



**PUBLIC NOTICE**

**Common Council Regular Meeting**

**Tuesday, December 19, 2023 at 5:30 PM**

**City Hall Council Chambers, 100 E Fountain St,**

**Dodgeville, WI**

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**AGENDA**

**I. CALL TO ORDER AND ROLL CALL**

**II. PUBLIC HEARING**

1. Public Hearing to consider comments on a proposed amendment to the Comprehensive Plan for the City of Dodgeville. The proposed amendment would change the planned land use designation (amending the Future Land Use Map) for a parcel of land located along the south side of Elliot Street, east of East Spring Street and west of North Bennett Road; a parcel of land located along the south side of US Highway 18, east of John’s Street and west of North Bennet Road; and a parcel of land located along the west side of Johns Street, north of Grace Street and south of US Highway 18. The proposed amendments would adjust land use boundaries to better reflect existing conditions and also to include planned residential, commercial and industrial uses within the property.
2. Public Comment
3. Adjourn the Public Hearing

**III. CONSENT AGENDA**

4. Approval of Minutes from December 5, 2023
5. Approval of Claims from December 19, 2023

**IV. PUBLIC COMMENT** *Citizen or delegation presentations, requests or comments and discussion of same, pursuant to Wis. Stat. Sec. 19.83 (2) and Sec. 19.84 (2). Ten minute limit except by consent of council. No action will be taken on any item that is not specifically listed on the agenda.*

**V. REPORTS/RECOMMENDATIONS**

6. City Hall will be Closed December 22, 25, 29 & Jan 1st for the Holidays.
7. Update on Armory Building

**VI. NEW BUSINESS**

8. Consideration of a recommendation from the Plan Commission to approve Ordinance 2023-05: Amending the Comprehensive Plan for the City of Dodgeville
9. Consideration of a recommendation from the Plan Commission to approve a request for Ron Riniker, owner of Four to One Investments, to rezone a portion of parcel 216-1122.03, known as lots 2 and 3 of Certified Survey Map 2046, from M-L to R-1.

- [10.](#) Consideration of a recommendation from the Plan Commission to approve a rezone request from Chad Kannenberg for parcel 216-1077 to change the zoning classification from its current zoning of AG to M-U in order to facilitate the development of approximately 6 acres for a housing project proposed by Kent Paulson.
- [11.](#) Consideration of a recommendation from the Plan Commission regarding a request from Gorman & Company to rezone parcel 216-1082; a parcel with frontage along US Hwy 18, N Johns St, and Grace St; from Business Highway (B-H) to Planned Unit Development (PUD) to facilitate the construction of multi-family housing.
- [12.](#) Discussion and possible action to approve Ordinance 2023-06: Amending Section 25.045(a) of the Municipal Code of the City of Dodgeville, Iowa County, Wisconsin, Relating to Fees
13. Discussion and possible action to approve vacation carryover requests for Ambulance Chief, Clerk/Treasurer, Director of Public Works, and Finance/Human Resource Specialist to be used by May 1st.

#### **VII. CLOSED SESSION**

14. Adjourn to Closed Session pursuant to Wis. State Statutes 19.85(1)(e): deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session for the purposes of discussing: TID 3 Development.

#### **VIII. OPEN SESSION**

15. Reconvene to Open Session
16. Any Action Needed as a Result of Closed Session

#### **IX. ADJOURN**

17. Motion to Adjourn

*Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.*



**CITY OF DODGEVILLE  
RESOLUTION NO. 2023-21**

**RESOLUTION APPROVING AN AMENDMENT TO THE  
COMPREHENSIVE PLAN FOR THE CITY OF DODGEVILLE**

**WHEREAS**, the City of Dodgeville, pursuant to Section 62.23 of the Wisconsin Statutes, has established a Plan Commission; and

**WHEREAS**, the Common Council adopted a Comprehensive Plan on April 6, 2005, following extensive public participation and said Plan was amended most recently on July 5, 2021; and

**WHEREAS**, the Plan amendments adopted in 2021 addressed the Future Land Use Map of the Comprehensive Plan; and

**WHEREAS**, because of growth and anticipated future growth of the City, the City has determined to consider changes to the Future Land Use Map of the City; and

**WHEREAS**, said revised Future Land Use Map is attached hereto as Exhibit “A,” and incorporated herein by this reference; and

**WHEREAS**, the Plan Commission finds that the comprehensive plan, with the proposed amendment, contains all the required elements specified in Wis. Stat. sec. 66.1001(2) and that the comprehensive plan, with the proposed amendment, is internally consistent; and

**WHEREAS**, the City will duly notice and hold a public hearing on the proposed amendment, following the procedures in Section 66.1001(4)(d) of the Wisconsin Statutes and its public participation procedures for comprehensive plan amendments.

**NOW, THEREFORE, BE IT RESOLVED**, that pursuant to Section 66.1001(4)(b) of the Wisconsin Statutes, the City of Dodgeville Plan Commission hereby approves the Amendment to the Future Land Use Map of the Comprehensive Plan.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Common Council enact an Ordinance adopting the Comprehensive Plan amendment.

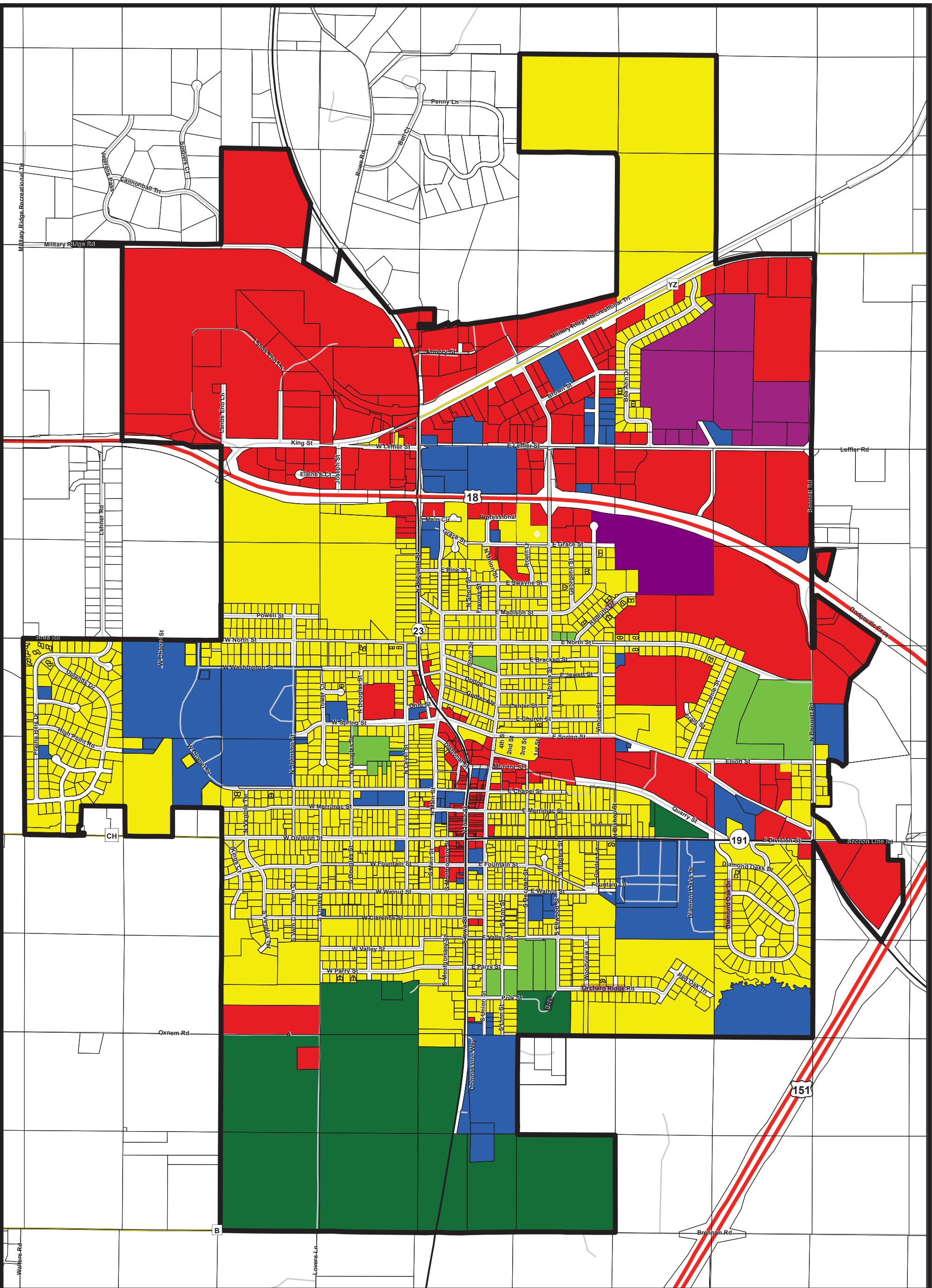
Adopted this 19th day of December 2023.

Yeas \_\_\_\_\_ Noes \_\_\_\_\_ Absent \_\_\_\_\_

\_\_\_\_\_  
Chair, Plan Commission

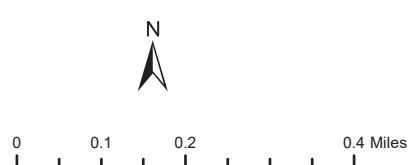
ATTEST:

\_\_\_\_\_  
Clerk/Treasurer



# CITY OF DODGEVILLE, WI FUTURE LAND USE MAP

- |                         |                     |
|-------------------------|---------------------|
| <b>Future Land Uses</b> | Dodgeville Boundary |
| Residential             | Parcels             |
| Commercial/Industrial   | US Highways         |
| Institutional/Public    | State Roads         |
| Recreation              | Local Roads         |
| Agricultural            | County Roads        |
| Mixed Use               |                     |



Drafted by: City of Dodgeville Zoning Administrator

Last Updated: 12/14/2023 **\*DRAFT**

*Disclaimer: This map is not a survey of the actual boundary of any property. This map depicts the land use map as it is intended to be one. The City of Dodgeville is not responsible for any inaccuracies here contained.*



**PUBLIC NOTICE**

**Common Council Regular Meeting**

**Tuesday, December 05, 2023 at 5:30 PM**

**City Hall, 100 E Fountain St, Dodgeville, WI**

**MINUTES**

**I. CALL TO ORDER AND ROLL CALL**

The meeting was called to order by Mayor Novak at 5:30 pm. PRESENT: Roxanne Reynolds-Lair, Shaun Sersch, Tom DeVoss, Jeff Weber, Dan Meuer, Julie Johnson-Solberg, Larry Tremelling. ABSENT: Jerry Johnson

**II. CONSENT AGENDA**

Motion by DeVoss, second by Reynolds-Lair to approve the following consent agenda. Voice vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling

- 1. Approval of Minutes from November 21, 2023
- 2. Approval of Claims from December 5, 2023  
General- \$337,622.57, Water - \$20,075.96, Sewer - \$20,395.22 for a total of \$378,093.75

**III. PUBLIC COMMENT**

None.

**IV. REPORTS/RECOMMENDATIONS**

Police Chief Jasica reported that the new body cameras were in.

**V. NEW BUSINESS**

- 3. *Discussion and possible action to terminate Land Lease No. DACA45-5-72-00109 with the United States Department of the Army.* The lease is for the armory building which will be returned to the City. The property is 6 acres and comes with a machine shed, 14,000+ sq ft plus there was some improvements recently to the main building. The building is in good condition. The City can chose to sell the building for development or to keep it. The City will be looking for public input and a possible open house in the future. Motion by Reynolds-Lair, second by DeVoss to officially terminate the land lease DACA45-5-72-00109 with the US Army. Roll call vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss,

Weber, Meuer, Johnson-Solberg, Tremelling

4. *Discussion and possible action to grant permission to fill a Streets Department vacancy for the position of mechanic.* Motion by Meuer, second by Reynolds-Lair to fill the Streets Department vacancy for the position of mechanic. Voice vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling
5. *Discussion and possible action to approve Resolution 2023-21: Appointment of Election Officials for the 2024-2025 Election Cycle* Motion by Meuer, second by Sersch to approve Resolution 2023-21: Appointment of Election Officials for the 2024-25 Election Cycle. Voice vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling
6. *Discussion and possible action for the Clerk's office to purchase two additional accessible voting machines and to apply for a WI Elections Commission Subgrant to assist with a portion of the cost.* This is to add two more Express Vote machines to the mix. The machines are not only ADA compatible but they also useful for partisan elections by ensuring crossover voting does not happen. Additionally the WEC has a \$750 grant available for these machines. The Clerk has current year and carryover funds. Motion by Weber, second by Johnson-Solberg to approve the purchase of two additional accessible voting machines to apply for a WI Elections Commission Subgrant. Voice vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling

## VI. CLOSED SESSION

7. *Adjourn to Closed Session pursuant to Wis. State Statutes 19.85(1)(e): deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session for the purposes of discussing: the Sale of City Owned Property.* Motion by Johnson-Solberg, second by Weber to adjourn to Closed Session pursuant to Wis. Statutes 19.85(1)(e) for the purposes of discussing the Sale of City Owned property and to allow PW Director Lee to remain. Roll call vote. Motion carried 7-0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling

## VII. ADJOURN

8. Motion to Adjourn

Motion by Weber, second by Meuer to adjourn the meeting. Voice vote. Motion carried 7-

0. Voting Yea: Reynolds-Lair, Sersch, DeVoss, Weber, Meuer, Johnson-Solberg, Tremelling

Time: 6:07

Report Criteria:

Report type: Summary

Check.Type = {<->} "Adjustment"

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Check GL Account	Amount
12/23	12/19/2023	4268	1914	McNett Electric	160-21000-000-000	1,547.10
12/23	12/06/2023	61811	1538	AT&T MOBILITY	100-21000-000-000	375.58
12/23	12/06/2023	61812	455	IOWA COUNTY CLERK	100-21000-000-000	2,060.75
12/23	12/06/2023	61813	668	MHTC-MH	100-21000-000-000	693.27
12/23	12/06/2023	61814	1004	TODD BIDDICK	100-21000-000-000	327.18
12/23	12/11/2023	61815	1538	AT&T MOBILITY	100-21000-000-000	582.59
12/23	12/11/2023	61816	1917	Corralejo Mexican Grill	100-21000-000-000	487.77
12/23	12/11/2023	61817	408	GORDON FLESCH CO INC	200-21000-000-000	38.31
12/23	12/11/2023	61818	89	BAKER & TAYLOR LLC	150-21000-000-000	1,203.48
12/23	12/11/2023	61819	195	CITY OF DODGEVILLE WATER UTILITY	150-21000-000-000	41.27
12/23	12/11/2023	61820	1592	DENNIS J MARKLEIN	150-21000-000-000	650.00
12/23	12/11/2023	61821	408	GORDON FLESCH CO INC	150-21000-000-000	44.76
12/23	12/11/2023	61822	668	MHTC-MH	150-21000-000-000	139.00
12/23	12/11/2023	61823	1907	The Child's World Inc	150-21000-000-000	901.05
12/23	12/11/2023	61824	1044	US CELLULAR	150-21000-000-000	66.86
12/23	12/13/2023	61827	188	CINTAS CORPORATION #446	100-21000-000-000	39.73
12/23	12/19/2023	61828	26	ALERE TOXICOLOGY SERVICES INC	100-21000-000-000	67.43
12/23	12/19/2023	61829	36	AMAZON CAPITAL SERVICES	300-21000-000-000	1,875.59
12/23	12/19/2023	61830	63	APPLIED MICRO	100-21000-000-000	189.00
12/23	12/19/2023	61831	1337	BADGER METER	200-21000-000-000	200.43
12/23	12/19/2023	61832	85	BADGER WELDING SUPPLIES INC	100-21000-000-000	758.00
12/23	12/19/2023	61833	87	BAER INSURANCE INC	100-21000-000-000	38,267.25
12/23	12/19/2023	61834	1776	Blain's Farm & Fleet	200-21000-000-000	590.82
12/23	12/19/2023	61835	120	BOARDMAN & CLARK LLP	100-21000-000-000	4,140.00
12/23	12/19/2023	61836	1923	Bridget Dickler	100-21000-000-000	225.00
12/23	12/19/2023	61837	1841	Bruce R Erdmann	100-21000-000-000	535.00
12/23	12/19/2023	61838	1653	BRYAN BROM	100-21000-000-000	125.00
12/23	12/19/2023	61839	148	BRYAN QUINN	100-21000-000-000	257.68
12/23	12/19/2023	61840	1646	CATHERINE PORTZEN	100-21000-000-000	144.00
12/23	12/19/2023	61841	1927	Cathy Blume	100-21000-000-000	125.00
12/23	12/19/2023	61842	1451	CHRIS FOLLMER	100-21000-000-000	474.90
12/23	12/19/2023	61843	188	CINTAS CORPORATION #446	100-21000-000-000	79.73
12/23	12/19/2023	61844	195	CITY OF DODGEVILLE WATER UTILITY	300-21000-000-000	3,702.05
12/23	12/19/2023	61845	203	CLINT J & LINDA WEIER	100-21000-000-000	267.59
12/23	12/19/2023	61846	210	COLLINS & HYING LLC	200-21000-000-000	405.49
12/23	12/19/2023	61847	976	CVIKOTA COMPANY INC	100-21000-000-000	5,062.75
12/23	12/19/2023	61848	237	DALE S RICHARDSON	100-21000-000-000	226.12
12/23	12/19/2023	61849	286	DIGGERS HOTLINE INC	100-21000-000-000	217.60
12/23	12/19/2023	61850	311	DONS TIRE INC	100-21000-000-000	225.00
12/23	12/19/2023	61851	313	DOUBLE D SERVICES INC	100-21000-000-000	721.75
12/23	12/19/2023	61852	339	EMERGENCY MEDICAL PRODUCTS INC	100-21000-000-000	939.59
12/23	12/19/2023	61853	360	FAHERTY INC	100-21000-000-000	21,353.56
12/23	12/19/2023	61854	371	FIRE SAFETY USA INC	100-21000-000-000	1,399.50
12/23	12/19/2023	61855	1772	Fire Service Inc	100-21000-000-000	1,570.00
12/23	12/19/2023	61856	1931	Gayle Jebbia	100-21000-000-000	427.20
12/23	12/19/2023	61857	408	GORDON FLESCH CO INC	100-21000-000-000	34.11
12/23	12/19/2023	61858	440	HENNESSEY IMPLEMENT INC	100-21000-000-000	192.39
12/23	12/19/2023	61859	468	J & R SUPPLY INC	200-21000-000-000	700.00
12/23	12/19/2023	61860	1785	James & Vickie Jordan	100-21000-000-000	536.45
12/23	12/19/2023	61861	1919	Jay Lindner	100-21000-000-000	125.00
12/23	12/19/2023	61862	1930	Jeffrey Thomas	100-21000-000-000	1,423.85
12/23	12/19/2023	61863	508	JOES OVERHEAD DOORS & SEAMLESS GUTTERS	100-21000-000-000	950.00
12/23	12/19/2023	61864	1920	Josh Zweifel	100-21000-000-000	125.00

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Check GL Account	Amount
12/23	12/19/2023	61865	1928	Katherine Berg	100-21000-000-000	535.76
12/23	12/19/2023	61866	593	LARRY TREMELLING	100-21000-000-000	248.09
12/23	12/19/2023	61867	599	LEAGUE OF WI MUNICIPALITIES	100-21000-000-000	2,256.75
12/23	12/19/2023	61868	1918	Lee Lathrop	100-21000-000-000	125.00
12/23	12/19/2023	61869	621	LV Labs WW LLC	300-21000-000-000	1,947.22
12/23	12/19/2023	61870	622	LW ALLEN LLC	300-21000-000-000	700.00
12/23	12/19/2023	61871	629	MADISON TRUCK EQUIPMENT INC	100-21000-000-000	18.29
12/23	12/19/2023	61872	1921	Mark Williamson	100-21000-000-000	125.00
12/23	12/19/2023	61873	1924	Mary Haag	100-21000-000-000	125.00
12/23	12/19/2023	61874	649	MAST WATER INC	100-21000-000-000	85.00
12/23	12/19/2023	61875	1288	MATTHEW STAVER	100-21000-000-000	125.00
12/23	12/19/2023	61876	1628	MULGREW OIL & PROPANE	100-21000-000-000	577.98
12/23	12/19/2023	61877	1929	Nicole Connor	100-21000-000-000	387.48
12/23	12/19/2023	61878	746	OREILLY AUTO PARTS	100-21000-000-000	207.69
12/23	12/19/2023	61879	756	PAT REILLY	100-21000-000-000	125.00
12/23	12/19/2023	61880	1922	Patrick Montgomery	100-21000-000-000	125.00
12/23	12/19/2023	61881	766	PEERLESS WELL & PUMPING	200-21000-000-000	600.00
12/23	12/19/2023	61882	790	Premium Waters	100-21000-000-000	7.95
12/23	12/19/2023	61883	790	PREMIUM WATERS INC	100-21000-000-000	23.99
12/23	12/19/2023	61884	811	RANDYS SERVICE & TOWING	100-21000-000-000	164.95
12/23	12/19/2023	61885	842	ROGER MEUDT	100-21000-000-000	125.00
12/23	12/19/2023	61886	1563	RYAN WALMER	100-21000-000-000	125.00
12/23	12/19/2023	61887	1925	Sally Aurit	100-21000-000-000	125.00
12/23	12/19/2023	61888	861	SAM HALVERSON	100-21000-000-000	125.00
12/23	12/19/2023	61889	879	SECURIAN FINANCIAL GROUP INC	100-21000-000-000	643.92
12/23	12/19/2023	61890	926	STAPLES ADVANTAGE	200-21000-000-000	97.02
12/23	12/19/2023	61891	1393	TC NETWORKS INC	300-21000-000-000	3,000.00
12/23	12/19/2023	61892	1726	TK ELEVATOR CORPORATION	100-21000-000-000	230.30
12/23	12/19/2023	61893	1654	TRAVIS ELVERT	100-21000-000-000	125.00
12/23	12/19/2023	61894	1023	Travis Wellington	100-21000-000-000	125.00
12/23	12/19/2023	61895	1040	UPLAND HILLS HEALTH INC	100-21000-000-000	70.50
12/23	12/19/2023	61896	1378	VIERBICHER ASSOCIATES	430-21000-000-000	10,880.00
12/23	12/19/2023	61897	1107	WI STATE LABORATORY OF HYGIENE	200-21000-000-000	28.00
12/23	12/19/2023	61898	1109	WIL-KIL PEST CONTROL	100-21000-000-000	97.45
12/23	12/19/2023	61899	1145	ZEPHYR ALUMINUM PRODUCTS INC	300-21000-000-000	554.00
12/23	12/19/2023	61900	1147	ZOLL MEDICAL CORPORATION	100-21000-000-000	710.58
12/23	12/19/2023	61901	1926	University of Wisconsin Platteville	160-21000-000-000	50.00
12/23	12/19/2023	700015	1308	KWIK TRIP INC - CREDIT DEPT	200-21000-000-000	5,266.82
Grand Totals:						128,748.27

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
100-12310-000-000	5,015.34	.00	5,015.34
100-21000-000-000	205.25	100,097.77-	99,892.52-
100-21552-000-000	643.92	.00	643.92
100-24330-000-000	2,060.75	.00	2,060.75
100-51100-000-000	2,256.75	.00	2,256.75
100-51440-310-000	146.46	100.22-	46.24
100-51600-600-000	460.64	.00	460.64
100-51710-200-000	106.00	.00	106.00
100-51710-240-000	1,000.00	.00	1,000.00
100-51710-300-000	38.58	.00	38.58

M = Manual Check, V = Void Check

GL Account	Debit	Credit	Proof
100-51710-320-000	113.45	.00	113.45
100-51930-000-000	38,267.25	.00	38,267.25
100-52100-000-000	535.00	.00	535.00
100-52100-200-000	17.82	.00	17.82
100-52100-240-000	500.00	.00	500.00
100-52100-300-000	526.43	.00	526.43
100-52100-320-000	223.11	.00	223.11
100-52100-330-000	23.99	.00	23.99
100-52100-400-100	39.95	.00	39.95
100-52100-400-150	40.00	.00	40.00
100-52100-410-000	1,058.42	.00	1,058.42
100-52100-415-000	85.00	.00	85.00
100-52100-520-000	268.46	.00	268.46
100-52100-610-000	137.93	.00	137.93
100-52100-715-000	167.68	.00	167.68
100-52200-280-000	10.00	.00	10.00
100-52200-300-000	139.07	.00	139.07
100-52200-320-000	134.95	.00	134.95
100-52200-400-000	1,570.00	.00	1,570.00
100-52200-410-000	595.74	.00	595.74
100-52200-620-000	1,399.50	.00	1,399.50
100-52200-725-000	950.00	.00	950.00
100-52300-200-000	16.29	.00	16.29
100-52300-225-120	144.00	.00	144.00
100-52300-225-130	802.30	.00	802.30
100-52300-260-000	5,052.75	.00	5,052.75
100-52300-300-000	610.36	.00	610.36
100-52300-320-000	102.86	.00	102.86
100-52300-400-000	216.97	.00	216.97
100-52300-410-000	783.73	.00	783.73
100-52300-500-000	188.94	.00	188.94
100-52300-505-000	113.74	.00	113.74
100-52300-520-000	500.00	.00	500.00
100-52300-605-000	2,560.46	.00	2,560.46
100-52300-700-000	55.99	.00	55.99
100-52300-720-000	148.30	.00	148.30
100-53100-300-000	43.63	.00	43.63
100-53230-000-000	768.32	.00	768.32
100-53240-000-000	2,341.68	105.03-	2,236.65
100-53440-000-000	72.53	.00	72.53
100-53620-000-000	11,723.16	.00	11,723.16
100-53630-000-000	9,630.40	.00	9,630.40
100-54910-320-000	54.81	.00	54.81
100-54910-400-000	40.97	.00	40.97
100-54910-410-000	98.62	.00	98.62
100-55200-300-000	38.58	.00	38.58
100-55200-320-000	1,114.65	.00	1,114.65
100-55200-410-000	359.58	.00	359.58
100-55200-600-000	308.44	.00	308.44
100-55300-190-000	2,225.00	.00	2,225.00
100-55300-300-000	38.58	.00	38.58
100-55310-000-000	487.77	.00	487.77
100-55420-320-000	443.17	.00	443.17
100-55420-620-000	42.00	.00	42.00
100-56700-210-000	437.00	.00	437.00
150-21000-000-000	.00	3,159.87-	3,159.87-
150-55115-222-000	113.45	.00	113.45

M = Manual Check, V = Void Check



GL Account	Debit	Credit	Proof
150-55115-223-000	139.00	.00	139.00
150-55115-224-000	44.76	.00	44.76
150-55115-321-000	2,104.53	.00	2,104.53
150-55115-381-000	66.86	.00	66.86
150-55115-391-000	41.27	.00	41.27
150-55115-392-000	650.00	.00	650.00
160-21000-000-000	.00	1,597.10-	1,597.10-
160-57210-000-000	50.00	.00	50.00
160-57230-240-000	1,547.10	.00	1,547.10
200-21000-000-000	.00	3,214.36-	3,214.36-
200-53700-000-903	72.74	.00	72.74
200-53700-623-000	1,251.78	.00	1,251.78
200-53700-640-000	28.00	.00	28.00
200-53700-641-000	710.18	.00	710.18
200-53700-653-000	200.43	.00	200.43
200-53700-660-000	282.11	.00	282.11
200-53700-681-000	169.12	.00	169.12
200-53700-682-000	500.00	.00	500.00
300-21000-000-000	.00	6,204.46-	6,204.46-
300-53600-000-827	1,015.27	.00	1,015.27
300-53600-000-828	940.29	.00	940.29
300-53600-000-834	944.31	.00	944.31
300-53600-000-851	157.37	.00	157.37
300-53600-000-852	3,147.22	.00	3,147.22
430-21000-000-000	.00	14,583.00-	14,583.00-
430-56700-000-000	10,880.00	.00	10,880.00
430-56710-000-000	3,703.00	.00	3,703.00
999-10005-000-000	96.96	.00	96.96
999-21000-000-000	.00	96.96-	96.96-
Grand Totals:	129,158.77	129,158.77-	.00

Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City Recorder: \_\_\_\_\_

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GL Account	Debit	Credit	Proof
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Report Criteria:

Report type: Summary

Check.Type = {<>} "Adjustment"

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**CITY OF DODGEVILLE  
ORDINANCE NO. 2023-05**

**ORDINANCE ADOPTING AN AMENDMENT TO THE COMPREHENSIVE PLAN FOR THE CITY OF DODGEVILLE, IOWA COUNTY, WISCONSIN**

THE COMMON COUNCIL OF THE CITY OF DODGEVILLE, IOWA COUNTY, WISCONSIN, DO ORDAIN AS FOLLOWS:

**SECTION 1.** Pursuant to Section(s) 62.23 of the Wisconsin Statutes, the City of Dodgeville is authorized to prepare and adopt a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes.

