DODGEVILLE

I. CALL TO ORDER AND ROLL CALL

II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW

III. APPROVAL OF MINUTES

1. Approval of Minutes from March 13, 2024.

IV. NEW BUSINESS

2. Consideration and possible action to approve a Certificate of Appropriateness for the replacement of the shingled roof with steel on the 1873 and 1995 additions at the Iowa County Courthouse located at 222 N. Iowa Street.

V. OLD BUSINESS

3. Discussion and review of Certificate of Appropriateness form.

VI. ADJOURN

4. Motion to Adjourn

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.

3.13.24 MINUTES

5:34 PM call meeting to order- Emily

ROLL CALL: JEFF, EMILY, ANN, ROXANNE, REBECCA

Approval of minutes: Rebecca motion, Jeff second- Approved

NEW BUSINESS:

Jeff proposed HPC general email address- Jeff motion, Roxanne second

Planning commission date for Floyd School 3/28/24 5pm

Roxanne attending- other HPC members may attend.

Update HPC brouchure

OLD BUSINESS:

Correction on Walking tour booklet

Discussion of review of current Certificate of Appropriateness form

ADJOURN 6:15

City of Dodgeville, Wisconsin Historic Preservation Commission

Section IV. Item #2. Application for

of Appropriateness

Reference Chapter 16A

100 East Fountain Street Dodgeville, WI 53533		Ann Fillback-Watt, Chair Phone:608-512-5303 Email:fillbackwatt@gmail.com				
FOR COMMISSION USE ONLY Chair's Signature:						
Date Received:	Certificate Number:					
Commission Action:	Approved Disapproved Date Action Tal	ken:				
Applicant Name: Address: Telephone:	Jake Tarrell on behalf of Iowa County 222 North Iowa Street 608-341-9285 Email jacob.tarrell@iowace	ounty.org				
Owner (if other than applicant) Name:						
Address:						
Telephone:	Email					
		se Peter Spang House Mining Cabin				
Nature of Improvement (check all that apply) Adaptive Alteration New Construction						
Synopsis of project (one sentence): Replacing shingled roof with steel on the 1873 and 1995 additions.						
Two completed copies of this application must be submitted, along with the following: 1) a detailed description of EACH modification and/or improvement; 2) an exact description of all materials being used and the method of application or installation; and 3) include as many of the following as is practicable.						
 Photographs Sample Materials 	☐ Sketches/Renderings ✓ Plans ☐ Other:	Specifications				
As the owner or authorized agent of the owner(s) of the property that is the subject of this application, I declare that the statements herein and the attached exhibits present the information required for this application to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.						

Signature

Estimated Project Completion Date

3

"Adaptive use" means the restrained alteration of a historical or architectural resource to accommodate uses for which the resource was not originally constructed but in such a way so as to maintain the general historical and architectural character.

"Conservation" means the sustained use and appearance of a resource essentially in its existing state.

"Rehabilitation" means the process of returning a historical or architectural resource to a state of efficiency or soundness by repair or alteration designed to encourage its continued use but without noticeable changing of the resource's exterior appearance.

"Restoration" means the process of accurately recovering all or part of the form and detail of a resource and its settings, as it appears at a particular period of time, by means of removal of later work and the replacement of missing earlier work.

"Stabilization" means the process of applying measures designated to halt deterioration and to establish the structural stability of an unsafe or deteriorated resource while maintaining the essential form, as it presently exists, without noticeably changing the exterior appearance of the resource.

Proposed Building Plans for

Iowa County Courthouse

Courthouse Annex Roof Replacement Dodgeville, WI

GENERAL NOTES

- . All work to be constructed per governing codes/ordinances, as amended by local authorities. Said codes/ordinances are herein incor these documents. All code required work to be included in contract sum.
- Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/ Builder. The not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes o (Americans with Disabilities Act.)
- General notes are intended to clarify or emphasize the requirements of the drawings and specifications. In the event of a conflict betw drawings or specifications and these notes, the contractor shall comply with the more stringent requirement.
- 4. All work to be performed in a manner so as to have a minimum of disruption and disturbance with existing operations and local environ and dust shall be kept to a minimum.
- 5. Do not scale drawings.
- 6. Permit and approvals are to be kept on-site at all times.
- 7. Details and notes of similar conditions are typical whether or not called out at all places. references to any detail is for convenience or limit the application of such detail or drawing.
- 8. Systems shown on drawings are intended to be furnished, installed, and turned over to the owner in proper functioning condition. All considered in contract sum.
- 9. Contractor shall check and verify all field conditions and dimensions with the construction drawings at the project site prior to construct and/or fabrication. Contractor shall inspect related work and adjacent surfaces. Contractor shall report any discrepancies between the documents and the existing conditions which shall prevent proper execution of this work to the architect before proceeding with the work responsible for dimensions, quantities, and coordination of other trades.
- Special finish materials, carpet/ flooring, bases, doors, etc. are not shown on all details for clarity purposes. refer to plans, sections, or specifications, and schedules for additional information.
- 11. Installation of all materials and systems shall be in accordance with manufacturer's written instructions.
- This project is being constructed using a design-bid-build construction methodology. All contractors are responsible for complying with codes and ordinances related to their design and construction and integration with other systems and components. All concerns or co such shall be brought to the attention of the general contractor prior to the start of construction.
 All products are to be selected for the intended use and installed per manufacturer's specifications.
- 13. All products are to be selected for the intended use and installed per manufacturer's specifications.

