



**CITY OF DOVER, DELAWARE
HISTORIC DISTRICT COMMISSION MEETING
Thursday, June 18, 2026 at 3:30 PM**

City Hall Council Chambers, 15 Lookerman Plaza, Dover, Delaware

AGENDA

IN-PERSON and VIRTUAL MEETING NOTICE

The The Historic District Commission Meeting for Thursday, June 18, 2026 will be held as an In-Person Meeting at the City Council Chambers. The public is welcome to attend in person. The Meeting will also be provided as a Virtual Meeting using Webex, an audio/video conferencing system as an electronic means of communication. See the participation information below to join by phone or computer.

**PUBLIC PARTICIPATION INFORMATION
City of Dover Historic District Commission Meeting of June 18, 2026**

Join By Phone: Dial 1-650-479-3208
Access Code: 253 376 83789
Password from Phones: 36837432

Join Online: <https://bit.ly/HDCMeeting06182026>
Webinar Number: 2533 768 3789
Password: DoverHDC

If you are new to Webex, get the app now at <https://www.webex.com/> to be ready when the meeting starts. For problems accessing the meeting, please call the Planning Office at (302) 736-7196.

WELCOME

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

1. Adoption of Minutes of November 20, 2025
2. Adoption of Minutes of February 19, 2026

COMMUNICATIONS & REPORTS

Summary of Activity

- 3. Summary of Applications 2025 and 2026
- 4. Summary of Architectural Review Certifications for 2026

Department of Planning & Inspections Updates

REVISED APPLICATION

- 5. HI-24-07 Legislative Hall Building Addition at 411 Legislative Avenue: Revision for West Entrance ADA Ramp – Review for Recommendation for a Revised Architectural Review Certificate for the addition of an ADA Ramp located at the West Entrance of Legislative Hall. The proposal includes an approximately 160 feet proposed ramp in length, while also providing access to a new accessible entrance created within the exiting west façade. A temporary ramp may also be proposed for during construction. This is associated with the Site Development Plan for the Legislative Hall Building Addition project. The main property of 2.80 acres+/- is zoned IO (Institutional and Office Zone) and subject to the SWPOZ (Source Water Protection Overlay Zone) and the H (Historic District Zone). The subject property is located on the east side of Legislative Avenue as the block between Martin Luther King Jr. Boulevard North and Martin Luther King Jr. South. The owner of record is the State of Delaware. Property Addresses: 411 Legislative Avenue and Court Street. Tax Parcels: ED-05-077.09-05-15.00-000 and ED-05-077.09-05-14.00-000. Council District 4. *This Application HI-24-07 was considered at the Historic District Commission Meeting of October 17, 2024 and granted conditional approval of the Site Plan and Architectural Review Certification by the Planning Commission with Application S-24-19 Legislative Hall Building Addition on November 18, 2024.*

NEW APPLICATIONS

Review of Permits Referred to Commission

- 6. HI-26-02 Referral of Siding Permit #26-848 at 108 S. Governors Avenue - Review of Architectural Review Certification as Referred by the City Planner to the Historic District Commission for a Siding Permit #26-848. The project proposes the use of a vinyl siding product in a horizontal format to re clad the three-story residential apartment building. Property is zoned C-2 (Central Commercial Zone) and subject to the H (Historic District Zone). The owner of record is Sarwat Nasr. Address: 108 S. Governors Avenue. Tax Parcel: ED05-077.09-01-41.00-000. Council District 4.

NEW BUSINESS

OLD BUSINESS

Certified Local Government (CLG) Program

Implementation of 2019 Comprehensive Plan

PUBLIC COMMENTS OPPORTUNITY – An opportunity is given for members of the public to provide comments to the Historic District Commission not specifically related to Applications with Public Hearings.

ADJOURN

Posted: June 11, 2026

THE AGENDA ITEMS AS LISTED MAY NOT BE CONSIDERED IN SEQUENCE. PURSUANT TO 29 DEL. C. §10004(e)(2), THIS AGENDA IS SUBJECT TO CHANGE TO INCLUDE THE ADDITION OR THE DELETION OF ITEMS, INCLUDING EXECUTIVE SESSIONS, WHICH ARISE AT THE TIME OF THE MEETING

CITY OF DOVER
HISTORIC DISTRICT COMMISSION
NOVEMBER 20, 2025

The Meeting of the City of Dover Historic District Commission was held on Thursday, November 20, 2025, at 3:30 PM as an In-Person Meeting in the City Hall Council Chambers (anchor location) and virtually using the audio/videoconferencing system Webex. With Chairman Czerwinski presiding, the other members present were Mrs. Richardson, Ms. Baker, and Ms. Horsey.

The Planning Office Staff members present were Mrs. Melson-Williams, Mrs. Savage-Purnell and Mrs. Duca.

APPROVAL OF AGENDA

Ms. Baker moved for approval of the agenda as presented, seconded by Ms. Horsey and the vote was unanimously carried 4-0.

ADOPTION OF MINUTES OF THE REGULAR HISTORIC DISTRICT COMMISSION MEETING OF AUGUST 21, 2025

Ms. Richardson moved for approval of the Meeting Minutes of August 21, 2025, seconded by Ms. Horsey, and unanimously carried 4-0.

COMMUNICATIONS & REPORTS

Summary of Applications 2024 and 2025

Mrs. Melson-Williams mentioned in your meeting packet was the Summary of Applications. This is where we kind of keep a running tally of the Applications that appeared before the Historic District Commission. In 2024, there were a total of nine (9) Applications. Some of them have been completed, some of them are underway, and some have yet to fully start. I will note that the Legislative Hall Parking Garage, which was Application HI-24-04, did receive its final plan approval. We are awaiting submission of a Building Permit for them to move towards construction. My understanding is that they are probably out to bid at this point for that. And then the other one from 2024 for an update is HI-24-08 for the property at 21 North American Avenue. That project is progressing through its construction to convert what was a duplex into a single-family house. And then in 2025, today we will be dealing with our fourth Application of the year and revisiting one from earlier this year. So, we will talk about that in a bit. But so far in 2025, you've only had four (4) Application items.

Mrs. Melson-Williams asked if there were any questions on the Application status. There were none.

Summary of Architectural Review Certifications for 2025

Mrs. Melson-Williams stated that this chart is really a tracking of the permit activity within the Historic District Zone of the City. Primarily for the Historic District, you are focused on the outside of the building. This chart is tallied through the end of October based on the calendar year for 2025. There have been 32 Permit Applications in the Historic District. This does not include plumbing, mechanical, or fire protection permits. Of those 32 Permits, 28 were either done with Staff approval or did not require review because of the location or type of project that was under

Permit. There were four Permits that the Historic District Commission was involved in. Staff then issue the Permit on your behalf with those conditions.

Mrs. Melson-Williams asked if there were any questions on permit activity in the Historic District.

Chairman Czerwinski asked for Sign Permit # 25-1390 on 108 West Loockerman Street if it was a lit sign and/or what is the details of that sign? Is it a Sign that just matches everybody else's? Mrs. Melson-Williams replied I believe that was really a change of tenant at that location. There's a projecting hanging sign as the wall sign. I'm not sure if it's on the wall surface or on the roof. There's a pent roof at that location, so I'm thinking it's not. That building does not have a box sign which you are thinking of.

Chairman Czerwinski said I'm just trying to think which building is 108 West Loockerman Street. Mrs. Melson-Williams replied I believe it's the last building next to the park area, the Loockerman Way Plaza. And it's been several different restaurants over time. It's like a two-story brick, has a pent roof, has a storefront, and a take out kind of window at the front of it.

Chairman Czerwinski does anybody else have any questions? There were none.

Department of Planning & Inspections Updates

Mrs. Melson-Williams mentioned that there were no particular updates. We did have a new Code Enforcement Inspector that started this week. It's filling one of the open positions because we had a retirement earlier this fall in that Division of our overall Department. There are still a number of vacancies across the Department in general that we're hoping to fill sooner rather than later. With that I'm happy to move on to the Special Recognition.

Special Recognition

Mrs. Melson-Williams mentioned on your agenda today is a Resolution honoring the service of Mary Mason to the Historic District Commission. Mary was a member and chose to resign her position in late August. So as is the tradition for this body, Staff prepares a Resolution that the Commission then adopts, and we make that Resolution available to the honoree. I don't believe Mary has joined us today. I do not see her virtually, but we'll make sure that she gets the Resolution. Maybe one of her neighbor friends can deliver it to her. The Resolution reads as follows:

RESOLUTION

Whereas, Mary T. Mason became a member of the City of Dover Historic District Commission in February 2018 and has served with diligence and distinction in this capacity as an advocate for implementation of the Historic District Standards and Guidelines to maintain the historic character of the city's Historic District; and,

Whereas, Mary T. Mason has played a key role in ensuring fundamental fairness and careful forethought in the planning and development of the Capital City through her service on the Historic District Commission; and,

Whereas, Mary T. Mason as a resident of the Historic District has shared her knowledge of Dover and The Green and its history in reviewing applications presented to the Historic District Commission; and,

Whereas, Mary T. Mason has influenced the pattern and appearance of development in the Historic District in Dover through her contributions to the development of the Historic Preservation chapter of the 2019 Comprehensive Plan; and,

Whereas, Mary T. Mason completed her service on the City of Dover Historic District Commission on August 23, 2025.

*Now Therefore Be It Resolved That, the City of Dover Historic District Commission does hereby express its sincere appreciation to **Mary T. Mason** for her faithful and exemplary service to the Citizens of the City of Dover as a member of the City of Dover Historic District Commission.*

And upon adoption of this Resolution, it will formally be signed by Eric Czerwinski, who is the Chair of the Historic District Commission and I, Dawn Melson-Williams as the Principal Planner for the Planning Office that supports the Commission as Staff. And it is dated today.

Chairman Czerwinski mentioned that we all very much dearly treasure Mary's service to the Historic District Commission.

Ms. Horsey stated that as the person who recommended Mary to the Mayor to serve, she would like to move that we adopt this Resolution honoring the services of Mary Terry Mason to the Historic District Commission. The motion for the Resolution was seconded by Chairman Czerwinski and unanimously carried 4-0.

Chairman Czerwinski mentioned and again we send her off with our sincerest thanks for the service she's done to this Commission.

NEW APPLICATIONS

Review of Permits Referred to Commission

HI-25-04 Referral of Fence Permit #25-1463 at 55 Kings Hwy SW - Review of Architectural Review Certification as Referred by the City Planner to the Historic District Commission for a Fence Permit #25-1463. The project proposes a 6-foot vinyl fence on the side and rear property lines. Property is zoned C-2A (Limited Central Commercial Zone) and subject to the H (Historic District Zone). The owner of record is RVC Three, LP c/o Colonial Investment. Address: 55 Kings Highway SW. Tax Parcel: ED05-077.05-04-62.00-000. Council District 4.

Mrs. Melson-Williams mentioned that she was not sure if there was a representative in the room representing the Application. We do have a call in-user so let me check with them. She asked if they were there in regard to the Fence Permit Application that was referred to the Commission? If so, if you can identify yourself for the record. I am not seeing anyone here representing this Fence Permit Application that's been referred to you. I certainly can present the Permit if you want to take action as a follow-up to that or defer waiting until an applicant is in place. We can certainly

start the discussion. They were notified by email of all the contacts that we had for that Permit about today's meeting and then provided a copy of the initial Staff Report. At this point in time, if there's no objection I will continue with it.

Mrs. Melson-Williams gave a brief Staff overview of the Application. As noted, this is Fence Permit # 25-1463. It is a Fence Permit for the property at 55 Kings Highway SW. As submitted to the Planning & Inspections Office, it was a permit to construct a 6-foot vinyl fence on the side or north property line of the property and also along the rear or east property line of the property. The subject site is the Merrill Lynch office building that is west of here on Kings Highway.

SLIDE PRESENTATION

We go to the next slide. This shows the presentation of where the building is in relation to the two fence segments. Kings Highway is at the bottom of the page. Highlighted in yellow is where the Permit identifies the placement for the 6-foot vinyl fence. I will note that the office building is existing and there is a parking lot to its rear. On the left-hand side of the building, there is an entrance drive and that is how you reach the parking that is at its rear. The office building is set back 15.3 feet from the front property line. I make note of that because the front yard setback for this property would be 15 feet. With Fence Permits, normally it's a review by Staff as part of the Permit process. However, if there is some concern about the ability to issue the Architectural Review Certification, Planning Staff can refer it to the Commission for additional consultation about the request. Their request is to propose a fence that is 6 feet in height. As you're aware, the *Design Standards and Guidelines for the City of Dover Historic District Zone* note that fences should not exceed 4 feet in height. And then it goes on to recommended, not recommended, and inappropriate practices for fences as related to materials. Also Planning Staff looked at the regular rules for fences that are found in our *Zoning Ordinance*. It does limit fences to a height of 4 feet within the front yard setback. So, that would be the portion of the fence that's immediately at the front of the building. Before it passes it, that would also be limited by our regular code to 4 feet in height and then it could be that up to a fence height of 8 feet.

Today the Historic District Commission should consider this Fence Permit. We can go to the image cause that's probably the best way to address this. In this image the building is kind of in the center as a gray roof. The Kings Highway is to the left-hand side, and this would be a Fence Permit that would place the fence on its north property line kind of just off the entrance drive aisle and then along the back parking lot, on its east side where you see existing evergreen trees.

Planning Staff first gave some basic findings regarding the Fence Permit, and I've kind of described the kind of the facts of the case, if you will. The fence would likely be very visible from Kings Highway for the side fence segment with only a portion of the rear fence being visible. So, I'm going refer to you to page three of the Report for that summary. Planning Staff have made a Recommendation and that's found on page four. And, in that we have made some recommendations regarding the side fence and the rear fence. I am happy to try to address any questions that you may have. At this point, the Commission could seek questions, answers to questions, and could actually consider making a Recommendation on this at which time we would inform the Applicant of that. You could certainly defer action and request that the Applicant appear before you, in order to sort this out.

Chairman Czerwinski said thank you very much, we appreciate it.

Chairman Czerwinski mentioned right off the top, I have obviously a lot of problems with this one. I'm not sure if we should just defer it or turn it down because there's so many changes. We know right off the top of the head that the height of 4 feet, putting a 6 feet fence right onto the sidewalk like that's pretty extreme. So, without talking to the owners or the project manager on this one, I'd almost think we'd have to defer it or just turn it down altogether.

Mrs. Richardson agreed with Chairman Czerwinski.

Mrs. Richardson said normally with these requests there is a letter accompanying, explaining the need and that's my question, why? Why are they? I don't like it at all with the 6-foot vinyl fence, and certainly not out to the curb in the front. In the back, there appears to be a line of trees which already provides visibility, but I just can't understand why they are putting this fence up. I think we need somebody to represent.

Ms. Horsey mentioned she agreed. I couldn't agree more. Unless there is a lot of mischief, I do know that the Governor's House, which is just north of here had some mischief, but they did put a fence in, and it's curbed a lot of that trespassing of walking through and between properties. And perhaps that's the reason, but I certainly agree that we need to be consistent in the Historic District and require the metal fence instead of vinyl because it is just not appropriate period, especially on the street front.

Chairman Czerwinski stated because in this case the materials are wrong. We have approved vinyl fences in the past, but those were very limited visibility. In this case it is extremely visible. It's 6 feet. They should go with the metal fence and it's a metal 4-foot fence that fits in with the area. This is extreme.

I don't know if you want to defer action to talk to the members or if you want to get a motion to do that or if you want to just decline it all together.

Ms. Horsey mentioned that she did not think the Commission could approve it today without questions being answered. So, can I get a motion to defer?

Mrs. Richardson made a motion to defer Application Hi-25-04 until the Applicant can provide someone who can answer some questions. The motion was seconded by Ms. Horsey and unanimously carried 4-0.

Mrs. Melson-Williams mentioned that Planning Staff will attempt to have them here before the Commission at a future time. We did have an early conversation with their fence contractor, but to advise referring it to the Commission. We have not heard since that point in time. But we will follow up.

NEW APPLICATIONS

Revised Application

HI-25-01 Revised The Old Post at 55 Loockerman Plaza - Public Hearing and Review for Recommendation on Revised Architectural Review Certification for redevelopment of the Old Dover Post Office property consisting of 1.267 acres for a mixed-use project known as The Old Post as revised. This application previously came before the Historic District Commission at their February 20, 2025 Meeting. The project involves the demolition of the rear warehouse portion of the existing building and adaptive re-use of the front 4,560 SF portion of the building for commercial retail and business space. In this Revision are proposed increases in apartment unit count from 36 to 42 units and architectural changes consisting of a second-floor addition to the front wings of the building and a four-story 43,092 SF building addition proposed for forty-two (42) residential apartment units and with parking and other site improvements. The property is zoned C-2 (Central Commercial Zone), subject to the SWPOZ (Source Water Protection Overlay Zone), and subject to the H (Historic District Zone). The property is located on the north side of Loockerman Plaza and adjacent to Innovation Way. The owner of record is The Old Post, LLC. Property Address: 55 Loockerman Plaza. Tax Parcel: ED-05-077.05-04-53.00-000. Council District 4.

Mrs. Melson-Williams gave a summary of Application HI-25-01 Revised.

Mrs. Melson-Williams mentioned that the Commission saw the Application back in February of this year. The development team has slightly changed, and they have in moving forward with this Application have made some revisions to the project. Those revisions necessitate it to be returned to the Historic District Commission for a revised Architectural Review Certification. And also to the Planning Commission, which will happen after you all deal with this. So, our Report really focused on just really updating the original report that was issued back in February. We did include a copy of that in your packet for reference since we have at least one new member since that time.

But this is for the Old Dover Post Office building site. The project itself retains the front building area and would demolish the rear kind of warehouse portion of the Post Office building. With their new project, they are looking to add a second story to what I call the front wings or the pieces that are outside of the columned central portion there. The rear addition where the bulk of the apartments are located would go from a three-story addition to a four-story addition. The parking lot still continues to generally be in the same place, and the site has some lawn areas and landscaping around it and of course their sidewalks.

The biggest portion of their project is the change in the number of stories and then these additional wings at the front. So, the Historic District Commission has to make a Recommendation on the project involving consideration of the partial demolition and the Architectural Review Certification for the new construction. As noted previously, you did grant approval to an Architectural Review Certification for this project. With this addition or revisions, Planning Staff and with the help of our Planning Consultant has gone through and developed a series of Staff comments and recommendations. Those began on page nine and continue for several pages. What I will note is your initial packet included a series of their architectural graphics package. This is the opening slide to that, and then one sheet of their Site Plan. What you found on your desk today, they are updates. The Applicant has in reading some of the Staff comments clarified some things on their Revised building elevations. There are two sheets that present all four sides of the proposed building project and then also there is a more complete Site Plan set, if you will, that helps to

answer, if you look at the Site Plan and then the Landscape Plan, some of the questions about what's happening around the building in particular.

Planning Staff have not fully gone back through our comments to see which ones were addressed, but a number of the comments that we have made about the architecture do appear to have been at least provided with additional information. The Applicant may actually share some more of that with us today. Staff will be more than happy to address questions, but I think at this point I would like to turn it over to the Applicant and their project team. I'm not sure which of them is going be the lead speaker to talk about the project and the changes that have been proposed here, including the most recent round of revisions.

Representatives: Mr. Sal Leone, Old Post LLC; Mr. Freddy Bada, Moonlight Architecture Inc., Mr. Chad Warren, Engineer; Davis, Bowen and Friedel.

Mr. Leone stated that he was a project manager for the Old Post LLC and Frank is one of the owners available on Webex. Frank can answer any questions you might have. Also, basically, as Dawn was saying, we just took the project that's been approved previously and added the two-story on the two wings and the fourth floor on the back. Everything else has pretty much remained the same. There were several pages of comments that we received this week that we responded to. I believe everybody has our responses to them. We brought some brick samples and everything too. So, the architects are here and the engineers are here. If you have any questions for them, we are more than happy to answer them.

Chairman Czerwinski asked if there were any questions.

Mrs. Richardson said she did not have any questions but stated that she agrees with the Recommendations that the Planning Staff has recommended.

Ms. Horsey mentioned that she was going to ask the same basic question. Do you agree with all the Staff comments that are in the packet? Mr. Leone replied yes.

Ms. Horsey had a question about the Landscape Plan. Are any of the existing trees or landscapes going to be kept? Is it all going to go away and new ones planted? Mr. Leone replied as far as I know, maybe Chad can help out on this one. There are just three trees in the front, right, that we were going to replace.

Ms. Horsey said they are mature trees, so do they have to be replaced? Mr. Leone replied that they are very low hanging trees though. They're kind of like you run into them when you walk under them, so we were going to replace them with maybe not something that large, but something that narrower and taller. Ms. Horsey said it's going to take a while to grow. Mr. Leone said they don't have to be replaced. Ms. Horsey said okay. Mr. Leone said it would look better for the site.

Ms. Horsey said it's going to take several years to get to the size that's shown. I also have a question on the boxwood that's planned. I know there's this boxwood moth that's eats every single boxwood it encounters. Unless this is immune from that boxwood moth, it's going eat those plants and you

might want to consider like a holly instead of the boxwood, just as an FYI. Mr. Leone replied definitely.

