



# MONDAY, FEBRUARY 9, 2026 PLANNING AND ZONING MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Monday, February 09, 2026 at 6:30 PM

David Nelson  
Chair

Caleb Castro  
Vice-Chair

Evan Franco  
Board Member

Todd Nolan  
Board Member

Angie Sharp  
Board Member

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## AGENDA

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**WELCOME!** We are very glad you have joined us for today's Planning and Zoning meeting. The Planning and Zoning Board is an advisory board to City Council comprised of citizen members who voluntarily and without compensation devote their time and talents to a variety of zoning and land development issues in the community. All P&Z recommendations are subject to final action by City Council. The results of today's meeting will be presented at the noted City Council meeting for approval of recommended actions. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

**A. CALL TO ORDER & PLEDGE OF ALLEGIANCE**

**B. ROLL CALL AND DETERMINATION OF QUORUM**

**C. APPROVAL OF MINUTES**

1. January 12, 2026 Planning & Zoning Meeting Minutes

**D. NEW BUSINESS**

1. Variance 2026-01: 4905 Lake Gatlin Woods Court Boat Dock
2. 4901 S Orange Ave. -Mosaic Salon Site Plan Approval
3. Special Exception 2026-02: Thrive Salon Suites Tattooing

**E. UNFINISHED BUSINESS**

1. Proposed Parking Regulations Update

**F. COMMENTS/ANNOUNCEMENTS**

**G. ADJOURNMENT**

**UPCOMING MEETINGS**

Tuesday, February 17, 2026.....City Council Meeting 6:30 PM  
Monday, March 9, 2026.....Planning & Zoning Meeting 6:30 PM

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**General Rules of Order**

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You are welcome to attend and express your opinion. The Board is pleased to hear non-repetitive comments related to business before the Board; however, a **five (5) minute time limit per person** has been set by the Board. Large groups are asked to name a spokesperson. If you wish to appear before the Board, please fill out an Appearance Request Registration Form and give it to the City Clerk. When recognized, state your name and speak directly into the microphone. The City is guided by **Roberts Rules of Order** in governing the conduct of the meeting. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at (407) 851-2920 at least 24 hours in advance of the meeting.

**We ask that all electronic devices (i.e. cell phones, pagers) be silenced during our meeting!**

Thank you for participating in your government!

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**Appeals**

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According to Edgewood City Code Section 26-24 (2), “any person aggrieved by any recommendation of the Board acting either under its general powers or as a Board of Adjustment may file a notice of appeal to the City Council within seven (7) days after such recommendation is filed with the City Clerk. Per **Section 286.0105**, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceeding and may need to ensure that a verbatim record is made.

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**Americans with Disabilities Act**

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In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the **City Clerk at (407) 851-2920**.

# CALL TO ORDER & PLEDGE OF ALLEGIANCE

# ROLL CALL & DETERMINATION OF QUORUM



# APPROVAL OF MINUTES



# PLANNING AND ZONING BOARD MEETING

City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Monday, January 12, 2026 at 6:30 PM

David Nelson  
Chair

Caleb Castro  
Vice-Chair

Evan Franco  
Board Member

Todd Nolan  
Board Member

Angie Sharp  
Board Member

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## MINUTES

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*These minutes provide a summary of the key discussions and decisions made during the January 12, 2026 Planning & Zoning Board Meeting. A complete audio recording of the meeting is available for public review for one year. After one year, the City will dispose of the recording in accordance with applicable regulations. To access the recording, please contact Edgewood City Hall at 407-851-2920.*

### CALL TO ORDER & PLEDGE OF ALLEGIANCE

Vice Chair Nelson called the meeting to order at 6:30 pm and led everyone in the Pledge of Allegiance.

### ROLL CALL AND DETERMINATION OF QUORUM

Administrative Project Manager Sollazzo confirmed a quorum with all five (5) board members present. He recognized new members Caleb Castro and Evan Franco. Vice Chair Nelson also thanked previous Board Members David Gragg and Ryan Santurri for their years of service, and welcomed the new Board Members.

#### BOARD MEMBERS PRESENT

Chair David Nelson  
Vice Chair Caleb Castro  
Board Member Evan Franco  
Board Member Todd Nolan  
Board Member Angie Sharp

#### STAFF PRESENT

Brett Sollazzo. Administrative Project Manager  
Holli New, City Attorney  
Ellen Hardgrove, City Planner  
Michael Fraticelli, Police Sergeant

### APPROVAL OF MINUTES

November 10, 2025 Planning & Zoning Meeting Minutes

**Vice Chair Nelson made a motion to approve the November 10, 2025 Planning and Zoning meeting minutes as presented. The motion was seconded by Board Member Nolan. Approved (5/0) by voice vote.**

### NEW BUSINESS

#### 1. ELECTION OF CHAIR AND VICE CHAIR FOR 2026

Administrative Project Manager Sollazzo explained that the Planning and Zoning Board is required to nominate and elect a Chair and Vice Chair each year. The Board discussed options for filling the positions and agreed on an approach. There was no public comment. Following discussion, the Board took the following actions to elect a Chair and Vice Chair for 2026:

#### MOTION & ROLL CALL VOTE

Board Member Sharp made a motion to nominate Vice Chair Nelson as Chair for 2026. The motion was seconded by Board Member Franco and approved by a (5/0) voice vote.

Newly elected Chair Nelson made a motion to nominate Board Member Castro as Vice Chair for 2026. The motion was seconded by Board Member Nolan and approved by a (5/0) voice vote.

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**2. SPECIAL EXCEPTION 2026-01: TATTOO STUDIO 4712 S ORANGE AVE.**

Planner Hardgrove presented Special Exception 2026-01, a request to allow a tattoo establishment at 4712 South Orange Avenue, within the Orange Holden Plaza, which is zoned Edgewood Central District (ECD).

Planner Hardgrove explained that tattoo establishments were recently permitted within the ECD zoning district through adoption of Ordinance No. 2024-06, subject to approval through the Special Exception process by the Planning and Zoning Board and City Council. She outlined the required review criteria, which include consistency with the ECD Vision, compatibility with surrounding uses, and the availability of public services and facilities, including off-street parking. Planner Hardgrove stated that the ECD Vision is intended to transform South Orange Avenue into a pedestrian-oriented, human-scale commercial corridor.

Planner Hardgrove described the surrounding land uses, noting that the subject property is located within a multi-tenant strip center containing service-oriented commercial uses. Adjacent and nearby uses include a tire store, a shopping center, Cypress Grove Park, and several vacant commercial properties. Based on this context, staff determined that the proposed use would be compatible with the surrounding area and would not constitute a detrimental intrusion.

Planner Hardgrove reviewed applicable operational standards, noting that the City Code limits tattoo establishment operating hours to between 8:00 a.m. and 9:00 p.m. and requires a minimum separation distance of 1,500 feet from other tattoo establishments. Staff confirmed that the nearest tattoo business is located well beyond the required separation distance.

Planner Hardgrove discussed parking conditions at Orange Holden Plaza, explaining that the shopping center contains fewer parking spaces than required under current code standards. However, staff anticipates that parking demand for the proposed tattoo establishment would be similar to the prior hair salon use, which is permitted by right. She noted that the applicant proposed nine tattoo stations within a 1,200-square-foot suite. She commented that if there was concern related to the quantity of parking onsite, the number of tattoo stations could be limited as a condition of approval.

Planner Hardgrove concluded by outlining staff's recommended conditions should the Board recommend approval. These conditions include requiring full transparency of street-facing windows to support the ECD's pedestrian-oriented goals, strict compliance with permitted operating hours.

Bruno Lahr, the applicant and owner of the proposed tattoo studio, addressed the Board and stated that this would be his first business venture. Mr. Lahr acknowledged a language barrier but expressed appreciation for the opportunity to present. He described the proposed tattoo studio as a new, visually appealing business that would be a positive addition to the shopping center.

Mr. Lahr explained that although the studio is designed with nine tattoo stations, the business would operate on an appointment-only basis and would be low intensity. He stated that artists typically work with one client at a time and that overall daily activity is expected to be limited to approximately four to five clients per day, not all present at the same time. Based on this operational model, Mr. Lahr indicated that parking demand would be minimal and not anticipated to create issues for the plaza.

Anthony Artica, the property manager representing the shopping center's property owner, addressed the Board and stated that he manages the property on the owner's behalf. Mr. Artica acknowledged that the approval process was not followed in the correct order and accepted responsibility for that oversight, noting that the applicant should have been directed to the City earlier in the process.

Mr. Artica stated that the property owner supports the proposed tenant and believes the business would be a positive addition to both the shopping center and the City. He indicated that the ownership group shares the City's goal of improving the overall appearance of the corridor and attracting higher-quality businesses and tenants.

While acknowledging that tattoo establishments can sometimes be viewed as controversial, Mr. Artica emphasized the quality of the artists and the scale of their work, noting the studio's strong social media presence and professional approach.

Mr. Artica stated that he understands the City's compliance requirements and is committed to ensuring all applicable rules are followed. He indicated that he would personally work with Mr. Lahr to ensure full compliance with City regulations moving forward and noted that Mr. Lahr is not originally from the United States, which contributed to some initial misunderstandings of the approval process.

## **PUBLIC COMMENT**

Tina Demostene, an Edgewood resident, addressed the Board and stated that she was not opposed to a tattoo establishment at the subject location, but expressed concerns regarding its operation and consistency with the Edgewood Central District vision. She emphasized the City's efforts to create a walkable, family-oriented environment within the ECD.

Ms. Demostene expressed support for limiting hours of operation, such as 10:00 a.m. to 6:00 p.m., and requested that any conditions of approval remain in effect for future tattoo establishments at the site. She also raised concerns that the shopping center is substantially out of compliance, including an improperly restriped parking lot, and stated that these issues should be addressed. In addition, she supported conditions requiring clear street-facing windows, a reduction in the number of tattoo stations, and improvements to the parking lot and landscaping to better align the property with ECD goals.

Megan Milligan, an Edgewood resident, addressed the Board and stated that she agreed with the comments presented by Ms. Demostene. Ms. Milligan expressed concern that the business opened without the proper permits and stated that the proposed limitations on hours of operation would help address those concerns.

Ryan Smith, an Edgewood resident addressed the Board and stated that he has four young children. He expressed concerns regarding existing issues in the area, including parking problems, odors, and the presence of nearby uses he characterized as problematic. Mr. Smith stated that, in his view, the addition of another such use would exacerbate existing conditions and commented that "enough is enough." He concluded by stating that he agreed with the comments presented by Ms. Demostene.

## **DISCUSSION AFTER PUBLIC COMMENT**

After the public comments, Mr. Artica came back up and addressed the Board and public to answer some of the questions/concerns. He acknowledged that tattoo establishments can be controversial uses. He stated that tattoo studios are lawful businesses and noted that similar or more intense uses, such as bars, are permitted throughout the area. Mr. Artica emphasized that hours of operation play an important role in mitigating impacts and stated that Mr. Lahr has agreed to comply with any limitations on operating hours imposed by the Board. Mr. Artica further noted that the condition of the property was worse at the time it was purchased by the current owner and that renovations have since been made to the site.

Board Member Franco questioned Mr. Artica regarding the specific renovations that had been completed. Mr. Artica responded that he was not able to speak to the details of the renovations on behalf of the property owner. Board Member Castro raised questions regarding overall compliance of the shopping center, particularly with respect to the Quick Stop use on the property.

Discussion ensued between the Board and Planner Hardgrove regarding the condition of the property and the owner's long-term intentions. Planner Hardgrove stated that when the property was purchased, the owner expressed an interest in redeveloping the site and that this remains a long-term goal. She explained that, in the interim, the owner is seeking to generate rental income from the existing suites.

Planner Hardgrove clarified that City Code requires a minimum separation distance of 1,500 feet between tattoo establishments and noted that if the proposed tattoo establishment is approved, no additional tattoo establishments would be permitted within that separation radius for the duration of the approved use.

Discussion continued regarding potential conditions of approval, with the Board agreeing that the only condition to be placed would be to maintain clear visibility through street-facing windows, consistent with staff's recommendation. P&Z commented that requiring a single tenant to improve the parking lot as a condition of approval would constitute an undue burden on the applicant. Similarly, P&Z commented that limiting the number of stations could artificially hinder the establishment's growth and success and that a hair salon (a comparable "by-right" use) would not be subject to such chair restrictions, making the suggested condition inequitable.

There was no additional public comment.

### MOTION & ROLL CALL VOTE

Chair Nelson made a motion to recommend approval of Special Exception 2026-01 to allow a tattoo establishment at 4712 South Orange Avenue subject to the following condition:

- The street-facing windows and doors shall maintain transparency, including but not limited to: no use of opaque window tints, curtains, or "black-out" vinyl wraps, and no placement of interior fixtures or furniture that would obstruct views into the studio from the exterior.

The motion was seconded by Vice Chair Castro and approved (5/0) by roll call vote.

|                     |       |
|---------------------|-------|
| Chair Nelson        | Favor |
| Vice Chair Castro   | Favor |
| Board Member Franco | Favor |
| Board Member Nolan  | Favor |
| Board Member Sharp  | Favor |

### 3. ORDINANCE 2026-01: SCRIVENER'S ERROR TATTOO & BODY PIERCING

Planner Hardgrove presented Ordinance No. 2026-01, which serves to correct a scrivener's error found within Chapter 134 (Zoning) of the City Code. She clarified that Ordinance 2024-06 contained a drafting error that misaligned the code with the City Council's original legislative intent. Specifically, while the Council intended to allow tattoo establishments as a Special Exception in the Edgewood Central District (ECD), the final ordinance language inadvertently included body piercing in that same category.

The current ordinance is an administrative correction intended to ensure that body piercing remains a prohibited use in the ECD, as originally planned. She emphasized that this action does not constitute a new policy or an expansion of uses, but rather rectifies the code language to accurately reflect prior Council decisions. All other zoning regulations regarding these uses remain in full effect.

### PUBLIC COMMENT

Tina Demostene, an Edgewood resident, addressed the Board and stated that tattooing was prohibited back in the day and should go back to that, as the original change to code only benefited one specific business and scenario.

Megan Milligan, an Edgewood resident, addressed the Board regarding concerns about a local church utilizing the former Le Coq Au Vin property at 4800 S. Orange Avenue for overflow event parking. The Board noted the comment; however, the issue was determined to be unrelated to the ordinance under consideration.

### **MOTION & ROLL CALL VOTE**

Vice Chair Castro made a motion to recommend approval of Ordinance 2026-01 as presented. The motion was seconded by Board Member Nolan and approved (5/0) by roll call vote.

|                     |       |
|---------------------|-------|
| Chair Nelson        | Favor |
| Vice Chair Castro   | Favor |
| Board Member Franco | Favor |
| Board Member Nolan  | Favor |
| Board Member Sharp  | Favor |

## **4. ORDINANCE 2026-02: OFF STREET PARKING REGULATIONS**

Due to time constraints, the Board decided to have light discussions on some specific topics in the proposed parking regulations, as opposed to going into detail on everything. They plan to have the proposed regulations return at the next meeting to review and discuss more in detail.

### **Discussion on Market-Driven Parking**

Planner Hardgrove explained that there has been some interest in making the parking quantity requirements more "market-driven." Some local governments have totally eliminated parking minimums. She cautioned the Board that while larger jurisdictions are adopting this trend, it remains a high-risk strategy for Edgewood at this time. Supporting data presented showed that Edgewood households own an average of two vehicles, and 76% of residents drive alone to work, while public transit and bicycle usage currently stand at 0%. Additionally, Planner Hardgrove noted that the City lacks the necessary public parking infrastructure to absorb overflow, which could result in negative impacts to adjacent properties and residential neighborhoods. She also pointed out that financial institutions are often unwilling to fund projects lacking dedicated parking in areas without robust transit. Board members discussed balancing these realities by considering reductions to specific parking ratios, which will be reviewed in detail during the February meeting.

### **Regulations for Shopping Centers and Legacy Sites**

The Board reviewed the triggers for applying parking regulations, specifically regarding changes in occupancy. Significant discussion centered on Shopping Centers that were built prior to modern parking regulations and do not have a conforming supply of spaces; the proposed regulation allows for the interchange of suites without a new parking analysis, provided that high-demand uses—such as medical offices, gyms, and restaurants—do not exceed 65% of the total gross square footage. These shopping centers are proposed to be classified as "Legacy Shopping Centers," defined as those approved before 1985 with at least 150 paved spaces and a ratio of 4.2 spaces per 1,000 GSF. Currently, only Community, Fort Gatlin, and portions of Edgewood Isle meet these criteria. Planner Hardgrove noted that a Parking Functional Adequacy report would be required for these sites if a new tenant exceeds 10,000 GSF or requires more than 10 additional spaces.

### **Adaptive Reuse and Unpaved Parking Standards**

The Board engaged in a robust debate regarding other structures built prior to modern regulations, particularly along Orange Avenue whether to allow parking reductions in exchange for site improvements or to utilize a simple waiver system. Discussion ensued relative to perpetuating the existing land use pattern along Orange Avenue instead of

encouraging redevelopment/the ECD vision and the creating of negative impacts from allowing substandard parking. The Board directed staff to revisit options for future Board consideration.

Regarding the allowance of unpaved parking, the Board reached a consensus to permit such surfaces in only two specific instances: for special events and for environmental necessity. For special events, unpaved parking shall be limited to twice per calendar year per property, business, or applicant, for a duration not to exceed 72 hours per event. Furthermore, professional traffic control is required for any event exceeding 50 vehicles. Failure to adhere to these standards, or a failure to restore the site to its original condition, will result in a \$5,000.00 daily fine. On a permanent basis, the Board determined that unpaved parking should be allowed strictly for documented environmental reasons.

## PUBLIC COMMENT

Tina Demostene, an Edgewood resident, addressed the Board and expressed concerns regarding the restrictive nature of the "Legacy Shopping Center" definition, suggesting that the flexibility currently reserved for the three identified sites—Community, Fort Gatlin, and Edgewood Isle—should be extended to all older shopping centers in the city. She advocated for a broader application of these exemptions to foster city-wide commercial stability. Additionally, she recommended that the Board "move up" or prioritize the bike rack requirements in the exchange to have reduced parking to better address alternative transportation.

Regarding the proposed waiver process for sites with substandard parking, Ms. Demostene suggested a more structured timeline where the applicant must explicitly identify the requested length of the waiver, not to exceed a five-year period. She proposed that at the end of this five-year term, the property owner should be required to either initiate redevelopment in line with the ECD vision or reapply for the waiver. She emphasized that any such application or renewal should require the applicant to provide a rigorous justification for the continued parking deficiency to ensure the city isn't merely perpetuating existing land-use patterns without progress.

Following public comment, the Board held a brief final discussion. It was agreed that Planner Hardgrove would compile the Board's discussion notes and present them to City Council for feedback. That feedback will be brought back to the Board for further consideration at the February meeting.

## MOTION & ROLL CALL VOTE

Chair Nelson made a motion to continue discussion of proposed Ordinance 2026-02 to the next meeting scheduled for February 9, 2026. The motion was seconded by Board Member Sharp and approved by a 5–0 roll call vote.

|                     |       |
|---------------------|-------|
| Chair Nelson        | Favor |
| Vice Chair Castro   | Favor |
| Board Member Franco | Favor |
| Board Member Nolan  | Favor |
| Board Member Sharp  | Favor |

## ADJOURNMENT

The meeting was adjourned at 9:28 PM.

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David Nelson, Chair

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Brett Sollazzo, Administrative Project Manager

# NEW BUSINESS



**Variance 2026-01:**  
**4905 Lake Gatlin Woods Court**  
**Boat Dock**



January 15, 2026

Mr. Brett Sollazzo  
Administrative Project Manager  
City of Edgewood  
405 Bagshaw Way  
Edgewood, FL 32809-3406

**RE: 4905 Lake Gatlin Woods Ct – variance dock review application  
CPH project number E7601**

Dear Brett,

We are in receipt of the variance application addressing the location of the existing dock for the above listed address, received December 29, 2025. The application is requesting three (3) variances for the same boat dock. We have reviewed the application, letter of explanation, and site plan to verify the request for the variances.

The lot fronts Lake Gatlin Woods Court and has a “sliver” of land along the shoreline of the lake that is approximately 23 feet long, per the site plan. We verified with the Orange County Property Appraiser (OCPA) the approximate distance between the adjacent docks and the owner’s property line. One dock is 92 feet north and the other dock is 20 feet south. We have no objection to the distance from the other docks.

