



TUESDAY, APRIL 21, 2026

CITY COUNCIL MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Tuesday, April 21, 2026 at 6:30 PM

AGENDA

Welcome! We are very glad you have joined us for today’s Council meeting. If you are not on the agenda, please complete an appearance form and hand it to the City Clerk. When you are recognized, state your name and address. The Council is pleased to hear relevant comments; however, **a five (5) minute limit** has been set by Council. Large groups are asked to name a spokesperson. **Robert’s Rules of Order** guide the conduct of the meeting. **Please silence all cellular phones and pagers during the meeting.** Thank you for participating in your City Government.

A. CALL TO ORDER, INVOCATION, & PLEDGE OF ALLEGIANCE

B. ROLL CALL & DETERMINATION OF QUORUM

C. PRESENTATIONS AND PROCLAMATIONS

D. CONSENT AGENDA

Items on the consent agenda are defined as routine in nature, therefore, do not warrant detailed discussion or individual action by the Council. Any member of the Council may remove any item from the consent agenda simply by verbal request prior to consideration of the consent agenda. The removed item(s) are moved to the end of New Business for discussion and consideration.

1. March 17, 2026 City Council Meeting Minutes

E. ORDINANCES (FIRST READING)

F. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)

G. UNFINISHED BUSINESS

H. NEW BUSINESS

1. RFP - Police Department Roof Replacement

I. GENERAL INFORMATION

J. CITIZEN COMMENTS

K. BOARDS & COMMITTEES

1. 301 Mary Jess Rd. - Office Addition Site Plan Approval

L. STAFF REPORTS

City Attorney Smith

Police Chief DeSchryver

- 1. Chief's Report March 2026

City Clerk Riffle

- 1. Clerk's Report 3/18/26 thru 4/14/26

Code Compliance Officer Zane

M. MAYOR AND CITY COUNCIL REPORTS

Mayor Dowless

Council Member Lomas

Council Member McElroy

Council Member Santurri

Council Member Steele

Council President Horn

N. ADJOURNMENT

UPCOMING MEETINGS

Monday, May 11, 2026.....Planning & Zoning Meeting 6:30 PM

Tuesday, May 19, 2026.....City Council Meeting 6:30 PM

Meeting Records Request

You are welcome to attend and express your opinion. Please be advised that **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made.

Americans with Disabilities Act

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.

CALL TO ORDER, INVOCATION, & PLEDGE OF ALLEGIANCE

ROLL CALL & DETERMINATION OF QUORUM

PRESENTATIONS & PROCLAMATIONS

CONSENT AGENDA



TUESDAY, MARCH 17, 2026 CITY COUNCIL MEETING

City Hall – Council Chamber
405 Bagshaw Way, Edgewood, Florida
Tuesday, March 17, 2026 at 6:30 PM

DRAFT MINUTES

A. CALL TO ORDER, INVOCATION, & PLEDGE OF ALLEGIANCE

Council President Horn called the meeting to order at 6:30 pm. He asked for a moment of silence and then led the Pledge of Allegiance.

B. ROLL CALL & DETERMINATION OF QUORUM

City Clerk Riffle confirmed a quorum with all Councilmembers and Mayor Dowless present.

Elected Officials Present:

John Dowless, Mayor
Richard A. Horn, Council President
Susan Lomas, Councilmember
Casey McElroy, Councilmember
Beth Steele, Councilmember

Staff Present:

Sandra Riffle, City Clerk
Dean DeSchryver, Police Chief
Miguel Garcia, Deputy Police Chief
Drew Smith, City Attorney
Allen Lane, City Engineer

C. PRESENTATIONS AND PROCLAMATIONS

1. Police Department Award of Administrative Excellence

Presentation of Awards

Chief DeSchryver presented the Award of Administrative Excellence to Corporal Adam Lafan. This honor, the agency's sixth-highest award, recognizes Corporal Lafan's dedication, performance, and significant impact on the department's accreditation.

Chief DeSchryver discussed a recent water rescue at Lake Jessamine. Officer Camerer self-dispatched to the scene, and other officers on duty responded by swimming out to the victims and using a boat with Officer Camerer. Orange County units recovered three of the boys; however, one child remains missing.

The Chief formally recognized Officer Camerer for his bravery during the operation.

Council President Horn stated that the city cannot function without the Police Department. He expressed his personal thanks and appreciation to Corporal Lafan and Officer Camerer.

D. ORGANIZATIONAL MEETING

1. Administration of Oath of Office to Councilmember Susan Lomas

City Clerk Riffle administered the Oath of Office to Councilmember Susan Lomas to serve her next term on the City Council.

2. Election of Council President and Pro-Tem

Councilmember Lomas made a motion to elect Councilmember Horn as Council President. Seconded by Councilmember Steele. The motion was approved by voice vote (4/0).

Council President Horn made a motion to elect Councilmember Lomas as Council President ProTem, seconded by Councilmember Steele. The motion was approved by voice vote (4/0).

3. Designation of Councilmember Assignments

The Council reached a consensus to maintain all current member assignments in their existing capacities. A vacancy on the Land Development Master Plan committee, formerly held by the late Councilmember Rader, was addressed. Council President Horn volunteered to oversee this assignment.

Mayor Dowless noted that filling the seat immediately may not be critical to operations. He explained that discussions and meetings regarding Land Use frequently occur directly with the City Planner. He clarified his typical practice of including the most applicable and interested Councilmembers in those planning meetings as needed.

Council President Horn made a motion to continue the designated assignment and replace the Land Development Master Plan assignment by Council President Horn. Second by Lomas (4/0) by voice vote.

The 2026/2027 areas of assignments are as follows:

Finance	Councilmember McElroy
Code Enforcement	Council President Horn
HAINC and Cypress Grove Liaison	Councilmember Steele
Lane Development Master Plan	Council President Horn
Public Works	Councilmember Lomas
City Hall Staff Police Department Staff Contract Staff	Mayor Dowless

E. CONSENT AGENDA

1. February 17, 2026 City Council Meeting Minutes

Councilmember McElroy made a motion to accept the Consent Agenda as presented; seconded by Councilmember Steele. The motion was approved (4/0) by voice vote.

F. ORDINANCES (FIRST READING)

G. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)

H. UNFINISHED BUSINESS

I. NEW BUSINESS

1. Harbour Island Bridge Report

Allen Lane (CPH) provided an update on the Harbour Island bridge, introducing Engineer Mike Albano, a Vice President of DRMP (a sister company to CPH) to discuss technical assessments.

Engineer Lane clarified that previous reports utilized FDOT regional numbers. Local EPD counts indicate a daily average of 296 vehicles (ranging from 226–263), significantly lower than the figures presented in the initial Ayres report submitted to the City.

Engineer Albano summarized the Bridge Health and Longevity. The bridge is currently rated at 63.9, and a rating between 60 and 80 is considered good; rehabilitation is expected to improve this score. The Health Index is currently 82.5, which falls within the "good condition" range of 70–90. The bridge is approximately 61 years old and is estimated to last another 20 years. The low volume of heavy truck traffic contributes to its longevity.

Council President Horn initiated a discussion on the dewatering process and sheet piling. Mr. Albano noted that while the "dry" method of dewatering is typically best for these repairs, they will investigate "in-the-wet" systems, such as using steel piles, to see if they are viable. CPH and DRNP will investigate required dewatering permits and coordinate with FDOT.

Mr. Albano said that guardrail work can be performed at any time. Repairs would likely be conducted on one side of the bridge at a time.

The Consensus of the Council was to issue a Request for Proposal (RFP) with a project start date of February 2027, to take advantage of the dry season when water levels are at their lowest.

CPH will submit a formal proposal for construction plans and management, including updated cost estimates that account for dewatering and milling/resurfacing.

J. GENERAL INFORMATION

K. CITIZEN COMMENTS

Bruno Lahr, owner of Empire Tattoo Studio, requested permission to extend his operating hours past 9:00 pm. He explained that sometimes they have not completed a project by 9:00 pm. He said

he puts the “closed” sign in the window and will not take any more customers that day, and also will not accept any new clients after 8:30 pm.

Council President Horn explained the City would have to open the ordinance to make that change. He said that if the studio is not closed at 9:00 pm, they would be subject to a code violation. Mr. Lahr said they do try to adjust the schedule according to the project, but that some clients cannot come until after work.

Councilmember Lomas pointed out that time management was key, and Mayor Dowless said he could empathize with the situation, but at this moment, a new ordinance may not pass. He reminded Mr. Lahr that members of the public were opposed to their operating a tattoo studio in the City. He suggested that they demonstrate compliance to earn the community’s trust. Councilmember Steele said to show that they are a good business in Edgewood.

Mr. Lahr thanked the Council for their consideration.

L. BOARDS & COMMITTEES

M. STAFF REPORTS

City Attorney Smith

City Attorney Smith reported that the first CBA session was held earlier in the day and the second session is scheduled for April.

Police Chief DeSchryver

1. Chief's Report February 2026

Chief DeSchryver said he met with CABT - Coalition Against Bigger Trucks. It appears the no one wants to have the bigger trucks, and he shared his grievances with them.

Council President Horn noted that either larger trucks or more smaller trucks will be on the road because a certain amount of freight will pass through.

On that subject, Councilmember Lomas asked about semi-trucks parking at the Auto Zone at SOBT and Holden Avenue at night, and whether they may be the trucks coming down Holden Avenue at 4:00 to 5:30 am. Council President Horn advised calling 311 because that location is in Orange County, and parking in the driveways is a code violation.

2. Clerk's Report 2-13-2026 through 3-12-2026

- EPD Roof: City Clerk Riffle requested Council guidance on the composition of the RFP review committee for the Police Department roof project. Rather than recommending including CPH in the review and scoring process, they preferred appointing a city resident with a relevant professional background to serve on the committee.
- Stormwater Project Updates:

- Oaks Circle & Commerce Drive: Repairs at Commerce Drive are complete. Follow-up work is required at Oaks Circle to repair the roadway where it subsided over the pipe, and backfilling is scheduled for the Commerce Drive site.
- Lake Mary Jess Shores Court: A technical update revealed that the pipe has separated from the block. As a result, the section requires full replacement rather than repair. The Clerk is currently awaiting cost estimates for this work.
- Sidewalk Maintenance Initiative: Clerk Riffle and Ashley Pagan will conduct a physical inspection of city sidewalks to identify sections requiring immediate repair. Councilmember Lomas expressed interest in the initiative and noted she would join the inspection as her schedule permits.

3. Code Enforcement Officer Zane

- Officer Zane provided a follow-up report regarding local noise concerns. He noted that no noise complaints were recorded during the evenings of the last two weekends.
- He met with Zen Tavern management to remind them of the city's nighttime noise regulations.
- Officer Zane expressed his desire to see this trend of compliance continue and will continue to monitor the area.

N. MAYOR AND CITY COUNCIL REPORTS

Mayor Dowless

- **City Council Vacancy:** Mayor Dowless recommended appointing Ryan Santurri to fill the seat left vacant by the passing away of Councilmember Rader. He said Mr. Santurri is an intellectual property attorney residing on Harbour Island Road and has a record of municipal service, having served two terms on the Planning & Zoning (P&Z) Board. There was no opposition from the Council.

Councilmember Lomas made a motion to appoint Ryan Santurri to the City Council; seconded by Councilmember McElroy. The motion was approved (4/0) by voice vote.

- **New Business: Telecommunications Infrastructure**
Mayor Dowless informed the Council of an upcoming "mini" cell tower installation on Jessamine Lane. To ensure the structure is as inconspicuous as possible, the tower will be a decorative model painted black. Additional landscaping will be planted around the base to help it blend into the surroundings. The Mayor clarified that under state law, the city is required to allow the installation of such telecommunications equipment within the right-of-way.

Council Member Lomas – no report

Council Member McElroy – no report

Council Member Steele – no report

Council President Horn – no report

O. ADJOURNMENT

Councilmember Lomas made a motion to adjourn the meeting at 7:40 pm.

Richard A. Horn, Council President

Attest:

Sandra Riffle, City Clerk

ORDINANCES (FIRST READING)

**PUBLIC HEARINGS
(ORDINANCES – SECOND
READINGS & RELATED
ACTION)**

UNFINISHED BUSINESS

NEW BUSINESS

RFP - Police Department Roof Replacement



Memo

To: Mayor Dowless, Council President Horn,
Council Members Lomas, McElroy, and Steele

From: Sandra Riffle, City Clerk

Date: April 15, 2026

Re: RFP Solicitations for EPD Roof Replacement

The RFP solicitation for the EPD Roof Replacement was published online via Euna/DemandStar. The City received six bids, which were subsequently scored and evaluated by the RFP Committee.

The committee score sheet, final tabulation, and the full RFP document are attached for your review.

Committee Recommendations Following a comprehensive review of the submittals and scoring tabulations, the RFP Committee recommends the following top three firms:

1. **Advanced Roofing** (Ranked #1 by 3 out of 4 members)
2. **Poseidon Sales** (Ranked #2 by 3 out of 4 members)
3. **TC Metal Roofing** (Ranked #3 by 3 out of 4 members)

Evaluation Summary: After discussion, the committee unanimously agreed that Advanced Roofing and Poseidon Sales are the top two recommendations for this project. All committee members selected the same three firms as their top overall candidates.



THE CITY OF EDGEWOOD, FL REQUEST FOR PROPOSAL

Solicitation #: 2026-EPD-01

Title: Flat Roof Replacement (City of Edgewood, FL)

Description: The CITY of Edgewood is requesting bids from qualified firms to provide Flat Roof Replacement Services (approximately 3,944 SF) as outlined in this solicitation.

Term/Duration: Lump sum (fixed fee) contracted to be completed within 90 calendar days from issuance of a Notice to Proceed (NTP).

Solicitation Release Date: Tuesday, February 24, 2026

Pre-Bid/Proposal Meeting: Thursday, March 5, 2026 at 10:00 am EST
Edgewood Police Dept. 5565 S. Orange Avenue, Edgewood, FL 32809

Deadline for Questions: Monday, March 16, 2026, at 12:00 PM (Noon) EST

Bid/Proposal Due Date: Friday, March 27, 2026, at 12:00 PM (Noon) EST

Contact Person*: **Sandra Riffle, City Clerk**
SRiffle@edgewood-fl.gov

City of Edgewood
5565 S. Orange Avenue
Edgewood, FL 32809

Cc: **Dean DeSchryver, Police Chief**
DDeschryver@edgewood-fl.gov

Submission Requirements: Electronically via **Euna Open Bids/DemandStar website.**

* All questions/inquiries must be directed in writing to the contact persons above; failure to do so will be cause for disqualification of an award under this RFP.

SECTION I – BACKGROUND / GENERAL INFORMATION

1. Background

The City of Edgewood, FL (CITY) is in an urban environment within Orange County.

- Firms/Individuals receiving an award, if any, will be required to procure and maintain insurance coverage throughout the term of providing these services to include General Liability (\$1M/2M Aggregate), Auto Liability (\$1M), and Workers Comp (\$500K or Exemption) with additional coverage and provisions as deemed necessary by the CITY. BIDDERS are not required to obtain insurance to respond to this solicitation prior to an award but must demonstrate the ability to meet insurance requirements.
- The selected BIDDER(s) will be required to submit a completed and fully executed BIDDER Application and Registration Form to the CITY of Edgewood.
- The solicitation and selection process shall in no way be deemed to create a binding contract, agreement, or offer of any kind between the CITY of Edgewood and any entity. If the CITY selects a firm/individual to provide the services described in this solicitation, any legal rights and obligations between the successful firm/individual, if any, and the CITY will come into existence only when an agreement is fully executed by the parties, and the legal rights and obligations of each party shall at that time be only those rights and obligations which are set forth in the agreement and any other documents specifically referred to in that agreement and executed by the parties.
- Firms/Individuals shall treat any information contained in this solicitation (or accumulated through other written or oral communication with the CITY) as confidential information.
- Any information provided by the CITY to firms/individuals in this solicitation is to be used solely to permit a reply to this solicitation, and firms/individuals shall make no other use of the information, including sharing the information with corporate affiliates and subsidiaries, without the prior written consent of the CITY.

2. Fraud and misrepresentation

Any individual, corporation, or other entity that attempts to fulfill the requirements of this solicitation through fraud, misrepresentation, or material misstatement may be deemed non-responsible, and such individual, corporation, or other entity's qualification may be null and void.

3. Confidentiality/non-disclosure

BIDDER shall treat any information contained in this solicitation (or accumulated through other written or oral communication with the CITY) as confidential information. Any information provided by the CITY to BIDDER in this solicitation is to be used solely to permit BIDDER to reply to the solicitation, and BIDDER shall make no other

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use of the information, including sharing the information with corporate affiliates and subsidiaries, without the prior written consent of the CITY. BIDDER shall hold the information contained in this solicitation in strict confidence, and the information obtained will not be disclosed to any third-party, vendor, affiliate, or subsidiary, without the CITY's prior written consent.

- 4. Addenda/revisions to solicitation** If it becomes necessary to revise or clarify any part of this solicitation, the CITY will modify this solicitation by issuance of written addenda. All addenda will be clearly marked as such and will become part of the solicitation documents.

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SECTION II – SCOPE OF WORK/SERVICES

The CITY is requesting proposals from qualified contractors to recover the existing flat roofing system.

1. Project details

1.1. Removal of Existing Roofing

- CONTRACTOR shall remove existing flat roof material, flashings, metal trim, and floor tile to the wood decking.
- CONTRACTOR must assess if the top layer/tier of the roof's underlayment insulation must be removed. CONTRACTOR shall only remove and replace if wet or damaged materials/insulation is identified.
- CONTRACTOR shall remove any existing stucco from the vertical wall at the transition between the upper and lower roof decks.
- CONTRACTOR shall not disturb existing roofing insulation.
- CONTRACTOR shall only tear off what can be made watertight in the same day
- Cut back any existing stucco on parapet walls to accept new flashings.
- CONTRACTOR shall sweep and remove all loose particles and clean debris from the roof surface.

1.2. New Roof Installation

- CONTRACTOR shall comply with all GAF manufacturer specifications (or comparable manufacturer to GAF specification details), details, and product information sheets (Attachment F – GAF Specifications). Install modified base sheet tagged to code.
- CONTRACTOR must assess if the top layer/tier of the roof's underlayment insulation must be removed. CONTRACTOR shall only remove and replace if wet or damaged materials/insulation is identified.
- If new roofing is to be adhered to any coated surface, it must be power-washed to remove loose and delaminating materials.
- CONTRACTOR shall replace any damaged plywood and framing as needed, including sheets of plywood in the proposal.
- CONTRACTOR shall be responsible for all impairments and shall secure, repair, and replace:
 - Roof penetration
 - Overflow and typical emergency services
 - Roof drainage
 - Plumbing vent flashing
 - Flashing and metal trim
 - Valleys
 - Drip edges
 - Parapet elevation

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- Crickets/pitches
- Gutters, gutter guard
- Down spouts
- Ensure that the deck slopes properly towards the drains.
- Install modified self-adhered smooth interply over base sheet.
- Install modified self-adhered felt on vertical wall.
- Re-flash existing roof drains and ensure they are working properly.
- Install 1 ply of granulated modified self-adhered cap sheet.
- Apply any new stucco where needed. Match the texture as closely as possible to any existing.
- All roofing material must meet Orange County's Approval.
- The Contractor will be responsible for securing (stowing or covering) all items in the building, such as electronics, furniture, ceiling fans, AC units, etc. Any damages caused during the works will be the sole responsibility of the Contractor to make good or replace.

1.3. In general, the work includes, but is not limited to:

- Supply all labor and materials.
- Supply all drawings/prints and any other documentation needed by the Orange County and the CITY.
- All materials used for the manufacture or construction of any supplies, materials or equipment shall be new. The items proposed must be new, the latest model, of the highest quality, and of the highest-grade workmanship, and must be certified by the product manufacturer as acceptable for the required installation.
- All work performed shall be as per Orange County's current code(s).
- It is the contractor's responsibility to complete all permit applications & supply all NOAs needed to complete this project.
- If CONTRACTOR requires the removal of wiring and cabling, the CITY shall be notified promptly.
- Schedule of Values (SOV) and proposed schedule shall be submitted with proposals.
- Adhesion failures due to existing coatings are not covered by the GAF Guarantee, so it is important to test adhesion prior to proceeding with installation of new materials. Existing materials are excluded from the GAF Guarantee
- Contract Orange County's Building Department for all inspections, before and during the installation process.
- Contact the Orange County Building Department for the final inspection prior to leaving the jobsite.

2. Additional project requirements

2.1. General location of work: If property is damaged while Contractor is performing the specified work or is removed for the convenience of the work, it shall be repaired or replaced at the expense of the Contractor in a manner acceptable to the CITY prior to the final acceptance of the work. Such property shall include, but not be limited to:

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structures, parkways, sidewalks, curbs and gutters, driveways, walls, fences, water features, footings, underground utilities, sod, shrubs, and trees affected by the work.

