



PUBLIC NOTICE

Design Review Meeting

Tuesday, December 23, 2025 at 7:30 AM

City Hall Council Chambers, 410 E Leffler St, Dodgeville,

WI

AGENDA

I. CALL TO ORDER AND ROLL CALL

II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW

III. APPROVAL OF MINUTES

- [1.](#) Approval of minutes from November 25, 2025

IV. NEW BUSINESS

- [2.](#) Consideration of an application from DodgeBank LLC for a new bank project including external finishings, landscape, and lighting. Located at 525 E Leffler, Dodgeville, WI 53533

V. ADJOURN

3. Motion to Adjourn

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.



PUBLIC NOTICE

Design Review Meeting

Tuesday, November 25, 2025 at 7:30 AM

Dodgeville Administration Building, 410 E Leffler St,

Dodgeville, WI

AGENDA

I. CALL TO ORDER AND ROLL CALL: 7:37 AM

II. CONFIRMATION OF COMPLIANCE WITH THE OPEN MEETINGS LAW

III. APPROVAL OF MINUTES

1. Approve meeting minutes from 7/10/2025: Motion by Aaron, 2nd by Jim. Pass 3-0

IV. NEW BUSINESS

2. Discussion and possible action to approve Design Review Application from Lamar
Advertising for sign located on parcel 1206 N Bequette St, parcel #216-1132.A.
Motion by Aaron, 2nd by Jim. Pass 3-0

V. OLD BUSINESS

VI. ADJOURN

3. Motion to Adjourn: Motion by Jim, 2nd by Aaron. Pass 3-0. 7:44 AM

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or material at the meeting to be in an accessible location or format, must contact the City Clerk at the address listed above or call 930-5228, prior to the meeting so that any necessary arrangements can be made to accommodate each request.

CITY OF DODGEVILLE
DESIGN REVIEW APPLICATION
Reference Chapter 17.29

Date: 12/15/2025

To: Design Review Board
City of Dodgeville

Applicant: Carl Miller
Address: 6515 Grand Teton Plaza, Suite 120
Phone: (608) 829-4457 Email: cmiller@dimensionivmadison.com

Owner of Property if other than Applicant
Name: DodgeBank LLC. Attn: Jeffery Gillis
Address: 733 Swallowtail Drive
Phone: (608) 273-1069 Email: jgillis@fcmcorp.com

Names of Architect, professional engineer, or contractor if any:

Architect: Carl Miller	Dimension IV Madison Design Group

Street Address of Property: 525 E. Leffler St. Dodgeville, WI Parcel # Lot 3, CSM 975

Legal Description:

Lot 3, CSM 975
Vol. 7, Pp. 34-41, Doc. 287448
City of Dodgeville
Iowa County, Wisconsin

Type of Structure: Bank - Type VB Construction, B (Business) Occupancy.
Signage: Signage by tenant to be reviewed separately
Exterior lighting: Please see attached Photometrics site lighting plan
Landscaping: Please see attached Landscape plan

Zoning District of Proposed site: B-H General Highway Business

Date of Application Submittal: (To be filled in by City Staff)

Who will appear at the hearing? Carl Miller

APPLICANT OR AGENT FOR APPLICANT MUST APPEAR AT THE HEARING

2nd page is for Design Review Board use only

**CITY OF DODGEVILLE
CERTIFICATE OF DESIGN REVIEW**

Reference Chapter 17.29

Date:

To: Building Inspector
City of Dodgeville

Applicant:
Address:
Phone: Email:

Owner of Property if other than Applicant
Name:
Address:
Phone:
Email:

Property Address: Parcel #

CONDITIONS OF APPROVAL

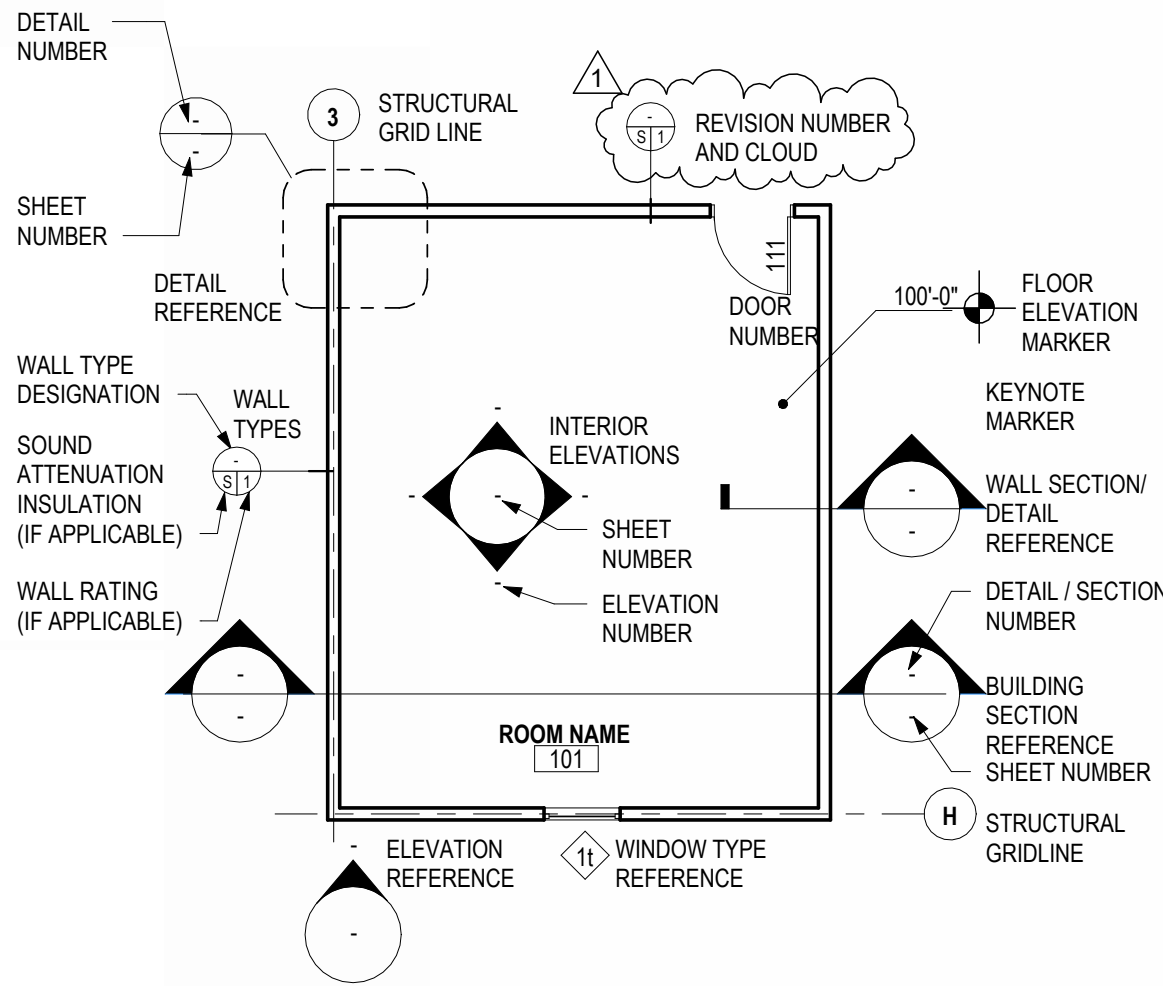
Design Review Chairman or Committee member

DODGEVILLE BANK WHITEBOX

525 E. LEFFLER STREET
DODGEVILLE, WI



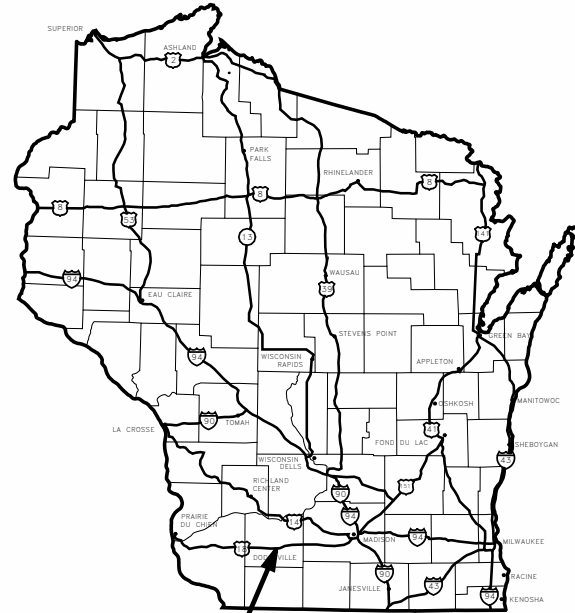
PERSPECTIVE RENDERING



LEGEND - ARCHITECTURAL SYMBOLS



VICINITY MAP



PROJECT LOCATION;
DODGEVILLE, WI

STATE MAP

PROJECT/BUILDING DATA
BUILDING AREAS TOTAL BUILDING AREA = 4,000 SQFT
PARKING COUNTS TOTAL PARKING SPACES = 20 INCLUDING (1) VAN ACCESSIBLE PARKING SPACE

SITE/ZONING DATA
SITE ZONING B-H : GENERAL HIGHWAY DISTRICT BANK IS PERMITTED USE
SETBACKS FRONT YARD: 50' SIDE YARD: 20' REAR YARD: 25' BUILDING HEIGHT: 35' NUMBER OF STORIES: 2.5 MAX

CODE INFORMATION SUMMARY
APPLICABLE CODE 2021 INTERNATIONAL BUILDING CODE WITH WI AMMENDMENTS 2017 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A117.1
OCCUPANCY CLASSIFICATION - IBC 2021-CHAPTER 3 B - BUSINESS (BANK)
ALLOWABLE HEIGHTS & AREAS - IBC 2021-CHAPTER 5 ALLOWABLE HEIGHT ABOVE GRADE PLANE = 40' ACTUAL HEIGHT ABOVE GRADE PLANE = 22'-9" TO ROOF PEAK ALLOW. STORIES ABOVE GRADE PLANE = 2 ACTUAL STORIES ABOVE GRADE PLANE = 1 ALLOWABLE FLOOR AREA = 9,000 SQ. FT. ACTUAL BUILDING FLOOR AREA = 4,000 SQ. FT.
CONSTRUCTION TYPE & FIRE RESISTANCE RATINGS - IBC 2021-CHAPTER 6 TYPE-VB - UNPROTECTED WOOD FRAME STRUCTURAL FRAME = 0 HOUR EXTERIOR BEARING WALLS = 0 HOUR EXTERIOR NON-BEARING WALLS = <5'-0" TO LOT LINE = 1 HOUR >5'-0" AND <10'-0" TO LOT LINE = 1 HOUR >10'-0" AND <30'-0" TO LOT LINE = 0 HOUR >30'-0" TO LOT LINE = 0 HOUR INTERIOR BEARING WALLS = 0 HOUR FLOOR ASSEMBLIES = 0 HOUR ROOF ASSEMBLIES = 0 HOUR
FIRE & SMOKE PROTECTION FIRE RATINGS - IBC 2021 - CHAPTER 7 ATTIC DRAFT STOPPING: (SEE IBC 2015 - §718.4.2 & §718.4.3) FIREBLOCKING IN CONCEALED WALL SPACES: VERTICALLY AT CEILING AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
FIRE SPRINKLER - IBC 2021- CHAPTER 9 BUILDING IS NON SPRINKLERED
SEE CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION

Architecture :

General Contractor:

Civil Engineering:

Structural Engineering:

MEP Engineering:

Interior Design:

Interior / Exterior Signage Design:

Dimension IV - Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

FCM Corporation

4906 Femrite Drive, Madison, WI 53716
p: 608.273.1069 www.fcmcorp.com

Quam Engineering

4604 Siggleskow Road, Suite A, McFarland, WI 53558
p: 608.838.7750 www.quamengineering.com

Strategic Structural Design

725 Heartland Trail, Suite 201, Madison, WI 53717
p: 608.841.1850 www.strategicstructural.com

Design / Build by Owner

LIST OF DRAWINGS

GENERAL

G0.1	COVER SHEET
G1.0	CODE COMPLIANCE PLAN

CIVIL

C-1	EXISTING SITE PLAN
C-2	PRELIMINARY SITE PLAN
C-3	PRELIMINARY GRADING AND EROSION CONTROL PLAN
C-4	PRELIMINARY UTILITY PLAN
C-5	LANDSCAPE PLAN
E-1	SITE LIGHTING PHOTOMETRICS

