



# CITY COUNCIL REGULAR MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Tuesday, October 18, 2022 at 6:30 PM

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## AGENDA

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**Welcome!** We are very glad you have joined us for today's Council meeting. If you are not on the agenda, please complete an appearance form and hand it to the City Clerk. When you are recognized, state your name and address. The Council is pleased to hear relevant comments; however, a **five (5) minute limit** has been set by Council. Large groups are asked to name a spokesperson. **Robert's Rules of Order** guide the conduct of the meeting. **Please silence all cellular phones and pagers during the meeting.** Thank you for participating in your City Government.

### A. ROLL CALL & DETERMINATION OF QUORUM

### B. PRESENTATION OF PROCLAMATION

- [1.](#) Week of the Family - November 5 - 12, 2022

### C. CONSENT AGENDA

*Items on the consent agenda are defined as routine in nature, therefore, do not warrant detailed discussion or individual action by the Council. Any member of the Council may remove any item from the consent agenda simply by verbal request prior to consideration of the consent agenda. The removed item(s) are moved to the end of New Business for discussion and consideration.*

- [1.](#) August 15, 2022 Budget Workshop Meeting Minutes
- [2.](#) September 20, 2022 Council Meeting Minutes

### D. ORDINANCES

### E. PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)

- [1.](#) **Ordinance 2022-06**  
AN ORDINANCE OF THE CITY OF EDGEWOOD AMENDING 2 CHAPTER 134 OF THE CODE OF ORDINANCES RELATED TO 3 LOCATION, HEIGHT, AND CONSTRUCTION STANDARDS AND 4 REGULATIONS APPLICABLE TO FENCES AND SCREENING WALLS; 5 PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, 6 CONFLICTS AND AN EFFECTIVE DATE.

### F. UNFINISHED BUSINESS

### G. NEW BUSINESS

- [1.](#) 524 Harbour Island Rd. - Boat Dock

**H. GENERAL INFORMATION**

**I. CITIZEN COMMENTS**

**J. BOARDS & COMMITTEES**

- [1.](#) Boards and Committees Planning & Zoning Report
- [2.](#) Waiver 2022-01: 4800 S. Orange Ave. - Car Wash

**K. STAFF REPORTS**

City Attorney Smith

Police Chief Freeburg

- [1.](#) Chief Freeburg Report September 2022

City Clerk Riffle

**L. MAYOR AND CITY COUNCIL REPORTS**

Mayor Dowless

- 1. Commercial Planned Development

Council Member Chotas

Council Member Pierce

Council Member Rader

Council Member Lomas

Council President Horn

**M. ADJOURNMENT**

**UPCOMING MEETINGS**

Monday, November 14, 2022 at 6:30 pm.....Planning and Zoning Meeting  
 Tuesday, November 15, 2022 at 6:30 pm.....City Council Meeting

**Meeting Records Request**

You are welcome to attend and express your opinion. Please be advised that **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made.

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**Americans with Disabilities Act**

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In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.



# City of Edgewood, Florida

## PROCLAMATION

*WHEREAS*, the City of Edgewood is blessed with a multitude of families, an essential part of the cultural social and spiritual fabric of our community; and

*WHEREAS*, the City of Edgewood recognizes that strong families are at the center of strong communities; that children live better lives when their families are strong; and that families are strong when they live in communities that connect them to economic opportunities, social networks and services; and

*WHEREAS*, everyone has a role of November 5 through November 12, 2022 to play in making families successful, including neighborhood organizations, businesses, non-profit agencies, policymakers, and families themselves; and

*WHEREAS*, everyone has a role to play in making families successful, including neighborhood organizations, businesses, non-profit agencies, policymakers, and families themselves; and

*WHEREAS*, during the week of November 5 through November 12, 2022, the City of Edgewood's residents should take time to honor the importance of families and recommit to enhancing and extending the special connections that support and strengthen them throughout the year, and

*WHEREAS*, during this week, we urge residents of the City of Edgewood to join other agencies and organizations throughout the county to honor and celebrate our families;

*NOW, THEREFORE*, I, John Dowless, Mayor of the City of Edgewood, representing the City and the City Council do hereby proclaim of November 5 through November 12, 2022, as

## *The Week of the Family*

**IN WITNESS WHEREOF**, I have hereunto set my hand this 18<sup>th</sup> day of October 2022

City of Edgewood, Florida

\_\_\_\_\_  
John Dowless, Mayor

ATTEST:

\_\_\_\_\_  
Sandra Riffle, City Clerk





# CITY COUNCIL WORKSHOP MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Wednesday, August 15, 2022 at 9:00 AM

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## DRAFT MINUTES

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### CALL TO ORDER

Council President Horn called the City Council budget workshop to order at 9:04am.

### MAYOR/COUNCIL ATTENDEES

- Mayor John Dowless
- Council President Richard Horn
- Councilmember Lee Chotas (by phone)
- Councilmember Susan Lomas
- Councilmember Ben Pierce
- Councilmember Chris Rader

### STAFF ATTENDEES

- Sandra Riffle, Interim City Clerk
- Brett Sollazzo, Administrative Assistant
- John Freeburg, Police Chief
- Shannon Patterson, Police Chief of Staff
- Scott Zane, Officer/IT Department
- Stacey Salemi, Code Compliance Officer

### CALL TO ORDER

Council President Horn called the workshop meeting order at 6:30 pm

### REVIEW & DISCUSSION (Provided in order of line items)

- Interim Clerk Riffle explained the changes made to the budget since workshop #1.
  - Worker’s Compensation numbers came in with an increase to \$45, 000. The City’s rating increased due to the number of workers’ compensation claims during the past year.
  - \$25,000 was added to the sidewalk budget to cover the removal of trees and stump grinding during the project.
  - The IT budget increased to include \$12,000 for the iPads and PD Chief of Staff Patterson said the supporting software was an additional \$10,000, making it \$32,000. Mayor Dowless said the Mayor’s salary was moved into iPads. Officer Zane said there is also a one-time fee of \$2,000 for setup.
  - \$5,000 was removed from the City Hall budget for Neighborhood Grants as it was a redundancy.

Councilmember Pierce entered the meeting at 6:41 pm.

- Councilmember Chotas said that the City can use reserves if estimates are not correct.
- Councilmember Rader asked about the additional funds for the sidewalk project. Mayor Dowless said the quote the City received did not include removal of trees and staff had to estimate the cost of tree removals versus just the cost of grinding down roots.
- Councilmember Lomas asked when the final numbers will be available and Interim Clerk Riffle said they should be available in August. Originally, the numbers were supposed to be available in July.
- Councilmember Rader remarked that the budget deficit appears to be less because ARPA funds are included in the budget.
- Chief Freeburg said that it appears that the City can put the second installment of ARPA funds into an interest bearing account. They are waiting to hear back from Florida League of Cities on how to report the funds. Chotas said we should not count on the interest to cover the shortfall.
- Councilmember Chotas said he was inclined to keep the millage rate the same at 5.25 and use reserves to cover the shortfall. He said he expects the City to still be in a fluid situation this year, and if the millage is to be raised, next year would be better.
- Need to confirm with Ms. Campbell about tracking of ARPA money and ensure the way to prove the money was spent and tracked.
- Council President Horn stated his concern that the City is required to have no more than 75% in reserves and Mayor Dowless said he thought the City was below 75%. Councilmember Chotas said the goal of the maximum reserve was to avoid hoarding money. Mayor Dowless said the overage can be moved into Roads and Streets. Ask
- Interim Clerk will speak with Ms. Campbell about
  - Tracking ARPA money
  - Amending \$10,000 to the IT budget for potential software.
  - Moving the Mayor's \$12,000 stipend to IT.
  - (line 13) Check on reserves after making the transfer to roads and streets.
- Councilmember Chotas requested the bank statement showing reserves funds as of 7/28/2022.

Mayor Dowless stated the next budget workshop is on August 15<sup>th</sup>. Interim Clerk Riffle stated the first hearing is on September 6<sup>th</sup>. A decision was made to have a tentative third workshop at 5:00 PM on September 6<sup>th</sup> and the first budget hearing at 6:30 PM.

**ADJOURNMENT**

Council President Horn adjourned the budget workshop at 10:19 am.

\_\_\_\_\_  
Richard A. Horn  
Council President

Attest:

\_\_\_\_\_  
Sandra Riffle, CMC, CBTO  
Interim City Clerk

Approved in the \_\_\_\_\_ Council meeting.

DRAFT



**CITY COUNCIL REGULAR MEETING**  
City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Tuesday, September 20, 2022 at 6:30 PM

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**DRAFT MINUTES**

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**CALL TO ORDER**

Council President Horn called the meeting to order at 6:31 pm with a moment of silence followed by leading the Pledge of Allegiance.

**ROLL CALL & DETERMINATION OF QUORUM**

Interim Clerk Riffle announced a quorum with four Council members and Mayor Dowless in attendance. Councilmember Chotas previously gave notice that he would be unable to attend the meeting.

***Councilmember Pierce made a motion to excuse Councilmember Chotas' absence; seconded by Councilmember Lomas. Motion approved (4/0).***

**PRESENT**

Mayor John Dowless  
Council President Richard Horn  
Council President Pro-Tem Pierce  
Councilmember Susan Lomas  
Councilmember Chris Rader

**ABSENT**

Councilmember Lee Chotas

**STAFF**

Sandra Riffle, City Clerk  
John Freeburg, Police Chief  
Shannon Patterson, Police Chief of Staff  
Stacey Salemi, Code Compliance Officer

**Applicant**

Adriano Swift, Swift Services and Consulting

**PRESENTATION OF PROCLAMATION - none**

**CONSENT AGENDA**

1. August 16, 2022 Regular City Council Meeting Minutes
2. September 6, 2022 City Council Special Meeting Draft Minutes

Councilmember Rader requested the following change to the September 6, 2022 minutes.

"The City is counting \$175,000 in ARPA as revenue to cover the deficit of \$50,000" should be corrected to read "The City is counting \$175,000 in ARPA as revenue for the sidewalk project deficit of \$50,000."

There was no public comment.

***Councilmember Rader motioned to approve the Consent Agenda with changes; seconded by Councilmember Pierce. Motion approved 4/0).***

Council President Horn said he would like to change the order of the agenda. There was no objection from Council. The minutes reflect the order of business.

**PUBLIC HEARINGS (ORDINANCES – SECOND READINGS & RELATED ACTION)**

**1. Second/Final Budget Hearing**

- Ordinance 2022-07 AN ORDINANCE OF THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA, ADOPTING THE FINAL LEVY OF AD VALOREM TAXES UPON THE ASSESSED REAL AND BUSINESS PERSONAL PROPERTY TAX ROLLS FOR FISCAL YEAR 2022/2023, BEGINNING OCTOBER 1, 2022 AND ENDING SEPTEMBER 30, 2023; AND PROVIDING FOR AN EFFECTIVE DATE.

Attorney Smith read Ordinance 2022-07 in title only. He said the proposed rate of 5.2500 mills represents an 8.98 percent increase over the rolled-back rate of 4.8172 mills.

There was no public comment.

There were no changes to the proposed budget by Council.

***Councilmember Rader stated, "I move to adopt Ordinance No. 2022-07, setting the City of Edgewood's millage rate for the Fiscal Year 2022/2023 at 5.25 mills which represents an 8.98 percent increase over the roll-back rate of 4.8172 mills." The motion was seconded by Councilmember Lomas. Approved by roll call vote (4/0).***

The motion was approved by roll call vote.

|                                  |        |
|----------------------------------|--------|
| Council President Horn           | Favor  |
| Council President Pro-Tem Pierce | Favor  |
| Councilmember Rader              | Favor  |
| Councilmember Lomas              | Favor  |
| Councilmember Chotas             | Absent |

- RESOLUTION NO. 2022-06 - A RESOLUTION OF THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA, ADOPTING THE FINAL BUDGET FOR THE FISCAL YEAR 2022/2023, BEGINNING OCTOBER 1, 2022 AND ENDING SEPTEMBER 30, 2023; AND PROVIDING FOR AN EFFECTIVE DATE.

Attorney Smith read Resolution 2022-06 in title only.

Councilmember Rader noted the increase in Workers' Compensation and asked what could mitigate the rate from going up as much again. Mayor Dowless said staff has inquired with the Florida League of Cities and see if there is a better rate.

Chief Freeburg said anything regarding Covid was initially submitted as workers' compensation claims, but the City has stopped doing that unless there was direct exposure. There were also some other claims.

Mayor Dowless said for the last three years the City saved \$10,000, but there were claims that we have not had before. Attorney Smith suggested that this may be an industry-wide change as his firm was also affected by an increase.

Councilmember Rader commented on the increase with Orange County's fire/rescue fees. Mayor Dowless said he will approach Orange County to remove this from ad valorem and see if Orange County is open to the idea of an MSTU.

Councilmember Rader referred to line 254 - transfer to roads and streets. He said the \$308,659 represents the additional transfer to Roads and Streets to reduce the City's reserves below the threshold.

Mayor Dowless said we are moving \$281,280 out of reserves to balance the budget. He also stated that the projected unrestricted was \$3.2 million, and the 75% threshold is \$3.3 million.

Councilmember Pierce noted a typographical error in Exhibit "A" corresponding to Resolution 2022-06. He said the budgeted ending reserve balance for Roads and Streets should be \$295,743.00, which would match line 54 on the Roads and Streets budget page.

There was no public comment.

***Councilmember Rader stated, "I move to adopt Resolution No. 2022-06 adopting the City of Edgewood's budget for fiscal year 2022/2023." The motion was seconded by Councilmember Lomas. Motion approved by roll call vote (4/0).***

The motion was approved by roll call vote.

|                                  |        |
|----------------------------------|--------|
| Council President Horn           | Favor  |
| Council President Pro-Tem Pierce | Favor  |
| Councilmember Rader              | Favor  |
| Councilmember Lomas              | Favor  |
| Councilmember Chotas             | Absent |

**ORDINANCES****• ORDINANCE 2022-06**

AN ORDINANCE OF THE CITY OF EDGEWOOD AMENDING CHAPTER 134 OF THE CODE OF ORDINANCES RELATED TO LOCATION, HEIGHT, AND CONSTRUCTION STANDARDS AND REGULATIONS APPLICABLE TO FENCES AND SCREENING WALLS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS AND AN EFFECTIVE DATE.

Attorney Smith read Ordinance 2022-06 in title only.

Planner Hardgrove introduced Ordinance 2022-06 with changes to Code Section 134-517. The recommended changes reflect approved variances related to the type and location of fences throughout the city along with updated standards applicable to the installation of fences and screening walls. The Edgewood Central District (ECD) has its own fence regulation.

Lines 144 and 166 were changed to read. "Without a special exception, no barbed wire may be used on a parcel adjacent to a residential zoning or future land use designation."

Councilmember Rader asked how lines 114-116 would apply to a neighborhood with an HOA. Attorney Smith said if there is no HOA, it is the responsibility of the adjacent property owner. In the case of a dissolved HOA on a common tract, it would be the responsibility of all the property owners in that neighborhood.

Councilmember Rader stated his concern to make sure the standards for all districts are comprehensive and can be referenced back in the applicable district. For example, the use of barbed wire in the industrial district. Planner Hardgrove confirmed standards can be referenced by district.

He also referenced line swimming pool fencing on line 193 and suggested that the code should say that standards must be in accordance with the Florida Building Code swimming pool barrier requirements.

Clerk Riffle confirmed to Planner Hardgrove that Engineer Lane with CPH reviews all swimming pools and that applicants include the swimming pool safety affidavit with their application.

In response to Councilmember Pierce, Planner Hardgrove said that she would clarify that line 78 is in reference to a vehicular gate.

There was no public comment.

***Councilmember Rader made a motion to approve Ordinance 2022-06 as amended; seconded by Councilmember Lomas. Motion approved (4/0).***

The motion was approved by roll call vote.

|                                  |        |
|----------------------------------|--------|
| Council President Horn           | Favor  |
| Council President Pro-Tem Pierce | Favor  |
| Councilmember Rader              | Favor  |
| Councilmember Lomas              | Favor  |
| Councilmember Chotas             | Absent |

**UNFINISHED BUSINESS – None**

**BOARDS & COMMITTEES**

1. Boards and Committees Planning & Zoning Report

**Variance 2022-07 510 Gatlin Avenue fence**

Planner Hardgrove said the request is to approve a variance to allow a ten feet high fence in the front yard of the property located at 510 Gatlin Avenue. The variance is specifically requested to replace an existing fence around an existing tennis court. The maximum allowable height in a front yard is four feet.

The existing tennis court has existed since 1938 and is surrounded by differing levels of fences, all of which are non-conforming. Planning and Zoning supported approval of the variance conditioned on the location being limited to around the existing tennis court on the subject property.

Councilmember Rader noted that the property slopes down fairly quickly in the front. He asked if there is a provision for recreational fences, and Planner Hardgrove said it would require a special exception in the new code.

Adriano Swift, contractor representing the homeowner, said the request is a safety measure due to the tennis court’s proximity to the road. He said the 10-foot fence would go right inside the existing wall, which will remain.

There was no public comment.

***Councilmember Rader made a motion to approve Variance 2022-07, for a ten feet high fence in the front yard, conditioned on the location being limited to around the existing tennis court on the subject property. The motion was seconded by Councilmember Lomas. Motion approved (4/0).***

The motion was approved by roll call vote.

|                                  |        |
|----------------------------------|--------|
| Council President Horn           | Favor  |
| Council President Pro-Tem Pierce | Favor  |
| Councilmember Rader              | Favor  |
| Councilmember Lomas              | Favor  |
| Councilmember Chotas             | Absent |



## Mayor Dowless Report

- Mayor Dowless said he has been working with Planner Hardgrove on the Orange-Holden-Gatlin Avenue realignment, and they found some renderings for Cypress Grove Park from Orange County made about a year ago.

The link to the petition has been updated. The City of Edgewood supports Alternative 1 and 2. The renderings show that Cypress Grove Park can be reimagined.

Planner Hardgrove said the renderings show a dog park, a stormwater pond, and a possible SunRail connection with a pedestrian bridge. The plan preserves many oak trees.

Councilmember Rader noted that Orange County held a public meeting and did not show these renderings. Mayor Dowless said he made a public records request to Orange County and asked for minutes and documents, including the list of meeting attendees.

Mayor Dowless said that this affects all residents of Orange County. He asked all Councilmember to attend the County meeting on October 11, 2022. He also requested assistance with the petitions as he needs to generate signatures.

He asked councilmembers to visit with the Orange County Commissioners before the public meeting as he believes that they may not have seen these renderings. Councilmembers were amenable to meeting with Orange County Commissioners.

Councilmember Lomas said the major opposition is from Friends of Park. Mayor Dowless and Planner Hardgrove said they are probably not aware of the park renderings.

Mayor Dowless said that the Edgewood land that Orange County purchased is zoned industrial and the park cannot use it until the City de-annexes it.

Clerk Riffle confirmed to Mayor Dowless that she can make the files available to the Council.

## NEW BUSINESS

### 1. Ducktoberfest Sponsorship

Councilmember Rader said that he supports a sponsorship to Cornerstone Charter Academy as the existence of the school benefits the City.

Council President Horn said he would support the Harvest Sponsor level of \$450. There were no objections.

There was no public comment.

Councilmember Pierce made a motion to approve a \$450 Harvest sponsor level; seconded by Councilmember Rader. Motion approved (4/0).

