



# CITY COUNCIL REGULAR MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Tuesday, March 15, 2022 at 6:30 PM

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## AGENDA

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**Welcome!** We are very glad you have joined us for today's Council meeting. If you are not on the agenda, please complete an appearance form and hand it to the City Clerk. When you are recognized, state your name and address. The Council is pleased to hear relevant comments; however, a **five (5) minute limit** has been set by Council. Large groups are asked to name a spokesperson. **Robert's Rules of Order** guide the conduct of the meeting. **Please silence all cellular phones and pagers during the meeting.** Thank you for participating in your City Government.

**A. CALL TO ORDER**

**B. INVOCATION & PLEDGE OF ALLEGIANCE**

**C. ROLL CALL & DETERMINATION OF QUORUM**

**D. ORGANIZATIONAL MEETING**

1. Election Report
2. Administer Oath of Office - Mayor John Dowless & Councilmember Richard A. Horn
3. Election of Council President and Council President Pro Tem
- [4.](#) Designation of Council Assignments
- [5.](#) Review and appointment of consultants per City Charter

**E. PRESENTATION OF PROCLAMATION**

- [1.](#) American Red Cross Month

**F. APPROVAL OF MINUTES**

- [1.](#) February 15, 2022 Draft Meeting Minutes

**G. ORDINANCES**

**H. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)**

**I. UNFINISHED BUSINESS**

**J. NEW BUSINESS**

**K. GENERAL INFORMATION**

**L. CITIZEN COMMENTS**

Randall Knives Property Lincoln Properties Proposal

**M. BOARDS & COMMITTEES**

[1.](#) Mecato's Bakery and Café- Site Plan Review

**N. STAFF REPORTS**

City Attorney Smith

Police Chief Freeburg

[1.](#) Chief Freeburg February 2022 Report

Officer Adam Lafan CAP

Interim City Clerk Riffle

**O. MAYOR AND CITY COUNCIL REPORTS**

Mayor Dowless

Council Member Chotas

Council Member Pierce

Council Member Rader

Council Member Lomas

Council President Horn

**P. ADJOURNMENT**

**UPCOMING MEETINGS**

Monday, April 11, 2022..... April Planning & Zoning Meeting

Tuesday, April 19, 2022.....April City Council Meeting

**Meeting Records Request**

You are welcome to attend and express your opinion. Please be advised that **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made.



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**Americans with Disabilities Act**

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In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



# Memo

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas Lomas, Pierce, and Rader

**From:** Sandy Riffle, Interim City Clerk

**Date:** March 4, 2022

**Re:** 2022 Council Assignments

## 1. Council Assignments

The Code provides the following:

Section 3.12.- Areas of responsibility.  
 Upon the start of a new council session, the council president shall designate areas of responsibility (not already under the jurisdiction of the mayor) to be assigned to individual council members. Each council member shall assume responsibility for the assigned area and execute his/her other responsibilities within the broad guidelines established by the council. The council members shall render reports regarding other areas during a regular or special meeting of the council.

The areas of responsibility are the following:

Finance
Code Compliance HAINC Liaison Cypress Grove Liaison
Public Works
Police Department* City Hall* Contract Staff*
Pursuant to Section 4.04 of the <i>City Charter</i> , the mayor has jurisdiction over the police department, city hall, and contract staff.

The Code does not provide the duties associated with Councilmembers' Charter designated responsibility. Historically, Council members serve as City liaisons when contacting various agencies and elected officials to aid the City in projects and other types of assistance that may be needed.

The Councilmember who accepts the assignment for finance will be needed to sign checks every other week and sometimes in-between if needed. Please note that all Councilmembers need to have check signing ability.

The following assignments were made in the March 16, 2021, Council meeting.

Finance and Budget	Councilmember Ben Pierce
Code Enforcement	Councilmember Lee Chotas
HAINC Liaison Cypress Grove Liaison	Council President Richard Alan Horn
Land Development/Master Plan	Councilmember Chris Rader
Public Works	Councilmember Susan Lomas
MetroPlan	Mayor John Dowless
Police Department* City Hall* Contract Staff*	Mayor John Dowless

*Pursuant to Section 4.04 of the City Charter, the mayor has jurisdiction over the police department, city hall, and contract staff.*

**2. State Board of Administration – Florida PRIME Account**

The State Board of Administration (SBA) requires an update of the Local Government Investment Pool (LGIP) Participant Account Maintenance (PAM) form, which pertains to the three Florida Prime accounts. These accounts accrue a small amount of interest each month.

The update will include:

- All persons authorized to transmit/withdraw funds from the three SBA Florida Prime accounts, and;
- Councilmembers and/or staff who have LGIP website privilege, but without the ability to conduct business (view only), and;
- Persons authorized to notify the SBA of changes in account information.

As the Council President and Finance assignments are designated, the PAM form will be updated in kind to reflect the new designees. During the organizational meeting, I will gather the signatures from Mayor so that the form may be notarized and returned to Florida Prime.

The State Board of Administration – SBA  
Local Government Investment Pool – LGIP  
Account Maintenance Form - PAM



# Memo

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas Lomas, Pierce, and Rader

**From:** Sandy Riffle, Interim City Clerk

**Date:** March 8, 2022

**Re:** Review of City Contracts

The Charter, Section 411- Consultants, provides that a review of the following contracts is required:

Consultants for the city shall be appointed by the mayor subject to the confirmation by the council and shall serve at the pleasure of city council. All consultants shall be appointed on an annual basis. Consultants shall include but not be limited to the following:

A. *Legal.* Legal consultants shall be an attorney (or firm) who shall provide legal advice to the council, represent the city in legal cases and provide legal services for the city as required.

SERVICE	CONSULTANT/FIRM	FEES/CONTRACT AMOUNT	TERMS	2021/2022 BUDGET
Legal – City Attorney	Drew Smith, Shepard, Smith, Kohlmeyer & Hand, P.A.	\$175 hourly Exclusive of costs (court costs, filing fees, taxes, recording fees, etc.)	Serves at the pleasure of Council; Notice to terminate not required by City; however, SSK&H will give 30-days’ notice to terminate.	\$65,000  (Unchanged from 2020/21 budget)
Legal – Code Enforcement Special Magistrate	Jennifer Nix, Garganese, Weiss, D’Agresta & Salzman	\$150.00 hourly	Serves at the pleasure of Council; however, GWD&S will provide not less than 30 days’ notice to terminate.	\$3,000  (Unchanged from 2020/21 budget)

B. Engineering. The engineering consultant (or firm) shall provide such engineering services that the council shall request.

SERVICE	CONSULTANT/FIRM	FEES/CONTRACT AMOUNT	TERMS	2021/2022 BUDGET
Engineering	David Mahler, P.E., Allen Lane, P.E., and Jim Winter, RLA (Primary Engineers) CPH Engineering	Maximum hourly rate is \$150.00, exclusive of costs.	3-year contract 9/7/2015 with 2-year automatic renewal. In 2018, Council agreed to allow to automatically renew. City can terminate w/o cause with 30-day written notice.	\$40,000  (2020/21 budget was \$35,000)

C. Accountant. An accountant (or firm) shall be retained for annual audits and other related work as deemed necessary by the council.

SERVICE	CONSULTANT/FIRM	FEES/CONTRACT AMOUNT	TERMS	2021/2022 BUDGET
Accounting (prepare monthly FS and accounting staff Lindsey Rock handles the City's AR/AP) and prepares the monthly financial statements. Lindsey also assists with annual audits (additional fees for this service)	Lindsey Rock Tammy Campbell McDirmot-Davis	\$2600 monthly Additional services Billed: Partner \$285 Manager \$175 Bookkeeper \$85.00 (Lindsey)	Letter of engagement	\$32,250  (unchanged from 2020/21budget)

SERVICE	CONSULTANT/FIRM	FEES/CONTRACT AMOUNT	TERMS	2021/2022 BUDGET
Audit Services	Yvonne Clayborne, Carr, Riggs & Ingram CPAs and Advisors (CRI)	Per Letter of Engagement: 2020 audit \$25,500 Other costs built in, i.e. Local Highway Finance Report, information for the City Clerk	Letter of engagement 2021. Is extended by mutual agreement	\$26,010  (2020/21 budget was \$25,000)

D. *Other.* As the circumstances require, the council may retain consultant services from a recognized authority or firm.

SERVICE	CONSULTANT/FIRM	FEES/CONTRACT AMOUNT	TERMS	2021/2022 BUDGET
City Planner	Ellen Hardgrove, AICP	\$125 hourly  (Hourly amount has remained the same)	By mutual agreement.	\$55,000  (2020/21 budget was \$45,000)

**SUMMARY:**

Overall, city staff continues to have good relations with all consultants and appreciate the assistance that is provided to staff in maintaining and meeting the expectations of the day-to-day operations of our respective departments.



# PROCLAMATION

## AMERICAN RED CROSS MONTH, March 2022

In times of crisis, people in Orange County come together to care for one another. This humanitarian spirit is part of the foundation of our community and is exemplified by American Red Cross volunteers and donors.

In 1881, Clara Barton founded the American Red Cross, turning her steadfast dedication for helping others into a bold mission of preventing and alleviating people’s suffering. Today, more than 140 years later, we honor the kindness and generosity of Red Cross volunteers here in Orange County, who continue to carry out Clara’s lifesaving legacy. They join the millions of people across the United States who volunteer, give blood, donate financially, or learn vital life-saving skills through the Red Cross.

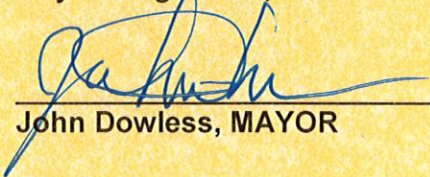
In Orange County, the contributions of local Red Cross volunteers give hope to those in their darkest hours — whether it’s providing emergency shelter, food, comfort and resources for families devastated by local disasters like home fires, supporting service members and veterans, along with their families and caregivers, through the unique challenges of military life; providing preparedness and safety education to our children, adults and organizations, thus strengthening our community’s resilience, helping to save the lives of others with first aid, CPR and other skills; or delivering international humanitarian aid.

Their work to prevent and alleviate human suffering is vital to strengthening our community’s resilience. We dedicate this month of March to all those who continue to advance the noble legacy of American Red Cross founder Clara Barton, who lived by her words, “You must never think of anything except the need, and how to meet it.” We ask others to join in this commitment to give back in our community.

**NOW, THEREFORE**, I, John Dowless, by virtue of the authority vested in me as Mayor of Edgewood, do hereby proclaim March 2022 as Red Cross Month. I encourage all citizens of Orange County to reach out and support its humanitarian mission.

**IN WITNESS WHEREOF**, I have hereunto set my hand this 14th day of March, in the year of our Lord two thousand twenty-two, and of the City of Edgewood, Florida.

City of Edgewood, Florida

  
\_\_\_\_\_  
John Dowless, MAYOR

ATTEST:

  
\_\_\_\_\_  
Sandra Riffle, Interim City Clerk





**City Council Meeting Draft Minutes  
February 15, 2022 at 6:30 pm**

**CALL TO ORDER - INVOCATION & PLEDGE OF ALLEGIANCE**

Council President Horn called the meeting to order at 6:30 pm. He asked for a moment of silence followed by the pledge of allegiance

**ROLL CALL & DETERMINATION OF QUORUM**

Interim City Clerk Riffle announced there was a quorum.

**Attendees**

- John Dowless, Mayor
- Richard Alan Horn, Council President
- Ben Pierce, Council President Pro-Tem
- Lee Chotas, Council Member
- Susan Lomas, Council Member
- Chris Rader, Council Member

**Staff**

- Sandra Riffle, Interim City Clerk
- John Freeburg, Police Chief
- Shannon Patterson, Police Dept. Chief of Staff
- Stacey Salemi, Code Compliance Officer
- Don Hughey, Police Officer
- City Attorney, Drew Smith
- Ellen Hardgrove, AICP City Planner

**PRESENTATIONS**

Chief Freeburg gave a presentation to Officer Don Hughey for his retirement. Officer Hughey said he enjoyed serving the City of Edgewood and will miss the Edgewood family. Mayor Dowless and City Council thanked him for his service.

**APPROVAL OF MINUTES**

1. January 18, 2022 City Council Meeting Minutes  
Councilmember Chotas made a motion to approve the January 18, 2022 meeting minutes as presented. The motion was seconded by Councilmember Lomas. Approved (5/0).

**CONSENT AGENDA**

None

**ORDINANCES**

None



**PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)**

None

**UNFINISHED BUSINESS**

None

**NEW BUSINESS**

**1. 2022-03 1st Quarter Budget Amendment**

Resolution 2022-03 - A RESOLUTION OF THE CITY OF EDGEWOOD, FLORIDA AMENDING THE CITY'S BUDGET FOR THE 2021/2022 FISCAL YEAR; AUTHORIZING THE MAYOR AND/OR HIS DESIGNEE TO TAKE ALL ACTIONS NECESSARY TO IMPLEMENT THE TERMS AND CONDITIONS OF THIS RESOLUTION; PROVIDING FOR AN EFFECTIVE DATE.

Interim City Clerk Riffle explained this as a housekeeping item to account for first-quarter revenues and expenses not included in the budget.

Exhibit A featured new funds received from ARPA, and expenditures made for a pump replacement and to The Balmoral Group. Exhibit B was an update to the budget showing expenditures of \$ 43,663.00 from fire rescue impact fee restricted reserves for radio purchases.

There was no public comment.

*Councilmember Pierce made a motion to approve Resolution 2022-03. The motion was seconded by Councilmember Rader. Approved (5/0).*

The motion was approved by roll call vote.

Councilmember Pierce	Favor
Councilmember Chotas	Favor
Councilmember Rader	Favor
Councilmember Lomas	Favor
Council President Horn	Favor

**2. Discussion Item: Code Section 110-2(g) Impact Fee Payment Exemptions**

Attorney Smith said staff is seeking direction from Council related to impact fee payment exemptions. The need for clarification arose by a property owner who wants to tear down a house and rebuild.

Code Section 110-2(g) allows for an exemption if a building is rebuilt after an unwillful demolition. Another exemption is for an addition to an existing residential structure, provided the addition does not increase the number of dwelling units in the building. The

Code, however, does not define what constitutes an expansion or a threshold as to how much can be demolished and reconstructed, and what often happens is the applicant leaves one wall up and builds around it to avoid the impact fee payments.

Attorney Smith said Planner Hardgrove’s and his recommendation is a common sense approach: treat a willful and unwillful demolition the same provided the numbers of units and impact is unchanged. The impact is the same.

In response to Council President Horn, Attorney Smith said an impact fee is to account for the impact of new development. He added that if a building is torn down and rebuilt, the impact fee would have already been paid except in the cases of some older properties that were not required to pay impact fees.

Councilmember Chotas said he supported amendments to the impact fee regulation as follows:

- Section 2 - “The construction of accessory buildings or structures which will not increase the traffic counts associated with the principal building or structure (or the land)”. He said it should be rewritten to reflect an exemption for the construction of an additional building if it does not change the entire use and impact.
- Section 3 - He suggested deleting the proviso on Section 3 “provided that the destruction of the building or structure occurred other than by willful razing or demolition,” which seems to be inconsistent with the City’s determination to exempt those that have paid the fees prior to the implementation of impact fees by virtue of having prepaid impact fees with property taxes.
- Section 4 – He suggested adding “or increases traffic counts.”

Further discussion ensued relating to impact fees for rebuilding structures.

Attorney Smith asked Council if they are comfortable with Planner Hardgrove’s conveying that a single-family house rebuild is exempt from new impact fees and that leaving one original wall is not necessary. There was no objection from Council.

**GENERAL INFORMATION**

None

**CITIZEN COMMENTS**

Edgewood resident Mark Chapkis spoke in opposition to the proposed realignment of Orange- Holden-Gatlin Avenue. He said the proposed realignment would hurt the area's desirability because the residential roads will become thoroughfares and bring more traffic.

Mayor Dowless said that cut-through traffic on Gatlin Avenue results from traffic jams on the main thoroughfare as people attempt to avoid the intersection. He offered to show Mr. Chapkis the study and the proposed solutions.

Councilmember Rader said the intersection is failing and that it will continue to get worse, and the reality is that there will be more trips through the intersection. Mayor Dowless added that the intersection is already failing.

Councilmember Chotas noted that the widening of Holden Avenue is the County’s decision.

**BOARDS & COMMITTEES**

Special Exception 2021-SE-01 was pulled from the agenda because the applicant terminated the application.

**STAFF REPORTS**

**City Attorney Smith**

No report

**Police Chief Freeburg**

1. January 2022 Report

- Chief Freeburg said that the Police Department completed their mock assessment for accreditation, and they are ready for the onsite accreditation.
- The Federal Government changed how crimes are reported, and they now have *The Annual Crime Report*, which is compiled by sending reports to them via the State of Florida. The City’s current report system does not have what is needed. A new report writing system will cost about \$20,000 plus \$25,000 for data migration. The Police Department received a \$26,000 grant from FDLE, including approximately \$40,000 of free licensing. This is an approximate savings of approximately \$10,000.
- The Police Department and City Hall are pleased with the new NOVO system which helps track assets and equipment with their maintenance and depreciation schedules.
- He spoke with The Balmoral Group about accessing ARPA money.

In response to Councilmember Chotas, Chief Freeburg confirmed there are restrictions on using ARPA funds. The money can be used for budget shortfalls such as salaries and stormwater improvements. While the restrictions have lessened, it is still very restrictive.

**Interim City Clerk Riffle**

No report

**MAYOR AND CITY COUNCIL REPORTS**

**Mayor Dowless**

1. He is moving some tasks temporarily from City Hall to the Police Department during the City Clerk’s transition period. Interim City Clerk Riffle is still training Administrative Assistant Brett Sollazzo and interviewing people for a part-time administrative position. In addition, there is a lot of redevelopment coming in.

- 2. He is organizing an ad-hoc committee for ARPA funding. The committee now includes Mayor Dowless, engineers, a resident, Chief Freeburg, and the City consultants. Councilmember Rader said if there are no contractual issues, using CPH and getting a concept should be reimbursable. Mayor Dowless said he wants to get the committee together soon.
- 3. Orange County asked the City to submit the transportation sales tax but Mayor Dowless wants the County to work with us on the realignment or it will not do any good for the City.
- 4. On March 1, 2022 from 6 to 7 pm, Orange County will host a meeting on the Orange Avenue realignment at Oak Ridge High School. Mayor Dowless said this is a big opportunity for Edgewood to attend, and he strongly encouraged Council to go to the meeting.

**Council President Horn**

Council President Horn said that he liked the new electronic agenda format with hyperlinks.

**Councilmember Chotas**

No report

**Councilmember Pierce**

No report

**Councilmember Rader**

No report

**Councilmember Lomas**

No report

**ADJOURNMENT**

*Councilmember Rader made a motion to adjourn the meeting at 7:27 pm. The motion was seconded by Council President Horn.*

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Richard A. Horn  
Council President

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Sandra Riffle  
Interim City Clerk

*Approved in the \_\_\_\_\_ Council meeting.*



**Memo**

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas Lomas, Pierce, and Rader

**From:** Sandy Riffle, Interim City Clerk

**Date:** March 7, 2022

**Re:** Mecato’s Café and Bakery – Waiver Request and Commercial Review

The Planning and Zoning Board met on February 14, 2022, to consider a commercial site plan review and a waiver for a Mecato’s Bakery and Café to be located at 5645 Hansel Avenue.

The following motions were made by the Planning and Zoning Board:

- Mecato's Bakery and Café- Waiver Request Section 134-471(2)e**  
*Chair Kreidt made a motion to recommend denial of the waiver request for the interruption of the wall, consistent with Edgewood Central District guidelines. The motion was seconded by Board Member Nelson. The motion was approved (3/1).*

Discussion, after the motion was made, included the following:

Board Member Santurri said that he thought that the same goal could be accomplished by not extending the length of the wall over part of the parking lot, while also offsetting expenses and providing more environmental-friendly greenery.

Board Member Nelson said the 2-foot section between vehicles’ front bumpers and the proposed wall will have low-quality landscaping, even if it is groundcover. The front bumpers will come up to the wall with the expense of the landscaping and irrigation. He said they could put in pine straw or mulch between the wheel stops and the wall because you will not see it.

Board Member Gragg said he thought it would be unreasonable to require groundcover in that location.

Board Member Nelson agreed and commented that it would be a logical way to offset some of the cost.

The motion to deny the waiver request was approved by roll call vote.

Board Member Gragg	Favor
Board Member Nelson	Favor
Chair Kreidt	Favor
Board Member Santurri	Opposed
Board Member Gibson	Absent

**2. Mecato's Bakery and Café- Site Plan Review**

*Chair Kreidt made a motion to recommend approval of a Waiver of Code Section 134 474(c)(4)(a) to allow parking in front of the imaginary line extending from the front building façade; seconded by Vice-Chair Santurri. The motion was approved (4/0).*

The motion was approved by roll call vote.

Chair Kreidt	Favor
Board Member Santurri	Favor
Board Member Gragg	Favor
Board Member Nelson	Favor
Board Member Gibson	Absent

**For the March 15, 2022 Planning and Zoning Board meeting, the following is provided in your agenda packet for your review and consideration.**

**1. Mecato’s Bakery and Café - 5645 Hansel Avenue**

**Waiver Request**

- Waiver request for code Section 134-471(2)e to waive the required street wall to screen the parking from the road along Hoffner Avenue. *Note: There is no staff report for this waiver request. It will be discussed during the site plan review.*

A legal advertisement was placed in the Orlando Sentinel on Thursday, February 3, 2022. to advertise the requested waiver, as required by City Code.

**2. Mecato’s Bakery and Café - 5645 Hansel Avenue**

**Commercial Review**

- Application Pages dated 9/14/2021
- Combined staff report from City Planner Ellen Hardgrove, City Engineer Allen Lane, and City Landscape Architect Jim Winter dated 3/7/2022
- Construction Plans dated 2/27/2022 and 3/1/2022.
- Additional documents including landscape plans, elevation drawings, lighting details, boundary survey, trip generation calculation, sight triangle analysis, and fire truck access plan.

The City Planner and CPH Engineer and Landscape Architect are prepared to respond to any questions you may have regarding the commercial site plan. The applicant/representative for Mecato’s Bakery and Café will also be in attendance.

March 02, 2022

Sandra Riffle, CMC, CBTO  
Interim City Clerk  
City of Edgewood  
405 Bagshaw Way  
Edgewood FL 32809

Dear City Clerk Riffle:

After contemplation of the discussion surrounding the Mecato's Bakery and Café Waiver Request Section 134-471(2)e at the Planning & Zoning meeting of February 14<sup>th</sup>, 2022, I would like to rescind my vote of 'Favor'. Having joined the Planning & Zoning board at the latter stage of the creation of the Edgewood Central District (ECD), I feel strongly that the original P&Z recommendation of having the wall along Hansel turn and front only the first couple of spaces on the Hoffner frontage complies with the design intent of the ECD.

That being the case, I would like it stated for the record I wish to change my vote to 'Opposed' to the denial of the waiver request.

Please disseminate this information to City Council on my behalf.

Thank you.



David C. Gragg  
Planning & Zoning Board Member  
5540 Jessamine Lane  
Edgewood FL 32839



Date: March 7, 2022  
 To: City Council  
 From: Ellen Hardgrove, City Planning Consultant  
 Allen Lane, CPH Engineering, City Engineering Consultant  
 Jim Winter, CPH Engineering, City Landscape Architect Consultant  
 XC: Sandy Riffle, Interim City Clerk  
 Brett Sollazzo, Administrative Assistant  
 Drew Smith, City Attorney  
 Re: Mecatos Bakery and Café Site Plan/Waiver Application

**Agenda Item Description**

This agenda item is for approval consideration of the site plan package for the Mecatos Bakery and Café that was submitted electronically to the City on February 28, 2022. The package includes the following

- Construction Documents Revision dated Received March 1, 2022
- Architect Elevation Drawing dated Received February 27, 2022
- Landscape Site Plan dated Received February 27, 2022
- Photometrics dated Received February 27, 2022
- Decorative Light Detail: Pendant Holophane GBLF3 and Washington WFCL2 dated Received February 27, 2022
- Boundary Survey with Trees dated Received February 27, 2022

**General Information**

The proposal is for the 0.917-acre parcel located at the northeast corner of Hansel and Hoffner Avenues, within the ECD. The proposal is an expansion of an existing 1,443 square feet building to 2412.5 square feet and a retrofit of the site to meet most of the ECD site design standards. Waivers to some of the ECD standards and a variance were approved by City Council January 18, 2022 as listed below.

Subject	Code Section	Conditions of approval if any
Architecture Design	Waiver of Code Section 134-469(1)f, which requires a three-dimensional cornice, at least 2.5 feet in height, along all flat or parapet roof portions.	The design is to be generally consistent with the building illustration presented at the Council hearing



	Waiver of Code Section 134-469 (1)c.4 to allow the required building’s vertical change to not be hung between 13-15 feet above the grade.	
Parking Location	Waiver of Code Section 134-474(c)(4)(a) which requires parking to be behind the imaginary line extended from the front building façade.	
Hansel Avenue Buffer	Waiver of Code Section 134-471(2)e, which requires the street wall to be located at the build line (Hansel).	The location is to be generally in conformance with the site plan presented at the hearing.
	Waiver of Code Section 134-474(c)(4)a, which requires the street wall to be placed two feet from the drive aisle and not within the required buffer width.	
Hoffner Avenue People Space	Waiver of Code Sections 134-471(1)a and 134-471(2)i. to eliminate the Road View requirements on the Hoffner Avenue side of the building.	
Trees	Waiver of Code Section 134-468(h)(2), which would require Highrise Oaks with 5” caliper along the Hansel and Hoffner Avenues frontage.	The replacement trees shall be a minimum caliper of 3 inches
	Waiver of Code Section 134-471(2)h, which requires the width of landscape islands in parking lots to be a minimum of fifteen (15) feet in width in order to provide a sustainable space for trees.	Approve the reduction in island width for that at the western end of the parking along the northern property line Approve the reduction of island width for that at the eastern end of the parking along the southern property line conditioned on replacing the required parking island tree with a ground cover that would grow to and be maintained at two (2) feet in height to ensure driver sight visibility.
Drive Up Window	Waiver of Code Section 134-472(b), which requires drive-up windows to be on the building’s rear side.	Landscaping to be provided in general conformance with the landscape plan submitted by the applicant at the hearing.
Lighting	Waiver of Code Section 134-470(f), which requires a minimum foot candle of 2.0 where pedestrians will be present.	Approve conditioned on providing a minimum of 1.0 foot candle
	Waiver of Code Section 134-470(f)), which requires lighting fixtures to be decorative, at a maximum height of 16 feet, and located at least 15 feet from trees.	Only applies to the existing fixture located along the Hoffner frontage, and one along the east property line

Fences	Waiver of Code Section 134-470(c)(3), which limits height of fences anywhere in the ECD to a maximum of 48 inches.	Approval of a 7 feet high fence as shown on the site plan presented at the hearing conditioned on construction of the wall if the former Brickwood Drive is incorporated into the property
Cross Access	Variance in Code Section 134-142 to eliminate the requirement for a cross access easement.	

**Pending Waiver**

One of the requested waivers was denied, without prejudice, at the Council’s January public hearings: a request for a waiver from Section 134-471(2)e to replace the required street wall with landscaping in front of the parking facing the Hoffner Avenue right-of-way. The applicant has resubmitted the request with additional information, which was presented at the Planning and Zoning Board meeting February 14, 2022. Significant discussion ensued related landscaping vs. a street wall. The action by the Planning and Zoning board was denial of the waiver. The site plan in the Council package shows the wall, but the request is still being made.

**Planning and Zoning Board (P&Z) Recommendation**

Other than the denial of the requested waiver, P&Z recommended approval of the site plan conditioned on a number of minor changes that needed to be made prior to Council’s review.

**Staff Recommendation**

The revised site plans have been submitted to the City. Most of the necessary changes have been made. Changes to the landscape plan still need to be made, but since there is still a pending waiver request related to landscaping, those changes have yet to be made. Action on the pending waiver needs to be taken prior to site plan consideration.

**Suggested Motion**

Approval of the Mecatos Site Plan Package as follows,

- Construction Documents Revision dated Received March 1, 2022;
- Architect Elevation Drawing dated Received February 27, 2022;
- Landscape Site Plan dated Received February 27, 2022;
- Photometrics dated Received February 27, 2022;
- Decorative Light Detail: Pendant Holophane GBLF3 and Washington WFCL2 dated Received February 27, 2022; and,
- Boundary Survey with Trees dated Received February 27, 2022;

with the following condition: The landscape plan is resubmitted to correspond with Council’s waiver decision.

If the waiver is denied,

- 1) The submitted Landscape Plan shall be modified to include four (4) understory trees, evenly spaced, in front of the parking spaces west of the stairs shown as connecting to the sidewalk along Hoffner Avenue.

- 2) The submitted Landscape Plan shall be modified to include four (4) understory trees, evenly spaced, in front of the parking spaces between the stairs shown as connecting to the sidewalk along Hoffner Avenue and the Hoffner Avenue driveway. Adjustment in spacing near the existing light pole can be made with the approval of the City’s Landscape Architect.
- 3) The understory tree trunks shall be either 3” in caliper or multi-stemmed of at least three (3) stems each 1 inch caliper of the same variety.
- 4) The groundcover that will be used between the wall and the sidewalk along Hoffner Avenue needs to be identified by name and spacing and added to the plant table.
- 5) Identify the material that will be used between the wall and the parking spaces facing Hoffner Avenue, e.g., mulch or decorative gravel over weed fabric.
- 6) Provide the clear trunk measurement that will be maintained on the trees along Hoffner within the illustrated sight lines.
- 7) Replace the Bird of Paradise plants with a shrub that will not exceed the maximum height needed to maintain the driver sight distance.
- 8) Remove the note on the plan: “Hoffner Av. Tree Requirement – 1 Tree...”

If the waiver is approved,  
Resubmit a Landscape Plan which meets the minimum requirements of Code Chapter 114 as it relates to the vehicular use area adjacent to a public right-of-way to the satisfaction of the City’s Landscape Architect.



Orange County Division of Building Safety  
201 South Rosalind Avenue  
Reply To: Post Office Box 2687 • Orlando, Florida 32802-2687  
Phone: 407-836-5550  
www.ocfl.net/building

09 / 13 / 2021  
Date  
Building Permit Number

### APPLICATION FOR BUILDING/LAND USE PERMIT\*

\* All Applications Must Comply with Concurrency Requirements

**WARNING TO OWNER: "YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

**PLEASE PRINT:**

The undersigned hereby applies for a permit to make building improvements as indicated below on property.

Project Address: 5645 Hansel Ave.  
(Must match address on plans)

Suite/Unit #: \_\_\_\_\_ Bldg #: \_\_\_\_\_ City: Edgewood Zip Code: 32809

Subdivision Name: \_\_\_\_\_

Parcel ID Number: Section \_\_\_\_ Township \_\_\_\_ Range \_\_\_\_ Subdivision \_\_\_\_ Block \_\_\_\_ Lot \_\_\_\_  
(15 Digit Parcel ID Number & Legal Description must be on plans)

Owner Name: CNBM Investments/Nelson Lerma Phone No.: ( 352 ) 262 - 8955

Owner Address: 1073 Campbell Street City: Orlando State: FL Zip Code: 32806

Tenant Name: BEMI Investments Phone No.: ( 352 ) 262 - 8955

Nature of Business: Cafe/Bakery

Architect Name: Rabits & Romano License No.: AR99846 Phone No.: ( 407 ) 490 - 350

Civil Engineer Name: Harris Civil Eng. License No.: 9814 Phone No.: ( 407 ) 629 - 4777

Nature of Proposed Improvements: site improvement/ expansion

Demolition Permit #: \_\_\_\_\_ Site Work Permit #: \_\_\_\_\_

PROPERTY ON  SEWER or  SEPTIC

Permit valuation greater than \$2500 requires a notarized Page 2, and Notice of Commencement prior to the first inspection.

Is Notice of Commencement Recorded?  Yes  No

If there were comments on this project, how would you like to receive them?

Pick them up  E-Mail (Customer shall access Web Page)

Is proposed work in response to a Notice of Code Violation written by an Orange County Inspector?  Yes  No

Is proposed work in response to an unsafe abatement notice?  Yes  No

Has project had a pre-review?  Yes  No If Yes, Commercial Plans Examiner(s): \_\_\_\_\_

Is building fire sprinklered?  Yes  No

Detached Garage?  Yes  No Valuation for Detached Garage Only: \$0.00

Required work:  Plumbing  Electrical  Mechanical  Gas  Roofing  None

**Alterations Only:**

Is this a new tenant?  Yes  No If yes, state previous use: \_\_\_\_\_

Intended use of space: \_\_\_\_\_

List use of adjoining tenant space(s): Side: \_\_\_\_\_ Above: \_\_\_\_\_

Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Below: \_\_\_\_\_

Total Job Valuation: \$ 400,000 .

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Division of Building Safety Regulations and County Ordinances regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable Orange County and/or State of Florida codes and/or ordinances. I hereby certify that the above is true and correct to the best of my knowledge.

PLEASE PRINT: (Check one) Owner:  Contractor:

Name of License Holder/Agent: David Santiago Zuleta/Qualis Concrete

Contractor License Number (if applicable): CGC1530041

Contact Phone Number: ( 813 ) 376 6305 E-Mail Address: Santiagoz@qualisconcrete.com

Authorized Signature: \_\_\_\_\_

Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.

Permit Number



### Permit Application Information - Page Two

Permit Number \_\_\_\_\_

Owner's Name CNBM Investments/Nelson Lerma

Owner's Address 1073 Campbell Street

Fee Simple Titleholder's Name (If other than owner's) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner's) \_\_\_\_\_

City Orlando State FL Zip Code 32806

Contractor's Name David Santiago Zuleta

Contractor's Address 275 Lakay Place

City Longwood State FL Zip Code 32779

Job Name Mecatons Bakery & Cafe

Job Address 5645 Hansel Ave. SUITE/UNIT \_\_\_\_\_

City Edgewood State FL Zip Code 32809

Bonding Company Name \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Architect/Engineer's Name Rabits & Romano Architecture/Harris Civil Engineers

Architect/Engineer's Address 5127 S. Orange Ave, Suite 110, Orlando/1200 Hillcrest St.

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, GAS, MECHANICAL, ROOFING, SIGNS, POOLS, ETC.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning. \_\_\_\_\_

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. A Notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement.

Owner Signature *Nelson Lerma*

The foregoing instrument was acknowledged before me this 9/14/21 by Nelson Lerma who is personally known to me and who produced FL DL as identification and who did not take an oath.

Contractor Signature *David Santiago Zuleta*

The foregoing instrument was acknowledged before me this 9/14/21 by Zuleta David Santiago who is personally known to me and who produced FL DL as identification and who did not take an oath.

Notary as to Owner *Pamela Wolffgramm*

Commission No. HH 112252

State of FL. County of Orange

My Commission expires: 03-31-2025

Notary as to Contractor *Ingrid Cruz*

Commission No. GG 982771

State of FL. County of Orange

My Commission expires: APRIL 28, 2024

(SEAL)

(SEAL)



Para más información en español, por favor llame al Departamento de Building Safety al número 407-836-5550.



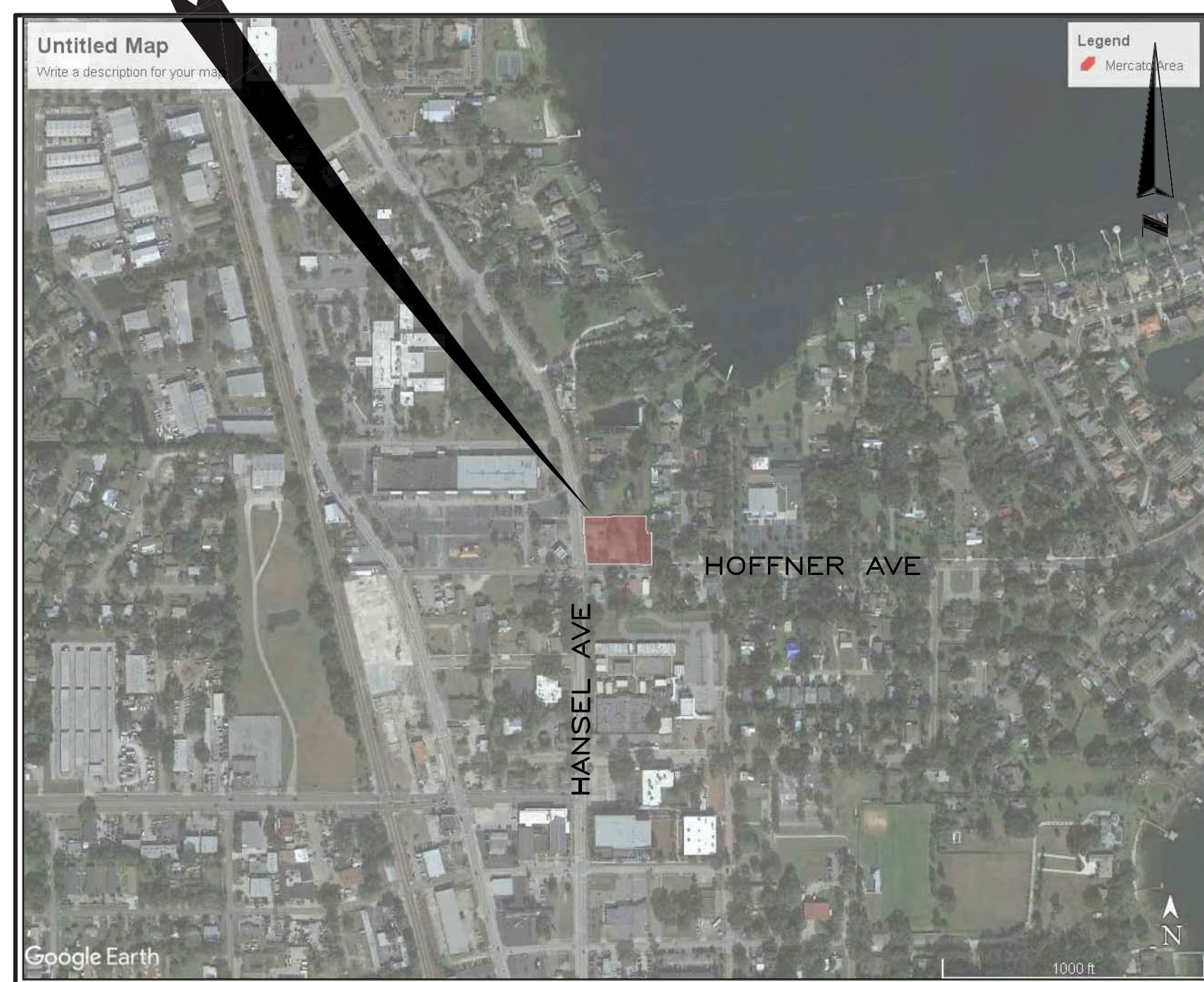
# MECATOS BAKERY & CAFE

**RECEIVED**  
**3/1/2022**  
**CITY OF EDGEWOOD**

5645 HANSEL AVE  
EDGEWOOD, FL 32809

## CONSTRUCTION DOCUMENTS

PROJECT  
SITE



**LOCATION MAP**  
N.T.S

### INDEX OF SHEETS

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-002 EXISTING CONDITIONS
- C-003 DEMOLITION AND EROSION CONTROL PLAN
- C-100 SITE AND GEOMETRY PLAN
- C-101 SITE COORDINATION WITH FDOT (HANSEL)
- C-200 GRADING AND DRAINAGE PLAN
- C-300 UTILITY PLAN
- C-400 DETAILS
- C-401 DETAILS
- C-402 LIFT STATION DETAIL
- L-101 LANDSCAPE SITE PLAN
- LI-101 IRRIGATION SITE PLAN
- L-501 LANDSCAPE DETAILS AND SPECIFICATIONS
- LI-501 IRRIGATION DETAILS AND SPECIFICATIONS

### PREPARED BY

**CIVIL ENGINEER**  
HARRIS CIVIL ENGINEERS, LLC.  
1200 HILLCREST STREET, SUITE 200  
ORLANDO, FL 32803  
OFFICE: 407.629.4777

**LANDSCAPE ARCHITECT**  
DALE & COMPANY  
651 N. MILLS AVENUE  
ORLANDO, FL 32803  
OFFICE: 407.894.1317

ENGINEER OF RECORD: DAVID TAYLOR, P.E.  
LICENSE NUMBER: 60928

HCE PROJECT NUMBER: 7391000  
DATE: OCTOBER 25, 2021  
REVISION 1: DECEMBER 20, 2021  
REVISION 2: JANUARY 27, 2022  
REVISION 3: FEBRUARY 18, 2022  
REVISION 4: MARCH 1, 2022

### SITE DATA TABLE:

PARCEL ACREAGE:	0.917 ACRES	
PARCEL:	24-23-29-3400-00-014	
PROPOSED USES:	FAST FOOD WITH DRIVE THRU	
ZONING:	EDGEWOOD CENTRAL DISTRICT (ECD)	
TRIP GENERATION:	PROPOSED FAST-FOOD RESTAURANT WITH DRIVE-THROUGH = 1315 TRIPS	EXISTING FAST-FOOD RESTAURANT WITHOUT DRIVE-THROUGH = 760 TRIPS
PROPOSED BUILDING AREA:	2,412.5 SF	
PROPOSED EXTERNAL SEATING:	930 SF	
ALLOWABLE BUILDING EXPANSION:	MAX 1,000 SF	PROPOSED 969.5 SF
PARKING:	MINIMUM REQUIRED: PER CITY CODE : 1 SPACE PER 100 SF GFA + 1 SPACE PER 200 SF EXTERNAL SEATING (INCLUSIVE OF HANDICAP ACCESSIBLE)	29 REGULAR
	PROVIDED:	27 REGULAR 2 COMPACT 2 HANDICAP ACCESSIBLE 31 TOTAL SPACES PROVIDED
BUILDING SETBACKS:	ECD REQUIRED	PROPOSED
BUILD-TO-LINE (W):	25' (BUILD LINE)	62'* (BLDG)
*NOTE: 62' FRONT SETBACK IS ALLOWED PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDING		
BUILDING SETBACKS:		PROPOSED
REAR (E):	20' (BLDG) MIN.	128' (BLDG)
SIDE (N):	0' (BLDG) MIN.	62' (BLDG)
SIDE (S):	25' (BLDG) TO BUILD LINE	65' (BLDG)
LOT WIDTH:	MIN. 100'	ACTUAL 146' AT HANSEL 241 AT HOFFNER
BUILDING TO LOT WIDTH RATIO:	MIN(50%) 120.5'	PROPOSED 50'*
*NOTE: PER CODE SECTION 134-474(c) EXPANSION OF EXISTING BUILDINGS, THE MINIMUM LOT TO BUILDING RATIO IS NOT REQUIRED SINCE BUILDING EXPANDS TOWARD SR 527.		
FLOOR AREA RATIO:	ALLOWABLE 1.0 FAR	PROPOSED 0.0604 FAR

AREA CALCULATIONS	PRE-DEVELOPMENT	POST DEVELOPMENT
WEST BASIN TOTAL	15,466 (SF)	15,370 (SF)
TOTAL IMPERVIOUS	12,064 (SF)	11,842 (SF)
BUILDING	658 (SF)	2,412.5 (SF)
PAVEMENT	11,407 (SF)	9,429.5 (SF)
TOTAL OPEN SPACE PERVIOUS (SF) =	3,401 (SF)	3,528 (SF)
TOTAL PAVERS PERVIOUS (SF) =	0 (SF)	0 (SF)*
EAST BASIN TOTAL	24,472 (SF)	24,575 (SF)
TOTAL IMPERVIOUS	10,431 (SF)	10,019 (SF)
BUILDING	785 (SF)	0 (SF)
PAVEMENT	9,646 (SF)	10,019 (SF)
TOTAL OPEN SPACE PERVIOUS (SF) =	14,041 (SF)	9,501 (SF)
TOTAL PAVERS PERVIOUS (SF) =	0 (SF)	5,055 (SF)*

\*NOTE: PAVERS AREA IS 100% PERVIOUS. THE PAVERS PLUS THE GRAVEL VOIDS BELOW HAVE A VOLUME GREATER THAN THE EXISTING VEGETATED AREAS AND AN INITIAL ABSTRACTION THAT IS GREATER THAN THE EXISTING VEGETATED AREAS.  
ALTHOUGH THE PAVER SYSTEM IS 100% PERVIOUS, THE VOLUME USED FOR ATTENUATION IS ONLY THE VOID SPACE AVAILABLE WHICH IS 25% OF THE GRAVEL DEPTH.

5645 HANSEL AVE, EDGEWOOD, FL  
C/O NELSON LERMA, JR  
1073 CAMPBELL ST  
Orlando, Florida  
32806

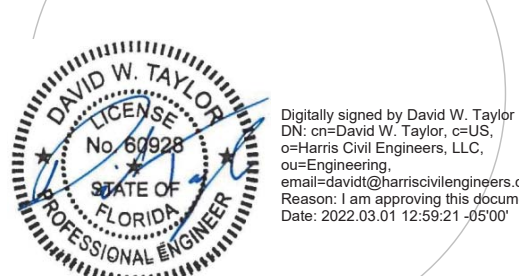
No.	Date	Description
1	12-12-20	REVISION PER CITY COMMENTS
2	12-01-21	REVISION PER CITY COMMENTS
3	12-02-21	REVISION PER CITY COMMENTS
4	12-03-21	REVISION PER CITY COMMENTS

### Revisions:

### COVER SHEET

Scale: N.T.S.  
Date: 2021-10-25  
Project No: 7391000  
Design: DWT  
Drawn: AJT  
Checked: DWT

This item has been digitally signed and sealed by David Taylor, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



David W. Taylor, PE  
FL PE # 60928

Release:

C-000

Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka Sunshine State One Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark underground facilities.