Below is a summary of our review of variance requests:

- Variance#1 (Northside setback) – Application states variance is needed to allow 3 feet setback in lieu of 10 feet setback. Per the City Code, Chapter 14-11, B (1), states that lots or parcels having a shoreline frontage of less than 100 feet, must have a minimum side setback of 10 feet from any property line or projected property line.
- Variance#2 (Southside setback) – Application states variance is needed to allow 3 feet setback in lieu of 10 feet setback. Per the City Code, Chapter 14-11, B (1), states that lots or parcels having a shoreline frontage of less than 100 feet, must have a minimum side setback of 10 feet from any property line or projected property line.
- Variance#3 (Dock size) – Application states variance is needed to allow 405 SF dock in lieu of 276 SF dock. Per the City Code, Chapter 14-11, B (5), states that the maximum allowable square footage of the terminal platform is the calculation of 12 times the linear shoreline frontage, not to exceed 1,000 square feet. The proposed terminal platform is 27 feet by 15 feet, which has a total terminal platform area of 405 LF, which is larger than 12 times the shoreline frontage (276 LF).



Based on our review, we do not have any objections to the City approving this variance to allow the dock to encroach to the side setback. Please be reminded, approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,  
**CPH Consulting LLC**

*Allen C. Lane, Jr.*  
Allen C. Lane, Jr., P.E.  
Sr Project Manager

CC: Sache Fernandez, CPH  
File

J:\E7601\Civil\City Plans-Application Review\4905 Lake Gatlin Woods Ct dock variance\letter\4905 Lake Gatlin Woods Ct - variance dock review 1-15-26.docx



## APPLICATION FOR VARIANCE

Reference: Code Sections 134-103 through 134-109

**REQUIRED FEES:** \$750.00 (Commercial) or \$350 (Residential) Application Fee +  
Pass-Through Fees Initial Deposit (Ordinance 2013-01)

**Please note the application fee is non-refundable. Additional pass-through fees may be required throughout the project. If any pass-through balance remains at project completion, it will be reimbursed.**

**IMPORTANT:** A COMPLETE application with all required attachments must be submitted to City Staff 30 days before the next Planning & Zoning meeting. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner. You can submit all documents electronically to [info@edgewood-fl.gov](mailto:info@edgewood-fl.gov).

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

Applicant Name: Sean Milligan Owner Name: Sean and Megan Milligan  
Email: seanpatrickmilligan@gmail.com Email: seanpatrickmilligan@gmail.com  
Phone: 407-401-2199 Phone: 407-401-2199 or 407-718-7185  
Property Address: 4905 Lake Gatlin Woods Ct, Orlando, FL 32806  
Legal Description: See attached Exhibit 1 - legal description

Property Zoning: R1-AA Existing on site: Existing home and dock  
Section of Code Variance is being requested: Variance 1 and 2 setbacks - Section 14-11 (b)(1)  
Variance 3 size of dock - Section 14-11 (b)(5)

Variance Request: \_\_\_\_\_  
Variance 1 (North side setback): Variance to allow 3' setback in lieu of 10' setback  
Variance 2 (South side setback): Variance to allow 3' setback in lieu of 10' setback  
Variance 3 (dock size): Variance to allow 405 SF dock in lieu of 276 SF dock



**PROVIDE THE FOLLOWING INFORMATION WITH YOUR APPLICATION:**

- 1) A signed and notarized Agent Authorization form if the applicant IS NOT the subject property owner.
- 2) Provide a Letter of Explanation which must outline the specifics of the proposed Variance request and include the justification for the subject request. To justify the Variance, the applicant must demonstrate the following:
  - That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.
  - That the special conditions and circumstances do not result from the actions of the applicant
  - That approval of the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings or structures in the same zoning district.
  - That literal interpretation of the provisions contained in this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and would work unnecessary and undue hardship on the applicant.
  - That the variance approved is the minimum variance that will make possible the reasonable use of the land, building or structure.
  - That approval of the variance will be in harmony with the general intent and purpose of this chapter and that such variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
  - That the variance sought will be consistent with the Edgewood Comprehensive Plan
- 3) Each application for a Variance shall be accompanied by a site plan. Details of the site plan depend on what section of code you are requesting the Variance for. Please work with City Staff to confirm.

The applicant hereby states that the above request for a Variance does not violate any deed restrictions on the property. Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.

Applicant Name: Sean Milligan

Applicant Signature: [Signature]

Date: 12/16/25

Owner Name: Sean and Megan Milligan

Owner Signature: [Signature] Megan Milligan

Date: 12/16/25





## Office Use Only:

Received by: Brett Sollazzo Date Received: \_\_\_\_\_

Forwarded to: CPH - Allen Lane Date Forwarded: \_\_\_\_\_

P&Z Meeting Date: 2/9/26 City Council Meeting Date: 2/17/26

Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# LETTER OF EXPLANATION

4905 Lake Gatlin Woods Ct, Edgewood FL 32809 | [13-23-29-4440-00-010](#)

## Boat Dock Variance

### **REQUESTED VARIANCE:**

**Variance 1:** A variance from Section 14-11(b)(1) to allow a 3' north side setback for a dock in lieu of the required 10' side setback for a dock.

**Variance 2:** A variance from Section 14-11(b)(1) to allow to allow a 3' south side setback for a dock in lieu of the required 10' side setback for a dock.

**Variance 3:** A variance from Section 14-11(b)(5) to allow a 405 SF dock in lieu of the allowable 276 SF dock.

### **BACKGROUND:**

Our home is located at 4905 Lake Gatlin Woods Court in Edgewood, Florida. The Lake Gatlin Woods subdivision was platted in 1977 and recorded in Plat Book 7 Page 16. The lakefront configuration of the property has remained unchanged since the recording of the original plat in 1977. The legal description for the property is provide in **EXHIBIT 1** in the back of this letter. We have provided several maps in the back of this letter to illustrate the location and layout of our property and our home

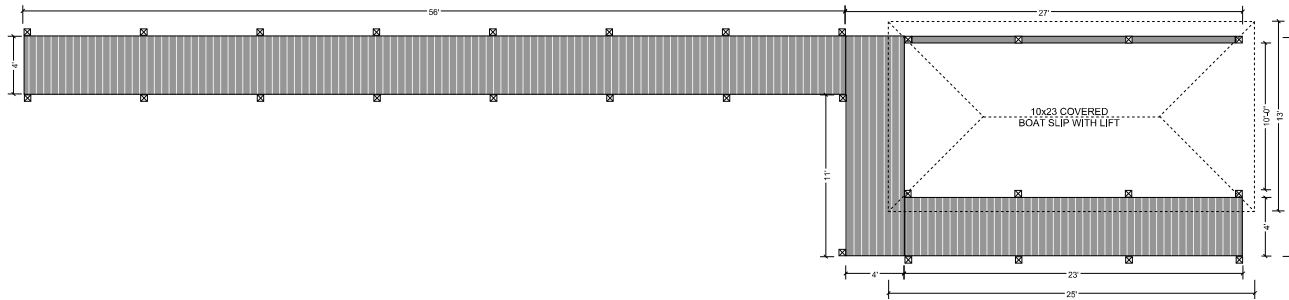
- **MAP 1: LOCATION MAP**
- **MAP 2: ORANGE COUNTY PROPERTY APPRAISER MAP**
- **MAP 3: LAKE GATLIN WOODS PLAT (PB 7 PG 116)**
- **MAP 4: EXISTING CONDITIONS SURVEY**

Our family has lived in Lake Gatlin Woods since April 2010. We built our existing dock in 2011-2012 including associated variance for setbacks under the prior boat dock ordinance, which required 25' side setbacks. The existing dock consists of a walk path and an open area for boat parking—it does not have a covered mooring area/covered boat dock.

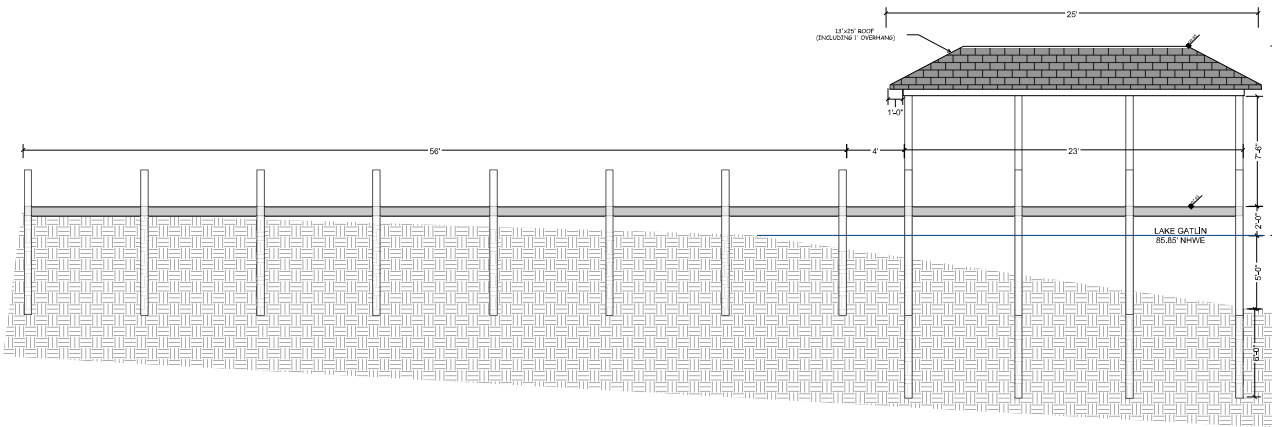
There are existing Cypress trees along the shoreline on both sides of the existing dock, which provide great tree canopy and shade, but which come with extensive tree dropping and bird droppings. **EXHIBIT 2: PHOTOS OF OUR PROPERTY** in the back of this letter shows photos of our lakefront, including the existing dock and the existing trees.



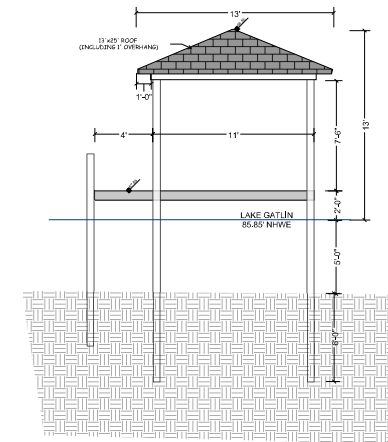




1 DOCK PLAN VIEW  
A-01 1"=4'



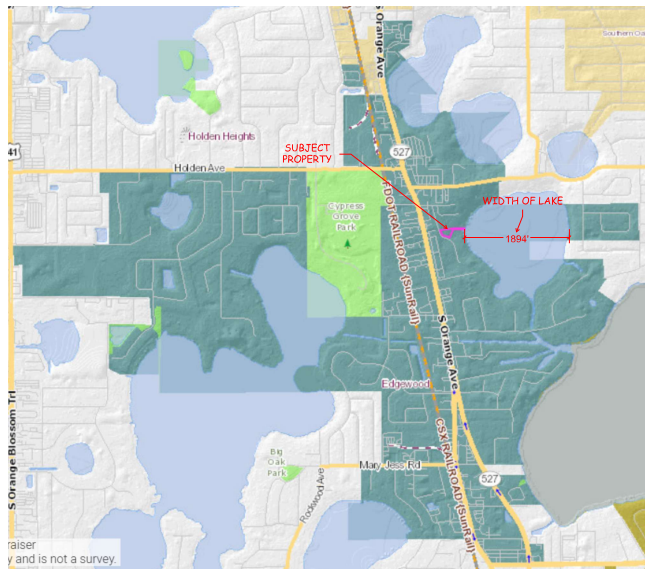
2 SOUTH ELEVATION  
A-01 1"=4'



3 EAST ELEVATION  
A-01 1"=4'

| TERMINAL PLATFORM AREA CALCULATIONS                        |                 |
|--|-----------------|
| Bow Walkway 4'x15'   | = 60 SF         |
| South Walkway 4'x23'                                       | = 92 SF         |
| Boat House 11'x23'   | = 253 SF        |
| <b>TOTAL TERMINAL PLATFORM AREA</b>                        | <b>= 405 SF</b> |
| <b>Allowable Terminal Platform Area:</b>                   |                 |
| Shoreline Linear Footage ~ 23'                             |                 |
| 12 SF per LF multiplier                                    | = 276 SF        |
| Per Ordinance, Max Terminal Platform                       | = 276 SF        |
| <b>Requested Terminal Platform Area Variance (405-276)</b> | <b>= 129 SF</b> |

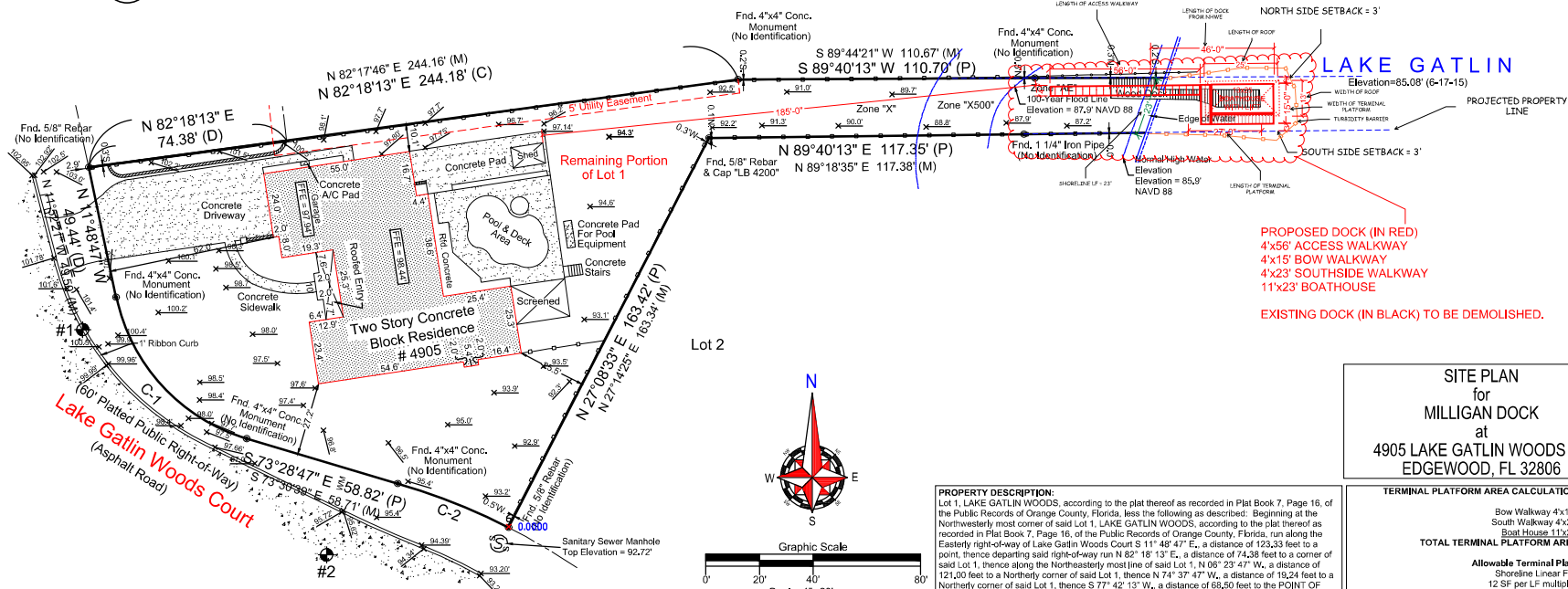
ARCHITECTURAL PLANS  
for  
MILLIGAN DOCK  
at  
4905 LAKE GATLIN WOODS CT  
EDGEWOOD, FL 32806



1 CITY LOCATION  
C-01 N.T.S.



2 AERIAL  
C-01 N.T.S.



3 SITE PLAN  
C-01 1"=20'



**AFFECTED ADJACENT PROPERTY OWNER  
LETTER OF NO OBJECTION  
TO BOAT DOCK SIDE-SETBACK WAIVER REQUEST**

Pursuant to Section 15-350, a waiver from the minimum side setback may be granted by the environmental protection officer if it is determined there is no negative impact to the environment and a notarized letter of no objection to the waiver is received from the shoreline property owner abutting the applicant's property line affected by the reduced side setback request. The required setbacks are as follows:

Section 15-343(a) states: "Private docks on lots or parcels having a shoreline frontage of one hundred (100) feet or less, including designated mooring areas, must have a minimum side setback of ten (10) feet from any property line or projected property line."

Section 15-343(b) states: "Private docks on lots or parcels having a shoreline frontage of greater than one hundred (100) feet, including designated mooring areas, must have a minimum side setback of fifteen (15) feet from any property line or projected property line."

Section 15-344(a) states: "Semi-private and public docks, including designated mooring areas, must have a minimum side setback of twenty-five (25) feet from any property line or projected property line."

To submit this form, the information below is to be completed by the affected adjacent property owner and notarized as required by Section 15-350, Orange County Code.

I, Jacqueline Tinsley, a legal property owner of property located at 4909 Lake Gatlin Woods Ct  
(Adjacent Property Owner Name) (Address)  
have reviewed the dock construction plans dated 11/17/25 for the property located at  
4905 Lake Gatlin Woods Ct, and have no objections.

The dock construction plans include a side setback waiver request of \_\_\_\_\_ feet, in lieu of the minimum setback distance required by Code.

Jacqueline Tinsley  
(Signature - Adjacent Affected Property Owner)  
Jacqueline Tinsley  
(Print Name - Adjacent Affected Property Owner)

11/17/2025  
(Date)

**ACKNOWLEDGEMENT:**

STATE OF FLORIDA  
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 17th day of November, 2025, by Jacqueline Tinsley.



HILLARY B. KRAWCZYK  
Notary Public, State of Florida  
Commission# HH 487007  
My comm. expires March 30, 2028

Hillary B. Krawczyk  
(Signature of Notary Public - State of Florida)

Personally Known \_\_\_\_\_ OR Produced Identification ☒

Type of Identification Produced FL ID # T524-436-71-911-0





**AFFECTED ADJACENT PROPERTY OWNER  
LETTER OF NO OBJECTION  
TO BOAT DOCK SIDE-SETBACK WAIVER REQUEST**

Pursuant to Section 15-350, a waiver from the minimum side setback may be granted by the environmental protection officer if it is determined there is no negative impact to the environment and a notarized letter of no objection to the waiver is received from the shoreline property owner abutting the applicant's property line affected by the reduced side setback request. The required setbacks are as follows:

Section 15-343(a) states: "Private docks on lots or parcels having a shoreline frontage of one hundred (100) feet or less, including designated mooring areas, must have a minimum side setback of ten (10) feet from any property line or projected property line."

Section 15-343(b) states: "Private docks on lots or parcels having a shoreline frontage of greater than one hundred (100) feet, including designated mooring areas, must have a minimum side setback of fifteen (15) feet from any property line or projected property line."

Section 15-344(a) states: "Semi-private and public docks, including designated mooring areas, must have a minimum side setback of twenty-five (25) feet from any property line or projected property line."

To submit this form, the information below is to be completed by the affected adjacent property owner and notarized as required by Section 15-350, Orange County Code.

I, Lionel C. Abbott, a legal property owner of property located at 200 Harbor Gardens CT, Orlando 32806  
(Adjacent Property Owner Name) (Address)

have reviewed the dock construction plans dated \_\_\_\_\_, for the property located at

4405 LAKEGATE WOOD CT, and have no objections.

The dock construction plans include a side setback waiver request of \_\_\_\_\_ feet, in lieu of the minimum setback distance required by Code.

Lionel C. Abbott  
(Signature - Adjacent Affected Property Owner)

08 Oct 2025  
(Date)

Lionel C. Abbott  
(Print Name - Adjacent Affected Property Owner)

**ACKNOWLEDGEMENT:**

STATE OF FLORIDA  
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 8 day of 2025, by Lionel C. Abbott



**CARMEN S VELAZQUEZ CASTRO**  
Notary Public  
State of Florida  
Comm# HH522681  
Expires 5/1/2028

[Signature]  
(Signature of Notary Public - State of Florida)

Personally Known \_\_\_\_\_ OR Produced Identification ☒

Type of Identification Produced Florida Driver License

## NOTICE OF PUBLIC HEARING

**Notice is hereby given** that public hearings will be held to consider a request for Variance 2026-01, which includes multiple variances related to a boat dock for the property located at 4905 Lake Gatlin Woods Court.

