



Commissioner Bennett  
Commissioner Brewer  
Commissioner Debrow  
Commissioner Parrish  
Commissioner Lawson  
Commissioner Raymond  
Commissioner Sutherland

## **AGENDA**

### **PLANNING AND ZONING COMMISSION**

**Tuesday, May 27, 2025**

**6:00 PM CST**

Council Chambers, City Hall  
and via teleconference, if necessary

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#### **Call to Order**

#### **Statement of Purpose**

1. May our decisions today be made with wisdom, careful deliberation and in the best interest of the City of Diamondhead. May we display patience and kindness in our dealings with each other and all who are in attendance and may any decisions made today promote the health, safety and welfare of the citizens of Diamondhead and the enhancement of the City as a whole.

#### **Pledge of Allegiance**

#### **Roll Call**

#### **Confirmation or Adjustments to Agenda**

#### **Approval of Minutes**

2. Approval of April 22, 2025 minutes.

#### **Architectural Review**

3. Structures of Diamondhead is constructing a new commercial building at 4405 E. Aloha in the footprint of the former car wash.
4. Boozer's Brew is constructing a new commercial building at 44035 Veterans Blvd.

#### **New Business**

5. The City of Diamondhead proposes a Text Amendment to the Sign Ordinance Article 8.7.a - Political Signs. The proposed text amendment is to allow temporary signs, such as election signs, so that they may be placed on private property, on the City right of way, at least 2' from the street. The Case File Number is 202500135.
6. Election of Chairperson and Vice Chairperson.

#### **Unfinished Business**

#### **Open Public Comments to Non-Agenda Items**

#### **Commissioners' Comments**

#### **Communication / Announcements**

7. The next City Council meeting is Tuesday, June 3, 2025.  
The next Planning Commission meeting is Tuesday, June 24, 2025.

#### **Adjourn or Recess**



Commissioner B  
Commissioner B  
Commissioner Debrow  
Commissioner Parrish  
Commissioner Lawson  
Commissioner Raymond  
Commissioner Sutherland

Item No.2.

## MINUTES PLANNING AND ZONING COMMISSION

Tuesday, April 22, 2025

6:00 PM CST

Council Chambers, City Hall  
and via teleconference, if necessary

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### Call to Order

Commissioner Bennett called the meeting to order at 6:02 p.m.

### Statement of Purpose

Commissioner Parrish read the Statement of Purpose.

1. May our decisions today be made with wisdom, careful deliberation and in the best interest of the City of Diamondhead. May we display patience and kindness in our dealings with each other and all who are in attendance and may any decisions made today promote the health, safety and welfare of the citizens of Diamondhead and the enhancement of the City as a whole.
- 2.

### Pledge of Allegiance

Commissioner Raymond led the Pledge of Allegiance.

### Roll Call

Present at the meeting were: Commissioners: Parrish, Sutherland, Bennett, and Raymond . Absent were: Commissioners Brewer, Lawson, and Chairman Debrow.

Also present were: City Attorney, Derek Cusick, Development Coordinator, Pat Rich, Building Official, Beau King, and Minute Clerk, Tammy Braud.

### Confirmation or Adjustments to Agenda

Motion was made by Commissioner Parrish, second by Commissioner Sutherland to accept the Agenda as presented.

### Motion Passed Unanimously

### Approval of Minutes

1. Approval of March 25, 2025 minutes.

Motion was made by Commissioner Parrish, second by Commissioner Raymond to accept the Minutes of March 25, 2025 as presented.

### Motion Passed Unanimously

## Architectural Review

None

## New Business

2. Jillian Ladner has filed an application requesting a variance from the Zoning Ordinance (Article 3.4.7) to allow a residence within 15'6" of the front yard setback on a lot with 2 front yard setbacks. The property address is 10860 Ala Moana St. The tax parcel number is 067H-2-25-087.001. The property is in an R-6 zoning district. It is a corner lot which requires 2 front yard setbacks of 20'. The variance requested is 4'6". The Case File Number is 202500134.

Development Coordinator, Pat Rich spoke to Commissioners and answered their questions.

Jillian Ladner spoke and answered questions from Commissioners.

Staff report was read recommending approving the Variance as petitioned.

Motion was made by Commissioner Raymond, second by Commissioner Parrish to accept the recommendation to approve to recommend approval to the City Council.

### **Motion Passed Unanimously**

3. Joel Dicharry, represented by David Rush, has filed an application requesting a variance from the Zoning Ordinance (Article 3.4.7) to allow an accessory structure (screened porch) within 1" of the residences. The property address is 6417 Kome Dr. The tax parcel number is 068R-2-41-097.000. The property is in an R-6 zoning district and flood zone AE. The setback for an accessory structure is 10' from the residence. The variance requested is 9'11". The Case File Number is 202500140.

Development Coordinator, Pat Rich spoke and answered questions from the Commissioners.

Edward Wycoff, Architect representing Joel Dicharry, and David Rush Construction, explained the need for the Variance. He also answered questions from Commissioners.

Development Coordinator, Pat Rich read the staff report recommending approval of the Variance as petitioned.

Motion was made by Commissioner Raymond, second by Commissioner Parrish to accept the recommendation of the staff and recommend approval to the City Council.

### **Motion Passed Unanimously**

4. CAYO HUESO, LLC, represented by Michael Casano, has filed an application requesting a re-subdivision tax parcel number 131E-1-13-006.009 to create 2 parcels. The property is located on Veterans Dr. and is in the C1 – General Commercial District. The Case File Number is 202500167.

Development Coordinator, Pat Rich spoke with Commissioners and answered their questions.

Denise Cotone spoke to Commissioners about concerns about future developments, noise, lighting, and parking.

Development Coordinator, Pat Rich read the staff report recommending approving the request to re-subdivision.

Motion was made by Commissioner Sutherland, second by Commissioner Parrish to accept the recommendation and recommend approval to the City Council.

**Motion Passed Unanimously**

5. The City of Diamondhead will hold a public hearing on a proposed Text Amendment to the Sign Ordinance Article 8.7.a - Political Signs. The proposed text amendment is to allow temporary signs, such as election signs, so that they may be placed on the City right of way in front of private property, at least 2' from the street. The Case File Number is 202500135.

Commissioner Bennett opened the hearing at 6:34 p.m.

No one spoke.

Commissioner Bennett closed the hearing at 6:35 p.m.

6. The City of Diamondhead will hold a public hearing on a proposed Text Amendment to the Article III – Peddlers and Solicitors. The purpose of the hearing is to determine if changes to the ordinance are needed. The Case File Number is 202500141.

Commissioner Bennett opened the hearing at 6:41 p.m.

Commissioners asked questions and Development Coordinator, Pat Rich answered.

Commissioner Bennett closed the meeting at 6:50 p.m.

No one else spoke.

**Unfinished Business**

7. Tabled variance request for David C. Dreher, Jr. at 8438 Kimo Ct.

Motion was made by Commissioner Parrish, second by Commissioner Sutherland to move off table.

**Motion passed Unanimously**

Development Coordinator advised that Mr. David Dreher was issued a permit that did not require a variance.

Motion was made by Commissioner Parrish, second by Commissioner Sutherland to dismiss the request for the Variance.

**Motion Passed Unanimously**

8. Tabled Text Amendment to Article 6 – Off-street Parking and Loading. The proposed text amendment is to remove “residential yards,” and make the following changes to 6.1 – General Provisions, “This includes median areas and roadways.” and remove “b) Overflow parking for residential uses shall be located between the garage the nearest side lot line, but in no case shall the overflow be located in front of the house unless located on a circular drive.” from Article 6.1.4 – Location of Parking Lot. The Case File Number is 202500003.