**SECTION 2.** The Common Council, by the enactment of an ordinance, formally adopted the document titled City of Dodgeville Comprehensive Plan as the City’s comprehensive plan on April 6, 2005, and said Plan was amended most recently by the enactment of an ordinance on July 5, 2021.

**SECTION 3.** The Plan Commission, by a majority vote of the entire Commission at a meeting held on December 14, 2023, by resolution, recommended to the Common Council the adoption of an ordinance to amend the comprehensive plan for the purpose of amending the Future Land Use Map as required under Wis. Stat. sec. 66.1001(2)(i).

**SECTION 4.** The City published a Class 1 public notice and held a public hearing regarding the plan amendment.

**SECTION 5.** The Common Council of the City of Dodgeville, Wisconsin hereby adopts the proposed plan amendment, specifically, the Future Land Use Map, as recommended to this Council by the Plan Commission.

**SECTION 6.** The City Clerk is directed to send a copy of this ordinance and the plan amendment to the parties listed in Section 66.1001(4)(b) of the Wisconsin Statutes.

**SECTION 7.** This Ordinance shall take effect upon passage by a majority vote of the full membership of the Common Council and publication as required by law.

Adopted and approved this 19<sup>th</sup> day of December 2023.

\_\_\_\_\_  
Todd D. Novak, Mayor

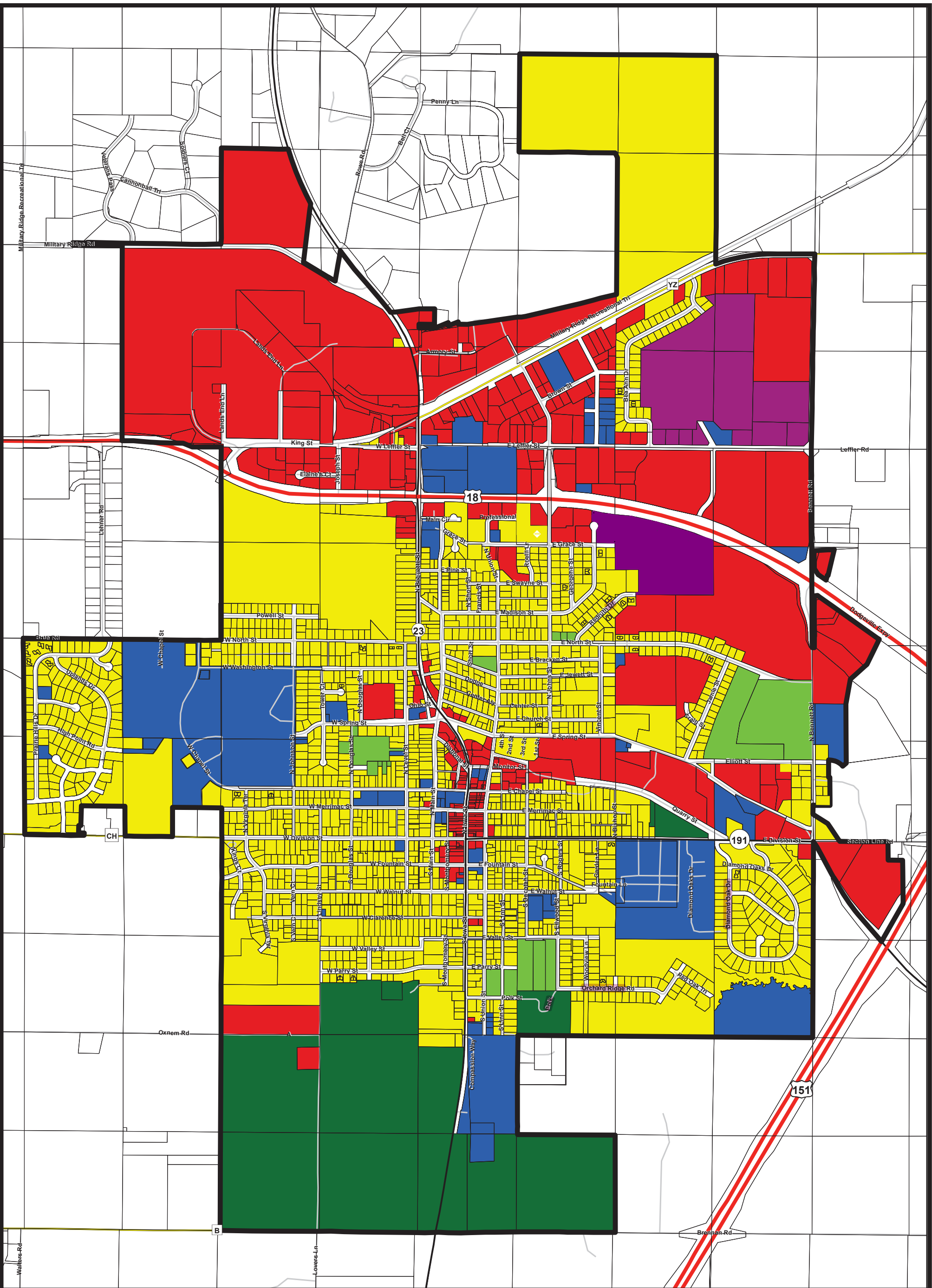
Attest: \_\_\_\_\_  
Lauree Aulik, City Clerk

Date adopted: \_\_\_\_\_

Date recorded: \_\_\_\_\_

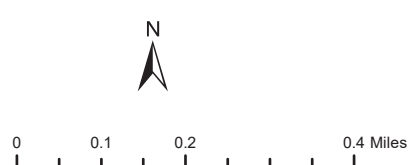
Date published: \_\_\_\_\_

Effective date: \_\_\_\_\_



# CITY OF DODGEVILLE, WI FUTURE LAND USE MAP

- |                         |                     |
|-------------------------|---------------------|
| <b>Future Land Uses</b> | Dodgeville Boundary |
| Residential             | Parcels             |
| Commercial/Industrial   | US Highways         |
| Institutional/Public    | State Roads         |
| Recreation              | Local Roads         |
| Agricultural            | County Roads        |
| Mixed Use               |                     |



Drafted by: City of Dodgeville Zoning Administrator

Last Updated: 12/14/2023 **\*DRAFT**

*Disclaimer: This map is not a survey of the actual boundary of any property. This map depicts the land use map as it is intended to be one. The City of Dodgeville is not responsible for any inaccuracies here contained.*

CITY OF DODGEVILLE  
ZONING CHANGE APPLICATION

Section VI. Item #9.

Reference Chapter 17.12 & 17.34

DATE: 9-26-2023

TO: PLAN COMMISSION

CITY OF DODGEVILLE

I would like to request a zoning change for my property located at:

On a portion of the existing lot east of 903 Elliot St. which is Parcel # 1122.03

Present Zoning is: M-L Limited Industrial

Requesting Zoning change to: R-1 Single and Two Family Residential

The property will be used for:

2 New Dwellings each on it's own lot with lot sizes of at least 80 feet by 100 feet.

Legal description of property:

PT OF LOT 17 IN EDDY'S ADDITION METED AND BOUNDED AS FOLLOWS: COMM 125' SOUTH OF THE NE CORNER OF SAID LOT 18, TH WEST 97 1/2', TH SOUTH 100', TH EAST 97 1/2', TH NORTH 100' TO THE POB

Names and addresses of adjacent and abutting owners:

- Four to One Investments, LLC 903 Elliot St
- Rachel Halverson No address at property...Rachel's address is 512 Bennett Rd
- Kyle Skogen 506 Bennet Rd
- Dyersville Ready Mix Vacant lot with no address Owners address is P.O. Box 220

FEE: \$400

Signature of Applicant: Ron Rinken

Address of Applicant: 903 ELLIOT

Signature of Property Owner: Ron Rinken

The Applicant or his/her agent must appear at the hearing

General procedure: 1. The Plan Commission will hold a public hearing per State Statute 62.23(7), and within 60 days, make a recommendation to the Common council to approve, deny or modify the request.

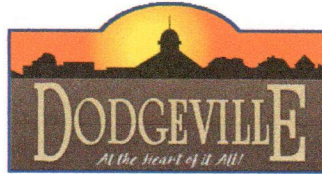
At a meeting subsequent to the Plan Commission hearing and recommendation, the Common Council shall vote on the passage of the proposed change or amendment.

If neighbors as defined in 17.30(6) protest the change or amendment, the vote by the council to approve the change must be by 3/4 of the Council members voting.

If the change or amendment is denied no similar petition can be submitted for one year



**CITY OF DODGEVILLE**  
 100 E. Fountain St.  
 Dodgeville, WI 53533  
 www.dodgevillewi.gov



Date:

**Application for Review of Plat or CSM per Chapter 20 of City Ordinance by City Plan Commission**

Current Property Owner/s	Address	City, State, Zip	Email or Phone
RON RINIKER FOUR TO ONE INVESTMENTS	903 ELLIOT	DODGEVILLE WI	MIDWEST 1303 @ GMAIL 608-574-4507
Applicant's Agent	Address	City, State, Zip	Email or Phone

**Current parcel #'s involved and Current Zoning classification (include legal descriptions on separate sheet)**

Parcel #	Current Zoning	Proposed Zoning or use of property (this meeting does not include approval of a zoning change)
1122.03	??? ML LIMITED INDUSTRIAL	R-1 and M-L
	???	
	???	
	???	
	???	
	???	
	???	

**Type of Review**

- Certified Survey Map
- Preliminary Plat (Final Plat reviews are at the City Council level)
- Extraterritorial Review (within 1.5 miles of City boundaries)

**Describe the nature of the proposed development**

2 SINGLE FAMILY HOMES

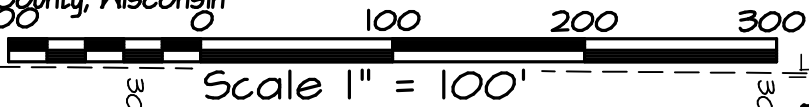
**Plan Commission Fee** \$400 Fee can be paid in person, or online at [www.govpaynow.com](http://www.govpaynow.com) into account 6710

**Submittal requirements:** Per Ch. 20, or for CSM one electronic copy (.pdf) and one hard copy. Submit to [buildinginspector@dodgeville.wi.gov](mailto:buildinginspector@dodgeville.wi.gov) and Building Inspector, 100 E. Fountain St., Dodgeville, WI 53533

Plan Commission meetings are scheduled as needed and require publication of legal notices.

# CERTIFIED SURVEY MAP

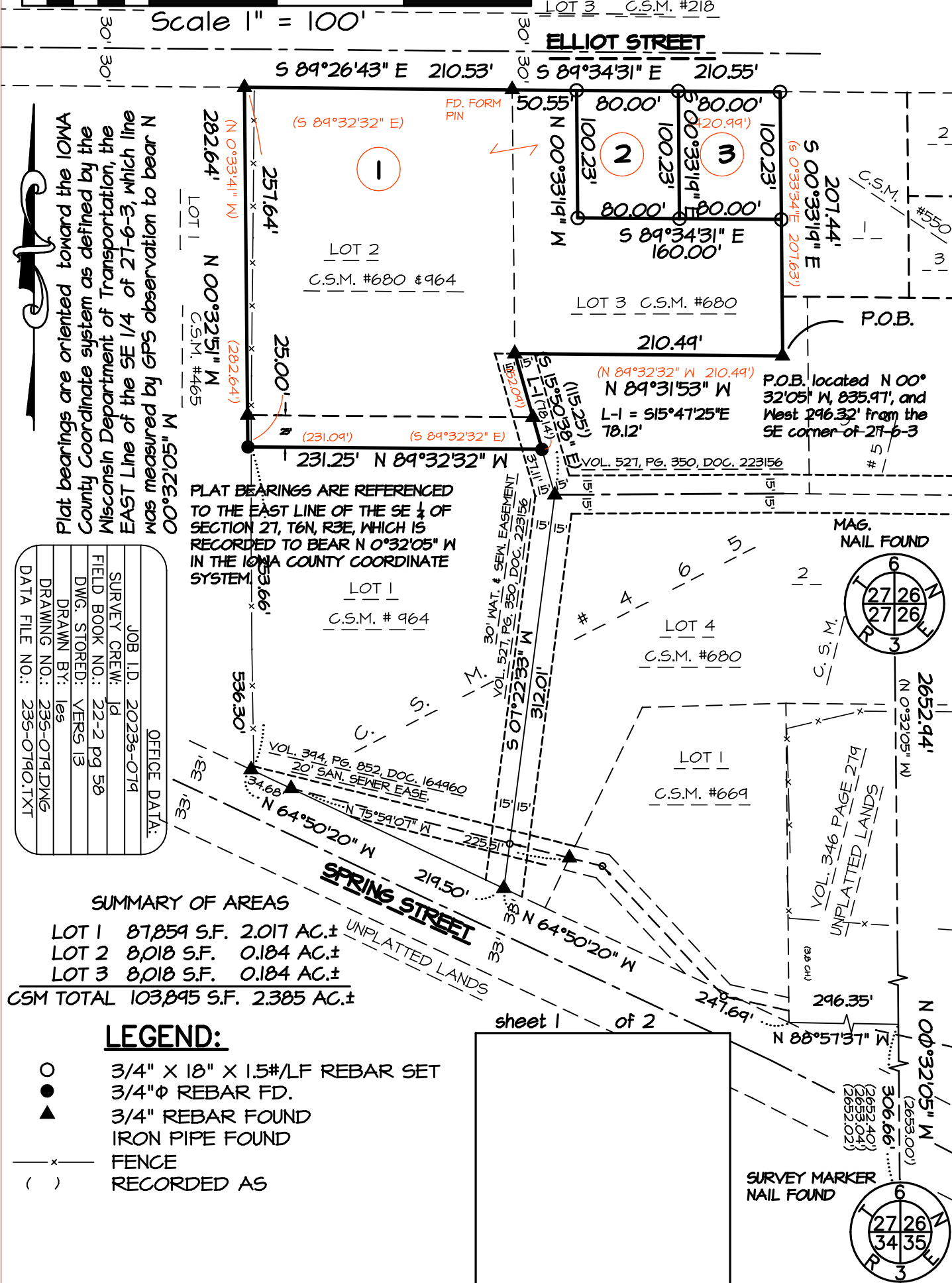
Being lots 1 and 2 of C.S.M. #964, recorded in Vol. 7 of Certified Survey Maps on page 8 as Document 2287307, and lot 3 of Certified Survey Map #680 recorded as Document 248846, all located in part of the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin



Plat bearings are oriented toward the IOWA County Coordinate system as defined by the Wisconsin Department of Transportation, the EAST Line of the SE 1/4 of 27-6-3, which line was measured by GPS observation to bear N 50°32'00" W.

OFFICE DATA:	
JOB I.D.	20235-079
SURVEY CREW:	ld
FIELD BOOK NO.:	22-2 pg 58
DWG. STORED:	VER5 13
DRAWN BY:	les
DRAWING NO.:	235-079.DWG
DATA FILE NO.:	235-0790.TXT

PLAT BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SECTION 27, T6N, R3E, WHICH IS RECORDED TO BEAR N 0°32'05" W IN THE IOWA COUNTY COORDINATE SYSTEM.

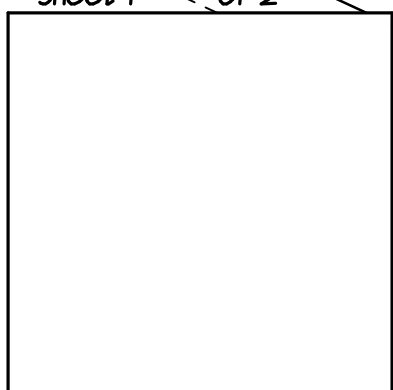


### SUMMARY OF AREAS

LOT 1	87,859 S.F.	2.017 AC.±
LOT 2	8,018 S.F.	0.184 AC.±
LOT 3	8,018 S.F.	0.184 AC.±
<b>CSM TOTAL</b>	<b>103,895 S.F.</b>	<b>2.385 AC.±</b>

### LEGEND:

- 3/4" X 18" X 1.5#/LF REBAR SET
- 3/4"φ REBAR FD.
- ▲ 3/4" REBAR FOUND
- IRON PIPE FOUND
- x FENCE
- ( ) RECORDED AS



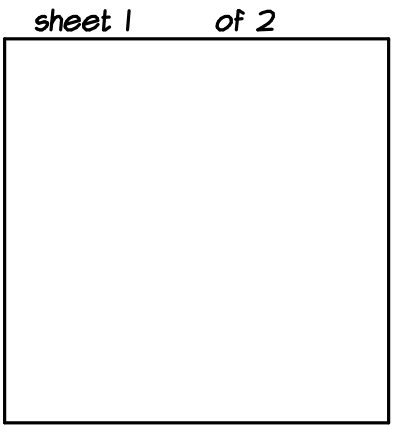


# CERTIFIED SURVEY MAP \_\_\_\_\_

Being lots 1 and 2 of C.S.M. #964, recorded in Vol. 7 of Certified Survey Maps on page 8 as Document 2287307, and lot 3 of Certified Survey Map #680 recorded as Document 248846, all located in part of the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin

I, Laurence E. Schmit, Professional Land Surveyor hereby certify that under the direction of Ron Riniker, I have made a survey, division, and map. Subject map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof, and that I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes in the dividing, mapping of the land which is described as being

Commencing at the SW corner of said Section 27; thence N 00°32'05" W, 835.97'; thence West 296.32' to the SE corner of lot 3 of C.S.M. 680, said point being the POINT OF BEGINNING; thence traversing clockwise along the boundary lines of C.S.M. 680 and 964 for the next 7 courses, as follows: thence N 89°31'53" W, 210.49'; thence S 15°47'25" E, 78.12'; thence N 89°32'32" W, 231.25'; thence N 00°32'51" W, 282.64'; then S 89°26'43" E, 210.53' along the south line of Elliot Street; thence S 89°34'31" E, 210.55' along the south line of Elliot Street; thence S 00°33'19" E, 207.44' to the POINT OF BEGINNING. Containing 103,895 square feet, or 2.385 acres, more or less.



\_\_\_\_\_  
Laurence E. Schmit date

APPROVED FOR RECORDING BY: City of Dodgeville

\_\_\_\_\_  
Todd Novak - Mayor date

OFFICE DATA:
JOB I.D. 2023s-079
SURVEY CREW: Id
FIELD BOOK NO.: 22-2 pg 58
DWG. STORED: VERS 13
DRAWN BY: les
DRAWING NO.: 23s-079.DWG
DATA FILE NO.: 23s-0790.TXT

SCHMIT ENGINEERING & SURVEYING  
215 E. GRACE STREET  
DODGEVILLE, WI. 53533  
608-935-2721



S 89°32'32" E

420.99'

210.50'

210.49'

N 0°33'41" W

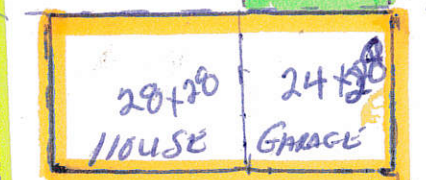
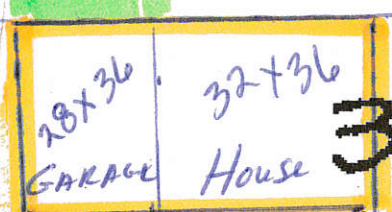
S 0°33'34" E

MIDWEST  
CONCRETE

2  
= 54,567 AC.±

AREA = 43,698 AC.±

S 0°33'41" E  
207.63'



80' Lot  
32x36 House  
WITH 28x36 GARAGE

28x28 House  
w/ 24x28 GARAGE

N 89°32'32" W  
210.49'

S 89°32'32" E  
224.23'

LOT 1 C.S.M. #465

AREA = 72,960 AC.±

VOL. 527, PG. 350, DOC. 223156

N 89°42'13" E

180.08'

EASEMENT  
223156

MONUMENT  
IN CONCRETE



# ELLIOTT STREET



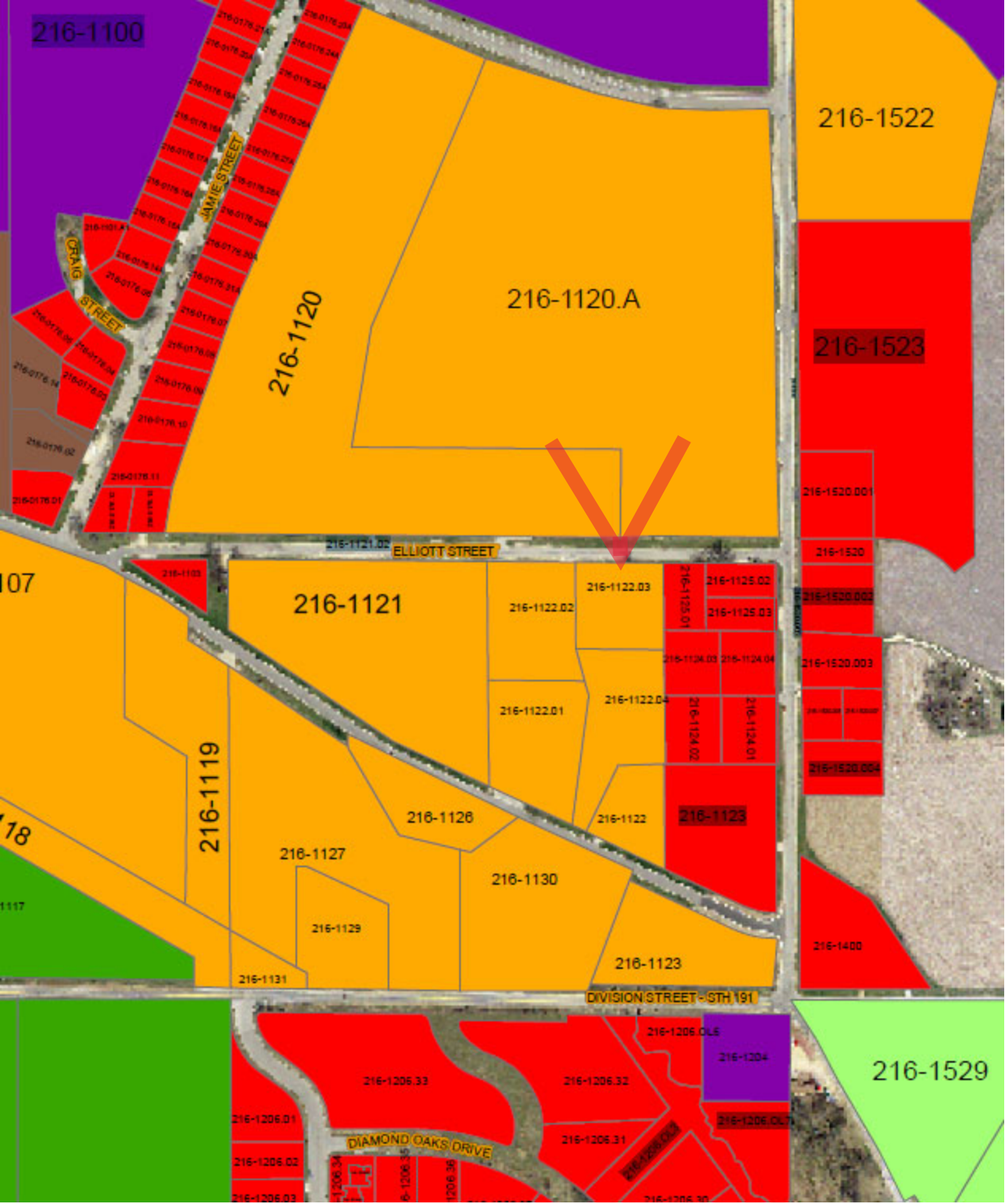
SW WI GIS



DISCLAIMER: No guarantee in the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SCALE: 1" = 100'

City of Dodgeville  
Current Zoning Map

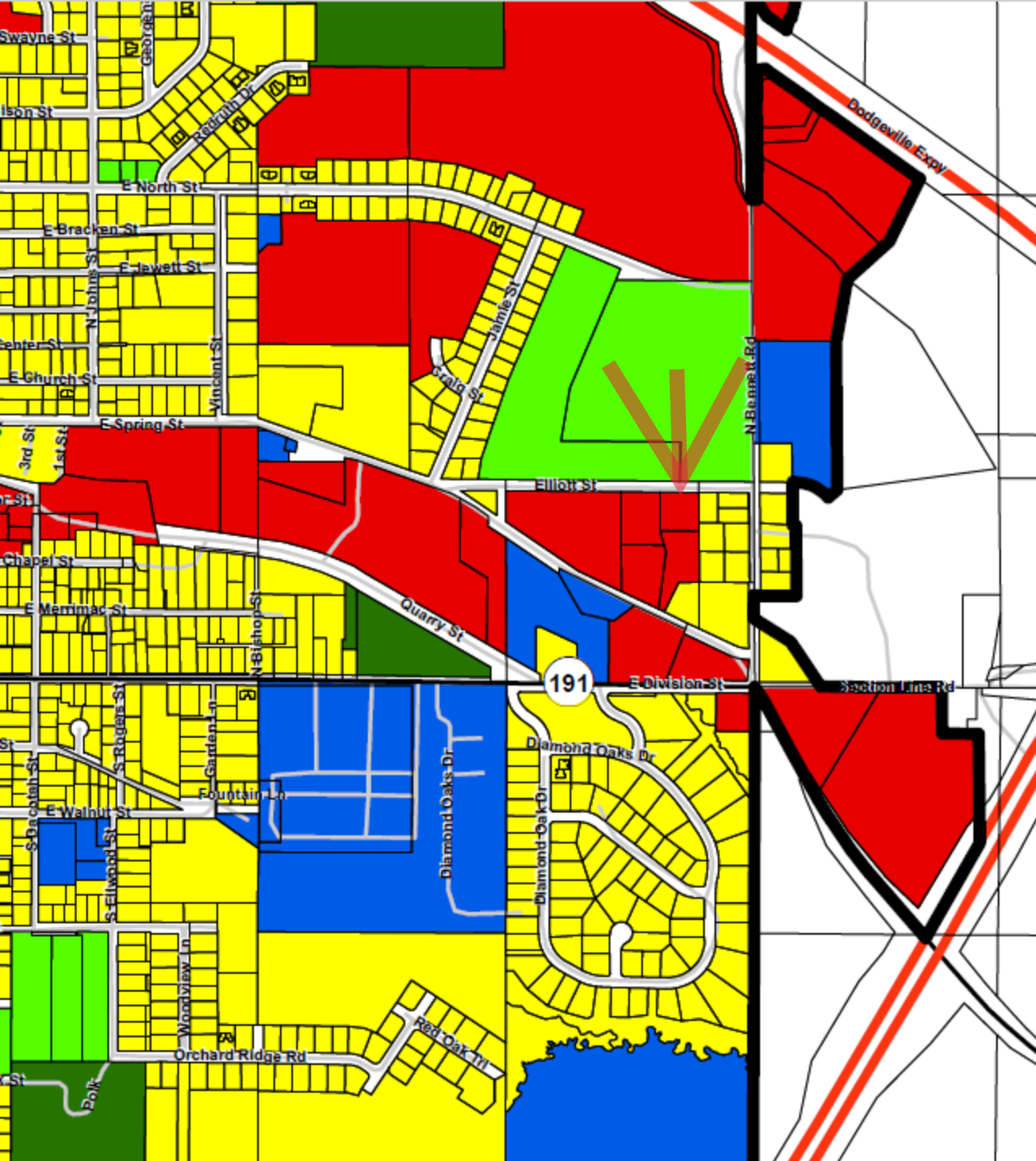








**Zoning**

<Null>







	A-G
	B-C
	B-H
	B-N
	M-G
	M-H
	M-L
	PUD
	R-1
	R-M

# City of Dodgeville Future Land use Map



Future Land Uses	
	Residential
	Commercial/Industrial
	Institutional/Public
	Recreation
	Agricultural
	Mixed Use

	Dodgeville Boundary
	Parcels
	US Highways
	State Roads
	Local Roads
	County Roads

widths and depths for such yards and courts in the 2 districts the district boundary line.