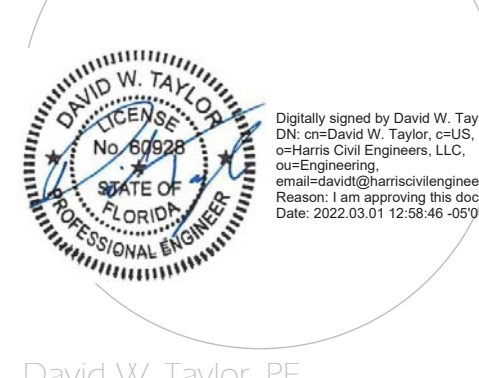


5645 HANSEL AVE, EDGEWOOD, FL C/O NELSON LERMA, JR 1073 CAMPBELL ST Orlando, Florida 32806

Table with 5 columns: No., Date, Description, Revision per City Comments, Revision per City Comments.

Revisions: Scale: NTS, Deaign: DWT, Drawn: A-JT, Checked: DWT, Date: 2021-10-25, Project No.: 7599000

This item has been digitally signed and sealed by David Taylor, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



David W. Taylor, PE F.P.E.# 60928

Release:

C-001

BEEN INSTALLED AND AS-BUILT PROVIDED AND ACCEPTED BY ENGINEER AND CITY.

- 21. ON-SITE WASTEWATER COLLECTION SHALL BE PRIVATELY OWNED AND MAINTAINED. 22. ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED. 23. ON-SITE MANHOLE COVER WILL NOT HAVE "ORANGE COUNTY" ON COVERS.

24. THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION IN ACCORDANCE WITH THE FDEP WATER PERMIT, AND RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY, ENGINEER OF RECORD, AND FDEP, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE FDEP WATER AND SEWER PERMITS FROM THE PROJECT MANAGER AND MAINTAIN THEM ON THE JOB SITE AT ALL TIMES.

AS-BUILT SUBMITTAL

THE CONTRACTOR SHALL SUBMIT SIX SETS OF PLANS AND AN AUTOCAD FILE ON A CD OF THE AS-BUILT DRAWINGS PREPARED BY A REGISTERED SURVEYOR TO HCE FOR REVIEW. THE AS-BUILT DRAWINGS SHALL CONTAIN THE FOLLOWING INFORMATION:

WATER LINES

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR TOP OF ALL THE PROPOSED WATER MAINS, LATERALS AND APPURTENANCES, I.E. TIE-IN POINT, BENDS, TEES, VALVES & BOXES, FIRE HYDRANTS, METERS, BACKFLOW UNITS, STUBS, ETC.

SANITARY SEWER

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLE RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES.

STORM DRAINAGE

THE AS-BUILT PLANS SHALL SHOW COORDINATES AND ELEVATIONS FOR ALL MANHOLES, INLETS, CATCH BASINS, RIMS AND PIPE INVERTS, CLEANOUTS AND INVERTS, WYES AND LATERALS WITH TOP OF PIPE ELEVATIONS PLUS PIPE SIZES, LENGTHS AND MATERIAL TYPES.

EXISTING UTILITIES

WHEN EXISTING UTILITIES ARE CROSSED OR ENCOUNTERED THE TYPE OF CROSSING SHALL BE NOTED ALONG WITH THE LOCATION, TYPE, SIZE, MATERIAL AND ELEVATION. THE AS-BUILT DATA FOR ALL EXISTING UTILITIES ENCOUNTERED SHALL MEET THE WATER LINE, SANITARY SEWER AND STORM SEWER REQUIREMENTS NOTED ABOVE.

HARRIS CIVIL ENGINEERS, LLC. (HCE) WILL REVIEW THE AS-BUILT DRAWINGS FOR COMPLIANCE WITH THE PLANS AND GOVERNMENTAL PERMITS AND ISSUE COMMENTS TO THE CONTRACTOR.

UPON HCE REVIEW(S) AND COMPLETION OF ANY COMMENTS AND CORRECTIVE WORK, HCE WILL ADVISE THE CONTRACTOR ON THE NUMBER OF SIGNED AND SEALED AS-BUILT DRAWINGS THAT ARE NEEDED FOR CERTIFICATION TO THE VARIOUS GOVERNMENTAL AGENCIES. ONCE SUBMITTED, CERTIFICATION AND ACCEPTANCE COULD TAKE FROM 30 TO 45 DAYS FOR EACH PERMIT.

PAVING AND GRADING NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS OR IN THE GEOTECHNICAL ENGINEERING REPORT. 2. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. 3. ALL AREAS WHICH ARE DISTURBED DURING CONSTRUCTION UNLESS OTHER WISE NOTED SHALL BE VEGETATED PER THE LANDSCAPE ARCHITECTS PLANS. 4. ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180), UNLESS OTHERWISE NOTED ON THE PLANS, IN THE SPECIFICATIONS OR THE GEOTECHNICAL REPORT. 5. RESERVED. 6. TWO (2) WORKING DAYS NOTICE WILL BE GIVEN TO THE PROJECT MANAGER PRIOR TO TESTING ANY PAVEMENT SHOWN ON THESE PLANS. 7. CONTRACTOR SHALL REFER TO THE CIVIL DRAWINGS FOR SITE DRAINS AND PAVEMENT SLOPES. 8. CONTRACTOR TO ENSURE THERE ARE NO FIELD DISCREPANCIES FOUND WHEN MATCHING EXISTING PAVEMENT ELEVATIONS TO THOSE STATED ON THE PLANS.

STANDARD SEWER AND WATER NOTES

- 1. THE CONTRACTOR MUST VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIFFERENCES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT IMMEDIATELY TO THE PROJECT MANAGERS/ENGINEER'S ATTENTION. 2. ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED. 3. A MINIMUM OF THREE (3) FEET OF COVER SHALL BE MAINTAINED OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER PIPING, UNLESS SHOWN OTHERWISE ON THE PLANS. 4. WHERE POTABLE WATER AND SANITARY UTILITIES (SANITARY SEWER, FORCE MAIN, REUSE WATER) CROSS, A MINIMUM OF EIGHTEEN (18) INCHES VERTICAL CLEARANCE SHALL BE MET. 5. ALL SANITARY SEWER MATERIALS AND APPURTENANCES CONNECTING TO THE ORANGE COUNTY PUBLIC UTILITY SYSTEM (OCU) SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE "MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION" FOR ORANGE COUNTY AND THE REQUIREMENTS OF OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. 6. ALL WATER MAIN MATERIALS AND APPURTENANCE CONNECTING TO THE ORLANDO UTILITY COMMISSION (OUC) SYSTEM SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH OUC STANDARDS FOR CONSTRUCTION AND THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. 7. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM AND OTHER PRESSURIZED PIPING IN ACCORDANCE WITH THE ORLANDO UTILITY COMMISSION STANDARDS AND IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE IRON PIPE. 8. PVC GRAVITY SEWER FOUR (4) INCH THROUGH (15) INCH SHALL BE SDR 26. JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. 9. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. 10. ALL WATER AND SEWER LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED. 11. ALL POTABLE WATER MAINS MUST BEAR THE "NSF" LOGO. 12. A TWO WORKING DAYS NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD, OCU INSPECTORS, OUC INSPECTORS, AND THE CITY OF EDGEWOOD INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS. 13. RESERVED. 14. WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH: A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650 WHICH IS INCORPORATED IN FL. STATE 90-96. B. THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW. C. TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR. 15. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE CONSTRUCTED, INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH OUC SPECIFICATIONS, PROJECT SPECIFICATIONS AND CITY REGULATIONS. 16. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. 17. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO AN CONSTRUCTION ACTIVITY FOR DIF PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. 18. THIS PROJECT REQUIRES AN FDEP SEWER CONSTRUCTION PERMIT. 19. THIS PROJECT DOES NOT REQUIRE REQUIRES AN FDEP DOMESTIC WATER CONSTRUCTION PERMIT. 20. CONTRACTOR TO COORDINATE EFFORTS AND TIMING SO THAT EXISTING POTABLE WATER AND SANITARY SEWER LINE REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED POTABLE WATER AND SANITARY LINES HAVE

EROSION PROTECTION NOTES

- A. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SOILS OFF THE SITE. B. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND IN GOOD CONDITION AT ALL LOCATIONS SHOWN ON THE PLANS AND AS REQUIRED UNTIL THE CONTRACT IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. C. THE EROSION CONTROL MEASURES SET FORTH IN THESE PLANS ARE INTENDED AS MINIMUM STANDARDS. D. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS, ORANGE COUNTY AND S.J.R.W.M.D. REQUIREMENTS. E. LIMITS OF ALL EROSION PREVENTION MUST BE STAKED BY CONTRACTOR AND THE LOCATION INSPECTED AND APPROVED BY THE PROJECT MANAGER PRIOR TO PLACEMENT OF EROSION CONTROL MEASURES AND ANY CLEARING OR CONSTRUCTION ACTIVITIES. F. MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS, WETLANDS, PROTECTED AREAS OR IN WATERWAYS. G. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. H. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING OR PRIVATE ROADS, AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. I. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. J. ALL REVEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH MATERIALS AND PROCEDURES AS SPECIFIED BY THE LANDSCAPE ARCHITECT. K. THE CONTRACTOR SHALL PREPARE A SCHEDULE OF DEWATERING FOR UTILITY ITEMS. L. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY MULCHING OR STABILIZATION FOR AREAS THAT HAVE BEEN CLEARED AND NOT REWORKED WITHIN SEVEN (7) CALENDAR DAYS DURING THE WET SEASON AND FOURTEEN (14) CALENDAR DAYS DURING THE DRY SEASON. M. ALL SURFACE WATER DISCHARGE FROM THE SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATER BODIES INCLUDING WETLANDS, LAKES AND STORM WATER PONDS. N. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. O. IN CONJUNCTION WITH STAKING AND PLACEMENT OF EROSION CONTROL MEASURES THE CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING AS INDICATED ON THE PLANS OR AS REQUIRED BY CONSTRUCTION. P. ALL DRAINAGE STRUCTURES, INLETS, ETC. MUST HAVE EROSION CONTROL MEASURES IN PLACE AND MAINTAINED UNTIL COMPLETION OF THE PROJECT. Q. SILT FENCE LOCATIONS SHOWN ON THE PLANS ARE A REPRESENTATION, AS A MINIMUM TO WHICH THE CONTRACTOR SHALL CONFORM TO, AND SHALL BE INSTALLED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE CITY OF EDGEWOOD AND SURMWD STANDARDS, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, OR ON THE PLANS.

DEMOLITION NOTES

- 1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE THEIR ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA AND THE PROJECT MANAGER. 2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS. 3. MINIMUM DEPTH FOR REMOVAL OF OBJECTS SHALL BE THREE (3) FEET BELOW SUB-GRADE IN ROADWAY AND SIDEWALK AREAS AND FOUR (4) FEET BELOW FINISHED GRADE ELSEWHERE. 4. ALL BUILDING REMOVAL AND DEMOLITION SHALL BE PERFORMED AS SHOWN OR AS DIRECTED BY THE ENGINEER AND/OR THE PROJECT MANAGER. 5. RELOCATION OR REMOVAL OF OVERHEAD OR UNDERGROUND UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY AND THE PROJECT MANAGER. 6. SEE LANDSCAPE DEMOLITION PLAN FOR ADDITIONAL REQUIREMENTS FOR PLANT MATERIALS AND IRRIGATION LINES. 7. CONTRACTOR TO COORDINATE EFFORTS AND TIMING SO THAT EXISTING UTILITIES REMAIN IN SERVICE UNTIL SUCH TIME AS THE PROPOSED UTILITIES HAVE BEEN INSTALLED, AS-BUILT PROVIDED AND ACCEPTED BY ENGINEER.

GEOMETRY NOTES

- 1. ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY THE OWNER, HARRIS CIVIL ENGINEERS, LLC, AND THE PROJECT MANAGER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS DATA. 2. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. 3. ALL PAVEMENT OFFSETS, RADII AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. 4. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. 5. THE CONTRACTOR SHALL MAINTAIN A SET OF IN PROGRESS "AS-BUILT" PLANS ON-SITE AND SUBMIT THESE PLANS ALONG WITH THE CERTIFIED AS-BUILT PLANS TO THE ENGINEER OF RECORD UPON COMPLETION.



Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka Sunshine State One Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark underground facilities.



RECEIVED

2/27/2022

CITY OF EDGEWOOD

5645 HANSEL AVE, EDGEWOOD, FL  
C/O NELSON LERMA, JR  
1073 CAMPBELL ST  
Orlando, Florida  
32806

No.	Date	Description
1	12-11-20	REVISION PER CITY COMMENTS
2	12-01-21	REVISION PER CITY COMMENTS
3	01-27-22	REVISION PER CITY COMMENTS
4	02-04-22	REVISION PER CITY COMMENTS
5	02-04-22	REVISION PER CITY COMMENTS
6	02-04-22	REVISION PER CITY COMMENTS
7	02-04-22	REVISION PER CITY COMMENTS
8	02-04-22	REVISION PER CITY COMMENTS

Revisions:

EXISTING CONDITIONS

Scale: N.T.S.  
Date: 2021-10-25  
Project No: 7391000

Release:

C-002

LEGAL DESCRIPTION - VESTING DEED;

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

LEGAL DESCRIPTION - TITLE COMMITMENT;

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Parcel 1:

A portion of Lot 1 of The Subdivision of the Harney Homestead, more particularly described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

TOGETHER WITH:

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

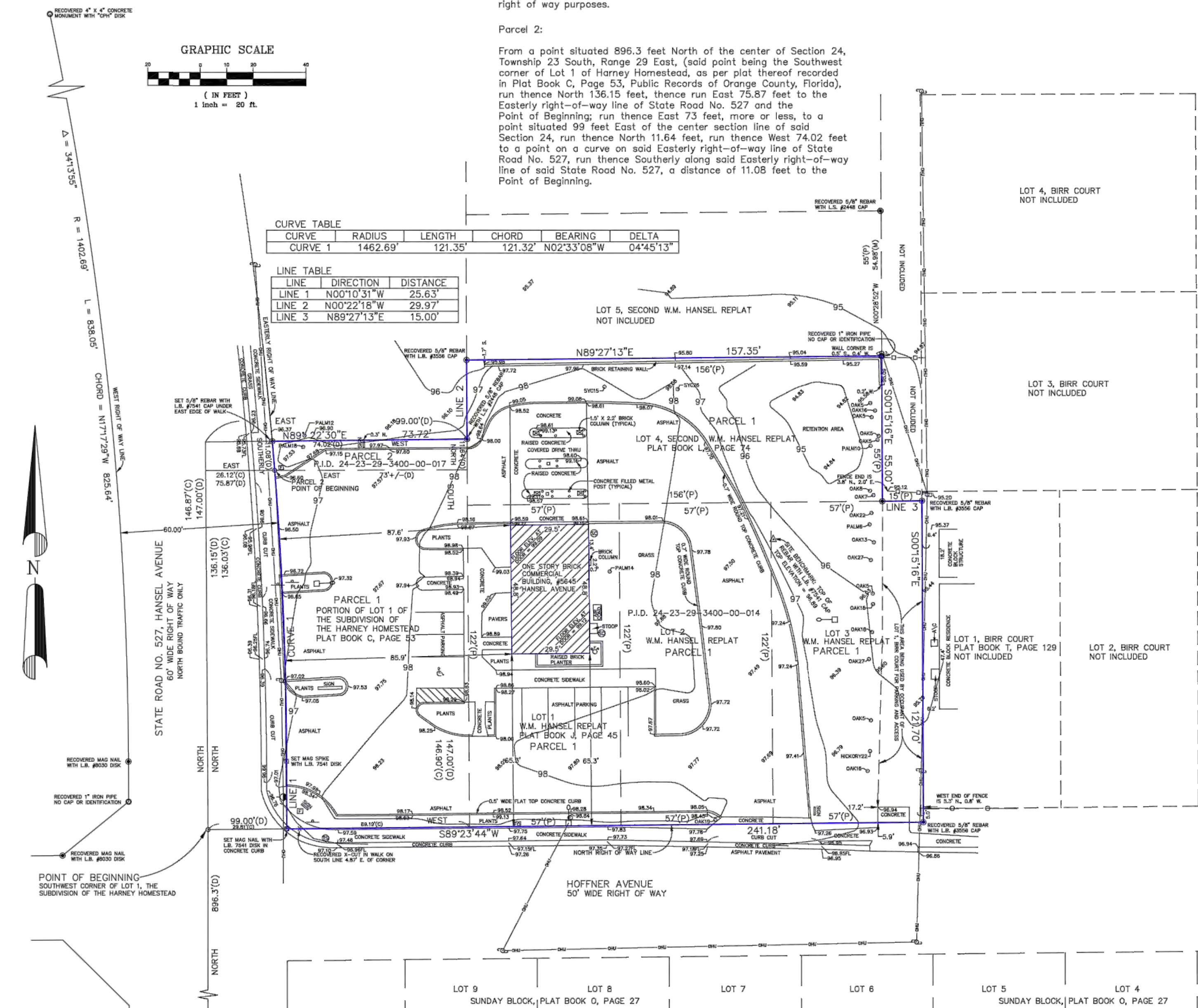
TOGETHER WITH:

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

Parcel 2:

From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.05 feet to the Point of Beginning.



SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF S89°27'13"E.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-9167324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN.

THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINIMAL FLOODING." SEE MAP NUMBER 1200500430 F, DATED 8-25-2008.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THE SUBJECT PROPERTY CONTAINS 39,941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS.

SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

TITLE COMMITMENT NOTES:

REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S NOTES, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS: EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS. HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRN COURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3. EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS. EXCEPTION 9: MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HARNEY HOMESTEAD, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 10: MATTERS SHOWN ON THE PLAT OF SECOND W.M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 11: MATTERS SHOWN ON THE PLAT OF SECOND W.M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY. EXCEPTION 12: DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565, THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON. EXCEPTION 13: THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

CONTIGUITY STATEMENT:

BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT: PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HIATUSES ALONG SUCH COMMON BOUNDARIES.

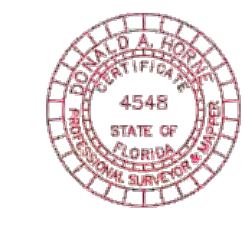
LEGAL DESCRIPTION STATEMENT:

THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION - TITLE COMMITMENT.

CERTIFIED SOLELY AND EXCLUSIVELY TO:  
WHITE & LUCZAK, P.A.  
FIRST AMERICAN TITLE INSURANCE COMPANY  
CNBM INVESTMENTS, LLC  
AXIOM BANK, N.A.

MAP LEGEND:

- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
- (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
- (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
- LB INDICATES LAND SURVEYING BUSINESS.
- LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
- ⊕ INDICATES A WOOD UTILITY POLE.
- ⊖ INDICATES A GUY WIRE ANCHOR.
- ⊙ INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
- ⊙ INDICATES A METAL SIGN ON A METAL POST.
- ⊙ INDICATES A PVC SANITARY CLEANOUT.
- ⊙ INDICATES A WATER BACK FLOW PREVENTER.
- ⊙ INDICATES A CONCRETE POLE OR SIGN FOOTER.
- ⊙ INDICATES A TRAFFIC SIGNAL JUNCTION BOX.
- ⊙ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
- ⊙ INDICATES A HANDICAP PARKING SPACE.
- ⊙ INDICATES AN ELECTRIC JUNCTION BOX.
- ⊙ INDICATES A FIBER OPTIC JUNCTION BOX.
- — — INDICATES A CHAIN LINK FENCE.
- — — INDICATES A WOOD PRIVACY FENCE.
- — — INDICATES OVERHEAD UTILITY LINE(S).
- ⊙ INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
- ⊙ INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- ⊙ INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
- ⊙ INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.
- ⊙ INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.
- ⊙ INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.



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 Revisions  
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Scale: N.T.S.  
 Date: 2021-10-25  
 Project No: 7391000

SCALE 1" = 20'  
 JOB # S242329B  
 SHEET 1 OF 1



**RECEIVED**  
**2/27/2022**  
**CITY OF EDGEWOOD**

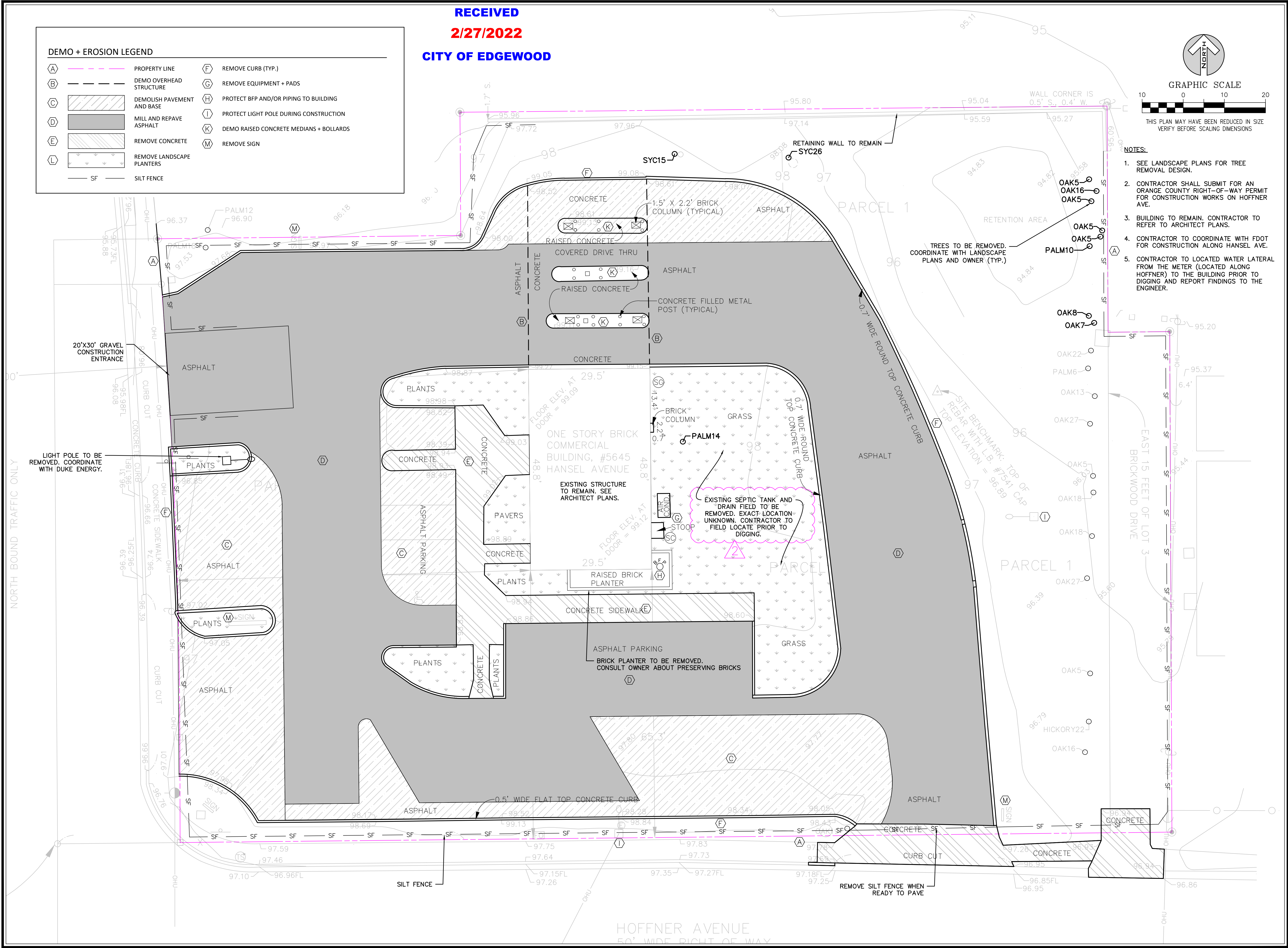
**DEMO + EROSION LEGEND**

(A) ---	PROPERTY LINE	(F) ---	REMOVE CURB (TYP.)
(B) ---	DEMO OVERHEAD STRUCTURE	(G) ---	REMOVE EQUIPMENT + PADS
(C) [Hatched]	DEMOLISH PAVEMENT AND BASE	(H) ---	PROTECT BFP AND/OR PIPING TO BUILDING
(D) [Solid Grey]	MILL AND REPAVE ASPHALT	(I) ---	PROTECT LIGHT POLE DURING CONSTRUCTION
(E) [Diagonal Lines]	REMOVE CONCRETE	(K) ---	DEMO RAISED CONCRETE MEDIANS + BOLLARDS
(L) [Dotted]	REMOVE LANDSCAPE PLANTERS	(M) ---	REMOVE SIGN
SF ---	SILT FENCE		

**GRAPHIC SCALE**

THIS PLAN MAY HAVE BEEN REDUCED IN SIZE  
 VERIFY BEFORE SCALING DIMENSIONS

- NOTES:**
- SEE LANDSCAPE PLANS FOR TREE REMOVAL DESIGN.
  - CONTRACTOR SHALL SUBMIT FOR AN ORANGE COUNTY RIGHT-OF-WAY PERMIT FOR CONSTRUCTION WORKS ON HOFFNER AVE.
  - BUILDING TO REMAIN. CONTRACTOR TO REFER TO ARCHITECT PLANS.
  - CONTRACTOR TO COORDINATE WITH FDOT FOR CONSTRUCTION ALONG HANSEL AVE.
  - CONTRACTOR TO LOCATED WATER LATERAL FROM THE METER (LOCATED ALONG HOFFNER) TO THE BUILDING PRIOR TO DIGGING AND REPORT FINDINGS TO THE ENGINEER.



**5645 HANSEL AVE, EDGEWOOD, FL**  
**C/O NELSON LERMA, JR**  
**1073 CAMPBELL ST**  
**Orlando, Florida**  
**32806**

**Revisions:**

No.	Date	Description
1	12-01-21	REVISION PER CITY COMMENTS
2	12-01-27	REVISION PER CITY COMMENTS
3	12-01-27	REVISION PER CITY COMMENTS
4	12-01-27	REVISION PER CITY COMMENTS
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6	12-01-27	REVISION PER CITY COMMENTS
7	12-01-27	REVISION PER CITY COMMENTS
8	12-01-27	REVISION PER CITY COMMENTS

**DEMOLITION AND EROSION CONTROL PLAN**

Scale: SEE SHEET  
 Date: 2021-10-25  
 Project No.: 7391000

Design: DWT  
 Drawn: AJT  
 Checked: DWT

David W. Taylor, PE  
 FL PE # 60928

**Release:**



**5645 HANSEL AVE, EDGEWOOD, FL**  
**C/O NELSON LERMA, JR**  
**1073 CAMPBELL ST**  
 Orlando, Florida  
 32806

**Revisions:**

No.	Date	Description
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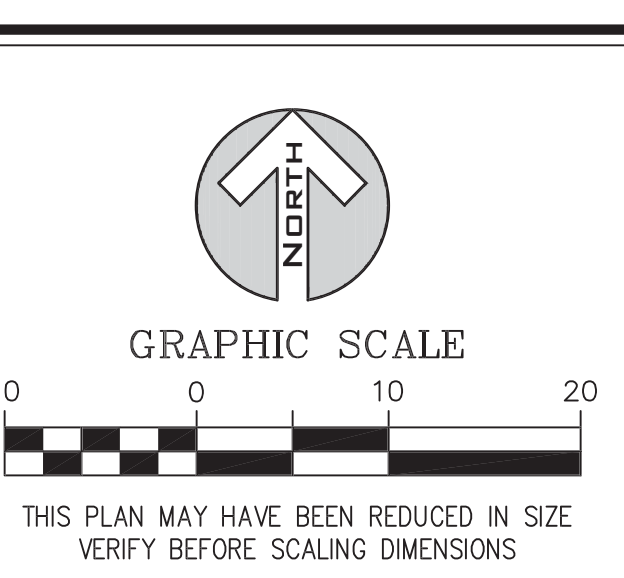
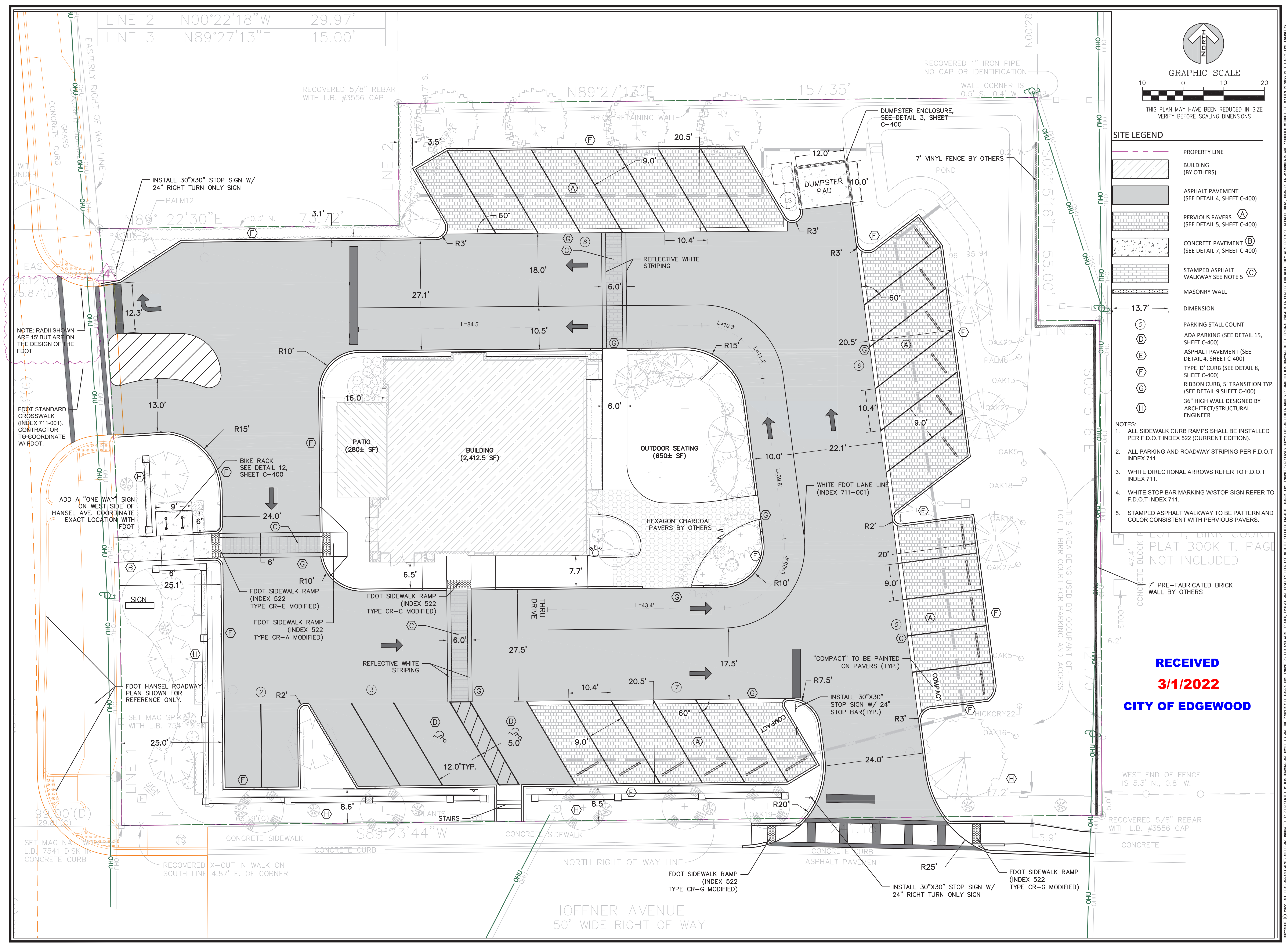
**SITE AND GEOMETRY PLAN**  
 Scale: SEE SHEET  
 Date: 2021-10-25  
 Project No: 7391000  
 Design: DWT  
 Drawn: CT  
 Checked: DWT

This item has been digitally signed and sealed by David Taylor, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by David W. Taylor  
 DN: cn=David W. Taylor, o=Harris Civil Engineers, LLC,  
 email=dtaylor@harrisengineers.com  
 Reason: I am approving this document  
 Date: 2022.03.01 12:59:05 -0500

David W. Taylor, PE  
 FI PE # 60928  
 Release:

**C-100**  
 Page 28



**SITE LEGEND**

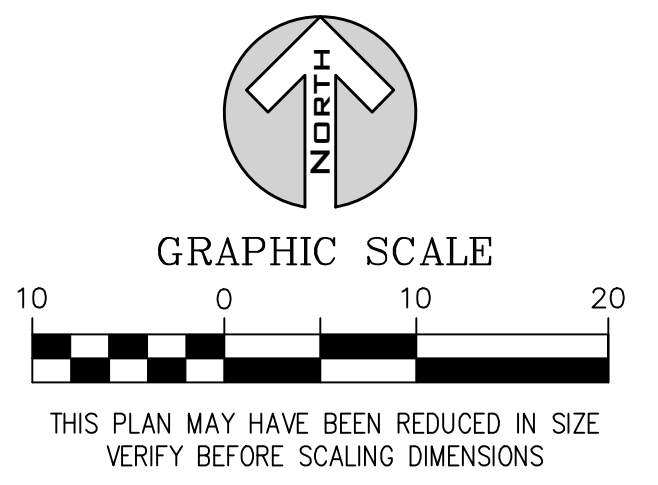
[Symbol]	PROPERTY LINE
[Symbol]	BUILDING (BY OTHERS)
[Symbol]	ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
[Symbol]	PERVIOUS PAVERS (SEE DETAIL 5, SHEET C-400)
[Symbol]	CONCRETE PAVEMENT (SEE DETAIL 7, SHEET C-400)
[Symbol]	STAMPED ASPHALT WALKWAY SEE NOTE 5
[Symbol]	MASONRY WALL
[Symbol]	DIMENSION
(5)	PARKING STALL COUNT
(D)	ADA PARKING (SEE DETAIL 15, SHEET C-400)
(E)	ASPHALT PAVEMENT (SEE DETAIL 4, SHEET C-400)
(F)	TYPE 'D' CURB (SEE DETAIL 8, SHEET C-400)
(G)	RIBBON CURB, 5' TRANSITION TYP (SEE DETAIL 9 SHEET C-400)
(H)	36" HIGH WALL DESIGNED BY ARCHITECT/STRUCTURAL ENGINEER

- NOTES:**
- ALL SIDEWALK CURB RAMPS SHALL BE INSTALLED PER F.D.O.T INDEX 522 (CURRENT EDITION).
  - ALL PARKING AND ROADWAY STRIPING PER F.D.O.T INDEX 711.
  - WHITE DIRECTIONAL ARROWS REFER TO F.D.O.T INDEX 711.
  - WHITE STOP BAR MARKING W/STOP SIGN REFER TO F.D.O.T INDEX 711.
  - STAMPED ASPHALT WALKWAY TO BE PATTERN AND COLOR CONSISTENT WITH PERVIOUS PAVERS.

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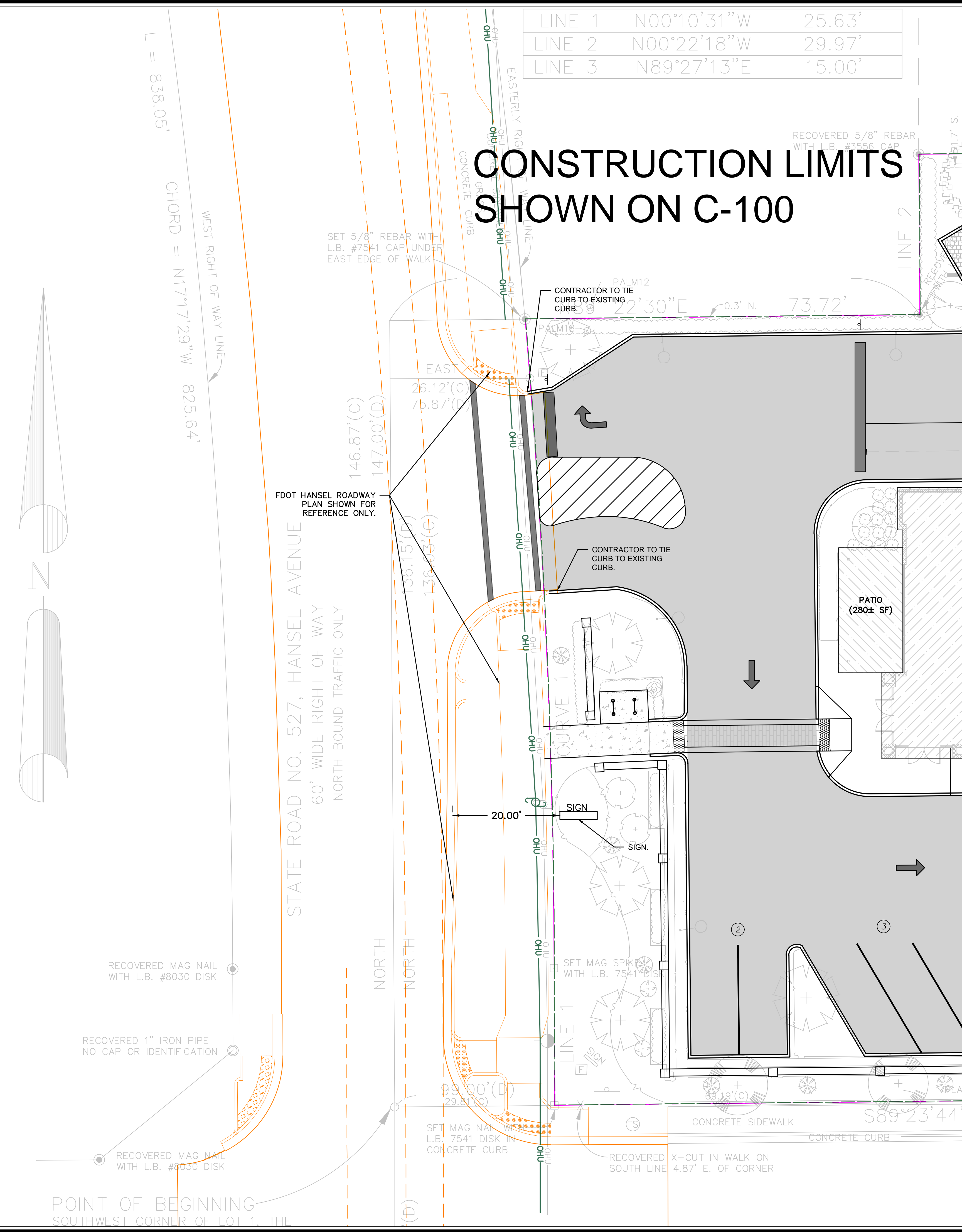
HOFFNER AVENUE  
 50' WIDE RIGHT OF WAY





LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'

# CONSTRUCTION LIMITS SHOWN ON C-100



- NOTES:**
1. FDOT PRELIMINARY LAYOUT SHOWN FOR REFERENCE. SITE CONTRACTOR TO COORDINATE CONSTRUCTION WITH FDOT PLANS AND CONTRACTOR.
  2. CONTRACTOR TO VERIFY/COORDINATE WITH FDOT PLANS FOR POSSIBLE CONNECTION TO FDOT LAYOUT FOR NEW CURB AND SIDEWALK LOCATION.

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**5645 HANSEL AVE, EDGEWOOD, FL**  
**C/O NELSON LERMA, JR**  
**1073 CAMPBELL ST**  
**Orlando, Florida**  
**32806**

**Revisions:**

No.	Date	Description
1	21-12-20	REVISION PER CITY COMMENTS
2	22-01-27	REVISION PER CITY COMMENTS
3		
4		
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**SITE COORDINATION WITH FDOT (HANSEL)**

Scale: SEE SHEET      Design: DWT  
 Date: 2021-10-25      Drawn: AJT  
 Project No.: 7391000      Checked: DWT

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 FL PE # 60928

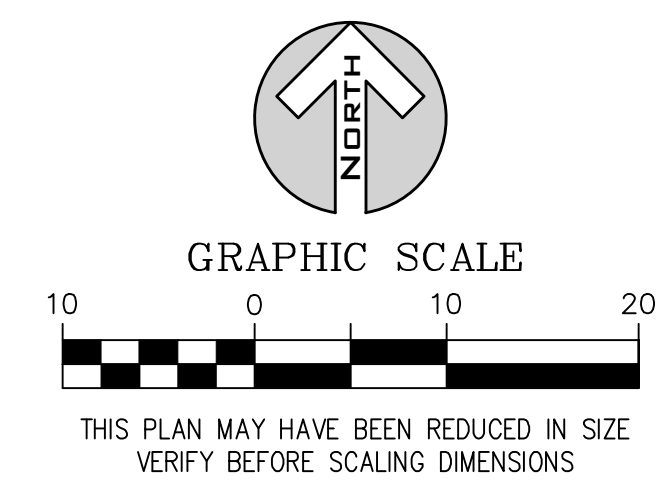
**Release:**



**GRADING NOTES:**

- DATUM NOTE: ELEVATIONS INDICATED BY THESE PLANS ARE BASED ON NAVD 88.
- ELEVATIONS SHOWN ARE TO THE EDGE OF PAVEMENT (UNLESS OTHERWISE NOTED).

- REVISED GRADING PER CITY COMMENTS. REVIEW ENTIRE SHEET.