ARCHITECTURAL SITE

AS1.0	ARCHITECTURAL SITE PLAN
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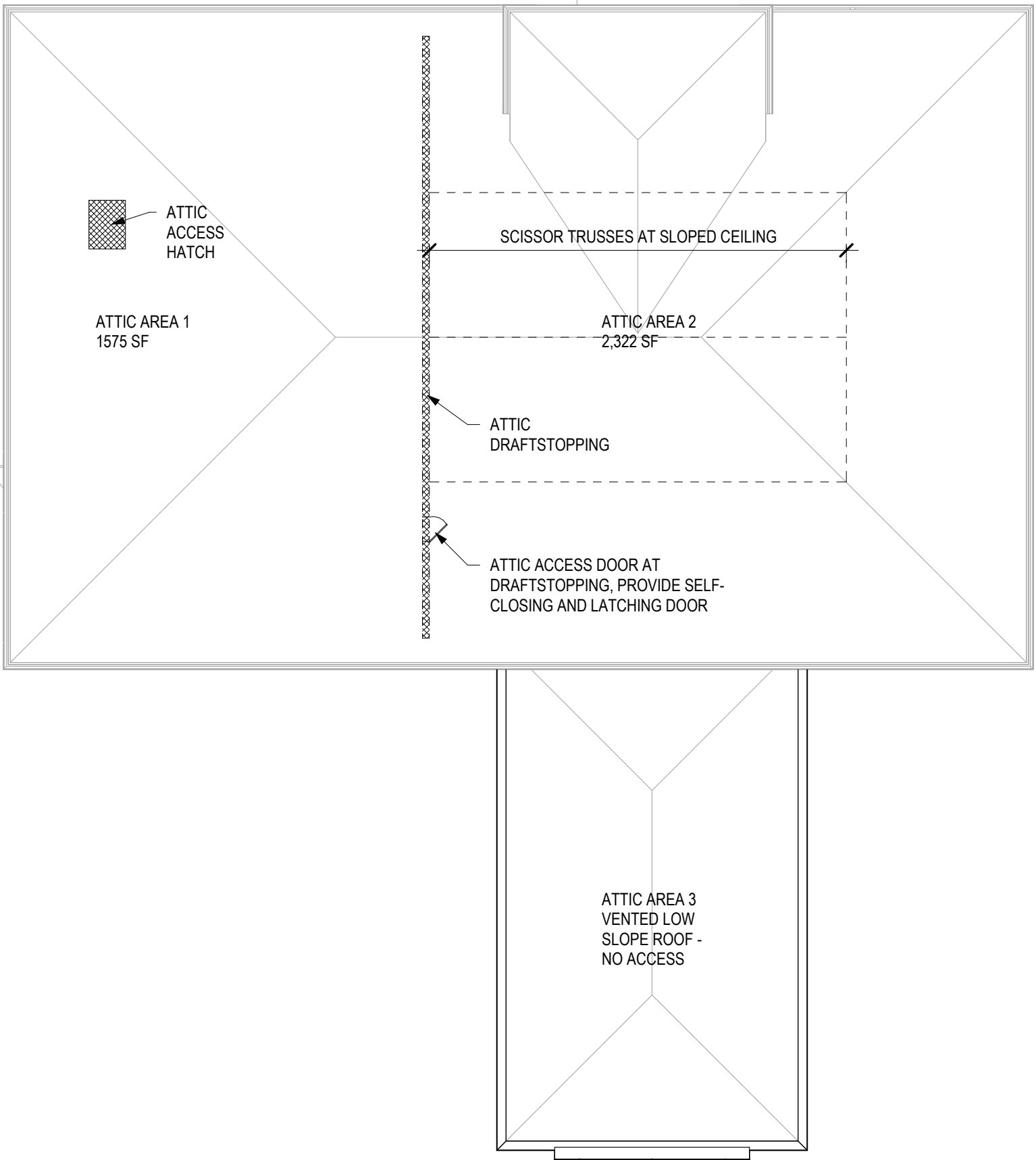
ARCHITECTURAL

A1.1	FIRST FLOOR PLAN
A1.2	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR RENDERINGS
A3.0	BUILDING SECTIONS
A4.1	FIRST FLOOR REFLECTED CEILING PLAN
A6.0	ASSEMBLY TYPES
A7.0	MATERIAL BOARD

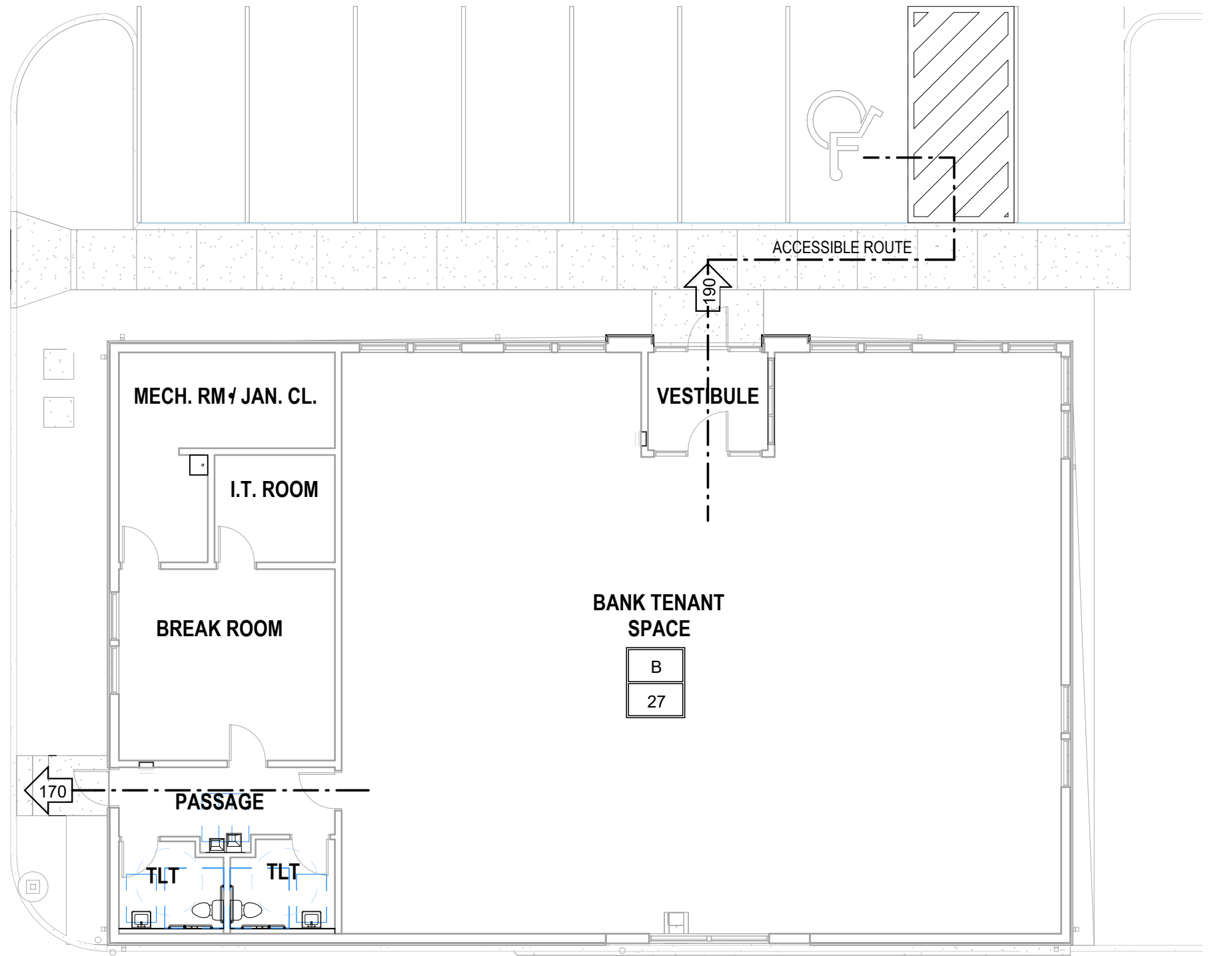
DESIGN REVIEW BOARD SUBMITTAL 12/16/2025

PROJECT # 25071

G0.1



2 ATTIC COMPLIANCE PLAN
3/32" = 1'-0"



1 FIRST FLOOR CODE COMPLIANCE PLAN
3/32" = 1'-0"

PLUMBING FIXTURE COUNT

TOTAL OCCUPANTS: 28

MEN: 14
WOMEN: 14

FIXTURE	MEN		WOMEN	
	REQ'D	PROVIDED	REQ'D	PROVIDED
LAV	1	1	1	1
WC	1	1	1	1
URINAL	0	0		

ATTIC COMPLIANCE GENERAL NOTES

- A. DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000SF
- B. OPENINGS IN ATTIC DRAFTSTOPPING PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

CODE COMPLIANCE GENERAL NOTES

- A. REFER TO SHEET G0.4 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.
- B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
- C. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100'-0" PER 1006.2.1 & 1029.8.
- D. EXIT ACCESS TRAVEL DISTANCE IS 200'-0" WITH SPRINKLERS PER TABLE 1017.2.
- E. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.5
- F. ALL FIRE RATED ASSEMBLIES WITHIN CONCEALED ACCESSIBLE SPACES SHALL CLEARLY & PERMANANTLY IDENTIFIED PER 703.5

CODE INFORMATION SUMMARY

APPLICABLE CODE
2021 INTERNATIONAL BUILDING CODE WITH WI AMMENDMENTS
2017 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A117.1

OCCUPANCY CLASSIFICATION - IBC 2021-CHAPTER 3
B - BUSINESS (BANK)

ALLOWABLE HEIGHTS & AREAS - IBC 2021-CHAPTER 5
ALLOWABLE HEIGHT ABOVE GRADE PLANE = 40'
ACTUAL HEIGHT ABOVE GRADE PLANE = 22'-9" TO ROOF PEAK
ALLOW. STORIES ABOVE GRADE PLANE = 2
ACTUAL STORIES ABOVE GRADE PLANE = 1
ALLOWABLE FLOOR AREA = 9,000 SQ. FT.
ACTUAL BUILDING FLOOR AREA = 4,000 SQ. FT.

CONSTRUCTION TYPE & FIRE RESISTANCE RATINGS - IBC 2021-CHAPTER 6
TYPE-VB - UNPROTECTED WOOD FRAME
STRUCTURAL FRAME = 0 HOUR
EXTERIOR BEARING WALLS = 0 HOUR
EXTERIOR NON-BEARING WALLS =
<5' - 0" TO LOT LINE = 1 HOUR
>5' - 0" AND <10' - 0" TO LOT LINE = 1 HOUR
>10' - 0" AND <30' - 0" TO LOT LINE = 0 HOUR
>30' - 0" TO LOT LINE = 0 HOUR
INTERIOR BEARING WALLS = 0 HOUR
FLOOR ASSEMBLIES = 0 HOUR
ROOF ASSEMBLIES = 0 HOUR

FIRE & SMOKE PROTECTION FIRE RATINGS - IBC 2021 - CHAPTER 7
ATTIC DRAFT STOPPING: (SEE IBC 2015 - §718.4.2 & §718.4.3)
FIREBLOCKING IN CONCEALED WALL SPACES: VERTICALLY AT CEILING AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.

FIRE SPRINKLER - IBC 2021-CHAPTER 9
BUILDING IS NON SPRINKLERED

SEE CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION

CODE COMPLIANCE SYMBOLS LEGEND

- FEC INDICATES FIRE EXTINGUISHER CABINET LOCATION
- B
XXX INDICATES OCCUPANCY TYPE AND CAPACITY
- INDICATES ADA ACCESSIBLE ROUTE
- XXX INDICATES EXIT AND EXIT CAPACITY
EGRESS WIDTH FACTOR
STAIRWAYS = 0.3" PER OCCUPANT
ALL OTHER EGRESS COMPONENTS = 0.2" PER OCCUPANT
- . --- INDICATES 1 HOUR FIRE RATED ASSEMBLY (SEC 709)
- EXIT DISTANCE 20' - 0"
200'-0" MAX ALLOWED INDICATES EXIT ACCESS TRAVEL DISTANCE
- CPT 20' - 0"
100'-0" MAX ALLOWED INDICATES COMMON PATH OF TRAVEL DISTANCE

DESIGN REVIEW
BOARD SUBMITTAL

DATE OF ISSUE: 12/16/2025

REVISIONS:

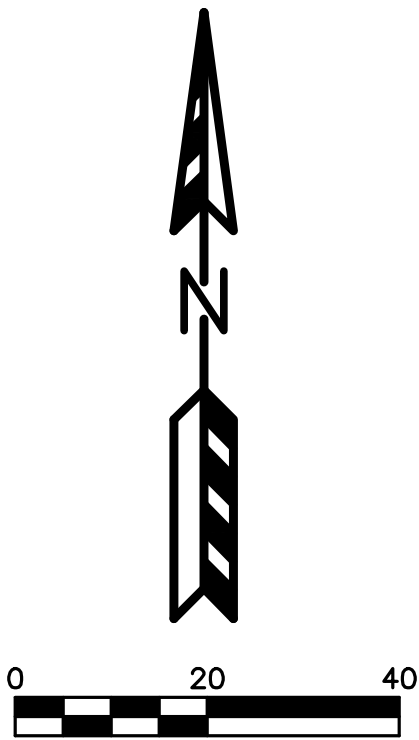
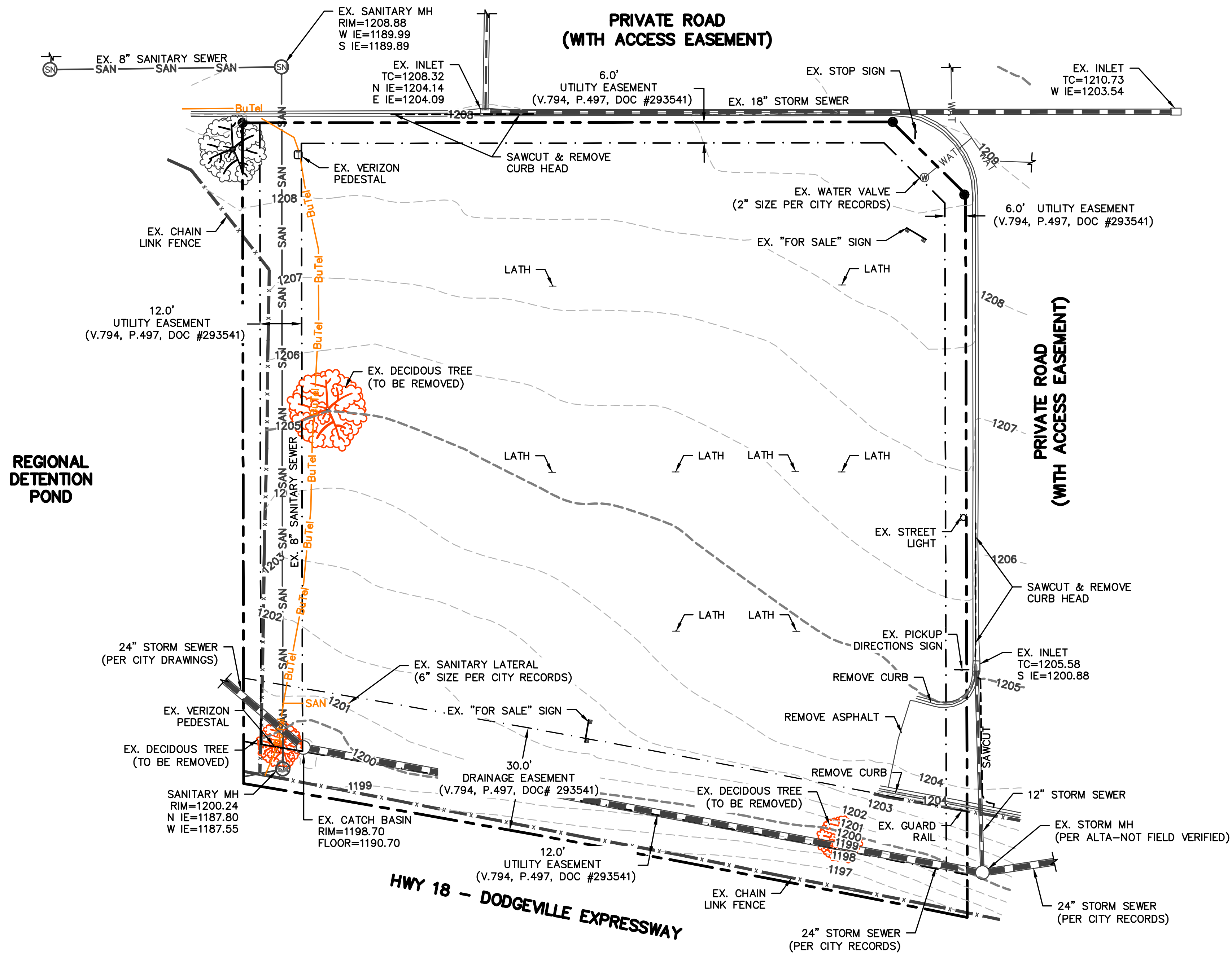
PRELIMINARY

NOT FOR
CONSTRUCTION

PROJECT # 25071

CODE COMPLIANCE
PLAN

G1.0



EXISTING UTILITY NOTES:
ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. IT SHOULD NOT BE INTERPRETED THAT THE UTILITIES ARE SHOWN IN THEIR EXACT LOCATIONS OR THAT THEY ARE THE ONLY UTILITIES WITHIN THE AREA. REFERENCE DIGGER'S HOTLINE NUMBERS: 20254517807

EXISTING SITE PLAN NOTES:
PROPERTY LINES SHOWN ARE BASED ON ALTA/ASCM LAND TITLE SURVEY OF LOT 3, CSM 975 IN VOL. 7, PP 34-41, DOC. 287448 WHICH HAS TO FIT MONUMENTS FOUND DURING THE FIELD SURVEY.