- (h) *Development Projects*. When a development project consisting of a group of 2 or more buildings is to be constructed on a site not subdivided into customary lots and streets, or where an existing lot and street layout make it impractical to apply the requirements of this chapter to the individual building units, the Plan Commission may approve a development, provided it complies with the regulations of this chapter as applied to the whole plat. In the Mixed Use (MU) Zoning District, such projects shall be subject only to design review under section 17.29.
- (i) *Motor Homes*. No motor home, mobile home or camping trailer shall be used for residence purposes unless located in a licensed Manufactured and Mobile Home Community, except that City police may permit the overnight parking of such vehicles in the City in emergency situations.
- (j) *Vision Clearance*. No obstructions such as structures, parking or vegetation shall be permitted in any district other than the B-C Business District between the height of 2 1/2 and 10 feet above a plane through the mean curb grades within the triangular space formed by any 2 existing or proposed intersecting street or alley right-of-way lines and a line joining points on such lines, located a minimum of 15 feet from their intersection or a distance to the applicable setback, whichever is greater. Official signs and one utility pole or streetlight may be permitted within each segment of an intersection traffic visibility area.
- (k) *Parking Restrictions*. See sec. 17.26 of this chapter.
- (l) *Application to Personal Property*. The various setback and yard requirements of the various districts and the certificate of occupancy requirements of sec. 17.32 of this chapter shall apply to items of personal property, regardless of height, which occupy more than 30 percent of the available unused area of the lot or parcel upon which such items shall be placed, and such requirements shall apply to items of personal property, regardless of area, which exceed 12 feet in height above the ground level.
- (m) *Sewer Treatment Plant (Cr. Ord. #909)*. In order to minimize potential odor, noise and nuisances caused by sewerage treatment facilities, and to enhance plant security and reliability, sewerage treatment facilities shall be separated from all buildings intended for commercial or residential use by a distance of not less than 500 feet, measured from the nearest points of the residential or commercial building and the sewerage treatment building or other facility. In the event the City shall approve plans for expansion of a sewerage treatment facility, prior to approval of a building

permit for construction of a new residential or commercial building within a 500-foot distance shall be measured from the nearest points of planned expansion of the sewerage treatment building or other facility and the proposed residential or commercial building.

Section VI. Item #9.

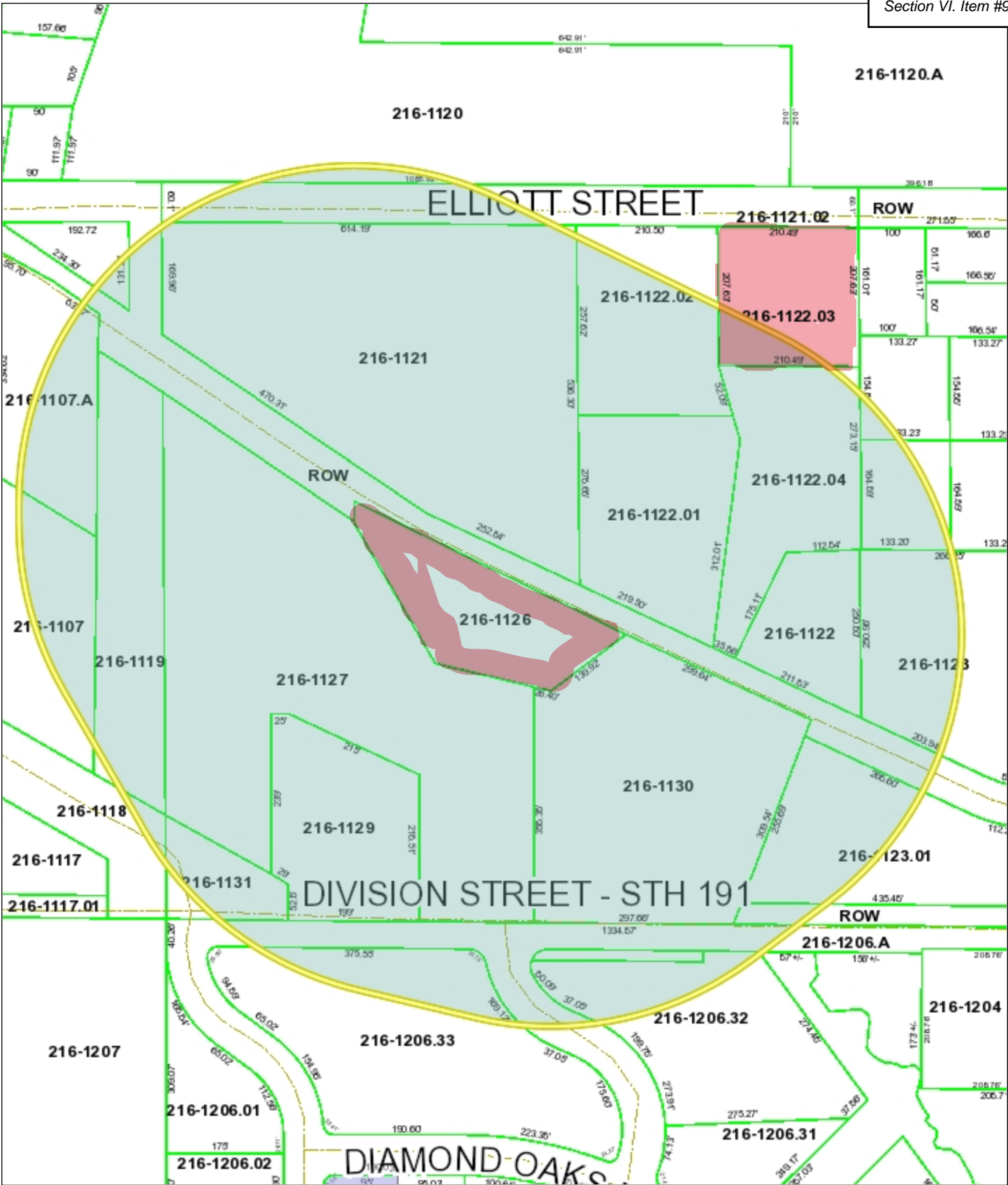
(Ord. No. 2021-1403, att., § 17.8, 9-21-2021)

#### HISTORY

*Adopted by Ord. [2023-01](#) on 1/3/2023*

*Amended by Ord. [2023-03](#) on 6/20/2023*





SW WI GIS

DISCLAIMER: No guarantee in the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SCALE: 1" = 200'



Print Date: 10/23/20





SW WI GIS

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SCALE: 1" = 200'

Print Date: 10/23/20

**17.19 M-L LIMITED INDUSTRIAL DISTRICT.** The M-L District is intended to provide for manufacturing or industrial operation which, on the basis of actual physical and operational characteristics, would not be detrimental to the surrounding area or to the City as a whole by reason of noise, dirt, dust, smoke, odor, traffic, physical appearance or other similar factors, and subject to such regulatory controls as will reasonably insure compatibility in this respect. Outdoor storage of raw materials or finished products is not allowed.

(1) PERMITTED USES. (a) Automotive repair, service and storage of automobile accessories, except the wrecking of motor vehicles.

- (b) Blacksmithing, tinsmithing and sheet metal work.
- (c) Breweries and brewpubs.
- (d) Manufacture, fabrication, packing and packaging and assembly of products from furs, glass, leather (but not tanning of hides or manufacture of leather), metals, paper (but not the manufacture of paper or pulp), plaster, plastic (but not the manufacture of plastic), textiles and wood (but not the manufacture of paper or pulp).
- (e) Manufacture, fabrication, packaging and packing of confections, cosmetics, electrical appliances, electronic devices, food (except meat and meat products, fish and fish products, cabbage products or the vining of peas).
- (f) Manufacture of furniture, home supplies and appliances, instruments, jewelry, office supplies, pharmaceuticals, sporting goods, tobacco products and toiletries.
- (g) Laboratories.
- (h) Warehousing.
- (i) Welding shops.
- (j) Wholesaling.
- (k) (Cr. Ord. #1112) All permitted uses in the B-H Highway Business District.

(2) CONDITIONAL USES. (a) Storage and warehousing of fuel and materials, but not the storage of wrecked or dismantled vehicles and junk or the storage of explosives.

- (b) Other uses similar in character to the permitted uses, giving due consideration to such items as noise, odor, pollution, traffic and parking, safety, hours and type of operation.
- (c) (Cr. Ord. #1169) Churches and similar places of worship and instruction.
- (d) See sec. 17.26(1) of this chapter.

(3) LOT, YARD AND BUILDING REQUIREMENTS.

Lot frontage.....	No minimum
Lot area. ....	Minimum one acre
Front setback.....	Minimum 50 ft.
Side setbacks.....	Minimum 20 ft.
Rear setback .....	Minimum 25 ft.
Building height.....	Maximum 45 ft.
Number of stories.....	Maximum 3



(4) OFF-STREET PARKING AND LOADING REQUIREMENTS. See sec. 17.26 of this chapter.

**B-H Permitted Uses**

- (a) Automotive sales, servicing and repairs.
- (b) Cleaning, dyeing and pressing establishments.
- (c) Construction/contractor shops
- (d) Convenience stores.
- (e) Department stores and discount stores.
- (f) Banks.
- (g) Restaurants.
- (h) Feed and seed stores.
- (i) Locker plants.
- (j) Gasoline and service stations, providing all gas pumps are not less than 30 feet from any existing or proposed street line.
- (k) Laundromats.
- (l) Lumber and contractor's yards.
- (m) Motels.
- (n) Plumbing and heating shops.
- (o) Printing and related trades.
- (p) Publishing, including newspaper publishing, job printing, lithographing and blueprinting
- (q) Recreational and entertainment establishments.
- (r) Shopping centers.
- (s) Supermarkets.
- (t) Taxidermists.
- (u) Tourist information and hospitality centers.
- (v) Veterinary clinics.
- (w) (Cr. Ord. #988) All permitted uses in the B-C Central Business District.

**B-C Permitted uses**

- (a) Banks and other financial institutions, including loan and finance companies.
- (b) Clinics.
- (c) Cocktail lounges and taverns.
- (d) Commercial schools.
- (e) Hotels.
- (f) Newspaper offices and light service printers.
- (g) Parking facilities.
- (h) Professional and business offices.
- (i) Restaurants and taverns.
- (j) Retail stores.
- (k) Service establishments
- (l) Theaters and places of amusement.
- (m) Utility company offices.

**Sec 17.13 R-1 One- And Two-Family Residential District**

The R-I District is established for low density developments of one- and two-family homes.

- (a) *Permitted Uses.* One-family and two-family dwellings. Each residential unit in a two-family dwelling located in a single lot may be under separate ownership provided that the property upon which the dwelling is located is a condominium, as defined in §703.02, Wis. Stats.
- (b) *Conditional Uses.* See also sec. 17.24 of this chapter.
  - (1) Churches and similar places of worship and instruction, including parsonages.
  - (2) Municipal buildings, except sewerage disposal plants, garbage incinerators, public warehouses, public garages, public shops and storage yards and penal or correctional institutions and asylums.
  - (3) Utility offices, provided there is no service garage or storage yard.
  - (4) Public, parochial and private elementary and secondary schools.
  - (5) Public parks, recreation areas, playgrounds and community centers.
  - (6) Home occupations and professional offices.
  - (7) (Cr. Ord. #887) Day care centers.
  - (8) See sec. 17.24(1) of this chapter.
- (c) *Lot, Yard and Building Requirements (Am. Ord. #970).* See also sec. 17.08 of this chapter.

Lot frontage at setback	Minimum 80 ft.
Lot area	Minimum 8,000 sq. ft.
<i>Principal building</i>	
Front setback	Minimum 25 ft.
Side setbacks	
Up to 1 1/2 stories	Minimum total, 20 ft.

Minimum per side, 8 ft. 1 1/2 to 2 1/2 stories	Minimum total, 25 ft.	Section VI. Item #9.
Minimum per side, 10 ft. rear setback	Minimum 25 ft.	
Building height	Maximum 35 ft.	
Building width	Minimum 24 ft.	
Number of stories	Maximum 2 1/2	
Off-street parking	Minimum 2 spaces per dwelling unit	
<i>Accessory buildings</i>		
Front setback	Minimum 25 ft.	
Side setback	Minimum 5 ft.	
Rear setback	Minimum 5 ft.	
Detached Garage(s)	Maximum 900 ft. <sup>2</sup> per dwelling unit, Maximum height 15 ft.	
Attached Garage(s)	May not exceed the square footage of the heated living area of the first floor of the dwelling unit	
(See also sec. 17.24 of this chapter)		

(Ord. No. 2021-1403, att., § 17.13, 9-21-2021)

HISTORY

Adopted by Ord. [2023-01](#) on 1/3/2023

Amended by Ord. [2023-03](#) on 6/20/2023

## MINUTES

1. *Call to order and Roll Call*

The meeting was called to order by Todd Novak at 5:00 pm.

Members Present: Todd Novak, Tom DeVoss, Dan Meuer, Mike Tiber, Mike Humke, Bob Kratochwill

Members not present: Matt Staver, Aaron Boehnen

Others Present: Larry Gilles-City of Dodgeville Building Inspector, Greg Lee-City of Dodgeville Director of Public Works, Ron Riniker-Owner of Four to One Investments, Shawna Riniker

2. *Approval of Minutes from June 26, 2023*

Motion by: Meuer, Second by: Tiber

Motion Carried.

3. Public hearing to review a re-zoning request submitted by Ron Riniker. Re-zoning request from Ron Riniker, owner of Four to One Investments, who owns the property related to this zoning change request and the adjacent parcel to the west. The property to be considered for re-zoning is located on Elliott St. on the adjacent lot east of 903 Elliott St. and has a parcel # of 216-1122.03. The owner is requesting that a portion of the parcel will be surveyed into 2 lots for residential use and is requesting those 2 lots to be rezoned to R-1, and the remainder of that parcel will be combined with the existing parcel to the west (Parcel #216-1122.02) also under his ownership and will remain zoned M-L.

Ron Riniker is requesting to re-zone the adjacent lot east of 903 Elliott St with parcel 216-1122.03 to R-1 from M-L to allow for two houses to be built. One house will be built for Ron's daughter Shawna and the other house will be built for Ron's mother. Both will meet the minimum lot size of 8000 feet. Ron's plan is to begin building in Spring of 2024.

One concern of this building project included how close these properties were from the nearest wastewater treatment plant. Greg confirmed that new homes needed to be a minimum of 500 feet from the Wastewater Treatment Plant, and these two homes would be 537 feet from this, so they have met this requirement.

4. Adjourn the public hearing.

Motion to approve the re-zoning request submitted by Ron Riniker.

Motion by Meuer, Second by Humke

Motion Carried

Roll Call Vote 6-0

5. Discussion and possible recommendation to the City Council on the Re-Zoning request of Ron Riniker to re-zone a portion of parcel # 216-1122.03 to R-1, and possible action on a resolution recommending Comprehensive Plan modifications related to land use.

Motion to approve the re-zoning request of Ron Riniker to re-zone a portion of parcel # 216-1122.03 to R-1.

Motion was amended.

Meuer moved to conditionally approve the proposed certified survey map with the condition that lots 2 and 3 of the proposed certified survey map are re-zoned to R-1.

Motion by Meuer, Second by Humke  
Amended Motion by Meuer, Second by Kratochwill  
Motion Carried  
Roll Call Vote 6-0

6. Consider proposed certified survey map dividing property owned by Four to One Investments located on the adjacent lot east of 903 Elliott St. with parcel # 216-1122.03.

Greg wants to make sure that the City of Dodgeville is allowed easement to these properties for water and sewer. Ron states there is already an easement there, but the City of Dodgeville would need an easement to get across this property for if there was ever a change in ownership.

Motion to approve proposed certified survey map dividing property owned by Four to One Investments located on the adjacent lot east of 903 Elliott St; with parcel # 216-1122.03

Motion was amended.

Novak moved to recommend that the Council approve the re-zoning request of Ron Riniker to re-zone a portion of parcel # 216-1122.03 to R-1, but that such re-zoning shall take effect only upon the recording of the associated proposed CSM and upon the amendment of the Comprehensive Plan Future Land Use map, and if the rezoning does not take effect within 6 months, the zoning amendment shall become null and void and the zoning for such lands shall remain unchanged.

Motion by DeVoss, Second by Humke  
Amended motion by Novak, Second by Humke

Motion Carried  
Roll Call Vote 6-0

7. Review C.S.M in Northeast Acres Development, submitted by Josh Fowler for the revision of lot sizes, creating 4 lots for the purpose of building 4 duplexes.

Josh Fowler is in negotiations with the City of Dodgeville to purchase 6 lots to build 4 duplexes. New lots have to be created so that he can build. He is also in the process of purchasing an additional lot, in which he will then have 5 duplexes built. Curb and gutter will not be placed in 2023 but utilities will be placed yet this year. The newly built duplexes will not have any basements, only slabs, and will be valued at \$360,000 a piece.

Motion to approve C.S.M in Northeast Acres Development, submitted by Josh Fowler for the revision of lot sizes, creating 4 lots for the purpose of building 4 duplexes.

Motion By Humke, Second by Kratochwill  
Motion Carried  
Roll Call Vote 6-0

8. Adjourn & Next Meeting Date  
Motion by Meuer, Second by Humke  
Motion carried. 5:15pm



385245

RECORDED

Dodgeville WI 53533

November 06, 2023 3:58 PM

Taylor J. Campbell  
Iowa County Register of Deeds  
Iowa County, Wisconsin

FEES: \$30.00

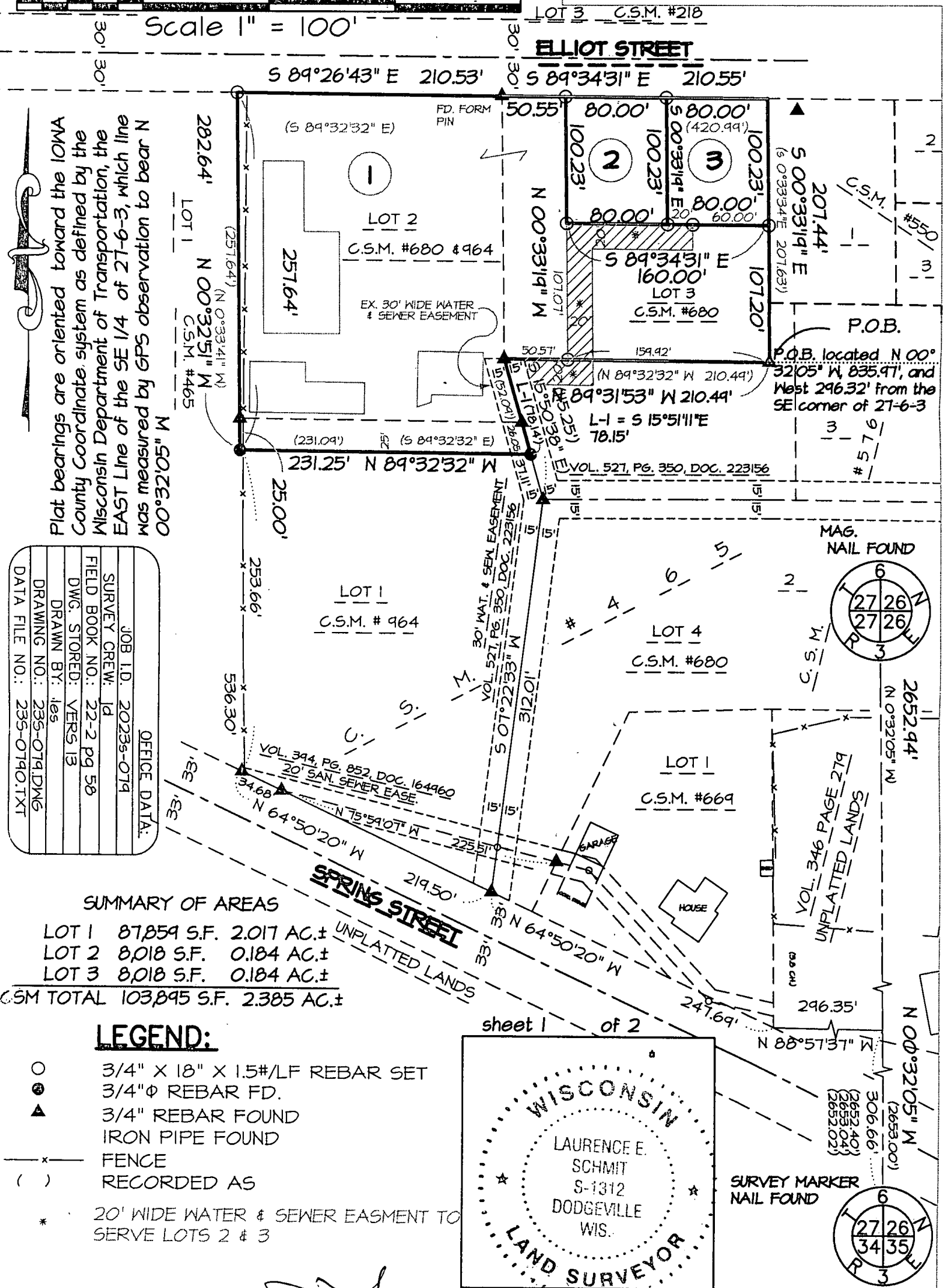
Pages: 2

# CERTIFIED SURVEY MAP 2046

Being lot 2 of C.S.M. #964, recorded in Vol. 7 of Certified Survey Maps on page 8 as Document 2287307, and lot 3 of Certified Survey Map #680 recorded as Document 248846, all located in part of the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin

100 0 100 200 300

Scale 1" = 100'



Plat bearings are oriented toward the IOWA County Coordinate system as defined by the Wisconsin Department of Transportation, the EAST Line of the SE 1/4 of 27-6-3, which line was measured by GPS observation to bear N 00°32'00" W 50.00'

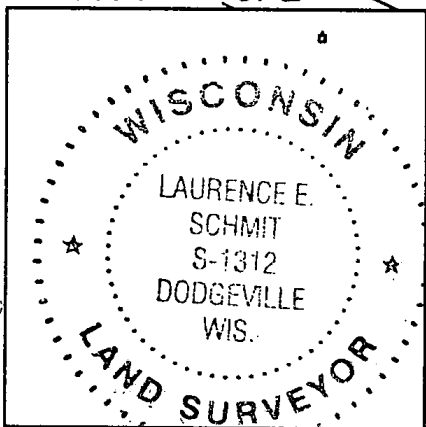
OFFICE DATA:	
JOB I.D.	2023s-079
SURVEY CREW:	JD
FIELD BOOK NO.:	22-2 pg 58
DWG. STORED:	VERS 13
DRAWN BY:	les
DRAWING NO.:	235-079.DWG
DATA FILE NO.:	235-0790.TXT

### SUMMARY OF AREAS

LOT 1	87,859 S.F.	2.017 AC.±
LOT 2	8,018 S.F.	0.184 AC.±
LOT 3	8,018 S.F.	0.184 AC.±
C.S.M. TOTAL	103,895 S.F.	2.385 AC.±

### LEGEND:

- 3/4" X 18" X 1.5#/LF REBAR SET
- 3/4"φ REBAR FD.
- ▲ 3/4" REBAR FOUND
- ▲ IRON PIPE FOUND
- x— FENCE
- ( ) RECORDED AS
- \* 20' WIDE WATER & SEWER EASMENT TO SERVE LOTS 2 & 3



Laurence E. Schmit 11-6-23 SHEET 1 OF 2

# CERTIFIED SURVEY MAP 2046

Being lot 2 of C.S.M. #964, recorded in Vol. 7 of Certified Survey Maps on page 8 as Document 2287307, and lot 3 of Certified Survey Map #680 recorded as Document 248846, all located in part of the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin

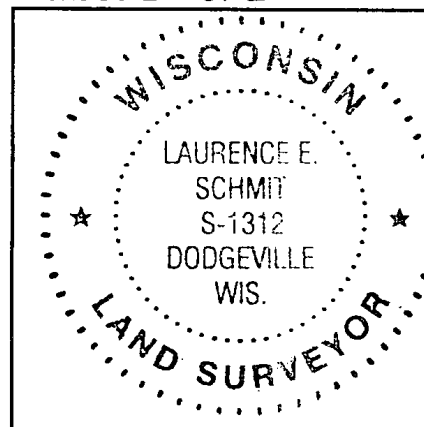
**SURVEYOR'S CERTIFICATE:**

Being lot 2 of C.S.M. #964, recorded in Vol. 7 of Certified Survey Maps on page 8 as Document 2287307, and lot 3 of Certified Survey Map #680 recorded as Document 248846, all located in part of the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin, to wit:

I, Laurence E. Schmit, Professional Land Surveyor hereby certify that under the direction of Ron Riniker, I have made a survey, division, and map. Subject map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof, and that I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes in the dividing, mapping of the land which is described as being

Commencing at the SW corner of said Section 27; thence N 00°32'05" W, 835.97'; thence West 296.32' to the SE corner of lot 3 of C.S.M. 680, said point being the POINT OF BEGINNING; thence traversing clockwise along the boundary lines of C.S.M. 680 and 964 for the next 7 courses, as follows: thence N 89°31'53" W, 210.49'; thence S 15°51'11" E, 78.15'; thence N 89°32'32" W, 231.25'; thence N 00°32'51" W, 282.64'; thence S 89°26'43" E, 210.53' along the south line of Elliot Street; thence S 89°34'31" E, 210.55' along the south line of Elliot Street; thence S 00°33'19" E, 207.44' to the POINT OF BEGINNING. Containing 103,894 square feet, or 2.385 acres, more or less.

sheet 2 of 2



*Laurence E. Schmit* 11-6-23  
 Laurence E. Schmit date

**SUMMARY OF AREAS**

	SQ. FEET	ACRES ±
LOT 1	87,859	2.02
LOT 2	8,017	0.18
LOT 3	8,018	0.18
<b>TOTALS</b>	<b>103,894</b>	<b>2.38</b>

APPROVED FOR RECORDING BY: City of Dodgeville  
*Todd Novak* 11/6/2023  
 Todd Novak - Mayor date

**EASEMENT DESCRIPTION:**

An easement for water and sewer located in part of Lot 3 of CSM 465 and part of Lot 4 of CSM 465, all in the SE 1/4 of the SE 1/4 of Section 27, T6N, R3E, City of Dodgeville, Iowa County, Wisconsin. Said easement being a strip of land 20' in width, and lying south or east of the following described reference line, to wit:

Commencing at the SW corner of said Section 27; thence N 00°32'05" W, 835.97'; thence West 296.32'; thence N 89°31'53" W, 210.49' to the POINT OF BEGINNING of said reference line; thence S 89°31'53" E, 50.57'; thence N 00°33'19" W, 107.07'; thence S 89°34'31" E, 100' to the POINT OF TERMINATION of said reference line and strip.

OFFICE DATA:	
JOB I.D.	2023s-079
SURVEY CREW:	jd
FIELD BOOK NO.:	22-2 pg 58
DWG. STORED:	VERS 13
DRAWN BY:	les
DRAWING NO.:	235-079.DWG
DATA FILE NO.:	235-0790.TXT

SCHMIT ENGINEERING & SURVEYING  
 215 E. GRACE STREET  
 DODGEVILLE, WI. 53533  
 608-935-2721

# CITY OF DODGEVILLE ZONING CHANGE APPLICATION

Reference Chapter 17.12 & 17.34

DATE: 11/19/2023

TO: PLAN COMMISSION OF THE CITY OF DODGEVILLE

OWNER: Chad Kannenberg ADDRESS: S12523 Highway G  
Spring Green, WI 53588

I would like to request a zoning change for my property located at:  
Tax Parcel # 216-1077 (no street address available)

Present Zoning is: A-G Agricultural

Requesting Zoning change to: M-U

The property will be used for:

Approximately 6 acres will be subdivided from the full 29 acre parcel for use as a multi-family housing development (see draft site plan). The remaining approx 23 acres will continue to be used for agriculture and held for a future development opportunity.