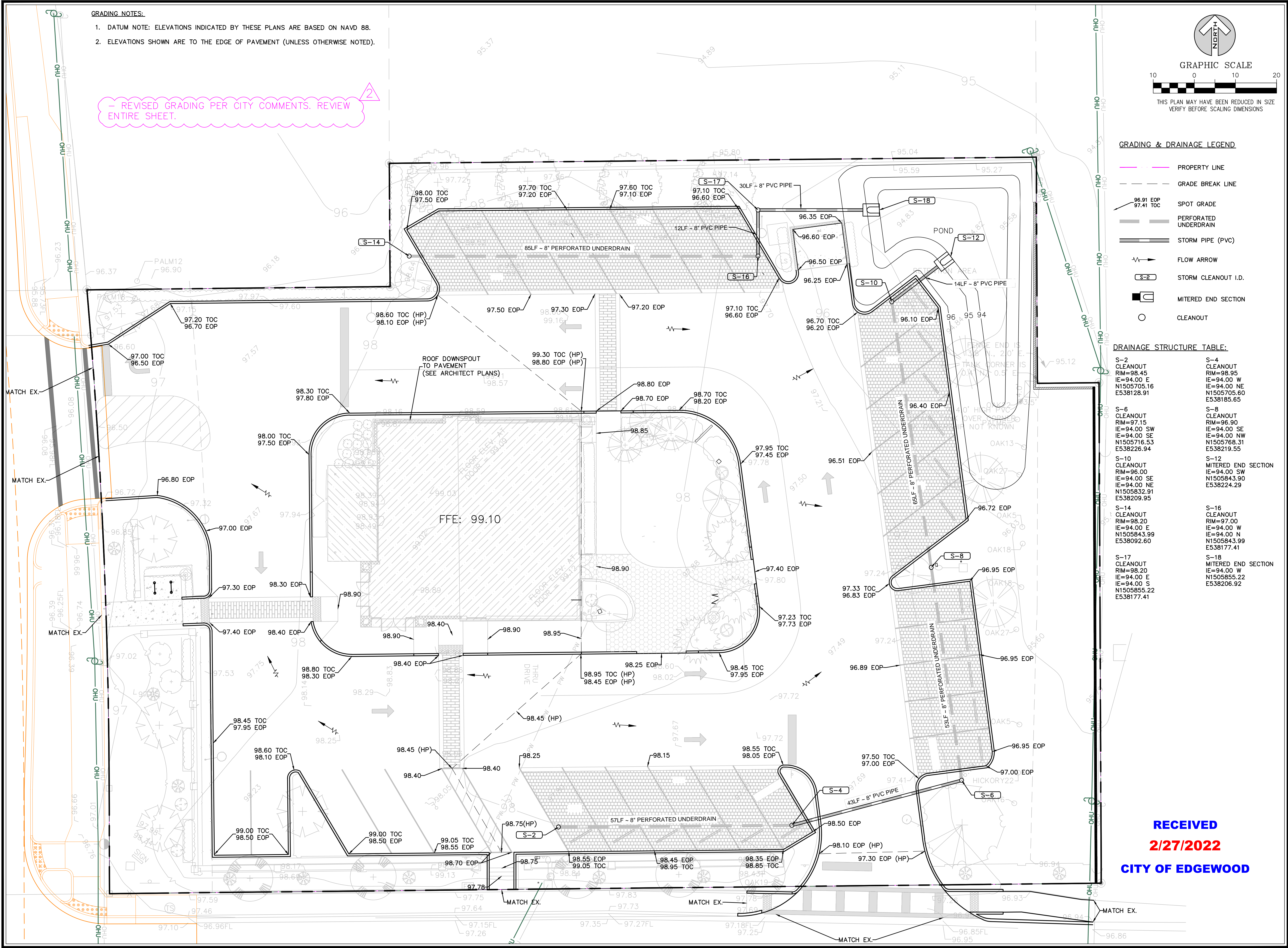


**GRADING & DRAINAGE LEGEND**

- PROPERTY LINE
- GRADE BREAK LINE
- 96.91 EOP  
97.41 TOC SPOT GRADE
- PERFORATED UNDERDRAIN
- STORM PIPE (PVC)
- FLOW ARROW
- S-2 STORM CLEANOUT I.D.
- MITERED END SECTION
- CLEANOUT

**DRAINAGE STRUCTURE TABLE:**

S-2 CLEANOUT RIM=98.45 IE=94.00 E N1505705.16 E538128.91	S-4 CLEANOUT RIM=98.95 IE=94.00 W IE=94.00 NE N1505705.60 E538185.65
S-6 CLEANOUT RIM=97.15 IE=94.00 SW IE=94.00 SE N1505716.53 E538226.94	S-8 CLEANOUT RIM=96.90 IE=94.00 SE IE=94.00 NW N1505768.31 E538219.55
S-10 CLEANOUT RIM=96.00 IE=94.00 SE IE=94.00 NE N1505832.91 E538209.95	S-12 MITERED END SECTION IE=94.00 SW N1505843.90 E538224.29
S-14 CLEANOUT RIM=98.20 IE=94.00 E IE=94.00 S N1505855.22 E538177.41	S-16 CLEANOUT RIM=97.00 IE=94.00 W IE=94.00 N N1505843.99 E538177.41
S-17 CLEANOUT RIM=98.20 IE=94.00 E IE=94.00 S N1505855.22 E538177.41	S-18 MITERED END SECTION IE=94.00 W N1505855.22 E538206.92



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**Revisions:**

No.	Date	Description
1	12-01-20	REVISION PER CITY COMMENTS
2	12-01-21	REVISION PER CITY COMMENTS
3	12-02-18	NOT USED
4		
5		
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**GRADING AND DRAINAGE PLAN**

Scale: SEE SHEET  
 Date: 2021-09-25  
 Project No.: 7391000

Design: DWT  
 Drawn: AJT  
 Checked: DWT

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2/27/2022

CITY OF EDGEWOOD

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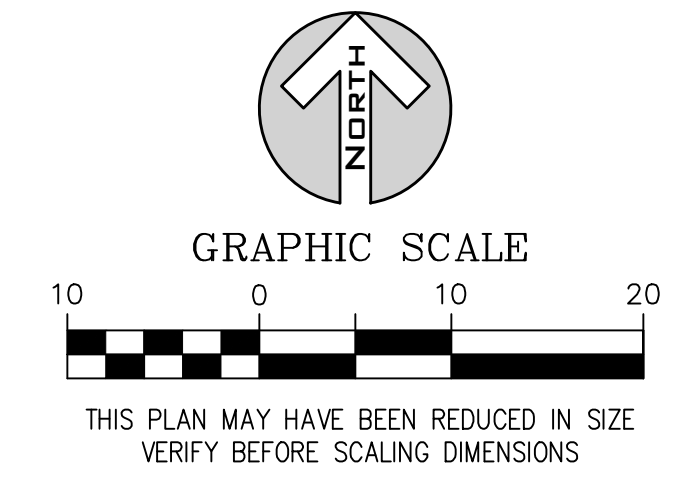
C-200



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**CITY OF EDGEWOOD**

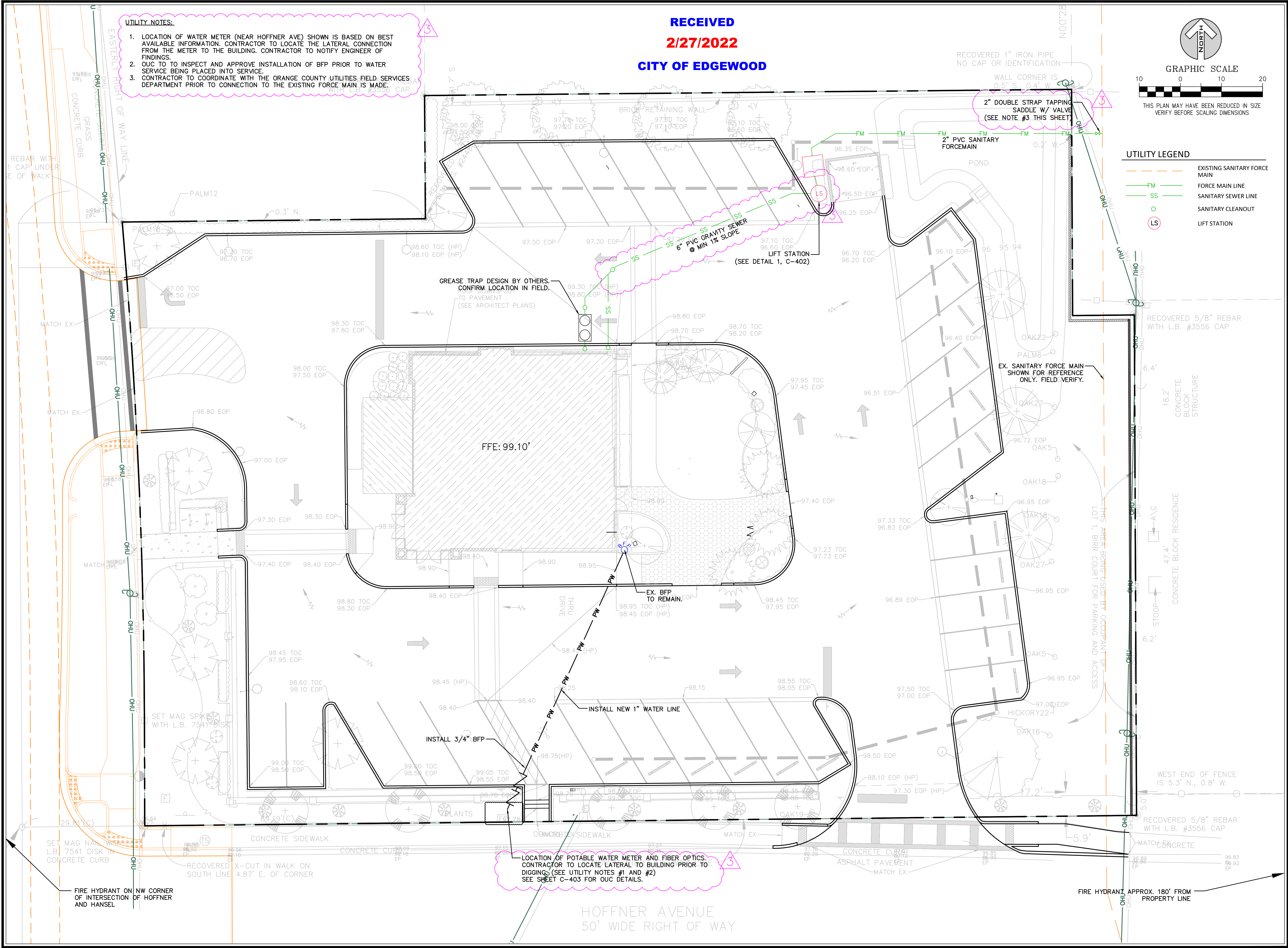
**UTILITY NOTES:**

1. LOCATION OF WATER METER (NEAR HOFFNER AVE) SHOWN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR TO LOCATE THE LATERAL CONNECTION FROM THE METER TO THE BUILDING. CONTRACTOR TO NOTIFY ENGINEER OF FINDINGS.
2. OUC TO INSPECT AND APPROVE INSTALLATION OF BFP PRIOR TO WATER SERVICE BEING PLACED INTO SERVICE.
3. CONTRACTOR TO COORDINATE WITH THE ORANGE COUNTY UTILITIES FIELD SERVICES DEPARTMENT PRIOR TO CONNECTION TO THE EXISTING FORCE MAIN IS MADE.



**UTILITY LEGEND**

- - - - - EXISTING SANITARY FORCE MAIN
- FM - - - - - FORCE MAIN LINE
- SS - - - - - SANITARY SEWER LINE
- - - - - - SANITARY CLEANOUT
- (LS) - - - - - LIFT STATION



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**32806**

**Revisions:**

No.	Date	Description
1	12-11-20	REVISION PER CITY COMMENTS
2	12-01-21	REVISION PER CITY COMMENTS
3	12-02-18	REVISION PER CITY COMMENTS
4	01-28-22	REVISION PER CITY COMMENTS
5	02-01-22	REVISION PER CITY COMMENTS
6	02-01-22	REVISION PER CITY COMMENTS
7	02-01-22	REVISION PER CITY COMMENTS
8	02-01-22	REVISION PER CITY COMMENTS

**UTILITY PLAN**

Scale: SEE SHEET  
 Date: 2021-10-25  
 Project No: 7391000

Design: DWT  
 Drawn: AJT  
 Checked: DWT

David W Taylor, PE  
 F.P.E. # 60928

**Release:**

**C-300**

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Revisions:

No.	Date	Description
1	12-11-20	REVISION PER CITY COMMENTS
2	12-01-27	REVISION PER CITY COMMENTS
3	08-04-27	REVISION PER CITY COMMENTS
4	08-04-27	REVISION PER CITY COMMENTS
5	08-04-27	REVISION PER CITY COMMENTS
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7	08-04-27	REVISION PER CITY COMMENTS
8	08-04-27	REVISION PER CITY COMMENTS

DETAILS

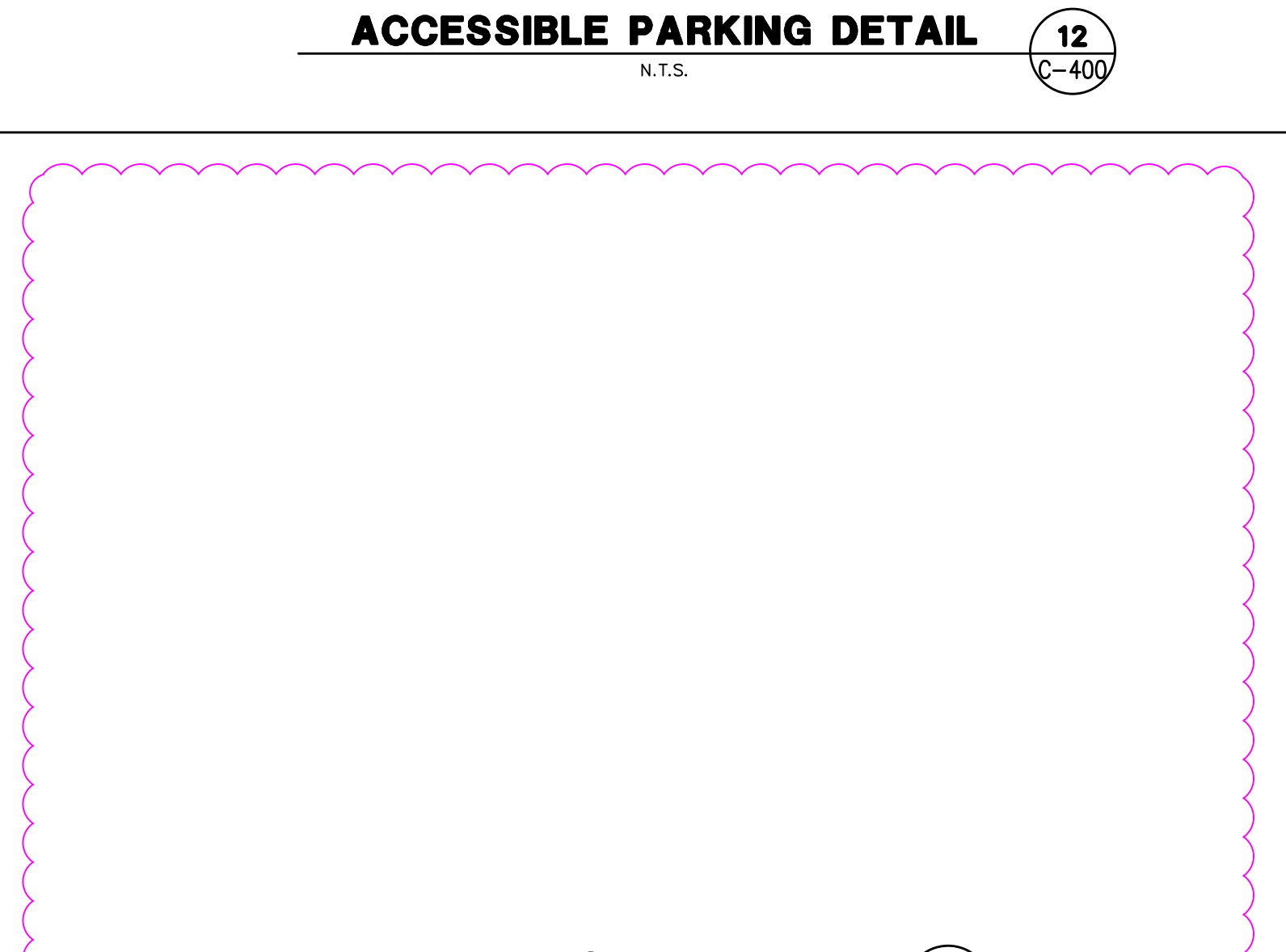
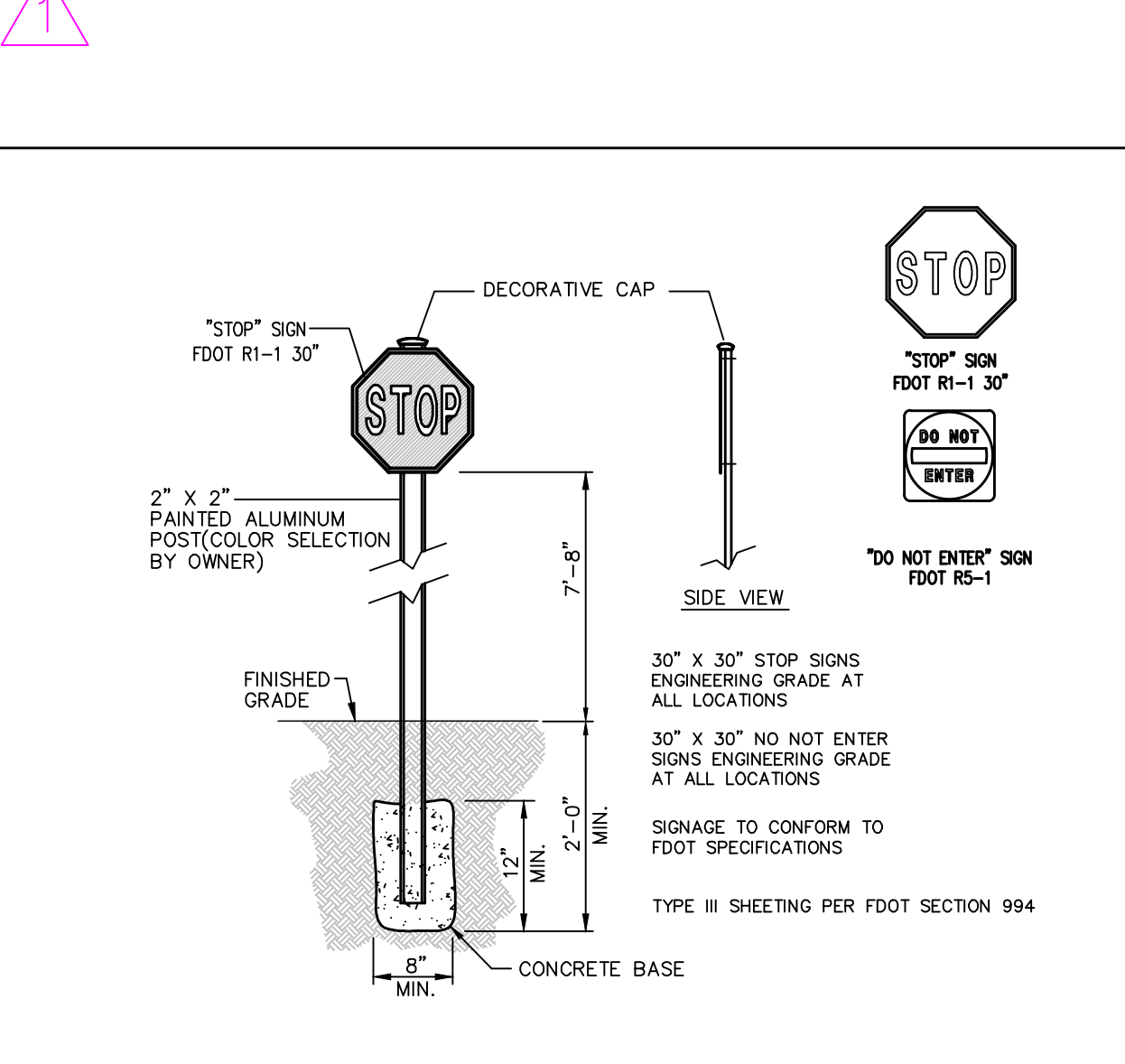
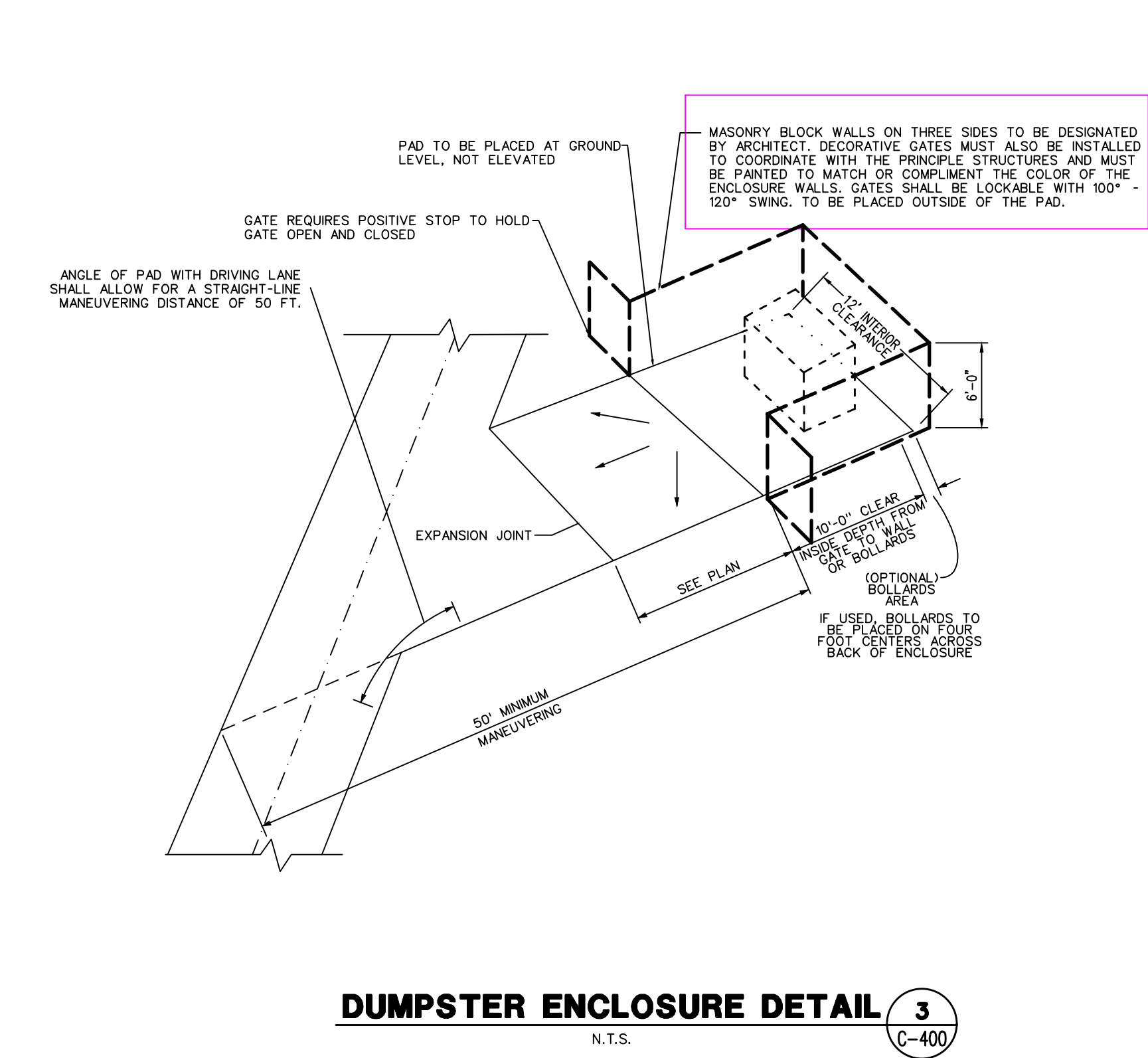
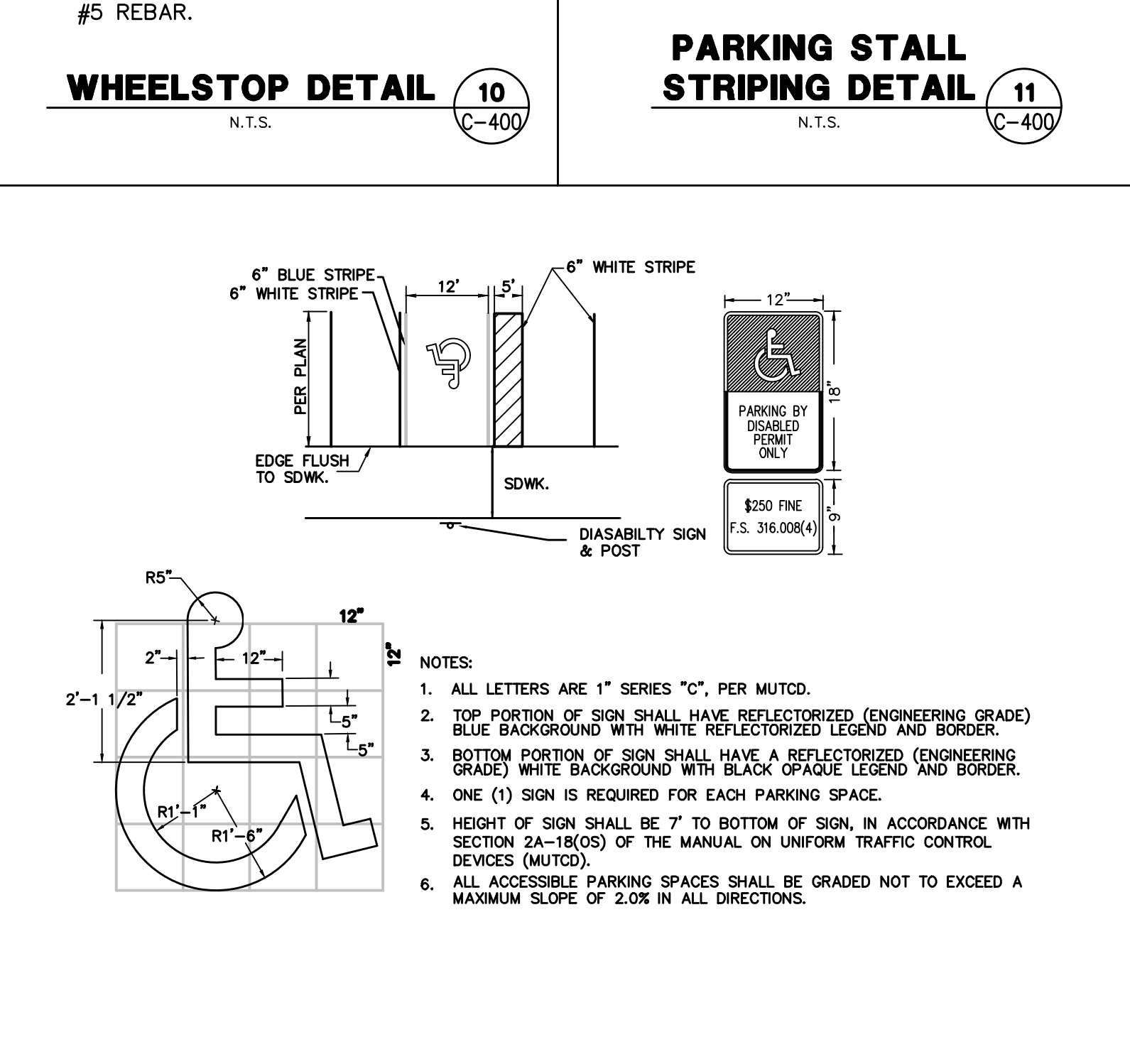
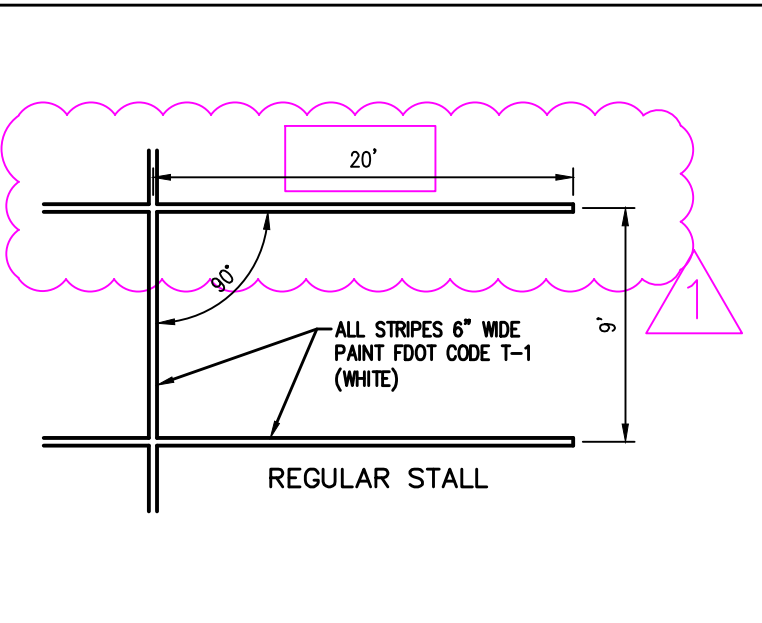
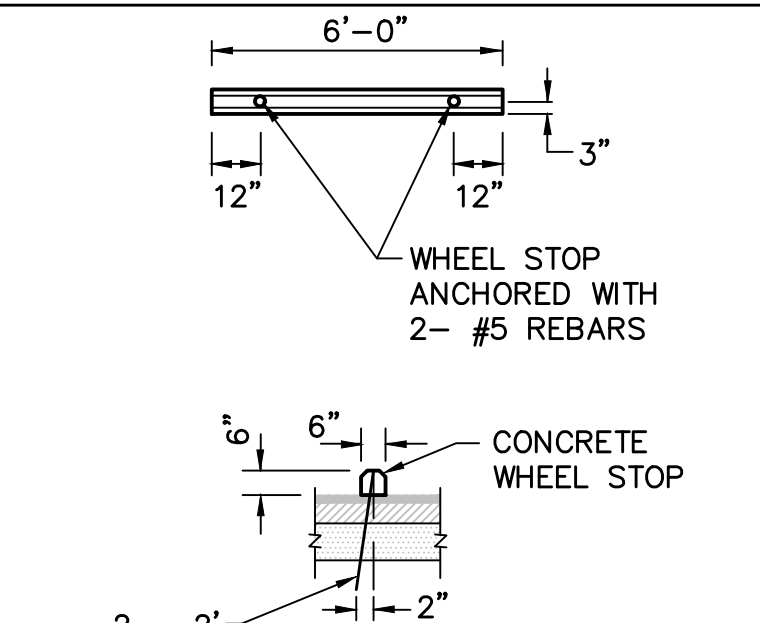
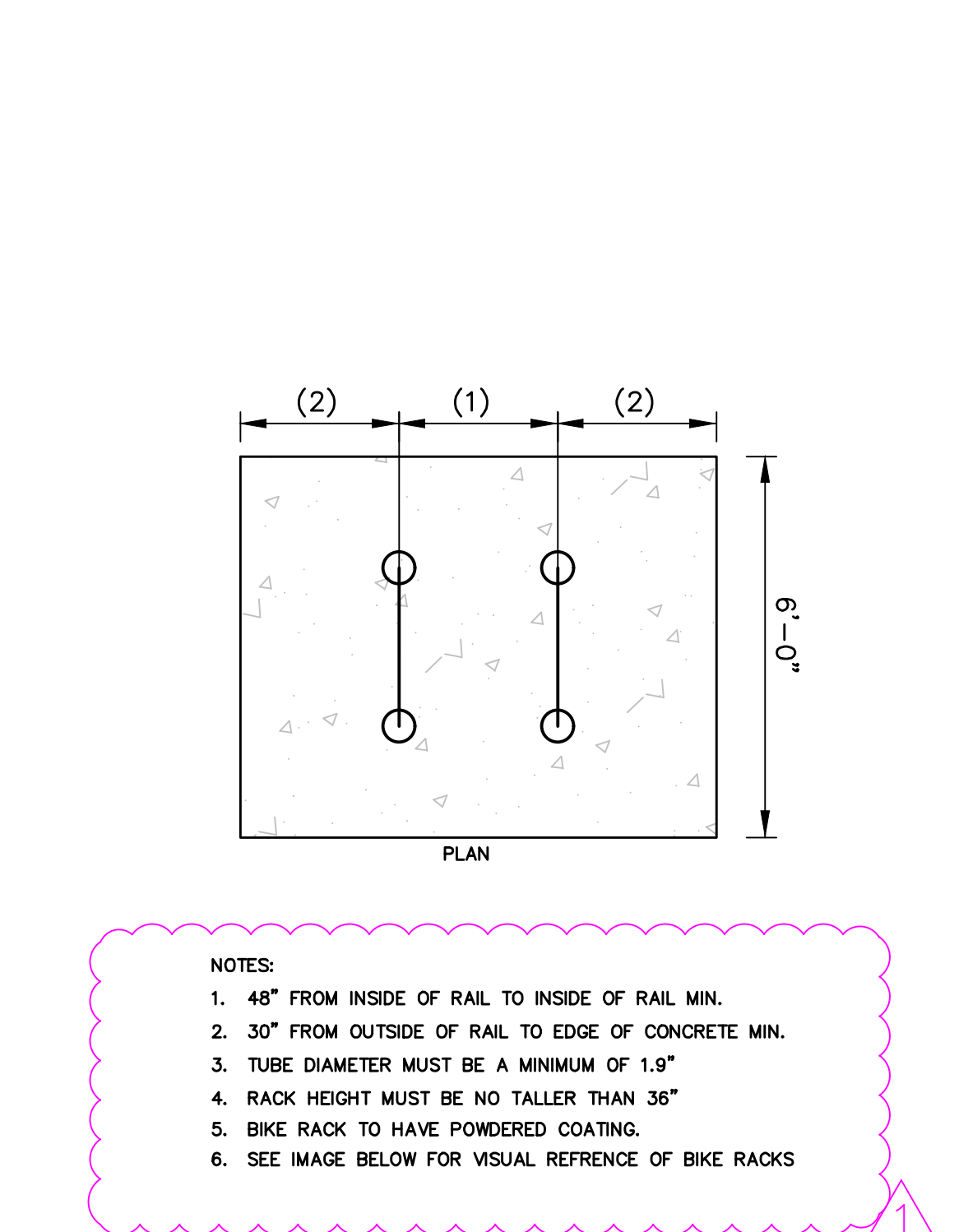
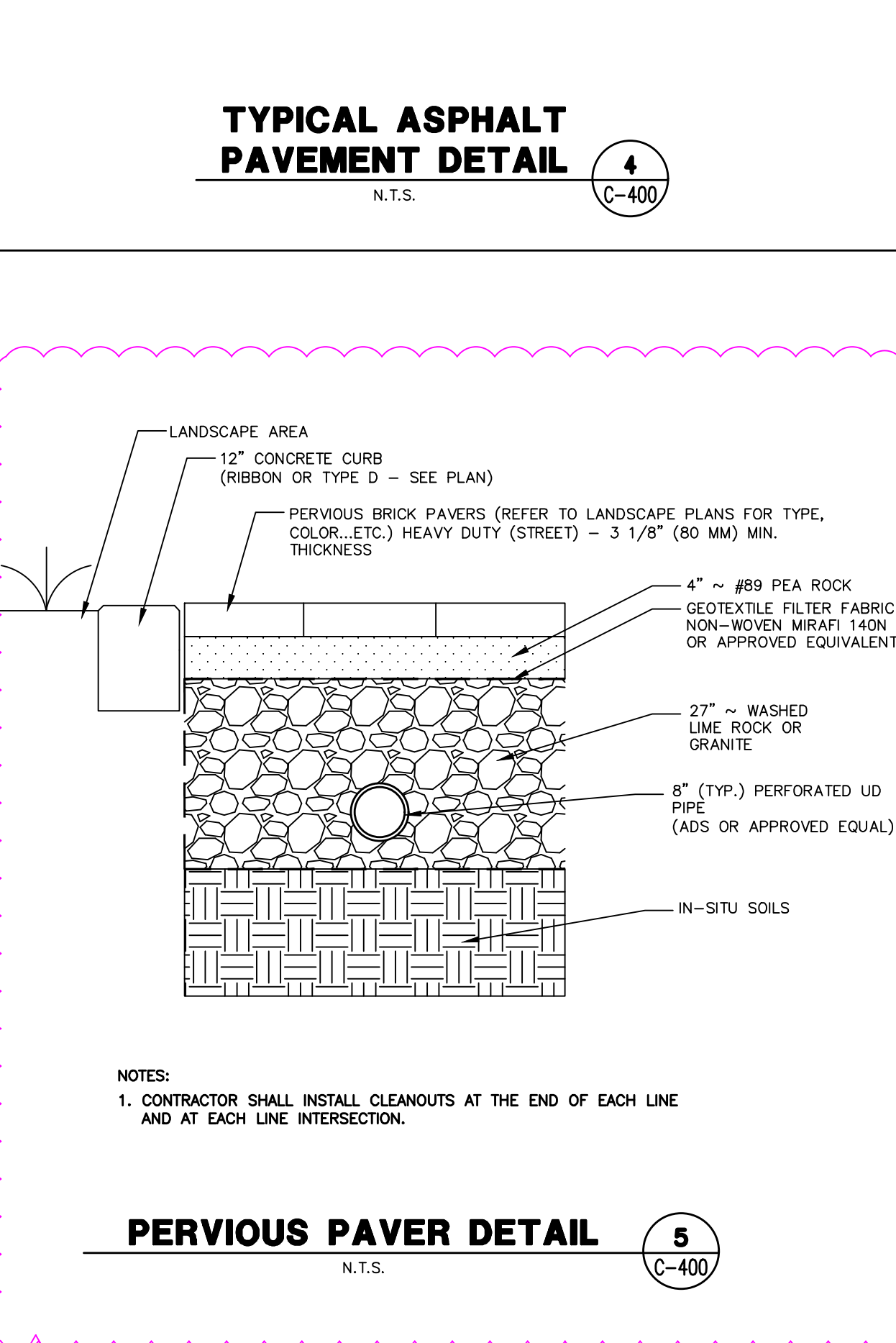
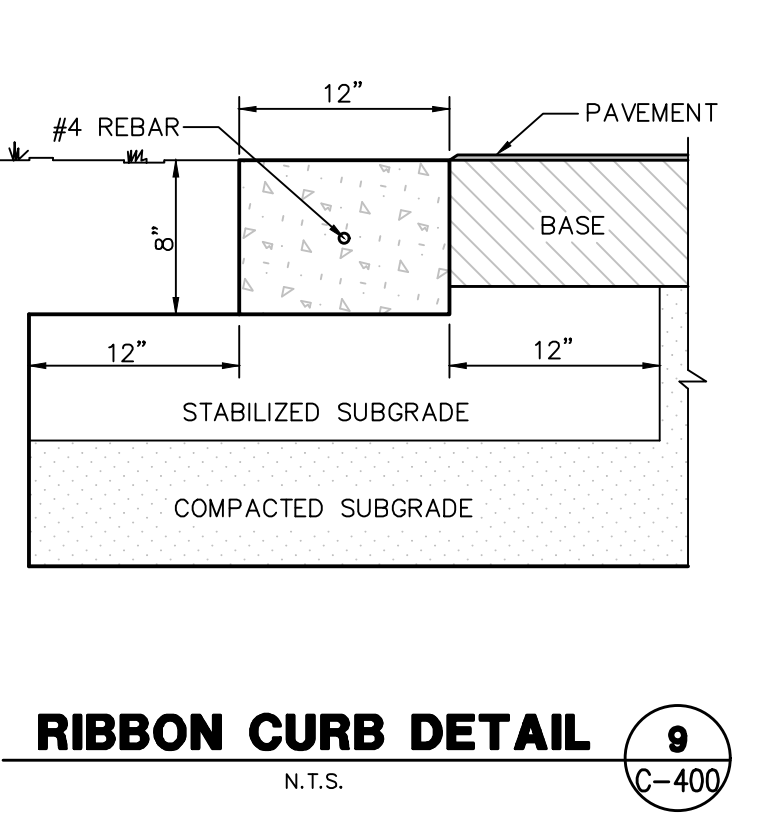
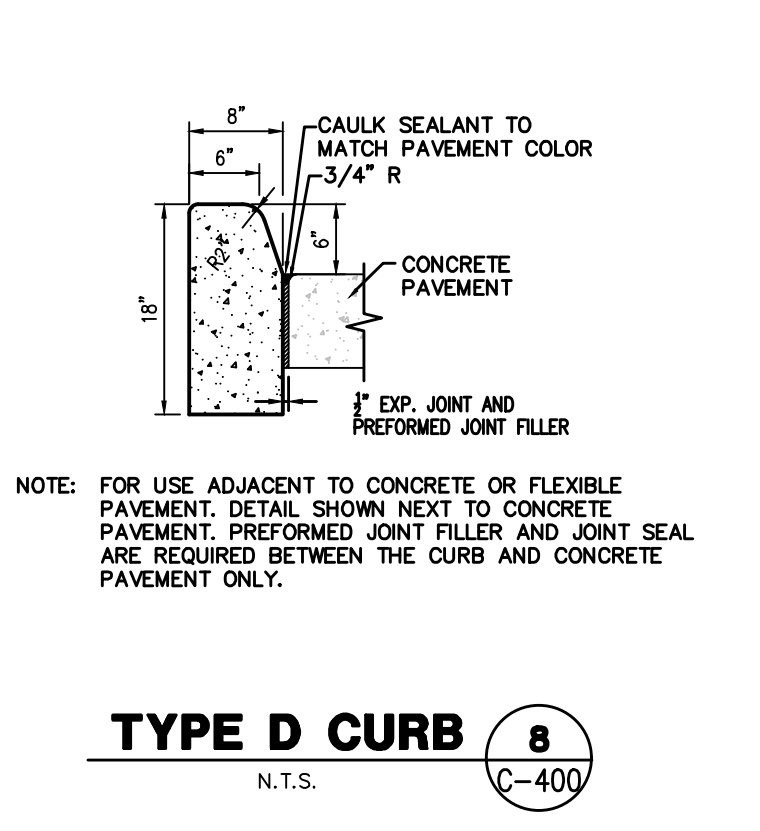
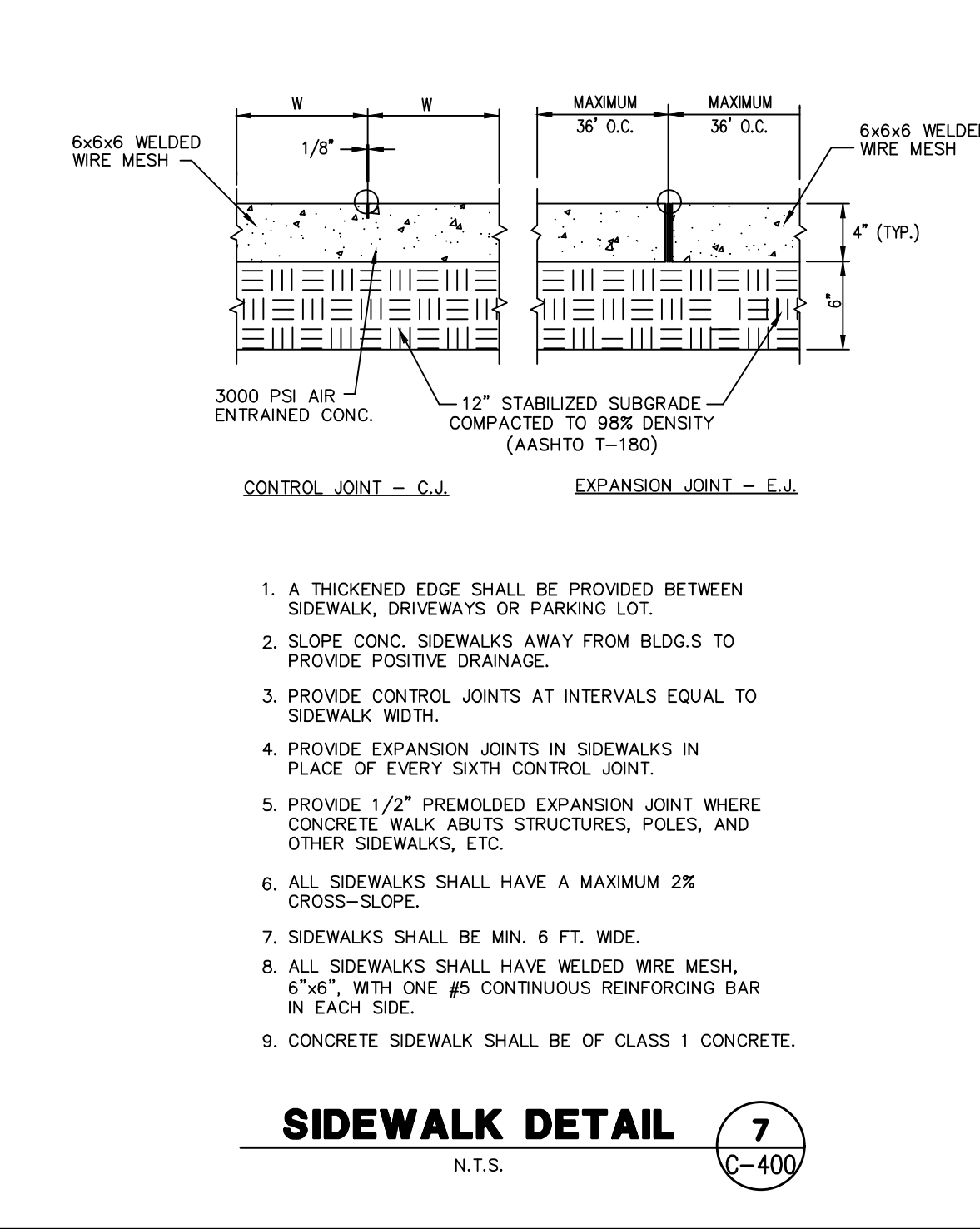
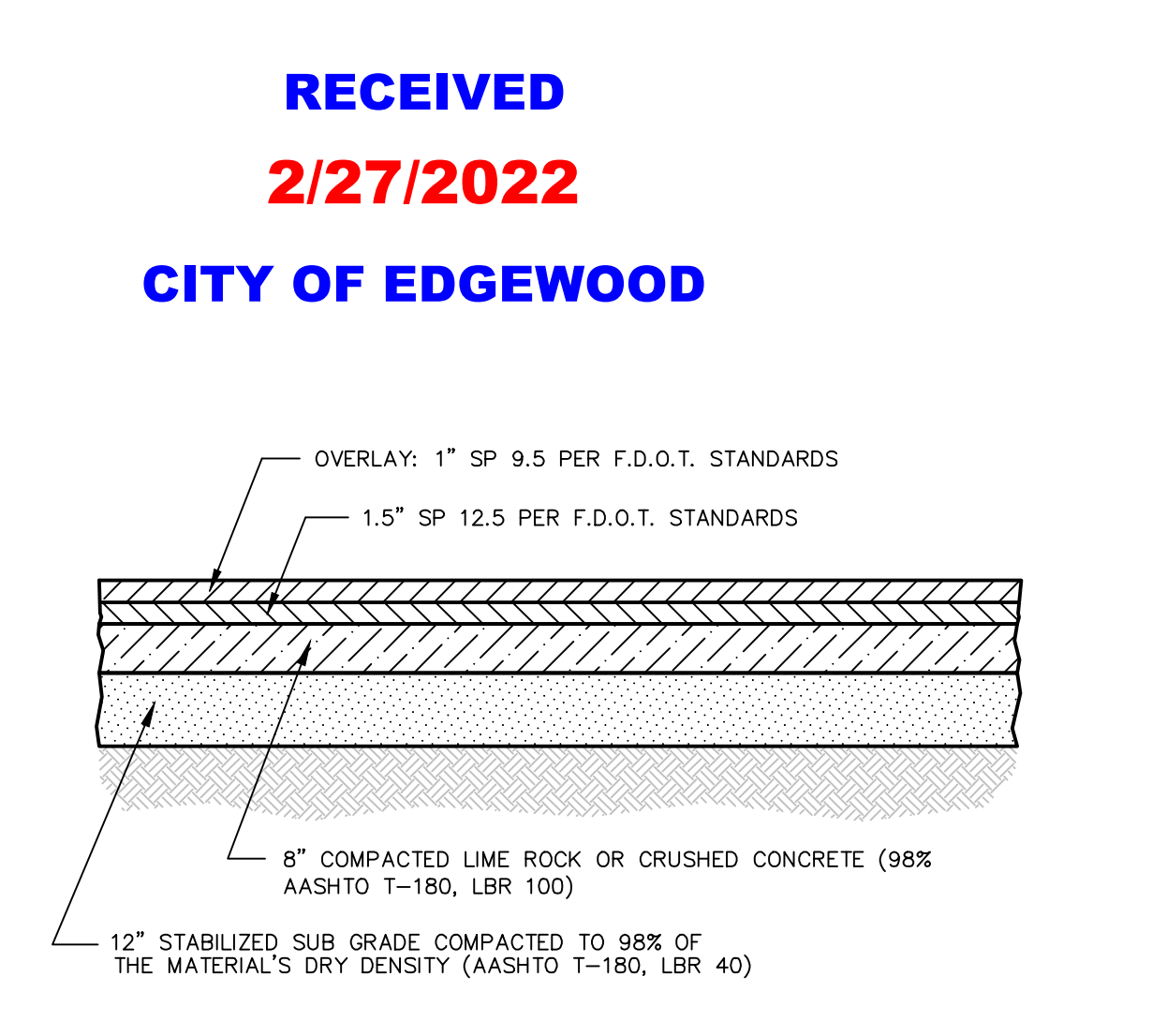
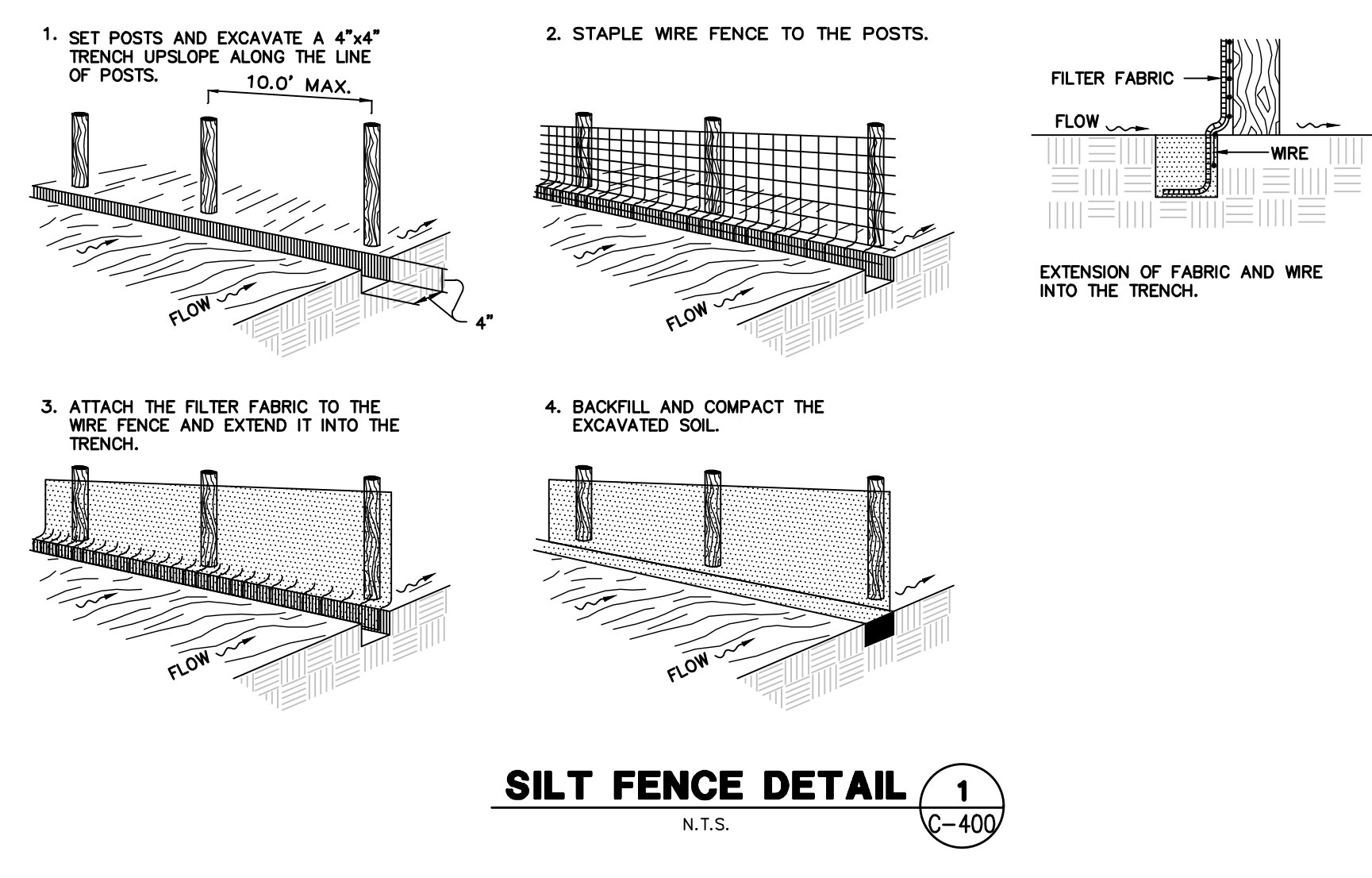
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Drawn: CT  
Checked: DWT