Motion was made by Commissioner Raymond, second by Commissioner Parrish to remove off table.

**Motion Passed Unanimously**

Development Coordinator, Pat Rich asked the Commissioners to withdraw the Text Amendment from consideration.



Motion was made by Commissioner Raymond, second by Commissioner Parrish to remove off Agenda

**Motion Passed Unanimously**

**Open Public Comments to Non-Agenda Items**

None

**Commissioners' Comments**

**Communication / Announcements**

9. The next City Council meeting is Tuesday, May 6, 2025.

The next Planning Commission meeting is Tuesday, May 27, 2025.

**Adjourn or Recess**

Motion was made by Commissioner Parrish, second by Commissioner Sutherland to adjourn the meeting at 6:54 p.m.

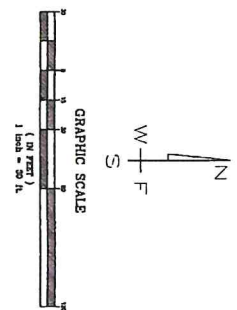
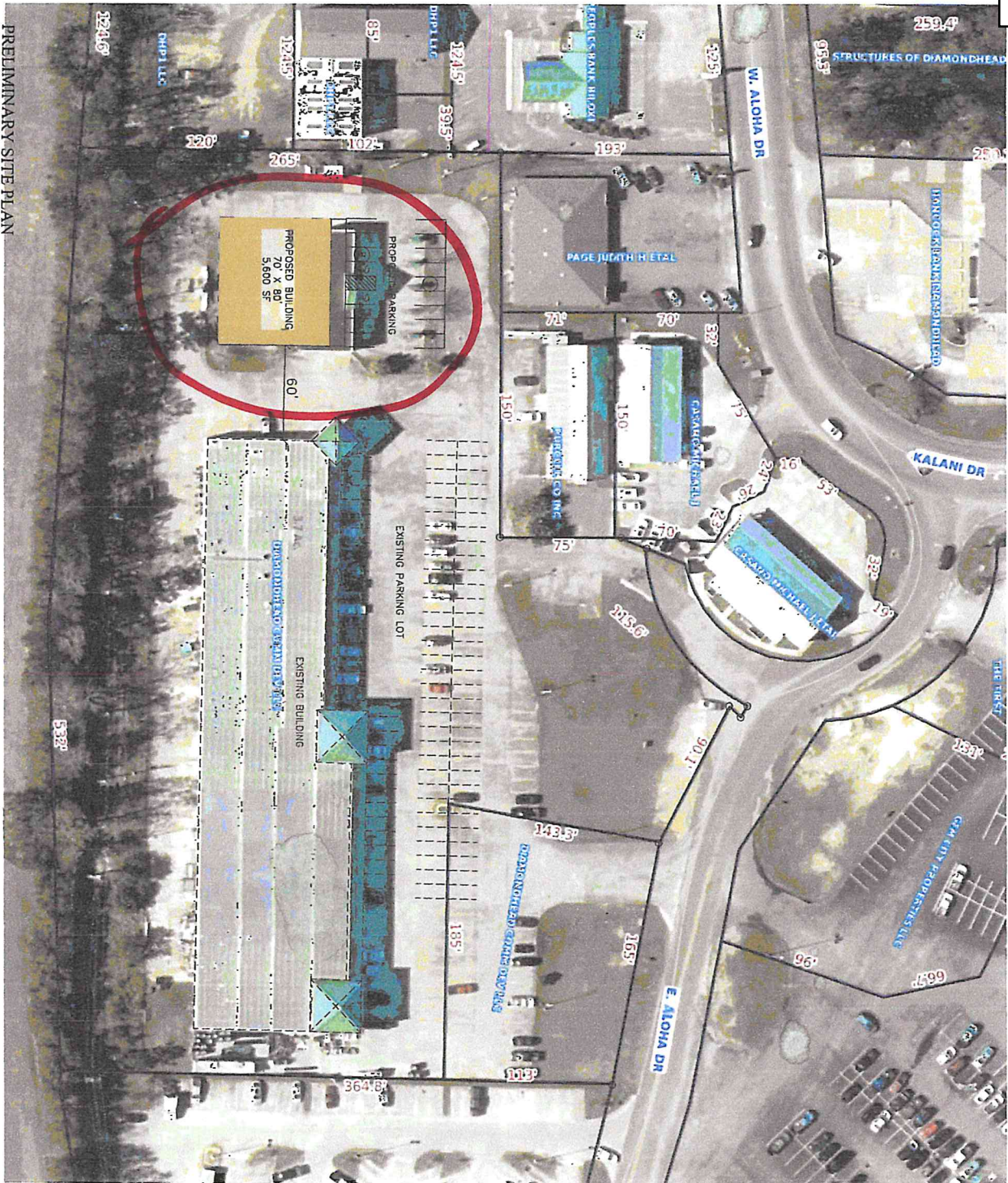
**Motion Passed Unanimously**

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L Debrow, Chairman  
Planning & Zoning

PRELIMINARY SITE PLAN

SCALE: 1" = 30'-0"



Sheet  
**C3**  
Project No  
24-183

Date 5-14-25  
Drawn By SGC  
Check By R.B.H.  
REV

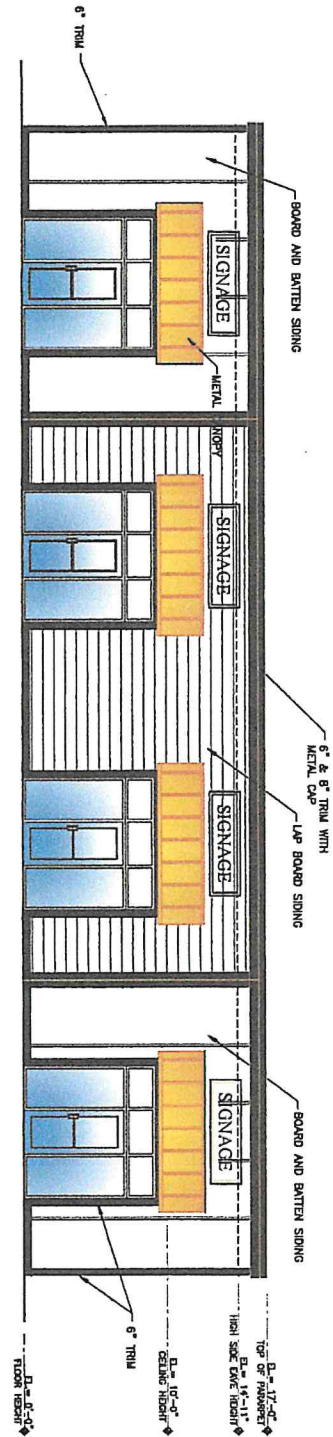
Sheet  
**SITE & DRAINAGE PLAN**  
Project  
**PRELIMINARY SITE PLAN  
W. ALOHA DRIVE  
DIAMONDHEAD, MISSISSIPPI**

Page 6  
**HE ASSOCIATES**  
SPECIAL DESIGN  
Columbia, MS 39201  
Ph (228) 896-6765