Ms. Baker mentioned that she is also a Master Gardener. And yes, the box tree moth just arrived this year. And at the end of last year, it just took my boxwood and my neighbor's boxwood. It can be treated if you wish. And the treatments I understand from my colleagues have been effective. And indeed, my boxwood is now starting even at this time of year to rebloom. So, this is a positive thing. I have a question about ceiling heights and other things in the interior for optimally whoever wishes to respond.

Mr. Freddy Bada of Moonlight Architecture replied I am the project architect for the project. Ms. Baker asked how high the ceilings are in the apartments. Mr. Bada replied 9 feet. Thank you.

Ms. Baker commented that she sees a lot of wonderful things in what was on the desk today. It has the effect of making me feel as though you are understanding the role of this building, which is may be bigger than we all know because this is a consequential building here in Dover. This is the opening to Downtown. It is a gateway building. It must say something. It must welcome; it must be beautiful. Now, do you have some comments about how that has informed your designs? And do you have comments about the relative size. Well, it's going be a lot of people, right? People who live there, people who want to live there, people who are starting out, people who are doing well. If you have comments about how the apartments are managed; are they rented, are they sold? What is the situation? It would be very nice to know because this is really about people. It's not just about a storefront. It's about people coming and it's a 24-hour building, and that's one of the reasons it's so important to all of us. Thank you for all your hard work. Mr. Bada said sure, thank you.

Mr. Bada replied that you know the project's going to be run once it's constructed, but to answer part of your question about being the gateway and the interest of the City of Dover. We understand it's a very critical part because you're right, it is one of the first buildings that you will see when you come into Dover. Some of the initial thoughts when we had a single-story building from the original Old Post Office building was how the new building in the back of it would stand out or maybe take presence or be predominant over the front building. So partly by putting a second story on the wings of this building, we're actually using that building to kind of mask part of what might be the new building. Now the new addition is definitely aesthetically pleasing. We're definitely trying to keep up the historic feel with the brick and the EIFS match sort of cast stone and stuff like that, but I think this is also going to make it more present as you first come down that drive and split and see that front of that building. So, it's going give it a little more predominant, a little more aesthetic feel than what it has even now. And it's also going to be more in harmony with a lot of the existing State Buildings that are around the capital. So, that's how the building is going to look and feel when you first enter Dover. You also mentioned that the building's going be used and you know it's going be a centerpiece and people are going live there. As I said we are looking to get different tenants in this building. We want some business here. We wanted to draw people back down to Downtown Dover. You know, we want it to be a community, so people can live here, eat here and enjoy themselves here. We have in the Building Plan an area for storage, bikes, and other things, so people who live here can enjoy and ride around town and enjoy the town, and

enjoy the city. But like I said, it's all walking distance to everything so those are the things that we are trying to bring to the Downtown core with this project.

Mr. Leone mentioned that they have a project in Clayton called Railroad Square Apartments that we manage. So, we'll be managing these apartments ourselves also with our management team. We keep everything in house; we don't farm anything out.

Ms. Baker said thank you. She asked, are these rental apartments? Mr. Leone said yes.

Ms. Baker asked, can you give a range? Mr. Leone replied sorry, offhand I believe, \$1200 to \$2000.

Mr. Bada mentioned that there is a mix of apartments. We have studios, one bedroom, two bedrooms and three bedrooms. We are not just focusing on one crowd. We are focusing on a lot of different groups. So, you know, the rent, you know, as Frank and Mr. Leone mentioned it will vary in a pretty wide spectrum.

Mr. Frank Dimondi mentioned that the range right now I think is for a studio is like \$1500-\$1550 up to I think and we've got three bedrooms here up to like \$1900- \$1950. So as Freddie mentioned, we're trying to, you know have a mix, for the single person that maybe is a nurse working at the hospital that may want a studio up to somebody that may be working Downtown or works and lives in the City of Dover and has a kid or kids for a couple of bedrooms for a total of three bedrooms. So as Freddie said, we are trying to hit all cylinders when it comes to being welcoming to singles to basically families there.

Ms. Horsey mentioned that she has some additional questions about the building itself and since we are talking about apartments and businesses, is the main entrance for the apartments off the parking lot as opposed to the front on Loockerman? Or can apartment people also go into the front door, for instance, and access business before they go to their apartments?

Mr. Bada replied, depending on who the future tenants are, we don't really have a tenant for the lower level, first floor at the front building right now. But depending on who that tenant is, there is the possibility for a connection. That floor is continuous right across through the building as it was in the original Post Office building. So, we could put a doorway to the back that connects through. The main entrances for the residential will actually be as you said, off the parking lot. And we have kind of two main entrances: one off of the side street and then of course one off the parking lot. So those will be the predominant ways that most people would probably funnel into the building. But you know depending on who goes in there, whether a coffee shop or someone gets in there, it'd be nice to run downstairs, go grab up the front and go get a pastry or if it's a restaurant run downstairs, go up front, go grab dinner or something. You know, I think a lot of buildings that you do go into that have the combo with the businesses downstairs that there is access, so you don't have to go outside if you do want a cup of coffee or maybe if there's a little grocer or whatever in there. The other comment I want to make is I like the massing that you have done. The addition of the fourth story really works because you've got dormers on the front which really makes a difference and keeps it in design relationship with the other State buildings, for instance. And I like the addition of more dental work in the cornices. I think overall it makes a good presentation. So, thank you.

Ms. Baker mentioned that she lived for many years in Washington DC, Arlington Virginia and Alexandria Virginia. And I just want to mention that the studio apartment I rented in 1974 in Foggy Bottom was \$150 a month and it's now \$2,595. There's Trader Joe's a block away. Everything alters and everything changes and there's just nothing but a possibility for us. But the other thing that I've noticed in Alexandria is there's a quartet of huge buildings that are apartment buildings. And they look so unseemly from the outside, you know, they look great together, right? But you walk in and it is a welcoming place.

There are places to sit or have a conversation with somebody without an obligation to buy something. There is a concierge desk and the taking of the mail. I would love you to address that; how you are going to distribute the mail in the building? But, at any rate, I just wanted to mention that.

I think that notion of welcome is extremely important and I thank you for paying attention to it. I urge the continuation of attention. And I like the fact that you are keeping the window on the tip of the pediment in the front and that is terrific. I would also invite you to consider "the" 18th century script hand and then Post below in Caslon Baskerville or some other kind of print expression. I'm very hopeful. Thank you.

Mr. Leone mentioned that they have definitely considered the name, but they just have not actually come up with where they were going to put that or what style.

Chairman Cserwinski asked how many additional units did those additional floors add? Mr. Leone replied six.

Chairman Cserwinski asked if there was adequate parking for this because there's been a lot of projects that have been waived and we've had major parking problems. So, is this going to be adequate for this building? Mr. Leone replied that between what we have on site and the agreement we have with the City, we actually have more parking than we need.

Chairman Cserwinski said awesome.

Ms. Horsey said I have just another quick question. I think there was a comment that this parking lot would not connect to the library parking lot. Is there a reason for that? Just curious.

Mr. Chad Warren, Engineer with Davis, Bowen and Friedel for the project answered. Currently the way the grade is between the existing Post Office parking lot and the Library, there is about 4 feet elevation difference between the two. There is currently an existing ramp to get from the Post Office down to the Library and that will remain in place along with the sidewalk to carry you through to where the proposed easement is with the City of Dover for their additional parking spaces.

Ms. Horsey asked, is that in the back towards the north? There is access now. Mr. Warren replied yes. On this screen it would be at the bottom of the screen. At the bottom right of the screen, there's a cut through to come down to the Library and then there's a sidewalk between the two properties.

Ms. Horsey asked if that would stay. Mr. Warren replied yes.

Chairman Cserwinski asked if there were any more questions? There were none.

Mr. Frank DiMondi, who joined virtually, mentioned that he did not have any comments. He certainly appreciates the opportunity to bring the project before the committee here. You know, I just want to remind everybody that our ownership group was one of a dozen bidders for the property. One of the reasons why I was told why we won the ability to be able to buy the properties was because of our commitment to keep the old Post Office look from the front of the building. And we committed that from day one and that obviously fit well for what we were trying to do and what the City wanted to see in that location. We understand its importance. We're excited about the project. You know, we're excited about a professional team that we put together, our Architectural Plan and our Site Plan. We appreciate your time tonight in hearing about the project and hopefully getting your approval to hopefully move this forward as quickly as we can. Thank you.

Mrs. Melson-Williams mentioned as noted earlier, the Applicant has responded to a number of the Staff comments in making their Revised Architecture submission, as what we will call it. I just want to highlight some of those items for the record. I was taking a look through it quickly this afternoon. The change to the use of Hardie siding on the dormers that are added to the front of the building. Some clarification on the gutter and drained downspout systems for the building that has the pitched roof. The introduction of a brick row lock at the brick transition. So, once you take the roof off the existing one-story portion, how do you make that transition to now continuing that brick wall? We had made a suggestion to do something at that point because it'll help alleviate any question of brick color and making that transition much smoother. There were updates to the window style to match the window light configuration that is currently present on the building, which appears to be twelve over twelve when you can see them through the screens and/or storm windows that are there. There was some clarification for the rear addition on how the EFIS would be scored. The rendering seemed to make it look like more of a brick pattern with a heavy grout to it. It appears that's going to be a different approach there. The round window in the pediment has returned. It's actually a pretty cool feature and I think there's still space there to get the name of the building in whatever appropriate font script you deem for your project marketing. There were some things that could more clearly identify the different building entrances. And the one thing that I did have concern about was the connection of, we'll call it the existing building to the rear addition, and how those roofs interconnect. Because the last thing we want to do is create a place for water to live. So, it looks like they're proposing a roof cricket system, which is a way to make that transition. I think that's going to be a key detail as they move into more complex drawings for the project site overall. This project will have to go to the Planning Commission. The Planning Commission, in addition to looking at the Architectural Review Certification, will be looking at greater details in their parking strategy for this project. That's called out in the *Zoning Ordinance* about how that review process works and for their active recreation component. Their Landscape Plan is showing labeled areas on the east and west side of the building as a Zen Garden. I'm not sure really what that consists of because right now it looks like there's a lot of evergreen trees because I think there were holly's and depending on which type of Magnolia it was on the other side of the building and how those spaces will function. I just wanted to make those notes.

I do believe I did see a brick sample walk in the door. So, if the Applicant wants to show that to the Historic District Commission. This is a building built in Dover, so I'm more than guessing that the brick company has probably figured out what it originally was.

Mr. Leone said believe it or not, it is still available.

Mrs. Melson-Williams said that's why for brick in Dover when you buy local, you can probably still find it or know exactly what it is. If you want to share what that is, I don't know if it is a Glen Gary brick or something?

Mr. Leone said yes, it is a Glen Gary. It is called Rose Red Range.

Chairman Czerwinski mentioned he's never seen or heard of a brick rowlock. Is that just like an end on belt course? It presents as a belt course sort of thing, basically that is what it's doing, right? Mr. Leone replied yes.

Chairman Czerwinski said alright. He asked if anybody else had any questions? Alright, thank you very much. I appreciate it.

The Applicants said thank you.

The public hearing is open.

Chairman Czerwinski asked if there was anyone wishing to make a comment?

Mr. Zach Prebula with Kent Economic Partnership. We are the Economic Development Organization covering Kent County. We focus on business attraction and supporting businesses that are here, growing and planning on staying here. We are in support of this project. This project will do two things for us. One will create space to help us attract those businesses and support local businesses looking to expand and also create places for those employees to live and reside Downtown and help us revitalize the area. So, we ask you to support this project. Thank you.

Mrs. Melson-Williams mentioned that there are no other online participants that have joined us this afternoon and the Planning Office has not received any written correspondence to enter into the record as part of the public hearing.

The public hearing was closed seeing no one else wishing to speak in the room or virtually

Mrs. Richardson moved for approval of HI-25-01 for the Recommendation of the Revised Architectural Review Certificate for redevelopment of the Old Dover Post Office property consisting of 1.267 acres for a mixed-use project known as The Old Post to include Staff comments as presented on pages 9-12. The motion was seconded by Ms. Horsey and unanimously carried 4-0.

NEW BUSINESSElection of Chair and Vice-Chair

Mrs. Richardson asked how long Eric has served. Mrs. Melson-Williams replied that he is completing year five. Per the Bylaws, the Chair and Vice Chair can serve two appointed terms, which is basically a period of six years after which time they would have to rotate off of that particular office before returning to it. He is eligible to serve for an additional year in that position if you desire.

Ms. Horsey made the nomination that Mr. Czerwinski remain Chair for the next calendar year. Ms. Baker seconded the nomination for Mr. Czerwinski to remain Chair of the Historic District Commission. All members agreed by acclamation.

Chairman Czerwinski made the nomination that Mrs. Richardson remain Vice-Chair for the next calendar year. Ms. Horsey seconded the nomination for Ms. Richardson to remain Vice-Chair of the Historic District Commission. All members agreed by acclamation.

Mrs. Melson-Williams mentioned that we will make sure all our records show the continuation of your Chair and Vice-Chair in those positions. And as you can see, we still have a vacant seat. I have not heard anything out of the Mayor's office as of yet for any potential applicants for that. So, if you know of someone, or would like to suggest someone, there is an application process or application form that you can download from the city's website in order to be considered or just reach out to the Mayor's office with your suggestion and I'm sure they could follow up.

Chairman Czerwinski mentioned that he was still working on his angle, so hopefully at some point we get that fifth person.

Meeting and Deadline Schedule for 2026 DRAFT

Mrs. Melson-Williams mentioned that Staff has prepared a Draft of the Schedule. Your meetings remain on the third Thursday of the month, with a deadline that's established in the month prior. Those tend to fall on either the second or third Friday of the month depending on how the calculations work out. An application has to be filed a minimum of 30 days prior to your meeting. So, this sets out the meetings for all of 2026. We align the filing deadlines of the Historic District Commission and our Board of Adjustment just so our office doesn't go too crazy.

Ms. Baker mentioned that she thinks that the last meeting date needs to read 2027.

Mrs. Melson-Williams mentioned that there's no formal action needed for that. We'll make that correction. Thank you.

OLD BUSINESSCertified Local Government (CLG) Program

Mrs. Melson-Williams mentioned that the State Historic Preservation Office issued information on the Certified Local Government Grant application process. We gave you in your packet a copy

of the application guidelines and then the actual Grant application that we submitted. It was due October 31, 2025. That was a Grant application for Federal Fiscal Year 2024. There's been some timing issues with receipt of Historic Preservation Fund monies from the federal government to the State office and then their ability to regrant out the required monies.

What we did was for that FFY'24 Grant is basically send back in the application that focuses on the addendum to your *Design Standards and Guidelines* to focus on modern materials and technologies. The plan would be to hire consultant services once we have a grant agreement in place to focus on that. The application itself for use of this grant money requires a match. It's a 60/40 split. The Planning Office does have that match in cash in our current budget, and we have also entered that into our Proposed Budget for the next City fiscal year that we're preparing for. But you can see the description to focus on some of those things that our *Design Standards and Guidelines* really haven't addressed since they were written in the mid-nineties. This would involve, as I noted, consultant work, they would work both with Staff, and the Commission and some public outreach opportunities as part of this endeavor. The exact deliverables would be more outlined as part of bringing that consultant on board. So that application was made on your behalf, I think since I didn't change it up and you worked on it previously, I think that was a good attempt there. What is also noted is they also put forth information about the FFY'25 Grant Application. That application is due by the end of March. I did not file an application for that as of yet because I did not know the direction as to what type of application the Commission might be interested in doing next. The first one that we submitted would have to be completed by September of 2026. It's probably a nine-month project. The other one would not have to be completed until September of 2027. It gets confusing, cause their fiscal years are different than ours. With the grant application guidelines, I would suggest looking through those if there are things that you think we could potentially target for making that grant request. It is not a bricks and mortar type of grant program. It's for studies, planning efforts, education opportunities, and training opportunities; that's what these grants are typically used for.

So, with that, I'd be happy to entertain any kind of discussion or thoughts on that. I figured at least early next year we'd have to really delve into what a proposed strategy for that Application submission would be.

Mrs. Richardson asked didn't the Commission want to update our Historic District Guidelines? Chairman Czerwinski replied yes, that's the Addendum that we have been talking about.

Chairman Czerwinski asked do we actually submit a Grant request for that project?

Mrs. Melson-Williams replied yes. We actually submitted that Addendum to the Design Standards and Guidelines as the project for the Grant Application FFY'24 (Federal Fiscal Year). This would at least get us the document materials and in draft format. The formal process to adopt them might extend beyond that grant timeframe, but this would at least get us the document in place. It does not go back into necessarily the existing *Standards and Guidelines* and redo them totally, but we might see what those opportunities are in some of the discussion that happens with looking at the Addendum for modern materials.

Chairman Czerwinski mentioned that would be a big project. That's a complete rewrite. Thank you very much for submitting the Request for the Grant, appreciate it.

Chairman Czerwinski asked if anybody else had anything?

Ms. Baker mentioned that she just wanted to commend the Staff and her senior colleagues for the tremendous hard work.

Mrs. Melson-Williams mentioned definitely be thinking about what that second grant opportunity could be. There was some notation about emphasis of looking at projects that may be related to the Americas 250, even though that would the grant funding cycle/implementation timeframe may be a little beyond that but that's something to keep in mind as well.

Implementation of 2019 Comprehensive Plan

Mrs. Melson-Williams mentioned if you'll remember, there is a Historic Preservation Chapter that has a series of goals and recommendations. We can certainly look to that for ideas for grant application materials or ideas, but there's no specific Implementation item that I need to bring to you today related to the Comprehensive Plan.

Mrs. Richardson asked if the *2019 Comprehensive Plan* was online? Mrs. Melson-Williams replied it is. When you first joined the Commission, you may have received a hard copy of it. If you have not, we can certainly get you that. It is posted on the city's website, which would be www.cityofdover.gov, and if you use the directory to go to the Planning and Inspections page, there is a page devoted to the City's Comprehensive Plan. It's posted in two different ways. There is the text document and then also the series of maps. The preservation chapter is Chapter 6, so you can look for that and there are a couple of maps associated with that. It basically identifies where the Historic District is and the various National Register Districts here in Dover for kind of data reference as part of the plan. The next time the Comprehensive Plan comes due for kind of a rewrite, would be 2029. So 2029, the start of 2030, so probably in late 2028 throwing out all these crazy years, is when we would be planning for how we're going to approach that rewrite for the next Comprehensive Plan.

Chairman Czerwinski asked if there were any questions or comments before we adjourn?

Mrs. Horsey moved to adjourn the meeting seeing no other items of business, seconded by Ms. Baker and unanimously carried 4-0 of the members present.

Meeting adjourned at 4:43 PM

Sincerely,

Maretta Savage-Purnell
Secretary

CITY OF DOVER
HISTORIC DISTRICT COMMISSION
FEBRUARY 19, 2026

The Meeting of the City of Dover Historic District Commission was held on Thursday, February 19, 2026, at 3:30 PM as an In-Person Meeting in the City Hall Council Chambers (anchor location) and virtually using the audio/videoconferencing system Webex. With Chairman Czerwinski presiding, the other members present were Mrs. Richardson, Ms. Baker, and Ms. Horsey.

The Planning Office Staff members present were Mrs. Dawn Melson-Williams, Mrs. Maretta Savage-Purnell and Mrs. Sharon Duca.

APPROVAL OF AGENDA

Mrs. Richardson made an amendment to the agenda regarding approval of the November 20, 2025 Minutes that are still being prepared. Mrs. Richardson made a motion on the adoption of the agenda to remove that item. The motion was seconded by Chairman Czerwinski. The vote was unanimously carried 4-0.

COMMUNICATIONS & REPORTS

Summary of Applications 2025

Mrs. Melson-Williams mentioned in your meeting packet was the Summary of Applications. In that calendar year, there were a total of four applications. One of them you did see twice; so, we can count that almost as five. That is the project for The Old Post at 55 Loockerman Plaza. Since your last meeting, that item was presented to the Planning Commission, and they granted conditional approval in December of last year. They are in the check print review process to finalize that Site Plan. They are moving towards project construction. The other items we looked at in 2025 included the project for 120 Governors Avenue. I do not see any real movement there with that project as of yet.

The Biggs Museum, I think you will probably see again, as they are evaluating what their path forward will be. And then there was the Referral of the fence at 55 King's Highway, which you were considering and deferred at your November meeting. That Applicant did actually comply with the suggestions that had been made and we were able to issue a Permit for a fence at 4 feet in height using that metal picket style. So, they worked through that. I am not sure if that Permit has been totally issued at this point, but so some progress there.

Mrs. Melson-Williams asked if there were any questions on those Applications? There were none.

Summary of Architectural Review Certifications for 2025 and 2026

Mrs. Melson-Williams stated that she was only reporting on the month of January for 2026. You can see there were three Permits that were issued at that point: a demolition one which was an interior and then the drive through canopy on what used to be the Citizen's Bank building Downtown, then a Fence Permit, and a Sign Permit Application. Looking back into the calendar year for 2025. There was a total of 34 Permits in the Historic District area that were reviewed either by Staff or the Commission. The Staff had the bulk of those with 30 of the 34.

The highest number of Permit types turned out to be Roof Permits at eight (8), Sign Permits at seven (7), and then there were some exterior building item ones with six (6). The balance of those are things related to fences, siding, and windows.