Scale: N.T.S.  
Date: 2021-10-25  
Project No: 7391000

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FL PE # 60928

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C-400



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Revisions:

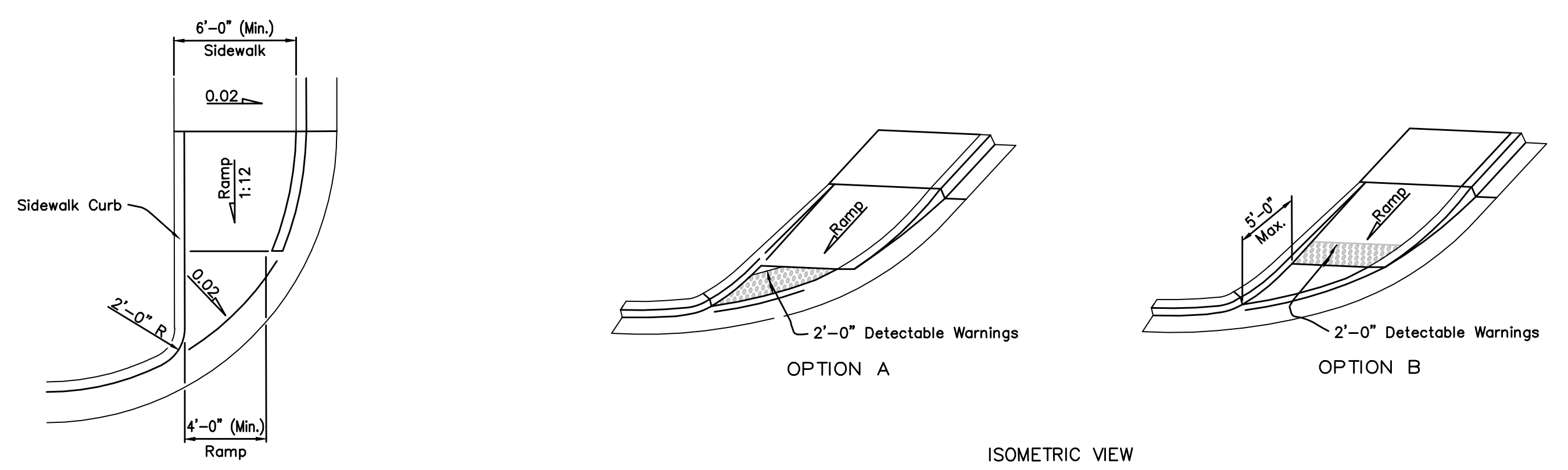
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DETAILS

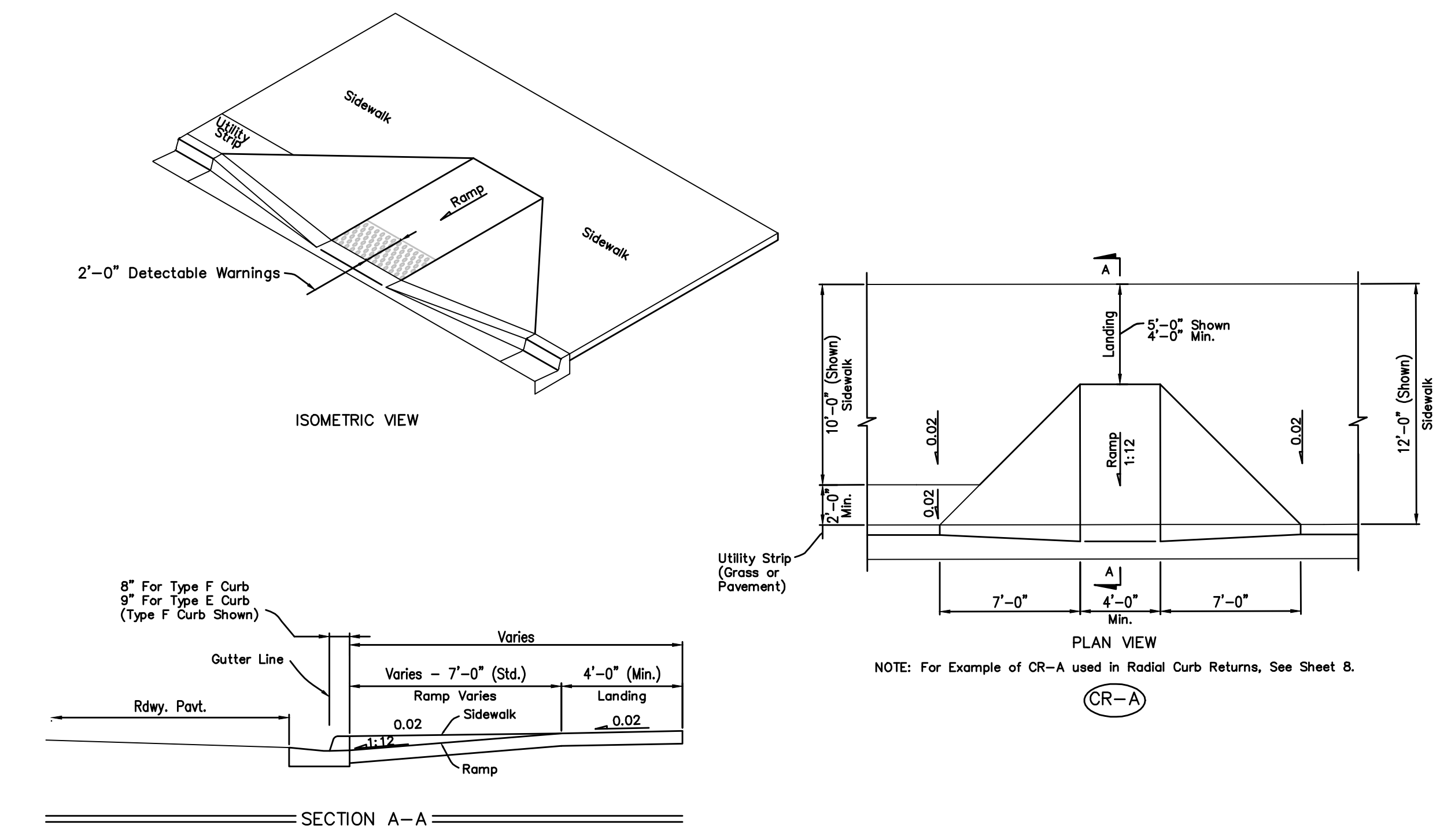
Scale: N.T.S.	Design: DWT
Date: 2021-10-25	Drawn: NL
Project No: 7391000	Checked: DWT

David W. Taylor, PE  
 FL PE # 60928

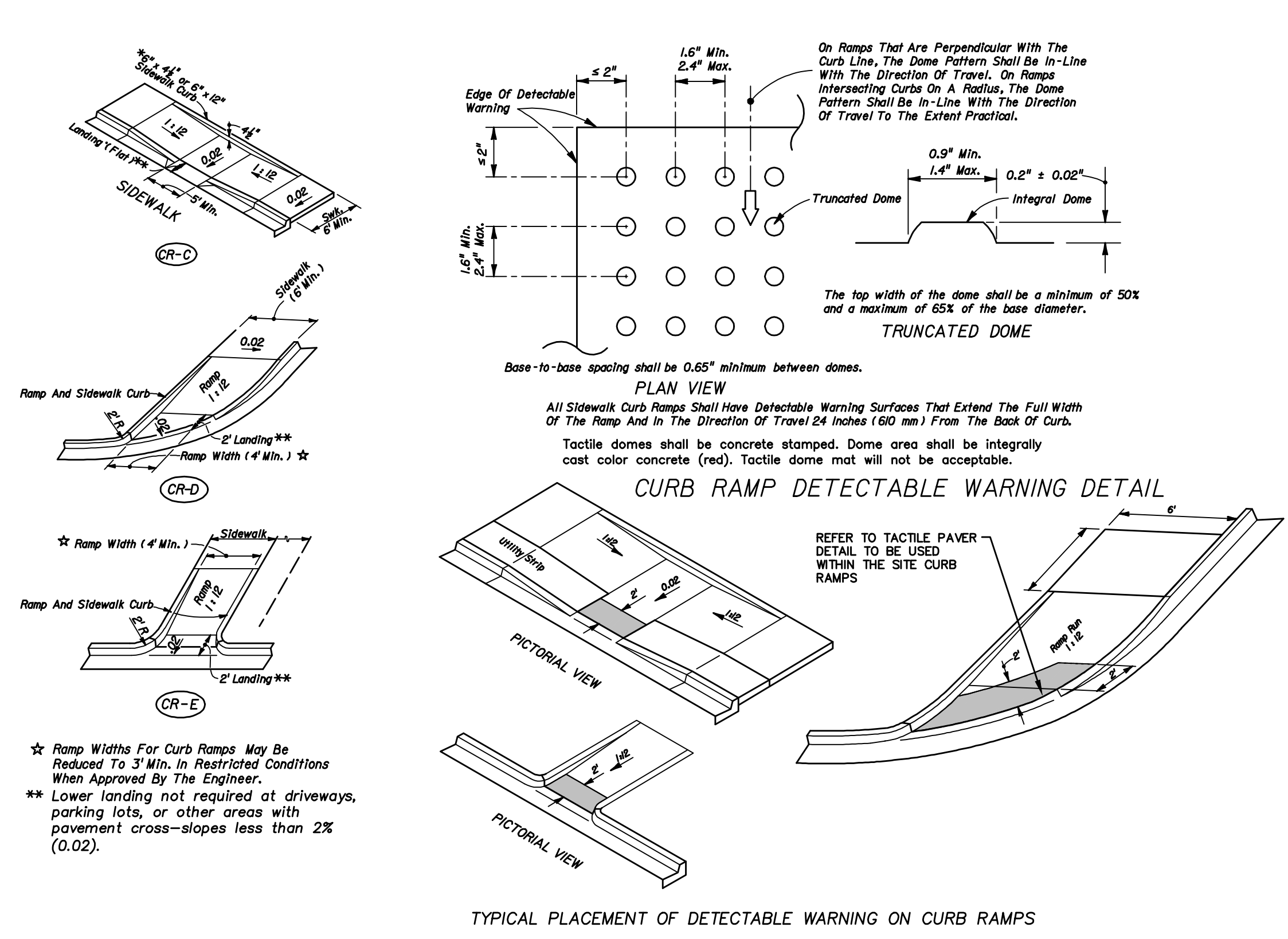
Release:



**CURB RAMP CR-G DETAIL**  
 N.T.S. **1**  
 C-401



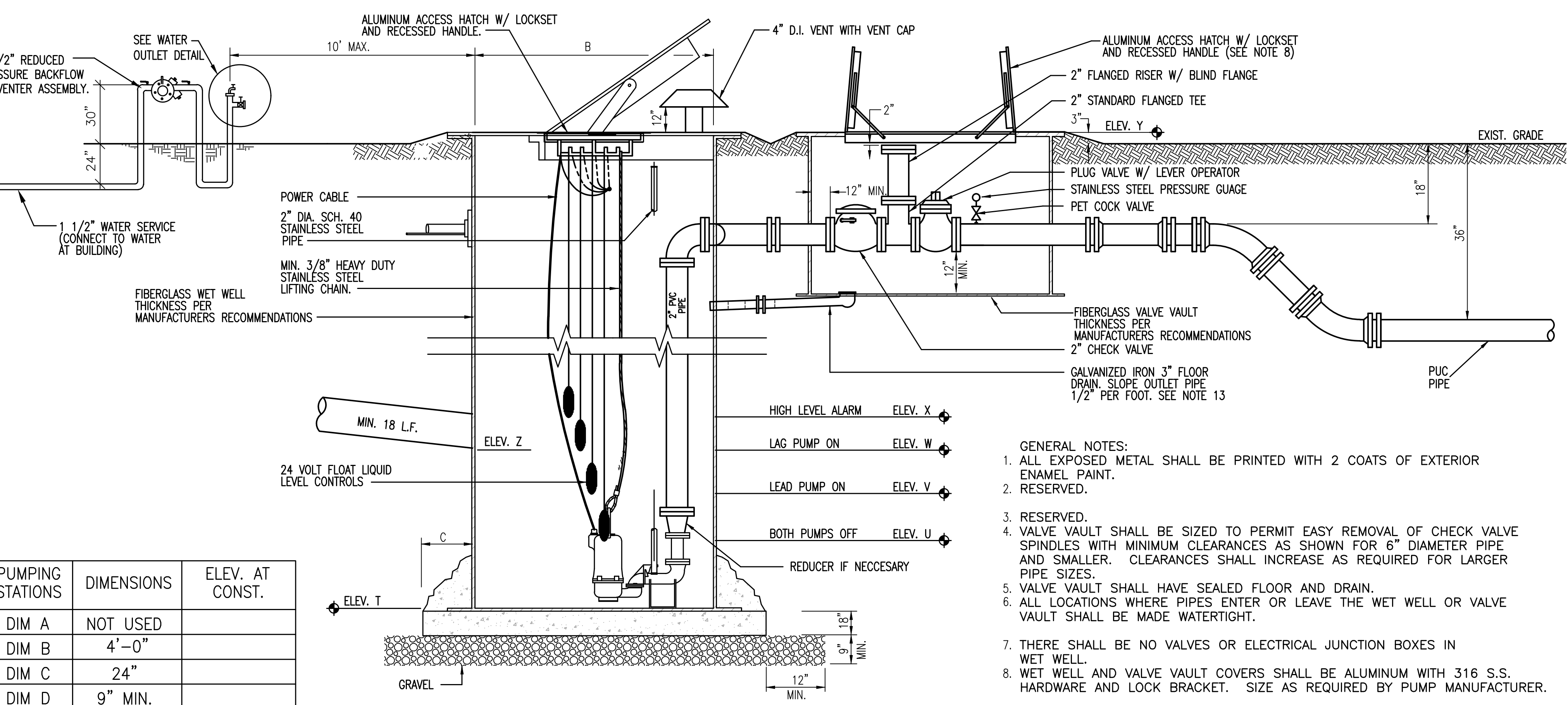
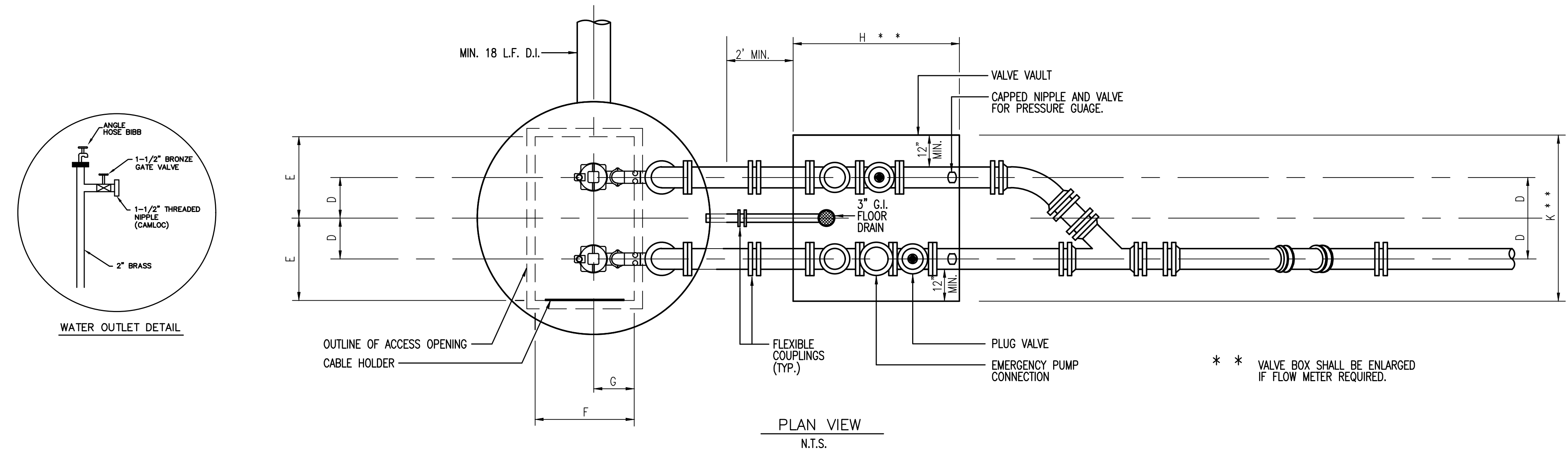
**CURB RAMP CR-A DETAIL**  
 N.T.S. **2**  
 C-401



**CURB RAMP CR-C DETAIL**  
 N.T.S. **3**  
 C-401

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**CITY OF EDGEWOOD**

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PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	NOT USED	
DIM B	4'-0"	
DIM C	24"	
DIM D	9" MIN.	
DIM E	18"	
DIM F	30"	
DIM G	*	
DIM H	5.00'	
DIM J		
DIM K	5.00'	
ELEV T		88.17'
ELEV U		90.17'
ELEV V		91.17'
ELEV W		91.67'
ELEV X		92.17'
ELEV Y		97.50'
ELEV Z		92.67'
* PER PUMP MANUFACTURERS REQUIREMENT		

SECTION VIEW  
 N.T.S.  
 PUMP STATION DETAILS  
 PLANS, SECTION, AND NOTES

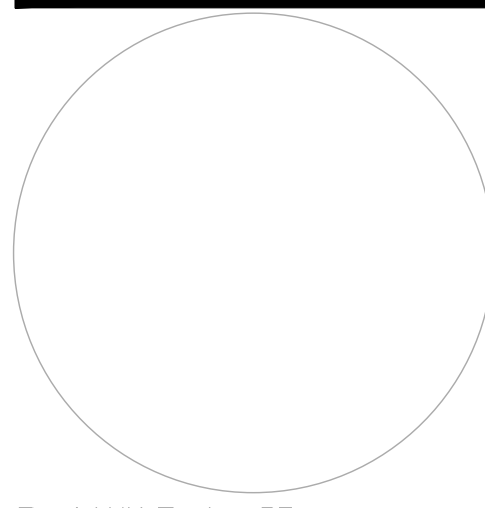
- GENERAL NOTES:  
 1. ALL EXPOSED METAL SHALL BE PRINTED WITH 2 COATS OF EXTERIOR ENAMEL PAINT.  
 2. RESERVED.  
 3. RESERVED.  
 4. VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.  
 5. VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.  
 6. ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT.  
 7. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.  
 8. WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE AND LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER.  
 9. FLEXIBLE COUPLING SHALL BE SLEEVE TYPE.  
 10. PUMPS SHALL BE:  
 MANUFACTURER: PENTAIR; MODEL: HVH200; IMP: \_\_\_\_\_; DIA: \_\_\_\_\_;  
 MM, SPEED: 3450 RPM; DISCHARGE SIZE: 1-1/4 IN.; VOLTAGE: \*\*\*;  
 HZ.: 60; PHASE: 3; H.P.: 2.0;  
 MIN. SOLID SIZE: \_\_\_\_\_ IN.; CURVE: \_\_\_\_\_  
 \*\*\* CONTRACTOR TO FIELD VERIFY AVAILABLE VOLTAGE AND PHASE PRIOR TO PROCUREMENT OF PUMPS  
 11. OPERATING CONDITIONS SHALL BE 20 GPM AT 73 FEET TDH.  
 12. ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.  
 13. CONTRACTOR MAY INSTALL A "P" TRAP BETWEEN THE VALVE VAULT AND WET WELL AS AN ALTERNATIVE TO THE FLOOR DRAIN SHOWN.  
 14. OTHER PUMPS WILL BE CONSIDERED DURING SHOP DRAWING REVIEW. ALL SUBSTITUTES ARE SUBJECT TO DENIAL AT THE DISCRETION OF THE ENGINEER.  
 15. CONTRACTOR TO PROVIDE MANUFACTURER'S DOCUMENTATION OF WET WELL AND VALVE VAULT H-20 LOADING CAPABILITY AT SHOP DRAWING REVIEW. SHOP DRAWINGS WILL NOT BE APPROVED OTHERWISE.

5645 HANSEL AVE, EDGEWOOD, FL  
 C/O NELSON LERMA, JR  
 1073 CAMPBELL ST  
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Revisions:

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1	21-12-20	REVISION PER CITY COMMENTS
2	22-01-27	REVISION PER CITY COMMENTS
3		
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LIFT STATION DETAIL  
 Scale: N.T.S.  
 Date: 2021-10-25  
 Project No: 7391000  
 Design: DWT  
 Drawn: CT  
 Checked: DWT



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Table with 5 columns: No., Date, Description, Revision, and Comments. Contains revision history for the drawing.

GENERAL SPECIFICATIONS

- 1. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE IN-HAND BEFORE BEGINNING ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION...
3. ALL CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL MEET CURRENT ORLANDO UTILITIES COMMISSION SPECIFICATIONS...

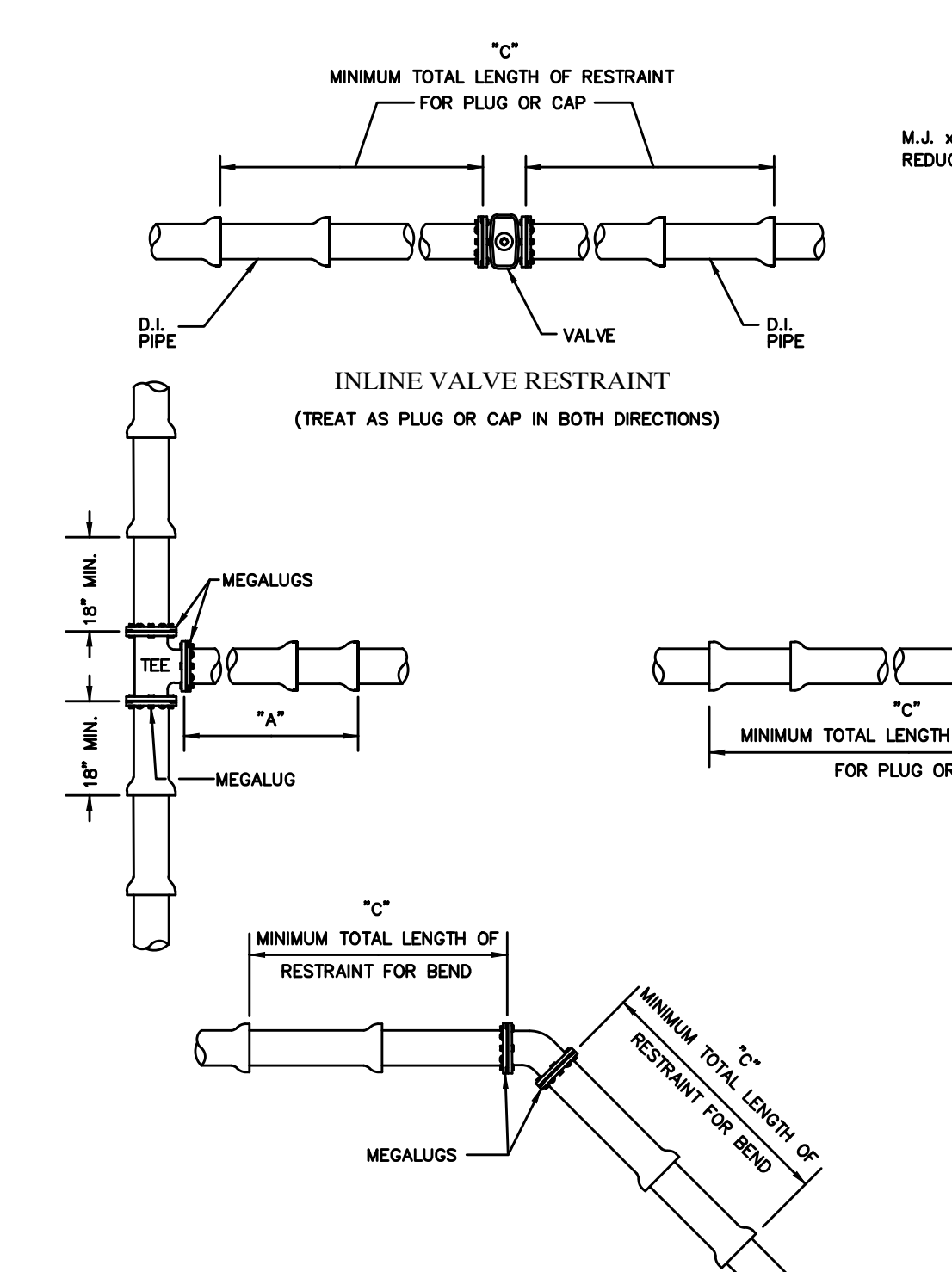
GENERAL MATERIAL SPECIFICATIONS

- 1. THE TYPICAL O.U.C. DISTRIBUTION SYSTEM PIPE SIZES AND MATERIAL USED ARE:
• TWO INCH (2") WATER MAINS SHALL BE ASTM 2241 CLASS 200 SDR21 POLY/VNLYL CHLORIDE (PVC) PIPE.
• TWO INCH (2") WATER MAIN UNDER ROADWAY REQUIRES 2" RESTRAINT JOINT SDR 17/CLASS 250 PIPE.
• FOUR INCH (4") WATER MAINS SHALL BE EITHER PRESSURE CLASS 350 DUCTILE IRON (D.I.) PIPE IN ACCORDANCE WITH ANSI/AWWA C150/A21.50-88 AND ANSI/AWWA C151/A21.51 OR, AS CONDITIONS WARRANT, C900 SDR18 CLASS 150 PVC PIPE.

OCU logo and contact information for Orlando Utilities Commission Water Business Unit, 3000 Semoran Ave, Orlando, FL 32835.

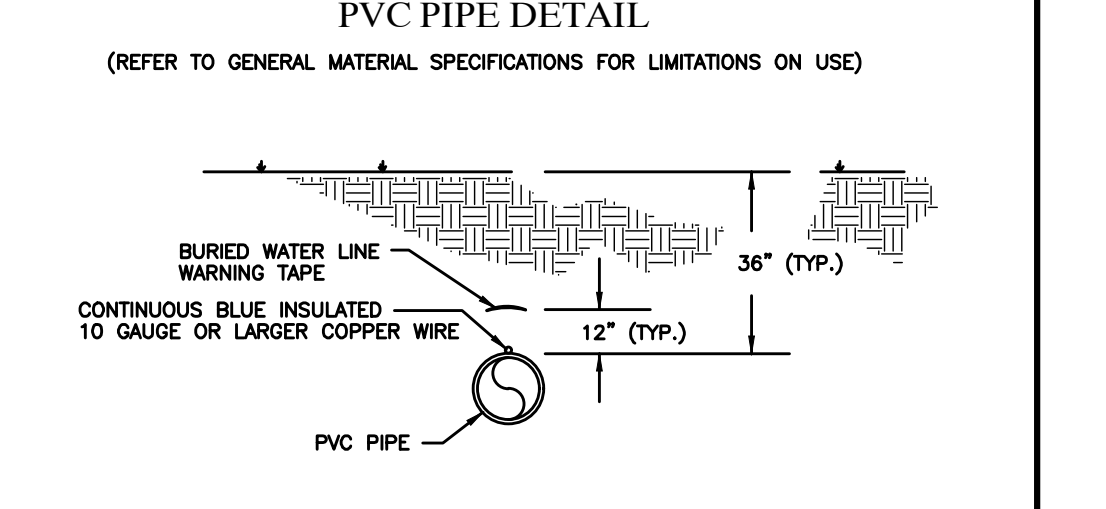
RESTRAINED JOINT STANDARDS

CONTACT O.U.C. FOR SPECIAL RESTRAINT DETAILS FOR WORK ON EXISTING PIPING.

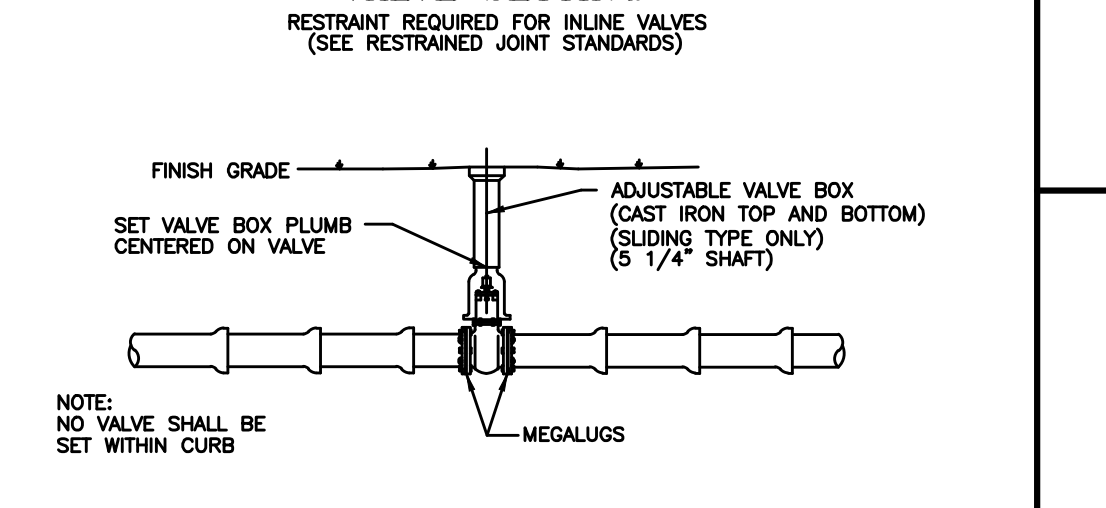


- 1. ALL FITTINGS SHALL HAVE APPROPRIATE MECHANICAL THRUST RESTRAINT (WEDGE-ACTION OR FULL CIRCUMFERENCE ARTICULATING WEDGE, EQUAL TO 1100 SERIES MEGALUG OR STAR-GRIP)
2. ALL COMPONENTS OF RESTRAINING MECHANISMS FOR PUSH-ON OR MECHANICAL JOINTS SHALL BE OF CORROSION RESISTANT MATERIAL OR SUITABLY PROTECTED AGAINST CORROSION.
3. THE PIPE LENGTHS IMMEDIATELY ON EITHER SIDE OF A FITTING SHALL BE ADEQUATELY TIED TOGETHER USING PROPRIETARY LOCKING GASKETS SUCH AS FIELD LOC OR FAST GRIP GASKETS.

PVC PIPE DETAIL



VALVE SETTING



2" PVC - PIPE RESTRAINT (LF)

Table showing fitting size, tee 'A', and reducer 'B' for 2" PVC pipe restraint.

Table showing D.I. pipe restraint - (LF) with fitting size, tee 'A', and reducer 'B'.

Table showing ductile iron pipe restraint 'C' (LF) with fitting size, tee 'A', and reducer 'B'.

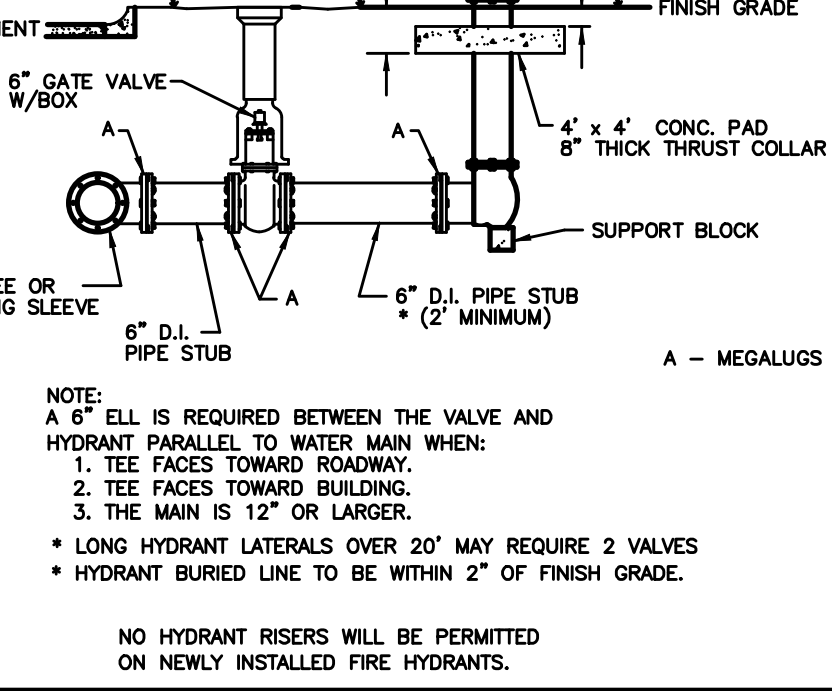
Table showing PVC pipe restraint 'C' (LF) with fitting size, tee 'A', and reducer 'B'.

Table showing minimum footage of pipe to be restrained for various fitting sizes.

Table showing ductile iron pipe restraint 'C' (LF) with fitting size, tee 'A', and reducer 'B'.

Table showing PVC pipe restraint 'C' (LF) with fitting size, tee 'A', and reducer 'B'.

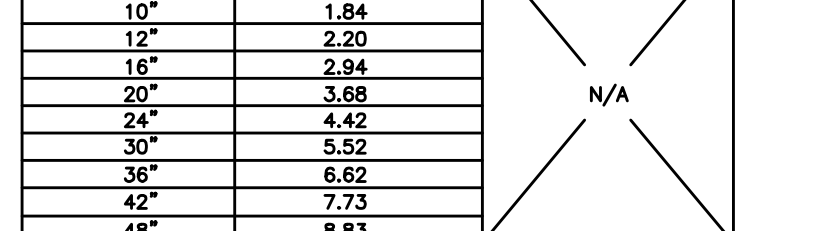
FIRE HYDRANT ASSEMBLY



MAXIMUM ALLOWABLE LEAKAGE

Table showing maximum allowable leakage for ductile iron pipe and PVC pipe at 150 PSI testing.

TEMPORARY BLOW OFF (4" THROUGH 12") FOR CONSTRUCTION PURPOSE



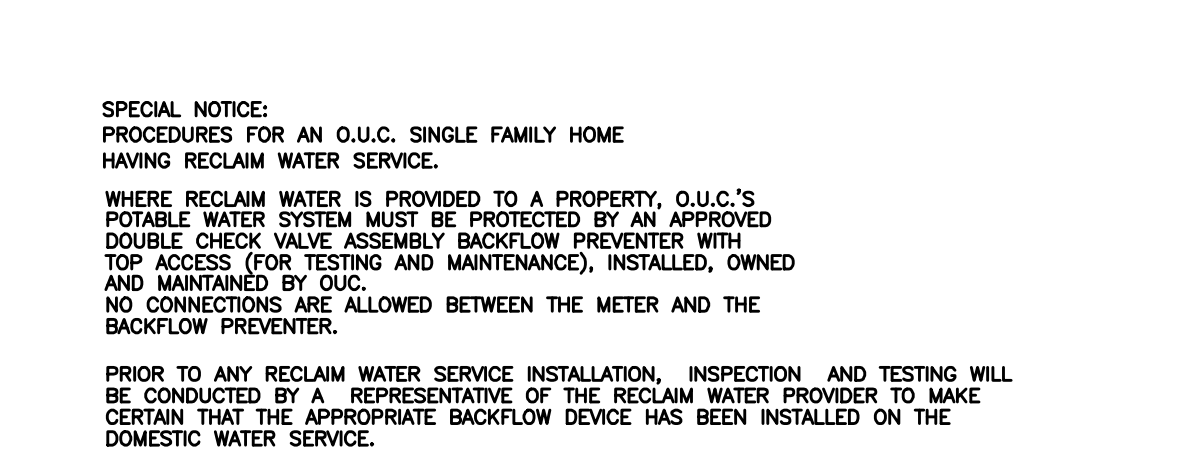
- 1. TEMPORARY BLOW-OFFS WILL BE INSTALLED.
2. M.J. PLUG/CAP SHALL BE INSTALLED WHERE APPLICABLE.

SERVICE LINE NOTES

- NOTE:
1. O.U.C. SHALL FURNISH/INSTALL ALL WATER METERS.
2. O.U.C. SHALL FURNISH METER BOXES, DEVELOPER'S CONTRACTOR TO INSTALL.
3. METER SHOULD BE ON THE CUSTOMER SIDE OF THE RIGHT-OF-WAY NO FURTHER THAN 2' BEYOND RIGHT-OF-WAY LINE AND ALWAYS ALONG THE BACK SIDE OF CONC. SIDEWALK.

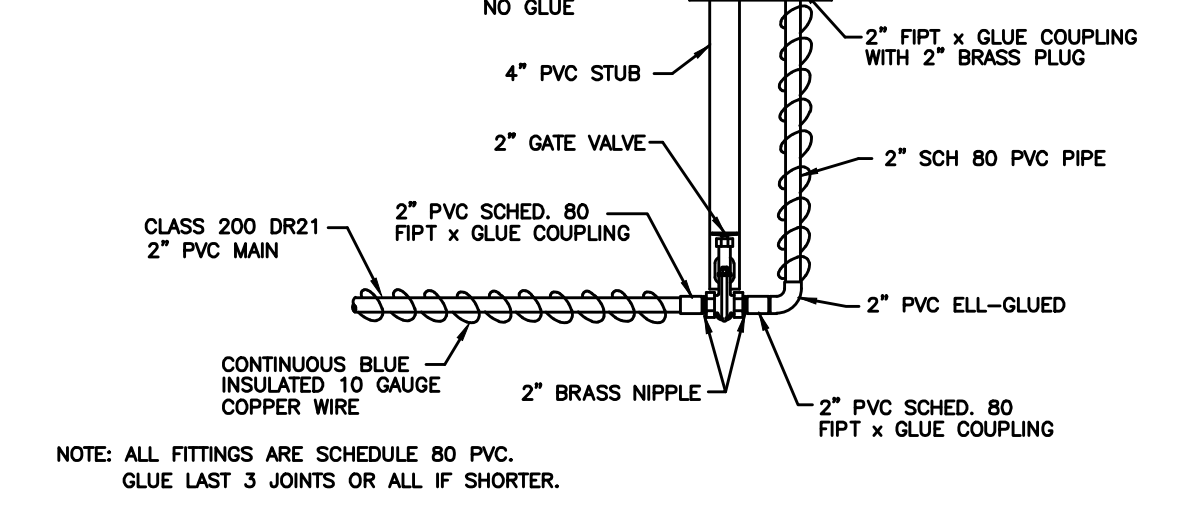
Table showing pipe size, corporation, and tap size for service line notes.

TAPPING FOR 1" CORP. STOP, & 2" GATE VALVE



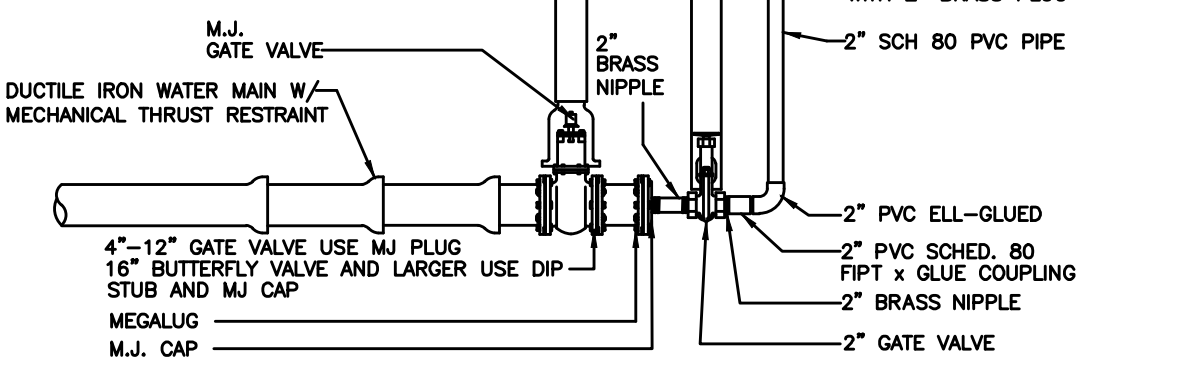
- SPECIAL NOTE:
PROCEDURES FOR AN O.U.C. SINGLE FAMILY HOME HAVING RECLAIM WATER SERVICE.
WHERE RECLAIM WATER IS PROVIDED TO A PROPERTY, O.U.C.'S POTABLE WATER SYSTEM MUST BE PROTECTED BY AN APPROVED DOUBLE CHECK VALVE ASSEMBLY BACKFLOW PREVENTER WITH TOP ACCESS (FOR TESTING AND MAINTENANCE), INSTALLED, OWNED AND MAINTAINED BY OUC.

BLOW OFF DETAILS

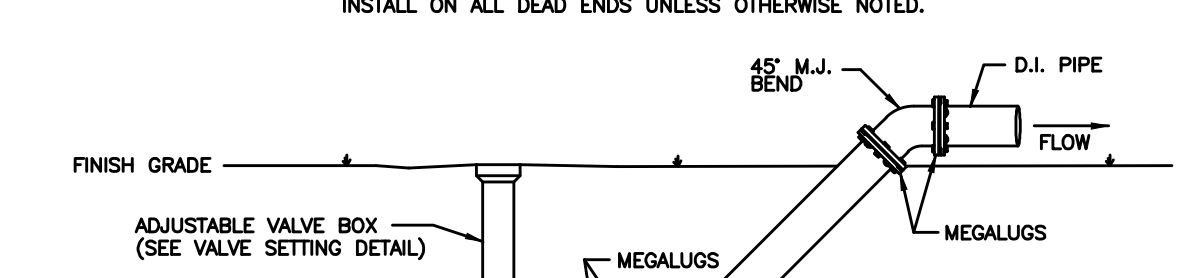


- NOTE: ALL FITTINGS ARE SCHEDULE 80 PVC.
ALL FITTINGS LAST 3 JOINTS OR ALL IF SHORTER.