SUMMARY BUILDING CODE REQUIREMENTS

Applicable code provisions include, but are not limited to the following:

362.0712 - Penetrations

All through penetrations and membrane penetrations in fire resistance rated assemblies shall comply with IBC Section 712.

362.0715 - Opening Protective's

All doors in fire resistance rated assemblies shall comply with IBC section 715.

362.0716 - Duct and Air Transfer Openings

All ducts and air transfer openings in fire resistance rated assemblies shall comply with IBC section 716.

362.0719 - Thermal and Sound Insulating Materials All insulation materials shall comply with IBC section 719.

362.1011 - Exit Signs

Internally lit exit signs with battery backup shall be provided to mark approved exits from any direction of egress travel.

362.1006 - Means of Egress Illumination

The means of egress, including the exit discharge, shall be illuminated to a minimum of 1 foot-candle at the floor level at all times the buildin occupied.

362.1006 - Illumination Emergency Power

In the event of power supply failure, an emergency system shall automatically illuminate to and average of 1 foot-candle and minimum of 0.1 the floor level at all corridors, stairways, and the portion of the exterior exit discharge immediately adjacent to exit discharge doorways, exterior adjacent to the exit doors to comply.

362.2304.9.5 - Fasteners in preservative treated wood

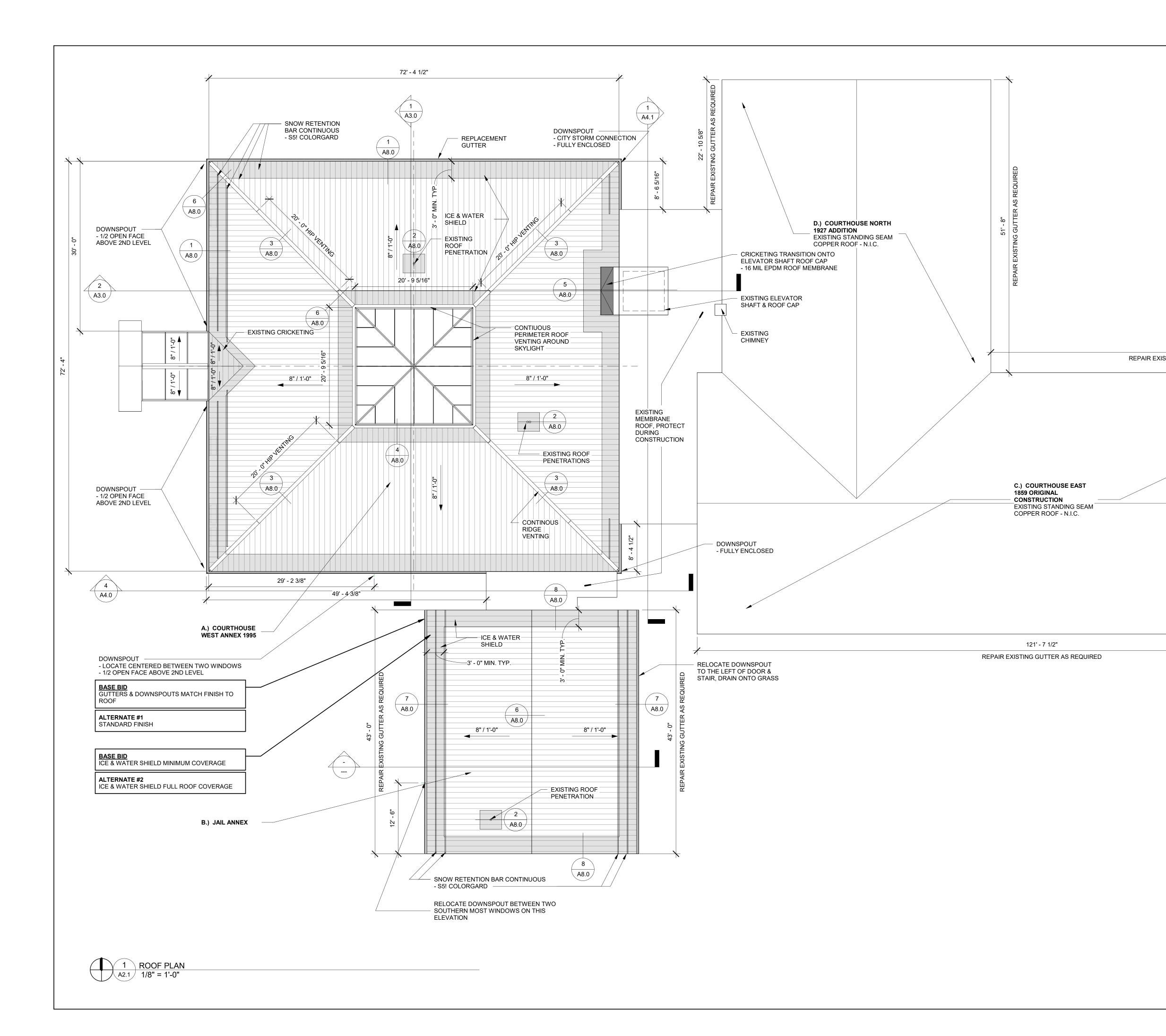
Fasteners for preservative treated wood shall be hot-dipped, zinc coated, galvanized, or stainless steel.