2.2. Pre-Existing Damage: CONTRACTOR shall notify the CITY in writing of the site having pre-existing damage to structures, parkways, sidewalks, curbs, roadways, swales, adjacent improvements, etc., before beginning work. Failure to do so shall obligate the Contractor to make repairs.

2.3. Storage of materials: CONTRACTOR must provide for the CONTRACTOR's own storage of material and equipment, if needed. No on-site storage is permitted in the work area unless the materials have been positioned on site for immediate installation into or on the building.

2.4. Warranty and guarantee: All products furnished by the selected BIDDER shall be supplied with all warranties and guarantees of the manufacturer. Warranties on workmanship shall be for a period of not less than 1 year; said period to commence upon the date products are installed, or accepted by Orange County, whichever last occurs. The roof should be free of leaks caused by substandard installation. Materials should be installed in strict accordance with the manufacturer's specifications and recommendations.

2.5. Repair or replacement: Should any defect appear during this period, the CONTRACTOR shall, at their expense, have repaired or replaced such item upon receipt of written notice from the CITY or Orange County of said defect. Said repair or replacement must be accomplished within ten (10) calendar days after receipt of notification of the defect.

2.6. Price: Costs stated in responses to this solicitation shall remain fixed and firm for all services to be performed. BIDDERS are responsible for addressing all inquiries with the Contact Person listed in this solicitation to obtain clarification on concerns and issues that may affect costs and their ability to complete the solicited task(s). Any price adjustments after proposal submission must be requested in writing and approved by the CITY.

3.0. Additional Contractor Responsibilities

- CONTRACTOR is responsible for providing pricing (Exhibit A – Schedule of Values) based on the actual field measurements, quantity of materials, site conditions, and Labor.
- CONTRACTOR shall supply all materials, equipment (cranes, scaffolding, hoist, lifts, ladders, etc.), and labor necessary for the total completion of the required Scope of Work and transportation of material to and from the roof in a safe manner.
- OSHA regulations and locking equipment mechanisms shall be used daily.
- CONTRACTOR shall be responsible for and use care in the protection of the CITY's property and shall protect other areas not in this Scope of Work from dirt, damage, vehicle tracks, and unwarranted conditions. If such damage occurs, CONTRACTOR shall be solely responsible for the restoration of such damage as a result of CONTRACTOR's or any of CONTRACTOR's employees.

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- CONTRACTOR shall deliver all roofing materials to the site in original containers, with factory seals intact.
- All materials must be new, not reconditioned products.
- CONTRACTOR shall make arrangements with the CITY for material storage, and proper access areas where the work is to be performed.
- CONTRACTOR must store all pail goods in their original undamaged containers in a clean, dry location within their specified temperature range.
- CONTRACTOR shall not expose materials to moisture in any form before, during, or after delivery to the site.
- CONTRACTOR shall reject delivery of materials that show evidence of contact with moisture.
- CONTRACTOR must cover and protect materials at the end of each workday.
- CONTRACTOR shall not remove any protective tarpaulins until immediately before material will be installed.
- CONTRACTOR shall maintain a full workforce from start to the completion of the project. A qualified English-speaking supervisor shall be required on the jobsite at all times.
- CONTRACTOR and all approved subcontractors must be properly clothed in identifiable uniforms, recommended hard hats, etc., while working on the premises or when entering any part of the work area.
- CONTRACTOR shall be on site for all deliveries, on loading, and off-loading of all materials, supplies, generators, lifts, cranes, dumpster, portable, etc. required for this project.
- CONTRACTOR must provide continual dumpster rotation to ensure debris is disposed of in a timely manner. The dumpster shall not interfere with pedestrian traffic and parked vehicles. Absolutely NO DUMPING.
- CONTRACTOR shall be responsible for providing restroom portables, locking mechanisms for safety and uninvited entry, proper rotation, and maintaining cleanliness.
- CONTRACTOR shall provide and practice Occupational Safety and Health Administration (OSHA) safety when using cranes, hoist(s), ladders, lift apparatus, scaffolding, materials, tools, etc., required to complete project.
- CONTRACTOR shall be responsible for job safety administration (including tools, equipment, and work methods) and must comply with applicable OSHA safety regulations.
- If CONTRACTOR considers leaving equipment overnight on site, the CITY shall be advised prior to approval, and all equipment shall require a locking mechanism and/or be tagged out.
- CONTRACTOR can perform work on weekends (Saturday and Sunday), unless otherwise confirmed by the CITY.
 - This building is open for business Monday through Friday.

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- The CITY shall be notified of the work schedule in advance of commencement of services.
- No work shall be performed on holidays, extreme weather conditions, and emergency advisory notices.
- CONTRACTOR shall rope off and erect warning signs in areas where work is being performed or where any chance of damage or injury could occur.
- Completion of Work:
 - CONTRACTOR shall be responsible for cleaning up the entire surface area above and below ground for debris.
 - CONTRACTOR shall sweep using a magnetic device to pick up nails, loose fasteners, and other particles around the roof surface and ground surface daily.
 - CONTRACTOR shall remove rental equipment, cranes, scaffolding, hoists, lifts, ladders, portable generators, dumpsters, portables, etc. off the premises upon completion of work.

3.1. Permit Requirements (If Applicable):

- All work performed under the resultant agreement shall be in strict compliance with the Florida Building Code, industry standards, OSHA regulations, and Orange County.
- CONTRACTOR shall be responsible for timely obtaining all necessary permits and inspections through Orange County.
- CONTRACTOR shall provide the CITY with copies of all permit documents, engineering calculations, drawings, plans, manufacturer product information, warranty documentation, and any other relevant information necessary for proper maintenance at the completion of the project. These materials shall be provided in an organized manner and in a format selected by the CITY.

4. UNFORESEEN CONDITIONS Many times, as work progresses, situations arise that are unforeseen, or problems are uncovered that are outside of the scope of CONTRACTOR's work. When such situations arise, CONTRACTOR must stop work in this area, and the CITY and CONTRACTOR must come to some mutual agreement prior to the resumption of work. At no time is CONTRACTOR to continue such new work without a written agreement from the CITY if any additional charges are to be billed beyond the original contract amount.

Unforeseen additional services costing less than \$1,000 are expected by the CITY. An allowance of \$1,000 has been included in the attached **Exhibit A – Schedule of Values** for the listed possible unforeseen additional services, if needed. Unforeseen additional services above \$1,000 shall require mutual agreement between CONTRACTOR and the CITY. In cases of unforeseen additional services exceeding \$5,000, the CITY reserves the right to rescind the award and award the project to the next-highest-scoring or lowest-priced bid.

5. WARRANTY

- All manufacturers' warranties shall pass through without restriction to the CITY.
- Any warranties offered by CONTRACTOR shall be in addition to the manufacturer's warranty and shall not be a substitute.
- BIDDER's base price for any product offered shall be inclusive of warranty.

5.1. MANUFACTURER'S WARRANTY:

- Manufacturer Warranty for all roofing materials: There shall be a minimum of twenty (20) Years from the date of installation.
 - The Manufacturer's Guarantee with single-source edge-to-edge coverage and no monetary limitation, where the manufacturer agrees to repair or replace components in the roofing system, which causes a leak due to a failure in materials or workmanship.
 - Leaks caused by any non-GAF materials, such as the roof deck, existing materials, or non-GAF insulation, are not covered.

5.2. WORKMANSHIP AND INSTALLATION WARRANTY:

- Workmanship and Installation Warranty: There shall be a minimum of two (2) years from the date of installation.

6. LOCATION OF SERVICES

The services described in this solicitation shall be completed at the location identified below:

Edgewood Police Department
5565 S. Orange Avenue
Edgewood, FL 32809

All equipment, materials, and installation required in this Scope of Work shall be transported and installed at the above-listed address.

7. PERIOD OF PERFORMANCE CONTRACTOR shall complete the project and all required services within sixty (90) calendar days from issuance of Notice to Proceed.

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SECTION III – QUALIFICATIONS REQUIREMENTS

1. General Qualifications

Proposals shall be considered only from bidders normally engaged in performing the type of work specified in this solicitation. BIDDER must have adequate organizational resources, facilities, equipment, and personnel to ensure prompt and efficient service to the CITY.

At a minimum, qualifying proposals shall demonstrate that the BIDDER has the qualifications necessary to provide high-quality, functional services. To ensure the BIDDER can provide an acceptable level of service to the CITY, the BIDDER must meet the following minimum qualifications:

- Hold a current certified license as a Roofing Contractor and must have a minimum of five (5) years' experience in providing similar services.
- Provide three (3) current references for three (3) completed individual projects of similar size, scope, and complexity which were completed within the past five (5) years.
- Must have the listed current personnel and maintain a fully equipped organization capable, technically and financially, of performing the work required, and must have performed similar work in a satisfactory manner
- Carry and maintain adequate insurance consistent with the requirements listed in this solicitation. BIDDERS are not required to obtain insurance to respond to this solicitation prior to an award but must demonstrate the ability to meet insurance requirements.
- Meet any other requirements outlined in this solicitation.

2. Pre-bid conference/site visit A pre-bid conference/site visit has been scheduled for interested firms to attend before the due date for this solicitation.

2.1. Attendance and attendees:

- Attendance is highly recommended, but not mandatory.
- Please note that BIDDERS may ask questions; however, **all questions must be submitted to the Contact Person by the due date to receive a formal written response. Phone calls will not be accepted as a method for answering questions.**
- An employee or representative of the prime contractor or primary BIDDER responding to this solicitation must attend the pre-bid/proposal conference in order to receive credit for attendance. Subcontractors or other individuals may not attend for the prime contractor or primary BIDDER.

RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

The date, time, and location of the pre-proposal conference are as follows:

2.2. Meeting details:

PRE-BID CONFERENCE/SITE VISIT	
Date:	Thursday, March 5, 2026
Time:	10:00 AM EST
Location:	5565 S. Orange Avenue Edgewood, FL 32809
Note:	BIDDER shall be responsible for taking all roof measurements during the Pre-Bid Conference and determining the quantity of material and supplies required throughout the project duration.

2.3. Notice regarding location:

2.4. Questions:

- Bidders may ask questions during the Pre-Proposal Conference. These questions may or may not be answered during the Pre-Proposal Conference, as decided by the CITY. For questions not answered during the Pre-Proposal Conference, answers may be provided in an official addendum to prospective bidders.
- Questions outside of the Pre-Proposal Conference must be submitted to the Contact Person(s) in writing by the Deadline for Questions to receive a formal written response.

2.5. GENERAL:

- Roof must be accessed by ladder. A ladder may not be available at the location. Prospective bidders should bring their own thirty-foot (30') ladder to access the roof, if necessary. The CITY shall not provide ladders or a lift gate for prospective bidders to view the roof.
- Prospective bidders shall not access the roof until given permission to do so by the CITY. Accessing the roof without the CITY's permission may result in disqualification.
- At the CITY's discretion, the CITY may videotape and/or audiotape the Preproposal Conference, whether held in-person or online. This recording may only be shared internally with the CITY key personnel and may not be provided to prospective bidders who attended the Pre-Proposal Conference, as determined by the CITY.

5. ANTICIPATED TIMELINE:

Solicitation Release Date	Tuesday, February 24, 2026
Deadline for Questions	Monday, March 16, 2026, At Noon EST
Bid/Proposal Due Date	Friday, March 27, 2026, at Noon EST

* Dates (if any) are subject to change at the discretion of the CITY.

SECTION IV – SUBMISSION REQUIREMENTS / CONTACT PERSON

1. **Contact person(s)** BIDDER(s) wishing to submit a response to this solicitation **MUST** submit documentation to demonstrate that they meet **ALL** requirements in this solicitation, including the submission of all applicable attachments, exhibits and/or forms.

Cone of Silence: Bidders shall not contact any other employee of the CITY for information with respect to this solicitation. Any violation of the above restriction on correspondence may constitute grounds for rejecting a response at any time.

2. **Submission requirements**

BIDDER must include the items listed below as part of their submission to be considered for award: Failure to submit all information may result in disqualification or lower ranking due to not meeting these requirements. Required Attachments and Exhibits provided to BIDDER by the CITY shall not be altered by BIDDER and shall only be filled in as instructed by the CITY, unless otherwise instructed by the CITY. Bids that include altered files may be disqualified, as determined by the CITY.

3. **Submission instructions**

- Electronic submissions in response to this solicitation be uploaded to **Euna Open Bids/DemandStar** by the Proposal Due Date and time detailed in this solicitation
- Email, physical correspondence, flash drives, or any other physical media shall not be accepted. Links to file-sharing websites or portals will not be accepted.
- Submissions must be clear, concise, organized, legible, and easy to read and navigate. Submissions may be returned to the BIDDER and may require reorganization and resubmission. Submissions which are deemed by the CITY to be illegible or unintelligible may be disqualified.
- All parts, pages, figures, and tables should be numbered and labeled clearly. If submitting separate files, the File Name of each submitted attachment and exhibit must include the assigned letter; for example, Attachment A's File Name must state, at a minimum, "Attachment A." BIDDER may include additional information in the File Name, if needed.
- In order to fairly evaluate all responses, bidders should not include additional information other than what is asked to be provided. This includes any information related to BIDDER's organization that was not specifically asked to be provided.

4. **Attachments and exhibits**

Please note, Attachments are reference documents which require BIDDER's review. Exhibits are documents that the BIDDER must provide or complete and sign, according to the instructions specified by the CITY in the "Submission Instructions."

RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

4.1. ATTACHMENTS

Attachment	Description	Submission Instructions
Attachment A	Insurance Requirements	Review information. No further action needed.
Attachment B	Contractor Licensing Requirements	Review information. No further action needed.
Attachment C	Images	Review information. No further action needed.

4.2. EXHIBITS

Exhibit	Description	Submission Instructions
Exhibit A	Schedule of Values (SOV)	Review all tabs and fill-in required information. Provide a completed and signed PDF version.
Exhibit B	Qualification Questionnaire	Complete and Submit
Exhibit C	Contractor Certification Regarding Debarment and Suspension	Complete, sign, and submit
Exhibit D	Non-collusion affidavit of prime bidder	Complete, sign and submit
Exhibit E	Proposed subcontractor list	Complete, sign, and submit. If no subcontractors are expected to be used, please note, sign, and submit.
Exhibit F	Acknowledgement of Project Conditions	Sign and Submit
Exhibit G	List of Recently Completed Projects and Contract Amounts	Complete, sign, and submit.
Exhibit H	List of References	Complete, sign, and submit.
Exhibit I	Firm Certification	Complete, sign, and submit.
Exhibit J	Drug-Free Workplace Form	Complete, sign, and submit.
Exhibit K	Acknowledgement of Receipt of Addenda	Complete, sign, and submit form ONLY if an addendum has been issued.

5. Price

Prices stated in proposal responses to this solicitation remain fixed and firm for all services to be performed for a minimum period of one hundred and eighty (180) calendar days from the Proposal Due Date.

6. Post submission

Any price adjustments after proposal submission must be requested in writing and approved by the CITY. CITY may be required to clarify items related to their submission, which may include, but are not limited to, verifying submitted information and confirming comprehension of the full requirements of the Scope of Work, and is expected to be responsive. Bidders deemed by the CITY to be unresponsive may be disqualified.

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CITY may be required to submit and/or sign additional documentation, forms, exhibits, etc., after the Proposal Due Date and before the resultant agreement is drafted as a continuation of the solicitation requirements and/or as part of the vendor registration process. Should BIDDER be unable or unwilling to satisfy this requirement, BIDDER may be disqualified. The CITY reserves the right to negotiate any and all submitted pricing, payment terms, warranties, etc. with the BIDDER or selected CONTRACTOR during the evaluation process, drafting phase of the resultant agreement, and/or at a time otherwise determined by the CITY.

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SECTION V EVALUATION AND SELECTION

The CITY will conduct a comprehensive, fair, and impartial evaluation of all responses to this solicitation. The CITY shall select the most responsive, responsible, and qualified BIDDER based on pricing. Prior to the final selection, BIDDER(s) may be required to submit additional information which the CITY may deem necessary to further evaluate the BIDDERS' responses.

8. ATTACHMENTS, EXHIBITS & FORMS:

- Exhibit A – Schedule of Values
- Exhibit B – Statement of Qualifications
- Exhibit C – Subcontractor and Supplier Listing

1. Evaluation criteria The CITY will conduct a comprehensive, fair, and impartial evaluation of all proposals received in response to this solicitation.

2. The CITY shall evaluate all submissions in the order listed below:

- On-time and complete submission (with all required documentation)
- License requirements
- Projected completion date and lead time
- Previous performance at a satisfactory level
 - The CITY reserves the right to eliminate any submission should BIDDER have evidence of previous poor or unsatisfactory performance for similar or dissimilar services performed for the CITY or other companies.
- Statement of Qualifications or Qualification Questionnaire
- Current and pending workload with the CITY performing similar and dissimilar services, and the capability to take on additional responsibilities without negatively impacting existing opportunities
- Any other relevant factors, as listed in the solicitation
- Pricing versus the market
 - Pricing will be listed from lowest price to highest price for all bidders whose submission meets the minimum requirements listed above.

The applicable bid(s) will be eliminated if any of the following apply:

- Any criteria or requirements are incomplete
- Any criteria or requirements are not met
- The required schedule cannot be met
- Any other relevant factor(s) are not met, as determined by the CITY.

The remaining bid(s) will be evaluated based upon the evaluation criteria identified in the table below and an awardee(s) will be determined:

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Evaluation Criteria	Points
Qualifications: Evaluation of BIDDER’s professional qualifications, certifications, relevant experience, past performance, etc. relevant to this project.	30
Pricing: BIDDER’s pricing will be evaluated against the market.	20
Lead Time: Evaluation of BIDDER’s lead time. The CITY will give preference to bidders with the shortest confirmed lead time.	10
Total Possible Score	60

The bidder(s) with the best overall score will be the apparent awardee(s), pending final review and satisfaction of all requirements regarding the qualifications and documentation. The CITY may select one (1) respondent or multiple respondents to provide the solicited services by awarding based on the highest-scoring bid per category, location, service type, etc. The CITY reserves the right to split the award in its sole discretion. This solicitation and selection process shall in no way be deemed to create a binding contract, agreement, or offer of any kind between the CITY and any entity. If the CITY selects a CONTRACTOR(s) to provide the services described in this solicitation, any legal rights and obligations between the successful CONTRACTOR(s), if any, and the CITY will come into existence only when an agreement is fully executed by the parties, and the legal rights and obligations of each party shall at that time be only those rights and obligations which are set forth in the agreement and any other documents specifically referred to in that agreement and executed by the parties.

Should the highest-scoring or lowest-priced vendor(s) be unresponsive or unable to complete the vendor registration process, the CITY reserves the right to halt the vendor registration process for the highest-scoring or lowest-priced vendor(s) and proceed to the next highest-scoring or lowest-priced vendor(s). Should the next highest scoring or lowest-priced vendor(s) be unresponsive or unable to complete the vendor registration process, the CITY will continue to halt the vendor registration process and move onto the next highest scoring or lowest priced vendor(s) until a vendor(s) is successfully registered

2. Right to rescind award The awarded CONTRACTOR(s) will be required to enter into a formal agreement for these services after award. The CITY expects the awardee to suggest minimal revisions to this agreement. The CITY reserves the right to rescind an award should the awardee be considered, in the CITY’s sole opinion, to be inflexible in its agreement negotiations.

3. DBE/SBE/MBC Participation

Disadvantaged Business Enterprise Proposer is required to indicate whether the Firm and/or any proposed subconsultants are Disadvantaged Business Enterprise (DBE). The City of Edgewood encourages the use and participation of DBEs in procurement and evaluation proceedings, and evaluation proceedings will be conducted in accordance with established guidelines regarding equal employment opportunity and nondiscrimination on the basis of race, color, sex, or national origin. Interested certified Disadvantaged

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Business Enterprise (DBE) firms, as well as other minority-owned and women-owned firms, are encouraged to respond.

