



**THE CITY OF THE VILLAGE OF DOUGLAS
PLANNING COMMISSION
THURSDAY, AUGUST 14, 2025 AT 6:00 PM
86 W CENTER ST., DOUGLAS MI**

AGENDA

To view remotely, join online or by phone.

Join online by visiting: <https://us02web.zoom.us/j/84100073894>

Join by phone by dialing: +1 (312) 626-6799 | **Then enter "Meeting ID":** 841 0007 3894

1. CALL TO ORDER

2. ROLL CALL

A. Approval of Agenda - August 14, 2025 (additions/changes/deletions)

Motion to approve the August 14, 2025 agenda

B. Approval of Minutes - May 8, 2025 (additions/changes/deletions)

Motion to approve the May 8, 2025 regular meeting minutes

3. PUBLIC COMMUNICATION - VERBAL (LIMIT OF 3 MINUTES)

4. PUBLIC COMMUNICATION - WRITTEN

5. NEW BUSINESS

A. 453 W Center St - Site Plan Review

- a. Applicant Presentation
- b. Planning and Zoning Administrators Report
- c. Public Comments
- d. Commissioner Questions

Motion to approve the request made by Andrea Johnson-Wardynski for site plan approval under Article 24 of the City of the Village of Douglas Zoning Ordinance, based on the findings outlined in the staff reported dated August 6, 2025, on the parcel identified as P.P. 59-350-001-00, located at 453 W Center St. (Roll Call Vote)

B. Public Hearing - 312 Ferry St (Consumers Credit Union) - Special Land Use Request for Drive-in/Drive-through (Section 26.12)

- Motion to Open the Public Hearing (Roll Call Vote)

- a. Applicant Presentation
- b. Planning and Zoning Administrators Report
- c. Public Comments
- d. Commissioner Questions

- Motion to Close the Public Hearing (Roll Call Vote)

Motion to approve the request made by Nicholas Loeks of Bosch Construction on behalf of Consumers Credit Union for special land use approval for Drive-n/Drive-Through under Section 26.12 of the City of the Village of Douglas Zoning Ordinance, based on the findings outlined in the staff reported dated August 6, 2025, on the parcel identified as P.P. 59-016-069-00, located at 312 Ferry St. (Roll Call Vote)

6. UNFINISHED BUSINESS

7. REPORTS

- A. Planning and Zoning Administrator Report
- B. Planning Commissioner Remarks (limit 3 minutes each, please)

8. PUBLIC COMMUNICATION – VERBAL (LIMIT OF 3 MINUTES)

9. ADJOURNMENT

Please Note – The City of the Village of Douglas (the “City”) is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of this meeting or the facilities, are requested to contact Laura Kasper, City Clerk, at (269) 857-1438, or clerk@douglasmi.gov to allow the City to make reasonable accommodations for those persons. CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN



**THE CITY OF THE VILLAGE OF DOUGLAS
PLANNING COMMISSION
THURSDAY, MAY 08, 2025 AT 6:00 PM
86 W CENTER ST., DOUGLAS MI**

MINUTES

1. CALL TO ORDER

2. ROLL CALL By City Manager Lisa Nocerini

PRESENT

Commissioner John O'Malley
Commissioner Laura Peterson
Commissioner Matt Balmer
Commissioner Patty Hanson
Commissioner Jennifer Ludwig
Commissioner Thomas Hickey
Commissioner Neal Seabert
Planning and Zoning Administrator Sean Homyen

ABSENT

Chair Paul Buszka
Secretary Kelli Heneghan

A. Election of Officers

a. Nomination(s) for Chair - *Motion to Approve - voice vote*

Motion by O'Malley Seconded by Peterson for the nomination of Balmer for Chair – motion carried by unanimous roll call vote

b. Nomination(s) for Vice Chair - *Motion to Approve - voice vote*

Motion by O'Malley Seconded by Hickey for the nomination of Hanson for Vice Chair – motion carried by unanimous roll call vote

c. Nomination(s) for Secretary - *Motion to Approve - voice vote*

Motion by Hickey Seconded by O'Malley for the nomination of Heneghan for Secretary – motion carried by unanimous roll call vote

B. Approval of Agenda - May 8, 2025 (additions/changes/deletions)

Motion to approve the May 8, 2025 agenda

Motion by Seabert, seconded by Hickey to approve the May 8, 2025 agenda. – Motion carried by unanimous voice vote.

C. Approval of Minutes - February 20, 2025 (additions/changes/deletions)

Motion to approve the February 20, 2025 regular meeting minutes

Motion by Seabert, seconded by O'Malley to approve the February 20, 2025 regular meeting minutes subject to the correction that Peterson voted yes to business item D. – Motion carried by unanimous voice vote.

3. PUBLIC COMMUNICATION - VERBAL (LIMIT OF 3 MINUTES)

A. Nicole Villegas - President of the Boardwalk at Swingbridge Condominium Association - Letter

B. Joe Milauckas - Letter

4. PUBLIC COMMUNICATION - WRITTEN

5. NEW BUSINESS

A. Public Hearing - 98 W Center St – Special Land Use Request for Short-Term Rental Units (Section 26.34) and Ground Floor Residential (Section 26.13)

-Motion to Open Public Hearing (Roll Call Vote)

Motion by Seabert, seconded by Hickey to open the Public Hearing. - Motion carried by unanimous roll call vote.

a. Applicant Presentation – Erhan Kara the owner of the builder, asked the Commissioners if they have any questions.

b. Planning and Zoning Administrators Report – Planning & Zoning Sean Homyen provided an outline of the request through the memo provided to the Commissioners

c. Public Comments (limit 3 minutes each, please) –

Jerry Walsh (60 Union St) expressed concern about the precedent that would be set if the Planning Commission were to waive the parking requirements, and noted the ongoing parking issues within the City.

Ken Kutzel (419 Harbor Lake Dr.) had concerns about the basement being turned into commercial. He then brought up concerns regarding waiving the parking space requirements.

d. Commissioner Questions

Commissioners raised questions for a detailed explanation from the applicant of the request and if the units were to be rented long term or short term which proposed to be short term. Balmer then went through the explanation of the ground floor residential requirements and provided an example of a situation of a parking space waiver for his business.

-Motion to Close the Public Hearing (Roll Call Vote)

Motion by O'Malley, Seconded by Seabert to close the Public Hearing – Motion Carried by unanimous roll call vote.

-Motion by Hickey, seconded by Peterson approve with conditions the request made by Erhan Kara for special land use approval for Ground Floor Residential at the basement level, per Section 26.13, and for Short-Term Rental Units on the second level and in the basement, per Section 26.34 of the City of the Village of Douglas Zoning Ordinance, based on the findings outlined in the staff report dated May 2, 2025, and to deny the request to waive all of the parking requirements for the residential uses on the parcel identified as P.P. 59-551-002-00, located at 98 W. Center St. subject to the following conditions:

1. The applicant shall obtain a zoning permit before making any modifications to the building.
2. The applicant shall obtain a building permit from MTS before commencing construction.
3. The applicant shall register the short-term rental units with the City per Section 16.34 (1).
4. Any change in use shall require site plan approval per Section 24.01 of the Zoning Ordinance.
5. Any proposed signage shall require a sign permit per Section 22.04 (A) of the Zoning Ordinance
6. Any proposed exterior lighting must comply with Zoning Ordinance Sections 19.05(6) and 24.03(9).
7. The applicant shall obtain an easement from the City for access to the parking lot.

- motion carried by unanimous roll call vote

B. Public Hearing - 50 E Center St – Special Land Use Request for Short-Term Rental Units (Section 26.34)

-Motion to Open Public Hearing (Roll Call Vote)

Motion by Seabert, seconded by Hickey – Motion carried by unanimous roll call vote

a. Applicant Presentation – The Cindy and Mark Miller provided a background of the building and due diligence they did when they purchased the property.

b. Planning and Zoning Administrators Report – Planning & Zoning Sean Homyen provided an outline of the request through the memo provided to the Commissioners

c. Public Comments (limit 3 minutes each, please) - None

d. Commissioner Questions – Commissioner Seabert asked if the request is for the short term rental and it was answered that it was.

-Motion to Close the Public Hearing (Roll Call Vote)

Motion by Seabert, seconded by O'Malley to close the Public Hearing – Motion carried by unanimous voice vote.

-Motion by O'Malley approve with conditions, the request made by Cynthia Miller for special land use approval for Short-Term Rental Units on the second level per Section 26.34 of the City of the Village of

Douglas Zoning Ordinance, based on the findings outlined in the staff report dated May 2, 2025, and to approve] the request to waive all of the parking requirements for the short term rental on the parcel identified as P.P. 59-100-009-00, located at 50 E. Center St., subject to the following conditions:

1. The applicant shall register the short-term rental units with the City per Section 16.34 (1).
2. Any proposed signage shall require a sign permit per Section 22.04 (A) of the Zoning Ordinance
3. Any proposed exterior lighting must comply with Zoning Ordinance Sections 19.05(6) and 24.03(9).

- Motion carried by unanimous roll call vote

- C. Public Hearing - Boardwalk at Swingbridge Condominium – amendment to the approved site plan under Section 16.24(11)(c)

-Motion to Open Public Hearing (Roll Call Vote)

Motion by Seabert, seconded by Hickey to open the public hearing.

- a. Applicant Presentation – David Contant with BDR provided an summary of the request of the changes.
- b. Planning and Zoning Administrators Report - Planning & Zoning Sean Homyen provided an outline of the request through the memo provided to the Commissioners
- c. Public Comments (limit 3 minutes each, please) – Nicole Villegas (120 Kewatin Ct) wanted to express her support of the project and a letter was included in the packet.

Gary Slosser (115 Kewatin Ct) had questions for the developer regarding the swale and had concerns about setback requirements of the fire lane, and had questions regarding the landscaping.

Bert Hallewas (140 Kewatin Ct) wanted to mention the culvert was found with the developer, and was hoping to have input on the landscaping as well.

Joe Milauckas (2887 Lakeshore Drive) owned the property on the corner south of the Swingbridge property. He mentioned that he provided a letter which is included in the packet. He also discussed the issues with the setback of the fire lane and requested that to be the same. In addition to this, he discuss the swale and potential drainage issues of the fire lane.

- d. Commissioner Questions – Commissioners requested clarification regarding the drainage swale, and questions that was brought up by the public comments.

-Motion to Close the Public Hearing (Roll Call Vote)

Motion by Seabert, seconded by Hickey to Close the Public Hearing. – Motion carried by unanimous roll call vote.

Motion by Hickey move to recommend the approval with conditions of the request made by Dave Contant of BDR Inc. for amendment to the approved Boardwalk at Swingbridge condominium site plan under Section 16.24(11)(c) for the property at Swingbridge Condominiums, generally located just north and west of the Blue Star Highway/Union Street intersection, based on the findings outlined in the staff report dated May 2, 2025, on the parcel identified as PPN 59-670-000-00/59-016-024-00 conditions:

1. Install "No Parking Fire Lane" signs with arrows at the Union Street side of the emergency lane.
2. The applicant shall obtain a zoning permit prior to building the pool, pool house, emergency access lane.
3. The applicant shall obtain a building permit from MTS before commencing construction.
4. The Emergency Access Lane must be constructed in accordance with the site plan (Project No. 2420157, Sheet C-205) and shall be completed by 11/30/2025, with a final inspection conducted by the Zoning Administrator and City Engineer.
5. The pool, pool house shall be constructed in accordance with the approved site plan (Project No. 2420157, Sheet C-205) and completed no later than 11/30/2025.
6. Landscaping shall be constructed in accordance with the approved site plan (Project No. 2420157, Sheet C-205) and completed no later than 11/30/2025.
7. The culvert shall be installed beneath the emergency access lane to allow water to flow north toward Kalamazoo Lake, in accordance with the City Engineer's memorandum. The installation shall be completed by 11/30/2025.
8. The Drainage Swale shall be constructed per approved utility site plan (Project No. 06200300, G2.10, dated 10/9/11) and shall be completed by 11/30/2025 and to be inspected by the City Engineer.
9. Prior to recording the public utility and drainage easement agreement, the agreement shall be reviewed by the City Attorney. The developer shall record the public utility and drainage easement agreement for the culvert located on the Swingbridge property as no later than 11/30/2025.
10. The developer shall provide the setbacks for the emergency lane, swimming pool, and pool house to the south property line
11. The retaining wall shall be reviewed and inspected by the City Engineer

- Motion carried by unanimous roll call vote.

6. UNFINISHED BUSINESS

7. REPORTS

- A. Planning and Zoning Administrator Report – Planning & Zoning Administrator Sean Homyen provided an update on the zoning ordinance update and the steering committee for the zoning ordinance update. He mentions that he received an application for the development of the 312 Ferry St property for a bank.
- B. Planning Commissioner Remarks (limit 3 minutes each, please) – Commissioners welcomed Jennifer Ludwig to the Planning Commission and she then introduced herself. Hanson had a question regarding the 30 Hamilton St and what was the outcome. O'Malley thanked the Planning & Zoning Administrator for the work.

8. **PUBLIC COMMUNICATION – VERBAL (LIMIT OF 3 MINUTES)** – Charity Noose (719 Golfview Dr.) provided concerns regarding the private trail that goes along her property.
Joe Milauckas (2887 Lakeshore Drive) says he will follow up with the Fire Department regarding the fire lane placement. He also brought up his concerns for the setbacks that were not provided.

9. **ADJOURNMENT**

Motion to adjourn the meeting.

Motion by Seabert, seconded by Peterson to adjourn the meeting.

To: City of the Village of Douglas Planning Commission

Date: August 6, 2025

From: Sean Homyen, Planning & Zoning Administrator

RE: **453 Center St – Site Plan Review – Converting front portion of the home from a non-conforming use to a conforming use.**



The Village of Friendliness – Since 1870

Request. Andrea Johnson-Wardynski has submitted an application for site plan review under Section 24.01 for the conversion of the front portion of the home from a non-conforming use to a conforming use for the property at 453 Center St, located in the C-1 Village Commercial District.

Background. The property at 453 Center St is a two-story single-family home, currently zoned R-5. Based on the assessing records, the home was constructed in 1873. The applicant has inquired about opening an Italian shaving storefront at this location. Instead of waiting for the Master Plan and Zoning Ordinance to be updated. The applicant moved forward with what is allowed through the current ordinance. The applicant went through the process earlier this year by rezoning the property from R-5 Multiple Family District to C-1 Village Commercial District. A recommendation from the Planning Commission was received on February 20, 2025, and approval from Council was on April 7, 2025.



Procedure. The Planning Commission is tasked with reviewing the site plan providing an approval, with or without conditions, denial, or tabling of the request.

Storefront. The applicant is requesting to convert the 182-square-foot (13' x 14') covered porch for business operations, with an additional 164.7 square feet (12' x 13.7') designated for storage in the front of the home. They are also proposing a picnic area to the west of the home. The Planning Commission will determine whether the proposed change in use from residential to commercial is acceptable.

Landscaping. Because the property is now classified as commercial, screening is required where it abuts residential lots. Existing fencing is located along the southern property line. The Planning Commission will determine whether the proposed trees provide sufficient buffering or if the applicant must complete the fencing. Any fencing must comply with the requirements of Section 21.01(12) of the Zoning Ordinance.

As the property is located on a corner lot, street trees are required along both rights-of-way, with one tree required for every 30 linear feet of frontage. Based on frontage, four trees are required along Ferry Street and four along Center Street. The property currently has three trees along Ferry Street (two of which are located within the right-of-way) and eight trees along Center Street. The Planning Commission will determine whether the trees within the right-of-way on Ferry St. may be counted toward meeting the street tree requirement.

Parking. As part of the site plan review, parking requirements must be evaluated in accordance with Section 10.04 of the Zoning Ordinance. Parking spaces must be provided unless a waiver is formally requested and granted by the Planning Commission.

Per Section 10.04(b)(1), one and two-family dwellings require two spaces per dwelling unit. For restaurants, one space is required for every three seats (based on occupancy as determined by the Fire Chief), plus one space per employee on the largest shift.

The applicant is proposing two employees, which would require one parking space for the restaurant use. The single-family home is a nonconforming use and would typically require two parking spaces; however, Section 10.04(b)(1) does not apply to nonconforming uses. Nevertheless, the Planning Commission may reduce the required parking under Section 19.03 and allow one space for the residence, if appropriate.

It should be noted that the two homeowners will both live and work on the property. The driveway is large enough to accommodate all three required spaces, should the Planning Commission choose not to waive any parking requirements.

RECOMMENDATION.

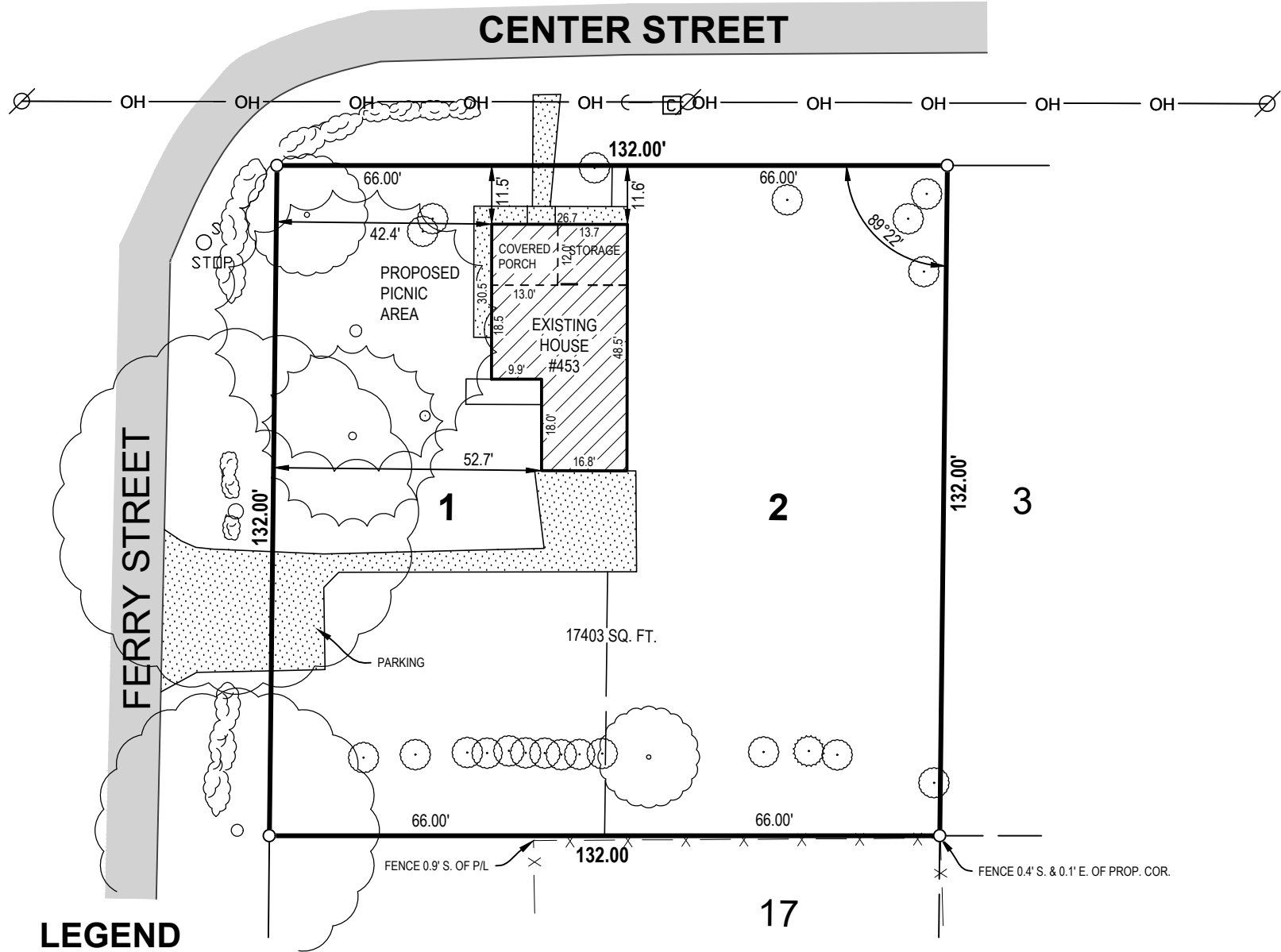
At the upcoming meeting, the Planning Commission will review the site plan. Commissioners should carefully consider the information presented in this report, as well as comments from the applicant and the public. If the Planning Commission concurs that the standards of the ordinance have been met, staff recommends approval located at 453 W Center St, subject to the following conditions as shown in the suggested motion.

SUGGESTED MOTION

Suggested Motion. I move to [approve / approve with conditions / deny / table] the request made by Andrea Johnson-Wardynski for site plan approval under Article 24 of the City of the Village of Douglas Zoning Ordinance, based on the findings outlined in the staff report dated August 6, 2025, on the parcel identified as P.P. 59-350-001-00, located at 453 Center St., subject to the following conditions:

- The applicant shall obtain a building permit from Michigan Township Services for the Change of Use
- The applicant shall obtain approval from the Saugatuck/Douglas Fire Department
- Any proposed signage shall require a sign permit per Section 22.04 (A) of the Zoning Ordinance
- The applicant shall all other federal, state, and local permits if required

Please feel free to reach out with any questions.



LEGEND

	Bush		Evergreen Tree		Stop Sign		Asphalt
	Cable Riser		Guy Anchor		Fence		Existing Building
	Deciduous Tree		Iron-Found		Overhead Utility		Concrete
			Utility Pole				Property Line

DESCRIPTION

the following described premises situated in the city of the Village of Douglas, County of Allegan, State of Michigan, to wit:

Lot 1 and 2, Block 1 of Helmer's Addition to the Village of Douglas, Michigan, according to the recorded plat thereof.

(Warranty Deed, Instrument No. 2017022469, Dated November 13, 2017, Allegan County Register of Deeds)

We hereby certify that we have examined the premises herein described, that the improvements are located entirely thereon as shown and that they do not encroach except as shown hereon.

This survey was made from the legal description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.



By: *Scott A. Hendges*
Scott A. Hendges Licensed Professional Surveyor No. 4001047953

SCALE: 1" = 30' 0' 15' 30' NORTH

Andrea Johnson
453 Center St
Douglas, MI 49406

453 Center St

DRAWN BY: NH DATE: 7/11/2025
REV. BY: NH REV. DATE: 7/25/2025
REV.: ADDED GREENERY PER CLIENT

PRJ #: 25201139.1
1 OF 1

www.nederveld.com • 800.222.1868
Holland
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449
Grand Rapids • Ann Arbor



Site Plan Review Application

Application Fee \$300
Additional Fees May Apply

The Village of Friendliness—Since 1870

Property Information:

Address or Location: 453 CENTER ST

Parcel Number: 59-350-001-00 Property Size: .40 acres

Zoning District – Current: C1 Proposed Zoning District (if applicable): _____

Existing Use of Building/Property: Residential Special Use (if applicable): _____

Type of Project (Residential or Commercial): COMMERCIAL

Describe Proposed Project: ATTACHED

Estimated Project Cost: \$1500.00

Site Plan Review Application Requirements

☒ Yes, I have read the City of Douglas Zoning Ordinance Article 24 Site Plan Review

Y N N/A

- ☒ ☐ ☐ Completed Site Plan Review application
☒ ☐ ☐ Plot Plan
☒ ☐ ☐ Legal Description
☒ ☐ ☐ Narrative Description

I ANDREA JOWSD-WARBYNSKI hereby state that all the above statements and all the accompanying information are true and correct.

[Signature]
Signature of Owner/General Contractor

4/30/25
Date

Email Address: Andrea4AIL1193@gmail.com

Phone: 734-674-2612

453 Center Street Site Plan Review Application
Rev July 31, 2025

I. Applicant Information

- a. Name, address, email, and phone number
Andrea G. Johnson-Wardynski
453 Center Street,
Douglas, MI 49406
734-674-2612
Andreagail1193@gmail.com

II. Property Ownership (See attached documents)

- a. Proof of property ownership
- b. Information on options or Liens

III. Project Impact Statement

- a. Written statement on the proposed project's impact on existing infrastructure (traffic, schools, utilities)

Our current residence is at 453 Center Street. It is a 150-year-old farmhouse with an extended, covered finished sunroom. We would like to repurpose the sunroom into a walk-up Italian ice concession window. The space requires no physical structural changes to the existing building, as the space already is separate from the remaining property by walls and doors. The change will keep in step with the charm and burgeoning low-use mixed residential and commercial nature of the surrounding neighborhood. Outdoors, we will create a nice garden space surrounding our residential portion, while utilizing an existing window as a walk-up window. We will also have some benches and seating adjacent to the walk up. The business will be open seasonally from May-September.

Customers will not enter the building and will not need to wait long to receive or consume the product. Approval of the Italian Ice shop is

not expected to have a measurable impact on local utilities, as the product will be made onsite in small batches with fresh fruit juice and water and will be stored in small freezers equivalent to the size of a home refrigerator or deep freezer.