### Summary of Variance Requests

**1. North Side Yard Setback Variance**

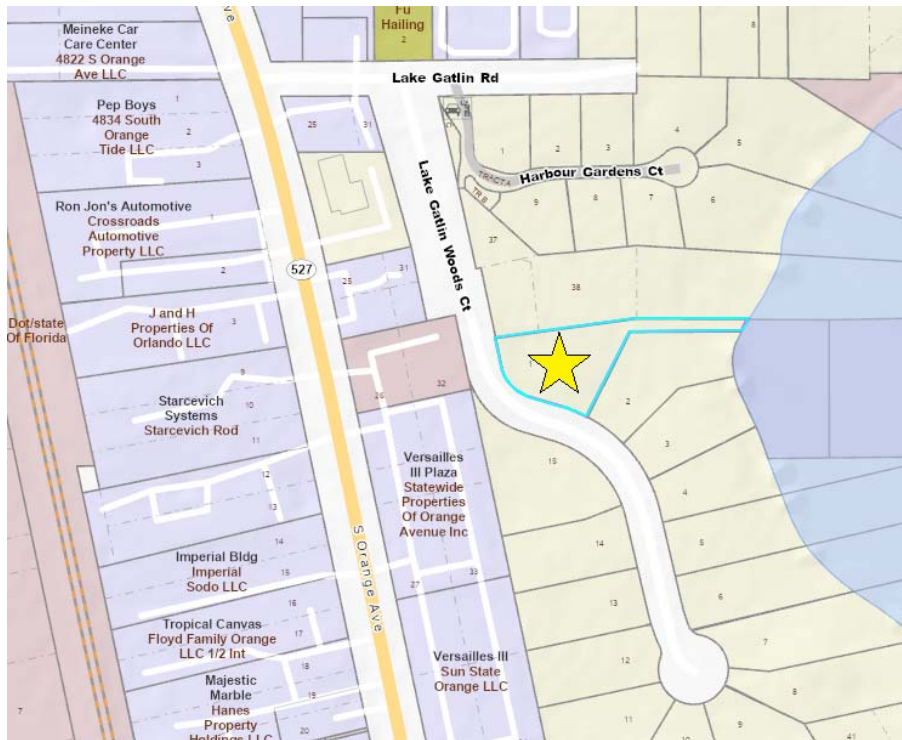
A variance is requested to allow a **3-foot setback** from the north property line where a **10-foot setback is required** (City Code Chapter 14-11(B)(1)).

**2. South Side Yard Setback Variance**

A variance is requested to allow a **3-foot setback** from the south property line where a **10-foot setback is required** (City Code Chapter 14-11(B)(1)).

**3. Dock Size Variance**

A variance is requested to allow a **405-square-foot dock**, where the maximum dock size allowed based on shoreline frontage is **276 square feet** (City Code Chapter 14-11(B)(5)).

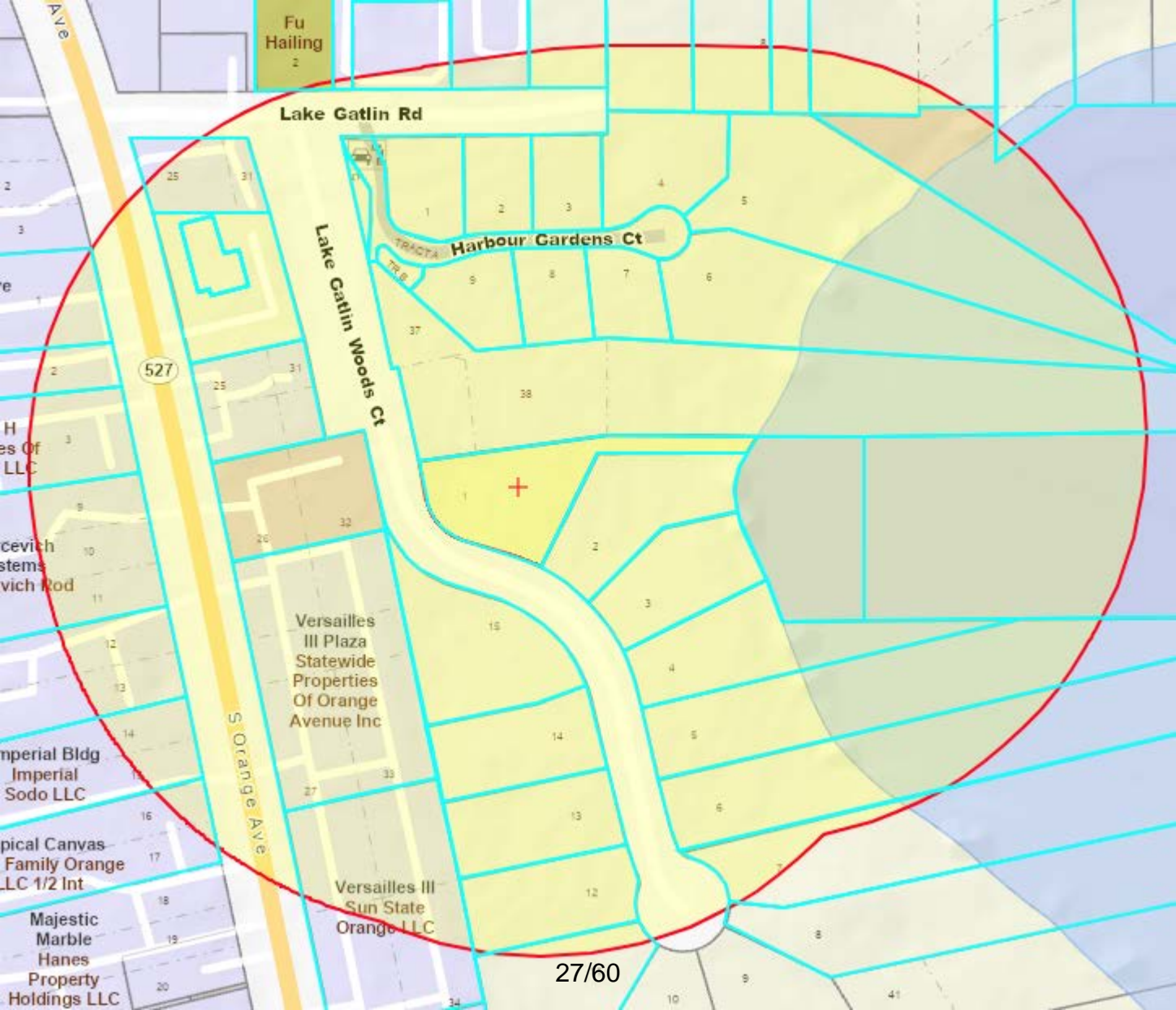


**Public Hearing Dates, Times & Location:** All hearings will be held at Edgewood City Hall council chambers, located at 405 Bagshaw Way, Edgewood, Florida 32809.

- Planning & Zoning Board Meeting - Monday, February 9, 2026 at 6:30 PM
- City Council Meeting - Tuesday, February 17, 2026 at 6:30 PM







Lake Gatlin Rd

Lake Gatlin Woods Ct

Harbour Gardens Ct

527

S Orange Ave

Versailles III Plaza  
Statewide  
Properties Of Orange  
Avenue Inc

Versailles III  
Sun State  
Orange LLC

27/60

Application: VAR 2026-01

Owner/Applicant Name: Sean Milligan

Public Hearing Dates: 2/9/26 & 2/17/26

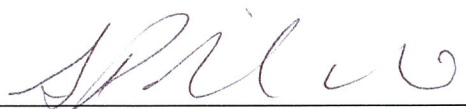
**This affidavit is to be presented at the public hearing before the Planning and Zoning Board.**

### SIGN AFFIDAVIT

STATE OF FLORIDA  
ORANGE COUNTY

Before me, the undersigned authority, personally appeared SEAN MILLIGAN,  
to me well known and known to me to be the person described in and who executed the foregoing affidavit, after being  
first duly sworn, says:

1. That the affiant posted the notice provided by the City of Edgewood, which contains the time and dated of the public hearings involved (i.e. Planning and Zoning Board and/or City Council).
2. That said posted notice also contained the relevant facts pertaining to the application.
3. That said notice was posted was posted in a conspicuous and easily visible place on the subject property not less than ten days prior to the date of public hearing. Date posted: 1/30/26.
4. That the affiant understands that this affidavit is intended to be submitted as a prerequisite for a public hearing, and as such will be officially filed with the City of Edgewood, Florida.



Signature of owner or authorized representative

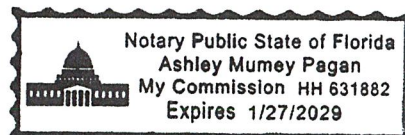
State of Florida County of Orange  
Sworn to and subscribed before me this 30 day of January, 20 26 via physical presence.

Ashley Mumey Pagan  
Print, type, or stamp commissioned name of Notary Public

HH 631882  
Notary Public, State of Florida

Personally Known OR Produced Identification

Type of I.D. Produced Drivers License





# **4901 S Orange Ave. - Mosaic Salon Site Plan Approval**



Date: February 3, 2026  
 To: Planning and Zoning Board  
 From: Ellen Hardgrove, City Planning Consultant  
 Allen Lane, City Engineer  
 Galen Pugh, City Landscape Architect  
 XC: Brett Sollazzo, Administrative & Permitting Manager  
 Drew Smith, City Attorney  
 Sandy Riffle, City Clerk  
 Re: Site Plan Approval for 4901 South Orange Avenue

### APPLICATION SUMMARY

**Request:** Approval of a site plan for the property located at 4901 South Orange Avenue (formerly Baldwin Fairchild Funeral Home).

**Project Overview:** The applicant proposes transforming the existing building into a two-suite, multi-tenant commercial space. The scope of work includes interior structural alterations, modernization of the building façade, and parking lot upgrades.

**Site History & Context** The original site plan was approved in 1982 as part of "Versailles Plaza III." While the subject property has since been sold and separated from the property of this approved site plan, the parking lots remain physically linked. However, there is currently no recorded cross-access easement governing this connection.

**Staff Findings:** Staff finds the proposed site plan significantly improves the site's aesthetic and functional quality by:

- Updating the building façade.



- Repaving/restriping the parking lot
- Locating ADA-compliant parking stalls and ramp adjacent to the building entrance.
- Providing a screened enclosure for the dumpster.
- Re-installing code-compliant landscaping, including along Orange Avenue. (Note: because no building expansion is proposed, the parking lot remains governed by the 1974 landscaping standards active during the original 1982 construction).

While a new hedge is proposed along Orange Avenue, staff recommends replacement of the existing crape myrtles. The City's Landscape Architect has determined that those crape myrtles have been damaged beyond recovery. Staff recommends replacement with evergreen understory trees. Evergreen trees would be more consistent with the ECD's intended corridor design and the size is necessary due to overhead utility lines.

Additionally, staff recommends formalizing the vehicular and pedestrian cross-access easement in Orange County records. This will preserve the Code-required connection with the property to the south (Code Section 134-142).

Conclusion: With these two recommendations, staff finds the proposed site plan (dated Received February 3, 2026) consistent with Article II, Division 5 of the City Zoning Code and other applicable requirements.

#### RECOMMENDED PLANNING AND ZONING BOARD MOTION

The Planning and Zoning Board recommends the site plan dated Received February 3, 2026 for the property at 4901 South Orange Avenue be approved subject to the following conditions:

1. Prior to Certificate of Occupancy of the building, a cross-access easement must be recorded in Orange County public records to formally preserve vehicular and pedestrian connectivity with the adjacent Versailles Plaza III property to the south.
2. The three existing crape myrtles along Orange Avenue shall be replaced with evergreen understory trees approved by the City's Landscape Architect.

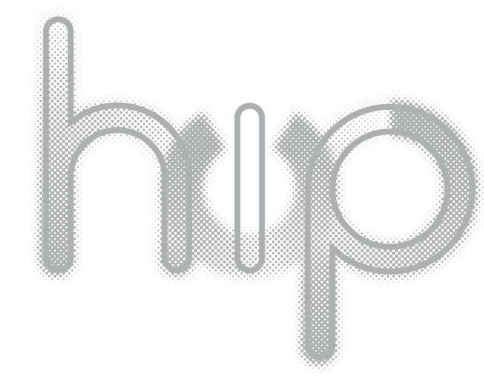




**SODO MOSAIC SALON**

**4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806**





ARCHITECT

HIP.HOP.DESIGN STUDIO, LLC  
JAMES CORNETT  
PO BOX 2422  
ROUND ROCK, TX 78680  
740.525.2268

LICENSE NO: #AR95132

SODO MOSAIC SALON  
4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806

| REVISION NO. | DESCRIPTION | DATE |
|--------------|-------------|------|
|--------------|-------------|------|

CURRENT REVISION ISSUE DATE:

ORIGINAL SHEET ISSUE DATE:  
2026.02.02

ISSUE

CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

SHEET TITLE  
SHEET INDEX

SHEET NO

A0.00

| DRAWING INDEX |  |                                       |            |            |            |            |
|---------------|--|---------------------------------------|------------|------------|------------|------------|
| SHEET NUMBER  | SHEET NAME                               | CITY OF EDGEWOOD SITE PLAN SUBMISSION |            |            |            |            |
|               |  |                                       | REVISION 1 | REVISION 2 | REVISION 3 | REVISION 4 |
| ARCHITECTURE  |  |                                       |            |            |            |            |
| COVER         | COVER SHEET                              | X                                     |            |            |            |            |
| A0.00         | SHEET INDEX                              | X                                     |            |            |            |            |
| A0.01         | INFORMATION & CODE DATA                  |                                       |            |            |            |            |
| A0.02         | GENERAL CONSTRUCTION CONDITIONS          |                                       |            |            |            |            |
| A0.20         | LIFE SAFETY PLAN                         |                                       |            |            |            |            |
| A0.30         | TAS 2012 INFORMATION                     |                                       |            |            |            |            |
| A0.31         | TAS 2012 INFORMATION                     |                                       |            |            |            |            |
| A0.40         | CLEAR FLOOR SPACE                        |                                       |            |            |            |            |
| A0.45         | TOILET ACCESSORIES                       |                                       |            |            |            |            |
| A0.50         | EXISTING/DEMO SITE PLAN                  | X                                     |            |            |            |            |
| A0.51         | EXISTING/DEMOLITION FLOOR PLAN           | X                                     |            |            |            |            |
| A0.53         | EXISTING/DEMOLITION ELEVATIONS           | X                                     |            |            |            |            |
| A1.00         | SITE PLAN                                | X                                     |            |            |            |            |
| A1.01         | SITE PLAN DETAILS                        | X                                     |            |            |            |            |
| A1.02         | LANDSCAPE PLAN                           | X                                     |            |            |            |            |
| A1.11         | NEW CONSTRUCTION FLOOR PLAN              | X                                     |            |            |            |            |
| A1.11F        | LEVEL 1 FINISH FLOOR PLAN                |                                       |            |            |            |            |
| A1.12         | ROOF PLAN                                |                                       |            |            |            |            |
| A1.50         | ENLARGED RESTROOM PLANS & ELEVATIONS     |                                       |            |            |            |            |
| A2.01         | REFLECTED CEILING PLAN                   |                                       |            |            |            |            |
| A2.10         | CEILING DETAILS                          |                                       |            |            |            |            |
| A4.00         | EXTERIOR ELEVATIONS                      | X                                     |            |            |            |            |
| A4.01         | EXTERIOR PERSPECTIVES                    | X                                     |            |            |            |            |
| A4.50         | INTERIOR ELEVATIONS                      |                                       |            |            |            |            |
| A5.01         | WALL SECTIONS                            |                                       |            |            |            |            |
| A5.20         | PLAN DETAILS                             |                                       |            |            |            |            |
| A5.50         | PARTITION TYPES                          |                                       |            |            |            |            |
| A5.51         | PARTITION TYPES                          |                                       |            |            |            |            |
| A5.52         | STANDARD BLOCKING/BACKING DETAILS        |                                       |            |            |            |            |
| A9.00         | DOOR TYPES, FRAME TYPES & SCHEDULE NOTES |                                       |            |            |            |            |
| A9.01         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.02         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.03         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.04         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.05         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.06         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.07         | DOOR HEADER, JAMB & SILL DETAILS         |                                       |            |            |            |            |
| A9.10         | STOREFRONT TYPES                         |                                       |            |            |            |            |
| A9.11         | FLOOR TRANSITION DETAILS                 |                                       |            |            |            |            |
| A9.12         | FLOOR TRANSITION DETAILS                 |                                       |            |            |            |            |
| A9.50         | FINISH SCHEDULE                          |                                       |            |            |            |            |
| STRUCTURAL    |  |                                       |            |            |            |            |
| S1.00         | STRUCTURAL PLACEHOLDER                   |                                       |            |            |            |            |
| MECHANICAL    |  |                                       |            |            |            |            |
| M1.00         | MECHANICAL PLACEHOLDER                   |                                       |            |            |            |            |
| PLUMBING      |  |                                       |            |            |            |            |
| P1.00         | PLUMBING PLACEHOLDER                     |                                       |            |            |            |            |
| ELECTRICAL    |  |                                       |            |            |            |            |
| E1.00         | ELECTRICAL PLACEHOLDER                   |                                       |            |            |            |            |



DEMOLITION KEY NOTES

- 1

EXISTING ELECTRICAL EQUIPMENT AND PAD TO REMAIN.
- 2

REMOVE EXISTING COUNTER AND MILLWORK IN ITS ENTIRETY.
- 3

REMOVE EXISTING PLUMBING FIXTURE AND RETURN TO GENERAL CONTRACTOR. CAP AND REMOVE ALL ASSOCIATED PIPING ABOVE CEILING, IN WALLS, AND BELOW SLAB THAT WILL NO LONGER BE USED.
- 4

REMOVE EXISTING STONE CLADDING IN ITS ENTIRETY.
- 5

REMOVE EXISTING EXTERIOR DOOR IN ITS ENTIRETY. INFILL OPENING W/ CMU BLOCK, REF: STRUCTURAL.
- 6

REMOVE EXISTING WINDOW IN ITS ENTIRETY.
- 7

REMOVE EXISTING CMU BLOCK WALL, PER EXTENTS IDENTIFIED IN ELEVATIONS AND FLOOR PLAN. REF: STRUCTURAL ENGINEER DRAWINGS.
- 8

REMOVE EXISTING STOREFRONT DOOR IN ITS ENTIRETY.
- 9

EXISTING POLE SIGN TO REMAIN.
- 10

REMOVE EXISTING LIGHT FIXTURE IN ITS ENTIRETY. CAP EXISTING J-BOX AND WIRING FOR NEW LIGHT FIXTURE.
- 11

REMOVE EXISTING CEILING FINISH AND LIGHT FIXTURES.
- 12

REMOVE DRYWALL FURROUT AT PERIMETER OF EXTERIOR WALL.
- 13

REMOVE EXISTING NON-LOADBEARING WALL IN ITS ENTIRETY.
- 14

REMOVE EXISTING FLOORING IN ITS ENTIRETY, PREP FLOOR TO RECEIVE NEW FINISH. REF: FINISH FLOOR PLAN.
- 15

EXISTING MECHANICAL EQUIPMENT TO REMAIN.
- 16

REMOVE EXISTING LIGHT FIXTURE IN ITS ENTIRETY. CAP EXISTING J-BOX AND WIRING FOR NEW LIGHT FIXTURE. REF: NEW CONSTRUCTION REFLECTED CEILING PLAN FOR NEW LOCATION.
- 17

ALL STRIPING TO BE REMOVED.
- 18

WHEELSTOPS TO BE SALVAGED AND RE-USED FOR NEW STRIPING PLAN.