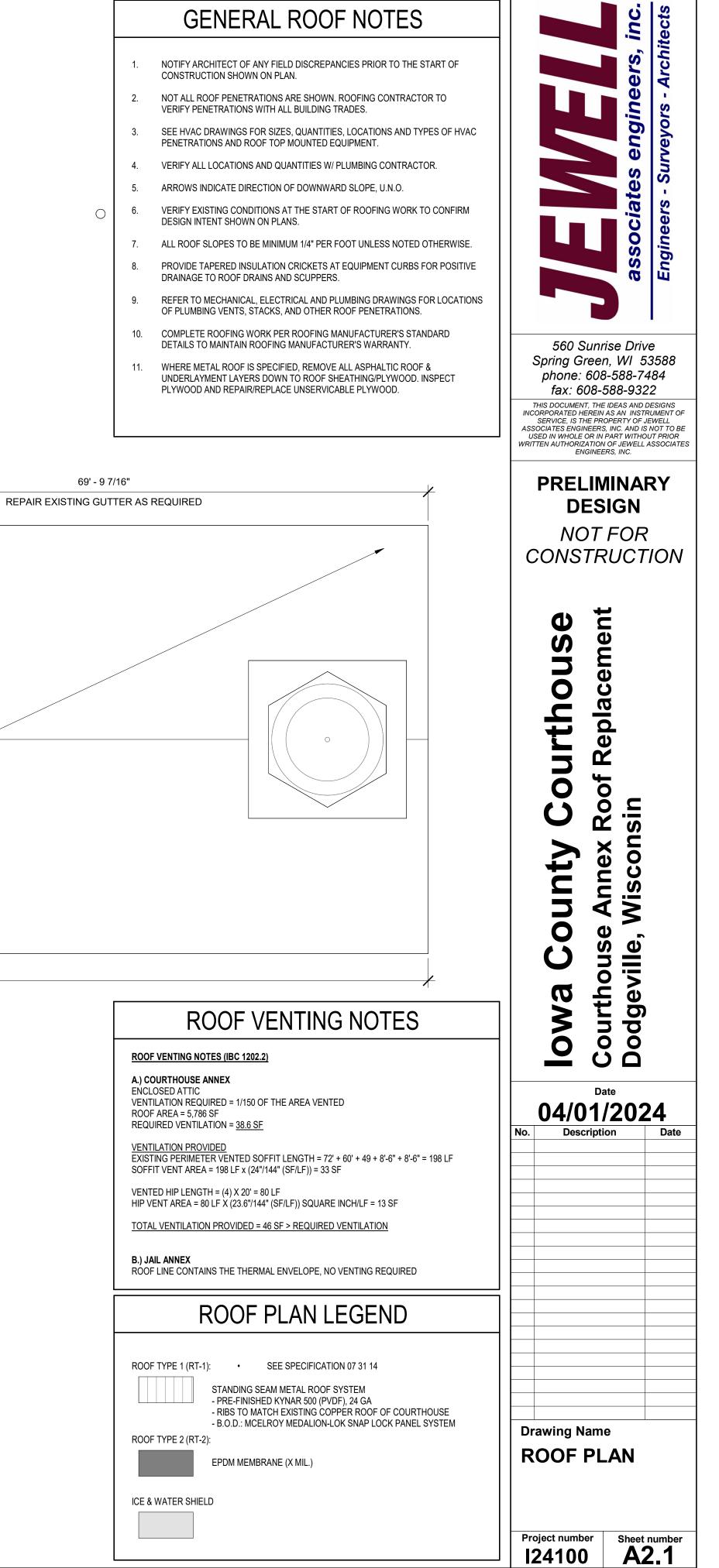
362.2406 - Safety Glazing

Provide Safety Glazing per IBC section 2406.