2" PVC DEAD END WITH PERMANENT BLOW OFF

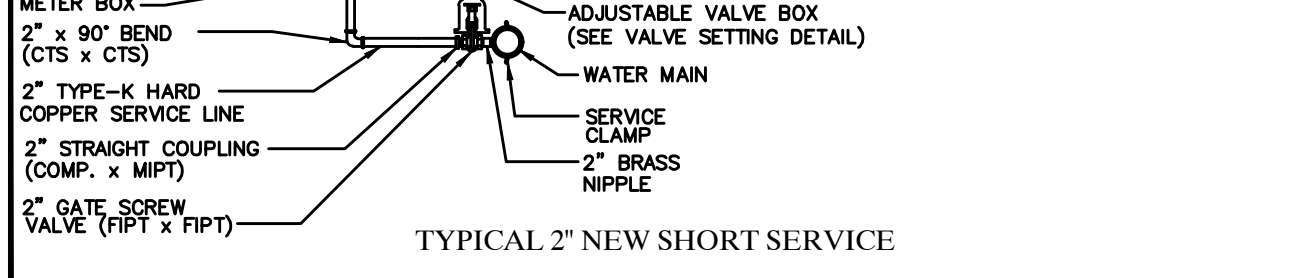
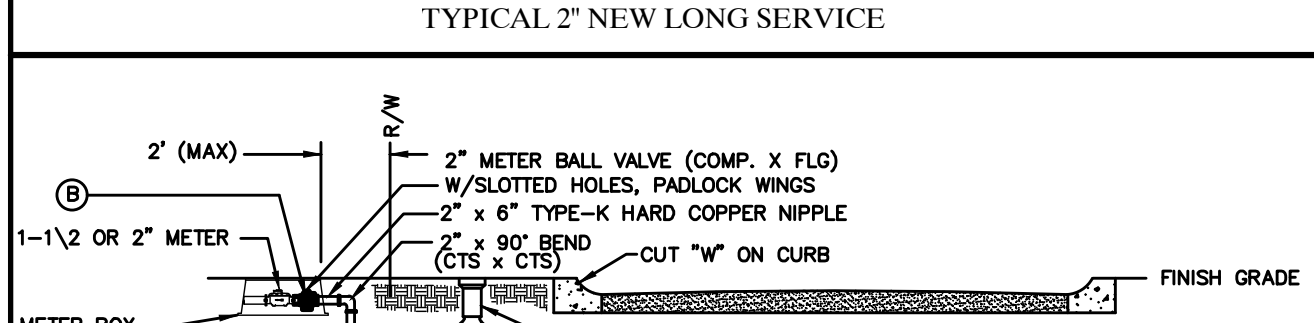
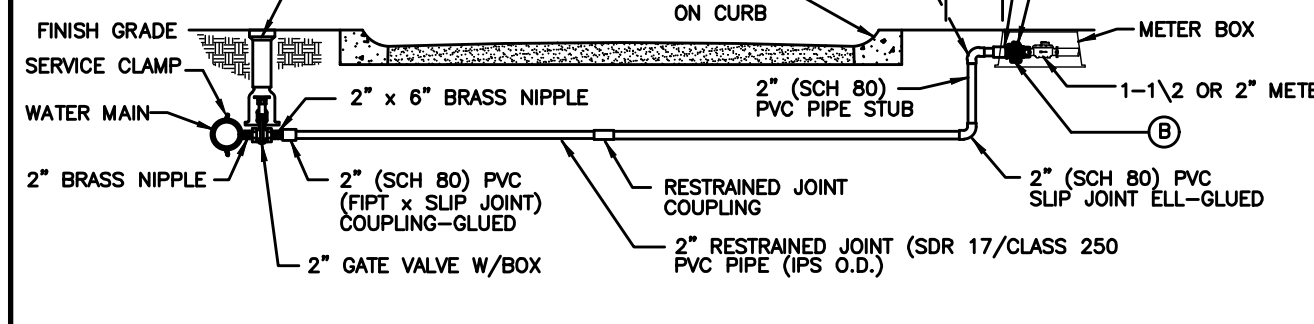
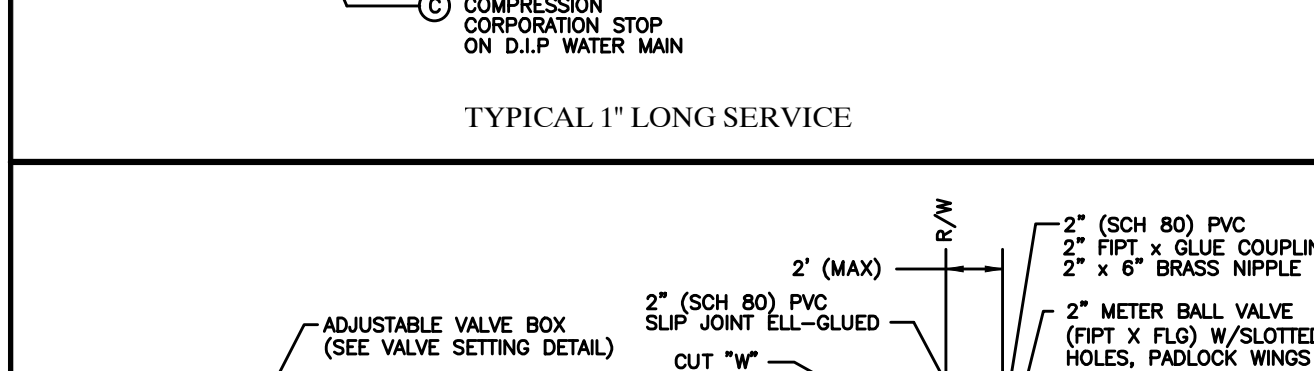
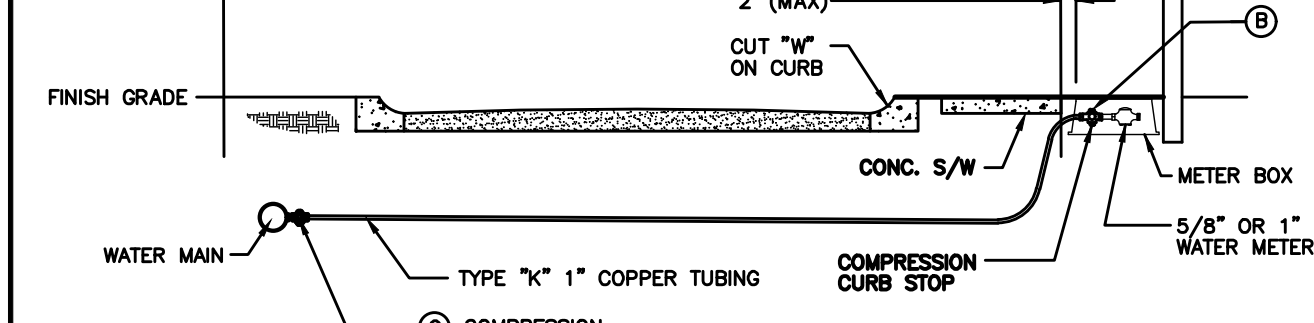
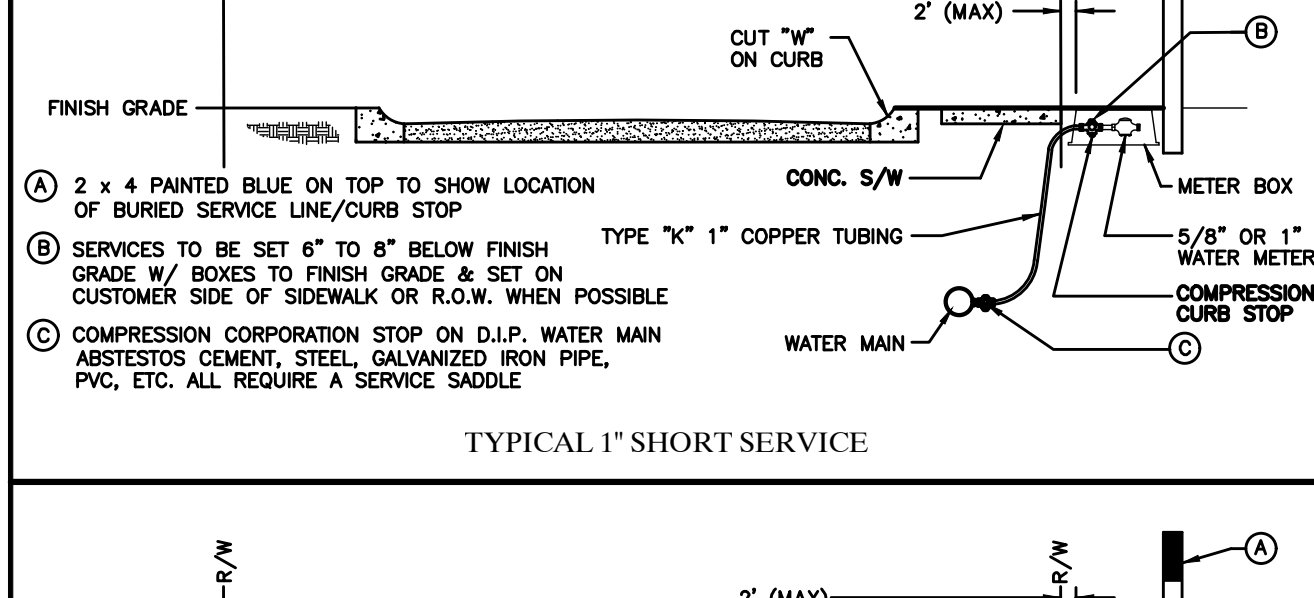
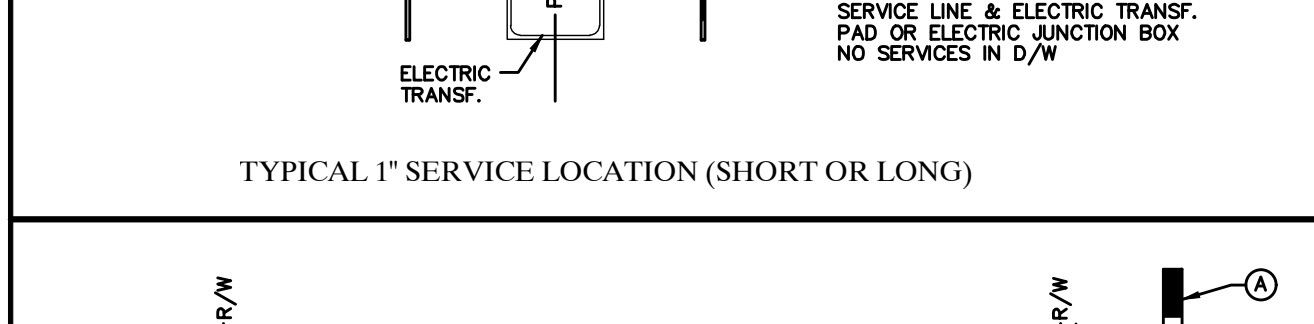
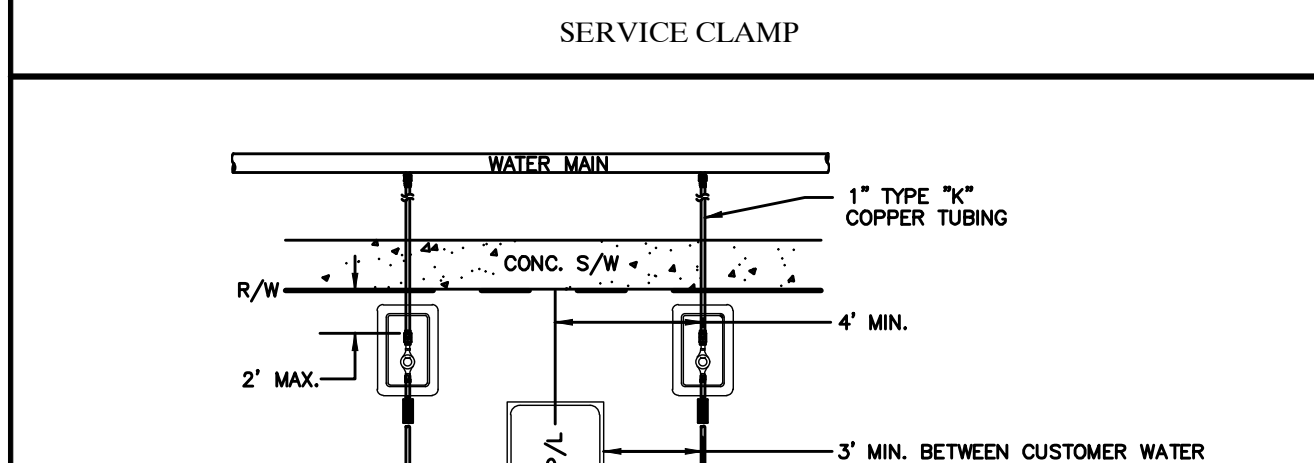
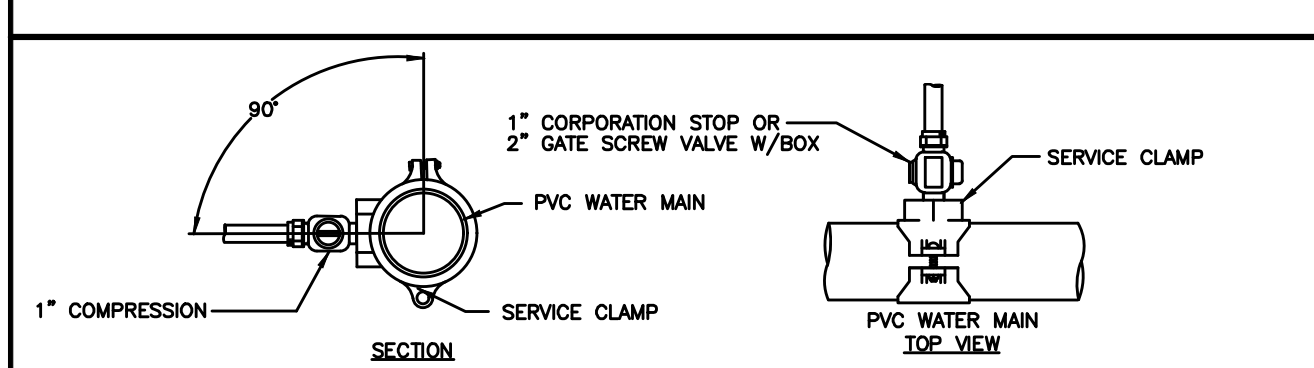
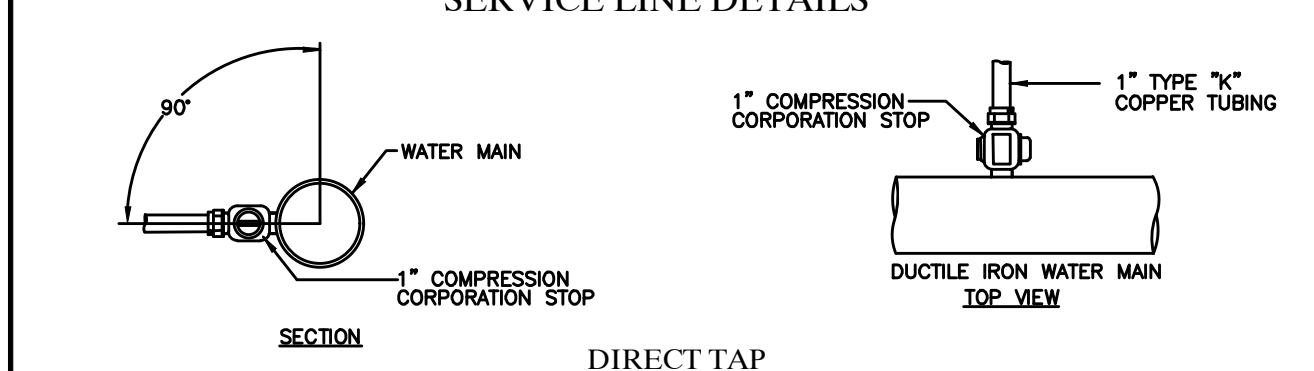


PERMANENT BLOW OFF (4" AND LARGER)



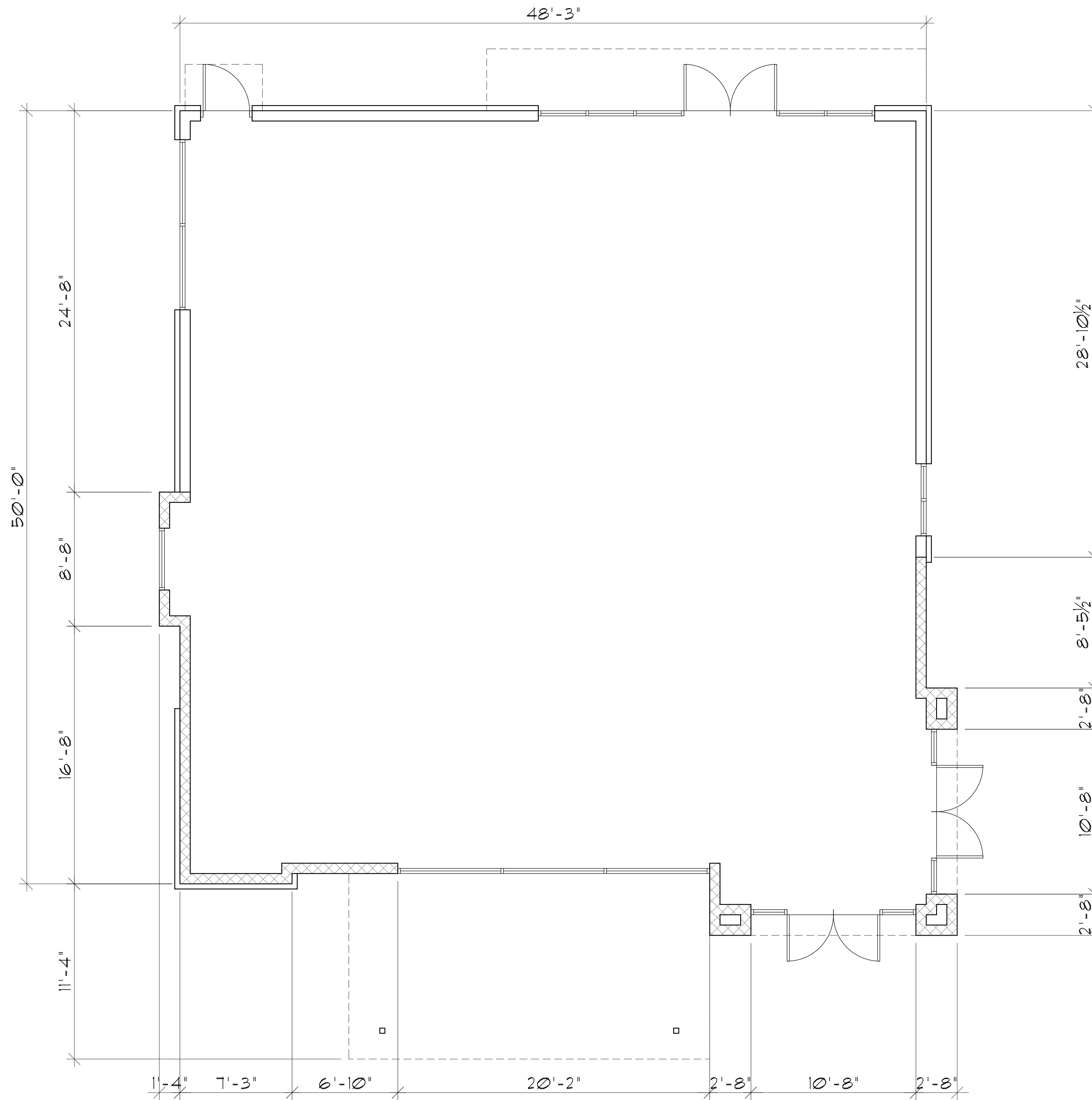
- NOTE:
1. TEMPORARY BLOW-OFFS WILL BE INSTALLED.
2. M.J. PLUG/CAP SHALL BE INSTALLED WHERE APPLICABLE.

SERVICE LINE DETAILS



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FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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WALL LEGEND	
	PARTITIONS FROM FLOOR TO BOTTOM OF ROOF/FLOOR DECK, 3-5/8" MTL. STUDS (SEE CHART FOR GAUGE) W/ MIN. 1/2" GYP. BD. EACH SIDE
	1 HR FIRE RATED PARTITIONS FROM FLOOR BOTTOM OF DECK ABOVE, 3-5/8" MTL. STUDS (SEE CHART FOR GAUGE) 5/8" TYPE X GYP. BD. EACH SIDE - UL 1465
	8" CMU WALL SEE STRUCTURAL DRAWINGS FOR ATTACHMENT TO EXISTING STRUCTURE
	(2) COURSE OF 8" CMU WALL OVER EXISTING PARAPETE SEE STRUCTURAL DRAWINGS FOR ATTACHMENT TO EXISTING STRUCTURE
	EXISTING WALLS & PARTITIONS
	- INTERIOR ELEVATIONS

- NOTES:
- USE MOISTURE RESISTANT GYP BOARD IN ALL WET AREAS.
  - PROVIDE MATERIAL SAMPLES FOR TENANT AND LANDLORD APPROVAL

REVISIONS	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		

PROJECT NO.	DATE
	8-5-2021

FIRST FLOOR PLAN

ALTERATIONS TO A  
BUILDING FOR:  
MECATO'S CAFE  
5645 S. ORANGE AVE  
EDGEWOOD, FLORIDA

AA26002490

**RABITS & ROMANO** ARCHITECTURE PLANNING AND DESIGN

3127 SOUTH ORANGE AVE.  
SUITE 110 ORLANDO, FL 32809

TEL: 407-490-0350  
FAX: 407-252-6000

info@rabits-architect.com  
www.rabits-architect.com

SIGN/SEAL

DATE

SHEET  
10  
OF  
16

Page 36

REVISIONS	DATE	DESCRIPTION
1		
2		
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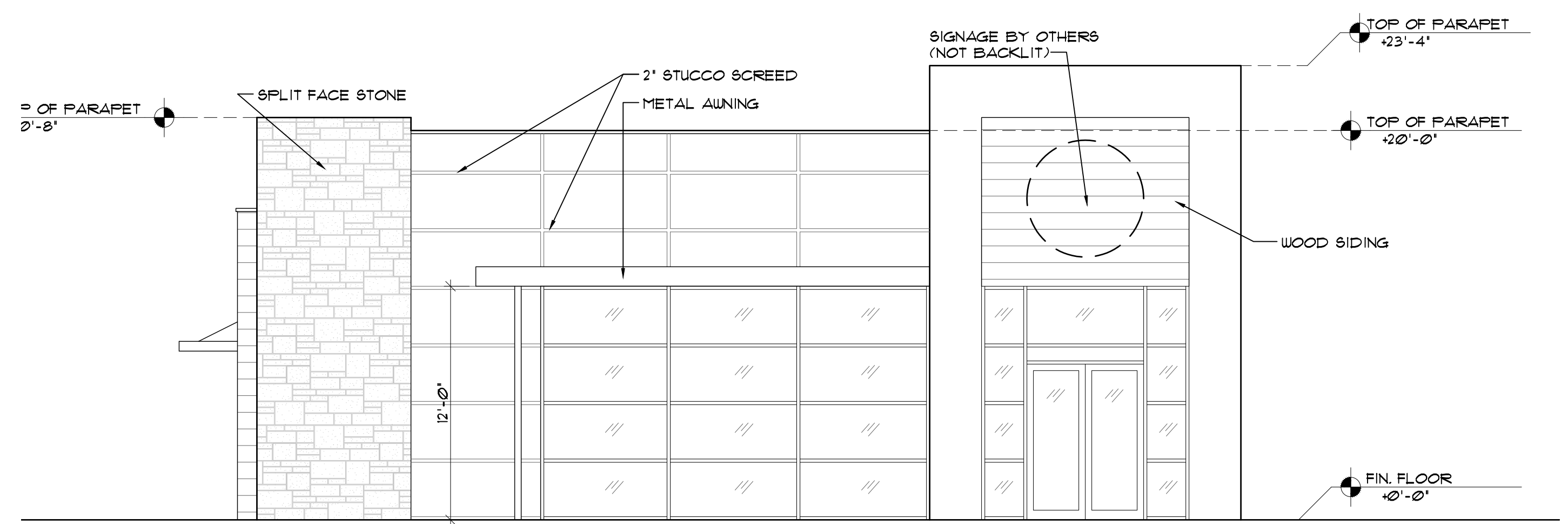
PROJECT NO.	DATE
	8-15-2021

ELEVATIONS

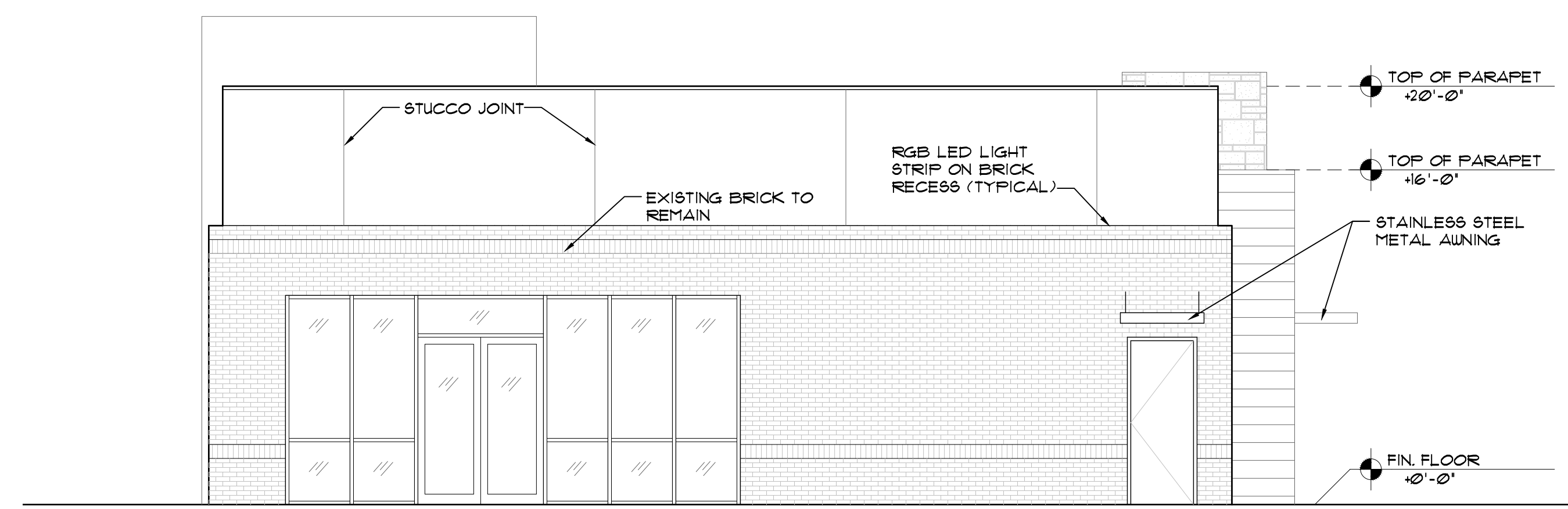
ALTERATIONS TO A  
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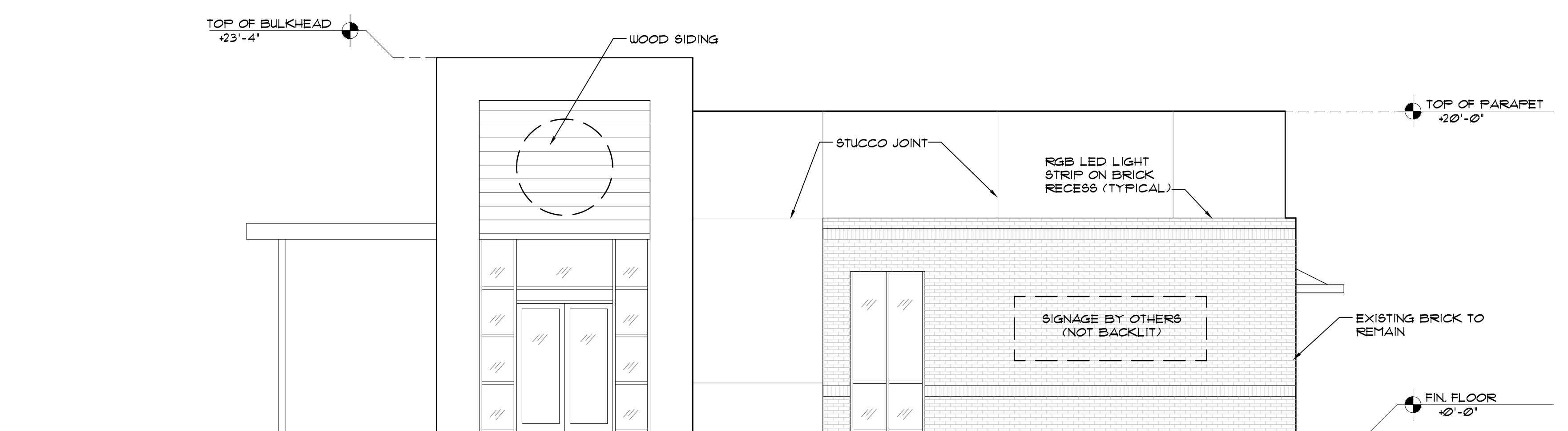
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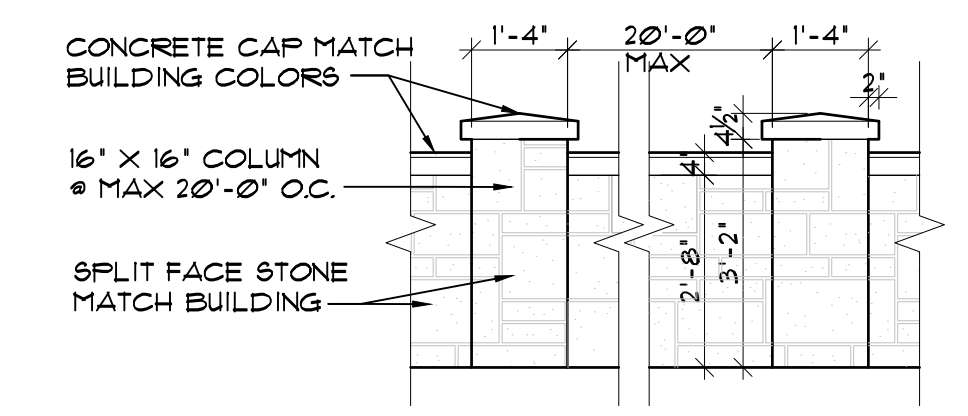
**WEST ELEVATION**  
SCALE: 3/16"=1'-0"



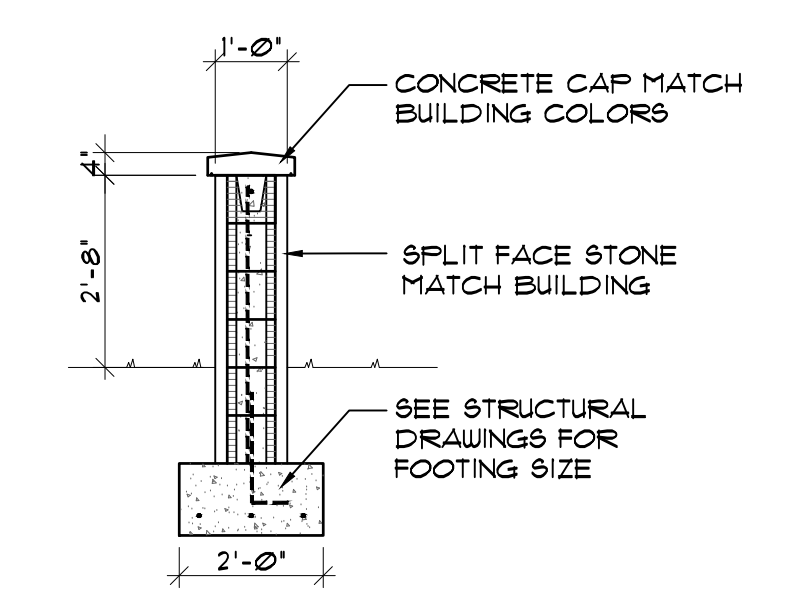
**EAST ELEVATION**  
SCALE: 3/16"=1'-0"



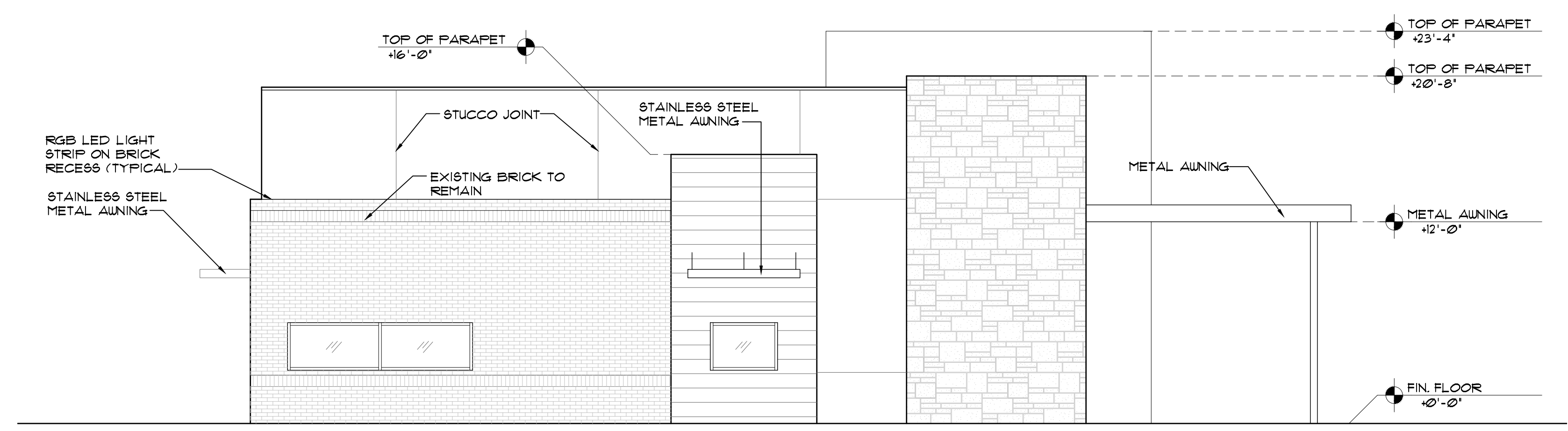
**SOUTH ELEVATION**  
SCALE: 3/16"=1'-0"



**TYPICAL PRIVACY WALL**  
SCALE: NTS



**PRIVACY WALL SECTION**  
SCALE: NTS

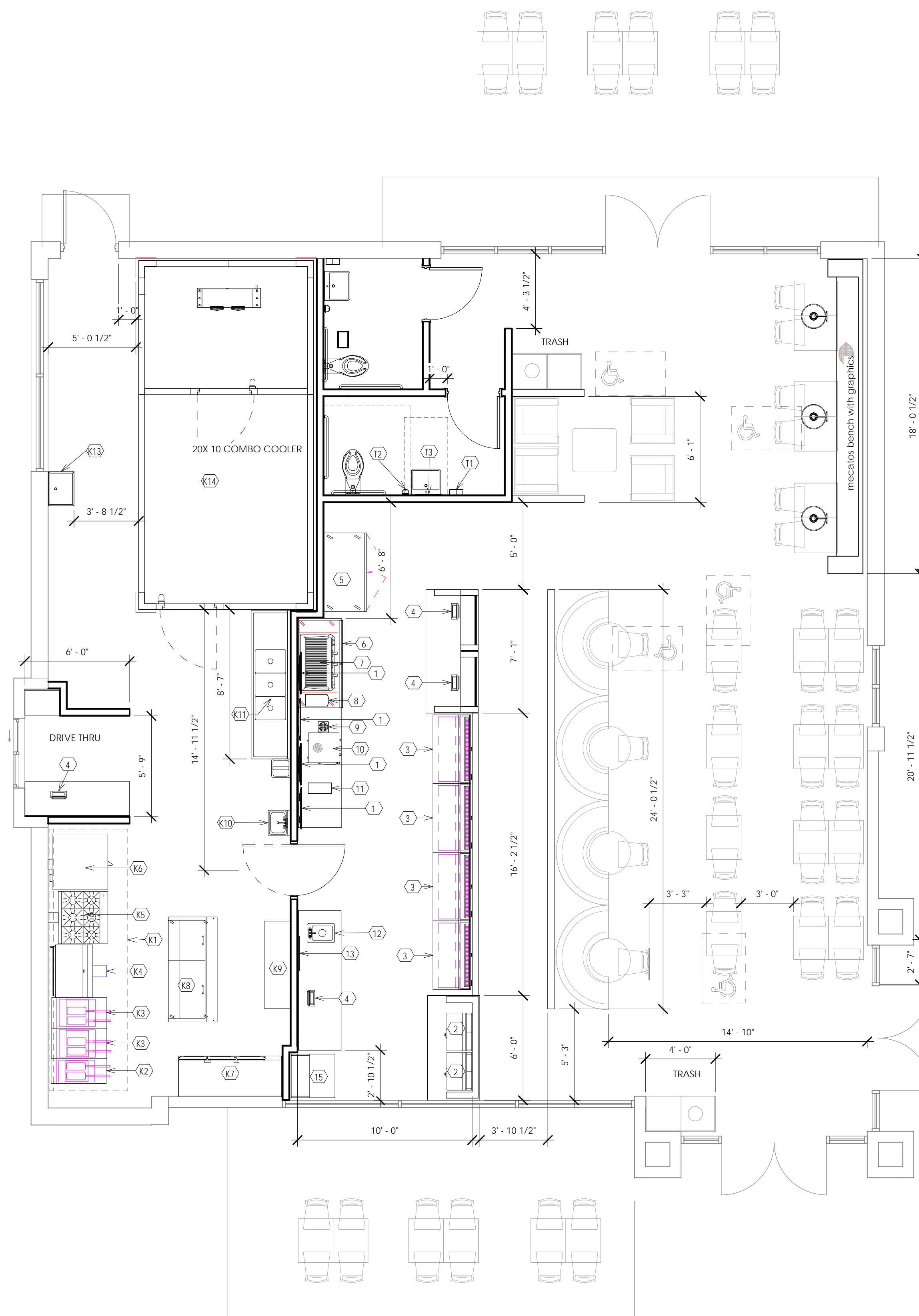


**NORTH ELEVATION**  
SCALE: 3/16"=1'-0"

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**2/27/2022**  
**CITY OF EDGEWOOD**



**1** FIXTURES AND EQUIPMENT PLAN  
 1/4" = 1'-0"

**SPECIALTY EQUIPMENT AND FIXTURES SCHEDULE**

MARK	DESCRIPTION	Phase Created	MANUFACTURER	MODEL	Furnished By	Installed By	COMMENTS
1	FLAT SCREEN MONITOR	New Construction	GENERIC	GENERIC	OWNER	GC	
2	26" Hot Food Merchandiser	New Construction	Vollrath	40733/FMA 7026	OWNER	GC	
3	Display Case, Refrigerated 48"	New Construction	RPI	VIA33-34-R-SL-SC-INS-CAL	OWNER	GC	
4	Touch Panel POS	New Construction	Generic	GENERIC	OWNER	GC	
5	REACH-IN REFRIGERATOR WITH HYDROCARBON REFRIGERANT	New Construction	TRUE FOOD SERVICE EQUIPMENT, INC.	T-49-HC			
6	Undercounter Refrigerator	New Construction	Turbo Air	MUR-60-N	OWNER	GC	
7	ESPRESSO MACHINE	New Construction	NUOVA SIMONELLI	AURELIA WAVE 3 GROUP	OWNER	GC	
8	COFFEE GRINDER	New Construction	NUOVA SIMONELLI	MYIHOS CLIMA PRO GRINDER	OWNER	GC	
9	COUNTER TOP STAINLESS STEEL GLASS RINSER	New Construction	ADVANCE TABCO	SU-16	OWNER	GC	
10	COFFEE BREWER ICB TMM SH	New Construction	BUNN	51200 9997	OWNER	OWNER	
11	BULK COFFEE GRINDER	New Construction	BUNN	G3	OWNER	OWNER	
12	Drop-In Sink	New Construction	Advance Tabco	.			
13	WALL MOUNT TICKET RAIL	New Construction	Eagle Group	354564	OWNER	OWNER	
15	Self Contained Ice Machine	New Construction	Scotsman	CU3030SW_32A	OWNER	GC	
K1	KITCHEN HOOD W/ANSUL SYSTEM	Existing		15'-0" HOOD			
K2	Heavy Duty Gas Fryer	New Construction	AVANTICO	177FF400N	OWNER	GC	
K3	Heavy Duty Gas Fryer	New Construction	AVANTICO	177FF518	OWNER	GC	
K4	36" GAS GRIDDLE	New Construction	COOKING PERFORMANCE GGROUP	351GMCPG36NL	OWNER	GC	
K5	36" Range - 6 Burners	New Construction	COOKING PERFORMANCE GROUP	351536L	OWNER	GC	
K6	Gas Convection Oven Stacked	New Construction	Garland	MCO-GS-10 S	OWNER	GC	
K7	UNDERCOUNTER FREEZER	New Construction	TURBO AIR	JURF-72-N	OWNER	CONTRACTOR	
K8	Sandwich Refrigerated Prep Table 72"	New Construction	AVANTICO	178APT71MHG	OWNER	GC	
K9	Work Table 60 x 18 w/ undershelf	New Construction	Advance Tabco	ELAG-185-X 18"X60"	OWNER	OWNER	
K10	Hand Sink	New Construction	Advance Tabco	7-PS-50			
K11	3 Compartment Sink Existing	New Construction	Existing				
K13	UTILITY SINK	New Construction	BY CONTRACTOR				
K14	20 x 10 WALK IN COOLER FREEZER COMBO	New Construction					
T1	Wall Mounted Hand Dryer	New Construction	Dyson	Dyson Airblade V AB12 White	GC	GC	
T2	SOAP DISPENSER	New Construction	American Specialties, Inc.	GENERIC			
T3	Mirror	New Construction	Generic	Mirror			
T4	Toilet Tissue Dispenser	New Construction	Bradley Corporation	5084			
Z1	Waste Receptacle, 13 Gallon with swing top	New Construction			OWNER	OWNER	

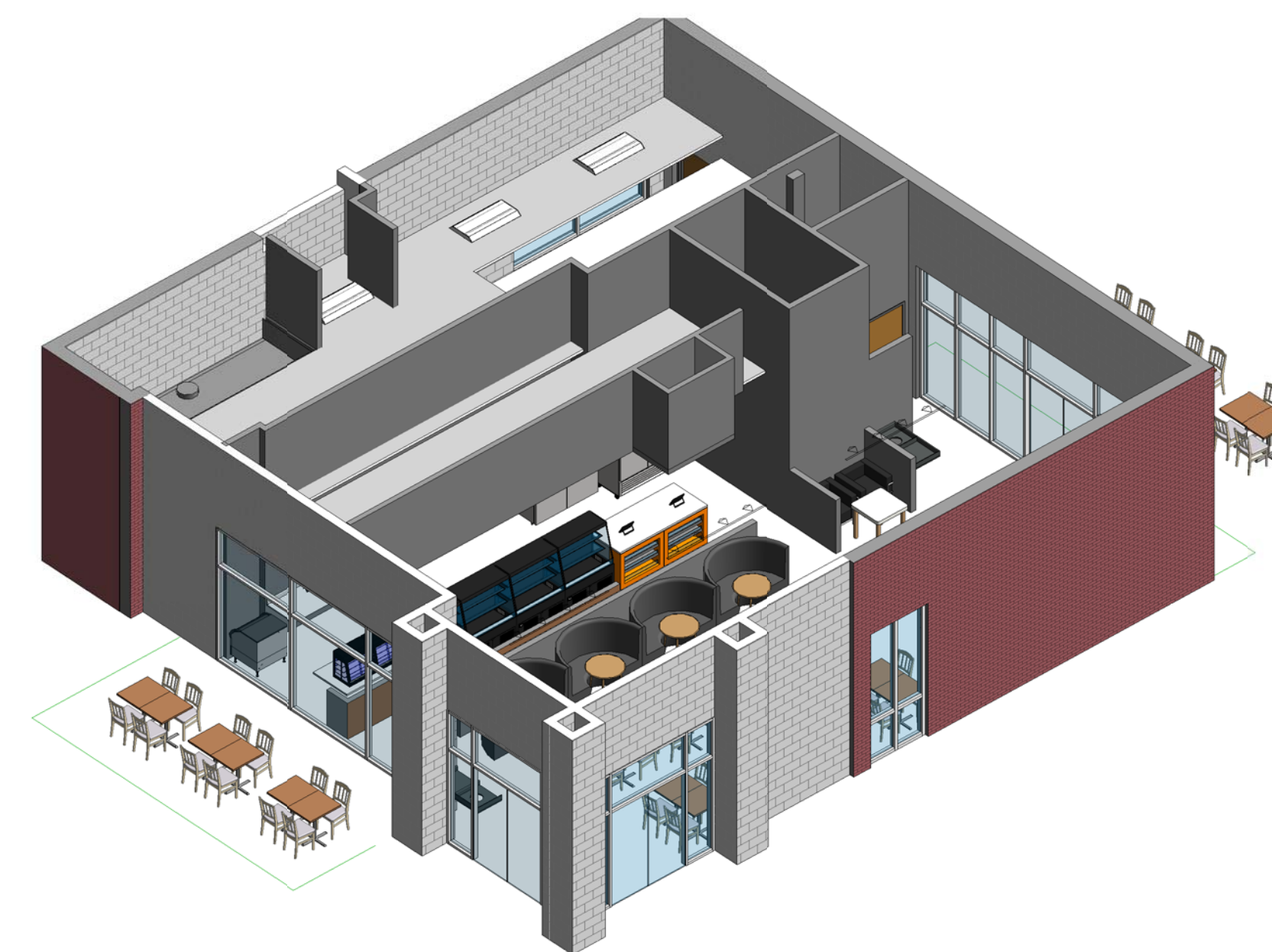
**FURNITURE AND EQUIPMENT NOTES**

- A. KITCHEN EQUIPMENT SHOWN FOR LOCATION ONLY. REFER TO ENGINEERING SHEETS FOR UTILITIES AND CONNECTION REQUIREMENTS. THE CONTRACTOR'S SCOPE WILL INCLUDE: INSTALLING AND CONNECTING THE KITCHEN EQUIPMENT, PROVIDING LOW VOLTAGE WIRING TO P.O.S. STATIONS, DIGITAL MENU BOARDS, AND EQUIPMENT REQUIRING LOW VOLTAGE.
- B. FURNITURE INSTALLED BY THE TENANT'S VENDORS. IT IS THE RESPONSIBILITY OF THE VENDORS TO FIELD VERIFY AND ASSURE THAT A MINIMUM OF 44" CLEAR CORRIDOR AND 36" CLEAR AISLE IS PROVIDED THROUGHOUT.
- C. THE FURNITURE SHALL BE INSTALLED PRIOR TO FIRE FINAL INSPECTION. THE FURNITURE SHALL BE VERIFIED BY THE FIRE MARSHAL FOR OCCUPANCY AND EGRESS.
- D. CONTRACTOR TO INSTALL ALL OWNER PROVIDED MENUS, GRAPHIC BOARDS, AND SIGNS
- E. CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF WIRE MANAGEMENT GROMMETS IN COUNTERS FOR P.O.S. STATIONS

