



AGENDA

CALL TO ORDER – ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

ORAL COMMENTS

- A. **Agenda items** (*step to podium after recognition, state name, address, speak clearly – 5 minutes maximum*)
- B. **Non-agenda items** (*step to podium after recognition, state name, address, speak clearly – 5 minutes maximum*)

APPROVAL OF CONSENT AGENDA

- 1. Approve Bills**
- 2. Approve Receipts** - February 2026
- 3. Approve Minutes** City Council Meeting - March 16, 2026
- 4. Approve Minutes** Special City Council Meeting - March 23, 2026 Tax Hearing
- 5. Approve Minutes** Budget Work Session - March 23, 2026
- 6. Receive & File Minutes** Parks & Recreation Meeting - March 30, 2026
- 7. Special Class "C" Native Retail Wine License (WCN) (5 Day) April 20 - 24, 2026** O So Good Winery (Dyersville Area Women's Night)
- 8. Building Permit No. 26-2449** BAM Development, 1500 2nd Avenue SE (Units 1-6)
- 9. Building Permit No. 26-2450** BAM Development, 1520 2nd Avenue SE (Units 1-4)
- 10. Building Permit No. 26-2451** BAM Development, 1560 2nd Avenue SE (Units 1-6)
- 11. Building Permit No. 26-2452** BAM Development, 1580 2nd Avenue SE (Units 1-4)
- 12. Authorize Mayor to Sign** Contract Payment No. 1 to Eastern Iowa Excavating in the amount of \$42,190.45 for the 12th Avenue Traffic Signal project
- 13. Authorize City Administrator to Sign** agreement with Midwest Injection, Inc for sludge removal

- 14. Receive & File** Treasurer's Report - February 2026
- 15. Receive & File** Revenue & Expense Report - February 2026
- 16. Correspondence** from City Administrator regarding the Dubuque County Unified Development Update
- 17. Miscellaneous Correspondence** Ragbrai Community Meeting - April 28, 2026
Everyone is welcome who would like to learn more, get involved, ask questions, or better understand what to expect.
- 18. Miscellaneous Correspondence** Keep Iowa Beautiful - March 2026
- 19. Miscellaneous Correspondence** ECIA Spotlight - March 2026
- 20. Miscellaneous Correspondence** Greater Dubuque Development Corporation - March 2026

ACTION ITEMS

- 21. Approve Bill**
- 22. Set date for Public Hearing** on budget estimate for fiscal year beginning July 1, 2026 and ending June 30, 2027. Set date for April 20, 2026 at 6:00 P.M.
- 23. Ordinance No. 877** establishing a clean zone, granting a lease to Dyersville Events, Inc., and regulating the 2026 RAGBRAI overnight event within the City of Dyersville, Iowa
- 24. Waive Second Reading** of Ordinance 877
- 25. Waive Third Reading** of Ordinance 877
- 26. Resolution No. 29-26** approving the 2026 RAGBRAI overnight event operating agreement between the City of Dyersville and Dyersville Events, Inc.
- 27. Resolution No. 28-26** authorizing the city administrator to approve the blasting permit for Falcon Drilling & Blasting, Inc. for the Kwik Star Convenience Store Project, subject to the conditions set forth in this letter
- 28. Discussion** on sidewalk maintenance and cost-share policy

COUNCIL COMMENTS

ADJOURNMENT



Dyersville, IA

Expense Approval Register

Item 1.

Packet: APPKT02188 - 04.06.2026 Bills - AP

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
Fund: 001 - GENERAL FUND					
Department: 110 - POLICE					
WEST NETWORKS	INV209971	Software Warranty	001-5-110-1-62100	DUES/SUBSCRIPTIONS	2,012.02
WEST NETWORKS	INV210078	Software Warranty	001-5-110-1-62100	DUES/SUBSCRIPTIONS	79.33
VICTORY FORD	644316	Oil Change/Filters/Brake Pad...	001-5-110-1-63320	VEHICLE REPAIRS	607.59
JOBGEN, NICK	Jan/Feb/Mar 2026	Cell Phone	001-5-110-1-63730	TELEPHONE	150.00
SODAWASSER, JON	Jan/Feb/Mar 2026	Cell Phone Reimbursement	001-5-110-1-63730	TELEPHONE	150.00
JOCHUM, RICK	Jan/Feb/Mar 2026	Cell Phone	001-5-110-1-63730	TELEPHONE	150.00
AVENARIUS, PAUL	Jan/Mar/Apr 2026	Cell Phone	001-5-110-1-63730	TELEPHONE	150.00
JENNY L WEISS PLLC	00217	Legal Fees - PD Citations	001-5-110-1-64110	LEGAL FEES	604.50
FAREWAY STORES INC	000551614	Parade Candy	001-5-110-1-65060	OFFICE SUPPLIES	18.87
JOHN DEERE FINANCIAL	6094991	Batteries	001-5-110-1-65407	DEPARTMENT SUPPLIES	8.99
JOHN DEERE FINANCIAL	6095276	Shop Towels	001-5-110-1-65407	DEPARTMENT SUPPLIES	11.99
Department 110 - POLICE Total:					3,943.29
Department: 150 - FIRE					
WEST NETWORKS	INV209971	Software Warranty	001-5-150-1-62100	DUES/SUBSCRIPTIONS	2,012.02
WEST NETWORKS	INV210078	Software Warranty	001-5-150-1-62100	DUES/SUBSCRIPTIONS	79.33
NORTHEAST IOWA COMMUN..	42000	CPR Instructor	001-5-150-1-62300	MEETINGS/TRAINING	35.00
Department 150 - FIRE Total:					2,126.35
Department: 210 - TRANSPORTATION					
GIANT WASH	26071	Uniforms - Lueck	001-5-210-2-61806	LUECK UNIFORMS	2.37
GIANT WASH	26078	Uniforms - Lueck	001-5-210-2-61806	LUECK UNIFORMS	2.37
WEST NETWORKS	INV209971	Software Warranty	001-5-210-2-62100	DUES/SUBSCRIPTIONS	2,012.04
WEST NETWORKS	INV210078	Software Warranty	001-5-210-2-62100	DUES/SUBSCRIPTIONS	79.34
WANDSNIDER, JOHN	03.27.2026	Meeting - Hotel/Meals/Parki...	001-5-210-2-62300	MEETINGS/TRAINING	412.76
BIG WHEELS REPAIR LLC	16200	Repair/Service - Street Swee...	001-5-210-2-63320	VEHICLE REPAIRS	1,912.85
RECKER, TERRY	Jan/Feb/Mar 2026	Cell Phone	001-5-210-2-63730	TELEPHONE	150.00
SPAHN & ROSE LUMBER CO	23330528	Athletic Field Marking Chalk -...	001-5-210-2-65407	DEPARTMENT SUPPLIES	25.18
ACE HARDWARE	272172	Fasteners/Washers/Nuts	001-5-210-2-65407	DEPARTMENT SUPPLIES	68.80
JOHN DEERE FINANCIAL	6091256	Gloves & Pressure Gauge	001-5-210-2-65407	DEPARTMENT SUPPLIES	42.98
MIDWEST PATCH / HI VIZ SA...	4339	Clear/Amber Lights	001-5-210-2-67270	NEW EQUIPMENT	490.00
Department 210 - TRANSPORTATION Total:					5,198.69
Department: 410 - LIBRARY					
GIANT WASH	26071	Floor Mats - Library	001-5-410-4-65060	OFFICE SUPPLIES	2.37
GIANT WASH	26078	Floor Mats - Library	001-5-410-4-65060	OFFICE SUPPLIES	13.12
Department 410 - LIBRARY Total:					15.49
Department: 430 - PARKS					
RICK'S LAWN MOWING & SN...	5531	Snow Removal - Trails/FEMA	001-5-430-4-64322	CONTRACTED SERVICES	7,306.00
ACE HARDWARE	272225	Batteries/Grass Seed	001-5-430-4-65407	DEPARTMENT SUPPLIES	33.78
MM MECHANICAL	i9279	2" AL DC Myers Hub	001-5-430-4-65407	DEPARTMENT SUPPLIES	105.22
BSN SPORTS/COLLEGIATE PA...	933410307	Softballs	001-5-430-4-65410	SOFTBALL PROGRAM SUPPLI...	754.90
BSN SPORTS/COLLEGIATE PA...	933410306	Pro Tunnel	001-5-430-4-65411	BASEBALL PROGRAM SUPPLI...	1,967.98
BSN SPORTS/COLLEGIATE PA...	933410307	Baseballs/Hats	001-5-430-4-65411	BASEBALL PROGRAM SUPPLI...	1,413.88
Department 430 - PARKS Total:					11,581.76
Department: 445 - AQUATIC CENTER					
DYERSVILLE COMMERCIAL	03267882	Aquatic Center Help Wanted	001-5-445-4-65407	DEPARTMENT SUPPLIES	69.45
Department 445 - AQUATIC CENTER Total:					69.45
Department: 460 - COMMUNITY CENTER					
TJ CLEANING SERVICES	03.19.26 Soc Ctr	Cleaning Services Wk of 3/13 ..	001-5-460-4-64322	CONTRACTED SERVICES	175.00
TJ CLEANING SERVICES	03.26.26 Soc Ctr	Cleaning Services Wk of 3/20 ..	001-5-460-4-64322	CONTRACTED SERVICES	287.50
GIANT WASH	26071	Floor Mats - Social Center	001-5-460-4-64322	CONTRACTED SERVICES	2.37
GIANT WASH	26078	Floor Mats - Social Center	001-5-460-4-64322	CONTRACTED SERVICES	13.12

Expense Approval Register

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Item 1. P

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
PAUL'S PEST CONTROL	4821	Pest Control	001-5-460-4-64322	CONTRACTED SERVICES	125.00
CAPITAL SANITARY SUPPLY	D169641	Garbage Bags	001-5-460-4-65407	DEPARTMENT SUPPLIES	64.86
Department 460 - COMMUNITY CENTER Total:					667.85
Department: 620 - CLERK, TREAS & FINANCE					
FAREWAY STORES INC	00383926 CR	Return Credit	001-5-620-6-65060	OFFICE SUPPLIES	-7.44
DYERSVILLE COMMERCIAL	03267882	Weed Notice	001-5-620-6-65060	OFFICE SUPPLIES	105.76
QUILL CORPORATION	48106042	Copy Paper	001-5-620-6-65060	OFFICE SUPPLIES	38.39
QUILL CORPORATION	48115841	Copy Paper	001-5-620-6-65060	OFFICE SUPPLIES	20.05
Department 620 - CLERK, TREAS & FINANCE Total:					156.76
Department: 630 - ELECTIONS					
DELAWARE COUNTY AUDITOR	03.23.26	Elections	001-5-630-6-64200	ELECTIONS	535.40
Department 630 - ELECTIONS Total:					535.40
Department: 640 - CITY ATTORNEY					
JENNY L WEISS PLLC	00214	Legal Fees - General Matters	001-5-640-6-64110	LEGAL FEES	234.00
JENNY L WEISS PLLC	00215	Legal Fees - Dbq Co Matter	001-5-640-6-64110	LEGAL FEES	292.50
JENNY L WEISS PLLC	00216	Legal Fees - Schmitt Const	001-5-640-6-64110	LEGAL FEES	292.50
Department 640 - CITY ATTORNEY Total:					819.00
Department: 650 - CITY HALL & GEN BLDGS					
TJ CLEANING SERVICES	03.19.26 City	Cleaning Services Wk of 3/13 ..	001-5-650-6-63100	BUILDING MAINTENANCE	250.00
TJ CLEANING SERVICES	03.26.26 City	Cleaning Services Wk of 3/20 ..	001-5-650-6-63100	BUILDING MAINTENANCE	250.00
DUBUQUE HUMANE SOCIETY	2797	Stray Animals	001-5-650-6-63324	MISC. EXPENDITURES	100.00
PANTON, LORI	Jan/Feb/Mar 2026	Reimbursement	001-5-650-6-63730	TELEPHONE	30.00
COMPUTER DOCTORS INC	107727	Remote Support Tools/Micro...	001-5-650-6-64322	CONTRACTED SERVICES	1,140.00
GIANT WASH	26071	Floor Mats - City Hall	001-5-650-6-65412	BUILDING SUPPLIES	25.62
GIANT WASH	26078	Floor Mats - City Hall	001-5-650-6-65412	BUILDING SUPPLIES	13.12
Department 650 - CITY HALL & GEN BLDGS Total:					1,808.74
Department: 670 - OTHER GENERAL GOVT					
MAIERS, TRICIA	03.14.26	IMFOA Board Meeting - Meal...	001-5-670-6-62300	MEETINGS/TRAINING	144.05
Department 670 - OTHER GENERAL GOVT Total:					144.05
Fund 001 - GENERAL FUND Total:					27,066.83
Fund: 110 - ROAD USE FUND					
Department: 210 - TRANSPORTATION					
MORTON SALT INC	5404157685	Safe-T-Salt	110-5-210-2-64170	WINTER STREET MAINTENANA...	3,069.72
Department 210 - TRANSPORTATION Total:					3,069.72
Fund 110 - ROAD USE FUND Total:					3,069.72
Fund: 112 - TRUST AND AGENCY FUND					
Department: 460 - COMMUNITY CENTER					
SUTTER, LAURA	03.15.2026	Social Center Refund	112-5-460-4-64811	SOCIAL CENTER DEPOSIT RE...	200.00
ZEWEN, JORDYN & ERIC	03.22.26	Social Center Refund	112-5-460-4-64811	SOCIAL CENTER DEPOSIT RE...	100.00
HALSTEAD, ABBY	03.28.26	Social Center Refund	112-5-460-4-64811	SOCIAL CENTER DEPOSIT RE...	200.00
OLBERDING, BRIAN/SHELLIE	03.29.126	Social Center Refund	112-5-460-4-64811	SOCIAL CENTER DEPOSIT RE...	100.00
Department 460 - COMMUNITY CENTER Total:					600.00
Fund 112 - TRUST AND AGENCY FUND Total:					600.00
Fund: 135 - DYERSVILLE TIF DIST FUND					
Department: 700 - DEBT SERVICE					
WK DYERSVILLE LLC	86-22 2026	Tax Rebate	135-5-700-5-68018	TAX REBATE	10,891.76
Department 700 - DEBT SERVICE Total:					10,891.76
Fund 135 - DYERSVILLE TIF DIST FUND Total:					10,891.76
Fund: 301 - CAPITAL PROJECTS FUND					
Department: 723 - CAPITAL PROJECT					
HDR ENGINEERING INC	1200806358	Final/Acceptance - Build Gra...	301-5-723-8-64063	ENGINEERS FEES	25,380.00
KIRKHAM MICHAEL	99655	Engineer Fees - 12th Ave Stop..	301-5-723-8-64063	ENGINEERS FEES	7,760.00
EOCENE ENVIRONMENTAL G...	03261036071	Admin/Concept Developmen...	301-5-723-8-64322	CONTRACTED SERVICES	2,763.32

Expense Approval Register

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Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
CRESCENT ELECTRIC SUPPLY	5513528566.001	Stop Lights	301-5-723-8-64322	CONTRACTED SERVICES	68,387.00
Department 723 - CAPITAL PROJECT Total:					104,290.32
Fund 301 - CAPITAL PROJECTS FUND Total:					104,290.32

Fund: 600 - WATER FUND

Department: 810 - WATER

GIANT WASH	26071	Uniforms - Recker	600-5-810-9-61809	RECKER UNIFORMS	18.65
GIANT WASH	26078	Uniforms - Recker	600-5-810-9-61809	RECKER UNIFORMS	13.06
GIANT WASH	26071	Uniforms - Herbers	600-5-810-9-61814	HERBERS UNIFORMS	2.37
GIANT WASH	26078	Uniforms - Herbers	600-5-810-9-61814	HERBERS UNIFORMS	2.37
CARQUEST AUTO PARTS	4986-500351	Oil Filter/Oil	600-5-810-9-63320	VEHICLE REPAIRS	26.47
MICROBAC LABORATORIES	WL2600866	Testing	600-5-810-9-64317	TESTING	87.50
EMS INDUSTRIAL INC	959563	Evaluation/Replacement Pu...	600-5-810-9-64322	CONTRACTED SERVICES	26,447.06
ONE STEP HERITAGE PRINTI...	N240678	Late Notices	600-5-810-9-65060	OFFICE SUPPLIES	120.00
J & R SUPPLY	2603363-IN	Locating Paint	600-5-810-9-65407	DEPARTMENT SUPPLIES	66.00
ACE HARDWARE	272032	Water Supplies	600-5-810-9-65407	DEPARTMENT SUPPLIES	263.89
PFEILER ELECTRIC	2987	Test Motor/Install Load Con...	600-5-810-9-65407	DEPARTMENT SUPPLIES	366.61
HAWKINS WATER TREATME...	7376931	Azone/LPC-1	600-5-810-9-65407	DEPARTMENT SUPPLIES	503.48
HAWKINS WATER TREATME...	7376937	Azone/LPC-4/Tonkazorb	600-5-810-9-65407	DEPARTMENT SUPPLIES	3,375.52
EMS INDUSTRIAL INC	959677	Shipping Charges	600-5-810-9-65407	DEPARTMENT SUPPLIES	41.89
USA BLUE BOOK	INV00992487	Testing Supplies	600-5-810-9-65407	DEPARTMENT SUPPLIES	1,289.11
FERGUSON WATERWORKS #...	0547138	Meter Body's	600-5-810-9-67814	WATER METERS	11,638.12
Department 810 - WATER Total:					44,262.10
Fund 600 - WATER FUND Total:					44,262.10

Fund: 610 - SEWER FUND

Department: 815 - SEWER

GIANT WASH	26071	Uniforms - Menke	610-5-815-9-61810	MENKE UNIFORMS	2.37
GIANT WASH	26078	Uniforms - Menke	610-5-815-9-61810	MENKE UNIFORMS	2.37
GIANT WASH	26071	Uniforms - Reicher	610-5-815-9-61813	REICHER UNIFORMS	14.58
GIANT WASH	26078	Uniforms - Reicher	610-5-815-9-61813	REICHER UNIFORMS	20.17
JEFF'S AUTO SERVICE	174101	Tires/Mounting/Balance	610-5-815-9-63320	VEHICLE REPAIRS	796.68
REICHER, JOE	Jan/Feb/Mar 2026	Cell Phone	610-5-815-9-63730	TELEPHONE	150.00
MENKE, TERRY	Jan/Feb/Mar 2026	Reimbursement - Cell Phone	610-5-815-9-63730	TELEPHONE	150.00
MICROBAC LABORATORIES	NT2601394	Testing	610-5-815-9-64317	TESTING	630.00
MICROBAC LABORATORIES	WL2600866	Testing	610-5-815-9-64317	TESTING	1,120.75
ONE STEP HERITAGE PRINTI...	N240678	Late Notices	610-5-815-9-65060	OFFICE SUPPLIES	120.00
J & R SUPPLY	2603363-IN	Locating Paint	610-5-815-9-65407	DEPARTMENT SUPPLIES	66.00
JOHN DEERE FINANCIAL	6089338	Towels/Bit Set	610-5-815-9-65407	DEPARTMENT SUPPLIES	34.97
JOHN DEERE FINANCIAL	6097420	Fuel Line Hose	610-5-815-9-65407	DEPARTMENT SUPPLIES	12.32
HERBERS, TIM	6097991	Tubing/Hose/Clamp	610-5-815-9-65407	DEPARTMENT SUPPLIES	56.30
MM MECHANICAL	9760	Heat Pump Install	610-5-815-9-65407	DEPARTMENT SUPPLIES	2,200.00
USA BLUE BOOK	INV00998056	Union/Coupling/Adapter/Spi...	610-5-815-9-65407	DEPARTMENT SUPPLIES	68.17
Department 815 - SEWER Total:					5,444.68
Fund 610 - SEWER FUND Total:					5,444.68

Fund: 612 - SEWER CAPITAL ACCOUNT

Department: 723 - CAPITAL PROJECT

ORIGIN DESIGN CO	83136	Preliminary Design - Westlin...	612-5-723-9-64063	ENGINEERS FEES	13,398.94
Department 723 - CAPITAL PROJECT Total:					13,398.94
Fund 612 - SEWER CAPITAL ACCOUNT Total:					13,398.94

Fund: 670 - SOLID WASTE FUND

Department: 840 - SOLID WASTE

BI-COUNTY DISPOSAL INC	184412	Garbage/Recycling Fees	670-5-840-9-64316	CONTRACTS	27,486.25
ONE STEP HERITAGE PRINTI...	N240678	Late Notices	670-5-840-9-65060	OFFICE SUPPLIES	100.00
BI-COUNTY DISPOSAL INC	183374	Garbage Tags	670-5-840-9-65405	GARBAGE TAGS	100.00
Department 840 - SOLID WASTE Total:					27,686.25
Fund 670 - SOLID WASTE FUND Total:					27,686.25

Grand Total: 236,710.60

Fund Summary

Fund	Expense Amount
001 - GENERAL FUND	27,066.83
110 - ROAD USE FUND	3,069.72
112 - TRUST AND AGENCY FUND	600.00
135 - DYERSVILLE TIF DIST FUND	10,891.76
301 - CAPITAL PROJECTS FUND	104,290.32
600 - WATER FUND	44,262.10
610 - SEWER FUND	5,444.68
612 - SEWER CAPITAL ACCOUNT	13,398.94
670 - SOLID WASTE FUND	27,686.25
Grand Total:	236,710.60

Account Summary

Account Number	Account Name	Expense Amount
001-5-110-1-62100	DUES/SUBSCRIPTIONS	2,091.35
001-5-110-1-63320	VEHICLE REPAIRS	607.59
001-5-110-1-63730	TELEPHONE	600.00
001-5-110-1-64110	LEGAL FEES	604.50
001-5-110-1-65060	OFFICE SUPPLIES	18.87
001-5-110-1-65407	DEPARTMENT SUPPLIES	20.98
001-5-150-1-62100	DUES/SUBSCRIPTIONS	2,091.35
001-5-150-1-62300	MEETINGS/TRAINING	35.00
001-5-210-2-61806	LUECK UNIFORMS	4.74
001-5-210-2-62100	DUES/SUBSCRIPTIONS	2,091.38
001-5-210-2-62300	MEETINGS/TRAINING	412.76
001-5-210-2-63320	VEHICLE REPAIRS	1,912.85
001-5-210-2-63730	TELEPHONE	150.00
001-5-210-2-65407	DEPARTMENT SUPPLIES	136.96
001-5-210-2-67270	NEW EQUIPMENT	490.00
001-5-410-4-65060	OFFICE SUPPLIES	15.49
001-5-430-4-64322	CONTRACTED SERVICES	7,306.00
001-5-430-4-65407	DEPARTMENT SUPPLIES	139.00
001-5-430-4-65410	SOFTBALL PROGRAM SU...	754.90
001-5-430-4-65411	BASEBALL PROGRAM SU...	3,381.86
001-5-445-4-65407	DEPARTMENT SUPPLIES	69.45
001-5-460-4-64322	CONTRACTED SERVICES	602.99
001-5-460-4-65407	DEPARTMENT SUPPLIES	64.86
001-5-620-6-65060	OFFICE SUPPLIES	156.76
001-5-630-6-64200	ELECTIONS	535.40
001-5-640-6-64110	LEGAL FEES	819.00
001-5-650-6-63100	BUILDING MAINTENANCE	500.00
001-5-650-6-63324	MISC. EXPENDITURES	100.00
001-5-650-6-63730	TELEPHONE	30.00
001-5-650-6-64322	CONTRACTED SERVICES	1,140.00
001-5-650-6-65412	BUILDING SUPPLIES	38.74
001-5-670-6-62300	MEETINGS/TRAINING	144.05
110-5-210-2-64170	WINTER STREET MAINT...	3,069.72
112-5-460-4-64811	SOCIAL CENTER DEPOSIT...	600.00
135-5-700-5-68018	TAX REBATE	10,891.76
301-5-723-8-64063	ENGINEERS FEES	33,140.00
301-5-723-8-64322	CONTRACTED SERVICES	71,150.32
600-5-810-9-61809	RECKER UNIFORMS	31.71
600-5-810-9-61814	HERBERS UNIFORMS	4.74
600-5-810-9-63320	VEHICLE REPAIRS	26.47
600-5-810-9-64317	TESTING	87.50
600-5-810-9-64322	CONTRACTED SERVICES	26,447.06
600-5-810-9-65060	OFFICE SUPPLIES	120.00
600-5-810-9-65407	DEPARTMENT SUPPLIES	5,906.50
600-5-810-9-67814	WATER METERS	11,638.12
610-5-815-9-61810	MENKE UNIFORMS	4.74

Account Summary

Account Number	Account Name	Expense Amount
610-5-815-9-61813	REICHER UNIFORMS	34.75
610-5-815-9-63320	VEHICLE REPAIRS	796.68
610-5-815-9-63730	TELEPHONE	300.00
610-5-815-9-64317	TESTING	1,750.75
610-5-815-9-65060	OFFICE SUPPLIES	120.00
610-5-815-9-65407	DEPARTMENT SUPPLIES	2,437.76
612-5-723-9-64063	ENGINEERS FEES	13,398.94
670-5-840-9-64316	CONTRACTS	27,486.25
670-5-840-9-65060	OFFICE SUPPLIES	100.00
670-5-840-9-65405	GARBAGE TAGS	100.00
Grand Total:		236,710.60

Project Account Summary

Project Account Key	Expense Amount
None	212,788.34
30120500193	2,763.32
30125040	13,398.94
3012601610	7,760.00
Grand Total:	236,710.60



Dyersville, IA

Expense Approval Register

Item 1.

Packet: APPKT02189 - 04.06.2026 Bills - IH

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
Fund: 001 - GENERAL FUND					
Department: 110 - POLICE					
RELIANCE STANDARD	04.2026	Police Insurance	001-5-110-1-61500	GROUP INSURANCE	234.74
ALLIANT ENERGY	02.25.26 B	Wifi Electricity	001-5-110-1-63710	ELECTRICITY	45.09
ALLIANT ENERGY	03.13.26	Wifi Electricity	001-5-110-1-63710	ELECTRICITY	69.41
ALLIANT ENERGY	03.20.2026	Police Department Electricity	001-5-110-1-63710	ELECTRICITY	400.00
ALLIANT ENERGY	03.20.2026	Wifi Electricity	001-5-110-1-63710	ELECTRICITY	116.45
WINDSTREAM	03.16.26 2044	Telephone	001-5-110-1-63730	TELEPHONE	66.40
WINDSTREAM	03.16.26 7366	Telephone	001-5-110-1-63730	TELEPHONE	69.36
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-110-1-64080	INSURANCE PREMIUM	30.00
Department 110 - POLICE Total:					1,031.45
Department: 130 - EMERGENCY MANAGEMENT					
MAQUOKETA VALLEY ELECTR...	02.2026	Tornado Siren Electricity	001-5-130-1-67275	EMERGENCY EQUIPMENT	50.96
Department 130 - EMERGENCY MANAGEMENT Total:					50.96
Department: 140 - FLOOD CONTROL					
VERIZON WIRELESS	6139514033	Cell Phone M2M	001-5-140-1-67610	EROSION CONTROL	21.06
Department 140 - FLOOD CONTROL Total:					21.06
Department: 150 - FIRE					
MAQUOKETA VALLEY ELECTR...	02.2026	Fire - Electricity	001-5-150-1-63710	ELECTRICITY	420.91
XTREAM / MEDIACOM	03.2026	Cable Service	001-5-150-1-63730	TELEPHONE	96.68
T MOBILE	03.2026	Mobile Internet	001-5-150-1-63730	TELEPHONE	48.53
Department 150 - FIRE Total:					566.12
Department: 180 - MISC. COMMUNITY PROTECTION					
MAQUOKETA VALLEY ELECTR...	02.2026	Stop Lights Electricity	001-5-180-1-63710	ELECTRICITY	54.95
MAQUOKETA VALLEY ELECTR...	02.2026	Street Light Electricity	001-5-180-1-63710	ELECTRICITY	150.49
MAQUOKETA VALLEY ELECTR...	02.2026	Street Lights 2 Electricity	001-5-180-1-63710	ELECTRICITY	70.89
MAQUOKETA VALLEY ELECTR...	02.2026	Castle Hill Lights Electricity	001-5-180-1-63710	ELECTRICITY	58.57
MAQUOKETA VALLEY ELECTR...	02.2026	Field of Dreams Electricity	001-5-180-1-63710	ELECTRICITY	67.15
ALLIANT ENERGY	02.25.26 B	Community Protection Electr...	001-5-180-1-63710	ELECTRICITY	1,520.82
ALLIANT ENERGY	03.13.26	Community Protection Electr...	001-5-180-1-63710	ELECTRICITY	190.98
ALLIANT ENERGY	03.20.2026	Community Protection Electr...	001-5-180-1-63710	ELECTRICITY	486.88
Department 180 - MISC. COMMUNITY PROTECTION Total:					2,600.73
Department: 210 - TRANSPORTATION					
RELIANCE STANDARD	04.2026	Public Works Insurance	001-5-210-2-61500	GROUP INSURANCE	82.22
ALLIANT ENERGY	03.20.2026	Public Works - Electricity	001-5-210-2-63710	ELECTRICITY	336.01
T MOBILE	03.2026	Mobile Internet	001-5-210-2-63730	TELEPHONE	48.54
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-210-2-64080	INSURANCE PREMIUM	5.95
Department 210 - TRANSPORTATION Total:					472.72
Department: 410 - LIBRARY					
RELIANCE STANDARD	04.2026	Library Insurance	001-5-410-4-61500	GROUP INSURANCE	108.39
ALLIANT ENERGY	03.20.2026	Library Electricity	001-5-410-4-63710	ELECTRICITY	1,021.68
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-410-4-64080	INSURANCE PREMIUM	15.00
Department 410 - LIBRARY Total:					1,145.07
Department: 430 - PARKS					
RELIANCE STANDARD	04.2026	Parks Insurance	001-5-430-4-61500	GROUP INSURANCE	25.67
ALLIANT ENERGY	02.25.26 B	Park Electricity	001-5-430-4-63710	ELECTRICITY	99.14
ALLIANT ENERGY	03.13.26	Park Electricity	001-5-430-4-63710	ELECTRICITY	143.17
ALLIANT ENERGY	03.20.2026	Park Electricity	001-5-430-4-63710	ELECTRICITY	354.57
WINDSTREAM	03.18.26 7190	Telephone	001-5-430-4-63730	TELEPHONE	49.17
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-430-4-64080	INSURANCE PREMIUM	2.50
TREASURER STATE OF IOWA	03.2026 Sales	Parks Sales Tax	001-5-430-4-64180	SALES TAXES PAID	39.78
TREASURER STATE OF IOWA	03.2026 Sales	Parks Local Sales Tax	001-5-430-4-64181	LOCAL OPTION SALES TAX PA...	6.66

Expense Approval Register

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
TRUMM, NICK	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	175.00
THIER, KRISTIE	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
HARRY, JEFF	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	175.00
NANK, MAX	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
THEIN, JORDAN	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
HEIMS, EMILY	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	175.00
DOMEYER, LUKE & SARA	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	175.00
MERTZ, AMANDA	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
PEDERSON, COLE OR CHELSEY	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
DOMEYER, CRAIG	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
FANGMANN, MARK	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
GEISTKEMPER, JEFF	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	280.00
TRUMM, NATE	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	245.00
JACOBSON, JARED OR JESSICA	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	140.00
REICKS, DAVID	03.2026	Umpire Fees	001-5-430-4-64323	COACHES/UMPIRES	210.00
Department 430 - PARKS Total:					3,275.66

Department: 445 - AQUATIC CENTER

RELIANCE STANDARD	04.2026	Pool Insurance	001-5-445-4-61500	GROUP INSURANCE	25.67
ALLIANT ENERGY	03.20.2026	Pool Electricity	001-5-445-4-63710	ELECTRICITY	179.31
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-445-4-64080	INSURANCE PREMIUM	2.50
TREASURER STATE OF IOWA	03.2026 Sales	Pool Sales Tax	001-5-445-4-64180	SALES TAXES PAID	14.02
TREASURER STATE OF IOWA	03.2026 Sales	Pool Local Sales Tax	001-5-445-4-64181	LOCAL OPTION SALES TAX PA...	2.34
Department 445 - AQUATIC CENTER Total:					223.84

Department: 460 - COMMUNITY CENTER

ALLIANT ENERGY	03.13.26	Social Center Electricity	001-5-460-4-63710	ELECTRICITY	52.50
Department 460 - COMMUNITY CENTER Total:					52.50

Department: 520 - ECONOMIC DEVELOPMENT

ENGLISH PUB PROPERTIES	100-25 2026	Building Grant	001-5-520-5-64315	ECONOMIC DEVELOPMENT	60,000.00
Department 520 - ECONOMIC DEVELOPMENT Total:					60,000.00

Department: 610 - MAYOR, COUNCIL & CITY ADM

RELIANCE STANDARD	04.2026	P & A Insurance	001-5-610-6-61500	GROUP INSURANCE	45.69
Department 610 - MAYOR, COUNCIL & CITY ADM Total:					45.69

Department: 620 - CLERK, TREAS & FINANCE

RELIANCE STANDARD	04.2026	Mayor/Council Insurance	001-5-620-6-61500	GROUP INSURANCE	9.43
Department 620 - CLERK, TREAS & FINANCE Total:					9.43

Department: 650 - CITY HALL & GEN BLDGS

ALLIANT ENERGY	02.2026 Annex	Electricity - Annex	001-5-650-6-63710	ELECTRICITY	1,498.93
ALLIANT ENERGY	03.10.26 FOD	Electricity - FOD	001-5-650-6-63710	ELECTRICITY	240.27
ALLIANT ENERGY	03.20.2026	City Hall Electricity	001-5-650-6-63710	ELECTRICITY	456.11
ALLIANT ENERGY	03.24.26	Electricity - Annex	001-5-650-6-63710	ELECTRICITY	99.77
MAQUOKETA VALLEY ELECTR...	03.16.26 Fire	Fiber Optic - Business Ultra	001-5-650-6-63730	TELEPHONE	399.45
MAQUOKETA VALLEY ELECTR...	03.16.26 FOD	Internet- Field of Dreams	001-5-650-6-63730	TELEPHONE	379.55
WINDSTREAM	03.18.26 2271	Telephone	001-5-650-6-63730	TELEPHONE	213.85
WINDSTREAM	03.18.26 7190	Telephone	001-5-650-6-63730	TELEPHONE	50.00
Department 650 - CITY HALL & GEN BLDGS Total:					3,337.93

Department: 660 - TORT LIABILITY

PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	001-5-660-6-64080	INSURANCE PREMIUM	1.75
ASSURED PARTNERS	190181	Insurance Premium - Cyber L...	001-5-660-6-64080	INSURANCE PREMIUM	9,584.47
Department 660 - TORT LIABILITY Total:					9,586.22

Department: 670 - OTHER GENERAL GOVT

WALLACE, MYA	10.31.24	Refund - Deposit	001-5-670-6-64800	REFUNDS	300.00
Department 670 - OTHER GENERAL GOVT Total:					300.00

Fund 001 - GENERAL FUND Total: 82,719.38

Fund: 110 - ROAD USE FUND

Department: 180 - MISC. COMMUNITY PROTECTION

ALLIANT ENERGY	02.25.26 B	Road Use Electricity (70%)	110-5-180-1-63710	ELECTRICITY	3,548.56
ALLIANT ENERGY	03.13.26	Road Use Electricity (70%)	110-5-180-1-63710	ELECTRICITY	445.59

Expense Approval Register

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
ALLIANT ENERGY	03.20.2026	Road Use Electricity (70%)	110-5-180-1-63710	ELECTRICITY	1,136.03
				Department 180 - MISC. COMMUNITY PROTECTION Total:	5,130.18
				Fund 110 - ROAD USE FUND Total:	5,130.18

Fund: 600 - WATER FUND

Department: 810 - WATER

RELIANCE STANDARD	04.2026	Water Insurance	600-5-810-9-61500	GROUP INSURANCE	80.85
MAQUOKETA VALLEY ELECTR...	02.2026	Well 5 Electricity	600-5-810-9-63710	ELECTRICITY	2,971.69
ALLIANT ENERGY	02.25.26 B	Water Electricity	600-5-810-9-63710	ELECTRICITY	1,240.37
ALLIANT ENERGY	03.20.2026	Water Electricity	600-5-810-9-63710	ELECTRICITY	4,764.79
T MOBILE	03.2026	Mobile Internet	600-5-810-9-63730	TELEPHONE	48.53
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	600-5-810-9-64080	INSURANCE PREMIUM	14.78
TREASURER STATE OF IOWA	03.2026 WET	Water Excise Tax	600-5-810-9-64182	WET [WATER EXCISE TAX SE...	5,659.87
				Department 810 - WATER Total:	14,780.88
				Fund 600 - WATER FUND Total:	14,780.88

Fund: 610 - SEWER FUND

Department: 815 - SEWER

RELIANCE STANDARD	04.2026	Wastewater Insurance	610-5-815-9-61500	GROUP INSURANCE	97.16
MAQUOKETA VALLEY ELECTR...	02.2026	Wastewater Electricity	610-5-815-9-63710	ELECTRICITY	1,503.17
MAQUOKETA VALLEY ELECTR...	02.2026	Ind Park Lift Station Electricity	610-5-815-9-63710	ELECTRICITY	136.93
MAQUOKETA VALLEY ELECTR...	02.2026	Press Building Electricity	610-5-815-9-63710	ELECTRICITY	3,047.01
ALLIANT ENERGY	02.25.26 B	Wastewater Electricity	610-5-815-9-63710	ELECTRICITY	128.55
ALLIANT ENERGY	03.20.2026	Wastewater Electricity	610-5-815-9-63710	ELECTRICITY	1,113.01
T MOBILE	03.2026	Mobile Internet	610-5-815-9-63730	TELEPHONE	48.53
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	610-5-815-9-64080	INSURANCE PREMIUM	10.27
TREASURER STATE OF IOWA	03.2026 Sales	Wastewater Sales Tax	610-5-815-9-64180	SALES TAXES PAID	2,231.42
TREASURER STATE OF IOWA	03.2026 Sales	Wastewater Local Sales Tax	610-5-815-9-64181	LOCAL OPTION SALES TAX PA...	371.90
				Department 815 - SEWER Total:	8,687.95
				Fund 610 - SEWER FUND Total:	8,687.95

Fund: 670 - SOLID WASTE FUND

Department: 840 - SOLID WASTE

RELIANCE STANDARD	04.2026	Solid Waste Insurance	670-5-840-9-61500	GROUP INSURANCE	14.16
MAQUOKETA VALLEY ELECTR...	02.2026	Compost Site Electricity	670-5-840-9-63710	ELECTRICITY	68.19
PREFERRED HEALTH CHOICES...	0000008908	HRA Admin	670-5-840-9-65060	OFFICE SUPPLIES	2.25
				Department 840 - SOLID WASTE Total:	84.60
				Fund 670 - SOLID WASTE FUND Total:	84.60

Grand Total: 111,402.99

Fund Summary

Fund	Expense Amount
001 - GENERAL FUND	82,719.38
110 - ROAD USE FUND	5,130.18
600 - WATER FUND	14,780.88
610 - SEWER FUND	8,687.95
670 - SOLID WASTE FUND	84.60
Grand Total:	111,402.99

Account Summary

Account Number	Account Name	Expense Amount
001-5-110-1-61500	GROUP INSURANCE	234.74
001-5-110-1-63710	ELECTRICITY	630.95
001-5-110-1-63730	TELEPHONE	135.76
001-5-110-1-64080	INSURANCE PREMIUM	30.00
001-5-130-1-67275	EMERGENCY EQUIPMENT	50.96
001-5-140-1-67610	EROSION CONTROL	21.06
001-5-150-1-63710	ELECTRICITY	420.91
001-5-150-1-63730	TELEPHONE	145.21
001-5-180-1-63710	ELECTRICITY	2,600.73
001-5-210-2-61500	GROUP INSURANCE	82.22
001-5-210-2-63710	ELECTRICITY	336.01
001-5-210-2-63730	TELEPHONE	48.54
001-5-210-2-64080	INSURANCE PREMIUM	5.95
001-5-410-4-61500	GROUP INSURANCE	108.39
001-5-410-4-63710	ELECTRICITY	1,021.68
001-5-410-4-64080	INSURANCE PREMIUM	15.00
001-5-430-4-61500	GROUP INSURANCE	25.67
001-5-430-4-63710	ELECTRICITY	596.88
001-5-430-4-63730	TELEPHONE	49.17
001-5-430-4-64080	INSURANCE PREMIUM	2.50
001-5-430-4-64180	SALES TAXES PAID	39.78
001-5-430-4-64181	LOCAL OPTION SALES TA...	6.66
001-5-430-4-64323	COACHES/UMPIRES	2,555.00
001-5-445-4-61500	GROUP INSURANCE	25.67
001-5-445-4-63710	ELECTRICITY	179.31
001-5-445-4-64080	INSURANCE PREMIUM	2.50
001-5-445-4-64180	SALES TAXES PAID	14.02
001-5-445-4-64181	LOCAL OPTION SALES TA...	2.34
001-5-460-4-63710	ELECTRICITY	52.50
001-5-520-5-64315	ECONOMIC DEVELOPM...	60,000.00
001-5-610-6-61500	GROUP INSURANCE	45.69
001-5-620-6-61500	GROUP INSURANCE	9.43
001-5-650-6-63710	ELECTRICITY	2,295.08
001-5-650-6-63730	TELEPHONE	1,042.85
001-5-660-6-64080	INSURANCE PREMIUM	9,586.22
001-5-670-6-64800	REFUNDS	300.00
110-5-180-1-63710	ELECTRICITY	5,130.18
600-5-810-9-61500	GROUP INSURANCE	80.85
600-5-810-9-63710	ELECTRICITY	8,976.85
600-5-810-9-63730	TELEPHONE	48.53
600-5-810-9-64080	INSURANCE PREMIUM	14.78
600-5-810-9-64182	WET [WATER EXCISE TAX...	5,659.87
610-5-815-9-61500	GROUP INSURANCE	97.16
610-5-815-9-63710	ELECTRICITY	5,928.67
610-5-815-9-63730	TELEPHONE	48.53
610-5-815-9-64080	INSURANCE PREMIUM	10.27
610-5-815-9-64180	SALES TAXES PAID	2,231.42
610-5-815-9-64181	LOCAL OPTION SALES TA...	371.90
670-5-840-9-61500	GROUP INSURANCE	14.16
670-5-840-9-63710	ELECTRICITY	68.19

Account Summary

Account Number	Account Name	Expense Amount
670-5-840-9-65060	OFFICE SUPPLIES	2.25
	Grand Total:	111,402.99

Project Account Summary

Project Account Key	Expense Amount	
None	111,402.99	
	Grand Total:	111,402.99

UBPKT02692 - Refunds 01 UBPKT02691 Disconnect

Account	Name	Date	Check #	Amount	Code	Receipt	Amount	Type
03-020555-04	RISE Counseling & Consulting		0	136.66			136.66	Generated From Billing
02-100054-04	Burns, Cali		0	58.40			58.40	Generated From Billing
Total Refunds: 2			Total Refunded Amount:	195.06				

Revenue Code Summary

Revenue Code	Amount
996 - Unapplied Credit	195.06
Revenue Total:	195.06

Detail Report

February Receipts - REVENUE

Account Summary

Date Range: 02/01/2026 - 02/28/2026

Account	Name	Total Activity
Fund: 001 - GENERAL FUND		
001-4-950-0-1-41220	BUILDING PERMITS	\$ 570.00
001-4-950-0-1-41800	DOG/BIKE LICENSES	\$ 9.00
001-4-950-0-1-41900	MISCELLANEOUS PERMITS	\$ 50.00
001-4-950-0-1-45503	BD OF ADJ/PLAN & ZONING APPL F	\$ 150.00
001-4-950-0-1-45599	MISCELLANEOUS RECEIPTS	\$ 25.38
001-4-950-0-1-45600	SALES TAX RECEIVED	\$ 88.77
001-4-950-0-4-40000	PROPERTY TAX	\$ 12,478.00
001-4-950-0-4-40652	ELECTRIC FRANCHISE FEE	\$ 95,406.27
001-4-950-0-4-40850	HOTEL/MOTEL TAX	\$ 9,321.58
001-4-950-0-4-40900	LOCAL OPTION SALES TAX	\$ 17,303.33
001-4-950-0-4-43000	INTEREST	\$ 8,423.72
001-4-950-0-4-43100	RENT	\$ 2,750.00
001-4-950-0-4-43101	BI-COUNTY LEASE PAYMENT	\$ 1,370.29
001-4-950-0-4-43102	SOCIAL CENTER RENTALS	\$ 1,600.00
001-4-950-1-1-45513	POLICE REPORTS	\$ 30.00
001-4-950-1-1-45599	MISCELLANEOUS RECEIPTS	\$ 100.00
001-4-950-1-1-47700	POLICE FINES	\$ 1,036.54
001-4-950-4-1-45506	BASEBALL PROGRAM	\$ 3,335.57
001-4-950-4-1-45507	SOFTBALL PROGRAM	\$ 3,107.71
001-4-950-4-1-45508	POOL RECEIPTS	\$ 149.53
001-4-950-4-1-45509	SOCCER PROGRAM	\$ 4,808.54
001-4-950-4-1-45510	FLAG FOOTBALL	\$ 1,260.00
001-4-950-4-1-45599	MISCELLANEOUS RECEIPTS	\$ 263.07
001-4-950-4-1-47651	LIBRARY FINES & FEES	\$ 202.07
Total Fund: 001 - GENERAL FUND:		\$ 163,839.37
 Fund: 002 - LIBRARY TRUST FUND		
002-4-950-0-4-43000	INTEREST	\$ 55.40
002-4-950-4-1-45511	LIBRARY TRUST REVENUES	\$ 1,404.36
Total Fund: 002 - LIBRARY TRUST FUND:		\$ 1,459.76
 Fund: 110 - ROAD USE FUND		
110-4-950-2-2-44300	ROAD USE TAX REVENUE	\$ 40,662.66
Total Fund: 110 - ROAD USE FUND:		\$ 40,662.66
 Fund: 112 - TRUST AND AGENCY FUND		
112-4-950-9-1-47300	TENANTS DEPOSITS RECEIVED	\$ (450.00)
112-4-950-9-1-47301	SOCIAL CENTER DEPOSIT RECEIVED	\$ 2,150.00
Total Fund: 112 - TRUST AND AGENCY FUND:		\$ 1,700.00

Fund: 121 - L.O. SALES TAX RESERVE

121-4-950-0-4-40900	LOCAL OPTION SALES TAX	\$ 51,865.33
Total Fund: 121 - L.O. SALES TAX RESERVE:		\$ 51,865.33

Fund: 135 - DYERSVILLE TIF DIST FUND

135-4-950-0-4-40000	PROPERTY TAX	\$ 7,526.48
Total Fund: 135 - DYERSVILLE TIF DIST FUND:		\$ 7,526.48

Fund: 200 - DEBT SERVICE

200-4-710-7-4-40000	PROPERTY TAX	\$ 4,195.65
Total Fund: 200 - DEBT SERVICE:		\$ 4,195.65

Fund: 600 - WATER FUND

600-4-810-9-1-45000	WATER RECEIPTS	\$ 87,036.35
600-4-810-9-1-45200	WATER SRF RECEIPT	\$ 9,395.23
600-4-810-9-1-45300	WATER PENALTIES	\$ 1,408.00
600-4-810-9-1-45599	MISCELLANEOUS RECEIPTS	\$ 63.08
600-4-810-9-1-45601	WET (WATER SERVICE EXCISE TAX)	\$ 5,527.02
Total Fund: 600 - WATER FUND:		\$ 103,429.68

Fund: 610 - SEWER FUND

610-4-815-9-1-45100	SEWER RECEIPTS	\$ 120,515.98
610-4-815-9-1-45200	SEWER SRF RECEIPTS	\$ 36,046.18
610-4-815-9-1-45301	SEWER PENALTIES	\$ 384.00
610-4-815-9-1-45600	SALES TAX RECEIVED	\$ 1,966.56
610-4-815-9-4-40900	LOCAL OPTION SALES TAX	\$ 327.56
Total Fund: 610 - SEWER FUND:		\$ 159,240.28

Fund: 670 - SOLID WASTE FUND

670-4-840-9-1-45302	SOLID WASTE PENALTIES	\$ 284.00
670-4-840-9-1-45304	GARBAGE TAGS SOLD	\$ 15.00
670-4-840-9-1-45700	SOLID WASTE RECEIPTS	\$ 38,281.38
Total Fund: 670 - SOLID WASTE FUND:		\$ 38,580.38

Grand Totals:	\$ 572,499.59
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CITY COUNCIL

Lower Level Council Chambers
Monday, March 16, 2026
6:00 PM

MINUTES

CALL TO ORDER – ROLL CALL

PRESENT Mayor Jeff Jacque, Council Member Scott DeSousa, Council Member Mike English, Council Member Mike Oberbroeckling, Council Member Norm Pottebaum, Council Member Mark Singsank

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

Motion made by Council Member English to approve the March 16, 2026 agenda Seconded by Council Member Pottebaum.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

ORAL COMMENTS

Savannah Salow, 822 1st St SW, is wondering if the City has followed up with EMC Insurance. After reviewing the documents requested, the property owners have several questions and concerns they wish to discuss with EMC. Additionally, their email regarding the records request specified that a notification should be provided if the cost would exceed \$50, but no such notice was given, and the final amount was three times higher.

APPROVAL OF CONSENT AGENDA

Motion made by Council Member Oberbroeckling to approve Seconded by Council Member Singsank. Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

1. Approve Bills; 2. Approve Minutes City Council Meeting - March 2, 2026; **3. Approve Minutes** - Budget Work Session - March 2, 2026; **4. Receive & File Minutes** Planning & Zoning Commission Meeting - March 9, 2026; **5. Receive & File Minutes** James Kennedy Public Library Board of Trustees Meeting - February 10, 2026; **6. Blasting Permit** Bennett Explosives, Inc. - April 2026; **7. Class E Retail Alcohol License** Dyersville Events, Inc; **8. Resolution No. 20-26** approving Plat of Survey and Plat of Access and Utility Easement. Lot 1 in Part of the Southeast Quarter of the Northeast Quarter of Section 18, Township 88 North, Range 2 West of the 5th P.M., Dubuque County, Iowa.; **9. Resolution No. 21-26** approving Plat of Survey of Parcel 2026-14 Part of the East Half (E1/2) of the Northwest Quarter (NW1/4) and Part of Parcel B, all in Section Thirty-Three (33), Township Eighty-Nine North (T89N), Range Three West (R3W) of the Fifth Principal Meridian, Delaware County, Iowa. Parcel 2026-15 Part of the East Half (E1/2) of the Northwest Quarter (NW1/4) and Part of Parcel B, all in Section Thirty-Three (33), Township Eighty-Nine North (T89N), Range Three West (R3W) of the Fifth Principal Meridian, Delaware County, Iowa. Parcel 2026-16 Part of Parcel B, all in Section Thirty-Three (33), Township Eighty-Nine North (T89N), Range Three West (R3W) of the Fifth Principal Meridian, Delaware County, Iowa.; **10. Authorize Police Chief to Sign** 28E Agreement for Alcohol Product Enforcement; **11. Authorize City Administrator to Sign** Residential Lease Agreement - Dyersville Die Cast; **12. Correspondence** Sherry Krapfl, 506 2nd Street NE, Dyersville, Westlinden Lift Station; **13. Correspondence** Austin Zuercher, 621 2nd Street NW, Dyersville, Police Concerns; **14. Correspondence** from City Administrator regarding Sewer Backup Claim with Quincy Wilgenbusch and Savannah Salow - Status Update; **15. Receive & File** Staff Report - Police - March 2026; **16. Receive & File** Staff Report - Parks & Recreation - March 2026; **17. Receive & File** Staff Report - Library - March 2026; **18. Receive & File** Staff Report - Public Works - March 2026; **19. Receive & File** Staff Report - City Administrator - March 2026. The following bills were approved:

Access Systems	Contract	\$	475.04
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Ace Hardware	Supplies	\$ 129.11
Amazon	Books	\$ 2,600.30
American Legion Post 137	Flag	\$ 35.00
Assured Partners	Insurance Premium	\$ 310.00
Bi-County Disposal Inc	Garbage / Recycling	\$ 27,572.50
Big Wheels Repair LLC	Vehicle Repair	\$ 602.14
Blackstone Publishing	Books	\$ 125.79
Blue Path Finance FC IV	Solar Energy	\$ 3,883.23
Book Systems Inc	Contract	\$ 1,269.00
Callahan Municipal Consultants LLC	Consulting Service	\$ 1,300.00
Capital Sanitary Supply	Supplies	\$ 35.16
Carrot-Top Industries	Supplies	\$ 184.98
Cengage Learning	Books	\$ 227.41
Center Point Publishing	Books	\$ 81.61
Communications Engineering Company	Fiber System	\$ 5,906.12
Complete Office of Wisconsin	Supplies	\$ 75.75
Computer Doctors Inc	Computer Work	\$ 1,139.00
Crescent Electric Supply	Supplies	\$ 178.14
Demco Educational Corp	Program	\$ 57.65
Dyersville Commercial	Legal Notices/Ads	\$ 542.55
Dyersville Red Jackets	Membership Dues	\$ 25.00
EMS Industrial Inc	Supplies	\$ 157.28
Fareway Stores Inc	Program	\$ 109.36
Ferguson Waterworks #2516	Support	\$ 9,335.38
FL Krapfl Inc	Contracted Service	\$ 7,197.70
Freiburger, Tess	Refund	\$ 100.00
Giant Wash	Uniforms/Mats	\$ 150.40
Hansel Cleaning Services LLC	Contract	\$ 1,000.00
Hawkins Water Treatment	Supplies	\$ 1,783.16
Hoopla By Midwest Tape	Program	\$ 898.11
Iowa Association of Municipal Utilities	Membership Dues	\$ 1,110.00
J & D Mart Ltd	Fundraiser	\$ 1,034.00
J & J Lawn Care	Snow Removal	\$ 6,437.50
J & R Supply	Supplies	\$ 5,876.00
John Deere Financial	Supplies	\$ 29.07
Johnson Controls	Alarm Monitoring	\$ 460.00
Kanopy Inc	Program	\$ 39.00
Maiers, Audrey	Program	\$ 8.55
Maiers, Tricia	Reimbursement	\$ 178.55
Microbac Laboratories	Testing	\$ 1,096.50
Midwest Patch / Hi Viz Safety	Supplies	\$ 1,774.50
Miracle Recreation Equip	Supplies	\$ 160.88
Overdrive	Electronic Media	\$ 694.42
Palm, Christa	Program	\$ 132.63
Quill Corporation	Supplies	\$ 10.39
Rick's Lawn Mowing & Snow Removal	Snow Removal	\$ 5,086.00
Schrandt, Dawn	Program	\$ 29.76
Secretary of State	Notary Renewal	\$ 30.00
State Hygienic Laboratory	Testing	\$ 593.50
T & W Grinding	Composting	\$ 5,065.00
Tauke Motors	Vehicle Maintenance	\$ 1,786.65
TJ Cleaning Services	Cleaning Services	\$ 1,325.00
US Bancorp	Lease	\$ 9,410.06

USA Blue Book	Supplies	\$ 195.17
Verizon Wireless	Phone	\$ 21.06
Vonderhaar, Shirley	Fundraiser	\$ 1,300.18
Wessels, Alan	Refund	\$ 100.00
		\$ 111,471.24

001 - General Fund	\$ 30,555.60
002 - Library Trust Fund	\$ 4,874.60
110 - Road Use Fund	\$ 904.50
112 - Trust and Agency Fund	\$ 200.00
301 - Capital Projects Fund	\$ 5,906.12
600 - Water Fund	\$ 28,473.30
610 - Sewer Fund	\$ 7,883.00
670 - Solid Waste Fund	\$ 32,674.12
Grand Total:	\$ 111,471.24

ACTION ITEMS

20. Resolution No. 22-26 adopting the Insurance Schedule Policy for the City of Dyersville

Motion made by Council Member English to approve Seconded by Council Member Pottebaum.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

21. Resolution No. 23-26 approving professional service agreement for Bear Creek Mitigation Maintenance Services between the City of Dyersville and Eocene Environmental Group, Inc.

Motion made by Council Member Oberbroeckling to approve Seconded by Council Member Singsank.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

22. Resolution No. 24-26 approving mowing services agreement for Contract A 2026 with J & J Lawn Care

Motion made by Council Member Singsank to approve Seconded by Council Member DeSousa.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

23. Resolution No. 25-26 approving mowing services agreement for Contract B 2026 with J & J Lawn Care

Motion made by Council Member English to approve Seconded by Council Member Pottebaum.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

24. Resolution No. 26-26 deleting property from the Consolidated Dyersville Economic Development District

Motion made by Council Member Pottebaum to approve Seconded by Council Member Oberbroeckling.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

25. Ordinance No. 876 deleting property from the Tax Increment Financing District for the Consolidated Dyersville Economic Development District of the City of Dyersville, Iowa, pursuant to Section 403.19 of the Code of Iowa

Motion made by Council Member Oberbroeckling to waive Seconded by Council Member English.
Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

Motion made by Council Member Oberbroeckling to approve Seconded by Council Member Singsank.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

26. Waive Second Reading of Ordinance No. 876

Motion made by Council Member Oberbroeckling to waive & approve Seconded by Council Member Singsank.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

27. Waive Third Reading of Ordinance No. 876

Motion made by Council Member English to waive & approve Seconded by Council Member Pottebaum.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

28. Resolution No. 27-26 setting date for public hearing on Designation of the Expanded Consolidated Dyersville Economic Development District and on Urban Renewal Plan Amendment

Motion made by Council Member Oberbroeckling to approve Seconded by Council Member Singsank.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

29. Flood Plain Development Application/Permit No. 26-02 Ramiro Cortes, 327 2nd Ave SW

Motion made by Council Member Pottebaum to approve Seconded by Council Member DeSousa.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

30. Discussion and Possible Action to retire the remaining ash trees in city inventory

Motion made by Council Member Pottebaum to approve Seconded by Council Member Oberbroeckling.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

31. Proclamation declaring Thursday, April 2, 2026 as Junior Achievement Day to recognize and celebrate the many community partners who support Junior Achievement's mission in Dyersville

Motion made by Council Member English to approve Seconded by Council Member Pottebaum.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

COUNCIL COMMENTS

ADJOURNMENT

Motion made by Council Member English moved to adjourn at 7:08 pm Seconded by Council Member Oberbroeckling.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

Jeff Jacque, Mayor

ATTEST:

Tricia L. Maiers, City Clerk / Treasurer



SPECIAL CITY COUNCIL

Lower Level Council Chambers
Monday, March 23, 2026
6:00 PM

MINUTES

CALL TO ORDER – ROLL CALL

PRESENT Mayor Jeff Jacque, Council Member Scott DeSousa, Council Member Mike English, Council Member Mike Oberbroeckling, Council Member Norm Pottebaum, Council Member Mark Singsank

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

Motion made by Council Member Oberbroeckling to approve as presented Seconded by Council Member Singsank.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

ACTION ITEMS

1. 6.00 P.M. Public Hearing on Proposed Property Tax Levy - July 1, 2026 - June 30, 2027

Motion made by Council Member English to open public hearing Seconded by Council Member Pottebaum.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

Brandon Hogan, 7466 Wieferich Rd, Farley, and Dyersville business owner, expressed that he would like to see the taxes stay the same without an increase.

Motion made by Council Member English to close public hearing Seconded by Council Member DeSousa.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

COUNCIL COMMENTS

ADJOURNMENT

Motion made by Council Member English to adjourn at 6:13 pm Seconded by Council Member Oberbroeckling.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

Jeff Jacque, Mayor

ATTEST:

Tricia L. Maiers, City Clerk / Treasurer



BUDGET WORK SESSION

Lower Level Council Chambers
Monday, March 23, 2026
6:17 PM

MINUTES

ROLL CALL

PRESENT Mayor Jeff Jacque, Council Member Scott DeSousa, Council Member Mike English, Council Member Mike Oberbroeckling, Council Member Norm Pottebaum, Council Member Mark Singsank

AGENDA ITEMS

1. Budget State Forms FY27
2. Budget Worksheets FY27

Mick Michel, City Administrator, reviewed and explained the complete budget and answered questions from the Mayor and City Council.

ADJOURNMENT

Motion made by Council Member English to adjourn at 6:46 pm Seconded by Council Member Oberbroeckling.

Voting Yea: DeSousa, English, Oberbroeckling, Pottebaum, Singsank Nays: None Motion carried.

Jeff Jacque, Mayor

ATTEST:

Tricia L. Maiers, City Clerk / Treasurer



PARKS & RECREATION

Lower Level Council Chambers
 Monday, March 30, 2026
 6:00 PM

MINUTES

ROLL CALL

Meeting was called to order by Matt Ungs at 6:01 P.M.

PRESENT

Jason Lang, Sarah Goldsmith, Casey Frye, Matt Ungs, Tim Kronlage (arrived at 6:04 P.M.)

ABSENT

Jon Scherbring, Eric Oberbroeckling

APPROVAL OF AGENDA

Ungs asked for review and approval of the agenda. Motion made by Lang, seconded by Goldsmith.

Voting Yea: Lang, Goldsmith, Frye, Ungs

Motion Carried

AGENDA ITEMS

1. **Approve** Meeting Minutes - February 23, 2026

Ungs asked for comments or changes and there were none. Motion made by Goldsmith, seconded by Lang.

Voting Yea: Lang, Goldsmith, Frye, Ungs

Motion Carried

2. **Receive & File** Director's Report - February 2026

Ungs asked for comments or changes and there were none. Motion made by Frye, seconded by Lang.

Voting Yea: Lang, Goldsmith, Frye, Ungs

Motion Carried

3. Draft Procedures

Huehnergarth was asked what the procedures were for the draft. Kronlage had several parents asking how this process worked. They had heard different rumors and they wanted to put them to rest. Grades 3rd/4th, 5th/6th and 7th/8th go through a draft process. Huehnergarth assigns kids for 1st/2nd grade and T-Ball teams. A coach usually will pick the assistant coach's child, which takes one of his picks. Numbers are put in a hat and pulled out to see who picks first,

second, etc. They go down the line and then reverse the order. If there were 4 coaches. The coach who picked 4th will also pick 5th and whomever picked 3rd would pick 5th, etc. If the coach is not familiar with the children, they will usually have a parent who is familiar help with choosing players. By the end of the season, the teams are usually almost even. It was asked if we could get the order of the draft picks. This was highly not recommended.

Several years ago, they had what they called a keeper league, where the third graders would be on the same team for two years and other players would be added to this team the following year. We no longer do it this way. Huehnergath tries to have at least 2 kids from the same school so they know at least one person on the team. When Huehnergath picks the teams, he usually factors in their age as well.

Kronlage had been told that kids were assigned to a team, which was not true. All the kids were drafted. The parents that feel the draft is not fair or think teams are stacked can become a coach so they can experience the draft process.

Motion made by Frye, seconded by Goldsmith.

Voting Yea: Lang, Goldsmith, Frye, Ungs, Kronlage

Motion Carried

4. New Playground

Huehnergath will be having a Zoom call with the donor for the all-inclusive park at Westside Park on April 24, 2026. The approximate donation is \$250,000 and will be seen in October, 2026. There are a lot of questions to be asked: How much control does she have? Who will have control of the design? Would we like to acknowledge all large donors?

The approval for the park will need to go to council for approval. Huehnergath would like to see the design go to 3 different companies so we can get different ideas and hopefully better pricing. Huehnergath is hoping we can get everything ready for installation next Spring. Goldsmith would like to see the all-inclusive park, connecting trails, pavilion, flushable toilets and changing tables. The cheapest installation would be to place the toilets closest to Xavier School because of the water/sewer connections.

Other questions to ask are whether or not we can use multiple sources for funding: donations, sponsors, etc? How does this process work? Can we give a wish list stating our top wants? Is there any money slated in the budget for this item? Huehnergath also thought it would be good to find out other city's regrets and things done right when they installed a new park.

Motion made by Frye, seconded by Lang.

Voting Yea: Lang, Goldsmith, Frye, Ungs, Kronlage

5. Commission Member Comments

Frye asked about the batting cages and shipping containers. Are they installed? They are coming from APC and will be installed soon. Huehnergath wants public works staff to help with hanging of nets at batting cages. Huehnergath has new nets for all the cages. He would also like to use weighted rope to help these stay down.

6. Set Next Meeting Date

We have not set a date for the next meeting. We will wait until after Huehnergath's meeting to see if we have decisions to make, that we need to meet.

ADJOURNMENT

The meeting was adjourned at 6:54 P.M. on a motion made by Goldsmith, seconded by Lang.

Voting Yea: Lang, Goldsmith, Frye, Unga, Kronlage

Motion Carried


Sandy Oberbroeckling

March 30, 2026
Date

Business Information

Name of Legal Entity: O SO GOOD WINERY LLC

FEIN: XX-XXX6337

Business Type: Limited Liability Company

This business is registered with the Secretary of State.

Business Number of Secretary of State: 506589

Premises Information

Premises DBA: O SO GOOD WINERY LLC

Premises Address: 1110 16TH AVENUE CT SE DYERSVILLE IA 52040-2374

Premises Type: Special Event

Number of Floors: 1

Control of Premises: Own

Is your premises equipped with at least one adequate, conveniently located indoor or outdoor toilet facility for use by patrons?

Yes

Does your premises conform to all local and state health, fire and building laws and regulations?

Yes

Is your establishment equipped with tables and seats to accommodate a minimum of 25?

Yes

License Information

Effective Date: 20-Apr-2026

Length of License Requested: 5DAY

Endorsements

Local Authority: City of Dyersville

Dramshop Company: EMPLOYERS MUTUAL CASUALTY COMPANY

Ownership Information

Type	Name	ID Type	ID	DOB	Phone	Address	Percentage
Individual	OSTWINKLE, KARIE	SSN	***-**-7603	21-Sep-1968		2093 20TH AVENUE SOUTHEAST DYERSVILLE IA 52040	51.00
Individual	OSTWINKLE, LEE	SSN	***-**-1061	06-Jun-1968		2093 20TH AVENUE SOUTHEAST DYERSVILLE IA 52040	49.00

Criminal History Details

Has anyone listed on the Ownership page been charged or convicted of a felony offense in Iowa or any other state of the United States?

No

Has anyone listed on the Ownership page been convicted of any violation of any state, county, city, federal or foreign law? For traffic violations, only include those that are drug or alcohol related.

No

Criminal Violations

Contact Information

Contact Name: KARIE OSTWINKLE

Phone Number: 5635991262

Email Address: karie@osogoodwinery.com

Address: 2093 20TH AVE SE DYERSVILLE IA 52040-9572

Owner Attestation

Name of Owner: KARIE OSTWINKLE

Attestation Date: 04-Mar-2026

6 PLEX

City of Dyersville

Task # 62904

BUILDING PERMIT APPLICATION

PERMIT NUMBER
26-2449

COMPLETED BY APPLICANT	JOB ADDRESS: (BUILDING 1) ¹⁵⁰⁰ 2ND AVE SE DYERSVILLE, IA COUNTY DUBUQUE	
	LEGAL PARCEL	LOT NO. 1
	DESCR. 07-32-179-021	BLK. 182
	SUBDIVISION PETTINGER BLOCK SEE ATTACHED SHEET	
	OWNER OF RECORD BAM DEVELOPMENT TELEPHONE	
	CONTRACTOR PERMIT # NAME STONEGATE BUILDERS COOP PLUMBING PERMIT # ELECTRICAL/MECHANICAL PERMIT #	
	ARCHITECT OR DESIGNER ADDRESS TELEPHONE FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
	USE OF BUILDING <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY	
	CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE	
	DESCRIBE WORK: NEW MULTIFAMILY	
Type of Const. WOOD FRAME	Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
SET BACKS TO FOUNDATION WALL	Size of Bldg. Total Sq. Ft. 2024 x 6 = 12,144	
FRONT CORNER	Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
REAR ALLEY	No. of Dwelling Units 6	
SIDE OPEN SPACE	Off Street Parking Req. Prov.	
LOT DIMENSIONS	No. of Stories 2	
SPECIAL CONDITIONS	Zoning District R-3	
See Attachment	SPECIAL APPROVALS	
VALUE OF WORK \$ 1,517,562	REQUIRED	RECEIVED
ZONING AMENDMENT		
SITE PLAN		
PLAN REVIEW		
EXCAVATION PERMIT		
ARCHITECT/ENGINEER		
HEALTH DEPT.		
FIRE DEPT.		
HANDICAPPED CERTIFICATE		
BOARD OF ADJUST.		
FLOOD PLAIN CERT.		
FLOOD PLAIN EXEMP.		
SIGNS		
SPECIAL USE PERMIT		
WATER METER		

FEES	AMOUNT	REC'D
BUILDING PERMIT	220	
WATER METER CHARGE	2304	
WATER CONNECTION	325	
SEWER CONNECTION	325	
EXCAVATION	50	
ZONING / B OF A		
TOTAL	\$3,224	

NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* 9/16/25 (DATE) SIGNATURE OF OWNER *[Signature]* 9/16/25 (DATE)

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

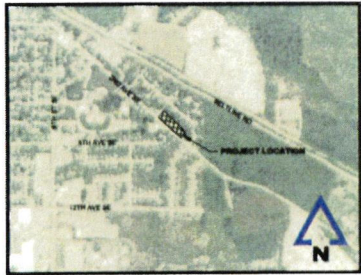
CHECKED & APPROVED BY *[Signature]* (DATE) APPROVED BY CITY COUNCIL (DATE)

Rec 1/26/26

Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

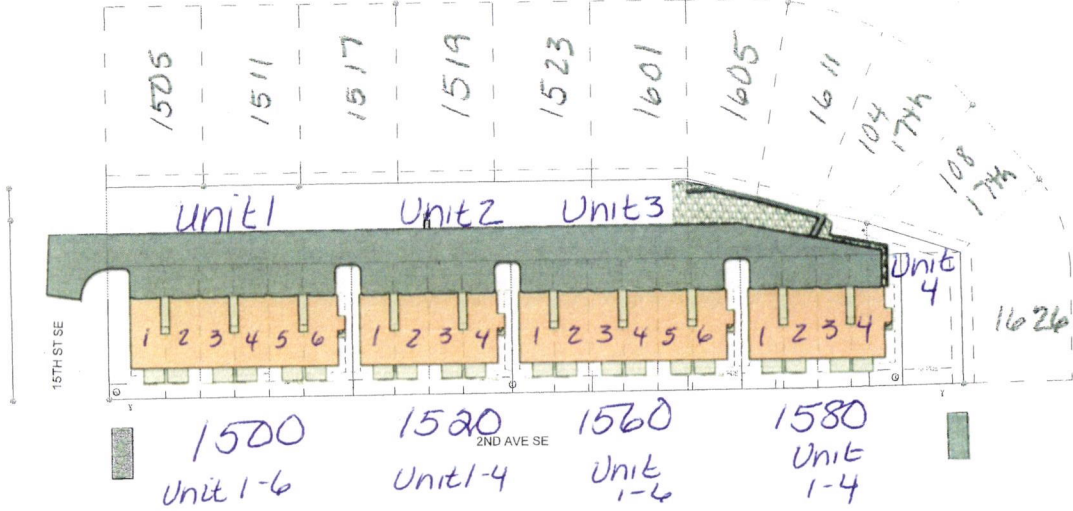
Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



VICINITY MAP
SCALE = 1:1000

2ND AVENUE MULTI-FAMILY PRELIMINARY PLAT/SITE PLAN

1520 2ND AVE SE, DYERSVILLE, IOWA 52040



GENERAL LEGEND			
EXISTING	PROPOSED	EXISTING	PROPOSED

UTILITY QUALITY SERVICE LEVELS:
UTILITY QUALITY LEVELS ARE BASED ON THE CHICAGO 38-02 STANDARD.

EXAMPLES:
SANITARY SEWER MAIN - QUALITY SERVICE LEVEL A
SANITARY SEWER MAIN - QUALITY SERVICE LEVEL B
SANITARY SEWER MAIN - QUALITY SERVICE LEVEL C
SANITARY SEWER MAIN - QUALITY SERVICE LEVEL D

ABBREVIATIONS:
TS TOP OF SLAB
TC TOP OF CURB
G GUTTER
TW TOP OF WALL
BW BOTTOM OF WALL
ME MATCH EXISTING
FE FINISHED FLOOR ELEVATION
HP HIGH POINT
OE OVERFLOW ELEVATION

APPLICANT:
BM CO.
CONTACT: MICHAEL BOUSSELOT
ADDRESS: 4003 SW 4TH ST
ARKERVILLE, IA 50823

OWNER:
DYERSVILLE INDUSTRIES INC
ADDRESS: 1520 2ND AVE. SE
DYERSVILLE, IA 52040

ENGINEER:
MCCLURE ENGINEERING COMPANY
CONTACT: MAXWELL ELLER, P.E.
ADDRESS: 1300 HWY 121ST STREET
CLIVE, IA 50325

DEVELOPMENT TOTALS

TOTAL AREA (ACRES)	1.79
UNIT SUMMARY	8
4 UNIT DYERSVILLE TOWNSHIP	12
6 UNIT ERMANNVILLE TOWNSHIP	20
TOTAL UNITS	7.0
UNIT DENSITY (U/AC)	

EXISTING ZONING: C-2 - GENERAL COMMERCIAL DISTRICT

LOT	ZONING	PROPOSED ZONING		
		FRONT	SIDE	REAR
LOTS 1-21	R-3	15'	5'	20'



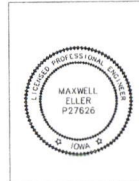
ALL CONSTRUCTION SHALL BE COMPLETED
IN ACCORDANCE WITH THE 2025 EDITION
OF THE SDG&S SPECIFICATIONS.

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C002	GENERAL NOTES
C003	EXISTING CONDITIONS AND REMOVALS
C004	PRELIMINARY PLAT
C101	SITE PLAN
C201	GRADING PLAN
C202	GRADING PLAN
C203	GRADING PLAN
C204	EROSION CONTROL PLAN
C301	UTILITY PLAN
C302	UTILITY PLAN
C303	SANITARY SEWER PLAN & PROFILE
C304	SANITARY SEWER PLAN & PROFILE
C501	DETAILS

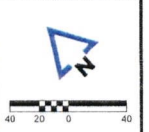


I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
MAXWELL ELLER, PE NO. P27626 DATE: _____
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL: _____

MCCLURE™
2229 E Grantview La Suite 2
Coraville IA 52411
P 319-626-9090
Ankeny, IA | Carroll, IA | Clive, IA
Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Storm City, IA
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IOWA CERTIFICATE OF AUTHORITY NO. 26687



REVISIONS:
PROJECT #/ID: 202406003
ENGINEER: DRAWN BY: CHECKED BY:
BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
COVER SHEET

DRAWING NO.
C001

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY(EASEMENT) AND OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURD AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE MOIST.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ALLOWED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

GRADING NOTES:

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
6. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

UTILITY NOTES:

- 1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TESTED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TESTINGS SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.

SANITARY SEWER:

- 1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.

- 3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.

STORM SEWER:

- 1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CURING GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.

WATER MAIN:

- 1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 5-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' 6" BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5' 6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN STAINLESS STEEL ROODING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER (SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE) CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHERE POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO THE SITE, BUILDING, FDC'S, PIV'S, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE COMMENCING AFTER FOOTING OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 903.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAIN.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

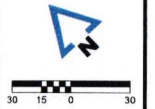


Table with 2 columns: REVISIONS and PROJECT INFO. Includes fields for drawing number (2024006636) and a signature table for BA, OF, and ME.

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
GENERAL NOTES

DRAWING NO. C002

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



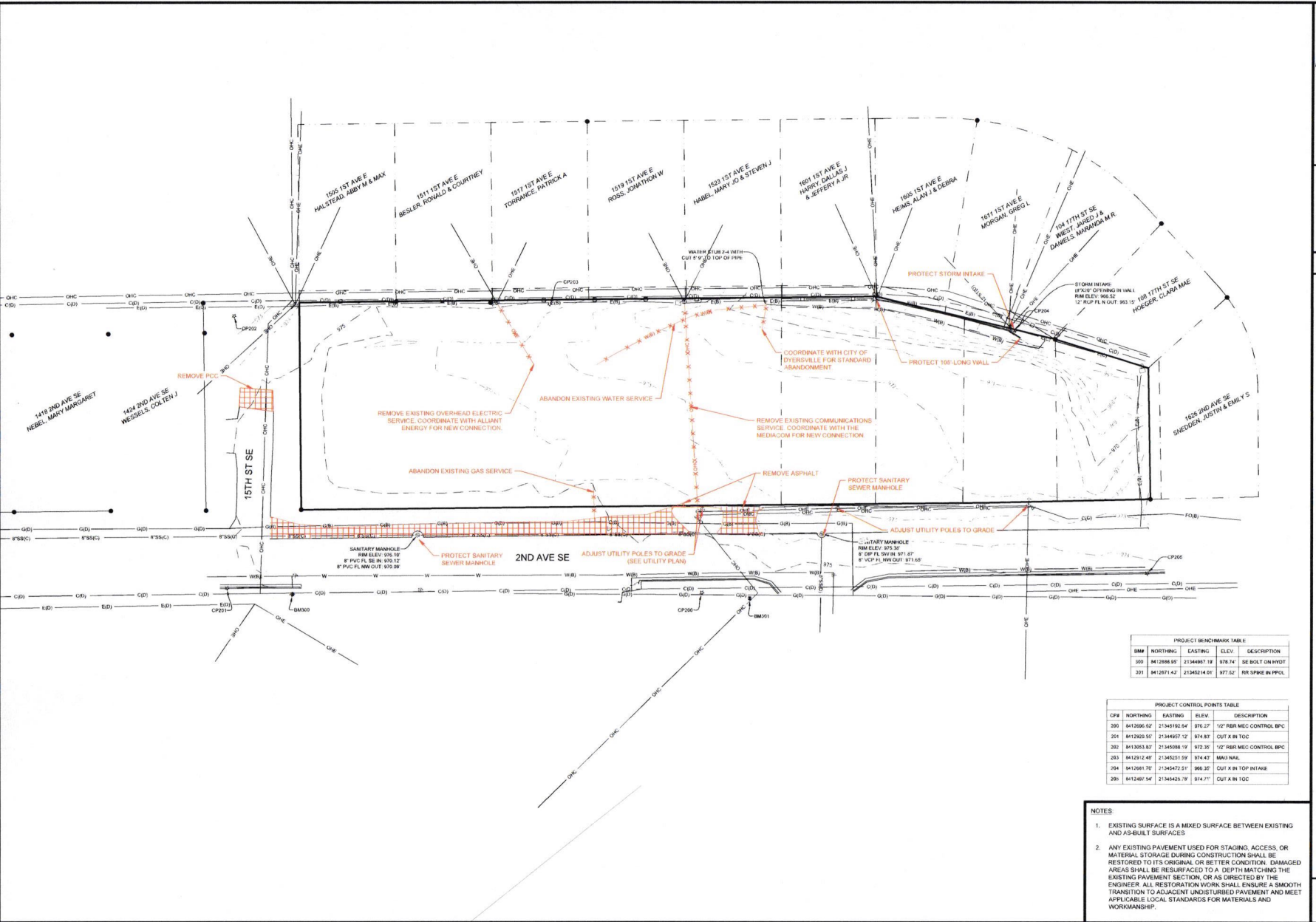
REVISIONS

PROJECT INFO
 202406053

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

EXISTING CONDITIONS AND REMOVALS



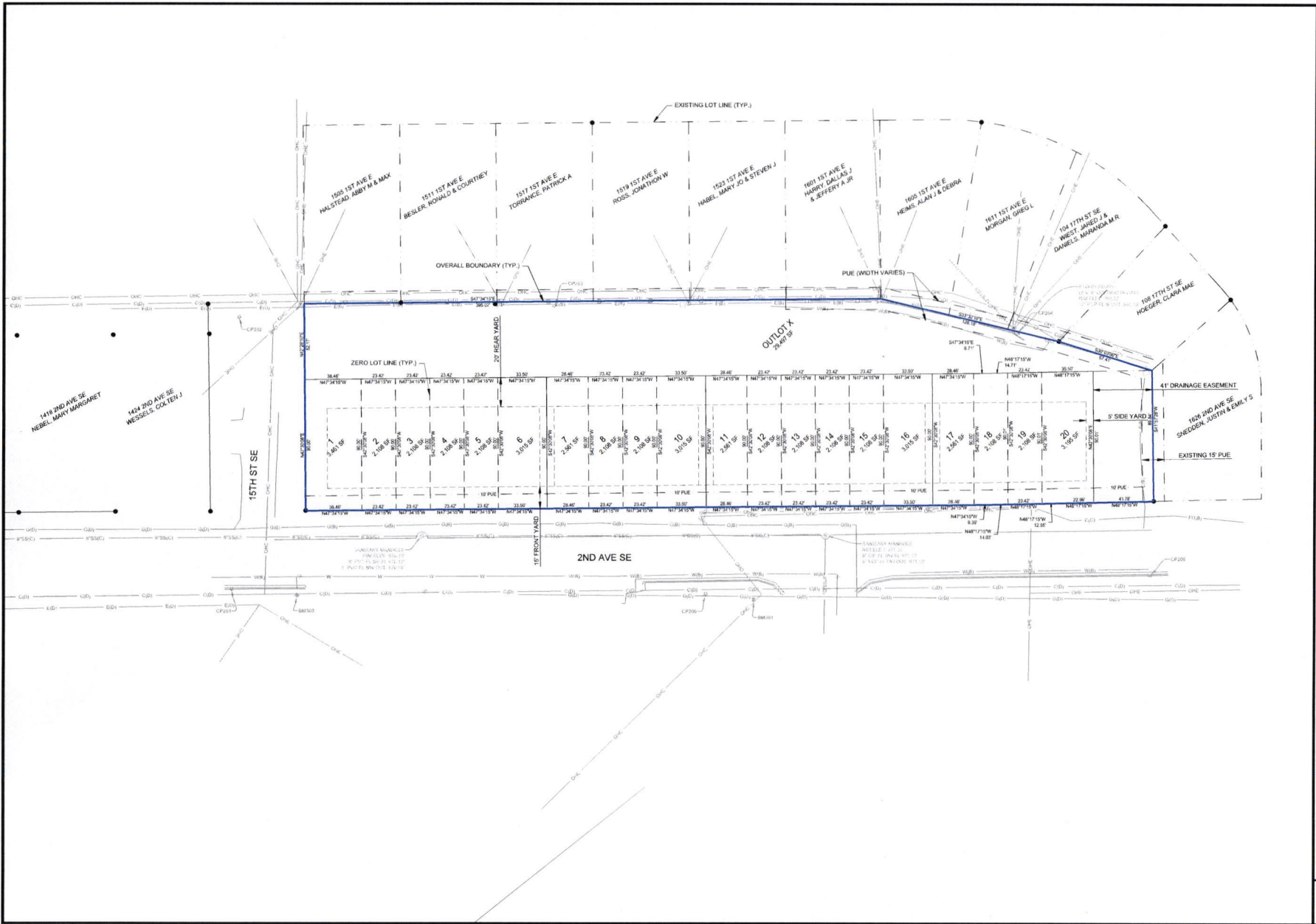
PROJECT BENCHMARK TABLE

BMM	NORTHING	EASTING	ELEV.	DESCRIPTION
300	8412888.95	21344897.19	978.74	SE BOLT ON HYD'T
301	8412871.42	21345214.01	977.52	RR SPIKE IN PPOL

PROJECT CONTROL POINTS TABLE

CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
300	8412888.92	21345192.84	978.27	1/2" RBR MEC CONTROL BPC
301	8412920.52	21344937.12	974.83	CUT X IN TOC
302	8413053.81	21345098.19	972.35	1/2" RBR MEC CONTROL BPC
283	8412912.48	21345251.59	974.42	MANH HAIL
284	8412881.72	21345472.51	968.20	CUT X IN TOP INTAKE
285	8412487.54	21346429.78	974.71	CUT X IN TOC

- NOTES:**
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES
 - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION, OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.



McCLURE
2228 E. Grantview Ln Suite 2
Corvallis IA 52241
P 319-626-9090
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

30 15 0 30

REVISIONS

PROJECT INFO
20240609

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BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
PRELIMINARY PLAT

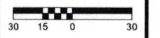
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DRAWING NO.
C004

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO
 2024009630

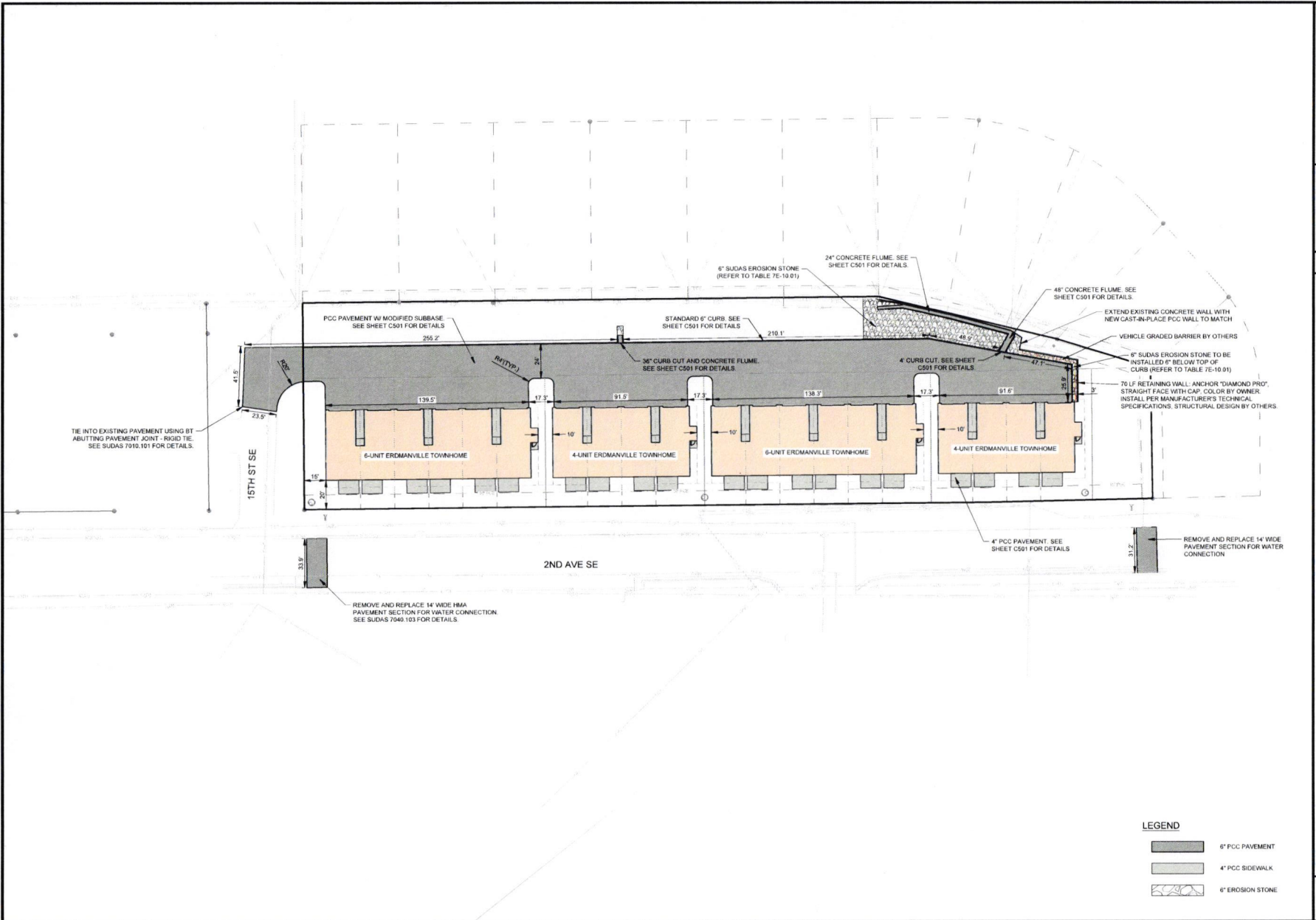
ENGINEER DRAWN BY: CHECKED BY:
 BA OF ME

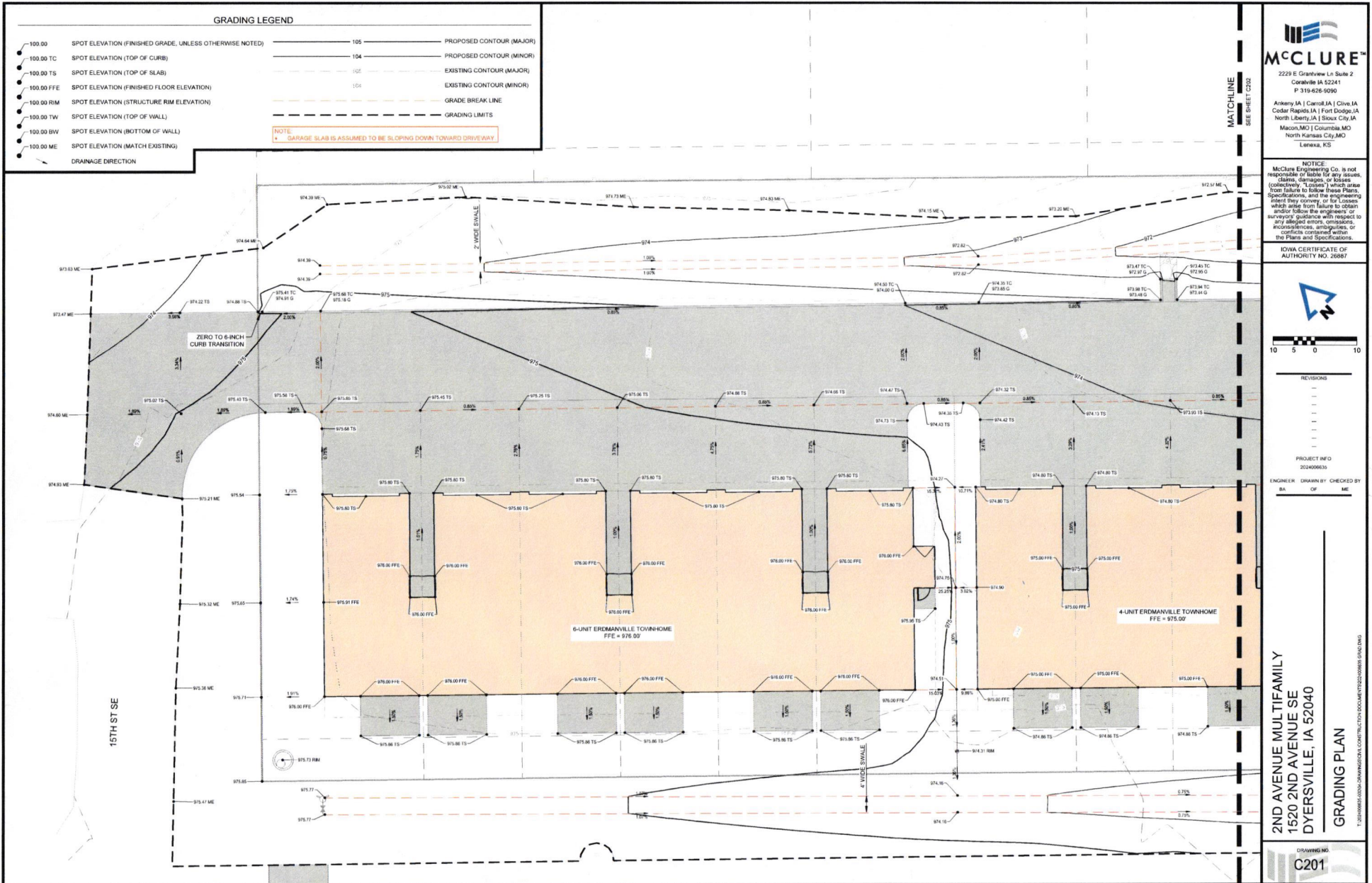
2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

SITE PLAN

T:\2024\009630\DRAWINGS\ARCH\CONSTRUCTION\DOCUMENT\2024009630 SITE.DWG

DRAWING NO.
C101

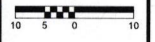




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IOWA CERTIFICATE OF AUTHORITY NO. 26887

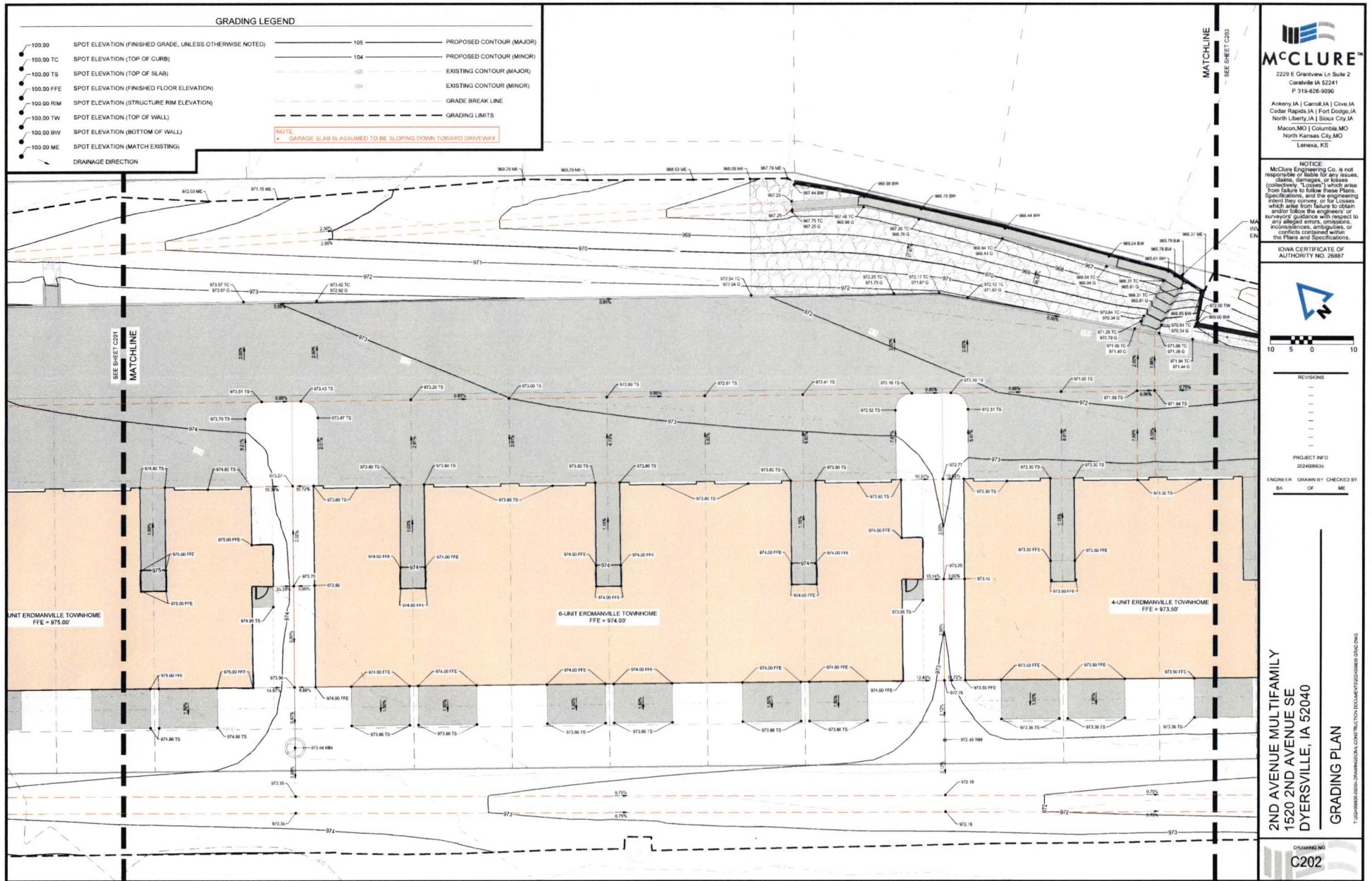


REVISIONS

PROJECT INFO
 2024060635
 ENGINEER DRAWN BY CHECKED BY
 SA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
GRADING PLAN

DRAWING NO.
C201

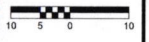


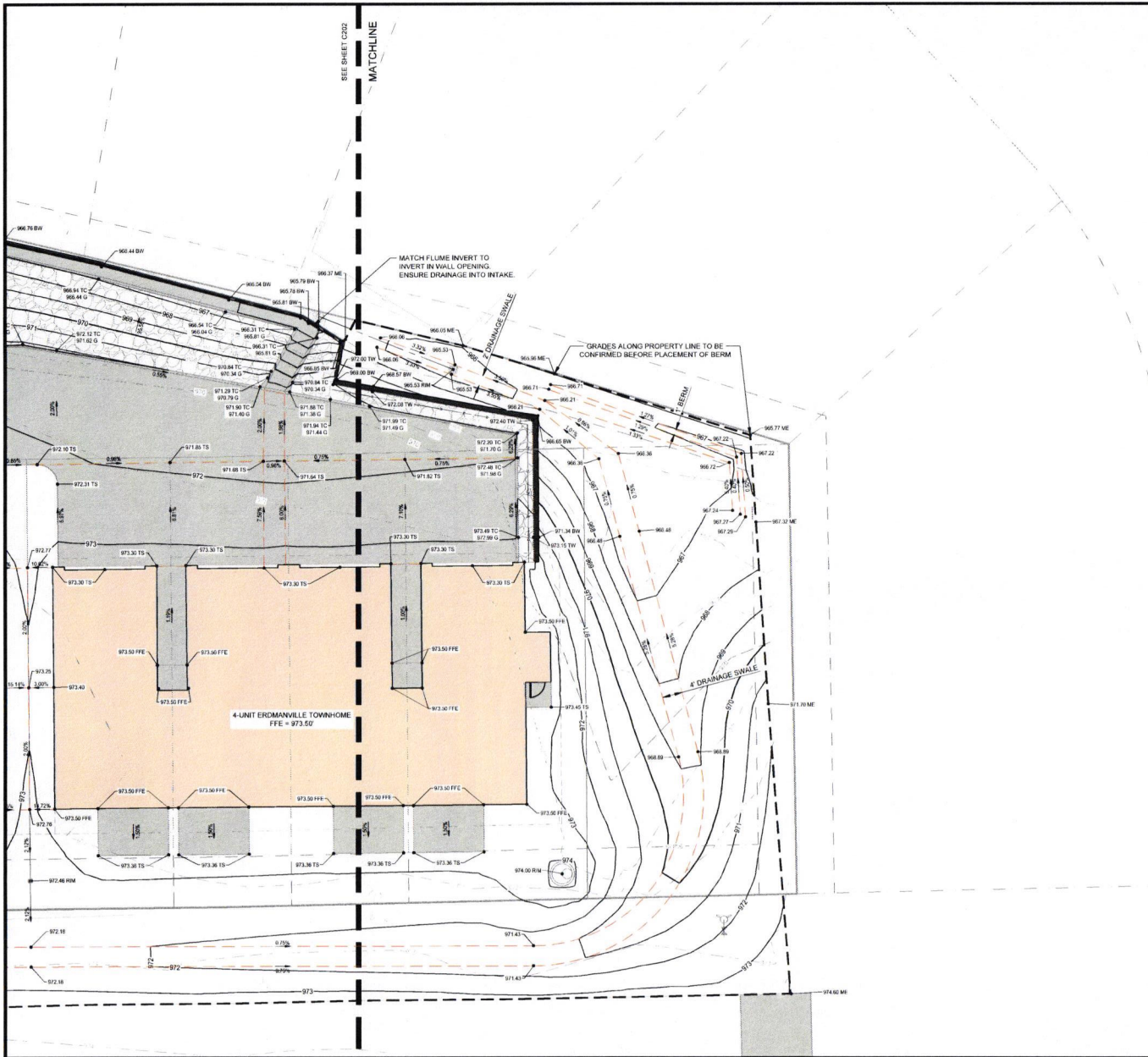
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IOWA CERTIFICATE OF AUTHORITY NO. 26887





GRADING LEGEND

- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 103 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- 104 GRADE BREAK LINE

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:

- * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY
- * ADJUST UTILITY POLE TO GRADE

CUT AND FILL REPORT	
CUT FACTOR	VOLUME SUMMARY
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS

PROJECT INFO
 202406036

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
GRADING PLAN

T:\2024\06\03\2ND AVENUE MULTIFAMILY\CONSTRUCTION\DOCUMENTS\202406036 GRADING

DRAWING NO.
C203



2229 E Grantview Ln Suite 2
 Coralville IA 52241
 P 319-426-9090

Ankeny, IA | Carroll, IA | Clive, IA
 Cedar Rapids, IA | Fort Dodge, IA
 North Liberty, IA | Sioux City, IA
 Macon, MO | Columbia, MO
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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



30 15 0 30

REVISIONS

.....