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RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

EXHIBIT A

Schedule of Values (SOV)		
Project Name: 5565 S. Orange Avenue, Edgewood, FL 32809		
Contractor Name:		
CONTRACT ITEMS		
Description	Total – (lumpsum)	Comments, if applicable
Supervision	\$0	
Project Manager/Supervisor/Staff		
Other		
Permits, drawings, engineering, plans, calculations, inspections through appropriate agencies, etc.		
Daily and final cleaning		
Removal and Disposal	\$0	
Removal/Disposal of existing roofing system, as specified		
Equipment	\$0	
Equipment		
Portable Generator		
Dumpster Expenses		
Portable Rentals (as needed)		
Masonry	\$0	
Masonry / Lath / Stucco / Plaster		
Wood, Plastics, and Carpentry	\$0	
Rough Carpentry		
Thermal & Moisture Protection	\$0	
Flat Roof Replacement, including removal		
Sloped Roof Repair		
Finishes and Specialty	\$0	
Interior Demo: Walls / Ceilings / Floors		
Metal Stud / Drywall / Finishing		
Deck repairs and removal items: paint, drains, etc.		
Aluminum Flashing		
Additional Items:		
Unforeseen Circumstances		
Contingency for unforeseen Circumstances	\$1,000.00	N/A
TOTAL PROJECT COSTS		

The bidder attests that the base bid amount (below) herein proposed includes the entirety of the work, fees, taxes, profit, overhead, general requirements, general conditions, etc., of the project, as per the bid documents. Completed Work to be inspected and approved prior to payment submittal. **SOV must be completed to be eligible for award, no exceptions.**

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EXHIBIT A Continued

\$ _____

Base bid (figure)

Corporate Name (Print): _____

Corporate Officer of Owner (Signature): _____

Corporate Officer of Owner (Print): _____

Title: _____

Date: _____

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EXHIBIT B

STATEMENT OF QUALIFICATIONS

The undersigned guarantees the truth and accuracy of all statements and answers herein contained.

1. How many years has your organization been in business as a General Contractor?

2. What is the last project of this nature you have completed?

3. Have you ever failed to complete work awarded to you: If so, where and why?

4. Name three individuals or corporations for which you have performed work and to which you refer?

5. List of the following information concerning all contracts on hand as of the date of submission of this proposal: (In case of co-venture, list of the information for all co-ventures).

Name of Project Owner	Total Contract Value	Contracted Date of Completion	% Completion to Date

(Continue list if necessary)

Statement of Qualifications Continued

6. Have you personally inspected the proposed work and have a complete plan for its performance?

7. Will you sublet any part of this work? If so, please list subcontractors

8. What equipment that you own is available for the proposed work?

9. What equipment will you purchase for the proposed work?

10. What equipment will you rent for the proposed work?

11. The following is a given summary of the Financial Statement of the undersigned: (List of assets and liabilities and use of insert sheet if necessary.)

12. State the true, exact, correct, and complete name of the partnership, corporation, or trade name under which you do business, and the address of the place of business. (If a corporation, state the name of the President and Secretary. If there is a partnership, state the name of all the partners. If a trade name is used, state the names of the individuals who do business under it. It is absolutely necessary that this information be furnished.)

Exhibit B Statement of Qualifications Continued

CORRECT NAME OF BIDDER

- a. The business is a (Sole Proprietorship) (Partnership) (Corporation)
- b. The address of the principal place of business is:

- c. The names of the corporate officers , or partners, or individuals doing business under a trade name, are as follows:

BIDDER

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EXHIBIT C

CONTRACTOR CERTIFICATION REGARDING DEBARMENT AND SUSPENSION

The undersigned as an officer and an authorized representative of Contractor certifies that Contractor and its principals:

- A. Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency.
- B. Have not within a three year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State, or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, falsification or destruction of records, making false statements, or receiving stolen property;
- C. Are not presently indicted for or otherwise criminally or civilly charged by a government entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (1)(b) of this certification; and
- D. Have not, within a three-year period preceding this application/proposal, had one or more public transactions (Federal, State, or local) terminated for cause or default.

I understand that a false statement on this certification may be grounds for rejection of this proposal or termination of the award. In addition, under 18 USC Sec. 1001, a false statement may result in a fine of up to \$10,000 or imprisonment for up to 5 years, or both.

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____

Date: _____

_____ I am unable to certify the above statements. My explanation is attached.

EXHIBIT D

NON-COLLUSION AFFIDAVIT OF PRIME BIDDER

The Bidder hereby declares that the undersigned is the person or persons responsible within the firm for the final decision as to the price(s) and amount of this bid and the Bidder further declares that:

1. The price(s) and amount of this bid have been arrived at independently, without consultation, communication, or agreement for the purpose of restricting competition with any other contractor, bidder or potential bidder.
2. Neither the price(s) nor the amount of this bid have been disclosed to any other firm or person who is a bidder or potential bidder on this project, and will not be disclosed prior to the bid opening.
3. No attempt has been made or will be made to solicit, cause, or induce any firm or person to refrain from bidding on this project, or to submit a bid higher than the bid of this firm, or any intentionally high or non-competitive bid or other form of complementary bid.
4. The bid is made in good faith and not pursuant to any agreement or discussion with, or inducement from, any other firm or person to submit a complementary bid.
5. The Bidder has not offered or entered into a subcontract or agreement regarding the purchase of materials or services from any other firm or person, or offered, promised, or paid cash or anything of value to any other Bidder or person, whether in connection with this or any other project, in consideration for an agreement or promise by any other firm or person to refrain from bidding or to submit a complementary bid on this project.
6. The Bidder has not accepted or been promised any subcontract or agreement regarding the sale of materials or services to any other firm or person, and has not been promised or paid cash or anything of value by any other firm or person, whether in connection with this or any other project, in consideration for the firm's submitting a complementary bid, or agreeing to do so, on this project.
7. The Bidder has made a diligent inquiry of all members, officers, employees, and agents of the Bidder with responsibilities relating to the preparation, approval or submission of the firm's bid on this project and have been advised by each of them that he or she has not participated in any communication, consultation, discussion, agreement, collusion, act, or other conduct inconsistent with any of the statements and representations made in this Declaration.

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____ Date: _____

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DIVISION OF WORK	SUBCONTRACTOR / SUPPLIER NAME, ADDRESS, PHONE #	PRINCIPAL OFFICER / CONTACT

Provide a signature identical to that shown on the Bid Form.

BIDDER: _____ LICENSE #: _____

SIGNATURE: _____ DATE: _____

PRINT NAME: _____

EXHIBIT F

ACKNOWLEDGEMENT OF PROJECT CONDITIONS

The Contractor acknowledges that no representations as to the work have been made by the Owner, the Project Engineer or by any one on the Owner's behalf, except as in this Contract expressly set forth. The Contractor warrants and represents that it has visited the site of the proposed work, that it has familiarized itself with existing conditions and the character of the operations to be carried on the Project per the requirements of the design documents and that it fully understands the facilities, difficulties and restrictions attending the execution of the Work under the Contract; the Contractor acknowledges that it has examined the Project and applicable regulatory requirements and from its own investigations has satisfied itself as to the nature and location of the Work, the general and local conditions, and all matters which may in any way affect the Work or its performance and the Contractor agrees that it will not make any claim for or have any right to, damages because of any misinterpretation or misunderstanding of the Contract or because of any lack of information or because of any incorrect information or inaccuracies contained or conveyed by any borings or by any diagrams, drawings, surveys, maps or samples, or by reason of any conditions (subsurface or otherwise) at the site which are not disclosed thereby unless such conditions could not have been discovered by a legitimate investigation of Contractor. The Contractor further acknowledges that any estimate of quantities set forth in this Contract is approximate, that the quantity of labor and materials requisite to complete its work may be more or less than estimated and that no action for damages shall accrue to the Contractor by reason of such difference if any in the absence of a written change order.

Acknowledged and signed by:

Signature

Print Name

Date

EXHIBIT G

LIST OF RECENTLY COMPLETED PROJECTS AND CONTRACT AMOUNTS

Provide the required information for a minimum of three (3) separate, verifiable projects. The work listed must be similar in nature to that specified in the solicitation.

1. Client Name: _____

a. Client Address _____

b. Client Phone _____

c. Contact Person _____

d. Project Name _____

e. Location of Project _____

f. Description of Project _____

g. Project Performance Date _____

h. Contract Amount: _____

2. Client Name: _____

a. Client Address _____

b. Client Phone _____

c. Contact Person _____

d. Project Name _____

e. Location of Project _____

f. Description of Project _____

g. Project Performance Date _____

h. Contract Amount: _____

3. Client Name: _____

a. Client Address _____

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b. Client Phone _____

c. Contact Person _____

d. Project Name _____

e. Location of Project _____

f. Description of Project _____

g. Project Performance Date _____

h. Contract Amount: _____

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____

Date _____

EXHIBIT H

LIST OF REFERENCES

Provide the required information for a minimum of three (3) separate and verifiable references.

1. Reference 1:

a. Name _____

b. Address _____

c. Phone Number _____

d. Email Address _____

2. Reference 2:

a. Name _____

b. Address _____

c. Phone Number _____

d. Email Address _____

3. Reference 3:

a. Name _____

b. Address _____

c. Phone Number _____

d. Email Address _____

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____

Date _____

EXHIBIT I

FIRM CERTIFICATION

I/we make the following certifications and assurances as a required element of this solicitation, understanding that the truthfulness of the facts affirmed here and the continuing compliance with these requirements are conditions precedent to the award or continuation of the related contract:

1. I/we declare that all answers and statements made in the proposal are true and correct.
2. I/we understand that the Seminole Tribe of Florida will not reimburse me/us for any costs incurred in the preparation of this proposal.
3. I/we agree that submission of the attached qualifications constitutes acceptance and understanding of the contents of the solicitation and the attached sample contract and general terms and conditions. If there are any exceptions to these terms, I/we have described those exceptions in detail on a page attached to this document.
4. No attempt has been made or will be made by the Firm to induce any other person or firm to submit or not to submit a proposal for the purpose of restricting competition.
5. I/we grant the Seminole Tribe of Florida the right to contact references and others who may have pertinent information regarding the ability of the Respondent and the lead staff person to perform the services contemplated by this proposal.

On behalf of the firm submitting this proposal, I hereby certify the above statements:

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____

Date _____

EXHIBIT J

DRUG-FREE WORKPLACE FORM

The undersigned Bidder does:

1. Publish a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the workplace and specifying the actions that will be taken against employees for violations of such prohibition.
2. Inform employees about the dangers of drug abuse in the workplace, the business's policy of maintaining a drug-free workplace, any available drug counseling, rehabilitation, employee assistance programs and the penalties that may be imposed upon employees for drug abuse violations.
3. Give each employee engaged in providing the commodities or contractual services that are under procurement a copy of the statement specified in Paragraph 1.
4. In the statement specified in Paragraph 1, notify the employees that, as a condition of working on the commodities or contractual services that are under Proposal, the employee will abide by the terms of the statement and will notify the employer of any conviction of, or plea of guilty or no contest to, any violation of any controlled substance law of the United States or any state, for a violation occurring in the workplace no later than five (5) days after such conviction.
5. Impose a sanction on, or require the satisfactory participation in, a drug assistance or rehabilitation program if such is available in the employee's community, by any employee who is so convicted.
6. Make a good faith effort to continue to maintain a drug-free workplace through implementation of Paragraphs 1 through 5.

Check one: _____ As the person authorized to sign this statement, I certify that this firm complies fully with above requirements.

_____ As the person authorized to sign this statement, this firm does not comply fully with the above requirements.

Business Name: _____

Signature of Authorized Representative: _____

Print Name: _____

Title: _____

Date _____

EXHIBIT K

ACKNOWLEDGEMENT OF RECEIPT OF ADDENDA

Bidder acknowledges receipt of the Following Addenda:

Addendum No. 1, dated: _____ Addendum No. 5, dated: _____

Addendum No. 2, dated: _____ Addendum No. 6, dated: _____

Addendum No. 3, dated: _____ Addendum No. 7, dated: _____

Addendum No. 4, dated: _____ Addendum No. 8, dated: _____

COMPANY NAME: _____

BY (PRINT): _____

TITLE: _____

SIGNATURE: _____

ADDRESS: _____

CITY/STATE: _____ ZIP CODE: _____

TELEPHONE: (____) _____

FAX: (____) _____

EMAIL: _____

ATTEST: _____

TITLE/SEAL: _____

Note: Attest for a corporation must be by the corporate secretary; for a partnership by another partner; for an individual by a notary.

Note: If the Bidder is a corporation, the Bid shall be signed by an officer of the corporation; if a partnership, it shall be signed by a partner. If signed by others, authority for signature shall be attached.

The full names and addresses of persons or parties interested in the foregoing Bid, as principals, are as follows:

Name	Address
_____	_____
_____	_____
_____	_____



ATTACHMENT A

INSURANCE REQUIREMENTS

The CITY reserves the right to modify the insurance requirements listed in this solicitation, as needed.

CONTRACTOR receiving an award, if any, will be requested to procure and maintain insurance coverage throughout the term of service provision from an insurer(s) financially acceptable and lawfully authorized to do business in the State of Florida. Such coverage shall protect CONTRACTOR against claims arising from sickness, disease, death or injury to persons, and/or physical damage to tangible property, including loss of use, which may arise from the goods, products, or services provided by the CONTRACTOR, its agents, or its representatives.

Minimum Scope of Insurance CONTRACTOR's insurance coverage shall include the following minimum limits and coverage, if applicable:

1. Commercial General Liability insurance on an occurrence coverage form, at least as broad as the Insurance Services Office Commercial General Liability Policy form CG 0001 ©, current edition. Other than the standard exclusions applicable to pollution, asbestos, mold, employment practices, ERISA, and professional liability, there shall be no additional limitations or exclusions beyond those contained in the above-referenced policy form applicable to products and contractual liability. In addition to procuring and maintaining this insurance during the duration of the contract, CONTRACTOR agrees to continue to procure and continuously maintain products liability insurance coverage for a minimum of three years after the date the contract is completed or terminated.
2. Automobile Liability insurance covering liability arising from the use or operation of any auto, including those owned, hired or otherwise operated or used by or on behalf of the CONTRACTOR. The coverage shall be at least as broad as the Insurance Services Office Business Automobile Policy, form CA 0001 ©, current edition.
3. Workers' Compensation and Employer's Liability insurance as is required by statute or law, or as may be available on a voluntary basis.
4. Professional Liability insurance covering wrongful acts made by or on behalf of the CONTRACTOR. Claims-made coverage is permitted, provided the policy retroactive date is continuously maintained prior to the commencement of professional services rendered to the CITY, plus an additional period of three years after such services have been rendered to the CITY. If the CONTRACTOR's scope of work includes environmental engineering or consulting, the coverage required hereunder must not exclude coverage for environmental (professional) services.

Attachment A insurance requirements continued

Minimum Limits of Insurance

CONTRACTOR shall maintain the following minimum limits of insurance, if applicable (unless higher limits are required by law or statute):

1. Commercial General Liability (including umbrella or excess liability): \$1,000,000 per occurrence, bodily injury and property damage liability; \$1,000,000 per offense personal and advertising injury liability; \$1,000,000 products and completed operations policy aggregate and \$2,000,000 policy general aggregate applicable to claims other than products and completed operations.
2. Automobile Liability: \$1,000,000 combined bodily injury and property damage liability per accident for bodily injury and property damage.
3. Employer's Liability: \$500,000 accident for bodily injury by accident or disease, including \$500,000 disease aggregate.
4. Professional Liability: \$1,000,000 each wrongful act, \$2,000,000 policy aggregate. If CONTRACTOR's contract with The CITY exceeds \$1,000,000, the each wrongful act limits shall apply separately to the CITY's project.

Deductibles and Self-Insured Retentions

The funding of deductibles and self-insured retentions maintained by CONTRACTOR shall be the sole responsibility of CONTRACTOR. Self-insured retentions in excess of \$50,000 must be declared to and approved by the CITY.

Other Insurance Provisions

The required insurance shall contain the following additional provisions:

- I. **ADDITIONAL INSURED** – The CITY must be included as an additional insured, by endorsement, under CONTRACTOR's Commercial General Liability with respect to liability arising from CONTRACTOR's products, goods, or work or operations performed by or on behalf of CONTRACTOR.
- II. **WAIVERS OF SUBROGATION** – CONTRACTOR agrees to waive all rights of subrogation against the CITY and other tenants of the CITY, with respect to loss, damage, claims, suits, or demands, howsoever caused:
 - a. To real or personal property, equipment, vehicles, tools, laptops, etc. owned, leased or used by CONTRACTOR, its employees, agents, or subcontractors; and
 - b. To the extent such loss, damage, claims, suits, or demands are covered, or should be covered, by the required insurance or any other insurance maintained by the CONTRACTOR. This waiver shall apply to all first party property, equipment, vehicle and worker's compensation claims, and all third party liability claims, including deductibles or retentions, which may be applicable thereto. The CONTRACTOR agrees to endorse the required insurance policies to acknowledge the required waivers of subrogation in favor of the CITY. CONTRACTOR further agrees to hold harmless and indemnify the CITY for any loss or expense incurred

Attachment A insurance requirements continued

as a result of CONTRACTOR's failure to obtain such waivers of subrogation from CONTRACTOR's insurers.

- III. NOTICE OF CANCELLATION – Each insurance policy shall be endorsed to require Insurer(s) to provide thirty (30) days' written notice to the CITY by certified mail, return receipt requested, prior to any suspension, cancellation or non-renewal of the required insurance. Acceptability of Insurers Insurance is to be placed with insurers with a current A.M. Best's rating of not less than A- VII, unless otherwise approved by the CITY. Verification of Coverage CONTRACTOR shall furnish the CITY with a certificate of insurance evidencing the required coverage prior to the delivery of product, goods or services to the CITY. The certificates are to be signed by a person authorized by the insurer(s) to bind coverage on their behalf. Renewal certificates are to be provided to the CITY prior to the expiration of the required insurance policies. As an alternative to a certificate of insurance, CONTRACTOR's broker or insurer may provide complete, certified copies of all required insurance policies, including endorsements necessary to affect coverage required by these specifications.



**Attachment B
CONTRACTOR LICENSING REQUIREMENTS & REQUIRED PERMITS**

Date: _____

To: Dean DeSchryver, Police Chief

Cc: Sandra Riffle, City Clerk

**PROJECT NAME: RFP 2026-EPD-01
Flat Roof Replacement (Edgewood Police Department)**

Based upon a preliminary review, the scope of services set out in the contractor definitions for the State of Florida certifications and/or county licenses and/or state registrations listed below substantially correspond to the contents of the scope of work provided for the above-referenced project. The prime contractor and all subcontractors should provide evidence of licensure of Orange County. Any of the following:

STATE: Certified Roofing Contractor
OR
COUNTY: Orange County Roofing Contractor

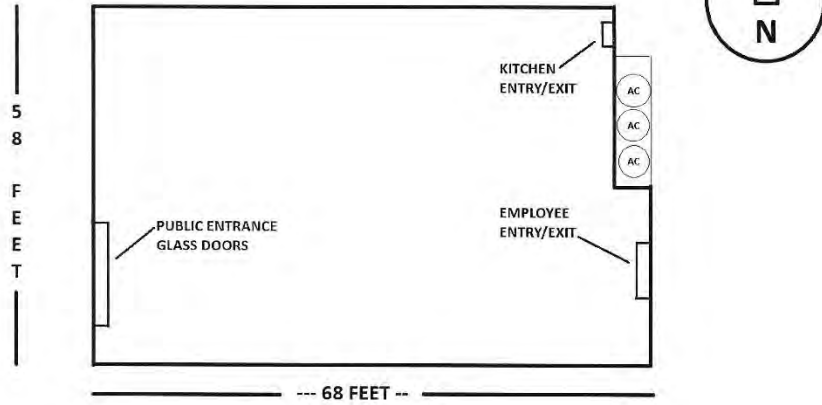
PLEASE NOTE THAT A LICENSED SUBCONTRACTOR SHOULD COMPLETE ALL WORK NOT WITHIN THE SCOPE OF THE ABOVE CONTRACTOR. ALL CONTRACTORS MUST HAVE CURRENT LIABILITY INSURANCE AND WORKER'S COMPENSATION, OR PROOF OF EXEMPTION FROM WORKER'S COMPENSATION.

REQUIRED PERMITS: COMMERCIAL BUILDING ROOF/REROOF

The representations contained herein are based on information provided to our department regarding the above-referenced project and may not represent a comprehensive list of all license categories or eligible providers. Additional or differing facts may affect the license categories that are legally permitted to perform the work required for the project. Recipients are encouraged to contact the division with any additional information that may affect licensure requirements.