PROPERTY BOUNDARY INFORMATION SHOWN DOES NOT REPRESENT A PROFESSIONAL PROPERTY BOUNDARY SURVEY MEETING CHAPTER A-E 7 OF WISCONSIN ADMINISTRATIVE CODE.

NO LIABILITY (EITHER EXPRESSED OR IMPLIED) FOR THE ACCURACY OF THE PROPERTY BOUNDARY DELINEATED HEREIN IS ASSUMED BY QUAM ENGINEERING, LLC.

THIS EXISTING SITE PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS. THEREFORE THE PROPERTY MAY BE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS, AND STATEMENTS OF FACT REVEALED BY EXAMINATION OF SUCH DOCUMENTS.

LEGEND FOR COMMON LINES:	
---1206---	EXISTING MINOR CONTOUR
---1205---	EXISTING MAJOR CONTOUR
----	PROPERTY LINE
-.-.-.-	EASEMENT LINE
-x-x-x-	EXISTING CHAIN LINK FENCE
WAT	EXISTING BURIED WATER MAIN/SERVICE
SAN	EXISTING BURIED SANITARY SEWER/LATERAL

LOT 3, CSM 975 – DODGEVILLE BANK

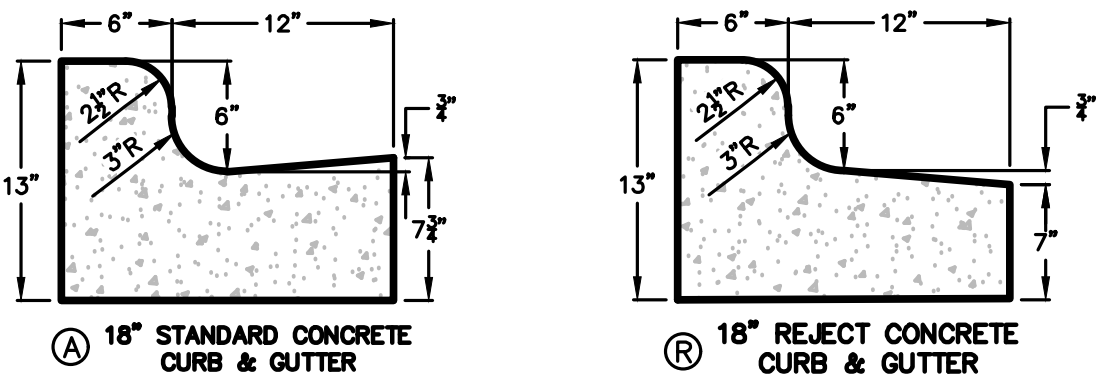
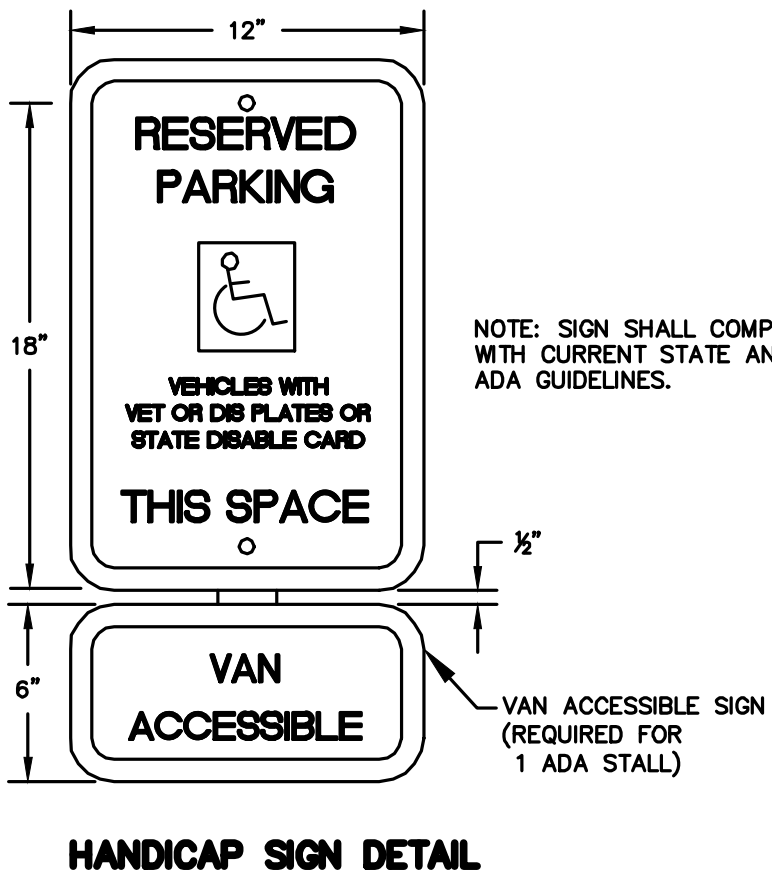
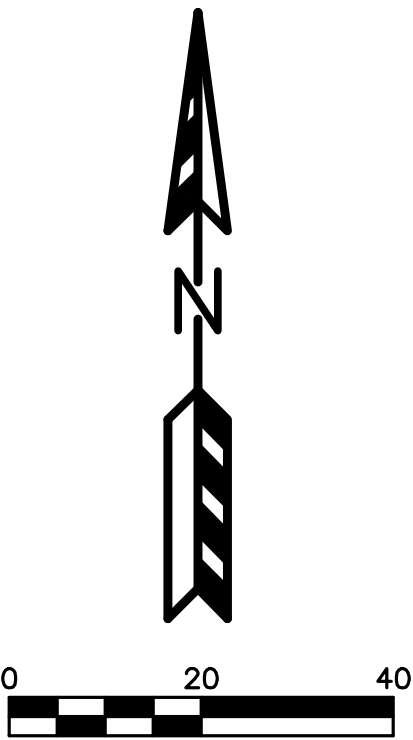
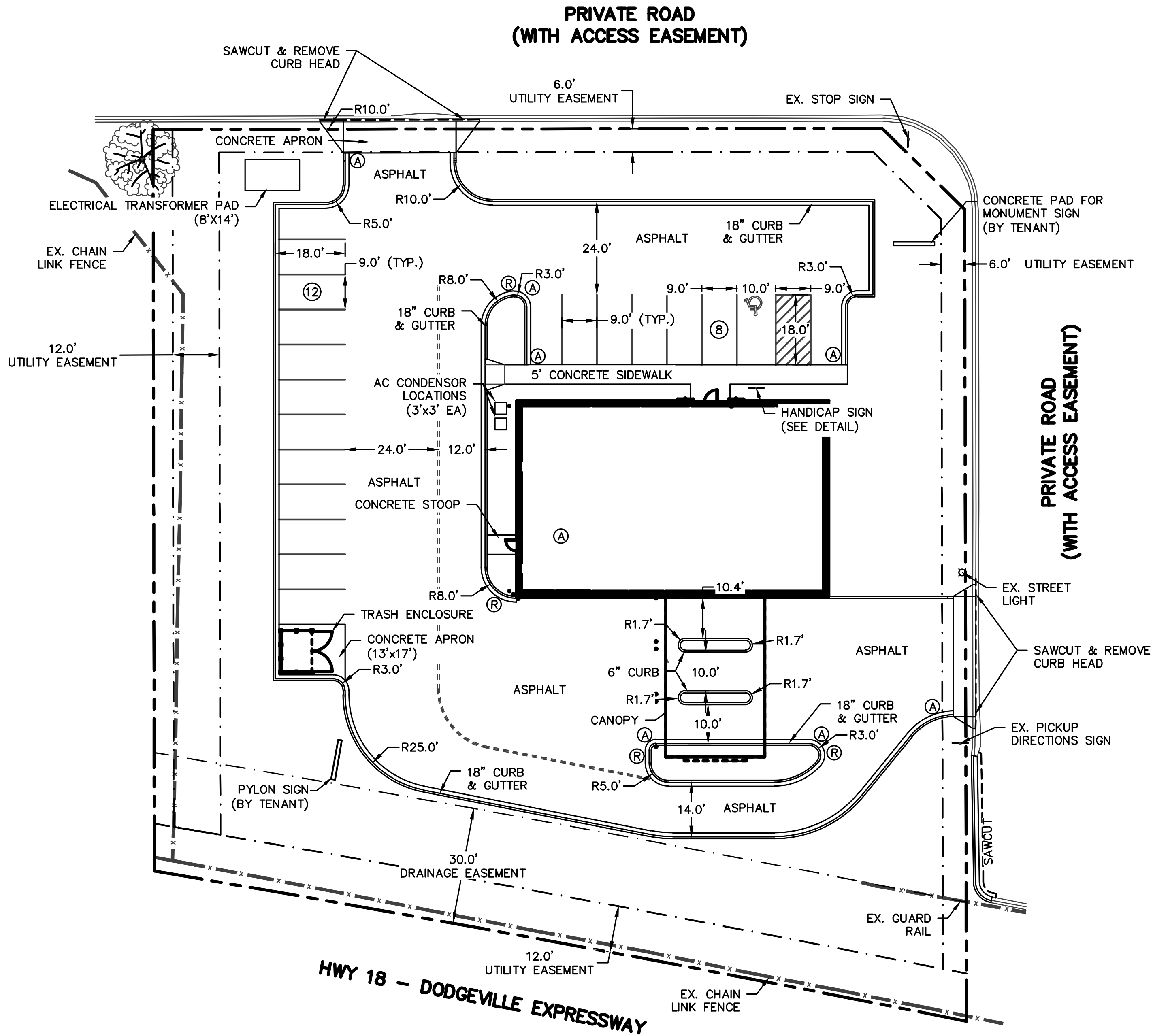
EXISTING SITE PLAN

SHEET: C-1
DATED: DECEMBER 16, 2025



www.quamengineering.com
4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

REGIONAL
DETENTION
POND



- CONCRETE CURB NOTES:**
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE OF ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 - IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE.

- LEGEND FOR COMMON LINES:**
- 1206--- EXISTING MINOR CONTOUR
 - 1205--- EXISTING MAJOR CONTOUR
 - PROPERTY LINE
 - - - - - EASEMENT LINE
 - x - x - x - EXISTING CHAIN LINK FENCE
 - WAT--- EXISTING BURIED WATER MAIN/SERVICE
 - SAN--- EXISTING BURIED SANITARY SEWER/LATERAL

LOT 3, CSM 975 – DODGEVILLE BANK

SITE PLAN

SHEET: C–2
DATED: DECEMBER 16, 2025



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Phone (608) 838–7750; Fax (608) 838–7752

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A – McFarland, WI 53558 (608) 838-7750 \JG-20-25\JG20BASE.DWG

EROSION NOTES:
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE PUBLIC STREET. SEDIMENT REACHING PUBLIC STREET SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1.

ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHALL BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHALL BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
FEBRUARY 16 – MARCH 2, 2026 INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.
MARCH 2, 2026 – AUGUST 31, 2026 CONSTRUCT PARKING LOT AND BUILDING.
AUGUST 15, 2026 – OCTOBER 1, 2026 INSTALL LANDSCAPING AND RESTORE ALL PVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:
RESTORATION SHALL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL.

ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH OR EROSION MAT. EROSION MAT LIMITS ARE SHOWN ON THE GRADING & EROSION CONTROL PLAN. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NO MOW MIX WITH ANNUAL RYE GRASS SHALL BE USED ON 2:1 SLOPES. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. ALL SEED MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

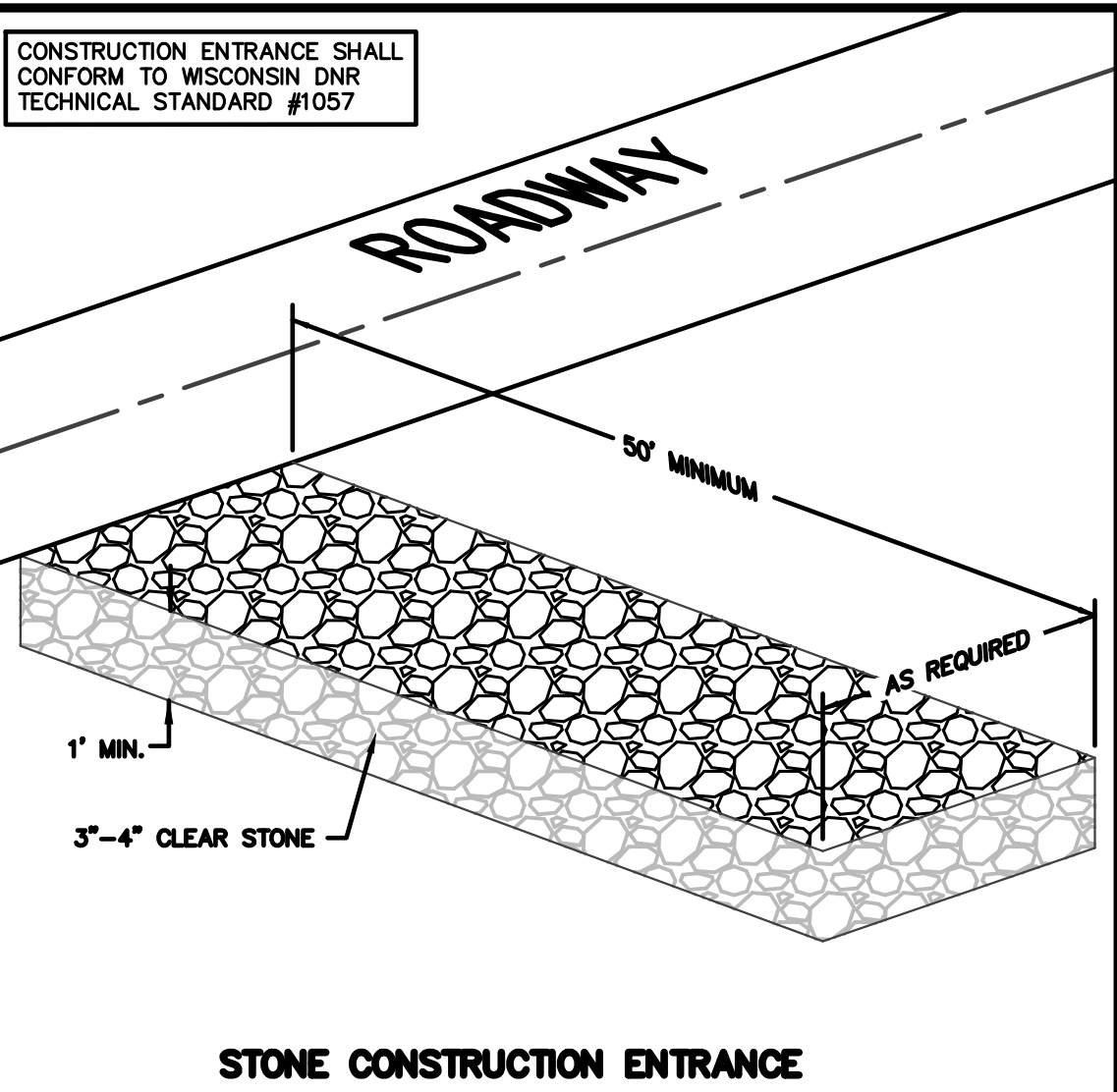
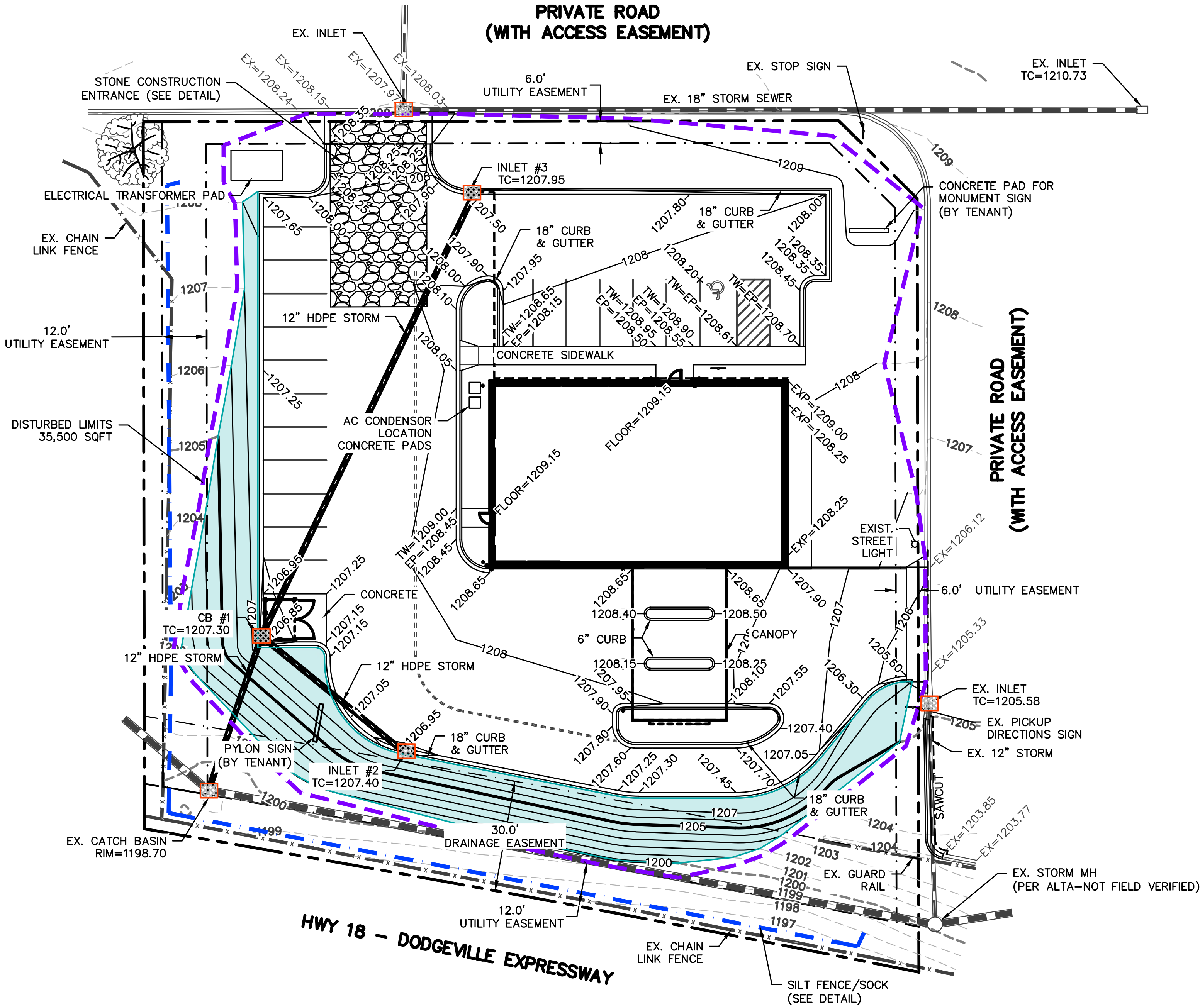
ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER. FERTILIZER SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURE 40 SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 15 IS TO BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. DORMANT SEEDING, IF NECESSARY, SHALL BE COMPLETED AFTER NOVEMBER 15. DORMANT SEEDING SHALL NOT BE APPLIED ON TOP OF SNOW. DISTURBED AREAS SHALL HAVE EROSION MAT APPLIED OVER DORMANT SEEDING. IF DORMANT SEEDING DOES NOT RESULT IN AT LEAST 70% COVER BY MAY 15, ADDITIONAL SEEDING SHALL BE REQUIRED.

OWNER:
DODGEVILLE HIGHLANDS, LLC
ATTN: JEFF GILLIS
2885 JONATHAN CIRCLE
FITCHBURG, WI 53711

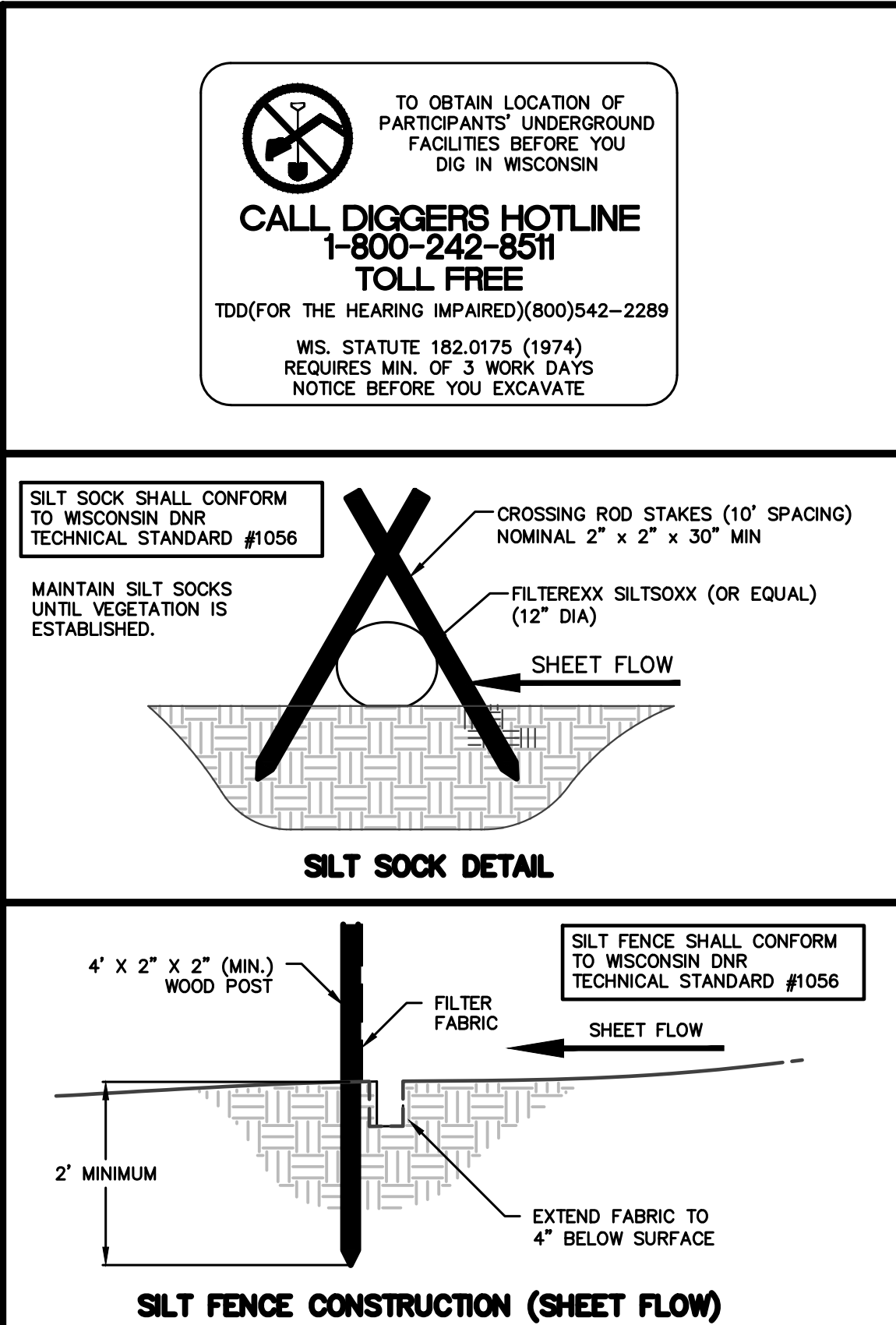
ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

REGIONAL
DETENTION
POND



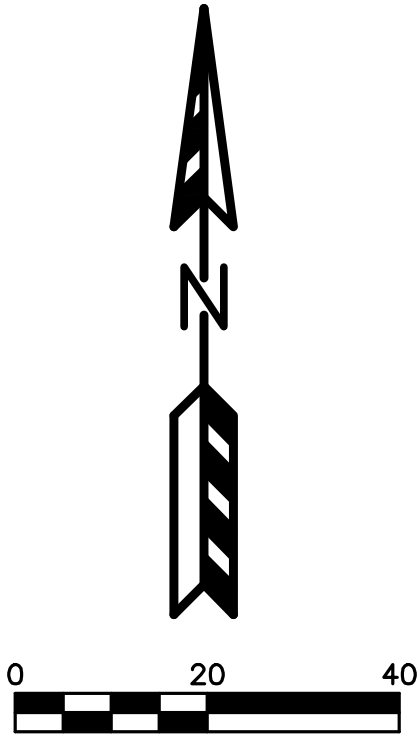
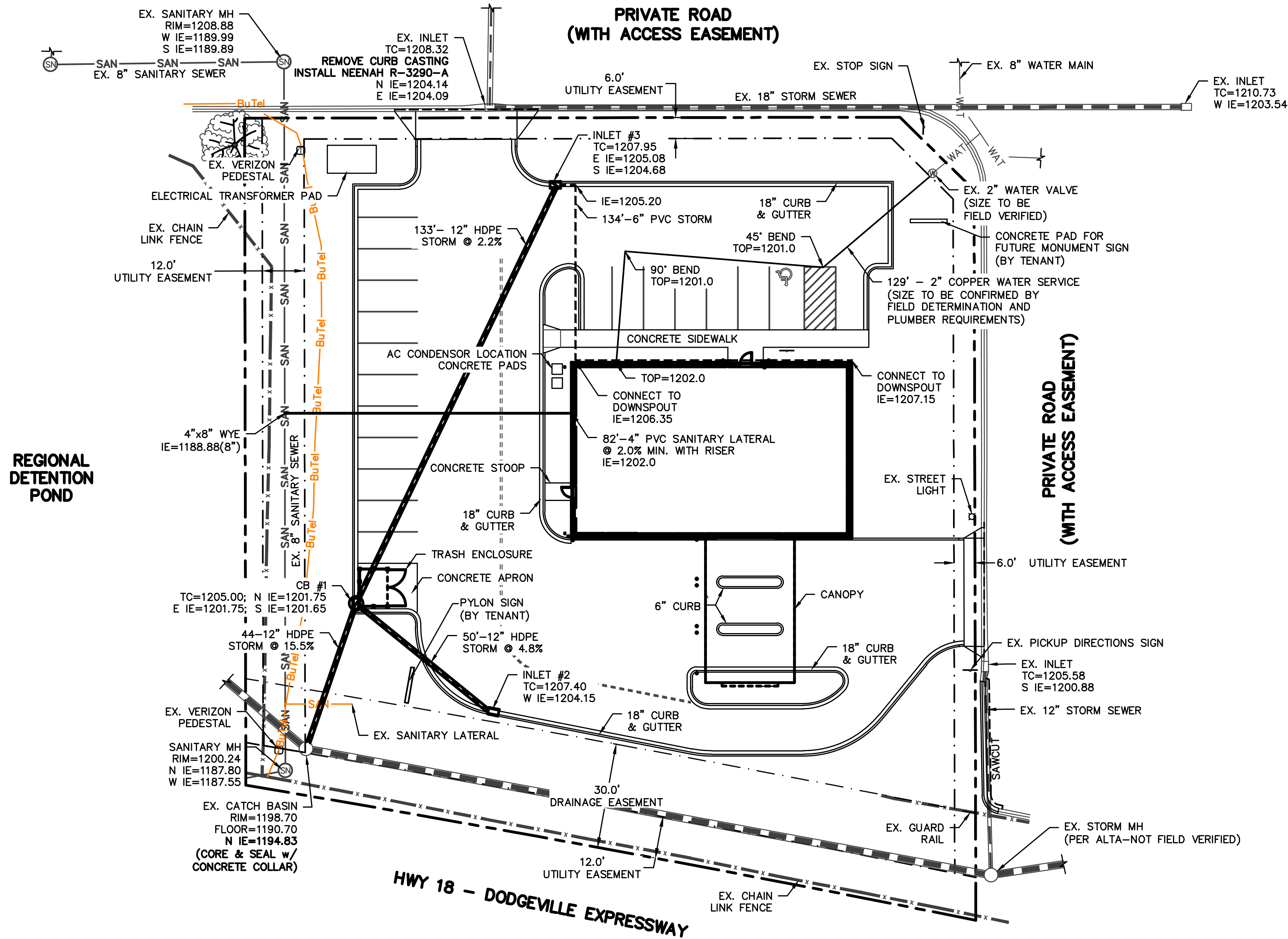
STONE CONSTRUCTION ENTRANCE

