waiver will be required for a smaller size, with documentation supporting the request for the waiver.
- 5. The intent of providing an alternative to a row of shrubs in front of the People Space wall is to allow for a balanced tiered planting of groundcover, shrubs and accent plants that provide interest to the landscape. The planting of primarily lirope in front of the wall does not meet this intent. The planting should complement the wall and provide visual interest, using the mix of planting mentioned above.
- 6. The hedge proposed along Hoffner, should be placed at the top of the slope, to screen the parking. The trees should be centered within the width of the landscape area.
- 7. I have no objection to the parking lot island being less than the minimum 15' width, since an elm is proposed in the island.
- 8. Submit a tree removal permit in accordance with Section 130-5(b). Coordinate tree removal with the Civil demolition plans and landscape plans.
- 9. Per (ECD) Sec. 134-468-Site Design, (g) (1)a, a 7' brick wall is required at the east property line instead of a 6' vinyl fence. A brick wall helps abate noise pollution from the parking lot, for the residential property, so I do not recommend approval of a Vinyl fence.
- 10. Provide cultivar names under plant material botanical names.



- 11. Provide minimum spread of plant material in the plant list descriptions.
- 12. Recommend removing the existing palm, north of the Hansel exit, to allow the further setback of the overhead lines for the shade tree.
- 13. Recommend moving the Tabebuia east of the parking spaces a minimum of 4' off of the pavement.

Please ask the applicant to revise and resubmit the necessary plans addressing the comments noted above. Please also ask the applicant for a response letter addressing the above comments. Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State or County agencies which may have jurisdiction.

Sincerely,

CPH, Inc.

Vice-President



Date: December 1, 2021

To: Sandy Riffle, Deputy City Clerk

From: Nelson Lerma, CNBM Investments

Re: 5645 Hansel Ave. Response to Comments

Dear Mrs. Riffle,

The comments from the city planner, civil engineer, and landscape architect have been reviewed for the above referenced project. The three attachments show the responses to the comments. The accepted comments are in yellow, and the rejected comments are in red.

Should you have any questions regarding the information provided in this submittal, please let me know.

Thank you.

Sincerely,

Nelson Lerma

CNBM Investments

Nelson Lena

Ellen S. Hardgrove, AICP, Planning Consultant, Inc.

Date: November 18, 2021

To: Brett Solazzo, Administrative Assistant From: Ellen Hardgrove, City Planning Consultant

XC: Sandy Riffle, Deputy City Clerk

Bea Meeks, City Clerk

Allen Lane, CPH Engineering, City Engineering Consultant

Jim Winter, CPH Engineering, City Landscape Architect Consultant

Re: Review of Mecatos Site Plan Submittal

The comments below reflect a review of the Mecatos site plan and waiver application. They are divided into General Code Requirements and ECD Requirements. Based on the extent of these comments as well as the comments of the City's Engineer and Landscape Architect, it would be beneficial to delay the public hearing until the plans are revised and resubmitted.

A less than optimal, but still available option, is the applicant can present a list of acceptable changes that will be made prior to City Council's hearing; with that list presented to P&Z at the December meeting. If the applicant chooses this option, the deadline for the acceptable changes to be submitted to City Hall is **November 29th at noon.** The applicant's response should address each of staff's comment. For example,

- Sheet C-002 will be submitted by X date.
- Sheet C-100 will be changed to reflect the correct zoning: Edgewood Central District.

The noted deadline will allow time to finalize a report that will be sent to P&Z. Failure to meet that deadline will result in a staff recommendation to table the agenda item until January at the earliest.

GENERAL CODE REQUIREMENTS

Sheet C-000 dated October 25, 2021

This sheet references sheet C-002 (Existing Conditions) in the Index of Sheets. This sheet is not part of the submittal. **Action Needed: Submit Sheet C-002 (Accepted)**

Zoning is incorrectly identified: The zoning is Edgewood Central District. This is not a "Special District," it is the zone. Action Needed: replace the identified C-1 zoning with Edgewood Central District; and eliminate "Special District." (Accepted)

Parking is calculated based on a 2309 gross square foot (GSF) building. Sheet C-101 identifies the GSF as "approx." 2309. Approximately is not acceptable. Architectural plan drafts submitted before the formal application identified a 50 x 48.25 dimensioned building, which totals 2412.5 GSF. Action Needed: Submit the Architectural Floor Plan as part of this application package and provide consistency of building square footage. (Accepted)

Per ECD, the front setback is a maximum; i.e., it is a build-to line. Action Needed: Change the sheet to indicate the build to line not minimum front setback and add a note stating that "the 62 feet front setback is allowed per Code Section 134-474(c) Expansion of Existing Buildings." (Accepted)

The rear and side setbacks are also identified incorrectly. Action Needed: Please refer to Code Section 134-468 and provide the correct setbacks. (Accepted)

ECD has other minimum site design standards that need to be included in the table as listed in Section 134-468: Minimum lot width (corner lot), floor area ratio, and Minimum percentage of lot width occupied by building at the build line. Action needed: Include Minimum lot width (corner lot), floor area ratio, and Minimum lot width to building width (front elevation) and that proposed in the table. This will help to provide the checklist of necessary waivers for this development. (Accepted)

The Parcel Acreage identified and the Area Pre-Development Total are not equal:39,938 square feet = 0.917 acre, not 0.908. Action Needed: Provide consistency of parcel size. (Accepted)

Total Impervious Surface is identified as 21,053 square feet (pre) and 19,031 square feet (post). This is the same as that identified for total pavement area, seeming to exclude the building square footage. Action Needed: revise or clarify what appears to be an error. (Accepted)

For the total pervious area, identify the percentage used to calculate the pervious area in pavers. It appears to be 93.28%: 17,948-13,784 = 4164; 4164/4464 = .9328. Justification is needed for this percentage and how the permeability of the pavers will be maintained over time. Action Needed: Provide the requested information and amend Pervious Table if necessary. (Accepted)

The existing building square footage in the Allowable Expansion Area (1,443) is not the same as listed in the Total Impervious Building "Pre Development" (1,439) **Action Needed: provide consistency.** (Accepted)

The sheet identifies a waiver is being requested for Lot to Building Ratio. Per Code Section 134-474(c), this waiver is not needed. Action Needed: Add a note to either the current location on the site plan or the table referenced above to identify that "per Code Section 134-474(c) Expansion of Existing Buildings, the minimum lot to building ratio is not required since the building is being expanded toward SR 527." (Accepted)

Action Needed: For the Proposed Expansion Area, identify the area of expansion only, e.g., 866 square feet; similarly, the Allowable Expansion Area is 1,000 square feet. (Accepted)

Additional comments that potentially relate to the information provided on the cover are provided under "Code Section 134-135 Site Plan Review" below.

Sheet C 001-C-001

Action Needed: Change Drainage Note 1 references Orange County add "City standards" since the City will review the construction documents as well as Orange County. (Accepted)

Paving and Grading Note 5 identifies the architect as providing the paving and grading design. This was not provided. Recommended Action: Provide this information or change note if this is incorrect. (Accepted)

Standard Sewer and Water Notes 1, 5 and 6 identify Orange County mains. Action Needed: If OUC is the provider of water to the site, amend these notes. Note 16 references only Orange County inspectors need to be notified. Action Needed: Add City of Edgewood, OUC and FDOT. (Accepted)

Note 24 references connection to Orange County system. **Action Needed: If water is from OUC, reference OUC's standards/manuals.** (Accepted)

Code Section 134-135 Site Plan Review

Action Needed: 134-135(2) Rename the "Tree Survey" to "Tree, Boundary and Topographic survey." (Accepted)

134-135(6) A traffic impact analysis of projected trip generation, including methods of circulation for the development, is required to be submitted. Action Needed: Add to Sheet 000,the trip generation for the use compared to a café/bakery without drive through (the previous use). (Accepted)

Per Code Section 134-137(4), the site plan must demonstrate safe and convenient ingress to and egress from the property and internal circulation, including access of service and emergency vehicles and design of off-street parking and loading areas.

Analysis has not been submitted related to the two-way traffic driveway on the south and west sides of the building and the potential points of conflict between vehicles entering and exiting the Hoffner and Hansel driveways with vehicles attempting to circumnavigate the building, vehicles entering the drive-through lane, the potential for back up in the drive-through lane, and parking as well as onsite loading/unloading. Safety of pedestrians within the primary parking area for the use is also a significant concern given the potential conflicts described above.

Recommenced Action: Eliminate the two-way drive aisles and provide the standard drivethrough lane length (see illustration later in the report). (Accepted)

Action Needed: Add a cross walk across the Hansel Avenue driveway. (Accepted, I believe FDOT will do this. We can show it in the drawings)

134-135(7) The location, size and capacity of all existing and proposed utilities, including but not limited to, potable water, sanitary sewer, storm sewer, electric power, natural gas, and existing fire hydrant locations: Action Needed: Provide this information. In addition, a letter from the fire department is needed to confirm adequate access to a fire hydrant is

Mecatos Site Plan Application City Planner Review November 18, 2021

available. There is concern that use of the fire hydrant across three lanes of traffic may be unacceptable to for new construction. (Accepted, but not sure what the outcome will be)

134-135(15) Signage is not included in the submittal and will be reviewed under a separate sign permit application.

Note that Code Section 134-138 requires a tree removal application upon building permit application and that the application is required to be reviewed by the planning and zoning board. In an effort of efficiency, the applicant may want to submit this application concurrent with the site plan review application. Note that in addition to the three trees proposed for removal (denoted with "X" on the "Tree Survey" sheet), additional trees may be impacted by grading for the stormwater pond in the NE corner. **Recommended Action: Submit a tree removal application prior to P&Z hearing so it can be included in the submittal package.** (Accepted)

Sheet C-100 -C-100

Code Section Sec. 130-4 prohibits impervious paving within a six-foot radius of the trunk perimeter of any existing tree. Trees four feet or more in diameter as measured three feet above actual grade require additional space. Action Needed: Review the distances and revise the site plan accordingly, paying particular attention to the parking on the east side of the property, particularly the southernmost space. One solution could be to shorten this space and sign for compact car only. Whereas code does not allow for compact spaces, according to the parking calculation, only 29 spaces are needed and 31 provided; thus, the compact space would be considered an extra space. (Not accepted)

The Demo Sheet shows the concrete driveway at the Hoffner Avenue right-of-way being removed. Action Needed: Eliminate "Concrete" from the background of this sheet. (Accepted)

This sheet shows a 7 feet high fence along the east property line. Action Needed: Provide consistency between this sheet and the waiver, which is a request for a 6 feet high fence. (Accepted)

Code Section 134-142 requires vehicular and pedestrian cross access to be provided between adjacent parcels. To the east is residential land. To the north is a nonresidential parcel, however, there is no benefit to connecting that parking area to that on the subject property given the one-way circulation on the subject property. In addition, there is a significant grade difference between the two nonresidential parcels. The City's engineer has determined it is not practical to require the cross access on the subject property; however, a variance is required to be approved to allow the elimination of the Code requirement.

Variances are allowed where there are practical difficulties or unnecessary hardships in complying with the strict letter of Code. The criteria for approval are met.

- 1. There are special conditions and circumstances which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- 2. The special conditions and circumstances do not result from the actions of the applicant.
- 3. That approval of the variance requested will not confer on the applicant any special privilege that would be denied to other lands, buildings or structures in the same situation.
- 4. The literal interpretation of the provisions contained in this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
- 5. The variance approved is the minimum variance that will make possible the reasonable use of the land, building or structure.
- 6. The approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Sheet C-400

The regular parking space should be 9 x 20 not 9 x 18.5. Action Needed: Correct and make the corrections where necessary on sheet C-100. (Accepted)

Demo Sheet

A sign is located in the southwest corner of the site. It should be noted that only one ground sign per frontage is allowed. Retaining this sign will count toward the maximum copy area provided onsite as well as the allowable ground signs.

Sheet C-100 shows the creation of an 8.5 feet wide buffer along Hoffner, an expansion of ± 3.5 feet, however, demolition is not shown to accommodate this expansion. Action Needed: Modify the demo sheet to match the site plan. (Accepted)

ECD REQUIREMENTS

Wall where adjacent to residential

Per Code Section 134-468 (g)(1) a, where EC District is adjacent to property with a low density residential future land use designation, a seven-foot high opaque brick wall, of colors normally found in manufactured fired brick, is required to be constructed on the property line adjacent to the residential designation. The property to east has a County future land use designation of Low Density Residential.

A waiver is being requested for the brick wall. In lieu of the brick wall, a beige six (or seven) foot vinyl fence is proposed to be used. The rationale that was included in the request does not prove the provision of a wall is illogical, impossible, impractical or unreasonable. The objective of the requirement is for aesthetics for not only the ECD, but also for the adjacent property owner; and minimizes the maintenance for both the ECD property owner and the adjacent property owner.

Staff can only support the allowance of a fence for the two sides of the area east of the jog, which is currently not possible due to the history of ownership of that small area.



If P&Z and Council support this waiver, a second waiver needs to be approved: Waiver of the Sec. 134-470(c)(3) Other Design Standards-Fences, which limits height of fences anywhere in the district to a maximum of 48 inches.

Waiver of Code Section 134-470(c)(3) to allow a 7 feet high fence along a portion of the east property line as shown on the site plan. (Accepted)

Waiver of Code Section 134-468 (g)(1)a, to allow a fence in lieu of the wall along the east property line. (Accepted)

People Space Along Hansel Avenue

Code Section 134-468(h) requires the People Space, which includes the 8 feet wide public sidewalk and the minimum six (6) feet of pervious area adjacent to the curb, along Hansel Avenue. This design will be accomplished with FDOT's sidewalk improvements as is illustrated on Sheet C-100-C101. Action Needed: Provide a letter from FDOT confirming this improvement and the schedule for implementation. (Accepted)

Additional comments related to the Hansel Avenue People Space are provided by the City's Landscape Architect.

People Space Along Hoffner Avenue

The applicant is asking for waivers from Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building: a six feet wide impervious area adjacent to the road curb, then an eight feet wide sidewalk, then a 25 feet wide landscaped area extending to the build to line. Conformance with the ECD requirements would eliminate all the parking on the south side of the building.

Staff supports all these waivers finding that,

- granting of the proposed waivers will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waivers will be detrimental to the health, safety and welfare of the city;
- that proposed reasonably eliminates the impractical result caused the applicable standard.

In addition to the elimination of parking rationale, allowing the waiver would not defeat the purpose of the ECD People Space requirement. The intent of the Road View/People Space application along Hoffner was primarily intended for the segment between Orange and Hansel Avenues since the ECD will not extend east of this parcel.

Screening Parking along Hoffner Avenue

With the elimination of the Road View requirement along Hoffner, parking would be allowed between the building and the road, as is proposed. The applicant is requesting a waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces. The applicant is requesting to substitute landscaping for the wall, using Code Section 114-4(1)a as the standard: minimum 7 feet wide buffer width, one shade tree for each 40 linear feet, or fraction thereof and a continuous hedge at least 30 inches high at planting of a species capable of growing to at least 36 inches in height within 18 months, with the height of the hedge measured at grade of the adjacent parking lot. Demonstration of the approval criteria has not been provided; this would be a policy change to not require the street walls along all non SR 527 frontages.

To be noted, the proposed design is an improvement of the existing condition. The site plan shows an expansion of the existing five feet wide landscape buffer between the sidewalk and vehicular use area to 8.5 feet and adding a parking island in the adjacent row of parking, which isnot required. The additional parking island creates the need for a waiver to Code Section 134- 471(2)h, which requires the island width to be a minimum of fifteen (15) feet in width. The middle island and the end of row island (east side) are 14 feet wide.

If the waivers are approved, the proposed location of the hedge adjacent to the sidewalk should be changed. There is a significant grade difference between the parking lot and sidewalk. Placing the hedge adjacent to the parking spaces instead of the sidewalk would provide a better screening of the cars and would eliminate a very tall hedge along the sidewalk as the three feet height the hedge is required to be maintained at is measured from the parking lot grade. Recommended Action: On the Landscape Plan, show the hedge along Hoffner adjacent to the parking spaces and not the sidewalk. (Accepted)

Parking Forward of the Front Building Elevation

The applicant is requesting a waiver from Code Section 134-474(c)(4)(a), which relates specifically to expansions of existing buildings requiring conformance with the standard ECD prohibition of parking in front of the building.

As shown on the site plan, four parking spaces are in front of the imaginary line extended from the front façade of the building. The rationale provided by the applicant is that these four spaces will be on existing pavement. Currently the area is used as a drive aisle with parking on the northside of the drive aisle. The proposed parking layout was proposed to meet the minimum required for the proposed expansion. To retain this area as a drive aisle would result in the same condition; pavement adjacent to the front landscaped area. The drive aisle is allowed by this Code section if there is no practical alternative for onsite vehicular circulation, which is the case for the subject property/site plan. In both options, the street wall will screen the pavement from Hansel Avenue. Furthermore, replacing this parking, which is needed to meet the minimum parking required, is impossible in other areas of the site.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- allowing four spaces in the proposed location is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Hansel Avenue Street Wall

The proposed street wall, as shown on the Architectural Elevations, does not meet the minimum height required (3 feet). Action Needed: Revise and resubmit the street wall design according to code requirements. (I believe the wall is 3 feet tall)

The location of the proposed street wall in the Hansel Avenue landscape buffer of the People Space is contrary to Code Section 134-474(c)(4)a, which states, the wall is required to be placed two feet from the drive aisle, including the width of a vertical curb, on the building side of the People Space, but not within the required buffer width, thus retaining the full width of the landscape buffer; which for the subject property would be 27 feet, plus the width of the wall.

The street wall is also not located per Code. It is required to be at the build line (25 feet from the front property line). It is proposed to be located at 21 feet from the property line south of the sidewalk and 8 feet from the front property line north of the sidewalk. A waiver for the width could be requested; however, the applicant must demonstrate that the reduction in width is illogical, impossible, impractical or unreasonable. Staff is recommending the drive aisles be changed to one-way, which eliminates the need for a 24 feet drive aisle width and provides the necessary width to meet the ECD standard (25 feet + 2 feet + width of wall).

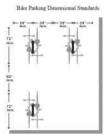
Whereas it is reasonable to put the bicycle parking behind the street wall, the wall should then return to the required location. An alternative would be to move the bicycle parking to another location (see a potential site on the next page).

Action Needed: Redesign the buffer width and street wall location or request a waiver. (I will submit waiver for street wall location(25 feet + 2 feet + width of wall).

Recommended Action: relocate the bicycle parking and provide envisioned ECD design.

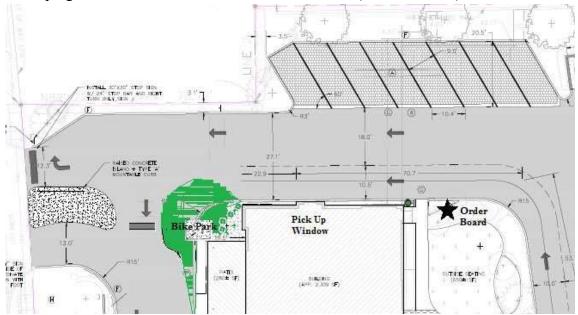
The minimum wall landscaping is not provided. The street wall is to have least one row of shrubs planted parallel to the wall (on the street side). The shrubs are to be at least 24 inches high at planting of a species capable of growing to 36 inches in height within 18 months and spaced to achieve a continuous hedge at maturity. In addition to the hedge requirement, small/understory trees are required to be planted at a rate of one tree/20 feet, or portion thereof, of the wall. An alternative design for a continuous mass planting parallel to the wall that combines a mix of required trees and understory trees, shrubs, accent plants and groundcover may be approved by City Council upon recommendation by the City's Landscape Architect, however, the landscape plan shows no shrubs except north of the bike parking. Liriope is considered a grass, not a shrub. Note, the hedge is required to be on the street side of the wall. See Landscape Architect's comments.

Whereas the minimum number of bicycle parking spaces is provided, they are not spacedcorrectly on sheet C-100 and sheet C-400. Action Needed: Revise the spacing to have 48inches between the two racks. Also submit details of the type of racks to be used: Minimumtube diameter: 1.9 inches, Maximum rack height: 36 inches. Powder-coated, or otherweather-proof surface (Accepted)



Drive-up Window Location and Queue Lane

The applicant is requesting a waiver from Code Section 134-472(b), which requires drive-up windows to be designed on the rear of the building and to incorporate a drive up lane of a minimum of 120 feet in length as measured from the first stopping point; e.g., the order board. Due to using an existing building, the most practical location for a pick up window from the internal bakery floor plan perspective is on the north side. It would be impractical to locate the window in the rear. Staff can support this location with a condition for redesign of the front elevation with a faux wall or landscaping to "hide" the window from Hansel Avenue (see illustration).

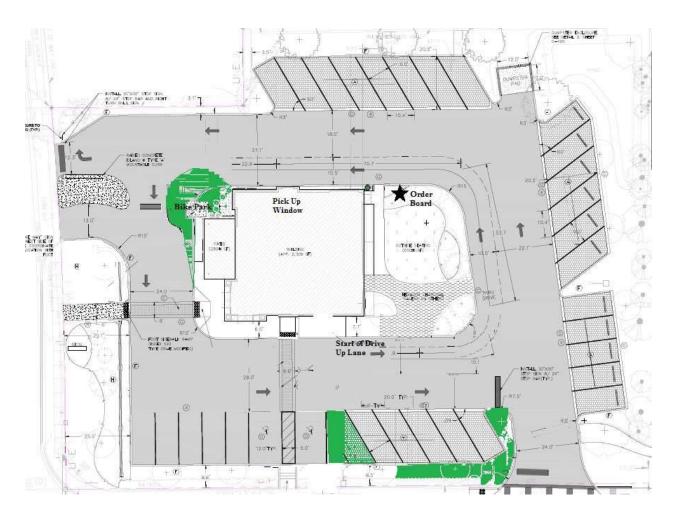


Staff supports approval with the condition of screening the drive through lane/window from Hansel Avenue. The condition will help to,

- preserve the intent and purpose of the standard that is the subject of the requested waiver;
- serve the health, safety and welfare of the city; and,
- would reasonably mitigate the impractical application of the standard.

Action Needed: Redesign to screen the drive through lane/window from Hansel Avenue. (Not accepted)

The second waiver related to the drive-up window is the queue length. The menu board/order location is not identified on the site plan, however is identified on the landscape plan. The proposed queue at the order board is 57 feet, only accommodating the ordering vehicle and one waiting. Code requires 120 feet, accommodating one at the order board and five waiting. The queue length can be increased by moving the order board to the west and using the northern 10.5 feet of part of the east/west drive aisle (after conversion to one-way) as illustrated on the next page. No parking spaces are lost in this alternative design.



In addition, an increase in queue length is recommended by moving the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area. Staff recommends provision of a cross walk and adding pavement striping to delineate the drive through lane staff recommends approval. This will help to serve the health, safety and welfare of the city.

Action Needed: Increase queue length, move the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area, provision of a cross walk, and adding pavement striping to delineate the drive through lane (Will increase drive thru queue to meet the 120 feet requirement by changing the property to a one way)

Sheet C-400

Code Section 134-470(b) requires the dumpster enclosure to be finished with materials and colors which are similar to the materials and colors utilized in the principal building on site. While compliance is stated on this sheet, no details on how the dumpster enclosure "will match the principal structure." There is no exposed masonry block on the principal structure.

Action Needed: Provide dumpster details to demonstrate the match to the principal structure. (Accepted)

Landscape Plan

The applicant is requesting a waiver from Code Section 134-468(h)(2) to substitute other trees for the required Highrise Oaks and to allow the planting of 3" caliper trees in lieu of 5" caliper as required. See the Landscape Architect's comments.

Action Needed: identify the plants adjacent to the northwest corner of the building. (Accepted)

Architecture Plans

Code Section 134-469(1)b requires at least 60 percent of the width of the ground floor road frontage façade to contain clear (transparent) or spectrally selective glazings (minimum VLT of 60 percent) considered as "non-reflective" glass. This requirement includes doors and windows affording views into the interior areas. Opaque, translucent or reflective glass cannot be counted towards the transparency ratio. Action Needed: Include a statement on the Architectural Plans that the glass will be a minimum VLT of 60 percent. (Accepted)

Code Section 134-469(1)g. requires blank walls facing a street that are ten feet in length or greater to incorporate one or more of the specified design treatments so as to eliminate blank walls more than ten feet in length. The proposal is to incorporate Design Treatment 4, which is wall signage of at least six feet in length and four feet in height. A condition of approval will be that the Certificate of Occupancy will not be approved until the sign is approved and installed. Note the maximum square footage of a sign on this side of the building is 50 square feet.

Code Section 134.469(1)f. requires a three-dimensional cornice, at least 2.5 feet in height or as needed to conceal mechanical equipment (whichever is taller), shall be used along all flat (less than 3:12 pitch) or parapet roof portions. The cornice is not proposed. The conclusion of an architect consultation is support of the proposed waiver.

Granting of the proposed waiver from Code Section 134.469(1)f. to not require the 2.5 feet high cornice in the building design will,

- not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- the size and current parapet design is sufficient to meet the design objective of the ECD;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare
 of the city;
- Requiring the addition of a 2.5 feet in height cornice to the design is illogical, impractical, and unreasonable.

Another requested waiver is to Code Section 134.469 (1)c.4 allowing the required vertical change to not be hung between 13-15 feet above the grade. A building height more than 20 feet requires a vertical change in 75% of the front façade between 13 to 15 feet above the adjacent sidewalk grade to ensure a human scale. This can include a step back or step forward of the building, a material change, or awnings/canopies. For the subject building, this is accomplished

with the use of a covered patio, the windows change to stucco, and the glass to wood at the entrance. Technically, the covered patio does not meet code as it is 12 feet above the grade; it does, however, meet the intent and staff supports the waiver.

- The waiver will not have the effect of nullifying the intent and purpose of the standard;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare of the city;
- Requiring the patio canopy to be 13 feet above the adjacent sidewalk grade is unreasonable if the ECD design objective is met.

Lighting and Photometric Lighting Plan

The applicant is requesting several waivers from the ECD lighting standards required by Code Section 134-470(f). First, Code Section 134-470(f)(1)a. requires a minimum foot candle of 2.0 where pedestrians will be present. In general, 2.0 foot candles is the recommended lighting for parking lots. This compares to 20-35 for recreational tennis courts and 80-150 for televised college football stadiums. Other jurisdictions in the area allow design to 1 to 1.5. Consultation with Chief Freeburg agreed 1.0 provides reasonable lighting coverage.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- the waiver is the minimum that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Second, Code Section 134-470(f)(2) requires decorative lighting and Code Section 134-470(f)(3) limits the lighting fixture height to 16 feet. As well, per Code Section 134-470(f)(1)b, except for bollard type lights, light poles must be set a minimum distance of 17.5 feet from trees. The applicant is requesting waivers from fixture height and decorative requirements claiming it is unreasonable to not allow continuation of the existing three 30-foot high light poles on the property.

The first one is along Hansel Avenue as shown on the next page. This type of lighting is contrary to the character envisioned along the main road of the ECD.



- Granting a waiver to allow this light fixture to remain will have the effect of nullifying the intent and purpose of the lighting standards;
- Granting a waiver to allow this light fixture to remain will negatively impact the health, safety and welfare of the city; and
- Provision of the required lighting is reasonable, logical, and possible.

The second existing light fixture is along Hoffner Avenue as shown below.



It may be unreasonable to require jack and bore under the road to provide electricity to fixtures on this side of the property; however, with other lighting being required to provide the minimum foot candle throughout the parking lot, electricity from a different direction is likely to be avaible making elimination of this light pole possible. Elimination would also provide consistency with ECD Section which calls for elimination of overhead utilities. Additional information is necessary to determine if elimination of this fixture is unreasonable.

The illustration of the third existing light pole, which is in the rear/easten portion of the property, shows the rationale for maintaining the lighting fixture height. The light fixture is totally within the tree canopy. Whereas staff does not oppose maintaining this fixture if demolition is unreasonable, the additional lighting to meet the minimum footcandle along the east side of the parking area should meet the ECD height and decorative standards.



Action Needed: Revise the site plan adding the decorative lighting where necessary to achieve the minimum foot candle. Revise the demolition plan to include the demolition of the 30-foot light pole along Hansel Avenue. (Accepted)

Waiver and Variance Summary

- Waiver of Code Section 134-468 (g)(1) a to allow a seven-foot high opaque vinyl fence in lieu of the seven-foot high opaque brick wall where property is adjacent to Low Density Residential designated property.
- Waiver of Code Section 134-468(h)(2) which requires Highrise Oaks with 5" caliper.
- Waiver of Code Section 134.469 (1)c.4 to allow the required vertical change to not be hung between 13-15 feet above the grade.
- Waiver of Code Section 134.469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height along all flat or parapet roof portions.
- Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the district to a maximum of 48 inches.
- Waivers of Code Section 134-470(f) which requires a minimum foot candle of 2.0 where pedestrians will be present.
- Waiver of Code Section 134-470(f)) which requires decorative lighting, at a maximum fixture height of 16 feet, and located at least 17.5 feet from trees.
- Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner side of the building.
- Waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces (Hoffner).
- Waiver of Code Section 134-471(2)e., which requires the street wall to be located at the build line (Hansel).
- Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width.
- Waiver of Code Section 134-472(b), which requires drive-up windows to on the rear of the building.
- Waiver of Code Section 134-472(b, which requires a drive up lane of a minimum of 120 feet in length as measured at the first stopping point. (No longer require this waiver)
- Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.
- Waiver of Code Section 134-474(c)(4)a. which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.
- Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.

ESH



1117 East Robinson St. Orlando, FL 32801 Phone: 407.425.0452 Fax: 407.648.1036

November 18, 2021

Ms. Sandy Riffle, CMC Deputy City Clerk City of Edgewood 405 Bagshaw Way Edgewood, FL 32809-3406

RE: 5645 Hansel Ave – Mecatos Bakery and Cafe – construction plan review

CPH project number E7601

Dear Ms. Riffle;

We are in receipt of the construction plan for the above listed project. The application and preliminary site plan were previously submitted for review. We have reviewed the plans to

preliminary site plan were previously submitted for review. We have reviewed the plans to the necessary information has been provided. We have also coordinated with the City Plan

Section E, Item 4.

review comments. The CPH comments are to be included with the City Planner comments. Below are our comments and observations:

1. Sheet C-000. - Update the reference to contact Sunshine One Call for utility locates. Need to add the Sunshine logo to the plans reference to call at least two full business days in advance for locates. This notification will be on the Sunshine logo and is downloadable from their website. (Accepted)

Action Taken: complied see sheet C-000.

2. Sheet C-000. - The total impervious area does not include the building area for both predevelopment and post-development. (Accepted)

Action Taken: complied see sheet C-000.

Sheet C-002. was not provided. (Accepted)
 Action Taken: complied see sheet C-002.

4. Sheet C-001. – General Note 5 references "any existing utility services shall be properly disconnected, plugged, removed or abandoned." This note indicates all the water and sewer services are to be removed from the site. How will water be provided to the site? (Accepted)

Action Taken: complied see sheet C-001.

5. Sheet C-001. - In addition, the Demo Plan references to protect BFP and/or piping to building. The only item on the demo plan is the location of the BFP. The existing water line needs to be shown on the demo plan and the Site Utility plan. The existing water line and BPD also need to be shown on the landscape plans to verify no conflicts with plantings. (Accepted)

Action Taken: location of meter is shown on c-300. we understand that the route of water main is from meter directly to the building but we have not independently verify. we have added note to C-300 alerting the contractor to find lateral prior to digging.

6. Sheet C-001. – site and drainage to be designed to SJRWMD criteria. Revise Drainage note 1 accordingly. (Understood. We will revise.)

Action Taken: complied see sheet C-001.

 Sheet C-001. – Drainage Note 8 references to set the proposed storm structures to the existing pavement grade. This should reference the proposed grades. (Understood. We will revise.)

Action Taken: complied see sheet C-001.

8. Sheet C-001. – Paving note 6 referencing testing for any roadway shown on the plans. Shouldn't this note reference any new pavement?

Action Taken: complied see sheet C-001.

9. Sheet C-001. – Sewer and Water notes – add OUC (water provider) to note 1. (Accented)

Action Taken: complied see sheet C-001.

Section E, Item 4.

10. Sheet C-001. — Note 4 references concrete encasing the sewer main if separation cannot be met. Based on the plans, the only gravity sewer is the portion from the north side of the building and extending NE to the lift station. If there is a conflict with the water main, we recommend adjusting the water main to avoid the conflict. Concrete encasement is not a recommended option. (Water main is existing and shall be identified. HCE will make adjustments where needed once water main is surveyed. Note 4 is a standard general note.)

Action Taken: complied see sheet C-001.



11. Sheet C-001. – OUC is the water provider. Revise note to include OUC. Also, the plans do not show a water main. Show the water service to the site and how it ties to the backflow prevention device. (Accepted)

Action Taken: complied see sheet C-001.

12. Sheet C-001. – Water and Sewer notes - Do the water notes apply for this project? Reviseto be specific to this project with respect to installation, testing, clearance. Will an FDEP water permit be required/submitted for this project? (Accepted)

Action Taken: plans are in process of being updated but are not complete as of december 1st, 2021 (date of this response).

13. Sheet C-001. – Water and Sewer notes 24. Include OUC in the notes (for connection to the OUC system). (Accepted)

Action Taken: complied see sheet C-001.

14. Sheet C-003. – There is some demolition work taking place in the Hoffner Avenue ROW. Verify that an Orange County ROW permit will not be required. Provide documentation to the City. (Accepted)

Action Taken: complied see sheet C-003.

- 15. Sheet C-100. Code Section 134-142 requires vehicular and pedestrian cross access to be provided between adjacent parcels consistent with sound and generally accepted engineering practices and principles. The City's engineer has determined it is not practical to require the cross access on the subject property. To the east is residential land. To the north is a nonresidential parcel, however, there is no benefit to connecting that parking area to that on the subject property given the one-way circulation on the subject property.
- 16. Sheet C-100. Missing dimension for the paver parking on the SE portion of the site. (Accepted) Action Taken: complied see sheet C-100.

- 17. Sheet C-100. The plans show two-way traffic on the south and west side of the Section E, Item 4.

 The same plan only shows room for two cars in the drive through lane. The circulation needs to be one-way, counterclock wise through the site. See note 7 below. (Accepted)
- 18. Sheet C-100. the drive through lane appears short. There is only room for two vehicles. If 3 or more vehicles que up, where will the balance of the cars wait? We expect they will be queued up along the south side of the drive lane blocking the parking spaces on the south side of the site. Consider extending the drive through lane around the south side of the drive lane, with striping to denote drive thru versus pass through traffic. (Accepted)

Action Taken: plans are in process of being updated but are not complete as of December 1st, 2021 (date of this response).

- Sheet C-100. the lane line separating the drive through from the circulating traffic shouldbe one single solid white line. (Accepted)
 Action Taken: complied see sheet C-100.
- 20. Sheet C-100. the width of the exit lane to Hansel Avenue is 12.3' feet wide. Please verify with Orange County Fire Rescue. Their minimum width is typically 20 feet. (Recommend removing mountable curve and stripping)

Action Taken: plans are in process of being updated but are not complete as of December 1st, 2021 (date of this response).

21. Sheet C-100. – will the raised concrete island have the mountable curbing painted yellow (recommended)? (Will white stripping on the floor serve the same purpose after removing mountable curve)

Action Taken: complied see sheet C-100.

Action Taken: complied see sheet C-100.

- 22. Sheet C-101 The plan sheet shows the turning movements for vehicles traveling on Hoffner Avenue and Hansel Avenue. Show how delivery trucks will circulate through the proposed site. Show how the Orange County Fire Rescue trucks will circulate through the site (this may also be a comment from OCFR). (One way flow should alleviate the flow of delivery trucks through the site) (HCE to provide AutoTurn analysis?)
 - Action Taken: plans are in process of being updated but are not complete as of December 1st, 2021 (date of this response).
- 23. Sheet C-200: The stormwater structures are not called out. Please provide the structure inlet types, grate elevations, storm pipe inverts with direction (E, W, N, S?), and sizes for the pipes. (Accepted)

Action Taken: complied see sheet C-200.

24. Sheet C-200 – for the "clean-outs" in the open spaces, revise to show either yard inlets or typical concrete storm inlets. (Accepted) The cleanouts shown on the drainage plans are not meant to take in surface drainage.

25. Sheet C-200 – there appear to be numerous conflicts with either existing or proposed trees and the proposed under drain system. Show on the grading plan or the landscape plan the location of both the proposed piping and the existing/proposed trees. The



the tree roots will grow to and into the pipes (water source for roots). How will this be addressed? (We can remove the trees from this areas)

Action Taken: complied see sheet C-200.