**SEATING COUNT**

INDOOR SEATING	
BOOTHS 4 X4	16
TABLES & CHAIRS 9 X 4	36
SOFT SEATING	4
OUTDOOR SEATING	24
TOTAL SEATING:	80

ADA SEATING LOCATIONS REQUIRED: 5 MIN  
 ADA SEATING LOCATIONS PROVIDED: 5  
 FBC-A 221.2.1.1



**2** (3D)



PROJECT NAME AND ADDRESS

INTERIOR ALTERATION FOR  
 MECATOS BAKERY  
 5648 S ORANGE AVE  
 EDGEWOOD FL

**REVISIONS**

NO	DESCRIPTION	DATE

Project number 001.21  
 Issue Date SEP 30 2021  
 Drawn by REJ  
 Checked by REJ

DESIGN PROFESSIONAL'S SEAL

NAME: R JIMENEZ  
 LICENSE #: ID 4952  
 DATE:

SHEET NAME

**EQ.1**

FIXTURES AND EQUIPMENT PLAN

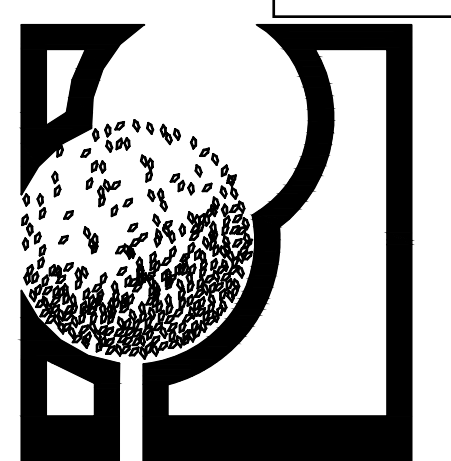








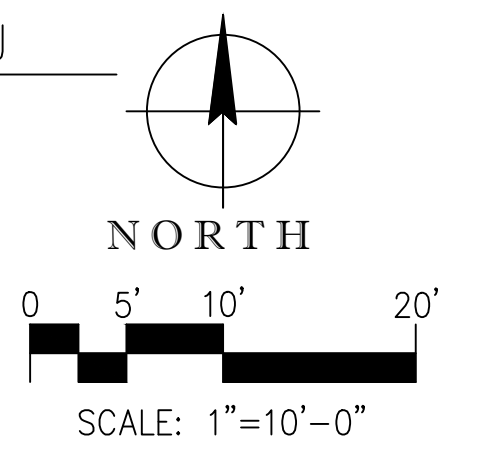




DALE & COMPANY  
651 North Mills Avenue  
Orlando, Florida 32803  
Ph: (407) 894-1317  
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Landscape Architecture Analysis Planning  
FLORIDA  
EDGEWOOD

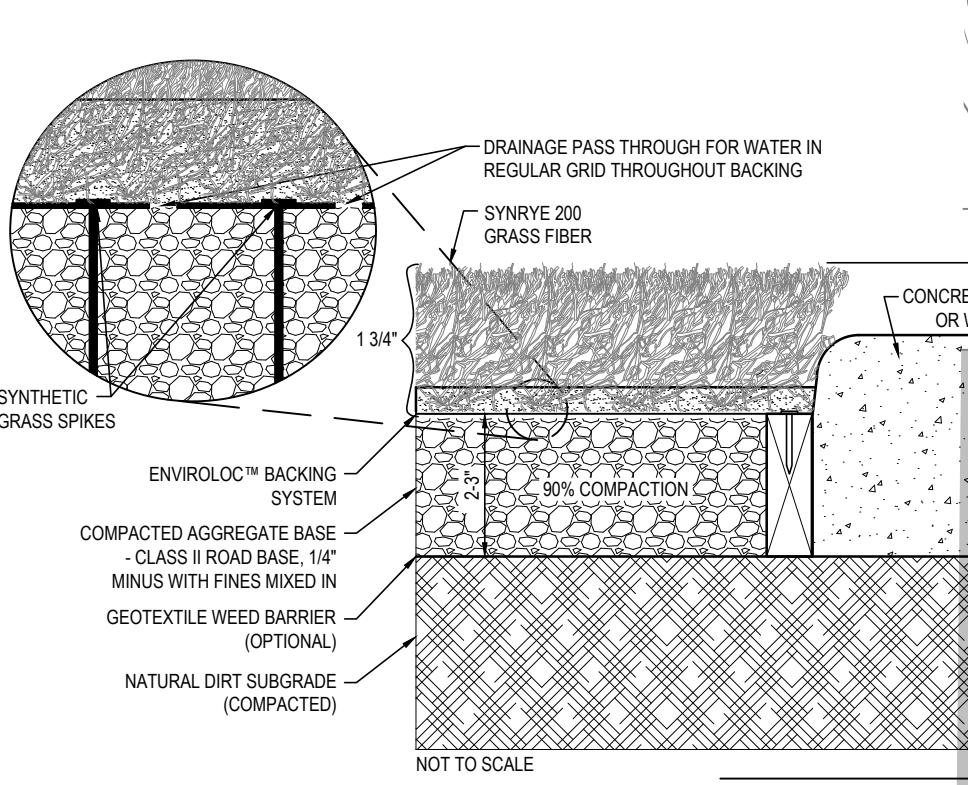
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DRAWN BY: KHD  
CHECKED BY: RCD  
DATE: 08-13-21  
REVISIONS  
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2. 12-17-21  
3. 01-27-22  
4. 02-23-22  
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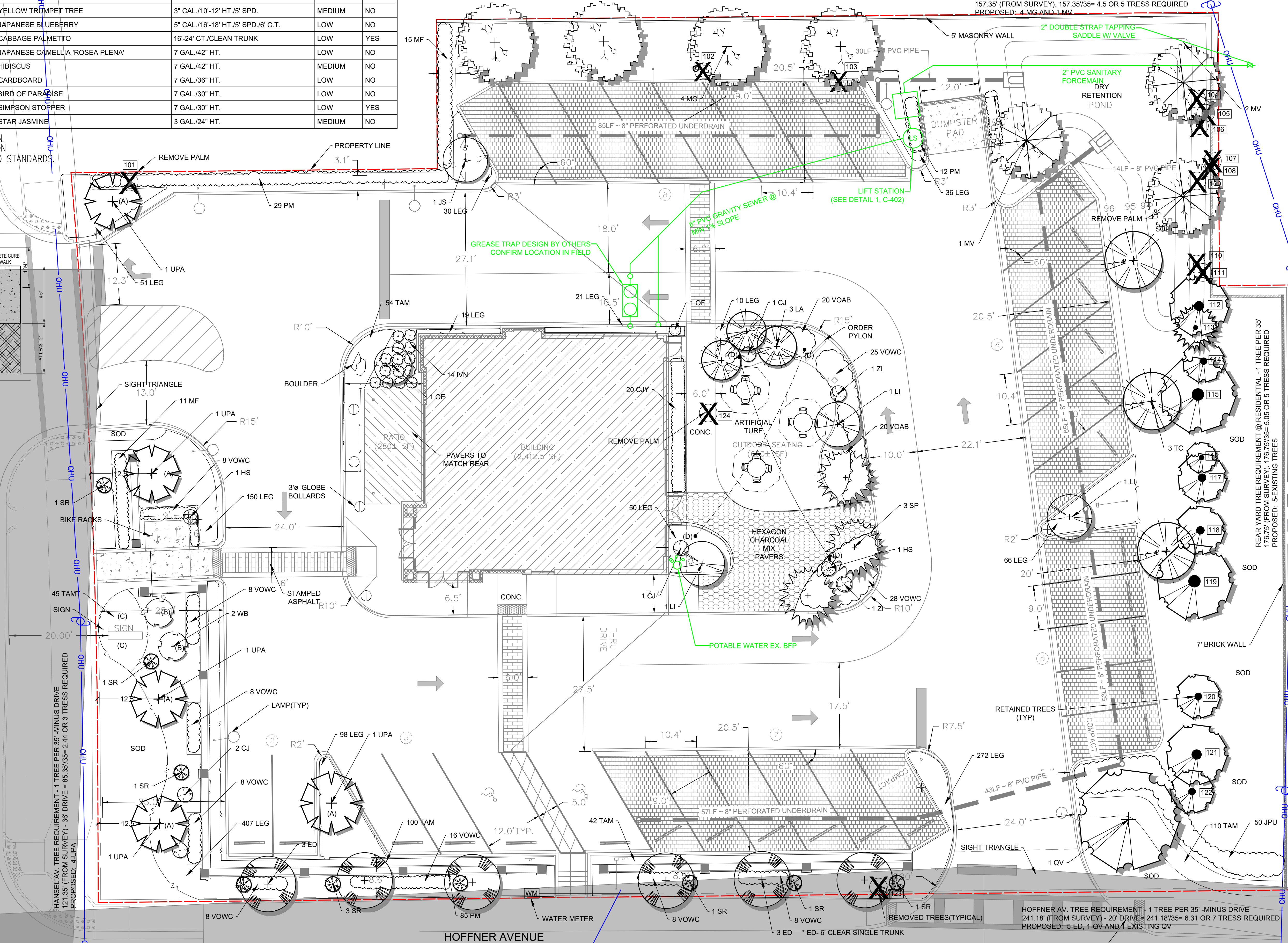
PLANT LIST						
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
QV	1	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	4" DBH/14'-16" HT./5' SPD.	LOW	YES
MG	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA 'MISS CHLOE'	3-1/2" CAL./12'-14" HT./5' SPD.	MEDIUM	YES
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3" CAL./12'-14" HT./5' SPD.	MEDIUM	YES
LA	3	LIVISTONA DECORA	LIVISTONA 'RIBBON PALM'	10'-12'-14" CT./CLEAN TRUNK	MEDIUM	NO
LI	3	LAGERSTROEMIA INDICA 'MUSKOGEE'	CRAPE MYRTLE M.T.	12HT./MT./4' SPD.	MEDIUM	YES
WB	2	WODYETIA BIFURCATA	FOXTAIL PALM	12' CT.	MEDIUM	NO
JS	1	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	3" CAL.	LOW	NO
OE	1	OLEA EUROPEA	OLIVE 'SPECIMEN'	10'-12' HT./6" CAL./SEND PHOTO TO LA	LOW	NO
UPA	5	ULMUS PARVIFOLIA 'ALLEE'	CHINESE ELM 'ALLEE'	3" CAL./12'-14" HT./6' SPD.	LOW	NO
TC	3	TABEBUIA CHRYSOTRICHIA	YELLOW TRUMPET TREE	3" CAL./10'-12' HT./5' SPD.	MEDIUM	NO
ED	6	ELAEOCARPUS DECIPENS 'STANDARD'	JAPANESE BLUEBERRY	5" CAL./16'-18' HT./5' SPD./6' C.T.	LOW	NO
SP	3	SABAL PALMETTO	CABBAGE PALMETTO	16'-24" CT./CLEAN TRUNK	LOW	YES
CJ	4	CAMELLIA JAPONICA	JAPANESE CAMELLIA 'ROSEA PLENA'	7 GAL./42" HT.	LOW	NO
HS	2	HIBISCUS SP.	HIBISCUS	7 GAL./42" HT.	MEDIUM	NO
ZI	2	ZAMIA FURFURACEA	CARDBOARD	7 GAL./36" HT.	LOW	NO
SR	9	STRLITZA REG.	BIRD OF PARADISE	7 GAL./30" HT.	LOW	NO
MF	26	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	7 GAL./30" HT.	LOW	YES
JPU	50	JASMINUM PUBESCENS	STAR JASMINE	3 GAL./24" HT.	MEDIUM	NO

PLANT LIST						
KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER USE	NATIVE
IVN	14	ILEX VOMITORIA	YAUPON HOLLY	3 GAL./30" HT.	LOW	YES
CJY	20	CLEYERA JAPONICA	CLEYERA	7 GAL./36" HT.	MEDIUM	NO
VOAB	40	VIBURNUM AWABUKI	MIRROR LEAF VIBURNUM	7 GAL./36" HT.	LOW	NO
VOVC	125	VIBURNUM OBOVATUM	WHORLED CLASS VIBURNUM	15"-18" HT./30" OC.	LOW	NO
PM	126	PODOCARPUS MACROPHYLLUS	MAKI PODOCARPUS	30" HT./30" OC.	MEDIUM	NO
LEG	1210	LIRIOPE MUSCARI	EVERGREEN GIANT LIRIOPE	1 GAL./18" HT.	MEDIUM	NO
TAM	306	TRACHELOSPERMUM ASIATICUM	MINIMA ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
TAMT	45	TRACHELOSPERMUM ASIATICUM 'TRICOLOR'	TRICOLOR ASIATIC JASMINE	1 GAL./7 RUNNERS	LOW	NO
SOD		ST. AUGUSTINE SOD 'FLORATAM'	SOD ALL DISTURBED AREAS	AS REQUIRED		

NOTE: SEE LOW VOLTAGE SLEEVES ON THE IRRIGATION PLAN.  
NOTE: SOD ALL BARE AREAS CAUSED DURING CONSTRUCTION  
NOTE: PLANT SPEC. SHALL CONFORM TO FL.#1 GRADES AND STANDARDS.



Call before you dig  
FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION  
Sunshine State One Call  
www.callsunshine.com  
1-800-432-4770



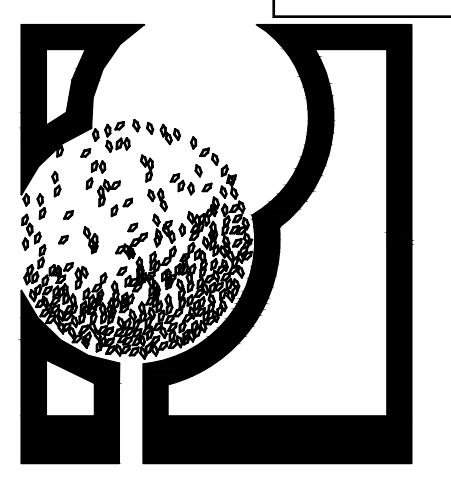
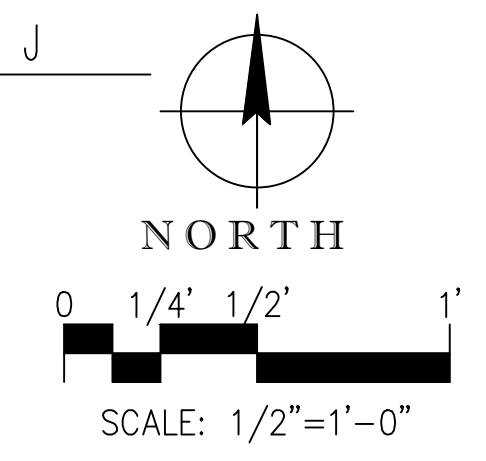
SIDE YARD TREE REQUIREMENT @ RESIDENTIAL - 1 TREE PER 35' 157.35' (FROM SURVEY). 157.35/35= 4.5 OR 5 TRESS REQUIRED PROPOSED: 4 MG AND 1 MV

REAR YARD TREE REQUIREMENT @ RESIDENTIAL - 1 TREE PER 35' 176.75' (FROM SURVEY). 176.75/35= 5.05 OR 5 TRESS REQUIRED PROPOSED: 5 EXISTING TREES

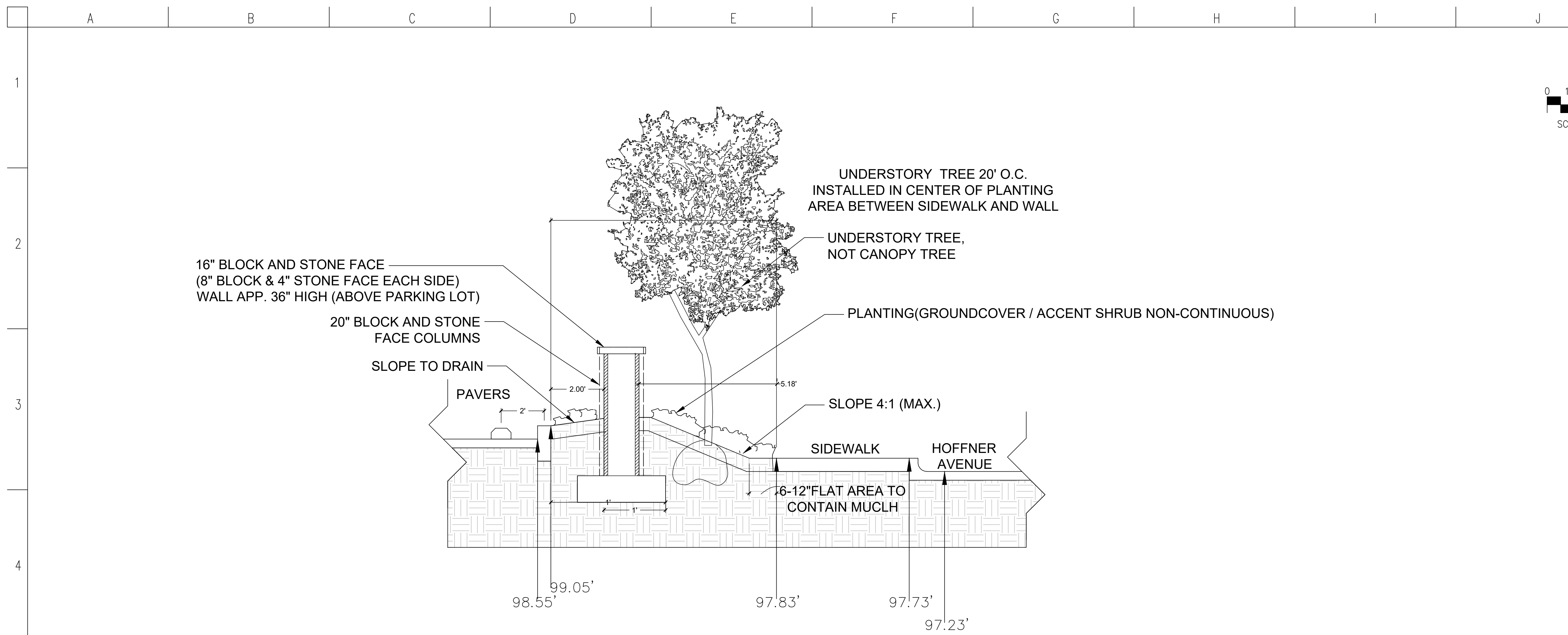
HOFFNER AV. TREE REQUIREMENT - 1 TREE PER 35' - MINUS DRIVE 241.18' (FROM SURVEY) - 20' DRIVE = 241.18/35= 6.31 OR 7 TRESS REQUIRED PROPOSED: 5-ED, 1-QV AND 1 EXISTING QV

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**DALE & COMPANY**  
 Landscape Architecture Analysis Planning  
 651 North Mills Avenue  
 Orlando, Florida 32803  
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 Fax: (407) 894-8986



**TREE DISPOSITION TABLE**

Tree No.	Description	DBH	Remove	Remain	Notes	Condition	Replacement Minimum Requirements	Proposed Replacement
101	Sabal Palm	18	Yes				None	16-24' CT Sabal Palm
102	Sycamore	15	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
103	Sycamore	26	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
104	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Sweetbay Magnolia, 12-14' Ht. 5' Spr.
105	Oak	16	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Allee Elm 12-14' Ht.-6' Spr.
106	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
107	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
108	Oak	5	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3.5" Cal. Miss Chloe Magnolia, 12-14' Ht. 5' Spr.
109	Palm	10	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
110	Oak	8	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
111	Oak	7	Yes				15 gal. 1-1/2" Cal. @ 3' HT, 8' HT	3" Cal. Yellow Trumpet Tree, 10-12' Ht. 5' Spr.
112	Oak	22		Yes	Specimen			
113	Palm	6		Yes				
114	Oak	13		Yes				
115	Oak	27		Yes	Historic			
116	Oak	5		Yes				
117	Oak	18		Yes	Specimen			
118	Oak	18		Yes	Specimen			
119	Oak	27		Yes	Historic			
120	Oak	5		Yes				
121	Hickory	22		Yes	Specimen			
122	Oak	16		Yes				
123	Oak	19	Yes		Specimen		6" Cal. @ 3' HT, 18' HT	6" Cal. Specimen Olive 10-12' Ht.
124	Palm	14	Yes				None	16-24' CT Sabal Palm

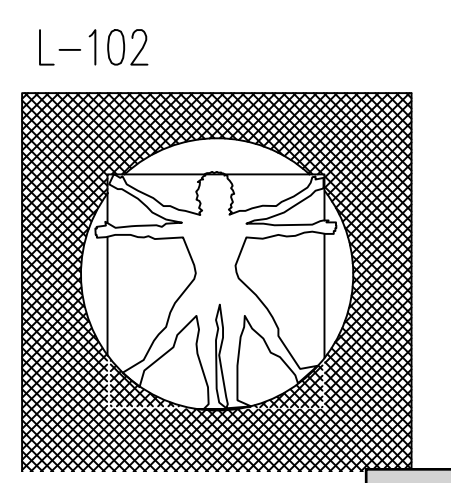
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**2/27/2022**  
**CITY OF EDGEWOOD**



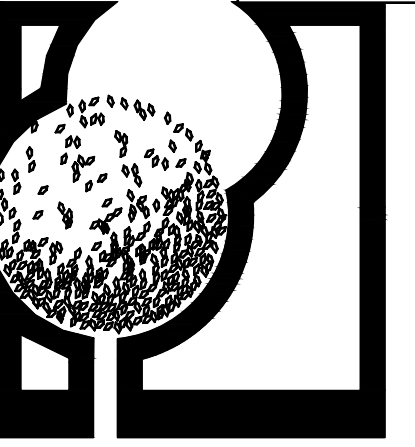
LANDSCAPE SITE PLAN FOR  
**Mecatots Cafe**  
 FLORIDA  
 EDGEWOOD

DESIGNED BY: RCD  
 DRAWN BY: KHD  
 CHECKED BY: RCD  
 DATE: 01-25-22

- REVISIONS
- 1.
  - 2.
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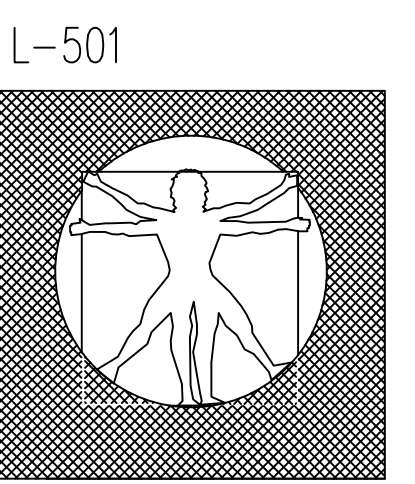


**DALE & COMPANY**  
651 North Mills Avenue  
Orlando, Florida 32803  
Pl: (407) 894-1317  
Fax: (407) 894-8986  
Landscape Architecture Analysis Planning

LANDSCAPE DETAILS & SPECIFICATIONS FOR  
**Mecatos Cafe**  
EDGEWOOD FLORIDA

DESIGNED BY: RCD  
DRAWN BY: KHD  
CHECKED BY: RCD  
DATE: 08-13-21

REVISIONS  
1.  
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**SECTION 02900 LANDSCAPE  
PART ONE - GENERAL**

**1.0 SUMMARY**

- A. All portions of Division 1 - General Requirements are included with this section.
- B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein.
- C. Avoid conditions which will create hazards. Post signs or barriers as required.
- D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
- E. Plant materials are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
- F. Comply with all federal, state and local regulations.
- G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
- H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

**1.1 RELATED SECTIONS; SECTION 02810 IRRIGATION**

**1.2 REFERENCES**

- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
- B. Grades and Standards for Nursery Plants, Florida Department of Agriculture, Part II 1998
- C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.1-1986)
- D. Hortus Third, Liberty Hyde Bailey Hortorium 1976.
- E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

**1.3 SUBMITTALS**

- Provide to Owner's representative during:
  - A. Preconstruction
    - 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
    - 2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and Owner's representative.
  - B. Construction
    - 1. Plant inspection certificates and shipping invoices as requested.
    - 2. All fertilizer labels and notarized letter of conformance with these specifications.
  - C. Contract Close-out
    - 1. Two sets as-built record documents (red-line prints).
- 1.4 QUALITY ASSURANCE
  - A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
  - B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
  - C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

**1.5 MAINTENANCE**

- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
- B. Maintenance consists of pruning, cultivation, edgingbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
- C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.
- 1.6 REPLACEMENTS
  - A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
  - B. Replacement period commences at Date of Substantial Completion and continues as follows:
    - a. Trees - one (1) year
    - b. Shrubs - ninety (90) days
    - c. Sod - ninety (90) days
    - d. Other Products - one (1) year
- Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
- C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

**3.3 INSTALLATION**

- A. Topsoil
  - Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
- B. Rough Grading
  - 1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor).
  - 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
- C. Final Grading
  - 1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
  - 2. Dig out weeds by the roots.
  - 3. Till in soil amendments such as lime, iron, or gypsums if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

**PART TWO - PRODUCTS**

**2.0 MATERIALS**

- A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
- B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan), neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall bear the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.

**D. Fertilizer**

- 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
- 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.

**E. Peat**

- Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
  - 1. 1 gallon plants - 1/8 cubic feet
  - 2. 3 gallon plants - 1 cubic feet
  - 3. Trees - 1/2 cubic foot per foot of height

**F. Herbicide**

- "Seflan" or "Preen" pre-emergent.
  - 1. Apply as needed to bring soil into optimum growth range for specified plants.
  - 2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.

**H. Plants**

- 1. Measured standing in natural form of the size indicated on "plant list" and grade "Florida No 1" unless otherwise indicated.
- 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
- 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
- 4. Form shall be symmetrical or typical for species and variety.
- 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
- 6. Trees having rootballs wrapped with synthetic burlap will be rejected.

**I. Mulch**

- Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.

**2.1 EQUIPMENT**

- Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.

**2.2 MIXES**

- A. Planting Mixture
  - 1. Use the best natural soil existing on site, combined with fertilizer.

**PART THREE - EXECUTION**

**3.0 EXAMINATION**

- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
- B. Review engineering drawings for additional information.
- C. Coordinate work with Owner and other related trades.
- D. Relocate existing plant material as directed by landscape architect, and according to drawings.

**3.1 PROTECTION**

- Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.

**3.2 PREPARATION**

- Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

**D. Planting Pits**

- Excavate to dimensions shown on plan.

**E. Plant Installation**

- 1. Do not crack or break soil away from root ball.
- 2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously grown.
- 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
- 4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
- 5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.

**F. Sod Installation**

- 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
- 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.

**G. Stake and Guy**

- Stake and guy .as per plan.

**H. Fertilize**

- Fertilize evenly at following rates:
  - 1. Tablet Fertilizer
    - 1 gallon plant - 1 tablet
    - 2 gallon plant - 1 to 2 tablets
    - 5 gallon plant - 2 to 3 tablets
    - Trees - 1 tablet per foot of height
  - 2. Granular Fertilizer
    - Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.

**I. Prune**

- Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.

**J. Herbicide**

- Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.

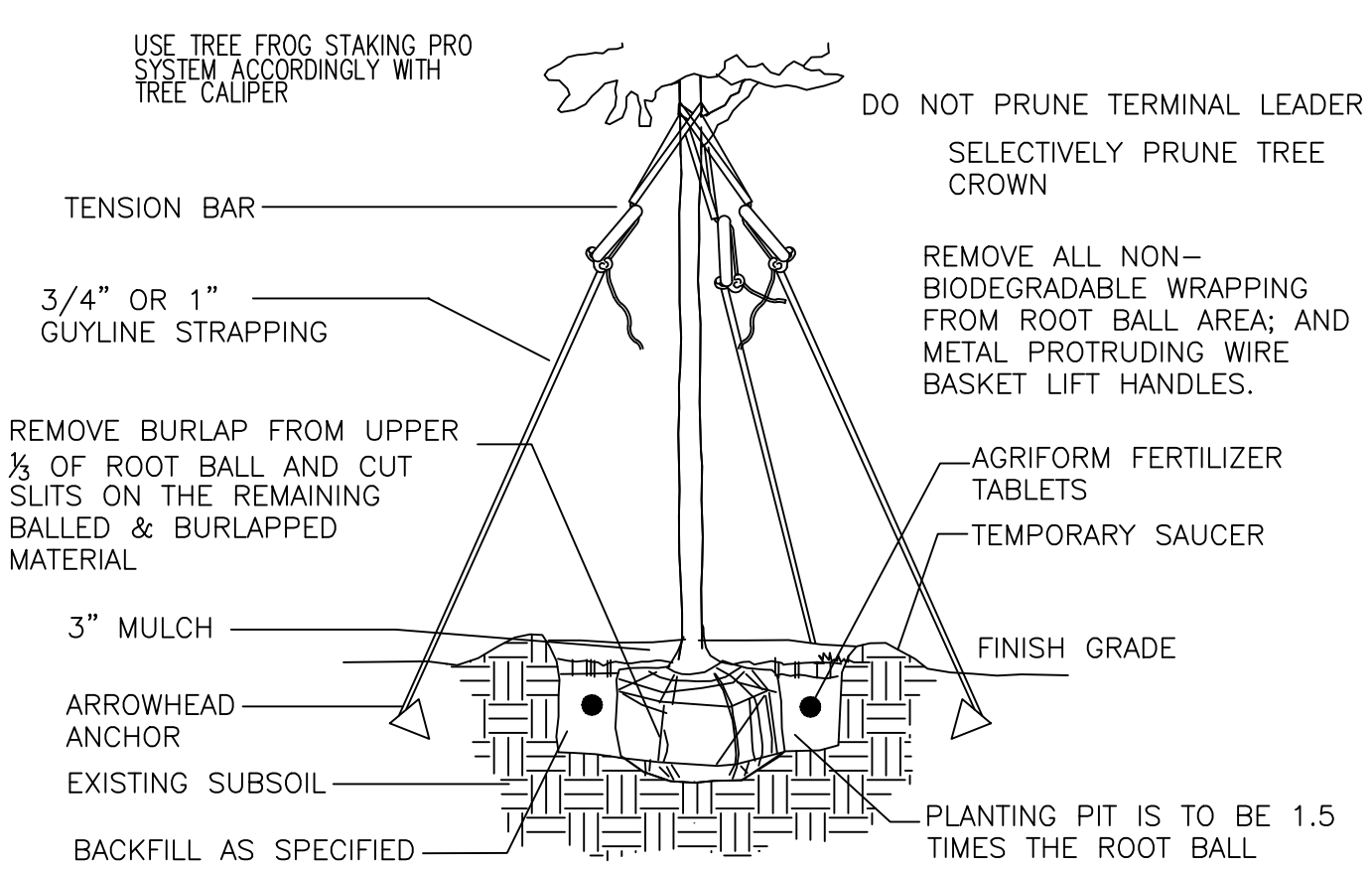
**K. Mulch**

- Spread to a uniform depth of 2" min. Fluff and pat in place.

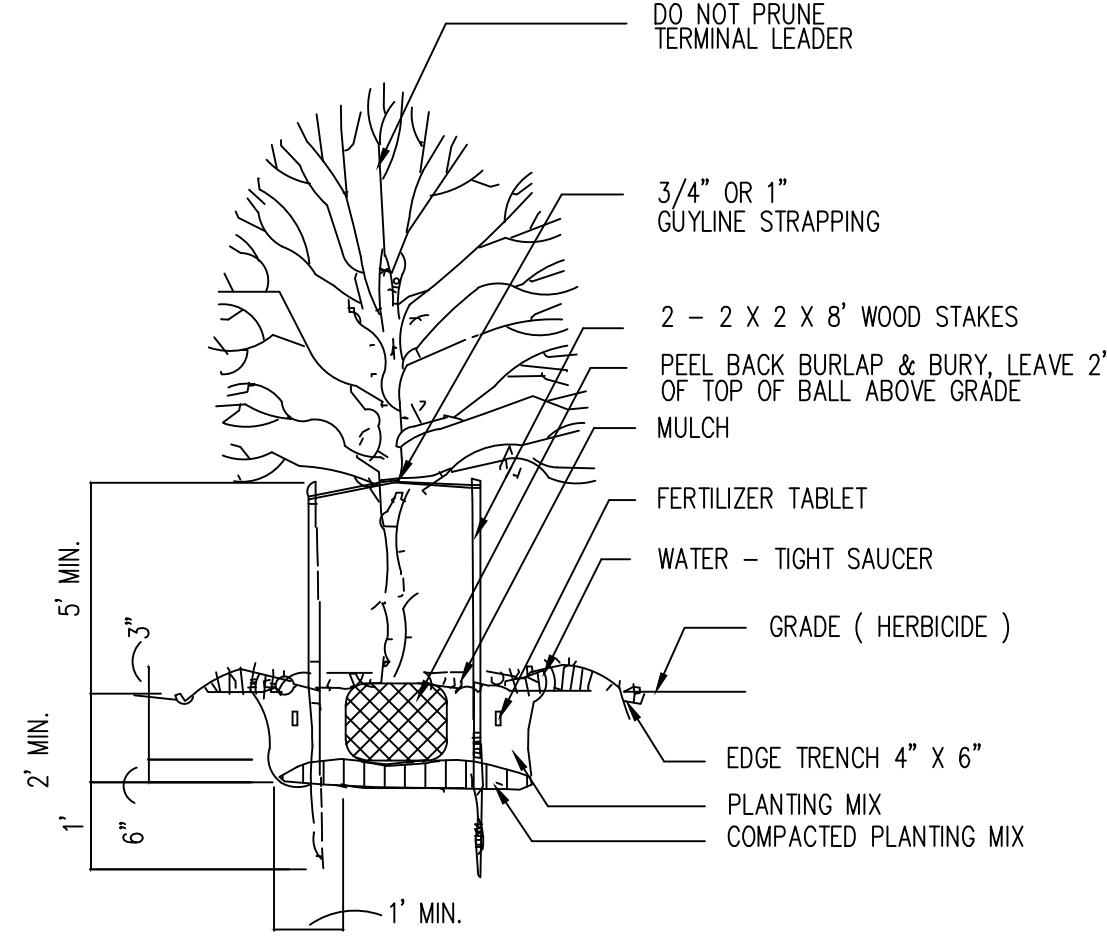
**3.4 FIELD QUALITY CONTROL**

- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
- B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

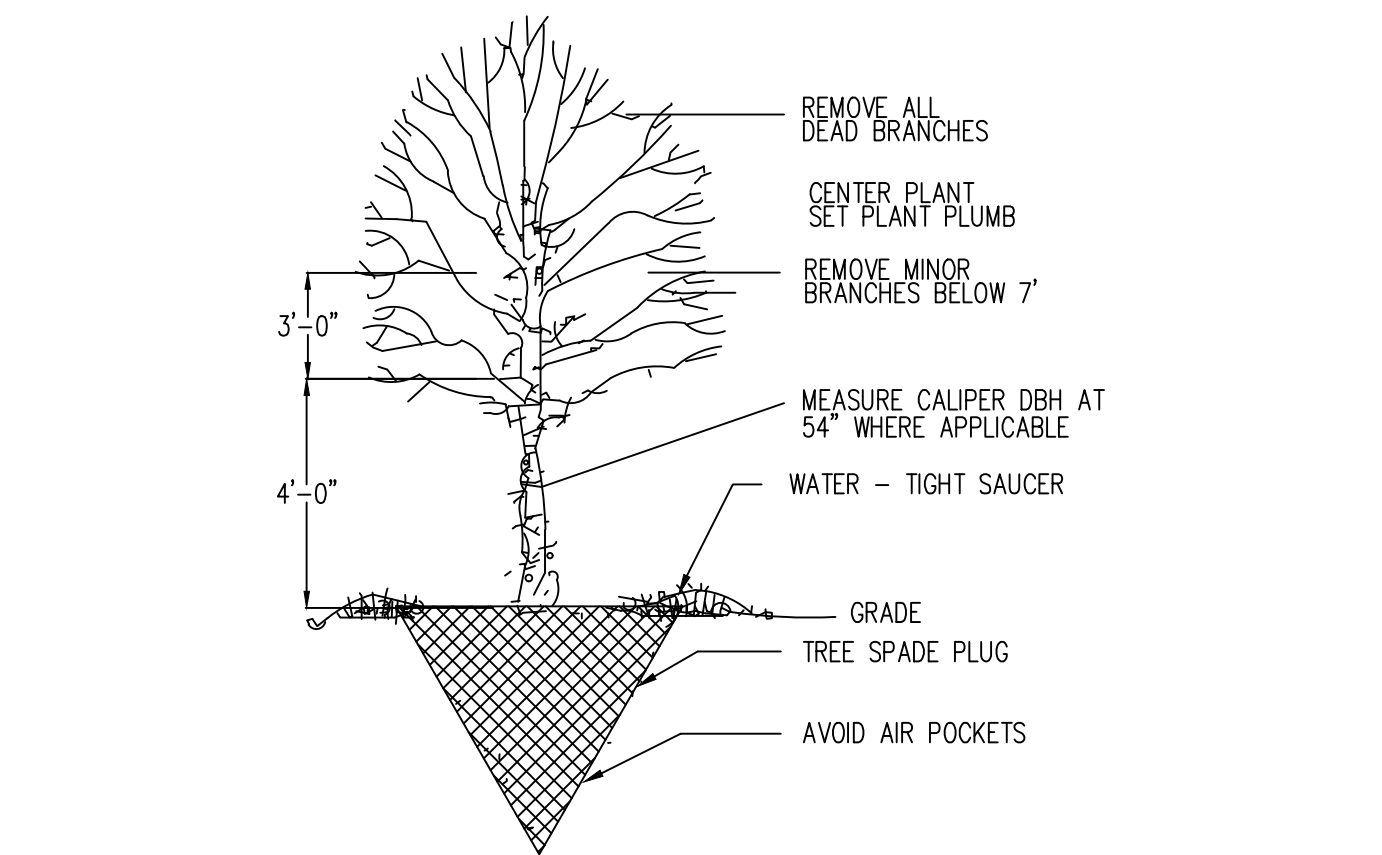
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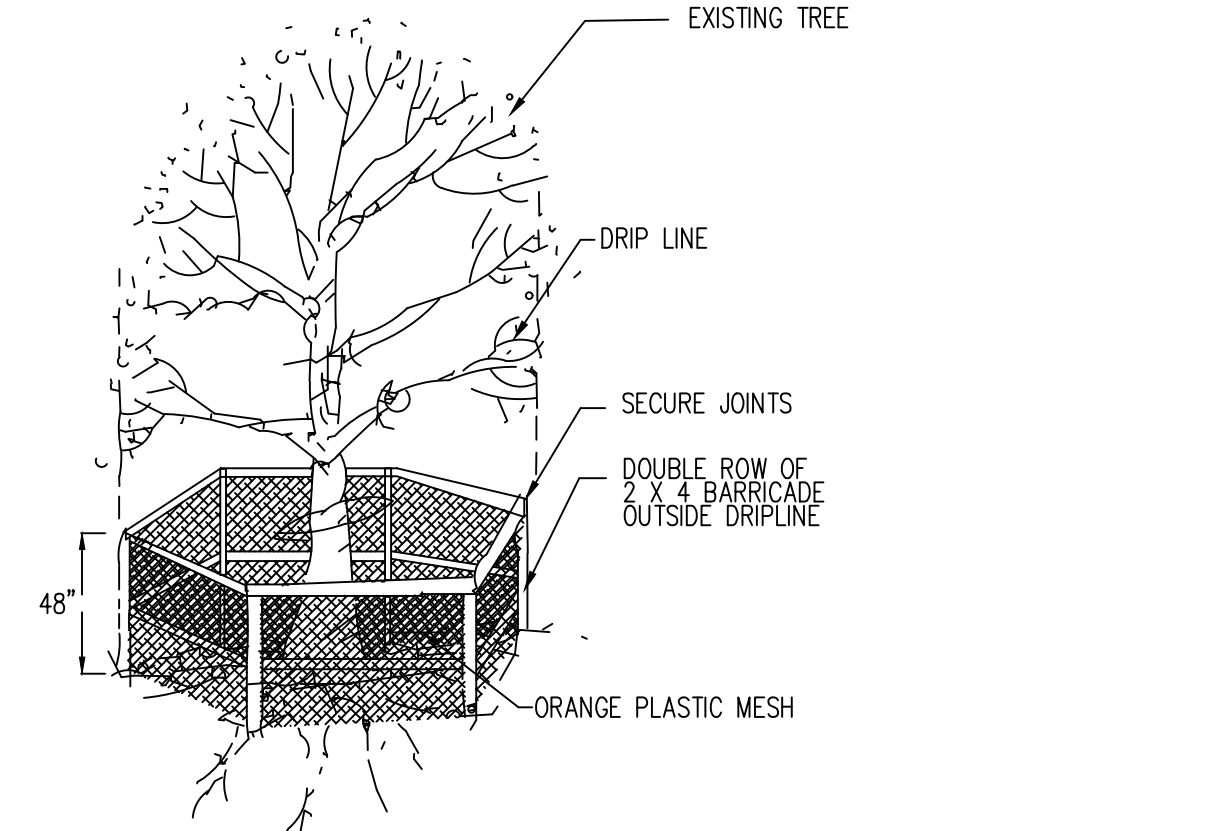
**TREE STAKING DETAIL**  
CONTAINER OR BALL & BURLAP : 3 1/2" CAL. > NO SCALE