The shop's impact on traffic is expected to be minimal, as customers will be nearby residents, visitors staying in adjacent accommodations, and beachgoers on their way to Douglas or Oval Beach. We have purchased a six-slot bike rack and expect many visitors will walk or bike past the property on the Beach to Bayou Trail or be nearby already patronizing the Root Beer Barrell, Woosah, or the Kirby House. Within the past five years, and without conducting impact analysis on existing infrastructure, the City of Douglas has opened the Root Beer Barrell hot dog stand on R-5 property on the opposite corner from my home, which is currently operating as a commercial property. The lot is being used as a public park, with parking available streetside, and parking is available in the Root Beer Barrell lot and along the street adjacent to the Root Beer Barrell and Woosah, a coffee shop and retail located directly across the street. We expect that our Italian Ice shop will complement the existing uses, as Outdoor Coffee is busy in the mornings, the Root Beer Barrel busy at lunch and dinner, and the Italian ice shop will be seen as an afternoon or post-dinner treat. As such, the flow of and impact on traffic should remain consistent throughout the day. As Sean Homyen noted in our C-1 approval, the recent improvements of transportation and pedestrian infrastructure in the area justify the proposed use of the property.

The change to the space is a permitted use, already existing in C-1 and meets all the requirements of the C-1 district. The remaining existing residential use is not changing, expanding, or being superseded by a conforming use and, pursuant to 15.03 and 23.03, no permit shall be required for the nonconforming residential use to continue in its current location. Further, the existing residential use in the remaining portion of the building is continuing in the building, which was built for such purpose and existing on the date of the Ordinance. Thus, pursuant to 15.04 "any nonconforming use may be extended throughout any parts of a building which were manifestly arranged or designed for such use, and which existed at the time of

adoption or amendment of this Article, but no such use shall be extended to occupy any land outside such building.”

- b. Written statement on the proposed project’s impact on natural environment NA
- c. Phase 1 and Phase 2 environmental review (if required) NA

IV. Property Details (See attached documents)

- a. Dimensions and legal description
- b. North Arrow
- c. Certificate of survey if less than (1) acre and a land division

V. Project Description

- a. Total number of structures, units, and bedrooms, offices

The proposed commercial use will be installed in the front sun room of the existing structure, which has existing walls and windows, which will function as a separate commercial space. Most of the space will be used for product storage, is separated from the home by a pre-existing door that closes and locks, and will have its own, separate pre-existing entrance. On the Center-street facing wall of the structure, an existing side sliding window will be used to serve customers and does not require alteration to the existing structure apart from use of a table or other removable fixture to create a counter space.

- b. Square footage (total and usable floor area)

The total square footage is 156 sq. ft., and the office/storage is 164 sq. ft. The area “to be considered as that area to be used for the sale of merchandise or services, or for use to serve patrons, clients or customers” and shall exclude “floor area which is used or intended to be used principally for the storage or processing of merchandise, hallways, stairways, basements, and elevator shafts” is less than 49 sq ft, which is less than 5% of the property, because the service area is only a walk-up window. The remaining area of the room will be used

as storage and processing of merchandise. Residential portion of the building is 1138 sq ft.

c. Carports/garages

- i. The applicant has a garage with two parking spaces in the front and two parking spaces outside. The Ferry St side of the property has two parking spaces.

d. Employees by shift

- i. There will be a maximum of two employees per shift

e. Recreational and open space details (see attached drawings)

f. Type of recreation facilities provided (see attached drawings)

g. Private easements NA

VI. Proposed Access and Parking

a. Streets, driveways, parking spaces, sidewalks – Relevant Rules

- i. Parking spaces need to be provided unless waiver is requested. One and Two Family Dwellings: 2 Spaces per each dwelling unit, Restaurants, Cafeterias. Coffee Shop, Cafe, Taverns. Bars: One (1) space for every three (3) seats up to the capacity of the facility as determined by the fire chief, plus one (1) for each employee on the largest work shift, Currently: 2 parking spaces for Single Family Dwelling, Proposed: 2 Employees, Required: 4 Parking spaces, 2 Parking per section 10.04 b) 1.
- ii. 10.04 (b)(1) Any use permitted by right and required to provide parking as described in Section 10.04(a) shall provide fifty percent (50%) of the required parking for each use as identified in Section 19.03.

b. Parking summary

- i. Both uses, the new commercial use and the existing residential use, are permitted by right, so the parking requirements should be considered as required by 10.04(b)(1) to be 50% of the total. As noted, the existing home has a garage, which has two interior spaces, and two parking spaces in front. On the Ferry Street side, there are two parking spaces, for a total of six parking spaces. As we understand it, outdoor seating is not considered by the fire chief in assessing parking requirements and there is no indoor seating and two employees. Nevertheless, with 6 parking spaces, and requiring only 50% of the total, the parking will be sufficient for the requested use. To the extent the existing parking is not sufficient, the applicant requests waiver of the parking requirements, as the pedestrian access and existing on-street parking will be sufficient for the intended use.

VII. Landscape Plan (see attached survey)

- a. Locations of planting and screening requirements are existing with seven trees on Center Street and four trees on Ferry Street as well as the landscape buffer along the residential property line.

VIII. Permit Statement

- a. Applicant has obtained a business license from the City of Douglas, License No. 78-2025, and a transitory food unit license from the Allegan County Health Department (number pending, approved to open).

IX. Project Completion

- a. Applicant will be ready to open business immediately following approval. No construction or other alteration to the structure is required.

STATE OF
MICHIGAN

Allegan County County
November 29, 2017 02:10:00
Receipt # 28570



REAL ESTATE
TRANSFER TAX

\$210.65 - CO
\$1,436.25 - ST
Stamp # 29169

STATE OF MICHIGAN Allegan County
Bob Genetski Register of Deeds

Item 5A.

RECORDED

November 29, 2017 02:10:00 PM
Liber 4200 Page 241-242 D.W.
FEE: \$30.00



Liber 4200 Page 241 #2017022469

WARRANTY DEED

03-17542092-HOL

KNOW ALL PERSONS BY THESE PRESENTS: That: John Drapak and Emily M. Drapak Trust, ("Grantor")

the address of which is: PO Box 2614, Douglas, MI 49406

convey(s) and warrant(s) to: Phyllis L. Johnson and Andrea Johnson-Wardynski, ("Grantee")

the address of which is: 39357 Palmer, Westland, MI 48186

the following described premises situated in the City of the Village of Douglas, County of Allegan, State of Michigan, to wit:

Lot 1 and 2, Block 1 of Helmer's Addition to the Village of Douglas, Michigan, according to the recorded plat thereof.

also known as Property Address: 453 Center St, Douglas, MI 49406

Parcel ID No.: 59-350-001-00 pt

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, for the sum of One Hundred Ninety One Thousand Five Hundred and 00/100 Dollars (***\$191,500.00***).

Subject to existing building and use restrictions, easements of record, and zoning ordinances, if any.

164690

Tax Certification # 276709
obtained from Allegan County
Treasurer prior to recording

RECEIVED
17 NOV 28 AM 10:59

When Recorded return to:
Phyllis L. Johnson
Andrea Johnson-Wardynski
39357 Palmer
Westland, MI 48186

Send Subsequent Tax Bills To:
~~Grantor~~
453 Center St.
Douglas, MI
49406

Drafted By:
Joanne Gilliam
PO Box 2614
Douglas, MI 49406
Assisted by: ATA National Title Group,
LLC

PENDING RECEIPT OF DENIAL
OF HOMESTEAD TAX EXEMPTION

THE CURRENT YEAR TAX WAS
NOT AVAILABLE FOR EXAMINATION

VT5

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Page 2 of 2 of Warranty Deed between John Drapak and Emily M. Drapak Trust, ("Grantor") and Phyllis L. Johnson and Andrea Johnson-Wardynski, ("Grantee") dated this November 21, 2017.

Dated this November 13, 2017

Signed by:

John Drapak and Emily M. Drapak Trust

Joanne Gilliam, Successor Trustee
By Joanne Gilliam, Successor Trustee

State of Michigan)
)SS.
County of Allegan)

The foregoing instrument was acknowledged before me on this 13th day of November, 2017 by Joanne Gilliam, Successor Trustee of the John Drapak and Emily M. Drapak Trust

LISA GONZALEZ
Notary Public, State of Michigan
County of Ottawa
My Commission Expires May 10, 2019
Acting in the County of Allegan

Lisa Gonzalez
Notary Public: _____
Notary County: _____, State: _____
Commission Expires: _____
Acting In: _____

To: City of the Village of Douglas Planning Commission

Date: August 6, 2025

From: Sean Homyen, Planning & Zoning Administrator

RE: **312 Ferry St (Consumers Bank). – Special Land Use Request for Drive-in/Drive-Through Establishments (Section 26.12) of the City of the Village Zoning Ordinance.**



The Village of Friendliness – Since 1870

Request. Mr. Nicholas Loeks of Bosch Construction on behalf of Consumers Credit Union has submitted an application for special land use approval for Drive-in/Drive-Through under Section 26.12 for the property at 312 Ferry St., located in the C-2 General Commercial District.

Background. The subject property, located at 312 Ferry Street, is currently under a purchase agreement between Consumers Credit Union and the current property owner. The property is zoned C-2 General Commercial District and covers 40,591 SF. The building previously housed a restaurant. The building was in disrepair and has since been removed, leaving the property vacant. The proposal includes constructing a new commercial bank. At the July 22, 2025, Zoning Board of Appeals meeting, the applicant received approval to reduce the required number of trees along Ferry Street from 15 to 8, and along Blue Star Highway from 17 to 8. The reduction was granted due to potential vision obstructions for traffic caused by the placement of trees on the pie-shaped lot. Understanding the importance of trees within the Douglas community, Consumers Credit Union provided a letter wanting to donate the 16 trees that was reduced from the variance to be planted in the community. A letter has been provided and included in the packet. The application, narrative, plan set, and additional documents are attached.



Procedure. The applicant is required to submit a special land use application for Drive-in/Drive-through under Section 26.12 of the Zoning Ordinance. The Planning Commission is tasked with reviewing the request and site plan providing an approval, with or without conditions, denial, or tabling of the request.

Site Plan Review. Revisions to the original plans were submitted and reviewed; however, several items remain outstanding. In addition, follow-up review and approval from both the Fire Department and the Allegan County Drain Commission are still required. A checklist based on Article 24 has been included in the packet. The following items were not provided or clearly addressed:

- A vicinity sketch showing the site's location in relation to surrounding streets and land uses within 300 feet was not included.
- A timeline for project completion was not provided.

These missing items were added as conditions of approval.

Lastly, due to the unique shape of the lot, the applicant identified the north side of the property as a side yard and applied a 5-foot setback accordingly. However, if the Planning Commission determines this to be a rear yard, a 25-foot setback would be required. Based on the building's location, it appears the rear yard setback would still be met. The applicant will need to revise the site plan to clearly reflect this determination and should be added as a condition of approval.

Special Land Use Consideration. Section 26.12 outlines the special land use requirements for the Drive-in/Drive-Through Establishments. These requirements are listed below, along with staff's analysis and comments:

Section 26.12 Drive-in/Drive-Through Establishments

1) Locational Requirements: Drive-in/Drive-Through establishments are permitted by Special Use Permit in the C-2, General Commercial District.

2) Site Requirements:

a) Minimum lot area shall be twenty thousand (20,000) square feet.

Remarks. The property's lot area is 40,591 SF

Met.

b) The minimum lot width shall be one hundred twenty-five (125) feet.

Remarks. The width along Ferry St. is 458.87' and 498.31' along Blue Star Highway.

Met.

c) The site shall have at least one (1) lot line on a paved major thoroughfare.

Remarks. The lot line is along Ferry St. and Blue Star Highway.

Met.

3) Buffering Requirements:

- a) Shall meet the requirements of Article 21.

Remarks. Landscaping was provided and appears to meet the requirements of Article 21.

Met.

- b) The outdoor storage of trash and rubbish shall be screened in accordance with Section 21.01 (10) of this Ordinance.

Remarks. Screened dumpster was provided.

Met.

4) Performance Standards:

- a) The outdoor space used for parking and vehicle stacking, shall be hard surfaced and adequately drained.

Remarks. Vehicle stacking and parking is on a hard surface with a curbed spillway for drainage.

Met.

- b) Drive-in or drive-through management shall provide adequate trash and litter policing for the parking lot and the shoulders of adjacent roadways. These areas shall be completely cleared of accumulated debris as often as necessary.

Remarks. A trash receptacle was provided near the entrance of the building.

Met.

- c) No drive shall be closer to any other drive than seventy five (75) feet and the maximum number of driveways permitted on a major thoroughfare is two (2).

Remarks.

Based on the location of the driveway and the length of the property line, it appears to be met. The Planning Commission will make the final determination if this criterion is met.

- d) Vehicular circulation patterns into and out of such businesses shall be located and designed to minimize disruption of and conflicts with through traffic movement on abutting streets.

Remarks. Access to the site is provided via both Ferry Street and Blue Star Highway

Met.

e) Devices for the transmission or broadcasting of voices or music shall be so directed or muffled as to prevent said sound or music from being audible beyond the boundaries of the site.

N/A

f) All exterior lighting shall be in accordance with Section 19.05(6) and 24.03(9) hereof.

Remarks. A site photometric plan was provided and appears to comply with Section 19.05(6) and Section 24.03(9)

Met.

Recommendation. At the upcoming Public Hearing meeting, the Planning Commission will review the Drive-in/Drive Through request. Commissioners should carefully consider the information presented in this report, as well as comments from the applicant and the public. If the Planning Commission concurs that the standards of the ordinance have been met, staff recommends approval of the request for the Drive-in/Drive-Through located at 312 Ferry Street, subject to the following conditions as shown in the suggested motion.

Suggested Motion. I move to [approve / approve with conditions / deny / table] the request made by Nicholas Loeks of Bosch Construction on behalf of Consumers Credit Union for special land use approval for Drive-in/Drive Through under Section 26.12 of the City of the Village of Douglas Zoning Ordinance, based on the findings outlined in the staff report dated August 6, 2025, on the parcel identified as P.P. 59-016-069-00, located at 312 Ferry St., subject to the following conditions:

1. Prior to the issuance of a zoning permit, the applicant shall revise and resubmit the site plan to include the following items in accordance with Article 24 of the Zoning Ordinance:
 - Vicinity sketch showing the site's relationship to surrounding streets and land uses within 300'
 - A project completion timeline
2. The applicant shall obtain a zoning permit.
3. The applicant shall obtain a building permit from MTS before commencing construction.
4. The applicant shall all other federal, state, and local permits if required.
5. Any change in use shall require site plan approval per Section 24.01 of the Zoning Ordinance.
6. Any proposed signage shall require a sign permit per Section 22.04 (A) of the Zoning Ordinance
7. The applicant shall obtain approval from the Allegan County Drain Commission
8. The applicant shall obtain approval from the Saugatuck/Douglas Fire Department
9. Any proposed signage shall require a sign permit per Section 22.04 (A) of the Zoning Ordinance

Please feel free to contact me with any questions or concerns.

Site Plan Review Checklist

Applicant Information	Met	Not Met	Comments
Name, address, email, and phone number	X		
Property Ownership			
Information on options or Liens	X		
Project Impact Statement			
Written statement on the proposed project's impact on existing infrastructure (traffic, schools, utilities)	N/A		
Written statement on the proposed project's impact on natural environment	N/A		
Phase 1 and Phase 2 environmental review (if required)	X		
Property Details			
Dimensions and legal description	X		
North Arrow	X		
Certificate of survey if less than (1) acre and a land division	N/A		
Project Description			
Total number of structures, units, and bedrooms, offices	N/A		No office spaces requested
Square footage (total and usable floor area)	X		
Carports/garages	N/A		
Employees by shift	X		3 Employees provided
Recreational and open space details	N/A		
Type of recreation facilities provided	N/A		
Natural and Man-Made Features			
Woodlots, streams, drains, lakes/ponds	X		Retention swale, rip rap around basin provided
Topography (at 2-foot intervals)	X		
Existing roads and structures (indicate what will be retained/removed)	X		
Public and Private Access			
Existing or proposed public right-of-way	X		
Private easements			
Proposed Access and Parking			
Streets, driveways, parking spaces, sidewalks	X		There were plans of Ferry St to be vacated incorporating a cul-de-sac, it is TBD when this project is going to be moving forward
Direction of travel	X		

Inside radii of all curves	X		
Width of streets, driveways, sidewalks	X		
Total number of parking spaces and dimensions of typical spaces	X		1192 SF/400 SF = 3 Spaces, 3 Employees = 3 Spaces, 6 Required spaces total. Providing 8 spaces
General public pedestrian access (as approved by City Attorney)	N/A		
Vicinity Sketch			
Location of the site in relation to surrounding streets and land uses (within 300ft)		X	
Utilities Location			
Natural gas, cable, electric, phone	X		
Fire hydrants	X		
Water supply, stormwater management, wastewater systems	X		
Accessory Structures and Uses			
Proposed location of all accessory structures (ex. Flagpoles, light poles, docks, sheds)	X		Light poles were provided
Method of screening where applicable	X		8 Trees were provided along BSH and Ferry St. Reduction of required number of trees was granted by ZBA on July 22, 2025.
Landscaping Plan			
Locations of plantings and screening	X		
Fencing and lighting (in compliance with Article 21)	X		
Storage Facilities			
Locations and specifications for any existing or proposed above or below ground storage facilities for chemicals, salts, flammable materials, or hazardous substances	N/A		
Locations and specifications for any existing or proposed containment structures or clear zones required by government authorities	N/A		
Stormwater Management			
Location of Exterior Drains	X		
Location of Dry Wells	N/A		
Location of Catch Basins	X		
Location of Retention and/or detention areas	X		
Location of Sumps and other facilities for stormwater or	X		

wastewater			
Location of point of discharge for all drains and pipes	X		
Site Lighting			
Location, type, style, and intensity of all proposed site lighting (including building, sign, or other site lighting)	X		
Permit Statement			
Statement identifying all other federal, state, and local permits required (if any)			Add as condition of approval
Project Completion Schedule			
Timeline for project completion		X	
Tri-Community Plan Compliance			
Evidence of compliance with the recommendations of the Tri-Community Plan	N/A		
Additional Information:			
Any other necessary information for the Planning Commission to determine conformity with the Ordinance	TBD		
Seal of the State of Michigan registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan	X		
Grading Plan:			
Grading plan per Section 16.20.5	X		
Special Studies or Research (If Required by PC or ZA)			The Planning Commission will determine if this is required
Current site condition and status of buildings (to be preserved or removed).	X		Existing building was demolished
Flora and fauna (include endangered species).	TBD		
General topography and drainage patterns (including regulated features).	TBD		
Adjacent waterways.	TBD		
Existing wells (depth and use).	TBD		
Description of proposed abatement methods.	TBD		
Nature of contamination and proposed mitigation methods.	TBD		
Description of proposed work and methodology to protect waterways.	TBD		
Description of existing soils and their suitability for proposed use.	TBD		

Methods to protect and preserve any historic or archaeological resources.	TBD		
Description of emissions related to air quality and their effects.	TBD		
Methods to contain hazardous materials and prevent migration.			
Characterization of discharges (quantity, quality, chemical constituents).	TBD		
Description of findings from any previous assessments and provide reports.	TBD		
Anticipated noise levels at property lines and proposed mitigation measures.	TBD		
Description of anticipated traffic impacts from the proposed use.	TBD		
Description of site restoration after construction.	TBD		
Methods for handling sanitary waste during and after construction.	TBD		
Description of how potable water will be provided (including wells or lake-draw systems).	TBD		
Any other items needed to relay potential environmental impacts	TBD		
The individual preparing the Environmental Assessment must sign and seal the document (if prepared by a registered engineer, land surveyor, community planner, or landscape architect).	TBD		
Traffic Impact Study (if required by PC or ZA)			The Planning Commission will determine if a Traffic Impact Study is required.
Narrative Summary (Applicant and project name, Location map, Size and type of development, Traffic volumes based on the Institute of Transportation Engineers' <i>Trip Generation</i> (current edition))	TBD		
Project Phasing and Access Plan (Phases of development, including year for each phase, Proposed access plan for each phase)	TBD		
Transportation System Inventory (Physical, functional, and operational characteristics of the study area highway system, Location of transit services (where appropriate), Data on: Peak-hour volumes (existing and projected), Number of lanes,	TBD		

Cross-section, Intersection traffic signals and configuration, Douglas Zoning Ordinance, Traffic signal progression, Percentage of heavy trucks, Adjacent access point locations, Jurisdiction Grades			
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SAUGATUCK TOWNSHIP FIRE DISTRICT

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Item 5B.

3342 Blue Star Highway
Saugatuck, MI 49453
269 857-3000 / Fax: 269 857-1228
E-mail: info@saugatuckfire.org

June 18th, 2025

Bosch Architecture
c/o Nick Loeks
8065 Vineyard Parkway
Kalamazoo, MI 49009

Re: 312 Ferry Street – Consumers Credit Union – Site Plan Review #1 for Bosch Architecture PN: 25007
Sheets C001, C002, C003, C004, C501, for submittals dated 2025-05-08

Dear Mr. Loeks,

We are in receipt of the site plan for Consumers Credit Union received 5/22/2025. We reviewed the plans using the International Fire Code (IFC) 2015 edition. Please see the result of the fire department review listed **below**.

1. Vehicle impact protection required by this code shall be provided by posts that comply with Section 312.2 or by other approved physical barriers that comply with Section 312.3. (312.1) ***Bollard posts are required to protect the gas meter and are not shown in the plans provided. Please include in gas meter location and protection in revised submittals (If applicable).***
2. Dead end driveways and access roads in excess of 150 feet in length shall be provided with an approved area for turning around with fire apparatus (IFC 503.2.5) ***Not applicable, the access is shown from both Ferry Street does not exceed 150 feet in length.***
3. "No Parking Fire Lane" signage shall be installed at the dead end of the turnaround. (IFC 503.3) ***Please see locations of "No Parking Fire Lane" signage indicated on markup plans.***
4. No parking shall be allowed within the turnaround. The area must be clear and unobstructed for turnaround at all times. (IFC 503.4)
5. Fire apparatus access roads and driveways shall have an unobstructed width of not less than 20 feet, exclusive of shoulders. (IFC 503.2.1) ***Not approved, the driveway going around the building is shown as 14' in width. Although 20 feet in width is normally required, we are willing to accept 16 feet in width exclusive of shoulders.***
6. Minimum clear height shall be 13'6" across the entire 20ft width of driveway. (IFC 503.2.1) ***Height clearance is not noted in plans provided. Please include in revised submittals indicating the drive-thru will have a minimum vertical clearance of 13'6".***
7. Road shall not exceed the 10% maximum grade. (IFC 503.2.7) ***Grade does not appear to be shown in the plans provided, please include in revised submittals.***
8. The driveway shall be installed with asphalt, concrete, or other approved driving surfaces capable of supporting the 80,000-pound imposed load of our heaviest apparatus and be installed to provide emergency access prior to commencement of building construction. (IFC 503.2.3) ***Weight capacity is not noted in plans provided. Please include in revised submittals to support 80,000lbs.***



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9. The road shall be maintained free of snow and ice to provide all weather driving capabilities. (IFC 503.2.3)
10. Fire department access roads shall be constructed and maintained for all construction sites. (IFC 3310.1)
Ensure the road and turnaround are installed and navigable for emergency access prior to commencement of vertical building construction.
11. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (IFC 505.1) ***Address signage must be posted prior to commencement of construction. Green reflective address signs are preferred.***
12. Streets and roads shall be identified with *approved* signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an *approved* size, weather resistant and be maintained until replaced by permanent signs. (IFC 505.2) ***Approved, Ferry Street is already signed.***
13. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official. (IFC 506.1) ***A Knox Key Box is required and shall be installed adjacent to the main front door and shall be installed 60" AFF. Minimum required box is #3261 and will hold up to 10 keys. Surface mount or recessed options are available at www.knoxbox.com. (This will fall under building review, however we wanted to make you aware now.)***
14. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 510.1) ***If the building cannot support the required minimum of -95dBm receivable level of radio coverage within the building, a Federal Communications Commission certified signal booster or other system approved by the fire code official in order to achieve the required adequate radio coverage may be required. (This will fall under building review, however wanted to make you aware now.)***
15. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1) ***Not approved, please show the hydrant on Ferry Street as we would not pull hose across Blue Star Hwy from the one shown adjacent to 333 Blue Star Hwy Entrance Drive.***
16. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official, or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system. (IFC 507.4) ***Not applicable, existing.***
17. A hydrant is required within 400 ft. of any exterior portion of a non-sprinklered building or 600 ft. for an R-3 occupancy or sprinklered building. (IFC 507.5.1) ***See #15.***
18. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. (IFC 3312.1) ***See #15.***
19. Upon completion of construction, physical testing with apparatus will be required. If the apparatus is unable to navigate the completed road and driveway in a safe and efficient manner, modifications may be required.
20. Anything omitted in this plan review is subject to field inspection. (IFC 105.4.4)



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Please revise plans to include all the above information and documentation and submit for review. Once received, plans will be reviewed accordingly. Please let us know if you have any questions

Please also submit building plans, fire suppression plans, fire alarm plans, emergency lighting, and kitchen hood suppression plans for review as applicable. Please let us know if you have any questions.