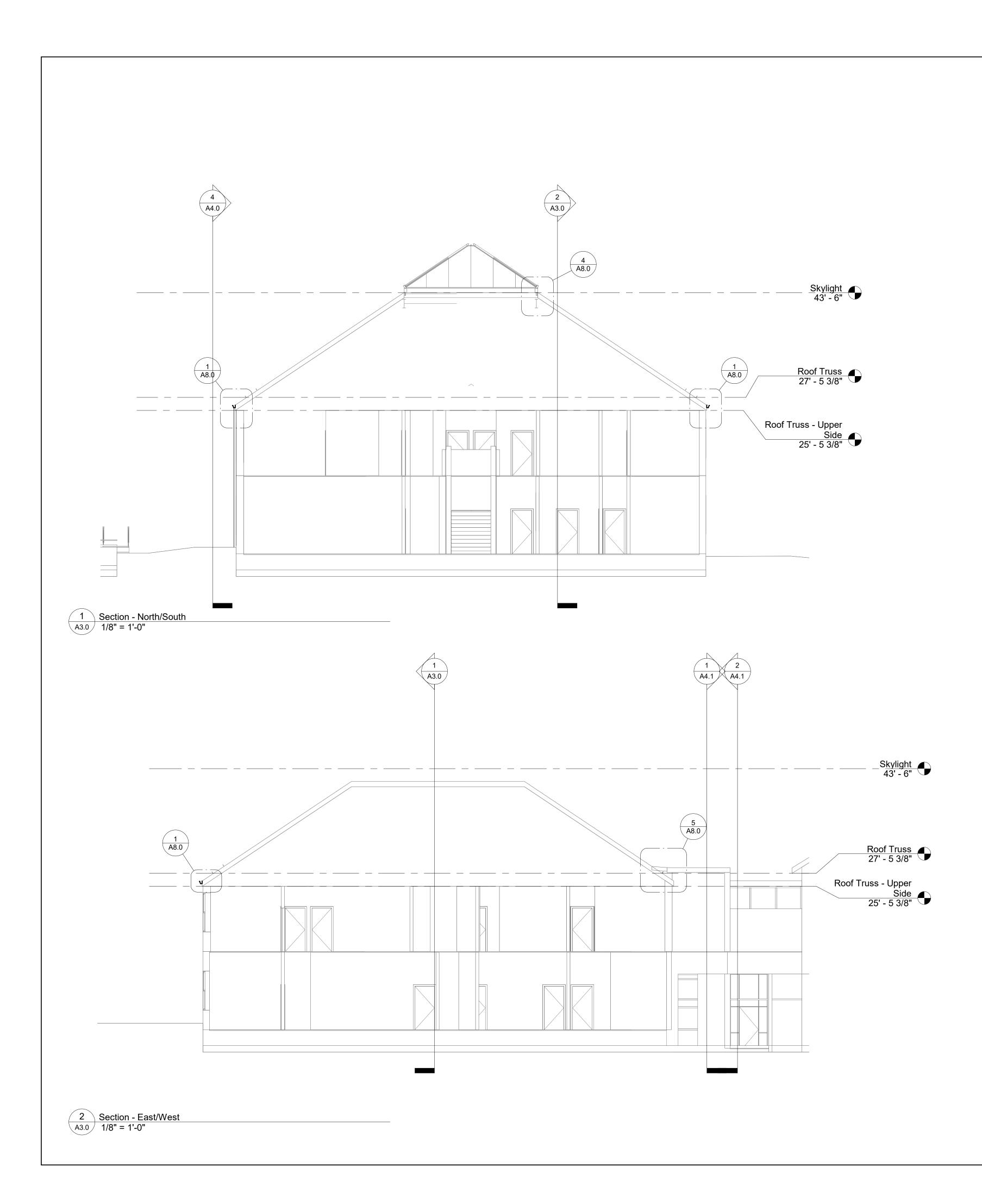
The General Contractor and sub contractors are responsible for coordinating with product manufacturers, suppliers, and installers to ensure t code provisions are complied with. Review the full Wisconsin Building Code for complete requirements.

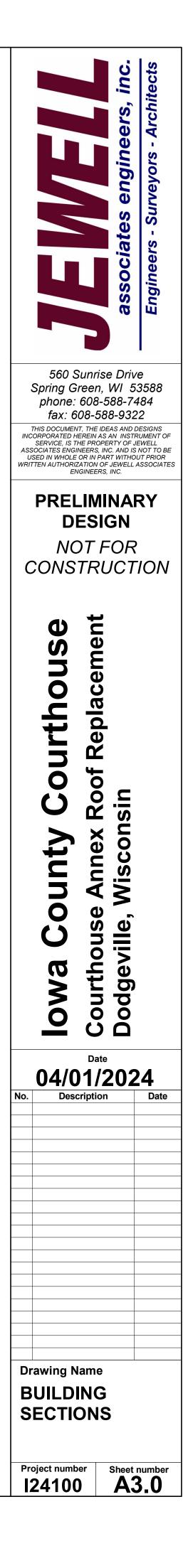
ouse ement					
					560 Sunrise Drive Spring Green, WI 53588 phone: 608-588-7484 fax: 608-588-9322
	ABBREVIATIONS	CODE SUMMARY	PROJECT DIRECTORY	DRAWING INDEX	THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF JEWELL ASSOCIATES ENGINEERS, INC. AND IS NOT TO BE
corporated into The Architect shall es or the ADA between the vironment. Noise e only and does not All work to be truction, erection, the contract e work. Contractor is s, other details, with all applicable r conflicts related to	AB ANCHOR BOLT AFF ABOVE FINISHED FLOOR CJ CONTROL JOINT CLG CELING CL CENTER LINE COLUMN CONC CONCRETE CMU CONCRETE MASONRY UNIT CPT CARPET CT CERAMIC TILE DIM DIMENSION DS DOWNSPOUT EJ EXPANSION JOINT EQ EQUAL EXT EXTERIOR FD FLOOR DRAIN FRP FIBERGLASS REINFORCED PLASTIC FE FIRE EXTINGUISHER FF FINISHED FLOOR FLR FLOOR REINF REINFORC (ED) (ING) GWB GYPSUM WALLBOARD GC GENERAL CONTRACTOR INSUL INSULATION INT INTERIOR JT JOINT ME MCISTURE RESISTANT NTS NOT TO SCALE OD OUTSIDE DIMENSION PLATE QTY QUANTITY R R ADUS SILLEN	PROJECT DESCRIPTION: Removal of an existing asphalt shingle roof system and replacement with metal roof system. OCCUPANCY: A-3 Assembly B - Business CONSTRUCTION: VB Wood Unprotected FIRE PROTECTION: Fire Extinguishers	OWNER Iowa County Circuit Court 222 N Iowa St. Dodgeville, WI 53533 608-935-0395 ARCHITECT Andrea Ring, Architect Jewell Associates, Inc. 560 Sunrise Drive Spring Green, WI 53588 andrea.ring@jewellassoc.com 608-588-7484	T1.0 TITLE SHEET A2.1 ROOF PLAN A3.0 BUILDING SECTIONS A4.0 BUILDING ELEVATIONS A4.1 BUILDING ELEVATIONS A8.0 DETAILS A8.1 DETAILS	USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF MELL ASSOCIATES ENGINEERS, INC. PRELIMINARY DESIGN NOT FOR CONSTRUCTION NOT STRUCTION NOR ON BEDIAGE NOT FOR CONSTRUCTION NOR ON BUDG NOR ON BUDG NOT FOR CONSTRUCTION
	ARCHITECTURAL SYMBOLS	MAP			Date
ilding space is f 0.1 foot-candle at xterior walk or stoops ure that all applicable	$\frac{1}{1} \operatorname{Ref.}_{1 \operatorname{Ref.}} = \operatorname{ELEVATION}_{1 \operatorname{Ref.}} = \operatorname{ELEVATION}_{1 \operatorname{Ref.}} = \operatorname{BUILDING SECTION}_{1 \operatorname{A101}} = \operatorname{Sim.}_{1 \operatorname{A101}} = \operatorname{DETAIL}_{1 \operatorname{A101}} = \operatorname{DETAIL}_{1 \operatorname{I}} = \operatorname{DOOR}_{1 \operatorname{I}}$	PROJECT ADDRESS: 222 N Iowa St. Dodgeville, WI 53533			O. Description Date
		Goll			Project number I24100 Sheet number T1.0