**TME**  
TERRY MORAN  
ENGINEERING & SURVEYING

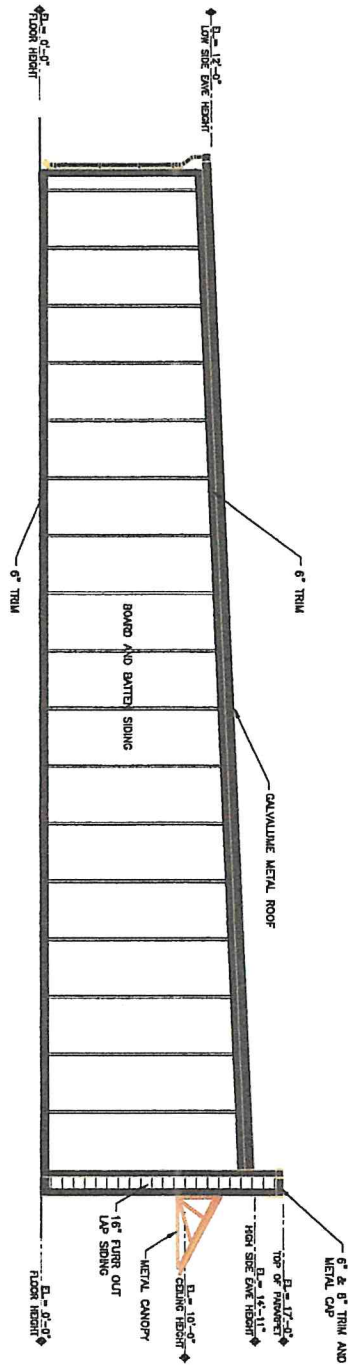
**TERRY MORAN, P.E., P.L.S.**  
1806 23rd Ave Suite B, Gulfport, MS 39501  
P.O. Box 6073 Biloxi, MS 39263  
Ph (228) 626-4737





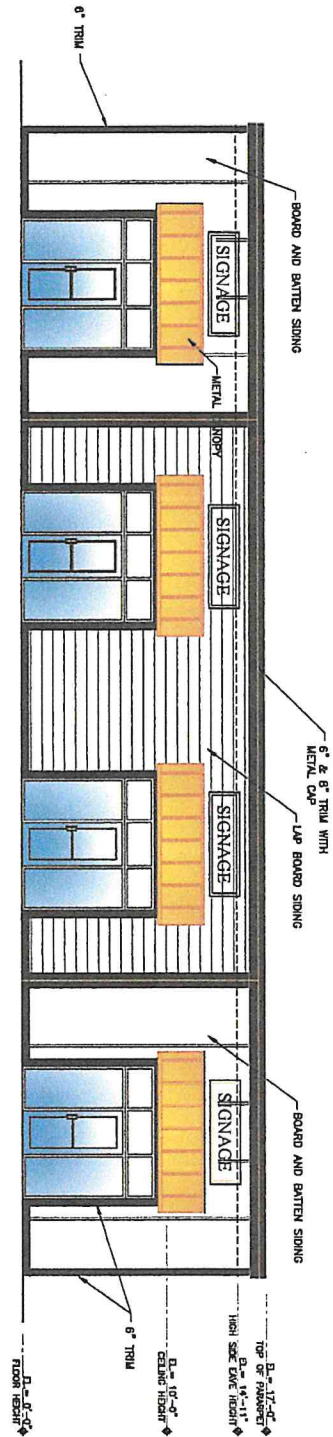
FRONT ELEVATION

SCALE: 1/4"=1'-0"



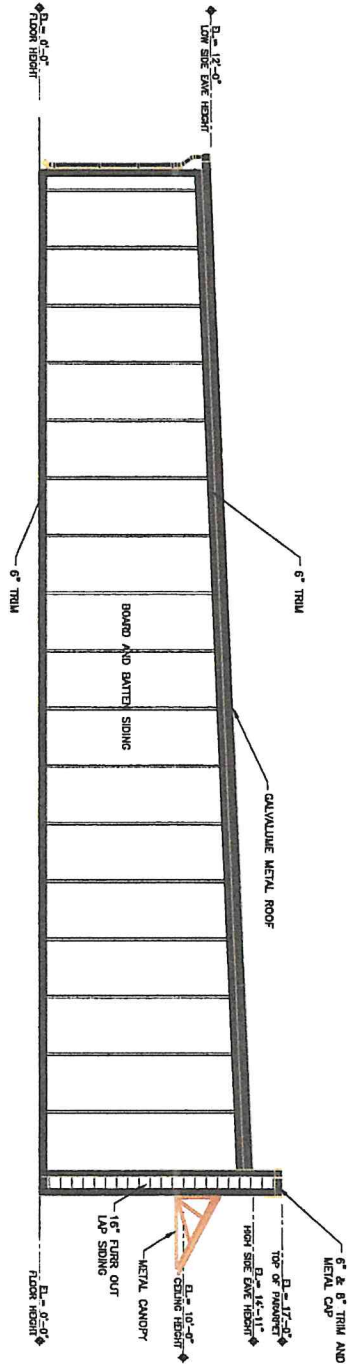
LEFT ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

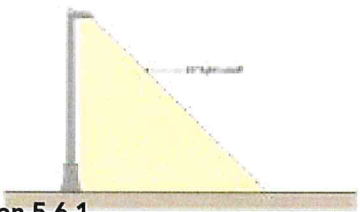




Board & Batten in  
Driftwood Gray



**Table 5.1. Building, Site, and Design Standards**

Standard	Zone												
■ = Required ♦ = Not required	R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
h) Lighting fixtures shall be compatible in style with the architecture of their associated buildings and shall otherwise comply with any officially adopted streetscape plan.	■	■	■	■	■	■	■	■	■	■	■	■	■
5.6.2 Luminaries													
a) Pole mounted luminaries shall be full cut-off with shields, reflectors, or refractor panels to direct and cut-off emitted light at 45 degrees or less. (See Illustration 5.6.1).													
	■	■	■	■	■	■	■	■	■	■	■	■	■
Illustration 5.6.1													
b) Building mounted luminaries shall be full cut-off using shields, reflectors, or refractor panels to direct and cut-off the emitted light at a 45 degrees or less except for low intensity decorative lighting not exceeding 45 watts per bulb (incandescent equivalent).	♦	♦	♦	♦	■	■	■	■	■	■	■	■	■
5.6.3 Mounting.													
a) Poles in commercial and multiple-family developments, whether mounted upon a building or upon a light standard, shall not exceed 25 feet in height.	♦	♦	♦	♦	■	■	■	♦	■	♦	♦	♦	■
b) Lighting fixtures within industrial developments shall not exceed the height of the roof line of the associated building.	♦	♦	♦	♦	♦	♦	♦	♦	♦	■	■	♦	♦
5.7 BUILDING FORM AND MATERIALS.													
5.7.1 Form and Composition.													
a) When adjoining a residential zone, structures shall be compatible with the character of single-family residential structures. Compatibility shall be determined by comparing the consistency of existing and proposed design elements, colors, materials, height, bulk and landscaping. (See illustration 5.7.1)													



## ARTICLE 5 - BUILDING, SITE, AND DESIGN STANDARDS


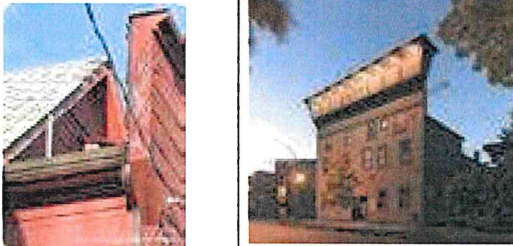
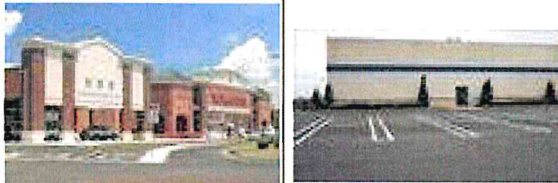