26. Sheet C-200: The mitered end sections in the stormwater pond should be at the bottom of the pond to prevent erosion. Call out the MES inverts. Consider adding energy dissipaters at the end of the pipes for erosion protection in the pond. (Understood. We will revise.)

Action Taken: complied see sheet C-200.

27. Sheet C-200 – recommend including the existing topo and existing spot elevations on the plan to verify the proposed site grading and tie-in to existing grades (on-site and off-site). (Understood. We will revise.)

Action Taken: complied see sheet C-200.

- 28. Sheet C-200 the grades for the paver parking on the SE corner of the site depict the slope from the asphalt drive lane across the parking and into the grass area to the east. How is the runoff from this area collected and drained to the storm water pond? Based on the existing survey, the area appears to drain either east or south, away from the proposed pond. (The pavers are previous to allow drainage through and collected in the below underdrain pipe. We will revise the plans to show existing spot grades.)

 Action Taken: complied see sheet C-200.
- 29. Sheet C-200 one of the pond contours next to the dumpster does not appear to cross through the designated contour elevation (number). The contour appears to be too close to the back of cur and dumpster enclosure. (Understood. We will revise.)

 Action Taken: complied see sheet C-200.
- 30. Sheet C-200 the proposed pond is in conflict with the existing and proposed trees. Please clarify how the grading will take place around the trees to remain. We anticipate there will be more trees that will need to be removed based on the design. (Understood. We will look at revising or removing trees.)

Action Taken: grading has been revised to show minimal to no grade changes see sheet C-200.

31. Sheet C-200 – north parking area – why is there a portion of the under drain pipe under the pervious parking call out as PVC? Shouldn't this all be perforated pipe? Also, designs do not usually include a change in direction in pipe without an inlet or clean out. (Understood. We will revise.)

Action Taken: complied see sheet C-200.

32. Sheet C-200 – all underdrain pipes on the north and east side are at the same elevation as the pond bottom. (Understood. We will revise.)

Action Taken: complied see sheet C-200.

33. Sheet C-300 - The plans are missing the water service to the site. At a minimum, the plans should show the location of the existing water service to the site, the water meter location and the service to the building. The plans should also show the location of the gravity sewer from the building to the connection point at the property line, if any. (Accepted)

Action Taken: plans are in process of being updated but are not complete as of december 1st, 2021 (date of this response).

- 34. Sheet C-402 how was the head and GPM calculated for the lift station? Provide lift station and sewer flow calculations for review. (Understood. We will provide.)

 Action Taken: see lift station calculations and letter from orange county. Lift station report is in process of being completed
- 35. Sheet C-402 the General notes references the pumps will be 3 Phase. The same notes states the Contractor to field verify available voltage prior to procurement of pumps. How was the phase determined if the voltage has not been determined? (Understood. We will revise.)

Action Taken: complied see sheet C-402.

Storm calculation review:

- 36. Half the site drains to the east, to the FDOT ROW. An FDOT permit will be required. (?)

 Action Taken: coordination with fdot is ongoing.
- 37. Appendix A east basin pervious/impervious post development table does not include the building. The post development map shows 100% of the building is included on the west basin. Will there be roof drains routing the runoff to the west ow will a portion of the building drain to the east? (Understood. We will coordinate with the Architect.)

 Action Taken: site is graded with building flowing east. roof down-spouts discharge to surface see sheet C-200.
- 38. Based on the plans and storm calcs, the pond is sized for the required volume. This will impact the trees on the east side of the site at the pond location. Update the landscape plan accordingly. (Understood. We will revise as necessary.)

 Action Taken: complied see sheet C-200.



39. The Pervious/Impervious table areas for Basin 1 and 2 add up to 0.917 acres. The cover sheet lists the site as 0.906 acres. Please verify the total site area. (Understood. We will revise.)

Action Taken: complied see sheet C-000.

- 40. The storm calculations did not include any additional storm events such as the 10 year or the 25 year. How will the pond stage react to a larger storm event and what will be the post versus pre development runoff from the site. Be reminded, the site cannot create more runoff from the post development storms than from the predevelopment. (The 25-year event was provided. We will provide the ICPR4 results.)
 Action Taken: this project has a net loss of impervious surface and a net gain of pervious areas, and a net gain of water attenuation volume. Therefor the water run-off from the site will be less in the post condition as compared to the precondition. See stormwater report.
- 41. Also, to which direction will the discharge from the pond drain based on the 10 year or 25 year storm. We cannot have a point discharge onto adjacent properties or more runoff from the post storms. Please identify and provide additional information. (Understood. We will provide additional calculations.)

Please have the applicant revise and resubmit the necessary plans addressing the comments noted above. All changes need to be clouded and a revision note added to the plans. A response to all comments needs to be provided.

Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely, CPH, Inc.

aller C Lane Jr

Allen C. Lane, Jr., P.E. Project Engineer

CC: Ellen Hardgrove, City Planner

file

Ellen S. Hardgrove, AICP, Planning Consultant, Inc.

Date: November 18, 2021

To: Brett Solazzo, Administrative Assistant From: Ellen Hardgrove, City Planning Consultant

XC: Sandy Riffle, Deputy City Clerk

Bea Meeks, City Clerk

Allen Lane, CPH Engineering, City Engineering Consultant

Jim Winter, CPH Engineering, City Landscape Architect Consultant

Re: Review of Mecatos Site Plan Submittal

The comments below reflect a review of the Mecatos site plan and waiver application. They are divided into General Code Requirements and ECD Requirements. Based on the extent of these comments as well as the comments of the City's Engineer and Landscape Architect, it would be beneficial to delay the public hearing until the plans are revised and resubmitted.

A less than optimal, but still available option, is the applicant can present a list of acceptable changes that will be made prior to City Council's hearing; with that list presented to P&Z at the December meeting. If the applicant chooses this option, the deadline for the acceptable changes to be submitted to City Hall is **November 29th at noon.** The applicant's response should address each of staff's comment. For example,

- Sheet C-002 will be submitted by X date.
- Sheet C-100 will be changed to reflect the correct zoning: Edgewood Central District.

The noted deadline will allow time to finalize a report that will be sent to P&Z. Failure to meet that deadline will result in a staff recommendation to table the agenda item until January at the earliest.

GENERAL CODE REQUIREMENTS

Sheet C-000 dated October 25, 2021

This sheet references sheet C-002 (Existing Conditions) in the Index of Sheets. This sheet is not part of the submittal. **Action Needed: Submit Sheet C-002 (Accepted)**

Zoning is incorrectly identified: The zoning is Edgewood Central District. This is not a "Special District," it is the zone. Action Needed: replace the identified C-1 zoning with Edgewood Central District; and eliminate "Special District." (Accepted)

Parking is calculated based on a 2309 gross square foot (GSF) building. Sheet C-101 identifies the GSF as "approx." 2309. Approximately is not acceptable. Architectural plan drafts submitted before the formal application identified a 50 x 48.25 dimensioned building, which totals 2412.5 GSF. Action Needed: Submit the Architectural Floor Plan as part of this application package and provide consistency of building square footage. (Accepted)

Per ECD, the front setback is a maximum; i.e., it is a build-to line. Action Needed: Change the sheet to indicate the build to line not minimum front setback and add a note stating that "the 62 feet front setback is allowed per Code Section 134-474(c) Expansion of Existing Buildings." (Accepted)

The rear and side setbacks are also identified incorrectly. Action Needed: Please refer to Code Section 134-468 and provide the correct setbacks. (Accepted)

ECD has other minimum site design standards that need to be included in the table as listed in Section 134-468: Minimum lot width (corner lot), floor area ratio, and Minimum percentage of lot width occupied by building at the build line. Action needed: Include Minimum lot width (corner lot), floor area ratio, and Minimum lot width to building width (front elevation) and that proposed in the table. This will help to provide the checklist of necessary waivers for this development. (Accepted)

The Parcel Acreage identified and the Area Pre-Development Total are not equal:39,938 square feet = 0.917 acre, not 0.908. Action Needed: Provide consistency of parcel size. (Accepted)

Total Impervious Surface is identified as 21,053 square feet (pre) and 19,031 square feet (post). This is the same as that identified for total pavement area, seeming to exclude the building square footage. Action Needed: revise or clarify what appears to be an error. (Accepted)

For the total pervious area, identify the percentage used to calculate the pervious area in pavers. It appears to be 93.28%: 17,948-13,784 = 4164; 4164/4464 = .9328. Justification is needed for this percentage and how the permeability of the pavers will be maintained over time. Action Needed: Provide the requested information and amend Pervious Table if necessary. (Accepted)

The existing building square footage in the Allowable Expansion Area (1,443) is not the same as listed in the Total Impervious Building "Pre Development" (1,439) **Action Needed: provide consistency.** (Accepted)

The sheet identifies a waiver is being requested for Lot to Building Ratio. Per Code Section 134-474(c), this waiver is not needed. Action Needed: Add a note to either the current location on the site plan or the table referenced above to identify that "per Code Section 134-474(c) Expansion of Existing Buildings, the minimum lot to building ratio is not required since the building is being expanded toward SR 527." (Accepted)

Action Needed: For the Proposed Expansion Area, identify the area of expansion only, e.g., 866 square feet; similarly, the Allowable Expansion Area is 1,000 square feet. (Accepted)

Additional comments that potentially relate to the information provided on the cover are provided under "Code Section 134-135 Site Plan Review" below.

Sheet C 001-C-001

Action Needed: Change Drainage Note 1 references Orange County add "City standards" since the City will review the construction documents as well as Orange County. (Accepted)

Paving and Grading Note 5 identifies the architect as providing the paving and grading design. This was not provided. Recommended Action: Provide this information or change note if this is incorrect. (Accepted)

Standard Sewer and Water Notes 1, 5 and 6 identify Orange County mains. Action Needed: If OUC is the provider of water to the site, amend these notes. Note 16 references only Orange County inspectors need to be notified. Action Needed: Add City of Edgewood, OUC and FDOT. (Accepted)

Note 24 references connection to Orange County system. **Action Needed: If water is from OUC, reference OUC's standards/manuals.** (Accepted)

Code Section 134-135 Site Plan Review

Action Needed: 134-135(2) Rename the "Tree Survey" to "Tree, Boundary and Topographic survey." (Accepted)

134-135(6) A traffic impact analysis of projected trip generation, including methods of circulation for the development, is required to be submitted. Action Needed: Add to Sheet 000,the trip generation for the use compared to a café/bakery without drive through (the previous use). (Accepted)

Per Code Section 134-137(4), the site plan must demonstrate safe and convenient ingress to and egress from the property and internal circulation, including access of service and emergency vehicles and design of off-street parking and loading areas.

Analysis has not been submitted related to the two-way traffic driveway on the south and west sides of the building and the potential points of conflict between vehicles entering and exiting the Hoffner and Hansel driveways with vehicles attempting to circumnavigate the building, vehicles entering the drive-through lane, the potential for back up in the drive-through lane, and parking as well as onsite loading/unloading. Safety of pedestrians within the primary parking area for the use is also a significant concern given the potential conflicts described above.

Recommenced Action: Eliminate the two-way drive aisles and provide the standard drivethrough lane length (see illustration later in the report). (Accepted)

Action Needed: Add a cross walk across the Hansel Avenue driveway. (Accepted, I believe FDOT will do this. We can show it in the drawings)

134-135(7) The location, size and capacity of all existing and proposed utilities, including but not limited to, potable water, sanitary sewer, storm sewer, electric power, natural gas, and existing fire hydrant locations: Action Needed: Provide this information. In addition, a letter from the fire department is needed to confirm adequate access to a fire hydrant is

Mecatos Site Plan Application City Planner Review November 18, 2021

available. There is concern that use of the fire hydrant across three lanes of traffic may be unacceptable to for new construction. (Accepted, but not sure what the outcome will be)

134-135(15) Signage is not included in the submittal and will be reviewed under a separate sign permit application.

Note that Code Section 134-138 requires a tree removal application upon building permit application and that the application is required to be reviewed by the planning and zoning board. In an effort of efficiency, the applicant may want to submit this application concurrent with the site plan review application. Note that in addition to the three trees proposed for removal (denoted with "X" on the "Tree Survey" sheet), additional trees may be impacted by grading for the stormwater pond in the NE corner. **Recommended Action: Submit a tree removal application prior to P&Z hearing so it can be included in the submittal package.** (Accepted)

Sheet C-100 -C-100

Code Section Sec. 130-4 prohibits impervious paving within a six-foot radius of the trunk perimeter of any existing tree. Trees four feet or more in diameter as measured three feet above actual grade require additional space. Action Needed: Review the distances and revise the site plan accordingly, paying particular attention to the parking on the east side of the property, particularly the southernmost space. One solution could be to shorten this space and sign for compact car only. Whereas code does not allow for compact spaces, according to the parking calculation, only 29 spaces are needed and 31 provided; thus, the compact space would be considered an extra space. (Not accepted)

The Demo Sheet shows the concrete driveway at the Hoffner Avenue right-of-way being removed. Action Needed: Eliminate "Concrete" from the background of this sheet. (Accepted)

This sheet shows a 7 feet high fence along the east property line. Action Needed: Provide consistency between this sheet and the waiver, which is a request for a 6 feet high fence. (Accepted)

Code Section 134-142 requires vehicular and pedestrian cross access to be provided between adjacent parcels. To the east is residential land. To the north is a nonresidential parcel, however, there is no benefit to connecting that parking area to that on the subject property given the one-way circulation on the subject property. In addition, there is a significant grade difference between the two nonresidential parcels. The City's engineer has determined it is not practical to require the cross access on the subject property; however, a variance is required to be approved to allow the elimination of the Code requirement.

Variances are allowed where there are practical difficulties or unnecessary hardships in complying with the strict letter of Code. The criteria for approval are met.

- 1. There are special conditions and circumstances which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- 2. The special conditions and circumstances do not result from the actions of the applicant.
- 3. That approval of the variance requested will not confer on the applicant any special privilege that would be denied to other lands, buildings or structures in the same situation.
- 4. The literal interpretation of the provisions contained in this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
- 5. The variance approved is the minimum variance that will make possible the reasonable use of the land, building or structure.
- 6. The approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Sheet C-400

The regular parking space should be 9 x 20 not 9 x 18.5. Action Needed: Correct and make the corrections where necessary on sheet C-100. (Accepted)

Demo Sheet

A sign is located in the southwest corner of the site. It should be noted that only one ground sign per frontage is allowed. Retaining this sign will count toward the maximum copy area provided onsite as well as the allowable ground signs.

Sheet C-100 shows the creation of an 8.5 feet wide buffer along Hoffner, an expansion of ± 3.5 feet, however, demolition is not shown to accommodate this expansion. Action Needed: Modify the demo sheet to match the site plan. (Accepted)

ECD REQUIREMENTS

Wall where adjacent to residential

Per Code Section 134-468 (g)(1) a, where EC District is adjacent to property with a low density residential future land use designation, a seven-foot high opaque brick wall, of colors normally found in manufactured fired brick, is required to be constructed on the property line adjacent to the residential designation. The property to east has a County future land use designation of Low Density Residential.

A waiver is being requested for the brick wall. In lieu of the brick wall, a beige six (or seven) foot vinyl fence is proposed to be used. The rationale that was included in the request does not prove the provision of a wall is illogical, impossible, impractical or unreasonable. The objective of the requirement is for aesthetics for not only the ECD, but also for the adjacent property owner; and minimizes the maintenance for both the ECD property owner and the adjacent property owner.

Staff can only support the allowance of a fence for the two sides of the area east of the jog, which is currently not possible due to the history of ownership of that small area.



If P&Z and Council support this waiver, a second waiver needs to be approved: Waiver of the Sec. 134-470(c)(3) Other Design Standards-Fences, which limits height of fences anywhere in the district to a maximum of 48 inches.

Waiver of Code Section 134-470(c)(3) to allow a 7 feet high fence along a portion of the east property line as shown on the site plan. (Accepted)

Waiver of Code Section 134-468 (g)(1)a, to allow a fence in lieu of the wall along the east property line. (Accepted)

People Space Along Hansel Avenue

Code Section 134-468(h) requires the People Space, which includes the 8 feet wide public sidewalk and the minimum six (6) feet of pervious area adjacent to the curb, along Hansel Avenue. This design will be accomplished with FDOT's sidewalk improvements as is illustrated on Sheet C-100-C101. Action Needed: Provide a letter from FDOT confirming this improvement and the schedule for implementation. (Accepted)

Additional comments related to the Hansel Avenue People Space are provided by the City's Landscape Architect.

People Space Along Hoffner Avenue

The applicant is asking for waivers from Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building: a six feet wide impervious area adjacent to the road curb, then an eight feet wide sidewalk, then a 25 feet wide landscaped area extending to the build to line. Conformance with the ECD requirements would eliminate all the parking on the south side of the building.

Staff supports all these waivers finding that,

- granting of the proposed waivers will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waivers will be detrimental to the health, safety and welfare of the city;
- that proposed reasonably eliminates the impractical result caused the applicable standard.

In addition to the elimination of parking rationale, allowing the waiver would not defeat the purpose of the ECD People Space requirement. The intent of the Road View/People Space application along Hoffner was primarily intended for the segment between Orange and Hansel Avenues since the ECD will not extend east of this parcel.

Screening Parking along Hoffner Avenue

With the elimination of the Road View requirement along Hoffner, parking would be allowed between the building and the road, as is proposed. The applicant is requesting a waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces. The applicant is requesting to substitute landscaping for the wall, using Code Section 114-4(1)a as the standard: minimum 7 feet wide buffer width, one shade tree for each 40 linear feet, or fraction thereof and a continuous hedge at least 30 inches high at planting of a species capable of growing to at least 36 inches in height within 18 months, with the height of the hedge measured at grade of the adjacent parking lot. Demonstration of the approval criteria has not been provided; this would be a policy change to not require the street walls along all non SR 527 frontages.

To be noted, the proposed design is an improvement of the existing condition. The site plan shows an expansion of the existing five feet wide landscape buffer between the sidewalk and vehicular use area to 8.5 feet and adding a parking island in the adjacent row of parking, which isnot required. The additional parking island creates the need for a waiver to Code Section 134- 471(2)h, which requires the island width to be a minimum of fifteen (15) feet in width. The middle island and the end of row island (east side) are 14 feet wide.

If the waivers are approved, the proposed location of the hedge adjacent to the sidewalk should be changed. There is a significant grade difference between the parking lot and sidewalk. Placing the hedge adjacent to the parking spaces instead of the sidewalk would provide a better screening of the cars and would eliminate a very tall hedge along the sidewalk as the three feet height the hedge is required to be maintained at is measured from the parking lot grade. Recommended Action: On the Landscape Plan, show the hedge along Hoffner adjacent to the parking spaces and not the sidewalk. (Accepted)

Parking Forward of the Front Building Elevation

The applicant is requesting a waiver from Code Section 134-474(c)(4)(a), which relates specifically to expansions of existing buildings requiring conformance with the standard ECD prohibition of parking in front of the building.

As shown on the site plan, four parking spaces are in front of the imaginary line extended from the front façade of the building. The rationale provided by the applicant is that these four spaces will be on existing pavement. Currently the area is used as a drive aisle with parking on the northside of the drive aisle. The proposed parking layout was proposed to meet the minimum required for the proposed expansion. To retain this area as a drive aisle would result in the same condition; pavement adjacent to the front landscaped area. The drive aisle is allowed by this Code section if there is no practical alternative for onsite vehicular circulation, which is the case for the subject property/site plan. In both options, the street wall will screen the pavement from Hansel Avenue. Furthermore, replacing this parking, which is needed to meet the minimum parking required, is impossible in other areas of the site.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- allowing four spaces in the proposed location is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Hansel Avenue Street Wall

The proposed street wall, as shown on the Architectural Elevations, does not meet the minimum height required (3 feet). Action Needed: Revise and resubmit the street wall design according to code requirements. (I believe the wall is 3 feet tall)

The location of the proposed street wall in the Hansel Avenue landscape buffer of the People Space is contrary to Code Section 134-474(c)(4)a, which states, the wall is required to be placed two feet from the drive aisle, including the width of a vertical curb, on the building side of the People Space, but not within the required buffer width, thus retaining the full width of the landscape buffer; which for the subject property would be 27 feet, plus the width of the wall.

The street wall is also not located per Code. It is required to be at the build line (25 feet from the front property line). It is proposed to be located at 21 feet from the property line south of the sidewalk and 8 feet from the front property line north of the sidewalk. A waiver for the width could be requested; however, the applicant must demonstrate that the reduction in width is illogical, impossible, impractical or unreasonable. Staff is recommending the drive aisles be changed to one-way, which eliminates the need for a 24 feet drive aisle width and provides the necessary width to meet the ECD standard (25 feet + 2 feet + width of wall).

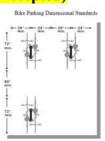
Whereas it is reasonable to put the bicycle parking behind the street wall, the wall should then return to the required location. An alternative would be to move the bicycle parking to another location (see a potential site on the next page).

Action Needed: Redesign the buffer width and street wall location or request a waiver. (I will submit waiver for street wall location(25 feet + 2 feet + width of wall).

Recommended Action: relocate the bicycle parking and provide envisioned ECD design.

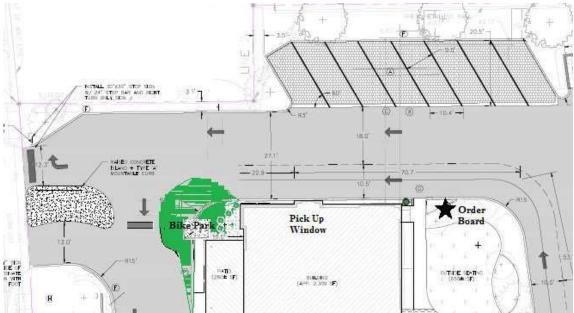
The minimum wall landscaping is not provided. The street wall is to have least one row of shrubs planted parallel to the wall (on the street side). The shrubs are to be at least 24 inches high at planting of a species capable of growing to 36 inches in height within 18 months and spaced to achieve a continuous hedge at maturity. In addition to the hedge requirement, small/understory trees are required to be planted at a rate of one tree/20 feet, or portion thereof, of the wall. An alternative design for a continuous mass planting parallel to the wall that combines a mix of required trees and understory trees, shrubs, accent plants and groundcover may be approved by City Council upon recommendation by the City's Landscape Architect, however, the landscape plan shows no shrubs except north of the bike parking. Liriope is considered a grass, not a shrub. Note, the hedge is required to be on the street side of the wall. See Landscape Architect's comments.

Whereas the minimum number of bicycle parking spaces is provided, they are not spacedcorrectly on sheet C-100 and sheet C-400. Action Needed: Revise the spacing to have 48inches between the two racks. Also submit details of the type of racks to be used: Minimumtube diameter: 1.9 inches, Maximum rack height: 36 inches. Powder-coated, or otherweather-proof surface (Accepted)



Drive-up Window Location and Queue Lane

The applicant is requesting a waiver from Code Section 134-472(b), which requires drive-up windows to be designed on the rear of the building and to incorporate a drive up lane of a minimum of 120 feet in length as measured from the first stopping point; e.g., the order board. Due to using an existing building, the most practical location for a pick up window from the internal bakery floor plan perspective is on the north side. It would be impractical to locate the window in the rear. Staff can support this location with a condition for redesign of the front elevation with a faux wall or landscaping to "hide" the window from Hansel Avenue (see illustration).

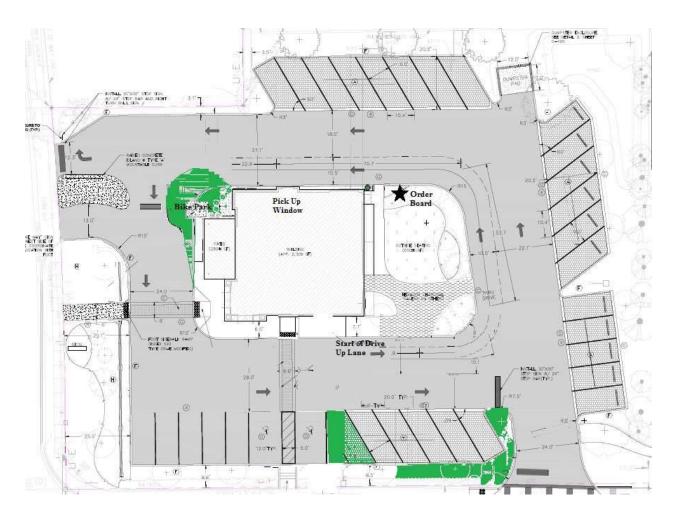


Staff supports approval with the condition of screening the drive through lane/window from Hansel Avenue. The condition will help to,

- preserve the intent and purpose of the standard that is the subject of the requested waiver;
- serve the health, safety and welfare of the city; and,
- would reasonably mitigate the impractical application of the standard.

Action Needed: Redesign to screen the drive through lane/window from Hansel Avenue. (Not accepted)

The second waiver related to the drive-up window is the queue length. The menu board/order location is not identified on the site plan, however is identified on the landscape plan. The proposed queue at the order board is 57 feet, only accommodating the ordering vehicle and one waiting. Code requires 120 feet, accommodating one at the order board and five waiting. The queue length can be increased by moving the order board to the west and using the northern 10.5 feet of part of the east/west drive aisle (after conversion to one-way) as illustrated on the next page. No parking spaces are lost in this alternative design.



In addition, an increase in queue length is recommended by moving the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area. Staff recommends provision of a cross walk and adding pavement striping to delineate the drive through lane staff recommends approval. This will help to serve the health, safety and welfare of the city.

Action Needed: Increase queue length, move the order/menu board five feet east of the sidewalk from the outdoor patio to the north parking area, provision of a cross walk, and adding pavement striping to delineate the drive through lane (Will increase drive thru queue to meet the 120 feet requirement by changing the property to a one way)

Sheet C-400

Code Section 134-470(b) requires the dumpster enclosure to be finished with materials and colors which are similar to the materials and colors utilized in the principal building on site. While compliance is stated on this sheet, no details on how the dumpster enclosure "will match the principal structure." There is no exposed masonry block on the principal structure.

Action Needed: Provide dumpster details to demonstrate the match to the principal structure. (Accepted)

Landscape Plan

The applicant is requesting a waiver from Code Section 134-468(h)(2) to substitute other trees for the required Highrise Oaks and to allow the planting of 3" caliper trees in lieu of 5" caliper as required. See the Landscape Architect's comments.

Action Needed: identify the plants adjacent to the northwest corner of the building. (Accepted)

Architecture Plans

Code Section 134-469(1)b requires at least 60 percent of the width of the ground floor road frontage façade to contain clear (transparent) or spectrally selective glazings (minimum VLT of 60 percent) considered as "non-reflective" glass. This requirement includes doors and windows affording views into the interior areas. Opaque, translucent or reflective glass cannot be counted towards the transparency ratio. Action Needed: Include a statement on the Architectural Plans that the glass will be a minimum VLT of 60 percent. (Accepted)

Code Section 134-469(1)g. requires blank walls facing a street that are ten feet in length or greater to incorporate one or more of the specified design treatments so as to eliminate blank walls more than ten feet in length. The proposal is to incorporate Design Treatment 4, which is wall signage of at least six feet in length and four feet in height. A condition of approval will be that the Certificate of Occupancy will not be approved until the sign is approved and installed. Note the maximum square footage of a sign on this side of the building is 50 square feet.

Code Section 134.469(1)f. requires a three-dimensional cornice, at least 2.5 feet in height or as needed to conceal mechanical equipment (whichever is taller), shall be used along all flat (less than 3:12 pitch) or parapet roof portions. The cornice is not proposed. The conclusion of an architect consultation is support of the proposed waiver.

Granting of the proposed waiver from Code Section 134.469(1)f. to not require the 2.5 feet high cornice in the building design will,

- not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- the size and current parapet design is sufficient to meet the design objective of the ECD;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare of the city;
- Requiring the addition of a 2.5 feet in height cornice to the design is illogical, impractical, and unreasonable.

Another requested waiver is to Code Section 134.469 (1)c.4 allowing the required vertical change to not be hung between 13-15 feet above the grade. A building height more than 20 feet requires a vertical change in 75% of the front façade between 13 to 15 feet above the adjacent sidewalk grade to ensure a human scale. This can include a step back or step forward of the building, a material change, or awnings/canopies. For the subject building, this is accomplished

with the use of a covered patio, the windows change to stucco, and the glass to wood at the entrance. Technically, the covered patio does not meet code as it is 12 feet above the grade; it does, however, meet the intent and staff supports the waiver.

- The waiver will not have the effect of nullifying the intent and purpose of the standard;
- granting of the proposed waiver will not be detrimental to the health, safety and welfare of the city;
- Requiring the patio canopy to be 13 feet above the adjacent sidewalk grade is unreasonable if the ECD design objective is met.

Lighting and Photometric Lighting Plan

The applicant is requesting several waivers from the ECD lighting standards required by Code Section 134-470(f). First, Code Section 134-470(f)(1)a. requires a minimum foot candle of 2.0 where pedestrians will be present. In general, 2.0 foot candles is the recommended lighting for parking lots. This compares to 20-35 for recreational tennis courts and 80-150 for televised college football stadiums. Other jurisdictions in the area allow design to 1 to 1.5. Consultation with Chief Freeburg agreed 1.0 provides reasonable lighting coverage.

Staff supports this waiver and makes a finding that,

- granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- granting of the proposed waiver will serve the health, safety and welfare of the city;
- the waiver is the minimum that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard.

Second, Code Section 134-470(f)(2) requires decorative lighting and Code Section 134-470(f)(3) limits the lighting fixture height to 16 feet. As well, per Code Section 134-470(f)(1)b, except for bollard type lights, light poles must be set a minimum distance of 17.5 feet from trees. The applicant is requesting waivers from fixture height and decorative requirements claiming it is unreasonable to not allow continuation of the existing three 30-foot high light poles on the property.

The first one is along Hansel Avenue as shown on the next page. This type of lighting is contrary to the character envisioned along the main road of the ECD.



- Granting a waiver to allow this light fixture to remain will have the effect of nullifying the intent and purpose of the lighting standards;
- Granting a waiver to allow this light fixture to remain will negatively impact the health, safety and welfare of the city; and
- Provision of the required lighting is reasonable, logical, and possible.

The second existing light fixture is along Hoffner Avenue as shown below.



It may be unreasonable to require jack and bore under the road to provide electricity to fixtures on this side of the property; however, with other lighting being required to provide the minimum foot candle throughout the parking lot, electricity from a different direction is likely to be avaible making elimination of this light pole possible. Elimination would also provide consistency with ECD Section which calls for elimination of overhead utilities. Additional information is necessary to determine if elimination of this fixture is unreasonable.

The illustration of the third existing light pole, which is in the rear/easten portion of the property, shows the rationale for maintaining the lighting fixture height. The light fixture is totally within the tree canopy. Whereas staff does not oppose maintaining this fixture if demolition is unreasonable, the additional lighting to meet the minimum footcandle along the east side of the parking area should meet the ECD height and decorative standards.



Action Needed: Revise the site plan adding the decorative lighting where necessary to achieve the minimum foot candle. Revise the demolition plan to include the demolition of the 30-foot light pole along Hansel Avenue. (Accepted)

Waiver and Variance Summary

- Waiver of Code Section 134-468 (g)(1) a to allow a seven-foot high opaque vinyl fence in lieu of the seven-foot high opaque brick wall where property is adjacent to Low Density Residential designated property.
- Waiver of Code Section 134-468(h)(2) which requires Highrise Oaks with 5" caliper.
- Waiver of Code Section 134.469 (1)c.4 to allow the required vertical change to not be hung between 13-15 feet above the grade.
- Waiver of Code Section 134.469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height along all flat or parapet roof portions.
- Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the district to a maximum of 48 inches.
- Waivers of Code Section 134-470(f) which requires a minimum foot candle of 2.0 where pedestrians will be present.
- Waiver of Code Section 134-470(f)) which requires decorative lighting, at a maximum fixture height of 16 feet, and located at least 17.5 feet from trees.
- Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner side of the building.
- Waiver of Code Section 134.471(2)e which requires a street wall to screen the parking spaces (Hoffner).
- Waiver of Code Section 134-471(2)e., which requires the street wall to be located at the build line (Hansel).
- Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width.
- Waiver of Code Section 134-472(b), which requires drive-up windows to on the rear of the building.
- Waiver of Code Section 134-472(b, which requires a drive up lane of a minimum of 120 feet in length as measured at the first stopping point. (No longer require this waiver)
- Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.
- Waiver of Code Section 134-474(c)(4)a. which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.
- Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.

ESH

Orange County Division of Building Safety

201 South Rosalind Avenue

Reply To: Post Office Box 2687 • Orlando, Florida 32802-2687 Phone: 407-836-5550

www.ocfl.net/building

Section E, Item 5. 09 / 13 / 2021

Building Permit Number

APPLICATION FOR BUILDING/LAND USE PERMIT*

* All Applications Must Comply with Concurrency Requirements

WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF

COMMENCEMENT."	
PLEASE PRINT: The undersigned hereby applies for a per	rmit to make building improvements as indicated below on property.
Project Address: 5645 Hansel Ave. (Must match address on plans)	
Suite/Unit #: Bldg #:	City: Edgewood Zip Code: 32809
Subdivision Name:	
Parcel ID Number: Section Townshi (15 Digit Parcel ID Number & Legal Descriptio	ip Range Subdivision Block Lot on must be on plans)
Owner Name: CNBM Investments/Nelson Lerma	Phone No.: (352) 262 - 8955
Owner Address: 1073 Campbell Street	City: Orlando State: FL Zip Code: 32806
Tenant Name: BEMI Investments	Phone No.: (352) 262 - 8955
Nature of Business: Cafe/Bakery	
Architect Name: Rabits & Romano	License No.: AR99846 Phone No.: (407) 490 - 350
Civil Engineer Name: Harris Civil Eng.	License No.: 9814 Phone No.: (407) 629 - 4777
Nature of Proposed Improvements: site im	provement/ expansion
Demolition Permit #:	Site Work Permit #:
PROPERTY ON SEWER or SEP	ric
Permit valuation greater than \$2500 requi	ires a notarized Page 2. and Notice of Commencement prior to the first inspection.
s Notice of Commencement Recorded?	Yes No
f there were comments on this project, ho	w would you like to receive them?
Pick them up	ner shall access Web Page)
	of Code Violation written by an Orange County Inspector? Yes
s proposed work in response to an unsafe	
	lo If Yes, Commercial Plans Examiner(s):
s building fire sprinklered? Yes No	Troi, commodar and Edition (c).
Detached Garage? Yes No	Valuation for Detached Garage Only: \$0.00
Required work: Plumbing Electrical	/ / /
Alterations Only:	wechanical Gas Krooting Inone
s this a new tenant? Yes No	If yes, state previous use:
	ii yes, state previous use.
ntended use of space:	N.d.
	Above:
Rear:S	ide:Below:
	Total Job Valuation: \$ 400,000.
County Ordinances regulating same and in accorda	ove, and if same is granted I agree to conform to all Division of Building Safety Regulations and ance with plans submitted. The issuance of this permit does not grant permission to violate any odes and/or ordinances. I hereby certify that the above is true and correct to the best of my
PLEASE PRINT: (Check one) Owr	ner: Contractor:
lame of License Holder/Agent: David Santia	
Contractor License Number (if applicable):	
	6305 / E-Mail Address: Santlagoz@qualisconcrete.com
uthorized Signature:	Tul (0)
1011	my y
Para más información en español,	por favor llame al Departamento de Building Safety al número 407-836-5550.

70

Permit Application Information - Page Two

Owner's Name CNBM Investments/Nelson Lerma			
Owner's Address 1073 Campbell Street	Permit Number		
Fee Simple Titleholder's Name (If other than owner's)	it No		
Fee Simple Titleholder's Address (If other than owner's)	mber		
City Orlando State FL	Zip Code 32806		
Contractor's Name David Santiago Zuleta			
Contractor's Address275 Lakay Place			
City Longwood State FL	Zip Code 32779		
Job Name Mecatos Bakery & Cafe			
Job Address <u>5645 Hansel Ave.</u>	SUITE/UNIT		
City Edgewood State FL			
Bonding Company Name			
Bonding Company Address			
CityState			
Architect/Engineer's NameRabits & Romano Architecture/Harris Civil Engin			
Architect/Engineer's Address 5127 S, Orange Ave, Suite 110, Orlando/120			
Mortgage Lender's Name			
Mortgage Lender's Address			
SIGNS, POOLS, ETC.	red for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, courate and that all work will be done in compliance with all applicable		
WARNING TO OWNER: Your failure to record a Notice for improvements to your property. A Notice of Comme before the first inspection. If you intend to obtain finance recording your Notice of Commencement. Owner Signature The foregoing instrument was acknowledged before me this 9 1/4 12/	encement must be recorded and posted on the job site		
by // EKA / BrMQ who is personally known to me and who producedFC_DC	by Zuleta Davio Scriwho is personally known to me and who produced R DL		
as identification and who did not take an oath.	as identification and who did not take an oath.		
Notary as to Owner Lunda Weeffrom	Notary as to Contractor Inguilary		
Commission No. HH/1225	Commission No. <u>GG 982771</u>		
State of FL. County of UTCANK My Commission expires: 03 31-2021	State of FL. County of Grange My Commission expires: APPL 28,2024		
(SEAL)			
SEAL)	(SEAL)		
Notery Public State of Florida Pamela Wolfpramm My Commission HH 112252 Expires 03/31/2025	Notary Public, State of Florida Commission# GG 982771 My comm. expires April 28, 2024		

Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.