Mrs. Melson-Williams asked if there were any questions on permit activity in the Historic District? There were none.

Department of Planning & Inspections Updates

Mrs. Melson-Williams mentioned that she did not have any real updates. We still need a fifth member of this Commission. I don't know where any potential appointments stand with the Mayor's office on that.

NEW APPLICATION

HI-26-01 Referral of Door/Window Permit #26-118 at 1 Kings Hwy NE - Review of Architectural Review Certification as Referred by the City Planner to the Historic District Commission for a Door/Window Permit #26-118. The project proposes removal and replacement of four (4) windows and the removal and replacement of the entry door. Property is zoned RG-1 (General Residence Zone) and subject to the H (Historic District Zone). The owner of record is Richard Arnold. Address: 1 Kings Highway NE. Tax Parcel: ED05-077.05-02-54.00-000. Council District 3.

Chairman Czerwinski recused himself from discussion or any voting. The individual Mr. Arnold is his neighbor. Chairman Czerwinski's house lies within 200 feet of his property.

Mrs. Melson-Williams gave a brief Staff overview of the Application.

This is a Door and Window Permit that was first filed with the Planning Office. It consists of a proposal to remove and replace four windows and then removal and replacement of the entry door on this building at 1 Kings Highway NE. The building is a three-story single family detached dwelling with a mansard roof and front porch. The door that we are referring to is the front entry door there as it faces the street. Normally with Permits for window and door replacements, it is something that Planning Staff reviews through the permitting process. We look at the *Design Standards and Guidelines for the City of Dover Historic District Zone* in making decisions about whether that project can be issued in what we call an Architectural Review Certificate for work in the Historic District. In the case of this, Staff had a number of concerns with the proposed project and has chosen to refer it to the Commission. Specifically, in the *Design Standards and Guidelines*, you would be looking at Chapter 3, where there is information about appropriate practices for doors and windows. Basically, the *Guidelines* would suggest that building elements such as these be replaced in kind to match the existing conditions. So, for things like windows, that means the same window opening size, operating function, and the panels of light or the panes on how they are divided. For doors, it's very similar in that it would be a door in the same opening size, same door format, and if it had any light or glass in it, something similar to what would be any existing historic door in that era. Today, we refer this Permit to you to consider what is being proposed. I'm not sure that we've received information to clarify which exact windows on the house are being proposed for replacement, but we may be able to learn that today. The door is being proposed to go from what is a double, kind of solid wood door to a single door with a sidelight to take up that space. There is an image in the email

trail that we had with the contractor for the project that shows the concept for the door. I will note that in that email, the picture shows both the inside and the outside. So, look at those as a single version of the door with side light and the transom light window above it. In our Report on page 3, Staff lists some findings and then also made some Recommendations in regard to this for our findings regarding window location and format.

We need to clearly understand which windows are being replaced to ensure that the replacement is in that similar style. The door location as noted is the one that faces Kings Highway. It is visible from the sidewalk, especially since the vegetation that was previously in the front yard, has now been removed. There is a new kind of picket style fence that is there (metal fence). The concern that Staff has is really related to the format of the door. It does have a set of double storm doors that's primarily glass and then you can see the double door that is behind it. That double door format is a feature that is typically seen in the late 1800s to early 1900s in this architectural style. There are several buildings in Downtown Dover that have that double door format to them. Staff Recommendations regarding this Permit request would be to provide additional information specifically about which windows, and then regarding the door to focus on if there is a way to repair the existing door. But, if full replacement is necessary, it should be a double door in function. The fact that it has the double storm door format on it is the right way to go when it comes to storm doors in dealing with a property such as this.

Our package for you included our Letter of Referral and their specific Door and Window Permit Application. We also provided you with the *Design Standards and Guidelines* elements from that document and then there was a recent photo taken within the last few weeks here of the front door. You can see that was before the snow melted away. But Mr. Arnold has joined us this afternoon. So, if he would like to come forward and talk to you a little bit about his project. It's an opportunity for him to do that and to have a conversation about this Permit.

Representative: Mr. Richard Arnold, Owner.

Mr. Arnold stated that referring to the windows, they are the old windows that are way at the back of the house. They cannot be seen from the front at all. They are on the side of the building, so you would not notice them. In fact, two of the windows are on a porch. So, you'd have to be on the porch in order to see it. So, they are hidden if that's the right word. The front door is in bad shape. There is a reason why we put up the storm door, to keep the wind out. It's in bad repair. I've tried to seal it several times. There are cracks in the doors. Somebody who knows how to use wood could probably fix it; I can't. So, I wanted to put in a new whole door and completely reseal everything. But one of the things I want is keyless entry because now I live by myself and I want medical staff or whoever is asked to come into the house. I would be able to give them the code when I call in an emergency or my two sons so that they would be allowed in. Right now, there's one key and if we lose that, forget it, nobody's getting in. The contractor that I had went through extensive measurements and whatever, and the product that they had was too small. And that's why we went to a single door. That door would be able to fit the space. I've read your Report and everything. I'm not going argue with you. It should be a double door, that's fine. You know, we'll just do the windows and then that's it.

Mrs. Richardson asked that within the packet, there's an email from the contractor Gregory

Madrigale, and he refers to the windows. "He says all the windows will be replaced in the exact same style including the grids. As far as trim, we typically install a PVC coded aluminum with wood grain texture in order to preserve the integrity of the existing wood. We can match the existing colors as needed. If the original trim needs to remain, we can have alternate installed techniques to keep the existing trim visible." Is this email enough documentation to answer any of the questions regarding the windows?

Mrs. Melson-Williams mentioned that Staff was generally comfortable with how they were describing an approach to the replacement of the windows. It just wasn't clear where they were on the house itself. The Permit application just said four windows. Mr. Arnold today has described that they are towards the back of the house. We can confirm with him more specifically where they are and be able to deal with the window aspect of the permit.

Mrs. Richardson said thank you. I think that there are really two separate projects. One's the window and then the other is the door. I don't have any problem with the windows. Is there feedback from the Commission?

Ms. Horsey mentioned that she would like to know exactly where those windows are because I think, unless you say it's the porch and this is the oldest part of the house. Is that right? Mr. Arnold replied yes, it is.

Mr. Arnold stated that the house is actually two houses. They had an old farmhouse, which has just four rooms. And that sits this way. And then years later they put on the Victorian section in the front. And that sits this way. So, the windows are on this part of the house, the old part that sits way, way in the back. Like I said, you can't see it for the most part. And you can't see it from the road. He had to be on my property in order to see them. They are exactly what they described. The old windows were six panels over nine, and that's what they have brought in, and they are going to put up. There are six panels over nine. So, they match it exactly and they're white. Just like the ones I've got.

Ms. Horsey mentioned that it would be nice to have a visual. I'm a little more inclined to say yes to the windows possibly. I'd still like to know a little bit more about the materials on the windows even though it says its vinyl. We are always a little leary of anything vinyl which you probably know that. I know vinyl's getting better.

Mr. Arnold said hopefully it will. It matches perfectly. I can go get some pictures of it if you want, but, like I said, you can't see it from the road. You have to be on the property. But I understand the front door. I'm not going to argue with anybody about it. They want double doors and the company cannot provide them. So, I will just do the windows and then go to someplace else because those doors need to be replaced.

Ms. Horsey mentioned that she thinks the doors on this house are iconically located position on the street and on that corner. And even though you really can't see the double doors, changing it out to something like a single door with that sidelight is not historic at all.

Mr. Arnold mentioned that he was warned and now that it's happened, but I'm not going to argue about it or anything. Let's do it right.

Ms. Horsey said yeah, and I think you'll want to. I mean historic houses are becoming more endangered in Dover every day, and we need to protect them. You understand and that's good, so we don't have to argue that point.

Mrs. Richardson asked Mr. Arnold if he was given a copy of the historic guidelines. Mr. Arnold replied yes. I have a copy here and I was given a copy on the email. I read it and I knew I was coming into this meeting, not going to get approval, but you know, at least we talked about it.

Mrs. Richardson asked Mr. Arnold if he had checked with other contractors regarding the doors and if not, that's a possibility. Mr. Arnold replied no.

Mr. Arnold said yes, the door needs to be replaced, there is no doubt.

Mrs. Richardson said I think it's the style that concerns us. As you know, as far as a keyless entry, I think you can probably put that on double doors like this.

Mr. Arnold mentioned that the door is old and beat up.

Mrs. Richardson said that she was talking about replacing the doors if they are in that bad condition.

Mr. Arnold said that he would appreciate it if Council (the Commission) would say, yeah, you can put in keyless entry. I'm thinking of my safety you know. I don't have relatives nearby. So, when I call for an emergency or whatever, I can just give them the code and then they can come right in I have a coded entry in the back. I have a hard enough issue getting them to the front door on 1 Kings Highway NE. My neighbor on the right is 109 N. Division Street. So, they think I am on Division Street. So, I need a keyless entry. So, if that's approved, that's a big step for me.

Ms. Baker asked if it was their business to approve or disapprove a keyless entry?

Mrs. Melson-Williams mentioned that your *Guidelines* do not go into that kind of detail.

Ms. Baker mentioned that she lives around the corner from Mr. Arnold at 3 S. Bradford and her immediate adjacent neighbor is at number 15 S. Bradford. So, I understand the confusion of spaces and numbers. It's a rarity and it can be fun if you're not in a hurry, right? But you're concerned about if you need help in a hurry. I cannot but believe that there is a competent person(s) who could create a door system for you that would satisfy the historic nature of this incredibly beautiful building. And satisfy your concerns for your own safety, which I totally resonate with. So, I appreciate you being so forthcoming. I'll tell you what on my block, several of us said "Wow! They took down all those shrubs. And now we can see this beautiful house." So, thank you Mr. Arnold. Thank you so much and thank you for the fence. So now, don't stop here. Drive right on through to a new door until you get what you want. And one that will be the pride of Downtown Dover, and I thank you sir. God speed.

Mr. Arnold said thank you.

Vice Chair Richardson asked Ms. Horsey if she had any additional comments? Ms. Horsey said no, I'm fine, thank you.

Vice Chair Richardson stated that she was inclined to conditionally approve the windows but not approve the door. We are asking you to bring back a plan for the door.

Mr. Arnold asked for clarification; plans for the door? Vice Chair Richardson said yes, the door. Mr. Arnold said I think that is going to take a little while, I think. It's not going to be in the next couple of weeks. Vice Chair Richardson said we only meet once a month. Mr. Arnold said yes. I'm going to look around but doors are expensive, especially when you live on a fixed income.

Vice Chair Richardson mentioned that historic homes are expensive to maintain. We all know.

Mr. Arnold said he had a contractor who was installing a dishwasher and he was standing outside, and he looked at the house, and he said, "I bet you never run out of projects, do you?" So, no.

Ms. Horsey moved for partial approval of Application # HI-26-01 Referral of Door/Window Permit #26-118 Architectural Review Certificate to not approve the door request but to approve the window request based upon the windows being the same configuration as the old ones. The motion was seconded by Mrs. Richardson and unanimously carried 3-0. Mr. Czerwinski abstained as Mr. Arnold is a neighbor.

Mrs. Melson-Williams asked Mr. Arnold if he had a few moments to wait till we finish the meeting, she would talk to him about where exactly the windows are so that the Planning Office can move forward with that portion of the Permit that we have in now and removing the door project, we'll call it, from that. And once you have done some more work on the door project, that would be a separate Permit. It is probable if you come back with a double door or something that staff can approve and you would not end up back before these lovely folks if we could help it.

OLD BUSINESS

Certified Local Government (CLG) Program

Mrs. Melson-Williams mentioned that we had made application for grant application to the State of Historic Preservation Office to focus on the work on your *Design Standards and Guidelines* to focus on alternative materials. We have not taken any additional steps since we made that application. Staff time has been devoted otherwise. In order to begin that, it would be a formal grant agreement with the Historic Preservation Office and then we would have to go out for consultant services. So, we will see how that progresses in the next couple of months here.

Implementation of 2019 Comprehensive Plan

Mrs. Melson-Williams mentioned she had no specific items to bring to you today. I will let you know that the City is participating in a voluntary program with the State Housing Authority that will be looking at Land Use and Zoning Reform related to affordable housing or housing in

general. So, if there's certainly anything as we move into that process that needs to come before the Commission, we will certainly loop you in. That's meant to look at our *Zoning Ordinance* related to housing citywide and opportunities for improvements there in our types and variety of housing. We'll see what moves forward with that. Basically, by participating in that program, we get free consultant services to help us look at our *Zoning Ordinance*. We will know more about that in a couple of weeks. I would say they are going to be making formal announcements about that program shortly.

PUBLIC COMMENTS OPPORTUNITY

Chairman Czerwinski asked if there was anyone in person or online that wishes to make public comments?

Mrs. Melson-Williams mentioned that seeing that there's only one other individual in the room that is public here, and there are no individuals that have joined us online at the moment. Since this is an open meeting that public comment opportunity is an opportunity for the public to bring any general comments to the Commission that aren't associated with a formal application. I don't believe you have anyone wishing to speak today.

Chairman Czerwinski asked if there were any questions or comments before we adjourn?

Ms. Baker mentioned that she would like to thank Staff for taking care of so much, for so many, for so long.

Chairman Czerwinski said I'll second that. Anybody else?

Mrs. Richardson moved to adjourn the meeting seeing no other items of business, seconded by Ms. Horsey and unanimously carried 4-0 of the members present.

Meeting adjourned at 4:02 PM

Sincerely,

Maretta Savage-Purnell
Secretary

FILE#	PLAN NAME	LOCATION	TYPE	ACTION	STATUS
HI-25-01 and Revised HI-25-01	The Old Post at 55 Loockerman Plaza	55 Loockerman Plaza (Old Dover Post Office)	Site Plan for development of mixed-use with apartments	Review for Architectural Review Certification of Site Plan; Public Hearing and Review by HDC on 2/20/2025 and Recommended approval of ArchRevCert for project. Revised HI-25-01 filed and scheduled for HDC Review on 11/20/2025 for consideration of architectural design revisions.	Site Plan reviewed by Historic District Commission for Recommendation. Site Plan Application (S-25-07) filed and granted conditional approval and ArchRevCert by Planning Commission on 3/17/2025. Design revisions to add additional floor and architecture requires additional review of ArchRevCert by HDC and PC. S-25-07 recommended for approval of ArchRevCert by HDC and granted by PC 12/15/2025. Final site Plan Approval pending and preliminary interior clean-up/demolition has begun under Permit.
HI-25-02	Mixed Use Building at 120 S Governors Avenue (The Governor)	120 S Governors Avenue	Site Plan for development of mixed use building	Revised Application filed June 2025. Review for Architectural Review Certification of Site Plan; Public Hearing and Review by HDC on 7/17/2025. HDC Recommended approval of ArchRevCert for project.	Application initially filed in March 2025 then placed on hold by the Applicant for continued design work. Application updated and Site Plan reviewed by Historic District Commission for Recommendation in July 2025. Site Plan Application (S-25-11) filed and scheduled for Planning Commission Review on 9/15/2025. Conditional Approval of Site Plan and ArchRevCert granted by Planning Commission.
HI-25-03	Biggs Museum Expansion: Selected Removals at 15 and 21 The Green	15 The Green and 21 The Green	Review for Architectural Certification for Select Removal/Demolition of Rear Additions	Review for Architectural Review Certification. Public Hearing and Review for Architectural Review Certification by HCD on 5/15/2025. Granted Approval subject to conditions.	HDC completed review of Request to remove/demolish portions of the rear additions at the buildings as associated with future project for the Biggs Museum of American Art expansion. Granted Architectural Review Certification; moving into design phase for project that will be subject to future ArchRevCert.

FILE#	PLAN NAME	LOCATION	TYPE	ACTION	STATUS
HI-25-04	Referral of Fence Permit #25-1463 at 55 Kings Hwy SW (Merrill Lynch Office)	55 Kings Hwy SW	Fence Permit	Permit #25-1463 referred to HDC by City Planner for consultation on Architectural Review Certification; scheduled for review on 11/20/2025. HDC deferred action seeking more information.	Permit Application received 10/8/2025 and Referred to the HDC for consultation. Permit seeks to construct a 6 foot vinyl fence. Applicant revised the application to a metal picket style fence at height of 4 feet. Fence installed.

FILE#	PLAN NAME	LOCATION	TYPE	ACTION	STATUS
HI-26-01	Referral of Door/Window Permit #26-118 at 1 Kings Hwy NE (Residence)	1 Kings Hwy NE	Door/Window Permit	Permit #26-118 referred to HDC by City Planner for consultation on Architectural Review Certification; Reviewed on February 19, 2026 and granted conditional approval.	Permit Application received 1/23/2026 and Referred to the HDC for consultation. Permit approval granted for replacement of 4 windows found to be not in a visible location. HDC noted that the door should be replaced as a double door (the proposal for a single door with sidelights was not approved)
HI-26-02	Referral of Siding Permit #26-848 at 108 S. Governors Ave	108 S. Governors Avenue	Siding Permit	Permit #26-848 referred to HDC by City Planner for consultation on Architectural Review Certification; scheduled for review by the HDC on 6/18/2026.	Permit Application received 5/29/2026 and Referred to the HDC for consultation. Project proposes replacement of existing siding with vinyl siding.

Summary of Permit Applications with Architectural Review Certification
 2026- Updated Thru 5-31-2026

Item 4.

DATE	PERMIT #	LOCATION	TYPE	ACTION ON ARCHITECTURAL REVIEW CERTIFICATE	NOTES
1/13/2026	25-1668	8 W Loockerman Street	Demolition Permit	Staff Approval	Demolition of select interior area and removal of bank drive thru canopy
1/5/2026	25-1767	1 Kings Highway NE	Fence Permit	Staff Approval	Installation of black metal picket style fence of 4 foot height
1/20/2026	26-71	420 S State Street	Sign Permit	Staff Approval	Installation of hanging wall sign
2/10/2026	25-1393	55 The Green; Supreme Court	Building Permit	Staff Approval per HDC approval of HI 24-06	Project is a one story building expansion clad in brick with brick and cast stone detailing
2/25/2026	25-1847	55 The Green; Supreme Court	Roof Permit	Staff Approval	Replacement of existing dome roof and associated shingle roof area at the rotunda building entry. Project replaces the shingle roof with a composite slate shingle in DaVinci Inspire Classic Slate in Graphite (color)
2/17/2026	26-64	146 S State Street	Building Permit - Interior Renovations/Demolition	Staff Approval. No ArchRevCert required	Interior demolition in anticipation of renovations for a commercial kitchen to support catering operation, which will be done under a separate permit
2/4/2026	26-118	1 Kings Highway NE	Window Permit	HDC approved the windows, but did not approve the replacement of the front door.	Was initially for 4 replacement windows at rear of building not visible and the replacement of the front door. The existing front entry is a double door that is likely original to the structure
2/17/2026	26-189	202 W Loockerman St	Sign Permit	Staff Approval	Permit for a projecting wall sign on an existing building on Loockerman Street. Sign area is 3.52 SF, which complies with the sign regulations
3/19/2026	25-1443	417 Federal St	Roof Permit	Staff Approval. ArchRevCert Approved	Roof project to replace exiting sloped roof with new synthetic slate singles system, EPDM assemblies, and flat seam copper roofing, and associated flashing, gutters, and coping

Summary of Permit Applications with Architectural Review Certification
 2026- Updated Thru 5-31-2026

Item 4.

DATE	PERMIT #	LOCATION	TYPE	ACTION ON ARCHITECTURAL REVIEW CERTIFICATE	NOTES
3/24/2026	25-1825	55 Kings Hwy SW	Fence Permit	Staff Approval. ArchRevCert Approved	Installation of a four-foot metal picket fence along the north and east property lines for a total length of 302 feet. This permit supersedes a previous Fence Perit #25-1463 for a vinyl fence of 6 feet that was referred to the HDC as HI-25-04
3/4/2026	26-81	55 Loockerman Plz, The Old Post	Fence Permit	Staff Approval	Temporary installation of construction fencing at 55 Loockerman Plaza as the side of the Old Post project for the renovation, partial demolition, and new addition to the previous Post Office building. Fencing is 6-foot chain link to be installed along the property lines with removable panels on the Innovation Way side for site access as necessary
3/5/2026	26-163	425 East Ave, Legislative Hall Parking Garage	Administrative Permit	Approved by PC. Staff Approval per PC Final Action of ArchRevCert under Recommendation of HDC. H-24-04/S-24-14	For the Site Work for the Legislative Hall Parking Garage project. Project activities under this permit include infrastructure work for the project including erosion and sediment controls, temporary Perimeter Construction Fencing, sewer relocation/additions, demolition of site features, grading, and other utilities work
4/15/2026	25-121	122 Martin Luther King Jr. Blvd S	Building Permit - Interior Renovation	Staff Approval. No ArchRevCert required	Permit for interior renovations to conference room area within the Haslett Armory Building
4/8/2026	26-473	32 W Loockerman St L100	Building Permit - Interior Renovation	Staff Approval. No ArchRevCert required	Permit for interior renovations of gym area in tenant suite L100, which includes the installation of a french drain
4/10/2026	26-530	500 W Loockerman St	Building Permit - Interior Renovation	Staff Approval. No ArchRevCert required	Interior renovation to existing office space. No change in use or exterior changes to the building

Summary of Permit Applications with Architectural Review Certification
 2026- Updated Thru 5-31-2026

Item 4.

