



PUBLIC NOTICE

Design Review Meeting

Tuesday, September 22, 2026 at 7:30 AM

City Hall Council Chambers, 410 E Leffler St, Dodgeville,

WI

AGENDA

I. CALL TO ORDER AND ROLL CALL

II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW

III. APPROVAL OF MINUTES

1. Approval of minutes from September 2, 2026

IV. NEW BUSINESS

2. Discussion and possible action to approve Design Review application for Upland Hills Health located at 800 Compassion Way
3. Discussion and possible action to approve Design Review application for BMO Bank located at 525 E Leffler St

V. OLD BUSINESS

VI. ADJOURN

4. Motion to Adjourn

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.



PUBLIC NOTICE
Design Review Meeting
Wednesday, September 02, 2026 at 7:30 AM
City Hall Council Chambers, 410 E Leffler St, Dodgeville,
WI

AGENDA

Called to order at 7:36 AM
Members Present: Aaron, Jim, Terry
Also Present: Dylan (DPW), Logan (Vierbicher), Neil (Vierbicher)

- I. CALL TO ORDER AND ROLL CALL**
- II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW**
- III. APPROVAL OF MINUTES**

- 1. Approval of minutes from 06/23/2026
- 2. Approval of minutes from 07/14/26
- 3. Approval of minutes from 08/11/26

Motion by Terry to approve meeting minutes from 6-23-26, 7-14-26, and 8-11-26.
2nd by Jim. Pass 3-0.

IV. NEW BUSINESS

- 4. Discussion and possible action to approve Design Review application for Pizza Ranch located at 1049 Bennett Rd

Committee discussed application for the Pizza Ranch. Signage review was addressed during this meeting.
Motion by Aaron to approve Design Review Application as presented, contingent on administrative approval of the illumination plan.
2nd by Terry. Pass 3-0.

V. OLD BUSINESS

VI. ADJOURN

- 5. Motion to Adjourn

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Motion by Jim to adjourn.
2nd by Terry. Pass 3-0.
Meeting adjourned at 7:59 AM

CITY OF DODGEVILLE
DESIGN REVIEW APPLICATION
Reference Chapter 17.29

Date: 8-25-2026

To: Design Review Board
City of Dodgeville

Applicant: Ryan Teasdale
Address: 800 Compassion Way
Phone: 608-930-7249 Email: teasdaler@uplandhillshealth.org

Owner of Property if other than Applicant
Name: Upland Hills Health
Address: 800 Compassion Way
Phone: Email:

Names of Architect, professional engineer, or contractor if any:

Andrea Ring, Architect	

Street Address of Property: 800 Compassion Way Parcel # 216-0876

Legal Description:
To be determined

Type of Structure: Wood framed storage building.
Signage:
Exterior lighting:
Landscaping:

Zoning District of Proposed site: R-M Multi-Family Residential

Date of Application Submittal: (To be filled in by City Staff)

Who will appear at the hearing? Ryan Teasdale

APPLICANT OR AGENT FOR APPLICANT MUST APPEAR AT THE HEARING

2nd page is for Design Review Board use only

**CITY OF DODGEVILLE
CERTIFICATE OF DESIGN REVIEW**

Reference Chapter 17.29

Date:

To: Building Inspector
City of Dodgeville

Applicant:
Address:
Phone: Email:

Owner of Property if other than Applicant
Name:
Address:
Phone:
Email:

Property Address: Parcel #

CONDITIONS OF APPROVAL

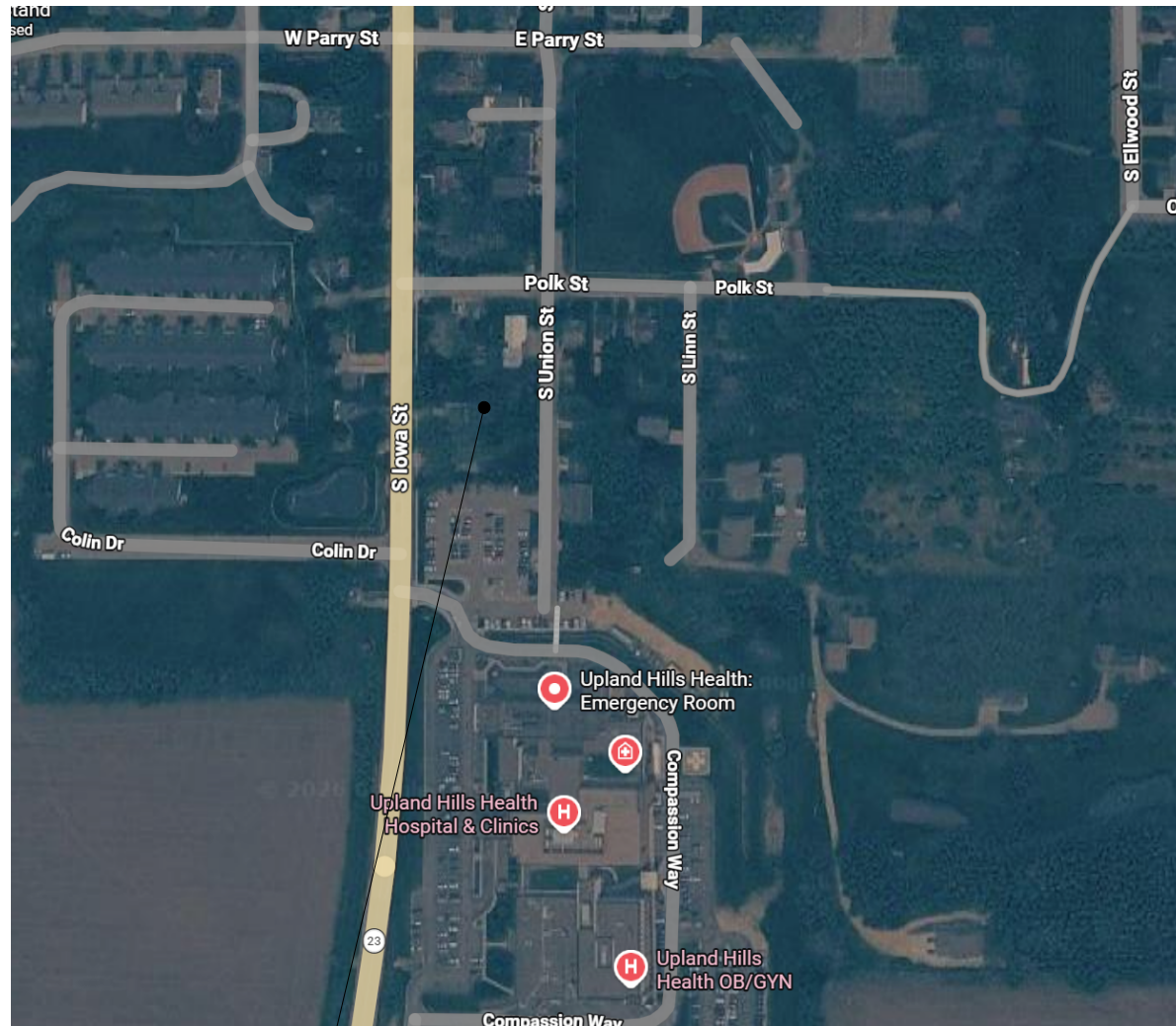
Design Review Chairman or Committee member

S&D BUILDERS

UPLAND HILLS STORAGE BUILDING

Project Address: Dodgeville, WI
Jewell Project No.: S58136



SUMMARY BUILDING CODE REQUIREMENTS		CODE SUMMARY	PROJECT DIRECTORY	DRAWING INDEX																																				
<i>Applicable code provisions and guidelines include, but are not limited to the following:</i> Chapter SPS 361-366 Commercial Building Code IBC 2021 IMC 2021 NEC 2017 Chapter SPS 380-387 Plumbing Code ICC A117.1-2017		PROJECT DESCRIPTION: Design of a storage building and related site work. PROJECT ADDRESS: Dodgeville, WI OCCUPANCY (Chapter 3): S-1 Storage CONSTRUCTION (Chapter 6): VB Wood Framed Unprotected FIRE PROTECTION (Chapter 9): N/A AREA (Chapter 5): Proposed Building Area = 3,400 S.F.	OWNER: Upland Hills Hospital 800 Compassion Way Dodgeville, WI 53533 Ryan Teasdale 608-963-8000 ARCHITECT Jewell Associates, Inc. Andrea Ring, Architect 560 Sunrise Drive Spring Green, WI 53588 608-588-7484 andrea.ring@jewellassoc.com STRUCTURAL ENGINEER Jewell Associates, Inc. Michael Mertens, PE 560 Sunrise Drive Spring Green, WI 53588 608-588-7484 michael.mertens@jewellassoc.com CIVIL ENGINEER Jewell Associates, Inc. Scott Whitsett, PE 560 Sunrise Drive Spring Green, WI 53588 608-588-7484 scott.whitsett@jewellassoc.com	<table><tr><td>T1.0</td><td>Title Sheet</td></tr><tr><td>T1.1</td><td>Schedules</td></tr><tr><td>T1.2</td><td>Details</td></tr><tr><td>C1.0</td><td>Existing Site</td></tr><tr><td>C2.0</td><td>Proposed Site</td></tr><tr><td>C2.1</td><td>Site Details</td></tr><tr><td>C2.2</td><td>Profiles</td></tr><tr><td>A0.0</td><td>Life Safety Plan</td></tr><tr><td>A1.0</td><td>Floor Plan</td></tr><tr><td>A1.1</td><td>Building Sections</td></tr><tr><td>A2.0</td><td>Exterior Elevations</td></tr><tr><td>A4.0</td><td>Finish Plan and Roof Plan</td></tr><tr><td>S0.0</td><td>Structural Notes</td></tr><tr><td>S0.1</td><td>Structural Notes</td></tr><tr><td>S1.0</td><td>Foundation Plan</td></tr><tr><td>S1.1</td><td>Foundation Schedules</td></tr><tr><td>S1.2</td><td>Foundation Details</td></tr><tr><td>S3.0</td><td>Roof Uplift Plan and Roof Framing Plan</td></tr></table>	T1.0	Title Sheet	T1.1	Schedules	T1.2	Details	C1.0	Existing Site	C2.0	Proposed Site	C2.1	Site Details	C2.2	Profiles	A0.0	Life Safety Plan	A1.0	Floor Plan	A1.1	Building Sections	A2.0	Exterior Elevations	A4.0	Finish Plan and Roof Plan	S0.0	Structural Notes	S0.1	Structural Notes	S1.0	Foundation Plan	S1.1	Foundation Schedules	S1.2	Foundation Details	S3.0	Roof Uplift Plan and Roof Framing Plan
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S3.0	Roof Uplift Plan and Roof Framing Plan																																							
GENERAL NOTES		ABBREVIATIONS	PROJECT LOCATION																																					
1. All work to be constructed per governing codes/ordinances, as amended by local authorities. Said codes/ordinances are herein incorporated into these documents. All code required work to be included in contract sum. 2. Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/ Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act.) 3. General notes are intended to clarify or emphasize the requirements of the drawings and specifications. In the event of a conflict between the drawings or specifications and these notes, the contractor shall comply with the more stringent requirement. 4. All work to be performed in a manner so as to have a minimum of disruption and disturbance with existing operations and local environment. Noise and dust shall be kept to a minimum. 5. Do not scale drawings. 6. Permit and approvals are to be kept on-site at all times. 7. Details and notes of similar conditions are typical whether or not called out at all places. references to any detail is for convenience only and does not limit the application of such detail or drawing. 8. Systems shown on drawings are intended to be furnished, installed, and turned over to the owner in proper functioning condition. All work to be considered in contract sum. 9. Contractor shall check and verify all field conditions and dimensions with the construction drawings at the project site prior to construction, erection, and/or fabrication. 10. Contractor shall inspect related work and adjacent surfaces. Contractor shall report any discrepancies between the contract documents and the existing conditions which shall prevent proper execution of this work to the architect before proceeding with the work. Contractor is responsible for dimensions, quantities, and coordination of other trades. 11. Special finish materials, carpet/ flooring, bases, doors, etc. are not shown on all details for clarity purposes. refer to plans, sections, other details, specifications, and schedules for additional information. 12. Installation of all materials and systems shall be in accordance with manufacturer's written instructions. 13. This project is being constructed using a design-bid-build construction methodology. All contractors are responsible for complying with all applicable codes and ordinances related to their design and construction and integration with other systems and components. All concerns or conflicts related to such shall be brought to the attention of the general contractor prior to the start of construction. 14. All products are to be selected for the intended use and installed per manufacturer's specifications.		AFFABOVE FINISHED FLOOR CJCONTROL JOINT CLCENTER LINE CONCCONCRETE CMUCONCRETE MASONRY UNIT EQEQUAL FD FLOOR DRAIN PFFEFINISHED FLOOR ELEVATION FLRFLOOR GWBGYPSUM WALLBOARD GCGENERAL CONTRACTOR NTSNOT TO SCALE ODOUTSIDE DIMENSION QTYQUANTITY ROUGH OPENING SIMSIMILAR T&BTOP AND BOTTOM TOCTOP OF CONCRETE TOFTOP OF FOOTING TOSTOP OF SLAB TOWTOP OF WALL TYP TYPICAL W/ WITH																																						

S&D Builders
Upland Hills Storage Building
Enter address here

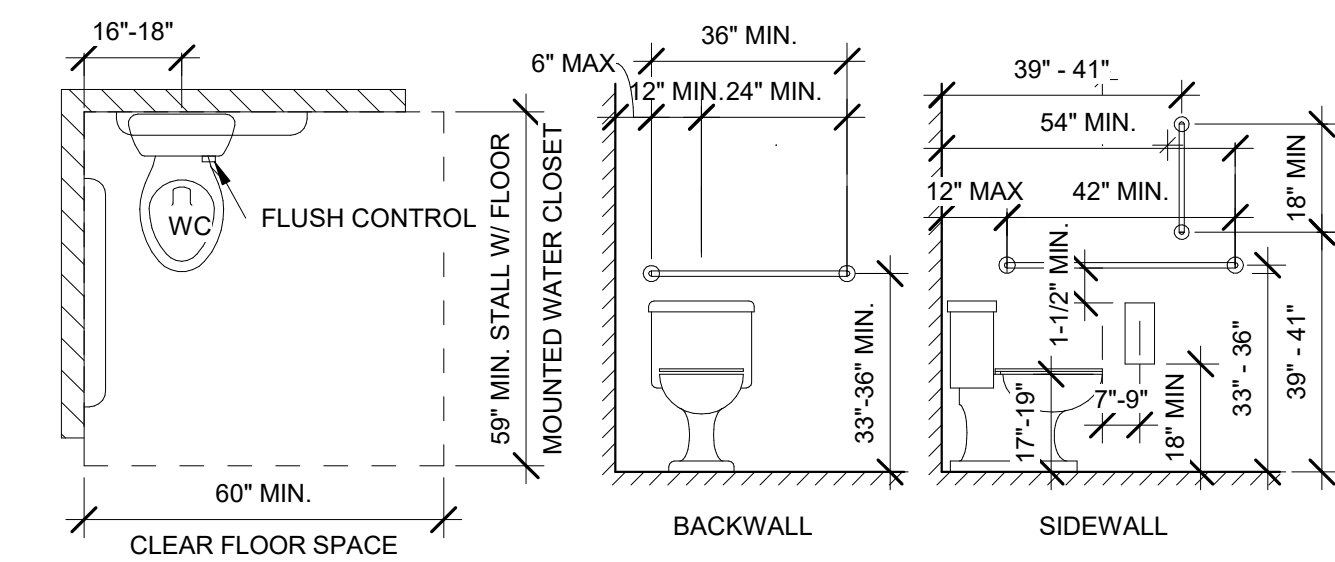
PLAN REVIEW

8-14-2026

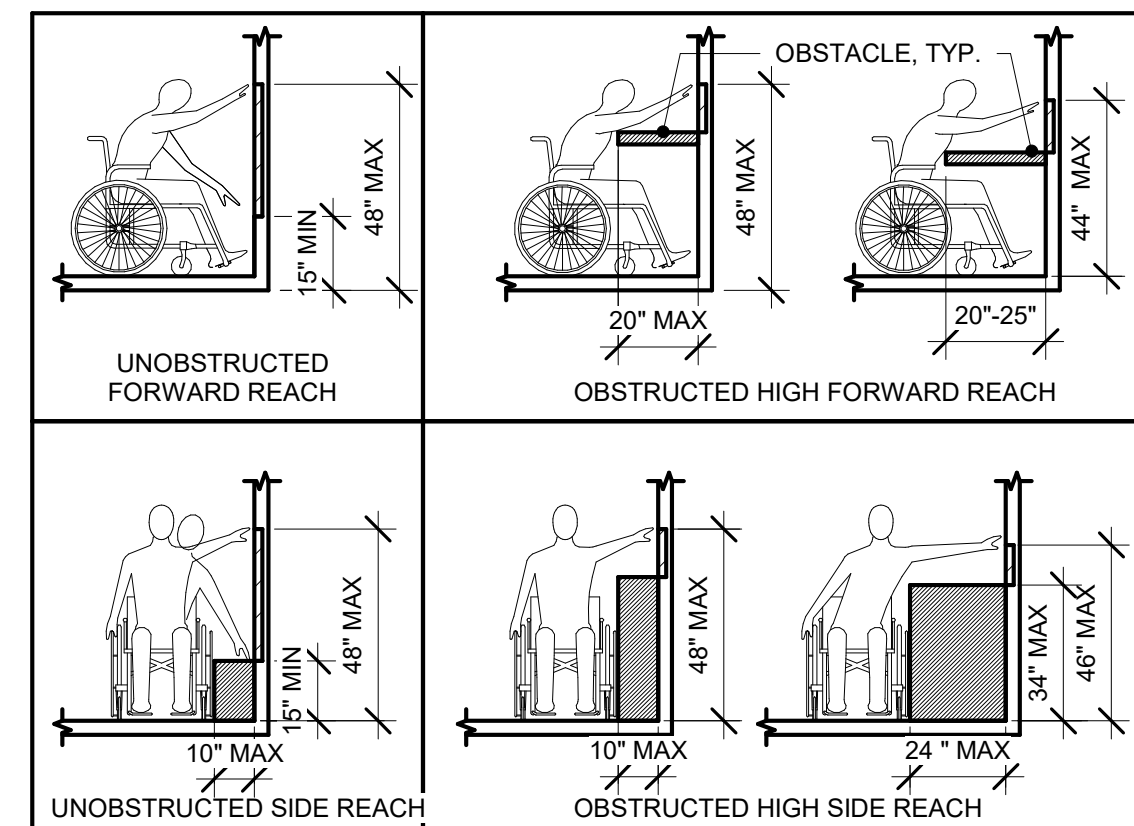
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Drawing Name
Title Sheet

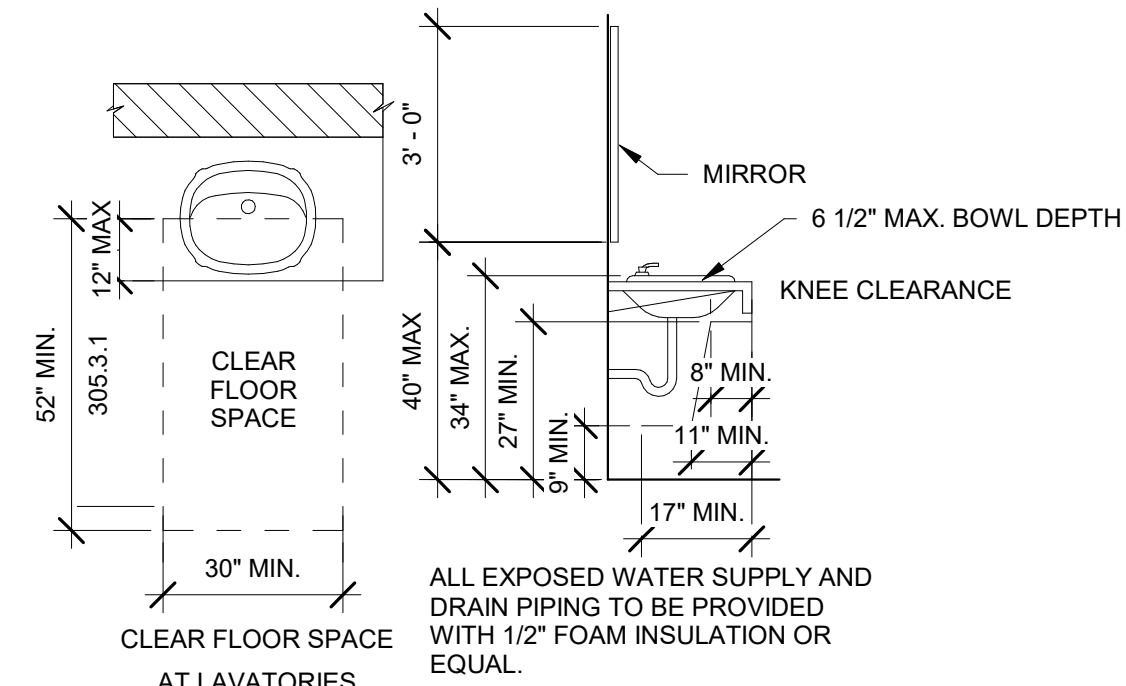
Project number S58136	Sheet number T1.0
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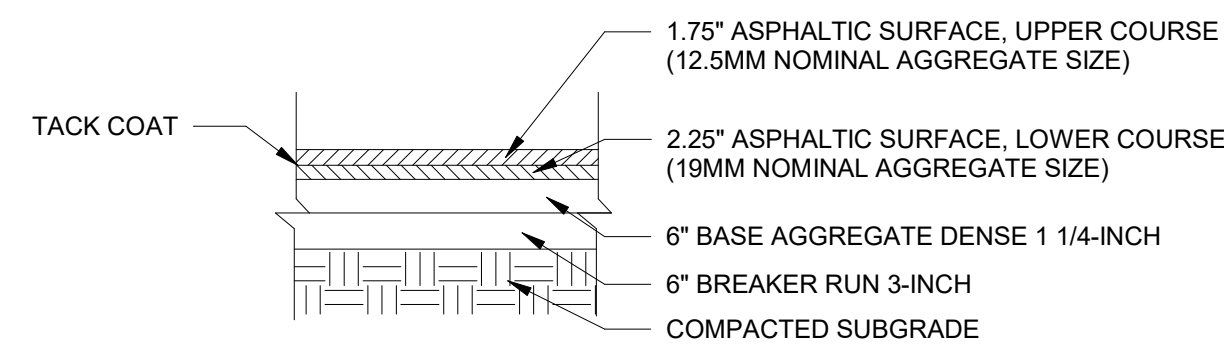
2	Water Closet - ANSI A117.1 604
T1.2	3/8" = 1'-0"