PROJECT INFO

2024090535

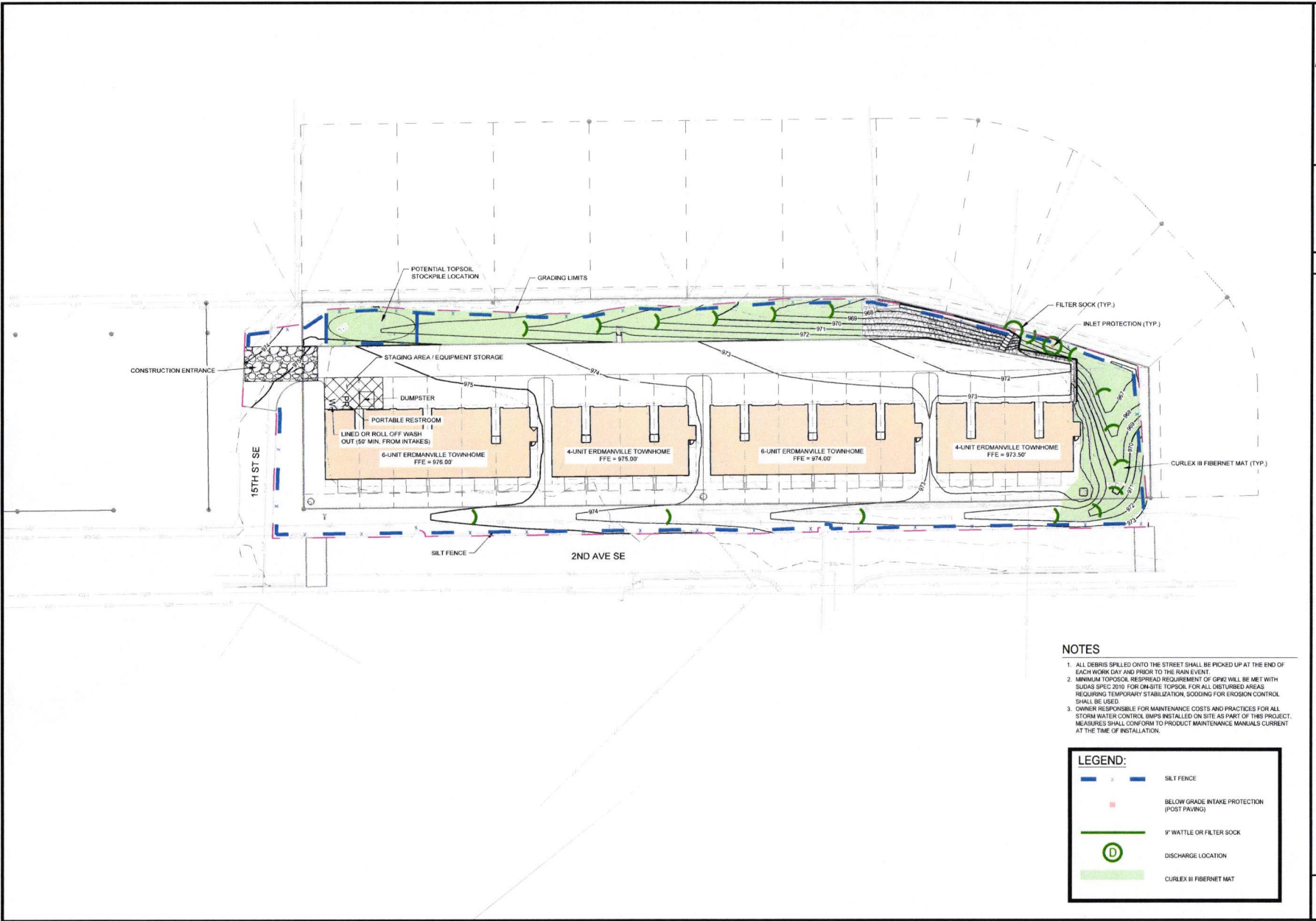
ENGINEER DRAWN BY CHECKED BY

BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

EROSION CONTROL PLAN

T:\2024\09\05\2024090535\MULTIFAMILY\CONSTRUCTION\DOCUMENTS\2024090535.EDWG



- NOTES**
1. ALL DEBRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
 2. MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 6% SHALL BE MET WITH SUDAS SPEC 2010 FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION. SOODING FOR EROSION CONTROL SHALL BE USED.
 3. OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

LEGEND:

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

DRAWING NO
C204

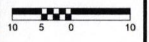
- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-5". MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" 3/8" INSULATION BOARD.
 3. SEE SANITARY SEWER DETAILS ON SHEETS C-303 AND C-304.
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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 Coralville IA 52241
 P 319-626-9090

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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



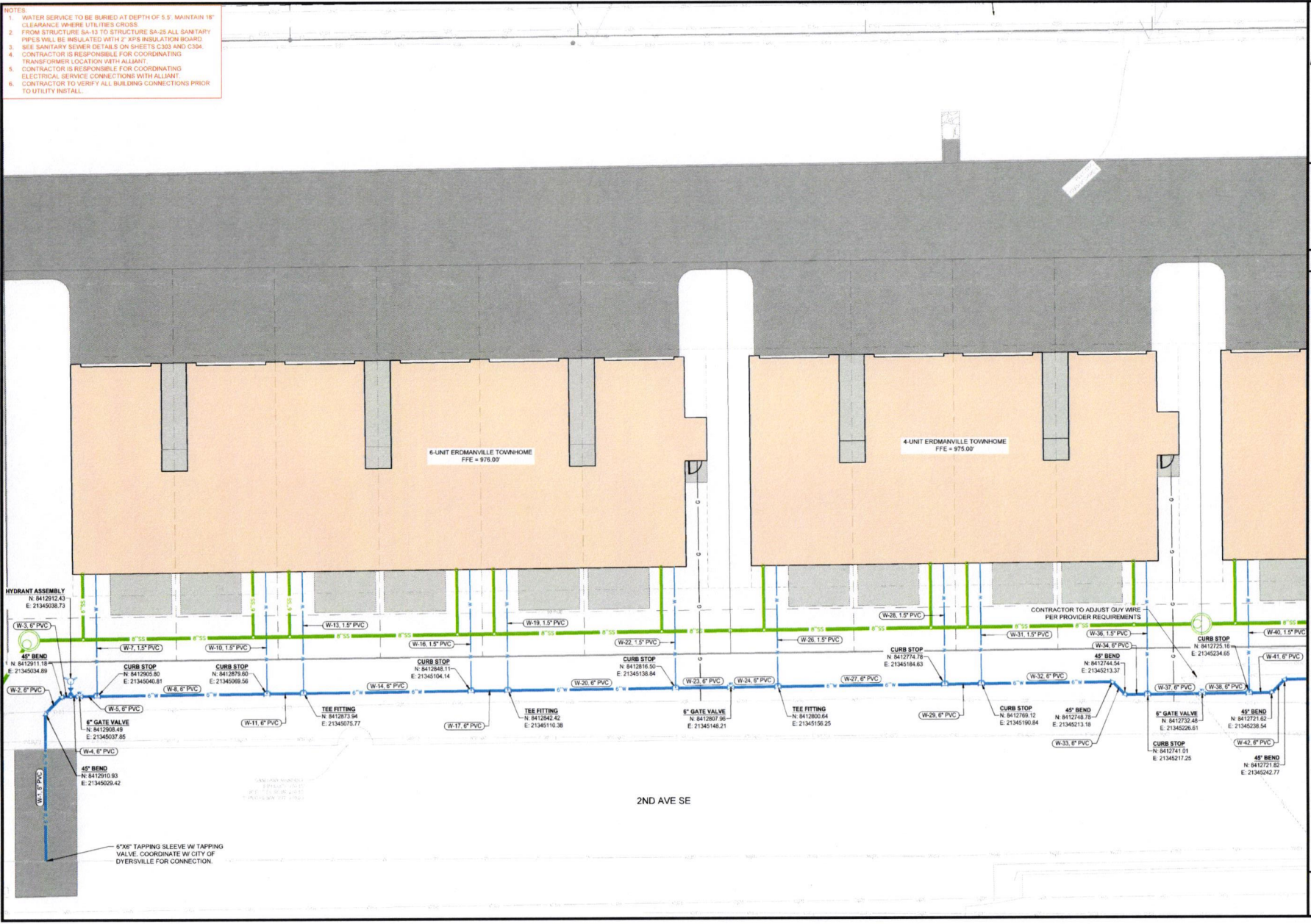
REVISIONS

PROJECT INFO
 202400636

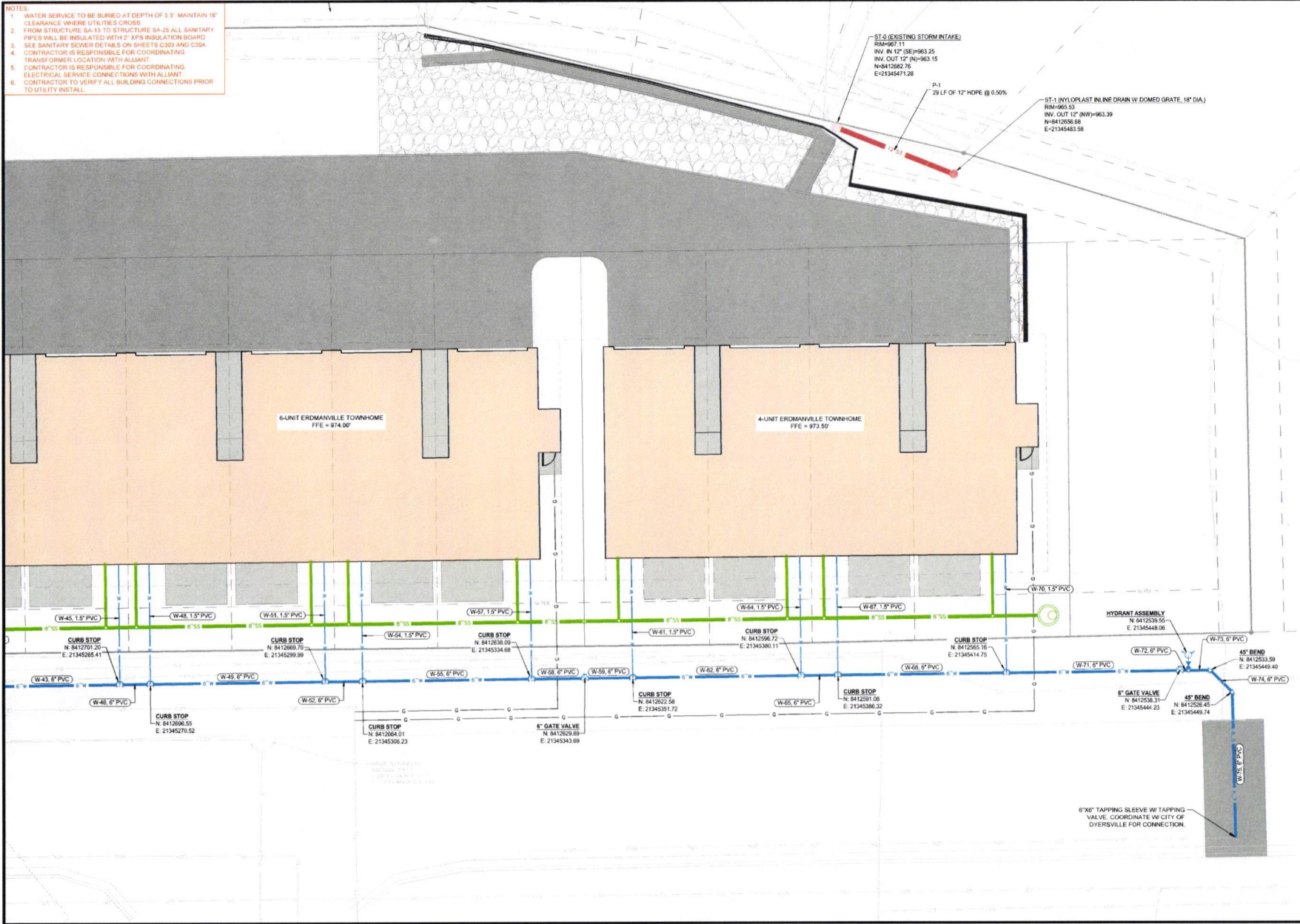
ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 UTILITY PLAN

DRAWING NO.
C301



- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5'. MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" EPS INSULATION BOARD.
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304.
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.



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IOWA CERTIFICATE OF AUTHORITY NO. 25887



REVISIONS

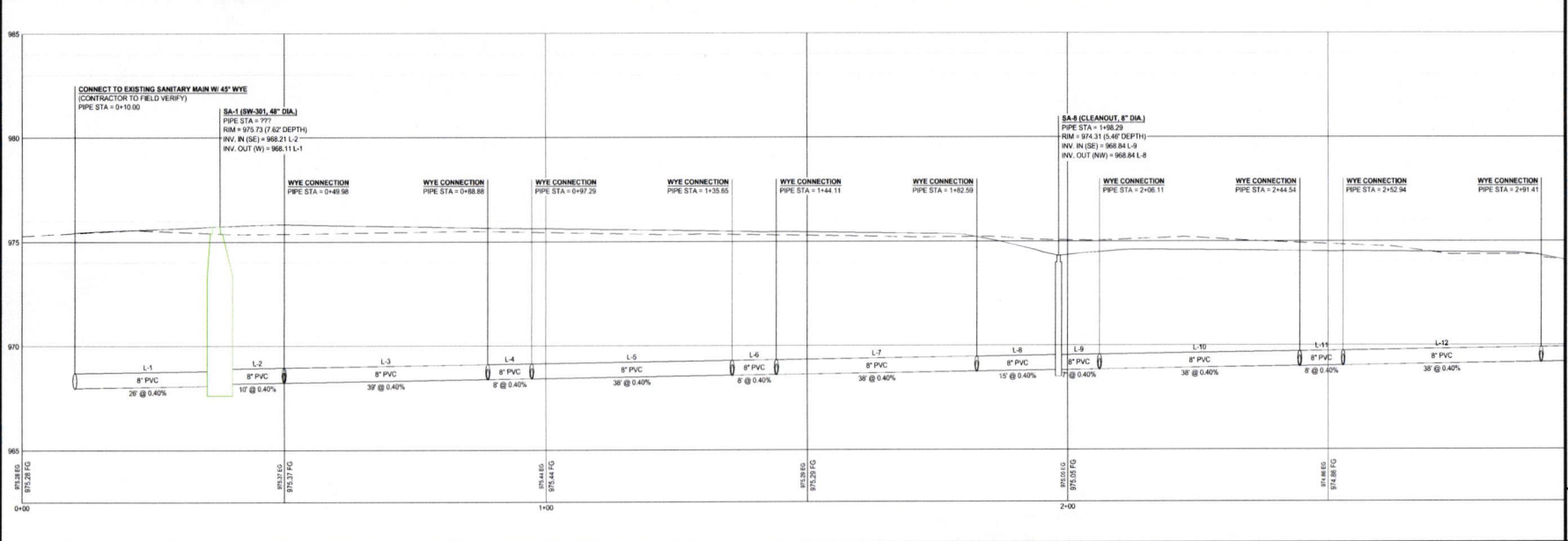
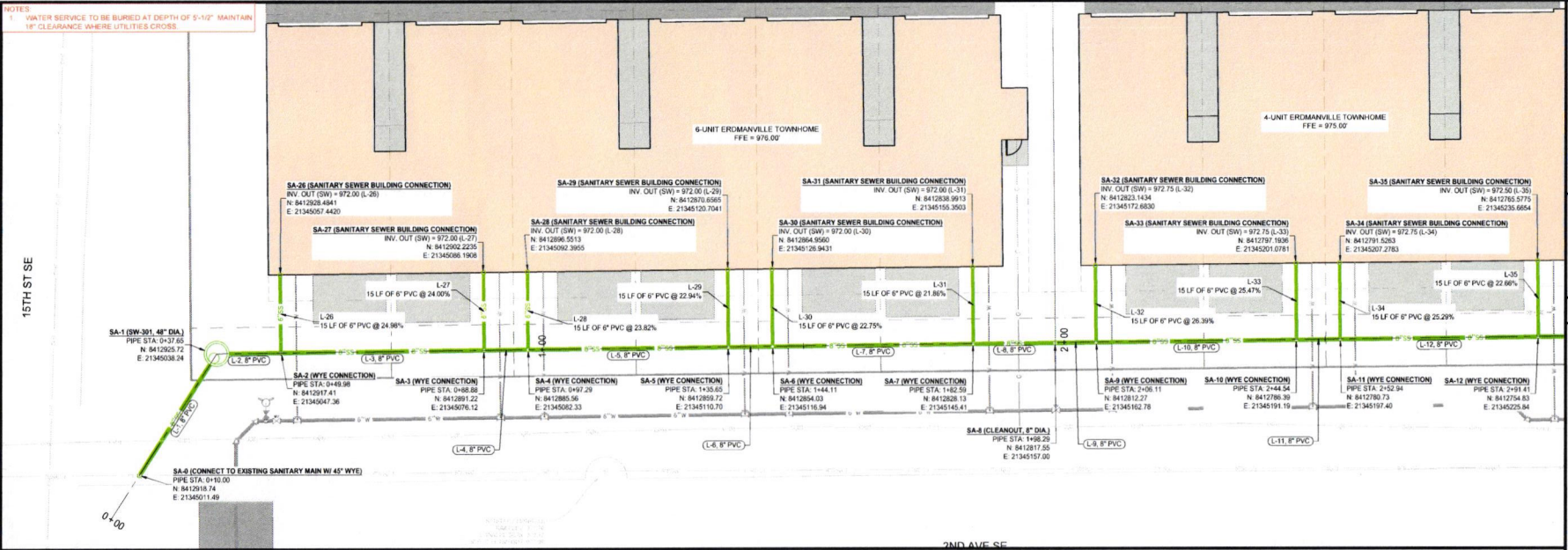
PROJECT INFO
 2024060635

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
UTILITY PLAN

DRAWING NO.
C302

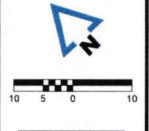
NOTES
 1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-10" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.



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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO
 2024-009235
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
SANITARY SEWER PLAN & PROFILE
 T:\2024\24000-0000-0000-0000-0000\CONSTRUCTION DOCUMENTS\20240926\UTL.DWG
 DRAWING NO.
C303

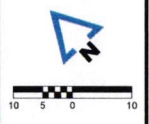


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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



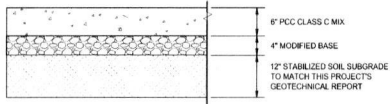
REVISIONS

PROJECT INFO
 202409035

ENGINEER DRAWN BY CHECKED BY
 SA OF ME

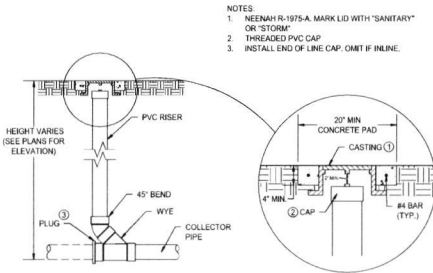
2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
SANITARY SEWER PLAN & PROFILE
T:\2024\09\035\DWG\DWG\MCC\CONSTRUCTION\DOCUMENTS\202409035_SFWP.dwg

C304

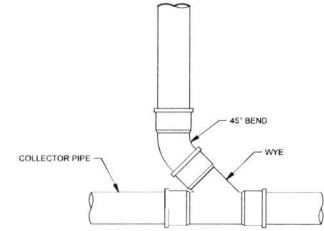


NOTE
PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR
TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION.

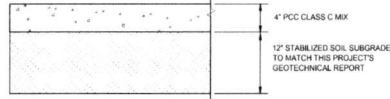
LIGHT-DUTY PAVING CROSS SECTION
NOT TO SCALE



SANITARY/STORM SEWER CLEANOUT
1/2" = 1'-0"

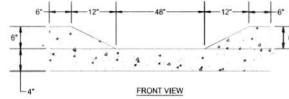
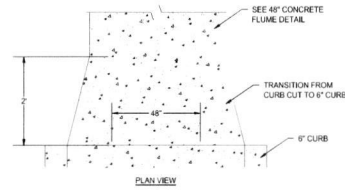


WYE CONNECTION
NOT TO SCALE

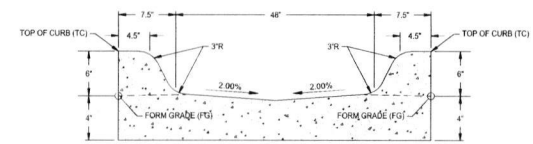


NOTE
PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT.
CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION.

SIDEWALK CROSS SECTION
NOT TO SCALE

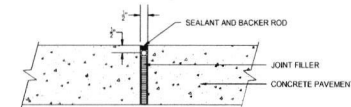


4" WIDE CURB CUT
NOT TO SCALE

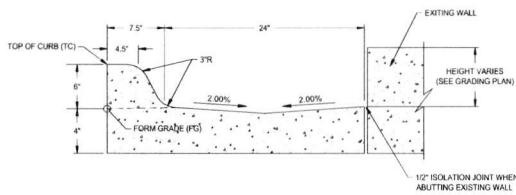


48" CONCRETE FLUME DETAIL
NOT TO SCALE

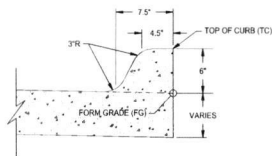
NOTE
JOINT IS FULL DEPTH OF PAVEMENT



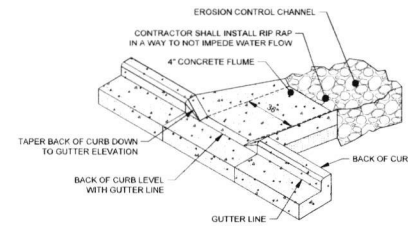
ISOLATION JOINT
3" = 1'-0"



24" CONCRETE FLUME DETAIL
NOT TO SCALE



6" STANDARD CURB
NOT TO SCALE



36" CURB CUT AND CONCRETE FLUME
NOT TO SCALE

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conflicts contained within
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IOWA CERTIFICATE OF
AUTHORITY NO. 26887

REVISIONS

PROJECT INFO
2024006630

ENGINEER DRAWN BY CHECKED BY
BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
DETAILS
T:\2024\006630\DRAWING\CONTRACT\2024006630\0666.DWG

DRAWING NO.
C501

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STONEGATE 6-PLEX

DYERSVILLE, IA



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

FINISH GRADE
 FINISH FLOOR
 FINISH CEILING
 FINISH ROOF

the design connection
 Residential and Commercial
 Design & Construction
 Serving Homeowners
 Westbury, Iowa, Nebraska
 1522 Greenway DR SW
 Rochester MN 55902
 PHONE: (763) 705-2860
 WWW: www.thedesignconnection.net

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PRICING REVIEW
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STONEGATE 6-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

PROJECT #: 25391
 DRAWN BY: MLD
 CHECKED BY: JLT
 PREPARED BY: CUSTOMER 02/2021
 PRINTING DATE: MAY 2021
 PRINT SCALE: 1/8" = 1'-0"

FRONT & REAR
 EXTERIOR ELEVATIONS
A1.1

FOUNDATION	
FOUNDATION	12" SP
1st FLOOR	12" SP
2nd FLOOR	12" SP
ROOF	12" SP



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

TYPE ELEVATION NOTES

1. THESE ELEVATIONS ARE DRAWN TO SHOW ONLY ALL EXTERIOR FINISHES AND COLOR SCHEMES. INTERIOR FINISHES AND COLORS ARE NOT SHOWN UNLESS SPECIFICALLY NOTED.
2. GENERAL CONTRACTOR TO VERIFY COLOR & FINISHES BEFORE PROCEEDING WITH EXTERIOR APPLICATIONS.
3. EXISTING CONDITIONS, UNLESS NOTED OTHERWISE, SHALL BE MAINTAINED.
4. APPROVED PLACEMENT OF PAINT COATINGS SHALL BE A MINIMUM OF 1/2" FROM EDGES OR PROTRUSIONS OF EXTERIOR COUPLINGS OR METALLIC SURFACES UNLESS OTHERWISE NOTED.
5. METALLIC FINISHES SHALL BE APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH APPLICATION.

6. FINISH GRADE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
7. FINISH FLOOR SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
8. FINISH CEILING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
9. FINISH ROOF SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
10. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
11. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
12. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
13. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
14. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
15. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
16. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
17. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
18. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
19. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
20. GARAGE DOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

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 * PRINTING "NOT TO SCALE" WILL CAUSE PRINTS TO BE OUT OF SCALE
 * TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE

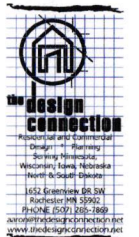


LEFT ELEVATION
 1/4" = 1'-0" (VERTICAL)
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 1/4" = 1'-0" (VERTICAL)
 SCALE: 1/4" = 1'-0"

- TYPE ELEVATIONS**
1. NEW ELEVATIONS ARE DRAWING ONLY ALL ORIGINAL AND/OR LOCATION IS NOT TO BE. ALL MATERIALS AND FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FINISHES OF EXTERIOR APPLICATIONS.
 3. TIP OVERHANGS UNLESS NOTED OTHERWISE:
 - 3.1. GABLE TYPIC
 - 3.2. GABLE TO BE 0"
 - 3.3. PORCH LEADS TO BE 0"
 4. APPROPRIATE PLACEMENT OF PAINT GRACE:
 - 4.1. PAINT GRACE TO BE 1/2" MIN. TOP OF GABLE COLOR
 - 4.2. PAINT GRACE TO BE 1/2" MIN. TOP OF METAL
 - 4.3. PAINT GRACE TO BE 1/2" MIN. TOP OF ROOF
 5. ROOFING MATERIAL: ASD
 - 5.1. ROOF APPLICABLE OVER 30' ASIDE APPROVED ROOFING TO BE USED UNLESS OTHERWISE NOTED.
 - 5.2. COLOR TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 6. EXTERIOR WALL FINISHES:
 - 6.1. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 6.2. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 6.3. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 6.4. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 7. EXTERIOR WALL FINISHES:
 - 7.1. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 7.2. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 7.3. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 7.4. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 8. GABLE SIDING: GREEN AND
 - 8.1. GABLE SIDING TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 8.2. GABLE SIDING TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 9. EXTERIOR WALL FINISHES:
 - 9.1. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 9.2. EXTERIOR WALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 10. SURFACE FINISHES:
 - 10.1. SURFACE FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 - 10.2. SURFACE FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.



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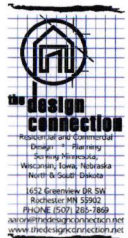
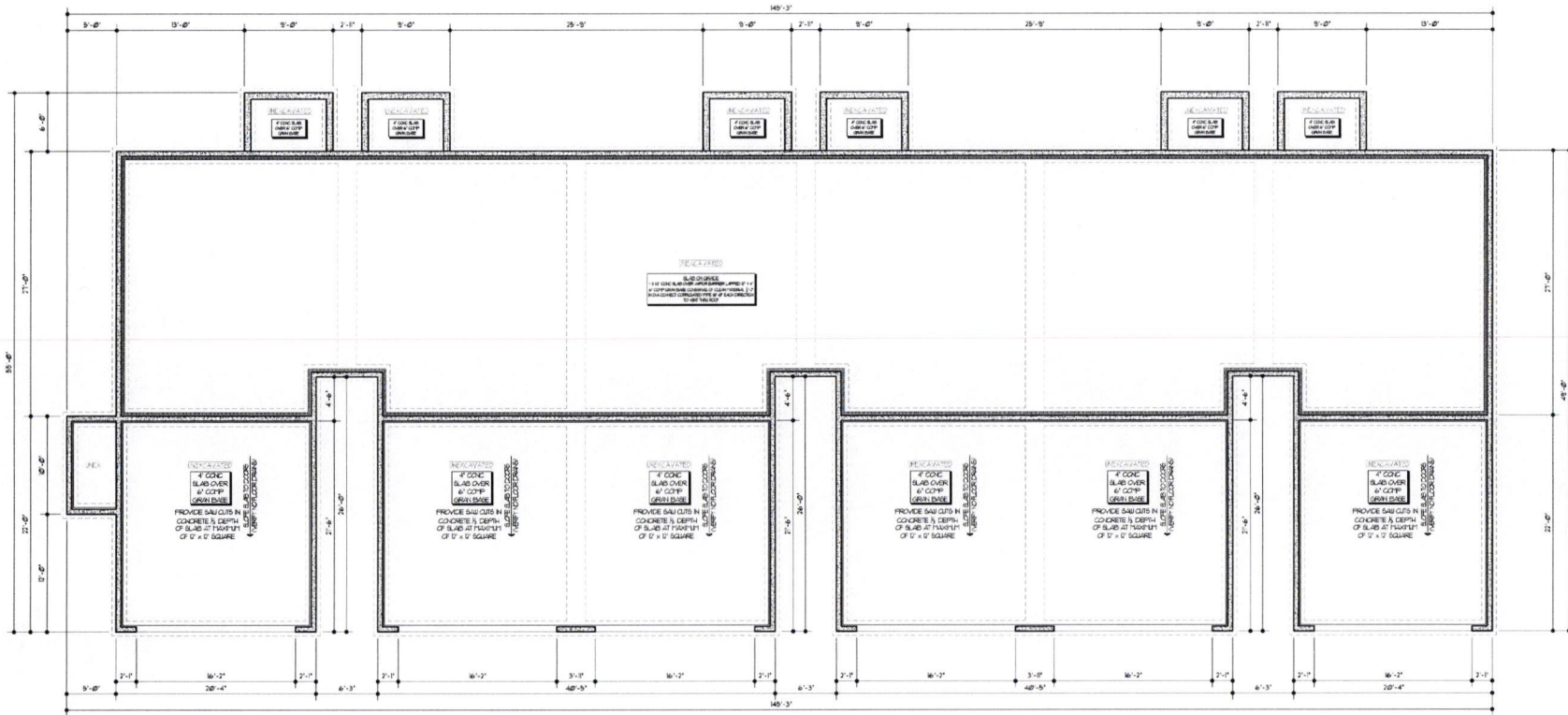
STONEGATE 6-PLEX
 IOWA
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

QUICK REFERENCE KEY	
FOUNDATION: 18" SP	18" SP
FLOOR LEVEL: 18" SP	18" SP
CEILING LEVEL: 18" SP	18" SP
ROOF LEVEL: 18" SP	18" SP
FOUNDATION: 18" SP	18" SP
FLOOR LEVEL: 18" SP	18" SP
CEILING LEVEL: 18" SP	18" SP
ROOF LEVEL: 18" SP	18" SP

PROJECT # 23791
 DRAWN BY: MKJ
 CHECKED BY: JKT
 PREPARED: OCTOBER 2021
 PRINTING DATE: NOVEMBER 4, 2021
 DATE SET DATE:
 REVISION:
 PRINTED: NOV 06, 2021
 RIGHT & LEFT
 EXTERIOR ELEVATIONS
A1.2

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 * PRINTING TO A SMALLER SCALE WILL CAUSE PRINTS TO
 BE OUT OF SCALE
 * DCC IS NOT RESPONSIBLE FOR PRINTS NOT TO
 SCALE

FORED CONCRETE FOUNDATION NOTES:
 1. IF TOTAL TYPICAL DIMENSION (CONCRETE) IS:
 1. REMOVING PER FULL SECTION (SEE RC-46423) OR 46429)
 2. TYPICAL EXTENSION HAVING FOOTING SIZE 18" ON CENTER (SPECIFICALLY)
 A. 18" SMALLER - 8" W/ 40
 B. 18" TO 24" - 8" W/ 40
 C. 24" TO 30" - 8" W/ 40
 3. COORDINATE ALL FOOTING REINFORCEMENTS AND
 SCHEDULE WITH FINAL OWNER PROVIDED FOUNDATION
 PROTECT FROM FINISH
 4. ADDED SOIL BEARING AND FPN IN CONCREATOR TO
 BEYOND FOOTING
 5. FOUNDATION TO BE BUILT AS:
 A. 18" W/ 40 REINFORCED FILL
 B. 18" W/ 40 REINFORCED
 C. 18" W/ 40 REINFORCED
 D. 18" W/ 40 REINFORCED
 E. 18" W/ 40 REINFORCED
 6. AT FOUNDATION PROVIDE 2" RIGID FILL BEHIND
 INSIDE FACE OF WALL PROTECTING TO BOTTOM OF CONC
 SLAB AND RETAIN A DISTANCE OF 4" MIN



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STONEGATE 6-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETZELS
 IOWA

QUICK REFERENCE	
PROJECT #	23391
DRAWN BY	MKS
CHECKED BY	AKT
PREPARED	OCTOBER 20, 2023
PERMITS DATE	NOVEMBER 6, 2023
ISSUE SET DATE	
REVISION	
PRINTED	Nov 06, 2023
FOUNDATION PLAN	
A2.0	

NOTES:
 1. SEE PLAN AND SPECIFICATIONS FOR ALL
 REVISIONS AND DIMENSIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER WORK OR FOR ANY DAMAGE TO THE PROJECT OR TO ANY OTHER PARTY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 DATE: 10/20/23

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ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

DATE OF THIS SET OF DRAWINGS: 08/14/2018
DRAWN BY: JEFF KETTEL
CHECKED BY: JEFF KETTEL
PROJECT NO.: 18-001

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	08/14/2018
02	ISSUED FOR PERMIT	08/14/2018
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100	ISSUED FOR PERMIT	08/14/2018

MANUAL
1520 2ND AVE SE
DYERSVILLE
JEFF KETTEL

STONEGATE 6-PLEX
1520 2ND AVE SE
DYERSVILLE
JEFF KETTEL

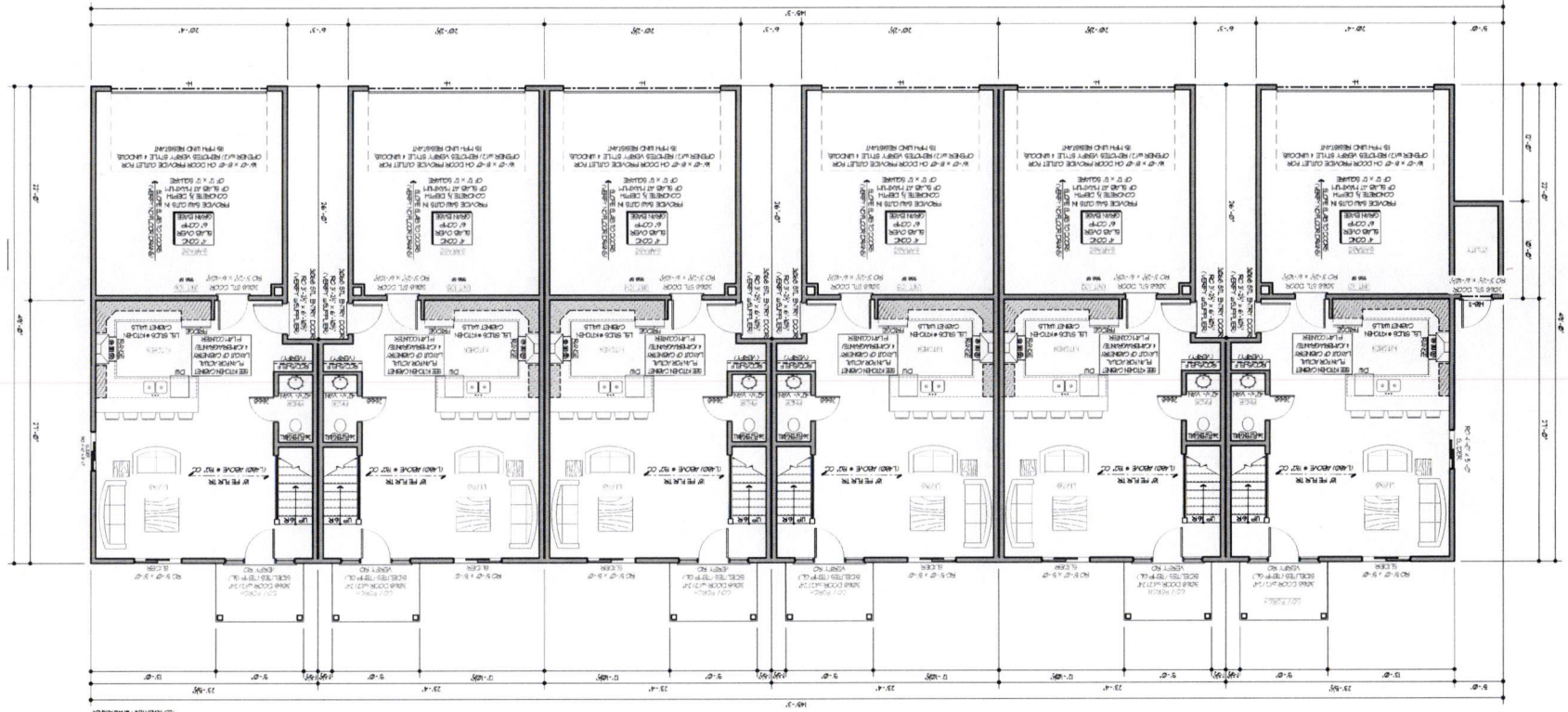
PRICING REVIEW
NOT FOR
CONSTRUCTION

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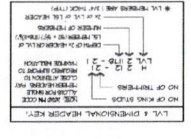
DESIGN CONNECTION



1520 2ND AVE SE
DYERSVILLE, IA 50541
515-281-1111
www.designconnection.com



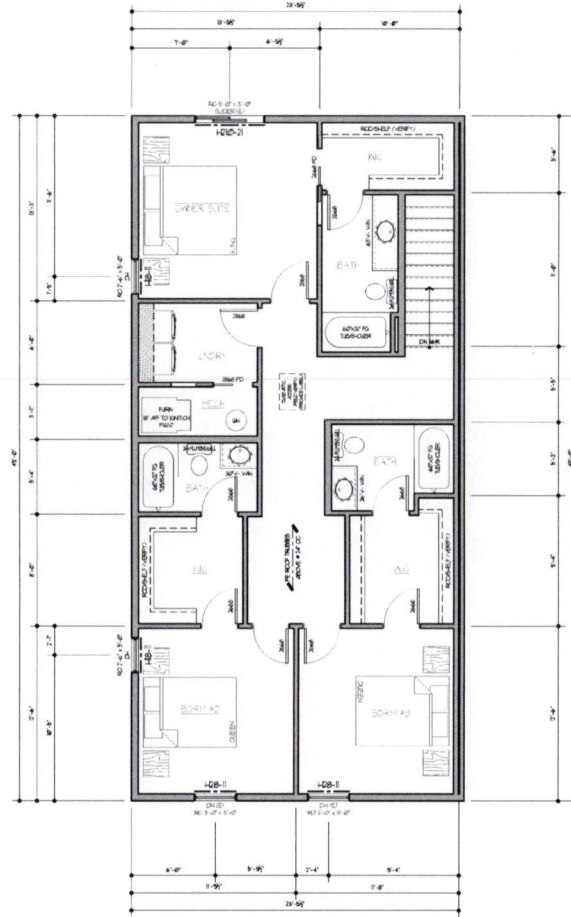
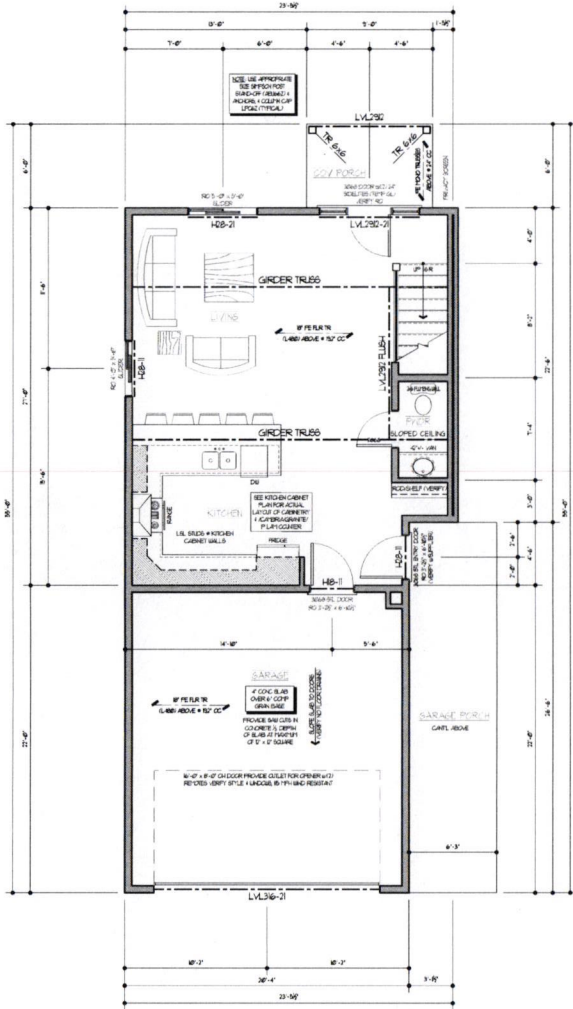
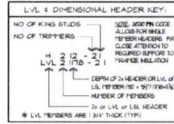
- MAIN FLOOR PLAN NOTES**
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SCALE: 1/8" = 1'-0"
ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

PRINTING INSTRUCTION:

- TOC PRINTS ARE PREPARED TO BE PLOTTED ON 24"X36" SHEETS
- PRIOR TO ACTUAL SIZE AND/OR 1/8"=1'-0" SCALE IS REQUIRED
- PRINTING TO TOP EDGE WILL CAUSE PRINTS TO BE CUT OFF SCALE
- TOC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



SYMBOL DESCRIPTION	SYMBOL DESCRIPTION
DI - DOUBLE HING	FR - PARR
SH - SINGLE HING	HO - HOOKER DOOR
CFE - CASTER	CO - CABED OPENING
ADN - ADING	ED - 6-HOLE DOORS
ST - STATIONARY	BD - BARN DOOR
LI - LEFT SWING	
RI - RIGHT SWING	
TS - TYPED	
OP - OPEN PLYER	
AD - ADING FOR ADING	
GR - GRILLS	
SD - SLIDER DOOR SPLITER	
SR - SINK IN SET LORIE	
TD - TYPED	

Design Connection
 Design: J. W. Haring
 1520 2nd Ave SE
 Dyersville, Iowa, Nebraska
 North & South Dakota
 525-299-2222
 525-299-2222
 525-299-2222
 www.designconnection.net

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PRICING REVIEW NOT FOR CONSTRUCTION

STONEGATE 6-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

CHECK REFERENCE LIST	
ARCHITECTURE	2331
MECHANICAL	2331
ELECTRICAL	2331
PLUMBING	2331
PAINTING	2331
LANDSCAPE	2331
CONCRETE	2331
ROOFING	2331
FOUNDATION	2331
GENERAL CONTRACTOR	2331
MECHANICAL CONTRACTOR	2331
ELECTRICAL CONTRACTOR	2331
PLUMBING CONTRACTOR	2331
PAINTING CONTRACTOR	2331
LANDSCAPE CONTRACTOR	2331
CONCRETE CONTRACTOR	2331
ROOFING CONTRACTOR	2331
FOUNDATION CONTRACTOR	2331

NOTES:
 1. THESE PLANS ARE TO BE USED FOR PERMITTING PURPOSES ONLY. USE FOR OTHER PURPOSES WITHOUT THE DESIGNER'S PERMISSION IS PROHIBITED. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING ALL CHANGES AND REVISIONS TO THESE PLANS.

PLC

City of Dyersville

Task# 62905

BUILDING PERMIT APPLICATION

PERMIT NUMBER
26-2450

Item 9.

JOB ADDRESS (BUILDING 2) 1520 2ND AVE SE DYERSVILLE, IA		COUNTY DUBUQUE
LEGAL PARCEL DESCR. 07-32-779-021	LOT NO. 1	BLK. 162
OWNER OF RECORD BAM DEVELOPMENT		TELEPHONE
CONTRACTOR PERMIT # NAME STONEGATE BUILDERS GRP	PLUMBING PERMIT #	ELECTRICAL/MECHANICAL PERMIT #
ARCHITECT OR DESIGNER	ADDRESS	TELEPHONE
USE OF BUILDING <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY		FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE		
DESCRIBE WORK NEW MULTIFAMILY		Type of Const. WOOD FRAME
SET BACKS TO FOUNDATION WALL		Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
FRONT	CORNER	Size of Bldg. Total Sq. Ft. 20244 = 8096
REAR	ALLEY	No. of Dwelling Units 4
SIDE	OPEN SPACE	No. of Stories 2
LOT DIMENSIONS		Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
SPECIAL CONDITIONS See Attachment		Off Street Parking Req. _____ Prov. _____
VALUE OF WORK \$ 1,011,708		Zoning District B5
		SPECIAL APPROVALS
		REQUIRED
		RECEIVED
		ZONING AMENDMENT
		SITE PLAN
		PLAN REVIEW
		EXCAVATION PERMIT
		ARCHITECT/ENGINEER
		HEALTH DEPT.
		FIRE DEPT.
		HANDICAPPED CERTIFICATE
		BOARD OF ADJUST.
		FLOOD PLAIN CERT.
		FLOOD PLAIN EXEMP.
		SIGNS
		SPECIAL USE PERMIT
		WATER METER

NOTICE
SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* (DATE) **9/16/25** SIGNATURE OF OWNER *[Signature]* (DATE) **9/16/25** **Rec 1/26/26**

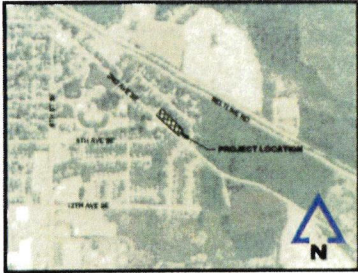
WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

CHECKED & APPROVED BY *[Signature]* (DATE) **4.2.26** APPROVED BY CITY COUNCIL (DATE)

Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

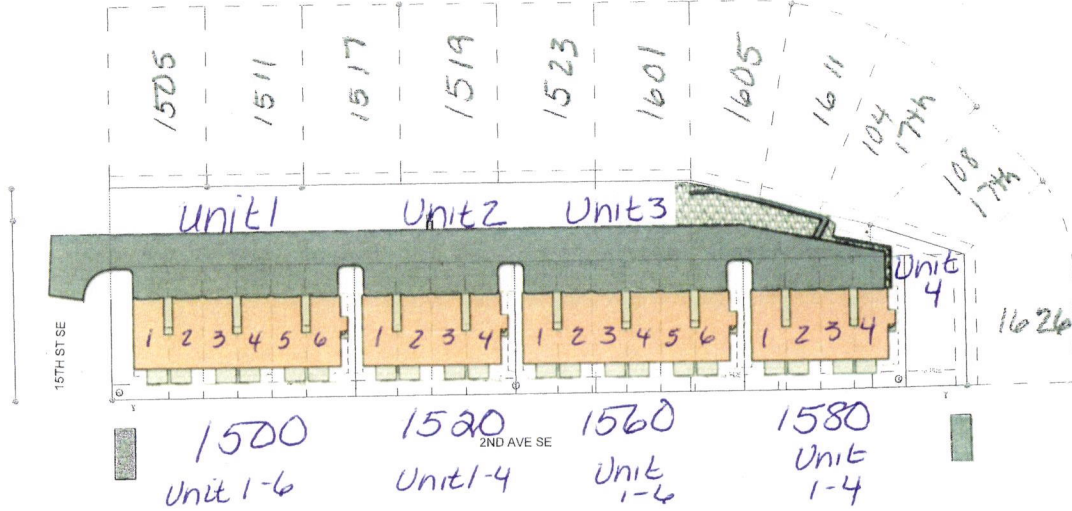
Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



VICINITY MAP
SCALE = 1:1000

2ND AVENUE MULTI-FAMILY PRELIMINARY PLAT/SITE PLAN

1520 2ND AVE SE, DYERSVILLE, IOWA 52040



GENERAL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
Sanitary Sewer Main	Sanitary Sewer Main	Sanitary Sewer Manhole	Sanitary Sewer Manhole
Sanitary Sewer Service	Sanitary Sewer Service	Sanitary Sewer Cleanout	Sanitary Sewer Cleanout
Sanitary Sewer Force Main	Sanitary Sewer Force Main	Air Release Manhole/Drain Manhole	Air Release Manhole/Drain Manhole
Storm Sewer Main or Culvert	Storm Sewer Main or Culvert	Storm Sewer Manhole	Storm Sewer Manhole
Secondary Storm Sewer Main	Secondary Storm Sewer Main	Storm Sewer Cleanout	Storm Sewer Cleanout
Secondary Storm Sewer Service	Secondary Storm Sewer Service	Storm Sewer Intake	Storm Sewer Intake
Subdrain/Tile	Subdrain/Tile	Storm Sewer Beehive Intake	Storm Sewer Beehive Intake
Water Main	Water Main	Fire Hydrant	Fire Hydrant
Water Service	Water Service	Water Valve	Water Valve
Underground Electric	Underground Electric	Water Valve Manhole	Water Valve Manhole
Overhead Electric	Overhead Electric	Curb Stop	Curb Stop
Underground Telephone	Underground Telephone	Water Meter Manhole	Water Meter Manhole
Underground Fiber Optic	Underground Fiber Optic	Yard Hydrant	Yard Hydrant
Underground Cable TV	Underground Cable TV	Electric Manhole / Vault	Electric Manhole / Vault
Gas Main or Service	Gas Main or Service	Electric Pedestal / Transformer	Electric Pedestal / Transformer
Contour Lines Intermediate	Contour Lines Intermediate	Power Pole	Power Pole
Contour Lines Index	Contour Lines Index	Power Pole w/ Street Light	Power Pole w/ Street Light
Property Line / Lot Line	Property Line / Lot Line	Street Light Pole	Street Light Pole
Section Line	Section Line	Guy Wire	Guy Wire
Easement	Easement	Fiber Optic Marker	Fiber Optic Marker
Wooden Fence	Wooden Fence	Traffic Signal	Traffic Signal
Road Centerline	Road Centerline	Traffic Signal Box	Traffic Signal Box
Grading Limits	Grading Limits	Traffic Signal Manhole / Vault	Traffic Signal Manhole / Vault
Construction Limits	Construction Limits	Railroad Crossing Signal	Railroad Crossing Signal
Top of Slope	Top of Slope	Telephone Manhole / Vault	Telephone Manhole / Vault
Bottom of Slope	Bottom of Slope	Cable TV Manhole / Vault	Cable TV Manhole / Vault
Silt Fence	Silt Fence	Cable TV Pedestal	Cable TV Pedestal
		Gas Valve	Gas Valve
		Irrigation Handhole	Irrigation Handhole
		Bollard (Bumper Post)	Bollard (Bumper Post)
		Roadway Sign	Roadway Sign
		Deciduous Tree	Deciduous Tree
		Evergreen Tree	Evergreen Tree
		Shrub or Bush	Shrub or Bush
		Tree or Shrub Line	Tree or Shrub Line
		Stump	Stump
		Control Point	Control Point
		Bench Mark	Bench Mark
		Section Corner	Section Corner
		Iron Pin Set	Iron Pin Set
		Iron Pin Found	Iron Pin Found

UTILITY QUALITY SERVICE LEVELS:
UTILITY QUALITY LEVELS ARE BASED ON THE CHASCE 38-02 STANDARD.

EXAMPLES:

Sanitary Sewer Main - Quality Service Level A	Sanitary Sewer Manhole - Quality Service Level A
Sanitary Sewer Main - Quality Service Level B	Sanitary Sewer Manhole - Quality Service Level B
Sanitary Sewer Main - Quality Service Level C	Sanitary Sewer Manhole - Quality Service Level C
Sanitary Sewer Main - Quality Service Level D	Sanitary Sewer Manhole - Quality Service Level D

ABBREVIATIONS:

TS	TOP OF SLAB	ME	HATCH EXISTING
TC	TOP OF CURB	FH	FINISHED FLOOR ELEVATION
G	GUTTER	HP	HIGH POINT
TW	TOP OF WALL	OE	OVERFLOW ELEVATION
BW	BOTTOM OF WALL		

APPLICANT:
BM CO.
CONTACT: MICHAEL BOUSSELOT
ADDRESS: 4003 SW 4TH ST
AMERY, IA 50603

OWNER:
DYERSVILLE INDUSTRIES INC
ADDRESS: 1520 2ND AVE. SE
DYERSVILLE, IA 52040

ENGINEER:
MCCLURE ENGINEERING COMPANY
CONTACT: MAXWELL ELLER, P.E.
ADDRESS: 1300 HWY 121ST STREET
CLIVE, IA 50325

DEVELOPMENT TOTALS

TOTAL AREA (ACRES)	1.79
UNIT SUMMARY	8
4-UNIT ELDORNVILLE TOWNHOME	12
6-UNIT ELDORNVILLE TOWNHOME	20
TOTAL UNITS	7.0
UNIT DENSITY (U/AC)	

EXISTING ZONING: C-2 - GENERAL COMMERCIAL DISTRICT				
PROPOSED ZONING:				
LOT	ZONING	SETBACKS		
		FRONT	SIDE	REAR
LOTS 1-21	R-3	15'	5'	20'



SHEET LIST TABLE

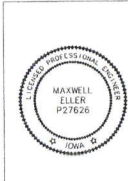
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C002	GENERAL NOTES
C003	EXISTING CONDITIONS AND REMOVALS
C004	PRELIMINARY PLAT
C101	SITE PLAN
C201	GRADING PLAN
C202	GRADING PLAN
C203	GRADING PLAN
C204	EROSION CONTROL PLAN
C301	UTILITY PLAN
C302	UTILITY PLAN
C303	SANITARY SEWER PLAN & PROFILE
C304	SANITARY SEWER PLAN & PROFILE
C301	DETAILS

ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE 2025 EDITION OF THE SDGAS SPECIFICATIONS.



THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE, THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

MAXWELL ELLER, PE NO. P27626 DATE: _____

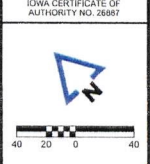
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

PAGES OR SHEETS COVERED BY THIS SEAL: _____

McCLURE™
2229 E. Grantview Ln Suite 2
Coraville IA 52421
P 319-628-5090

Amery, IA | Carroll, IA | Clive, IA
Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Sioux City, IA
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REVISIONS

PROJECT INFO:
20250626

ENGINEER DRAWN BY CHECKED BY:
EA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040

COVER SHEET

DRAWING NO.
C001

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY/EASEMENT/ AND OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE MODS.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE SWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

GRADING NOTES:

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
7. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEED. THESE AREAS SHALL BE SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

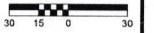
UTILITY NOTES:

- 1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TELEVIEWED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TELEVIEWING SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.
SANITARY SEWER:
1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.
STORM SEWER:
1. OWNERS SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE O-RING GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.
WATER MAIN:
1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 4-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5' 6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN STAINLESS STEEL ROODING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER (SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE) CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHERE POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO THE SITE, BUILDING, FDC'S, PIVS, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 963.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAIN.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

Table with 2 columns: Description, Date. Contains several empty rows for revisions.

PROJECT INFO

2024060630

ENGINEER DRAWN BY / CHECKED BY BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040

GENERAL NOTES

2024060630-2ndAveMultifamily.CONTRACTOR.DWG DATE: 07/23/2024 10:48 AM

DRAWING NO. C002

McCLURE™
 2229 E Grassview Ln Suite 2
 Coralville IA 52241
 P 319-426-9090

Ankeny, IA | Carroll, IA | Clive, IA
 Cedar Rapids, IA | Fort Dodge, IA
 North Liberty, IA | Sioux City, IA
 Mason, MO | Columbia, MO
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

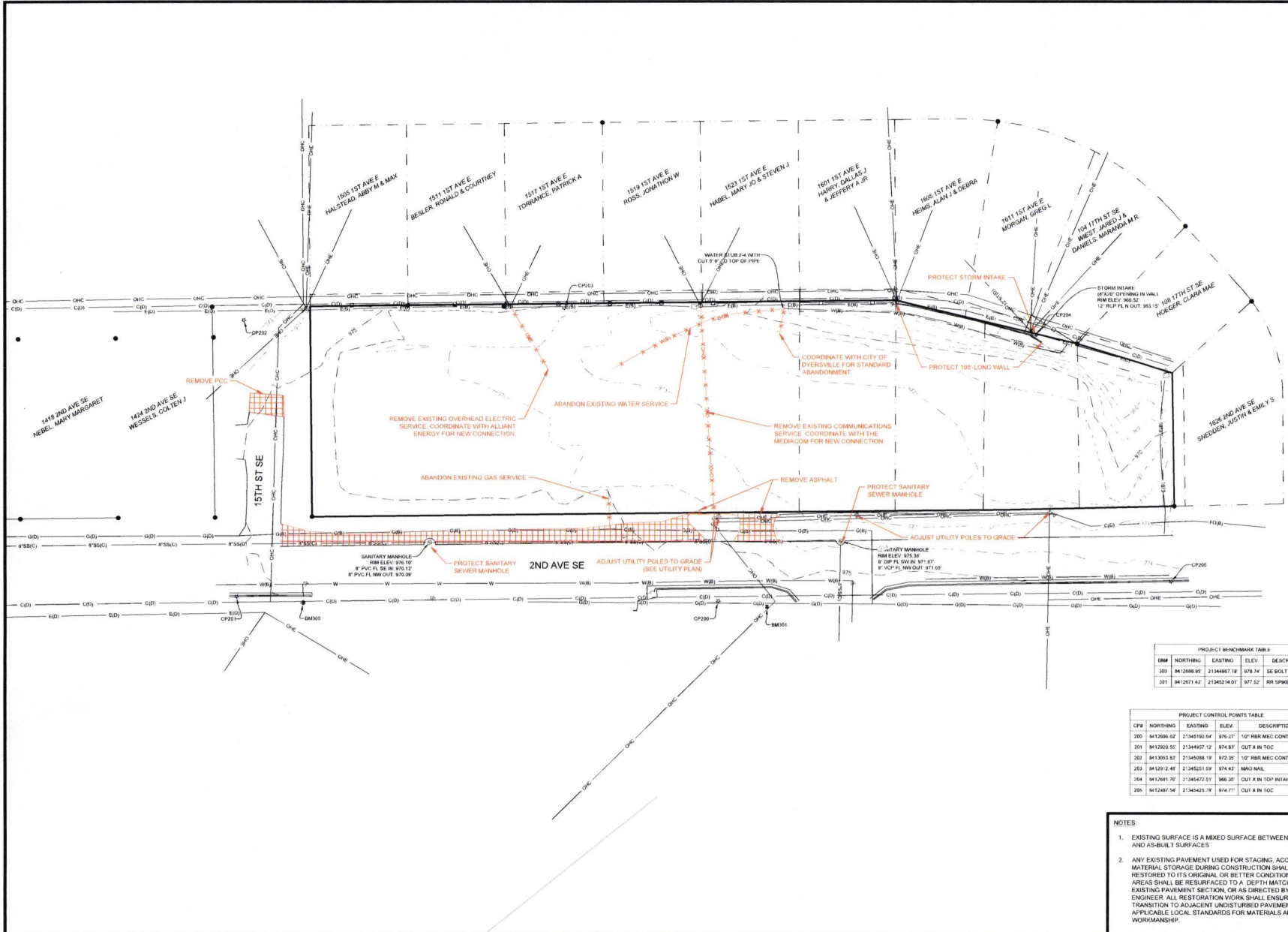


REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFO
 202406030
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

**2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040**
EXISTING CONDITIONS AND REMOVALS



PROJECT BENCHMARK TABLE

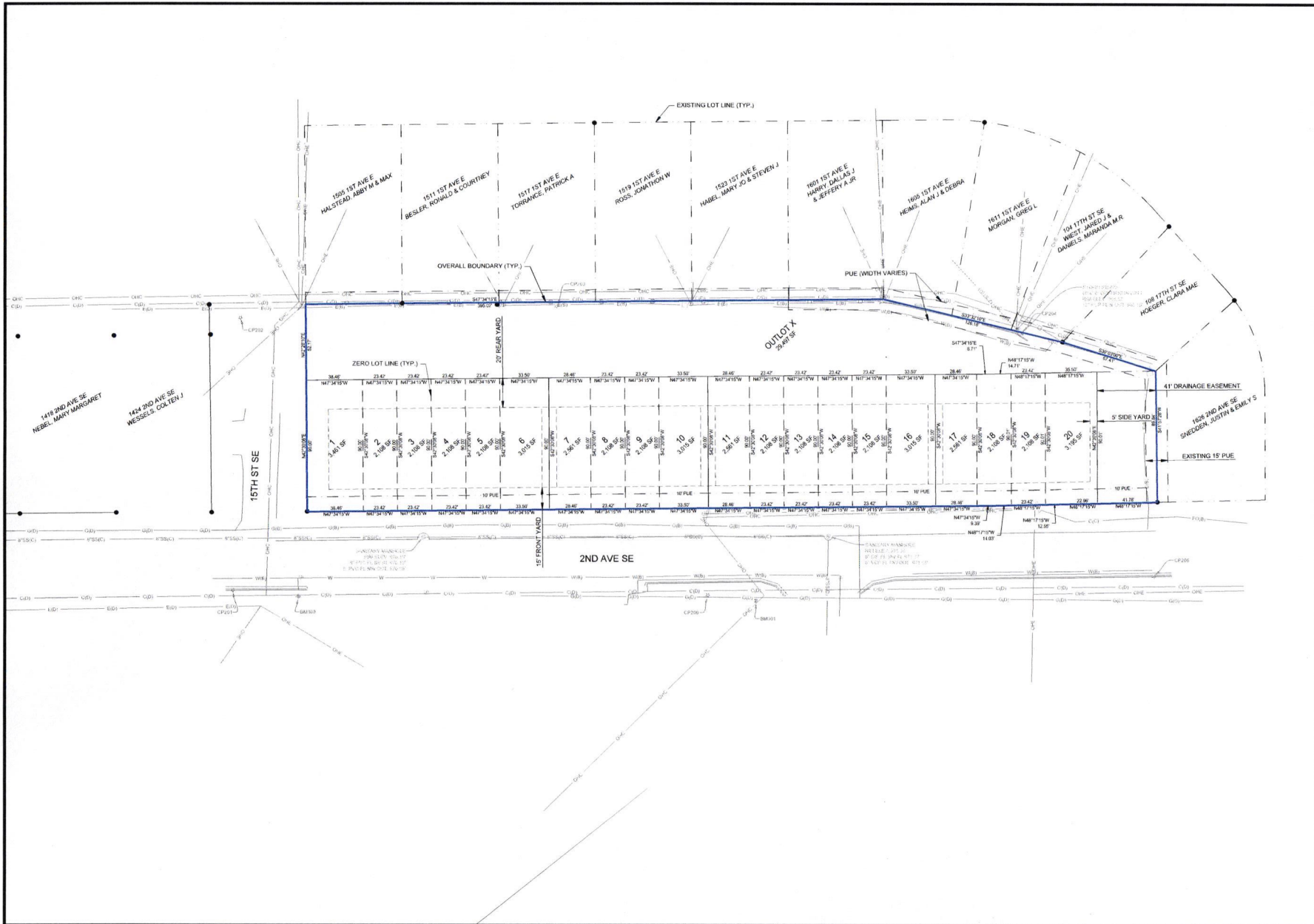
BM	NORTHING	EASTING	ELEV.	DESCRIPTION
300	841288.85	2134467.19	976.74	SE BOLT ON HYD
301	8412671.43	21346214.01	977.57	RR SPIKE IN PPOL

PROJECT CONTROL POINTS TABLE

CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
300	841386.62	21346182.64	976.27	10" RBR. MEC CONTROL BPC
301	8412620.56	21346457.12	974.87	CUT X IN TOC
302	8413503.82	21345038.19	972.32	12" RBR. MEC CONTROL BPC
303	8412912.48	21345251.59	974.63	MAU5 NAIL
304	8412841.70	21345472.51	966.35	CUT X IN TOP INTAKE
305	8412487.54	21345425.78	974.71	CUT X IN TOC

- NOTES
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES.
 - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.

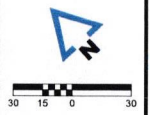
DRAWING NO.
C003



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 North Kansas City MO
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO
 20200605
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

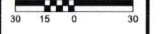
2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 PRELIMINARY PLAT

DRAWING NO.
 C004

McCLURE
 2229 E. Grantview Ln Suite 2
 Coralville IA 52241
 P 319-826-9090
 Ankeny, IA | Carroll, IA | Clive, IA
 Cedar Rapids, IA | Fort Dodge, IA
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

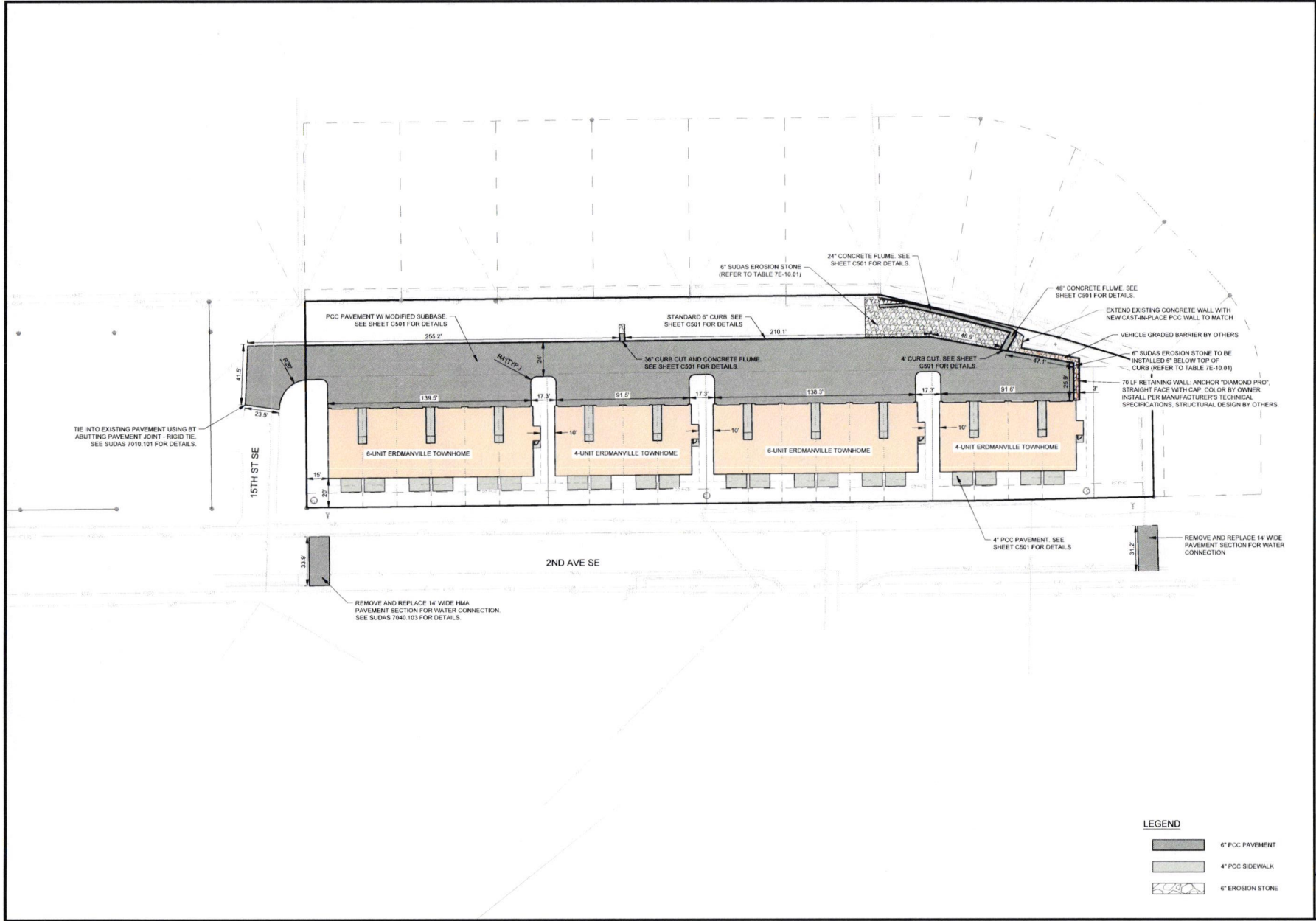


REVISIONS

PROJECT INFO
 202406036
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

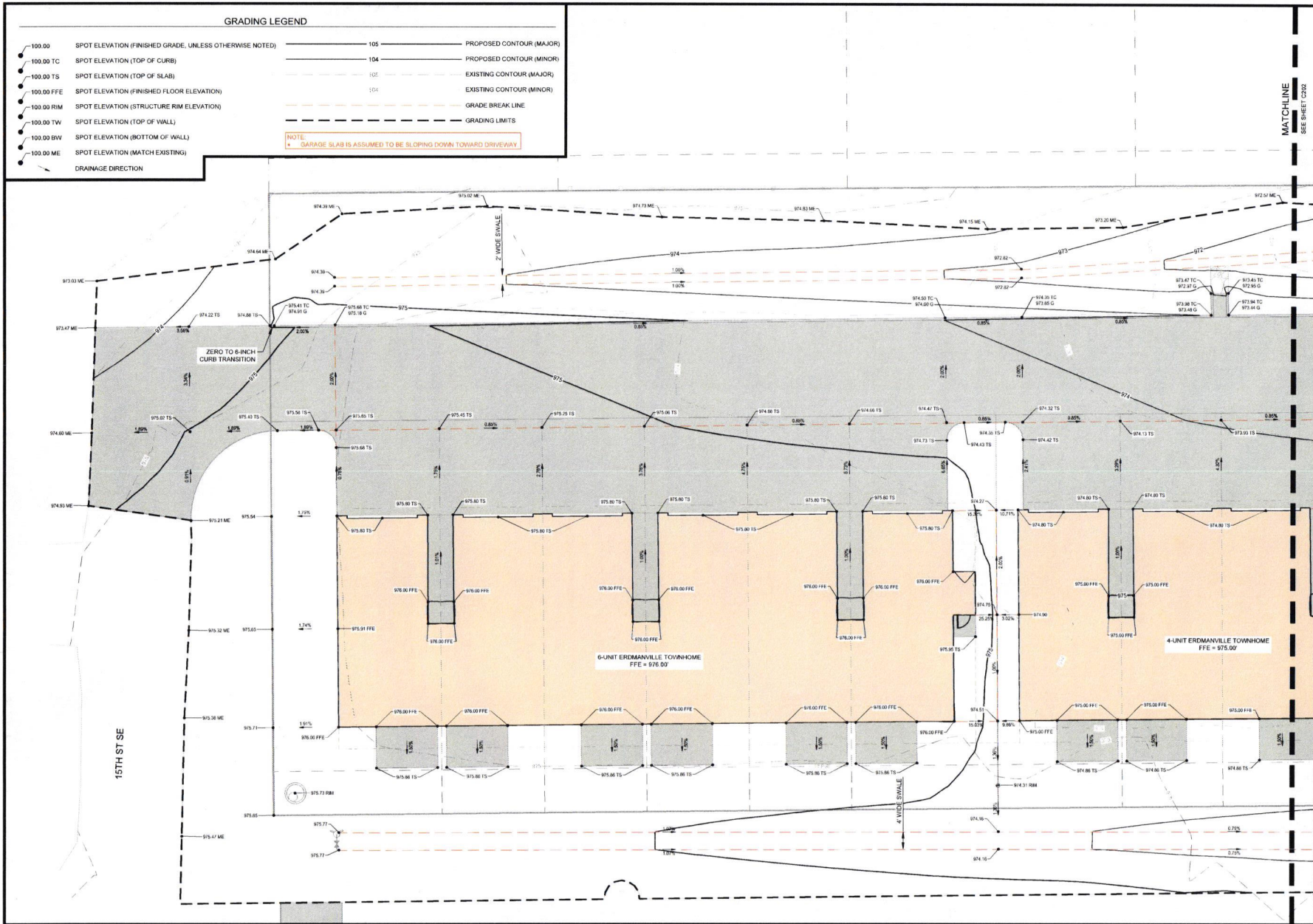
2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
SITE PLAN
 T:\2024\06036\000\DWG\MULTIFAMILY\CONSTRUCTION\DOCUMENT\222-06036-011-2.DWG

DRAWING NO.
C101



LEGEND

	6" PCC PAVEMENT
	4" PCC SIDEWALK
	6" EROSION STONE



GRADING LEGEND

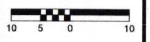
- | | | | |
|------------|---|-----|--------------------------|
| 100.00 | SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED) | 105 | PROPOSED CONTOUR (MAJOR) |
| 100.00 TC | SPOT ELEVATION (TOP OF CURB) | 104 | PROPOSED CONTOUR (MINOR) |
| 100.00 TS | SPOT ELEVATION (TOP OF SLAB) | 105 | EXISTING CONTOUR (MAJOR) |
| 100.00 FFE | SPOT ELEVATION (FINISHED FLOOR ELEVATION) | 104 | EXISTING CONTOUR (MINOR) |
| 100.00 RM | SPOT ELEVATION (STRUCTURE RIM ELEVATION) | --- | GRADE BREAK LINE |
| 100.00 TW | SPOT ELEVATION (TOP OF WALL) | --- | GRADING LIMITS |
| 100.00 BW | SPOT ELEVATION (BOTTOM OF WALL) | | |
| 100.00 ME | SPOT ELEVATION (MATCH EXISTING) | | |
| --- | DRAINAGE DIRECTION | | |
- NOTE:**
 * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFO
 2024060635

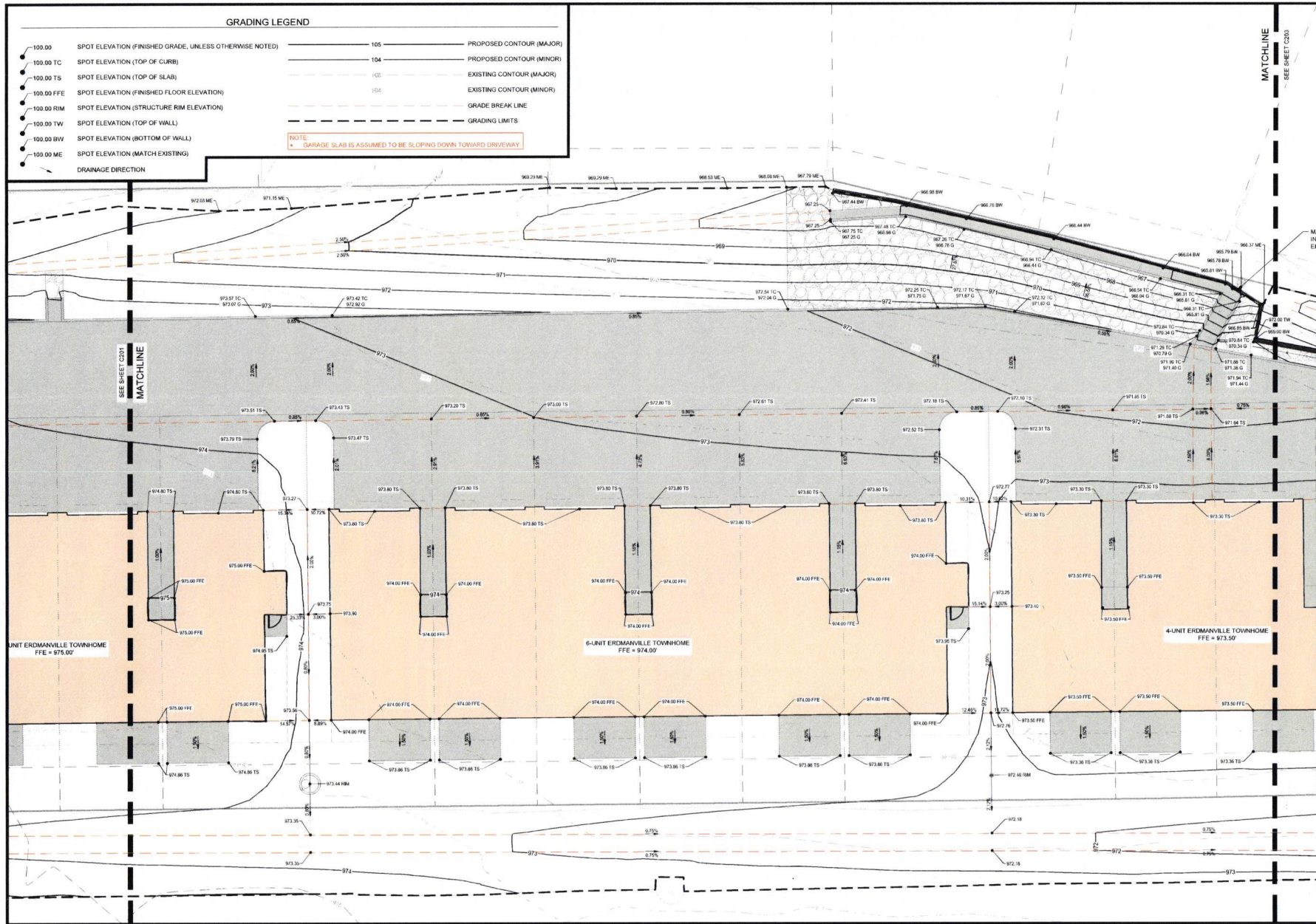
ENGINEER DRAWN BY CHECKED BY
 BA OF ME

**2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040**

GRADING PLAN

T:\2024060635\DWG\CONSTRUCTION\2024060635.GRD

DRAWING NO.
C201



GRADING LEGEND

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TV SPOT ELEVATION (TOP OF WALL)
- 100.00 BV SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 100 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE
- GRADING LIMITS

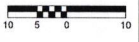
NOTE: GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY.

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IOWA CERTIFICATE OF AUTHORITY NO. 25887



REVISIONS

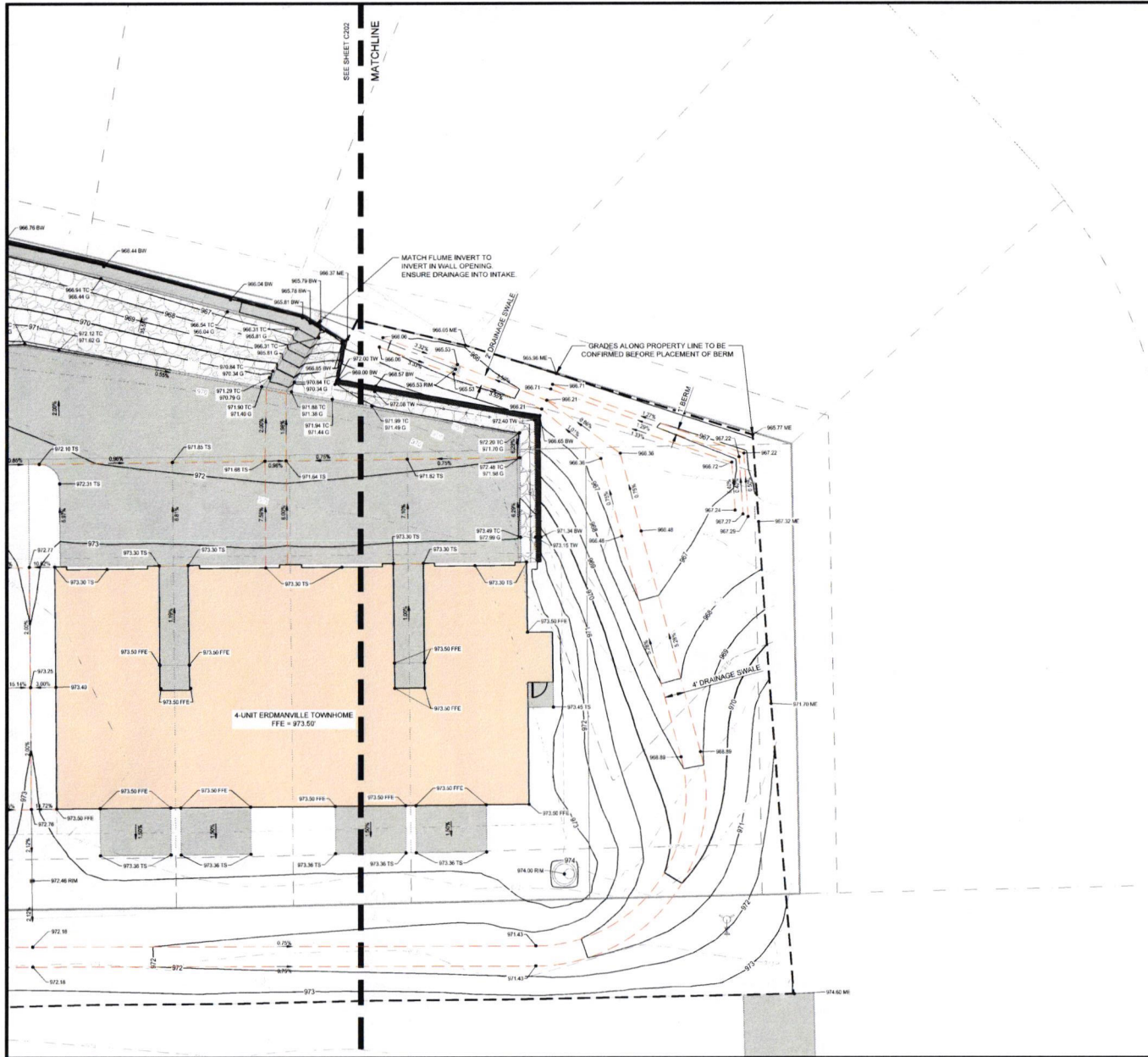
PROJECT INFO
 2024006635

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

GRADING PLAN

DRAWING NO. C202



GRADING LEGEND

- 105 — PROPOSED CONTOUR (MAJOR)
- 104 — PROPOSED CONTOUR (MINOR)
- - - 105 - - - EXISTING CONTOUR (MAJOR)
- - - 104 - - - EXISTING CONTOUR (MINOR)
- - - - - GRADE BREAK LINE
- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:
 * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY
 * ADJUST UTILITY POLE TO GRADE

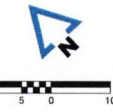
CUT AND FILL REPORT	
	VOLUME SUMMARY
CUT FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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 North Kansas City, MO
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO
 2024060636
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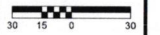
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 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 GRADING PLAN

DRAWING NO.
C203

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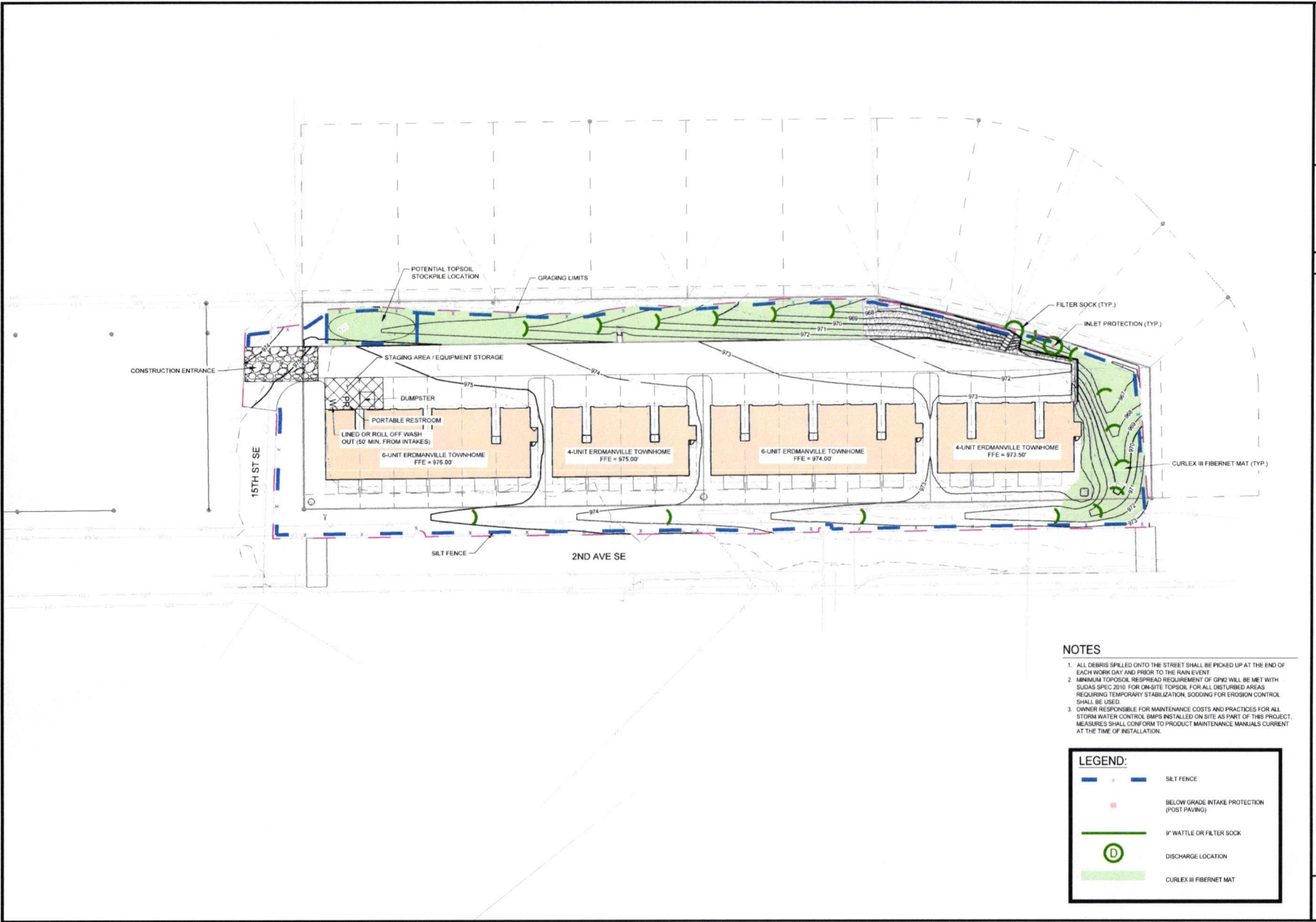
IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFO
 2024006036
 ENGINEER DRAWN BY CHECKED BY
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- NOTES**
1. ALL DEBRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
 2. MINIMUM TOPSOIL RESPIDER REQUIREMENT OF 60% WILL BE MET WITH SUDAS SPEC 2010 FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SOODING FOR EROSION CONTROL SHALL BE USED.
 3. OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

LEGEND:

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
EROSION CONTROL PLAN

DRAWING NO.
C204

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-5" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" XPS INSULATION BOARD.
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304.
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DESCRIPTION

PROJECT INFO

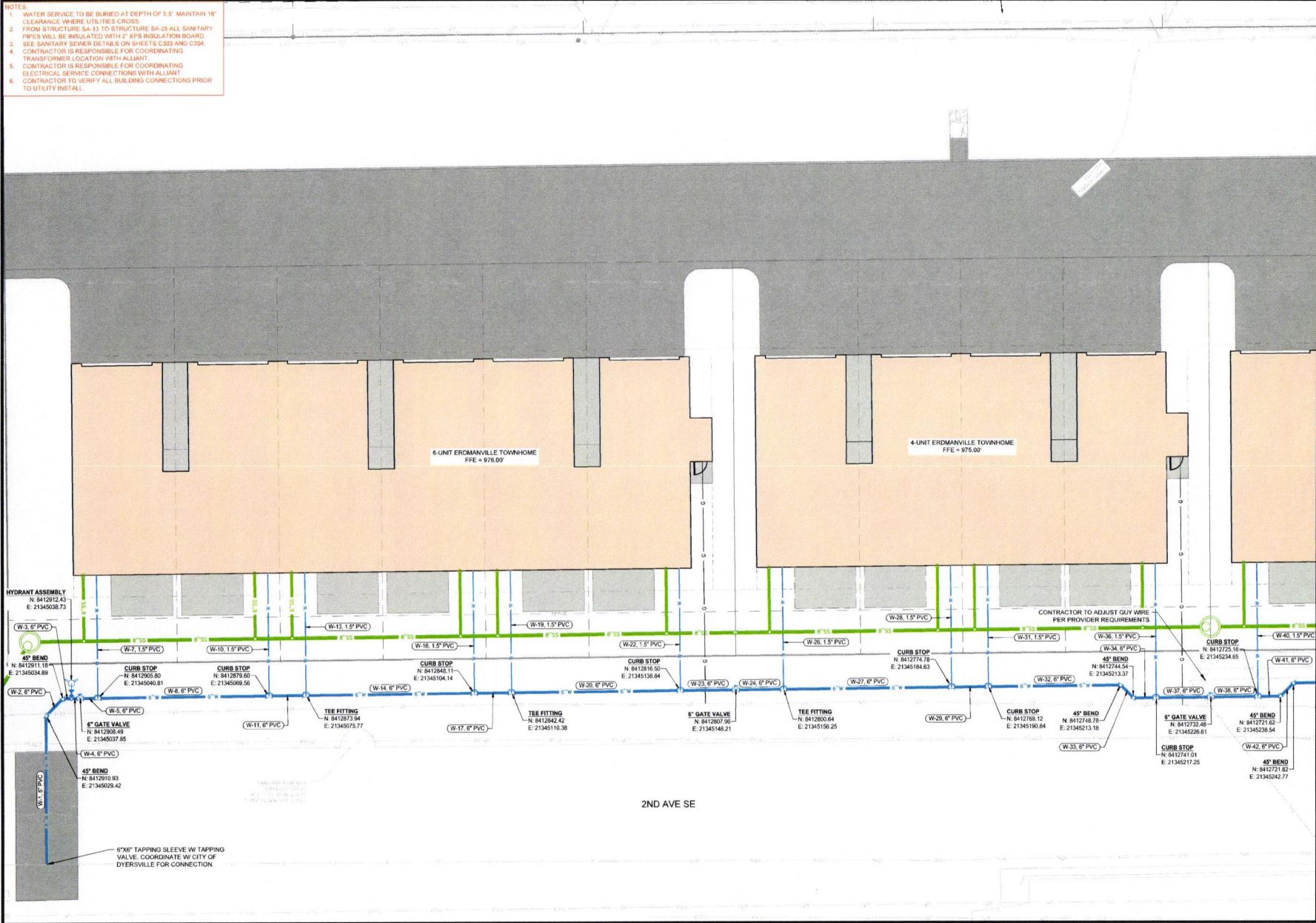
ENGINEER

DRAWN BY

CHECKED BY

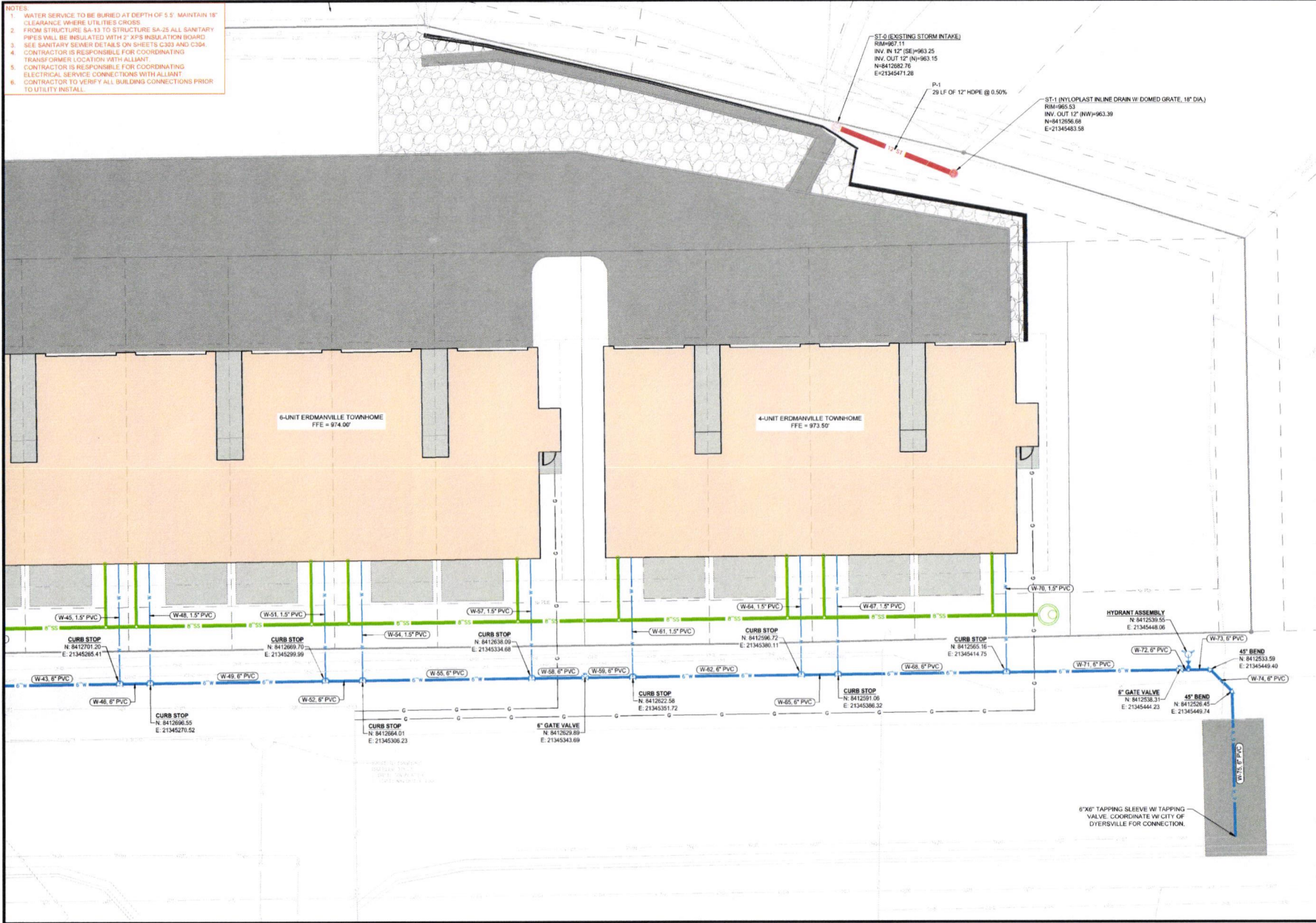
DATE

SCALE



2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 UTILITY PLAN

DRAWING NO.
C301



- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-0" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES WILL BE INSULATED WITH 2" EPS INSULATION BOARD
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

ST-0 (EXISTING STORM INTAKE)
 RM=967.11
 INV. IN 12" (SE)=963.25
 INV. OUT 12" (N)=963.15
 N=8412882.76
 E=21345471.28

P=1
 29 LF OF 12" HDPE @ 0.50%

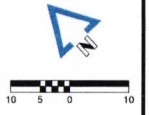
ST-1 (NYLOPLAST INLINE DRAIN W/ DOMED GRATE, 18" DIA)
 RM=965.53
 INV. OUT 12" (NW)=963.39
 N=8412858.96
 E=21345483.58

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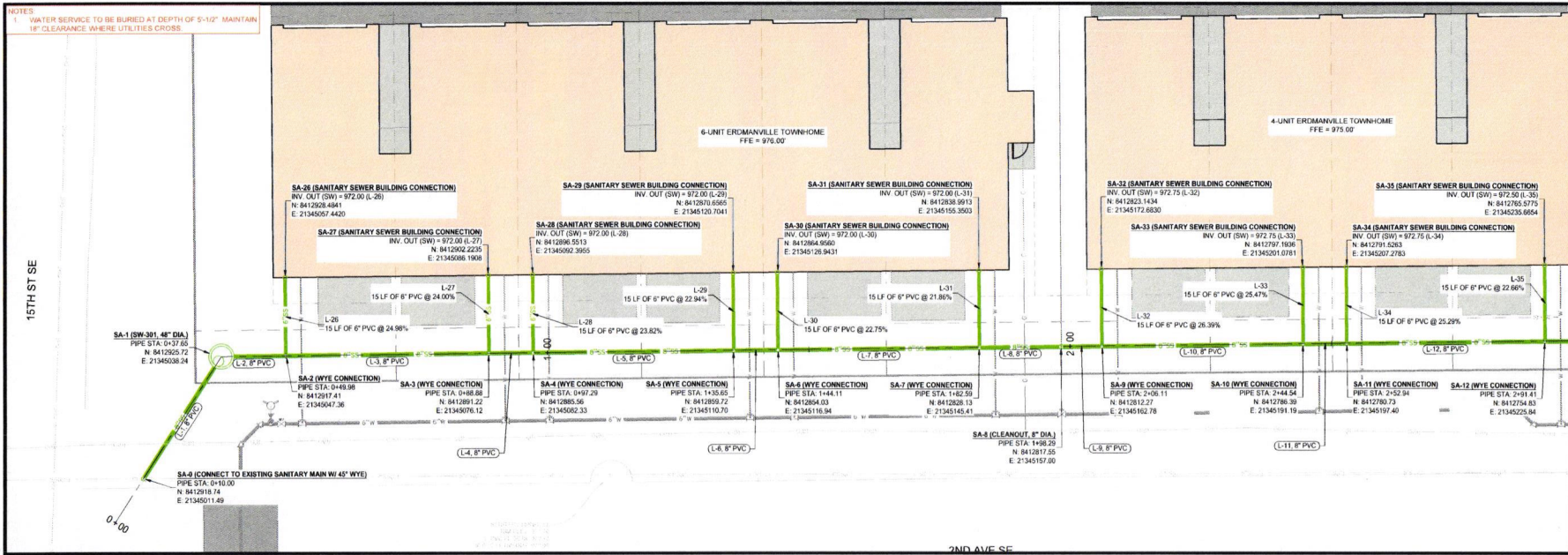
REVISIONS

PROJECT INFO
 2024060635

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2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
UTILITY PLAN

DRAWING NO.
C302



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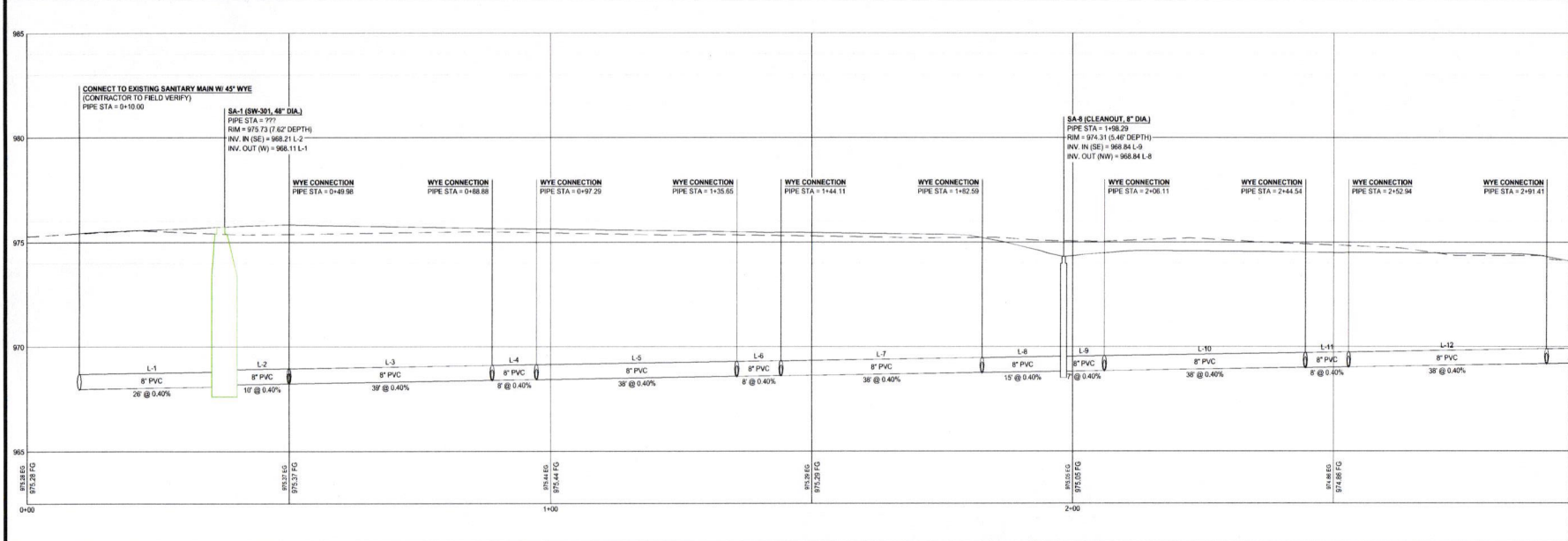
IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

PROJECT INFO
 2024006635

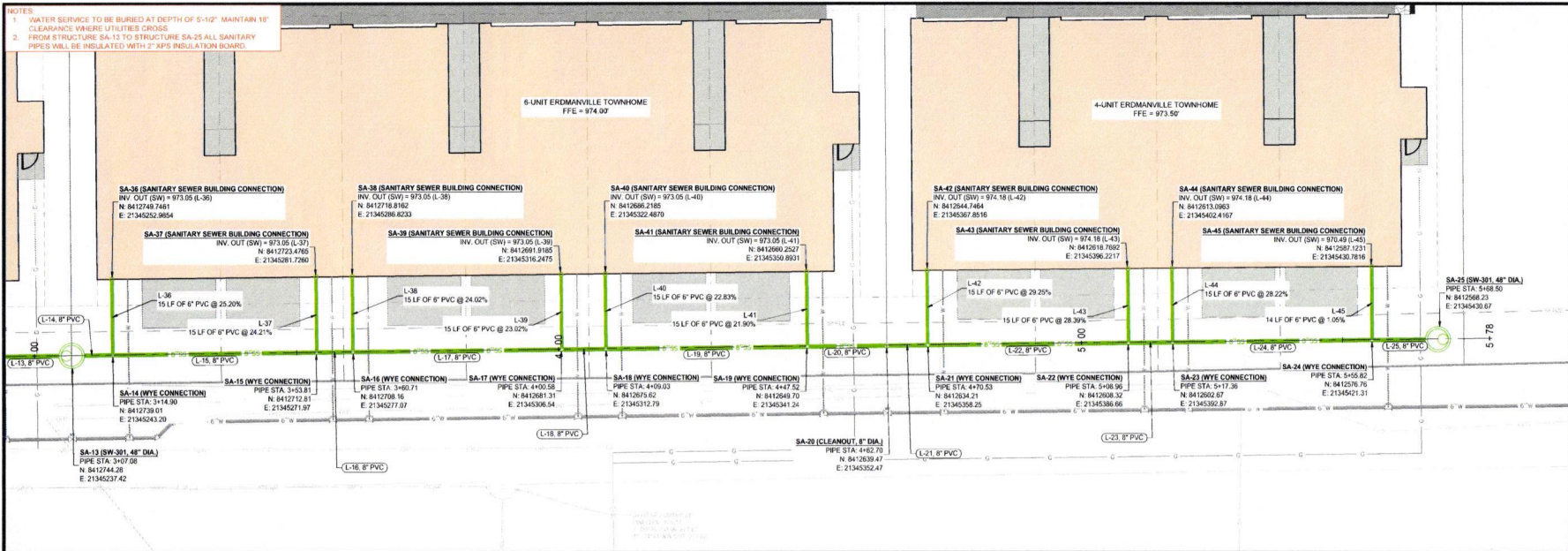
ENGINEER: DRAWN BY: CHECKED BY:
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2ND AVENUE MULTIFAMILY
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 DYERSVILLE, IA 52040

SANITARY SEWER PLAN & PROFILE

DRAWING NO.
C303

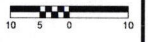


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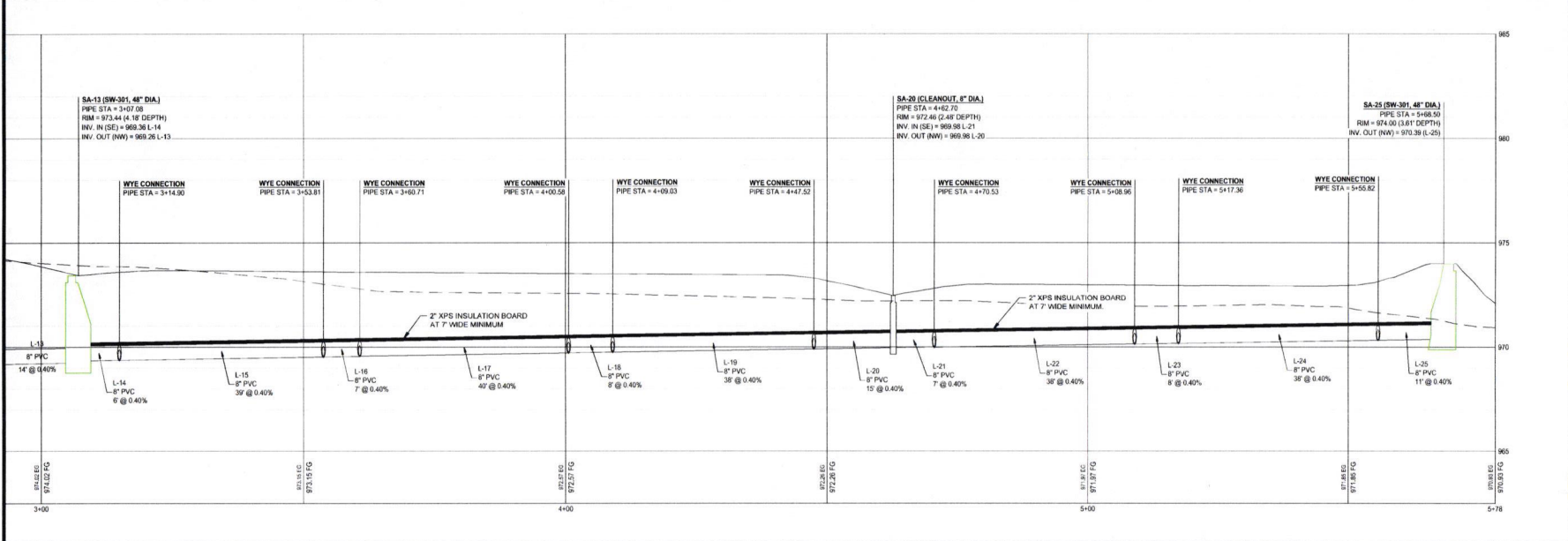
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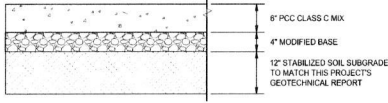
PROJECT INFO
 202406635
 ENGINEER DRAWN BY CHECKED BY
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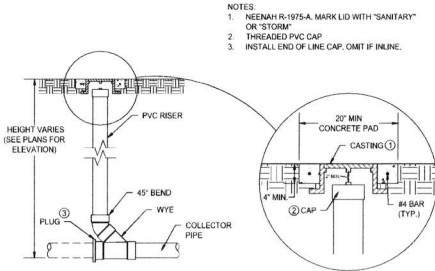
SANITARY SEWER PLAN & PROFILE

DRAWING NO.
C304



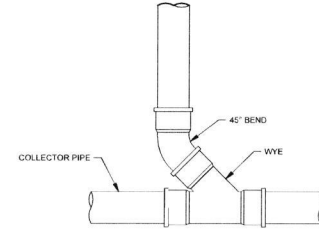
NOTE: PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION.

LIGHT-DUTY PAVING CROSS SECTION
NOT TO SCALE

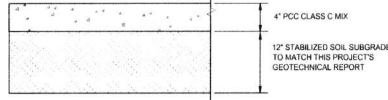


NOTES:
1. MEEHAN R-1975-A MARK LID WITH "SANITARY" OR "STORM"
2. THREADED PVC CAP
3. INSTALL END OF LINE CAP, OMIT IF IN LINE.

SANITARY/STORM SEWER CLEANOUT
1/2" = 1'-0"

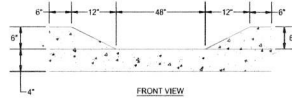
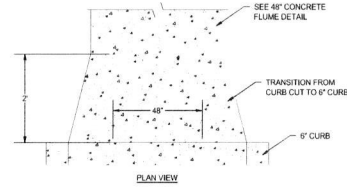


WYE CONNECTION
NOT TO SCALE

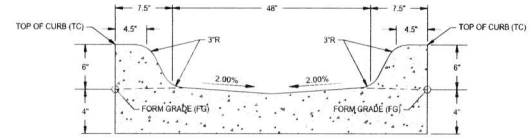


NOTE: PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION.

