PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

Dripping Springs Ranch Park Event Center, 1042 Event Center Drive, Dripping Springs, TX

Tuesday, July 26, 2022 at 6:00 PM

Agenda

CALL TO ORDER AND ROLL CALL

Commission Members
Mim James, Chair
Tammie Williamson, Vice Chair
Christian Bourguignon
Doug Crosson
John McIntosh
Douglas Shumway
Evelyn Strong

Staff, Consultants & Appointed/Elected Officials
Planning Director Howard Koontz
Senior Planner Tory Carpenter

PLEDGE OF ALLEGIANCE

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item,

in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

1. **Approval of the June 28, 2022, Planning & Zoning Commission regular meeting minutes.**

2. **Denial of SUB2021-0073: an application for the Hardy T Land Preliminary Plat for a 78.02 acre tract located at the intersection of Bunker Ranch Boulevard and Ross Street out of the Benjamin F. Hannah Survey.** *Applicant: Brian Estes, P.E., Civil & Environmental Consultants, Inc.*

3. **Denial of SUB2022-0033: an application for the Ranch at Caliterra Preliminary Plat for a 200.025 acre tract located west of the Caliterra Subdivision out of the Benjamin F. Hannah Survey.** *Applicant: Bill E. Couch, Carlson Brigance, and Doering, Inc.*

BUSINESS

4. **Public hearing and consideration of approval of SUB2022-0022: an application for the Ladera Lot 2 replat for a 15 acre tract located at 4630 W US 290.** *Applicant: Jon Thompson*

    a. Applicant Presentation
    b. Staff Report
    c. Public Hearing
    d. Replat

5. **Public hearing and consideration of approval of VAR2022-0006: a variance request to reduce the fee in lieu amount required for sidewalks associated with the Patriots' Hall Site Expansion.** *Applicant: Kathryn Chandler, Patriots' Hall of Dripping Springs.*

    a. Applicant Presentation
    b. Staff Report
    c. Public Hearing
    d. Variance Request

PLANNING & DEVELOPMENT REPORTS

6. **Planning Department Report**

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings
August 9, 2022 at 6:00 p.m.
August 23, 2022, at 6:00 p.m.
September 13, 2022, at 6:00 p.m.
September 27, 2022, at 6:00 p.m.

City Council & Board of Adjustment Meetings
August 2, 2022, at 6:00 p.m. (CC & BOA)
August 9, 2022, at 5:30 p.m. (CC)August 16, 2022, at 6:00 p.m. (CC)
August 30, 2022, at 5:30 p.m. (CC)

ADJOURN

TEXAS OPEN MEETINGS ACT PUBLIC NOTIFICATION & POSTING OF MEETING

All agenda items listed above are eligible for discussion and action unless otherwise specifically noted. This notice of meeting is posted in accordance with Chapter 551, Government Code, Vernon's Texas Codes. Annotated. In addition, the Commission may consider a vote to excuse the absence of any Commissioner for absence from this meeting.

I certify that this notice of meeting was posted at the City of Dripping Springs City Hall and website, www.cityofdrippingsprings.com, on ***July 22, 2022, at 12:30 p.m.***

_____
City Secretary

This facility is wheelchair accessible. Accessible parking spaces are available. Requests for auxiliary aids and services must be made 48 hours prior to this meeting by calling (512) 858-4725.

PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

Council Chambers, 511 Mercer St, Dripping Springs, TX

Tuesday, June 28, 2022 at 6:00 PM

MINUTES

CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:01 p.m.

Commission Members present were:
Mim James, Chair
James Martin, Vice Chair
Christian Bourguignon
Doug Crosson (arrived at 6:16 p.m.)
John McIntosh

Commission Members absent were:
Evelyn Strong
Tammie Williamson

Staff, Consultants & Appointed/Elected Officials
Deputy City Administrator Ginger Faught
Senior Planner Tory Carpenter
City Engineer Chad Gilpin
Planning Assistant Warlan Rivera
Public Works Director Aaron Reed
IT Coordinator Jason Weinstock
Transportation Consultant Leslie Pollack

PLEDGE OF ALLEGIANCE

Chair James led the Pledge of Allegiance to the Flag.

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented

for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

No one spoke during Presentation of Citizens.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

Via unanimous consent, the Commission considered Consent Agenda Item 1 separately, items 2 – 3 and 6 – 8 together and Items 4 and 5 together.

1. **Approval of the June 14, 2022, Planning & Zoning Commission regular meeting minutes.**

   A motion was made by Vice Chair Martin to approve the June 14, 2022, Planning & Zoning Commission regular meeting minutes. Commissioner McIntosh seconded the motion which carried 3 to 0 to 1, with Commissioner Bourguignon recused.

A motion was made by Vice Chair Martin to approve Consent Agenda Items 2, 3, and 6 – 8, as recommend by staff. Commissioner Bourguignon seconded the motion which carried unanimously 4 to 0.

The Commission continued with Consent Agenda, considering items 4 and 5 together.

2. **Conditional approval of SUB2022-0006: an application for the CRTX Preliminary Plat for a 8.59 acre tract out of the P.A. Smith Survey located at 27110 Ranch Road 12.** *Applicant: Chet Manning, Allen Harrison Company, LLC*

3. **Conditional approval of SUB2022-0007: an application for the CRTX Final Plat for a 8.59 acre tract out of the P.A. Smith Survey located at 27110 Ranch Road 12.** *Applicant: Chet Manning, Allen Harrison Company, LLC*

4. **Denial of SUB2022-0012: an application for the Driftwood Phase 3 Section 1 Final Plat for a 9.070 acre tract out of the Freelove Woody survey located at 17901 FM 1826.** *Applicant: John Blake, P.E.,Murfee Engineering Company, Inc.*

   Tory Carpenter presented the staff report which is on file. Staff recommends conditional approval, as the applicant has addressed staff comments. Conditional approval is based on the applicant submitting the Hays County 1445 approval letter and that the 20-foot public utility easement along FM 1826.

5. **Denial of SUB2022-0013: an application for the Driftwood Phase 3 Section 2 Final Plat for a 34.665 acre tract out of the Freelove Woody survey located at 17901 FM 1826.** *Applicant: John Blake, P.E.,Murfee Engineering Company, Inc.*

   Tory Carpenter presented the staff report which is on file. Staff recommends conditional approval, as the applicant has addressed staff comments. Conditional approval is based on the applicant submitting the Hays County 1445 approval letter.

A motion was made by Vice Chair Martin to approve Consent Agenda Items 4 and 5 with conditions as presented by staff. Commissioner McIntosh seconded the motion which carried unanimously 4 to 0.

6. **Conditional approval of SUB2022-0020: an application for the Caliterra Phase 4 Section 14 Final Plat for a 50.947 acre tract of land out of the Philip A. Smith Survey near the intersection of Caliterra Parkway and Crosswater Lane.** *Applicant: Bill Couch, Carlson Brigance and Doering, Inc.*

7. **Denial of SUB2022-0028: an application for the Parten Ranch Phase 8 Preliminary Plat for a 81.03 acre tract out of the Seaborn J. Whately and Lamar Moore Surveys located in the northwest corner of the Parten Ranch development.** *Applicant: Lauren Crone, LJA Engineering, Inc.*

8. **Approval of SUB2022-0032: an application for the Headwaters Commercial East Phase 1 Final Plat for a 5.824 acre tract of land out of the William Walker Survey located on Headwaters Blvd.** *Applicant: Blake Rue, Oryx Land Holdings, LLC*

BUSINESS

9. **Public hearing and consideration of possible action regarding VAR2022-0004: an application for a variance to Ordinance 30, Section 14 Standards and Specification Section J (5) Lot Frontage. The property is located at 449 Twin Oaks.** *Applicant: Ignacio Gonzales, Jr.*

   a. Applicant Presentation – Applicant Ignacio Gonzales presented the item and is requesting a variance for flag lot for one of the lots.

   b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends approval of the variance request.

   c. Public Hearing – No one spoke during the Public Hearing.

   d. Variance – A motion was made by Vice Chair Martin to approve VAR2022-0004: an application for a variance to Ordinance 30, Section 14 Standards and Specification Section J (5) Lot Frontage. The property is located at 449 Twin Oaks. Commissioner McIntosh seconded the motion which carried unanimously 4 to 0.

10. **Public hearing and consideration of SUB2022-0014: an application for the Driftwood Golf and Ranch Club, Phase 1 Replat for a 10.8649 acre tract located on Driftwood Ranch Drive.** *Applicant: John Blake, P.E.,Murfee Engineering Company, Inc.*

    a. Applicant Presentation – No presentation was given.

    b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends approval of the subdivision application.

    c. Public Hearing – No one spoke during the Public Hearing.

    d. Replat – A motion was made by Vice Chair Martin to approve SUB2022-0014: an application for the Driftwood Golf and Ranch Club, Phase 1 Replat for a 10.8649 acre tract located on Driftwood Ranch Drive. Commissioner Bourguignon seconded the motion which carried unanimously 4 to 0 to 1, with Commissioner Crosson recused.

11. **Public hearing and consideration of SUB2022-0026: an application for the Blue Ridge Section 1 Replat for a 2.00 acre tract located at 101 Bob White Cove.** *Applicant: Jordan Russell, Keepers Land Planning.*

    a. Applicant Presentation – No presentation was given.

    b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends denial of the application.

    c. Public Hearing – No one spoke during the Public Hearing.

    d. Replat – A motion was made by Vice Chair Martin to deny approval of SUB2022-0026: an application for the Blue Ridge Section 1 Replat for a 2.00 acre tract located at 101 Bob White Cove. Commissioner Bourguignon seconded the motion which carried unanimously

12. **Public hearing and consideration of SUB2022-0029: an application for the Vitolich Plaza Lot 1 Replat for a 7.26 acre tract located on Bell Springs Road north of Daisy Lane.** *Applicant: Jon Thompson.*

    a. Applicant Presentation – No presentation was given.

    b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends denial for outstanding comments.

    c. Public Hearing – Pat Lyle spoke in opposition to the application expressing concerns regarding easements and utilities in the right-of-way of Daisy Lane.

    d. Replat – A motion was made by Vice Chair Martin to deny approval of SUB2022-0029: an application for the Vitolich Plaza Lot 1 Replat for a 7.26 acre tract located on Bell Springs Road north of Daisy Lane. Commissioner Crosson seconded the motion which carried unanimously 5 to 0.

13. **Public hearing and consideration of SUB2022-0030: an application for the Burke Subdivision Lot 1A Replat for a 14.54 acre tract located at 20650 FM 150.** *Applicant: Jon Thompson.*

    a. Applicant Presentation – No presentation was given.

    b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends denial for outstanding comments.

    c. Public Hearing – No one spoke during the Public Hearing.

    d. Replat – A motion was made by Vice Chair Martin to deny approval of SUB2022-0030: an application for the Burke Subdivision Lot 1A Replat for a 14.54 acre tract located at 20650 FM 150. Commissioner Bourguignon seconded the motion which carried unanimously 5 to 0.

14. **Public hearing and consideration of a recommendation regarding ZA2022-0001: an application to consider a proposed zoning map amendment from Agriculture (AG) to Single Family Residential - Moderate Density (SF-2) for approximately 38.068 acres out of the Benjamin F. Hannah Survey, located at 2901 W US 290 for approximately half of the property known as the Hardy Tract.** *Applicant: Brian Estes, P.E., Civil and Environmental Consultants Inc.*

    a. Applicant Presentation – Applicant Brian Estes was present and available for questions.

    b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends approval of the zoning amendment.

    c. Public Hearing – Milton Martin spoke expressing concerns regarding the proximity of the project to his back fence line which shows his fence line as the project lot line and would like to see more space between the new project and existing homes and preservation of wildlife within those areas.

    d. Zoning Amendment – A motion was made by Vice Chair Martin to approve ZA2022-0001: an application to consider a proposed zoning map amendment from Agriculture (AG) to Single Family Residential - Moderate Density (SF-2) for approximately 38.068 acres out of the Benjamin F. Hannah Survey, located at 2901 W US 290 for approximately half of the property known as the Hardy Tract. Commissioner Crosson seconded the motion which carried unanimously 5 to 0.

15. **Public Hearing and Recommendation related to an Ordinance rezoning a 36.28-acre property from Commercial Services (CS) to Planned Development District with a base zoning of CS, with 25.38-acres of residential uses and approximately 5.8-acres of commercial uses, and approximately 5.1-acres of utility spaces, as amended by the ordinance language herein, for property located at the southwest corner of U.S. 290 and Roger Hanks Blvd., in the City of Dripping Springs, Texas, and commonly known as "New Growth".** *Applicant: Isaac Karpay, New Growth Living*

Commissioner McIntosh recused from the item.

a. Applicant Presentation – Applicant Attorney Rex Baker gave a presentation which is on file.

b. Staff Report – Tory Carpenter and Leslie Pollack presented the staff report which is on file. Staff recommends approval of the zoning ordinance.

c. Public Hearing – Keely Odell spoke regarding the project and expressed concerns regarding the proximity of the project to her property line, increase in traffic density and the availability of wastewater for the project.

d. Recommendation – A motion was made by Vice Chair Martin to recommend City Council approval of an Ordinance rezoning a 36.28-acre property from Commercial Services (CS) to Planned Development District with a base zoning of CS, with 25.38-acres of residential uses and approximately 5.8-acres of commercial uses, and approximately 5.1-acres of utility spaces, as amended by the ordinance language herein, for property located at the southwest corner of U.S. 290 and Roger Hanks Blvd., in the City of Dripping Springs, Texas, and commonly known as "New Growth" with the following recommendations to be completed before City Council approval:

1) Ancillary agreements – Offsite Road Agreement and Wastewater Agreement are completed; and
2) Layout Modification – Move the two units located to adjacent existing residential on near the Precinct 4 Office so there is less of an impact on existing residences.

Commissioner Crosson seconded the motion which carried unanimously 4 to 0 to 1, with Commissioner McIntosh recused.

16. Discuss and consider possible action regarding the appointment of Officers to the Planning & Zoning Commission.

Chair Mim James presented the item.

a. Vice Chair
b. Transportation Committee Representative

A motion was made by Chair James to appoint Commissioner Tammie Williamson as Vice Chair of the Commission, and Commissioner Crosson as the Transportation Committee Representative. Vice Chair Martin seconded the motion which carried unanimously 5 to 0.

PLANNING & DEVELOPMENT REPORTS

No updates at this time.

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

The Commission did not meet in Executive Session.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings
July 12, 2022, at 6:00 p.m.
July 19, 2022, at 6:00 p.m.
August 9, 2022, at 6:00 p.m.
August 23, 2022, at 6:00 p.m.

City Council & Board of Adjustment Meetings
July 5, 2022, at 600 p.m. (CC & BOA)
July 12, 2022, at 5:30 p.m. (Moratorium & Workshop)
July 19, 2022, at 6:00 p.m. (CC)
July 26, 2022, at 5:30 p.m. (Moratorium & Workshop)

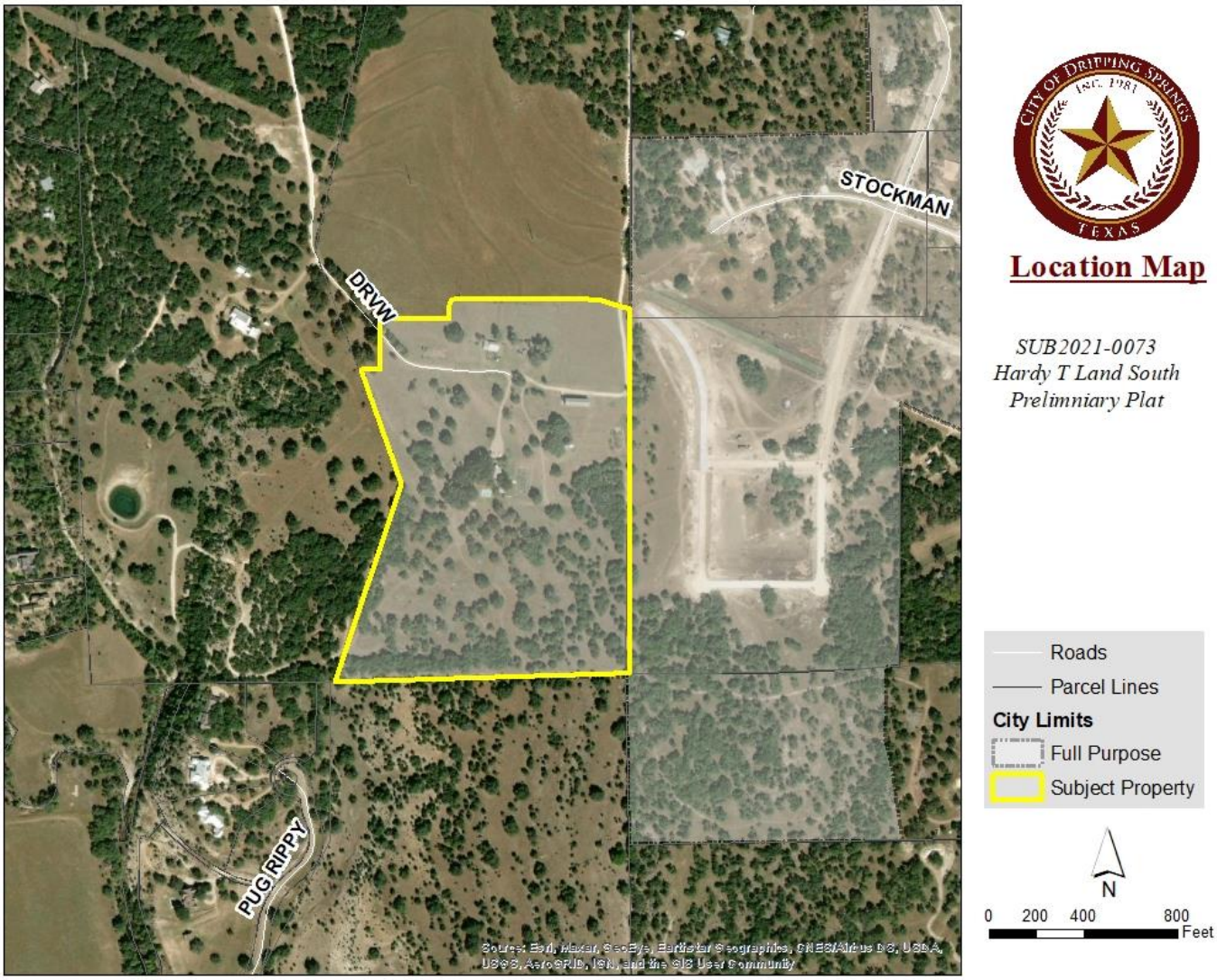
ADJOURN

A motion was made by Commissioner Crosson to adjourn the meeting. Commissioner Bourguignon seconded the motion which carried unanimously 5 to 0.

This regular meeting adjourned at 8:27 p.m.

Planning and Zoning Commission
Planning Department Staff Report

Planning and Zoning Commission Meeting:	July 26, 2022
Project No:	SUB2021-0073
Project Planner:	Tory Carpenter, AICP - Senior Planner
Item Details	
Project Name:	Hardy T Land Preliminary Plat
Property Location:	2901 W US 290
Legal Description:	78.021 acres, out of the Benjamin F. Hanna Survey
Applicant:	Brian Estes, P.E., Civil & Environmental Consultants, INC.
Property Owner:	Steve Harren, Overlook at Bunker Ranch, LLC
Request:	Hardy T Land South Preliminary Plat
Staff recommendation:	Denial of the Preliminary Plat based on outstanding comments



Planning Department Staff Report

Overview

This preliminary plat consists of 75 single-family lots.

Access and Transportation

Primary access to the subdivision will be through Bunker Ranch Blvd, located in Bunker Ranch Phase 3. Before approval of the final plat, the developer will be required to improve an existing secondary access to US 290.

Site Information

Location: Bunker Ranch Boulevard

Zoning Designation: SF-2

Property History

Annexation and zoning for the southern portion of the development was approved by City Council on December 7, 2021. The northern portion was annexed and zoned July 5, 2022.

Recommendation

Denial to address comments.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Hardy T Land Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A

DRIPPING SPRINGS
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384
Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____-____

MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION	PRE-APPLICATION CONFERENCE
DATE: _____	DATE: _____
☐ NOT SCHEDULED	☐ NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Brian Estes, PE

COMPANY Civil and Environmental Consultants Inc.

STREET ADDRESS 3711 S. MoPac Expressway, Building 1, Suite 550

CITY Austin STATE Texas ZIP CODE 78746

PHONE (512) 439-0400 EMAIL bestes@cecinc.com

OWNER NAME Steve Harren

COMPANY Hardy T Land, LLC

STREET ADDRESS 317 Grace Lane #240

CITY Austin STATE Texas ZIP CODE 78746

PHONE 512.644.6800 EMAIL steveharren@aol.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Hardy T Land, LLC
PROPERTY ADDRESS	2901 W US 290, Dripping Springs, TX 78620
CURRENT LEGAL DESCRIPTION	BEING A 78.021 ACRE TRACT OUT OF THE BENJAMIN F. HANNA SURVEY NO. 28, ABSTRACT NO. 222, SITUATED IN HAYS COUNTY, TEXAS, BEING ALL OF TRACT 1, CONVEYED TO HARDY T LAND, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NO. 21051171, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T.)
TAX ID #	R15103
LOCATED IN	☒ City Limits ☐ Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	78.02 AC
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	Hays County ESD #6
ZONING/PDD/OVERLAY	SF-2
EXISTING ROAD FRONTAGE	☒ Private Name: Bunker Ranch Blvd. (proposed extension in Hardy T Land Preliminary Plat) ☐ State Name: _____ ☐ City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	☐ Yes (see attached) ☒ Not Applicable Development Agreement Name: _____

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	☐ YES ☒ NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	☒ YES ☐ NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	☐ YES ☒ NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Hardy T Land
TOTAL ACREAGE OF DEVELOPMENT	78.021 AC
TOTAL NUMBER OF LOTS	75 LOTS (plus 3 pond lots)
AVERAGE SIZE OF LOTS	0.84 AC
INTENDED USE OF LOTS	☒ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAL/OTHER:_____
# OF LOTS PER USE	RESIDENTIAL: 75 LOTS COMMERCIAL: _____ INDUSTRIAL:_____
ACREAGE PER USE	RESIDENTIAL: 78.021 AC COMMERCIAL: _____ INDUSTRIAL:_____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC:_____ PRIVATE: 6,580 LF
ANTICIPATED WASTEWATER SYSTEM	☒ CONVENTIONAL SEPTIC SYSTEM ☐ CLASS I (AEROBIC) PERMITTED SYSTEM ☐ PUBLIC SEWER
WATER SOURCES	**SURFACE WATER** ☒ PUBLIC WATER SUPPLY ☐ RAIN WATER **GROUND WATER*** ☐ PUBLIC WELL ☐ SHARED WELL ☐ PUBLIC WATER SUPPLY

*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:

HAYS-TRINITY GCD NOTIFIED? ☐ YES ☒ NO

COMMENTS: _____

TITLE: _____ **SIGNATURE:** _____

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative (PEC)

☒ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

WATER PROVIDER NAME (if applicable): Dripping Springs Water Supply Corp. (DSWSC)

☒ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

GAS PROVIDER NAME (if applicable): Texas Gas Service

☒ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
☒ YES ☐ NOT APPLICABLE	☐ YES ☒ NOT APPLICABLE

Parkland fee in lieu predetermination attached

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

☒ YES (REQUIRED) ☐ YES (VOLUNTARY*) ☐ NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Brian Estes, PE

Applicant Name

Applicant Signature

12-16-21

Date

Notary

12/16/21

Date

Notary Stamp Here

NOTARY PUBLIC STATE OF TEXAS
Emma Ragsdale
My Commission Expires
01/31/2023
ID No. 131874284

Steve Harren

Property Owner Name

Property Owner Signature

12-16-21

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: _____ **Date:** 12-16-21

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST

Subdivision Ordinance, Section 4

	STAFF	APPLICANT	
1	☐	☒	Completed application form – including all required notarized signatures
	☐	☒	Application fee (refer to Fee Schedule)
0	☐	☒	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
2	☐	☒	Digital Data (GIS) of Subdivision
	☐	☐N/A	County Application Submittal – proof of online submission (if applicable)
3	☐	☒	ESD #6 Application *(if within City or Development Agreement)* or Proof of Submittal to Hays County Fire Marshal *(if in the ETJ)*
	☐	☒	$240 Fee for ESD #6 Application (if applicable)
4	☐	☒	Billing Contract Form
5	☐	☒	Engineer's Summary Report
5	☐	☒	Preliminary Drainage Study Included in Engineering Report
6	☐	☒	Preliminary Plats (3 copies required – 11 x 17)
7	☐	☒	Tax Certificates – verifying that property taxes are current
8	☐	☒	Copy of Notice Letter to the School District – notifying of preliminary submittal
9	☐	☒	Outdoor Lighting Ordinance Compliance Agreement
	☐	☐N/A	Development Agreement/PDD (If applicable)
10-12	☐	☒	Utility Service Provider "Will Serve" Letters
	☐	☐N/A	Documentation showing approval of driveway locations (TxDOT, County,)

13	☐	☒	Documentation showing Hays County 911 addressing approval (if applicable) Submittal to county provided
14-15	☐	☒	Parkland Dedication Submittal (narrative, fees) Fee in lieu approval/ Property Appraisal provided
	☐	☒	$25 Public Notice Sign Fee
16-17	☐	☒	ITE Trip Generation Report, or if required; a Traffic Impact Analysis Approved TIA and City TIA memo provided
18	☐	☒	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
19	☐	☒	OSSF Facility Planning Report or approved OSSF permit *(if applicable)*
	☐	☐N/A	Hays Trinity Groundwater Conservation District approval of water well (*if applicable*)
20	☐	☒	Preliminary Conference Form signed by City Staff
	PRELIMINARY PLAT INFORMATION REQUIREMENTS		
	☐	☒	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
	☐	☒	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
	☐	☒	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
	☐	☒	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
☐	☒	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
☐	☒	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
☐	☒	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
☐	☒	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
☐	☒	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
☐	☒	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
☐	☒	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
☐	☒	All physical features of the property to be subdivided shall be shown, including: - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency

		(FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
☐	☒	Provide notes identifying the following: • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
☐	☒	Schematic Engineering plans of water and sewer lines and other infrastructure

		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
☐	☒	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
☐	☒	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
☐	☒	Existing zoning of the subject property and all adjacent properties if within the city limits.
☐	☒	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
☐	☒	Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
☐	☐ N/A	If any amount of surface water is to be used by the subject property, the

		Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant's plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).

NARRATIVE OF COMPLIANCE	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	Outdoor Lighting Ordinance Compliance Form has been provided in this submittal.
Parkland Dedication, Article 28.03	See Parkland dedication fee in lieu approval letter attached and appraisal report included.
Landscaping and Tree Preservation, Article 28.06	Existing trees are being preserved where areas are to remain natural.

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable). Water quality an detention ponds have been provided within a proposed drainage lot.
Zoning, Article 30.02, Exhibit A	The Preliminary Plat is compliant with SF-2 Zoning standards. All lots are a minimum of 0.5 acres. The minimum lot width is 30 feet and the minimum lot depth is 150 feet. The Front/Side/Rear setbacks provided by Plat are 25 feet/15 feet/25feet. The proposed impervious cover is below 40%.

PRELIMINARY PLAT

FOR

HARDY T LAND

CITY OF DRIPPING SPRINGS, HAYS COUNTY, TX

VICINITY MAP
SCALE: 1"=1000'

OWNER/TEAM INFORMATION

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3711 S. MOPAC EXPRESSWAY, BUILDING 1, SUITE 550
AUSTIN, TX 78746
PH: (512) 439-0400
CONTACT: BRIAN ESTES, PE

OWNER / DEVELOPER

HARDY T LAND, LLC
STEVE HARREN
317 GRACE LANE #240
AUSTIN, TEXAS 78746

LAND SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3711 S. MOPAC EXPRESSWAY, BUILDING 1, SUITE 550
AUSTIN, TX 78746
PH: (512) 439-0400
CONTACT: SYDNEY SMITH XINOS, R.P.L.S.

SUMMARY

FULL PURPOSE CITY LIMITS
ZONING: SF-2

AREAS

LOTS (75)	63.10 AC	80.9%
POND LOTS (3)	5.70 AC	7.31%
R.O.W.	9.22 AC.	11.82%
TOTAL=	78.02 AC.	

IMPERVIOUS COVER

CONCRETE = 176,796 S.F.
SIDEWALK = 49,995 S.F.
ASSUMED I.C. PER RESIDENTIAL LOT = 8,500 S.F.

IMPERVIOUS COVER TOTAL = 864,291 S.F.
IMPERVIOUS COVER TOTAL = 19.84 AC.
TOTAL AREA = 78.02 AC.

PROPOSED IMPERVIOUS COVER = 25.43%
MAX. ALLOWED IMPERVIOUS COVER = 40%

LOT COUNT

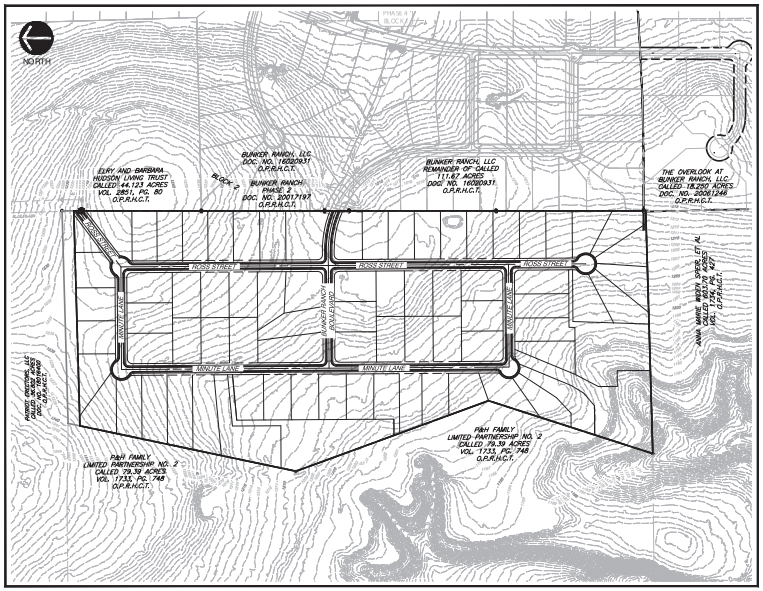
NUMBER OF LOTS = 75
AVERAGE LOT = 0.84 AC
TOTAL = 63.10 AC

BUILDING SETBACKS

FRONT = 25'
BACK = 15'
SIDE = 15'

PLAT NOTES

1. ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST REPLY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
2. ASSIGNED CITY ADDRESS NUMBERS SHALL BE PERMANENTLY AFFIXED TO ALL STRUCTURES IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.
3. NO PORTION OF THIS TRACT FALLS WITHIN FEMA 1% ANNUAL CHANCE FLOOD HAZARD AREA PER FEMA PANEL 48209C0085F DATED 9/2/2005.
4. WATER PROVIDER: DRIPPING SPRINGS WATER SUPPLY CORP.
5. A PORTION OF THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
6. THE JURISDICTIONAL AUTHORITY FOR ONSITE SEWAGE FACILITIES (OSSF) FALLS UNDER THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. THE AUTHORIZED AGENT IS THE CITY OF DRIPPING SPRINGS.
7. THE HOA SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORMWATER FACILITIES.
8. DRIPPING SPRINGS WATER SUPPLY CORPORATION WILL OWN AND OPERATE THE WATER FACILITIES AS PER NOTE 4.
9. THE HOA SHALL BE THE OWNER AND OPERATOR OF ROADWAY FACILITIES.



SITE MAP
SCALE: 1"=300'

SHEET LIST

SHEET #	DESCRIPTION
01	COVER SHEET
02	PRELIMINARY PLAT SHEET 1 OF 2
03	PRELIMINARY PLAT SHEET 2 OF 2
04	EXISTING DRAINAGE AREA MAP
05	PROPOSED DRAINAGE AREA MAP
06	DETENTION POND PLAN A
07	DETENTION POND PLAN B
08	DETENTION POND PLAN C
09	WATER & E&S PLAN

LEGAL DESCRIPTION

BEING A 78.021 ACRE TRACT OUT OF THE BENJAMIN F. HANNA SURVEY NO. 28, ABSTRACT NO. 222, SITUATED IN HAYS COUNTY, TEXAS, BEING ALL OF TRACT 1, CONVEYED TO HARDY T LAND, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NO. 21051171, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P. R.H.C.T.)