The motion was approved by roll call vote.

|                                  |        |
|----------------------------------|--------|
| Council President Horn           | Favor  |
| Council President Pro-Tem Pierce | Favor  |
| Councilmember Rader              | Favor  |
| Councilmember Lomas              | Favor  |
| Councilmember Chotas             | Absent |

**2. Recommendation for Planning and Zoning Board Member**

Mayor Dowless said Planning and Zoning Board Member Steve Kreidt has resigned and there is an opening on the Board. He recommends Todd Nolan to replace Board Member Kreidt. Mr. Nolan is willing to serve and has a desire to give back to the community. Planner Hardgrove said that she appreciated her interaction with him during the process of subdivision of his property.

There was no public comment.

***Councilmember Lomas made a motion to appoint Todd Nolan to Planning and Zoning; the motion was seconded by Councilmember Pierce. The motion was approved (4/0).***

**3. City Clerk Recommendation**

Mayor Dowless recommended confirming Sandra Riffle as the new City Clerk. She has done a good job and things are moving smoothly.

***Council President Horn made a motion to approve Sandra Riffle as the new City Clerk; the motion was seconded by Councilmember Lomas. Motion approved (4/0).***

Clerk Riffle thanked the Council and said she appreciated the opportunity. Mayor Dowless said that she is cross-training staff so that if one person is out, City Hall can still operate.

Council President Horn asked about inventory software and Mayor Dowless confirmed that it is in use. Clerk Riffle said that City Hall has begun digitization of agreements and other documents in order to centralize information.

**GENERAL INFORMATION**

**CITIZEN COMMENTS**

**STAFF REPORTS**

**City Attorney Smith**

Attorney Smith said he can have a new boat dock Ordinance ready for October’s meeting based on how Orange County changed their own ordinance. There was no objection from Council.

Council President Horn said the final product was more restrictive from what was suggested by Orange County Environmental Protection Commission. It is not much different from Edgewood’s current Code.

**Police Chief Freeburg**

Chief Freeburg's August 2022 Report

Chief Freeburg said the Police Department sent Amy Watkins to accreditation management school. She will also train with Stacey Salemi on code enforcement.

Chief Bass’ funeral went well and his family was grateful. Orlando Police Department sent 38 honor guards.

**Interim City Clerk Riffle** – no report.

**MAYOR AND CITY COUNCIL REPORTS**

Council Member Chotas –absent

Council Member Pierce– no report

Council Member Rader– no report

Council Member Lomas– no report

Council President Horn– no report

**N. ADJOURNMENT**

Councilmember Lomas made a motion to adjourn the meeting at 7:44 pm. Motion approved (4/0).

\_\_\_\_\_  
Richard A. Horn, Council President

Attest:

\_\_\_\_\_  
Sandra Riffle, City Clerk

Approved in the \_\_\_\_\_ City Council meeting.

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**ORDINANCE 2022 – 06**

**AN ORDINANCE OF THE CITY OF EDGEWOOD AMENDING CHAPTER 134 OF THE CODE OF ORDINANCES RELATED TO LOCATION, HEIGHT, AND CONSTRUCTION STANDARDS AND REGULATIONS APPLICABLE TO FENCES AND SCREENING WALLS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS AND AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Edgewood, Florida, finds it necessary and in the best interests of the health, safety and welfare of the residents and visitors to the City to update the standards applicable to the installation of fences and screening walls; and

**WHEREAS**, within this Ordinance, deletions are identified by strikethrough text and additions are identified by underlined text.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, FLORIDA, AS FOLLOWS:**

**SECTION ONE.** The findings set forth in the recitals above are hereby adopted as legislative findings of the City Council pertaining to this Ordinance.

**SECTION TWO.** Chapter 134-517 is hereby amended as follows:

**Sec. 134-517. - ~~Location of fences~~/screening walls.**

~~In any residential district, no closed fence or wall shall be erected or maintained within 20 feet from a corner intersection of street right-of-way. Fences or walls beyond the front building line shall be limited to a maximum height of four feet. A fence or wall shall be limited to a maximum height of eight feet in the rear and side yards. In any residential district, all chainlink fences shall be installed with the pointed ends to the ground. No electrically charged wire fence shall be erected in any residential district. No barbed wire fence shall be erected in any residential district, except for security of public utilities, provided such use is limited to three strands, a minimum of six feet above the ground. Barbed wire may be used on security fences erected in any commercial or industrial district provided such use is limited to three strands, a minimum of six feet above the ground.~~

**(a) Purpose and Intent.** The purpose and intent of this section is to regulate the location, height, and appearance of fences and walls to maintain visual harmony within neighborhoods and throughout the City, protect adjacent land from the indiscriminate placement and unsightliness of fences and walls, and ensure the safety, security, and privacy of properties.

**(b) Applicability.**

34 a. Unless exempted below, the provisions of this section shall apply to all new construction  
35 or repair or replacement of 50 percent or more of any existing wall or fence length. The  
36 term wall in this section applies to screening walls and not walls required for support of a  
37 principal or accessory structure.

38 b. Permit Required. All fences and walls subject to these standards shall obtain a building  
39 permit prior to construction. Requests for permits for walls and fences must be  
40 accompanied by a scaled site plan and drawings clearly showing the locations, heights and  
41 materials for which approval is requested.

42 **(c) District Location Standards.**

43 1. **Residential Districts.**

44 a. Fences and Walls in a Required Front Yard: Except where allowed in this section,  
45 fences and walls within the required minimum front setback shall not exceed 4 feet in  
46 height.

47 b. For residential zoned lots with a front or side yard on a FDOT functionally classified  
48 arterial or collector road, the maximum height for a fence or wall in a required  
49 minimum front and street side yard may be increased to six feet if the following is met.

50 1. Fences shall be of decorative materials such as wrought iron or powder coated  
51 aluminum in a style of wrought iron.

52 2. Walls shall be concrete block, stone, cultured stone, brick, or prefabricated with a  
53 textured manufactured finish. If concrete blocks are used, the wall shall have a  
54 minimum 1” thick stucco finish or be clad in brick, stone and/or cultured stone  
55 vener.

56 3. Brick, stone and/or cultured stone columns shall be constructed when using either  
57 a fence or a wall, and such columns shall, at a minimum, be placed where the  
58 fence/wall ends at the property lines and at driveways. If the lot’s road frontage is  
59 in excess of one hundred (100) feet, additional columns shall be required to be  
60 spaced evenly along the frontage, with the wall/fence segment not exceeding 40  
61 feet in length. The columns may extend up to 12 inches above the fence height.

62 4. The fence/wall shall be constructed a minimum of 7 feet from the road right-of-  
63 way line.

64 5. Shade trees shall be planted along the fence/wall at a rate of one (1) per 40 linear  
65 feet of road frontage. Trees shall be evenly spaced along the pervious area of the  
66 frontage. Each tree shall be a minimum caliper of 5 inches (as measured 1 foot  
67 above grade) and minimum 14 feet in height at planting with 6’ minimum vertical  
68 clearance to the limbs. If overhead utilities exist along the right-of-way, the  
69 required shade trees shall be understory trees spaced every twenty (20) feet on  
70 center, with said understory trees a minimum of nine feet in height and at least a  
71 three-inch caliper (measured 6 inches above grade) at planting if single stem; for

72 multi-stem understory trees, at least three stems are required with each stem at least  
 73 of one-inch caliper (measured 6 inches above grade).

74 6. If hedges are planted along the fence or wall, such shall be maintained at a height  
 75 not to exceed six feet in height.

76 7. If a vehicular gate is used, the gate shall be automated and setback a minimum of  
 77 20 feet from the lot side of the public sidewalk. If no sidewalk exists, the gate shall  
 78 be setback 20 feet from the right-of-way/property line.

79 8. If on a corner lot, the fence/wall shall meet the Proximity to Right-of-Way  
 80 Intersection standard in Section 134-517(d).

81 c. Unless abutting a FDOT functionally classified arterial or collector, on any corner lot,  
 82 abutting the side of another lot, a fence/wall along the side street exceeding four (feet)  
 83 in height shall be setback 15 feet from the street side property line.

84 d. Maximum fence and wall height outside the minimum front setback shall be eight (8)  
 85 feet in height unless a more restricted height limit applies. A fence or wall height greater  
 86 than eight feet may be approved by special exception.

87 e. Subdivision walls and buffers.

88 1. Subdivisions that include lots with rear or side yards adjacent to a public right-of-  
 89 way must include a screen wall and vegetative buffer to provide both a desirable  
 90 buffer for the residents of the subdivision from the street as well as provide an  
 91 aesthetic buffer for the users of the adjacent right-of-way. Height of the screen wall  
 92 shall be six feet from the finished grade of the location of the wall or street,  
 93 whichever provides the highest screening height. Compliance with this section will  
 94 require a buffer with hedges, evergreen shade trees (at 40-foot on center spacing)  
 95 and one understory tree centered between the shade tree, on the street side of the  
 96 wall. The minimum width of the buffer shall be ten (10) feet, as measured from the  
 97 right of way line to the wall. The shade tree shall be a minimum caliper of 5 inches  
 98 (as measured 1 foot above grade) and minimum 14 feet in height at planting with  
 99 6' minimum vertical clearance to limbs. If overhead utilities exist along the right-  
 100 of-way, the required shade trees shall be understory trees spaced every twenty (20)  
 101 feet on center, with said understory trees a minimum of nine feet in height and at  
 102 least a three-inch caliper (measured 6 inches above grade) at planting if single stem;  
 103 for multi-stem understory trees, at least three stems are required with each stem at  
 104 least of one-inch caliper (measured 6 inches above grade).

105 2. The following are not considered adequate buffers for compliance with this section:  
 106 • Chain linked fences;  
 107 • Wood fences;  
 108 • Painted or untreated block walls; and,  
 109 • Insufficient planting area for maturing landscaping.

110 3. Maintenance of these improvements will be the responsibility of the homeowners'  
111 association and must be clearly defined on the preliminary subdivision plan and  
112 final plat.

113 f. No barbed wire fencing shall be allowed except by special exception approval. Such  
114 fencing, when allowed, shall be consistent with the standards listed in Section 134-  
115 517(d)6.

116 **2. Nonresidential Districts Except the ECD and Industrial districts.**

117 a. Fences or walls within the front setback shall be limited to a maximum height of four  
118 (4) feet. For fences and walls, the front yard setback shall apply to all sides fronting a  
119 road.

120 b. Outside the front or street side setback, the maximum height of a fence or wall shall be  
121 eight (8) feet, except as noted for public utilities.

122 c. No barbed wire fence shall be allowed except for security of public utilities or unless a  
123 special exception is approved. Such fencing, when allowed, shall be consistent with the  
124 standards listed in Section 134-517(d)6.

125  
126 **3. Industrial Districts.**

127 a. Fences or walls within the front setback shall be limited to a maximum height of four  
128 (4) feet. Fences greater than four feet in the front yard may be approved by special  
129 exception with conditions attached for landscaping and in consideration of continued  
130 view from the road into the property for crime prevention.

131 b. Outside the front or street side setback, the maximum height of a fence or wall shall  
132 be eight (8) feet, except as noted for public utilities.

133 c. If a landscape buffer is required by Chapter 114, the fence/wall shall be placed on the  
134 lot side of the buffer yard.

135 d. Barbed wire along the top of a fence may be used provided the conditions of Section  
136 134-517(d)6 are met.

137 4. ECD. Fences in the Edgewood Central District shall comply with ECD regulations.

138 **(d) Standards Applicable to All Districts.**

139 1. **Fence/Wall Material.** Permanent fencing or wall material other than chain link, wood,  
140 vinyl, masonry concrete, brick, or pre-cast concrete may be approved only by special  
141 exception.

142 2. **Chain Link Fencing.** Except where specifically allowed by this section, chain  
143 link fences are prohibited between the front lot line and the front of the building structure  
144 in all districts. Where chain link fencing is allowed, such shall be green, black, or  
145 brown vinyl coated.

146 3. **Wood Fencing.** Wooden fences shall be constructed of stained or painted pressure treated  
147 pine, cedar, or cypress. Plywood, particle board, or similar wood materials are prohibited.

- 148           The finished side shall face outward, and stringers and posts shall not be visible from the  
 149           outside.
- 150       4. **Masonry concrete block walls.** Concrete block walls shall be clad in brick, stone or  
 151           cultured stone veneer or have a 1 inch thick stucco finish with brick stone or cultured stone  
 152           accent features.
- 153       5. **Pre-cast Concrete Walls.** Pre-cast Concrete Walls shall have manufactured imprinted  
 154           texture and patterns to mimic brick, stone or cultured stone patterns.
- 155       6. **Barbed Wire.** The following standards apply when barbed wire fencing is used around  
 156           public utilities.
- 157           a. Without a special exception, no barbed wire may be **on a parcel located** adjacent to a  
 158           residential zoning or future land use designation.
- 159           b. The barbed wire shall be attached to a fence of a minimum height of eight (8) feet.
- 160           c. The barbed wire shall not exceed one additional foot in fence height without a special  
 161           exception approval.
- 162           d. The outward limit of the barbed wire shall not be within 20 feet of any street right-of-  
 163           way line, sidewalk, or adjacent property.
- 164       7. **Residential Fence/Wall Colors.** Fence or wall colors shall be matte finish of any earth  
 165           tone color (i.e., color found in soil, such as sand, clay, slate), matte black, or matte white  
 166           with a minimum matte white content of 90 percent.
- 167       8. **Non-Residential Fence/Wall Colors.** Fence/wall colors shall complement the primary  
 168           color of the development and shall not be so extreme in contrast or intensity that the color  
 169           competes with the building for attention or acts as a sign.
- 170       9. **Fences/Walls adjacent to Required Landscape Buffers.** Where landscape buffers are  
 171           required adjacent to public rights-of-way, the fence/wall shall be located on the lot side of  
 172           the buffer. Fences or walls located along interior side or rear lot lines may be placed atop  
 173           the property line with required plantings located inside the fence or wall.
- 174       10. **Proximity to Intersections.** To prevent obstruction of view of an oncoming vehicle or  
 175           train at an intersection of two rights of way or a right-of-way and ingress/egress access  
 176           points, at a minimum, fences and walls shall comply with the most current FDOT criteria  
 177           and standards for Intersection Clear Sight Lines.
- 178       11. **Maximum Height in All Districts.** Outside the minimum yard standards (setbacks), the  
 179           maximum height of fences and walls shall be eight (8) feet unless specifically approved by  
 180           special exception or elsewhere in this code.
- 181       12. **Adjacent to Water Bodies.** All fences and walls located adjacent to water bodies shall not  
 182           extend into such water body beyond the normal high water elevation (NHWE). The  
 183           maximum height of a fence/wall within 10 feet of the NHWE shall be four (4) feet.
- 184       13. **Swimming Pools Fencing.** All swimming pools of any type whatsoever, including but not  
 185           limited to portable swimming pools, shall be completely enclosed in accordance with the  
 186           current publication of the Florida Building Code Swimming Pool Barrier Requirements  
 187           and as approved by the City Engineer.



188 14. **Firefighting access.** Fences and walls shall be designed and constructed so that adequate  
189 access to buildings is maintained for firefighting purposes.

190 15. **Electric fences.** It shall be unlawful for any person to erect, install or maintain any  
191 electrically charged fence within the city.

192 16. **Temporary Fencing.**

193 a. A temporary fence not exceeding 8 feet in height may be erected during construction  
194 in any district.

195 b. The temporary fence shall be restricted to chain link, vinyl picket, industrial aluminum,  
196 or wrought iron. All other materials are prohibited. Orange construction fencing for  
197 tree protection during construction shall be allowed.

198 c. Any portion of the temporary fencing facing a right-of-way must allow a reasonably  
199 unrestricted view of the grounds of the undeveloped lot from the right-of-way. Picket-  
200 style materials fronting a right-of-way shall have minimum spacing of four inches  
201 between each picket with a maximum picket width of one inch.

202 d. A pedestrian access gate is required. The gate must swing into the lot.

203 e. The temporary fence shall be removed prior to any Certificate of Occupancy.

204 17. **Fences/Walls in regulated floodways.** Fences and walls in regulated floodways shall be  
205 designed to avoid blocking the passage of floodwaters as determined by the City Engineer.

206 18. **Maintenance.** All walls and fences shall be maintained at the proper height, in a plumb  
207 and upright position, free of any defects, damage, peeling and chipping, and mold and  
208 mildew, or other discoloration.

210 **SECTION THREE.** The provisions of this Ordinance shall be codified as and become and be  
211 made a part of the Code of Ordinances of the City of Edgewood.

213 **SECTION FOUR.** If any section, sentence, phrase, word or portion of this ordinance is  
214 determined to be invalid, unlawful or unconstitutional, said determination shall not be held to  
215 invalidate or impair the validity, force or effect of any other section, sentence, phrase, word or  
216 portion of this Ordinance not otherwise determined to be invalid, unlawful or unconstitutional.

218 **SECTION FIVE.** All ordinances that are in conflict with this Ordinance are hereby repealed.

220 **SECTION SIX.** This Ordinance shall become effective immediately upon its passage and  
221 adoption.

223 **PASSED AND ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by the City Council of  
224 the City of Edgewood, Florida.

226 PASSED ON FIRST READING: \_\_\_\_\_

228 PASSED ON SECOND READING: \_\_\_\_\_

229

230 \_\_\_\_\_

231

232 Richard A. Horn, Council President

233 *ATTEST:*

234

235 \_\_\_\_\_

236 Sandy Riffle, City Clerk



# Memo

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas, Lomas, Pierce, and Rader

**From:** Brett Sollazzo, Administrative & Permitting Manager

**Date:** October 13, 2022

**Re:** 524 Harbour Island Road – Boat Dock

---

For the October 18, 2022 City Council meeting, the following is provided in your agenda packet for your review and consideration.

- 1. 524 Harbour Island Road – Boat Dock**
- **City Engineer approval letter dated**
  - **Engineering approved site plan & application**
  - **Objection letters from residents**

A public notice letter was sent out on August 24, 2022 to all properties within 300 feet of the subject property regarding the proposed boat dock. There were 14 notices provided by U.S. Mail, with three (3) notices returned as undeliverable. City Hall received five (5) letters of objection, with all of them stating navigability issues. Due to the letters of objection, this proposed boat dock needs to be presented to City Council for final approval or denial.

A follow up public notice letter was sent out on October 6, 2022 to all properties within 300 feet of the subject property regarding the proposed boat dock being a discussion item on the City Council agenda. There were 14 notices provided by U.S. Mail, with zero (0) notices returned as undeliverable as of this memo. City Hall did receive one (1) letter of objection with the Harbour Oaks Pointe Homeowners Association.

The City Engineer, along with the applicant and homeowner are prepared for discussion and to respond to any questions you may have regarding the above business item.



September 27, 2022

Ms. Sandy Riffle, CMC, CBTO  
Interim City Clerk  
City of Edgewood  
405 Bagshaw Way  
Edgewood, FL 32809-3406

**RE: 524 Harbour Island Rd - boat dock application review  
CPH project number E7601**

Dear Ms. Riffle;

We are in receipt of the revised boat dock plan sheets, boundary survey sheet and dock details for the above listed address, received on September 27, 2022. The submittal was in response to our letter dated August 29, 2022. We reviewed the revised plans and compared them to our previous review letter and plans to verify if all our comments have been addressed.