SIDEWALK CROSS SECTION
NOT TO SCALE

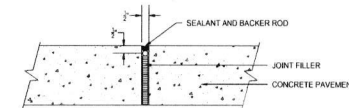


48\"/>

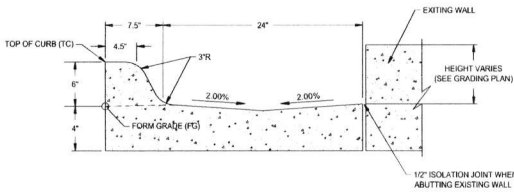


48\"/>

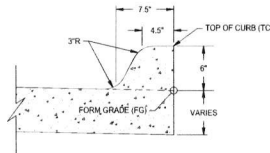
NOTE: JOINT IS FULL DEPTH OF PAVEMENT



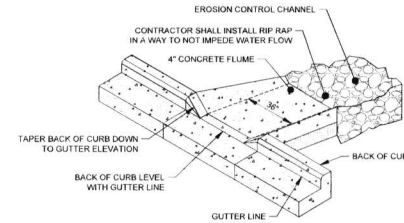
ISOLATION JOINT
3\"/>



24\"/>



6\"/>



36\"/>

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS

PROJECT INFO
 202406053

ENGINEER DRAWN BY CHECKED BY
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2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
DETAILS

DRAWING NO.
C501

STONEGATE 4-PLEX

DYERSVILLE, IA

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• TOC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



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Phone: 562-285-2868
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CONSTRUCTION NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA BUILDING CODE AND ALL LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ANY CORRECTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS AND PATHS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS.

PRICING REVIEW
NOT FOR
CONSTRUCTION



- TYPICAL ELEVATION NOTES:**
1. THESE ELEVATIONS ARE DIAGNOSTIC ONLY. ALL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD. PLANS SHALL HAVE PRECEDENCE OVER ELEVATIONS. CHANGES TO SCALE.
 2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FINISHES OF EXTERIOR APPLICATIONS.
 3. TIP OVERBANKS UNLESS NOTED OTHERWISE.
 4. GARAGE DOORS TO BE: 32' PRE-CASTED CONCRETE.
 5. APPROXIMATE FINISHES OF PAINT SHALL BE: INTERIOR: 1/2" FINISH TOP OF FOUNDATION OR INTERIOR FINISH OF EXTERIOR COVERING OF METAL ROOF. THE FINISH OF THE ROOF SHALL BE: 1/2" FINISH.
 6. ROOFING MATERIAL AND TYPE TO BE: ASPH/FLT SHINGLES OVER 1/2" GYPSUM BOARD. APPROXIMATE FINISH: 1/2" ROOF FINISHING: 1/2" FINISH. COLOR TO BE: WHITE.
 7. FINISHES TO BE: INTERIOR: 1/2" FINISH TOP OF FOUNDATION OR INTERIOR FINISH OF EXTERIOR COVERING OF METAL ROOF. THE FINISH OF THE ROOF SHALL BE: 1/2" FINISH.
 8. GARAGE DOORS TO BE: 32' PRE-CASTED CONCRETE.
 9. APPROXIMATE FINISHES OF PAINT SHALL BE: INTERIOR: 1/2" FINISH TOP OF FOUNDATION OR INTERIOR FINISH OF EXTERIOR COVERING OF METAL ROOF. THE FINISH OF THE ROOF SHALL BE: 1/2" FINISH.
 10. SURFACE FINISHES: RECESSED LIGHT OR HORIZONTAL LIGHT OVERLAP REQUIRED AT ALL CORNER JUNCTIONS.

2 REAR ELEVATION
SCALE: 1/8" = 1'-0" (VERTICAL)
SCALE: 1/8" = 1'-0" (HORIZONTAL)



PROVIDE ATTIC VENTILATION AS NOTED FOR 1:300 (1:50 ROOF & 1:50 SLOTT).

GARAGE DOOR BLOCKS HELD UP FROM CONCRETE BY METAL TIEBARS. TIEBARS SHALL BE 1/2" DIA. STEEL.

QUICK REFERENCE KEY	
FOUNDATION HEIGHT	0'-0"
FOUNDATION DEPTH	4'-0"
MAIN LEVEL WALL HEIGHT	8'-0"
UPPER LEVEL WALL HEIGHT	8'-0"
MAIN LEVEL FLOOR FINISH	0'-0" (ON GARAGE)
UPPER LEVEL FLOOR FINISH	8'-0" (ON GARAGE)
FOUNDATION FOOTING	1'-0" (ON GARAGE)
MAIN LEVEL FOOTING	8'-0" (ON GARAGE)
UPPER LEVEL FOOTING	16'-0" (ON GARAGE)
GARAGE FOOTING	8'-0" (ON GARAGE)
GARAGE FLOOR FINISH	0'-0" (ON GARAGE)

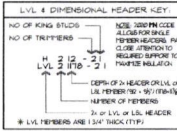
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0" (VERTICAL)
SCALE: 1/8" = 1'-0" (HORIZONTAL)

STONEGATE 4-PLEX
1520 2ND AVE SE
DYERSVILLE
JEFF KETELS

PROJECT #: 2590
DRAWN BY: MAP
CHECKED BY: AJT
PREPARED: OCTOBER 2023
PRINTING DATE: NOVEMBER 14, 2023
PRINTED: Nov 14, 2023
FRONT & REAR
EXTERIOR ELEVATIONS

A1.1

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 • PRINTERS TO ACTUAL SIZE AND/OR 1/2" SCALE IS REQUIRED
 • PRINTING "FIT TO PAGE" WILL CAUSE PRINTS TO BE CUT OFF SCALE
 • TOC PRINTS RESPONSIBLE FOR PRINTS NOT TO SCALE

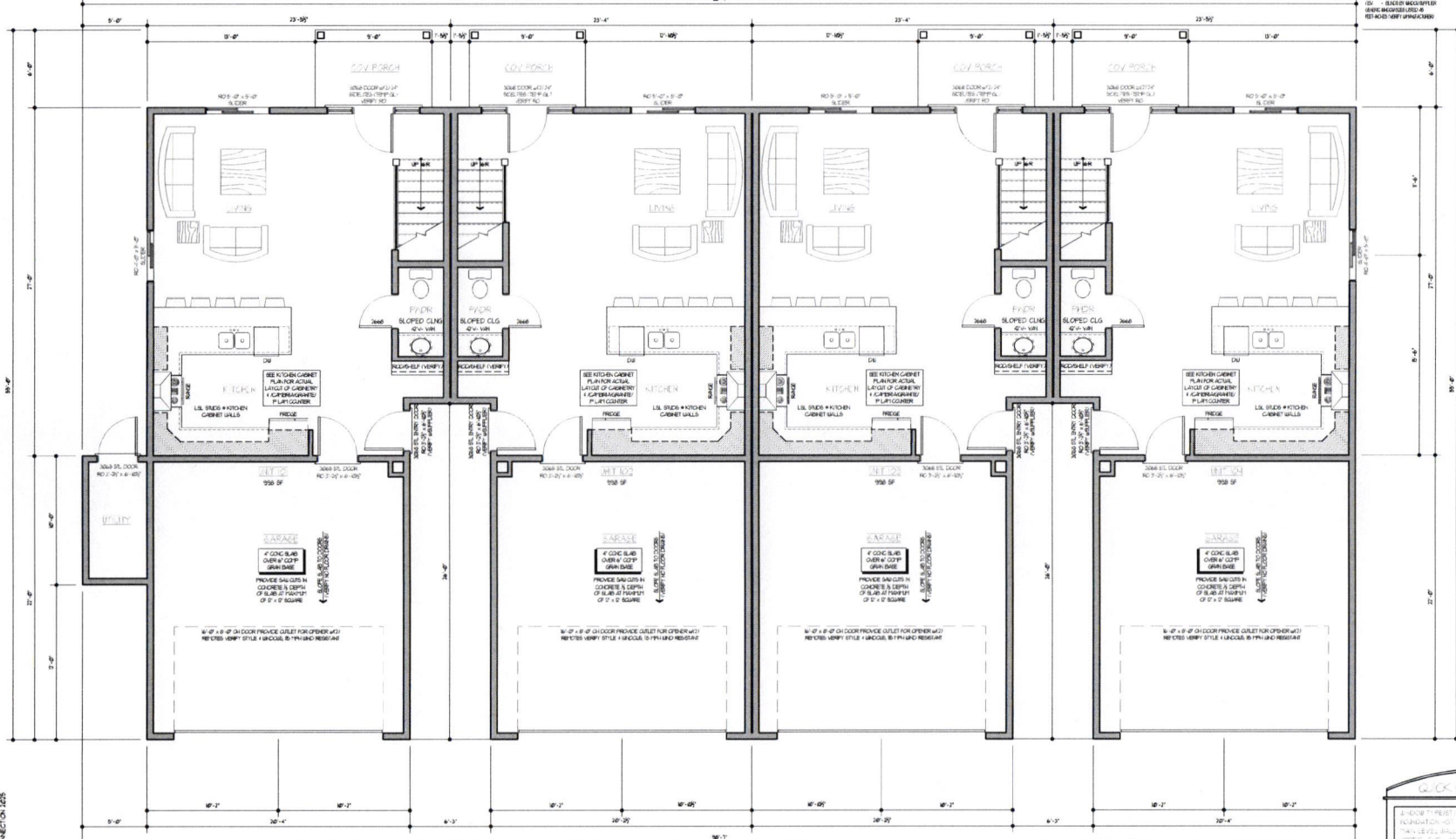


MAIN LEVEL PLAN NOTES:

1. PROVIDE SLOPED CEILING AT EACH END OF GREENHOUSE
2. PROVIDE ALUMINUM TRIMMER + ALL CARPENTRY AS REQUIRED
3. INCORPORATE TO VERIFY BEFORE CALL NUMBER + ROOM OPENINGS AND SET FIRST CODE REQUIREMENTS SAME METHOD AND POSITION UNLESS OTHERWISE NOTED
4. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
5. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
6. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
7. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
8. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
9. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
10. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
11. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
12. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
13. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
14. PROVIDE PERMIT TO VALUE OF 1/4" AC. INCL. OF 30" BRACKLE UNLESS OTHERWISE NOTED
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NOTE: GC TO VERIFY ALL ROOF SPEC'S + MORE LOADS FROM ROOF SUPPLY BEFORE CONTRACTOR GC TO VERIFY TOC DESIGNER + COOPERATION + MODIFICATION + NEED FOR ROOF SPEC'S

- WALLS:**
 01 - CONCRETE
 02 - BRICK
 03 - CMU
 04 - GYPSUM BOARD
 05 - GYPSUM BOARD
 06 - GYPSUM BOARD
 07 - GYPSUM BOARD
 08 - GYPSUM BOARD
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 60 - GYPSUM BOARD



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MAIN LEVEL PLAN
 SCALE: 1/8" = 1'-0"

NOTES:
 1. THIS PLAN IS PREPARED FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE FORWARD RELATIONSHIPS AND DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING ALL DIMENSIONS AND PROVIDING TO SUPPLY AND INSTALL

QUICK REFERENCE KEY	
FOUNDATION	CONCRETE
1ST FLOOR	WOOD STUDS
2ND FLOOR	WOOD STUDS
3RD FLOOR	WOOD STUDS
4TH FLOOR	WOOD STUDS
5TH FLOOR	WOOD STUDS
6TH FLOOR	WOOD STUDS
7TH FLOOR	WOOD STUDS
8TH FLOOR	WOOD STUDS
9TH FLOOR	WOOD STUDS
10TH FLOOR	WOOD STUDS
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48TH FLOOR	WOOD STUDS
49TH FLOOR	WOOD STUDS
50TH FLOOR	WOOD STUDS

Design Connection
 Residential Construction
 Design + Planning
 Permitting + Construction
 Management + Maintenance
 North + South Dakota
 652 Glenview Dr. SW
 Rochester MN 55902
 Phone: 507.280.1888
 www.designconnection.net

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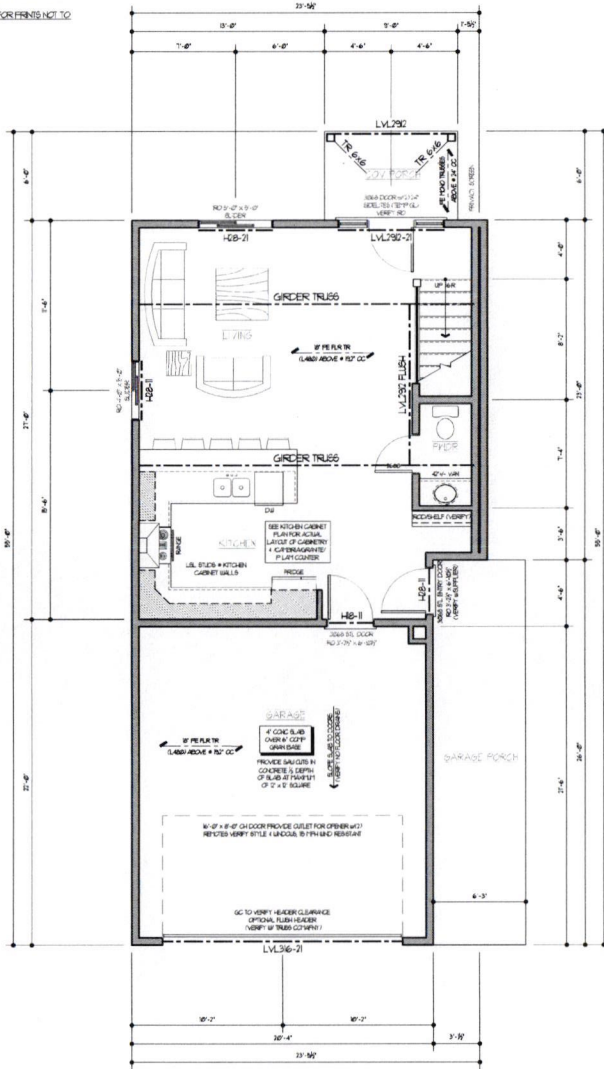
PRICING REVIEW
 NOT FOR
 CONSTRUCTION

STONEGATE 4-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

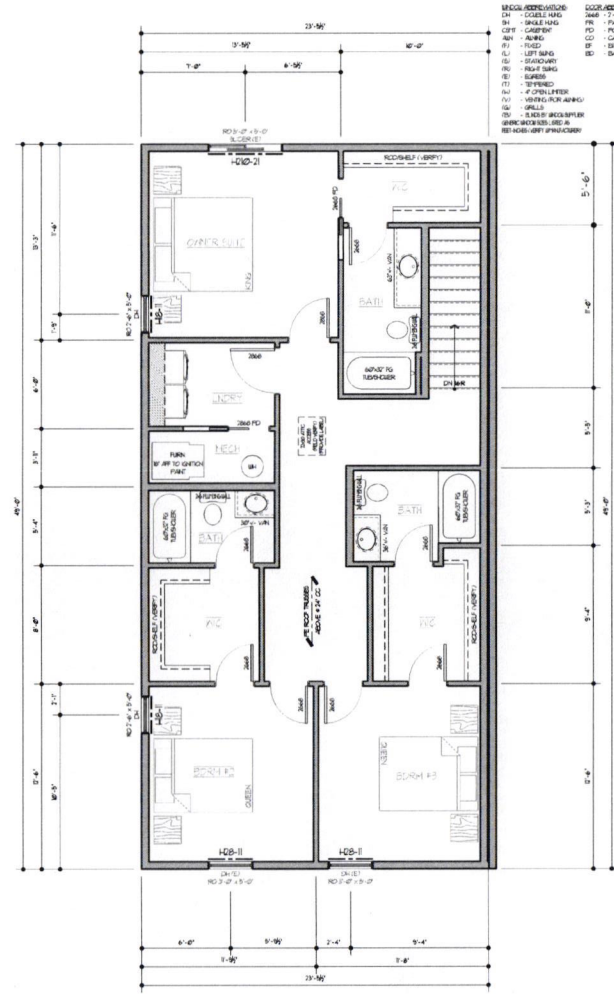
PROJECT # 23390
 DRAWN BY: MAM
 CHECKED BY: MAM
 PERM DATE: OCTOBER 11, 2023
 PRINTING SET DATE: NOVEMBER 14, 2023
 DATE: NOV 14, 2023
 PRINTED: NOV 19, 2023

MAIN LEVEL FLOOR PLAN
A3.1

PRINTING INSTRUCTIONS:
• TOC PRINTS ARE PREPARED TO BE PLOTTED ON TO 24" X 36" SHEETS
• PRINTERS TO ACTUAL SIZE AND/OR 1/8" SCALE IS REQUIRED
• PRINTING "FIT TO PAGE" WILL CAUSE PRINTS TO BE OUT OF SCALE
• TOC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



FIRST FLOOR UNIT PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR UNIT PLAN
SCALE: 1/8" = 1'-0"

- LEGEND: COBBLE LINO, SMALL HING, CABINETS, ANGLE, FLOOR, LIFT SASH, STAIRWELL, REAR STAIR, BATH, TUB, OPEN LEXUS, WINDOW FOR BALCONY, WALLS, REAR DOOR, WINDOW, REAR DOOR

DO NOT SCALE THESE PLANS. DIMENSIONS FOR CONSTRUCTION SHALL BE BASED ON THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND PROVIDING ALL DIMENSIONS TO SUPPLIER AND BIDDERS.

Quick Reference Table with columns for Item, Description, and Quantity. Includes items like Window Treatments, Siding, Insulation, etc.



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PRICING REFERENCE NOT FOR CONSTRUCTION

STONEGATE 4-PLEX
1520 2ND AVE SE
DYERSVILLE
JEFF KETSELS

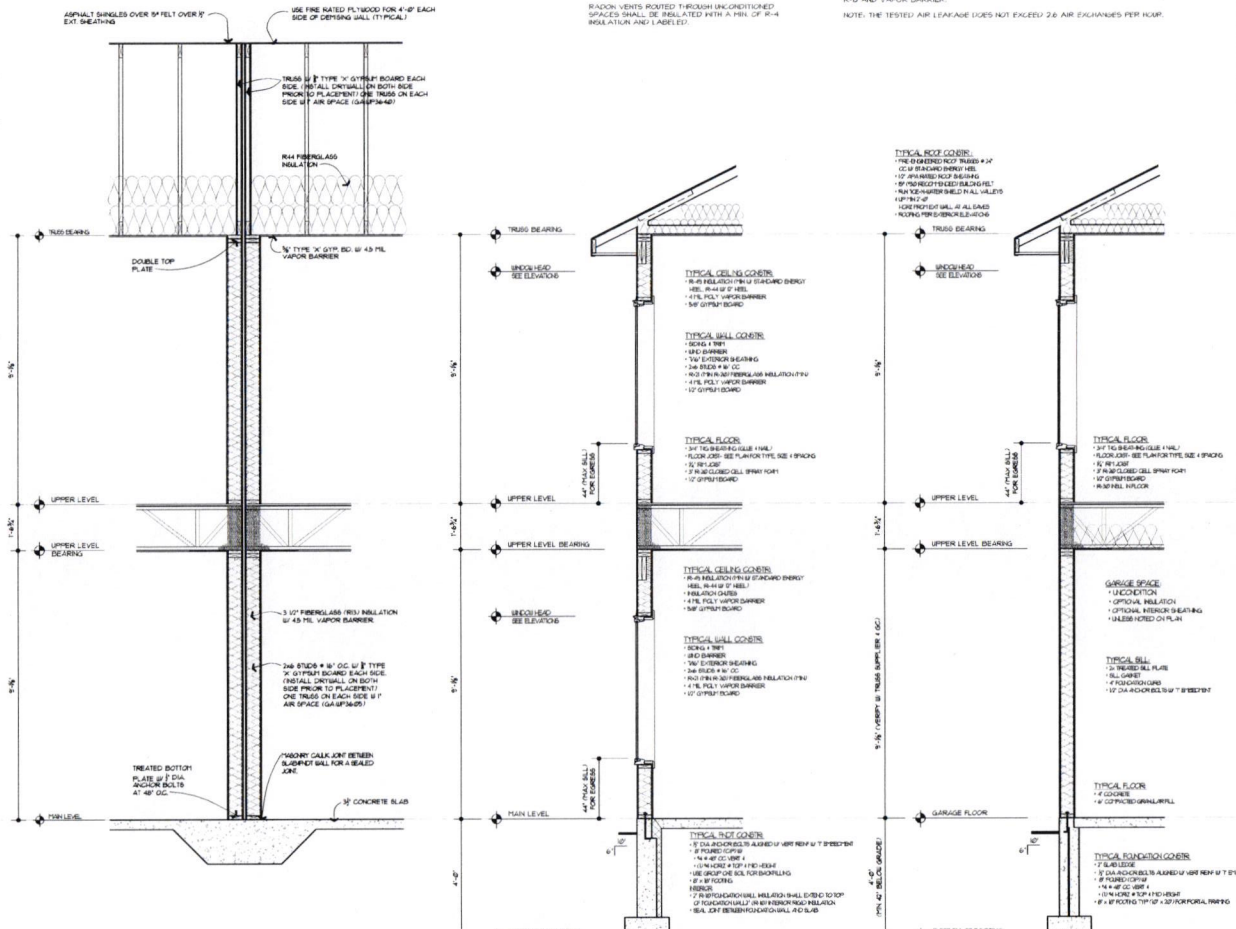
PROJECT: 2530
DRAWN BY: MKP
CHECKED BY: LPT
PREPARED: OCTOBER 8, 2012
PRINTING DATE: NOVEMBER 14, 2012
FINAL APPROVAL: [Signature]
REVISION: [None]
PRINTED: Nov 15, 2012

UNIT PLANS
A3.3

GENERAL PROJECT NOTES

1. **DESIGN CODES USED FOR DESIGN:**
 - a. INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION.
 - b. INTERNATIONAL BUILDING CODE, 2018 EDITION.
 - c. INTERNATIONAL MECHANICAL ELECTRICAL PLUMBING CODE, 2018 EDITION.
2. **FOUNDATION:**
 - a. ALL FOUNDATION BRACING SYSTEMS SHALL BE DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2000 PSF AND A LATERAL PRESSURE OF 30 PSF. IT SHALL BE THE RESPONSIBILITY OF THE DESIGNER TO VERIFY THE SOIL BEARING CAPACITY AND LATERAL PRESSURE. THE DESIGNER SHALL PROVIDE ALL NECESSARY FOUNDATION BRACING AND BRACING CONNECTIONS TO THE FOUNDATION.
 - b. ALL FOUNDATION BRACING SYSTEMS SHALL BE DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2000 PSF AND A LATERAL PRESSURE OF 30 PSF. IT SHALL BE THE RESPONSIBILITY OF THE DESIGNER TO VERIFY THE SOIL BEARING CAPACITY AND LATERAL PRESSURE. THE DESIGNER SHALL PROVIDE ALL NECESSARY FOUNDATION BRACING AND BRACING CONNECTIONS TO THE FOUNDATION.
3. **DESIGN LOADS:**
 - a. FLOOR LIVE LOADS:
 - 1. RESIDENTIAL: 40 PSF
 - 2. OFFICE: 50 PSF
 - 3. RETAIL: 60 PSF
 - 4. MECHANICAL ROOMS: 100 PSF
 - 5. ROOFS: 20 PSF
 - 6. FLOORS: 40 PSF
 - 7. CEILING: 10 PSF
 - 8. EXPOSURE B
4. **DESIGN STRESSES:**
 - a. CONCRETE:
 - 1. COMPRESSIVE: 4000 PSI
 - 2. TENSILE: 4000 PSI
 - 3. SHEAR: 2000 PSI
 - 4. FLEXURE: 2000 PSI
 - 5. TORSION: 2000 PSI
 - 6. FLOORING: 2000 PSI
 - b. MASONRY:
 - 1. COMPRESSIVE: 3500 PSI
 - 2. TENSILE: 3500 PSI
 - 3. SHEAR: 1750 PSI
 - 4. FLEXURE: 1750 PSI
 - 5. TORSION: 1750 PSI
 - 6. FLOORING: 1750 PSI
 - c. STEEL:
 - 1. TENSILE: 50 KSI
 - 2. COMPRESSIVE: 50 KSI
 - 3. SHEAR: 30 KSI
 - 4. FLEXURE: 30 KSI
 - 5. TORSION: 30 KSI
 - 6. FLOORING: 30 KSI
5. **CONCRETE COVERAGE FOR REINFORCEMENT:**
 - a. FOUNDATION WALLS: 3"
 - b. FLOORS: 1 1/2" TO 2"
 - c. EXTERIOR CONCRETE: 2"
 - d. INTERIOR CONCRETE: 1 1/2" TO 2"
6. **MASONRY COVERAGE FOR REINFORCEMENT:**
 - a. WALLS: 3/4" MIN (CENTER REBAR IN WALL UNO) FLASERS
 - b. 1 1/2" MIN (CENTER REBAR IN WALL UNO) FLASERS
7. **CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 308.**
 - a. ALL REINFORCEMENT SHALL BE PLACED WITHIN THE FORMS PRIOR TO POURING. THE REINFORCEMENT SHALL BE PLACED WITHIN THE FORMS PRIOR TO POURING. THE REINFORCEMENT SHALL BE PLACED WITHIN THE FORMS PRIOR TO POURING. THE REINFORCEMENT SHALL BE PLACED WITHIN THE FORMS PRIOR TO POURING.
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design connection

10000 1st Avenue North & South Dakota

657 Greenway Dr. SW

Rochester MN 55902

Phone: 507.281.8888

www.designconnection.net

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PRICING REVIEW
NOT FOR
CONSTRUCTION

STONEGATE 4-PLEX

1520 2ND AVE SE
DYERSVILLE
JEFF KETELS

PROJECT # 25390
DRAWN BY: MMJ
CHECKED BY: AJM
DATE: 10/20/2023
PRINT DATE: 10/20/2023
SCALE: 1/4" = 1'-0"

WALL SECTIONS & SPECIFICATIONS

A4.0

6 PLEX

City of Dyersville

Task #62906

BUILDING PERMIT APPLICATION

PERMIT NUMBER
26-2451

COMPLETED BY APPLICANT	JOB ADDRESS (BUILDING 3) 1560 2ND AVE SE DYERSVILLE, IA		COUNTY DYERSVILLE	
	LEGAL PARCEL 07-32-179-021	LOT NO. 1	BLK. 182	SUBDIVISION PETTINGER <input type="checkbox"/> SEE ATTACHED SHEET
	OWNER OF RECORD BAM DEVELOPMENT		TELEPHONE	
	CONTRACTOR PERMIT #	PLUMBING PERMIT #	ELECTRICAL/MECHANICAL PERMIT #	
	NAME STONE GATE BUILDERS GROUP			
	ARCHITECT OR DESIGNER	ADDRESS	TELEPHONE	FLOODPLAIN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
	USE OF BUILDING <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> ACCESSORY			
	CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> REMOVE			
	DESCRIBE WORK NEW MULTIFAMILY		Type of Const. WOOD FRAME	Basement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
	SET BACKS TO FOUNDATION WALL		Size of Bldg. Total Sq. Ft. 2024 x 6 = 12,144	Automatic Extinguishing System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
FRONT	CORNER	No. of Dwelling Units 6	Off Street Parking Req. _____ Prov. _____	
REAR	ALLEY	No. of Stories 2	Zoning District R-3	
SIDE	OPEN SPACE			
LOT DIMENSIONS		SPECIAL APPROVALS		
SPECIAL CONDITIONS See Attachment		REQUIRED RECEIVED		
VALUE OF WORK \$ 1,517,562		ZONING AMENDMENT		
		SITE PLAN		
		PLAN REVIEW		
		EXCAVATION PERMIT		
		ARCHITECT/ENGINEER		
		HEALTH DEPT.		
		FIRE DEPT.		
		HANDICAPPED CERTIFICATE		
		BOARD OF ADJUST.		
		FLOOD PLAIN CERT.		
		FLOOD PLAIN EXEMP.		
		SIGNS		
		SPECIAL USE PERMIT		
		WATER METER		

FEES	AMOUNT	REC'D
BUILDING PERMIT	220	
WATER METER CHARGE	2304	
WATER CONNECTION	325	
SEWER CONNECTION	50325	
EXCAVATION	50	
ZONING / B OF A		
TOTAL	\$ 3,224	

NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR *[Signature]* (DATE) **9/16/25** SIGNATURE OF OWNER *[Signature]* (DATE) **9/16/25** Rec 1/26/26

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT

CHECKED & APPROVED BY *[Signature]* (DATE) **4.2.26** APPROVED BY CITY COUNCIL (DATE)

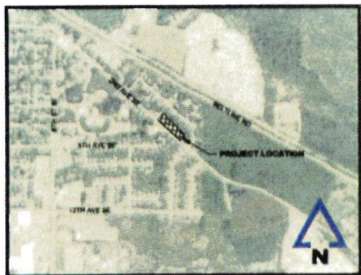
Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

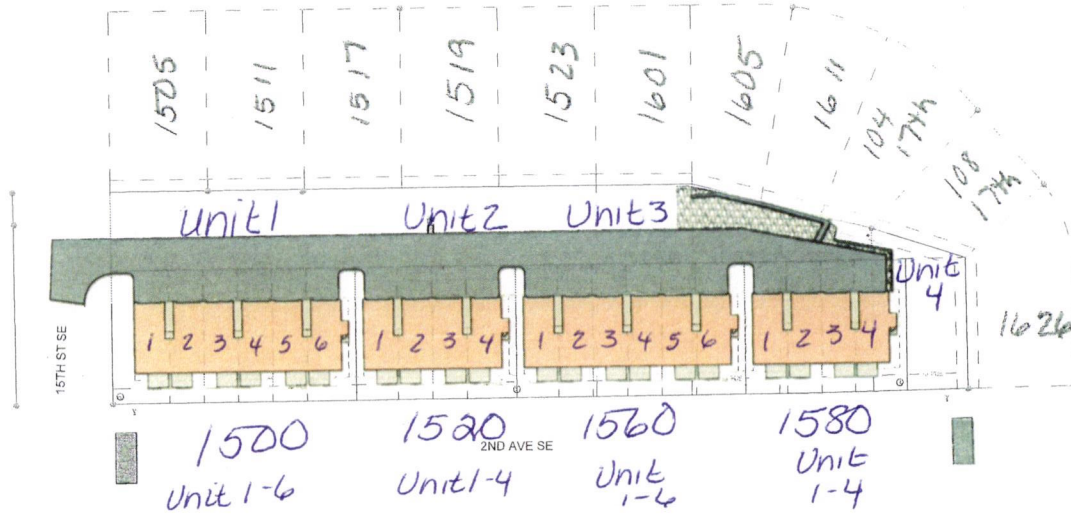
Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.

2ND AVENUE MULTI-FAMILY PRELIMINARY PLAT/SITE PLAN

1520 2ND AVE SE, DYERSVILLE, IOWA 52040



VICINITY MAP
SCALE = 1:1000



GENERAL LEGEND			
EXISTING	PROPOSED	EXISTING	PROPOSED

APPLICANT:
 BW CO.
 CONTACT: MICHAEL BOUSSELOT
 ADDRESS: 4003 SW 4TH ST
 ANKENY, IA 50023

OWNER:
 DYERSVILLE INDUSTRIES INC
 ADDRESS: 1520 2ND AVE. SE
 DYERSVILLE, IA 52040

ENGINEER:
 MCCLURE ENGINEERING COMPANY
 CONTACT: MAXWELL ELLER, P.E.
 ADDRESS: 1300 HWY 1231 STREET
 CLIVE, IA 50325

DEVELOPMENT TOTALS	
TOTAL AREA (ACRES)	1.79
UNIT SUMMARY	8
4 UNIT ERMANNVILLE TOWNHOME	12
6 UNIT ERMANNVILLE TOWNHOME	20
TOTAL UNITS	7.0
UNIT DENSITY (U/AC)	

EXISTING ZONING: C-2 - GENERAL COMMERCIAL DISTRICT				
LOT	ZONING	PROPOSED ZONING		
		FRONT	SIDE	REAR
LOTS 1-21	R-3	15'	5'	20'

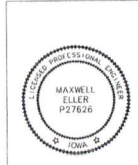


SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C002	GENERAL NOTES
C003	EXISTING CONDITIONS AND REMOVALS
C004	PRELIMINARY PLAT
C101	SITE PLAN
C201	GRADING PLAN
C202	GRADING PLAN
C203	GRADING PLAN
C204	EROSION CONTROL PLAN
C301	UTILITY PLAN
C302	UTILITY PLAN
C303	SANITARY SEWER PLAN & PROFILE
C304	SANITARY SEWER PLAN & PROFILE
C501	DETAILS

ALL CONSTRUCTION SHALL BE COMPLETED
 IN ACCORDANCE WITH THE 2025 EDITION
 OF THE SDAS SPECIFICATIONS.



THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS IN ADVANCE OF ANY DIGGING OR EXCAVATION.
 WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND LOCATE LOCATION AND TO AVOID DAMAGE. THERE TO, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

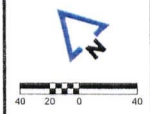
MAXWELL ELLER, P.E. NO. P27626 DATE: _____
 MY LICENSE RENEWAL DATE IS OCTOBER 31, 2025
 PAGES OR SHEETS COVERED BY THIS SEAL: _____

McCLURE
 2229 E Granville Ln Suite 2
 Coralville IA 52241
 P 319-426-9090

Ankeny, IA | Carroll, IA | Clive, IA
 Cedar Rapids, IA | Fort Dodge, IA
 North Liberty, IA | Stone City, IA
 Mason, MO | Columbia, MO
 North Kansas City, MO
 Lawrence, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS	

PROJECT INFO
 703-243-6822

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 COVER SHEET

1:20250828-1520AVENUEMULTIFAMILYCONSTRUCTIONDOCUMENTS001.DWG

DATE: 08/20/25
C001

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY(EASEMENT) AND/OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE VOIDS.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE SWIA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

GRADING NOTES:

1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
7. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

UTILITY NOTES:

1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TESTED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TESTINGS SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.

SANITARY SEWER:

1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.

STORM SEWER:

1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLOLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CHAIN GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.

WATER MAIN:

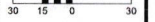
1. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 5-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' 6" BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5' 6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN - STAINLESS STEEL ROODING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER (SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE) CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHERE POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE-EMERGENCY ACCESS TO THE SITE, BUILDING, FDC'S, FIVS, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 903.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAN.



2229 E Granville Ln Suite 2
 Coralville IA 52241
 P 319-426-9000
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 Cedar Rapids IA | Fort Dodge IA
 North Liberty IA | Sioux City IA
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 North Kansas City MO
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26687



REVISIONS

PROJECT INFO
 2024006635

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
GENERAL NOTES

DRAWING NO.
C002

McCLURE
 2229 E Grandview Ln Suite 2
 Corvallis IA 52241
 P 319-826-9090
 Ankeny, IA | Carroll, IA | Clive, IA
 Cedar Rapids, IA | Fort Dodge, IA
 North Liberty, IA | Sioux City, IA
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

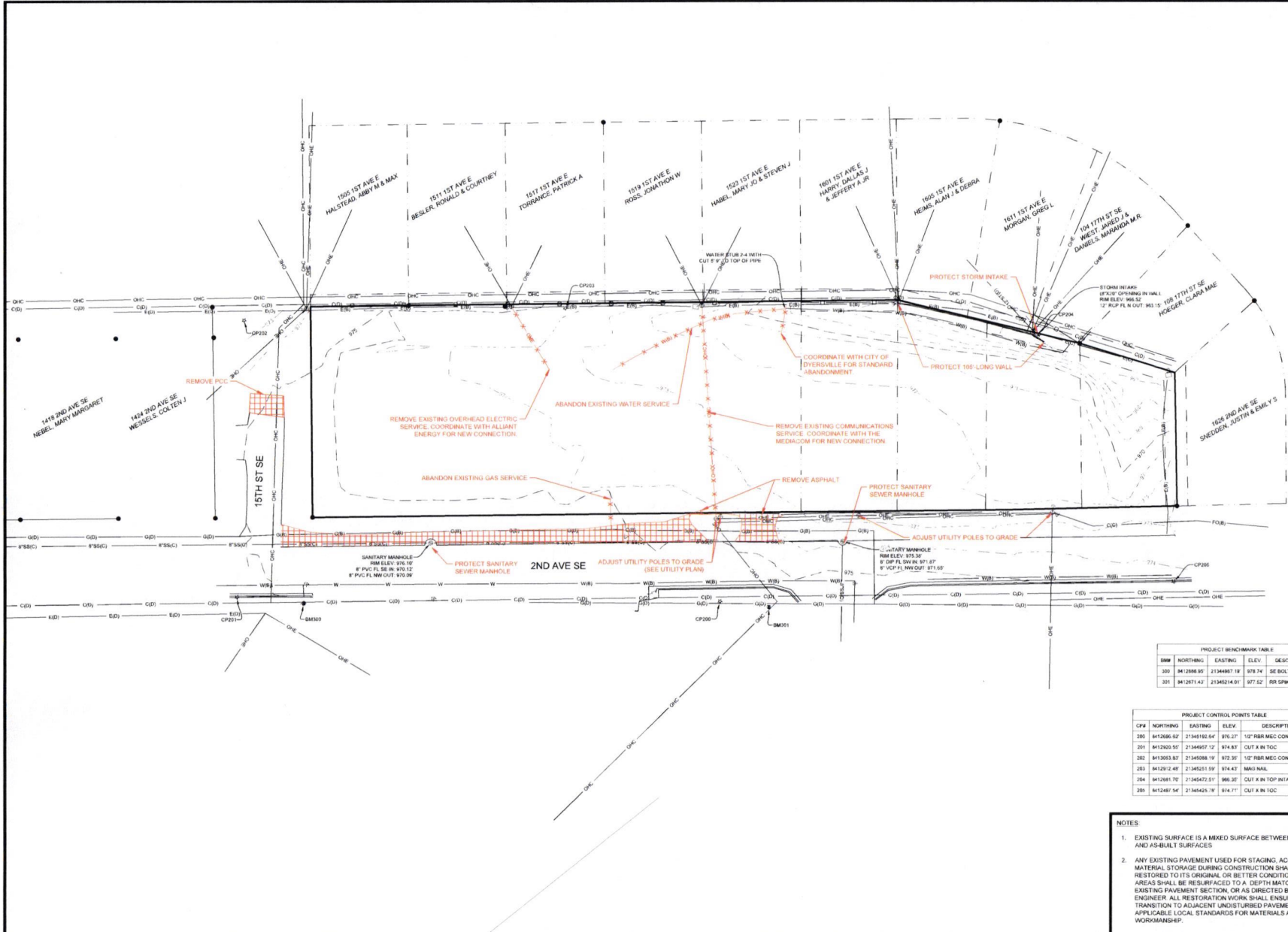


REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO
 202406630
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
EXISTING CONDITIONS AND REMOVALS



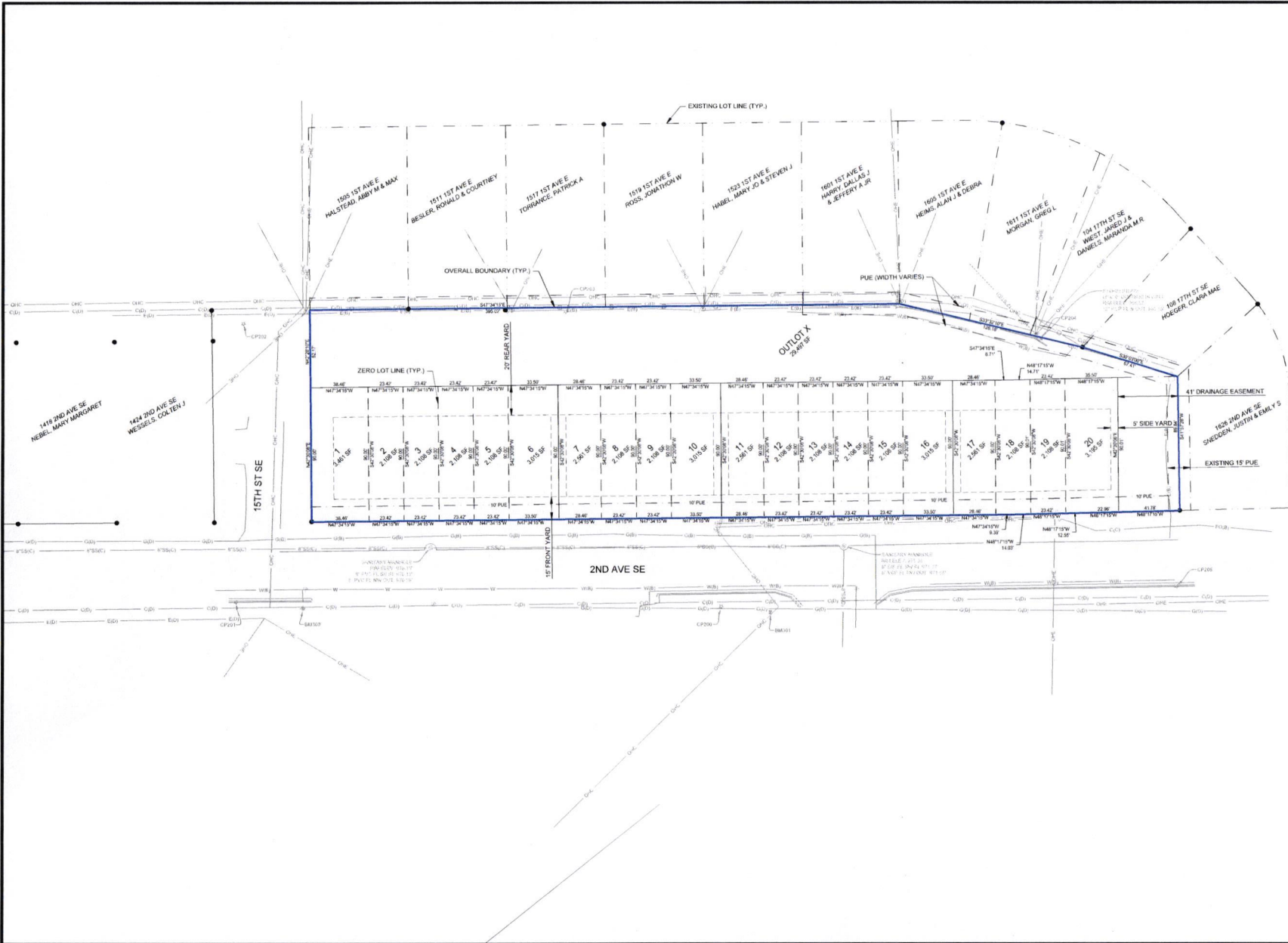
PROJECT BENCHMARK TABLE

B/M	NORTHING	EASTING	ELEV.	DESCRIPTION
100	841286.95	21344697.19	878.74	SE BOLT ON HYD
201	8412671.42	21345214.51	877.62	RR SPIKE IN PPO

PROJECT CONTROL POINTS TABLE

CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
200	8412806.82	21344932.84	876.27	1/2\"/>

- NOTES:**
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES
 - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION, OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.

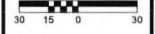


2229 E Grantview Ln Suite 2
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 P 319-628-9090

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 North Liberty IA | Sioux City IA
 Macon MO | Columbia MO
 North Kansas City MO
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



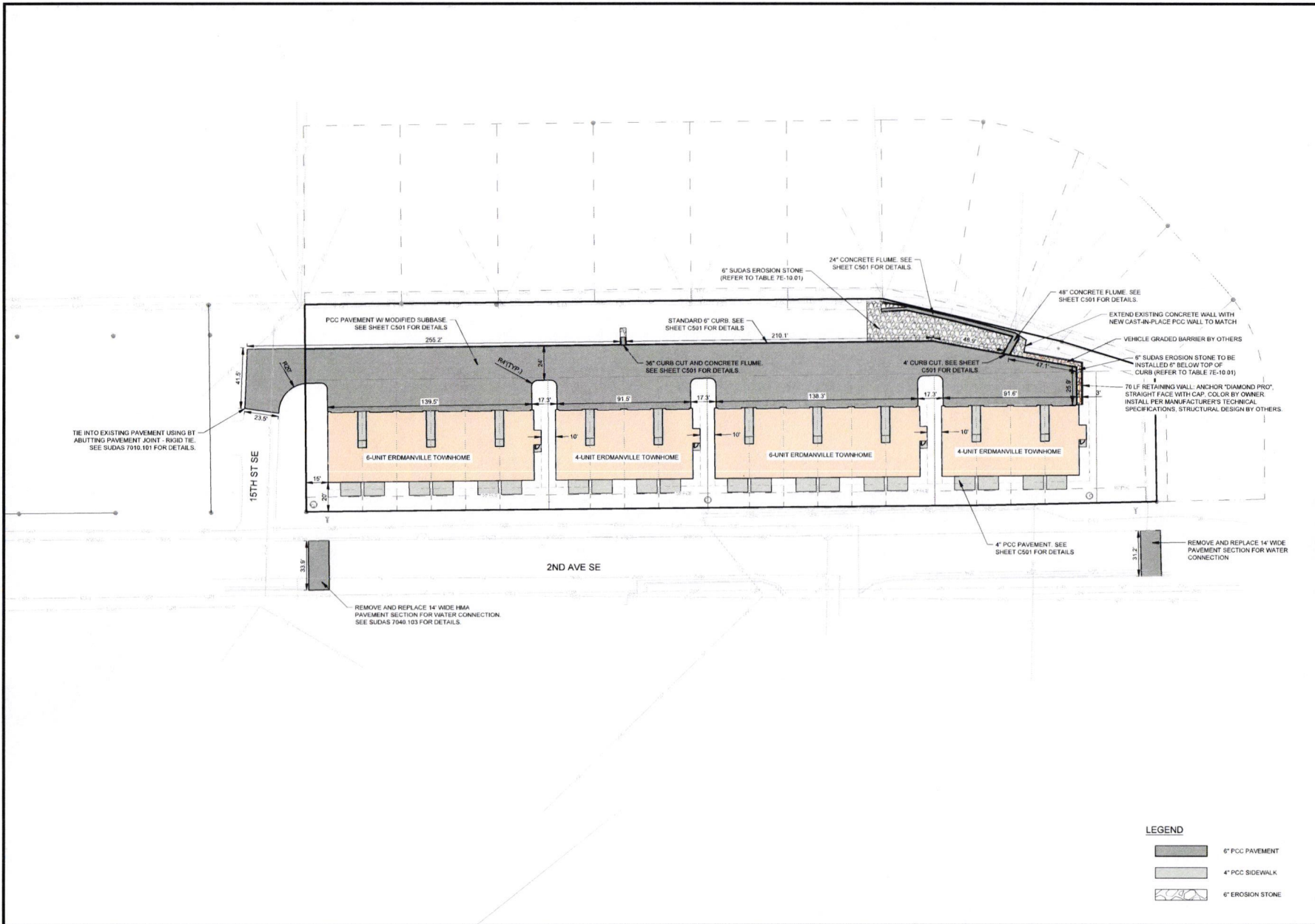
REVISIONS


PROJECT #10
 202406063

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 PRELIMINARY PLAT

DRAWING NO.
 C004






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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26867



30 15 0 30

REVISIONS

PROJECT NO.
202400636

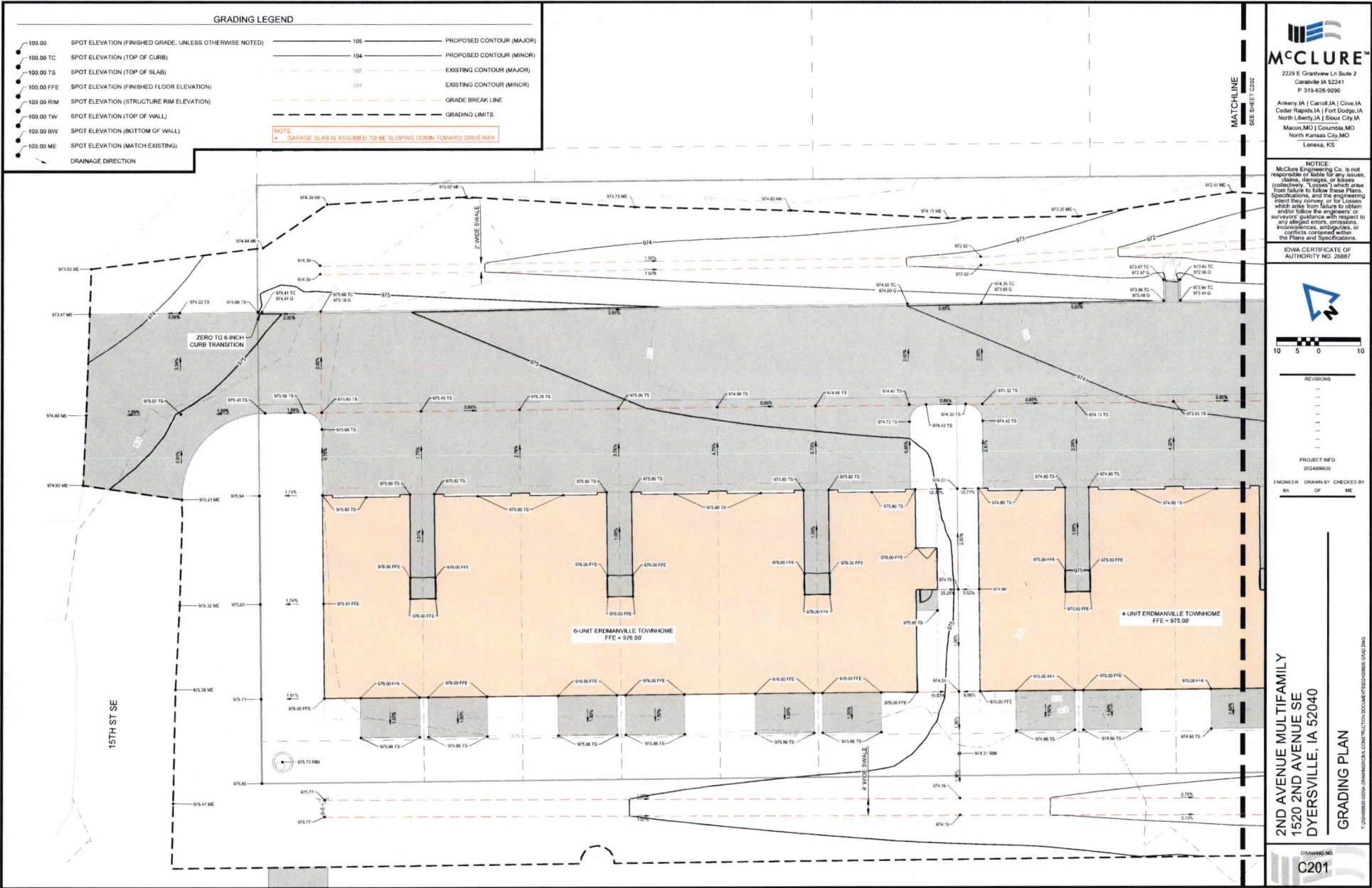
ENGINEER DRAWN BY CHECKED BY
BA OF ME

**2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040**

SITE PLAN

T:\2024\00636\0000\DWG\MEDIA\CONSTRUCTION\DOCUMENT\202400636 SITE.DWG

DRAWING NO.
C101



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 2229 E. Grantview Ln Suite 2
 Coralville IA 52241
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 North Liberty, IA | Sioux City, IA
 Macon, MO | Columbia, MO
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

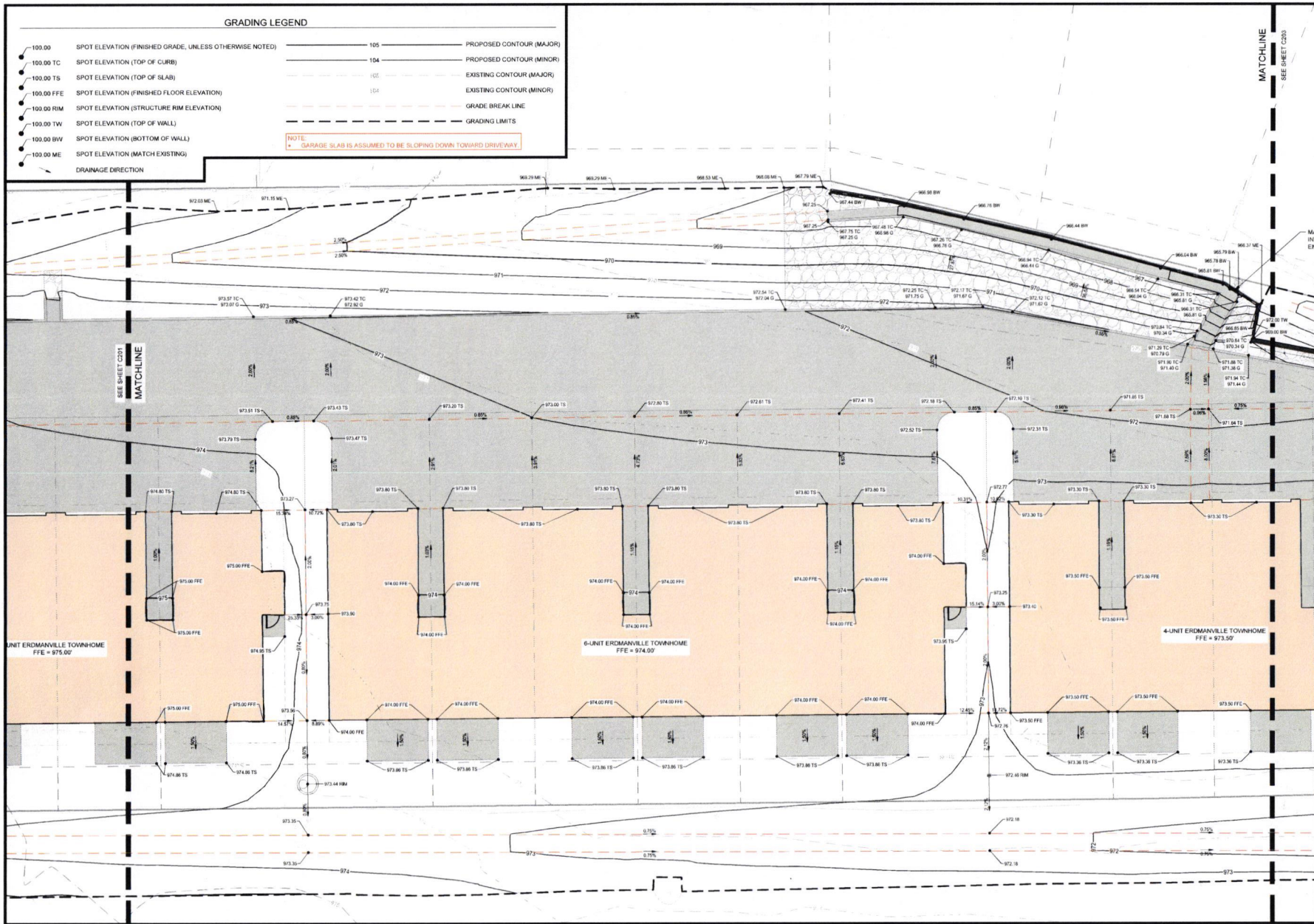


REVISIONS

PROJECT INFO
 2024060635
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
GRADING PLAN

DRAWING NO.
C201



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 Coralville IA 52241
 P 319-626-9090

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

10 5 0 10

REVISIONS

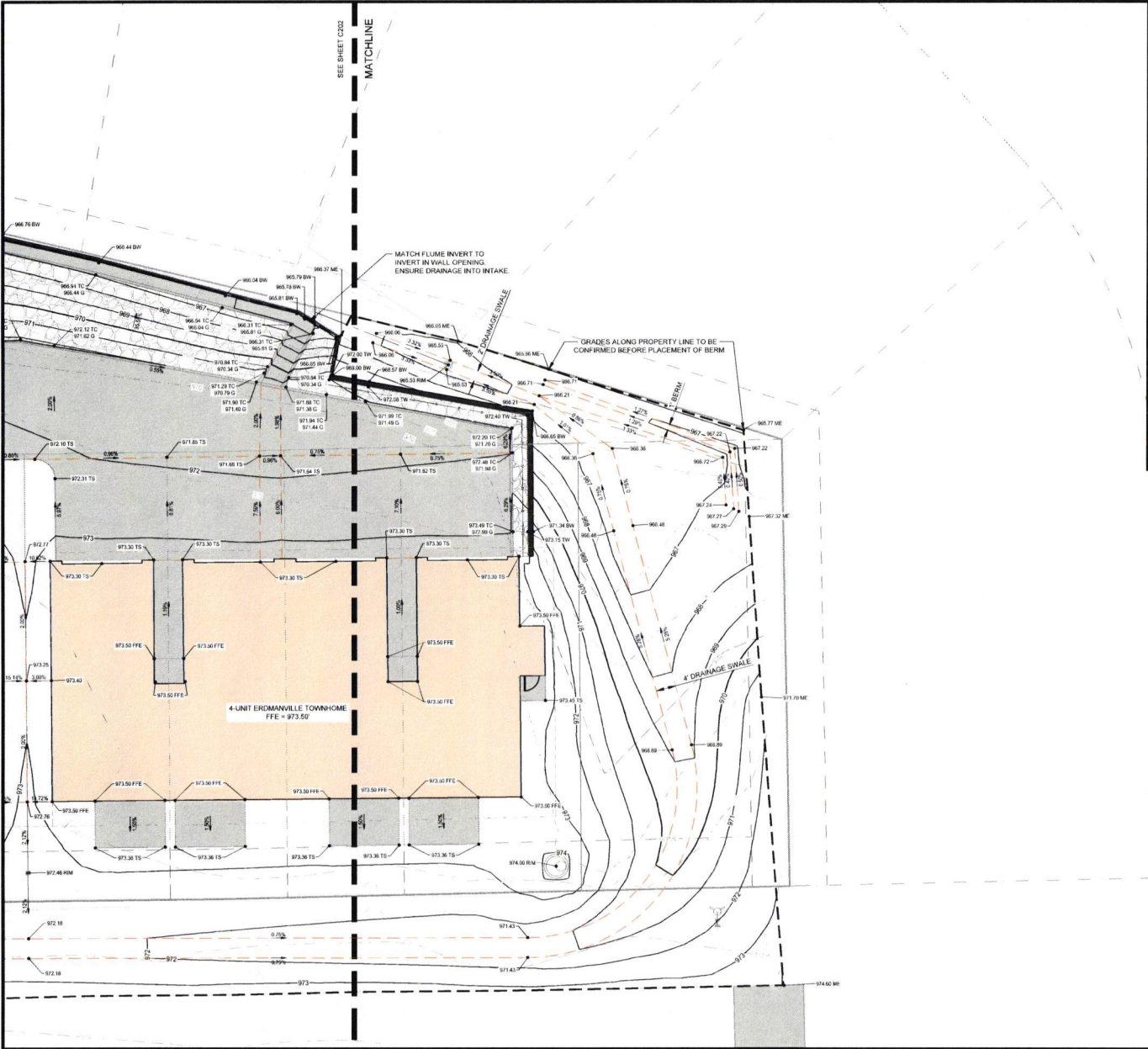
PROJECT INFO
 202406035

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

GRADING PLAN

DRAWING NO.
C202



GRADING LEGEND

- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 105 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RIM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:

- * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY
- * ADJUST UTILITY POLE TO GRADE

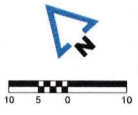
CUT AND FILL REPORT	
CUT FACTOR	VOLUME SUMMARY
FILL FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DESCRIPTION

PROJECT INFO
 2024060535

ENGINEER DRAWN BY CHECKED BY
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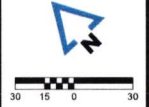
2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
GRADING PLAN

DRAWING NO.
C203

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 North Liberty IA | Sioux City IA
 Macon MO | Columbia MO
 North Kansas City MO
 Lenexa, KS

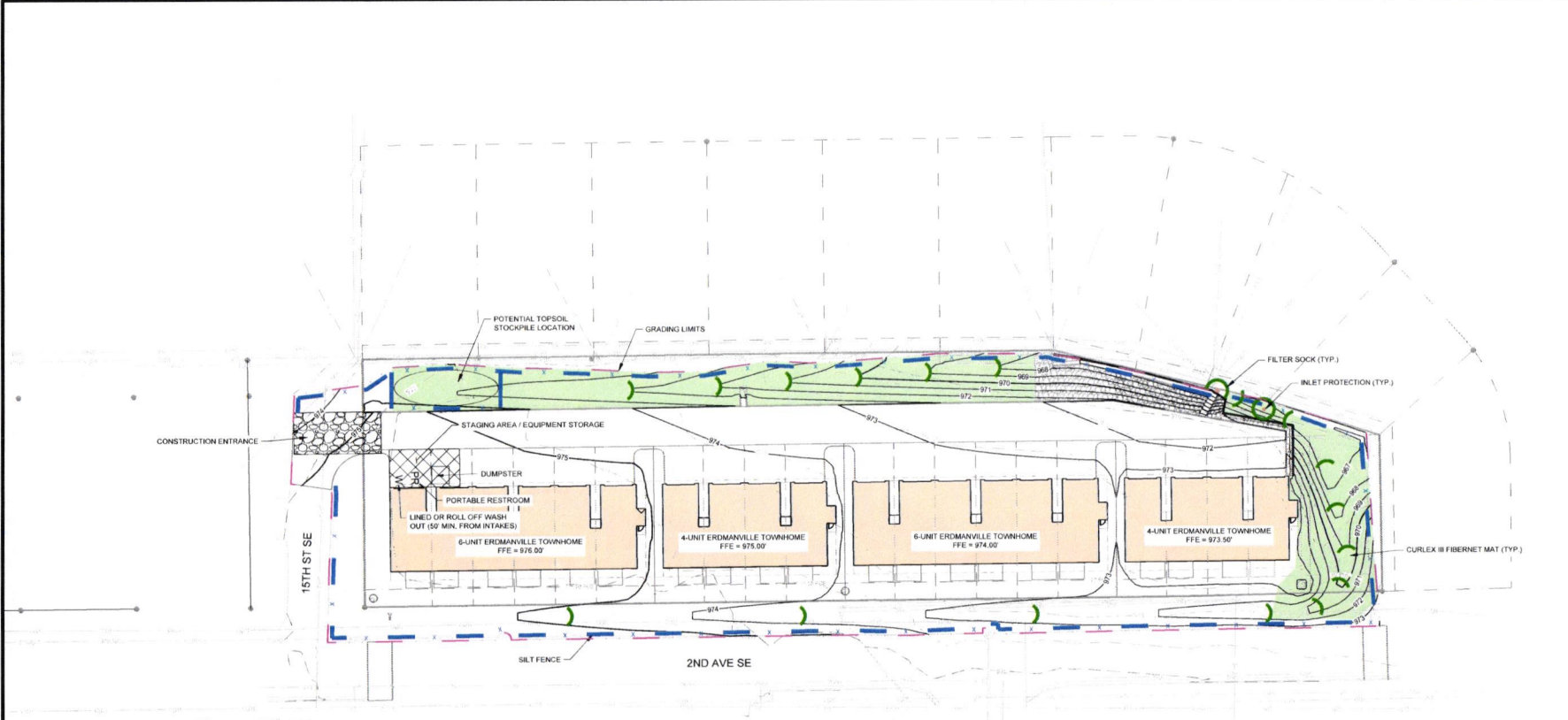
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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

PROJECT INFO
 2024060635
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME



- NOTES**
- ALL DERRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
 - MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 60% WILL BE MET WITH SUDAS SPEC 2010. FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SOODING FOR EROSION CONTROL SHALL BE USED.
 - OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

LEGEND:

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
EROSION CONTROL PLAN

DRAWING NO.
C204

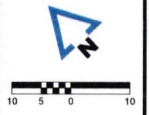
- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5'. MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS.
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" XPS INSULATION BOARD.
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304.
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT.
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT.
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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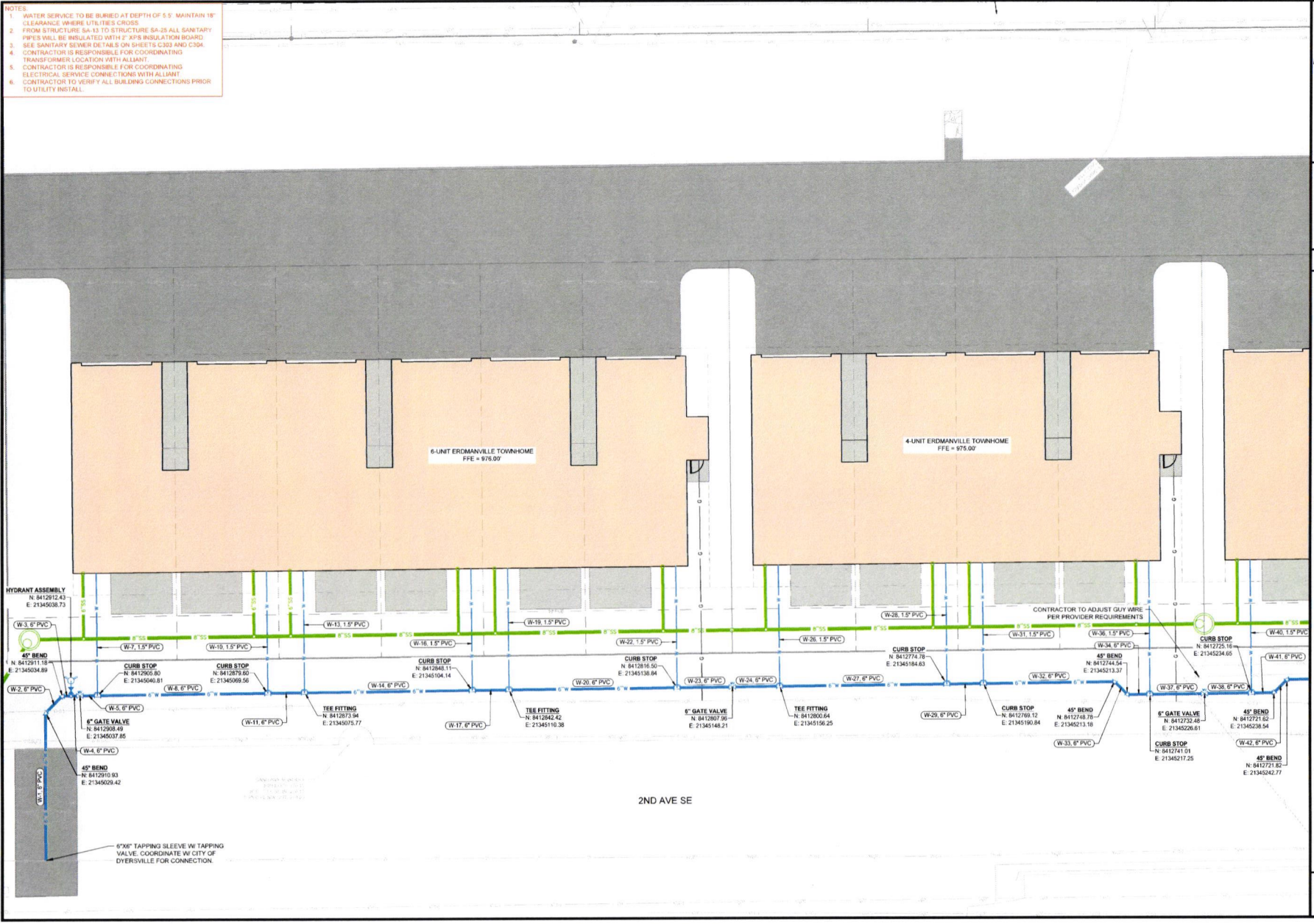
IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT #FD
 202409633

ENGINEER DRAWN BY CHECKED BY
 BA OF ME



2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 UTILITY PLAN

DRAWING NO.
C301

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5.5' MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

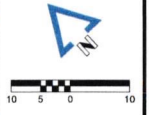


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IOWA CERTIFICATE OF AUTHORITY NO. 25887



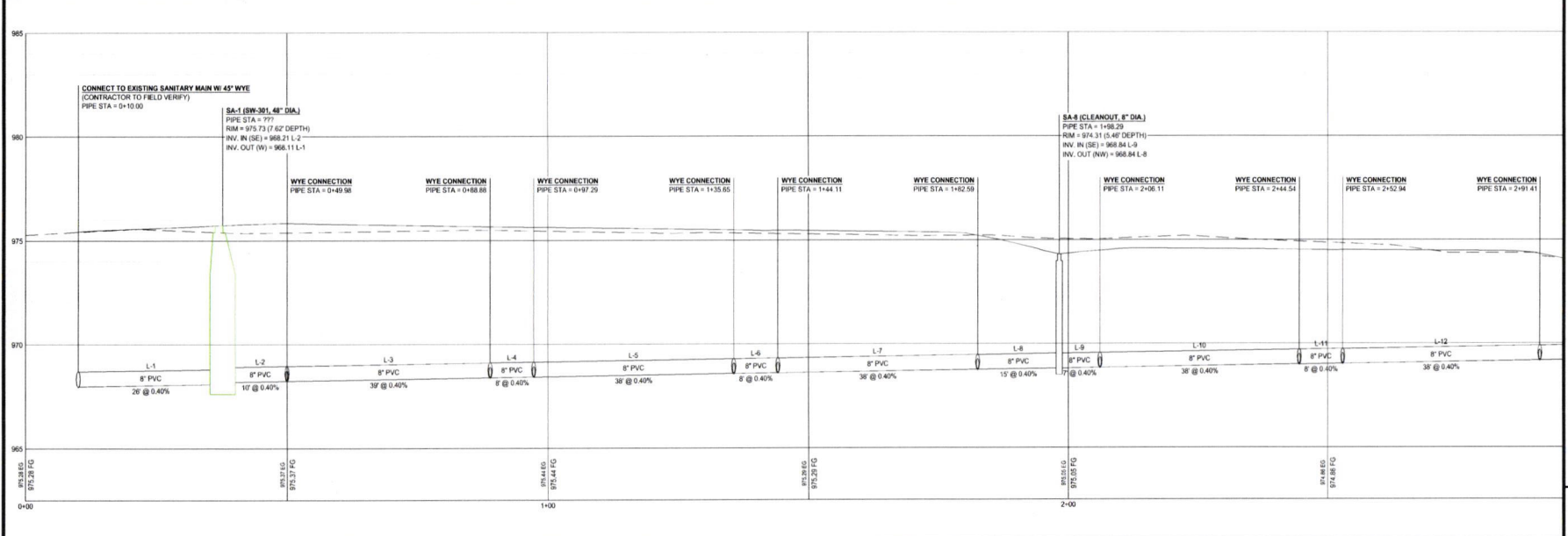
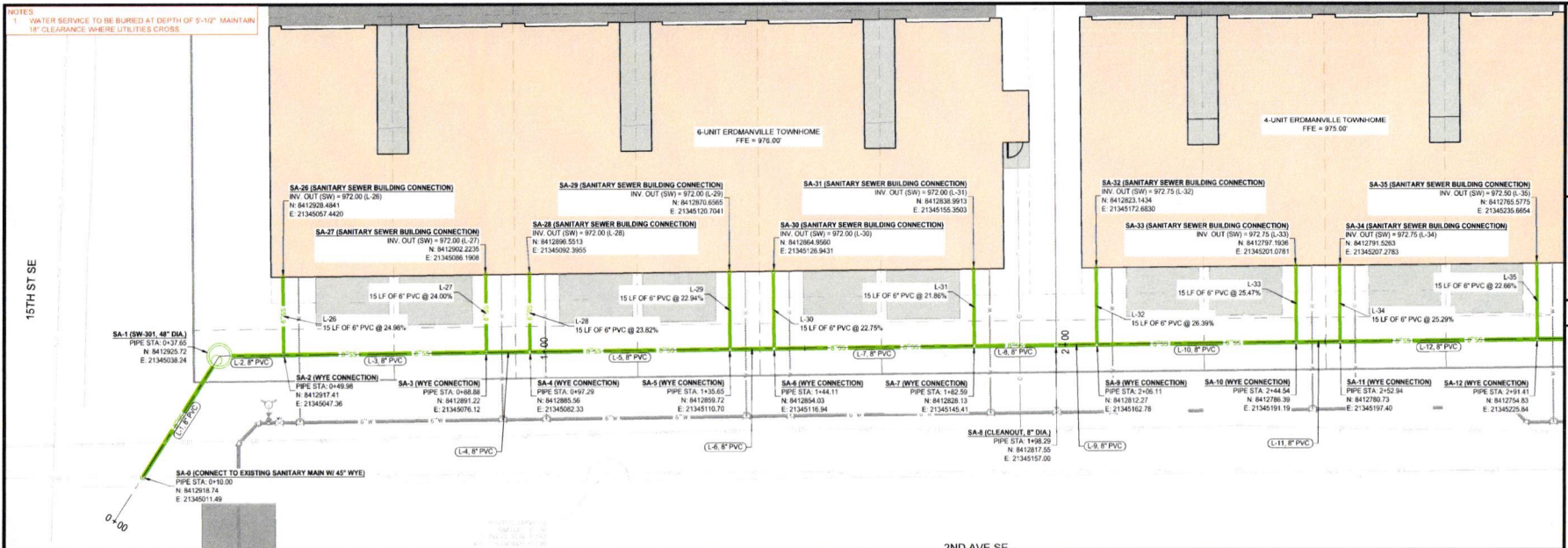
REVISIONS

PROJECT INFO
 2024006635

ENGINEER DRAWN BY: BA OF ME
 CHECKED BY: ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 UTILITY PLAN

DRAWING NO.
C302



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 Cedar Rapids IA | Fort Dodge IA
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 Lenexa KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26667

REVISIONS

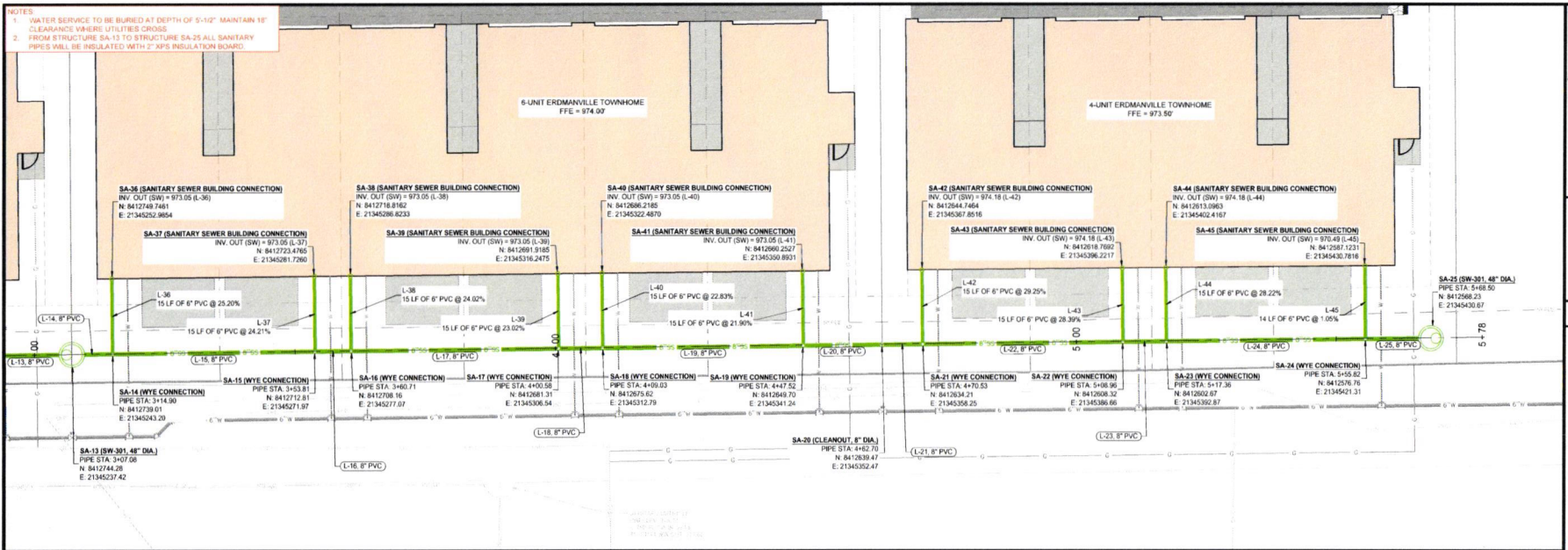
PROJECT INFO
 202400636

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

SANITARY SEWER PLAN & PROFILE

DRAWING NO.
C303

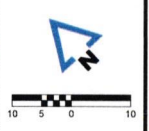


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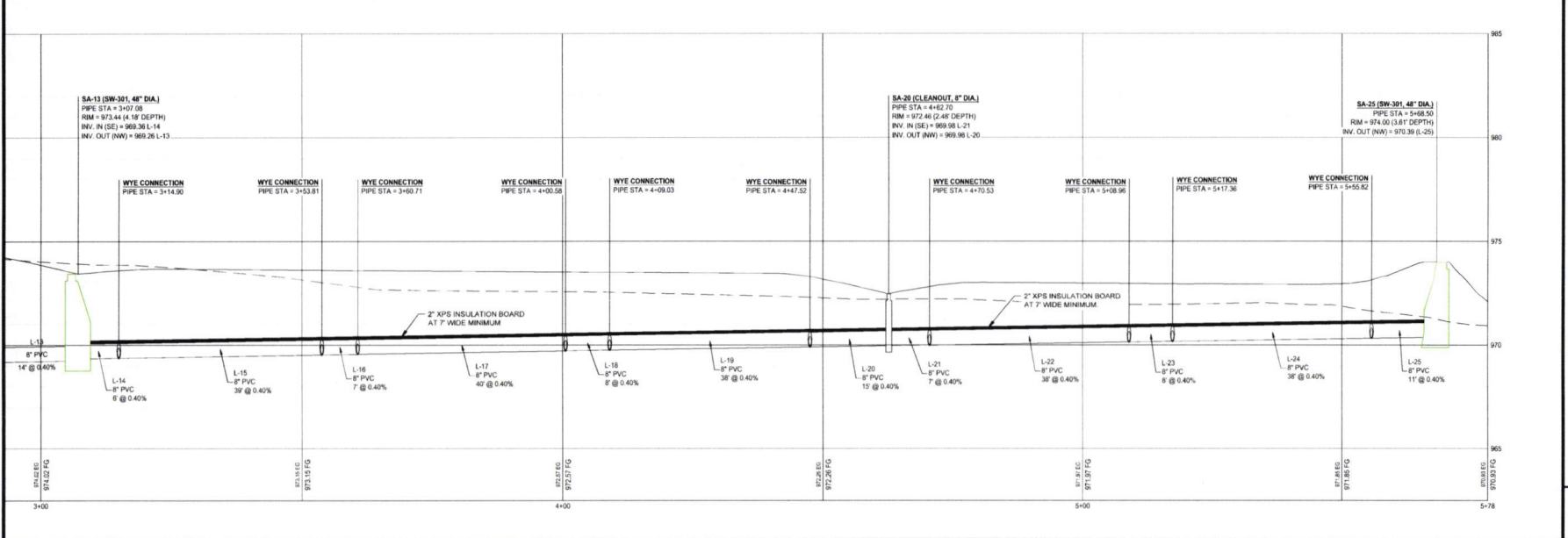
IOWA CERTIFICATE OF AUTHORITY NO. 26867



REVISIONS

PROJECT INFO
 2024050636

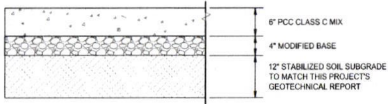
ENGINEER DRAWN BY CHECKED BY
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2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

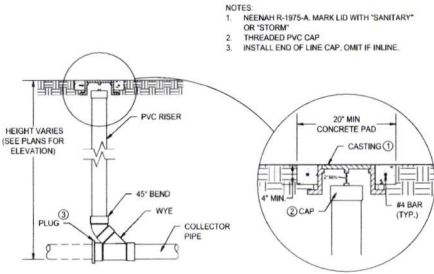
SANITARY SEWER PLAN & PROFILE

DRAWING NO.
C304



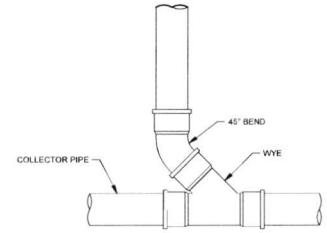
NOTE:
PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION

LIGHT-DUTY PAVING CROSS SECTION
NOT TO SCALE



NOTES:
1. NEENAH R-1975-A, MARK LID WITH "SANITARY" OR "STORM"
2. THREADED PVC CAP
3. INSTALL END OF LINE CAP, OMET IF IN LINE.

SANITARY/STORM SEWER CLEANOUT
1/2" = 1'-0"



WYE CONNECTION
NOT TO SCALE

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Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Sioux City, IA
Macon, MO | Columbia, MO
North Kansas City, MO
Lenexa, KS

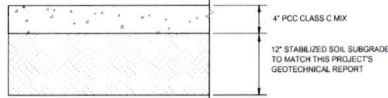
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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS

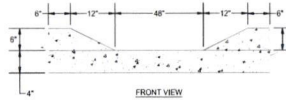
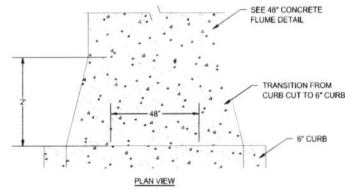
PROJECT INFO
2024060635

ENGINEER DRAWN BY CHECKED BY
BA OF ME

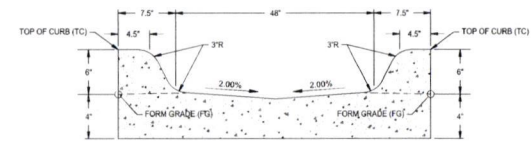


NOTE:
PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION

SIDEWALK CROSS SECTION
NOT TO SCALE

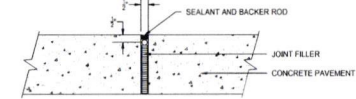


48" WIDE CURB CUT
NOT TO SCALE

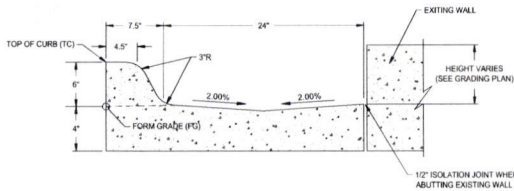


48" CONCRETE FLUME DETAIL
NOT TO SCALE

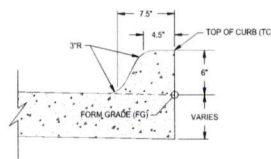
NOTE:
JOINT IS FULL DEPTH OF PAVEMENT



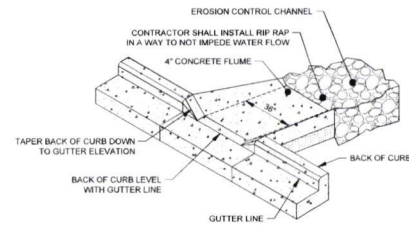
ISOLATION JOINT
3" = 1'-0"



24" CONCRETE FLUME DETAIL
NOT TO SCALE



6" STANDARD CURB
NOT TO SCALE



36" CURB CUT AND CONCRETE FLUME
NOT TO SCALE

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
DETAILS

DRAWING NO.
C501

PRINTING INSTRUCTIONS:
 • TOC PRINTS ARE PREPARED TO BE PLOTTED ON 24"X36" SHEETS
 • PRIOR TO ACTUAL SIZE AND/OR 1/8"=1'-0" SCALE IS REQUIRED
 • PRINTING "FIT TO PAGE" WILL CAUSE PRINTS TO BE CUT OFF SCALE
 • TOC PLANTS RESPONSIBLE FOR PRINTS NOT TO SCALE

STONEGATE 6-PLEX

DYERSVILLE, IA



FRONT ELEVATION
 1520 2ND AVE SE
 DYEYSVILLE, IA 52002

the design connection
 Architectural and Commercial
 Design • Planning
 Survey • Photogrammetry
 Wisconsin • Iowa • Nebraska
 Mount Pleasant, Nebraska
 652 S. Greenway Dr. SW
 Rochester, MN 55902
 Phone: 507.281.1669
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CONTRACTOR RESPONSIBILITY
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

PRICING REVIEW
 NOT FOR
 CONSTRUCTION

STONEGATE 6-PLEX
 1520 2ND AVE SE
 DYEYSVILLE
 JEFF KETELS

IOWA



REAR ELEVATION
 1520 2ND AVE SE
 DYEYSVILLE, IA 52002

TYPE ELEVATION NOTES

1. THESE ELEVATIONS ARE QUANTIFYING ONLY. ALL DIMENSIONS SHOULD BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR TO VERIFY COLOR & FINISHES IN FIELD OF EXTERIOR APPLICATIONS.
2. GENERAL CONTRACTOR TO VERIFY COLOR & FINISHES IN FIELD OF EXTERIOR APPLICATIONS.
3. SEE OVERLAYS, UNLESS NOTED OTHERWISE.
4. APPROPRIATE PLACEMENT OF FINAL UNITS. THERE SHALL BE A MINIMUM OF 10' CLEARANCE FROM THE OUTSIDE OF EXTERIOR COUING OR METAL PANEL TO THE EXTERIOR OF THE UNIT.
5. MATERIALS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION. APPROVED MATERIALS SHALL BE USED FOR ALL EXTERIOR APPLICATIONS.

6. SINGLE HORIZONTAL LINE
7. COLOR AND FINISH SHOULD BE THE SAME AS COLOR AND FINISH OF THE EXTERIOR WALLS.
8. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
9. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
10. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
11. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
12. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
13. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
14. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
15. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
16. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
17. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
18. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
19. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.
20. FINISH TO BE THE SAME AS THE FINISH OF THE EXTERIOR WALLS.

PROJECT INFORMATION	
PROJECT NO.	25391
DRAWN BY	JAK
CHECKED BY	JAK
PREPARED BY	THE DESIGN CONNECTION
ISSUE DATE	OCTOBER 2025
PRINTING DATE	NOVEMBER 2025
PROJECT NAME	STONEGATE 6-PLEX
PROJECT ADDRESS	1520 2ND AVE SE, DYEYSVILLE, IA 52002
PRINTED	Nov 06, 2025

FRONT & REAR
 EXTERIOR ELEVATIONS
A1.1

PRINTING INSTRUCTION:
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 * PRINTERS TO ACTUAL SIZE AND/OR 1/8" SCALE IS REQUIRED
 * PRINTING THIS PAGE WILL CAUSE PRINTS TO BE OUT OF SCALE
 * DCC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE

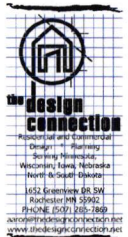


LEFT ELEVATION
 1520 2ND AVE SE
 DYERSVILLE, IA 52537



RIGHT ELEVATION
 1520 2ND AVE SE
 DYERSVILLE, IA 52537

- TYPE ELEVATIONS**
1. THESE ELEVATIONS ARE QUANTIFIED ONLY AS GENERAL INDICATIONS. LOCATIONS, HEIGHTS, AND FINISHES SHALL HAVE PRECEDENCE OVER THESE DRAWINGS TO SCALE.
 2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FINISHES OF EXTERIOR APPLICATIONS.
 3. TIP OVERHANGS UNLESS NOTED OTHERWISE:
 - a. GABLE TO BE 6"
 - b. PORCH EAVES TO BE 6"
 4. APPROXIMATE PLACEMENT OF PAINT GRACE:
 - a. FINISH 4" MIN. FROM TOP OF GABLE END OR PROJECTED TOP OF EXTERIOR CORNER OF METAL TO BE "NEEDS TO BE VERIFIED"
 5. ROOFING MATERIAL, INFO:
 - a. NOT APPLICABLE UNLESS APPROVED IN WRITING BY ARCHITECT. VERIFY STYLE & COLOR OF ROOFING ACCESSORY.
 6. EXTERIOR WALL FINISHES, INFO:
 - a. FINISH AND JOINT FINISH TO BE STYLE & COLOR AS SHOWN.
 7. SIDING MATERIAL, INFO:
 - a. BOARD & BATT (JOINT STYLE & COLOR) AS SHOWN.
 - b. BOARD & BATT (JOINT STYLE & COLOR) AS SHOWN.
 - c. SHINGLES (JOINT STYLE & COLOR) AS SHOWN.
 8. GUTTER PROTECTION, GREEN PVC:
 - a. VERIFY COLOR WITH MANUFACTURER. FINISH TO BE MANUFACTURER'S SPEC.
 9. BRICK FOOTING, INFO:
 - a. FINISH TO BE FINISH OF BELOW GRADE (TYPICAL).
 10. SURFACE FINISHES: RECESSED LIGHT OR HORIZONTAL OR COMBINATION OF ALL OTHER FINISHES.



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 CONSTRUCTION

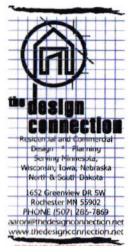
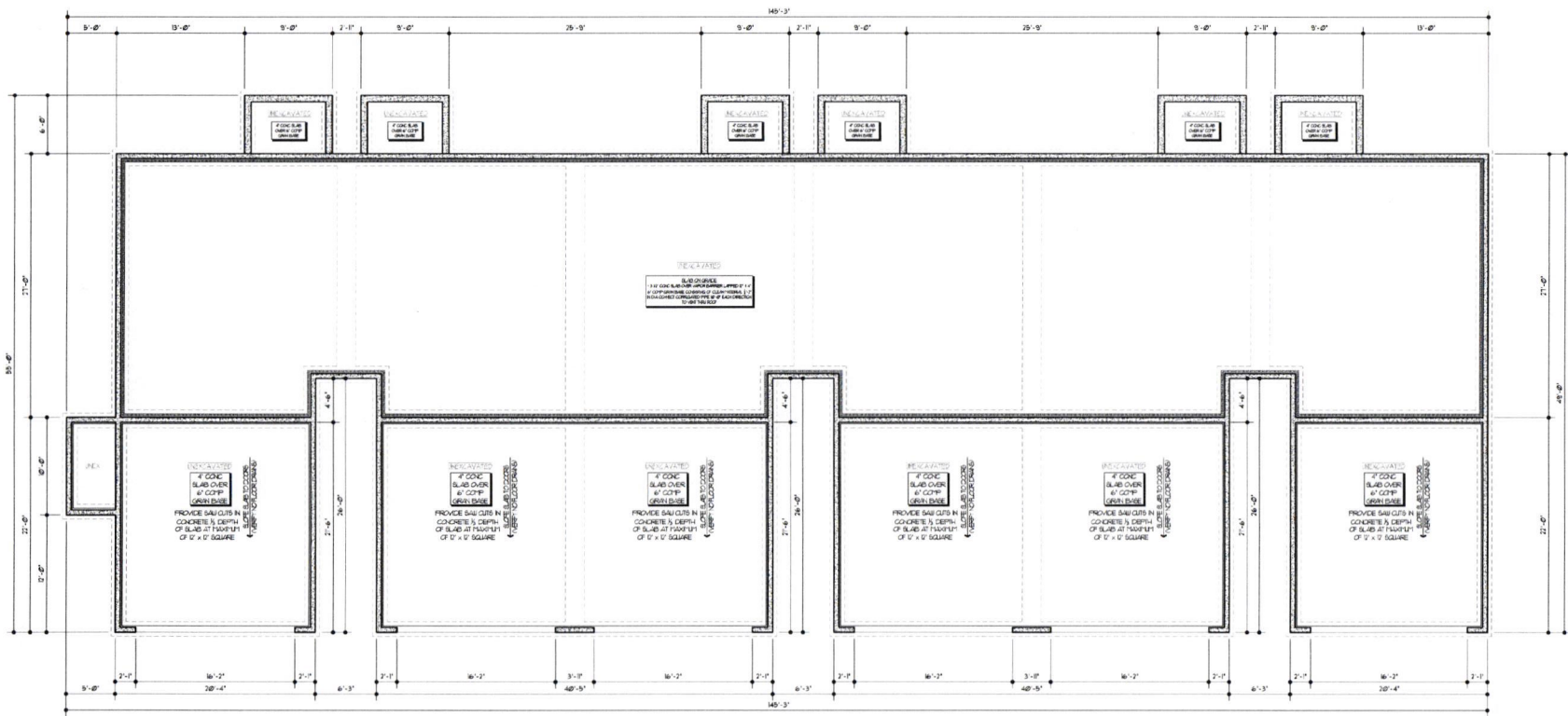
STONEGATE 6-PLEX
 IOWA
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

QUICK REFERENCE (FT)			
FINISH 1ST FLOOR	0.00	0.00	
FINISH 2ND FLOOR	10.00	10.00	
FINISH 3RD FLOOR	20.00	20.00	
FINISH 4TH FLOOR	30.00	30.00	
FINISH 5TH FLOOR	40.00	40.00	
FINISH 6TH FLOOR	50.00	50.00	
FINISH 7TH FLOOR	60.00	60.00	
FINISH 8TH FLOOR	70.00	70.00	
FINISH 9TH FLOOR	80.00	80.00	
FINISH 10TH FLOOR	90.00	90.00	

PROJECT # 23591
 DRAWN BY: MKJ
 CHECKED BY: JKT
 PREPARED BY: OCTOBER 23, 2023
 PROJECT DATE: NOVEMBER 8, 2023
 DATE SET DATE:
 REVISION:
 PRINTED: Nov 06, 2023
 RIGHT & LEFT
 EXTERIOR ELEVATIONS
A1.2

PRINTING INSTRUCTION:
 * TDC PRINTS ARE PREPARED TO BE PLOTTED ON 24" X 36" SHEETS
 * PRINT TO ACTUAL SIZE AND/OR 1/2" SCALE IS REQUIRED
 * PRINTING TO SCALE WILL CAUSE PRINTS TO BE OUT OF SCALE
 * TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE

- FORED CONCRETE FOUNDATION NOTES**
1. TYPICAL TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED)
 2. REINFORCING PER ALL SECTIONS (SEE RC 4800.3) OR 4800.4
 3. TYPICAL EXTERIOR FINISHING SIZE IS 1/4" DIMENSIONALLY
 3.1. 3/4" WALL THICKNESS
 3.2. 1/2" WALL THICKNESS
 3.3. 1/4" WALL THICKNESS
 4. COORDINATE ALL FOOTING REINFORCEMENT AND ELEVATIONS WITH FOUNDATION REVISIONS REQUIRED PRIOR TO CONSTRUCTION
 5. ADJUSTED SOIL BEARING CAPACITY IN CONFORMANCE WITH GEOTECHNICAL REPORT
 6. FOUNDATION TO BE BUILT AS:
 6.1. 24" TYPICAL WALL THICKNESS
 6.2. 18" TYPICAL WALL THICKNESS
 6.3. 12" TYPICAL WALL THICKNESS
 6.4. 8" TYPICAL WALL THICKNESS
 6.5. 6" TYPICAL WALL THICKNESS
 7. AT FOUNDATION PROVIDE 2" RIGID FILL SURFACE AND FACE OF WALL REINFORCED TO BOTTOM OF CONCRETE SLAB AND REINFORCEMENT 4" MIN.



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THIS PRINT IS ONE OF SEVERAL PRINTS IN A SET OF PRINTS. ALL PRINTS IN THIS SET ARE THE PROPERTY OF THE DESIGN CONNECTION. THESE PRINTS AND DESIGNS WERE CREATED AND DEVELOPED IN CONSULTATION WITH THE CLIENT. PRINTS AND SHALL NOT BE REPRODUCED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGN CONNECTION AND BUILDER.

PRICING REVIEW
 NOT FOR
 CONSTRUCTION

STONEGATE 6-PLEX
 IOWA
 1530 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

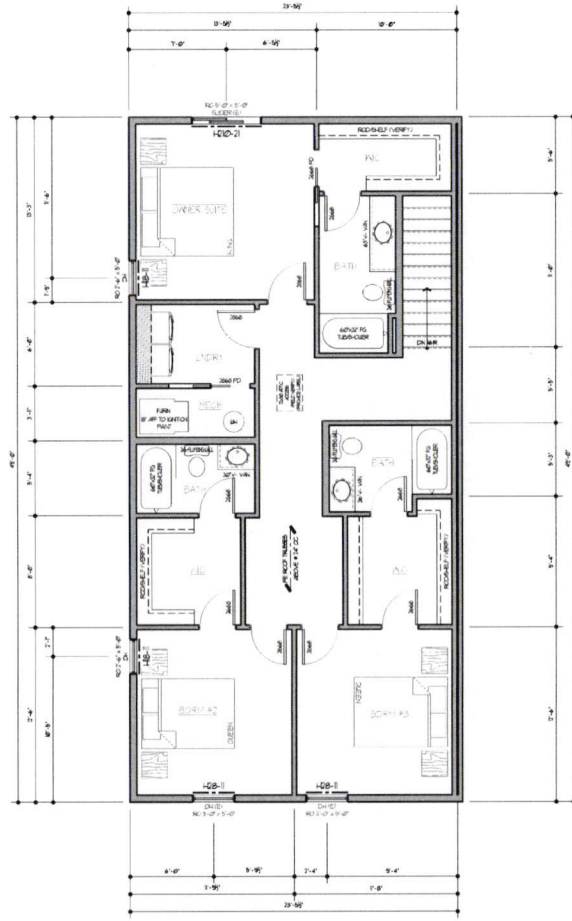
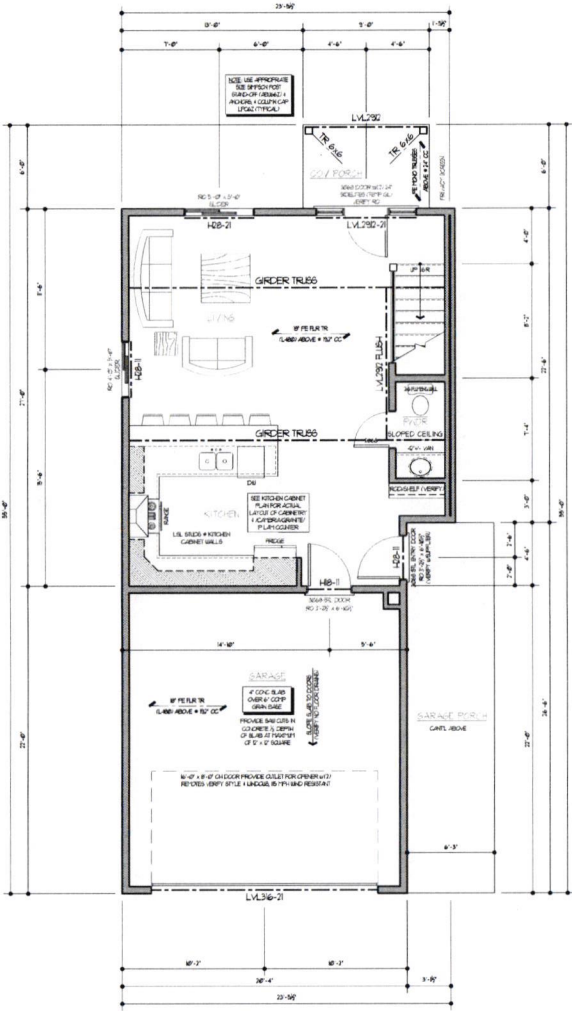
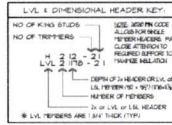
DESIGN REVISIONS	
NO. 1	ISSUED FOR PERMITS
NO. 2	ISSUED FOR PERMITS
NO. 3	ISSUED FOR PERMITS
NO. 4	ISSUED FOR PERMITS
NO. 5	ISSUED FOR PERMITS
NO. 6	ISSUED FOR PERMITS
NO. 7	ISSUED FOR PERMITS
NO. 8	ISSUED FOR PERMITS
NO. 9	ISSUED FOR PERMITS
NO. 10	ISSUED FOR PERMITS

NOTES:
 THIS PLAN AND SPECIFICATIONS FOR FOUNDATION ARE THE PROPERTY OF THE DESIGN CONNECTION. THESE PLANS AND DESIGNS WERE CREATED AND DEVELOPED IN CONSULTATION WITH THE CLIENT. PRINTS AND SHALL NOT BE REPRODUCED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGN CONNECTION AND BUILDER.