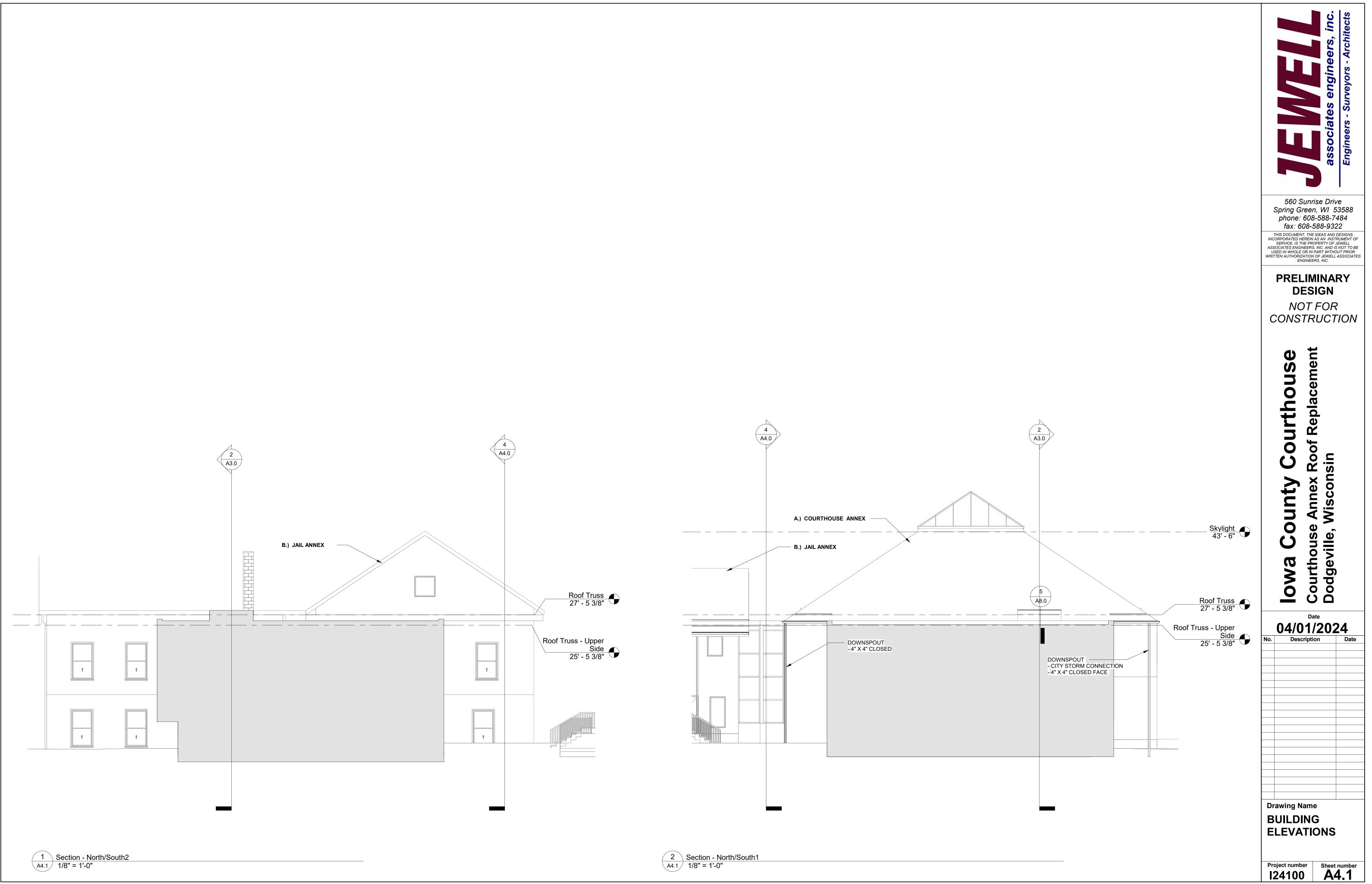


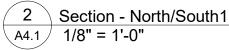
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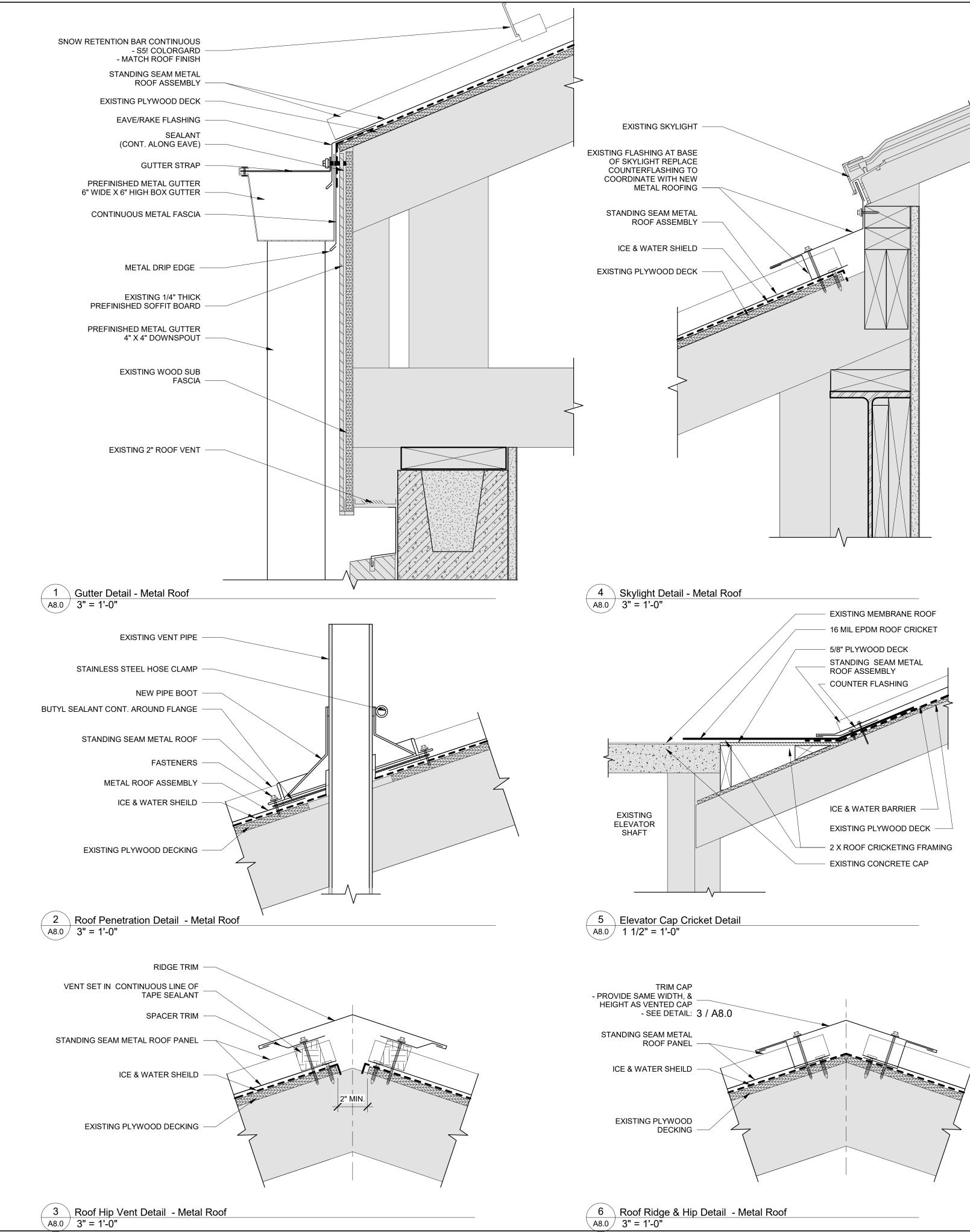


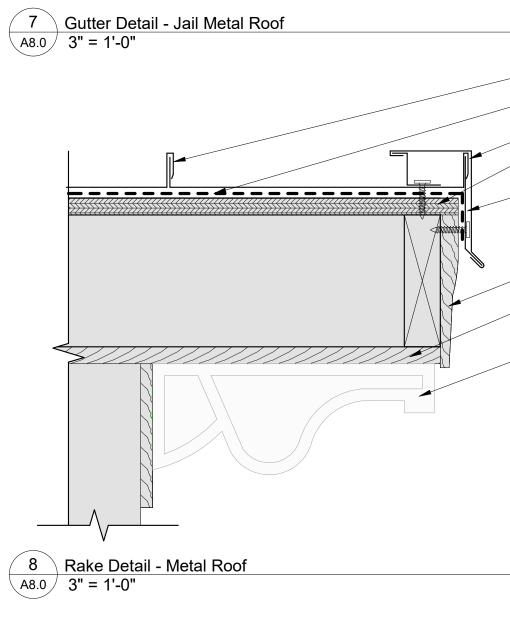












PREFINISHED METAL GUTTER 4" X 4" DOWNSPOUT

EXISTING SCROLL BRACE

FASCIA WEDGE/BLOCKING -- PLACED & CENTERED ALIGNED AT EACH EXISTING SCROLL BRACING - THICKNESS TO MATCH SCROLL BRACE - PAINT TO MATCH EXISTING TRIM