DATE	PERMIT #	LOCATION	TYPE	ACTION ON ARCHITECTURAL REVIEW CERTIFICATE	NOTES
5/13/2026	25-1545	527-529 S State St	Building Permit - Interior and Exterior Renovation	Staff Approval	Permit for interior and exterior remodeling of the existing triplex
5/20/2026	26-162	425 East Ave, Legislative Hall Parking Garage	Building Permit	Approved by PC. Staff Approval per PC Final Action of ArchRevCert under Recommendation of HDC. HI-24-04 / S-24-14	Permit for Legislative Hall Parking Garage; construction of a 3-story new Parking Garage Structure with 344 vehicle parking soaced with associated surface parking for service area, and the decorative fence and brick wall surrounding the generator
5/27/2026	26-180	55 Lockerman Plz, The Old Post	Demolition Permit	Staff Approval per HDC Recommendation and PC Approval of ArchRevCert HI-25-01/S-25-07	Permit demotion of the rear portion of the former post office. Final Site Plan approval pending.
5/18/2026	26-692	415 W Loockerman St	Building Permit	Staff Approval	Permit is for interior renovation to an existing building to relocate a restroom



ARCHITECTURAL REVIEW STAFF REPORT
Before Dover Historic District Commission
June 18, 2026

- Application: Revision for West Entrance ADA Ramp – Legislative Hall Building Addition, HI-24-07
Owner: State of Delaware
Location: West side of Legislative Hall Addition perpendicular to Martin Luther King Jr. Boulevard North and Martin Luther King Jr. South
Address: 411 Legislative Avenue and Court Street
Tax Parcels: ED-05-077.09-05-15.00-000 and ED-05-077.09-05-14.00-000
Size: Ramp of 160 linear ft
Present Uses: Legislative Hall
Proposed Use: Legislative Hall – West Entrance ADA Ramp Revision to Legislative Hall Building Addition
Present Zoning: IO (Institutional and Office Zone), H (Historic District Zone), SWPOZ (Source Water Protection Overlay Zone), ROS (Recreational and Open Space Zone), H (Historic District Zone)
For Consideration: Architectural Review Certification of Revision for West Entrance ADA Ramp

I. PROJECT DESCRIPTION:

The Historic District Commission will act on a recommendation for a Revised Architectural Review Certificate for the addition of an ADA Ramp located at the West Entrance of Legislative Hall. The proposal includes an approximately 160 feet proposed ramp in length, while also providing access to a new accessible entrance created within the exiting west façade. A Temporary Ramp is also proposed during construction. This is associated with the Site Development Plan for the Legislative Hall Building Addition. The main property of 2.80 acres+/- is zoned IO (Institutional and Office Zone) and subject to the SWPOZ (Source Water Protection Overlay Zone) and the H (Historic District Zone). The subject property is located on the east side of Legislative Avenue as the block between Martin Luther King Jr. Boulevard North and Martin Luther King Jr. South. The owner of

records is the State of Delaware. Property Addresses: 411 Legislative Avenue and Court Street. Tax Parcels: ED-05-077.09-05-15.00-000 and ED-05-077.09-05-14.00-000. Council District 4. *This Application HI-24-07 was considered at the Historic District Commission Meeting on October 17, 2024 and granted conditional approval of the Site Plan and Architectural Review Certification by the Planning Commission with Application S-24-19 Legislative Hall Building Addition on November 18, 2024.*

The original application was considered and motioned to recommend for approval, passing with 3-0 of the members present for the application by the Historic District Commission at their Meeting of October 17, 2024. They provided a recommendation in regard to the Architectural Review Certification for the Legislative Hall Building Addition and Associated Site Improvements. The recommendation reflected consideration of the *Design Standards and Guidelines for the City of Dover Historic District Zone* and the project's compliance with the architectural review standards to the Planning Commission. The Planning Commission granted conditional approval of the Architectural Review Certification on November 18, 2024.

Surrounding Land Uses

This subject property location in the block bounded by Legislative Avenue, Martin Luther Kings Jr. North, and Martin Luther King Jr. Boulevard South is part of the Capital Complex where multiple State buildings and offices are located. Across the street to the north is the Delaware Public Archives and to the south across the street is the Tatnall Building (offices) and the proposed location of the Legislative Hall Parking Garage and the Del-One Credit Union Building. Surrounding properties are zoned IO (Institutional and Office Zone) with other open space areas like the Legislative Mall area zoned ROS (Recreational and Open Space Zone). The surrounding properties are within the H (Historic Zone).

Previous Applications

The Legislative Hall Building at this location was constructed c. 1931-1933 with later building additions in 1965-1970 and in 1994. Prior to that the Delaware General Assembly met in the Old State House building located on The Green. (Previous Application: MI-94-17 Legislative Hall: Proposed Landscape Plan.) In October 2024, the Historic District Commission approved the application for Legislative Hall with Building Addition to create new main public entrance and Plaza area with Monument Walk (HI-24-07).

II. HISTORIC PROPERTY INFORMATION

Review of Historic Maps

A series of historic maps were reviewed by Planning Staff for preliminary information on the area and found that the area was predominately open space with scattered buildings until the 1930s when the new Legislative Hall was constructed and the street network that we know today begins to be constructed as the Capital Complex area developed with various government buildings.

Property Information

This property is not listed in the National Register of Historic Places. The property is located within H (Historic District Zone) as established by the City of Dover. The development area consists of two parcels and a street/drive aisle area. The existing Legislative Hall Building is on the western parcel

in the block and then the eastern area (street/drive aisle area and east parcel) are an existing parking lot and landscape open space area.

III. PROJECT PROPOSAL

PROJECT PROPOSAL (Revised Submission of June 2026 for West Entrance ADA Ramp):

The application proposes renovation of Legislative Hall involving the construction of a new ADA-accessible ramp. This is an addition to a previously approved project for Legislative Hall Building Addition at 411 Legislative Avenue (HI-24-07). The Applicant submission includes an architectural drawing illustration labeled as Plan Sheet SK-A.1 on June 4, 2026 that displays where the ADA Ramp is locationally in conjunction with the new Legislative Hall Addition, the new ADA parking spots, mapped accessible routes to the ramp, and an option for a temporary ADA-compliant ramp (outlined in blue). The applicant submitted three generated photos (sheet SK-A.2), dated June 4, 2024, of what the new West Entrance ADA-accessible ramp would look like from the directional views of the south, west, and north. The applicant submitted a Narrative Memo, dated June 5, 2026, describing the West Entrance ADA Ramp project and each of its accessible routes. The elements of the project are as follows:

1. New Parking Spaces: New ADA-accessible parking spaces will be designated along Martin Luther King Jr. Boulevard South in an area currently utilized for assigned parking. From these spaces, users will proceed west toward Legislative Avenue and connect to a new brick-paved accessible route that replaces an existing stepping condition. The route will continue to the west side of the building, where a new accessible ramp adjacent to the west entrance will provide access to the building.
2. Accessible Routes: The SK-A.1 architectural drawing highlights four (4) accessible routes leading from parking areas to the Legislative Hall Building. Detailed descriptions of each route are included in the Narrative Memo.
3. ADA Ramp Dimension and Location: The proposed ramp is approximately 160 feet in length and provides access to a new accessible entrance created within the existing west façade. To create the entrance, an existing window will be removed and the exterior masonry wall modified to provide a new door opening at floor level. The wall area above the new opening will be infilled to match the surrounding construction. This new entrance is required because the existing west entrance contains interior steps that prevent direct accessible access from the existing exterior landing.
4. Temporary Ramp: A Temporary ADA-compliant ramp constructed out of aluminum is proposed to be installed only for the duration of the Building Addition construction. The Temporary ADA ramp and entrance will be removed upon completion of the construction and brick. This option also includes modification to an existing window opening to provide temporary accessible entrance into the building. Upon construction completion, the opening will be restored to its original window configuration when the Temporary Ramp is removed.

5. Ramp Building Material: The proposed ramp will be constructed of masonry and concrete designed to complement the historic character of Legislative Hall. Exterior-facing surfaces will utilize brick masonry matching the exterior building in color, texture, and bond pattern. Ramp and landing surfaces will consist of concrete slabs incorporating a snow-melt system for year-round accessibility and safety. Guardrails and handrails will feature a wrought-iron design (black metal) consistent with the architectural character of the Legislative Mall and Capitol Complex and City of Dover *Design Standards and Guidance*. The new accessible entrance door will be a solid wood door matching the existing west entrance doors and will be framed with a cast stone surrounding consistent with other exterior openings throughout the building. Associated walkways will utilize the same brick paving materials found throughout the Legislative Complex, including a herringbone brick pattern with contrasting brick borders to maintain visual continuity with the surrounding side improvements.

6. Trees and Landscaping: Construction of the ADA Ramp will impact two existing trees and adjacent landscaping. The landscaping affected by the Temporary aluminum ADA-compliant ramp be restored upon the completion of the construction.

IV. ZONING REVIEW

The entire project site is located in the H (Historic District Zone) and subject to the provisions of the *Zoning Ordinance*, Article 3 §21 and referenced sections. *Zoning Ordinance*, Article 10 §3.2 outlines the review process for Architectural Review Certification and related building height, bulk, and setback standards.

The subject project area is zoned IO (Institutional and Office Zone) The IO zone allows the use for public and institutional building and makes the development subject to provisions of regulations the IO zone. The IO zoning district has a front yard setback of 10 feet.

Review of DESIGN STANDARDS AND GUIDELINES

The subject property is located in the Dover Historic District Zone within the Capitol Square Historic Context. The Capitol Square Context is described on pages 2-8 and 2-9. Location within the Dover Historic District Zone requires proposals for demolition, new construction, additions, and certain renovation or rehabilitation activities to existing buildings to receive an Architectural Review Certificate.

As stated in the *Design Standards and Guidelines for the City of Dover Historic District Zone*, an Architectural Review Certificate will be granted “if it is found that the architectural style, general design, height, bulk and setbacks, arrangement location and materials affecting the exterior appearance are generally in harmony with neighboring structures and complementary to the traditional architectural standards of the historic district.” In accordance with Article 10 §3.2, the Historic District Commission will provide a recommendation to the Planning Commission regarding the project’s compliance with the architectural review standards.

Chapter 3: Maintenance, Repair, Preservation and Restoration of Existing Historic Buildings includes guidance related to various building elements and materials. This proposal must be reviewed for conformity with the design criteria guidelines found in Chapter 4: New Construction, Additions, Demolition and Relocation. Information on the review considerations is given below.

New Construction

The *Design Standards and Guidelines* for New Construction (Chapter 4: pages 4-1 through 4-8) provide the design criteria and development guidelines. The guidelines specify the following individual considerations for new construction to be considered in the review by the Historic District Commission (and Planning Commission) of the project for Architectural Review Certification:

- Style
- Bays, windows, and doors (*size, relationship, spacing of*)
- Absolute Size (*compare overall size of new building*)
- Massing (*relationship of solid-to-void*)
- Orientation (*location of primary façade*)
- Proportions (*comparison of height to width of building and elements*)
- Materials

Also, in Chapter 4 there is guidance related to “Additions to Existing Buildings” (Chapter 4: pages 4-8 through 4-10) which outlines similar topics of Siting, Scale, Elevation of the First Floor, Floor-to-floor Height, Massing, Orientation, Proportions, Materials, Forms, and other guidance. Reading of this guidance finds that it is primarily focused on additions to residential and smaller scale buildings which have a front façade and rear. For this Legislative Hall West Entrance ADA Ramp project, the considerations for New Construction are more appropriate.

The proposed project must also be reviewed for compliance with the standards established by the *Zoning Ordinance*. The standards include items such as setbacks from property lines, lot coverage, height, etc. This Proposal for the placement of the ADA Ramps on the West Entrance appears to conform to most of the bulk requirements of the IO Zoning District.

STAFF COMMENTS AND RECOMMENDATIONS

The following are Staff comments and recommendations for this application regarding project activities and Architectural Review Certification.

- 1) Staff recommends conditional approval of the Architectural Review Certificate for the construction of the West Entrance ADA Ramp project finds the ramp addition to be of compatible design with the existing building and the other nearby buildings. The proposal complies with the intent of the *Design Standards and Guidelines for the City of Dover Historic District Zone* and with its recommendations for development in Capital Complex Historic Context. The proposed ADA Ramp brick masonry is in compliance with the masonry guidelines. The proposed new accessible entrance wooden door is similar to the existing west entrance doors. Its surrounding cast stone frame is consistent with other exterior openings throughout Legislative Hall. The proposed guardrails and handrails made

of wrought iron is consistent with the architectural character of the Legislative Mall and Capitol Complex and City of Dover historic district standards.

- 2) The following conditions are recommended by Staff to improve the project’s compliance with the recommended guidelines of the *Design Standards and Guidelines*. The following are recommended conditions:
 - a. The selected brick choices should be compatible with the brick of the existing building.
 - b. Clarify what trees and landscaping will be impacted by the construction of the ramp in the future Landscape Plan as the architectural renderings may only be concepts. If trees are displaced, then new tree plantings should occur. This is to ensure compliance with the tree planting requirements of the overall project.
 - c. Any revisions or changes in the identified materials may be subject to further review by the Historic District Commission.

Historic District Commission Action Required

The Historic District Commission shall consider the proposal and provide a recommendation in regard to the Architectural Review Certification for the West Entrance ADA Ramp project. The recommendation should reflect consideration of the *Design Standards and Guidelines for the City of Dover Historic District Zone*.

From: Gabriel Cheung, NCARB, LEED-AP, ALEP
2500 Wrangle Hill Road, Suite 110
Bear, DE 19701
cheungg@StudioJAED.com

To: Department of Planning & Inspections
City of Dover
PO BOX 475
Dover, DE 19903

Date: June 5, 2026

Re: **Legislative Hall – West Entrance ADA Ramp
Revision to Legislative Hall Building Addition Project HI 24-08**

The current accessible entrance to Legislative Hall is located at the east entrance. This entrance will be closed for an estimated two-year period during construction of the proposed addition. The original project approach contemplated the construction of a temporary accessible entrance at the west entrance, which would remain in service throughout construction and be removed upon completion of the addition. However, the project team was asked to evaluate the feasibility of constructing a permanent accessible ramp that would satisfy accessibility requirements during construction while also serving as a long-term accessible entrance after the addition is complete.

West Entrance Accessible Ramp

Reference SK-A.1 for the general layout of the proposed accessibility improvements surrounding Legislative Hall.

Accessible Route #1 will serve as the only accessible route during construction of the addition. With the closure of the existing east entrance, Legislative Hall's current accessible public entrance will be unavailable for the duration of construction. New ADA-accessible parking spaces will be provided along Martin Luther King Jr. Boulevard South in an area currently utilized for assigned parking. From these spaces, users will proceed west toward Legislative Avenue and connect to a new brick-paved accessible route that replaces an existing stepped condition. The route will continue to the west side of the building, where a new accessible ramp adjacent to the west entrance will provide access to the building.

The proposed ramp is approximately 160 feet in length and provides access to a new accessible entrance created within the existing west façade. Construction of the ramp will impact two existing trees and adjacent landscaping. To create the entrance, an existing window will be removed and the exterior masonry wall modified to provide a new door opening at floor level. The wall area above the new opening will be infilled to match the surrounding construction. This new entrance is required because the existing west entrance contains interior steps that prevent direct accessible access from the existing exterior landing.

Alternate Accessible Routes

Upon completion of the addition, several additional accessible routes will be available to building occupants and visitors:

- Accessible Route #2: From the ADA parking spaces along Martin Luther King Jr. Boulevard South one can traverse east towards the new plaza and take the accessible ramps that flank the

new monumental stairs to the main public entrance.

- Accessible Route #3: From the Legislative Hall Parking Garage, across Martin Luther King Jr. Boulevard via the pedestrian crosswalk, and the same route as Accessible Route #2 to the main public entrance.
- Accessible Route #4: From the Legislative Hall Parking Garage through the existing tunnel beneath Martin Luther King Jr. Boulevard. This route is restricted access and provides direct entry into the Legislative Hall addition.

Materials and Architectural Character

The proposed ramp will be constructed of masonry and concrete designed to complement the historic character of Legislative Hall. Exterior-facing surfaces will utilize brick masonry matching the existing building in color, texture, and bond pattern. Ramp and landing surfaces will consist of concrete slabs incorporating a snow-melt system for year-round accessibility and safety.

Guardrails and handrails will feature a wrought-iron design consistent with the architectural character of the Legislative Mall and Capitol Complex and City of Dover historic district standards. The new accessible entrance door will be a solid wood door matching the existing west entrance doors and will be framed with a cast stone surround consistent with other exterior openings throughout the building.

Associated walkways will utilize the same brick paving materials found throughout the Legislative Complex, including a herringbone brick pattern with contrasting brick borders to maintain visual continuity with the surrounding site improvements.

Temporary Ramp Option

SK-A.1 illustrates an option (outlined in blue) for a temporary ADA-compliant ramp constructed out of aluminum that would be installed only for the duration of the Addition construction. This option also includes modifications to an existing window opening to provide a temporary accessible entrance into the building. Upon completion of construction, all temporary ramps will be removed, and the affected landscaping will be restored. The temporary entrance will also be removed, and the opening will be restored to its original window configuration.

Sincerely,



Gabriel Cheung, NCARB, LEED-AP, ALEP

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LICENCE NUMBER:
EXPIRES DATE:
DATE OF SIGNATURE:
DATE OF REGISTRATION EXPIRATION:

THE ARCHITECT WHO SEALED, SIGNED, AND DATED THIS DOCUMENT HAS BEEN EMPLOYED TO EMPLOYED/CONTRACTING AS A PROFESSIONAL AS ENGINEER/ARCHITECT REGISTERED IN 24 DEL.C. §3103(C)

ARCHITECT/ENGINEER SEAL

STATE OF DELAWARE
OMB/DIVISION OF FACILITIES MANAGEMENT
OMB/DIVISION CONTRACT #AJU1002000077
PROJECT
LEGISLATIVE HALL
411 LEGISLATIVE AVE
DOVER, DE 19901
ADDITION AND RENOVATIONS

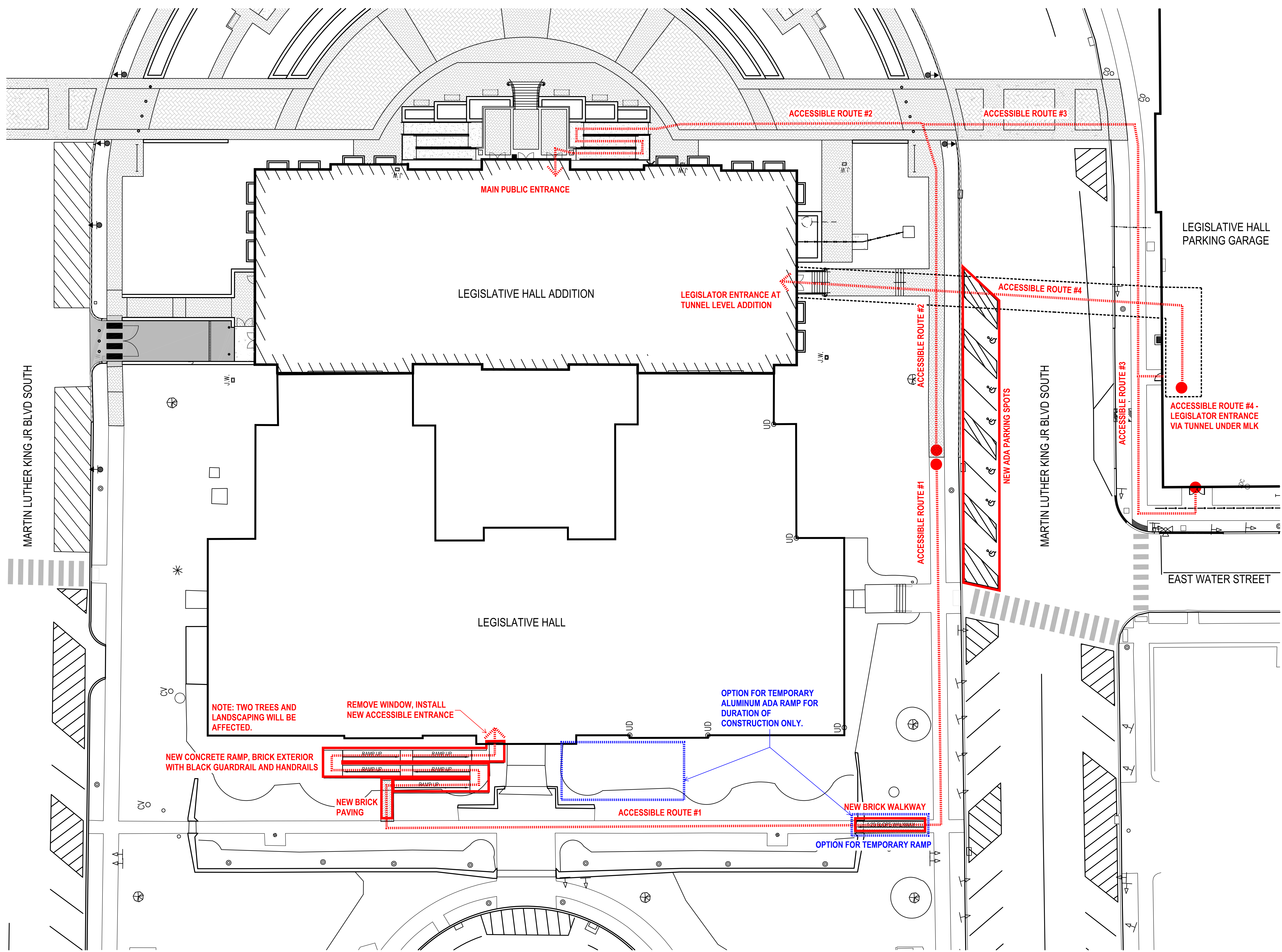
REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE
PERMANENT
ACCESSIBLE RAMP
WEST ENTRANCE

ISSUE
HISTORIC DISTRICT
REVIEW
JUNE 5, 2026

DRAWN: GC
CHKD: PRC
PROJECT NO.: 23096

SHEET NO.
SK-A.1
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THE REVISIONS OF THESE PLANS OR ANY PART THEREOF SHALL BE MADE ONLY BY THE ARCHITECT OR AN ARCHITECT EMPLOYED BY THE ARCHITECT. ANY CHANGES TO THESE PLANS SHALL BE MADE ONLY BY THE ARCHITECT OR AN ARCHITECT EMPLOYED BY THE ARCHITECT. ANY CHANGES TO THESE PLANS SHALL BE MADE ONLY BY THE ARCHITECT OR AN ARCHITECT EMPLOYED BY THE ARCHITECT. ANY CHANGES TO THESE PLANS SHALL BE MADE ONLY BY THE ARCHITECT OR AN ARCHITECT EMPLOYED BY THE ARCHITECT.