Respectfully Yours,

Chris Mantels

Deputy Chief / Fire Inspector

Cc: Greg Janik – Fire Chief (via email)
Sean Homyen – Zoning Administrator (via email)
Dan Poll – Building Official (via email)
Ken Bosma – City Engineer (via email)

Enclosures:

Site Plan Submittal w/ Markup

MEMORANDUM

To: Daryl VanDyke, KLSWA Manager
Date: June 12, 2025
From: Brandon Mieras, P.E. Brandon Mieras Digitally signed by Brandon Mieras
Date: 2025.06.12 16:19:42 -04'00'
RE: **312 Ferry St. - Consumers Credit Union Sewer and Water Utility Review**

Bosch Architecture Engineering & Interior Design has submitted a set of site plan review plans, dated May 8, 2025, for the proposed Consumers Credit Union building located at 312 Ferry St. Douglas, Michigan, 49406. The purpose of this memorandum is to review the sanitary sewer, and water distribution system in accordance with the Kalamazoo Lake Sewer and Water Authority (KLSWA) Construction Standards, Ten State Standards for water and sewer, and the Michigan Plumbing code.

Background. The site consists of a 0.93-acre parcel located between Blue Star Hwy. and Ferry St. The applicant is proposing to construct a new 1,192 sft credit union building with a new water service, and sanitary lateral extended from existing services.

Review Process. The plans for the sanitary sewer and water distribution utilities are reviewed to the requirements the KLSWA, Ten State Standards, and Michigan Plumbing Code.

Sanitary Sewer Review. The KLSWA Construction Standards, and the Michigan Plumbing Code contains the items required for review of the sanitary sewer system. EGLE's requirements are laid out in the Ten State Standards. The engineering review focused on the materials, pipe slopes, pipe bedding, capacities and connections.

- **Standards Engineering Review.** To recommend approval of the sanitary sewer, the sewer must meet the size, material, slope, and compaction specification requirements of the KLSWA and the Ten State Standards.
 1. The new building is shown to be served by a new 6" PVC sanitary sewer lateral connected to an existing sanitary sewer lead off Blue Star Hwy. The type of pipe is not specified, nor is the slope of the pipe, and cannot be evaluated. Specify the type and slope of the PVC pipe and the type of connection proposed to the existing lateral. Please provide the required information so the review can be completed.
 2. Provide a pipe trench detail that shows a sufficiently wide pipe trench, and the pipe bedded in MDOT CL-II granular trench fill.

- **Sanitary Sewer Recommendation and Conclusion.** Provide the required information detailed in the comments above so the sanitary sewer review can be completed and approved. The plans cannot be recommended for approval at this time.

Water Distribution System Review. The KLSWA Construction Standards, and the Michigan Plumbing Code contains the items required for review of the water system. EGLE's requirements are laid out in the Ten State Standards. The engineering review focused on the pipe size, materials, bury depth, pipe bedding, capacities, valves, valve structures, and connections.

- **Standards Engineering Review.** To recommend approval of the water distribution system, the water utilities must meet the size, material, depth, compaction, installation and testing specification requirements of KLSWA, Ten State Standards, and the Michigan Plumbing Code.
 1. The new building is shown to be served by a new 1-1/4" water service on the west side off an existing water service and curb stop. The water service material is not specified or shown and cannot be evaluated. Please revise the plans and provide the required information so the review can be completed.
 2. Provide a pipe trench detail that shows a sufficiently wide pipe trench, and the pipe bedded in MDOT CL-II granular trench fill.
- **Water Utility Recommendation and Conclusion.** Provide the required information detailed in the comments above so the water utility review can be completed and approved. The plans cannot be recommended for approval at this time.

Feel free to contact us if there are any questions.

May 23, 2025
2250652

Mr. Sean Homyen, City Planner
City of Douglas
86 W. Center Street
Douglas, MI 49406

RE: 312 Ferry Street – Consumers Douglas
Engineering Review Comments

Dear Sean:

On behalf of the City of Douglas, our office has reviewed the drawings dated May 8, 2025 and received May 19, 2025 for the above referenced project. Our comments regarding the project are as follows:

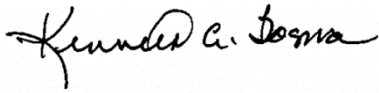
1. The proposed development includes a single 1185 square foot building with associated parking and driveways on about 1.3-acre site.
2. Please note that the City has discussed revising Ferry Street in this location and this should be further discussed.
3. Per the Michigan Environmental Map, this site and adjoining site appears in this report. Any activities on site must be done in accordance with EGLE requirements.
4. For the driveway on Blue Star Highway, please show the radii dimension.
5. For the driveway on Ferry Street, please have the back of curb offset 24 feet from centerline of right-of-way and have 25-foot tapers.
6. Please label size and material, if known, of all water mains and sanitary sewers that surround this site.
7. For the sanitary sewer lateral, the record drawings on file show two laterals downstream of the manhole. The one not used must be cut and capped at the main. Please show this on the drawings.
8. The record drawings for water services show three water services on Ferry Street and are identified as 1". The water service material must be verified. If lead or galvanized service is identified, it must be replaced to the main. If a larger size is needed for sprinkling and domestic use, than a 1-1/2" will be the minimum size. The services not used must be abandoned at the main.

9. The storm water management of this site must be reviewed by the Allegan County Drain Commissioner's office.
10. The landscaping should be discussed to ensure there are no sight line issues at Ferry Street.
11. Saugatuck Township Fire District shall provide comments regarding fire protection and fire access for this site.
12. This should be reviewed by KLSWA.
13. The developer is responsible for all review fees.
14. The developer is responsible for obtaining all permits required for this project.

If you have any questions or comments regarding the above, please feel free to call me.

Sincerely,

Prein&Newhof



Kenneth A Bosma, P.E.

KAB/kab

cc: Mr. Daryl VanDyk, KLSWA
Mr. Chris Mantels, STFD
Mr. Nick Locks, Bosch Architecture

August 5, 2025
2250785

Mr. Nicholas Locks, P.E.
Bosch Architecture
8065 Vineyard Parkway
Kalamazoo, MI 49009

RE: 312 Ferry Street (Consumers Credit Union) Drainage Review
City of Douglas – Section 16

Dear Nicholas:

Our office has reviewed the construction drawings dated July 30, 2025, and calculations dated July 30, 2025, and submitted to our office July 30, 2025, via email. These were reviewed for compliance to *Allegan County Drain Commissioner's Site Development Rules dated March 2021*. The following are our comments as it relates to the above noted submittals.

1. The project includes a 1185 square foot building and parking area on 0.9 acres. The site is within the Amity Lane Drain and Jager Crane Drain drainage districts.
2. The following items are noted regarding the calculations:
 - a. LGROW spreadsheets were provided. Additional calculations were provided on the drawings.
 - b. A geotechnical report prepared by Driesenga & Associates dated March 10, 2025 was provided. It appears that the pond bottom elevations will be in fill areas that contain fine sand and trace of clay. An infiltration test will need to be provided at the proposed pond bottom to prove the design infiltration rate is acceptable.
 - c. For the Southern Pond area, the Water Quality requirement was not met based on the LGROW spreadsheet. Please review.
 - d. For the Southern Pond, the LGROW spreadsheet notes Sediment Forebay in the Water Quality section, but it is not identified on the drawings.
 - e. No calculations were provided for the sizing of the overflow spillways.
 - f. We did not review the storm sewer calculations as these will be considered private.
3. The following items are noted regarding the construction drawings:
 - a. Forebay elevations need to be defined on the drawings.

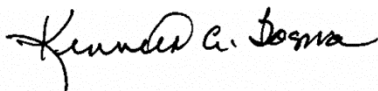
Mr. Nicholas Loeks
August 5, 2025
Page 2

- b. What are the proposed elevations of the basin castings in the southerly ponds?
 - c. Please provide ground topographic elevations for the overflow from the southerly pond to prove that it can overflow to Ferry Street right-of-way.
 - d. Please provide how the ponds will be restored to maintain the design infiltration rate.
4. The developer shall verify with the City if a maintenance agreement is required. It is recommended for this type of system. Please note that this system is considered a private system pending the response to how the system will be maintained.
 5. The developer is responsible for obtaining all permits and approvals needed for this project.
 6. Signed and sealed copies of the final drawings and calculations need to be submitted to ACDC's office if has not already been submitted.
 7. The review fee of \$500 and the administrative fee is \$50 administrative fee. In addition, all review fees above these amounts will need to be paid in accordance with ACDC's standards.
 8. After this project is constructed, the required documentation per ACDC's standards will need to be submitted before final approval is given for the project. This will include engineer's certificate, and record drawings.

In summary we recommend that construction plan approval be withheld until the above items are completed to ACDC's satisfaction. Final approval will need to have the items outlined in numbers 7 and 8 above. We recommend that City of Douglas withhold occupancy permits until the documents requested are received and final approval from ACDC's office is submitted.

If you have any questions regarding the project, please call me.

Sincerely,
Prein&Newhof



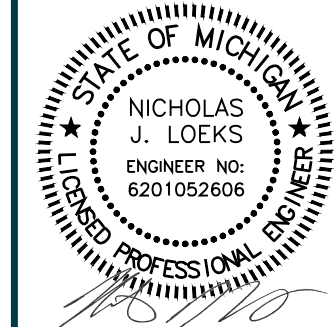
Kenneth A. Bosma, P.E.

KAB/kab

cc: Ms. Chris Machiela, ACDC
Mr. Brent Scholten, ACDC
Mr. Sean Homyen, City of Douglas
Ms. Cindi MacDonald, Owner

Mr. Nicholas Loeks
August 5, 2025
Page 3

P.S. The above letter was prepared to assist the Allegan County Drain Commissioner's office in their review of this project's storm water management plan. It is not an approval and is not to be used by anyone as the Drain Commissioner's approval letter.



Consumers Douglas

312 S Ferry Street, Douglas, MI 49406

2025-05-08 SITE PLAN REVIEW
2025-02-20 FOR ALLEGAN COUNTY DRAIN REVIEW

THESE PLANS, SPECIFICATIONS, AND CONDITIONS, AS PREPARED BY ME, ARE MY BEST PROFESSIONAL JUDGMENT AND CONFORM TO THE STANDARDS OF THE PROFESSION OF ARCHITECTURE IN THE STATE OF MICHIGAN. I AM NOT PROVIDING THESE PLANS, SPECIFICATIONS, AND CONDITIONS FOR THE PURPOSE OF CONSTRUCTION OF A BUILDING OR STRUCTURE.

ISSUED

bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

PN 25007
File Name
25007C001.dwg
8065 Vineyard Parkway
Kalamazoo, MI 49009
(269) 351-5151
Boscharch.com

Cool
CONCEPTUAL SITE PLAN

SITE INFORMATION

1. PARCEL ADDRESS: 312 S. FERRY STREET
DOUGLAS, MI 49406
PN: 54-016-064-00
2. OWNER: CONSUMERS CREDIT UNION
1200 ELM VALLEY DRIVE
KALAMAZOO, MI 49004
3. ARCHITECT: BOSCH ARCHITECTURE
8065 VINEYARD PKWY
KALAMAZOO, MI 49009
(269) 321-5151
4. SURVEY: DRIESENGA
5. ZONING: C2 ZONING
4. PROPOSED LAND USE: CREDIT UNION
5. TOTAL SITE AREA: 35,131 SF
40,541 SF INSIDE ROW
6. LAND USE PERCENT (%): OPEN: 66.6%
BUILD: 2.4%
PAVEMENT: 30.5%
7. BUILDING TYPE(S): 1/42 SF CREDIT UNION
+ STANDALONE ATM
8. MAXIMUM BUILDING HEIGHT: 28' MAXIMUM
18' ACTUAL
4. REQUIRED PARKING:
BANK: (1) STALL REQUIRED PER 400 SF USABLE
FLOOR AREA + 1 STALL PER EMPLOYEE IN THE
LARGEST SHIFT PLUS (5) VEHICLE STACKING SPACES
AT ATM AND EACH DRIVE UP WINDOW.
1192 SF / 400 + 1/EMPLOYEE = 3 SPACES + 3
EMPLOYEES = 6 REQUIRED SPACES.
8 SPACES PROVIDED + 5 STACKING SPACES AT
EACH DRIVE THRU LANE
10. LANDSCAPING: SEE LOOI
11. LEGAL DESCRIPTION: SEE THIS SHEET
12. OCC. CLASSIFICATION: B - BUSINESS
13. CONSTRUCTION TYPE: 5B
15. ALL SITE PARKING STRIPING, ARROWS, CROSSWALKS
AND LINES TO BE YELLOW PAINT. ALL BARRIER
FREE MARKINGS, LINES AND SYMBOLS TO BE BLUE.

GENERAL NOTES (SITE WORK)

1. SITE PREPARATION:
 - a. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERFORMED BY THE CONTRACTOR IN COMPLIANCE WITH INDIANA REGULATIONS.
 - b. ORGANIC TOPSOIL SHALL BE STRIPPED FROM THE CONSTRUCTION AREA AND STOCKPILED AS INSTRUCTED BY THE G.C. FOR LATER USE.
2. EARTHWORK:
 - a. CALL MISS DIG AT 1-800-482-7171 BEFORE BEGINNING EXCAVATION.
 - b. EXCAVATION SHALL BE LEVEL TO EXACT DEPTHS AND DIMENSIONS INDICATED ON DRAWINGS.
 - c. CONSTRUCTION OF FOUNDATIONS AND SLABS-ON-GRADE WILL BE ON COMPACTED FILL IN MOST AREAS. LAYERED COMPACTION SHALL BE PERFORMED TO A MINIMUM DENSITY OF 95 MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1551 VALUES.
 - d. PLACE A MIN. 6 INCHES OF BANK RUN SAND COMPACTED TO 95% OF MAXIMUM DENSITY UNDER ALL FLOOR SLABS ON GRADE.
 - e. SOIL TESTING WILL BE CONTRACTED AND PAID FOR BY THE GENERAL CONTRACTOR.
 - f. SITE SHALL BE FINE GRADED BEFORE PLACING TOP SOIL OR GRANULAR BASE MATERIAL.
 - g. EXTERIOR SURFACE DRAINAGE SHALL BE AWAY FROM BUILDINGS, 5' 10" OUT FROM BLDG.
 - h. ALL TOPOGRAPHICAL INFORMATION WAS FURNISHED BY DRIESENGA AND ASSUMED CORRECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW GRADES PRIOR TO COMMENCEMENT OF ANY WORK. THIS OFFICE SHALL NOT BE HELD RESPONSIBLE FOR ANY MISSING OR ERRONEOUS INFORMATION.

GEN CONTR WILL PROVIDE NECESSARY SOIL BORINGS AS DIRECTED BY THE CITY OF DOUGLAS.

GEN CONTR WILL ALSO PROVIDE PERMEABILITY TESTS IF REQUIRED, WHICH WILL INCLUDE GROUNDWATER INFORMATION.

ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS MUST CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

REQUIRED LANDSCAPE IS SHOWN ON LANDSCAPE PLAN. SEE LOOI FOR PLANTING DETAILS.

APPROPRIATE PERMITS TO BE OBTAINED FROM THE CITY OF DOUGLAS.

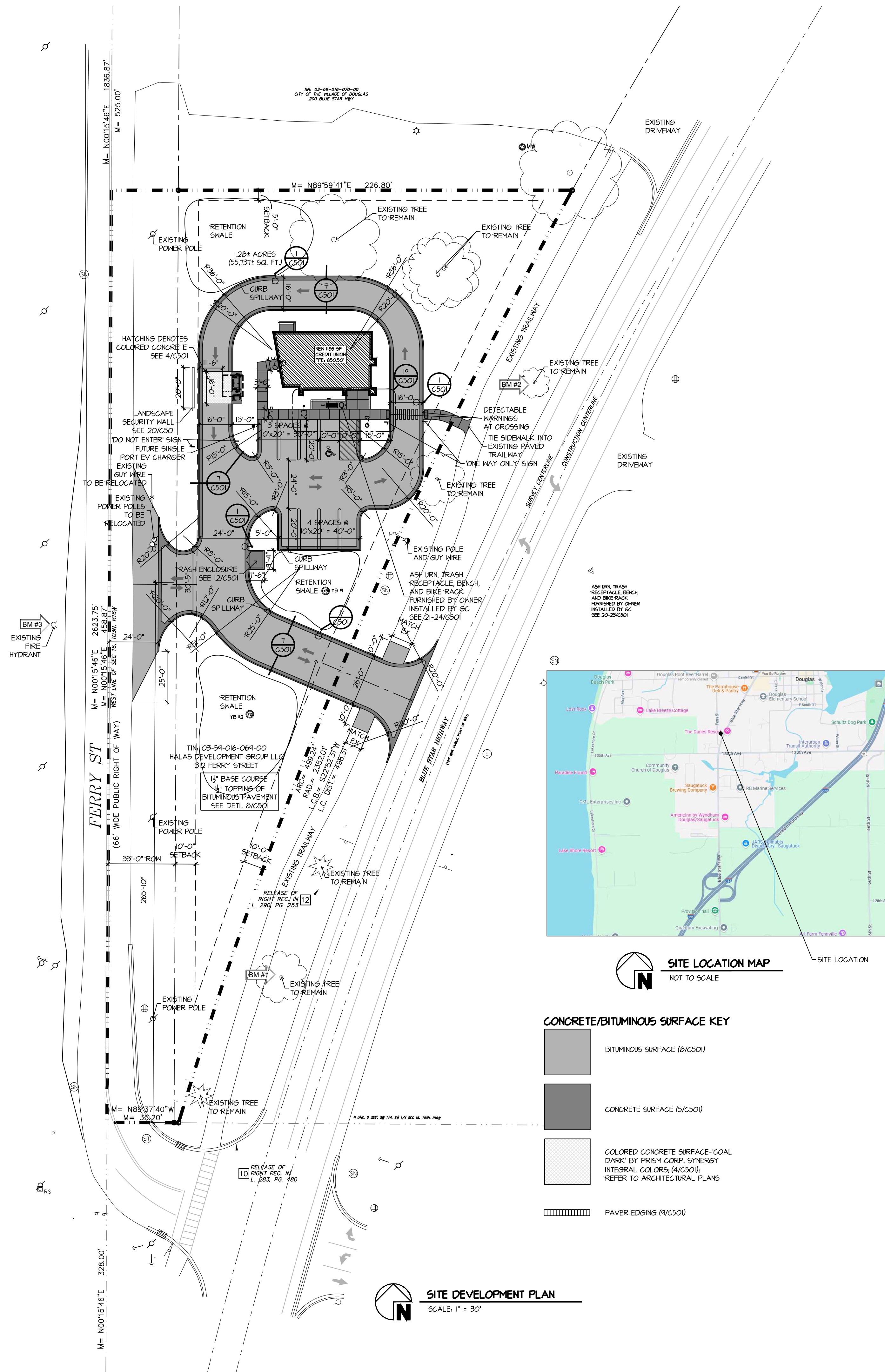
AN EMERGENCY KNOX BOX FOR FIRE DEPARTMENT ACCESS WILL BE PROVIDED IF REQUIRED. KNOX BOX LOCATION TO BE DETERMINED UPON SUBMITTAL OF BUILDING PLANS, IF REQUIRED.

A FIREFIGHTER RIGHT-TO-KNOW AND HAZARDOUS MATERIALS RIGHT TO KNOW FORMS TO BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT, IF REQUIRED.

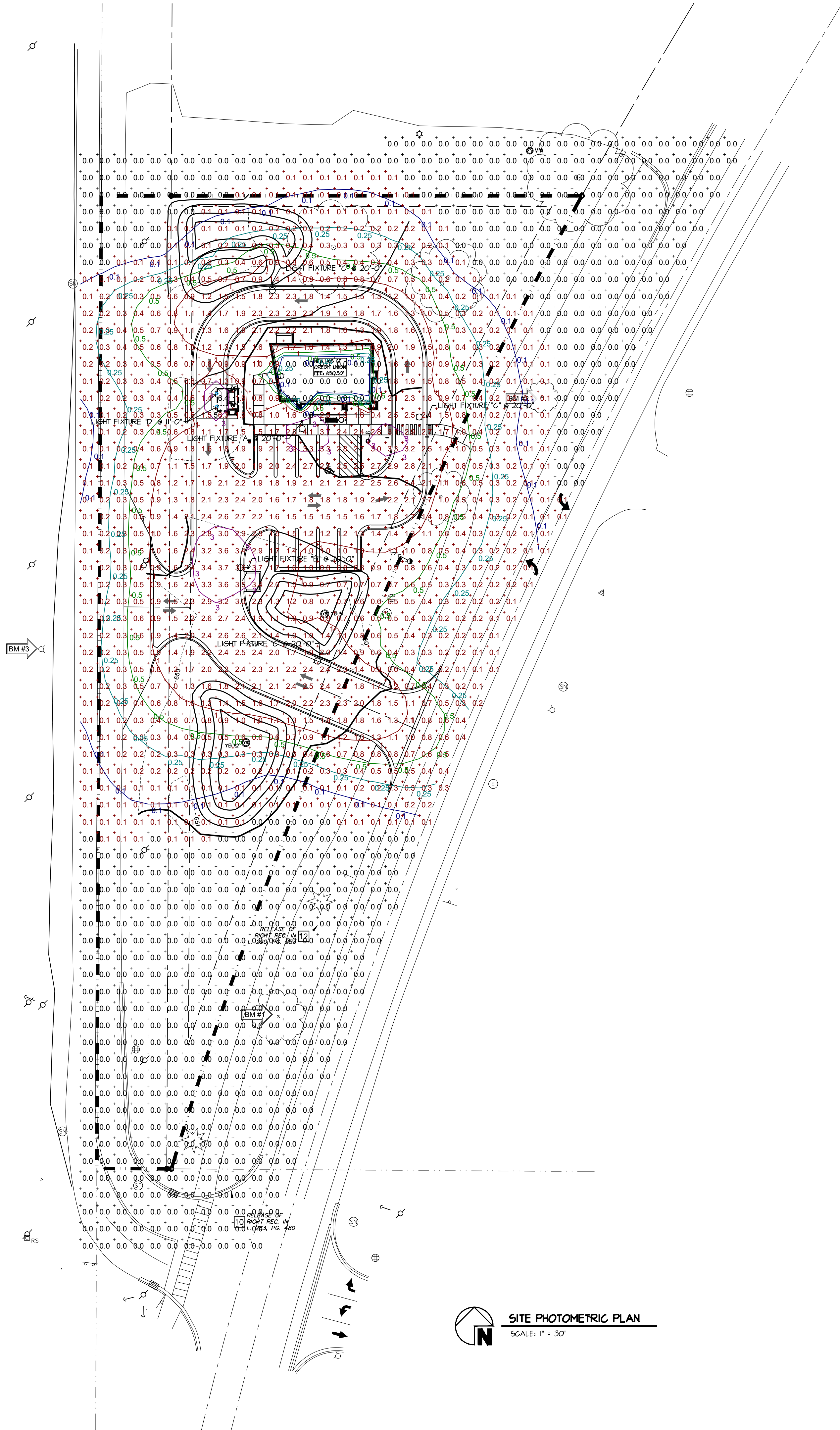
LEGAL DESCRIPTION


LAND SITUATED IN THE CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN:

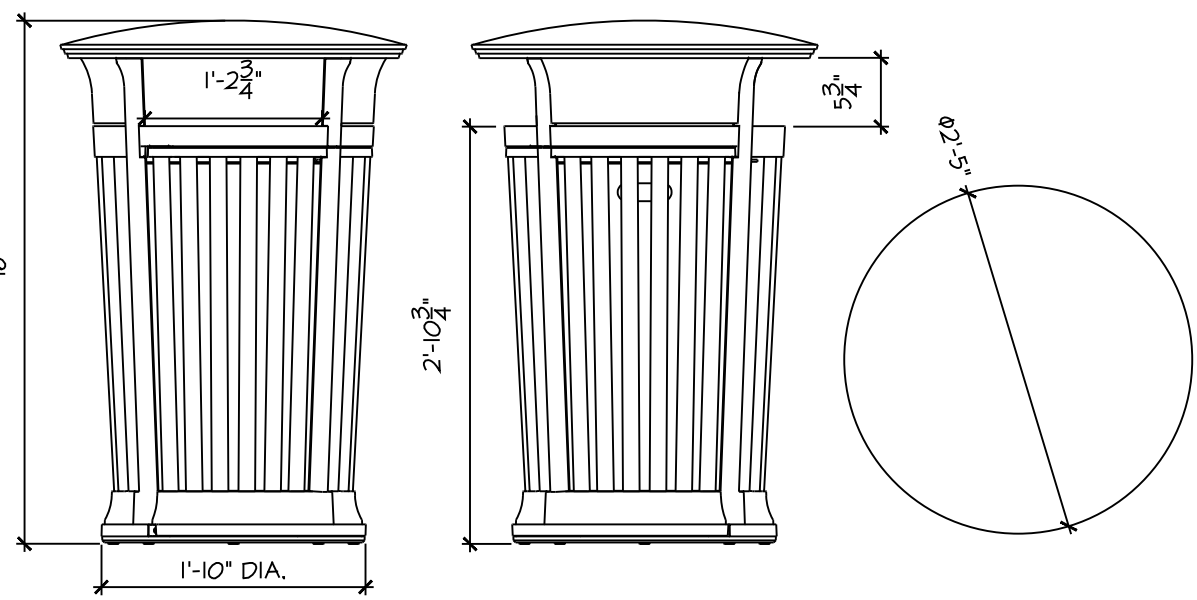
ALL THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING WEST OF US-31 EXCEPT THE NORTH 300 FEET THEREOF, ALSO EXCEPT COMMENCING AT A POINT 300 FEET SOUTH OF THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, VILLAGE (NOW CITY) OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN, THENCE SOUTH 225 FEET ALONG THE CENTER OF CHASE ROAD; THENCE EAST TO THE WEST SIDE OF BLUE STAR HIGHWAY; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY TO A POINT DUE EAST OF BEGINNING; THENCE WEST TO POINT OF BEGINNING, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, ALSO EXCEPT THE SOUTH 320 FEET THEREOF.