CONTINUOUS METAL FASCIA

PREFINISHED METAL GUTTER 6" WIDE X 6" HIGH BOX GUTTER

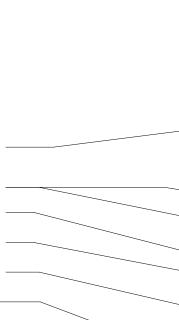
GUTTER STRAP

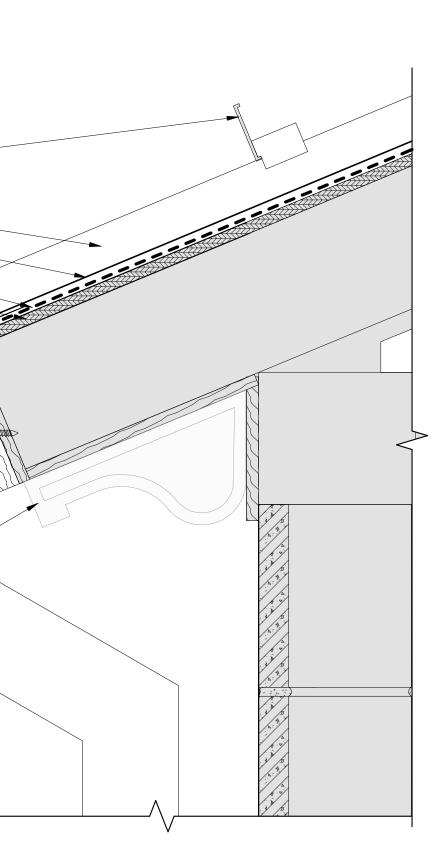
METAL DRIP EDGE

EXISTING PLYWOOD DECK EAVE/RAKE FLASHING

STANDING SEAM METAL ROOF ASSEMBLY ICE & WATER SHIELD

SNOW RETENTION BAR CONTINUOUS - S5! COLORGARD - MATCH ROOF FINISH

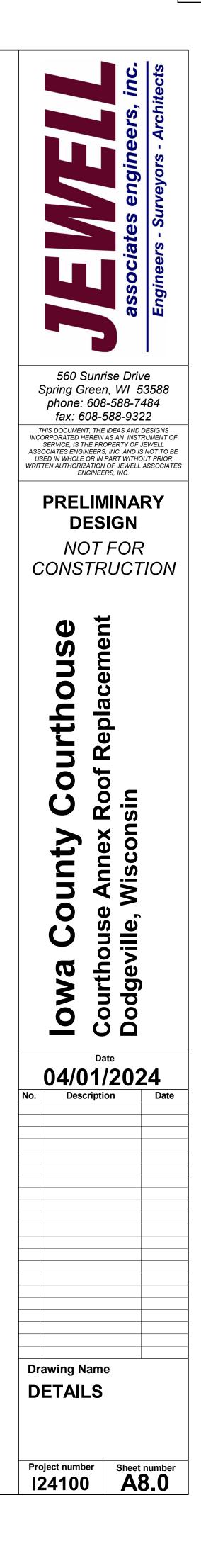




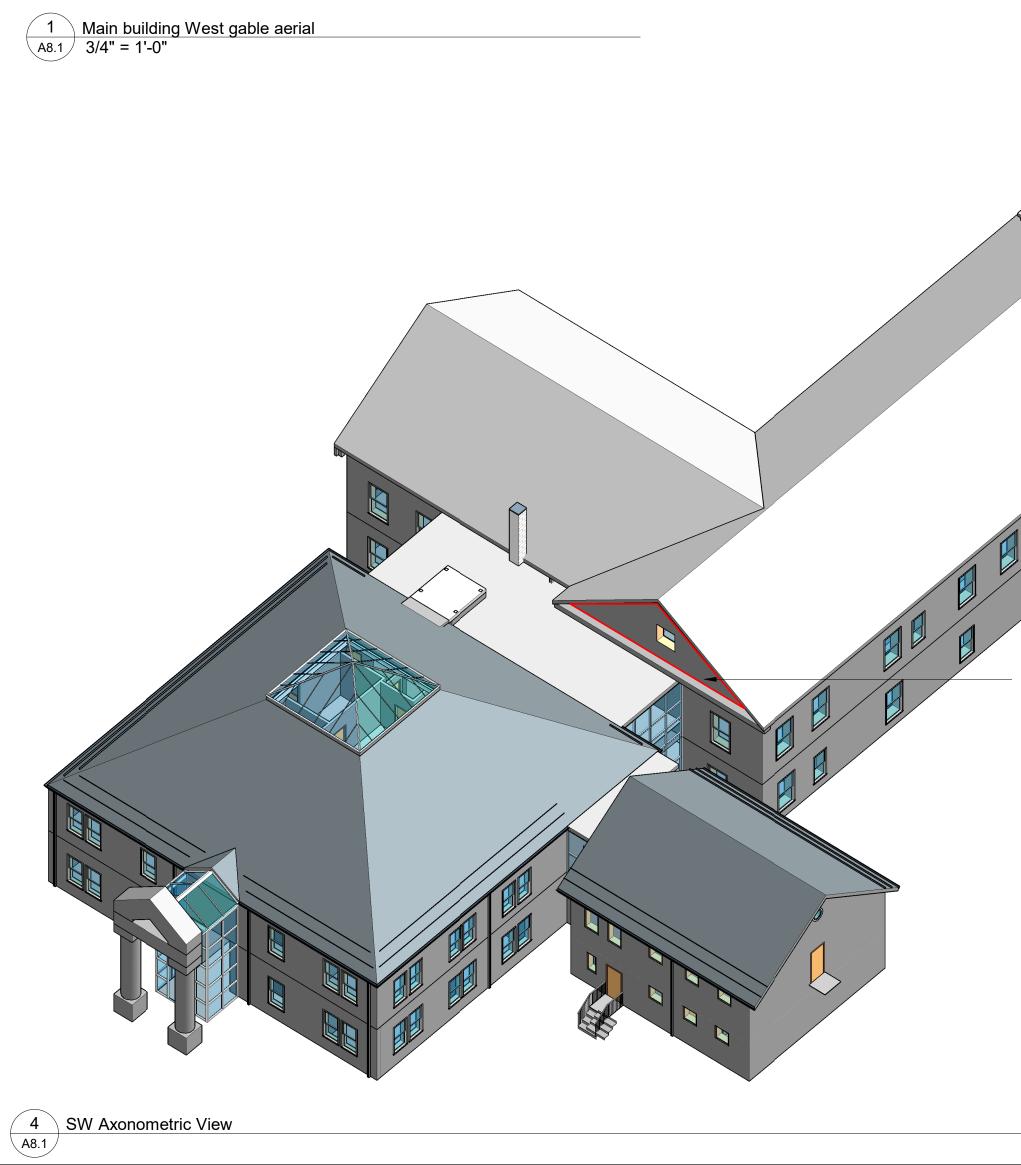
- STANDING SEAM ROOF PANEL
- ICE & WATER SHIELD
- RAKE METAL TRIM
- EXISTING PLYWOOD DECK
- STANDARD CLEAT
- EXISTING FASCIA BOARD