NOTES

1. OWNER WILL BE ABLE TO CONTINUE DEVELOPMENT PROCESS, SUCH AS ROADS, UTILITIES, AND ACCEPTANCE THEREOF, HOWEVER, NO BUILDING CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL CONNECTIVITY IS ESTABLISHED IN CONFORMANCE WITH THE 2018 INTERNATIONAL FIRE CODE, APPENDIX D, SECTION D107.1 AND SECTION D107.2.
2. CONNECTION TO THE EXISTING BUNKER RANCH BOULEVARD STUB AT BUNKER RANCH PHASE 4 MUST BE COMPLETED PRIOR TO APPROVAL OF THE FINAL PLAT FOR HARDY.
3. STREET TREES SHALL BE PLANTED IN EACH LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER THE QUANTITY, SIZE AND LOCATION REQUIREMENTS OF SUBDIVISION ORDINANCE 28.06.051.
4. DEVELOPER WILL BUILD SIDEWALKS ADJACENT TO COMMON AREAS; HOME BUILDERS WILL BUILD SIDEWALKS ON RESIDENTIAL LOTS. DEVELOPER WILL BOND SIDEWALKS PRIOR TO CONSTRUCTION.

APPROVED BY:	APPROVED BY:
CITY ADMINISTRATOR	CITY SECRETARY
CITY ENGINEER	DRIPPING SPRINGS WATER SUPPLY CORPORATION
PLANNING DIRECTOR	HAYS COUNTY ESD #6
PLANNING & ZONING COMMISSION CHAIR	SITE PERMIT NUMBER

SUBMITTED BY : BRIAN ESTES, PE

06/27/2022

STATE OF TEXAS
BRIAN ESTES
89270
LICENSED
PROFESSIONAL ENGINEER

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

811 !! CAUTION !! !! CAUTION !!
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

REVISION RECORD

NO	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
Texas Registered Engineering Firm F-38
3711 South MoPac Expressway · Building 1, Suite 550 · Austin, TX 78746
Ph: 512.439.0400 · Fax: 512.329.0096
www.cecinc.com

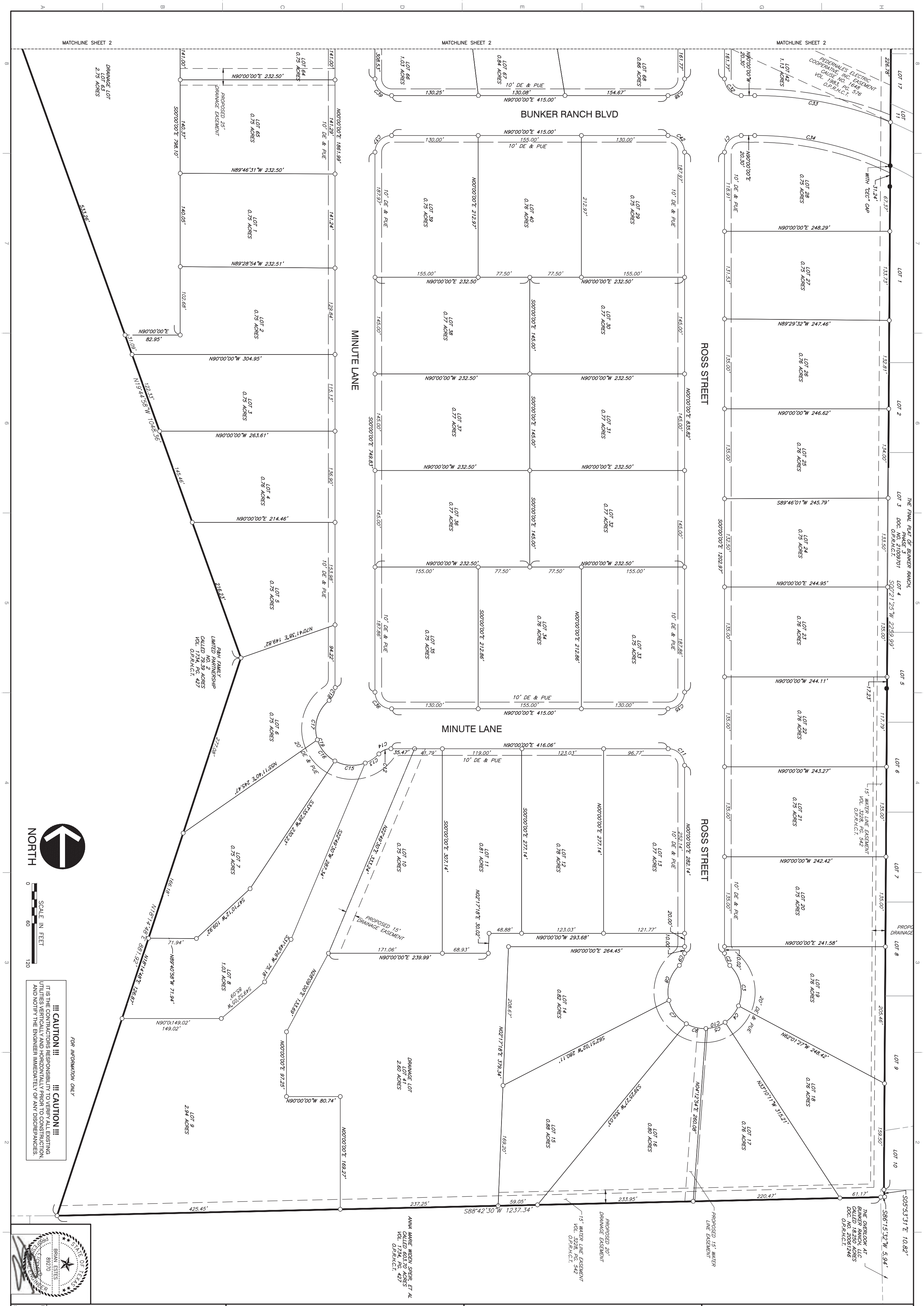
HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

COVER SHEET

DATE:	06/27/2022
DWG SCALE:	1"=300'
PROJECT NO:	304-065
DRAWN BY:	STAFF
CHECKED BY:	MSC
APPROVED BY:	BE

DRAWING NO.: 01
SHEET 1 OF 9

P:\300-000\304-065\-CADD\Dwg\Hardy\CV03\Preliminary Plans\02-03 304065-CV03-CP02 - PRELIMINARY PLAT.dwg[PRELIMINARY PLAT SHEET 1 OF 2] LS:(6/27/2022 - lgarcia) - LP: 6/27/2022 6:05 PM



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STATE OF TEXAS
BRIAN ESTES
89270
LICENSED PROFESSIONAL ENGINEER

PRELIMINARY PLAT

DATE:	MARCH 24, 2022	DRAWN BY:	AJH
DWG SCALE:	1"=60'	CHECKED BY:	ESH
PROJECT NO:			304-065
APPROVED BY:			SSX

DRAWING NO.: 02
SHEET

HARDY T LAND LLC
HARDY T LAND

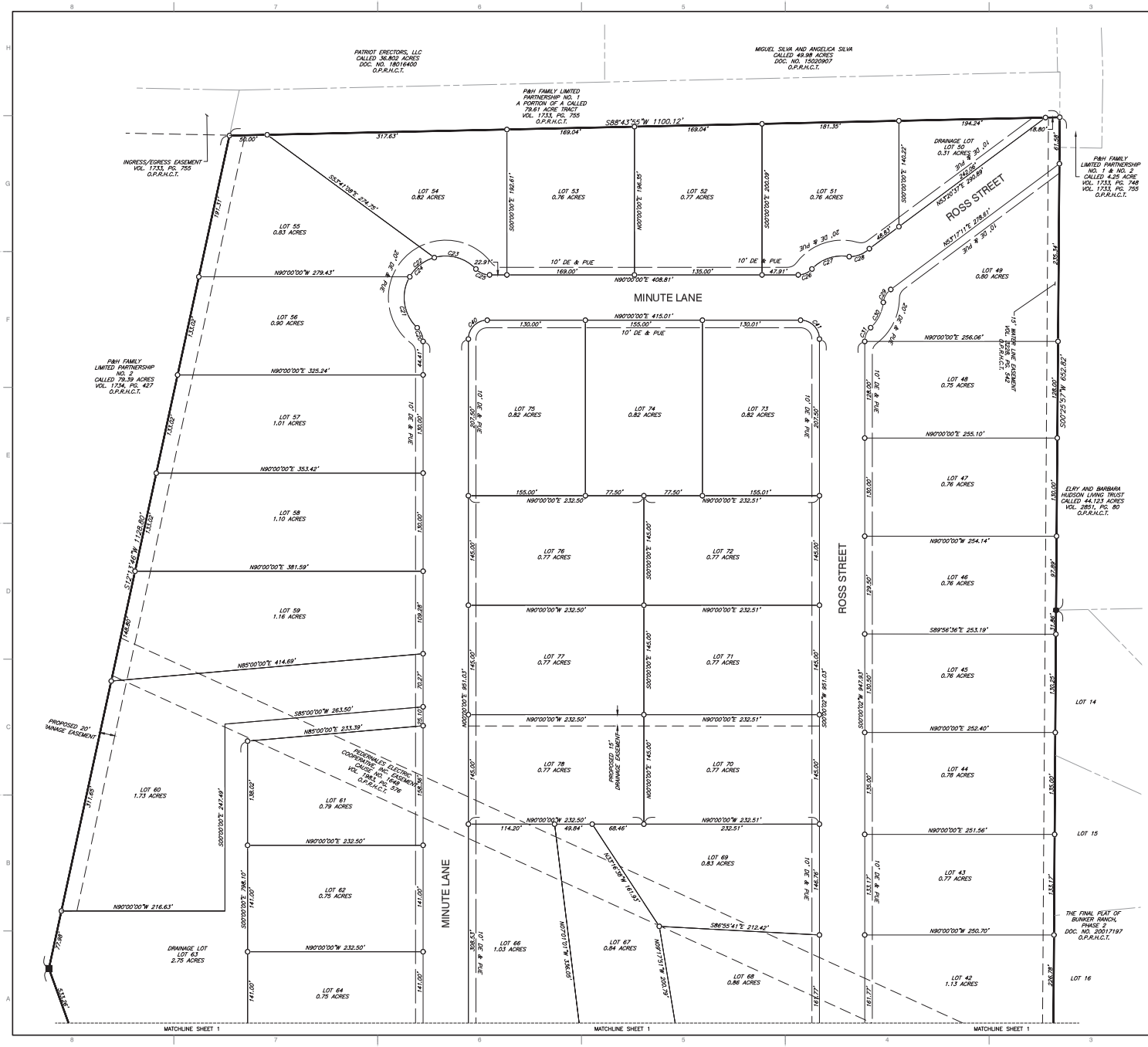
DRIPPING SPRINGS, HAYS COUNTY, TX

Texas Registered Surveying Firm 10194419 Texas Registered Engineering Firm F-38
Civil & Environmental Consultants, Inc.
3711 South MoPac Expressway · Building 1, Suite 550 · Austin, TX 78746
Ph: 512.439.0400 · Fax: 512.329.0096
www.cecinc.com

REVISION RECORD

NO	DATE	DESCRIPTION

Item 2.



CURVE TABLE					
CURVE	ARC DISTANCE	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD DISTANCE
C1	39.27'	25.00'	90°00'00"	N45°00'00"E	35.36'
C2	20.32'	25.00'	46°34'03"	N23°17'01"W	19.76'
C3	66.05'	55.00'	68°48'09"	N12°09'58"W	62.15'
C4	32.27'	55.00'	33°37'16"	N39°02'44"E	31.81'
C5	30.74'	55.00'	32°01'14"	N71°51'59"E	30.34'
C6	30.73'	55.00'	32°00'39"	S76°07'05"E	30.33'
C7	45.00'	55.00'	46°52'39"	S36°40'26"E	43.75'
C8	57.41'	55.00'	59°48'09"	S16°39'58"W	54.84'
C9	20.32'	25.00'	46°34'03"	S23°17'01"W	19.76'
C10	262.19'	55.00'	273°08'06"	N90°00'00"E	75.63'
C11	39.27'	25.00'	90°00'00"	S45°00'00"E	35.36'
C12	20.32'	25.00'	46°34'06"	S66°42'57"W	19.76'
C13	179.61'	55.00'	187°06'32"	S43°00'50"E	109.79'
C14	20.32'	25.00'	46°34'06"	N66°42'57"E	19.76'
C15	47.04'	55.41'	48°38'26"	S86°10'52"E	45.64'
C16	42.35'	55.00'	44°06'54"	S39°36'40"E	41.31'
C17	179.61'	55.00'	187°06'32"	S43°00'50"E	109.79'
C18	22.05'	25.00'	50°32'26"	S25°16'13"W	21.34'
C19	179.61'	55.00'	187°06'32"	S43°00'50"E	109.79'
C20	20.32'	25.00'	46°34'03"	S23°17'01"E	19.76'
C21	73.50'	55.00'	76°34'03"	S08°17'01"E	68.15'
C22	42.23'	55.00'	43°59'47"	S51°59'53"W	41.20'
C23	60.06'	55.00'	62°34'16"	N74°43'05"W	57.12'
C24	175.80'	55.00'	183°08'06"	S45°00'00"W	109.96'
C25	20.32'	25.00'	46°34'03"	N66°42'59"W	19.76'
C26	20.32'	25.00'	46°34'03"	S66°42'59"W	19.76'
C27	54.16'	55.00'	56°25'17"	S71°38'36"W	52.00'
C28	29.54'	36.34'	46°34'03"	S68°27'57"W	28.73'
C29	20.32'	25.00'	46°34'03"	S30°00'10"W	19.76'
C30	38.24'	55.00'	39°50'09"	S26°38'13"W	37.47'
C31	20.31'	25.00'	46°33'15"	S23°16'40"W	19.76'
C32	39.27'	25.00'	90°00'01"	S44°59'59"E	35.36'
C33	209.18'	540.00'	22°11'41"	N78°54'10"W	207.87'
C34	210.27'	478.54'	25°10'32"	S77°27'12"E	208.58'
C35	39.27'	25.00'	90°00'00"	S45°00'00"W	35.36'
C36	39.27'	25.00'	90°00'00"	N45°00'00"W	35.36'
C37	39.27'	25.00'	90°00'00"	N45°00'00"E	35.36'
C38	39.27'	25.00'	89°59'59"	S45°00'01"W	35.36'
C39	39.27'	25.00'	90°00'00"	N45°00'00"W	35.36'
C40	39.27'	25.00'	90°00'00"	N45°00'00"E	35.36'
C41	39.27'	25.00'	90°00'02"	N44°59'59"W	35.36'
C42	39.27'	25.00'	90°00'00"	S45°00'00"E	35.36'

LEGEND:

- ● 1/2-INCH IRON ROD FOUND UNLESS OTHERWISE NOTED
- ○ 1/2-INCH IRON ROD SET WITH "CEC" CAP
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- DOC. NO. DOCUMENT NUMBER
- VOL., PG. VOLUME, PAGE
- O.P.R.H.C.T. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- TREE AND TREE NUMBER

NORTH

SCALE IN FEET
0 60 120

FOR INFORMATION ONLY

!!! CAUTION !!! !!! CAUTION !!!
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

STATE OF TEXAS
BRIAN ESTES
89270
LICENSED
PROFESSIONAL ENGINEER

REVISION RECORD

NO.	DATE	DESCRIPTION

Texas Registered Surveying Firm 10194419 Texas Registered Engineering Firm F-88
Civil & Environmental Consultants, Inc.
3711 South MoPac Expressway · Building 1, Suite 550 · Austin, TX 78746
Ph: 512.438.0400 · Fax: 512.329.0096
www.cecinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

PRELIMINARY PLAT

DATE:	MARCH 24, 2022	DRAWN BY:	AJH
DWG SCALE:	1"=60'	CHECKED BY:	ESH
PROJECT NO:			304-065
APPROVED BY:			SSX

DRAWING NO.: 03

SHEET 3 OF 9

Time of Concentration (TR-55 method) - Existing Site Conditions

Subbasin		Ex DA 1	Ex DA 2	Ex DA 3	Ex DA 4	Ex DA 5
Area	ac	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
	sq mi	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Impervious	%	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Pervious	%	85	85	85	85	85
Composite	%	85	85	85	85	85
Sheet Flow						
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Roughness	n	0.24	0.24	0.24	0.24	0.24
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Shallow Concentrated						
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Paved?	y/n	n	n	n	n	n
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Channel Flow 1						
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Velocity	ft/s	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Summary						
Travel Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Tc	min	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Lag Time	min	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Existing Runoff Values from HEC-HMS						
2 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
10 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
25 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
100 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

Notes

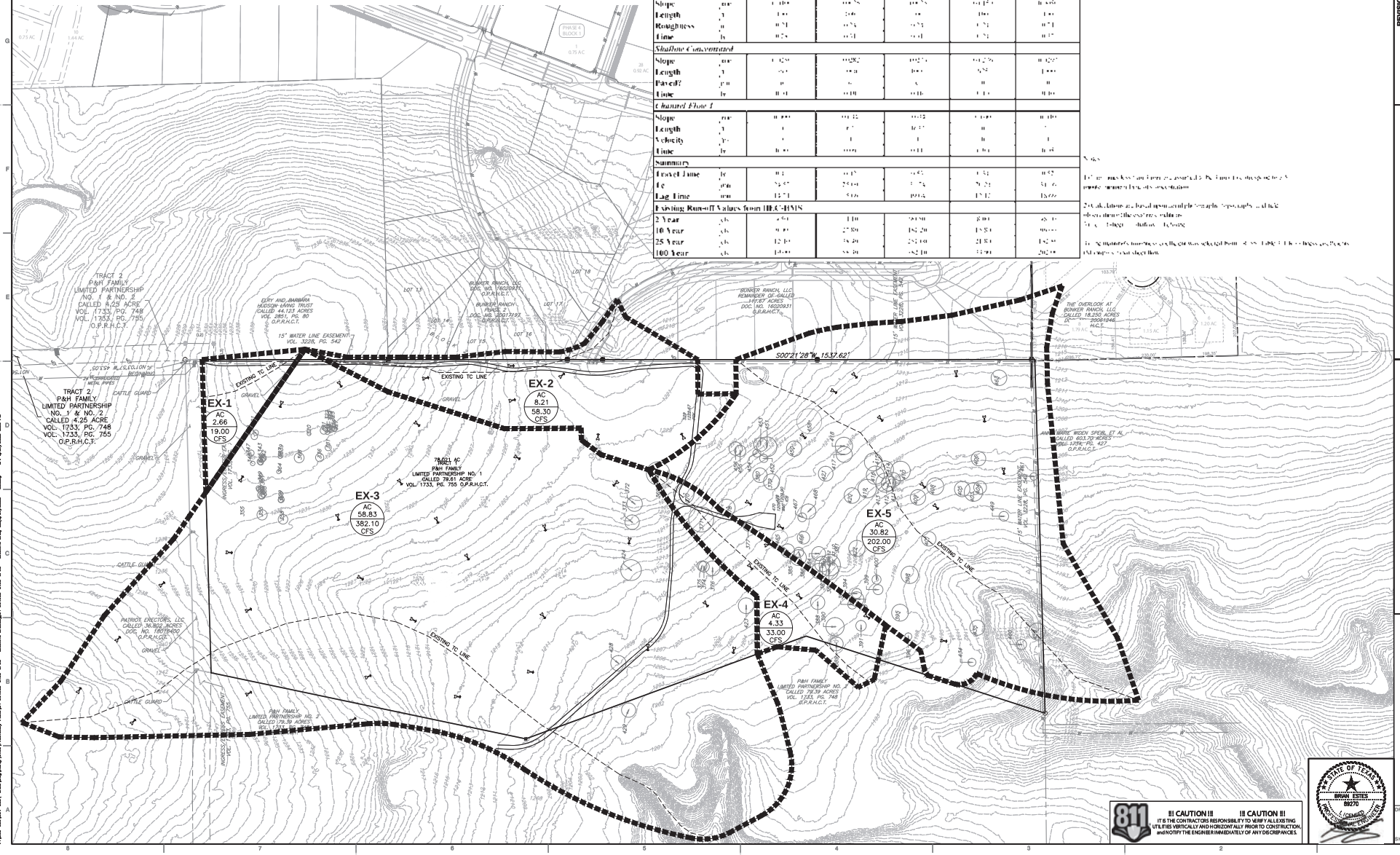
1. [illegible]
2. Calculations are based upon multiple topographic sources, and are shown for illustrative purposes only.
3. [illegible]

DRAINAGE LEGEND

- DRAINAGE AREA BOUNDARY
- DRAINAGE FLOW DIRECTION
- XXX — DRAINAGE AREA NAME
- AC / XX.XX / CFS — DRAINAGE AREA SIZE / CUMULATIVE FLOW

NORTH

SCALE IN FEET 0 150 300



!! CAUTION !! !! CAUTION !!

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STATE OF TEXAS
BRIAN ESTES
86676
LICENSED
PROFESSIONAL ENGINEER

REVISION RECORD

NO	DATE	DESCRIPTION

Texas Registered Engineering Firm F-38
3711 South MoPac Expressway · Building 1, Suite 800 · Austin, TX 78746
Ph: 512.439.0400 · Fax: 512.329.0096
www.cacinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

EXISTING DRAINAGE AREA MAP

DATE:	MARCH 2022
DRAWN BY:	STAFF
DWG SCALE:	1" = 150'
CHECKED BY:	MSC
PROJECT NO:	304-065
APPROVED BY:	BE

DRAWING NO.: 04

SHEET 9

Time of Concentration (TR-55 method) - Proposed Site Conditions

Subbasin		PR-DA1	PR-DA2	PR-DA3	PR-DA3A	PR-DA4	PR-DA5
Area	ac	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
	sq.mi	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Impervious	%	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Pervious	%	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Composite	%	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Sheet Flow							
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Roughness	n	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Shallow Concentrated							
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Paved?	y/n	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Channel Flow 1							
Slope	ft/ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Length	ft	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Velocity	fps	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Summary							
Travel Time	hr	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
tc	min	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Lag Time	min	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
Proposed Run-off Values from HEC-HMS							
2 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
10 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
25 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
100 Year	cfs	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

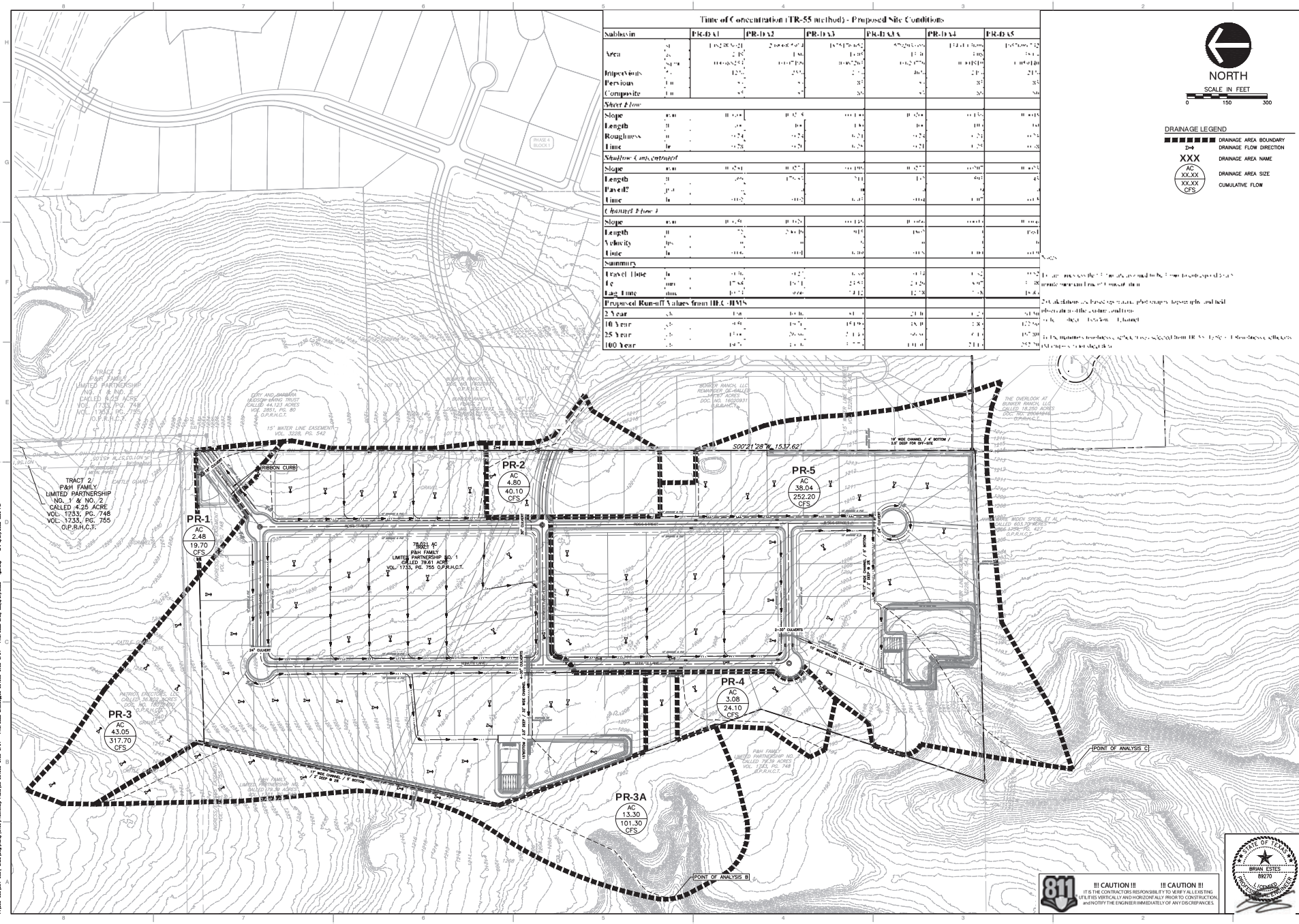
Notes

1. [illegible] to be [illegible] to be [illegible] [illegible] [illegible] [illegible] [illegible] [illegible] [illegible]

2. Calculations are based on [illegible] plot images, topographic and field observations of the existing conditions.

3. [illegible] TR-55 Tc - Unpaved.

4. Tc for impervious surfaces, which were selected from TR-55 Tc - Paved Sheet, [illegible] All values were rounded up.



REVISION RECORD

NO	DATE	DESCRIPTION

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www.cecinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

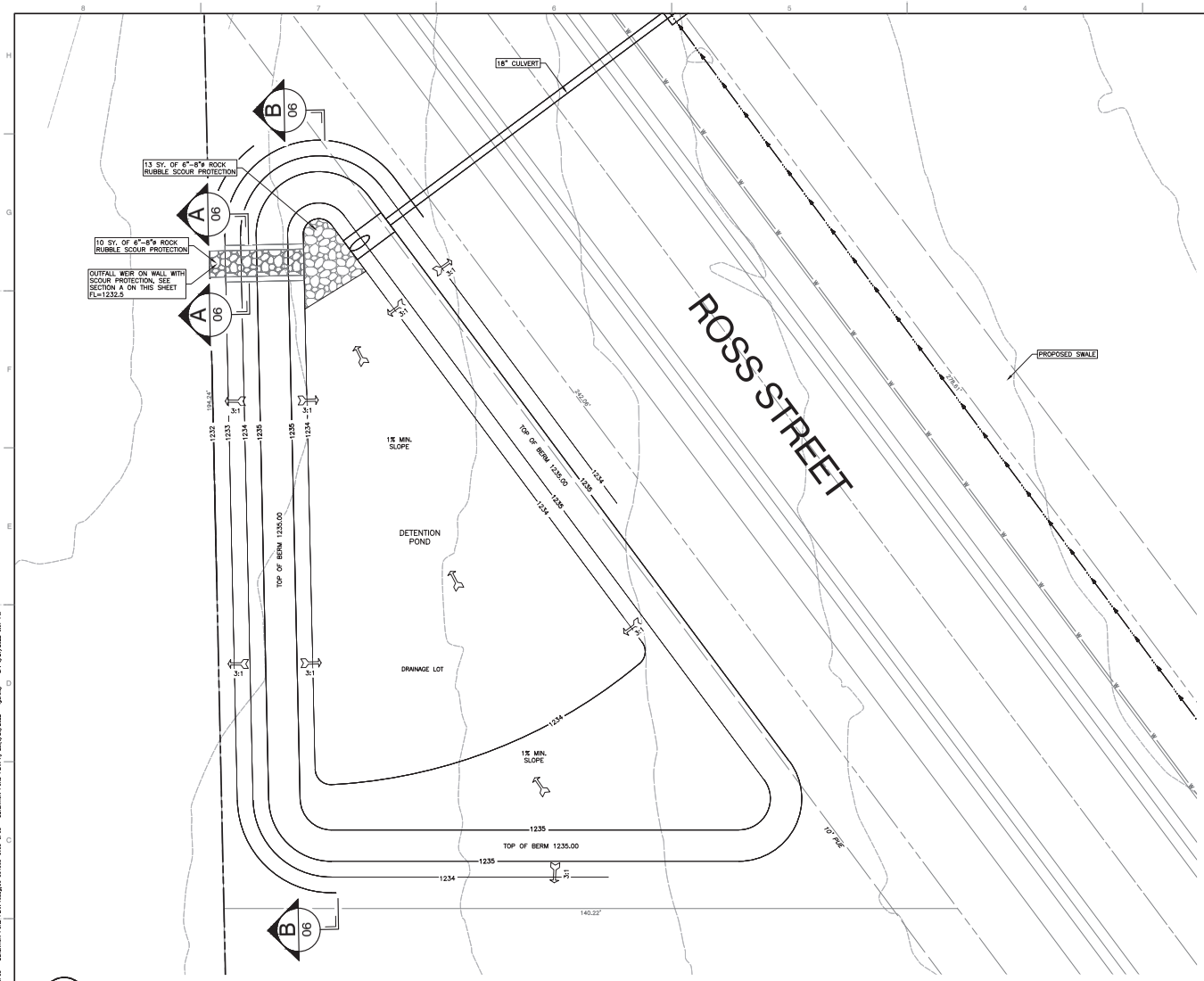
PROPOSED DRAINAGE AREA MAP

DATE:	6.23.2022	DRAWN BY:	STAFF
DWG SCALE:	1" = 150'	CHECKED BY:	MSC
PROJECT NO:			304-065
APPROVED BY:			BE

DRAWING NO.: 05

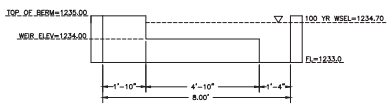
SHEET 9

Item 2.



P POND - DETENTION POND A

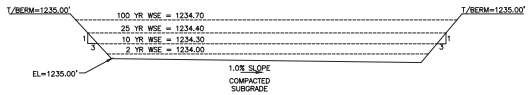
SCALE: 1"=10'



A OUTFALL CROSS SECTION - DETENTION POND A

SCALE: NTS

SEE PLAN FOR DIMENSIONS



B DETENTION POND A SECTION

SCALE: NTS

NOTES:

1. EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED [ECM 1.6.3(B)(4)].
2. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS. SIDE SLOPES FOR EARTHEN EMBANKMENTS SHALL NOT EXCEED THREE TO ONE (3H:1V). ROCK SLOPES MAY EXCEED THESE LIMITS IF A GEOTECHNICAL REPORT WARRANTS A DEVIATION. ACTUAL FIELD CONDITIONS MAY OVERRIDE THE GEOTECHNICAL REPORT. CONCRETE WALLS SHALL BE BUILT TO COA STANDARD SPECIFICATIONS. EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED.