COMMERCIAL SITE PLAN CHECKLIST AND APPLICATION

City of Edgewood, Florida

Per Section 134-134 — Commercial/Industrial MAKE PAYMENTS PAYABLE TO: City of Edgewood REQUIRED FEE: \$500.00

INSTRUCTIONS: Type or print with BLACK INK. Fill out carefully. Each question must be answered and the necessary documentation provided with this application. Attach additional pages as necessary.

NAME OF DEVELOPMENT Mecator LOCATION 5645 Hansel Ave			#/· A		-
OWNER/DEVELOPER: Name CNBM				212 8955	+
ENGINEER/ARCHITECT: Name Harris					-
					_
SURVEYOR: Name Donald Har	ae	LECENIC	Phone #:		-
SITE PLAN: 1' = 20' ZON	ING Commerc				-
SETBACKS: FRONT		CAR	REAR		
LEGAL DESCRIPTION: LOT 24	PB 23	Pg 2°			
	T 00	R 014			
BOUNDARY & TOPO (FLA P.L.S.):		K_0.7			
GROSS AREA: SQ.FT. CONTOL		MENTS	✓ BENCH D	ATUM	
EXISTING: BUILDING POV					
STORM DRAINAGE P	AVEMENT	GAS		OTHER	1
STORM DRAINAGE PROPOSED: BUILDINGS	GROSS AREA	SC	FT. IMPERVIOUS	21,057 ft	2
PAVEMENT AREA	SQ.FT		SIDEWALKS		
SETBACKS: FRONT	SIDE				
PAVEMENT TYPICAL SECTION:					
DRAINAGE: OPENCLOSED		TENTION		FENCED	
BASIN: WET DRY					
WATER: OUC FIRE HYDRANT(S)					
SEWER:SE	PTIC TANK		POWER		
LANDSCAPING SIGNS	/	STRIF	ING /		
LIGHTNING: TEL LANDSCAPING SIGNS PARKING: REQ'S SPACES 33	PROVIDED	31	REG	2	H'CAP
				33	TOTAL
PERMITS REQUIRED			SERVICE AGREEMEN	TS OR PERMITS:	
SEWER:	_		ORLANDO UTILITIES COMMISSION FLORIDA POWER CORPORATION		
DRAINAGE: SJRWMD					
FDOT:			SEABOARD SYSTEM	The state of the s	
SEPTIC TANK:			OTHER:		
FIRE PROTECTION:					
FDER:	-				III.
			Reviewed by	Date	

Site review fees as adopted by City Council December 3, 1985 is two (2%) percent of the cost of site but not less than \$200.00. Site work Includes planning, drainage, utilities, parking, landscaping and related work.

Revised - 5/28/2020

405 Bagshaw Way Edgewood, FL 32812 • Tel: 407-851-2920 • www.edgewood-fl.gov fl.gov

Section E, Item 5.

Owner Signature The foregoing instrument was acknowledged before me this PLUL as identification as identification

and who did not take an oath.

Notary as to Owner <u>familial response</u>

Commission No. <u>H/+ 27.52</u>

State

of FL County of Note / Public Life. My

Pamela Wolfg 200 2 (SEAL)

The foregoing instrument was acknowledged before me this 9/14/21 by 2014 DADIO Santiago who is personally known to me and who produced PLDL as identification and who did not take an oath Notary as to Contractor Wand State of FL. County of Orange My

Commission expires: April 20, 202 (SEAL)



INGRID CRUZ Notary Public, State of Florida Commission# GG 982771 My comm. expires April 28, 2024 October 29, 2021

City of Edgewood Ms. Ellen Hardgrove, City Planner 405 Bagshaw Way Edgewood, FL 32809

RE: 5645 Hansel Ave. Waiver Request

Dear Ms. Hardgrove,

Thank you for your assistance with the review process for the development of the Mecatos Bakery & Cafe. The redevelopment of 5645 Hansel Avenue will be a wonderful addition to the corridor while carrying out the vision of the ECD "to establish land use pattern that includes creation of activity nodes, where the primary focus is a high energy mix of live/work/play uses around well-designed public spaces…" In order to develop this neighborhood bakery, we are asking for several waivers to comply with the ECD Ordinances.

Sec. 134-142 Cross Access Easements (Ordinance No. 2002-04)

Vehicular and pedestrian cross access shall be provided between adjacent parcels consistent with sound and generally accepted engineering practices and principles.

A waiver is being requested for the vehicular and pedestrian cross due to space limitations. With the provided site plan, adding the access would compromise the site's parking spaces, as the site is already at limit in meeting the required parking spaces. Adding the access would further take away from the space needed to meet the parking requirement.

Sec. 134-468g, (1)a Site Design (Ordinance 2018-09)

Where EC District is adjacent to property with a low density residential future land use designation, a seven-foot high opaque brick wall, of colors normally found in manufactured fired brick, shall be constructed five feet from the property line adjacent to a low density residential future land use designation and ECD zoned property.

A waiver is being requested for the opaque brick wall. In lieu of the brick wall, a beige vinyl fence will be used due to the fact that the road where the fence will be installed might be needed for electrical servicing by the utility companies since power lines flow above. A modular fence that can be moved or removed is best suited for electrical access to the power lines. Furthermore, the site has existing oak trees and vegetation that provide sufficient separation from the adjacent properties, and a beige six foot vinyl fence is ideal as it will blend with the environment and further provide sufficient separation.

Sec. 134-470(c)(3) Other Design Standards-Fences (Ordinance 2018-09) *Maximum height of fences anywhere in the district shall be 48 inches.*

A vinyl fence has been requested for wall in between the site and the adjacent residential property. As such, we are requesting this waiver to allow for this fence to be six feet in height.

Sec. 134-468g.(1)b.3 Minimum side yard/building setback width and use

On lots abutting SR 527, Holden, Hoffner, or Gatlin Avenue, development within the side yard shall conform to the road view site standards and the standards of the People Space. Abutting other side streets, the minimum building setback shall be 25 feet and shall conform to the city's code for building perimeter landscaping.

A waiver is requested for the people space along Hoffner Ave. A provision for the street trees along Hoffner Avenue has been accommodated by adding two 14-feet islands along Hoffner in addition to an 8.5-feet space for shrubs and additional trees.

Sec. 134-468 (h)(2) People Space

Trees shall be provided in the People Space-according to the following standards; provided, however, alternative species may be approved during the site plan review process when the proposed species of tree can fulfill the intended design intent, and at the same time achieve full growth and form. Alternating more than two species is strongly discouraged as it will detract from the goal of a recognizable, cohesive development pattern:

Street Trees	Characteristics	Minimum Requirements
Highrise Live	Once established, Live Oak will thrive in	Minimum 5" caliper
Oak	almost any location including narrow spaces	per Florida Grades and
Quercus	and sidewalk to street applications.	Standards, Florida Grade
virginiana***	Once established a live oak will grow about	#1
	2—4 feet and 1 inch of caliper per year.	
	Semi-evergreen	
	Mature Height: 30—40'	
	Mature Spread: 16-25'	

We are requesting a waiver for the minimum 5" caliper requirement. Due to the difficulty in finding a high rise live oak with a 5" caliper, we request this waiver to use a live oak with a 3" caliper.

Sec. 134.469 (1)b Building Design-First floor façade transparency

At least 60 percent of the width of the ground floor road frontage façade shall contain clear (transparent) or spectrally selective glazings (minimum VLT of 60 percent) considered as "non-reflective" glass.

To be in compliance, we are proposing to use clear glazings for the storefront and doors.

Sec. 134.469(1)f Building Design- Design of buildings within the road view portion of the site.

A three-dimensional cornice, at least 2.5 feet in height or as needed to conceal mechanical equipment (whichever is taller), shall be used along all flat (less than 3:12 pitch) or parapet roof portions.

We are requesting a waiver from this requirement based on the size and current parapet design.

Sec. 134.469 (1)c.4 Building Design-Façade Horizontal Variation

Non-continuous cantilevered window treatments no more than 40 feet wide, occupying 50—70 percent of the building's length, placed 13—15 feet above the adjacent sidewalk grade, with a minimum eight feet clear height.

The design meets the requirements under the canopy exemption except for the height at which the canopy and front door overhang are "hung," which is 10 feet (the top of the glazing). They are below the 13 foot minimum height.

The canopy and front door overhang are "hung" at 10 feet (the top of the glazing). We are requesting a waiver because the canopy is not "hung" from the building. It is supported on columns, and the door overhang is created by recessing the front doors.

Sec. 134-470(f)(3) Other Design Standards-Exterior Lighting (Ordinance 2018-09)

The height of an outdoor lighting fixture (inclusive of the pole and light source/luminaire) shall be pedestrian in scale, a maximum height of 16 feet. Height shall be measured from the finished

grade to the top of the light fixture. Deviation for heights of fixtures will be considered on a case by case basis where it is shown not to be detrimental to the purpose and intent of this division.

The lighting fixtures on the site are previously installed Duke Energy poles. The existing poles provide sufficient lighting to the site, and the main power supply provided from the poles needs to be sturdy enough to cross Hoffner Avenue. Therefore, we are a requesting a waiver for the height requirement of the outdoor lighting fixtures.

A drive thru restaurant from an engineering perspective requires sufficient illumination to ensure the safety of pedestrians and drive thru cars at the same time. The current 30-foot pole provides sufficient illumination to ensure pedestrian safety at the site. The site will also have added decorative lighting in the people space and along Hoffner to illuminate the trees and vegetation. In addition, the seating area east of the property will have decorated lighting at 12 feet of height to ensure sufficient lighting is provided.

Sec. 134-471(1)a Access/Parking Design (Ordinance 2018-09)

A minimum 14-foot pedestrian zone shall be provided adjacent to the back curb of Hoffner Avenue. The pedestrian zone shall include an unobstructed eight-foot wide straight (not curvilinear) sidewalk separated from the curb by at least a six-foot wide grassed strip.

The 14-foot pedestrian zone along Hoffner cannot be fully met, but an 8-foot people space will be provided and will be populated with vegetation and trees to ensure proper shade for the sidewalk along Hoffner Ave. In addition, a six-feet connection from the Hoffner sidewalk to the site will be provided to accommodate pedestrian traffic along Hoffner.

Sec. 134-471(2)e

If a parking lot is provided on the side of a building, the vehicular area shall be screened from the road by a street wall, which is intended to screen the vehicle use area and ensure that lights from parked vehicles do not shine into the right-of-way or adjacent pedestrian way.

We are requesting a waiver for the street wall along Hoffner Ave. The site will provide sufficient shrubs that will be three feet in height as well as sufficient trees which will serve the same function as the street wall of screening the vehicle use area.

Sec. 134-471(2)h

The landscape break shall be a minimum of fifteen (15) feet in width with the length equal to the adjacent parking space, and include one broadleaf evergreen shade tree of an acceptable species.

We request this waiver to have a landscape break reduced by one foot, for a total width of 14 feet. The reduced width of the landscape break is needed in order to accommodate the addition

of the second island. Both islands will be populated with trees and will provide sufficient space for growth.

Sec. 134-472(b) Drive-up windows/facilities (Ordinance 2018-09)

(1)Drive-up windows shall be designed on the rear of the building.

(4)Drive-up aisles shall have adequate on-site queuing distance to accommodate six cars (120 feet) before the first stopping point (e.g., order window, teller window, atm machine).

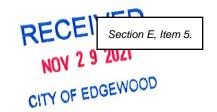
We kindly request a waiver for the queuing distance for the drive-up window. The current design will accommodate two cars (40 feet) before the first stopping point. The total length of the drive thru will accommodate six cars, with a total distance of 120 feet. The drive-up window on the building has been positioned west to provide additional space for cars to pull forward once the order has been placed, minimizing the amount of cars that must remain in cue at the first stopping point.

Sec. 134-474(c)(4)(a) Expansion of Existing Building

All parking is configured so as to be located 1) behind the imaginary line extended from the front façade of the building and a street wall, that meets the standards set forth in subsection 134-470(f)(6), including landscaping, is provided on the edge of the vehicular use area or 2) behind the imaginary line extended from the rear of the building with landscaping screening the parking area from views from the road/sidewalk.

A waiver is requested for the parking located in front of the façade of the building along Hoffner Ave. Additional parking spaces were needed in order to provide adequate parking to meet the ECD standards. In order to accommodate the additional parking spaces required, a secondary island was included along with a reduction of the Hoffner entrance. Furthermore, a 25-foot people space and screening wall is provided along Hansel in accordance with the ECD to block any visual of the parking from Hansel Ave. In addition, we have been working with FDOT to add an additional 10 feet of green space along Hansel Ave. in addition to an 8-foot side walk.





APPLICATION FOR VARIANCE

Reference: City of Edgewood Code of Ordinances, Section 126-588
REQUIRED FEE: \$350 RESIDENTIAL \$750 COMMERCIAL
(Plus Applicable Pass-Through Fees - Ordinance 2013-01)

Please note this fee is non-refundable

Office Use Only:)	1	Variance Application #:	2021-01-VAR
Received Date:	111	29/	2021	Received by:	50 Replaces
P&Z Meeting Date:			•	City Council Meeting Date:	

IMPORTANT: A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk _____ days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

			0 / 11	
Applicant's Name:	CNOM THE TOTAL		Owner's Name:	Nelson Lerma
	CNBM Investments, LLC			INCIDONI LEMINA
Address:	5645 Hansel Ave.		Address:	5645 Hansel Ave.
Phone Number:	352-262-8955		Phone Number:	352-262-8955
Fax:			Fax:	rema
Email:			Email:	
	nelson-lerma Chatmail	.Com	5-448.7×56-488.7×57×7	nelson-lerma chotmail.com
Legal Description:	Sub of Harney Homestead	C153 Beg SW Cor 4st I Run N 147 FT = 99 FT 5 147 FT WM 214 Replat L174 + LOTS 1 2+3 OF Hansel		
	W99 PT +LUT 4 OF Hansel	wm zh	Replat 474.	+ LOTS 12+3 of Hansel
Zoned:	Edgewood Central S	district		
Location:	5645 Hansel Ave.		d FC 32800	1
Tract Size:	24-23-29-3400-60		,	
City section of the Z	oning Code from which			
Variance is requested:		134-142		
Request:		To eliminate the requirement for a cross access caseme		
Existing on Site:				by with no access assement

The applicant hereby states that this request for Variance does not violate any deed restrictions on the property. Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.

Page 1 of 2



To justify this variance, applicant must demonstrate the following (Sec. 134-104 (3)(b):

- That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
- 2. That the special conditions and circumstances do not result from the actions of the applicant
- 3. That approval of the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings or structures in the same zoning district.
- 4. That literal interpretation of the provisions contained in this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
- 5. That the variance approved is the minimum variance that will make possible the reasonable use of the land, building or structure.
- That approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
- 7. That the variance sought will be consistent with the Edgewood Comprehensive Plan.

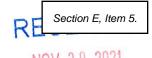
1.	with the Ordinance	iance, the City may es, and any regulation made a part of the	ons enacted under its authori	tions and safeguards in conformity ity. Violation of such conditions and ace is granted shall be deemed a
	AGREE:		DISAGREE:	
2.			lanning and Zoning Board and th Chapter 134-104 (3) (e).	d approved by the City Council shall

AGREE:		DISAGREI	E:	
The applicant hereby states property.	that the above request for	or Variance doe	es not violate any deed restrictions on th	е
Applicant's Signature:	Nelson Lewe	Date:	11-22-2621	
Applicant's Printed Name			,	
Owner's Signature:	Nelson Lema	Date:	11-27-2021	
Owner's Printed Name:	Nelson Lerma			

Please submit your completed application to City Hall via email at bmeeks@edgewood-fl.gov or sriffle@edgewood-fl.gov, via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Bagshaw Way. For additional questions, please contact City Hall at 407-851-2920.

Page 2 of 2

Revised 5-29-2020



Purpose for the Variance 5645 Hansel Ave.

NOV 29 2021 CITY OF EDGEWOOD

Code Section 134-142 requires vehicular and pedestrian cross access be provided between adjacent parcels. However, a variance is being requested because there are special conditions and circumstances that exist which are peculiar to the property involved which are not applicable to other lands, structures or buildings in the same zoning district.

These special conditions and circumstances do not result from the actions of the applicant. To the east is residential land. To the north is a non-residential parcel. A cross access is not necessary in connecting the parking area to that on the subject property given the one-way circulation of the traffic of the subject property. In addition, there is a significant grade difference between the two non-residential parcels. The grade difference is a minimum of three feet, making it improbable to have a cross access between the two properties.

The variance sought is consistent with the Edgewood Comprehensive Plan. The City's engineer has determined it is not practical to require the cross access on the subject property, and this variance is being requested to allow elimination of the code requirement for a cross access easement.

Approval of the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures in the same zoning district; and approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that at its Planning & Zoning meeting on Monday December 13, 2021, the Planning and Zoning Board of the City of Edgewood, will consider Variance Application No. 2021-VAR-01 to Section 134-142 of the City's Code to eliminate the requirement for a cross access easement located at 5645 Hansel Avenue which is currently in Edgewood Central District (ECD) zoning district (City of Edgewood Code of Ordinances, Reference Section 134-104 [Variance]). The meeting will be held in the Council Chambers of City Hall, 405 Bagshaw Way, Edgewood, Florida beginning at 6:30 p.m. or as soon as possible thereafter.

The Planning and Zoning Board's recommendation will be forwarded to City Council on Tuesday, January 18, 2022 at 6:30 p.m. for final action.

The subject property for variance is legally described as SUB OF HARNEY HOMESTEAD C/53 BEG SW COR LOT 1 RUN N 147 FT E 99 FT S 147 FT W 99 FT (LESS ST RD R/W ON W & S) AND FROM A PT 896.3 FT N OF CENTER OF SEC RUN N 136.15 FT E 75.87 FT FOR POB E 73 FT N 11.64 FT W 74.02 FT S 11.08 FT TO POB & LOT 4 OF HANSEL W M 2ND REPLAT L/74 & LOTS 1 2 & 3 OF HANSEL REPLAT J/45



Interested parties may attend this meeting and be heard with respect to this Variance application. In addition, the application(s) may be inspected by the public at the City Clerk's Office, 405 Bagshaw Way, Edgewood, Florida. You may reach City Hall at 407-851-2920; City Hall is open Monday – Thursday 8 a.m. to 4 p.m. and Friday 8 a.m. to noon. Should you have any questions or concerns, please do not hesitate to come to City Hall to review the file.



This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the Planning and Zoning Board and City Council on this topic to properly noticed hearings or to written communication to the City Clerk's Office.

Any person aggrieved by a recommendation of the Planning and Zoning Board may file a notice of appeal to the City Council within seven days after such recommendation is filed with the city clerk.

The City of Edgewood desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26, *Florida Statutes*, should, at least 48 hours prior to the meeting, submit a written request that the physically handicapped person desires to attend the meeting to the City Clerk's Office.

This public hearing may be continued to a future date or dates. Any interested party is advised that the date, time, and place of any continuation shall be announced during the public hearing and that no further notices regarding this matter will be published.

Should you desire additional information, regarding this application, please feel free to contact the City Clerk's Office at 407-851-2920, or e-mail at sriffle@edgewood-fl.gov.

Sandra Riffle Deputy City Clerk Dated: 11/30/2021

You may either mail in your comments and concerns	<u>s on the</u>	space 1	<u>orovideo</u>
below or submit directly to City Hall. Please see above	our hou	rs of op	<mark>eration</mark>
We thank you for your participation.			



MECATOS BAKERY – EDGEWOOD

5645 HANSEL AVE, EDGEWOOD

STORMWATER SYSTEM DESIGN REPORT

City of Edgewood

PREPARED BY Harris Civil Engineers David Taylor, PE

1200 Hillcrest St. Orlando, Fl 32810

davidt@harriscivilengineers.com

Prepared for:
Nelson Lerma Jr.
1073 Campbell St. #200
Orlando, FL 32806
nelson lerma@hotmail.com

This item has been digitally signed and sealed by **David Taylor**, **P.E.** on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



October 25, 2021

HCE Project No. 7391000



TABLE OF CONTENTS

TIBLE OF CONTENTS	
INTRODUCTION	. 1
METHODOLOGY	. 1
PRE-CONSTRUCTION CONDITIONS	. 2
POST-CONSTRUCTION CONDITIONS	. 2
WATER QUALITY	. 3
RESULTS	. 3
APPENDIX A – PRE/POST CONSTRUCTION CALCULATIONS	
APPENDIX B – WATER QUALITY CALCULATIONS	
APPENDIX C – GEOTECHNICAL REPORT	



INTRODUCTION

This report describes the process and presents the results of the stormwater run-off calculations that were performed for the construction activities that will shortly be undertaken for a new Mecatos Bakery at 5645 Hansel Ave in Edgewood, Florida.

The proposed 0.92-acre site is currently developed. This project involves the demolition of the existing infrastructure and proposes a new building expansion and facilities along with site improvements. For further details of the proposed construction activities, see the construction documents dated October 25th, 2021.

METHODOLOGY

The design of the post-construction system was based on criteria set forth in the Saint John's River Water Management District (SJRWMD) Permit Information Manual, latest edition.

Per the SJRWMD water quality criteria, the site, East and West basins, must hold back the greater of 1" of runoff over the entire basin or 2.5" of runoff over the impervious area.

EAST BASIN

The East Basin was designed such that the pre-development peak run-off was less than the post-development peak run-off from the 25-year/24-hour rainfall event and retain the volumetric difference of run-off from a 100-year/24-hour rainfall event. The Rational Method was used to determine the pre-development versus the post-development peak flow rates to prove that they decreased. This was achieved by increasing the water attenuation volume from the pre-construction condition to the post-construction condition, while also decreasing the overall impervious area for the basin. In the case of this project, the rainfall amount is 8.6 inches for a 25-year/24-hour rainfall event and 10.6 inches for a 100-year/24-hour rainfall event.

WEST BASIN

The stormwater treatment facilities must discharge water in the post-development condition at a peak rate equal to or less than that of the pre-development condition for a 25-year/24-hour rainfall event. The West Basin was designed such that the pre-development peak run-off was less than the post-development peak run-off from the 25-year/24-hour rainfall event. This was accomplished using a positive rain outfall and the Rational Method to determine the pre-development versus the post-development peak flow rates. In the case of this project the rainfall amount is 8.6 inches for a 25-year/24-hour rainfall event.

Page 1 of 3

86



PRE-CONSTRUCTION CONDITIONS

The existing site has two basins, West and East, respectively, that cumulatively covers the 0.92 acres. The pre-construction areas and runoff coefficients (C-values) were calculated and used to determine the peak runoff of the pre-development condition.

The West Basin covers 0.36 acres, and using Rational Method has a peak runoff of 2.53 cfs for a 25-year/24-hour storm. This basin has a positive outfall over land into Hansel Avenue.

The East Basin covers 0.56 acres, and using Rational Method has a peak runoff of 3.07 cfs for a 25-year/24-hour storm. This basin's runoff flows to an existing pond that does not have an outfall.

See Appendix A for the pre/post construction calculations.

POST-CONSTRUCTION CONDITIONS

EAST BASIN

The design of the post-construction system includes a pond plus a series of perforated underdrains below the proposed locations of the permeable pavers. The underdrains are below a gravel envelope, with a minimum depth of 27". The pond and permeable pavers combined provides more water storage volume than the existing standalone pond.

See Appendix B for water quality calculations.

The post-construction areas and runoff coefficients (C-values) were calculated to determine the peak runoff of the post-development site condition for the East Basin.

The East Basin covers 0.56 acres, and using the Rational Method has a peak runoff of 2.98 cfs for a 25-year/24-hour storm.

See Appendix A for the pre/post construction calculations.

Page 2 of 4

87



WEST BASIN

The design of the post-construction system basin shall decrease the amount of impervious surface and therefore, the peak flow discharge rate is decreased.

The post-construction areas and runoff coefficients (C-values) were calculated to determine the peak runoff of the post-development site condition for the West Basin.

The West basin covers 0.36 acres, and using the Rational Method has a peak runoff of 2.53cfs for a 25-year/24-hour storm.

See Appendix A for the pre/post construction calculations.

WATER QUALITY

The required volume of water that must be treated for the site was according to the criteria of 2.5 inches of runoff over the impervious area for a wet detention system. The required water quality volume is 0.047 ac-ft. The provided water quality volume of the system, from the bottom of the gravel envelope to the top control level of the control structure, was a volume of 0.093 ac-ft. The water quality volume will infiltrate in under the required 72 hours and the 100-year volume will infiltrate within the required 14 days.

See Appendix B for the water quality calculations.

RESULTS

EAST BASIN

The post-development stormwater system has been designed to meet water quality requirements of the SJRWMD. The 0.16 ac-ft of water quality volume provided is greater than the 0.047 ac-ft required.

The pre-construction discharge rate for the East Basin is 3.07 cfs for a 25-year/24-hour storm event. The post-construction discharge rate is 2.98 cfs.

<u>WEST BASIN</u>

The pre-construction discharge rate for the West basin is, 2.53 cfs for a 25-year/24-hour storm event. The post-construction discharge rate is 2.53 cfs.

Page 3 of 4

88



Therefore, the post-development discharge rates on both the West and East Basins are lower than or equal to the pre-development discharge rates and the water quality requirements are met.

See Appendix C for Geotechnical Report



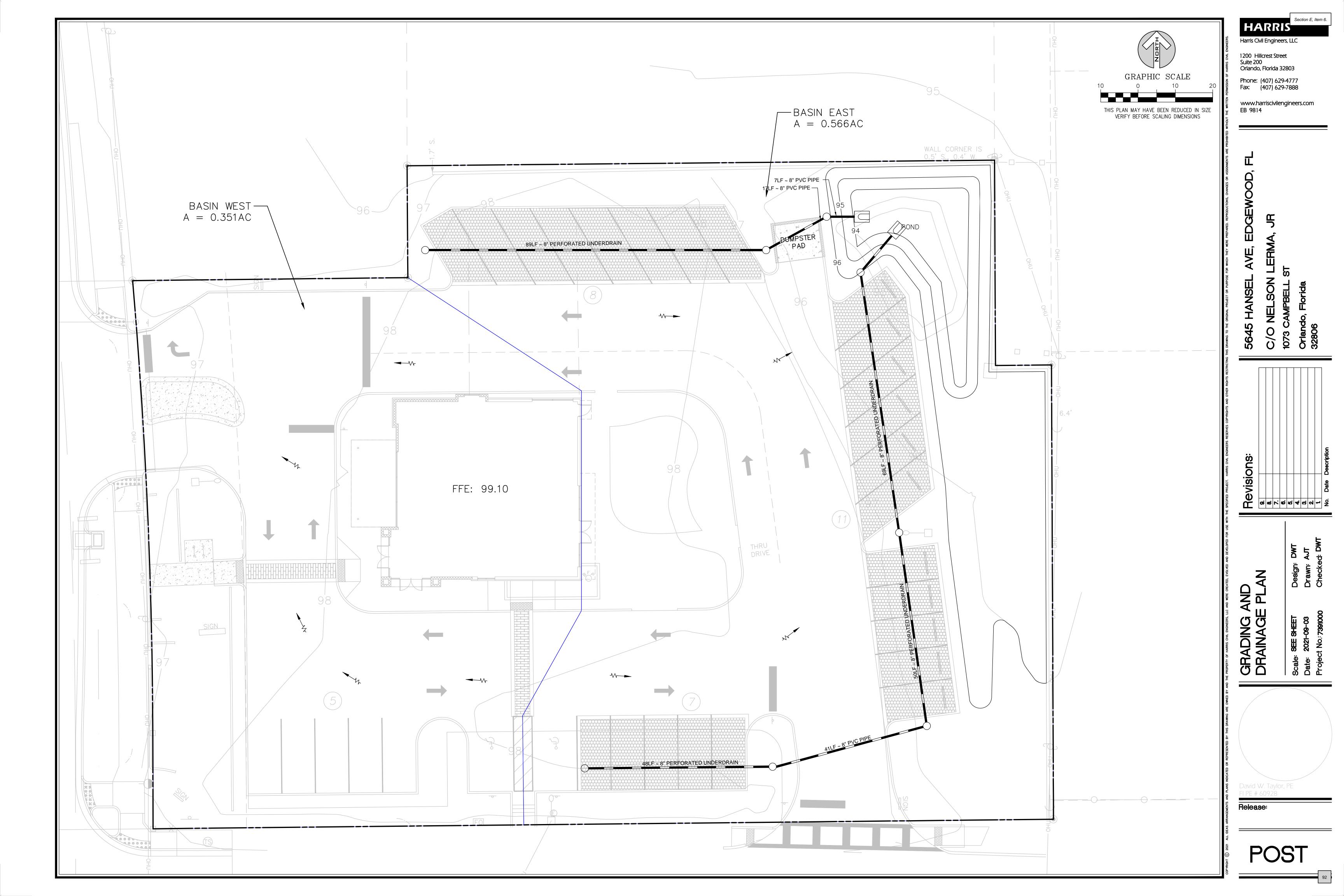
APPENDIX A – PRE/POST CONSTRUCTION CALCULATIONS

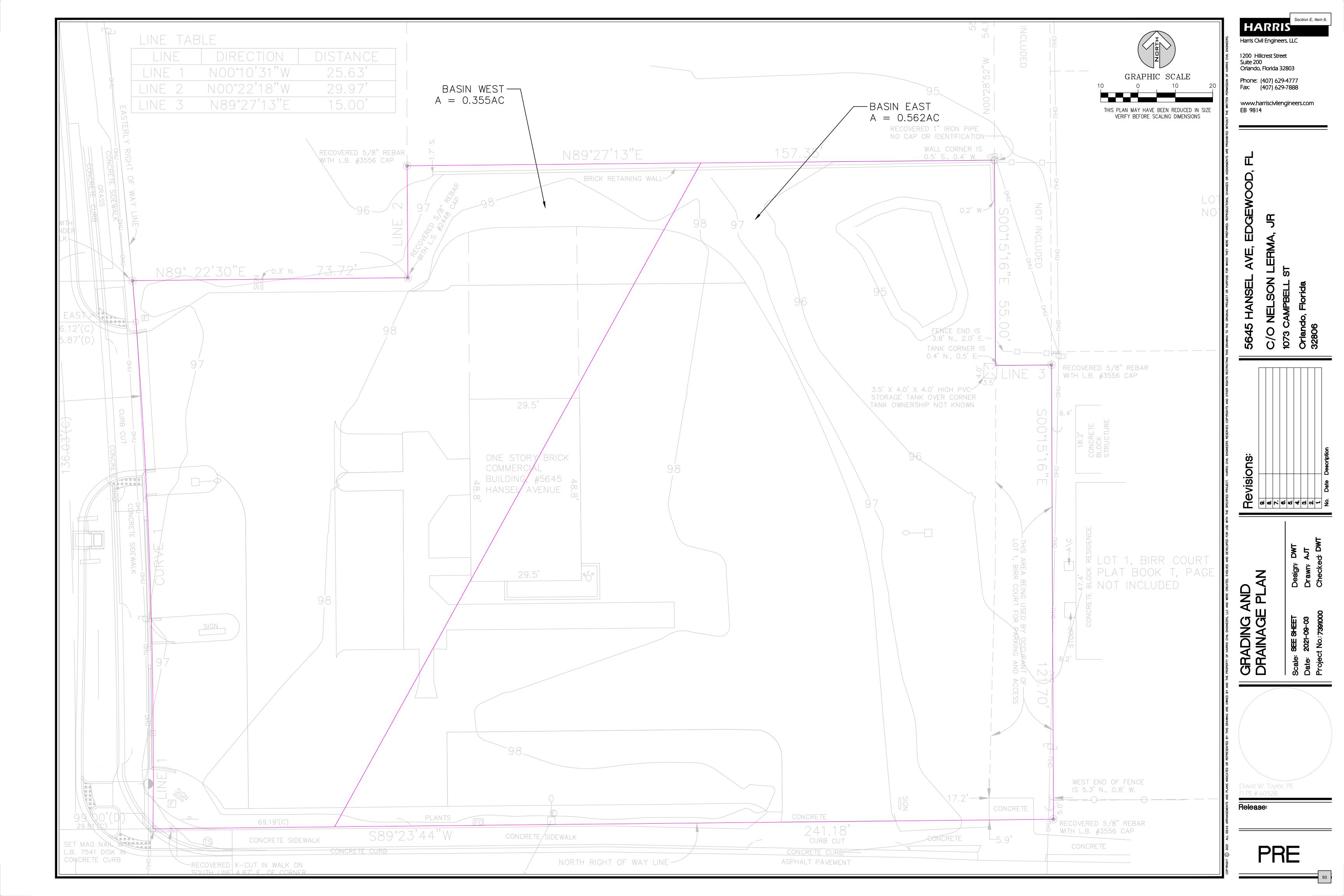
Pervious / Impervious Table

	Overall							
Ground Cover Description	Area (sf)	Area (ac-ft)	% Of Site					
Pre-De\	elopment Totals							
Building	1,443	0.033	3.6%					
Impervious	21,053	0.483	52.7%					
Pervious	17,442	0.400	43.7%					
Total	39,938	0.917	100%					
Post-De	velopment Totals							
Building	2,659	0.061	6.7%					
Pavers	4,464	0.102	11.2%					
Impervious	19,031	0.437	47.7%					
Pervious	13,784	0.316	34.5%					
Total	39,938	0.917	100.0%					

Basir	Basin 1 (East Side)							
Ground Cover Description	Area (sf)	Area (ac-ft)	% Of Basin					
Pre-De	velopment Totals							
Building	785	0.018	3.2%					
Impervious	9,646	0.221	39.4%					
Pervious	14,041	0.322	57%					
Total	24,472	0.562	100%					
Post-De	velopment Totals							
Building	0	0.000	0.0%					
Pavers	4,464	0.102	18.4%					
Impervious	9,789	0.225	40.4%					
Pervious	9,990	0.229	41.2%					
Total	24,243	0.557	100.0%					

Basin 2 (West Side)							
Ground Cover Description	Area (sf)	Area (ac-ft)	% Of Basin				
Pre-De	velopment Totals						
Building	658	0.015	4.3%				
Impervious	11,407	0.262	73.8%				
Pervious	3,401	0.078	22.0%				
Total	15,466	0.340	100%				
Post-De	velopment Totals						
Building	2,659	0.061	16.9%				
Pavers	0	0.000	0.0%				
Impervious	9,242	0.212	58.9%				
Pervious	3,793	0.087	24.2%				
Total	15,694	0.360	100.0%				





Rational Method for Pre vs Post Peak Discharge East Basin

Ground Cover Description	C-Value	Pre-Development	C*A	Post-Development	C*A
Building	0.95	0.0	0.0	0.0	0.0
Pavers	0.40	0.0	0.0	0.1	0.0
Impervious	0.95	0.2	0.2	0.2	0.2
Pervious	0.40	0.3	0.1	0.2	0.1
Total Area	(acres)	0.6		0.6	
Composite C-Value			0.63		0.62
1" Rainfall	(in/hr)		1		1
Q=C*I*A	(cfs)		0.36		0.35
Intensity (25-yr/24-hr rainfall)	(in/hr)		8.6		8.6
Q=C*I*A	(cfs)		3.07		2.98

Rational Method for Pre vs Post Peak Discharge WEST BASIN

Ground Cover Description	C-Value	Pre-Development	C*A	Post-Development	C*A
Building	0.95	0.02	0.01	0.06	0.06
Pavers	0.44	0.00	0.00	0.00	0.00
Impervious	0.95	0.26	0.25	0.21	0.20
Pervious	0.40	0.08	0.03	0.09	0.03
Total Area	(acres)	0.36		0.36	
Composite C-Value			0.83		0.82
1" Rainfall	(in/hr)		1		1
Q=C*I*A	(cfs)		0.29		0.29
Intensity (25-yr/24-hr rainfall)	(in/hr)		8.6		8.6
Q=C*I*A	(cfs)		2.53		2.53