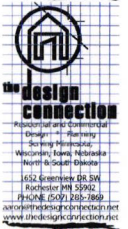
PROJECT: 2391
 DRAWN BY: MJD
 CHECKED BY: MJD
 PREPARED BY: OCTOBER 2021
 PERMITS DATE: NOVEMBER 4, 2021
 FINAL DATE:
 REVISION:
 PRINTED: Nov 06, 2023

FOUNDATION
A2.0

PRINTING INSTRUCTION:
 • TDC PRINTS ARE PREPARED TO BE PLOTTED ON 24" X 36" SHEETS
 • PRINTERS TO ACTUAL SIZE AND/OR 1/8" SCALE IS REQUIRED
 • PRINTING AT 1/8" SCALE WILL CAUSE PRINTS TO BE CUT OFF SCALE
 • TDC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
DB	DOUBLE HUNG	8046	7'-0\" x 6'-0\"
SH	SINGLE HUNG	PR	PAIR
CB	CASED	FD	FRAME DOOR
ADN	ADJING	CO	CORED OPENING
PI	PIED	BF	6-1/2\" x 6-1/2\" BARN DOOR
LJ	LEFT SWING	BD	BARN DOOR
RS	STATIONARY		
NO	NO RIGHT SWING		
ES	EXPOSED		
TI	TIEBARS		
2x	2\" x 4\" CHILL FILTER		
2x	2\" x 4\" VENTING FOR AIR/CO		
GR	GRILLS		
2x	2\" x 4\" BLADES FOR AIR/CO		
2x	2\" x 4\" BLADES FOR AIR/CO		
2x	2\" x 4\" BLADES FOR AIR/CO		
2x	2\" x 4\" BLADES FOR AIR/CO		



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DESIGN CONNECTION:
 1520 2ND AVE SE
 DYERSVILLE, IA 52008
 PHONE: 562-240-2869
 WWW.THEDESIGNCONNECTION.NET

PRICING REVIEW
 NOT FOR
 CONSTRUCTION

STONEGATE 6-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

PROJECT:	2224
DRAWN BY:	AM
CHECKED BY:	AM
REVISION:	OCTOBER 2023
PRINTING DATE:	NATURAL 2023
REVISION:	
DATE:	NOV 06 2023
PRINTED:	NOV 06 2023
INSET FL 038	
A3.3	

USE THIS PLAN AND TIEBARS FOR TYPING PURPOSES ONLY. UNLESS INDICATED OTHERWISE, REFER TO THE SPECIFICATIONS FOR GENERAL NOTES AND DIMENSIONS. REFER TO THE GENERAL NOTES FOR DIMENSIONS AND COORDINATES. ALL DIMENSIONS AND NOTES TO DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

GENERAL PROJECT NOTES

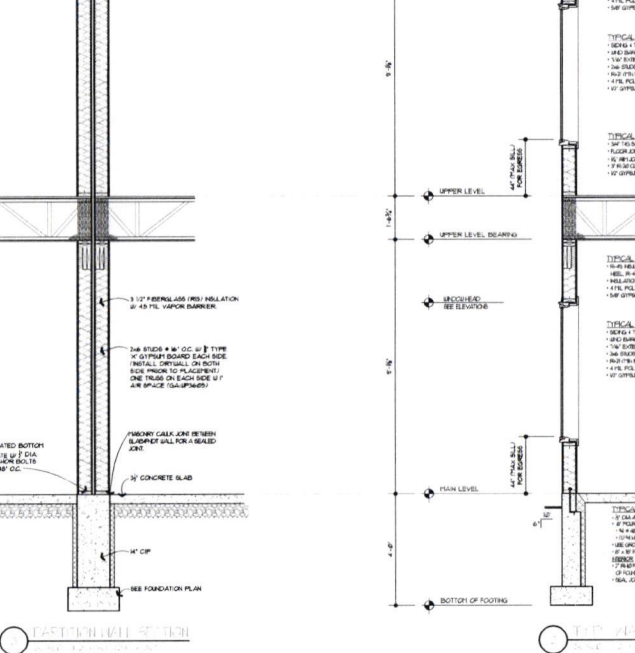
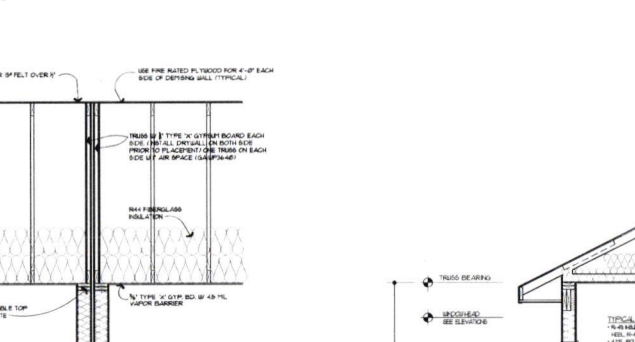
1. BUILDING CODES/INTS FOR DESIGN
 - a. INTERNATIONAL RESIDENTIAL CODE 2000 EDITION
 - b. INTERNATIONAL BUILDING CODE 2003 EDITION
 - c. IBC - IBC 2003 EDITION
2. FOUNDATIONS
 - a. FOUNDATION DESIGN SHALL BE DESIGNED TO A MINIMUM SIX INCHES ABOVE OF FINISHED GRADE.
 - b. FOUNDATION SHALL BE DESIGNED TO SUPPORT ALL LOADS INCLUDING SOIL AND ROCK LOADS.
 - c. FOUNDATION SHALL BE DESIGNED TO SUPPORT ALL LOADS INCLUDING SOIL AND ROCK LOADS.
 - d. FOUNDATION SHALL BE DESIGNED TO SUPPORT ALL LOADS INCLUDING SOIL AND ROCK LOADS.
 - e. FOUNDATION SHALL BE DESIGNED TO SUPPORT ALL LOADS INCLUDING SOIL AND ROCK LOADS.
3. DESIGN LOADS
 - a. DESIGN LIVE LOADS:
 - ROOF: LIVE-30 PERFORMED-10 PSF
 - FLOORS: LIVE-40 PERFORMED-10 PSF
 - CEILING: LIVE-40 PERFORMED-10 PSF
 - EXTERIOR: LIVE-10 PERFORMED-10 PSF
4. DESIGN DETAILS
 - a. CONCRETE:
 - STRENGTH: 4000 PSI
 - FINISH: TYPE III
 - LOCATION: SEE PLAN
 - REINFORCEMENT: SEE PLAN
 - FORMS: 1/2" TO 3/4" TYPICAL
 - FORMS: 1/2" TO 3/4" TYPICAL
 - FORMS: 1/2" TO 3/4" TYPICAL

5. ROOFING
 - a. ROOFING: 1/2" x 1/4" x 1000 PSF ASH ASH
 - b. ROOFING: 1/2" x 1/4" x 1000 PSF ASH ASH
 - c. ROOFING: 1/2" x 1/4" x 1000 PSF ASH ASH
 - d. ROOFING: 1/2" x 1/4" x 1000 PSF ASH ASH
 - e. ROOFING: 1/2" x 1/4" x 1000 PSF ASH ASH
6. VAPOR BARRIERS
 - a. VAPOR BARRIER: 6 MIL POLYETHYLENE
 - b. VAPOR BARRIER: 6 MIL POLYETHYLENE
 - c. VAPOR BARRIER: 6 MIL POLYETHYLENE
 - d. VAPOR BARRIER: 6 MIL POLYETHYLENE
 - e. VAPOR BARRIER: 6 MIL POLYETHYLENE

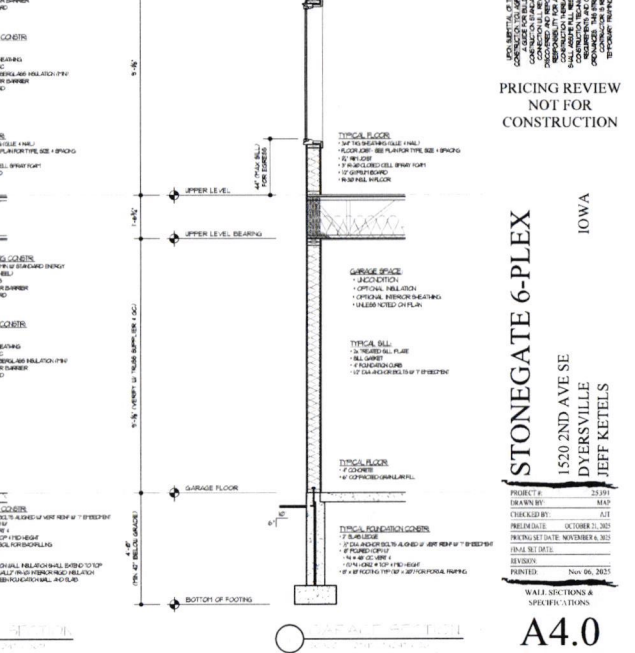
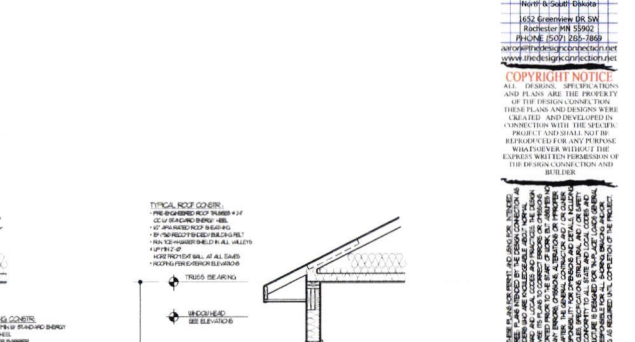
7. CONSTRUCTION
 - a. CONSTRUCTION: CONSTRUCTION SHALL BE AS SHOWN
 - b. CONSTRUCTION: CONSTRUCTION SHALL BE AS SHOWN
 - c. CONSTRUCTION: CONSTRUCTION SHALL BE AS SHOWN
 - d. CONSTRUCTION: CONSTRUCTION SHALL BE AS SHOWN
 - e. CONSTRUCTION: CONSTRUCTION SHALL BE AS SHOWN
8. FINISHES
 - a. FINISHES: FINISHES SHALL BE AS SHOWN
 - b. FINISHES: FINISHES SHALL BE AS SHOWN
 - c. FINISHES: FINISHES SHALL BE AS SHOWN
 - d. FINISHES: FINISHES SHALL BE AS SHOWN
 - e. FINISHES: FINISHES SHALL BE AS SHOWN

9. DETAILS
 - a. DETAILS: DETAILS SHALL BE AS SHOWN
 - b. DETAILS: DETAILS SHALL BE AS SHOWN
 - c. DETAILS: DETAILS SHALL BE AS SHOWN
 - d. DETAILS: DETAILS SHALL BE AS SHOWN
 - e. DETAILS: DETAILS SHALL BE AS SHOWN
10. OTHER NOTES
 - a. OTHER NOTES: OTHER NOTES SHALL BE AS SHOWN
 - b. OTHER NOTES: OTHER NOTES SHALL BE AS SHOWN
 - c. OTHER NOTES: OTHER NOTES SHALL BE AS SHOWN
 - d. OTHER NOTES: OTHER NOTES SHALL BE AS SHOWN
 - e. OTHER NOTES: OTHER NOTES SHALL BE AS SHOWN

11. FOUNDATIONS
 - a. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - b. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - c. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - d. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - e. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
12. ROOFING
 - a. ROOFING: ROOFING SHALL BE AS SHOWN
 - b. ROOFING: ROOFING SHALL BE AS SHOWN
 - c. ROOFING: ROOFING SHALL BE AS SHOWN
 - d. ROOFING: ROOFING SHALL BE AS SHOWN
 - e. ROOFING: ROOFING SHALL BE AS SHOWN
13. VAPOR BARRIERS
 - a. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - b. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - c. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - d. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - e. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN



14. FOUNDATIONS
 - a. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - b. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - c. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - d. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
 - e. FOUNDATIONS: FOUNDATIONS SHALL BE AS SHOWN
15. ROOFING
 - a. ROOFING: ROOFING SHALL BE AS SHOWN
 - b. ROOFING: ROOFING SHALL BE AS SHOWN
 - c. ROOFING: ROOFING SHALL BE AS SHOWN
 - d. ROOFING: ROOFING SHALL BE AS SHOWN
 - e. ROOFING: ROOFING SHALL BE AS SHOWN
16. VAPOR BARRIERS
 - a. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - b. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - c. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - d. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN
 - e. VAPOR BARRIERS: VAPOR BARRIERS SHALL BE AS SHOWN



design connection
 Professional and Commercial
 Structural Engineering
 Building Information
 Mechanical Engineering
 Electrical Engineering
 Plumbing Engineering
 Fire Protection Engineering
 Civil Engineering
 Geotechnical Engineering
 Environmental Engineering
 Surveying
 Construction Management
 1520 2ND AVE SE
 DYERSVILLE IA 50542
 PHONE 515-281-3999
 FAX 515-281-3998
 WWW.DESIGNCONNECTION.NET

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PRICING REVIEW NOT FOR CONSTRUCTION

STONEGATE 6-PLEX
 IOWA
 1520 2ND AVE SE
 DYERSVILLE IOWA
 JEFF KETELS
 PROJECT # 23391
 DRAWN BY: MJD
 CHECKED BY: JJK
 REVISIONS: OCTOBER 2003
 PRINTED DATE: MARCH 14, 2004
 DATE SET DATE: 03/11/04
 REVISION: 03/11/04
 PRINTED: NOV 06, 2003
 WALL SECTIONS & SPECIFICATIONS
A4.0

4 PLEX

City of Dyersville

Task # 62907

BUILDING PERMIT APPLICATION

PERMIT NUMBER 26-2452

COMPLETED BY APPLICANT

JOB ADDRESS (BUILDING 4) 1580 2ND AVE SE DYERSVILLE, IA COUNTY DUBUQUE

LEGAL PARCEL DESCR. 07-32-179-021 LOT NO. 1 BLK. 182 SUBDIVISION PETTINGER SEE ATTACHED SHEET

OWNER OF RECORD BMM DEVELOPMENT TELEPHONE

CONTRACTOR PERMIT # NAME STONEGATE BUILDERS GROUP PLUMBING PERMIT # ELECTRICAL/MECHANICAL PERMIT #

ARCHITECT OR DESIGNER ADDRESS TELEPHONE FLOODPLAIN YES NO

USE OF BUILDING RESIDENTIAL COMMERCIAL INDUSTRIAL ACCESSORY

CLASS OF WORK NEW ADDITION ALTERATION REPAIR REMOVE

DESCRIBE WORK NEW MULTIFAMILY Type of Const. WOOD FRAME Basement No Yes

SET BACKS TO FOUNDATION WALL Size of Bldg. Total Sq. Ft. 2024 x 4 = 8096 Automatic Extinguishing System No Yes

FRONT CORNER No. of Dwelling Units 4 Off Street Parking Req. Prov.

REAR ALLEY No. of Stories 2 Zoning District D-3

SIDE OPEN SPACE

LOT DIMENSIONS SPECIAL APPROVALS REQUIRED RECEIVED

SPECIAL CONDITIONS See Attachment

VALUE OF WORK \$ 1,011,708

FEE	AMOUNT	REC'D
BUILDING PERMIT	220	
WATER METER CHARGE	1536	
WATER CONNECTION	325	
SEWER CONNECTION	325	
EXCAVATION	50	
ZONING / B OF A		
TOTAL	\$ 2456	

SPECIAL APPROVALS: ZONING AMENDMENT, SITE PLAN, PLAN REVIEW, EXCAVATION PERMIT, ARCHITECT/ENGINEER, HEALTH DEPT., FIRE DEPT., HANDICAPPED CERTIFICATE, BOARD OF ADJUST., FLOOD PLAIN CERT., FLOOD PLAIN EXEM., SIGNS, SPECIAL USE PERMIT, WATER METER

NOTICE

SEPARATE PERMITS ARE NOT REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES THE RESPONSIBILITY FOR COMPLYING WITH LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS, RESTRICTIVE COVENANTS, OR OTHER REQUIREMENTS APPLICABLE. THIS PERMIT DOES NOT AUTHORIZE THE USE OF STREETS, ALLEYS OR SIDEWALKS FOR THE DEPOSITING OF BUILDING MATERIALS.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMPLETED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

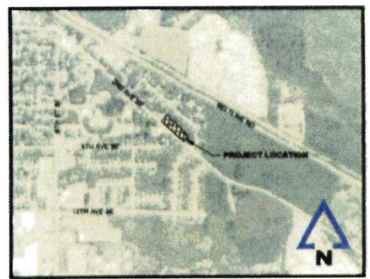
SIGNATURE OF CONTRACTOR [Signature] 9/6/25 (DATE) SIGNATURE OF OWNER [Signature] 9/8/25 (DATE) Rec 1/26/26

WHEN PROPERLY VALIDATED THIS IS YOUR PERMIT
CHECKED & APPROVED BY [Signature] 4.2.26 (DATE) APPROVED BY CITY COUNCIL (DATE)

Certificate of Occupancy

This Certificate of Occupancy is hereby issued to the above signed in accordance with the provisions set out in the City of Dyersville Municipal Code and all revisions thereto.

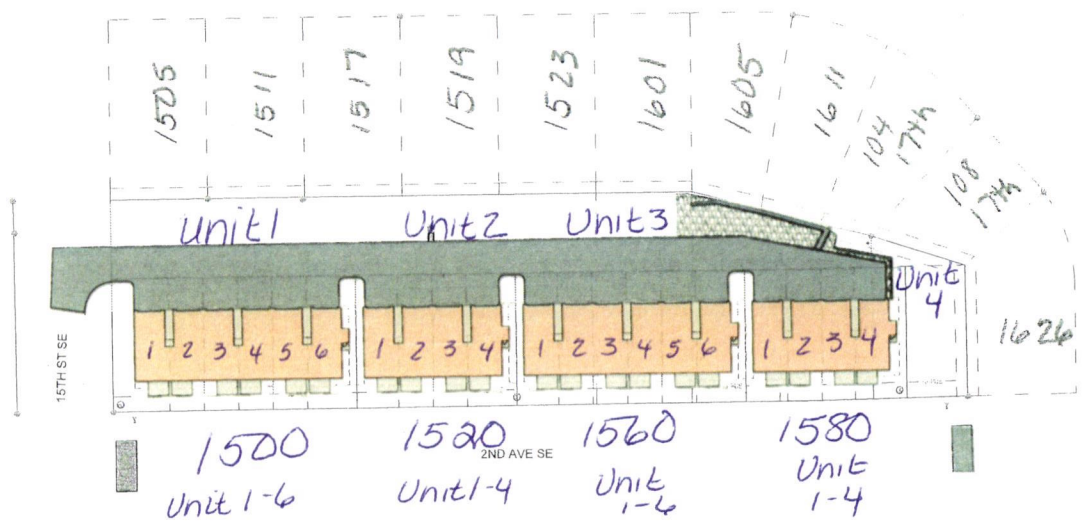
Your building and proposed use thereof shall comply with the provisions of the above-cited permit and other building and health ordinances of the City of Dyersville. No change or use shall be made in your building, or in any part thereof, nor may it be structurally altered, unless a Certificate of Occupancy is issued. This certificate shall be authorized after the lawful completion or alteration of the building, or occupancy and use of land.



VICINITY MAP
SCALE = 1:1000

2ND AVENUE MULTI-FAMILY PRELIMINARY PLAT/SITE PLAN

1520 2ND AVE SE, DYERSVILLE, IOWA 52040



GENERAL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
(Symbol)	SANITARY SEWER MAIN	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	SANITARY SEWER SERVICE	(Symbol)	SANITARY SEWER CLEANOUT
(Symbol)	SANITARY SEWER FORCE MAIN	(Symbol)	AIR RELEASE MANHOLE/RAIN MANHOLE
(Symbol)	STORM SEWER MAIN OR CULVERT	(Symbol)	STORM SEWER MANHOLE
(Symbol)	SECONDARY STORM SEWER MAIN	(Symbol)	STORM SEWER CLEANOUT
(Symbol)	SECONDARY STORM SEWER SERVICE	(Symbol)	STORM SEWER INTAKE
(Symbol)	SUBDRAIN/TILE	(Symbol)	STORM SEWER BEEHIVE INTAKE
(Symbol)	WATER MAIN	(Symbol)	FIRE HYDRANT
(Symbol)	WATER SERVICE	(Symbol)	WATER VALVE
(Symbol)	UNDERGROUND ELECTRIC	(Symbol)	WATER VALVE MANHOLE
(Symbol)	OVERHEAD ELECTRIC	(Symbol)	CURB STOP
(Symbol)	UNDERGROUND TELEPHONE	(Symbol)	WATER METER MANHOLE
(Symbol)	UNDERGROUND FIBER OPTIC	(Symbol)	YARD HYDRANT
(Symbol)	UNDERGROUND CABLE TV	(Symbol)	ELECTRIC MANHOLE / VAULT
(Symbol)	GAS MAIN OR SERVICE	(Symbol)	ELECTRIC PEDestal / TRANSFORMER
(Symbol)	CONTOUR LINES INTERMEDIATE	(Symbol)	POWER POLE
(Symbol)	CONTOUR LINES INDEX	(Symbol)	POWER POLE w/ STREET LIGHT
(Symbol)	PROPERTY LINE / LOT LINE	(Symbol)	STREET LIGHT POLE
(Symbol)	SECTION LINE	(Symbol)	GUY WIRE
(Symbol)	EASEMENT	(Symbol)	FIBER OPTIC MARKER
(Symbol)	WOODEN FENCE	(Symbol)	TRAFFIC SIGNAL
(Symbol)	ROAD CENTERLINE	(Symbol)	TRAFFIC SIGNAL BOX
(Symbol)	GRADING LIMITS	(Symbol)	TRAFFIC SIGNAL MANHOLE / VAULT
(Symbol)	CONSTRUCTION LIMITS	(Symbol)	RAILROAD CROSSING SIGNAL
(Symbol)	TOP OF SLOPE	(Symbol)	TELEPHONE MANHOLE / VAULT
(Symbol)	BOTTOM OF SLOPE	(Symbol)	TELEPHONE PEDestal
(Symbol)	SILT FENCE	(Symbol)	CABLE TV MANHOLE / VAULT

UTILITY QUALITY SERVICE LEVELS:
UTILITY QUALITY LEVELS ARE BASED ON THE CHASE 38-02 STANDARD.

EXAMPLES:

- SANITARY SEWER MAIN - QUALITY SERVICE LEVEL A
- SANITARY SEWER MAIN - QUALITY SERVICE LEVEL B
- SANITARY SEWER MAIN - QUALITY SERVICE LEVEL C
- SANITARY SEWER MAIN - QUALITY SERVICE LEVEL D

ABBREVIATIONS:

TS TOP OF SLAB	ME MATCH EXISTING
TC TOP OF CURB	FIE FINISHED FLOOR ELEVATION
G GUTTER	HP HIGH POINT
TW TOP OF WALL	OE OVERFLOW ELEVATION
SW BOTTOM OF WALL	

APPLICANT:
BM CO.
CONTACT: MICHAEL BOUSSELOT
ADDRESS: 4003 SW 4TH ST
ADRIEVILLE, IA 50603

OWNER:
DYERSVILLE INDUSTRIES INC
ADDRESS: 1520 2ND AVE. SE
DYERSVILLE, IA 52040

ENGINEER:
MCCLOUD ENGINEERING COMPANY
CONTACT: MAXWELL ELLER, P.E.
ADDRESS: 1300 HWY 125/ST STREET
CLIVE, IA 50325

DEVELOPMENT TOTALS

TOTAL AREA (ACRES)	1.79
UNIT SUMMARY	8
4 UNIT EIGHTMANVILLE TOWNHOMES	12
6 UNIT EIGHTMANVILLE TOWNHOMES	30
TOTAL UNITS	7.0
UNIT DENSITY (U/AC)	

EXISTING ZONING: C-2 - GENERAL COMMERCIAL DISTRICT

LOT	ZONING	PROPOSED ZONING		
		FRONT	SIDE	REAR
LOTS 1-21	R-3	15'	5'	20'



SHEET LIST TABLE

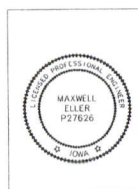
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C002	GENERAL NOTES
C003	EXISTING CONDITIONS AND REMOVALS
C004	PRELIMINARY PLAT
C101	SITE PLAN
C201	GRADING PLAN
C202	GRADING PLAN
C203	GRADING PLAN
C204	EROSION CONTROL PLAN
C301	UTILITY PLAN
C302	UTILITY PLAN
C303	SANITARY SEWER PLAN & PROFILE
C304	SANITARY SEWER PLAN & PROFILE
C501	DETAILS

ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE 2025 EDITION OF THE SDG&S SPECIFICATIONS.



THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATIONS AND EXACT LOCATION AND TO AVOID DAMAGE. THEREFO, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



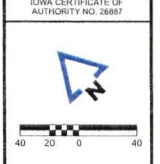
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

MAXWELL ELLER PE NO P27626 DATE: _____
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL: _____

MCCLOUD ENGINEERING
2229 E Grantview LA Suite 2
Coraville IA 52411
P 319-626-9090

Ankeny, IA | Carroll, IA | Clive, IA
Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Show, IA
Mason, MO | Columbia, MO
North Kansas City, MO
Lansing, KS

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REVISIONS

PROJECT INFO
PROJECT NO: _____
ENGINEER: _____ DRAWN BY: _____ CHECKED BY: _____

**2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
COVER SHEET**



GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCEPTANCE WITH THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) EXCEPT WHERE AMENDED BY CITY SUPPLEMENTAL SPECIFICATIONS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY(EASEMENT) AND OR ANY CONNECTION TO PUBLIC SEWERS, STREETS, OR UTILITIES, THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AND MCCLURE ENGINEERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR SETTING UP A PRE-CONSTRUCTION MEETING WITH DYERSVILLE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE CITY AND OWNER.
5. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILT DRAWINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, PROWAG, AND IOWA CODE.
8. STAKING BY CERTIFIED ENGINEER OR LAND SURVEYOR WITH VERIFICATION BY CONTRACTOR SHALL BE DONE PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
9. CONTRACTOR IS TO PROTECT EXISTING PAVEMENT UNLESS DESIGNATED FOR REMOVAL. DAMAGED PAVEMENT SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
10. ALL SEWERS AND DRAINAGEWAYS SHALL BE PROTECTED FROM ANY SLURRY GENERATED BY SAW CUTTING, CONCRETE GRINDING, OR ANY OTHER CONSTRUCTION ACTIVITY.
11. ANY DEBRIS THAT SPILLS INTO ROW SHALL BE REMOVED AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
13. ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
14. CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
16. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS THAT INCLUDES ALL UTILITIES AND GRADES FOR DRAINAGE SWALES, OVERFLOWS, ACCESSIBLE RAMPS, AND DETENTION FACILITIES. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO PUBLIC WORKS AND ENGINEER OF RECORD. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
17. THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
18. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT CITY OF URBANDALE TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
19. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND 2025 STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS.
20. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE MOIST.
21. ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE. AS-BUILT DOCUMENTS OF H/C RAMPS TO BE SUBMITTED TO PUBLIC WORKS AND ENGINEERING OF RECORD.
22. CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED ON THE PROJECT.
24. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY FOR ANY PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC RIGHT-OF-WAY.
25. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE COMPLYING WITH EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
26. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENT THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
27. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT BUT NOT SPECIFICALLY CALLED OUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
28. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
29. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
30. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES.
31. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
32. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTORS EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
33. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
34. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

GRADING NOTES:

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
3. CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
5. ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.
7. THE CONTRACTOR SHALL HOLD A GENERAL PERMIT NUMBER 2 PRIOR TO CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT NUMBER 2 HOLDER SHALL BE RESPONSIBLE FOR VERIFYING THAT TOP SOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. SAID TOPSOIL REQUIREMENTS ARE LISTED IN SUDAS STANDARD SPECIFICATIONS SECTION 2010.
8. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
9. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
10. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
12. ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK.

UTILITY NOTES:

- 1. ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
3. ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED AND USE LINKSEAL.
6. ALL MANHOLES SHALL BE INSTALLED SO THAT THE CASTING IS SET OUTSIDE OF THE SIDEWALK SECTION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY PRIOR TO ANY CONNECTION TO PUBLIC UTILITIES.
8. ALL STORM AND SANITARY SEWERS ARE TO BE CLEANED AND TELEVIEWED. ALL SANITARY SEWER MANHOLES ARE TO BE VACUUM TESTED. ALL CLEANING AND TELEVIEWING SHALL BE APPROVED AND WITNESSED BY THE CITY PRIOR TO PAVING. A COPY OF THE VIDEOS AND REPORTS SHALL BE PROVIDED TO THE CITY.
SANITARY SEWER:
1. ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 AND SHALL HAVE GASKETED JOINTS.
2. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
3. MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
4. RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.
STORM SEWER:
1. OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER.
2. ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA AT THE COMPLETION OF THE PROJECT.
4. WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE CHAIN GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING ACCORDING TO SUDAS REQUIREMENTS.
WATER MAIN:
1. HYDRANTS MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
2. WATER MAIN SHALL BE AWWA C900-DR18 PVC.
3. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE 4-INCH STORZ NOZZLE, SHUT OFF GATE VALVE AND LOCKING CAP. ALL CHAINS SHALL REMAIN INTACT.
4. WATER MAIN TO HAVE 5' BURY, TYP. EXCEPT AT CRITICAL CROSSINGS IN WHICH IT SHALL BE NO SHALLOWER THAN 5'6".
5. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
6. THE CONTRACTOR SHALL NOT REMOVE CHAINS ON ALL HYDRANTS.
7. WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF URBANDALE).
8. ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION. ON ALL WATERMAIN STAINLESS STEEL BLOCKING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING. ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING, MEGA-LUGS ARE NOT TO BE ALLOWED PER SUDAS.
9. WATER MAIN AND SEWER SERVICE, SANITARY SEWER, STORM SEWER, OR DRAINAGE TILE CROSSINGS SHALL HAVE A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION WHENEVER POSSIBLE UNLESS OTHERWISE NOTED. ALL STORM SEWER PIPE THAT CROSSES OVER THE WATER MAIN SHALL HAVE O-RING GASKETS INSTALLED.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
11. CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO THE SITE, BUILDING, FDOS, PIVS, HYDRANTS, AND FRONT DOORS.
12. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES, IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED. AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 563.2 OF THE IFC.
13. ALL SERVICE LINES SHALL BE PRESSURE TESTED AND BACTERIOLOGICAL SAMPLED WITH WATERMAN.

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IOWA CERTIFICATE OF AUTHORITY NO. 26887

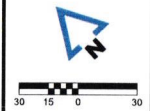


Table with 2 columns: REVISIONS and PROJECT INFO. REVISIONS column contains a list of revision numbers. PROJECT INFO column contains the project number 22400635 and a grid for ENGINEER, DRAWN BY, and CHECKED BY with initials BA, OF, ME.

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
GENERAL NOTES

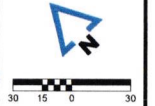
DRAWING NO. C002

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 P 319-826-9090

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IOWA CERTIFICATE OF AUTHORITY NO. 28667



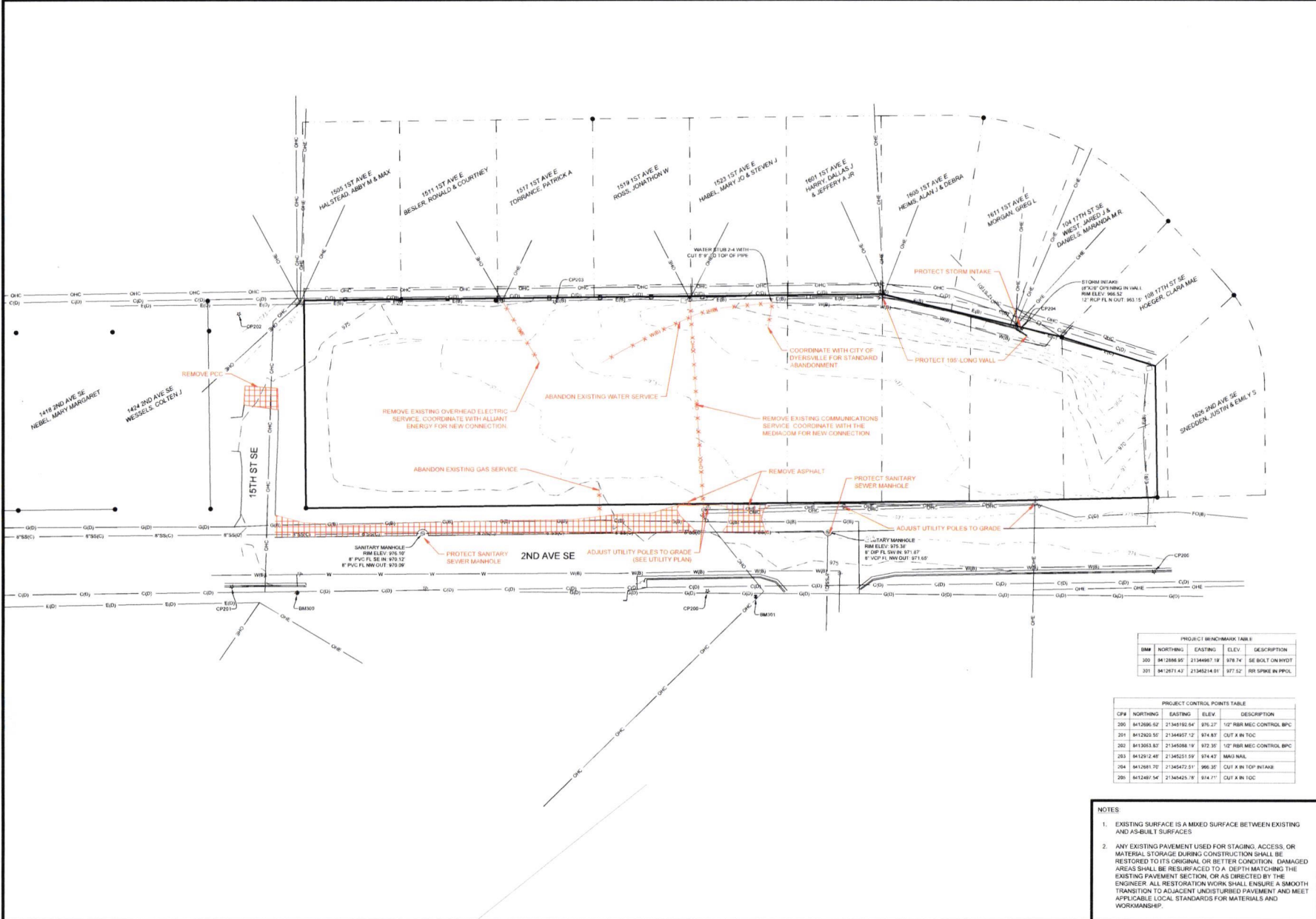
REVISIONS

PROJECT INFO
 2024006635

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

EXISTING CONDITIONS AND REMOVALS



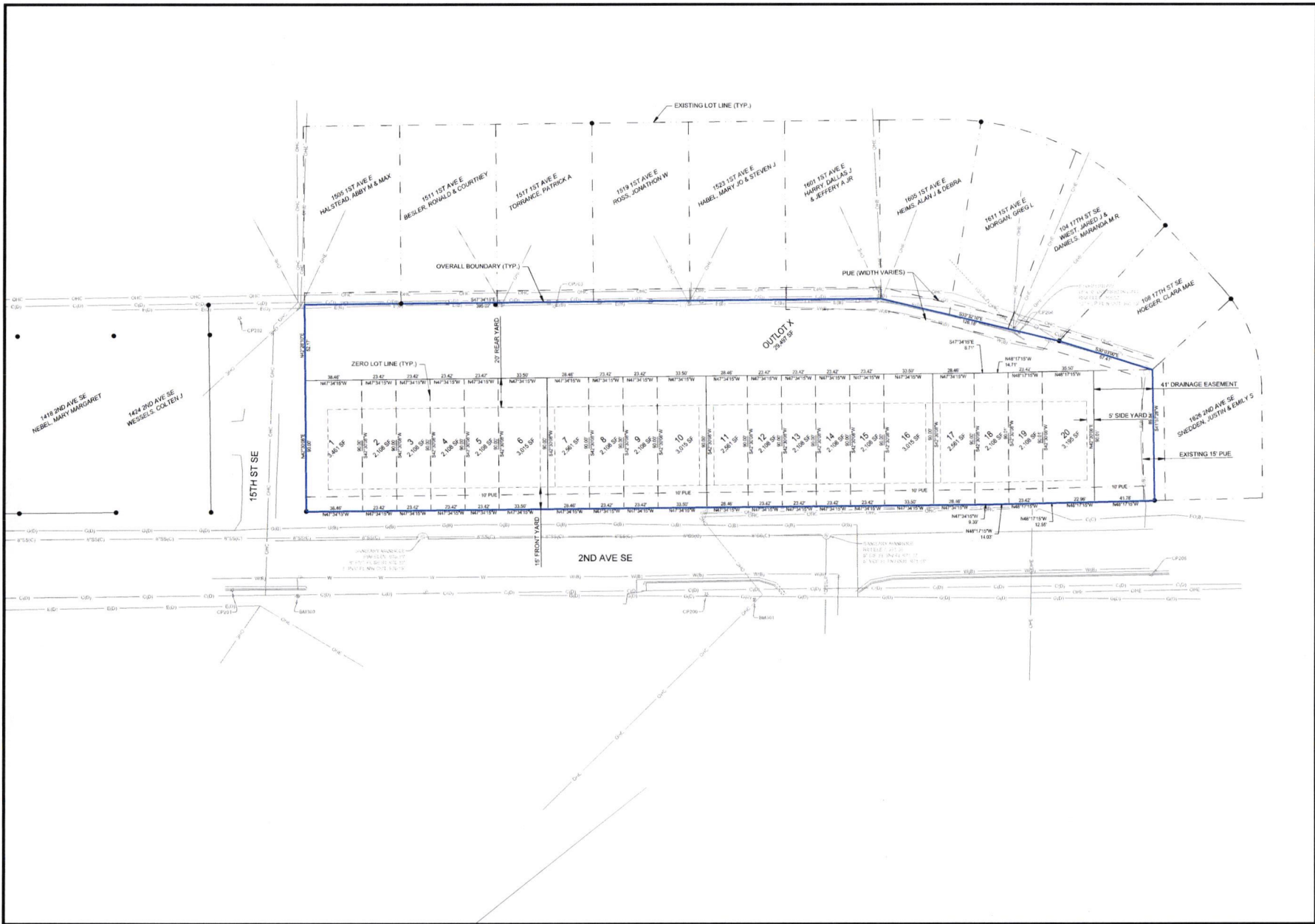
PROJECT BENCHMARK TABLE

BM	NORTHING	EASTING	ELEV.	DESCRIPTION
100	842886.95	21344667.19	878.74	SE BOLT ON HYD
201	842871.42	21345214.61	977.52	R/R SPIKE IN PPOOL

PROJECT CONTROL POINTS TABLE

CP#	NORTHING	EASTING	ELEV.	DESCRIPTION
200	841286.62	21345192.64	876.27	10\"/>

- NOTES
- EXISTING SURFACE IS A MIXED SURFACE BETWEEN EXISTING AND AS-BUILT SURFACES
 - ANY EXISTING PAVEMENT USED FOR STAGING, ACCESS, OR MATERIAL STORAGE DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION. DAMAGED AREAS SHALL BE RESURFACED TO A DEPTH MATCHING THE EXISTING PAVEMENT SECTION, OR AS DIRECTED BY THE ENGINEER. ALL RESTORATION WORK SHALL ENSURE A SMOOTH TRANSITION TO ADJACENT UNDISTURBED PAVEMENT AND MEET APPLICABLE LOCAL STANDARDS FOR MATERIALS AND WORKMANSHIP.



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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS

PROJECT INFO
 2024060616

ENGINEER DRAWN BY CHECKED BY
 BA QP ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 PRELIMINARY PLAT

DRAWING NO.
 C004

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IOWA CERTIFICATE OF AUTHORITY NO. 26867

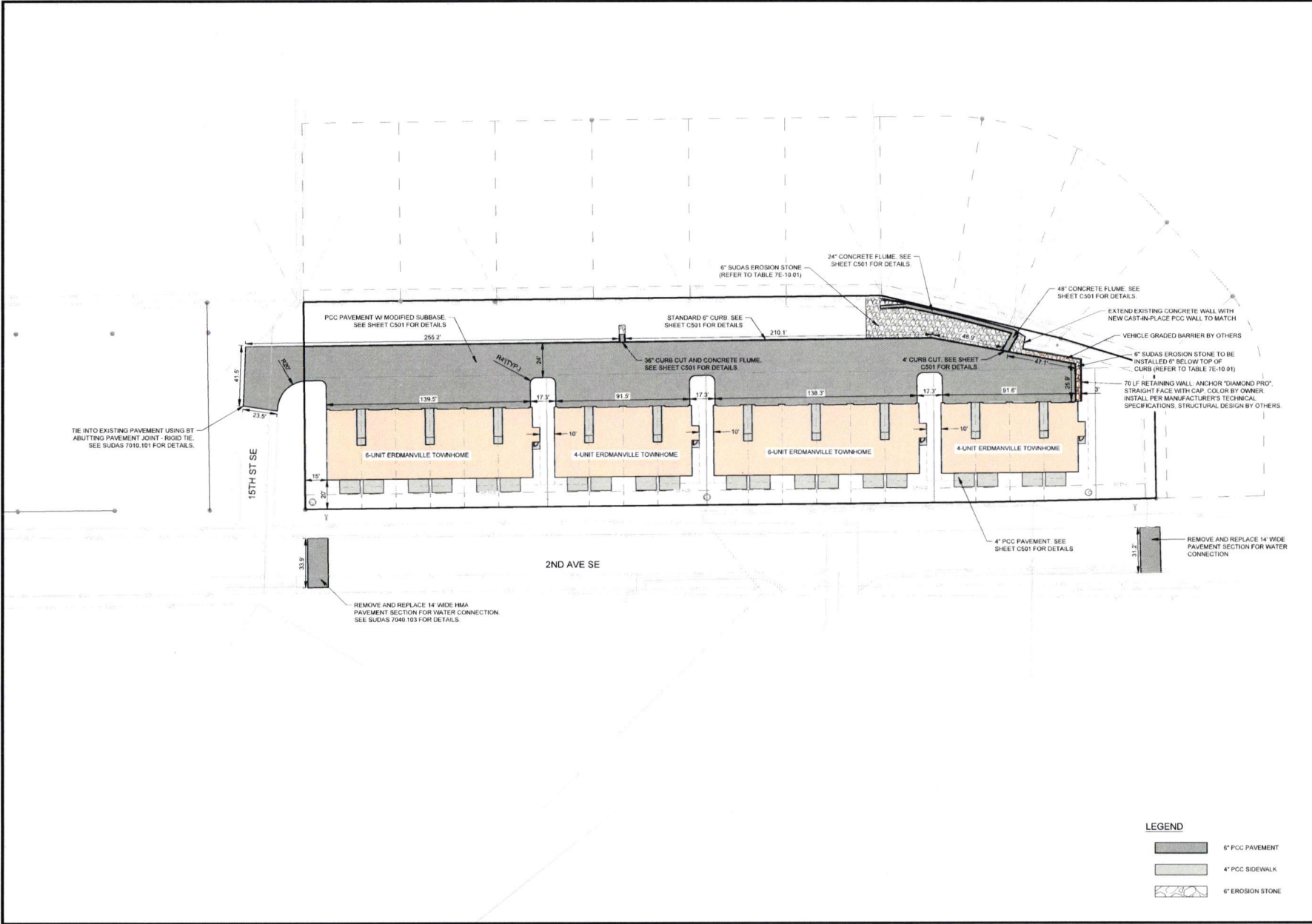


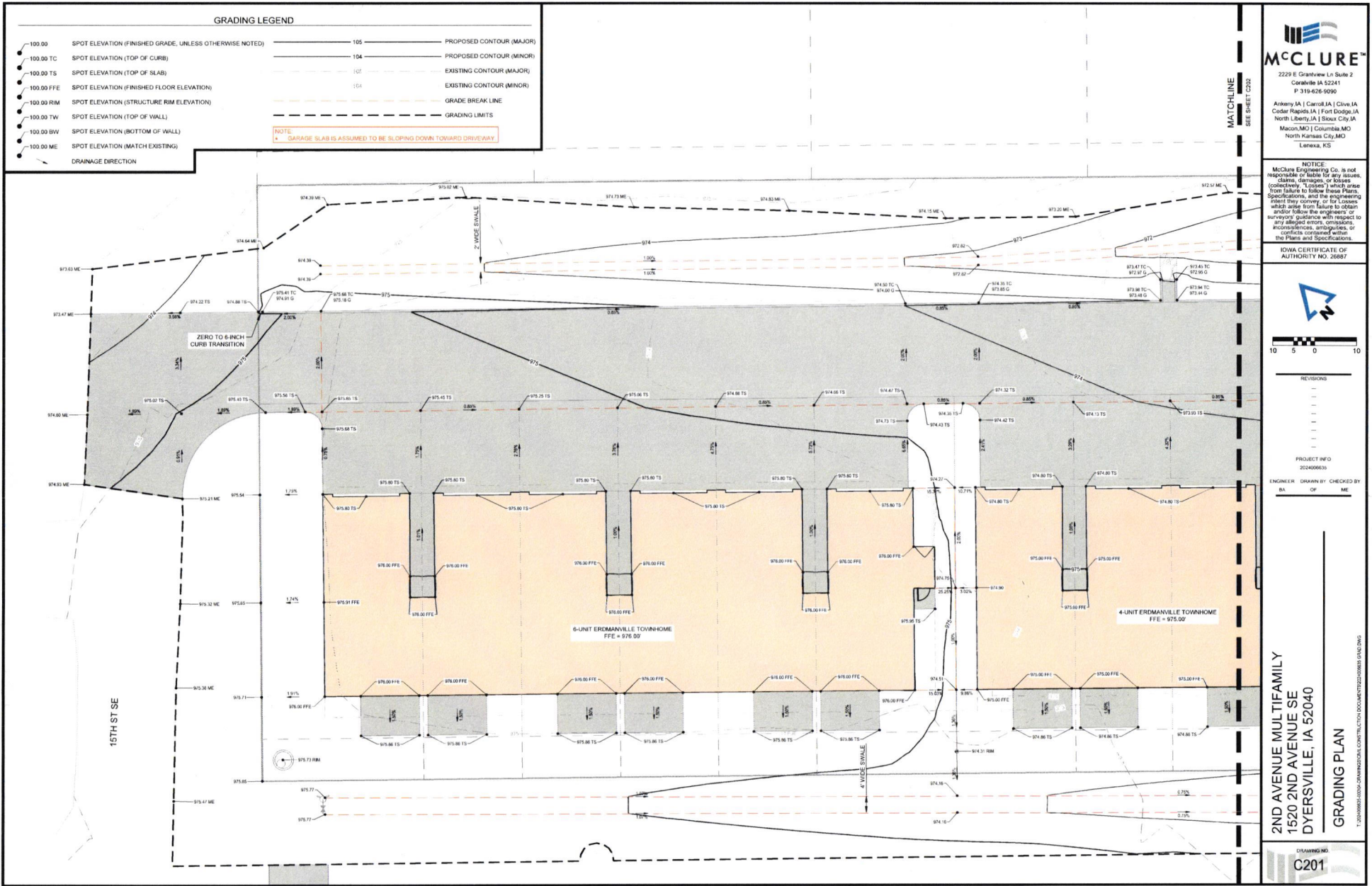
REVISIONS

PROJECT INFO
 202400636
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
SITE PLAN
T:\2024\0636\000\DRAWINGS\CONTRACT\CONTRACT DOCUMENTS\2024\0636 SITE.DWG

DRAWING NO.
C101





GRADING LEGEND

- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION
- 105 PROPOSED CONTOUR (MAJOR)
- 104 PROPOSED CONTOUR (MINOR)
- 101 EXISTING CONTOUR (MAJOR)
- 104 EXISTING CONTOUR (MINOR)
- GRADE BREAK LINE
- GRADING LIMITS

NOTE:
 * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

NO.	DESCRIPTION

PROJECT INFO

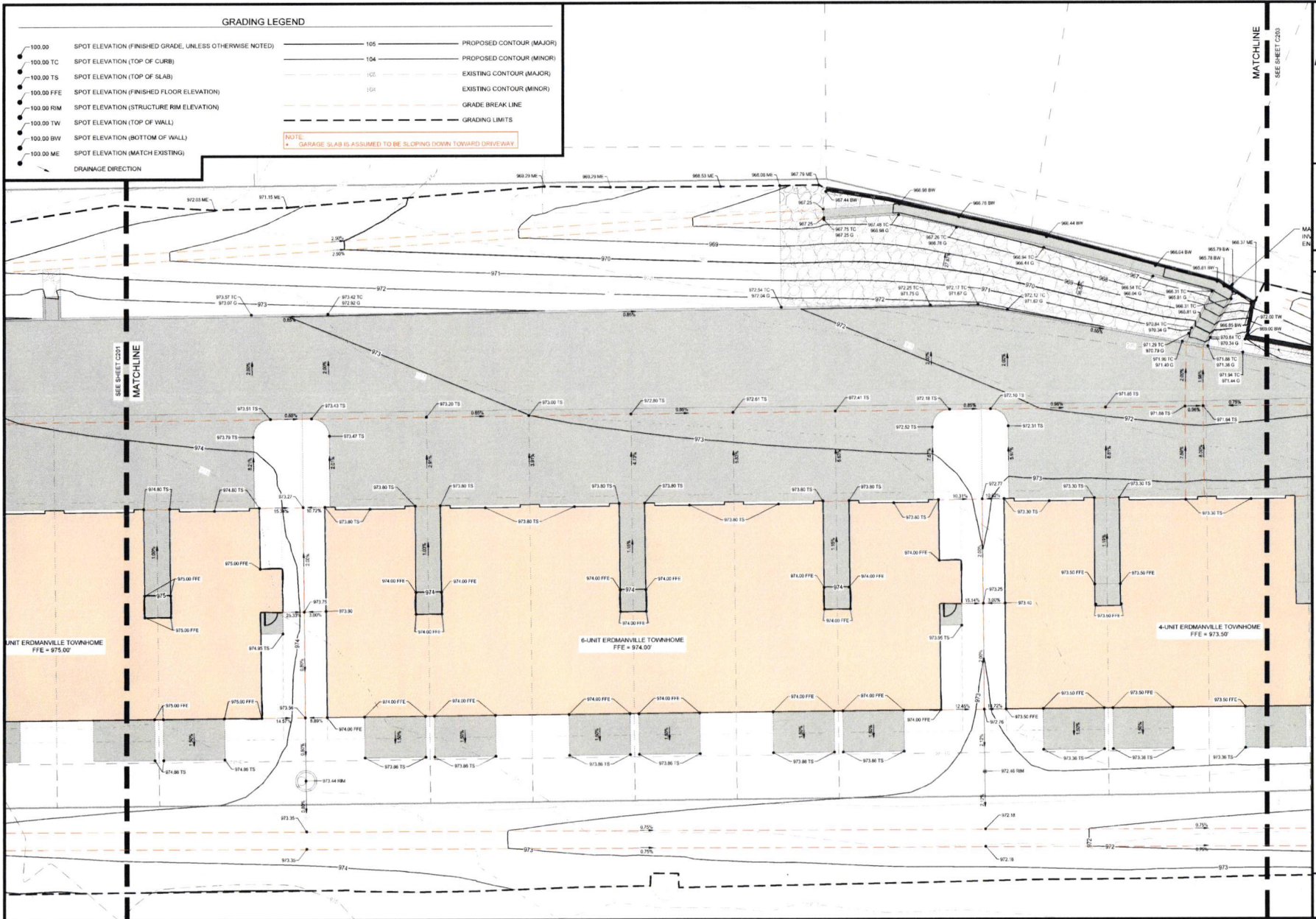
2024060635

ENGINEER DRAWN BY: BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

GRADING PLAN

DRAWING NO.
C201



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IOWA CERTIFICATE OF AUTHORITY NO. 26887

REVISIONS

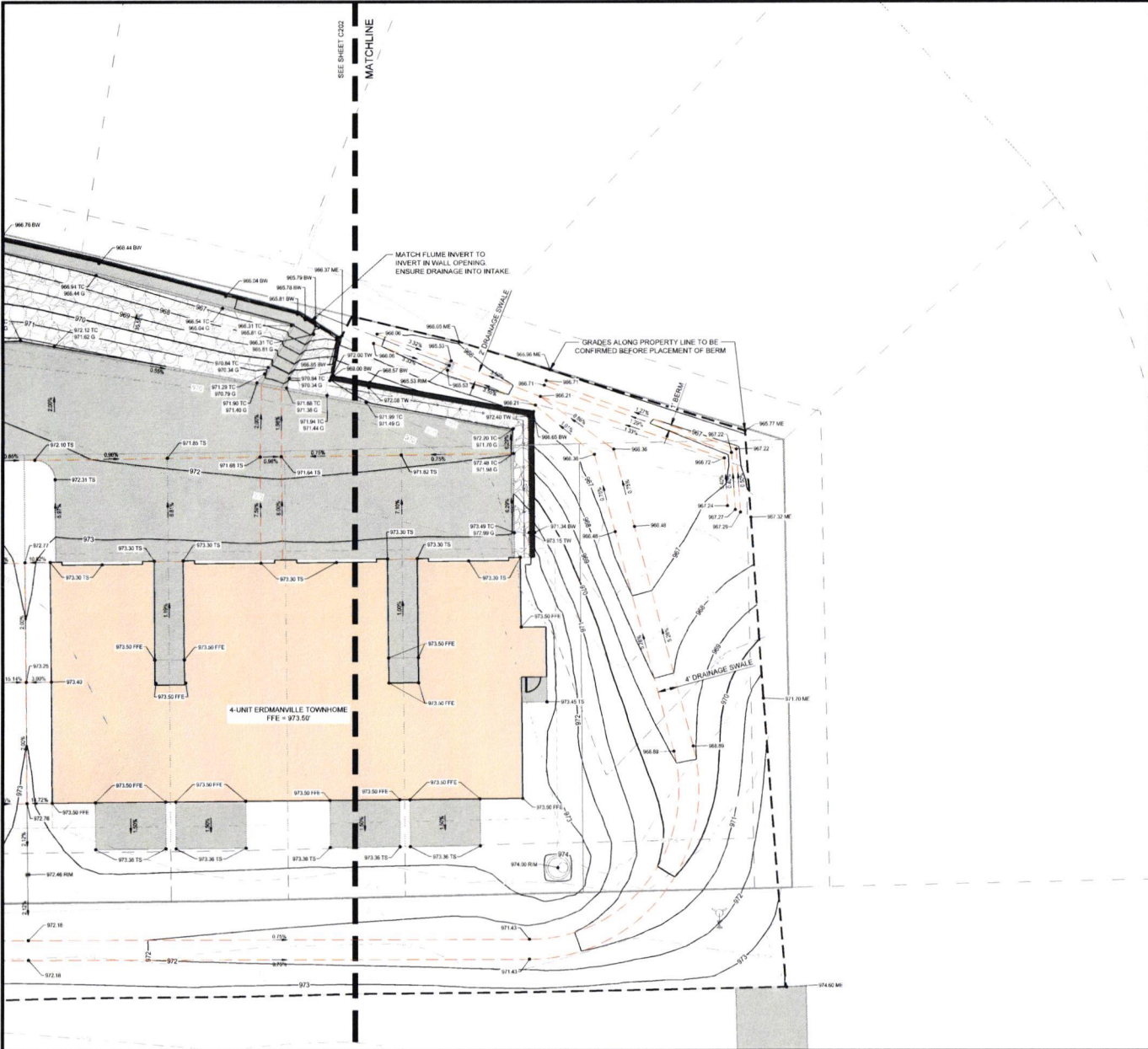
PROJECT INFO
 202406035

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

**2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040**

GRADING PLAN

DRAWING NO.
C202



GRADING LEGEND

- 105 — PROPOSED CONTOUR (MAJOR)
- 104 — PROPOSED CONTOUR (MINOR)
- - - 105 - - - EXISTING CONTOUR (MAJOR)
- - - 104 - - - EXISTING CONTOUR (MINOR)
- - - - - GRADE BREAK LINE
- 100.00 SPOT ELEVATION (FINISHED GRADE, UNLESS OTHERWISE NOTED)
- 100.00 TC SPOT ELEVATION (TOP OF CURB)
- 100.00 TS SPOT ELEVATION (TOP OF SLAB)
- 100.00 FFE SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 100.00 RM SPOT ELEVATION (STRUCTURE RIM ELEVATION)
- 100.00 TW SPOT ELEVATION (TOP OF WALL)
- 100.00 BW SPOT ELEVATION (BOTTOM OF WALL)
- 100.00 ME SPOT ELEVATION (MATCH EXISTING)
- DRAINAGE DIRECTION

NOTE:
 * GARAGE SLAB IS ASSUMED TO BE SLOPING DOWN TOWARD DRIVEWAY
 * ADJUST UTILITY POLE TO GRADE

CUT AND FILL REPORT	
VOLUME SUMMARY	
CUT FACTOR	1.00
FILL FACTOR	1.15
2D AREA (SQ. FT.)	90,691.66
CUT (CU. YD.)	363.95
FILL (CU. YD.)	3,331.88
NET (CU. YD.)	2,967.93

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IOWA CERTIFICATE OF AUTHORITY NO. 26867

10 5 0 10

REVISIONS

PROJECT INFO
 202400630

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

GRADING PLAN

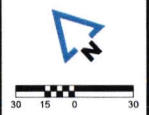
T:\2024\06\1520-2ND AVENUE SE\CONSTRUCTION\DOCUMENTS\202400630 GRADING

DRAWING NO.
C203

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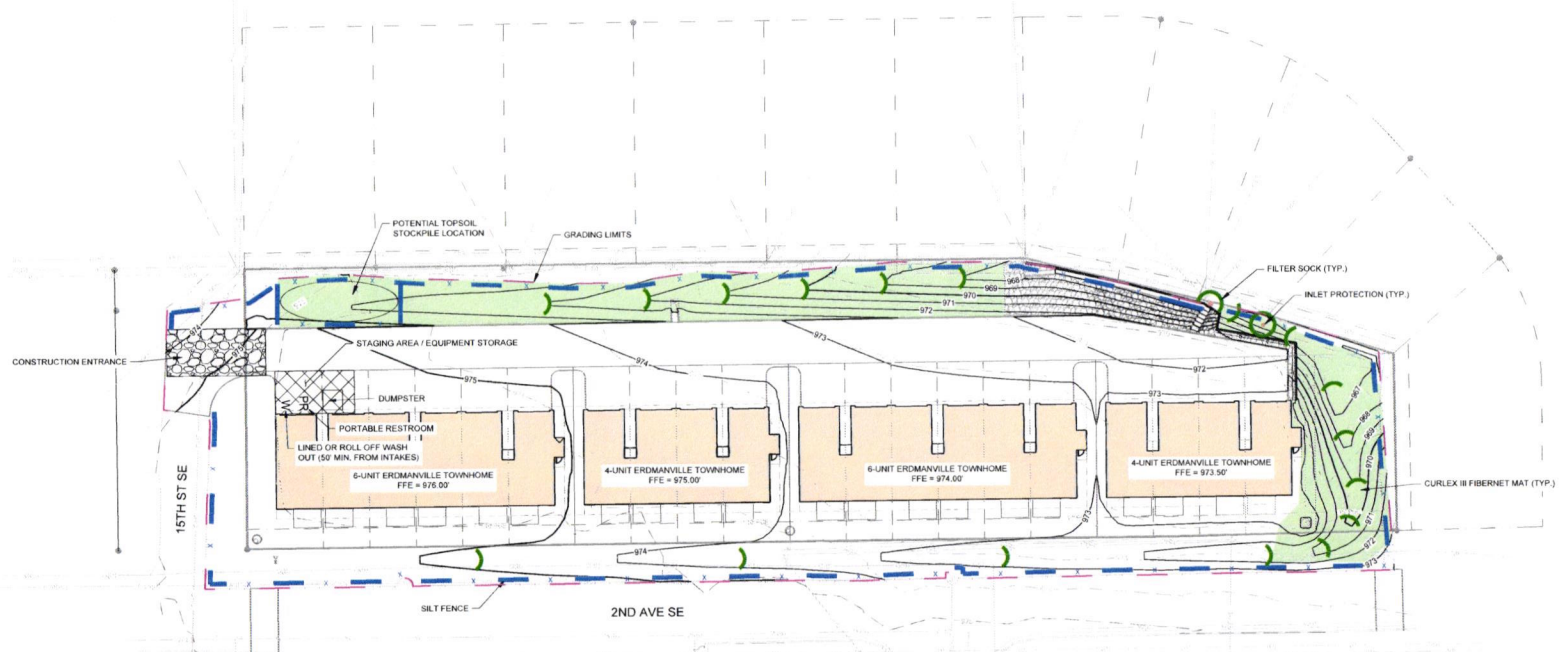
NOTICE:
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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

PROJECT INFO
 2024060635
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME



- NOTES**
1. ALL DERRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
 2. MINIMUM TOPSOIL RESPIREAD REQUIREMENT OF 60% WILL BE MET WITH SUDAS SPEC 2010. FOR ON-SITE TOPSOIL FOR ALL DISTURBED AREAS REQUIRING TEMPORARY STABILIZATION, SODDING FOR EROSION CONTROL SHALL BE USED.
 3. OWNER RESPONSIBLE FOR MAINTENANCE COSTS AND PRACTICES FOR ALL STORM WATER CONTROL BMPs INSTALLED ON SITE AS PART OF THIS PROJECT. MEASURES SHALL CONFORM TO PRODUCT MAINTENANCE MANUALS CURRENT AT THE TIME OF INSTALLATION.

LEGEND:

	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	9" WATTLE OR FILTER SOCK
	DISCHARGE LOCATION
	CURLEX III FIBERNET MAT

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
EROSION CONTROL PLAN

DRAWING NO.
C204

- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-5" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL.

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 P 319 426-9090

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 Cedar Rapids IA | Fort Dodge IA
 North Liberty IA | Sioux City IA
 Macon MO | Columbia MO
 North Kansas City MO
 Lenexa, KS

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IOWA CERTIFICATE OF AUTHORITY NO. 26887



REVISIONS

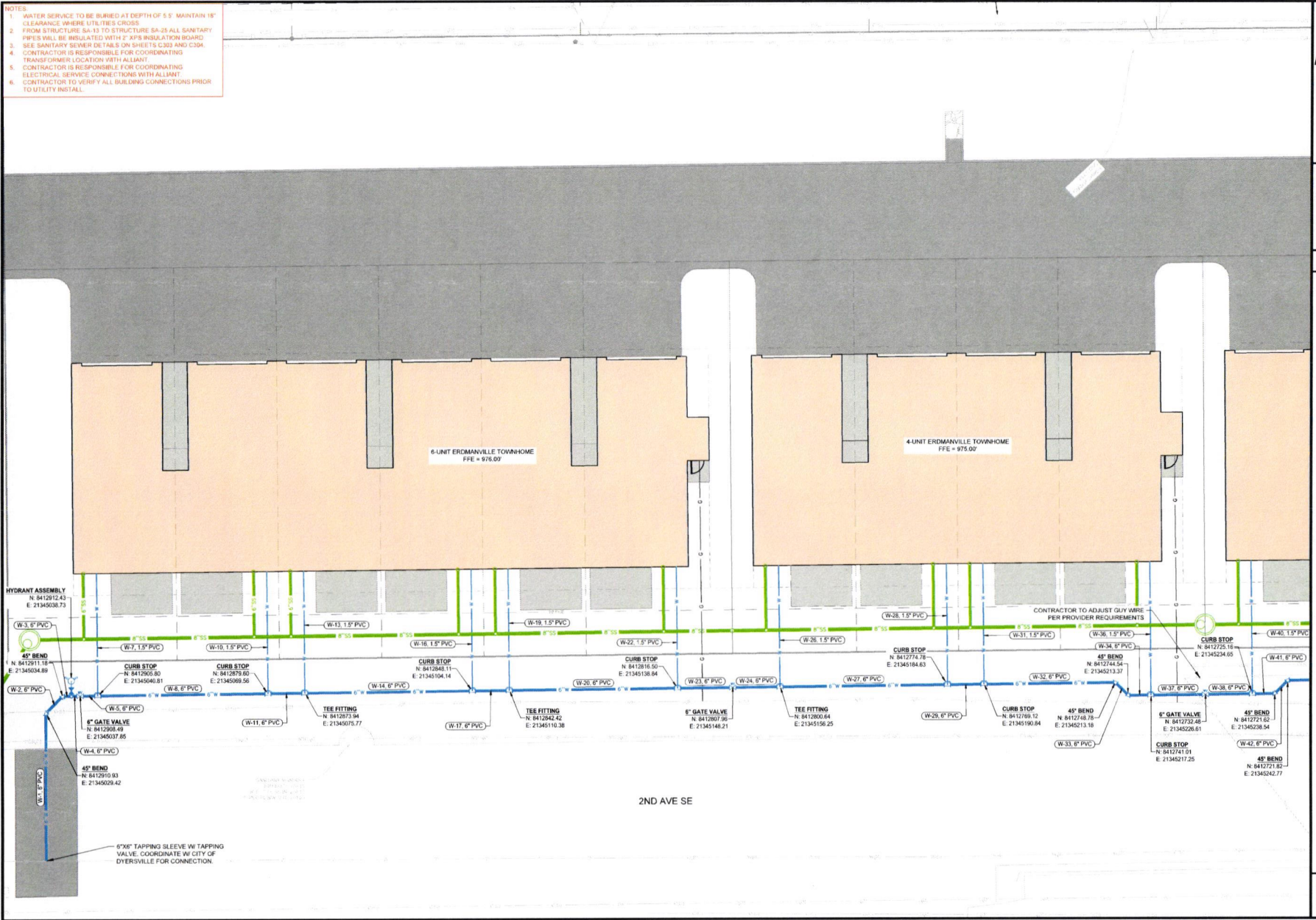
PROJECT #FD
 202406033

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

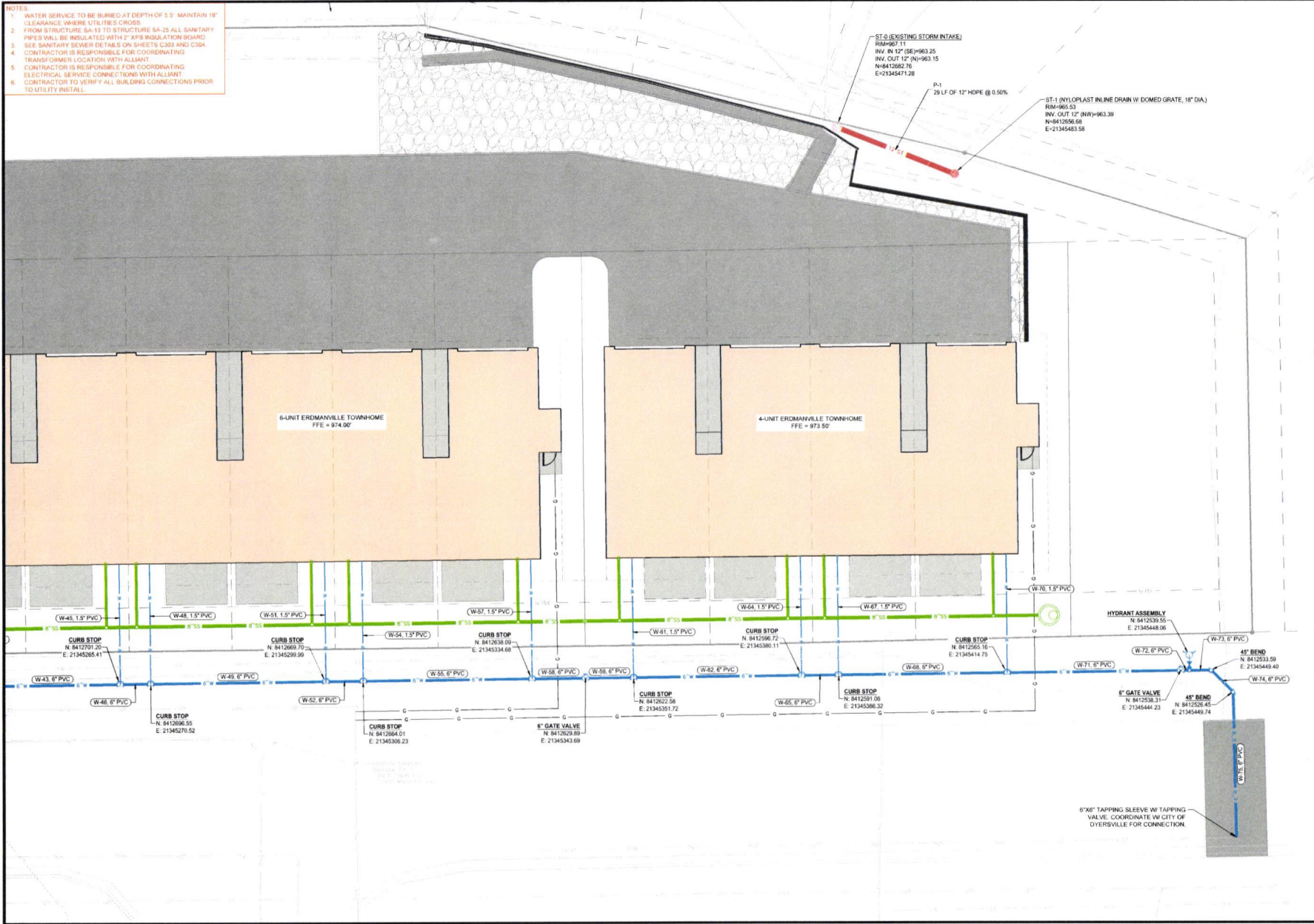
2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

UTILITY PLAN

DRAWING NO.
C301



- NOTES
1. WATER SERVICE TO BE BURIED AT DEPTH OF 5'-0" MAINTAIN 18" CLEARANCE WHERE UTILITIES CROSS
 2. FROM STRUCTURE SA-13 TO STRUCTURE SA-25 ALL SANITARY PIPES SHALL BE INSULATED WITH 2" EPS INSULATION BOARD
 3. SEE SANITARY SEWER DETAILS ON SHEETS C303 AND C304
 4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRANSFORMER LOCATION WITH ALLIANT
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ELECTRICAL SERVICE CONNECTIONS WITH ALLIANT
 6. CONTRACTOR TO VERIFY ALL BUILDING CONNECTIONS PRIOR TO UTILITY INSTALL

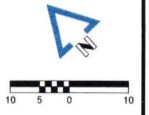


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IOWA CERTIFICATE OF AUTHORITY NO. 26887



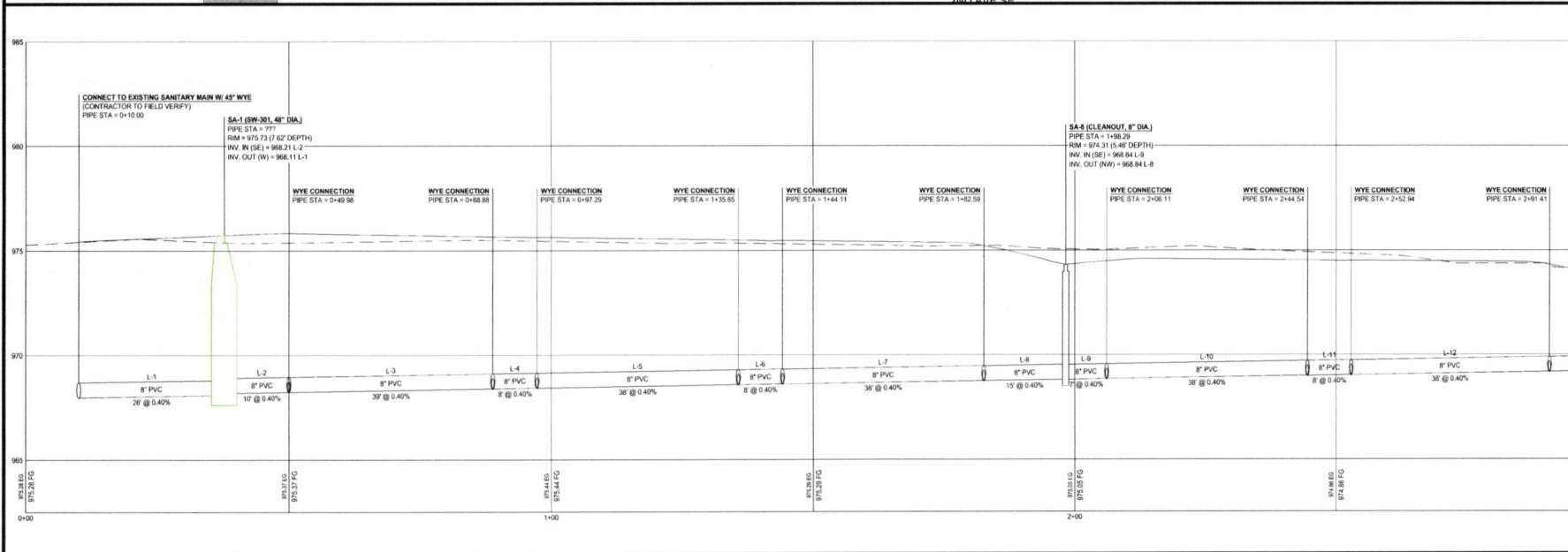
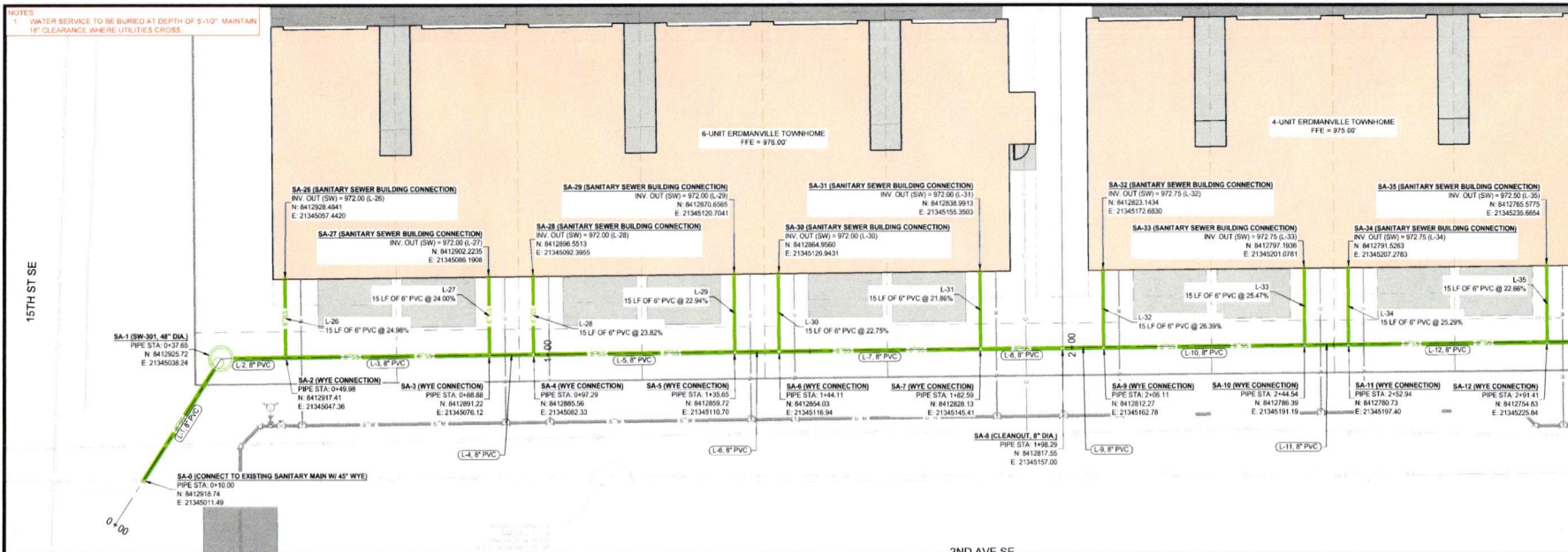
REVISIONS

PROJECT INFO
 202406035

ENGINEER DRAWN BY: CHECKED BY:
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 UTILITY PLAN

DRAWING NO.
C302



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IOWA CERTIFICATE OF AUTHORITY NO. 26867



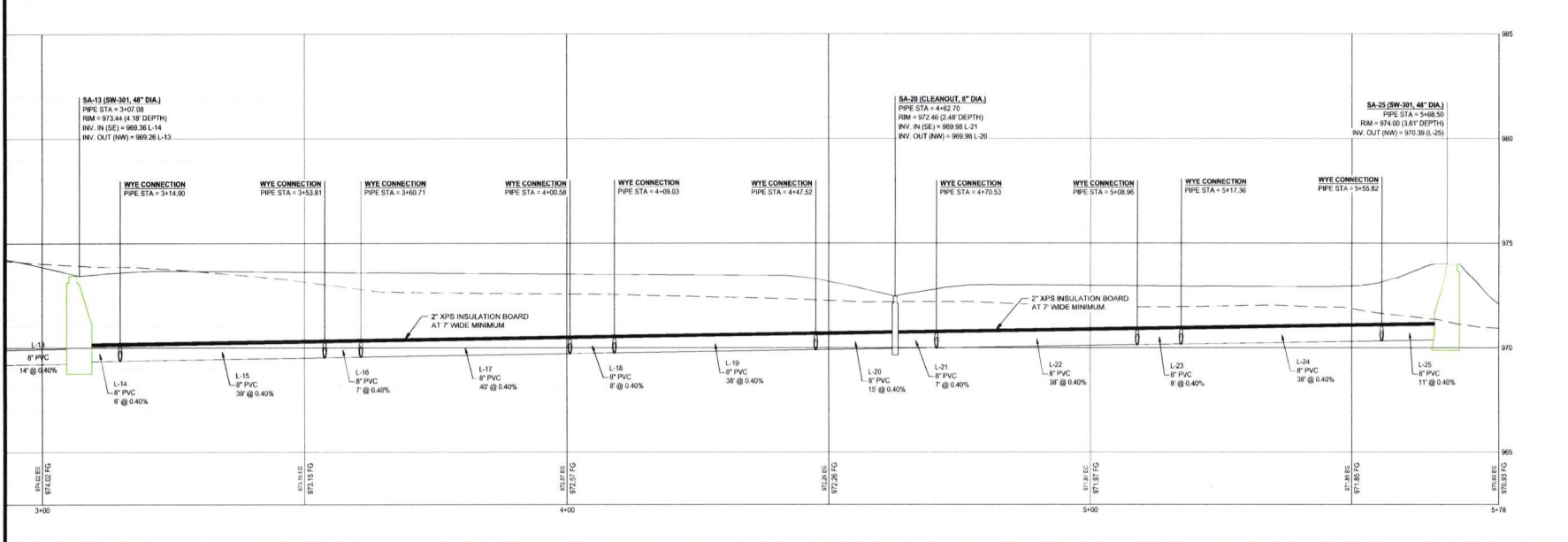
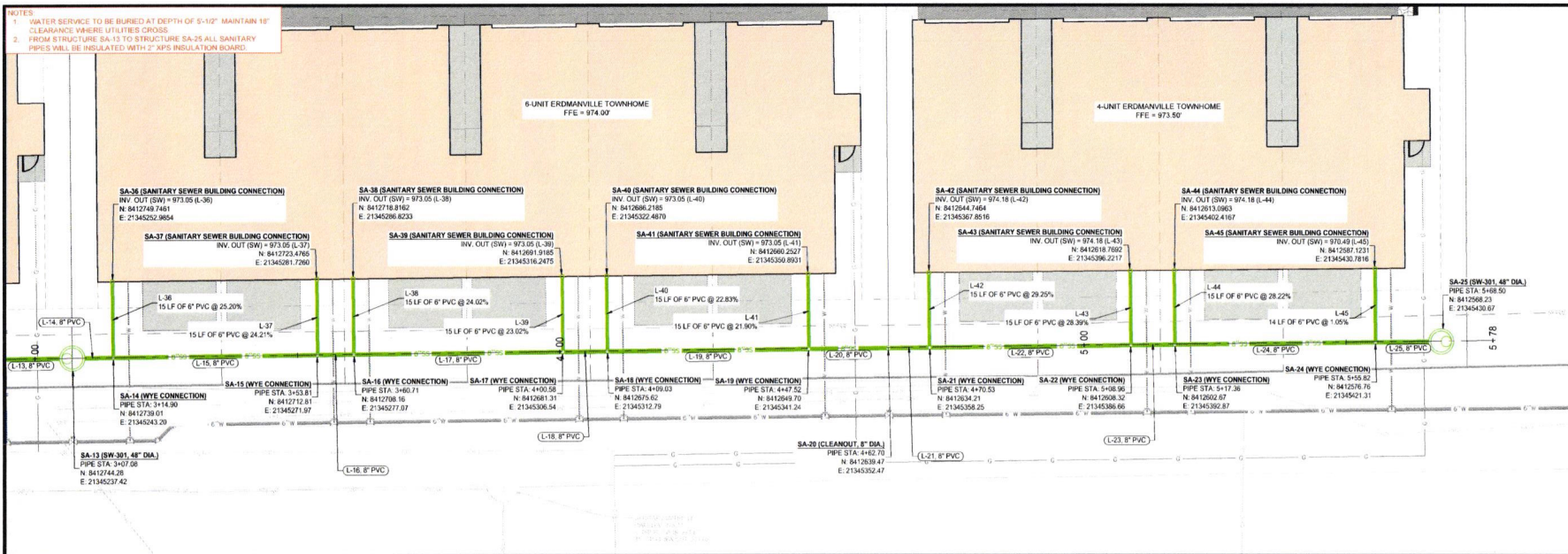
REVISIONS

1	
2	
3	
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PROJECT INFO
 202406033
 ENGINEER DRAWN BY CHECKED BY
 BA OF ME

2ND AVENUE MULTIFAMILY
 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040
 SANITARY SEWER PLAN & PROFILE

DRAWING NO
C303

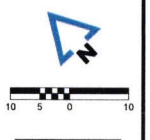


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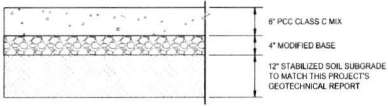
PROJECT INFO
 202406535

ENGINEER DRAWN BY CHECKED BY
 BA OF ME

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 1520 2ND AVENUE SE
 DYERSVILLE, IA 52040

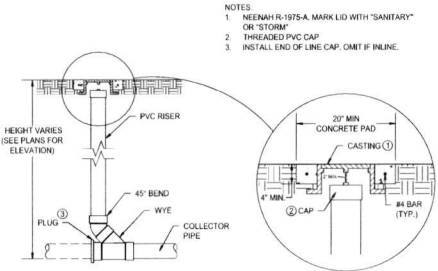
SANITARY SEWER PLAN & PROFILE

DRAWING NO.
C304



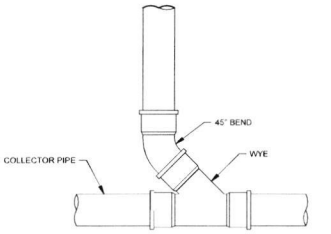
NOTE
PAVEMENT CROSS SECTIONS ARE SUBJECT TO RESULTS OF GEOTECHNICAL REPORT. CONTRACTOR TO VERIFY PAVING THICKNESS WITH PROJECT ENGINEER PRIOR TO INSTALLATION.

LIGHT-DUTY PAVING CROSS SECTION
NOT TO SCALE

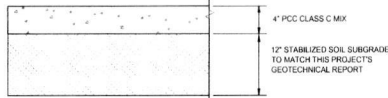


NOTES
1. MECHANICAL R-1975-A MARK LID WITH "SANITARY" OR "STORM"
2. THREADED PVC CAP
3. INSTALL END OF LINE CAP OMIT IF IN LINE.

SANITARY/STORM SEWER CLEANOUT
1/2" = 1'-0"

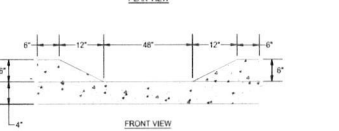
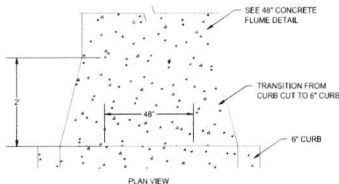


WYE CONNECTION
NOT TO SCALE

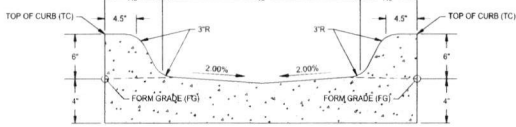


NOTE
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SIDEWALK CROSS SECTION
NOT TO SCALE

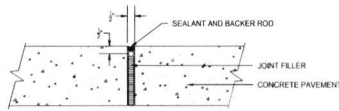


48" WIDE CURB CUT
NOT TO SCALE

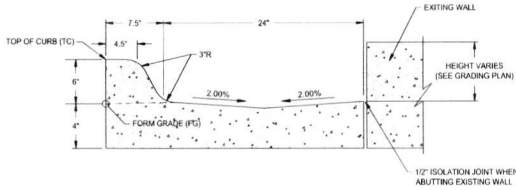


48" CONCRETE FLUME DETAIL
NOT TO SCALE

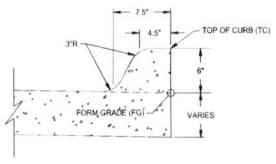
NOTE
JOINT IS FULL DEPTH OF PAVEMENT



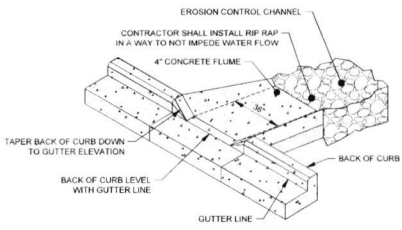
ISOLATION JOINT
3/4" = 1'-0"



24" CONCRETE FLUME DETAIL
NOT TO SCALE



6" STANDARD CURB
NOT TO SCALE



36" CURB CUT AND CONCRETE FLUME
NOT TO SCALE

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IOWA CERTIFICATE OF AUTHORITY NO. 26687

REVISIONS

PROJECT INFO
20240603a
ENGINEER DRAWN BY: CHECKED BY:
BA OF ME

2ND AVENUE MULTIFAMILY
1520 2ND AVENUE SE
DYERSVILLE, IA 52040
DETAILS

DRAWING NO
C501

STONEGATE 4-PLEX

DYERSVILLE, IA

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 652 Greenwood Dr. SW
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STONEGATE 4-PLEX
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 JEFF KETELS
 IOWA

A1.1

TYP. ELEVATION NOTES:

1. THESE ELEVATIONS ARE DIAGNOSTIC ONLY. ALL CRITICAL MEASUREMENTS SHOULD BE VERIFIED. PLANS SHALL HAVE PRECEDENCE OVER ELEVATIONS DRAWINGS NOT TO SCALE.
2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FEATURES OF EXTERIOR APPLICATIONS.
3. TYP. OVERSIZES, UNLESS NOTED OTHERWISE:
 3.1. GARAGE DOORS 4"
 3.2. SILL & CASE 1/2"
 3.3. FLOOR GRABES TO BE 1/2"
4. APPROXIMATE PLACEMENT OF PAUL GREENE PLUMBING APPROX. 1/2" FROM TOP OF FOUNDATION OR FOOTING EXTENSION OF EXTERIOR CORNERS OF "TYPICAL" "TWO-STORY" TRIM BOARD.
5. ROOFING MATERIAL AND TYPE:
 5.1. TOP SPACES: SHINGLES OVER 3/4" COSS APPROX. ROOFING FELT 4" ROOF BEARING SHIRT STYLE 4 COLOR ROOFING W/COSS/GRAIN.
6. FINISH: EXTERIOR WALLS AND CEILING:
 6.1. FINISH: EXTERIOR WALLS AND CEILING: SHIRT STYLE 4 COLOR W/COSS/GRAIN.
7. FINISH: INTERIOR WALLS AND CEILING:
 7.1. FINISH: INTERIOR WALLS AND CEILING: SHIRT STYLE 4 COLOR W/COSS/GRAIN.
8. CEILING: INTERIOR WALLS AND CEILING:
 8.1. FINISH: INTERIOR WALLS AND CEILING: SHIRT STYLE 4 COLOR W/COSS/GRAIN.
9. FINISH: INTERIOR WALLS AND CEILING:
 9.1. FINISH: INTERIOR WALLS AND CEILING: SHIRT STYLE 4 COLOR W/COSS/GRAIN.
10. SURFACE FINISH: INTERIOR LIGHT FIXTURES REQUIRED AT ALL GARAGE ENTRANCES.

FRONT ELEVATION
 SCALE: 1/4" = 1'-0"
 (SEE PLAN SHEET 101)



PROVIDE ATTIC VENTILATION AS REQUIRED FOR LUNG (1.50 ROOF + 1.10 SQ. FT.)

QUICK REFERENCE	
PROJECT NO.	2339
DRAWN BY:	MAP
CHECKED BY:	ATP
PLANNED BY:	OXFORD 30
PROJECT DATE (MM/DD/YY)	08/20/23
FINAL DATE:	
REVISED:	Nov 19, 2023
FRONT & REAR EXTERIOR ELEVATIONS	

REAR ELEVATION
 SCALE: 1/4" = 1'-0"
 (SEE PLAN SHEET 102)



GARAGE DOOR BUCKS HELD IN PLACE CORNER OF METAL TRIM. TRIM CORNER TRIM BOARD.

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 * DCC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



FRONT ELEVATION
 SCALE: 1/8" = 1'-0" (SEE PLAN)
 DATE: 10/19/2025



RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0" (SEE PLAN)
 DATE: 10/19/2025

TYP. ELEVATION NOTES:

1. THESE ELEVATIONS ARE DIAGNOSTIC ONLY. ALL DIMENSIONS, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL HAVE PRECEDENCE OVER ELEVATION DIMENSIONS AT SCALE.
2. GENERAL CONTRACTOR TO VERIFY COLOR & DECORATIVE FEATURES OF EXTERIOR APPLICATIONS.
3. TYP. COVERINGS, UNLESS NOTED OTHERWISE:
 - a. SIDING: SHIP LAP
 - b. SHIMS: SHIP LAP
 - c. PORCH: SHIP LAP
4. APPROXIMATE PLACEMENT OF PAUL GREENE HANGING ALPHAS AT 1/2" FROM TOP OF ROOF LINE OR PROJECTIONS OF EXTERIOR CORNERS OF METAL. SOCIAL "IN-THE-ROOF" TRIM OVER SHIM.
5. ROOFING MATERIALS:
 - a. TOP GABLE: SHIP LAP OVER SHIM
 - b. APPROX. ROOFING: 1/2" ROOF BEARING SHIP LAP STYLE COLOR W/COGNAC
6. FINISH: SHIP LAP MATERIALS:
 - a.1. FACIAL AND SHIP LAP: SHIP LAP STYLE & COLOR W/COGNAC
7. SIDING MATERIALS:
 - a.1. SHIP LAP: SHIP LAP STYLE & COLOR W/COGNAC
 - a.2. SHIP LAP: SHIP LAP STYLE & COLOR W/COGNAC
 - a.3. SHIP LAP: SHIP LAP STYLE & COLOR W/COGNAC
8. GUTTER: SHIP LAP, SHIP LAP USE:
 - a.1. SHIP LAP: SHIP LAP STYLE W/COGNAC (METAL FINISH - MANUFACTURED SPECIFY)
9. TRIM: SHIP LAP MATERIALS:
 - a.1. SHIP LAP: SHIP LAP STYLE W/COGNAC (METAL FINISH - MANUFACTURED SPECIFY)
10. SURFACE FINISH: UNLESS NOTED OTHERWISE, ALL SURFACE FINISHES TO BE AS SHOWN.



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CONTRACTOR'S OBLIGATION TO VERIFY DIMENSIONS
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 CONSTRUCTION

STONEGATE 4-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

QUICK REFERENCE

PROJECT NO.	25390
DRAWN BY:	MAP
CHECKED BY:	MAP
PREPARED BY:	EXTENSIVE
PREPARED DATE:	NOVEMBER 14, 2025
FINAL DATE:	
REVISION:	
PRINTED:	Nov 19, 2025

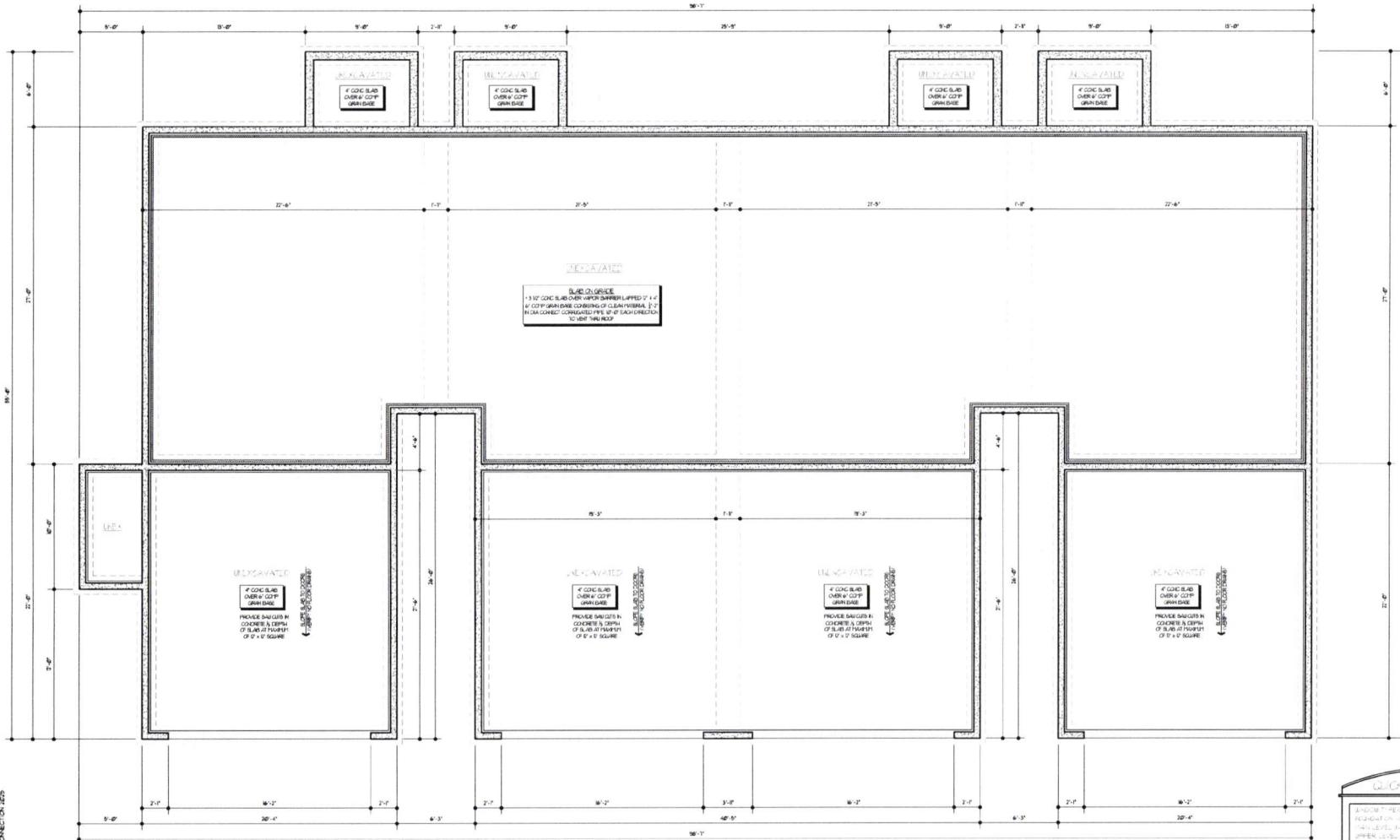
RIGHT & LEFT
 EXTERIOR ELEVATIONS
A1.2

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ROOF COORDINATION NOTES:

1. NETWORKS PER WALL SECTION ON SEE R.C. 404.02.31 OR 404.02.32
2. TYPICAL ROOFER'S FINISH ROOFING SIZE (FROM DIMENSIONALITY)
3. FINISH ROOFING:
 - a. # 1/2" JACO
 - b. # 1/4" JACO
4. COORDINATE ALL ROOFING REPLICATIONS AND REVISIONS WITH FINAL SPACE WHEN REQUIRED. PROVIDE PROTECTION OF FIN.
5. ADJUSTED SOIL BEARING AND PER FR. CONTRACTOR TO VERIFY CONDITIONS.

5. FOUNDATION TO BE SEALED W/
 - a. 1/2" POLYURETHANE FOAM
 - b. 90 GRAIN ROLL ROOFING
 - c. 6" EPS POLYSTYRENE INSULATION
 - d. 6" EPS POLYSTYRENE INSULATION
 - e. 1/2" POLYURETHANE FOAM
6. AT FOUNDATION PROVIDE 2" RIGID PALL BRUSH ON INSIDE FACE OF WALL FROM ROOFING TO BOTTOM OF CONCRETE SLAB AND BELOW SLAB A DISTANCE OF 4" MIN.



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FOUNDATION PLAN
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 DYERSVILLE, IA 52544
 (515) 281-1111

NOTES:
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QUICK REFERENCE	
PROJECT NO.	23390
DRAWN BY	MM
CHECKED BY	MM
PRELIM DATE	OCTOBER 18, 2023
PRINTING DATE	NOVEMBER 14, 2023
FINAL DATE	
REVISION	
PRINTED	Nov 14, 2023
FOUNDATION PLAN	
A2.0	


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 • TOC IS NOT RESPONSIBLE FOR PRINTS NOT TO SCALE



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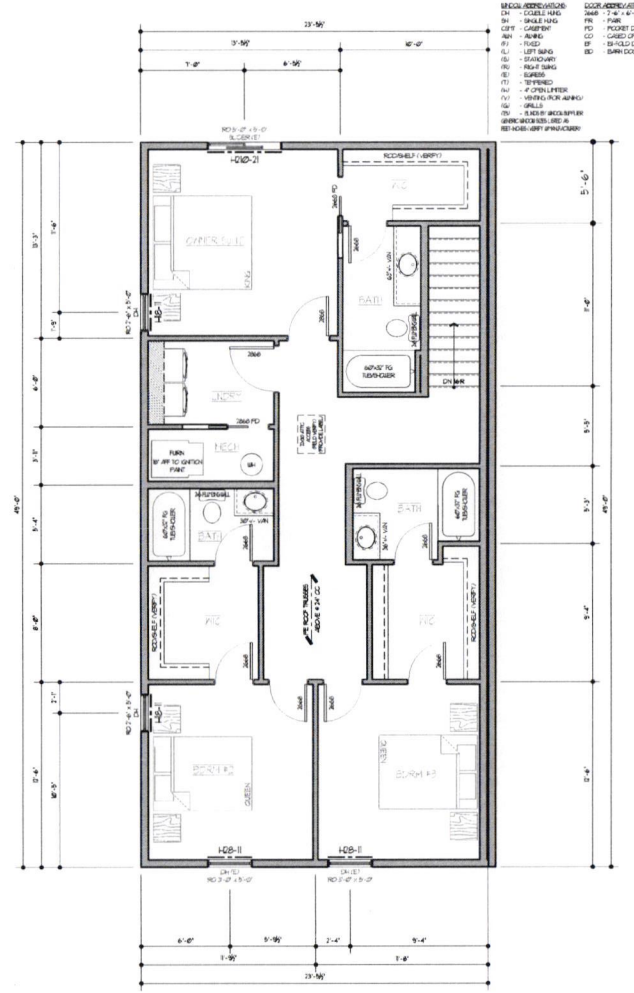
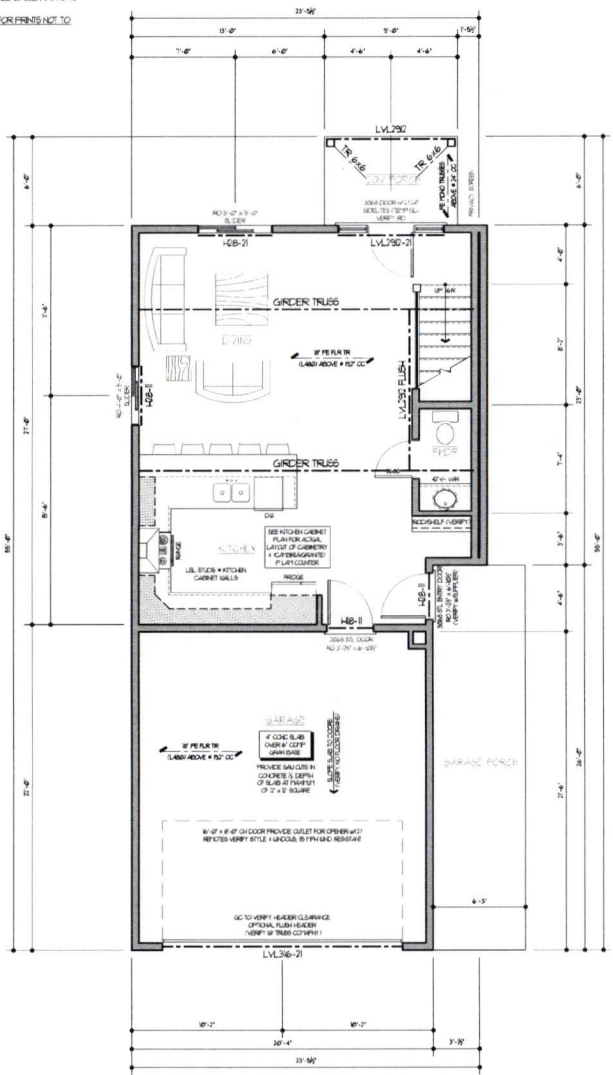
DISCLAIMER:
 THE DESIGN CONNECTION HAS PREPARED THESE PLANS FOR THE PROJECT DESCRIBED HEREIN. THE DESIGN CONNECTION DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGN CONNECTION IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CONSTRUCTION COSTS OR DELAYS. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE DESIGN CONNECTION SHALL NOT BE LIABLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

PRICING REVIEW
 NOT FOR CONSTRUCTION

STONEGATE 4-PLEX
 1520 2ND AVE SE
 DYERSVILLE
 JEFF KETELS

PROJECT: 25306
 DRAWN BY: MAT
 CHECKED BY: MAT
 PREPARED BY: MAT
 PRELIMINARY: OCTOBER 18, 2015
 PRINTING DATE: NOVEMBER 16, 2015
 FINAL UPDATE:
 REVISION:
 PRINTED: Nov 19, 2015

UNIT PLANS
A3.3



- LEGEND:**
- | | |
|-------------------------|-------------------------|
| 1. COBBLE TILE | 2. 2" x 4" x 8" |
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CONTRACTOR'S PROGRESS ESTIMATE
1

PROJECT: 12th Ave Traffic Signal

DATE: March 30, 2026

OWNER: City of Dyersville, Iowa

ENG: Kirkham Michael
Anthony Bardgett, P.E.
4515 N River Blvd NE, Suite 20
Cedar Rapids, IA 52411

CONTRACT FOR: Traffic Signal

BASE CONTRACT AMOUNT: \$567,934.85

CONTRACTOR: Eastern Iowa Excavating
121 Nixon St. SE, P.O. Box 189
Cascade, IA 52033

REVISED AMOUNT: \$569,664.85

See attached schedule for quantities completed to date.

Total Completed and Stored to Date:	\$44,411.00
Retained 5%:	\$2,220.55
Previous Estimates:	\$0.00
Due the Contractor This Estimate:	\$42,190.45
Percent Complete:	8%

I have reviewed this estimate, and it appears to be correct.

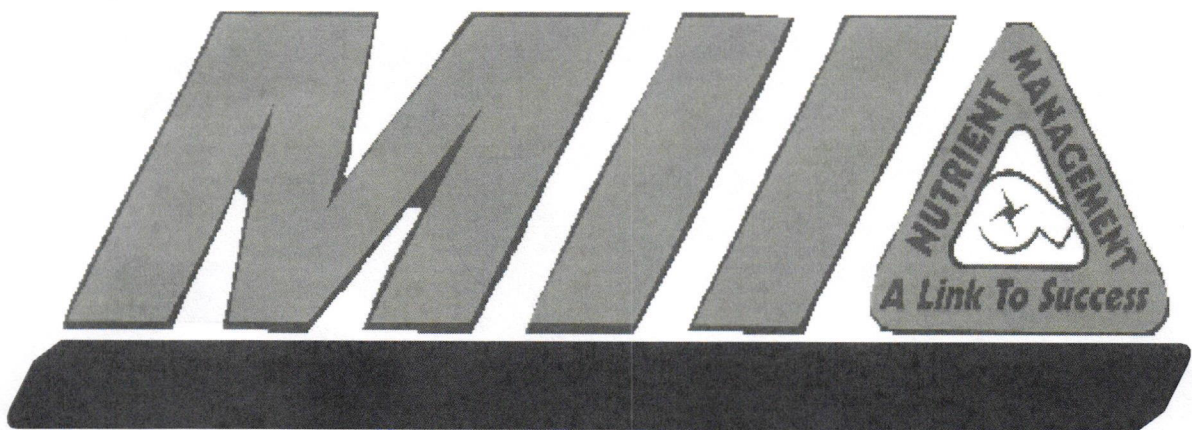
KIRKHAM, MICHAEL & ASSOCIATES

By: Anthony Bardgett

Date: 3-30-26

Approved: _____
(Owner)

Date: _____



**AGRICULTURE * INDUSTRIAL SERVICES
MUNICIPAL WASTE RESIDUALS
TRANSPORTATION*
LAGOON CLEANING * DIGESTERS
LAND APPLICATION**

**Dyersville, IA
Sludge Removal & Land Application**



AGRICULTURE • INDUSTRIAL SERVICES • MUNICIPAL WASTE
RESIDUALS TRANSPORTATION
LAGOON CLEANING • DIGESTERS • LAND APPLICATIONS

1621 McCABE LANE • CASCADE, IA 52033

OFFICE PHONE: 563-852-7125 •

MAILING ADDRESS: PO BOX 141 • CASCADE, IA 52033

Midwest Injection Inc (MII) was established in 2008 by Jake McAllister, CEO. The business started with one drag hose system and has grown to a diversified agriculture, municipal and industrial waste management company. MII will deliver environmentally sound and cost-effective solutions for all your waste residual management needs including but not limited to sludge/biosolids removal and disposal, lagoon and digester cleaning, land application, custom agitation and sludge/biosolids transportation.

MII staff are trained and certified in local, state, and federal regulations. Our staff have completed OSHA and in-house safety training along with DNR certification training. Members of our staff are CAFO and wastewater licensed and have over 100 years of combined experience in environmental compliance, sludge/biosolids removal and land application processes.

MII complies with all EPA and DNR regulations by providing 503 biosolids sampling, solids sampling and soil samples to determine the agronomic rates for land application. All samples are analyzed by an outside certified lab. MII also conducts onsite solids sampling for accurate agronomic land application. We provide sludge sampling and measurement services utilizing a sludge judge and a sonic boat. Our environmental compliance staff will provide Best Management Plans and annual reports.

MII utilizes specialized and well-maintained equipment for all projects. Our fleet of equipment is ready to tackle jobs of all sizes. We are licensed to haul biosolids, lime, sludge and manure products. Our equipment includes umbilical hose systems, tanks, vac trucks, state of the art pumps, loaders, and spreaders for dry application. Our pumping systems can be used with either till or no-till injection or surface application. The fleet of specialized equipment is equipped to reduce soil compaction and increase soil filtration. We monitor the quality of our land application by providing certified flow meter readings to ensure the best outcome.

Company Contact Information:

Midwest Injection Inc.
Tax ID # 26-4136685
1621 McCabe Lane
Cascade, IA 52033
563-852-7125

Jake McAllister, CEO



AGRICULTURE • INDUSTRIAL SERVICES • MUNICIPAL WASTE
RESIDUALS TRANSPORTATION
LAGOON CLEANING • DIGESTERS • LAND APPLICATIONS

Project References:

Company Name: City of Ada
Company Address: 512 N. Stockton St., Ada, OK 74820
Company Contact: Pam McKinzie, Purchasing Director
Phone Number: 580-436-6300 X 256

Annually 2021-2023

Removal and land application of sludge from holding tank, approximately 900,000 gallons annually. Using Tractor/Houle 6000 gallon tank.

Company Name: City of Newcastle
Company Address: Newcastle, WY
Company Contact: Kole Schell, Engineering Associates
Phone Number: 307-283-3633

Removal and land application of dried biosolids. Approximately 21,000 Wet tons.

Company Name: Jones County Solid Waste Management Commission
Company Address: 13859 Edinburg Road, Scotch Grove, IA 52310
Company Contact: Karl
Phone Number: 563-487-5160

Annually 2022-2027

Daily transfer of solid waste from Jones County Solid Waste transfer station to certified landfill.

Company Name: City of Anamosa
Company Address: Anamosa, IA
Company Contact: Steve Agnitsch
Phone Number: 319-558-8335

Hauling and land application of dried biosolids..

Company Name: City of Atchison WWTF
Company Address: Atchison, KS
Company Contact: Jim Owens, Plant Manager
Phone Number: 913-367-5566

Removal and land application of approximately 720,000 gallons of biosolids annually. Using a 6000-gallon Houle tank.



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RESIDUALS TRANSPORTATION
LAGOON CLEANING • DIGESTERS • LAND APPLICATIONS

EMPLOYEE CONTACTS & QUALIFICATIONS:

Jake McAllister, CEO

jake@midwestinjection.com

Mobile: 563-599-4122

Iowa Commercial Manure Applicator Certification

Missouri Class B CAFO Certification

OSHA 10 Hour Certification

18 years of experience in waste handling, land application and project management.