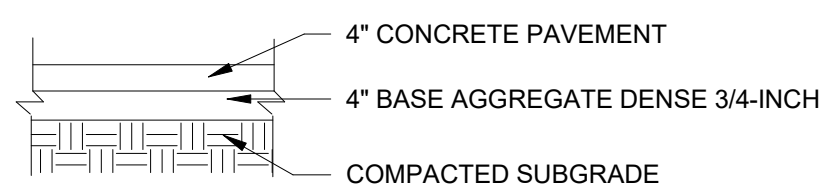
3 Reach Ranges - ANSI A117.1 308
T1.2 1/4" = 1'-0"



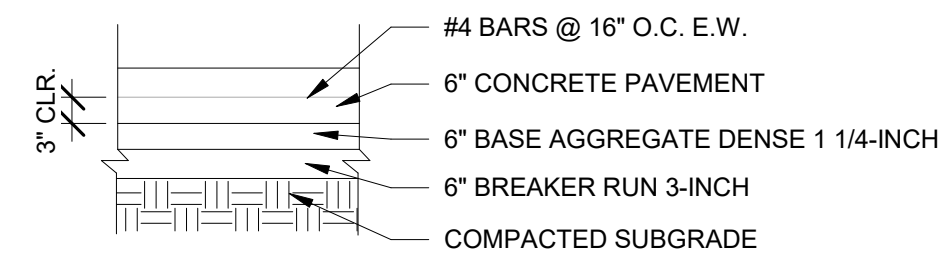
4 LAVATORY - ANSI A117.1
T1.2 3/8" = 1'-0"



ASPHALT PAVING DETAIL



CONCRETE WALK DETAIL



CONCRETE DRIVEWAY DETAIL

5 DOOR CLEARANCES - ANSI A117.1 606
T1.2 NOT TO SCALE

6 Pavement Details
T1.2 NOT TO SCALE

PLAN REVIEW

8-14-2026

Drawing Name
Details

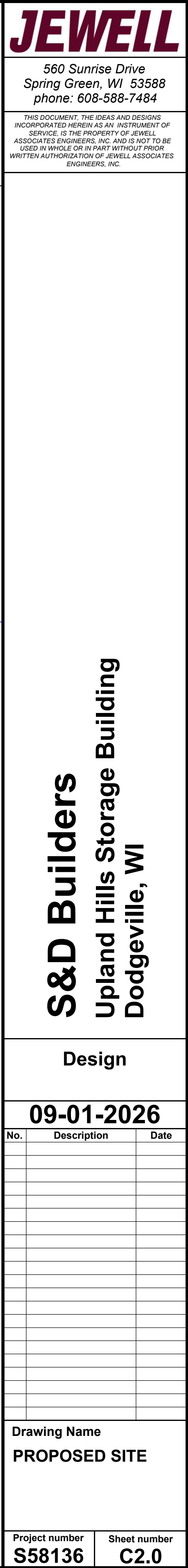
Project number S58136	Sheet number T1.2
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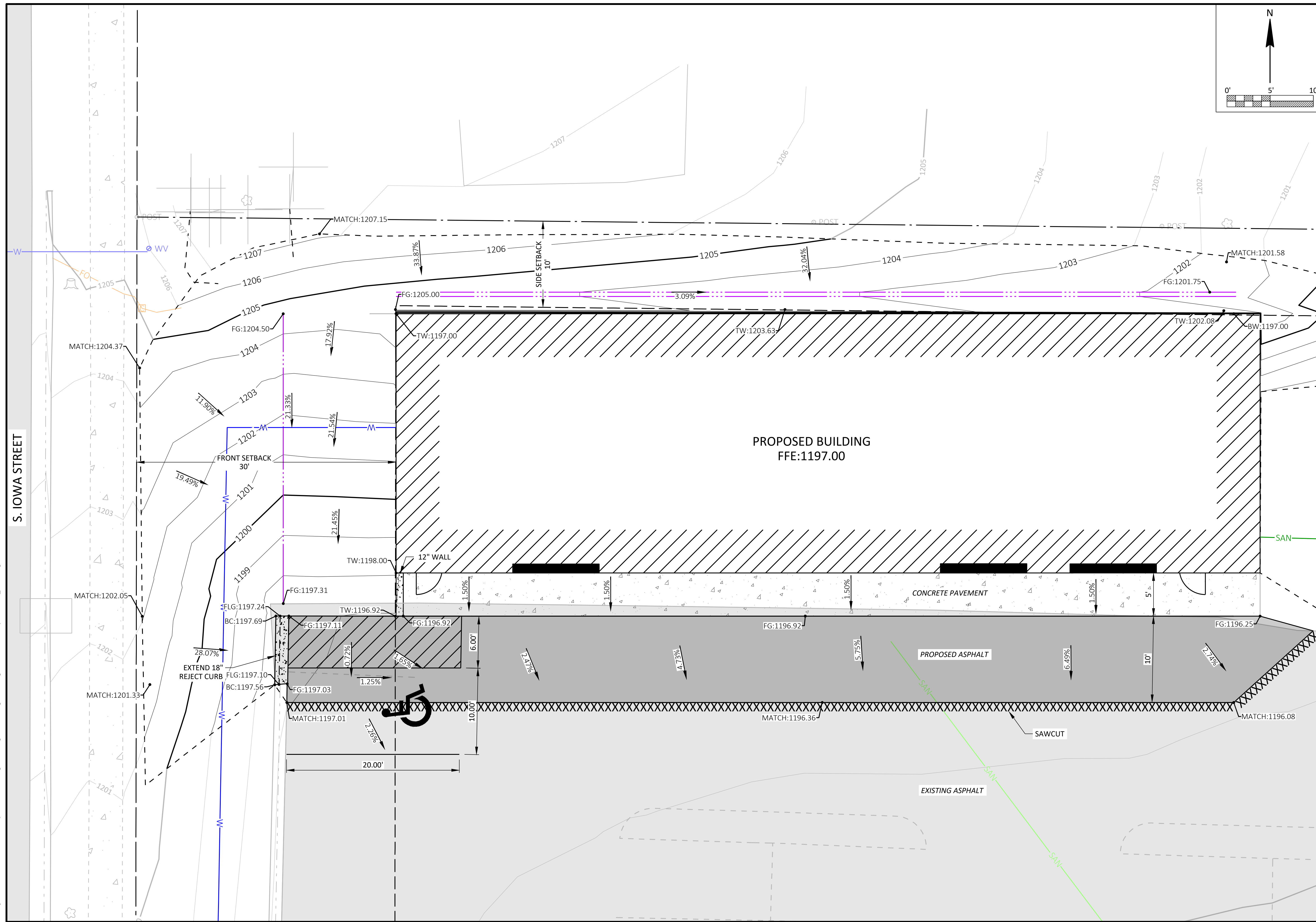
S:\Projects\S58136 S&D Builders - Upland Hills Storage Building\2 Site Design\Drawings\DWG\S58136 Upland Hills_C1.0.dwg.

This site plan illustrates a proposed development on a corner lot. The lot is bounded by S. Iowa Street to the west and S. Union Street to the east. The plan includes the following details:

- Setbacks:** A 30-foot front setback is indicated on both the west and east sides of the lot. A 10-foot side setback is shown on the north side.
- Proposed Structures:** Two rectangular buildings are shown within the lot, with dashed lines indicating their footprints. A third, smaller structure is shown at the southeast corner.
- Topography:** Contour lines are drawn across the site, with elevations ranging from 1191 to 1207 feet.
- Utilities:** A water main (W) runs along S. Iowa Street. A sewer line (S) runs along S. Union Street. A gas line (G) is also shown. A water valve (WV) is located on the west side of the lot.
- Other Features:** A monument (MON #443) is located at the northeast corner of the lot. A benchmark (BM #11) is located on S. Union Street. A "SIDE SETBACK 10'" is indicated on the north side of the lot.
- Scale:** A graphic scale bar at the bottom right indicates distances of 0, 10, and 20 feet.

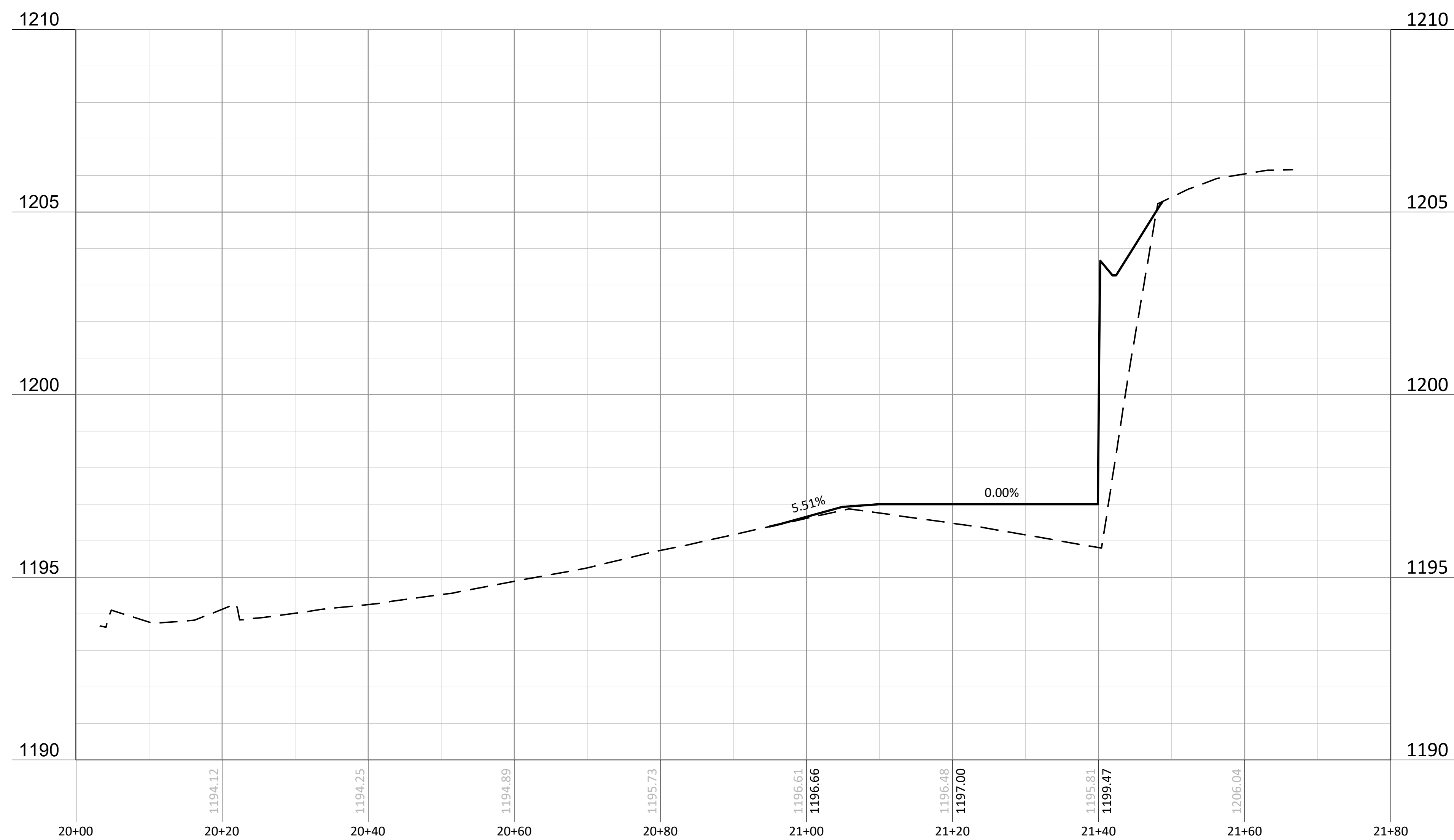
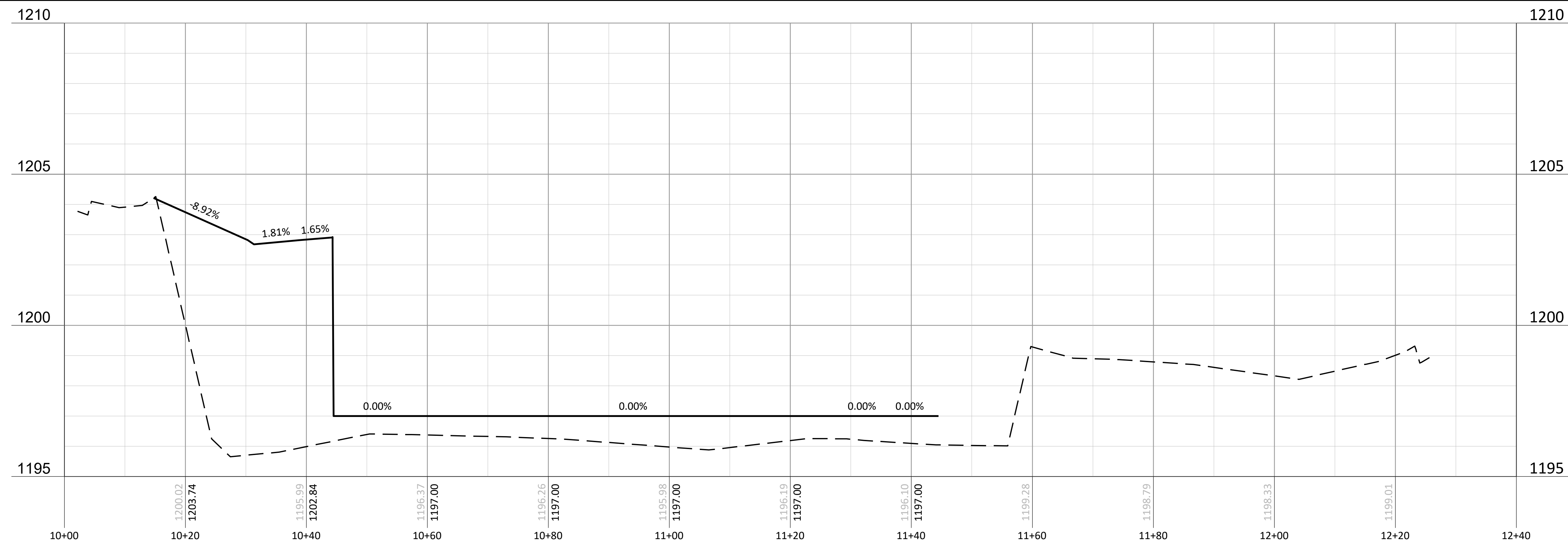
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S&D Builders Upland Hills Storage Building Dodgeville, WI		
Design		
09-01-2026		
No.	Description	Date
Drawing Name		
SITE DETAILS		
Project number	Sheet number	
S58136	C2.1	

PLOT BY: TNOEL 9/1/2026



S:\Projects\S58136 S&D Builders - Upland Hills Storage Building\2 Site Design\Drawings\DWG\S58136 Upland Hills_Civil.dwg.

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S&D Builders
Upland Hills Storage Building
Dodgeville, WI

Design

09-01-2026

[illegible]

Drawing Name
PROFILES

Project number
S58136

Sheet number
C2.2

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S&D Builders
Upland Hills Storage Building
Enter address here

PLAN REVIEW

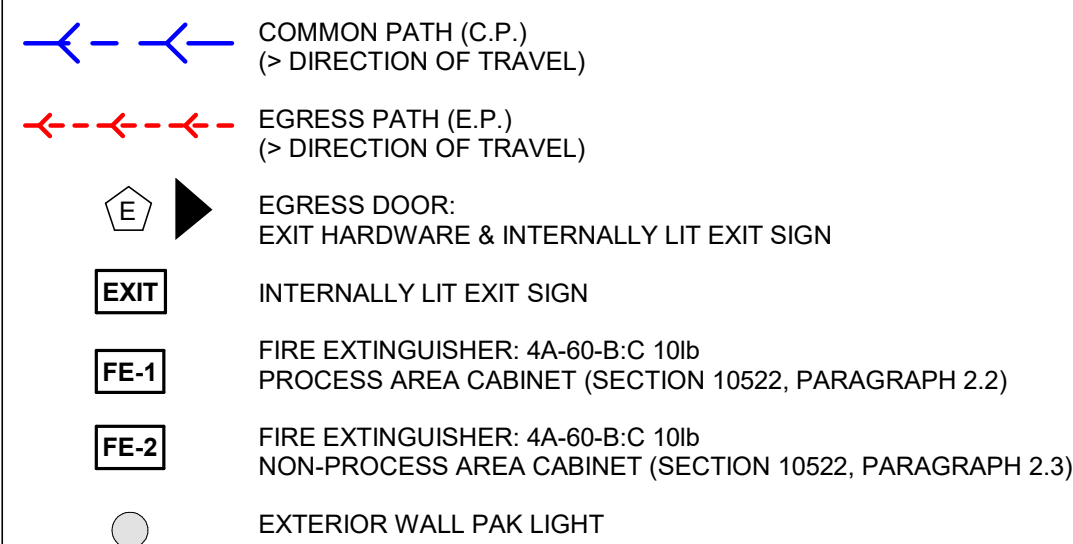
8-14-2026

[illegible]

Drawing Name
Life Safety Plan

Project number S58136	Sheet number A0.0
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LIFE SAFETY PLAN LEGEND



FIRE EXTINGUISHER NOTES:

- FIRE EXTINGUISHERS:**
1. FIRE EXTINGUISHERS SHALL BE PROVIDED FOR FIRE EXTINGUISHERS PER IFC 906. FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH IFC 906 AND NFPA 10.
 2. VERIFY LOCATION OF FIRE EXTINGUISHERS SHOWN ON PLANS WITH OWNER AND FIRE DEPARTMENT INSPECTOR.
 3. LOW HAZARD OCCUPANCY
 - A. MINIMUM RATED SINGLE EXTINGUISHER: 2-A
 - B. MAXIMUM FLOOR AREA PER UNIT OF TRAVEL: 3,000 SF
 - C. MAXIMUM FLOOR AREA PER EXTINGUISHER: 1,250 SF
 - D. MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER: 75 FEET
 4. MODERATE HAZARD OCCUPANCY
 - A. MINIMUM RATED SINGLE EXTINGUISHER: 2-A
 - B. MAXIMUM FLOOR AREA PER UNIT OF TRAVEL: 1,500 SF
 - C. MAXIMUM FLOOR AREA FOR EXTINGUISHER: 1,1250 SF
 - D. MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER: 75 FEET

1010.1.2 DOOR SWING:
EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED TYPE
DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL
WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE.

EXCEPTION 1: PRIVATE GARAGES, OFFICE AREAS, FACTORY AND STORAGE AREAS WITH AN OCCUPANT LOAD OF 10 OR LESS.

TABLE 1006.2.1
SPACES WITH ONE EXIT
OCCUPANCY F, OL<49
OCCUPANCY S, OL<29

COMMON PATH OF EGRESS TRAVEL LENGTH
NON-SPRINKLERED, F/S = 75' MAX

SPRINKLERED
A/E/M = 75'
B/F/S = 100'

1017 EXIT TRAVEL DISTANCE
NOT SPRINKLERED A/R1/F1/S1 = 200' MAX
NOT SPRINKLERED B = 200' MAX
NOT SPRINKLERED F2/ S2 = 300' MAX

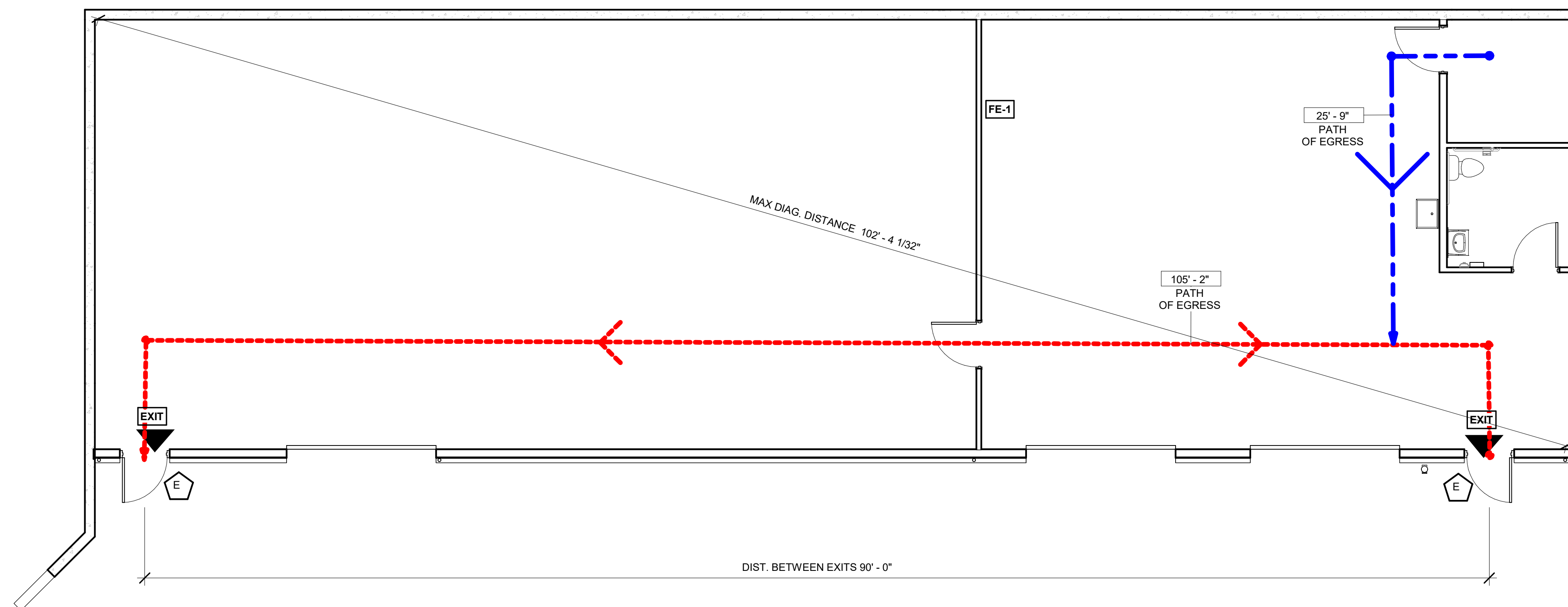
SPRINKLERED
A/M/F1/S1 = 250' MAX
B = 300' MAX
F2/S2 = 400' MAX

1007.1 EXIT DOORWAY ARRANGEMENT
DISTANCE BETWEEN EXITS SHALL NOT BE LESS THAN
ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL

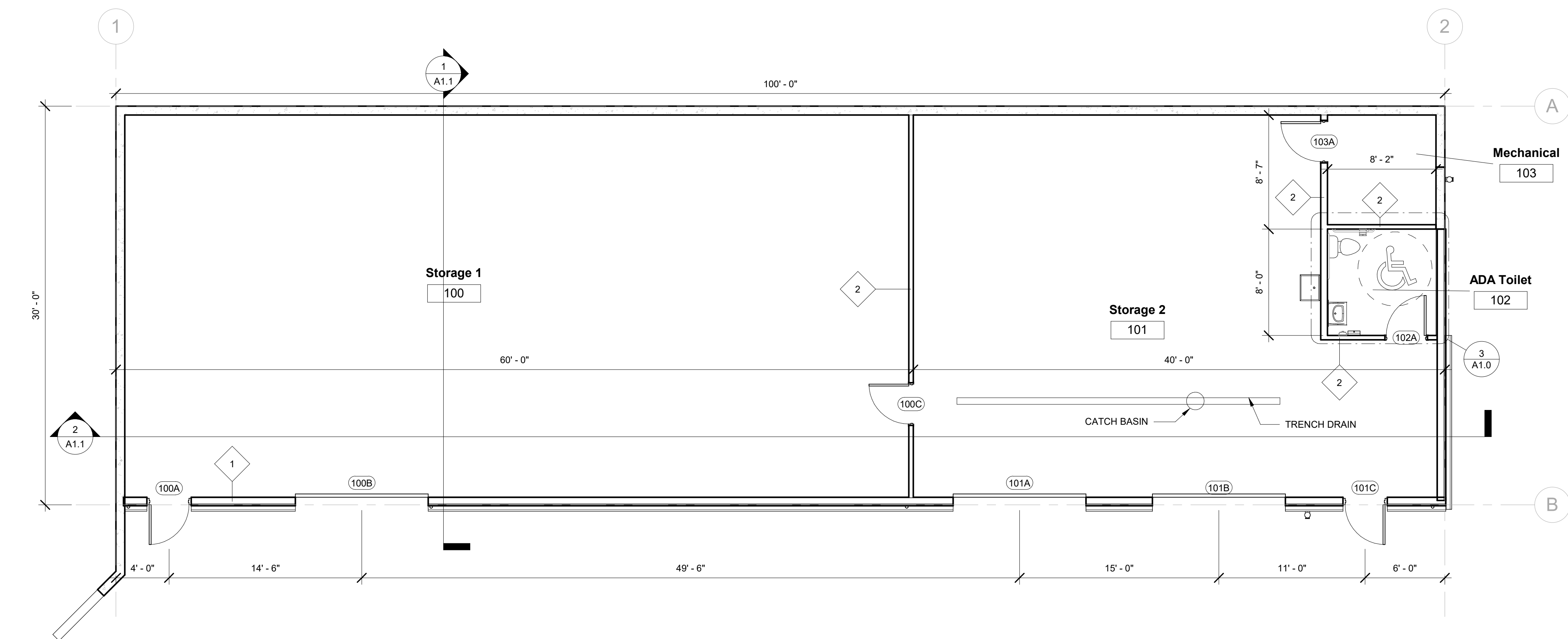
1008.3.5 ILLUMINATION LEVEL UNDER EMERGENCY POWER
EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AT THE MINIMUM AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. IN GROUP-2 OCCUPANCIES, FAILURE OF ANY SINGLE LIGHTING UNIT SHALL NOT REDUCE THE ILLUMINATION LEVEL TO LESS THAN 0.2 FOOT-CANDLE (2.2 LUX).