APPENDIX B – WATER QUALITY CALCULATIONS

Water Quality Treatment Required

					Greater of These	- Orange County	Greater of The	ese - SJRWMD	Plus	Total
Drainage Basin I.D.	Drainage Area (SF)	Impervious Area (SF)	Pervious Area (SF)	Percent Impervious (%)	0.5 inch of Runoff From Entire Site (ac-ft)	1.0 inch of Impervious Area (ac-ft)	0.5 inch of Runoff From Entire Site* (ac-ft)	1.25 inches of Impervious Area* (ac-ft)	Additional 0.5" of Runoff From Entire Site* (ac-ft)	(ac-ft)
Post Basin 1 (East Side) Post Basin 2 (West Side)	24472 15466	9789 11901	9990 3793	40.0% 76.9%	0.023 0.015	0.019 0.023	0.023 0.015	0.023 0.028	0.023 0.015	0.047 0.043
TOTAL					0.038	0.041				0.090

ac-ft

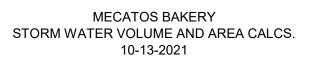
cf

Required Water Quality Volume* =

0.047 2,039

*Water quality volume only for east basin

West basin post impervious less then pre impervious therefor water quality treatment not needed
 Calculation based upon the design examples provided in the SJRWMD Environmental Resource Permit Information Manual





	POND					
Stage (feet)	Area (feet)	Volume (CF)	Cumul. Volume (CF)	Cumul. Volume (ac-ft)		
94.00	674.6	0.0	0.0	0.0		
94.50	917.4	398.0	398.0	0.01		
95.00	1198.3	528.9	926.9	0.02		
95.50	1477.8	669.0	1596.0	0.04		
96.00	3734.0	1303.0	2898.9	0.07		

	SOUTH PAVERS						
Stage (feet)	Area (feet)	Volume (CF)	Cumul. Volume (CF)*	Cumul. Volume (ac-ft)			
94.00	836.0	0.0	0.0	0.0			
94.50	836.0	418.0	167.2	0.01			
95.00	836.0	418.0	334.4	0.02			
95.50	836.0	418.0	501.6	0.03			
96.00	836.0	418.0	668.8	0.04			

SOUTH EAST PAVERS						
Stage (feet)	Area (feet)	Volume (CF)	Cumul. Volume (CF)*	Cumul. Volume (ac-ft)		
94.00	810.0	0.0	0.0	0.000		
94.50	810.0	405.0	162.0	0.009		
95.00	810.0	405.0	324.0	0.019		
95.50	810.0	405.0	486.0	0.028		
96.00	810.0	405.0	648.0	0.037		





NORTH EAST PAVERS						
Stage	Area (foot)	Volume	Cumul. Volume	Cumul. Volume		
(feet)	(feet)	(CF)	(CF)*	(ac-ft)		
94.00	1170.0	0.0	0.0	0.000		
94.50	1170.0	585.0	234.0	0.005		
95.00	1170.0	585.0	468.0	0.011		
95.50	1170.0	585.0	702.0	0.016		
96.00	1170.0	585.0	936.0	0.021		
94.00	202.5	0.0	0.0	0.000		
94.50	202.5	101.3	40.5	0.001		
95.00	202.5	101.3	81.0	0.002		
95.50	202.5	101.3	121.5	0.003		
96.00	202.5	101.3	162.0	0.004		

NORTH PAVERS						
Stage (feet)	Area (feet)	Volume (CF)	Cumul. Volume (CF)*	Cumul. Volume (ac-ft)		
94.00	1620.0	0.0	0.0	0.000		
94.50	1620.0	810.0	324.0	0.007		
95.00	1620.0	810.0	648.0	0.015		
95.50	1620.0	810.0	972.0	0.022		
96.00	1620.0	810.0	1296.0	0.030		
94.00	202.5	0.0	0.0	0.000		
94.50	202.5	101.3	40.5	0.000		
95.00	202.5	101.3	81.0	0.002		
95.50	202.5	101.3	121.5	0.003		
96.00	202.5	101.3	162.0	0.004		

SUMMARY						
Stage (feet)	Area (feet)	Volume (CF)	Cumul. Volume (CF)*	Cumul. Volume (ac-ft)		
94.00	5515.6	0.0	0.0	0.000		
94.50	5758.4	2818.5	1366.2	0.031		
95.00	6039.3	2949.4	2863.3	0.066		
95.50	6318.8	3089.5	4500.6	0.103		
96.00	8575.0	3723.5	6771.7	0.155		

^{*}Volume of paver area based on 40% voids



APPENDIX C – GEOTECHNICAL REPORT



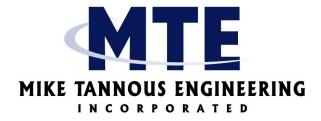
GEOTECHNICAL INVESTIGATION PROPOSED MECATOS BAKERY 5645 HANSEL AVE, EDGEWOOD, FL. MTE, INC. PROJECT NO. 21-325



Prepared For:

Mr. Nelson Lerma Via Email at: nelson lerma@hotmail.com

October 22, 2021



Geotechnical Engineering • Construction Materials Testing / Quality Control

October 22, 2021

Mr. Nelson Lerma

Via Email at: nelson lerma@hotmail.com

Subject: Geotechnical Study, Proposed Mecatos Bakery, 5645 Hansel Avenue, Edgewood,

Florida (MTE, Inc. Project No. 21-325)

Dear Nelson,

As requested, a representative of our firm performed numerous shallow auger borings at the above referenced site. The purpose of the borings was to evaluate the suitability of the shallow subgrade soils and groundwater table as they relate to the geotechnical engineering aspects of the planned development. The following report summarizes the results of our field and laboratory testing programs and presents our conclusions and recommendations.

SITE AND PROJECT DESCRIPTION

The subject property consists of Orange County Parcel No. 24-23-29-3400-00-014. More specifically, the property is an approximately $0.91\pm$ acre tract of land, located at the northeast corner of the intersection of Hoffner Avenue and Hansel Avenue in the City of Edgewood, Florida. The property currently contains an approximately 2,382 square feet, 1-story building (apparently a previous bank structure) which was purportedly built in 1963. The remaining portions of the site are mostly covered with asphaltic pavement. A retention pond occupies the northeast corner of the site, extending along a portion of the east side. A street view of the site is presented on the report cover sheet.

Based on review of a topographic map of the site, the majority of the site lies at elevations varying between approximately +97 to +98 feet. The area of the existing retention pond along the east side of the site lies at elevations of about +95 to +96 feet.

Based on our discussions and review of the conceptual site plan you provided, we understand that the proposed development includes the construction of a one-story addition along the west side of the existing structure and renovating the existing building for the intended use (a bakery store). We assume the existing pavement section will be removed and re-constructed, or at least milled and repaved. Storm water management from the new development will be managed by constructing pervious pavers along most parking stall locations, along with re-configuring the existing retention pond. The proposed layout of the development, as we understand it, is graphically illustrated on the attached Figure 1.

PURPOSE AND SCOPE OF SERVICES

As mentioned earlier, our firm was retained to evaluate the shallow subsurface soil and groundwater table conditions within the site as they relate to the geotechnical engineering aspects of the proposed development. Towards that objective, the following scope of services was performed:

- Reviewed The United States Department of Agriculture Soil Conservation Soil Survey Report of Orange County.
- Performed numerous borings in proposed building, pavement, and storm water management facilities.
- Recovered soil samples from the borings for visual examination and classification by the Project Engineer and for laboratory testing.
- Measured the depth of the groundwater table at the boring locations and estimated the high wet season groundwater level.
- Prepared this geotechnical report which summarizes the results of our field and laboratory evaluations and presents our conclusions and recommendations relative to the geotechnical engineering aspects of the planned development.

MTE, Inc. Project No. 21-325
Page No. 3

Lastly, after receiving estimated storm water volumes and stage storage calculations from the Project Civil Engineer, we performed seepage analyses to verify proper storm water runoff recovery time in the proposed retention pond and below pervious pavers.

Please be advised that the scope of work completed for this project included an evaluation of the relatively shallow sub-grade soils that will be most affected by the weight of the proposed building addition. The drilling of deeper borings for the purpose of evaluating the potential for sinkhole activity in the site was beyond our scope of work. Should you require it, we can perform a sinkhole assessment of the site under a separate scope of work.

Specific information regarding the anticipated structural loads of the proposed building addition was not available at the time of this study. For the purpose of our evaluations, we assumed maximum wall loads on the order of 2 to 3 kips per foot. In the event that support columns are proposed, we assumed maximum column loads of 30 kips per column. If it is determined that the structural loads are appreciably higher than the values presented above, please notify our firm so we may verify the conclusions outlined in this report.

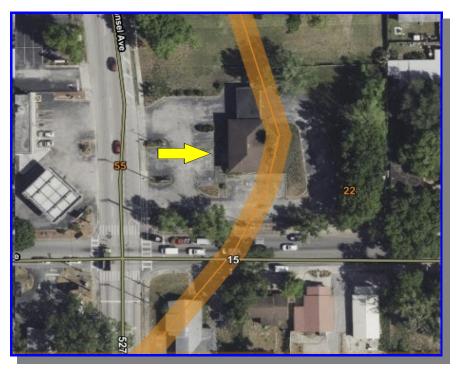
REVIEW OF SOIL SURVEY REPORT

The predominant near-surface soils within and around the subject site were mapped by the United States Department of Agriculture and the Soil Conservation Service (USDA/SCS), now known as the National Resource Conservation Service (NRCS) and were, subsequently, published in the Orange County Soil Survey Report. A map illustrating the generalized delineation of the various near-surface soils in and around the site is presented on the following page of this report. The yellow arrow points to the site.

As indicated by the Soil Survey Map, the approximate eastern half of the site is situated in an area mapped as Map Unit #22; Lochloosa Fine Sand. According to the Soil Survey Report, the near surface soils in this soil series are typically sandy in the upper 29± inches, grading into sandy clay loam to a depth of 80 inches. The soil series typically forms on rises on marine terraces and the area

is often somewhat poorly drained. The groundwater table is typically fluctuated between 18 and 60 inches below grade.

The approximate western half of the site is situated in an area mapped as Map Unit No. 55; Zolfo-Urban land Complex. This soil series typically forms on flats on marine terraces. The near surface soils are typically sandy in the upper 80 inches and the area is often somewhat poorly drained. The urban designation indicates that the area has been developed. The near-surface soils have been altered from their natural formation and the ground surface is mostly covered with impervious surfaces such as buildings, concrete, pavement, etc. The groundwater table is normally within 24 to 42 inches below grade, but can be deeper depending on the functionality of the drainage improvements made during development of the urban areas.



Aerial map illustrating near-surface soil delineation in and around the site. The map was obtained from the Orange County Soil Survey Report. The yellow arrow points to the site.

MTE, Inc. Project No. 21-325 Page No. 5

FIELD EXPLORATION PROGRAM

Auger Borings with Penetrometer Probes

A total of seven auger borings were performed for this project. Two borings were performed to a depth of 12 feet in the area of the proposed building addition; four borings were performed to a depth of 10 feet in areas proposed for storm water management; and one boring was performed to a depth of 7 feet near the entrance into the site. The borings were accomplished by manually twisting an open-ended bucket auger into the ground in 6-inch intervals, then recovering the soils collected by the auger. Auger borings allow for continuous sampling of the subgrade soils, in 6-inch intervals, for the entire depth of the borehole.

The approximate locations of the borings are graphically illustrated on the attached Figure 1. Note that the boring locations shown on Figure 1 were not surveyed and were determined on site by measurements from existing reference points found on the site. Therefore, the illustrated locations should be considered approximate and may not represent the exact boring locations.

Penetrometer probes were performed to depths of 7 to 12 feet at the auger boring locations in order to evaluate the relative compactness of the shallow subgrade soils. The hand cone penetrometer is a steel shaft with a conical point that is pushed into the ground in one-foot intervals. The resistance to penetration is registered by a dial gauge attached to the top of the shaft. The gauge reading provides a measure of the relative density of the subgrade soils. As a reference, it has been our experience that penetrometer probe readings of 0 to 4 in sandy soils generally indicate relatively very loose soils, readings of 5 to 10 indicate relatively loose soils, readings of 11 to 35 indicate relatively medium dense soils, and readings above 35 indicate relatively dense soil conditions.

Representative soil samples were collected from the borings during the field investigation. These samples were visually classified on-site by our field technician and were subsequently, returned to our office for further visual examination by the Project Engineer. Two undisturbed soil samples were recovered from the site and then returned to our laboratory facility for permeability testing; one sample was recovered from a depth of 3.5 feet at the location of Boring AB-2 (sample recovered from soil stratum #1) and the other sample was recovered from a depth of 3.5 feet at the location of Boring AB-7 (sample recovered from soil stratum #2).

In addition to the soil sampling, the groundwater level was measured in each open borehole at the time of the field investigation.

SUBSOIL AND GROUNDWATER TABLE

Shallow Stratigraphy

The stratigraphy observed at the borehole locations was determined based on our visual classification of the soil samples collected from the auger borings. The description and stratification of the soils were accomplished in general accordance with the Unified Method of Soil Classification. The results of our visual interpretations are presented in the form of soil profiles, shown on Figure 1. A legend of the terms and symbols used to create the soil profiles is also shown on Figure 1.

The results of the borings suggest that the site was previously filled/raised about 2 to 4 feet. The fill material typically consisted of a mixture of gray and brown fine sands to slightly silty fine sands. Below the fill material, relatively thin layers of grayish brown and very pale brown fine sands were encountered to typical depths of about $4\pm$ to $7\pm$ feet. The underlying subgrade soils then graded into pale brown slightly silty to silty fine sands, followed by reddish brown silty fine sands with cemented nodules. The silty sands extended down to the termination depths of all the boreholes. A more detailed delineation of the soils observed at each boring location can be reviewed in Figure 1.

The results of the penetrometer probes suggest that the subgrade soils are typically in a relatively loose to medium dense condition in the upper $5\pm$ feet, becoming predominantly medium dense to the maximum probed depth of 12 feet.

Groundwater Table

The groundwater table was encountered at depths varying between approximately $3\frac{1}{2}$ and $6\frac{1}{2}$ feet below ground surface at the boring locations. Based on review of the topographic map of the site, the measured groundwater levels typically correspond to an average elevation of about +92.5 feet. The measured groundwater level at each boring location is shown adjacent to the soil profiles presented in Figure 1.

MTE, Inc. Project No. 21-325
Page No. 7

It should be emphasized that the groundwater depth measured at each borehole location is indicative of the prevailing groundwater level at the time of measurement. The groundwater level in the site is expected to fluctuate throughout each year, mainly due to seasonal variations in rainfall amounts.

Based on the results of our borings and review of the Soil Survey Report, it is our opinion that the measured groundwater level on site is representative of the normal wet season groundwater level for the site. To accommodate for some temporary mounding of the groundwater level during heavy or extended rainfall amounts, we are estimating the high wet season groundwater level a few inches above the elevations measured during our study. For design purposes, we recommend assuming a high wet season groundwater table at an average elevation of +93 feet.

It should be noted that the estimated high wet season groundwater level provided above represents our anticipated high groundwater level, assuming normal rainfall events each year. This is not an assurance that the groundwater level cannot rise to shallower depths in the future. During years when normal rainfall quantities are exceeded and particularly during extended or prolonged rainfall events, the groundwater table could temporarily rise slightly above our estimated levels.

LABORATORY ANALYSIS

Our laboratory analyses included the visual classification of all soil samples recovered from the borings. As indicated earlier, the results of our visual interpretations are presented in the form of Soil Profiles shown in the attached Figure 1.

In addition to the visual classification of the soils, falling head permeability tests were performed on the recovered undisturbed soil samples. The results of these tests indicate that the coefficient of vertical permeability (k_v) of soil stratum #1 is equivalent to 18 feet per day. The coefficient of vertical permeability (k_v) of soil stratum #2 is equivalent to 26 feet per day Based on our experience, a coefficient of horizontal permeability (k_h) equivalent to at least 1.5 times the coefficient of vertical permeability (k_v) may be assumed.

CONCLUSIONS AND RECOMMENDATIONS

Suitability of Subsurface Soils

Based on the results of this geotechnical study, it is our opinion that following proper preconstruction site preparation activities, the shallow subgrade soils encountered in the property are generally suitable to provide proper bearing support to the proposed 1-story building addition supported on a conventional shallow foundation system (continuous wall footings and isolated column pads beneath concentrated loads). Furthermore, it is our opinion that the shallow subgrade soils are suitable for support of either a flexible or semi-flexible pavement section. Lastly, the shallow subgrade soil and groundwater table conditions are, in our opinion, favorable for proper operation of the dry bottom retention pond and the filtration/drainage system proposed beneath the pervious pavers. More detailed recommendations are provided below.

Pre-Construction Site Preparation

Pre-construction site preparation activities should include normal clearing, grubbing, and stripping of all top-soils, surficial vegetation, existing pavement sections, and other deleterious materials from beneath and to a minimum lateral distance of 5 feet beyond all proposed construction areas.

Once the clearing operations are completed, areas of the site proposed for construction should be proof rolled in order to achieve proper densification of the shallow subgrade soils at the stripped surface. Proof rolling can be performed using a relatively small roller in static mode or other on site construction equipment such as a front-end loader. Large vibratory compaction equipment should be avoided in order to minimize the potential for damaging near-by structures due to equipment vibrations. Areas that yield excessively during the proof rolling operation should be excavated and replaced with suitable granular soils.

Fill Soils

Fill material needed to achieve final site grades within proposed construction areas should consist of non-organic, non-plastic, and debris-free fine sands, preferably containing no more than 5 percent passing the U.S. Standard No. 200 Sieve (fines content). Slightly silty fine sands containing 6 to 12

percent fines may also be used as backfill soils, however, it must be understood that these soils are sensitive to moisture and become difficult to compact when the moisture content is too high. Therefore, moisture control must be exercised if these types of fill soils are used. If the soils become excessively wet and start pumping, then drying the soil by excavation/aeration will become necessary; otherwise removal and replacement with drier soils will become warranted. Fill material containing more than 12 percent fines content should be avoided, if possible.

Fill soils placed around the building and pavement areas should be placed in a manner to allow for positive drainage of storm water runoff away from the building and pavement areas. The fill soils should be placed in loose lifts not exceeding 12 inches in thickness and should be compacted as needed to achieve a minimum density equivalent to 95 percent of the soil's Maximum Modified Proctor Density (ASTM D-1557) value.

This compaction criterion should be achieved by all fill soils or by all foundation bearing soils that lie within a minimum depth of two feet below the bottom of the proposed foundation system, whichever is greater in depth. To facilitate the compaction efforts, the fill soils should have a moisture content that is within 2% of the soil's Optimum Moisture Content.

Fill soils placed in utility line trenches should also be properly placed and compacted as specified above. However, in these restricted working areas, compaction should be accomplished with lightweight, hand-guided compaction equipment and lift thicknesses should be limited to a maximum of 6 to 8 inches loose thickness.

Allowable Soil Bearing Pressure

Assuming that the site preparation activities are accomplished as recommended above, a maximum net allowable soil bearing pressure of 2,000 pounds per square foot (PSF) may be used for foundation sizing. This assumes that all new fill soils placed on site or all in-situ soils to a minimum depth of 2 feet below bottom of foundations, whichever is greater in depth, have been compacted to at least 95% of the soil's Maximum Modified Proctor Density value.

Foundation Support - Building Addition

Continuous footings below stem walls should be a minimum of 16 to 20 inches in width and 8 to 10 inches in thickness, regardless of the resulting bearing pressures. In the event any columns are proposed, column pads should be at least 24 inches by 24 inches (length and width) and 10 to 12 inches in thickness. All continuous footings below stem walls and individual column pads should be embedded at least 16 to 20 inches, as measured from the bottom of the footings/column pads to the overlying ground surface.

If a thickened edge slab-on-grade (monolithic) type foundation system is planned, then the height of the thickened edge (vertical distance between top of floor slab and bottom of thickened edge) should be no less than 16 to 20 inches and the bottom of the footing should be embedded at least 12 inches below the finished exterior ground cover. The bottom width of the thickened edge of the slab should be at least 16 to 20 inches.

All foundations should be properly reinforced with steel reinforcing bars. The Project Structural Engineer or Architect should determine the appropriate steel reinforcement in wall footings and column pads.

As discussed above, the depth of embedment of all foundations should be at least 16 to 20 inches as measured from the bottom of the footings to the overlying ground surface. However, at locations where new footings "butt up" to existing footings, we recommend that the new footings be placed at the same depth as the existing footing. This will minimize the potential for superimposing loads from one foundation system onto the other.

Settlement of Foundation Soils

Settlement of the subgrade soils will be primarily elastic in nature, i.e., occurring simultaneously upon application of the loads. The magnitude of settlement below the addition was computed using the estimated structural loading conditions discussed earlier in this report. The results of our calculations indicated that total settlement of the soils should not exceed ³/₄ - inch and differential settlement should be less than ¹/₃ - inch.

Building Slab-on-Grade

The interior floor slab of the addition may be supported on approved structural fill soils, compacted to at least 95% of the Modified Proctor Density value, as tested to a minimum depth of 12 inches below bottom of the slab.

It is recommended that the floor slab bearing soils be covered by a lapped polyethylene sheeting in order to minimize the potential for floor dampness which can affect the performance of tiles and carpet. This membrane should consist of a minimum six (6) mil single layer of non-corroding, non-deteriorating sheeting material placed to minimize seams and to cover all of the soil below the building floor. The membrane should be cut in cross shape for pipes or other penetrations and should extend to within ½ inch of all penetrations. All seams of the membrane should be lapped at least 12 inches. Punctures or tears in the membrane should be repaired with the same or compatible material.

The interior floor slab should be at least 4 inches in thickness and should be constructed using a concrete mix that is capable of achieving a minimum 28-day compressive strength equivalent to 2,500 psf. Within 24 hours after placement of the concrete, expansion joints should be cut in the floor slab as recommended by applicable standards. This will minimize the formation of random cracking in the slab as the concrete hydrates/cures. Control joints should be saw cut in a manner that creates a square configuration in the concrete pavement section. The depth of the saw cut/control joints should be at least one-third the thickness of the concrete section.

Pavement Construction

It is was not known to us whether you plan on removing all existing pavement sections and constructing new sections or if you plan on milling and re-paving the exiting asphalt layer. If you plan on removing the existing asphaltic pavement without removing the underlying base and subbase, then our firm should be notified once the asphalt layer is removed so we may inspect the existing base material and determine whether the in-situ base material can be utilized or whether removal and replacement of the existing base material is required.

The recommendations outlined below assume that the existing pavement section will be removed in its entirety and replaced with a new section. Based on the results of the borings performed, it is our opinion that the soils encountered are suitable for support of either a flexible or semi-flexible pavement section, following proper site preparation and subgrade soil compaction, as discussed earlier.

Provided that at least 18 inches of separation can be provided/maintained between the estimated high wet season groundwater level and the bottom of the proposed pavement base course material, pavement under drains will not be required.

Asphaltic Pavement Sub-base/Subgrade: It is recommended that a stabilized subgrade, consisting of 12 inches or more of soils compacted to at least 98 percent of the Modified Proctor Moisture-Density Test (AASHTO T-180), with a minimum Limerock Bearing Ratio (LBR) value of 40 psi, be constructed below the pavement base material. Please note that the in-situ, near ground surface soils encountered in the property are mostly granular in nature and therefore, will not produce the specified minimum LBR value discussed above. Therefore, the addition and mixing of clayey soils or crushed fines with the in-situ sandy soils should be anticipated in order to properly stabilize the pavement sub-base/subgrade. A properly mixed 40/60 blend of clayey soils / crushed fines with the in situ sandy soils should be sufficient to produce the desired LBR value. If needed, a mix design can be performed to determine the optimum proportions of soil/clay and/or soil/crushed fines to produce the desired LBR value.

Asphaltic Pavement Base: Depending upon the final proposed pavement elevations, either limerock or soil-cement may be selected as a pavement base course. Provided that a minimum separation of 18 inches can be maintained between the estimated wet season groundwater level and the bottom of the base course material, a limerock base may be used. A crushed concrete fines base material may be used in lieu of limerock, if desired. In the event that final pavement grades allow for a separation of less than 18 inches between the estimated wet season groundwater table and the bottom of the base course, then we recommend that a soil-cement base be utilized as the pavement base course, since it is more resistant to groundwater related degradation than the limerock alternative.

If either limerock or crushed fines is selected as the base material, the base should be at least 6 inches in thickness in relatively light traffic load areas (cars and small truck traffic, etc.) and 8 inches in thickness in heavy traffic load areas (such as entrance/exit driveways, loading/unloading areas, trash collection lanes, etc.). The base should be compacted to a minimum of 98 percent of the Modified Proctor Moisture-Density Test (AASHTO T-180). If limerock is selected, the limerock material should exhibit a minimum LBR value of 100 psi. If crushed concrete fines is selected, the crushed fines should exhibit a minimum LBR value of 125 psi.

If a soil cement base is utilized, the base should also be at least 6 inches in thickness in normal/light traffic areas and 8 inches in thickness in heavy traffic areas. The base should be compacted to a minimum of 95% of the Standard Proctor Moisture-Density Test (AASHTO T-134) and should achieve a 7-day laboratory compressive strength equivalent to at least 300 psi. It is our opinion that a stabilized sub-base is not needed with the soil-cement base, however, the upper 12 inches of subgrade (below the base course) shall be compacted to at least 98% of the Modified Proctor Moisture-Density Test (AASHTO T-180). Please note that some jurisdictions may require a stabilized subgrade below the pavement base material, regardless of the type of base material used.

Due to the shrinkage cracking which normally occurs during the hydration of a soil-cement base, we recommend that a curing period of at least 14 to 21 days be allowed prior to the placement of the overlying asphaltic concrete wearing surface. Although this will not eliminate the formation of cracks in the finished asphaltic surface (due to cracking of the underlying base), it should help minimize the magnitude/size of the cracks. An appropriate sealant should be applied on the base within a maximum of one day after placement in order to minimize moisture loss during the hydration process.

Asphaltic Pavement Surface Course: The asphaltic wearing surface should consist of a minimum of $1\frac{1}{2}$ inches in light traffic load areas and 2 in heavy traffic load areas of Type SP (super pave) compacted to 93 to 94 percent of the Maximum Specific Gravity (G_{mm}) value of the design mix. Type S-I or S-III asphaltic concrete having a minimum Marshall Stability of 1,200 pounds in light traffic areas and 1,500 pounds in heavy traffic areas and compacted to at least 95 percent of the laboratory mix design can also be used. Specific requirements

for the design and application of asphaltic concrete are outlined in the Florida Department of Transportation Standard Specifications for Road and Bridge Construction.

Before paving begins, the surface of the base should be machine swept to remove loose particles and other debris. Thereafter, an approved emulsified asphaltic tack coat should be applied, in sufficient quantities, on the surface of the clean base material in order to develop a sufficient bond between the base and the overlying asphalt.

Rigid/Concrete Pavement Section: Because concrete pavement is more rigid and transfers less wheel loads to the underlying subgrade soils, it is our opinion that a stabilized subgrade is not required if a concrete pavement section is used. However, the underlying subgrade soils must be compacted to at least 95% of the soil's Maximum Modified Proctor Density value.

The concrete pavement should be at least 6 inches in thickness in light traffic load areas and at least 7 inches in thickness in heavy traffic load areas. The concrete should exhibit a minimum 28-day compressive strength equivalent to 4,000 psi. Maximum spacing between control joints should not exceed 12 feet by 12 feet.

It is recommended that thickened edges be provided below the concrete pavement around landscaped islands and along the edges of the pavement. This will minimize the potential for soil erosion below the edges of the pavement section.

Retention Pond and Ex-Filtration Trenches/Pervious Paver System

As discussed earlier, we understand that storm water runoff from this project will be collected and treated on site via a dry-bottom retention pond, along with several pervious paver drain systems proposed in/below parking stall areas. Based on the results of our borings, it is our opinion that the subgrade soils and groundwater table are favorable for proper operation of the proposed storm water management system. For design purpose, the following soil and groundwater table parameters may be assumed:

- ► A high wet season groundwater level assumed at an elevation of +93 feet
- An average coefficient of vertical permeability through the drainage aquifer equivalent to 22 feet per day. An average coefficient of horizontal permeability equivalent to 1.5 times the vertical permeability (i.e., 33 feet per day) may be assumed. While performing the storm water recovery analyses, the rates of percolation provided above should be reduced by 50% in order to incorporate a Design Factor of Safety equivalent to 2.
- ► An average porosity of the soils underlying the pond bottom equivalent to 25%,
- ► A confining layer (bottom of aquifer) assumed at an average elevation of +91.5 feet.

Storm Water Recovery Analyses

Based on information provided by the project Civil Engineer, we understand that the pond and all drainage systems proposed in/below pervious pavers will have a bottom elevation of +94 feet and a top elevation of +96 feet. All systems are hydraulically connected and will therefore, essentially operate as a single unit. We were requested to perform seepage analyses to verify that the pollution abatement volume (2,102 cubic feet) can be recovered within 72 hours and that the total storage volume in the system (6,771.7 cubic feet) can be recovered in 14 days.

The configuration of the drainage system, the incremental stage area/volume, and the soil and groundwater table parameters determined from our soil study were used as input parameters into the computer program "PONDS" in order to evaluate the storm water recovery time through the system.

The results of the seepage analysis are attached. As indicated by our analyses, the pollution abatement volume and the total storage volume are both recovered within the 3 and 14 - day allowed time period, respectively.

CLOSURE

The conclusions and recommendations provided in this report were based on the subsoil conditions encountered in our shallow auger borings. It is assumed that the subsurface profile depicted by our borings is representative of the subsurface profile in all portions of the site. If during construction activities, variations in the subsurface profile are encountered, our firm should be notified immediately so we may re-evaluate the conclusions and recommendations provided in this report and make any revisions as deemed necessary by the Project Engineer.

We have appreciated the opportunity of providing our geotechnical engineering services to you on this project and trust that the information presented in this report is satisfactory. Please do not hesitate to contact the undersigned should you have any questions or require further information.

Sincerely,

MIKE TANNOUS ENGINEERING, INC.

Mike S. Tannous, P.E.

Principal Engineer

Florida Registration No. 46009

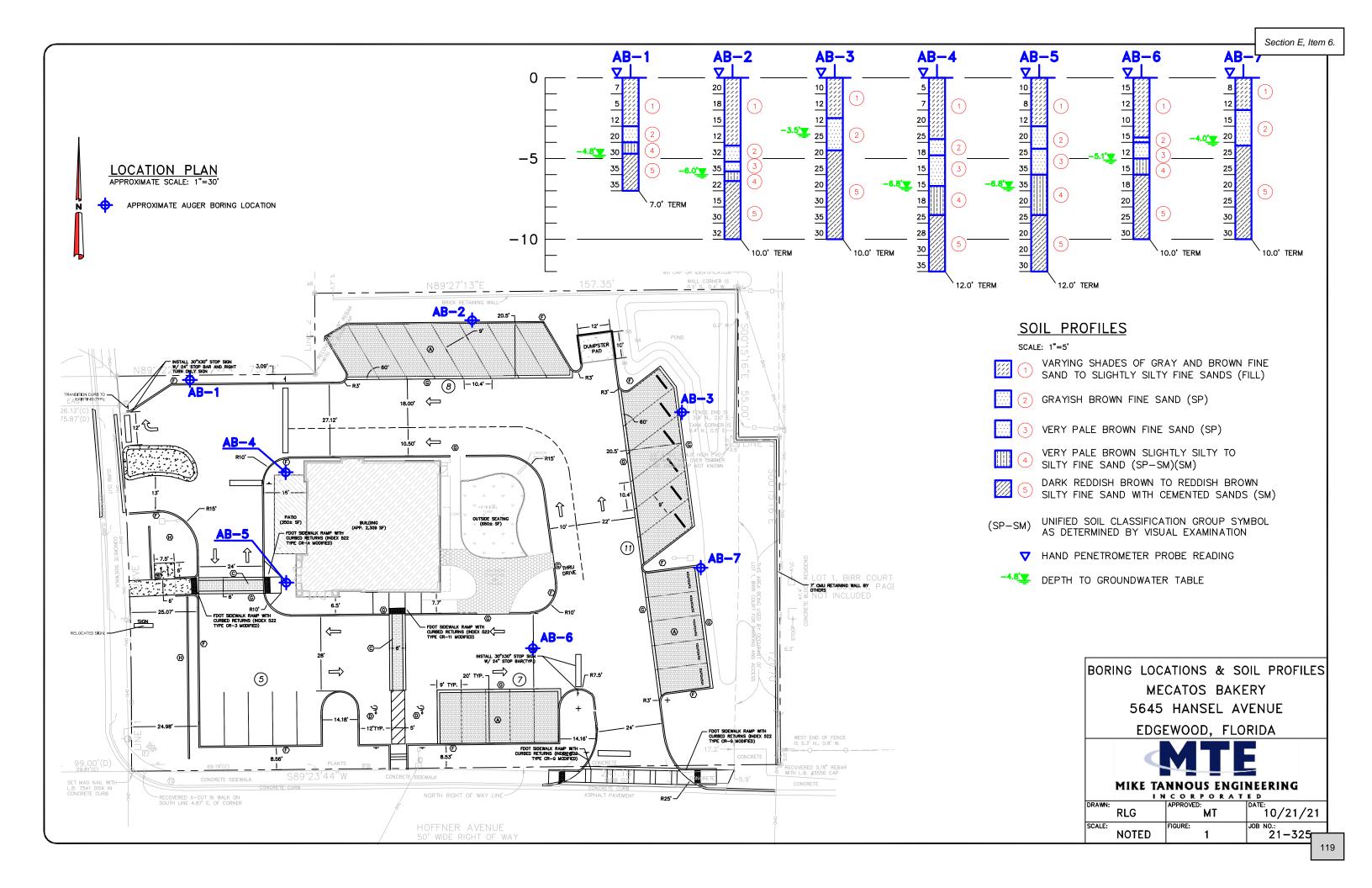
Attachment:

Figure 1 - Boring Location Plan and Soil Profiles

Results of Seepage Analyses

APPENDIX A

FIGURE 1 - BORING LOCATIONS AND SOIL PROFILES



APPENDIX B

STORM WATER RECOVERY ANALYSES FOR POLLUTION ABATEMENT VOLUME

Project Data

Project Name:

MECATOS BAKERY

Simulation Description:

PAV

Project Number:

Engineer:

mst

Supervising Engineer:

Date:

10-20-2021

Aquifer Data

Base Of Aquifer Elevation, [B] (ft datum):

91.50

Water Table Elevation, [WT] (ft datum):

93.00

Horizontal Saturated Hydraulic Conductivity, [Kh] (ft/day):

16.50

Fillable Porosity, [n] (%):

25.00

Vertical infiltration was not considered.

Geometry Data

Equivalent Pond Length, [L] (ft):

120.0

Equivalent Pond Width, [W] (ft):

70.0

Ground water mound is expected to intersect the pond bottom

Stage vs Area Data

Stage (ft datum)	Area (ft²)
94.00	5515.0
94.50	5758.0
95.00	6039.0
95.50	6318.0
96.00	8575.0

Ditch Data

Ditch (or interceptor trench) parallel to length axis is inactive

Ditch (or interceptor trench) parallel to width axis is inactive

Discharge Structures

Discharge Structure #1 is inactive

Discharge Structure #2 is inactive

Section E, Item 6.

PONDS Version 3.3.0278 Retention Pond Recovery - Refined Method Copyright 2012 Devo Seereeram, Ph.D., P.E.

Discharge Structures (cont'd.)