Jamie Recker, Manager

jamie@midwestinjection.com

Mobile: 319-481-7681

27 years of experience in Project, Operational and Executive Management.

Chad Snapp, Municipal Operations Superintendent

chad@midwestinjection.com

Mobile: 660-748-8499

Iowa Commercial Manure Applicator Certification

Missouri Class A CAFO Certification

Missouri Class D Wastewater Certification

OSHA 40 Hour Certification

BSS in Power Technology

33 years of experience in waste handling, land application and project management.



AGRICULTURE • INDUSTRIAL SERVICES • MUNICIPAL WASTE
RESIDUALS TRANSPORTATION
LAGOON CLEANING • DIGESTERS • LAND APPLICATIONS

1621 McCABE LANE • CASCADE, IA 52033

563-852-7125 • 563-852-6005 fax • 563-599-4122

MAILING ADDRESS: PO BOX 141 • CASCADE, IA 52033

2/15/2026

RE: Sludge Cake Removal & Land Application

Thank you for the opportunity to submit a quote

Scope of Services

Biosolids removal and land application services and the normal labor, equipment, supplies, and supervision as it so relates to such items per the RFP specs & drawings.

Pricing

Midwest Injection proposes the following lump sum price for the scope of services:

\$12,900.00 for up to 450 tons & \$47.45 per ton for anything over 450 tons.

Bid Assumptions:

- Bonding is not included in bid.
- Annual testing, analysis & reporting is included.
- Price will increase 3% annually.

Commencement of work can be scheduled upon receipt of an executed purchase agreement.

This proposal is valid for 30 days from the date of this proposal. Mobilization is included.

We appreciate the opportunity to submit this quote for your project and look forward to working with you. Attached is our company biography, references, and qualifications. You can also visit with us at www.midwestinjection.com and like us on Facebook.

Sincerely,

Jake McAllister, CEO
Midwest Injection, Inc.

City of Dyersville

340 1st Avenue East, Dyersville, Iowa 52040 • Phone: 563-875-7724 • Fax: 563-875-8238
www.cityofdyersville.com

Treasurer's Report

February, 2026

Bank balance	Petty Cash	General Checking	Community Savings Bank	Flex Spending Savings	Fidelity Bank HRA Checking	Fidelity Bank Police Forfeiture	Library Trust	TOTAL
Account #'s	001-1-100	001-1-102 1-103	001-1-1105	001-1-112	001-1-1140	128-1-1104	002-1-110	
Balance per bank (Ending Balance)	\$ 100.00	\$ 6,479,886.82	\$ 100,705.87	\$ 7,232.84	\$ 8,534.56	\$ 4,098.65	\$ 108,646.83	\$ 6,709,205.57
Outstanding Deposits		\$ 2,151.26						\$ 2,151.26
Outstanding Other		\$ (37,305.81)						\$ (37,305.81)
Adjustment		\$ (1,033.89)		\$ 138.68			\$ (17.01)	\$ (912.22)
Outstanding Checks		\$ (1,841.40)						\$ (1,841.40)
BANK BALANCE	\$ 100.00	\$ 6,441,856.98	\$ 100,705.87	\$ 7,371.52	\$ 8,534.56	\$ 4,098.65	\$ 108,629.82	\$ 6,671,297.40
Difference Bank / Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Fund:								
001 - General		\$ 393,002.05	\$ 73,700.84	\$ 20,370.49	\$ 8,534.56			\$ 495,607.94
002 - Library Trust		\$ (14,952.24)					\$ 108,629.82	\$ 93,677.58
110 - Road Use Tax		\$ 436,880.52		\$ (2,944.82)				\$ 433,935.70
112 - Trust & Agency		\$ 54,161.00						\$ 54,161.00
121 - Local Option Tax Reserve		\$ 988,497.09	\$ 27,005.03					\$ 1,015,502.12
128 - CDBG / Flood		\$ (478,585.54)				\$ 4,098.65		\$ (474,486.89)
135 - Dyersville TIF District		\$ 3,552,042.01						\$ 3,552,042.01
200 - Debt Service		\$ 4,929,673.91						\$ 4,929,673.91
301 - Capital Improvements		\$ (2,799,386.08)						\$ (2,799,386.08)
600 - Water	\$ 100.00	\$ (1,762,347.80)		\$ (3,310.45)				\$ (1,765,558.25)
601 - Water Sinking Fund		\$ 620,388.20						\$ 620,388.20
602 - Water Capital		\$ 185,376.92						\$ 185,376.92
610 - Sewer		\$ 3,491,958.76		\$ (4,784.32)				\$ 3,487,174.44
611 - Sewer Sinking		\$ (1,784,647.44)						\$ (1,784,647.44)
612 - Sewer Capital		\$ (1,271,016.79)						\$ (1,271,016.79)
670 - Solid Waste		\$ (99,187.59)		\$ (1,959.38)				\$ (101,146.97)
FUND BALANCE	\$ 100.00	\$ 6,441,856.98	\$ 100,705.87	\$ 7,371.52	\$ 8,534.56	\$ 4,098.65	\$ 108,629.82	\$ 6,671,297.40



Dyersville, IA

Bank Statement Register

Item 14.

POOLED CASH-FIDELITY

Period 2/1/2026 - 2/28/2026

Packet: BRPKT00257

Bank Statement		General Ledger	
Beginning Balance	6,342,543.47	Account Balance	6,345,246.28
Plus Debits	584,624.77	Less Outstanding Debits	2,527.29
Less Credits	544,926.01	Plus Outstanding Credits	39,523.24
Adjustments	0.00	Adjustments	0.00
Ending Balance	6,382,242.23	Adjusted Account Balance	6,382,242.23

Statement Ending Balance	6,382,242.23
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

999-1-1030-000 POOLED CASH-FIDELITY

Cleared Deposits

Item Date	Reference	OpenEdge Batch	Merchant	Description	Amount
01/30/2026	DEP0009470	001516 Insite	Mastercard -	CLPKT02206 BG:OP	301.18
02/02/2026	DEP0009485	001517 Insite	Mastercard -	CLPKT02208 BG:OP	223.76
02/02/2026	DEP0009485	001519 Insite	Mastercard -	CLPKT02208 BG:OP	1,067.89
02/02/2026	DEP0009485	001516 Insite	Visa - Insite	CLPKT02208 BG:OP	317.73
02/02/2026	DEP0009485			CLPKT02208 BG:Daily Deposit	1,908.58
02/02/2026	DEP0009485	001518 Insite	Mastercard -	CLPKT02208 BG:OP	295.16
02/03/2026	DEP0009491	001519 Insite	Mastercard -	CLPKT02209 BG:OP	557.92
02/03/2026	DEP0009491	001520 Insite	AmericanExpr	CLPKT02209 BG:OP	2,156.19
02/03/2026	DEP0009491			CLPKT02209 BG:Daily Deposit	3,301.30
02/04/2026	DEP0009494			CLPKT02211 BG:Credit Card	200.00
02/04/2026	DEP0009497			CLPKT02212 BG:Daily Deposit	5,306.32
02/04/2026	DEP0009497			CLPKT02212 BG:Credit Card	2,870.90
02/04/2026	DEP0009497	000710 Point Of Sale	Open Edge	CLPKT02212 BG:Credit Card	178.26
02/04/2026	DEP0009497	001520 Insite	Mastercard -	CLPKT02212 BG:OP	1,015.43
02/04/2026	DEP0009497	001521 Insite	Visa - Insite	CLPKT02212 BG:OP	339.55
02/05/2026	DEP0009500			Utility Reverse Payment Packet UBPKT0	-260.00
02/05/2026	DEP0009503			CLPKT02213 BG:Daily Deposit	5,351.49
02/05/2026	DEP0009503	000711 Point Of Sale	Open Edge	CLPKT02213 BG:Credit Card	331.99
02/05/2026	DEP0009503			CLPKT02213 BG:Credit Card	1,075.11
02/05/2026	DEP0009503	001521 Insite	Mastercard -	CLPKT02213 BG:OP	848.80
02/05/2026	DEP0009503	001522 Insite	Mastercard -	CLPKT02213 BG:OP	2,059.60
02/06/2026	DEP0009509			CLPKT02214 BG:Credit Card	353.11
02/06/2026	DEP0009509	001523 Insite	Visa - Insite	CLPKT02214 BG:OP	232.52
02/06/2026	DEP0009509	001522 Insite	Mastercard -	CLPKT02214 BG:OP	510.55
02/06/2026	DEP0009509			CLPKT02214 BG:Daily Deposit	7,814.27

Cleared Deposits

Item Date	Reference	OpenEdge Batch	Merchant	Description	Amount
02/09/2026	DEP0009512			CLPKT02215 BG:Daily Deposit	11,483.06
02/09/2026	DEP0009512			CLPKT02215 BG:State of Iowa	655.73
02/09/2026	DEP0009512	000713 Point Of Sale	Open Edge	CLPKT02215 BG:Credit Card	250.93
02/09/2026	DEP0009512			CLPKT02215 BG:Credit Card	926.27
02/09/2026	DEP0009512	001526 Insite	Mastercard -	CLPKT02215 BG:OP	91.89
02/09/2026	DEP0009512	001524 Insite	Mastercard -	CLPKT02215 BG:OP	617.68
02/09/2026	DEP0009512	001525 Insite	AmericanExpr	CLPKT02215 BG:OP	1,074.35
02/09/2026	DEP0009512	001523 Insite	Mastercard -	CLPKT02215 BG:OP	874.98
02/10/2026	DEP0009515	001527 Insite	Visa - Insite	CLPKT02216 BG:OP	1,626.57
02/10/2026	DEP0009515	001526 Insite	Visa - Insite	CLPKT02216 BG:OP	53.11
02/10/2026	DEP0009515			CLPKT02216 BG:Credit Card	834.17
02/10/2026	DEP0009515			CLPKT02216 BG:Daily Deposit	1,993.54
02/10/2026	DEP0009515	000714 Point Of Sale	Open Edge	CLPKT02216 BG:Credit Card	42.01
02/11/2026	DEP0009518			CLPKT02217 BG:Credit Card	404.28
02/11/2026	DEP0009518	001527 Insite	Mastercard -	CLPKT02217 BG:OP	98.13
02/11/2026	DEP0009518	001528 Insite	Mastercard -	CLPKT02217 BG:OP	300.48
02/11/2026	DEP0009518			CLPKT02217 BG:Daily Deposit	5,852.40
02/12/2026	DEP0009524	001529 Insite	Discover - Ins	CLPKT02218 BG:OP	303.02
02/12/2026	DEP0009524			CLPKT02218 BG:Daily Deposit	3,972.82
02/12/2026	DEP0009524	001528 Insite	Visa - Insite	CLPKT02218 BG:OP	140.63
02/12/2026	DEP0009524			CLPKT02218 BG:Credit Card	296.82
02/13/2026	DEP0009527	001530 Insite	Mastercard -	CLPKT02219 BG:OP	183.80
02/13/2026	DEP0009527			CLPKT02219 BG:Daily Deposit	2,930.70
02/13/2026	DEP0009527			CLPKT02219 BG:Credit Card	184.23
02/13/2026	DEP0009527	001529 Insite	Mastercard -	CLPKT02219 BG:OP	391.10
02/16/2026	DEP0009530			CLPKT02220 BG:Daily Deposit	3,369.94
02/16/2026	DEP0009530			CLPKT02220 BG:Credit Card	501.52
02/16/2026	DEP0009530	001532 Insite	Mastercard -	CLPKT02220 BG:OP	2,914.82
02/16/2026	DEP0009530	001530 Insite	Mastercard -	CLPKT02220 BG:OP	227.82
02/16/2026	DEP0009530	001533 Insite	Mastercard -	CLPKT02220 BG:OP	232.52
02/16/2026	DEP0009530	001531 Insite	Mastercard -	CLPKT02220 BG:OP	460.83
02/17/2026	DEP0009536	001534 Insite	Mastercard -	CLPKT02221 BG:OP	599.54
02/17/2026	DEP0009536			CLPKT02221 BG:Daily Deposit	2,836.29
02/17/2026	DEP0009536			CLPKT02221 BG:Credit Card	414.51
02/17/2026	DEP0009536	001533 Insite	Mastercard -	CLPKT02221 BG:OP	60.53
02/18/2026	DEP0009540			CLPKT02222 BG:Credit Card	194.46
02/18/2026	DEP0009540			CLPKT02222 BG:Daily Deposit	15,101.78
02/18/2026	DEP0009540	001535 Insite	Mastercard -	CLPKT02222 BG:OP	71.40
02/18/2026	DEP0009540	001534 Insite	Visa - Insite	CLPKT02222 BG:OP	257.34
02/18/2026	DEP0009540	000715 Point Of Sale	Open Edge	CLPKT02222 BG:Credit Card	342.36
02/18/2026	DEP0009540	001536 Insite	Visa - Insite	CLPKT02222 BG:OP	1,400.61
02/19/2026	DEP0009543			CLPKT02223 BG:Credit Card	35.82
02/19/2026	DEP0009543	000716 Point Of Sale	Open Edge	CLPKT02223 BG:Credit Card	71.40
02/19/2026	DEP0009543			CLPKT02223 BG:Daily Deposit	4,853.27
02/19/2026	DEP0009543	001537 Insite	Discover - Ins	CLPKT02223 BG:OP	832.21

Cleared Deposits

Item Date	Reference	OpenEdge Batch	Merchant	Description	Amount
02/20/2026	DEP0009545			ACH Draft Packet UBPKT02571	168,704.58
02/20/2026	DEP0009548	000718 Point Of Sale	Open Edge	CLPKT02224 BG:Credit Card	159.57
02/20/2026	DEP0009548			CLPKT02224 BG:Credit Card	107.46
02/20/2026	DEP0009548			CLPKT02224 BG:Daily Deposit	5,809.41
02/20/2026	DEP0009548	001538 Insite	Mastercard -	CLPKT02224 BG:OP	3,116.35
02/20/2026	DEP0009548	000717 Point Of Sale	Open Edge	CLPKT02224 BG:Credit Card	114.54
02/20/2026	DEP0009548	001537 Insite	Visa - Insite	CLPKT02224 BG:OP	737.89
02/20/2026	DEP0009551			CLPKT02225 BG:Credit Card	63.08
02/23/2026	DEP0009554	000718 Point Of Sale	Open Edge	CLPKT02226 BG:Credit Card	163.28
02/23/2026	DEP0009554	001539 Insite	Mastercard -	CLPKT02226 BG:OP	620.18
02/23/2026	DEP0009554			CLPKT02226 BG:Daily Deposit	20,896.47
02/23/2026	DEP0009554	001540 Insite	Visa - Insite	CLPKT02226 BG:OP	1,053.94
02/23/2026	DEP0009554			CLPKT02226 BG:Credit Card	1,734.85
02/23/2026	DEP0009554	001538 Insite	Visa - Insite	CLPKT02226 BG:OP	1,398.06
02/24/2026	DEP0009557			Utility Reverse Payment Packet UBPKT0	-37.68
02/24/2026	DEP0009560	001540 Insite	Mastercard -	CLPKT02227 BG:OP	1,656.61
02/24/2026	DEP0009560	001542 Insite	Mastercard -	CLPKT02227 BG:OP	289.01
02/24/2026	DEP0009560	001541 Insite	Mastercard -	CLPKT02227 BG:OP	79.40
02/25/2026	DEP0009563			CLPKT02228 BG:Credit Card	200.00
02/25/2026	DEP0009567			CLPKT02229 BG:Credit Card	793.18
02/25/2026	DEP0009567	001543 Insite	Mastercard -	CLPKT02229 BG:OP	685.08
02/25/2026	DEP0009567	001542 Insite	Visa - Insite	CLPKT02229 BG:OP	296.56
02/25/2026	DEP0009567			CLPKT02229 BG:Daily Deposit	3,212.84
02/25/2026	DEP0009567	000719 Point Of Sale	Open Edge	CLPKT02229 BG:Credit Card	129.57
02/26/2026	DEP0009573			CLPKT02230 BG:Credit Card	588.51
02/26/2026	DEP0009573	000720 Point Of Sale	Open Edge	CLPKT02230 BG:Credit Card	253.08
02/26/2026	DEP0009573			CLPKT02230 BG:Daily Deposit	1,163.63
02/27/2026	DEP0009576			CLPKT02231 BG:Daily Deposit	956.21
02/28/2026	DEP0009705			CLPKT02250 BG:State of Iowa	119,138.02
02/28/2026	DEP0009705			CLPKT02250 BG:Dubuque Cnty Treasur	18,135.27
02/28/2026	DEP0009705			CLPKT02250 BG:ACH Franchise Fee	95,406.27
02/28/2026	DEP0009705			CLPKT02250 BG:Delaware Cnty Treasu	6,064.86
Total Cleared Deposits (102)					562,409.36

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
11/18/2025	22668	Check	Logan Hahn	-57.42
12/15/2025	22704	Check	US BANCORP	-9,410.06
01/19/2026	22723	Check	DUBUQUE CO ABSTRACT & TITLE CO	-150.00
01/28/2026	22732	Check	POSTMASTER	-783.24
02/02/2026	22733	Check	ALLIANT ENERGY	-101.57
02/02/2026	22734	Check	HAGEMAN HOMES LLC	-7,927.00
02/02/2026	22735	Check	HEALTH EQUITY / WAGE WORKS	-426.60

Cleared Checks

Item Date	Reference	Item Type	Description	Amount
02/02/2026	22736	Check	HUISMAN, CHRISTOPHER & HEIDI	-14,696.50
02/02/2026	22737	Check	IOWA MUNICIPAL FINANCE OFFICERS ASS	-100.00
02/02/2026	22738	Check	PITNEY BOWES	-500.00
02/02/2026	22739	Check	PREFERRED HEALTH CHOICES LLC	-340.00
02/02/2026	22740	Check	RELIANCE STANDARD	-799.38
02/03/2026	22741	Check	Julie Pins	-270.51
02/09/2026	22742	Check	ANSTOETTER CONSTRUCTION	-53,000.00
02/16/2026	22743	Check	AMAZON	-4,234.94
02/16/2026	22744	Check	BLUE PATH FINANCE FC IV	-1,931.06
02/16/2026	22746	Check	JCDUB LLC	-3,217.93
02/16/2026	22747	Check	POSTMASTER	-122.00
02/16/2026	22748	Check	SECRETARY OF STATE	-30.00
02/16/2026	22749	Check	VERIZON WIRELESS	-21.06
02/17/2026	22751	Check	The Vibe	-133.45
02/17/2026	22753	Check	Matthew Menard	-159.61
Total Cleared Checks (22)				-98,412.33

Cleared Other

Item Date	Reference	Item Type	Description	Amount
01/02/2026	DFT0003993	Bank Draft	IPERS	-3,503.92
01/02/2026	DFT0003994	Bank Draft	IPERS	-2,603.04
01/02/2026	DFT0003995	Bank Draft	TREASURER STATE OF IOWA	-1,088.47
01/02/2026	DFT0003999	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
01/09/2026	DFT0004002	Bank Draft	IPERS	-3,541.00
01/09/2026	DFT0004003	Bank Draft	IPERS	-2,258.01
01/09/2026	DFT0004004	Bank Draft	TREASURER STATE OF IOWA	-1,054.71
01/09/2026	DFT0004008	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
01/16/2026	DFT0004011	Bank Draft	IPERS	-3,541.58
01/16/2026	DFT0004012	Bank Draft	IPERS	-1,897.33
01/16/2026	DFT0004013	Bank Draft	TREASURER STATE OF IOWA	-920.78
01/16/2026	DFT0004017	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
01/23/2026	DFT0004025	Bank Draft	IPERS	-3,601.16
01/23/2026	DFT0004026	Bank Draft	IPERS	-1,903.43
01/23/2026	DFT0004027	Bank Draft	TREASURER STATE OF IOWA	-939.64
01/23/2026	DFT0004031	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
01/30/2026	DFT0004032	Bank Draft	EMPOWER	-600.00
01/30/2026	DFT0004033	Bank Draft	IPERS	-3,623.37
01/30/2026	DFT0004034	Bank Draft	IPERS	-1,893.27
01/30/2026	DFT0004035	Bank Draft	TREASURER STATE OF IOWA	-980.03
01/30/2026	DFT0004039	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-98.45
02/01/2026	DFT0004059	Bank Draft	WELLMARK	-1,621.18
02/02/2026	APA008738	AP Automation	3E	-4,555.00
02/02/2026	APA008739	AP Automation	ACCESS SYSTEMS	-80.04

Item Date	Reference	Item Type	Description	Amount
02/02/2026	APA008740	AP Automation	ACE HARDWARE	-331.44
02/02/2026	APA008741	AP Automation	BONERT, AJ & CAITLIN	-100.00
02/02/2026	APA008742	AP Automation	CAPITAL SANITARY SUPPLY	-34.84
02/02/2026	APA008743	AP Automation	COMMUNICATIONS ENGINEERING COMPAN	-13,050.80
02/02/2026	APA008744	AP Automation	CRESCENT ELECTRIC SUPPLY	-1,433.11
02/02/2026	APA008745	AP Automation	DUBUQUE HUMANE SOCIETY	-100.00
02/02/2026	APA008746	AP Automation	FIRE SERVICE TRAINING BUREAU	-100.00
02/02/2026	APA008747	AP Automation	GASSMAN, MAGGIE	-100.00
02/02/2026	APA008748	AP Automation	GIANT WASH	-230.10
02/02/2026	APA008749	AP Automation	IOWA ONE CALL	-16.00
02/02/2026	APA008750	AP Automation	JOHN DEERE FINANCIAL	-122.58
02/02/2026	APA008751	AP Automation	JUMBO VISUAL PROJECTION	-600.00
02/02/2026	APA008752	AP Automation	MORTON SALT INC	-5,190.98
02/02/2026	APA008753	AP Automation	MR LOCK & KEY	-7,133.94
02/02/2026	APA008754	AP Automation	OPG-3 INC	-4,494.83
02/02/2026	APA008755	AP Automation	PIRC, JUDY	-100.00
02/02/2026	APA008756	AP Automation	QUILL CORPORATION	-35.00
02/02/2026	APA008757	AP Automation	SIMMERING-CORY IOWA CODIFICATION	-225.00
02/02/2026	APA008758	AP Automation	SPAHN & ROSE LUMBER CO	-126.99
02/02/2026	APA008759	AP Automation	TJ CLEANING SERVICES	-1,050.00
02/02/2026	APA008760	AP Automation	TYLER TECHNOLOGIES	-32,833.50
02/04/2026	Fee	Miscellaneous	Fidelity Bank Chargeback Fee	-10.00
02/04/2026	DFT0004041	Bank Draft	ALLIANT ENERGY	-1,141.57
02/04/2026	DFT0004048	Bank Draft	ALLIANT ENERGY	-46.45
02/05/2026	DFT0004043	Bank Draft	WINDSTREAM	-451.03
02/06/2026	DFT0004049	Bank Draft	EMPOWER	-600.00
02/06/2026	DFT0004050	Bank Draft	MIDWESTONE BANK	-405.75
02/06/2026	DFT0004054	Bank Draft	FIDELITY BANK & TRUST	-4,205.70
02/06/2026	DFT0004055	Bank Draft	FIDELITY BANK & TRUST	-2,872.51
02/06/2026	DFT0004056	Bank Draft	FIDELITY BANK & TRUST	-988.10
02/06/2026	EFT0000258	EFT	Payroll EFT	-25,299.78
02/08/2026	DFT0004044	Bank Draft	VERIZON WIRELESS	-894.58
02/10/2026	DFT0004066	Bank Draft	ALLIANT ENERGY	-13,014.18
02/10/2026	DFT0004082	Bank Draft	MEDICAL ASSOCIATES HEALTH PLAN	-32,218.63
02/13/2026	DFT0004069	Bank Draft	EMPOWER	-600.00
02/13/2026	DFT0004070	Bank Draft	MIDWESTONE BANK	-405.75
02/13/2026	DFT0004074	Bank Draft	FIDELITY BANK & TRUST	-4,233.40
02/13/2026	DFT0004075	Bank Draft	FIDELITY BANK & TRUST	-2,882.27
02/13/2026	DFT0004076	Bank Draft	FIDELITY BANK & TRUST	-994.54
02/13/2026	EFT0000259	EFT	Payroll EFT	-24,984.36
02/16/2026	APA008761	AP Automation	ACCESS SYSTEMS	-475.04
02/16/2026	APA008762	AP Automation	ACE HARDWARE	-49.37
02/16/2026	APA008763	AP Automation	ALLIED SYSTEMS INC	-2,520.00
02/16/2026	APA008764	AP Automation	AUDITOR - STATE OF IOWA	-625.00
02/16/2026	APA008765	AP Automation	BATTERIES PLUS BULBS	-41.90

Item Date	Reference	Item Type	Description	Amount
02/16/2026	APA008766	AP Automation	BELL BANK EQUIPMENT FINANCE	-4,689.80
02/16/2026	APA008767	AP Automation	BERGAN KDV	-20,550.00
02/16/2026	APA008768	AP Automation	BI-COUNTY DISPOSAL INC	-27,445.00
02/16/2026	APA008769	AP Automation	BLACKSTONE PUBLISHING	-167.99
02/16/2026	APA008770	AP Automation	BRUNSMAN, WAYNE	-100.00
02/16/2026	APA008771	AP Automation	CAPITAL SANITARY SUPPLY	-256.44
02/16/2026	APA008772	AP Automation	CARNEGIE-STOUT PUBLIC LIBRARY	-19.95
02/16/2026	APA008773	AP Automation	CENGAGE LEARNING	-313.95
02/16/2026	APA008774	AP Automation	CENTER POINT PUBLISHING	-104.04
02/16/2026	APA008775	AP Automation	CLEMEN, BEV	-100.00
02/16/2026	APA008776	AP Automation	COMPLETE OFFICE OF WISCONSIN	-435.65
02/16/2026	APA008777	AP Automation	COMPUTER DOCTORS INC	-3,354.00
02/16/2026	APA008778	AP Automation	DATA443 RISK MITIGATION, INC	-300.96
02/16/2026	APA008779	AP Automation	DEMME DIRT CO	-4,771.00
02/16/2026	APA008780	AP Automation	DUBUQUE HUMANE SOCIETY	-200.00
02/16/2026	APA008781	AP Automation	DYERSVILLE COMMERCIAL	-516.53
02/16/2026	APA008782	AP Automation	EOCENE ENVIRONMENTAL GROUP	-963.89
02/16/2026	APA008783	AP Automation	FAREWAY STORES INC	-78.24
02/16/2026	APA008784	AP Automation	FL KRAPFL INC	-6,818.36
02/16/2026	APA008785	AP Automation	GIANT WASH	-70.70
02/16/2026	APA008786	AP Automation	GREY HOUSE PUBLISHING	-190.00
02/16/2026	APA008787	AP Automation	HANSEL CLEANING SERVICES LLC	-1,000.00
02/16/2026	APA008788	AP Automation	HAWKINS WATER TREATMENT	-2,099.02
02/16/2026	APA008789	AP Automation	HENDERSON TRUCK EQUIPMENT	-2,154.67
02/16/2026	APA008790	AP Automation	HOGAN HANSEN	-7,000.00
02/16/2026	APA008791	AP Automation	HOOPLA BY MIDWEST TAPE	-906.82
02/16/2026	APA008792	AP Automation	INGRAM LIBRARY SERVICES	-2,059.45
02/16/2026	APA008793	AP Automation	IOWA DEPT OF PUBLIC SAFETY	-600.00
02/16/2026	APA008794	AP Automation	IOWA ONE CALL	-39.40
02/16/2026	APA008795	AP Automation	J & J LAWN CARE	-6,437.50
02/16/2026	APA008796	AP Automation	JAY THIER PAINTING	-5,630.00
02/16/2026	APA008797	AP Automation	JOHN DEERE FINANCIAL	-40.95
02/16/2026	APA008798	AP Automation	KANOPI INC	-31.00
02/16/2026	APA008799	AP Automation	KRAMER-MORRIS FUNERAL HOME	-100.00
02/16/2026	APA008800	AP Automation	MAIERS, TRICIA	-40.21
02/16/2026	APA008801	AP Automation	MEDICAL ASSOCIATES CLINIC	-60.00
02/16/2026	APA008802	AP Automation	MICROBAC LABORATORIES	-2,398.25
02/16/2026	APA008803	AP Automation	MIDWEST BREATHING AIR LLC	-205.25
02/16/2026	APA008804	AP Automation	MORTON SALT INC	-5,497.62
02/16/2026	APA008805	AP Automation	ONE STEP	-1,871.17
02/16/2026	APA008806	AP Automation	OVERDRIVE	-878.39
02/16/2026	APA008807	AP Automation	PLAYAWAY PRODUCTS	-67.89
02/16/2026	APA008808	AP Automation	POLYDYNE INC	-3,114.00
02/16/2026	APA008809	AP Automation	QUILL CORPORATION	-107.22
02/16/2026	APA008810	AP Automation	RACO MANUFACTURING	-4,612.50

Item Date	Reference	Item Type	Description	Amount
02/16/2026	APA008811	AP Automation	RICK'S LAWN MOWING & SNOW REMOVAL	-5,086.00
02/16/2026	APA008812	AP Automation	TJ CLEANING SERVICES	-912.50
02/16/2026	APA008813	AP Automation	UNITY POINT CLINIC - OCCUPATIONAL MEI	-89.00
02/16/2026	APA008814	AP Automation	VIERKANT, OLIVIA	-100.00
02/17/2026	DFT0004065	Bank Draft	ALLIANT ENERGY	-6,645.51
02/19/2026	DFT0004058	Bank Draft	T MOBILE	-194.13
02/20/2026	DFT0004060	Bank Draft	WEX BANK	-4,387.83
02/20/2026	DFT0004061	Bank Draft	TREASURER STATE OF IOWA	-2,094.16
02/20/2026	DFT0004062	Bank Draft	TREASURER STATE OF IOWA	-4,718.00
02/20/2026	DFT0004083	Bank Draft	EMPOWER	-600.00
02/20/2026	DFT0004084	Bank Draft	MIDWESTONE BANK	-405.75
02/20/2026	DFT0004088	Bank Draft	FIDELITY BANK & TRUST	-4,206.48
02/20/2026	DFT0004089	Bank Draft	FIDELITY BANK & TRUST	-2,861.89
02/20/2026	DFT0004090	Bank Draft	FIDELITY BANK & TRUST	-988.26
02/20/2026	EFT0000260	EFT	Payroll EFT	-24,816.93
02/22/2026	DFT0004093	Bank Draft	XTREAM / MEDIACOM	-96.68
02/23/2026	DFT0004064	Bank Draft	BLACK HILLS ENERGY	-4,976.98
02/24/2026	DFT0004063	Bank Draft	IMON COMMUNICATIONS LLC	-1,005.00
02/25/2026	DFT0004067	Bank Draft	WINDSTREAM	-128.31
02/26/2026	DFT0004078	Bank Draft	VISA	-2,048.55
02/27/2026	DFT0004097	Bank Draft	MIDWESTONE BANK	-405.75
02/27/2026	DFT0004101	Bank Draft	FIDELITY BANK & TRUST	-4,221.26
02/27/2026	DFT0004102	Bank Draft	FIDELITY BANK & TRUST	-2,872.69
02/27/2026	DFT0004103	Bank Draft	FIDELITY BANK & TRUST	-991.66
02/27/2026	EFT0000261	EFT	Payroll EFT	-24,917.52
02/28/2026	22704	Check Reversal	US BANCORP Reversal	9,410.06
02/28/2026	Interest	Interest	INTEREST	8,225.13
02/28/2026	Transfer	Miscellaneous	Library Trust Transfer	4,282.54
Total Cleared Other (142)				-424,298.27

Outstanding Deposits

Item Date	Reference	OpenEdge Batch	Merchant	Description	Amount
02/28/2023	DEP0005791			CLPKT01341 BG:Credit Card	562.09
02/26/2026	DEP0009573	001544 Insite	Mastercard -	CLPKT02230 BG:OP	207.88
02/27/2026	DEP0009576	001545 Insite	Mastercard -	CLPKT02231 BG:OP	388.87
02/27/2026	DEP0009576			CLPKT02231 BG:Credit Card	342.87
02/27/2026	DEP0009576	000721 Point Of Sale	Open Edge	CLPKT02231 BG:Credit Card	133.99
02/27/2026	DEP0009576	001544 Insite	Mastercard -	CLPKT02231 BG:OP	515.56
Total Outstanding Deposits (6)					2,151.26

Outstanding Checks

Item Date	Reference	Item Type	Description	Amount
10/02/2023	21927	Check	GIANT WASH	-41.25
10/16/2023	22004	Check	OYLA MAGAZINE INC	-84.00
12/15/2025	22702	Check	IOWA MUNICIPAL FINANCE OFFICERS ASSI	-75.00
01/19/2026	22724	Check	IOWA MUNICIPAL FINANCE OFFICERS ASSI	-75.00
02/16/2026	22745	Check	IOWA PARKS & RECREATION ASSOCIATIO	-275.00
02/17/2026	22750	Check	Stacie Demmer	-11.41
02/17/2026	22752	Check	Kody Gaul	-157.08
02/17/2026	22754	Check	Laney Demmer	-158.76
02/17/2026	22755	Check	Ashlee Ehlermann	-90.80
02/17/2026	22756	Check	Spireon, Inc	-99.62
02/26/2026	22757	Check	POSTMASTER	-773.48
Total Outstanding Checks (11)				-1,841.40

Outstanding Other

Item Date	Reference	Item Type	Description	Amount
06/30/2019	1	Miscellaneous	Credit Card payment	-19.10
05/31/2022	1	Miscellaneous	Retirement	129.34
07/31/2022	1	Miscellaneous	Global Payments	56.69
03/31/2023	1	Miscellaneous	Credit Card payments	-142.09
05/31/2023	1	Miscellaneous	Credit Card payment	190.00
02/06/2026	DFT0004051	Bank Draft	IPERS	-3,525.61
02/06/2026	DFT0004052	Bank Draft	IPERS	-1,895.30
02/06/2026	DFT0004053	Bank Draft	TREASURER STATE OF IOWA	-919.75
02/06/2026	DFT0004057	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
02/13/2026	DFT0004071	Bank Draft	IPERS	-3,555.08
02/13/2026	DFT0004072	Bank Draft	IPERS	-1,893.27
02/13/2026	DFT0004073	Bank Draft	TREASURER STATE OF IOWA	-925.54
02/13/2026	DFT0004077	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
02/20/2026	DFT0004085	Bank Draft	IPERS	-3,539.99
02/20/2026	DFT0004086	Bank Draft	IPERS	-1,893.27
02/20/2026	DFT0004087	Bank Draft	TREASURER STATE OF IOWA	-919.29
02/20/2026	DFT0004091	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
02/25/2026	DFT0004068	Bank Draft	AIRESPRING	-372.34
02/27/2026	DFT0004096	Bank Draft	EMPOWER	-600.00
02/27/2026	DFT0004098	Bank Draft	IPERS	-3,524.71
02/27/2026	DFT0004099	Bank Draft	IPERS	-1,893.27
02/27/2026	DFT0004100	Bank Draft	TREASURER STATE OF IOWA	-923.81
02/27/2026	DFT0004104	Bank Draft	ILLINOIS DEPARTMENT OF REVENUE	-93.48
02/28/2026	DFT0004079	Bank Draft	MAQUOKETA VALLEY ELECTRIC COOP	-5,188.30
02/28/2026	DFT0004092	Bank Draft	MAQUOKETA VALLEY ELECTRIC COOP	-5,577.20
Total Outstanding Other (25)				-37,305.81

Transaction Summary

Transaction Type	Count	Outstanding	Cleared	Total
Bank Draft	77	-37,520.65	-145,846.64	-183,367.29
Check	33	-1,841.40	-98,412.33	-100,253.73
Deposit	108	2,151.26	562,409.36	564,560.62
EFT	4	0.00	-100,018.59	-100,018.59
Check Reversal	1	0.00	9,410.06	9,410.06
Interest	1	0.00	8,225.13	8,225.13
Miscellaneous	7	214.84	4,272.54	4,487.38
AP Automation	77	0.00	-200,340.77	-200,340.77
		-36,995.95	39,698.76	2,702.81



Dyersville, IA

Bank Statement Register

Item 14.

POOLED CASH

Period 2/1/2026 - 2/28/2026

Packet: BRPKT00256

Bank Statement		General Ledger	
Beginning Balance	97,558.52	Account Balance	97,644.59
Plus Debits	86.07	Less Outstanding Debits	0.00
Less Credits	0.00	Plus Outstanding Credits	0.00
Adjustments	0.00	Adjustments	0.00
Ending Balance	97,644.59	Adjusted Account Balance	97,644.59

Statement Ending Balance	97,644.59
Bank Difference	0.00
General Ledger Difference	0.00

CASH BALANCE CONSISTS OF THE FOLLOWING GENERAL LEDGER ACCOUNTS

999-1-1020-000 POOLED CASH

Cleared Other

Item Date	Reference	Item Type	Description	Amount
02/28/2026	Interest	Interest	INTEREST	86.07
Total Cleared Other (1)				86.07

Transaction Summary

Transaction Type	Count	Outstanding	Cleared	Total
Interest	1	0.00	86.07	86.07
		0.00	86.07	86.07

ExpenseMinor;SourceMajo...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance (Unfavorable)	Percent Remaining
Fund: 001 - GENERAL FUND						
Revenue						
40 - TAXES	3,195,104.00	3,195,104.00	134,509.18	2,020,857.17	-1,174,246.83	36.75%
41 - LICENSES AND PERMITS	21,515.00	21,515.00	629.00	10,688.15	-10,826.85	50.32%
43 - USE OF MONEY & PROPERTY	133,000.00	133,000.00	14,144.01	100,616.54	-32,383.46	24.35%
44 - INTERGOVERNMENTAL	37,300.00	37,300.00	0.00	19,891.95	-17,408.05	46.67%
45 - CHARGES FOR SERVICES	224,000.00	224,000.00	13,318.57	62,938.63	-161,061.37	71.90%
47 - MISCELLANEOUS REVENUES	53,500.00	53,500.00	1,238.61	79,610.55	26,110.55	48.80%
48 - OTHER FINANCING SOURCES	1,000.00	1,000.00	0.00	0.00	-1,000.00	100.00%
Revenue Total:	3,665,419.00	3,665,419.00	163,839.37	2,294,602.99	-1,370,816.01	37.40%
Expense						
60 - SALARIES & WAGES	1,360,761.00	1,359,186.00	94,101.62	947,074.36	412,111.64	30.32%
61 - EMPLOYEE BENEFITS & COSTS	475,513.00	475,222.00	76,490.09	349,946.85	125,275.15	26.36%
62 - STAFF DEVELOPMENT	260,340.00	260,340.00	36,448.83	226,534.50	33,805.50	12.99%
63 - REPAIR, MAINTENANCE & UTILITIES	346,950.00	346,950.00	23,966.22	235,101.43	111,848.57	32.24%
64 - CONTRACTUAL SERVICES	588,931.00	578,931.00	61,274.41	478,124.92	100,806.08	17.41%
65 - COMMODITIES	221,425.00	220,925.00	6,107.83	117,582.33	103,342.67	46.78%
67 - CAPITAL OUTLAY	335,450.00	275,450.00	63,035.31	290,357.66	-14,907.66	-5.41%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	3,589,370.00	3,517,004.00	361,424.31	2,644,722.05	872,281.95	24.80%
Fund: 001 - GENERAL FUND Surplus (Deficit):	76,049.00	148,415.00	-197,584.94	-350,119.06	-498,534.06	335.91%
Fund: 002 - LIBRARY TRUST FUND						
Revenue						
43 - USE OF MONEY & PROPERTY	350.00	350.00	55.40	460.80	110.80	31.66%
45 - CHARGES FOR SERVICES	40,000.00	40,000.00	1,404.36	24,716.36	-15,283.64	38.21%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	40,350.00	40,350.00	1,459.76	25,177.16	-15,172.84	37.60%
Expense						
67 - CAPITAL OUTLAY	40,000.00	40,000.00	4,282.54	30,096.05	9,903.95	24.76%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	40,000.00	40,000.00	4,282.54	30,096.05	9,903.95	24.76%
Fund: 002 - LIBRARY TRUST FUND Surplus (Deficit):	350.00	350.00	-2,822.78	-4,918.89	-5,268.89	1,505.40%
Fund: 110 - ROAD USE FUND						
Revenue						
44 - INTERGOVERNMENTAL	648,000.00	648,000.00	40,662.66	414,177.00	-233,823.00	36.08%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	648,000.00	648,000.00	40,662.66	414,177.00	-233,823.00	36.08%
Expense						
60 - SALARIES & WAGES	205,974.00	205,974.00	14,651.29	143,267.04	62,706.96	30.44%
61 - EMPLOYEE BENEFITS & COSTS	66,253.00	66,253.00	5,502.87	45,828.27	20,424.73	30.83%
63 - REPAIR, MAINTENANCE & UTILITIES	66,000.00	66,000.00	5,387.39	42,044.89	23,955.11	36.30%
64 - CONTRACTUAL SERVICES	55,000.00	55,000.00	15,231.98	36,190.67	18,809.33	34.20%
67 - CAPITAL OUTLAY	66,000.00	56,000.00	0.00	31,671.50	24,328.50	43.44%
68 - DEBT SERVICES	0.00	0.00	0.00	296.25	-296.25	0.00%
69 - TRANSFERS	5,192.00	5,192.00	0.00	0.00	5,192.00	100.00%
Expense Total:	464,419.00	454,419.00	40,773.53	299,298.62	155,120.38	34.14%
Fund: 110 - ROAD USE FUND Surplus (Deficit):	183,581.00	193,581.00	-110.87	114,878.38	-78,702.62	40.66%

Budget Report

For Fiscal: 2025-2026 Period Ending Item 15. 6

ExpenseMinor;SourceMajo...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 112 - TRUST AND AGENCY FUND						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
47 - MISCELLANEOUS REVENUES	6,000.00	6,000.00	1,700.00	6,425.00	425.00	7.08%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	6,000.00	6,000.00	1,700.00	6,425.00	425.00	7.08%
Expense						
64 - CONTRACTUAL SERVICES	6,000.00	6,000.00	700.00	4,725.00	1,275.00	21.25%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	6,000.00	6,000.00	700.00	4,725.00	1,275.00	21.25%
Fund: 112 - TRUST AND AGENCY FUND Surplus (Deficit):	0.00	0.00	1,000.00	1,700.00	1,700.00	0.00%
Fund: 121 - L.O. SALES TAX RESERVE						
Revenue						
40 - TAXES	620,000.00	620,000.00	51,865.33	445,313.37	-174,686.63	28.18%
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	620,000.00	620,000.00	51,865.33	445,313.37	-174,686.63	28.18%
Expense						
69 - TRANSFERS	370,000.00	370,000.00	0.00	0.00	370,000.00	100.00%
Expense Total:	370,000.00	370,000.00	0.00	0.00	370,000.00	100.00%
Fund: 121 - L.O. SALES TAX RESERVE Surplus (Deficit):	250,000.00	250,000.00	51,865.33	445,313.37	195,313.37	-78.13%
Fund: 122 - LOCAL OPTION SINKING FUND						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Expense						
68 - DEBT SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 122 - LOCAL OPTION SINKING FUND Surplus (Deficit):	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 128 - CDBG						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
44 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00	0.00	0.00%
45 - CHARGES FOR SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
47 - MISCELLANEOUS REVENUES	0.00	212,500.00	0.00	212,500.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
49 - UNDEFINED	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	212,500.00	0.00	212,500.00	0.00	0.00%
Expense						
60 - SALARIES & WAGES	0.00	0.00	0.00	0.00	0.00	0.00%
61 - EMPLOYEE BENEFITS & COSTS	0.00	0.00	0.00	0.00	0.00	0.00%
64 - CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
65 - COMMODITIES	0.00	0.00	0.00	0.00	0.00	0.00%
67 - CAPITAL OUTLAY	0.00	64,000.00	0.00	63,646.03	353.97	0.55%
68 - DEBT SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	64,000.00	0.00	63,646.03	353.97	0.55%
Fund: 128 - CDBG Surplus (Deficit):	0.00	148,500.00	0.00	148,853.97	353.97	-0.24%
Fund: 135 - DYERSVILLE TIF DIST FUND						
Revenue						
40 - TAXES	2,659,210.00	2,659,210.00	7,526.48	1,285,132.37	-1,374,077.63	51.67%
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%

Budget Report

For Fiscal: 2025-2026 Period Ending Item 15. 6

	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
ExpenseMinor;SourceMajo...						
45 - CHARGES FOR SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	2,659,210.00	2,659,210.00	7,526.48	1,285,132.37	-1,374,077.63	51.67%
Expense						
64 - CONTRACTUAL SERVICES	0.00	30,000.00	0.00	27,835.00	2,165.00	7.22%
68 - DEBT SERVICES	2,022,780.00	2,022,780.00	3,217.93	1,566,792.65	455,987.35	22.54%
69 - TRANSFERS	569,191.00	569,191.00	0.00	0.00	569,191.00	100.00%
Expense Total:	2,591,971.00	2,621,971.00	3,217.93	1,594,627.65	1,027,343.35	39.18%
Fund: 135 - DYERSVILLE TIF DIST FUND Surplus (Deficit):	67,239.00	37,239.00	4,308.55	-309,495.28	-346,734.28	931.11%
Fund: 200 - DEBT SERVICE						
Revenue						
40 - TAXES	864,591.00	864,591.00	4,195.65	493,752.54	-370,838.46	42.89%
48 - OTHER FINANCING SOURCES	1,032,324.00	4,293,222.00	0.00	3,260,897.38	-1,032,324.62	24.05%
Revenue Total:	1,896,915.00	5,157,813.00	4,195.65	3,754,649.92	-1,403,163.08	27.20%
Expense						
68 - DEBT SERVICES	1,896,915.00	1,896,915.00	0.00	78,151.97	1,818,763.03	95.88%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	1,896,915.00	1,896,915.00	0.00	78,151.97	1,818,763.03	95.88%
Fund: 200 - DEBT SERVICE Surplus (Deficit):	0.00	3,260,898.00	4,195.65	3,676,497.95	415,599.95	-12.74%
Fund: 301 - CAPITAL PROJECTS FUND						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
46 - SPECIAL ASSESSMENTS	0.00	0.00	0.00	0.00	0.00	0.00%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	370,000.00	370,000.00	0.00	0.00	-370,000.00	100.00%
Revenue Total:	370,000.00	370,000.00	0.00	0.00	-370,000.00	100.00%
Expense						
64 - CONTRACTUAL SERVICES	370,000.00	370,000.00	21,941.69	462,387.95	-92,387.95	-24.97%
67 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00%
68 - DEBT SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	370,000.00	370,000.00	21,941.69	462,387.95	-92,387.95	-24.97%
Fund: 301 - CAPITAL PROJECTS FUND Surplus (Deficit):	0.00	0.00	-21,941.69	-462,387.95	-462,387.95	0.00%
Fund: 302 - CAP PROJECTS - EQUIPMENT						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Expense						
67 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 302 - CAP PROJECTS - EQUIPMENT Surplus (Deficit):	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 303 - CAP PROJ - AQUATIC CENTER						
Expense						
67 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 303 - CAP PROJ - AQUATIC CENTER Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 600 - WATER FUND						
Revenue						
40 - TAXES	55,000.00	55,000.00	5,527.02	41,839.37	-13,160.63	23.93%
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%

Budget Report

For Fiscal: 2025-2026 Period Ending Item 15. 6

	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
ExpenseMinor;SourceMajo...						
45 - CHARGES FOR SERVICES	1,022,300.00	1,086,300.00	97,902.66	765,234.21	-321,065.79	29.56%
47 - MISCELLANEOUS REVENUES	10,000.00	10,000.00	0.00	8,618.52	-1,381.48	13.81%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	1,087,300.00	1,151,300.00	103,429.68	815,692.10	-335,607.90	29.15%
Expense						
60 - SALARIES & WAGES	173,770.00	173,770.00	13,263.74	121,455.35	52,314.65	30.11%
61 - EMPLOYEE BENEFITS & COSTS	81,791.00	81,791.00	16,531.78	65,960.20	15,830.80	19.36%
62 - STAFF DEVELOPMENT	9,500.00	9,500.00	2,636.57	5,808.45	3,691.55	38.86%
63 - REPAIR, MAINTENANCE & UTILITIES	148,500.00	148,500.00	23,909.77	106,238.63	42,261.37	28.46%
64 - CONTRACTUAL SERVICES	139,190.00	139,190.00	7,348.77	73,330.11	65,859.89	47.32%
65 - COMMODITIES	73,000.00	73,000.00	2,712.60	37,686.30	35,313.70	48.37%
67 - CAPITAL OUTLAY	122,500.00	122,500.00	-3,136.68	28,221.09	94,278.91	76.96%
68 - DEBT SERVICES	50,000.00	50,000.00	0.00	135.65	49,864.35	99.73%
69 - TRANSFERS	355,910.00	355,910.00	0.00	0.00	355,910.00	100.00%
Expense Total:	1,154,161.00	1,154,161.00	63,266.55	438,835.78	715,325.22	61.98%
Fund: 600 - WATER FUND Surplus (Deficit):	-66,861.00	-2,861.00	40,163.13	376,856.32	379,717.32	13,272.19%
Fund: 601 - WATER SINKING FUND						
Revenue						
48 - OTHER FINANCING SOURCES	29,300.00	29,300.00	0.00	0.00	-29,300.00	100.00%
Revenue Total:	29,300.00	29,300.00	0.00	0.00	-29,300.00	100.00%
Expense						
68 - DEBT SERVICES	29,300.00	29,300.00	0.00	21,888.33	7,411.67	25.30%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	29,300.00	29,300.00	0.00	21,888.33	7,411.67	25.30%
Fund: 601 - WATER SINKING FUND Surplus (Deficit):	0.00	0.00	0.00	-21,888.33	-21,888.33	0.00%
Fund: 602 - WATER CAPITAL ACCOUNT						
Revenue						
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
45 - CHARGES FOR SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
46 - SPECIAL ASSESSMENTS	0.00	0.00	0.00	0.00	0.00	0.00%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Expense						
64 - CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 602 - WATER CAPITAL ACCOUNT Surplus (Deficit):	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 610 - SEWER FUND						
Revenue						
40 - TAXES	2,000.00	2,000.00	327.56	1,641.59	-358.41	17.92%
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
44 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00	0.00	0.00%
45 - CHARGES FOR SERVICES	1,827,000.00	1,977,438.00	158,912.72	1,239,654.59	-737,783.41	37.31%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	1,829,000.00	1,979,438.00	159,240.28	1,241,296.18	-738,141.82	37.29%
Expense						
60 - SALARIES & WAGES	198,722.00	208,722.00	16,196.87	130,138.22	78,583.78	37.65%
61 - EMPLOYEE BENEFITS & COSTS	88,413.00	88,413.00	16,682.64	66,542.14	21,870.86	24.74%
62 - STAFF DEVELOPMENT	27,500.00	27,500.00	3,071.57	15,058.36	12,441.64	45.24%
63 - REPAIR, MAINTENANCE & UTILITIES	79,700.00	79,700.00	7,230.46	53,768.48	25,931.52	32.54%
64 - CONTRACTUAL SERVICES	155,445.00	155,445.00	7,366.66	57,528.38	97,916.62	62.99%
65 - COMMODITIES	61,000.00	61,000.00	8,285.25	79,693.48	-18,693.48	-30.65%
67 - CAPITAL OUTLAY	137,000.00	137,000.00	1,553.12	49,819.79	87,180.21	63.64%

Budget Report

For Fiscal: 2025-2026 Period Ending Item 15. 6

	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
ExpenseMinor;SourceMajo...						
68 - DEBT SERVICES	0.00	0.00	0.00	0.00	0.00	0.00%
69 - TRANSFERS	837,061.00	837,061.00	0.00	0.00	837,061.00	100.00%
Expense Total:	1,584,841.00	1,594,841.00	60,386.57	452,548.85	1,142,292.15	71.62%
Fund: 610 - SEWER FUND Surplus (Deficit):	244,159.00	384,597.00	98,853.71	788,747.33	404,150.33	-105.08%
Fund: 611 - SEWER SINKING FUND						
Revenue						
48 - OTHER FINANCING SOURCES	615,730.00	615,730.00	0.00	0.00	-615,730.00	100.00%
Revenue Total:	615,730.00	615,730.00	0.00	0.00	-615,730.00	100.00%
Expense						
68 - DEBT SERVICES	615,730.00	615,730.00	0.00	44,979.58	570,750.42	92.69%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	615,730.00	615,730.00	0.00	44,979.58	570,750.42	92.69%
Fund: 611 - SEWER SINKING FUND Surplus (Deficit):	0.00	0.00	0.00	-44,979.58	-44,979.58	0.00%
Fund: 612 - SEWER CAPITAL ACCOUNT						
Revenue						
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Expense						
64 - CONTRACTUAL SERVICES	0.00	0.00	0.00	9,531.85	-9,531.85	0.00%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	9,531.85	-9,531.85	0.00%
Fund: 612 - SEWER CAPITAL ACCOUNT Surplus (Deficit):	0.00	0.00	0.00	-9,531.85	-9,531.85	0.00%
Fund: 670 - SOLID WASTE FUND						
Revenue						
40 - TAXES	0.00	0.00	0.00	0.00	0.00	0.00%
43 - USE OF MONEY & PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00%
45 - CHARGES FOR SERVICES	441,100.00	484,810.00	38,580.38	298,573.19	-186,236.81	38.41%
47 - MISCELLANEOUS REVENUES	0.00	0.00	0.00	0.00	0.00	0.00%
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	441,100.00	484,810.00	38,580.38	298,573.19	-186,236.81	38.41%
Expense						
60 - SALARIES & WAGES	38,841.00	38,841.00	2,915.04	29,022.62	9,818.38	25.28%
61 - EMPLOYEE BENEFITS & COSTS	17,310.00	17,310.00	4,152.22	15,009.55	2,300.45	13.29%
62 - STAFF DEVELOPMENT	500.00	500.00	0.00	62.25	437.75	87.55%
63 - REPAIR, MAINTENANCE & UTILITIES	1,000.00	1,000.00	74.78	489.29	510.71	51.07%
64 - CONTRACTUAL SERVICES	320,000.00	329,000.00	27,445.00	218,920.00	110,080.00	33.46%
65 - COMMODITIES	5,000.00	5,000.00	633.30	4,693.46	306.54	6.13%
67 - CAPITAL OUTLAY	30,000.00	30,000.00	0.00	15,399.91	14,600.09	48.67%
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	412,651.00	421,651.00	35,220.34	283,597.08	138,053.92	32.74%
Fund: 670 - SOLID WASTE FUND Surplus (Deficit):	28,449.00	63,159.00	3,360.04	14,976.11	-48,182.89	76.29%
Fund: 899 - PAYROLL FUND						
Revenue						
48 - OTHER FINANCING SOURCES	0.00	0.00	0.00	0.00	0.00	0.00%
Revenue Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Expense						
69 - TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00%
Expense Total:	0.00	0.00	0.00	0.00	0.00	0.00%
Fund: 899 - PAYROLL FUND Surplus (Deficit):	0.00	0.00	0.00	0.00	0.00	0.00%
Report Surplus (Deficit):	782,966.00	4,483,878.00	-18,713.87	4,364,502.49	-119,375.51	2.66%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
001 - GENERAL FUND	76,049.00	148,415.00	-197,584.94	-350,119.06	-498,534.06
002 - LIBRARY TRUST FUND	350.00	350.00	-2,822.78	-4,918.89	-5,268.89
110 - ROAD USE FUND	183,581.00	193,581.00	-110.87	114,878.38	-78,702.62
112 - TRUST AND AGENCY FUND	0.00	0.00	1,000.00	1,700.00	1,700.00
121 - L.O. SALES TAX RESERVE	250,000.00	250,000.00	51,865.33	445,313.37	195,313.37
122 - LOCAL OPTION SINKING FUN	0.00	0.00	0.00	0.00	0.00
128 - CDBG	0.00	148,500.00	0.00	148,853.97	353.97
135 - DYERSVILLE TIF DIST FUND	67,239.00	37,239.00	4,308.55	-309,495.28	-346,734.28
200 - DEBT SERVICE	0.00	3,260,898.00	4,195.65	3,676,497.95	415,599.95
301 - CAPITAL PROJECTS FUND	0.00	0.00	-21,941.69	-462,387.95	-462,387.95
302 - CAP PROJECTS - EQUIPMENT	0.00	0.00	0.00	0.00	0.00
303 - CAP PROJ - AQUATIC CENTEF	0.00	0.00	0.00	0.00	0.00
600 - WATER FUND	-66,861.00	-2,861.00	40,163.13	376,856.32	379,717.32
601 - WATER SINKING FUND	0.00	0.00	0.00	-21,888.33	-21,888.33
602 - WATER CAPITAL ACCOUNT	0.00	0.00	0.00	0.00	0.00
610 - SEWER FUND	244,159.00	384,597.00	98,853.71	788,747.33	404,150.33
611 - SEWER SINKING FUND	0.00	0.00	0.00	-44,979.58	-44,979.58
612 - SEWER CAPITAL ACCOUNT	0.00	0.00	0.00	-9,531.85	-9,531.85
670 - SOLID WASTE FUND	28,449.00	63,159.00	3,360.04	14,976.11	-48,182.89
899 - PAYROLL FUND	0.00	0.00	0.00	0.00	0.00
Report Surplus (Deficit):	782,966.00	4,483,878.00	-18,713.87	4,364,502.49	-119,375.51



City of Dyersville
City Administrator's Office

March 27, 2026

Ms. Jenna Gilliam, AICP
Assistant Planner II
MSA Professional Services, Inc.
601 E. Locust Street, Suite 105
Des Moines, Iowa 50309

RE: Dubuque County Unified Development Code Update

Dear Ms. Gilliam,

Thank you for including the City of Dyersville in the stakeholder engagement process for the Dubuque County Unified Development Code update. I appreciate the opportunity to share the city's perspective on county development standards and their interaction with our city's planning and infrastructure. The following is a summary of my responses to the questions you provided in your email. I hope they are helpful as your team shapes this important document.

Question 1: Describe your role/connection to Dubuque County.

I'm Mick Michel, City Administrator for the City of Dyersville, Iowa, where I've served for 22 years in this role and 30 years in the profession. I'm responsible for managing city operations, administering the city's zoning ordinance under Chapter 165 of the Dyersville Code, coordinating capital infrastructure projects, and advising the Mayor and City Council on land use, finance, and development policies.

My connection to Dubuque County is ongoing and practical. Dyersville is partially in Dubuque County and partly in Delaware County, which means coordinating with county-level development standards is a regular part of my work. I primarily deal with the county's jurisdiction on issues such as fringe-area development, joint jurisdiction over subdivision plats, and projects that cross the city limits or are just outside them. I also observe the downstream effects of county land-use decisions on city infrastructure — especially utilities, stormwater, and roads — as development in the unincorporated fringe eventually seeks annexation or city services.

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Question 2: How familiar are you with the County's current development-related ordinances?

My familiarity varies by topic. I have the strongest practical knowledge in subdivision standards, where my daily responsibilities most directly intersect with county jurisdiction. I regularly work with county subdivision requirements when assessing fringe-area development proposals and joint plats, which has helped me understand where city and county standards align and where they differ.

My knowledge of erosion control and stormwater management is solid at the project level—I collaborate with engineers on capital projects that require county and state permit coordination—but I wouldn't say I have deep expertise in the county's specific ordinance language. My understanding of private well regulations and wastewater disposal is more limited, since Dyersville operates municipal water and sewer systems, and those issues mainly come up for me at the edges of service area planning rather than in day-to-day administration.

Overall, I approach this process as a practitioner who works alongside county regulations rather than within them, which I believe gives me a valuable perspective on how the county's standards interact with municipal operations.

Question 3: Have you experienced any issues or confusion with any County development standards or requirements?

Yes, although I would describe my experience as coordination issues rather than confusion about the standards themselves. The area where I've faced the most difficulty is fringe area subdivision development—specifically, situations where a proposed subdivision is outside city limits but within our growth boundary, and the city and county are effectively making parallel decisions without a shared framework to guide them.

The main issue is that Dyersville has a Comprehensive Plan with designated growth areas and infrastructure investment priorities, but county subdivision standards don't always consider those municipal plans when reviewing development proposals on the outskirts. The result can be subdivisions approved at the county level with road, utility, and lot configurations that pose real challenges if and when the city is asked to annex that land or extend services to it. Addressing that disconnect early is one of the main goals I hope a UDC will tackle.

A secondary area is stormwater and drainage. County-level erosion control and stormwater requirements don't always align with how city infrastructure is designed to handle runoff, and development just outside city limits can cause downstream impacts within the city that we have limited ability to address afterward.

Question 4: Have you interacted with any development review processes?

Yes, primarily through platting and subdivision review. As City Administrator, I oversee Dyersville's zoning and subdivision ordinances, so I engage with development review processes daily on the city side. My experience with county-level processes most often occurs when a plat involves land near or adjacent to city limits, where both the city and county have a role in the review.

The experience has generally been workable, but the process would benefit from earlier, more organized coordination between the city and the county during the pre-application stage. By the time a plat reaches formal review, design choices have often already been made that are difficult or costly to change — such as lot sizes, street layouts, and utility easements. If the UDC could set a clear point for city notification and comments when development is proposed within the two-mile fringe area recognized under the Iowa Code, it would enable cities like Dyersville to provide input while there is still a genuine opportunity to influence the outcome. It would also help if the county and cities agreed on minimum development standards within that fringe area—standards that reflect both the county's land-use goals and the long-term infrastructure and service-delivery needs of the city that might someday annex and serve that land.

Regarding the process itself, clarity about submittal requirements and review timelines would benefit all parties. Predictability is important to developers and to municipalities planning infrastructure and service delivery around growth.

Question 5: What do you like about the County's current development-related ordinances?

From my perspective, what I value most about the county's current approach is that it sets a baseline framework for development in unincorporated areas that would otherwise lack standards. That baseline is important — it protects property values, manages land use conflicts, and provides at least a foundation for orderly growth in areas that may eventually become part of a city.

I also appreciate that the county has kept separate ordinances for different topics — zoning, subdivision, erosion control, and wastewater — which enables each area to be managed with the right level of detail. The UDC consolidation effort is a logical next step that should make those standards more accessible and consistent without losing that detail.

More broadly, I appreciate that Dubuque County is willing to undertake this comprehensive update. Unified development codes require a significant investment of time and resources, and their modernization—rather than just patching existing ordinances—demonstrates a commitment to good governance that I believe will benefit the county and its cities.

Question 6: What are the top three priorities you believe should be addressed in the UDC Update?

My top three priorities are based on my experience working at the intersection of city and county jurisdiction.

First, focus on fringe area development standards and municipal coordination. This is my top priority. The UDC should establish clear, enforceable standards for development within the two-mile fringe area recognized under Iowa Code, including a formal process for municipal notification and comment, and a framework for city-county agreements on minimum development standards in that zone. Growth occurring today in the unincorporated fringe will present a future challenge for city infrastructure and services. Getting the standards right from the beginning is far less costly than fixing them after annexation. A notable example is the Field of Dreams corridor along Dyersville East Road. This corridor has significant economic and community identity value, and its rural character is vulnerable to incremental development

pressures. A joint city-county agreement that clearly defines the corridor and limits development within it to protect its rural environment would be a meaningful, lasting outcome of this UDC process.

Second, stormwater and drainage management. Development in unincorporated areas has real downstream effects on municipal infrastructure. The UDC should set stormwater standards that consider the cumulative impacts on receiving systems — including city storm sewer and drainage infrastructure — not just on-site detention. A regional or watershed-based approach to stormwater management would benefit both the county and its cities more than a parcel-by-parcel standard.

Third, the document's consistency and usability are crucial. A UDC is only as effective as its ability to be understood and applied consistently by staff, developers, and elected officials. The consolidation of existing ordinances into a single, well-organized, plain-language document remains a key goal. Clear definitions, consistent terminology, and a logical structure will reduce confusion, speed up reviews, and build public confidence in the process.

Question 7: What goals or principles do you believe should guide the creation of the UDC Update?

Several principles come to mind that I believe should guide this work.

The first priority is fiscal responsibility. Developmental decisions made today have long-term cost impacts for both the county and its municipalities. The UDC should follow a principle that growth pays for itself — that new development creates enough tax base and infrastructure capacity to support the services it will eventually need. This means the code should discourage costly development patterns and encourage those that are efficient, contiguous, and well-connected to existing infrastructure. Also, fringe-area development should be kept to a minimum so that, when city limits border a developing area, developers can enter into pre-annexation agreements with the city prior to development. This pre-annexation agreement approach helps the city guide and control growth, ensure infrastructure is in place, and prevent long-term service and cost burdens from uncoordinated development just outside city limits.

The second focuses on preserving the rural character. Dubuque County's identity is rooted in its agricultural landscape, scenic corridors, and small-town communities. The UDC should demonstrate a deliberate commitment to protecting that character — not as an obstacle to growth, but as an asset that needs careful management. The Field of Dreams corridor is one example, but this principle applies broadly throughout the county.

The third is inter-county-municipal cooperation. The county does not operate in isolation from its cities. A UDC that is designed with municipal perspectives in mind — and that establishes formal mechanisms for city-county coordination — will lead to better outcomes for everyone. Growth that is well-coordinated across jurisdictions is more efficient, predictable, and equitable than growth that occurs in silos.

The fourth point is clarity and accessibility. A good development code should be understandable to the people it governs — property owners, developers, farmers, and citizens — not just to

attorneys and planners. Plain language, logical organization, and clear process descriptions should be non-negotiable standards for this document.

Question 8: Do you feel that the regulations in the County's current development-related ordinances are too lenient or too restrictive?

From my point of view as a city official, the county's current development rules are too relaxed in the areas most important to cities — especially fringe-area subdivision growth. The basic standards that apply in unincorporated regions don't fully consider the long-term costs of infrastructure and services that fringe development eventually imposes on cities. Lot sizes, road standards, utility easements, and stormwater management rules that might be fine in a purely rural setting become problematic when that land is later annexed and expected to operate as part of a city system.

I want to clarify that I'm not advocating for regulations that are unnecessarily burdensome on rural property owners or that hinder legitimate agricultural and rural residential uses. The issue is more specific than that. In the defined fringe area around municipalities, where the reasonable expectation is that land will eventually transition to urban use, the county's standards should reflect that path. Requiring development in that zone to meet standards closer to municipal expectations — road widths, utility stub-outs, lot configurations, stormwater design — would lower costs for everyone in the long run and make voluntary annexation a more attractive and seamless option for property owners.

Outside of the fringe area, I don't have a strong basis for characterizing the county's standards as too lenient or too restrictive, as that is outside my day-to-day experience.

Question 9: Are there specific areas in the County where you feel development regulations should be relaxed or tightened?

Yes, and my answer is consistent with what I've already described. There are two specific areas where I believe regulations should be tightened.

The first is the two-mile fringe area around Dyersville. As I've mentioned, this is the zone where county development decisions directly and permanently affect city infrastructure, service delivery, and fiscal health over the long term. Implementing tighter standards in this area — aligned as closely as possible with municipal expectations — would reduce future costs and encourage pre-annexation agreements and/or three-party development agreements. Doing this would lead to more orderly, efficient growth patterns.

The second is the Field of Dreams corridor along Dyersville East Road. This corridor holds significant economic, cultural, and community identity value that extends far beyond Dyersville's city limits. The rural nature of that approach contributes to the site's meaningfulness and is an irreplaceable asset for the region's tourism economy. I would support tighter, corridor-specific development standards in that area under county jurisdiction — restricting the type, scale, and intensity of development allowed — ideally through a joint city-county agreement that encourages shared responsibility for its protection. Any effort to establish those standards should include meaningful engagement with property owners along that corridor.

I am not in a position to speak confidently about areas of the county where regulations may be relaxed, as those areas are outside my regular experience. I would defer to property owners, farmers, and rural residents who work directly with those standards.

Question 10: What types of development would you like to see more of?

From Dyersville's viewpoint, the types of development I most want to see supported in the county are those that enhance and strengthen municipal growth rather than compete with or hinder it.

Housing is at the top of the list. Dyersville experiences a persistent housing shortage that limits workforce recruitment, business retention, and overall community vitality. I would like to see the UDC support planned residential development in areas adjacent to existing municipalities that are positioned for annexation, with standards that make that transition smooth and cost-effective. A variety of housing types — single-family, townhomes, and multi-family — is important to accommodate a wide range of income levels and household sizes.

I would also like to see the UDC support highway commercial and light industrial development in suitable corridors, especially near existing municipal infrastructure, where city utilities and services can be extended efficiently. That type of development generates tax revenue, supports jobs, and boosts the regional economy, benefiting both the county and its cities.

However, it is equally important that highway access for any such development be carefully considered to ensure that new entrances, intersections, and traffic patterns do not create safety hazards. Development that produces significant traffic should be required to demonstrate that access can be designed and located safely before approval is granted.

Finally, I would like to see conservation and open space development supported in areas of scenic, agricultural, or environmental significance — particularly in corridors where the rural landscape is itself an economic and community asset worth protecting.

Question 11: What changes or improvements are most needed for the County?

From my perspective, the most urgent improvements in the county fall into two categories — roads and utilities — both of which directly affect how development occurs and how municipalities provide services.

On roads, the condition and capacity of county roads in and around municipal growth areas are a significant concern. When development occurs in fringe areas, county roads often become the primary access routes for new residents and businesses before any municipal street connections are established. These roads need to be designed and maintained to standards that can safely and efficiently handle growth-related traffic. I would like to see the UDC include provisions that link development approvals in the fringe area to an assessment of the adequacy of county road access, including sight distance, intersection design, and load capacity.

Regarding utilities, extending water and sewer infrastructure is the most crucial factor in enabling organized and cost-effective growth. The UDC should promote development patterns that connect to municipal utility systems instead of relying indefinitely on private wells and

septic systems. Private systems have limited lifespans and pose long-term maintenance and environmental risks that can become public issues over time. Supporting development in areas where municipal utility extension is practical is both financially responsible and environmentally sound.

I would defer to the county conservation board, county staff, engineers, and rural residents regarding park and recreational facility needs, as those fall outside my primary area of expertise.

Question 12: Is there anything else you would like us to know?

A few additional items are worth sharing that haven't been fully covered in the preceding questions.

Dyersville adopted a Comprehensive Plan in 2018 with a planning horizon extending to 2040. The plan identifies five priority growth areas — including the 2nd Avenue SE corridor, the Dyersville East Road area, the northwestern residential zone, the western area near Tegeler Pond, and the Highway 20 south corridor. Each of these areas has specific infrastructure, land use, and transportation expectations that county development decisions can either support or undermine. I encourage the county's UDC team to review municipal comprehensive plans during this process and consider how county development standards in the fringe can align with these locally adopted growth frameworks.

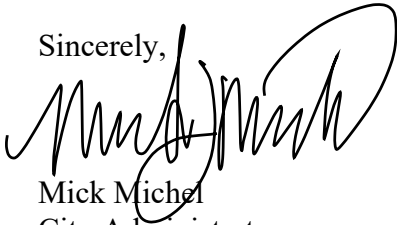
Housing diversity is a key priority in our Comprehensive Plan. Dyersville needs a wider variety of housing types to meet the needs of the workforce and an aging population. The UDC can support this goal by ensuring that development standards in fringe areas don't inadvertently enforce **single-family-only zoning**, which could limit choices when that land eventually becomes part of the urban area.

Dyersville adopted a Downtown Plan in 2018 that serves as a companion to the Comprehensive Plan. The Downtown Plan sets a long-term vision for the 1st Avenue corridor, the North Fork Maquoketa River, and the surrounding district. It emphasizes upper-story residential conversion, riverfront development, improved public gathering spaces, wayfinding enhancements, and building facade renovations. Development decisions along approach corridors into Dyersville — especially the Field of Dreams corridor along Dyersville East Road — directly influence whether visitors' initial impressions align with the quality and character outlined in the Downtown Plan.

Both plans are publicly available, and I am happy to share them directly if that would be helpful.

Thank you again for reaching out and giving the city an opportunity to participate in the process for this UDC update. I believe this effort will make a significant difference for Dubuque County and its cities. I look forward to our scheduled time to help clarify any responses to your questions. Please don't hesitate to contact me with any follow-up questions.

Sincerely,

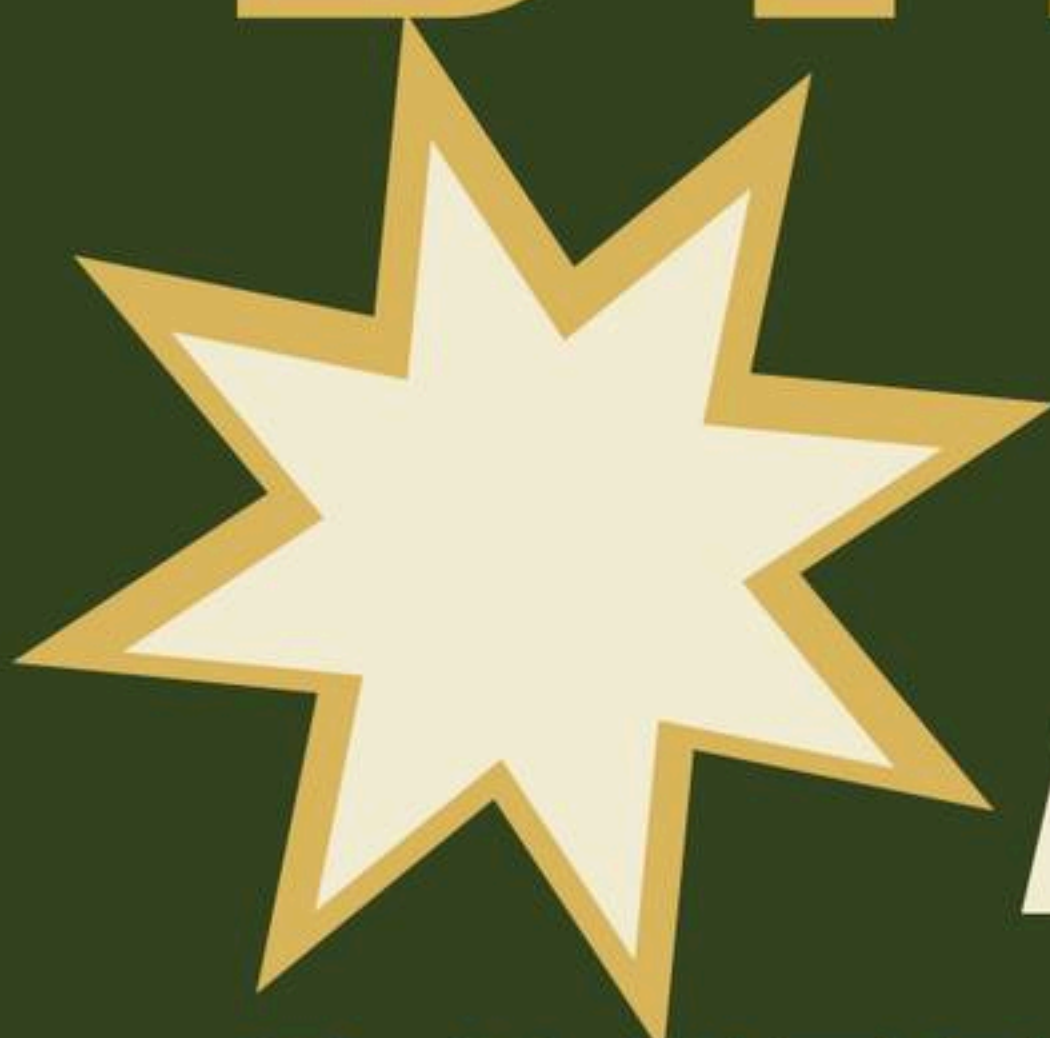
A handwritten signature in black ink, appearing to read 'Mick Michel', written in a cursive style.

Mick Michel
City Administrator

CC: Honorable Mayor Jeff Jacque
City Council Members

@dyersvilleragbrai

DYERSVILLE



RAGBRAI

COMMUNITY MEETING



TUESDAY, APRIL 28TH
06:00 PM



Dyersville Social Center
625 3rd Ave SE

CONTACT US :

www.dyersvilleragbrai.com



IF YOU BIKE IT
THEY WILL COME



March 2026 Newsletter



*Photo Credit: "Driftless Falls," Zane Raza, West Des Moines
Inaugural Youth Winner in the
[16th Annual Keep Iowa Beautiful Photography Contest](#)*

Spring is in the Air!

Spring brings a renewed sense of energy to communities across Iowa.

As local leaders and volunteers begin preparing for upcoming projects, cleanups, and community celebrations, this is an important time of planning and coordination. In this issue, we're sharing updates on Pick-Up Iowa, encouraging communities to declare April as Keep Iowa Beautiful Month, highlighting the impact of longtime Hometown Pride coach Jennifer Walker, and connecting you with partners like the Iowa Rural Development Council.

We're excited to see the momentum building across the state as communities prepare for the months ahead.

With gratitude,

The Keep Iowa Beautiful Team



Pick-Up Iowa: Gather Your Team & Sign Up Today!



Pick-Up Iowa returns this spring, inviting Iowans across the state to take action and show up for their communities.

This statewide cleanup initiative encourages volunteer led events to remove litter from roadsides, parks, neighborhoods, school grounds, and public spaces.



In 2026, in honor of America's 250th anniversary, we are setting a goal to have **2,500 volunteers** collecting **2,500 bags of litter** between April and June.

Pick-Up Iowa is designed to be flexible and accessible. Any group can participate by choosing a date, location, and cleanup that works for you.

Registration is open now. Start thinking about how your organization, school, or community group will Show Up for Iowa this spring.

[Register Your Pick-Up Iowa Event NOW!](#)

PS - Know a high school student? This would make a great project for National Honor Society and is a fun way to earn Silver Cord hours!

Thank You Aureon!

**Keep Iowa Beautiful Receives
Aureon Grant**

Keep Iowa Beautiful is proud to receive a \$1,500 Community Development Grant from Aureon! These funds will support our Pick-Up Iowa program, which empowers residents and businesses alike to take an active role in litter prevention and beautification across the state.



Partnerships like this allow us to scale our impact and ensure Iowa remains a beautiful place to live and work.

Thank you, Aureon, for your dedication to local community projects!

Congratulations Jennifer!



Hometown Pride Coach Retires

The staff and board of Keep Iowa Beautiful want to take the opportunity to say thank you to retiring Hometown Pride coach Jennifer Walker.

Jennifer worked for East Central Intergovernmental Association for 17 years and served as a Hometown Pride coach during her last five years there. As a Hometown Pride coach, she served Cedar and Delaware counties.

Please join us in thanking her for her dedication to Iowa communities and in wishing her the best of luck in her retirement.



#HometownPride Highlights



Walker Bandshell

Walker Hometown Pride has raised more than \$28,400 toward its fundraising goal of \$51,175, marking the halfway point for a new Bandshell Project that will be located in the Walker City Park.



The project, which is being led by the Walker Hometown Pride Committee, will create a permanent community bandshell that will serve as a gathering space for concerts, celebrations and community events. Walker Hometown Pride is targeting Spring of 2026 to break ground on the project and plans to complete construction by the Fall of 2026.



Going Above and Beyond

Hometown Pride Coach Marla Quinn shared her expertise at a recent grant writing workshop in Edgewood. The training was free and geared toward beginning and intermediate grant writers to help them learn more about



identifying grant opportunities and how to write a successful application. Over twenty people attended the workshop representing several communities in the area.

Marla is the Grants and Municipal Coordinator at the East Central Intergovernmental Association and has been with the agency for 24 years. She has served as a Hometown Pride Coach for Cedar and Delaware counties for 5 years. She has extensive experience in grant writing, and we love that she is willing to share that knowledge with local communities to help them achieve their goals! This is just one example of how the Hometown Pride Coaches go the extra mile for the communities they serve and beyond!



Summer Plans in Swing

Many of our Hometown Pride communities have already started looking ahead to summer and the projects run the gamut, but one thing is the same throughout: they are ready for a great summer!




For those with a green thumb, Alta and Springville are both planning for their community gardens. Music lovers in both Shellsburg and Springville can rejoice as their Hometown Pride Committees have planned community concerts (Shellsburg, May 17th, Springville, June 12). Active folks, Luxemburg will be holding a ribbon cutting ceremony for a local trail while Fonda Hometown Pride is working on grant application to provide lighting for the new pickleball courts in town!

[Learn more about Hometown Pride Communities](#)



Declare April as Keep Iowa Beautiful Month in your Community !



Each year, Governor Kim Reynolds proclaims April as Keep Iowa Beautiful Month, reinforcing the state’s commitment to vibrant, thriving communities. We believe that Iowans have the power to create meaningful change within their own communities. That’s why we encourage city and community leaders to officially declare April as Keep Iowa Beautiful Month in their town or city.

We encourage you to reach out to your mayor or city council members and ask them to sign a proclamation in support of your town’s commitment to a more beautiful Iowa.

Why make a proclamation?

- **Inspire Action:** The declaration encourages residents and civic groups to take action by connecting them to a city-wide and state-wide cause.
- **Spotlight your Efforts:** Raise up the great work you’re already doing to beautify your community – use this as a way to get publicity for your efforts in local media and on social media.
- **Improve Collaboration:** Civic organizations can partner with local governments to make the declaration, showing their commitment to working together!

- **Strengthen your Community:** The appearance of a community says a lot about the people, pride, and businesses within them. Commit to taking action that will strengthen your community for years to come!

Through this personalized proclamation, leaders and residents commit to collective efforts that will enhance their community, contributing to the overall beauty of Iowa.

[Visit our website](#) to customize an editable proclamation to take to your civic and community leaders to sign the commitment into action!



Lieutenant Governor Chris Cournoyer reads a proclamation signed by Governor Kim Reynolds last spring declaring April 2025 as Keep Iowa Beautiful month.

Iowa Rural Development Council
RISE: Iowa Rural Summit



Join rural leaders at [RISE: Iowa Rural Summit 2026](#).

Hosted by the Iowa Rural Development Council, the 10th Annual Iowa Rural Summit takes place in Dubuque on April 9 & 10. This event features two days of learning, networking and sharing on topics like rural philanthropy, arts and culture, funding resources, rural tourism and more! Keep Iowa Beautiful staff Andy Frantz and Lorin Ditzler will be there to collaborate and celebrate individuals making a difference. Don't miss this chance to connect and learn!

Learn more and register now at <https://iowardc.org/summit/>



Your Support Matters!



From painting the state beautiful to instilling civic pride in our communities, the programs we provide are thanks to donations from supporters like you!

Consider giving to Keep Iowa Beautiful to help us continue our work improving Iowa communities!

[Donate to Support Iowa Communities](#)



NEW Mailing Address & Phone Number



Keep Iowa Beautiful

PO Box 1056

Johnston, IA 50131

www.KeepIowaBeautiful.com



Keep Iowa Beautiful | PO Box 1056 | Johnston, IA 50131 US

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march 2026

ecia spotlight

Dubuque County Housing Needs Assessment

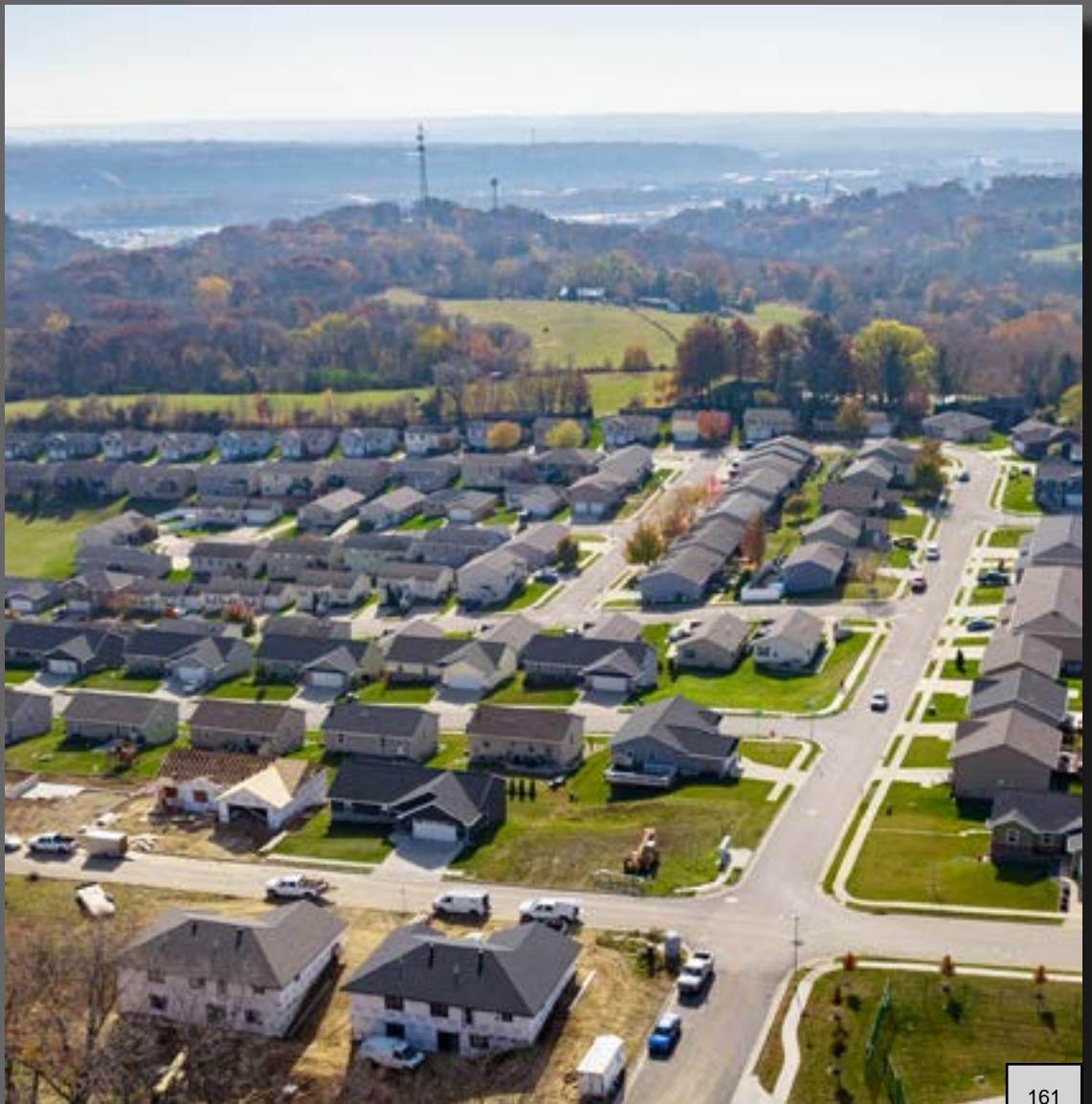
The Greater Dubuque Development Corporation contracted with ECIA to complete a housing needs assessment for Dubuque County in October 2025. Using a data-driven approach, ECIA evaluated current housing conditions and projected the number and types of homes needed over the next decade to maintain a balanced housing market with sustainable costs and healthy vacancy levels.

The assessment found that Dubuque County's housing market is generally strong; supported by population growth, solid employment, and steady construction activity. However, the county faces challenges from rising prices, declining affordability, and growing demand for a wider range of housing options, including workforce, senior, and middle-market owner-occupied homes.

To support continued growth ECIA estimates the county will need 1,900 to 2,500 additional housing units between 2026 and 2035, along with ongoing investment in housing rehabilitation and new construction to ensure access to safe, attainable housing for all residents.

If your community is interested in a housing needs assessment, contact Dan Fox, at dfox@ecia.org

[Link to the full assessment.](#)



Long-Time ECIA Board Member Retires

Item 19.

On March 6, 2026, after nearly nine years, Brian Wagner retired as the City Manager for the City of Tipton. Before that, he was Maquoketa's City Manager for nearly 20 years. During that time, he was on ECIA's Council for 28 years and its Executive Board for nearly 9 years.

In his own words:

When I started in city management 35 years ago, I frequently thought ahead to retirement. However, I always thought of it as something that would never arrive.

I actually worked nearly two years past 65. I kept changing my last day. First, it was to be June 30, 2024—Social Security age. Then, it was September 30, 2025; December 31, 2025; February 13, 2026; and finally, March 6, 2026.

I never saw myself as an expert in any part of city management. I was more of a "jack of all trades" that picked up different things over the years.

I was a Project Guy. But I never saw myself as the only guy. I couldn't have accomplished anything without help from our various staff members and partners.

In Maquoketa, we did the reconstruction of Downtown Main Street. We also created a new industrial park and brought in Family Dollar's distribution center and Generac—now HUSCO. In Tipton, we did the downtown reconstruction of Hwy 38. We assisted in the improvement of several businesses in our downtown corridor, including the redevelopment of dilapidated or empty buildings. We brought in several million dollars in grants. And, on the day I retired, our electric utility's new 1-megawatt solar array was activated.

In Tipton, particularly, I've asked our staff to concentrate on looking for opportunities. They could be either large or small if they improved their departments or the community.

It ended up being difficult to walk away. There was always one more project, one more goal, one more thing to do.

Strangely, now that I've retired, I've had mixed feelings. There've been days when I've felt guilty about not going to work. But, on any weekday, I've awakened feeling like it's Saturday.

I've had a lot of favorite memories. But they're all blurred together—except for the various elected people and staff members that I worked with over the years. By and large, those memories are the best.

After a couple of months of this, I think I'll be looking for something to do. I've heard that there's a need for interim city managers. Maybe I'll try that and see what happens. But, first, my wife told me that I must clean up the basement.



Brian and Tipton Economic Development Director, Linda Beck, in front of one of the many projects that happened during Brian's time at the City.

Mechanicsville

The City of Mechanicsville is applying for its first Community Catalyst Building Remediation grant, due April 15. This grant program, through the Iowa Economic Development Authority provides \$100,000 grants to Cities that partner with a developer(s) to rehabilitate an abandoned building into a new use.

The proposed project will breathe new life into two connected downtown buildings: 113 and 117 E 1st Street in Mechanicsville which have been abandoned for eight years, with one apartment abandoned for five years. When this project is complete, visitors and residents will have a new bar/restaurant and an events center to enjoy on the main level. Prospective apartment renters will also have two new options. The total project cost is still being identified.



Manchester

The City of Manchester is trying for the second time to secure a \$100,000 Catalyst grant for one of their downtown buildings. This historic rehab at 116 S Franklin in Manchester will include three quality upper-story loft apartments overlooking vibrant downtown Manchester and the white water park on the Maquoketa River. First

floor will feature fine dining and social opportunities with a unique menu for rural Iowa. Total project cost is estimated at \$650,000.



It would be the first time either City was awarded....ECIA staff are writing both applications. Good luck to both communities!

Open Meetings Requirements

A law adopted in the 2025 legislative session set a requirement for all new elected officials and those appointed to governmental bodies (at the city government level, common examples include library boards, planning and zoning commissions, boards of adjustments and more) to complete a training on the responsibilities and requirements for open meetings and open records laws. The training must be completed within 90 days of an official taking the oath of office or assuming the duties of their office.

The Iowa Public Information Board (IPIB) is responsible under the law to oversee the training requirement and provide classes. They are also allowed to authorize other entities to provide training. The law stipulates that the training must be at least one hour, but not more than two hours. The IPIB, or another entity providing the training, is required to provide a certificate of course completion, and the governmental body must maintain and make these certificates of completion available for the public.

The law also requires a certificate of completion to be provided to each participant, and for governmental entities to preserve such certificates and make them available for public inspection.

The law increases civil penalties for violation of open records laws to \$500-\$2,500 for accidental violations and \$5,000-\$12,000 for knowing violations. Additionally, a member of a governmental body can be removed from office if they have engaged in prior violations for which damages were assessed.

More information on the Open Meetings law is on the back page in the last article of this newsletter.

IPIB Training Events

Event	Type	Date
IPIB Training for Newly Elected and Appointed Officials	Lunch and Learn	April 15, 2026; 12:00 pm
IPIB Training for Newly Elected and Appointed Officials	Virtual	April 20 2026; 5:00 pm
IPIB Training for Newly Elected and Appointed Officials	Lunch and Learn	May 20, 2026; 12:00 pm

Iowa League of Cities Training Events

Event	Type	Date
ILC Training for Newly Elected and Appointed Officials	Virtual	April 6, 2026; 5:00-6:30 pm
ILC Training for Newly Elected and Appointed Officials	Virtual	April 29 2026; Noon-1:30 pm

Please note: The following League webinars are only for city governments that are members of the League.

Training

Please Advocate for Us

Item 19.

ECIA is a Council of Governments (COG) and across Iowa, COGs are shaping the future of our communities. Created more than 45 years ago by visionary public leaders, Iowa's Councils of Governments (COGs) provide professional planning, programming, and technical assistance to Iowa's cities, counties, businesses, community organizations and Iowans of all ages.

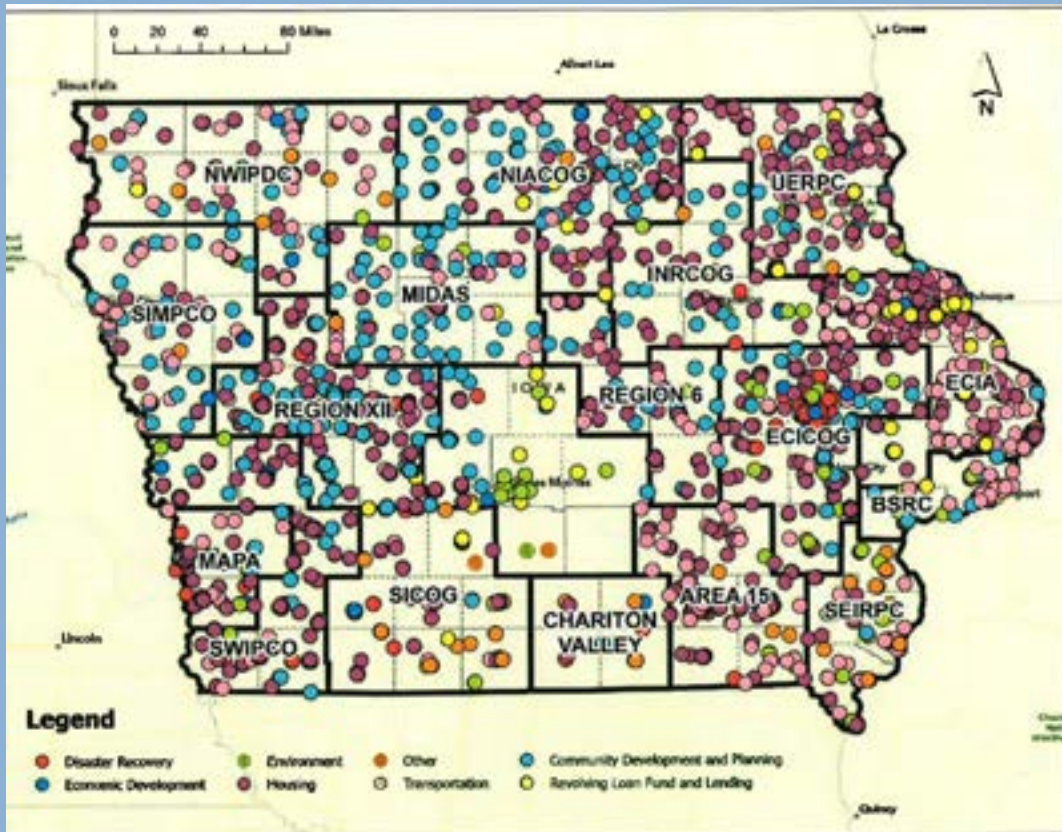
Over the past three years, COGs have delivered meaningful impact on these communities through a wide range of transformative projects. These numbers reflect strategic leadership, thoughtful collaboration, and unwavering commitment to local priorities. From housing and infrastructure to economic development and land revitalization, COGs are driving results that matter.

**3,081
Projects
Completed**

**740
Communities
Served**

**\$1.5 Billion
in Total
Project
Investment**

Click on the map below to zoom in on projects



This year, COG assistance is at risk of being zeroed out in the state budget. With its share of the historically appropriated \$350,000, ECIA uses these funds to create networking opportunities among municipal leaders; provide technical assistance on local, state, and federal grant programs; and utilize the funds as match when applying for competitive grants, which helps leverage more funds. These activities directly impact rural community development while reducing the burden on local municipalities. ECIA staff have been actively advocating for COG Assistance to be maintained in the state budget and would appreciate your support, as well, when speaking with your legislators to ensure the \$350,000 remains in the budget.



Dan Fox
16 years

Well done!



Kristi Oberhoffer
4 years

Are you Posting Your Agendas Properly?

When there is no traditional city hall, it can be difficult for small communities to hold meetings in a place that is reasonably accessible to the public. Whether you are holding council meetings in church basements, fire stations, community centers, diners, etc., remember to post meeting notices/agendas at the location of where the meetings are taking place.

The Iowa League of Cities has general guidance on the Iowa Open Meetings Law, Code of Iowa Chapter 21. This law requires meetings of governmental bodies to be open to the public. Cities often have questions about the applicability of this law to day-to-day city business. The information contained [here](#) is designed to be general in nature and does not constitute legal advice. Cities should contact their attorney if there are specific legal questions about open meeting requirements.





[Business Development](#) | [Workforce Strategies](#) | [Live & Work Here](#) | [Who We Are](#) | [Data & Resources](#)

MARCH 2026 NEWSLETTER

Connecting People & Opportunity

A Message from Our President & CEO

There are moments when serving individuals and serving our business community align—and when they do, we at Greater Dubuque Development are grateful to play a role. Last week, I had the opportunity to attend the *Lighting the Lantern* event hosted by the Presentation Lantern Center, an organization many of us partner with to support newcomers in learning English and engaging in the Dubuque community. During the event, Alex Baum of the Community Foundation of Greater Dubuque noted that much of Dubuque’s net population growth in recent years has come from our immigrant residents.

Supporting that growth matters to all of us. At Greater Dubuque Development, we remain committed to helping employers identify and recruit talent while assisting our colleges in attracting and retaining students.

Through our international student retention efforts with the Better Together Committee, alongside the Community Foundation, we are working to create clearer pathways for these students to build their careers in the Greater Dubuque region. This month, I encourage you to learn more about how the Optional Practical Training (OPT) program can help connect employers with this emerging talent pipeline.

Thank you for taking time to read this month’s newsletter. We appreciate your continued partnership and collaboration to amplify the message that **YOU can be great here.**



With appreciation,

A handwritten signature in white ink that reads "Jason E. White".

Jason White

President & CEO

jasonw@greaterdubuque.org | 563-557-9049

Business Support & Attraction

YOUR BUSINESS can be great here.



Scenes from Universal Tank & Fabrication's March 6th ribbon cutting where employees and community members had the opportunity to explore the new 28,000-square-foot facility.

Business Expansion

Universal Tank & Fabrication Celebrates New Facility Opening

Universal Tank & Fabrication marked the opening of its new 28,000-square-foot facility with a ribbon cutting on Friday, March 6. The more than \$7 million expansion is expected to create at least 15 new jobs while improving workflow efficiency and increasing production capacity, supporting the company’s continued growth in the Greater Dubuque region.

We recognize GRONEN and their subcontractors for their work on this project and value our collaboration with the City of Dubuque and the Iowa Economic Development Authority in securing critical financial incentives that supported its success.

[Watch coverage of Universal Tank & Fabrication's facility opening from KCRG](#)



Interested in learning how we can support your business expansion plans?

Contact Daniel McDonald, Director of Existing Business, at 563-557-9049 or danielm@greaterdubuque.org



Housing Incentives

Workforce Housing Tax Credits Help Drive New Housing Development

The [State of Iowa's Workforce Housing Tax Credit program](#) continues to support new housing investment in Dubuque. In the past two years alone, six local projects representing more than 230 housing units have received over \$3 million in tax credits.

Applications for the next round of funding are due Wednesday, June 10, 2026. Developers interested in applying should request a required letter of support from the City of Dubuque by Friday, April 10.

[Learn more about the program and the recent impact in Dubuque](#)



Interested in learning more about the Workforce Housing Tax Credit program?

Contact Dave Lyons, Strategic Initiatives Consultant, at 563-557-9049 or davel@greaterdubuque.org

Utility Partners

Dubuque Area Businesses Recognized at Alliant Energy Event

Several Dubuque-area businesses were recognized at the Alliant Energy Breakfast Bites and Energy Insights event held on Friday, February 27, highlighting innovation, energy efficiency, and investment across the region.

Local businesses recognized with Premiere Energy Champion awards included Eagle Window & Door and JEDA Polymers LLC, while Energy Impact Saver awards were presented to 799 Main LLC for their mixed use building renovation project and CBDC, LLC for the C&B Childcare Center.

The event also highlighted programs available to support Iowa businesses, including how to [request a free energy audit](#) and [submit a custom rebate request](#), helping companies identify efficiency opportunities, offset project costs, and reduce long-term operating expenses.

Businesses in the Greater Dubuque region are encouraged to explore these resources as part of future planning and investment.

[Explore more ways Alliant Energy can help commercial customers](#)



Interested in learning how we can support you in working with your utility partners?

Contact Daniel McDonald, Director of Existing Business, at 563-557-9049 or danielm@greaterdubuque.org

Population Growth

YOUR FUTURE can be great here.



Scenes from the 1 Million Cups event held at Collins Community Credit Union in Dubuque, attended by Greater Dubuque Development's Future Leadership Team where they learned about regional entrepreneurial resources and made connections with local entrepreneurs.

Event Recap

Future Leadership Team Explores Entrepreneurship and Innovation

Members of the Future Leadership Team gathered on Wednesday, March 4 for a session focused on entrepreneurship, centered around a [1 Million Cups](#) event hosted at Collins Community Credit Union in Dubuque. The session included an overview of regional entrepreneurial resources, followed by a 1 Million Cups presentation by Molly Knuth of The Restoration Project and a collaborative discussion with attendees.

Accounting for both our Future Leadership Team and members of the general public, more than 70 people participated in the event, highlighting strong engagement with the local entrepreneurial community.

[Click to read the full recap of the March 4th Future Leadership Team meeting](#)



Interested in learning more about our Future Leadership Team?

Contact Mandi Dolson, Director of Workforce Recruitment & Retention, at 563-557-9049 or mandid@greaterdubuque.org



Scenes from the 2nd annual International Student Welcome Event held in September 2025 as part of collaborative efforts help international students connect to places, people, and potential careers in the Greater Dubuque region. Photos courtesy of the Loras College and the Community Foundation of Greater Dubuque.

Talent Retention

Connecting Employers with International Talent in the Greater Dubuque Region

Employers in the Greater Dubuque region have an opportunity to connect with a growing pool of international students preparing to enter the workforce. More than 300 international students are currently enrolled across regional colleges and universities, representing a range of in-demand skills and fields of study.

Through the [Optional Practical Training](#) (OPT) program, graduates can work in the United States in roles related to their degree—without requiring employer sponsorship. This provides businesses with a streamlined way to access talent while supporting long-term retention in the Greater Dubuque region.

Greater Dubuque Development Corporation, the Community Foundation of Greater Dubuque, and regional partners are working together to help employers better understand and utilize this opportunity.

[Learn more about the OPT program & download our FAQ handout](#)



Interested in learning more about the Optional Practical Training program?

Contact Nic Hockenberry, Director of Workforce Programming, at 563-557-9049 or nicolash@greaterdubuque.org

Talent Recruitment

Connecting Displaced Workers with Greater Dubuque Opportunities

On Monday, March 9, Greater Dubuque Development Corporation participated in a hiring event hosted by IowaWORKS in Cedar Rapids to connect with more than 300 workers impacted by the recent Whirlpool layoffs. Staff joined 15 additional employers and partner organizations to share information about the wide range of career opportunities available in the Greater Dubuque region.

During the event, our team highlighted current openings listed on [AccessDubuqueJobs.com](https://www.accessdubuquejobs.com) and introduced job seekers to the strengths of the Greater Dubuque area as a place to build both a career and community. Efforts like this help expand outreach beyond the immediate Dubuque area and connect skilled workers navigating layoffs or career transitions with employers in our region.

Employers interested in learning more about connecting with displaced workers through IowaWORKS are encouraged to contact Mandi Dolson, Director of Workforce Recruitment & Retention, at mandid@greaterdubuque.org or 563-557-9049.



Interested in learning more about our displaced worker outreach efforts?