Legal description of property:

Tax Parcel # 216-1077  
Legal Description from County property GIS: LOT 1 CSM 795 REC IN V 5 CSM P 197 BEING PT OF THE NE1/4 & SE1/4 OF THE NW1/4 & PT OF THE NW1/4 & SW1/4 OF THE NE1/4 EXC LOT 1 CSM 1668 (INCLUDES PARCEL 1076.02)

Names and addresses of adjacent and abutting owners:

See attached list

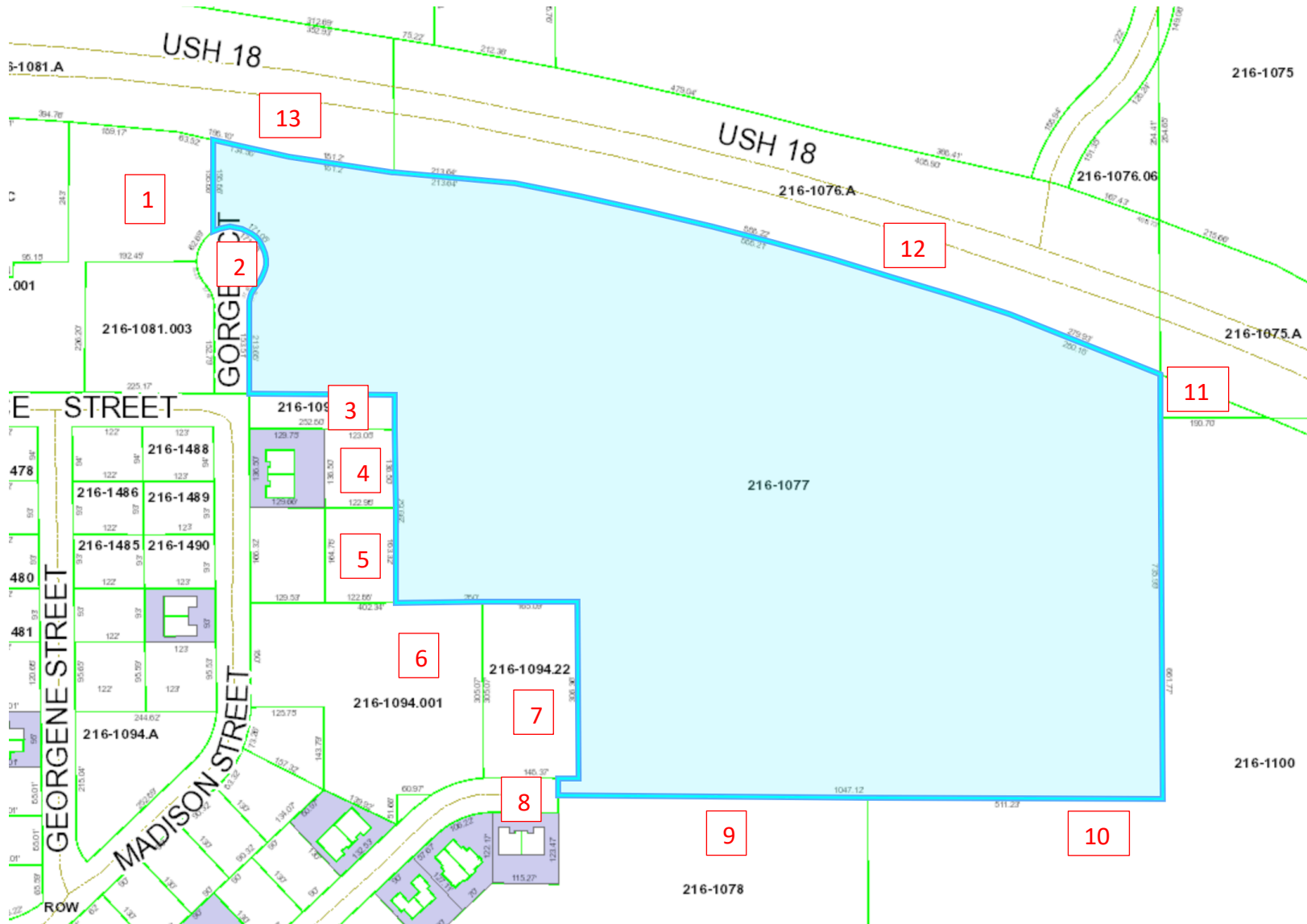
**FEE: \$400**

Signature of Applicant: Kent Paulson Digitally signed by Kent Paulson Date: 2023.11.21 11:24:41 -06'00'  
Address of Applicant: 1621 Progressive Parkway, Platteville, WI 53841  
Signature of Property Owner: Chad Kannenberg Digitally signed by Chad Kannenberg Date: 2023.11.21 17:00:38 -06'00'

### The Applicant or his/her agent must appear at the hearing

**General procedure:** 1. The Plan Commission will hold a public hearing per State Statute 62.23(7), and within 60 days, make a recommendation to the Common council to approve, deny or modify the request. At a meeting subsequent to the Plan Commission hearing and recommendation, the Common Council shall vote on the passage of the proposed change or amendment. If neighbors as defined in 17.30(6) protest the change or amendment, the vote by the council to approve the change must be by 3/4 of the Council members voting. If the change or amendment is denied, no similar petition can be submitted for one year.

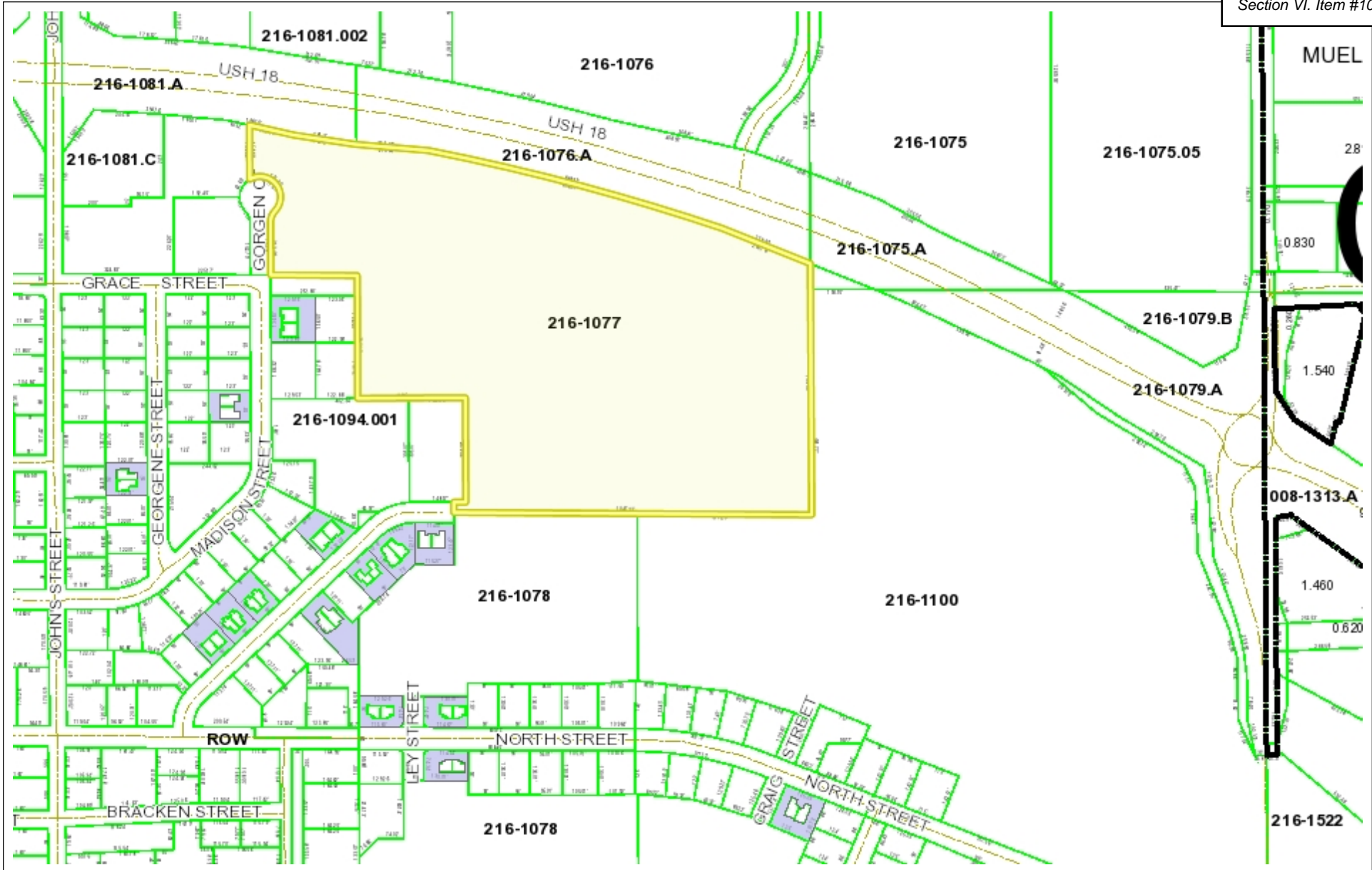
Chad Kannenberg Property  
Dodgeville, Wisconsin



See Tax Parcel Map on previous page for location of adjacent and abutting property owners listed below:

1. Tax Parcel: 216-1081.001, Owner: FARMERS SAVINGS BANK, 305 DOTY ST, PO BOX 251, MINERAL POINT, WI 53565, Property Address: 1113 N JOHNS ST
2. Tax Parcel: 216-1081, Owner: CITY OF DODGEVILLE, 100 E FOUNTAIN ST, DODGEVILLE, WI 53533, Property Address: None
3. Tax Parcel: 216-1081, Owner: CITY OF DODGEVILLE, 100 E FOUNTAIN ST, DODGEVILLE, WI 53533, Property Address: None
4. Tax Parcel: 216-1094.004, Owner: VALLEY HOMES OF SPRING GREEN, S12523 HIGHWAY G, SPRING GREEN, WI 53588, Property Address: None
5. Tax Parcel: 216-1094.005, Owner: THOMAS J ROCK, 130 E NORTH ST, DODGEVILLE, WI 53533, Property Address: None
6. Tax Parcel: 216-1094.001, Owner: JAMES THOMAS LLC, 770 N PARKWAY ST, JEFFERSON, WI 53549, Property Address: 407 E MADISON ST
7. Tax Parcel: 216-1094.22, Owner: ATF INVESTMENTS LLC, 4949 COUNTY ROAD YZ, DODGEVILLE, WI 53533, Property Address: 342-352 REDRUTH DR
8. Roadway (Redruth Drive)
9. Tax Parcel: 216-1078, Owner: PHILIP A LEY, 800 E NORTH ST, DODGEVILLE, WI 53533, Property Address: None
10. Tax Parcel: 216-1100, Owner: PHILIP A LEY, 800 E NORTH ST, DODGEVILLE, WI 53533, Property Address: None
11. Tax Parcel: 216-1075.02, Owner: 18 DEVELOPMENT LLC, 770 N PARKWAY, JEFFERSON, WI 53549, Property Address: None
12. Tax Parcel: 216-1076.A, Owner: STATE OF WISCONSIN, Property Address: None
13. Tax Parcel: 216-1081.A, Owner: STATE OF WISCONSIN, Property Address: None





SW WI GIS



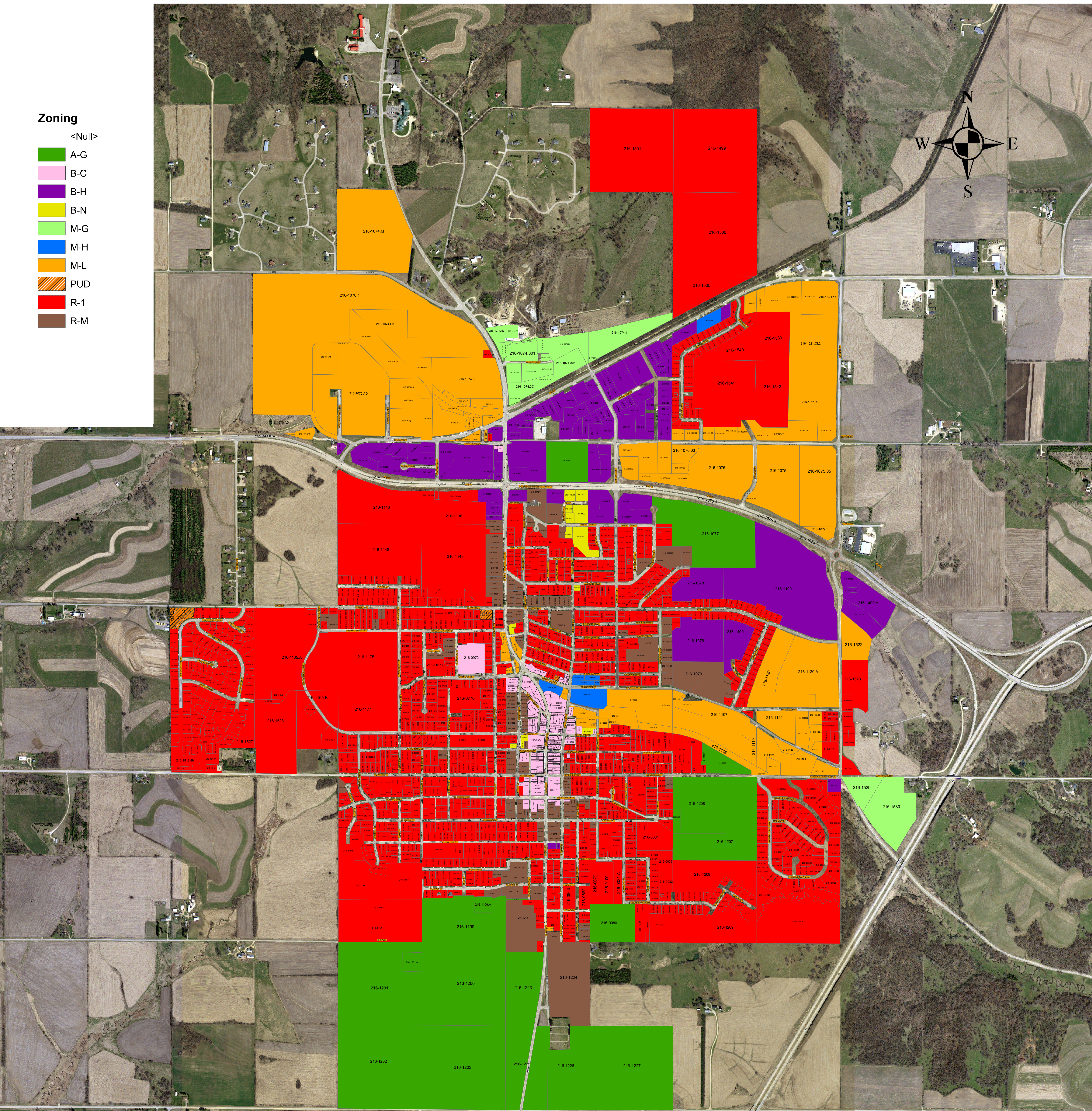
DISCLAIMER: No guarantee in the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SCALE: 1" = 400'



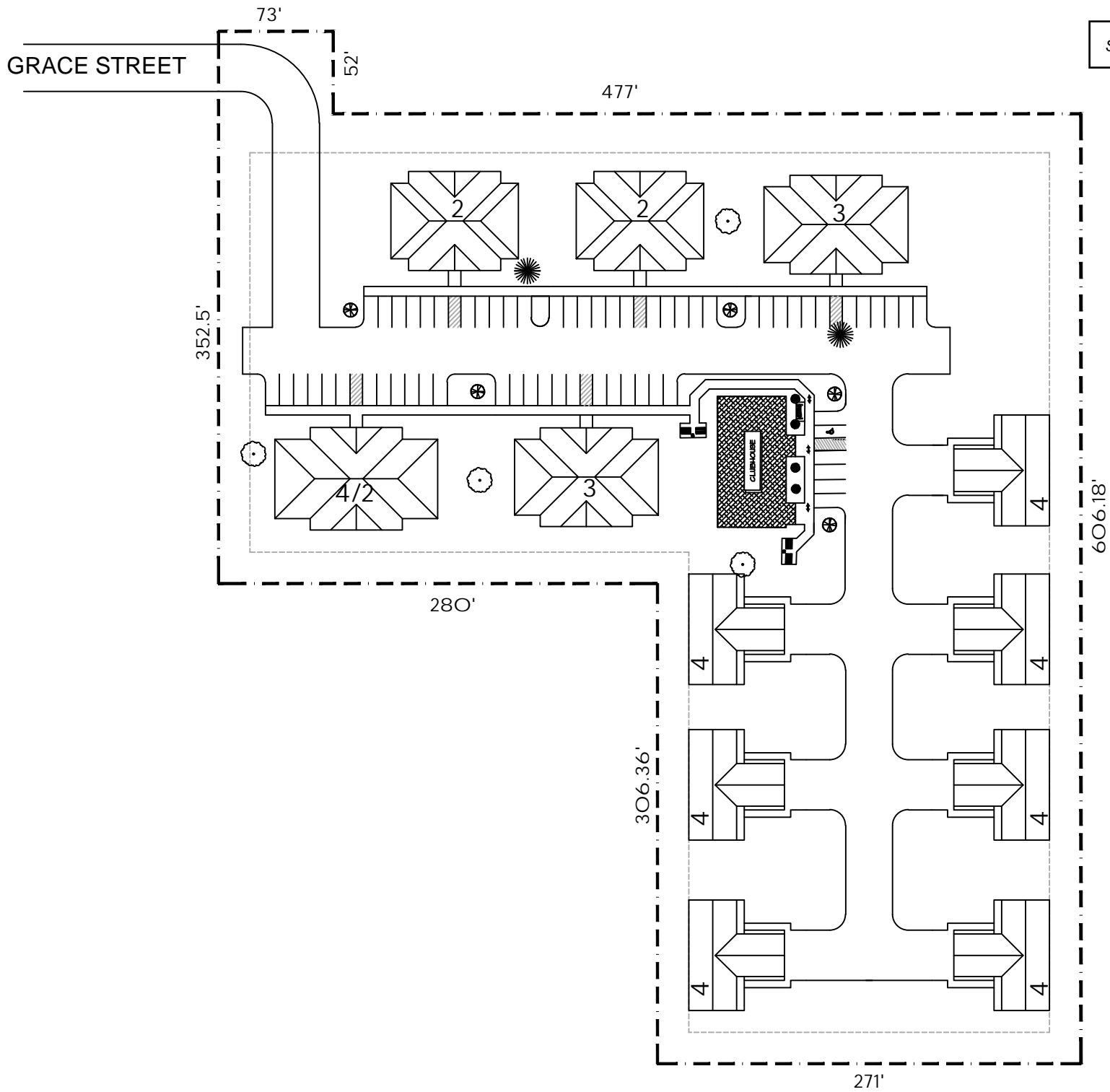
# 2018 Dodgeville Zoning Map

- Zoning**
- <Null>
  - A-G
  - B-C
  - B-H
  - B-N
  - M-G
  - M-H
  - M-L
  - PUD
  - R-1
  - R-M

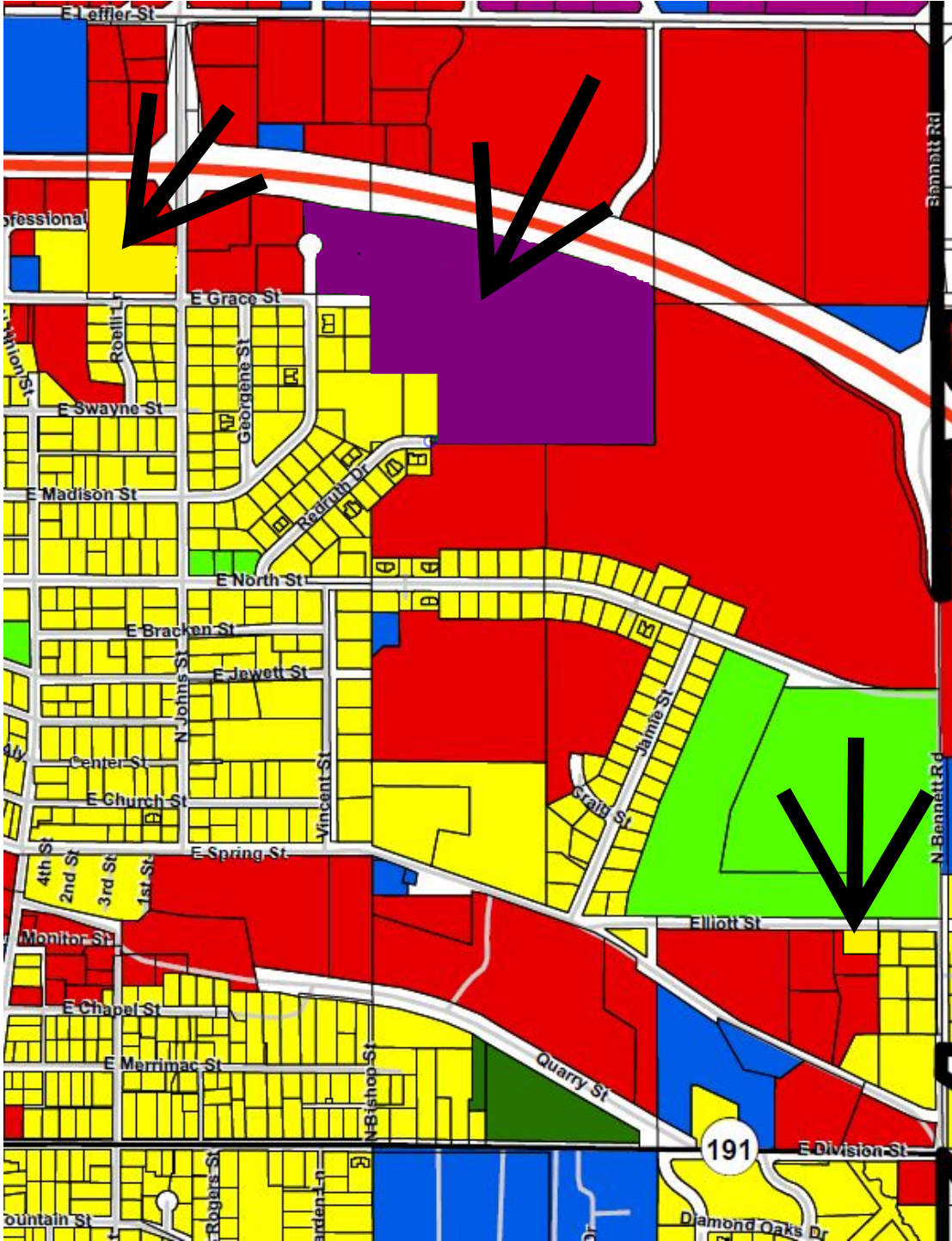


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Future Land Use Map with 3 proposed changes indicated by arrows. 2 going from Commercial/Industrial to Residential and the 3rd going from Agricultural to Mixed Use



Future Land Uses	
Residential	Dodgeville Boundary
Commercial/Industrial	Parcels
Institutional/Public	US Highways
Recreation	State Roads
Agricultural	Local Roads
Mixed Use	County Roads

## MINUTES

1. *Call to order and Roll Call*

The meeting was called to order by Todd Novak at 5:10 pm.

Members Present: Todd Novak, Tom DeVoss, Dan Meuer, Mike Tiber

Members not present: Mike Humke (excused), Bob Kratochwill, Matt Staver, Aaron Boehnen

Others Present: Greg Lee – City of Dodgeville Public Works Director, Ted Matkom – Representative from Gorman & Company

2. *Approval of Minutes from October 23, 2023*

Motion by: Meuer, Second by: DeVoss

Motion Carried.

3. Public hearing to review a re-zoning request submitted by Gorman & Company. Re-zoning request from Gorman & Company, future owner with contract to purchase and for site control, of the property related to this zoning change request. The property to be considered for re-zoning has frontage on US Highway 18, N. Johns St, and also Grace St. and has a current address of 1114 N. Johns St., with a parcel of # 216-1082. The property is approximately 3.44 acres in size. The future owner is requesting that the current zoning of B-H be changed to PUD to facilitate the construction of Multi-Family housing in various formats.

This property is formerly known as the Jackie Nielsen property next to Culvers that Gorman and Company has the option to purchase. WEDA has now made points more favorable for rural communities and has now realized that housing needs in rural communities are just as bad in the urban communities (Madison, Milwaukee, etc). Rents charged are based on 30% of income.

The L-Shaped parcel will be on John & Grace Streets with a proposed 16-unit and 24-unit two-story walkup, as well as 10 town homes. All first-floor walkups are ADA compliant. The offer is contingent on getting approval from City. If re-zone does not take effect in 6-months, the offer is null & void. The property is currently zoned as B-H and the request is to re-zone to PUD.

Applications for funds are due to WEDA in January 2024 and funding will be given by WEDA in May 2024. Once WEDA credits are granted, Gorman & Company must purchase the parcel of land by 12/31/2024. Design for this property would then begin after the land purchase. Once these buildings have been completed 1 bedroom units will be \$900 per month, 2 bedroom units will be \$1100 per month, and 3 bedroom units will be \$1250 per month.

4. Adjourn the public hearing.



Motion by Meuer, Second by DeVoss to adjourn the public hearing.  
Motion Carried.

5. Discussion and possible recommendation to the City Council on the re-zoning request of Gorman & Company to re-zone parcel #216-1082 to PUD

Novak made a motion to recommend that the rezoning “shall take effect only upon the amendment of the Future Land Use Map in the Comprehensive Plan and if the rezoning does not take effect within 6 months, the zoning amendment shall become null and void and the zoning for such lands shall remain unchanged.”

Motion by Novak, Second by DeVoss  
Motion Carried  
Roll Call Vote 4-0

6. Possible action on a resolution recommending Comprehensive Plan modification related to land use.

Motion to approve a resolution recommending Comprehensive Plan modification related to land use. Resolution number will be assigned at the 11/7/2023 council meeting and will update the Comprehensive Plan.

Motion by Meuer, Second by Tiber  
Motion Carried  
Roll Call Vote 4-0

7. Adjourn & Next Meeting Date  
Motion by Meuer, Second by Tiber  
Motion carried. Time 5:30pm

**CITY OF DODGEVILLE**  
**ZONING CHANGE APPLICATION**

Section VI. Item #11.

*Reference Chapter 17.12 & 17.34*

DATE: 10/03/2023

TO: PLAN COMMISSION

CITY OF DODGEVILLE

I would like to request a zoning change for my property located at:  
1114 N Johns Street

Present Zoning is: B-H General Highway Business

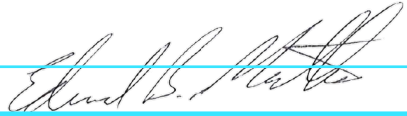
Requesting Zoning change to: PUD- Planned Unit Development

The property will be used for:  
Multifamily housing, featuring 24 one-bedroom and 16 two-bedroom units in 2 two-story walk-up buildings, and 10 three-bedroom townhouses.

Legal description of property:  
LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 460 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR IOWA COUNTY, WISCONSIN, ON MAY 20, 1994 IN VOLUME 2 OF CERTIFIED SURVEY MAPS, PAGES 316-317, AS DOCUMENT NO. 196886, IN THE CITY OF DODGEVILLE, IOWA COUNTY, WISCONSIN.