ATTACHMENT C
IMAGES

EDGEWOOD POLICE DEPARTMENT
5565 S. ORANGE AVENUE

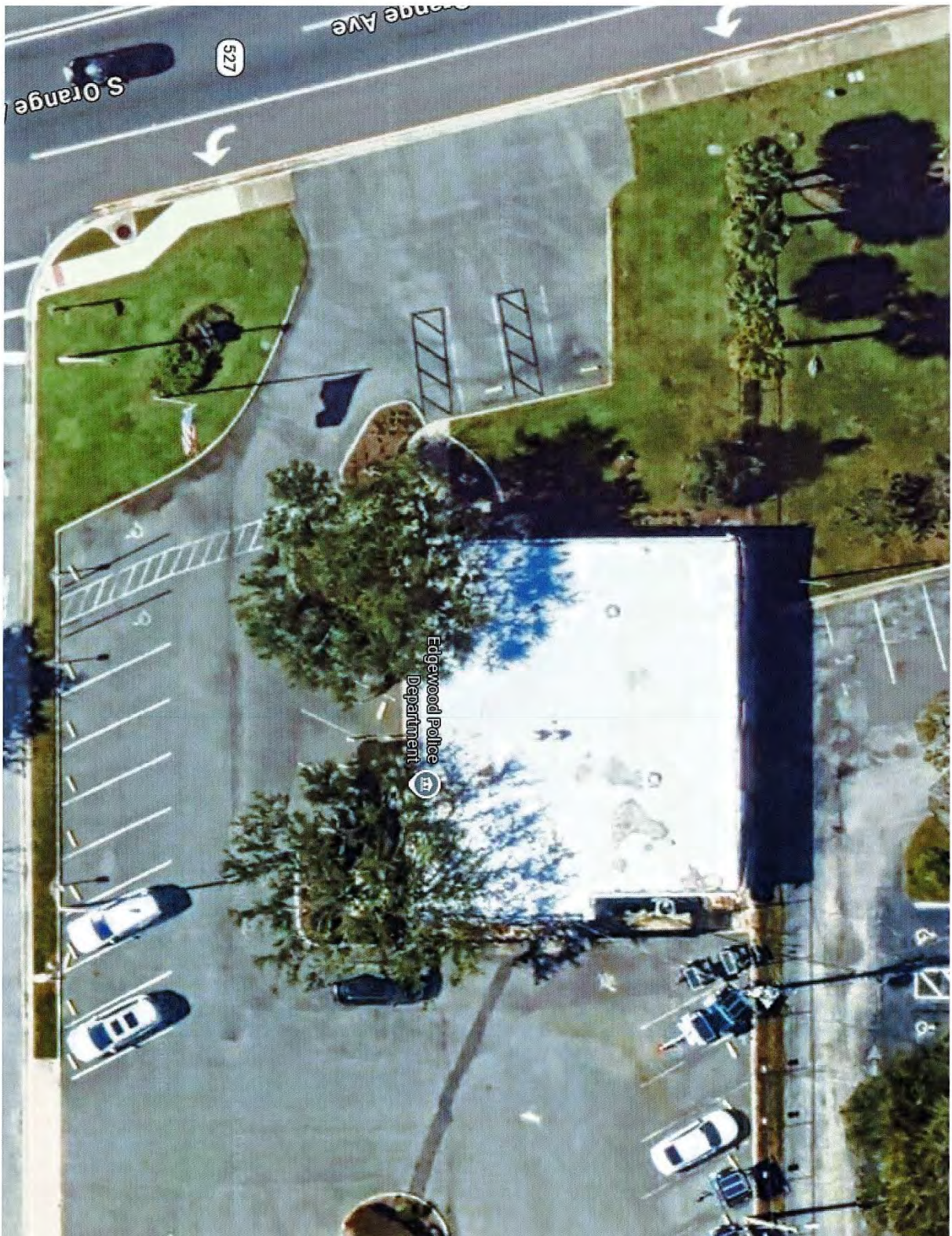


ATTACHMENT C IMAGES

Existing Roofing System Photos:



ATTACHMENT C IMAGES





ADDENDUM No. 1
Bid No. RFP 2026-EPD-01
Flat Roof Replacement (Edgewood Police Department)

March 11, 2026

TO: All Prospective Bidders:

The following changes, additions, clarifications, and deletions, amend the Bid Documents of the above-captioned Project and shall become an integral part of the Contract Documents. Please note the contents herein and affix the same to the documents you have on hand. Indicate on the Bid Form that this Addendum has been received.

Attachment: Clarifying information

Please sign and include in Bid Submission.

Name of Firm: _____

Signature: _____

Date: _____

Attachment:

Bid No. RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

Based on observations in the field, the scope of work for this project is modified as follows:

1. Removal of Existing Membrane, Insulation, and Lightweight Concrete

- **Addendum item: Contractor shall remove existing membrane(s), insulation, and lightweight concrete down to the metal deck.**
- Original RFP Section: Section II – Scope of Work/Services, specifically under "Removal of Existing Roofing".
- Change Detail: The original scope asked the contractor to remove material down to the wood decking and only replace insulation if it was wet or damaged.
- **Patch and Repair Metal Deck (with Per SF Cost)**
 - **Addendum item:**
 - **Patch and repair the deck as required.**
 - **Provide a per sf cost to patch/repair the existing galvanized metal deck.**
 - Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
 - Change Detail: The original RFP mentioned replacing damaged plywood and framing. The addendum updates the substrate type to galvanized metal deck and adds a requirement for a specific unit price (per SF) for repairs.

3. Pressure-Treated Lumber at Perimeter

- **Addendum item: Provide new pressure-treated lumber at the perimeter of the roof to create a nailing edge and surround with new polyiso insulation.**
- Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
- Change Detail: This expands on the requirement to replace framing as needed by specifying the use of pressure-treated lumber to create a nailing edge for the new insulation height.

4. 4” Polyiso Insulation and Tapered Insulation (2% Slope)

- **Addendum item: Install 4” polyiso rigid insulation plus one layer of tapered insulation with 2% slope to create a “peak” at the center of the roof.**
- Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
- Change Detail: The original RFP required the contractor only to ensure the deck slopes properly and install crickets/pitches. The addendum provides a strict technical standard: 4” of base insulation plus a 2% tapered slope to a center peak.

Attachment:

Bid No. RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

5. Mechanically Fastened 60mil TPO Membrane

- **Addendum item: Install new, mechanically fastened 60mil thermoplastic polyolefin (TPO) membrane. Include all boots and transitions required for existing roof-top equipment and penetrations.**
- Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
- Change Detail: The original RFP specified a modified self-adhered cap sheet (Modified Bitumen) following GAF specifications. The addendum replaces that system with a 60mil TPO membrane that is mechanically fastened.

6. Powder-Coated Aluminum Flashing and Gutters

- **Addendum item:**
 - **Provide new powder-coated aluminum flashing with cleats at the perimeter of the roof as required to properly drain the roof into the existing gutters. Lap splice roofing around flashing per the manufacturer's recommendations.**
 - **Existing gutters and downspouts are in good working order. Contractor will preserve and protect the existing system and replace any damaged components at no additional cost.**
- Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
- Change Detail: The original RFP required flashing, metal trim, and drip edges.

7. Stucco and Lower Roof Exclusions

- **Addendum item:**
 - **No stucco work is required.**
 - **Work on the lower roofs/canopies is not required and may be omitted from this scope.**
- Original RFP Section: Section II – Scope of Work/Services, under "Removal of Existing Roofing" and "New Roof Installation".
- Change Detail: The original RFP required the removal of stucco, cutting back stucco on parapets, and applying new stucco.



ADDENDUM No 2
Bid No. RFP 2026-EPD-01
Flat Roof Replacement (Edgewood Police Department)

March 17, 2026

TO: All Prospective Bidders:

The following changes, additions, clarifications, and deletions, amend the Bid Documents of the above-captioned Project and shall become an integral part of the Contract Documents. Please note the contents herein and affix the same to the documents you have on hand. Indicate on the Bid Form that this Addendum has been received.

Attachment: Clarifying information

Please sign and include in Bid Submission.

Name of Firm: _____

Signature: _____

Date: _____

Attachment: Addendum No. 2
Bid No. RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

Based on questions received from a contractor, the answers are provided below.

1. Can the scope of work be modified to permit leaving the lightweight concrete in place?
If you do, please also include removal, because submittals must be as consistent as possible to ensure fairness in our review – apples-to-apples.
2. Please clarify that the two existing roofs, TPO and gravel BUR, are BOTH to be removed.
Yes, both. Leaving old layers can trap moisture and add unnecessary weight.
3. Can the scope of work be modified to permit installing a TPO membrane directly over the existing lightweight insulation
No, a “clean slate” is preferred. If the TPO is installed over old insulation and the roof leaks 6 months later, it will be difficult to determine the cause of the leak. Major manufacturers are less likely to issue a No Dollar Limit Warranty on a recover project. Also, since there are currently two roof systems (TPO and Gravel BUR), adding a third layer may violate building code.
4. At the gutter locations, will TPO-coated metal be required for the drip edge and for welding the TPO membrane to it?
Yes, TPO-coated metal is required for all drip edges.
5. Will a fully tapered insulation system be required by the owner? If yes, would a 1/8” slope be allowed? This will give positive drainage but be more economical than ____ ?” slope.
Yes, a fully tapered insulation system is required. To ensure positive drainage and comply with manufacturer warranty requirements for a 20-year NDL, a minimum slope of 1/4” per foot must be maintained across the field of the roof. 1/8” slope will not be permitted. For code compliance, the 1/4” meets the FBC standard.
6. Is an additional site visit allowed?
Yes. Please make an appointment to meet before the end of this week.
7. When is the anticipated start date for work?
After City Council determines the winning bid on April 21, 2026. We would prefer to award and start work before the end of April.
8. Are there any blackout days which the contractor is not permitted to work?
Typically, work is not done over weekends; however, an arrangement can be made if necessary, due to material restrictions, weather conditions, etc.

9. What date does the owner want the work complete by?

Within 90 days of starting work.

10. Is a bid bond required? If yes, is an AIA Standard Bid Bond form or equal acceptable?

Yes, a Bid Bond in the amount of [5% or 10%] of the total bid is required. An AIA A310™ Standard Bid Bond form or an equivalent form provided by a Treasury-listed surety is acceptable.

11. Please clarify what type of sheet metal you want. Is 24 GA Kynar the required metal for locations not utilizing TPO coated metal?

Yes, all perimeter edge metal, coping caps, and flashing not specifically designated as TPO-coated metal shall be 24-gauge galvanized steel with a Kynar 500® (PVDF) finish.



ADDENDUM No. 3
Bid No. RFP 2026-EPD-01
Flat Roof Replacement (Edgewood Police Department)

March 19, 2026

TO: All Prospective Bidders:

The following changes, additions, clarifications, and deletions, amend the Bid Documents of the above-captioned Project and shall become an integral part of the Contract Documents. Please note the contents herein and affix the same to the documents you have on hand. Indicate on the Bid Form that this Addendum has been received.

Attachment: Clarifying information

Please sign and include in Bid Submission.

Name of Firm: _____

Signature: _____

Date: _____



Addendum#3 Attachment:

Bid No. RFP 2026-EPD-01 Flat Roof Replacement (Edgewood Police Department)

Clarification of Addendum 1, Item #5:

Mechanically Fastened or **fully adhered 60mil TPO Membrane.**

- **Addendum item: Install new, mechanically fastened or fully adhered 60mil thermoplastic polyolefin (TPO) membrane. Include all boots and transitions required for existing roof-top equipment and penetrations. The proposed roof system shall have a current, Florida product approval or Miami-Dade N.O.A meeting the design wind pressures for the building location.**
- Original RFP Section: Section II – Scope of Work/Services, under "New Roof Installation".
- Change Detail: Addendum #1, Item #5, specified a mechanically fastened 60 mil TPO roof system. The addendum changes the roof system to allow either mechanically fastened or fully adhered 60mil TPO Membrane roof systems.

GENERAL INFORMATION

CITIZEN COMMENTS

BOARDS AND COMMITTEES

301 Mary Jess Rd. - Office Addition Site Plan Approval



Date: April 15, 2026
To: City Council
From: Ellen Hardgrove, City Planning Consultant
Allen Lane, City Engineer Consultant
XC: Brett Sollazzo, Administrative & Permitting Manager
Drew Smith, City Attorney
Sandy Riffle, City Clerk
Re: Site Plan Approval for 301 West Mary Jess Road (L&W Supply Co.)

APPLICATION SUMMARY

Request: Approval of a minor site plan amendment for a conversion of covered storage area to enclosed area internal to the property located at L&W Supply Co., 301 West Mary Jess Road (Tax Parcel 13-23-29-0000-00-012). Exhibits 1 and 2 provide an illustration of the conversion location.

Staff Findings: The subject property operates as a wholesale building supplies operation exceeding 50,000 gross square feet (52,577 square feet of office and merchandise storage areas) and is situated adjacent to a residential district on the north and west. While current code would require a Special Exception for this use and scale, the operation is a legally nonconforming use as it preceded the current regulatory requirements.

Per Section 134-38(c), nonconforming uses may not be enlarged beyond the scope and area of their operation at the time of adoption. Staff finds the proposal compliant with this prohibition, as the enclosure of 432 square feet will replace the existing paved/covered area of the same size. Consequently, the operational footprint, impervious surface ratio, and intensity of the business remain unchanged.

Impacts to the adjacent residential from the conversion are not anticipated. The building conversion will be internal to the site, at the same height of the existing building (23 feet), and the newly enclosed walls are positioned with a greater setback from the western property line than the existing covered storage area it is replacing (57.69 feet existing to 66.3 feet after conversion). Furthermore, the proposal will be enclosing an area in current outdoor use. As the area is already paved and covered, the conversion to an enclosed structure will have a neutral impact on stormwater runoff.

Staff finds the proposed site plan (dated Received March 19, 2026) consistent with Article II, Division 5 (Site Plan Review) of the City Zoning Code and other applicable requirements.

RECOMMENDATION FROM PLANNING AND ZONING BOARD

Approval of the site plan dated Received March 19, 2026 for the property at 301 West Mary Jess Road based on the findings that the request is consistent with the City’s Site Plan Review standards and does not constitute an expansion of a nonconforming use.

Exhibit 1: Site Plan Excerpt: Conversion of Existing Covered Storage to Building

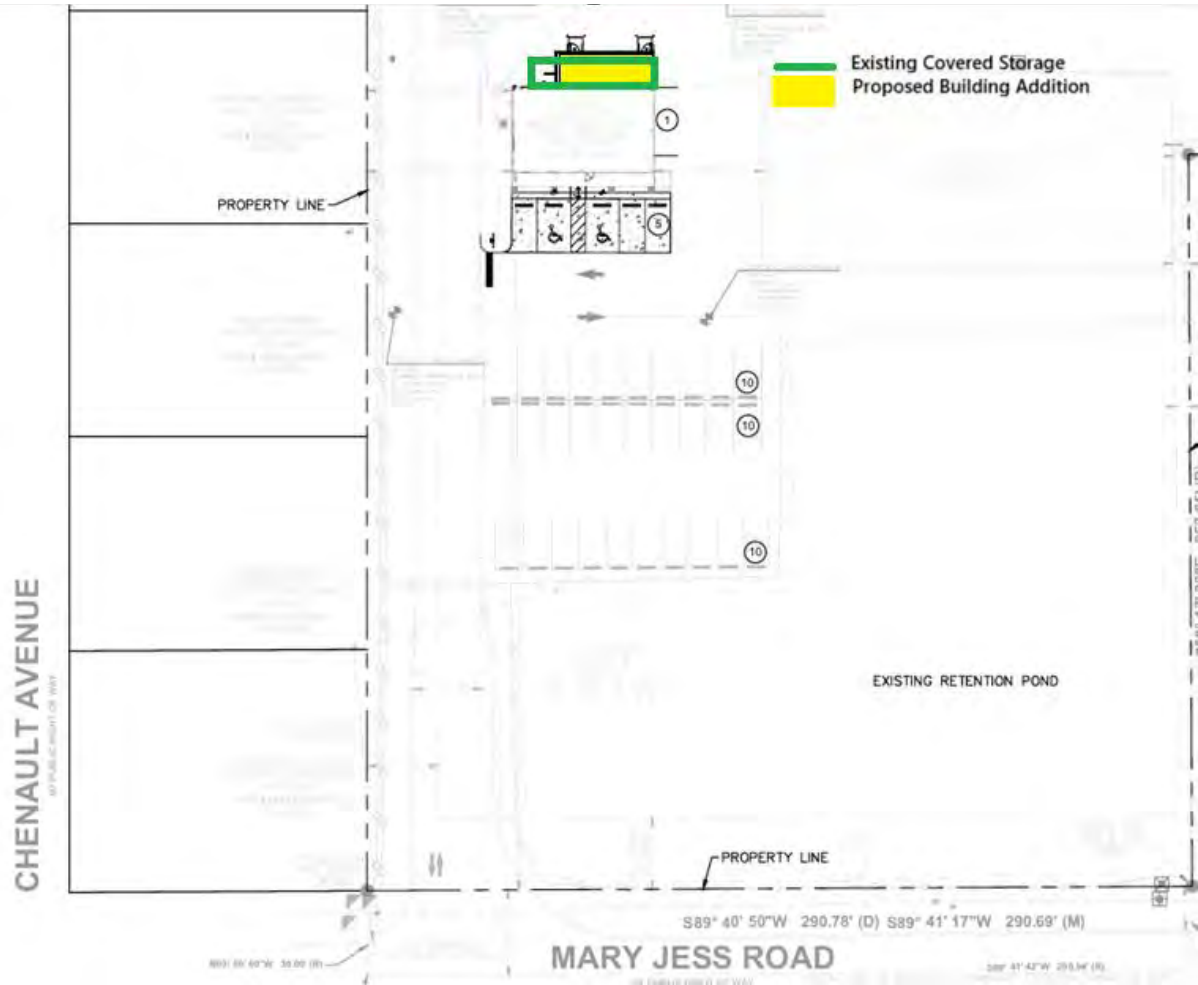


Exhibit 2: Aerial of Location of Conversion



Sec. 134-579. Table of bulk regulations and setbacks.

District	Minimum Lot Area (Square Feet)	Minimum Floor Area (Square Feet)	Minimum ¹ Lot Width (Feet)	Minimum ¹ Front Yard (Feet)	Minimum ¹ Rear Yard (Feet)	Maximum (Impervious) Lot Coverage	Minimum Side Yard (Feet)	Maximum Building Height (Feet)	Lake Setback ¹
C-3	12,000	500	125 on major streets; 100 for all other streets ⁶	25, except on major streets as provided in this division	15; 30 where abutting residential district	—	five; 25 where abutting residential district; 15 from any side street	75; 35 within 100 ft. of all residential districts	50

City of Edgewood

Commercial Site Plan Application – Cover Sheet

This form serves as a general application and cover sheet for commercial site plan submittals. Submission of this form does not constitute approval and additional information may be required during review.

PROJECT INFORMATION

Project / Business Name	American Builders & Contractors Supply
Site Address	301 Mary Jess Road, Orlando FL 32839
Parcel ID(s)	13-23-29-0000-00-012
Zoning District	C-3
Existing Use	Commercial Wholesale
Proposed Use	Commercial Wholesale
Brief Description of Work	582 SF Addition to the rear of the existing office building & parking lot improvements

PROPERTY OWNER INFORMATION

Owner Name	L&W Supply
Mailing Address	1 ABC Pkwy Beloit WI 53511
Phone Number	561-566-5919
Email Address	bob.razler@abcsupply.com

APPLICANT / CONTRACTOR INFORMATION (if different from owner)

Company / Individual Name	John Gackstetter
Contact Person	
Mailing Address	1 ABC Pkwy Beloit WI 53511
Phone Number	608-362-7777
Email Address	john.gackstetter@abcsupply.com
Role	

GENERAL SITE INFORMATION

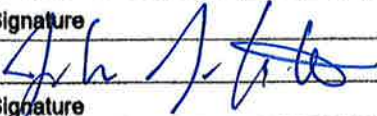
Total Site Area	244,568 SF
Total Building Area	2,090 SF
Number of Buildings	1
Proposed Building Height	Match Existing Building Height
Parking Spaces (existing / proposed)	37 existing, 35 proposed
Number of Driveways	Keep existing driveway conditions

SUBMITTAL TYPE

New Commercial Development Redevelopment Addition / Expansion Change of Use Site Modification

CERTIFICATION

I certify that the information provided on this application is accurate to the best of my knowledge.

Property Owner Name	Signature	Date
John Grackstetter		2/9/26
Applicant / Contractor Name	Signature	Date
Victor Brito	Victor Brito	2/6/26

Date: 1/27/2026

Albert Fasano, P.E.
Kimley-Horn and Associates, Inc.
445 24th Street, Suite 200
Vero Beach, FL 32960

RE: American Builders & Contractors Supply
Parcel ID# 13-23-29-0000-00-012
Site Address: 301 Mary Jess Road Orlando, FL 32839
Agent Authorization for Permits, and Approvals

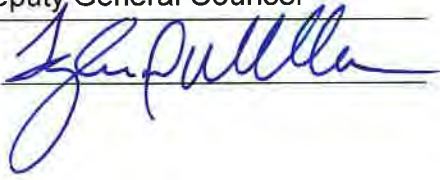
To Whom It May Concern,

This letter is to authorize Kimley-Horn and Associates, Inc. and its appointed agents to act as authorized representative for American Builders & Contractors Supply in the application for all required permits or approvals for the property referenced above.