The plans show the width of the canal as 48.5 feet. Per City code, the maximum width of a dock on a canal is 25% or 12.125 feet. The plans show the width of the dock is 12 feet with a 6 inch roof overhang. The plans also show the distance from the nearest lot line is 55 feet, which exceeds the minimum setback distance. Finally, the new plans show the top of the boat house roof will be 13 feet above the normal high water elevation (NHWE) of the canal, which meets the City code.

Based on our review, the new plans for the proposed dock meet the City requirements for a boat dock on a canal. We do not have any objections to the City approving the application.

Prior to construction, the dock builder will be required to call in an inspection to verify the limits of the dock posts and to verify the dock will not be constructed greater than 12 feet into the canal. Upon completion of the dock, the builder/applicant will be required to provide signed and sealed survey as-builts of the dock including the height of the dock deck above the NHWE, the roof height of the boat house, the length and width of the new dock and the actual distance from the nearest lot line.

Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,  
**CPH, LLC**

A handwritten signature in black ink, appearing to read 'Allen C. Lane, Jr.', is written over the typed name.

Allen C. Lane, Jr., P.E.  
Sr. Project Manager

CC: file

J:\E7601\Civil\City Plans-Application Review\524 Harbour Isl boat doc app\letters\524 Harbour Island Rd - Boat Dock App Plans review 8-29-22.docx

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7/27/2022

CITY OF EDGEWOOD



## APPLICATION FOR BOAT DOCK

Reference: City of Edgewood Code of Ordinances, Section 14-11

**REQUIRED FEE: \$350 and \$1,000 Deposit Towards Pass-Through Fees  
(Pass-Through Fees - Ordinance 2013-01)**

Please note this fee is non-refundable

### IMPORTANT:

1. A COMPLETE application with all required attachments and three (3 copies must be submitted to the City Clerk's office. **An application is considered complete based upon the City Engineer's determination and when the fee is paid at Edgewood City Hall.**
2. Applications that are deemed incomplete and/or unaccompanied by fees will be deferred to the next posted deadline date.
3. **Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.**
4. In the event that the application goes before Planning and Zoning or City Council, **the application will not be considered unless the applicant or representative is in attendance.** The applicant is advised that the individual board and council members can only be addressed during board proceedings.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

|                                |  |               |  |
|--------------------------------|--|---------------|--|
| Applicant's Name:              | JTS Homes Inc  | Owner's Name: | Rachel E. Wilson                           |
| Address:                       | PO BOX 702<br>Oakland, FL 34760  | Address:      | 524 Harbour Island Rd<br>Orlando, FL 32809 |
| Phone Number:                  | 352-429-8335   | Phone Number: | 321-437-4224                               |
| Fax:                           |  | Fax:          |  |
| Email:                         | bluewaterdockboat1fts@gmail.com  | Email:        | rwilson0722@gmail.com                      |
| Name of Lake or Body of Water: | Lisa Waterway  | NHWE:         |  |
| Parcel ID/Legal Description:   | 13-23-29-7456-00-980 - River Oaks 1/47 Lot 98<br>(Less Beg NW Cor Run Ely 12 ft Sly to SW Cor Nly to POB |               |  |

Page 1 of 5

405 Bagshaw Way, Edgewood, Florida, 32809-3406  
Phone: 407-851-2920 / Fax: 407-851-7361  
www.edgewood-fl.gov

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**Names and addresses of adjoining property owners:**

Notarized consent forms shall be provided from adjoining property owners if the side setback is less than 15 feet.

1. Harrison Frank D. Sr. Life Estate 508 Harbour Island Rd.

2. MacArthur William H 1014 Harbour Island Rd.

3.

4.

5.

6.

7.

1. Exact distance of setbacks from adjacent property lines:

|                               |     |                               |        |           |     |
|-------------------------------|-----|-------------------------------|--------|-----------|-----|
| A. (side)<br>Sec. 14-11(b)(1) | 55' | B. (side)<br>Sec. 14-11(b)(1) | 90.55' | C. (Rear) | 17' |
|-------------------------------|-----|-------------------------------|--------|-----------|-----|

2. Brief description of work to be done (dock and site plans must be attached):

Remove existing roof, build new boat deck, covered slip, and install a boat lift

3. Electric power to dock:

|      |  |     |  |
|------|--|-----|--|
| Yes: |  | No: |  |
|------|--|-----|--|

4. Total area of structure: Sec. 14-11(b)(5)

|     |             |
|-----|-------------|
| 654 | Square feet |
|-----|-------------|

5. Length extending lakeward from NHWE shoreline: Sec. 14-11(b)(2)

|  |            |
|--|------------|
|  | Feet 12 FT |
|--|------------|

6. Depth of water **on date of application** at end of proposed dock:

|      |
|------|
| 5 FT |
|------|

7. Height of structure above NHWE contour: Sec. 14-11(b)(4)

|  |            |
|--|------------|
|  | Feet 12 FT |
|--|------------|

8. Is width of water body less than 200 feet?

|      |   |     |  |
|------|---|-----|--|
| Yes: | X | No: |  |
|------|---|-----|--|

9. If yes, width of water body (from the NHWL) at proposed dock:

|  |              |
|--|--------------|
|  | Feet 48.5 FT |
|--|--------------|



7/27/2022

CITY OF EDGEWOOD

10. Type of materials to be used:  
Pressure-treated Lumber, Plywood, Piles  
Architectural Shingles  
Composite Decking

I have complied with all requirements and procedures and proclaim this application to be complete. I understand that an incomplete application will be deferred to the next posted deadline date.

I also understand that following the administrative approval by the City Council (when applicable), an approved building permit from the Orange County Building Department is required before any construction shall commence.

The application fees are established by the City Council. The application fee does not, in any way, ensure the applicant a favorable decision. All applications will be reviewed on the merits of the request alone, regardless of the application fee. All fees are nonrefundable.

Following approval from the City Engineer and the City Council (when applicable), the following must be submitted for zoning stamp approval from the City of Edgewood

- a. Completed building permit application
- b. Recorded notice of commencement
- c. Proof of contractor's worker's compensation, naming the City of Edgewood as certificate holder

|                           |                      |       |        |
|---------------------------|----------------------|-------|--------|
| Applicant's Signature:    | <i>Jon T. Sidell</i> | Date: | 7/6/22 |
| Applicant's Printed Name: | Jon T. Sidell        |       |        |
| Owner's Signature:        | <i>Rachel Wilson</i> | Date: | 7/6/22 |
| Owner's Printed Name:     | Rachel Wilson        |       |        |

Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.

**BOAT DOCK APPLICATION PROCESS**

1. Submit application with:  
 Three (3) site plans **AND** Three (3) sets of engineered construction plans (note: plans will be retained by City Hall and consultants)
2. Application will be forwarded to the City Engineer
3. If a variance from the provisions is requested or required, the City Engineer is not authorized to approve the application.
4. Notices will be mailed to the neighboring property owners who have a legal interest in the shoreline within 300' of the property via mail
5. Written comments from neighboring property owners are due within 15 calendar days after mailing.
6. If **NO** written objections are received, it shall be deemed that property owners have given consent and have waived their right to object to the construction to the dock. The application is then approved based on recommendation by the City Engineer 15 calendar days from the date notices are sent as long as the application is complete in all other aspects.

405 Bagshaw Way, Edgewood, Florida, 32809-3406  
 Phone: 407-851-2920 / Fax: 407-851-7361  
 www.edgewood-fl.gov

## CITY OF EDGEWOOD

7. If one written objection is received, or if the City Engineer believes the application should be approved by City Council, the Council will consider the application during a regularly scheduled council meeting with:
8. **Additional site plans and engineered construction plans with quantify specified by City Clerk's office.** When City Council must decide the application, it shall approve, deny or approve with conditions taking into consideration comments or objections from all parties who were previously notified and staff's review of the proposed boat dock.
9. Copies of City Council's decision shall be sent to the applicant and those who filed written objections
10. with the date of the decision.  
If **NO** objections have been filed and City Council approves the application, the application will be
11. effective immediately.  
Following City Council's action and within 15 days, applicant or parties who have submitted written
12. objections may submit written Notice of Appeal to the City Clerk.  
If a Notice of Appeal is filed, it shall be heard by City Council during a regular council meeting. Notice
13. of Appeal shall be provided to the applicant and parties who previously objected in writing.
14. During Notice of Appeal hearing, City Council may affirm, reverse or modify their previous decision.
15. If **NO** Notice of Appeal is received, City Council's ruling is final  
City Council's decision on appeal is final.

### BOAT DOCK VARIANCE APPLICATION PROCESS

1. Applicant must apply for a variance to the Edgewood Planning and Zoning Board, simultaneous with the submission of the Boat Dock Application and the required processing fees.
2. When a variance is requested the applicant shall submit to the City Clerk's office  
**Additional site plans and engineered construction plans with quantify specified by City Clerk's office.**
3. Applications for a variance shall follow the variance procedures as outlined in the Code (See Chapter 126, Section 126-588)
4. Following the approval of a boat dock application, either by the City Engineer or by the City Council, the applicant is also required to obtain a building permit prior to commencing construction.
5. In the event electricity is run to the boat dock, the proper electrical permit must also be obtained by the City of Edgewood.
6. The applicant is responsible for all fees associated with the procurement of necessary permits.
7. Approval of a boat dock permit by the City of Edgewood does not eliminate the applications of any other government requirements or the necessity for required other permits or fees.

Please submit your completed application to City Hall via email at [bmeeks@edgewood-fl.gov](mailto:bmeeks@edgewood-fl.gov) or [sriffle@edgewood-fl.gov](mailto:sriffle@edgewood-fl.gov), via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Larue Ave. Please contact City Hall at 407-851-2920 with additional questions.



| Office Use Only:         |   |
|--------------------------|---|
| <input type="checkbox"/> | Three (3) Site Plans  |
| <input type="checkbox"/> | Signed and sealed survey with Normal High Water Elevation (NHWE) as established by Orange County and performed by a Florida Registered Surveyor or mapper |
| <input type="checkbox"/> | Three (3) sets of engineered construction plans (signed and sealed)   |
| <input type="checkbox"/> | Non-refundable application fee of \$350.00 and \$1,000 Deposit Towards Pass Through fee (per Ordinance 2013-01)   |
| <b>Received Date:</b>    | <b>7/27/2022</b>  |
| <b>Received By:</b>      | Brett Sollazzo  |
| <b>Forwarded To:</b>     | Allen Lane - CPH  |
| <b>Notes:</b>            |   |

7/27/2022

CITY OF EDGEWOOD



Agent Authorization Form

FOR PROJECTS LOCATED IN THE CITY OF EDGEWOOD  
 Please type or print in BLACK INK. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

UNIT, TRACT PROPERTY OWNER NAME: Rachel E. Wilson AS  
 THE OWNER(S) OF THE REAL PROPERTY DESCRIBED AS FOLLOWS: 524 Harbour Island Rd, Orlando, FL 32809 DO HEREBY AUTHORIZE TO ACT AS MY/OUR AGENT (PRINT AGENT'S NAME) Spencer Conrad TO EXECUTE ANY PETITIONS OR OTHER DOCUMENTS NECESSARY TO AFFECT THE APPLICATION APPROVAL REQUESTED AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS AND TO APPEAR ON MY/OUR BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE COUNTY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE APPLICATION. BY SIGNING THIS AUTHORIZATION, THE OWNER AGREES TO BE BOUND BY THE ACTIONS OF THE AUTHORIZED AGENT AND THE PROVISIONS OF CHAPTER 218, ARTICLE 1, ENTITLED "PASS-THROUGH FEES" AND ACKNOWLEDGE AND AGREES THAT A LIEN MAY BE PLACED ON THE PROPERTY FOR NONPAYMENT OF PASS-THROUGH FEES AS PROVIDED IN THE CITY CODE.

Date: 3/6/22 Signature of Property Owner: [Signature] Print Name Property Owner: Rachel Wilson

Date: \_\_\_\_\_ Signature of Property Owner: \_\_\_\_\_ Print Name Property Owner: \_\_\_\_\_

STATE OF FLORIDA COUNTY OF Orange  
 I certify that the foregoing instrument was acknowledged before me this 8 day of March 2022 by Rachel Wilson who is personally known to me or has produced Florida ID# 25587762 as identification and did not take an oath.

Witness my hand and official seal in the county and state stated above on the 8 day of March in the year 2022.

Notary Seal: Jennifer Himmell, Notary Public - State of Florida, Commission # 0012487, My Comm. Expires April 22, 2023. My Commission Expires: Apr 22, 2023

Legal Description(s) or Parcel Identification Number(s) are required:  
 PARCEL ID: 13-23-29-7456-00-980

|                   |
|-------------------|
| LEGAL DESCRIPTION |
|                   |
|                   |
|                   |
|                   |
|                   |
|                   |
|                   |

Please hand deliver to Edgewood City Hall at 405 Bagshaw Way. For additional questions, please contact Edgewood City Hall at (407) 851-2900, or send email to [services@edgewood-fl.gov](mailto:services@edgewood-fl.gov) or [info@edgewood-fl.gov](mailto:info@edgewood-fl.gov). www.edgewood-fl.gov



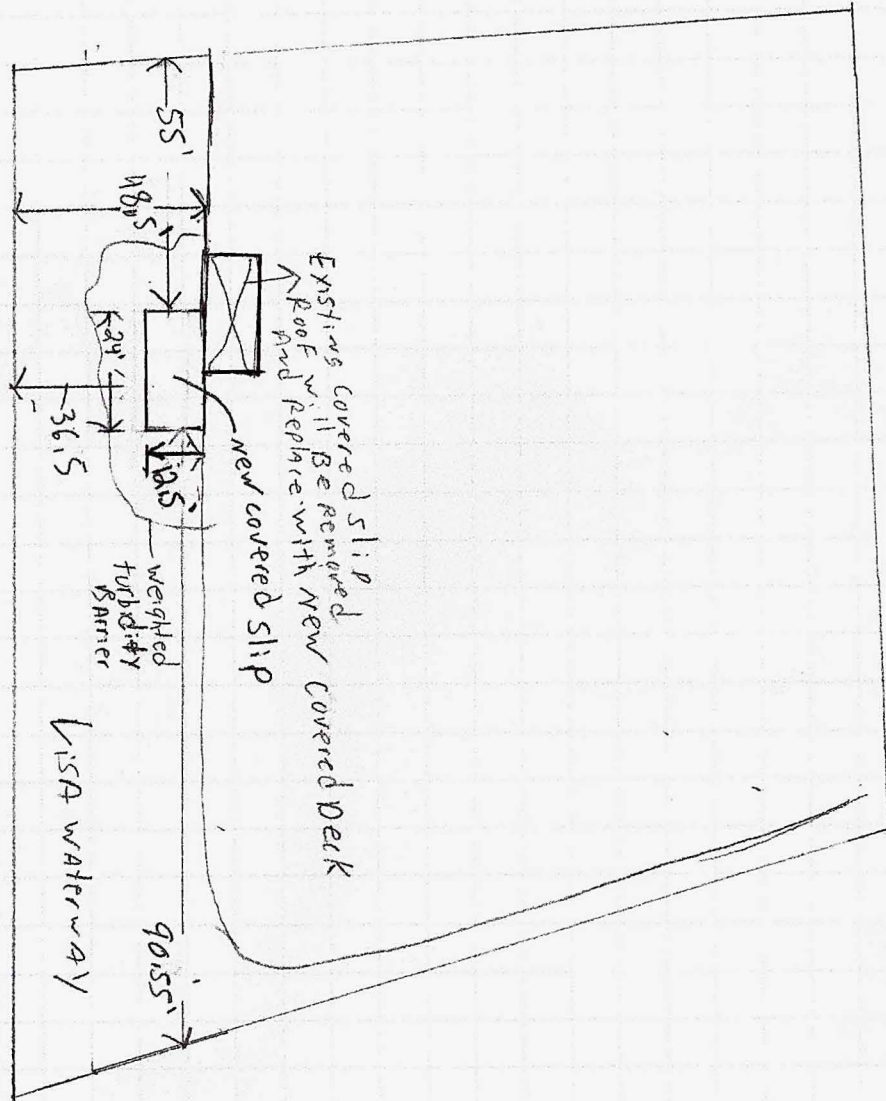




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9/27/2022

CITY OF EDGEWOOD



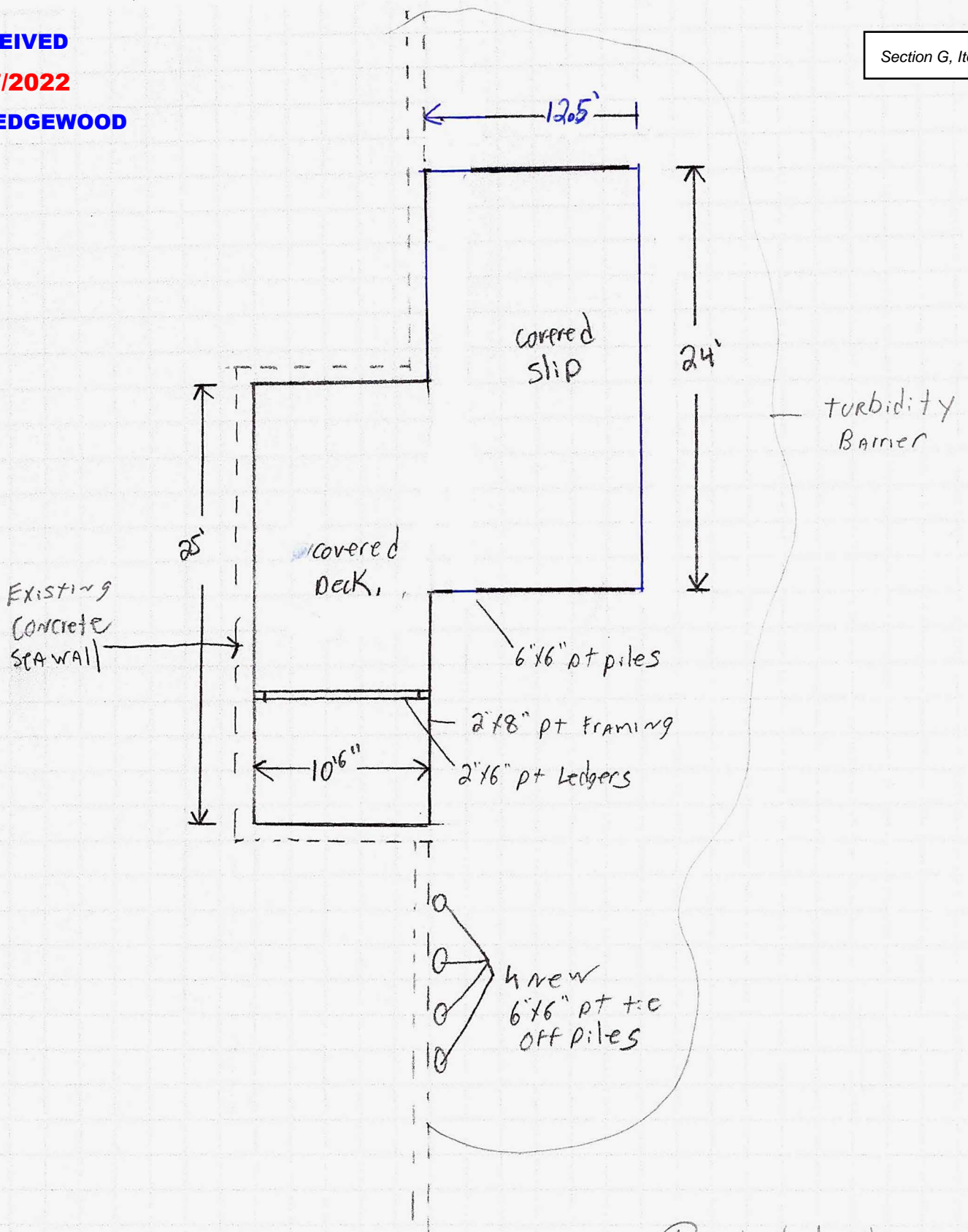
Rachel Wilson  
 524 Harbour Island Rd.  
 Edgewood, FL, 32809

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9/27/2022

CITY OF EDGEWOOD

Section G, Item 1.