- 19

EXISTING CONCRETE FLUME TO REMAIN.
- 20

EXISTING CONCRETE CURB TO REMAIN.
- 21

REMOVE EXISTING ISLAND IN ITS ENTIRETY AND CONSTRUCT NEW LANDSCAPE ISLAND. REF: NEW CONSTRUCTION SITE PLAN FOR EXTENTS.
- 22

EXISTING PARKING SIGN TO BE REMOVED IN ITS ENTIRETY.
- 23

REMOVE EXISTING LANDSCAPE PLANTER IN ITS ENTIRETY.
- 24

REMOVE OVERGROWN VEGETATION FROM EDGE OF PARKING LOT. RESTORE DAMAGED PARKING LOT PER ORIGINAL CONDITION. SEE NEW CONSTRUCTION SITE PLAN FOR DIMENSIONS.
- 25

CUT BACK EYE OVERHANG FOR NEW PARAPET CONSTRUCTION. REF: NEW CONSTRUCTION PLANS AND STRUCTURAL DRAWINGS.
- 26

REMOVE FABRIC AWNING IN ITS ENTIRETY.
- 27

REMOVE SECTION OF CONCRETE SIDEWALK FOR NEW ADA RAMP. REF: NEW CONSTRUCTION DRAWINGS FOR EXTENTS.
- 28

REMOVE SECTION OF ASPHALT PARKING LOT FOR NEW LANDSCAPE PLANTER. REF: NEW CONSTRUCTION DRAWINGS FOR EXTENTS.

GENERAL DEMOLITION NOTES

1.

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
2.

REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION OF THE NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, FIXTURES, PIPING, CONDUIT, WIRE, ETC, NOT REQUIRED IN CONNECTION WITH THE WORK.
3.

THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE DEVIATION FROM THESE DRAWINGS. REFER TO DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
4.

THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTORS BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5.

ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER.
6.

THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK.
7.

PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE NOTED TO REMAIN IN PLACE.
8.

TAKE SPECIAL PRECAUTIONS TO PROTECT EXISTING ITEMS AND MATERIALS THAT ARE TO BE REUSED DURING THEIR REMOVAL, HANDLING, AND STORAGE.
9.

REPLACE ALL ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
10.

PROTECT ACCESS TO OCCUPIED SPACES FOR CONTINUOUS OPERATION.
11.

COORDINATE ALL WORK WITH THE OWNER IN ORDER TO AVOID INTERFERING WITH THE OWNER'S OPERATION.
12.

REMOVAL OF THE BUILDING PARTS SHALL BE PERFORMED IN A SAFE, ORDERLY, AND CAREFUL MANNER, WITH CONSIDERATION AT ALL TIMES FOR THE SAFETY AND WELFARE OF THE PUBLIC, TENANTS, AND PERSONNEL OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
13.

MAINTAIN THE UTILITIES TO OCCUPIED SPACES AT ALL TIMES DURING BUSINESS HOURS.
14.

AREAS INVOLVED SHALL BE KEPT CLEAN DURING WORKING HOURS AND SHALL BE SWEEPED BROOM CLEAN AT THE END OF EACH WORK DAY.
15.

ALL UNSALVAGEABLE MATERIALS DEVELOPED DUE TO THIS DEMOLITION SHALL BECOME THE PROPERTY OF THE DEMOLITION CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS NOTED OTHERWISE.
16.

METHODS OF HANDLING MATERIALS, RUBBISH, AND/OR DEBRIS SHALL BE SUCH THAT THE SCATTERING OF DUST SHALL BE HELD TO A MINIMUM.
17.

TRUCKS AND/OR OTHER FORMS OF TRANSPORTATION USED FOR HAULING MATERIALS, TRASH AND/OR DEBRIS FROM THE SITE SHALL BE SUCH THAT NO MATERIALS, TRASH OR DEBRIS IS DROPPED OR SCATTERED ALONG THE ROUTE OF TRAVEL EITHER ON SITE OR AFTER LEAVING THE SITE.
18.

THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES AND THE CONTRACTOR SHALL PREPARE THESE SURFACES TO RECEIVE THE NEW FINISHES.
19.

COMPLY WITH NFPA CODE 241, "BUILDING CONSTRUCTION AND DEMOLITION OPERATIONS", ANSI-A10 SERIES STANDARDS FOR "SAFETY REQUIREMENTS FOR CONSTRUCTION AND DEMOLITION", NECA ELECTRICAL DESIGN LIBRARY "TEMPORARY ELECTRICAL FACILITIES" AND "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
20.

MATERIALS NOT REINCORPORATED INTO THE WORK AND NOT INDICATED TO BE SALVAGED BY PROPERTY MANAGEMENT SHALL BE REMOVED FROM PREMISES ON A REGULAR BASIS AND DISPOSED OF IN A LEGAL MANNER.
21.

SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, CAPPED OR PLUGGED IN CONFORMITY WITH LOCAL LAWS AND ORDINANCES. REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH A MANNER AS NOT TO INTERFERE WITH THE USE OF THE OCCUPIED SPACES IN THE BUILDING.
22.

ABANDONED TELE/DATA CABLING SHALL BE REMOVED.
23.

LINES SUCH AS WATER, SEWER, OR SIMILAR UTILITIES THAT ARE TO BE ABANDONED SHALL BE CAPPED OR PLUGGED AS NECESSARY IN AN APPROVED MANNER.
24.

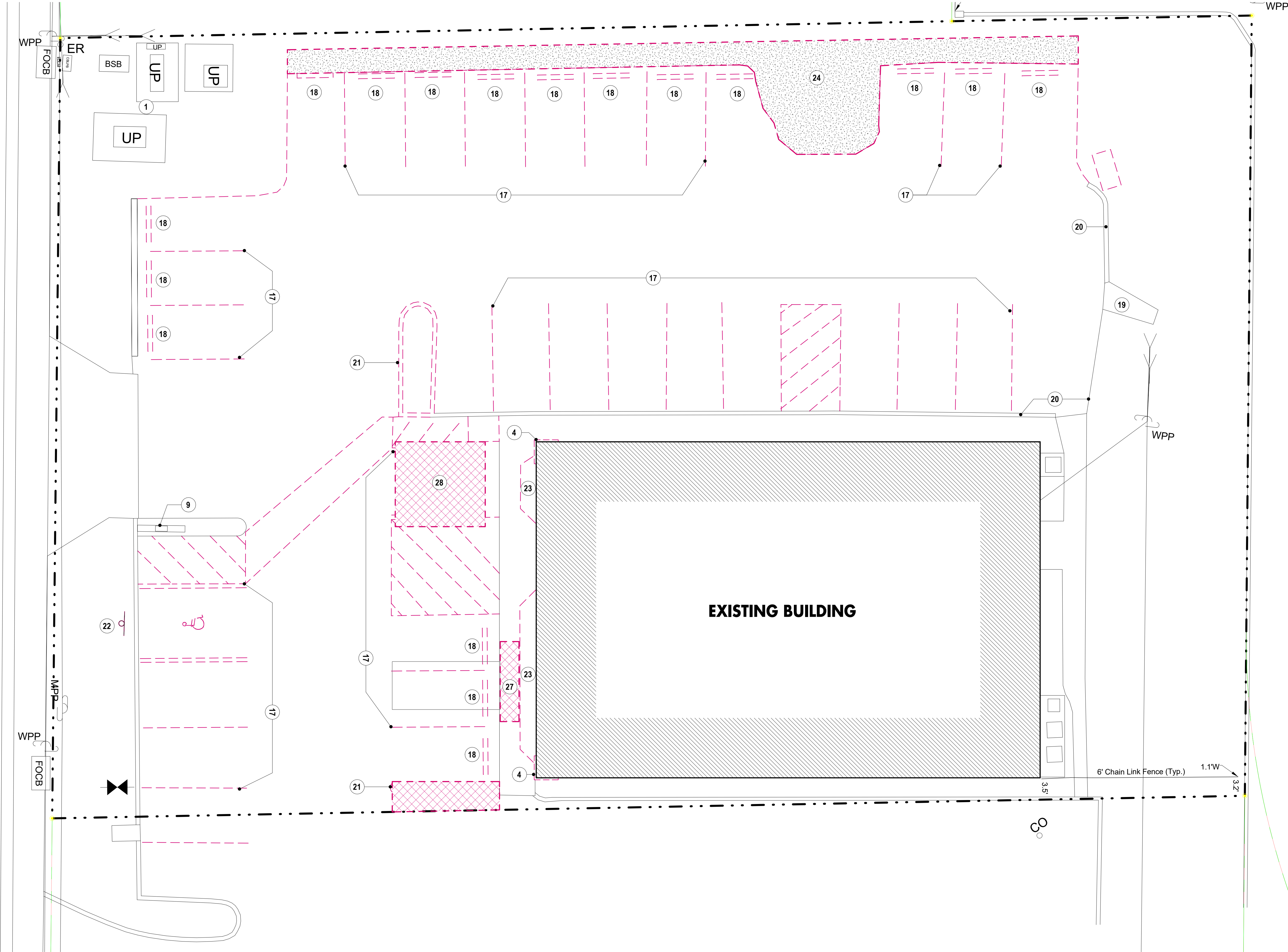
REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION.
25.

ALL EXISTING DIMENSIONS TO BE FIELD VERIFIED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
26.

REMOVE ALL EXTERIOR & INTERIOR FINISHES, DEMOLISH TO WOOD STUD CONSTRUCTION.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- AREA NOT INCLUDED IN SCOPE OF WORK



EXISTING/DEMOLITION -  
ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

ARCHITECT

HIP.HOP.DESIGN STUDIO, LLC  
JAMES CORNETT  
PO BOX 2422  
ROUND ROCK, TX 78680  
740.525.2268

LICENSE NO: #AR95132

SODO MOSAIC SALON

4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806

REVISION  
NO. DESCRIPTION DATE

CURRENT REVISION ISSUE DATE:

ORIGINAL SHEET ISSUE DATE:  
2026.02.02

ISSUE

CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

SHEET TITLE  
EXISTING/DEMO SITE  
PLAN

SHEET NO.

A0.50



DEMOLITION KEY NOTES

- 1

EXISTING ELECTRICAL EQUIPMENT AND PAD TO REMAIN.
- 2

REMOVE EXISTING COUNTER AND MILLWORK IN ITS ENTIRETY.
- 3

REMOVE EXISTING PLUMBING FIXTURE AND RETURN TO GENERAL CONTRACTOR. CAP AND REMOVE ALL ASSOCIATED PIPING ABOVE CEILING, IN WALLS, AND BELOW SLAB THAT WILL NO LONGER BE USED.
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REMOVE EXISTING STONE CLADDING IN ITS ENTIRETY.
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REMOVE EXISTING EXTERIOR DOOR IN ITS ENTIRETY. INFILL OPENING W/ CMU BLOCK, REF: STRUCTURAL.
- 6

REMOVE EXISTING WINDOW IN ITS ENTIRETY.
- 7

REMOVE EXISTING CMU BLOCK WALL, PER EXTENTS IDENTIFIED IN ELEVATIONS AND FLOOR PLAN. REF: STRUCTURAL ENGINEER DRAWINGS.
- 8

REMOVE EXISTING STOREFRONT DOOR IN ITS ENTIRETY.
- 9

EXISTING POLE SIGN TO REMAIN.
- 10

REMOVE EXISTING LIGHT FIXTURE IN ITS ENTIRETY. CAP EXISTING J-BOX AND WIRING FOR NEW LIGHT FIXTURE.
- 11

REMOVE EXISTING CEILING FINISH AND LIGHT FIXTURES.
- 12

REMOVE DRYWALL FURROUT AT PERIMETER OF EXTERIOR WALL.
- 13

REMOVE EXISTING NON-LOADBEARING WALL IN ITS ENTIRETY.
- 14

REMOVE EXISTING FLOORING IN ITS ENTIRETY, PREP FLOOR TO RECEIVE NEW FINISH. REF: FINISH FLOOR PLAN.
- 15

EXISTING MECHANICAL EQUIPMENT TO REMAIN.
- 16

REMOVE EXISTING LIGHT FIXTURE IN ITS ENTIRETY. CAP EXISTING J-BOX AND WIRING FOR NEW LIGHT FIXTURE. REF: NEW CONSTRUCTION REFLECTED CEILING PLAN FOR NEW LOCATION.
- 17

ALL STRIPING TO BE REMOVED.
- 18

WHEELSTOPS TO BE SALVAGED AND RE-USED FOR NEW STRIPING PLAN.

- 19

EXISTING CONCRETE FLUME TO REMAIN.
- 20

EXISTING CONCRETE CURB TO REMAIN.
- 21

REMOVE EXITING ISLAND IN ITS ENTIRETY AND CONSTRUCT NEW LANDSCAPE ISLAND. REF: NEW CONSTRUCTION SITE PLAN FOR EXTENTS.
- 22

EXISTING PARKING SIGN TO BE REMOVED IN ITS ENTIRETY.
- 23

REMOVE EXISTING LANDSCAPE PLANTER IN ITS ENTIRETY.
- 24

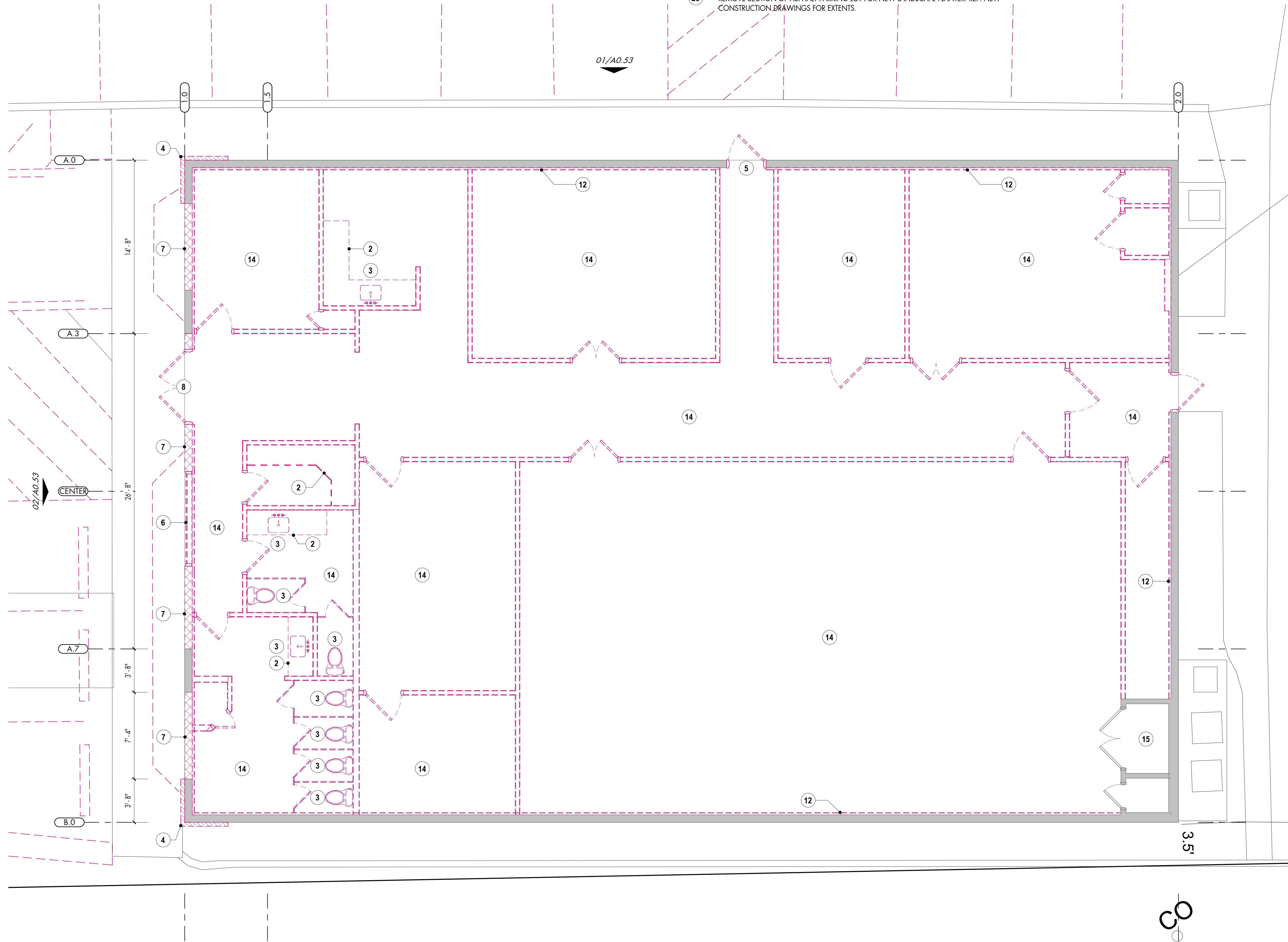
REMOVE OVERGROWN VEGETATION FROM EDGE OF PARKING LOT. RESTORE DAMAGED PARKING LOT PER ORIGINAL CONDITION. SEE NEW CONSTRUCTION SITE PLAN FOR DIMENSIONS.
- 25

CUT BACK EYE OVERHANG FOR NEW PARAPET CONSTRUCTION. REF: NEW CONSTRUCTION PLANS AND STRUCTURAL DRAWINGS.
- 26

REMOVE FABRIC AWNING IN ITS ENTIRETY.
- 27

REMOVE SECTION OF CONCRETE SIDEWALK FOR NEW ADA RAMP. REF: NEW CONSTRUCTION DRAWINGS FOR EXTENTS.
- 28

REMOVE SECTION OF ASPHALT PARKING LOT FOR NEW LANDSCAPE PLANTER. REF: NEW CONSTRUCTION DRAWINGS FOR EXTENTS.



GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
2. REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION OF THE NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, FIXTURES, PIPING, CONDUIT, WIRE, ETC, NOT REQUIRED IN CONNECTION WITH THE WORK.
3. THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE DEVIATION FROM THESE DRAWINGS. REFER TO DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTORS BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5. ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER.
6. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK.
7. PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE NOTED TO REMAIN IN PLACE.
8. TAKE SPECIAL PRECAUTIONS TO PROTECT EXISTING ITEMS AND MATERIALS THAT ARE TO BE REUSED DURING THEIR REMOVAL, HANDLING, AND STORAGE.
9. REPLACE ALL ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
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12. REMOVAL OF THE BUILDING PARTS SHALL BE PERFORMED IN A SAFE, ORDERLY, AND CAREFUL MANNER, WITH CONSIDERATION AT ALL TIMES FOR THE SAFETY AND WELFARE OF THE PUBLIC, TENANTS, AND PERSONNEL OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
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26. REMOVE ALL EXTERIOR & INTERIOR FINISHES, DEMOLISH TO WOOD STUD CONSTRUCTION.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- AREA NOT INCLUDED IN SCOPE OF WORK



ARCHITECT

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LICENSE NO: #AR95132

SODO MOSAIC SALON

4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806

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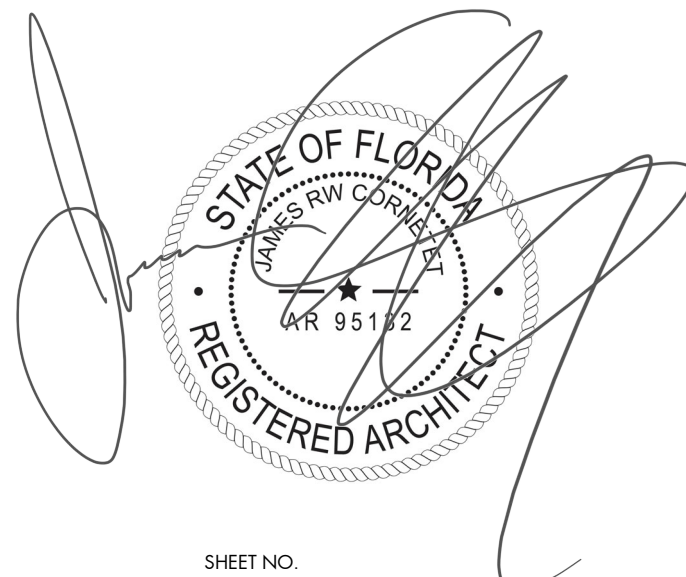
CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

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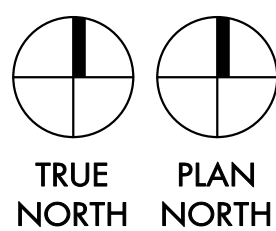
EXISTING/DEMOLITION  
FLOOR PLAN

SHEET NO.