If there are any questions or comments, please contact me at _____ - _____ - _____.

By: Tyler D. Williams

Title: Deputy General Counsel


Signature: 

Sworn to (or affirmed) and subscribed before me this 28th day of January, 2026 by

Tyler D. Williams who is personally known or produced
_____ as identification.

Exp. Date: 01/16/2028

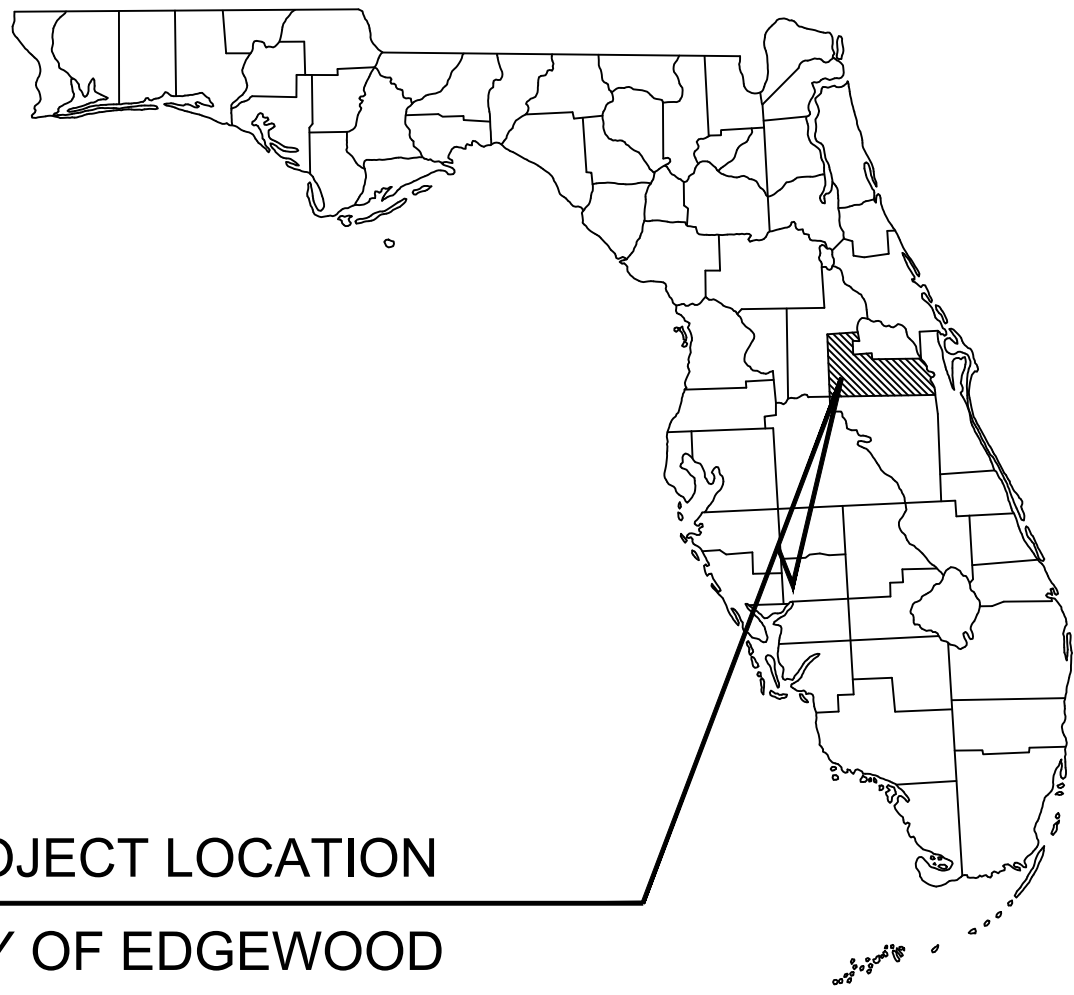
Commission Number: _____

Signature of Notary Public: 

Name (print) of Notary Public: Shelby A. Bartle



Plotted By: Richmond, Danny. Sheet: ABC-EDGEWOOD - Layout: COVER SHEET. March 18, 2026 05:05:13pm. K:\VRRB-ALDEVA-American Builders & Contractors\Supp\A\Edgewood\CAD\PlanSheets\C-000 COVER SHEET.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION
CITY OF EDGEWOOD

PROJECT TEAM

APPLICANT
BOB RAZLER
ABC SUPPLY INTERIORS
6747 BELVEDERE RD. SUITE 101
WEST PALM BEACH, FL. 33413
CELL: 561.566.8919
BOB.RAZLER@ABCSUPPLY.COM

CIVIL ENGINEER
ALBERT (AJ) FASANO, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FL 32960
(772) 794-4152
AJ.FASANO@KIMLEY-HORN.COM

ARCHITECT
JENNIFER NELSON
ACS CINCINNATI
4555 LAKE FOREST DRIVE, SUITE 650
CINCINNATI, OH 45242
(513) 991-6200
JNELSON@ACS-ARCHITECTS.COM

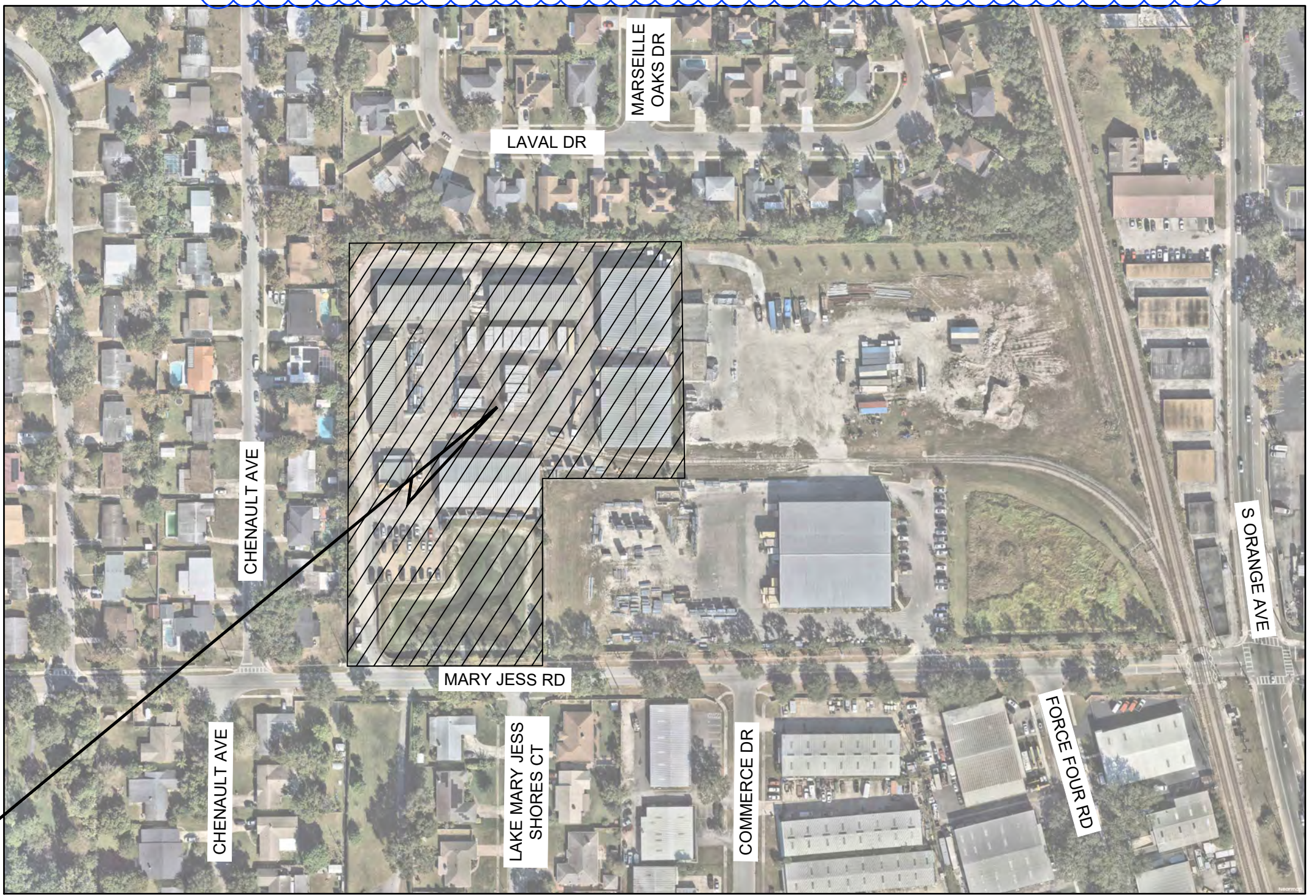
SURVEYOR
CLINTON N. RICKNER, PSM
NV5
6200 LEE VISTA BLVD, SUITE 400
ORLANDO, FL 32822
(407) 896-3317

CONSTRUCTION PLANS

FOR ABC EDGEWOOD

LOCATED AT

301 W MARY JESS RD
EDGEWOOD, FL 32839
SECTION 13, TOWNSHIP 23S, RANGE 29E
PARCEL #: 13-23-29-0000-00-012



PROJECT LOCATION

Sheet List Table	
Sheet Number	Sheet Title
C-000	COVER SHEET
C-001	GENERAL NOTES
1 OF 2	SURVEY 1 OF 2
2 OF 2	SURVEY 2 OF 2
C-100	OVERALL SITE PLAN
C-101	SITE PLAN
C-150	SITE DETAILS

LIST OF CONTACTS

WATER
ORLANDO UTILITIES COMMISSION
100 W ANDERSON ST
ORLANDO, FL 32801
(407) 423-9018

PLANNING
CITY OF EDGEWOOD PLANNING AND ZONING
405 BAGSHAW WAY
EDGEWOOD, FL 32809
(407) 851-2920

SANITARY SEWER
ORLANDO UTILITIES COMMISSION
100 W ANDERSON ST
ORLANDO, FL 32801
(407) 423-9018

ZONING
CITY OF EDGEWOOD PLANNING AND ZONING
405 BAGSHAW WAY
EDGEWOOD, FL 32809
(407) 851-2920

FIRE PREVENTION
ORANGE COUNTY FIRE DEPARTMENT
1700 W OAK RIDGE RD
ORLANDO, FL 32809
(407) 836-9000

BUILDING DIVISION
CITY OF EDGEWOOD BUILDING AND PERMITTING
405 BAGSHAW WAY
EDGEWOOD, FL 32809
(407) 851-2920

ELECTRIC PROVIDER
DUKE ENERGY
405 BAGSHAW WAY
EDGEWOOD, FL 32809
(407) 851-7361

CABLE PROVIDER
DIRECT TV
(855) 632-0782

TELEPHONE PROVIDER
COMCAST
(866) 608-4419

NATURAL GAS PROVIDER
PALATKA GAS AUTHORITY
518 MAIN STREET
PALATKA, FL 32177
(386) 328-1591
CONTACT: LATRECIA WILKERSON



LEGAL DESCRIPTION:

THAT PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHWEST CORNER OF THE SW 1/4 OF THE SW 1/4 OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA, RUN N00°00'44" W, 30.00 FEET TO AN IRON BAR AND CAP STAMPED "RLS 1585 AND RLS 1819" THENCE CONTINUE N00°00'44" W, 602.15 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AND RECORDED IN DEED BOOK 1009, PAGE 246, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°41'43" E, 490.24 FEET ALONG THE NORTH BOUNDARY OF SAID PARCEL OF LAND TO A RECOVERED 1/2-INCH IRON BAR, SAID RECOVERED 1/2-INCH IRON BAR BEING THE NORTHWEST CORNER OF PARCEL "A" AS DESCRIBED AND RECORDED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S00°00'19" W, 344.38 FEET ALONG THE WEST BOUNDARY OF "PARCEL A" AND THE SOUTHERLY PROLONGATION THEREOF, TO A POINT ON THE NORTH BOUNDARY OF "PARCEL B" AS DESCRIBED AND RECORDED IN THE AFORESAID BOOK 3007, PAGE 1 OF OFFICIAL RECORDS, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SAID POINT BEING A 4-INCH BY 4-INCH CONCRETE MONUMENT WITH A SILVER DISK STAMPED "RLS 1585 AND RLS 1819"; THENCE RUN S89°41'43" W, 290.67 FEET TO THE NORTHWEST CORNER OF SAID "PARCEL B"; SAID NORTHWEST CORNER BEING A 4-INCH BY 4-INCH CONCRETE MONUMENT WITH A SILVER DISK STAMPED "RLS 1585 AND RLS 1819"; THENCE RUN S00°18'17" E, 257.85 FEET ALONG THE WEST BOUNDARY OF SAID "PARCEL B" TO A RECOVERED 1-1/2 INCH IRON PIPE, THENCE CONTINUE S00°18'17" E, 30.07 FEET TO A POINT ON THE SOUTH BOUNDARY OF THE AFORESAID SW 1/4 OF THE SW 1/4 OF SECTION 13; THENCE RUN S89°41'43" W, 290.94 FEET ALONG SAID SOUTH BOUNDARY TO THE POINT OF BEGINNING, LESS THE SOUTH 30 FEET FOR ROAD. TOGETHER WITH AN APPURTENANT EASEMENT CREATED BY DEED OF EASEMENT RECORDED IN BOOK 10212, PAGE 1479 OF OFFICIAL RECORDS, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ON, OVER OR ACROSS THE PROPERTY DESCRIBED AS FOLLOWS: A TRACT OF LAND LYING IN SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, BEING THAT PORTION OF THE CSX TRANSPORTATION RAILROAD SPUR LINE LYING 50 FEET WESTERLY OF THE CSX MAINLINE, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF THOSE LANDS AS DESCRIBED IN BOOK 9976, PAGES 7033 THROUGH 7037 OF OFFICIAL RECORDS, ALSO BEING THE NORTHWEST CORNER OF PARCEL "A" AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS, ALL OF THE PUBLIC RECORDS OF ORANGE COUNTY AS A POINT OF REFERENCE; THENCE RUN SOUTH 00°12'59" WEST, ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN BOOK 9976, PAGES 7033 THROUGH 7037 OF OFFICIAL RECORDS, AND THE WEST LINE OF PARCEL "A" AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS A DISTANCE OF 344.38 FEET TO THE CORNER OF SAID DESCRIBED LANDS AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPERTY; THENCE RUN NORTH 00°12'59" EAST ALONG SAID EAST LINE 46.81 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A"; THENCE RUN ALONG THE SOUTH LINE OF SAID PARCEL "A" THE FOLLOWING COURSES: NORTH 89°58'15" EAST, 439.88 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY; THENCE RUN EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 198.53 FEET, A CENTRAL ANGLE OF 22°34'04", AN ARC LENGTH OF 78.20 FEET, A CHORD LENGTH OF 77.69 FEET, AND A CHORD BEARING OF SOUTH 78°44'43" EAST, TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY; THENCE RUN EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 367.27 FEET, A CENTRAL ANGLE OF 27°52'41", AN ARC LENGTH OF 178.70 FEET, A CHORD LENGTH OF 176.94 FEET AND A CHORD BEARING OF SOUTH 53°31'21" EAST TO A POINT LYING 50.00 FEET FROM, AT PERPENDICULAR MEASURE, THE CSX RAILROAD MAINLINE TRACK; THENCE, DEPARTING SAID SOUTH LINE, RUN SOUTH 13°41'57" EAST, PARALLEL WITH THE SAID CSX MAINLINE TRACK, 76.00 FEET TO A POINT ON THE NORTH LINE OF PARCEL "B" AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS, SAID POINT LYING ON A NON-TANGENT CURVE CONCAVE SOUTHERLY; THENCE RUN ALONG SAID NORTH LINE THE FOLLOWING COURSES: WESTERLY ALONG SAID CURVE HAVING A RADIUS OF 350.77 FEET, A CENTRAL ANGLE OF 54°38'04", AN ARC LENGTH OF 334.48 FEET, A CHORD LENGTH OF 321.95 FEET AND A CHORD BEARING OF NORTH 62°42'56" WEST TO THE POINT OF TANGENCY; THENCE RUN SOUTH 89°58'02" WEST, 390.40 FEET TO THE POINT OF BEGINNING.

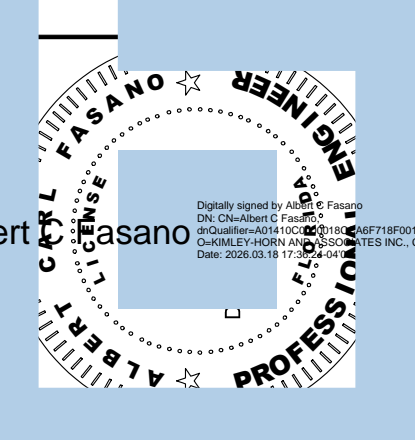
THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-118FFL02-MAD, DATED JUNE 07, 2024.

PREPARED BY:



No.	REVISIONS	DATE	BY
1	PER CITY OF EDGEWOOD COMMENTS	3/9/2026	ACE

Kimley-Horn
© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



KHA PROJECT	247016004
DATE	03/09/2026
SCALE	AS SHOWN
DESIGNED BY	A
DRAWN BY	A
CHECKED BY	A

COVER SHEET

ABC EDGEWOOD
 PREPARED FOR
 ABC SUPPLY INTERIORS
 CITY OF EDGEWOOD
 SHEET NUMBER
 C-000

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



ALTA/NSPS LAND TITLE SURVEY

LOCATED IN SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA

RECEIVED
3/19/2026

CITY OF EDGEWOOD

NIV5
6200 Lee Vista Blvd
Suite 400
Orlando, Florida 32822
(407) 896-3317
www.niv5.com
LB-8246

DESCRIPTION:

THAT PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHWEST CORNER OF THE SW 1/4 OF THE SW 1/4 OF SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA, RUN N00°00'44" W, 30.00 FEET TO AN IRON BAR AND CAP STAMPED 'RLS 1585 AND RLS 1819' THENCE CONTINUE N00°00'44" W, 602.15 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED AND RECORDED IN DEED BOOK 1009, PAGE 246, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S89°41'53" E, 490.24 FEET ALONG THE NORTH BOUNDARY OF SAID PARCEL OF LAND TO A RECOVERED 1/2-INCH IRON BAR, SAID RECOVERED 1/2-INCH IRON BAR BEING THE NORTHWEST CORNER OF PARCEL 'A' AS DESCRIBED AND RECORDED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S00°00'19" W, 344.38 FEET ALONG THE WEST BOUNDARY OF 'PARCEL A' AND THE SOUTHERLY PROLONGATION THEREOF, TO A POINT ON THE NORTH BOUNDARY OF 'PARCEL B' AS DESCRIBED AND RECORDED IN THE AFORESAID BOOK 3007, PAGE 1 OF OFFICIAL RECORDS, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; SAID POINT BEING A 4-INCH BY 4-INCH CONCRETE MONUMENT WITH A SILVER DISK STAMPED 'RLS 1585 AND RLS 1819'; THENCE RUN S89°44'25" W, 200.67 FEET TO THE NORTHWEST CORNER OF SAID 'PARCEL B'; SAID NORTHWEST CORNER BEING A 4-INCH BY 4-INCH CONCRETE MONUMENT WITH A SILVER DISK STAMPED 'RLS 1585 AND RLS 1819'; THENCE RUN S00°18'17" E, 257.85 FEET ALONG THE WEST BOUNDARY OF SAID 'PARCEL B' TO A RECOVERED 1-1/2 INCH IRON PIPE, THENCE CONTINUE S00°18'17" E, 30.07 FEET TO A POINT ON THE SOUTH BOUNDARY OF THE AFORESAID SW 1/4 OF THE SW 1/4 OF SECTION 13; THENCE RUN S89°41'43" W, 290.94 FEET ALONG SAID SOUTH BOUNDARY TO THE POINT OF BEGINNING, LESS THE SOUTH 30 FEET FOR ROAD, TOGETHER WITH AN APPURTENANT EASEMENT CREATED BY DEED OF EASEMENT RECORDED IN BOOK 10212, PAGE 1479 OF OFFICIAL RECORDS, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ON, OVER OR ACROSS THE PROPERTY DESCRIBED AS FOLLOWS: A TRACT OF LAND LYING IN SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST, BEING THAT PORTION OF THE CSX TRANSPORTATION RAILROAD SPUR LINE LYING 50 FEET WESTERLY OF THE CSX MAINLINE, DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF THOSE LANDS AS DESCRIBED IN BOOK 9976, PAGES 7033 THROUGH 7037 OF OFFICIAL RECORDS, ALSO BEING THE NORTHWEST CORNER OF PARCEL 'A' AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS, ALL OF THE PUBLIC RECORDS OF ORANGE COUNTY AS A POINT OF REFERENCE; THENCE RUN SOUTH 00°12'59" WEST, ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN BOOK 9976, PAGES 7033 THROUGH 7037 OF OFFICIAL RECORDS, AND THE WEST LINE OF PARCEL 'A' AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS A DISTANCE OF 344.38 FEET TO THE CORNER OF SAID DESCRIBED LANDS AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPERTY; THENCE RUN NORTH 00°12'59" EAST ALONG SAID EAST LINE 46.61 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'A'; THENCE RUN ALONG THE SOUTH LINE OF SAID PARCEL 'A' THE FOLLOWING COURSES: NORTH 89°58'15" EAST, 439.88 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY; THENCE RUN EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 198.53 FEET, A CENTRAL ANGLE OF 22°34'04"; AN ARC LENGTH OF 78.20 FEET, A CHORD LENGTH OF 77.69 FEET, AND A CHORD BEARING OF SOUTH 78°44'43" EAST, TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY; THENCE RUN EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 367.27 FEET, A CENTRAL ANGLE OF 27°52'41"; AN ARC LENGTH OF 178.70 FEET, A CHORD LENGTH OF 176.94 FEET AND A CHORD BEARING OF SOUTH 53°31'21" EAST TO A POINT LYING 50.00 FEET FROM, AT PERPENDICULAR MEASURE, THE CSX RAILROAD MAINLINE TRACK; THENCE, DEPARTING SAID SOUTH LINE, RUN SOUTH 13°41'57" EAST, PARALLEL WITH THE SAID CSX MAINLINE TRACK, 76.00 FEET TO A POINT ON THE NORTH LINE OF PARCEL 'B' AS DESCRIBED IN BOOK 3007, PAGE 1 OF OFFICIAL RECORDS AND BOOK 5078, PAGE 4391 OF OFFICIAL RECORDS, SAID POINT LYING ON A NON-TANGENT CURVE CONCAVE SOUTHERLY; THENCE RUN ALONG SAID NORTH LINE THE FOLLOWING COURSES: WESTERLY ALONG SAID CURVE HAVING A RADIUS OF 350.77 FEET, A CENTRAL ANGLE OF 54°38'04"; AN ARC LENGTH OF 334.48 FEET, A CHORD LENGTH OF 321.95 FEET AND A CHORD BEARING OF NORTH 62°42'56" WEST TO THE POINT OF TANGENCY; THENCE RUN SOUTH 89°58'02" WEST, 390.40 FEET TO THE POINT OF BEGINNING.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1T8FFLO2-MAD, DATED JUNE 07, 2024.