Discharge Structure #3 is inactive

MECATOS BAKERY 10-20-2021 14:46:24 Page 2

Scenario Input Data

Scenario 1 :: PAV

Hydrograph Type: Modflow Routing:

Slug Load Routed with infiltration

Treatment Volume (ft3)

2102

Initial ground water level (ft datum)

93.00 (default)

Time After Storm Event (days)	Time After Storm Event (days)		
0.100	2.000		
0.250	2.500		
0.500	3.000		
1.000	3.500		
1.500	4.000		

Detailed Results :: Scenario 1 :: PAV

Elapsed Time (hours)	Instantaneous Inflow Rate (ft³/s)	Outside Recharge (ft/day)	Stage Elevation (ft datum)	Infiltration Rate (ft³/s)	Combined Instantaneous Discharge Rate (ft³/s)	Cumulative Inflow Volume (ft³)	Cumulative Infiltration Volume (ft³)	Combined Cumulative Discharge (ft³)	Flow Type
0.000	350,3333	0.00000	94.00000	0.14963	0	0.000	0.0	0	N.A.
0.002	350.3333	0.00000	94.37479	0.14950	0	2102.000	0.9	0	S
2.400	0.0000	0.00000	94.29203	0.04247	0	2102.000	470.7	0	S
6.000	0.0000	0.00000	94.23570	0.02090	0	2102.000	788.6	0	S
12.000	0.0000	0.00000	94.17856	0.01306	0	2102.000	1109.5	0	S
24.000	0.0000	0.00000	94.10542	0.00824	0	2102.000	1517.9	0	S
36.000	0.0000	0.00000	94.05083	0.00632	0	2102.000	1821.0	0	S
48.000	0.0000	0.00000	94.00684	0.00325	0	2102.000	2064.3	0	S
60.000	0.0000	0.00000	93.93560	0.00044	0	2102.000	2102.0	0	S
72.000	0.0000	0.00000	93.87260	0.00000	0	2102.000	2102.0	0	S
84.000	0.0000	0.00000	93.82117	0.00000	0	2102.000	2102.0	0	S
96.000	0.0000	0.00000	93.77779			2102.000	2102.0	0	N.A.

Summary of Results :: Scenario 1 :: PAV

	Time (hours)	Stage (ft datum)	Rate (ft³/s)	Volume (ft³)
Stage Minimum Maximum	96.000 0.002	93.78 94.37		
Inflow Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	0.002 None 0.002 None 96.000		350.3333 None	2102.0 None 2102.0
Infiltration Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	0.002 None 60.000 None 96.000		0.1495 None	2102.0 None 2102.0
Combined Discharge Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	None None None 96.000	e.	None None	None None 0.0
Discharge Structure 1 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Discharge Structure 2 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Discharge Structure 3 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Pollution Abatement: 36 Hour Stage and Infiltration Volume 72 Hour Stage and Infiltration Volume	36.000 72.000	94.05 93.87		1821.0 2102.0

APPENDIX C

STORM WATER RECOVERY ANALYSES FOR ENTIRE STORAGE VOLUME

Project Data

Project Name:

MECATOS BAKERY

Simulation Description:

ENTIRE STORAGE VOLUME

Project Number:

21-325

Engineer:

MST

Supervising Engineer:

Date:

10-20-2021

Aquifer Data

Base Of Aquifer Elevation, [B] (ft datum):

91.50

Water Table Elevation, [WT] (ft datum):

93.00

Horizontal Saturated Hydraulic Conductivity, [Kh] (ft/day):

16.50

Fillable Porosity, [n] (%):

25.00

Vertical infiltration was not considered.

Geometry Data

Equivalent Pond Length, [L] (ft):

120.0

Equivalent Pond Width, [W] (ft):

70.0

Ground water mound is expected to intersect the pond bottom

Stage vs Area Data

Stage (ft datum)	Area (ft²)		
94.00	5515.0		
94.50	5758.0		
95.00	6039.0		
95.50	6318.0		
96.00	8575.0		

Ditch Data

Ditch (or interceptor trench) parallel to length axis is inactive

Ditch (or interceptor trench) parallel to width axis is inactive

Discharge Structures

Discharge Structure #1 is inactive

Discharge Structure #2 is inactive

Section E, Item 6.

PONDS Version 3.3.0278 Retention Pond Recovery - Refined Method Copyright 2012 Devo Seereeram, Ph.D., P.E.

Discharge Structures (cont'd.)

Discharge Structure #3 is inactive

MECATOS BAKERY 10-20-2021 14:56:52 Page 2

Scenario Input Data

Scenario 1 ::

Hydrograph Type: Modflow Routing:

Slug Load Routed with infiltration

Treatment Volume (ft3)

6771.7

Initial ground water level (ft datum) 93.00 (default)

Time After Storm Event (days)	Time After Storm Event (days)	Time After Storm Event (days)	Time After Storm Event (days)
0.100	2.000	6.000	15.000
0.250	2.500	8.000	16.000
0.500	3.000	10.000	
1.000	3.500	12.000	
1.500	4.000	14.000	

Detailed Results :: Scenario 1 ::

Elapsed Time (hours)	Instantaneous Inflow Rate (ft³/s)	Outside Recharge (ft/day)	Stage Elevation (ft datum)	Infiltration Rate (ft³/s)	Combined Instantaneous Discharge Rate (ft³/s)	Cumulative Inflow Volume (ft³)	Cumulative Infiltration Volume (ft³)	Combined Cumulative Discharge (ft³)	Flow Type
0.000	1128.6170	0.00000	94.00000	0.23597		0.000	0.0	0	N.A.
0.002	1128.6170	0.00000	95.16479	0.23578	0	6771.700	1.4	0	S.C.
2.400	0.0000	0.00000	95.03077	0.07356	ő	6771.700	818.1	0	S
6.000	0.0000	0.00000	94.94054	0.03577	Ō	6771.700	1362.3	0	s
12.000	0.0000	0.00000	94.84881	0.02229	0	6771.700	1910.8	Õ	Š
24.000	0.0000	0.00000	94.73141	0.01399	0	6771.700	2606.0	ō	Š
36.000	0.0000	0.00000	94.64379	0.01070	0	6771.700	3119.7	Ō	Š
48.000	0.0000	0.00000	94.57324	0.00873	0	6771.700	3530.2	0	s
60.000	0.0000	0.00000	94.51385	0.00740	0	6771.700	3873.7	0	S
72.000	0.0000	0.00000	94.46239	0.00644	0	6771.700	4169.7	0	S
84.000	0.0000	0.00000	94.41690	0.00571	0	6771.700	4430.3	0	S
96.000	0.0000	0.00000	94.37609	0.00511	0	6771.700	4663.2	0	S
144.000	0.0000	0.00000	94.25488	0.00354	0	6771.700	5350.3	0	S
192.000	0.0000	0.00000	94.15926	0.00282	0	6771.700	5887.2	0	S
240.000	0.0000	0.00000	94.08096	0.00232	0	6771.700	6323.6	0	S
288.000	0.0000	0.00000	94.01509	0.00130	0	6771.700	6688.4	0	S
336.000	0.0000	0.00000	93.92348	0.00016	0	6771.700	6771.7	0	S
360.000	0.0000	0.00000	93.87716	0.00000	0	6771.700	6771.7	0	S
384.000	0.0000	0.00000	93.83741			6771.700	6771 7	0	NA

MECATOS BAKERY 10-20-2021 14:56:53 Page 4

Summary of Results :: Scenario 1 ::

	Time (hours)	Stage (ft datum)	Rate (ft³/s)	Volume (ft³)
Stage Minimum Maximum	384.000 0.002	93.84 95.16		
Inflow Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	0.002 None 0.002 None 384.000		1128.6170 None	6771.7 None 6771.7
Infiltration Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	0.002 None 336.000 None 384.000		0.2358 None	6771.7 None 6771.7
Combined Discharge Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	None None None 384.000		None None	None None 0.0
Discharge Structure 1 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Discharge Structure 2 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Discharge Structure 3 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Pollution Abatement: 36 Hour Stage and Infiltration Volume 72 Hour Stage and Infiltration Volume	36.000 72.000	94.64 94.46		3119.7 4169.7

MECATOS BAKERY & CAFE

5645 HANSEL AVE EDGEWOOD, FL 32809

CONSTRUCTION DOCUMENTS



LOCATION MAP

PREPARED BY

HARRIS CIVIL ENGINEERS, LLC. 1200 HILLCREST STREET, SUITE 200 ORLANDO EL 32803

LANDSCAPE ARCHITECT

651 N. MILLS AVENUE ORLANDO, FL 32803 OFFICE: 407.894.1317

CIVIL ENGINEER

OFFICE: 407.629.4777

DALE & COMPANY

ENGINEER OF RECORD: DAVID TAYLOR, P.E. LICENSE NUMBER: 60928

> HCE PROJECT NUMBER: 7391000 DATE: OCTOBER 25, 2021

INDEX OF SHEETS

C-000 COVER SHEET C-001 GENERAL NOTES C-002 EXISTING CONDITIONS

C-003 DEMOLITION AND EROSION CONTROL PLAN

C-100 SITE AND GEOMETRY PLAN C-101 SITE AND GEOMETRY PLAN C-200 GRADING AND DRAINAGE PLAN

C-402 LIFT STATION DETAIL

L-101 LANDSCAPE SITE PLAN

SITE DATA TABLE PARCEL ACREAGE: 0.906 ACRES 24-23-29-3400-00-014 FAST FOOD WITH DRIVE THRU PARCEL: PROPOSED USES: ZONING: SPECIAL DISTRICT: C=1 EDGEWOOD CENTRAL DISCTRICT(ECD) 29 REGULAR SPACES REQUIRED
(1 SPACE PER 100 SF GFA +
1 SPACE PER 200 SF EXTERNAL SEATING)
2 ADA ACCESSIBLE SPACE
29 TOTAL SPACES REQUIRED MINIMUM REQUIRED: PROVIDED: 29 REGULAR SPACES BUILDING SETBACKS: FRONT W:

MIN 25' (BLDG) 20' (BLDG) 25' (BLDG) 25' (BLDG) 62' (BLDG) 128' (BLDG) 62' (BLDG) 65' (BLDG) AREA: PRE-DEVELOPMENT POST DEVELOPMENT

XPANSION AREA:

LLOWABLE EXPANSION AREA ROPOSED EXPANSION AREA

LOT TO BUILDING RATIO - REQUESTING WAIVE

CALL 48 HOURS BEFORE YOU DIG IT IS THE LAW. DIAL 811



HARRIS

1200 Hillcrest Street

EDGEWOOD, AVE,

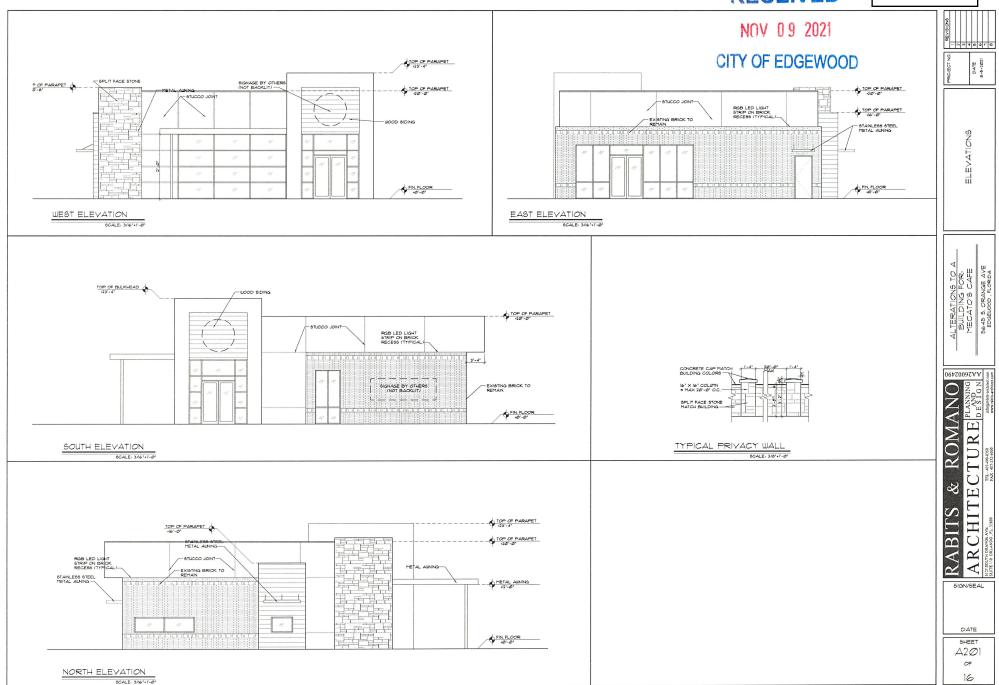
SHEET



C - 000

RECEIVED

Section E, Item 7.



GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNS, BARRIERS, LABOR, EQUIPMENT, ETC., TO MAINTAIN A SAFE AND ADEQUATE FLOW OF PEDESTRIAN AND VEHICULAR TRAFFIC ALONG ROADWAYS AND WALKWAYS AND INTO AND OUT OF SITE AND BUILDINGS FOR THE DURATION OF THE CONSTRUCTION.
- 2. CONTRACTOR SHALL PROVIDE ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS DURING CONSTRUCTION.
- 3. SURVEY DATUM BASED ON NAVD88 DATUM.
- 4. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. CONTRACTOR SHALL ACCEPT PREMISES AS FOUND. OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
- UNLESS OTHERWISE NOTED, CONTRACTOR TO CLEAR AND GRUB WORK AREAS OF ALL VEGETATION. CONCRETE SLABS AND FOUNDATIONS, PAVEMENT, FENCES, LIGHT POLES, UTILITIES, ETC. AS INDICATED ON THE PLANS OR BY THE PROJECT MANAGER AND PROPERLY DISPOSE OF OFF SITE. ANY EXISTING UTILITY SERVICES SHALL BE PROPERLY DISCONNECTED, PLUGGED, REMOVED OR ABANDONED.
- 6. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. THE CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL REPORT TO THE ENGINEER ANY ERROR, INCONSISTENCIES, OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. THE MEANS OF CORRECTING ANY ERRORS SHALL FIRST BE APPROVED BY THE ENGINEER AND PROJECT MANAGER.
- 8. CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN THE GEOTECHNICAL REPORT. THE PROJECT MANAGER AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS OR FOR THE FINAL RECOMMENDATIONS. CONTACT THE PROJECT MANAGER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND ENGINEER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- 9. THE CONTRACTOR SHALL ENSURE THAT PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING
- 10. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 11. THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
- 12. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 13. THE PROJECT SPECIFICATIONS AND GENERAL CONDITIONS ARE TO BE FOLLOWED IN ADDITION TO THESE
- 14. SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
- 15. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE KNOWLEDGEABLE OF AND STRICTLY ADHERE TO ALL OSHA STANDARDS.
- 16. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AT PROPOSED CROSSINGS AND POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY UTILITY CONFLICTS OR DISCREPANCIES. ALL LOCATION DATA TO BE INCLUDED ON THE AS-BUILT DRAWINGS. REFER TO AS-BUILT REQUIREMENTS THIS SHEET AS WELL AS SPECIFICATIONS FOR AS-BUILT REQUIREMENTS.

DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE THEIR ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA AND THE PROJECT MANAGER, CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES AND THE PROJECT MANAGER ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE
- 3. MINIMUM DEPTH FOR REMOVAL OF OBJECTS SHALL BE THREE (3) FEET BELOW SUB-GRADE IN ROADWAY AND SIDEWALK AREAS AND FOUR (4) FEET BELOW FINISHED GRADE ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, OR AT PROPOSED POOL LOCATIONS ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
- 4. ALL BUILDING REMOVAL AND DEMOLITION SHALL BE PERFORMED AS SHOWN OR AS DIRECTED BY THE ENGINEER AND/OR THE PROJECT MANAGER.
- 5. RELOCATION OR REMOVAL OF OVERHEAD OR UNDERGROUND UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY AND THE PROJECT MANAGER.
- 6. SEE LANDSCAPE DEMOLITION PLAN FOR ADDITIONAL REQUIREMENTS FOR PLANT MATERIALS AND IRRIGATION LINES.
- CONTRACTOR TO COORDINATE EFFORTS AND TIMING SO THAT EXISTING UTILITIES REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED UTILITIES HAVE BEEN INSTALLED, AS-BUILT PROVIDED AND

<u>GEOMETRY NOTES</u>

ACCEPTED BY ENGINEER.

- ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY THE OWNER. HARRIS CIVIL ENGINEERS, LLC. AND THE PROJECT MANAGER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS DATA.
- 2. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING ANY CONSTRUCTION
- 3. ALL PAVEMENT OFFSETS, RADII AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- 4. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.
- 5. THE CONTRACTOR SHALL MAINTAIN A SET OF IN PROGRESS "AS-BUILT" PLANS ON-SITE AND SUBMIT THESE PLANS ALONG WITH THE CERTIFIED AS-BUILT PLANS TO THE ENGINEER OF RECORD UPON

EROSION PROTECTION NOTES

- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SOILS OFF THE SITE. THE CONTRACTOR SHALL ACCEPT AND WILL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL FACILITIES.
- B. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND IN GOOD CONDITION AT ALL LOCATIONS SHOWS ON THE PLANS AND AS REQUIRED UNTIL THE CONTRACT IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SET FORTH IN THESE PLANS ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS, ORANGE COUNTY AND S.J.R.W.M.D. REQUIREMENTS.
- LIMITS OF ALL EROSION PREVENTION MUST BE STAKED BY CONTRACTOR AND THE LOCATION INSPECTED AND APPROVED BY THE PROJECT MANAGER PRIOR TO PLACEMENT OF EROSION CONTROL MEASURES AND ANY CLEARING OR CONSTRUCTION ACTIVITIES. THE CITY NEEDS TO INSPECT EROSION PROTECTION MEASURES PRIOR TO ANY SITE WORK TAKING PLACE. REMOVAL OF THESE SAME EROSION CONTROLS AND PREVENTION MEASURES MAY BE DONE ONLY AFTER AUTHORIZATION BY THE PROJECT MANAGER IS OBTAINED.
- F. MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS, WETLANDS, PROTECTED AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES OR PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY AND AT NO COST TO THE OWNER.
- H. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING OR PRIVATE ROADS. BEACH AREAS, AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. DEVIATION FROM THIS WILL CAUSE PROJECT MANAGER NOTIFICATION, AND ALL WORK TO STOP UNTIL CORRECTED.
- I. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. TEMPORARY EROSION CONTROL MAY CONSIST OF BUT NOT BE LIMITED TO MULCH. SAND BAGS, PIPING, SLOPE DRAINS, SETTLEMENT BASINS, ARTIFICIAL COVERINGS, BERMS, AND DUST CONTROL.
- ALL REVEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH MATERIALS AND PROCEDURES AS SPECIFIED BY THE LANDSCAPE ARCHITECT. THE FINAL INSTALLATION, AS OPPOSED TO TEMPORARY STABILIZATION, IS TO BE MAINTAINED UNTIL FINAL ACCEPTANCE. REFER TO LANDSCAPE PLANS FOR FINAL VEGETATED SITE CONDITIONS.
- THE CONTRACTOR SHALL PREPARE A SCHEDULE OF DEWATERING FOR UTILITY ITEMS. THIS WILL CONSIST OF ESTIMATES OF POINTS OF DISCHARGE, DISCHARGE FLOWS, DATES AND DURATIONS FOR ALL UTILITY ITEMS WHICH WILL REQUIRE DEWATERING. THIS WILL INCLUDE ALL UTILITIES. THIS SCHEDULE SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL OF THE DEWATERING OPERATIONS.
- L. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY MULCHING OR STABILIZATION FOR AREAS THAT HAVE BEEN CLEARED AND NOT REWORKED WITHIN SEVEN (7) CALENDAR DAYS DURING THE WET SEASON AND FOURTEEN (14) CALENDAR DAYS DURING THE DRY SEASON. IN ADDITION, ALL 3. A MINIMUM OF 3 FEET OF COVER SHALL BE MAINTAINED OVER ALL PROPOSED WATER, WASTEWATER, AND SIDE SLOPES SHALL BE MULCHED OR STABILIZED WITHIN SEVEN (7) DAYS DURING THE WET SEASON AND FOURTEEN (14) DAYS DURING THE DRY SEASON.
- M. ALL SURFACE WATER DISCHARGE FROM THE SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATER BODIES INCLUDING WETLANDS, LAKES AND STORM WATER PONDS. CONTRACTOR SHALL TAKE WATER SAMPLES PRIOR TO START OF CONSTRUCTION WHICH SHALL BE USED AS BASE LINE WATER QUALITY. ALL DEWATERING PLANS AND TESTS MUST BE SUBMITTED TO AND APPROVED BY THE PROJECT MANAGER PRIOR TO INSTALLATION AND OPERATION.
- N. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. ALL ALTERNATIVE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE PROJECT
- O. IN CONJUNCTION WITH STAKING AND PLACEMENT OF EROSION CONTROL MEASURES THE CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING AS INDICATED ON THE PLANS OR AS REQUIRED BY CONSTRUCTION. THE LIMITS OF CLEARING MUST BE INSPECTED AND APPROVED BY THE PROJECT MANAGER PRIOR TO ANY CLEARING AND REMOVAL. THE CONTRACTOR WILL PAY FOR REVEGETATION OF ANY AND ALL AREAS THAT ARE CLEARED PRIOR TO THE PROJECT MANAGER'S APPROVAL OR AREAS THAT ARE CLEARED BEYOND THE LIMITS APPROVED BY THE PROJECT MANAGER.
- P. ALL DRAINAGE STRUCTURES, INLETS, ETC. MUST HAVE EROSION CONTROL MEASURES IN PLACE AND MAINTAINED UNTIL COMPLETION OF THE PROJECT.
- Q. SILT FENCE LOCATIONS SHOWN ON THE PLANS ARE A REPRESENTATION, AS A MINIMUM TO WHERE SILT FENCING IS REQUIRED. THE EXACT LOCATION TO BE DETERMINED AS PART OF NOTE E ABOVE.

DRAINAGE NOTES

- ALL CONSTRUCTION SHALL CONFORM TO, AND SHALL BE INSTALLED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE ORANGE COUNTY STANDARDS, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, OR ON THE PLANS.
- 2. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, PLANS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER (AS APPLICABLE).
- 3. WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH: A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650 WHICH IS INCORPORATED IN FL. STATE 90-96.
- THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW. C. TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR.
- 5. ALL DRAINAGE PIPING OTHER THAN LANDSCAPE SOCK DRAIN PIPING SHALL HAVE A MINIMUM OF TWENTY-FOUR (24) INCHES OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- 6. UNLESS OTHERWISE NOTED ON THE PLANS, ALL DRAINAGE AND LANDSCAPE SOCK DRAIN PIPING SHALL BE ADS N12 PIPE OR APPROVED EQUAL. PIPES 10-INCH DIAMETER AND SMALLER SHALL BE PVC. SDR 26, PER ASTM D3212 AND ASTM F477. CONCRETE STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS III, ASTM C-76.
- 7. DRAINAGE STRUCTURE RIM ELEVATION REFERS TO TOP OF GRATE, OR EDGE OF PAVEMENT FOR CURB

 14. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG INLETS.
- 8. RIM ELEVATIONS SHOWN FOR PROPOSED STRUCTURES LOCATED IN EXISTING PAVEMENT AREAS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PLACE RIM ELEVATIONS TO BE WITHIN 0.01' OF THE EXISTING PAVEMENT GRADE.

PAVING AND GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS OR IN THE GEOTECHNICAL ENGINEERING REPORT.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF ANY APPARENT DISCREPANCIES ARE
- 3. ALL AREAS WHICH ARE DISTURBED DURING CONSTRUCTION UNLESS OTHER WISE NOTED SHALL BE VEGETATED PER THE LANDSCAPE ARCHITECTS PLANS. ALL SLOPES STEEPER THAN 5:1 SHALL BE SODDED. ALL OTHER DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED UNLESS OTHERWISE NOTED. THESE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A SATISFACTORY STAND OF GRASS IS ESTABLISHED OR PERMANENT LANDSCAPE MATERIALS HAVE BEEN INSTALLED.
- 4. ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180), UNLESS OTHERWISE NOTED ON THE PLANS, IN THE SPECIFICATIONS OR THE GEOTECHNICAL REPORT.
- 5. FRONT OF HOUSE AREA PAVEMENT FINISHES AND DETAILS ARE PROVIDED BY THE ARCHITECT. BACK OF HOUSE AREA PAVEMENT FINISHES AND DETAILS ARE PROVIDED BY THE CIVIL ENGINEER. CONTRACTOR TO REFER TO THE CORRECT PLANS WHEN INSTALLING PAVEMENT.
- 6. TWO (2) WORKING DAYS NOTICE WILL BE GIVEN TO THE PROJECT MANAGER PRIOR TO TESTING ANY ROADWAY SHOWN ON THESE PLANS
- 7. CONTRACTOR SHALL REFER TO THE CIVIL DRAWINGS FOR SITE DRAINS AND PAVEMENT SLOPES. SLOPE THE PAVEMENT AS INDICATED ON THE GRADING PLAN OR IF NOT SHOWN, SLOPE THE ENTIRE PAVEMENT SURFACE WITHIN AN AREA TO THE STORM DRAINAGE STRUCTURE WHILE OBEYING CROSS SLOPE AND MAXIMUM SLOPE WITHIN THE AMERICANS WITH DISABILITIES ACT. PONDING WATER DUE TO IMPROPER SLOPES AND/OR DRAIN INLETS HIGHER OR LOWER THAN THE SURROUNDING PAVEMENT SURFACE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO ENSURE THERE ARE NO FIELD DISCREPANCIES FOUND WHEN MATCHING EXISTING PAVEMENT ELEVATIONS TO THOSE STATED ON THE PLANS. CONTRACTOR TO INFORM THE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

STANDARD SEWER AND WATER NOTES

- 1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO AND AT ALL AREAS OF CONFLICT WITH ORANGE COUNTY UTILITIES (OCU) MAINS. ALTHOUGH THIS INFORMATION HAS BEEN OBTAINED FROM SURVEY DATA, THE CONTRACTOR MUST VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIFFERENCES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT IMMEDIATELY TO THE PROJECT MANAGERS/ENGINEER'S ATTENTION AND RESOLVED IN ACCORDANCE WITH THE STANDARDS OF ORANGE COUNTY UTILITIES.
- 2. ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- RECLAIMED WATER MAINS.
- 4. WHERE POTABLE WATER AND SANITARY UTILITIES (SANITARY SEWER, FORCE MAIN, REUSE WATER) CROSS WITH LESS THAN EIGHTEEN (18) INCHES VERTICAL CLEARANCE, THE SEWAGE MAIN SHALL BE CONCRETE ENCASED PVC PIPE OR ENCASED IN A WATERTIGHT CARRIER PIPE, CENTERED ON THE POINT OF CROSSING. A MINIMUM HORIZONTAL SEPARATION OF SIX (6) TO TEN (10) FEET (EDGE TO EDGE) BETWEEN POTABLE WATER MAINS AND SEWAGE MAINS SHALL BE MAINTAINED WHEN PRACTICAL. WHEN THE APPROPRIATE HORIZONTAL SEPARATION CANNOT BE MAINTAINED THE SEWAGE MAIN SHALL BE CONCRETE ENCASED PVC PIPE OR ENCASED IN A WATERTIGHT CARRIER PIPE.
- ALL WATER MAIN AND SANITARY SEWER MATERIALS AND APPURTENANCES CONNECTING TO THE ORANGE COUNTY PUBLIC UTILITY SYSTEM SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE "MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION" FOR ORANGE COUNTY AND THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEM AND OTHER PRESSURIZED PIPING IN ACCORDANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE IRON PIPE. TESTING SHALL BE IN ACCORDANCE WITH AWWA MANUAL M23 FOR PVC PIPE.
- 7. THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE FDEP WATER PERMIT, AND RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY, ENGINEER OF RECORD, AND FDEP, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE FDEP WATER AND SEWER PERMITS FROM THE PROJECT MANAGER AND MAINTAIN THEM ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS" AND THE "2011 OCU STANDARDS AND CONSTRUCTIONS MANUAL"
- 8. ALL POTABLE WATER MAIN MUST BEAR THE "NSF" LOGO.
- 9. WATER MAIN PVC PIPE FOUR (4) INCH THROUGH TWELVE (12) INCH MUST BE AWWA C900, CLASS 150, DR 18.
- 10. PLASTIC WATER SERVICE PIPING AND FITTINGS 1 THROUGH 2 INCHES SHALL CONFORM TO THE REQUIREMENTS OF AWWA C800 AND C901 (POLYETHYLENE TUBING). PVC SERVICE PIPING TWO (2) INCHES THROUGH THREE (3) INCHES SHALL BE SDR 14.
- 11. PVC GRAVITY SEWER FOUR (4) INCH THROUGH (15) INCH SHALL BE SDR 35. JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. ALL PVC SEWER SHALL BEAR THE "NSF-DW SEAL."
- 12. UNDERGROUND FIRE LINES FROM THE POINT OF SERVICE (P.O.S.) TO THE BUILDING SHALL MEET NFPA 24 REQUIREMENTS.
- 13. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF (3) FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 15. ALL WATER AND SEWER LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
- 16. TWO WORKING DAYS NOTICE WILL BE GIVEN TO THE PROJECT MANAGER AND ORANGE COUNTY INSPECTORS PRIOR TO START OF CONSTRUCTION AND TESTING OF ANY UTILITY SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PERFORM PRE-TESTS OF THE UTILITIES PRIOR TO NOTIFICATION TO THE ENGINEER AND ORANGE COUNTY INSPECTOR. ADDITIONAL REINSPECTIONS DUE TO FAILED TESTING WILL BE PAID FOR BY THE CONTRACTOR. CONTACT ORANGE COUNTY UTILITIES AT 407-254-9798.
- 17. WHEN TRENCH EXCAVATION EXCEEDS 5 FEET IN DEPTH: A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650. B. THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW. C. TRENCH SAFETY SYSTEM SHALL BE BY THE CONTRACTOR.
- 19. ON-SITE WASTEWATER COLLECTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED.
- 20. ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED.
- 21. ON-SITE MANHOLE COVER WILL NOT HAVE "ORANGE COUNTY" ON COVER.

- 22. THIS PROJECT REQUIRES A FDEP SEWER CONSTRUCTION PERMIT. THE CONTRACTOR SHOULD REQUEST A COPY OF THIS PERMIT AND KEEP IT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO "NOT" PUT THE SYSTEM INTO SERVICE (EXCEPT FOR NECESSARY TESTING) UNTIL THE CONTRACTOR HAS PROVIDED CERTIFIED "AS-BUILT" PLANS TO THE ENGINEER OF RECORD, AND THE ENGINEER HAS OBTAINED A CLEARANCE LETTER FROM FDEP. FROM THE TIME AS-BUILT DRAWINGS ARE APPROVED BY THE ENGINEER THE ESTIMATED TIME FOR PROCESSING AND RECEIPT OF THE F.D.E.P. CERTIFICATION IS 30 TO 45 DAYS.
- 23. THIS PROJECT REQUIRES A FDEP WATER DISTRIBUTION SYSTEM PERMIT. THE CONTRACTOR SHOULD REQUEST A COPY OF THIS PERMIT AND KEEP IT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO "NOT" PUT THE SYSTEM INTO SERVICE UNTIL THE CONTRACTOR HAS PROVIDED CERTIFIED "AS-BUILT" PLANS AND COPIES OF THE APPROVED BACTERIOLOGICAL TESTING HAS BEEN SUBMITTED TO THE ENGINEER OF RECORD, AND THE ENGINEER HAS PROVIDED A COPY OF THE FDEP CLEARANCE LETTER TO THE CONTRACTOR, ALLOWING THE SYSTEM TO BE PLACED INTO OPERATION. PROVIDE BAC T'S AT POINTS SPECIFIED IN THE F.D.E.P. PERMIT. BAC T' REPORT CANNOT BE OLDER THAN 30 DAYS AT THE TIME IT IS SUBMITTED TO F.D.E.P. FROM THE TIME AS-BUILT DRAWINGS ARE APPROVED BY THE ENGINEER THE ESTIMATED TIME FOR PROCESSING AND RECEIPT OF THE F.D.E.P. CERTIFICATION IS 30 TO 45 DAYS.
- 24. ALL UTILITIES CONNECTING TO THE ORANGE COUNTY SYSTEM SHALL BE IN CONFORMANCE WITH THE 2011 OCU STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- 25. CONTRACTOR TO COORDINATE EFFORTS AND TIMING SO THAT EXISTING POTABLE WATER AND SANITARY SEWER LINE REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED POTABLE WATER AND SANITARY LINES HAVE BEEN INSTALLED AND F.D.E.P. CLEARANCE CERTIFICATION HAS BEEN RECEIVED.
- 26. CONTRACTOR TO COORDINATE EFFORTS AND TIMING SO THAT EXISTING SEWER LINES REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED SEWER LINES HAVE BEEN INSTALLED, AS-BUILT PROVIDED AND ACCEPTED BY

AS-BUILT SUBMITTAL

THE CONTRACTOR SHALL SUBMIT SIX SETS OF PLANS AND AN AUTOCAD FILE ON A CD OF THE AS-BUILT DRAWINGS PREPARED BY A REGISTERED SURVEYOR TO HCE FOR REVIEW. THE AS-BUILT DRAWINGS SHALL CONTAIN THE FOLLOWING INFORMATION:

WATER LINES

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR TOP OF ALL THE PROPOSED WATER MAINS, LATERALS AND APPURTENANCES, I.E. TIE-IN POINT, BENDS, TEES, VALVES & BOXES, FIRE HYDRANTS, METERS, BACKFLOW UNITS, STUBS, ETC. NOTE ALL PIPE MATERIALS, SIZES AND ANY CONCRETE ENCASEMENT OR SLEEVES. AS-BUILT PLANS ARE TO INCLUDE THE NUMBER OF TEST POINTS AND LOCATIONS OF THE BACTERIOLOGICAL SAMPLE AS STIPULATED IN THE FDEP PERMIT.

SANITARY SEWER

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLE RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES. AS-BUILT DATA SHALL ALSO INCLUDE THE LOCATIONS OF CHANGE IN MATERIALS AND CONCRETE

STORM DRAINAGE

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLES, INLETS, CATCH BASINS, RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES. AS-BUILT COORDINATES AND TOP OF PIPE ELEVATIONS FOR BEACH LANDSCAPE SOCK DRAIN PIPES SHALL BE PROVIDED EVERY 25' ALONG THE PIPE.

EXISTING UTILITIES

WHEN EXISTING UTILITIES ARE CROSSED OR ENCOUNTERED THE TYPE OF CROSSING SHALL BE NOTED ALONG WITH THE LOCATION, TYPE, SIZE, MATERIAL AND ELEVATION. THE AS-BUILT DATA FOR ALL EXISTING UTILITIES ENCOUNTERED SHALL MEET THE WATER LINE, SANITARY SEWER AND STORM SEWER REQUIREMENTS NOTED ABOVE.

HARRIS CIVIL ENGINEERS, LLC. (HCE) WILL REVIEW THE AS-BUILT DRAWINGS FOR COMPLIANCE WITH THE PLANS AND GOVERNMENTAL PERMITS AND ISSUE COMMENTS TO THE CONTRACTOR.

UPON HCE REVIEW(S) AND COMPLETION OF ANY COMMENTS AND CORRECTIVE WORK, HCE WILL ADVISE THE CONTRACTOR ON THE NUMBER OF SIGNED AND SEALED AS-BUILT DRAWINGS THAT ARE NEEDED FOR CERTIFICATION TO THE VARIOUS GOVERNMENTAL AGENCIES. ONCE SUBMITTED, CERTIFICATION AND ACCEPTANCE COULD TAKE FROM 30 TO 45 DAYS FOR EACH PERMIT.

Suite 200 Orlando, Florida 32803

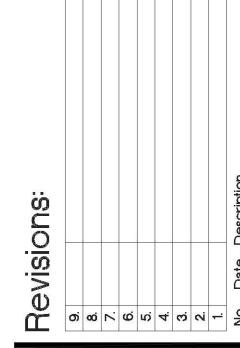
1200 Hillcrest Street

Harris Civil Engineers, LLC

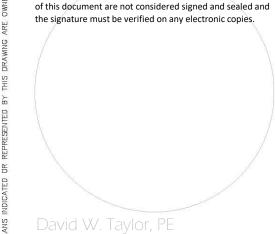
Section E, Item 7.