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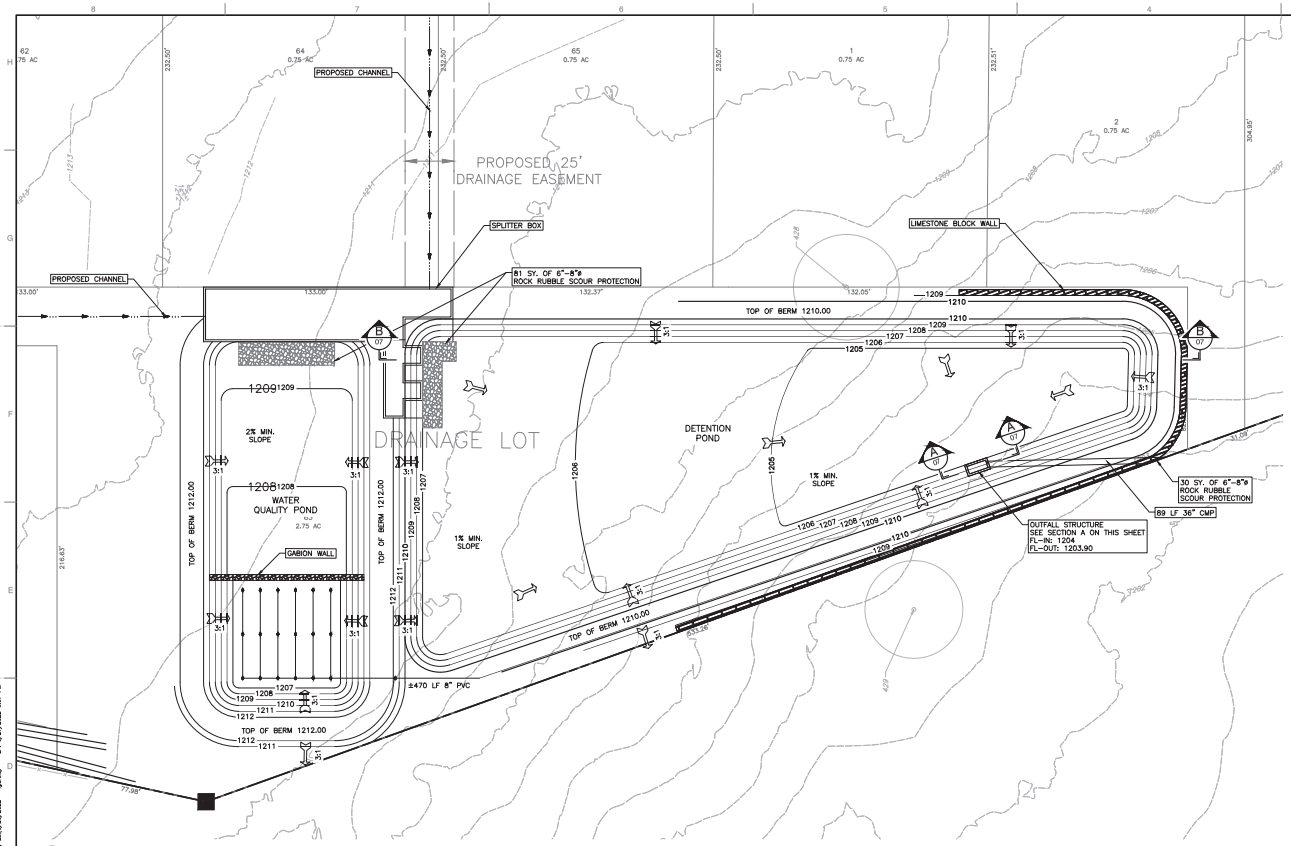
www.cecinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

DETENTION POND PLAN A

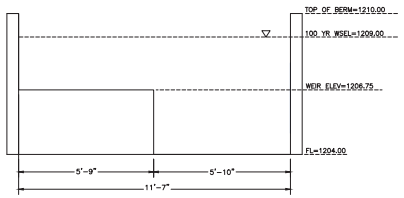
DATE:	6.23.2022	DRAWN BY:	GU
DWG SCALE:	1"=10'	CHECKED BY:	MSC
PROJECT NO:			304-065
APPROVED BY:			BE

DRAWING NO.: 06
SHEET 9



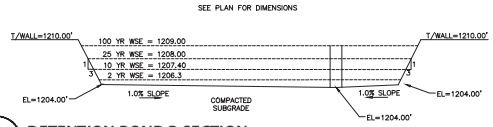
P POND - DETENTION POND B

SCALE: 1"=30'



A OUTFALL CROSS SECTION - DETENTION POND B

SCALE: NTS



B DETENTION POND B SECTION

SCALE: NTS

NORTH

SCALE IN FEET

0 30 60

NOTES:

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811 !! CAUTION !! !! CAUTION !! IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

STATE OF TEXAS BRIAN ESTES 89270 LICENSED PROFESSIONAL ENGINEER

REVISION RECORD

NO.	DATE	DESCRIPTION

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Ph: 512.439.0400 · Fax: 512.329.0096
www.cecinc.com

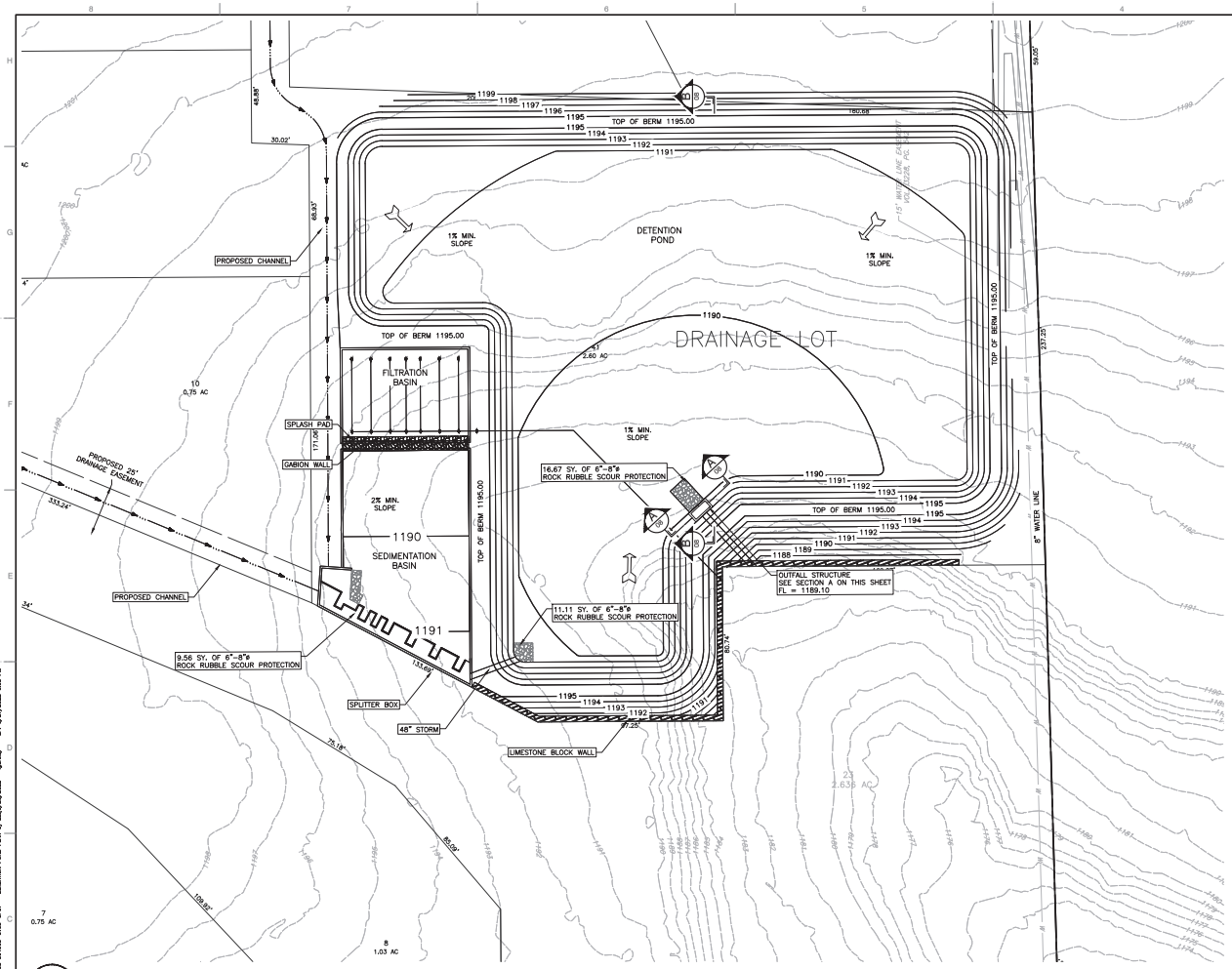
HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

DETENTION POND PLAN B

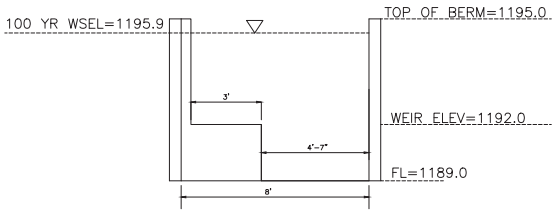
DATE:	6.23.2022
DWG SCALE:	1"=30'
DRAWN BY:	GU
CHECKED BY:	MSC
PROJECT NO:	304-065
APPROVED BY:	BE

DRAWING NO.: 07

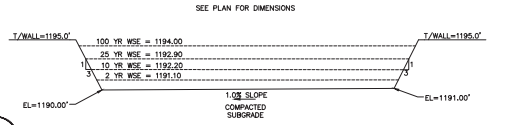
SHEET 9



P POND - DETENTION POND C
SCALE: 1"=30'



A OUTFALL CROSS SECTION - DETENTION POND C
SCALE: NTS



B DETENTION POND C SECTION
SCALE: NTS

NORTH

SCALE IN FEET 0 30 60

Existing and Proposed Conditions at Points of Analysis

	Existing Drainage Area	Proposed Drainage Area
	Ex. Point of Analysis	Pr. Point of Analysis
[illegible]	[illegible]	[illegible]
2-Yr Peak Discharge, Q_2	[illegible]	[illegible]
10-Yr Peak Discharge, Q_{10}	[illegible]	[illegible]
25-Yr Peak Discharge, Q_{25}	[illegible]	[illegible]
100-Yr Peak Discharge Q_{100}	[illegible]	[illegible]

Detention Pond Values from HEC-HMS Hydrologic Modeling Software

Storm Event	Q Existing	Q Proposed	PR POND Routed Inflow	Max Elevation
2-yr	[illegible]	[illegible]	[illegible]	[illegible]
10-yr	[illegible]	[illegible]	[illegible]	[illegible]
25-yr	[illegible]	[illegible]	[illegible]	[illegible]
100-yr	[illegible]	[illegible]	[illegible]	[illegible]

Detention Pond Stage Values

Stage	Area (ft²)	Area (ac)	Volume (ac-ft)	Total Volume (ac-ft)	Area (ac)
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

NOTES:

1. EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED [ECM 1.6.3(B)(4)].
2. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY–FIVE (95) PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS. SIDE SLOPES FOR EARTHEN EMBANKMENTS SHALL NOT EXCEED THREE TO ONE (3H:1V). ROCK SLOPES MAY EXCEED THESE LIMITS IF A GEOTECHNICAL REPORT WARRANTS A DEVIATION. ACTUAL FIELD CONDITIONS MAY OVERRIDE THE GEOTECHNICAL REPORT. CONCRETE WALLS SHALL BE BUILT TO COA STANDARD SPECIFICATIONS. EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED.

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STATE OF TEXAS BRIAN ESTES 89270 LICENSED PROFESSIONAL ENGINEER

REVISION RECORD

NO	DATE	DESCRIPTION

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www.cecinc.com

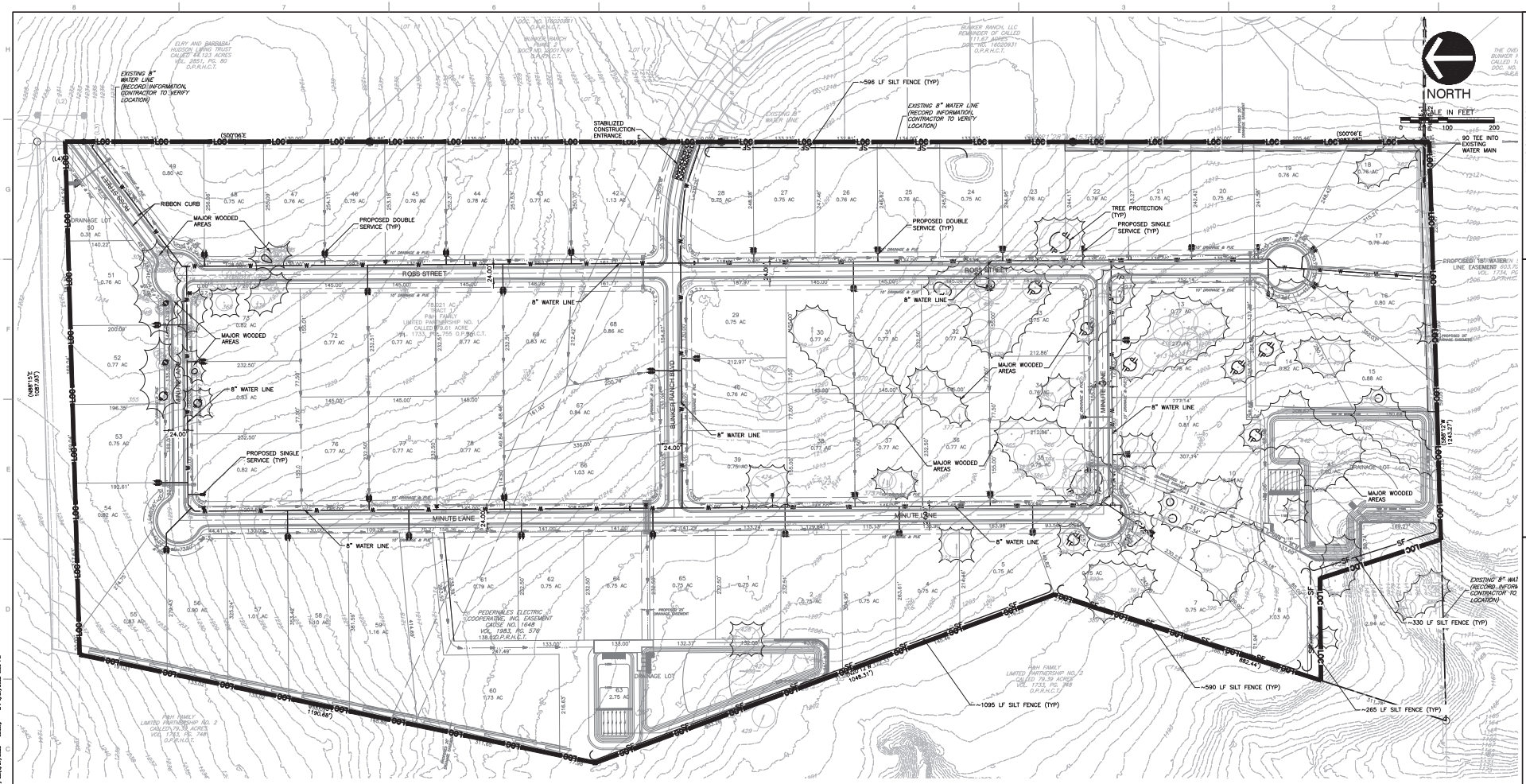
HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

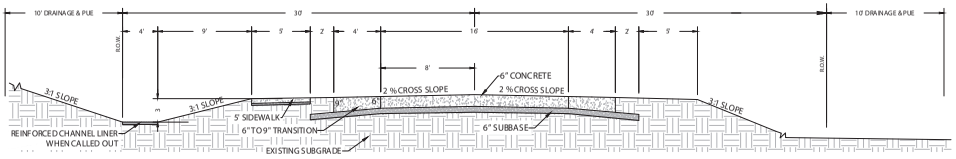
DETENTION POND PLAN C

DATE:	6.23.2022	STAFF
DWG SCALE:	1"=30'	MSC
PROJECT NO:		304-065
APPROVED BY:		BE

DRAWING NO.: 08
SHEET 9

Item 2.





TYPICAL ROAD SECTION

NOTE:

1. TYPICAL SECTION IS NOT TO SCALE.
2. FOR EXACT WIDTHS SEE DIMENSIONS.
3. ROADWAY ALIGNMENT IS SUBJECT TO CHANGE
4. PER GEO-TECHNICAL RECOMMENDATIONS AN ALTERNATIVE CMAC SECTION MAY BE USED.

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- W — WATER LINE
- COTTON SPINDLE FOUND
- 1/2-INCH IRON ROD SET WITH "CEC" CAP
- 1/2-INCH IRON ROD FOUND UNLESS OTHERWISE NOTED
- 6-INCH CEDAR FENCE POST
- DOC. NO. — DOCUMENT NUMBER
- VOL., PG. — VOLUME, PAGE
- O.P.R.H.C.T. — OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS
- SINGLE SERVICE METER
- DOUBLE SERVICE METER
- MAJOR WOODED AREAS

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BRIAN ESTES
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REVISION RECORD

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www.cecinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

WATER & E&S PLAN

DATE:	06/27/2022
DWG SCALE:	1"=100'
PROJECT NO:	304-065
DRAWN BY:	STAFF
CHECKED BY:	MSC
APPROVED BY:	BE

DRAWING NO.: 09
SHEET 9

DRIPPING SPRINGS
Texas

Permit Number: **SUB2021-0073**
Project Name: **Hardy South Preliminary Plat**
Project Address: **2901 W US 290, Dripping Springs, TX 78620**

City Planner Comments
The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

1. To meet block perimeter requirements, a stub street to the west of the Hardy Tract will be required *Comment previously not addressed*. (11.12)

2. Provide a note stating that the final plat shall not be recorded until a secondary means of egress is constructed and accepted by the City. (D107.2)

Engineer/Public Works Comments
The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email cgilpin@cityofdrippingsprings.com.

3. Update cover sheet note 1 & 2 to clarify compliance with the Fire Code. Including language that "no vertical construction of buildings may occur without completed fire access roads and water supply". Fire Marshall may provide more specific language in his review. Relevant Fire Code Section is copied below for your reference:

   Section 501.4 Timing of Installation is amended to provide as follows: When fire apparatus access roads or a water supply for fire protection is required to be installed for any structure or development. they shall be installed, tested. and approved prior to the time of which construction has progressed beyond completion of the foundation of any structure.

4. Delineate the WQBZ and local floodplain associated with the creek at the southwest corner of the property. [Preliminary Plat Information Requirements][WQO 22.05.017] [Hays County Development Regulations 3.07(B)]

5. It looks like lots in drainage area PR-4 and southern portion of PR-5 are being released west to the adjacent property without water quality requirements being met. Clarify how water quality requirements will be achieved for stormwater discharges. [WQO 22.05]

6. Show lot numbers on the proposed drainage plan. [Preliminary Plat Information Requirements]

7. Show sidewalks on both sides of street typical section. Show sidewalks in Plan view. [Preliminary Plat Information Requirements].

8. With the requested street stub to the west stub out the public water main to the west. [Sub Ord 18.2.3]

9. Provide a construction traffic plan showing [proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction. [Preliminary Plat Information Requirements]

10. Label ROW width on Preliminary Plat [Preliminary Plat Information Requirements].

11. Provide a sheet showing the proposed extension of Ross Street to US290. Sheet should include ROW or easement width, pavement width, schematic drainage infrastructure and required sidewalks. [Preliminary Plat Information Requirements].

Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email dpolk@northhaysfire.com.

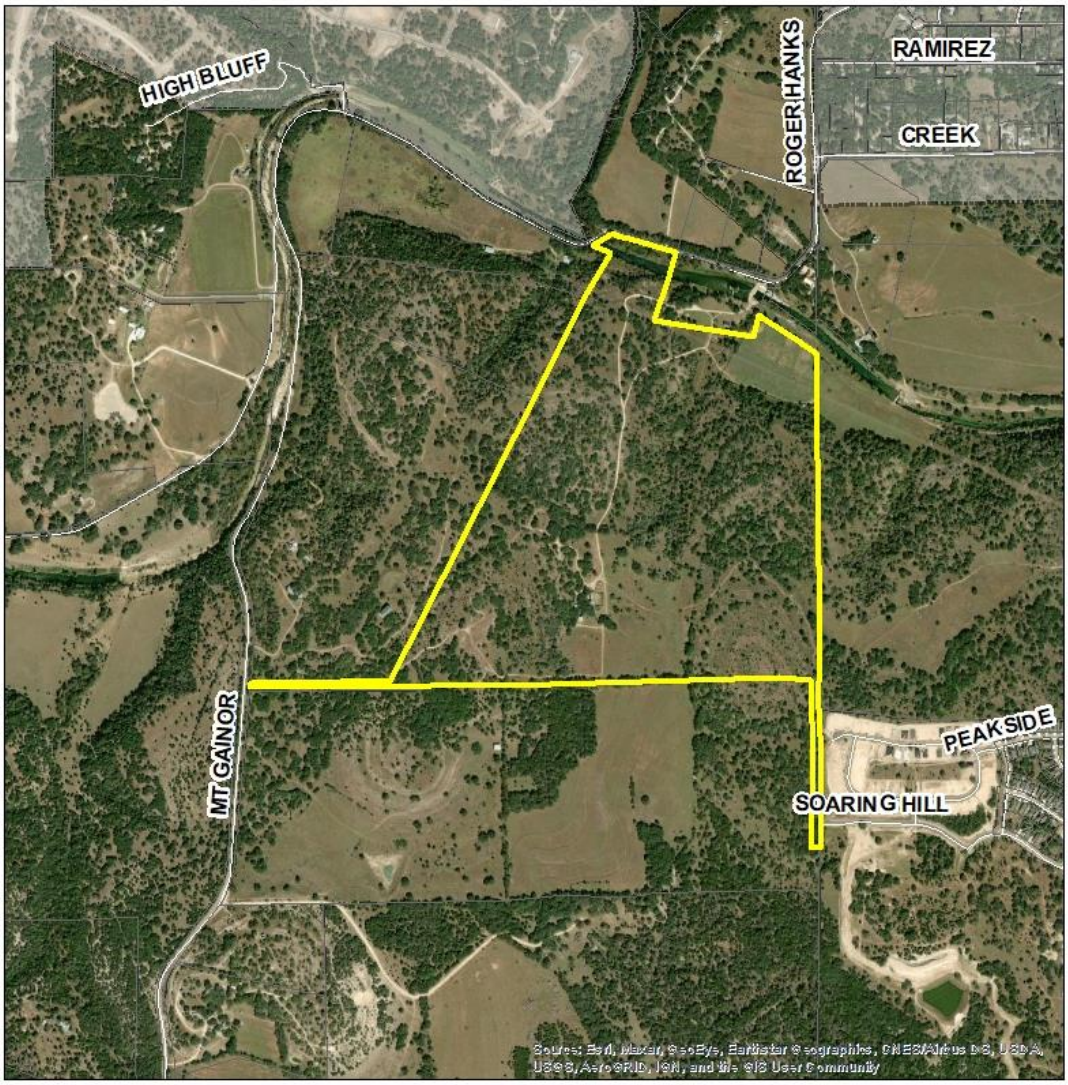
12. We approve the plat with the following conditions no structure my progress above a foundation with out acceptance of secondary means of egress to meet remoteness requirements

13. Section 501.4 Timing of Installation is amended to provide as follows: When fire apparatus access roads or a water supply for fire protection is required to be installed before any structure or development, they shall be installed, tested, and approved prior to the time of which construction has progressed beyond completion of the foundation of any structure.

14. D107.2 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

Planning and Zoning Commission
Planning Department Staff Report

Planning and Zoning Commission Meeting:	July 26, 2022
Project No:	SUB2022-0033
Project Planner:	Tory Carpenter, AICP - Senior Planner
Item Details	
Project Name:	The Ranch at Caliterra Preliminary Plat
Property Location:	West of the Caliterra development
Legal Description:	200.025 acres out of the Benjamin F, Hanna Survey
Applicant:	Bill E. Couch, Carlson Brigance and Doering, Inc.
Property Owner:	CF CSLK Carter, LLC
Staff recommendation:	Denial of the Preliminary Plat to address outstanding comments



Location Map

Ranch at Caliterra Preliminary Plat

Roads
Parcel Lines
City Limits
Full Purpose

N

0 400 800 1,600 Feet

Planning Department Staff Report

Overview

This preliminary plat consists of 233 single-family lots.

Access and Transportation

Primary access to the subdivision will be through Caliterra Parkway.

Site Information

Location: West of the Caliterra subdivision with access to Mount Gainer Road.

Zoning Designation: ETJ / Caliterra Development Agreement

Property History

The restated Caliterra development agreement was approved in 2017.

Recommendation

Denial to address comments.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Denial of the preliminary plat
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A

CITY OF DRIPPING SPRINGS

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

• 512.858.4725 • www.cityofdrippingsprings.com

PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____-____

MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION	PRE-APPLICATION CONFERENCE
DATE: _____	DATE: 8-28-21
☐ NOT SCHEDULED	☐ NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Bill E. Couch

COMPANY Carlson, Brigance and Doering, Inc.

STREET ADDRESS 5501 W. William Cannon Drive

CITY Austin STATE TX ZIP CODE 78749

PHONE (512) 585-8874 EMAIL bill@cbdeng.com

OWNER NAME Greg Rich

COMPANY CF CSLK Carter, LLC.

STREET ADDRESS 12222 Merit Drive, Suite 1050

CITY Dallas STATE TX ZIP CODE 78251

PHONE (972) 960-2777 Ext. 103 EMAIL Greg Rich (grich@siepiela.com)

PROPERTY INFORMATION	
PROPERTY OWNER NAME	CF CSLK Carter, LLC.
PROPERTY ADDRESS	Premier Park Loop
CURRENT LEGAL DESCRIPTION	Benjamin F, Hanna Survey Number 28 Abstract Number 222
TAX ID #	R16412
LOCATED IN	☐ City Limits ☑ Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	200.025
SCHOOL DISTRICT	Dripping Springs Independent School District
ESD DISTRICT(S)	6
ZONING/PDD/OVERLAY	NA
EXISTING ROAD FRONTAGE	☐ Private Name: Greg Rich (CF CSLK Carter, LLC.) ☐ State Name: _____ ☐ City/County (public) Name: Caliterra Pkwy
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	☑ Yes (see attached) ☐ Not Applicable Development Agreement Name: Carter Development Agreement

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	☐ YES ☑ NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	☑ YES ☐ NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	☐ YES ☑ NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	The Ranch at Caliterra
TOTAL ACREAGE OF DEVELOPMENT	200.025 acres
TOTAL NUMBER OF LOTS	243
AVERAGE SIZE OF LOTS	15,660
INTENDED USE OF LOTS	☑ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAL/OTHER:_____
# OF LOTS PER USE	RESIDENTIAL: 233 COMMERCIAL: 0 INDUSTRIAL: 0
ACREAGE PER USE	RESIDENTIAL: 84.837 COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: 19,981 PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	☐ CONVENTIONAL SEPTIC SYSTEM ☐ CLASS I (AEROBIC) PERMITTED SYSTEM ☑ PUBLIC SEWER
WATER SOURCES	**SURFACE WATER** ☑ PUBLIC WATER SUPPLY ☐ RAIN WATER **GROUND WATER*** ☐ PUBLIC WELL ☐ SHARED WELL ☐ PUBLIC WATER SUPPLY

*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:

HAYS-TRINITY GCD NOTIFIED? ☐ YES ☑ NO

COMMENTS: _____

TITLE: Sr. Project Manager **SIGNATURE:** _____

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative

☑ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

WATER PROVIDER NAME (if applicable): Dripping Springs Water Supply Cooperation

☑ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): City of Dripping Springs

☑ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

GAS PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
☑ YES ☐ NOT APPLICABLE	☐ YES ☐ NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

☑ YES (REQUIRED) ☐ YES (VOLUNTARY*) ☐ NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Bill E. Couch

Applicant Name

Bill E. Couch

6-16-22

Applicant Signature

Date

Notary Susan O. Martin

Date 06/16/2022

Notary Stamp Here

SUSAN O MARTIN
Notary Public, State of Texas
My Commission Expires
November 07, 2023
NOTARY ID 1042593-4

Property Owner Name

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: _____ **Date:** 6-16-22

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST

Subdivision Ordinance, Section 4

STAFF	APPLICANT	
☐	☑	Completed application form – including all required notarized signatures
☐	☑	Application fee (refer to Fee Schedule)
☐	☑	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
☐	☑	Digital Data (GIS) of Subdivision
☐	☑	County Application Submittal – proof of online submission (if applicable)
☐	☑	ESD No. 6 Application (if applicable)
☐	☑	$240 Fee for ESD No. 6 Application (if applicable)
☐	☑	Billing Contract Form
☐	☑	Engineer's Summary Report
☐	☑	Preliminary Drainage Study
☐	☑	Preliminary Plats (1 Copy required – 11 x 17)
☐	☑	Tax Certificates – verifying that property taxes are current
☐	☑	Copy of Notice Letter to the School District – notifying of preliminary submittal
☐	☑	Outdoor Lighting Ordinance Compliance Agreement
☐	☑	Development Agreement/PDD (If applicable)
☐	☑	Utility Service Provider "Will Serve" Letters
☐	☐	Documentation showing approval of driveway locations (TxDOT, County,)
☐	☐	Documentation showing Hays County 911 addressing approval (if applicable)

☐	☑	Parkland Dedication Submittal (narrative, fees) See Development Agrmt
☐	☑	$25 Public Notice Sign Fee
☐	☑	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
☐	☐	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
☐	☐	OSSF Facility Planning Report or approved OSSF permit *(if applicable)*
☐	☐	Hays Trinity Groundwater Conservation District approval of water well (*if applicable*)
☐	☑	Preliminary Conference Form signed by City Staff
PRELIMINARY PLAT INFORMATION REQUIREMENTS		
☐	☑	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
☐	☑	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
☐	☑	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
☐	☑	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)

☐	☑	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
☐	☑	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
☐	☑	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
☐	☑	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
☐	☑	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
☐	☑	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
☐	☑	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
☐	☑	All physical features of the property to be subdivided shall be shown, including: - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and

		- Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
☐	☑	Provide notes identifying the following: • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
☐	☐	Schematic Engineering plans of water and sewer lines and other infrastructure (including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated

☐	☐	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
☐	☑	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
☐	☐	Existing zoning of the subject property and all adjacent properties if within the city limits.
☐	☐	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
☐	☐	Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
☐	☐	If any amount of surface water is to be used by the subject property, the Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant's plans for the

		project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).

NARRATIVE OF COMPLIANCE	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	Comply per Develoment Agreement
Parkland Dedication, Article 28.03	Comply per Develoment Agreement
Landscaping and Tree Preservation, Article 28.06	Comply per Develoment Agreement

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable). Comply per Development Agreement consistent with City, County, Utility standards
Zoning, Article 30.02, Exhibit A	NA Development Agreement

Received on/by: _____

Project Number: _____-_____
Only filled out by staff

Date, initials

BILLING CONTACT FORM

Project Name: The Ranch at Caliterra

Project Address: _____

Project Applicant Name: Bill E. Couch

Billing Contact Information

Name: Greg Rich (CF CSLK Carter, LLC.)