Names and addresses of adjacent and abutting owners:  
Nonn James Living Trust, 1122 N Johns St; Iowa County AG LLC, 215 E Grace St  
Schmit Family Trust, 1121 Professional Drive; Farmers Saving Bank, 1113 N Johns St  
Linda L McLaughlin, 1112 N Johns St; Scott & Laurie Montague, 1117 Roelli Lane  
Jean Marie Schwingle, 1116 Roelli Lane; FS Partners, 1121 N Johns St

**FEE: \$400**

Signature of Applicant: 

Address of Applicant: 200 N Main Street, Oregon, WI 53575

Signature of Property Owner: 

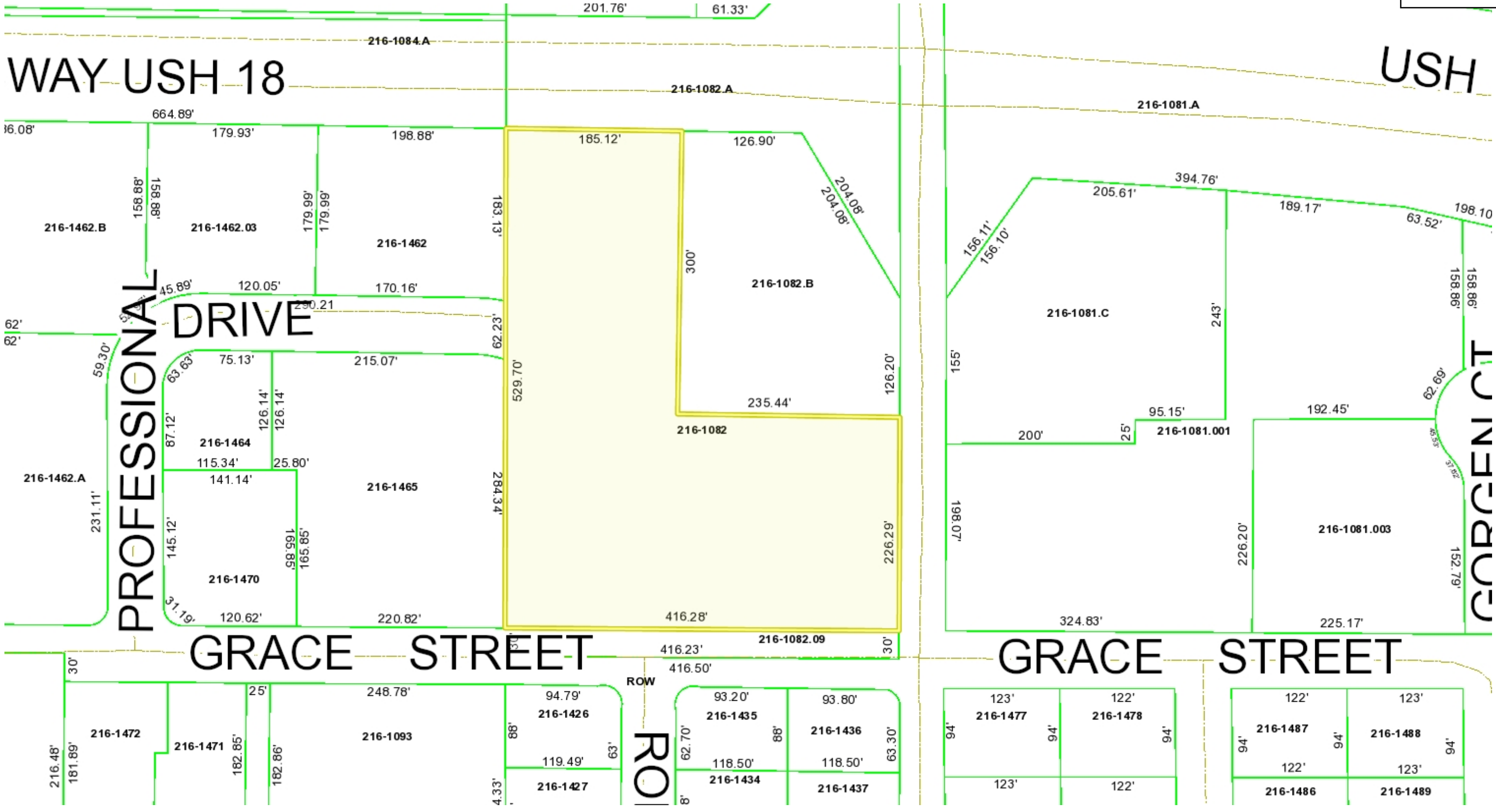
**The Applicant or his/her agent must appear at the hearing**

**General procedure:** 1. The Plan Commission will hold a public hearing per State Statute 62.23(7), and within 60 days, make a recommendation to the Common council to approve, deny or modify the request.

At a meeting subsequent to the Plan Commission hearing and recommendation, the Common Council shall vote on the passage of the proposed change or amendment.

If neighbors as defined in 17.30(6) protest the change or amendment, the vote by the council to approve the change must be by 3/4 of the Council members voting.

If the change or amendment is denied, no similar petition can be submitted for one year.



SW WI GIS

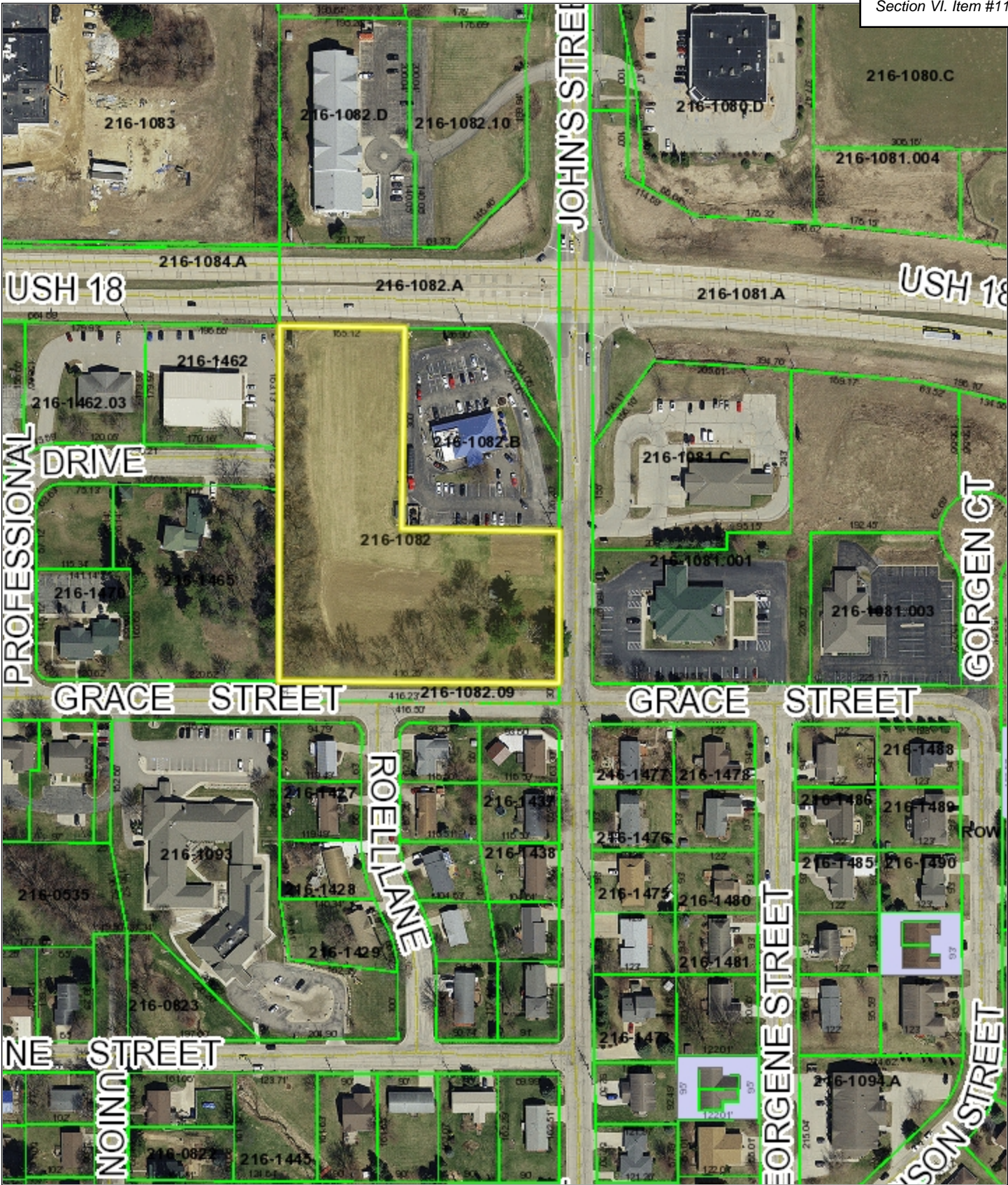


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SCALE: 1" = 100'

Print Date: 10/5/2023





SW WI GIS

DISCLAIMER: No guarantee in the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 200'

Print Date: 10/24/20



# Zoning

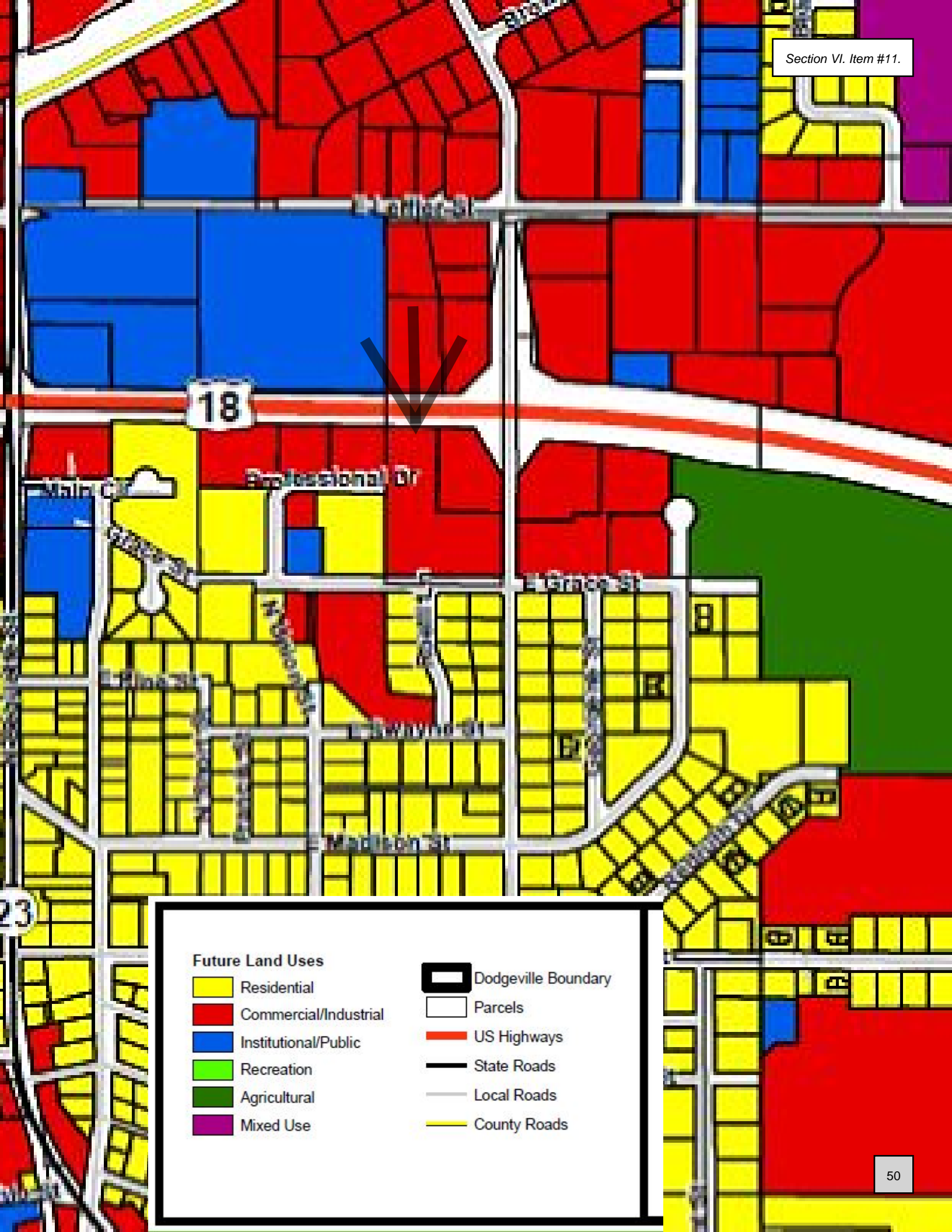
<Null>

- A-G
- B-C
- B-H
- B-N
- M-G
- M-H
- M-L
- PUD
- R-1
- R-M













Section VI. Item #11.







**Future Land Uses**

 Residential	 Dodgeville Boundary
 Commercial/Industrial	 Parcels
 Institutional/Public	 US Highways
 Recreation	 State Roads
 Agricultural	 Local Roads
 Mixed Use	 County Roads

## **Sec 17.18 B-H General Highway Business District**

The B-H District is established to provide for the establishment of principally motor vehicle-oriented or dependent commercial activities in nonresidential settings. Lot dimensional requirements are established to provide for the orderly grouping of commercial uses and for adequate off-street parking.

### *(a) Permitted Uses.*

- (1) Automotive sales, servicing and repairs.
- (2) Cleaning, dyeing and pressing establishments.
- (3) Construction/contractor shops.
- (4) Convenience stores.
- (5) Department stores and discount stores.
- (6) Banks.
- (7) Restaurants.
- (8) Feed and seed stores.
- (9) Locker plants.
- (10) Gasoline and service stations, providing all gas pumps are not less than 30 feet from any existing or proposed street line.
- (11) Laundromats.
- (12) Lumber and contractor's yards.
- (13) Motels.
- (14) Plumbing and heating shops.
- (15) Printing and related trades.
- (16) Publishing, including newspaper publishing, job printing, lithographing and blueprinting.
- (17) Recreational and entertainment establishments.
- (18) Shopping centers.
- (19) Supermarkets.

(20) Taxidermists.

(21) Tourist information and hospitality centers.

(22) Veterinary clinics.

(23) (Cr. Ord. #988) All permitted uses in the B-C Central Business District.

(b) *Conditional Uses.*

(1) Farm machinery and equipment sales, repair and storage.

(2) Painting businesses.

(3) Other uses similar in character to the permitted uses, giving due consideration to such items as noise, odor, pollution, traffic and parking, safety, hours and type of operation.

(4) (Cr. Ord. #1169) Churches and similar places of worship and instruction.

(5) See sec. 17.24(a) of this chapter.

(c) *Lot, Yard and Building Requirements.*

Lot frontage	Minimum 100 ft.
Lot area	Minimum 20,000 sq. ft.
Front yard	Minimum 50 ft.
Side yards	Minimum 20 ft.
Rear yard	Minimum 25 ft.
Building height	Maximum 35 ft.
Number of stories	Maximum 2 1/2

(d) *Off-Street Parking and Loading Requirements.* See sec. 17.26 of this chapter.

(Ord. No. 2021-1403, att., § 17.18, 9-21-2021)

HISTORY

Adopted by Ord. [2023-01](#) on 1/3/2023

## **Sec 17.22 PUD Planned Unit Development District**

- (a) *Statement of Purpose.* The Planned Unit Development District is established to provide a voluntary regulatory framework designed to encourage and promote coordinated area site planning and improved environmental and aesthetic design in the City by allowing for greater freedom, imagination, and flexibility in the development of land while ensuring substantial compliance with the basic intent of this chapter and the general plan for community development. To promote this purpose, the Planned Unit Development allows diversification and variation in the bulk and relationship of uses, structures and spaces in developments conceived as unified plans and projects. It is further intended to encourage more rational and economic development in regard to public services and encourage and facilitate preservation of open land.
- (b) *Permitted Uses.* No use shall be permitted in a Planned Unit Development District except those designated as permitted uses under the general development plan for the District. Any use permitted by right or as a conditional use in any of the other zoning districts under this chapter may be approved as a part of the general development plan, subject to the criteria for approval established under sub. (e) below. Such requirements as are made a part of the general development plan, along with the recorded plan itself, shall be construed to be and enforced as a part of this chapter.
- (c) *Development Requirements.* In a Planned Unit Development District, there shall be no predetermined specific lot area, lot width, height, floor area ratio, yard, usable open space, sign and off-street parking requirements, except as such requirements are made a part of the general development plan.
- (d) *Single Parcel, Lot or Tract.* Each PUD District shall be considered as one tract, lot or parcel, and the legal description shall define said PUD as a single parcel, lot or tract and be so recorded with the County Register of Deeds.
- (e) *Criteria for Approval.* The following criteria shall be considered in determining whether the general development plan is consistent with the spirit and intent of this chapter and has the potential for significant community benefits in terms of environmental and aesthetic design:

- (1) *Character and Intensity of Land Use.* In a Planned Unit Development District, the uses and their intensity, appearance and arrangement shall be of a visual and operational character which:
  - a. Are compatible with the physical nature of the site or area.
  - b. Will produce an attractive environment of sustained aesthetic desirability, economic stability and functional practicality compatible with the general development plan.
  - c. Will not adversely affect the anticipated provision for school or other municipal services.
  - d. Will not create a traffic or parking demand incompatible with the existing or proposed facilities to serve the development.

(2) *Economic Impact.* A Planned Unit Development District shall not adversely affect the economic prosperity of the City or of surrounding properties.

(3) *Preservation and Maintenance of Open Space.* In a Planned Unit Development District, adequate provisions for the improvement and continuing preservation and maintenance of attractive open space shall be made.

(4) *Implementation Schedule.* The proponents of a Planned Unit Development District shall submit a reasonable schedule for the implementation of the development to the satisfaction of the Council, including suitable provisions for assurance that each phase could be brought to completion in a manner which will not result in an adverse effect upon the community as a result of termination at that point.

(f) *Procedure.* The procedure for rezoning to a Planned Unit Development District shall be the same procedure as required pursuant to sec. 17.34 of this chapter for any zoning district change, except that, in addition thereto, the rezoning may only be considered with the consent of the owner of the land within the proposed PUD District and in conjunction with a development plan, as described below.

(1) *Pre-Application Conference.*

- a. Before submitting an application for a Planned Unit Development rezoning, an applicant shall confer with the



Plan Commission, the City staff and other City heads.

- b. The purpose of the pre-application conference is to familiarize both the applicant and the Plan Commission with details of and requirements regarding the PUD before the applicant enters into binding commitments or incurs substantial expense.
- c. At the pre-application conference, the Plan Commission shall familiarize the applicant with the PUD process and explain to the applicant issues that should be considered in planning the project. The applicant shall inform the Plan Commission of the applicant's development concept through general outlines and sketch plans. Any statement made by either the Plan Commission or the applicant concerning potential disposition of a PUD application or the final form of the development shall not be legally binding.

(2) *Development Plan.* The development plan shall include:

- a. A statement describing the general character of the intended development.
- b. An accurate map of the project area, including its relationship to surrounding properties and existing topography and key features.
- c. A plan of the proposed project showing sufficient detail to make possible evaluation of the criteria for approval as set forth in sub. (e) above.
- d. When requested, a general outline of intended organizational structure related to property owner's association, deed restrictions and private provision of common services.
- e. Permitted uses within specific designated areas of the district.

(3) An implementation plan which shall include:

- a. The pattern of public and private roads, driveways, walkways and parking facilities
- b. Detailed lot layout and division plat where required.

- c. The arrangement of building groups, other than dwellings, and their architectural character.
- d. Sanitary sewer and water mains.
- e. Grading plan and storm drainage system.
- f. The location and treatment of open spaces and recreation or other amenities.
- g. The location and description of any areas to be dedicated to the public.
- h. Landscape plan and plant list.
- i. Proof of financing capability.
- j. Analysis of economic impact upon the community.
- k. A construction schedule indicating the approximate dates when construction of the project can be expected to begin and be completed.
- l. Agreements, bylaws, provisions or covenants which govern the organizational structure, use, maintenance and continued protection of the development and any of its common services, common open areas or other facilities.

*(4) Approval.*

- a. In reviewing original and final development plans and application, the Plan Commission may seek technical assistance from such sources as it deems necessary at the expense of the applicant and subject to the applicant's approval. Following a review of the development plan, the Plan Commission shall recommend to the Council that it be approved as submitted, approved with modifications or disapproved.
- b. Upon receipt of the Plan Commission recommendation, the Council may approve the development plan and the rezoning to a Planned Unit Development District and authorize the development to proceed accordingly, or disapprove the plan and send it back with specific objections to the Plan Commission for further negotiation with the developer.

- c. In the event of approval, the approved development together with such agreements with regard to project value, character and other factors to ensure that the proposed development will be constructed as presented in the approved development plan and within the time frame set forth therein, shall be recorded by the Council in the Iowa County Register of Deeds office. This shall be accomplished prior to the issuance of any building permit.
- d. Any subsequent change or addition to the approved development plan or to any use permitted thereunder shall first be submitted for approval to the Plan Commission. Minor changes in the location, sitting and height of buildings and structures may be authorized by the Council without additional public hearings if required by engineering or other circumstances not foreseen at the time the approved development plan was engineered. If, however, in the opinion of the Commission, the change or addition constitutes a substantial alteration of the development plan, compliance with the procedure for an amendment to this chapter shall be required before such change or addition shall be permitted. The following shall be considered substantial alterations to the development plan:
  - 1. A change in the use or character of the development.
  - 2. An increase in overall coverage of structures.
  - 3. An increase in the intensity of use.
  - 4. An increase in the problems of traffic circulation and public utilities.
  - 5. A reduction in approved open space.
  - 6. A reduction of off-street parking and loading space.
  - 7. A reduction in required pavement widths.

(g) *Enforcement.*

- (1) The developer shall begin construction of the PUD within 12 months of the date of the recording of the approved development

plan. The Council may grant, in writing, an extension period of up to 12 months upon demonstration of good cause by the developer. If the developer fails to commence construction of the PUD within the specified time, the City shall proceed with actions as specified in par. (g)(3) below.

- (2) If the PUD is to be developed in stages, the developer shall begin the construction of each stage within the time limits specified in the final development plan. Construction in each phase shall include all the elements of that phase specified in the final development plan.
- (3) The Plan Commission or Building Inspector shall periodically monitor the construction of the PUD with respect to start of construction and development phasing. If the Plan Commission or its designee finds that either the developer has failed to begin development within the specified time period or that the developer is not proceeding in accordance with the approved development phasing with respect to either timing or construction of an approved mix of project elements, the Plan Commission shall give written notice to the developer to appear before the Plan Commission within 30 days to report on the status of the PUD. Upon review of the PUD, the Plan Commission may recommend to the Council an extension of the time for start of construction or the length of time needed to complete a phase, recommend that the developer amend the approved development plan subject to the procedures specified in sub. (f)(3)d. above or recommend termination of the project and repeal of the zoning change. When the Plan Commission deems it necessary to terminate the project and repeal the zoning change, it shall recommend to the Council that the Planned Unit Development District created for such project be nullified and the original zoning classification returned to the land therein.

The repeal of the zoning change shall be subject to the procedures specified in sec. 17.34 of this chapter. At the time of such zoning change, existing completed or partially completed structures and uses thereon that do not conform to the regulations for the district in which located shall be deemed nonconforming as defined by this chapter.

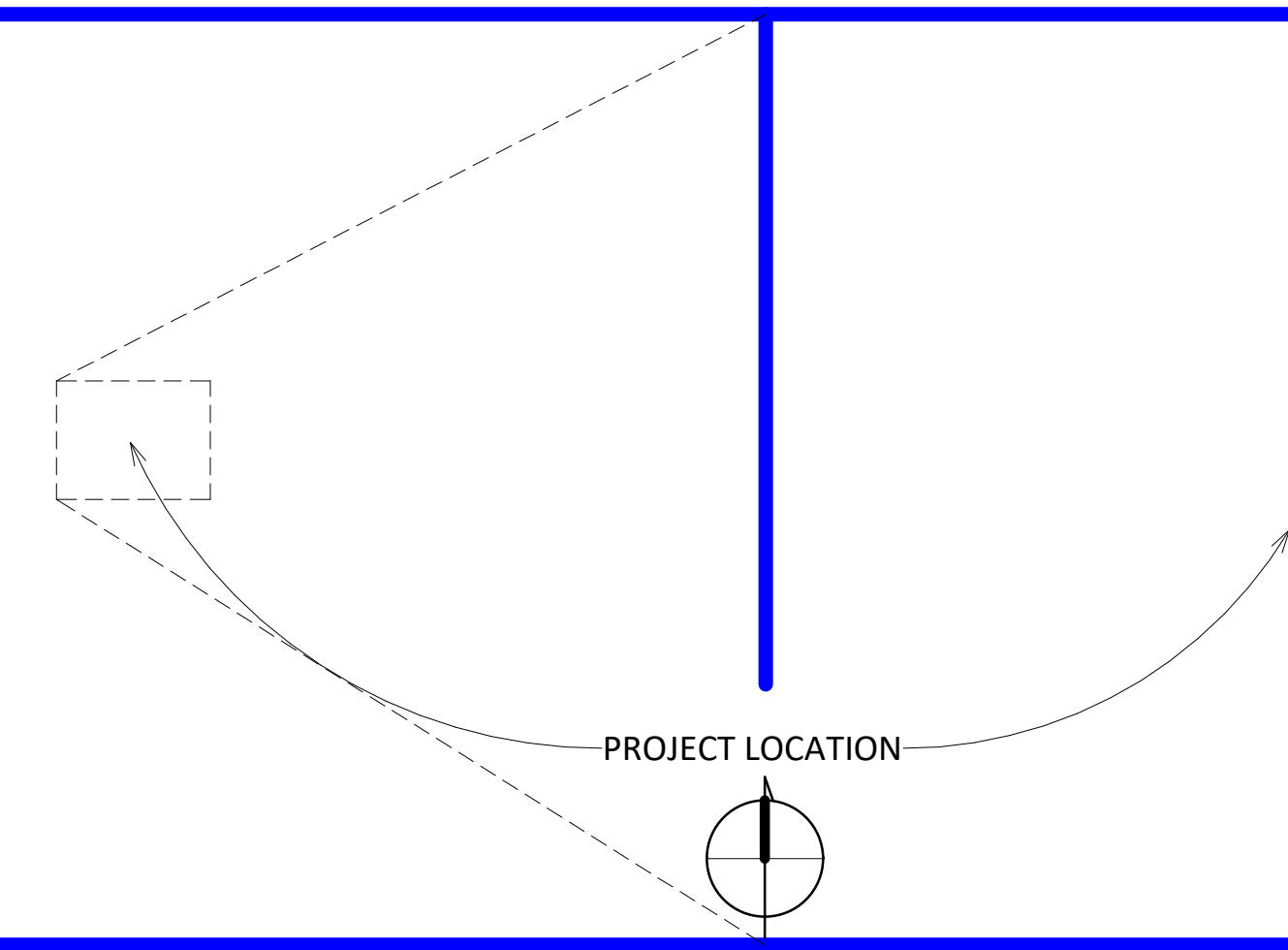
# JOHNS STREET MULTIFAMILY

## APARTMENT HOMES 1114 NORTH JOHNS STREET DODGEVILLE, WI 53533

### PROJECT IMAGE

### PROJECT LOCATION

### PLAN INDEX



SHEET #	SHEET NAME	ISSUE DATE	CURRENT REVISION
G - GENERAL			
G101	COVER SHEET	2023.09.26	
AS - ARCHITECTURAL SITE			
AS101	ARCHITECTURAL SITE PLAN	2023.09.26	
C - CIVIL			
C100	SITE PLAN	2023.09.26	
A - ARCHITECTURAL			
AA111	1st/GROUND FLOOR ENLARGED SCALE UNIT PLANS - WALKUP BLDGS	2023.09.26	
AA201	EXTERIOR ELEVATIONS - WALKUP BLDGS	2023.09.26	
AB111	ENLARGED SCALE UNIT PLANS - TOWNHOMES	2023.09.26	
AB201	EXTERIOR ELEVATIONS - TOWNHOMES	2023.09.26	
AC201	EXTERIOR ELEVATIONS - COMMUNITY BUILDING	2023.09.26	

SHEET #	SHEET NAME	ISSUE DATE	CURRENT REVISION

### PROJECT DESCRIPTION

### PROJECT DIRECTORY

<b>TBD</b> 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-3900	<b>OWNER</b>	<b>WYSER ENGINEERING, LLC</b> ADAM WATKINS, PE 300 EAST FRONT STREET MOUNT HOREB, WI 53572 VOICE (608) 437-1980	<b>SURVEYING</b>
<b>GORMAN ARCHITECTURAL, LLC</b> DANIEL KORNAUS, AIA NCARB 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-5223	<b>SUPERVISING ARCHITECT</b>	<b>WYSER ENGINEERING, LLC</b> ADAM WATKINS, PE 300 EAST FRONT STREET MOUNT HOREB, WI 53572 VOICE (608) 437-1980	<b>CIVIL</b>
<b>GORMAN ARCHITECTURAL, LLC</b> TBD 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-5534	<b>DESIGN ARCHITECT</b>	<b>STRUCTURAL ENGINEER</b> XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000 VOICE (000) 000-0000 FAX (000) 000-0000	<b>STRUCTURAL</b>
<b>GORMAN GENERAL CONTRACTORS, LLC</b> TBD 200 NORTH MAIN STREET OREGON, WI 53575 VOICE (608) 835-5573 FAX (608) 835-5578	<b>CONTRACTOR</b>	<b>FIRE PROTECTION ENGINEER</b> XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000 VOICE (000) 000-0000 FAX (000) 000-0000	<b>FIRE PROTECTION</b>
XXXXXXXX XXXXXXXXXXXXXXXXXXXXXXXX CORP.	<b>LENDER</b>	<b>PLUMBING ENGINEER</b> XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000 VOICE (000) 000-0000 FAX (000) 000-0000	<b>PLUMBING</b>
XXXXXXXX - XXXXXXXX INSURANCE XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000	<b>BONDING</b>	<b>MECHANICAL ENGINEER</b> XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000 VOICE (000) 000-0000 FAX (000) 000-0000	<b>MECHANICAL</b>
		<b>ELECTRICAL ENGINEER</b> XXXXX WEST XXXXXXXXXXX, XXXXX 000 CITY, STATE 00000 VOICE (000) 000-0000 FAX (000) 000-0000	<b>ELECTRICAL</b>