1008.3.3 ROOMS AND SPACES
IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:

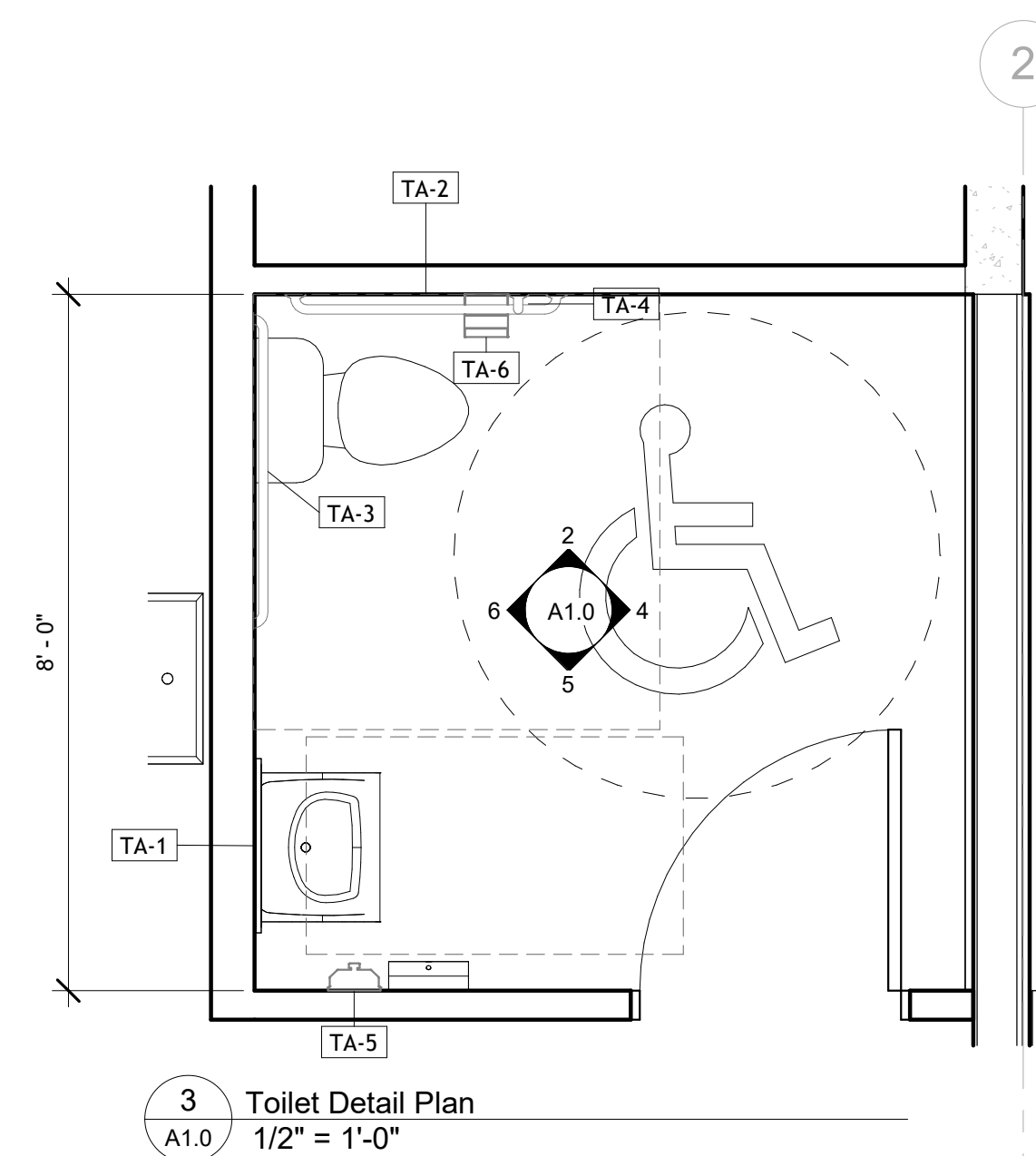
1. ELECTRICAL EQUIPMENT ROOMS.
2. FIRE COMMAND CENTERS.
3. FIRE PUMP ROOMS.
4. GENERATOR ROOMS.
5. PUBLIC RESTROOMS WITH AN AREA GREATER THAN 300 SQUARE FEET (27.87 M2).



2 Life Safety Plan
A0.0 $3/16" \approx 1'-0"$



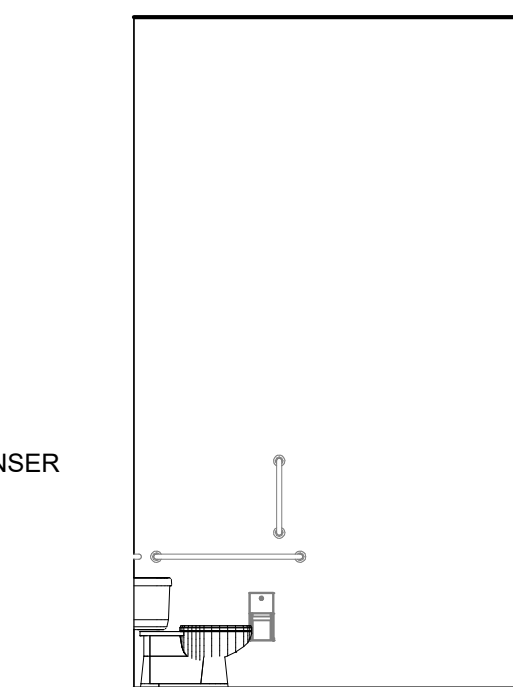
  Floor Plan
A1.0 $\frac{3}{16}'' = 1'-0''$



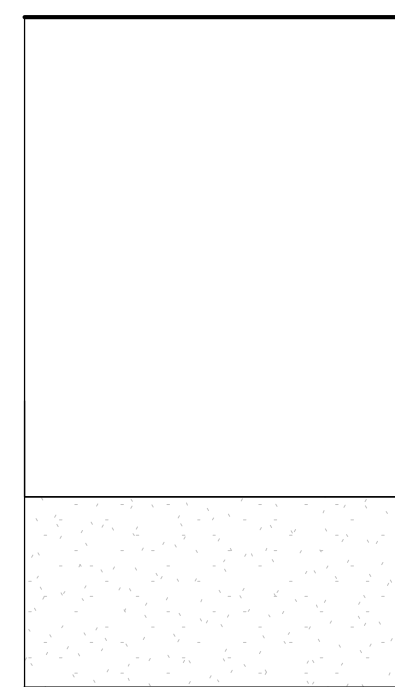
3 Toilet Detail Plan
A1.0 1/2" = 1'-0"

TOILET ACCESSORIES

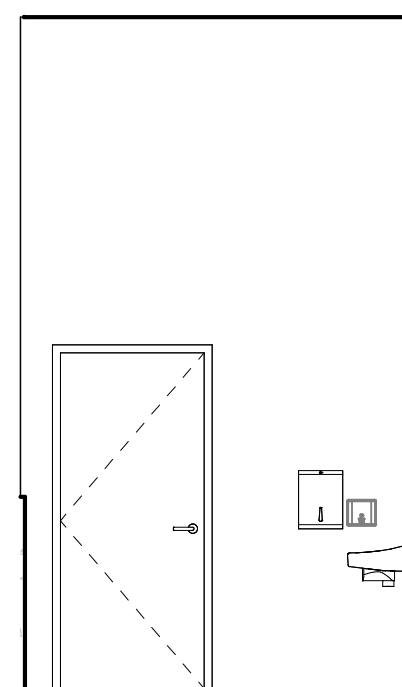
- | | |
|------|-------------------------------------|
| TA-1 | 24" x 36" MIRROR |
| TA-2 | 36" GRAB BAR |
| TA-3 | 42" GRAB BAR |
| TA-4 | 18" GRAB BAR |
| TA-5 | WALL MOUNTED SOAP DISPENSER |
| TA-6 | WALL MOUNTED TOILET PAPER DISPENSER |
| TA-7 | PAPER TOWEL DISPENSER |



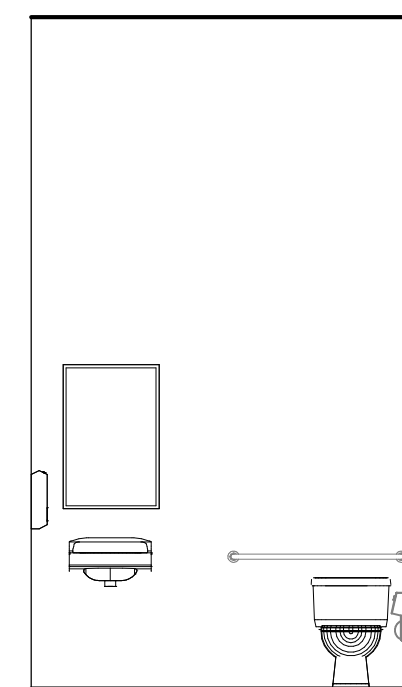
2 North ADA Toilet
A1.0 1/4" = 1'-0"



4 A1.0	East ADA Toilet 1/4" = 1'-0"
-----------	---------------------------------



5 South ADA Toilet
A1.0 1/4" = 1'-0"



6	West ADA Toilet
A1.0	1/4" = 1'-0"

ROOM AREA SCHEDULE		
Number	Name	Area
100	Storage 1	1,697 SF
101	Storage 2	986 SF
102	ADA Toilet	65 SF
103	Mechanical	67 SF
		2,815 SF

JEWELL

560 Sunrise Drive
Spring Green, WI 53588
phone: 608-588-7484

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S&D Builders
Upland Hills Storage Building
Enter address here

PLAN REVIEW

8-14-2026

[illegible]

Drawing Name
Floor Plan

Project number S58136	Sheet number A1.0
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JEWELL

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Spring Green, WI 53588
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S&D Builders
Upland Hills Storage Building
Enter address here

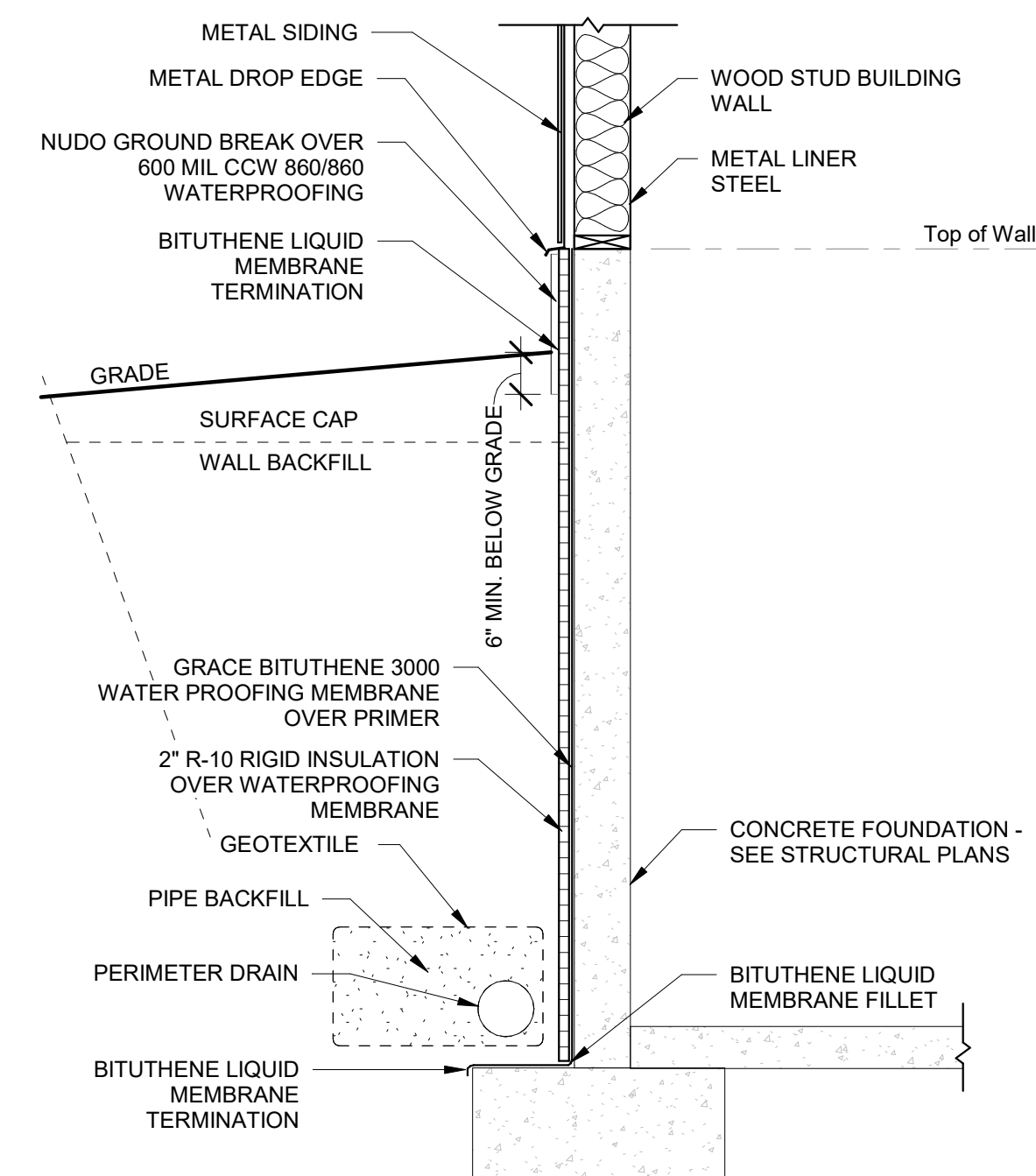
PLAN REVIEW

8-14-2026

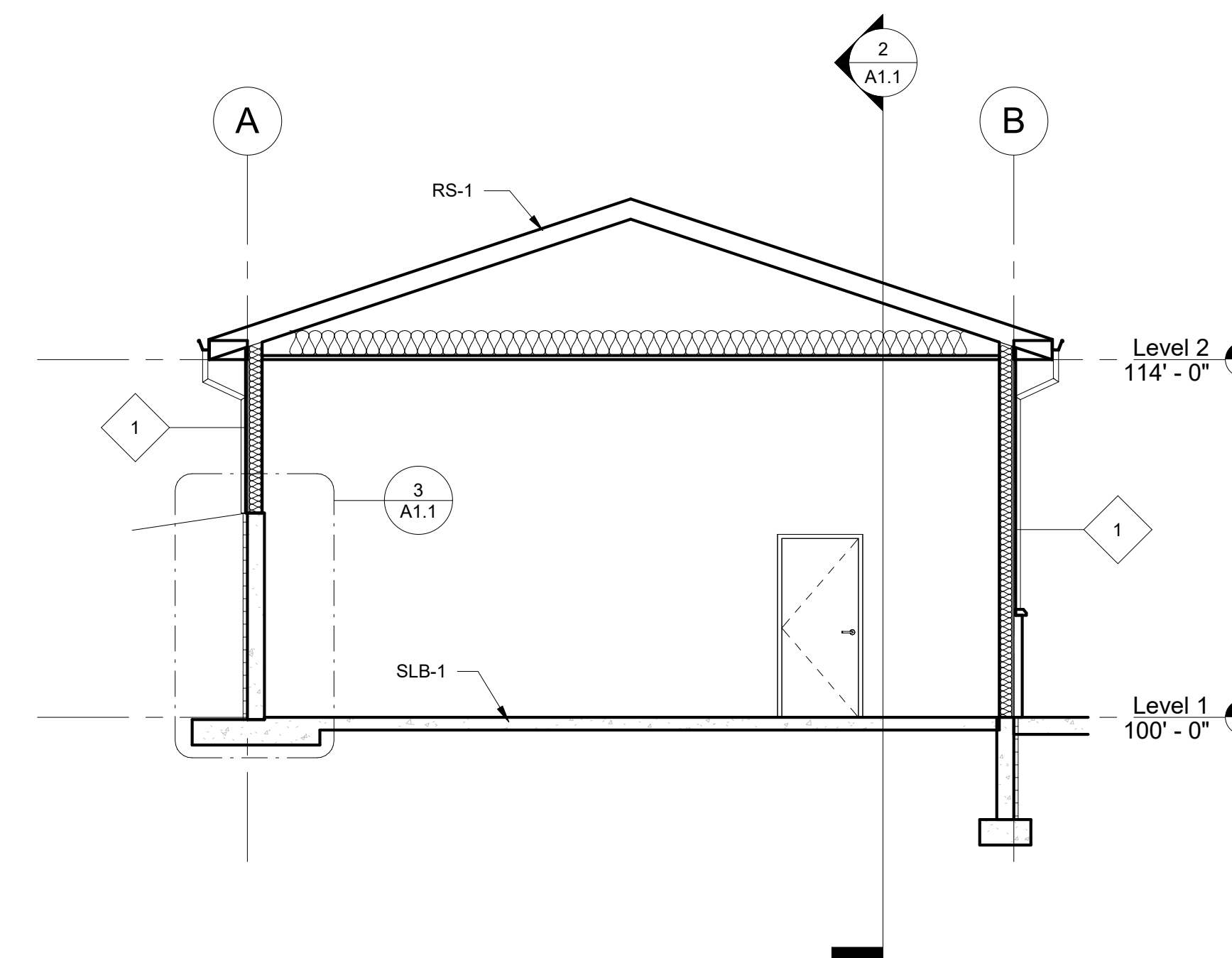
[illegible]

Drawing Name	
Building Section	

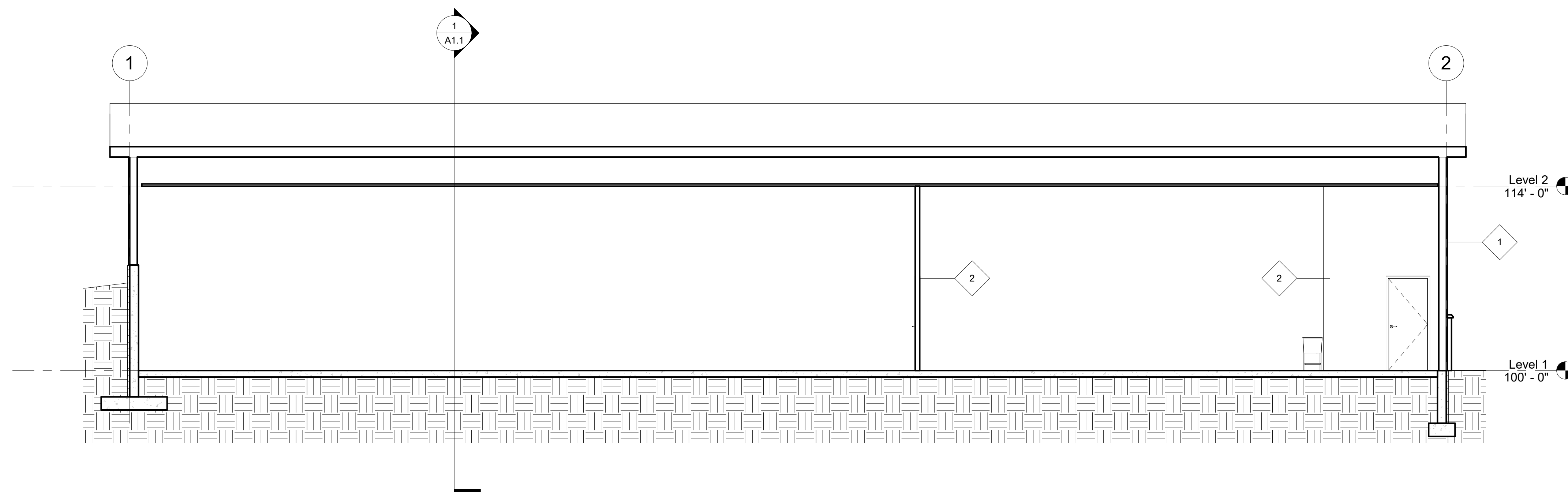
Project number S58136	Sheet number A1.1
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3 Retaining Wall Section
A1.1 1/2" = 1'-0"