- LEGEND FOR COMMON LINES:**
- 1206 --- EXISTING MINOR CONTOUR
 - 1205 --- EXISTING MAJOR CONTOUR
 - --- PROPERTY LINE
 - - - - - EASEMENT LINE
 - x - x - x - EXISTING CHAIN LINK FENCE
 - WAT --- EXISTING BURIED WATER MAIN/SERVICE
 - SAN --- EXISTING BURIED SANITARY SEWER/LATERAL
 - --- INSTALL WSDOT CLASS I TYPE B EROSION MAT
 - [Symbol] - INSTALL FLEXSTORM CATCH-IT INLET PROTECTION DURING CONSTRUCTION. (SEE DETAIL)



LOT 3, CSM 975 – DODGEVILLE BANK
GRADING AND EROSION CONTROL PLAN
SHEET: C-3
DATED: DECEMBER 16, 2025

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



LEGEND FOR COMMON LINES:	
---	EXISTING MINOR CONTOUR
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---	PROPERTY LINE
---	EASEMENT LINE
-x-x-x-	EXISTING CHAIN LINK FENCE
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---	EXISTING BURIED SANITARY SEWER/LATERAL

LOT 3, CSM 975 – DODGEVILLE BANK

UTILITY PLAN

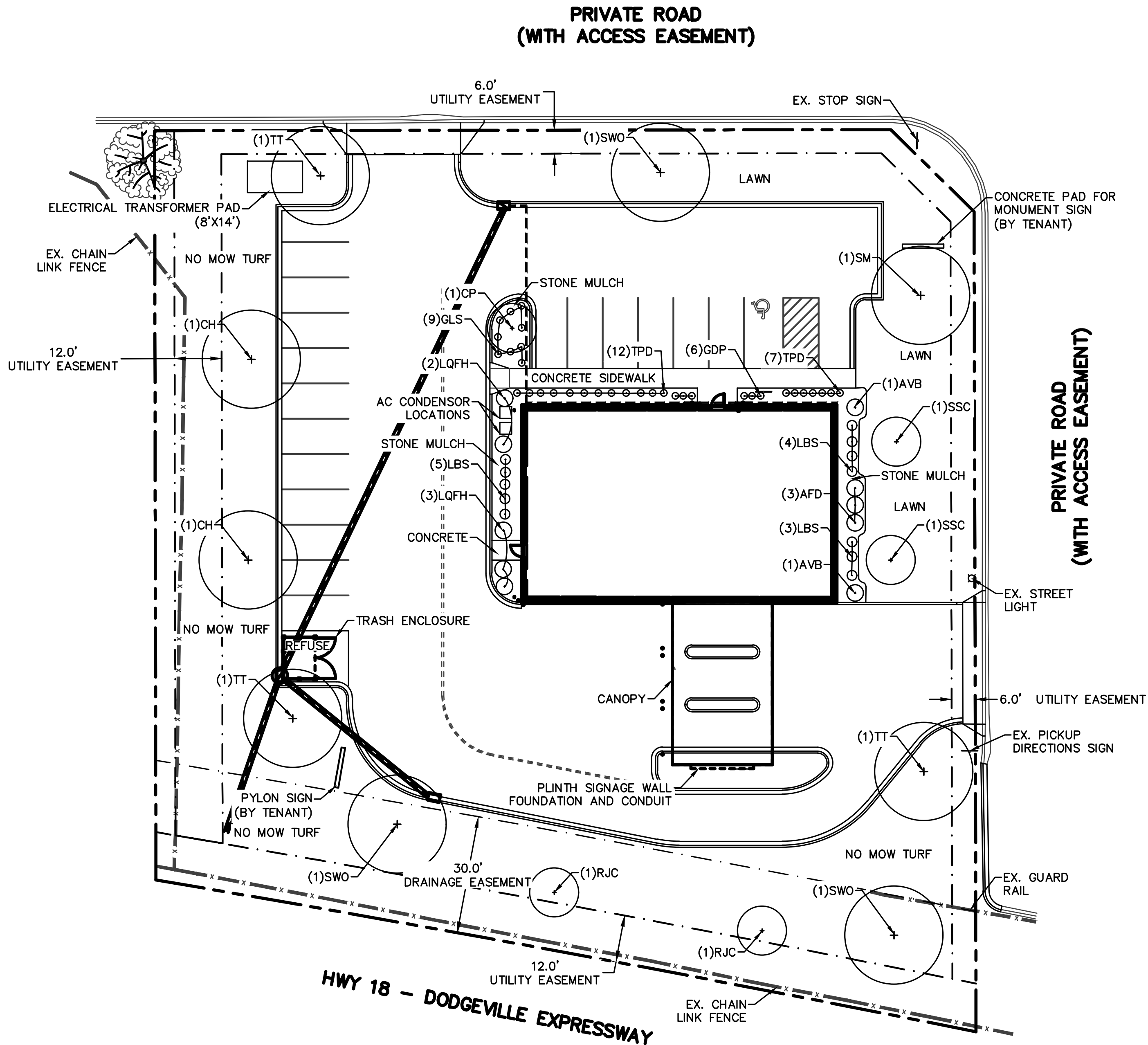
SHEET: C-4

DATED: DECEMBER 16, 2025



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Phone (608) 838-7750; Fax (608) 838-7752

REGIONAL
DETENTION
POND



- LEGEND FOR COMMON LINES:**
- 1206--- EXISTING MINOR CONTOUR
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 - SAN--- EXISTING BURIED SANITARY SEWER/LATERAL

PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
CH	(9)		Climax Trees		
	3	2"	Common Hackberry	Celtis Occidentalis	BB
	1	2"	Sugar Maple	Acer Saccharum	BB
	3	2"	Swamp White Oak	Quercus Bicolor	BB
SM	1	2"	Tulip Tree	Liriodendron Tulipifera	BB
SWO	3	2"			
TT	2	2"			
CP	(5)		Ornamental Trees		
	1	1 1/2"	Callery Pear	Pyrus Calleryana	BB
	2	1 1/2"	Red Jade Crab	Malus 'Red Jade'	BB
RJC	2	1 1/2"	Spring Snow Crab	Malus 'Spring Snow'	BB
SSC	2	1 1/2"			
AFD	(25)		Deciduous Shrubs		
	3	24"	Arctic Fire Dogwood	Cornus Sericea 'Arctic Fire'	Pot
	2	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
	6	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
	9	18"	Gro Low Sumac	Rhus Aromatica	Pot
	5	24"	Little Quick Fire Hydrangea	Hydrangea Paniculata	Pot
LQFH					
LBS	(31)		Perennials		
	12	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
TPD	19	1 G	'Tara' Prairie Dropseed	Sporobolus Heterolepis 'Tara'	Con

- NOTES:
- 1) Designated lawn areas to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mat mulch.
 - 2) Designated 'No Mow Turf' areas to receive a minimum of 4" of topsoil, 'No Mow' seed mix, starter fertilizer, and straw mulch.
 - 3) Designated 'Stone Mulch' planting beds to be mulched with #2 washed stone spread to a depth of 3" over weed barrier fabric.
 - 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
 - 5) Designated planting beds separated from lawn areas with 5" black vinyl edge.

LOT 3, CSM 975 – DODGEVILLE BANK

LANDSCAPE PLAN

SHEET: L-1

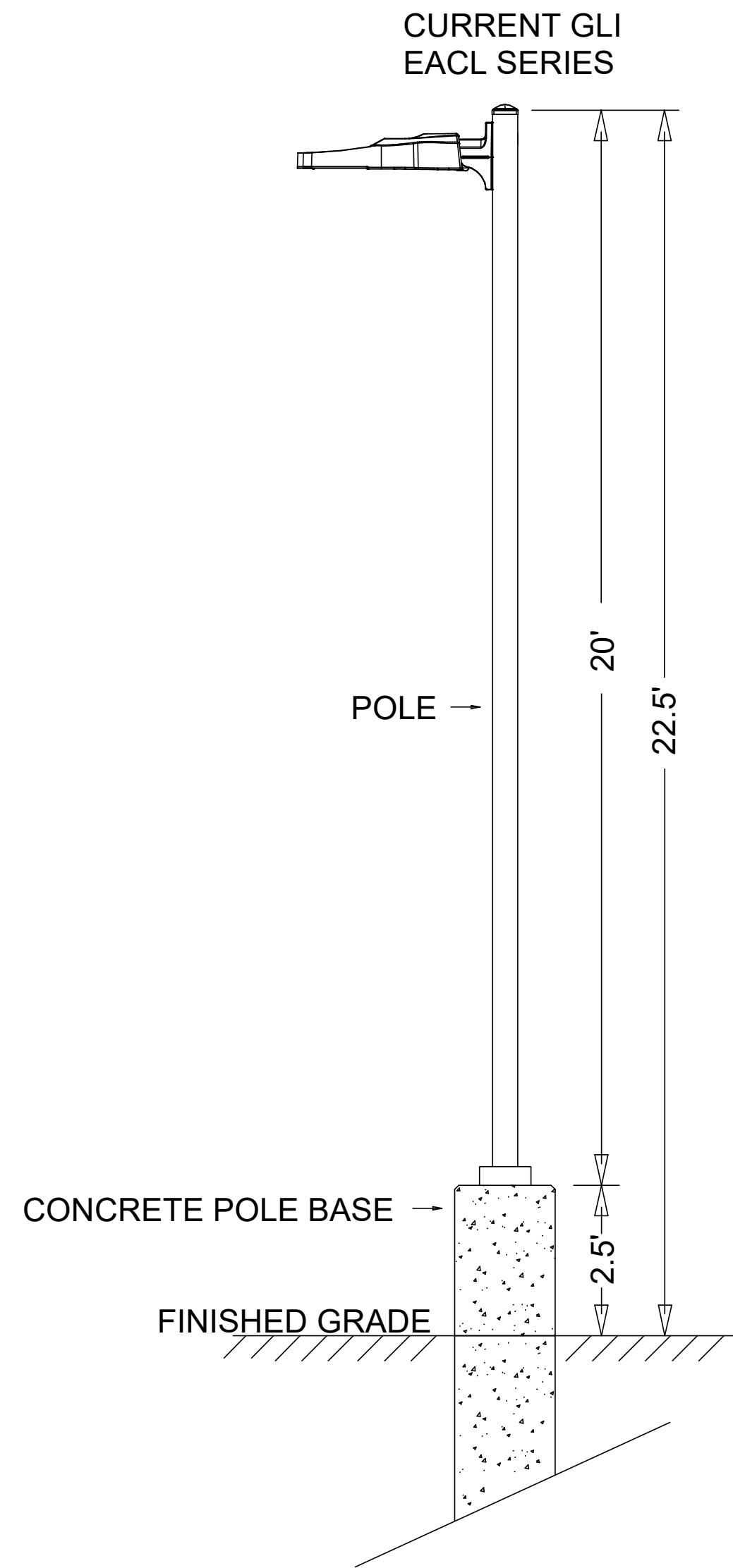
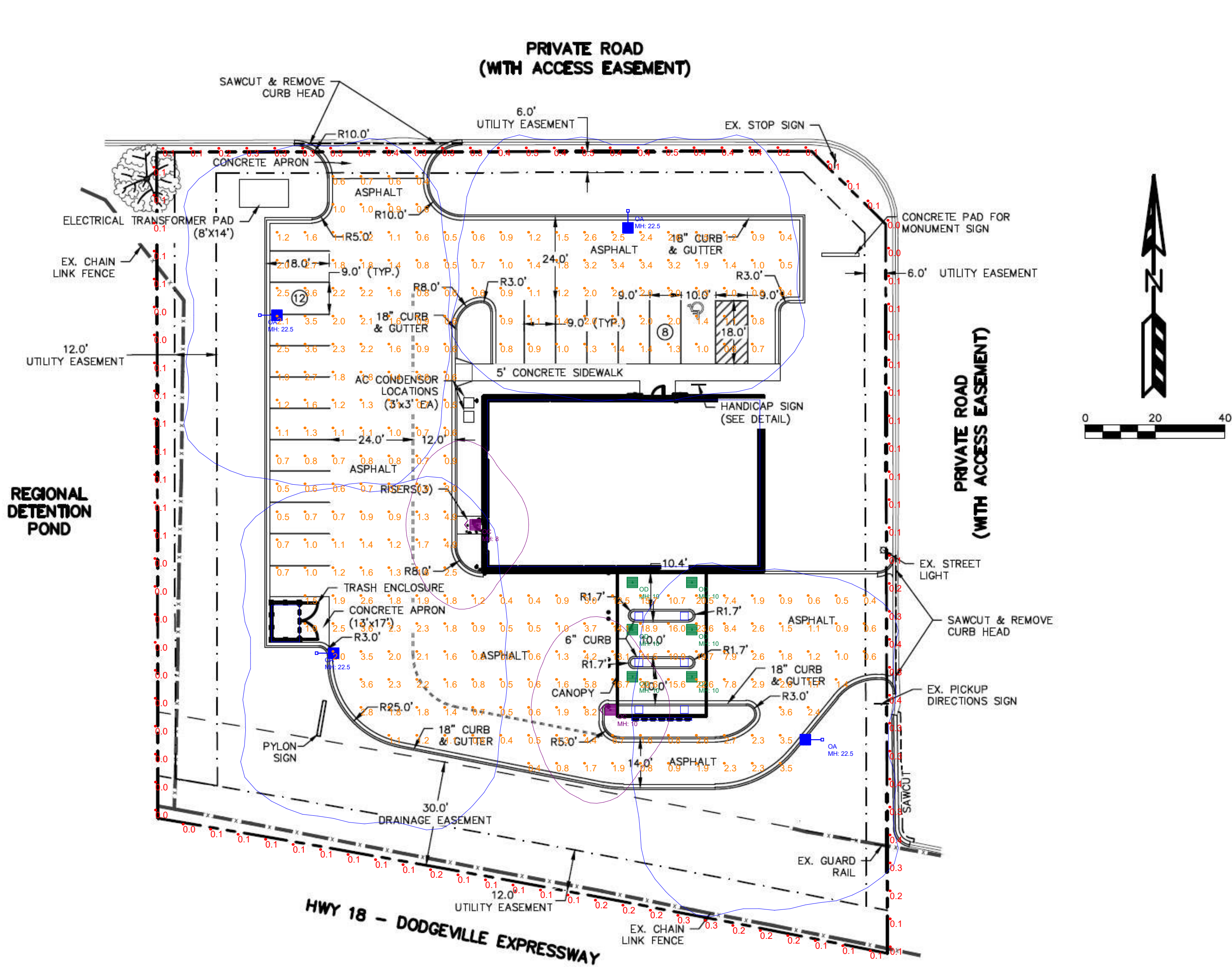
DATED: DECEMBER 16, 2025