Mailing Address: 12222 Merit Drive, Suite 1020
Dallas, Texas 75251

Email: grich@siepiela.com Phone Number: (972) 960-2777

Type of Project/Application (check all that apply):

- ☐ Alternative Standard
- ☐ Certificate of Appropriateness
- ☐ Conditional Use Permit
- ☑ Development Agreement
- ☑ Exterior Design
- ☐ Landscape Plan
- ☐ Lighting Plan
- ☑ Site Development Permit
- ☐ Special Exception
- ☐ Street Closure Permit
- ☑ Subdivision
- ☐ Waiver
- ☐ Wastewater Service
- ☐ Variance
- ☑ Zoning
- ☐ Other_____

Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. ***Please see the online Master Fee Schedule for more details.*** *By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

Bill E. Couch
Signature of Applicant

6-16-22
Date

THE RANCH AT CALITERRA

PRELIMINARY PLAN

SINGLE FAMILY LOT SQUARE FOOTAGE AND ACREAGE TABLES

BLOCK	LOT	SQ.FT.	ACRES
A	1	16,628	0.38
A	2	16,794	0.39
A	3	15,268	0.35
A	4	15,726	0.36
A	5	14,850	0.34
A	6	11,936	0.27
A	7	11,936	0.27
A	8	11,113	0.26
A	9	10,800	0.25
A	10	12,016	0.28
TOTALS		137,067	3.15

BLOCK	LOT	SQ.FT.	ACRES
B	1	11,205	0.26
B	2	11,205	0.26
B	3	11,205	0.26
B	4	11,205	0.26
B	5	11,205	0.26
B	6	11,205	0.26
B	7	11,205	0.26
B	8	11,205	0.26
B	9	11,107	0.25
B	10	10,843	0.25
B	11	11,110	0.26
B	12	13,076	0.30
B	13	25,878	0.59
B	14	13,421	0.31
B	15	10,800	0.25
B	16	10,800	0.25
TOTALS		196,675	4.52

BLOCK	LOT	SQ.FT.	ACRES
C	1	12,756	0.29
C	2	16,496	0.38
C	3	12,397	0.28
C	4	12,979	0.30
C	5	11,782	0.27
C	6	10,800	0.25
C	7	10,800	0.25
C	8	10,800	0.25
C	9	10,800	0.25
C	10	10,800	0.25
C	11	10,800	0.25
C	12	10,800	0.25
C	13	10,800	0.25
C	14	10,800	0.25
C	15	10,800	0.25
C	16	10,800	0.25
C	17	10,800	0.25
C	18	11,016	0.25
C	19	10,800	0.25
C	20	11,877	0.27
C	21	13,147	0.30
C	22	13,147	0.30
C	23	13,147	0.30
C	24	12,856	0.30
C	25	10,800	0.25
C	26	10,800	0.25
C	27	10,800	0.25
C	28	10,800	0.25
C	29	10,800	0.25
C	30	12,686	0.29
C	31	14,176	0.33
C	32	14,738	0.34
C	33	12,132	0.28
C	34	11,539	0.26
C	35	13,434	0.31
C	36	12,182	0.28
C	37	13,285	0.30
C	38	13,732	0.32
C	39	10,989	0.25
C	40	11,585	0.27
C	41	12,389	0.28
C	42	16,778	0.39
C	43	20,546	0.47
C	44	26,729	0.61
C	45	16,778	0.39
C	46	12,631	0.29
C	47	12,947	0.30
C	48	12,947	0.30
C	49	12,935	0.30
C	50	13,475	0.31
C	51	24,675	0.57
C	52	12,120	0.28
C	53	11,993	0.28
C	54	12,247	0.28
C	55	10,959	0.25
C	56	13,272	0.30
C	57	11,083	0.25
C	58	10,800	0.25
C	59	10,800	0.25
TOTALS		752,582	17.28

BLOCK	LOT	SQ.FT.	ACRES
D	1	13,600	0.31
D	2	13,600	0.31
D	3	13,600	0.31
D	4	13,638	0.31
D	5	13,367	0.31
D	6	13,442	0.31
D	7	13,517	0.31
D	8	13,592	0.31
D	9	13,517	0.31
D	10	14,632	0.34
D	11	17,966	0.41
D	12	23,090	0.53
D	13	21,752	0.50
D	14	20,997	0.48
D	15	19,655	0.45
D	16	22,852	0.52
D	17	21,697	0.50
D	18	31,157	0.72
D	19	24,095	0.55
D	21	18,520	0.43
D	22	18,637	0.43
D	23	18,754	0.43
D	24	18,871	0.43
D	25	24,642	0.57
D	26	32,869	0.75
D	27	38,654	0.89
D	28	24,860	0.57
D	29	17,881	0.41
D	30	14,303	0.33
D	31	18,756	0.43
D	32	28,677	0.66
D	33	28,953	0.66
D	34	25,611	0.59
D	35	34,496	0.79
D	36	30,949	0.71
D	37	18,750	0.43
D	38	19,422	0.45
D	39	24,414	0.56
D	40	23,513	0.54
D	41	22,740	0.52
D	42	19,776	0.45
D	43	18,750	0.43
D	44	18,750	0.43
D	45	18,750	0.43
D	46	18,750	0.43
D	47	18,750	0.43
D	48	19,843	0.46
D	49	20,537	0.47
D	50	19,341	0.44
D	51	18,918	0.43
D	52	22,348	0.51
D	53	16,811	0.39
D	54	14,500	0.33
D	55	14,500	0.33
D	56	15,686	0.36
D	57	15,304	0.35
D	58	18,282	0.42
D	59	19,381	0.44
D	60	20,922	0.48
D	61	19,759	0.45
D	62	21,051	0.48
D	63	29,644	0.68
D	64	22,294	0.51
D	65	22,295	0.51
D	66	22,517	0.52
D	67	22,947	0.53
D	68	14,905	0.34
D	69	15,004	0.34
D	70	15,006	0.34
D	71	15,009	0.34
D	72	16,020	0.37
D	73	15,457	0.35
D	74	15,000	0.34
D	75	15,000	0.34
D	76	33,425	0.77
TOTALS		1,509,270	34.65

BLOCK	LOT	SQ.FT.	ACRES
E	1	10,800	0.25
E	2	10,802	0.25
E	3	10,859	0.25
E	4	11,705	0.27
E	5	11,589	0.27
E	6	10,800	0.25
E	7	10,800	0.25
E	8	11,906	0.27
E	9	12,903	0.30
E	10	13,220	0.30
E	11	12,298	0.28
E	12	11,985	0.28
E	13	10,801	0.25
E	14	10,801	0.25
E	15	10,801	0.25
E	16	10,754	0.25
TOTALS		182,824	4.20

BLOCK	LOT	SQ.FT.	ACRES
F	1	17,116	0.39
F	2	15,000	0.34
F	3	15,000	0.34
F	4	15,000	0.34
F	5	15,000	0.34
F	6	15,000	0.34
F	7	16,060	0.37
F	8	15,017	0.34
F	9	15,017	0.34
F	10	10,807	0.25
F	11	10,820	0.25
F	12	11,432	0.26
F	13	13,136	0.30
F	14	13,142	0.30
F	15	12,815	0.29
F	16	12,389	0.28
F	17	10,800	0.25
F	18	10,800	0.25
F	19	10,800	0.25
F	20	10,800	0.25
F	21	10,800	0.25
F	22	11,469	0.26
F	23	12,751	0.29
F	24	12,756	0.29
F	25	11,526	0.26
F	26	10,839	0.25
TOTALS		336,092	7.72

BLOCK	LOT	SQ.FT.	ACRES
G	1	15,714	0.36
G	2	15,795	0.36
G	3	15,795	0.36
G	4	15,795	0.36
G	5	16,614	0.38
G	6	28,163	0.65
G	7	25,198	0.58
G	8	22,628	0.52
G	9	21,764	0.50
TOTALS		177,466	4.07

BLOCK	LOT	SQ.FT.	ACRES
H	1	17,729	0.41
H	2	14,175	0.33
H	3	14,175	0.33
H	4	14,175	0.33
H	5	17,053	0.39
H	6	15,695	0.36
H	7	14,850	0.34
H	8	15,100	0.35
H	9	14,850	0.34
H	10	16,336	0.38
TOTALS		154,138	3.54

BLOCK	LOT	SQ.FT.	ACRES
I	1	15,690	0.36
I	2	14,310	0.33
I	3	14,310	0.33
I	4	14,422	0.33
I	5	17,500	0.40
I	6	23,800	0.55
I	7	27,800	0.64
I	8	30,164	0.69
I	9	14,716	0.34
I	10	13,692	0.31
I	11	16,259	0.37
TOTALS		202,663	4.65

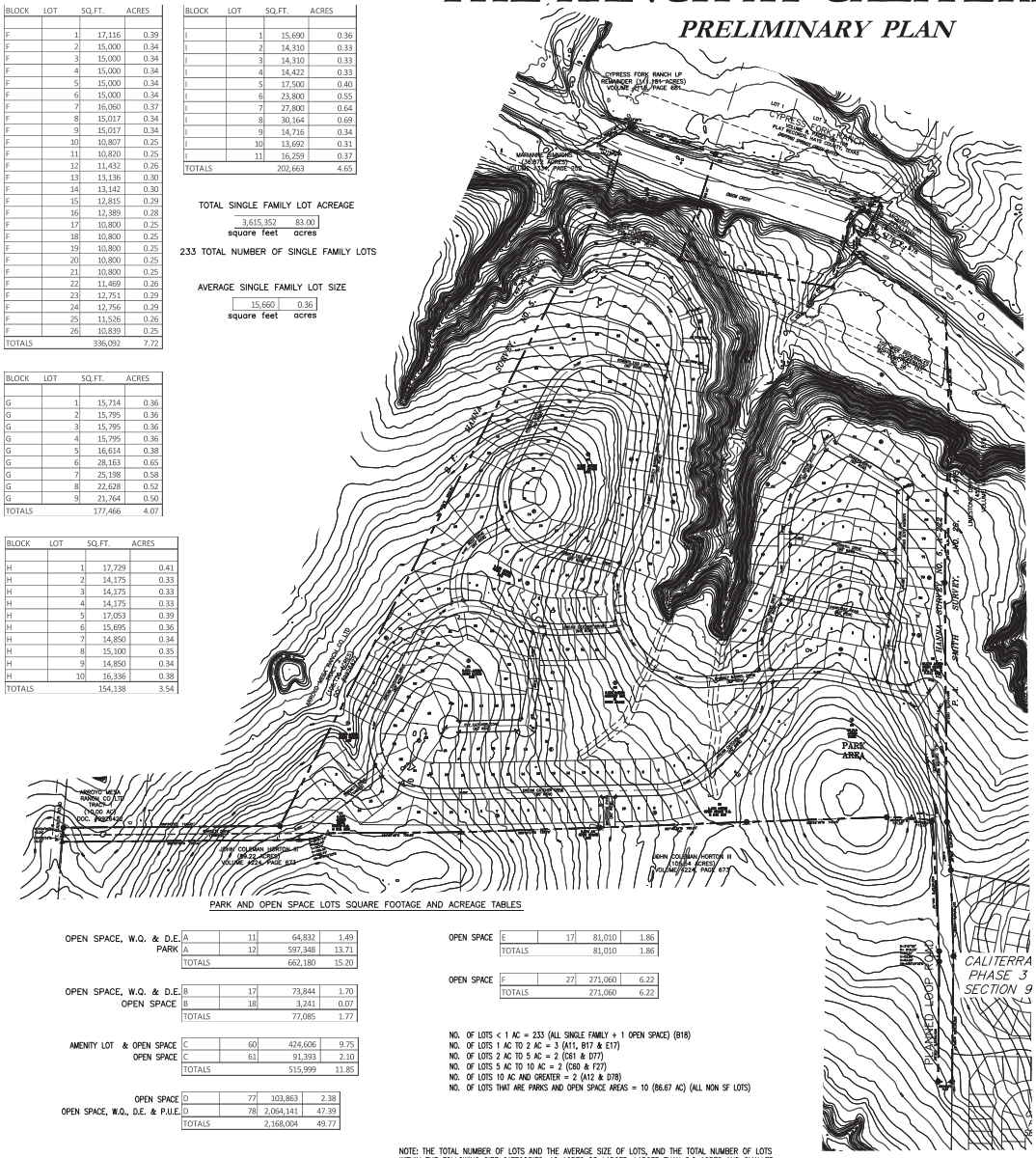
TOTAL SINGLE FAMILY LOT ACREAGE

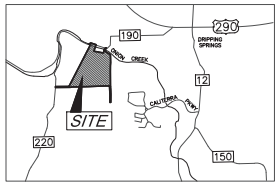
3,615,352	83.00
square feet	acres

233 TOTAL NUMBER OF SINGLE FAMILY LOTS

AVERAGE SINGLE FAMILY LOT SIZE

15,660	0.36
square feet	acres





VICINITY MAP
(N.T.S.)

0 150' 300' 600'
SCALE: 1" = 300'

LEGEND

17	LOT NUMBER
(A)	BLOCK LETTER
	PROPERTY LINE
	EASEMENT LINE
	NEW CREEK BUFFER

ORIGINAL SUBMITTAL DATE: MAY 27, 2022
TOTAL ACREAGE: 200.025 ACRES
FEMA MAP NO: 48209C-0115F,
DATED SEPTEMBER 2, 2005

TOTAL NO. OF LOTS: 243
NO. OF BLOCKS: 9
NO. OF SINGLE FAMILY RESIDENTIAL LOTS: 233
NO. OF OPEN SPACE LOTS: 5
NO. OF OPEN SPACE, W.Q. & D.E. LOT: 2
NO. OF OPEN SPACE, W.Q., D.E. & P.U.E. LOTS: 1
NO. OF PARK LOTS: 1
NO. OF AMENITY CENTER & OPEN SPACE LOTS: 1

TOTAL LINEAR FOOTAGE OF STREETS: 19,981 LF

DATE: MAY 31, 2022
FEMA PANEL NO. 48209C-0115F
EFFECTIVE DATE: SEPTEMBER 2, 2005

OWNER: DEVELOPMENT SOLUTIONS CAT, LLC.
901 IDS CENTER
80 SOUTH 8TH STREET
MINNEAPOLIS, MINNESOTA 55402

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TX 78749
PHONE: 512-280-5160
FAX: 512-280-5165

LINEAR FOOTAGE OF RIGHT-OF-WAY

H.C. CARTER WAY	(MINOR ARTERIAL)	R.O.W. VARIES	1,889'	3.706	AC.
WHISKEY BARREL DRIVE	(RESIDENTIAL COLLECTOR)	60' R.O.W.	3,970'	5.854	AC.
BARNETT DRIVE	(LOCAL STREET)	60' R.O.W.	1,809'	2.492	AC.
BIRDHOUSE LANE	(LOCAL STREET)	60' R.O.W.	192'	0.264	AC.
BROOKHILL DRIVE	(LOCAL STREET)	60' R.O.W.	631'	0.799	AC.
DREAM CATCHER DRIVE	(LOCAL STREET)	60' R.O.W.	4,327'	5.960	AC.
FLY CATCHER COVE	(LOCAL STREET)	60' R.O.W.	929'	1.517	AC.
GARDEN GATE DRIVE	(LOCAL STREET)	60' R.O.W.	1,060'	1.467	AC.
HAWKTREE ROAD	(LOCAL STREET)	60' R.O.W.	641'	0.813	AC.
HICKORY GROVE DRIVE	(LOCAL STREET)	60' R.O.W.	1,311'	1.820	AC.
PICKENS DRIVE	(LOCAL STREET)	60' R.O.W.	486'	0.761	AC.
RICH DRIVE	(LOCAL STREET)	60' R.O.W.	590'	0.813	AC.
ROBIN'S EGG LANE	(LOCAL STREET)	60' R.O.W.	2,146'	2.956	AC.
TOTALS			19,981'	28.518	AC.

PARK AND OPEN SPACE LOTS SQUARE FOOTAGE AND ACREAGE TABLES

OPEN SPACE, W.Q. & D.E.	A	11	64,832	1.49
PARK	A	12	597,348	13.71
	TOTALS		662,180	15.20

OPEN SPACE, W.Q. & D.E.	B	17	73,844	1.70
OPEN SPACE	B	18	3,241	0.07
	TOTALS		77,085	1.77

AMENITY LOT & OPEN SPACE	C	60	424,606	9.75
OPEN SPACE	C	61	91,393	2.10
	TOTALS		515,999	11.85

OPEN SPACE	D	77	103,863	2.38
OPEN SPACE, W.Q., D.E. & P.U.E.	D	78	2,064,141	47.39
	TOTALS		2,168,004	49.77

OPEN SPACE	E	17	81,010	1.86
	TOTALS		81,010	1.86

OPEN SPACE	F	27	271,060	6.22
	TOTALS		271,060	6.22

NO. OF LOTS < 1 AC = 233 (ALL SINGLE FAMILY + 1 OPEN SPACE) (B18)
NO. OF LOTS 1 AC TO 2 AC = 3 (A11, B17 & E17)
NO. OF LOTS 2 AC TO 5 AC = 2 (C61 & D77)
NO. OF LOTS 5 AC TO 10 AC = 2 (C60 & F27)
NO. OF LOTS 10 AC AND GREATER = 2 (A12 & D78)
NO. OF LOTS THAT ARE PARKS AND OPEN SPACE AREAS = 10 (86.67 AC) (ALL NON SF LOTS)

NOTE: THE TOTAL NUMBER OF LOTS AND THE AVERAGE SIZE OF LOTS, AND THE TOTAL NUMBER OF LOTS WITHIN THE FOLLOWING SIZE CATEGORIES: 10 ACRES OR LARGER, LARGER THAN 5.0 ACRES AND SMALLER THAN 10 ACRES, 2.00 ACRES OR LARGER UP TO 5.00 ACRES, LARGER THAN 1.00 ACRE AND SMALLER THAN 1.00 ACRE ARE SHOWN.

DESIGNED BY: OHD | DRAFTED BY: BL

DATE | REVISION

Carlson, Brigance & Doering, Inc.
Civil Engineering ◆ Surveying
FIRM ID #10791
Main Office: 5501 West William Cannon Dr. Austin, Texas 78749 Phone No. (512) 280-5160
Neon Office: 12129 Rivery Blvd. Suite 600 Austin, Texas 78750 www.cbdengr.com

SHEET NAME: PRELIMINARY PLAN
JOB NAME: THE RANCH AT CALITERRA OVERALL 300 SCALE
PROJECT: STREET, DRAINAGE, WATER, & WASTEWATER IMPROVEMENTS

6/17/2022
QUINN DUSEK
130416
LICENSED PROFESSIONAL ENGINEER
CARLSON, BRIGANCE & DOERING, INC.
Eng F3791

DATE: JUNE 2022
JOB NUMBER: 5079
SHEET: 1 OF 5

FILE PATH:J:\ACAD\5079\dwg\Preliminary Plan\5079-Preliminary Plan.dwg – Jun 17, 2022 – 2:04pm

THE RANCH AT CALITERRA

PRELIMINARY PLAN

200.025 ACRE
BENJAMIN F. HANNA SURVEY NUMBER 28, ABSTRACT NUMBER 222
HAYS COUNTY, TX

METES AND BOUNDS

BEING ALL OF THAT CERTAIN 200.025 ACRE TRACT OR PARCEL OF LAND OUT OF THE BENJAMIN F. HANNA SURVEY NUMBER 28, ABSTRACT NUMBER 222, SITUATED IN HAYS COUNTY, TEXAS, BEING MORE PARTICULARY DESCRIBED AS BEING COMPRISED OF ALL OF A CALLED 200.0 ACRE TRACT OF LAND CONVEYED TO CF CSLK CARTER LLC IN INSTRUMENT NUMBER 21069740, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS, SAID 200.025 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METESAND BOUNDS AS FOLLOWS:

BEGINNING, at a 1/2 inch iron rod found at a northern corner of sak 200.0 acre tract of land, being in the approximate centerline of Creek Road (R.O.W. Varies), same being at the northwest corner of a called 9.999 acre tract of land conveyed to De Ten Acres, LLC in Volume 5310, Page 510, Official Public Records of Hays County, Texas, for a northern corner and **POINT OF BEGINNING** of the herein described tract of land,

THENCE, with the common line of said 200.0 acre tract of land, and said 9.999 acre tract of land, the following six (6) courses and distances, numbered 1 through 6,

1) S18°29'24"W, a distance of 590.10 feet to a 1/2 inch iron rod found at the southwest corner of said 9.999 acre tract of land,
2) S79°34'56"E, a distance of 825.66 feet to a calculated point at the southeast corner of said 9.999 acre tract of land,
3) N14°05'29"E, a distance of 340.53 feet to a calculated point for corner,
4) N36°43'52"E, a distance of 86.64 feet to a calculated point for corner,
5) N84°10'19"E, a distance of 53.62 feet to a 1/2 inch iron rod foune for corner, and
6) N18°02'00"E, a distance of 39.24 feet to a 1/2 inch iron rod found at a northern corner of said 200.0 acre tract of land, being at the northeast corner of said 9.999 acre tract of land, same being in the approximate centerline of said Creek Road, for a northern corner of the herein described tract of land,

THENCE, S85°00'56"E, along the centerline of said Creek Road, and the north line of said 200.0 acre tract of land, a distance of 49.22 feet to a mag nail found at a northeastern corner of said 200.0 acre tract of land, being at a northwestern corner of a called 3.50 acre tract of land conveyed to Mickael Pfullman in Volume 4776, Page 578, Official Public Records of Hays County, Texas, for a northern corner of theherein described tract of land,

THENCE, with the common line of said 200.0 acre tract of land, and said 3.50 acre tract of land, the following two (2) courses and distances, numbered 1 and 2,

1) S27°39'26"W, a distance of 86.30 feet to a calculated point for corner, and
2) S27°38'18"W, a distance of 69.59 feet to a calculated point at the southwest corner of said 3.50 acre tract of land, being at an eastern corner of said 200.0 acre tract of land, same being in the approximate centerline of Onion Creek, also being in a northern line of a called 453.709 acre tract of land conveyed to Limestone – Dripping Springs, LLC in Volume 4438, Page 870, Official Public Records of Hays County, Texas, for an eastern corner of the herein described tract of land

THENCE, with the east line of said 200.0 acre tract of land, the west line of said 453.709 acre tract of land, the west line of Caliterra Phase Three Section Nine, a subdivision recorded in Instument Number 20015929, Official Public Records, Hays County, Texas, and the west line of a called 591.858 acre tract of land conveyed to Development Solutions Cat, LLC by deed recorded in Volume 4682, Page 342, Official Public Records, Hays County, Texas, the following eleven (11) courses and distances, numbered 1 through 11,

1) N64°15'54"W, a distance of 74.26 feet to a calculated point for corner,
2) S00°39'06"W, a distance of 150.00 feet to a mag nail found for corner,
3) S48°44'54"E, a distance of 77.39 feet to a calculated point for corner,
4) S57°10'44"E, a distance of 511.56 feet to a calculated point for corner,
5) S01°40'49"E, a distance of 671.45 feet to a 1/2 inch iron rod found for corner,

J: AC30\5079\SURVEY\FIELD NOTES\FN – 200.025 ACRES – CARTER TRACT .DOC

200.025 ACRE
BENJAMIN F. HANNA SURVEY NUMBER 28, ABSTRACT NUMBER 222
HAYS COUNTY, TX

6) S03°54'02"W, a distance of 279.61 feet to a 1/2 inch iron rod found for corner,
7) S00°47'12"W, a distance of 467.23 feet to a 1/2 inch iron rod found for corner,
8) S00°31'11"E, a distance of 1267.15 feet to a 1/2 inch iron rod found for corner,
9) S04°42'38"E, a distance of 256.49 feet to a 1/2 inch iron rod found at the northwest corner of said Caliterra Phase Three Section Nine,
10) S01°43'56"E, a distance of 455.97 feet to a 1/2 inch iron rod found for corner, and
11) S00°36'29"W, a distance of 665.37 feet to a 1/2 inch iron rod found at the southeast corner of said 200.0 acre tract of land, being on the west line of said 591.858 acre tract of land, same being on the east line of a called 105.54 acre tract of land conveyed to John Coleman Horon III by deed recorded in Volume 4224, Page 479, Official Public Records, Hays County, Texas, for the southeast corner of the herein described tract of land,

THENCE, over and across said 105.54 acre tract of land, and with a south and west line of said 200.0 acre tract of land, the following four (4) courses and distances, numbered 1 through 4,

1) N89°25'48"W, a distance of 74.89 feet to a 1/2 inch iron rod found for corner,
2) N00°34'12"E, a distance of 636.28 feet to a 1/2 inch iron rod found for corner, being a the beginning of a curve to the left,
3) Along said curve to the left, having a radius of 815.00 feet, an arc length of 53.99 feet, and a chord that bears N00°29'48"W, a distance of 53.98 feet to a 1/2 inch iron rod found for corner, and
4) N02°38'59"W, a distance of 694.75 feet to a 1/2 inch iron rod found on the north line of said 105.54 acre tract of land, being at a southeastern interior corner of said 100.0 acre tract of land, for a southeastern interior corner of herein described tract of land,

THENCE, N83°49'03"W, with the south line of said 200.0 acre tract of land, the north line of said 105.54 acre tract of land, a distance of 113.13 feet to a 60d nail found for corner,

THENCE, continuing with the common line of said 200.0 acre tract of land, and said 105.54 acre tract of land, the following five (5) courses and distances, numbered 1 through 5,

1) N87°56'25"W, a distance of 131.33 feet to a 1/2 inch iron rod found for corner,
2) S88°02'15"W, a distance of 743.15 feet to a 1/2 inch iron rod found for corner,
3) S87°48'39"W, a distance of 780.20 feet to a 1/2 inch iron rod found for corner,
4) S88°06'77"W, a distance of 735.75 feet to a 60d nail found for corner, and
5) S89°33'48"W, a distance of 703.68 feet to a calculated point in the south line of said 200.0 acre tract of land, being at the beginning of a curve to the left,

THENCE, continuing with the south line of said 200.0 acre tract of land, and over and across said 105.54 acre tract of land, the following two (2) courses and distances, numbered 1 and 2,

1) Along said curve to the left, having a radius of 345.00 feet, an arc length of 156.74 feet, and a chord that bears S76°32'50"W, a distance of 155.40 feet to a calculated point for corner, and
2) S89°33'48"W, a distance of 1257.41 feet to a calculated point at the southwest corner of said 200.0 acre tract of land, being in the west line of said 105.54 acre tract of land, same being in the east line of Mount Gainor Road (R.O.W. Varies), for the southwest corner of the herein described tract of land,

THENCE, N04°22'04"E, with the east line of said Mount Gainor Road, and a west line of said 200.0 acre tract of land, a distance of 35.12 feet to a calculated point at the northeast corner of said 105.54 acre tract of land,

THENCE, N04°24'55"E, continuing with the east line of said Mount Gainor Road, and the west line of said 200.0 acre tract of land, a distance of 40.24 feet to a 1/2 inch iron rod found at a western corner of said 200.0 acre tract of land, being at the southwest corner of a called 134.51 acre tract of land conveyed to Mesa Del Arroyo LP in

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200.025 ACRE
BENJAMIN F. HANNA SURVEY NUMBER 28, ABSTRACT NUMBER 222
HAYS COUNTY, TX

Instrument Number 22009030, Official Public Records of Hays County, Texas, for a western corner of the herein described tract of land,

THENCE, N89°34'10"E, with the common line of said 200.0 acre tract of land, and said 134.51 acre tract of land, a distance of 1148.51 feet to a 1/2 inch iron rod found at the southeast corner of said 134.51 acre tract of land, being at an interior corner of said 200.0 acre tract of land, for an interior corner of the herein described tract of land,

THENCE, N27°18'02"E, with the west line of said 200.0 acre tract of land, the east line of said 134.51 acre tract of land, the east line of a called 36.872 acre tract of land conveyed to Marianne Simmons in Volume 3334, Page 252, Official Public Records of Hays County, Texas, a distance of 3822.84 feet to a 1/2 inch iron rod found for corner,

THENCE, continuing with the common line of said 200.0 acre tract of land, and said 36.872 acre tract of land, the following two (2) courses and distances, numbered 1 and 2,

1) N15°18'02"E, a distance of 173.40 feet to a calculated point at the northeast corner of said 36.872 acre tract of land, and
2) N67°11'58"W, a distance of 115.51 feet to a calculated point in the northern line of said 36.872 acre tract of land, being at a northwestern corner of said 200.0 acre tract of land, same being in the south line of said Creek Road, for a northwestern corner of the herein described tract of land,

THENCE, N59°27'46"E, with a southeastern line of said Creek Road, a distance of 187.42 feet to a 1/2 inch iron rod in the centerline of said Creek Road, being at a northern corner of said 200.0 acre tract of land, for a northern corner of the herein described tract of land,

THENCE, with the centerline of said Creek Road, and the northern line of said 200.0 acre tract of land, the following two (2) courses and distances, numbered 1 and 2,

1) S84°23'29"E, a distance of 15.33 feet to a mag nail found for corner, and
2) S72°05'28"E, a distance of 460.80 feet to the **POINT OF BEGINNING** and containing 200.025 acre of land.

Surveyed by: 31 May 2022
Aaron V. Thomason, R.P.L.S. NO. 6214
Carlson, Brigance and Doering, Inc.
Reg. # 10024900
5501 West William Cannon
Austin, TX 78749
Ph: 512-280-5160
aaron@cbdeng.com

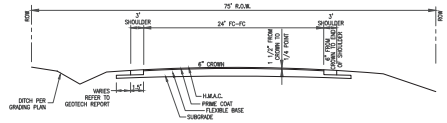
STATE OF TEXAS REGISTERED AARON V. THOMASON 6214 PROFESSIONAL LAND SURVEYOR

BERING BASIS: TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NAD83

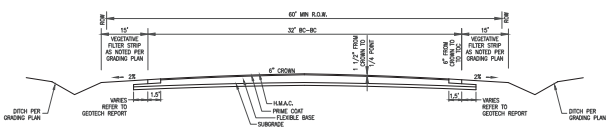
J: AC30\5079\SURVEY\FIELD NOTES\FN – 200.025 ACRES – CARTER TRACT .DOC

GENERAL NOTES:

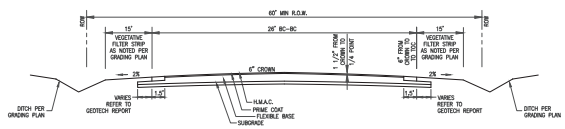
1. THIS PROJECT IS WITHIN THE EXTRA TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF DRIPPING SPRINGS.
2. NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
3. THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER ZONE.
4. THIS PROJECT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
5. ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
6. NO PORTION OF THE SUBJECT PLAT PROPERTY IS LOCATED WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN AS DELINEATED ON F.I.R.M. PANEL NO 48209C 0115F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM THE DRIPPING SPRINGS WATER SUPPLY CORPORATION.
8. ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF DRIPPING SPRINGS.
9. ELECTRIC SERVICE WILL BE PROVIDED BY THE PEDERNALES ELECTRIC COOPERATIVE.
10. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.
11. MINIMUM FRONT SETBACK SHALL BE 20'.
12. MINIMUM REAR SETBACK SHALL BE 20'.
13. MINIMUM SIDE AND INTERIOR SIDE YARD SETBACKS SHALL BE 5'.
14. MINIMUM SIDE YARD SETBACKS ADJACENT TO A PUBLIC STREET SHALL BE 10'.
15. UTILITY EASEMENTS OF 15 FEET SHALL BE LOCATED ALONG EACH SIDE OF DEDICATED R.O.W. AND 5' ALONG EACH SIDE LOT LINE.
16. ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF DRIPPING SPRINGS AND HAYS COUNTY DEVELOPMENT REGULATIONS.
17. NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
18. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED COMMUNITY WATER SYSTEM.
19. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED ORGANIZED WASTE WATER SYSTEM.
20. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL OF HAYS COUNTY DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED.
21. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE CITY RIGHT-OF-WAY HAS BEEN ISSUED UNDER AND (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENTS FOR DRIVEWAYS AS SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
22. DEVELOPMENT AND RESTRICTIONS WITHIN THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S (TCEQ) OPTIONAL ENHANCED MEASURES FOR THE PROTECTION OF WATER QUALITY IN THE EDWARDS AQUIFER (REVISED) OR AS PERMITTED BY THE TCEQ.
23. ALL LOTS ARE REQUIRED TO COMPLY WITH THE THEN CURRENT ADOPTED BUILDING CODE AS ADOPTED BY THE CITY OF DRIPPING SPRINGS, AND THE FIRE CODE ADOPTED BY ESD #6. THIS IS TO INCLUDE THE PULLING OF BUILDING PERMITS THROUGH THE CITY OF FOR ALL APPLICABLE CONSTRUCTION.
24. PER THE DEVELOPMENT AGREEMENT BETWEEN CITY OF DRIPPING SPRINGS AND DEVELOPMENT SOLUTIONS CAT, LLC, THE CARTER TRACT, IS SUBJECT TO AN INTEGRATED PEST MANAGEMENT (IPM) PLAN.
25. WATER QUALITY EASEMENT DEPICTED HEREON PROVIDE ACCESS TO HAYS COUNTY DEVELOPMENT DISTRICT NO. AND ASSIGNS, FOR INSPECTION AND MAINTENANCE OF WATER QUALITY BEST MANAGEMENT PRACTICES (BMP'S) PERMITTED UNDER TCEQ EDWARDS AQUIFER PROTECTION PROGRAM NO. 11000201.