1 Section 1
A1.1 $3/16" = 1'-0"$



2 Section 2
A1.1 3/16" = 1'-0"

JEWELL

560 Sunrise Drive
Spring Green, WI 53588
phone: 608-588-7484

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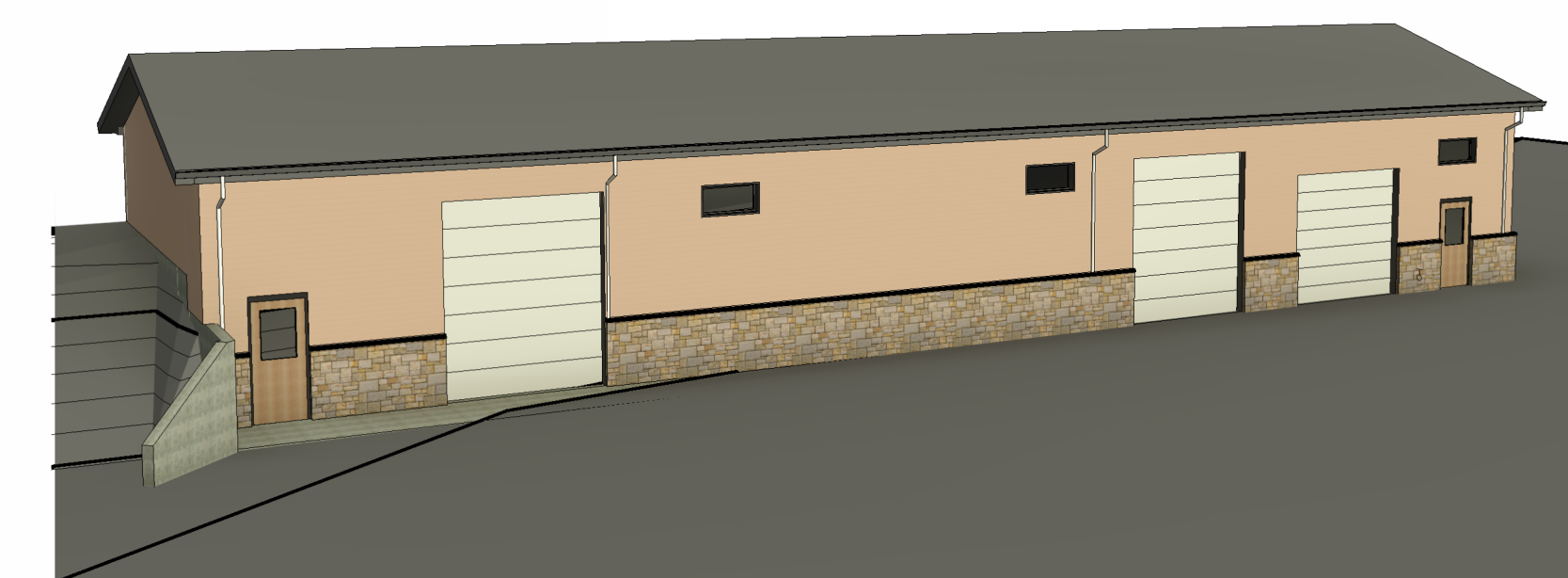
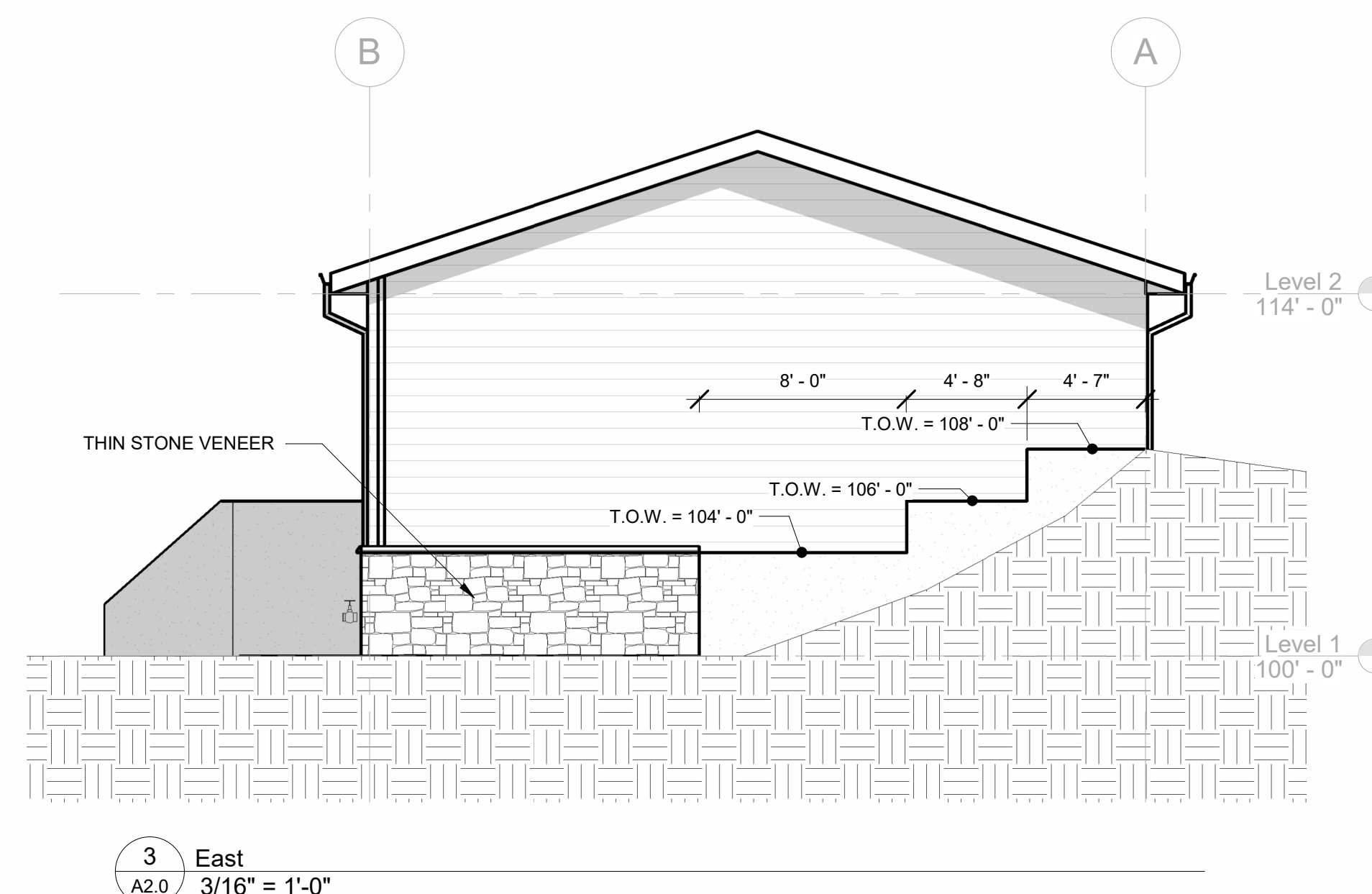
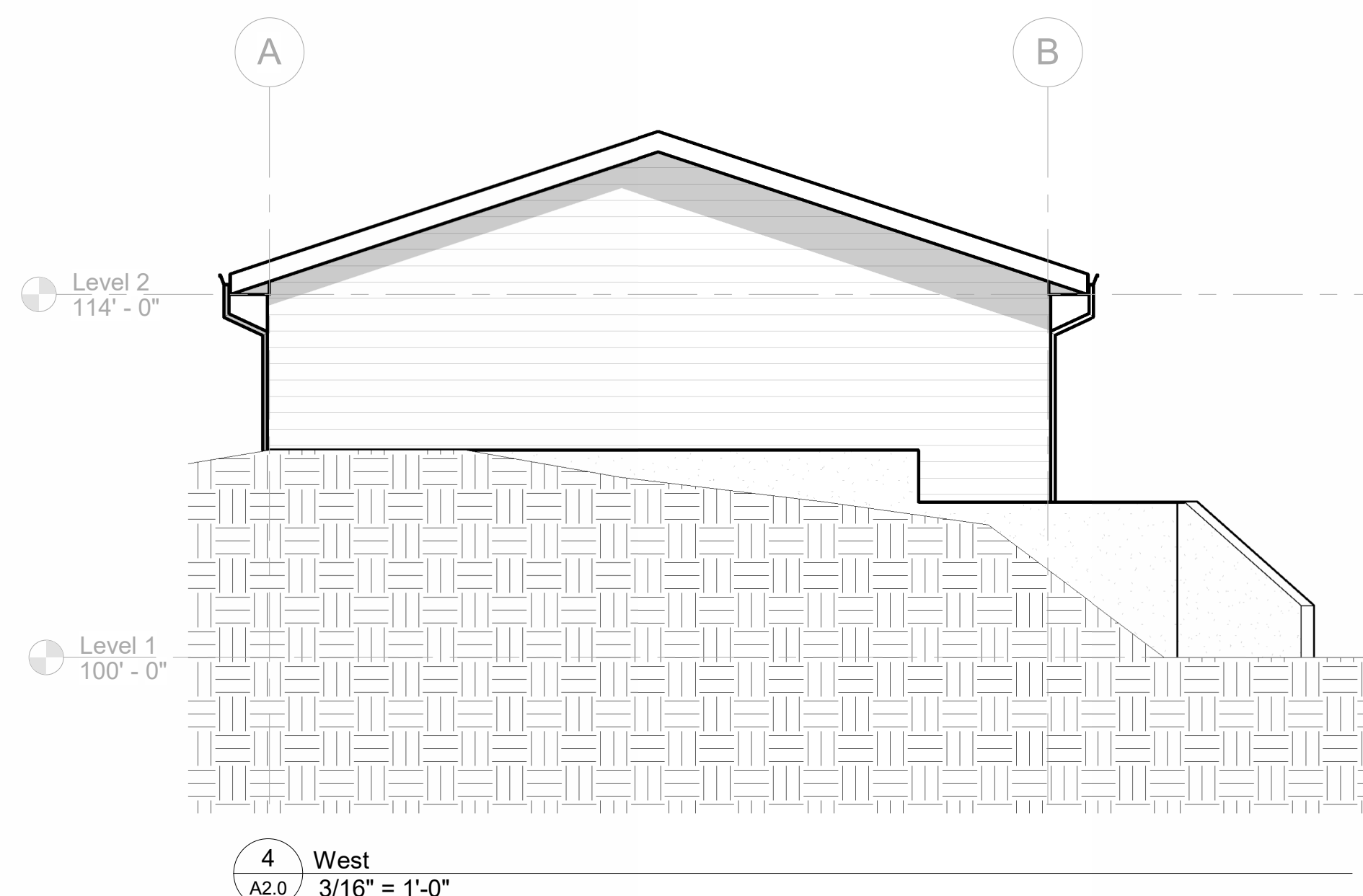
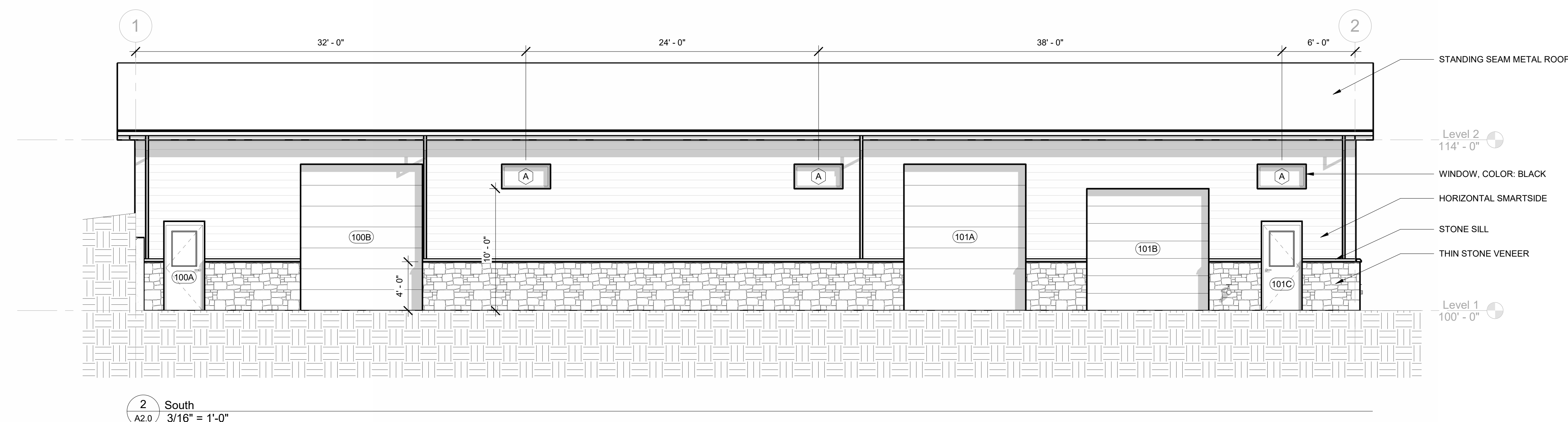
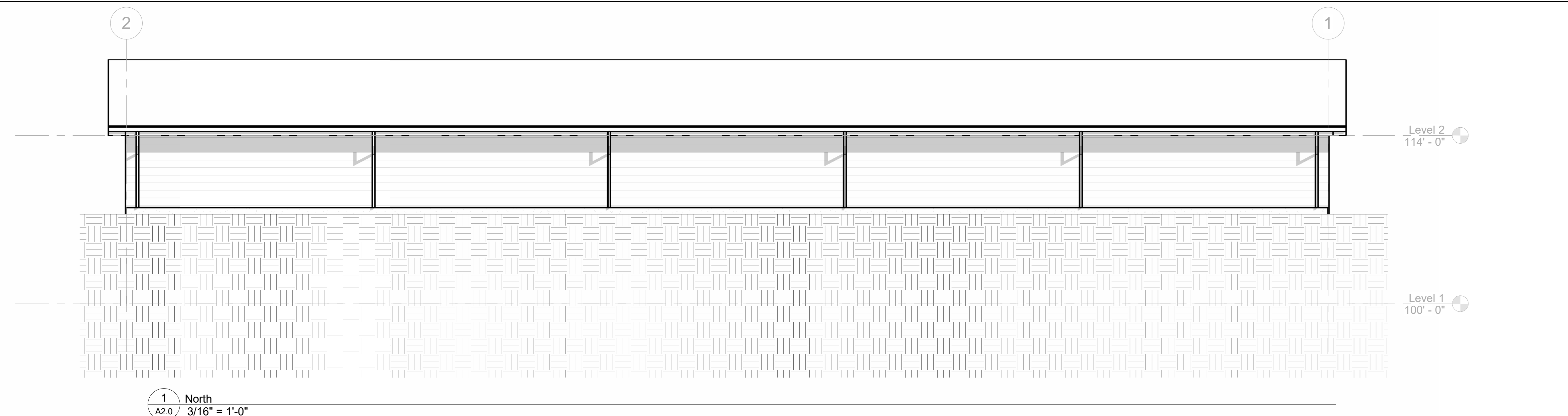
PLAN REVIEW

8-14-2026

[illegible]

Drawing Name
Exterior Elevations

Project number S58136	Sheet number A2.0
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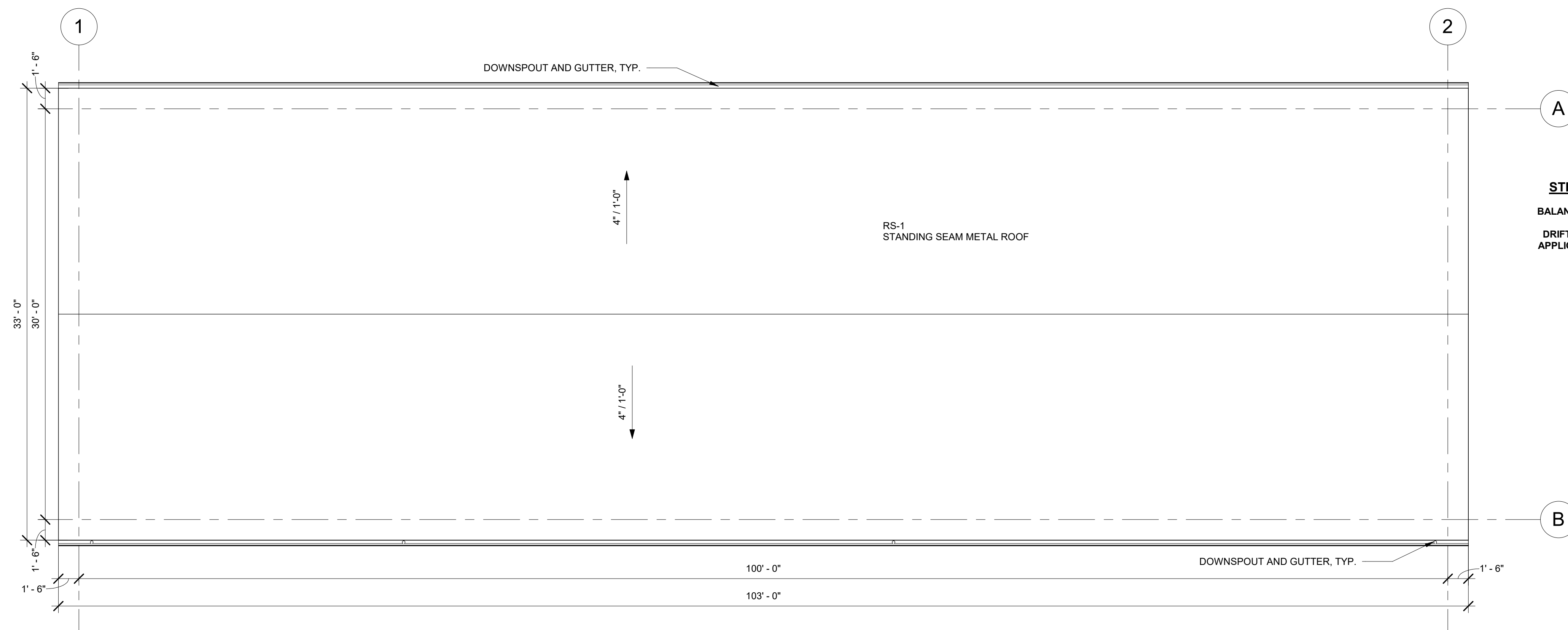
PLAN REVIEW

8-14-2026

[illegible]

Drawing Name
**Finish Plan and
Roof Plan**

Project number S58136	Sheet number A4.0
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2 Roof Plan
A4.0 3/16" = 1'-0"

STRUCTURAL ROOF PLAN NOTES

BALANCED SNOW ON SLOPED ROOFS = 23.1 PSF

**DRIFT LOADS & SLIDING SNOW LOADS WHERE
APPLICABLE SHALL BE APPLIED IN ADDITION TO
BALANCED SNOW LOADS**

FINISH SCHEDULE						
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
100	Storage 1	CONC-1		CONC/M-1	M-1	
101	Storage 2	CONC-1		CONC/M-1	M-1	
102	ADA Toilet	CONC-1		CONC/M-1	M-1	
103	Mechanical	CONC-1		CONC/M-1	M-1	

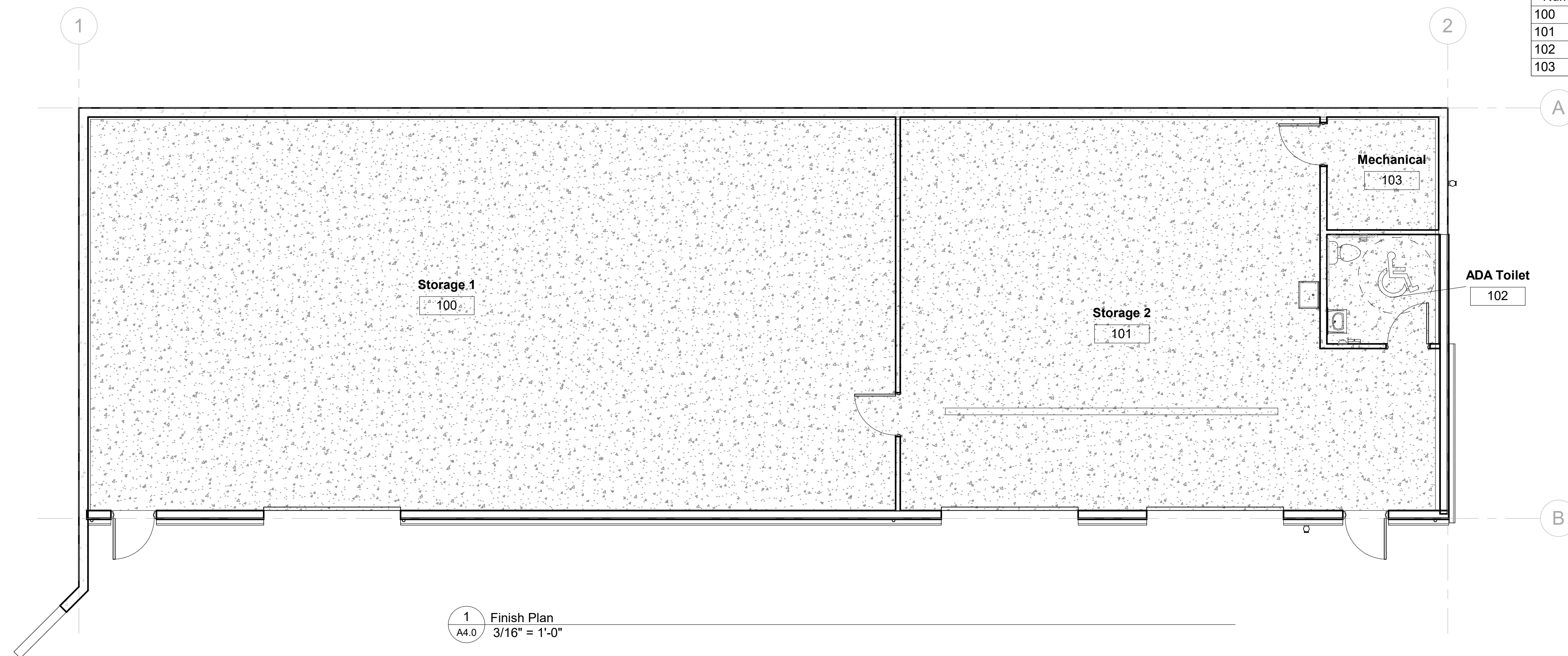
ROOM FINISH LEGEND

CONCRETE:

CONC-1 CONCRETE FLOOR

CEILING:

M-1 METAL LINER PANEL



1 Finish Plan
A4.0 3/16" = 1'-0"

[illegible]