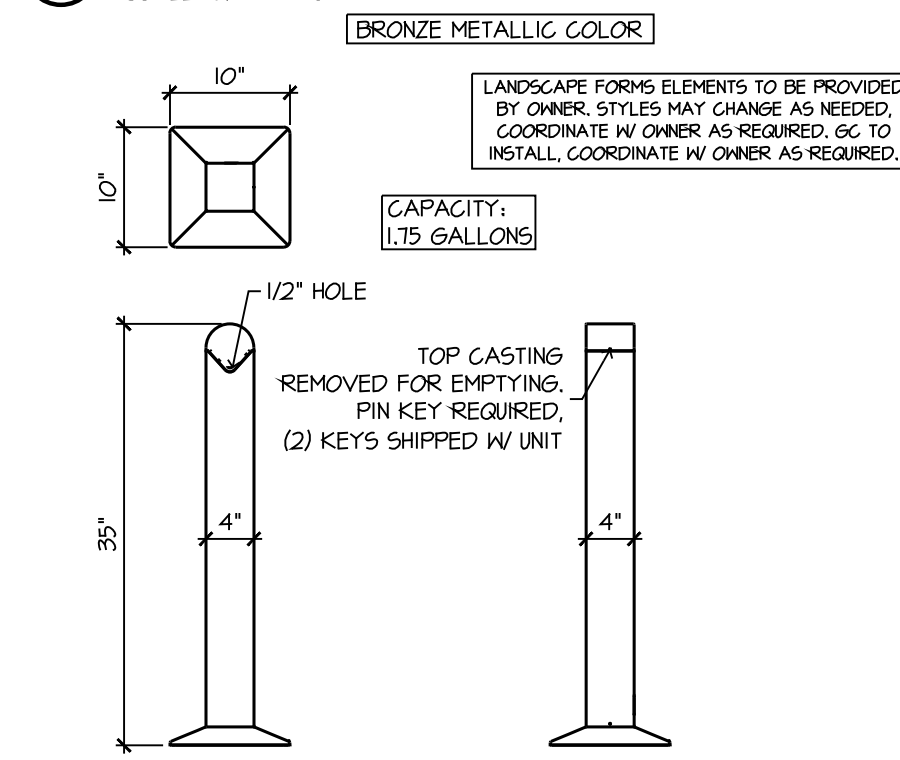
Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A		1	Lithonia Lighting	DSX1 LED P4 40K 70CRI T4M	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 4 Medium	1	16272	1	123.94
	B		1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T3M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 3 Medium	1	13763	1	102.17
	C		3	Lithonia Lighting	DSX1 LED P2 40K 70CRI T2M	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 70 CRI Type 2 Medium	1	9651	1	67.79
	D		2	Lithonia Lighting	LBR6 ALO1 (500LM) SIWW1 (3000K) AR LSS MWD 80CRI	6IN LBR Retrofit 500LM 3000K Clear Semi-Specular Medium Wide 80CRI	1	560	1	5.76



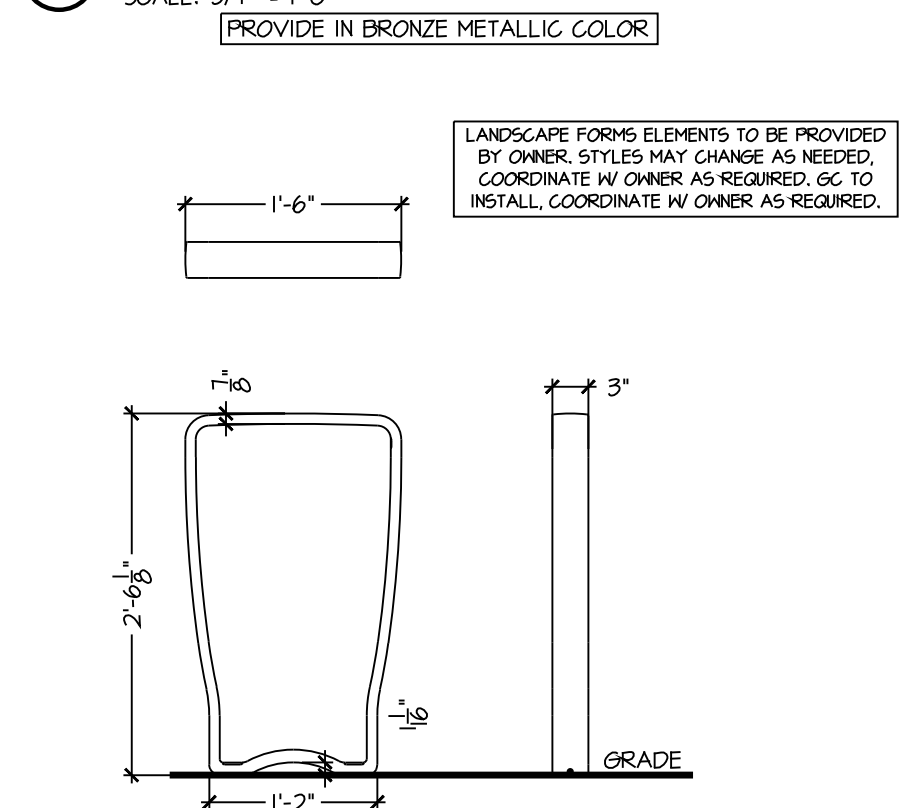
 **SITE PHOTOMETRIC PLAN**
SCALE: 1" = 30'



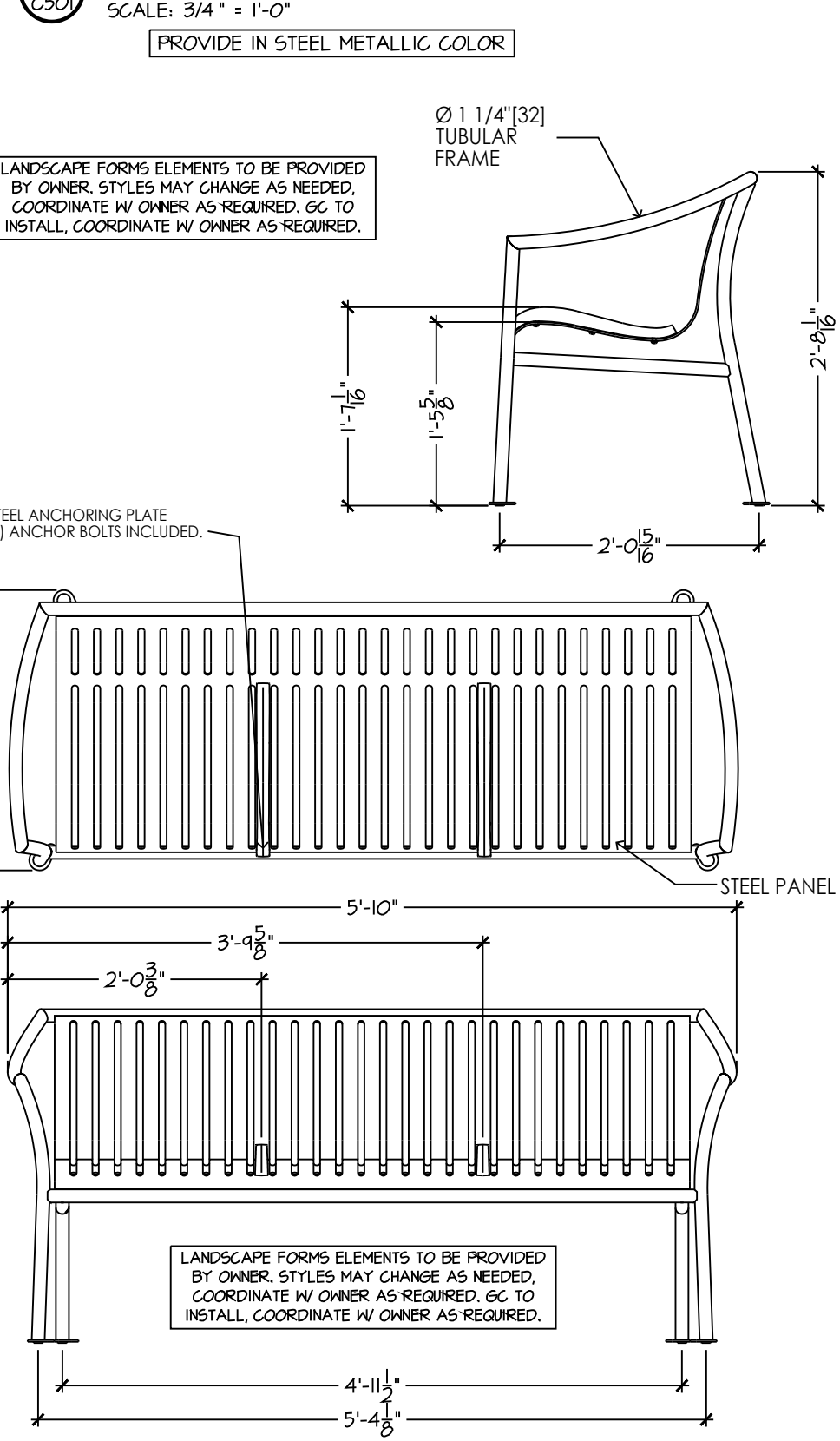
21 LANDSCAPE FORMS POE LITTER RECEPTACLE
SCALE: 3/4" = 1'-0"



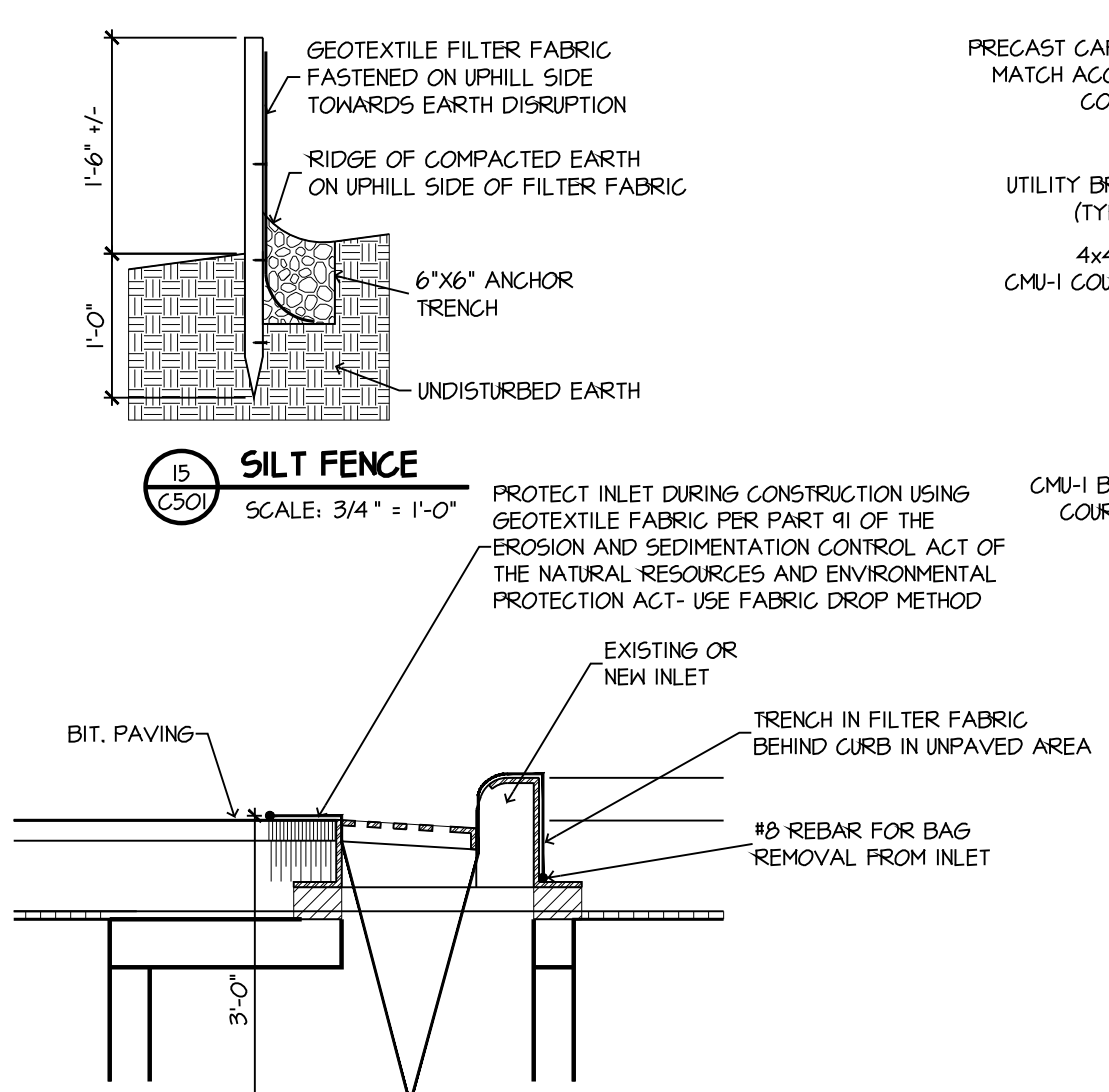
22 LANDSCAPE FORMS GRENADEIR ASH URN
SCALE: 3/4" = 1'-0"



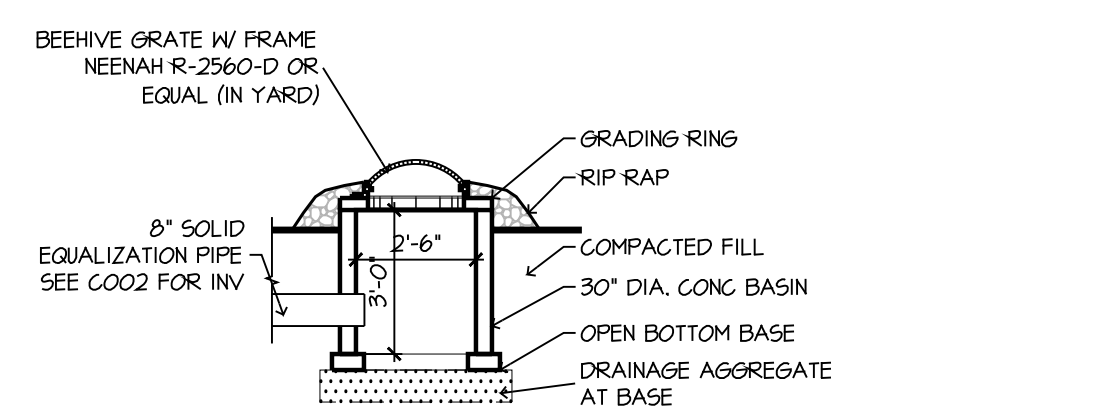
23 LANDSCAPE FORMS NORTHPORT BIKE RACK
SCALE: 3/4" = 1'-0"



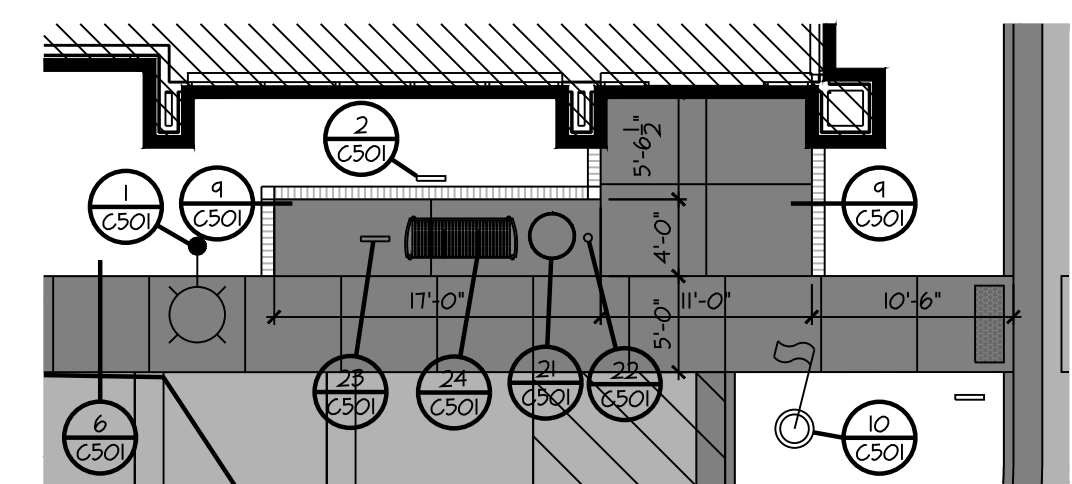
24 LANDSCAPE FORMS TOWNE SQUARE BENCH
SCALE: 3/4" = 1'-0"



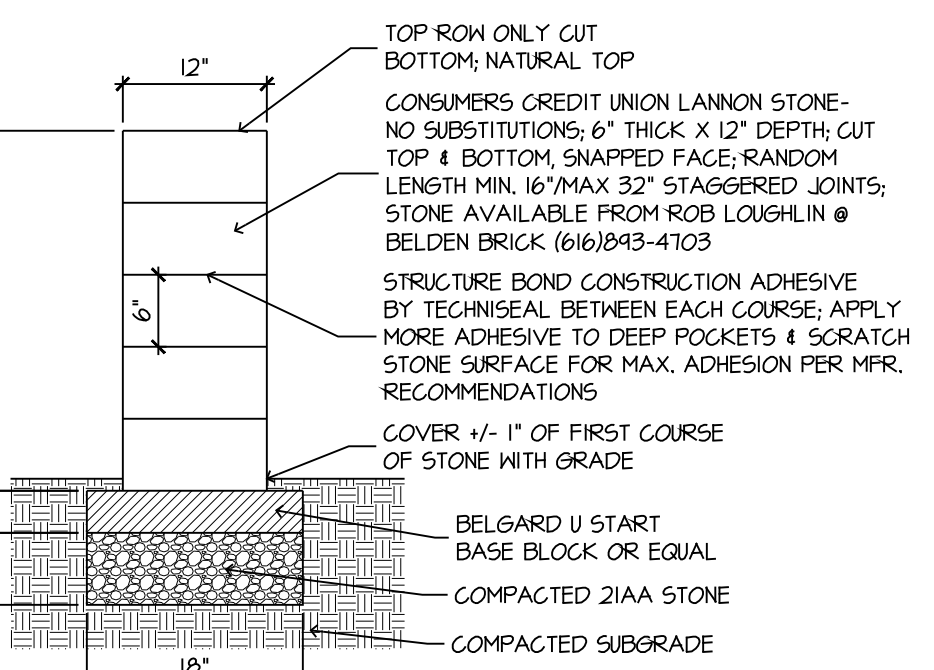
16 TYPICAL INLET PROTECTION - FABRIC DROP
SCALE: 1/2" = 1'-0"



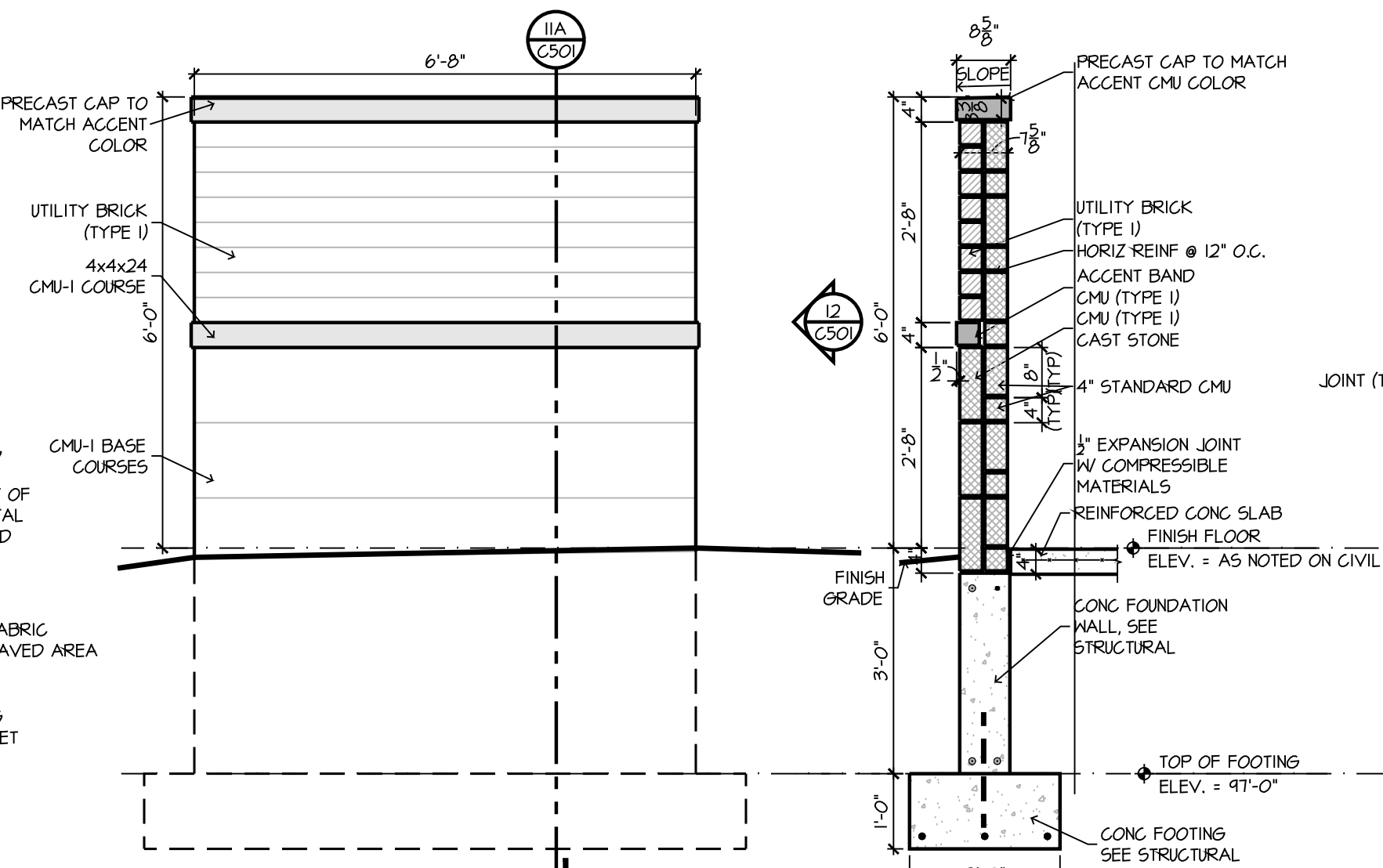
17 LEECHING YARD BASIN
SCALE: 1/4" = 1'-0"