1 LEGISLATIVE HALL - WEST ENTRANCE
SCALE: 1/8" = 1'-0"



ARCHITECTURAL REVIEW REPORT
 Referral by City Planner to Historic District Commission
 Meeting of June 18, 2026

<u>Permit:</u>	Siding Permit #26-848
<u>Location:</u>	108 S Governors Ave, Dover Three-story Residential Apartment Building
<u>Tax Parcel:</u>	ED-05-077.09-01-41.00-000
<u>File Number:</u>	HI-26-02
<u>Present Zoning:</u>	C-2 (Central Commercial Zone) H (Historic District Zone)

Referral of Permit:

The following application Siding Permit #26-848 for 108 S Governors Ave is referred by the City Planner to the Historic District Commission for consultation regarding the issuance of the Architectural Review Certificate for a Siding project. The project proposes the use of a vinyl siding product in a horizontal format to re clad the three-story residential apartment building. Applications for certain types of construction activity within the Historic District Zone (H) are reviewed by the City Planner (or Staff as designated) for Architectural Review Certification as part of the Building Permit application review process. Staff is referring the Permit for review under the provisions of *Zoning Ordinance*, Article 10 Section 3.22(A) and (B). See below.

Section 3.22 Architectural review certification by the city planner.

- (A) An architectural review certificate for specific classes of building permits, including Fences, signs, siding, window and door replacement, roofing, the addition or replacement of decorative features, minor demolition, residential additions, and other construction of a minor nature, may be issued by the city planner, after a review and determination that the proposed construction is in general accordance with the standards set forth in subsection 3.25.
- (B) The city planner may refer any permit application for demolition or construction in the historic district for consultation with commission.

Permit Information:

Siding Permit #26-848 was filed on May 29, 2026 for a siding project at 108 S Governors Ave in Dover, Delaware. This is a three-story residential apartment with an existing porch, tan siding (appears to be wood horizontal siding and composite shingle siding on the south elevation) and blue shutters on the window, and trimwork. The project listed in the Permit submission consists of the removal and replacement of the building's siding. The specifics for the siding were identified as to being a horizontal type of vinyl siding.

Property Information:

The project site is located within the local Historic District Zone (H) and subject to the provisions of the *Zoning Ordinance*, Article 3 §21 and referenced sections. This building is also located within the boundaries of a National Register Historic District, specifically the Victorian Dover Historic District (K-00396.204). The following is the inventory description from the Victorian Dover Historic District nomination:

K-00396.204
108 S Governors Avenue – Pre-1885, 3-story, 3-bay, Italianate-style residence; clapboard siding. Low-hipped roof; 2/2 double -hung sash; façade porch; converted to apartment units.

Staff Review of Permit for Architectural Review Certification:

Project activities are reviewed for compliance with the *Zoning Ordinance* and the *Design Standards and Guidelines for the City of Dover Historic District Zone* as stated in *Zoning Ordinance*, Article 10 Section 3.25(A).

Article 10 Section 3.25 *Architectural review standards.*

(A) An architectural review certificate may be issued if it is found that the architectural style, general design, height, bulk and setbacks, arrangement, location and materials and structures affecting the exterior appearance are generally in harmony with neighboring structures and complementary to the traditional architectural standards of the historic district as set forth in the historic district design guidelines and standards adopted by the planning commission and as set forth in the United States Secretary of the Interior's Standards for Rehabilitation.

The element must be in the “public view.” The “public view” is defined in the *Zoning Ordinance* as “that which can be seen readily from a public street, public building or public property, excluding views from alley rights-of-way.” The front façade and both side elevations are visible from South Governors Avenue due to the position of the building.

In reviewing the proposed project for Architectural Review Certification, Staff referenced various sections of Chapter 3: Maintenance, Repair, Preservation and Restoration of Existing Historic Buildings of the *Design Standards and Guidelines for the City of Dover Historic District Zone* which presents the Recommended, Not Recommended, and Inappropriate approaches to construction of various elements in the Historic District.

This Request should be reviewed for conformity with the design criteria and development guidelines found in the *Design Standards and Guidelines for the City of Dover Historic District Zone*. Chapter 3 presents the information on the appropriate formats and materials for use in the Historic District. Specifically, Chapter 3, pages 3-1 through 3-3 discuss the philosophy of the *Design Standards and Guidelines* and then it discusses the Recommended, Not Recommended, and Inappropriate practices associated with each building element. Walls: Wood Siding and Trim is discussion on pages 3-14 to 3-16.

The *Design Standards and Guidelines* focus on repairing building elements or replacement of the building elements in-kind to match existing conditions. For vinyl siding, this generally means it is not recommended for use in the Victorian historic context of the Dover Historic District Zone due to 108 S. Governors Avenue being located in the Victorian Dover Historic District. The proposed replacement vinyl siding does not comply with the recommended practices of the *Design Standards and*

Guidelines.

Historic District Commission Action

The Historic District Commission should consider the Siding project and take action in regard to the Architectural Review Certification for the Siding Permit #26-848. The Historic District Commission may add conditions for the Siding project in order to comply with the character of the property within the Historic District.

Staff Findings from Review of Siding Permit:

Staff findings and recommendations are summarized as follows for the Door and Window project as presented in Permit #26-848 and accompanying documents.

1. Siding Material: Vinyl siding is not recommended for the use in the Victorian Historic context of the Dover Historic District zone. Its sheen is noticeable and it is nearly impossible to install without converting up or obliterating original architectural details. Its seams are visible, it tends to wrap and deflect with changes in temperature, and its color will fade notably over time. It also traps and hides potentially damaging moisture within the walls of the house.
 - a. Additional recommendations will be provided by Planning Staff prior to the meeting.

Advisory Comments:

1. The applicant shall be aware that issuance of a Siding Permit is required prior to the commencement of construction. The Siding Permit Application will be subject to the conditions of approval established and may be required to be updated, if necessary, to comply with these conditions established through the Architectural Review Certification process.

Attachments:

- Letter of Referral Notice to Applicant dated June 10, 2026.
- Siding Permit #26-848 Application Form and Siding sample brochure.
- *Design Standards and Guidelines for the City of Dover Historic District Zone, Chapter 3,*



June 10, 2026

Safwat Nasr
3724 Philadelphia Pike Unit A
Claymont DE 19703
Via Email: snasr77@gmail.com

Re: Referral of Siding Permit #26-848 to Historic District Commission, HI-26-02
Siding Project at 108 S Governors Avenue, Dover DE

To Whom It May Concern:

This letter is to inform you that Siding Permit Application # 26-848 has been referred to the City of Dover Historic District Commission for consultation. Siding Permit #26-848 was filed on May 29, 2026 for a siding project at 108 S. Governors Avenue in Dover, Delaware. This is a three-story residential apartment building. The project listed in the Permit submission consists of the removal and replacement of the building's siding. The specifics for the siding were identified as to location and siding from the existing siding to be wood clapboard siding and a composite shingle siding. Additional correspondence from the proposed samples provided shows horizontal vinyl siding products.

The location of the subject property within the City of Dover's Historic District zone requires the review and issuance of an Architectural Review Certificate (ARC) for construction and demolition activities. Siding replacement is eligible for Staff review of the ARC during the Building Permit application process if given approval. Project activities are reviewed for compliance with the *Zoning Ordinance* and the *Design Standards and Guidelines for the City of Dover Historic District Zone* as stated in *Zoning Ordinance*, Article 10 Section 3.25(A).

Article 10 Section 3.25 Architectural review standards.

(A) An architectural review certificate may be issued if it is found that the architectural style, general design, height, bulk and setbacks, arrangement, location and materials and structures affecting the exterior appearance are generally in harmony with neighboring structures and complementary to the traditional architectural standards of the historic district as set forth in the historic district design guidelines and standards adopted by the planning commission and as set forth in the United States Secretary of the Interior's Standards for Rehabilitation.

In reviewing the proposed project for Architectural Review Certification, Staff referenced Chapter 3: Maintenance, Repair, Preservation and Restoration of Existing Historic Buildings of the *Design Standards and Guidelines* which present the *Recommended*, *Not Recommended*, and *Inappropriate* approaches to activities in the Historic District. The *Design Standards and Guidelines* focus on repair of building elements or replacement of the building elements in-kind to match existing conditions. For vinyl siding, this generally means it is not recommended for the use in the Victorian historic context of the Dover Historic District Zone due to 108 S Governors Ave being located in the Victorian Dover Historic District. The proposed replacement horizontal vinyl siding does not comply with the recommended practices of the *Design Standards and Guidelines*. Therefore, I am referring the Siding Permit application to the Historic District Commission for consultation. See *Zoning Ordinance*, Article 10 Section 3.22 (A) and (B) listed below.

Article 10 Section 3.22 Architectural review certification by the city planner.

(A) An architectural review certificate for specific classes of building permits, including fences, signs, siding, window and door replacement, roofing, the addition or replacement of decorative features, minor demolition, residential additions, and other construction of a minor nature, may be issued by the city planner, after a review and determination that the proposed construction is in general accordance with the standards set forth in subsection 3.25

(B) The city planner may refer any permit application for demolition or construction in the historic district for consultation with commission.

The City of Dover Historic District Commission will review this Permit at their next meeting scheduled for Thursday, June 18, 2026 at 3:30pm. Options for participating in the Meeting include attending In-Person at the City Hall Council Chambers in City Hall at 15 Loockerman Plaza and/or attending the Virtual Meeting presentation using Webex, an audio and video conferencing system. A separate meeting invitation to Join the Meeting virtually will be sent by email to the applicants; where you can click “Join Meeting” to attend that afternoon. This Permit Referral has been assigned Application #HI-26-02. You are encouraged to participate in this meeting in person to discuss the project and provide any additional information on the project. Staff will provide the Historic District Commission with the permit application materials and other background information for their review and action. The Historic District Commission will consider whether Architectural Review Certification can be granted to the project as proposed or if other conditions of approval are required.

Also attached to this Letter are the *Design Standards and Guidelines for the City of Dover Historic District Zone* pertaining to Walls: Siding and Trim (pages 3-14, 3-15 and 3-16). If you have questions or wish to discuss alternative options, please contact the Planning Office at (302) 736-7196 or compplan@dover.de.us.

Sincerely,
Department of Planning and Inspections



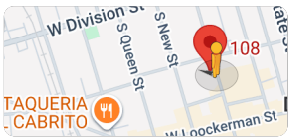
Dawn Melson-Williams, AICP
Principal Planner

Attachments: HI-26-02 Preliminary Report by Planning Staff
Permit #26-848 and Siding Sample booklet
Streetview of the building
Excerpt of *Design Standards & Guidelines* – Chapter 3

CC: Permit #26-848
HI-26-02



Image capture: May 2012 © 2026 Google



MainStreet™

Siding



MainStreet™

MainStreet siding offers consistent quality, good looks and is the ideal choice for homeowners looking for value with the benefits of a premium panel.

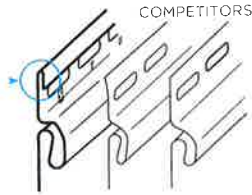


RigidForm™ Technology

RigidForm 170 (rolled-over nail hem) technology stiffens siding for a straighter-on-the-wall appearance and has been tested* to withstand wind load pressures up to 170 mph.

*Products adhere to ASTM D3679 standards for capable wind speed ratings based on standard windload design pressure ratings. For the most current ratings, please reference www.certainteed.com

- Many classic styles.
- Natural woodgrain or brushed appearance.
- RigidForm™ 170 technology and DuraLock® post-formed lock design.
- STUdfinder™ Installation System for optimum siding performance.
- A wide variety of low-gloss colors.
- .042" thickness.
- Virtually maintenance free, never needs painting.
- Class 1(A) fire rating.
- Lifetime limited warranty.



The angular locking leg creates a positive, snap-fit installation, allowing for necessary expansion and contraction.

DuraLock® features an oversized, rigid tear-drop shape which is substantially larger than many competitors' locks, helping to provide secure installation.

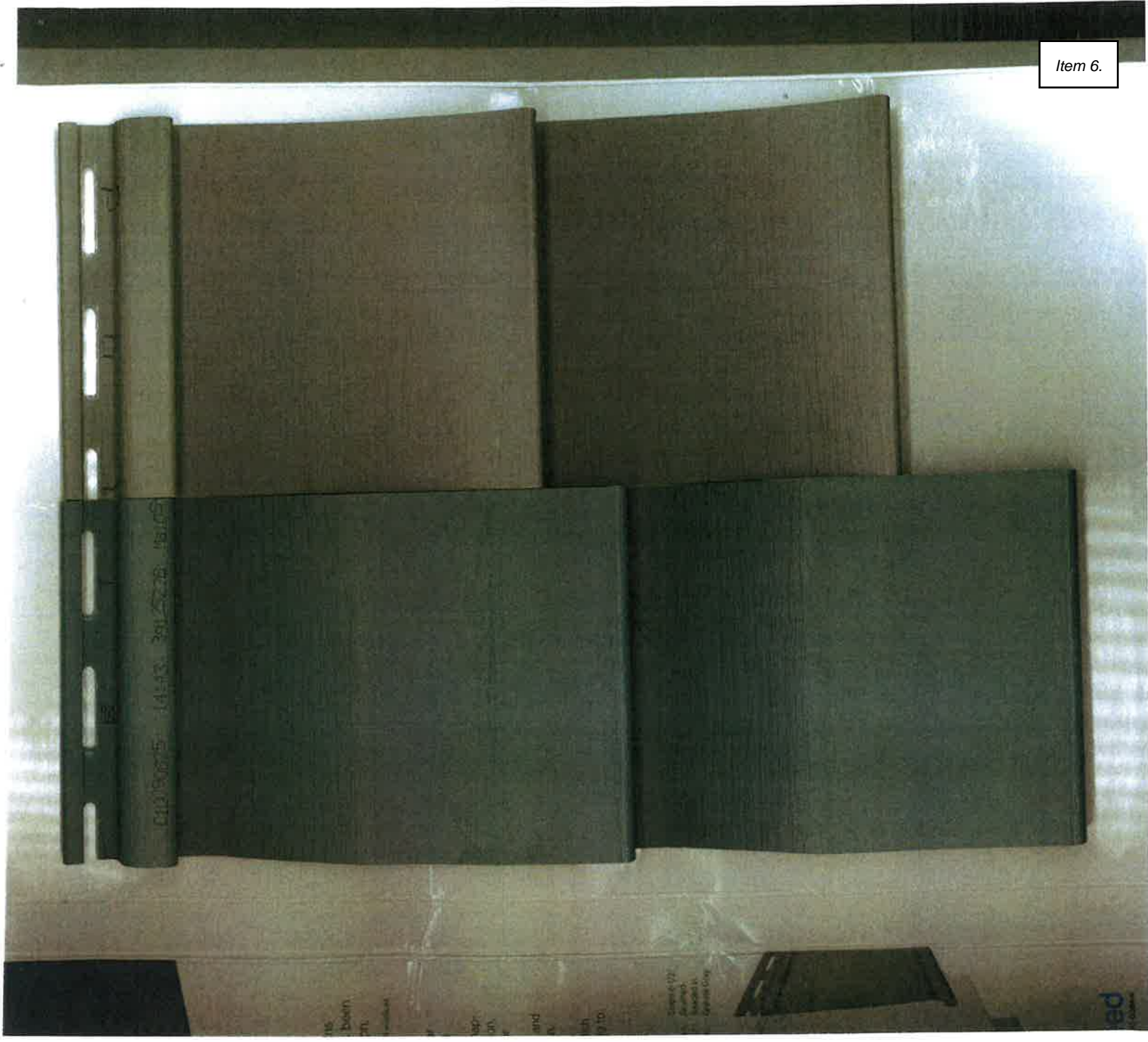
Triple 3" Brushed Clapboard in Desert Tan	Double 4" Woodgrain Clapboard in Cypress	Double 5" Woodgrain Clapboard in Pacific Blue	Double 4" Woodgrain Dutchlap in Snow	Double 5" Woodgrain Dutchlap in Natural Gray	Single 6" Woodgrain Clapboard in Colonial White	Single 6-1/2" Brushed Beaded in Granite Gray
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On Cover

Siding: MainStreet Double 4" Clapboard in Flagstone and Cedar Impressions Double 7" Perfection Shingles in Sterling Gray
Trim: Vinyl Carpentry & Restoration Millwork





MainStreet™



Autumn Red (Deluxe Color) **Sable Brown** (Deluxe Color) **Spruce** (Deluxe Color) **Forest** (Deluxe Color) **Pacific Blue** (Deluxe Color) **Wedgewood Blue** **Flagstone** (Deluxe Color)



Charcoal Gray (Deluxe Color) **Castle Stone** **Granite Gray** **Graystone** **Sterling Gray** **Oxford Blue** **Seagrass**



Cypress **Herringbone** **Sandstone Beige** **Desert Tan** **Weathered Wood** **Natural Clay** **Savannah Wicker**



Heritage Cream **Autumn Yellow** **Snow** **Colonial White**

Triple 3" Brushed Clapboard available in: Colonial White, Desert Tan, Heritage Cream, Natural Clay, Oxford Blue, Sandstone Beige, Savannah Wicker, Snow and Sterling Gray.

Single 6-1/2" Brushed Beaded available in: Colonial White, Cypress, Desert Tan, Granite Gray, Natural Clay, Sandstone Beige, Savannah Wicker and Sterling Gray.

Single 8" Woodgrain Clapboard available in Colonial White only.

All other Profiles available in all colors.



Color performance, impact resistance and durability are assured through our exclusive PermaColor™ System and superior micro-ingredients and state-of-the-art pigment chemistry. CertainTeed guarantees Lifetime Fade Protection on our vinyl siding. See warranty for complete details.



Start exploring preset color combinations and create your own custom exterior with on-line, interactive tools designed to help you "Visualize Your Home". Start now at colorview.certainteed.com

Colors shown throughout are as accurate as printing methods will permit. Please see product samples for making final selection.



Select your Finishing Touch

Item 6.



Good
Horizontal siding with coordinating trim elements gives a clean, classic look.



Better
Adding Board & Batten to a gable, bump out, or dormer adds contrasting architectural detail.



Best
Selecting STONEfaçade™ and Cedar Impressions shakes and siding in contrasting colors and adding Restoration Millwork™ trim elements creates a bold look that stands out.



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New Castle, DE 19720
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Ceilings • Gypsum • Insulation • Roofing • Siding • Trim
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Chapter 3

Maintenance, Repair, Preservation and Restoration of Existing Historic Buildings

Introduction

These design guidelines are intended to provide standards for a range of treatments to existing historic buildings within the Dover Historic District zone. It is hoped that while these guidelines will both suggest and require certain historic preservation practices, they will also educate the property owners of Dover as to the proper maintenance and care of their historic buildings.

These guidelines are a part of the process of raising the preservation 'consciousness' of Dover, a City with a very strong sense of its own history and a very strong desire to preserve its history. These guidelines are merely a tool by which Dover may preserve itself. Just as a city changes, so do ideas through which the citizens and government of Dover approach preservation. These guidelines will promote a certain sophistication to the level of discourse within the City regarding historic preservation, and that discourse will soon outreach these guidelines, requiring their revision. This is all a part of the process of preservation.

Because of the diversity of architectural periods, styles, building types and neighborhoods found in Dover, and because it

is not possible to write a recipe for good design, these guidelines are intended to be as flexible as possible. The flexibility of these guidelines recognizes that there are several solutions to most problems. Further, it is a fact that while one solution may be favorable over another, there may be circumstances, financial or otherwise, that make a particular treatment difficult or impossible to undertake. These guidelines thus recognize the financial constraints on any homeowner and that the favored preservation practice may be beyond the means of some homeowners.