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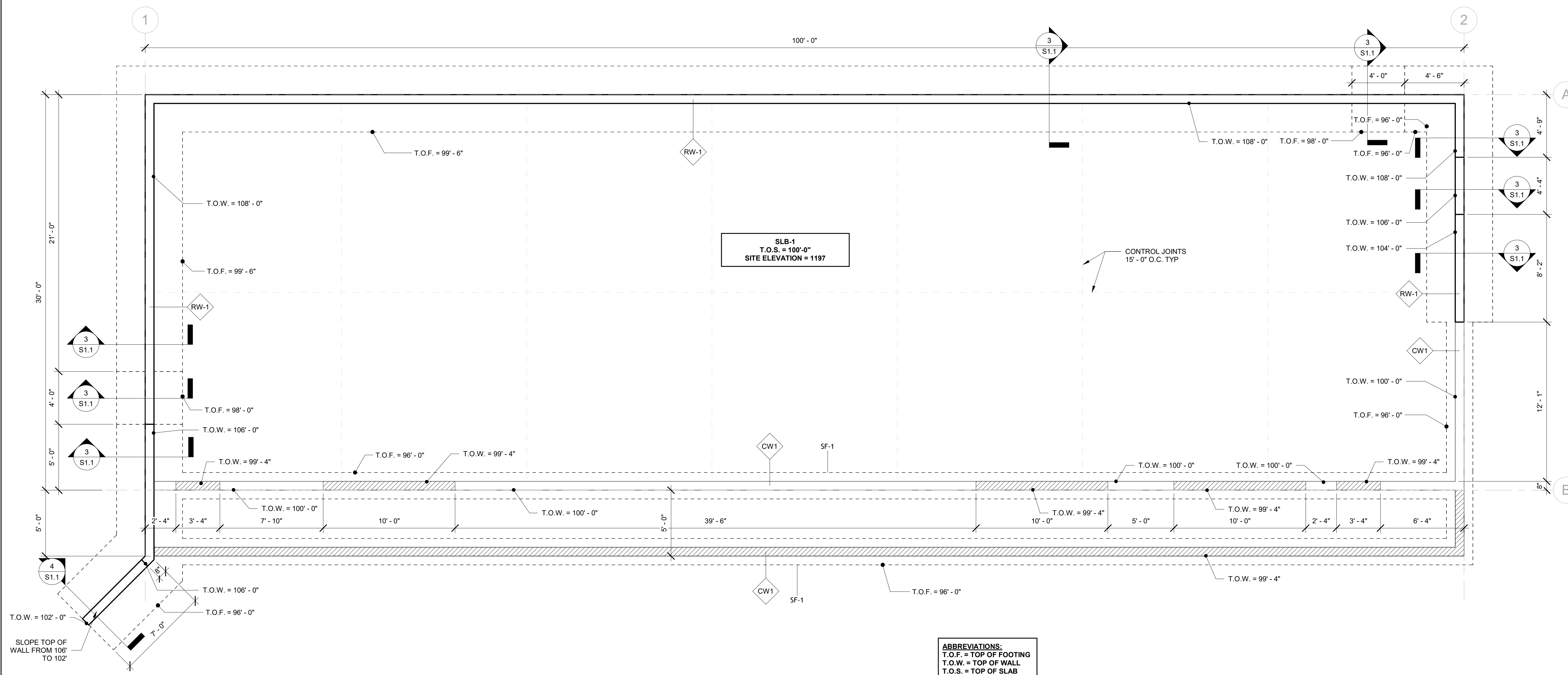
PLAN REVIEW

8-14-2026

[illegible]

Drawing Name
Foundation Plan

Project number S58136	Sheet number S1.0
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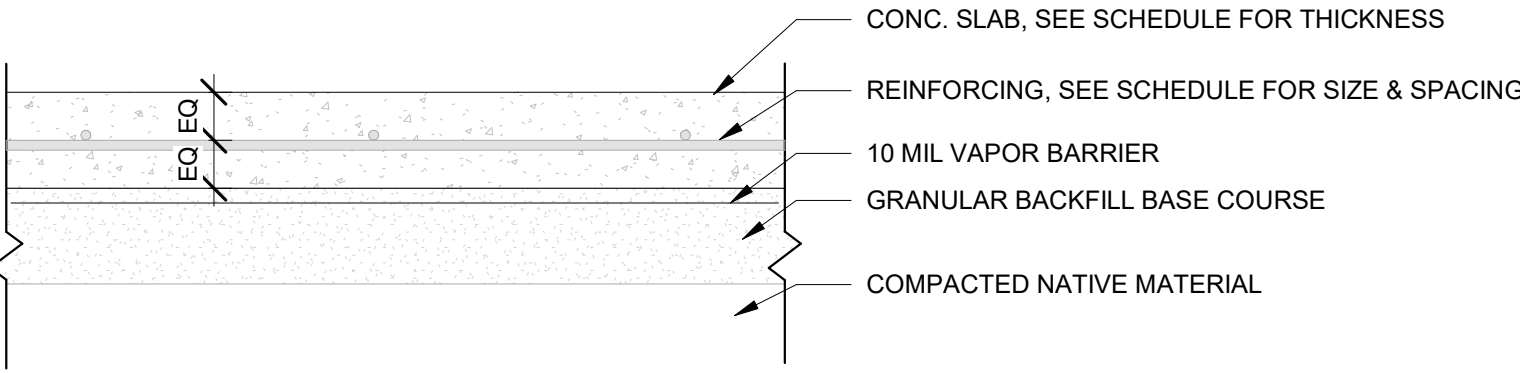


ABBREVIATIONS:
T.O.F. = TOP OF FOOTING
T.O.W. = TOP OF WALL
T.O.S. = TOP OF SLAB



Foundation Plan
 1/4" = 1'-0"

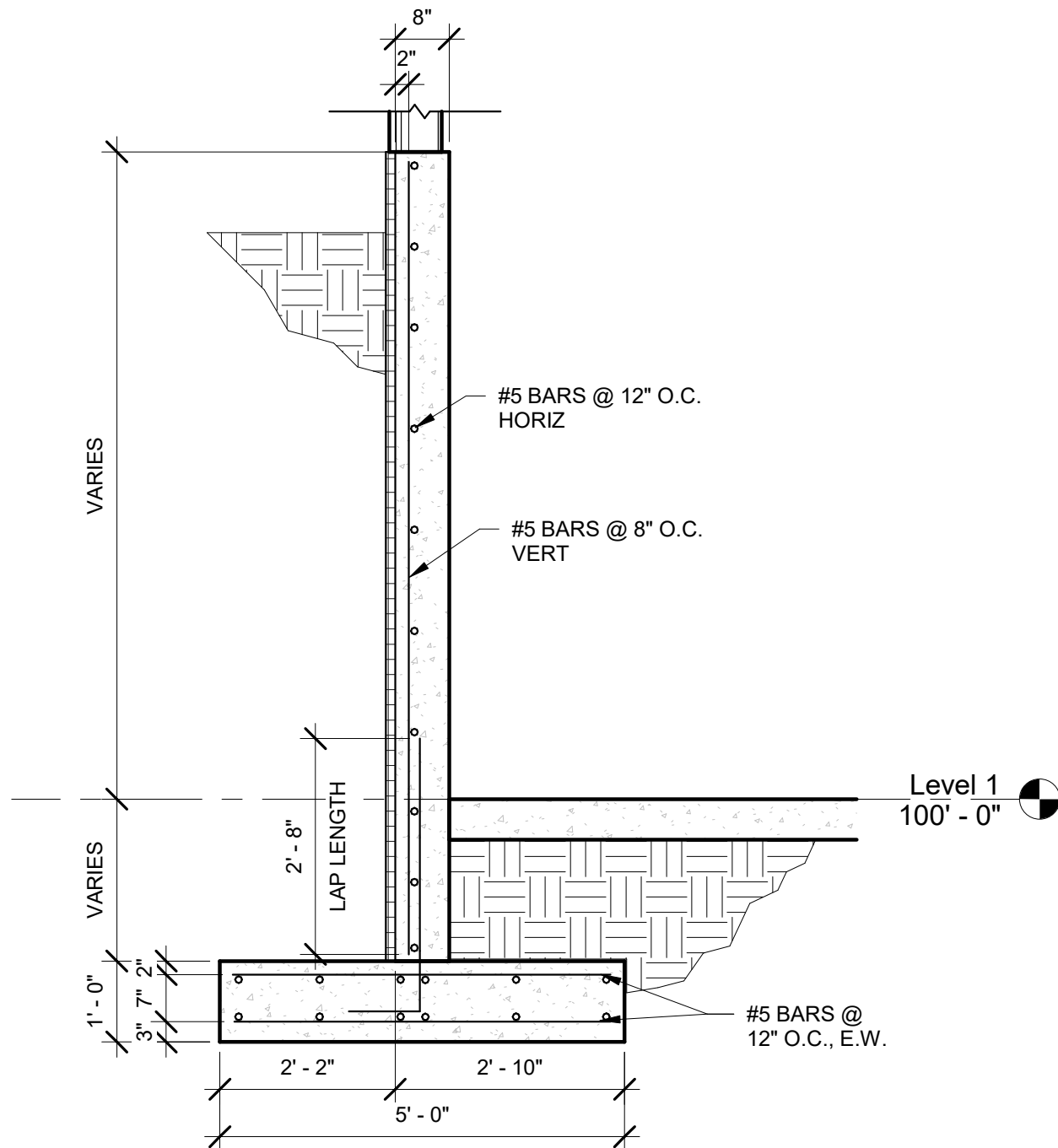
SLAB-ON-GRADE SCHEDULE			
Type Mark	Thickness	Description	Remarks
SLB1	0' - 6"	6" CONCRETE SLAB W/ #4 BARS @ 18" O.C., E.W.	15' O.C. MAX SAWCUTS



SLAB-ON-GRADE SCHEDULE NOTES:

1. ALL INTERIOR SLAB-ON-GRADE CONSTRUCTION SHALL INCLUDE 10 MIL POLY VAPOR BARRIER AND MIN. 12" GRANULAR BACKFILL COURSE BELOW.
2. SEE CONCRETE NOTES FOR CONCRETE CLASS.

1	Concrete Slab on Grade Schedule
S1.1	1" = 1'-0"

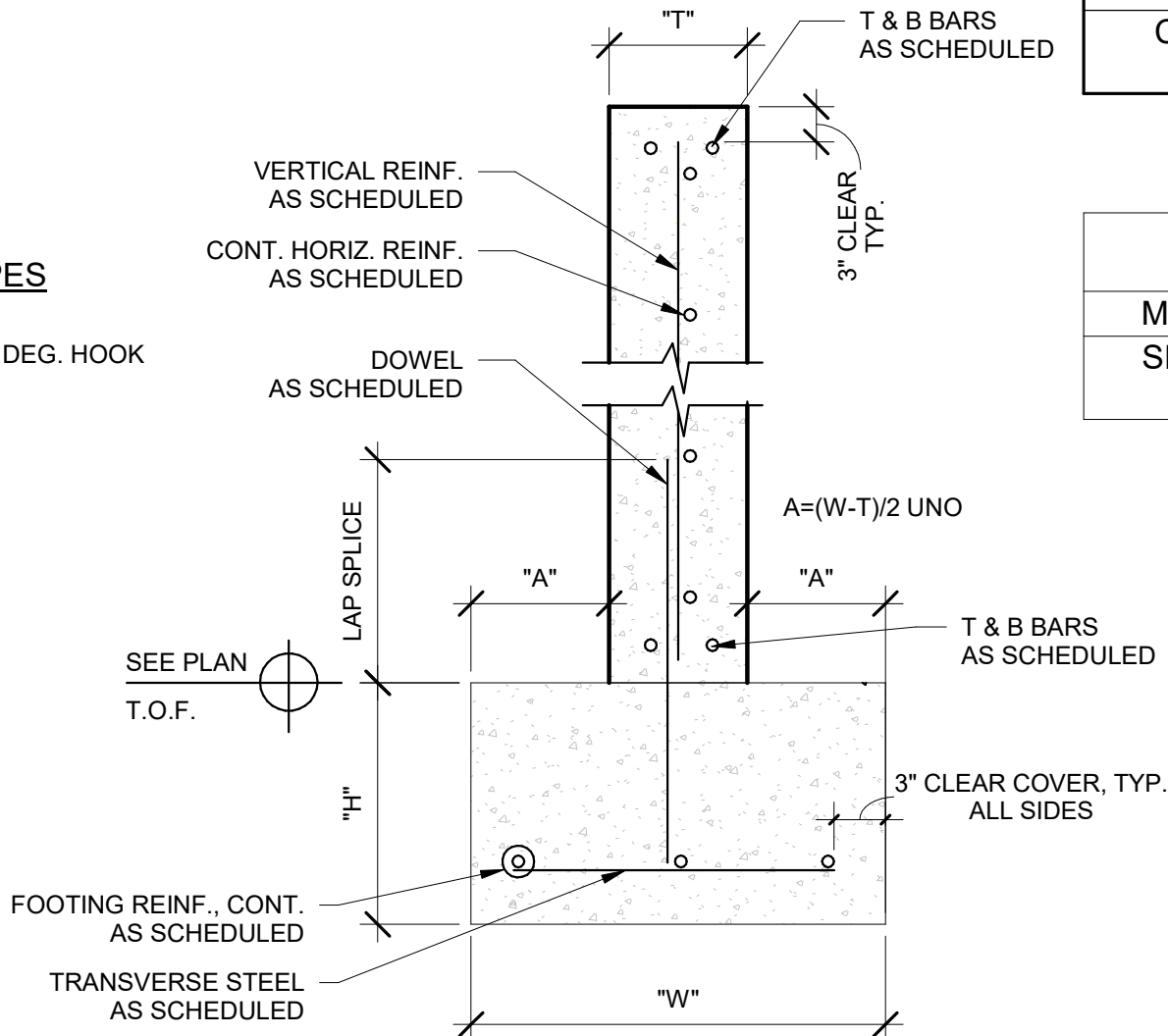


3	Retaining Wall RW-1
S1.1	1/2" = 1'-0"

FOOTING DOWEL TYPES

- ☐ A STANDARD 90 DEG. HOOK
- ☐ B STRAIGHT

FOOTING DOWEL TYPES VARY, TYPE B DOWELS SHOWN FOR EXAMPLE ONLY.



2 Concrete Foundation Schedule
S1.1 NOT TO SCALE

CONCRETE WALL SCHEDULE				
Type	Thickness (T)	Vertical Reinf.	Horizontal Reinf.	Remarks
CW1	0' - 8"	N/A	(2) #5 BARS TOP & BOTTOM, CONT.	

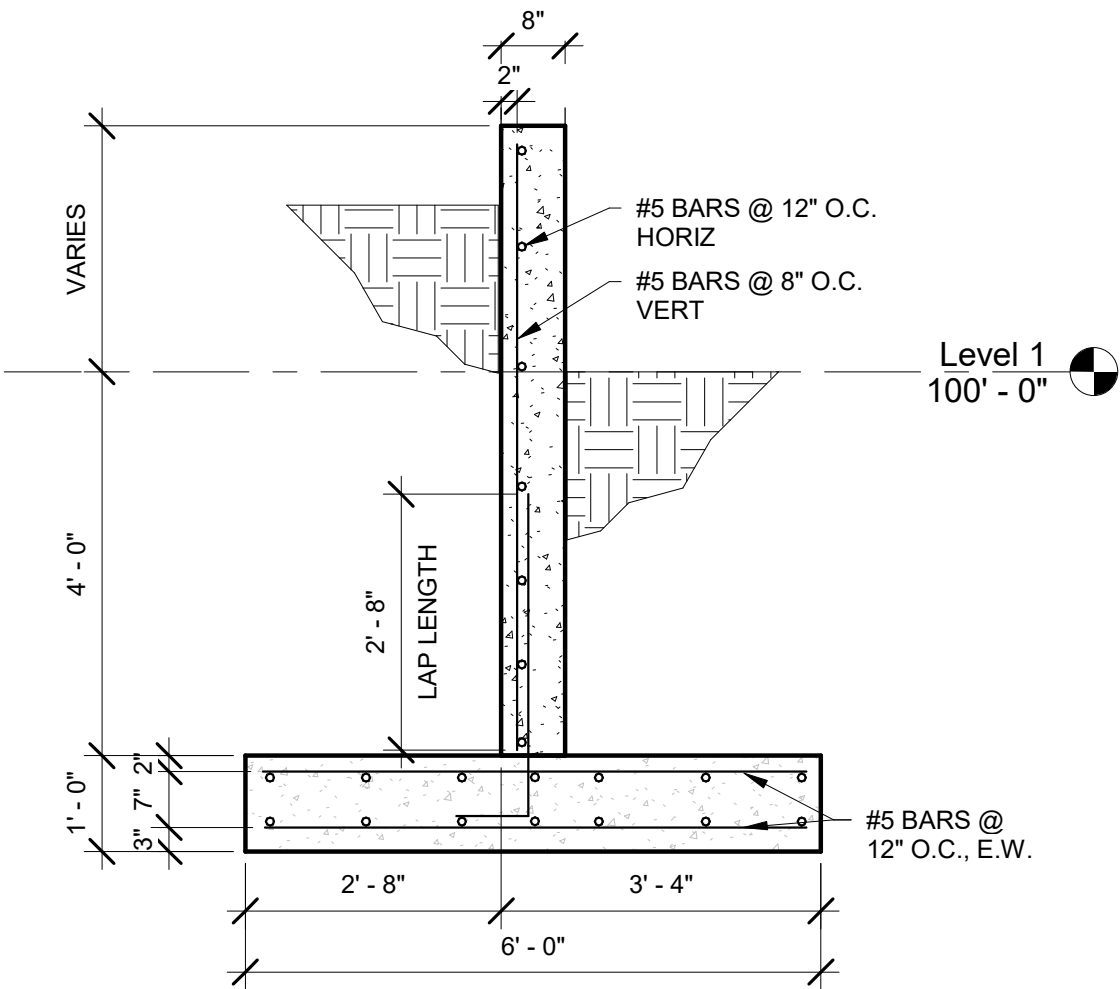
CONCRETE STRIP FOOTING SCHEDULE					
Mark	Width (W)	Thickness (H)	Reinforcing	Transverse	Dowels
SF-1	2' - 0"	1' - 0"	(3) #5 BARS CONT.	N/A	#5 TYPE B BARS, 30" LONG @ 24" O.C.

CONCRETE WALL SCHEDULE NOTES:

1. TOP OF WALL AND BRICK LEDGE COND. MAY VARY. SEE FOUNDATION PLAN AND SECTIONS
AS APPLICABLE FOR EXACT WALL GEOMETRY.
2. 1/4" CONCRETE PLACEMENT TOLERANCE SHALL BE 1/4" TO 1/2" HEIGHT UNLESS OTHERWISE APPROVED BY
THE ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR TO SUBMIT HORIZONTAL
CONSTRUCTION JOINT PLAN FOR ENGINEERS REVIEW PRIOR TO CONSTRUCTION.
3. CONTRACTOR'S CONSTRUCTION METHOD SHALL PROVIDE FOR MAX. CONCRETE DUMP = 4'-0".
CONCRETE PLACEMENT SHALL BE IN 12" MAX. LIFT WITH MAX. SEGREGATION.
4. PROVIDE VERTICAL CONTROL JOINTS AT 30'-0" O.C. MAX. SPACING. CONTRACTOR TO SUBMIT
CONCRETE PLACEMENT PLAN TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
CONTROL JOINTS TO ALIGN VERTICALLY AT STACKED LIFT CONSTRUCTION.
5. SEE STRUCTURAL NOTES FOR RIGID INSULATION REQUIREMENTS AT EXTERIOR BELOW
GRADE WALL FACES.
6. SEE CONCRETE SPECIFICATIONS FOR CONCRETE CLASSES.

CONCRETE STRIP FOOTING SCHEDULE NOTES:

1. **CONCRETE STRIP FOOTINGS ARE OPTIONAL BETWEEN SPREAD FOOTINGS. IF THEY ARE NOT INSTALLED THE TOP OF FOOTING DIMENSION SHALL BE USED AS THE BOTTOM OF WALL DIMENSION.**
2. **SEE CONCRETE SPECIFICATIONS FOR CONCRETE CLASS.**
3. **EMBED DOWELS INTO FOOTING, 3" CLEAR COVER FROM BOTTOM OF FOOTING.**
4. **EXCEPT WHERE SPECIFICALLY NOTED, TYPE "A" FOOTING DOWELS SHALL BE TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.**



4	Retaining Wall RW-2
S1.1	1/2" = 1'-0"

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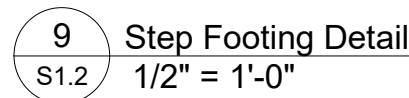
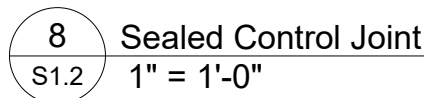
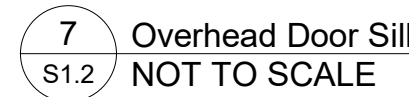
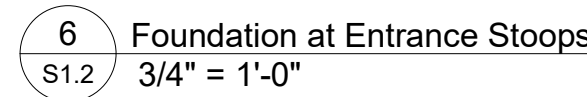
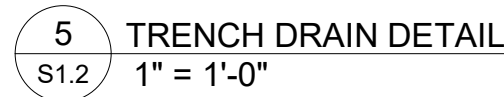
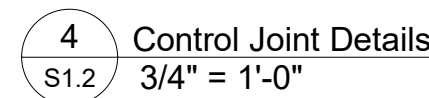
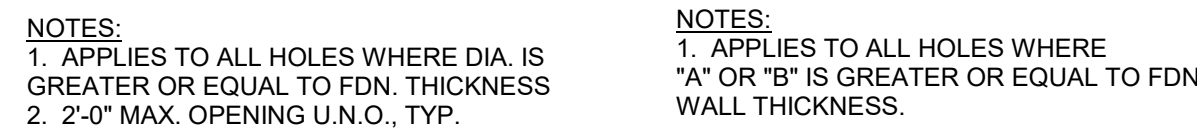
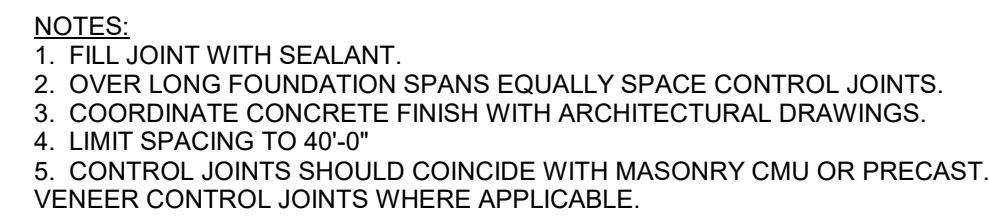
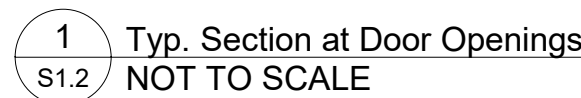
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Drawing Name