Table 5.1. Building, Site, and Design Standards														
Standard		Zone												
■ = Required ♦ = Not required		R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
		♦	♦	♦	♦	♦	■	■	♦	■	♦	♦	■	■
Illustration 5.7.1														
b) Building facades shall be oriented parallel to the streets they face. Main entrances shall be visible as a means of creating continuous streetscapes.		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
c) Multiple buildings on a site should be clustered to create plaza or pedestrian mall areas. Where this cannot be achieved, buildings shall be connected by means of pedestrian walkways defined by separate paving textures and accented by landscape areas.		♦	♦	♦	♦	♦	■	■	♦	■	♦	♦	■	■
d) False or stage-set facades are prohibited. Similar materials and colors used on the street façade shall be used to the sides and rear of the building where visible from a street right-of-way or adjacent residence. (See illustration 5.7.2)														
		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
Illustration 5.7.2														
e) The maximum, unbroken facade plane shall be 60 feet and should be interrupted by projections, recesses, portals, courtyards, plazas, or other architectural design. Facade plane breaks shall have a minimum depth of six inches.														
		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
Illustration 5.7.3														

Table 5.1. Building, Site, and Design Standards														
Standard		Zone												
■ = Required ♦ = Not required		R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
f) No flat-faced cement block or metal surfaces shall be visible upon the exterior of any building as a primary surface material or mansard. Alternatives of equal or better quality may be considered. (See illustration 5.7.4)														
		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
g) Parapet facades may be used when of unified construction with the primary surface of the wall and of the same material and color. The parapet shall be designed such that the reverse side of all elements shall not be visible to public view. False mansards are prohibited.		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
h) Parapets should extend above the highest level of any roof mounted equipment. In no case shall such equipment be visible from adjacent grades at a distance of 75 feet.		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
i) Building materials shall suit the architectural style of a building and be consistent or complementary throughout. Exterior surface materials shall be selected from among brick, cementitious stucco, stone, vertical board and batten, wood or cementations siding and approved architectural concrete masonry unit. EFIS may only be used in banding, decorator strips, cornice lines and wall capping.		♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
j) The exterior building finish of two-family and multi-family dwelling units shall include a variation in building materials which are to be distributed throughout the building façades and coordinated into the architectural design of the structure to create an architecturally balanced appearance.		♦	♦	■	■	♦	♦	♦	♦	♦	♦	♦	♦	♦



# ARTICLE 5 - BUILDING, SITE, AND DESIGN STANDARDS

Table 5.1. Building, Site, and Design Standards													
Standard	Zone												
■ = Required ♦ = Not required	R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
k) To ensure architectural compatibility with homes in the immediate vicinity of the building site, building design for new construction and additions shall be in keeping with the design patterns and architectural features that exist in the immediate vicinity. Compatibility shall be determined by roof pitch, roof materials, exterior finishes and materials, garage orientation, landscaping, color scheme, mailbox design and construction, driveway and walkway materials, porches, dormers, building orientation and other relevant features.	■	■	■	♦	♦	♦	♦	♦	♦	♦	♦	♦	♦
l) Parking on site should be visually subordinate to the residential character of the street.	■	■	■	♦	♦	♦	♦	♦	♦	♦	♦	♦	♦
m) Garages, carports, outbuildings, etc., shall be recessed from the front facade by a minimum of 6 feet.	■	■	■	♦	♦	♦	♦	♦	♦	♦	♦	♦	♦
5.7.2 Roof Design and Materials													
a) All one-story buildings less than 10,000 gross square feet must have a pitched roof (between 3:12 and 12:12) as much as possible. If a pitched roof is not possible, a combination of flat roof and pitched roof is required.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
b) Arcades, drive-under canopies, porches, and other features shall be created with a pitched roof. Drive-under canopies for gasoline pumps may have flat roofs with vertical or factory formed facing of finished sheet metal.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
c) Mansard roofs shall have a maximum pitch of 12:12 with a minimum of 12 foot vertical surface length.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
d) Exposed metal flashing shall be copper or factory-finished sheet metal.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
e) If factory-finished metal flashing is used, such as standing seam, the color must be subdued to blend with other materials or of a color to simulate weathered copper or bronze.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■



**Table 5.1. Building, Site, and Design Standards**


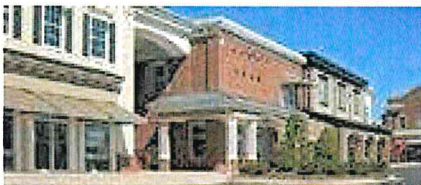

Standard	Zone												
■ = Required ♦ = Not required	R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
f) All buildings with flat roofs should include parapet articulation on the front façades of such building. The parapet articulation should coincide with any roof articulation may be a part of the roof design.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
g) Exposed pitched roofs, as a primary roof form, shall have a slope not less than 5/12. Porches shall be sloped not less than 3/12. (See Illustration 5.7.5)													
	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
Illustration 5.7.5													
h) Roof design shall be appropriate to the architectural style of a building. Where exposed to public view, roof material shall be selected from enameled standing seam metal, concrete or clay tiles, copper metal, or wood textured (architectural grade) or composition asphalt shingles. The use of plastic, fiberglass, other metal, or glass visible to public view is prohibited.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
5.7.3 Design Detail													
a) Wall surfaces shall be composed of at least 75% a single material and color. With the exception of decorator accents, colors shall consist of subtle, neutral, or earth tones or of a coastal color palette.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
b) Walls that can be seen from an arterial or collector street shall be treated as a building façade.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
c) No less than 40% of the horizontal distance of any building front entrance shall be designed with arcades, windows, entrances, awnings, or similar features. (See Illustration 5.7.6)													
	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
Illustration 5.7.6													



Table 5.1. Building, Site, and Design Standards													
Standard	Zone												
■ = Required ♦ = Not required	R-10	R-6	RHD-5	RM-5	MH	C-1	C-2	TND	Tech	I	EP	PFR	ADCC
d) Retail facades shall be glazed with clear glass no less than 40% of the first story. Other uses may provide the authentic appearance of such transparency.	♦	♦	♦	♦	♦	■	■	■	■	♦	♦	■	■
<b>5.8 ACCESSORY USES AND EQUIPMENT.</b>													
<b>5.8.1 Fences.</b>													
a) Fences and walls within a development shall be of compatible design and materials.	■	■	■	■	■	■	■	■	■	■	■	■	■
b) Fences and walls shall be constructed such that the “finished” part of the fence or wall is located toward and facing the exterior of the property. (See Illustration 5.8.1)													
 <b>Illustration 5.8.1</b>	■	■	■	■	■	■	■	■	■	■	■	■	■
c) Barbed wire, woven wire or electrical fencing are prohibited except in agricultural applications.	■	■	■	■	■	■	■	■	■	■	■	■	■
d) Fences or walls topped with or containing metal spikes, broken glass, razor wire or similar material are prohibited.	■	■	■	■	■	■	■	■	■	■	■	■	■
e) Uncoated chain link and other wire material fences shall not be permitted in a front setback except in the case of athletic or play surfaces.	■	■	■	■	■	■	■	■	■	■	■	■	■
f) Chain link fencing shall be green or black vinyl coated.	♦	♦	♦	♦	■	■	■	■	■	♦	♦	■	■
g) The maximum height of walls shall be four feet above grade when located in a front yard. Otherwise the maximum height of a fence is six feet.	■	■	■	■	■	■	■	■	■	■	■	■	■
<b>5.8.2 Mechanical Equipment</b>													
a) Ground mounted mechanical, HVAC, and like systems shall be screened from public street view (within 300 feet) by an opaque wall or fence of similar material to that of the principal building or landscaping.	♦	♦	■	♦	♦	■	■	■	■	■	■	■	■



# City of Diamondhead

Item No.3.