A0.51



LEVEL 1 - EXISTING/  
DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"



01



DEMOLITION KEY NOTES

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EXISTING ELECTRICAL EQUIPMENT AND PAD TO REMAIN.
- 2

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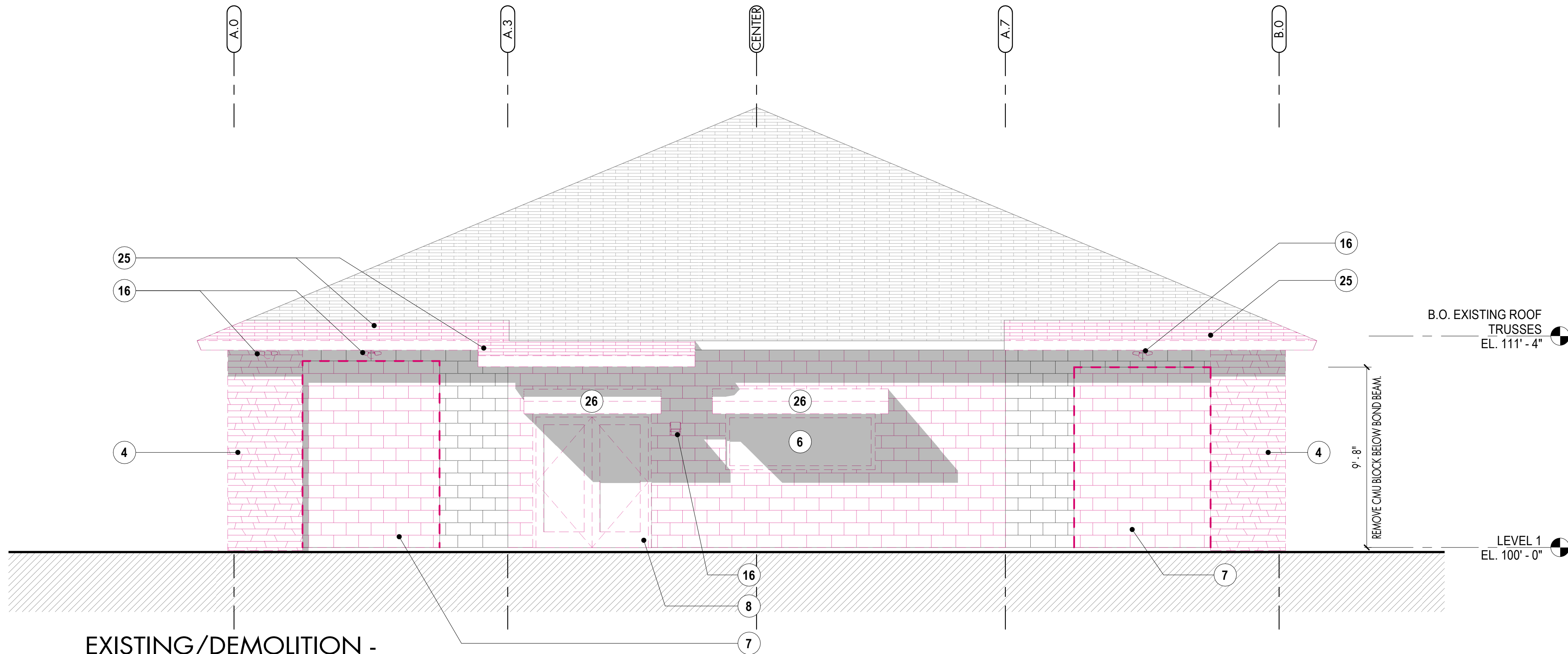
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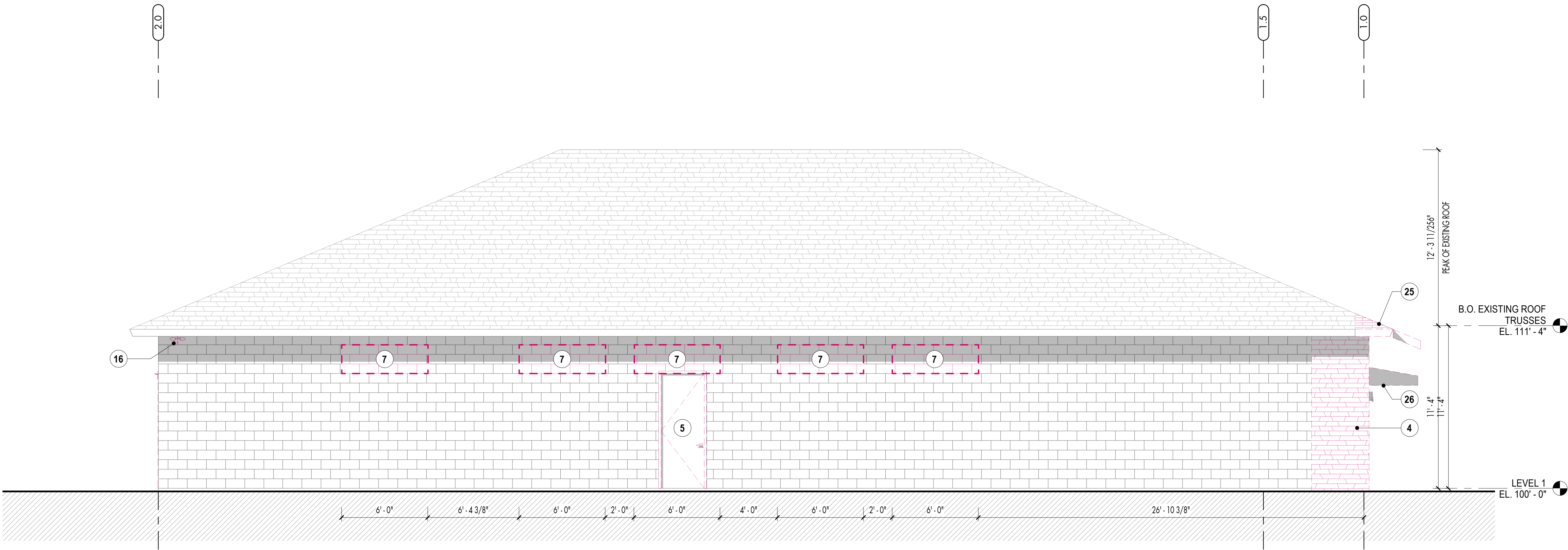
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- 28

REMOVE SECTION OF ASPHALT PARKING LOT FOR NEW LANDSCAPE PLANTER. REF: NEW CONSTRUCTION DRAWINGS FOR EXTENTS.



02 EXISTING/DEMOLITION - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



01 EXISTING/DEMOLITION - NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- AREA NOT INCLUDED IN SCOPE OF WORK



ARCHITECT

HIP.HOP.DESIGN STUDIO, LLC  
JAMES CORNETET  
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LICENSE NO: #AR95132

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ORLANDO FLORIDA 32806

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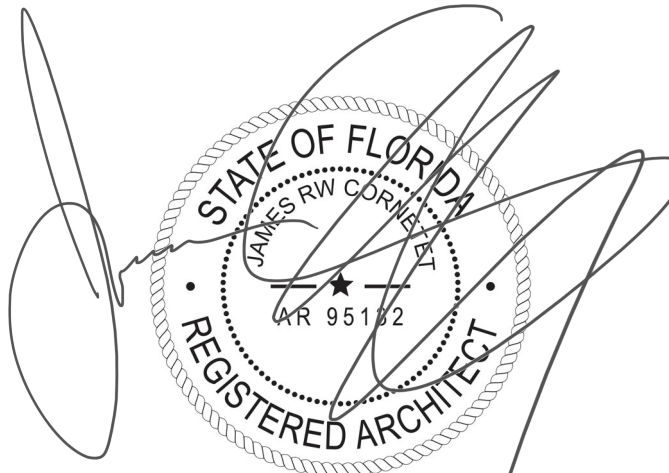
CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

SHEET TITLE

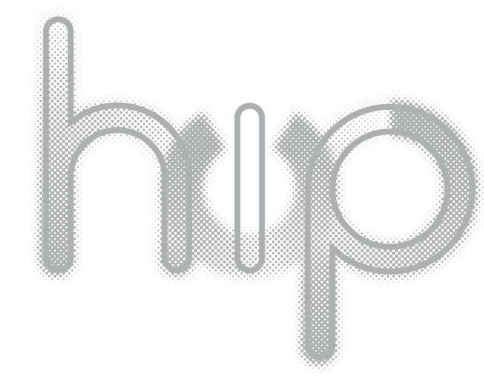
EXISTING/DEMOLITION  
ELEVATIONS

SHEET NO.

A0.53







ARCHITECT

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SITE KEY NOTES

- 1 RE-USE SALVAGED WHEEL STOP, NEW PRECAST PARKING STOPS WHERE NEEDED, TYP.
- 2 ROCK SALT FINISH FOR ALL CONCRETE SIDEWALKS. LEAVE CEDAR FORMS IN PLACE AT ALL CONTROL JOINTS IN SIDEWALK.
- 3 LANDSCAPED AREA.
- 4 EXISTING POLE SIGN.
- 5 NEW WATER FOUNTAIN.
- 6 EXISTING SIDEWALK.
- 7 STUCCO SLURRY, DIRECT APPLIED TO CMU WALL. COLOR: CRYSTAL WHITE
- 8 STEEL FRAMED GATE. W/ SELF CLOSING HINGES CLAD IN IPE BRAZILIAN WALNUT TREX.
- 9 16" RAISED LANDSCAPE PLANTER, CONSTRUCTED W/ 4" CMU BLOCK. STUCCO SLURRY, DIRECT APPLIED TO CMU WALL. COLOR: CRYSTAL WHITE PROVIDE IRRIGATION AND DRAINAGE WEEPS.
- 10 PROVIDE MAXIMUM 2% CROSS-SLOPE AT ALL NEW FLATWORK.
- 12 2-CUBIC YARD DUMPSTER.

| PARKING SCHEDULE                               |       |            |
|--|-------|------------|
| PARKING STALL TYPE                             | COUNT | PERCENTAGE |
| 9'-0" x 20'-0" [24' AISLE] - Standard COE      | 17    | 49%        |
| 10'-0" x 18'-0" [24' AISLE] - Standard COE     | 16    | 46%        |
| 12' x 18' [27' AISLE] - HC COO                 | 1     | 3%         |
| 12' x 18' [27' AISLE] - HC Van_Aisle Right COO | 1     | 3%         |
| GRAND TOTAL:                                   | 35    | 100%       |

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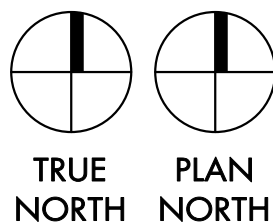
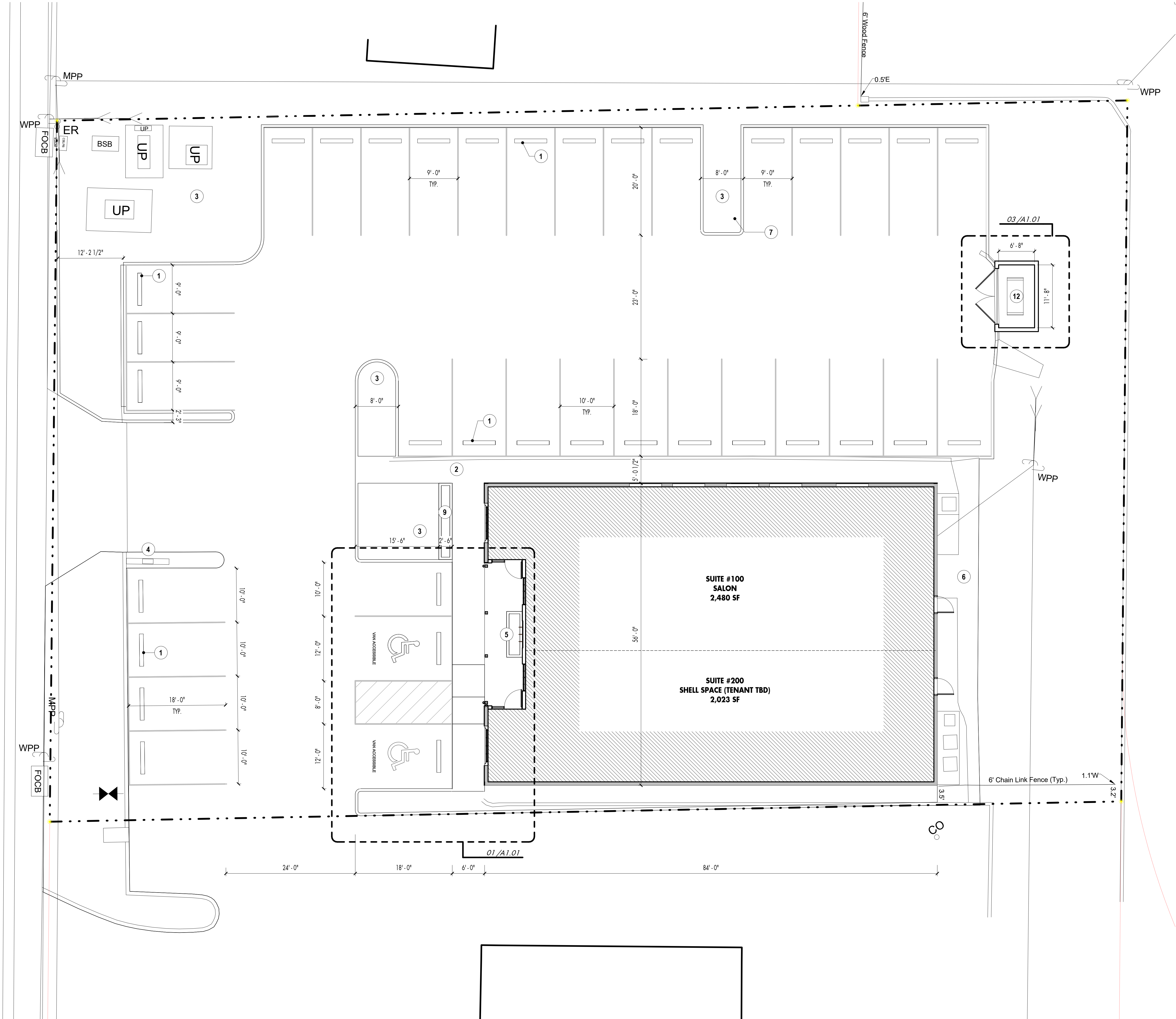
ISSUE

CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

SHEET TITLE  
SITE PLAN

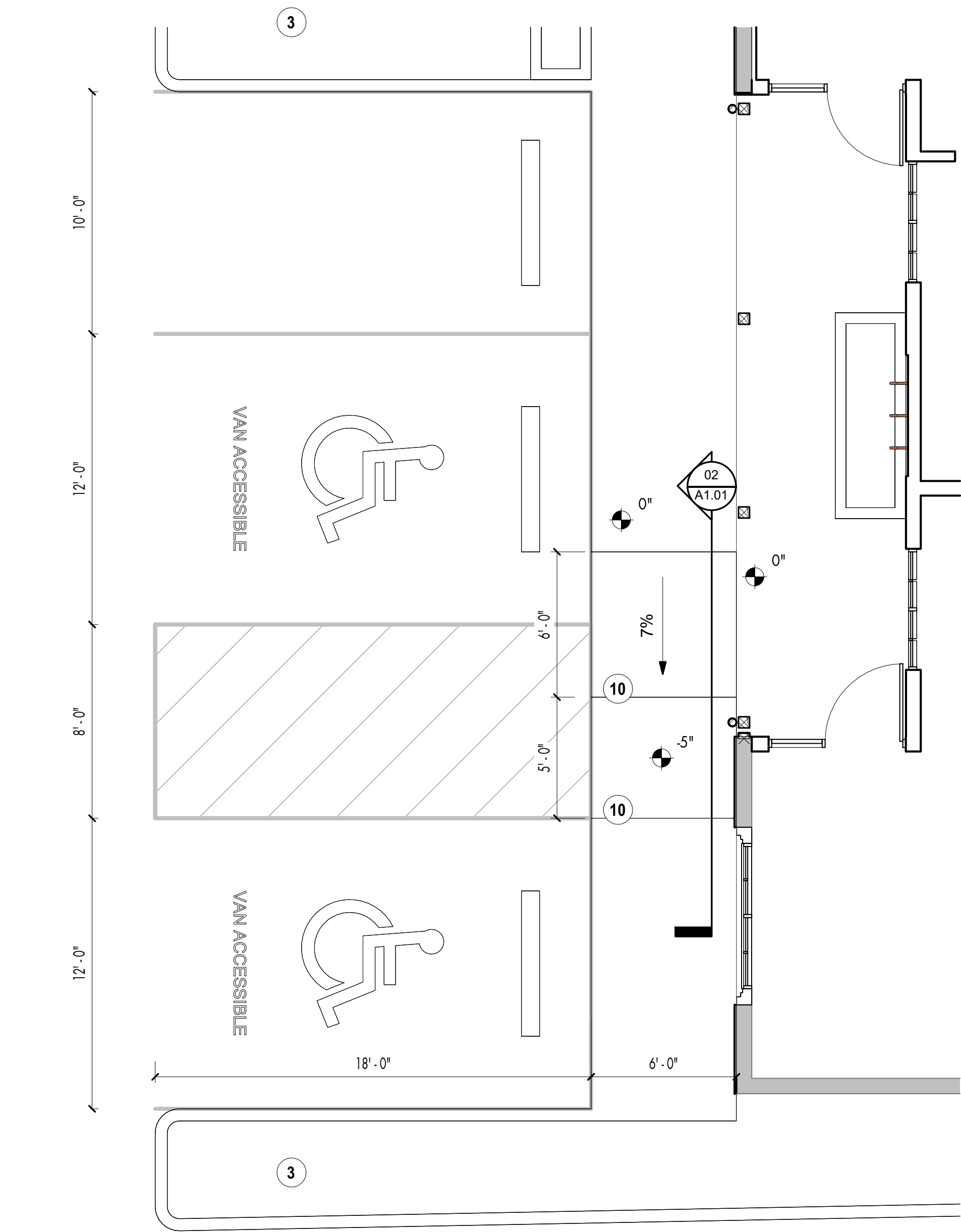
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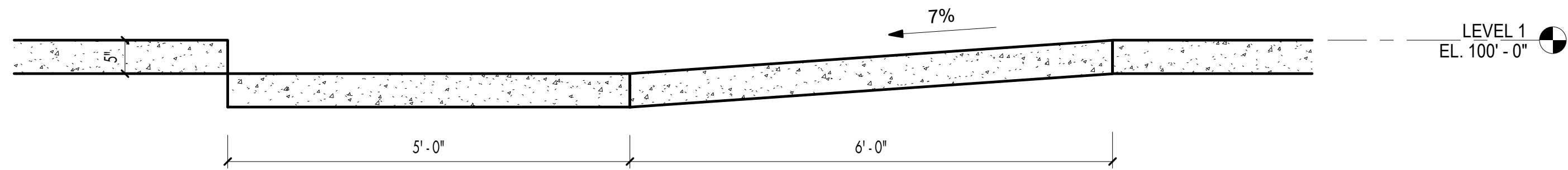