SURVEYOR'S NOTES:

- MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM OF FLORIDA, EAST ZONE (NAD83/2011 ADJUSTMENT), WITH A REFERENCED BEARING OF NORTH 89°35'05" EAST, BEING THE SOUTH RIGHT OF WAY LINE OF NW 58TH STREET
- BOUNDARY BASED ON PREVIOUS SURVEY BY BOCK AND CLARK CORPORATION LB7386, A WHOLLY OWNED SUBSIDIARY OF NV5, PROJECT NO. 202504703-001, LAST DATED NOVEMBER 21ST, 2025.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT #FLP23-0435, DATED JANUARY 18, 2025. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- VERTICAL DATUM BASED ON UNIVERSITY OF FLORIDA BENCHMARK BM 003 LOCATED AT THE NW CORNER OF MUSEUM ROAD AND NEWELL DRIVE, ALACHUA COUNTY, FLORIDA, PUBLISHED ELEVATION = 137.66 (NGVD 29)
- ADDRESS OF THE SUBJECT PROPERTY IS 9200 NW 58TH STREET, DORAL, FL 33178.
- SUBJECT PROPERTY CONTAINS AN AREA OF 3.841 ACRES, MORE OR LESS.
- THERE ARE 37 STRIPED REGULAR PARKING SPACES AND 3 STRIPED HANDICAPPED PARKING SPACES FOR A TOTAL OF 40 STRIPED PARKING SPACES ON SUBJECT PROPERTY.
- NO DIVISION OF PARTY WALLS WERE DESIGNATED BY THE CLIENT OR LOCATED BY THIS SURVEYOR WITH RESPECT TO ADJOINING PROPERTIES.
- NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED DURING THE COURSE OF THIS SURVEY.
- THIS SURVEYOR WAS UNWARE OF ANY PROPOSED RIGHT OF WAY CHANGES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS DURING THE COURSE OF THIS SURVEY.
- SUBJECT PROPERTY HAS DIRECT ACCESS TO NW 58TH STREET, AN 80 FOOT PUBLIC RIGHT OF WAY, AND NW 92ND AVENUE, A VARIABLE WIDTH PUBLIC RIGHT OF WAY, AS SHOWN HEREON.
- THERE ARE NO GAPS, GORES, OVERLAPS OR HATUS INHERENT TO THE SURVEYED PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENTS PROVIDED; THE RECORD DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE WITH 2021 ALTA/NSPS STANDARDS.
- NO EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY WERE OBSERVED DURING THE COURSE OF THIS SURVEY.
- THIS SURVEYOR WAS NOT PROVIDED WITH ZONING INFORMATION DURING THE COURSE OF THIS SURVEY.
- THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES.

FLOOD ZONE:
THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12095 C 0410F, EFFECTIVE DATE: SEPTEMBER 25, 2009.

EXCEPTIONS: (PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT #NCS-1T8FFLO2-MAD, DATED JUNE 07, 2024.)

- EASEMENT FOR ROAD PURPOSES CREATED BY WARRANTY DEED RECORDED IN DEED BOOK 1009, PAGE 246. THIS ITEM IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY AND IS NOT PLOTTED AND SHOWN HEREON.
- THE TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN BILL OF SALE, RECORDED IN BOOK 769, PAGE 494 OF OFFICIAL RECORDS. THIS ITEM IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY AND IS NOT PLOTTED AND SHOWN HEREON.
- EASEMENT, GRANTED FROM THE ATLANTIC LAND AND IMPROVEMENT COMPANY, A VIRGINIA CORPORATION TO S.T.K. ENTERPRISES, INC., A TEXAS CORPORATION, RECORDED IN BOOK 3716, PAGE 2022 OF OFFICIAL RECORDS. THIS ITEM IS PLOTTED HEREON.
- EASEMENT, GRANTED FROM THE ATLANTIC LAND AND IMPROVEMENT COMPANY, A VIRGINIA CORPORATION TO FLORIDA MINING AND MATERIALS CORP., A FLORIDA CORPORATION, RECORDED IN BOOK 3510, PAGE 619 OF OFFICIAL RECORDS. THIS ITEM IS PLOTTED HEREON.
- EASEMENT, GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 5706, PAGE 1915 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN THE SURVEYED PROPERTY, HOWEVER IT IS SUBJECT TO THE LOCATION OF UNDERGROUND UTILITIES, WHICH WERE NOT LOCATED, THEREFORE NOTHING IS PLOTTED HEREON.
- EASEMENT, GRANTED FROM THE ATLANTIC LAND AND IMPROVEMENT COMPANY, A VIRGINIA CORPORATION TO CHRIS HEINE AND JIMMY WALKER, AS CO-TRUSTEES OF THE NEW VENTURE LAND TRUST DATED DECEMBER 10, 2009, RECORDED IN BOOK 10212, PAGE 1479 OF OFFICIAL RECORDS. THIS ITEM IS PLOTTED HEREON.
- THAT CERTAIN UNRECORDED LEASE, BY AND BETWEEN LAND BARON IX, LLC, A FLORIDA LIMITED LIABILITY COMPANY, LESSOR, AND ROSEN MATERIALS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, LESSEE, AS EVIDENCED BY THAT CERTAIN SUBORDINATION, NON-DISTURBANCE AND ATTORNEYMENT AGREEMENT, RECORDED IN BOOK 10908, PAGE 7637 OF OFFICIAL RECORDS. THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.
- THAT CERTAIN UNRECORDED LEASE, BY AND BETWEEN LAND BARON VII, LLC, A FLORIDA LIMITED LIABILITY COMPANY, LESSOR, AND ROSEN MATERIALS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, LESSEE, AS EVIDENCED BY THAT CERTAIN SUBORDINATION, NON-DISTURBANCE AND ATTORNEYMENT AGREEMENT, RECORDED IN INSTRUMENT NO. 20220181062. THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.
- TERMS AND CONDITIONS OF THE EXCLUSIVITY AGREEMENT BETWEEN LAND BARON VII, LLC, A FLORIDA LIMITED LIABILITY COMPANY AND ROSEN MATERIALS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RECORDED IN INSTRUMENT NO. 202210312899. THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.
- EASEMENT, GRANTED FROM LAND BARON VII, LLC, A FLORIDA LIMITED LIABILITY COMPANY TO DUKE ENERGY FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RECORDED IN INSTRUMENT NO. 20230432650. THIS ITEM LIES WITHIN THE SURVEYED PROPERTY, HOWEVER IT IS SUBJECT TO THE LOCATION OF UNDERGROUND UTILITIES, WHICH WERE NOT LOCATED, THEREFORE NOTHING IS PLOTTED HEREON.

ZONING INFORMATION:

THE SURVEYED PROPERTY IS ZONED 'C-3' - WHOLESALE COMMERCIAL DISTRICT, EDGEWOOD, FLORIDA
FRONT SETBACK - 25'
SIDE SETBACK - 5' MINIMUM (INTERIOR); 25' MINIMUM WHEN ABUTTING RESIDENTIAL DISTRICT; 15' MINIMUM FROM A SIDE STREET
REAR SETBACK - 15' MINIMUM; 30' MINIMUM WHEN ABUTTING A RESIDENTIAL DISTRICT
HEIGHT RESTRICTIONS - 75'; 35' WITHIN 100 FEET OF ALL RESIDENTIAL DISTRICTS
MAXIMUM LOT COVERAGE - NO REQUIREMENT NOTED
PARKING FORMULA - C-3 ALL REQUIREMENTS IN ARTICLE V, DIVISION 5 OF THIS CHAPTER SHALL BE MET, PROVIDED THAT A MINIMUM OF FOUR SPACES WILL BE PROVIDED REGARDLESS OF BUILDING SIZE OR USE; INDUSTRIAL USES, MANUFACTURING AND WAREHOUSING; ONE SPACE FOR EACH BAY, PLUS ON SPACE FOR EACH 1,000 SQUARE FEET.
PARKING REQUIRED: 24
THE ZONING INFORMATION SHOWN ABOVE WAS OBTAINED FROM NV5 ZONING REPORT DATED JULY 23, 2024, SITE NO. 1202401044;004, PURSUANT TO ITEM 6A AND 6B OF TABLE A.

LEGEND OF SYMBOLS & ABBREVIATIONS

LIGHT POLE	SIGNAL LIGHT	SANITARY MANHOLE
POWER POLE (WITH ARMS)	TRAFFIC SIGNAL BOX	CLEAN OUT
GUY WIRE	SIGNAL LIGHT POLE	GREASE TRAP
ELECTRIC MANHOLE	VAULT	GAS MANHOLE
ELECTRIC METER	SIGN (AS NOTED)	GAS VALVE
ELECTRIC VAULT	TOWER	GAS METER
TRANSFORMER	MONITORING WELL	HANDICAPPED PARKING
AIR CONDITIONER UNIT	FLAG POLE	ELECTRIC VEHICLE PARKING
TELEPHONE MANHOLE	WATER VALVE	(R) RECORD
TELEPHONE PEDESTAL	FIRE HYDRANT	(M) MEASURED
CABLE BOX	SIAMESE FIRE HYDRANT	(C) CALCULATED
MITERED END SECTION	WATER MANHOLE	(P) PLAT
STORM DRAIN MANHOLE	BACKFLOW PREVENTER	PG PAGE
STORM DRAIN INLET	WATER METER	O.R. OFFICIAL RECORDS
STORM PIPE	WELL HEAD	P.B. PLAT BOOK
	BENCHMARK	F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
POINT OF ACCESS		
BOUNDARY LINE	EASEMENT LINE	
BUILDING LINE	OH OVERHEAD WIRES	
SETBACK LINE	FENCE LINE	

X 47.5 = SPOT ELEVATION (PERVIOUS SURFACE)
X 47.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)

SURVEYOR'S CERTIFICATION:

TO: L & W SUPPLY CORPORATION; LEO LAW FIRM, LLC; FIRST AMERICAN TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17 AND 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 7, 2026.
Clinton N. Rickner
Florida Surveyor & Mapper Certificate Number 7409
CLINT.RICKNER@NV5.COM
01/13/2026
DATE OF PLAT OR MAP:

REVISIONS:
REV. #:

SEE SURVEYOR CERTIFICATION

CERTIFIED TO:

SCALE: 1" = 300'

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

PROJECT NUMBER:
26-0007000.00

SURVEY DATE:
01/07/2026

REVISION DATE:
N/A

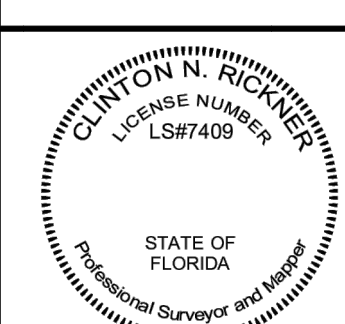
TECHNICIAN:
WM

CREW CHIEF:
RP

QUALITY CONTROL:
CNR

FIELD BOOK & PAGE:
301 W MARY JESS ROAD

CLINTON N. RICKNER, PSM
FL PSM NO. 7409



This map prepared by:
CERTIFICATE OF AUTHORIZATION
NO. L.B. 8246
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

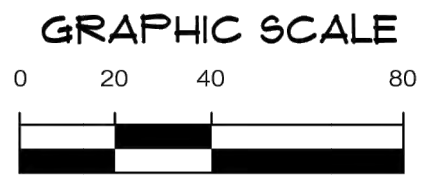
SHEET NO.:
1 OF 2

ALTA/NSPS LAND TITLE SURVEY

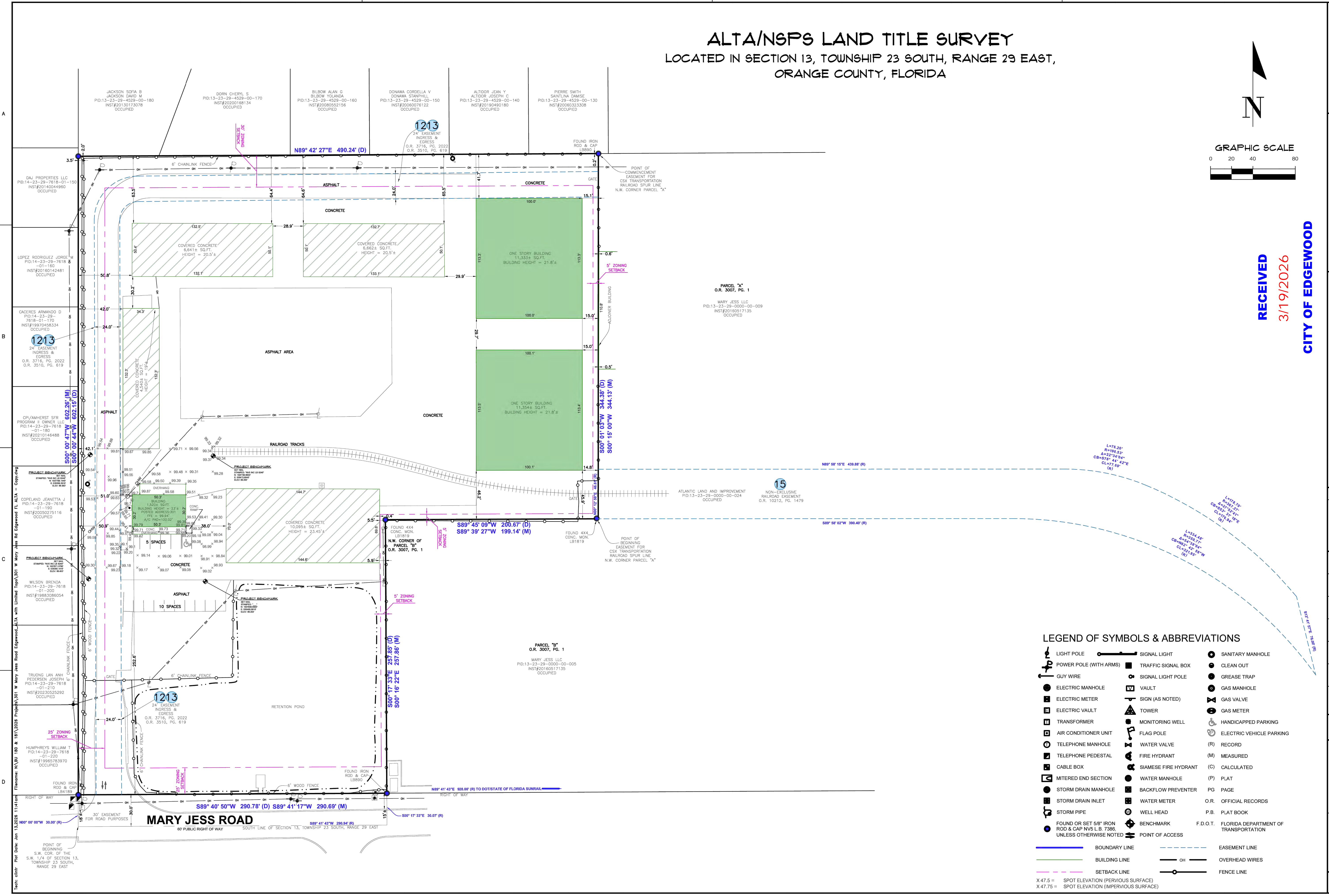
LOCATED IN SECTION 13, TOWNSHIP 23 SOUTH, RANGE 29 EAST,
ORANGE COUNTY, FLORIDA

NIVIS

6200 Lee Vista Blvd
Suite 400
Orlando, Florida 32822
(407) 896-3317
www.nivis.com
LB-8246



RECEIVED
3/19/2026
CITY OF EDGEWOOD



LEGEND OF SYMBOLS & ABBREVIATIONS

LIGHT POLE	SIGNAL LIGHT	SANITARY MANHOLE
POWER POLE (WITH ARMS)	TRAFFIC SIGNAL BOX	CLEAN OUT
GUY WIRE	SIGNAL LIGHT POLE	GREASE TRAP
ELECTRIC MANHOLE	VAULT	GAS MANHOLE
ELECTRIC METER	SIGN (AS NOTED)	GAS VALVE
ELECTRIC VAULT	TOWER	GAS METER
TRANSFORMER	MONITORING WELL	HANDICAPPED PARKING
AIR CONDITIONER UNIT	FLAG POLE	ELECTRIC VEHICLE PARKING
TELEPHONE MANHOLE	WATER VALVE	(R) RECORDED
TELEPHONE PEDESTAL	FIRE HYDRANT	(M) MEASURED
CABLE BOX	SIAMESE FIRE HYDRANT	(C) CALCULATED
MITERED END SECTION	WATER MANHOLE	(P) PLAT
STORM DRAIN MANHOLE	BACKFLOW PREVENTER	PG PAGE
STORM DRAIN INLET	WATER METER	O.R. OFFICIAL RECORDS
STORM PIPE	WELL HEAD	P.B. PLAT BOOK
FOUND OR SET 5/8" IRON ROD & CAP N.V.S. L.B. 7386, UNLESS OTHERWISE NOTED	BENCHMARK	F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
BOUNDARY LINE	EASEMENT LINE	
BUILDING LINE	OVERHEAD WIRES	
SETBACK LINE	FENCE LINE	
X 47.5 = SPOT ELEVATION (PERVIOUS SURFACE)		
X 47.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)		

REVISIONS:
REV. #:

SEE SURVEYORS CERTIFICATION

CERTIFIED TO:

SCALE: 1" = 40'

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

PROJECT NUMBER:
26-0007000.00

SURVEY DATE:
01/07/2026

REVISION DATE:
N/A

TECHNICIAN:
WM

CREW CHIEF:
RP

QUALITY CONTROL:
CNR

FIELD BOOK & PAGE:
301 W MARY JESS ROAD

CLINTON N. RICKNER PSM
FL PSM NO. 7409

This map prepared by:
CERTIFICATE OF AUTHORIZATION
NO. L.B. 8246
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR ELECTRONIC DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