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



www.quamengineering.com

4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838–7750; Fax (608) 838–7752



FIXTURE MOUNTING HEIGHT: SHOWN AS "MH" IN FEET ABOVE FINISHED GRADE

Luminaire Schedule								
Symbol	Label	Qty	Arrangement	Manufacturer	Description	Luminaire Watts	Luminaire Lumens	LLF
■	OA	4	Single		EACL010D4AF740X1D1DKBZ + CPS-1-140-11-20-AB-D1-DB	73	10000	0.890
■	OC	2	Single		EWLS02040AF740N1FMDKBZ	27	4000	0.890
■	OD	6	Single		ECLS010A5SM74011SMDKBZ	39	5400	0.890

MAINTAINED FOOTCANDLES SHOWN AT GRADE

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	Fc	2.53	23.6	0.4	6.33	59.00
Property Lines	Fc	0.17	0.5	0.0	N.A.	N.A.

ERI

ENGINEERED
REPRESENTATION
INC.

www.engineeredrepinc.com
262.542.6285 Wauwatosa
920.751.3922 Neenah
apps@erwi.com

Date: 12/15/2025 Scale: 1"=16'



Layout By: Andy

Project: BANK OF DODGEVILLE

Filename: 251203QU1AKCR2.AGI

LIGHT LEVELS SHOWN ARE STRICTLY FOR PURPOSES OF ESTIMATING BILL OF MATERIALS AND THE RESULTS ARE BASED ON PROJECT DETAILS GIVEN TO ENGINEERED REPRESENTATION INC. / WALLOCK DAVIES & COMPANY LLC. BEFORE OCCUPANCY OF SPACE, ALL PROJECT DETAILS AND LIGHT LEVELS SHOULD BE VERIFIED TO COMPLY WITH SAFETY AND MUNICIPAL CODES.

DODGEVILLE BANK
WHITEBOX525 E. LEFFLER STREET
DODGEVILLE, WIDESIGN REVIEW
BOARD SUBMITTAL

DATE OF ISSUE: 12/16/2025

REVISIONS:

PRELIMINARY

NOT FOR
CONSTRUCTION

PROJECT # 25071

ARCHITECTURAL
SITE PLAN

AS1.0

O'RILEY AUTO PARTS

PRIVATE DRIVE

REGIONAL DETENTION POND

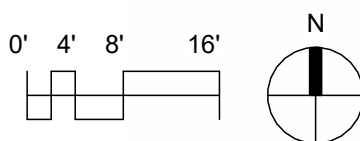
PRIVATE DRIVE

WALMART

NEW BANK BUILDING
4,000 GSF

1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"



DODGEVILLE BANK
WHITEBOX525 E. LEFFLER STREET
DODGEVILLE, WIDESIGN REVIEW
BOARD SUBMITTAL

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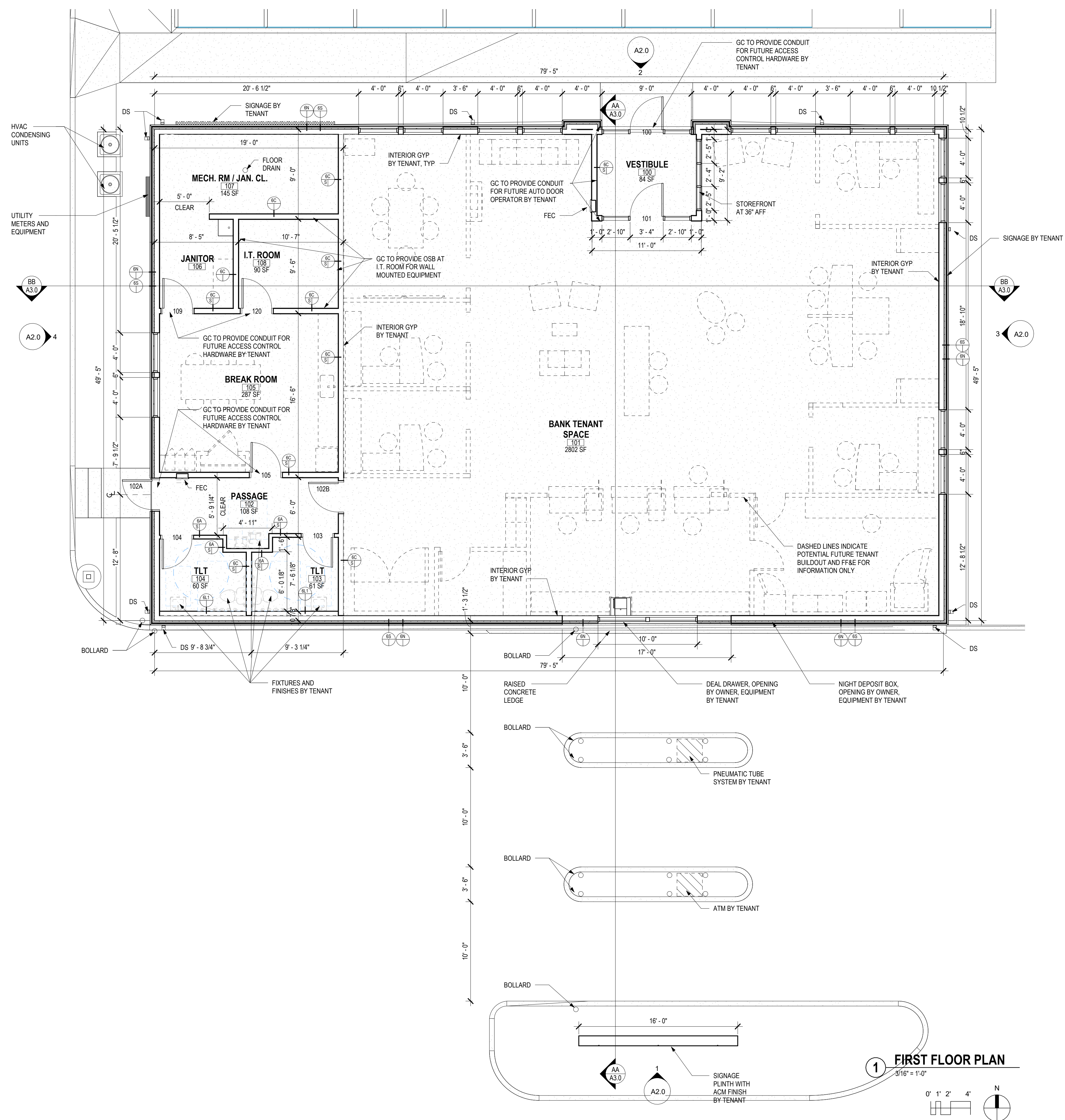
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CONSTRUCTION

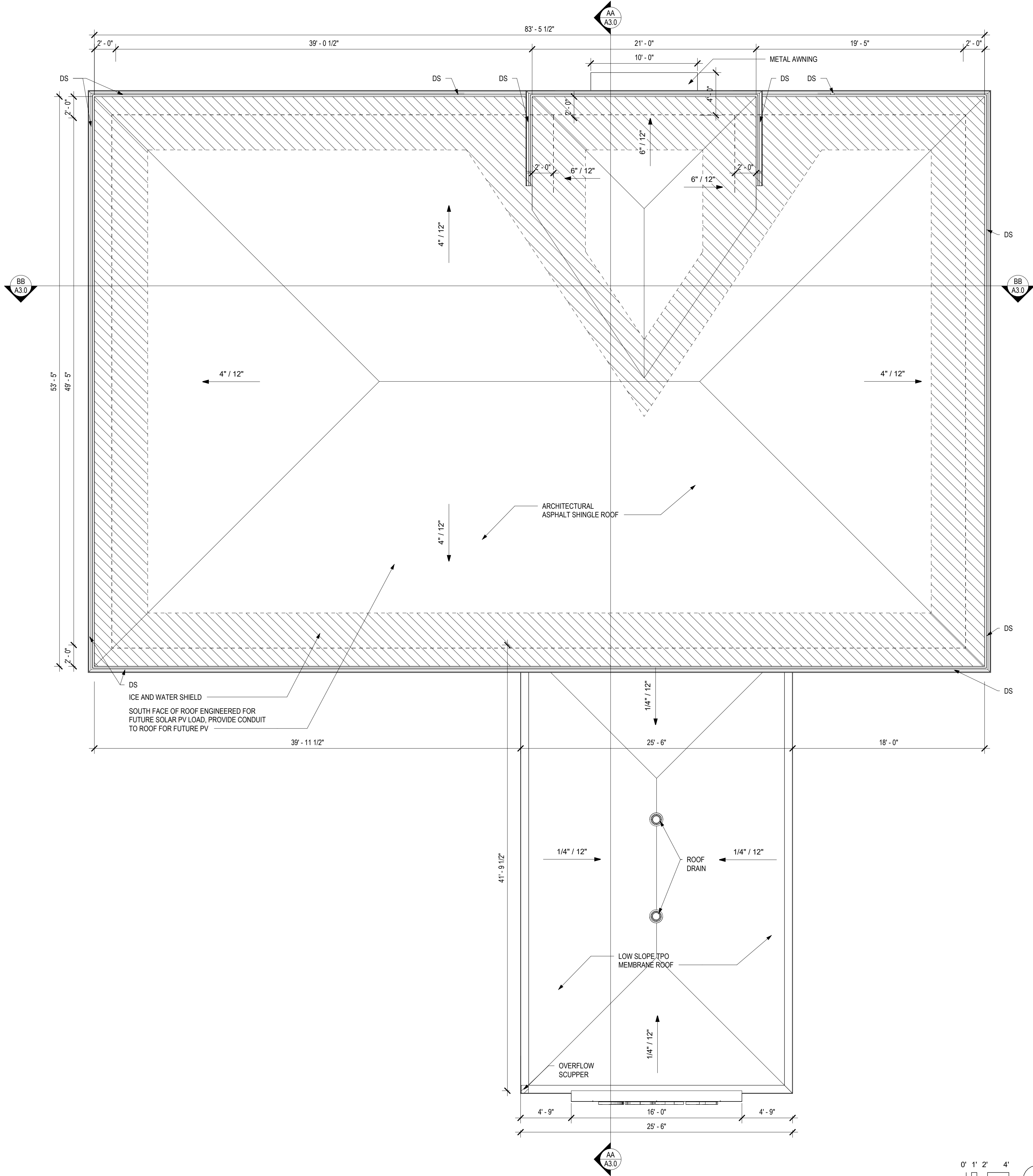
PROJECT # 25071

FIRST FLOOR PLAN

A1.1



12/16/2025 4:37:55 PM Autodesk Docs/25071 - Dodgeville Bank/25071 - Dodgeville Bank.rvt



1 ROOF PLAN
3/16" = 1'-0"

**DODGEVILLE BANK
WHITEBOX**

525 E. LEFFLER STREET
DODGEVILLE, WI

**DESIGN REVIEW
BOARD SUBMITTAL**

DATE OF ISSUE: 12/16/2025

REVISIONS:

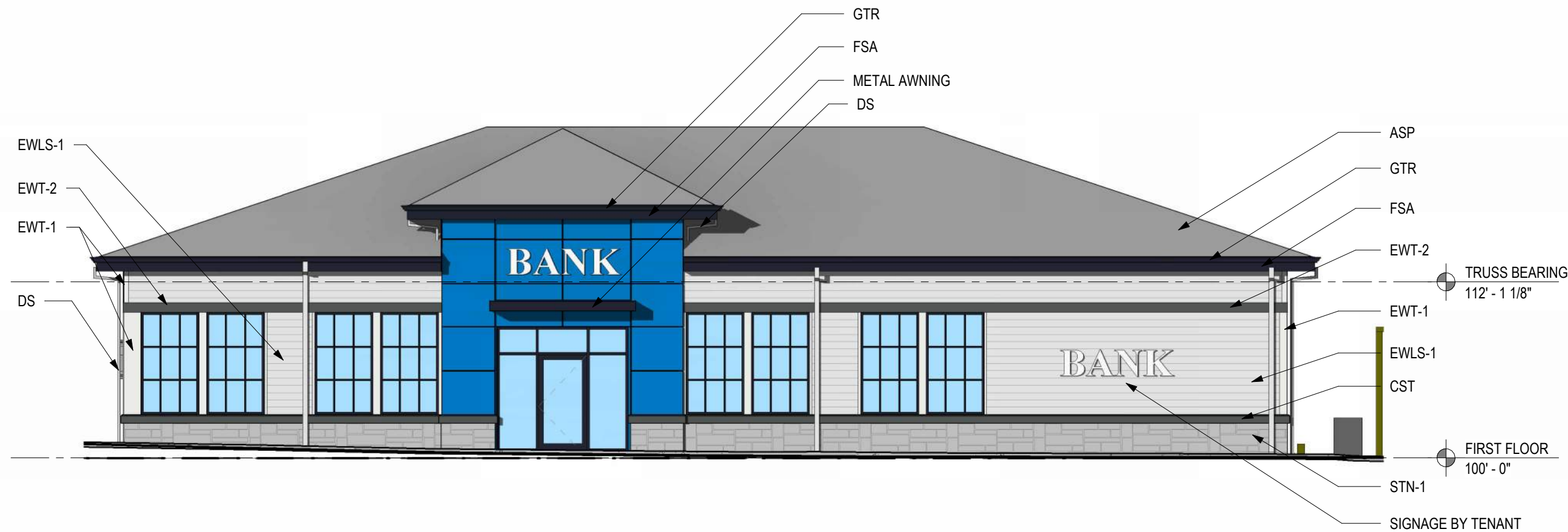
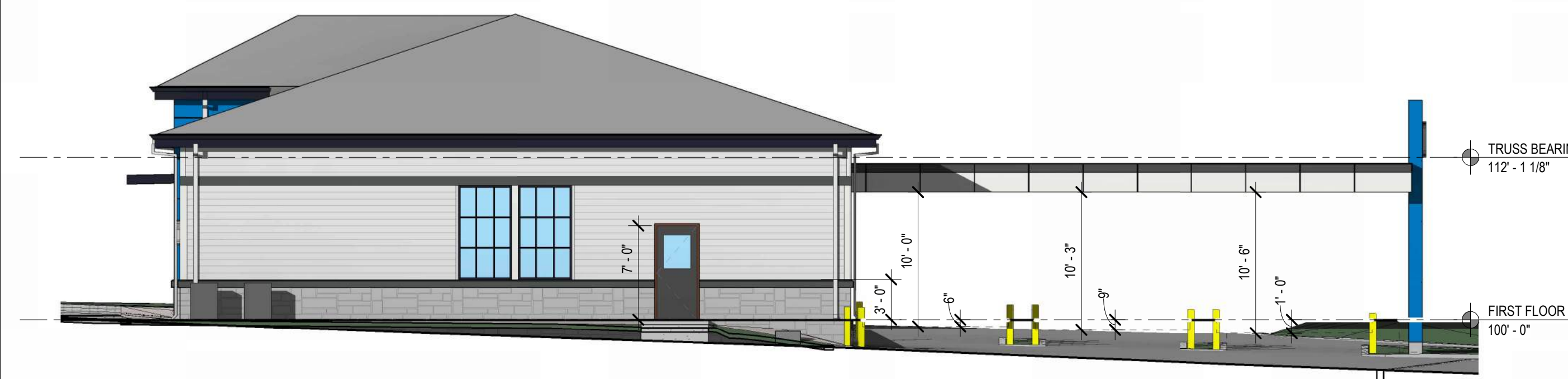
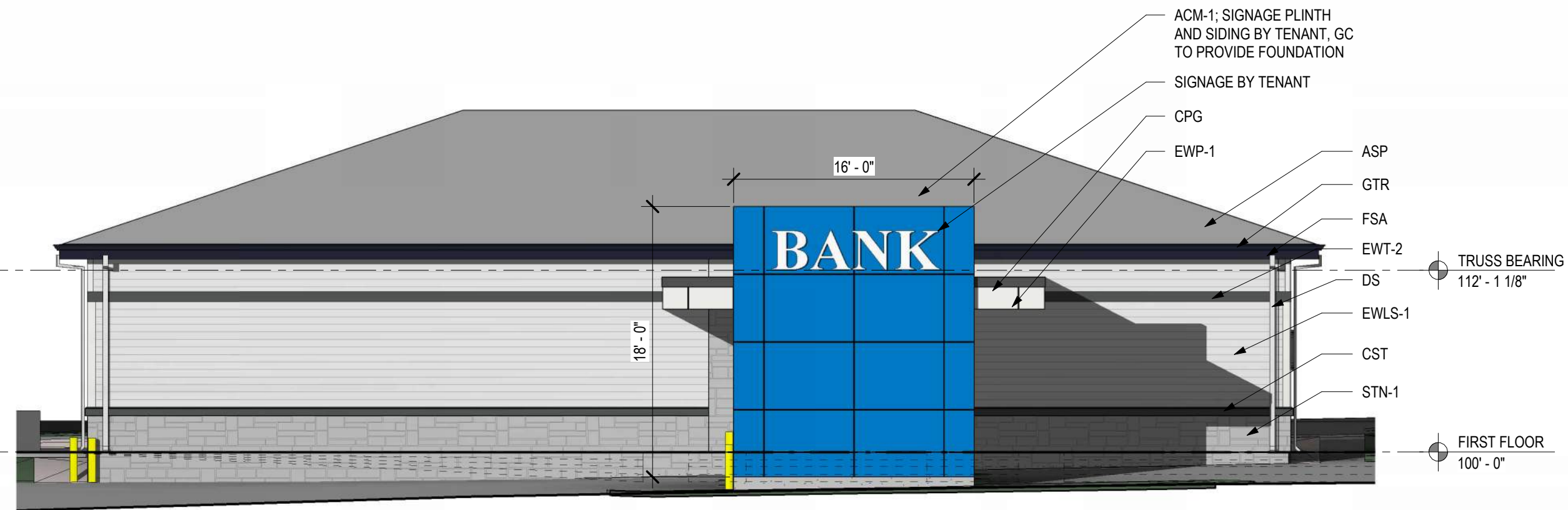
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PROJECT # 25071

ROOF PLAN

A1.2

**3 EAST ELEVATION**
1/8" = 1'-0"**2 NORTH ELEVATION**
1/8" = 1'-0"**4 WEST ELEVATION**
1/8" = 1'-0"**1 SOUTH ELEVATION**
1/8" = 1'-0"**ELEVATION LEGEND & NOTES**

MASONRY	COLOR	MORTAR
STN-1 STONE THIN VENEER	WINTER POINT (DUTCH Q)	GRAY
CST CAST STONE BAND	CHARCOAL	GRAY
CNC CONCRETE		
CJ CONTROL JOINT		
SIDING & TRIM	COLOR	
EWL-1 ENG. WOOD LAP SIDING - 6" EXPOSURE	SNOWSCAPE WHITE	
EWT-1 ENGINEERED WOOD TRIM	SNOWSCAPE WHITE	
EWT-2 ENGINEERED WOOD TRIM	MIDNIGHT SHADOW	
EWP-1 ENGINEERED WOOD PANEL	SNOWSCAPE WHITE	
PRE-FINISHED METAL	COLOR	
DS DOWNSPOUT	LIGHT GRAY	
GTR GUTTER	DARK BRONZE	
CPG COPING	DARK BRONZE	
FSA FASCIA	DARK BRONZE	
SFT VENTED SOFFIT	WHITE	
ACM-1 ALUMINIUM COMPOSITE METAL PANEL	CUSTOM BLUE	
B-1 BOLLARD	SAFETY YELLOW	
ROOFING	COLOR	
ASP ARCHITECTURAL ASPHALT SHINGLE	SLATE (GAF)	
CANOPY	COLOR	
METAL AWNING	DARK BRONZE	
STOREFRONT	COLOR	
ANODIZED ALUMINUM	DARK BRONZE	
SPANDREL GLAZING	CUSTOM BLUE	

GENERAL NOTES

- NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.
- AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.
- REFER TO WINDOW TYPE SHEET A6.2 FOR ALL WINDOW INFORMATION.
- CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

**3D2 VIEW OF DRIVETHRU****3D1 VIEW OF MAIN ENTRY****DODGEVILLE BANK
WHITEBOX**525 E. LEFFLER STREET
DODGEVILLE, WI**DESIGN REVIEW
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**EXTERIOR
ELEVATIONS****A2.0**



**DODGEVILLE BANK
WHITEBOX**

525 E. LEFFLER STREET
DODGEVILLE, WI

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**EXTERIOR
RENDERINGS**

A2.1

DODGEVILLE BANK WHITEBOX

525 E. LEFFLER STREET
DODGEVILLE, WI

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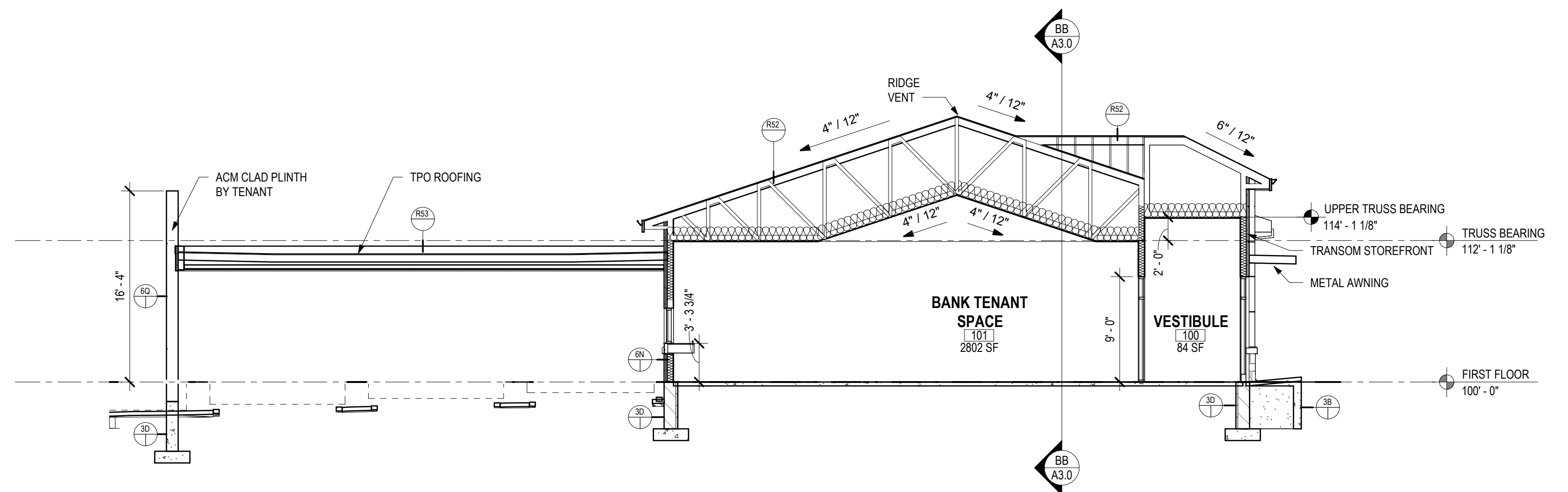
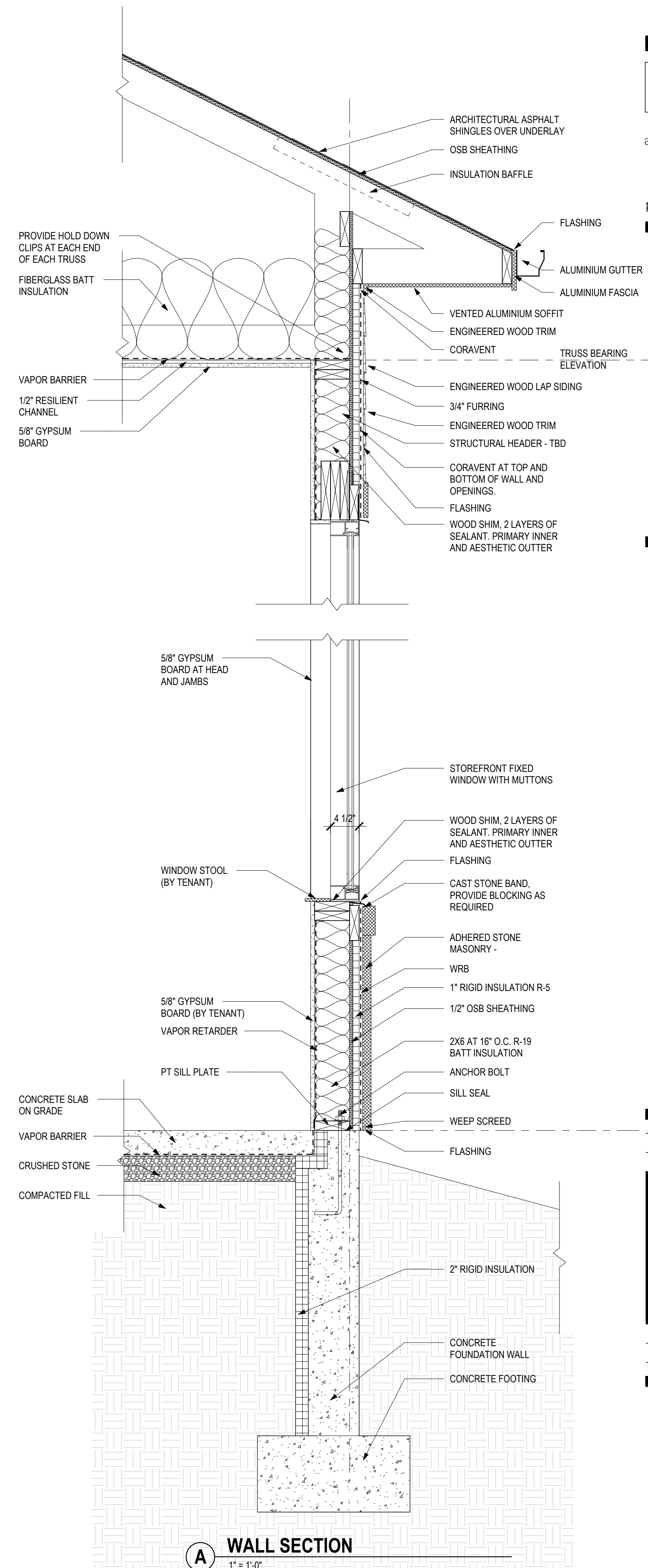
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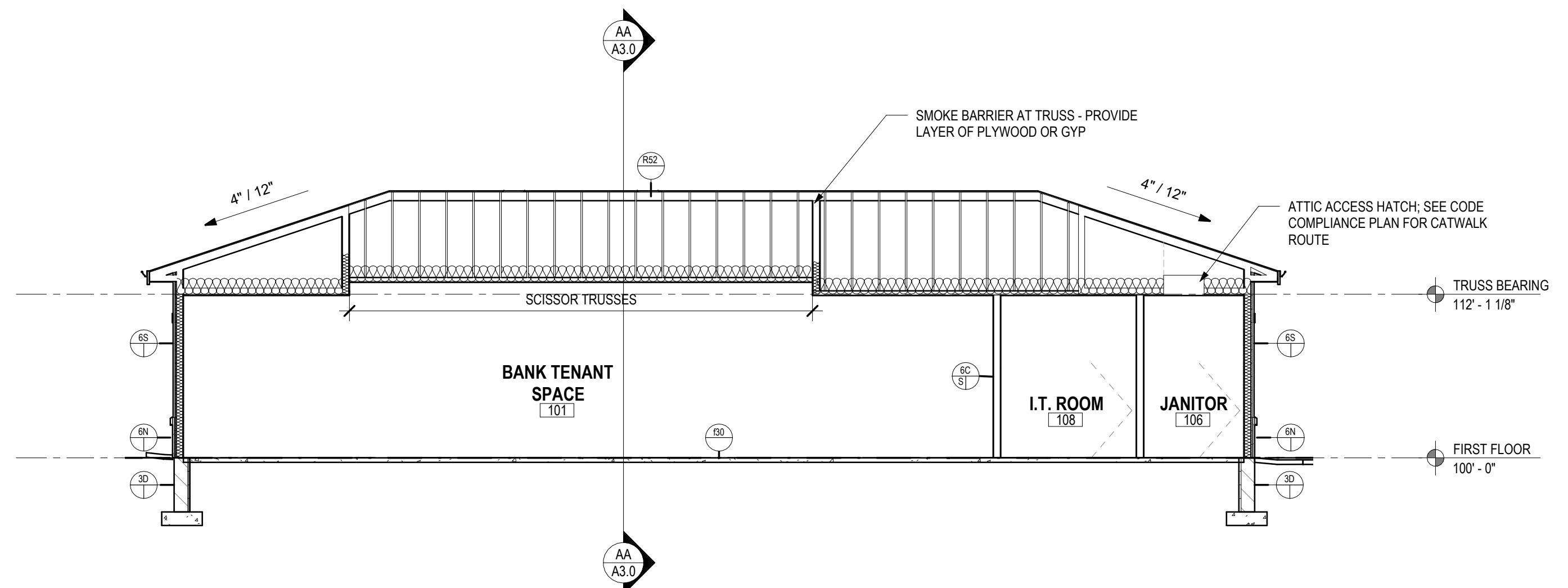
PROJECT # 25071