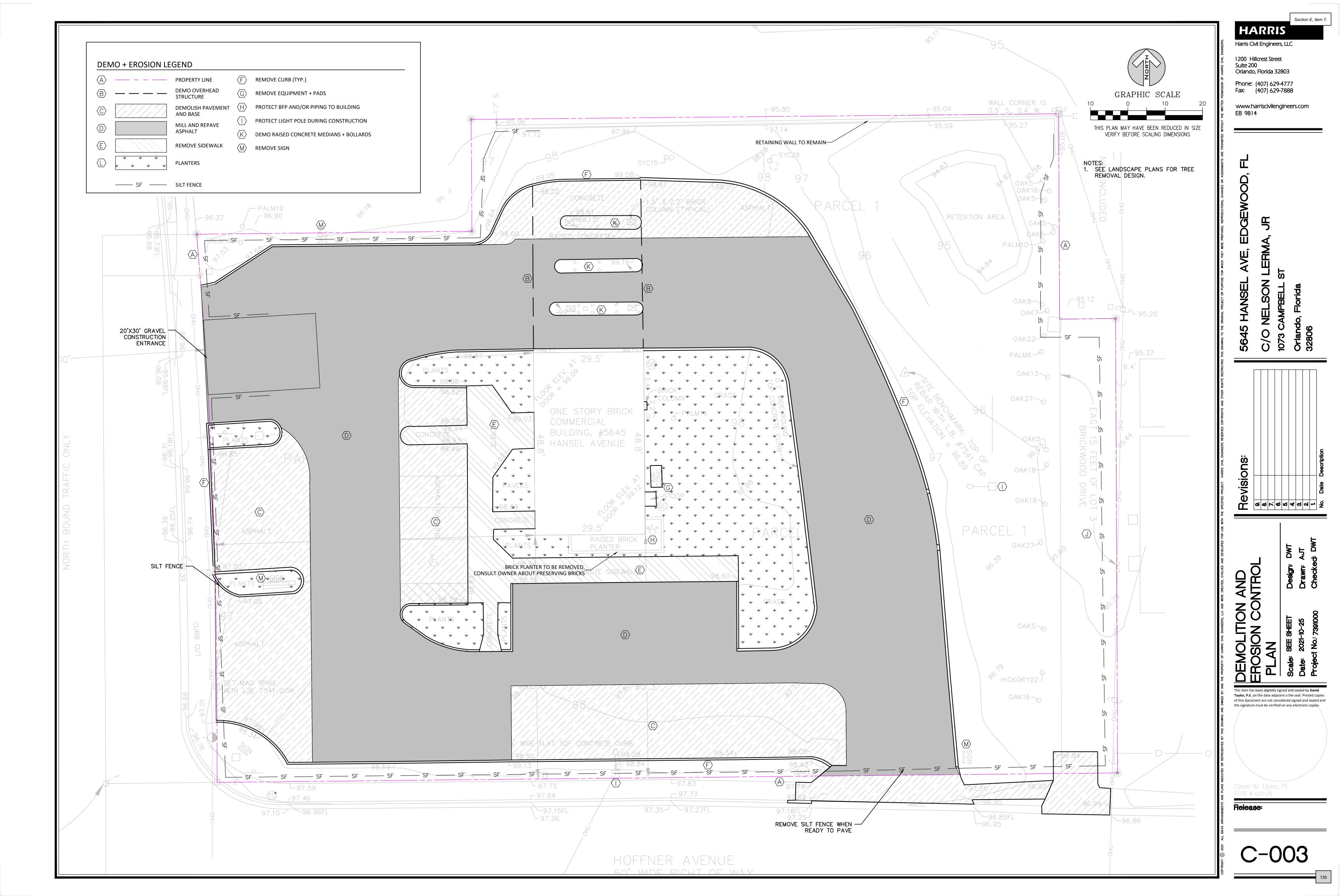
Phone: (407) 629-4777 Fax: (407) 629-7888

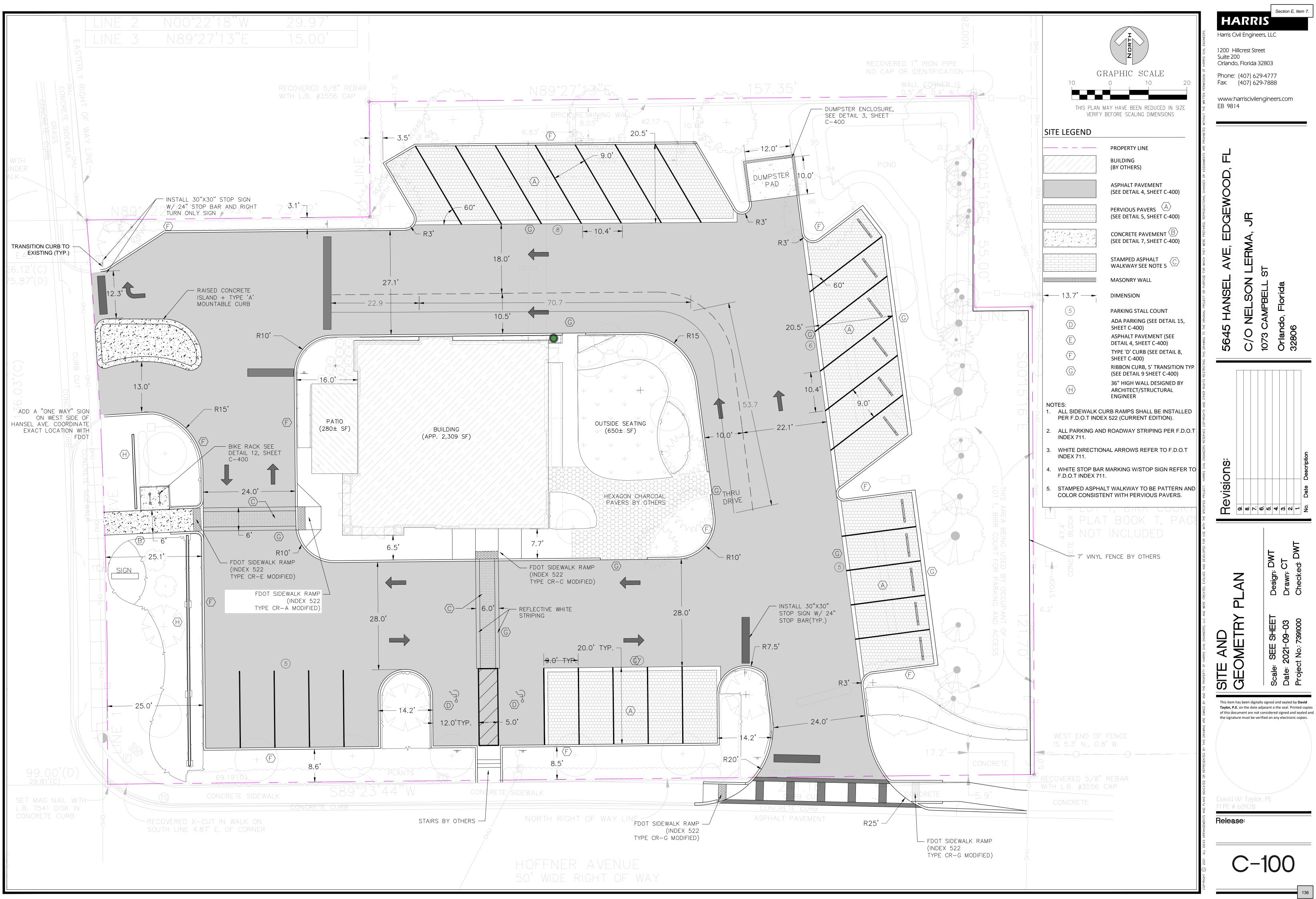
www.harriscivilengineers.com

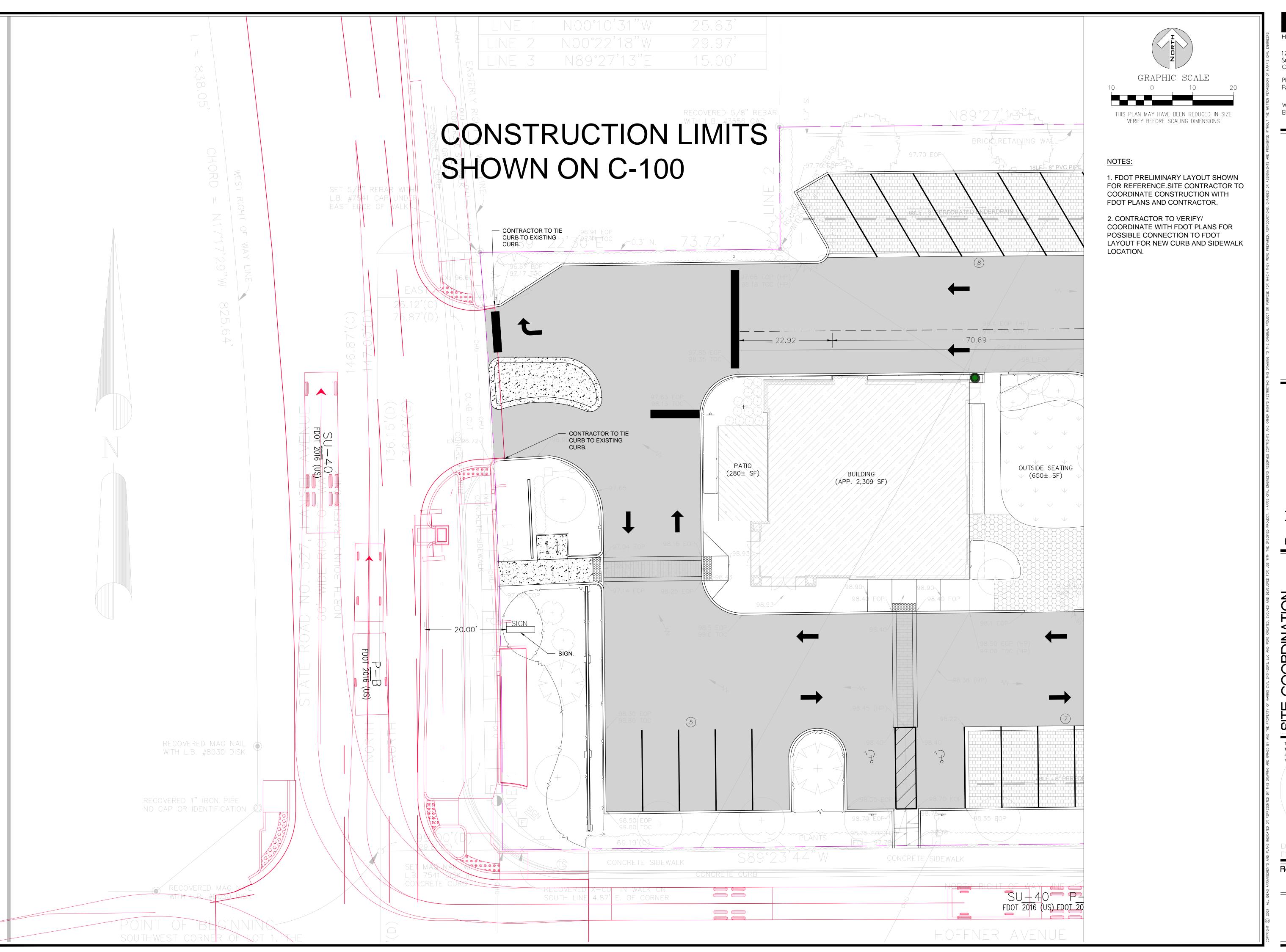


This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent o the seal. Printed copies









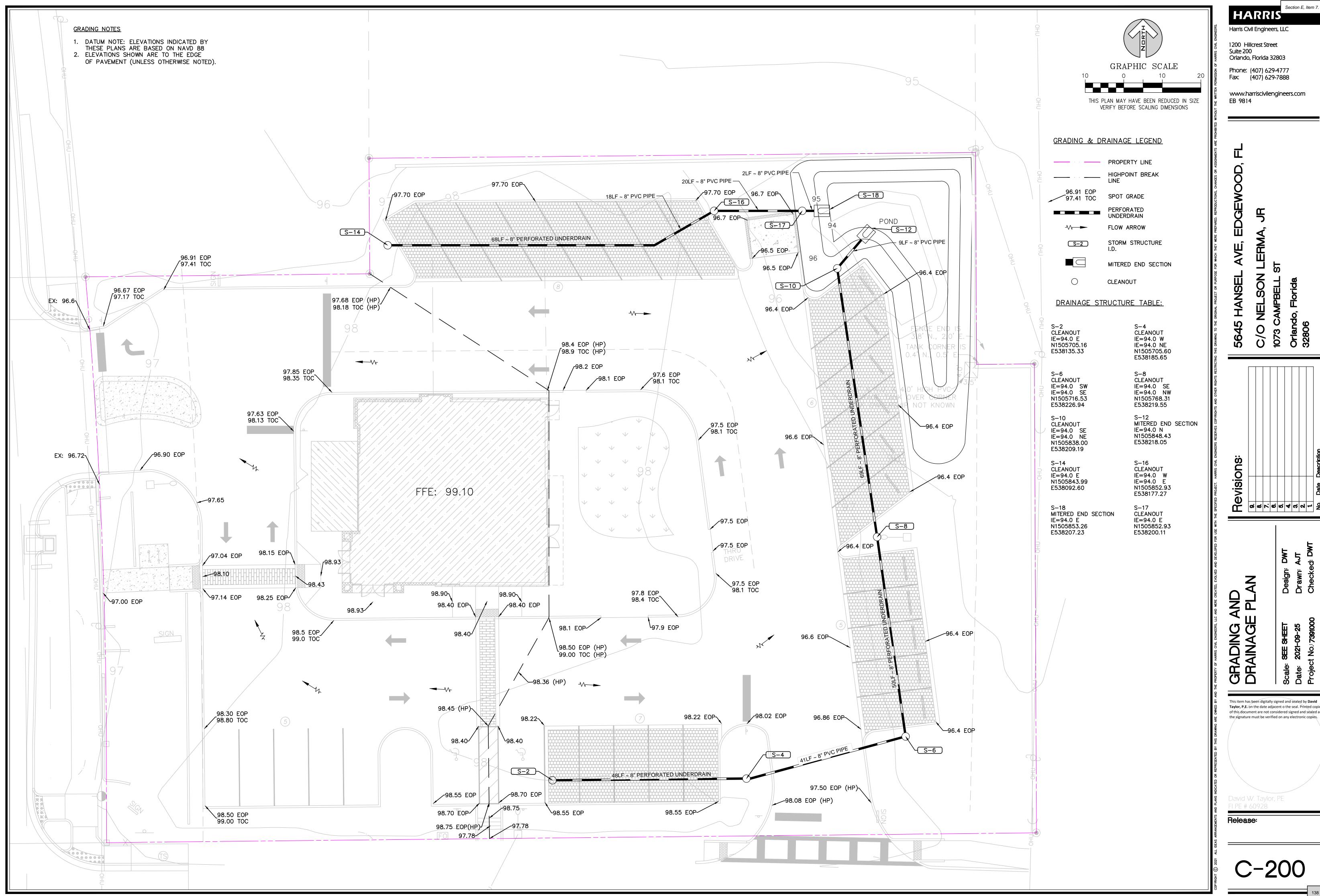
HARRIS Harris Civil Engineers, LLC

1200 Hillcrest Street Orlando, Florida 32803

Phone: (407) 629-4777 Fax: (407) 629-7888

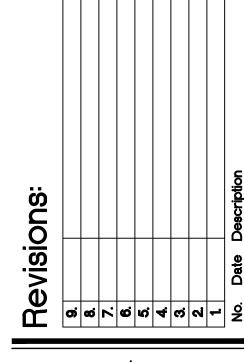
www.harriscivilengineers.com

This item has been digitally signed and sealed by **David** Taylor, P.E. on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

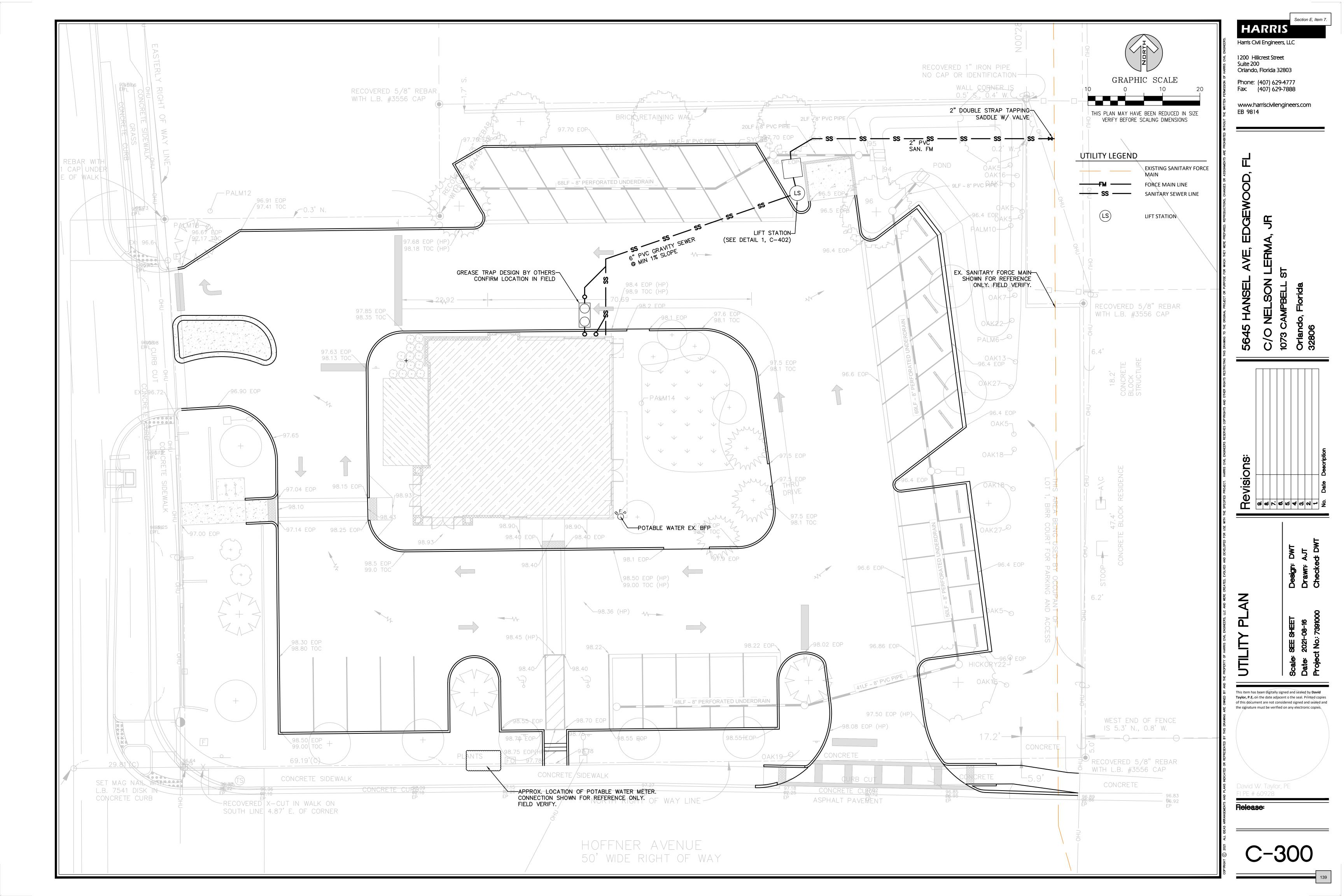


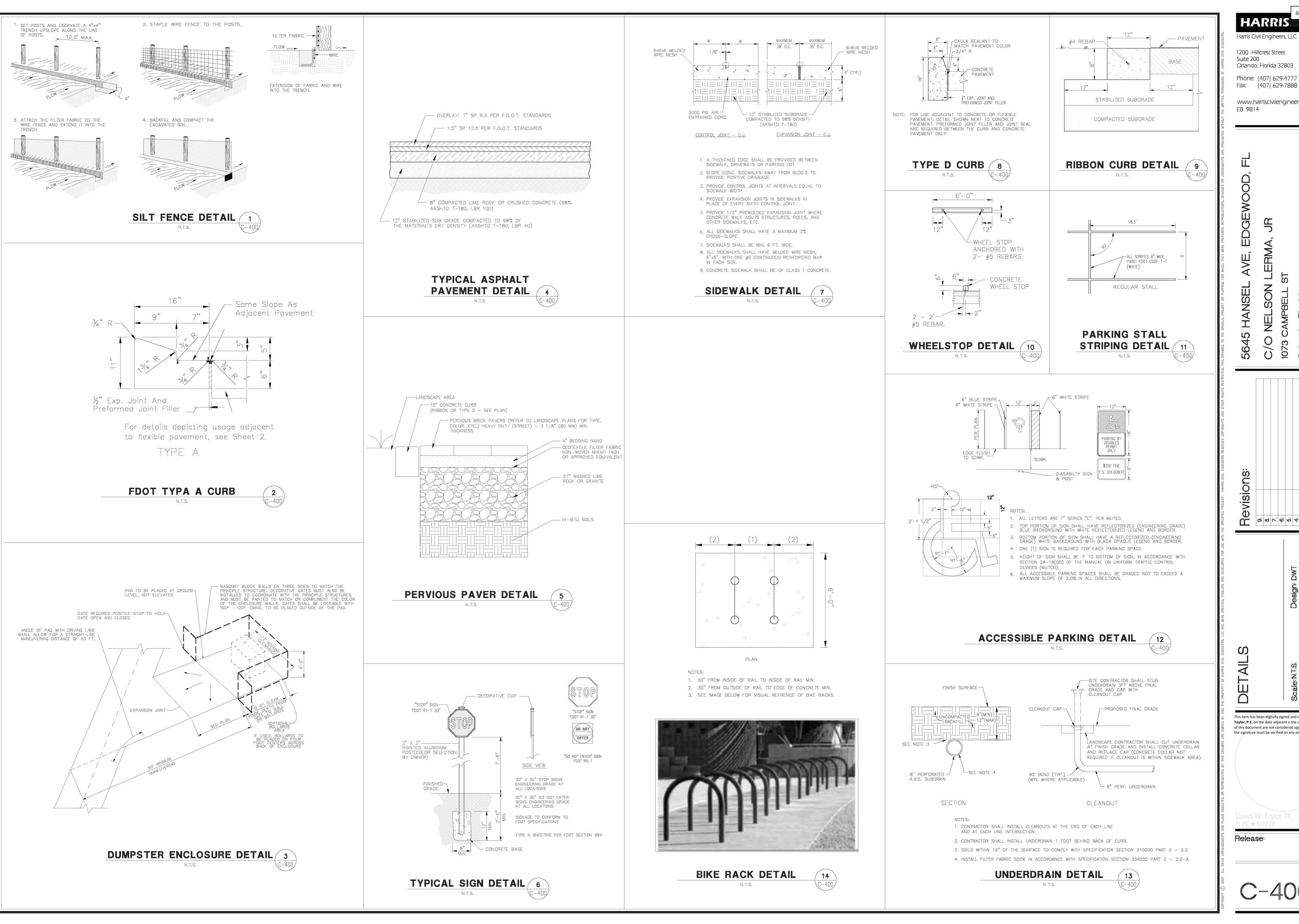
Section E, Item 7.

www.harriscivilengineers.com



Taylor, P.E. on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.





Section E, Item 7. **HARRIS**

Harris Civil Engineers, LLC

1200 Hillcrest Street

Orlando, Florida 32803

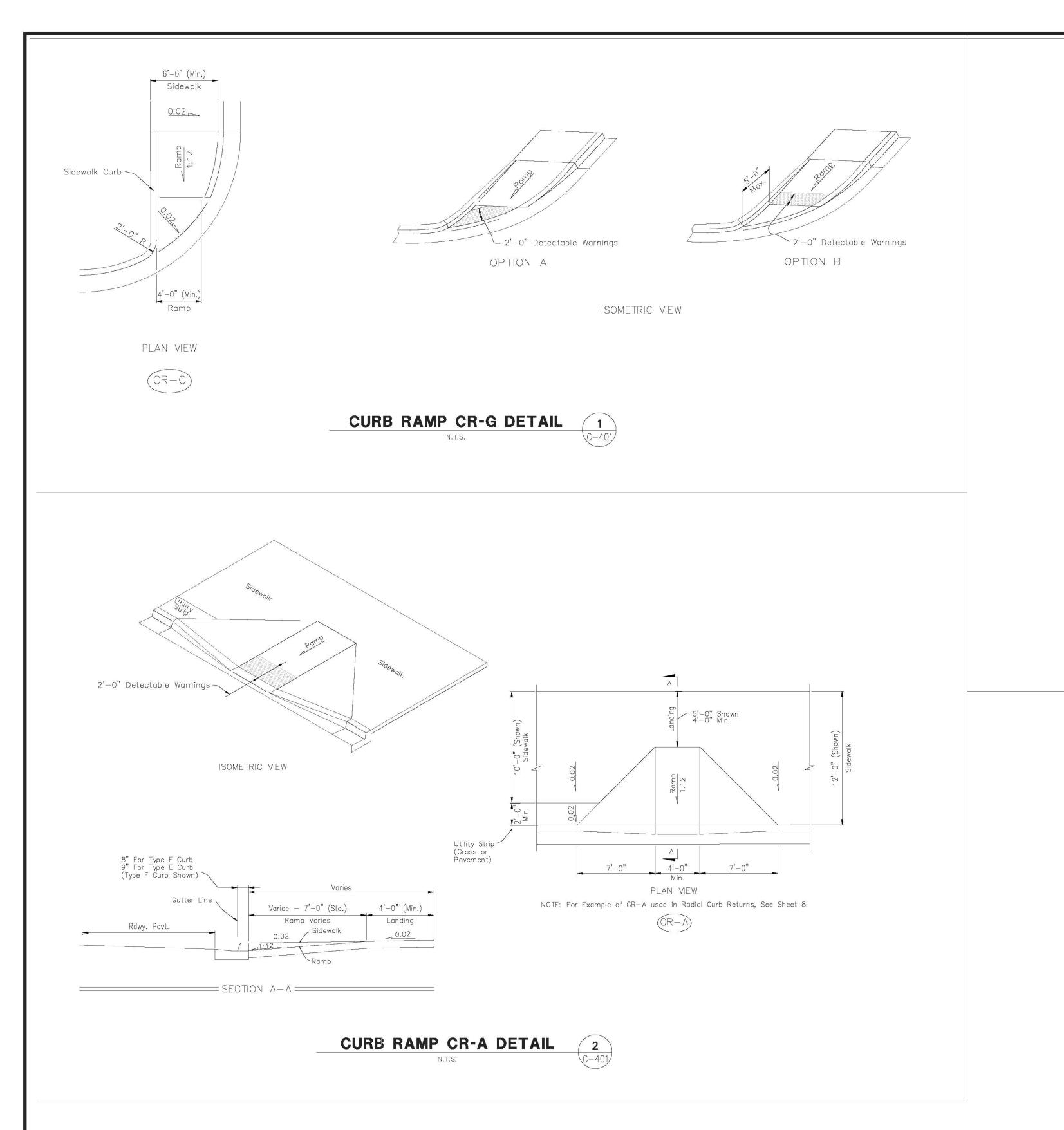
Phone: (407) 629-4777

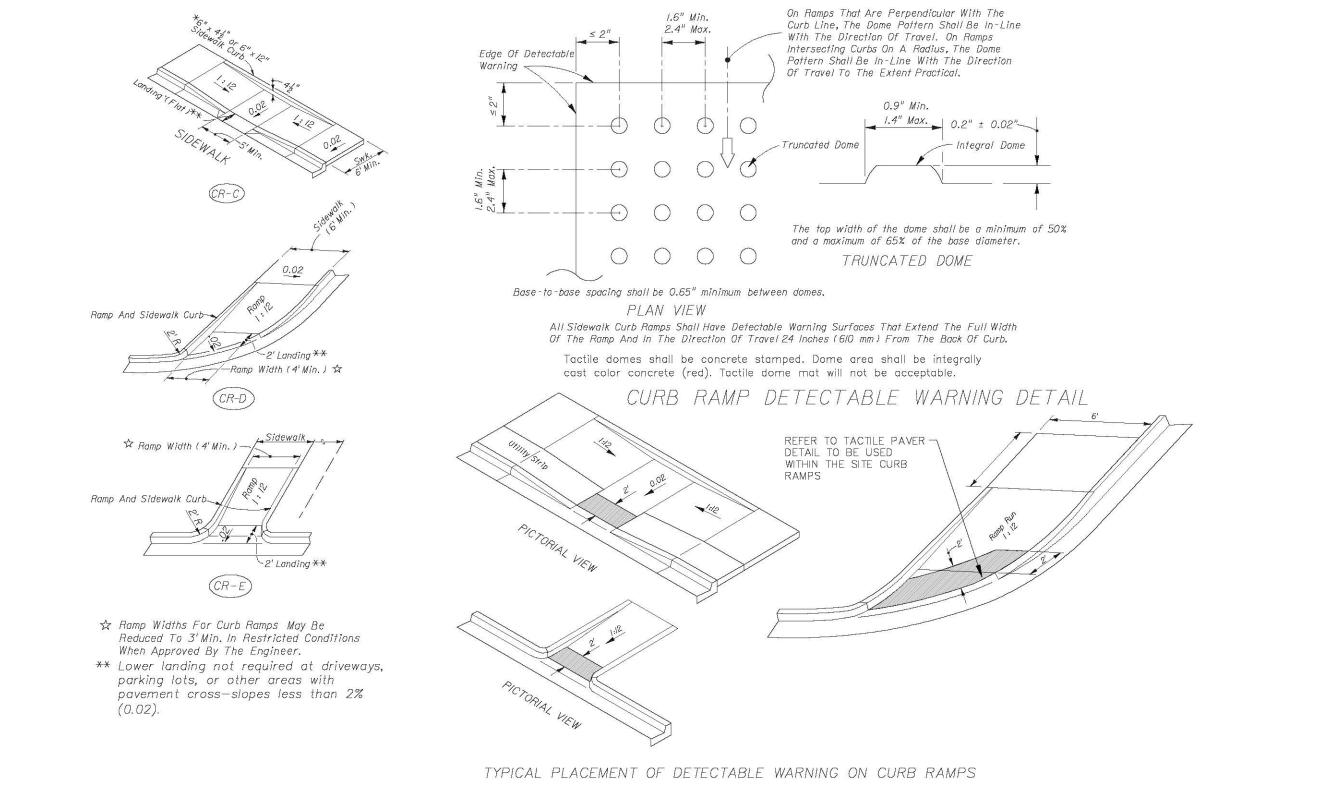
www.harriscivilengineers.com

 III

This item has been digitally signed and sealed by David

Taylor, P.E. on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.





N.T.S.

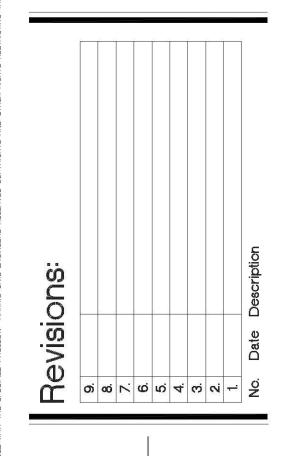


Harris Civil Engineers, LLC

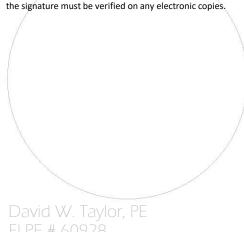
1200 Hillcrest Street Suite 200 Orlando, Florida 32803

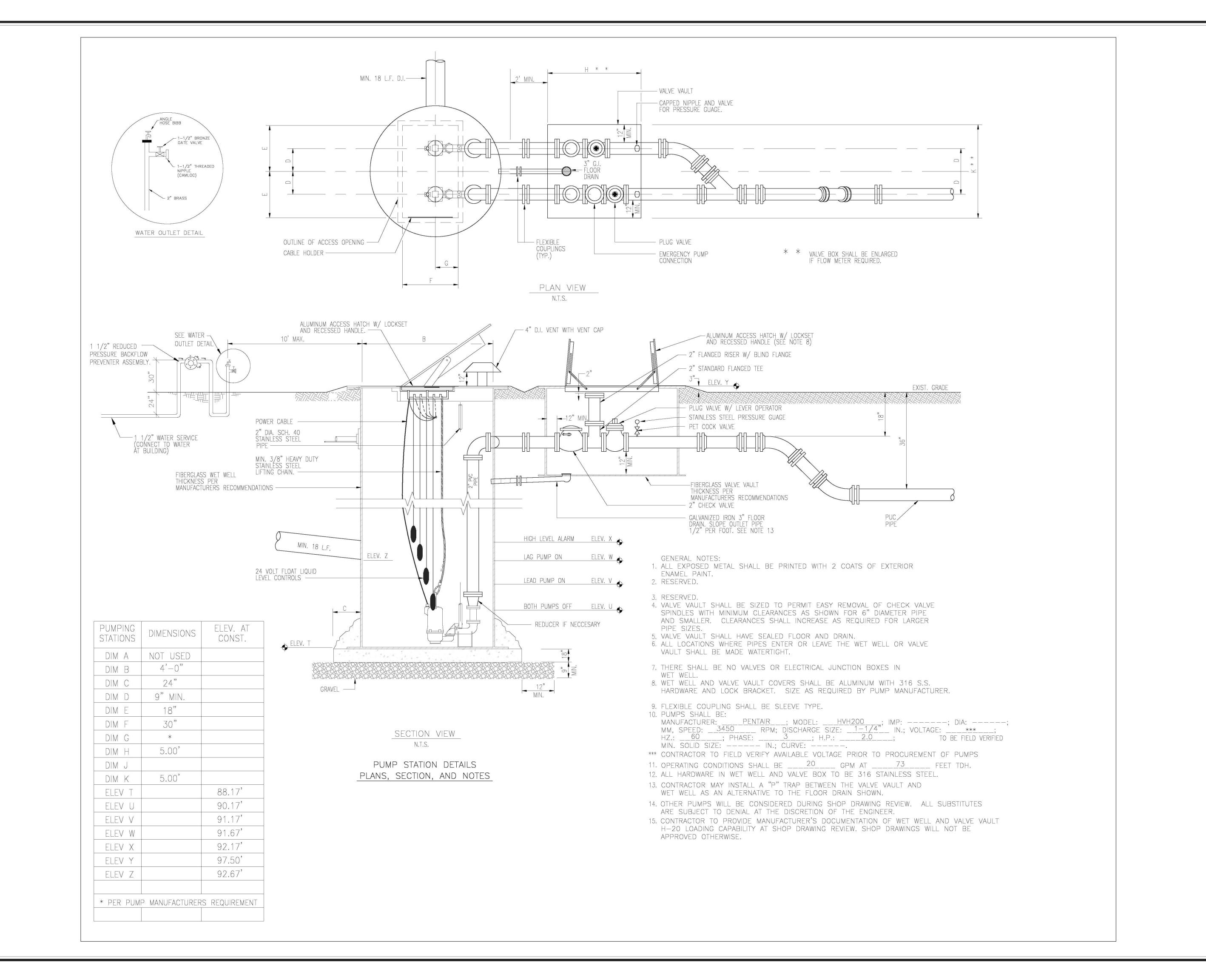
Phone: (407) 629-4777 Fax: (407) 629-7888

www.harriscivilengineers.com EB 9814



This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.