EXISITING WOOD SOFFIT

- EXISTING SCROLL BRACE BEYOND





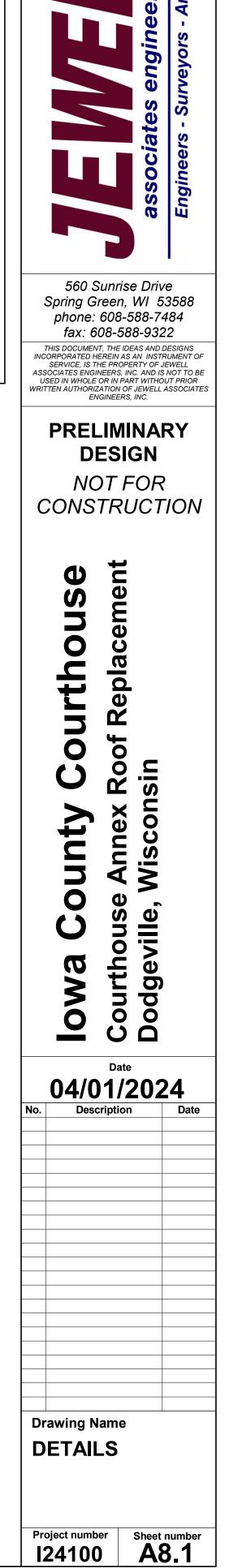


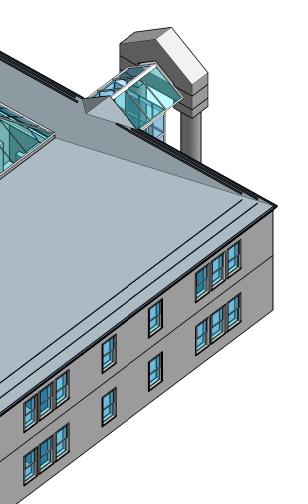
- 1 / A8.1

2 / A8.1 5 NE Axonometric View

GENERAL ROOF NOTES

- NOTIFY ARCHITECT OF ANY FIELD DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION SHOWN ON PLAN.
- NOT ALL ROOF PENETRATIONS ARE SHOWN. ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADES. 2.
- SEE HVAC DRAWINGS FOR SIZES, QUANTITIES, LOCATIONS AND TYPES OF HVAC PENETRATIONS AND ROOF TOP MOUNTED EQUIPMENT.
- 4. VERIFY ALL LOCATIONS AND QUANTITIES W/ PLUMBING CONTRACTOR.
- ARROWS INDICATE DIRECTION OF DOWNWARD SLOPE, U.N.O.
- VERIFY EXISTING CONDITIONS AT THE START OF ROOFING WORK TO CONFIRM DESIGN INTENT SHOWN ON PLANS. 6.
- ALL ROOF SLOPES TO BE MINIMUM 1/4" PER FOOT UNLESS NOTED OTHERWISE. PROVIDE TAPERED INSULATION CRICKETS AT EQUIPMENT CURBS FOR POSITIVE 8.
- DRAINAGE TO ROOF DRAINS AND SCUPPERS. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF PLUMBING VENTS, STACKS, AND OTHER ROOF PENETRATIONS.
- 10. COMPLETE ROOFING WORK PER ROOFING MANUFACTURER'S STANDARD DETAILS TO MAINTAIN ROOFING MANUFACTURER'S WARRANTY.
- 11. WHERE METAL ROOF IS SPECIFIED, REMOVE ALL ASPHALTIC ROOF & UNDERLAYMENT LAYERS DOWN TO ROOF SHEATHING/PLYWOOD. INSPECT PLYWOOD AND REPAIR/REPLACE UNSERVICABLE PLYWOOD.





- 3 / A8.1