Rachel Wilson  
524 Harbour Island Rd  
Edgewood, FL

32809

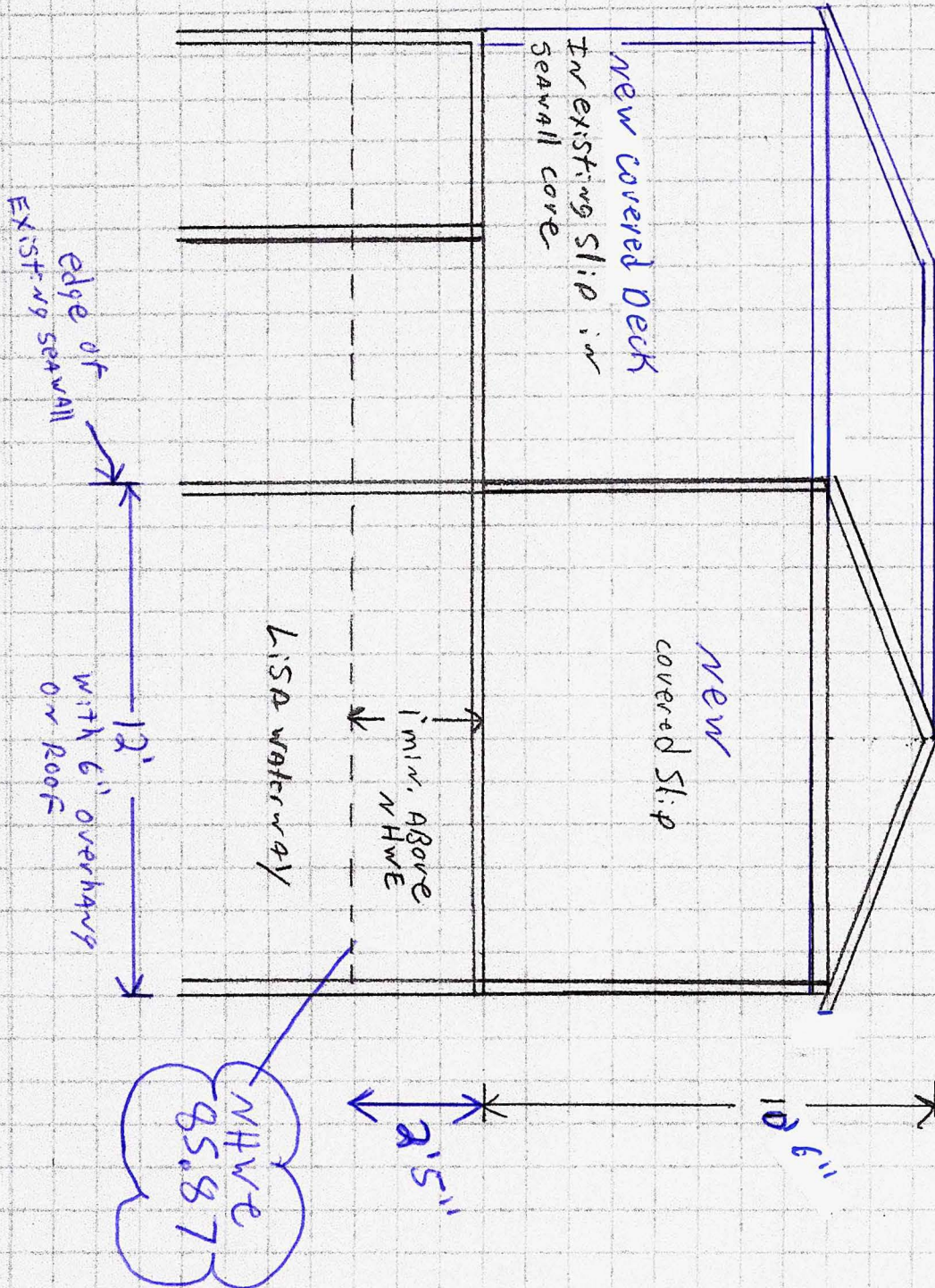


RECEIVED

9/27/2022

CITY OF EDGEWOOD

Section G, Item 1.



Rachel Wilson  
 324 Harbour Island Rd,  
 Edgewood, FL, 32809



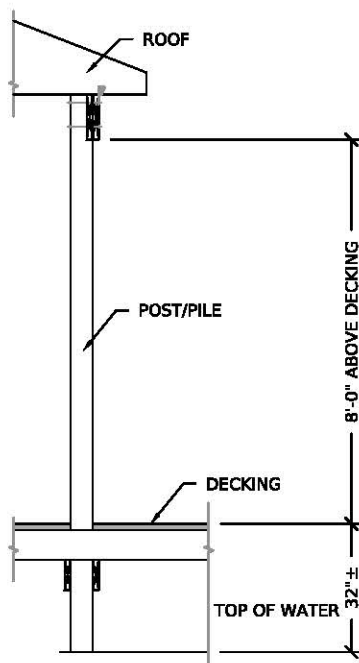
THE ENGINEER EXPRESSLY RESERVES THE EXCLUSIVE COMMON LAW COPYRIGHT AND PROPERTY RIGHTS TO THESE DRAWINGS WHICH MAY NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT THE ENGINEER'S WRITTEN CONSENT.

**RECEIVED**  
**9/27/2022**  
**CITY OF EDGEWOOD**

| DECK AREAS |         |
|------------|---------|
| SPACE      | AREA    |
| DOCK       | 654± SF |

**GENERAL NOTES:**

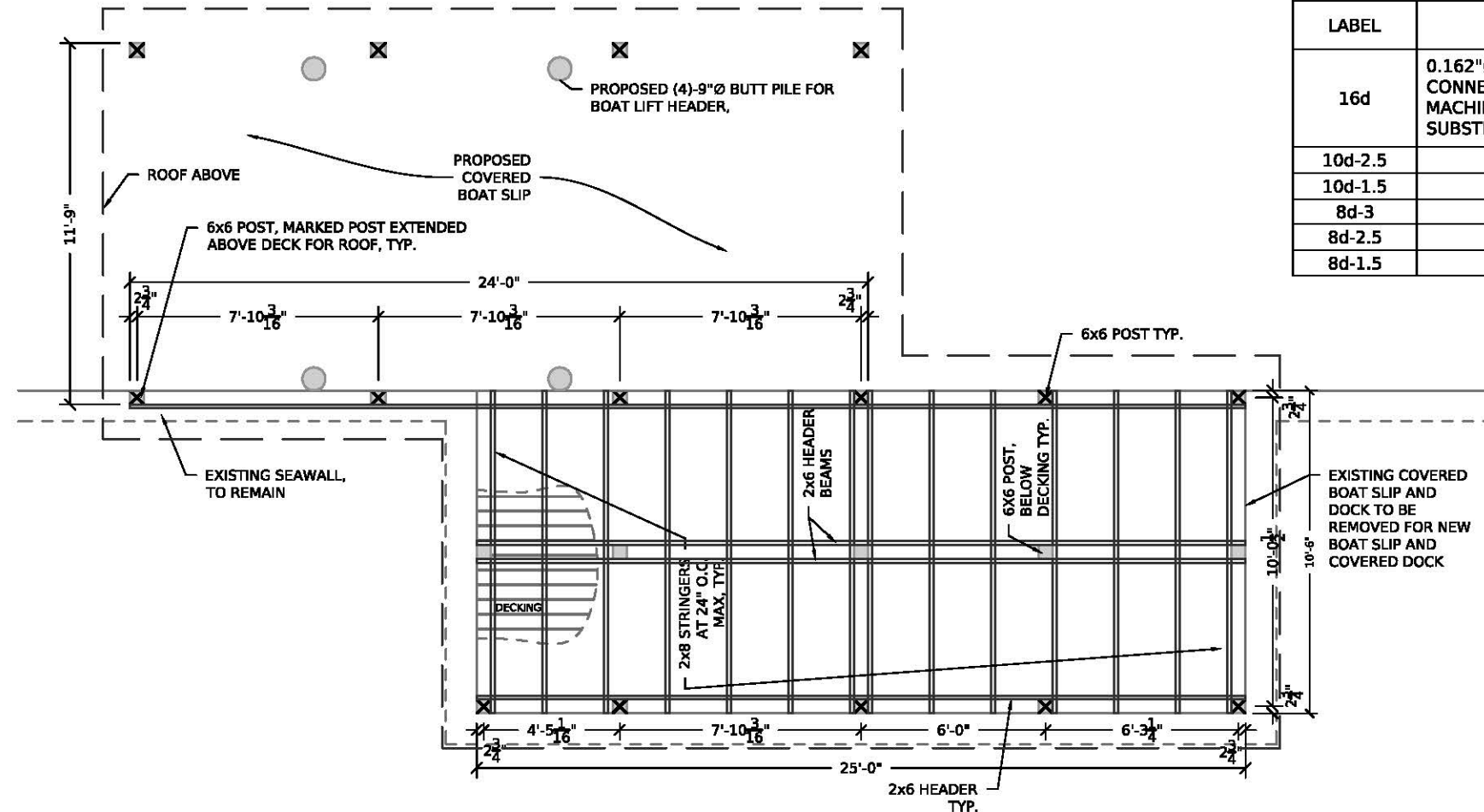
- ALL DETAILS, SECTIONS, AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE BEFORE START OF WORK.
- THE DETAILS ON THESE DRAWINGS SHALL BE USED WHEREVER APPLICABLE UNLESS NOTED OR SHOWN OTHERWISE ON THE DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020, 7TH EDITION.
- ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS NOTED OTHERWISE.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE W/AMENDMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION IN AND AROUND JOB SITE AND/OR ADJACENT PROPERTIES.
- OBSERVATION VISITS TO THE SITE BY A MWS ENGINEERING FIELD REPRESENTATIVE SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION UNLESS STATED OTHERWISE.
- DURING AND AFTER CONSTRUCTION, BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
- U.N.O.S. MEANS UNLESS NOTED OR SHOWN OTHERWISE.
- DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES. ANY DEVIATION MUST BE APPROVED PRIOR TO ERECTION.
- ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED PER STANDARD DETAILS FOR HEATERS, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL SUSPENDED MECHANICAL EQUIPMENT SHALL BE SWAY OR LATERALLY BRACED.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO BE SOLELY RESPONSIBLE FOR SHORING DURING CONSTRUCTION. ALL SHORING DESIGN'S SHALL BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO PLACEMENT.
- CODES: THESE PLANS COMPLY WITH THE LATEST FBC 2020, 7TH EDITION.



**TYPICAL DOCK ELEVATION**  
SCALE: 1/4"=1'-0"

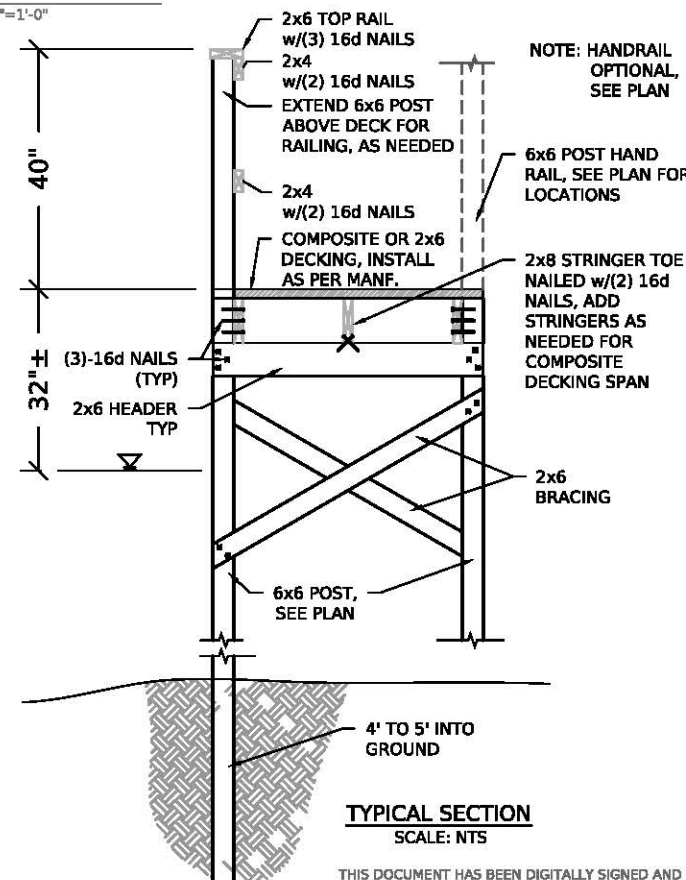
**WOOD CONSTRUCTION NOTES:**

- ALTHOUGH A SPECIFIC SPECIES AND GRADE IS GIVEN, A SPECIES AND GRADE WITH EQUIVALENT OR GREATER DESIGN VALUES SHALL BE PERMITTED. THE DESIGN VALUES CONTAINED IN DESIGN VALUES FOR WOOD CONSTRUCTION, AITC, SHALL BE USED TO DETERMINE EQUIVALENCY OF SUBSTITUTED MATERIAL. STUD GRADE OF A SPECIES CAN BE SUBSTITUTED FOR #3 GRADE OF SAME SPECIES.
  - SUB-PURLINS (TOP CHORD): GRADE NO. 2
  - LEDGERS: GRADE NO. 2
  - STUDS, PLATES AND SILLS: STUD OR NO. 3
  - BLOCKING: STUD OR NO. 3
- FASTENING SHALL CONFORM TO THE FLORIDA BUILDING CODE FASTENING SCHEDULE TABLE 2304.9.1 UNLESS NOTED OTHERWISE. COMMON NAILS SHALL BE USED.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR APPROVED BY THE STRUCTURAL ENGINEER.
- MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19% FOR ALL STRUCTURAL MEMBERS.
- ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS. ALL BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" TO 1/16" DIA. LARGER THAN THE NOMINAL BOLT DIAMETER.
- LAG BOLTS AND SCREWS SHALL BE PRE DRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED INTO PLACE.
- PROVIDE BLOCKING AND BRIDGING PER FLORIDA BUILDING CODE (FBC).
- USE DOUBLE JOISTS UNDER WALLS AND PARTITIONS PARALLEL TO JOISTS. USE SOLID BLOCKING UNDER PARTITIONS PERPENDICULAR TO JOISTS. 14. TOP PLATES OF ALL WOOD STUD WALLS TO BE DOUBLE 2x'S WITH SAME WIDTH AS STUDS UNLESS NOTED OTHERWISE. LAP 48" MINIMUM WITH NOT LESS THAN 8-16d NAILS AT EACH LAP AND NOT MORE THAN 12" BETWEEN NAILS.



**DOCK FRAMING PLAN**

SCALE: 3/16"=1'-0"



**TYPICAL SECTION**  
SCALE: NTS

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY: MICHAEL W. SPRINGSTEAD P.E., FL 47820. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS. THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THIS DOCUMENT IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

| NAIL LEGEND |   |
|-------------|---|
| LABEL       | DESCRIPTION   |
| 16d         | 0.162"Ø x 3-1/2" (FOR STRAP CONNECTION ONLY 0.162"Ø x 2-1/2" MACHINE DRIVEN MAY BE SUBSTITUTED) |
| 10d-2.5     | 0.148"Øx2-1/2"  |
| 10d-1.5     | 0.148"Øx1-1/2"  |
| 8d-3        | 0.131"Øx3"  |
| 8d-2.5      | 0.131"Øx2-1/2"  |
| 8d-1.5      | 0.131"Øx1-1/2"  |

Section G, Item 1.

**MWS ENGINEERING**  
MICHAEL W. SPRINGSTEAD, P.E., S.I., P.S.M.  
FLORIDA REGISTRATION NO. 47820  
C.A. NO. 29517  
12115 SE SUNSET HARBOR RD  
WEIRSDALE, FL 32195  
PHONE: (352) 409-2046



**DOCK FRAMING PLAN**  
WILSON, RACHEL SCALE: AS SHOWN  
DATE: 6/19/2022  
DRAWN BY: NAV  
JOB NUMBER: 190052.67

**LOCATION:**

524 HARBOUR ISLAND RD  
ORLANDO, FL 32809

**CONTACT:**

BLUEWATER DOCK AND BOAT LIFTS  
6628 CALVIN LEE RD  
GROVELAND, FL 34736  
PHONE: 352-267-0312  
EMAIL: bluewaterdockboatlifts@gmail.com

**ENGINEER:**

MICHAEL W. SPRINGSTEAD, P.E., S.I., P.S.M.  
FLORIDA REGISTRATION NO. 47820  
C.A. NO. 29517  
12115 SE SUNSET HARBOR RD  
WEIRSDALE, FL 32195  
PHONE: (352) 409-2046