Section E, Item 7. HARRIS

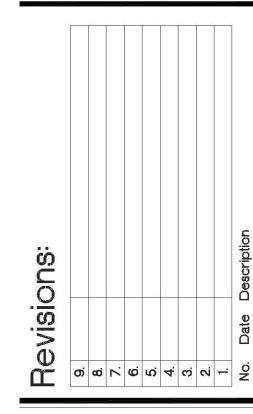
Harris Civil Engineers, LLC

1200 Hillcrest Street

Suite 200 Orlando, Florida 32803

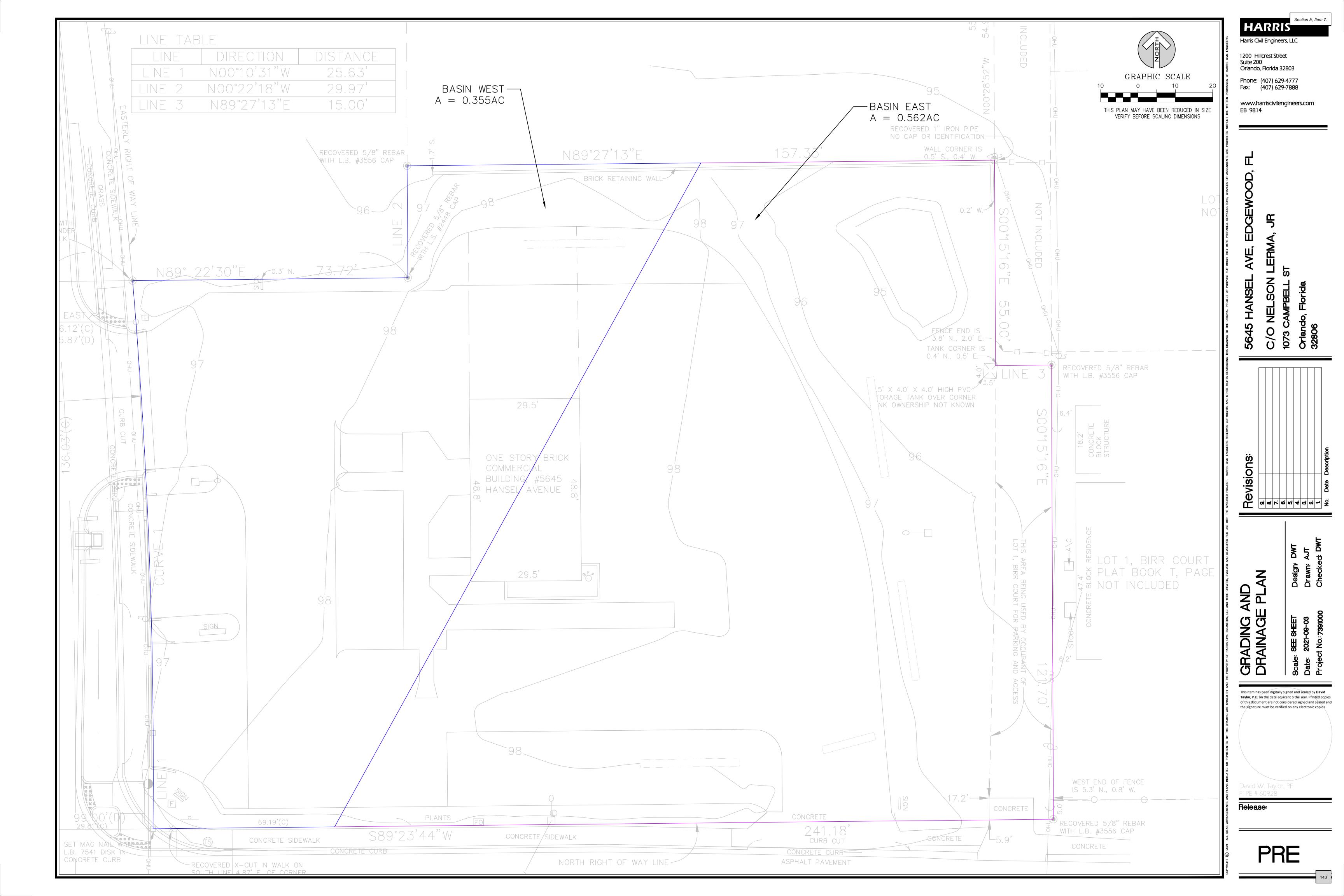
Phone: (407) 629-4777 Fax: (407) 629-7888

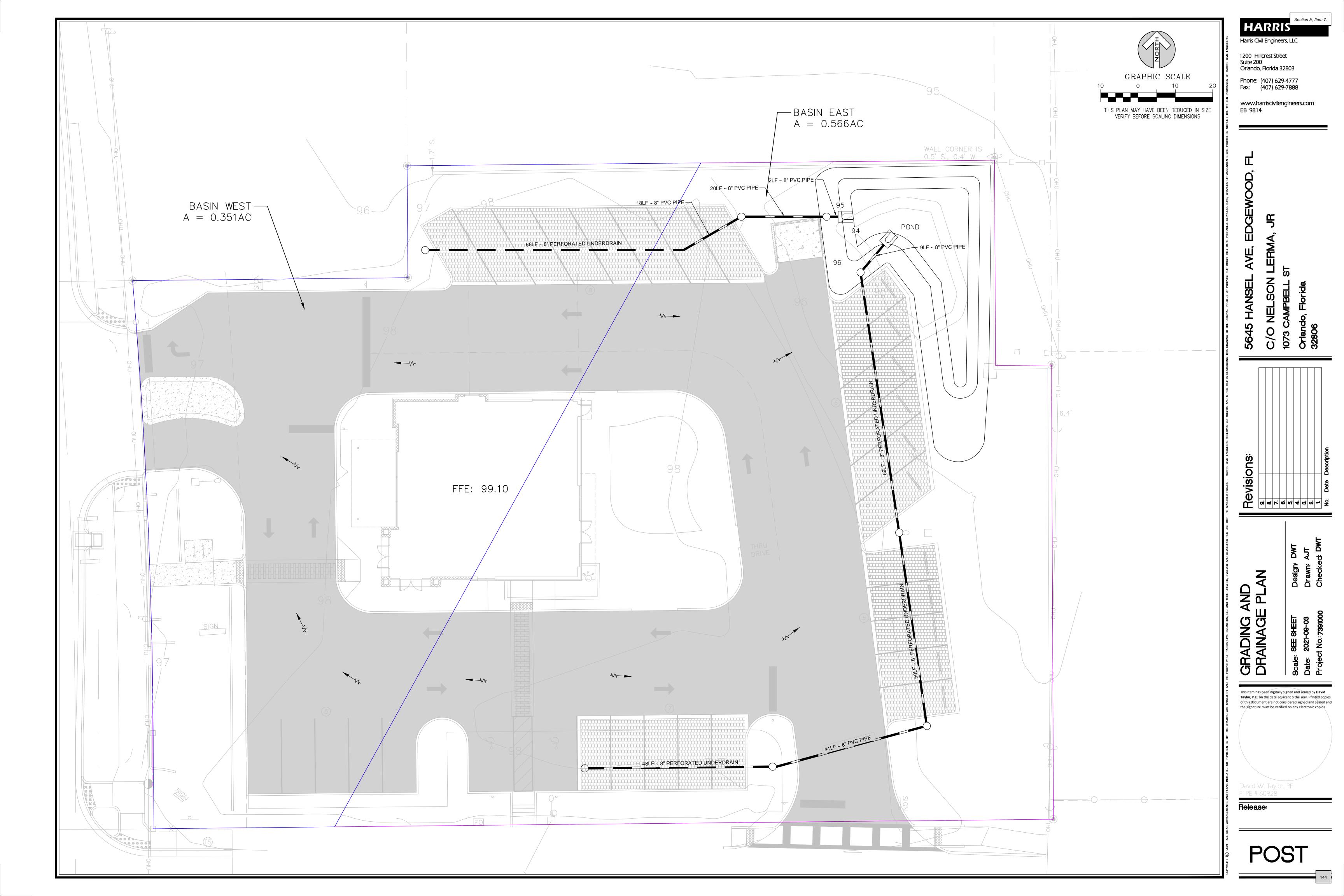
www.harriscivilengineers.com EB 9814

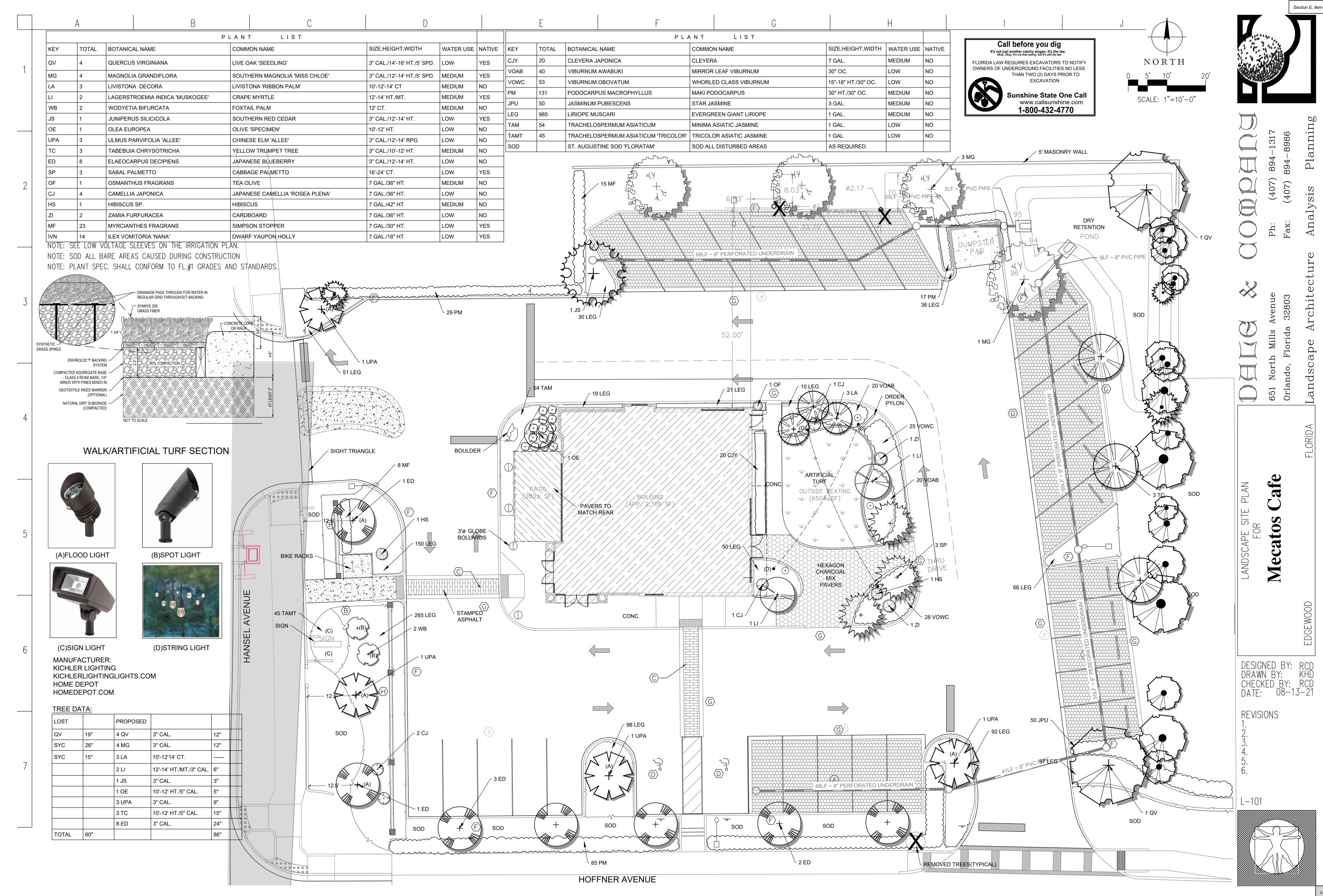


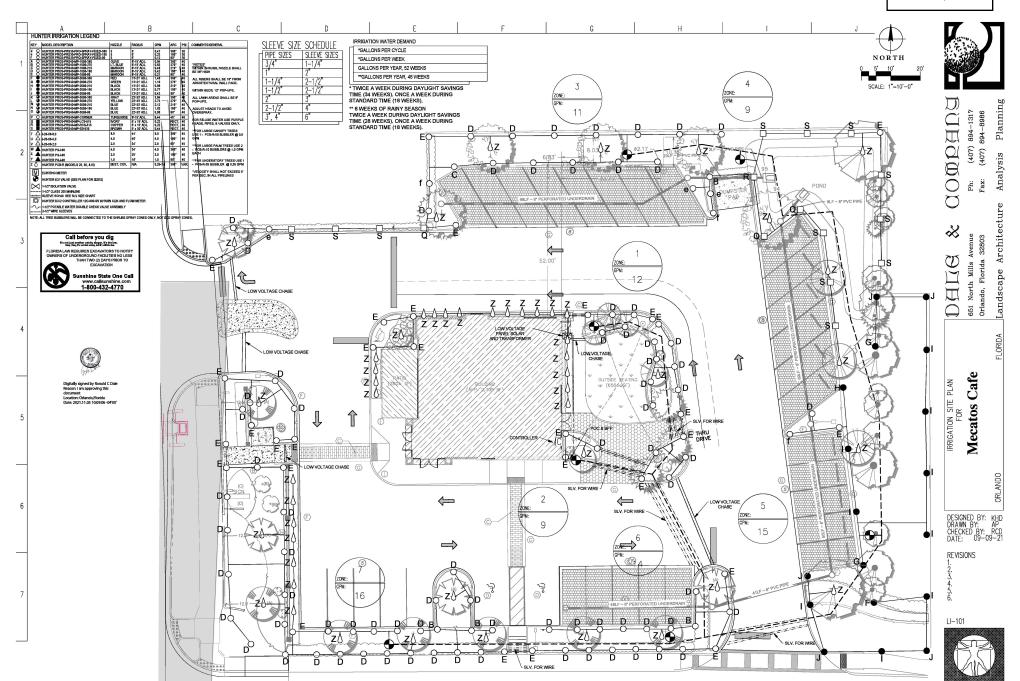
This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent o the seal. Printed copies of this document are not considered signed and sealed and

the signature must be verified on any electronic copies.

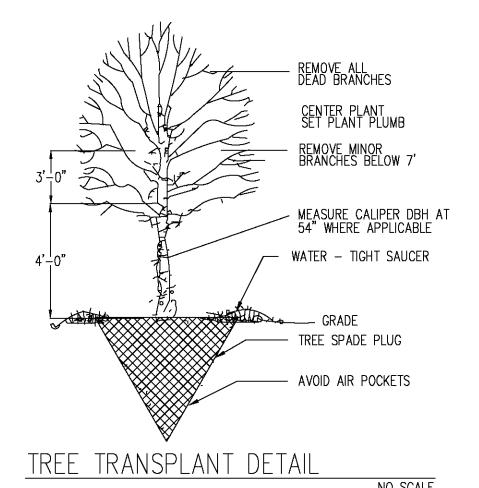


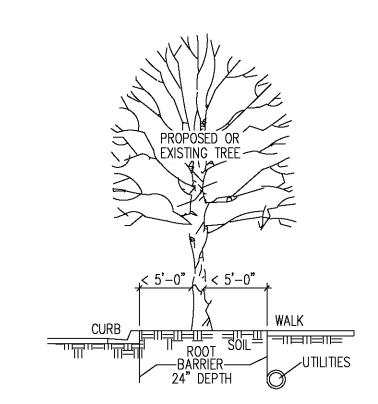




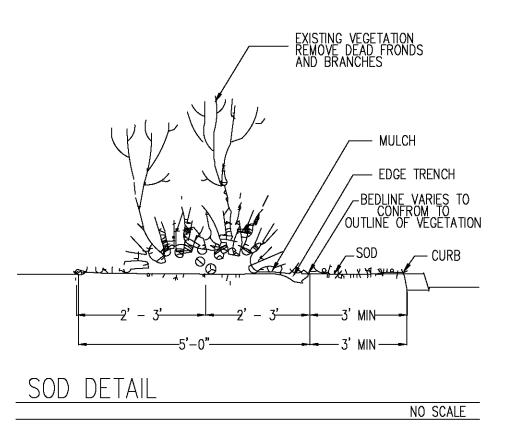


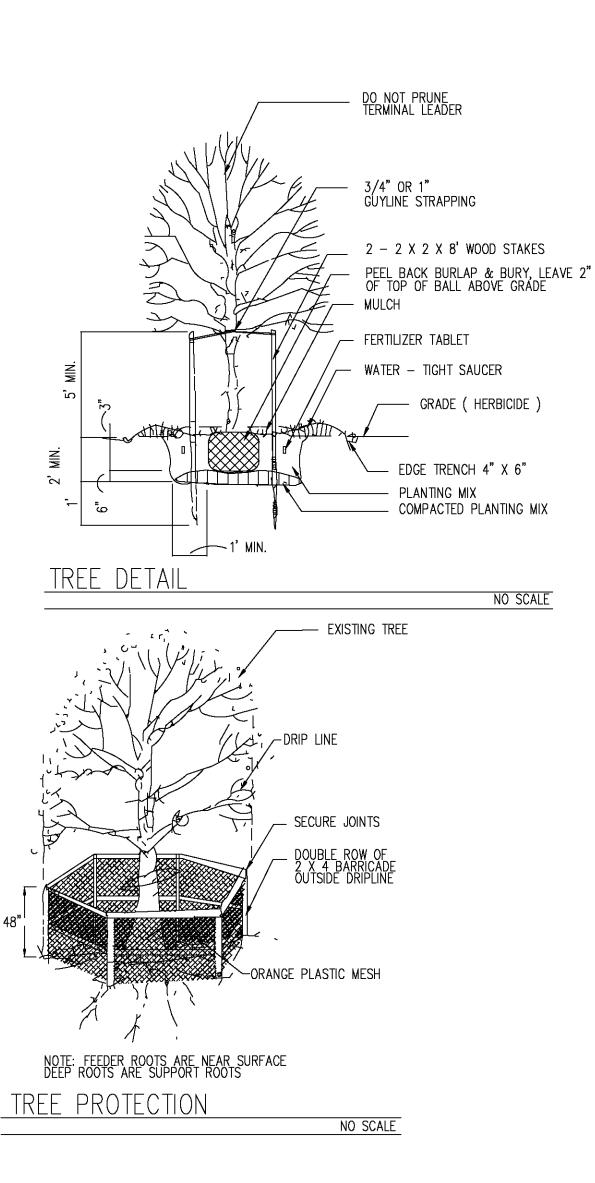
NO SCALE

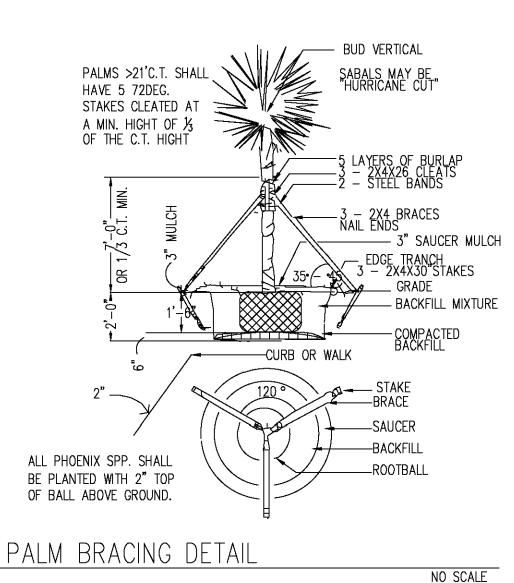




ROOT BARRIER DETAIL NO SCALE







SECTION 02900 LANDSCAPE PART ONE - GENERAL

A. All portions of Division I - General Requirements are included with this section.

B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein. C. Avoid conditions which will create hazards. Post signs

or barriers as required. Provide adequate means for protection from damage trough excessive erosion, flooding, heavy rains or

winds, etc. Repair or replace such damage. E. Plant totals are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.

Comply with all federal, state and local regulations. Contractor shall notify L.A. of any adverse soil conditions ancountered ie. clay, loose fill , high water table or poor

drainage and any condition adverse to planting. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

1.1 RELATED SECTIONS; SECTION 02810 IRRIGATION

1.2 REFERENCES

A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.

Grades and Standards for Nursery Plants, Florida Department of Agriculture; Part II 1998

American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.

Hortus Third, Liberty Hyde Bailer Hortorium 1976. E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

1.3 SUBMITTALS Provide to Owner's representative during;

Owner's representative.

A. Preconstruction 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded. 2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and

B. Construction 1. Plant inspection certificates and shipping invoices

as requested. 2. All fertilizer labels and notarized letter of conformance with these specifications.

C. Contract Close-out 1. Two sets as-built record documents (red-line

1.4 QUALITY ASSURANCE

A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades. B. Contractor is expected to participate in a pre-

construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.

C. Contractor is expected to participate in a contract

close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion"

A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed

Maintenance consists of pruning, cultivation, edginbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.

C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.

1.6 REPLACEMENTS

A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the

original planting and at no cost to the Owner. B. Replacement period commences at Date of Substantial Completion and continues as follows:

a. Trees - one (1) year b. Shrubs - ninety (90) days

c. Sod - ninety (90) days

d. Other Products - one (1) year

Time limit may be extended by mutual agreement for material in questionable health at end of guarantee

C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

3.3 INSTALLATION

A. Topsoil Spread topsoil over all areas to receive ground cover

to a minimum compacted depth of 4 inches. B. Rough Grading . Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas.

Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor) 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet

C. Final Grading

1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.

2. Dig out weeds by the roots. 3. Till in soil amendments such as lime, iron, or gypsums if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

PART TWO - PRODUCTS

2.0 MATERIALS

A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conductive to production of plant life, or would

interfere with future maintenance B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly moved and be mature enough that when grasped at one end it can be picked up and handled without damage.

C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall beat the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.

. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5

2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.

Incorporate black Florida peat into planting mix when specified on plant list at the following rates: 1. 1 gallon plants - 1/8 cubic feet

2. 3 gallon plants - 1 cubic feet 3. Trees - 1/2 cubic foot per foot of height

"Selfan" or "Preen" pre-emergent. G. Additional Soil Amendments

1. Apply as needed to bring soil into optimum growth range for specified plants. 2. If soil is below 5.0 ph incorporate enough horti-

cultural lime to bring within 5.6 to 6.5 ph range.

1. Measured standing in natural form of the size indicated on "plant list" and grade "Florida No 1" unless otherwise indicated.

2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil

3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.

4. Form shall be symmeterical or typical for species and variety.

5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character

6. Trees having rootballs wrapped with synthetic

burlap will be rejected. I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.

Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.

A. Planting Mixture

1. Use the best natural soil existing on site, combined with fertilizer.

PART THREE - EXECUTION

A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract. Review engineering drawings for additional information.

Coordinate work with Owner and other related trades. Relocate existing plant material as directed by

landscape architect, and according to drawings.

Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.

Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

D. Planting Pits

Excavate to dimensions shown on plan. E. Plant Installation

1. Do not crack or break soil away from root ball 2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously

3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in

backfill with slow hose. 4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall

be 30" minimum from walls, walks and fences. 5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance

from edge. Sod Installation

Sod all areas indicated on plan and areas disturbed by work of other trades. 2. Lay panels tightly together. Top dress cracks with

sand. Water thoroughly.

G. Stake and Guy Stake and guy ..as per plan.

H. Fertilize

Fertilize evenly at following rates: 1. Tablet Fertilizer 1 gallon plant - 1 tablet

2 gallon plant - 1 to 2 tablets 5 gallon plant - 2 to 3 tablets Trees - 1 tablet per foot of height 2. Granular Fertilizer

Work into the top 2 " of soil at the rate of 20 pounds per 1000 square feet for lawn areas. I. Prune

Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation. J. Herbicide

Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.

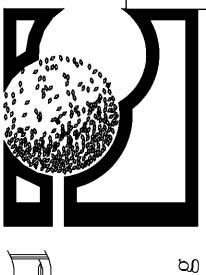
Spread to a uniform depth of 2"min. Fluff and pat in place.

3.4 FIELD QUALITY CONTROL

A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.

B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type. quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION



Section E, Item 7.

407)

651

 $S \overline{O}$ DETAIL Ŭ ¥

 \approx

ANDSC/

Call before you dig

FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY

OWNERS OF UNDERGROUND FACILITIES NO LESS

THAN TWO (2) DAYS PRIOR TO

Sunshine State One Call

1-800-432-4770

www.callsunshine.com

EXCAVATION

It's not just another catchy slogan. It's the law.
Okay, Okay, It's not that catchy, but It's still the law.

DESIGNED BY: RCD DRAWN BY: CHECKED BY: RCD

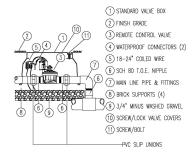
REVISIONS

147

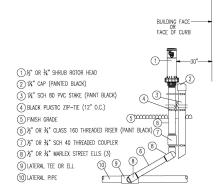
MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 or 220 VAC SOURCE.

IRRIGATION CONTROLLER

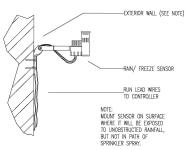
*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPORATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.



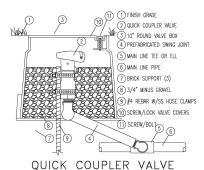
REMOTE CONTROL VALVE

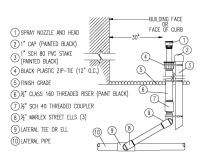


SHRUB ROTOR HEAD *DO NOT LISE RE-BAR ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING

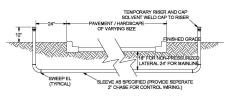


RAIN/ FREEZE SENSOR

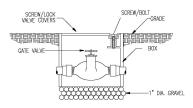




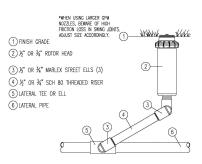
SHRUB SPRAY HEAD *DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHE THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



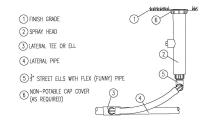
SLEEVE INSTALLATION



GATE VALVE



ROTOR HEAD



SPRAY HEAD

SECTION 02810 IRRIGATION SYSTEMS

PART ONE - GENERAL

- 1.0 SUMMARY
 A. All portions of Division I General Requirements are included with this section.

 B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.
- 1.1 RELATED SECTIONS: section 02900 landscape planting 1.2 TOLERANCE
- A. Install sprinkler heads where indicated by symbol.

 B. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.
- locations before installation.

 3 SUBSTITUTE

 4. Subnit two bound folders containing.

 1. Written operating instructions for all components.

 5. Complete parts but and manufacturers data.

 5. Complete parts but and manufacturers data.

 6. Complete parts but and manufacturers data.

 6. Written maintenance instructions owings with the following literal distriction of the search o

1.5 QUALITY ASSURANCE.
A. Contractor is expected to participate in preconstruction meeting.
A. Contractor is expected to participate in excellents schedule, abordy questions, and discuss acceptable performance retrient for payments.
B. Contractor is expected to participate in contract closeout meeting with Owner and Inducages acceptance to were proper completion of the work, establish Tate of Substantial Completion*, and advise Owner as to system operation.

- 1.6. NEMANTES
 A Contractor will be fully responsible for system operation until Date of Substantial Completion.
 B. Contractor is fully responsible for all parts and workmanship for a contractor is fully responsible for all parts and workmanship for phase or portion of the project.
 C. See to the fulfillment of all menufacturers warranties.

PART TWO - PRODUCTS
2.0 MATERIALS
Backfill shall be free from stone, trash, or other debris.

- 2.1 MANUFACTURED UNITS
 A. Automatic electro-mechanical controller fully installed and
- A Blacetric valve installed in valve box.

 C. Valve box with lid manufactured by "Amtek" or "Brooks".

 D. Connection for control wires manufactured by "Pentite" or "3" installed as per manufactured wirections, and above grade in valve boxes.

 E. Gete valves shall be brass and installed in valve box.

 F. Automatic drain valves shall be installed in 1 cubic foot gravel

- 2.2 COMPOINTS
 A condition with shall be direct burial # 14, type UP. Tape to underside of main every 10 feet. Install spare ground, when +5 extra wires. Main line shall be class 200 P/C minimum (ANS/ANS) 0224).
 C. Leteral lines shall be class 160 P/C minimum (ANS/ANS) 0224).
 E. Leteral lines shall be class 160 P/C minimum (ANS/ANS) 0224).
 E. Leteral lines shall be class 160 P/C minimum (ANS/ANS) 0224).
 E. Leteral lines shall be class 160 P/C minimum (ANS/ANS) 0224).
 E. Leteral lines shall be classed on the class of the

PART THREE - EXECUTION

3.0 EXAMINATION
Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.

- AS PROFICEION
 A Lecate identity, and mark all known utilities in area of the work.
 Take reasonable care to avoid damages or heards.
 Take reasonable care to avoid damages or heards.
 See that the second of the seco
- 3.2 PREPARATION
 A Surface Preparation. Stake out each run of pipes, each head, and each valve.
 B. Test control wire for continuity before unreeling for installation.

- 3.3 INSTALLATION

 3.3 INSTALLATION

 A proper clean and dry at all times.

 Experies a requer out at all joints and ream ends to a smooth finish, inside and outside and outside and outside and outside and outside the control of the c
- 3.4 TULERANCES

 A Main line and drive crossings shall have 18 inches minimum cover.

 B. lateral lines shall have 18 inches minimum cover.

 C. All heads shall be 4 inches minimum from walks, drives, or curbs.

 D. bl. prode heeds and valve boxes shall be installed with top flush the prode of the cover of
- 3.5 FIRLD TESTS Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.

- 3.6 ADJUSTMENTS
 A Adjust sprinkler patterns and radius. Ensure uniform and
 A regist sprinkler patterns and radius. Ensure uniform and
 B No heads shall be allowed to spray valls, fences, walks, or drives.
 C. Set times to operate as appropriate for season, soil type,
 drainage, and plant requirements.
- A FREIG Quistr CONTROL

 A Landscape architect or Owner may conduct periodic inspections to

 A Landscape architect or Owner may conduct periodic inspections to

 B. Contractor will be expected to participate with Owner in final
 inspection to review project for conformance to the contract.

 dimensions, and quality of materials and workmanship
 inspections, and quality of materials and workmanship
 inspections of the contract of the conformance of the contract of

END OF SECTION



1317 894-894-(407)

0 Ph:

0 Mills North

X

651 Orla

Cafe Mecatos

Call before you dig

's not just enother setchy elegen. It's the is the the start and the set the set of the set

THAN TWO (2) DAYS PRIOR TO 1-800-432-4770

> DESIGNED BY: RCD DRAWN BY: KHD CHECKED BY: RCD DATE: 09-09-21

REVISIONS

LI-501



LEGAL DESCRIPTION - VESTING DEED;

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

CENTER OF SECTION 24
TOWNSHIP 23 SOUTH,

RANGE 29 EAST

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

right of way purposes. Parcel 2: GRAPHIC SCALE From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the (IN FEET) 1 inch = 20 ft.Easterly right—of—way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right—of—way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning. LOT 4, BIRR COURT NOT INCLUDED RECOVERED 5/8" REBAR CURVE TABLE CURVE RADIUS LENGTH CHORD BEARING 121.32' N02°33'08"W 121.35 CURVE 1 1462.69 LINE TABLE LINE DIRECTION DISTANCE LINE 1 N00°10'31"W 25.63' LINE 2 N00°22'18"W 29.97' LOT 5, SECOND W.M. HANSEL REPLAT LINE 3 N89°27'13"E NOT INCLUDED RECOVERED 1" IRON PIPE NO CAP OR IDENTIFICATION RECOVERED 5/8" REBAR WITH L.B. #3556 CAP N89°27'13"E 7.96 BRICK RETAINING WALL LOT 3, BIRR COURT NOT INCLUDED SET 5/8" REBAR WITH L.B. #7541 CAP UNDER EAST EDGE OF WALK RETENTION AREA LOT 4, SECOND W.M. HANSEL REPLAT RAISED CONCRETE PLAT BOOK L, A PAGE 74 COVERED DRIVE THRU RAISED CONCRETE CONCRETE FILLED METAL OAK7-0 57'(P) PALM6-D PARCEL PORTION OF LOT 1 0 P.I.D. \$4-23-29#3400-00-014 THE SUBDIVISION OF THE HARNEY HOMESTEAD PLAT BOOK C, PAGE 53 ▲ W LOT 1, BIRR COURT W.M. HANSEL ! REPLAT W.M. HANSEL REPLAT RAISED BRICK PLANTER LOT 2, BIRR COURT '|__× PLAT BOOK T, PAGE 129 | PARCEL 序置 NOT INCLUDED NOT INCLUDED CONCRETE SIDEWALK **PLANTS** PLAT BOOK J, PAGE 45 % HICKORY22 上 WITH L.B. 7541 DIS WITH L.B. #8030 DISK IS 5.3' N., 0.8' W. -0.5' WIDE FLAT TOP CONCRETE CURB NO CAP OR IDENTIFICATION & 17.2' 96.94 CONCRETE 97.26 CONCRETE 96.93 7 197.59 CONCRETE SIDEWALK CONCRETE/SIDEWALK 96.95 SOUTH LINE 4.87' E. OF CORNER POINT OF BEGINNING-HOFFNER AVENUE SOUTHWEST CORNER OF LOT 1, THE 50' WIDE RIGHT OF WAY SUBDIVISION OF THE HARNEY HOMESTEAD LOT 7 LOT 6 LOT 9 LOT 5 LOT 4

SUNDAY BLOCK, PLAT BOOK O, PAGE 27

LEGAL DESCRIPTION - TITLE COMMITMENT;

Florida, and described as follows:

Parcel 1:

described as follows:

the Point of Beginning.

TOGETHER WITH:

TOGETHER WITH:

The land referred to herein below is situated in the County of Orange, State of

A portion of Lot 1 of The Subdivision of the Harney Homestead, more particularly

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead,

according to the plat thereof recorded in Plat Book C, Page 53, of the Public

Records of Orange County, Florida; thence run North 147.00 feet; thence run

East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in

Plat Book J, Page 45, of the Public Records of Orange County, Florida.

Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road

SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF S89°23'44"W.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-5167324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN.

THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINIMAL FLOODING." SEE MAP NUMBER 12095C0430 F. DATED 9-25-2009.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THE SUBJECT PROPERTY CONTAINS 39,941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS. SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:

REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S NOTES, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS; EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS, HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT. THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRR COURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3.

EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS.

EXCEPTION 9; MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HARNEY HOMESTEAD. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 10; MATTERS SHOWN ON THE PLAT OF THE W. M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 11; MATTERS SHOWN ON THE PLAT OF SECOND W. M. HANSEL REPLAT. THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 12; DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565. THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON. EXCEPTION 13: THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

CONTIGUITY STATEMENT:

BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT; PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HIATUSES ALONG SUCH COMMON BOUNDARIES.

LEGAL DESCRIPTION STATEMENT:

THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION — DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION — TITLE COMMITMENT.

AXIOM BANK, N.A.

CERTIFIED SOLELY AND EXCLUSIVELY TO WHITE & LUCZAK, P.A.
FIRST AMERICAN TITLE INSURANCE COMPANY
CNBM INVESTMENTS LLC



DOCUMENT WAS AUTHORIZED BY DONALD A. HORNE, PSM 4548

ON OCTOBER 25, 2021

MAP LEGEND:

(C) INDICATES A CALCULATED DISTANCE AND OR DIRECTION.

(D) INDICATES A DESCRIPTION DISTANCE AND \OR DIRECTION.

(P) INDICATES A PLAT DISTANCE AND \OR DIRECTION.

(M) INDICATES A MEASURED DISTANCE AND OR DIRECTION.

LB INDICATES LAND SURVEYING BUSINESS.

PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.

LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.

P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER

ന്ച INDICATES A WOOD UTILITY POLE.

← INDICATES A GUY WIRE ANCHOR.

O—☐ INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.

- INDICATES A METAL SIGN ON A METAL POST.

1 INDICATES A PVC SANITARY CLEANOUT.

♥ INDICATES A WATER BACK FLOW PREVENTER.

(S) INDICATES A TRAFFIC SIGNAL JUNCTION BOX.

I INDICATES A CONCRETE POLE OR SIGN FOOTER

- INDICATES A CONCRETE TRAFFIC SIGNAL POLE.

& INDICATES A HANDICAP PARKING SPACE

© INDICATES AN ELECTRIC JUNCTION BOX.

M INDICATES A FIBER OPTIC JUNCTION BOX.

SUNDAY BLOCK, PLAT BOOK O, PAGE 27

—они——oни—INDICATES OVERHEAD UTILITY LINE(S).

/97.31 INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.

98 INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.

→95.82FL INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.

OAK22- INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE

6 PALM14 INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.

CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.

PREPARED FOR:

NELSON LERMA, JR.

MAP OF BOUNDARY
AND TOPOGRAPHIC
SURVEY

5643 AND 5645

IN SECTION 24, TOWNSHIP 23 SOUT

IFY THAT WE HAVE PERFORMED A FIELD SURVEY OF THIS PROPERTY, FOR THE PURPOSE HEREON DESCRIBES PRAVING IS A REPRESENTATION OF THAT SURVEY AND IDARDS OF PRACTICE FOR SURVEYS SET FORTH IN F. A. C. . THIS SURVEY PREPARED FOR THE SOLE AND IT OF THE ENTITY AND ONE INDIVIDUAL WHOMSOEVED BOND OF THE ENTITY AND ONE INDIVIDUAL WHOMSOEVED BOND (A. Horne, Florida License #454).

SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISE CONTRACTOR OF THE SOLE AND ORIGINAL RAISE.

THIS IS TO CERTIFY THAT WE HAN HEREON DESCRIBED PROPERTY, AND THAT THIS DRAWING IS A FOLLOSIVE BENEFIT OF THE ENTER ELIED UPON BY ANY OTHER E.

Field By / Date: DH, RBDT 4-08-21

F. B. /PG. NDMAD

E. COMMIT.

Calc. By: DH

Drawn By: DH

Checked By: DH

Drawing File: HANSEL1

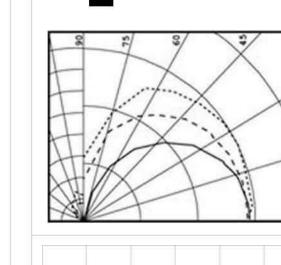
Coordinate File: HANSEL1

Revise Notes with 4" dbh or larger

SCALE 1" = 20'

SH. JΩB # S242329B

ノ



Comments Date

Revisions

ome

SE MECATOS EDGEWA

CAFE Pho:

Luminaire Location Summary Insertion Point Label Orient Z Tilt 2002 -285.9 12.33 D 0 -268.7 D 2025.1 12.33 0 2021.6 -245.9 12.33 D 0 2085.8 -280.3 28 187.6 0 1983.3 -356.4 28 90 0 1888.2 28 1990.2 -190 270 0

FOOTCANDLE ANALYSIS BY PHOTOMETRICS LLC 10/29/2021.