5000 Diamondhead Circle, Diamondhead, MS 39525

Phone: (228) 222.4626

FAX: (228) 222-4390

[www.diamondhead.ms.gov](http://www.diamondhead.ms.gov)

## STAFF REPORT TO PLANNING AND ZONING COMMISSION

### 4405 E Aloha Dr Ste. J-M – Commercial Building

Plans for a proposed commercial building, a “shell” building for four future commercial tenants, at 4405 E Aloha Drive were reviewed in accordance with the Diamondhead Zoning Ordinance, specifically Article 5.7 Building Form and Materials.

Below is the review provided to show compliance with Article 5.7:

#### 5.7 Building Form and Materials

##### 5.7.1 Form and Composition

- a) When adjoining a residential zone, structures shall be compatible with the character of single-family residential structures. Compatibility shall be determined by comparing the consistency of existing and proposed design elements, colors, materials, height, bulk and landscaping. ***Property does not adjoin any residential zone.***
- b) Building facades shall be oriented parallel to the streets they face. Main entrances shall be visible as a means of creating continuous streetscapes. ***Building façade and main entrances are parallel with the existing building on site and visible from the entrance to the site.***
- c) Multiple buildings on a site should be clustered to create plaza or pedestrian mall areas. Where this cannot be achieved, buildings shall be connected by means of pedestrian walkways defined by separate paving textures and accented by landscape areas. ***Building will be connected by a walkway to existing building. Building cannot be attached due to underground utilities between.***
- d) False or stage-set facades are prohibited. Similar materials and colors used on the street façade shall be used to the sides and rear of the building where visible from a street right-of-way or adjacent residence. ***No false or stage-set façade is proposed. White board and batten siding is proposed for all sides of the building.***
- e) The maximum, unbroken facade plane shall be 60 feet and should be interrupted by projections, recesses, portals, courtyards, plazas, or other architectural design. Facade plane breaks shall have a minimum depth of six inches. ***The façade is broken at 20 feet from each front side of the building by 16 inches projection with lap siding. The longest unbroken façade plane is 40 feet.***
- f) No flat-faced cement block or metal surfaces shall be visible upon the exterior of any building as a primary surface material or mansard. Alternatives of equal or better quality may be considered. ***The proposed primary surface material is a metal architectural white board and batten siding, which looks as good, perhaps better, Hardie or wood siding.***



- g) Parapet facades may be used when of unified construction with the primary surface of the wall and of the same material and color. The parapet shall be designed such that the reverse side of all elements shall not be visible to public view. False mansards are prohibited. ***The parapet is a continuation of the front façade material. The reverse side of the parapet materials will not be visible; the parapet will match the roof on the back side.***
- h) Parapets should extend above the highest level of any roof mounted equipment. In no case shall such equipment be visible from adjacent grades at a distance of 75 feet. ***No roof mounted equipment is proposed.***
- i) Building materials shall suit the architectural style of a building and be consistent or complementary throughout. Exterior surface materials shall be selected from among brick, cementitious stucco, stone, vertical board and batten, wood or cementitious siding and approved architectural concrete masonry unit. EFIS may only be used in banding, decorator strips, cornice lines and wall capping. ***Building will have white board and batten on all sides. The front projection on the center two units will have Hardie lap siding.***
- j)-m) are not applicable to the C-1 Zoning District.

#### 5.7.2 Roof Design and Materials

- a) All one-story buildings less than 10,000 gross square feet must have a pitched roof (between 3:12 and 12:12) as much as possible. If a pitched roof is not possible, a combination of flat roof and pitched roof is required. ***Building is less than 10,000 square feet (5,600 square feet), but a pitched roof is not possible due to the height restrictions from the Zoning Ordinance of 35' maximum and type of construction. A combination of flat and pitched is proposed with the front canopies being a pitched metal roof.***
- b) Arcades, drive-under canopies, porches, and other features shall be created with a pitched roof. Drive-under canopies for gasoline pumps may have flat roofs with vertical or factory formed facing of finished sheet metal. ***Canopies over front entrances have pitched roof.***
- c) Mansard roofs shall have a maximum pitch of 12:12 with a minimum of 12 foot vertical surface length. ***No mansard roof is proposed.***
- d) Exposed metal flashing shall be copper or factory-finished sheet metal. ***All metal flashing will be factory-finished sheet metal.***
- e) If factory-finished metal flashing is used, such as standing seam, the color must be subdued to blend with other materials or of a color to simulate weathered copper or bronze. ***The flashing will match the color of the siding and trim.***
- f) All buildings with flat roofs should include parapet articulation on the front façades of such building. The parapet articulation should coincide with any roof articulation may be a part of the roof design. ***Front façade has a parapet and blends with roof and wall design.***
- g) Exposed pitched roofs, as a primary roof form, shall have a slope not less than 5:12. Porches shall be sloped not less than 3:12. ***The only exposed roof pitch is the front canopies which are greater than 3:12.***

- h) Roof design shall be appropriate to the architectural style of a building. Where exposed to public view, roof material shall be selected from enameled standing seam metal, concrete or clay tiles, copper metal, or wood textured (architectural grade) or composition asphalt shingles. The use of plastic, fiberglass, other metal, or glass visible to public view is prohibited. ***The only exposed roof pitch is the front canopies which is metal.***

#### 5.7.3 Design Detail

- a) Wall surfaces shall be composed of at least 75% a single material and color. With the exception of decorator accents, colors shall consist of subtle, neutral, or earth tones or of a coastal color palette. ***All sides of building are white siding.***
- b) Walls that can be seen from an arterial or collector street shall be treated as a building façade. ***The front of the building is the only façade visible from a street.***
- c) No less than 40% of the horizontal distance of any building front entrance shall be designed with arcades, windows, entrances, awnings, or similar features. ***Greater than 50% of front entrance has awnings.***
- d) Retail facades shall be glazed with clear glass no less than 40% of the first story. Other uses may provide the authentic appearance of such transparency. ***45% of the façade is clear glass.***

The building elevations and site plans submitted comply with the intent and purpose of the Zoning Ordinance, and therefore the Site and Design Review Committee recommends **approval** of this development to the Planning and Zoning Commission.