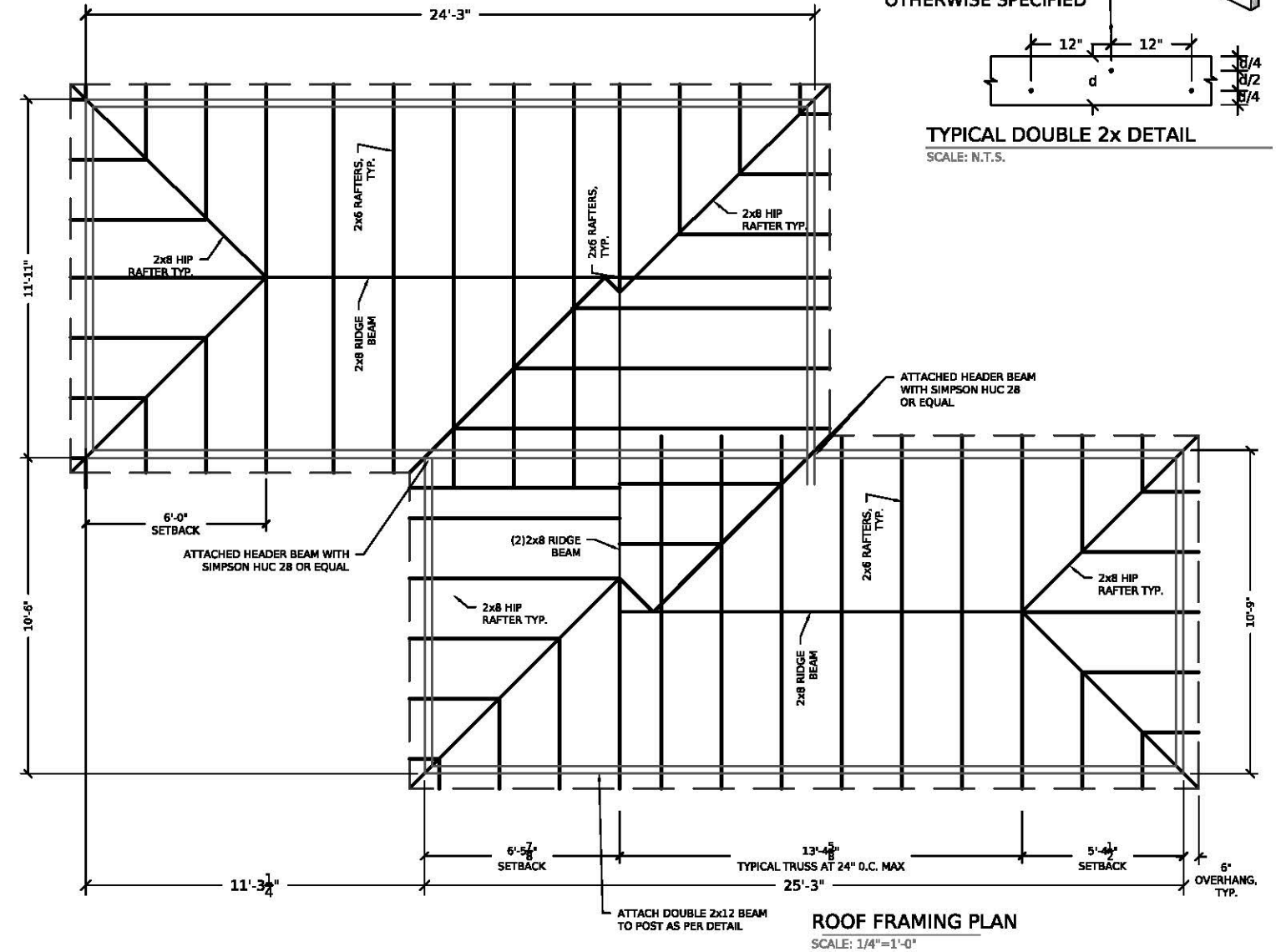
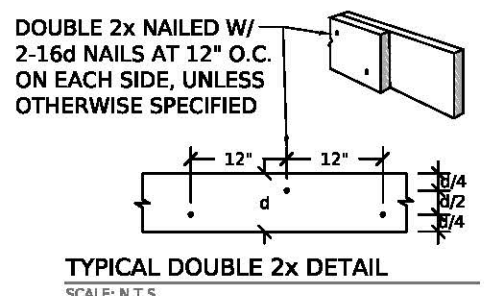
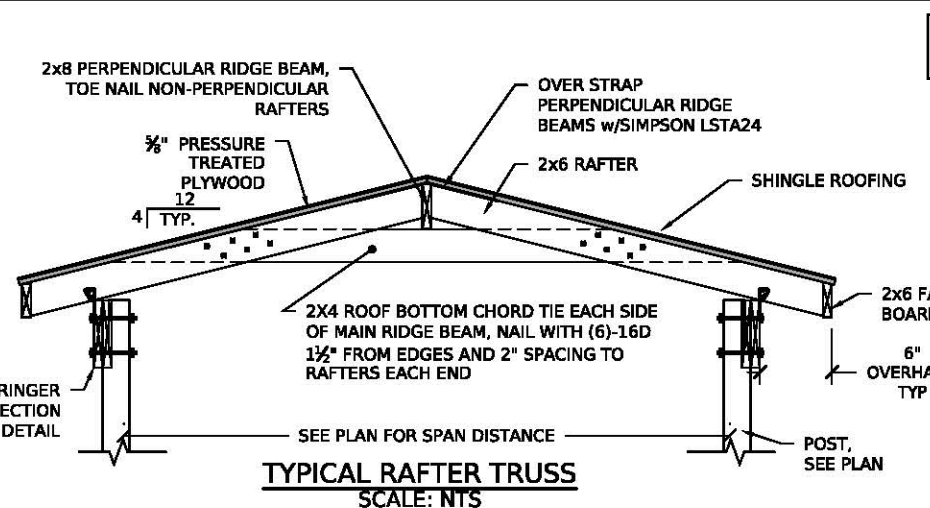
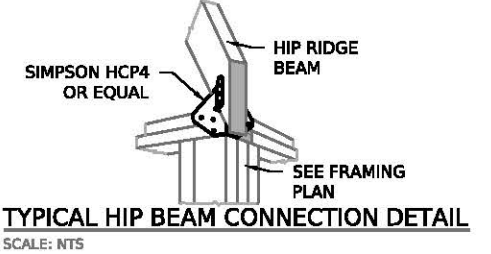
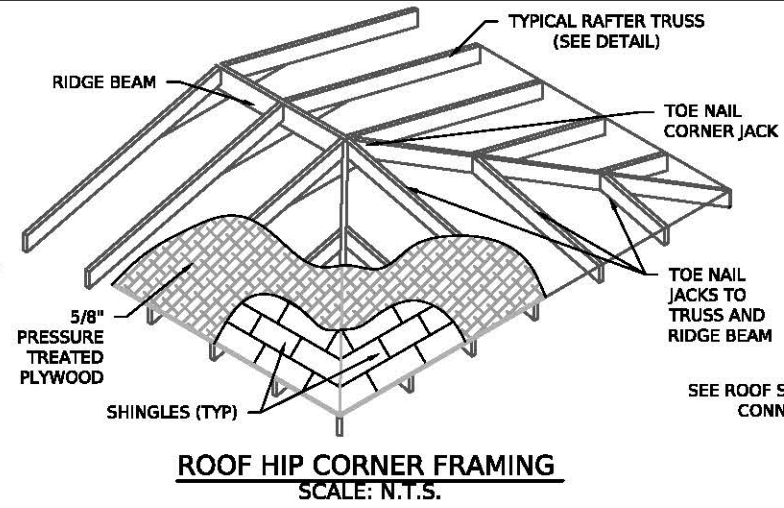
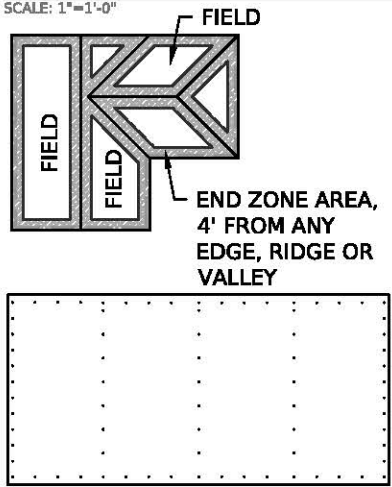
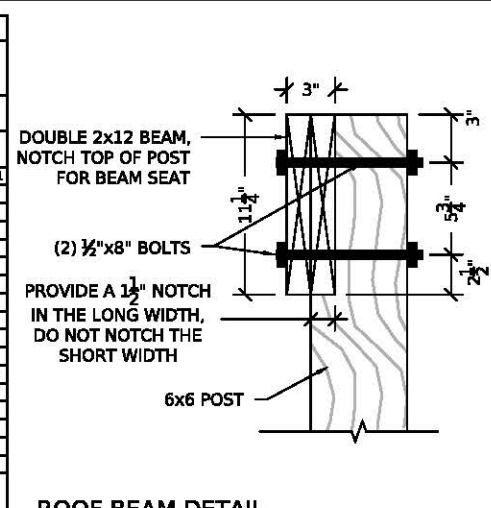
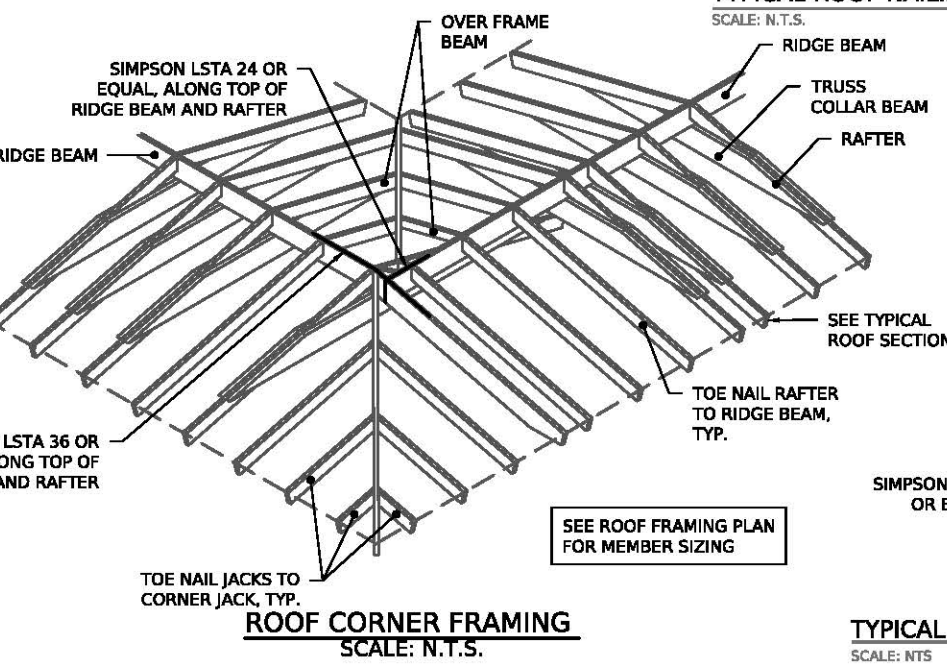
SHEET 1



THE ENGINEER EXPRESSLY RESERVES THE EXCLUSIVE COMMON LAW COPYRIGHT AND PROPERTY RIGHTS TO THESE DRAWINGS WHICH MAY NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT THE ENGINEER'S WRITTEN CONSENT.

**CONNECTION SCHEDULE**

| DESCRIPTION                            | FASTENERS |   | LOCATION/COMMENT                                       | FLORIDA PRODUCT APPROVAL #'S |
|--|-----------|---|--|------------------------------|
|  | NO.       | SIZE  |  |                              |
| SIMPSON SP1                            | 6         | 10d-2.5   | STUD   | FL10456.11                   |
| SIMPSON SP2                            | 4         | 10d-2.5   | PLATE  | FL10456.11                   |
| SIMPSON SP4                            | 6         | 10d-2.5   | STUD   | FL10456.11/13872.21          |
| SIMPSON SP4H                           | 10        | 10d-1.5   |  | FL10456.12                   |
| SIMPSON H2.5                           | 5 EA.     | 8d-2.5 TO PLATES, 8d-1.5 TO TRUSS   |  | FL10456.3                    |
| SIMPSON H2.5A                          | 5 EA.     | 8d-2.5 TO PLATES, 8d-1.5 TO TRUSS   |  | FL10456.3                    |
| SIMPSON H4                             | 4 EA.     | 8d-2.5  | PLATES & TRUSS   | FL10456.3                    |
| SIMPSON H5                             | 4 EA.     | 8d-2.5  | PLATES & TRUSS   | FL10456.3                    |
| SIMPSON H8                             | 5 EA.     | 10d-2.5   | PLATES & TRUSS   | FL10446.8                    |
| SIMPSON H10                            | 8 EA.     | 8d-1.5  | PLATES & TRUSS   | FL10456.3                    |
| SIMPSON H10A                           | 9 EA.     | 10d-1.5   | PLATES & TRUSS   | FL10456.3                    |
| SIMPSON MTS20                          | 14        | 10d-2.5   |  | FL13872.12                   |
| SIMPSON HTS24                          | 20        | 10d-2.5   | OR 24 - 10d-1.5  | FL13872.4                    |
| SIMPSON LSTA18                         | 14        | 10d-2.5   |  | FL10852.6/13872.6            |
| SIMPSON LSTA24                         | 18        | 10d-2.5   |  | FL10852.6/13872.6            |
| SIMPSON RPS18                          | 12        | 16d   |  | FL10864.5                    |
| SIMPSON PAHD42                         | 16        | 16d   |  | LPA                          |
| SIMPSON HPAHD22                        | 23        | 16d   |  | LPA                          |
| SIMPSON ABU44                          | 12        | 16d   | 1/2" x 6" SIMPSON TITEN HD                             | FL10860.4                    |
| SIMPSON MBHA 3.56/11.25                | 18        | 10d-2.5 INTO JOIST  | 2-3/4" ATR W/ 6 3/4" EMBEDMENT USING SIMPSON SET EPOXY | FL13904.5                    |
| SIMPSON MBHA 3.56/11.25RA45            | 18        | 10d-2.5 INTO JOIST  | 2-3/4" ATR W/ 6 3/4" EMBEDMENT USING SIMPSON SET EPOXY | FL13904.5                    |
| SIMPSON MBHA 3.56/16.45                | 18        | 10d-2.5 INTO JOIST  | 2-3/4" ATR W/ 6 3/4" EMBEDMENT USING SIMPSON SET EPOXY | FL13904.5                    |
| SIMPSON MBHA 3.56/16.45                | 18        | 10d-2.5 INTO JOIST  | 2-3/4" ATR W/ 6 3/4" EMBEDMENT USING SIMPSON SET EPOXY | FL13904.5                    |
| SIMPSON DTT2Z                          | 8         | 1/4" x 1 1/2" SDS SCREWS  | 1/2" x 6" SIMPSON TITEN HD ANCHOR                      | FL10441.1                    |
| SIMPSON META16 (1 - PLY TRUSS)         | 7 **      | 10d-1.5   | ** ONLY 4 C NAILS REQ'D WHEN UPLIFT IS < 750 LBS.      | FL11473.9                    |
| SIMPSON META16 (2 OR 3 - PLY TRUSS)    | 7         | 16d   |  | FL11473.9                    |
| SIMPSON HETA16 (1 - PLY TRUSS)         | 9         | 10d-1.5   | ** ONLY 4 C NAILS REQ'D WHEN UPLIFT IS < 750 LBS.      | FL11473.3                    |
| SIMPSON HETA16 (2 OR 3 - PLY TRUSS)    | 6         | 16d   |  | FL11473.3                    |
| SIMPSON HETA16 (WHEN 2 REQ'D @ GIRDER) | 6         | 16d   | EACH STRAP   | FL11473.3                    |
| SIMPSON HGA10KT (INTO WOOD)            | 4         | 1/4" x 1-1/2"   | SDS SCREWS (TRUSS)                                     | FL10446.8                    |
| SIMPSON HGA10KTA (INTO MASONRY)        | 4         | 1/4" x 3"   | SDS SCREWS (PLATES)                                    | FL11473.5                    |
| SIMPSON HUC412 (INTO MASONRY)          | 16        | 1/4" x 2-3/4"   | TITEN SCREWS (MASONRY)                                 | FL10655.14/21                |
| SIMPSON HUC414 (INTO MASONRY)          | 6         | 10d-2.5   | JOIST  | FL10655.14/21                |
| SIMPSON HUC414 (INTO MASONRY)          | 18        | 1/4" x 2-3/4"   | TITEN SCREWS (MASONRY)                                 | FL10655.14/21                |
| SIMPSON HUC412 (INTO WOOD)             | 22        | 16d   | HEADER   | FL10655.14/21                |
| SIMPSON HUC414 (INTO WOOD)             | 10        | 10d-2.5   | JOIST  | FL10655.14/21                |
| SIMPSON HUC414 (INTO WOOD)             | 24        | 16d   | HEADER   | FL10655.14/21                |
| SIMPSON HUC414 (INTO WOOD)             | 12        | 10d-2.5   | JOIST  | FL10655.14/21                |
| SIMPSON HUS412TF (OR HUSC)             | 18        | 16d   | 10 TO HEADER, 8 TO JOIST                               | FL10856.10                   |
| SIMPSON HUS412 (OR HUSC)               | 20        | 16d   | 10 TO HEADER, 10 TO JOIST                              | FL10531.26/10655.26          |
| SIMPSON COIL STRAP (CS)                | X         | 10d-2.5   | FILL ALL HOLES   | FL10852.2/13872.1            |
| SIMPSON HMBKT (BLOCK WALL TO TRUSS)    | 4         | 1/4" x 1 1/2" SDS SCREWS TO TRUSS & 3 1/4" x 2 1/4" TITEN SCREWS TO MASONRY |  | FL11473.5                    |
| SIMPSON MTSM16 OR MTSM20               | 7         | 10d-2.5   | INTO TRUSS   | FL11473.12                   |
| SIMPSON HDU-4                          | 10        | 1/4" x 2-1/2"   | TITEN SCREW INTO MASONRY                               | FL10441.4                    |
| SIMPSON LGT2                           | 16        | 10d-2.5   | INTO GIRDER TRUSS                                      | FL11473.7                    |
| SIMPSON LGT2                           | 7         | 1/4" x 2-1/4"   | TITEN SCREW INTO MASONRY                               | FL11473.7                    |



Section G, Item 1.

| DATE | REVISION | BY |
|------|----------|----|
|      |          |    |
|      |          |    |
|      |          |    |

**MWS ENGINEERING**  
MICHAEL W. SPRINGSTEAD, P.E., S.I., P.S.M.  
FLORIDA REGISTRATION NO. 47820  
C.A. NO. 29517  
10395 SE SUNSET HARBOR RD  
SUMMERFIELD, FL 34481  
PHONE: (352) 409-2046



**DOCK ROOF FRAMING PLAN AND DETAILS**  
WILSON, RACHEL  
SCALE: AS SHOWN  
DATE: 6/19/2022  
DRAWN BY: NAV  
JOB NUMBER: 190052.67

**RECEIVED**  
**9/27/2022**  
**CITY OF EDGEWOOD**

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY: MICHAEL W. SPRINGSTEAD P.E., FL 47820. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS. THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THIS DOCUMENT IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.



**HARBOUR OAKS POINTE HOMEOWNERS ASSOCIATION  
HARBOUR OAKS POINTE DRIVE  
EDGEWOOD, FLORIDA 32809**

October 11, 2022

Brett Sollazzo  
Administrative and Planning Manager  
405 Bagshaw Way  
Edgewood, Florida 32809

**RE: Summary of Objections to Proposed Dock at 524 Harbour Island Road.**

Dear Mr. Sollazzo,

We, the undersigned, respectfully submit this letter in order to summarize the reasons for our objection to the proposed location of the boat dock at 524 Harbour Island Road (the "Property"). To start, we feel it is important to emphasize that we do not object to the right of the owner of the Property (the "Property Owner") to construct a boat dock on the canal. Our objection is to the specified proposed location itself (the "Proposed Location") on the Property Owner's shoreline, which we believe would create an unnecessary navigation hazard in violation of City Code<sup>1</sup>.

The Proposed Location fails to take into account the existing boat dock across the canal from the Proposed Location (the "Existing Dock"), which is permitted to allow for a boat to hang from davits. Nowhere in the submitted plans for the Proposed Location do the plans address the distance to the Existing Dock, or, more importantly, the presumed distance to a boat hanging from the Existing Dock, and whether the navigable channel of the canal would be impeded. A satellite photo is included with this letter showing the canal, and the Existing Dock in use with a boat hanging from davits.

In our collective opinion<sup>2</sup>, the overly-narrow navigable channel created by the Proposed Location would be an unnecessary and dangerous impediment to navigation through the canal. Boats will have limited room to navigate between the Proposed Location and the Existing Dock (when a boat is hanging from davits). Boats with a broad beam, such as pontoon boats, may even be blocked entirely.<sup>3</sup> Even for boats that may be able to squeeze in between the two docks, the narrowness of the remaining navigational channel would be an unreasonable and unnecessary safety and navigation hazard. Especially during certain conditions, such as at night or in other low-light situations, or in high winds or other inclement weather. We believe this creates an unreasonably high chance that damage will occur to boats and structures, including the proposed dock itself.