THE PARKING SURFACE IS ASSUMED TO BE ASPHALT.

THIS LAYOUT MEETS IES RP8-18 RECOMMENDATIONS FOR BASIC PARKING LOT LIGHTING LEVELS AND UNIFORMITY.

PPARKING LOT LIGHTS ARE 110 WATT LED AT 28' ABOVE FINISHED GRADE. PARKING LOT LIGHTS ARE FULL CUTOFF WITH NO LIGHT ABOVE HORIZONTAL. PEDESTRIAN LIGHTS ARE 52 WATT LED AT 12'4" ABOVE FINISHED GRADE. ALL PERIMETER LIGHTS ARE AIMED AWAY FROM NEIGHBORING PROPERTIES. CALCULATION GRIDS ARE AT GRADE (Z=0)

FOOTCANDLE READINGS DO NOT INCLUDE SHADOWING EFFECTS CAUSED BY OBSTRUCTIONS ONSITE SUCH AS BUILDINGS, TREES, ETC.

THE IES PHOTOMETRIC COMPUTER FILES USED FOR THIS ANALYSIS WERE PROVIDED BY THE MANUFACTURER(S) OF THE LIGHT FIXTURE(S) USED ON THIS PROJECT. THE ACCURACY OF THESE FILES ARE THE RESPONSIBILITY OF THE MANUFACTURER(S).

CONFORMANCE TO ANY AND ALL FACILITY, LOCAL, STATE, OR NATIONAL CODES AND REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

CAREFUL PLACEMENT AND ORIENTATION OF THE LIGHT FIXTURES ONSITE IS REQUIRED FOR THIS COMPUTER SIMULATION TO BE ACCURATE.

NORMAL TOLERANCES OF VOLTAGE, TEMPERATURE, LAMP OUTPUT, AND BALLAST AND LUMINAIRE MANUFACTURER WILL AFFECT RESULTS.

17 21 28 31 27 20 17 13 0.0 0.0 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1					لمر	~~1 ₀			بدائمر			n (-					w		
17 21 28 31 27 20 17 13 06 4 10 10 11 12 12 13 16 19 22 25 23 21 18 15 12 10 06 06 06 01 01 01 01 12 12 13 13 13 13 15 17 20 21 18 15 12 11 08 04 02 02 05 06 06 06 06 06 06 06 06 06 06 06 06 06				0.4	A CARLO	4 × 2	1	L≀R	4			X++X	11	0.2	0.1	0.1 0			
D2 D3 D4 D5 D5 D5 D5 D5 D5 D5				1.2	1 Ez /			/	. \		\		PAD		4/4 ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	٠ ب	0.		
04 09 13 14 14 13 13 12 13 13 15 17 20 21 18 15 12 11 08 04 02 02 03 04 04 05 05 07 08 R08 06 06 05 05 05 04 04 03 02 01 01 001 01 02 02 03 04 04 05 05 07 08 R08 06 06 05 05 05 05 04 04 03 02 01 01 001 001 001 00 05 05 04 04 03 02 01 01 001 001 001 001 001 001 001 00	0.2 0.3 0.6 0.8				1.7	2.1	2.0	3.1	2.1	2.0	\1.7	1.3		0.02	****	1	0.1		
0.4 1.7 1.7 1.8 1.4 1.2 1.1 0.8 0.9 0.9 1.2 1.6 2.3 0.8 0.1 0.6 0.7 0.7 0.8 0.8 0.7 0.8 0.8 0.8	0.7 1.0	1.0 1.	1.2	1.2 1	3 1.6	1.9	2.2	2.5	2.3	2.1	1.8	1.5	1.2	1.0	2018-12-12	0.6	0.1		
17 17 16 14 12 11 08 09 08 12 16 23 26 HH: 12.33 18 15 13 11 0.5 02 0.1 0.5 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5 0.5		1.4	1.3	1.3	.2 1.3	1.3	1.3	1.5	1.7	2.0	2.1	[†] 1.8	1.5	1.2	1.1	0.8			
2.1 1.7 0 0.2 0.2 0.3 1 2.5 1.7 0 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.5 0.6 0.8 10 12 12 12 12 15 18 21 2.4 22 19 16 1.4 12 10 0.9 0.8 0.7 0.6 0.1 0.1 0.1 0.5 0.6 0.8 10 12 12 12 12 14 14 0.5 0.5 0.7 0.8 R 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.5 0.6 0.8 10 12 12 12 13 17 14 11 0.9 0.8 0.7 0.5 0.1 0.1 0.1 0.1 0.5 0.6 0.8 10 12 12 12 13 17 14 11 0.9 0.8 0.7 0.5 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1	1.7	1.7 1.6	5 1.4	1.2 1	.1 0.8	0.9	0.9	1.2	1.6	2.3	D 2.6 ~√ MH	^{2.3} : 12.3	1.8 3	1.5	1.3	1.1 0.5	سر	400	1.1
20 3.1 2.5 1.7		2.1 1.									9		\\	1.7	1.6	1.4 0.7	3		1.2
0.6 MH: 28 2.1 1.6 0 0.7 2.2 0.9 1.1 1.2 1.3 1.4 1.3 1.3 1.4	2.0 3.1	2.5 1.							OUTSII (650± \$	DE SEATING SF)	2.0		2.1	2.0	1.9	1.8 1.0		0	1.2
0.6		2.6 1.5	= 1000	SF)	BUILDIN (APP. 2.	IG 309 SF)					ΘN	IH: 12	.33	2.2	2.4	2.6 1.5	Jus	0	1.2
1.7 1.5 1.6 1.9 2.7 3.1 22 MH: 28 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.5 0.5 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.5 0.5 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.5 0.5 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.5 0.5 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1		2.1 1.0	σ Φ						D		3		and the same of th	2.1	2.8	32	R		1.2
0.4 SIGN 1.2 1.2 1.2 1.2 1.1 0.8 0.8 1.1 1.2 1.3 1.4 1.3 1.3 1.5 1.6 1.8 1.8 1.4 0.6 0.2 0.9 1.1 1.2 1.2 1.3 1.4 1.3 1.3 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.5 0.5 0.1 0.1 0.1 0.5 0.6 0.8 1.0 1.2 2.6 3.0 2.8 2.0 1.6 1.4 1.2 1.0 0.9 0.8 0.7 0.6 0.1 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1	0.5	1.7 1.8	5					A A						1.9	2.7	1	WIN K).2
0.2 0.9 1.1 1.2 1.2 1.3 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4	0.4sign	1.4 1.3	3							3	<u>L</u>	ممو	1.5	1.7	2.3	2.4 1.7	1 3).3
0.2 0.7 0.9 1.1 1.2 1.5 1.8 2.1 2.4 2.2 1.9 1.6 1.4 1.3 1.3 1.3 1.4 1.4 1.4 1.4	0.2	1.2 1.3	1.2	1.2	.1 0.8	0.8	1.1	1.2	1.3	1.4	1.3	1.3	1.5	1.6	1.8	1.8 1.4	0.6).2
0.1 0.6 0.8 1.0 1.2 2.6 3.0 2.8 2.0 1.6 1.4 1.2 1.0 0.9 0.8 0.7 0.6 0.1 0.1 0.1 0.2 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1	0.2	0.9	1.2	1.2	3 1.4	1.3	1.3	1.4	1.4	1.4	1.3	1.3	1.4	1.4	1.4	1.4 1.1	0.5	و الم).2
0.1	0.1	0.7	9 1.1	1.2 1	1.8	2.1		2.2	1.9	1.6	1.4	1.3	1.2	1.1	1.1	1.0 0.8	0.5).1
0.1 0.5 0.6 0.8 1.0 2.1 18 2.3 1.7 1.4 1.1 0.9 0.8 0.7 0.6 0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1		0.6 0.	1.0	1.2		2.6	100	2.8	2.0	1.6	1.4	1.2		1.0	0.9	0.8).1
0.1 0.1 0.2 0.2 0.3 0.4 0.4 0.5 0.5 0.7 0.8 R 0.8 0.6 0.6 0.5 0.5 0.5 0.5 0.4 0.4 0.3 0.2 0.1 0.1	0.1	05 0.	6 0.8	1.0		2.1	3 8	2.3	+ 1.7	1.4	1.1 +	0.9		0.8	0.7	0.6	The state of the s	().1
	01 01 02	0.2 0.3	0.4	0.4 0.5	0.5	0.7	0.8 R	0.8	0.6	0.6	0.5	0.5	ار 0.5 (0.5	0.4	0.4 0.3	0.2 0/1	0.1	0.0
	J.1 J.2				gradus .														

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Lum Watts	Mtg Height		
0	3	D	Single	Duke Ocala 50W Type V Acorn	0.950	51.5	12.33		
	4	R	Single	Duke Roadway-110W-Type III-4000K	0.950	105	28		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Outside Seating	Illuminance	Fc	2.08	2.9	1.4	1.49	2.07
Parking & Drive	Illuminance	Fc	1.53	3.2	0.4	3.83	8.00
Property Line	Illuminance	Fc	0.38	1.2	0.0	N.A.	N.A.

#	Category	Summary	Comments	Responsibility	Response	Status
1	regs.	The landscape plan must follow the current ECO 2021 Amended Ordinance.		LA	Others to Address	
2	Hansel Trees	Per the above referenced ordinance, Division 12 – Edgewood Central District (ECO) Sec. 134-468-Site Design, (h) (2), Highrise live oaks are required 35' on center along Hansel Avenue and Hoffman Avenue. Que to overhead lines on Hansel Avenue, small or understory trees may be used 20' on center. The intent of the trees is to provide shade over the sidewalks. Refer to City current Tree Stock Replacement list for acceptable species.	The trees on Hansel have been changed to meet the ECD requirments.	HCE/Architect	Others to Address	
3	Tree Survey	Provide a tree survey and tree removal and mitigation plan per the requirements of Chapter 130 Tree Management and Protection. Coordinate tree removal with the Civil demolition plans.	Tree survey will be provided. Coordination with the civil demolition plan will also be provided.	Owner	Others to Address	
4	Bike Racks	Refer to note 5 above regarding the bike racks. (5)The bike rack is allowed in the People Space, but is preferred behind the wall. The wall can bump out towards the street to allow for this. The "bump out" should be mirrored on the other side of the sidewalk for a symmetrical appearance. The depth of the bike rack must be a minimum of 72" wide, and 30" minimum between the vertical loops.	Bike rack requirements have been provided in the civil drawings.	Owner/HCE/LA	Sheet C-100, bike rack was added and wall was moved to be infront of racks	
5	Pavers	Refer to note 13 above regarding the pavers for the outdoor seating area. (13)The landscape plan indicates pavers for part of the outdoor seating area, and the remaining hatch pattern matches the artificial turf hatch pattern in the back of the building. The artificial turf is not appropriate for the front facade, and please make the seating area one material.	The building footprint has bee changed and the front patio will be all concrete. No artifical turf or pavers will be added to the front patio.	Owner/Architect/LA	Others to Address	
6	Flush Curb	There are several floating "Flush Curb" notes without leaders. I am not sure of their relevance on this plan.	The floating flush curb notes have been removed.	LA	Others to Address	
7	Globe Bollards	The 3' globe bollards and the annuals pot & saucer use the same symbol, and only 1 each is labeled. Please differentiate them graphically, or label all of them.	All circles with the a line going through the middle will be bollards for a total of 4, only on the west side of the property.	LA	Others to Address	
8	Brick Wall	Per {ECO) Sec. 134-468-Site Design, {g) {1}a, a 7' brick wall is required at the east property line instead of a 6' vinyl fence.	Waiver requested to the allow a 7' cream vinyl fence that wil blend with the environment. There are current power line accesibility requirements and land disputes that prevent a permanant structure at the east of the property.	Owner	Others to Address	

	Cultivar		Cultivar names have			
9						
	names	Provide cultivar names under plant material botanical names.	been provided.	LA	Others to Address	
10	spelling		Spelling has been			
		Elaeocarpus is misspelled on the plant list.	corrected.	LA	Others to Address	
	Height/		Height and spread of			
11	•		the plant list has been			
	spread	Provide height and spread in the plant list descriptions.	provided.	LA	Others to Address	
			Details for the artificial			
12	Artificial Turf		turf area has been			
	7	Provide detail for artificial turf area.	provided.	LA	Others to Address	
		Trovide detail for dreificial tarraca.	provided.		Others to Address	
					Chart C 400 datail	
13	Pavers details				Sheet C-400, detail	
		Reference paver detail on civil drawing sheet C-400 detail 7. Confirm if all paver areas intended			comfirmed that all paver	
		to be pervious, per the civil detail.		LA/HCE	areas to be pervious	
			Tree survey will be			
1.4			provided. Coordination			
14	Trees		with the civil demolition			
	Demolition	Trees shown to be removed on the landscape drawing are shown protected on the demolition	plan will also be			
	plan	plans. Please coordinate.	provided.	HCE/LA	Others to Address	
	p.c	promise reads coordinate.	The ADA accessible	1102/21	o the contained	
			spaces and crosswalk			
15			could not be moved due			
			to the grading			
		Align the sidewalk and crosswalk from Hansel Avenue with the double door entrance on the	requirements for the			
	Crosswalk	west side.	site.	HCE	Others to Address	
			The ADA accessible			
			spaces and crosswalk			
4.6			could not be moved due			
16			to the grading			
	ADA	Align the ADA access with the double doors entrance on the south, for a more direct route,	requirements for the			
	Crosswalk	further west from the drive through lane vehicle stacking.	site.	HCE/LA		
	C. C. S. S. T. C. I.	Tartier Heat Harris and a Heat and a Heat and a Heat a Heat and a	ore.	1102/211		
			A six feet pedestrian		Sheet C-100, 6' wide	
17	Hoffner	Provide a 6' wide pedestrian connection from Hoffman Avenue per the People Space	connection on Hoffner		connection provided	
		·		1105/14		
	Pedestrian	requirements in the ECO.	has been provided.	HCE/LA	from Hoffman	
			The south side		Sheet C-100, sheet	
18		The landscape plans show foundation planting on the south side of the building. The civil	landscape has been		ajusted to display	
	Consistency	drawings do not show a landscape bed.	removed.	HCE/LA	planters	
					Sheet C-401, Sheet C-	
19			The appropiate ADA is		100, ADA ramps called	
	ADA Ramp	Call out the appropriate ADA ramp details on site or grading plan from sheet C-401.	called out in C-401	HCE	out per Index	
			_, , , , , ,			
		What is the purpose of the 20' flush curb SW of the building? How will you protect from	The flush curb has been			
20		vehicular access into seating area?	removed and replaced	Owner/LA/HCE		
	Question	vernediai access into scating area:	with a D curve.		Others to Address	
	Question		l		Others to Address	

21			Signage has been provided in the civil		Sheet C-100, traffic	
	Signage		drawings.	HCE	signage added to sheet	
22		Coordinate with FDOT for the driveway cut shown on sheet C-101. The site driveway curb does	The current design will reflect the property as is. Once confirmation is received from FDOT, the date of completion drawings will be		Sheet C-101, Sheet updated to match FDOT	
	FDOT Curb	not match the FDOT driveway curb.	updated.	HCE	curbing	
23	_	Show FDOT Greenbook sight triangles at exits on to Hansel Avenue and Hoffman Avenue, on the landscape plans.	Sight triangles have been added to the landscape plans.	HCE/LA	Others to Address	
24	Demolition	The demolition plans do not show the removal of the existing concrete apron to Hoffman Avenue, east of the proposed driveway. Sheet C-100 shows a curb crossing the existing driveway apron, and the landscape plan shows sod. Please coordinate.		HCE	Sheet C-003, sheet not includes demoltion of existing driveway apron	
25	East Light Pole		Parking spaces have been rearranged, and an island has been created.		Others to Address	



Date: December 1, 2021

To: Planning and Zoning Board

From: Ellen Hardgrove, City Planning Consultant

XC: Sandy Riffle, Deputy City Clerk

Bea Meeks, City Clerk Drew Smith, City Attorney

Allen Lane, CPH Engineering, City Engineering Consultant

Re: Comprehensive Plan Amendment Relative to EAR

This agenda item is an update of the pending comprehensive plan amendments that were transmitted to the Florida Department of Economic Opportunity (DEO) June 30, 2021. DEO has reviewed the proposed amendments and sent Objections, Recommendations, and Comments (ORC) to the City August 27, 2021. If stated objections are not dealt with to DEO's satisfaction, the amendments will be found "not in compliance" with state law: Chapter 163.3184(1)(b), Florida Statutes.

Per Statute, the City can adopt, adopt with changes, or not adopt the proposed amendments. Adoption must occur within 180 days of the ORC report (February 24, 2022) or the amendment will be deemed withdrawn.

There were two objections. The first related to the lack of information in the Five Year Capital Improvement Schedule. The second related to the City's proposed elimination of the level of service standard for roads. The following pages present the changes proposed in response to these objections.

In addition to the objections, DEO encourages the City to adopt the now required Property Rights Element pursuant to Section 163.3177(6)(i),F.S. That element is included in the adoption package. DEO also encourages the City to adopt the City's revised Water Supply Facilities Work Plan, which is included in this package.

Objection 1: Five Year Capital Improvement Schedule

The transmitted capital improvements schedule did not include any capital improvements as the city does have any capital expenditures planned for the next five years. However, DEO is requiring the schedule address all necessary capital improvements needed to meet the acceptable levels of service over the 5 year planning horizon even if the City is not fiscally responsible for the infrastructure. Exhibit 1 presents a completely revised Capital Improvement Schedule that replaces the schedule submitted to DEO at the transmittal stage.

Per Chapter 163.3164(7), Capital improvement means "physical assets constructed or purchased to provide, improve, or replace a public facility and which are typically large scale and high in cost. The cost of a capital improvement is generally nonrecurring and may require multiyear financing." The listed capital improvements refer to the following public facility and services: sanitary sewer (provided by Orange County); potable water (provided by Orlando Utilities Commission); solid waste disposal/landfill (provided by Orange County); and stormwater management/drainage (provided by the City of Edgewood as well as Orange County).

Per Section 163.3177(3)(a)5, Florida Statute (FS), the schedule must also include transportation improvements in the Metropolitan Planning Organization's Transportation Improvement Program to the extent that such improvements are relied upon to ensure concurrency and financial feasibility. A proposed amendment in this adoption package is elimination of Transportation concurrency since all functionally classified roads within the City limits are either Orange County's or the State's jurisdiction and the City is not fiscally responsible nor can statutorily impose binding levels of service on these providers. Regardless, the transportation information is presented for planning and informational purposes.

CITY OF EDGEWO	OD CAPITAI	L IMPROVE	MENT PLAN	FYS 2021/20	022 - 2024/20	25			
	2020/2021	2021/2022	2022/2023	2023/2024	2024/2025	2025/2026			
SANITARY SEWERS ORANGE C	COUNTY 225 C	GPD (WITHOU	T RECLAIME	ED WATER) T	he identified e	xpenditures are			
Orange County's responsibility. City is not fiscally responsible for the landfill capital improvements.									
Portion of Pump Station Package 35-	\$0	\$46,000	\$240,000	\$200,000	\$0	\$0			
Rehab of PS 3120 serving the City									
Portion of Pump Station Package 38 –	\$0	\$21,000	\$22,000	\$100,000	\$235,000	\$135,000			
Relocation and rehab of PS 3220									
serving the City									
Gravity Package 29 - Rehab of	\$0	\$0	\$865,000	\$0	\$0	\$0			
existing gravity and manholes serving									
the City									
CANTEL DIV CRIVED COUNTY OF OR	T 1 N TO 0 00 T CI								

SANITARY SEWERS CITY OF ORLANDO 225 GPD (WITHOUT RECLAIMED WATER)

City of Orlando does not have sanitary sewer lines proximate the City limits with no plans within the next five years for extension to the City limits. Should extension occur in the future, Edgewood would not be fiscally responsible such extension.

POTABLE WATER ORLANDO UTILITIES COMMISSION 325 GALLONS/DWELLING UNIT/DAY (WITHOUT RECLAIMED WATER)

No known projects at this time.

SOLID WASTE COLLECTION: FRANCHISE

Franchise has identified it has the physical assets to provide the contracted service

SOLID WASTE: ORANGE COUNTY LANDFILL The identified expenditures are Orange County's responsibility. City is not fiscally responsible for the landfill capital improvements. No known projects for FY 2025/2026

	Class 3 Waste Disposal Cell 2	\$307,000	\$307,000	\$307,000	\$307,741	\$307,841
--	-------------------------------	-----------	-----------	-----------	-----------	-----------

Landfill Cell 11	\$14,773,000	\$7,703,430	\$5,771,570	\$7,540,000	\$2,000,000	
Central Expansion	\$0	\$0	\$0	\$1,703,333	\$1,70,8000	

DRAINAGE: Improvements are not necessary to maintain adopted Drainage Level of Service standards (LOS) over the next 5 years. Drainage level of service is maintained by Edgewood and Orange County.

TRANSPORTATION The City has no financial responsibility for maintaining the adopted levels of service standards. No transportation improvements within the City are scheduled in the Metropolitan Planning Organizations Unified Transportation Improvement Program. The listed projects are unfunded needs identified by the City.

Holden Ave/Gatlin Road New SunRail Station and associated bus facilities

Holden Ave/Gatlin Road Intersection Realignment

Orange Ave access management/medians

Sources:

- Charles Shultz (407.246.2658) City of Orlando Sewer service area includes only a small part of the city (Oakwater Professional Office Park). Currently there are no lines proximate the city limit and there are no plans for extension in the next 5 years. Closest lines are along Orange Avenue at Pine Loch, ±0.6 miles north of the city limits. No change in wastewater disposal for this north area is expected within the planning period.
- Chuck DiGerlando OUC 407.434.2563 OUC projects water demand on a five year basis to 2025 and at build-out in 2050. The analysis does not distinguish between City and non-City demand.
- Christine Doan, P.E., Orange County Utilities Engineering Division 407-254-9921, Christine.Doan@ocfl.net
- Orange County Annual Budget FY 2020/2021
- CPH Engineering, Allen Lane
- MetroPlan Cost Feasible Plan and Transportation Improvement Program

Objection 2: Transportation Level of Service

DEO has objected to the elimination of the transportation level of service standards for transportation facilities. As DEO has explained to City staff in teleconferences, even though Florida Statutes no longer requires transportation concurrency, transportation levels of service standards are to be retained for planning purposes. To address DEO's objection, staff recommends adopting Policy 2.6.3 as shown below. Policy 2.6.4 listed below was Policy 2.1.3 in the Transmittal package with the addition of noting a City second priority for Orange Avenue: landscaping. Moving it under Objective 2.6 was more appropriate than Objective 2.1.

- OBJECTIVE 2.6: Transportation planning shall be coordinated with the future land uses shown on the Future Land Use Map of this Plan, the MetroPlan Orlando (MPO) Long-range Transportation Plan (LRTP), FDOT 5-Year Transportation Plan, and plans of neighboring jurisdictions.
- Policy 2.6.1 The City shall review updates to the LRTP and FDOT 5-Year Transportation Plan for consistency with this element.
- Policy 2.6.2 The City shall review, for compatibility with this element, the transportation plans of neighboring municipalities as they are amended in the future.

Policy 2.6.3 The following level of service standards are adopted for planning purpose.

Roadway	Functional Classification	<u>Minimum</u>
		Standard
		LOS
Orange Ave. (at Holden) (SR 527)	Principal arterial urban	<u>E</u>
Orange Ave. (at one-way pair) (SR 527)	Principal arterial urban	<u>E</u>
Hansel Ave.(SR 527)	Principal arterial urban	<u>E</u>
Gatlin Ave.	<u>Urban collector</u>	<u>E</u>
Holden Ave.	Minor arterial urban	<u>E</u>

Policy 2.6.4 The City will continue to cooperate coordinate with the FDOT and Orange County to ensure optimal transportation flow on SR 527, with the primary focus being the realignment of Holden Avenue with Gatlin Avenue. The second focus will be construction of a landscaped median within the Orange Avenue right-of-way. The City shall work toward amending the Metropolitan Planning Organization Long Range Transportation Plan, Project Priority List, and the FDOT 5-year Plan to advance these projects.

Comment 1: Inclusion of the Water Supply Facilities Work Plan (Work Plan)

DEO recommends that the City/St. Johns River Water Management District coordinated Work Plan update be adopted as part of the comprehensive plan by either referencing the document in a policy or replacing the Work Plan currently in the data and analysis portion of the City's 2013 comprehensive plan. City Council voted to not include the revised Work Plan in the transmittal package.

The updated Work Plan is provided in this package for City Council's consideration for adoption. If Council chooses to incorporate the revised Work Plan into the adopted portion of the plan, the following policies will need to be added, and the Work Plan will become "Appendix A".

Conservation Element:

Policy 5.2.5 The City shall maintain a Water Supply Facilities Work Plan and adopt it as an Appendix to the Conservation Element.

Intergovernmental Coordination Element:

Policy 7.3.3 The City shall maintain and implement the Water Supply Facilities Work Plan (WSFWP) per the adopted Appendix A to the Conservation Element. In accordance with Section 167.3177(6)(c), Florida Statutes, the WSFWP shall be updated as necessary subsequent to the St. Johns River Water Management District's (SJRWMD's) update of Central Florida Water Initiative (CFWI) Regional Water Supply Plan (RWSP). has developed a tenyear water supply work plan that addresses current and projected water needs and sources. The City shall coordinate with all applicable local, state, and federal agencies regarding the work plan. In addition, the City will update the work plan within 18 months of any update to the regional water supply plan.

Staff is recommending approval of this option. These policies are included in the proposed adoption ordinance.

If Council chooses to include the revised Work Plan into the data collection and analysis portion of the plan, the action would be to replace the 2013 "Ten Year Water Supply Facilities Work Plan" with the revision, and the above policies removed from the ordinance.

The Work Plan is attached below.

City of Edgewood 2021-2030 Water Supply Facilities Work Plan

Section 1: Introduction

The St. Johns River Water Management District's (SJRWMD's) Central Florida Water Initiative (CFWI) Regional Water Supply Plan (RWSP) identifies the City of Edgewood (City) as being within a Water Resource Caution Area. Therefore, in accordance with Section 167.3177(6)(c), Florida Statutes (F.S.), the City is required to adopt and maintain a water supply facilities work plan, and update the comprehensive plan, as necessary, to implement the work plan and associated water supply-related legislative requirements.

Water supply facilities work plans, in accordance with Section 163.3177(6)(c), F.S., are required to address at least a 10-year planning period and identify a local government's program to implement traditional and alternative water supply projects, and reuse and water conservation practices/projects necessary to meet existing and future water demands. In addition, in accordance with Section 163.3177(6)(h), F.S., the City must ensure coordination of its water supply facilities work plan and comprehensive plan with SJRWMD's CFWI RWSP.

SJRWMD updates the CFWI RWSP at least every five years, in accordance with Chapter 373, F.S. Subsequently, when the CFWI RWSP is updated, and it affects the City, it may be necessary for the City to update its water supply facilities work plan prior to the end of its 10-year planning period.

Section 2: Water supplier(s) and service agreement(s)

The City does not provide potable or non-potable water service or sanitary sewer service. Nor does the City own or maintain a potable water or wastewater system. The City's municipal limit is located entirely within the Orlando Utilities Commission (OUC) potable water service area. OUC is a municipal utility owned by the City of Orlando and its potable water service area includes the cities or Orlando, Edgewood, Belle Isle and large portions of unincorporated Orange County.

For wastewater, the majority of the City is within Orange County's wastewater service area. The City's northernmost area is within Orlando's wastewater service area; however, the closest trunk line is $\pm 6/10$ mile north of the city limits on East Pineloch Avenue. This portion of the City is currently developed and served by onsite sewage disposal systems (septic tanks). No change in wastewater disposal for this north area is expected within the planning period.

Residential and non-residential potable water users within the City of Edgewood purchase retail water directly from the OUC. This is enabled through a territorial agreement.

Section 3: Potable Water Demand, Sources, and Supply

The City relies on OUC to ensure that adequate water supply and facility capacity are available to meet the needs of existing and future customers within the City of Edgewood. Because OUC is owned by the City of Orlando, the City of Orlando's water supply facilities work plan must address OUC's program to implement water supply projects, reuse and water conservation necessary to meet water demands within OUC's entire service area. Therefore, the City should monitor and participate, as necessary, in OUC's and Orlando's water supply planning processes to ensure that they account for the City's current

and future water needs. Intergovernmental Coordination Element Policy 7.3.5 contains enabling language for this participation and coordination.

OUC Consumptive Use Permit (CUP)

OUC has a CUP [#3159] from SJRWMD that authorizes the use of (allocation) 39,868.4 million gallons per year (109.22 million gallons per day [mgd]) of ground water from the Floridan aquifer to serve a projected population of 522,848 people in 2023 with water for household, commercial/industrial, irrigation, and water utility type uses. However, in accordance with CUP permit conditions related to implementation of certain projects (e.g., Project RENEW), OUC's allocation has been reduced to 100.1 mgd.

OUC's current CUP expires in October 2023. In September 2020, OUC submitted a CUP renewal application to SJRWMD, which is currently under review. OUC's CUP renewal application requested approval of the same use/allocation amount as its existing CUP (i.e., 109.22 mgd). It is anticipated that SJRWMD will issue OUC a new CUP before October 2023, although the allocation amount has not yet been determined.

City of Orlando Water Supply Facilities Work Plan

The City of Orlando's water supply facilities work plan was last updated in 2017. The figure below is from the 2017 work plan and contains OUC's 'forecasted total water supply needs and sources.' The figure below indicates that groundwater sources totaling 109.2 mgd will be needed through 2030.

Figure 7. Forecasted Total Water Needs and Sources	1	-	or Availab	ole Supply			
Orlando Utilities Commission (OUC)	(MGD, AA	DF)					
	2015						
Supply or Demand Component	Baseline	2020	2025	2030			
OUC Potable Water Demand - Total Service Area (+)	82.4	94.6	102.4	108.6			
OUC Reclaimed Water Demand - Total Service Area (2)	11.6	13.7	15.6	16.7			
Total Water Demand - Total Service Area 94.0 108.3 118.0 125.3							
Total Water Demand - in City of Orlando ⁽³⁾	55-5	63.9	69.6	73-9			
Groundwater Supply Available (+)	105.0	109.2	109.2	109.2			
Reclaimed Water Supply (City/County w/o golf courses) ⁽⁵⁾	20.9	20.7	20.5	21.9			
Surface Water Supply Available (SJR/TCR Project)	0.0	0.0	0.0	5.0			
Water Conservation Rebates (Demand Reduction Amount)	0.5	1.0	1.5	2.0			
Total Supply Available	126.4	130.9	131.2	138.1			
11 7 1	32.4	22.6	13.2	12.8			
 Projections taken from Table A-1 of 2015 Final CFWI RWSP, Volum year rainfall. Projections based on a 1-in-10 year rainfall, which increases 							
(2) Based on reclaimed water demands for OUC service area per Car							
2016 without golf courses and adding in County estimated demands							
sumed there will be a maximum demand of 3 mgd for OUC custome	ers served b	y Orange Co	unty utilities.				
(3) Assumes 59% of OUC demand is in City of Orlando based on the p	proportion o	of City popul	ation to total	OUC population			
in 2015.							
(4) Groundwater supply available is assumed to be limited by permit							
CUP expires in 2023. Allocation for 2025 and 2030 is assumed to ren	nain the sam	ne as the allo	cation at the	end of the pe			
mit duration.							
(5) Reclaimed water supply available to OUC includes a maximum of	_						
projections for Iron Bridge, CI, and CII with non-OUC demands, golf	courses, and	d minimum v	wetlands flow	and CII RIB fl			
subtracted. (Table provided by OUC 2016)							

The City of Orlando is currently updating its water supply facilities work plan to address the 2020 CFWI RWSP, including the respective water demand projections and potential project options that OUC could implement during the planning period to help meet its services area's water demand.

The 2020 CFWI RWSP water demand projections for OUC's service area are below.

	2020	2025	2030	2035	2040
OUC Service Area population	464,686	495,812	523,056	551,690	566,613
OUC water demand	86.90 mgd	92.72 mgd	97.82 mgd	103.17 mgd	105.89 mgd

The 2020 CFWI RWSP potential project options involving OUC are below.

- OUC Irrigation Conservation Phase 2
- Project RENEW
- OUC Southeast Water Treatment Plan Lower Floridan Wellfield
- St. Johns River / Taylor Creek Reservoir
- St. Johns River Near Yankee Lake Option 2

The City of Edgewood's population is approximately 3,000, and is expected to increase about 4.0% for each 5 year planning period increment as a result of the development of a new single family subdivision and redevelopment of commercial to multi-family units. Correspondingly, the water demand within the City is also expected to increase during the planning period. Overall, though, the City's population will remain a very small percentage of OUC's customer demand.

The 2020 CFWI RWSP indicates that the water demand for OUC's service area will be 97.82 mgd in 2030, which is below the current CUP allocation of 100.1 mgd. However, once OUC receives a new CUP and the City of Orlando completes its own updated water supply facility work plan, the City of Edgewood should update this section of its water supply facilities work plan to be consistent with the new CUP and work plan and to document that: 1) OUC has adequate water supply for the planning period, and 2) the project options OUC plans to implement from the CFWI RWSP.

Section 4: Water supply concurrency and level of service standards

The City is ultimately responsible for authorizing development within its municipal limits. However, because the City relies on OUC for water service, its concurrency management system and level of service (LOS) standards should include coordination and consistency with OUC and City of Orlando. Policies 4.11.1, 4.11.2, 7.3.1, 7.3.2, and 8.3.1 and contain enabling language for such coordination.

Section 5: Water Conservation

Water conservation is important to reduce water demand and ensure the sustainability of water supply sources utilized by the City. The City currently implements many water conservation practices, including some that are enabled by comprehensive plan policies. In addition, because the City relies on OUC for water service, its water conservation practices should be coordinated with OUC. The City's water conservation practices include the following:

- Participating in water conservation activities with OUC and SJRWMD (Objectives 7.3 and 5.2);
- Including water conservations measures in development regulations (Objective 4.12, Policy 4.12.1);

- Requiring or encouraging installation of water saving or low-volume plumbing fixtures (Policies 4.12.1, 5.2.3, and 5.2.7);
- Utilizing water reuse or reclamation, when available and appropriate, for irrigation and other non-potable applications (Policies 4.12.1 and 5.2.8);
- Requiring or encouraging development to use water efficient, natural and/or drought resistant plants and landscaping (Policies 4.12.1, 5.2.2, and 5.2.7);
- Supporting water conservation by participating in county, state and federal programs (Policy 4.12.2);
- Assisting SJRWMD during emergency water shortage declarations (Policy 5.2.4)
- Encouraging water conservation regulations that encourage use of low impact development techniques (Policy 5.2.6); and,
- Encouraging or participating in water conservation educational activities, such as observing water conservation month, and newsletters (Policy 5.2.9).

END

Comment 2: Update the Future Land Use Data and Analysis

While it is evident that the proposed future land use policy amendments are being adopted to meet the goals of 1) eliminating uses that are inconsistent with the vision for the City by modfiying land use and the development pattern along Orange Avenue, 2) discouraging urban sprawl, and 3) economic development by strengthening and diversifying the community's economy, DEO is encouraging the City to update the information and projections within the data and analysis presented in the 2013 Future Land Use Element to support the proposed amendments. This would be a major project for which the City currently has no budget for. A line item for this project should be considered in next year's budget to update the City's comprehensive plan.

Comment 3: Inclusion of a Property Rights Element

Pursuant to Section 136.3177(6)(i), F.S., local governments are required to adopt a Property Rights Element in its comprehensive plan by the earlier of the date of its adoption of its next proposed plan amendment that is initiated after July 1, 2021, but no later than the date of the next scheduled evaluation and appraisal of the comprehensive plan (April 2025) for the City of Edgewood). The City Attorney recommends this element be incorporated with this amendment cycle as presented below.

Property Rights Element

Goal and Policy

GOAL 9: The City shall respect judicially acknowledged and constitutionally protected private property rights.

Policy 9.1: The City shall consider the following property rights in decision making.

- A. Property owners shall have the right to physically possess and control his or her interests in the property, including easements, leases, or mineral rights;
- B. Property owners shall have the right to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances;
- C. Property owners shall have the right to privacy and to exclude others from the property to protect the owner's possessions and property; and,
- <u>D.</u> Property owners shall have the right to dispose of his or her property through sale or gift.

Comment 4: Inclusion of two planning periods: a 5-year and 10 (or more)-year horizon

Similar to the response to Comment 2, this would be a major project for which the City currently has no budget for. A line item for this project should be considered in next year's budget to update the City's comprehensive plan, a plan that will cover the first 5 year period occurring after the plan's adoption and one covering at least a 10-year period.

ESH