Beau King, Building Official 05-21-2025





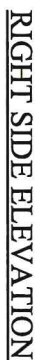
SCALE 1/4" = 1'-0"



SCALE 1/4" = 1'-0"



**SCALE 1/4" = 1'-0"**



**SCALE 1/4" = 1'-0"**

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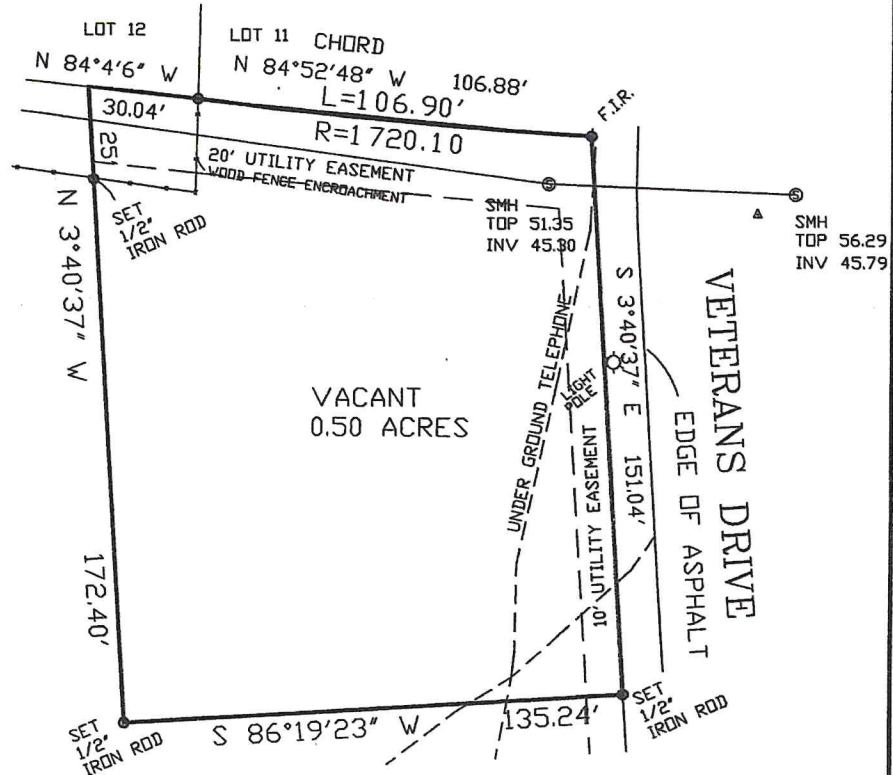
Sheet <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">B2</div> Project No 23-160	Date <u>01-17-25</u> Drawn by <u>R.P.</u> Check by <u>R.B.H.</u> REV _____ _____ _____	Sheet Title <div style="text-align: center; font-weight: bold; margin-top: 10px;">ELEVATIONS</div> Project Title Boozler's Brew Veterans Drive Diamondhead, MS	<div style="font-weight: bold; font-size: 1.2em; margin: 5px 0;">HEINRICH &amp; ASSOCIATES</div> <div style="font-size: 0.8em; margin: 0;">       RESIDENTIAL &amp; COMMERCIAL DESIGN        1006 23rd Ave Suite B - Gulfport, MS 39001        Tel (228) 836-0716     </div>	<div style="font-size: 2.5em; font-weight: bold; margin: 0;">TME</div> <div style="font-weight: bold; font-size: 0.8em; margin: 5px 0;">TERRY MORAN ENGINEERING</div> <div style="font-size: 0.7em; margin: 0;">       TERRY MORAN, P.E., P.L.S.        P.O. Box 4078      Ph (228) 896-4733        Biloxi, MS 39535     </div>
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# DIAMONDHEAD PHASE 1, UNIT 1, BLOCK 13



## LEGAL DESCRIPTION - 0.5 ACRES

BEGINNING at a 1/2" iron rod found for the southeast corner of Lot 11 of Block 13 Diamondhead phase 1, Unit 1, being on a curve; thence along the Southerly line of said Block 13, Northwesterly 106.90 feet along a curve to the right with a chord bearing and distance N84°52'48"W 106.88 feet, having a radius of 1720.10 feet to a found 1/2" iron rod at a point of tangency at the southwest corner of said Lot 11; thence continuing along the said southerly line of said Block 13, N84°04'06"W 30.04 feet to a 1/2" iron rod; thence S03°40'37"E 172.40 feet to a 1/2" iron rod; thence N86°19'23"E 135.24 feet to a 1/2" iron rod on the west margin of Veterans Drive; thence along said west margin, N03°40'37"W 151.04 feet to a 1/2" iron rod at the Point of Beginning. said parcel contains 21,789 square feet or being 0.5 Acres, more or less.

Updated 4/13/2025  
Dated: 09/30/23

SCALE: 1"=40'

CLASS "B" SURVEY

Note: This survey was performed without the benefit of a current title search.

Property is subject to any/all Easements, Right-of-ways and/or Restrictions on record.

Base Bearing by: Deed

## CERTIFICATION

This is to CERTIFY that I have surveyed the property hereon described and delineated, and that the measurements and other data indicated are correct to the best of my knowledge and belief.

*Larry R. Smith*

Larry R. Smith P.L.S. # 02695

This property is located in Zone(s) "X", as published by the Federal Insurance Administration, Official Flood Hazard Map, Community Panel Number 28045C0263D, revised 10/16/09.