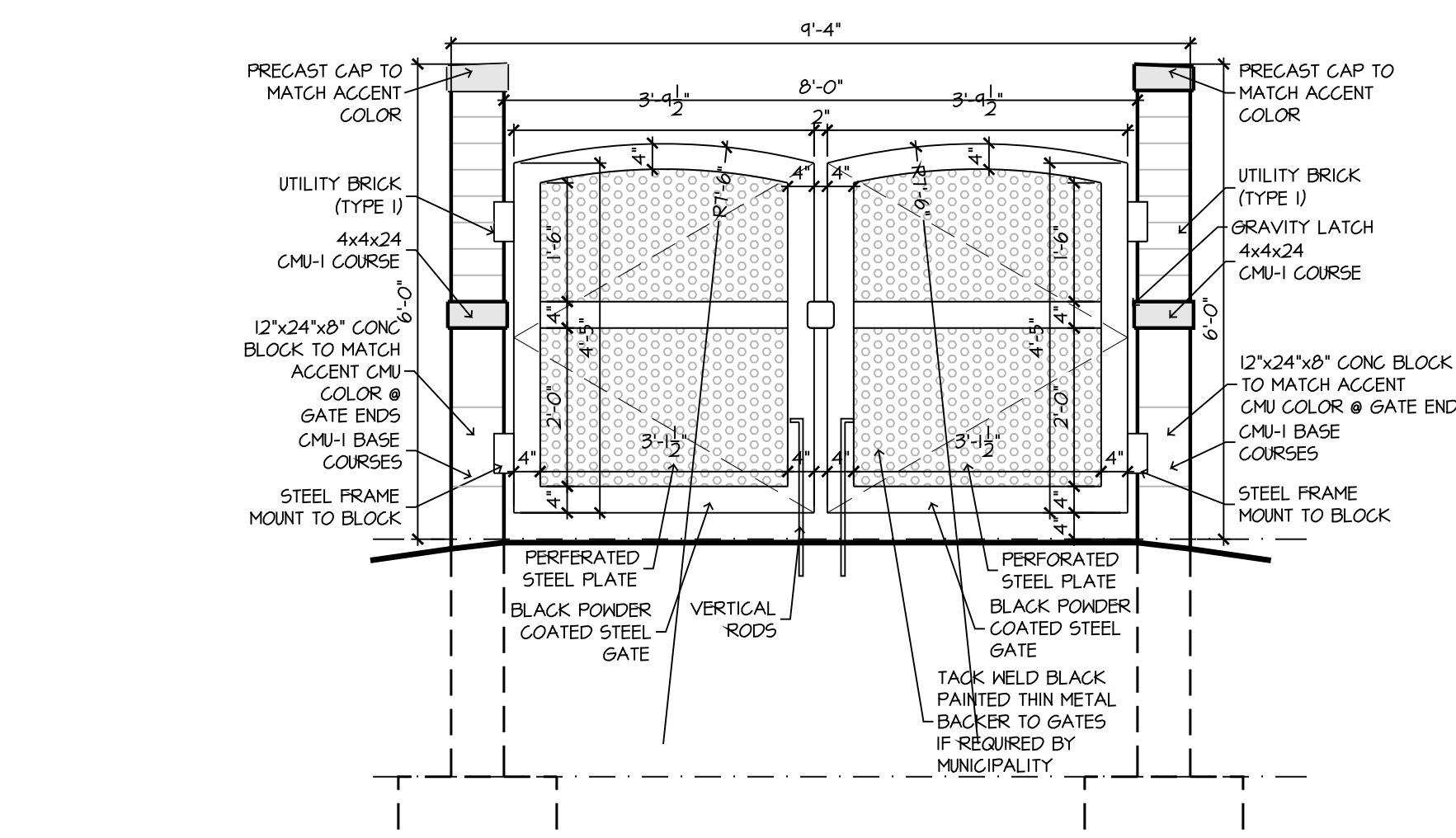
18 ENTRY ENLARGEMENT
SCALE: 1" = 10'



20 STONE WALL DETAIL
SCALE: 3/4" = 1'-0"



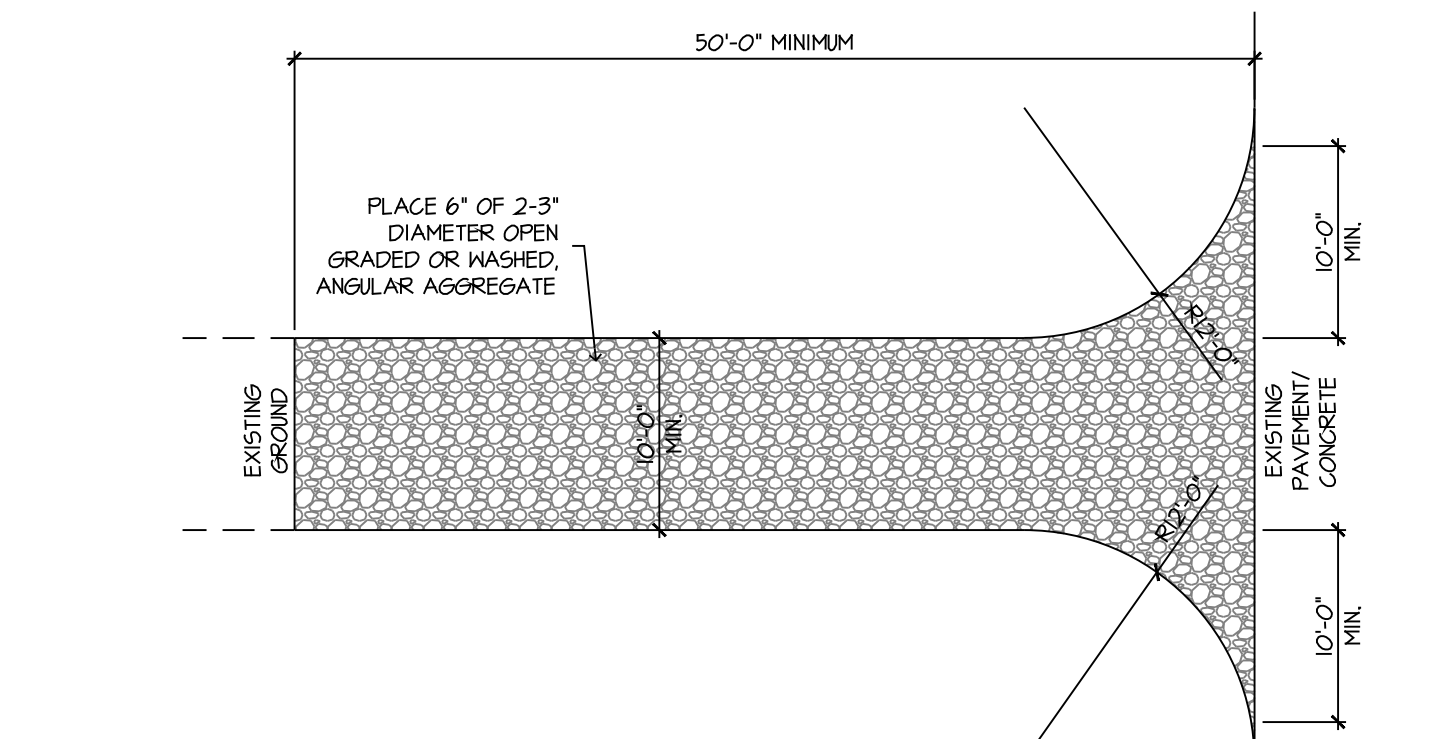
11B DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"



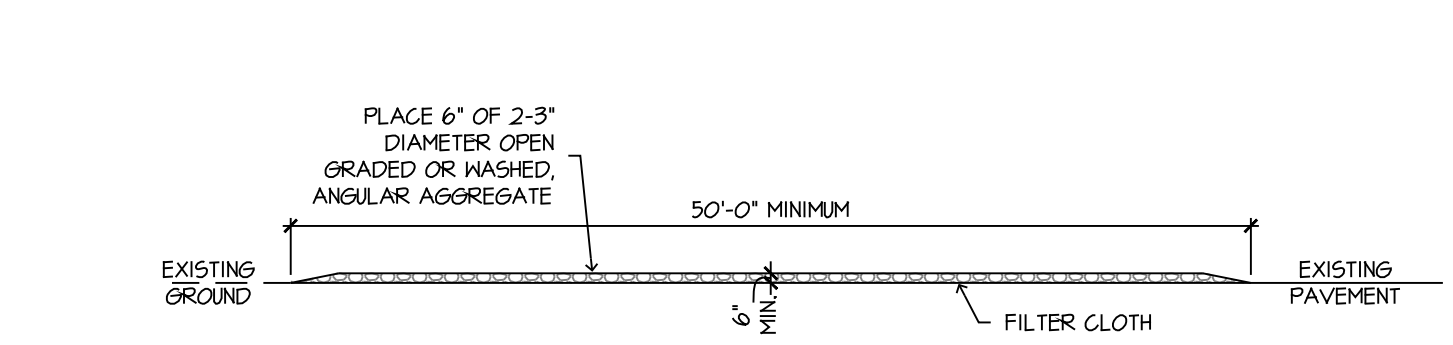
11A DUMPSTER WALL DETAIL
SCALE: 1/2" = 1'-0"



12 DUMPSTER GATE ELEVATION
SCALE: 1/2" = 1'-0"

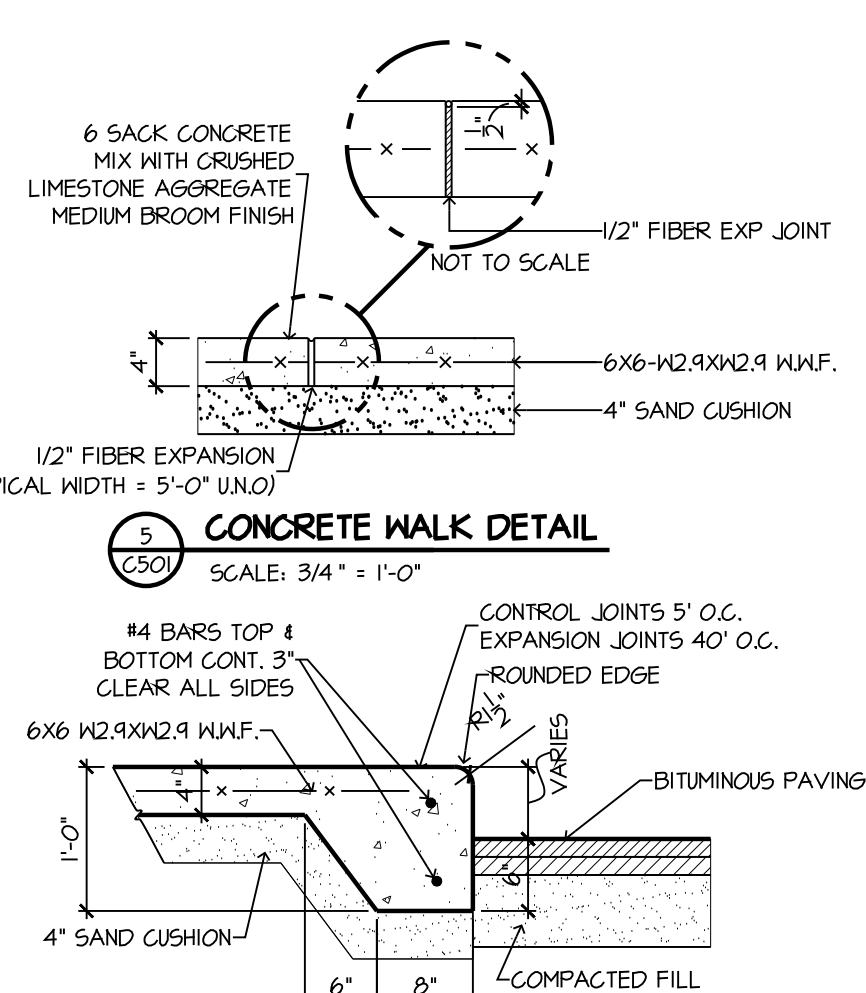


19 STANDARD PLAN VIEW CONSTRUCTION ACCESS ROAD
SCALE: 1" = 10'

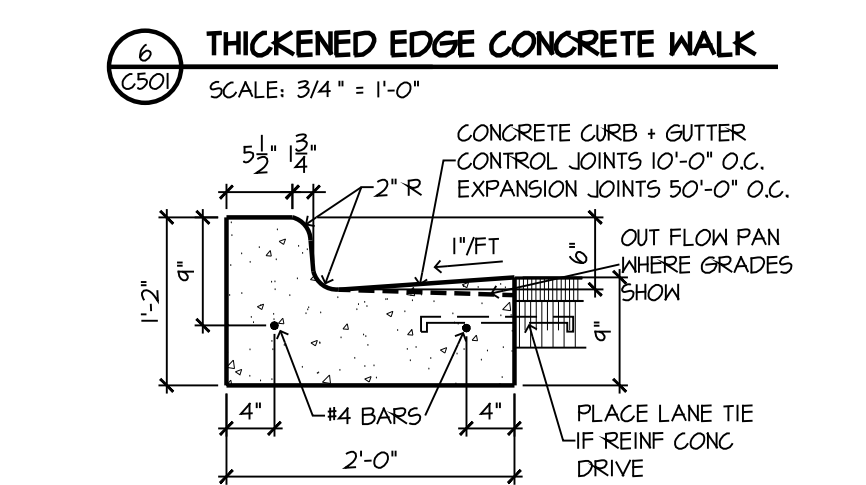


14 STANDARD PROFILE VIEW CONSTRUCTION ACCESS ROAD
SCALE: 1" = 10'

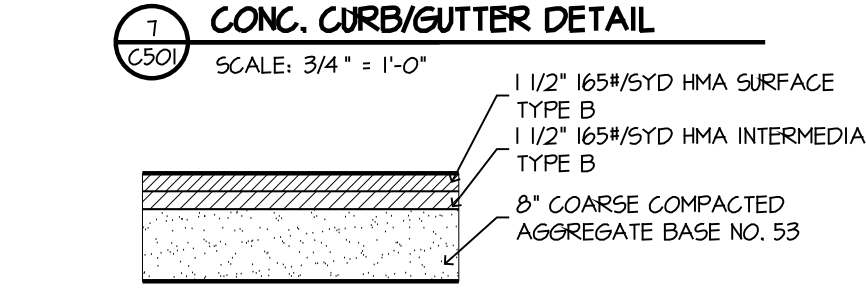
CONSTRUCTION ACCESS ROAD NOTES
SIDE SLOPES TO BE NO STEEPER THAN 2H:1V
UNDERLAY ACCESS ROAD WITH NONWOVEN GEOTEXTILE FABRIC



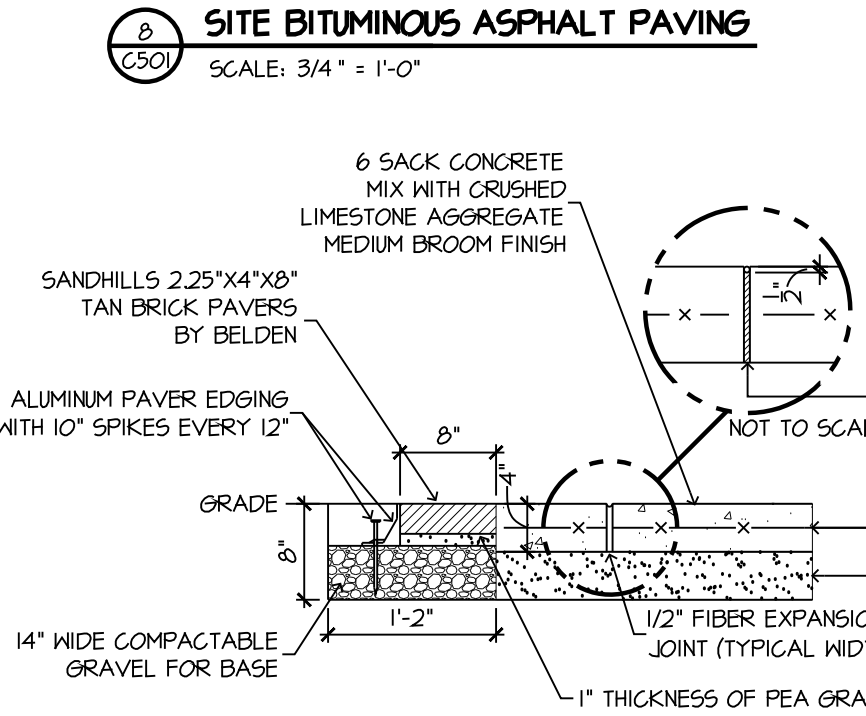
5 CONCRETE WALK DETAIL
SCALE: 3/4" = 1'-0"



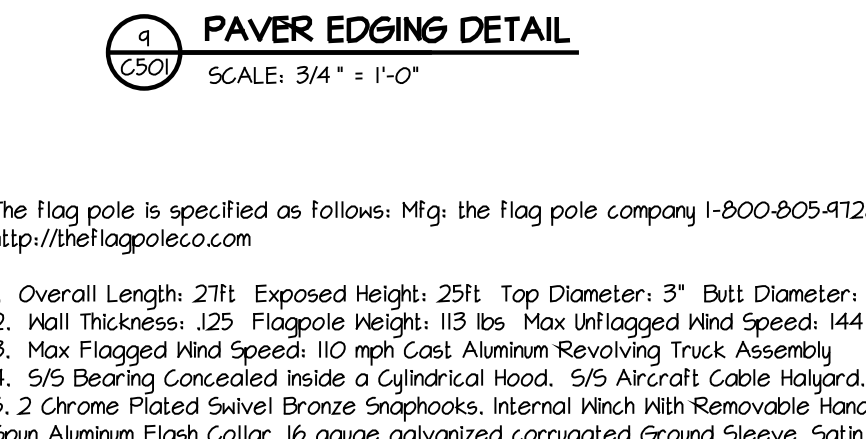
6 THICKENED EDGE CONCRETE WALK
SCALE: 3/4" = 1'-0"



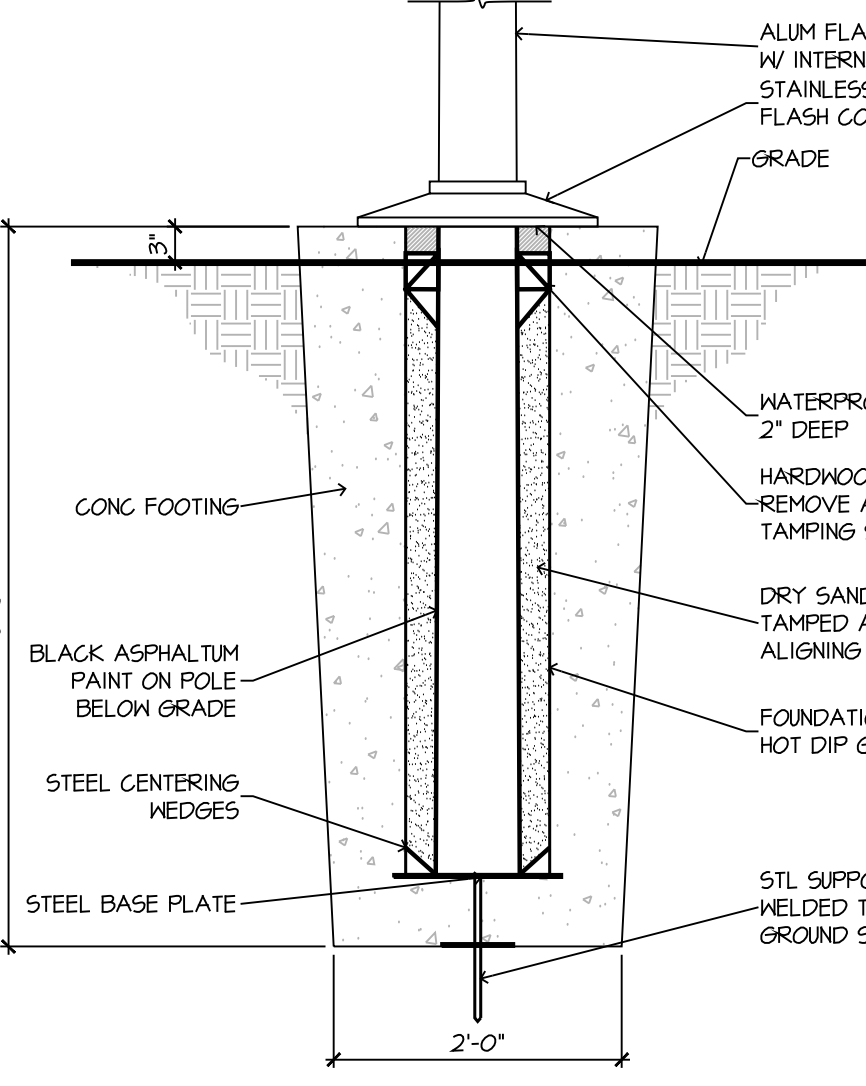
7 CONG. CURB/GUTTER DETAIL
SCALE: 3/4" = 1'-0"



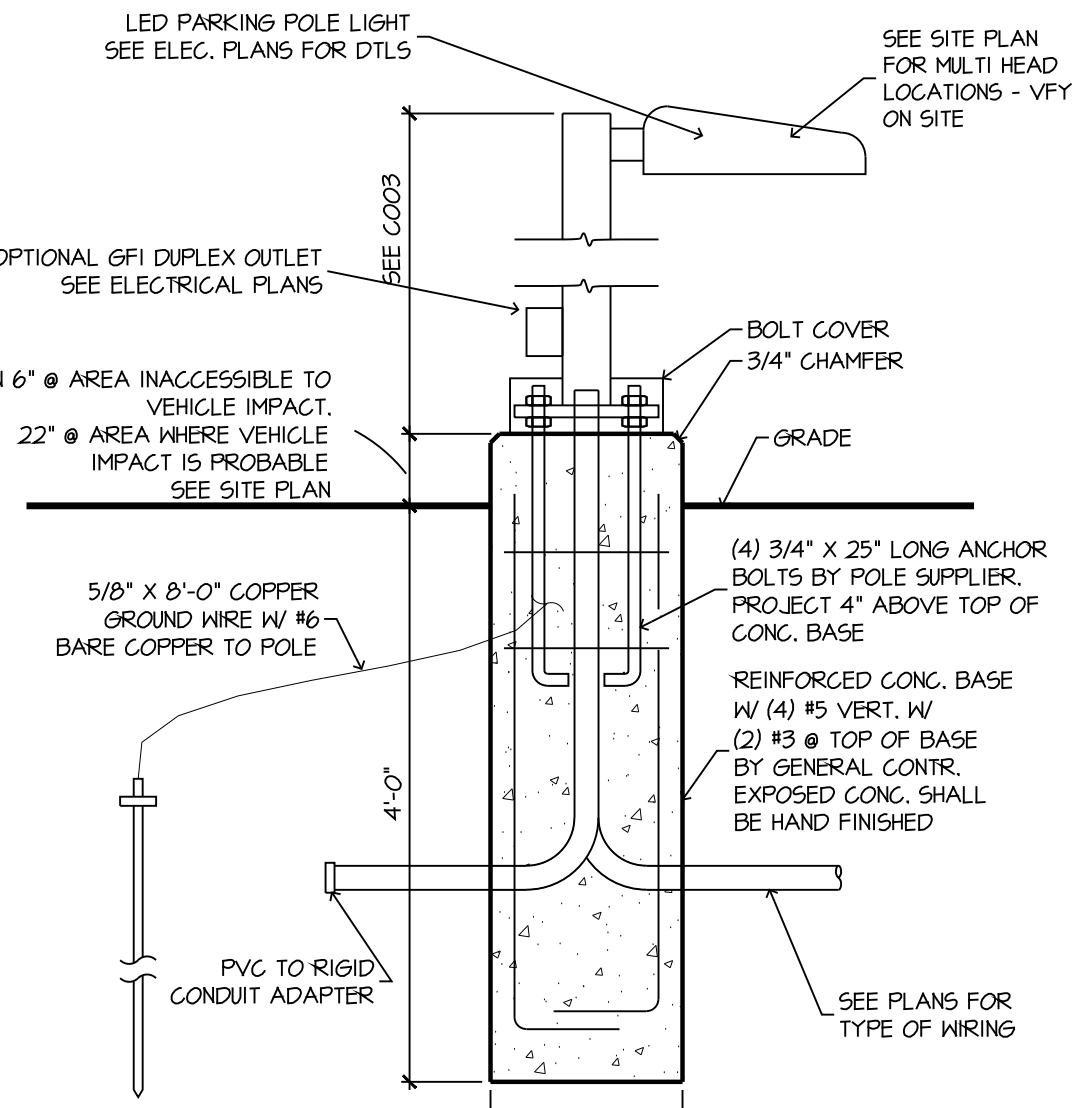
8 SITE BITUMINOUS ASPHALT PAVING
SCALE: 3/4" = 1'-0"



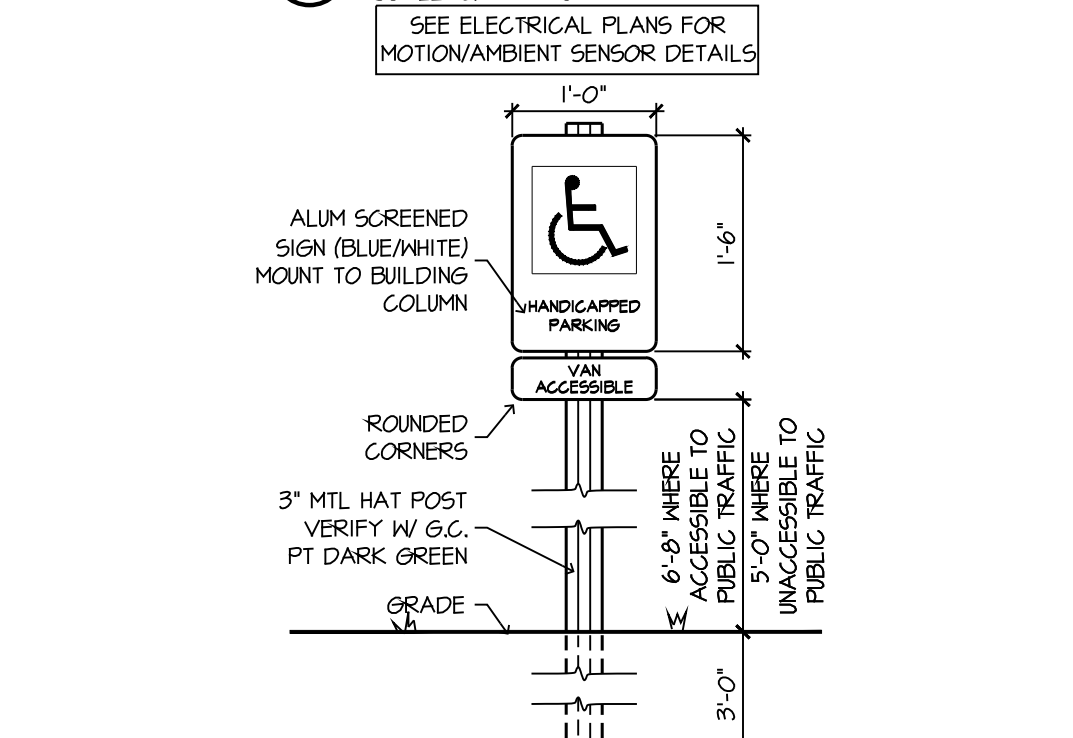
9 PAVER EDGING DETAIL
SCALE: 3/4" = 1'-0"