### DEFERRED SUBMITTALS

### SET ISSUE

### LOCAL UTILITIES

- APPROVED FOR:**
- PERMIT APPLICATION
- BIDDING
- CONSTRUCTION

**ELECTRIC/GAS:**  
ALLIANT ENERGY  
CORPORATE: (800) 255-4268

**SEWER/WATER:**  
DODGEVILLE UTILITIES  
100 EAST FOUNTAIN STREET  
DODGEVILLE, WI 53533  
(608) 930-3520

**TELEPHONE/CATV:**  
SPECTRUM

TDS

**JOHNS STREET MULTIFAMILY**

1114 NORTH JOHNS STREET  
DODGEVILLE, WI 53533

Issue Dates:

DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:34 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver
<b>SCHEMATIC DESIGN</b>	
Sheet Title	COVER SHEET



NOT FOR  
 CONSTRUCTION

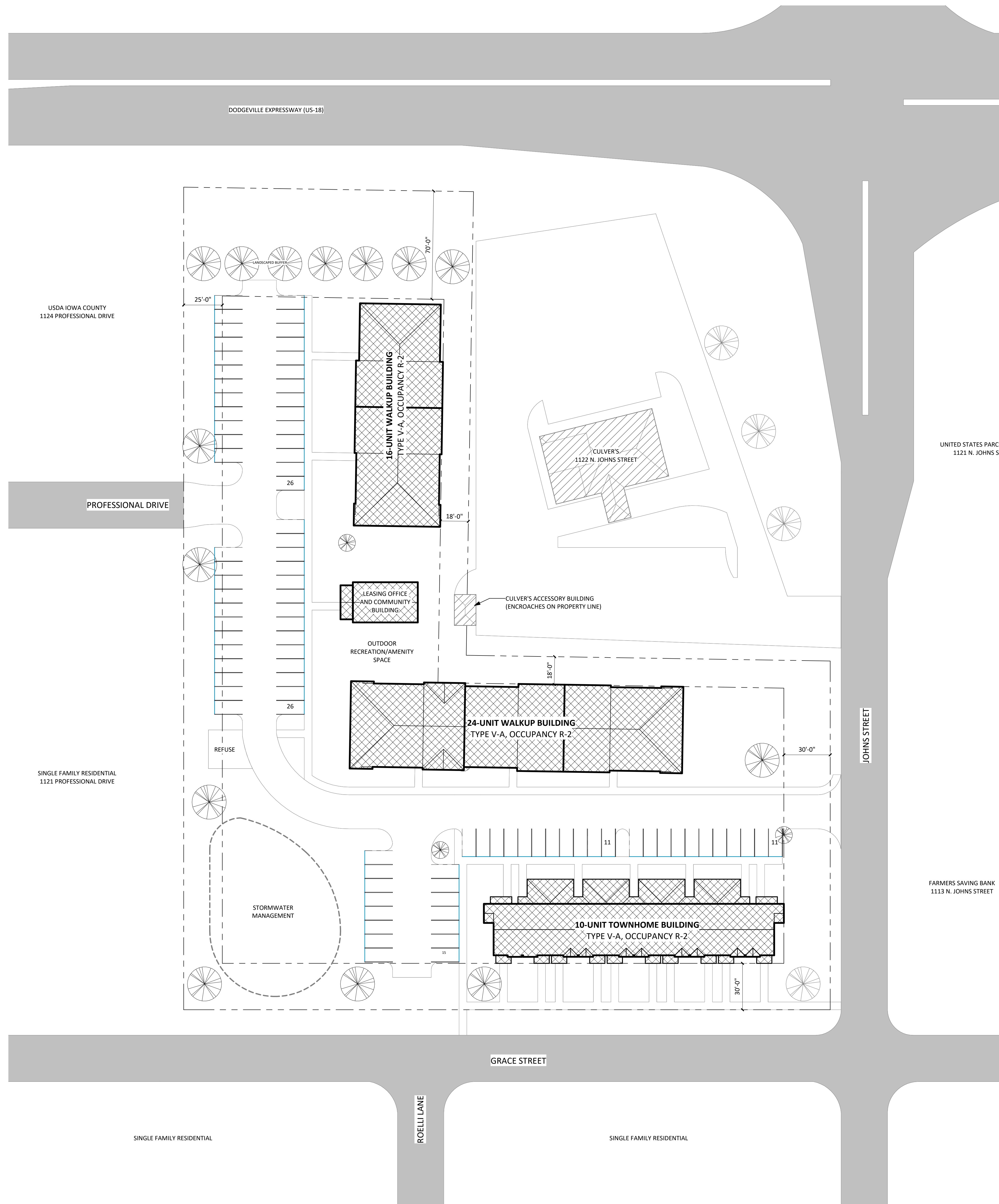
**JOHNS STREET MULTIFAMILY**

**1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533**

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:34 PM
Drawn by:	DMK
Checked by:	
Approved by:	
<b>SCHEMATIC DESIGN</b>	
Sheet Title	ARCHITECTURAL SITE PLAN

Sheet No.  
**AS101**



**1 ARCHITECTURAL OVERALL SITE PLAN**  
 SCALE: 1" = 30'-0"

**SITE INFORMATION:**

APPX. 3.44 ACRES (APPX. 14.5 DWELLING UNITS PER ACRE)

CURRENT ZONING: B-H GENERAL HIGHWAY BUSINESS DISTRICT

NOTE: B-H GENERAL HIGHWAY BUSINESS DISTRICT DOES NOT PERMIT MULTIFAMILY RESIDENTIAL; WOULD REQUIRE REZONE OR PUD.

**BULK REQUIREMENTS:**

**SETBACKS:**

FRONT: 30' MIN.  
 SIDE: 18' UP TO 2 STORIES, 21' UP TO 3 STORIES  
 REAR: 25'

FRONTAGE BUILDOUT: 50%  
 PRIMARY FRONTAGE: 80' MINIMUM  
 BUILDING HEIGHT: 45', 3 STORIES MAX.  
 DENSITY: 1 DWELLING UNIT/4,000 SF LOT (150,864 SF / 4,000 = 37 UNITS; 50 SHOWN)  
 PARKING: 1.5/UNIT (50 UNITS SHOWN, 75 SPACES REQUIRED; 89 SPACES SHOWN)

**PROJECT NARRATIVE:**

JOHNS STREET MULTIFAMILY WILL COMPRISE 50 DWELLING UNITS IN THREE BUILDINGS, FEATURING 24 1-BEDROOM AND 16 2-BEDROOM UNITS IN TWO 2-STORY WALKUP BUILDINGS, AND 10 3-BEDROOM TOWNHOMES IN THREE "TOWNHOME" BUILDINGS. THESE DWELLING UNITS WILL BE PROVIDED WITH 89 PARKING SPACES.

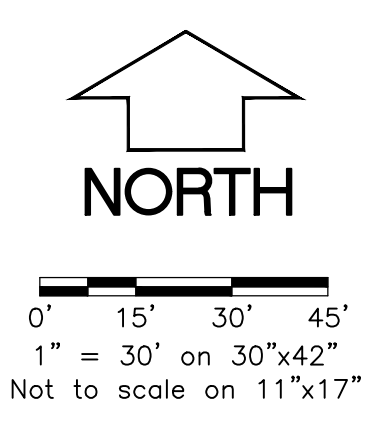
**SITE:** APPX. 3.44 ACRES

**UNIT COUNT: 50 UNITS**

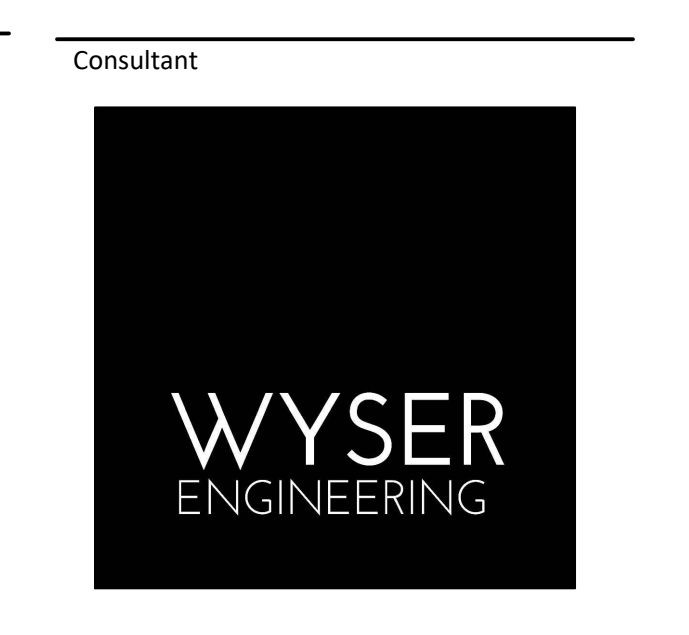
1BR, 1BA: 25 UNITS (50%)  
 2BR, 1BA: 15 UNITS (30%)  
 3BR, 2BA: 10 UNITS (20%)

SCHEMATIC DESIGN

C:\Users\akozman\Documents\JOHNS STREET SITE\_2023\_akozman@gormanarch.com.dwg



**CORPORATE OFFICE**  
 200 N. MAIN STREET  
 OREGON, WI 53575  
 Parcel Address:  
 1114 N JOHNS STREET  
 DODGEVILLE, WI 53533



**JOHNS STREET MULTIFAMILY**

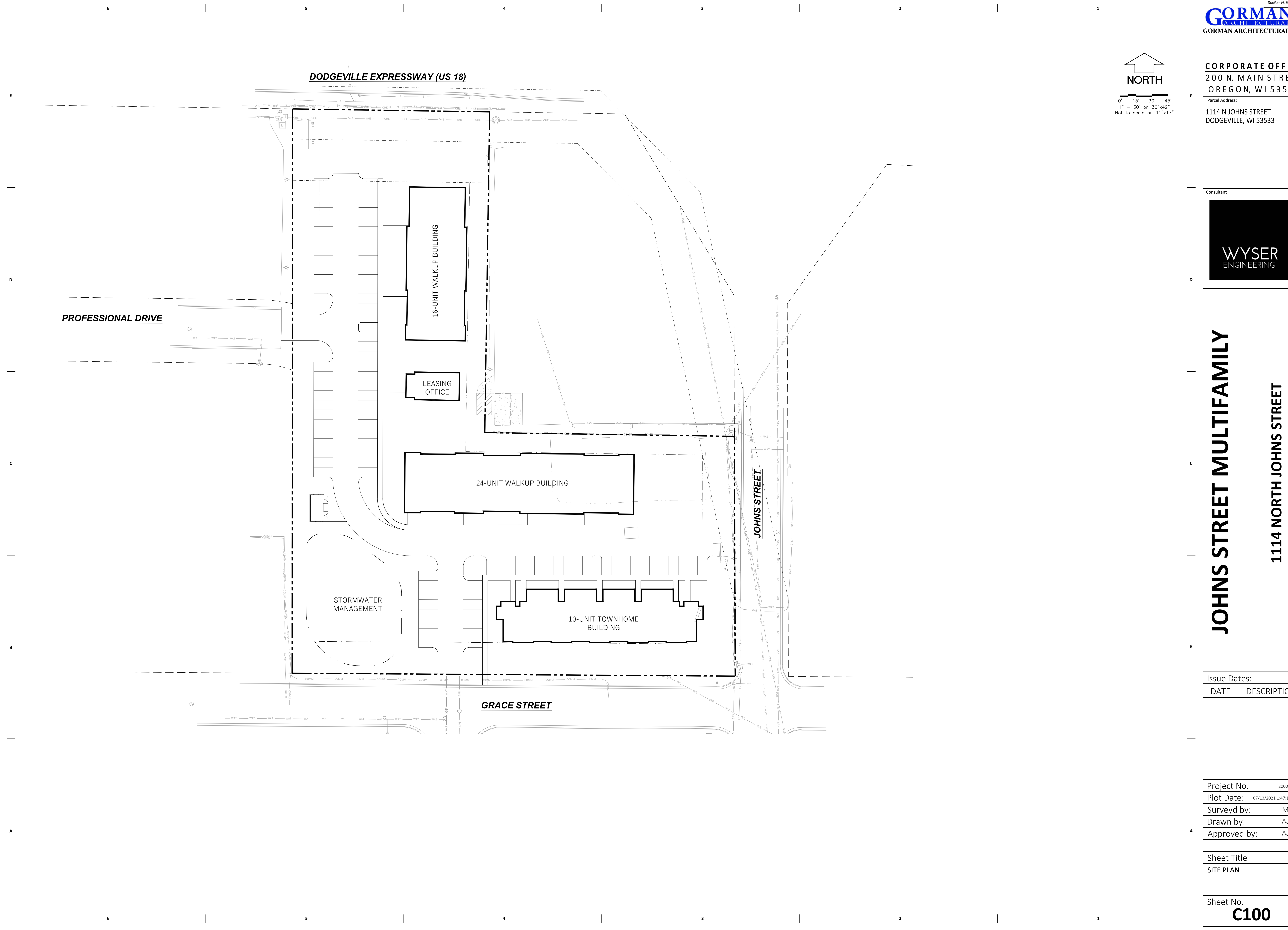
**1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533**

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	07/13/2021 1:47:17 PM
Surveyed by:	MAL
Drawn by:	AJW
Approved by:	AJW

Sheet Title  
 SITE PLAN

Sheet No.  
**C100**



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 CONSTRUCTION

**JOHNS STREET MULTIFAMILY**

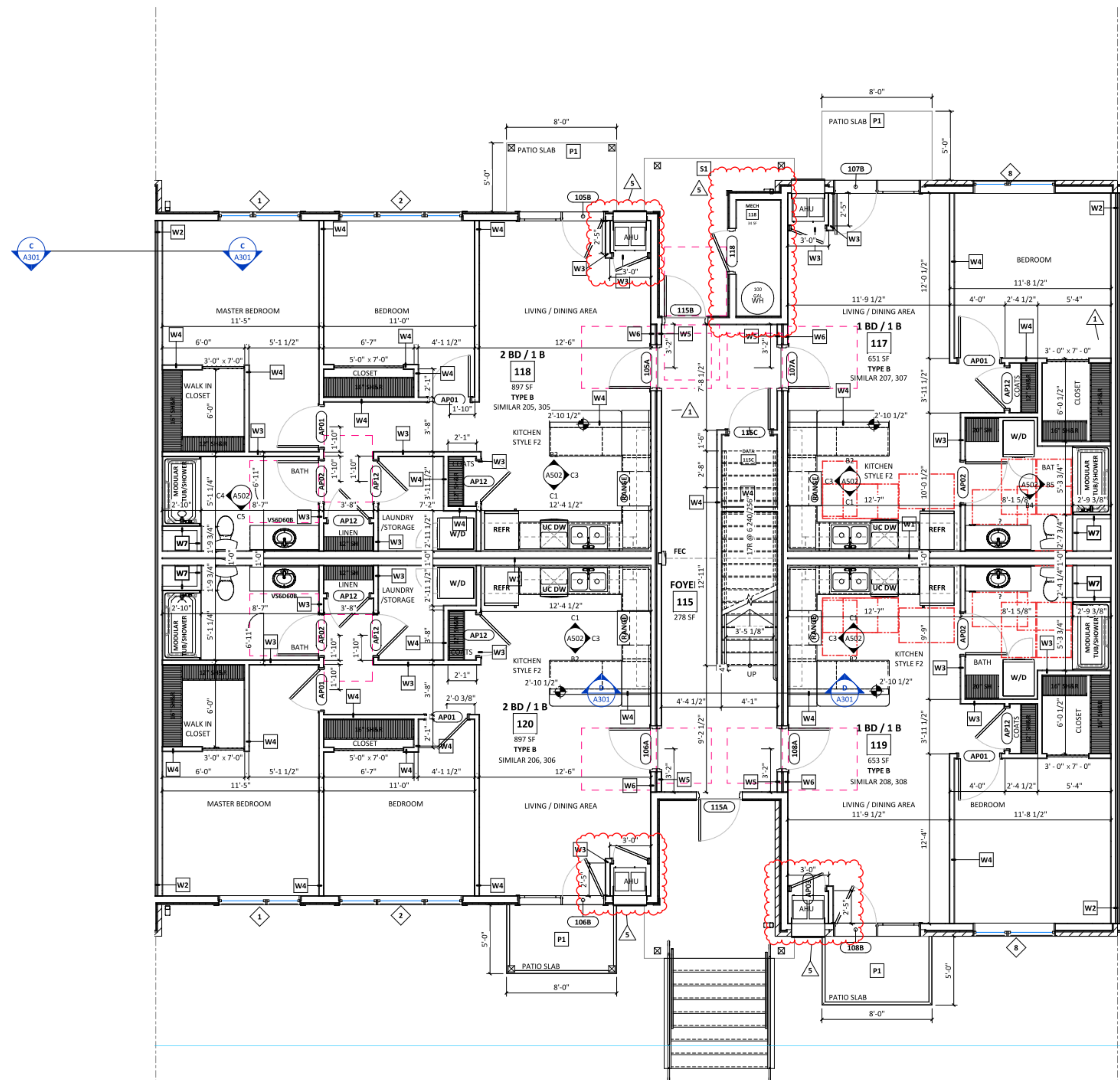
**1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533**

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:32 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver
<b>SCHEMATIC DESIGN</b>	

Sheet Title  
 1st/GROUND FLOOR  
 ENLARGED SCALE UNIT  
 PLANS - WALKUP BLDGS  
 Sheet No.

**AA111**



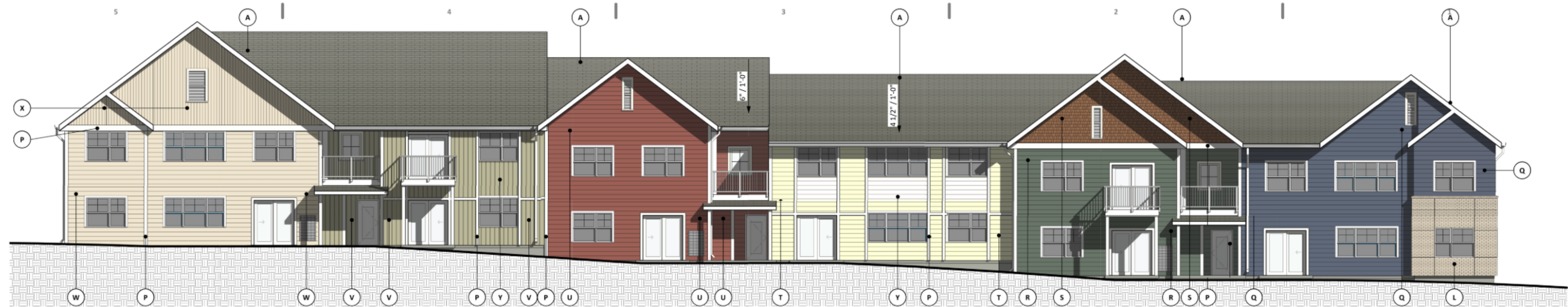
**A3 UNITS 105-108 ENLARGED SCALE FLOOR PLANS**  
 SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN

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NOT FOR  
 CONSTRUCTION

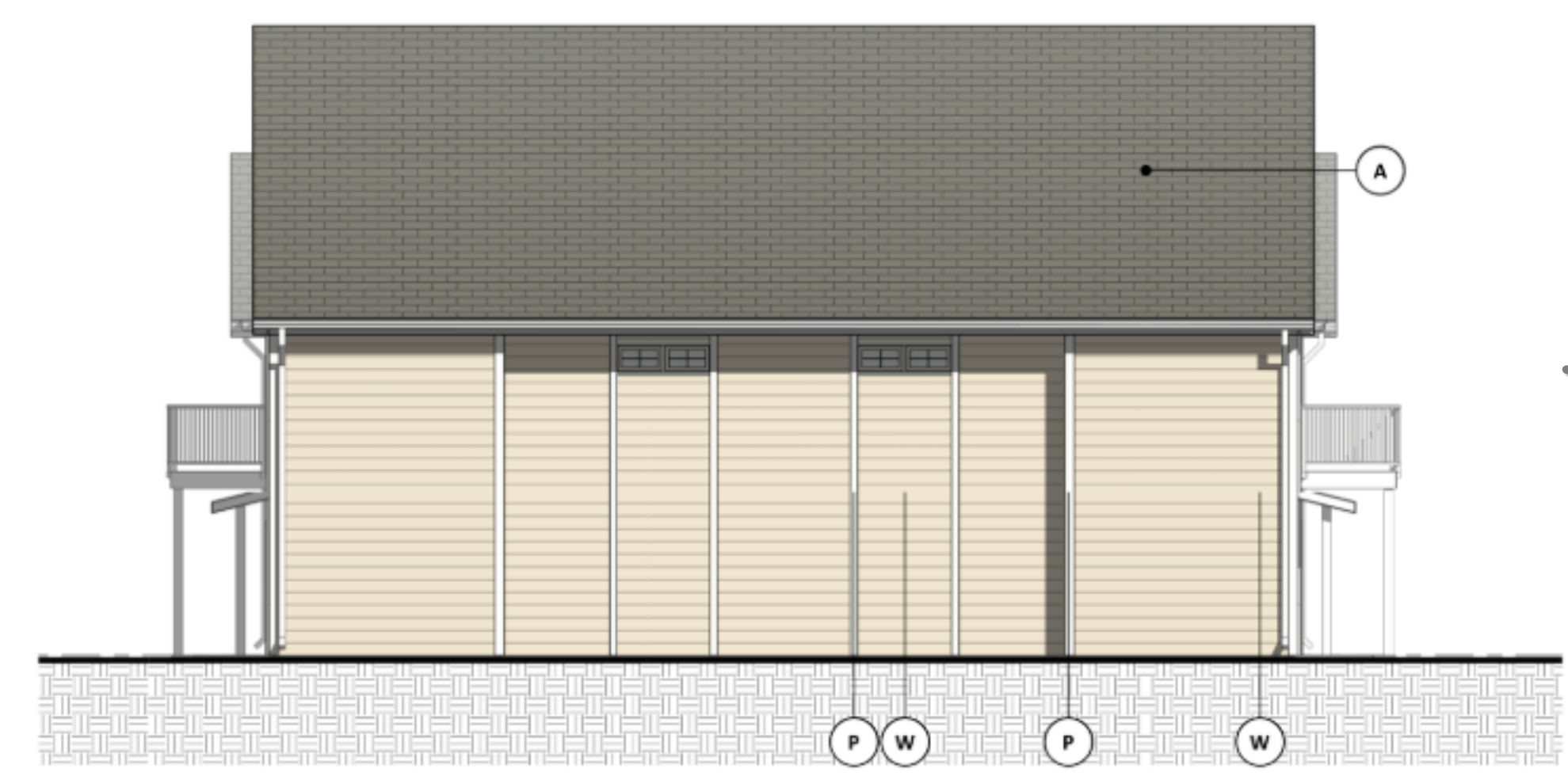


**C3 PROPERTY LINE ELEVATION (WEST)**  
 SCALE: 1/8" = 1'-0"

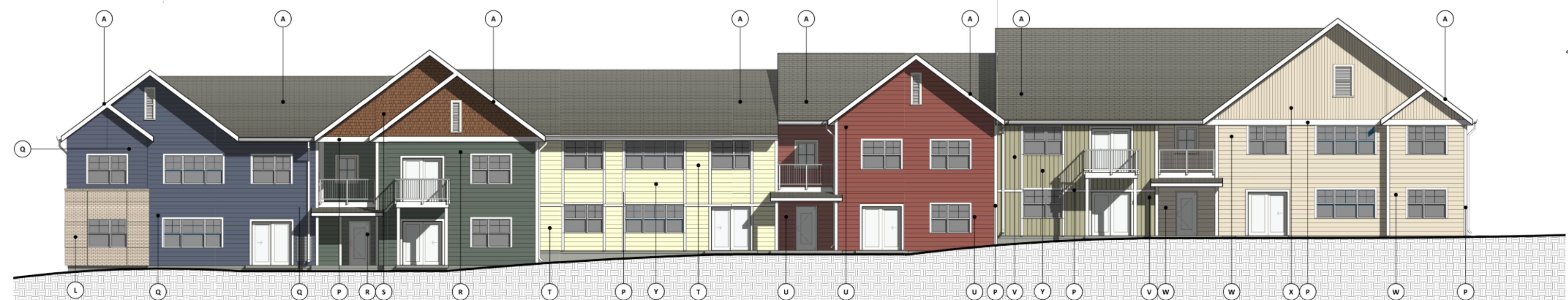


**B5 STREET ELEVATION (SOUTH)**  
 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIALS	
MARK	DESCRIPTION
A	DIMENSIONAL ARCHITECTURAL ASPHALT SHINGLES - CERTAINTEEED 'GEORGETOWN GRAY'
B	LP 'SMART' HORIZONTAL SIDING - 8" REVEAL - COLOR MATCH CERTAINTEEED 'MIDNIGHT BLUE'
L	MASONRY VENEER - CREAM COLOR - SIZE AND JOINTS BY ARCHITECT
P	WHITE TRIM - COLOR MATCH CERTAINTEEED 'COLONIAL WHITE'
Q	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'MIDNIGHT BLUE'
R	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'FOREST'
S	CERTAINTEEED CEDAR TEXTURE VINYL SHAKES - COLOR 'SABLE BROWN'
T	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'AUTUMN YELLOW'
U	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'AUTUMN RED'
V	CERTAINTEEED VERTICAL BOARD & BATTEN VINYL SIDING - COLOR 'CYPRESS'
W	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'DESERT TAN'
X	CERTAINTEEED VERTICAL VINYL SIDING - COLOR 'DESERT TAN'
Y	CERTAINTEEED HORIZONTAL VINYL SIDING - 8" REVEAL - COLOR 'COLONIAL WHITE'



**B2 REAR ELEVATION (NORTH)**  
 SCALE: 1/8" = 1'-0"



**A3 PARKING LOT ELEVATION (EAST)**  
 SCALE: 1/8" = 1'-0"

**JOHNS STREET MULTIFAMILY**

1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:32 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver

**SCHEMATIC DESIGN**  
 Sheet Title  
 EXTERIOR ELEVATIONS -  
 WALKUP BLDGS

Sheet No.  
**AA201**

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 SCHEMATIC DESIGN



NOT FOR  
 CONSTRUCTION

**JOHNS STREET MULTIFAMILY**

1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:33 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver

**SCHEMATIC DESIGN**  
 Sheet Title  
 ENLARGED SCALE UNIT  
 PLANS - TOWNHOMES

Sheet No.  
**AB111**

**GENERAL NOTES - PROJECT SCOPE AT TYPE A AND TYPE W UNITS :**

**GENERAL:**

- UNIT INTERIOR DOORS SHALL BE 36" WIDE, TYPICALLY, AND SHALL BE NO LESS THAN 34" WIDE WHERE PASSAGE IS REQUIRED IN ACCORDANCE WITH ICC-ANSI A117.1.
- PROVIDE CEILING FAN/LIGHT COMBINATION FIXTURE AT LIVING ROOM. REFER TO ELECTRICAL.
- PROVIDE CEILING FAN/LIGHT COMBINATION FIXTURE AT BEDROOMS. REFER TO ELECTRICAL.
- PROVIDE SOLID SURFACE WINDOW STOOL WHERE HISTORIC STOOL IS NOT PRESENT.
- PROVIDE WIRE SHELF AND ROD AT COAT CLOSETS AND BEDROOM CLOSETS
- PROVIDE (S) WIRE SHELVES, VERTICAL STANDARDS, AND ADJUSTABLE BRACKETS AT PANTRY AND LINEN CLOSETS.
- PATCH AND REPAIR HISTORIC PLASTER SURFACES USING COMPATIBLE MATERIALS.