Contact Mandi Dolson, Director of Workforce Recruitment & Retention, at 563-557-9049 or mandid@greaterdubuque.org



**Registration Open for May 14
Workforce Solutions Breakfast**

Join us for our Workforce Solutions Breakfast on Thursday, May 14, from 8:00–9:30 a.m. at the Diamond Jo Casino. Connect with fellow HR professionals, area CEOs, elected officials, and community leaders to learn about the latest workforce strategies supporting employers of the Greater Dubuque region. [RSVP online](#) or by contacting Anna Roling, Executive Assistant at 563-557-9049 or annar@greaterdubuque.org.

Staff from the City of Dubuque’s Department of Community Engagement & Neighborhood Support and Multicultural Family Center attend the May 2025 Workforce Solutions Breakfast.

[Click to RSVP online for our May 14th Workforce Solutions Breakfast](#)

YOUR SUPPORT can be great here.

Invest in AccessDubuqueJobs.com and receive unlimited access to the top regional jobs site, over 10,000 resumes, expert assistance from our Workforce Solutions team, and a suite of newcomer service tools. Your investment powers these services, supports our college engagement efforts, and fuels outreach to job seekers in our market and beyond.

New Investors

- Top Notch Plumbing
- RT&T Repair Inc.

Renewed Investors

- Dubuque Community Y

Renewed Investors, cont’d

- Hirschbach Motor Lines, Inc.
- Home+Floor Show
- IBI Scientific
- Kendall Hunt Publishing Company

- DuTrac Community Credit Union
- Frog Hollow Kids Campus
- Hills & Dales
- MedOne Pharmacy Benefit Solutions
- Midwest Janitorial Service
- O'Connor, Brooks & Co, P.C.
- University of Dubuque
- Welu, Inc.



Interested in becoming a Workforce Solutions Investor?

Contact Mandi Dolson, Director of Workforce Recruitment & Retention, at 563-557-9049 or mandid@greaterdubuque.org



AccessDubuqueJobs.com is made possible through a partnership between TH Media and Greater Dubuque Development Corporation.

Community Information

YOUR LIFE can be great here.



Community News

Get Involved in RAGBRAI Dubuque

Dubuque is gearing up to host RAGBRAI this July, and it's time to get involved. Local businesses and community members can explore sponsorship opportunities or sign up to volunteer and be part of this statewide event that will impact Dubuque on July 17 and 25, 2026.

Dubuque’s official community logo for 2026 RAGBRAI, inspired by the Mississippi River and other Dubuque landmarks, was unveiled on March 23.

Help create an unforgettable welcome to Dubuque for over 25,000 riders this summer!

[Explore Opportunities >](#)



Screenshot from the February 27 IRDC Zoominar of Jason White, President & CEO of Greater Dubuque Development, discussing our April 2025 Succession Planning for Family Businesses event.

Community News

Jason White Shares Insights on Family Business Support

The Iowa Rural Development Council’s February “Zoominar” featured the University of Northern Iowa Family Business Center with Jason White joining to share perspectives on supporting family-owned businesses and strengthening their long-term success in the Greater Dubuque region.

[Access the full IRDC Zoominar >](#)



Calling All Small Business Owners

Apply now to take your business to the next level

Fully funded business education program

Community News

Applications Open for Goldman Sachs 10,000 Small Businesses Program

Apply now for the Iowa cohort of [Goldman Sachs 10,000 Small Businesses](#), a fully funded 12-week program for established business owners looking to grow. The initiative includes partnerships with community colleges across the state, including Northeast Iowa Community College. Applications due June 1, 2026.

[Learn more >](#)



Partnership Spotlight

City of Dubuque

Hear from Brad Cavanagh, the Mayor of the City of Dubuque, on how working in partnership is the key to getting things done in cities like Dubuque and how in our region, Greater Dubuque Development is so often at the center of bringing necessary stakeholders together.

Upcoming Events

YOUR NETWORK can be great here.

Various Dates for Public Open Houses

Dubuque County Parks, Trails, and Open Spaces Plan Update

Various Times & Locations Below

Dubuque County Conservation is updating its Comprehensive Parks, Trails, and Open Spaces Plan and invites the public to share input at upcoming open house sessions. Community feedback will help guide priorities for park improvements and system-wide enhancements over the next several years.

Open house dates:

- Tuesday, March 31 | 4:30–6:30 p.m. | Asbury Public Library
- Thursday, April 2 | 11:30 a.m.–1:00 p.m. | Backpocket Events Space, Dubuque
- Thursday, April 2 | 4:30–6:30 p.m. | Cascade Public Library

Light refreshments will be provided. These events are family-friendly, informative, and open to all. For questions about the plan or event accessibility, please contact the Conservation Board office at 563-556-6745.

[Learn More >](#)

Wednesday, April 1, 2026

In-Person Monthly Meetups for Small-Scale Developers

5:30-6:45 p.m. | Key City Creative Center, 1781 White Street | Dubuque, IA

A series of free, in-person monthly meetups for those interested in small-scale development is underway in Dubuque. Held at 5:30 p.m. on the first Wednesday of each month at Key City Creative Center, these gatherings offer a welcoming space to connect, share ideas, and learn from others. Participants can collaborate on projects, exchange experiences, and receive support in a relaxed, informal setting. Whether you're actively working on a project or simply exploring an interest in development, the meetups are open to all, with no registration required.

[Learn More >](#)

Thursday-Friday, April 9-10, 2026

RISE: Iowa Rural Summit 2026

Grand River Center | 500 Bell Street | Dubuque, IA

The 2026 Iowa Rural Summit marks the 10th annual gathering of leaders from across the state focused on strengthening rural economies, workforce development, housing, and community vitality. Hosted in Dubuque, this two-day conference offers an opportunity to exchange ideas, share best practices, and advance solutions that support long-term economic growth.

[Learn More & Register >](#)

Thursday, April 16, 2026

12 Steps to Town Making: Transforming Ideas Into Real Projects

12:00 – 1:00 p.m. | Virtual

Following the “Catalyzing Change: Small-Scale Development for Big Impact” events held in Dubuque in October, a free workshop virtual series is being offered to Dubuque residents and stakeholders interested in transforming ideas into real projects in their neighborhoods and community. The virtual workshops are held the third Thursday each month from 12:00 - 1:00 p.m. through November 17, 2026. Sessions address topics essential for small-scale developers to complete a successful project such as bank interviews, running project numbers, design, property management, and more. The workshop series is especially relevant for small-scale developers, realtors, builders, and property owners. Questions? Contact the City of Dubuque Economic Development Department at 563.589.4393.

[Learn More & Register >](#)

Upcoming Religious Holidays & Cultural Observances

April 1-30 | Arab American Heritage Month

April 1-30 | Genocide Awareness Month

April 1-30 | National Poetry Month

April 2-9 | Passover (Jewish)

April 2 | Theravada New Year (Buddhist)

April 2 | Holy Thursday (Eastern Orthodox)

April 3 | Holy Friday (Eastern Orthodox)

April 3 | Good Friday (Western Orthodox)

April 5 | Easter

April 12 | Pascha (Eastern Orthodox)

April 14 | Vaisakhi (Sikh)

April 14 | Yom Hashoah (Jewish)

YOU Can Be Great Here Campaign

Our sights are set on 5 goals through 2027.

Grow our regional workforce to over 64,000 jobs.

Support median household income to reach \$76,000.

Encourage and facilitate \$1 billion of new construction.

Reduce regional poverty by 5%.

Reach a population of 105,000 in the Greater Dubuque region.

[View Progress](#)

View past issues of the newsletter [here](#).



YOU can be great here.

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Dyersville, IA

Item 21.

Expense Approval Register

Packet: APPKT02197 - 04.06.26 Special Bill List

Vendor Name	Payable Number	Description (Item)	Account Number	Account Name	Amount
Fund: 001 - GENERAL FUND					
Department: 430 - PARKS					
OBERBROECKLING, SANDY	Jan/Feb/Mar 2026	Cell Phone Reimbursement	001-5-430-4-63730	TELEPHONE	30.00
				Department 430 - PARKS Total:	30.00
				Fund 001 - GENERAL FUND Total:	30.00
				Grand Total:	30.00

Fund Summary

Fund	Expense Amount
001 - GENERAL FUND	30.00
Grand Total:	30.00

Account Summary

Account Number	Account Name	Expense Amount
001-5-430-4-63730	TELEPHONE	30.00
Grand Total:		30.00

Project Account Summary

Project Account Key	Expense Amount
None	30.00
Grand Total:	30.00

NOTICE OF PUBLIC HEARING -- PROPOSED BUDGET
Fiscal Year July 1, 2026 - June 30, 2027

Item 22.

City of: **DYERSVILLE**

The City Council will conduct a public hearing on the proposed Budget at: **Memorial Building, 340 1st Avenue East, Dyersville, Iowa Meeting Date: 4/20/2026 Meeting Time: 06:00 PM**

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of, any part of the proposed budget. This notice represents a summary of the supporting detail of revenues and expenditures on file with the City Clerk and County Auditor.

City budgets are subject to protest. If protest petition requirements are met, the State Appeal Board will hold a local hearing. For more information, consult <https://dom.iowa.gov/local-budget-appeals>.

The Budget Estimate Summary of proposed receipts and expenditures is shown below. Copies of the the detailed proposed Budget may be obtained or viewed at the offices of the Mayor, City Clerk, and at the Library.

The estimated Total tax levy rate per \$1000 valuation on regular property 10.27225

The estimated tax levy rate per \$1000 valuation on Agricultural property is 3.00375

At the public hearing, any resident or taxpayer may present objections to, or arguments in favor of, any part of the proposed budget.

Phone Number
(563) 875-7724

City Clerk/Finance Officer's NAME
Tricia L. Maiers, City Clerk

		Budget FY 2027	Re-estimated FY 2026	Actual FY 2025
Revenues & Other Financing Sources				
Taxes Levied on Property	1	3,435,040	3,182,663	3,242,762
Less: Uncollected Property Taxes-Levy Year	2	0	0	0
Net Current Property Taxes	3	3,435,040	3,182,663	3,242,762
Delinquent Property Taxes	4	0	0	0
TIF Revenues	5	2,540,815	2,659,210	2,162,775
Other City Taxes	6	1,556,884	1,497,032	1,423,721
Licenses & Permits	7	21,940	23,515	18,956
Use of Money and Property	8	141,000	133,350	118,900
Intergovernmental	9	1,853,000	865,500	2,745,671
Charges for Fees & Service	10	3,880,827	3,799,848	3,564,404
Special Assessments	11	0	0	0
Miscellaneous	12	209,000	163,500	259,930
Other Financing Sources	13	801,000	3,261,898	8,266
Transfers In	14	1,858,525	1,402,324	2,169,876
Total Revenues and Other Sources	15	16,298,031	16,988,840	15,715,261
Expenditures & Other Financing Uses				
Public Safety	16	1,572,028	1,424,475	1,309,130
Public Works	17	792,142	735,579	965,493
Health and Social Services	18	0	0	0
Culture and Recreation	19	1,371,720	1,314,479	1,532,473
Community and Economic Development	20	1,902,602	2,092,696	1,334,663
General Government	21	598,064	555,032	630,692
Debt Service	22	2,229,892	1,896,915	1,279,479
Capital Projects	23	345,000	370,000	3,664,107
Total Government Activities Expenditures	24	8,811,448	8,389,176	10,716,037
Business Type / Enterprises	25	5,071,399	2,712,712	3,533,185
Total ALL Expenditures	26	13,882,847	11,101,888	14,249,222
Transfers Out	27	1,858,525	1,402,324	2,169,876
Total ALL Expenditures/Transfers Out	28	15,741,372	12,504,212	16,419,098
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out	29	556,659	4,484,628	-703,837
Beginning Fund Balance July 1	30	6,120,533	1,635,905	2,339,742
Ending Fund Balance June 30	31	6,677,192	6,120,533	1,635,905

FISCAL YEAR JULY 1, 2026 - JUNE 30, 2027
ADOPTION OF BUDGET AND CERTIFICATION OF CITY TAXES
 The City of : **DYERSVILLE** County Name: **DUBUQUE COUNTY, DELAWARE**

Adopted On: (entered upon adoption) Resolution: (entered upon adoption)

The below-signed certifies that the City Council, on the date stated above, lawfully approved the named resolution adopting a budget for next fiscal year, as summarized on this and the supporting pages.

Attached is Long Term Debt Schedule Form 703 which lists any and all of the debt service obligations of the City.

		With Gas & Electric		Without Gas & Electric	City Number: 31-290 Last Official Census: 4,477
Regular	2a	313,733,032	2b	310,964,448	
DEBT SERVICE	3a	417,970,731	3b	415,202,147	
Ag Land	4a	1,986,531			

Consolidated General Fund Levy Calculation

	CGFL Rate	CGFL Dollars	Non-TIF Taxable w/ G&E	Taxable Growth %
FY 2026 Budget Data	7.56070	2,208,188	292,061,318	7.42
	Limitation Percentage			
	3			
	CGFL Max Rate	CGFL Max Dollars	Revenue Growth %	
Max Allowed CGFL for FY 2027	7.34049	2,302,954	4.29	

TAXES LEVIED

Code Sec.	Dollar Limit	Purpose	ENTER FIRE DISTRICT RATE BELOW		(A) Request with Utility Replacement	(B) Property Taxes Levied		(C) Rate
384.1	7.34049	Consolidated General Fund		5	2,302,954	2,282,631	43	7.34049
		Non-Voted Other Permissible Levies						
384.12(1)	0.95000	Opr & Maint publicly owned Transit		7		0	45	0.00000
384.12(2)	0.27000	Aviation Authority (under sec.330A.15)		11		0	49	0.00000
384.12(3)	Amt Nec	Liability, property & self insurance costs		14	213,190	211,310	52	0.67953
384.12(5)	Amt Nec	Support of a Local Emerg.Mgmt.Comm.		462		0	465	0.00000
		Voted Other Permissible Levies						
28E.22	1.50000	Unified Law Enforcement		24		0	62	0.00000
		Total General Fund Regular Levies (5 thru 24)		25	2,516,144	2,493,941		
384.1	3.00375	Ag Land		26	5,968	5,968	63	3.00375
		Total General Fund Tax Levies (25 + 26)		27	2,522,112	2,499,909		Do Not Add
		Special Revenue Levies						
384.6	Amt Nec	Police & Fire Retirement		29		0		0.00000
	Amt Nec	FICA & IPERS (if general fund at levy limit)		30		0		0.00000
Rules	Amt Nec	Other Employee Benefits		31		0		0.00000
		Subtotal Employee Benefit Levy (29,30,31)		32	0	0	65	0.00000
			Valuation					
386	As Req	With Gas & Elec						
	SSMID 1 (A)	0 (B)		0	34	0	66	0.00000
	SSMID 2 (A)	0 (B)		0	35	0	67	0.00000
	SSMID 3 (A)	0 (B)		0	36	0	68	0.00000
	SSMID 4 (A)	0 (B)		0	37	0	69	0.00000
	SSMID 5 (A)	0 (B)		0	555	0	565	0.00000
	SSMID 6 (A)	0 (B)		0	556	0	566	0.00000
	SSMID 7 (A)	0 (B)		0	1177	0	1179	0.00000
	SSMID 8 (A)	0 (B)		0	1185	0	1187	0.00000
		Total Special Revenue Levies		39	0	0		
384.4	Amt Nec	Debt Service Levy 76.10(6)		40	941,369	935,135	70	2.25224
384.7	0.67500	Capital Projects (Capital Improv. Reserve)		41		0	71	0.00000
		Total Property Taxes (27+39+40+41)		42	3,463,481	3,435,044	72	10.27226

COUNTY AUDITOR - I certify the budget is in compliance with ALL the following:
 Budgets that **DO NOT** meet ALL the criteria below are not statutorily compliant & must be returned to the city for correction.

 (City Representative)

 (Date)

 (County Auditor)

 (Date)

The City Council will conduct a public hearing on the proposed Fiscal Year City property tax levy as follows:

Meeting Date: 3/23/2026 Meeting Time: 06:00 PM Meeting Location: Memorial Building, 340 1st Avenue East, Dyersville

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of the proposed tax levy. After the hearing of the proposed tax levy, the City Council will publish notice and hold a hearing on the proposed city budget.

City Website (if available)
 www.cityofdyersville.com

City Telephone Number
 (563) 875-7724

Iowa Department of Management	Current Year Certified Property Tax 2025 - 2026	Budget Year Effective Property Tax 2026 - 2027	Budget Year Proposed Property Tax 2026 - 2027
Taxable Valuations for Non-Debt Service	289,080,368	310,964,448	310,964,448
Consolidated General Fund	2,185,650	2,185,650	2,282,631
Operation & Maintenance of Public Transit	0	0	0
Aviation Authority	0	0	0
Liability, Property & Self Insurance	132,780	132,780	211,310
Support of Local Emergency Mgmt. Comm.	0	0	0
Unified Law Enforcement	0	0	0
Police & Fire Retirement	0	0	0
FICA & IPERS (If at General Fund Limit)	0	0	0
Other Employee Benefits	0	0	0
Capital Projects (Capital Improv. Reserve)	0	0	0
Taxable Value for Debt Service	382,746,582	415,202,147	415,202,147
Debt Service	857,911	857,911	935,135
CITY REGULAR TOTAL PROPERTY TAX	3,176,341	3,176,341	3,429,076
CITY REGULAR TAX RATE	10.26148	9.52186	10.27226
Taxable Value for City Ag Land	2,104,481	1,986,531	1,986,531
Ag Land	6,322	6,322	5,968
CITY AG LAND TAX RATE	3.00375	3.18243	3.00375
Tax Rate Comparison-Current VS. Proposed			
Residential property with an Actual/Assessed Valuation of \$100,000/\$110,000	Current Year Certified 2025/2026	Budget Year Proposed 2026/2027	Percent Change
City Regular Residential	487	503	3.29
Commercial property with an Actual/Assessed Valuation of \$300,000/\$330,000	Current Year Certified 2025/2026	Budget Year Proposed 2026/2027	Percent Change
City Regular Commercial	2,115	2,350	11.11

Note: Actual/Assessed Valuation is multiplied by a Rollback Percentage to get to the Taxable Valuation to calculate Property Taxes. Residential and commercial properties have the same rollback percentage through \$150,000 of actual/assessed valuation.

Reasons for tax increase if proposed exceeds the current:

The city's general operations costs, such as purchasing supplies, gas, wages, health care costs, and liability & property insurance, have increased. The purchase of equipment, vehicles, and other assets has also increased.

FUND BALANCE

Item 22.

City Name: DYERSVILLE
 Fiscal Year July 1, 2026 - June 30, 2027

		GENERAL	SPECIAL REVENUES	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	TOTAL GOVERNMENT	PROPRIETARY	GRAND TOTAL
Annual Report FY 2025										
Beginning Fund Balance July 1	1	502,778	608,423	3,339,231	904,600	-1,034,136	0	4,320,896	-1,981,154	2,339,742
Actual Revenues Except Beg Balance	2	3,954,247	2,877,853	2,162,775	959,882	1,756,091	0	11,710,848	4,004,413	15,715,261
Actual Expenditures Except End Balance	3	3,718,618	3,164,311	1,601,768	561,929	3,664,107	0	12,710,733	3,708,365	16,419,098
Ending Fund Balance June 30	4	738,407	321,965	3,900,238	1,302,553	-2,942,152	0	3,321,011	-1,685,106	1,635,905
Re-Estimated FY 2026										
Beginning Fund Balance	5	738,407	321,965	3,900,238	1,302,553	-2,942,152	0	3,321,011	-1,685,106	1,635,905
Re-Est Revenues	6	3,665,419	1,520,850	2,659,210	5,157,813	370,000	0	13,373,292	3,615,548	16,988,840
Re-Est Expenditures	7	3,516,254	928,419	2,621,971	1,896,915	370,000	0	9,333,559	3,170,653	12,504,212
Ending Fund Balance	8	887,572	914,396	3,937,477	4,563,451	-2,942,152	0	7,360,744	-1,240,211	6,120,533
Budget FY 2027										
Beginning Fund Balance	9	887,572	914,396	3,937,477	4,563,451	-2,942,152	0	7,360,744	-1,240,211	6,120,533
Revenues	10	3,950,346	1,333,500	2,540,815	2,229,894	345,000	0	10,399,555	5,898,477	16,298,032
Expenditures	11	3,977,350	950,479	2,696,685	2,229,892	345,000	0	10,199,406	5,541,966	15,741,372
Ending Fund Balance	12	860,568	1,297,417	3,781,607	4,563,453	-2,942,152	0	7,560,893	-883,700	6,677,193

LOCAL EMC SUPPORT

Item 22.

City Name: **DYERSVILLE**
 Fiscal Year July 1, 2026 - June 30, 2027

As provided in Iowa Code Section 384.12, subsection 22, a city may levy the amount necessary in support of a local Emergency Management Commission. In addition to this individual levy, Emergency Management Commission support may also be included as part of the General Fund Levy. Iowa Code Section 29C.17, subsection 6 states that any support from cities or counties must be separately reported on tax statements issued by the county treasurer. Input the amount of General Fund Levy request to be used for support of an Emergency Management Commission. The total below will reflect the total amount of Emergency Management Commission support provided by the City.

	Request with Utility Replacement	Property Taxes Levied
Portion of General Fund Levy Used for Emerg. Mgmt. Comm.	0	0
Support of a Local Emerg.Mgmt.Comm.	0	0
TOTAL FOR FY 2027	0	0

City Name: **DYERSVILLE**
 Fiscal Year July 1, 2025 - June 30, 2026

GOVERNMENT ACTIVITIES CONT.		GENERAL	SPECIAL REVENUE	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	RE-ESTIMATED 2026	ACTUAL 2025
PUBLIC SAFETY										
Police Department/Crime Prevention	1	1,075,943							1,075,943	1,000,250
Jail	2								0	0
Emergency Management	3	2,128							2,128	2,271
Flood Control	4	5,000	64,000						69,000	0
Fire Department	5	126,134							126,134	121,742
Ambulance	6								0	0
Building Inspections	7								0	0
Miscellaneous Protective Services	8	85,270	66,000						151,270	74,055
Animal Control	9								0	0
Other Public Safety	10								0	110,812
TOTAL (lines 1 - 10)	11	1,294,475	130,000				0		1,424,475	1,309,130
PUBLIC WORKS										
Roads, Bridges, & Sidewalks	12	346,380	333,227						679,607	955,939
Parking - Meter and Off-Street	13								0	0
Street Lighting	14								0	0
Traffic Control and Safety	15								0	0
Snow Removal	16	5,972	50,000						55,972	9,554
Highway Engineering	17								0	0
Street Cleaning	18								0	0
Airport (if not Enterprise)	19								0	0
Garbage (if not Enterprise)	20								0	0
Other Public Works	21								0	0
TOTAL (lines 12 - 21)	22	352,352	383,227				0		735,579	965,493
HEALTH & SOCIAL SERVICES										
Welfare Assistance	23								0	0
City Hospital	24								0	0
Payments to Private Hospitals	25								0	0
Health Regulation and Inspection	26								0	0
Water, Air, and Mosquito Control	27								0	0
Community Mental Health	28								0	0
Other Health and Social Services	29								0	0
TOTAL (lines 23 - 29)	30	0	0				0		0	0
CULTURE & RECREATION										
Library Services	31	568,785	40,000						608,785	590,409
Museum, Band and Theater	32								0	0
Parks	33	271,797							271,797	557,575
Recreation	34	297,397							297,397	221,280
Cemetery	35								0	0
Community Center, Zoo, & Marina	36	24,600							24,600	48,528
Other Culture and Recreation	37	111,900							111,900	114,681
TOTAL (lines 31 - 37)	38	1,274,479	40,000				0		1,314,479	1,532,473

City Name: **DYERSVILLE**
 Fiscal Year July 1, 2025 - June 30, 2026

GOVERNMENT ACTIVITIES CONT.	GENERAL	SPECIAL REVENUE	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	RE-ESTIMATED 2026	ACTUAL 2025
COMMUNITY & ECONOMIC DEVELOPMENT									
Community Beautification	39	39,916						39,916	0
Economic Development	40							0	445,000
Housing and Urban Renewal	41							0	0
Planning & Zoning	42	0						0	0
Other Com & Econ Development	43			30,000				30,000	0
TIF Rebates	44			2,022,780				2,022,780	889,663
TOTAL (lines 39 - 44)	45	39,916	0	2,052,780			0	2,092,696	1,334,663
GENERAL GOVERNMENT									
Mayor, Council, & City Manager	46	78,210						78,210	75,135
Clerk, Treasurer, & Finance Adm.	47	161,922						161,922	184,140
Elections	48	3,000						3,000	0
Legal Services & City Attorney	49	30,000						30,000	28,718
City Hall & General Buildings	50	140,400						140,400	153,663
Tort Liability	51	35,500						35,500	41,532
Other General Government	52	106,000						106,000	147,504
TOTAL (lines 46 - 52)	53	555,032	0	0			0	555,032	630,692
DEBT SERVICE									
Gov Capital Projects	54			1,896,915				1,896,915	1,279,479
TIF Capital Projects	55				370,000			370,000	3,664,107
TOTAL CAPITAL PROJECTS	56	0	0	0	370,000	0	0	370,000	3,664,107
TOTAL Governmental Activities Expenditures (lines 11+22+30+38+44+52+53+54)	57	3,516,254	553,227	2,052,780	1,896,915	370,000	0	8,389,176	10,716,037
BUSINESS TYPE ACTIVITIES									
Proprietary: Enterprise & Budgeted ISF									
Water Utility	59						798,251	798,251	788,909
Sewer Utility	60						757,780	757,780	663,115
Electric Utility	61							0	0
Gas Utility	62							0	0
Airport	63							0	0
Landfill/Garbage	64						421,651	421,651	398,065
Transit	65							0	0
Cable TV, Internet & Telephone	66							0	0
Housing Authority	67							0	0
Storm Water Utility	68							0	0
Other Business Type (city hosp., ISF, parking, etc.)	69							0	0
Enterprise DEBT SERVICE	70						735,030	735,030	1,184,293
Enterprise CAPITAL PROJECTS	71							0	498,803
Enterprise TIF CAPITAL PROJECTS	72							0	0
TOTAL BUSINESS TYPE EXPENDITURES (lines 59+72)	73						2,712,712	2,712,712	3,533,185
TOTAL ALL EXPENDITURES (lines 58+73)	74	3,516,254	553,227	2,052,780	1,896,915	370,000	0	2,712,712	11,101,888
Regular Transfers Out	75		375,192					457,941	833,133
Internal TIF Loan Transfers Out	76			569,191				569,191	0
Total ALL Transfers Out	77	0	375,192	569,191	0	0	457,941	1,402,324	2,169,876
Total Expenditures and Other Fin Uses (lines 74+77)	78	3,516,254	928,419	2,621,971	1,896,915	370,000	0	3,170,653	12,504,212
Ending Fund Balance June 30	79	887,572	914,396	3,937,477	4,563,451	-2,942,152	0	-1,240,211	1,635,905

RE-ESTIMATED REVENUES DETAIL

Item 22.

City Name: DYERSVILLE
 Fiscal Year July 1, 2025 - June 30, 2026

REVENUES & OTHER FINANCING SOURCES		GENERAL	SPECIAL REVENUE	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	RE-ESTIMATED 2026	ACTUAL 2025
Taxes Levied on Property	1	2,324,752			857,911				3,182,663	3,242,762
Less: Uncollected Property Taxes - Levy Year	2								0	0
Net Current Property Taxes (line 1 minus line 2)	3	2,324,752	0		857,911	0			3,182,663	3,242,762
Delinquent Property Taxes	4								0	0
TIF Revenues	5			2,659,210					2,659,210	2,162,775
Other City Taxes:										
Utility Tax Replacement Excise Taxes	6	23,908			6,680				30,588	0
Utility franchise tax (Iowa Code Chapter 364.2)	7	486,444							486,444	454,292
Parimutuel wager tax	8								0	0
Gaming wager tax	9								0	0
Mobile Home Taxes	10								0	0
Hotel/Motel Taxes	11	150,000							150,000	142,069
Other Local Option Taxes	12	210,000	620,000						830,000	827,360
Subtotal - Other City Taxes (lines 6 thru 12)	13	870,352	620,000		6,680	0			1,497,032	1,423,721
Licenses & Permits	14	23,515							23,515	18,956
Use of Money & Property	15	133,000	350						133,350	118,900
Intergovernmental:										
Federal Grants & Reimbursements	16		212,500						212,500	640,803
Road Use Taxes	17		648,000						648,000	635,820
Other State Grants & Reimbursements	18								0	1,437,143
Local Grants & Reimbursements	19	5,000							5,000	31,905
Subtotal - Intergovernmental (lines 16 thru 19)	20	5,000	860,500	0	0	0		0	865,500	2,745,671
Charges for Fees & Service:										
Water Utility	21							1,151,300	1,151,300	1,126,225
Sewer Utility	22							1,979,438	1,979,438	1,754,514
Electric Utility	23								0	0
Gas Utility	24								0	0
Parking	25								0	0
Airport	26								0	0
Landfill/Garbage	27							484,810	484,810	441,928
Hospital	28								0	0
Transit	29								0	0
Cable TV, Internet & Telephone	30								0	0
Housing Authority	31								0	0
Storm Water Utility	32								0	0
Other Fees & Charges for Service	33	184,300							184,300	241,737
Subtotal - Charges for Service (lines 21 thru 33)	34	184,300	0		0	0	0	3,615,548	3,799,848	3,564,404
Special Assessments	35								0	0
Miscellaneous	36	123,500	40,000						163,500	259,930
Other Financing Sources:										
Regular Operating Transfers In	37				463,133	370,000			833,133	2,169,876
Internal TIF Loan Transfers In	38				569,191				569,191	0
Subtotal ALL Operating Transfers In	39	0	0	0	1,032,324	370,000	0	0	1,402,324	2,169,876
Proceeds of Debt (Excluding TIF Internal Borrowing)	40				3,260,898				3,260,898	8,266
Proceeds of Capital Asset Sales	41	1,000							1,000	0
Subtotal-Other Financing Sources (lines 36 thru 38)	42	1,000	0	0	4,293,222	370,000	0	0	4,664,222	2,178,142
Total Revenues except for beginning fund balance (lines 3, 4, 5, 12, 13, 14, 19, 33, 34, 35, & 39)	43	3,665,419	1,520,850	2,659,210	5,157,813	370,000	0	3,615,548	16,988,840	15,715,261
Beginning Fund Balance July 1	44	738,407	321,965	3,900,238	1,302,553	-2,942,152	0	-1,685,106	1,635,905	2,339,742
TOTAL REVENUES & BEGIN BALANCE (lines 41+42)	45	4,403,826	1,842,815	6,559,448	6,460,366	-2,572,152	0	1,930,442	18,624,745	18,055,003

GOVERNMENT ACTIVITIES		GENERAL	SPECIAL REVENUES	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	BUDGET 2027	RE-ESTIMATED 2026	ACTUAL 2025
PUBLIC SAFETY											
Police Department/Crime Prevention	1	1,166,396							1,166,396	1,075,943	1,000,250
Jail	2								0	0	0
Emergency Management	3	2,128							2,128	2,128	2,271
Flood Control	4	5,000							5,000	69,000	0
Fire Department	5	252,234							252,234	126,134	121,742
Ambulance	6								0	0	0
Building Inspections	7								0	0	0
Miscellaneous Protective Services	8	89,270	57,000						146,270	151,270	74,055
Animal Control	9								0	0	0
Other Public Safety	10								0	0	110,812
TOTAL (lines 1 - 10)	11	1,515,028	57,000				0		1,572,028	1,424,475	1,309,130
PUBLIC WORKS											
Roads, Bridges, & Sidewalks	12	381,650	354,520						736,170	679,607	955,939
Parking - Meter and Off-Street	13								0	0	0
Street Lighting	14								0	0	0
Traffic Control and Safety	15								0	0	0
Snow Removal	16	5,972	50,000						55,972	55,972	9,554
Highway Engineering	17								0	0	0
Street Cleaning	18								0	0	0
Airport	19								0	0	0
Garbage (if not Enterprise)	20								0	0	0
Other Public Works	21								0	0	0
TOTAL (lines 12 - 21)	22	387,622	404,520				0		792,142	735,579	965,493
HEALTH & SOCIAL SERVICES											
Welfare Assistance	23								0	0	0
City Hospital	24								0	0	0
Payments to Private Hospitals	25								0	0	0
Health Regulation and Inspection	26								0	0	0
Water, Air, and Mosquito Control	27								0	0	0
Community Mental Health	28								0	0	0
Other Health and Social Services	29								0	0	0
TOTAL (lines 23 - 29)	30	0	0				0		0	0	0
CULTURE & RECREATION											
Library Services	31	576,785	50,000						626,785	608,785	590,409
Museum, Band and Theater	32								0	0	0
Parks	33	311,801							311,801	271,797	557,575
Recreation	34	297,234							297,234	297,397	221,280
Cemetery	35								0	0	0
Community Center, Zoo, & Marina	36	31,000							31,000	24,600	48,528
Other Culture and Recreation	37	104,900							104,900	111,900	114,681
TOTAL (lines 31 - 37)	38	1,321,720	50,000				0		1,371,720	1,314,479	1,532,473

City Name: **DYERSVILLE**
 Fiscal Year July 1, 2026 - June 30, 2027

GOVERNMENT ACTIVITIES	GENERAL	SPECIAL REVENUES	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	BUDGET 2027	RE-ESTIMATED 2026	ACTUAL 2025
COMMUNITY & ECONOMIC DEVELOPMENT										
Community Beautification	39							0	39,916	0
Economic Development	40	154,916						154,916	0	445,000
Housing and Urban Renewal	41							0	0	0
Planning & Zoning	42							0	0	0
Other Com & Econ Development	43			30,000				30,000	30,000	0
TIF Rebates	44			1,717,686				1,717,686	2,022,780	889,663
TOTAL (lines 39 - 44)	45	154,916	0	1,747,686		0		1,902,602	2,092,696	1,334,663
GENERAL GOVERNMENT										
Mayor, Council, & City Manager	46	82,450						82,450	78,210	75,135
Clerk, Treasurer, & Finance Adm.	47	172,914						172,914	161,922	184,140
Elections	48							0	3,000	0
Legal Services & City Attorney	49	30,000						30,000	30,000	28,718
City Hall & General Buildings	50	163,600						163,600	140,400	153,663
Tort Liability	51	42,100						42,100	35,500	41,532
Other General Government	52	107,000						107,000	106,000	147,504
TOTAL (lines 46 - 52)	53	598,064	0	0		0		598,064	555,032	630,692
DEBT SERVICE	54									
Gov Capital Projects	55				345,000			345,000	370,000	3,664,107
TIF Capital Projects	56							0	0	0
TOTAL CAPITAL PROJECTS	57	0	0	0	345,000	0		345,000	370,000	3,664,107
TOTAL Government Activities Expenditures (lines 11+22+30+38+45+53+54+57)	58	3,977,350	511,520	1,747,686	2,229,892	345,000	0	8,811,448	8,389,176	10,716,037
BUSINESS TYPE ACTIVITIES										
Proprietary: Enterprise & Budgeted ISF										
Water Utility	59						816,735	816,735	798,251	788,909
Sewer Utility	60						853,715	853,715	757,780	663,115
Electric Utility	61						0	0	0	0
Gas Utility	62						0	0	0	0
Airport	63						0	0	0	0
Landfill/Garbage	64						440,889	440,889	421,651	398,065
Transit	65						0	0	0	0
Cable TV, Internet & Telephone	66						0	0	0	0
Housing Authority	67						0	0	0	0
Storm Water Utility	68						0	0	0	0
Other Business Type (city hosp., ISF, parking, etc.)	69						0	0	0	0
Enterprise DEBT SERVICE	70						735,060	735,060	735,030	1,184,293
Enterprise CAPITAL PROJECTS	71						2,225,000	2,225,000	0	498,803
Enterprise TIF CAPITAL PROJECTS	72						0	0	0	0
TOTAL Business Type Expenditures (lines 59 - 72)	73						5,071,399	5,071,399	2,712,712	3,533,185
TOTAL ALL EXPENDITURES (lines 58 + 73)	74	3,977,350	511,520	1,747,686	2,229,892	345,000	0	5,071,399	13,882,847	14,249,222
Regular Transfers Out	75		438,959					470,567	909,526	833,133
Internal TIF Loan / Repayment Transfers Out	76			948,999				0	948,999	569,191
Total ALL Transfers Out	77	0	438,959	948,999	0	0	0	470,567	1,858,525	1,402,324
Total Expenditures & Fund Transfers Out (lines 74+77)	78	3,977,350	950,479	2,696,685	2,229,892	345,000	0	5,541,966	15,741,372	16,651,546
Ending Fund Balance June 30	79	860,568	1,297,417	3,781,607	4,563,453	-2,942,152	0	-883,700	6,120,533	1,937,000

REVENUES DETAIL

Item 22.

City Name: DYERSVILLE
 Fiscal Year July 1, 2026 - June 30, 2027

		GENERAL	SPECIAL REVENUES	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	BUDGET 2027	RE-ESTIMATED 2026	ACTUAL 2025
REVENUES & OTHER FINANCING SOURCES											
Taxes Levied on Property	1	2,499,909	0		935,135	0			3,435,044	3,182,663	3,242,762
Less: Uncollected Property Taxes - Levy Year	2								0	0	0
Net Current Property Taxes (line 1 minus line 2)	3	2,499,909	0		935,135	0			3,435,044	3,182,663	3,242,762
Delinquent Property Taxes	4								0	0	0
TIF Revenues	5			2,540,815					2,540,815	2,659,210	2,162,775
Other City Taxes:											
Utility Tax Replacement Excise Taxes	6	22,203	0		6,234	0			28,437	30,588	0
Utility franchise tax (Iowa Code Chapter 364.2)	7	483,444							483,444	486,444	454,292
Parimutuel wager tax	8								0	0	0
Gaming wager tax	9								0	0	0
Mobile Home Taxes	10								0	0	0
Hotel/Motel Taxes	11	150,000							150,000	150,000	142,069
Other Local Option Taxes	12	260,000	635,000						895,000	830,000	827,360
Subtotal - Other City Taxes (lines 6 thru 12)	13	915,647	635,000		6,234	0			1,556,881	1,497,032	1,423,721
Licenses & Permits	14	21,940							21,940	23,515	18,956
Use of Money & Property	15	140,500	500						141,000	133,350	118,900
Intergovernmental:											
Federal Grants & Reimbursements	16	0						1,200,000	1,200,000	212,500	640,803
Road Use Taxes	17		648,000						648,000	648,000	635,820
Other State Grants & Reimbursements	18								0	0	1,437,143
Local Grants & Reimbursements	19	5,000							5,000	5,000	31,905
Subtotal - Intergovernmental (lines 16 thru 19)	20	5,000	648,000	0	0	0		1,200,000	1,853,000	865,500	2,745,671
Charges for Fees & Service:											
Water Utility	21							1,209,229	1,209,229	1,151,300	1,126,225
Sewer Utility	22							1,979,438	1,979,438	1,979,438	1,754,514
Electric Utility	23							0	0	0	0
Gas Utility	24							0	0	0	0
Parking	25							0	0	0	0
Airport	26							0	0	0	0
Landfill/Garbage	27							484,810	484,810	484,810	441,928
Hospital	28							0	0	0	0
Transit	29							0	0	0	0
Cable TV, Internet & Telephone	30							0	0	0	0
Housing Authority	31							0	0	0	0
Storm Water Utility	32							0	0	0	0
Other Fees & Charges for Service	33	207,350							207,350	184,300	241,737
Subtotal - Charges for Service (lines 21 thru 33)	34	207,350	0		0	0	0	3,673,477	3,880,827	3,799,848	3,564,404
Special Assessments	35								0	0	0
Miscellaneous	36	159,000	50,000						209,000	163,500	259,930
Other Financing Sources:											
Regular Operating Transfers In	37				564,526	345,000			909,526	833,133	2,169,876
Internal TIF Loan Transfers In	38				723,999			225,000	948,999	569,191	0
Subtotal ALL Operating Transfers In	39	0	0	0	1,288,525	345,000	0	225,000	1,858,525	1,402,324	2,169,876
Proceeds of Debt (Excluding TIF Internal Borrowing)	40							800,000	800,000	3,260,898	8,266
Proceeds of Capital Asset Sales	41	1,000							1,000	1,000	0
Subtotal-Other Financing Sources (lines 38 thru 40)	42	1,000	0	0	1,288,525	345,000	0	1,025,000	2,659,525	4,664,222	2,178,142
Total Revenues except for beginning fund balance (lines 3, 4, 5, 13, 14, 15, 20, 34, 35, 36, & 41)	43	3,950,346	1,333,500	2,540,815	2,229,894	345,000	0	5,898,477	16,298,032	16,988,840	15,715,261
Beginning Fund Balance July 1	44	887,572	914,396	3,937,477	4,563,451	-2,942,152	0	-1,240,211	6,120,533	1,635,905	2,220,742
TOTAL REVENUES & BEGIN BALANCE (lines 42+43)	45	4,837,918	2,247,896	6,478,292	6,793,345	-2,597,152	0	4,658,266	22,418,565	18,624,745	18,936,003

ADOPTED BUDGET SUMMARY

Item 22.

City Name: DYERSVILLE
Fiscal Year July 1, 2026 - June 30, 2027

	GENERAL	SPECIAL REVENUES	TIF SPECIAL REVENUES	DEBT SERVICE	CAPITAL PROJECTS	PERMANENT	PROPRIETARY	BUDGET 2027	RE-ESTIMATED 2026	ACTUAL 2025	
Revenues & Other Financing Sources											
Taxes Levied on Property	1	2,499,909	0		935,135	0		3,435,044	3,182,663	3,242,762	
Less: Uncollected Property Taxes-Levy Year	2	0	0		0	0		0	0	0	
Net Current Property Taxes	3	2,499,909	0		935,135	0		3,435,044	3,182,663	3,242,762	
Delinquent Property Taxes	4	0	0		0	0		0	0	0	
TIF Revenues	5			2,540,815				2,540,815	2,659,210	2,162,775	
Other City Taxes	6	915,647	635,000		6,234	0		1,556,881	1,497,032	1,423,721	
Licenses & Permits	7	21,940	0				0	21,940	23,515	18,956	
Use of Money and Property	8	140,500	500	0	0	0	0	141,000	133,350	118,900	
Intergovernmental	9	5,000	648,000	0	0	0	1,200,000	1,853,000	865,500	2,745,671	
Charges for Fees & Service	10	207,350	0		0	0	3,673,477	3,880,827	3,799,848	3,564,404	
Special Assessments	11	0	0		0	0	0	0	0	0	
Miscellaneous	12	159,000	50,000		0	0	0	209,000	163,500	259,930	
Sub-Total Revenues	13	3,949,346	1,333,500	2,540,815	941,369	0	4,873,477	13,638,507	12,324,618	13,537,119	
Other Financing Sources:											
Total Transfers In	14	0	0	0	1,288,525	345,000	0	225,000	1,858,525	1,402,324	2,169,876
Proceeds of Debt	15	0	0	0	0	0	800,000	800,000	3,260,898	8,266	
Proceeds of Capital Asset Sales	16	1,000	0	0	0	0	0	1,000	1,000	0	
Total Revenues and Other Sources	17	3,950,346	1,333,500	2,540,815	2,229,894	345,000	0	5,898,477	16,298,032	16,988,840	15,715,261
Expenditures & Other Financing Uses											
Public Safety	18	1,515,028	57,000	0		0		1,572,028	1,424,475	1,309,130	
Public Works	19	387,622	404,520	0		0		792,142	735,579	965,493	
Health and Social Services	20	0	0	0		0		0	0	0	
Culture and Recreation	21	1,321,720	50,000	0		0		1,371,720	1,314,479	1,532,473	
Community and Economic Development	22	154,916	0	1,747,686		0		1,902,602	2,092,696	1,334,663	
General Government	23	598,064	0	0		0		598,064	555,032	630,692	
Debt Service	24	0	0	0	2,229,892		0	2,229,892	1,896,915	1,279,479	
Capital Projects	25	0	0	0		345,000	0	345,000	370,000	3,664,107	
Total Government Activities Expenditures	26	3,977,350	511,520	1,747,686	2,229,892	345,000	0	8,811,448	8,389,176	10,716,037	
Business Type Proprietary: Enterprise & ISF	27						5,071,399	5,071,399	2,712,712	3,533,185	
Total Gov & Bus Type Expenditures	28	3,977,350	511,520	1,747,686	2,229,892	345,000	0	5,071,399	13,882,847	14,249,222	
Total Transfers Out	29	0	438,959	948,999	0	0	0	470,567	1,402,324	2,169,876	
Total ALL Expenditures/Fund Transfers Out	30	3,977,350	950,479	2,696,685	2,229,892	345,000	0	5,541,966	15,741,372	16,419,098	
Excess Revenues & Other Sources Over	31										
(Under) Expenditures/Transfers Out	32	-27,004	383,021	-155,870	2	0	0	356,511	556,660	4,484,628	-703,837
Beginning Fund Balance July 1	33	887,572	914,396	3,937,477	4,563,451	-2,942,152	0	-1,240,211	6,120,533	1,635,905	2,339,742
Ending Fund Balance June 30	34	860,568	1,297,417	3,781,607	4,563,453	-2,942,152	0	-883,700	6,677,193	6,120,533	1,635,905

LONG TERM DEBT SCHEDULE - LT DEBT1

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
GO Refunding Notes 2013 (Debt Service)	1	1,350,000	GO	49-13	70,000	6,965	76,965				76,965
GO Refunding Notes 2013 (Water Service)	2	510,000	GO	49-13	40,000	2,620	42,620			42,620	0
GO Refunding Notes 2013 (Sewer Fund)	3	875,000	GO	49-13	65,000	4,428	69,428			69,428	0
	4	-	-				0				0
GO Refunding Notes 2018 (Debt Service)	5	345,000	GO	24-18	40,000	1,160	41,160				41,160
GO Refunding Notes 2018 (Delaware TIF)	6	345,000	GO	24-18	40,000	1,160	41,160			41,160	0
GO Refunding Notes 2018 (Dubuque TIF)	7	1,795,000	GO	24-18	215,000	6,235	221,235			221,235	0
GO Refunding Notes 2018 (Water Service)	8	1,320,000	GO	24-18	160,000	4,640	164,640			164,640	0
GO Refunding Notes 2018 (Sewer Fund)	9	590,000	GO	24-18	75,000	2,175	77,175			77,175	0
	10	-	-				0				0
GO Refunding Notes 2019 (Debt Service)	11	3,340,000	GO	67-19	190,000	53,800	243,800				243,800
GO Refunding Notes 2019 (TIF)	12	2,515,000	GO	67-19	175,000	45,725	220,725			220,725	0
	13	-	-				0				0
GO Refunding Notes 2021A (Debt Service)	14	1,810,000	GO	45-21	60,000	8,313	68,313				68,313
GO Refunding Notes 2021A (TIF)	15	615,000	GO	45-21	40,000	6,840	46,840			46,840	0
GO Refunding Notes 2021A (Sewer)	16	460,000	GO	45-21	30,000	5,050	35,050			35,050	0
	17	-	-				0				0
GO Refunding Notes 2021B (Debt Service)	18	890,000	GO	46-21	60,000	12,673	72,673				72,673
GO Refunding Notes 2021B (Road Use Tax)	19	30,000	GO	46-21	10,000	140	10,140			10,140	0
GO Refunding Notes 2021B (Sewer)	20	130,000	GO	46-21	15,000	1,145	16,145			16,145	0
	21	-	-				0				0
GO Corporate Bond 2023 (Debt Service)	22	1,255,000	GO	12-23	125,000	27,900	152,900				152,900
GO Corporate Bond 2023 (TIF)	23	1,030,000	GO	12-23	60,000	29,108	89,108			89,108	0
GO Corporate Bond 2023 (Water)	24	160,000	GO	12-23	20,000	3,150	23,150			23,150	0
GO Corporate Bond 2023 (Sewer)	25	180,000	GO	12-23	20,000	3,600	23,600			23,600	0
	26	-	-				0				0
GO Corporate Bond 2025 (Debt Service)	27	2,380,000	GO	103-25	190,000	95,557	285,557				285,557
GO Corporate Bond 2025 (TIF)	28	870,000	GO	103-25	70,000	34,931	104,931			104,931	0
	29	-	-				0				0
	30	-	-				0				0
TOTALS					1,770,000	357,315	2,127,315	0	0	1,185,947	941,368

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
Water Revenue Bonds 2016 (SFR Loan)	31	1,373,000	NON-GO	68-16	17,000	3,325	20,325	475		20,800	0
Water Revenue Bonds 2020 (SRF Loan)	32	1,600,000	NON-GO	13-20	74,000	20,738	94,738	2,962		97,700	0
	33	-					0				0
Sewer Revenue Bonds 2016 (SRF Loan)	34	4,000,000	NON-GO	35-16	197,000	41,895	238,895	5,985		244,880	0
Sewer Revenue Bonds 2020 (SRF Loan)	35	3,626,729	NON-GO	41-20	179,000	15,915	194,915	5,305		200,220	0
Sewer Revenue Bonds 2020 (SRF Loan)	36	2,800,000	NON-GO	60-20	130,000	36,278	166,278	5,182		171,460	0
	37	-					0				0
Public Works Lease Agreement 2022 Jetter (#128)	38	87,205	NON-GO	30-22	17,961	799	18,760			18,760	0
	39	-					0				0
Public Works Lease Agreement 2023 Truck (#131)	40	218,917	NON-GO	42-23	30,798	6,842	37,640			37,640	0
Public Works Lease Agreement 2025 Truck	41	262,091	NON-GO	15-25	33,437	12,742	46,179			46,178	1
	42	-					0				0
	43	-					0				0
	44	-					0				0
	45	-					0				0
	46	-					0				0
	47	-					0				0
	48	-					0				0
	49	-					0				0
	50	-					0				0
	51	-					0				0
	52	-					0				0
	53	-					0				0
	54	-					0				0
	55	-					0				0
	56	-					0				0
	57	-					0				0
	58	-					0				0
	59	-					0				0
	60	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

LONG TERM DEBT SCHEDULE - LT DEBT3

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
	61	-					0				0
	62	-					0				0
	63	-					0				0
	64	-					0				0
	65	-					0				0
	66	-					0				0
	67	-					0				0
	68	-					0				0
	69	-					0				0
	70	-					0				0
	71	-					0				0
	72	-					0				0
	73	-					0				0
	74	-					0				0
	75	-					0				0
	76	-					0				0
	77	-					0				0
	78	-					0				0
	79	-					0				0
	80	-					0				0
	81	-					0				0
	82	-					0				0
	83	-					0				0
	84	-					0				0
	85	-					0				0
	86	-					0				0
	87	-					0				0
	88	-					0				0
	89	-					0				0
	90	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
	91	-					0				0
	92	-					0				0
	93	-					0				0
	94	-					0				0
	95	-					0				0
	96	-					0				0
	97	-					0				0
	98	-					0				0
	99	-					0				0
	100	-					0				0
	101	-					0				0
	102	-					0				0
	103	-					0				0
	104	-					0				0
	105	-					0				0
	106	-					0				0
	107	-					0				0
	108	-					0				0
	109	-					0				0
	110	-					0				0
	111	-					0				0
	112	-					0				0
	113	-					0				0
	114	-					0				0
	115	-					0				0
	116	-					0				0
	117	-					0				0
	118	-					0				0
	119	-					0				0
	120	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

LONG TERM DEBT SCHEDULE - LT DEBTS

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
	121	-					0				0
	122	-					0				0
	123	-					0				0
	124	-					0				0
	125	-					0				0
	126	-					0				0
	127	-					0				0
	128	-					0				0
	129	-					0				0
	130	-					0				0
	131	-					0				0
	132	-					0				0
	133	-					0				0
	134	-					0				0
	135	-					0				0
	136	-					0				0
	137	-					0				0
	138	-					0				0
	139	-					0				0
	140	-					0				0
	141	-					0				0
	142	-					0				0
	143	-					0				0
	144	-					0				0
	145	-					0				0
	146	-					0				0
	147	-					0				0
	148	-					0				0
	149	-					0				0
	150	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
	151	-					0				0
	152	-					0				0
	153	-					0				0
	154	-					0				0
	155	-					0				0
	156	-					0				0
	157	-					0				0
	158	-					0				0
	159	-					0				0
	160	-					0				0
	161	-					0				0
	162	-					0				0
	163	-					0				0
	164	-					0				0
	165	-					0				0
	166	-					0				0
	167	-					0				0
	168	-					0				0
	169	-					0				0
	170	-					0				0
	171	-					0				0
	172	-					0				0
	173	-					0				0
	174	-					0				0
	175	-					0				0
	176	-					0				0
	177	-					0				0
	178	-					0				0
	179	-					0				0
	180	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

Item 22.

Debt Name		Amount of Issue	Type of Debt Obligation	Debt Resolution Number	Principal Due FY	Interest Due FY	Total Obligation Due FY	Bond Reg./ Paying Agent Fees Due FY	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Funds OTHER THAN Current Year Debt Service Taxes	Amount Paid Current Year Debt Service Levy
	181	-					0				0
	182	-					0				0
	183	-					0				0
	184	-					0				0
	185	-					0				0
	186	-					0				0
	187	-					0				0
	188	-					0				0
	189	-					0				0
	190	-					0				0
	191	-					0				0
	192	-					0				0
	193	-					0				0
	194	-					0				0
	195	-					0				0
	196	-					0				0
	197	-					0				0
	198	-					0				0
	199	-					0				0
	200	-					0				0
	201	-					0				0
	202	-					0				0
	203	-					0				0
	204	-					0				0
	205	-					0				0
	206	-					0				0
	207	-					0				0
	208	-					0				0
	209	-					0				0
	210	-					0				0
TOTALS					2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

LONG TERM DEBT SCHEDULE - GRAND TOTALS

Item 22.

GENERAL OBLIGATION BONDS, TIF BONDS, REVENUE BONDS, LOANS, LEASE-PURCHASE PAYMENTS

	Principal Due FY 2027	Interest Due FY 2027	Total Obligation Due FY 2027	Bond Reg./ Paying Agent Fees Due FY 2027	Reductions due to Refinancing or Prepayment of Certified Debt	Paid from Sources OTHER THAN Budget Year Debt Service Levy	Amount Paid Budget Year Debt Service Levy
GO - TOTAL	1,770,000	357,315	2,127,315	0	0	1,185,947	941,368
NON GO - TOTAL	679,196	138,534	817,730	19,909	0	837,638	1
GRAND - TOTAL	2,449,196	495,849	2,945,045	19,909	0	2,023,585	941,369

NOTICE OF PUBLIC HEARING -- PROPOSED BUDGET
Fiscal Year July 1, 2026 - June 30, 2027

Item 22.

City of: **DYERSVILLE**

The City Council will conduct a public hearing on the proposed Budget at: (entered upon publish) Meeting Date: (entered upon publish) Meeting Time: (entered upon publish)

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of, any part of the proposed budget. This notice represents a summary of the supporting detail of revenues and expenditures on file with the City Clerk and County Auditor.

City budgets are subject to protest. If protest petition requirements are met, the State Appeal Board will hold a local hearing. For more information, consult <https://dom.iowa.gov/local-budget-appeals>.

The Budget Estimate Summary of proposed receipts and expenditures is shown below. Copies of the the detailed proposed Budget may be obtained or viewed at the offices of the Mayor, City Clerk, and at the Library.	
The estimated Total tax levy rate per \$1000 valuation on regular property	10.27226
The estimated tax levy rate per \$1000 valuation on Agricultural property is	3.00375

At the public hearing, any resident or taxpayer may present objections to, or arguments in favor of, any part of the proposed budget.

Phone Number
(563) 875-7724

City Clerk/Finance Officer's NAME
(entered upon publish)

		Budget FY 2027	Re-estimated FY 2026	Actual FY 2025
Revenues & Other Financing Sources				
Taxes Levied on Property	1	3,435,044	3,182,663	3,242,762
Less: Uncollected Property Taxes-Levy Year	2	0	0	0
Net Current Property Taxes	3	3,435,044	3,182,663	3,242,762
Delinquent Property Taxes	4	0	0	0
TIF Revenues	5	2,540,815	2,659,210	2,162,775
Other City Taxes	6	1,556,881	1,497,032	1,423,721
Licenses & Permits	7	21,940	23,515	18,956
Use of Money and Property	8	141,000	133,350	118,900
Intergovernmental	9	1,853,000	865,500	2,745,671
Charges for Fees & Service	10	3,880,827	3,799,848	3,564,404
Special Assessments	11	0	0	0
Miscellaneous	12	209,000	163,500	259,930
Other Financing Sources	13	801,000	3,261,898	8,266
Transfers In	14	1,858,525	1,402,324	2,169,876
Total Revenues and Other Sources	15	16,298,032	16,988,840	15,715,261
Expenditures & Other Financing Uses				
Public Safety	16	1,572,028	1,424,475	1,309,130
Public Works	17	792,142	735,579	965,493
Health and Social Services	18	0	0	0
Culture and Recreation	19	1,371,720	1,314,479	1,532,473
Community and Economic Development	20	1,902,602	2,092,696	1,334,663
General Government	21	598,064	555,032	630,692
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Total Government Activities Expenditures	24	8,811,448	8,389,176	10,716,037
Business Type / Enterprises	25	5,071,399	2,712,712	3,533,185
Total ALL Expenditures	26	13,882,847	11,101,888	14,249,222
Transfers Out	27	1,858,525	1,402,324	2,169,876
Total ALL Expenditures/Transfers Out	28	15,741,372	12,504,212	16,419,098
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out	29	556,660	4,484,628	-703,837
Beginning Fund Balance July 1	30	6,120,533	1,635,905	2,339,742
Ending Fund Balance June 30	31	6,677,193	6,120,533	1,635,905



Dyersville, IA

Budget Worksheet Account Summary

Item 22.

For Fiscal: 2025-2026 Period Ending: 12/31/2025

		Defined Budgets						
		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
Fund: 001 - GENERAL FUND								
Revenue								
Department: 950 - OTHER REVENUES								
001-4-950-0-1-41000	LIQUOR/BEER PERMITS	10,500.00	13,243.19	10,000.00	7,989.41	13,500.00	5,138.15	10,000.00
001-4-950-0-1-41050	CIGARETTE PERMITS	600.00	675.00	600.00	300.00	675.00	375.00	600.00
001-4-950-0-1-41220	BUILDING PERMITS	5,000.00	5,201.00	5,000.00	7,670.00	5,000.00	2,945.00	7,000.00
001-4-950-0-1-41800	DOG/BIKE LICENSES	325.00	324.00	340.00	270.00	340.00	63.00	340.00
001-4-950-0-1-41900	MISCELLANEOUS PERMITS	2,000.00	3,023.10	2,000.00	2,727.00	2,000.00	1,132.00	2,000.00
001-4-950-0-1-45503	BD OF ADJ/PLAN & ZONING AP...	1,000.00	2,410.00	800.00	1,800.00	2,000.00	900.00	2,000.00
001-4-950-0-1-45599	MISCELLANEOUS RECEIPTS	68,000.00	154,643.34	68,000.00	6,271.33	68,000.00	1,578.52	68,000.00
001-4-950-0-1-45600	SALES TAX RECEIVED	3,000.00	3,968.16	3,000.00	4,010.60	4,000.00	1,554.14	4,000.00
001-4-950-0-1-47350	GAS TAX REFUND	0.00	7,232.10	4,000.00	13,312.56	6,000.00	0.00	6,000.00
001-4-950-0-2-44900	GRANT-DUBUQUE RACING ASS...	5,000.00	0.00	5,000.00	0.00	5,000.00	0.00	5,000.00
001-4-950-0-2-47050	DONATIONS	0.00	500.00	1,000.00	12,250.00	1,000.00	10,000.00	1,000.00
001-4-950-0-2-47150	REFUNDS	5,000.00	12,103.32	5,000.00	390.00	5,000.00	2,658.75	5,000.00
001-4-950-0-2-47200	INSURANCE CLAIMS RECEIPTS	0.00	2,325.16	0.00	12,305.05	0.00	7,500.00	0.00
001-4-950-0-2-47201	INSURANCE RESERVE DIVIDEND	10,000.00	15,542.00	10,000.00	42,398.40	10,000.00	0.00	10,000.00
001-4-950-0-4-40000	PROPERTY TAX	2,018,593.00	2,173,180.04	2,168,473.00	2,332,734.16	2,324,752.00	1,341,957.07	2,499,909.00
001-4-950-0-4-40040	UTILITY TAX REPLACEMENT	25,568.00	0.00	24,691.00	0.00	23,908.00	0.00	22,203.00
001-4-950-0-4-40650	CABLE FRANCHISE TAX	25,000.00	22,948.99	25,000.00	20,178.79	25,000.00	7,931.34	22,000.00
001-4-950-0-4-40651	GAS FRANCHISE TAX	76,730.00	34,026.83	76,730.00	71,127.35	76,730.00	23,200.43	76,730.00
001-4-950-0-4-40652	ELECTRIC FRANCHISE FEE	374,846.00	173,808.84	374,846.00	362,985.61	384,714.00	221,921.52	384,714.00
001-4-950-0-4-40850	HOTEL/MOTEL TAX	150,000.00	148,195.18	150,000.00	142,068.79	150,000.00	98,851.39	150,000.00
001-4-950-0-4-40900	LOCAL OPTION SALES TAX	230,000.00	202,030.73	210,000.00	259,651.38	210,000.00	118,956.15	260,000.00
001-4-950-0-4-40950	KENNEDY/IN LIEU OF TAX PAY...	10,000.00	17,773.15	10,000.00	18,276.27	0.00	10,676.09	0.00
001-4-950-0-4-43000	INTEREST	15,000.00	90,865.88	50,000.00	60,466.56	50,000.00	37,066.77	60,000.00
001-4-950-0-4-43100	RENT	46,500.00	11,620.00	46,500.00	29,529.28	52,500.00	19,315.80	50,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
001-4-950-0-4-43101	BI-COUNTY LEASE PAYMENT	15,150.00	15,488.76	15,150.00	7,800.84	15,500.00	7,073.96	15,500.00
001-4-950-0-4-43102	SOCIAL CENTER RENTALS	11,000.00	14,575.00	13,000.00	17,675.00	15,000.00	7,675.00	15,000.00
001-4-950-0-4-43103	SCENIC VALLEY UTILITIES	5,000.00	5,407.84	1,000.00	2,893.52	0.00	0.00	0.00
001-4-950-0-4-48100	SALE OF EQUIPMENT	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00
001-4-950-0-4-48300	TRANSFERS IN	0.00	141,657.00	0.00	238,605.00	0.00	0.00	0.00
001-4-950-1-1-45513	POLICE REPORTS	750.00	450.00	750.00	649.50	500.00	341.00	650.00
001-4-950-1-1-45599	MISCELLANEOUS RECEIPTS	10,000.00	2,860.00	10,000.00	872.00	5,000.00	3,159.00	5,000.00
001-4-950-1-1-47700	POLICE FINES	9,000.00	12,446.83	9,000.00	14,118.76	12,000.00	5,675.29	12,000.00
001-4-950-1-2-44800	COMMUNITY FIRE DEPT	20,375.00	11,887.00	12,000.00	12,934.00	12,000.00	0.00	12,000.00
001-4-950-2-1-44901	MISC STATE OPERATING GRANT	73,636.00	0.00	0.00	0.00	0.00	0.00	0.00
001-4-950-2-4-48100	SALE OF EQUIPMENT	0.00	0.00	0.00	30,000.00	0.00	0.00	0.00
001-4-950-4-1-45504	RECREATION PROGRAM FEES	5,000.00	0.00	0.00	0.00	0.00	0.00	0.00
001-4-950-4-1-45505	PROGRAM FEES (LESSONS/AER...	30,000.00	29,200.00	26,000.00	30,630.00	29,000.00	435.00	30,000.00
001-4-950-4-1-45506	BASEBALL PROGRAM	7,500.00	7,279.94	10,000.00	9,744.38	7,500.00	10.00	10,000.00
001-4-950-4-1-45507	SOFTBALL PROGRAM	6,500.00	10,268.43	8,500.00	12,558.47	10,000.00	0.00	10,000.00
001-4-950-4-1-45508	POOL RECEIPTS	45,000.00	44,234.80	45,000.00	46,612.37	45,000.00	18,832.39	47,000.00
001-4-950-4-1-45509	SOCCER PROGRAM	33,000.00	39,016.17	37,000.00	45,089.65	39,000.00	21,179.74	42,000.00
001-4-950-4-1-45510	FLAG FOOTBALL	0.00	3,885.00	0.00	3,480.00	4,000.00	650.00	4,000.00
001-4-950-4-1-45599	MISCELLANEOUS RECEIPTS	15,000.00	8,731.37	15,000.00	35,864.31	10,000.00	767.11	60,000.00
001-4-950-4-1-47500	POOL UNIFORMS PURCHASED	1,000.00	815.00	1,000.00	512.00	1,000.00	0.00	1,000.00
001-4-950-4-1-47550	CONCESSION STAND RECEIPTS	13,000.00	14,521.51	13,000.00	12,909.39	15,000.00	6,833.00	15,000.00
001-4-950-4-1-47651	LIBRARY FINES & FEES	4,000.00	3,307.76	5,000.00	3,365.43	3,500.00	2,331.41	3,500.00
001-4-950-4-2-44700	LIBRARY CONTRACT	19,400.00	19,335.07	19,600.00	18,971.38	20,300.00	12,562.70	20,200.00
001-4-950-9-1-47301	SOCIAL CENTER DEPOSIT RECEI...	0.00	100.00	0.00	250.00	0.00	0.00	0.00
Department: 950 - OTHER REVENUES Total:		3,407,973.00	3,481,107.49	3,492,980.00	3,954,248.54	3,665,419.00	2,001,246.72	3,950,346.00
Revenue Total:		3,407,973.00	3,481,107.49	3,492,980.00	3,954,248.54	3,665,419.00	2,001,246.72	3,950,346.00

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Expense								
Department: 110 - POLICE								
001-5-110-1-60100	SALARIES	13,276.00	5,310.22	15,221.00	6,091.20	15,522.00	5,970.78	15,834.00
001-5-110-1-60101	SALARIES-POLICE OFFICERS	540,587.00	556,434.34	554,656.00	558,606.02	631,304.00	336,610.49	650,515.00
001-5-110-1-60200	PART-TIME SALARIES	5,000.00	1,032.00	5,000.00	72.00	5,000.00	2,000.00	5,000.00
001-5-110-1-61100	FICA	41,738.00	33,644.31	43,596.00	33,842.45	58,775.00	20,735.21	51,358.00
001-5-110-1-61200	MEDICARE	7,911.00	7,868.54	8,263.00	7,914.77	9,154.00	4,849.41	9,735.00
001-5-110-1-61300	IPERS	1,016.00	501.30	1,437.00	575.04	1,466.00	563.69	1,495.00
001-5-110-1-61301	IPERS-POLICE OFFICERS	41,738.00	51,717.59	51,639.00	50,945.88	58,775.00	30,725.28	61,029.00
001-5-110-1-61500	GROUP INSURANCE	97,302.00	125,404.88	107,453.00	112,570.17	131,547.00	69,523.02	127,380.00
001-5-110-1-61700	SUI	500.00	528.71	500.00	532.98	500.00	270.99	500.00
001-5-110-1-61800	DOLPHIN UNIFORMS	650.00	310.89	650.00	156.75	650.00	33.98	650.00
001-5-110-1-61801	AVENARIUS UNIFORMS	650.00	632.95	650.00	2,640.91	650.00	283.00	650.00
001-5-110-1-61802	DUPONT UNIFORMS	650.00	459.14	650.00	387.55	650.00	150.00	650.00
001-5-110-1-61803	JOBGEN UNIFORMS	0.00	0.00	0.00	214.00	0.00	1,394.00	650.00
001-5-110-1-61804	SODAWASSER UNIFORMS	650.00	155.26	650.00	218.99	650.00	55.00	650.00
001-5-110-1-61805	JOCHUM UNIFORMS	650.00	265.00	650.00	0.00	650.00	136.98	650.00
001-5-110-1-61811	SCHROEDER UNIFORMS	650.00	401.03	650.00	569.93	650.00	486.44	650.00
001-5-110-1-61812	PART TIME UNIFORMS	650.00	0.00	650.00	654.66	650.00	0.00	650.00
001-5-110-1-61817	TUEGEL UNIFORMS	650.00	495.59	650.00	370.89	650.00	194.00	650.00
001-5-110-1-62100	DUES/SUBSCRIPTIONS	21,000.00	21,200.02	31,000.00	31,771.90	31,000.00	30,599.19	31,000.00
001-5-110-1-62300	MEETINGS/TRAINING	5,000.00	1,192.31	5,000.00	1,932.99	5,000.00	1,359.85	5,000.00
001-5-110-1-63310	GAS/ETHANOL/DIESEL	29,000.00	29,516.37	29,000.00	25,339.91	30,000.00	14,919.25	30,000.00
001-5-110-1-63320	VEHICLE REPAIRS	10,000.00	7,261.84	14,000.00	17,469.13	10,000.00	3,674.72	10,000.00
001-5-110-1-63710	ELECTRICITY	7,300.00	5,518.44	7,300.00	7,195.36	6,000.00	4,314.20	7,500.00
001-5-110-1-63711	GAS HEAT	1,700.00	876.78	1,700.00	1,207.32	1,500.00	348.11	1,500.00
001-5-110-1-63730	TELEPHONE	9,200.00	8,189.54	9,200.00	9,144.81	9,200.00	3,862.82	9,200.00
001-5-110-1-64080	INSURANCE PREMIUM	43,050.00	39,255.23	45,168.00	42,019.41	42,000.00	4,969.88	43,000.00
001-5-110-1-64110	LEGAL FEES	2,000.00	966.00	2,000.00	2,966.50	2,000.00	713.99	3,000.00
001-5-110-1-64201	DARE EXPENDITURES	500.00	336.22	500.00	125.00	500.00	0.00	500.00
001-5-110-1-64316	CONTRACTS	7,000.00	112.66	7,000.00	360.00	3,500.00	0.00	3,500.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
001-5-110-1-65060	OFFICE SUPPLIES	5,000.00	1,310.96	5,000.00	3,654.73	3,000.00	744.80	3,500.00
001-5-110-1-65407	DEPARTMENT SUPPLIES	10,000.00	3,649.10	10,000.00	3,718.71	5,000.00	1,795.92	5,000.00
001-5-110-1-67270	NEW EQUIPMENT	13,000.00	5,700.36	10,000.00	4,790.83	10,000.00	3,082.64	10,000.00
001-5-110-1-67273	OTHER EQUIPMENT	0.00	0.00	0.00	5,582.84	0.00	944.74	0.00
001-5-110-1-67274	CAPITAL IMPROVEMENTS/EQU...	50,000.00	39,573.20	70,000.00	36,740.08	0.00	19,583.20	75,000.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	SQUAD CAR PLUS EQUIPMENT			1.00	75,000.00	75,000.00		
	Department: 110 - POLICE Total:	968,018.00	949,820.78	1,039,833.00	970,383.71	1,075,943.00	564,895.58	1,166,396.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 130 - EMERGENCY MANAGEMENT								
001-5-130-1-60200	PART-TIME SALARIES	1,225.00	1,575.00	850.00	913.75	850.00	850.00	850.00
001-5-130-1-61100	FICA	94.00	97.65	65.00	56.65	65.00	52.70	65.00
001-5-130-1-61200	MEDICARE	18.00	22.84	13.00	13.25	13.00	12.33	13.00
001-5-130-1-61700	SUI	0.00	1.58	0.00	0.91	0.00	0.85	0.00
001-5-130-1-62300	MEETINGS/TRAINING	200.00	0.00	200.00	0.00	200.00	0.00	200.00
001-5-130-1-67275	EMERGENCY EQUIPMENT	1,500.00	797.41	1,500.00	1,286.84	1,000.00	485.26	1,000.00
Department: 130 - EMERGENCY MANAGEMENT Total:		3,037.00	2,494.48	2,628.00	2,271.40	2,128.00	1,401.14	2,128.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 140 - FLOOD CONTROL							
001-5-140-1-67610 EROSION CONTROL	0.00	252.72	5,000.00	252.72	5,000.00	126.36	5,000.00
Department: 140 - FLOOD CONTROL Total:	0.00	252.72	5,000.00	252.72	5,000.00	126.36	5,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 150 - FIRE								
001-5-150-1-60100	SALARIES	9,700.00	8,925.00	9,900.00	9,900.00	10,100.00	10,100.00	10,300.00
001-5-150-1-61100	FICA	700.00	553.35	760.00	613.80	773.00	626.20	773.00
001-5-150-1-61200	MEDICARE	200.00	129.43	144.00	143.56	146.00	146.44	146.00
001-5-150-1-61700	S.U.I. INSURANCE	100.00	18.66	100.00	19.82	100.00	10.12	100.00
001-5-150-1-62100	DUES/SUBSCRIPTIONS	2,650.00	4,078.63	2,650.00	3,949.83	2,790.00	498.80	2,790.00
001-5-150-1-62300	MEETINGS/TRAINING	13,000.00	9,266.02	13,300.00	11,088.78	15,100.00	1,405.00	17,500.00
001-5-150-1-63180	BUILDINGS/GROUNDS MAINTEN...	13,300.00	14,791.74	13,300.00	11,727.91	15,000.00	5,070.25	10,000.00
001-5-150-1-63310	GAS/ETHANOL/DIESEL	2,700.00	3,631.67	2,700.00	4,151.97	3,000.00	2,076.30	3,000.00
001-5-150-1-63320	VEHICLE REPAIRS	5,000.00	5,203.01	5,000.00	9,943.04	6,500.00	6,143.13	7,500.00
001-5-150-1-63710	ELECTRICITY	6,000.00	4,654.49	6,000.00	5,341.38	6,000.00	2,672.97	6,000.00
001-5-150-1-63711	GAS HEAT	4,000.00	2,590.46	4,000.00	3,619.38	4,000.00	568.69	4,000.00
001-5-150-1-63730	TELEPHONE	3,450.00	1,341.50	3,800.00	6,406.13	5,100.00	939.42	5,100.00
001-5-150-1-64080	INSURANCE PREMIUM	27,300.00	28,156.00	30,119.00	29,659.44	33,500.00	784.00	33,500.00
001-5-150-1-65407	DEPARTMENT SUPPLIES	7,675.00	8,048.24	7,675.00	8,102.33	7,675.00	5,610.79	8,175.00
001-5-150-1-67270	NEW EQUIPMENT	6,850.00	10,684.75	6,850.00	3,923.75	6,850.00	1,610.27	53,350.00
001-5-150-1-67274	CAPITAL IMPROVEMENTS/EQU...	0.00	0.00	0.00	0.00	0.00	9,865.00	90,000.00
001-5-150-1-67502	BUILDING IMPROVEMENTS	19,500.00	15,615.22	18,000.00	13,151.28	9,500.00	0.00	0.00
	Department: 150 - FIRE Total:	122,125.00	117,688.17	124,298.00	121,742.40	126,134.00	48,127.38	252,234.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 180 - MISC. COMMUNITY PROTECTION								
001-5-180-1-63321	STOPLIGHT REPAIRS	1,000.00	274.48	1,000.00	1,444.44	1,000.00	5,000.00	5,000.00
001-5-180-1-63710	ELECTRICITY	32,000.00	25,434.54	32,000.00	27,549.60	32,000.00	16,993.57	32,000.00
001-5-180-1-64307	AMBULANCE	44,770.00	44,770.00	44,770.00	44,770.00	44,770.00	44,770.00	44,770.00
001-5-180-1-65100	TRAFFIC SIGNS	2,000.00	237.43	4,000.00	38.73	5,000.00	4,906.75	5,000.00
001-5-180-1-67273	OTHER EQUIPMENT	2,500.00	0.00	2,500.00	0.00	2,500.00	73.76	2,500.00
Department: 180 - MISC. COMMUNITY PROTECTION Total:		82,270.00	70,716.45	84,270.00	73,802.77	85,270.00	71,744.08	89,270.00

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 210 - TRANSPORTATION								
001-5-210-2-60100	SALARIES	0.00	52,476.14	0.00	0.00	0.00	10,604.01	0.00
001-5-210-2-60200	PART-TIME SALARIES	0.00	0.00	0.00	0.00	0.00	7,090.00	0.00
001-5-210-2-61100	FICA	0.00	3,196.79	0.00	0.00	0.00	1,070.70	0.00
001-5-210-2-61200	MEDICARE	0.00	747.52	0.00	0.00	0.00	250.42	0.00
001-5-210-2-61300	IPERS	0.00	5,105.75	0.00	0.00	0.00	1,081.76	0.00
001-5-210-2-61500	GROUP INSURANCE	0.00	9,045.67	0.00	0.00	0.00	3,515.71	0.00
001-5-210-2-61700	SUI	100.00	203.83	100.00	0.00	100.00	99.28	100.00
001-5-210-2-61805	RECKER UNIFORMS	750.00	0.00	750.00	0.00	750.00	0.00	750.00
001-5-210-2-61806	LUECK UNIFORMS	750.00	994.75	750.00	736.65	750.00	183.39	750.00
001-5-210-2-61807	UNIFORMS	750.00	489.91	750.00	0.00	750.00	0.00	0.00
001-5-210-2-61808	WANDSNIDER UNIFORMS	750.00	59.99	750.00	309.78	750.00	0.00	750.00
001-5-210-2-61820	CITY ADMIN. CAR ALLOWANCE	2,000.00	1,800.00	2,000.00	2,501.64	2,000.00	1,612.73	2,000.00
001-5-210-2-62100	DUES/SUBSCRIPTIONS	2,000.00	22,289.61	10,000.00	23,449.96	25,000.00	6,846.70	25,000.00
001-5-210-2-62300	MEETINGS/TRAINING	8,000.00	16,663.47	18,000.00	19,515.24	18,000.00	4,475.30	18,000.00
001-5-210-2-63310	GAS/ETHANOL/DIESEL	15,000.00	11,554.64	15,000.00	9,827.80	15,000.00	4,573.97	15,000.00
001-5-210-2-63320	VEHICLE REPAIRS	30,000.00	18,515.72	25,000.00	17,241.41	20,000.00	3,645.94	20,000.00
001-5-210-2-63710	ELECTRICITY	2,500.00	3,113.86	2,500.00	3,210.57	2,500.00	2,024.16	2,500.00
001-5-210-2-63711	GAS HEAT	2,800.00	1,356.43	2,800.00	2,030.45	2,800.00	396.09	2,800.00
001-5-210-2-63730	TELEPHONE	6,000.00	4,251.20	6,000.00	8,475.98	6,000.00	2,644.38	6,000.00
001-5-210-2-64063	ENGINEERS FEES	0.00	15,202.50	0.00	0.00	0.00	0.00	0.00
001-5-210-2-64080	INSURANCE PREMIUM	50,000.00	46,473.31	51,730.00	51,807.33	51,730.00	-1,676.37	52,000.00
001-5-210-2-64081	INSURANCE CLAIMS	0.00	250.00	0.00	0.00	0.00	0.00	0.00
001-5-210-2-64122	DRUG TESTING	500.00	442.00	500.00	380.00	500.00	70.00	500.00
001-5-210-2-64306	RADIO MAINTENANCE FEE	0.00	0.00	0.00	1,215.00	1,500.00	0.00	1,500.00
001-5-210-2-64322	CONTRACTED SERVICES	40,000.00	75,481.99	40,000.00	54,730.85	40,000.00	55,548.16	55,000.00
001-5-210-2-65325	TREE MAINTENANCE SERVICES	40,000.00	40,500.00	40,000.00	41,688.25	40,000.00	21,300.00	40,000.00
001-5-210-2-65407	DEPARTMENT SUPPLIES	25,000.00	40,528.62	40,000.00	24,153.52	40,000.00	8,947.91	40,000.00
001-5-210-2-65410	CONTRACTED EQUIPMENT	3,000.00	73.00	0.00	0.00	0.00	0.00	0.00
001-5-210-2-67270	NEW EQUIPMENT	15,000.00	74,844.48	15,000.00	29,591.39	42,000.00	77,422.90	42,000.00
001-5-210-2-67273	OTHER EQUIPMENT	5,000.00	2,962.00	5,000.00	22,742.00	5,000.00	0.00	5,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
001-5-210-2-67274	CAPITAL IMPROVEMENTS/EQU...	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-5-210-2-67618	STREET RECONSTRUCTION	20,000.00	1,730.00	20,000.00	7,298.38	0.00	17,562.44	20,000.00
001-5-210-2-67621	STREET REHABILITATION	0.00	35,136.10	20,000.00	36,887.78	20,000.00	9,883.79	20,000.00
001-5-210-2-67622	STREET SIGN REPLACEMENT	0.00	43,059.57	12,000.00	6,027.50	12,000.00	21.24	12,000.00
Department: 210 - TRANSPORTATION Total:		269,900.00	528,548.85	328,630.00	363,821.48	347,130.00	239,194.61	381,650.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 250 - SNOW REMOVAL							
001-5-250-2-60100 SALARIES	0.00	375.00	0.00	0.00	0.00	210.00	0.00
001-5-250-2-60200 PART-TIME SALARIES	5,000.00	1,879.69	5,000.00	2,845.00	5,000.00	805.00	5,000.00
001-5-250-2-61100 FICA	390.00	139.80	390.00	176.39	390.00	62.93	390.00
001-5-250-2-61200 MEDICARE	82.00	32.71	82.00	41.26	82.00	14.73	82.00
001-5-250-2-61700 SUI	0.00	5.34	0.00	3.92	0.00	3.15	0.00
001-5-250-2-64322 CONTRACTED SERVICES	500.00	0.00	500.00	0.00	500.00	0.00	500.00
Department: 250 - SNOW REMOVAL Total:	5,972.00	2,432.54	5,972.00	3,066.57	5,972.00	1,095.81	5,972.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 410 - LIBRARY								
001-5-410-4-60100	SALARIES	310,900.00	305,973.91	316,281.00	325,516.69	341,663.00	172,460.71	351,880.00
001-5-410-4-61100	FICA	19,280.00	18,457.93	19,424.00	19,633.12	21,183.00	10,409.56	21,266.00
001-5-410-4-61200	MEDICARE	4,510.00	4,316.92	4,543.00	4,591.83	4,954.00	2,434.73	4,974.00
001-5-410-4-61300	IPERS	29,350.00	27,822.03	29,574.00	29,770.02	32,253.00	15,663.06	32,379.00
001-5-410-4-61500	GROUP INSURANCE	32,300.00	33,980.62	48,145.00	37,129.43	45,536.00	19,810.11	49,000.00
001-5-410-4-61700	SUI	220.00	444.40	228.00	474.76	246.00	214.71	500.00
001-5-410-4-62100	DUES	750.00	839.10	750.00	906.00	850.00	-100.00	850.00
001-5-410-4-62300	MEETINGS/TRAINING	2,500.00	2,111.19	2,500.00	1,612.98	2,500.00	299.56	2,500.00
001-5-410-4-63710	ELECTRICITY	15,500.00	10,126.92	14,000.00	11,977.40	12,000.00	7,454.15	15,000.00
001-5-410-4-63711	GAS HEAT	5,000.00	2,085.18	6,500.00	3,293.03	3,000.00	879.17	3,000.00
001-5-410-4-63750	MAINTENANCE	8,800.00	6,473.04	7,500.00	8,773.78	8,000.00	486.38	8,000.00
001-5-410-4-64080	INSURANCE PREMIUM	7,500.00	9,545.67	10,000.00	10,321.11	10,500.00	75.00	10,500.00
001-5-410-4-64316	CONTRACTS	0.00	6,617.29	0.00	7,277.13	0.00	1,219.83	0.00
001-5-410-4-64322	CONTRACTED SERVICES	8,500.00	10,568.00	11,000.00	12,716.15	13,600.00	6,276.00	13,600.00
001-5-410-4-65060	OFFICE SUPPLIES	21,500.00	10,328.86	22,500.00	10,406.94	20,500.00	4,085.02	20,500.00
001-5-410-4-67274	CAPITAL IMPROVEMENTS/EQU...	0.00	146.85	0.00	0.00	10,000.00	0.00	0.00
001-5-410-4-67701	BOOKS/FILMS/RECORDS/SUBS...	43,390.00	53,998.31	47,055.00	41,120.51	42,000.00	27,807.82	42,836.00
Department: 410 - LIBRARY Total:		510,000.00	503,836.22	540,000.00	525,520.88	568,785.00	269,475.81	576,785.00

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 430 - PARKS								
001-5-430-4-60100	SALARIES	40,050.00	40,071.98	43,898.00	43,920.57	44,772.00	22,703.18	46,317.00
001-5-430-4-60200	PART-TIME SALARIES	8,000.00	1,293.50	8,000.00	1,394.25	8,000.00	1,534.00	8,000.00
001-5-430-4-61100	FICA	3,676.00	2,462.07	3,970.00	2,690.98	4,037.00	1,442.77	4,155.00
001-5-430-4-61200	MEDICARE	697.00	576.03	753.00	629.57	765.00	337.60	788.00
001-5-430-4-61300	IPERS	3,781.00	3,783.15	5,330.00	4,146.48	5,354.00	2,143.22	5,378.00
001-5-430-4-61500	GROUP INSURANCE	14,646.00	10,139.10	15,992.00	14,916.72	17,244.00	8,617.41	18,838.00
001-5-430-4-61700	SUI	100.00	72.47	100.00	78.27	100.00	42.96	100.00
001-5-430-4-61816	PARKS UNIFORMS	150.00	1,108.99	500.00	0.00	500.00	0.00	500.00
001-5-430-4-62100	DUES/SUBSCRIPTIONS	3,000.00	8,710.29	3,000.00	13,009.98	3,000.00	488.04	10,000.00
001-5-430-4-62300	MEETINGS/TRAINING	2,000.00	491.56	2,000.00	771.28	2,000.00	342.86	2,000.00
001-5-430-4-63310	GAS/ETHANOL/DIESEL	1,000.00	1,181.64	1,100.00	1,518.68	1,500.00	826.59	1,500.00
001-5-430-4-63320	VEHICLE REPAIRS	1,000.00	1,931.30	1,200.00	1,432.38	1,200.00	4,081.76	1,500.00
001-5-430-4-63321	EQUIPMENT REPAIR	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00
001-5-430-4-63388	IPRA TICKET PROGRAM	18,000.00	0.00	0.00	0.00	0.00	0.00	0.00
001-5-430-4-63389	BUS TRIPS PROGRAMS	6,000.00	0.00	0.00	0.00	0.00	0.00	0.00
001-5-430-4-63710	ELECTRICITY	12,000.00	12,370.77	18,000.00	5,951.29	15,000.00	6,155.97	13,000.00
001-5-430-4-63730	TELEPHONE	1,500.00	542.49	1,500.00	763.13	1,500.00	307.71	1,500.00
001-5-430-4-64080	INSURANCE PREMIUM	4,000.00	6,234.95	5,100.00	5,419.39	6,550.00	2,108.50	6,550.00
001-5-430-4-64081	INSURANCE CLAIMS	0.00	0.00	0.00	3,949.62	0.00	0.00	0.00
001-5-430-4-64180	SALES TAXES PAID	500.00	423.08	500.00	418.70	500.00	133.87	500.00
001-5-430-4-64181	LOCAL OPTION SALES TAX PAID	75.00	71.08	75.00	71.03	75.00	22.61	75.00
001-5-430-4-64322	CONTRACTED SERVICES	40,000.00	126,056.17	45,000.00	108,823.21	50,000.00	63,093.40	55,000.00

Budget Detail

Budget Code	Description	Units	Price	Amount
PB	General Contracted Services	1.00	50,000.00	50,000.00
PB	Legacy Square Events (Council approval required)	1.00	5,000.00	5,000.00

001-5-430-4-64323	COACHES/UMPIRES	13,000.00	13,702.00	13,000.00	16,700.50	16,600.00	17,451.50	18,000.00
001-5-430-4-64324	ISU EXTENSION PROGRAMS	1,500.00	0.00	0.00	0.00	0.00	0.00	0.00
001-5-430-4-64326	TREE MAINTENANCE SERVICES	15,000.00	15,231.00	15,000.00	18,751.25	15,000.00	12,242.43	15,000.00
001-5-430-4-64800	REFUNDS	100.00	290.00	100.00	60.00	100.00	35.00	100.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
001-5-430-4-65060	OFFICE SUPPLIES	2,000.00	291.53	2,000.00	496.20	2,000.00	0.00	2,000.00
001-5-430-4-65407	DEPARTMENT SUPPLIES	14,000.00	18,245.52	15,000.00	33,473.21	20,000.00	14,840.09	20,000.00
001-5-430-4-65409	SOCCKER PROGRAM SUPPLIES	18,000.00	20,597.72	18,000.00	19,853.66	20,000.00	18,992.92	20,000.00
001-5-430-4-65410	SOFTBALL PROGRAM SUPPLIES	2,500.00	2,910.07	2,500.00	6,420.73	2,500.00	200.00	5,000.00
001-5-430-4-65411	BASEBALL PROGRAM SUPPLIES	2,500.00	9,644.93	2,500.00	6,232.90	2,500.00	801.41	5,000.00
001-5-430-4-65414	CONCESSION STAND SUPPLIES	0.00	728.85	0.00	0.00	0.00	0.00	0.00
001-5-430-4-67274	CAPITAL IMPROVEMENTS/EQU...	30,000.00	146,613.25	30,000.00	241,695.27	30,000.00	13,988.39	50,000.00
	Department: 430 - PARKS Total:	259,775.00	445,775.49	255,118.00	553,589.25	271,797.00	192,934.19	311,801.00

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 445 - AQUATIC CENTER								
001-5-445-4-60100	SALARIES	40,050.00	40,071.98	43,883.00	43,920.07	44,772.00	22,703.11	46,317.00
001-5-445-4-60200	PART-TIME SALARIES	88,900.00	69,259.63	88,900.00	72,699.70	88,900.00	49,419.67	88,900.00
001-5-445-4-61100	FICA	10,630.00	6,675.57	10,158.00	7,111.43	10,226.00	4,411.71	10,345.00
001-5-445-4-61200	MEDICARE	2,015.00	1,561.31	1,925.00	1,663.06	1,938.00	1,031.78	1,961.00
001-5-445-4-61300	IPERS	3,781.00	3,782.83	4,143.00	4,145.84	4,227.00	2,143.14	4,373.00
001-5-445-4-61500	GROUP INSURANCE	14,646.00	10,138.28	15,992.00	14,916.15	17,244.00	8,617.11	18,838.00
001-5-445-4-61700	SUI	250.00	162.83	250.00	177.54	250.00	134.75	250.00
001-5-445-4-61815	AQUATIC CENTER UNIFORMS	1,500.00	1,171.00	1,500.00	883.00	1,500.00	0.00	1,500.00
001-5-445-4-62100	DUES/SUBSCRIPTIONS	1,000.00	105.00	1,000.00	2,252.17	1,000.00	90.00	2,500.00
001-5-445-4-62300	MEETINGS/TRAINING	2,500.00	1,345.00	2,500.00	2,911.91	2,500.00	997.50	3,000.00
001-5-445-4-63321	EQUIPMENT REPAIR	12,000.00	9,882.88	12,000.00	219.84	12,000.00	3,432.52	10,000.00
001-5-445-4-63327	MAINTENANCE	5,000.00	3,463.59	5,000.00	6,741.10	5,000.00	1,348.12	5,000.00
001-5-445-4-63710	ELECTRICITY	9,000.00	7,258.82	9,000.00	8,072.61	9,000.00	9,052.06	9,000.00
001-5-445-4-63711	GAS HEAT	6,853.00	3,358.71	6,000.00	4,305.23	6,000.00	1,441.76	6,000.00
001-5-445-4-63730	TELEPHONE	250.00	0.00	250.00	0.00	250.00	0.00	250.00
001-5-445-4-64080	INSURANCE PREMIUM	10,200.00	6,571.95	12,240.00	7,940.39	12,240.00	12.50	10,000.00
001-5-445-4-64180	SALES TAXES PAID	5,000.00	3,672.18	5,000.00	3,229.81	5,000.00	3,134.02	3,800.00
001-5-445-4-64181	LOCAL OPTION SALES TAX PAID	850.00	612.02	850.00	538.31	850.00	522.33	700.00
001-5-445-4-64317	TESTING	125.00	549.25	500.00	514.50	750.00	43.00	750.00
001-5-445-4-64320	REGISTRATION/INSPECTIONS	750.00	390.00	750.00	45.00	750.00	493.00	750.00
001-5-445-4-64322	CONTRACTED SERVICES	2,500.00	1,716.25	2,500.00	8,747.00	10,000.00	201.00	10,000.00
001-5-445-4-65407	DEPARTMENT SUPPLIES	8,000.00	9,787.70	15,000.00	15,015.98	15,000.00	4,286.58	15,000.00
001-5-445-4-65414	CONCESSION STAND SUPPLIES	9,200.00	8,327.12	13,000.00	10,493.57	13,000.00	3,179.37	13,000.00
001-5-445-4-67274	CAPITAL IMPROVEMENTS/EQU...	0.00	28,152.37	10,000.00	0.00	30,000.00	17,331.33	30,000.00
001-5-445-4-67315	AQUATIC CENTER EQUIPMENT	5,000.00	0.00	5,000.00	750.00	5,000.00	0.00	5,000.00
Department: 445 - AQUATIC CENTER Total:		240,000.00	218,016.27	267,341.00	217,294.21	297,397.00	134,026.36	297,234.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 460 - COMMUNITY CENTER								
001-5-460-4-63710	ELECTRICITY	5,000.00	3,983.91	5,000.00	4,146.65	4,000.00	2,598.40	4,500.00
001-5-460-4-63711	GAS HEAT	1,200.00	916.88	1,200.00	1,731.56	1,000.00	451.29	1,800.00
001-5-460-4-63730	TELEPHONE	1,600.00	1,636.89	1,600.00	1,608.80	1,600.00	768.96	1,700.00
001-5-460-4-64322	CONTRACTED SERVICES	10,700.00	14,611.73	10,700.00	17,384.93	13,000.00	8,162.44	18,000.00
001-5-460-4-65407	DEPARTMENT SUPPLIES	6,500.00	1,363.72	26,500.00	23,656.02	5,000.00	450.90	5,000.00
Department: 460 - COMMUNITY CENTER Total:		25,000.00	22,513.13	45,000.00	48,527.96	24,600.00	12,431.99	31,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
Department: 470 - OTHER CULTURE								
001-5-470-4-62106	AIRPORT-DYERSVILLE AVIATION	7,000.00	7,000.00	7,000.00	7,000.00	7,000.00	7,000.00	0.00
001-5-470-4-62107	COMMERCIAL CLUB PARK	16,250.00	16,250.00	16,250.00	16,250.00	21,250.00	21,250.00	21,250.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	4TH OF JULY EVENT			1.00	10,000.00	10,000.00		
PB	RENT			1.00	11,250.00	11,250.00		
001-5-470-4-62405	HOTEL/MOTEL EXP.-CHAMBER	48,000.00	51,875.00	63,000.00	63,000.00	66,150.00	66,150.00	66,150.00
001-5-470-4-64308	HISTORICAL SOCIETY	3,000.00	3,000.00	3,000.00	3,000.00	5,000.00	5,000.00	5,000.00
001-5-470-4-64313	TREES FOREVER/GARDEN CLUB	1,300.00	1,097.39	1,300.00	368.49	1,300.00	0.00	1,300.00
001-5-470-4-64314	XMAS DECORATION MAINTEN...	1,200.00	0.00	1,200.00	0.00	1,200.00	0.00	1,200.00
001-5-470-4-65400	NEW CABLE EQUIPMENT	10,000.00	6,002.50	10,000.00	25,062.47	10,000.00	1,990.50	10,000.00
Department: 470 - OTHER CULTURE Total:		86,750.00	85,224.89	101,750.00	114,680.96	111,900.00	101,390.50	104,900.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
Department: 520 - ECONOMIC DEVELOPMENT								
001-5-520-5-64315	ECONOMIC DEVELOPMENT	123,127.00	101,000.00	39,916.00	45,000.00	39,916.00	47,866.72	154,916.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	DUB TOURISM BUREAU (Special Events)			1.00	85,000.00	85,000.00		
PB	DYERSVILLE ECON CORP			1.00	5,000.00	5,000.00		
PB	DYERSVILLE EVENTS (RAGBRAI)			1.00	50,000.00	50,000.00		
PB	ECIA-PROSPERITY EASTERN IA			1.00	1,500.00	1,500.00		
PB	GREATER DUBUQUE CORP			1.00	6,700.00	6,700.00		
PB	WMA AUTHORITY			1.00	6,716.00	6,716.00		
Department: 520 - ECONOMIC DEVELOPMENT Total:		123,127.00	101,000.00	39,916.00	45,000.00	39,916.00	47,866.72	154,916.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 550 - PLANNING AND ZONING							
001-5-550-5-64300 ZONING CODE UPDATE	1,000.00	0.00	1,000.00	0.00	0.00	0.00	0.00
Department: 550 - PLANNING AND ZONING Total:	1,000.00	0.00	1,000.00	0.00	0.00	0.00	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 610 - MAYOR, COUNCIL & CITY ADM								
001-5-610-6-60100	SALARIES	50,272.00	50,468.45	59,655.00	57,812.69	61,632.00	31,336.25	63,776.00
001-5-610-6-61100	FICA	3,648.00	2,410.58	3,510.00	2,757.23	3,618.00	1,370.05	3,738.00
001-5-610-6-61200	MEDICARE	692.00	719.12	665.00	782.92	686.00	400.96	709.00
001-5-610-6-61300	IPERS	3,255.00	3,479.13	3,480.00	3,620.89	3,521.00	1,888.21	3,669.00
001-5-610-6-61500	GROUP INSURANCE	6,351.00	5,244.96	6,438.00	6,547.15	6,653.00	3,955.62	8,458.00
001-5-610-6-61700	SUI	100.00	67.95	100.00	64.49	100.00	12.53	100.00
001-5-610-6-61820	CITY ADMIN. CAR ALLOWANCE	2,000.00	1,800.00	2,000.00	1,800.00	2,000.00	900.00	2,000.00
Department: 610 - MAYOR, COUNCIL & CITY ADM Total:		66,318.00	64,190.19	75,848.00	73,385.37	78,210.00	39,863.62	82,450.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 620 - CLERK, TREAS & FINANCE								
001-5-620-6-60100	SALARIES	91,468.00	93,196.30	104,255.00	99,719.15	101,671.00	52,580.40	105,461.00
001-5-620-6-61100	FICA	6,998.00	5,608.69	7,976.00	5,965.35	7,778.00	3,147.79	8,068.00
001-5-620-6-61200	MEDICARE	1,327.00	1,311.90	1,512.00	1,395.19	1,475.00	736.17	1,529.00
001-5-620-6-61300	IPERS	8,635.00	8,653.11	9,842.00	9,258.67	9,598.00	4,802.34	9,956.00
001-5-620-6-61500	GROUP INSURANCE	0.00	1,628.61	0.00	1,994.42	0.00	696.00	0.00
001-5-620-6-61700	SUI	150.00	157.39	150.00	166.17	150.00	71.41	150.00
001-5-620-6-64010	AUDIT	50,000.00	53,500.00	60,000.00	59,510.00	35,000.00	38,000.00	40,000.00
001-5-620-6-65050	RECORDING FEES	250.00	59.00	250.00	91.00	250.00	50.82	250.00
001-5-620-6-65060	OFFICE SUPPLIES	6,000.00	2,590.57	6,000.00	5,507.08	6,000.00	7,447.81	7,500.00
Department: 620 - CLERK, TREAS & FINANCE Total:		164,828.00	166,705.57	189,985.00	183,607.03	161,922.00	107,532.74	172,914.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 630 - ELECTIONS							
001-5-630-6-64200 ELECTIONS	6,000.00	2,158.03	0.00	0.00	3,000.00	0.00	0.00
Department: 630 - ELECTIONS Total:	6,000.00	2,158.03	0.00	0.00	3,000.00	0.00	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 640 - CITY ATTORNEY							
001-5-640-6-64110 LEGAL FEES	30,000.00	23,765.17	30,000.00	28,718.44	30,000.00	59,288.55	30,000.00
Department: 640 - CITY ATTORNEY Total:	30,000.00	23,765.17	30,000.00	28,718.44	30,000.00	59,288.55	30,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 650 - CITY HALL & GEN BLDGS								
001-5-650-6-63100	BUILDING MAINTENANCE	30,000.00	28,606.77	30,000.00	39,924.19	30,000.00	19,821.32	45,000.00
001-5-650-6-63324	MISC. EXPENDITURES	10,000.00	1,899.39	10,000.00	23,412.69	10,000.00	7,254.98	15,000.00
001-5-650-6-63710	ELECTRICITY	7,000.00	6,666.35	7,000.00	7,979.39	7,700.00	4,651.60	8,500.00
001-5-650-6-63711	GAS HEAT	3,600.00	3,448.09	3,600.00	5,236.63	3,600.00	1,007.17	6,000.00
001-5-650-6-63730	TELEPHONE	38,000.00	32,948.03	38,000.00	34,951.11	38,000.00	15,985.89	38,000.00
001-5-650-6-64322	CONTRACTED SERVICES	35,000.00	26,506.00	35,000.00	39,486.24	35,000.00	14,234.50	35,000.00
001-5-650-6-65412	BUILDING SUPPLIES	3,500.00	2,092.83	3,500.00	2,672.54	3,500.00	3,361.31	3,500.00
001-5-650-6-67503	BUILDING IMPROVEMENTS	12,600.00	3,925.18	12,600.00	0.00	12,600.00	0.00	12,600.00
Department: 650 - CITY HALL & GEN BLDGS Total:		139,700.00	106,092.64	139,700.00	153,662.79	140,400.00	66,316.77	163,600.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 660 - TORT LIABILITY							
001-5-660-6-64080 INSURANCE PREMIUM	33,000.00	33,175.33	28,000.00	39,031.93	35,500.00	149.63	42,100.00
001-5-660-6-64081 INSURANCE CLAIMS	0.00	0.00	0.00	2,500.00	0.00	0.00	0.00
Department: 660 - TORT LIABILITY Total:	33,000.00	33,175.33	28,000.00	41,531.93	35,500.00	149.63	42,100.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 670 - OTHER GENERAL GOVT								
001-5-670-6-62100	DUES/SUBSCRIPTIONS	25,000.00	76,807.49	40,000.00	97,266.78	50,000.00	39,889.74	50,000.00
001-5-670-6-62300	MEETINGS/TRAINING	6,000.00	6,105.80	6,000.00	9,844.72	7,000.00	4,403.90	7,000.00
001-5-670-6-64020	PUBLICATIONS	5,500.00	7,952.07	5,500.00	7,096.14	5,500.00	2,994.78	6,500.00
001-5-670-6-64316	CONTRACTS	7,500.00	12,770.26	42,500.00	5,916.77	10,000.00	902.39	10,000.00
001-5-670-6-64800	REFUNDS	6,500.00	0.00	1,500.00	1,225.00	1,500.00	-300.00	1,500.00
001-5-670-6-67250	OFFICE EQUIPMENT	12,000.00	282.94	12,000.00	8,580.42	12,000.00	0.00	12,000.00
001-5-670-6-67274	CAPITAL IMPROVEMENTS/EQU...	12,500.00	0.00	12,500.00	18,000.27	20,000.00	0.00	20,000.00
Department: 670 - OTHER GENERAL GOVT Total:		75,000.00	103,918.56	120,000.00	147,930.10	106,000.00	47,890.81	107,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 959 - TRANSFERS							
001-5-959-0-69100 TRANSFERS OUT	31,066.00	0.00	31,068.00	0.00	0.00	0.00	0.00
Department: 959 - TRANSFERS Total:	31,066.00	0.00	31,068.00	0.00	0.00	0.00	0.00
Expense Total:	3,242,886.00	3,548,325.48	3,455,357.00	3,668,789.97	3,517,004.00	2,005,752.65	3,977,350.00
Fund: 001 - GENERAL FUND Surplus (Deficit):	165,087.00	-67,217.99	37,623.00	285,458.57	148,415.00	-4,505.93	-27,004.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 002 - LIBRARY TRUST FUND								
Revenue								
Department: 950 - OTHER REVENUES								
002-4-950-0-4-43000	INTEREST	350.00	433.88	350.00	534.78	350.00	339.13	500.00
002-4-950-4-1-45511	LIBRARY TRUST REVENUES	40,000.00	44,669.23	40,000.00	54,435.58	40,000.00	19,292.88	50,000.00
	Department: 950 - OTHER REVENUES Total:	40,350.00	45,103.11	40,350.00	54,970.36	40,350.00	19,632.01	50,500.00
	Revenue Total:	40,350.00	45,103.11	40,350.00	54,970.36	40,350.00	19,632.01	50,500.00
Expense								
Department: 410 - LIBRARY								
002-5-410-4-67700	LIBRARY TRUST EXPENDITURE	40,000.00	31,656.14	65,000.00	54,966.59	40,000.00	15,684.28	50,000.00
	Department: 410 - LIBRARY Total:	40,000.00	31,656.14	65,000.00	54,966.59	40,000.00	15,684.28	50,000.00
	Expense Total:	40,000.00	31,656.14	65,000.00	54,966.59	40,000.00	15,684.28	50,000.00
	Fund: 002 - LIBRARY TRUST FUND Surplus (Deficit):	350.00	13,446.97	-24,650.00	3.77	350.00	3,947.73	500.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB	
Fund: 110 - ROAD USE FUND								
Revenue								
Department: 950 - OTHER REVENUES								
110-4-950-2-2-44300	ROAD USE TAX REVENUE	620,000.00	632,387.89	648,000.00	635,820.33	648,000.00	321,963.54	648,000.00
Department: 950 - OTHER REVENUES Total:		620,000.00	632,387.89	648,000.00	635,820.33	648,000.00	321,963.54	648,000.00
Revenue Total:		620,000.00	632,387.89	648,000.00	635,820.33	648,000.00	321,963.54	648,000.00
Expense								
Department: 180 - MISC. COMMUNITY PROTECTION								
110-5-180-1-63710	ELECTRICITY	70,000.00	51,076.31	68,000.00	55,062.23	66,000.00	31,424.50	57,000.00
Department: 180 - MISC. COMMUNITY PROTECTION Total:		70,000.00	51,076.31	68,000.00	55,062.23	66,000.00	31,424.50	57,000.00
Department: 210 - TRANSPORTATION								
110-5-210-2-60100	SALARIES	223,609.00	207,783.25	193,081.00	261,810.87	200,974.00	104,467.97	214,665.00
110-5-210-2-60200	PART-TIME SALARIES	5,000.00	13,641.74	5,000.00	17,556.76	5,000.00	5,373.75	5,000.00
110-5-210-2-61100	FICA	17,489.00	13,411.32	15,153.00	16,711.92	15,757.00	6,468.49	16,804.00
110-5-210-2-61200	MEDICARE	3,315.00	3,136.20	2,872.00	3,908.36	2,987.00	1,512.83	3,185.00
110-5-210-2-61300	IPERS	21,109.00	16,574.21	18,227.00	24,051.23	18,972.00	9,264.66	20,265.00
110-5-210-2-61500	GROUP INSURANCE	47,876.00	33,917.99	28,592.00	54,840.32	28,437.00	15,767.39	33,501.00
110-5-210-2-61700	SUI	100.00	152.15	100.00	370.25	100.00	47.97	100.00
110-5-210-2-64170	WINTER STREET MAINTENANCE	5,000.00	31,332.12	5,000.00	39,675.26	5,000.00	15,652.99	5,000.00
110-5-210-2-67273	OTHER EQUIPMENT	1,000.00	0.00	1,000.00	0.00	1,000.00	0.00	1,000.00
110-5-210-2-67618	STREET RECONSTRUCTION	20,000.00	0.00	20,000.00	66,469.59	20,000.00	19,092.00	20,000.00
110-5-210-2-67621	STREET REHABILITATION	20,000.00	1,744.00	20,000.00	56,840.83	20,000.00	894.50	20,000.00
110-5-210-2-67626	SIDEWALK/CURB IMPROVEME...	10,000.00	1,936.00	10,000.00	4,932.00	10,000.00	11,685.00	10,000.00
110-5-210-2-67679	STORM SEWER IMPROVEMENT...	15,000.00	0.00	15,000.00	43,567.93	5,000.00	0.00	5,000.00
Department: 210 - TRANSPORTATION Total:		389,498.00	323,628.98	334,025.00	590,735.32	333,227.00	190,227.55	354,520.00
Department: 250 - SNOW REMOVAL								
110-5-250-2-64170	WINTER STREET MAINTENANCE	65,000.00	22,381.57	50,000.00	6,486.80	50,000.00	35.90	50,000.00
Department: 250 - SNOW REMOVAL Total:		65,000.00	22,381.57	50,000.00	6,486.80	50,000.00	35.90	50,000.00
Department: 710 - DEBT SERVICE								
110-5-710-7-68512	BOND INTEREST PAYMENT	0.00	0.00	0.00	0.00	0.00	296.25	0.00
Department: 710 - DEBT SERVICE Total:		0.00	0.00	0.00	0.00	0.00	296.25	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Department: 959 - TRANSFERS							
110-5-959-0-69100 TRANSFERS OUT	5,275.00	5,475.00	42,885.00	5,445.00	5,192.00	0.00	93,959.00
Department: 959 - TRANSFERS Total:	5,275.00	5,475.00	42,885.00	5,445.00	5,192.00	0.00	93,959.00
Expense Total:	529,773.00	402,561.86	494,910.00	657,729.35	454,419.00	221,984.20	555,479.00
Fund: 110 - ROAD USE FUND Surplus (Deficit):	90,227.00	229,826.03	153,090.00	-21,909.02	193,581.00	99,979.34	92,521.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB	
Fund: 112 - TRUST AND AGENCY FUND								
Revenue								
Department: 950 - OTHER REVENUES								
112-4-950-9-1-47300	TENANTS DEPOSITS RECEIVED	6,000.00	7,725.00	6,000.00	2,850.00	6,000.00	-125.00	6,000.00
112-4-950-9-1-47301	SOCIAL CENTER DEPOSIT RECEI...	0.00	10,250.00	0.00	12,750.00	0.00	3,500.00	0.00
Department: 950 - OTHER REVENUES Total:		6,000.00	17,975.00	6,000.00	15,600.00	6,000.00	3,375.00	6,000.00
Revenue Total:		6,000.00	17,975.00	6,000.00	15,600.00	6,000.00	3,375.00	6,000.00
Expense								
Department: 460 - COMMUNITY CENTER								
112-5-460-4-64811	SOCIAL CENTER DEPOSIT REFU...	0.00	10,750.00	0.00	11,750.00	0.00	2,800.00	0.00
Department: 460 - COMMUNITY CENTER Total:		0.00	10,750.00	0.00	11,750.00	0.00	2,800.00	0.00
Department: 810 - WATER								
112-5-810-9-64810	TENANT DEPOSIT REFUNDS	6,000.00	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00
Department: 810 - WATER Total:		6,000.00	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00
Expense Total:		6,000.00	10,750.00	6,000.00	11,750.00	6,000.00	2,800.00	6,000.00
Fund: 112 - TRUST AND AGENCY FUND Surplus (Deficit):		0.00	7,225.00	0.00	3,850.00	0.00	575.00	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 121 - L.O. SALES TAX RESERVE							
Revenue							
Department: 950 - OTHER REVENUES							
121-4-950-0-4-40900 LOCAL OPTION SALES TAX	625,000.00	603,645.87	620,000.00	563,929.77	620,000.00	325,825.33	635,000.00
Department: 950 - OTHER REVENUES Total:	625,000.00	603,645.87	620,000.00	563,929.77	620,000.00	325,825.33	635,000.00
Revenue Total:	625,000.00	603,645.87	620,000.00	563,929.77	620,000.00	325,825.33	635,000.00
Expense							
Department: 959 - TRANSFERS							
121-5-959-0-69100 TRANSFERS OUT	595,000.00	316,455.00	472,500.00	751,948.00	370,000.00	0.00	345,000.00
Department: 959 - TRANSFERS Total:	595,000.00	316,455.00	472,500.00	751,948.00	370,000.00	0.00	345,000.00
Expense Total:	595,000.00	316,455.00	472,500.00	751,948.00	370,000.00	0.00	345,000.00
Fund: 121 - L.O. SALES TAX RESERVE Surplus (Deficit):	30,000.00	287,190.87	147,500.00	-188,018.23	250,000.00	325,825.33	290,000.00