DESIGN FOR EMERGENCY ACCESS ROAD
N.T.S.



DESIGN FOR MINOR COLLECTOR
N.T.S.



DESIGN FOR LOCAL STREETS
N.T.S.

STATE OF TEXAS}
COUNTY OF HAYS}
CITY OF DRIPPING SPRINGS}

THIS PLAT, CARTER TRACT, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY APPROVED.

APPROVED, THIS THE ___ DAY OF _____20___.

BY

_____
MAYOR OR MAYOR PRO TEM,

ATTEST

_____
ANDREA CUNNINGHAM, CITY SECRETARY

DESIGNED BY:	DRAFTED BY:
BEP	BL

DATE	REVISION

Carlson, Brigance & Doering, Inc.
Civil Engineering ◆ Surveying
FIRM ID #10291
Main Office: 5501 West William Cannon Dr. Austin, Texas 78749 Phone No. (512) 280-5160
Satellite Office: 12129 Ranch Road 620 N. Suite 100 Austin, Texas 78750 www.cbdeng.com

SHEET NAME: **PRELIMINARY PLAN NOTES/DETAILS**
JOB NAME: THE RANCH AT CALITERRA
PROJECT: STREET, DRAINAGE, WATER, & WASTEWATER IMPROVEMENTS

6/17/2022
QUYNN DUSEK 130416 LICENSED PROFESSIONAL ENGINEER
CARLSON, BRIGANCE & DOERING, INC. Eng F3791

DATE: JUNE 2022
JOB NUMBER: 5079
SHEET 2 OF 5

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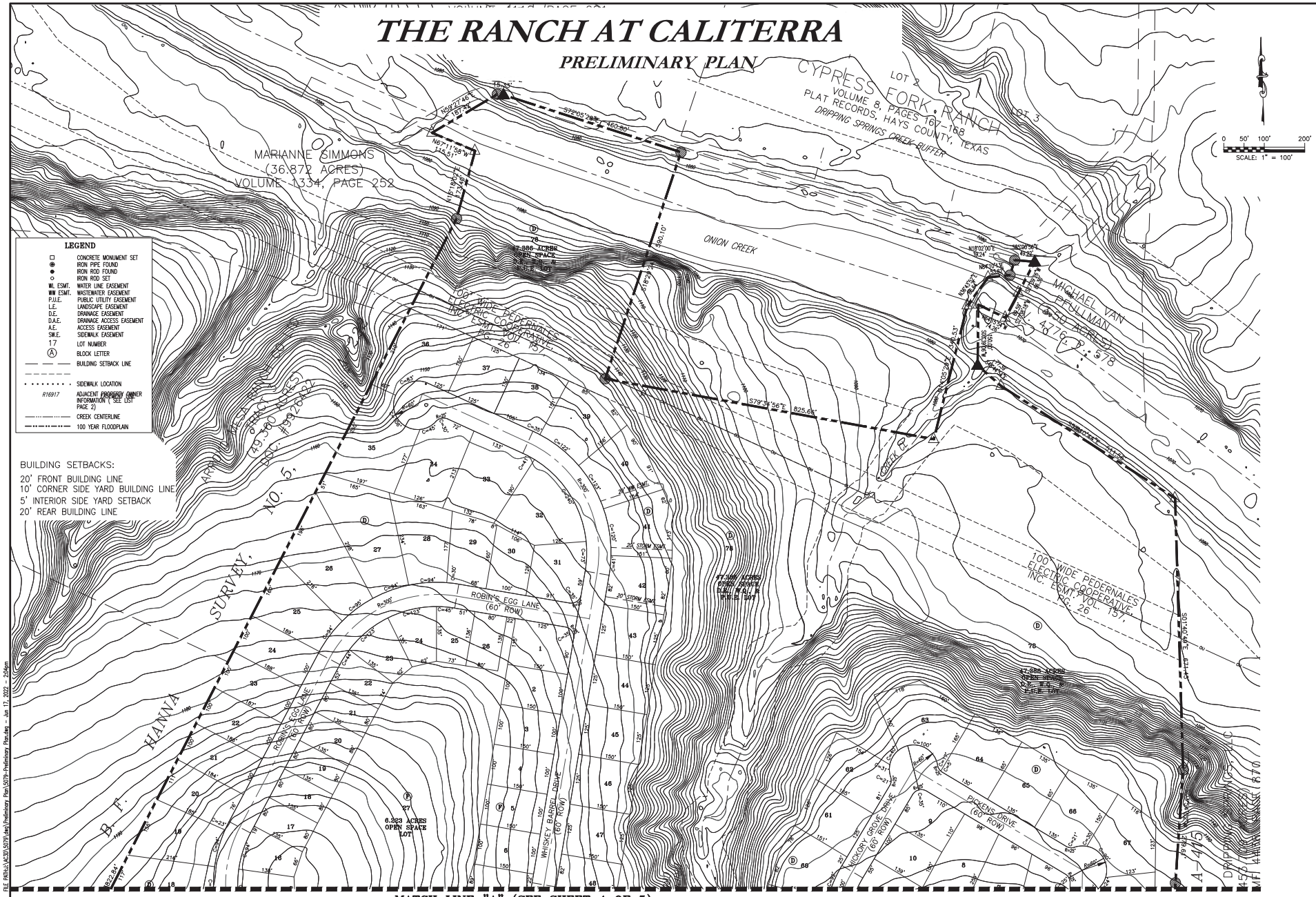
THE RANCH AT CALITERRA

PRELIMINARY PLAN



LEGEND

- CONCRETE MONUMENT SET
- IRON PIPE FOUND
- IRON ROD FOUND
- IRON ROD SET
- WL ESMT. — WATER LINE EASEMENT
- WW ESMT. — WASTEWATER EASEMENT
- P.U.E. — PUBLIC UTILITY EASEMENT
- L.E. — LANDSCAPE EASEMENT
- D.E. — DRAINAGE EASEMENT
- D.A.E. — DRAINAGE ACCESS EASEMENT
- A.E. — ACCESS EASEMENT
- SW.E. — SIDEWALK EASEMENT
- 17 — LOT NUMBER
- (A) — BLOCK LETTER
- BUILDING SETBACK LINE
- SIDEWALK LOCATION
- R16917 — ADJACENT PROPERTY OWNER INFORMATION (SEE LIST PAGE 2)
- CREEK CENTERLINE
- 100 YEAR FLOODPLAIN

BUILDING SETBACKS:
20' FRONT BUILDING LINE
10' CORNER SIDE YARD BUILDING LINE
5' INTERIOR SIDE YARD SETBACK
20' REAR BUILDING LINE

DESIGNED BY: QHD | DRAFTED BY: BL

DATE	REVISION

Carlson, Brigance & Doering, Inc.
Civil Engineering ◆ Surveying
FIRM ID #F3791
Main Office: 5501 West William Cannon Dr. Austin, Texas 78749 Phone No. (512) 280-5160
Satellite Office: 12129 Rivery Park Blvd. Austin, Texas 78750 www.cbdengr.com

SHEET NAME: **PRELIMINARY PLAN**
JOB NAME: THE RANCH AT CALITERRA
PROJECT: STREET, DRAINAGE, WATER, & WASTEWATER IMPROVEMENTS

6/17/2022
QUINN DUSEK 130416 LICENSED PROFESSIONAL ENGINEER
CARLSON, BRIGANCE & DOERING, INC. Eng F3791

DATE: JUNE 2022
JOB NUMBER: 5079
SHEET: 3 OF 5

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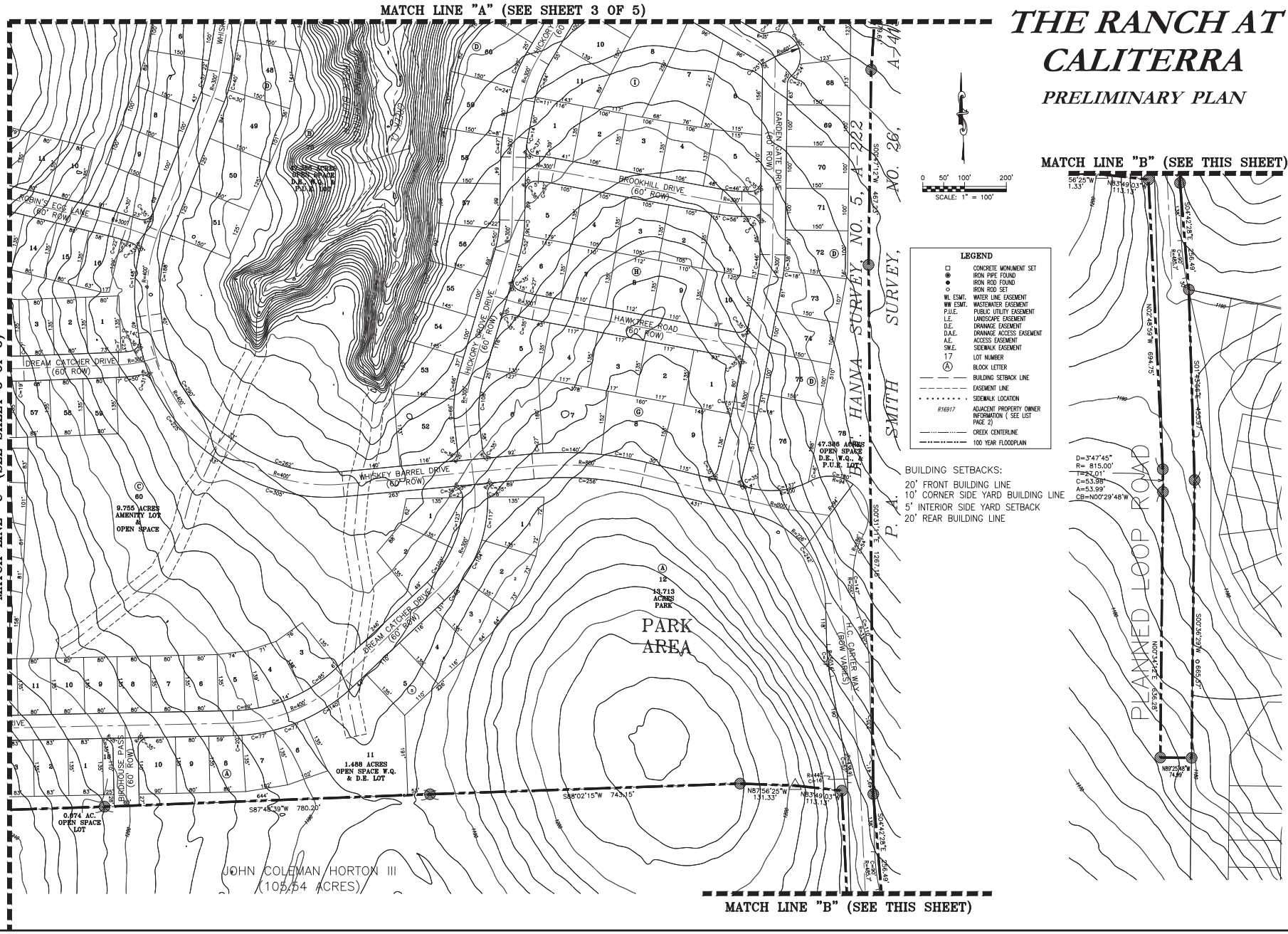
THE RANCH AT CALITERRA

PRELIMINARY PLAN



DESIGNED BY:	DRAFTED BY:
OHD	BL

DATE	REVISION

Carlson, Brigance & Doering, Inc.
Civil Engineering ◆ Surveying
FIRM ID #10791
Main Office: 5501 West William Cannon Dr. Austin, Texas 78749 Phone No. (512) 280-5160
Neon Office: 12129 RR 620 N. Ste. 600 Austin, Texas 78750 www.cbdesign.com

SHEET NAME: PRELIMINARY PLAN

JOB NAME: THE RANCH AT CALITERRA

PROJECT: STREET, DRAINAGE, WATER, & WASTEWATER IMPROVEMENTS

Quinn Dusek 6/17/2022
STATE OF TEXAS
QUINN DUSEK
130416
LICENSED PROFESSIONAL ENGINEER
CARLSON, BRIGANCE & DOERING, INC.
F-3791

DATE: JUNE 2022

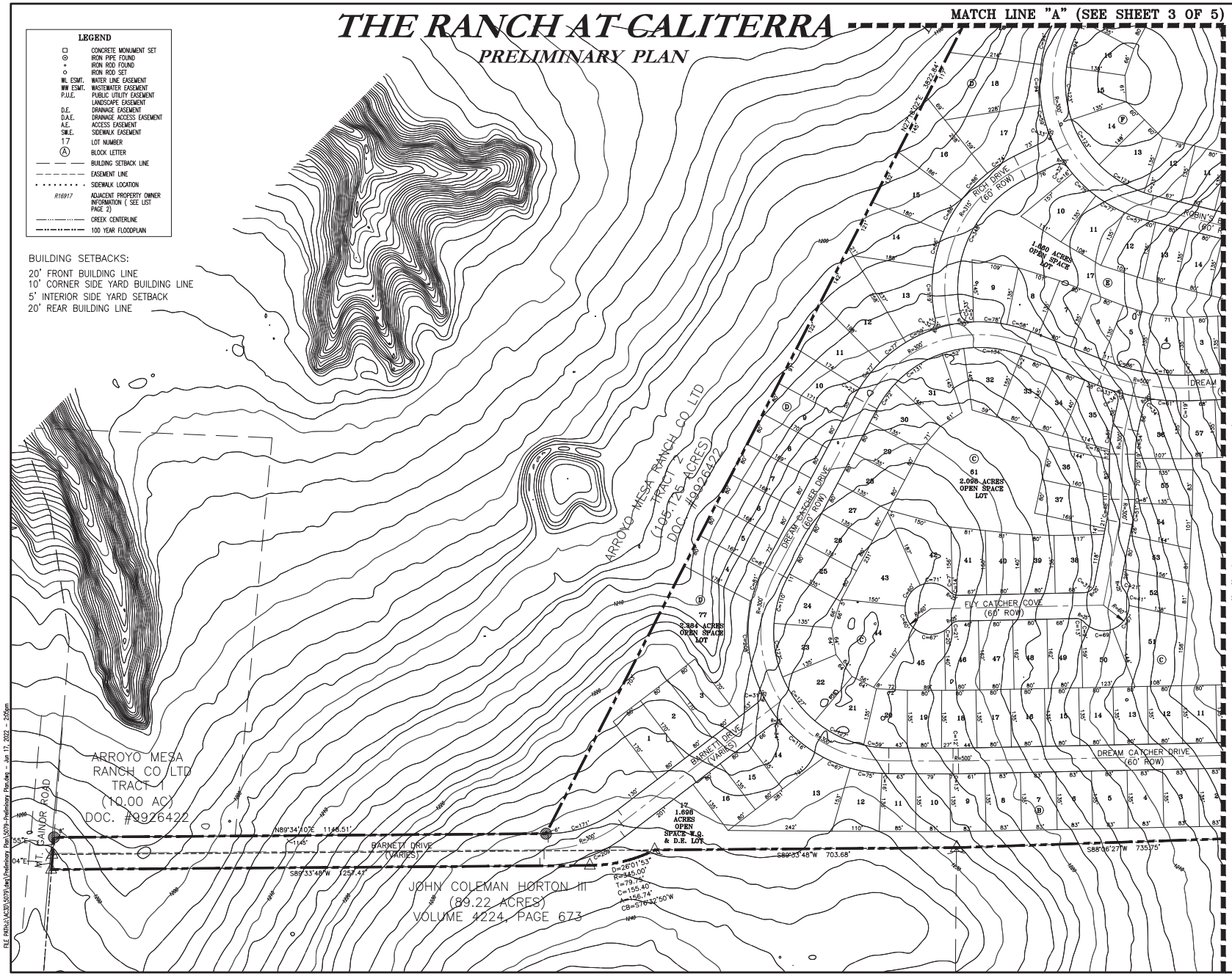
JOB NUMBER: 5079

SHEET 4 OF 5

FILE PATH:J:\ACD\5079\dwg\Preliminary Plan\5079-Preliminary Plan.dwg – Jun 17, 2022 – 2:26pm

THE RANCH AT CALITERRA

PRELIMINARY PLAN



DESIGNED BY: OHD	DRAFTED BY: BL

DATE	REVISION

Carlson, Brigance & Doering, Inc.
Civil Engineering ◆ Surveying
FIRM ID #F3791
Main Office: 5501 West William Cannon Dr. Austin, Texas 78749 Phone No. (512) 280-5160
Satellite Office: 12129 Rivera Dr. Austin, Texas 78750 www.cbdengr.com

SHEET NAME: PRELIMINARY PLAN
JOB NAME: THE RANCH AT CALITERRA
PROJECT: STREET, DRAINAGE, WATER, & WASTEWATER IMPROVEMENTS

6/17/2022
QUYNN DUSEK
130416
LICENSED
CARLSON, BRIGANCE & DOERING, INC.
Eng F3791

DATE: JUNE 2022
JOB NUMBER: 5079
SHEET: 5 OF 5

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DRIPPING SPRINGS
Texas

Permit Number: **SUB2022-0033**
Project Name: **The Ranch at Caliterra**
Project Address: **HC Carter Way, Dripping Springs, TX 78620**

Engineer/Public Works Comments

1. Sheet 2 - Replace the right of way cross sections with the current City of Dripping Springs standard utility assignments. Contact Trevor Lawrence at trevor.lawrence@burgessniple.com

2. Additional comments will follow with the submission of a construction plan set with water and wastewater utility sheets.

3. Developed Drainage Area Map - Drainage analysis point 4 shows an increase in storm flow for the proposed 100-yr storm conditions. Update design to achieve proposed flows less than or equal to existing flows.

4. Per the DA section 3.13 it appears that ROW dedication is required from the Caliterra entrance north along the project's eastern boundary towards Roger Hanks/Creek Rd. Please show ROW dedication.

5. The City's adopted Transportation Master Plan shows north south roadway along this tract's eastern property line as a 2 Lane Minor Divided Arterial requiring 100 ft of ROW. Please provide 100 ft of ROW. Hays County Development Regulations also show a Minor Arterial requires 100 ft ROW.

6. Roadway Summary Table – Based o the ADT Barnett and Dreamcatcher Drive should be listed as Minor Collector.

7. Roadway Summary Table - Include pavement width in the roadway classification summary table for all streets within the development.

8. The Geologic assessment provided does not appear to be for this tract. Please provide Geologic Assessment for this tract.

9. Show and label the 100-yr floodplain. [Preliminary Plat Information Requirements]

10. Label the width of all WQBZs [Preliminary Plat Information Requirements].

11. Update Note 21 on sheet 2 of 5. ROW will be County ROW.

12. Provide documentation on compliance with 2.5.4 of the DA Endangered Species.

13. Provide a copy of the complete TIA. Only a summary has been submitted.

14. Show City limits and ETJ on the Vicinity Map. [Sub. Ord. 4.7(a)] Provide a solid light gray shade to indicate the City Limits.

15. Add a note naming who will be responsible for operation and maintenance of Stormwater Detention and Water Quality Ponds.

16. Provide Documentation showing County approval of driveway locations on Mt Gainor Rd.

17. If the development is intended to be constructed in multiple phases, provide a phasing plan. [Subdivision Ordinance 4.3 & 11.8]

18. Provide a sidewalk and trails plan [Preliminary Plat Information Requirements].

19. Provide a Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction. [Preliminary Plat Information Requirements].

City Planner Comments

20. Move City signatures to the cover sheet.

21. Provide Hays County street name approvals.(4.7d)

22. Provide Hays County 1445 approval letter.

23. Provide a phasing plat if this development will consist of multiple final plats (4.7n).

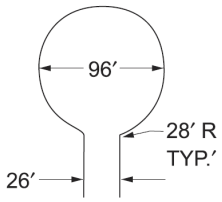
24. Provide, at minimum, right of way dedication to eventually connect this development to creek road as shown on the development agreement concept plan and the City's thoroughfare plan. (4.7n)

25.

Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email dpolk@northhaysfire.com.

- Note: Cul-de-sac required to have 96ft



96′ DIAMETER
CUL-DE-SAC

-

Open spaces, friendly faces.

511 Mercer Street • PO Box 384 • Dripping Springs, TX 78620 • 512.858.4725 • cityofdrippingsprings.com

THE STATE OF TEXAS:

: KNOWN ALL MEN BY THESE PRESENTS

COUNTY OF HAYS
:

THAT RAJENDRA N. PERSAUD BEING THE OWNER LOT 2 OF THE LADERA SUBDIVISION AS RECORDED IN VOLUME 7 PAGES 51–52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS, AND BEING FURTHER DESCRIBED IN A WARRANTY DEED WITH A VENDOR'S LIEN RECORDED UNDER VOLUME 3712 PAGE 824 AND DOCUMENT NUMBER 90021122 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY REPLAT SAID LOT 2 IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT, TO BE KNOWN AS:

REPLAT LOT 2
OF THE
LADERA SUBDIVISION

BY:
RAJENDRA N. PERSAUD OWNER
4630 U.S. HIGHWAY 290
DRIPPING SPRINGS, TX 78620

STATE OF TEXAS:
COUNTY OF HAYS:

BEFORE ME, THE UNDERSIGN AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME IN THE CAPACITY THEREIN STATED FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS____DAY OF_____.

20___.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

(TYPE OR PRINT NAME)_____
MY COMMISSION EXPIRES ON:_____

THE STATE OF TEXAS:
COUNTY OF HAYS:

THAT I, DAVID PAUL CARR, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING AND HEREBY STATE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON–THE–GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF DRIPPING SPRINGS ORDINANCE AND CODES.

DAVID PAUL CARR R.P.L.S. NO. 3997 _____ DATE_____
REGISTERED PROFESSIONAL LAND SURVEYOR
CARDINAL SURVEYING AND MAPPING
1405 KNOLL RIDGE DR.
CEDAR PARK, TX 78613
(512) 259–9771
TBPELS FIRM NO. 10194078

STATE OF TEXAS:
COUNTY OF HAYS:

I, ANDREW DODSON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, I AM RESPONSIBLE FOR THE PREPARATION OF THE ENGINEERING PORTION OF THE PLAT SUBMITTED HEREWITH, ALL ENGINEERING INFORMATION SHOWN ON THIS PLAT IS ACCURATE AND CORRECT; AND WITH REGARD TO THE ENGINEERING PORTIONS THEREOF, THE PLAT COMPLIES WITH THE CITY OF DRIPPING SPRINGS CODE AS AMENDED, AND ALL OTHER APPLICABLE CITY AND HAYS COUNTY CODES, ORDINANCES AND RULES. NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) NOS. 48209C0085F, DATED SEPTEMBER 2, 2005.

ANDREW DODSON P.E._____ DATE_____
REGISTERED PROFESSIONAL ENGINEER
NO. 95647 –STATE OF TEXAS
DODSON CIVIL GROUP
361 MIDDLE CREEK
BUDA, TX 78610
(512) 748–3253
TBPELS FIRM NO. 20870

STATE OF TEXAS:
COUNTY OF HAYS:

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE____DAY OF_____20___A.D. AT ____O'CLOCK___M., IN THE OFFICIAL PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT NUMBER_____

WITNESS MY HAND AND SEAL OF OFFICE THIS THE ____DAY OF _____, 20___A.D.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

BY: _____ DEPUTY

NOTES TO THE PLAT

1. THIS FINAL PLAT IS LOCATED WITHIN THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS, TEXAS.

2. NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS RECHARGE ZONE.

3. THIS PLAT LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARD'S AQUIFER.

4. THIS PLAT LOCATED WITHIN THE BOUNDARIES OF THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.

5. ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.

6. THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD HAZARD AS SHOWN ON THE FEDERAL INSURANCE RATE MAP, PANEL NO, 48209C0085F, DATED SEPTEMBER 2, 2005 FOR HAYS COUNTY, TEXAS. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

7. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM ONSITE WATER WELL OR STORM WATER COLLECTION.

8. WASTEWATER SERVICE WILL BE PROVIDED BY EACH LOT THROUGH USE OF ON SITE SEWAGE FACILITY.

9. ELECTRIC SERVICE WILL BE PROVIDED BY PEDERNALES ELECTRIC COOPERATIVE.

10. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.

11. ALL SETBACKS SHALL COMPLY WITH THE REQUIREMENTS SET OUT BY HAYS COUNTY, TEXAS.

12. UTILITY EASEMENTS OF 20 FEET IN WIDTH ALONG EACH SIDE OF A DEDICATED RIGHT OF WAY, 10 FEET ALONG EACH SIDE LOT LINE, AND REAR LOT LINE.

13. THE CITY IS AUTHORIZED TO ACCESS THE PRIVATE STREETS, EASEMENTS, ETC., FOR INSPECTION CODE COMPLIANCE AND HAYS COUNTY EMERGENCY SERVICE DISTRICT NO. 6 IS AUTHORIZED TO ACCESS PRIVATE STREETS FOR EMERGENCY ACCESS.

14. THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE EMERGENCY SERVICE DISTRICT NO. 6 OR IT'S SUCCESSORS.

15. RAJENDRA N. PERSAUD WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORM WATER FACILITIES AND EASEMENTS.

16. THIS SUBDIVISION IS SUBJECT TO ALL GENERAL NOTES AND RESTRICTIONS APPEARING ON THE PLAT OF LADERA SUBDIVISION RECORDED IN VOLUME 7 PAGES 51–52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS.

17. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED TO ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE COUNTY ROADWAY RIGHT OF WAY HAS BEEN ISSUED UNDER CHAPTER 751, AND (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENT SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.

18. ALL CULVERTS. WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 705, SUBCHAPTER 8.03.

19. ALL MAILBOXES LOCATED IN THE RIGHT OF WAY SHALL BE OF AN APPROVED TXDOT OR FHWA APPROVED DESIGN, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 721, SUBCHAPTER 2.01.

20. IMPERVIOUS COVER SHALL COMPLY WITH THE WATER QUALITY PLAN APPROVED FOR THIS SUBDIVISION AND SHALL NOT BE ALTERED.

21. SIDEWALKS SHALL BE CONSTRUCTED TO COMPLY WITH THE CITY OF DRIPPINGS SPRINGS ORDINANCES.

22. THE PURPOSE OF THE REPLAT IS TO CREATE 2 LOTS FROM 1 LOT.

23. THIS PROPERTY IS WITHIN THE HAYS TRINITY GROUNDWATER CONSERVATION DISTRICT NUMBER 2.

24. LOT 1 IS RESTRICTED TO AN ADVANCED ON–SITE SEWAGE SYSTEM ONLY.

25. THIS PROPERTY IS SUBJECT TO THE RESTRICTIVE COVENANTS RECORDED IN VOLUME 1360 PAGE 764, VOLUME 1371 PAGE 641, AND VOLUME 1399 PAGE 108 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

HAYS COUNTY DEVELOPMENT SERVICES

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION,
TO WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE–APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON–SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

MARCUS PACHECO_____
DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

ERIC VAN GAASBEEK, R.S., C.F.M._____
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF **DRIPPING SPRINGS** FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF **DRIPPING SPRINGS**
_____.

STATE OF TEXAS:
COUNTY OF HAYS:
_____

MARCUS PACHECO, DIRECTOR

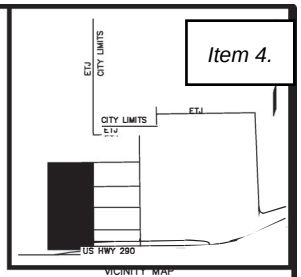
THIS REPLAT OF LOT 2, LADERA , HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS PLANNING & ZONING COMMISSION AND IS HEREBY APPROVED:

APPROVED THIS THE _____, DAY OF _____ , 20____, A.D.

BY: _____
PLANNING & ZONING COMMISSION CHAIR OR VICE–CHAIR

ATTEST: _____

ANDREA CUNNINGHAM, CITY SECRETARY



VICINITY MAP
NTS

DESCRIPTION

DESCRIPTION OF A 15.00 ACRE TRACT OF LAND IN THE J. A. STEWARD SURVEY ABSTRACT 658 IN HAYS COUNTY, TEXAS, AND BEING ALL OF LOT 2 OF THE LADERA SUBDIVISION AS RECORDED IN VOLUME 7 PAGES 51–52 OF THE PLAT RECORDS OF HAYS COUNTY, TEXAS AND BEING DESCRIBED IN A DEED TO RAJENDRA N. PERSAUD AS RECORDED IN VOLUME 3712, PAGE 824 OF THE OFFICIAL RECORDS HAYS COUNTY, TEXAS, SAID 15.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL BEARINGS BEING GRID BASED ON THE TEXAS PLANE COORDINATE SYSTEM NAD 83/2018 ADJUSTMENT TEXAS SOUTH CENTRAL ZONE 4204:

BEGINNING at a ½" inch iron rod found in the north right of way line of US Highway 290 as described in a deed from Charles H. Senour and wife to the State of Texas as recorded in Volume 108, Pages 284–285 of the Deed Records of Hays County, Texas, said iron rod being the southwest corner of Lot 3A of the Amended Plat of a Portion of Lot 3 Ladera as recorded in Volume 17, Pages 50–51 of the Plat Records of Hays County, Texas, same being the southeast corner of said Lot 2 of the Ladera Subdivision and of the herein described tract;

THENCE with the said north right of way line of US Highway 290, being common with the south line of Lot 2 Ladera S 88°52'44" W for a distance of 542.75 feet to a ½" inch iron found monumenting the southeast corner Lot 1 of Ladera Subdivision, the southwest corner of said Lot 2 and of the herein described tract;

THENCE departing the said north right of way line of US Highway 290 with the west line of said Lot 2 being common in part with the east line of Lot 1 N 01°40'49" W passing at a distance of 935.23 feet the called northeast corner of Lot 1 same being the southerly southeast corner of Lot 4 Ladera Subdivision, continuing with the east line of Lot 4 for a total distance of 1185.08 feet to a ½" inch iron rod found being an interior "ell" corner of Lot 4 the northwest corner of said Lot 2 and of the herein described tract;

THENCE continuing in part with a south line of Lot 4 being the north line of said Lot 2 N 88°51'52" E passing at a distance of 160.00 feet the call easterly southeast corner of Lot 4 same being the call westerly southwest corner of Lot 5 Ladera Subdivision, in all for a total distance of 559.76 feet to a ½" inch iron rod found monumenting the northeast corner of said Lot 2 and the northwest corner of Lot 3 Ladera Subdivision;

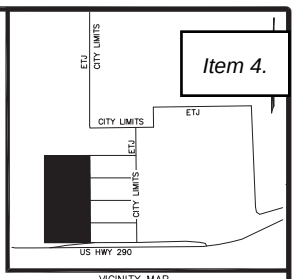
THENCE with the east line of said Lot 2 being common in part with the west line of Lot 3 Ladera and of Lot 3A of the Amended Plat of a Portion of Lot 3 S 00°51'29" E passing at a distance of 901.18 feet an iron rod with cap found monumenting the northwest corner of said Lot 3A, in all for a total distance of 1185.17 feet to the POINT OF BEGINNING of the herein described tract and containing 15.00 acres of land more or less.