SHEET NO.:
2 OF 2

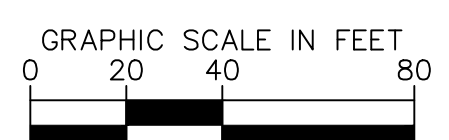
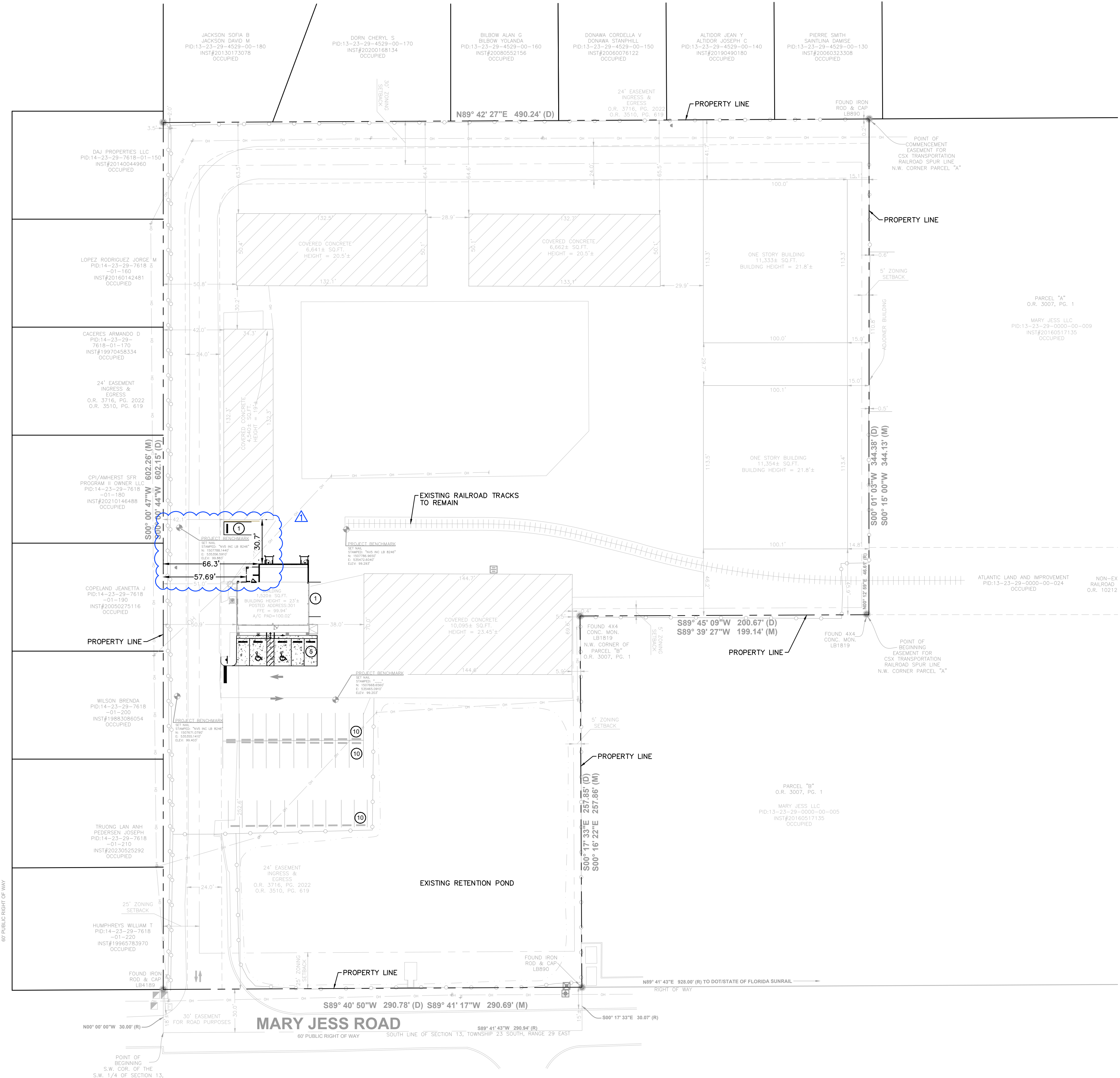
Plotted By: Richmond, Denny, Sheet: ABC EDGEWOOD, Layout: C-100 OVERALL SITE PLAN, March 18, 2026, 05:05:50pm, K:\VRR_LDEV\American Builders & Contractors Supply\Edgewood\CAD\PlanSheets\C-100_OVERALL SITE PLAN.dwg

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3/19/2026

CITY OF EDGEWOOD

CHENAULT AVENUE
60' PUBLIC RIGHT OF WAY



SITE DATA

PROJECT DESCRIPTION: CONVERSION OF COVERED STORAGE AREA TO ENCLOSED BUILDING SPACE

PARCEL ID: 13-23-29-0000-00-012

LOCATION: SECTION 13, TOWNSHIP 23S, RANGE 29E

ADDRESS: 301 W MARY JESS RD, EDGEWOOD, FL 32839

ZONING DISTRICT: C-3 - WHOLESALE COMMERCIAL

LAND USE: 4800 - IND WAREHOUSE I

FLOOD ZONE: ZONE X, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12095C0430F, EFFECTIVE DATE: 09/25/2009

METRIC	EXISTING	PROPOSED
BUILDING SUPPLY WHOLESALE OPERATION SF	52,937 SF	52,937 SF
BUILDING HEIGHT	23'	23' (1 STORY)
OPEN SPACE	27.98%	27.98%
PARKING SPACES	37	37
IMPERVIOUS AREA	122,857 SF	122,857

PROPERTY AREA: 244,568 S.F. (5.61 AC.)

FLOOR AREA RATIO: 53.112 S.F./244,568 S.F. = 0.217

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT (S)	25'	245.15'
REAR (N)	30'	30.70'
SIDE (W)	25'	50.93'
SIDE (E)	25'	30.01'

SIGN LEGEND

- TP-21-06 ACCESSIBLE PARKING
- TP-22-06 ACCESSIBLE PENALTY
- R1-1 STOP SIGN
- R1-5U/R YIELD TO PEDESTRIAN SIGN
- IS-1 DO NOT ENTER SIGN

SYMBOL LEGEND

- ACCESSIBLE PARKING SPACE
- PARKING STALL COUNT - DO NOT PAINT
- TRANSFORMER PAD
- PROPERTY LINE

HATCH LEGEND

- STANDARD DUTY CONCRETE

FEMA

PROPERTY LIES WITHIN FLOOD ZONE X, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0430F, EFFECTIVE DATE: 09/25/2009

ELEVATION DATUM

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM, 1988, (N.A.V.D.)

NOTES:

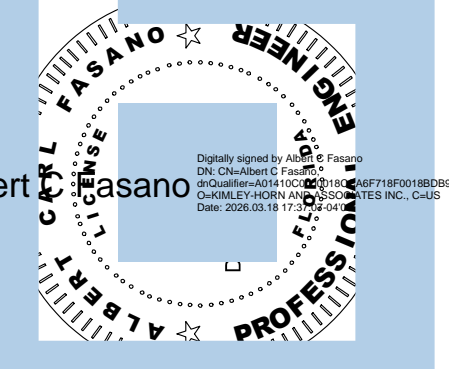
- REFER TO PAVING, GRADING AND DRAINAGE DETAILS SHEET FOR PAVEMENT DETAILS.
- ALL STRIPING ON ROADWAYS AND DRIVE AISLES (STOP BARS, CROSSWALKS, LANE STRIPING) SHALL BE THERMOPLASTIC.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MACKENZIE PERMAN ON THE BEHALF OF THE SEALING OFFICE



NO.	REVISIONS	DATE	BY
1	PER CITY OF EDGEWOOD COMMENTS	3/9/2026	ACE

Kimley-Horn

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	247016004
DATE	03/09/2026
SCALE	AS SHOWN
DESIGNED BY	A
DRAWN BY	A
CHECKED BY	A

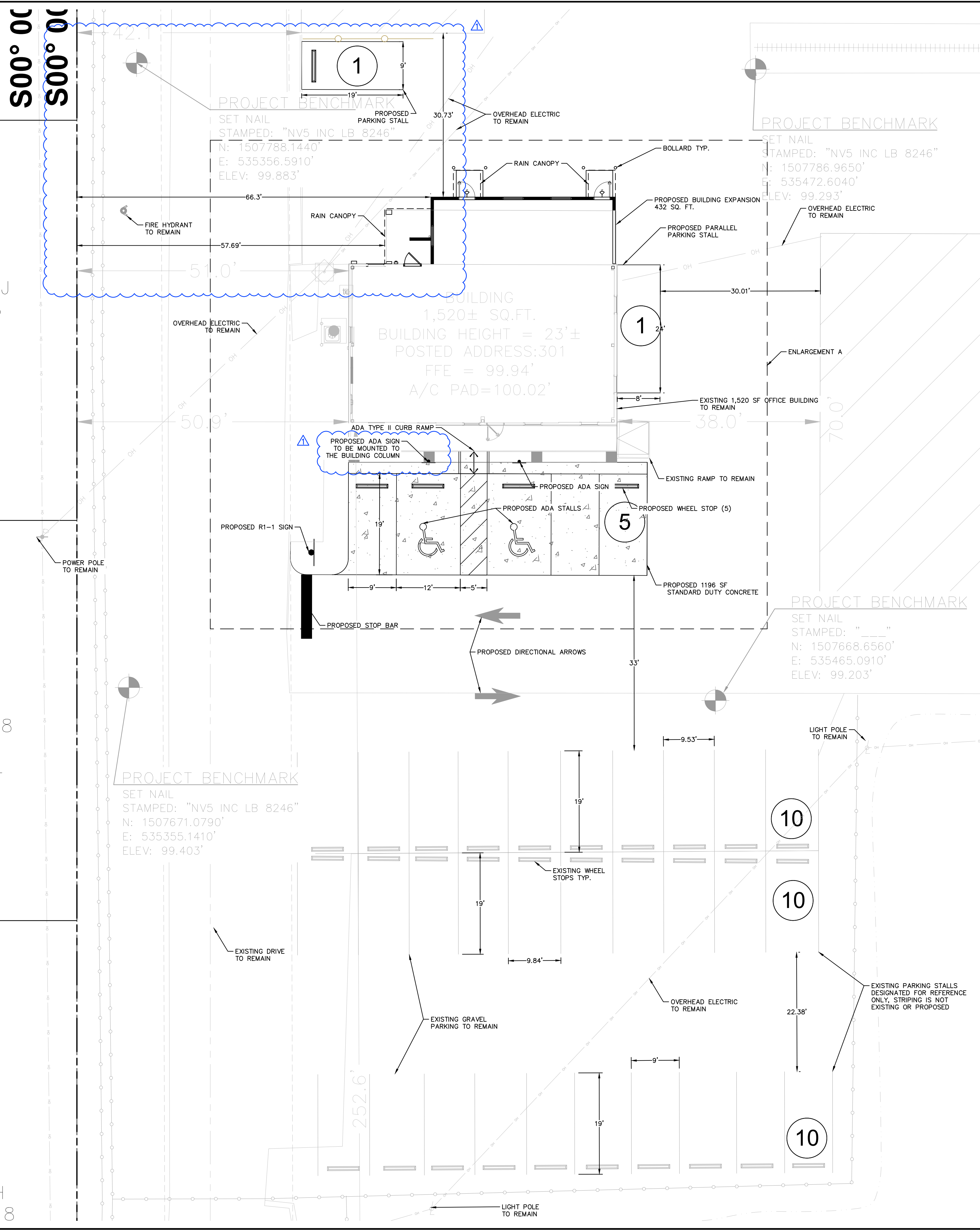
OVERALL SITE PLAN

ABC EDGEWOOD
PREPARED FOR
ABC SUPPLY INTERIORS

CITY OF EDGEWOOD

SHEET NUMBER
C-100

Plotted By: Richmond, Danny. Sheet: ABC EDGWOOD - Layout: SITE PLAN. March 18, 2026. 05:06:02pm. K:\VRB_LDEV\American Builders & Contractors Supply\Edgwood\CAD\PlanSheets\C-101_SITE_PLAN.dwg
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GRAPHIC SCALE IN FEET
 0 5 10 20

NORTH

SIGN LEGEND

- ♿ (TP-21-06) ACCESSIBLE PARKING
- ♿ (TP-22-06) ACCESSIBLE PENALTY
- STOP (R1-1) STOP SIGN
- ♿ (R1-5/R) YIELD TO PEDESTRIAN SIGN
- NO ENTRY (R5-1) DO NOT ENTER SIGN

SYMBOL LEGEND

- ♿ ACCESSIBLE PARKING SPACE
- # PARKING STALL COUNT - DO NOT PAINT
- T TRANSFORMER PAD
- PROPERTY LINE

HATCH LEGEND

- Standard Duty Concrete

FEMA
 PROPERTY LIES WITHIN FLOOD ZONE X, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0430F, EFFECTIVE DATE: 09/25/2009

ELEVATION DATUM
 ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM, 1988, (N.A.V.D.)

NOTES:

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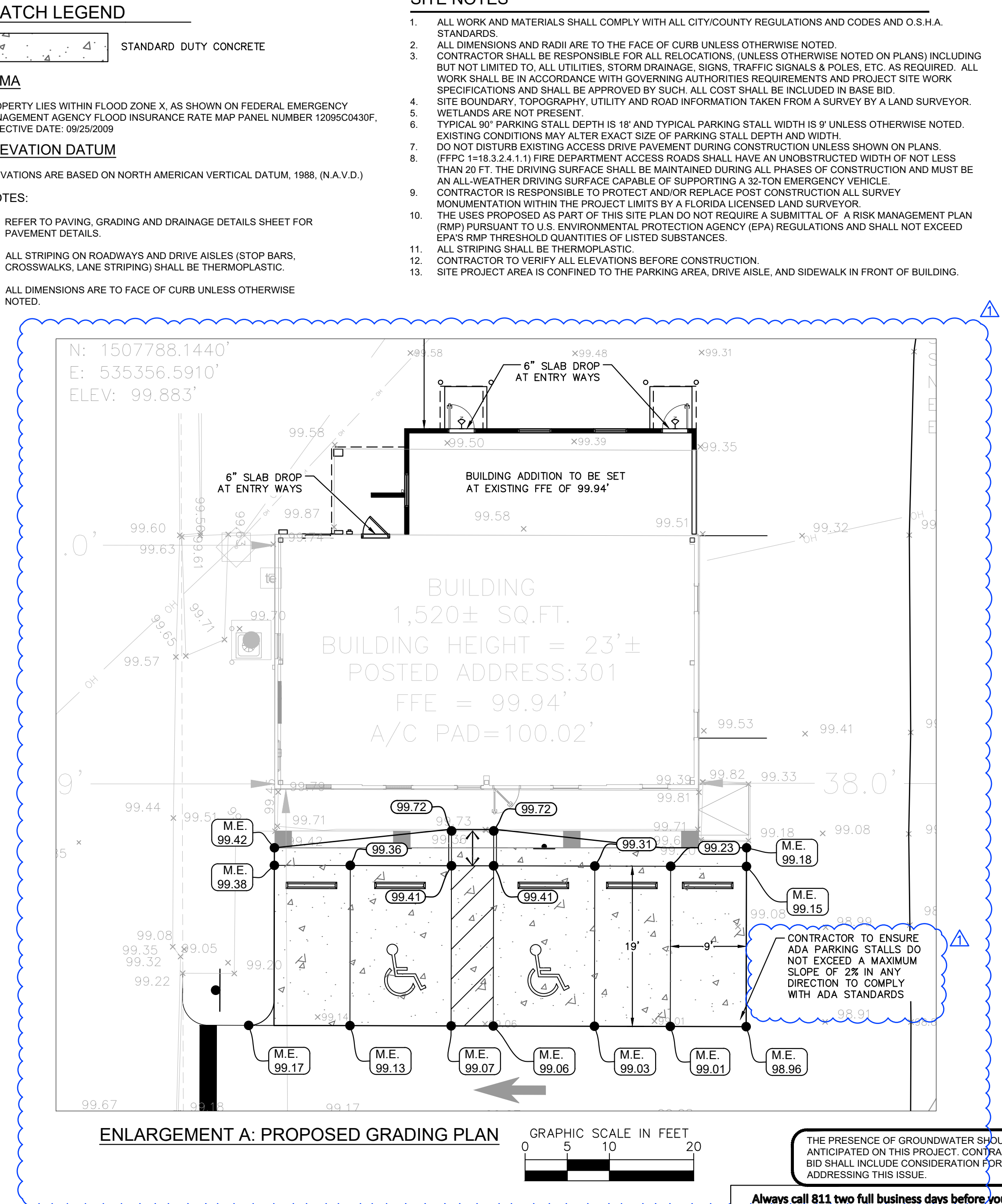
FLOOR AREA RATIO: 53,112 S.F./244,568 S.F. = 0.217

BUILDING SETBACKS:

	REQUIRED	PROVIDED
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REAR (N)	30'	30.70'
SIDE (W)	25'	50.93'
SIDE (E)	25'	30.01'

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR. WETLANDS ARE NOT PRESENT.
- TYPICAL 90° PARKING STALL DEPTH IS 18' AND TYPICAL PARKING STALL WIDTH IS 9' UNLESS OTHERWISE NOTED. EXISTING CONDITIONS MAY ALTER EXACT SIZE OF PARKING STALL DEPTH AND WIDTH.
- DO NOT DISTURB EXISTING ACCESS DRIVE PAVEMENT DURING CONSTRUCTION UNLESS SHOWN ON PLANS.
- (FPD: 1418.32.4.1) FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AND MUST BE AN ALL-WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32-TON EMERGENCY VEHICLE.
- CONTRACTOR TO PROTECT AND/OR REPLACE POST CONSTRUCTION ALL SURVEY MONUMENTATION WITHIN THE PROJECT LIMITS BY A FLORIDA LICENSED LAND SURVEYOR.
- THE USES PROPOSED AS PART OF THIS SITE PLAN DO NOT REQUIRE A SUBMITTAL OF A RISK MANAGEMENT PLAN (RMP) PURSUANT TO U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS AND SHALL NOT EXCEED EPA'S RMP THRESHOLD QUANTITIES OF LISTED SUBSTANCES.
- ALL STRIPING SHALL BE THERMOPLASTIC.
- CONTRACTOR TO VERIFY ALL ELEVATIONS BEFORE CONSTRUCTION.
- SITE PROJECT AREA IS CONFINED TO THE PARKING AREA, DRIVE AISLE, AND SIDEWALK IN FRONT OF BUILDING.