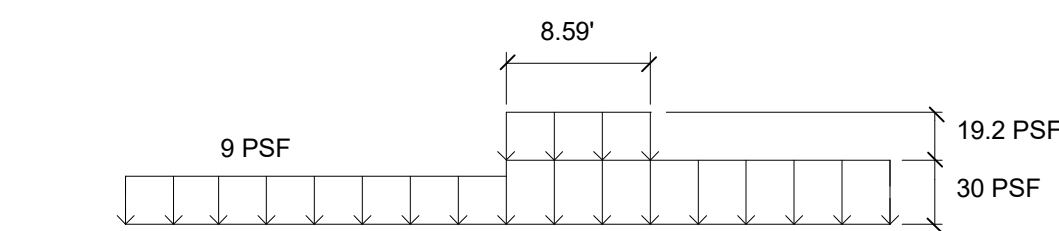
Foundation Schedules

Project number

Sheet number
S1.1

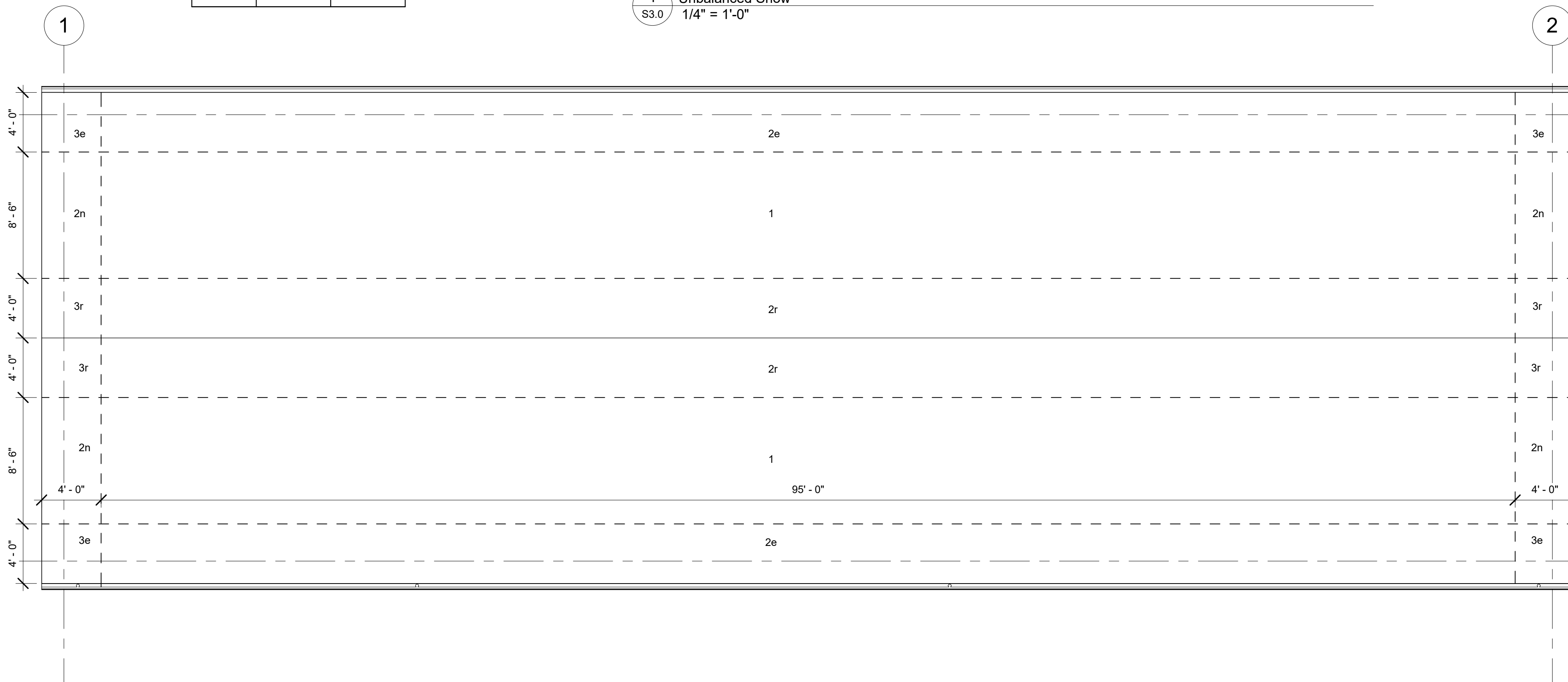


ZONE	PRESSURE (PSF)	
	+	-
1, 2e	10.96	- 15.53
2n, 2r, 3e	10.96	- 26.95
3r	10.96	- 45.22

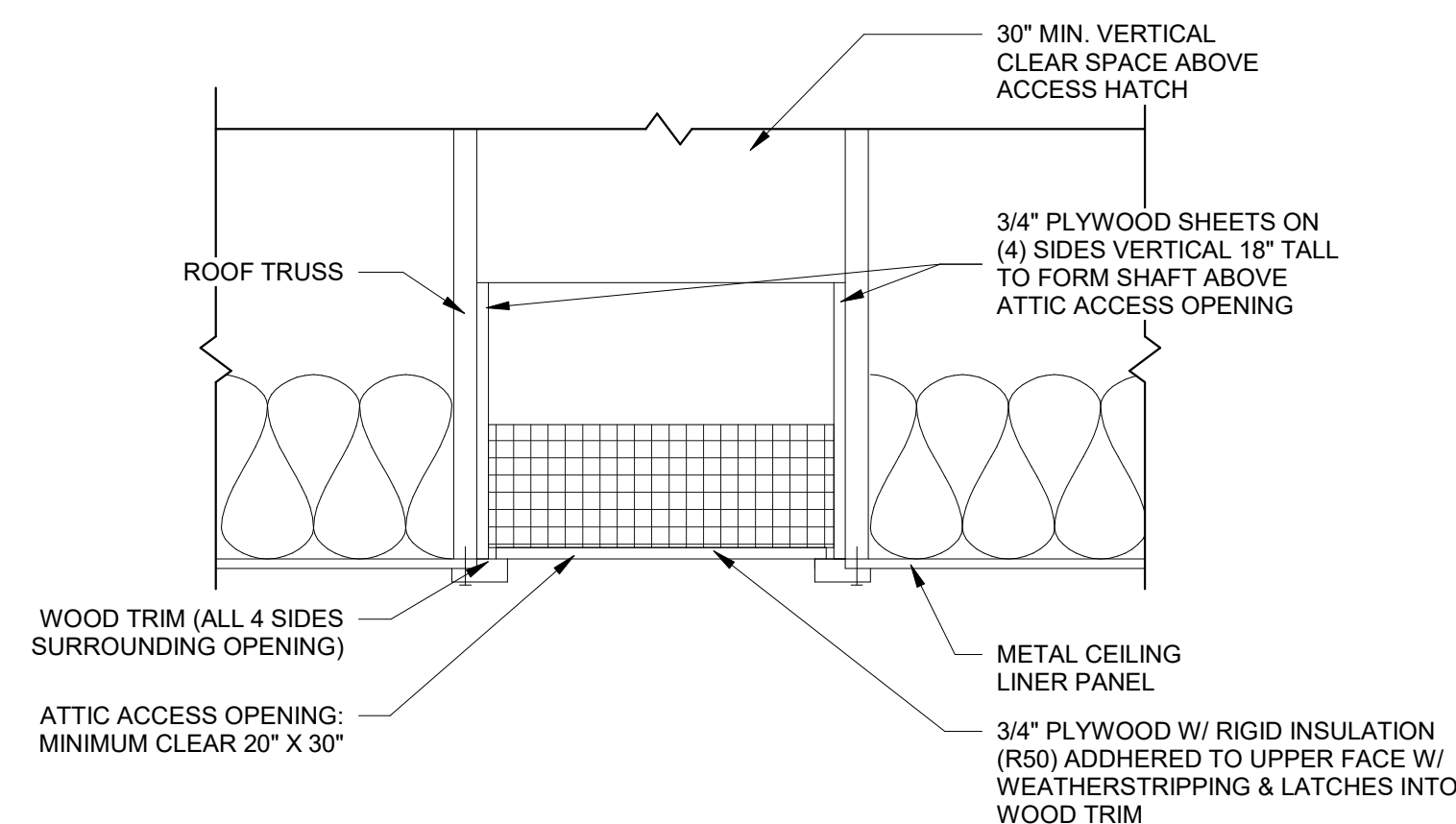


BALANCED SNOW ON SLOPED ROOFS = 23.1PSF

DRIFT LOADS & SLIDING SNOW LOADS WHERE APPLICABLE SHALL BE APPLIED IN ADDITION TO BALANCED SNOW LOADS



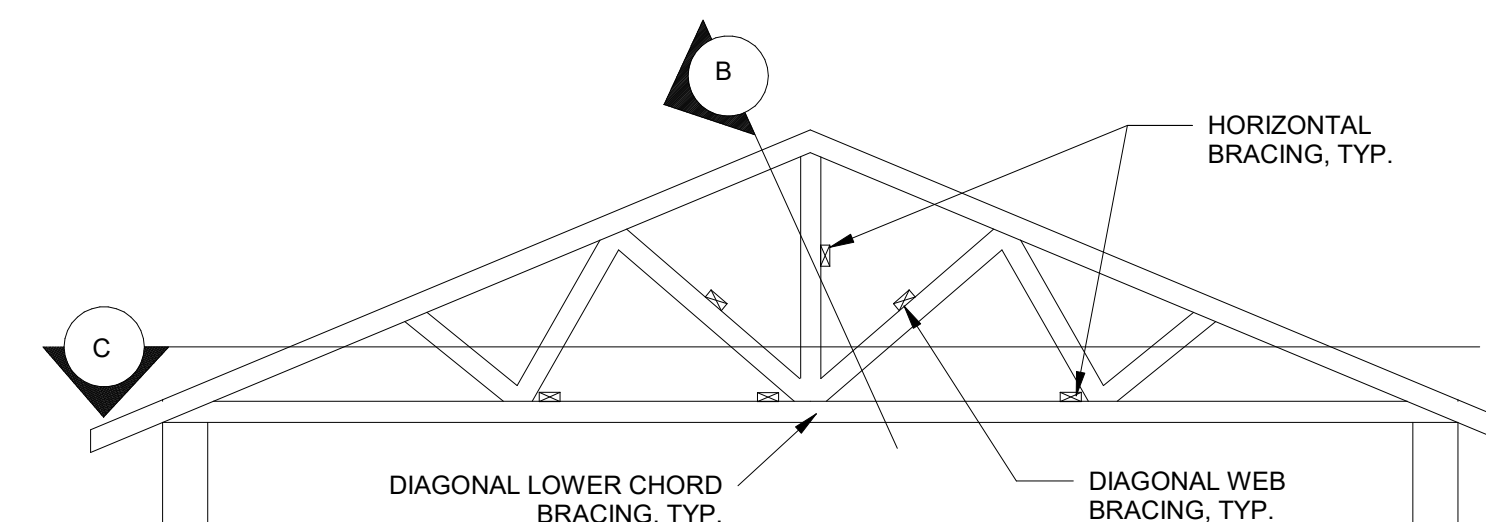
1	Unbalanced Snow
S3.0	1/4" = 1'-0"



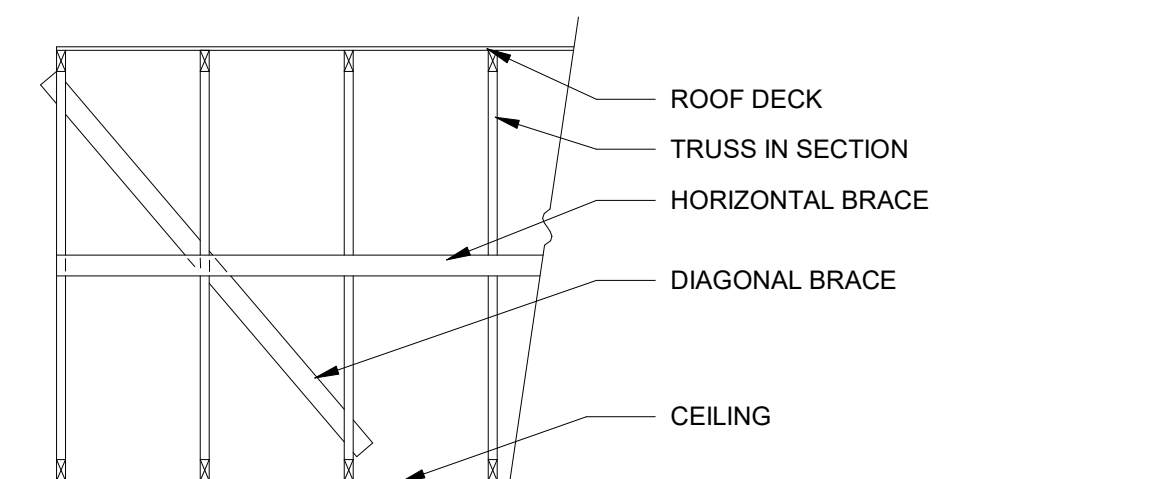
6 Attic Hatch
S3.0 NOT TO SCALE

ROOF TRUSS BRACING NOTES

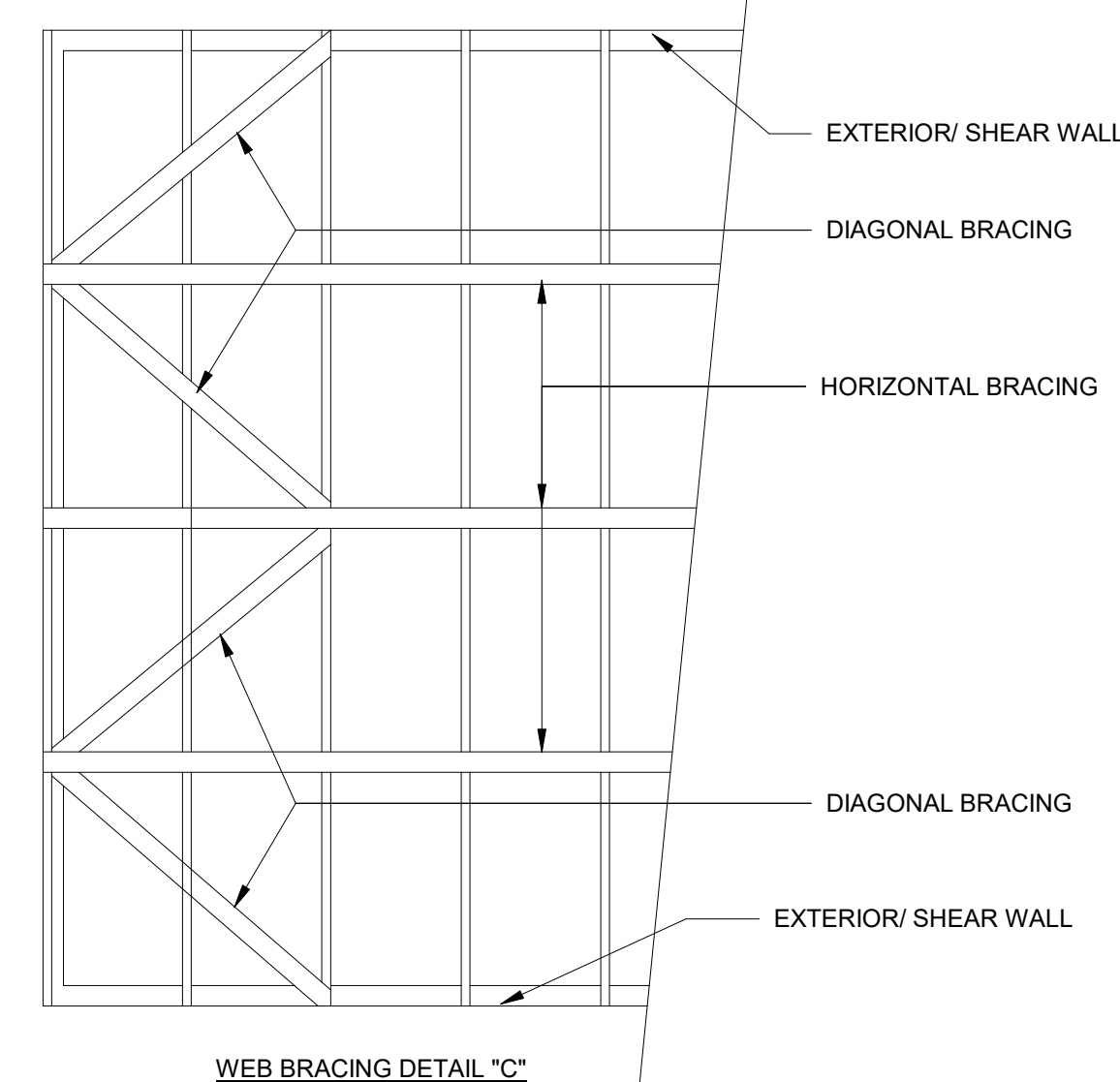
1. ALL BRACING SHOWN OR DESCRIBED SHALL BE A MINIMUM 2 X 4 WITH 2 16d IN EVERY TRUSS IT CROSSES.
2. ALL TRUSS TOP CHORDS SHALL BE BRACED BY THE ROOF DECKING.
3. ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE.
4. ALL HORIZONTAL BRACING SHALL BE A MINIMUM 2 X 4 WITH 20' O.C. WITH EITHER:
 - A. DIAGONAL BRACING EXTENDED TO A SHEAR WALL PARALLEL OR TO THE ORIGINAL BRACING. SEE BRACING DETAILS.
 - B. A 1/2" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.
5. ALL TOP AND BOTTOM CHORDS SHALL BE BRACED AS PER CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEETING APPLIED TO BOTTOM CHORD WILL NOT SATISFY BRACING REQUIREMENT. (SEE DETAILS A, B, & C).
6. WEB BRACING IS PROVIDED TO SHOW THE INTENT OF BRACING LOCATIONS. TRUSS MANUFACTURER TO PROVIDE DETAILED BRACING INSTRUCTIONS FOR DESIGN TRUSSES TO COORDINATE WITH THE BUILDING DESIGNER TO PROVIDE ELEMENTS OF THE STRUCTURAL DESIGN. SEE TRUSS MANUFACTURER'S DRAWING FOR BRACING DETAILS.



WEB BRACING DETAIL "A"

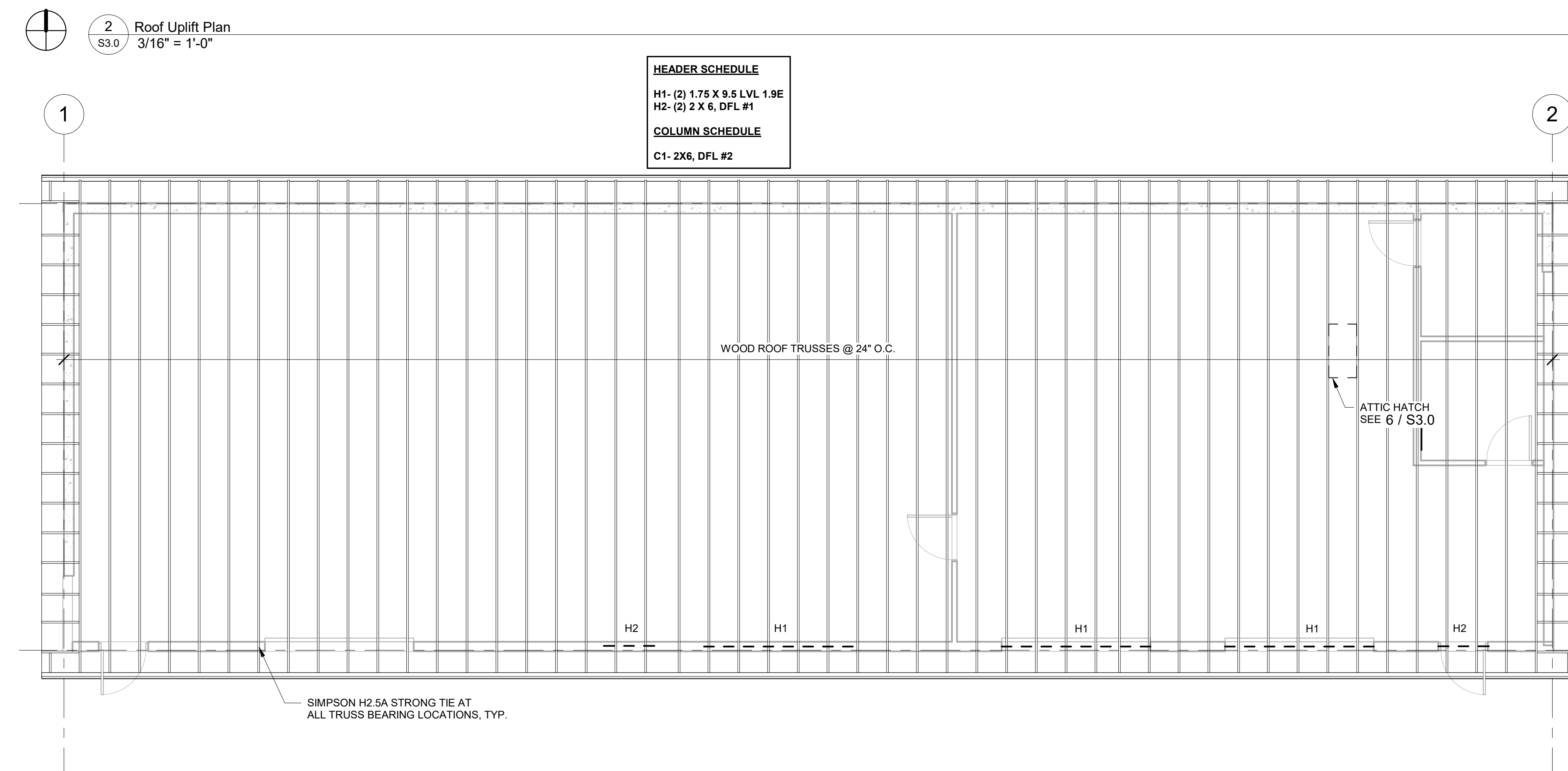


WEB BRACING DETAIL "B"



WEB BRACING DETAIL "C"

5 ROOF TRUSS NOTES
S3.0 NOT TO SCALE



HEADER SCHEDULE

H1- (2) 1.75 X 9.5 LVL 1.9E
H2- (2) 2 X 6, DFL #1

COLUMN SCHEDULE

C1- 2X6, DFL #2

2 Roof Uplift Plan
S3.0 3/16" = 1'-0"

4 Roof Framing Plan
S3.0 3/16" = 1'-0"

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PLAN REVIEW

8-14-2026

[illegible]

Drawing Name
**Roof Uplift Plan
and Roof
Framing Plan**

Project number S58136	Sheet number S3.0
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Stratus

onestratus.com

888.503.1569

LOCATION NUMBER:

53533

SITE ADDRESS:

525 E Leffler St
Dodgeville, WI
53533-2125

09/11/26

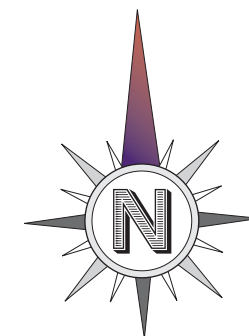
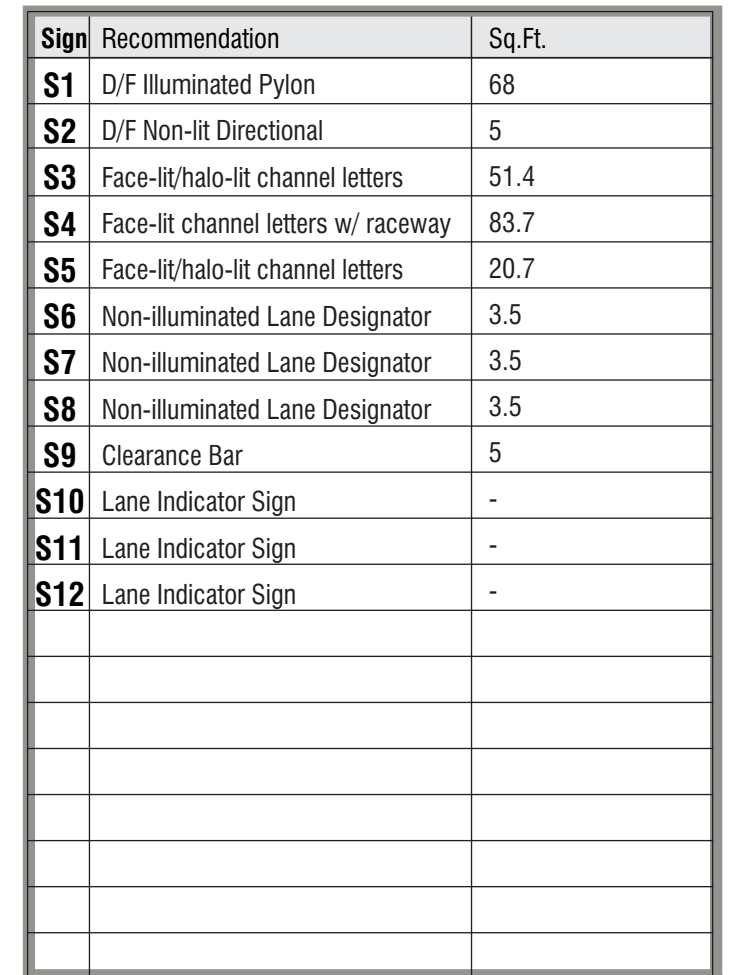
[View in Google Maps](#)

BMO



Scale: 1/32"=1'-0"

SITE OVERVIEW



Updated
Updated
Updated
New site to scale; dimensions for S1/2; new signs; re-skued
Updated S6
Removed S1, S5; Updated location of S3

S1

D/F ILLUMINATED PYLON

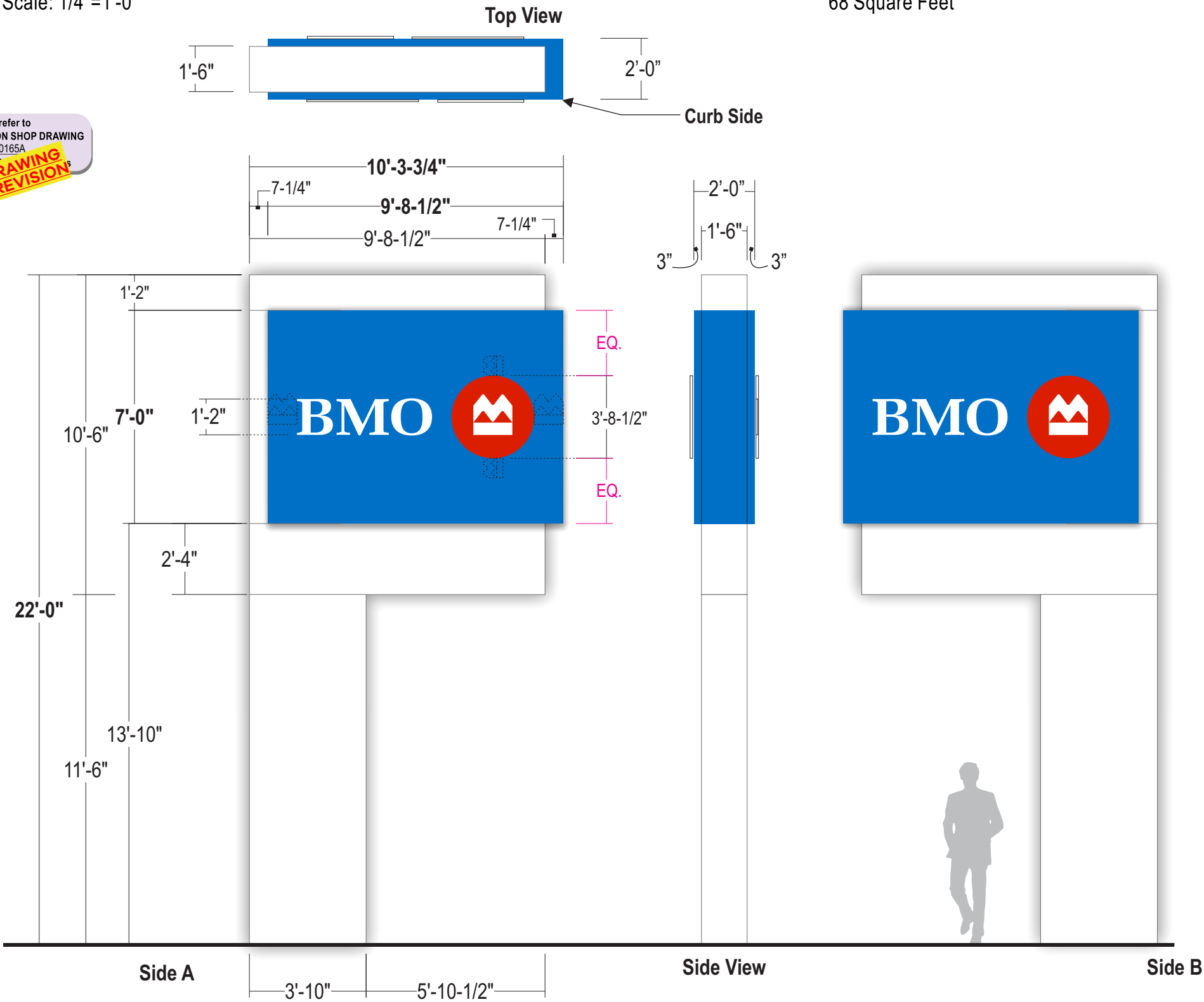
Scale: 1/4"=1'-0"

PM-80

68 Square Feet

Section IV. Item #3.

refer to
PRODUCTION SHOP DRAWING
BMO 0165A
for manufacturing
**SHOP DRAWING
NEEDS REVISION**



- CABINET/ SURROUND:** 1'-6" deep fabricated surround w/ internal 2" x 2" a .125 alum. skin all painted Semi-gloss White
- FACES:** .125 alum. w/ 3" deep returns - painted Blue satin finish
One side hinged for service access.
[See engineering for all construction details](#)
- GRAPHICS:** Routed from alum face; graphics to be router cut 1" (logo) 3/4" (copy) clear acrylic push thru w/ surface applied Trans Red w/ 3M matte overlaminate & trans White vinyl w/ second surface diffuser film; (Projection from face for logo is 7/8" and copy is 5/8")
- POLE COVER:** Fab'd .090 alum construction painted Semi-Gloss White
[See engineering for all construction details](#)
- ILLUMINATION:** Hanley White LED's; Power supplies housed within cabinet
Alternate: Sloan VL 4 White - 6500K
- INSTALL:** Internal steel as required w/ Baseplate mounted to concrete footer 6" below grade
[See engineering drawings for all details](#)
Installed within 20' of ROW line of the street
- QUANTITY:** (1) ONE required

COLOR PALETTE

- FACES:**
Pantone 300 C Blue
- BANKING CENTER:**
3M 3630-8308 BMO Blue
- LOGO VINYL:**
Pantone 485 Red
3M 3630-143 Poppy Red
3M 3660-M Scotchcal Matte overlaminate
- SURROUND:**
White Semi-Gloss
- LETTERS/ LOGO:**
3M 3535-70
70% White Diffuser
3M 3630-20 Trans. White

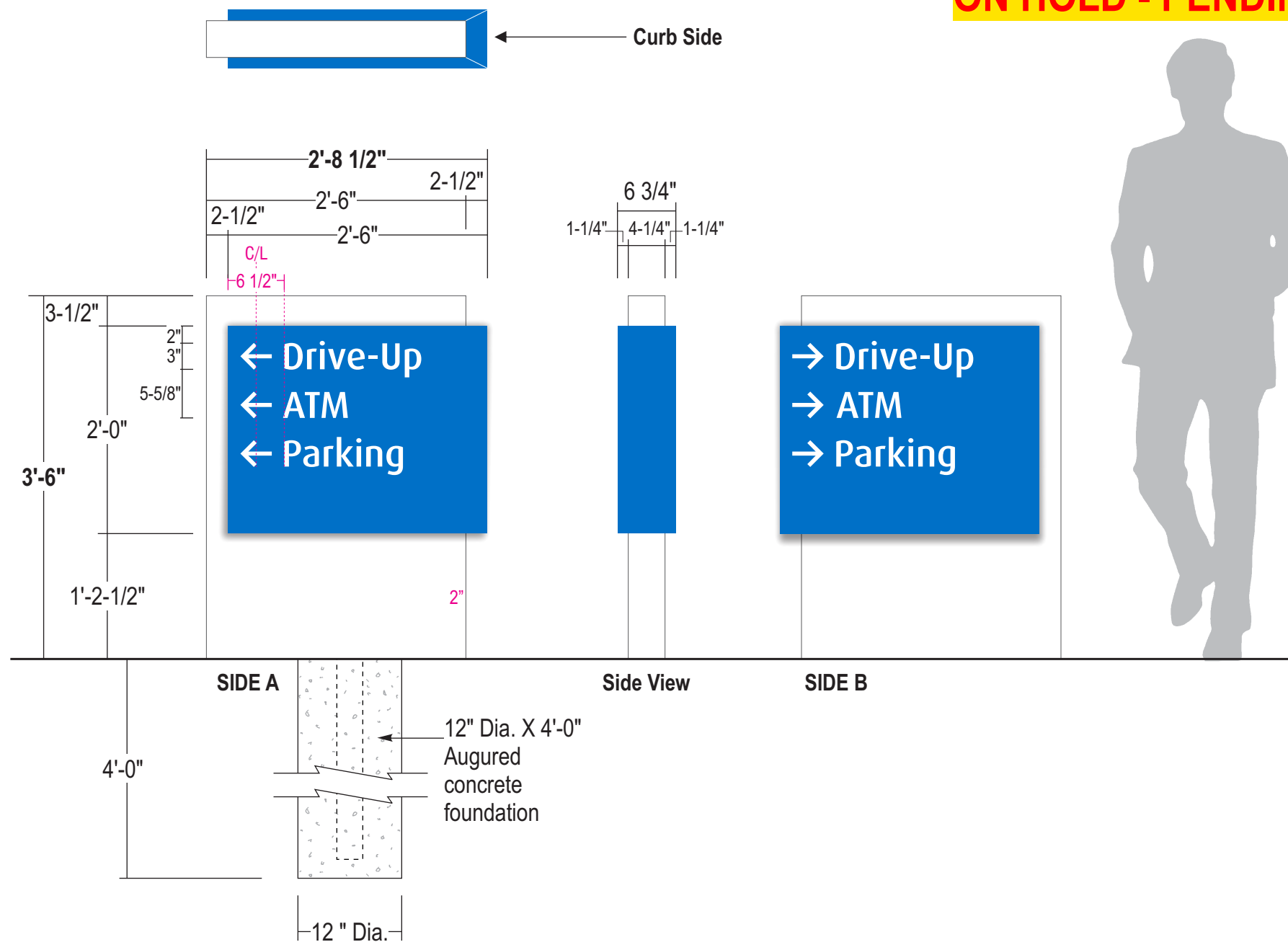
All paint finishes are satin unless otherwise noted.

Night View
BMO logo will illuminate
Tagline will not



Scale: 3/4"=1'-0"

5 Square Feet

ON HOLD - PENDING CODE CHANGE FROM CITY

- FACE:** 1-1/4" deep 4mm PMS 300 Blue Alpolic ACM bent cladding
- CLADDING:** Fabricated alum. 4-1/4" total depth w/ 4" x 1-1/2" x 1/8" alum. channel; skinned with .090 alum. painted White semi gloss finish
- COPY:** Surface applied Reflective white copy & arrows
- INSTALL:** Cabinet to have internal 2" x 2" x 1/4" alum. square tube / direct burial installation
- NOTE:** See Production drawings for complete specs

Added note

Wording confirmed

Updated all sign numerals

NORTH (FRONT) ELEVATION

Scale: 1/8"=1'-0"

Section IV. Item #3.

ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



Removed backer panel

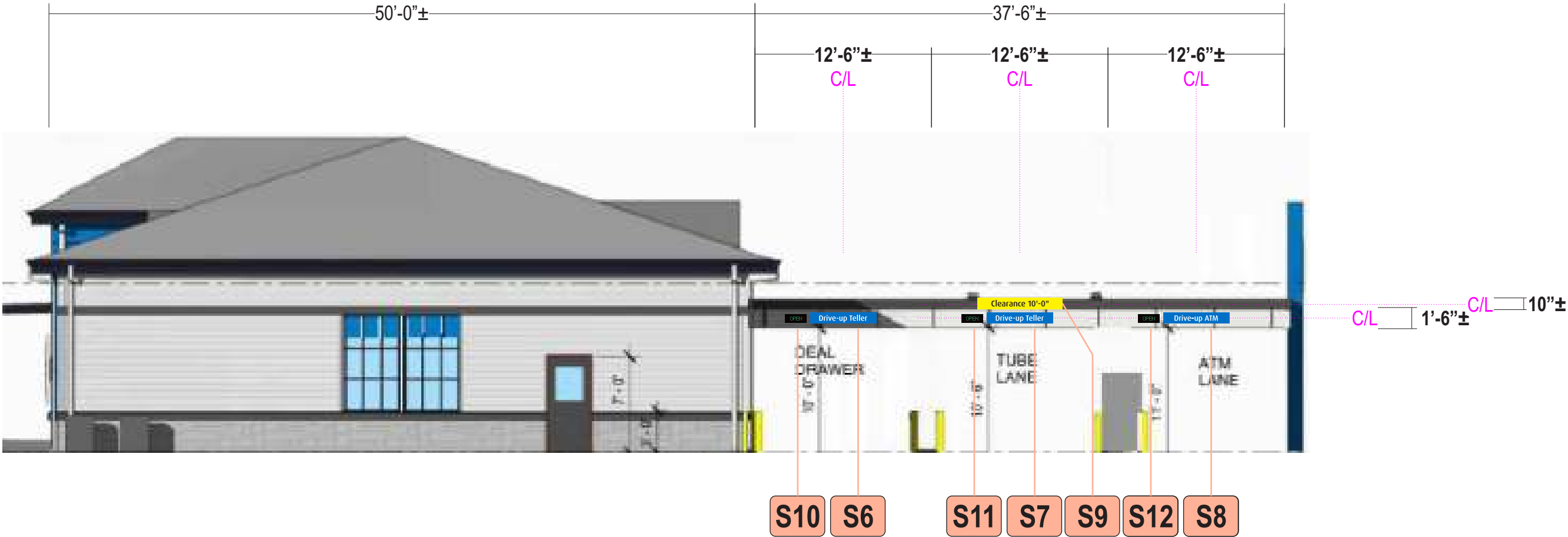
Updated all sign numerals; Deleted S5 & elevation

WEST (RIGHT SIDE) ELEVATION

Scale: 1/8"=1'-0"

Section IV. Item #3.

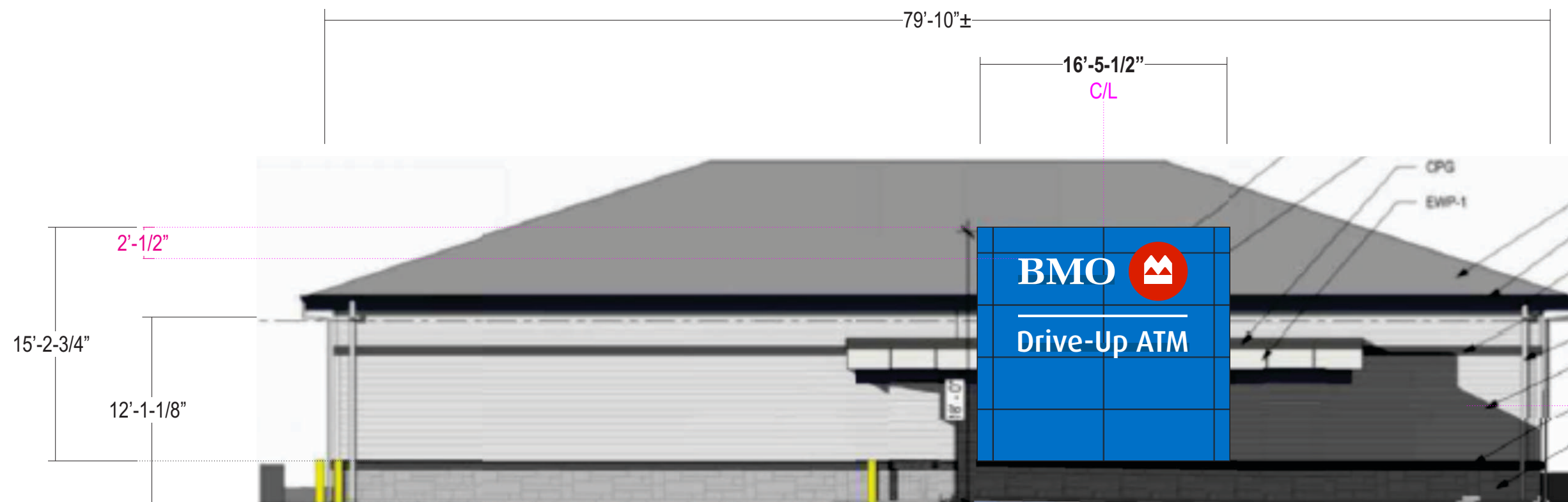
ALL SIGN SIZES HAVE BEEN CALCULATED OFF ARCHITECTURAL PRINTS AS SHOWN



Added S11-14

Updated all sign numerals

ALL SIGN SIZES HAVE BEEN CALCULATED OFF
ARCHITECTURAL PRINTS AS SHOWN



Removed Backer panel behind channel letters
New opt.

Added RWs and survey info. and ACM
Updated all sign numerals

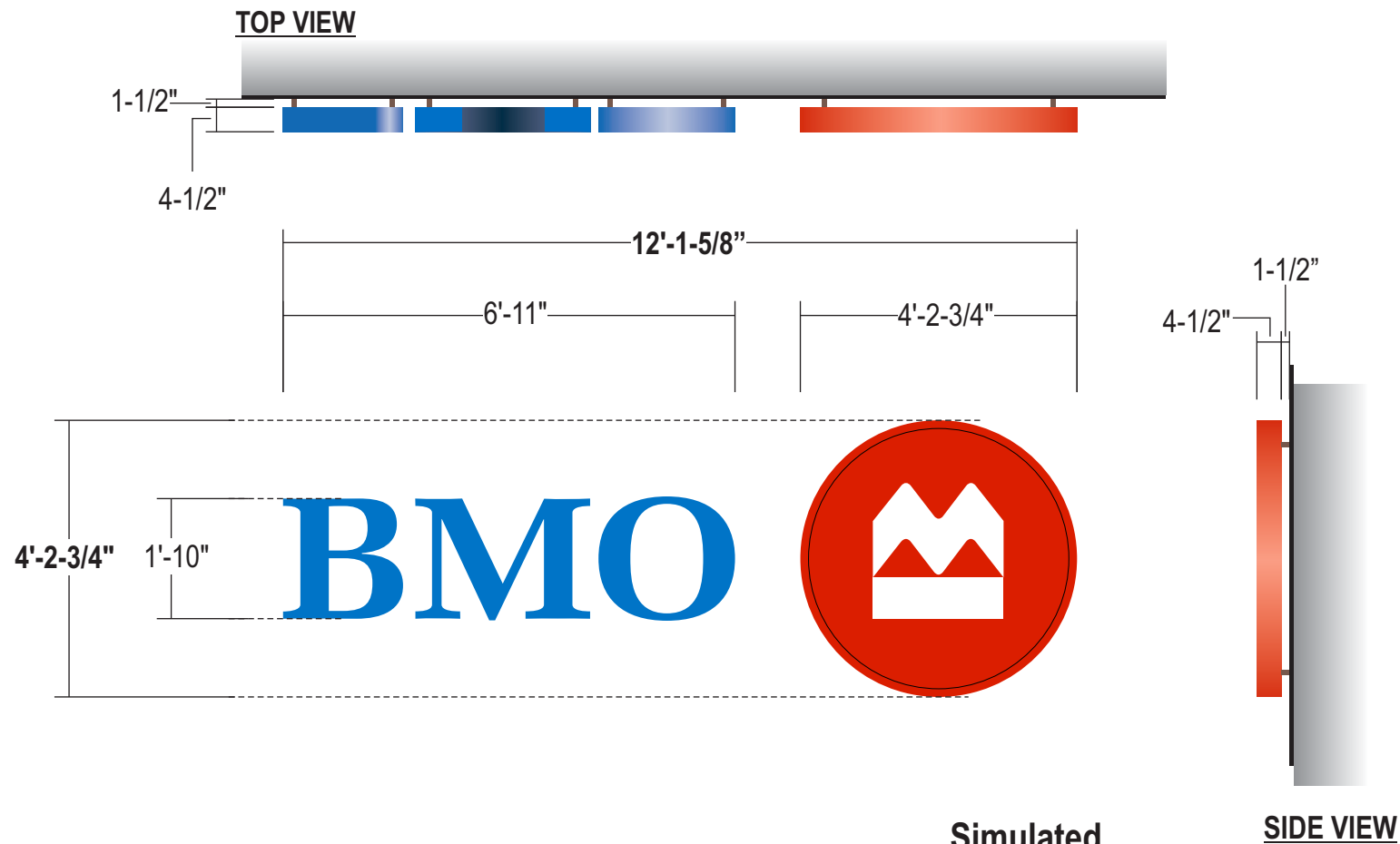
S3

FACE-LIT/HALO-LIT CHANNEL LETTERS

FL-HL-22-B-PERF

51.4 square feet

Scale: 3/8"=1'-0"



- Section IV. Item #3.
- LETTERS:**
- FACES:** .187 #2447 white acrylic w/ surface applied translucent vinyl to match BMO Blue - illuminates Blue at night
- TRIMCAP:** 1" Standard jewelite painted blue
- RETURNS:** 4-1/2" deep .050 alum. painted blue
- BACKS:** 1/4" thick #2447 White Tuffak SL polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces; Blue Hanley LEDs for Halo Lighting
Alternate: Sloan VL 4 White - 6500K & VL 4 Blue
3mm ACP inner Baffle; Power supplies are remote
- LOGO:**
- FACES:** .187 #7328 white acrylic w/ surface applied Trans red vinyl overlay w/ reverse weeded graphic to show thru white; 3M matte overlamine applied over red vinyl
Vinyl seam with a 3/8" overlap
- RETAINERS:** 1-1/2" metal retainers painted Red
- RETURNS:** 4-1/2" deep .050 alum. painted Red
- BACKS:** 1/4" thick #2447 White Tuffak SL polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces; Blue Hanley LEDs for Halo lighting
Alternate: Sloan VL 4 White - 6500K & VL 4 Blue
3mm ACP inner Baffle; Power supplies are remote
- INSTALL:** Thru bolted with 1-1/2" stand off from wall surface using 3/8" threaded rod into approved blocking; spacers to be provided painted to match wall.
- WALL MATERIAL:** Smooth Stucco
- QUANTITY:** (1) ONE set required

COLOR PALETTE			
	<u>LETTER VINYL:</u> 3M 3630-8308 BMO Blue		<u>LOGO VINYL:</u> 3M 3630-143 Poppy Red 3M 3660-M Scotchcal Matte overlamine
	<u>LETTER RETURNS:</u> Pantone 300 C Blue		<u>LOGO RETURNS:</u> Pantone 485 C

**SPACER:**
to match
sign band

All paint finishes are satin unless otherwise noted.