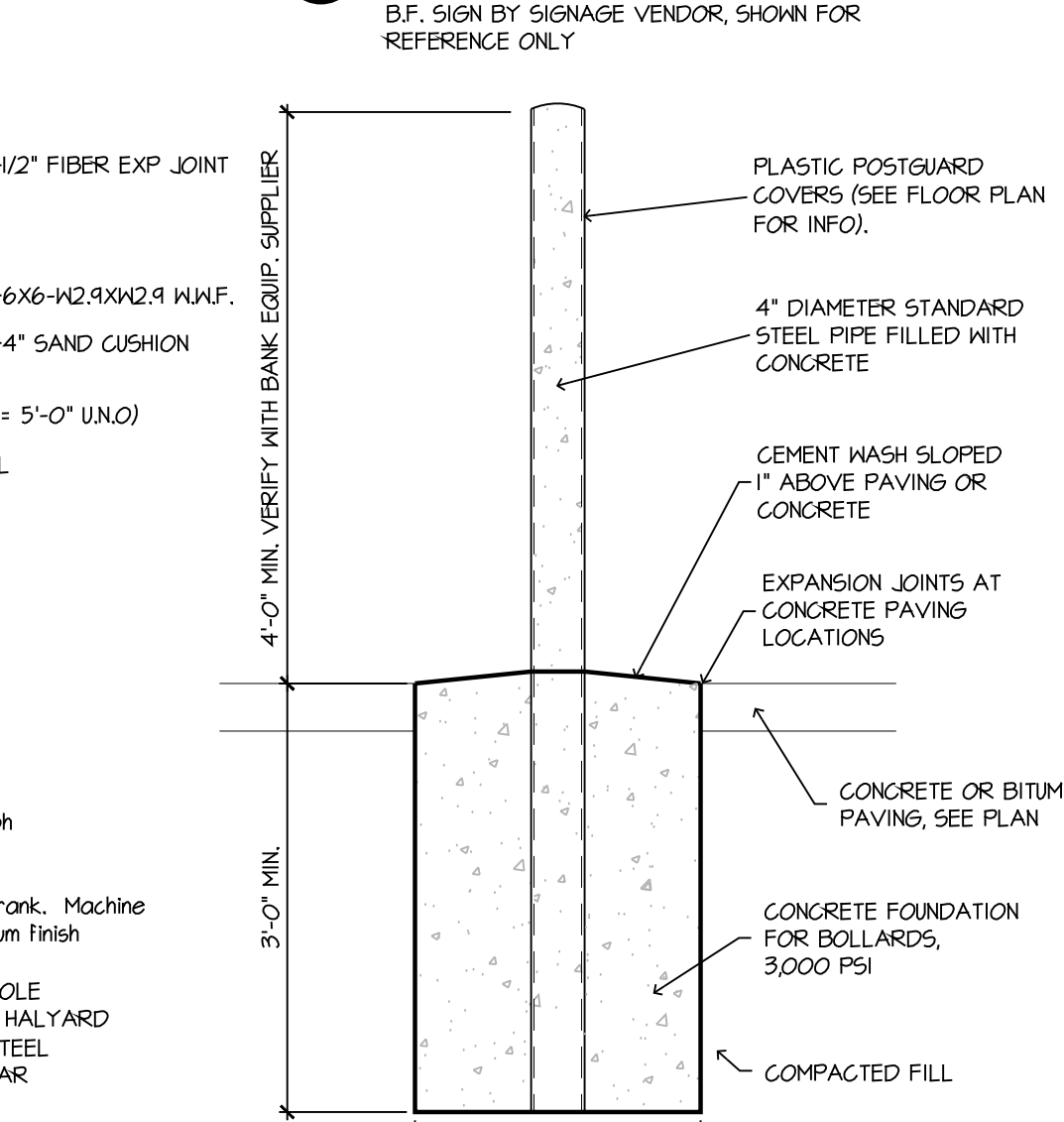
10 FLAG POLE BASE DETAIL
SCALE: 3/4" = 1'-0"



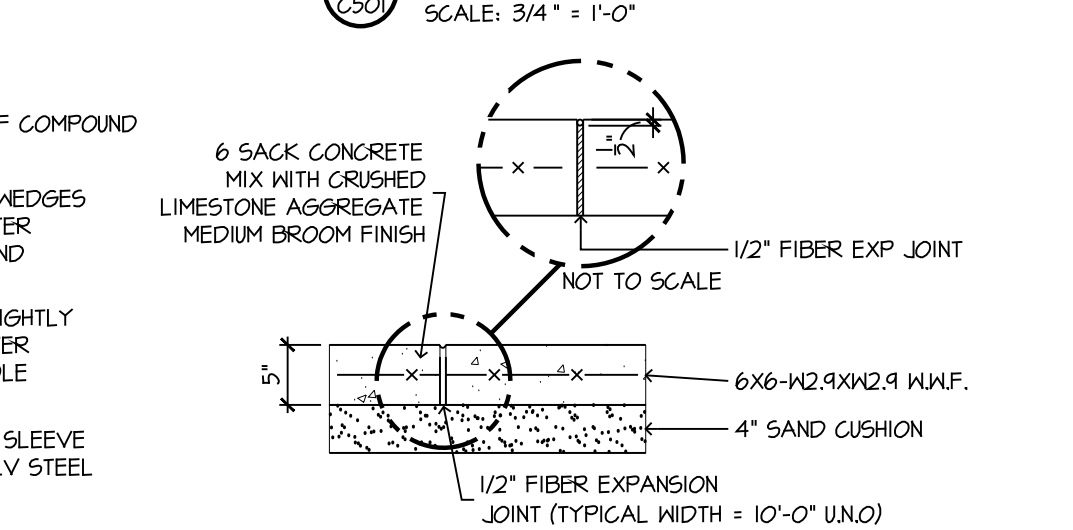
1 POLE BASE DETAIL AT GRADE
SCALE: 3/4" = 1'-0"



2 TYPICAL B.F. PARKING SIGN
SCALE: 3/4" = 1'-0"



3 PIPE BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



4 5\"/>

CONCRETE SLAB FOR CANOPIES TO BE PRISM CORP. STRENGTH INTEGRAL COLORS: COAL DARK. ALLOW TO CURE FOR 30 DAYS, THEN AGED AND POWER WASH AND SEAL. CONCRETE ISLANDS & CURBS TO BE NATURAL CONCRETE COLOR.

PLANT LIST

KEY	BOTANIC NAME	COMMON NAME	SIZE	QTY
CANOPY TREES				
Ar	Acer rubrum 'Bowhall'	Bowhall Red Maple	2 ½" cal. min.	5
Gb	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2 ½" cal. min.	5
Ns	Nyssa sylvatica	Black Gum	2 ½" cal. min.	6
Ov	Ostrya virginiana	Hophornbeam	2 ½" cal. min.	6
ORNAMENTAL TREES:				
Ac	Amelanchier canadensis 'Shadblow'	Shadblow Serviceberry	6-8' ht. min.	1
Cc	Cercis canadensis	Eastern Redbud	6-8' ht. min.	3
Cf	Cornus florida	Flowering Dogwood	6-8' ht. min.	4
EVERGREEN SHRUBS:				
Bg	Buxus 'Green Velvet'	Green Velvet Boxwood	3 gallon	15
Iv	Ilex verticillata 'Red Sprite'	Red Sprite Holly	5 gallon	4
Id	Ilex verticillata 'Jim Dandy'	Jim Dandy Holly	5 gallon	1
DECIDUOUS SHRUBS:				
Hb	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	24" ht. min.	10
Hm	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	5 gallon	5
Rm	Rosa 'Novarosop'	Popcorn Drift Rose	3 gallon	6
Sj	Spiraea japonica 'Goldflame'	Goldflame Spirea	3 gallon	20
Wf	Weigela florida 'Wine and Roses'	Wine and Roses Weigela	5 gallon	4
PERENNIALS/ORNAMENTAL GRASSES				
As	Allium Summer 'Peek-A-Boo'	Summer Peek-A-Boo Ornamental Onion	1 gallon	14
Aq	Asilbea x grandisil 'Ice Cream'	Ice Cream Asilbea	1 gallon	14
Hh	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gallon	51
Hp	Hosta 'Patriot'	Patriot Hosta	1 gallon	15
Pa	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	1 gallon	18
Ss	Schizachrium scoparium 'Free Spirit Band of Gold Band of Gold Little Bluestem'	Free Spirit Band of Gold Little Bluestem	1 gallon	11

***QUANTITIES PROVIDED FOR INFORMATIONAL PURPOSES ONLY; CONTRACTOR RESPONSIBLE FOR FURNISHING PLANT MATERIAL AS DESCRIBED ON PLAN

LANDSCAPING NOTES

- COMPLY WITH ALL CITY OF DOUGLAS STANDARDS.
- ALL LANDSCAPING TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR
- ALL PLANTINGS, INCLUDING TREES IN LAWN AREAS, SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH, INCLUDE ALUMINUM EDGING.
- INSTALL 42" TREE RING AROUND ALL TREES IN LAWN AREAS.
- 6" MINIMUM TOPSOIL DEPTH IN ALL SEEDED AREAS AND 10-12" DEPTH IN PLANTING BEDS.
- AMEND EXISTING SITE TOPSOIL WITH ORGANICS FOR STANDARD PLANTING MIX.
- SEED MIX TO BE 60% BLUEGRASS, 30% PERENNIAL RYE AND 10% FESCUE.
- ONE YEAR WARRANTY ON LAWN AND PLANTS/TREES.
- 4" x 1/2" MILL FINISH ALUMINUM EDGING AT ALL PLANTING BEDS AND TREE RINGS, UNLESS OTHERWISE NOTED, USE 5 STAKES PER 10' SECTION.
- ALL LAWN AND SHRUB AREAS TO BE IRRIGATED. IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY LANDSCAPE CONTRACTOR IN ACCORDANCE WITH CITY AND TOWNSHIP STANDARDS AND THE MICHIGAN PLUMBING CODE. SHRUB AREAS SHALL HAVE DRIP IRRIGATION. TIE TO PLUMBER SUPPLIED WATER METER IN BUILDING.
- PLANT MATERIALS SHALL BE CHOSEN AND INSTALLED IN ACCORDANCE WITH STANDARDS RECOMMENDED BY THE AMERICAN NURSERY ASSOCIATION.
- ALL DISEASED, DAMAGED OR DEAD PLANT MATERIAL SHALL BE REPLACED PER CITY OF DOUGLAS ZONING ORDINANCE.

LANDSCAPING REQUIREMENTS

- PARKING LOT LANDSCAPING:
PARKING LOTS WITH A CAPACITY OF FOUR OR MORE VEHICLES SHALL HAVE (1) TREE FOR EVERY 8 PARKING SPACES WITH A MINIMUM LANDSCAPED SPACE OF 50 SF.
8 PARKING SPACES PROPOSED = (1) TREE + 50 SF LANDSCAPE SPACE REQUIRED / (1) TREE + 683 SF OF LANDSCAPED SPACE WITH 214 SF OF DEEP ROOTED PERENNIAL LANDSCAPE AREA PROVIDED

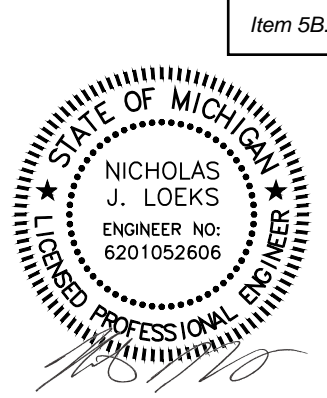
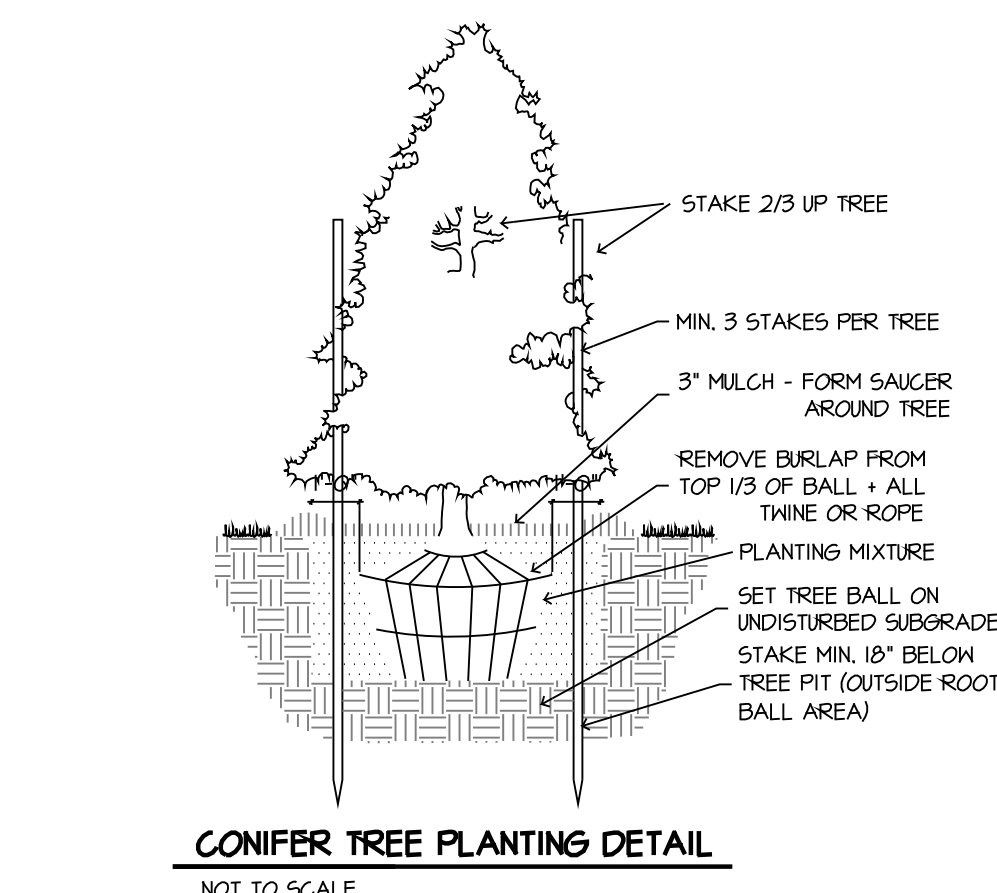
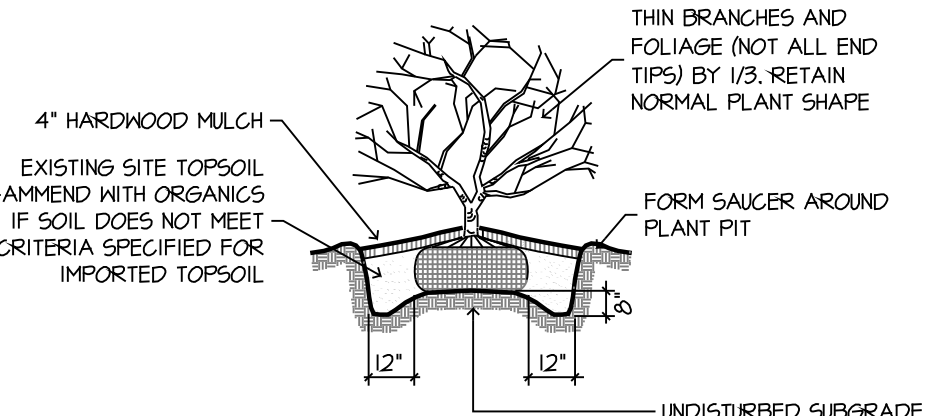
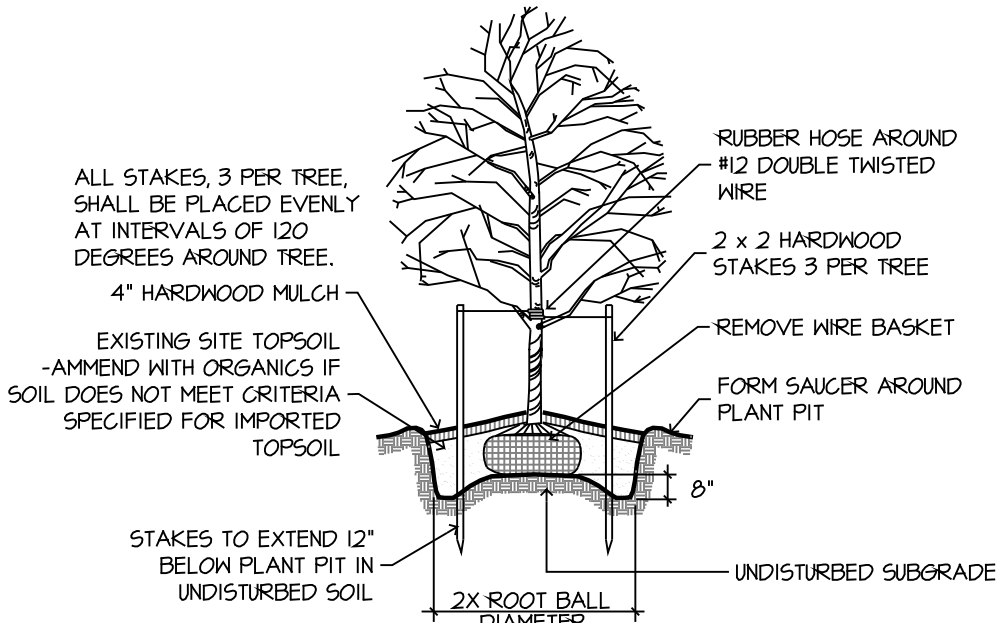
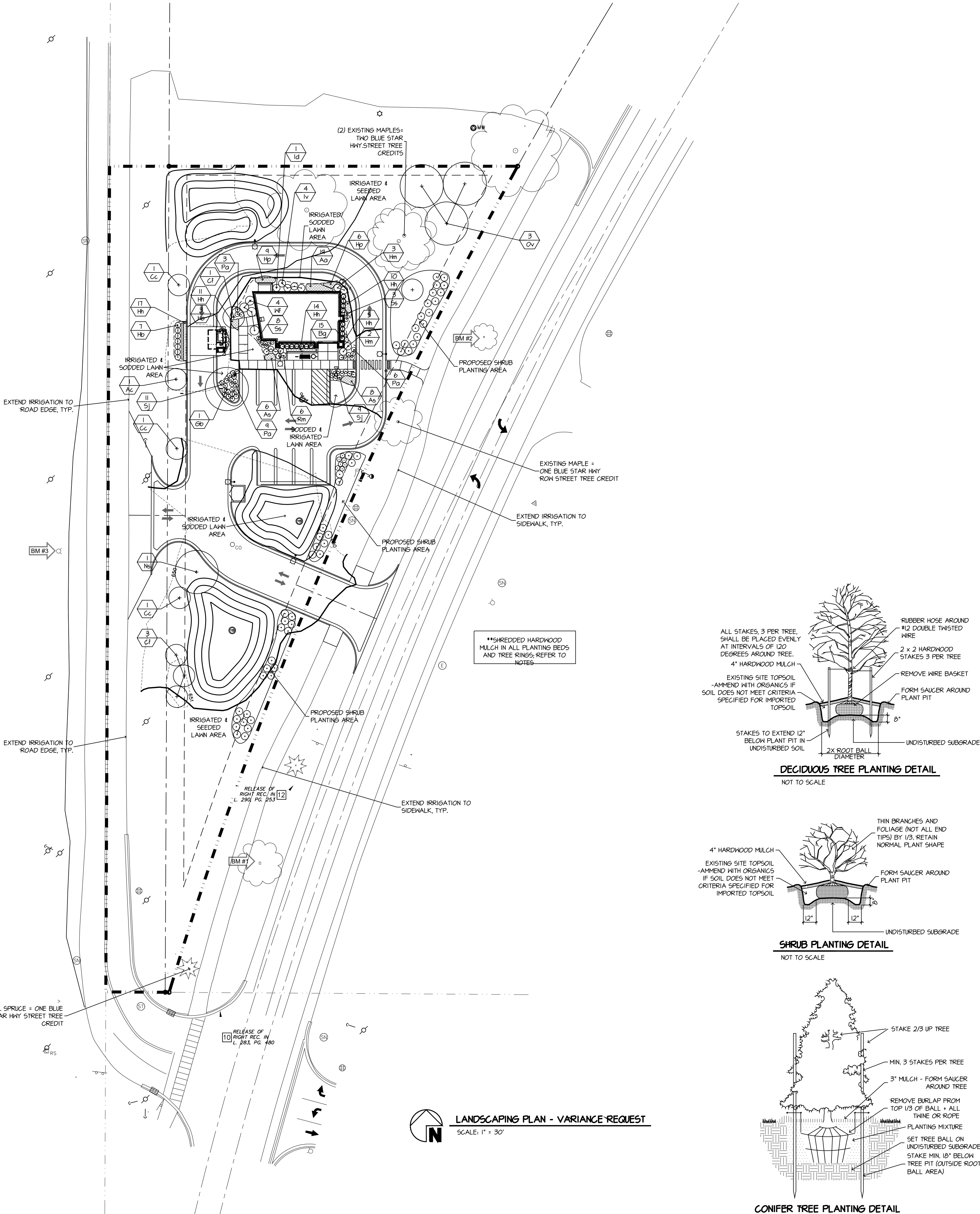
PARKING LOT SCREENING REQUIRED WHEN ABUTTING A RESIDENTIALLY ZONED PARCEL - NOT APPLICABLE, PROPERTY ABUTS LIKE ZONED PARCEL

PARKING LOT SCREENING REQUIRED WHEN ADJACENT TO A PUBLIC RIGHT OF WAY - PROPOSED PARKING IS NOT ADJACENT TO PUBLIC ROW
- SITE LANDSCAPING
BOUNDARY SCREENING REQUIRED WHEN A NONRESIDENTIAL USE ABUTS A RESIDENTIALLY ZONED/USE PROPERTY - NOT APPLICABLE, PROPERTY ABUTS LIKE ZONED PARCEL

LANDSCAPING ALONG PUBLIC RIGHTS OF WAY TO INCLUDE (1) TREE 15' IN HT. OR 3" CALIPER (WHICHEVER IS GREATER) FOR EACH 30 LF OF FRONTAGE
FERRY STREET RIGHT OF WAY:
458 LF FRONTAGE / 30 = (15) TREES REQUIRED, (DUE TO PROXIMITY TO OVERHEAD POWER LINES AND EASEMENT) (1) CANOPY TREES AND (1) ORNAMENTAL TREES USED TO SATISFY REQUIREMENTS (REDUCTION OF 7 REQUIRED TREES)
BLUE STAR HIGHWAY RIGHT OF WAY:
500 LF / 30 = (17) TREES REQUIRED / (4) EXISTING TREES + 4 NEW TREES PROVIDED (REDUCTION OF 9 REQUIRED TREES) ADDITIONAL SHRUB AREAS PROPOSED IN LIEU OF TREES AS SHOWN

KEY

- ALUMINUM EDGING- SEE NOTES ABOVE FOR INSTALLATION
- CANOPY TREE - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION
- ORNAMENTAL TREE - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION
- DECIDUOUS SHRUB - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION
- EVERGREEN SHRUB - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION
- PERENNIAL/ORNAMENTAL GRASS REFER TO NOTES ABOVE



Consumers Douglas
312 S Ferry Street, Douglas, MI 49406

2025-07-01 VARIANCE REQUEST
2025-07-30 FOR ALL LEGAL COUNTY DEAN REVIEW

ISSUED

bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

PV 25007
Evan Noyes - Variance Design
25007-003 - Variance Design

8005 Ingrand Parkway
Douglas, MI 49406
(269) 361-5651
Boscharch.com

Loop
LANDSCAPING PLAN

Provide a complete site lawn and planting bed irrigation system, consisting of valves, water lines, sprinkler heads, drip tubing, and controller to adequately cover all lawn and plant beds. Plant beds to be in-line drip irrigation tubing, valved separately from the lawn zones. Controller to be installed on the exterior wall with the ability to be locked, with outlet supplied by electricity. Need to have the ability for all winterization to be done completely from the exterior of the building. The system into 1" backflow prevention device supplied and installed by plumber. Poly pipe may be substituted for PVC pipe specified in details. Sleeves not in irrigation contract, sleeves installed by Elec. contractor. Irrigation to be installed from back of curb to back of curb around entire site including right of way areas.