LS

LARRY SMITH  
LAND SURVEYING

105 N. KERN DRIVE  
GULFPORT MS. 39503

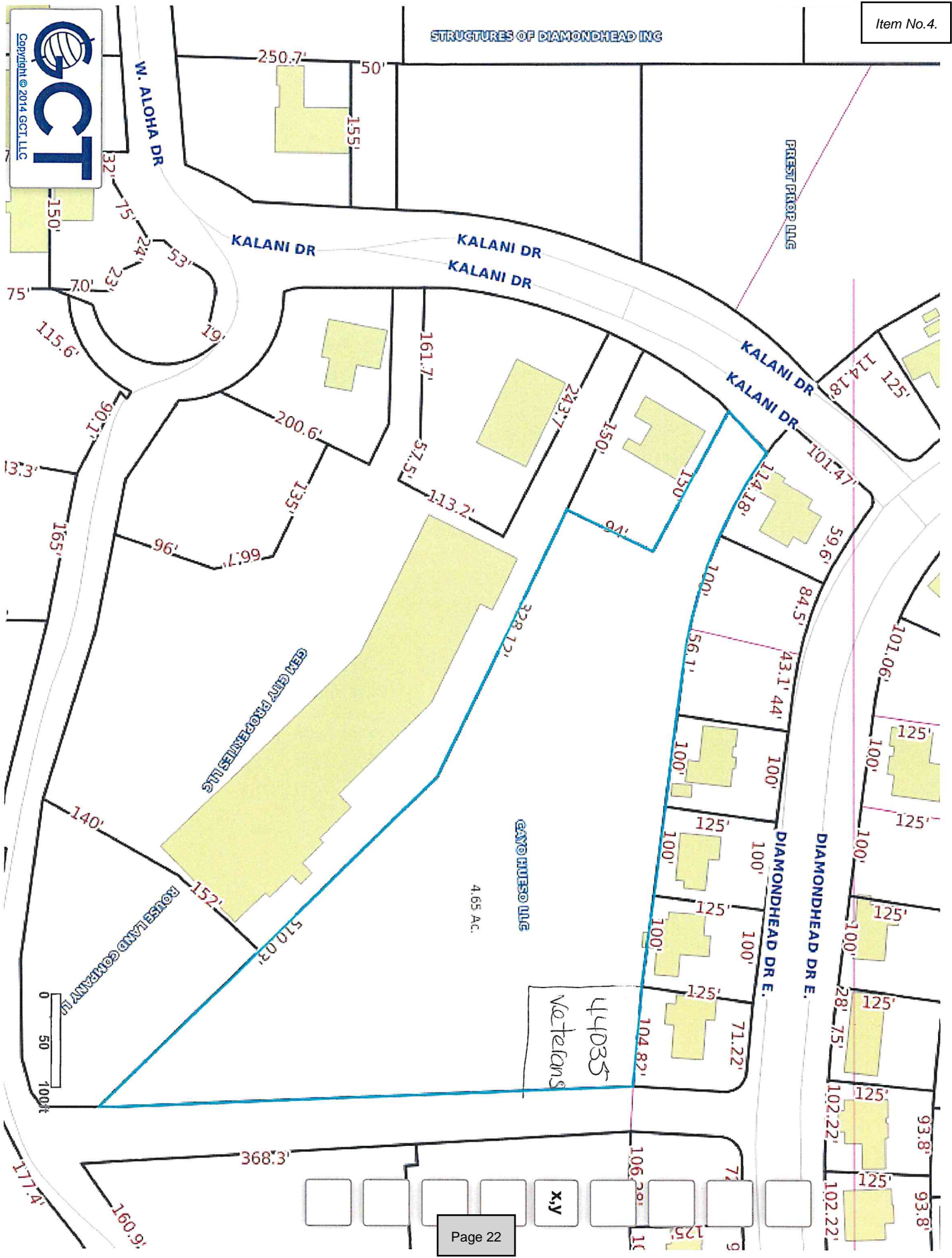
Page 21

BOUNDARY, TOPOGRAPHIC  
CONSTRUCTION LAYOUT

PHONE: (228) 832-9643  
FAX: (228) 832-3605

JOB #

STRUCTURES OF DIAMONDHEAD INC







5000 Diamondhead Circle, Diamondhead, MS 39525  
Phone: (228) 222.4626  
FAX: (228) 222-4390  
[www.diamondhead.ms.gov](http://www.diamondhead.ms.gov)

## STAFF REPORT TO PLANNING AND ZONING COMMISSION

### 44035 Veterans Drive – Boozer’s Brew

Plans for a proposed commercial building, Boozer’s Brew, at 44035 Veterans Drive were reviewed in accordance with the Diamondhead Zoning Ordinance, specifically Article 5.7 Building Form and Materials.

Below is the review provided to show compliance with Article 5.7:

#### 5.7 Building Form and Materials

##### 5.7.1 Form and Composition

- a) When adjoining a residential zone, structures shall be compatible with the character of single-family residential structures. Compatibility shall be determined by comparing the consistency of existing and proposed design elements, colors, materials, height, bulk and landscaping.  
***Proposed structure is of similar design and consistent with the single-family structures in the City of Diamondhead.***
- b) Building facades shall be oriented parallel to the streets they face. Main entrances shall be visible as a means of creating continuous streetscapes. ***Building façade and main entrance are parallel and visible from Veterans Drive.***
- c) Multiple buildings on a site should be clustered to create plaza or pedestrian mall areas. Where this cannot be achieved, buildings shall be connected by means of pedestrian walkways defined by separate paving textures and accented by landscape areas. ***Not applicable. Only one building is proposed on the site.***
- d) False or stage-set facades are prohibited. Similar materials and colors used on the street façade shall be used to the sides and rear of the building where visible from a street right-of-way or adjacent residence. ***No false or stage-set façade proposed. The blue Hardie siding is proposed for all sides of the building.***
- e) The maximum, unbroken facade plane shall be 60 feet and should be interrupted by projections, recesses, portals, courtyards, plazas, or other architectural design. Facade plane breaks shall have a minimum depth of six inches. ***The facade is broken by entrance recesses at 53’ on each end.***
- f) No flat-faced cement block or metal surfaces shall be visible upon the exterior of any building as a primary surface material or mansard. Alternatives of equal or better quality may be considered. ***No cement block or metal proposed. Hardie siding is the primary surface material.***

- g) Parapet facades may be used when of unified construction with the primary surface of the wall and of the same material and color. The parapet shall be designed such that the reverse side of all elements shall not be visible to public view. False mansards are prohibited. **No parapets are proposed.**
- h) Parapets should extend above the highest level of any roof mounted equipment. In no case shall such equipment be visible from adjacent grades at a distance of 75 feet. **No roof-mounted equipment is proposed.**
- i) Building materials shall suit the architectural style of a building and be consistent or complementary throughout. Exterior surface materials shall be selected from among brick, cementitious stucco, stone, vertical board and batten, wood or cementitious siding and approved architectural concrete masonry unit. EFIS may only be used in banding, decorator strips, cornice lines and wall capping. **The building is only cementitious siding (Hardie lap siding).**  
**j)-m) are not applicable to the C-1 Zoning District.**

#### 5.7.2 Roof Design and Materials

- a) All one-story buildings less than 10,000 gross square feet must have a pitched roof (between 3:12 and 12:12) as much as possible. If a pitched roof is not possible, a combination of flat roof and pitched roof is required. **6:12 pitch roof is proposed for entire structure.**
- b) Arcades, drive-under canopies, porches, and other features shall be created with a pitched roof. Drive-under canopies for gasoline pumps may have flat roofs with vertical or factory formed facing of finished sheet metal. **Pitched awning over doors proposed.**
- c) Mansard roofs shall have a maximum pitch of 12:12 with a minimum of 12 foot vertical surface length. **No mansard roof proposed.**
- d) Exposed metal flashing shall be copper or factory-finished sheet metal. **Flashing (drip edge, z-flashing above trim) will match trim color (white) as required with Hardie.**
- e) If factory-finished metal flashing is used, such as standing seam, the color must be subdued to blend with other materials or of a color to simulate weathered copper or bronze. **Flashing (drip edge, z-flashing above trim) will match trim color (white) as required with Hardie.**
- f) All buildings with flat roofs should include parapet articulation on the front façades of such building. The parapet articulation should coincide with any roof articulation may be a part of the roof design. **Pitched roof proposed. No flat roof or parapet.**
- g) Exposed pitched roofs, as a primary roof form, shall have a slope not less than 5/12. Porches shall be sloped not less than 3/12. **Primary roof pitch is 6:12.**
- h) Roof design shall be appropriate to the architectural style of a building. Where exposed to public view, roof material shall be selected from enameled standing seam metal, concrete or clay tiles, copper metal, or wood textured (architectural grade) or composition asphalt shingles. The use of plastic, fiberglass, other metal, or glass visible to public view is prohibited. **Composite asphalt shingles of a dark grey color proposed. This is appropriate to the style of the building.**

### 5.7.3 Design Detail

- a) Wall surfaces shall be composed of at least 75% a single material and color. With the exception of decorator accents, colors shall consist of subtle, neutral, or earth tones or of a coastal color palette. ***The entire wall surface, other than the white trim, is composed of a light blue coastal color.***
- b) Walls that can be seen from an arterial or collector street shall be treated as a building façade. ***The front façade will be the only façade visible from the street; however, all sides comply with the façade requirements in this section.***
- c) No less than 40% of the horizontal distance of any building front entrance shall be designed with arcades, windows, entrances, awnings, or similar features. ***The front entrance has windows, entrance doors, and awnings for almost the entirety of the façade.***
- d) Retail facades shall be glazed with clear glass no less than 40% of the first story. Other uses may provide the authentic appearance of such transparency. ***Building is not a retail occupancy, however, well more than 40% of the façade is provided with clear glazing.***

The building elevations and site plans submitted comply with the intent and purpose of the Zoning Ordinance, and therefore the Site and Design Review Committee recommends **approval** of this development to the Planning and Zoning Commission.