SHEET 1 OF 2

DATE	BY	REVISIONS

Cardinal
Surveying Mapping
David P. Carr, RPLS
TBPELS FIRM NO. 10194078

REPLAT OF LOT 2 LADERA SUBDIVISION
J.A. STEWARD SURVEY ABSTRACT NO. 658
HAYS COUNTY, TEXAS



VICINITY MAP
NTS

J.A. STEWARD SURVEY
ABSTRACT 658

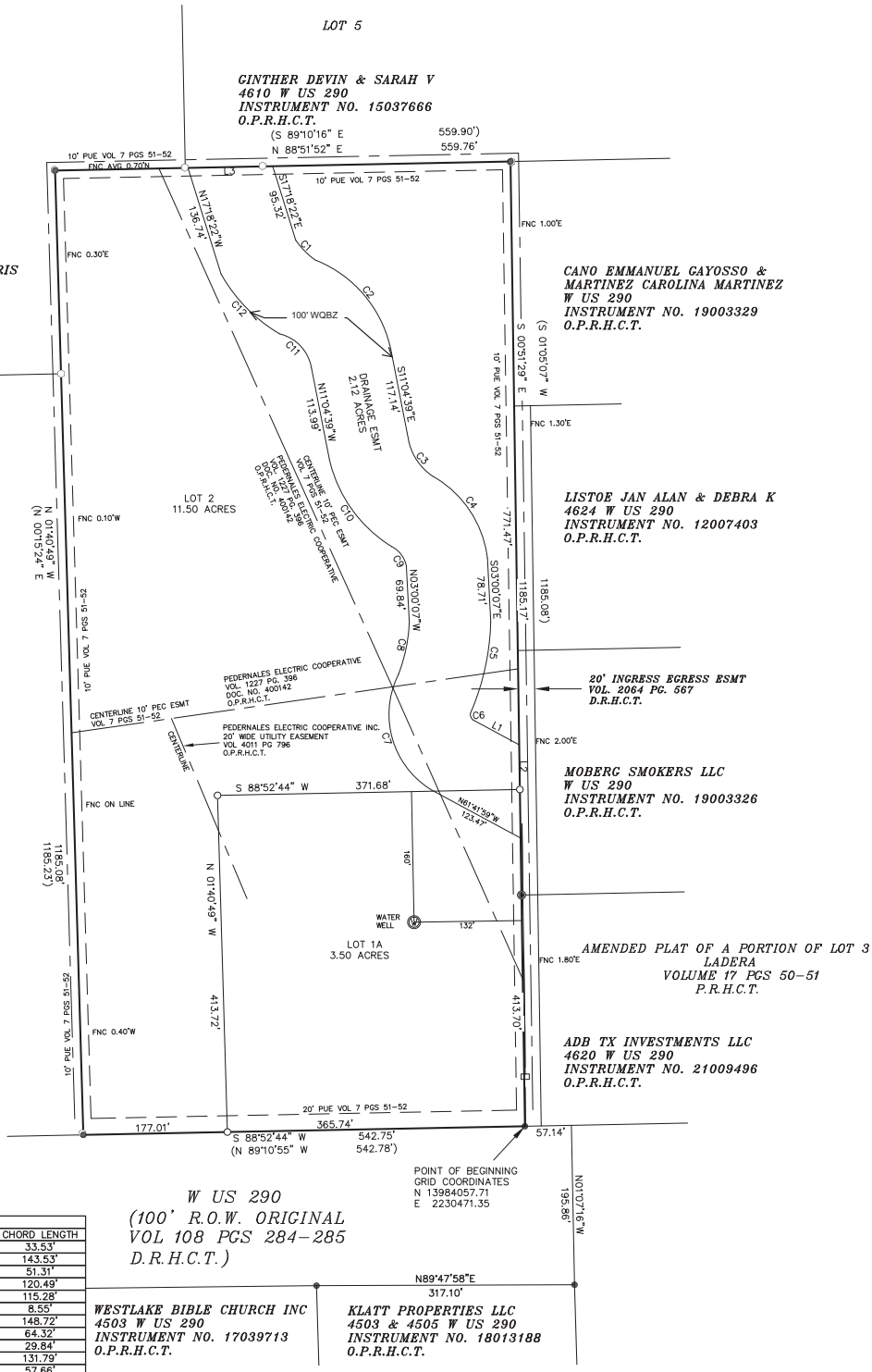
GRAPHIC SCALE

100 0 50 100 200

(IN FEET)
1 inch = 100 ft.

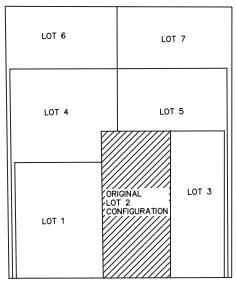
LEGEND

- ● IRON ROD FOUND
- ◉ IRON ROD W/CAP FOUND
- ○ IRON ROD SET W/CAP MARKED "CARDINAL SURVEYING"
- ( ) LADERA PLAT CALLS
- FNC FENCE LOCATION
- O.P.R.H.C.T. OFFICIAL PUBLIC RECORDS HAYS COUNTY, TEXAS
- D.R.H.C.T. DEED RECORDS HAYS COUNTY, TEXAS
- P.R.H.C.T. PLAT RECORDS HAYS COUNTY, TEXAS



SUBJECT PROPERTY HAS A FENCE ALONG ALL BOUNDARY LINES, EITHER IN WHOLE OR PART.

BASIS OF BEARINGS:
TEXAS STATE PLANE NAD83/2018 ADJUSTMENT
TEXAS SOUTH CENTRAL ZONE 4204.
DISTANCES SHOWN ARE SURFACE
COORDINATES SHOWN ARE GRID
COMBINED SCALE FACTOR 0.999918511



DRAINAGE EASEMENT

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S61°41'59"E	64.38'
L2	S00°51'29"E	114.51'
L3	N88°51'52"E	104.12'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	97.58'	33.70'	19°47'10"	S44°22'09"E	33.53'
C2	151.64'	149.51'	56°29'26"	S40°29'37"E	143.53'
C3	69.92'	52.53'	43°02'43"	S35°10'33"E	51.31'
C4	133.86'	124.98'	53°29'41"	S33°41'33"E	120.49'
C5	298.40'	116.01'	22°16'26"	S12°35'03"W	115.28'
C6	8.63'	8.94'	59°22'57"	S23°24'38"E	8.55'
C7	108.63'	163.81'	86°23'59"	N16°04'45"W	148.72'
C8	198.40'	64.61'	18°39'29"	N11°47'08"E	64.32'
C9	33.86'	30.90'	52°17'25"	N36°59'28"W	29.84'
C10	169.92'	135.34'	45°08'03"	N35°32'48"W	131.79'
C11	51.64'	61.17'	57°52'19"	N43°00'25"W	57.66'
C12	197.58'	103.93'	30°08'19"	N44°25'08"W	102.73'

DATE	BY	REVISIONS

CARDINAL
SURVEYING AND MAPPING
TBPELS FIRM NO. 10194078

REPLAT OF LOT 2 LADERA SUBDIVISION
J.A. STEWARD SURVEY ABSTRACT NO. 658
HAYS COUNTY, TEXAS

Planning and Zoning Commission
Planning Department Staff Report

Planning and Zoning Commission Meeting:	July 26, 2022
Project No:	SUB2022-0019
Project Planner:	Tory Carpenter, AICP - Senior Planner
Item Details	
Project Name:	Ladera Lot 2 Replat
Property Location:	4630 W Hwy 290
Legal Description:	Lot 2 of the Ladera Subdivision
Applicant:	Jon Thompson
Property Owner:	Prostar Water
Staff recommendation:	Conditional approval of the replat.

Location Map

SUB2022-0019
Ladera Lot 2 Replat

Roads
Parcel Lines
City Limits
Full Purpose

N

0 150 300 600 Feet

Planning Department Staff Report

Overview

The purpose of this replat is to subdivide one existing platted lot into two commercial lots.

Access and Transportation

Primary access to the subdivision will be along the US 290 access road.

Site Information

Location: 4630 W Hwy 290

Zoning Designation: ETJ

Property History

The Ladera subdivision was originally approved and recorded in November 1995.

Recommendation

Approval with the following condition:

Provide the Hays County 1445 approval letter.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Replat

Recommended Action	Conditional Approval
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A

DRIPPING SPRINGS
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384
Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

SUBDIVISION APPLICATION

Case Number (staff use only): _____-____

MEETINGS REQUIRED

(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION	PRE-APPLICATION CONFERENCE
DATE: _____	DATE: February 17, 2022
☐ NOT SCHEDULED	☐ NOT SCHEDULED

PLAT TYPE

- ☐ Amending Plat
- ☐ Minor Plat
- ☑ Replat
- ☐ Final Plat
- ☐ Plat Vacation
- ☐ Other:_____

CONTACT INFORMATION

APPLICANT NAME Jon Thompson
COMPANY J Thompson Professional Consulting
STREET ADDRESS PO Box 172
CITY Dripping Springs STATE Texas ZIP CODE 78620
PHONE (512) 568-2184 EMAIL jthompsonconsultingds@gmail.com

OWNER NAME Rajendra "Robert" Persaud
COMPANY Prostar Water
STREET ADDRESS PO Box 1789
CITY Dripping Springs STATE Texas ZIP CODE 78620
PHONE (512) 848-0101 EMAIL robert@prostarwater.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Rajenda "Robert" Persaud
PROPERTY ADDRESS	4630 W Hwy 290, Dripping Springs, Texas 78620
CURRENT LEGAL DESCRIPTION	Ladera, Lot 2
TAX ID #	R62695
LOCATED IN	☐ City Limits ☒ Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	15.00
SCHOOL DISTRICT	DSISD
ESD DISTRICT(S)	# 1 & # 6
ZONING/PDD/OVERLAY	ETJ
EXISTING ROAD FRONTAGE	☐ Private Name: _____ ☒ State Name: TXDOT ☐ City/County (public) Name: _____
DEVELOPMENT AGREEMENT? No (If so, please attach agreement)	☐ Yes (see attached) ☒ Not Applicable Development Agreement Name: _____

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	☐ YES ☒ NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	☒ YES ☐ NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	☐ YES ☒ NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Ladera, Lot 2 Replat
TOTAL ACREAGE OF DEVELOPMENT	15.0
TOTAL NUMBER OF LOTS	2
AVERAGE SIZE OF LOTS	7.5
INTENDED USE OF LOTS	☐ RESIDENTIAL ☒ COMMERCIAL ☐ INDUSTRIAL/OTHER:_____
# OF LOTS PER USE	RESIDENTIAL: 0 COMMERCIAL: 2 INDUSTRIAL: 0
ACREAGE PER USE	RESIDENTIAL: 0 COMMERCIAL: 15 INDUSTRIAL: 0
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: 0 PRIVATE: 0
ANTICIPATED WASTEWATER SYSTEM	☐ CONVENTIONAL SEPTIC SYSTEM ☒ CLASS I (AEROBIC) PERMITTED SYSTEM ☐ PUBLIC SEWER
WATER SOURCES	**SURFACE WATER** ☐ PUBLIC WATER SUPPLY ☐ RAIN WATER **GROUND WATER*** ☐ PUBLIC WELL ☒ SHARED WELL ☐ PUBLIC WATER SUPPLY

*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:

HAYS-TRINITY GCD NOTIFIED? ☒ YES ☐ NO

COMMENTS: _____

TITLE: _____ **SIGNATURE:** _____

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): PEC

☒ VERIFICATION LETTER ATTACHED ☐ NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☒ NOT APPLICABLE

WATER PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☒ NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☒ NOT APPLICABLE

GAS PROVIDER NAME (if applicable): _____

☐ VERIFICATION LETTER ATTACHED ☒ NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
☐ YES ☒ NOT APPLICABLE	☐ YES ☒ NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

☐ YES (REQUIRED) ☐ YES (VOLUNTARY*) ☒ NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Jon Thompson

Applicant Name

Applicant Signature

Date

Notary

Date

Notary Stamp Here

Property Owner Name

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: _____ **Date:** _____

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST Subdivision Ordinance, Section 5		
STAFF	**APPLICANT**	
☐	☒	Completed application form – including all required notarized signatures
☐	☒	Application fee (refer to Fee Schedule)
☐	☒	Digital Copies/PDF of all submitted items
☐	☒	County Application Submittal – proof of online submission (if applicable)
☐	☐	ESD #6 Application *(if within City or Development Agreement)* or Proof of Submittal to Hays County Fire Marshal *(if in the ETJ)*
☐	☐	$240 Fee for ESD #6 Application (if applicable)
☐	☒	Billing Contact Form
☐	☒	Engineer's Summary Report
☐	☐	Drainage Report – if not included in the Engineer's summary
☐	☐	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)] (if applicable)
☐	☒	OSSF Facility Planning Report or approved OSSF permit (if applicable)
☐	☐	Final Plats (11 x 17 to scale)
☐	☒	Copy of Current Configuration of Plat (if applicable)
☐	☐	Copy of Preliminary Plat (if applicable)
☐	☐	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
☐	☒	Digital Data (GIS) of Subdivision
☐	☒	Tax Certificates – verifying that property taxes are current
☐	☒	Copy of Notice Letter to the School District – notifying of preliminary submittal
☐	☒	Outdoor Lighting Ordinance Compliance Agreement

☐	☐	Development Agreement/PDD (If applicable)
☐	☐	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
☐	☒	Documentation showing approval of driveway locations (TxDOT, County)
☐	☒	Documentation showing Hays County 911 Addressing approval (If applicable)
☐	☐	Parkland Dedication fee (if applicable)
☐	☒	$25 Public Notice Sign Fee
☐	☐	Ag Facility Fees - $35 per residential LUE (if applicable)
☐	☐	Proof of Utility Service (Water & Wastewater) or permit to serve
☐	☐	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
☐	☒	Pre-Application Meeting Form signed by City Staff

FINAL PLAT INFORMATION REQUIREMENTS		
☐	☒	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
☐	☒	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
☐	☒	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

☐	☒	The location, widths and names of all street right-of-way and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)
☐	☒	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),
☐	☒	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).
☐	☒	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
☐	☒	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
☐	☒	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
☐	☒	All physical features of the property to be subdivided shall be shown, including: - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes,

		caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. - Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and
☐	☒	Existing zoning of the subject property and all adjacent properties if within the city limits.
☐	☒	Provide notes identifying the following: • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
☐	☒	Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:

NARRATIVE OF COMPLIANCE	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	This property is outside of the City limits and not subject to the Outdoor Lighting Ordinance.
Parkland Dedication, Article 28.03	Since this is a commercial development, the Parkland Dedication Ordinance is not applicable.
Landscaping and Tree Preservation, Article 28.06	Since this subdivision is outside of the city limits, the Landscape and Tree Preservation Ordinance is not applicable.

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable). This subdivision will comply with the applicable portions of the Subdivision Ordinance as applicable to projects in the ETJ.
Zoning, Article 30.02, Exhibit A	Since this project is outside the City limits, the Zoning Ordinance is not applicable.

Received on/by: _____

Project Number: _____-_____
Only filled out by staff

DRIPPING SPRINGS
Texas

BILLING CONTACT FORM

Project Name: Ladera, Lot 2 Replat

Project Address: 4630 W Hwy 290, Dripping Springs, Texas 78620

Project Applicant Name: Jon Thompson, J Thompson Professional Consulting

Billing Contact Information

Name: Rajendra "Robert" Persaud

Mailing Address: PO Box 1789
Dripping Springs, Texas 78620

Email: robert@prostarwater.com Phone Number: (512) 848-0101

Type of Project/Application (check all that apply):

- ☐ Alternative Standard
- ☐ Certificate of Appropriateness
- ☐ Conditional Use Permit
- ☐ Development Agreement
- ☐ Exterior Design
- ☐ Landscape Plan
- ☐ Lighting Plan
- ☐ Site Development Permit
- ☐ Special Exception
- ☐ Street Closure Permit
- ☒ Subdivision
- ☐ Waiver
- ☐ Wastewater Service
- ☐ Variance
- ☐ Zoning
- ☐ Other_____

Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. ***Please see the online Master Fee Schedule for more details.*** *By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

_____ Signature of Applicant

_____ Date

Planning and Zoning Commission
Planning Department Staff Report

Planning and Zoning Commission Meeting:	July 26, 2022
Project No:	VAR2022-0006
Project Planner:	Tory Carpenter, AICP, Senior Planner
Item Details	
Project Name:	Patriot's Hall Sidewalk
Property Location:	231 Patriots Hall Blvd
Legal Description:	Sunset Canyon, sect II C, Lots 18, 19, 20, & 24
Applicant:	Kathryn Chandler
Property Owner:	Patriots' Hall of Dripping Springs
Request:	The applicant requests a reduction in the required fee in lieu of sidewalk construction.

Location Map

VAR2022-0006
Patriots' Hall
Sidewalk Variance

Roads
Parcel Lines
City Limits
Full Purpose

N

0 75 150 300 Feet

Planning Department Staff Report

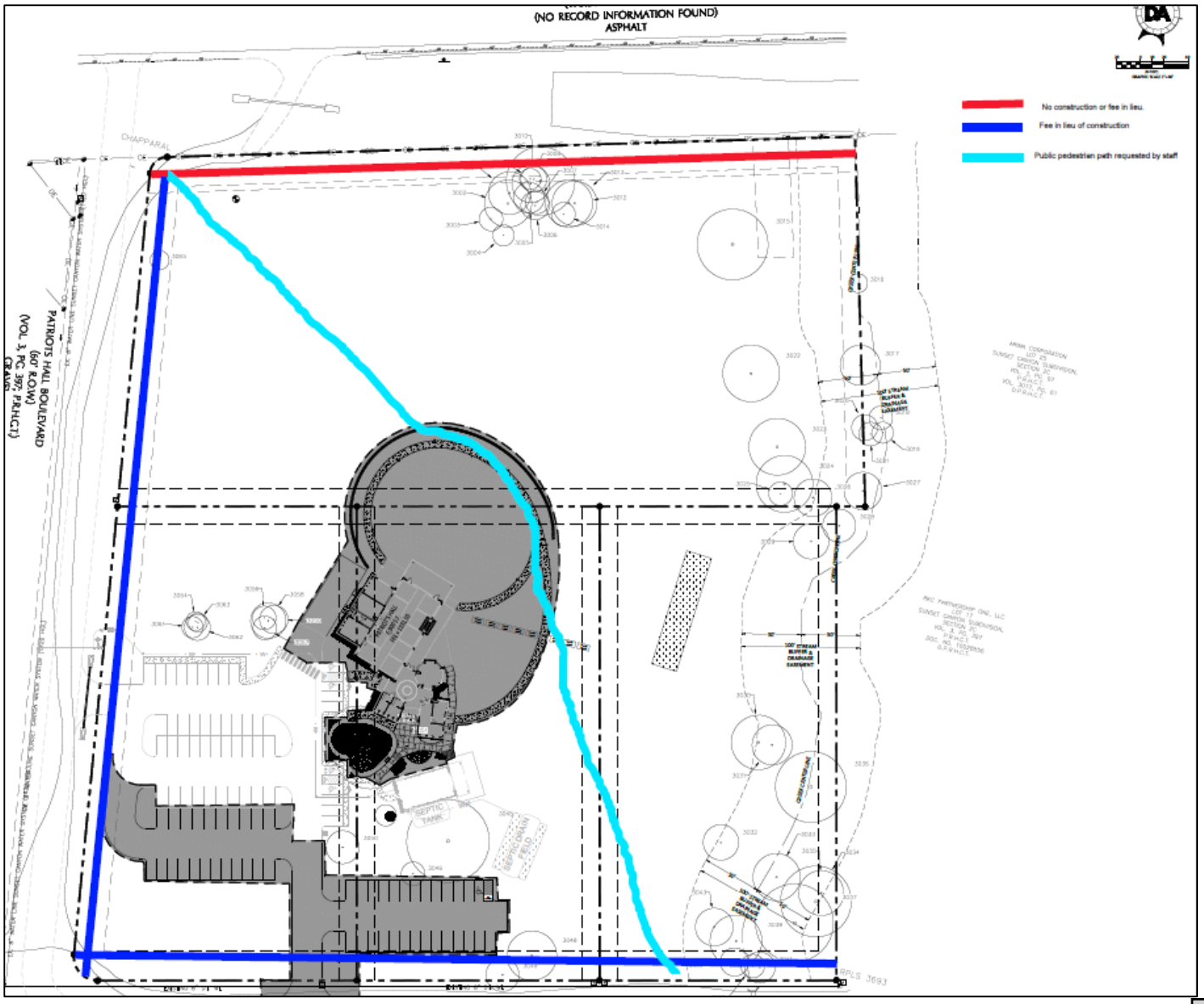
Overview

The applicant applied for a site development permit to expand the existing Patriots' Hall development which is in the City's extraterritorial jurisdiction. This updated site development permit triggers sidewalks along all three frontages of the property. The applicant can also request to pay a fee in lieu of sidewalk construction which can be approved administratively. This fee in lieu amount is $8 per square foot of required sidewalks. The applicant requests the following:

1. To not build sidewalks or pay fee in lieu of sidewalks for the frontage along US 290; and
2. A reduced fee in lieu amount for the remaining frontage from approximately $53,000 to $18,000.

The applicant made the request outlined above via administrative variance which was denied by staff as we found that it did not meet the approval criteria as described below. Staff was amenable, however, to approve the variance if the applicant constructed a public pedestrian path from the southeast corner of the property to the northwest corner of the property. The applicant is appealing this decision to the Planning and Zoning Commission who is the final decision-maker.

<u>Sec. 28.04.019</u> - For commercial site developments: A minimum five-foot sidewalk shall be provided within adjacent street right-of-way (ROW) along the entire frontage of the property.



Planning Department Staff Report

Required Findings for Site Plan Variance (28.04.015-Zoning Ordinance)

Approval Criteria	Staff Comments
1. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this article would deprive the applicant of the reasonable use of this land;	Staff acknowledges that there are limitations to constructing sidewalks along US 290 and have approved a fee in lieu of sidewalks along that frontage. At minimum, staff finds that the applicant should pay the fee in lieu of sidewalks along all frontages.
2. That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;	This variance is not necessary for this expanded site.
3. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and	Granting of this variance could be detrimental to public welfare by not providing adequate pedestrian infrastructure.
4. That the granting of the variance will not have the effect of preventing the orderly development of other land in the area in accordance with the provisions of this article.	Sidewalks are required for new development and the granting of the variance would be inconsistent with this requirement and surrounding development requirements.

Summary and Recommendation

Based on the above findings, staff believes that the intent of the code is not being met and recommends denial of the variance.

If the Commission chooses to approve the variance, staff recommends requiring a public pedestrian path from the southeast corner of the property to the northwest corner of the property, as outlined in the illustration above.

Note that the Planning & Zoning Commission makes the final decision for appeals to site plan variances.

Public Notification

A notice of the public hearing was posted to the City's website.

Attachments

Exhibit 1 – Variance Application

Exhibit 2 – Site Development Permit.

Recommended Action	Deny the requested variance.
Alternatives/Options	Approve the requested Variance
Budget/Financial impact	N/A
Public comments	None received at this time
Enforcement Issues	N/A
Comprehensive Plan Element	N/A

DRIPPING SPRINGS
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384
Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ALTERNATIVE STANDARD/SPECIAL EXCEPTION/VARIANCE/WAIVER APPLICATION

Case Number (staff use only): _____-____

CONTACT INFORMATION

PROPERTY OWNER NAME Patriots' Hall of Dripping Springs

STREET ADDRESS 100 Commons Road Ste. 7, #377

CITY Dripping Springs STATE TX ZIP CODE 78620

PHONE 310-663-8010 EMAIL kathryn@patriotshall.org

APPLICANT NAME Kathryn Chandler

COMPANY Patriots' Hall of Dripping Springs

STREET ADDRESS 100 Commons Road Ste. 7, #377

CITY Dripping Springs STATE TX ZIP CODE 78620

PHONE 310-663-8010 EMAIL kathryn@patriotshall.org

APPLICATION TYPE

☐ ALTERNATIVE STANDARD ☒ VARIANCE

☐ SPECIAL EXCEPTION ☐ WAIVER

PROPERTY INFORMATION	
PROJECT NAME	Patriots Hall Phase 1B
PROPERTY ADDRESS	231 Patriots Hall Blvd., Dripping Springs, TX 78620
CURRENT LEGAL DESCRIPTION	Sunset Canyon Sec II-C, Lots 18, 19, 20 & 24, OPRHCT, Vol. 3, Pg. 397-398
TAX ID#	R44800, R44801, R44802 & R44806
LOCATED IN	☐ CITY LIMITS ☒ EXTRATERRITORIAL JURISDICTION ☐ HISTORIC DISTRICT OVERLAY

- Description of request & reference to section of the Code of Ordinances applicable to request:

  Request #1: We are requesting a variance from Article 28, Section 28.04.019 - Sidewalks - requiring construction of a sidewalk along US 290 frontage road as well as a requirement to pay fee-in-lieu.

  Request #2: We are requesting the DRC approve payment of a fee-in-lieu for sidewalks along Patriots Hall Blvd. and Pier Branch Rd. with a reduction in fee.

- Description of the hardship or reasons the Alternative Standard/Special Exception/Variance / Waiver is being requested:

  See attached letters.

- Description of how the project exceeds Code requirements in order to mitigate or offset the effects of the proposed alternative standard/special exception/variance/waiver:

  See attached letters.

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Kathryn Chandler is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.
(As recorded in the Hays County Property Deed Records, Document No. 19039055.

K M Chandler
Name

President
Title

STATE OF TEXAS §
§
COUNTY OF HAYS §

This instrument was acknowledged before me on the 13th day of May, 2022 by Kathryn Chandler.

Meranda S. Perkins
Notary Public, State of Texas

My Commission Expires: 8/06/2024

MERANDA S. PERKINS
Notary Public, State of Texas
Comm. Expires 08-06-2020
Notary ID 125013430

Kathryn Chandler
Name of Applicant

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. ***Incomplete submissions will not be accepted.*** *By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:*

Kmchunder
Applicant Signature

May 13, 2022
Date

CHECKLIST		
STAFF	APPLICANT	
☐	☑	Completed Application Form - including all required signatures and notarized
☐	☑	Application Fee (*refer to Fee Schedule*)
☐	☑	PDF/Digital Copies of all submitted documents **When submitting digital files, a cover sheet must be included outlining what digital contents are included.**
☐	☑	Billing Contact Form
☐	☑	Photographs
☐	☑	Map/Site Plan/Plat
☐	☐ N/A	Cut/Fill Data Sheet (*if applicable)*
☐	☐ N/A	Architectural Elevations (*if applicable*)
☐	☑	Description and reason for request (*attach extra sheets if necessary)*
☐	☑	Public Notice Sign - $25
☐	☑	Proof of Property Ownership-Tax Certificate or Deed
☐	☐ N/A	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (required if marked "Yes (Required)" on above Lighting Ordinance Section of application)

DOUCET

7401B Highway 71 West, Suite 160
Austin, TX
Office: 512.5
Fax: 800.587.2817
DoucetEngineers.com

April 24, 2022

Ms. Ginger Faught
Deputy City Administrator
City of Dripping Springs
511 Mercer Street
PO Box 384
Dripping Springs, TX 78620

Re: Patriot's Hall Sidewalks

Dear Ginger,

As you are probably aware, we have submitted site/civil plans for the next phase (Phase 1B) of the Patriot's Hall development, which includes the actual "Patriot's Hall" building. There are several outstanding items that must be provided before the City can approve the site development permit. However, I wanted to reach out directly to you on the sidewalk issue because it will take your involvement to resolve it.

The requirement for the Patriot's Hall to build sidewalks includes sidewalks on three sides of the 10-acre tract. The north side of the property is adjacent to the US 290 right-of-way and is approximately 600 feet long. For this location we are requesting a waiver from the requirement to build the sidewalk for several reasons. In our experience, TxDoT generally does not want nor allows sidewalks next to a higher speed facility such as 290 when there are no curbs. TxDoT is also planning to widen US 290 east of Dripping Springs, including additional right-of-way acquisition at this location. Schematic roadway design is currently underway. In addition to the above, there are no current sidewalk networks east or west of this property or across the road. Finally, the topography along US 290 is prohibitive. There is an embankment that slopes, in some places as steep as 3 horizontal to 1 vertical, from the edge of the shoulder of the roadway down to the property line; and, there is a guard fence along the edge of the roadway for most of the frontage. It is our opinion that a sidewalk is not appropriate in this area.

The other locations where ordinance requires sidewalks are along the western boundary with the newly constructed Hays County Road, Patriot's Way, and on the southern boundary with the future extension of the County's Pier Branch Road. Together, this distance is approximately one thousand, three hundred twenty-five feet (1,325). We don't believe sidewalks will be used in these locations and will be difficult to construct. Therefore, we are requesting the City approve a payment of fee in lieu for these sidewalks. The nearest existing sidewalk to these, if they were to be constructed, is over 4,500 feet away in Headwaters, on the north side of US 290. The average grade from the northern property line at US 290 to the parking lot for the development is 7 percent, equal to 14 horizontal: 1 vertical. The county roadway is constructed with bar ditches and there is not room withing the right-of-way adjacent to the road to accommodate the ditch, grading to natural grade and the sidewalk. The other option is to place it within an easement on the property. However, this will likely trigger the TDLR requirement for the sidewalk to be ADA compliant, thus requiring the sidewalk to be 12:1 maximum slope with a landing pad every 50 feet. Constructing this with the required ramps would significantly reduce impervious cover that is needed for the facilities.

The fee in lieu is calculated as follows:

1,325 linear ft of sidewalk x 5 ft wide sidewalk x $8.00 per square ft = $53,000

TBPLS Firm No. 1010580
TBPE Firm No. F-3937

DOUCET

7401B Highway 71 West, Suite 160
Austin, TX
Office: 512.5
Fax: 800.587.2817
DoucetEngineers.com

As you know, Patriot's Hall is a non-profit organization created to benefit veterans and their families living in the greater Dripping Springs area. It will serve as a place for veterans to congregate, heal and to relax. More importantly, it will be staffed with administrators who can connect vets with needed services such as medical, legal, and financial, and it is designed to be a real time resource for needed phycological and intervention referrals.

Patriot's Hall and its board acknowledge and are extremely grateful for the tremendous help and donations the City and the City's consultants have provided. We are asking once again if the City would be willing to consider helping by reducing the fee in lieu for the sidewalks on this project. We understand that many of the veterans that will use this facility will also use sidewalks within the core of the City. However, a reduction in the fee in lieu will allow Patriot's Hall donations to be used for the facilities and or veteran services. We are proposing Patriot's Hall be responsible for paying $18,000 to satisfy the sidewalk fee in lieu.

Once again, Patriot's Hall is grateful for the City's support in creating a one-of-a-kind facility to aid veterans within our community. Please contact me or Kathryn Chandler if you have any questions or would like to discuss this in more detail.

Sincerely,

John Doucet

TBPLS Firm No. 1010580
TBPE Firm No. F-3937

May 13, 2022

Dear Development Review Committee,

My name is Kathryn Chandler, and I am President of the Patriots' Hall of Dripping Springs. Along with John Doucet's submission, I want to personally explain reasons for not adding the requested 1325 LF of sidewalks where designated on our permit reply.

.

Our 10acre retreat for veterans and their families is located 3.6 miles from downtown and any logical walking connectivity. The north end of our property butts up against Hwy 290 (which is mapped to be widened and 60 MPH). Our west end is now paved, but sidewalks along here would not be used, as it leads to only one destination... our parking lot. (Not to mention it is quite sloped and not at all feasible to wheelchairs). The south end of our property is massively sloped and has a deep culvert. Again, this would not logically be used.

Our plans are specifically designed for the veteran community to enjoy 70% of wide-open spaces. In addition to our Meeting House for VFW/AL, a Wellness center/VA Claims Assistance and 7100 sqft. Gathering Hall... approx. 2420 LF of sidewalk and walking trails will lead to various stops throughout the property. Gardens, playscape, workout area, campsites etc. And these will meet ADA compliance due to our handicapped and older veterans.

Our mission's aim has always been to bring our community and our veterans together.
PHDS will have several events throughout the year that will invite the public to enjoy the property and connect with our veterans. And obviously, they will be using our sidewalks and walking trails...

- Quarterly Art Show/cocktail hour for the community to enjoy veteran artwork from therapeutic art classes.

- Shark Tank for veterans to pitch their creative ideas in front of a community audience. John Paul DeJoria (a generous PHDS donor and Shark Tank star) will be involved.

- Community/Veteran family Movie Nights.

- Job Fairs bringing veterans and businesses together.

- Q&A with veterans and students. Inviting students to learn the history of our veterans in a setting surrounded by military memorabilia.

- Veteran/community fitness challenges. School sports teams take on the military in boot camp activities and obstacle course.

- PHD vegetable and flower garden. Community (and kids) learn on site about land stewardship by our Veteran master gardener.

- Community-invited Super bowl and other sports events parties.

And as you know, we are already a designated voting station for the community.

PHDS will be an incredible boost in publicity and reputation for Dripping Springs and the City personally. Support for veterans goes a long way. Not to mention hotel and dining income from large community-invited events.

So far, we have raised approx. $5M of our $8M budget through local donations from our local citizens. They have stepped up beyond our dreams. A perfect example of why Dripping Springs is exactly the right place for the PHDS Flagship Patriots' Hall.

Money in lieu of sidewalks:

As I stated earlier, we have expansive trails and walkways in our civil plans. And because of ADA compliance, retaining walls etc. it is expected to cost us $60,000 - $75,000.

