



Agenda
Historical Preservation Commission
Wednesday, April 10, 2024 at 5:30 PM
City Hall Council Chambers, 100 E Fountain St,
Dodgeville, WI

I. CALL TO ORDER AND ROLL CALL

II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW

III. APPROVAL OF MINUTES

1. Approval of Minutes from March 13, 2024.

IV. NEW BUSINESS

2. Consideration and possible action to approve a Certificate of Appropriateness for the replacement of the shingled roof with steel on the 1873 and 1995 additions at the Iowa County Courthouse located at 222 N. Iowa Street.

V. OLD BUSINESS

3. Discussion and review of Certificate of Appropriateness form.

VI. ADJOURN

4. Motion to Adjourn

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.

3.13.24 MINUTES

5:34 PM call meeting to order- Emily

ROLL CALL: JEFF, EMILY, ANN, ROXANNE, REBECCA

Approval of minutes: Rebecca motion, Jeff second- Approved

NEW BUSINESS:

Jeff proposed HPC general email address- Jeff motion, Roxanne second

Planning commission date for Floyd School 3/28/24 5pm

Roxanne attending- other HPC members may attend.

Update HPC brochure

OLD BUSINESS:

Correction on Walking tour booklet

Discussion of review of current Certificate of Appropriateness form

ADJOURN 6:15

City of Dodgeville, Wisconsin
Historic Preservation Commission

Application for Section IV. Item #2.
of Appropriateness

Reference Chapter 16A

100 East Fountain Street
Dodgeville, WI 53533

Ann Fillback-Watt, Chair
Phone: 608-512-5303
Email: fillbackwatt@gmail.com

FOR COMMISSION USE ONLY

Chair's Signature: _____

Date Received: _____

Certificate Number: _____

Commission Action:

Approved

Disapproved

Date Action Taken: _____

Applicant

Name: Jake Tarrell on behalf of Iowa County

Address: 222 North Iowa Street

Telephone: 608-341-9285 Email: jacob.tarrell@iowacounty.org

Owner (if other than applicant)

Name: _____

Address: _____

Telephone: _____ Email: _____

Designations

Historic District:

Downtown Zoning district B-C & HD

Strong-Jones District

Other:

Old Rock School
 Col. Stevens House
 Slag Furnace

Peter Spang House
 Mining Cabin

Historic Register:

City

State

National

N/A

Nature of Improvement (check all that apply)

Adaptive

Alteration

Conservation

Demolition

New Construction

Rehabilitation

Restoration

Stabilization

Synopsis of project (one sentence):

Replacing shingled roof with steel on the 1873 and 1995 additions.

Two completed copies of this application must be submitted, along with the following: 1) a detailed description of **EACH** modification and/or improvement; 2) an exact description of all materials being used and the method of application or installation; and 3) include as many of the following as is practicable.

Photographs

Sketches/Renderings

Plans

Specifications

Sample Materials

Other: _____

As the owner or authorized agent of the owner(s) of the property that is the subject of this application, I declare that the statements herein and the attached exhibits present the information required for this application to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature _____

Estimated Project Completion Date _____

Selected Definitions

"Adaptive use" means the restrained alteration of a historical or architectural resource to accommodate uses for which the resource was not originally constructed but in such a way so as to maintain the general historical and architectural character.

"Conservation" means the sustained use and appearance of a resource essentially in its existing state.

"Rehabilitation" means the process of returning a historical or architectural resource to a state of efficiency or soundness by repair or alteration designed to encourage its continued use but without noticeable changing of the resource's exterior appearance.

"Restoration" means the process of accurately recovering all or part of the form and detail of a resource and its settings, as it appears at a particular period of time, by means of removal of later work and the replacement of missing earlier work.

"Stabilization" means the process of applying measures designated to halt deterioration and to establish the structural stability of an unsafe or deteriorated resource while maintaining the essential form, as it presently exists, without noticeably changing the exterior appearance of the resource.