ELECTRO-MECHANICAL CONTROLLERS

Model A ESP-4H
The controller shall be of a hybrid type that combines electro-mechanical and microelectronic circuitry capable of fully automatic or manual operation. The controller shall be housed in a wall-mountable, weather resistant plastic cabinet with a key-locking cabinet door (outdoor models only) suitable for either indoor or outdoor installation.

The controller shall have a base unit with 4 stations as well as three expansion slots capable of receiving station modules of three stations each to create a controller of up to 13 stations. Station 13 shall be called an "auxiliary station" and shall have the capability of bypassing an active rain sensor or of functioning as a normal station output. Station timing shall be from 0 minutes to 6 hours. Run time resolution shall be in 1-minute increments from 0 to 54 minutes and 10 minutes from 1 to 6 hours. The LCD shall display "No Run Times" or equivalent icon for 230 VAC models if no run time has been entered for any station in any program.

The controller shall have three separate and independent programs which can have different start times, station timing and watering days. Each program shall have up to 4 start times available. The controller shall stack multiple start times in sequence to prevent hydraulic overload. The LCD shall display "No Start Times" or the equivalent icon for 230VAC models if no start time has been entered for any program. The controller shall be capable of operating two 24 VAC solenoid valves per station plus a master valve or remote pump start relay. The controller shall operate on 120 VAC ± 20% at 60Hz (230VAC ± 20% at 50Hz for international models). The controller shall have an electronic, diagnostic circuit breaker that shall sense a station with an electrical overload or short circuit and shall bypass that station and continue operating all other stations.

The controller shall have a 365-day calendar with a permanent day off feature that allows a day(s) of the week to be turned OFF on any cycle (odd/even-3/day cycle). A day set to "Permanent Off" shall override the normal repeating schedule and shall display the words "Day Always Off/Day Off" in the LCD screen. The controller shall have a seasonal adjust feature adjustable from 0% to 200% in increments of 10%. Seasonal adjust shall effect all programs simultaneously. If seasonal adjust is set to 0% the LCD shall display "SEASONAL ADJ." (equivalent icon for 230 VAC models).

The controller shall have a 12-hour AM/PM or 24 hour military (for 230VAC models) clock with a midnight day change over. The controller shall have a sensor circuit for connection to a rain sensor or to an underground moisture sensor system that will interrupt a scheduled watering under "wet" or "moist" conditions. The controller shall have an indicator on the LCD screen and one LED light to indicate that a sensor is connected and active and that watering has been temporarily disabled.

The controller shall have access to a variety of "hidden features" by turning the dial to a specific location on the dial and pushing the ON OFF buttons simultaneously. These features shall include: 1) save a custom default program 2) retrieve a custom default program 3) bypass an active rain sensor on the Auxiliary Station 4) allow the Auxiliary station to be interpreted by an active rain sensor 5) Clear memory 6) Set a day to "Permanently Off" 7) Set master valve/pump start circuit by station 8) Set programmable delay between station.

The controller shall have the following manual operations and manual advances for semi-automatic control:

1. Run a single valve
2. Run multiple manually stacked valves
3. Run a semi-automatic program
4. Run a test on all valves (all stations with any time assigned regardless of the program) from 1 to 10 minutes

The controller shall have a removable, battery programmable front panel (uses a 9 volt battery (not included) for conveniently programming the controller away from the installation site or for teaching irrigation scheduling.

The controller shall have the capacity for the program to be erased allowing the user to start programming with a blank controller. The controller shall have multiple knockouts, sizes and locations, including the back of the cabinet, to facilitate installation and provide a clean professional look. The controller shall have a factory default program that runs 10 minutes every day beginning 8 hours after power resumption.

The controller shall have a reset button to reset the controller in the case of micro-controller block-up due to power surges or frequent interruption to the power supply.

The controller shall be as manufactured by Rain Bird Corporation, Azusa, California.

5000 Plus Series Full and Reversing Full Port Circle Sprinkler Specifications

The full and/or part circle sprinkler shall be a single stem, water lubricated, gear drive type. The sprinkler shall have a flow shut-off device that is integrated into the flow path of the rotor as well as adjustable arc coverage of 40 to 360 degrees. Arc adjustment can be performed with or without the sprinkler in operation and shall require only a flat-blade screwdriver.

The sprinkler shall have a smoothed flow path entrance to enhance the flow characteristics of the rotor. In addition, the sprinkler shall feature a flow path to nozzle bore transition radius to minimize pressure loss and assure peak nozzle radius is achieved.

The sprinkler shall have a pressure activated multi-function wiper seal that positively seals against the pop-up stem to keep debris out of the rotor and to clean debris from the pop-up stem as it retracts. This wiper seal shall prevent sprinkler from sticking up, and be capable of sealing the sprinkler cap to sprinkler body under normal operating pressures.

The sprinkler shall have a screen installed in the pop-up stem to filter inlet water, protect the drive from clogging and simplify its removal for cleaning and flushing of the system. It shall have a 3/4" (FNT) bottom inlet.

The sprinkler shall have a standard green rubber cover and a strong stainless steel retract spring for positive pop down. Pop-up height as measured from the top of the cap at normal installation to the middle of the nozzle orifice shall be 4".

The sprinkler shall have 12 interchangeable nozzles: 8 Rain Curtain nozzles for superior coverage and 4 Low Angle nozzles for reduced radius of throw and superior wind resistance with all nozzles containing Micro-Ramp for superior close-in watering. The angle of trajectory shall be 25 degrees for the Rain Curtain nozzles and 10 degrees for the low angle nozzles. The sprinkler shall come with a stainless steel adjusting screw capable of reducing the radius up to 25%.

The sprinkler shall be as manufactured by Rain Bird Corporation, Azusa, California.

SPRAY HEADS

1B02, 1B03, 1B04, 1B06, and 1B12 Pop-up Full or Part Circle Spray Sprinkler

The sprinkler body, stem, nozzle, and screen shall be constructed of heavy-duty ultra-violet resistant plastic. It shall have a heavy-duty stainless steel retract spring for positive pop-down and a ratcheting system for easy alignment of the pattern. The sprinkler shall have a soft elastomer pressure activated cone-molded wiper seal for cleaning debris from the pop-up stem as it retracts into the case to prevent the sprinkler from sticking up and to minimize "flow-by".

The sprinkler shall have a matched precipitation rate (MPR) plastic or brass nozzle with an adjusting screw capable of regulating the radius and flow. The sprinkler shall be capable of housing protective, non-clogging filter screens or pressure compensating screens (PCS) under the nozzles. The filter screen shall be used in conjunction with the adjusting screw for regulating. The 6" (15 cm) and 12" (30 cm) models shall have both a side and bottom 1/2" (12.7mm) Female National Pipe Thread inlet (FNT) for ease of installation.

The sprinkler shall have a Pop-Up (TM) Flush Plug pre-installed. The plug shall prevent debris from clogging the sprinkler during installation and allow for system to be flushed before nozzle. The plug shall be bright orange in color and constructed of polypropylene material.

The sprinkler shall be as manufactured by Rain Bird Corporation, Azusa, California

ELECTRIC REMOTE CONTROL VALVES

100-PGA 150-PGA 200-PGA Electric Remote Control Plastic Globe/Angle Valve With Optional PRS-D Pressure Regulating Feature

The electric remote control valve shall be a normally closed 24 VAC 50/60 Hz (cycles/second) solenoid actuated globe/angle pattern design.

The valve pressure rating shall not be less than ISO PSI (10.35) Bars.

The valve body and bonnet shall be constructed of high impact, weather resistant PVC with stainless steel screws.

The valve shall have manual open/close control (internal bleed) for manually opening and closing the valve without electrically energizing the solenoid. The valve's internal bleed shall prevent flooding of the valve box.

The valve shall have a fully-encapsulated, one-piece solenoid. The solenoid shall have a captured plunger with a removable relation for easy servicing and a leverage handle for easy turning. This 24 VAC 50/60 Hz solenoid shall open with 1/16 VAC minimum at 150 PSI (10.35 bar). At 24 VAC, average inrush current shall not exceed 0.41 amps. Average holding current shall not exceed 0.28 amps.

The valve shall have a flow control stem for accurate manual regulation and/or shut off of outlet flow. The valve must open or close in less than 1 minute at 150 PSI (10.35 bar), and less than 30 seconds at 20 PSI (1.38 bar).

The valve construction shall provide for all internal parts to be removable from the top of the valve without disturbing the valve installation. The body shall have a removable O-ringed plug for installation in either globe or angle configuration.

The valve shall be as manufactured by Rain Bird Corporation, Azusa, California.

DRIP IRRIGATION COMPONENTS

A. Rain Bird Control Zone Kits

1. General Information

- a. Provide control zone kits manufactured by Rain Bird as indicated on construction drawings.
- b. Control zone kit assemblies for dripline irrigation zones must include control valve, filtration, and pressure regulation components sized to meet the hydraulic demands and flow requirements of the zones that they service.

2. Rain Bird Low Flow Control Zone Kit for dripline zones with flows from 0.2 to 5.0 GPM (0.8 to 18.8 lpm), including low flow valve (LFV) and pressure regulating filter (PRF).

a. Available model numbers:

- 1) XCZ-OT5-PRF [3/4" (14 mm) Low Flow valve and 3/4" (14 mm) PR Filter]
- 2) XCZ-L-100-PRF [1" (25 mm) Low Flow valve and 3/4" (14 mm) PR Filter]
- 3) XACZ-OT5-PRF [3/4" (14 mm) Low Flow Anti-siphon valve and 3/4" (14 mm) PR Filter]
- b. Low Flow Valve (LFV) component specifications include:
 - 1) Valve body and bonnet constructed of high impact, weather-resistant plastic, stainless steel and other chemical/UV resistant materials
 - 2) Diaphragm with a double-knife seal, constructed of durable Buna-N rubber with a clog-resistant metering orifice
 - 3) Energy-efficient, low-power encapsulated solenoid with captured plunger and 40 mesh (200 micron) solenoid filter
 - 4) External bleed for manual system flushing during start-up, internal bleed for manual zone activation during maintenance operations
 - 5) Inlet pressure rating: 20 to 120 PSI (1.4 to 8.3 bar)
 - 6) Female threaded inlet and outlet connections
 - 7) Anti-siphon valve configuration includes listed features and incorporates atmospheric vacuum breaker with IAPMO and A.S.S.E. listing approval

c. Pressure Regulating Filter (PRF) combines filtration and pressure regulation in one integrated unit for protection of downstream components of drip irrigation system. PRF component specifications include:

- 1) Compact "Y" filter body and cap configuration constructed of glass-filled, UV-resistant polypropylene, with 120 PSI (8.3 bar) operating pressure rating. Maximum dimensions of filter body Height: 4 1/2" (114 cm), Length: 5 1/2" (14 cm), Width: 2" (51 cm)
- 2) Standard 200 mesh (75 micron) filter screen constructed of durable polyester fabric attached to propylene frame. Screen is serviceable for cleaning purposes by unscrewing cap from filter body and removing filter element.
- 3) Normally-open pressure regulating device with preset outlet pressure of approximately 30 PSI (2 bar). Pressure regulating device allows full flow with minimal pressure loss unless inlet pressure is greater than preset level. As inlet pressure increases above preset level, internal spring compresses to reduce downstream pressure.
- 4) Male threaded 3/4" (14 mm) inlet and outlet connections.

(or)

3. Rain Bird Medium Flow Control Zone Kit for dripline zones with flows from 3.0 to 15.0 GPM (11.4 to 56.8 lpm), including Rain Bird DV or ASVF valve and pressure regulating filter (PRF).

a. Available model numbers:

- 1) XCZ-100-PRF [1" (25 mm) DV valve and 1" (25 mm) PR Filter]
- 2) XACZ-100-PRF [1" (25 mm) Anti-siphon Valve and 1" (25 mm) PR Filter]
- b. DV Valve component specifications include:
 - 1) Valve body and bonnet constructed of high impact, weather-resistant plastic, stainless steel and other chemical/UV resistant materials
 - 2) Diaphragm with a double-knife seal, constructed of durable Buna-N rubber with a clog-resistant metering orifice
 - 3) Energy-efficient, low-power encapsulated solenoid with captured plunger and 40 mesh (200 micron) solenoid filter
 - 4) External bleed for manual system flushing during start-up, internal bleed for manual zone activation during maintenance operations
 - 5) Inlet pressure rating: 20 to 120 PSI (1.4 to 8.3 bar)
 - 6) Female threaded inlet and outlet connections
 - 7) Anti-siphon valve configuration includes listed features and incorporates atmospheric vacuum breaker with IAPMO and A.S.S.E. listing approval

c. Pressure Regulating Filter (PRF) combines filtration and pressure regulation in one integrated unit for protection of downstream components of drip irrigation system. PRF component specifications include:

- 1) Compact "Y" filter body and cap configuration constructed of glass-filled, UV-resistant polypropylene, with 120 PSI (8.3 bar) operating pressure rating. Maximum dimensions of filter body Height: 4 1/2" (114 cm), Length: 5 1/2" (14 cm), Width: 2" (51 cm)
- 2) Standard 200 mesh (75 micron) filter screen constructed of durable polyester fabric attached to propylene frame. Screen is serviceable for cleaning purposes by unscrewing cap from filter body and removing filter element.
- 3) Normally-open pressure regulating device with preset outlet pressure of approximately 40 PSI (2.8 bar). Pressure regulating device allows full flow with minimal pressure loss unless inlet pressure is greater than preset level. As inlet pressure increases above preset level, internal spring compresses to reduce downstream pressure.
- 4) Male threaded 1" (25 mm) inlet and outlet connections.

(or)

4. Rain Bird Medium Flow Commercial Control Zone Kit for dripline zones with flows from 3.0 to 20.0 GPM (11.4 to 75.7 lpm), including PVC ball valve, Rain Bird PESB valve, and Rain Bird pressure regulating quick-check basket filter.

a. Available model numbers:

- 1) XCZ-100-B-COM [1" (25 mm) PVC ball valve, 1" (25 mm) Rain Bird PESB valve, and 1" (25 mm) PRB-QCKCHK pressure regulating basket filter]
- b. PESB valve assembly component specifications include:
 - 1) 1" (25 mm) PVC full-port ball valve with female threaded inlet and outlet connections
 - 2) PESB valve body and bonnet constructed of durable glass-filled nylon, stainless steel and other chemical/UV resistant materials
 - 3) Diaphragm constructed of a durable Buna-N rubber material reinforced with nylon
 - 4) One-piece solenoid with captured plunger and 40 mesh (200 micron) solenoid filter
 - 5) External bleed for manual system flushing during start-up, internal bleed for manual zone activation during maintenance operations
 - 6) Inlet pressure rating: 20 to 200 PSI (1.4 to 13.8 bar)
 - 7) Female threaded inlet and outlet connections

c. Pressure Regulating Quick Check Basket Filter combines filtration and pressure regulation in one integrated unit for protection of downstream components of drip irrigation system. Pressure regulating basket filter component specifications include:

- 1) Basket style body and jar-top cap constructed of heavy-duty glass-filled, UV-resistant polypropylene, with 150 PSI (10.3 bar) operating pressure rating. Maximum dimensions of filter body Height: 6 1/2" (165 cm), Length: 6 1/2" (165 cm), Width: 3 1/2" (89 cm)
- 2) Indicator incorporated into filter cap that changes color from green to red during operation when the filter element requires cleaning.
- 3) Standard 200 mesh (75 micron) filter screen constructed of stainless steel attached to propylene frame. Screen is serviceable for cleaning purposes by unscrewing cap from filter body and removing filter element.
- 4) Normally-open in-line pressure regulating device, constructed of durable, UV resistant, non-corrosive material able to accommodate an inlet pressure rating of not less than 150 PSI (10.3 bar), with preset outlet pressure of approximately 40 PSI (2.8 bar). Pressure regulating device allows full flow with minimal pressure loss unless inlet pressure is greater than preset level. As inlet pressure increases above preset level, internal spring compresses to reduce downstream pressure.
- 5) Male threaded 1" (25 mm) inlet and outlet connections.

B. Rain Bird XF Series Dripline Components

1. General Information

- a. Provide flexible dual-layered pressure-compensating inline XF Series Dripline manufactured by Rain Bird, with emitter spacing and dripline row spacing as indicated on construction drawings.
- b. Provide insert or compression fittings manufactured by Rain Bird that are compatible with inline emitter tubing as indicated on construction drawings.

2. Rain Bird XFD On-Surface Dripline with pressure-compensating inline emitters.

- a. Available Rain Bird XFD On-Surface Dripline model numbers for POTABLE water systems; brown colored dripline tubing with emitter flow rates and spacing as shown:
 - 1) Rain Bird XFD-06-12; 0.6 GPH (2.3 lph) emitters spaced 12" (305 cm) on-center
 - 2) Rain Bird XFD-06-18; 0.6 GPH (2.3 lph) emitters spaced 18" (457 cm) on-center
 - 3) Rain Bird XFD-06-24; 0.6 GPH (2.3 lph) emitters spaced 24" (61 cm) on-center
 - 4) Rain Bird XFD-04-12; 0.4 GPH (3.4 lph) emitters spaced 12" (305 cm) on-center
 - 5) Rain Bird XFD-04-18; 0.4 GPH (3.4 lph) emitters spaced 18" (457 cm) on-center
 - 6) Rain Bird XFD-04-24; 0.4 GPH (3.4 lph) emitters spaced 24" (61 cm) on-center

b. Available Rain Bird XFDP On-Surface Dripline model numbers for NON-POTABLE water systems; purple colored dripline tubing with emitter flow rates and spacing as shown:

- 1) Rain Bird XFDP-06-12; 0.6 GPH (2.3 lph) emitters spaced 12" (305 cm) on-center
- 2) Rain Bird XFDP-06-18; 0.6 GPH (2.3 lph) emitters spaced 18" (457 cm) on-center
- 3) Rain Bird XFDP-06-24; 0.6 GPH (2.3 lph) emitters spaced 24" (61 cm) on-center
- 4) Rain Bird XFDP-04-12; 0.4 GPH (3.4 lph) emitters spaced 12" (305 cm) on-center
- 5) Rain Bird XFDP-04-18; 0.4 GPH (3.4 lph) emitters spaced 18" (457 cm) on-center
- 6) Rain Bird XFDP-04-24; 0.4 GPH (3.4 lph) emitters spaced 24" (61 cm) on-center

c. Dripline tubing material specifications and features include:

- 1) XFD tubing: brown in color, conforming to an outside diameter (O.D.) of 0.634 inches (16 mm) and an inside diameter (I.D.) of 0.536 inches (13.6 mm) and wall thickness of 0.044 inches (1.2 mm)
- 2) XFDP tubing: purple in color, conforming to an outside diameter (O.D.) of 0.634 inches (16 mm) and an inside diameter (I.D.) of 0.536 inches (13.6 mm) and wall thickness of 0.044 inches (1.2 mm)
- 3) Factory installed, pressure-compensating, inline emitters welded to the inner circumference of the polyethylene tubing at spacing specified by model number
- 4) Inline emitters designed to pressure-compensate by lengthening the emitter's turbulent flow path (Rain Bird patent pending)
- 5) Consistent flow rate from each installed inline emitter when emitter inlet pressure is supplied between recommended operating range of 8.5 to 60 PSI (0.7 to 4.1 bar)
- 6) Required filtration for XF Series dripline tubing and emitters is 120 mesh (125 micron)

PART 3 - EXECUTION

3.01 INSPECTIONS AND REVIEWS

A. Pre-construction Site Inspection

1. Verify construction site conditions and note irregularities affecting work of this section. Report irregularities in writing to Owner's Representative prior to beginning work. Commencement of work implies acceptance of existing site conditions.

B. Utility Locates ("Call Before You Dig")

1. Arrange and coordinate Utility Locates with local authorities prior to construction.
2. Repair underground utilities that are damaged during construction. Make repairs at no additional cost to contract price.

3.02 DRIPLINE LAYOUT OF WORK

- A. Stake out dripline irrigation system. Items staked include manifold/header pipe and tubing, sleeves, control zone assemblies, flush valves, air relief valves, and check valves.

- B. Dripline Irrigation System Layout Review: Dripline irrigation system layout review will occur after staking has been completed. Notify Owner's Representative one week in advance of review. Modifications will be identified by Owner's Representative at this review.

3.03 DRIPLINE EXCAVATION, TRENCHING, AND BACKFILL

- A. Excavate and install pipes at minimum cover indicated in drawings or specifications. Excavate at appropriate width for connections and fittings.

- B. Minimum cover for dripline components (distance from top of pipe to finish grade):

1. Buried PVC manifold and supply header pipe to dripline grid layouts: 12" (305 cm) to top of pipe.
2. Buried dripline lateral pipe downstream PVC manifold and supply header pipe: 4" (10 cm) to top of pipe
3. On-grade dripline lateral pipe downstream PVC manifold and supply header pipe: Secure to finish grade with approved tubing stakes. Install and test prior to installation of landscape fabric and mulch.
4. Backfill only after buried lines have been reviewed, tested, and approved.

- D. Excavated material is generally satisfactory for backfill. Use backfill free from rubbish, vegetable matter, frozen materials, and stones larger than 2" (50 mm) in maximum diameter. Remove material not suitable for backfill. Use backfill free of sharp objects next to pipe.
- E. Dress backfilled areas to original grade. Incorporate excess backfill into existing site grades. Dispose of excess backfill off site.

- F. Contact Owner's Representative for trench depth adjustments where utilities conflict with irrigation trenching and pipe work.

3.04 ASSEMBLING PIPE AND FITTINGS

A. General:

1. Keep pipe free from dirt and debris. Cut pipe ends square, deburr and clean as recommended by pipe manufacturer.
2. Keep ends of assembled pipe capped. Remove caps only when necessary to continue assembly.
- B. PVC Pipe and Fittings:
 1. Use only strap-type friction wrenches for threaded plastic pipe.
 2. PVC Solvent Weld Pipe and Fittings:
 - a. Use appropriate primer and solvent cement. Join pipe in manner recommended by pipe and fitting manufacturers and in accordance with accepted industry practices.
 3. Cure for thirty (30) minutes before handling and twenty-four (24) hours before pressurizing or installing with vibratory plow.
 4. Snake pipe from side to side within trench.
- C. PVC Threaded Connections:
 - a. Use only factory-formed threads. Field-cut threads are not permitted.
 - b. Apply thread sealant in manner recommended by component, pipe and sealant manufacturers and in accordance with accepted industry practices.
- D. Dripline Tubing and Fittings:
 1. Use only Rain Bird XF-Series Insert Fittings or Rain Bird Easy Fit Compression Fittings for Rain Bird XF-Series dripline tubing connections or transitions as recommended by the Manufacturer's representative for the specific site and system conditions.
- Dripline Insert Fittings:
 - a. Install dripline tubing and fittings in manner recommended by manufacturer and in accordance with accepted industry practices.
- Dripline Compression Fittings:
 - a. Install dripline tubing and fittings in manner recommended by manufacturer and in accordance with accepted industry practices.

- 3.05 INSTALLATION OF DRIPLINE IRRIGATION COMPONENTS

A. Control Zone Kit Assembly:

1. Flush mainline pipe before installing Control Zone Kit assembly.
2. Locate where shown on drawings. Connect control wires to remote control valve wires using specified wire connectors and waterproof sealant. Provide connectors and sealant per manufacturer's recommendations.
3. Install a maximum of four (4) Low Flow or Medium Flow Control Zone Kits per standard rectangular valve box. Install a maximum of one (1) Medium Flow Commercial Control Zone Kits per standard rectangular valve box. Install a maximum of one High Flow Commercial Control Zone Kits per jumbo rectangular valve box.
 - a. Locate valve boxes at least 1' (305 cm) from, and align with, nearby walls or edges of paved areas.
 - b. Group Control Zone Kit assemblies together where practical. Align grouped valve boxes in uniform patterns. Allow at least 12" (305 cm) between valve boxes.
 - c. Brand controller letter and station numbers on valve box lid in 2" (50 mm) high letters.

B. Lateral Piping and Dripline Tubing:

1. Install lateral piping and dripline tubing at locations and in grid patterns as indicated on drawings and installation details, and in strict accordance with manufacturer recommendations.
2. Thoroughly flush PVC lateral piping, supply headers, and dripline tubing immediately upon installation.
- C. Air Relief Valve Kit Assembly: Install at all high points in dripline tubing grid as shown and directed on drawings and installation details.
- D. Flush Point Assembly: Install in flush header or at ends of each dripline zone segment as shown and directed on drawings and installation details. Install at least 12-inches from and align with adjacent walls or edges of paved areas.

3.06 PROJECT RECORD (AS-BUILT) DRAWINGS

- A. Document field changes from original design and construction documents. Maintain on-site and separate from original construction documents, one complete set of documents labeled "Project Field Documents." Keep documents current. Do not permanently cover work until accurate "record drawings" information is recorded.

- B. Record pipe network alterations on a daily basis. Record work that is installed differently than shown on construction documents. Record accurate reference dimensions, measured from at least two permanent reference points, of each control zone kit assembly, each dripline zone boundary, each air relief valve assembly, each flush point assembly, and other dripline irrigation components enclosed within valve box.

- C. Obtain from Owner's Representative one set of drawings or CAD files prior to construction completion. Duplicate information contained on "Record Documents" maintained on-site using technical drafting pen or AutoCAD. Label each sheet "Record Drawing".