The flexibility of the guidelines is linked to the building permit process. For most types of treatments, guidelines are grouped under the categories of "Recommended," "Not Recommended," and "Inappropriate." Guidelines that are "Recommended" represent the best preservation practice, that is, those treatments that are most respectful of existing historic fabric. Projects that follow the "Recommended" guidelines should receive an Architectural Review Certificate with little or no comment. Projects that employ treatments that are "Not Recommended" may or may not receive an Architectural Review Certificate, depending upon the evaluation and

determination by the Historic District Commission of the overall impact of those treatments on the character of the structure and the Dover Historic District zone as a whole. Projects that employ "Inappropriate" treatments should not receive an Architectural Review Certificate, unless there are extenuating circumstances that warrant approval.

The diversity of neighborhoods and building types within Dover has determined that another kind of flexibility be written into the guidelines. As discussed in Chapter 2, four historic contexts have been identified, each with its own preservation recommendations. There is a certain amount of overlap in the design guidelines to be followed within each district; mortar for repointing should always be as soft as existing historic mortar, for instance. There are also guidelines that are specific to individual historic contexts; vinyl siding is "Not Recommended" in the Victorian Context, but it is 'Inappropriate' within the Green, Loockerman and Capitol Square Contexts. These context-specific guidelines recognize that there are different preservation objectives for different parts of the Dover Historic District zone. They also recognize that more flexibility may be required in areas that contain low and middle income homeowners.

These guidelines recognize that healthy cities grow and change, that Dover will continue to grow into the 21st century, and that it is not, nor should it be, the intention of the City to restore Dover to an earlier period of time. These guidelines are based in the commitment that growth and change must be complementary to historic preservation, and vice versa. While preservation sometimes conflicts with growth and change, it has been the widespread experience in towns, small

cities and large cities around the United States that a downtown with a unique historic character will attract new development. Conversely, the financial resources that new development bring to a city or town can support the goals of historic preservation by providing jobs that make home ownership possible, attracting shoppers to local businesses, and contributing to the tax base.

These guidelines attempt to establish a balance between the mandate to preserve the historic character of Dover and the compelling forces of new development. A successful balance will be mutually beneficial to both preservation and new development.

The Design Guidelines for maintenance, repair, preservation and restoration of historic buildings presented here are intended to preserve the distinct historic character of the Dover Historic District zone. The preservation of the historic character of the District is largely a function of the preservation of the existing historic building fabric. Therefore, these guidelines stress the retention, repair and proper maintenance of existing historic architectural fabric.

The preservation philosophy underlying these guidelines is based on the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings* that are discussed in detail in Chapter 2 of this document. Those standards may be summarized as follows:

- The proper maintenance of historic building fabric underlies any recommendations with regard to historic preservation.
- It is always preferable to retain and repair existing historic building fabric, rather than replace it with new materials.

- When replacing historic building materials that are irreparably deteriorated, replacement should be in-kind, using materials and craftsmanship that match as closely as possible the existing historic fabric that is being removed.
- Restoration (returning a building to a specific, previous condition or appearance) should be undertaken only when sufficient documentation or evidence exists to determine historic conditions at a specific, significant period of a building's history. Because history accrues to buildings over time, it is recommended that later historic fabric should not be removed in order to restore a building to an earlier appearance.
- When adequate documentation is not available to restore a building accurately to a previous appearance, and the building has lost its historic integrity, speculative restoration should not be attempted. Rather, it is recommended that a contemporary design be developed that will be sympathetic and complementary to the existing building or adjacent structures.

Doors, Windows, and Shutters

Introduction

Doors, windows and shutters are the moving parts of building exteriors. As such, they are subject to hard and frequent use. They are also critical elements in regulating the passage of light, air, rain and people into the interior of the building.

These elements are also critical in determining the architectural character of individual

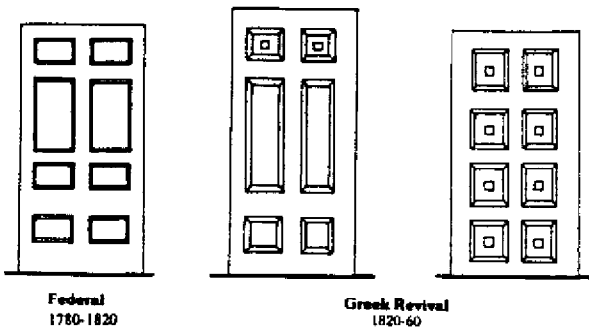
buildings. The correct preservation of existing historic doors, windows and shutters as well as the appropriate design of their replacements is absolutely essential to the maintenance of the character of individual buildings and their context within a historic district.

The repair and replacement of existing original or historic doors, windows and shutters should be in-kind, that is, to match existing conditions as close as possible. Attention should be paid to the size, species and profile of the piece or element requiring repair or replacement. Custom millwork may be required if stock millwork matching existing conditions is unavailable. Replacement of existing non-historic doors should be appropriate to the age and character of the building.

Doors

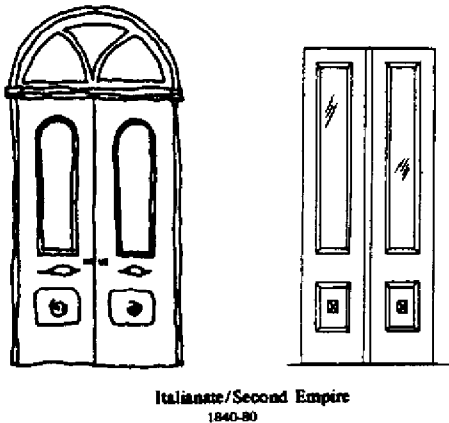
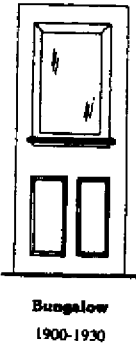
Paneled doors have been used during every period of Dover architecture, and in every building type found in the four historic contexts. The technology to produce flush doors is a very recent phenomenon, having mostly to do with the development of inexpensive glues. Panel trim and moldings have varied over time as have the configuration of the panels and the use of glazing in the panels.

Typically, Federal style residential doors were divided simply into several rectangular panels in two sizes. The molding profiles on Federal style doors were usually limited to simple beads. Greek Revival doors tend to be highly stylized with the repetitive use of one panel size, often a square. Panel moldings are flat and a vertical center bead used occasionally to simulate two doors. Opening surrounds often had splayed trim.



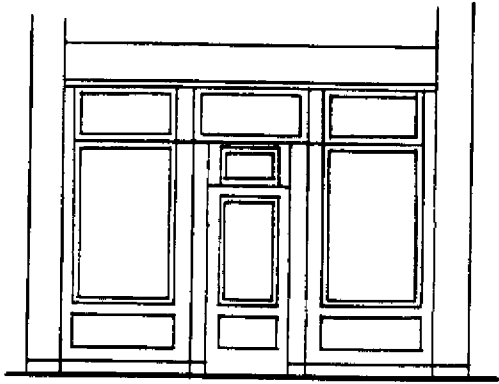
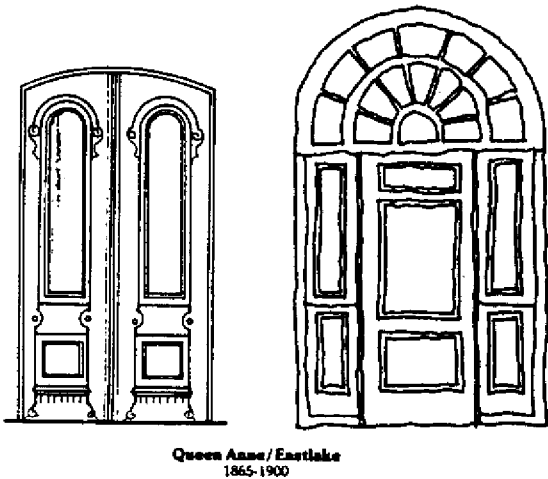
The overall simplicity of the Bungalow style is evident in the design of doors. Bungalow doors were often single glazed doors with simple raised panels. Paneled doors also continued to be prevalent and had 4, 5, 6, or even 8 panels.

Italianate and Second Empire style residential doors were more ornate with elongated vertical panel shapes, glazed upper panels and deeper and more complex molding profiles.



The design of doors for commercial establishments, such as those that are on Loockerman Street, typically remained consistent during the late 19th and early 20th centuries. Shop doors were either single or double doors, often with a transom above. The doors themselves were usually paneled below with a glass pane inset above. Steel and bronze frame storefront 'systems' began to appear after 1920. For a further discussion of doors for commercial buildings, see the discussion of storefronts and signage in Chapter 5.

The Queen Anne and Eastlake styles of residential architecture introduced further levels of ornament, including gouged, carved and incised profiles, sometimes with arched and curved panel shapes.

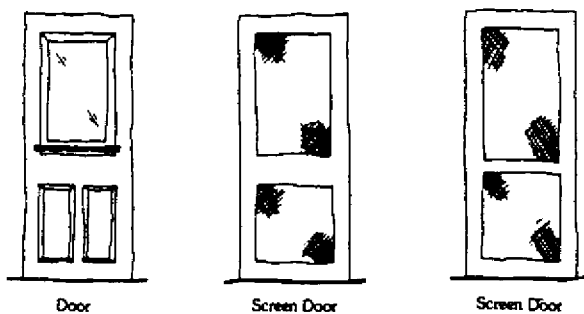


Doors in the Capitol Square context have been and should remain wood panel doors.

Design Guidelines for doors are as follows:

Recommended

- Retain and repair as much historic door fabric as possible. Repair should be in-kind, to match existing size, species, profile and configuration.
- If existing historic doors or screen doors are deteriorated irreparably, replace in-kind, to match existing size, species, profile, and configuration.
- Replace inappropriate doors with doors appropriate to the period and style of the building.
- Screen and storm doors should be wood and kept as simple as possible, except in the cases of Queen Anne and Eastlake styles, which may be more elaborately composed and detailed. Except for screen doors that are a part of a screened porch enclosure, horizontal and vertical rails of screen doors should align and coincide with those of the door behind.

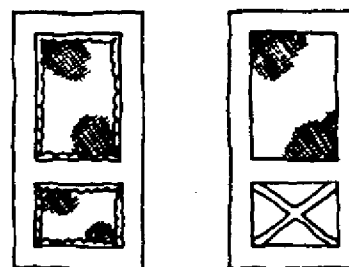


Screen Doors To Align With Doors

- Storm doors that are designed to have one large opening and that allow the door behind to be visible are recommended.

Not Recommended

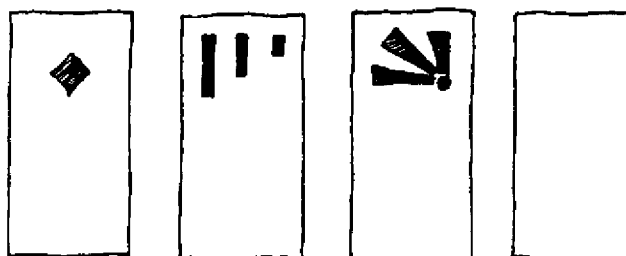
- Aluminum doors and aluminum screen doors are not recommended in the Victorian and Loockerman historic contexts and in the Capitol Square context.



Not Recommended

Inappropriate

- Modern flush doors are inappropriate on the exterior of buildings within the Dover Historic District zone.



Inappropriate

- Doors of an earlier (or otherwise inappropriate) style than the building are inappropriate.
- Glazed doors containing windows with snap-in muntins or masking tape to simulate divided lights are

inappropriate in the Dover Historic District zone.

- Enclosure of existing transoms and sidelights is inappropriate.
- Aluminum doors and screen doors are inappropriate in the Green historic context.

Windows

The history of window design, until recently, can be seen as a continuous attempt to increase the size of glazed openings. Thus throughout the 19th century (especially in commercial design), opening sizes increased, glass panes got larger, and muntins got thinner. Only the Colonial Revival represents a significant departure from this trend, in which a compromise was struck between the large sheets of available plate glass and the 6-light sash with thick muntins common in Colonial buildings. The compromise was reached in the 6-over-1 window.

Although dimensional tendencies vary, the following is a rough guide to the increase in size of individual glass panes through the first half of the 19th century:

- Colonial 6" x 8" (1600-1700)
- Georgian 8" x 10" (1700-1800)
- Federal 8" x 10", 11" x 14", 11" x 16" (1780-1820)
- Greek Revival 11" x 16", 11" x 18", 12" x 20" (1820-1860)

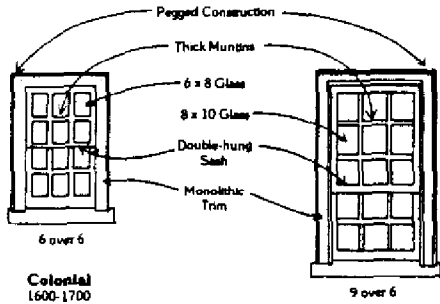
Early window casing was usually planed out of one piece; built-up moldings became commonplace in the Federal period and were virtually standardized by the end of the 19th century.

Typically, there was a wider range of sizes available in any given period, so the above summary should not be considered to be without exception. It is generally the case, however, that windows in any given period were proportioned so that the width was roughly 3/4 that of the height.

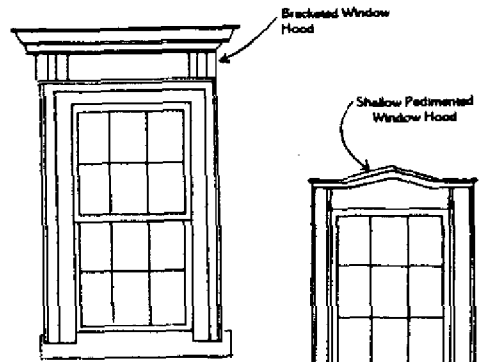
The following Design Guidelines should provide information relevant to deliberations of the Historic District Commission when considering applications for Architectural Review Certification in the Dover Historic District zone in which existing windows are affected.

Recommended

- Repairing existing historic windows with in-kind materials is always preferable to replacing windows.
- When existing historic windows are irreparable, replacement windows should replicate as closely as possible existing historic window details, including pane configuration and muntin, mullion, casing and trim profiles.
- Replacement windows should have the same operating characteristics as the original windows (i.e., double-hung windows should replace double-hung windows, casement windows should replace casement windows, etc.).
- Use only clear glass in existing historic or replacement windows.
- Window opening sizes and shapes should not be changed to accommodate replacement windows.

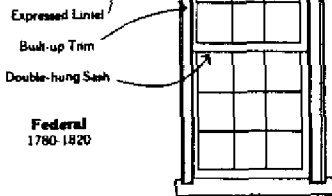
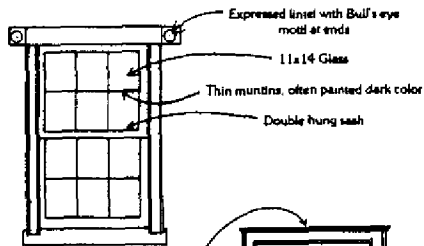


Colonial
1600-1700

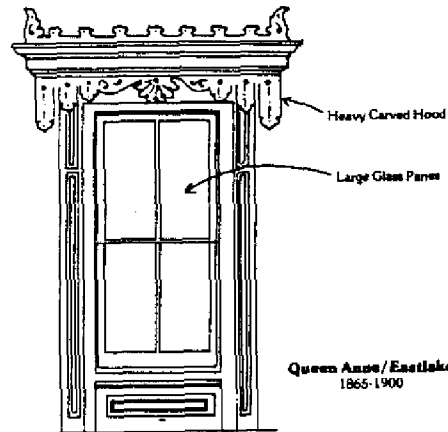
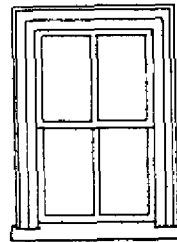


Tall, Thin 1st
Floor Window

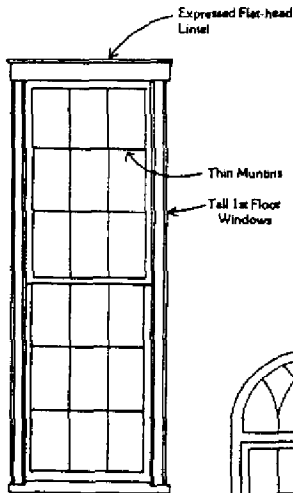
Italianate
1840-80



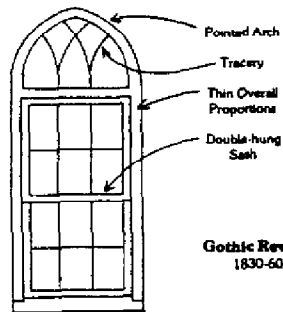
Federal
1780-1820



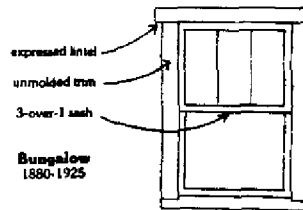
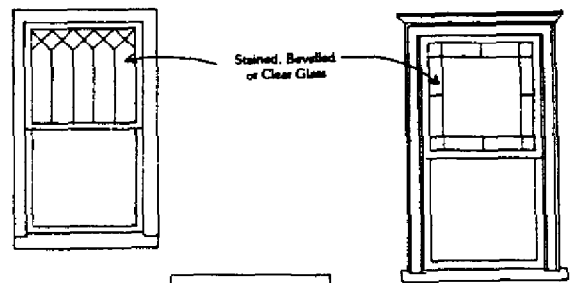
Queen Anne/ Eastlake
1865-1900



Greek Revival
1820-60

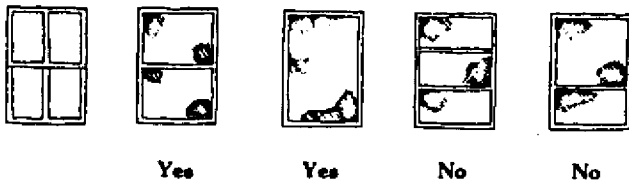


Gothic Revival
1830-60



Bungalow
1880-1925

- Historic stained or leaded glass should be repaired or restored. This work should be accomplished by a trained leaded glass artisan, using the gentlest means possible. If leaded glass panels are irreparable, and if restoration is not possible, they should be removed and stored in a manner that will allow future restoration.
- The rails of window screens and storm windows should match the rails of windows behind.



Window

Screens

- New awnings should be attached in a manner that does not harm the existing building and should be of fabric and not of rigid material.

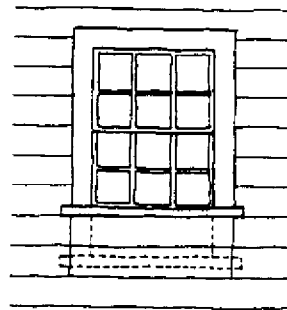
Not Recommended

- Replacing windows that are restorable is not recommended.
- Air conditioners should not be inserted in windows on the primary facade of buildings in the Dover Historic District zone.

Inappropriate

- Window opening sizes and shapes should not be changed to accommodate replacement windows or

to accommodate new interior furnishings or cabinetry.



Inappropriate Altering of Window Opening

- Contemporary picture windows are inappropriate in the Dover Historic District zone on buildings built before 1940.
- False muntins for divided lite wood windows are inappropriate. They are easily detectable from a distance.
- Smoked, tinted or reflective glass is inappropriate in existing historic or replacement windows.
- Slider windows are inappropriate.

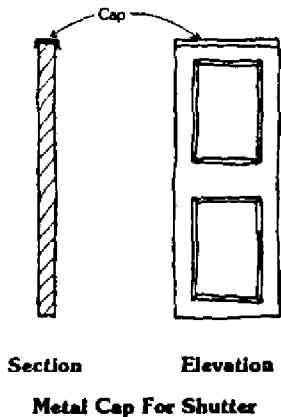
Shutters

Wood shutters are quite common on houses in the Victorian and Green historic contexts. Although few people presently put them to their intended use, their original purpose was to provide security and privacy, to permit ventilation while keeping rain and sunlight out, and acting as storm sash during heavy rains. Presently, shutters are most often fixed in place and serve as attractive elements in the designs of the facades of the residences of the Dover Historic District zone.

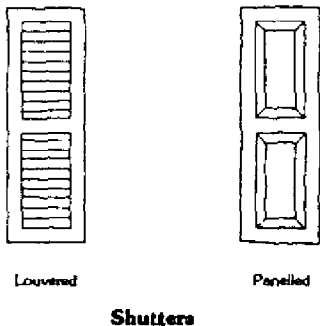
The following guidelines pertain to shutters on buildings in the Dover Historic District zone.

Recommended

- Shutters should be repaired in-kind. If shutters are irreparable, replacement shutters should match existing.
- Shutters should be made of wood and painted for protection. A non-obtrusive metal cap along the top edge will dramatically increase the longevity of the shutter.