I also found this while researching...

ARTCLE 28.04 on sidewalks in DS Ordinances –

"In certain instances, the development review committee may approve placement of sidewalks adjacent or closer than 5 feet to the curb **OR** located on private property and in a public access easement, provided that such placement benefits the general public by allowing more space for pedestrian safety, drainage facilities, landscaping and tree preservation."

We want to work hand in hand with the City on this project. It's a win-win for our veterans, our City, and our local donors.

Did you know that the largest veteran community in the nation reside in the areas between Ft. Hood and San Antonio. That's us.

Thank you for your time,
Kathryn Chandler

LEGEND

1. PATRIOTS' HALL ENTRY COURT
2. AMERICAN LEGION / VFW ENTRY COURT
3. SHADED SEATING AND LIGHTING AT ENTRY
4. OUTDOOR FLEXIBLE COURTYARD
5. COVERED BBQ AND SERVING STRUCTURE
6. OUTDOOR EVENT SPILLOVER
7. COUNSELING BUILDING
8. NATURAL TRAILS
9. OBSTACLE COURSE
10. EVENT LAWN
10a. MEMORIAL OPPORTUNITY
11. CONCRETE TRAIL (ADA COMPLIANT)
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15. POND WITH THREE BUBBLERS
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20. GREENHOUSE
21. COMMUNITY GARDEN AND SHED (PROXIMITY / ACCESS TO PARKING)
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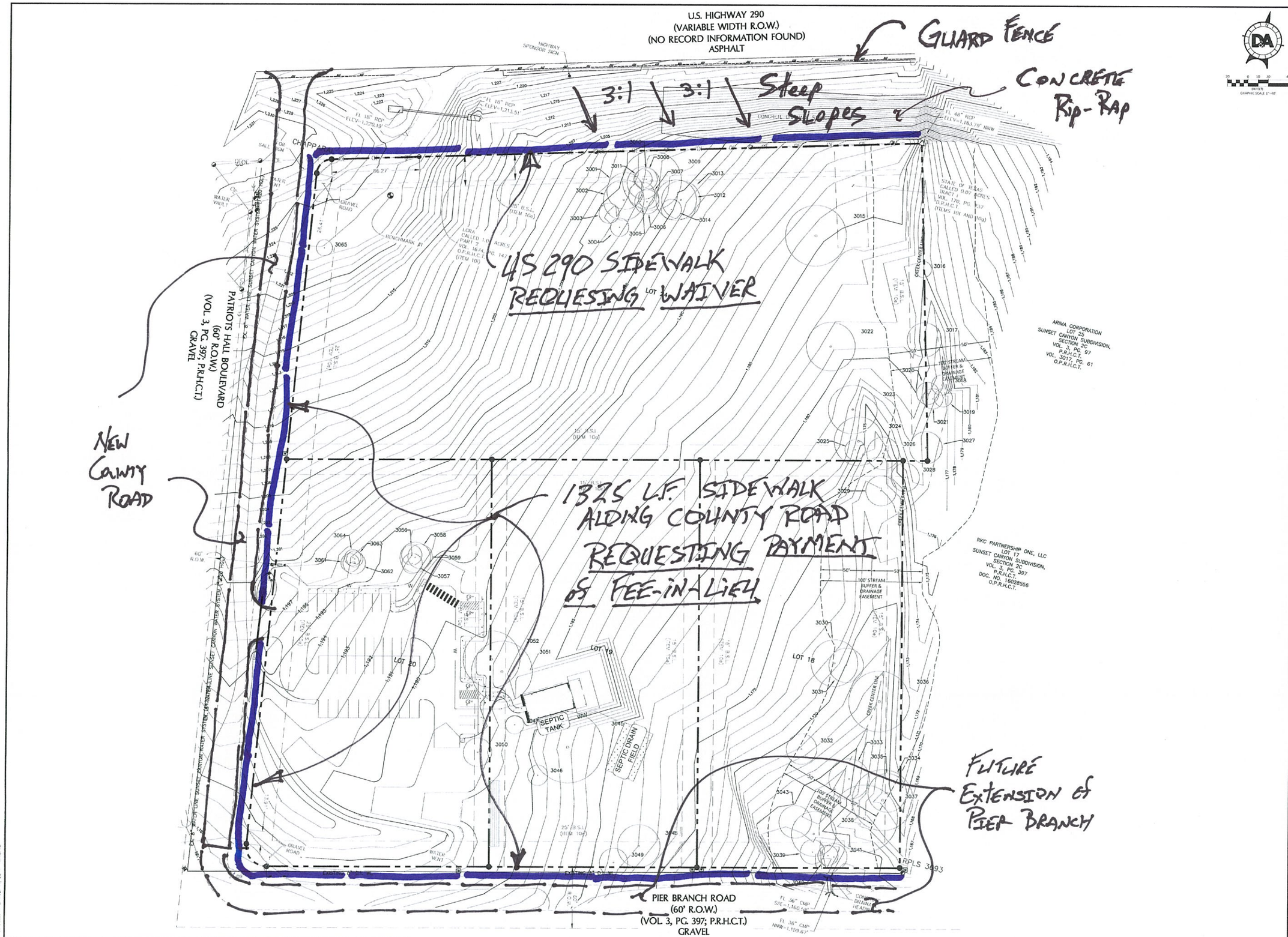
24. CHILDREN'S NATURE PLAY



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Civil Engineering // Entitlements // Geospatial
7401 B. Highway 71 W, Ste. 140
Austin, TX 78735, Tel: (512)-583-2600
www.doucetengineers.com
TBPE Firm Number: 3937
TBPELS Firm Number: 10105800

EXISTING CONDITIONS PLAN

PATRIOT'S HALL - PHASE 1B

231 PATRIOTS HALL BOULEVARD
HAYS COUNTY, DRIPPING SPRINGS, TEXAS
CASE #SD2022-XXXX

STATE OF TEXAS
JOE GRASSO
73285
LICENSED PROFESSIONAL ENGINEER
2-8-22

Designed:	JG/BP
Drawn:	BP
Reviewed:	JG/BP
Date:	02/08/2022

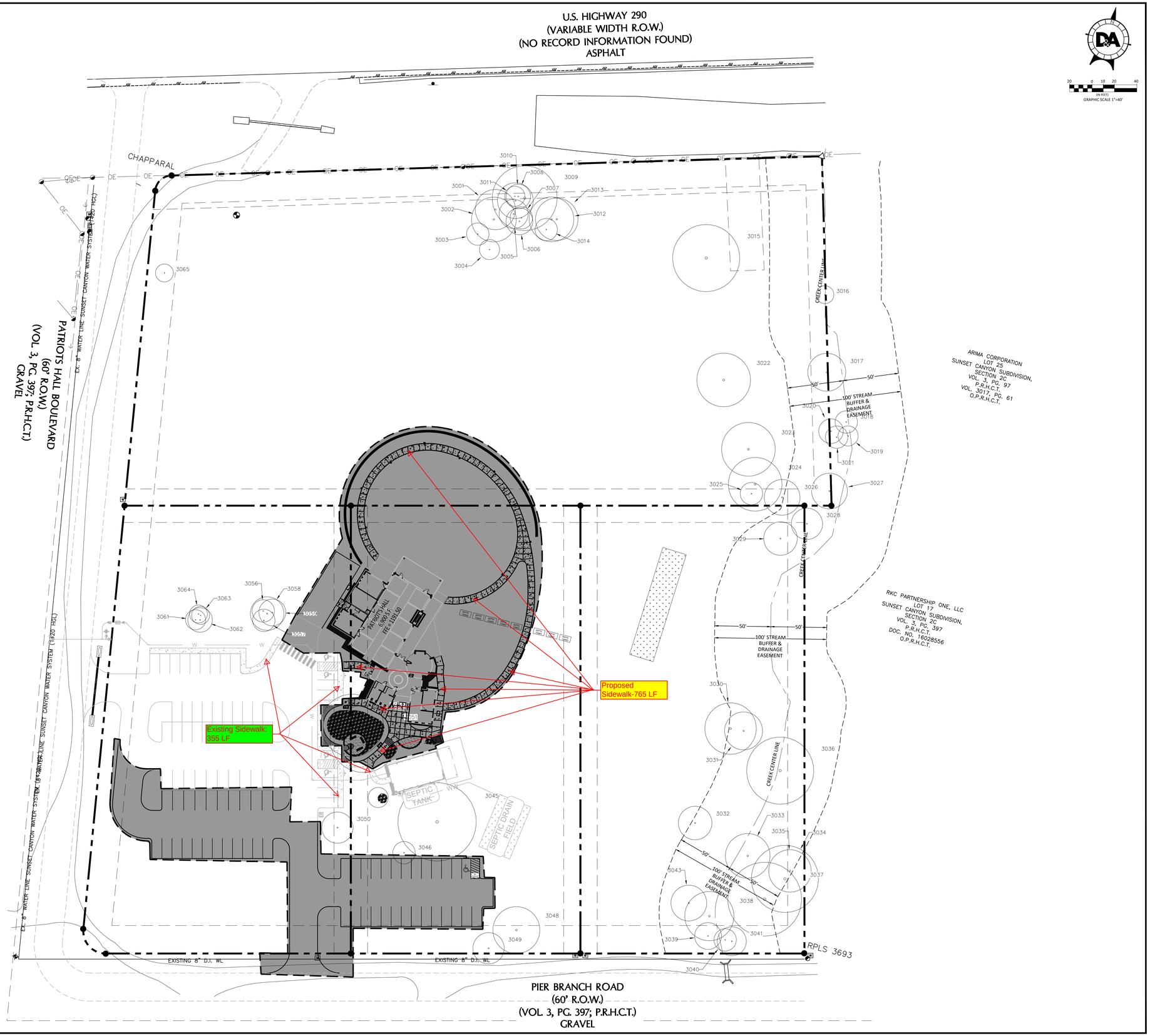
SHEET 4 OF 28

Project No.: 1754-001

LEGEND

AREAS OF SITE WORK AS PART OF THIS PERMIT SET OF PLANS.

LIMITS OF SITE PLAN



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OVERALL SITE PLAN

PATRIOT'S HALL - PHASE 1B

231 PATRIOTS HALL BOULEVARD
HAYS COUNTY, DRIPPING SPRINGS, TEXAS
CASE #SD2022-0008

STATE OF TEXAS
JOE GRASSO
73285
LICENSED PROFESSIONAL ENGINEER
4-22-22

Designed:	JG/BP
Drawn:	BP
Reviewed:	JG/BP
Date:	04/22/2022

SHEET
8
OF 28

Project No.:
2355-002

Drawing: c:\pw_working\ben.perkins\dms89765\2355002 OVA-SP.dwg
User: BPERKINS
Last Modified: Apr. 25, 22 - 00:10
Plot Date/Time: Apr. 25, 22 - 00:18:49

SITE ANALYSIS TABLE

TOTAL SITE	10.01 Acres
NET SITE AREA	8.81 Acres
ALLOWABLE IMPERVIOUS COVER *CALCULATION IS FOR 'NET SITE AREA'	35.0%
ALLOWABLE IMPERVIOUS COVER	152,612 S.F. (3.5 Acres)
EXISTING IMPERVIOUS COVER	27,172 S.F.
%IMPERVIOUS COVER	7.08%
PROPOSED IMPERVIOUS COVER	37,684 S.F.
%IMPERVIOUS COVER	9.82%
TOTAL IMPERVIOUS COVER	64,856 S.F.
%IMPERVIOUS COVER	16.90%
FINISHED FLOOR ELEVATIONS *SEE GRADING PLAN FOR ELEVATIONS	1191.50
BUILDING-# STORIES	1 STORIES
BUILDING HEIGHT	MAX. 40'

LEGEND

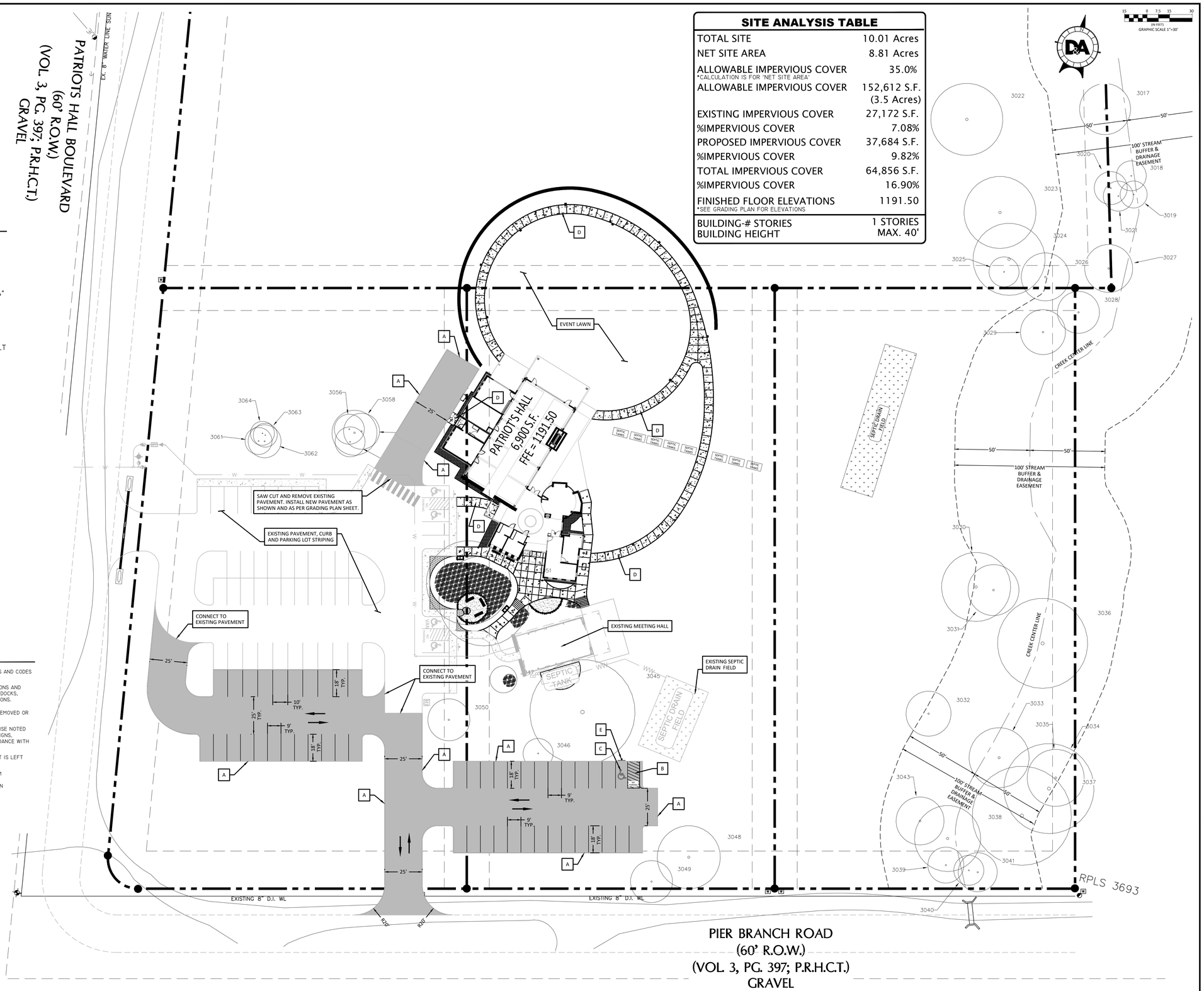
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPERTY LINE
- PROPOSED PARKING SPACES SYSL/4"
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEET.
- PROPOSED MEDIUM DUTY DI-2 ASPHALT PAVEMENT. SEE DETAIL SHEET AND GEOTECH REPORT.
- PROPOSED LIGHT DUTY DI-1 ASPHALT PAVEMENT. SEE DETAIL SHEET AND GEOTECH REPORT.
- FIRE LANE — FIRE LANE ACCESS AREAS (NO PARKING ALLOWED) ALL FIRE LANE ACCESS PAVEMENT SHALL BE DESIGNED FOR HS-20 LOADING.
- TRAFFIC DIRECTION

SITE LEGEND

- A — EDGE OF ASPHALT PAVEMENT.
- B — PAINTED 4" WIDE YELLOW LINE AT 45° AND 2'-0" C-C.
- C — INSTALL HANDICAP SPACE, SYMBOL, SIGN AND STRIPING. SEE DETAIL SHEET.
- D — INSTALL MINIMUM 5' CONCRETE SIDEWALK. SEE DETAIL SHEET.
- E — INSTALL ACCESSIBLE PARKING SIGN W/VIOLATION SIGN. SEE DETAIL SHEET.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS.
5. ALL PAVEMENT REMOVED SHALL BE DONE SUCH THAT THE REMAINING PAVEMENT IS LEFT WITH A CLEAN SMOOTH SAWCUT STRAIGHT EDGE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.



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SITE PLAN

PATRIOT'S HALL - PHASE 1B
231 PATRIOTS HALL BOULEVARD
HAYS COUNTY, DRIPPING SPRINGS, TEXAS
CASE #SD2022-0008

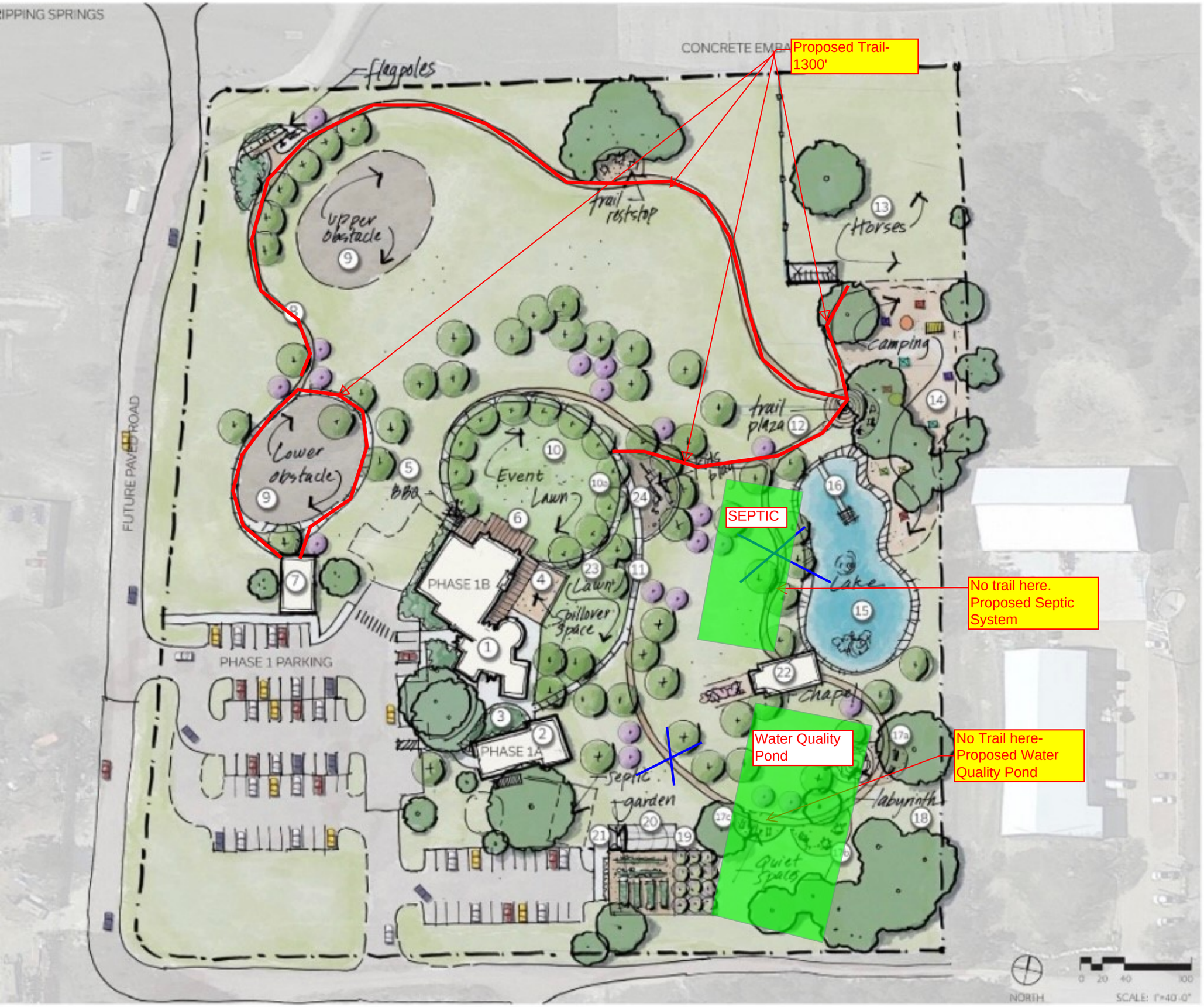
STATE OF TEXAS
JOE GRASSO
73285
LICENSED PROFESSIONAL ENGINEER
4-22-22

Designed:	JG/BP
Drawn:	BP
Reviewed:	JG/BP
Date:	04/22/2022

SHEET 9 OF 28

Project No.: 2355-002

Drawing: c:\pw_working\ben-perkins\dms89765\2355002 SP.dwg
User: BPERKINS
Last Modified: Apr 13, 22 – 11:16
Plot Date/Time: Apr 25, 22 – 10:18:54



LEGEND

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2. AMERICAN LEGION / VFW ENTRY COURT
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24. CHILDREN'S NATURE PLAY

July 2, 2022

Dear Planning and Zoning,

My name is Kathryn Chandler, and I am President of the Patriots' Hall of Dripping Springs. Along with John Doucet's submission, I want to personally explain reasons for not adding the requested 1325 LF of sidewalks where designated on our permit reply.

.

Our 10acre retreat for veterans and their families is located 3.6 miles from downtown and any logical walking connectivity. The north end of our property butts up against Hwy 290 (which is mapped to be widened and 60 MPH). Our west end is now paved, but sidewalks along here would not be used, as it leads to only one destination… our parking lot. (Not to mention it is quite sloped and not at all feasible to wheelchairs). The south end of our property is massively sloped and has a deep culvert. Again, this would not logically be used.

Our plans are specifically designed for the veteran community to enjoy 70% of wide-open spaces. In addition to our Meeting House for VFW/AL, a Wellness center/VA Claims Assistance and 7100 sqft. Gathering Hall… approx. 2420 LF of sidewalk and walking trails will lead to various stops throughout the property. Gardens, playscape, workout area, campsites etc. And these will meet ADA compliance due to our handicapped and older veterans.

Our mission's aim has always been to bring our community and our veterans together. The reply and suggestion from the Development Commission literally bisecting our property with a public sidewalk completely destroys our mission of a tranquil retreat for veterans and their families to connect and heal.

PHDS will have several events throughout the year that will invite the public to enjoy the property and connect with our veterans. And obviously, they will be using our own ADA sidewalks and walking trails…

- Quarterly Art Show/cocktail hour for the community to enjoy veteran artwork from therapeutic art classes.

- Shark Tank for veterans to pitch their creative ideas in front of a community audience. John Paul DeJoria (a generous PHDS donor and Shark Tank star) will be involved.

- Community/Veteran family Movie Nights.

- Job Fairs bringing veterans and businesses together.

- Q&A with veterans and students. Inviting students to learn the history of our veterans in a setting surrounded by military memorabilia.

- Veteran/community fitness challenges. School sports teams take on the military in boot camp activities and obstacle course.

- PHD vegetable and flower garden. Community (and kids) learn on site about land stewardship by our Veteran master gardener.

- Community-invited Super bowl and other sports events parties.

And as you know, we are already a designated voting station for the community.

PHDS will be an incredible boost in publicity and reputation for Dripping Springs and the City personally. Support for veterans goes a long way. Not to mention hotel and dining income from large community-invited events.

So far, we have raised approx. $5M of our $8M budget mostly through donations from our local citizens. Our DS Founding Sponsors (43 so far) are all local pillars of our community, giving $10,00 strictly to our building progress. They have stepped up beyond our dreams and I am obligated to relay to them how our money is spent.

Money in lieu of sidewalks:

As I stated earlier, we have expansive trails and walkways in our civil plans. And because of ADA compliance, retaining walls etc. it is expected to cost us $60,000 - $75,000.

I also found this while researching…

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We want to work hand in hand with the City on this project. It's a win-win for our veterans, our City, and our local donors.

Did you know that the largest veteran community in the nation reside in the areas between Ft. Hood and San Antonio. That's us.

Thank you for your time,
Kathryn Chandler

PATRIOTS' HALL OF DRIPPING SPRINGS

DOUCET

LEGEND

1. PATRIOTS' HALL ENTRY C
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VICINITY MAP
NOT TO SCALE

HAYS COUNTY:
STATE OF TEXAS §
COUNTY OF HAYS §

I, ELAINE HANSON CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____ 20___ A.D. AT _____ O'CLOCK ____M., AND DULY RECORDED ON THE _____ DAY OF _____ 20___ A.D. AT _____ O'CLOCK ____M., IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS IN INSTRUMENT NUMBER _____

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____ 20___ A.D.

PRELIMINARY

ELAINE HANSON CARDENAS, MBA, PHD, COUNTY CLERK
HAYS COUNTY, TEXAS

HAYS COUNTY:
STATE OF TEXAS §
COUNTY OF HAYS §

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

PRELIMINARY

CHAD GILPIN, CITY ENGINEER
CITY OF DRIPPING SPRINGS DEVELOPMENT SERVICES
HAYS COUNTY, TEXAS

NOTES:
1. THIS FINAL PLAT IS LOCATED WITHIN THE CITY OF DRIPPING SPRINGS EXTRA TERRITORIAL JURISDICTION (ETJ).
1. THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER ZONE.
2. NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDW RECHARGE ZONE.
3. THIS PLAT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHO
4. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED COMMUNITY WATER SYSTEM.
5. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE-APPROVED ORGANIZED WASTEWATER SYSTEM.
6. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED ACCORDING TO THE CITY OF DRIPPING SPRINGS.
7. NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
8. DEVELOPMENT AND RESTRICTIONS WITHIN THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S (TCEQ'S) OPTIONAL ENHANCED MEASURES FOR THE PROTECTION OF WATER QUALITY IN THE EDWARDS AQUIFER (REVISED) OR AS PERMITTED BY THE TCEQ AND IN COMPLIANCE WITH THE CITY OF DRIPPING SPRINGS WATER QUALITY PROTECTION ORDINANCE.
9. NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING, THAT OBSTRUCT OR LIMIT FLOW SHALL BE ALLOWED IN A DRAINAGE EASEMENT.
10. THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION AND MAINTENANCE.
11. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
12. THE FOLLOWING HAYS COUNTY GPS BENCHMARKS ARE TIED TO AND REFERENCED ON THIS PLAT:

#57
ALUMINUM DISK IN CONCRETE
GRID N=13,983,884'
GRID E=2,277,337'
ELEV\1,254.62'

#58
ALUMINUM DISK IN CONCRETE
GRID N=13,984,257'
GRID E=2,278,237'
ELEV\1,241.13'

KNOW ALL MEN BY THESE PRESENTS §
STATE OF TEXAS §
COUNTY OF HAYS §

KNOWN ALL MEN BY THESE PRESENTS, THAT WE, PATRIOTS' HALL OF DRIPPING SPRINGS, ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 100 COMMONS RD, SUITE 7 #377, DRIPPING SPRINGS, TEXAS 78620, BEING THE OWNERS OF LOTS 18, 19, 20, AND 24, SUNSET CANYON SUBDIVISION, SECTION 2C, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 97 OF THE PLAT RECORDS OF HAYS COUNTY TEXAS;

DO HEREBY SUBDIVIDE 10.01 ACRES AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS

PATRIOTS' HALL

IN WITNESS WHEREOF, PATRIOTS' HALL OF DRIPPING SPRINGS, HAVE CAUSED THESE PRESENTS TO BE

EXECUTED THIS THE _____ DAY OF _____ 20___ A.D.

NAME DATE
PATRIOTS' HALL OF DRIPPING SPRINGS
100 COMMONS RD.
SUITE 7 #377
DRIPPING SPRINGS, TX 78620

STATE OF TEXAS §
COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED, _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HAS ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE CAPACITY FOR THE PURPOSED AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____ 20___ A.D.

NOTARY PUBLIC MY COMMISSION EXPIRES:
IN AND FOR THE STATE OF TEXAS

PATRIOTS' HALL OF DRIPPING SPRINGS
100 COMMONS RD.
SUITE 7 #377
DRIPPING SPRINGS, TX 78620
CONTACT:

ENGINEER:
DOUCET & ASSOCIATES, INC.
7401 B HWY. 71 WEST, SUITE 160
AUSTIN, TX 78735
512-583-2600
CONTACT: JOE GRASSO, P.E.

SURVEY:
DOUCET & ASSOCIATES, INC.
7401 B HWY. 71 WEST, SUITE 160
AUSTIN, TX 78735
512-583-2600
CONTACT: CHRIS TERRY, R.P.L.S.

UTILITY:
WATER/WASTEWATER:
WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY (WTCPUA)

ELECTRIC:
PEDERNALES ELECTRIC COOPERATIVE

JURISDICTION:
CITY OF DRIPPING SPRINGS (ETJ)
HAYS COUNTY

SURVEYOR'S CERTIFICATION:
STATE OF TEXAS §
COUNTY OF TRAVIS §

I, CHRISTOPHER W. TERRY, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS PLAT AND ACCOMPANYING LEGAL DESCRIPTION OF EVEN DATE REPRESENT AN ACTUAL SURVEY PERFORMED ON THE GROUND UNDER MY SUPERVISION.

PRELIMINARY 03/30/2022
CHRISTOPHER W. TERRY DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6649
DOUCET & ASSOCIATES, INC.
CTERRY@DOUCETENGINEERS.COM

ENGINEER'S CERTIFICATION:
STATE OF TEXAS §
COUNTY OF HAYS §

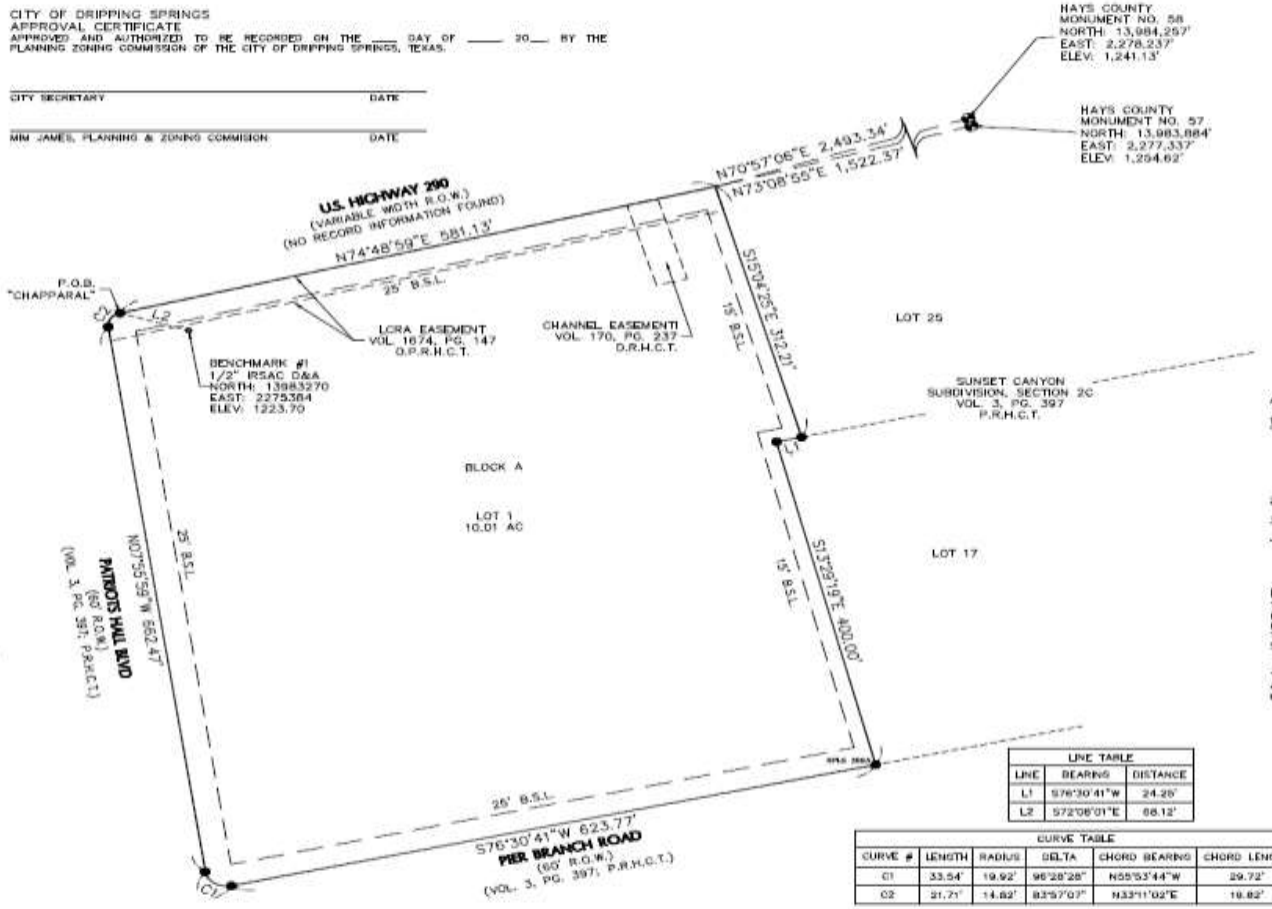
I, JOE GRASSO, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE PLAT AND ALL PLANS AND SPECIFICATIONS WHICH ARE INCLUDED WITH THE PLAT ARE, TO THE BEST OF MY PROFESSIONAL CAPACITY, COMPLETE AND ACCURATE AND IN COMPLIANCE WITH ALL RELEVANT CITY ORDINANCES, CODES, PLANS, AND RELEVANT STATE STANDARDS.