- D. Provide "Record Drawings" to Owner's Representative. Completion of Record Drawings is required prior to final construction review at completion of irrigation system installation.

3.07 WINTERIZATION AND SPRING START-UP

- A. Winterize irrigation system in fall following completion, or partial completion, of irrigation system construction. Start-up irrigation system in spring following completion, or partial completion, of irrigation system construction. Repair any damage caused in improper winterization at no additional cost to Owner. Coordinate winterization and start-up with landscape maintenance personnel.

3.08 MAINTENANCE

- A. Maintain irrigation system for duration of 30 calendar days from formal written acceptance by Owner's Representative. Make periodic examinations to irrigation system components in order to achieve the most efficient and uniform application of water.
- B. Following completion of Contractor's maintenance period, Owner will be responsible for maintaining system in working order during remainder of guarantee/warranty period, for performing necessary minor maintenance, for protecting against vandalism, and for preventing damage after landscape maintenance operation.

3.09 CLEANUP

- A. Remove from site machinery, tools, excess materials, and rubbish upon completion of work.

Valve Box Specifications

VB-6RND SERIES 6" Round Valve Boxes

Valve boxes shall be used as durable, rigid enclosures for valves or other irrigation system components requiring subsurface protection for installation or maintenance. The valve box shall be made of HDPE resin that is resistant to UV light, weather, moisture, and chemical action of soils.

The body shall have two openings molded into the sides.

The valve box shall have corrugated sides.

Lids shall have beveled edges to prevent or minimize potential damage from lawn equipment.

The valve box shall be manufactured by Rain Bird Corporation, Glendora, California.

VB-10RND 10" Round Valve Boxes

Valve boxes shall be used as durable, rigid enclosures for valves or other irrigation system components requiring subsurface protection for installation or maintenance. The valve box shall be made of structural form HDPE resin that is resistant to UV light, weather, moisture, and chemical action of soils.

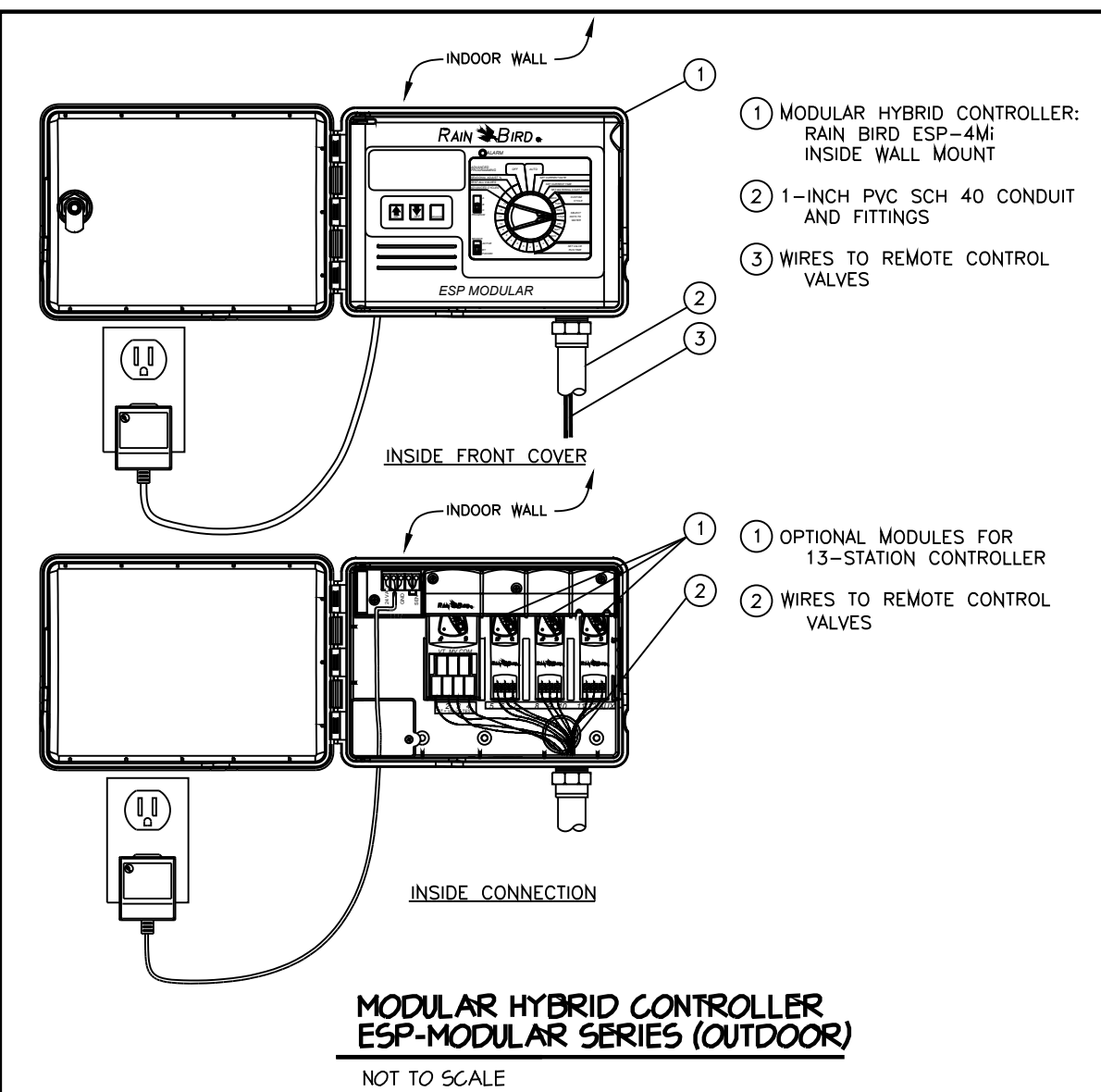
The body shall have knock-outs molded into the sides that can easily be removed. The knock-outs shall remain an integral part of the body unless to run pipes or wires through the valve box.

The valve box shall have corrugated sides. The valve box shall have a stepped feature on the bottom that securely interlocks two boxes together when mated bottom - to - bottom for use in a deep installation.

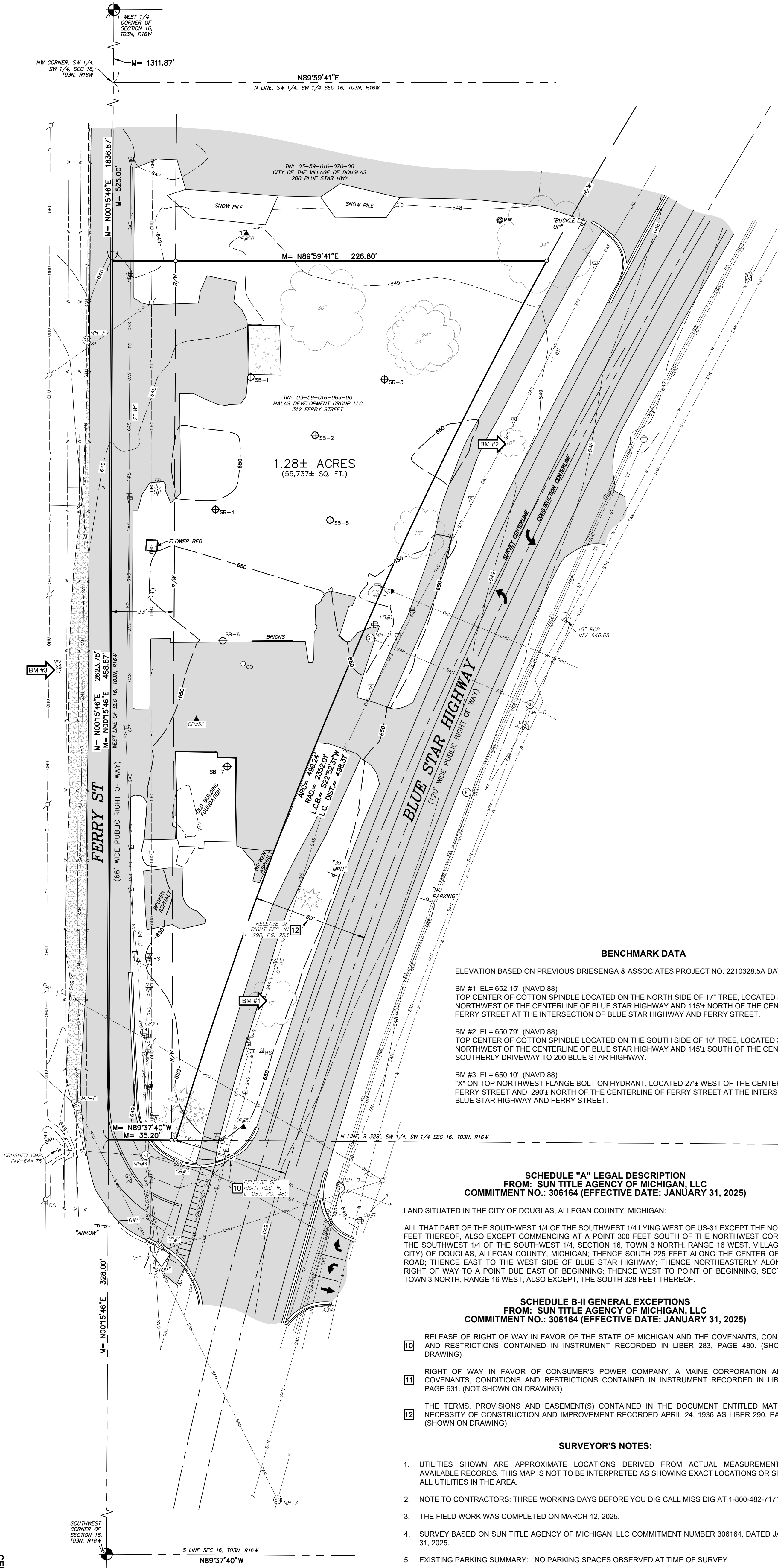
There shall be no hole in the valve box lid unless the bolt-hole knock-out is removed in order to use the locking bolt. Lids shall have beveled edges to minimize potential damage from lawn equipment. Lids shall be clearly marked with the words "Irrigation Control Valve" molded onto the top. Lids shall have a marking area measuring at least 6" by 2" that is suitable for branding or other means of identification.

The locking bolt, washer, and clip shall be made of stainless steel.

The valve box shall be manufactured by Rain Bird Corporation, Azusa, California.



ALTA / NSPS LAND TITLE SURVEY



LOCATION MAP - NO SCALE

LEGEND

BENCHMARK	EXISTING
SET CONCRETE MONUMENT	BM #1
MONUMENT FOUND	
SET CAPPED REBAR #62595	
FOUND IRON	
SET CHISELED "X"	
FOUND CHISELED "X"	
CONTROL POINT	
PLATTED	
DESCRIBED	
MEASURED	
RECORD	
STORM SEWER MANHOLE	
CATCH BASIN	
ROOF DRAIN	
SANITARY SEWER MANHOLE	
CLEANOUT	
WELL HEAD	
FIRE HYDRANT	
FIRE DEPARTMENT CONNECTION	
SPRINKLER CONTROL VALVE	
SPRINKLER HEAD	
VALVE (WATER & GAS)	
GAS METER	
UTILITY RISERS	
UTILITY POLE	
LIGHT POLE	
GUY ANCHOR	
TRANSFORMER	
HAND HOLE (ELECTRIC)	
ELECTRIC METER	
GROUND MOUNTED LIGHT	
SIGN	
SOIL BORING	
BOLLARD POST	
POST	
UNDERGROUND COMMUNICATIONS LINE MARKER	
UNDERGROUND ELECTRIC LINE MARKER	
UNDERGROUND GAS LINE MARKER	
GATE	
FENCE LINE	
OVERHEAD UTILITIES	
UNDERGROUND ELECTRIC	
COMMUNICATIONS	
TELEPHONE	
FIBER OPTIC	
GAS LINE	
EXISTING WATER LINE	
EXISTING STORM SEWER	
EXISTING SANITARY SEWER	
BITUMINOUS SURFACE	CONCRETE SURFACE
CONFIDENTIAL TREE	DECIDUOUS TREE
	ORNAMENTAL BUSH

BENCHMARK DATA

ELEVATION BASED ON PREVIOUS DRIESSENGA & ASSOCIATES PROJECT NO. 2210328.5A DATED 08/31/2023

BM #1 EL= 652.15' (NAVD 88)
TOP CENTER OF COTTON SPINDLE LOCATED ON THE NORTH SIDE OF 17" TREE, LOCATED 36± NORTHWEST OF THE CENTERLINE OF BLUE STAR HIGHWAY AND 115± NORTH OF THE CENTERLINE OF FERRY STREET AT THE INTERSECTION OF BLUE STAR HIGHWAY AND FERRY STREET.

BM #2 EL= 650.79' (NAVD 88)
TOP CENTER OF COTTON SPINDLE LOCATED ON THE SOUTH SIDE OF 10" TREE, LOCATED 33± NORTHWEST OF THE CENTERLINE OF BLUE STAR HIGHWAY AND 145± SOUTH OF THE CENTERLINE OF SOUTHERLY DRIVEWAY TO 200 BLUE STAR HIGHWAY.

BM #3 EL= 650.10' (NAVD 88)
"X" ON TOP NORTHWEST FLANGE BOLT ON HYDRANT, LOCATED 27± WEST OF THE CENTERLINE OF FERRY STREET AND 290± NORTH OF THE CENTERLINE OF FERRY STREET AT THE INTERSECTION OF BLUE STAR HIGHWAY AND FERRY STREET.

SCHEDULE "A" LEGAL DESCRIPTION
FROM: SUN TITLE AGENCY OF MICHIGAN, LLC
COMMITMENT NO.: 306164 (EFFECTIVE DATE: JANUARY 31, 2025)

LAND SITUATED IN THE CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN:

ALL THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING WEST OF US-31 EXCEPT THE NORTH 300 FEET THEREOF, ALSO EXCEPT COMMENCING AT A POINT 300 FEET SOUTH OF THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, VILLAGE (NOW CITY) OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN, THENCE SOUTH 225 FEET ALONG THE CENTER OF CHASE ROAD; THENCE EAST TO THE WEST SIDE OF BLUE STAR HIGHWAY; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY TO A POINT DUE EAST OF BEGINNING; THENCE WEST TO POINT OF BEGINNING, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, ALSO EXCEPT, THE SOUTH 328 FEET THEREOF.

SCHEDULE B-II GENERAL EXCEPTIONS
FROM: SUN TITLE AGENCY OF MICHIGAN, LLC
COMMITMENT NO.: 306164 (EFFECTIVE DATE: JANUARY 31, 2025)

- RELEASE OF RIGHT OF WAY IN FAVOR OF THE STATE OF MICHIGAN AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 283, PAGE 480. (SHOWN ON DRAWING)
- RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY, A MAINE CORPORATION AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 283, PAGE 631. (NOT SHOWN ON DRAWING)
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED MATTER OF NECESSITY OF CONSTRUCTION AND IMPROVEMENT RECORDED APRIL 24, 1936 AS LIBER 290, PAGE 253. (SHOWN ON DRAWING)

SURVEYOR'S NOTES:

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG CALL MISS DIG AT 1-800-482-7171.
- THE FIELD WORK WAS COMPLETED ON MARCH 12, 2025.
- SURVEY BASED ON SUN TITLE AGENCY OF MICHIGAN, LLC COMMITMENT NUMBER 306164, DATED JANUARY 31, 2025.
- EXISTING PARKING SUMMARY: NO PARKING SPACES OBSERVED AT TIME OF SURVEY
- TOTAL LAND AREA: 1.28± ACRES (55,737± SQUARE FEET)
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ADJOINING DEEDS OF RECORD WERE NOT PROVIDED TO SURVEYOR BY CLIENT AS SPECIFIED IN SEC. 4(C)(I) OF THE 2021 ALTA/NSPS LAND TITLE SURVEY REQUIREMENTS.
- NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAYBE NECESSARY.
- WHILE EVERY EFFORT WAS MADE IN THE EXECUTION OF THIS ALTA SURVEY TO LOCATE ALL VISIBLE EVIDENCE OF SITE UTILITIES AND SUBSTANTIAL IMPROVEMENTS, SNOW COVER MAY HAVE CAUSED CERTAIN ITEMS TO BE OMITTED. IT IS RECOMMENDED THAT A SITE VISIT BE PERFORMED WHEN SITE CONDITIONS HAVE IMPROVED TO VERIFY COMPLETENESS OF THE SURVEY.

STORM STRUCTURE DATA

CB#1 - 4"Ø CONCRETE RIM 647.20 INV (SW) 18" CPE=643.70 INV (NE) 4" PVC=645.65 INV (NW) 15" CPE=643.70 SUMP=643.45	CB#2 - 2"Ø CONCRETE RIM 648.64 INV (SW) 12" RCP=646.04 SUMP=645.09	CB#3 - 2"Ø CONCRETE RIM 648.50 INV (W) 12" RCP=645.85 SUMP=644.65	MH#4 - 4"Ø CONCRETE RIM 648.93 INV (SE) 15" CPE=644.28 INV (S) 12" RCP=645.03 INV (W) 15" CPE=645.28 INV (N) 12" CPE=644.78 INV (E) 12" CPE=644.98 SUMP=644.28	CB#5 - 2"Ø CONCRETE RIM 649.06 INV (S) 12" PVC=647.31 SUMP=647.31	LB#6 - 4"Ø CONCRETE LEACHING BASIN RIM 649.68 SUMP=644.83
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SANITARY STRUCTURE DATA

MH-A - 4"Ø CONCRETE RIM 647.20 INV (NE) 8" PVC=638.75 INV (SW) 8" PVC=638.80 INV (NW) 8" PVC=638.80 SUMP=643.45	MH-B - 4"Ø CONCRETE RIM 647.88 INV (SW) 8" PVC=638.38 INV (NE) 8" PVC=638.28 INV (SE) 8" PVC=643.43	MH-C - 4"Ø CONCRETE RIM 646.93 INV (SW) 8" PVC=637.48 INV (NW) 8" PVC=637.03 INV (SE) 8" PVC=637.13 INV (NE) 8" PVC=638.98	MH-D - 4"Ø CONCRETE RIM 649.77 INV (SE) 8" PVC=637.62 INV (SW) 8" PVC=637.03 INV (NW) 10" PVC=629.34 INV (N) 10" PVC=629.24 INV (NW) 10" PVC=640.34	MH-E - 4"Ø CONCRETE RIM 649.09 INV (SE) 10" PVC=629.34 INV (N) 10" PVC=629.24 INV (NW) 10" PVC=640.34	MH-F - 4"Ø CONCRETE RIM 649.33 INV (N) 10" PVC=628.43 INV (S) 10" PVC=628.63
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SURVEY CONTROL

GROUND COORDINATES AS DERIVED FROM THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET. SURVEY DATA AND CONTROL HAVE BEEN PROJECTED TO THE GROUND AT CP #50 (GRID TO GROUND SCALE FACTOR: 1.0001096368)

POINT NUMBER	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION (NAVD 88)
50	420345.6644	12626946.1060	649.04
51	419879.0375	12626944.6843	650.21
52	420092.0866	12626920.0095	650.31



Know what's below.
Call before you dig.

CERTIFICATION

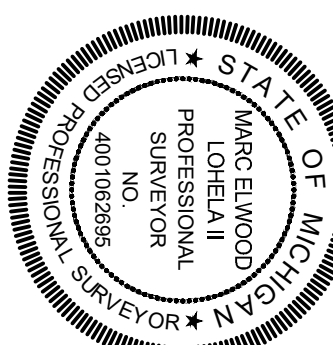
TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, SUN TITLE AGENCY OF MICHIGAN, LLC & HALAS DEVELOPMENT GROUP, LLC, A MICHIGAN LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, AS ADOPTED BY THE BOARD OF SURVEYORS AND PROFESSIONAL ENGINEERS, AND INCLUDES ITEMS 1, 2, 4, 5, 7(a), 7(b), 7(c), 8, 11(b), 13, & 16 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON MARCH 12, 2025.

DATE: MARCH 13, 2025

MARC ELWOOD, PROFESSIONAL SURVEYOR #A007062595



MISS DIG INFORMATION

MISS DIG SURVEY TICKET # 2025021900817-000
(INCLUDES INFORMATION RECEIVED THROUGH 03/13/2025)

- MICHIGAN GAS UTILITIES - 02/24/2025 (MAPS PROVIDED)
- COMCAST 02/22/2025 (MAPS PROVIDED)
- FRONTIER / VERIZON FIBER OPTIC - 02/20/2025 (MAPS PROVIDED)
- KALAMAZOO LAKE SEWER & WATER AUTHORITY - 02/19/2025 (MAPS PROVIDED)
- CONSUMERS ENERGY UNDERGROUND ELECTRIC - 03/06/2025 (MAPS PROVIDED)

REVISIONS

NO.	DATE	DESCRIPTION
1		

CONSUMERS CREDIT UNION

312 FERRY STREET
SECTION 16, T03N, R16W, CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN CO.
-FOR-

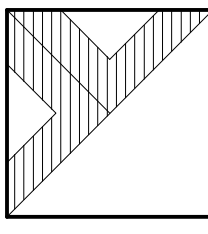
BOSCH ARCHITECTURE
8065 VINEYARD PARKWAY KALAMAZOO, MI 49009

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Ypsilanti, MI
734-468-9483



V-101

1 of 1

**APPLICATION FOR SPECIAL USE PERMIT/ HOME OCCUPATION
CITY OF THE VILLAGE OF DOUGLAS PLANNING COMMISSION**

1. Name Nick Loeks, Bosch Architecture on behalf of Consumers Credit Union
2. Address 8065 Vineyard Parkway, Kalamazoo, MI 49009
3. Phone Home 269-207-1744 Work 269-321-5151
4. Legal description of property subject of request: See plans, too long to list on application

5. Street address of property subject of request 312 Ferry Street
6. Is applicant the owner of the property: Yes _____ No X
If No, give name and address of the property owner
Halas Development Group, LLC
3385 Blue Star Highway
Saugatuck MI 49453
7. How is the property presently zoned? C-2
8. If you are requesting approval for a HOME OCCUPATION, please submit with this application the following information:
 - a) The total floor area of the residence _____
 - b) The area of the room or rooms of the house to be utilized in the conduct of the home operation. _____
 - c) A sketch showing the floor plan and the area to be utilized in the conduct of the home occupation _____
 - d) Describe the nature of the home occupation _____


Please note that all home occupations can only be approved subject to the limitations provided in Sec. 14.5 © of the Zoning Ordinance.
9. Unless already described in #8, give a brief description of the SPECIAL USE requested.
Drive through ATM to accompany a new permitted Credit Union building

10. Is the SPECIAL USE, which you are requesting, provided for under CHAPTER 25 of the Douglas Village Zoning Ordinance? Yes

I certify that I have read and understand Article 25 - Special Use Procedures of the Zoning Ordinance and that all of the information provided herein is true and accurate to the best of my knowledge, information and belief.

Dated 5/12/2025

Application fee of \$250 _____



Signature of Applicant

.....
A SUMMARY OF PLANNING COMMISSION ACTION

1. Date of Public Hearing, if one was held _____
2. Action taken by Planning Commission and date taken _____

3. Application was Denied for following reasons _____

Consumers Credit Union Project Narrative

Consumers Credit Union is proposing a new 1,200 SF credit union building that will house (2) Member Service Representative offices, an internal ITM (Integrated Teller Machine), and break room and work room for employees. The ITM is similar to an ATM but has extended features and allows you to speak with a representative on a screen to do banking transactions.

Consumers is also proposing a remote/stand alone ITM unit on the west side of the site for members who wish to remain in their vehicles for transactions. The standalone ITM would function as an ITM during business hours and would function as a standard ATM during non-business hours.

The site will contain 8 parking spaces (1 barrier free) and have access of both Ferry Street and Blue Star Highway.

There are no expected increases in traffic or utilities from the previous use as the site was previously a restaurant with a higher intensity use.

There will be no increased impact to the natural environment as we are cleaning up the existing site and planting new trees as required.



consumers
credit union

August 6, 2025

Planning Commission
City of the Village of Douglas
86 W Center Street
Douglas, MI 49406

RE: 312 S. Ferry Street

Members of the Planning Commission:

Consumers Credit Union is in the process of purchasing the parcel located at 312 South Ferry Street, Douglas, MI 49406.

The landscaping requirements along public rights of way for this parcel included one (1) 15' tree in height or 3" caliper to be placed every 30 linear feet of frontage. This parcel has 458 linear feet along Ferry Street and 500 linear feet along Blue Star Highway. This necessitates an additional 32 trees to be placed on this property. Consumers Credit Union applied for and received a variance to reduce the additional trees from 32 to 16 trees.

Consumers Credit Union wants to donate the 16 trees that the variance removed from this parcel to the City of the Village of Douglas to be planted in the community. The tree variations and plantings can be discussed with the City of the Village of Douglas at its convenience.

Consumers Credit Union is looking forward to joining the community.

Sincerely,

DocuSigned by:

Cindi MacDonald

EC4830EF0547415...

Cindi A. MacDonald, FMP
Senior Site Development and Construction Manager
Consumers Credit Union