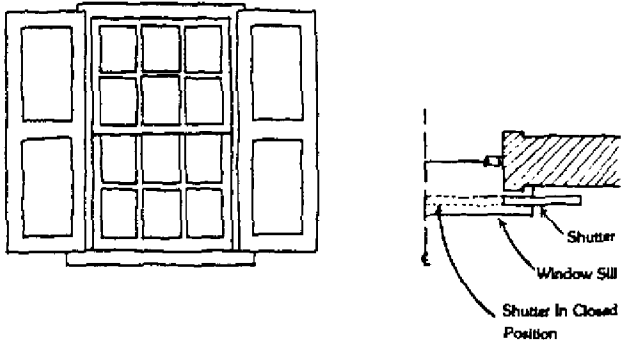
- Louvered or paneled wood shutters are appropriate (typically paneled shutters were used only on lower floors, for security reasons).



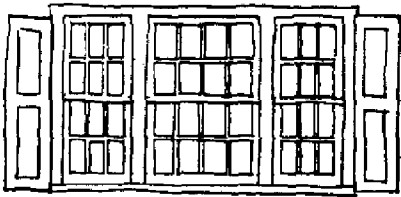
- Shutters should operate or at least give the appearance of being operable.

Inappropriate

- Shutters that are too narrow or too short to completely cover the window in a closed position are inappropriate.
- Vinyl and aluminum shutters are inappropriate.
- It is inappropriate to hang shutters in a location that fails to allow, or give the appearance of allowing, them to close completely over the window. Proper installation will entail partially covering the vertical window trim with the shutter.



Appropriately Proportioned And Installed Shutters



Inappropriately Proportioned And Hung Shutters

Roofing

There are a variety of historic roofing materials in the Dover Historic District zone: slate and cedar shingles, and metal roofing

including copper and tin. Asphalt and fiberglass shingles and cement shakes are non-historic materials that are also prevalent. It should be noted that roofing material is a wearing surface whose lifetime is finite and that various roofing materials have various lifetimes. A slate roof may be viable for more than 100 years. Cedar shingles can last 50 years. A good copper roof can last 60 years. It is unusual for historic buildings to retain their original roofs. There are, however, several basic steps that can be taken to prolong the lifetime of existing and new roofs.

The following guidelines should inform decisions regarding applications for Certificates of Architectural Review for roof work on buildings within the Dover Historic District zone.

Recommended

- Whenever possible, retain and repair historic roofing material in-kind and to match existing, whether original to the building or not. Reuse or replace in-kind historic decorative elements.
- Replacement roof materials should match those existing or verifiable historic conditions. Substitute materials are best limited to non-conspicuous roof areas.
- Flat seam and standing seam metal roofs are appropriate treatments for the replacement of existing non-repairable historic metal roofs.
- Appropriate metal roofing material includes copper, lead-coated copper, terne-coated stainless steel, and terne metal. Painted metal roofs are also appropriate, but the paint used must be

compatible with the metal roof. Colors should be limited to traditional roof colors such as red and green.

- Leave exposed eaves open and uncovered.
- When replacing non-repairable and/or non-historic roofing of any kind, existing roofing material should be removed. This will assist in prolonging the life of the replacement roof and will maintain the thickness of the roof edge and thus minimize the effect on the proportions of the facade.
- Maintain historic roof forms. New dormers and skylights should be limited to the rear slopes of buildings.
- Skylights on rear facades should have minimal curbs and flat glass. Dormers on rear facades should be appropriately scaled to maintain the dominance of the form of the existing roof.
- If a slate roof is beyond repair, there are several materials available that are slate substitutes. Of these, cement tiles are recommended. The owner should verify that the roof structure can support the weight of the cement tiles.
- Metal roofing should be installed in accordance with the recommendations of the Sheet Metal and Air Conditioning Contractors' National Association, Inc., 8224 Old Courthouse Road, Vienna, Virginia, (703) 790-9890. These recommendations pertain especially to flashing details at roof edges and intersections.

Not Recommended

- Asphalt, fiberglass and composition shingles are not recommended for existing historic buildings. When used, they should be monochromatic and a muted color to lessen their visual impact.
- Do not apply asphalt shingles over wood shingles. This will entrap moisture and accelerate the deterioration of the roof and roof structure.
- Do not place lath over existing asphalt to provide a nailing surface for new wood shingles. This will increase the thickness of the roof and entrap moisture.
- Pre-formed metal roofing panel systems are not recommended for historic buildings. The width of the cap and trim pieces are intended for large-scale commercial applications and appear thick and heavy and out of character with the massing of historic buildings.
- It is not recommended that a new roof be installed over an existing roof. Layering old and new roofing accelerates the deterioration of the new roof, and traps moisture that may accelerate the deterioration of the roof structure. It also visually thickens the roof and roof edge.

Inappropriate

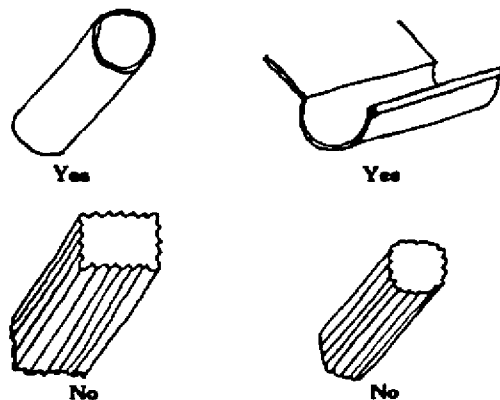
- It is inappropriate to remove historic decorative elements such as roof cresting or finials.
- It is inappropriate to change historic roof forms. New dormers and skylights should not appear on front or side roof slopes.

Flashing, Gutters and Down Spouts

The following guidelines should facilitate decisions regarding applications for architectural review certification for buildings within the Dover Historic District zone.

Recommended

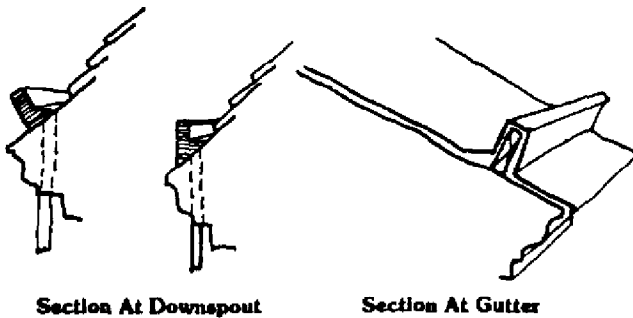
- Use 1/2-round or plain rectangular sheet metal gutters and plain round Down spouts. Metal may be copper, lead coated copper, terne coated stainless steel, terne metal, or aluminum.



Gutters And Downspouts

- Pole gutters and built-in gutters are often the original roofing condition,

especially on older structures, and therefore are recommended. These have the advantage of being historically compatible and are visibly less obtrusive than hung gutters. Some exploration will be required to determine the original gutter condition.



Section At Downspout

Section At Gutter

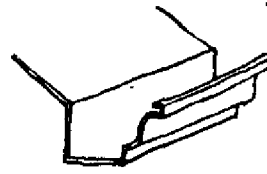
Pole Gutter

Not Recommended

- Extensive areas of visible metal flashing should be avoided. In some masonry and stucco conditions, metal flashing may be covered over by mortar or stucco.
- Galvanized steel gutters and Down spouts are not recommended as they rust and deteriorate quickly. The rust will stain adjacent surfaces. If used, galvanized steel gutters should be allowed to weather prior to the application of rust-inhibiting paint.

Inappropriate

- Corrugated Down spouts are inappropriate in the Dover Historic District zone.
- Architectural "K" style gutters are inappropriate in the Dover Historic District zone.



Inappropriate
"Architectural" Gutter

- Vinyl gutters and Down spouts are inappropriate for use in the Dover Historic District zone. Their life expectancy is short and their lower initial installation cost does not represent a long-term savings.

Walls: Masonry

Masonry has been used from the earliest period of building in Dover. Masonry is a strong, durable and attractive material that requires little maintenance. Brick, as found in the Ridgely House and the Old State House, has come to represent stability and is today the material of choice to represent the durability of government institutions, as at Legislative Hall, as well as private institutions such as the Bank of Delaware. Brick is the oldest and best preserved building material in the Dover Historic District zone. The inherent durability of masonry construction is dependent upon appropriate maintenance and repair methods.

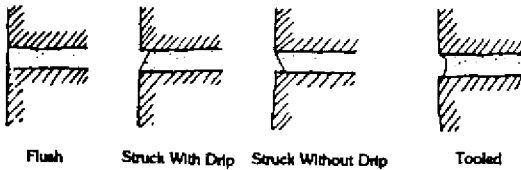
Guidelines for the repair, maintenance, restoration or rehabilitation of exterior masonry are as follows:

Recommended

- Where repointing is proposed, the mortar used for repointing should be equivalent to or softer than the original mortar in the masonry joints. To determine the composition for equivalent mortar, it is necessary to

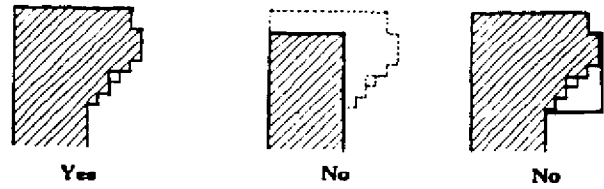
perform laboratory analysis of the mortar. In the absence of such analysis, a high lime content and low Portland cement content mortar will usually be compatible with most historic masonry. If Portland cement is to be included in the mortar mix to increase workability, no more than 20% of the combined total volume of lime and Portland cement should be Portland cement.

- In addition, repointed mortar joints should match the appearance, color, texture, joint size and tooling of the original or historic repointing, whichever predominates.



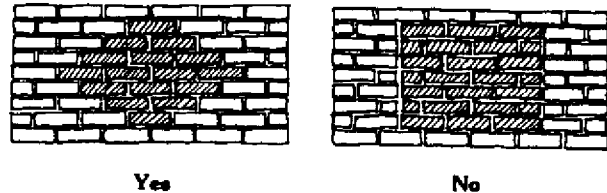
Masonry Mortar Joints

- Deteriorated and loose mortar should be removed manually, using non-mechanized hand tools, in order to minimize damage to surrounding masonry work. Remove mortar to a depth of 3/4" or equal to the width of the mortar joint, whichever is more.
- Pay particular attention to masonry and trim detailing on the facades of residences and commercial buildings. If rebuilding is required, full photographic and dimensional documentation should precede it. Projecting and decorative cornices should be retained and repaired in-kind, if possible, or replicated in-kind. They should neither be removed nor covered up.



Treatment Of Brick Cornice (Section View)

- Clean masonry using the gentlest means possible; often a prolonged saturation followed by brushing with bristle brushes will be sufficient.
- When replacement of an area of brick in a brick wall is required, that area should match the existing brick in bonding pattern, decorative pattern, coursing, color, size, strength, pointing and mortar, and should be toothed or keyed to existing brickwork. Replacement brick should never be substantially stronger than the existing.



Brick Replacement

- Prior to rebuilding any masonry wall, foundation or chimney, carefully document the structure by photography and actual measurement to facilitate accurate duplication. Reuse as many bricks as possible.
- Install sloping mortar wash surfaces at the tops of chimneys to protect the chimney walls.
- If a chimney cap is required, a stone or terra cotta cap is recommended.

Not Recommended

- Metal chimney caps generally are not recommended, especially on 18th and early 19th century chimneys. They are primarily mid-20th century developments.

Inappropriate

- Do not sandblast masonry for any reason.
- Do not change the size or tooling profile of the mortar joint when repointing brick.
- Prior to repointing, do not remove existing mortar with power equipment. Remove existing mortar using hand tools narrower than the width of the masonry joint.
- Do not use modern "antiqued" brick for new construction. It is too regular in its contrived variability, and easily distinguished by the discriminating eye.
- "Over cleaning" of brick with harsh chemicals and/or excessive water pressure will do more harm than good to the brick.
- Do not use masonry sealer, which traps moisture inside masonry walls, preventing them from breathing.

Walls: Wood Siding and Trim

Wood siding is the "skin" of a building. Its purpose is to shed water quickly and

thoroughly, thus preventing decay of the underlying structure and the deterioration of interior finishes, and to deflect sunlight and wind. Siding also plays an important visual role in establishing the scale of the building. Each clapboard or shingle casts a shadow line, adding some visual depth to the wall surface, while the size of the clapboard or shingle visually affects the mass and proportions of each building.

Directly associated with the wood siding, and with masonry as well, is the exterior trim of the building. Wood trim serves a critical visual purpose by providing architectural ornament and a functional purpose by sealing the structure at vulnerable locations. Corner boards, fascia boards, window caps and trim, architraves, and cornices are examples of trim elements that protect critical joints of a building from exposure.

The following guidelines for the repair, maintenance, restoration or rehabilitation of wood siding and trim are as follows:

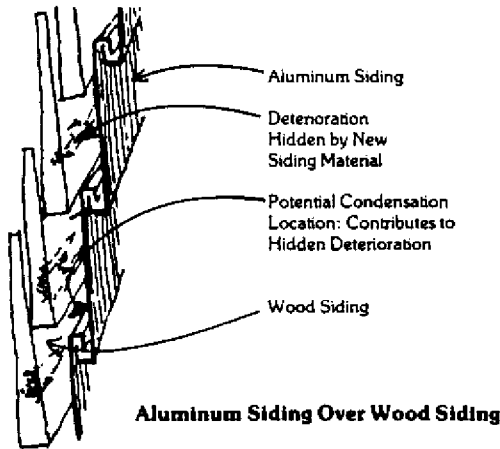
Recommended

- All siding and trim should be retained and repaired. For areas of partial deterioration, techniques utilizing in-kind and visually matching patches are preferable to total replacement, in the interest of retaining as much historic material as possible.
- If siding is severely deteriorated and re-siding is proposed, it should be done with horizontal siding or cedar shingles to match existing. Vertical siding is a more modern intrusion and would be more appropriate to secondary structures such as sheds and outbuildings.

- Existing historic asphalt shingle siding should be repaired and replaced in-kind, where it is character defining.
- All wood siding and trim should be painted.

Not Recommended

- Aluminum siding is not recommended for use on new or existing buildings in the Victorian historic context of the Dover Historic District zone, for reasons that have to do with its potentially destructive tendency to hide deterioration and to trap moisture against the existing wood siding. It also has a significant negative visual impact, in that it conceals historic fabric.



When it is proposed for use on existing buildings, steps should be taken to minimize its impact, such as:

Retain and leave exposed the wood trim at windows, doors and corners. Siding should butt the trim. This may require the removal and furring out of existing trim, in order to be in the correct plane in relation to the siding. This work should be accomplished in a

manner that will not damage existing trim.

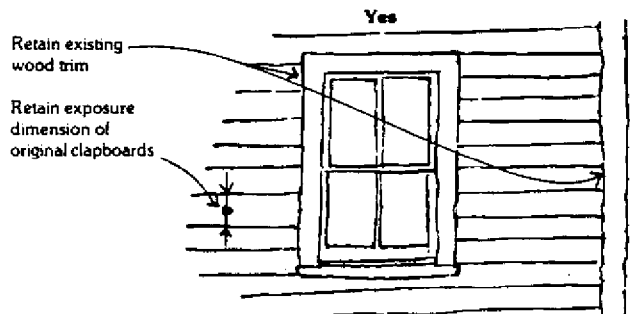
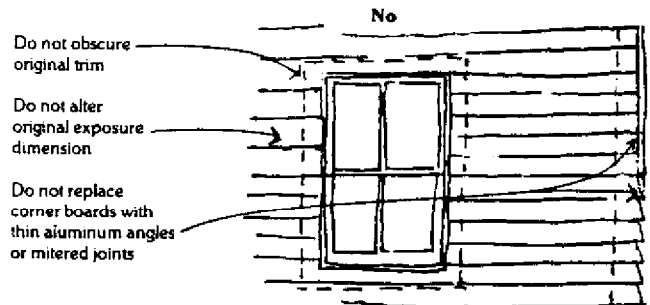
Retain and leave exposed decorative elements such as brackets, spindle work, cornices, etc.

If corner boards cannot be retained, use an aluminum corner that duplicates the width of the original corner board.

Do not use pastel or "ranch house" colors.

Match the width of the original wood siding; i.e. 4" exposure wood siding should be covered with 4" exposure aluminum siding.

Maintain constant ventilation to the inside surface of the aluminum siding. The effects of the condensation that will otherwise result will be prolonged, serious and invisible.



Aluminum Siding Installation

- Vinyl siding is not recommended for use in the Victorian Historic context of the Dover Historic District zone. Its

sheen is noticeable and it is nearly impossible to install without covering up or obliterating original architectural details. Its seams are visible, it tends to warp and deflect with changes in temperature, and its color will fade noticeably over time. It also traps and hides potentially damaging moisture within the walls of the house.

If it is proposed for use, certain steps must be taken to mitigate its effects:

Vinyl siding should be installed to allow ventilation to occur between it and the underlayment below.

Vinyl siding that is embossed with artificial wood grain should not be used.

Existing details at corners, windows, doors, eaves and elsewhere should not be covered over and in no case should they be removed or altered.

Match the width of the original wood siding.

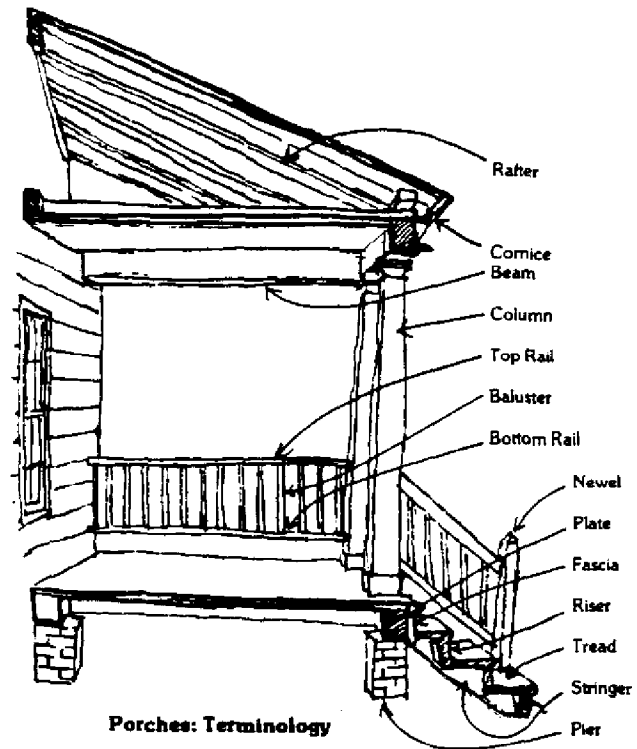
Inappropriate

- Vinyl siding is inappropriate for use on existing buildings in the Green and Commercial historic contexts and in the Capitol Square context of the District. Its sheen finish and artificial wood grain are easily visible. Details and installation are difficult to make compatible with the historic character of these contexts within the Dover Historic District zone.
- Wavy-edged shingles are inappropriate.

- Textured plywood (T-111) vertical siding should not be used on primary structures within the Dover Historic District zone.

Porches and Steps

Porches are critical architectural elements on many of the residential streets in the Dover Historic District zone. The porch is a unique outdoor living area that belongs to the house but partakes in the life of the street. The full extent of its lightweight structure and fine detailing is fully exposed to the weather, requiring the maintenance and repair of porches to be a constant process. The proper design of porches entails more than the correct architectural elements, proportions and materials, and includes proper construction detailing. This is true for all porches, whether they are historic or part of new construction.



Porches: Terminology

Steps nearly always extend beyond the roof line of buildings or porches and are thus exposed to the weather even more than porches. Steps are an important part of the streetscape, setting up rhythm and regularity. Proper detailing is as important to the correct design of steps as is the use of appropriate materials and style.

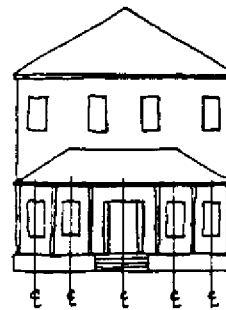
The following guidelines should assist with recommendations of the Historic District Commission when considering applications for Certificates for Architectural Review in the Dover Historic District zone in which porches are affected or proposed:

Recommended

- Retain as much existing historic porch fabric as possible. Repair with in-kind materials, almost always wood, with profiles to match existing as nearly as possible.
- The porch floor should be even with or a maximum of one-step below the corresponding floor of the house, unless historic conditions suggest differently.
- Porch ceilings should be the same height as that of adjacent interior rooms. Porches with exposed rafters and deck should not have ceilings installed. When re-roofing, nails should not be visible below the underside of the deck.
- It is appropriate to construct a porch on a house that historically had a porch that has been subsequently removed. The design of the new porch should be carefully researched. If photographic or other good historic documentation is

available, it should serve as a literal model for the new porch. If no such documentary evidence is available, the new porch should be of a contemporary design that is compatible and complementary to the existing building, and consistent with the design of porches typical to the period of the house. New porches should not be built to look 'old' when no evidence exists for the original porch design.

- For new porches on houses where documentary evidence for a historic porch is not available, the rhythm of the porch bays, as established by the regularity of columns and openings, should match that of the solids and voids of the house behind.