**BATHROOMS :**

- VANITY SHALL BE 42" WIDE, MINIMUM, WITH BOWL CENTERED OVER ROLL-UNDER SINK BASE. REFER TO PLUMBING. TYPE A AND W UNITS MUST HAVE A ROLL UNDER APPROACH.
- PROVIDE ADA COMPLIANT TOILET, TYPICAL ALL UNITS. REFER TO PLUMBING.
- GRAB BARS SHALL BE PROVIDED AT TYPE A AND W UNITS AT TOILET REAR WALL AND SIDE WALL IN ACCORDANCE WITH ICC-ANSI A117.1.
- BLOCKING FOR GRAB BARS SHALL BE INSTALLED AT THE REAR AND SIDE WALLS OF TYPE W TOILETS.
- BATHTUBS SHALL BE PROVIDED, UNLESS AS INDICATED ON THE FLOOR PLAN AS "ROLL-IN SHOWER". REFER TO PLUMBING.
- TUBS AND SHOWERS ARE TO HAVE OFFSET CONTROLS IN ACCORDANCE WITH WHEDA REQUIREMENTS. REFER TO PLUMBING.
- GRAB BARS SHALL BE PROVIDED AT TYPE A AND W SHOWERS IN ACCORDANCE WITH ICC-ANSI A117.1

**KITCHENS :**

- SINKS SHALL BE DOUBLE BASIN, STAINLESS STEEL, ADA COMPLIANT WITH ROLL-UNDER TOE AND KNEE CLEARANCES AT TYPE A AND TYPE W UNITS IN ACCORDANCE WITH ICC-ANSI A117.1. REFER TO PLUMBING.
- COUNTERTOPS SHALL BE SET AT 34" AFF FOR TYPE A AND TYPE W UNITS IN ACCORDANCE WITH ICC-ANSI A117.1.
- A ROLL-UNDER WORK SURFACE SHALL BE PROVIDED AT TYPE A UNITS IN ACCORDANCE WITH ICC-ANSI A117.1. SEE PLANS AND INTERIOR ELEVATIONS.
- PROVIDE 30" FRONT CONTROL ELECTRIC RANGES.
- PROVIDE RANGE HOOD WITH FIRE SUPPRESSION CANISTERS
- WALL AND FLOOR FINISHES TO CONTINUE BELOW AND BEHIND ROLL-UNDER CABINETS.

**GENERAL NOTES - PROJECT SCOPE AT TYPICAL UNITS :**

**HVAC, PLUMBING, ELECTRICAL:**

- HVAC HEATING WILL BE PROVIDED BY FURNACE WITHIN EACH UNIT
- COOLING WILL BE PROVIDED BY CONDENSING UNITS FOR EACH UNIT. CONDENSING UNITS TO BE MOUNTED TO THE ROOF AND TO BE AT GRADE
- EXPOSED DUCT WORK WITHIN UNIT SHALL BE ROUND OR OVAL DUCT, SUSPENDED FROM CEILING, HELD TIGHT TO UNDERSIDE OF CEILING, AND HELD 5" MINIMUM OFF THE INTERIOR SURFACE OF EXTERIOR WALLS. EXPOSED DUCT SHALL NOT OBSTRUCT WINDOWS OF DOORS AT EXTERIOR WALLS.
- HOT WATER TO BE PRODUCED BY A CENTRAL HOT WATER PLANT

**GENERAL:**

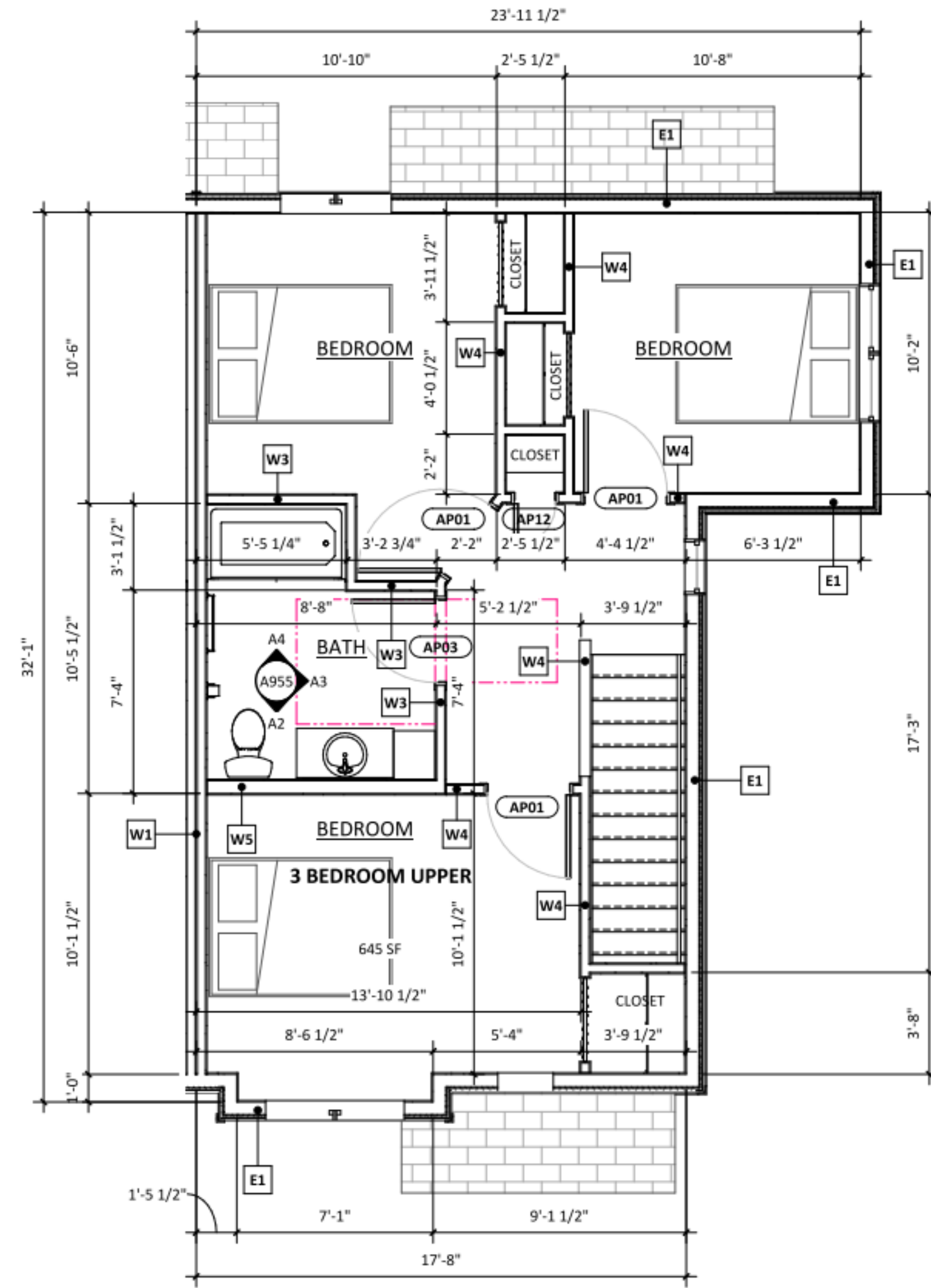
- IN-UNIT CLOTHES WASHER AND DRYER SHALL BE PROVIDED IN CLOSETS IN UNITS. STACKED W/D UNITS ARE ACCEPTABLE WHERE SPACE LIMITATION PREVENT SIDE-BY-SIDE CONFIGURATION
- 18 SF MINIMUM STORAGE CLOSET SHALL BE PROVIDED FOR EACH APARTMENT UNIT, IN ACCORDANCE WITH WHEDA REQUIREMENTS FOR RESIDENT STORAGE; SEE OVERALL PLANS FOR LOCATIONS. TOWNHOME STORAGE PROVIDED IN UNIT AS SHOWN ON PLANS
- STORAGE LOCKER IN EXCESS OF WHEDA REQUIREMENTS SHALL BE PROVIDED TO GENERATE ADDITIONAL RENTAL INCOME IN UNPROGRAMMED SPACES
- UNIT INTERIOR DOORS SHALL BE 36" WIDE, TYPICALLY, AND SHALL BE NO LESS THAN 34" WIDE WHERE PASSAGE IS REQUIRED IN ACCORDANCE WITH ICC-ANSI A117.1.
- PROVIDE WIRE SHELF AND ROD AT COAT CLOSETS AND BEDROOM CLOSETS
- PROVIDE (S) WIRE SHELVES, VERTICAL STANDARDS, AND ADJUSTABLE BRACKETS AT PANTRY AND LINEN CLOSETS.
- PATCH AND REPAIR HISTORIC PLASTER SURFACES USING COMPATIBLE MATERIALS.
- UNIT CEILINGS SHALL BE GWB SUSPENDED ON METAL FRAMING (SOMETIMES REFERRED TO AS A "CHICAGO GRID HARDUOID CEILING"). SUBJECT TO SHPO/NPS APPROVAL.
- MIRRORS SHALL BE FRAMELESS AND INSTALLED TIGHT TO SURFACE OF WALL USING CLIPS. BOTTOM OF REFLECTIVE SURFACE IS TO BE 40" A.F.F. ADHESIVE IS NOT ACCEPTABLE MEANS OF INSTALLATION.

**BATHROOMS :**

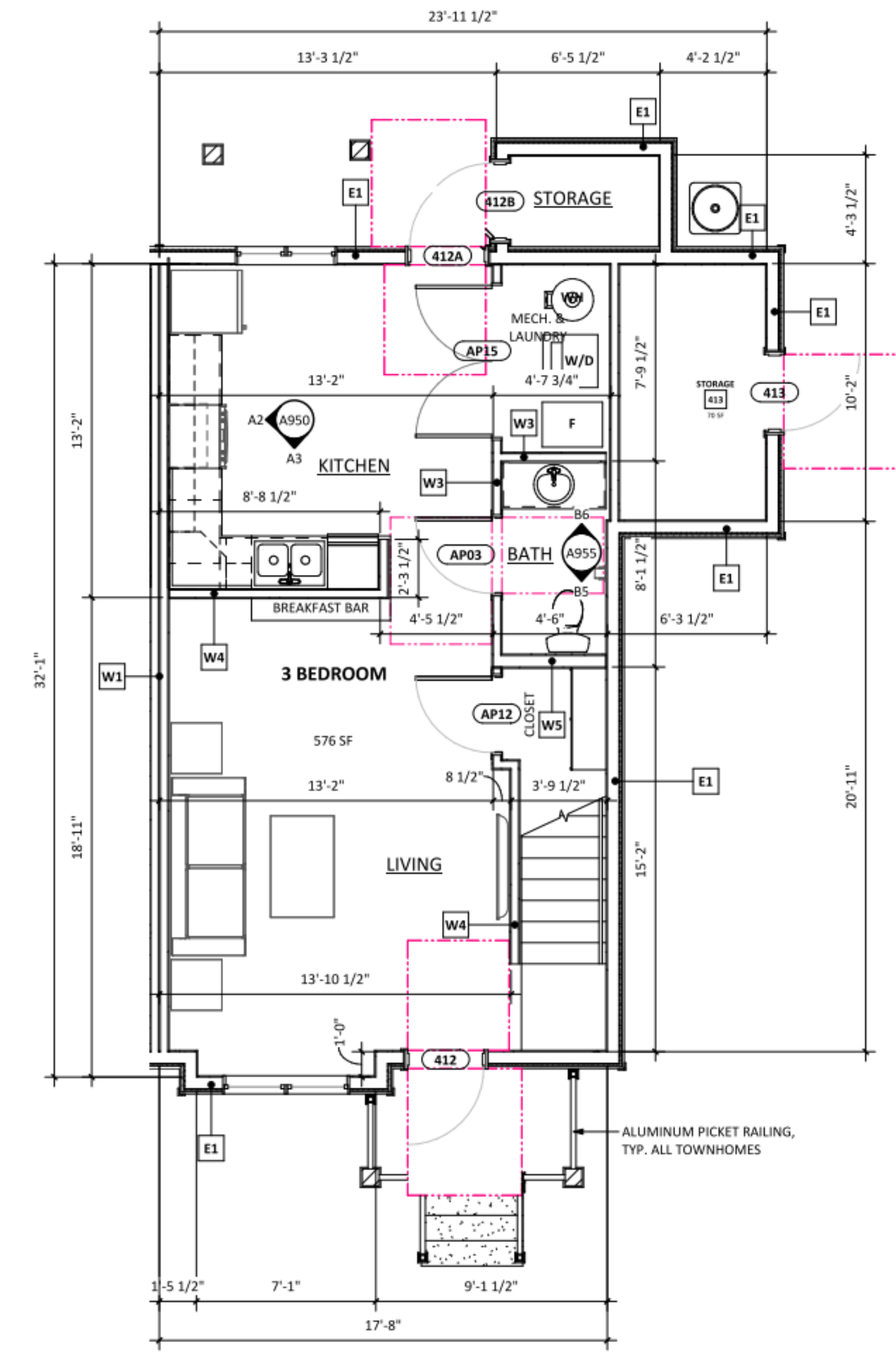
- VANITY SHALL BE 42" WIDE MINIMUM, AND WITH BOWL CENTERED OVER SINK BASE.
- PROVIDE ADA COMPLIANT TOILET, TYPICAL ALL UNITS.
- TUBS AND SHOWERS ARE TO HAVE OFFSET CONTROLS IN ACCORDANCE WITH WHEDA REQUIREMENTS. REFER TO PLUMBING.
- MIRRORS SHALL BE FRAMELESS AND INSTALLED TIGHT TO SURFACE OF WALL USING CLIPS. BOTTOM OF REFLECTIVE SURFACE IS TO BE 40" A.F.F. ADHESIVE IS NOT ACCEPTABLE MEANS OF INSTALLATION.

**KITCHENS :**

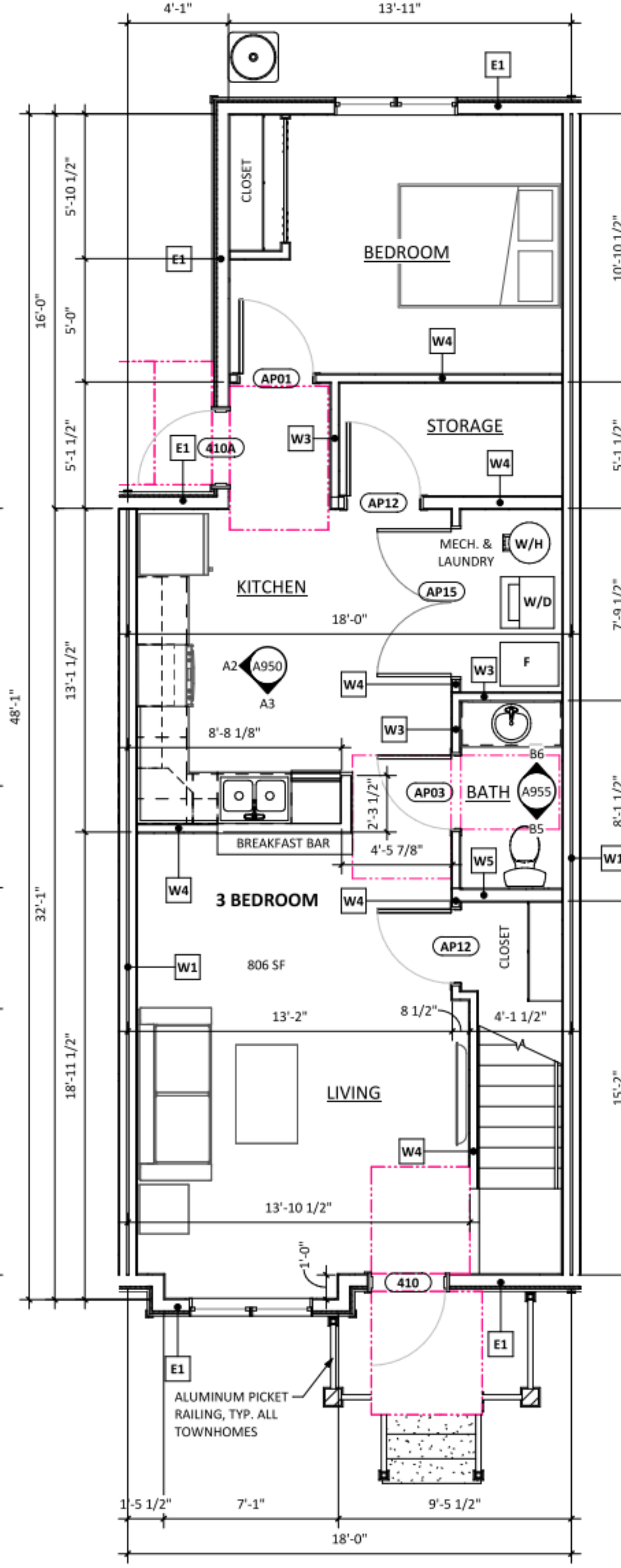
- SINKS SHALL BE DOUBLE BASIN, STAINLESS STEEL.
- COUNTERTOPS SHALL BE SET AT 34" IN TYPE A UNITS AND ALL EDISON SCHOOL APARTMENT UNITS, AND SET AT 36" IN TOWNHOME TYPE B UNITS. ALL COUNTERTOPS SHALL HAVE INTEGRAL 4" MINIMUM BACK SPLASH.
- PROVIDE RANGE HOOD WITH FIRE SUPPRESSION CANISTER AT RANGEHOOD.



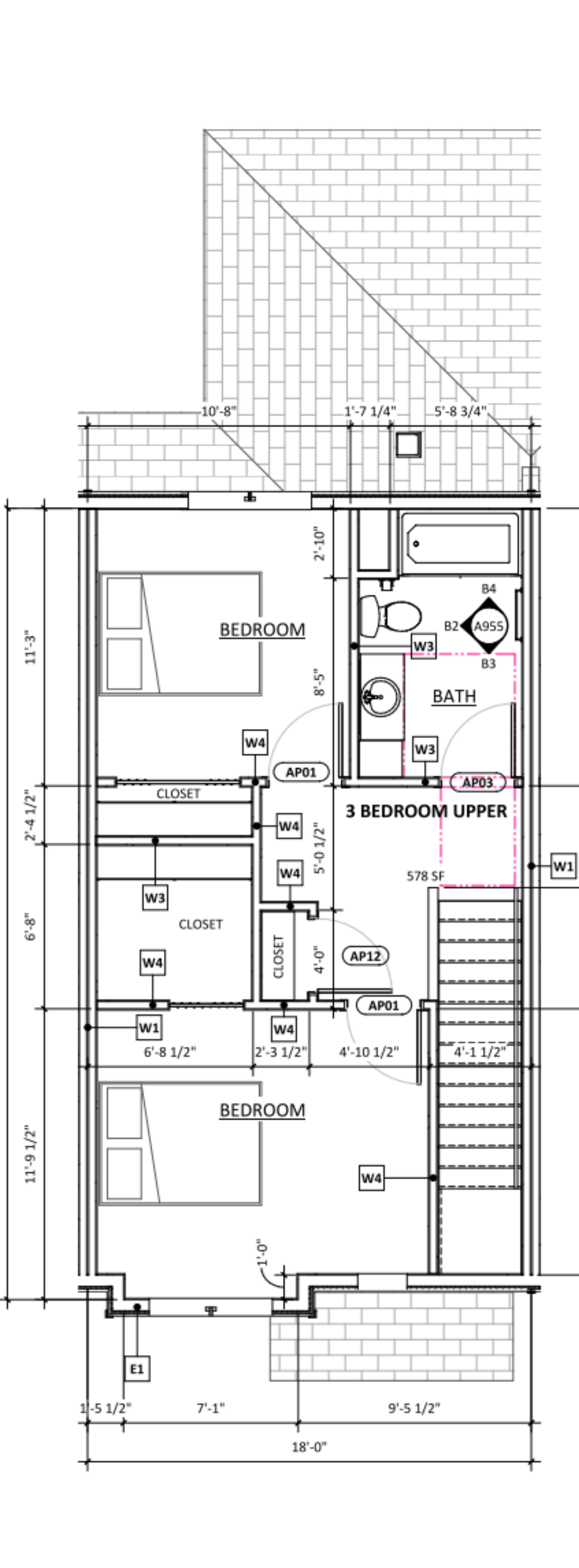
**C2 TOWNHOME 2ND FLOOR - TYPE B, MODEL 1**  
 SCALE: 1/4" = 1'-0" UNIT: 412  
 UNIT: 401 (MIRRORED)



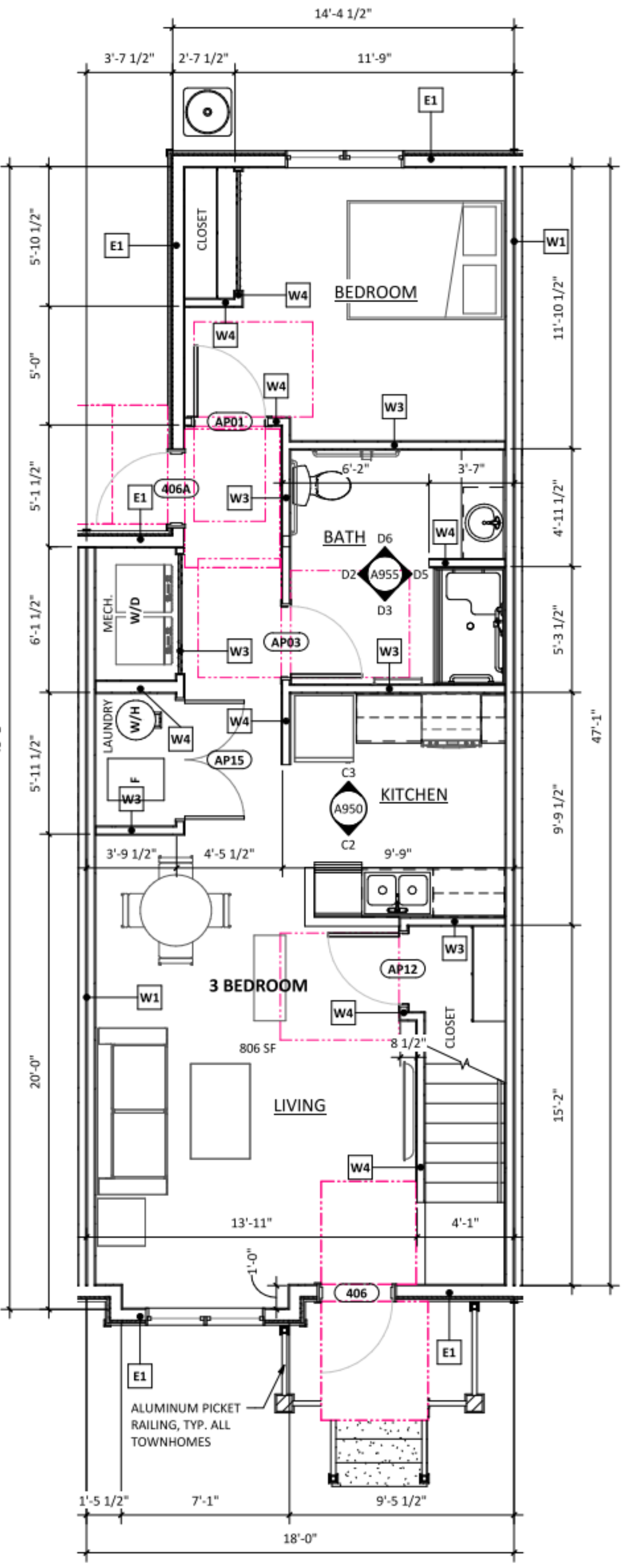
**A2 TOWNHOME 1ST FLOOR - TYPE B, MODEL 1**  
 SCALE: 1/4" = 1'-0" UNIT: 412  
 UNIT: 401 (MIRRORED)



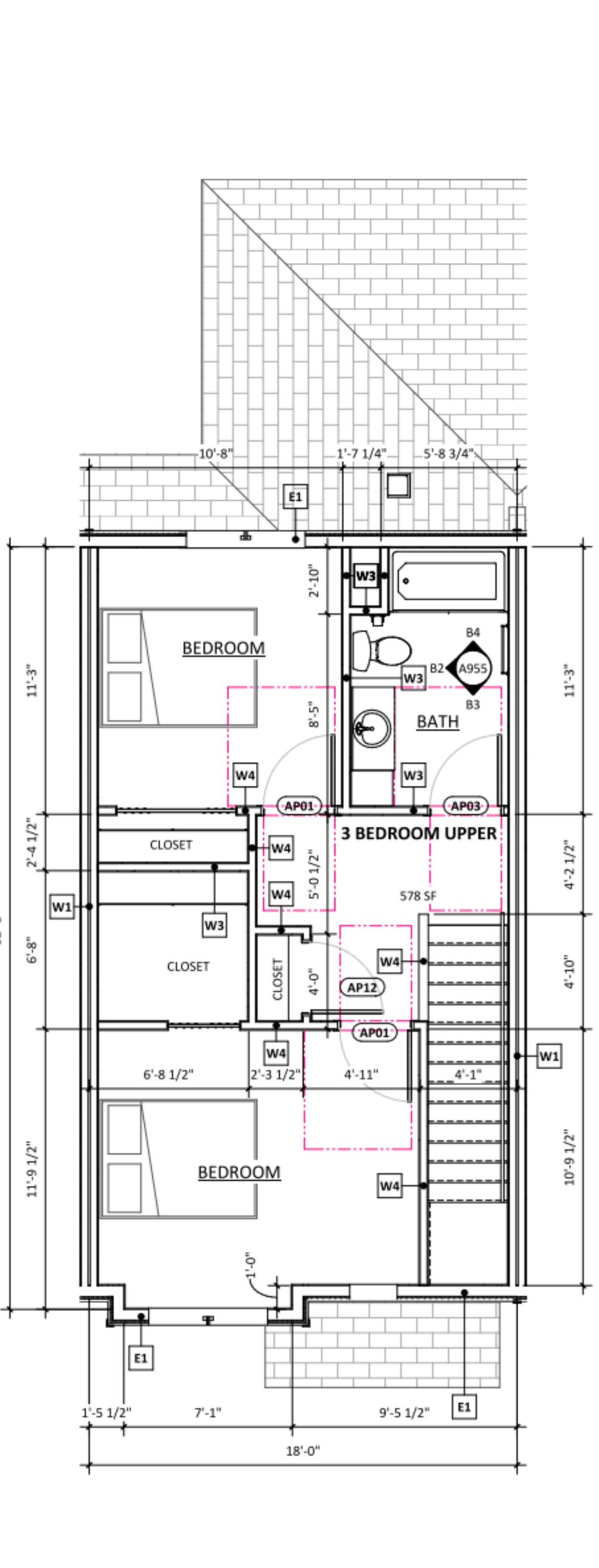
**A3 TOWNHOME 1ST FLOOR - TYPE B, MODEL 2**  
 SCALE: 1/4" = 1'-0" UNITS: 402, 404, AND 410  
 UNITS: 403, 405, 409, AND 411 (MIRRORED)



**A4 TOWNHOME 2ND FLOOR - TYPE B, MODEL 2**  
 SCALE: 1/4" = 1'-0" UNITS: 402, 404, AND 410  
 UNITS: 403, 405, 409, AND 411 (MIRRORED)



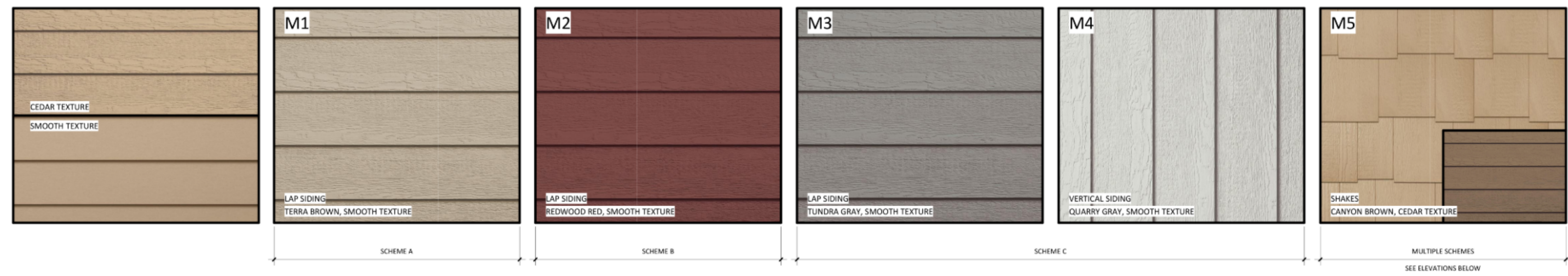
**A5 TOWNHOME 1ST FLOOR - TYPE A, MODEL 1**  
 SCALE: 1/4" = 1'-0" UNITS: 406 AND 408  
 UNITS: 407 (MIRRORED)