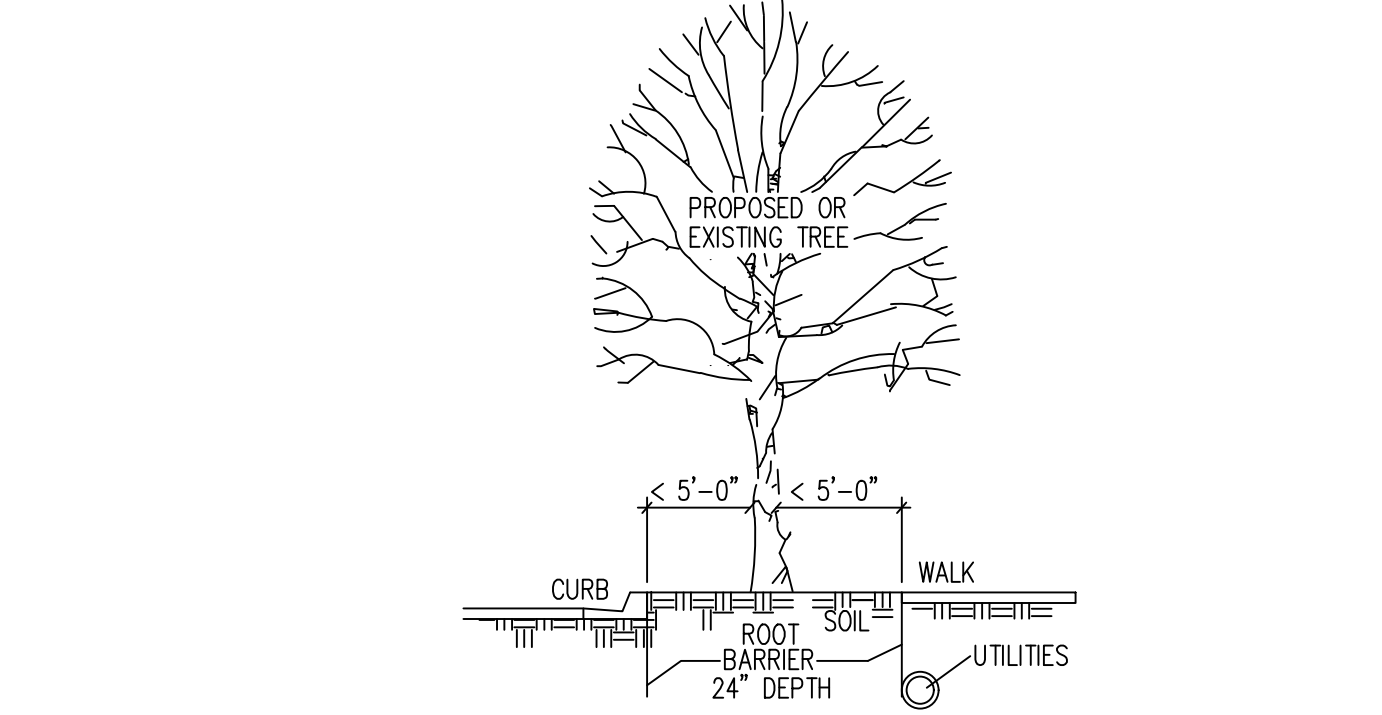
**TREE DETAIL** NO SCALE



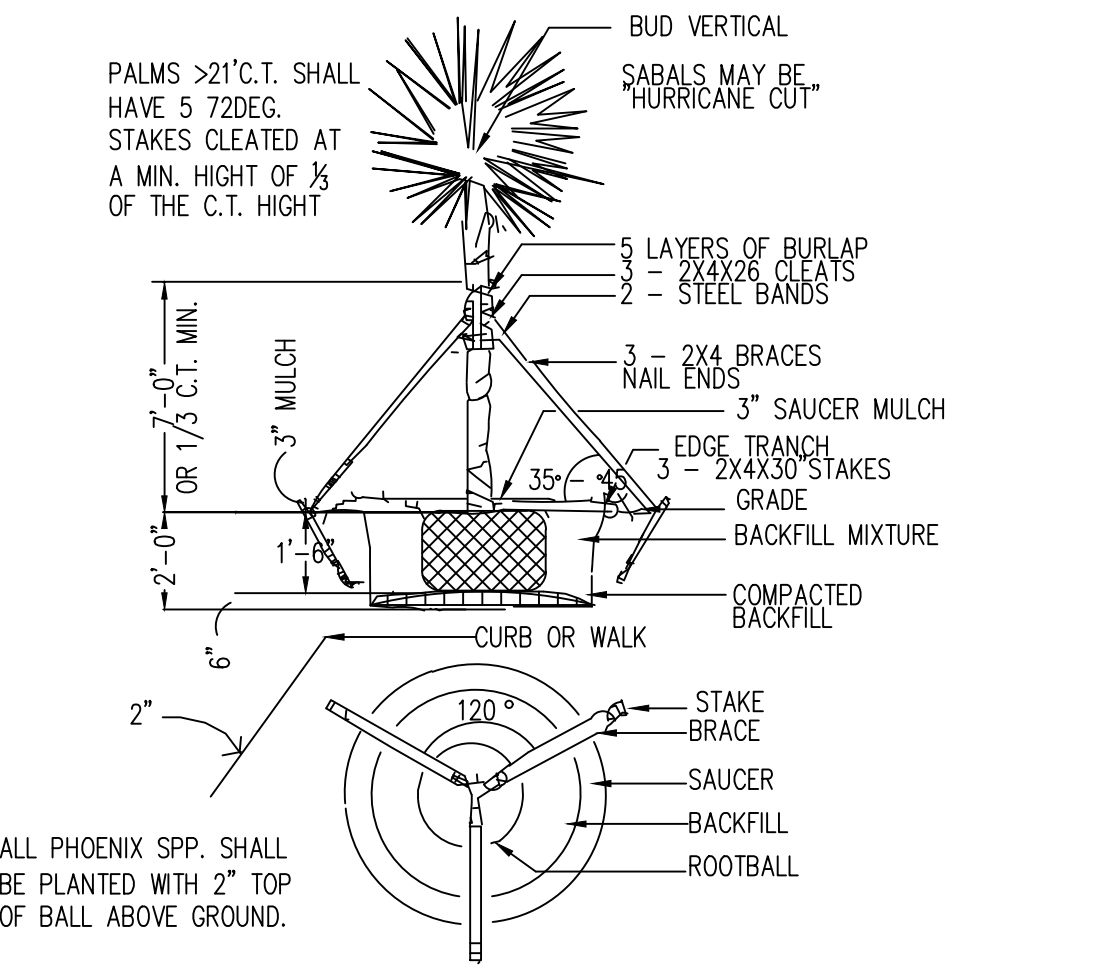
**TREE TRANSPLANT DETAIL** NO SCALE



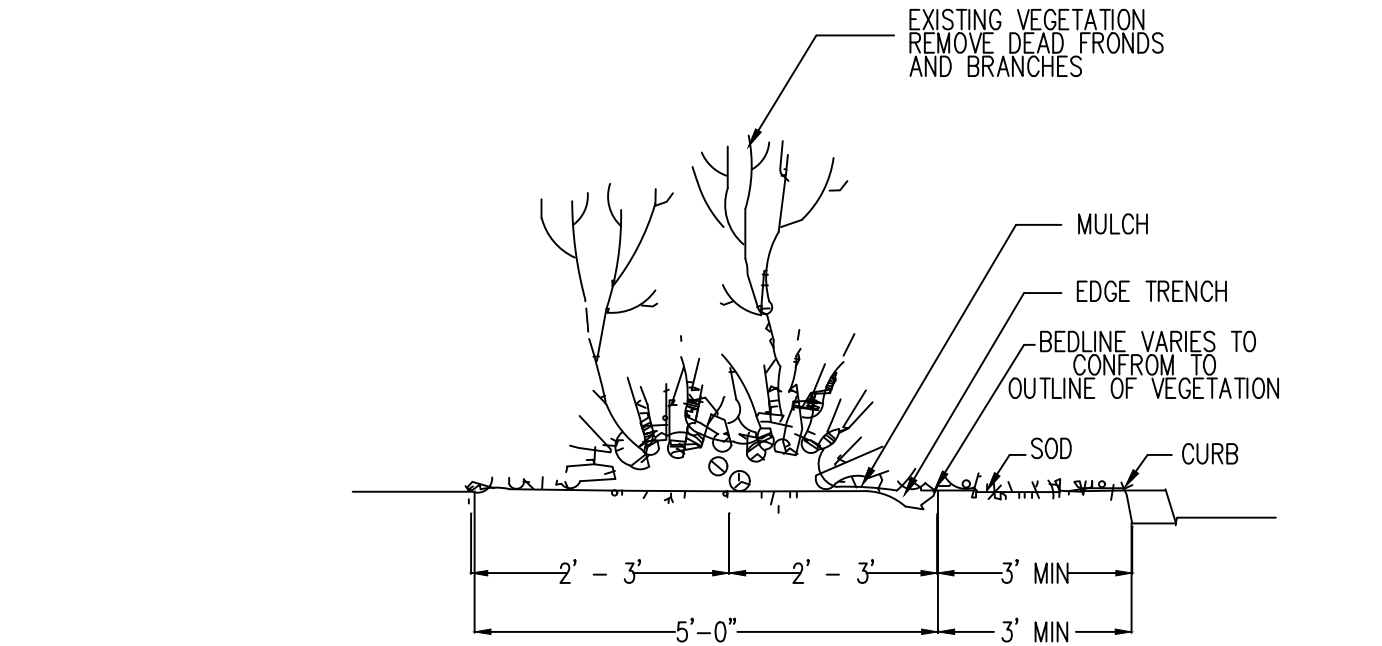
**TREE PROTECTION** NO SCALE  
NOTE: FEEDER ROOTS ARE NEAR SURFACE  
DEEP ROOTS ARE SUPPORT ROOTS



**ROOT BARRIER DETAIL** NO SCALE



**PALM BRACING DETAIL** NO SCALE  
ALL PHOENIX SPP. SHALL BE PLANTED WITH 2\"/>



**SOD DETAIL** NO SCALE

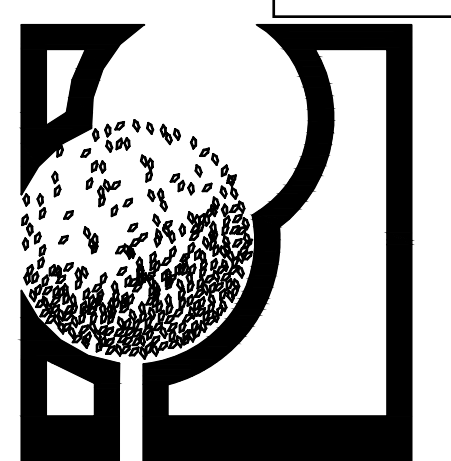
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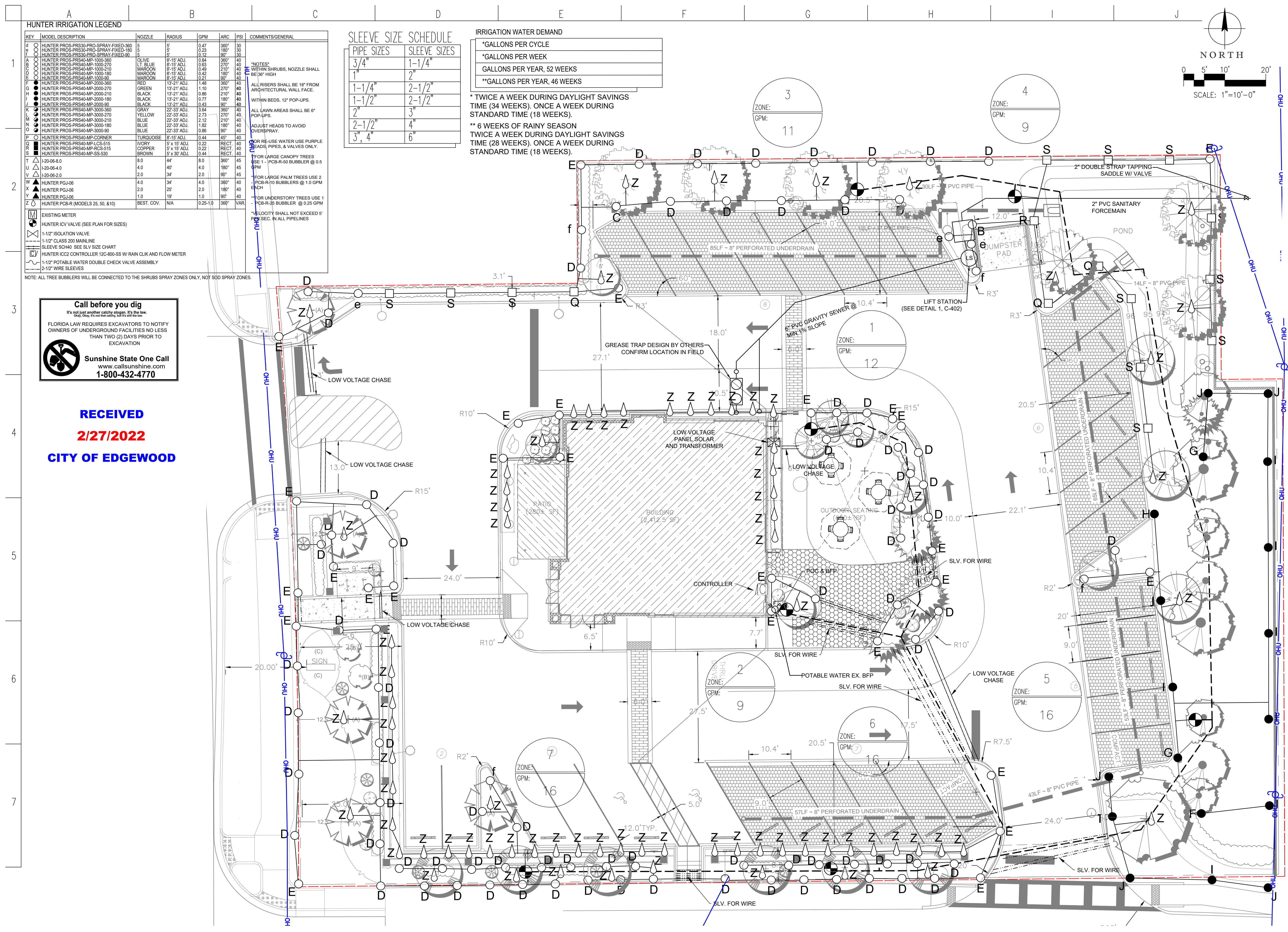
DALE & COMPANY  
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Fax: (407) 894-8986  
651 North Mills Avenue  
Orlando, Florida 32803

FLORIDA  
ORLANDO  
Landscape Architecture Analysis Planning

IRRIGATION SITE PLAN FOR  
**Mecatons Cafe**

DESIGNED BY: KHD  
DRAWN BY: KHD  
CHECKED BY: RCD  
DATE: 09-09-21

REVISIONS  
1. 11-05-21  
2. 12-17-21  
3. 01-27-22  
4. 02-23-22  
5.  
6.



**HUNTER IRRIGATION LEGEND**

KEY	MODEL DESCRIPTION	NOZZLE	RADIUS	GPM	ARC	PSI	COMMENTS/GENERAL
H	HUNTER PROS-PRS30-PRO-SPRAY-FIXED-360	S	0	0.47	360°	30	
I	HUNTER PROS-PRS30-PRO-SPRAY-FIXED-180	S	0	0.23	180°	30	
J	HUNTER PROS-PRS30-PRO-SPRAY-FIXED-90	S	0	0.12	90°	30	
A	HUNTER PROS-PRS40-MP-1000-360	OLIVE	8'-15" ADJ.	0.84	360°	40	
B	HUNTER PROS-PRS40-MP-1000-270	LT. BLUE	8'-15" ADJ.	0.63	270°	40	
C	HUNTER PROS-PRS40-MP-1000-210	MAROON	8'-15" ADJ.	0.49	210°	40	
D	HUNTER PROS-PRS40-MP-1000-180	MAROON	8'-15" ADJ.	0.42	180°	40	
E	HUNTER PROS-PRS40-MP-1000-90	MAROON	8'-15" ADJ.	0.21	90°	40	
F	HUNTER PROS-PRS40-MP-2000-360	RED	13'-21" ADJ.	1.48	360°	40	
G	HUNTER PROS-PRS40-MP-2000-270	GREEN	13'-21" ADJ.	1.10	270°	40	
H	HUNTER PROS-PRS40-MP-2000-210	BLACK	13'-21" ADJ.	0.86	210°	40	
I	HUNTER PROS-PRS40-MP-2000-180	BLACK	13'-21" ADJ.	0.77	180°	40	
J	HUNTER PROS-PRS40-MP-2000-90	BLACK	13'-21" ADJ.	0.43	90°	40	
K	HUNTER PROS-PRS40-MP-3000-360	GRAY	22'-33" ADJ.	3.64	360°	40	
L	HUNTER PROS-PRS40-MP-3000-270	YELLOW	22'-33" ADJ.	2.73	270°	40	
M	HUNTER PROS-PRS40-MP-3000-210	BLACK	22'-33" ADJ.	2.12	210°	40	
N	HUNTER PROS-PRS40-MP-3000-180	BLUE	22'-33" ADJ.	1.82	180°	40	
O	HUNTER PROS-PRS40-MP-3000-90	BLUE	22'-33" ADJ.	0.86	90°	40	
P	HUNTER PROS-PRS40-MP-CORNER	TURQUOISE	8'-15" ADJ.	0.44	45°	40	
Q	HUNTER PROS-PRS40-MP-RCS-515	COPPER	5' x 15" ADJ.	0.22	RECT.	40	
R	HUNTER PROS-PRS40-MP-SS-530	BROWN	5' x 30" ADJ.	0.44	RECT.	40	
T	I-20-06-8.0	8.0	44"	8.0	360°	45	
V	I-20-06-4.0	4.0	40"	4.0	180°	45	
W	I-20-06-2.0	2.0	34"	2.0	90°	45	
X	HUNTER PG-06	4.0	34"	4.0	360°	40	
Y	HUNTER PG-06	2.0	25"	2.0	180°	40	
Z	HUNTER PG-06	1.0	19"	1.0	90°	40	
AA	HUNTER PCB-R (MODELS 25, 50, & 10)	BEST. COV.	N/A	0.25-1.0	360°	VAR.	

**NOTES:**  
 \*ALL RISERS SHALL BE 18" FROM ARCHITECTURAL WALL FACE.  
 \*BE 90" HIGH.  
 \*WITHIN SHRUBS, NOZZLE SHALL BE 90" HIGH.  
 \*ALL LAWN AREAS SHALL BE 6" POP-UPS.  
 \*WITHIN BEDS, 12" POP-UPS.  
 \*ADJUST HEADS TO AVOID OVERSPRAY.  
 \*OR RE-USE WATER USE PURPLE HEADS, PIPES, & VALVES ONLY.  
 \*FOR LARGE CANOPY TREES USE 1 - PCB-R-50 BUBBLER @ 0.5 GPM.  
 \*FOR LARGE PALM TREES USE 2 PCB-R-10 BUBBLERS @ 1.0 GPM EACH.  
 \*FOR UNDERSTORY TREES USE 1 PCB-R-5 BUBBLER @ 0.25 GPM.  
 \*VELOCITY SHALL NOT EXCEED 5' PER SEC. IN ALL PIPELINES.

**SLEEVE SIZE SCHEDULE**

PIPE SIZES	SLEEVE SIZES
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3", 4"	6"

**IRRIGATION WATER DEMAND**

*GALLONS PER CYCLE
*GALLONS PER WEEK
GALLONS PER YEAR, 52 WEEKS
*GALLONS PER YEAR, 46 WEEKS

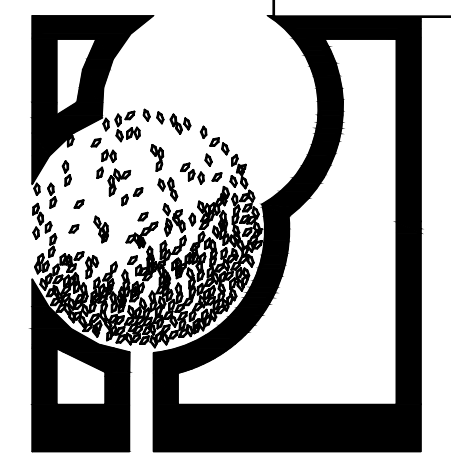
\* TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (34 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).  
 \*\* 6 WEEKS OF RAINY SEASON TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (28 WEEKS), ONCE A WEEK DURING STANDARD TIME (18 WEEKS).

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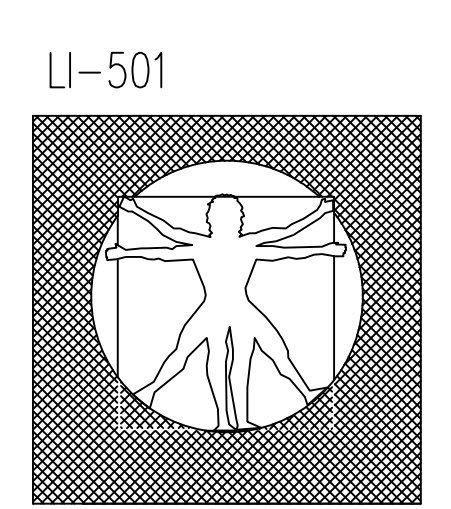


**DALE & COMPANY**  
 651 North Mills Avenue  
 Orlando, Florida 32803  
 Ph: (407) 894-1317  
 Fax: (407) 894-8986

IRRIGATION DETAILS & SPECIFICATIONS FOR  
**Mecatos Cafe**  
 EDGWOOD FLORIDA  
 Landscape Architecture Analysis Planning

DESIGNED BY: RCD  
 DRAWN BY: KHD  
 CHECKED BY: RCD  
 DATE: 09-09-21

REVISIONS  
 1.  
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 3.  
 4.  
 5.  
 6.



**SECTION 02810**  
**IRRIGATION SYSTEMS**  
**PART ONE - GENERAL**

- 1.0 SUMMARY**  
 A. All portions of Division 1 - General Requirements are included with this section.  
 B. Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.

- 1.1 RELATED SECTIONS:** section 02900 landscape planting  
**1.2 TOLERANCE**  
 A. Install sprinkler heads where indicated by symbol.  
 B. Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.

- 1.3 SUBMITTAL**  
 A. Submit two bound folders containing:  
 1. Written operating instructions for all components.  
 2. Complete parts list and manufacturer's data.  
 3. Copy of work completion report.  
 4. Written maintenance instructions.  
 5. Provide 2 sets as-built record drawings with the following items dimensioned to the nearest foot:  
 a. Sprinkler main lines  
 b. Water source  
 c. Control valves  
 d. Gate valve  
 e. Electric control wire path (Red-line prints).  
 B. Products furnished but not installed:  
 1. 2 extra heads of each type and size  
 2. 2 extra nozzles of each type and size  
 3. 2 extra head wrenches for each type of head  
 4. 1 extra valve box with lid  
**1.4 COORDINATE WORK WITH OWNER AND OTHER TRADES**  
 A. A Licensed electrician will install/provide power to the controller, pump, or fountain if utilized on project.

- 1.5 QUALITY ASSURANCE**  
 A. Contractor is expected to participate in preconstruction meeting with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.  
 B. Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish "Date of Substantial Completion", and advise Owner as to system operation.

- 1.6 WARRANTIES**  
 A. Contractor will be fully responsible for system operation until Date of Substantial Completion.  
 B. Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.  
 C. See to the fulfillment of all manufacturer's warranties.

**PART TWO - PRODUCTS**  
**2.0 MATERIALS**  
 Backfill shall be free from stone, trash, or other debris.

- 2.1 MANUFACTURED UNITS**  
 A. Automatic electro-mechanical controller fully installed and operating.  
 B. Electric valve installed in valve box.  
 C. Valve box with lid manufactured by "Amtek" or "Brooks".  
 D. Connection for control wires manufactured by "Pentite" or "3M" installed as per manufacturer's directions, and above grade in valve boxes.  
 E. Gate valves shall be brass and installed in valve box.  
 F. Automatic drain valves shall be installed in 1 cubic foot gravel.

- 2.2 COMPONENTS**  
 A. Control wire shall be direct burial # 14, type UF. Tape to underside of main every 10 feet. Install spare ground wire + 5 extra wires.  
 B. Main line shall be class 200 PVC (ANSI/ASTM D2241).  
 C. Lateral lines shall be class 160 PVC minimum (ANSI/ASTM 02241).  
 D. Sleeve at all road and drive crossings shall be class 200 PVC.  
 E. All pipe, connectors and misc. fittings for the meter and check valve assembly will be galvanized.  
 F. All electrical work will conform to year construction N.E.C.

**PART THREE - EXECUTION**  
**3.0 EXAMINATION**  
 Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.

- 3.1 PROTECTION**  
 A. Locate identify, and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.  
 B. Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.  
 C. Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's expense, as directed.

- 3.2 PREPARATION**  
 A. Surface Preparation. Stake out each run of pipes, each head, and each valve.  
 B. Test control wire for continuity before unreeling for installation.

- 3.3 INSTALLATION**  
 A. Keep pipe interior clean and dry at all times.  
 B. Ensure a square cut at all joints and ream ends to a smooth finish, inside and out.  
 C. Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.  
 D. Support all pipe with clean, compact soil.  
 E. Backfill and compact to original soil.  
 F. Set heads plumb and flush with top of sod or mulch.  
 G. For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.

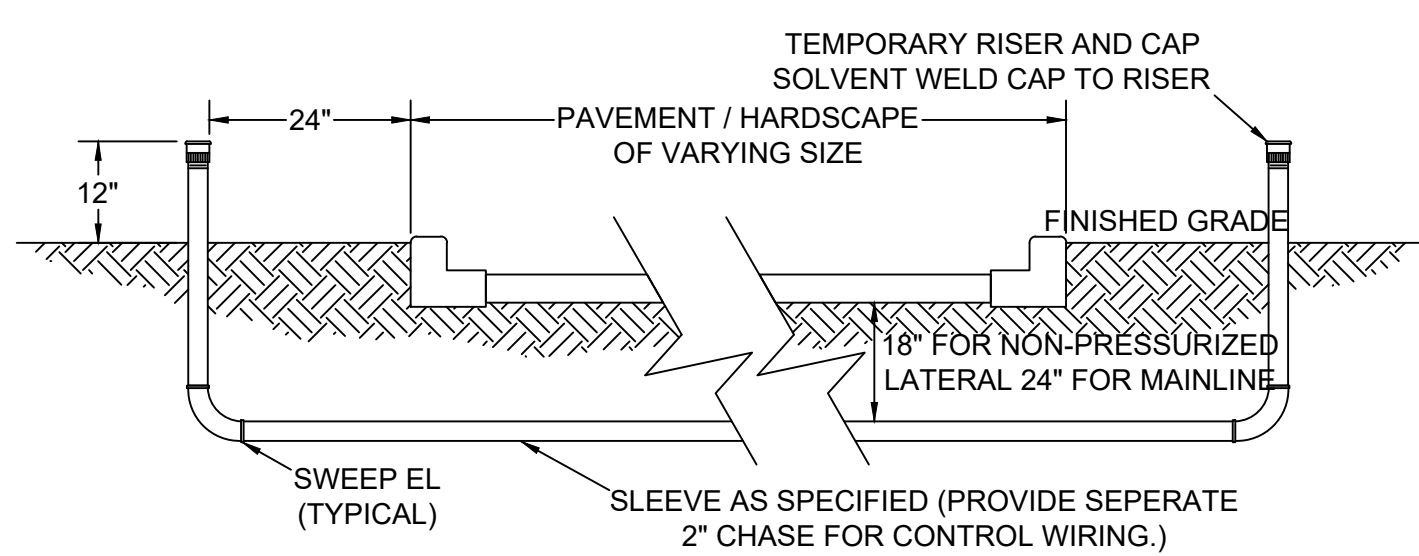
- 3.4 TOLERANCES**  
 A. Main line and drive crossings shall have 18 inches minimum cover.  
 B. Lateral lines shall have 12 inches minimum cover.  
 C. All heads shall be 4 inches minimum from walks, drives, or curbs.  
 D. All pop-up heads and valve boxes shall be installed with top flush with grade.  
 E. All heads shall be installed plumb.

- 3.5 FIELD TESTS**  
 Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.

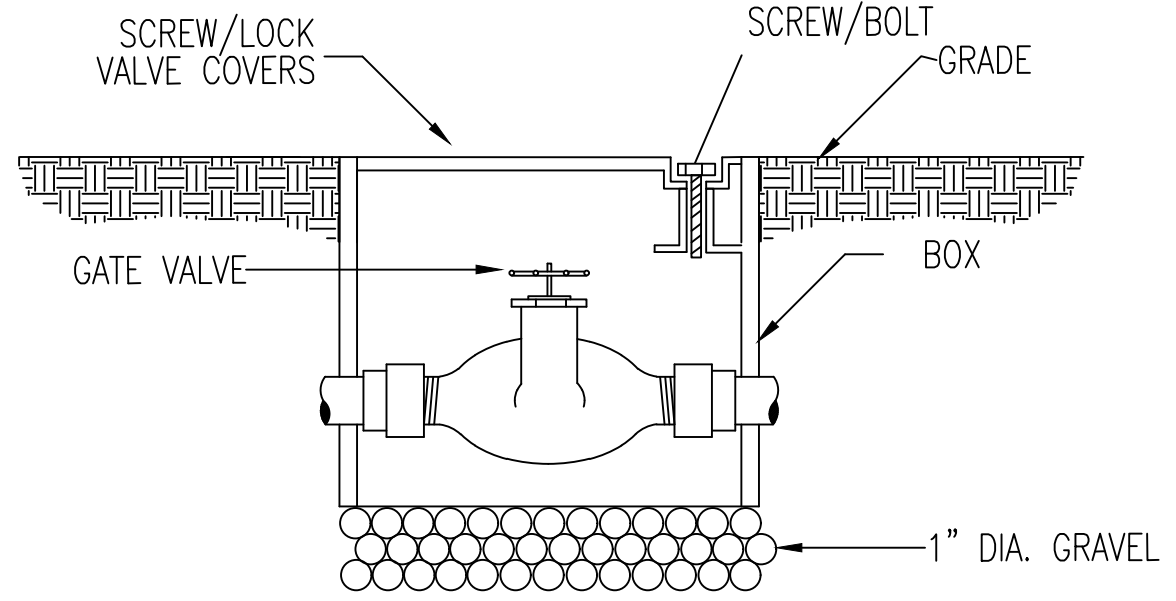
- 3.6 ADJUSTMENTS**  
 A. Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.  
 B. No heads shall be allowed to spray walls, fences, walks, or drives.  
 C. Set times to operate as appropriate for season, soil type, drainage, and plant requirements.

- 3.7 FIELD QUALITY CONTROL**  
 A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.  
 B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include, type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.  
 C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

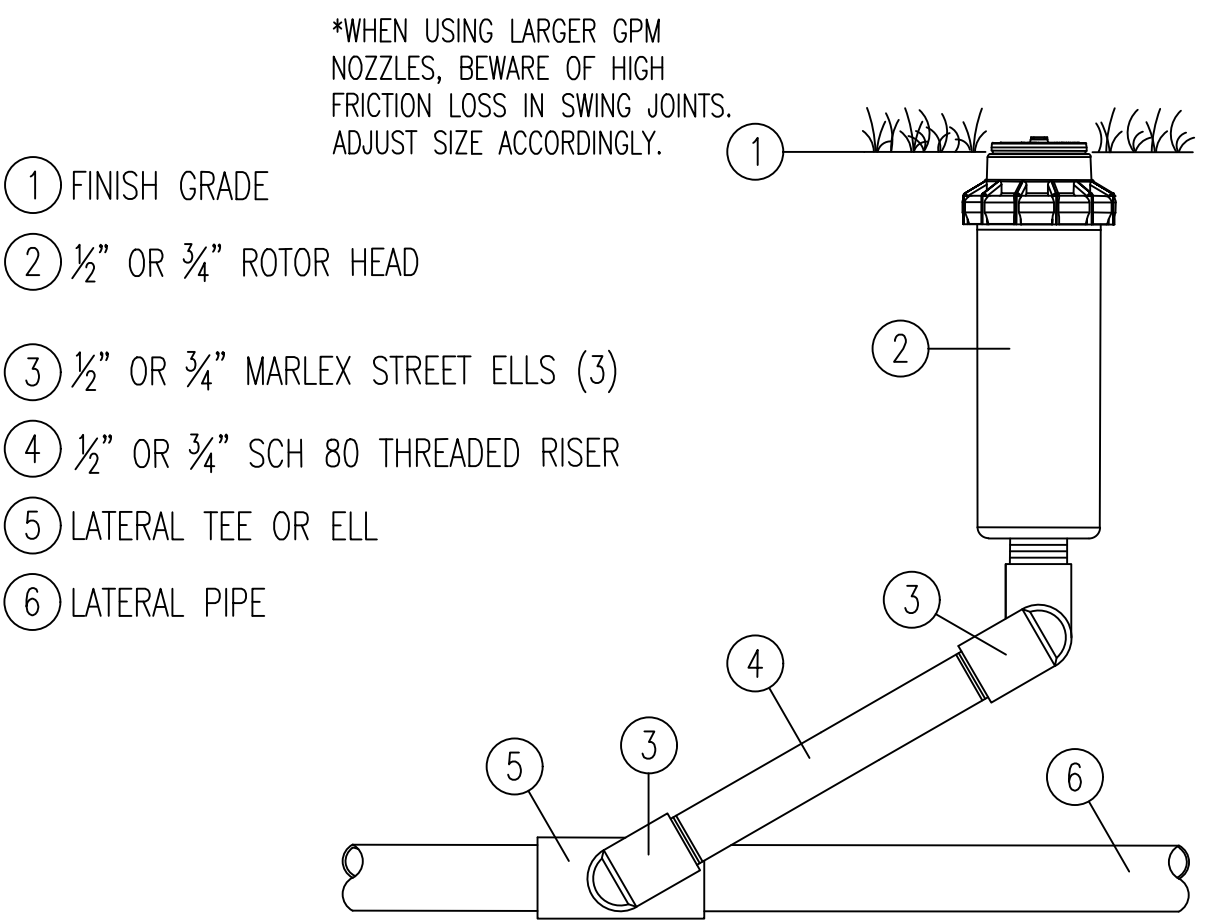
END OF SECTION



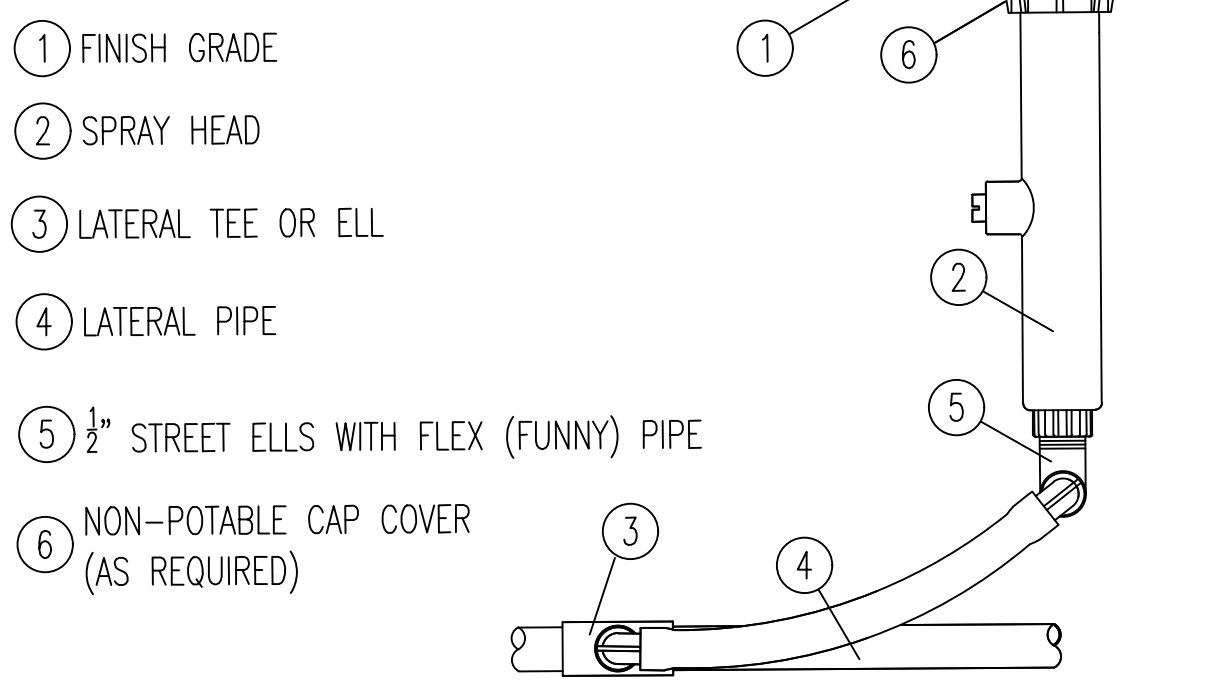
**SLEEVE INSTALLATION**



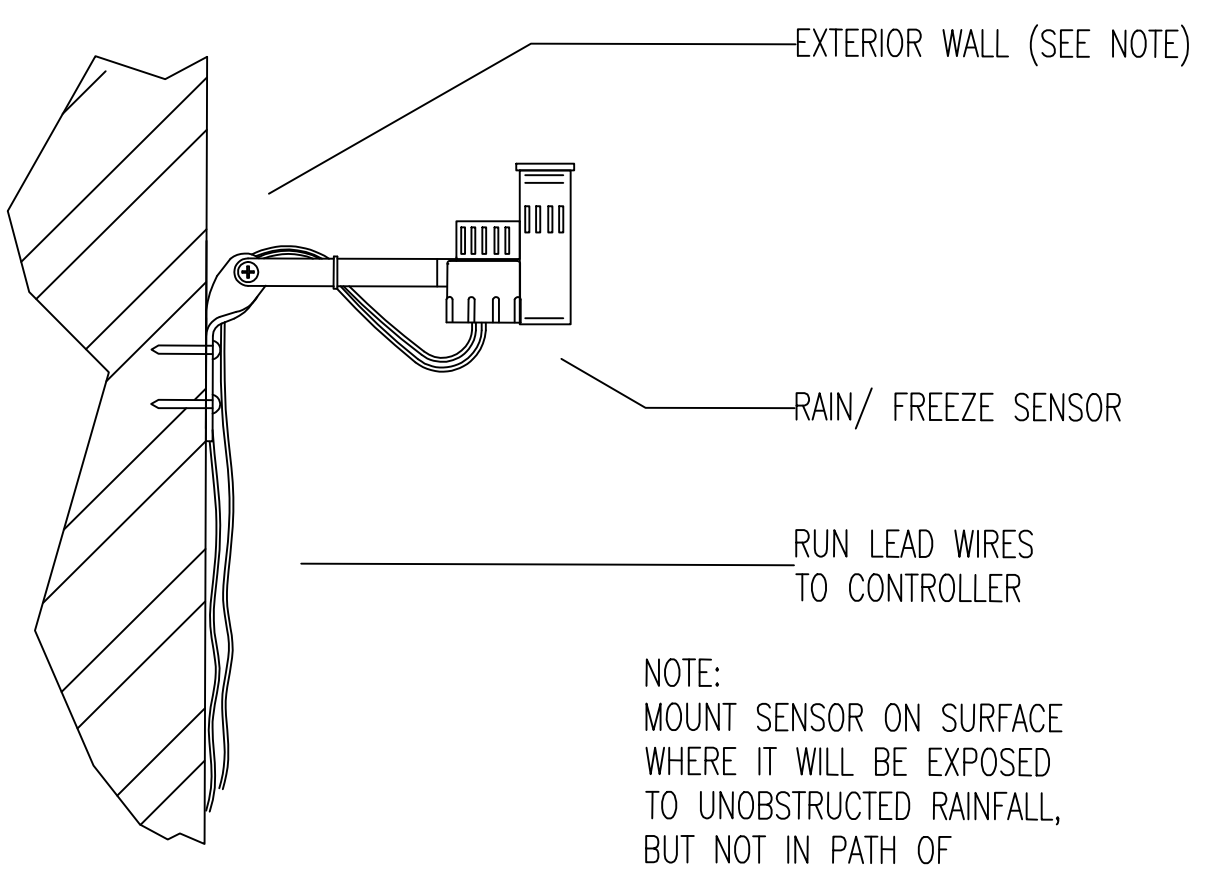
**GATE VALVE**



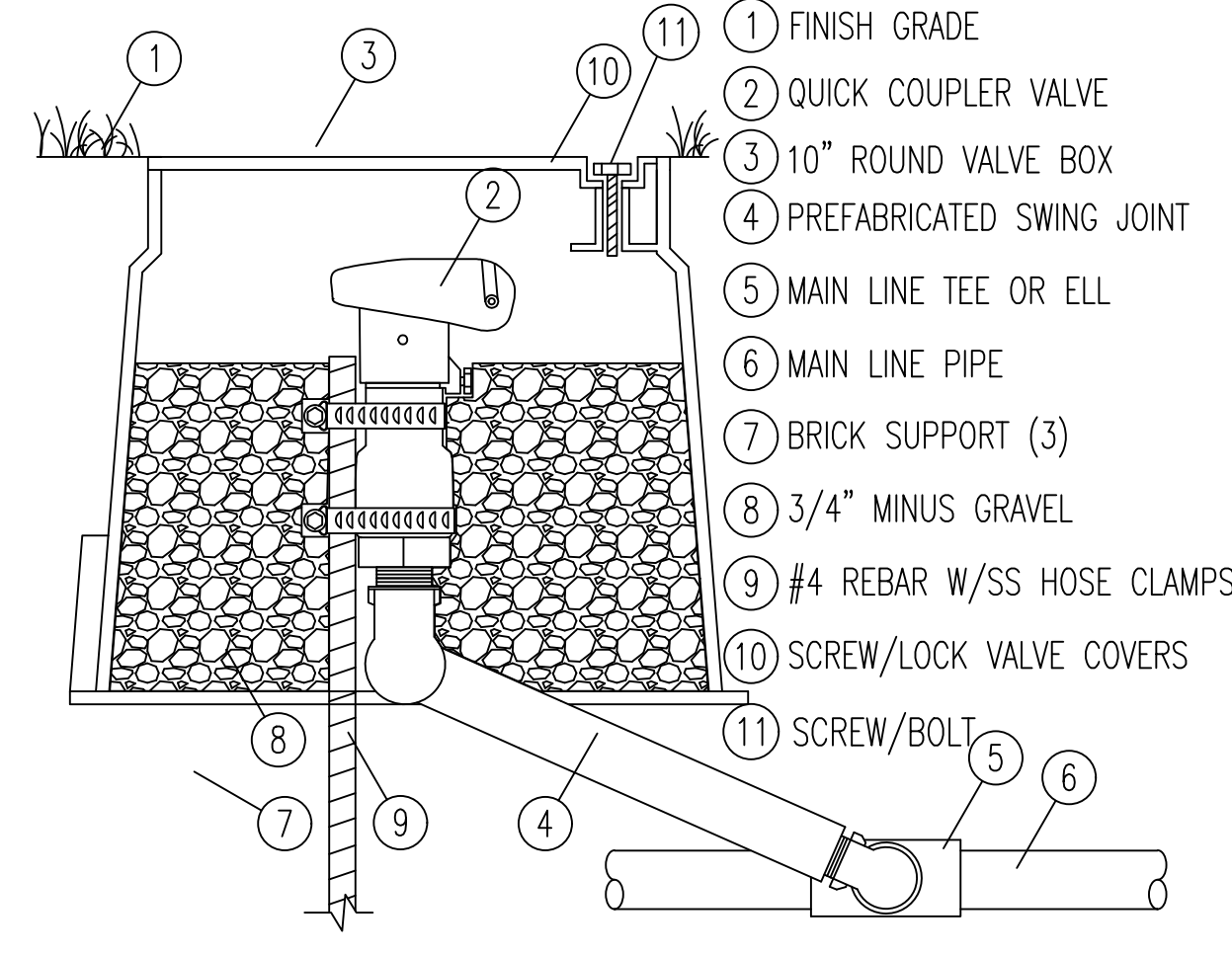
**ROTOR HEAD**



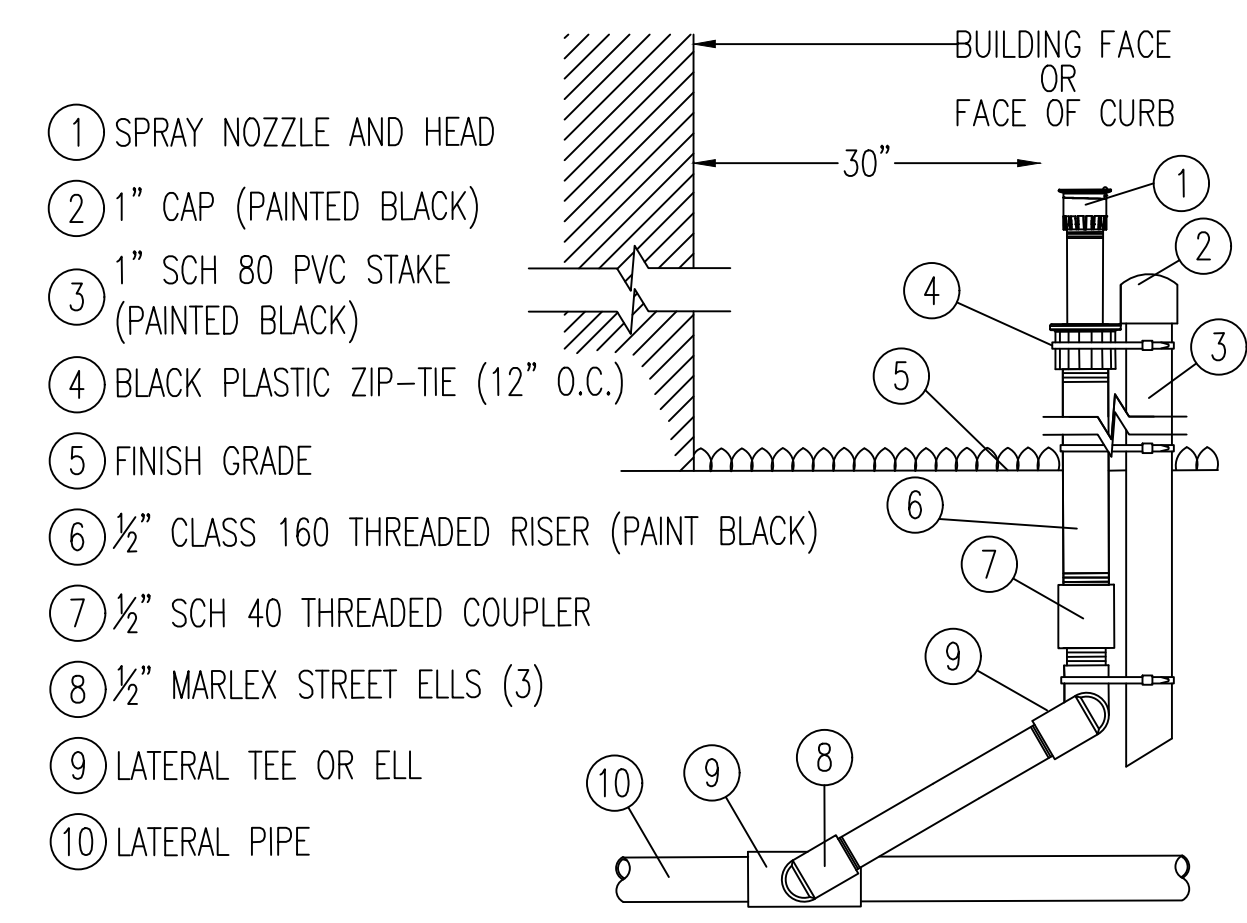
**SPRAY HEAD**



**RAIN/ FREEZE SENSOR**

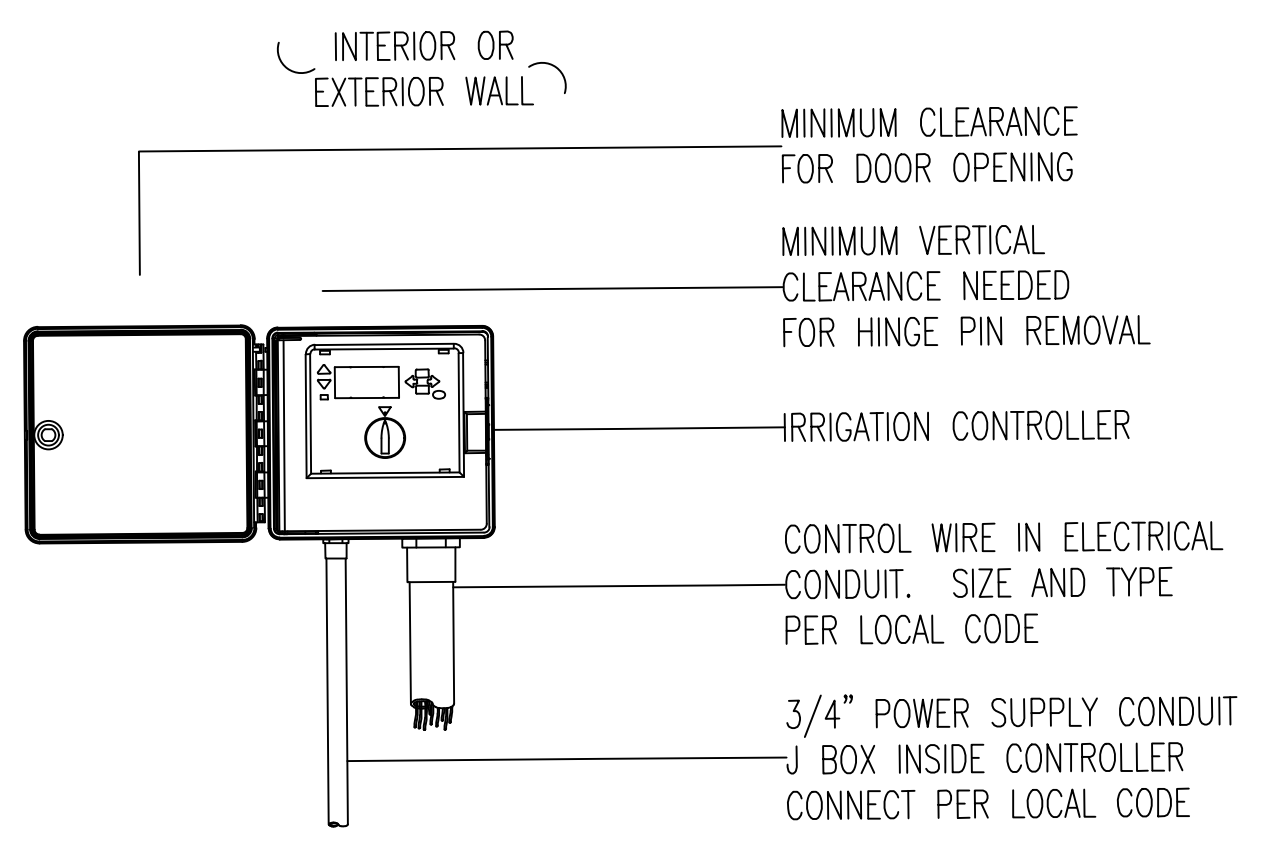


**QUICK COUPLER VALVE**



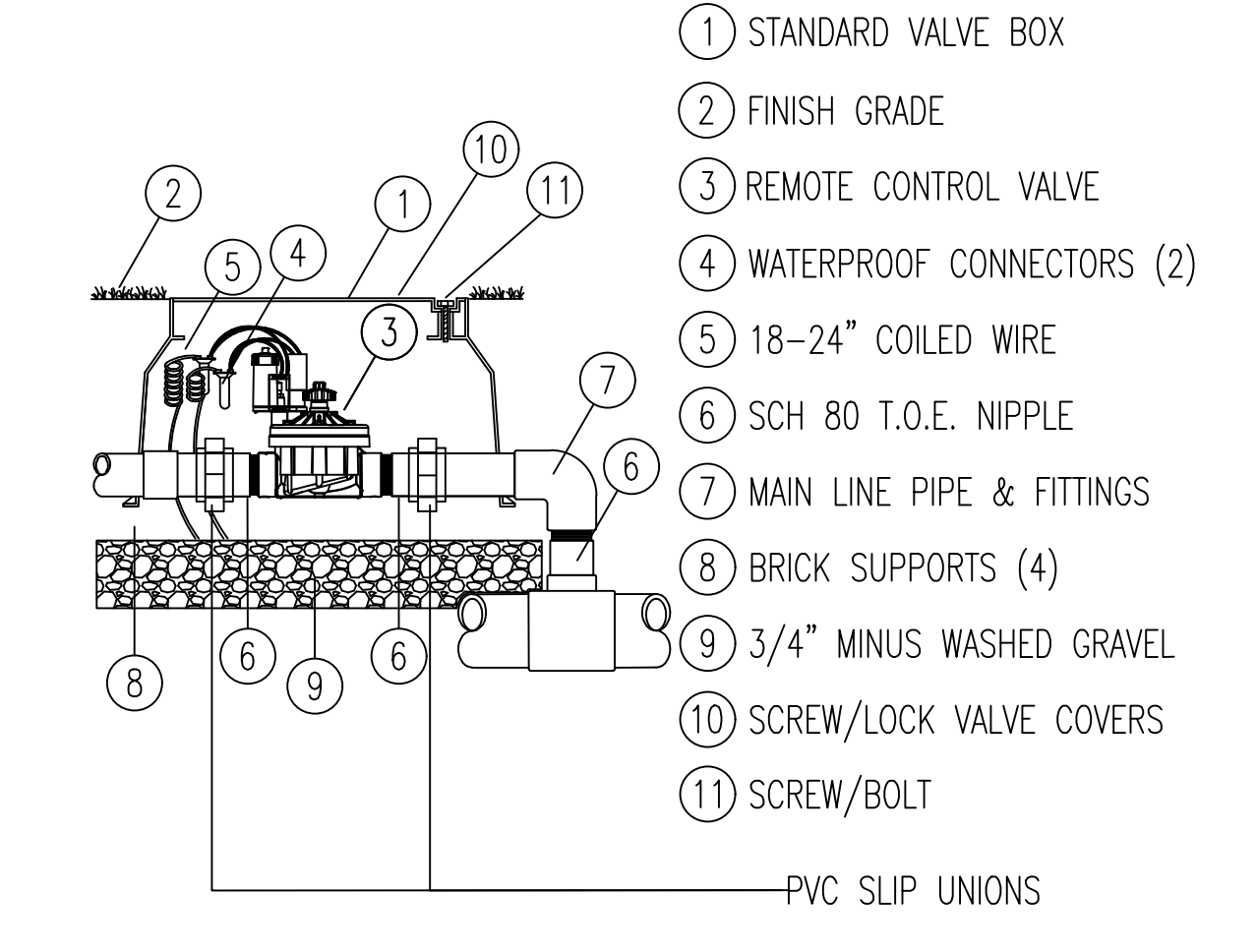
**SHRUB SPRAY HEAD**

\*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.