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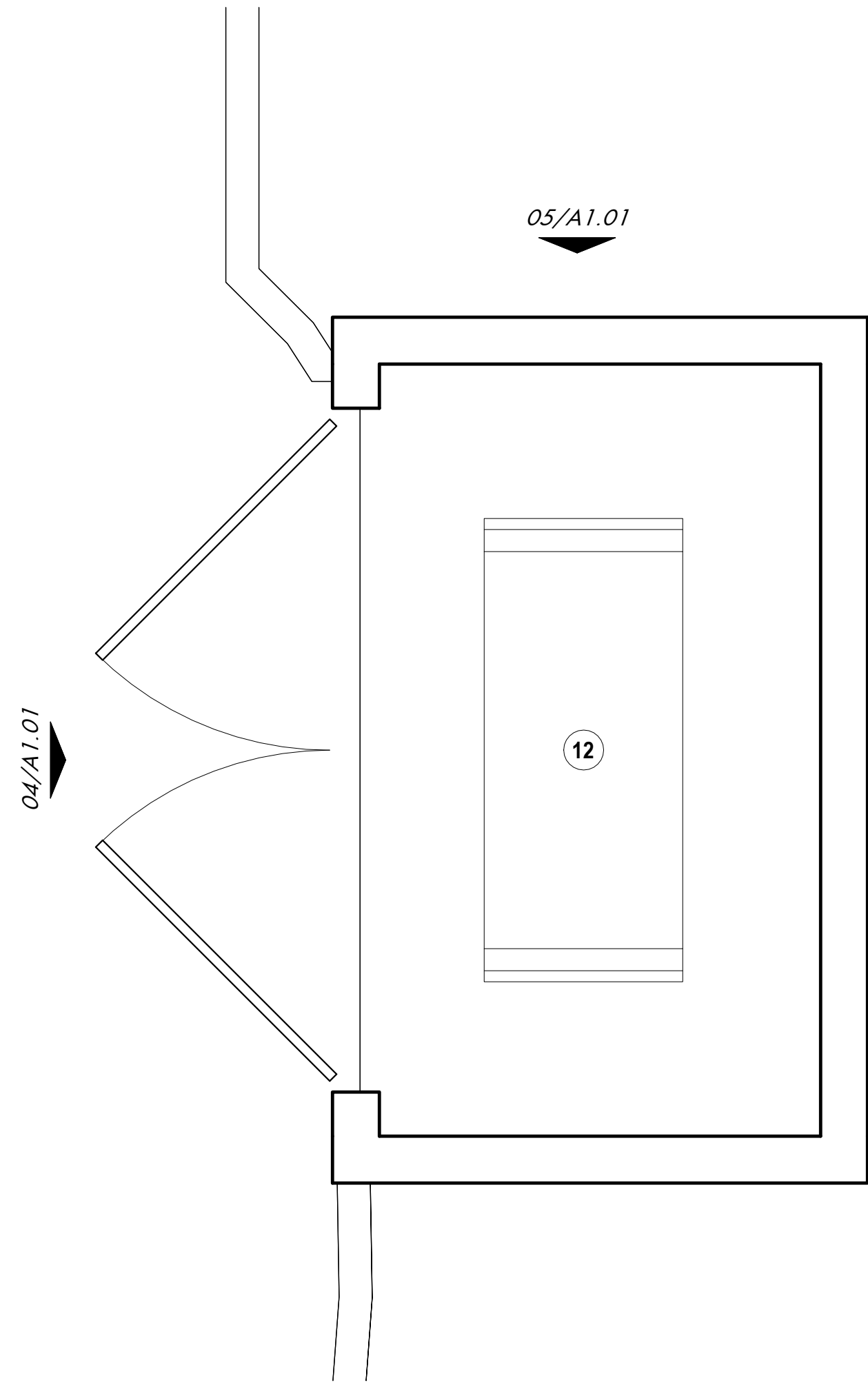
NEW CONSTRUCTION -  
ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"



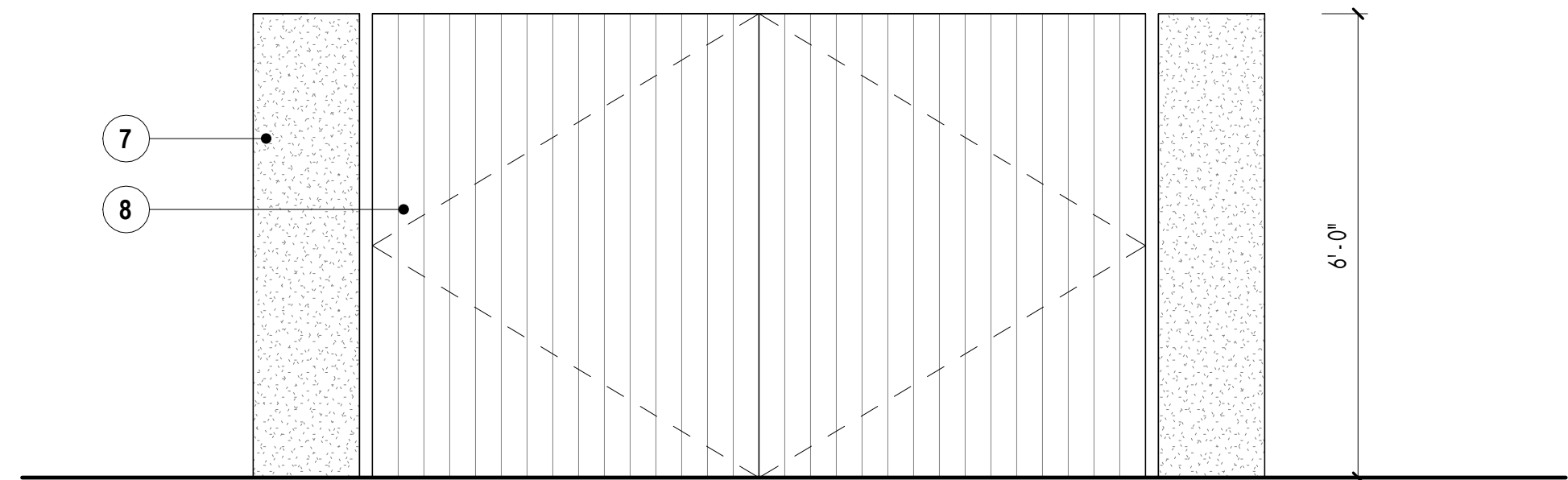
**01** SITE PLAN ADA RAMP DETAIL  
SCALE: 1/4" = 1'-0"



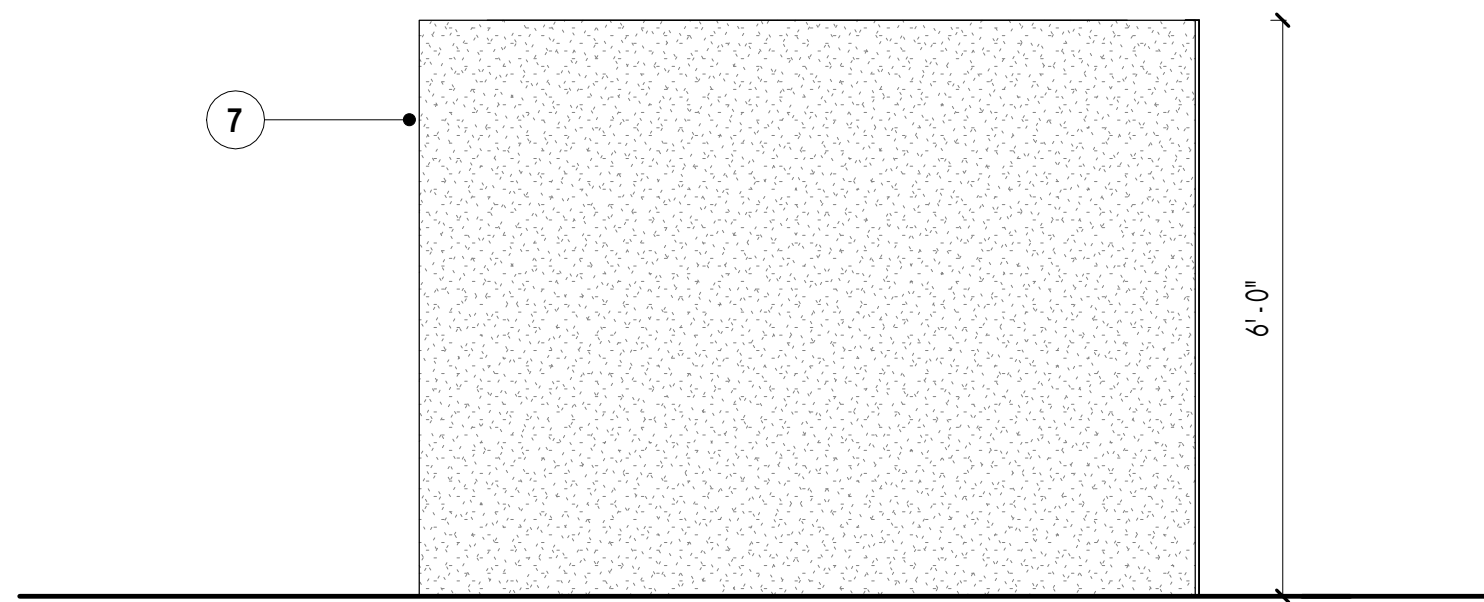
**02** SECTION THROUGH ADA  
PARKING RAMP  
SCALE: 3/4" = 1'-0"



**03** ENLARGED FLOOR PLAN OF  
DUMPSTER ENCLOSURE  
SCALE: 1/2" = 1'-0"



**04** DUMPSTER ENCLOSURE -  
FACING GATE  
SCALE: 1/2" = 1'-0"



**05** DUMPSTER ENCLOSURE - SIDE  
ELEVATION  
SCALE: 1/2" = 1'-0"

**SITE KEY NOTES**

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**RECEIVED**  
**2/3/2026**  
**CITY OF EDGEWOOD**

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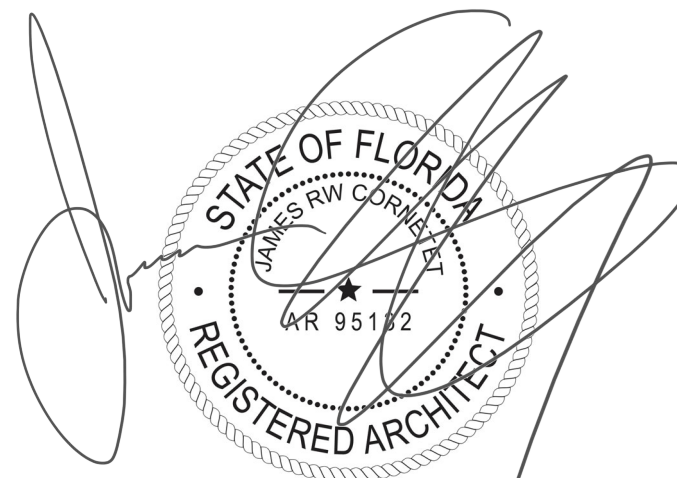
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ISSUE

**CITY OF  
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PLAN  
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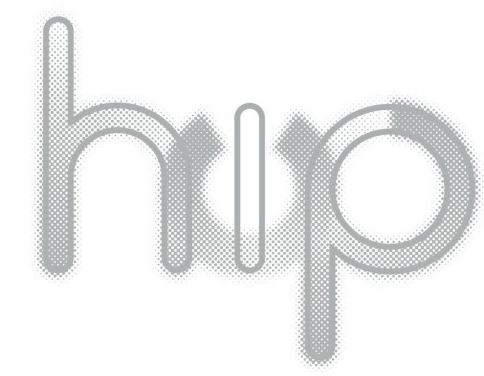
**SITE PLAN DETAILS**



SHEET NO.

**A1.01**





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JAMES CORNETT  
PO BOX 2422  
ROUND ROCK, TX 78680  
740.525.2268

LICENSE NO: #AR95132

**RECEIVED**  
**2/3/2026**  
**CITY OF EDGEWOOD**

**SODO MOSAIC SALON**  
4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806

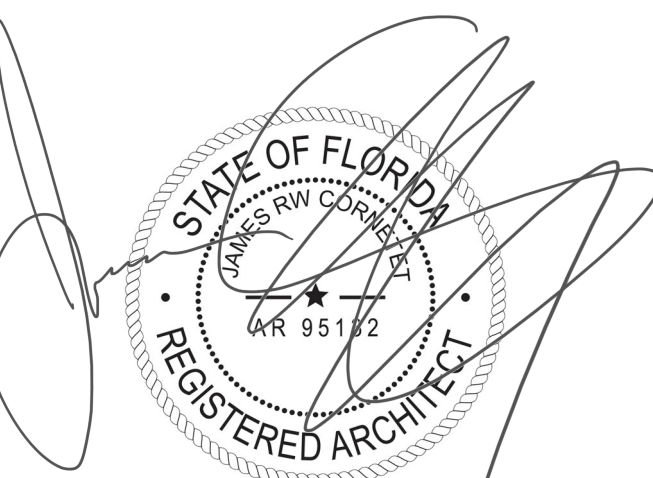
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NO. DESCRIPTION DATE

CURRENT REVISION ISSUE DATE:

ORIGINAL SHEET ISSUE DATE:  
**2026.02.02**

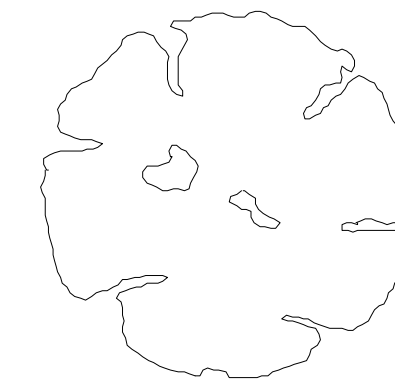
ISSUE  
**CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION**

SHEET TITLE  
**LANDSCAPE PLAN**

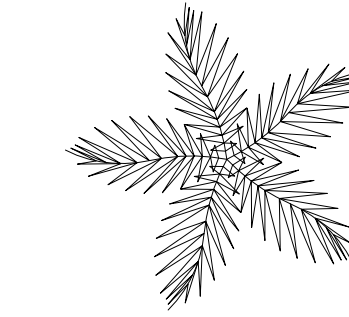


SHEET NO.  
**A1.02**

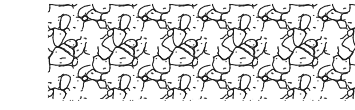
## LANDSCAPE LEGEND:



TABEBUIA IMPETIGINOSA, PURPLE  
TABEBUIA, 3" CALIPER, 12' HEIGHT.



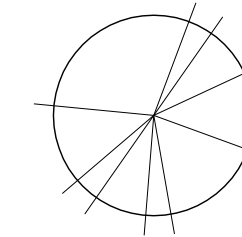
SABAL PALM TREE. SIZE: TBD.



ARACHIS GLABRATA, PEANUT GRASS, FULL GLS., 18" O.C.

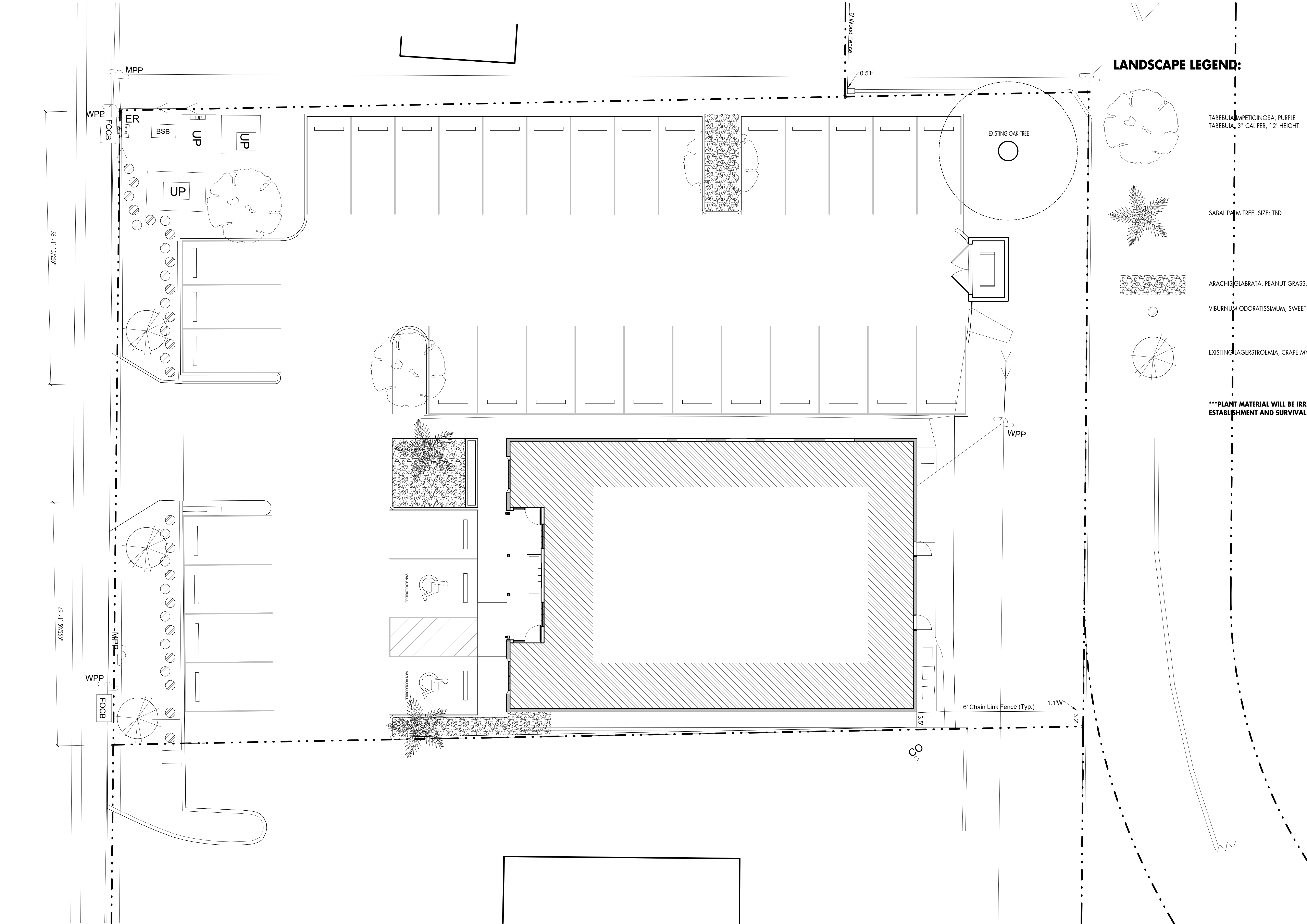


VIBURNUM ODORATISSIMUM, SWEET VIBURNUM, 24"X24", 30" O.C.