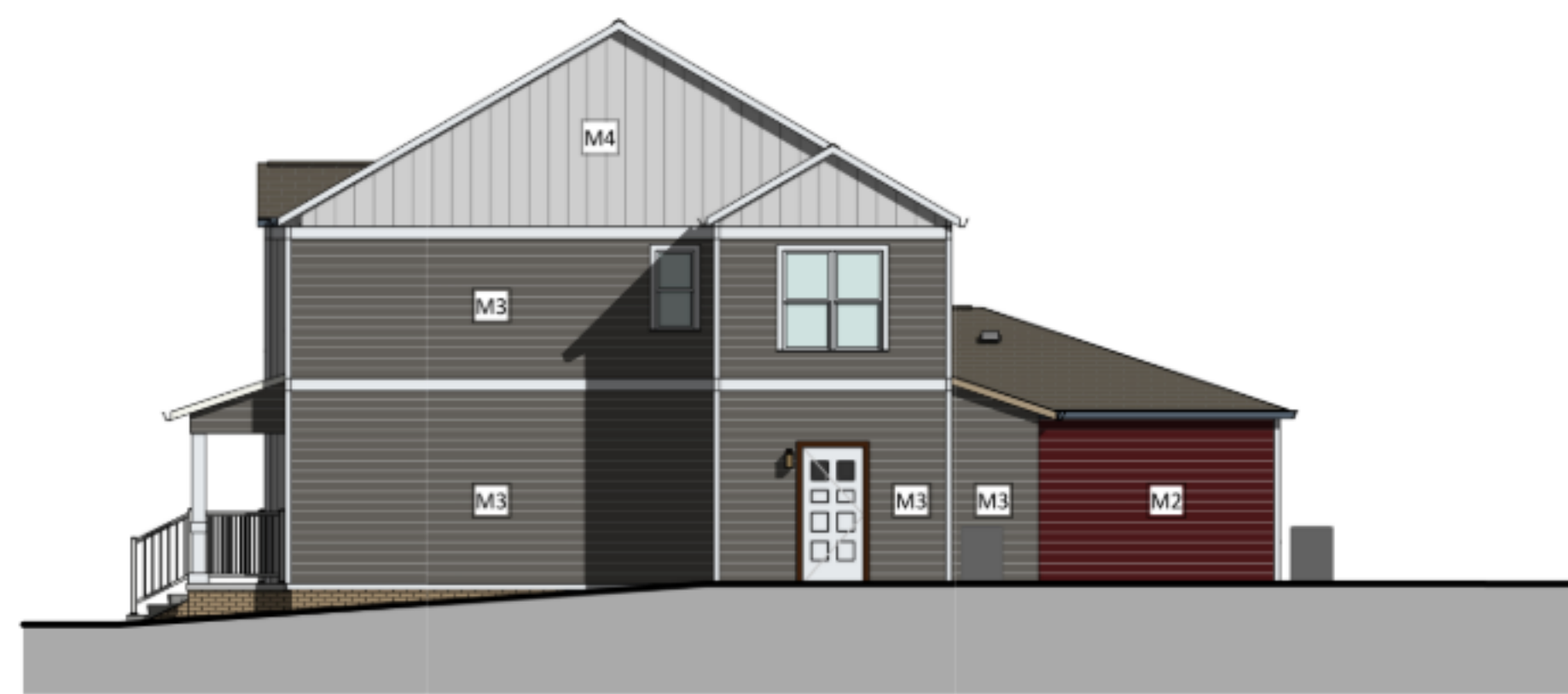
**A6 TOWNHOME 2ND FLOOR - TYPE A, MODEL 1**  
 SCALE: 1/4" = 1'-0" UNITS: 406 AND 408  
 UNITS: 407 (MIRRORED)

SCHEMATIC DESIGN  
 C:\Users\lgorman\Documents\JOHNS STREET SITE\_2023\_dwgname@gormanma.com.dwg

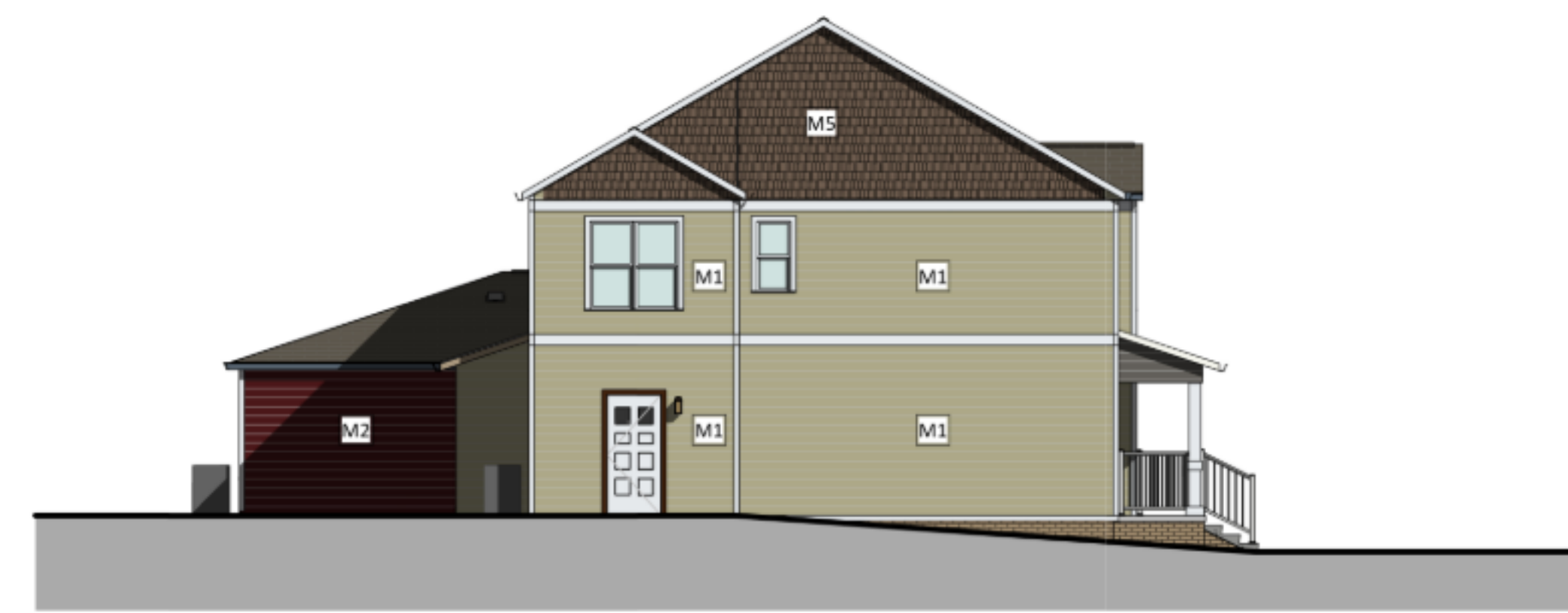




**NOTE:** THESE ELEVATIONS ARE REPRESENTATIVE OF DESIGN INTENT AND DO NOT REFLECT THE FINAL DESIGN.



**C6** EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**C3** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**B6** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A6** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

**JOHNS STREET MULTIFAMILY**

1114 NORTH JOHNS STREET  
DODGEVILLE, WI 53533

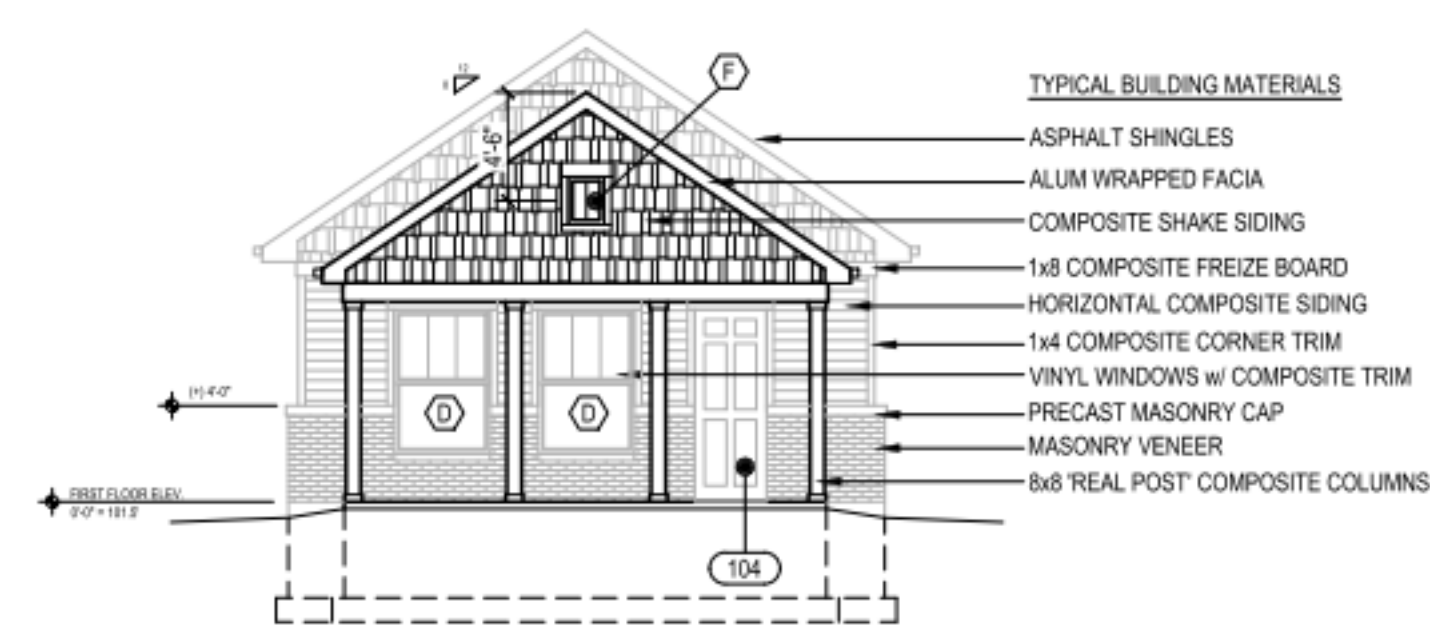
Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:33 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver

**SCHEMATIC DESIGN**  
Sheet Title  
EXTERIOR ELEVATIONS -  
TOWNHOMES



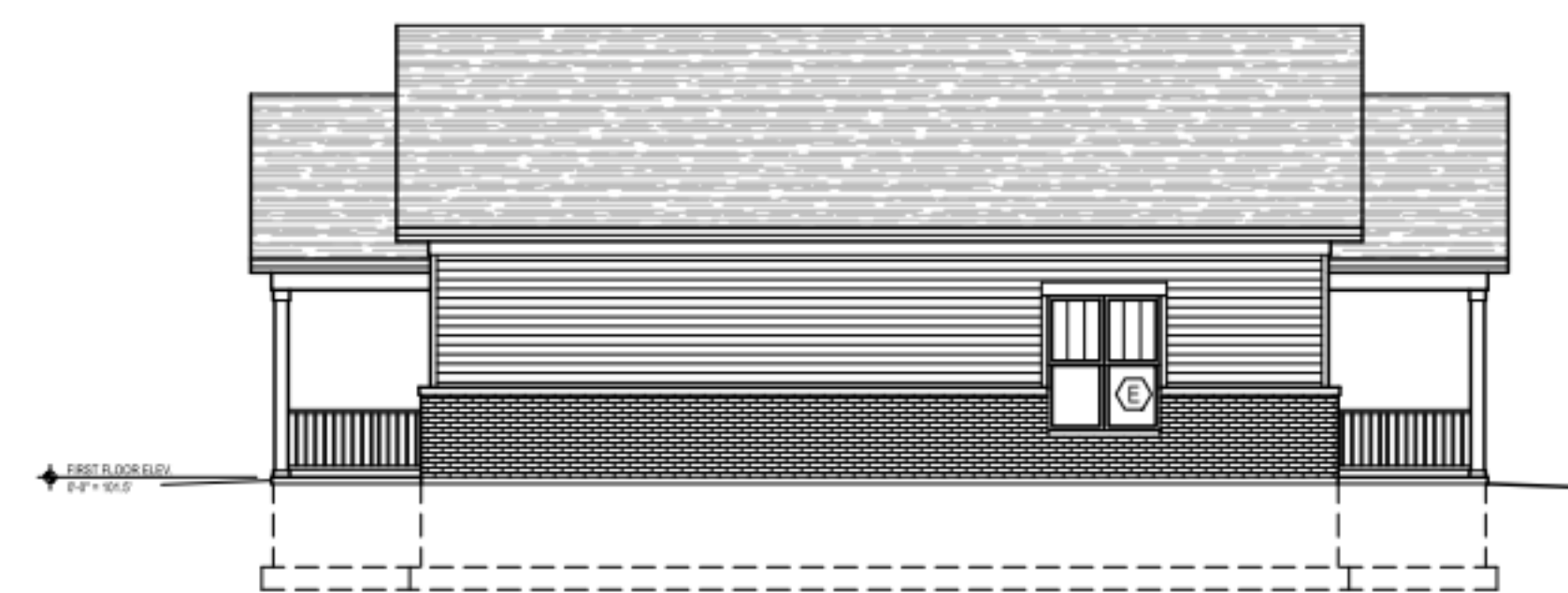
NOT FOR  
 CONSTRUCTION



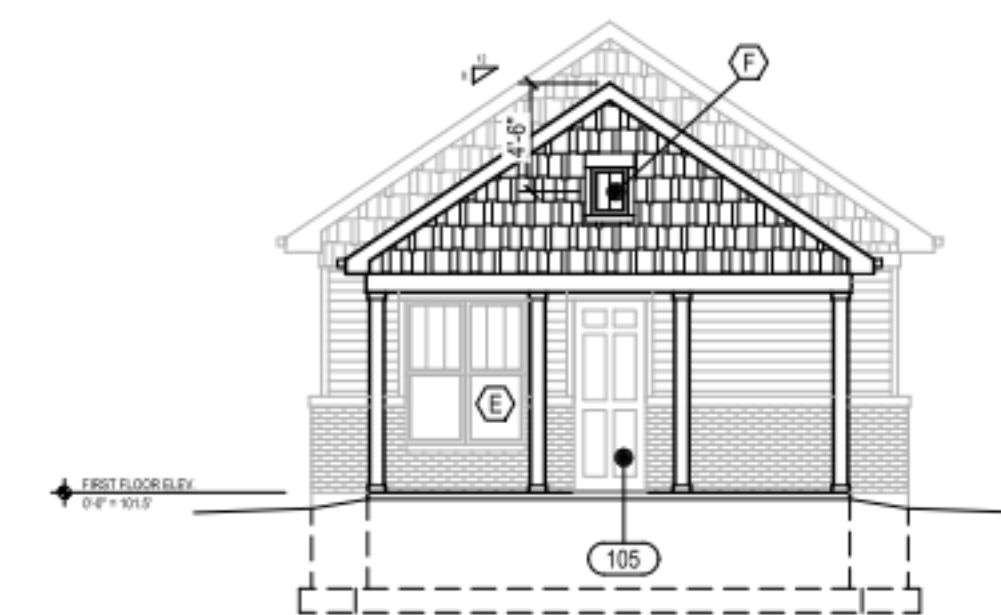
1  
 A201  
**CLUBHOUSE - FRONT ELEVATION**  
 1/8" = 1'-0"



3  
 A201  
**CLUBHOUSE - SIDE ELEVATION**  
 1/8" = 1'-0"



2  
 A201  
**CLUBHOUSE - SIDE ELEVATION**  
 1/8" = 1'-0"



4  
 A201  
**CLUBHOUSE - REAR ELEVATION**  
 1/8" = 1'-0"

**JOHNS STREET MULTIFAMILY**

**1114 NORTH JOHNS STREET  
 DODGEVILLE, WI 53533**

Issue Dates:	
DATE	DESCRIPTION

Project No.	2000-0150
Plot Date:	9/26/2023 12:23:33 PM
Drawn by:	Author
Checked by:	Checker
Approved by:	Approver
<b>SCHEMATIC DESIGN</b>	

Sheet Title  
 EXTERIOR ELEVATIONS -  
 COMMUNITY BUILDING

Sheet No.  
**AC201**

**CITY OF DODGEVILLE  
ORDINANCE NO. 2023-06**

**AN ORDINANCE TO AMEND SECTION 24.045(a) OF THE MUNICIPAL CODE OF THE CITY OF DODGEVILLE, IOWA COUNTY, WISCONSIN, RELATING TO FEES**

WHEREAS, the Municipal Code of the City of Dodgeville establishes fees for various purposes; and

WHEREAS, the Council deems it necessary to increase fees from time to time;

NOW, THEREFORE, THE COMMON COUNCIL OF THE CITY OF DODGEVILLE, IOWA COUNTY, WISCONSIN, DO ORDAIN AS FOLLOWS”

**SECTION I:** Section 25.045(a) of the Municipal Code of the City of Dodgeville shall be and hereby is amended to read as follows:

**Sec 25.045 FEES**

(a) *License, Permit and Service Fees.* The following fees are established for licenses permits and services within the City of Dodgeville:

DESCRIPTION	FEE
<i>Ambulance</i>	<i>Fee</i>
ALS 1 Emergency Rate	\$1,300.00
ALS 2 Emergency Rate	\$1,500.00
ALS Non-Emergency Rate	\$1,250.00
BLS Emergency Rate	\$11,000.00
BLS Non-Emergency Rate	\$1,000.00
Lift Assist (No Transport with Evaluation)	\$150.00
BLS No Transport	\$700.00
ALS No Transport	\$900.00
Motor Vehicle Accident No Transport	\$0.00
Mileage	\$28.00
Standby	\$150.00 per hour
Intercepts with area EMS (supplies)	Cost + ~15%

<b><i>Building &amp; Development - Planning &amp; Zoning</i></b>	<b><i>Fee</i></b>
Certified Survey Map Review (Fee for Appearing before the Plan Commission)	\$400.00
Conditional Use Permit (Fee for Appearing before the Plan Commission)	\$500.00
Plat Review	Preliminary Meeting - No Charge Preliminary Review with Plan Commission - \$500.00
Variance Request (Fee for Appearing before the Board of Zoning Appeals)	\$400.00
Zoning District Changes (Fee for Appearing before the Plan Commission)	\$500.00
Historic Preservation Certificate of Appropriateness	No Fee
Land Dedication Fee in Lieu of Land for Park	\$200 Single Family \$400 Two Family \$100/unit Multi-Family \$100/unit Mobile Home Parks

<b><i>Building &amp; Development - Building Inspection</i></b>	<b><i>Fee</i></b>
Building Permit - Additions & Remodels	\$30.00 + \$5 per \$1,000 in value
Building Permit Inspection & Enforcement for 1 & 2 Family - New Structures. State Seal Included.	\$900 Single \$1,350 Two-Family
Building Permit for Commercial Buildings - New Structure	\$30.00 + \$5 per \$1,000 in value
Building Permit for Government, Non Profit or Schools - New Structure	\$5 per \$1,000 of value up to \$5,000 max
Electrical Service Upgrade	\$150.00
Footings and Foundation Permit (Early Start)	\$75.00
Occupancy Permit	No Cost
Penalty for Starting without a Building Permit	Double the Actual Cost with \$100 minimum
Solar Energy Permit	\$30.00 + \$5 per \$1,000 in value
Sign Permit	\$25 per face
Moving (a building) Permit	\$25.00
Razing (a building) Fee	\$60.00

<b>Cemetery</b>	<b>Fee</b>
Full Lot (4 grave spaces)	\$2,300.00
One Half Lot (2 grave spaces)	\$1,200.00
Cemetery Lot Gravesite	\$650.00
Deed Re-Issuance or Transfer	\$50.00
Grave Site Marking Fee	Regular \$30.00 After Hours \$60.00
Disinterment	Actual Cost
Regular Grave Opening/Closing	\$700.00
Additional for After Hours/Weekend Opening/Closing	\$200.00
Additional for Winter Rate (Nov 15 - March 31)	\$200.00
Cremation & Infant (up to 1 year) Burials	\$300.00
After Hours/Weekend Opening/Closing	\$150.00
Winter Rate (Nov 15 - March 31)	\$150.00

<b>Clerk - Animal Licenses</b>	<b>Fee</b>
Neutered/Spayed Dog or Cat License	\$6.00
Unaltered Dog or Cat License	\$15.00
Late Penalty Fee	\$25.00
Replacement Tags	No Charge
Kennel License (Up to 12 dogs)	\$35.00
Additional Dogs in Kennel (in Excess of 12)	\$4.00/dog
Dog Pound Pick up	
Chicken Permit	\$25.00 Annually \$25.00 First Time Inspection

<b>Clerk - Liquor Licensing</b>	<b>Fee</b>
Class "A" Retailer Fermented Malt Beverage (off premises consumption) *may include Class A Cider	\$75.00
"Class A" Retailer Intoxicating Liquor (off premises consumption)	\$250.00
Class "B" Retailer Fermented Malt Beverage (on or off premises consumption)	\$100.00
"Class B" Retailer Intoxicating Liquor (on or off premises consumption)	\$500.00
"Class C" Wine Retailer License (on premise consumption)	\$100.00
Reserve "Class B" Retailer Intoxicating Liquor License (on or off premises consumption)	\$10,000.00
Operator's License – 1 year	\$30.00
Operator's License -2 year	\$50.00
Operator's License - Provisional	\$15.00



Operator's License - Temporary - Per Event	\$10.00
Temporary B - Fermented Malt Beverage License (Wine or Beer) - Per Event	\$10.00
Change of Agent Fee for Alcohol License	\$10.00

<b>Clerk - Other License &amp; Permits</b>	<b>Fee</b>
Adult Entertainment Application Fee	\$500.00
Adult Entertainment License Fee	\$2,000.00
Cigarette License	\$50.00
Dance Permit (Annual for Bars/Restaurants)	\$25.00
Dance License (Event License Open to the Public)	\$20.00
Direct Sellers, Transient Merchant or Solicitors Permit	\$30 per person for 90 days
Dumpster Permit	\$25.00
Extension of Premises Permit	No Charge
Fireworks Permit	\$25.00
Fireworks Sales Permit	\$25.00
Hotel/Motel Permit	No Fee
Junk Dealer License	\$50.00
Mobile Home Park License Fee - Renews Annually July 1	\$50 + \$2/home
Street Use Permit - Per Event	\$25.00
Taxi or Taxi Driver (Annual)	\$25 per vehicle \$10 for each additional
Vendor Permit - Renews Annually May 1st	\$50 annually or \$5/day up to 3 days

<b>Clerk Miscellaneous</b>	<b>Fee</b>
Copies	\$0.25/page
Interest Charge on Unpaid Invoices	1.5% accrued monthly
Special Assessment Letters	\$25.00 per parcel \$50 for rush under 48 hrs
Worthless Check Processing Fee	\$30.00
Open Records	Actual Costs

<b>Parks &amp; Recreation - Facility Rentals</b>	<b>Fee</b>
Ley Pavillion	Deposit Required for All Rentals <b>\$150</b> Private Enterprise <b>\$600</b> Family Event (Resident) <b>\$300</b> Family Event (Non-Resident) <b>\$400</b> Wedding/Weekend (Resident) <b>\$500</b> Wedding/Weekend (Non-Resident) <b>\$800</b> Non Profit \$100 Stage Rental \$50
Park Shelter Reservation Fee – City Resident	<b>\$60.00</b>
Park Shelter Reservation Fee – Non-City Resident	<b>\$75.00</b>

Facility Use - Ball Diamond	n/a
Ball Diamond Prep (Chalking and Raking)	n/a

<b><i>Parks &amp; Recreation - Pool</i></b>	<b><i>Fee</i></b>
Annual Pool Pass: City Resident	Adult - \$50.00 Student (Grades K-12) - \$45.00 Senior Citizen - \$40.00 Family - \$120.00
Annual Pool Pass: Non-Resident	Adult - \$65.00 Student (Grades K-12) - \$60.00 Senior Citizen - \$60.00 Family - \$160.00
Daily Pass: City Resident	Adult - \$5.00 Student (Ages 6-18) - \$4.00 Senior Citizen - \$3.00 Ages 5 and Under- Free with Paying Adult
Daily Pool Pass: Non-Resident	Adult - \$6.00 Student (Ages 6-18) - \$5.00 Senior Citizen - \$4.00 Ages 5 and Under - Free with Paying Adult
Swimming Lessons - Resident with Season Pass	\$30.00
Swimming Lessons - Non-Resident with season pass	\$40.00
Swimming Lessons - Resident Without Season Pass	\$50.00
Swimming Lessons - Non-Resident Without season pass	\$60.00
Swimming Lessons - Resident Private Lesson	\$105.00
Swimming Lessons - Non-Resident Private Lesson	\$140.00
Swim Team	\$30.00
Aerobics (without Pool Pass)	\$3/session
Adult Lap Swim (without Pool Pass)	\$3/session
Pool Rental	1-24 Persons - \$100.00/hr 25-49 Persons - \$125.00/hr 50+ Persons - \$150.00/hr

<b><i>Parks &amp; Recreation - Recreation Programs</i></b>	<b><i>Fee</i></b>
Dance Camp	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Gymnastics	Resident - \$30 Non-Resident (Dodgeville Schools) - \$45 Non-School District - \$70

Basketball Camp	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Volleyball	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Pee Wee Tee Ball	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Coach Pitch	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Cheerleading Camp	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Little League	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Golf	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Girls Softball Clinic	Resident - \$30 Non-Resident (Dodgeville Schools) - \$45 Non-School District - \$70
Art Camp	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Tennis	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Yoga	Resident - \$25 Non-Resident (Dodgeville Schools) - \$40 Non-School District - \$65
Flag Football	Resident - \$45 Non-Resident (Dodgeville Schools) - \$55 Non-School District - \$70
Girls Softball (Traveling)	Resident - \$45 Non-Resident (Dodgeville Schools) - \$60
Baseball (Traveling)	Resident - \$50 Non-Resident (Dodgeville Schools) - \$65

<b>Police</b>	<b>Fee</b>
Accident/Incident Reports	First 4 pages via pick up, email or fax - \$2.00 Each additional black & white page - \$0.25 Each additional color page - \$0.35 CD/DVD/Flash Drive - Actual Direct Cost Actual Cost of Postage if requested by US Mail
Research Fees	\$20.00 /hour *Only imposed if cost of records location exceeds \$50 ** Specialize requests may result in additional costs

<b>Public Works</b>	<b>Fee</b>
Driveway Permit/Curb Cut/Access Permit	\$50 Residential \$75 Commercial or Industrial
On-Site Waste Disposal at Treatment Plant	5 cents/gallon
Storm Water Control Plan and Permit	\$200 + \$3/1,000 sq ft of disturbance
Utility Permit (Street Opening)	\$50 per opening
Penalty for not having Street Opening permit	Double the Permit Fee
Garbage Pickup Fees (Charged on Utility Bill)	\$11 /monthly
Recycling Bins	\$7.95
Grass/Leaves - Penalty for Disposing in Street	\$50.00
Noxious Weeds & Tall Grass	\$50 + \$90/hr + materials
Dead Tree Removal on Private Property	\$100/hr
Snow Removal from Sidewalks Penalty	\$50.00

**SECTION II.** This Ordinance shall take effect January 1, 2024 and upon passage by a majority vote of the full membership of the Common Council and publication as required by law.

Adopted and approved this 19<sup>th</sup> day of December 2023.

\_\_\_\_\_  
Todd D. Novak, Mayor

Attest: \_\_\_\_\_  
Lauree Aulik, City Clerk

Date adopted: \_\_\_\_\_  
Date recorded: \_\_\_\_\_  
Date published: \_\_\_\_\_  
Effective date: \_\_\_\_\_