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 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Albert Casano
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 REGISTRY NO. 12512

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
 MACKENZIE PERMAN ON THE DATE OF AGENT TO THE SEAL
 03/19/2026

KHA PROJECT: 247016004
 DATE: 03/09/2026
 SCALE: AS SHOWN
 DESIGNED BY: A
 DRAWN BY: A
 CHECKED BY: A

SITE PLAN

ABC EDGEWOOD
 PREPARED FOR
 ABC SUPPLY INTERIORS

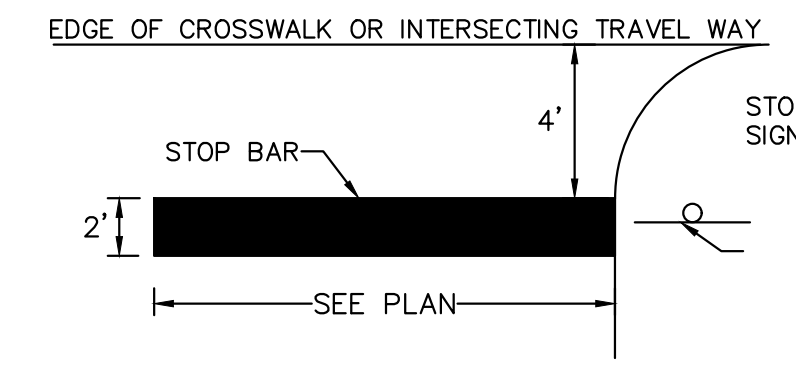
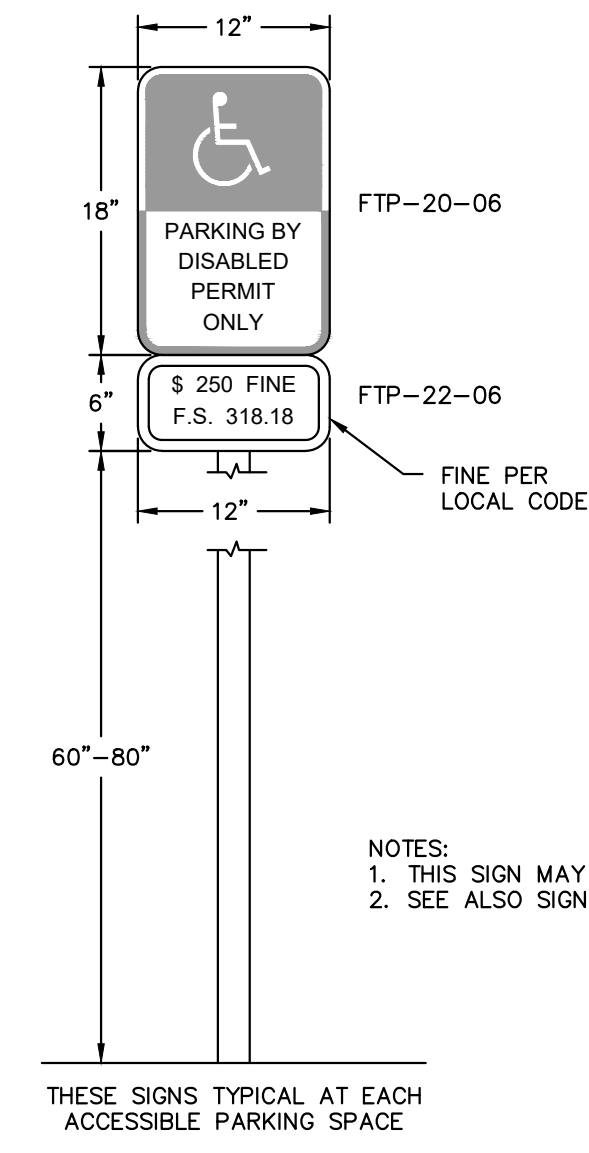
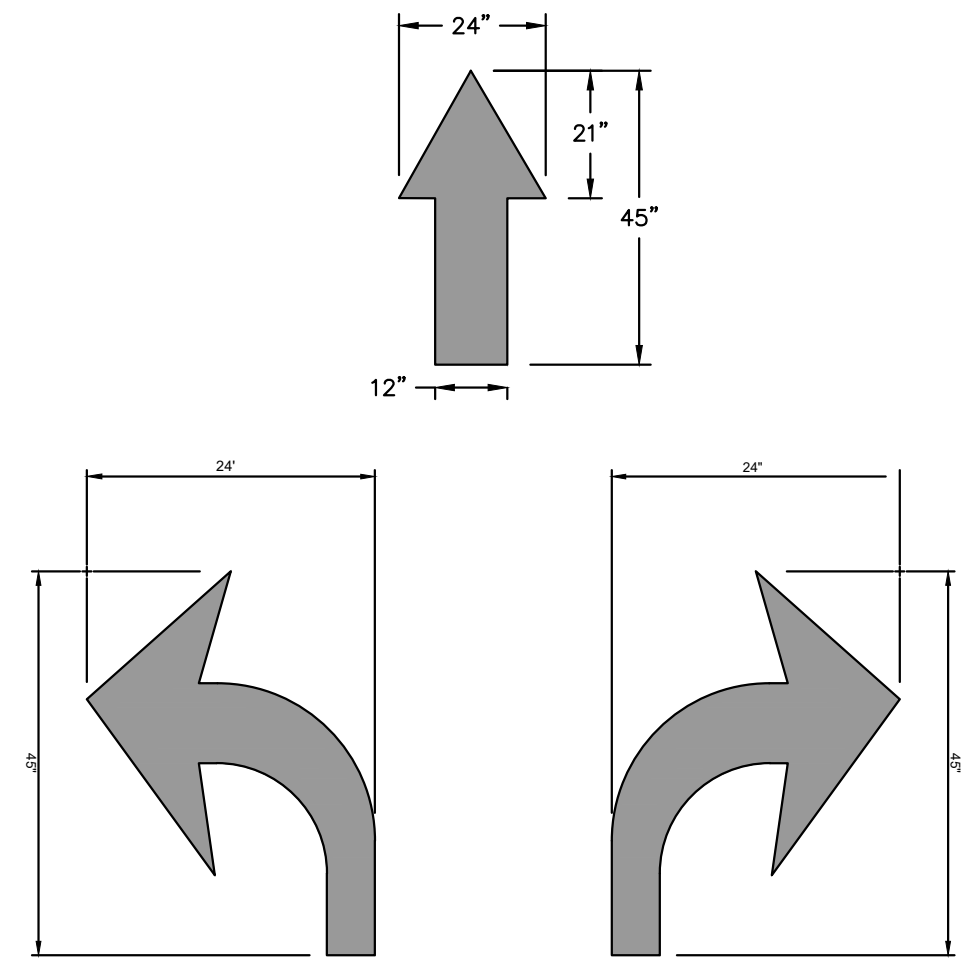
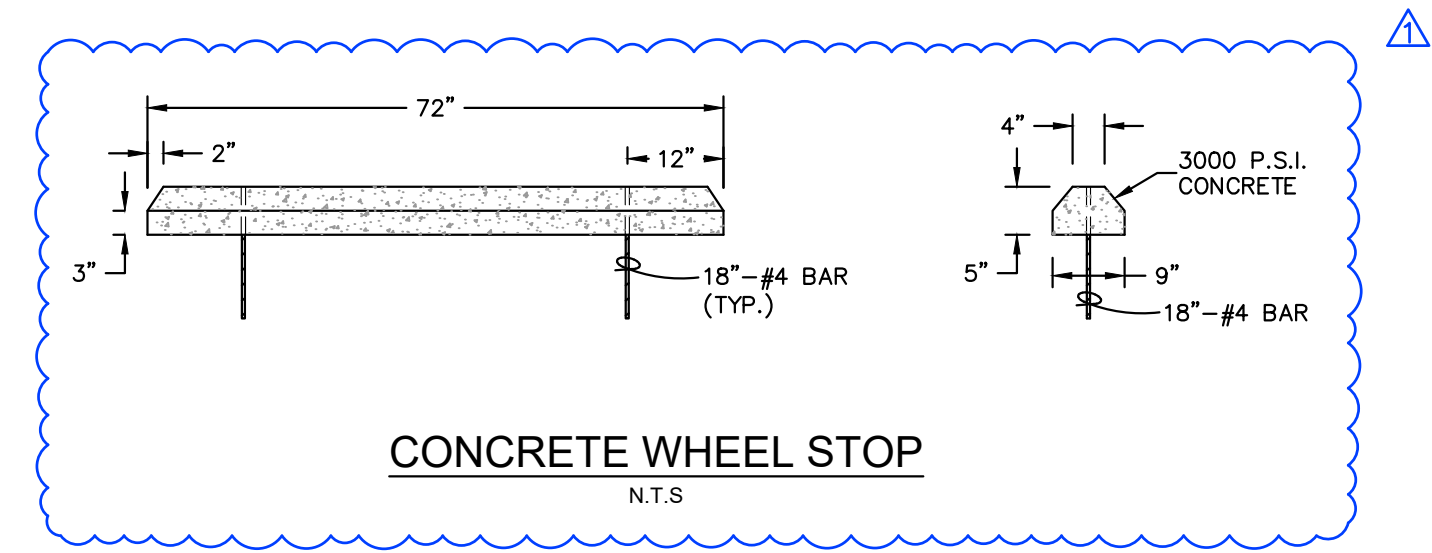
CITY OF EDGEWOOD

SHEET NUMBER
 C-101

PER CITY OF EDGEWOOD COMMENTS: 3/9/2026 ACE
 REVISIONS: No. No. DATE BY

Plotted By: Richmond, Darryl - Sheet: ABC-EDGEWOOD - Layout: SITE DETAILS - March 18, 2026 - 05:06:07pm - K:\VRB_LDEV\American Builders & Contractors\Supp\X\Edgewood\CAD\PlanSheets\C-150_SITE_DETAILS.dwg
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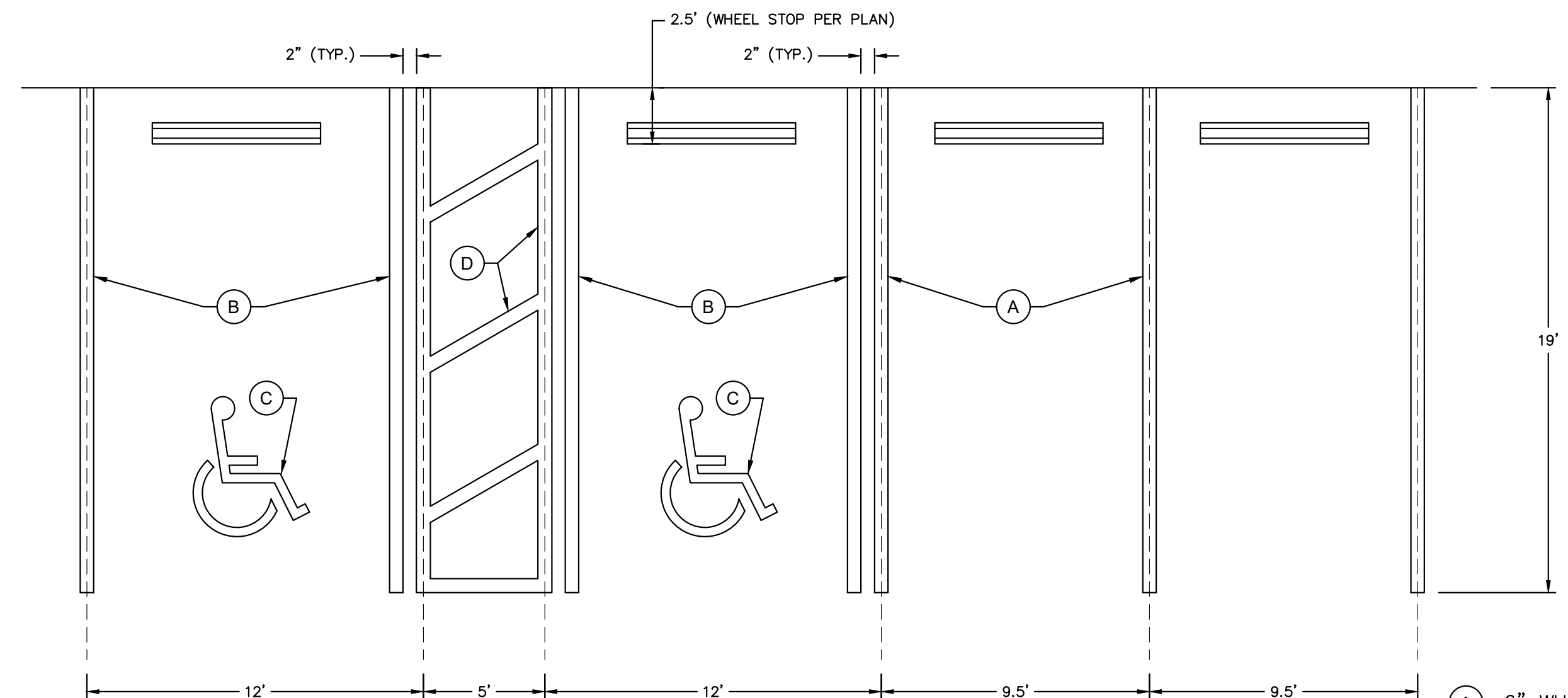
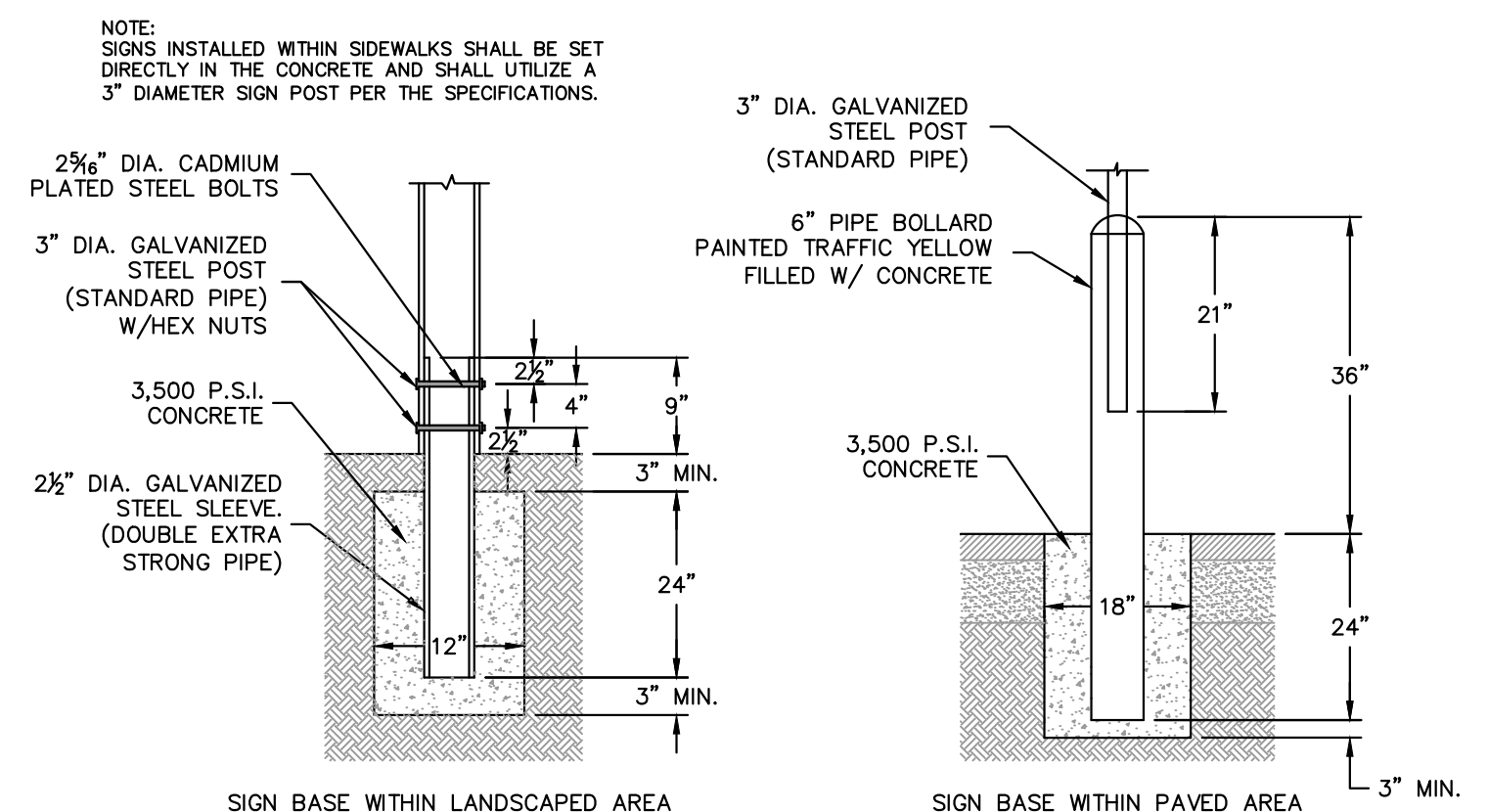
RECEIVED
 3/19/2026
CITY OF EDGEWOOD



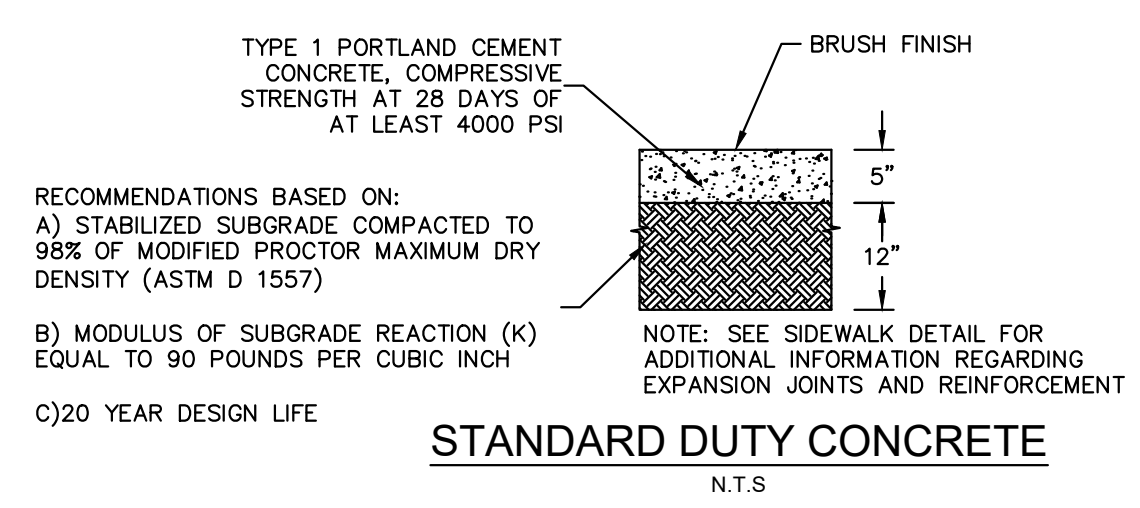
NOTE: ALL PAVEMENT MARKINGS ARE TO CONSIST OF 90 MIL EXTRUDED SLIP RESISTANT PAINT.

NOTE: ALL TRAFFIC FLOW ARROWS TO BE THERMOPLASTIC

NOTES:
 1. THIS SIGN MAY ALSO BE WALL MOUNTED
 2. SEE ALSO SIGN BASE DETAILS



- (A) 6" WHITE
- (B) 6" BLUE
- (C) 4" WHITE
- (D) 6" WHITE @ 60" (EQUALLY SPACED)



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



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 COPIES

KHA PROJECT	247016004
DATE	03/09/2026
SCALE	AS SHOWN
DESIGNED BY	A
DRAWN BY	A
CHECKED BY	A

SITE DETAILS

ABC EDGEWOOD
 PREPARED FOR
ABC SUPPLY INTERIORS

CITY OF EDGEWOOD FL

SHEET NUMBER
C-150

STAFF REPORTS

City Attorney Smith

Police Chief DeSchryver

**Edgewood Police Department
City Council Report
March 2026**

	February	March
Assault/Battery	1	0
Auto Burglaries	0	2
Code Compliance Reports	18	5
Commercial Burglaries	0	0
DUI Arrests	1	1
Felony Arrests	1	2
Homicides	0	0
Misdemeanor Arrests	2	3
Residential Burglaries	0	0
Robbery	0	0
Sexual Battery	0	0
Theft	2	2
Traffic Accident	9	14
Traffic Arrests	2	2
Traffic Citations	159	224
Traffic Warnings	64	75
Warrant Arrests	0	1

Department Highlights:

- Agency members attended Councilman Chris Rader's funeral.
- Edgewood residents provided lunch from Pizza Hut for the team.
- 3/27-Texas Roadhouse donated 30lbs of steak to the team.
- 3/31-Health Screenings held in combination with the City of Belle Isle.

City Clerk Riffle



Memo

To: Mayor Dowless and City Councilmembers Horn, Rader, Lomas, McElroy, and Steele
From: Sandra Riffle, City Clerk
Date: April 14, 2026
Re: March 18 – April 14, 2026 City Clerk Report

Council Portraits

- **Group Photo:** Corporal Adam Lafan will be taking a Council group photo before the meeting on **Tuesday, May 19, 2026**. Please arrive by **6:15 PM** to allow sufficient time for the session before the 6:30 PM meeting begins.
- **Individual Headshots:** The Police Department is offering time slots for individual headshots on **Friday, May 8, 2026**. If you wish to update your portrait, please get in touch with Melanie at MJudy@edgewood-fl.gov to schedule an appointment.

Administrative & Financial Updates

- **Business Tax Receipts (BTR):** I am pleased to report that BTR payments for FY 2025/26 are **100% collected**.
- **Franchise Fees:** The City has received the Q1 franchise fees from FCC Environmental Services without prompting them to do so. There are currently no major customer service issues to report.

Infrastructure & Operations

- **Quiet Zone Intersections:** I recently met with representatives from the Federal Railroad Administration (FRA), USDOT, CSX, and various railroad contractors to inspect our four quiet zone intersections.
 - **General Status:** Most crossings are in good condition. However, some signage must be raised to a minimum height of six to seven feet or moved back a few feet from the crossing. All existing thermoplastic ground signage remains compliant and may stay in place.
 - **Mary Jess Road Crossing:** USDOT identified several non-compliance issues at this location. Due to the railroad crossing's proximity to Orange Avenue, additional

signage is required for the approaches from Orange Avenue, the eastern side of Mary Jess Road, and Force Four Parkway.

Because of the technical complexity of these requirements and the need for strict adherence to the MUTCD (Manual on Uniform Traffic Control Devices) handbook, **USDOT recommends that the City engage a traffic engineer to verify the placement is accurate.** Please note that FDOT does not provide specific instructions on sign placement; the handbook must be consulted for authoritative guidance.

- **Holden Avenue Sidewalks:** Significant uplifting and cracking were observed on the sidewalk on Holden Avenue in front of Cypress Grove Park. I will report these issues to Orange County to request the necessary repairs.

Code Compliance Officer Zane

MAYOR & CITY COUNCIL REPORTS

Mayor Dowless

Council Member Lomas

Council Member McElroy

Council Member Santurri

Council Member Steele

Council President Horn

ADJOURN