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 128 - CDBG								
Revenue								
Department: 950 - OTHER REVENUES								
128-4-950-0-1-45599	ARP FUNDS	57,600,000.00	1,518,904.53	-78,000.00	1,077,143.00	0.00	0.00	0.00
128-4-950-0-1-49902	HAZARD MITIGATION	0.00	0.00	-186,000.00	185,989.40	0.00	0.00	0.00
128-4-950-0-4-47994	MISCELLANEOUS STATE REVEN...	0.00	0.00	-360,000.00	360,000.00	212,500.00	212,500.00	0.00
Department: 950 - OTHER REVENUES Total:		57,600,000.00	1,518,904.53	-624,000.00	1,623,132.40	212,500.00	212,500.00	0.00
Revenue Total:		57,600,000.00	1,518,904.53	-624,000.00	1,623,132.40	212,500.00	212,500.00	0.00
Expense								
Department: 140 - FLOOD CONTROL								
128-5-140-1-64322	CONTRACTED SERVICES	0.00	0.00	0.00	55,000.00	0.00	0.00	0.00
128-5-140-1-67622	STREET SIGN REPLACEMENT	0.00	0.00	0.00	400.00	0.00	0.00	0.00
128-5-140-3-67330	LAND ACQUISITIONS	0.00	0.00	0.00	0.00	64,000.00	63,646.03	0.00
Department: 140 - FLOOD CONTROL Total:		0.00	0.00	0.00	55,400.00	64,000.00	63,646.03	0.00
Department: 958 - CAPITAL OUTLAY								
128-5-958-1-64322	CONTRACTED SERVICES	0.00	0.00	410,000.00	360,000.00	0.00	0.00	0.00
128-5-958-1-68013	CDBG FLOOD GRANT ADMINIS...	0.00	23,609.00	6,650.00	1,650.00	0.00	0.00	0.00
128-5-958-1-68014	ARPA	0.00	152,872.00	0.00	0.00	0.00	0.00	0.00
128-5-958-1-68015	THIS IS IOWA BALLPARK	55,000,000.00	2,042,252.16	0.00	0.00	0.00	0.00	0.00
Department: 958 - CAPITAL OUTLAY Total:		55,000,000.00	2,218,733.16	416,650.00	361,650.00	0.00	0.00	0.00
Department: 959 - TRANSFERS								
128-1-959-0-69100	TRANSFERS OUT	297,200.00	172,821.00	0.00	1,242,748.00	0.00	0.00	0.00
Department: 959 - TRANSFERS Total:		297,200.00	172,821.00	0.00	1,242,748.00	0.00	0.00	0.00
Expense Total:		55,297,200.00	2,391,554.16	416,650.00	1,659,798.00	64,000.00	63,646.03	0.00
Fund: 128 - CDBG Surplus (Deficit):		2,302,800.00	-872,649.63	-1,040,650.00	-36,665.60	148,500.00	148,853.97	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 135 - DYERSVILLE TIF DIST FUND							
Revenue							
Department: 950 - OTHER REVENUES							
135-4-950-0-4-40000 PROPERTY TAX	1,990,070.00	1,964,633.13	3,321,087.00	2,162,774.66	2,659,210.00	1,273,881.64	2,540,815.00
Department: 950 - OTHER REVENUES Total:	1,990,070.00	1,964,633.13	3,321,087.00	2,162,774.66	2,659,210.00	1,273,881.64	2,540,815.00
Revenue Total:	1,990,070.00	1,964,633.13	3,321,087.00	2,162,774.66	2,659,210.00	1,273,881.64	2,540,815.00
Expense							
Department: 520 - ECONOMIC DEVELOPMENT							
135-5-520-7-68512 BOND INTEREST PAYMENT	0.00	0.00	0.00	0.00	0.00	67,740.78	0.00
Department: 520 - ECONOMIC DEVELOPMENT Total:	0.00	0.00	0.00	0.00	0.00	67,740.78	0.00
Department: 700 - DEBT SERVICE							
135-5-700-5-68018 TAX REBATE	1,434,447.00	737,736.59	2,682,780.00	929,663.42	2,022,780.00	1,488,263.54	1,717,686.00
Department: 700 - DEBT SERVICE Total:	1,434,447.00	737,736.59	2,682,780.00	929,663.42	2,022,780.00	1,488,263.54	1,717,686.00
Department: 710 - DEBT SERVICE							
135-5-710-7-64110 LEGAL FEES	0.00	0.00	0.00	0.00	30,000.00	14,000.00	30,000.00
Department: 710 - DEBT SERVICE Total:	0.00	0.00	0.00	0.00	30,000.00	14,000.00	30,000.00
Department: 958 - CAPITAL OUTLAY							
135-5-958-1-68013 CDBG FLOOD GRANT ADMINIS...	0.00	1,300.00	0.00	-1,300.00	0.00	0.00	0.00
135-5-958-2-64322 CONTRACTED SERVICES	0.00	400.00	0.00	0.00	0.00	13,835.00	0.00
135-5-958-8-64322 CONTRACTED SERVICES	10,000.00	0.00	0.00	0.00	0.00	0.00	0.00
Department: 958 - CAPITAL OUTLAY Total:	10,000.00	1,700.00	0.00	-1,300.00	0.00	13,835.00	0.00
Department: 959 - TRANSFERS							
135-5-959-0-69100 TRANSFERS OUT	630,707.00	707,476.73	618,306.00	712,105.00	569,191.00	0.00	948,999.00
Department: 959 - TRANSFERS Total:	630,707.00	707,476.73	618,306.00	712,105.00	569,191.00	0.00	948,999.00
Expense Total:	2,075,154.00	1,446,913.32	3,301,086.00	1,640,468.42	2,621,971.00	1,583,839.32	2,696,685.00
Fund: 135 - DYERSVILLE TIF DIST FUND Surplus (Deficit):	-85,084.00	517,719.81	20,001.00	522,306.24	37,239.00	-309,957.68	-155,870.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 200 - DEBT SERVICE								
Revenue								
Department: 710 - DEBT SERVICE								
200-4-710-7-4-40000	PROPERTY TAX	853,595.00	927,696.83	850,535.00	910,027.68	857,911.00	485,952.49	935,131.00
200-4-710-7-4-40040	UTILITY TAX REPLACEMENT	8,232.00	0.00	7,249.00	0.00	6,680.00	0.00	6,236.00
200-4-710-7-4-48300	TRANSFERS IN	1,157,407.00	765,955.36	1,140,395.00	767,404.17	1,032,324.00	0.00	1,288,525.00
	Department: 710 - DEBT SERVICE Total:	2,019,234.00	1,693,652.19	1,998,179.00	1,677,431.85	1,896,915.00	485,952.49	2,229,892.00
Department: 750 - 750								
200-4-750-8-4-48200	BOND PROCEEDS	0.00	0.00	0.00	0.00	3,260,898.00	3,260,897.38	0.00
	Department: 750 - 750 Total:	0.00	0.00	0.00	0.00	3,260,898.00	3,260,897.38	0.00
	Revenue Total:	2,019,234.00	1,693,652.19	1,998,179.00	1,677,431.85	5,157,813.00	3,746,849.87	2,229,892.00
Expense								
Department: 708 - DEBT SERVICE								
200-5-708-7-68012	BOND PAYMENT	1,628,437.00	910,000.00	1,687,382.00	952,500.00	1,640,000.00	0.00	1,770,000.00
200-5-708-7-68512	BOND INTEREST PAYMENT	390,797.00	268,202.88	310,798.00	226,766.67	256,915.00	66,759.88	357,313.00
	Department: 708 - DEBT SERVICE Total:	2,019,234.00	1,178,202.88	1,998,180.00	1,179,266.67	1,896,915.00	66,759.88	2,127,313.00
Department: 709 - DEBT SERVICE								
200-5-709-7-68012	BOND PAYMENT	0.00	120,000.00	0.00	125,000.00	0.00	0.00	82,196.00
200-5-709-7-68512	BOND INTEREST PAYMENT	0.00	27,151.68	0.00	25,066.68	0.00	11,392.09	20,383.00
	Department: 709 - DEBT SERVICE Total:	0.00	147,151.68	0.00	150,066.68	0.00	11,392.09	102,579.00
	Expense Total:	2,019,234.00	1,325,354.56	1,998,180.00	1,329,333.35	1,896,915.00	78,151.97	2,229,892.00
	Fund: 200 - DEBT SERVICE Surplus (Deficit):	0.00	368,297.63	-1.00	348,098.50	3,260,898.00	3,668,697.90	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 301 - CAPITAL PROJECTS FUND								
Revenue								
Department: 750 - 750								
301-4-750-8-1-46000	SPECIAL ASSESSMENTS	10,000.00	0.00	10,000.00	0.00	0.00	0.00	0.00
301-4-750-8-4-47994	MISCELLANEOUS STATE REVEN...	0.00	240,968.34	0.00	0.00	0.00	0.00	0.00
301-4-750-8-4-48300	TRANSFERS IN	892,200.00	347,620.00	472,500.00	1,756,091.00	370,000.00	0.00	345,000.00
	Department: 750 - 750 Total:	902,200.00	588,588.34	482,500.00	1,756,091.00	370,000.00	0.00	345,000.00
Department: 954 - 954								
301-4-954-8-4-47994	MISCELLANEOUS STATE REVEN...	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
	Department: 954 - 954 Total:	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
	Revenue Total:	902,200.00	688,588.34	482,500.00	1,756,091.00	370,000.00	0.00	345,000.00
Expense								
Department: 723 - CAPITAL PROJECT								
301-5-723-8-64063	ENGINEERS FEES	0.00	624,092.67	0.00	293,356.54	0.00	152,363.24	0.00
301-5-723-8-64322	CONTRACTED SERVICES	2,595,000.00	1,218,777.70	472,500.00	2,537,563.42	370,000.00	286,408.97	345,000.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	ADA Handicap/Sidewalks			0.00	0.00	50,000.00		
PB	Downtown Facade			1.00	50,000.00	50,000.00		
PB	IT Fiber/Equip			1.00	40,000.00	40,000.00		
PB	Library Cap. Upgrades			1.00	30,000.00	30,000.00		
PB	Plow and Sander from RAM 3500			0.00	0.00	25,000.00		
PB	Street Reconstruction (Need Council Approval)			1.00	150,000.00	150,000.00		
	Department: 723 - CAPITAL PROJECT Total:	2,595,000.00	1,842,870.37	472,500.00	2,830,919.96	370,000.00	438,772.21	345,000.00
Department: 742 - CAPITAL PROJECT								
301-5-742-8-67300	LAND ACQUISITIONS	0.00	0.00	0.00	266,866.84	0.00	0.00	0.00
	Department: 742 - CAPITAL PROJECT Total:	0.00	0.00	0.00	266,866.84	0.00	0.00	0.00
Department: 764 - CAPITAL PROJECT								
301-5-764-8-64322	CONTRACTED SERVICES	520,000.00	520,212.16	0.00	4,390.79	0.00	296.40	0.00
	Department: 764 - CAPITAL PROJECT Total:	520,000.00	520,212.16	0.00	4,390.79	0.00	296.40	0.00
	Expense Total:	3,115,000.00	2,363,082.53	472,500.00	3,102,177.59	370,000.00	439,068.61	345,000.00
	Fund: 301 - CAPITAL PROJECTS FUND Surplus (Deficit):	-2,212,800.00	-1,674,494.19	10,000.00	-1,346,086.59	0.00	-439,068.61	0.00

Budget Worksheet

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
Fund: 600 - WATER FUND								
Revenue								
Department: 810 - WATER								
600-4-810-9-1-40900	LOCAL OPTION SALES TAX	0.00	1,084.48	0.00	1,714.27	0.00	877.41	0.00
600-4-810-9-1-45000	WATER RECEIPTS	875,000.00	910,663.51	875,000.00	907,782.90	983,700.00	493,581.17	988,506.00
600-4-810-9-1-45200	WATER SRF RECEIPT	66,000.00	66,526.32	119,060.00	126,037.34	75,300.00	69,671.39	126,040.00
600-4-810-9-1-45300	WATER PENALTIES	13,000.00	14,218.61	13,000.00	14,819.39	15,000.00	8,693.78	15,000.00
600-4-810-9-1-45400	CONNECTION FEES	5,000.00	3,900.00	5,000.00	7,309.00	5,000.00	2,050.00	7,383.00
600-4-810-9-1-45599	MISCELLANEOUS RECEIPTS	1,000.00	2,790.16	1,000.00	32,407.71	1,000.00	1,811.24	1,000.00
600-4-810-9-1-45600	SALES TAX RECEIVED	0.00	6,253.16	0.00	10,101.64	6,300.00	5,139.18	6,300.00
600-4-810-9-1-45601	WET (WATER SERVICE EXCISE T...	55,000.00	54,174.98	55,000.00	57,766.59	55,000.00	30,551.16	55,000.00
600-4-810-9-1-47501	NEW UNIT METER PURCHASES	25,000.00	8,792.55	10,000.00	13,960.55	10,000.00	8,618.52	10,000.00
	Department: 810 - WATER Total:	1,040,000.00	1,068,403.77	1,078,060.00	1,171,899.39	1,151,300.00	620,993.85	1,209,229.00
	Revenue Total:	1,040,000.00	1,068,403.77	1,078,060.00	1,171,899.39	1,151,300.00	620,993.85	1,209,229.00
Expense								
Department: 810 - WATER								
600-5-810-9-60100	SALARIES	175,913.00	176,908.03	172,169.00	181,912.55	173,770.00	91,484.70	171,760.00
600-5-810-9-60200	PART-TIME SALARIES	0.00	5,039.07	0.00	304.69	0.00	0.00	0.00
600-5-810-9-61100	FICA	13,457.00	10,897.05	13,171.00	10,785.33	13,293.00	5,351.54	13,522.00
600-5-810-9-61200	MEDICARE	2,550.00	2,548.54	2,497.00	2,522.58	2,520.00	1,251.65	2,564.00
600-5-810-9-61300	IPERS	16,247.00	16,370.27	15,893.00	16,808.69	16,404.00	8,262.02	16,687.00
600-5-810-9-61500	GROUP INSURANCE	44,387.00	46,120.70	44,336.00	62,703.67	46,624.00	25,297.53	48,752.00
600-5-810-9-61700	SUI	250.00	141.72	250.00	135.80	250.00	36.84	250.00
600-5-810-9-61809	RECKER UNIFORMS	750.00	1,001.05	750.00	744.36	750.00	595.83	750.00
600-5-810-9-61814	HERBERS UNIFORMS	750.00	561.35	750.00	617.04	750.00	138.39	750.00
600-5-810-9-61820	CITY ADMIN. CAR ALLOWANCE	1,200.00	1,200.00	1,200.00	1,200.00	1,200.00	600.00	1,200.00
600-5-810-9-62100	DUES/SUBSCRIPTIONS	7,500.00	12,302.90	7,500.00	25,919.79	7,500.00	2,535.48	7,500.00
600-5-810-9-62300	MEETINGS/TRAINING	2,000.00	3,021.90	2,000.00	705.21	2,000.00	636.40	2,000.00
600-5-810-9-63310	GAS/ETHANOL/DIESEL	6,000.00	7,186.03	7,000.00	6,691.90	7,000.00	3,015.58	7,000.00
600-5-810-9-63320	VEHICLE REPAIRS	1,000.00	1,291.33	2,000.00	3,586.61	2,000.00	219.05	3,500.00
600-5-810-9-63325	WATER MAIN MISC REPAIRS	15,000.00	50,190.80	15,000.00	59,032.33	15,000.00	4,808.58	20,000.00
600-5-810-9-63710	ELECTRICITY	120,000.00	116,718.37	120,000.00	112,007.01	120,000.00	55,033.52	120,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024	2023-2024	2024-2025	2024-2025	2025-2026	2025-2026	2026-2027
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
600-5-810-9-63711	GAS HEAT	2,500.00	936.68	2,500.00	1,474.53	2,500.00	376.54	2,500.00
600-5-810-9-63730	TELEPHONE	1,800.00	1,918.83	1,500.00	5,011.15	2,000.00	1,171.79	5,000.00
600-5-810-9-64080	INSURANCE PREMIUM	35,000.00	37,753.41	49,767.00	42,517.49	39,690.00	130.78	45,000.00
600-5-810-9-64081	INSURANCE CLAIMS	0.00	160.47	0.00	0.00	0.00	0.00	0.00
600-5-810-9-64180	SALES TAXES PAID	0.00	681.73	0.00	0.00	0.00	0.00	0.00
600-5-810-9-64182	WET [WATER EXCISE TAX SERVI...	51,000.00	53,715.70	51,000.00	56,819.81	54,000.00	30,538.21	57,000.00
600-5-810-9-64316	CONTRACTS	12,000.00	10,531.71	12,000.00	4,125.00	12,000.00	0.00	12,000.00
600-5-810-9-64317	TESTING	3,000.00	4,130.50	3,000.00	1,506.93	3,000.00	82.50	3,000.00
600-5-810-9-64319	FREIGHT CHARGES ON TESTING	0.00	35.88	0.00	0.00	0.00	0.00	0.00
600-5-810-9-64322	CONTRACTED SERVICES	20,000.00	19,986.82	30,000.00	20,873.05	30,000.00	30,233.92	30,000.00
600-5-810-9-64600	IOWA ONE CALL CHARGES	500.00	412.55	500.00	483.05	500.00	280.75	500.00
600-5-810-9-64800	REFUNDS	0.00	0.00	0.00	709.00	0.00	0.00	0.00
600-5-810-9-65060	OFFICE SUPPLIES	5,000.00	5,205.95	5,000.00	5,118.64	5,000.00	1,833.64	5,000.00
600-5-810-9-65407	DEPARTMENT SUPPLIES	45,000.00	66,253.85	45,000.00	68,180.64	68,000.00	26,814.47	68,000.00
600-5-810-9-67250	OFFICE EQUIPMENT	2,000.00	0.00	2,000.00	0.00	2,000.00	0.00	2,000.00
600-5-810-9-67272	NEW EQUIPMENT	20,000.00	23,449.38	20,000.00	26,038.56	32,500.00	27,422.83	32,500.00
600-5-810-9-67274	CAPITAL IMPROVEMENTS/EQU...	30,000.00	0.00	30,000.00	0.00	30,000.00	2,140.94	30,000.00
600-5-810-9-67811	WELL REPAIRS	2,500.00	10,378.00	2,500.00	7,669.00	10,000.00	0.00	10,000.00
600-5-810-9-67812	VALVE REPLACEMENTS	10,000.00	0.00	10,000.00	2,542.02	10,000.00	1,494.00	10,000.00
600-5-810-9-67813	HYDRANTS/PIPES/FITTINGS	13,000.00	0.00	13,000.00	16,967.71	13,000.00	0.00	13,000.00
600-5-810-9-67814	WATER METERS	15,000.00	74,249.09	25,000.00	60,402.99	25,000.00	0.00	25,000.00
600-5-810-9-68011	WATER CAPITAL PROJECTS	30,000.00	0.00	30,000.00	0.00	50,000.00	135.65	50,000.00
	Department: 810 - WATER Total:	705,304.00	761,299.66	737,283.00	806,117.13	798,251.00	321,923.13	816,735.00
	Department: 959 - TRANSFERS							
600-5-959-0-69100	TRANSFERS OUT	349,463.00	0.00	346,243.00	0.00	355,910.00	0.00	348,910.00
	Department: 959 - TRANSFERS Total:	349,463.00	0.00	346,243.00	0.00	355,910.00	0.00	348,910.00
	Expense Total:	1,054,767.00	761,299.66	1,083,526.00	806,117.13	1,154,161.00	321,923.13	1,165,645.00
	Fund: 600 - WATER FUND Surplus (Deficit):	-14,767.00	307,104.11	-5,466.00	365,782.26	-2,861.00	299,070.72	43,584.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 601 - WATER SINKING FUND							
Revenue							
Department: 810 - WATER							
601-4-810-9-4-48300							
TRANSFERS IN	118,780.00	0.00	119,060.00	0.00	119,300.00	0.00	118,500.00
Department: 810 - WATER Total:	118,780.00	0.00	119,060.00	0.00	119,300.00	0.00	118,500.00
Department: 950 - OTHER REVENUES							
601-4-950-0-4-48200							
BOND PROCEEDS	0.00	1,255,787.85	0.00	42,693.15	-90,000.00	0.00	0.00
Department: 950 - OTHER REVENUES Total:	0.00	1,255,787.85	0.00	42,693.15	-90,000.00	0.00	0.00
Revenue Total:	118,780.00	1,255,787.85	119,060.00	42,693.15	29,300.00	0.00	118,500.00
Expense							
Department: 710 - DEBT SERVICE							
601-5-710-9-68012							
BOND PAYMENT	86,000.00	319,999.75	88,000.00	317,774.00	29,300.00	236.25	91,000.00
601-5-710-9-68512							
BOND INTEREST PAYMENT	32,780.00	53,911.50	31,060.00	47,953.19	0.00	21,652.08	27,500.00
Department: 710 - DEBT SERVICE Total:	118,780.00	373,911.25	119,060.00	365,727.19	29,300.00	21,888.33	118,500.00
Department: 959 - TRANSFERS							
601-5-959-9-69100							
TRANSFERS OUT	0.00	260,876.25	0.00	166,026.67	0.00	0.00	0.00
Department: 959 - TRANSFERS Total:	0.00	260,876.25	0.00	166,026.67	0.00	0.00	0.00
Expense Total:	118,780.00	634,787.50	119,060.00	531,753.86	29,300.00	21,888.33	118,500.00
Fund: 601 - WATER SINKING FUND Surplus (Deficit):	0.00	621,000.35	0.00	-489,060.71	0.00	-21,888.33	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 602 - WATER CAPITAL ACCOUNT							
Revenue							
Department: 950 - OTHER REVENUES							
602-4-950-0-4-48200 BOND PROCEEDS	0.00	1,193,813.18	0.00	50,959.06	0.00	0.00	0.00
Department: 950 - OTHER REVENUES Total:	0.00	1,193,813.18	0.00	50,959.06	0.00	0.00	0.00
Revenue Total:	0.00	1,193,813.18	0.00	50,959.06	0.00	0.00	0.00
Expense							
Department: 723 - CAPITAL PROJECT							
602-5-723-9-64063 ENGINEERS FEES	0.00	1,468,266.95	0.00	119,988.47	0.00	0.00	0.00
602-5-723-9-64322 CONTRACTED SERVICES	0.00	241,827.09	0.00	69,480.92	0.00	0.00	0.00
Department: 723 - CAPITAL PROJECT Total:	0.00	1,710,094.04	0.00	189,469.39	0.00	0.00	0.00
Department: 810 - WATER							
602-5-810-9-64063 ENGINEER FEES	0.00	12,673.25	0.00	648.00	0.00	0.00	0.00
Department: 810 - WATER Total:	0.00	12,673.25	0.00	648.00	0.00	0.00	0.00
Department: 959 - TRANSFERS							
602-5-959-0-69100 TRANSFER OUT	0.00	0.00	0.00	9,153.00	0.00	0.00	0.00
Department: 959 - TRANSFERS Total:	0.00	0.00	0.00	9,153.00	0.00	0.00	0.00
Expense Total:	0.00	1,722,767.29	0.00	199,270.39	0.00	0.00	0.00
Fund: 602 - WATER CAPITAL ACCOUNT Surplus (Deficit):	0.00	-528,954.11	0.00	-148,311.33	0.00	0.00	0.00

Budget Worksheet

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 610 - SEWER FUND								
Revenue								
Department: 815 - SEWER								
610-4-815-9-1-45100	SEWER RECEIPTS	1,200,000.00	1,147,571.77	1,200,000.00	1,155,293.98	1,350,438.00	612,810.09	1,350,438.00
610-4-815-9-1-45200	SEWER SRF RECEIPTS	261,200.00	263,109.92	634,520.00	576,608.57	600,000.00	310,832.46	600,000.00
610-4-815-9-1-45301	SEWER PENALTIES	4,000.00	3,418.00	4,000.00	3,424.00	4,000.00	1,897.50	4,000.00
610-4-815-9-1-45400	CONNECTION FEES	8,000.00	3,575.00	8,000.00	6,600.00	8,000.00	2,050.00	8,000.00
610-4-815-9-1-45599	MISCELLANEOUS RECEIPTS	3,000.00	1,090,000.00	3,000.00	30,000.00	3,000.00	0.00	3,000.00
610-4-815-9-1-45600	SALES TAX RECEIVED	12,000.00	11,455.06	12,000.00	12,587.05	12,000.00	6,563.91	12,000.00
610-4-815-9-4-40900	LOCAL OPTION SALES TAX	2,000.00	1,864.46	2,000.00	2,065.06	2,000.00	1,072.08	2,000.00
	Department: 815 - SEWER Total:	1,490,200.00	2,520,994.21	1,863,520.00	1,786,578.66	1,979,438.00	935,226.04	1,979,438.00
	Revenue Total:	1,490,200.00	2,520,994.21	1,863,520.00	1,786,578.66	1,979,438.00	935,226.04	1,979,438.00
Expense								
Department: 815 - SEWER								
610-5-815-9-60100	SALARIES	170,600.00	124,263.58	192,804.00	120,045.87	198,722.00	88,727.19	202,267.00
610-5-815-9-60200	PART-TIME SALARIES	0.00	0.00	0.00	0.00	10,000.00	4,680.00	10,000.00
610-5-815-9-61100	FICA	13,050.00	7,427.99	14,750.00	7,054.78	15,202.00	5,469.75	15,474.00
610-5-815-9-61200	MEDICARE	2,474.00	1,736.54	2,796.00	1,649.62	2,882.00	1,278.71	2,933.00
610-5-815-9-61300	IPERS	16,103.00	11,387.24	18,201.00	10,968.09	18,201.00	8,001.50	19,094.00
610-5-815-9-61500	GROUP INSURANCE	39,093.00	30,219.41	50,377.00	53,605.38	49,328.00	25,016.51	53,747.00
610-5-815-9-61700	SUI	100.00	106.39	100.00	61.40	100.00	27.53	100.00
610-5-815-9-61810	MENKE UNIFORMS	750.00	786.89	750.00	389.68	750.00	193.39	750.00
610-5-815-9-61813	REICHER UNIFORMS	750.00	1,212.96	750.00	1,350.18	750.00	509.29	750.00
610-5-815-9-61820	CITY ADMIN. CAR ALLOWANCE	1,200.00	1,200.00	1,200.00	1,200.00	1,200.00	600.00	1,200.00
610-5-815-9-62100	DUES/SUBSCRIPTIONS	10,000.00	24,105.29	10,000.00	26,479.39	24,000.00	11,373.29	24,000.00
610-5-815-9-62300	MEETINGS/TRAINING	3,500.00	1,758.51	3,500.00	821.77	3,500.00	613.50	3,500.00
610-5-815-9-63310	GAS/ETHANOL/DIESEL	9,000.00	7,618.37	9,000.00	6,739.73	9,000.00	4,116.82	9,000.00
610-5-815-9-63320	VEHICLE REPAIRS	3,000.00	4,379.58	3,000.00	575.16	3,000.00	270.98	3,000.00
610-5-815-9-63326	SEWER LINE REPAIRS	10,000.00	21,051.14	10,000.00	17,150.13	10,000.00	0.00	10,000.00
610-5-815-9-63710	ELECTRICITY	68,000.00	50,968.89	68,000.00	62,939.76	55,000.00	29,548.71	63,000.00
610-5-815-9-63730	TELEPHONE	3,500.00	1,880.32	2,700.00	6,137.04	2,700.00	1,671.99	6,300.00
610-5-815-9-64080	INSURANCE PREMIUM	48,000.00	66,519.90	75,141.00	73,295.88	69,845.00	-123.77	75,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
610-5-815-9-64081	INSURANCE CLAIMS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
610-5-815-9-64180	SALES TAXES PAID	19,068.00	18,566.05	18,000.00	23,067.40	19,000.00	12,222.71	19,000.00
610-5-815-9-64181	LOCAL OPTION SALES TAX PAID	3,180.00	3,097.34	2,905.00	3,841.59	3,100.00	2,037.12	3,100.00
610-5-815-9-64316	CONTRACTS	28,000.00	10,531.71	15,000.00	4,125.00	15,000.00	0.00	15,000.00
610-5-815-9-64317	TESTING	9,000.00	17,557.95	15,000.00	27,916.16	18,000.00	13,409.03	18,000.00
610-5-815-9-64319	FREIGHT CHARGES ON TESTING	0.00	80.00	0.00	33.63	0.00	0.00	0.00
610-5-815-9-64322	CONTRACTED SERVICES	35,000.00	32,048.55	30,000.00	41,349.47	30,000.00	15,968.94	30,000.00
610-5-815-9-64600	IOWA ONE CALL CHARGES	500.00	412.55	500.00	483.05	500.00	280.75	500.00
610-5-815-9-65060	OFFICE SUPPLIES	6,000.00	6,391.40	6,000.00	4,998.29	6,000.00	1,817.70	6,000.00
610-5-815-9-65407	DEPARTMENT SUPPLIES	85,000.00	53,684.18	55,000.00	135,149.73	55,000.00	66,087.18	75,000.00
610-5-815-9-67272	NEW EQUIPMENT	15,000.00	19,567.56	15,000.00	48,563.76	42,000.00	26,128.89	42,000.00
610-5-815-9-67274	CAPITAL IMPROVEMENTS/EQU...	35,000.00	22,643.36	35,000.00	23,937.56	35,000.00	10,674.32	75,000.00
610-5-815-9-67670	MANHOLE REHAB/REPAIR PAR...	20,000.00	0.00	20,000.00	45,251.22	20,000.00	4,350.00	20,000.00
610-5-815-9-67682	SEWER CAPITAL OUTLAY	10,000.00	0.00	90,000.00	0.00	40,000.00	7,113.46	50,000.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	1st Street Project			0.00	0.00	40,000.00		
PB	Sewer Capital General			0.00	0.00	10,000.00		
	Department: 815 - SEWER Total:	664,868.00	541,203.65	765,474.00	749,180.72	757,780.00	342,065.49	853,715.00
	Department: 959 - TRANSFERS							
610-5-959-9-69100	TRANSFERS OUT	893,065.00	0.00	855,473.00	0.00	837,061.00	0.00	856,717.00
	Department: 959 - TRANSFERS Total:	893,065.00	0.00	855,473.00	0.00	837,061.00	0.00	856,717.00
	Expense Total:	1,557,933.00	541,203.65	1,620,947.00	749,180.72	1,594,841.00	342,065.49	1,710,432.00
	Fund: 610 - SEWER FUND Surplus (Deficit):	-67,733.00	1,979,790.56	242,573.00	1,037,397.94	384,597.00	593,160.55	269,006.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 611 - SEWER SINKING FUND								
Revenue								
Department: 815 - SEWER								
611-4-815-9-4-48200	BOND PROCEEDS	0.00	0.00	0.00	0.00	615,730.00	0.00	0.00
611-4-815-9-4-48300	TRANSFERS IN	633,389.00	207,872.62	634,520.00	116,172.50	0.00	0.00	616,560.00
	Department: 815 - SEWER Total:	633,389.00	207,872.62	634,520.00	116,172.50	615,730.00	0.00	616,560.00
	Revenue Total:	633,389.00	207,872.62	634,520.00	116,172.50	615,730.00	0.00	616,560.00
Expense								
Department: 710 - DEBT SERVICE								
611-5-710-9-68012	BOND PAYMENT	495,469.00	693,999.75	505,259.00	666,999.50	497,000.00	2,842.50	506,000.00
611-5-710-9-68512	BOND INTEREST PAYMENT	137,920.00	104,971.50	129,261.00	101,712.16	118,730.00	42,137.08	110,560.00
	Department: 710 - DEBT SERVICE Total:	633,389.00	798,971.25	634,520.00	768,711.66	615,730.00	44,979.58	616,560.00
	Expense Total:	633,389.00	798,971.25	634,520.00	768,711.66	615,730.00	44,979.58	616,560.00
	Fund: 611 - SEWER SINKING FUND Surplus (Deficit):	0.00	-591,098.63	0.00	-652,539.16	0.00	-44,979.58	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 612 - SEWER CAPITAL ACCOUNT								
Revenue								
Department: 815 - SEWER								
612-4-815-9-4-48200	BOND PROCEEDS	0.00	258,702.19	0.00	369,427.89	0.00	0.00	2,000,000.00
612-4-815-9-4-48300	TRANSFER IN	0.00	0.00	0.00	9,153.00	0.00	0.00	225,000.00
	Department: 815 - SEWER Total:	0.00	258,702.19	0.00	378,580.89	0.00	0.00	2,225,000.00
	Revenue Total:	0.00	258,702.19	0.00	378,580.89	0.00	0.00	2,225,000.00
Expense								
Department: 723 - CAPITAL PROJECT								
612-5-723-9-64063	ENGINEERS FEES	0.00	487,804.22	0.00	157,387.36	0.00	0.00	0.00
612-5-723-9-64322	CONTRACTED SERVICES	0.00	211,111.89	0.00	0.00	0.00	0.00	2,225,000.00
Budget Detail								
Budget Code	Description			Units	Price	Amount		
PB	3rd Street Lift Stn			0.00	0.00	225,000.00		
PB	West Linden			0.00	0.00	2,000,000.00		
	Department: 723 - CAPITAL PROJECT Total:	0.00	698,916.11	0.00	157,387.36	0.00	0.00	2,225,000.00
Department: 815 - SEWER								
612-5-815-9-64063	ENGINEER FEES	0.00	474.50	0.00	109.00	0.00	9,531.85	0.00
	Department: 815 - SEWER Total:	0.00	474.50	0.00	109.00	0.00	9,531.85	0.00
	Expense Total:	0.00	699,390.61	0.00	157,496.36	0.00	9,531.85	2,225,000.00
	Fund: 612 - SEWER CAPITAL ACCOUNT Surplus (Deficit):	0.00	-440,688.42	0.00	221,084.53	0.00	-9,531.85	0.00

Budget Worksheet

Defined Budgets

		2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 670 - SOLID WASTE FUND								
Revenue								
Department: 840 - SOLID WASTE								
670-4-840-9-1-45302	SOLID WASTE PENALTIES	3,200.00	2,618.00	2,600.00	2,600.00	2,600.00	1,389.50	2,600.00
670-4-840-9-1-45303	YARD WASTE BAG RECEIPTS	50.00	0.00	0.00	0.00	0.00	0.00	0.00
670-4-840-9-1-45304	GARBAGE TAGS SOLD	1,500.00	585.00	500.00	310.00	500.00	148.00	500.00
670-4-840-9-1-45700	SOLID WASTE RECEIPTS	375,000.00	362,109.91	443,660.00	439,017.80	481,710.00	221,103.85	481,710.00
	Department: 840 - SOLID WASTE Total:	379,750.00	365,312.91	446,760.00	441,927.80	484,810.00	222,641.35	484,810.00
	Revenue Total:	379,750.00	365,312.91	446,760.00	441,927.80	484,810.00	222,641.35	484,810.00
Expense								
Department: 840 - SOLID WASTE								
670-5-840-9-60100	SALARIES	33,962.00	38,459.60	36,733.00	42,601.24	38,841.00	22,457.79	39,150.00
670-5-840-9-61100	FICA	2,598.00	2,273.32	2,810.00	2,428.02	2,971.00	1,226.10	2,995.00
670-5-840-9-61200	MEDICARE	492.00	531.74	533.00	567.64	563.00	286.85	568.00
670-5-840-9-61300	IPERS	3,206.00	3,436.86	3,468.00	3,709.29	3,667.00	1,833.19	3,696.00
670-5-840-9-61500	GROUP INSURANCE	10,162.00	9,295.88	9,928.00	14,028.48	10,109.00	5,905.81	10,109.00
670-5-840-9-61700	SUI	0.00	16.71	0.00	18.47	0.00	2.67	0.00
670-5-840-9-62300	MEETINGS/TRAINING	500.00	429.50	500.00	115.61	500.00	62.25	500.00
670-5-840-9-63710	ELECTRICITY	1,000.00	716.40	1,000.00	816.20	1,000.00	339.93	1,000.00
670-5-840-9-64304	SPRING CLEAN-UP LANDFILL FE...	3,600.00	0.00	3,600.00	0.00	0.00	0.00	0.00
670-5-840-9-64316	CONTRACTS	315,000.00	319,696.81	348,000.00	324,741.45	329,000.00	164,153.75	347,871.00
670-5-840-9-65060	OFFICE SUPPLIES	4,000.00	5,321.46	4,000.00	7,973.03	4,000.00	2,086.72	4,000.00
670-5-840-9-65405	GARBAGE TAGS	0.00	0.00	0.00	0.00	0.00	100.00	0.00
670-5-840-9-65407	DEPARTMENT SUPPLIES	1,000.00	9,140.01	1,000.00	765.40	1,000.00	1,290.00	1,000.00
670-5-840-9-67200	CAPITAL IMPROVEMENT	25,000.00	29,500.00	25,000.00	53,405.80	30,000.00	6,434.91	30,000.00
	Department: 840 - SOLID WASTE Total:	400,520.00	418,818.29	436,572.00	451,170.63	421,651.00	206,179.97	440,889.00
	Expense Total:	400,520.00	418,818.29	436,572.00	451,170.63	421,651.00	206,179.97	440,889.00
	Fund: 670 - SOLID WASTE FUND Surplus (Deficit):	-20,770.00	-53,505.38	10,188.00	-9,242.83	63,159.00	16,461.38	43,921.00
	Report Surplus (Deficit):	187,310.00	102,992.98	-449,792.00	-107,851.66	4,483,878.00	4,326,639.94	556,658.00

Group Summary

Departmen...	2023-2024		2024-2025		2025-2026		Defined Budgets
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2026-2027 PB
Fund: 001 - GENERAL FUND							
Revenue							
950 - OTHER REVENUES	3,407,973.00	3,481,107.49	3,492,980.00	3,954,248.54	3,665,419.00	2,001,246.72	3,950,346.00
Revenue Total:	3,407,973.00	3,481,107.49	3,492,980.00	3,954,248.54	3,665,419.00	2,001,246.72	3,950,346.00
Expense							
110 - POLICE	968,018.00	949,820.78	1,039,833.00	970,383.71	1,075,943.00	564,895.58	1,166,396.00
130 - EMERGENCY MANAGEMENT	3,037.00	2,494.48	2,628.00	2,271.40	2,128.00	1,401.14	2,128.00
140 - FLOOD CONTROL	0.00	252.72	5,000.00	252.72	5,000.00	126.36	5,000.00
150 - FIRE	122,125.00	117,688.17	124,298.00	121,742.40	126,134.00	48,127.38	252,234.00
180 - MISC. COMMUNITY PROTECTION	82,270.00	70,716.45	84,270.00	73,802.77	85,270.00	71,744.08	89,270.00
210 - TRANSPORTATION	269,900.00	528,548.85	328,630.00	363,821.48	347,130.00	239,194.61	381,650.00
250 - SNOW REMOVAL	5,972.00	2,432.54	5,972.00	3,066.57	5,972.00	1,095.81	5,972.00
410 - LIBRARY	510,000.00	503,836.22	540,000.00	525,520.88	568,785.00	269,475.81	576,785.00
430 - PARKS	259,775.00	445,775.49	255,118.00	553,589.25	271,797.00	192,934.19	311,801.00
445 - AQUATIC CENTER	240,000.00	218,016.27	267,341.00	217,294.21	297,397.00	134,026.36	297,234.00
460 - COMMUNITY CENTER	25,000.00	22,513.13	45,000.00	48,527.96	24,600.00	12,431.99	31,000.00
470 - OTHER CULTURE	86,750.00	85,224.89	101,750.00	114,680.96	111,900.00	101,390.50	104,900.00
520 - ECONOMIC DEVELOPMENT	123,127.00	101,000.00	39,916.00	45,000.00	39,916.00	47,866.72	154,916.00
550 - PLANNING AND ZONING	1,000.00	0.00	1,000.00	0.00	0.00	0.00	0.00
610 - MAYOR, COUNCIL & CITY ADM	66,318.00	64,190.19	75,848.00	73,385.37	78,210.00	39,863.62	82,450.00
620 - CLERK, TREAS & FINANCE	164,828.00	166,705.57	189,985.00	183,607.03	161,922.00	107,532.74	172,914.00
630 - ELECTIONS	6,000.00	2,158.03	0.00	0.00	3,000.00	0.00	0.00
640 - CITY ATTORNEY	30,000.00	23,765.17	30,000.00	28,718.44	30,000.00	59,288.55	30,000.00
650 - CITY HALL & GEN BLDGS	139,700.00	106,092.64	139,700.00	153,662.79	140,400.00	66,316.77	163,600.00
660 - TORT LIABILITY	33,000.00	33,175.33	28,000.00	41,531.93	35,500.00	149.63	42,100.00
670 - OTHER GENERAL GOVT	75,000.00	103,918.56	120,000.00	147,930.10	106,000.00	47,890.81	107,000.00
959 - TRANSFERS	31,066.00	0.00	31,068.00	0.00	0.00	0.00	0.00
Expense Total:	3,242,886.00	3,548,325.48	3,455,357.00	3,668,789.97	3,517,004.00	2,005,752.65	3,977,350.00
Fund: 001 - GENERAL FUND Surplus (Deficit):	165,087.00	-67,217.99	37,623.00	285,458.57	148,415.00	-4,505.93	-27,004.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 002 - LIBRARY TRUST FUND							
Revenue							
950 - OTHER REVENUES	40,350.00	45,103.11	40,350.00	54,970.36	40,350.00	19,632.01	50,500.00
Revenue Total:	40,350.00	45,103.11	40,350.00	54,970.36	40,350.00	19,632.01	50,500.00
Expense							
410 - LIBRARY	40,000.00	31,656.14	65,000.00	54,966.59	40,000.00	15,684.28	50,000.00
Expense Total:	40,000.00	31,656.14	65,000.00	54,966.59	40,000.00	15,684.28	50,000.00
Fund: 002 - LIBRARY TRUST FUND Surplus (Deficit):	350.00	13,446.97	-24,650.00	3.77	350.00	3,947.73	500.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 110 - ROAD USE FUND							
Revenue							
950 - OTHER REVENUES	620,000.00	632,387.89	648,000.00	635,820.33	648,000.00	321,963.54	648,000.00
Revenue Total:	620,000.00	632,387.89	648,000.00	635,820.33	648,000.00	321,963.54	648,000.00
Expense							
180 - MISC. COMMUNITY PROTECTION	70,000.00	51,076.31	68,000.00	55,062.23	66,000.00	31,424.50	57,000.00
210 - TRANSPORTATION	389,498.00	323,628.98	334,025.00	590,735.32	333,227.00	190,227.55	354,520.00
250 - SNOW REMOVAL	65,000.00	22,381.57	50,000.00	6,486.80	50,000.00	35.90	50,000.00
710 - DEBT SERVICE	0.00	0.00	0.00	0.00	0.00	296.25	0.00
959 - TRANSFERS	5,275.00	5,475.00	42,885.00	5,445.00	5,192.00	0.00	93,959.00
Expense Total:	529,773.00	402,561.86	494,910.00	657,729.35	454,419.00	221,984.20	555,479.00
Fund: 110 - ROAD USE FUND Surplus (Deficit):	90,227.00	229,826.03	153,090.00	-21,909.02	193,581.00	99,979.34	92,521.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 112 - TRUST AND AGENCY FUND							
Revenue							
950 - OTHER REVENUES	6,000.00	17,975.00	6,000.00	15,600.00	6,000.00	3,375.00	6,000.00
Revenue Total:	6,000.00	17,975.00	6,000.00	15,600.00	6,000.00	3,375.00	6,000.00
Expense							
460 - COMMUNITY CENTER	0.00	10,750.00	0.00	11,750.00	0.00	2,800.00	0.00
810 - WATER	6,000.00	0.00	6,000.00	0.00	6,000.00	0.00	6,000.00
Expense Total:	6,000.00	10,750.00	6,000.00	11,750.00	6,000.00	2,800.00	6,000.00
Fund: 112 - TRUST AND AGENCY FUND Surplus (Deficit):	0.00	7,225.00	0.00	3,850.00	0.00	575.00	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 121 - L.O. SALES TAX RESERVE							
Revenue							
950 - OTHER REVENUES	625,000.00	603,645.87	620,000.00	563,929.77	620,000.00	325,825.33	635,000.00
Revenue Total:	625,000.00	603,645.87	620,000.00	563,929.77	620,000.00	325,825.33	635,000.00
Expense							
959 - TRANSFERS	595,000.00	316,455.00	472,500.00	751,948.00	370,000.00	0.00	345,000.00
Expense Total:	595,000.00	316,455.00	472,500.00	751,948.00	370,000.00	0.00	345,000.00
Fund: 121 - L.O. SALES TAX RESERVE Surplus (Deficit):	30,000.00	287,190.87	147,500.00	-188,018.23	250,000.00	325,825.33	290,000.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 128 - CDBG							
Revenue							
950 - OTHER REVENUES	57,600,000.00	1,518,904.53	-624,000.00	1,623,132.40	212,500.00	212,500.00	0.00
Revenue Total:	57,600,000.00	1,518,904.53	-624,000.00	1,623,132.40	212,500.00	212,500.00	0.00
Expense							
140 - FLOOD CONTROL	0.00	0.00	0.00	55,400.00	64,000.00	63,646.03	0.00
958 - CAPITAL OUTLAY	55,000,000.00	2,218,733.16	416,650.00	361,650.00	0.00	0.00	0.00
959 - TRANSFERS	297,200.00	172,821.00	0.00	1,242,748.00	0.00	0.00	0.00
Expense Total:	55,297,200.00	2,391,554.16	416,650.00	1,659,798.00	64,000.00	63,646.03	0.00
Fund: 128 - CDBG Surplus (Deficit):	2,302,800.00	-872,649.63	-1,040,650.00	-36,665.60	148,500.00	148,853.97	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 135 - DYERSVILLE TIF DIST FUND							
Revenue							
950 - OTHER REVENUES	1,990,070.00	1,964,633.13	3,321,087.00	2,162,774.66	2,659,210.00	1,273,881.64	2,540,815.00
Revenue Total:	1,990,070.00	1,964,633.13	3,321,087.00	2,162,774.66	2,659,210.00	1,273,881.64	2,540,815.00
Expense							
520 - ECONOMIC DEVELOPMENT	0.00	0.00	0.00	0.00	0.00	67,740.78	0.00
700 - DEBT SERVICE	1,434,447.00	737,736.59	2,682,780.00	929,663.42	2,022,780.00	1,488,263.54	1,717,686.00
710 - DEBT SERVICE	0.00	0.00	0.00	0.00	30,000.00	14,000.00	30,000.00
958 - CAPITAL OUTLAY	10,000.00	1,700.00	0.00	-1,300.00	0.00	13,835.00	0.00
959 - TRANSFERS	630,707.00	707,476.73	618,306.00	712,105.00	569,191.00	0.00	948,999.00
Expense Total:	2,075,154.00	1,446,913.32	3,301,086.00	1,640,468.42	2,621,971.00	1,583,839.32	2,696,685.00
Fund: 135 - DYERSVILLE TIF DIST FUND Surplus (Deficit):	-85,084.00	517,719.81	20,001.00	522,306.24	37,239.00	-309,957.68	-155,870.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 200 - DEBT SERVICE							
Revenue							
710 - DEBT SERVICE	2,019,234.00	1,693,652.19	1,998,179.00	1,677,431.85	1,896,915.00	485,952.49	2,229,892.00
750 - 750	0.00	0.00	0.00	0.00	3,260,898.00	3,260,897.38	0.00
Revenue Total:	2,019,234.00	1,693,652.19	1,998,179.00	1,677,431.85	5,157,813.00	3,746,849.87	2,229,892.00
Expense							
708 - DEBT SERVICE	2,019,234.00	1,178,202.88	1,998,180.00	1,179,266.67	1,896,915.00	66,759.88	2,127,313.00
709 - DEBT SERVICE	0.00	147,151.68	0.00	150,066.68	0.00	11,392.09	102,579.00
Expense Total:	2,019,234.00	1,325,354.56	1,998,180.00	1,329,333.35	1,896,915.00	78,151.97	2,229,892.00
Fund: 200 - DEBT SERVICE Surplus (Deficit):	0.00	368,297.63	-1.00	348,098.50	3,260,898.00	3,668,697.90	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 301 - CAPITAL PROJECTS FUND							
Revenue							
750 - 750	902,200.00	588,588.34	482,500.00	1,756,091.00	370,000.00	0.00	345,000.00
954 - 954	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
Revenue Total:	902,200.00	688,588.34	482,500.00	1,756,091.00	370,000.00	0.00	345,000.00
Expense							
723 - CAPITAL PROJECT	2,595,000.00	1,842,870.37	472,500.00	2,830,919.96	370,000.00	438,772.21	345,000.00
742 - CAPITAL PROJECT	0.00	0.00	0.00	266,866.84	0.00	0.00	0.00
764 - CAPITAL PROJECT	520,000.00	520,212.16	0.00	4,390.79	0.00	296.40	0.00
Expense Total:	3,115,000.00	2,363,082.53	472,500.00	3,102,177.59	370,000.00	439,068.61	345,000.00
Fund: 301 - CAPITAL PROJECTS FUND Surplus (Deficit):	-2,212,800.00	-1,674,494.19	10,000.00	-1,346,086.59	0.00	-439,068.61	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 600 - WATER FUND							
Revenue							
810 - WATER	1,040,000.00	1,068,403.77	1,078,060.00	1,171,899.39	1,151,300.00	620,993.85	1,209,229.00
Revenue Total:	1,040,000.00	1,068,403.77	1,078,060.00	1,171,899.39	1,151,300.00	620,993.85	1,209,229.00
Expense							
810 - WATER	705,304.00	761,299.66	737,283.00	806,117.13	798,251.00	321,923.13	816,735.00
959 - TRANSFERS	349,463.00	0.00	346,243.00	0.00	355,910.00	0.00	348,910.00
Expense Total:	1,054,767.00	761,299.66	1,083,526.00	806,117.13	1,154,161.00	321,923.13	1,165,645.00
Fund: 600 - WATER FUND Surplus (Deficit):	-14,767.00	307,104.11	-5,466.00	365,782.26	-2,861.00	299,070.72	43,584.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 601 - WATER SINKING FUND							
Revenue							
810 - WATER	118,780.00	0.00	119,060.00	0.00	119,300.00	0.00	118,500.00
950 - OTHER REVENUES	0.00	1,255,787.85	0.00	42,693.15	-90,000.00	0.00	0.00
Revenue Total:	118,780.00	1,255,787.85	119,060.00	42,693.15	29,300.00	0.00	118,500.00
Expense							
710 - DEBT SERVICE	118,780.00	373,911.25	119,060.00	365,727.19	29,300.00	21,888.33	118,500.00
959 - TRANSFERS	0.00	260,876.25	0.00	166,026.67	0.00	0.00	0.00
Expense Total:	118,780.00	634,787.50	119,060.00	531,753.86	29,300.00	21,888.33	118,500.00
Fund: 601 - WATER SINKING FUND Surplus (Deficit):	0.00	621,000.35	0.00	-489,060.71	0.00	-21,888.33	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 602 - WATER CAPITAL ACCOUNT							
Revenue							
950 - OTHER REVENUES	0.00	1,193,813.18	0.00	50,959.06	0.00	0.00	0.00
Revenue Total:	0.00	1,193,813.18	0.00	50,959.06	0.00	0.00	0.00
Expense							
723 - CAPITAL PROJECT	0.00	1,710,094.04	0.00	189,469.39	0.00	0.00	0.00
810 - WATER	0.00	12,673.25	0.00	648.00	0.00	0.00	0.00
959 - TRANSFERS	0.00	0.00	0.00	9,153.00	0.00	0.00	0.00
Expense Total:	0.00	1,722,767.29	0.00	199,270.39	0.00	0.00	0.00
Fund: 602 - WATER CAPITAL ACCOUNT Surplus (Deficit):	0.00	-528,954.11	0.00	-148,311.33	0.00	0.00	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 610 - SEWER FUND							
Revenue							
815 - SEWER	1,490,200.00	2,520,994.21	1,863,520.00	1,786,578.66	1,979,438.00	935,226.04	1,979,438.00
Revenue Total:	1,490,200.00	2,520,994.21	1,863,520.00	1,786,578.66	1,979,438.00	935,226.04	1,979,438.00
Expense							
815 - SEWER	664,868.00	541,203.65	765,474.00	749,180.72	757,780.00	342,065.49	853,715.00
959 - TRANSFERS	893,065.00	0.00	855,473.00	0.00	837,061.00	0.00	856,717.00
Expense Total:	1,557,933.00	541,203.65	1,620,947.00	749,180.72	1,594,841.00	342,065.49	1,710,432.00
Fund: 610 - SEWER FUND Surplus (Deficit):	-67,733.00	1,979,790.56	242,573.00	1,037,397.94	384,597.00	593,160.55	269,006.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 611 - SEWER SINKING FUND							
Revenue							
815 - SEWER	633,389.00	207,872.62	634,520.00	116,172.50	615,730.00	0.00	616,560.00
Revenue Total:	633,389.00	207,872.62	634,520.00	116,172.50	615,730.00	0.00	616,560.00
Expense							
710 - DEBT SERVICE	633,389.00	798,971.25	634,520.00	768,711.66	615,730.00	44,979.58	616,560.00
Expense Total:	633,389.00	798,971.25	634,520.00	768,711.66	615,730.00	44,979.58	616,560.00
Fund: 611 - SEWER SINKING FUND Surplus (Deficit):	0.00	-591,098.63	0.00	-652,539.16	0.00	-44,979.58	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 612 - SEWER CAPITAL ACCOUNT							
Revenue							
815 - SEWER	0.00	258,702.19	0.00	378,580.89	0.00	0.00	2,225,000.00
Revenue Total:	0.00	258,702.19	0.00	378,580.89	0.00	0.00	2,225,000.00
Expense							
723 - CAPITAL PROJECT	0.00	698,916.11	0.00	157,387.36	0.00	0.00	2,225,000.00
815 - SEWER	0.00	474.50	0.00	109.00	0.00	9,531.85	0.00
Expense Total:	0.00	699,390.61	0.00	157,496.36	0.00	9,531.85	2,225,000.00
Fund: 612 - SEWER CAPITAL ACCOUNT Surplus (Deficit):	0.00	-440,688.42	0.00	221,084.53	0.00	-9,531.85	0.00

Budget Worksheet

For Fiscal: 2025-2026 Period Ending Item 22. 5

Defined Budgets

Departmen...	2023-2024 Total Budget	2023-2024 Total Activity	2024-2025 Total Budget	2024-2025 Total Activity	2025-2026 Total Budget	2025-2026 YTD Activity	2026-2027 PB
Fund: 670 - SOLID WASTE FUND							
Revenue							
840 - SOLID WASTE	379,750.00	365,312.91	446,760.00	441,927.80	484,810.00	222,641.35	484,810.00
Revenue Total:	379,750.00	365,312.91	446,760.00	441,927.80	484,810.00	222,641.35	484,810.00
Expense							
840 - SOLID WASTE	400,520.00	418,818.29	436,572.00	451,170.63	421,651.00	206,179.97	440,889.00
Expense Total:	400,520.00	418,818.29	436,572.00	451,170.63	421,651.00	206,179.97	440,889.00
Fund: 670 - SOLID WASTE FUND Surplus (Deficit):	-20,770.00	-53,505.38	10,188.00	-9,242.83	63,159.00	16,461.38	43,921.00
Report Surplus (Deficit):	187,310.00	102,992.98	-449,792.00	-107,851.66	4,483,878.00	4,326,639.94	556,658.00

Fund Summary

Fund	2023-2024		2024-2025		2025-2026		2026-2027
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	PB
001 - GENERAL FUND	165,087.00	-67,217.99	37,623.00	285,458.57	148,415.00	-4,505.93	-27,004.00
002 - LIBRARY TRUST FUND	350.00	13,446.97	-24,650.00	3.77	350.00	3,947.73	500.00
110 - ROAD USE FUND	90,227.00	229,826.03	153,090.00	-21,909.02	193,581.00	99,979.34	92,521.00
112 - TRUST AND AGENCY FUND	0.00	7,225.00	0.00	3,850.00	0.00	575.00	0.00
121 - L.O. SALES TAX RESERVE	30,000.00	287,190.87	147,500.00	-188,018.23	250,000.00	325,825.33	290,000.00
128 - CDBG	2,302,800.00	-872,649.63	-1,040,650.00	-36,665.60	148,500.00	148,853.97	0.00
135 - DYERSVILLE TIF DIST FUND	-85,084.00	517,719.81	20,001.00	522,306.24	37,239.00	-309,957.68	-155,870.00
200 - DEBT SERVICE	0.00	368,297.63	-1.00	348,098.50	3,260,898.00	3,668,697.90	0.00
301 - CAPITAL PROJECTS FUND	-2,212,800.00	-1,674,494.19	10,000.00	-1,346,086.59	0.00	-439,068.61	0.00
600 - WATER FUND	-14,767.00	307,104.11	-5,466.00	365,782.26	-2,861.00	299,070.72	43,584.00
601 - WATER SINKING FUND	0.00	621,000.35	0.00	-489,060.71	0.00	-21,888.33	0.00
602 - WATER CAPITAL ACCOUNT	0.00	-528,954.11	0.00	-148,311.33	0.00	0.00	0.00
610 - SEWER FUND	-67,733.00	1,979,790.56	242,573.00	1,037,397.94	384,597.00	593,160.55	269,006.00
611 - SEWER SINKING FUND	0.00	-591,098.63	0.00	-652,539.16	0.00	-44,979.58	0.00
612 - SEWER CAPITAL ACCOUNT	0.00	-440,688.42	0.00	221,084.53	0.00	-9,531.85	0.00
670 - SOLID WASTE FUND	-20,770.00	-53,505.38	10,188.00	-9,242.83	63,159.00	16,461.38	43,921.00
Report Surplus (Deficit):	187,310.00	102,992.98	-449,792.00	-107,851.66	4,483,878.00	4,326,639.94	556,658.00

ORDINANCE NO. 877

**AN ORDINANCE ESTABLISHING A CLEAN ZONE, GRANTING A LEASE TO
DYERSVILLE EVENTS, INC., AND REGULATING THE 2026 RAGBRAI
OVERNIGHT EVENT WITHIN THE CITY OF DYERSVILLE, IOWA**

AN ORDINANCE to provide for the designation of public property within the City of Dyersville (the “City”) as a “Clean Zone” during the time period beginning at 12:01 a.m. on Friday, July 24, 2026, and ending at 3:00 p.m. on Saturday, July 25, 2026, relative to the use of these areas in conjunction with the Des Moines Register’s Annual Great Bicycle Ride Across Iowa™ (RAGBRAI®) overnight stay in the City of Dyersville (hereinafter referred to as the “Event”); to grant a lease of certain city-owned property to Dyersville Events, Inc. for the purpose of hosting and operating the Event; to delegate administrative authority to the City Administrator to carry out and enforce this Ordinance on behalf of the City Council; to provide for the temporary prohibition of unauthorized commercial activity within the Clean Zone; to grant exclusive outdoor beverage authority to Dyersville Events, Inc.; to temporarily suspend certain park regulations and noise regulations for Event-related activities; to provide for the establishment of public participation areas; to provide for the establishment of fines and penalties for violations of this ordinance; to establish the Clean Zone; and to otherwise provide with respect thereto; and,

WHEREAS, the City of Dyersville entered into a 2026 Overnight Town Agreement with Ventures Endurance, LLC d/b/a RAGBRAI (the “Town Agreement”), which was approved by the Dyersville City Council through Resolution No. 09-26 on February 2, 2026, establishing the terms and conditions under which the City will host the RAGBRAI overnight stay on Friday, July 24, 2026; and,

WHEREAS, Dyersville Events, Inc. is a non-profit organization that will serve as the official host and operator of the Event in the City of Dyersville, and will receive the overnight host proceeds provided by RAGBRAI under the Town Agreement to fund the planning, management, and operation of the Event; and,

WHEREAS, the City anticipates that the Event and all related activities will contribute substantially to the general welfare of the City, including increased tourism, economic benefit to the City and surrounding Dubuque County, enhanced goodwill and prestige, and the creation of numerous temporary job opportunities for area residents; and,

WHEREAS, the City desires to encourage similar events in the future; and,

WHEREAS, the City desires to enact this Ordinance to ensure the safety and comfort of riders, patrons, and visitors attending the Event and related activities, as well as the citizens of the City generally during the week of the Event; and,

WHEREAS, the City desires to enact this Ordinance to promote and protect good order and aesthetic quality in the City during the Event; and,

WHEREAS, the City desires to enact this Ordinance to protect the safety and convenience of drivers, cyclists, and pedestrians in and around the City during the Event; and,

WHEREAS, the Dyersville City Council has determined it reasonable and necessary to delegate administrative authority to the City Administrator to carry out and enforce this Ordinance and to

make all operational decisions necessary to ensure a successful Event without requiring further City Council action; and,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DYERSVILLE, IOWA:

Section 1. Clean Zone Established. There is hereby established a Clean Zone within the jurisdictional limits of the City of Dyersville.

Section 2. Duration of Clean Zone. The Clean Zone defined in Section 1 shall have a duration beginning at 12:01 a.m. on Friday, July 24, 2026, and ending at 3:00 p.m. on Saturday, July 25, 2026.

Section 3. Lease Granted. The Dyersville City Council hereby leases to Dyersville Events, Inc., a non-profit organization, the following city-owned properties: Westside Park, Candy Cane Park, and Legacy Square, together with any other city-owned property as may be approved by the City Administrator, for the period beginning July 20, 2026, and ending July 27, 2026. The Dyersville City Council hereby grants full authority to Dyersville Events, Inc. to erect, construct, maintain, and operate upon said leased property for the purpose of ensuring a successful 2026 RAGBRAI Event. In consideration of this Section, Dyersville Events, Inc. agrees to pay cash rent in the amount of One Dollar (\$1.00) to the City of Dyersville.

Section 4. Town Agreement Compliance. Dyersville Events, Inc. shall comply with all applicable terms and conditions of the 2026 Overnight Town Agreement between the City of Dyersville and Ventures Endurance, LLC d/b/a RAGBRAI, as approved by Resolution No. 09-26 on February 2, 2026. Dyersville Events, Inc. shall receive the overnight host proceeds provided by RAGBRAI under the Town Agreement for the purpose of funding the planning, management, and operation of the Event. Dyersville Events, Inc. shall be entitled to retain all revenues generated from food sales, beverage sales, vendor fees, and the sale of local non-RAGBRAI-branded merchandise at the Event. Dyersville Events, Inc. shall be responsible for fulfilling the City's obligations under the Town Agreement as they relate to the operation and hosting of the Event, including but not limited to vendor management, volunteer coordination, entertainment, food and beverage service, parking, trash disposal, and compliance with the official RAGBRAI Overnight Town Handbook guide.

Section 5. Delegation of Authority to the City Administrator. The Dyersville City Council hereby delegates to the City Administrator, or his or her designee, full authority to carry out, administer, and enforce the provisions of this Ordinance on behalf of the City Council. Without limiting the generality of this delegation, the City Administrator is hereby authorized to:

- a. Approve the use of additional city-owned property for the Event beyond the properties specifically identified in Section 3;
- b. Coordinate with Dyersville Events, Inc. and RAGBRAI on all matters related to the planning, setup, operation, and breakdown of the Event;
- c. Determine the location, scope, and operational details of Public Participation Areas approved by the police chief as established under Section 13;

- d. Ensure that Dyersville Events, Inc. complies with the terms of this Ordinance, the Town Agreement, the City's Insurance Schedule Policy, and all applicable local, county, state, and federal laws and regulations;
- e. Direct the allocation of city resources, including but not limited to public works, water, sewer, electricity, and public safety personnel, as necessary for the safe and orderly conduct of the Event;
- f. Authorize emergency abatement actions and enforcement of violations as provided in Sections 16 and 17 of this Ordinance;
- g. Execute any supplemental agreements, permits, or administrative documents necessary to carry out the intent of this Ordinance; and
- h. Take any and all other actions reasonably necessary to ensure the successful, safe, and lawful conduct of the Event, without requiring further City Council action.

This delegation of authority shall be effective for the duration of the lease period established in Section 3 and for a reasonable period thereafter necessary to complete breakdown, restoration, and final accounting related to the Event.

Section 6. Regulated Activities Within the Clean Zone. Within the Clean Zone, the activities described below, conducted by any person or entity except those authorized by Dyersville Events, Inc., shall be regulated as follows:

- a. The sale of merchandise, food, beverages, or the transaction of any commercial business by any person, club, group, organization, corporation, or entity of any kind, other than a business existing as of the date of the adoption of this Ordinance with its primary place of business located within the City of Dyersville and operating only from inside its regularly established location, is prohibited on public streets, sidewalks, rights-of-way, or from any temporary outdoor structure, unless such person or entity has been authorized by Dyersville Events, Inc.
- b. The distribution of free samples, promotional materials, or merchandise by any person or business, other than a business existing as of the date of the adoption of this Ordinance with its principal place of business in the City of Dyersville, is prohibited on public streets, sidewalks, rights-of-way, or from any temporary outdoor structure, unless such person or entity has been authorized by Dyersville Events, Inc.
- c. The construction, placement, occupation, or use of any temporary structure (including, but not limited to, tents, canopies, and air-supported, air-inflated, and/or tensioned membranes) on public property shall be prohibited, unless such construction, placement, occupation, or use has been authorized by Dyersville Events, Inc.

Section 7. Vendor Management by Dyersville Events, Inc. Dyersville Events, Inc. shall be solely responsible for all vendor applications, vendor permits, vendor placement, and vendor management associated with the Event. All vendors authorized by Dyersville Events, Inc. to sell or distribute food for public consumption shall comply with all applicable rules and regulations of the Iowa Department of Health and Human Services and the Dubuque County Board of Health pertaining to the sale and dispensing of food.

Section 8. Exclusive Outdoor Beverage Authority. To promote public safety, orderly management, and compliance with the Town Agreement, the Dyersville City Council hereby

grants Dyersville Events, Inc., or its designated agent, exclusive authority over the sale and distribution of all beverages in an outdoor setting open to the public on city-owned property and public rights-of-way within the Clean Zone during the effective period established in Section 2 of this Ordinance. No person, club, group, organization, corporation, or entity of any kind shall sell, distribute, or offer for sale any beverage of any kind in an outdoor setting open to the public within the Clean Zone during the effective period without the prior authorization of Dyersville Events, Inc. Dyersville businesses and churches that operate only from inside their regularly established locations are exempt from the requirements of this Section. Dyersville Events, Inc. shall be responsible for obtaining all licenses and permits required under local, state, and federal law for the sale of alcoholic beverages at the Event.

Section 9. Existing Businesses Exempt. Nothing in this Ordinance shall be construed as a repeal or suspension of any existing laws prohibiting or governing the issuance of permits outside of the Clean Zone geographical boundaries. Dyersville businesses and churches that operate only from inside their regularly established locations are exempt from the restrictions of this Ordinance.

Section 10. Temporary Suspension of Park Regulations. Section 47.05 (Parks Closed) and Section 47.06 (Camping) of the Code of Ordinances of the City of Dyersville are hereby suspended during the lease period established in Section 3 of this Ordinance (July 20, 2026 through July 27, 2026), and only at the following locations: Westside Park, Candy Cane Park, Legacy Square, and any other city-owned property included in the lease as approved by the City Administrator.

Section 11. Temporary Suspension of Noise Regulations. Chapter 44 (Noise Regulations) of the Code of Ordinances of the City of Dyersville is hereby suspended during the Clean Zone effective period established in Section 2 of this Ordinance (12:01 a.m. Friday, July 24, 2026 through 3:00 p.m. Saturday, July 25, 2026) for all Event-related entertainment, amplified sound, music, and related activities conducted by or authorized by Dyersville Events, Inc. at the Event venues and any other locations approved for the Event. This suspension applies only to Event-related activities and does not relieve any person or entity not associated with the Event from compliance with Chapter 44.

Section 12. Street Closings. Streets to be closed for the Event shall be determined by the Dyersville Police Chief for blocking any city streets. Furthermore, the Dyersville Police Chief may cause barricades or road blocks to be placed in any city street, alley, or roadway to redirect vehicular traffic in order to enhance the proper and safe flow of bicycle and vehicular traffic within the city limits of the City of Dyersville during the Event.

Section 13. Public Participation Areas. One or more Public Participation Areas shall be established within or around the Clean Zone. Each Public Participation Area shall allow the public to express itself in a manner that is not disruptive to the Event and related activities. Public Participation Areas shall be provided during reasonable times and at reasonable locations or in proximity to and/or around the Clean Zone to allow for meaningful and effective public expression. The location and scope of all Public Participation Areas shall be determined by the Police Chief, and the City Administrator pursuant to the authority delegated in Section 5.

Section 14. Insurance. Dyersville Events, Inc. shall procure and maintain special events insurance for the Event in accordance with the City of Dyersville Insurance Schedule Policy, as adopted and amended from time to time. Such insurance shall name the City of Dyersville as an additional insured. Any policy of insurance required hereunder shall be with a carrier authorized to do business in Iowa and shall provide for thirty (30) days' written notice to the City of Dyersville

of any material change in coverage or cancellation of the policy prior to its expiration date. Dyersville Events, Inc. shall furnish certificates of insurance to the City of Dyersville prior to the commencement of the lease period established in Section 3.

Section 15. Mutual Indemnification.

a. Dyersville Events, Inc.'s Indemnification. Unless resulting from the negligent actions or omissions of, or willful misconduct of, the City of Dyersville, its employees, agents, or contractors, Dyersville Events, Inc. agrees to hold the City of Dyersville harmless, indemnify it, and, at the City of Dyersville's option, defend it from and against all liability, damages, losses, costs, causes of action, charges, and expenses, including reasonable attorney fees, which the City of Dyersville may sustain, incur, or be liable for arising out of or related to Dyersville Events, Inc.'s use or occupancy of the leased property or management of the Event.

b. City of Dyersville's Indemnification. Unless resulting from the negligent actions or omissions of, or willful misconduct of, Dyersville Events, Inc., its employees, agents, or contractors, the City of Dyersville agrees to hold Dyersville Events, Inc. harmless, indemnify it, and, at Dyersville Events, Inc.'s option, defend it from and against all liability, damages, losses, costs, causes of action, charges, and expenses, including reasonable attorney fees, which Dyersville Events, Inc. may sustain, incur, or be liable for arising out of or related to the City of Dyersville's actions during the Event.

Section 16. Nuisance and Abatement. The sale of food, beverages, merchandise, or the erection of a temporary facility for the sale of food, beverages, or other merchandise in violation of the provisions of this Ordinance shall be considered a nuisance, as defined in Chapter 50 of the Code of Ordinances of the City of Dyersville, Iowa. If this type of nuisance is determined to exist, an emergency abatement procedure pursuant to Section 50.09 of the City Code is hereby authorized and may be executed by any peace officer or those acting at their direction by dismantling and removing the nuisance without notice. However, if the only violation of this Ordinance is the offender's failure to obtain authorization from Dyersville Events, Inc., the City Administrator or his or her designated agent, in lieu of immediate abatement, may allow the person or organization to come into compliance by obtaining the necessary authorization from Dyersville Events, Inc.

Section 17. Violations – Penalties. The violation of any provision of this Ordinance shall be punishable by a fine not exceeding Five Hundred Dollars (\$500.00), or by imprisonment for not more than six (6) months, or both such fine and imprisonment.

Section 18. Severability. If any of the provisions of this Ordinance are for any reason held to be unconstitutional or invalid by a court of competent jurisdiction, such holding shall not affect the validity of the remaining portions, and those remaining portions shall be and remain in full force and effect.

Section 19. Cumulative Effect. This Ordinance is cumulative of all ordinances of the City of Dyersville. Nothing in this Ordinance shall be construed as repealing any existing ordinance or part thereof except as specifically provided in Sections 10 and 11.

Section 20. Effective Date. This Ordinance shall be in effect after its final passage, approval, and publication as provided by law.

Passed and approved by this Council on the _____ day of _____, 2026.

Jeff Jacque, Mayor

Attest:

Tricia L. Maiers, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the _____ day of _____, 2026.

RESOLUTION NO. 29-26

A RESOLUTION APPROVING THE 2026 RAGBRAI OVERNIGHT EVENT OPERATING AGREEMENT BETWEEN THE CITY OF DYERSVILLE AND DYERSVILLE EVENTS, INC.

WHEREAS, the City of Dyersville entered into a 2026 Overnight Town Agreement with Ventures Endurance, LLC d/b/a RAGBRAI, approved by the Dyersville City Council through Resolution No. 09-26 on February 2, 2026, establishing the terms and conditions under which the City will host the RAGBRAI overnight stay on Friday, July 24, 2026; and,

WHEREAS, the Dyersville City Council adopted Ordinance No. 877, establishing a Clean Zone, granting a lease of city-owned property to Dyersville Events, Inc., and regulating the 2026 RAGBRAI overnight event within the City of Dyersville; and,

WHEREAS, Dyersville Events, Inc. is a non-profit organization that will serve as the official host and operator of the Event, receiving the overnight host proceeds from RAGBRAI to fund the planning, management, and operation of the Event; and,

WHEREAS, the City and Dyersville Events, Inc. desire to enter into an Operating Agreement to establish the specific responsibilities of each party for the successful conduct of the Event; and,

WHEREAS, the Dyersville City Council has reviewed the proposed 2026 RAGBRAI Overnight Event Operating Agreement and finds it to be in the best interests of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DYERSVILLE, IOWA:

Section 1. The 2026 RAGBRAI Overnight Event Operating Agreement between the City of Dyersville and Dyersville Events, Inc. is hereby approved.

Section 2. The City Council authorizes the City Administrator, as the City’s authorized representative, to sign the Agreement and to take all steps necessary to carry out and implement the Agreement on behalf of the City.

Passed and approved this 6th day of April, 2026.

Jeff Jacque, Mayor

Attest:

Tricia L. Maiers, City Clerk

2026 RAGBRAI OVERNIGHT EVENT OPERATING AGREEMENT

This Operating Agreement (the “Agreement”) is entered into this _____ day of _____, 2026, by and between the City of Dyersville, Iowa, a municipal corporation (hereinafter the “City”), and Dyersville Events, Inc., an Iowa non-profit corporation (hereinafter “Dyersville Events”).

RECITALS

- A. The City of Dyersville entered into a 2026 Overnight Town Agreement with Ventures Endurance, LLC d/b/a RAGBRAI (the “Town Agreement”), approved by the Dyersville City Council through Resolution No. 09-26 on February 2, 2026, establishing the terms and conditions under which the City will host the RAGBRAI overnight stay on Friday, July 24, 2026.
- B. The Dyersville City Council adopted Ordinance No. 877 (the “Ordinance”), establishing a Clean Zone, granting a lease of city-owned property to Dyersville Events, and regulating the 2026 RAGBRAI overnight event within the City of Dyersville.
- C. Dyersville Events is a non-profit organization willing and able to serve as the official host and operator of the Event on behalf of the City.
- D. The Dyersville City Council has approved this Agreement by Resolution No. 29-26.

NOW, THEREFORE, in consideration of the mutual promises and obligations set forth herein, the parties agree as follows:

Section 1. Purpose. The purpose of this Agreement is to establish the responsibilities of the City and Dyersville Events for the planning, management, and operation of the 2026 RAGBRAI overnight event (the “Event”) to be held in the City of Dyersville on Friday, July 24, 2026.

Section 2. Term. This Agreement shall be effective upon approval by the Dyersville City Council and shall remain in effect through July 27, 2026, or until all obligations of the parties hereunder have been fulfilled, whichever is later.

Section 3. Incorporation of Ordinance and Town Agreement. The terms and conditions of Ordinance No. 877 and the 2026 Overnight Town Agreement between the City and Ventures Endurance, LLC d/b/a RAGBRAI are hereby incorporated into this Agreement by reference. In the event of a conflict between this Agreement and the Ordinance, the Ordinance shall control.

Section 4. Obligations of Dyersville Events, Inc. Dyersville Events agrees to the following:

- a. Serve as the official host and operator of the Event and fulfill the City’s obligations under the Town Agreement as they relate to the operation and hosting of the Event, including but not limited to vendor management, volunteer coordination, entertainment, food and beverage service, parking, trash collection, and compliance with the official RAGBRAI Overnight Town Handbook guide.
- b. Manage all vendor applications, vendor permits, vendor placement, and vendor activities associated with the Event.

- c. Obtain all licenses and permits required under local, state, and federal law for the sale of alcoholic beverages and food at the Event.
- d. Comply with all applicable rules and regulations of the Iowa Department of Health and Human Services and the Dubuque County Board of Health pertaining to the sale and dispensing of food at the Event.
- e. Procure and maintain special events insurance in accordance with the City of Dyersville Insurance Schedule Policy, naming the City as an additional insured, and furnish certificates of insurance to the City prior to the commencement of the lease period on July 20, 2026.
- f. Coordinate with the City Administrator, or his or her designee, on all matters related to the planning, setup, operation, and breakdown of the Event.
- g. Comply with all terms and conditions of the Ordinance, the Town Agreement, and all applicable local, county, state, and federal laws and regulations.
- h. Pay cash rent in the amount of One Dollar (\$1.00) to the City for the lease of city-owned property as provided in the Ordinance.

Section 5. Obligations of the City. The City agrees to provide the following resources and services at no cost to Dyersville Events in support of the Event:

- a. Potable water access at the Event venues.
- b. Sewer service access at the Event venues.
- c. Electrical service access at the Event venues.
- d. Trash disposal services, including dumpsters, during the lease period.
- e. Public safety personnel, including local law enforcement and emergency medical services, in numbers adequate to ensure the safe operation of the Event.

Section 6. City Administrator as Official Representative. The City Administrator, or his or her designee, shall serve as the City's official representative for all matters arising under this Agreement. As authorized by Section 5 of the Ordinance, the City Administrator has full authority to administer and enforce this Agreement, approve the use of additional city-owned property, direct the allocation of city resources, and take all actions reasonably necessary to ensure the successful conduct of the Event without further City Council action.

Section 7. Event Revenue. Dyersville Events shall receive the overnight host proceeds provided by RAGBRAI under the Town Agreement for the purpose of funding the planning, management, and operation of the Event. Dyersville Events shall be entitled to retain all revenues generated from food sales, beverage sales, vendor fees, and the sale of local non-RAGBRAI-branded merchandise at the Event.

Section 8. Insurance and Indemnification. The insurance and mutual indemnification provisions of the Ordinance (Sections 14 and 15) are incorporated herein and shall apply to the parties under this Agreement with the same force and effect as if fully restated.

Section 9. Compliance with Law. Both parties shall comply with all applicable local, county, state, and federal laws, ordinances, and regulations in the performance of their obligations under this Agreement.

Section 10. Entire Agreement. This Agreement, together with the Ordinance and the Town Agreement incorporated herein, constitutes the entire understanding between the parties with respect to the subject matter hereof. This Agreement may not be amended except by a written instrument signed by both parties.

Section 11. Severability. If any provision of this Agreement is held to be invalid or unenforceable, the remaining provisions shall continue in full force and effect.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

CITY OF DYERSVILLE, IOWA

Mick J. Michel, City Administrator

DYERSVILLE EVENTS, INC.

Mike Decker, President

Approved by Dyersville City Council Resolution No. 29-26 on the 6th day of April, 2026.

RESOLUTION NO. 28-26**A RESOLUTION AUTHORIZING THE CITY ADMINISTRATOR TO APPROVE THE BLASTING PERMIT FOR FALCON DRILLING & BLASTING, INC. FOR THE KWIK STAR CONVENIENCE STORE PROJECT, SUBJECT TO THE CONDITIONS SET FORTH IN THIS LETTER**

WHEREAS, Falcon Drilling & Blasting, Inc. has applied for a blasting permit under Chapter 126 of the Dyersville Code of Ordinances in connection with the Kwik Star convenience store project at 12th Avenue SE and 9th Street SE; and,

WHEREAS, Chapter 126 of the Dyersville Code of Ordinances requires City Council authorization prior to issuance of a blasting permit; and,

WHEREAS, the City Administrator has reviewed the application materials and issued a written compliance review and recommendation dated April 1, 2026; and,

WHEREAS, Section 126.05 of the Dyersville Code of Ordinances authorizes the City Council to accept liability insurance in lieu of the security bond required under Section 126.03(2); and,

WHEREAS, the City Council finds that strict application of the telephone notification requirements in Section 126.11 of the Dyersville Code of Ordinances would be impractical for this project and that a substitute notification program provides equal or greater public notice;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dyersville, Iowa, that:

Section 1. The City Council hereby authorizes the City Administrator to approve the Blasting Permit for Falcon Drilling & Blasting, Inc. for the Kwik Star convenience store project at 12th Avenue SE and 9th Street SE, subject to the conditions set forth in the City Administrator's letter dated April 1, 2026.

Section 2. Pursuant to Section 126.05 of the Dyersville Code of Ordinances, the City Council authorizes acceptance of the Certificate of Insurance submitted by Falcon Drilling & Blasting, Inc. in lieu of the surety bond otherwise required under Section 126.03(2), subject to review and confirmation by the Assistant City Attorney that the policy includes appropriate blasting and explosives coverage.

Section 3. The City Council hereby waives the telephone notification requirements of Section 126.11 of the Dyersville Code of Ordinances for this project and authorizes implementation of the substitute notification program described in the April 1, 2026 City Administrator letter.

Section 4. The City Administrator is authorized and directed to administer the blasting permit and enforce its conditions in a manner consistent with Chapter 126 of the Dyersville Code of Ordinances.

Section 5. Conflict Clause. In the event of any conflict between this resolution and the provisions of the Dyersville Municipal Code, the Dyersville Municipal Code shall control. This resolution shall be interpreted and applied in a manner consistent with applicable ordinances and Iowa law.

Section 6. Severability. If any section, subsection, sentence, clause, or provision of this resolution is held invalid or unenforceable by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this resolution, which shall remain in full force and effect.

Section 7. This resolution shall be effective upon adoption.

Passed and approved this 6th day of April, 2026.

CITY OF DYERSVILLE, IOWA

By: _____
Jeff Jacque, Mayor

ATTEST:

Tricia L. Maiers, City Clerk



City of Dyersville
City Administrator's Office

April 1, 2026

Mayor Jeff Jacque, and City Council Members
City of Dyersville
340 1st Avenue East
Dyersville, Iowa 52040

RE: Blasting Permit Application—Falcon Drilling & Blasting, Inc. (Kwik Star Project)
Task 63586

Dear Mayor Jacque, and City Council Members:

Background

Falcon Drilling & Blasting, Inc. (P.O. Box 2403, Oshkosh, WI 54903) has submitted an application for a blasting permit under Chapter 126 of the Dyersville Code of Ordinances. The blasting is part of the Kwik Star convenience store project at the corner of 12th Avenue SE and 9th Street SE in Dyersville. Tschiggfrie Excavating of Dubuque serves as the general contractor. The work involves drilling and blasting rock for utility line installation, building pad preparation, and general site work.

The applicant anticipates blasting operations between April 13 and May 29, 2026, during normal daytime hours (7:00 AM to 5:00 PM, Monday through Friday), with up to 2 to 3 blasts per day. The following review walks through each section of Chapter 126 and evaluates the submitted materials against each requirement.

Section-by-Section Code Review

Section 126.01 — Definition

Chapter 126 defines “blasting” as the act of breaking or tearing to pieces rock or other material by the agency of gunpowder or other explosives. The proposed work involves drilling and blasting rock for utility installation and site preparation, which clearly falls within this definition. Chapter 126 applies.

Section 126.02 — Applicability of Regulations

This section applies to all persons, firms, and corporations storing, handling, or using explosives or blasting agents, and to the owner or lessee of any building, premises, or equipment on which such materials are used. Falcon Drilling & Blasting, Inc. is a Wisconsin-based commercial blasting contractor performing work within the City. Tschiggfrie Excavating is the general contractor and lessee of the site. Both are subject to Chapter 126.

340 1st Avenue East | Dyersville, IA 52040
563.875.7724 | mmichel@cityofdiersville.com
www.cityofdiersville.com



Section 126.03 — Permit Procedure

Requirement 1 — Filing of Commercial License: Section 126.03(1) mandates that the applicant submit a copy of the commercial license issued by the State Fire Marshal to the Council, according to Iowa Code Chapter 101A. Falcon has submitted its Commercial Explosive Contractor License (#CE-0060), issued on March 31, 2026, and valid through December 31, 2028, from the Iowa Department of Inspections, Appeals, and Licensing (which has taken over the Fire Marshal’s licensing duties). The associated fee receipt (Transaction #00052488, \$91.66, paid March 24, 2026) is also on record. This requirement is fulfilled.

Requirement 2 — Security Bond: Section 126.03(2) requires filing a security bond conditioned upon payment of all damages in an amount of not less than \$10,000. The applicant has submitted a Certificate of Insurance (ACORD form, dated March 26, 2026, Certificate Number 2007424015) rather than a surety bond. Section 126.05 authorizes the Council to accept a policy of liability insurance in lieu of or in addition to the bond. The Certificate of Insurance (COI) shows Commercial General Liability of \$1,000,000 per occurrence and \$2,000,000 aggregate, plus Umbrella/Excess coverage of \$10,000,000. This far exceeds the \$10,000 statutory minimum. **I recommend that the Council formally accept the liability insurance policy instead of the surety bond under Section 126.05.**

Section 126.04 — Storage Regulations

This section requires that explosive materials be stored in accordance with State Fire Marshal regulations and that the applicant be familiar with those requirements. The Safety Plan states that Falcon personnel will pick up explosive supplies daily from an off-site storage facility and will always be in attendance when explosive supplies are on site. No overnight or permanent on-site magazine storage is described, and no storage inadequacy has been identified.

Section 126.05 — Bond and Insurance

This section requires that any bond be in a form approved by the City Attorney with an approved surety company. It authorizes the Council to require a larger bond or certificate of insurance where hazards warrant, and to accept liability insurance as a substitute or in addition to the bond.

The Certificate of Insurance (COI) details the following coverages: Commercial General Liability at \$1,000,000 per occurrence / \$2,000,000 in total (Insurer A: United States Fire Insurance Company, Policy 5069096325, effective from 6/4/2025 to 6/4/2026); Automobile Liability at a \$1,000,000 combined single limit; Umbrella Liability at \$10,000,000 per occurrence / \$10,000,000 in total; Workers’ Compensation according to statutory limits / \$1,000,000 per accident; and Pollution Liability at \$900,000 with a \$2,500 deductible. The operations description section lists Tschiggfrie Excavating and the City of Dyersville as additional insured parties under the General Liability policy. Excess Liability policies from Arch Specialty Insurance and Axis Surplus Insurance each provide additional limits of \$7,500,000 with no retention.

Recommendation: The Submittals Checklist calls for an explicit blasting/explosive endorsement with no exclusions for vibration, earth movement, or flyrock. The COI is a summary document and does not detail specific exclusions. I recommend that the Assistant City Attorney confirm that the endorsement language is adequate before finalizing the permit. The total coverage well exceeds the \$10,000 minimum bond, and I recommend the Council accept the insurance in lieu of the bond.

Section 126.06 — Supervision of Blasting

This section requires that the person in direct supervision of blasting be a competent person with at least 5 years' experience in the handling and discharge of explosives.

The Safety Plan names two licensed blasters: Alex Nachtigall and Daniel Fye. Both have applied for Iowa Commercial Explosive Blaster Licenses through Falcon's contractor license, and fee receipts (Transaction #00052569, \$183.32, paid March 27, 2026) have been submitted. However, the Submittals Checklist indicates the company is "waiting 2 weeks minimum on background check" for both blasters, and the Safety Plan shows their Iowa license numbers as pending.

Flag: The applicant has not yet provided documentation confirming that either blaster meets the five-year experience threshold required by Section 126.06. Additionally, the actual Iowa blaster license certificates have not been issued—only fee receipts are on file. **I recommend that no blasting occur until: (a) at least one named blaster holds a valid, issued Iowa blaster license (not just a receipt); and (b) the applicant provides documentation (resume, affidavit, or employer certification) confirming the supervising blaster has the required five years' experience.**

Section 126.07 — Permit Issuance

Upon compliance with Chapter 126 and a determination that the blaster-in-charge is qualified and experienced, the Council shall issue the permit. Permits are limited to the specified blasting operation, are non-transferable, and are valid for only 30 days.

Flag: The applicant's anticipated blasting window runs from April 13 through May 29, 2026—approximately 46 days. Because permits are limited to 30 days under Section 126.07, the applicant will need to return for a renewal if blasting extends beyond the initial 30-day period. **I recommend the Council issue the initial permit effective April 13, 2026 through May 12, 2026 (30 days), with renewal subject to continued compliance and submission of any updated documentation. Alternatively, the Council could consider whether the circumstances warrant a longer permit period, though the Code as written limits permits to 30 days.**

Section 126.08 — Notice of Storage

The permittee must notify the Fire Chief and Police Chief of when and where explosive materials will be stored, and again when storage is terminated. The Safety Plan outlines the daily transportation of explosives from an off-site facility. Although no permanent on-site magazine is planned, the applicant should notify both chiefs of the off-site storage location (if within City limits) and provide daily updates when explosives are present on the job site. I suggest including this as a permit condition.

Section 126.09 — Report of Theft or Loss

Any theft or loss of explosive materials must be reported immediately to the Police Department, which will then inform the State Fire Marshal. The Safety Plan covers incident reporting in general, and the Submittals Checklist ensures that blast-related incidents are reported to the City and the contractor's insurer within 24 hours. This requirement should be established as a permit condition.

Section 126.10 — Disposal Regulated

No person shall abandon or dispose of explosives in a way that creates danger to life or property, and disposal must comply with State Fire Marshal regulations. The Safety Plan outlines a controlled operational sequence where unused materials are returned to the off-site storage facility daily. No disposal issues have been identified.

Section 126.11 — Notice of Blasting (Waiver Requested)

This is the section for which I am requesting Council consideration of a waiver.

As written, Section 126.11 requires the permittee to do three things. First, on the day before each blast, the permittee must try to contact by telephone a resident of each residence and an employee of each business within 1,500 feet of the blast site. Second, on the day of blasting, the permittee must again attempt to contact by phone each residence and business within 1,500 feet, this time informing them of the expected time of the blast. Third, the permittee must keep an up-to-date log of all phone calls made, including who made the call, who received it, and the time of the call, covering unanswered calls and messages left on answering machines.

Practical Concern: The mailing list identifies 401 properties within 1,500 feet of the blast site. With blasting expected to occur on multiple days over several weeks, and up to two to three blasts per day, strict compliance with Section 126.11 would require hundreds of telephone calls per blast day—potentially 800 or more calls on a single day (401 properties times two required call rounds). This is an extraordinary administrative burden that may not be practically achievable, and the provision was likely drafted with a much smaller notification radius or a shorter project duration in mind.

Proposed Alternative Notification Program

In lieu of the telephone notification requirements, I recommend the Council accept the following substitute notification program, which I believe provides equal or greater public notice:

Direct Mail Notification: The applicant will send a written Blasting Notification letter to all 401 property owners and occupants listed on the Blasting Notification Mailing List (dated April 1, 2026). The letter details the nature of the blasting work, the anticipated schedule, safety precautions in place, and includes a Blast Complaint Form with contact information for McKlane Konitzer, Falcon’s Safety and Compliance Specialist. Letters must be mailed no later than five days before the first blast.

Newspaper Publication: The applicant will publish a notice in the Dyersville Commercial before starting blasting operations, informing the public about the project, the expected blasting schedule, and contact details for complaints or questions.

On-Site Warning Signals: The Safety Plan already requires audible warning signals before each blast, including a series of long horn signals five minutes prior, short horn signals one minute prior, and a prolonged all-clear signal afterward. These will continue regardless of the notification method. This alternative approach offers a written, documented notice to all properties within 1,500 feet, along with public notice through the newspaper. Unlike telephone calls—which may go unanswered and depend on reaching the correct person—a mailed letter ensures the information reaches the property. The Blast Complaint Form provides residents with a clear, documented way of reporting concerns.

Additional Submitted Materials

Site Map

Two-page document showing: (1) a detailed site plan with the Kwik Star building footprint, utility lines (sanitary sewer, water, storm), proposed grading, and blasting zones marked in red; and (2) an aerial photograph with blasting areas overlaid. The site fronts 12th Avenue SE (Highway 136) to the south and 9th Street SE to the east.

Safety Plan

Covers purpose, project information, job site safety contacts, sequence of daily operations, warning signal protocols, PPE requirements (hard hats, safety shoes, hearing protection, eye protection, high-visibility clothing), and incident reporting. Identifies key personnel: Kelton McLaren (drill operator), Alex Nachtigall or Daniel Fye (blasters), Tony Tritt (foreman), and McKlane Konitzer (safety and compliance specialist).

Blank Shot Report

Template blast and seismograph analysis form (Version 2) from Falcon with fields for date, time, blast parameters (spacing, burden, depth, sub-drilling, stemming), seismograph velocity readings in three axes plus sound level, explosive type and quantities, delay system information, and witness signature. Marked “Confidential.” Daily logs will be provided to the City upon request per the Submittals Checklist.

Pre-Blast Structure Survey

The Submittals Checklist confirms that VibraTech has coordinated pre-blast survey appointments with property owners within 300 feet who responded. Surveys are scheduled for April 1 and 2, 2026. Eight properties/entities are identified on the 300-foot neighbor list: Gerald & Connie Coyle (820 11th St SE), Andrew Decker (1107 9th Ave SE), PEG Enterprises LLC (Epworth), Nightingale LLC (1020 12th Ave SE), Tauke Motors (1008 IA-136), Glenn Hildebrand (1115 9th Ave SE), Rosemary Loecke (1116 10th Ave SE), and Shepmann Properties. Pre-blast surveys must be completed before blasting begins.

Blast Complaint Form

A one-page form allowing property owners to document their name, address, phone number, nature of complaint, and when the issue was first noticed. This form is included with the notification letter.

Compliance Summary

Section	Requirement	Status	Notes
126.01	Definition	Met	Proposed work is blasting as defined.
126.02	Applicability	Met	Falcon and Tschiggfrie are subject to Chapter 126.
126.03(1)	Commercial License Filed	Met	Contractor License #CE-0060, issued 3/31/2026.
126.03(2)	Security Bond (\$10,000 min.)	See 126.05	COI submitted in lieu of bond; Council acceptance recommended.
126.04	Storage Regulations	Met	Daily transport from off-site; no on-site magazine.
126.05	Bond and Insurance	Met*	COI exceeds minimum. City Attorney should confirm blasting endorsement language.
126.06	Supervision (5-yr exp.)	Pending	Experience documentation has not yet been provided for named blasters. Blaster licenses are pending background checks.
126.07	Permit Issuance (30 days)	Action Req.	Project spans ~46 days; permit limited to 30 days. Renewal will be needed.
126.08	Notice of Storage	Condition	Applicant should notify Fire/Police Chiefs of storage and daily site presence.
126.09	Theft/Loss Reporting	Standard	Include as a permit condition.
126.10	Disposal	Met	Unused materials are returned to off-site storage daily.
126.11	Notice of Blasting	Waiver Req.	Waiver requested; substitute mail/newspaper notice proposed.

Recommended Permit Conditions

1. No blasting shall occur until at least one named blaster (Alex Nachtigall or Daniel Fye) holds a valid, issued Iowa Commercial Explosive Blaster License—not merely a fee receipt—and a copy of the license is on file with the City.
2. The applicant shall provide documentation (resume, employer affidavit, or equivalent) confirming that the supervising blaster has not less than five years' experience in the handling and discharge of explosives, as required by Section 126.06.
3. The Council accepts the Certificate of Insurance (ACORD Certificate Number 2007424015) in lieu of the surety bond required by Section 126.03(2), subject to Assistant City Attorney confirmation that the policy includes blasting/explosive coverage without exclusions for vibration, earth movement, or flyrock.
4. Pre-blast structure surveys by VibraTech must be completed and copies provided to the City before blasting operations begin.
5. The Blasting Notification letter and Blast Complaint Form must be mailed to all 401 properties on the Blasting Notification Mailing List no later than seven calendar days before the first blast. Notice must also be published in the Dyersville Commercial prior to the first blast.
6. The permittee shall notify the Fire Chief and Police Chief of the off-site explosives storage location and shall provide daily notice when explosives are present on the job site, consistent with Section 126.08.

7. Any theft, loss, property damage complaint, or blast-related incident shall be reported immediately to the Dyersville Police Department and to the contractor's insurer within 24 hours, consistent with Sections 126.09 and the applicant's Safety Plan.
8. Blasting operations shall be limited to 7:00 AM to 5:00 PM, Monday through Friday.
9. The permit shall be effective for 30 days from the date of first blasting. If blasting extends beyond 30 days, the applicant must return to the Council for renewal with updated documentation confirming continued compliance.
10. Daily blast logs and seismograph readings shall be maintained and made available to the City upon request.

Staff Recommendation

I recommend that the City Council approve the blasting permit for Falcon Drilling & Blasting, Inc. for the Kwik Star project at 12th Avenue SE and 9th Street SE, subject to the ten conditions listed above. I further recommend the Council waive the telephone notification requirements of Section 126.11 and accept the substitute direct-mail and newspaper publication notification program described in this memorandum, which provides equal or greater public notice to properties within 1,500 feet of the blast site.