PRELIMINARY 03/30/2022
JOE GRASSO, P.E., CPESC DATE
TEXAS REGISTRATION NO. 73285
DOUCET & ASSOCIATES, INC.
7401B HIGHWAY 71 WEST, SUITE 160
AUSTIN, TEXAS 78735

CITY OF DRIPPING SPRINGS
APPROVAL CERTIFICATE
APPROVED AND AUTHORIZED TO BE RECORDED ON THE ____ DAY OF _____ 20___ BY THE PLANNING ZONING COMMISSION OF THE CITY OF DRIPPING SPRINGS, TEXAS.

CITY SECRETARY DATE

MIM JAMES, PLANNING & ZONING COMMISION DATE



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S76°30'41"W	24.26'
L2	S72°06'01"E	68.12'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	33.54'	19.92'	96°28'28"	N55°53'44"W	29.72'
C2	21.71'	14.62'	83°57'07"	N33°11'02"E	19.82'

AREA TABLE:

1. TOTAL LOT ACREAGE: 10.01 ACRES.
THIS PROJECT CONTAINS 1 LOT, AVERAGING 10.01 AC. THERE ARE:
1 LOTS > 10 AC;
0 LOT BETWEEN 10 AC AND 5 AC;
0 LOTS BETWEEN 5 AC AND 2 AC;
0 LOTS BETWEEN 2 AC AND 1 AC;
0 LOTS < 1 AC.

2. THE TOTAL AREA OF R.O.W. IN THIS SUBDIVISION IS 0.00 ACRES.

3. THE TOTAL LENGTH OF ALL STREETS IN THIS SUBDIVISION IS 0.00 LINEAR FEET.

TOTAL ACREAGE: 10.01 ACRES.

FLOOD NOTE:
THIS PROPERTY IS LOCATED WITHIN UNSHADED ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 48209C0105F EFFECTIVE SEPTEMBER 2, 2005 AND ISSUED BY FEMA FOR HAYS COUNTY, TEXAS. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S).

0 100 200
50 150
GRAPHIC SCALE: 1" = 100'

LEGEND

	PROPERTY LINE
	EXISTING B.S.L.
	EXISTING EASEMENT
	ADJOINER PROPERTY LINES
○	1/2" IRON ROD WITH "DOUCET" CAP SET
●	1/2" IRON ROD FOUND [UNLESS NOTED]
⊗	BENCHMARK SET
B.S.L.	BUILDING SET-BACK LINE
VOL.	VOLUME
PG.	PAGE
R.O.W.	RIGHT-OF-WAY
P.R.H.C.T.	PLAT RECORDS, HAYS COUNTY, TEXAS
O.P.R.H.C.T.	OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS

BENCHMARK NOTE:
BENCHMARK #1
ELEVATION: 1,223.70'
A. DESCRIPTION: 1/2" IRON ROD WITH DOUCET CAP SET, LOCATED APPROXIMATELY 1,315 FEET EAST FROM THE INTERSECTION OF U.S. HIGHWAY 290 WEST AND SOUTH CANYONWOOD DRIVE. [SHOWN HEREON]

CONTROL NOTE:
BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM OF 1983 (NAD 83), 2011 ADJUSTMENT (EPOCH 2010) AND A VERTICAL DATUM OF NAVD88, GEOID 12B. ALL COORDINATES AND DISTANCES ARE GRID VALUES.
UNITS: U.S. SURVEY FEET.

REPLAT OF PATRIOTS' HALL

CITY OF DRIPPING SPRINGS, HAYS COUNTY, TEXAS

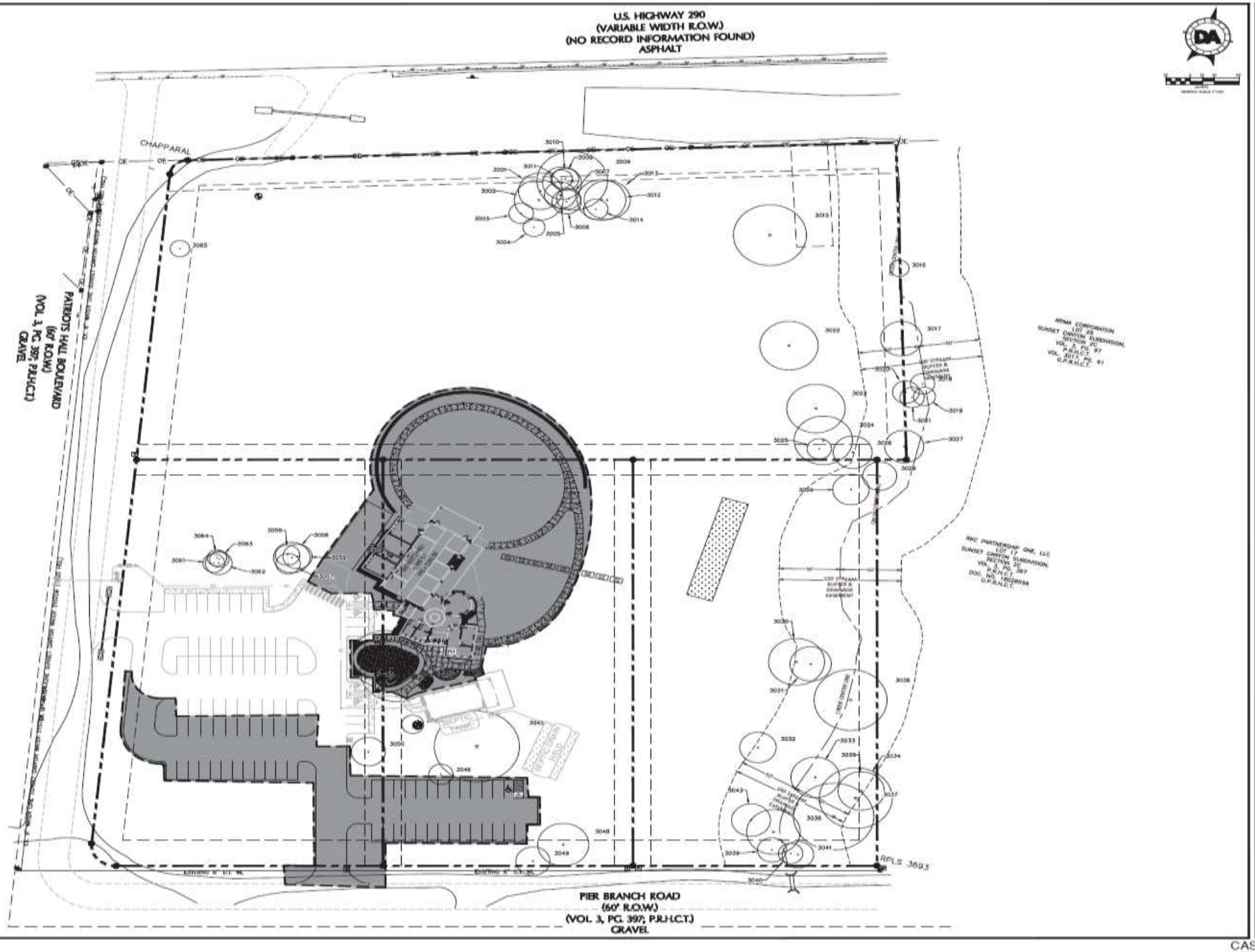
DOUCET & ASSOCIATES
Civil Engineering • Planning • Geospatial
7401 B. Highway 71 W, Suite 160
Austin, Texas 78735, Phone: (512)-583-2600
www.doucetandassociates.com
TBPLS Firm No.: 10105800
TBPE Firm No. F-3937

Date:	03/30/2022
Scale:	1" = 100'
Drawn by:	JMF
Reviewer:	GC
Project:	1754-001
Sheet:	1 OF 1
Field Book:	522
Party Chief:	ADM
Survey Date:	10/03/2019

LEGEND

AREAS OF SITE WORK AS PART OF THIS PERMIT SET OF PLANS.

LIMITS OF SITE PLAN



OVERALL SITE PLAN

PATRIOT'S HALL - PHASE 1B
231 PATRIOTS HALL BOULEVARD
HAYS COUNTY, DRIPPING SPRINGS, TEXAS
CASE #SD2022-0008

STATE OF TEXAS
JOE GRASSO
73285
LICENSED
PROFESSIONAL ENGINEER

Designed: JG/BP
Drawn: BP
Reviewed: JG/BP
Date: 04/22/2022

Project No.: 2355-002

SITE ANALYSIS TABLE

TOTAL SITE	10.01 Acres
NET SITE AREA	8.81 Acres
ALLOWABLE IMPERVIOUS COVER *CALCULATION IS FOR 'NET SITE AREA'	35.0%
ALLOWABLE IMPERVIOUS COVER	152,612 S.F. (3.5 Acres)
EXISTING IMPERVIOUS COVER	27,172 S.F.
%IMPERVIOUS COVER	7.08%
PROPOSED IMPERVIOUS COVER	37,684 S.F.
%IMPERVIOUS COVER	9.82%
TOTAL IMPERVIOUS COVER	64,856 S.F.
%IMPERVIOUS COVER	16.90%
FINISHED FLOOR ELEVATIONS *SEE GRADING PLAN FOR ELEVATIONS	1191.50
BUILDING-# STORIES	1 STORIES
BUILDING HEIGHT	MAX. 40'

LEGEND

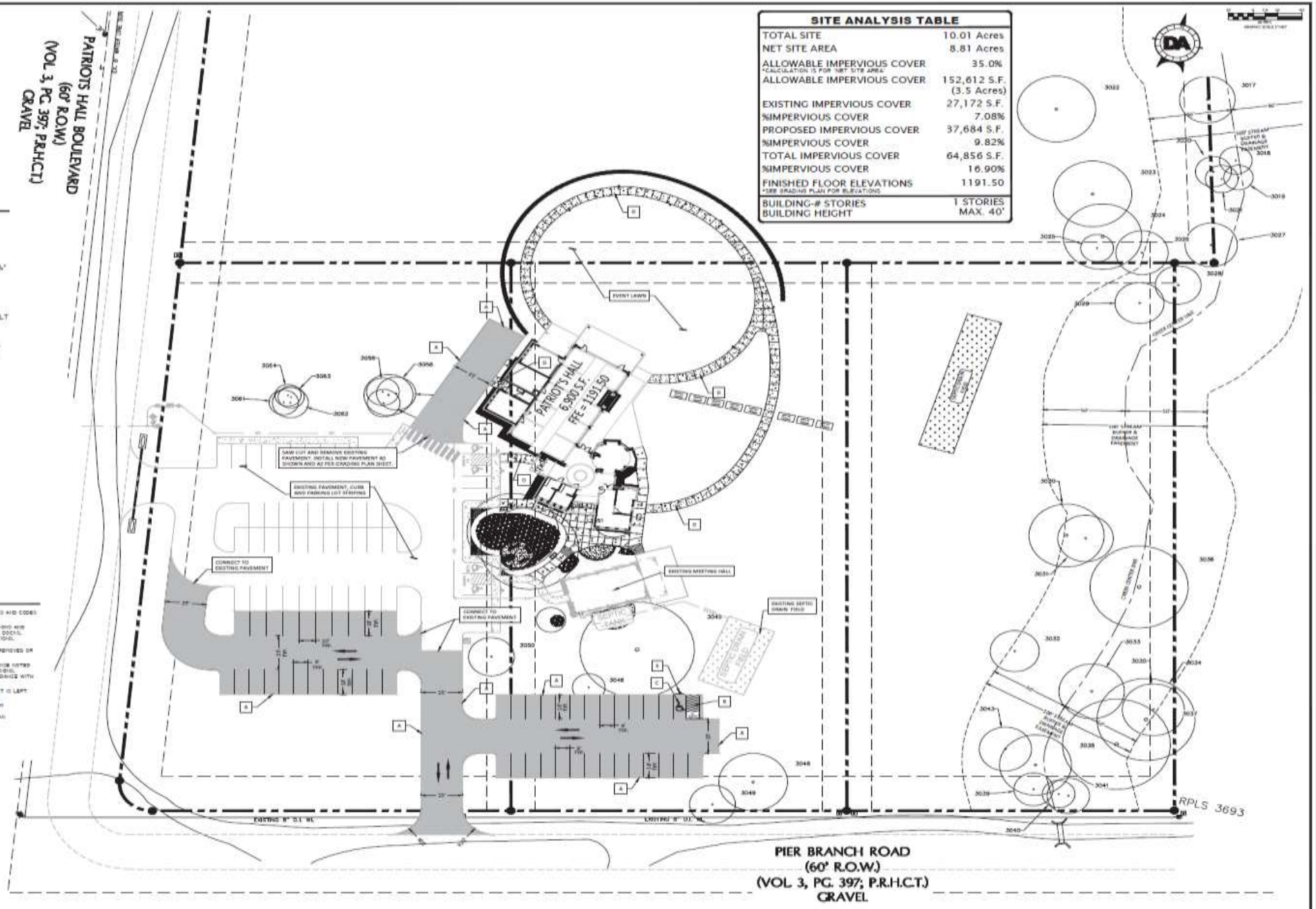
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPERTY LINE
- PROPOSED PARKING SPACES 9'x5.5'/6'
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEET.
- PROPOSED MEDIUM DUTY DI-2 ASPHALT PAVEMENT. SEE DETAIL SHEET AND GEOTECH REPORT.
- PROPOSED LIGHT DUTY DI-1 ASPHALT PAVEMENT. SEE DETAIL SHEET AND GEOTECH REPORT.
- FIRE LANE — FIRE LANE ACCESS AREAS (NO PARKING ALLOWED) ALL FIRE LANE ACCESS PAVEMENT SHALL BE DESIGNED FOR HS-20 LOADING.
- TRAFFIC DIRECTION

SITE LEGEND

- A — CODE OF ASPHALT PAVEMENT
- B — PAINTED 4" WIDE YELLOW LINE AT 45° AND 2'-0" O.C.
- C — INSTALL HANDICAP SPACE, SYMBOL, SIGN AND STRIPING. SEE DETAIL SHEET.
- D — INSTALL MINIMUM 5' CONCRETE SIDEWALK. SEE DETAIL SHEET.
- E — INSTALL ACCESSIBLE PARKING SIGN (VIOLATION SIGN). SEE DETAIL SHEET.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, FLOOR PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS.
5. ALL PAVEMENT REMOVED SHALL BE DONE SUCH THAT THE REMAINING PAVEMENT IS LEFT WITH A CLEAN SMOOTH SAWCUT STRAIGHT EDGE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.



SITE PLAN

PATRIOT'S HALL - PHASE 1B
231 PATRIOTS HALL BOULEVARD
HAYS COUNTY, DRIPPING SPRINGS, TEXAS
CASE #SD2022-0008

STATE OF TEXAS
JOE GRASSO
73285
REGISTERED PROFESSIONAL ENGINEER
11-22-22

Designed:	JK/BP
Drawn:	BP
Reviewed:	JK/BP
Date:	06/22/2022

Project No.: 2355-002

ADMINISTRATIVE APPROVAL PROJECTS				
Site Development Project Name	City Limits / ETJ	Location	Description	Status
SD2019-0006_Dog N Bone	CL	310 Old Fitzhugh Rd	Food Trailor and Site improvements	Waiting on resubmittal
SD2019-0024 Jasons Deli	CL	165 Hargraves Dr	Restaurant	Waiting on resubmittal
SD2019-0025 Merrit Hill Country Amendment	CL	28725 RR 12	minor amendment	Waiting on resubmittal
SD2019-0036 Hart Lane Homes	ETJ	120 Hart Lane	3 SF homes	Waiting on resubmittal
SD2020-0016 100 N Canyonwood Dr	etj	100 N Canyonwood Dr	2 office buildings	Waiting on resubmittal
SD2020-0024 421 Sportsplex Correction	cl	421 Sportsplex	adding retaining wall	Waiting on resubmittal
SD2020-0027 Velocity Credit Union	limited purpose district	Lot 1 Block E of Bush Ranch Phase 1 Revised Subdivision	Construction of an assisted living building, parking areas, water service line, on-site sewage facility, and storm water detention pond.	Waiting on resubmittal
SD2020-0031 ATX Drainage and Landscaping	ETJ	13400 Nutty Brown Road	construction of a landscape yard, associated 6.055 sqft office/warehouse and parking	Waiting on resubmittal
SD2020-0042 31300 RR 12 Vet Clinic	ETJ	31300 RR 12	permitting an existing gravel parking lot	Waiting on resubmittal
SD2020-0047 Dripping Springs RV Resort	ETJ	3601 W US 290, Dripping Springs,	335 RV lots with associated roadway and drainage. All	Waiting on resubmittal
SD2021-0005 Dripping Springs WWTP Expansion	CL	23127 FM 150 W	Expansion of the Wastewater treatment plant	Under Review
SD2021-0008 AHC Development (aka PDD 11)	CL	27110 RR 12	Construction of a new Multi-Familty complex and its necessary infrastructure and a public extension of S Rob Shelton Blvd	Under Review
SD2021-0021 RR 12 Commercial Kitchen	CL	28707 RR 12	Commercial kitchen that will support a catering business, no on-site dining is proposed	Approved w/ Conditions
SD2021-0012 Pet Paradise	ETJ	13526 W Hwy 290	This project is a pet retreat facility with building, parking, and utilities. The site will drain via a storm sewer network to an existing shared water quality pond	Approved w/ Conditions
SD2021-0013 Dreamland	ETJ			Waiting on resubmittal
SD2021-0015 Arrowhead Ranch C-Store	CL	140 Arrowhead Ranch Blvd	Plat to establish 2 lots for commercial development, to include a convenience store with gas sales, car wash and retail sales	Waiting on resubmittal
SD2021-0022 Sawyer Ranch Lot 4A	ETJ	13341 W US HWY 290	Commercial buildings, parking, utilities and sidewalks on 4.68 acres of the Sawyer Ranch subdivision	Under Review
SD2021-0028 Sawyer Ranch 33, Tract 3	CL	Sawyer Ranch	Infrastructure Plan to Install and construct utilties, drainage, water quality, and street/driveway improvements for the entirety of the tract	Under Review
SD2021-0029 Jackson Lighting	CL	Along US 290 near Sawyer Ranch Rd	Construction of new building for the Jackson Lighting business	Under Review
SD2021-0030 Belterra Townhomes	ETJ	Belterra	Seven townhome units with associated parking, sidewalk, utilities, and drainage	Waiting on resubmittal
SD2021-0031 Rob Shelton Blvd. Extension	CL	Rob Shelton	An extension of Rob Shelton South bound per PDD 11	Under Review
SD2022-0001 Julep Commercial Park	ETJ	Northeast corner of W US 290 and Trautwein Rd	11.27 acre site of mixed-use commercial buildings with supporting driveways, water quality and detention pond, rainwater harvesting, and other utilities	Waiting on resubmittal
SD2022-0002 East Ledgestone Commercial	ETJ	Ledgestone	5 mixed-use, commercial buidlings with assocaited utilities, paving, sidewalks and drainage	Under Review
SD2022-0003 210 Creek Road Site Plan	CL	210 Creek Road	Proposed residential development, these are condoized units	Approved
SD2022-0005 Dripping Springs Storage Phase 2	ETJ	14001 W US 290	Proposed addition of outdoor garage storage to an existing indoor storage facility	Waiting on resubmittal
SD2022-0010 Wenty's Wine Bar	ETJ	5307 Bell Springs Rd	Wine bar and associated improvements	Waiting on resubmittal
SD2022-0006 Mark Black Wedding Venue	ETJ	13 Concord Circle	The project proposes to eliminate the overflow parking at the rear of the development.	Under Review
SD2022-0007 Heritage Effluent Line Stage II Extension	CL	511 Mercer Street	Extension of the existing 12" effluent line north along RR12, along with an 8" effluent line that spans from Rob Shelton, across Hwy 290, and north to Heritage Stage 2	Waiting on resubmittal
SD2022-0008 Patriot's Hall Phase 1B	ETJ	231 Patriots Hall Blvd	New Patriot's Hall event building with parking, infrastructure and water quality	Waiting on resubmittal
SD2022-0013 DS Flex Business Park	CL	28513 RR 12	Construction of two shell buildings with accompanying site improvements	Waiting on resubmittal
SD2022-0011 Skybridge Academy	CL	519 Old Fitzhugh Road	Remodel/repurpose of exisiting historic structures, add new construction to tie together the house and garage with additional parking and revised driveway	Waiting on resubmittal
SD2022-0012 Oakwood Market	CL	Intersection of Bevery Drive and Kibo Ridge	One commercial mixed use building with parking lot and associated utility improvements	Under Review
SD2022-0014 Bell Springs Site Plan (Travis Flake)	ETJ	5307 Bell Springs Rd	Office and Warehouse with drives, parking, waterline connection, and pond	Under Review
SD2022-0015 Over Yonder Nature School	ETJ	5000 Bell Springs	Addition of structures, parking, utility and drainage for a nature school	In Administrative Completeness
SD2022-0016 JWLP Lot 6 Revision 1	CL	249 Sportsplex Drive	Revision to the original site plan	Waiting on resubmittal
SD2022-0017 Lookout Apartments	ETJ	13059 Four Star Blvd	Apartments with 241 Units	Under Review
SD2022-0018 Office 49	ETJ	241 Frog Pond Lane	The construction of eleven office buildings of varying sizes along with the related paving, grading, drainage, and utility improvements.	Under Review
SD2022-0019 Double L Ranch, Phase 1	ETJ	RR 12	Construction of water, wastewater, drainage and paving improvements for 244 single family lots.	Under Review
SD2022-0020 Merigian Studios	ETJ	105 Daisy Lane	Art studio with driveway, parking, and external structures	Under Review

Ongoing Projects	
Comprehensive Plan	Toured with DTJ and Steering Committee along with an all day discussion
Village Grove	PDD Approved - Preliminary Plat in queue
New Growth	PDD Approved
Cannon East	Staff toured the property Monday, May 2nd; comments from the DAWG meeting and tour were sent to the developer, he has responded to many of them, a few require additional meetings between staff/development team. Currently waiting to coordinate the variance chart meeting.
Moratorium	Extended to September 18

Subdivision Project Name	City Limits / ETJ	Location	Description	Status
Driftwood Phase 3	ETJ	17901 RM 1826	1 lot subdivision	Waiting on the County
SUB2019-0041 Headwaters Ph. 4 Sec. 6 CP	ETJ	Intersection of Headwaters Blvd and Hazy Hills Loop	4 Lot subdivision	Waiting on the County
SUB2019-0044 Caliterra Ph/2 Sec 7 Block F Lot 9 AP	ETJ	Peakside Circle	amended plat	waiting on resubmittal
SUB2018-0055 Quik Trip #4133 Addition Minor Plat	CL	16460 Sawyer Ranch Rd	remaining portion of tract A of the Sawyer Springs Subdivision P.R.	waiting on resubmittal, now a zoning amendment, likely to turn into a plat if ReZoning is approved
SUB2021-0002 Roger Hanks Parkway Extension	CL	Roger Hanks Parkway	3120 LF of Collector Roadway. The infrastructure includes all associated streets, grading, and water quality improvements.	Waiting on Resubmittal
SUB2021-0035 Heritage Phase 2 Construction Plans	CL	Sportsplex Drive (Heritage Development)	165 lot (162 residential lots, 2 drainage lots, and 1 parkland lot), 33.96 acre Phase of the Heritage Subdivision	Approved
SUB2021-0012 Caliterra Ph 4 Sec 12 FP	ETJ	Premier Park Loop	47 lots on 65.172 acres with associated infrastructure	Approved
SUB2021-0048 Driftwood Ph 1 Section 4 Final Plat	ETJ	Thurman Roberts Way	A one lot plat for 4.7233 acre land	Waiting on Resubmittal
SUB2021-0061 Big Sky Ranch Phase 3 Final Plat	CL	Big Sky Ranch	224 Lots on 81.71 acres. 215 are Residential	Approved with conditions
SUB2021-0062 Big Sky Ranch Phase 4 Final Plat	CL	Big Sky Ranch	136 Lots on 24.86 acres. 134 are Residential	Approved with conditions
SUB2021-0065 Heritage Phase 2 Final Plat	CL	Sportsplex Drive (Heritage Development)	162 Lots on 69.999 acres, 160 of which are residential with an average lot size of 0.143 acres	Waiting on Resubmittal
SUB2021-0067 Headwaters Phase 5 Section 2 Final Plat	ETJ	Intersection of Headwaters Blvd and Sage Thrasher Circle	146 Lots with 144 of those being residential and with an average size of lots being 8,392 sq ft	Approved
SUB2021-0069 Cannon Ranch Ph 1 Construction Plans	CL	Cannon Ranch Road	Development of 122 residential lots with public roadways, utilities, and drainage features.	Waiting on Resubmittal
SUB2021-0071 Cannon Ranch OffSite Waterline	CL	Cannon Ranch Road	The construction of an offsite waterline that is approximately 4 acres	Approved with conditions
SUB2021-0073 Hardy Preliminary Plat	CL	2901 W US 290	41 Residential lots on 39.341	Under Review
SUB2022-0001 Lohec 749 Cattle Trail	ETJ	749 Cattle Trail	Two lots combining into 1 lot to make a 10 acre lot	Approved
SUB2022-0002 Hays Street Subidivision	CL	102 Bluff Street	Subdivision of 6 residential lots in the Historic District	Waiting for Resubmittal
SUB2022-0005 4400 W Hwy 290 Final Plat	ETJ	4400 W US 290	Platting one lot for commercial purposes	Approved
SUB2022-0006 AHC Preliminary Plat (PDD11)	CL	27110 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Approved with conditions
SUB2022-0007 AHC Final Plat (PDD11)	CL	27111 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Approved with conditions
SUB2022-0008 Wild Ridge Preliminary Plat	CL	E US 290	Preliminary Plat for 863 residential lots and one commercial lot.	Waiting for Resubmittal
SUB2022-0009 Driftwood Subdivision Phase 3 Preliminary Plat	ETJ	17901 FM 1826	Preliminary Plat for 14 lots: 12 Residential, 1 Commercial, 1 Industrial	Approved with conditions
SUB2022-0011 BR Subdivision MP	CL	26918 RR 12	Moratorium Exception Form	Waiting for Resubmittal
SUB2022-0014 DGRC Ph 1, Block A Lot 38 Replat	ETJ	Driftwood Ranch Dr	Splitting Lot 38 into 3 lots with Row lot proposed to give access to DW subdivision	Approved
SUB2022-0012 Driftwood Sub Ph 3 Sec 1 FP	ETJ	17901 FM 1826	Final Plat for 1 Commercial Lot	Approved with conditions
SUB2022-0013 Driftwood Sub Ph 3 Sec 2 FP	ETJ	17901 FM 1826	FP for 11 single-family residential lots, 1 open space lot, and 1 private street lot on 34.67 acres	Approved with conditions
SUB2022-0015 DGRC Ph 2, Blk Q, Lot 2 AP	ETJ	225 Mason Court	Amending Lot 2, Block Q to revise environment feature buffer	Approved
SUB2021-0011 Double L Phase 1 Prelim Plat	ETJ	1.5 miles N of US 290 & RR 12	PP for 243 residential units and 1 amenity center	Approval with Conditions
SUB2022-0016 Parten Ranch Ph 6 & 7 CP	ETJ	600 Two Creeks Lane, Austin Tx 78737	Construction Plans	Under Review
SUB2022-0017 Rob Shelton - Cannon	CL	Rob Shelton Boulevard	Construction Plans	Waiting for Resubmittal
SUB2022-0018 Caliterra Ph 5 Section 14 CP	ETJ	Premier Park Loop	Construction Plans	Waiting for Resubmittal
SUB2022-0010 Ariza Multi-Family Preliminary Plat	ETJ	13900 W. US Hwy 290	Platting of 4 lots into 1 to establish utilities for a Multi-Family Residential Complex of about 293 units.	Approval
SUB2022-0019 Ladera Sub, Lot 2 Replat	ETJ	4630 W Hwy 290	Replat	Under Review
SUB2022-0020 Caliterra Phase 5 Sec 14 FP	ETJ	Premier Park Loop	Final Plat for 25 Residential Lots	Under Review
SUB2022-0021 Headwaters at BC Phase 3 CP	ETJ	Intersection of Hazy Hills Loop and Roy Branch Road	Construction Plans	Waiting for Resubmittal
SUB2022-0022 Hernandez-Creek Rd Sub FP	CL	910 Creek Road	Construction Plans	Approved
SUB2022-0023 Overlook at Bunker Ranch CP	CL	2004 Creek Road	Construction Plans for 12 single family lots with 1 drainage lot	Under Review
SUB2022-0024 Driftwood Sub Phase 3 Sec 2 CP	ETJ	17901 FM 1826	Construction Plans for streets, drainage, water and wastewater	Waiting on Resubmittal
SUB2022-0025 Driftwood Club Core Ph 5 CP	ETJ	Thurman Roberts Way	Condo Regime with nine (35) detached residential units	Waiting for Resubmittal
SUB2022-0026 101 Bob White Cove Replat	CL	101 Bob White	One lot into two lots	In Administrative Completeness
SUB2022-0027 Amending Plat of Lots 49 & 50, Block A, DW Sub, Ph 1 Sec 3, Final Plat	ETJ	Klein Court	From two lots to one lot	Under Review
SUB2022-0028 Parten Ranch Phase 8	ETJ	End of Bird Hollow near Trickling Brook Road Intersection	90 Lot Subdivision	Waiting for Resubmittal
SUB2022-0029 Vitolich Plaza, Lot 1 Replat	ETJ	Bell Springs Rd	From one lot to two lots	Waiting for Resubmittal
SUB2022-0030 Burke Subdivision, Lot 1A Replat		20650 FM 150	From one lot to two lots	In Administrative Completeness
SUB2022-0031 Patriots Hall AP	ETJ	231 Patriots Hall Blvd	Combining the existing 4 lots into 1 lot	Waiting for Resubmittal
SUB2022-0032 Headwaters Commercial East Phase 1	CL	Headwaters Blvd	Preliminary platting 4 lots	Waiting for Resubmittal
SUB2022-0033 The Ranch at Caliterra	ETJ	Premier Park Loop	Preliminary plat of the Carter tract with 243 lots	Under Review
SUB2022-0034 Tiger Lane Subdivision FP	CL	US 290 & Tiger Lane	Final Platting one lot	Under Review
SUB2022-0035 Horse Trail Homes MP	ETJ	420 Horse Trail Drive	Platting two lots	Under Review
SUB2022-0036 Driftwood Creek FM 150 12 Treated Effluent and 10 Raw Wastewater Forcemains Ph I and II	ETJ	FM 150	12 inch treated effluent line and 10 inch wastewater forcemains to connect with Dripping Springs WWTP	Under Review