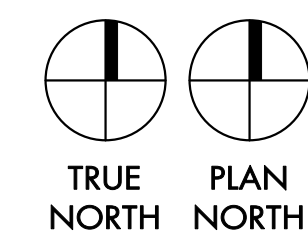


EXISTING LAGERSTROEMIA, CRAPE MYRTLE

\*\*\*PLANT MATERIAL WILL BE IRRIGATED ADQUATELY TO ENSURE  
ESTABLISHMENT AND SURVIVAL.\*\*\*



**01** LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"





GENERAL NOTES

1. REFER TO A5 SHEET SERIES FOR PARTITION TYPES.
2. REFER TO A9 SHEET SERIES FOR DOOR & FRAME TYPES & DOOR SCHEDULE
3. REFER TO SHEET A5.52 FOR TYPICAL BLOCKING & GYPSUM BOARD DETAILS.
4. DIMENSIONS ARE TO INSIDE FACE OF CURTAINWALL / STOREFRONT MULLIONS AND TO FACE OF GYPSUM BOARD AT INTERIOR LOCATIONS UNLESS NOTED OTHERWISE.
5. ALL DOOR FRAMES (HINGE SIDE) TO BE 4-INCHES FROM ADJACENT PERPENDICULAR PARTITIONS, UNLESS NOTED OTHERWISE.
6. ALL PARTITIONS TO BE XX UNLESS NOTED OTHERWISE.
7. PROVIDE BACKFLOW PREVENTION AS REQUIRED BY THE LOCAL CROSS CONNECTION CONTROL DEPARTMENT STANDARDS WHERE NOT PROVIDED OR INADEQUATELY PROVIDED BY EQUIPMENT MANUFACTURER.
8. ALL OPERABLE WINDOWS ARE TO BE TIGHT-FITTING.
9. ALL DOORS TO BE TIGHT-FITTING AND SELF-CLOSING.
10. DRAIN LINES FROM CULINARY SINKS, ICE MACHINES, ICE STORAGE BINS AND WARE WASHING SINKS MUST BE PROVIDED WITH AT LEAST A ONE INCH AIR GAP, AND BE DRAINED TO AN APPROVED WASTEWATER DISPOSAL SYSTEM.
11. TRASH RECEPTACLES, DUMPSTERS, AND GREASE DISPOSAL CONTAINERS MUST BE PLACED ON A MACHINE LAID ASPHALT OR CONCRETE PAD.
12. ALL KITCHEN & BAR EQUIPMENT LISTED IN SCHEDULE TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

SYMBOLS LEGEND

- 1  
A101

SIM

— XX —

• (X)

(X)

⬇

— (X) —

Room name

0000A

1  
A101

SIM

1  
A101

SIM

1  
A101

SIM

XX/AX.X

XX/AX.X
- DRAWING NUMBER ON SHEET

SHEET NUMBER

WALL TAG

KEYNOTE

WINDOW TAG

ELEVATION HEIGHT CHANGE

COLUMN GRID BUBBLE

ROOM NAME

ROOM NUMBER

NEW DOOR & DOOR NUMBER

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET

DRAWING NUMBER ON SHEET
- DETAIL SECTION

BUILDING SECTION

WALL SECTION

INTERIOR ELEVATION

EXTERIOR ELEVATION

- 00

XXXXX

SCALE: X/X" = 1'-0"
- INTERMEDIATE LANDING

SLOPE  
X" PER FT

A.3

XX/XX.XX
- DRAWING VIEW NUMBER

VIEW TITLE

LANDING HEIGHT CHANGE

SLOPE DIRECTION

DRAWING NUMBER ON SHEET

SHEET NUMBER

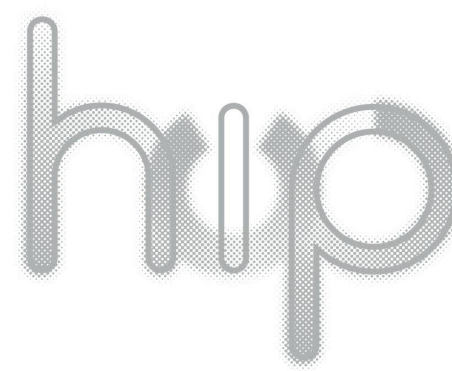
hip INDICATES SHEET TO BE PRINTED IN COLOR

PLAN KEY NOTES

- 1

XXXX
- 2

XXXX



ARCHITECT

HIP.HOP.DESIGN STUDIO, LLC  
JAMES CORNETT  
PO BOX 2422  
ROUND ROCK, TX 78680  
740.525.2268

LICENSE NO: #AR95132

RECEIVED

2/3/2026

CITY OF EDGEWOOD

SODO MOSAIC SALON

4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806

REVISION NO. DESCRIPTION DATE

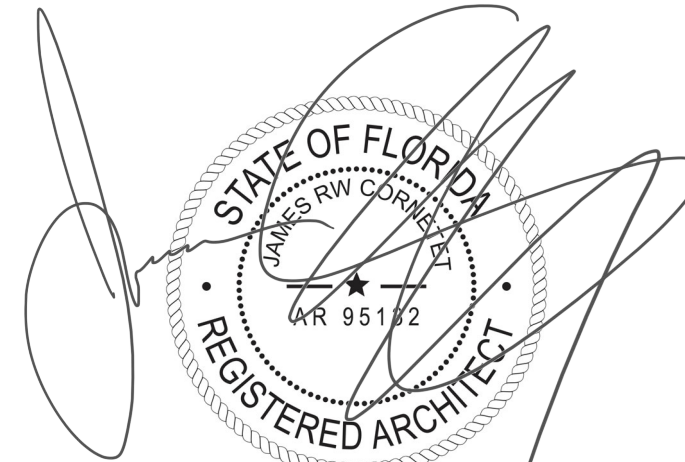
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ORIGINAL SHEET ISSUE DATE:  
2026.02.02

ISSUE

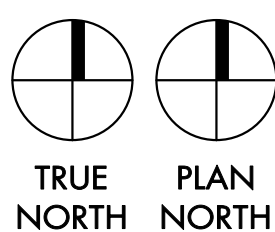
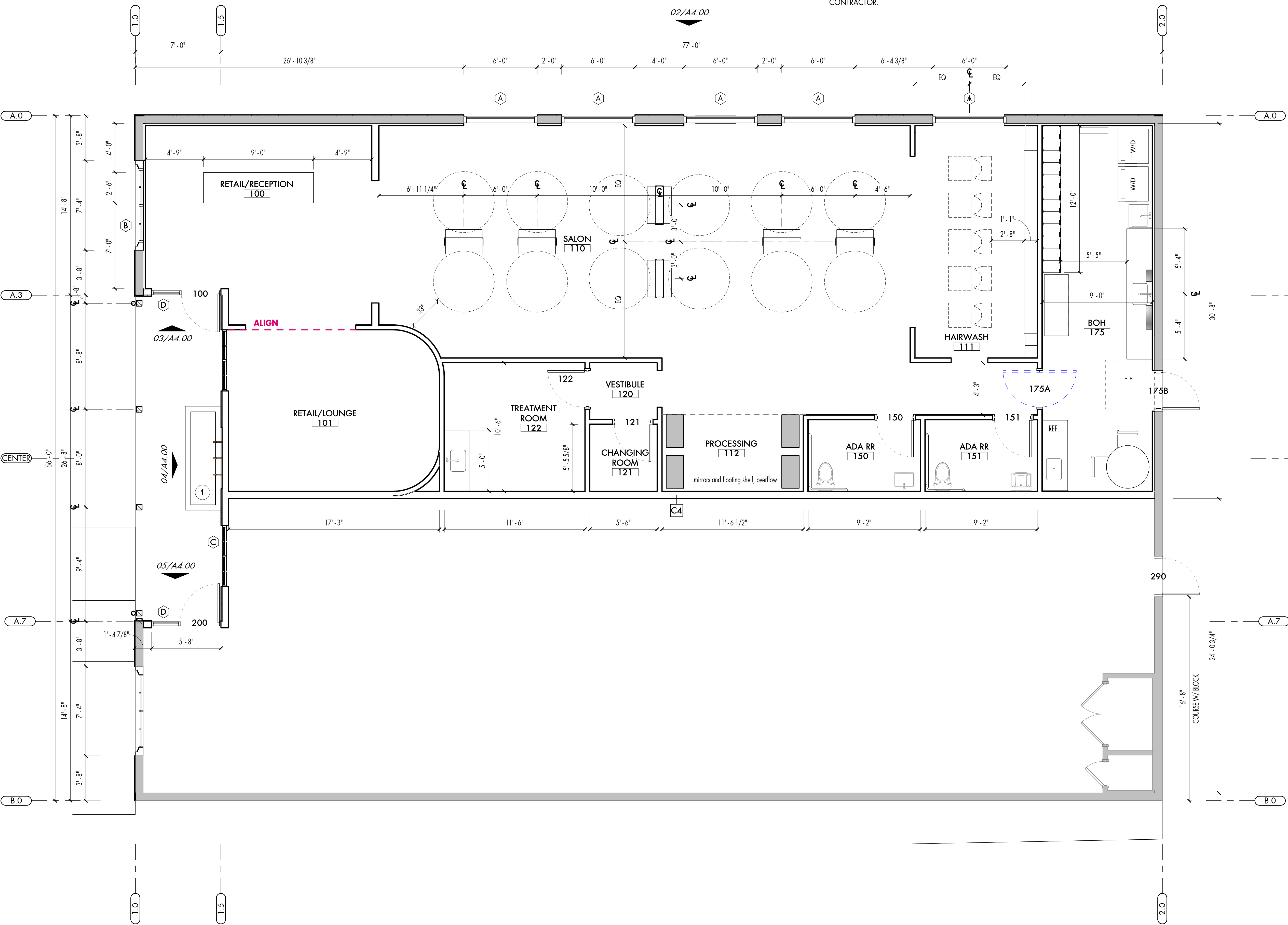
CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION

SHEET TITLE  
NEW CONSTRUCTION  
FLOOR PLAN



SHEET NO.

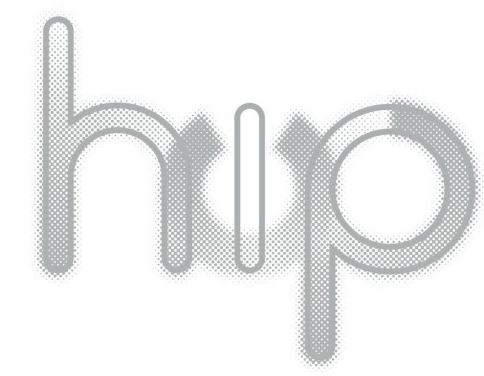
A1.11



01

NEW CONSTRUCTION FLOOR  
PLAN  
SCALE: 1/4" = 1'-0"





**ARCHITECT**  
**HIP.HOP.DESIGN STUDIO, LLC**  
JAMES CORNETT  
PO BOX 2422  
ROUND ROCK, TX 78680  
740.525.2268  
  
LICENSE NO: #AR95132

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**2/3/2026**  
**CITY OF EDGEWOOD**

**SODO MOSAIC SALON**  
**4901 SOUTH ORANGE AVE.**  
**ORLANDO FLORIDA 32806**

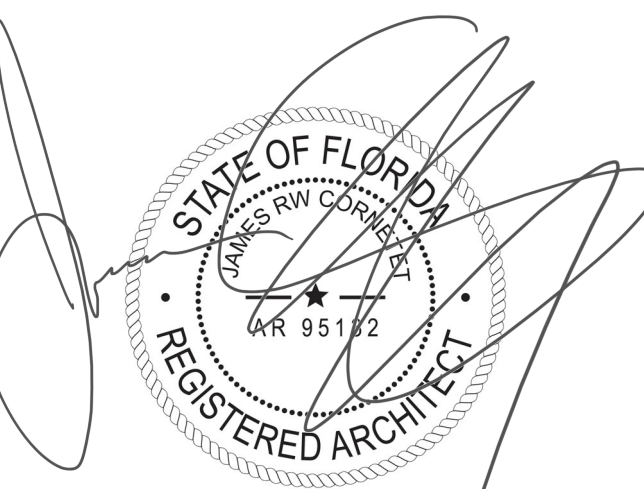
REVISION  
NO. DESCRIPTION DATE

CURRENT REVISION ISSUE DATE:

ORIGINAL SHEET ISSUE DATE:  
**2026.02.02**

ISSUE  
**CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**



SHEET NO.  
**A4.00**

## ELEVATION KEY NOTES

- 7/8" INTEGRAL COLOR STUCCO ON PAPER BACKED METAL LATH - LA HABRA SANTA BARBARA MISSION FINISH (STEEL TROWELED). PROVIDE 4'X4' MOCKUP PRIOR TO INSTALLATION. THE ENTIRETY OF THE LATH AND ACCESSORY ASSEMBLY SHOULD BE INSTALLED PER ASTM C1063, PROVIDE FIBERGLASS MESH FOR CRACK ISOLATION. COLOR: CRYSTAL WHITE
- TILE ACCENT, CT-1. USE 6" CMU BLOCKING IN WALL FRAMING TO RECESS TILE 1".
- ESTATE MILLWORK, LOUVERED TEAK SHUTTERS. REF: WALL SECTION.
- GFRC PARAPET PROFILE.
- CONTRACTOR TO COORDINATE WOOD BLOCKING W/ SIGN COMPANY & PROVIDE POWER. SIGNAGE PROVIDED BY OWNER & PERMITTED SEPARATELY.
- CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS AND PLACEMENT W/ SIGN COMPANY. SIGNAGE PROVIDED BY OWNER & PERMITTED SEPARATELY.
- PELLA RESERVE, CONTEMPORARY SERIES, BLACK EXTERIOR, WHITE OAK INTERIOR. REFER TO WINDOW TYPES FOR FUNCTIONALITY.
- STUCCO "CASING", REFER TO PLAN AND SECTION DETAILS FOR PROFILE AND CONSTRUCTION.
- TILE ACCENT, CT-1. REFER TO PLAN AND SECTION DETAILS FOR CONSTRUCTION.
- STUCCO SLURRY, DIRECT APPLIED TO CMU WALL. COLOR: CRYSTAL WHITE
- EXISTING SHINGLE ROOF.
- 6" HALF ROUND COPPER GUTTERS AND DOWNSPOUTS W/ COPPER JBRACKETS. NO CONCEALED BRACKETS. ALL FASTENERS TO BE COPPER, CONTRACTOR TO ENSURE ALL ADJACENT METALS ARE COMPATIBLE.
- 6" ADDRESS NUMBERS ON STANDOFFS, OWNER PROVIDED, CONTRACTOR INSTALLED.
- BOARD FORMED CONCRETE KNEE WALL W/ IPE BENCH/CAP.
- MARAN FOUNTAIN SPOUT (9.5" SPOUT)  
<https://authenticprovidence.com/product/maran-fountain-spout/>
- ROUGH-CUT CEDAR BEAMS, REF: STRUCTURAL.
- CT POST AND BEAM: CONNEXT POST TO BASE CONNECTOR W/ 1 INCH HDPE RISER (<https://ctpostandbeam.com/>)  
**ABSOLUTELY NO EXCEPTIONS!!!**
- CT POST AND BEAM: CONNEXT POST TO BEAM CONNECTOR W/ 1 INCH HDPE RISER (<https://ctpostandbeam.com/>)  
**ABSOLUTELY NO EXCEPTIONS!!!**

## MATERIAL LEGEND

- TILE CT-1
- SMOOTH STUCCO FINISH
- GLAZED VISION PANELS

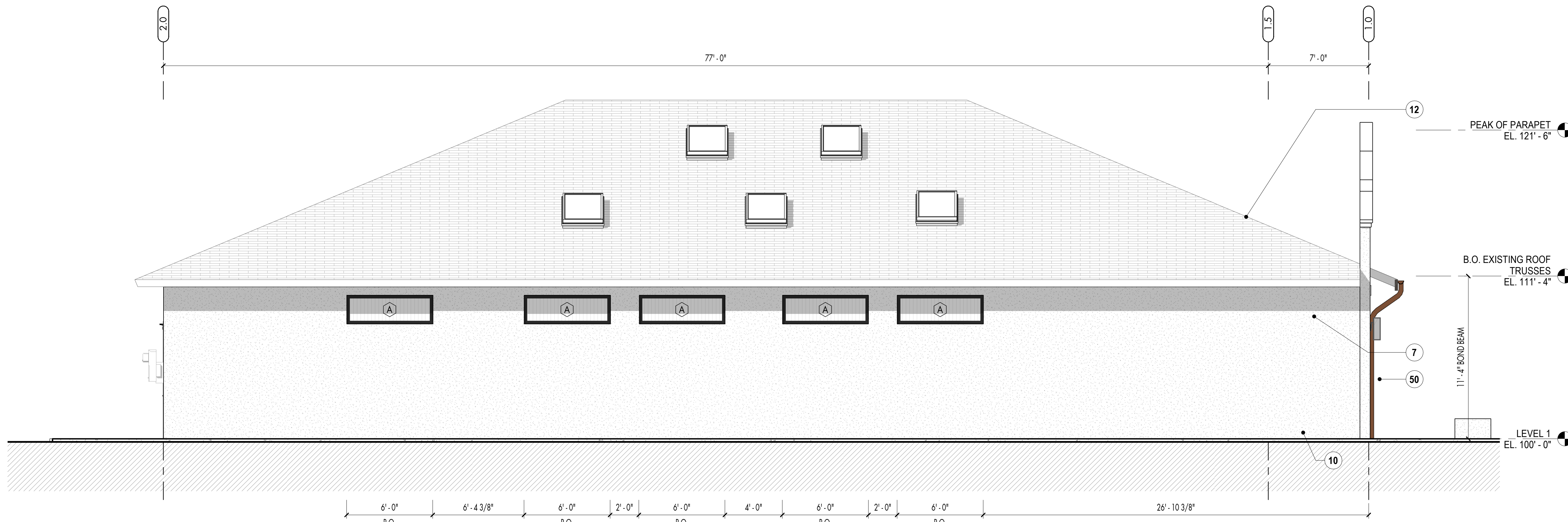
**03** SUITE #100 ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"

**04** FOUNTAIN ELEVATION  
SCALE: 1/4" = 1'-0"

**05** SUITE #200 ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"

**01** NEW CONSTRUCTION - WEST  
ELEVATION  
SCALE: 1/4" = 1'-0"

**02** NEW CONSTRUCTION -  
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"





**ARCHITECT**

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**RECEIVED**

**2/3/2026**

**CITY OF EDGEWOOD**



FACADE FACING SOUTH ORANGE AVENUE (DUSK)



FACADE FACING SOUTH ORANGE AVENUE (DUSK)



FACADE FACING SOUTH ORANGE AVENUE (DAY)



DETAIL VIEW OF FACADE FACING SOUTH ORANGE AVENUE (DAY)

**SODO MOSAIC SALON**

**4901 SOUTH ORANGE AVE.  
ORLANDO FLORIDA 32806**

| REVISION NO. | DESCRIPTION | DATE |
|--------------|-------------|------|
|              |             |      |

CURRENT REVISION ISSUE DATE:

ORIGINAL SHEET ISSUE DATE:

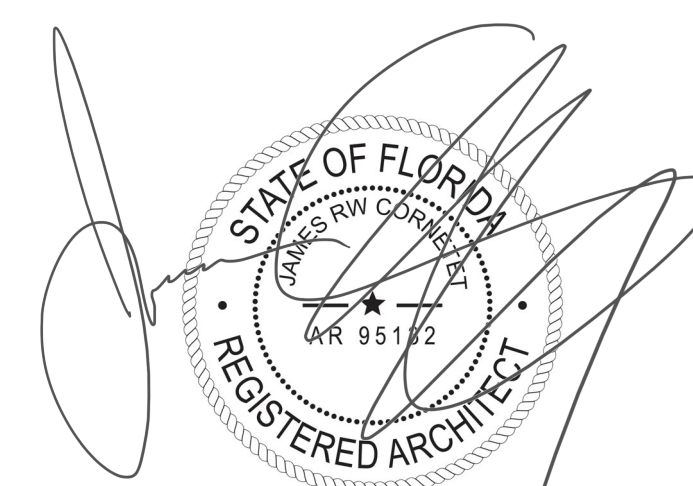
**2026.02.02**

ISSUE

**CITY OF  
EDGEWOOD SITE  
PLAN  
SUBMISSION**

SHEET TITLE

**EXTERIOR  
PERSPECTIVES**



SHEET NO.

**A4.01**



# **Special Exception 2026-02: Thrive Salon Suites Tattooing**

Date: January 27, 2026

To: Planning and Zoning Board

From: Ellen Hardgrove, City Planning Consultant

XC: Brett Sollazzo, Administrative & Permitting Manager

Drew Smith, City Attorney

Sandy Riffle, City Clerk

Re: Special Exception Application for Tattoo Establishment at 5631 South Orange Avenue (a tenant space in Edgewood Isle Shopping Center)

### APPLICATION SUMMARY

Request: Special Exception approval for a tattoo establishment.

Subject Property: Tenant space (Thrive Studio Suites) in Edgewood Isle Shopping Center (See Exhibits 1 and 2).

Property Zoning: ECD (Edgewood Commercial District).

Exhibit 1 – Subject Property Location



Exhibit 2 – Leased Space in Shopping Center





## ANALYSIS

The proposed tattoo establishment is currently in operation within the Edgewood Isle Shopping Center. This application for a Special Exception was submitted as a remedial action following a code enforcement discovery. The violation was identified during the City's review of a separate, proximal tattoo business request at the Holden/Orange strip center (4712 S. Orange Ave). Under the Edgewood Central District (ECD) zoning regulations, tattoo establishments are classified exclusively as a Special Exception use; to date, no such use has been approved for this location.

Approval of the special exception requires a finding that the use in the proposed location is consistent with the Comprehensive Plan and ECD Vision; is compatible with the surrounding area; and will not negatively impact property values or the level of service of public facilities. Availability of off-street parking is also a consideration.

The Zoning Code also requires the following criteria for tattoo establishments.

1. All activities conducted at the establishment shall be in accordance with applicable state statutes and regulations;
2. Tattoo establishments are prohibited from operating between the hours of 9:00 p.m. and 8:00 a.m.; and,
3. Tattoo establishments shall not be established within 1,500 feet of an existing tattoo establishment as measured in a straight line from the nearest point of each lot or parcel.

**ECD Vision:** The vision for the Edgewood Central District (ECD) is to transform the city's primary commercial corridor into a vibrant, pedestrian-oriented "place" that prioritizes human-scale design over car-centric development.

To provide consistency with the ECD goals, staff recommends that street-facing windows and doors maintain transparency. This includes prohibiting opaque window tints, heavy curtains, or "blacked-out" vinyl wraps, and ensuring interior fixtures/furniture are not situated in a manner that would prevent views into the studio from the outside.

**Land Use Compatibility:** The proposed tattoo business is located within a multi-tenant shopping center, hosting retail, restaurants and personal services. The tattoo establishment is within an existing salon, which includes separate suites for a hair braiding, nails, barber, waxing, and assisted stretching. By adhering to Code required business hours (8:00 a.m. to 9:00 p.m.), the use is expected to be compatible with the character of the surrounding area and the other shopping center tenants.