Requested Council Action

Motion to authorize the City Administrator to approve the Blasting Permit for Falcon Drilling & Blasting, Inc. for the Kwik Star convenience store project, subject to the conditions set forth in this letter, and to waive the telephone notification requirements of Section 126.11 of the Code of Ordinances in favor of the substitute mail and newspaper notification program.

Respectfully submitted,



Mick J. Michel
City Administrator

Service Address	Last Name	First Name / Company
1207 12TH AVE SE, DYERSVILLE		FAREWAY
1215 12TH AVE SE, DYERSVILLE	BRUNSMAN	IVORY ROOTS
1215 12TH AVE SE, DYERSVILLE	Winch Bolsinger	Heartland Air Systems
1215 12TH AVE SE, DYERSVILLE	Bailey	The Vibe
1215 12TH AVE SE, DYERSVILLE	Deutmeyer	The Dyersville Clubhouse
1211 12TH AVE SE, DYERSVILLE	LEHMAN	HAPPY JOES
1211 12TH AVE SE, DYERSVILLE	WILLIAMS	WILLIAMS CHIROPRACTIC
1213 12TH AVE SE, DYERSVILLE		DYERSVILLE COMIC & GAM
1213 12TH AVE SE, DYERSVILLE	ALLEN	NUTRIEN AG NE IA DIV
1213 12TH AVE SE, DYERSVILLE	Phan	Kim's Nails
1201 12TH AVE SE, DYERSVILLE		Hy-Vee Dollar Fresh
1325 9TH ST SE, DYERSVILLE		BECKMAN CATHOLIC HIGH
1307 9TH ST SE, DYERSVILLE		COCCA Development LTD
1307 9TH ST SE, DYERSVILLE	Williams	Family Dollar #33189
1335 11TH AVE SE, DYERSVILLE	KLOSTERMANN	DAVE & CHERYL
1329 11TH AVE SE, DYERSVILLE	RECKER	DAVID
1323 11TH AVE SE, DYERSVILLE	RECKER	JIM
1315 11TH AVE SE, DYERSVILLE	PETTINGER	RUSS & JOAN
1307 11TH AVE SE, DYERSVILLE	KLOSTERMANN	CHARLES
1301 11TH AVE SE, DYERSVILLE	WATERMAN	JUDY
1301 11TH AVE SE, DYERSVILLE	BURROUGHS	STEVE & LYNN
1332 11TH AVE SE, DYERSVILLE	ROLING	DUANE
1328 11TH AVE SE, DYERSVILLE	MAIERS	KYLE & ROBIN
1322 11TH AVE SE, DYERSVILLE	MARTIN	FRED & ELLEN
1322 11TH AVE SE, DYERSVILLE	KLOSTERMANN	ESTHER
1312 11TH AVE SE, DYERSVILLE	GEISTKEMPER	MARK & LORI
1306 11TH AVE SE, DYERSVILLE	FELDMANN	CARL
1304 11TH AVE SE, DYERSVILLE	LAMMERS	ROD & KATHY
1331 9TH AVE SE, DYERSVILLE	STEFFEN	BETHANY & NATE TRUMM
1317 9TH AVE SE, DYERSVILLE	TAUKE	ALICE
1311 9TH AVE SE, DYERSVILLE	KNEPPER	DEAN & KAREN
1305 9TH AVE SE, DYERSVILLE	TAYLOR	TINA
1305 9TH AVE SE, DYERSVILLE	Maiers	Chance & Abigail
1314 9TH AVE SE, DYERSVILLE	STEFFENSMEIER	DENNIS & KAREN
1308 9TH AVE SE, DYERSVILLE	BURKLE	DONALD
1302 9TH AVE SE, DYERSVILLE	UNGS	RON & DIANE
1403 8TH AVE SE, DYERSVILLE	SPLINTER & KATHY	JAMES
1403 8TH AVE SE, DYERSVILLE	KOHL	HEATH & JENNIFER
1329 8TH AVE SE, DYERSVILLE	STEFFENSMEIER	MATT
1321 8TH AVE SE, DYERSVILLE	OVERMANN	STEVE
1305 8TH AVE SE, DYERSVILLE	WESSELS	MARK & JOYCE
1326 8TH AVE SE, DYERSVILLE	MEYER	BILL & MARY KAY

1316 8TH AVE SE, DYERSVILLE	COONEY	TOM & BROOKE
1308 8TH AVE SE, DYERSVILLE	CLEMEN	RON & LINDA
1130 13TH ST SE, DYERSVILLE	Salow	Mark
1225 10TH AVE SE, DYERSVILLE	Thole	Dale & Linda
1225 10TH AVE SE, DYERSVILLE	KLUESNER	JEAN
1223 10TH AVE SE, DYERSVILLE	ENGLISH	PEG
1044 13TH ST SE, DYERSVILLE	Digmann	Judy
1042 13TH ST SE, DYERSVILLE	Knepper	Gloria
1042 13TH ST SE, DYERSVILLE	Gravel	Lorraine
1131 12TH ST SE, DYERSVILLE	ELGIN	MAE
1129 12TH ST SE, DYERSVILLE	KRUSE	NANCY
1035 12TH ST SE, DYERSVILLE	DOMEYER	RITA
1033 12TH ST SE, DYERSVILLE	AMENT	MARGIE
1020 13TH ST SE, DYERSVILLE	MEYER	HELEN
1020 13TH ST SE, DYERSVILLE	SCHRANDT	DAWN & DIXIE
1159 12TH ST SE, DYERSVILLE	Heinrichs	Classic Concepts
1129 11TH ST SE, DYERSVILLE		PHYSICAL THERAPY SOLUT
1122 12TH ST SE, DYERSVILLE	MEYER	BRIAN & TAMMY
1120 12TH ST SE, DYERSVILLE	Kluesner	Donna
1120 12TH ST SE, DYERSVILLE	KNEPPER	GLADYS
1127 11TH ST SE, DYERSVILLE	MCALLISTER	MARLENE
1127 11TH ST SE, DYERSVILLE	HERMSEN	CAROL
1125 11TH ST SE, DYERSVILLE	GUDENKAUF	AREDEN
1039 11TH ST SE, DYERSVILLE	MCQUILLEN & PAUL	JUDY
1037 11TH ST SE, DYERSVILLE	PINS	DORIS
1037 11TH ST SE, DYERSVILLE	Kruse	Rick & Ranee
1040 12TH ST SE, DYERSVILLE	GEISTKEMPER	DAN
1038 12TH ST SE, DYERSVILLE	MEYER	PAM
1038 12TH ST SE, DYERSVILLE	HOEGER	ANN
1034 12TH ST SE, DYERSVILLE	LEMAY	BRENDA
1034 12TH ST SE, DYERSVILLE	Dietzenbach	Ron & Linda
1117 11TH ST SE, DYERSVILLE	KRAMER	MIKE
1234 10TH AVE SE, DYERSVILLE	WAGNER	TONY & DORIS
1226 10TH AVE SE, DYERSVILLE	LAPAGE	ELLEN
1218 10TH AVE SE, DYERSVILLE	BRIES	JIM & DARLENE
1218 10TH AVE SE, DYERSVILLE	Errthum	Jerome & Marlene
1202 10TH AVE SE, DYERSVILLE	DEUTMEYER	DENNIS & JOYCE
1138 10TH AVE SE, DYERSVILLE	Burkle (deceased)	Verna Mae
1138 10TH AVE SE, DYERSVILLE	WEGMANN	CAROL
1122 10TH AVE SE, DYERSVILLE	BESLER	BRUCE & SHARON
1116 10TH AVE SE, DYERSVILLE	LOECKE	ROSEMARY
1020 12TH AVE SE, DYERSVILLE	NIGHTINGALE	THE PRESCRIPTION SHOPP
1237 9TH AVE SE, DYERSVILLE	Deutmeyer	Gerald & Alice
1229 9TH AVE SE, DYERSVILLE	WADE	MICHAEL & KATIE

1219 9TH AVE SE, DYERSVILLE	WILLENBORG	ROBERT & SUE
1209 9TH AVE SE, DYERSVILLE	SIMON	MARK
1203 9TH AVE SE, DYERSVILLE	TRENKAMP	ROSELLA
1203 9TH AVE SE, DYERSVILLE	Ament	Steve & Donna
1127 9TH AVE SE, DYERSVILLE	DREES	TERRY
1121 9TH AVE SE, DYERSVILLE	GLEASON	ERIC & CHELSEA
1115 9TH AVE SE, DYERSVILLE	HILDEBRAND	GLEN
1107 9TH AVE SE, DYERSVILLE	DECKER	JOLENE
1107 9TH AVE SE, DYERSVILLE	Decker	Andrew
1234 9TH AVE SE, DYERSVILLE	PALMER	KYLE & KATIE
1234 9TH AVE SE, DYERSVILLE	JASPER	LLOYD
1224 9TH AVE SE, DYERSVILLE	BURKLE	HAROLD
1214 9TH AVE SE, DYERSVILLE	HELLE	ROBERT & Camie
1206 9TH AVE SE, DYERSVILLE	WOLF	GEORGE
1206 9TH AVE SE, DYERSVILLE	WOLF	GERALD & JOANNE
1206 9TH AVE SE, DYERSVILLE	Besler	Duane & Marian
1200 9TH AVE SE, DYERSVILLE	MENSEN	DALE
1200 9TH AVE SE, DYERSVILLE	MENSEN & MAGGIE	ERIC
1124 9TH AVE SE, DYERSVILLE	LUECK	STEVE & CATHY
1118 9TH AVE SE, DYERSVILLE	MILZ	DIANE
1118 9TH AVE SE, DYERSVILLE	Lammers	Alexia
1110 9TH AVE SE, DYERSVILLE	SCHUSTER	DAVE & DIANE
811 11TH ST SE, DYERSVILLE	HAWKINS	JAMES & JOANN
1227 8TH AVE SE, DYERSVILLE	RIESBERG	JEFF
1221 8TH AVE SE, DYERSVILLE	KLAREN	TOM & KAY
1215 8TH AVE SE, DYERSVILLE	GRAVEL	PHIL & LORA
1209 8TH AVE SE, DYERSVILLE	FRIEDMANN	JOHN
1203 8TH AVE SE, DYERSVILLE	STEFFEN	DELBERT
1127 8TH AVE SE, DYERSVILLE	Willenborg	Jody
1127 8TH AVE SE, DYERSVILLE	KNIPPER (deceased)	KATHERINE
1119 8TH AVE SE, DYERSVILLE	PASKER	KRISTY
1119 8TH AVE SE, DYERSVILLE	ZAGAROS	BRIAN & ANGELA
1113 8TH AVE SE, DYERSVILLE	TAUKE	JACK
805 11TH ST SE, DYERSVILLE	FUNKE	TIM
812 11TH ST SE, DYERSVILLE	REINERT	ANN
812 11TH ST SE, DYERSVILLE	BRIES	SPENCER
812 11TH ST SE, DYERSVILLE	Troyer	Bruce
812 11TH ST SE, DYERSVILLE	Recker	Ethan
812 11TH ST SE, DYERSVILLE	Rahe	Matthew
812 11TH ST SE, DYERSVILLE	Nimtz	Jenna
812 11TH ST SE, DYERSVILLE	Duggan	Robert & Pam
812 11TH ST SE, DYERSVILLE	Krapfl	Kim
812 11TH ST SE, DYERSVILLE	Hunt	Kevin
812 11TH ST SE, DYERSVILLE	Pederson	Camie Lee

812 11TH ST SE, DYERSVILLE	Kemp	Mark
812 11TH ST SE, DYERSVILLE	Carpenter	Haley
812 11TH ST SE, DYERSVILLE	DINGBAUM	EILEEN
812 11TH ST SE, DYERSVILLE	Dungca	Colleen
812 11TH ST SE, DYERSVILLE	Thein	Mark Anthony
812 11TH ST SE, DYERSVILLE	HAGEMANN	EILEEN
812 11TH ST SE, DYERSVILLE	HERMSEN	MARIAN
812 11TH ST SE, DYERSVILLE	HOFFMAN	VIRGINETTE
812 11TH ST SE, DYERSVILLE	HUCKER	SUSAN
820 11TH ST SE, DYERSVILLE	COYLE	GERALD & CONNIE
808 11TH ST SE, DYERSVILLE	Kinney	Kyle & Brigitte
808 11TH ST SE, DYERSVILLE	DONATH	TRACY
1011 8TH AVE SE, DYERSVILLE	Bries	Ryan & Danielle
1005 8TH AVE SE, DYERSVILLE	CARPER	BRENDA
1005 8TH AVE SE, DYERSVILLE	Manning	Lisa
807 9TH ST SE, DYERSVILLE		DUPACO CREDIT UNION
1124 8TH AVE SE, DYERSVILLE	ROSS	JOHN & KAREN
1302 8TH AVE SE, DYERSVILLE	DEUTMEYER	TOM
1226 8TH AVE SE, DYERSVILLE	WHITE	RANDY & SHIRLEY
1220 8TH AVE SE, DYERSVILLE	DINAN	PATRICK & DIANE
1214 8TH AVE SE, DYERSVILLE	FUNKE	JANET
1208 8TH AVE SE, DYERSVILLE	Ross	Dehmar
1208 8TH AVE SE, DYERSVILLE	KLUESNER	FRANCIS
1130 8TH AVE SE, DYERSVILLE	STEFFEN (Ann Maiers	ANN
1130 8TH AVE SE, DYERSVILLE	BEATTY	CAROL
719 9TH ST SE, DYERSVILLE	Fox	Appliance Plus of Oelwein
719 9TH ST SE, DYERSVILLE		RADIO SHACK/US CELLULA
225 11TH ST SE, DYERSVILLE		DYERSVILLE COMMERCIAL
927 7TH AVE SE, DYERSVILLE	DEMEZIER	GIOVANNI & BRITTANY
921 7TH AVE SE, DYERSVILLE	LEICK	ROBERT
913 7TH AVE SE, DYERSVILLE	OBERBROECKLING	ADAM
709 9TH ST SE, DYERSVILLE	THEISEN	GERMAINE
709 9TH ST SE, DYERSVILLE	Wilhelm	Tristan
909 7TH AVE SE, DYERSVILLE	TRENKAMP	JEROME
909 7TH AVE SE, DYERSVILLE	Soppe	Lexi
619 9TH ST SE, DYERSVILLE	RUSSELL	MICHAEL
619 9TH ST SE, DYERSVILLE	Russell	Tierney
615 9TH ST SE, DYERSVILLE	BURDS	JUSTIN
615 9TH ST SE, DYERSVILLE	Duve	Mitch & Josie
615 9TH ST SE, DYERSVILLE	Harry	Travis
609 9TH ST SE, DYERSVILLE	NECKER	KAREN
609 9TH ST SE, DYERSVILLE	Masterson	Eric & Jackie
603 9TH ST SE, DYERSVILLE	KNIPPER	KARLA
1430 9TH ST SE, DYERSVILLE	PINS	MARY

703 13TH AVE SE, DYERSVILLE		7 Hills West
1426 9TH ST SE, DYERSVILLE	WIENEKE	QUIZNO'S
1410 9TH ST SE, DYERSVILLE		ELITE DENTAL
1314 9TH ST SE, DYERSVILLE	WERNER	WERNER INSURANCE SERV
1314 9TH ST SE, DYERSVILLE	HOEGER	MR LOCK & KEY
805 13TH AVE SE, DYERSVILLE		CARQUEST AUTO PARTS
805 13TH AVE SE, DYERSVILLE		3M Auto Parts
611 13TH AVE SE, DYERSVILLE	WILGENBUSCH	TAMMY
611 13TH AVE SE, DYERSVILLE	Wulfekuhle	Jen
519 13TH AVE SE, DYERSVILLE	Ramos & Jeni Guzman	Noel
519 13TH AVE SE, DYERSVILLE	ENGELBRECHT	DAN & SUE
526 13TH AVE SE, DYERSVILLE	ULRICHS	JOHN & JEAN
522 13TH AVE SE, DYERSVILLE	MULCAHY	BILL & RITA
512 13TH AVE SE, DYERSVILLE	FUNKE	MARVIN & ROSIE
527 12TH AVE SE, DYERSVILLE	GILJE	CORY
519 12TH AVE SE, DYERSVILLE	GRAWE	TONY
511 12TH AVE SE, DYERSVILLE	LASKOWSKI	LEON & BRYGIDA
503 12TH AVE SE, DYERSVILLE	Bildstein	Ellie
503 12TH AVE SE, DYERSVILLE	KOPPES	LAWRENCE
1205 6TH ST SE, DYERSVILLE	KNIPPER	GENE & MARY PAT
1101 8TH ST SE, DYERSVILLE	Moon	Shareeka
1101 8TH ST SE, DYERSVILLE	Jefferson	Serynthia
1101 8TH ST SE, DYERSVILLE	Ollendick	Diana
1101 8TH ST SE, DYERSVILLE	Wimberly	Angeline
1101 8TH ST SE, DYERSVILLE	Nelson	Brenda
1101 8TH ST SE, DYERSVILLE	Stumpf	Ethan
1101 8TH ST SE, DYERSVILLE	Gibson	Tiyonna
1101 8TH ST SE, DYERSVILLE	Delgado	Susann
1101 8TH ST SE, DYERSVILLE	Garcia	Conny
801 11TH AVE SE, DYERSVILLE	Ashby	Daidra
801 11TH AVE SE, DYERSVILLE	Cooper	Quila
801 11TH AVE SE, DYERSVILLE	Mckay	Markita
801 11TH AVE SE, DYERSVILLE	Jackson	Erica
801 11TH AVE SE, DYERSVILLE	Temple	Dasha
1110 9TH ST SE, DYERSVILLE		Colonial Inn
1019 8TH ST SE, DYERSVILLE	LASSEN	MISTY
1019 8TH ST SE, DYERSVILLE	Thomas	Robert & Lana
1019 8TH ST SE, DYERSVILLE	Rima	GEM Property Company LLC
1013 8TH ST SE, DYERSVILLE	SCHMITT	JEFF & BETH
1005 8TH ST SE, DYERSVILLE	DEEKEN	JOHN & AMADA
727 11TH AVE SE, DYERSVILLE	Landa	Dario
709 11TH AVE SE, DYERSVILLE	DICKMAN	TRACEY
703 11TH AVE SE, DYERSVILLE	MOORE	JASON & LISA
703 11TH AVE SE, DYERSVILLE	Wagner & Zach Hoffm	Chelsea

703 11TH AVE SE, DYERSVILLE	Streif	Jesse & Abbie
617 11TH AVE SE, DYERSVILLE	KREMER	RON
611 11TH AVE SE, DYERSVILLE	GAUL	LARRY
603 11TH AVE SE, DYERSVILLE	MENKE	ROSEMARY
603 11TH AVE SE, DYERSVILLE	Scherbring	Samantha
727 10TH AVE SE, DYERSVILLE	LUNDERGAN	MIKE & CAROL
727 10TH AVE SE, DYERSVILLE	Malven	Trevor & Baylee
726 11TH AVE SE, DYERSVILLE	POLLOCK & Brandi M	ERIC
726 11TH AVE SE, DYERSVILLE	KLUESNER	BRIAN
710 11TH AVE SE, DYERSVILLE	FORTMANN	RONALD
702 11TH AVE SE, DYERSVILLE	CLEMEN	DONALD
618 11TH AVE SE, DYERSVILLE	SPODEN	JIM & MARY
618 11TH AVE SE, DYERSVILLE	Kluesner	Barb
612 11TH AVE SE, DYERSVILLE	ABRESCH	DAVE & KRISTI
602 11TH AVE SE, DYERSVILLE	WAGNER	GREG & ELAINE
717 10TH AVE SE, DYERSVILLE	STOFFEL	ELDON
717 10TH AVE SE, DYERSVILLE	Menke	Conner
701 10TH AVE SE, DYERSVILLE	EVEN	JERRY
609 10TH AVE SE, DYERSVILLE	LUKAN	TOM & SHIRLEY
603 10TH AVE SE, DYERSVILLE	SHEPHERD	JOSH & HOLLIE
603 10TH AVE SE, DYERSVILLE	Young & Harvell Lintor	Lory
1000 9TH ST SE, DYERSVILLE		TAUKE MOTOR'S
925 8TH ST SE, DYERSVILLE	FOX	DUANE & JANA
915 8TH ST SE, DYERSVILLE	RECKER	ALLEN
905 8TH ST SE, DYERSVILLE	LINK	AL & DEB
728 10TH AVE SE, DYERSVILLE	ATWATER	MARK & MACKENZIE
728 10TH AVE SE, DYERSVILLE	Thul	Mallory
718 10TH AVE SE, DYERSVILLE	FELDMANN	RANDY & KATHY
718 10TH AVE SE, DYERSVILLE	BOECKENSTEDT	ANDREA
702 10TH AVE SE, DYERSVILLE	Gansemer	Joel
614 10TH AVE SE, DYERSVILLE	HEIDERSCHEIT	JULIE
602 10TH AVE SE, DYERSVILLE	SCHRAAD	DAVE
715 9TH AVE SE, DYERSVILLE	MORMANN	CARL
703 9TH AVE SE, DYERSVILLE	Ungs & Michael Gadbe	Nancy
621 9TH AVE SE, DYERSVILLE	PALMER	VICKI
621 9TH AVE SE, DYERSVILLE	Budden	Lindsey
615 9TH AVE SE, DYERSVILLE	Engler	Beverly
615 9TH AVE SE, DYERSVILLE	Butcher	Van & Susan
615 9TH AVE SE, DYERSVILLE	DAVIS	KARLA
609 9TH AVE SE, DYERSVILLE	BOECKENSTEDT	DENNIS
601 9TH AVE SE, DYERSVILLE	TRENKAMP	DAVID
601 9TH AVE SE, DYERSVILLE	Green	Shane & Amy
601 9TH AVE SE, DYERSVILLE	Taylor	Nicole
601 9TH AVE SE, DYERSVILLE	Webb	Kaylee & Dayna

601 9TH AVE SE, DYERSVILLE	Demmer	David & Betty
601 9TH AVE SE, DYERSVILLE	Smith	Mackenzie
810 9TH AVE SE, DYERSVILLE	GOTTO	GARY
802 9TH AVE SE, DYERSVILLE	OSTWINKLE	JENNIFER
716 9TH AVE SE, DYERSVILLE	SADLER	LARRY
716 9TH AVE SE, DYERSVILLE	McMullen	Tara
710 9TH AVE SE, DYERSVILLE	FUNKE	DOUG & AMANDA
702 9TH AVE SE, DYERSVILLE	OBERBROECKLING	TOM & JOANN
620 9TH AVE SE, DYERSVILLE	DEUTMEYER	LOU ANN
614 9TH AVE SE, DYERSVILLE	RIES	REV CARL
608 9TH AVE SE, DYERSVILLE	BRIES	CHARLES
602 9TH AVE SE, DYERSVILLE	EVETT	LUCAS & CHELSEA
821 8TH AVE SE, DYERSVILLE	VONLEHMEN	ROBERT
813 8TH AVE SE, DYERSVILLE	Hall	Andrew & Janet
807 8TH AVE SE, DYERSVILLE	KLOSER	DENNIS & JOAN
801 8TH AVE SE, DYERSVILLE	BOTTS	MARTIN & CAROL
717 8TH AVE SE, DYERSVILLE	SCHINDLER	THERESA
711 8TH AVE SE, DYERSVILLE	ENGLISH	PAT & MAE
703 8TH AVE SE, DYERSVILLE	Pierschbacher	Kari
621 8TH AVE SE, DYERSVILLE	RECKER	ADAM
621 8TH AVE SE, DYERSVILLE	CUELLAR	PAUL & TERA
613 8TH AVE SE, DYERSVILLE	KNIPPER	KEVIN
605 8TH AVE SE, DYERSVILLE	TAYLOR	LOIS
606 8TH AVE SE, DYERSVILLE	COOHEY	DEANNE
720 9TH ST SE, DYERSVILLE	KONZEN	ELAINE
812 8TH AVE SE, DYERSVILLE	OLBERDING	LOIS
810 8TH AVE SE, DYERSVILLE	FORKENBROCK	ROBERT
806 8TH AVE SE, DYERSVILLE	STEFFEN	DAN & KATHY
718 8TH AVE SE, DYERSVILLE	ROLING	ED
706 8TH AVE SE, DYERSVILLE	HOEGER	ALLEN & CHERYL
702 8TH AVE SE, DYERSVILLE	MCGRANE	GERALD
622 8TH AVE SE, DYERSVILLE	DURKIN	TIM & CATHY
614 8TH AVE SE, DYERSVILLE	WESSELS	PAT & BRENDA
526 12TH AVE SE, DYERSVILLE	BERGER	ANDY & SHERRY
518 12TH AVE SE, DYERSVILLE	FRERICKS	TRACY
510 12TH AVE SE, DYERSVILLE	FANGMAN	LOU
502 12TH AVE SE, DYERSVILLE	PINS	LUANN
527 11TH AVE SE, DYERSVILLE	SCHNIEDERS	GLADYS
527 11TH AVE SE, DYERSVILLE	WESSELS	DEAN & JANE
519 11TH AVE SE, DYERSVILLE	Engelken	Melani
511 11TH AVE SE, DYERSVILLE	FETTKETHER	MARY ALICE
503 11TH AVE SE, DYERSVILLE	PROCTOR	GAIL & PAT
427 11TH AVE SE, DYERSVILLE	FRERICKS	ELMER
526 11TH AVE SE, DYERSVILLE	DURANT	DENISE

520 11TH AVE SE, DYERSVILLE	TEGELER	JEAN & ANN
520 11TH AVE SE, DYERSVILLE	Miller	Barbara
512 11TH AVE SE, DYERSVILLE	GOEDKEN	MARLENE
502 11TH AVE SE, DYERSVILLE	Cherryholmes	Scott & Aleasha
426 11TH AVE SE, DYERSVILLE	BRITTON	DAWN
525 10TH AVE SE, DYERSVILLE	LUENSMANN	RINA
519 10TH AVE SE, DYERSVILLE	STEFFENSMEIER	JOHN
517 10TH AVE SE, DYERSVILLE	BEGLE	LAWRENCE
511 10TH AVE SE, DYERSVILLE	OTTO	PIERRE & MELISSA
501 10TH AVE SE, DYERSVILLE	POSEY	BILL & KAY
501 10TH AVE SE, DYERSVILLE	White	Alexis
528 10TH AVE SE, DYERSVILLE	RECKER	SHIRLEY
520 10TH AVE SE, DYERSVILLE	TUCKER	COLETTA
516 10TH AVE SE, DYERSVILLE	Moncada	Cynthia
516 10TH AVE SE, DYERSVILLE	HELLE	MARCUS
516 10TH AVE SE, DYERSVILLE	KAUFFMANN	JASON
512 10TH AVE SE, DYERSVILLE	JASPER	RON
502 10TH AVE SE, DYERSVILLE	THEISEN	BRITTANY
502 10TH AVE SE, DYERSVILLE	Beeh	Justin & Heather
525 9TH AVE SE, DYERSVILLE	Lehman & Haley Sche	Scott
521 9TH AVE SE, DYERSVILLE	VASKE	RICHARD
517 9TH AVE SE, DYERSVILLE	MEYER	JOHN & BECKY
517 9TH AVE SE, DYERSVILLE	Robbins	Lyle & Stacy
511 9TH AVE SE, DYERSVILLE	DEUTMEYER	NORMA
524 9TH AVE SE, DYERSVILLE	Burger	Cole
522 9TH AVE SE, DYERSVILLE	MEYER	JOHN & LAURIE
516 9TH AVE SE, DYERSVILLE	HEITZMAN	WILLIAM
529 8TH AVE SE, DYERSVILLE	Greenwood	Dennis & Sue
523 8TH AVE SE, DYERSVILLE	THOMAS	MARY LOU
523 8TH AVE SE, DYERSVILLE	Espinoza	Jorge
523 8TH AVE SE, DYERSVILLE	Landa	Fernando
511 8TH AVE SE, DYERSVILLE	BRIES	LUANN
526 8TH AVE SE, DYERSVILLE	BOECKENSTEDT	ANN
825 7TH AVE SE, DYERSVILLE	MESCHER	RICHARD & JEAN
817 7TH AVE SE, DYERSVILLE	Specht	Lauren
817 7TH AVE SE, DYERSVILLE	DEUTMEYER	FRED
817 7TH AVE SE, DYERSVILLE	Langel	Jordan & Kylee
805 7TH AVE SE, DYERSVILLE	Carper II & Carinda Le	Allen
805 7TH AVE SE, DYERSVILLE	Seagle	Russell & Hilary
805 7TH AVE SE, DYERSVILLE	JANSEN	ANGELA
603 7TH AVE SE, DYERSVILLE	SOPPE	LARRY
701 7TH AVE SE, DYERSVILLE	JOHNSTON	RICHARD & SHANNON
719 7TH AVE SE, DYERSVILLE	KNEPPER	ANNAN
705 7TH AVE SE, DYERSVILLE	Tauke	Nathan

623 7TH AVE SE, DYERSVILLE	Brown	Bill & Diane
623 7TH AVE SE, DYERSVILLE	Schumacher & Shana	Gabriel
623 7TH AVE SE, DYERSVILLE	DREXLER	WAYNE
613 7TH AVE SE, DYERSVILLE	STANER	CARL & CLAUDENE
616 9TH ST SE, DYERSVILLE	Studer	Jacob
616 9TH ST SE, DYERSVILLE	BAGUSS	SARAH
616 9TH ST SE, DYERSVILLE	LACY	ZACK
820 7TH AVE SE, DYERSVILLE	LINK	NORMA
820 7TH AVE SE, DYERSVILLE	FUNKE	CHERIE
810 7TH AVE SE, DYERSVILLE	SWEENEY	BARB
806 7TH AVE SE, DYERSVILLE	BOEKHOLDER	FAY
806 7TH AVE SE, DYERSVILLE	Heiserman	Matthew
806 7TH AVE SE, DYERSVILLE	Klostermann	Michael
604 9TH ST SE, DYERSVILLE	SCHREIBER	ALLYSA
604 9TH ST SE, DYERSVILLE	BALL	TONY
604 9TH ST SE, DYERSVILLE	Burns	Connor
604 9TH ST SE, DYERSVILLE	Rojas & Nereycla Malc	Ramon
815 6TH AVE SE, DYERSVILLE	Cannon	Joshua & Allie
815 6TH AVE SE, DYERSVILLE	CROSSMAN	JOHANNA
815 6TH AVE SE, DYERSVILLE	Ries	Tyler
809 6TH AVE SE, DYERSVILLE	LANSING	JOHNNA
803 6TH AVE SE, DYERSVILLE	CANO	HUGO & RHEA
713 6TH AVE SE, DYERSVILLE	SHEBER	EDWARD
721 6TH AVE SE, DYERSVILLE	Scherbring & Joshua L	Brittney
721 6TH AVE SE, DYERSVILLE	KRUSE	DEB
722 7TH AVE SE, DYERSVILLE	KELLY	GLORIA
716 7TH AVE SE, DYERSVILLE	PROCTOR	DOUG & KATHY
708 7TH AVE SE, DYERSVILLE	DESHAW	PHILLIP & JANE
630 7TH AVE SE, DYERSVILLE	CLEMEN	JAMES & TAMMY
624 7TH AVE SE, DYERSVILLE	Siehr	Christopher
614 7TH AVE SE, DYERSVILLE	HAAS	ALVIN & LAURA
1024 11TH ST SE, DYERSVILLE	Zimmerman	James & Marianne
997 13TH ST SE, DYERSVILLE	Domeyer	Gary & Jean
1122 11TH ST SE, DYERSVILLE	BOECKENSTEDT	THOMAS & JOAN
1122 11TH ST SE, DYERSVILLE	Crain	Thomas
1122 11TH ST SE, DYERSVILLE	Mooney	Will
1122 11TH ST SE, DYERSVILLE	Hahn	Logan
1030 11TH ST SE, DYERSVILLE	Behnke	Brett
819 9TH ST SE, DYERSVILLE		WK EMPIRE HOLDINGS
819 9TH ST SE, DYERSVILLE		Elite Stone Fabrication
1643 12TH AVE SE, DYERSVILLE	LANSING	LORAS & Vicki
1128 13TH ST SE, DYERSVILLE	STEINES	DENNIS & LOIS
1020 8TH AVE SE, DYERSVILLE	GILLITZER	CHAD
930 8TH AVE SE, DYERSVILLE	KRAUS	DAN & SHELLY

725 9TH ST SE, DYERSVILLE		MCDERMOTT OIL
1422 9TH ST SE, DYERSVILLE		MIDWEST ONE BANK
1402 9TH ST SE, DYERSVILLE		CASEY'S GENERAL STORE
1222 9TH ST SE, DYERSVILLE		THEISEN'S SUPPLY
1008 9TH ST SE, DYERSVILLE		TAUKE MOTOR'S
715 6TH ST SE, DYERSVILLE		RECKER CONSTRUCTION
722 8TH AVE SE, DYERSVILLE	HILDERBRAND	ROBERT

Mailing Address	Unit	PO Box	City	State	Zip
1207 12TH AVE SE			DYERSVILLE	Iowa	52040
1215 12TH AVE SE	SUITE B		DYERSVILLE	Iowa	52040
1215 12TH AVE SE	Suite A		DYERSVILLE	Iowa	52040
1215 12TH AVE SE	C		DYERSVILLE	Iowa	52040
1215 12TH AVE SE	Suite C		DYERSVILLE	Iowa	52040
1211 12TH AVE SE		101	DYERSVILLE	Iowa	52040
1211 12TH AVE SE	#102		DYERSVILLE	Iowa	52040
1213 12TH AVE SE	#101	373	DYERSVILLE	Iowa	52040
1213 12TH AVE SE	106		DYERSVILLE	Iowa	52040
1213 12TH AVE SE	#105		DYERSVILLE	Iowa	52040
1201 12TH AVE SE			DYERSVILLE	Iowa	52040
1325 9TH ST SE			DYERSVILLE	Iowa	52040
1307 9TH ST SE			DYERSVILLE	Iowa	52040
1307 9TH ST SE			DYERSVILLE	IA	52040
1335 11TH AVE SE			DYERSVILLE	Iowa	52040
1329 11TH AVE SE			DYERSVILLE	Iowa	52040
1323 11TH AVE SE			DYERSVILLE	Iowa	52040
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1312 11TH AVE SE			DYERSVILLE	Iowa	52040
1306 11TH AVE SE			DYERSVILLE	Iowa	52040
1304 11TH AVE SE		321	DYERSVILLE	Iowa	52040
1331 9TH AVE SE			DYERSVILLE	Iowa	52040
1317 9TH AVE SE			DYERSVILLE	Iowa	52040
1311 9TH AVE SE			DYERSVILLE	Iowa	52040
1305 9TH AVE SE			DYERSVILLE	Iowa	52040
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1314 9TH AVE SE			DYERSVILLE	Iowa	52040
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1326 8TH AVE SE			DYERSVILLE	Iowa	52040

1316 8TH AVE SE		DYERSVILLE	Iowa	52040
1308 8TH AVE SE		DYERSVILLE	Iowa	52040
1130 13TH ST SE		DYERSVILLE	Iowa	52040
1225 10TH AVE SE		DYERSVILLE	Iowa	52040
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1159 12TH ST SE	B	DYERSVILLE	Iowa	52040
1129 11TH ST SE	APT A	DYERSVILLE	Iowa	52040
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1120 12TH ST SE		DYERSVILLE	Iowa	52040
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1234 10TH AVE SE		DYERSVILLE	Iowa	52040
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1237 9TH AVE SE		DYERSVILLE	Iowa	52040
1229 9TH AVE SE		DYERSVILLE	Iowa	52040

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1107 9TH AVE SE		DYERSVILLE	Iowa	52040
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1124 9TH AVE SE		DYERSVILLE	Iowa	52040
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1110 9TH AVE SE		DYERSVILLE	Iowa	52040
811 11TH ST SE		DYERSVILLE	Iowa	52040
1227 8TH AVE SE		DYERSVILLE	Iowa	52040
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1113 8TH AVE SE		DYERSVILLE	Iowa	52040
805 11TH ST SE		DYERSVILLE	Iowa	52040
812 11TH ST SE	#2	DYERSVILLE	Iowa	52040
812 11TH ST SE	#6	DYERSVILLE	Iowa	52040
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1011 8TH AVE SE			DYERSVILLE	Iowa	52040
1005 8TH AVE SE			DYERSVILLE	Iowa	52040
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807 9TH ST SE			DYERSVILLE	Iowa	52040
1124 8TH AVE SE			DYERSVILLE	Iowa	52040
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225 11TH ST SE		51	DYERSVILLE	Iowa	52040
927 7TH AVE SE			DYERSVILLE	Iowa	52040
921 7TH AVE SE			DYERSVILLE	Iowa	52040
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1430 9TH ST SE			DYERSVILLE	Iowa	52040

703 13TH AVE SE		DYERSVILLE	Iowa	52040
1426 9TH ST SE		DYERSVILLE	Iowa	52040
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1205 6TH ST SE	#218	DYERSVILLE	Iowa	52040
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1005 8TH ST SE		DYERSVILLE	Iowa	52040
727 11TH AVE SE		DYERSVILLE	Iowa	52040
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609 10TH AVE SE			DYERSVILLE	Iowa	52040
603 10TH AVE SE			DYERSVILLE	Iowa	52040
603 10TH AVE SE			DYERSVILLE	Iowa	52040
1000 9TH ST SE			DYERSVILLE	Iowa	52040
925 8TH ST SE			DYERSVILLE	Iowa	52040
915 8TH ST SE			DYERSVILLE	Iowa	52040
905 8TH ST SE			DYERSVILLE	Iowa	52040
728 10TH AVE SE			DYERSVILLE	Iowa	52040
728 10TH AVE SE			DYERSVILLE	Iowa	52040
718 10TH AVE SE			DYERSVILLE	Iowa	52040
718 10TH AVE SE			DYERSVILLE	Iowa	52040
702 10TH AVE SE			DYERSVILLE	Iowa	52040
614 10TH AVE SE			DYERSVILLE	Iowa	52040
602 10TH AVE SE			DYERSVILLE	Iowa	52040
715 9TH AVE SE			DYERSVILLE	Iowa	52040
703 9TH AVE SE			DYERSVILLE	Iowa	52040
621 9TH AVE SE			DYERSVILLE	Iowa	52040
621 9TH AVE SE			DYERSVILLE	Iowa	52040
615 9TH AVE SE			DYERSVILLE	Iowa	52040
615 9TH AVE SE			DYERSVILLE	Iowa	52040
615 9TH AVE SE			DYERSVILLE	Iowa	52040
609 9TH AVE SE			DYERSVILLE	Iowa	52040
601 9TH AVE SE			DYERSVILLE	Iowa	52040
601 9TH AVE SE			DYERSVILLE	Iowa	52040
601 9TH AVE SE			DYERSVILLE	Iowa	52040
601 9TH AVE SE			DYERSVILLE	Iowa	52040

601 9TH AVE SE			DYERSVILLE	IA	52040
601 9TH AVE SE			DYERSVILLE	Iowa	52040
810 9TH AVE SE			DYERSVILLE	Iowa	52040
802 9TH AVE SE			DYERSVILLE	Iowa	52040
716 9TH AVE SE			DYERSVILLE	Iowa	52040
716 9TH AVE SE			DYERSVILLE	IA	52040
710 9TH AVE SE			DYERSVILLE	Iowa	52040
702 9TH AVE SE			DYERSVILLE	Iowa	52040
620 9TH AVE SE			DYERSVILLE	Iowa	52040
614 9TH AVE SE			DYERSVILLE	Iowa	52040
608 9TH AVE SE			DYERSVILLE	Iowa	52040
602 9TH AVE SE			DYERSVILLE	Iowa	52040
821 8TH AVE SE			DYERSVILLE	Iowa	52040
813 8TH AVE SE			DYERSVILLE	Iowa	52040
807 8TH AVE SE			DYERSVILLE	Iowa	52040
801 8TH AVE SE			DYERSVILLE	Iowa	52040
717 8TH AVE SE			DYERSVILLE	Iowa	52040
711 8TH AVE SE			DYERSVILLE	Iowa	52040
703 8TH AVE SE			DYERSVILLE	Iowa	52040
621 8TH AVE SE			DYERSVILLE	Iowa	52040
621 8TH AVE SE			DYERSVILLE	Iowa	52040
613 8TH AVE SE			DYERSVILLE	Iowa	52040
605 8TH AVE SE			DYERSVILLE	Iowa	52040
606 8TH AVE SE			DYERSVILLE	Iowa	52040
720 9TH ST SE			DYERSVILLE	Iowa	52040
812 8TH AVE SE			DYERSVILLE	Iowa	52040
810 8TH AVE SE		292	DYERSVILLE	Iowa	52040
806 8TH AVE SE			DYERSVILLE	Iowa	52040
718 8TH AVE SE			DYERSVILLE	Iowa	52040
706 8TH AVE SE			DYERSVILLE	Iowa	52040
702 8TH AVE SE			DYERSVILLE	Iowa	52040
622 8TH AVE SE			DYERSVILLE	Iowa	52040
614 8TH AVE SE			DYERSVILLE	Iowa	52040
526 12TH AVE SE			DYERSVILLE	Iowa	52040
518 12TH AVE SE			DYERSVILLE	Iowa	52040
510 12TH AVE SE			DYERSVILLE	Iowa	52040
502 12TH AVE SE			DYERSVILLE	Iowa	52040
527 11TH AVE SE			DYERSVILLE	Iowa	52040
527 11TH AVE SE			DYERSVILLE	Iowa	52040
519 11TH AVE SE			DYERSVILLE	Iowa	52040
511 11TH AVE SE			DYERSVILLE	Iowa	52040
503 11TH AVE SE			DYERSVILLE	Iowa	52040
427 11TH AVE SE			DYERSVILLE	Iowa	52040
526 11TH AVE SE			DYERSVILLE	Iowa	52040

520 11TH AVE SE		222	DYERSVILLE	Iowa	52040
520 11TH AVE SE			DYERSVILLE	IA	52040
512 11TH AVE SE			DYERSVILLE	Iowa	52040
502 11TH AVE SE			DYERSVILLE	Iowa	52040
426 11TH AVE SE			DYERSVILLE	Iowa	52040
525 10TH AVE SE			DYERSVILLE	Iowa	52040
519 10TH AVE SE			DYERSVILLE	Iowa	52040
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511 10TH AVE SE			DYERSVILLE	Iowa	52040
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501 10TH AVE SE			DYERSVILLE	Iowa	52040
528 10TH AVE SE			DYERSVILLE	Iowa	52040
520 10TH AVE SE			DYERSVILLE	Iowa	52040
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502 10TH AVE SE			DYERSVILLE	Iowa	52040
525 9TH AVE SE			DYERSVILLE	Iowa	52040
521 9TH AVE SE			DYERSVILLE	Iowa	52040
517 9TH AVE SE			DYERSVILLE	Iowa	52040
517 9TH AVE SE			DYERSVILLE	Iowa	52040
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524 9TH AVE SE			DYERSVILLE	Iowa	52040
522 9TH AVE SE			DYERSVILLE	Iowa	52040
516 9TH AVE SE			DYERSVILLE	Iowa	52040
529 8TH AVE SE			DYERSVILLE	Iowa	52040
523 8TH AVE SE			DYERSVILLE	Iowa	52040
523 8TH AVE SE			DYERSVILLE	Iowa	52040
523 8TH AVE SE			DYERSVILLE	Iowa	52040
511 8TH AVE SE			DYERSVILLE	Iowa	52040
526 8TH AVE SE			DYERSVILLE	Iowa	52040
825 7TH AVE SE			DYERSVILLE	Iowa	52040
817 7TH AVE SE			DYERSVILLE	Iowa	52040
817 7TH AVE SE			DYERSVILLE	Iowa	52040
817 7TH AVE SE			DYERSVILLE	Iowa	52040
805 7TH AVE SE			DYERSVILLE	Iowa	52040
805 7TH AVE SE			DYERSVILLE	Iowa	52040
805 7TH AVE SE			DYERSVILLE	Iowa	52040
603 7TH AVE SE			DYERSVILLE	Iowa	52040
701 7TH AVE SE			DYERSVILLE	Iowa	52040
719 7TH AVE SE			DYERSVILLE	Iowa	52040
705 7TH AVE SE			DYERSVILLE	Iowa	52040

623 7TH AVE SE			DYERSVILLE	Iowa	52040
623 7TH AVE SE			DYERSVILLE	Iowa	52040
623 7TH AVE SE			DYERSVILLE	Iowa	52040
613 7TH AVE SE			DYERSVILLE	Iowa	52040
616 9TH ST SE			DYERSVILLE	Iowa	52040
616 9TH ST SE			DYERSVILLE	Iowa	52040
616 9TH ST SE			DYERSVILLE	Iowa	52040
820 7TH AVE SE			DYERSVILLE	Iowa	52040
820 7TH AVE SE			DYERSVILLE	Iowa	52040
810 7TH AVE SE			DYERSVILLE	Iowa	52040
806 7TH AVE SE			DYERSVILLE	Iowa	52040
806 7TH AVE SE			DYERSVILLE	Iowa	52040
806 7TH AVE SE			DYERSVILLE	Iowa	52040
604 9TH ST SE			DYERSVILLE	Iowa	52040
604 9TH ST SE			DYERSVILLE	Iowa	52040
604 9TH ST SE			DYERSVILLE	Iowa	52040
604 9TH ST SE			DYERSVILLE	Iowa	52040
815 6TH AVE SE			DYERSVILLE	Iowa	52040
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815 6TH AVE SE			DYERSVILLE	Iowa	52040
809 6TH AVE SE			DYERSVILLE	Iowa	52040
803 6TH AVE SE			DYERSVILLE	Iowa	52040
713 6TH AVE SE			DYERSVILLE	Iowa	52040
721 6TH AVE SE			DYERSVILLE	Iowa	52040
721 6TH AVE SE			DYERSVILLE	Iowa	52040
722 7TH AVE SE			DYERSVILLE	Iowa	52040
716 7TH AVE SE			DYERSVILLE	Iowa	52040
708 7TH AVE SE			DYERSVILLE	Iowa	52040
630 7TH AVE SE			DYERSVILLE	Iowa	52040
624 7TH AVE SE			DYERSVILLE	Iowa	52040
614 7TH AVE SE			DYERSVILLE	Iowa	52040
1024 11TH ST SE			DYERSVILLE	IA	52040
997 13TH ST SE			DYERSVILLE	Iowa	52040
1122 11TH ST SE			DYERSVILLE	Iowa	52040
1122 11TH ST SE			DYERSVILLE	Iowa	52040
1122 11TH ST SE			DYERSVILLE	Iowa	52040
1122 11TH ST SE			DYERSVILLE	Iowa	52040
1030 11TH ST SE			DYERSVILLE	Iowa	52040
819 9TH ST SE	Suite B		DYERSVILLE	Iowa	52040
819 9TH ST SE	Suite A		DYERSVILLE	Iowa	52040
1643 12TH AVE SE			DYERSVILLE	Iowa	52040
1128 13TH ST SE			DYERSVILLE	Iowa	52040
		313	MONONA	Iowa	52159
939 17TH AVE SE			DYERSVILLE	IOWA	52040

	70	CASCADE	IOWA	52003
	938	DUBUQUE	IOWA	52004
#2685	3001	ANKENY	IOWA	50021
6201 CHAVENELLE RD		DUBUQUE	IOWA	52002
1000 9TH ST SE		DYERSVILLE	IOWA	52040
9730 HWY 136		DYERSVILLE	IOWA	52040
728 8TH AVE SE		DYERSVILLE	IOW	52040



Transaction Receipt

Mcklane Konitzer

License	Name	License Cost	Payment
Commercial Explosive Contractor License (term: Jan 1, 2026-Dec 31, 2028)			
Falcon Drilling & Blasting Inc - Explosives			
	Konitzer, Mcklane	\$91.66	\$91.66
Itemized Charges:	Commercial Explosives License Fee	\$60.00	
	Responsible Persons Background Fee \$35 each	\$35.00	
	March 2026 Prorated Fee Deduction	(\$3.34)	
			Remaining Balance: \$0.00
Transaction #	Date	Amount Paid	
00052488	Tue 3/24/26	\$91.66	

Total Payment: **\$91.66**
Remaining Balance: **\$0.00**

6200 Park Avenue | Suite 100 | Des Moines, IA 50321-1270 | 515.725.6178

<u>Owner</u>	<u>Address</u>	<u>City</u>	<u>State</u>	<u>Zip</u>
GERALD & CONNIE COYLE	820 11TH ST SE	DYERSVILLE IA	IA	52040
ANDREW DECKER	1107 9TH AVE SE	DYERSVILLE IA	IA	52040
PEG ENTERPRISES LLC	emailed Jason at jasonp@ptsiowa.com	EPWORTH IA	IA	52045
NIGHTINGALE LLC	1020 12TH AVENUE SE	DYERSVILLE IA	IA	52040
TAUKE MOTORS	1008 IA-136	DYERSVILLE IA	IA	52040
GLENN HILDEBRAND	1115 9TH AVE SE	DYERSVILLE IA	IA	52040
ROSEMARY LOECKE	1116 10TH AVE SE	DYERSVILLE IA	IA	52040
Bottom two strip malls are owned by a Scott Wegmann - Shepmann Properties	1024 Jerry Lane	Manchester IA	IA	52057

PIN

07-32-302-009
07-32-305-001
07-32-305-019 & 07-32-305-014 & 07-32-305-015 & 07-32-305-016 & 07-32-306-017
07-32-305-018
07-31-434-008 & 07-31-436-018 & 07-31-436-019
07-32-305-002
07-32-305-020



Transaction Receipt

Mcklane Konitzer

License	Name	License Cost	Payment
Commercial Explosive Blaster License (term: Jan 1, 2026-Dec 31, 2028)			
	Fye, Daniel	\$91.66	\$91.66
Itemized Charges:	Criminal History Background Check	\$35.00	
Itemized Charges:	Individual Blaster License	\$60.00	
	March 2026 Prorated Fee Deduction	(\$3.34)	
	Nachtigall, Alex Vincent	\$91.66	\$91.66
Itemized Charges:	Criminal History Background Check	\$35.00	
Itemized Charges:	Individual Blaster License	\$60.00	
	March 2026 Prorated Fee Deduction	(\$3.34)	
			Payment Subtotal: \$183.32
			Remaining Balance: \$0.00

Transaction #	Date	Amount Paid
00052569	Fri 3/27/26	\$183.32

Total Payment: **\$183.32**
Remaining Balance: **\$0.00**

6200 Park Avenue | Suite 100 | Des Moines, IA 50321-1270 | 515.725.6178

Kwik Star Dyersville, Iowa Submittals

1. Certificate of Insurance (COI) (attached)

The contractor must provide a COI that includes:

- City of Dyersville listed as Additional Insured
- Commercial General Liability coverage of \$1,000,000 per occurrence / \$2,000,000 aggregate
- Explicit blasting/explosive endorsement (no exclusions for vibration, earth movement, or flyrock)
- Workers' Compensation insurance
- Automobile Liability insurance

2. Proof of Licensing and Plans

- Valid State of Iowa Blaster's License (waiting 2 weeks minimum on background check; receipt attached)
- Commercial Explosives License (approved but waiting on background checks; receipt attached)
- Site map of the blasting area (attached)
- Blast plan and safety procedures for the entire project (both attached to email)
- Pre-blast structure survey for nearby buildings (VibraTech has coordinated survey appointments with property owners who responded, with meetings scheduled for April 1st and 2nd)

3. Ongoing Coverage Requirements

Because blasting will occur intermittently over several days, the contractor must maintain active insurance for the entire duration. Any lapse, change in coverage, or removal of endorsements must be reported to the City immediately.

4. Incident Reporting

Any property damage complaint or blast-related incident must be:

- Reported by the contractor to their insurer within 24 hours, and
- Reported simultaneously to the City (listed in safety plan)

5. Documentation to Be Retained by the City

- COI and endorsements

- Pre-blast surveys (occurring April 1st and 2nd)
- Seismograph readings (for each blast day, upon request)
- Daily blast logs (sample attached)
- Notification records (letter and blast complaint form attached)

NOT TRANSFERABLE

KEEP THIS LICENSE POSTED

**STATE OF IOWA
DEPARTMENT OF INSPECTIONS, APPEALS, AND LICENSING**

Commercial Explosive Contractor License (term: Jan 1, 2026-Dec 31, 2028)

Falcon Drilling & Blasting Inc - Explosives

License # CE-0060

PO Box 2403, Oshkosh, Wisconsin 54903

is hereby granted certification in the state of Iowa pursuant to Iowa Code (101A) and Administrative Rule Chapter 481-268 under the authority of the Dept. of Inspections, Appeals, and Licensing.

Storage magazines brought into the State of Iowa must be inspected by the proper authorities and copies forwarded to this office.

Issue Date: 03/31/2026

Expiration Date: 12/31/2028

You shall notify the Dept. of Inspections, Appeals, and Licensing of any changes in material information included on your application and obtain an amended license, if necessary. Failure to do so may result in suspension of your license.

**Verification: <https://iowa.imagetrendlicense.com/lms/public/portal#/lookup/service>
Information: <https://dial.iowa.gov/licenses>**



Aaron Baack
Interim Director

FALCON DRILLING & BLASTING INC.
P.O. BOX 2403 - OSHKOSH, WISCONSIN 54903 - PHONE (920) 230-2828
BLAST AND SEISMOGRAPH ANALYSIS - VERSION 2

CONFIDENTIAL

Company _____ Operation _____ Shot No. _____ Blast Loc. _____

BLAST DATA

Date _____	Spacing _____ ft.	No. of holes _____	Dia. _____ in.	Make & type Expto. _____	Delay System _____
Time _____	Burden _____ ft.	Max. holes per delay _____		_____ lbs.	Delay Mfg. _____
V. _____ in. per sec.	Depth _____ ft.	Max. expl. per delay _____ lbs.		_____ lbs.	Delay Cap. Nos. _____
L. _____ in. per sec.	Sub Drilling _____ ft.	Type of day _____		_____ lbs.	Min. interval _____ ms.
T. _____ in. per sec.	Stemming _____ ft.	Wind from _____		Total _____	Blaster _____
S. _____ db					D's _____

SEISMOGRAPH DATA

Exact location of seis _____

Dist. & Dir. from blast _____ Dist. & Dir. to nearest structure _____

Inst. No. _____ Operator _____ Witness _____



BLAST COMPLAINT FORM

Falcon Drilling & Blasting, Inc

Property Owner Information

Name: _____

Address: _____

Phone Number _____

Nature of
Complaint: _____

When was the issue first noticed?

FALCON DRILLING & BLASTING, INC

KWIK STAR SAFETY PLAN



PURPOSE

The safety plan is for the purpose of protecting all employees and keeping a safe working environment. It is our intent to comply with the requirements of OSHA, MSHA, ATF, and Federal and State DOT.

PROJECT INFORMATION

Falcon Drilling & Blasting, Inc. is in the business of drilling and blasting rock and/or concrete for the installation of utility lines, basements, site work, road cuts, quarry drilling, and bridge pier demolitions. This project specifically will include mobilization of Falcon's equipment, drilling, and blasting.

JOB SITE SAFETY

For any issues related to project safety, please contact Falcon's Safety & Compliance Specialist: McKlane Konitzer (920-230-2828 Ext. 108) or email: mcklane@falcondrillingblasting.com.

Job safety audits (JSAs) are to be completed daily and signed by the employee as a Falcon procedure. All Falcon employees are responsible for reporting unsafe conditions.

SEQUENCE OF DAILY OPERATIONS

1. Falcon personnel pick up explosive supplies from off-site storage facility.
2. Upon arrival, the blaster in charge communicates with Tschiggfrie Excavating of daily plan. Signage is posted at the site entrance warning all personnel of the blasting operations.
3. Falcon personnel will always be in attendance of all explosive supplies.
4. The drill operator performs the pre-trip inspection of the drilling equipment.
5. Blaster in charge identifies area where daily work will take place.
6. Blaster in charge marks out the shot according to the daily blast plan.
7. Blaster in charge reviews the daily blast plan with the drill operator.

8. Drill operator begins drilling according to the plan.
9. Drill operator communicates directly with blaster in charge for loading operations.
10. Blaster in charge begins loading operations.
11. Once the shot is completely drilled and loaded, blaster in charge communicates to all personnel that the shot is ready and blast zone is secured.
12. Warning signals are then sounded as follows:
 - Series of long horn signals 5 minutes prior to the blast
 - Series of short horn signals 1 minute prior to the blast
13. Blast zone is verifiably clear and shot is initiated.
14. Blaster in charge checks over the blast to ensure all holes have fired properly.
15. A prolonged horn signal will sound notifying all personnel that they may return to their duties.

DURATIONS

Blasting operations will be between 7:00 am and 5:00 pm, Monday through Friday.

We plan on blasting up to 2-3 times per day.

KEY PERSONNEL

- Drill Operator – Kelton McLaren
- Blaster – Alex Nachtigall (IA License #) or Daniel Fye (IA License #) – waiting on background checks
- Foreman – Tony Tritt
- McKlane Konitzer – Safety & Compliance Specialist

INCIDENT REPORTING

Any property damage, complaint, or blast-related incident caused by Falcon personnel will be reported to our insurer within 24 hours and reported simultaneously to the City.

PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS

Falcon Drilling & Blasting, Inc. requires that the following Personal Protective Equipment (PPE) be always worn while outside of their company vehicles and drills while on the jobsite:

- Hard hats - employees are required to always wear them outside of their drill or vehicle.
- Safety shoes - footwear will be at least three-quarter-high or mid-high boots which cover the ankles. They will also have a hard sole and a sturdy leather upper or synthetic equivalent.
- Hearing protection - is provided and will be worn while operating the drill when decibel levels require. Training in the use and importance of hearing protection is provided annually. Hearing testing is done on an annual basis, and annual records are maintained by American Industrial Medical.
- Eye protection – safety glasses are required when outside the vehicles and drills at the project site.
- Clothing - all employees are required to wear a high-visibility vest or shirt with sleeves and long pants.



City of Dyersville
City Administrator's Office

April 20, 2026

Mayor Jacque and City Council Members
City of Dyersville
Memorial Building
340 1st Avenue East
Dyersville, IA 52040

RE: Adoption of the Sidewalk Policy

Dear Honorable Mayor Jacque and Council Members:

I am submitting the Sidewalk Maintenance and Cost-Share Policy for your review and consideration. This policy aims to provide the City with a clear, fair, and consistent approach to managing sidewalk maintenance throughout the community, while remaining aligned with Iowa law and our city code.

For many years, the City has handled sidewalk issues individually. While this method worked sometimes, it also caused confusion for property owners and led to inconsistency in addressing similar problems. We have not had a single, written framework that clearly defines responsibilities, inspection procedures, cost sharing, or enforcement. This policy fills that gap.

Under Iowa Code and Chapter 136 of the City Code, property owners are responsible for keeping sidewalks safe and passable, while the City remains responsible for overall oversight and accessibility. The proposed policy does not alter those legal duties. Instead, it explains how the City will implement them consistently and transparently. It also clarifies where the City assumes full responsibility, including ADA curb ramps, damage caused by the City, and sidewalks adjacent to City-owned property.

A key part of the policy is the cost-share program. The goal is to promote timely repairs by assisting property owners with material costs while keeping labor responsibilities with the owner. This method has been successfully used in other Iowa communities. It supports compliance, enhances safety, and decreases the need for enforcement and special assessments.

340 1st Avenue East | Dyersville, IA 52040
563.875.7724 | mmichel@cityofdiersville.com
www.cityofdiersville.com



The policy also creates a rotating inspection program to identify sidewalk conditions before they become major safety or liability issues. This shifts the City away from a complaint-only approach and toward a proactive system that consistently treats neighborhoods over time.

From a financial perspective, the policy doesn't establish a fixed spending obligation. Cost-share funding is managed through the yearly budget process, and enforcement is used only as a last resort. Over time, a more predictable sidewalk program should help reduce emergency repairs and liability risks.

Most importantly, this policy provides residents, the Council, and staff with a shared understanding of how sidewalk issues are managed and why. It establishes a single public reference document that clearly explains expectations in plain language and directly references Iowa law and the Dyersville City Code.

I recommend adopting the Sidewalk Maintenance and Cost-Share Policy by resolution and directing staff to implement it in a measured and transparent manner. If you have any questions, please feel free to contact me.

Sincerely,

Mick J. Michel
City Administrator

RESOLUTION NO. _____

A RESOLUTION ADOPTING A SIDEWALK MAINTENANCE AND COST-SHARE
POLICY FOR THE CITY OF DYERSVILLE, IOWA

WHEREAS, Iowa Code section 364.12 assigns cities the responsibility to keep streets and sidewalks in a safe and passable condition and authorizes cities to require abutting property owners to maintain sidewalks adjoining their property; and,

WHEREAS, Iowa Code section 364.13 authorizes cities to establish, improve, and regulate sidewalks within the public right-of-way; and,

WHEREAS, Iowa Code Chapter 384 authorizes cities to assess the costs of public improvements, including sidewalk construction and repair, against benefited properties when work is performed by the City; and,

WHEREAS, the Americans with Disabilities Act, 42 U.S.C. § 12131 et seq., requires public entities to provide and maintain accessible pedestrian routes within the public right-of-way; and,

WHEREAS, Chapter 136 of the Dyersville Municipal Code establishes local requirements for sidewalk construction, maintenance, snow and ice removal, and enforcement within the City of Dyersville; and,

WHEREAS, the City of Dyersville has historically addressed sidewalk maintenance and repair through informal administrative practices rather than a unified, written policy, resulting in inconsistent application and limited guidance for property owners and staff; and,

WHEREAS, the City Council has directed staff to develop a clear, fair, and legally grounded policy to administratively implement and support the requirements of Iowa law and the Dyersville Municipal Code related to sidewalks; and,

WHEREAS, the City Administrator has prepared a comprehensive Sidewalk Maintenance and Cost-Share Policy to establish consistent standards for sidewalk inspection, maintenance, repair, construction, cost-sharing, enforcement, and accessibility compliance, while preserving all existing obligations under the Dyersville Municipal Code; and,

WHEREAS, the policy introduces a cost-share framework under which the City reimburses eligible sidewalk material costs while abutting property owners remain responsible for labor costs, thereby encouraging timely repairs, improving public safety, and reducing long-term liability exposure; and,

WHEREAS, adoption of the policy will provide transparency, predictability, and consistency for property owners, elected officials, and City staff while supporting the

City’s obligations under Iowa law, local ordinance, and federal accessibility requirements; and,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dyersville, Iowa, that:

Section 1. The Sidewalk Maintenance and Cost-Share Policy, attached hereto and made a part of this resolution by reference, is hereby adopted as an official administrative policy of the City of Dyersville.

Section 2. The Sidewalk Maintenance and Cost-Share Policy is intended to implement, clarify, and supplement the sidewalk-related requirements of the Dyersville Municipal Code, including Chapter 136, and applicable provisions of Iowa law, and does not repeal, amend, or supersede any ordinance.

Section 3. Conflict Clause. In the event of any conflict between the provisions of the Dyersville Municipal Code and the Sidewalk Maintenance and Cost-Share Policy, the Dyersville Municipal Code shall control. The policy shall be interpreted and applied in a manner consistent with all applicable ordinances and statutes.

Section 4. Severability. If any section, subsection, sentence, clause, or provision of this resolution or the Sidewalk Maintenance and Cost-Share Policy adopted hereby is held invalid or unenforceable by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions, which shall remain in full force and effect.

Section 5. The City Administrator is authorized and directed to administer and implement the policy, including establishing application forms, inspection schedules, administrative procedures, and internal guidelines necessary to carry out its provisions in a manner consistent with the Dyersville Municipal Code and Iowa law.

Section 6. This resolution shall be effective upon adoption.

Passed and approved this 20th day of April, 2026.

CITY OF DYERSVILLE, IOWA

By: _____
Jeff Jacque, Mayor

ATTEST:

Tricia L. Maiers, City Clerk



**SIDEWALK MAINTENANCE
AND COST-SHARE POLICY**

Date Adopted: _____

Executive Summary

The City of Dyersville, Iowa, submits this Sidewalk Maintenance and Cost-Share Policy for approval by the City Council. This marks the first comprehensive sidewalk framework in Dyersville's history, created to meet the Mayor and City Council's goal of establishing clear, consistent, and fair standards for sidewalk upkeep across the city.

Why This Policy Is Necessary. Dyersville has never established a formal policy for sidewalk maintenance, inspection, cost-sharing, or enforcement. For years, the City has managed sidewalk issues informally, leading to inconsistent treatment of property owners and leaving the City without a solid legal and financial foundation. Iowa Code §364.12 requires the city to keep sidewalks safe and passable. The Americans with Disabilities Act (ADA) also adds accessibility requirements. Without a policy, the City cannot reliably meet either obligation.

What the Policy Does. The policy introduces a straightforward, fair cost-sharing model: the City covers the cost of sidewalk materials, while property owners are responsible for labor costs. This method has been proven in Iowa communities to boost voluntary compliance, decrease enforcement actions, and foster positive relationships with property owners. Additionally, the policy sets up a five-year rotating inspection schedule, allowing the City to proactively assess sidewalks rather than only responding to complaints. Inspection data is stored in the City's asset management system, extending from the baseline inventory of over 1,200 sidewalk segments inspected in 2021.

Fiscal Impact. The Cost-Share Program is funded through the City's annual budget process with no fixed dollar amount established at adoption. Cost-share reimbursements are considered operating expenses. The program does not create new staffing requirements. If the City implements special assessments, they are collected according to enforcement provisions and returned to the City via the County Treasurer. The policy creates a financially responsible framework that safeguards taxpayers while assisting property owners in meeting their obligations.

Council Action Requested. The City Administrator recommends that the City Council adopt this policy by resolution and direct staff to implement the program within ninety days of adoption.

This policy creates the City of Dyersville’s first comprehensive framework for sidewalk maintenance, repair, replacement, and new construction within the City’s public rights-of-way. It introduces a cost-share program to assist property owners, clarifies the responsibilities of both the City and abutting property owners, establishes a proactive inspection program, and provides clear procedures for construction standards, enforcement, and assessments.

This document serves as a standalone public reference that property owners, elected officials, and city staff can use without needing specialized legal or technical knowledge.

Section 1. Purpose and Authority

The City of Dyersville, Iowa (the “City”) adopts this Sidewalk Maintenance and Cost-Share Policy to establish clear, consistent standards for the installation, maintenance, repair, and enforcement of public sidewalks throughout the community. This policy reflects the City’s commitment to safe, accessible, well-maintained pedestrian infrastructure and to fairly partnering with property owners to achieve those goals.

This policy is adopted under the authority of Iowa Code § 364.12, which assigns the responsibility for streets, sidewalks, and public grounds to the City and grants it the authority to require property owners adjoining these areas to maintain sidewalks in a safe and passable state. Iowa Code § 364.12(2)(b) provides the legal basis for snow and ice removal obligations. Iowa Code § 364.13 authorizes the City to establish and improve sidewalks. Iowa Code Chapter 384 governs the City’s authority to impose special assessments for public improvements, including sidewalk construction and repairs carried out by the City after property owners fail to comply.

The Americans with Disabilities Act (ADA), 42 U.S.C. §12131 et seq., mandates that public rights-of-way be accessible to people with disabilities and imposes affirmative responsibilities on the City as a public entity to provide and uphold accessible pedestrian pathways. The Public Right-of-Way Accessibility Guidelines (PROWAG) set the standards for accessibility in the public right-of-way, and the Statewide Urban Design and Specifications (SUDAS) Design Manual, Chapter 12 (Pedestrian and Bicycle Facilities), incorporates current federal accessibility standards and details the Iowa design and construction requirements for sidewalks, curb ramps, and accessible pedestrian features.

Where applicable, the Dyersville City Code — including Chapter 136, which governs sidewalk maintenance obligations — supplements and informs this policy. In cases of conflict between this policy and an applicable ordinance, the ordinance takes precedence. This policy does not override or alter any provisions of the Dyersville City Code but functions alongside it as an administrative framework.

This is the first comprehensive sidewalk policy officially adopted by the City of Dyersville. It replaces any previous administrative practices or informal guidelines related to cost-sharing or sidewalk enforcement that conflict with this framework.

Section 2. Definitions

For purposes of this policy, the following terms have the meanings stated below. When a term appears in this policy with its initial letter capitalized, it has the meaning assigned in this section.

Abutting Property Owner. Consistent with Iowa Code §364.12(1), the contract purchaser, if there is one of record, otherwise the record holder of legal title to real property that shares a boundary with a public right-of-way that contains or is designated to contain a public sidewalk.

Approved Contractor. A contractor that has met the City's qualifications, insurance, bonding, and licensing requirements and has been placed on the City's Approved Contractor list for sidewalk construction and repair.

Capital Improvement Project (CIP). A planned, funded public infrastructure project is included in the City's adopted Capital Improvement Plan.

City. The City of Dyersville, Iowa, acting through the City Administrator, Public Works Director, City Engineer, and/or other designated officials.

Cost-Share Program. The program established in Section 8 of this policy provides that the City reimburses eligible material costs for sidewalk repair, replacement, or installation projects undertaken by Abutting Property Owners, with labor costs paid by the property owner.

Defective Sidewalk. A sidewalk panel or section showing one or more of the following issues: (1) vertical displacement between adjacent panels greater than one-half inch; (2) horizontal separation creating a gap or edge hazard; (3) crumbling, spalling, or surface deterioration that poses a tripping hazard or drainage problem; (4) tree root heaving displacing panels or creating vertical relief over one-half inch; (5) standing water due to inadequate or failed drainage; (6) missing panels; (7) cross-slope exceeding two percent; or (8) curb ramps that do not meet current ADA and SUDAS accessibility standards.

Fiscal Year. The City's fiscal year, which runs from July 1 through June 30.

Infill/Gap Project. A City-initiated project to construct a new sidewalk segment that closes a gap in the pedestrian network, connects existing sidewalk segments, or extends the network to serve schools, parks, public facilities, or commercial areas.

Public Right-of-Way. The area of publicly owned or dedicated land is reserved for street, sidewalk, and utility purposes.

Repair Period. The time following a written notice from the City during which a property owner must complete required sidewalk repairs. The Repair Period shall not exceed ninety (90) days from the date of the notice unless the City Administrator grants a written extension for good cause as provided in Section 11.

Sidewalk. A paved pedestrian path within the public right-of-way, built from Portland Cement Concrete (PCC) or an approved similar material, meant for public pedestrian use.

Standard Width Sidewalk. A sidewalk that meets the minimum width requirements set by this policy is four (4) feet in existing Neighborhood Conservation Overlay District areas and five (5) feet for all new construction, consistent with ADA and SUDAS standards, unless otherwise determined by city staff. When sidewalks are less than sixty (60) inches wide, a passing area at least sixty (60) inches wide by sixty (60) inches long must be provided at a maximum of every two hundred (200) feet, in line with SUDAS Section 12A-2.

SUDAS. Statewide Urban Design and Specifications, the current design and construction standard for public infrastructure in Iowa, as amended from time to time. The SUDAS Design Manual Chapter 12 (Pedestrian and Bicycle Facilities) is the primary technical reference for this policy.

Trail System. Paved pedestrian pathways that are over six (6) feet wide are part of the City's official trail and recreational network. The city is fully responsible for the capital and upkeep of the trail system.

Section 3. Applicability

This policy applies to all public sidewalks located within the City limits of Dyersville, Iowa, whether existing or proposed. It applies to all Abutting Property Owners, whether the property is residential, commercial, institutional, or vacant. It applies to all City departments involved in sidewalk inspection, repair, construction, or enforcement, and to all contractors performing sidewalk work within the City's right-of-way.

Sidewalks along City-owned property are subject to the same standards, with the City serving as the Abutting Property Owner and leading by example in maintenance and compliance, consistent with Iowa Code § 364.12(4).

Areas annexed into the City following adoption of this policy become subject to its provisions upon annexation, with new sidewalk requirements applying to development or redevelopment in those areas. Existing development in newly annexed areas is not required to install sidewalks immediately upon annexation, but sidewalks must be installed when the property undergoes substantial redevelopment, subdivision, or change of use requiring site plan approval.

This policy does not apply to private sidewalks or pedestrian pathways located entirely on private property and not forming part of the public sidewalk network. Questions about whether a specific pathway is part of the public sidewalk network will be resolved by the Public Works Director in consultation with the City Administrator.

Section 4. Property Owner Responsibilities

Iowa Code §364.12 assigns Abutting Property Owners the duty to keep sidewalks safe and passable. This policy does not lessen or replace that legal obligation. The following responsibilities apply to all Abutting Property Owners.

Maintenance and Repair. Each Abutting Property Owner shall keep the sidewalk in front of their property in a structurally sound, safe, and passable condition, free of defects that pose a tripping hazard, drainage issue, or accessibility barrier. Property owners are encouraged to fix minor defects as they appear, rather than waiting for a City inspection or notice.

Snow and Ice Removal. Each property owner is responsible for clearing snow and ice from the sidewalk adjacent to their property, following Iowa Code §364.12(2)(b) and Section 136.15 of the Dyersville City Code. In Dyersville, “reasonable time” for snow and ice removal is defined as twenty-four (24) hours after a snow or ice event ends. Snow and ice removed from sidewalks cannot be placed on City streets. Property owners must treat icy conditions to ensure safe passage. Failure to remove snow and ice promptly may result in a separate code violation, and the City may remove snow and ice without prior notice and bill the property owner.

No Obstruction. No property owner shall obstruct, encroach upon, or block the public sidewalk with landscaping, hedges, overhanging vegetation, fencing, structures, vehicles, trash containers, construction materials, or other objects that impede pedestrian passage or reduce the effective width of the sidewalk below minimum standards. Planters, signs, awning supports, or similar objects within the right-of-way require prior written approval or a permit from the City.

Tree and Landscaping Damage. An adjacent property owner is responsible for repairing sidewalk damage caused by trees, shrubs, roots, irrigation systems, or downspout discharge on or near their property, unless the damage results from a City-owned tree that is dead or diseased, or City infrastructure as described in Section 5. If there is a dispute over the responsible party for a tree, the City Administrator will make a decision based on available evidence.

Contractor and Agent Damage. If a contractor, agent, or utility working under the direction of the property owner damages a public sidewalk during construction or other work, the Abutting Property Owner is responsible for repairing the sidewalk to City standards within thirty (30) days of the damage, or as otherwise directed by the City.

Liability. Property owners may be held responsible for injuries or damages caused by defective sidewalks next to their property if the defect results from the owner’s failure to maintain the sidewalk or to follow repair requirements under this policy or Iowa Code §364.12.

Section 5. City Responsibilities and Exceptions

While Abutting Property Owners carry primary maintenance responsibility under Iowa Code §364.12, the City assumes full financial responsibility — and the Cost-Share Program does not apply — in the following circumstances. The City will repair or replace the affected sidewalk at one hundred percent (100%) City expense in each of these situations.

City-Caused Damage. When sidewalk damage is directly caused by a city-owned tree that is dead or diseased, a city utility installation or repair (including water main, sanitary sewer, storm sewer, or utility cut), or other city infrastructure, the city will repair the damaged sidewalk at its expense. The property owner should report suspected city-caused damage to the Public Works Department. Staff will investigate and provide a written determination within thirty (30) days of receiving a written report.

Capital Improvement Projects. When a sidewalk is damaged, disturbed, or removed during a City Capital Improvement Project, the City shall include sidewalk repair or replacement in the project scope at 100% City expense.

ADA Curb Ramp Installation and Upgrades. The City assumes full financial responsibility for installing, replacing, or upgrading ADA-compliant curb ramps at street intersections within the public right-of-way, as mandated by the Americans with Disabilities Act, 42 U.S.C. §12131 et seq. The Cost-Share Program does not cover curb ramp work. Detectable warning surfaces (truncated domes) at curb ramps are part of the City's ADA obligations and are not charged to property owners.

Overwidth Sidewalks. When the standard sidewalk width for a specific location is five (5) feet for new construction or four (4) feet for replacement in constrained areas, and an existing sidewalk exceeds six (6) feet in width (excluding those that are part of the City's designated trail system), the City covers the additional cost for repairing or replacing the portion wider than the standard. The Abutting Property Owner is responsible for the cost of the standard-width section.

City-Owned Property Frontage. The City shall maintain sidewalks abutting city-owned property — including parks, public buildings, City Hall, the Public Works facility, and other municipal properties — to the same or higher standard required of private property owners. The City leads by example, consistent with Iowa Code §364.12(4).

Trail System. Paved pedestrian pathways that are part of the City's designated trail system and are wider than six (6) feet are the full responsibility of the City for maintenance and capital improvements.

Section 6. Sidewalk Inspection Program

The City will conduct a proactive, systematic inspection of public sidewalks on a rotating five (5)-year cycle. The City Administrator and Public Works Director will establish inspection areas.

Inspection Authority and Staffing. Public Works staff are responsible for conducting inspections under this program. Inspections will be recorded in the city's asset management system, which serves as the official record of sidewalk condition, inspection history, and enforcement actions. No additional full-time equivalent (FTE) positions are anticipated because of this program; inspections will be integrated into the existing duties of Public Works staff.

Inspection Criteria. Staff will evaluate each sidewalk panel or section for defects defined in the "Defective Sidewalk" section, including vertical displacement exceeding half an inch; horizontal separation; crumbling, spalling, or surface deterioration; tree root heaving; standing water or drainage issues; missing panels; and failure to meet ADA cross-slope or curb ramp standards. Panels meeting these criteria will be flagged for repair or replacement, documented with photographs, and recorded in the city's asset management system.

Owner Notification. When a defect is found through City inspection — rather than an owner-initiated application — the City will send written notice to the Abutting Property Owner by certified mail to the address listed in the records of the County Auditor, in accordance with Iowa Code §364.12(2)(d). The notice will detail the location and nature of the deficiency, cite the relevant authority (Iowa Code §364.12 and this policy), specify the Repair Period deadline, provide information about the Cost-Share Program including how to apply, and identify a City staff contact for questions.

Re-Inspection and Closure. City staff will re-inspect the identified defect after the Repair Period ends. If the repair has been completed and passes inspection, the case will be closed and the record updated in the city's asset management system. If the repair has not been completed, enforcement procedures under Section 11 will be initiated.

Owner-Initiated Requests. Property owners can request a sidewalk inspection at any time by reaching out to the Public Works Department. A staff member will perform the inspection and notify the owner of the results within a reasonable timeframe. Owner-initiated inspections conducted outside the scheduled zone cycle do not impact the owner's eligibility for the Cost-Share Program.

Section 7. Sidewalk Condition Data

As of the latest comprehensive inspection cycle (2021), City staff evaluated over 1,200 sidewalk segments throughout Dyersville using the city's asset management system. The Overall Condition Index (OCI) ratings ranged from Poor (scores below 25) to Fair, Average, Good, and Excellent (scores above 80). Deficiencies identified in the field

included faulting, spalling, cracking, ponding, tree root damage, and slope issues. The most common sidewalk widths in existing neighborhoods are four (4) feet, with newer sections at five (5) and six (6) feet. The inventory data from the 2021 inspection cycle will serve as the baseline for the five-year inspection program established by this policy.

Section 8. Cost-Share Program — Repair and Replacement

The City of Dyersville introduces a Cost-Share Program to help Abutting Property Owners with sidewalk repairs, replacements, or new installations on their frontage by sharing the costs. The program's core is: the City covers the cost of eligible materials, while the property owner is responsible for labor.

How the Program Works. A property owner starts by submitting a completed application to City Hall. City staff will inspect the site, verify eligibility, determine the scope of work, and issue a written approval or denial within thirty (30) calendar days of receiving a complete application. Once approved, the property owner hires a contractor. The contractor then performs the work according to City specifications. A pre-pour inspection is required before any concrete is poured (see Section 10). After completing the project, the property owner submits copies of all receipts for reimbursement and proof that the work was completed. City staff will conduct a final inspection. Once the project passes inspection, the City will reimburse the property owner for documented material costs, up to the annual per-project cap.

Eligible Materials. The City will reimburse documented costs for the following materials: concrete mix; aggregate base material; formwork and form release; steel rebar or fiber reinforcement; expansion joint material; detectable warning surface panels (at driveways or locations where ADA compliance requires them); and other materials identified by City staff as necessary for code-compliant sidewalk construction. Labor, equipment rental, removal and disposal of existing sidewalk, grading, forming, and finishing are the property owner's financial responsibility.

Annual Budget Allocation. The City will fund the Cost-Share Program through an annual appropriation established during the City's regular budget process. The amount allocated each fiscal year will depend on available resources, projected demand, and community priorities. Funding sources will be determined by the City Council during the budget process. Applications will be processed on a first-come, first-served basis until funds are exhausted. Applications received after that will be placed on a waiting list for the next fiscal year, unless the City Council approves a supplemental appropriation.

Eligibility Requirements. To qualify for the Cost-Share Program, the following conditions must be met: the property must border a public sidewalk or a designated sidewalk gap area within City limits; the application must be submitted by the record owner (tenant applications need written authorization from the record owner); and the property owner must be in good standing with the City, meaning no outstanding code violations, overdue property taxes, or unpaid special assessments as of the application date. The City Administrator may waive the good-standing requirement for good cause on a case-by-case basis.

Minimum Project Size. Projects involving less than twenty-five (25) square feet of sidewalk repair or replacement may not qualify for the Cost-Share Program. Minor isolated defects below this threshold should be repaired by the property owner at their own expense, consistent with their obligation under Iowa Code §364.12. The Public Works Director may waive the minimum size requirement if a safety hazard exists or if the project is part of a larger eligible repair.

Application Window and Work Deadline. Applications are accepted throughout the year. All approved work must be substantially completed and ready for the final City inspection by October 31 of the relevant fiscal year to qualify for reimbursement from that year's budget. Work finished after October 31 may still be eligible for reimbursement in the next fiscal year, depending on funding availability and re-confirmation of the original approval.

Priority Ranking When Demand Exceeds Funding. If the number of eligible applications surpasses available funding in a given fiscal year, staff will rank unfunded applications based on the following order: (1) properties with ADA deficiencies or trip hazards that pose an imminent public safety risk; (2) properties with the most severe structural deterioration; (3) properties along designated safe routes to schools, near parks, or next to major public facilities; and (4) date of application, with earlier applications given priority over later ones.

Section 9. New Sidewalk Construction Requirements

New Development and Subdivision. Any new subdivision or development within the City limits may be required to install sidewalks on all street frontages. New sidewalks must meet the construction standards in Section 10 and must pass a City inspection before the City assumes maintenance responsibility. Unless a development agreement states otherwise, the developer is responsible for all labor costs, and the City's Cost-Share Program material reimbursement may be applied on the same terms as for existing property owners, subject to available funding. The City may negotiate alternative arrangements in development agreements for large-scale projects, including different cost structures or cash payments in lieu of sidewalk construction.

Infill and Gap Projects — City-Initiated. Where the City identifies gaps in the pedestrian network — particularly along safe routes to schools, parks, commercial areas, or other public destinations — the City may initiate infill construction independent of a property owner application. These projects may be funded through federal or state grants, or through local funds.

Annexation Areas. The City Council may require sidewalks on properties within annexed areas during development or redevelopment.

Section 10. Construction Standards

All sidewalk construction and repair work within the City's right-of-way must meet the following minimum standards. These standards align with the Americans with Disabilities Act (ADA), 42 U.S.C. §12131 et seq., the SUDAS Design Manual Chapter 12, SUDAS Standard Specifications, and City specifications. When SUDAS provides a more stringent standard, that standard takes precedence.

Width. New sidewalk construction shall be at least five (5) feet wide, in accordance with SUDAS Section 12A-1 and ADA standards for accessible routes in the public right-of-way. A five-foot sidewalk can accommodate two people walking side by side and allows space for snow, landscaping, and adjacent features. Under constrained conditions — such as a narrow right-of-way, mature trees, existing curb placement, or other documented physical limitations — a minimum width of four (4) feet may be approved by the City Administrator for replacement projects.

Sidewalk Classification. The City recognizes three classes of sidewalk consistent with SUDAS Section 12A-1: Class A sidewalks begin at the back of curb and are typical in downtown areas; Class B sidewalks are constructed with the back edge one (1) foot or more off the right-of-way line, with a planting strip between curb and sidewalk; and Class C sidewalks have the back edge on the right-of-way line, also with a planting strip. The appropriate class for each project will be determined by the Public Works Director based on the existing streetscape, available right-of-way, and neighborhood context.

Concrete Specifications. Concrete must meet the following minimum specifications: compressive strength of three thousand five hundred (3,500) psi at twenty-eight (28) days (four thousand (4,000) psi preferred); air entrainment of five to seven percent (5%–7%) for freeze-thaw durability consistent with Iowa climate conditions and SUDAS Standard Specifications. Minimum thickness shall be four (4) inches, and six (6) inches at driveway crossings and heavy vehicle loading areas, consistent with SUDAS Section 12A-1. Fiber reinforcement or deformed steel rebar may be required at the direction of the Public Works Director based on site-specific conditions such as poor subgrade, high traffic, or tree root pressure.

Subgrade and Base. The subgrade shall be compacted to a minimum of ninety-five percent (95%) standard Proctor density. A minimum four (4)-inch aggregate base course is required beneath all new sidewalk panels unless the Public Works Director approves an alternative based on documented soil conditions. Unsuitable or organic soils must be removed and replaced with approved fill material. Proper drainage must be ensured to prevent water accumulation beneath the sidewalk.

Joints. Contraction joints (control joints) shall be tooled or sawn at intervals not exceeding five (5) feet on center, to a depth of at least one-quarter of the slab thickness. Expansion joints shall be placed at intervals not exceeding twenty (20) feet and at all fixed objects (utility poles, fire hydrants, building foundations, etc.), using pre-molded expansion joint filler. All joint work shall be performed consistently with SUDAS specifications.

Slope and Accessibility. Cross-slope shall not exceed two percent (2%) measured perpendicular to the direction of travel, consistent with PROWAG and SUDAS Section 12A-2. The running slope shall follow the natural grade of the adjacent street. Where the running slope exceeds five percent (5%), the design must be reviewed against current SUDAS accessibility guidelines and may require handrails and ADA ramp standards. ADA-compliant detectable warning surfaces (truncated domes) in a contrasting color are required at all curb ramps, consistent with SUDAS Section 12A-2. Curb ramps must meet a maximum running slope of 8.33 percent (1:12 ratio) with a minimum four-foot by four-foot level landing at the top of the ramp and a minimum four-foot clear width.

Restoration. All areas disturbed during construction — including turf, landscaping, driveways, and adjacent surfaces — must be restored to their pre-construction condition or better. Temporary sod or seed is acceptable pending final turf establishment, but bare soil shall not be left exposed without protective ground cover at project close-out. Final restoration is the responsibility of the property owner or developer unless otherwise agreed in writing.

Inspection and Acceptance. No work will be accepted by the City or reimbursed under the Cost-Share Program unless it passes City inspection. The property owner or contractor must notify City staff at least forty-eight (48) hours prior to any concrete pour to allow a pre-pour inspection of forms, subgrade preparation, and reinforcement. A final inspection will be conducted after the concrete has cured to the satisfaction of City staff. Work that fails to meet City specifications must be corrected before reimbursement will be authorized.

the Repair Period specified in a notice issued under Section 6, the City will take the following enforcement actions. Enforcement is a last resort; the City prefers to help property owners use the Cost-Share Program before performing work and assessments.

Step 1 — Written Notice. The City sends a written notice to the Abutting Property Owner by certified mail to the address listed in the County Auditor's records, consistent with Iowa Code § 364.12(2)(d). The notice describes the deficiency by location and type, cites Iowa Code §364.12 and this policy as authority, states the deadline for the Repair Period, and provides information about the Cost-Share Program. The notice must be sent before the Repair Period begins.

Step 2 — Repair Period. The property owner has up to ninety (90) days from the notice date to complete the necessary repairs and contact the City for re-inspection. The property owner is encouraged to apply for the Cost-Share Program during this time if they have not already done so.

Step 3 — Extension. The City Administrator may grant a written extension of the Repair Period for documented good cause, including adverse weather conditions that hinder construction, documented contractor unavailability, or verified financial hardship. Extensions are at the City Administrator's discretion and will be granted in writing. Extension requests must be submitted before the original Repair Period ends and must include supporting documentation.

Step 4 — City Performance of Work. If the property owner does not complete the required repair within the Repair Period as extended, the City may perform the repair or hire a qualified third party to perform it, as authorized by Iowa Code § 364.12(2)(e). The City will give advance written notice to the property owner before starting work, indicating the expected start date, unless an emergency — such as an immediate tripping hazard, ADA barrier, or safety risk — demands urgent action. The City is not obligated to use the cost-share model for enforcement-driven repairs; the full cost of City-initiated work is charged to the property.

Step 5 — Special Assessment. The full cost of work performed or contracted by the City under Step 4 will be assessed against the property as a special assessment in accordance with Iowa Code §364.12(2)(e) and Iowa Code Chapter 384. The assessment will include documented costs for materials, labor, engineering review, inspection, and reasonable administrative overhead. The City will follow the notice and hearing procedures required by Iowa Code Chapter 384 before certifying the assessment to the County Treasurer of the applicable county. Once certified, the assessment will be collected with the property's annual tax installments. Interest on unpaid assessments will accrue at the rate specified by Iowa law. The assessment becomes a lien on the property once certified. In accordance with Iowa Code § 364.12(7), the City may accumulate individual sidewalk repair assessments and periodically certify them to the County Treasurer under one or more assessment schedules.

Step 6 — Appeal of Assessment. A property owner can appeal an assessment to the Dyersville City Council by submitting a written appeal to the City Clerk within thirty (30) days of receiving the assessment notice. The City Council will then set a public hearing and deliver a written decision within forty-five (45) days of getting the appeal. The property owner can contest facts about whether the deficiency existed, if notice was properly given, if the work was done correctly, or if the cost is unreasonable. The City Council's decision is final unless the owner files an appeal in district court following Iowa Code procedures for judicial review of municipal actions.

Section 11. Enforcement and Assessment

When a property owner fails to repair a Defective Sidewalk within the Repair Period specified in a notice issued under Section 6, the City will take the following enforcement actions. Enforcement is a last resort; the City prefers to help property owners use the Cost-Share Program before performing work and assessments.

Step 1 — Written Notice. The City sends a written notice to the Abutting Property Owner by certified mail to the address listed in the County Auditor's records, consistent with Iowa Code § 364.12(2)(d). The notice describes the deficiency by location and type, cites Iowa Code §364.12 and this policy as authority, states the deadline for the Repair Period, and provides information about the Cost-Share Program. The notice must be sent before the Repair Period begins.

Step 2 — Repair Period. The property owner has up to ninety (90) days from the notice date to complete the necessary repairs and contact the City for re-inspection. The property owner is encouraged to apply for the Cost-Share Program during this time if they have not already done so.

Step 3 — Extension. The City Administrator may grant a written extension of the Repair Period for documented good cause, including adverse weather conditions that hinder construction, documented contractor unavailability, or verified financial hardship. Extensions are at the City Administrator's discretion and will be granted in writing. Extension requests must be submitted before the original Repair Period ends and must include supporting documentation.

Step 4 — City Performance of Work. If the property owner does not complete the required repair within the Repair Period as extended, the City may perform the repair or hire a qualified third party to perform it, as authorized by Iowa Code § 364.12(2)(e). The City will give advance written notice to the property owner before starting work, indicating the expected start date, unless an emergency — such as an immediate tripping hazard, ADA barrier, or safety risk — demands urgent action. The City is not obligated to use the cost-share model for enforcement-driven repairs; the full cost of City-initiated work is charged to the property.

Step 5 — Special Assessment. The full cost of work performed or contracted by the City under Step 4 will be assessed against the property as a special assessment in accordance with Iowa Code §364.12(2)(e) and Iowa Code Chapter 384. The assessment will include documented costs for materials, labor, engineering review, inspection, and reasonable administrative overhead. The City will follow the notice and hearing procedures required by Iowa Code Chapter 384 before certifying the assessment to the County Treasurer of the county where the property is located. Once certified, the assessment will be collected with the property's annual tax installments. Interest on unpaid assessments will accrue at the rate specified by Iowa law. The assessment becomes a lien on the property once certified. In accordance with Iowa Code § 364.12(7), the City may accumulate individual sidewalk repair assessments and periodically certify them to the County Treasurer under one or more assessment schedules.

Step 6 — Appeal of Assessment. A property owner can appeal an assessment to the Dyersville City Council by submitting a written appeal to the City Clerk within thirty (30) days of receiving the assessment notice. The City Council will then set a public hearing and deliver a written decision within forty-five (45) days of getting the appeal. The property owner can contest whether the deficiency existed, whether notice was properly given, whether the work was done correctly, or whether the cost is unreasonable. The City Council's decision is final unless the owner files an appeal in district court following Iowa Code procedures for judicial review of municipal actions.

Section 12. ADA Compliance

The City of Dyersville is dedicated to providing a fully accessible pedestrian network in accordance with its obligations under the Americans with Disabilities Act, 42 U.S.C. §12131 et seq. As a public entity, the City is fully responsible for funding the installation and upgrades of ADA-compliant curb ramps at street intersections within the public right-of-way.

All new sidewalk construction — whether City-initiated, developer-installed, or owner-installed through the Cost-Share Program — must meet current ADA and SUDAS accessibility standards at the time of construction. This includes a maximum two percent (2%) cross-slope, ADA-compliant running slopes, detectable warning surfaces (truncated domes) at curb ramps, and firm, stable, slip-resistant surfaces consistent with PROWAG requirements (R302.7) as referenced in SUDAS Section 12A-2.

When deficiencies in existing curb ramps or accessible routes are identified through inspection, citizen complaint, or City-initiated review, the City will prioritize correction based on the severity of the access barrier and the volume of pedestrian use at the location. The City Administrator and/or Public Works Director will coordinate ADA curb ramp corrections with ongoing CIP projects and road resurfacing work to maximize cost efficiency.

Section 13. Financial Provisions

All fiscal matters related to this policy are governed by the following framework, consistent with Iowa Code Chapter 384 and the City's annual budget process.

Source of Funds. The Cost-Share Program will be funded through an annual allocation from local funds as established during the City's yearly budget process. Large CIP sidewalk projects may receive funding from local sources, federal or state grants, Tax Increment Financing (TIF) when applicable, or other suitable funding options.

Budgeted vs. Unbudgeted. The annual Cost-Share Program allocation is a budgeted operating expenditure. Applications received after funds are exhausted will be deferred to the next fiscal year or placed on a waiting list. Unplanned emergency sidewalk repairs made necessary by imminent safety conditions may be addressed using local funds approved by the City Council.

Operating vs. Capital. Reimbursements made under the Cost-Share Program for the repair and replacement of existing sidewalks are operating expenditures. New sidewalk installation undertaken as part of CIP projects is a capital expenditure.

Downstream Impacts. New sidewalk construction — whether City-initiated or installed through the Cost-Share Program — increases the City's long-term maintenance obligations. The City will track all sidewalk assets, condition data, and maintenance history in the asset management system and incorporate projected sidewalk lifecycle replacement costs into long-range financial planning and the annual budget process. Installation of additional sidewalks may also impact the City's liability exposure; the City

manages this risk through proactive inspection, timely maintenance, enforcement of property owner obligations, and adequate liability insurance coverage.

Section 14. Public Engagement and Communication

The City will sincerely strive to communicate the Sidewalk Maintenance and Cost-Share Program clearly and accessibly to all property owners and the general public.

Program information, eligibility requirements, application forms, the Approved Contractor list, and this policy will be posted on the City's website and kept up to date. The City may use utility bill inserts and City social media channels to announce the program, remind property owners of upcoming application deadlines, and promote the current fiscal year's inspection zone.

Application forms will be available at City Hall during regular business hours and on the City's website for download and submission. City staff will be available to answer questions about the program, assist property owners with the application process, and arrange site consultations for owners who want guidance before hiring a contractor.

All program information, forms, and notices are available in accessible formats upon request. Property owners with disabilities who require assistance or accommodation in participating in the Cost-Share Program or complying with sidewalk requirements should contact the City Clerk or City Administrator.

Section 15. Administration and Appeals

Overall Administration. The City Administrator oversees the overall management and interpretation of this policy, including addressing questions about program eligibility, enforcement decisions, or policy implementation. The Public Works Director manages daily program operations, such as reviewing applications, inspecting sites, processing reimbursements, making enforcement referrals, and maintaining records in the asset management system.

Interpretation. Questions regarding policy interpretation will be answered in writing by the City Administrator. Interpretive decisions that impact multiple property owners or that address issues not clearly answered by the policy text will be documented and available upon request.

Appeals — Staff Decisions. A property owner who disagrees with a staff determination — including denial of a Cost-Share application, a finding that completed work does not meet City specifications, or a preliminary enforcement determination — may submit a written appeal to the City Administrator within twenty (20) calendar days of the staff decision. The City Administrator will review the appeal, may request additional information, and will issue a written decision within twenty (20) business days of receiving a complete appeal.

Appeals — City Administrator Decisions. If the property owner is not satisfied with the City Administrator’s decision on a staff appeal, they may appeal to the City Council within twenty (20) calendar days of the City Administrator’s written decision. The City Council will schedule a hearing and issue a written decision. Assessment appeals are governed separately by Section 11, Step 6 of this policy and by Iowa Code Chapter 384.

Conflict with Other Ordinances. In the event of a conflict between this policy and other provisions of the Dyersville City Code, the Dyersville City Code provisions shall govern. This policy does not repeal or supersede existing ordinances except to the extent of direct conflict.

Section 16. Effective Date and Periodic Review

This policy becomes effective once adopted by resolution of the Dyersville City Council. It overrides any previous City policies, guidelines, or practices related to sidewalk maintenance, cost-sharing, inspection, or enforcement that conflict with this framework.

The City Administrator will review this policy at least every five (5) years and present recommended updates to the City Council as needed to reflect changes in Iowa law, ADA requirements, SUDAS standards, construction material costs, or local conditions. This policy may be amended at any time by resolution of the City Council. Minor administrative updates — such as adjusting application forms, updating contact information, or clarifying procedures that do not change substantive policy provisions — may be made by the City Administrator without City Council action.

Severability. If any provision of this policy is found invalid by a court of competent jurisdiction, the remaining provisions remain in full force and effect. The City Council declares that it would have adopted this policy and each section, sentence, clause, and phrase thereof, irrespective of the fact that one or more sections, sentences, clauses, or phrases may be declared invalid.



CITY OF DYERSVILLE, IOWA

SIDEWALK MAINTENANCE COST-SHARE PROGRAM

Application for Participation

INSTRUCTIONS: Complete all sections of this form and submit it to City Hall. City staff will inspect the site and contact you within 15 business days. Do not hire a contractor or begin work before receiving written approval. Incomplete applications will be returned without action.

SECTION A — PROPERTY AND APPLICANT INFORMATION

Applicant Name (Owner of Record)	
Mailing Address	
City, State, ZIP	
Phone Number	
Email Address	
Property Address (if different from mailing)	
Parcel / PIN Number (if known)	
Property Type	<input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other: _____

SECTION B — PROJECT DESCRIPTION

Type of Work Requested	
Location of Work (describe)	
Approximate Dimensions (length x width)	
Estimated Square Footage	
Reason for Request (check all that apply)	

- | | | |
|--|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Removal | <input type="checkbox"/> Replacement |
| <input type="checkbox"/> Trip hazard / vertical displacement | <input type="checkbox"/> Crumbling or spalling | <input type="checkbox"/> Tree root damage |
| <input type="checkbox"/> Standing water / drainage problem | <input type="checkbox"/> Missing panel(s) | <input type="checkbox"/> Other: |

SECTION C — CONTRACTOR INFORMATION

Contractor Name / Company	
Contractor Phone	

SECTION D — ACKNOWLEDGMENT AND SIGNATURE

By signing below, the applicant certifies that: (1) they are the owner of record of the property described above; (2) all information provided in this application is accurate and complete; (3) they understand that work may not begin until written approval is received from the City; (4) they understand that reimbursement is contingent upon the work passing final City inspection and upon available budget funds; and (5) they agree to comply with all construction standards, contractor requirements, and conditions established by the City's Sidewalk Maintenance and Cost-Share Policy.

Applicant Signature (Owner of Record)	Date

FOR CITY USE ONLY

Application Received (Date)	
Task Number	
Site Inspection Date	
Eligibility Determination	<input type="checkbox"/> Eligible <input type="checkbox"/> Ineligible — Reason: _____
Scope of Work Approved	
Estimated Material Cost	
Budget Funds Confirmed?	<input type="checkbox"/> Yes <input type="checkbox"/> No — Waitlisted
Approval Letter Sent (Date)	
Pre-Pour Inspection Date / Pass-Fail	
Final Inspection Date / Pass-Fail	
Reimbursement Authorized (Amount / Date)	
Public Works Director Signature / Date	



City of Dyersville
Public Works Department

NOTICE OF SIDEWALK DEFICIENCY

Certified Mail — Return Receipt Requested

[Date]

[Property Owner Name]
[Mailing Address]
[City, State, ZIP Code]

RE: Sidewalk Deficiency — [Property Address, Dyersville, Iowa]
Parcel No.: [Parcel Number]
Task No.: [Task Number]

Dear [Property Owner Name]:

The City of Dyersville has completed a sidewalk inspection in your area as part of the City’s Sidewalk Inspection Program in accordance to the Sidewalk Maintenance and Cost-Share Policy (the “Policy”). During this inspection, City staff identified one or more sidewalk deficiencies on the public sidewalk adjacent to your property at the address listed above. This notice is sent to you as the Abutting Property Owner in accordance with Iowa Code §364.12(2)(d) and the Policy.

Description of Deficiency

City staff observed the following condition(s) at the location identified below:

Location on Frontage: [e.g., Two panels beginning approximately 30 feet south of the north property line on the 1st Avenue East frontage]

Type of Deficiency: [e.g., Vertical displacement exceeding one-half inch between adjacent panels; surface spalling creating a tripping hazard]

Number of Panels Affected: [e.g., 2 panels, approximately 50 square feet]

Photographs: [Attached / On file with the Public Works Department]

340 1st Avenue East | Dyersville, IA 52040
563.875.7724 | jwandsnider@cityofdiersville.com
www.cityofdiersville.com



Required Action and Repair Period

Under Iowa Code §364.12 and Section 4 of the Policy, you are responsible for maintaining the sidewalk adjacent to your property in a safe and passable condition. You are required to complete the necessary repairs within ninety (90) days of the date of this notice. Your repair deadline is [Deadline Date].

All repair work must meet the construction standards in Section 10 of the Policy, including SUDAS and ADA requirements. You or your contractor must contact the Public Works Department at least forty-eight (48) hours before any concrete pour to schedule the required pre-pour inspection. A final inspection by City staff is also required before the repair can be accepted.

Cost-Share Program

The City of Dyersville offers a Cost-Share Program to assist property owners with eligible sidewalk repairs. Under the program, the City reimburses documented material costs for qualifying projects, while the property owner is responsible for labor costs. The program is described in detail in Section 8 of the Policy.

To apply, submit a completed Cost-Share Application to City Hall at 340 1st Avenue East, Dyersville, Iowa 52040, during regular business hours, or download the application from the City's website. Applications are processed on a first-come, first-served basis, subject to available funding. Applying for the Cost-Share Program does not extend the Repair Period unless the City Administrator grants a written extension.

Extension Requests

If you are unable to complete the required repairs within the Repair Period due to adverse weather, documented contractor unavailability, or verified financial hardship, you may request a written extension from the City Administrator before the Repair Period expires. Extension requests must include supporting documentation

Failure to Complete Repairs

If repairs are not completed within the Repair Period (including any approved extension), the City may perform the work or hire a contractor to complete it, as authorized by Iowa Code §364.12(2)(e). The full cost of City-performed work — including materials, labor, engineering review, inspection, and reasonable administrative overhead — will be assessed against your property as a special assessment under Iowa Code §364.12(2)(e) and Iowa Code Chapter 384. Once certified, the assessment becomes a lien on your property and is collected with your annual property tax installments.

Questions and Contact Information

If you have questions about this notice, the deficiency identified, the repair process, or the Cost-Share Program, please contact me at 563.875.7724 or email me at jwandsnider@cityofdyersville.com.

The City's goal is to work with property owners to maintain safe and accessible sidewalks throughout Dyersville. We encourage you to take advantage of the Cost-Share Program and to contact us with any questions.

Sincerely,

John Wandsnider,
City Engineer/Public Works Director

Enclosures:

1. Photograph(s) of Identified Deficiency
2. Cost-Share Program Application