We believe that this failure to account for the proximity of the Existing Dock should make the Proposed Location a violation of the minimum criteria required by Edgewood City Code. Particularly, Section 14-11(b)(2), which states:

"No dock shall be constructed or extended . . . to a length that would adversely impact the rights of other persons use of, and access to, the water body." [emphasis added].

<sup>1</sup> Edgewood Code of Ordinances, Section 14-11(b)(2).

<sup>2</sup> While there are subjective determinations to be made, we would note that the undersigned homeowners have, collectively, multiple decades worth of experience boating on the canal in question. While the dock contractor who selected the location has never, to our knowledge, built a dock on the canal or boated on the canal. We would respectfully ask for our opinion as to conditions which affect navigability of the canal to be weighted accordingly.

<sup>3</sup> Given that, surprisingly, no apparent attempt has been made in the submitted plans to account for the Existing Dock, it is difficult to say with absolute certainty at what beam width a boat would be unable to pass. However, some pontoon boats are up to 12 feet wide, thus there is quite a real risk that such boats may not be able to pass through the canal, or have such extremely limited room as to be de-facto impassable. This could also vary depending on the beam of the particular boat hanging at the Existing Dock.

In our view<sup>4</sup>, creating a dangerous and unnecessary impediment to, and restriction of, navigation and lake access would clearly “adversely impact” the rights of the residents of the 19 canal front homes which must navigate by the Existing Dock to make use of the water body. From reviewing the submitted plans, it appears no attempt has been made to demonstrate compliance with this minimum criteria required by the City Code. At a minimum, one would expect there to be at least a base measurement to the Existing Dock, with and without an estimate for a boat hanging in the davits, which does not appear to have been done.

Additionally, we would note that, per Section 14-11(c) of Edgewood City Code, when the Edgewood City Council must decide on a contested application for a dock permit, there are certain codified factors to be considered in making such decision. Most notably:


- (A) “Possible obstruction to navigability”,<sup>5</sup>
- (B) “Hazardous conditions”,<sup>6</sup> and
- (C) “Whether the proposed structure unreasonably interferes with the riparian or littoral rights of other property owners.”<sup>7</sup> [emphasis added]

Moreover, when deciding on whether a proposed dock constitutes “unreasonable interference”, City Code specifically states that the “proximity of [neighboring] docks”<sup>8</sup> shall be a basis for such determination.

While these are subjective factors and ultimately a subjective determination for the City Council, we strongly believe the Proposed Location (A) is a “possible obstruction” to navigation, (B) creates potential “hazardous conditions”, especially in certain situations, and (C) “unreasonably interferes” with the rights of the other homeowners to use the canal to access Lake Conway. Thus we think such factors should weigh in favor of denying the Proposed Location and finding a safer location on the Property Owner’s shoreline. We therefore respectfully submit that the application for the Proposed Location should be denied based both (i) on the above factors which are within the purview of the City Council, and (ii) the failure to meet minimum City Code requirements as described above.

We would be happy to drop our objection to the dock if the Proposed Location were simply moved to a safer place on the Property Owner’s shoreline. As can easily be seen from the submitted plans and attached satellite photo, the Property Owner has a substantial amount of shoreline on the canal where a dock could be constructed without restricting access to the canal. It would appear to us that if the Proposed Location could simply be moved approximately 20-30 feet to the East, then the impediment to navigation and the resulting danger would be removed. Curiously, the Proposed Location is the only location on the shoreline where this danger to navigation would actually be created. In our view, this would be the simplest solution to the problems raised by the Proposed Location, and our resulting objections, and still allow the Property Owner to construct a dock.

Please let us know if we can provide any more information on this matter. We would be more than happy to have any of the City Council members out for a site visit, in order to demonstrate the problem first-hand from the perspective of the water. Thank you very much in advance for your consideration on the above matters.

Respectfully,  


Reed R. Clary  
President  
Harbour Oaks Pointe Homeowners Association  
[Additional Signatures Attached]

---

<sup>4</sup> See Footnote 2.  
<sup>5</sup> Section 14-11(c)(1)  
<sup>6</sup> Section 14-11(c)(3)  
<sup>7</sup> Section 14-11(c)(4).  
<sup>8</sup> *Id.*




Google Earth

20 m

Camera: 144 m 28°29'10"N 81°22'05"W 24 m

**Joint Signature Page to Objection Letter**

The undersigned homeowner hereby represents that they will be affected by the proposed dock location at 524 Harbour Island Road, hereby joins their signature in agreement to the Objection Letter submitted by the Harbour Oaks Pointe Homeowners Association in respect thereof.

Signature:  \_\_\_\_\_

Name of Homeowner(s): Richard Browning

Address: 407 Harbour Oaks Pointe Dr.

**Joint Signature Page to Objection Letter**

The undersigned homeowner hereby represents that they will be affected by the proposed dock location at 524 Harbour Island Road, hereby joins their signature in agreement to the Objection Letter submitted by the Harbour Oaks Pointe Homeowners Association in respect thereof.

Signature: 

Name of Homeowner(s): Joseph G. Olear

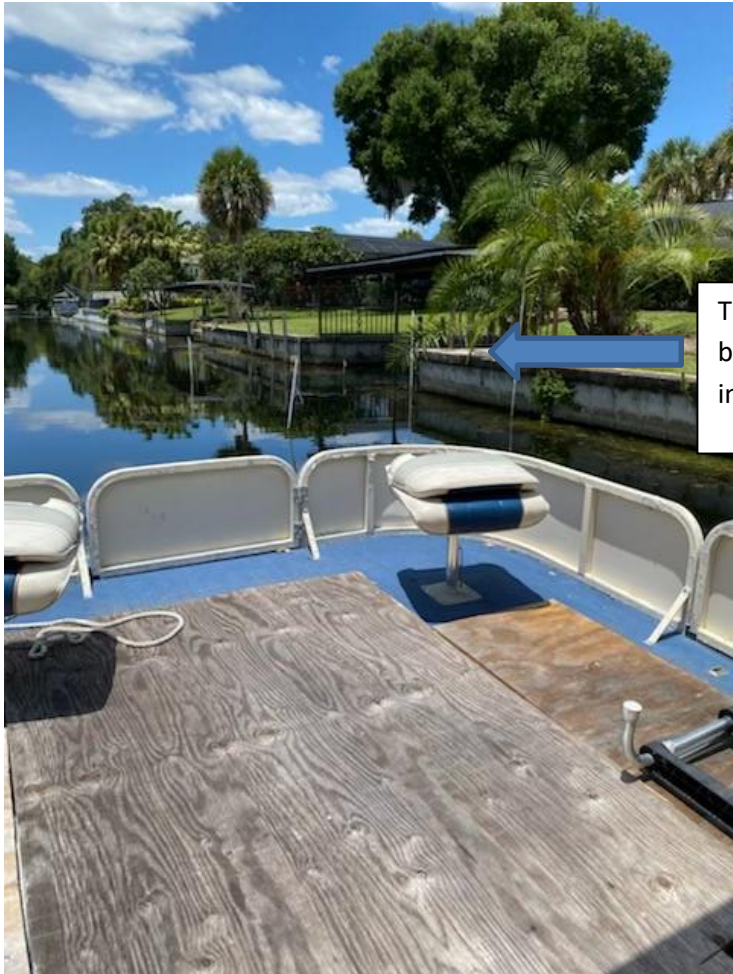
Address: 449 Harbour Oaks Pointe Drive, Edgewood FL 32822

To: City of Edgewood

We object to this boat dock extending that far into the canal. I believe there are currently 4 PVC posts where I believe this boat dock will stick out to and if that is the case this will make it very difficult for wide boats such as pontoon boats to navigate through, especially in times of high winds and rain at idle speed.

This property also has a boat slip already built into the property which can be utilized and or the seawall modified to be used instead.

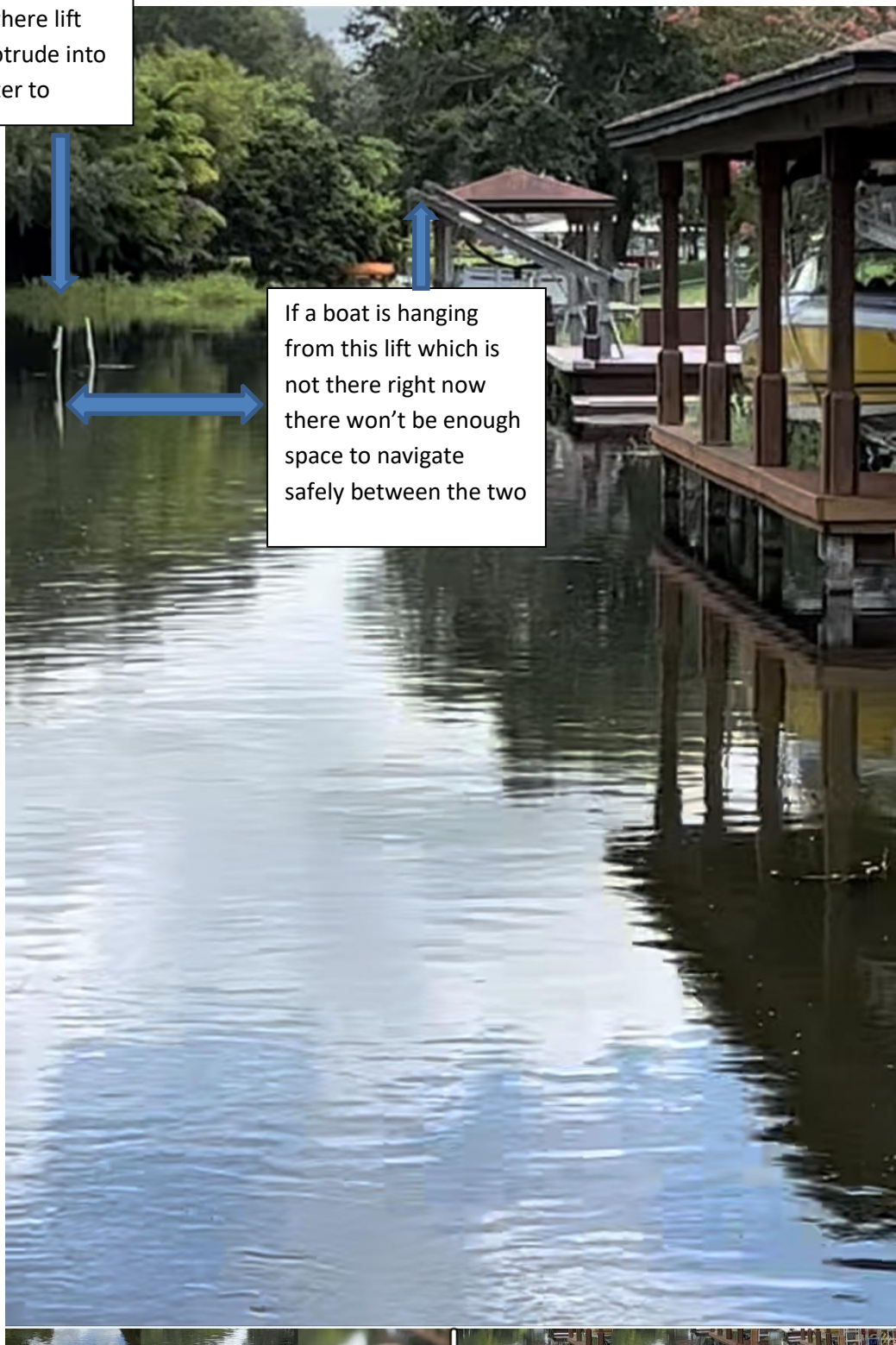
Years ago when we and the two properties to the west of us got together to build a seawall after we started construction of it the then city engineer Art Miller made us move the seawall footer 2 feet in further to our properties stating he did not want it to impede boat traffic as much. We complied to this request even though our properties technically own all the way to the other side and adjacent shoreline of the canal. Also over the years there were incidents of people on the south side of the canal extending their docks out further then they were permitted for, or not using them in the way that they were originally permitted. This is a picture of where that dock will be.



This property has an entire recessed boat slip already that can be incorporated into a lift.

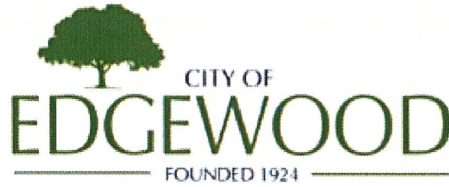


Poles where lift  
Will protrude into  
the water to



If a boat is hanging  
from this lift which is  
not there right now  
there won't be enough  
space to navigate  
safely between the two

Sincerely John Moccio



**PUBLIC NOTICE**

The City of Edgewood, Florida has received an application to construct a boat dock on Lake Conway at a site for which you are described as an adjacent or otherwise potentially affected property owner (e.g. shoreline property owner within 300 feet of the property on which the dock is to be located). The boat dock application was submitted by Blue Water Dock Boat Lifts on behalf of property owner Rachel Wilson for the property located at 524 Harbour Island Rd.

The City is providing you with this notice to allow you the opportunity to voice any concerns which you may have regarding this project or to inform the City of any adverse impact you may expect as a result of this activity. Any comments that you may have regarding this notice must be provided in writing to the City Clerk’s Office, City of Edgewood 405 Bagshaw Way, Edgewood FL 32809. Said comments should state in detail your concerns.

Pursuant to *City Code Section 14-11 (c) (2)*, you have 15 calendar days from the date of this notice to provide a written response. If no written objections are returned by property owners receiving this notice by September 8, 2022 such owners shall be deemed to have given consent and to have waived their right to object to the construction of the dock.

Should you desire additional information regarding this application, please feel free to contact the City Clerk’s Office at 407-851-2920.

Dated: August 24, 2022

Comments: Definitely Opposed!

Given where the stakes are placed

This will block everyone’s access to their own dock from the lake. Dangerous hazard!

It would change a canal to a ugly ditch.

Thanks Joe Olean 449 Harbour Oaks Pt. Dr.

407 765-2459

Hi Sandy-

Hope you are doing well. I'm writing this as my official public comments to the notice we received about the 524 Harbour Island Boat Dock. I'm writing this both on my personal behalf and as President of the HOA for Harbour Oaks Pointe. I assume sending you an e-mail would be ok, but please let me know if I need to submit these comments via different medium.

We object to the proposed location of the boat dock. The proposed location extends into the navigable waterway and will likely block at least some boat traffic. The proposed location is almost directly across from the already existing boat dock at 449 Harbour Oaks Pointe Drive. This pre-existing permitted boat dock, along with the permitted davits for hanging a boat on the dock, has been present in the canal for decades with the City's approval. If the proposed boat dock for 524 Harbour Island is constructed where it is currently contemplated, when there is a boat hanging from the existing 449 HOP Dock, there will not be enough space in the navigable waterway for some boats to pass through (particularly any pontoon or deck boats). Even for boats that are narrow enough to pass through, it would create an unnecessarily dangerously narrow passage where boats would have to pass through diagonally.

449 Harbour Oakor Point does not currently have a boat hanging in their (again, preexisting permitted and authorized) davits, so maybe this situation is not apparent to the dock contractor or anyone else looking at the layout. For any interested party, including anyone at the City, we would be happy to arrange for a boat to be placed alongside this dock and for us to do a test run through the dangerously narrow channel that would be created by this new proposed boat dock. The impediment to navigation is pretty obvious when you see it from the perspective of the water.

We would propose that the boat dock merely be moved 25-30 feet along the shoreline to the east. While I am not an engineer, it appears that this would easily solve the problem and allow the homeowner of 524 Harbour Island Road to still have their dock. We aren't objecting to the proposed dock itself, just the *location* of the dock. The 524 Harbour Island Road homesite has what looks like over 100 feet of shoreline, and their contractor is literally picking one of the worst spots on their shoreline to put a dock. There are plenty of better spots to put a dock.

While Florida law recognizes a right to build a dock to access navigable water, it also sets forth that docks may not impeding navigable waters. Obstructing a navigable waterway is a clear violation of well-established Florida and Federal law (see *Reed v. Miami Beach Peer Corp.*, 112 So. 841 (Fla. 1927); *5F, LLC v. Dresing*, 142 So. 3d 936, 943 (Fla. 2d DCA 2014) *citing Hayes v. Bowman*, 91 So. 2d 795 (Fla. 1957).).

We sincerely hope that our comments are taken in the spirit in which they are offered. That is, offering an easy and reasonable solution to the problems caused by the proposed location. We would be happy to discuss further, and happy to arrange a site visit with a boat in the dock at 449 Harbour Oaks Pointe Dr. so that the issue can be more readily observed.

Thank you very much for all that you do.

-Reed

**Reed R. Clary**

Partner



**Corridor Legal Partners, LLP**

5127 S. Orange Ave.

Suite 210

Orlando, FL 32809

Managing Director; Corridor Legal Holdings, Chartered

Office: (321) 837-9395

Mobile: (407) 666-1448

[rclary@corridorlegal.net](mailto:rclary@corridorlegal.net)

**Brett Sollazzo**

**From:** barbarasc@cfl.rr.com  
**Sent:** Wednesday, August 31, 2022 6:22 AM  
**To:** Brett Sollazzo  
**Subject:** RE: 542 Harbour Island Boat Dock

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Brett,

Regarding the boat dock, my husband and I do have concerns related to the ability to navigate the canal due to the proposed size.

Regards,  
Barbara Schnakenberg

-----  
From: "Brett Sollazzo"  
To: "barbarasc@cfl.rr.com"  
Cc:  
Sent: Tuesday August 30 2022 1:26:50PM  
Subject: 542 Harbour Island Boat Dock

Good afternoon,

Attached are the latest submitted plans dated 8/23/22, and the Engineers review letter for those plans dates 8/29/22. Per the Engineers letter, there are some revisions that need to be made and then resubmitted for a follow up review.

As stated on our phone discussion, regardless if the applicant received engineering approval, this boat dock will be presented to City Council for final approval due to the number of concerns we have received from residents. I cannot confirm if this will be on the September or October agenda, but the current timeline would make it seem like October Council is the best bet.



August 28, 2022

Section G, Item 1.

To Whom This May Concern:

We received notice that the City of Edgewood received an application for a boat dock on behalf of Rachel Wilson at 524 Harbour Island Road. This letter is to inform you that we very strongly oppose this boat dock. The markers that are currently set in the canal where the boat dock will be built make it almost impossible for us to get our boat around it, and we do not approve of this boat dock.

Please reach out with any further questions.

Sincerely,  
Andrew and Chloe Murray  
431 Harbour Oaks Pointe Drive N



# Memo

**To:** Mayor Dowless, Council President Horn,  
Council Members Chotas, Lomas, Pierce, and Rader

**From:** Brett Sollazzo, Administrative & Permitting Manager

**Date:** October 4, 2022

**Re:** Boards & Committees Report

The following business items were reviewed by the Planning and Zoning board.

▪ **Waiver 2022-01: 4800 S. Orange Ave. - Car Wash**

The Planning and Zoning Board met on September 12, 2022, to consider the following five (5) waivers to ECD design standards for a proposed car wash at 4800 S. Orange Avenue;

- 1) Sec. 134-468(f) to allow the building frontage to be 11.25% in lieu of 70% of the lot width;
- 2) Sec. 134-472(a)(4) to allow a 7 feet high blank wall in lieu of a wall that meets the ECD front building façade design to screen car wash vacuum stations from street view;
- 3) Sec. 134-427(a)(4) to allow a 6 feet high vinyl fence in lieu of a 7 feet high brick wall where a property perimeter is adjacent to Low Density Residential designated land;
- 4) Sec. 134-472(a)(2) to allow a car wash tunnel entrance/exit to face Orange Avenue; and
- 5) Sec. 134-468(g)(1)(a) to allow a six (6) feet high vinyl fence in lieu of a seven (7) feet high opaque brick wall where the ECD is adjacent to property with a Low Density Residential future land use designation.