**Public Services and Facilities:** The Edgewood Isle shopping center includes the minimum off-street parking required. A personal service use is typical within a shopping center and the approval of the tattoo establishment would have no adverse impact on public services and facilities.

**Proximity to Other Tattoo Businesses:** Google Maps shows a tattoo shop (Next Tatt2) located at 5906 South Orange Avenue, the southwest corner of Orange Avenue and Oakridge Road, which is within the minimum 1,500 feet separation requirement; however, a site visit on January 27, 2026 showed the tenant space was vacant with a “For Rent” sign in the window (see Exhibit 3).

Exhibit 3 – Closest Tattoo Establishment per Google Maps Vacated



No current BTR was found for this address or under the name Next Tatt2. Since Next Tatt2 at 5906 S. Orange Ave has vacated, the 1,500-foot separation requirement has been met.

#### NECESSARY P&Z ACTION

The P&Z must make a recommendation to City Council as to whether a tattoo establishment in the subject location is consistent with the comprehensive plan and ECD Vision, and that the use is similar and compatible with the surrounding area, and will not act as a detrimental intrusion into the surrounding area nor negatively impact the level of service of public services and facilities.

Given the ECD vision, if the P&Z Board recommends approval, staff recommends the following condition:

- **Window Transparency:** In accordance with the ECD’s pedestrian-oriented goals, the street-facing windows shall remain transparent. The applicant shall not use opaque window tints, heavy curtains, or "black-out" vinyl wraps, nor situate interior fixtures/furniture in a manner that would prevent views into the studio from the outside.

The applicant should be reminded that Code Section 134-467 strictly limits the hours of the Tattoo Establishment to between 8:00 a.m. and 9:00 p.m.

END



## APPLICATION FOR SPECIAL EXCEPTION

Reference: Code Sections 134-103 through 134-109

**REQUIRED FEES: \$750.00 Application Fee + Initial Pass-through Deposit (Ordinance 2013-01) to open up project account. Please note the application fee is non-refundable. Additional pass-through fees may be required throughout the project. If any pass-through balance remains at project completion, it will be reimbursed.**

**IMPORTANT:** A COMPLETE application with all required attachments must be submitted to City Staff 30 days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner. You can submit all documents electronically to [info@edgewood-fl.gov](mailto:info@edgewood-fl.gov).

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

☒ New Special Exception Request      ☐ Amendment to Special Exception      Date SE granted:

Applicant Name: THRIVE STUDIO SUITES      Owner Name: SHANTE BUUGS

Email: CSGLOBALPARTNERSHIPS@GMAIL.COM

Phone: N/A      Phone: 407-607-2083

Property Address: 5631 S. ORANGE AVE ORLANDO, FL 32809

Legal Description: *W R Harney's Sub C/881/2 Comm Center Sec 24 Run N 921.51 FT W 30 FT to W R/W of St Rd 527 (North Bound) Nly along said R/W 124.75 FT to POB Th W 134.46 FT S 160 FT to N R/W of Hoffner Ave W 55 FT N 81.39 FT to N Line Lot 4 W along same 494.9 FT to E R/W of St Rd 527 (South Bound) NWly along said R/W 430 FT E E 860 FT Sly to POB*

Property Zoning: Edgewood Central District (ECD)      Existing on site: SALON STUDIO SUITES

Surrounding Zoning Designations:

North: \_\_\_\_\_ South: \_\_\_\_\_ East: \_\_\_\_\_ West: \_\_\_\_\_

Section of Code Special Exception being requested: 134-467

Special Exception Request: To allow tattooing in Thrive Salon Studio Suites

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## PROVIDE THE FOLLOWING INFORMATION WITH YOUR APPLICATION:

- 1) A signed and notarized Agent Authorization form if the applicant IS NOT the subject property owner.
- 2) Provide a Letter of Explanation which must outline the specifics of the proposed Special Exception request and include the justification for the subject request. If applicable, please include the following:
  - Summary of business operation including hours of operation, seating capacity, required parking and loading spaces, number of employees, number of anticipated clients/customers, site concerns that may impact adjacent properties, etc.
- 3) Each application for a Special Exception shall be accompanied by a site plan. Details of the site plan depend on what section of code you are requesting the Special Exception for. Please work with City Staff to confirm.
- 4) During the Special Exception review, City Staff may request the following information if applicable:
  - Detailed site plan, landscape plan, existing and/or proposed structures, septic systems, drain fields, easements, buffers, signage, fire lanes, driveways, etc.

The applicant hereby states that the above request for Special Exception does not violate any deed restrictions on the property. Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.

Applicant Name: \_\_\_\_\_THRIVE STUDIO SUITES\_\_\_\_\_

Applicant Signature: Shante Buggs AS MANAGING MEMBER \_\_\_\_\_ Date: 1/26/26

Owner Name: \_\_\_\_\_SHANTE BUGGS\_\_\_\_\_

Owner Signature: Shante Buggs \_\_\_\_\_ Date: 1/26/26

## Office Use Only:

Received by: \_\_\_\_\_ Date Received: \_\_\_\_\_

Forwarded to: \_\_\_\_\_ Date Forwarded: \_\_\_\_\_

P&Z Meeting Date: \_\_\_\_\_ City Council Meeting Date: \_\_\_\_\_

Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# LETTER OF EXPLANATION

## SPECIAL EXCEPTION PERMIT – TATTOO ESTABLISHMENT

City of Edgewood – Planning & Zoning / City Council  
405 Bagshaw Way  
Edgewood, FL 32809

**RE:** Special Exception Permit Request – Tattoo Establishment

**Business:** Thrive Studio Suites

**Location:** 5631 S, Orange Ave Orlando, FL 32809

**Applicant:** Thrive Studio Suites Management

This Letter of Explanation is submitted in support of a Special Exception application to permit licensed tattoo artist to operate within Thrive Studio Suites, a professional salon suite business located in the City of Edgewood, Florida. The proposed use is structured to maintain public safety, limit traffic impact, preserve professional standards, and remain compatible with surrounding commercial uses.

### 1. Nature of the Business & Proposed Use

- Thrive Studio Suites operates as a professional business environment comprised of enclosed private suites for independent service providers.
- Each suite is approximately 100 square feet, creating an intimate, controlled, and discreet workspace for **ONE** licensed professional to operate business.
- Tattoo services will be performed within a single enclosed suite, not in any common or open-access area.
- The tattoo artist maintains an established clientele and operates primarily on an appointment-only basis.

### 2. Client Volume, Traffic & Parking Control

- Only one client per suite is permitted to be serviced at any given time.
- Appointment-only scheduling limits unscheduled visits and regulates traffic flow.
- Tattoo appointments are staggered, reducing turnover and congestion.
- The proposed use aligns with similar low-traffic personal service operations that already operates at the location.

### 3. Hours of Operation

- Monday–Sunday: 9:00 AM – 9:00 PM
- Operations will not occur outside City-regulated hours for tattoo establishments.

#### **4. Signage, Advertising & Exterior Appearance**

- No exterior signage, banners, flags, or on-site marketing related to tattoo services will be displayed.
- No alterations to the building exterior are proposed.
- All marketing and client communications will occur digitally and off-site.

#### **5. Professional Standards & Noise Control**

- All tenants are required to follow Thrive Studio Suites professional conduct standards.
- Noise levels are strictly controlled to maintain a professional environment.
- Tattoo services occur entirely within an enclosed private suite.

#### **6. Health, Safety & Regulatory Compliance**

- The tattoo artist will obtain and maintain all required Florida Department of Health licenses.
- All sanitation, sterilization, and infection-control standards will be strictly followed.
- Sharps and biohazard materials will be disposed of through approved methods.
- Licenses will be visibly displayed as required by Florida law.

#### **7. Zoning & Spacing Compliance**

- The proposed location complies with the City of Edgewood 1,500-foot spacing requirement from other tattoo establishments.
- Verification documentation will be provided as part of the application.

#### **8. Summary & Request**

- The proposed tattoo use is low-impact, appointment-based, and professionally managed.
- Private enclosed suites ensure discretion, safety, and compatibility with surrounding businesses.
- We respectfully request approval of the Special Exception Permit.

Thank you for your time and consideration. Please contact us should additional documentation be

required.

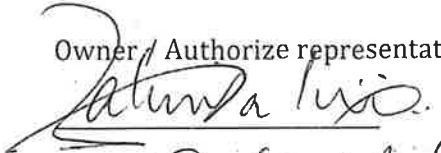
Sincerely,

**Thrive Studio Suites Management**  
Edgewood, Florida

### Owner Consent for Special Exception Application

Fourth Atlantic Gulf Property Investments LLC, as the owner of the property located at 5631 S. Orange Avenue, Orlando, Florida 32809, hereby agrees to allow Thrive Salon to apply for a Special Exception in connection with its use of the premises. This consent is given solely for the purpose of supporting Thrive Salon's application and does not otherwise modify or amend any existing lease or agreement between the parties.

Owner / Authorize representative Signature:

  
Name: Salim Valiani  
Title: Manager

Fourth Atlantic Gulf Property Investments LLC

Date: 02/05/2026

Notary Acknowledgment

State of Florida

County of Orange

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of Feb., 2026, by Salim Valiani, as Manager of Fourth Atlantic Gulf Property Investments LLC, who is personally known to me or has produced \_\_\_\_\_ as identification.

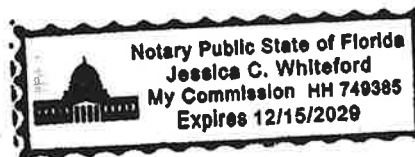
Notary Public, State of Florida



Printed Name: \_\_\_\_\_

Commission No.: \_\_\_\_\_

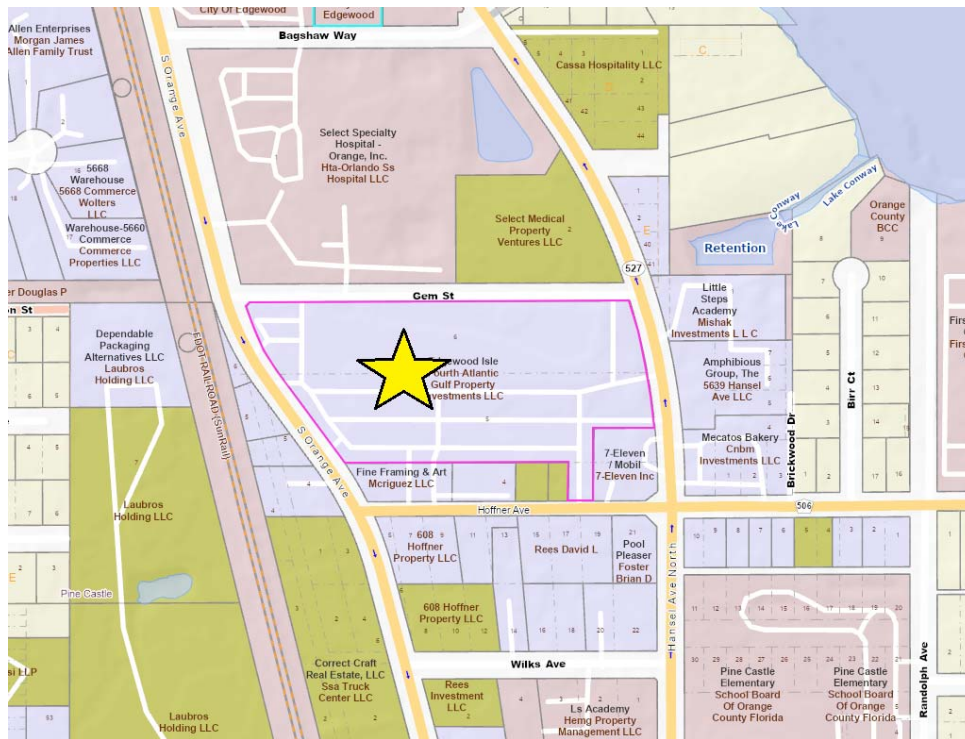
My Commission Expires: \_\_\_\_\_





## NOTICE OF PUBLIC HEARING

**Notice is hereby given** that public hearings will be held to consider a request for a special exception to City Code Sec. 134-467 to allow tattooing to take place inside of Thrive Studio Suites on the property located at 5631 South Orange Avenue (Edgewood Isle Shopping Center). The property is zoned ECD, which permits tattooing only through a Special Exception.



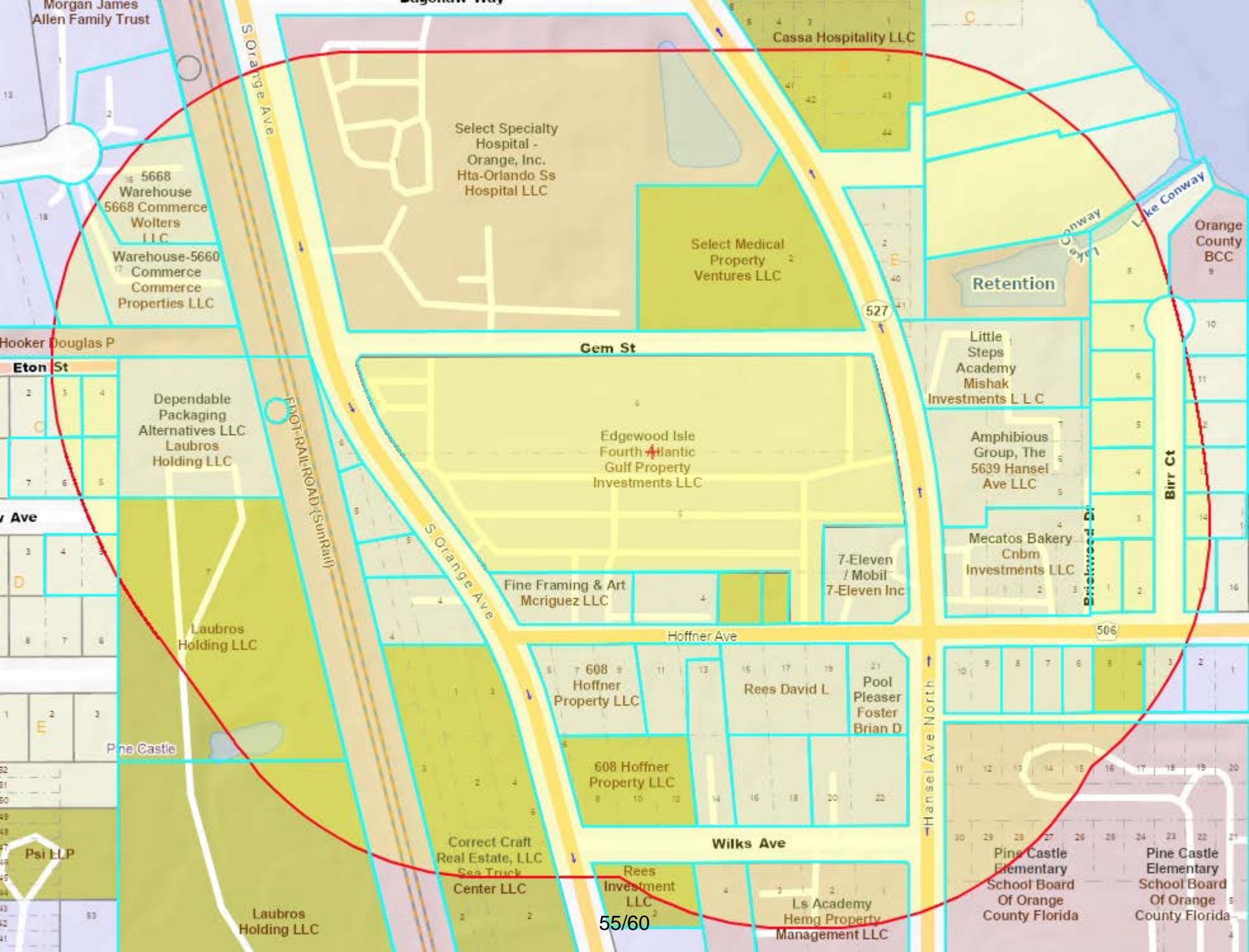
**Public Hearing Dates, Times & Location:** All hearings will be held at Edgewood City Hall council chambers, located at 405 Bagshaw Way, Edgewood, Florida 32809.

- Planning & Zoning Board Meeting - Monday, February 9, 2026 at 6:30 PM
- City Council Meeting - Tuesday, February 17, 2026 at 6:30 PM

### How to Participate:

- Review the application and staff reports by contacting or visiting City Hall.
  - Email: [info@edgewood-fl.gov](mailto:info@edgewood-fl.gov)
  - Phone: 407-851-2920
  - Hours: Monday-Thursday: 8 AM to 4 PM; Friday: 8 AM to noon.
- Attend the public hearings and be heard (2/9/2026 & 2/17/2026)
- If you are unable to attend the public hearings, you may submit your comments by email to [info@edgewood-fl.gov](mailto:info@edgewood-fl.gov) or in writing to Edgewood City Hall at 405 Bagshaw Way.
- All written comments will become part of the official public record for the project. Please ensure your comments are received **no later than 12:00 PM (noon)** on the day of the scheduled public hearing.





Morgan James  
Allen Family Trust

Dagonaw Way

Cassa Hospitality LLC

Select Specialty  
Hospital -  
Orange, Inc.  
Hta-Orlando Ss  
Hospital LLC

Select Medical  
Property  
Ventures LLC

Retention

Orange  
County  
BCC

5668  
Warehouse  
5668 Commerce  
Wolters  
LLC

Warehouse-5660  
Commerce  
Commerce  
Properties LLC

Hooker Douglas P

Eton St

Dependable  
Packaging  
Alternatives LLC  
Laubros  
Holding LLC

Gem St

Edgewood Isle  
Fourth Atlantic  
Gulf Property  
Investments LLC

Little  
Steps  
Academy  
Mishak  
Investments L L C

Amphibious  
Group, The  
5639 Hansel  
Ave LLC

Mecatos Bakery  
Cnbm  
Investments LLC

Burr Ct

y Ave

Laubros  
Holding LLC

Fine Framing & Art  
Mcriguez LLC

7-Eleven  
/ Mobil  
7-Eleven Inc

Hoffner Ave

608  
Hoffner  
Property LLC

Rees David L

Pool  
Pleaser  
Foster  
Brian D

608 Hoffner  
Property LLC

Wilks Ave

Correct Craft  
Real Estate, LLC  
Sea Truck  
Center LLC

Rees  
Investment  
LLC

Ls Academy  
Heng Property  
Management LLC

Pine Castle  
Elementary  
School Board  
Of Orange  
County Florida

Pine Castle  
Elementary  
School Board  
Of Orange  
County Florida

Psi LLP

Laubros  
Holding LLC

55/60



Application: SE 2026-02

Owner/Applicant Name: Thrive Studio Suites (Shante Buugs)

Public Hearing Dates: 2/9/26 & 2/17/26

**This affidavit is to be presented at the public hearing before the Planning and Zoning Board.**

### SIGN AFFIDAVIT

STATE OF FLORIDA  
ORANGE COUNTY

Before me, the undersigned authority, personally appeared Shante Buugs,  
to me well known and known to me to be the person described in and who executed the foregoing affidavit, after being  
first duly sworn, says:

1. That the affiant posted the notice provided by the City of Edgewood, which contains the time and dated of the public hearings involved (i.e. Planning and Zoning Board and/or City Council).
2. That said posted notice also contained the relevant facts pertaining to the application.
3. That said notice was posted was posted in a conspicuous and easily visible place on the subject property not less than ten days prior to the date of public hearing. Date posted: 1/30/26.
4. That the affiant understands that this affidavit is intended to be submitted as a prerequisite for a public hearing, and as such will be officially filed with the City of Edgewood, Florida.

Shante Buugs

Signature of owner or authorized representative

State of Florida County of Orange  
Sworn to and subscribed before me this 30th day of January, 20 26 via physical presence.

[Signature]  
Print, type, or stamp commissioned name of Notary Public

HH 241996  
Notary Public, State of Florida

Personally Known OR Produced Identification

Type of I.D. Produced Drivers License



# UNFINISHED BUSINESS



# **Proposed Parking Regulations Update**

# COMMENTS & ANNOUNCEMENTS

# ADJOURNMENT