BUILDING SECTIONS

A3.0



AA BUILDING SECTION
1/8" = 1'-0"



BB BUILDING SECTION
1/8" = 1'-0"

**DODGEVILLE BANK
WHITEBOX**

525 E. LEFFLER STREET
DODGEVILLE, WI

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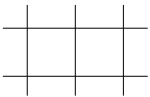

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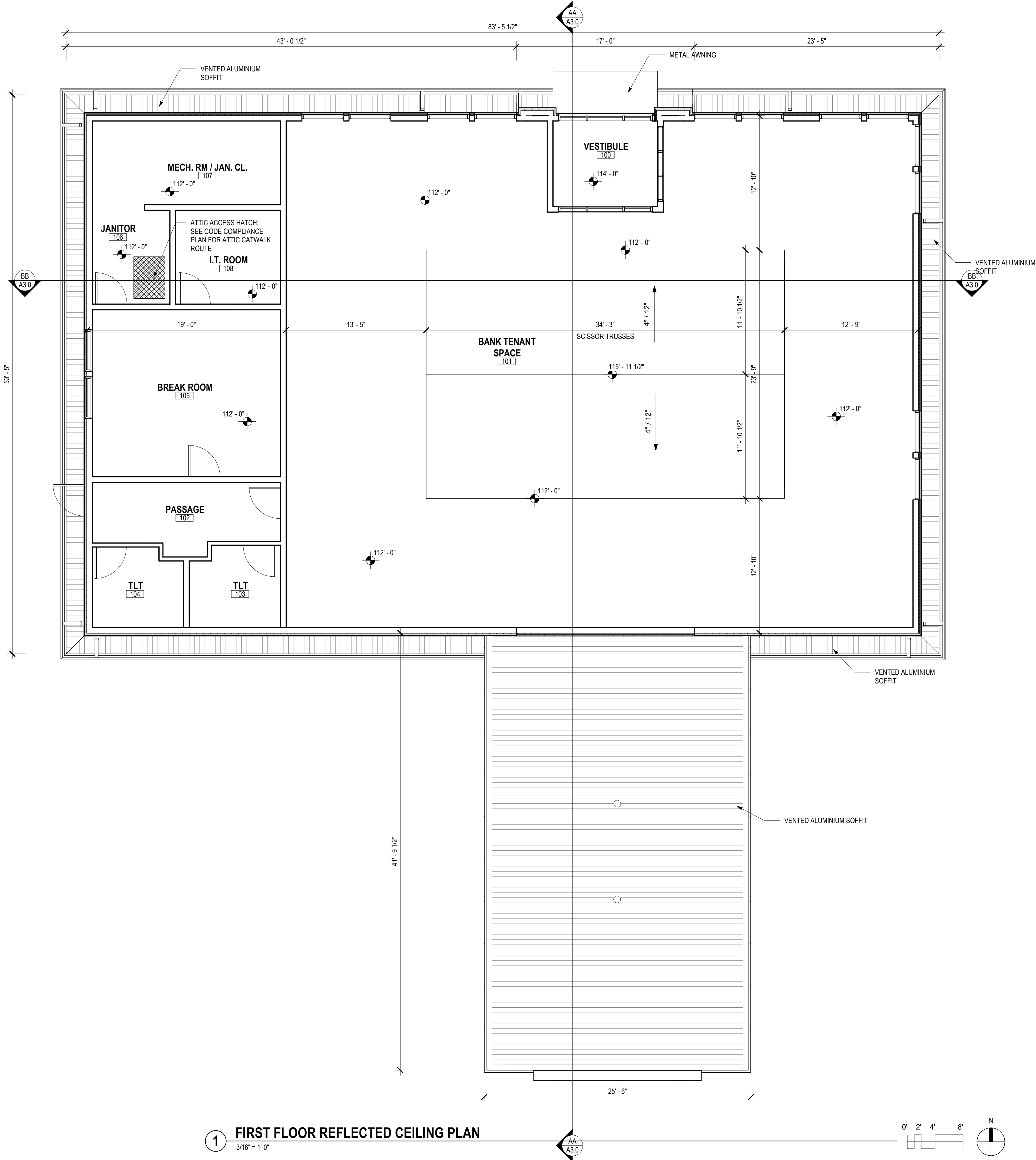
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PROJECT # 25071

**FIRST FLOOR
REFLECTED
CEILING PLAN**

A4.1

REFLECTED CEILING LEGEND	
Type Name 1'-0" A.F.F.	CEILING HEIGHT A.F.F.
	2x2 CEILING GRID
	GYPSUM BOARD CEILING / SOFFIT



1 FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"

1. TO ACHIEVE STC RATING, ADD FIBERGLASS BATT INSULATION TO THE ENTIRE WIDTH OF STUD CAVITY, TYP.

FLOOR ASSEMBLY
SLAB-ON-GRADE

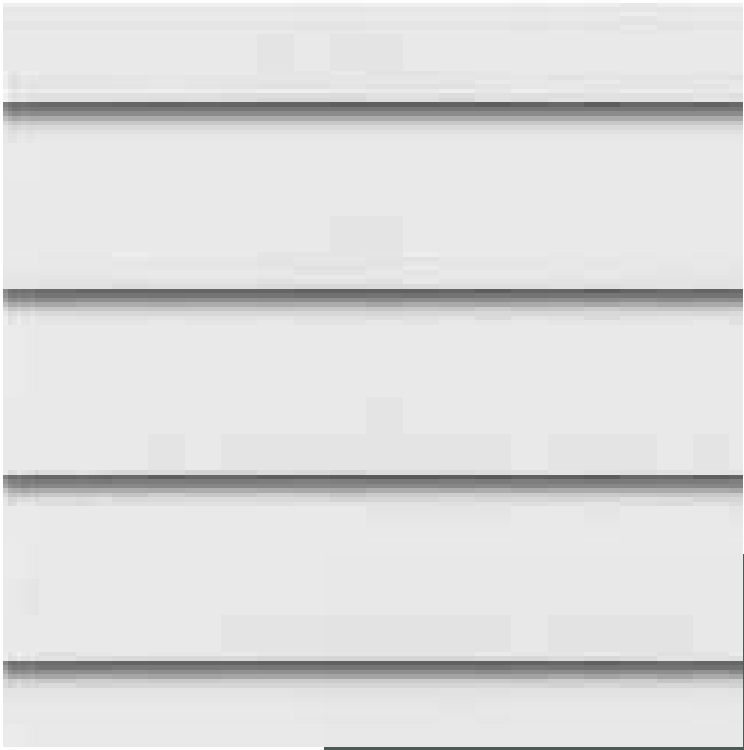
3V 1 1/2" = 1'-0"

DATE OF ISSUE: 12/16/2025

SFT - VENTED SOFFIT
TO MATCH SIDING

DS - DOWNSPOUT
LIGHT GRAY
(TO MATCH SIDING)

EWT-2 - ENGINEERED WOOD LAP TRIM
MIDNIGHT SHADOW



ENGINEERED WOOD

EWLS-1 - ENGINEERED WOOD LAP SIDING
SNOWSCAPE WHITE

EWT-1 - ENGINEERED WOOD TRIM
SNOWSCAPE WHITE (TO MATCH ADJACENT SIDING)

EWP-1 - ENGINEERED WOOD PANEL
SNOWSCAPE WHITE (TO MATCH SIDING)



CAST STONE SILL

CST - CAST STONE BAND
CHARCOAL



ADHERED STONE

STN-1 - STONE VENEER
WINTER LEDGE (DUTCH QUALITY)



ACM-1 - ALUMINUM COMPOSITE METAL PANEL
CUSTOM BLUE (SIGNAGE BY TENANT)



GTR - GUTTER
DARK BRONZE



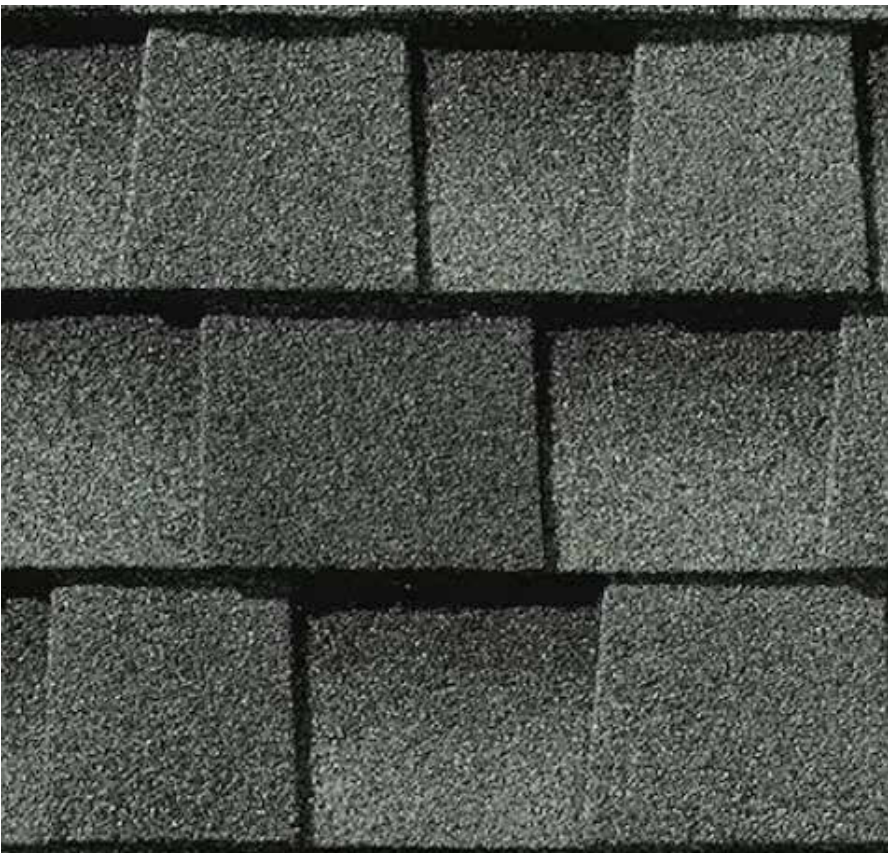
STOREFRONT

FSA - FASCIA
DARK BRONZE

CPG - COPING
DARK BRONZE

METAL AWNING
DARK BRONZE (MASA)

ANODIZED ALUMINUM STOREFRONT
DARK BRONZE (KAWNEER)



ASPHALT SHINGLE

ASP - ARCHITECTURAL ASPHALT SHINGLE
SLATE (GAF)

DODGEVILLE BANK
WHITEBOX

525 E. LEFFLER STREET
DODGEVILLE, WI

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MATERIAL BOARD

A7.0