The following motions were made by the Planning and Zoning Board:

***Vice-Chair Santurri made a motion to recommend approval of a waiver to Code Section 134-468(f) to allow the building frontage be 11.25% in lieu of 70% of the lot width with the following conditions of approval:***

- 1) Development shall be in general conformance with the site plan and elevation drawings dated “received August 23, 2022” to ensure the site is developed consistent with the applicant’s premise for the waiver of not developing the area shown in the conceptual Holden Avenue alignment.***
- 2) Development shall meet the goal of creating pedestrian interest along Orange Avenue frontage such as a park like setting and incorporation of the Lynx bus shelter.***
- 3) Require the north elevation to meet ECD building design/people standards for development along Holden Avenue.***

***The motion was seconded by Board Member Gragg. Approved (3/0).***

The motion was approved by roll call vote.

|                     |        |
|---------------------|--------|
| Vice-Chair Santurri | Favor  |
| Board Member Gragg  | Favor  |
| Board Member Gibson | Favor  |
| Board Member Nelson | Absent |

***Vice-Chair Santurri made a motion to recommend approval of a waiver to Code Section 134-472(a)(4) to allow seven (7) feet high solid masonry walls at the east end of the vacuum station spaces in lieu of a wall that meets the ECD building design standards with the following conditions of approval:***

- 1) The walls will complement the building materials/colors.***
- 2) The trees and other landscaping shall be approved by the City’s Landscape Architect, with the trees being a minimum 3” caliper and 12 feet in height at planting unless otherwise stated by the City Landscape Architect.***

***The motion was seconded by Board Member Gragg. Approved (3/0).***

The motion was approved by roll call vote.

|                     |        |
|---------------------|--------|
| Vice-Chair Santurri | Favor  |
| Board Member Gragg  | Favor  |
| Board Member Gibson | Favor  |
| Board Member Nelson | Absent |

***Vice-Chair Santurri made a motion to recommend approval of a waiver to Code Section 134-472(a)(4) and 134-468(g)(1)(a) to allow a six feet high vinyl fence in lieu of a seven feet high brick wall with the following conditions of approval;***

- 1) If the Holden/Gatlin realignment goes through, the property owner will have to remove the entire vinyl fence and replace with a brick wall consistent with ECD requirements.***
- 2) If there is no realignment within seven years from the waiver being granted, the property owner must remove the vinyl fence and replace with a brick wall consistent with ECD requirements.***

***The motion was seconded by Board Member Gragg. Approved (3/0).***

The motion was approved by roll call vote.

|                     |        |
|---------------------|--------|
| Vice-Chair Santurri | Favor  |
| Board Member Gragg  | Favor  |
| Board Member Gibson | Favor  |
| Board Member Nelson | Absent |

***Vice-Chair Santurri made a motion to recommend the Planning and Zoning Boards finding that the configuration of the site plan has shown the building screening the car wash tunnel; therefore, a waiver is not required. However, if Council requests a waiver, the Planning and Zoning Board recommends approval of a waiver to Code Section 134-472(a)(2) to allow a car wash tunnel be oriented to Orange Avenue.***

***The motion was seconded by Board Member Gragg. Approved (3/0)***



The motion was approved by roll call vote.

|                     |        |
|---------------------|--------|
| Vice-Chair Santurri | Favor  |
| Board Member Gragg  | Favor  |
| Board Member Gibson | Favor  |
| Board Member Nelson | Absent |

Date: October 12, 2022  
 To: City Council  
 From: Ellen Hardgrove, City Planning Consultant  
 XC: Sandy Riffle, Interim City Clerk  
 Brett Sollazzo, Administrative Assistant  
 Drew Smith, City Attorney  
 Allen Lane, City Engineering Consultant  
 Re: ECD Waivers Related to Proposed Car Wash at 4800 South Orange Avenue.

**INTRODUCTION/BACKGROUND**

This agenda item is a request for waivers to ECD standards for a proposed car wash at 4800 South Orange Avenue, the current location of the Coq Au Vin Restaurant as shown in Exhibit 1.

Exhibit 1 – Subject Property



The building on the property has been there since 1973 according to Orange County Property Appraiser records and the Coq Au Vin opened in 1976. It is positioned along the southern property line, with the north 2/3's of the site either undeveloped or a parking lot as shown in Exhibit 2. The proposal is to demolish the building and redevelop the site for a car wash.

Exhibit 2 – Aerial of Subject Property



Code Section 134-475 authorizes City Council to approve waivers to ECD regulations when it finds, based upon substantial competent evidence presented to it, that strict application of such standards would create an illogical, impossible, impractical or unreasonable result on an applicant. In order to grant the waivers, City Council must find:

- (1) That the granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- (2) That the granting of the proposed waiver will serve the health, safety and welfare of the city;
- (3) That any waiver granted is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard contained in this division; and
- (4) That any waivers granted will not adversely impact the use or property values of adjacent properties.

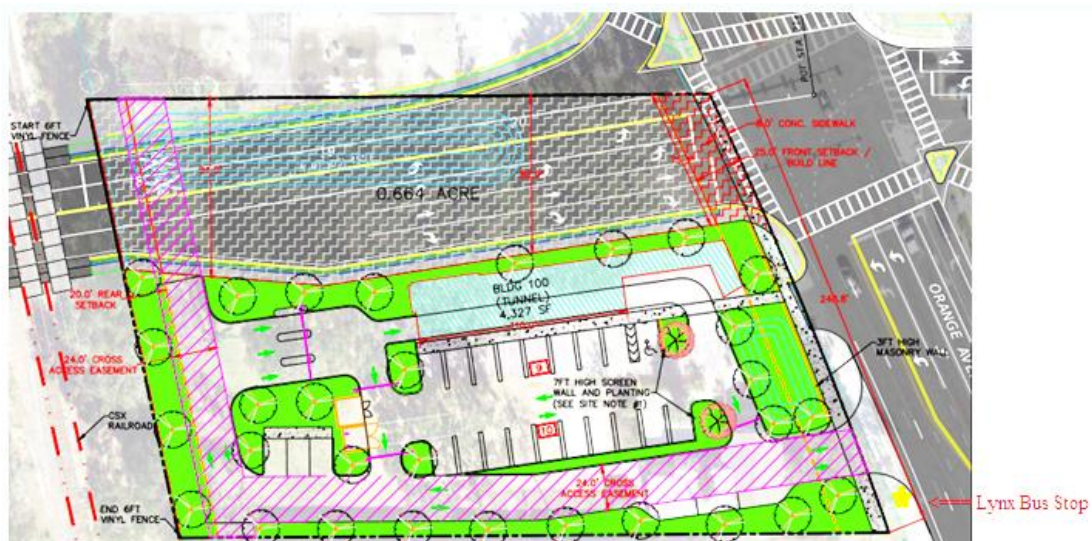
### REQUESTED WAIVERS

#### Waiver #1

The primary waiver requested is to allow the building to only face 11.25% of the Orange Avenue frontage (28 feet building frontage with 248.8 feet lot width) instead of the required 70% (Code Section 134-468(f)). According to the applicant, the premise for the waiver is to help achieve the City’s goal to provide a solution to the traffic issues created by Holden/Orange/Gatlin Avenues offset intersections by limiting the development to the southern 2/3’s of the property to preserve the north 1/3 for a potential Holden Avenue realignment.

With use of the waiver, the applicant would build the car wash tunnel/building perpendicular to Orange Avenue and use the north 1/3 of the property only for stormwater management. If Holden Avenue is realigned, the idea is to accommodate the stormwater from the car wash into the road’s stormwater management system. Exhibit 3 shows the proposed site layout with the conceptual alignment for the Holden Avenue realignment as shown in Orange County’s Intersection Analysis Study (March 2022) superimposed over the car wash site layout.

Exhibit 3 – Proposed Car Wash Layout



A waiver would still be needed if that portion of the property were already acquired for the realigned road; the proposed building frontage would account for only 16% of the property frontage, still significantly substandard for the ECD requirement.

**The Planning and Zoning Board (P&Z) supported this waiver with conditions after discussion relative to a car wash potentially being at a major intersection in the city. However since the P&Z meeting, Orange County BCC eliminated the potential for Holden Avenue to be realigned. Thus the premise for the waiver is negated.**

As such, staff recommends denial of the request; a proposed development with only 11.25% of the frontage occupied by a building is contrary to the intended land use pattern and design standards of the ECD. The principal goal of the ECD is to create a land use pattern that encourages interest in walking, transitioning from an auto oriented land use pattern.

**Waiver #2**

The applicant is also requesting a waiver to allow the vacuum stations to be screened from Orange Avenue with an alternate design than that required by Code Section 134-472(a)(4). The vacuum screen walls are circled in Exhibits 4 and 5.

Exhibit 4 – Proposed Vacuum Screen Wall Locations

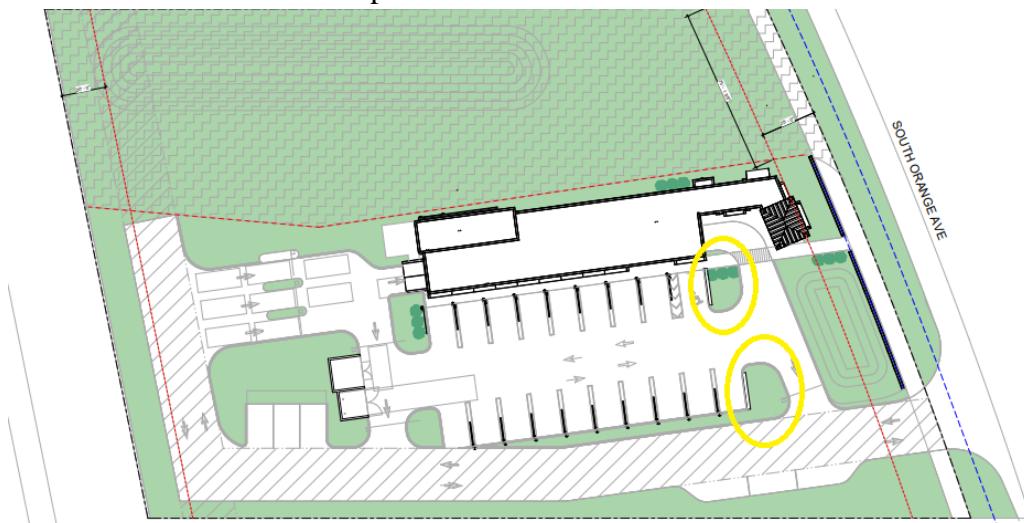
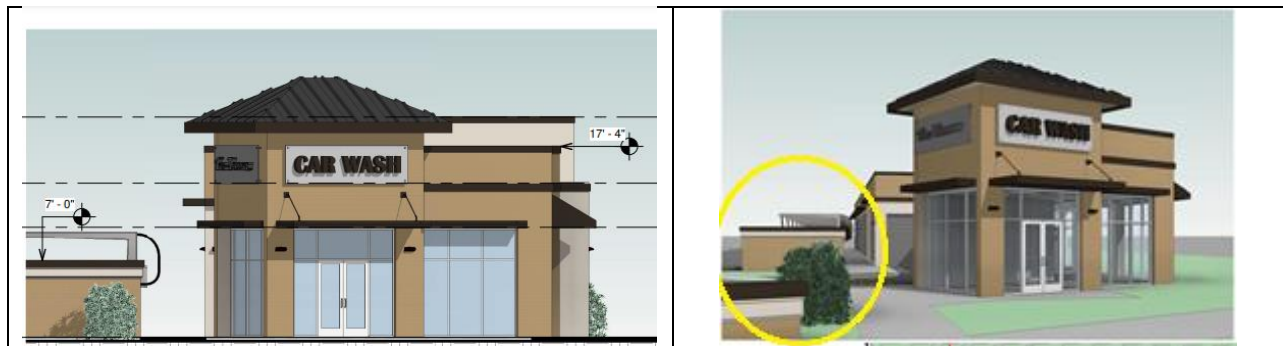


Exhibit 5 – Views from Orange Avenue



ECD design standards require those walls to be consistent with ECD front elevation standards such as, but limited to, window transparency and avoidance of blank walls. The applicant justifies the need for this waiver as a consequence to turning the building in order to preserve the northern 1/3 of the property for the Holden Avenue realignment.

**P&Z recommended approval of this requested waiver with conditions based on the justification to turn the building perpendicular to Orange Avenue. Again, since Orange County BCC eliminated the potential for Holden Avenue to be realigned, the site plan will need to be completely recreated. A new site layout would likely result in the lack of need for this waiver. Thus, at this time, staff recommends denial of the request.**

**Waivers #3 and 4**

These requested waivers are for two different sections of the ECD regulations that both require a seven (7) feet high opaque brick wall along the west property line: Code Sections 134-472(a)(4) and 134-468(g)(1)a). This wall is required since the property is adjacent to Low Density Residential designated land. The applicant is requesting a 6 feet high vinyl fence be used in lieu of the 7 feet high brick wall. Justification is that the adjacent land is railroad and then Cypress Grove Park.

The required ECD brick wall was contemplated in this location even with the presence of the railroad tracks and park. Deviation from this ECD design standard in this location should be viewed as a policy change that would be applied in other locations adjacent to the railroad track and park.

The applicant also justifies this waiver by stating a fence would be easier to remove if the land eventually became the Holden Avenue alignment.

**After discussion related to the potential temporary nature of the fence and the applicant’s desire not to mix vinyl fence with a brick wall, P&Z voted to recommend approval of a waiver to allow a six feet high vinyl fence in lieu of a seven feet high brick wall with conditions. However, since the County eliminated the potential Holden Avenue realignment, the temporary nature of a screen between the commercial use and the park can no longer be justified. Furthermore, as stated earlier, the required ECD brick wall was contemplated in this location even with the presence of the railroad tracks and park. Deviation from this ECD design standard in this location should be viewed as a policy change that would be applied in other locations adjacent to the railroad track and park. Staff recommends denial of the request.**

**Waiver #5**

A waiver is also requested from Code Section 134-472(a)(2) which requires the car wash tunnel entrance/exit to not face Orange Avenue. As shown in Exhibit 6, the proposed design of the tunnel is hidden from Orange Avenue by the design of the building.



Exhibit 6 – Tunnel Design for Conformance with Code Section 134-472(a)(2)



**P&Z’s recommendation to Council is that the proposed building configuration will screen the car wash tunnel and a waiver is not needed. However, if Council requires a waiver, P&Z recommends approval to allow a car wash tunnel be oriented to Orange Avenue as depicted on the site plan submitted with the waiver application. Orange County’s elimination of the potential for Holden Avenue to be realigned, the site plan will need to be completely recreated. A new site layout would likely result in the lack of need for this waiver. Thus, staff recommends denial of the request.**

**RECOMMENDATION SUMMARY**

**Criteria for approval**

- (1) The granting of the proposed waiver will not have the effect of nullifying the intent and purpose of the standard that is the subject of the requested waiver;
- (2) The granting of the proposed waiver will serve the health, safety and welfare of the city;
- (3) Any waiver granted is the minimum waiver that will reasonably eliminate or reduce the illogical, impossible, impractical, or unreasonable result caused the applicable standard contained in this division; and
- (4) Any waivers granted will not adversely impact the use or property values of adjacent properties.

**Staff Recommendation**

Denial of all requested waivers: the criteria for waiver approval have not been met.

ESH

**APPENDIX – P&Z RECOMMENDATIONS**

- Waiver #1  
Section 134-468(f): to allow the building frontage to be 11.25% in lieu of 70% of the lot width

P&Z recommended approval with the following two conditions:

- 1) A requirement that the north building elevation, the side that will potentially face the realigned Holden Avenue, meet ECD building design/people standards.
- 2) The parcel’s Orange Avenue frontage shall be designed as a park like setting, including the incorporation of the Lynx bus shelter.

The first condition is consistent with the applicant’s premise for the waiver: to accommodate a future Holden Avenue realignment. The ECD standards are not met as currently proposed.

The ECD requires buildings facing Holden Avenue to be constructed at the “build line.” This provides a 25 feet wide green buffer to accommodate shade trees spaced 35 feet on center for an aesthetic as well as shaded pedestrian path. The proposed building is situated only 5-7 feet from what is shown as the future Holden Avenue right-of-way line; this is not only inconsistent with the ECD requirements, but shade trees in this narrow space would cause future damage to sidewalks and the building.

The ECD also requires buildings adjacent to Holden Avenue to be designed to avoid blank walls; at least 60 percent of the width of the building is to be glass windows and/or doors and the building façade is to vary horizontally at least every 40 feet. As shown in Exhibit A1, the building does not meet these standards.

Exhibit A1 – Proposed Elevation Adjacent to the Proposed Holden Avenue Realignment



As stated in the ECD, the intent of these design standards is to avoid long uninterrupted, monolithic appearance of façade planes, thus enhancing the visual appearance of development within the city and creating a human scale building, which in turn encourages pedestrian activity. Examples of innovative car wash design found on the internet are presented in Exhibit A2.



Exhibit A2: Innovative Designs which could be used along Holden Avenue Realignment





The second condition is an attempt to mitigate the lack of interest in walking a narrow building creates.

An idea for the park-like setting is to set the street wall along the west side of the green space proposed between the driveway and the building and include street furniture, bike parking, and enhanced landscaping in the green space. A Lynx bus shelter could also be incorporated into the green space; the bus stop current location will need to be relocated if this site plan is implemented as the current location would be on edge the driveway's radius connection to Orange Avenue. The shelter could be accommodated within an expanded urban services easement. Based on the estimated distance between the back of Orange Avenue curb and property line, the easement will be needed to accommodate the required minimum six feet grassed strip and the eight feet wide unobstructed sidewalk width along Orange Avenue; thus, there is not a burden to create the easement for the Lynx shelter. Exhibit A3 provides an illustration of this recommendation.

Exhibit A3 – Design along Orange



- Waiver #2  
Section 134-472(a)(4): to allow a 7 feet high blank wall in lieu of a wall that meets the ECD front building façade design to screen car wash vacuum stations from street view

P&Z recommended approval with two conditions:

- 1) The walls will complement the building materials/colors; and,
- 2) The trees and other landscaping shall be approved by the City’s Landscape Architect, with the trees being a minimum 3” caliper and 12 feet in height at planting unless otherwise stated by the City Landscape Architect.