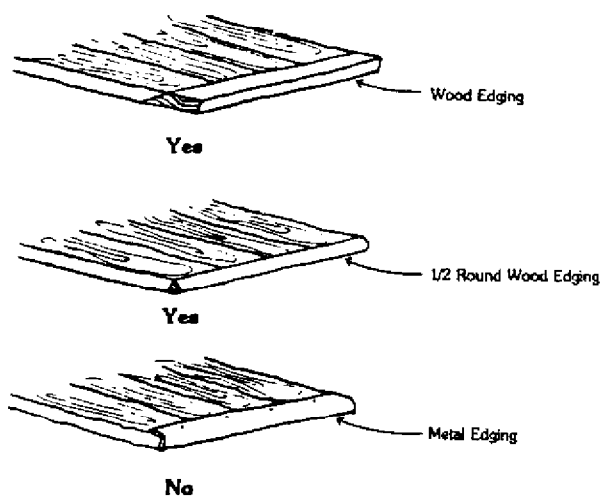


Rhythm Of Porch
And House Bays

- For new porches on houses where documentary evidence for a historic porch is not available, the height of the bottom of the porch fascia board should be at or very near the height of the window head of the house. This will vary slightly because of the rich variety of Dover porches. The intention of this guideline is to prevent inappropriately proportioned porches. The design of fascia boards should be appropriate to the style of the house.
- All visible porch components should be painted wood, unless there is historic precedent for the use of

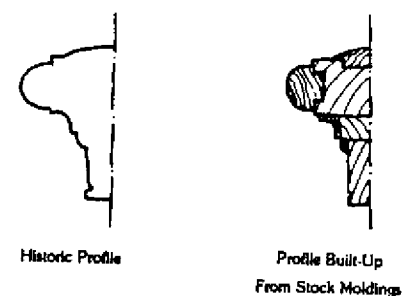
weathering wood such as cedar. Because of the amount of exposure to which wood porch components are subject, all painted parts should be "back-primed;" i.e., prime-painted on their concealed surfaces to discourage deterioration from moisture penetration.

- For new porches on houses where documentary evidence for a historic porch is not available, the porch should be at least 6' deep to allow comfortable seating. Maximum depths of porches are a function of the overall height of the house or porch ceiling.
- Leave open the spaces between porch piers so that ventilation can occur beneath the porch. This is best done using painted wood lattice or grillage.



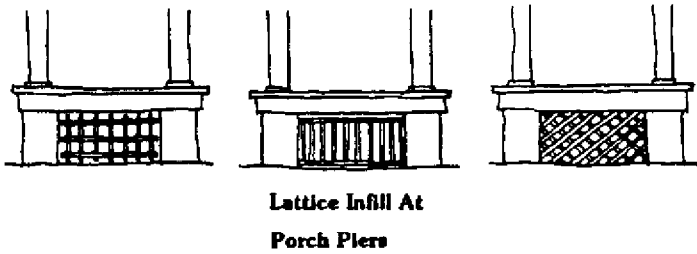
Porch Floor Edge

- Replacement porch railings should match existing as closely as possible. If a historic railing profile is not available, often a good replica may be constructed of a number of commonly available moldings.



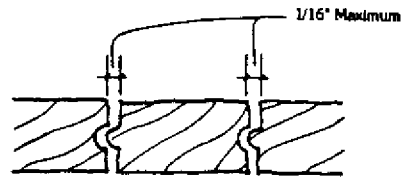
Replacement Porch Railings

- Porch columns should be retained or replaced in-kind, if beyond repair.
- For enclosures of side porches that are visible from the street, new construction should be placed behind the existing column and balustrade so as not to obscure existing architectural elements. The walls of the enclosure should reflect the massing, the relationship of solid-to-void, of the



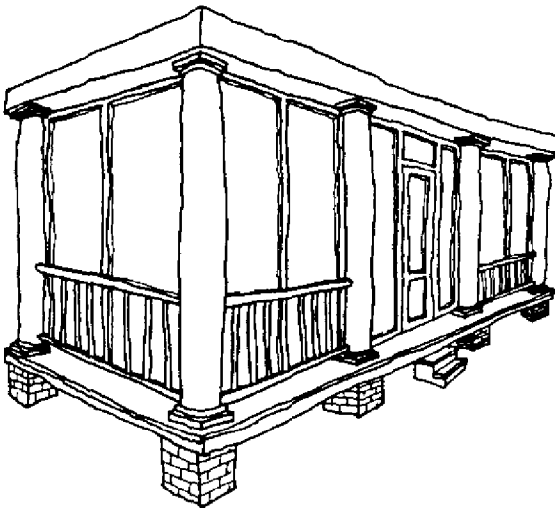
Lattice Infill At Porch Piers

- Replacement porch flooring should match existing tongue and groove flooring with 1/16" maximum gap between boards to allow for expansion. Wood edging should be applied to the exposed ends of floorboards.

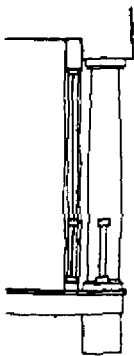


Tongue And Groove Flooring With Gap For Expansion

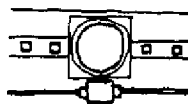
porch itself. This will require porch enclosures to have a large amount of glass. The wood framing of new porch enclosures should be painted a matte finish, a dark color compatible with the glass or screens. The color of the rest of the enclosure should contrast with the color of the original porch, to maintain the distinction between original and new construction.



Perspective View



Section



Plan

Details For Appropriate
Porch Enclosure

Not Recommended

- Use of composition and plastic moldings is not recommended.

Inappropriate

- It is inappropriate to add porches to the primary facades of historic structures that never had porches.
- It is inappropriate to remove the floor and framing of porches, leaving only the roof standing on columns.
- It is inappropriate to enclose porches on primary facades.
- It is inappropriate to use substitute materials, wrought iron piers should not be used in place of brick or wood columns.
- It is inappropriate to enclose the space between porch piers with continuous wood or masonry. This will discourage ventilation from occurring beneath the porch, hastening deterioration from moisture.
- It is inappropriate to add ornament to a porch from a style that is different from the house itself, unless there is historic precedent for it.
- Two-inch-thick boards are inappropriate for porch floors.
- Unpainted wood is inappropriate for use on porches in the Dover Historic District zone.

- It is inappropriate to replace porch columns with columns of an architectural order or character that is not compatible with the house.
- It is inappropriate to install a porch ceiling where none existed. The exposed rafters and deck are a part of the architectural expression of the porch. Care should be taken when re-roofing to use nails short enough not to protrude below the ceiling boards.

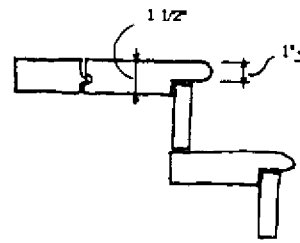
Steps

The prevalent materials of existing steps in the Dover Historic District zone are wood and brick. A few of the houses in the Green historic context and several of the government buildings and larger commercial buildings feature stone steps and stoops.

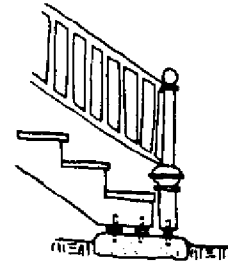
The following are guidelines that should assist with recommendations of the Historic District Commission when considering applications for Certificates of Architectural Review in the Dover Historic District zone in which steps are affected or proposed:

Recommended

- Wood steps should be retained or repaired in-kind. If replacement is unavoidable, it should be carried out by using wood of size, species and profile to match existing. Wood steps should be painted.
- If 2" lumber is used for treads on wood steps, the leading edge of the tread should be reduced to visually "lighten" the tread.



Detail For Reducing
Tread And Porch Floor
Edge Thickness



Stone Plinth For Wood Steps

- Wood steps and posts should not come in contact with the ground but should land on a stone or concrete plinth.
- Brick steps should be retained or repaired in-kind. In the residential context, brick steps may be a replacement for earlier wood steps. Thus, where brick steps are not integral to the design of the porch or house, wood steps may replace brick steps, but should be designed simply.
- Stone steps should be retained and repaired in-kind. Patching of existing stone steps should be of material to match existing. A concrete patch, tinted to match adjacent stone, is acceptable. If replacement is required, stone should be used.

Inappropriate

- Replacing wood steps with brick steps is inappropriate, unless there is historic precedent for it.
- Replacing historic stone steps is inappropriate unless the stone itself is unusable. Repairing stone steps is often a matter of re-setting existing

stone steps on a firm foundation with new mortar or sealant joints.

- Brick steps should not be sandblasted. Sealant should not be applied to mortar joints, as it will seal moisture within the brickwork.

Painting

Paint is the final layer of finish applied to a building's exterior. It plays an absolutely critical role in the appearance of a building and in protecting the building from rain, snow and sunlight. It is a sacrificial layer, requiring re-application every 5-10 years. As such, paint colors are also the aspects of a building's design that are the most subject to changes in taste over time. It is not unusual for a 100 year old building to have a paint build-up of 10 or more colors, several of which may be considered 'historic.' It is therefore difficult to prescribe paint colors rigidly.

Changes in tastes in color generally accompanied changes in architectural style, and so it is often most appropriate to paint a historic building in its original color scheme. The only way to be certain regarding original paint colors is to undertake a paint seriation study. This must be undertaken by specialists as it involves examining a cross section of paint chips under special light conditions to ascertain the specific color, hue and value of a paint layer.

The following guidelines are intended to give property owners some assistance in deciding upon an appropriate color scheme for their building. It should be understood that there is a great deal of overlap between specific architectural styles and specific paint schemes, and these brief guidelines are by no means a

substitution for paint seriation analysis. It should be further noted that the dates attributed to the architectural styles below are as suggested in A Field Guide to American Architecture (Rifkind, 1980); dates associated with particular styles may tend to be later in Dover.

Federal and Greek Revival (1780-1860).

These architectural styles used a combination of light and intense colors to evoke the marble buildings from which their designs took their inspiration. The most popular scheme was white trim and siding with dark green shutters.

Gothic and Italianate (1840-1880). Wood was again painted to match its masonry predecessors. Softer earth tones were employed for Italianate buildings while Gothic buildings were often gray. Trim was painted in a contrasting shade of the basic colors such as drab browns, grays and fawns.

Second Empire (1860-1900). Similar to the Italianate style, Second Empire buildings were often painted to match masonry predecessors, usually softer earth tones. Trim was painted in contrasting colors, but somewhat bolder and darker colors. Occasionally, this theme was abandoned, and Second Empire buildings were painted in bold colors with lively contrast between the siding and the trim, which could be highlighted using two or even three colors.

Queen Anne (1865-1900). This style introduced increased boldness, liveliness and contrast both in architectural style and color. There was a great deal of variety. Several colors might appear on the same building, with trim being two colors and different volumes of the structure expressed with different colors. Often, different colors were used to articulate each story of a house.

Victorian Commercial (1870-1920). Although colors varied, dark hues such as forest green were predominant. On brick buildings, painting was limited to the wood trim and metal components that are often the ornamental features of the facade.

Colonial Revival (1900-1920). Colors returned to the white siding and green shutter paint schemes of the Greek Revival period.

Bungalow (1880-1925). Colors were still used to express the various parts of the structure, but they were less bold, darker versions of the earlier Italianate and Gothic styles.

Because of ongoing refinements and improvements in modern paint formulas, the difference in quality and longevity between oil-based and latex exterior paints has become minimal. It is still the case that latex may be applied over oil-based paints but the reverse is not true. Once latex paint is applied to a building, it must be stripped before oil-based paint can be applied satisfactorily. Both latex and oil-based paints are recommended in the Dover Historic District zone.

Energy Conservation and Heating, Cooling and Electrical Systems

It is the contention of these guidelines that historic preservation and energy conservation are completely compatible and mutually supportive. Moreover, some non-historic energy conservation innovations, such as storm windows and batt insulation, may be sympathetically incorporated in both historic buildings and new construction in the Dover Historic District zone.

Mechanical, electrical and communication systems are non-historic, though essential,

additions to the Dover Historic District zone. As such, they should be hidden or screened from view. Their undisguised presence is inappropriate.

The following guidelines should be considered in permit applications involving energy conservation measures and/or mechanical/electrical systems for buildings within the Dover Historic District zone.

Recommended

- Where increased thermal performance is required of existing windows, install interior thermal storm windows within existing openings. Allow for air circulation between the windows to prevent the build-up of condensation that will accelerate the deterioration of historic wood windows. Match the color of the existing window as well as the opening size and overall design. Metal thermal sash is recommended for metal windows, and wood, PVC or vinyl thermal sash is recommended for wood windows.
- Exterior storm windows are recommended. They should have slender frames and meeting rails that align with the historic windows behind, and should be painted to match the adjacent window frame.
- All glass in any window should be clear glass rather than tinted or reflective.
- Awnings are more appropriate in the commercial historic context and especially on Queen Anne and Bungalow style houses. These should be of canvas, and may be colored or

striped. Their shape should be simple, to conform to the configuration of the window.

- Air conditioning equipment should be screened by plantings, lattice, or brickwork, so as not to be visible from the street.
- All mechanical equipment, including TV antennas and satellite dishes, should be located so as not to be visible from the street. Where possible, consolidate several antennae on any one building into one antenna. If necessary, sight-line studies should be performed to assist in the selection of unobtrusive locations for such equipment.
- Roof-top solar panels should be located so as not to be visible from the street.

Not Recommended

- Replacement windows are not recommended for the purposes of energy conservation. Interior storm windows are more effective in conserving energy, and permit the historic wood windows to remain in place.
- The addition of aluminum and vinyl siding to existing structures is not recommended as an energy conservation strategy. In addition to the loss of historic character and features, the application of siding prevents inspection of underlying historic fabric, thus concealing the early indicators of what may be serious

deterioration due to moisture or insects.

Also, there is a great deal of controversy as to whether siding is in fact an effective insulator. A study performed by the U.S. Department of Housing and Urban Development in Providence, Rhode Island, showed an energy conservation related payback period of 30 years for aluminum siding, while the payback for storm doors, storm windows, and attic insulation was 4.5 years. For strategies for mitigating the damage caused by adding aluminum and vinyl siding to a historic structure, see "Wood Siding and Trim," above.

Inappropriate

- Do not add vestibules to the exterior of the house, unless there is historic precedent for a vestibule. The expense of the construction will probably not be recovered through energy savings, and the addition to the entrance facade will significantly alter the building's character, proportions and massing.
- Modern aluminum doors and storm doors are historically inappropriate and do much harm to the character of historic houses.

Preservation Recommendations

In addition to the above guidelines, the following recommendations are intended to serve as reminders of general considerations that should be brought to bear on the evaluation of proposed treatment of visible

energy conservation measures on structures within the Dover Historic District zone.

- Apply weather-stripping between windows and frames and doors and frames. Paint all metal weather-stripping to match windows, doors, and frames.
- Shutters should remain operable.
- Provide attic insulation. Provide an attic vent 1/300 the area of the attic. Install batt insulation with the vapor barrier face down between the floor joists in unheated attics. The vapor barrier should always be installed closest to the occupied space to prevent water vapor from passing through to unheated surfaces, where it will condense, resulting in moisture build-up. "Blow-in" insulation is appropriate for attic insulation.
- Insulate first floor at basement and crawl spaces. Install vapor barrier up, directly underneath floor boards. The vapor barrier should always be installed closest to the occupied space to prevent water vapor from passing through to unheated surfaces, where it will condense, resulting in moisture build-up. "Blow-in" insulation is appropriate for crawl space insulation.
- Whenever possible, relocate overhead wiring underground. Locate meters and exterior wiring on rear facades.
- Install caulking at joints that have opened up between siding and trim, and elsewhere on exterior.

- Do not add wall insulation to the air spaces within the exterior walls of wood frame construction. This will alter the ability of water vapor to pass in and out of the wall. This, combined with the susceptibility to condensation of wood frame construction, has the potential to cause irreversible damage to the walls as well as damage to historic fabric due to holes cut in historic siding and interior plaster during installation.
- Do not add insulation to masonry cavity walls. These walls have inherent insulation value and the elimination of the air cavity may cause condensation to form. It is also expensive.
- Interior storm windows, caulking, and weather-stripping will contribute significantly to the conservation of energy in historic buildings.

Landscaping and Site Amenities

Introduction

The image of each building in the Dover Historic District zone is in large part a function of the treatment of its immediate surroundings. Plantings and site amenities such as fences, retaining walls, paving and light fixtures provide the setting for individual buildings while helping to define the character of the District.

In addition to providing the setting for individual buildings, landscaping and site amenities also help define the relationship between structures. The overall relationship of structures in the Dover Historic District

zone is one of civility and sociability. Houses are sited with porches close enough to the street to permit and encourage conversation with passers-by. Landscape and site amenities should thus be low enough and transparent enough to permit and encourage this sociability.

It should be noted that in certain areas of the Dover Historic District zone there is a likelihood that excavation for landscaping and site amenities may involve archeological resources. The Planning Commission and applicants should be cognizant of the potential impact of excavating in archeologically sensitive areas.

The following design guidelines apply to all planting in the Dover Historic District zone.

Recommended

- Unless a deliberate contrast is desired, select and locate plant material so as to accent and enhance significant architectural forms, rather than to obscure them.
- Consider the "texture" of a plant, its branch structure and degree of transparency. Consider also its "habit," its form, be it round, columnar, or horizontal, etc.
- Combine finely textured, airy plants with fine architectural detail such as wood porches, and dense, coarse-textured plants with massive construction such as solid brick. Columnar plants complement vertical elements such as porch columns while lower rounded forms complement foundation features.
- Plantings at the perimeter of foundations should express or at least not obscure the rhythm of the building itself. Continuous foundation planting did not become popular until the early twentieth century, and was especially favored in the Colonial Revival and Bungalow styles.
- Select and locate plant material according to site conditions of sun, shade, soil, and adjacent plant material.
- Select plant material according to its mature size, to allow for the long-term impact of the mature plant.
- Select plant species appropriate to the climate and growing conditions of Dover.
- Every effort should be made to save large trees.
- Where planting to screen or complement masonry walls, provide a wire or wood frame for the vine or plant to cling to. This technique is known as "espalier."
- Do not "over plant." Allowing for the mature size of trees and shrubs is critical.
- Provide enough space between buildings and plantings that the structure will not be 'crowded.'

Not Recommended

It should be noted that without the advantage of either physical remains or documentary evidence, "historic" garden design is highly

speculative. As a rule the design of formal gardens should be as simple as possible, concentrating on location and groupings of planting material. In the absence of strong historic evidence, the introduction of paved garden walks, beds raised with retaining walls, and garden structures such as gazebos, pergolas, and arbors are not recommended.

- Continuous foundation planting is inappropriate for all architectural styles in Dover, except those of the Colonial Revival and Bungalow styles.

Preservation Recommendations

- Provide adequate drainage away from structures on the site.
- Do not permit plant material to destroy architectural fabric. Ground cover and vines that have grown on masonry walls may be accelerating the deterioration of the masonry. (See discussion of "espalier" technique, above.)

Fencing and Walls

Generally, site fences and walls in the Dover Historic District zone should not exceed 4'-0" in height. The following design guidelines should be considered in permit applications in which fencing and walls would be affected.

Recommended

- Wood picket fences of a wide range of designs are appropriate in the Dover Historic District zone.

- Cast iron fencing is appropriate for new fences. Existing cast iron fencing should be repaired or replaced in-kind. New cast iron fencing should be of relatively simple design; a typical earlier design was three horizontal bars with intermittent supporting posts and decorative pickets, with ornamentation at corners, gates, and picket tops.
- Wire fencing is inexpensive and easy to install. This fencing material is appropriate for more modest residences. It should be used as a plant support at property borders, and not left unadorned.

Not Recommended

- Chain link fencing is unattractive and suggestive of exclusion and confinement, and is not recommended for use in the Dover Historic District zone. Where it exists, it may be successfully planted out by encouraging vines to trail across and through it. Where a new installation is proposed it should be limited to side and rear yards. At side yards, chain link fence should not be placed forward of the front of the house. At corner properties, chain link fence should not be installed along either street frontage.
- Woven wood fencing and opaque wood fencing and any modern or "fancy" style fence is not recommended.
- Unpainted wood fences, whether made of treated lumber or not, are not recommended.

Inappropriate

- Concrete walls are inappropriate as a fencing material in the Dover Historic District zone and should be prohibited. Existing concrete walls should be stuccoed and painted, while "decorative" masonry screens should be painted black-green.

Paving and Bordering

The paving along or within the perimeter of a property provides the connection between the front door and the street. Providing the "carpet" to the door, it should be as graceful as the rest of the yard.

Recommended

- Brick, gravel, and compressed earth paths are appropriate for domestic walks and garden paths.
- Brick paving should be dry-laid in one of several patterns.



Brick Paving Patterns

- Concrete walks are acceptable in the Dover Historic District zone.
- Glazed brick borders are appropriate for planting bed borders in Victorian style gardens.

Not Recommended

- "Over-paving" to create formal gardens is not recommended in the Dover Historic District zone.
- Using concrete to replace brick, flagstone or other historic paving materials is not recommended.

Inappropriate

- Concrete block, painted rocks, and low wire fencing are inappropriate border materials in the Dover Historic District zone.

Parking Lots

Parking lots are the awkward by-product of a mobile culture. Their incorporation into historic districts is problematic. Parking lots should be screened from the street, their layout should include borders, and islands planted with trees and shrubs to break-up expanses of paved areas. Given any parking lot within the Dover Historic District zone, at least 20% of the area within it should be unpaved and planted.