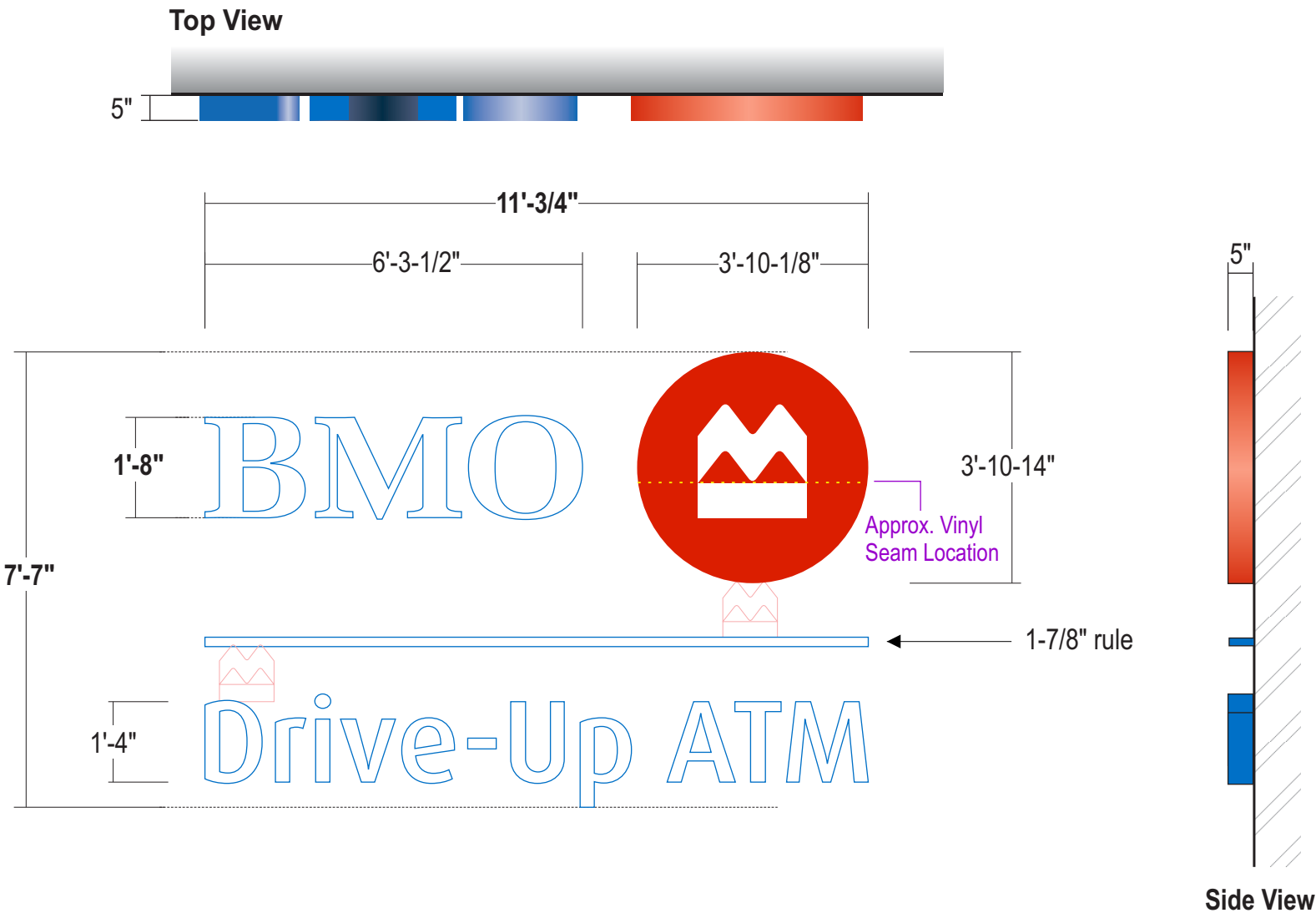
S4

FACE-LIT CHANNEL LETTERS WITH RACEWAY - WHITE

IL-20-W-RW-DUATM

83.7 Square Feet

Scale: 3/8"=1'-0"



COLOR PALETTE			
	LETTER FACE: White		LOGO VINYL: 3M 3630-143 Poppy Red 3M 3660-M Scotchcal Matte overlaminate
	LETTER RETURNS: Pantone 300 C Blue		LOGO RETURNS: Pantone 485 C

All paint finishes are satin unless otherwise noted.

LETTERS:	
FACES:	.187 # 7328 white acrylic
TRIMCAP:	1" Standard jewelite painted blue
RETURNS:	5" deep .050 alum. painted blue
BACKS:	3mm Pre-finished White ACM back
ILLUM.:	HLED-P2072W Hanley White led's; Alternate: Sloan VL 4 White - 6500K power supplies to be remote
LOGO:	
FACES:	.187 #7328 white acrylic w/ surface applied Trans red vinyl overlay w/ reverse weeded graphic to show thru white; 3M matte overlaminate applied over red vinyl <i>Roundel size: Over 46" there will be a seam in the vinyl with a 3/8" overlap</i>
TRIMCAP:	1" Standard Red <i>Roundel size: 37" - 47" blow out clips are required</i>
RETURNS:	5" deep .050 alum. painted Red
BACKS:	3mm Pre-finished White ACM back
ILLUM.:	Principal Sloan White led's; power supplies to be remote; 30' whips required
INSTALL:	Thru bolted using all thread into blocking as required. 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into blocking or Stratus approved equivalent;
	<i>(2) Two Panels to be removed on the front of the wall; Crew to drill thru the panels with electric and run the wires behind the panels and not the wall; Where the panels are removed on the front, is where the crew is to drill into the wall to get the wires inside; Crew will have a removable panel on the backside to place the power supplies inside and back wire in there</i>
WALL MATERIAL:	Alucabond Finish Panels
QUANTITY:	(1) ONE Channel letterset required

Removed backer panel - Updated specs
New opt.

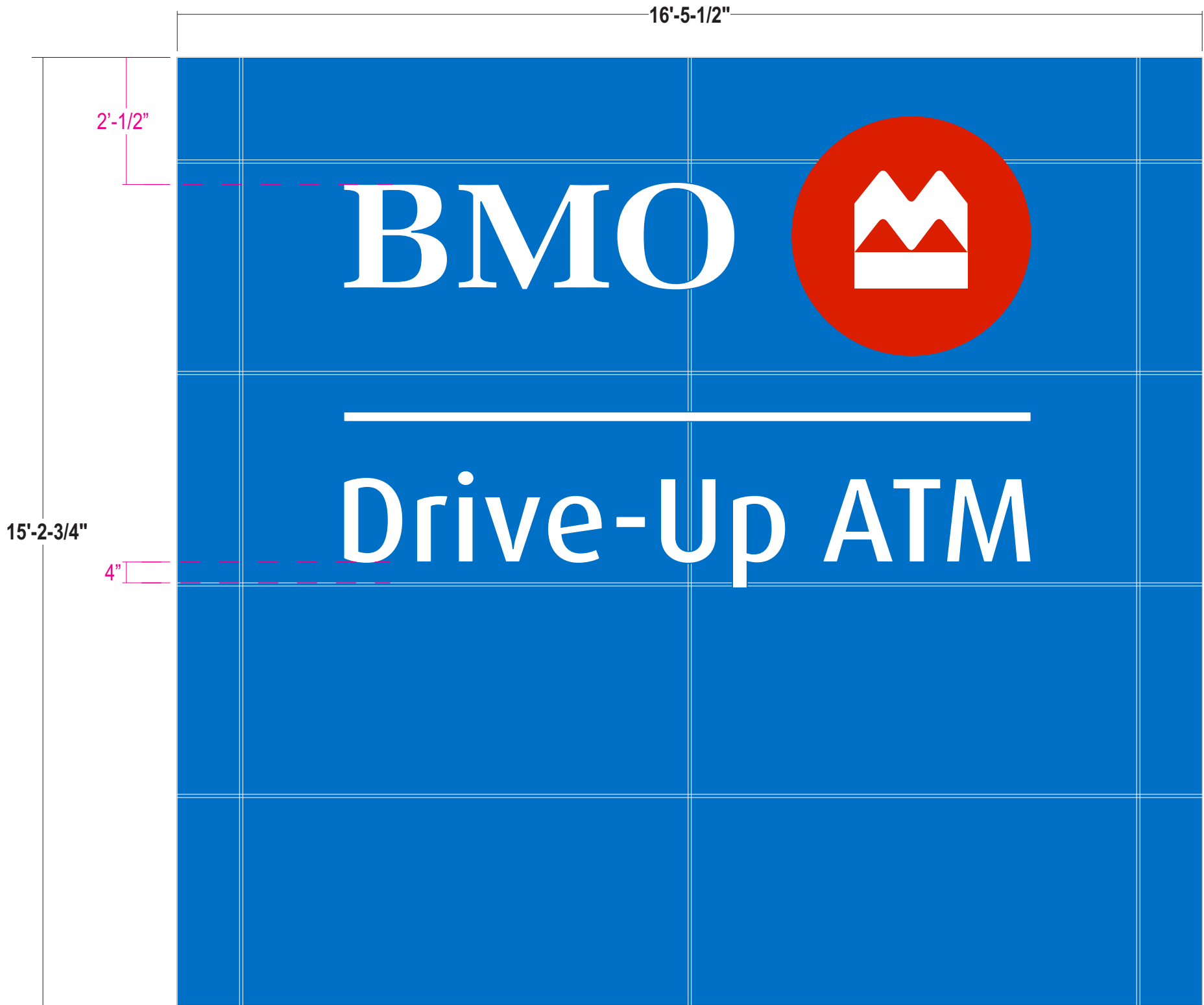
Added RWs
Removed Raceways

S4

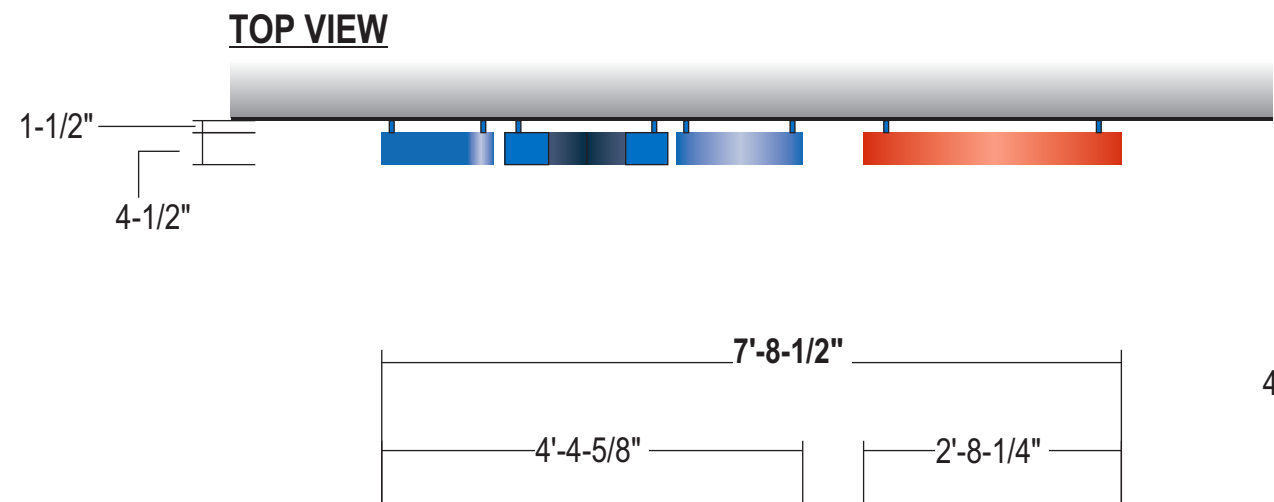
FACE-LIT CHANNEL LETTERS WITH RACEWAY ON ACM DETAILS

Scale: 1/2"=1'-0"

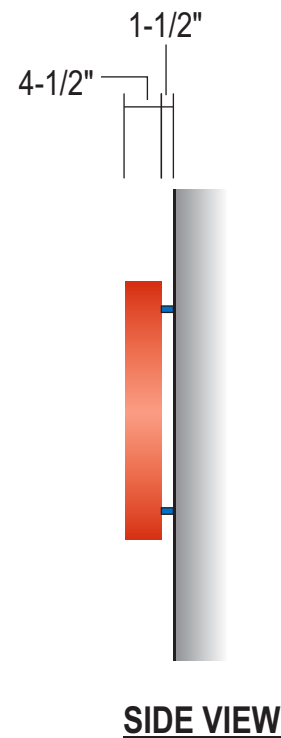
refer to
PRODUCTION SHOP DRAWING
7.28.26 BMO A2R.pdf
for manufacturing details



Mounting points need to stay
clear 3" from ACM seams



**Simulated
night time view**



- LETTERS:**
- FACES:** .187 # 7328 white acrylic
- TRIMCAP:** 1" Standard jewelite painted blue
- RETURNS:** 4-1/2" deep .050 alum. painted blue
- BACKS:** 1/4" thick #2447 White Tuffak SL polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces;
Blue Hanley LEDs for Halo lighting
Alternate: Sloan VL 4 White - 6500K & VL 4 Blue
3mm ACP inner Baffle; Power supplies are remote
- LOGO:**
- FACES:** .187 #7328 white acrylic w/ surface applied Trans red vinyl overlay w/ reverse weeded graphic to show thru white;
3M matte overlaminate applied over red vinyl
- TRIMCAP:** 1" Standard Red
- RETURNS:** 4-1/2" deep .050 alum. painted Red
- BACKS:** 1/4" thick #2447 White Tuffak SL polycarbonate
- ILLUM.:** HLED-P2072W Hanley White led's are to light faces;
Blue Hanley LEDs for Halo lighting
Alternate: Sloan VL 4 White - 6500K & VL 4 Blue
3mm ACP inner Baffle. Power supplies are remote
- INSTALL:** Thru bolted with 1-1/2" stand off from wall surface using 3/8" threaded rod into approved blocking; spacers to be provided painted to match wall.
- WALL MATERIAL:** Alucabond Finish panels
- QUANTITY:** (1) ONE Illum. Channel letterset required

COLOR PALETTE			
	LETTER FACE: White		LOGO VINYL: 3M 3630-143 Poppy Red 3M 3660-M Scotchcal Matte overlaminate
	LETTER RETURNS: Pantone 300 C Blue		LOGO RETURNS: Pantone 485 C
			SPACER: Pantone 300 C Blue

All paint finishes are satin unless otherwise noted.

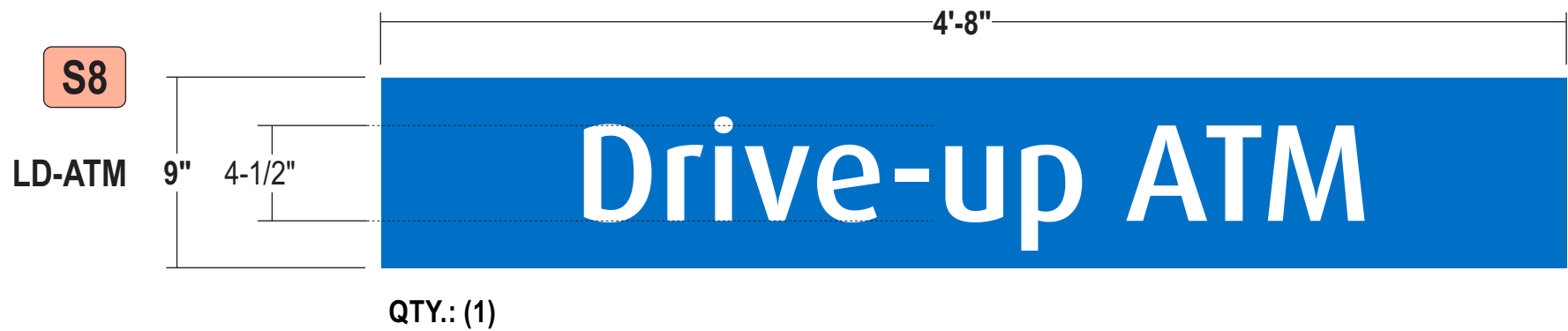
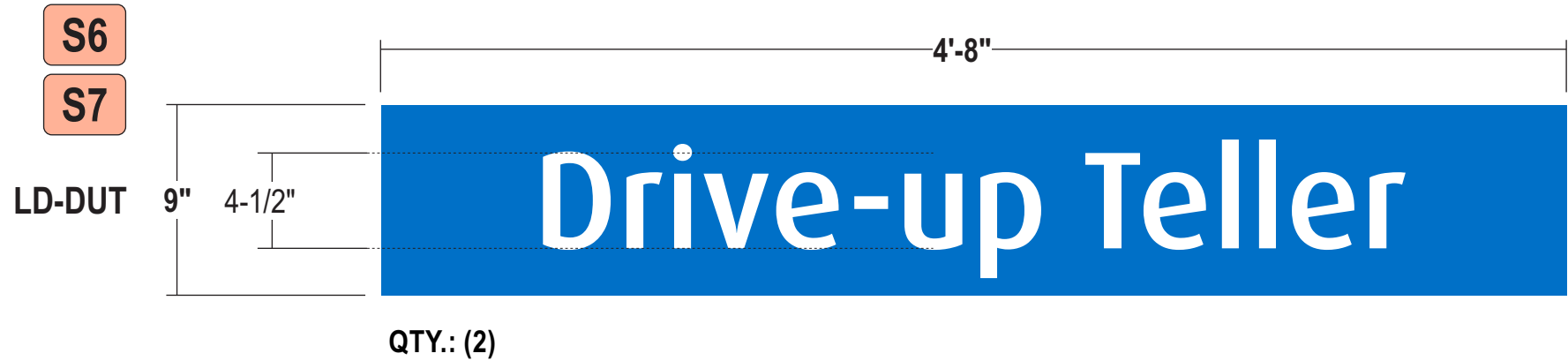
Removed backer panel

Updated all sign numerals; Removed Raceways

NON-ILLUMINATED LANE DESIGNATOR

Scale: 1-1/2"=1'-0"

3.5 Square Feet Each



- FACE:

.090 aluminum faces painted Blue satin finish
- GRAPHICS:

Surface applied vinyl graphics White reflective
- INSTALL:

Welded Studs to backside of panel; mounted flush to wall surface
All penetrations silicone filled
- QUANTITY:

(3) THREE required

COLOR PALETTE

PANEL:
Pantone 300 C Blue

COPY:
3M 680-10 Reflective White

All paint finishes are satin unless otherwise noted.



- FACE:

.090 aluminum faces painted Yellow
- GRAPHICS:

Surface applied vinyl graphics
- TYPESTYLE:

DaxPro-Medium
- INSTALL:

Stud mounted flush to wall surface
All penetrations silicone filled

COLOR PALETTE

PANEL:
Safety Color AkzoNobel paint
to match Pantone 109 C

COPY:
3M 7725-12 Black

All paint finishes are satin unless
otherwise noted.

S10

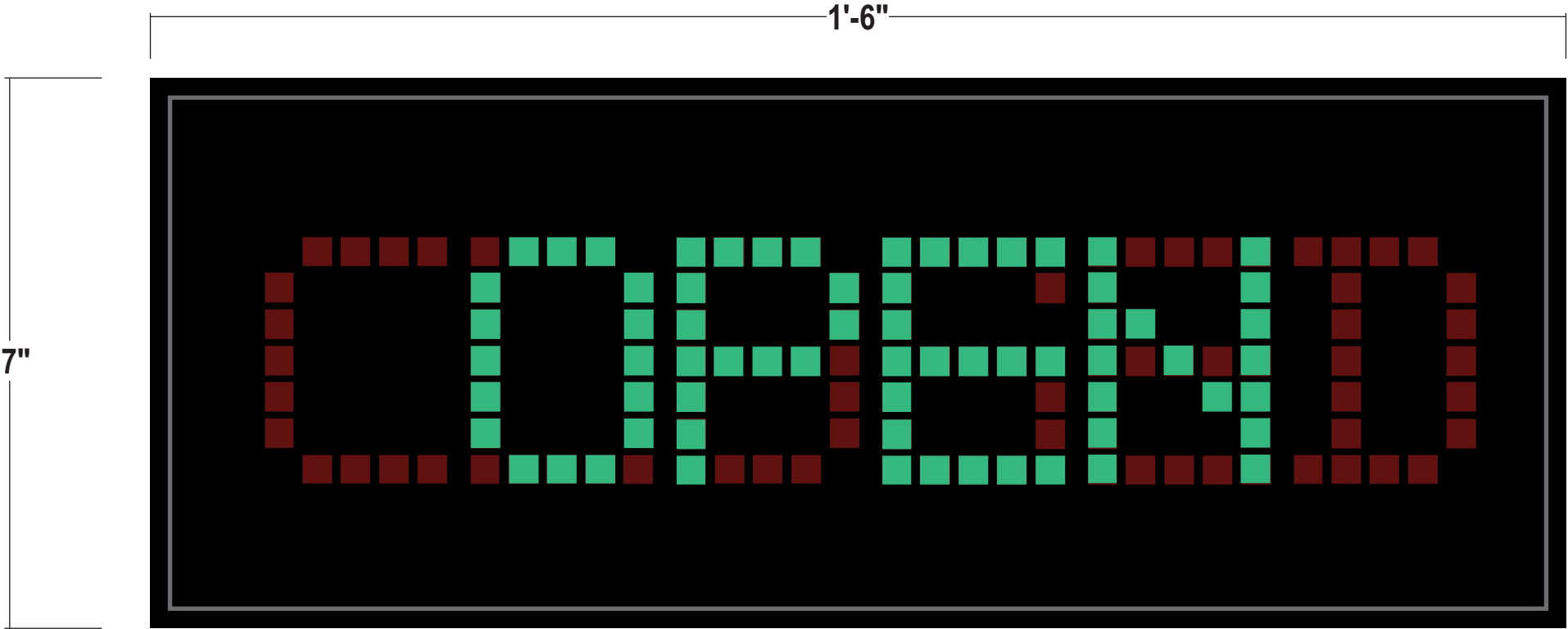
LANE INDICATOR SIGN

LD-OPEN-CLOSED

S11

Scale: 1:2

S12



- MODEL: TCL-718GR-100/120-277VAC
- ELECTRICAL: 120-277 VAC
- ILLUM. : Super bright direct view LED's - Message blanks out when off
- CABINET: Supplied by Sign Company, manufactured by others
- QUANTITY: (3) THREE required

Updated specs per pm required

Added new