- Waivers #3 and 4  
Sections 134-427(a)(4) and 134-468(g)(1)(a): to allow a 6 feet high vinyl fence in lieu of a 7 feet high brick wall where a property perimeter is adjacent to Low Density Residential designated land

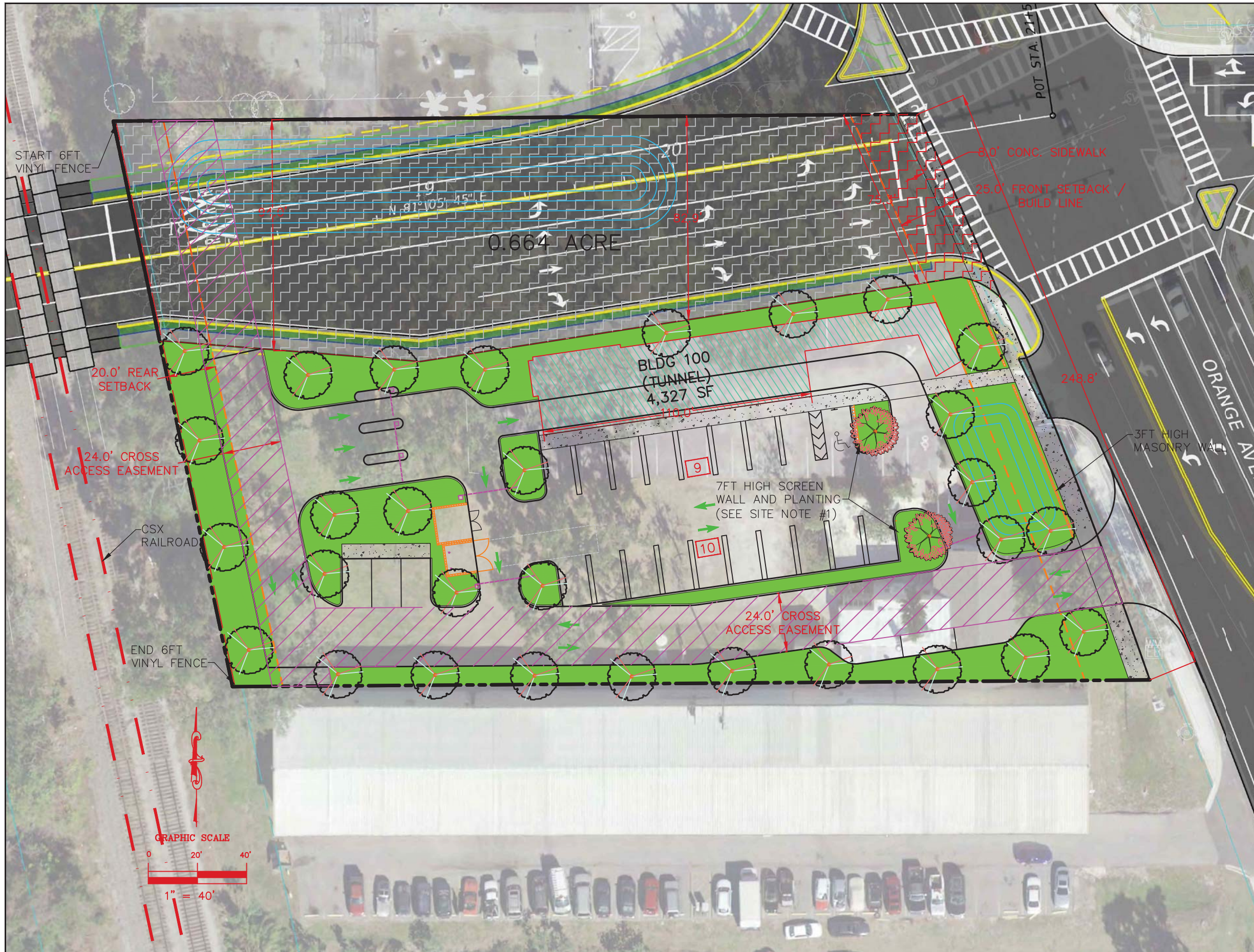
After discussion related to the potential temporary nature of the fence and the applicant’s desire not to mix vinyl fence with a brick wall, P&Z voted to recommend approval of a waiver to allow a six feet high vinyl fence in lieu of a seven feet high brick wall with two conditions:

1. If the Holden/Gatlin realignment goes through, the property owner will have to remove the entire vinyl fence and replace with a brick wall consistent with ECD requirements; and,
2. If there is no realignment within seven years from the waiver being granted, the property owner must remove the vinyl fence and replace with a brick wall consistent with ECD requirements.

- Waiver #5  
Section 134-472(a)(2) to allow a car wash tunnel entrance/exit to face Orange Avenue

P&Z recommended approval of a waiver to Code Section 134-472(a)(2) to allow a car wash tunnel be oriented to Orange Avenue as depicted on the site plan submitted with the waiver application if Council requires a waiver.





**SITE DATA**

PARCEL ID 12-23-29-7312-00-181  
 ADDRESS: 4800 S ORANGE AVE  
 ORLANDO, FL 32806

- FUTURE LAND USE: COMMERCIAL
- ZONE: EDGEWOOD CENTRAL DISTRICT
- PROJECT AREA 1.86 ACRE
- MAXIMUM IMPERVIOUS SURFACE RATIO 80%
- MAXIMUM FLOOR AREA RATIO 1.0
- MAXIMUM HEIGHT 35 FT
- BUILDING SETBACK
 

|       | REQUIRED | PROVIDED                      |
|-------|----------|-------------------------------|
| FRONT | 25 FT    | 25 FT                         |
| SIDES | 0 FT     | 5 FT (NORTH)<br>98 FT (SOUTH) |
| REAR  | 20 FT    | 145 FT                        |
- PROPOSE USES
 

|         | BLD SQ FT |
|---------|-----------|
| CARWASH | 4,327 SF  |
- PRE-WASH (DE-BUG) 3 SPACES
- POST-WASH DETAILS 19 SPACES
- EMPLOYEE/GUESS PARKING 3 SPACES

**RECEIVED**  
 8/23/2022  
 CITY OF EDGEWOOD



**SYMBOL LEGEND**

**Full Building Section**  
SECTION IDENTIFICATION  
SHEET WHERE SECTION IS DRAWN  
SECTION IDENTIFICATION  
SHEET WHERE SECTION IS DRAWN  
**Detail or Callout Reference**  
DETAIL NUMBER  
SHEET WHERE DETAIL/CALLOUT IS DRAWN

**Door Tag**  
DOOR NUMBER

**Window Tag**  
WINDOW NUMBER

**Grid Bubble - Proposed**  
GRID NUMBER  
GRID LINE

**Grid Bubble - Existing**  
GRID NUMBER  
GRID LINE

**Elevation Datum**  
LEVEL NAME  
LEVEL ELEVATION

**Spot Elevation**  
ELEVATION

**North Arrow**  
PROJECT NORTH  
TRUE NORTH

**Room Tag**  
ROOM NAME  
ROOM NUMBER  
ROOM AREA

**View Title**  
**View Name** DRAWING NAME  
DRAWING SCALE  
DRAWING NUMBER

**Matchlines**  
SEE SHEET A2.01.35 FOR CONTINUATION OF PLAN

**View Reference**  
SEE SHEET A2.01.35

**Elevation Symbol**  
SHEET NUMBER  
DRAWING NUMBER

**Light Fixture**  
EQUIPMENT ID

**Specialty Equipment**  
EQUIPMENT ID

**Plumbing Fixture Tag**  
PLUMBING FIXTURE ID

**Material/Finish Tag**  
MATERIAL ID

**Furniture Tag**  
FURNITURE ID

**Revision Tag**  
REVISION NUMBER

**MATERIAL LEGEND**

BASE COURSE, COUSHIN FILL ROCK  
SUB-BASE, GRAVEL, CRUSHED ROCK

SAND, MORTAR, GROUT, PLASTER  
OR CONCRETE FILL

CONCRETE, CAST IN PLACE

BRICK

STONE

CONCRETE MASONRY UNITS

STEEL

ALUMINUM

WOOD

EARTH

WOOD FRAMING

WOOD BLOCKING OR SHIM

PLYWOOD

RIGID INSULATION

BATT INSULATION

GYPSUM BOARD

CEMENT PLASTER

WOOD FINISH

**ABBREVIATIONS**

|       |                                      |       |                        |
|-------|--------------------------------------|-------|------------------------|
| AFF   | ABOVE FINISH FLOOR (SLAB)            | INT   | INTERIOR               |
| AFG   | ABOVE FINISH GRADE                   | LAV   | LAVATORY               |
| BLK   | BLOCK                                | MECH  | MECHANICAL             |
| B.O.  | BOTTOM OF                            | MISC  | MISCELLANEOUS          |
| BLDG  | BUILDING                             | OPP   | OPPOSITE               |
| CW    | COLD WATER                           | NIC   | NOT IN CONTRACT        |
| CL    | CENTER LINE                          | NTS   | NOT TO SCALE           |
| CLR   | CLEAR/CLEARANCE                      |       |                        |
| COL   | COLUMN                               | PLBG  | PLUMBING               |
| CONC  | CONCRETE                             | PLYWD | PLYWOOD                |
| CU    | CONDENSING UNIT                      | RD    | ROOF DRAIN             |
| CMU   | CONCRETE MASONRY UNIT                | RET   | RETAINING              |
| CONT  | CONTINUOUS                           | REF   | REFERENCE              |
| CJ    | CONTROL JOINT                        | REV   | REVISE/REVISION        |
|       |                                      | REINF | REINFORCING            |
| DN    | DOWN                                 | RTU   | ROOF TOP UNIT (HVAC)   |
| EA    | EACH                                 |       |                        |
| EFS   | EXTERIOR INSULATED FINISHING SYSTEM  | SAN   | SANITARY SEWER LINE    |
| EL    | ELEVATION                            | SM    | SIMILAR                |
| ELEC  | ELECTRIC/ELECTRICAL EQUIVALENT       | SPECS | SPECIFICATIONS         |
| EDIV  | EQUIVALENT                           |       |                        |
| EXIST | EXISTING                             | TS    | TUBE STEEL             |
| EXT   | EXTERIOR                             | T.O.  | TOP OF                 |
| EJ    | EXPANSION JOINT                      | TOC   | TOP OF CONCRETE        |
| FD    | FLOOR DRAIN                          | TOS   | TOP OF STEEL           |
| FFL   | FINISHED FLOOR FLOOR                 | TYP   | TYPICAL                |
| GA    | GAGE/GAUGE                           | UNO   | UNLESS NOTED OTHERWISE |
| GC    | GENERAL CONTRACTOR                   |       |                        |
| GALV  | GALVANIZED                           | WC    | WATER CLOSET           |
| GYP   | GYPSUM                               | WH    | WATER HEATER           |
|       |                                      | WWF   | WELDED WIRE FABRIC     |
| HVAC  | HEATING VENTILATING AIR CONDITIONING |       |                        |
| HW    | HOT WATER                            |       |                        |

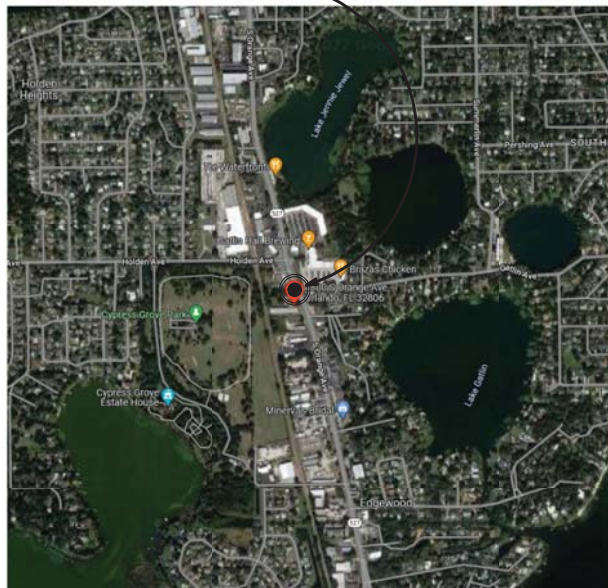
# ORANGE AVE. CAR WASH

## CONCEPT PACKAGE

4800 S Orange Ave, Orlando, FL 32806



**PROJECT SITE**



**LEGAL DESCRIPTION**

REV MAP OF ST PETERSBURG BLK 52, LOTS 18 AND 19

**GENERAL NOTES**

1. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION - WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
2. WRITTEN DIMENSIONS PREVAIL. DO NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
3. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
4. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING/FURRING MEMBER UNLESS OTHERWISE NOTED.
5. WHERE BUILDING ELEMENTS ARE TOO LARGE TO FIT INSIDE THE CAVITY OF WALLS, WALLS ARE TO BE FURRED TO CONCEAL OR "BUILD IN" PIPING, ELECTRICAL PANELS AND OTHER RECESSED OBJECTS.
6. DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING.
7. IF THE CONTRACTOR DISCOVERS ANY CONFLICT BETWEEN THE DRAWINGS AND THE CONDITIONS WHERE WORK IS TO BE PERFORMED, HE SHALL PROMPTLY NOTIFY THE ARCHITECT.
8. DOCUMENTS ARE FOR CORE AND SHELL STRUCTURE ONLY. BUILDOUTS OF UNITS AND PUBLIC SPACES AND ASSOCIATED FINISHES SHALL BE BY SEPARATE PERMIT DOCUMENTS.

**SHEET INDEX - ARCHITECTURAL**

| Sheet # | Sheet Name          | Current Revision Date |
|---------|---------------------|-----------------------|
| A000    | COVER               |                       |
| A100    | SITE PLAN           |                       |
| A201    | GROUND FLOOR PLAN   |                       |
| A210    | ROOF PLAN           |                       |
| A501    | BUILDING ELEVATIONS |                       |
| A990    | 3D VIEWS            |                       |

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jeff@407studio.com | www.407studio.com

**Orange Ave. Car Wash**  
4800 S Orange Ave.

CONSULTANT:

**Issued For**

Concept Design 05/25/22

**Revisions**

| # | Description | Date |
|---|-------------|------|
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Seal

Project No: 22-073  
Drawn By: Author Jeff Galther, AIA AR93666

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**COVER**

**A000**

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# Orange Ave. Car Wash

4800 S Orange Ave.



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Seal

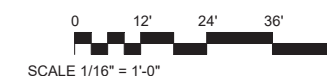
Project No: 22-073  
Drawn By: PR  
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AR93666

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Sheet Title

SITE PLAN

**1 SITE PLAN**  
1/16" = 1'-0"



**A100**



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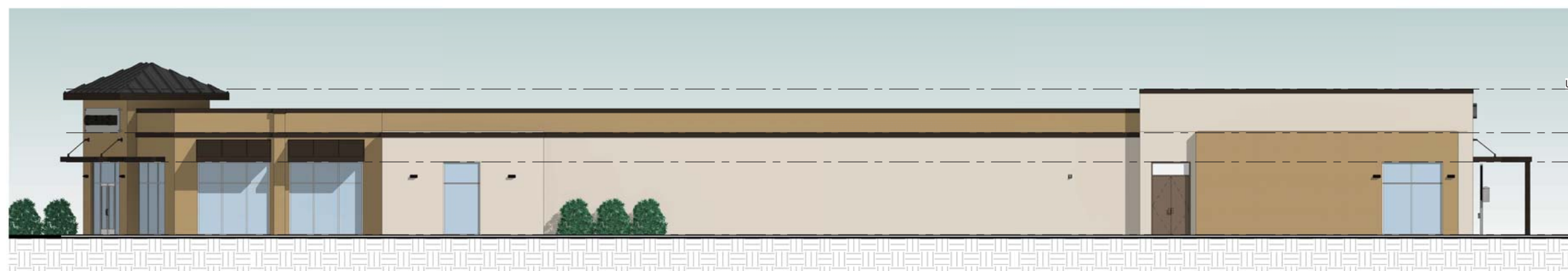
1 EAST ELEVATION  
1/8" = 1'-0"



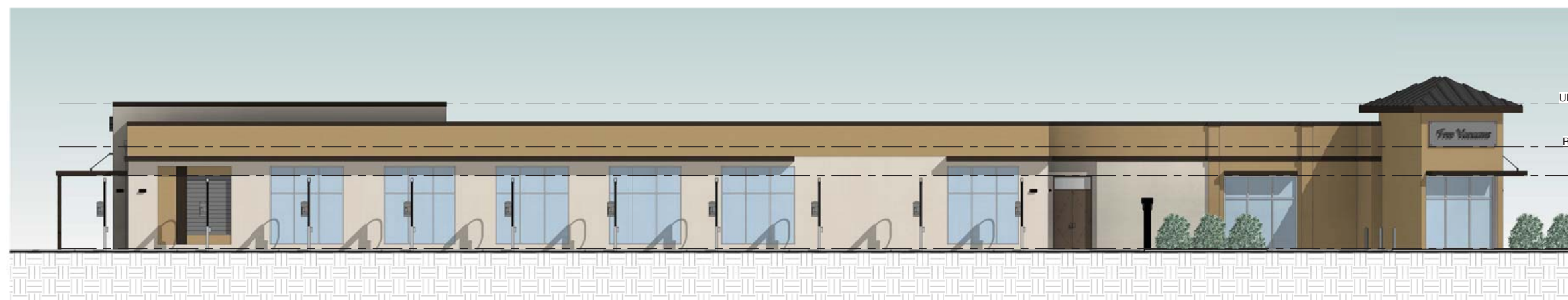
2 WEST ELEVATION  
1/8" = 1'-0"



3 NORTHEAST ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION  
1/8" = 1'-0"



5 SOUTH ELEVATION  
1/8" = 1'-0"

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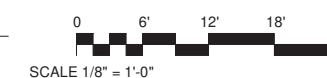
Seal

Project No: 22-073  
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BUILDING ELEVATIONS



A501

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Project No: 22-073  
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 Sheet Title  
**3D VIEWS**

**A990**



11/07/2022 8:14:38 a.m.



# Edgewood Police Department City Council Report September 2022

|                                | <b>August</b> | <b>September</b> |
|--------------------------------|---------------|------------------|
| <b>Residential Burglaries</b>  | 0             | 0                |
| <b>Commercial Burglaries</b>   | 1             | 0                |
| <b>Auto Burglaries</b>         | 0             | 1                |
| <b>Theft</b>                   | 2             | 1                |
| <b>Assault/Battery</b>         | 0             | 3                |
| <b>Sexual Battery</b>          | 0             | 0                |
| <b>Homicides</b>               | 0             | 0                |
| <b>Robbery</b>                 | 0             | 0                |
| <b>Traffic Accident</b>        | 7             | 10               |
| <b>Traffic Citations</b>       | 134           | 98               |
| <b>Traffic Warnings</b>        | 113           | 104              |
| <b>Felony Arrests</b>          | 3             | 1                |
| <b>Misdemeanor Arrests</b>     | 0             | 6                |
| <b>Warrant Arrests</b>         | 1             | 0                |
| <b>Traffic Arrests</b>         | 2             | 1                |
| <b>DUI Arrests</b>             | 0             | 1                |
| <b>Code Compliance Reports</b> | 46            | 25               |

**Department Highlights:**

- On September 6, 2022 the Edgewood Police Department hosted their 3<sup>rd</sup> blood drive in the City of Edgewood Complex this year.
- On September 11<sup>th</sup>, Officer Scott Zane attended the annual 9/11 remembrance event at Mission BBQ alongside Florida Highway Patrol, Orlando Police Department and Orange County Sheriff’s Office.
- The week of September 18<sup>th</sup> through September 24<sup>th</sup> the Department participated in Child Passenger Safety Week to promote the proper use and installation of Car Seats.
- The week of September 19<sup>th</sup> through September 25<sup>th</sup>, the Edgewood Police Department participated in Rail Safety Week. During this week Officers patrolled the train track crossing to educated drivers on the danger of stopping on the tracks.
- On September 26<sup>th</sup> the Edgewood Police Department partnered up with the City of Belle Isle to host a sand bag site to prepare residents and neighbors for Hurricane Ian.
- On September 28<sup>th</sup> and 29<sup>th</sup> the City of Edgewood was hit by Hurricane Ian. During those and the next days, the department worked to clear roads and help the residents in any way they could.