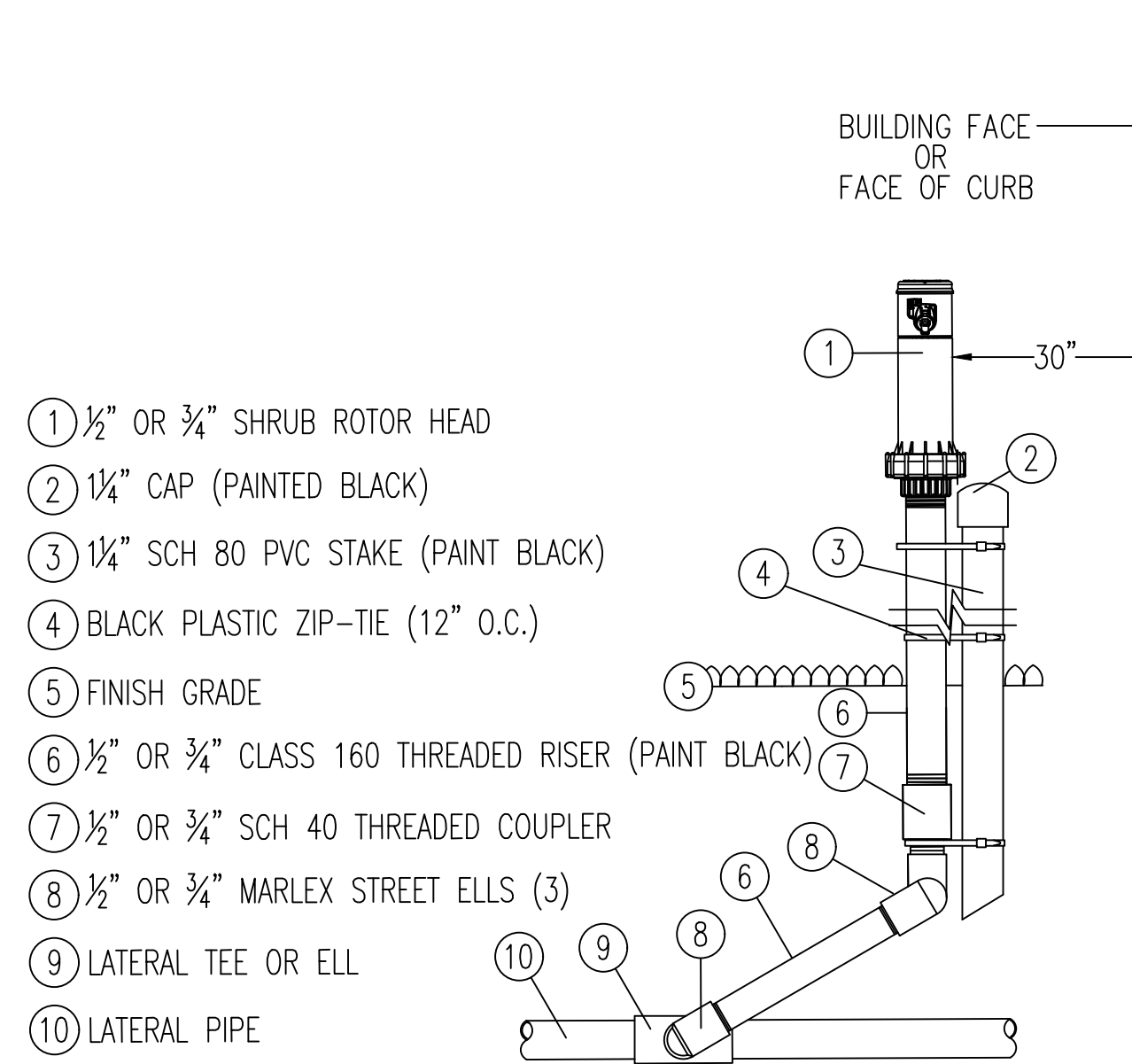


**IRRIGATION CONTROLLER**

\*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPARATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.



**REMOTE CONTROL VALVE**



**SHRUB ROTOR HEAD**

\*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



Catalog Number	Section M, Item 1.
Notes	Type

# GBLF3

GlasWerks® Luminescent LED Bern®



### General Description

The architectural luminaire consists of a flat LED optical assembly shielded by a decorative formed housing and a top mounted cast aluminum electrical assembly. The optical assembly is seamlessly integrated into the form factor for beautiful daytime appearance and exceptionally uniform lighting at night.

### Optical Assembly

The optical assembly consists of an edgelit waveguide light engine for unmatched visual comfort. Light from the LED module is distributed by proprietary wave guide technology to maximize uniformity and minimize glare. Configurable with CCT options of 2700K, 3000K, and 4000K. CRI is 70 minimum. Available with asymmetric, symmetric, or pathway distributions.

### Mounting Style

Optional mounting styles include Quick Lock Stem, NPT threads, and horizontal arm.

Quick Lock Stem Mounting style is compatible with the following leveling fitters:

- Boston Harbor Decorative Arm Fitter (BHDF)
- GlasWerks Decorative Arm Fitter (GWDF)
- West Liberty Decorative Arm Fitter (WLDF)
- Ball Style Decorative Fitter (BADF)

### Electrical Assembly

The cast aluminum electrical housing has a smooth domed contour. A (3) station terminal block is provided to accept #14 through #2 size wire. The electrical housing is hinged with a tool-less latch to provide easy access to the gear assembly. The unitized electrical assembly, containing the electronic driver and other electrical components, plugs into the quick disconnect receptacle. The pendant mount version has a welded stem (Quick Lock Stem Mounting), which aids in installation speed. The arm mount version is provided with two U-bolts with washers and nuts and two leveling set screws that lock the housing to a 2 inch nominal (2-3/8" O.D.) horizontal

arm and allow a  $\pm 5^\circ$  degree adjustment from horizontal to the cover.

### Electrical System

Programmable LED driver with 0-10V dimming. Optional DALI dimming. Driver life is rated to at least 100,000 hours. Luminaire surge protection rating of 20kV/10kA per ANSI/IEEE C62.41.2.

### Finish

The luminaire is finished with corrosion resistance super durable powder coat paint to ensure maximum durability. Finish is rated to 5,000 hours salt spray per ASTM B117.

### Listing

The luminaire is CSA certified to US and Canadian standards. IP55 rated electrical chamber, IP66 rated LED optic chamber. 20kV/10kA extreme surge protection per ANSI/IEEE C136.2. Suitable for operation in ambient temperatures from -40°C to 40°C

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

### Buy American

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### Warranty

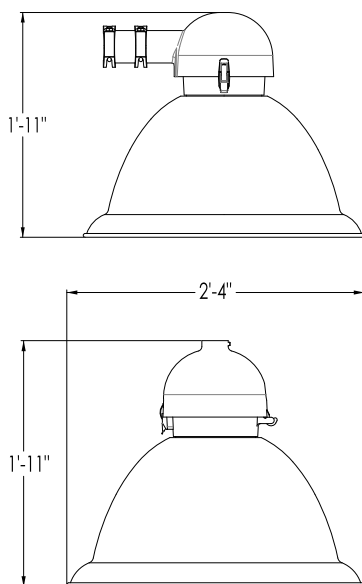
Limited warranty located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

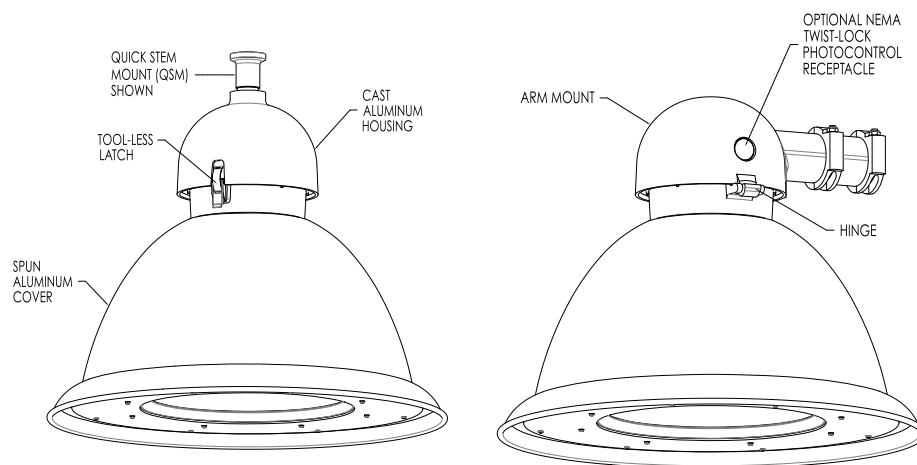
Specifications subject to change without notice.

## DIMENSIONAL DATA



Maximum Weight - 51 lbs

Maximum Effective Projected Area - 1.2 ft<sup>2</sup>



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**ORDERING INFORMATION**

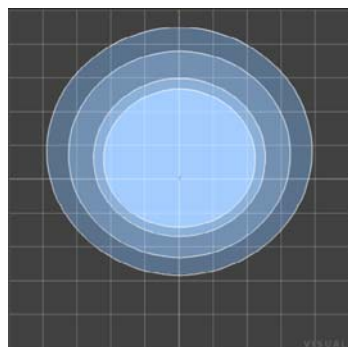
**Example:** GBLF3 P30 40K MVOLT ASY QSM BK

Cover Type	LED Lumen Package	Color Temperature	Voltage	Optics	Mounting Style	Finish Color
GBLF3 Bern	P10 P10 Performance Package	27K 2700K, 70 CRI	MVOLT 120-277V	ASY Asymmetric	ARM Horizontal Arm Mount	BK Black
	P20 P20 Performance Package	30K 3000K, 70 CRI	HVOLT 347-480V	SYM Symmetric	NPT 1.5" NPT Thread	BZ Bronze
	P30 P30 Performance Package	40K 4000K, 70 CRI		PTH Pathway	QSM Quick Stem Mount	GH Graphite
	P40 P40 Performance Package					GN Green
	P50 P50 Performance Package					GR Gray
	P60 P60 Performance Package					WH White
	P70 P70 Performance Package					
	P80 P80 Performance Package					

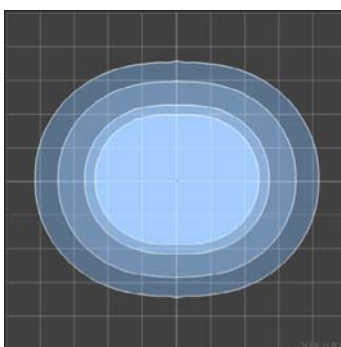
Options	
<u>Control Options:</u>	<u>Prewire Lead Options:</u>
PR3 3 pin NEMA photocontrol receptacle	L03 3ft prewire leads
PR7 7 pin NEMA photocontrol receptacle	L10 10ft prewire leads
PR3E 3 pin NEMA photocontrol external	L20 20ft prewire leads
PR7E 7 pin NEMA photocontrol external	L25 25ft prewire leads
P34 Solid state long life photocontrol (347V)	L30 30ft prewire leads
P48 Solid state long life photocontrol (480V)	
PCLL DLL photocontrol	<u>NEMA Label Options:</u>
SH Shorting cap	NL1X1 1" x 1" NEMA label
A0 Adjustable Output Module	NL3X3 3" x 3" NEMA label
DALI DALI dimming	
WG Wire guard (ships separately)	
HSS House side shield (ships separately)	

Accessories: Order as separate catalog number.	
GBLF3HSS	House side shield
GBLF3WG	Wire guard

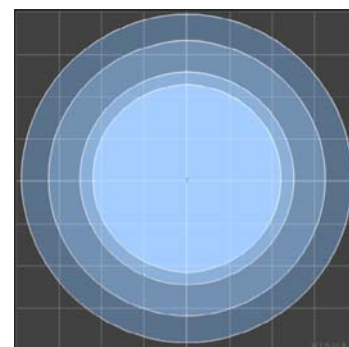
**OPTICAL DISTRIBUTIONS**



ASY



PTH



SYM



**PERFORMANCE DATA**  
Lumen and Wattage Data

Lumen Package	System Wattage	Distribution	2700K, 70 CRI		3000K, 70 CRI		4000K, 70 CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P10	30	ASY	3,738	126	3,870	130	4,122	139
		SYM	3,860	130	3,995	134	4,256	143
		PTH	3,681	124	3,811	128	4,059	137
P20	51	ASY	6,143	121	6,359	125	6,774	134
		SYM	6,343	125	6,565	129	6,994	138
		PTH	6,049	119	6,262	123	6,671	132
P30	62	ASY	7,377	118	7,636	122	8,135	130
		SYM	7,617	122	7,884	126	8,399	135
		PTH	7,264	116	7,520	120	8,011	128
P40	75	ASY	8,767	116	9,075	121	9,668	128
		SYM	9,052	120	9,370	124	9,982	133
		PTH	8,633	115	8,937	119	9,520	126
P50	95	ASY	10,810	114	11,190	118	11,920	125
		SYM	11,161	117	11,553	121	12,308	129
		PTH	10,645	112	11,019	116	11,738	123
P60	118	ASY	12,781	108	13,230	112	14,094	119
		SYM	13,196	111	13,660	115	14,551	123
		PTH	12,586	106	13,028	110	13,878	117
P70	151	ASY	15,726	104	16,278	108	17,341	115
		SYM	16,236	108	16,807	111	17,904	119
		PTH	15,485	103	16,029	106	17,076	113
P80	173	ASY	17,544	101	18,161	105	19,346	112
		SYM	18,114	105	18,750	108	19,974	115
		PTH	17,276	100	17,883	103	19,050	110

**OPTIONS MATRIX**

		Lumen Package								Voltage		Receptacle				Photocontrol				Dimming Options	
		P10	P20	P30	P40	P50	P60	P70	P80	MVOLT	HVOLT	PR3	PR7	PR3E	PR7E	PCLL	PCL3	PCL4	SH	AO	DALI
Lumen Package	P10		N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P20	N		N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P30	N	N		N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P40	N	N	N		N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD*
	P50	N	N	N	N		N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P60	N	N	N	N	N		N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P70	N	N	N	N	N	N		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
	P80	N	N	N	N	N	N	N		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	RFD
Voltage	MVOLT	Y	Y	Y	Y	Y	Y	Y	Y		N	Y	Y	Y	Y	Y	N	N	Y	Y	RFD
	HVOLT	Y	Y	Y	Y	Y	Y	Y	Y	N		Y	Y	Y	Y	N	Y	Y	Y	Y	N
Receptacle	PR3	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	N	Y	Y	Y	Y	Y	RFD
	PR7	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		N	N	N	N	Y	Y	Y	Y	RFD
	PR3E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N		N	N	Y	Y	Y	Y	Y	RFD
	PR7E	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N		N	Y	Y	Y	Y	Y	RFD
Photocontrol	PCLL	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y		N	N	N	Y	RFD
	PCL3	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	N		N	N	Y	RFD
	PCL4	Y	Y	Y	Y	Y	Y	Y	Y	N	Y	Y	Y	Y	N	N		N	Y	Y	RFD
	SH	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	N	N	Y	Y	RFD
Dimming Options	AO	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N
	DALI	RFD*	RFD*	RFD*	RFD*	RFD	RFD	RFD	RFD	RFD	N	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	RFD	N

Y = combination is available  
 N = combination is not available  
 RFD = consult factory, additional information required  
 RFD\* = consult factory, additional information required, not CSA certified

**GBLF3**

GlasWerks® Luminescent LED Bern®

LED Lumen Maintenance					
25,000 hours	36,000 hours	50,000 hours	60,000 hours	75,000 hours	100,000 hours
98%	96%	94%	93%	91%	88%

Lumen maintenance calculated according to TM-21 at 25°C ambient. Italicized values are extrapolated beyond the standard.

Adjustable Output (AO) Response		
AO Setting	% Lumen Output	% Wattage
8	100%	100%
7	94%	94%
6	82%	81%
5	70%	68%
4	58%	56%
3	46%	43%
2	33%	31%
1	21%	19%

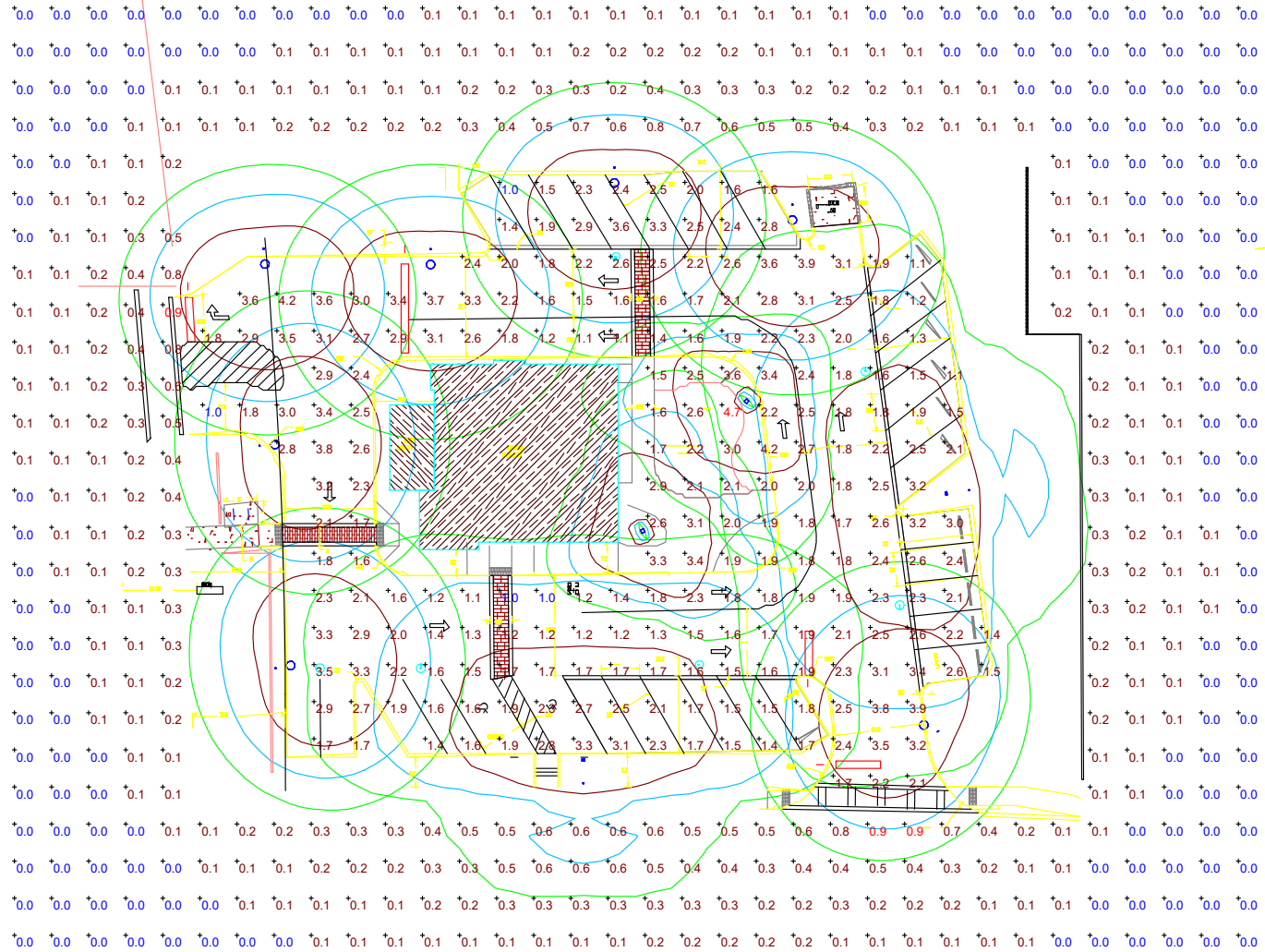
Luminaire Ambient Temperature Factor	
Ambient Temperature	Relative Lumen Output
0°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.99
40°C	0.98







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**LEGAL DESCRIPTION – VESTING DEED;**

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

**TOGETHER WITH:**

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

**TOGETHER WITH:**

Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

**LEGAL DESCRIPTION – TITLE COMMITMENT;**

The land referred to herein below is situated in the County of Orange, State of Florida, and described as follows:

**Parcel 1:**

A portion of Lot 1 of The Subdivision of the Harney Homestead, more particularly described as follows:

Begin at the Southwest corner of Lot 1, The Subdivision of the Harney Homestead, according to the plat thereof recorded in Plat Book C, Page 53, of the Public Records of Orange County, Florida; thence run North 147.00 feet; thence run East 99.00 feet; thence run South 147.00 feet; thence run West 99.00 feet to the Point of Beginning.

**TOGETHER WITH:**

Lots 1, 2 and 3, W.M. Hansel Replat, according to the plat thereof recorded in Plat Book J, Page 45, of the Public Records of Orange County, Florida.

**TOGETHER WITH:**

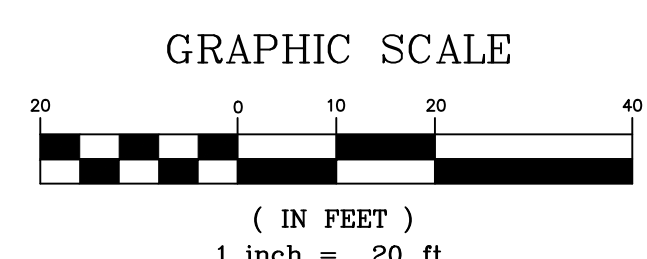
Lot 4, Second W.M. Hansel Replat, according to the plat thereof recorded in Plat Book L, Page 74, of the Public Records of Orange County, Florida.

LESS AND EXCEPT any portion thereof used, taken or dedicated for road right of way purposes.

**Parcel 2:**

From a point situated 896.3 feet North of the center of Section 24, Township 23 South, Range 29 East, (said point being the Southwest corner of Lot 1 of Harney Homestead, as per plat thereof recorded in Plat Book C, Page 53, Public Records of Orange County, Florida), run thence North 136.15 feet, thence run East 75.87 feet to the Easterly right-of-way line of State Road No. 527 and the Point of Beginning; run thence East 73 feet, more or less, to a point situated 99 feet East of the center section line of said Section 24, run thence North 11.64 feet, run thence West 74.02 feet to a point on a curve on said Easterly right-of-way line of State Road No. 527, run thence Southerly along said Easterly right-of-way line of said State Road No. 527, a distance of 11.08 feet to the Point of Beginning.

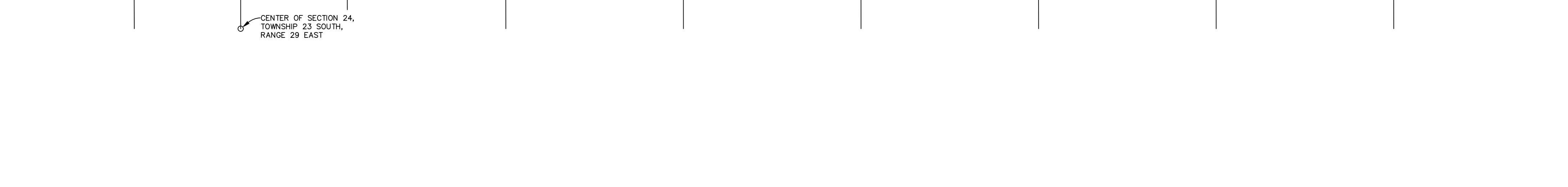
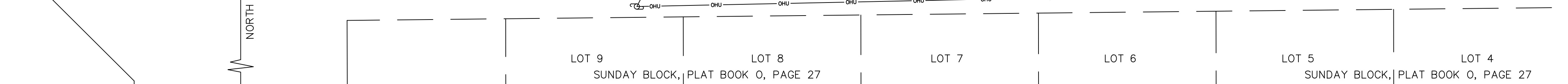
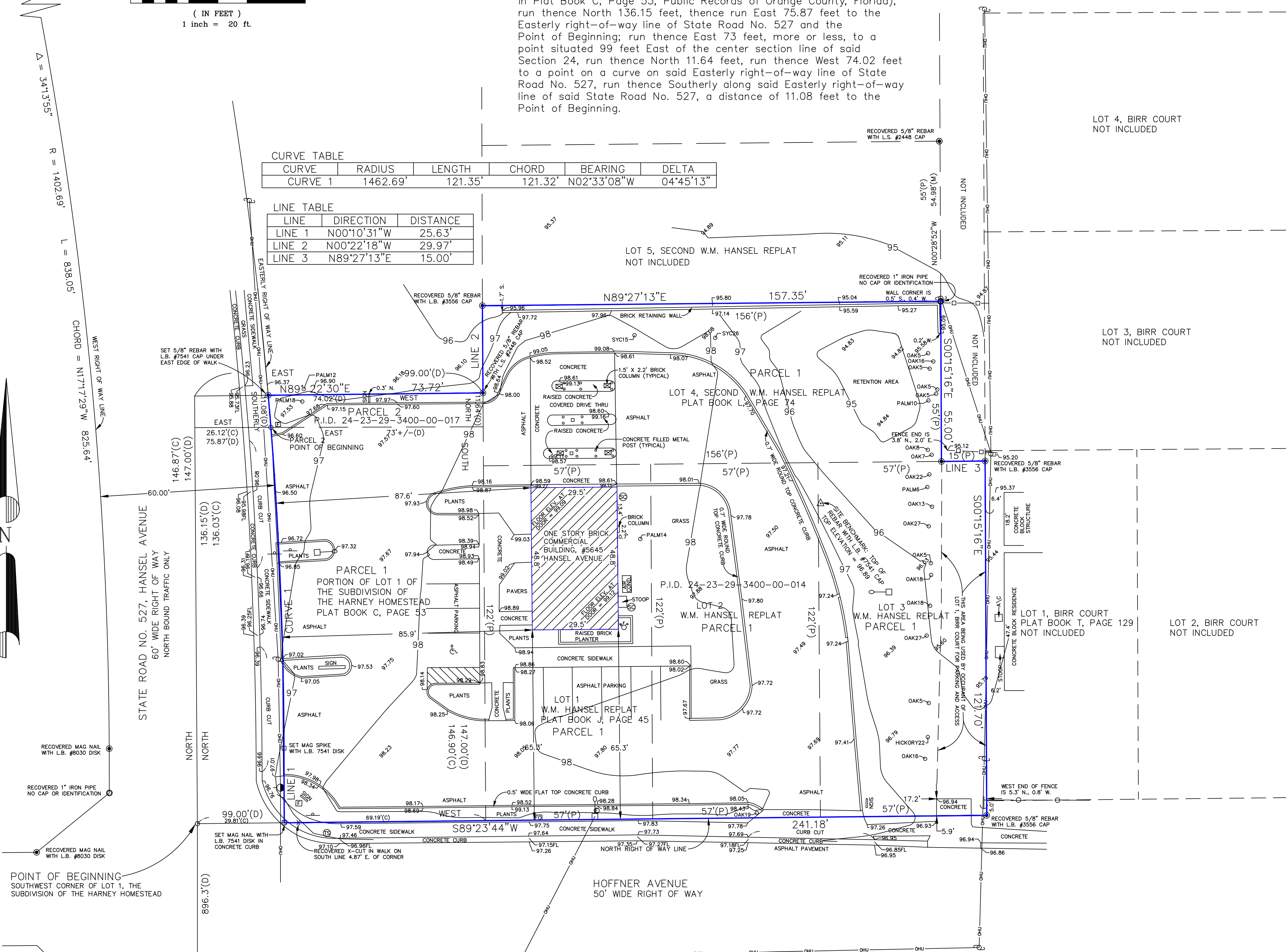
RECOVERED 4" x 4" CONCRETE MONUMENT WITH "CH" DISK



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
CURVE 1	1462.69'	121.35'	121.32'	N02°33'08"W	04°45'13"

LINE TABLE		
LINE	DIRECTION	DISTANCE
LINE 1	N00°10'31"W	25.63'
LINE 2	N00°22'18"W	29.97'
LINE 3	N89°27'13"E	15.00'



STATE ROAD NO. 527, HANSEL AVENUE 60' WIDE RIGHT OF WAY NORTH BOUND TRAFFIC ONLY

HOFFNER AVENUE 50' WIDE RIGHT OF WAY

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**SURVEYOR'S NOTES:**

BEARINGS AS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF HOFFNER AVENUE HAVING AN ASSUMED BEARING OF S89°23'44"W.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF AND IN RELIANCE UPON A TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON 2-01-2021 WITH FILE NO. 2037-5167324. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY INFORMATION TO BE USED FOR A MORTGAGE LOAN AND TRANSFER OF TITLE CLOSING TRANSACTION AND TOPOGRAPHIC INFORMATION TO BE FOR ANALYSIS OF POTENTIAL IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN.

THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF OBSERVABLE SURFACE AND ABOVE GROUND EVIDENCE OF UTILITY FACILITIES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY UNDERGROUND FACILITIES AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT DID NOT HAVE OBSERVABLE SURFACE EVIDENCE WHICH COULD BE LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS OF MINOR FLOODING." SEE MAP NUMBER 12095C0430 F, DATED 9-25-2009.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK H709002 AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THE SUBJECT PROPERTY CONTAINS 39,941 SQUARE FEET OR 0.917 ACRES, MORE OR LESS.

SURVEY DATE (LAST DATE OF FIELD WORK): APRIL 8, 2021.

**TITLE COMMITMENT NOTES:**

REFERRING TO THE EXCEPTIONS AS LISTED IN THE TITLE COMMITMENT REFERENCED IN THE SURVEYOR'S NOTES, THIS SURVEYOR WOULD HAVE THE FOLLOWING COMMENTS:

EXCEPTIONS 1 THROUGH 3 ARE STANDARD EXCEPTIONS, HOWEVER, PLEASE DIRECT YOUR ATTENTION TO THE EAST SIDE OF LOT 3, HANSEL REPLAT, THE EASTERLY PORTION OF LOT 3, AS SHOWN AND NOTED HEREON IS PRESENTLY BEING USED FOR PARKING AND ACCESS FROM HOFFNER AVE. BY THE OCCUPANT OF THE RESIDENCE ON THE ADJACENT LOT 1 OF BIRR COURT. THIS SURVEYOR WAS NOT PROVIDED WITH ANY EASEMENT DOCUMENTATION FOR THE EASTERLY PORTION OF LOT 3.

EXCEPTIONS 4 THROUGH 8 ARE STANDARD EXCEPTIONS.

EXCEPTION 9: MATTERS SHOWN ON THE PLAT OF THE SUBDIVISION OF THE HARNEY HOMESTEAD, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.

EXCEPTION 10: MATTERS SHOWN ON THE PLAT OF THE W. M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.

EXCEPTION 11: MATTERS SHOWN ON THE PLAT OF SECOND W. M. HANSEL REPLAT, THIS SURVEYOR DID NOT OBSERVE ANY MATTERS ON SAID PLAT THAT WOULD AFFECT THE SUBJECT PROPERTY.

EXCEPTION 12: DISTRIBUTION EASEMENT TO FLORIDA POWER CORP. RECORDED IN O.R. BOOK 3873, PAGE 1565. THIS EASEMENT AFFECTS THE SUBJECT PROPERTY BUT DOES NOT CONTAIN A PLOTTABLE LEGAL DESCRIPTION THAT CAN BE PLOTTED AND SHOWN HEREON.

EXCEPTION 13: THIS EXCEPTION REFERS TO A RECORDED LEASE THAT IS NOT A SURVEY MATTER.

**CONTIGUITY STATEMENT:**

BASED ON THE LEGAL DESCRIPTION CONTAINED IN THE REFERENCED TITLE COMMITMENT AND ALSO ON THE BOUNDARY EVIDENCE RECOVERED IN THE FIELD AND SHOWN AND NOTED HEREON THIS SURVEYOR WOULD MAKE THE FOLLOWING STATEMENT:

PARCELS 1 AND 2, AS IDENTIFIED AS SUCH HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR RESPECTIVE COMMON BOUNDARIES WITH NO GAPS, GORES OR HIATUSSES ALONG SUCH COMMON BOUNDARIES.

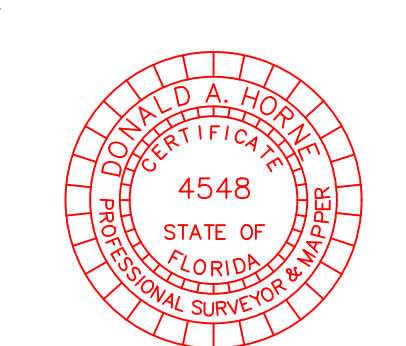
**LEGAL DESCRIPTION STATEMENT:**

THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION – DEED ARE ONE AND THE SAME AS THE LANDS DESCRIBED IN THE LEGAL DESCRIPTION – TITLE COMMITMENT.

**CERTIFIED SOLELY AND EXCLUSIVELY TO:**

WHITE & LUCZAK, P.A.  
FIRST AMERICAN TITLE INSURANCE COMPANY  
CNBM INVESTMENTS LLC  
AXIOM BANK, N.A.

- MAP LEGEND:**
- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
  - (D) INDICATES A DESCRIPTION DISTANCE AND/OR DIRECTION.
  - (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
  - LB INDICATES LAND SURVEYING BUSINESS.
  - LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
  - PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
  - P.I.D. INDICATES PROPERTY IDENTIFICATION NUMBER.
  - ☉ INDICATES A WOOD UTILITY POLE.
  - ⊕ INDICATES A GUY WIRE ANCHOR.
  - ⊠ INDICATES AN OVERHEAD LIGHT ON A CONCRETE POLE.
  - ⊡ INDICATES A METAL SIGN ON A METAL POST.
  - ⊙ INDICATES A PVC SANITARY CLEANOUT.
  - ⊚ INDICATES A WATER BACK FLOW PREVENTER.
  - ⊛ INDICATES A CONCRETE POLE OR SIGN FOOTER.
  - ⊜ INDICATES A TRAFFIC SIGNAL JUNCTION BOX.
  - ⊝ INDICATES A CONCRETE TRAFFIC SIGNAL POLE.
  - ⊞ INDICATES A HANDICAP PARKING SPACE.
  - ⊟ INDICATES AN ELECTRIC JUNCTION BOX.
  - ⊠ INDICATES A FIBER OPTIC JUNCTION BOX.
  - INDICATES A CHAIN LINK FENCE.
  - INDICATES A WOOD PRIVACY FENCE.
  - OH— INDICATES OVERHEAD UTILITY LINE(S).
  - 98.87 INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
  - 97.31 INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
  - 95.80L INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
  - 98— INDICATES THE APPROXIMATE LOCATION OF THE 98 FOOT CONTOUR.
  - 04K22-0 INDICATES AN OAK TREE HAVING A 22" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.
  - 0PALM14 INDICATES AN OAK TREE HAVING A 14" BREAST HEIGHT DIAMETER AT THE CENTER OF THE CIRCLE, END OF THE LEADER LOCATION.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DONALD A. JOVANNA, LICENSE #4548 ON OCTOBER 25, 2021

**ACCUMAP SURVEYING, LLC**  
 We draw the line around your piece of the sunshine  
 2919 MONFICHET LANE WINTER PARK, FL 32792-4317  
 Tel. 407-657-2588 E-mail. don@accumapsurveying.com  
 Certificate of Authorization Number: LB 7541

PREPARED FOR:  
**CNBM INVESTMENTS, LLC**  
**NELSON LERMA, JR.**  
 1073 CAMPBELL STREET  
 ORLANDO, FLORIDA 32806  
 352-262-8955

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY  
**5643 AND 5645 HANSEL AVENUE**

IN SECTION 24, TOWNSHIP 23 SOUTH, RANGE 29 EAST

**Surveyor's Certification**

THIS IS TO CERTIFY THAT WE HAVE PERFORMED A FIELD SURVEY OF THE HEREIN DESCRIBED PROPERTY FOR THE PURPOSES HEREIN DESCRIBED AND THAT THIS DRAWING IS A REPRESENTATION OF THAT SURVEY AND THAT WE ARE A LICENSED SURVEYOR UNDER THE FLORIDA STATUTES, CHAPTER 571, F.S. THIS SURVEY WAS PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY AND/OR INDIVIDUAL WHOEVER.

Donald A. Jovanna 10-25-21  
 Donal A. Jovanna, Florida License #4548  
 A HARD COPY OF THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE SURVEYOR AND SHALL NOT BE RELIED UPON WITHOUT THE SIGNATURE AND SEAL OF A LICENSEE LICENSED SURVEYOR AND APPROX.

4-08-21	4-16-21	4-20-21	10-25-21		
REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS
ADD LEGAL DESCRIPTION - TITLE COMMITMENT	ADD LEGAL DESCRIPTION - TITLE COMMITMENT	ADD LEGAL DESCRIPTION - TITLE COMMITMENT	ADD LEGAL DESCRIPTION - TITLE COMMITMENT	ADD LEGAL DESCRIPTION - TITLE COMMITMENT	ADD LEGAL DESCRIPTION - TITLE COMMITMENT
ADD NOTES FOR ATTORNEY WHITE	ADD NOTES FOR ATTORNEY WHITE	ADD NOTES FOR ATTORNEY WHITE	ADD NOTES FOR ATTORNEY WHITE	ADD NOTES FOR ATTORNEY WHITE	ADD NOTES FOR ATTORNEY WHITE
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Checked By: JH	Checked By: JH	Checked By: JH	Checked By: JH	Checked By: JH	Checked By: JH
Binding File: HANSEL	Binding File: HANSEL	Binding File: HANSEL	Binding File: HANSEL	Binding File: HANSEL	Binding File: HANSEL
Coordinate File: HANSEL	Coordinate File: HANSEL	Coordinate File: HANSEL	Coordinate File: HANSEL	Coordinate File: HANSEL	Coordinate File: HANSEL
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SCALE 1" = 20'

JOB # S242329B

SHEET 1 OF 1



**Edgewood Police Department  
February City Council Report  
2022**

	<b>January</b>	<b>February</b>
<b>Residential Burglaries</b>	1	3
<b>Commercial Burglaries</b>	0	0
<b>Auto Burglaries</b>	1	3
<b>Theft</b>	4	4
<b>Assault/Battery</b>	4	4
<b>Sexual Battery</b>	0	0
<b>Homicides</b>	0	0
<b>Robbery</b>	0	0
<b>Traffic Accident</b>	11	9
<b>Traffic Citations</b>	162	251
<b>Traffic Warnings</b>	117	187
<b>Felony Arrests</b>	3	1
<b>Misdemeanor Arrests</b>	4	3
<b>Warrant Arrests</b>	3	0
<b>Traffic Arrests</b>	1	3
<b>DUI Arrests</b>	2	3
<b>Code Compliance Reports</b>	23	43

**Department Highlights:**

- This year we have seen an increase in fraud cases. Detective Crock has been working some of these cases with other jurisdictions. This month alone Detective Nicolle Crock wrote 4 subpoenas for records pertaining to outstanding fraud cases with the Edgewood Police Department.
- During the month of February, Stacey Salemi attended a Code Enforcement training at the Casselberry Police Department. She also held her second Code Hearings.
- The week of February 21<sup>st</sup> through February 25<sup>th</sup> Officer Adam Lafan attended the Florida Pac Accreditation Conference. During the Conference Officer Adam Lafan received the designation of “Certified Accreditation Professional” as well was elected as the new Executive Board Secretary to the Florida Police Accreditation Coalition Board (See attached).
- On February 23<sup>rd</sup>, the Edgewood Police Department held its first local hearing in front of a magistrate for a contested parking ticket.
- On February 11<sup>th</sup> Officer Beardslee, Officer Meade, and Sergeant Ireland conducted a traffic detail throughout the city focusing on speed enforcement.





**FLORIDA POLICE  
ACCREDITATION COALITION, INC.**  
3701 NE 22 Ave  
Lighthouse Point, FL 33064



Section , Item 1.

February 22, 2022

Officer First Class Adam LaFan  
Accreditation Manager  
Edgewood Police Department  
5565 South Orange Avenue  
Edgewood, FL 32809

RE: Certified Accreditation Professional

Dear AM/OFC LaFan:

On behalf of the Executive Board of the Florida Police Accreditation Coalition (FLA-PAC), it is our honor to inform you that you have earned the designation of Certified Accreditation Professional.

This is a singular achievement and difficult to obtain. To become certified, you must have demonstrated advanced knowledge and expertise in every area of accreditation, and must have successfully guided your agency through the accreditation process. Becoming certified in this field required hard work and extraordinary effort during which you have personally completed a grueling review process which examined every aspect of your experience, knowledge and commitment to accreditation.

You have now become part of a very small group of professionals. Although there are many assigned to criminal justice accreditation, not all can earn the CAP award. Your diligence in mastering this specialized field is commendable and has distinguished you as an individual who has reached the pinnacle of achievement in this profession.

As of this date, you shall be recognized as a Certified Accreditation Professional for a period of three years.

Respectfully,

Murette Sims, President  
Florida Police Accreditation Coalition, Inc.

Wanda H. White, Chair  
Certified Accreditation Professional Committee

c: Chief John Freeburg