Beau King, Building Official 05-14-2025



#### 8.7 Exempt Signs.

a) Political signs. Any political sign or poster not exceeding three square feet erected on property by the owner thereof or with the property owner's consent pertaining to a candidacy or issued to be voted upon at any election or referendum, provided such sign or poster shall not be erected more than 60 days prior to such election or referendum and shall be removed with seven days after the referendum, or last such election in which the candidate is eligible. All signs must have the name and contact information for the individual placing the sign. Signs must be a minimum of two (2) feet from the street.

**NOTICE OF PUBLIC HEARING  
PLANNING AND ZONING COMMISSION  
DIAMONDHEAD, MS**

The City of Diamondhead will hold a public hearing on a proposed Text Amendment to the Sign Ordinance Article 8.7.a - Political Signs. The proposed text amendment is to allow temporary signs, such as election signs, so that they may be placed on private property, on the City right of way, at least 2' from the street. The Case File Number is 202500135.

In accordance with Article 9.10.6, the City Council shall have jurisdiction with respect to all Text Amendments and Rezoning. The Planning Commission shall review and submit a recommendation to the City Council on Text Amendments and Rezoning.

The Planning and Zoning Commission will consider this application at its next regularly scheduled meeting on **Tuesday, April 22, 2025, at 6:00 p.m.** The public hearing will be held at Diamondhead City Hall in the Council Chambers at 5000 Diamondhead Circle in Diamondhead, MS 39525. Interested members of the public are invited to attend. This meeting will also be live streamed for your convenience.

If you have any questions or comments or would like to review the application, you may contact J. Pat Rich, Development Coordinator, at [prich@diamondhead.ms.gov](mailto:prich@diamondhead.ms.gov) or 228-242-1613.



Voting Yea: Mayor Depreo, Councilmember-At-Large Maher, Ward 1 Finley, Ward 2 Liese, Ward 3 Cumberland, Ward 4 Clark

**MOTION CARRIED UNANIMOUSLY**

**Action Agenda.**

6. **2025-048:** Request to **change** sign ordinance for **temporary signs such as election signs** so that they be placed on private property on city right of way as long as at least 2 feet from City Street. Election signs are still to follow the 60 days prior to election to be put up, and within 7 days after election to come down. (Maher)

Motion made by Councilmember-At-Large Maher, Seconded by Ward 3 Cumberland to refer the request to change sign ordinance to the Planning and Zoning Commission for **review and public hearing**. The request is related to temporary signs such as election signs so that they be placed on private property on city right of way as long as at least 2 feet from City Street. Election signs are still to follow the 60 days prior to election to be put up, and within 7 days after election to come down.

Voting Yea: Mayor Depreo, Councilmember-At-Large Maher, Ward 1 Finley, Ward 2 Liese, Ward 3 Cumberland, Ward 4 Clark

**MOTION CARRIED UNANIMOUSLY**

7. **2025-049:** Motion to request P&Z's recommendation for the following ordinance change: "**Sec. 4-36, - Livestock and fowl**. Livestock and fowl are not permitted in the city limits."

Recommendation requested: Whether or not to allow residents to obtain a limited amount of chickens for the purpose of harvesting eggs and any stipulations that may be needed. (Clark)

4/22 mtg  
Motion made by Ward 4 Clark, Seconded by Ward 3 Cumberland to request P&Z's recommendation for the following ordinance change: "**Sec. 4-36, - Livestock and fowl**. Livestock and fowl are not permitted in the city limits."

Recommendation requested: Whether or not to allow residents to obtain a limited amount of chickens for the purpose of harvesting eggs and any stipulations that may be needed.

Voting Yea: Ward 4 Clark Voting Nay: Mayor Depreo, Councilmember-At-Large Maher, Ward 1 Finley, Ward 2 Liese, Ward 3 Cumberland

**MOTION FAILED**

**Routine Agenda.**

**Claims Payable**

8. Motion to approve Docket of Claims (DKT232552 - DKT232586) in the amount of \$136,547.43.

Motion made by Ward 4 Clark, Seconded by Councilmember-At-Large Maher to approve Docket of Claims (DKT232552 - DKT232586) in the amount of \$136,547.43.

Voting Yea: Mayor Depreo, Councilmember-At-Large Maher, Ward 1 Finley, Ward 2 Liese, Ward 3 Cumberland, Ward 4 Clark

**MOTION CARRIED UNANIMOUSLY**



## 8

## ARTICLE 8 - SIGNS

## ARTICLE 8 - SIGNS

**8.1 SCOPE, PURPOSE, AND LEGAL EFFECT.**

The regulations herein set forth shall apply and govern in all zoning districts as hereinafter provided. No sign or outdoor advertising device shall be erected unless it is in compliance with regulations for the district in which it is located as specified in this Article. For the purpose of this Article, the following sign regulations are established to assure the health, welfare, and safety of the citizens of Diamondhead and to encourage the economy of the city, to protect the public investments in streets and highways to preserve natural beauty, and to protect tax revenues by promoting reasonable, orderly and effective display of outdoor advertising.

**8.2 DEFINITIONS.**

For the purpose of this Article, the words and terms found herein shall have the meanings respectively ascribed in Article 10. All words used in this Article not specifically defined herein shall be given their meanings in normal customary usage.

**8.3 CONFORMITY AND PERMIT REQUIRED.**

All signs hereafter erected on any lot in any district of the City shall conform to the provisions of this ordinance. It shall be unlawful for any person, contractor or entity to erect, enlarge, rebuild, or structurally alter any sign without first obtaining a permit therefor and paying the requisite permit fee unless a sign is exempt from this permit requirement.

**8.4 PERMITTED SIGN TYPES ESTABLISHED.**

The following table establishes, defines and illustrates the allowed sign types in the City of Diamondhead. Signs are generally classified into the following categories:

1. On-Premises Freestanding Signs.
2. On-Premises Attached Signs.
3. Off-Premises Freestanding Signs.

4. Off-Premises Attached Signs.
5. Off-Premises Mobile Signs.

**8.5 SIGNS PERMITTED BY ZONING DISTRICT.**

The permitted location of signs is governed by zoning district. The Table of Permitted Sign Locations sets forth permitted sign location by type. The "■" means a sign permit is required. The symbol "□" means the sign is permitted but exempt from permit. The letter "C" refers to a conditional use approved by the Planning & Zoning Commission. The Preservation District (PFR) shall NOT be considered a residential district.

**8.6 DIMENSIONAL REQUIREMENTS, NUMBER OF SIGNS, AND SPECIAL CONDITIONS.**

The dimensional requirements, number of signs permitted and other special conditions are set forth in the Table of Sign Requirements by Sign Type.

**8.7 EXEMPT SIGNS.**

The following types of signs are exempted from the requirements of the Article; except those particular signs that may be classified by the Planning Commission as obscene, dangerous or hazardous, conflicting aesthetically, or that generally do not meet the basic requirements of other Sections of the Article, such as design, maintenance, etc. No permit is required for exempted signs.

- a) Political signs. Any political sign or poster not exceeding three square feet erected on property by the owner thereof or with the property owner's consent pertaining to a candidacy or issued to be voted upon at any election or referendum, provided such sign or poster shall not be erected more than 60 days prior to such election or referendum and shall be removed with seven days after the referendum, or last such election in which the candidate is eligible. All signs must have the name and contact information for the individual placing the sign. *Signs must be a minimum of 2 feet from street*