



**CITY OF DENISON
PLANNING AND ZONING COMMISSION MEETING
AGENDA**

Tuesday, February 13, 2024

After determining that a quorum is present, the Planning and Zoning Commission of the City of Denison, Texas will convene in a Regular Meeting on **Tuesday, February 13, 2024, at 10:00 AM** in the Council Chambers at City Hall, 300 W. Main Street, Denison, Texas at which the following items will be considered:

1. CALL TO ORDER

2. PUBLIC COMMENT

Citizens may speak on items listed on the Agenda. A “Request to Speak Card” should be completed and returned to the City Clerk prior to the Commission reaching the Public Comment section of the agenda. Citizen comments are limited to three (3) minutes, unless otherwise required by law. Comments related to Public Hearings listed below will be heard when the specific hearing is called.

3. CONSENT AGENDA

- A. Receive a report, hold a discussion, and take action on approving the Minutes from the January 23, 2024, Planning and Zoning Commission Meeting.
- B. Receive a report, hold a discussion, and take action on a Preliminary Plat for the Savoy Addition. (Case No. 2023-044PP)
- C. Receive a report, hold a discussion, and take action on a Site Plan for Lot 2R, Block B of The Rosemary. (Case No. 2023-096SP).

4. PUBLIC HEARINGS

- A. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to rezone an approximately 2.94 acre tract identified as GCAD Property ID No. 141832, said property being legally described as Lots 1 through 16 and including the twenty (20) foot alley, Block 2 of Miller’s First Addition to the City of Denison, Grayson County, Texas, according to the deed recorded in Volume Y, Page 330, Deed Records of Grayson County, Texas; being commonly known as 715 W. Sears Street, to amend the current Planned Development Ordinance No. 5218 by changing the current zoning

classification from Planned Development Overlay (PD) District with the base zoning of Single-Family Residential Attached (SF-TH) District to a Planned Development Overlay (PD) District with the base zoning of Multi-Family Residential (MF-2) District and Local Retail (LR) District for residential and retail use and amending Exhibit B “Development Standards” and Exhibit C “Concept Plan” of Ordinance No. 5218. (Case No. 2023-117PD).

5. STAFF UPDATES

6. ADJOURNMENT

CERTIFICATION

I do hereby certify that a copy of this Notice of Meeting was posted on the front windows of City Hall readily accessible to the general public at all times and posted on the City of Denison website on the 9th day of February 2024.

Karen L. Avery, Deputy City Clerk

In compliance with the Americans With Disabilities Act, the City of Denison will provide for reasonable accommodations for persons attending Planning and Zoning Commission Meeting. To better serve you, requests should be received 48 hours prior to the meetings. Please contact the City Clerk’s Office at 903-465-2720, Ext: 2437.



**CITY OF DENISON
PLANNING AND ZONING COMMISSION MEETING
MINUTES**

Tuesday, January 23, 2024

1. CALL TO ORDER

Announced the presence of a quorum.

Chair Charlie Shearer called the meeting to order at 10:00 a.m. Commissioners present were Vice Chair Robert Sylvester, Commissioners Linda Anderson, Ernie Pickens, and Alternate Commissioner Mike Zapata.

Staff present were Mary Tate, Director of Development, Dianne York, Planner; Felecia Winfrey, Development Coordinator; and Karen Avery, Deputy City Clerk.

The Invocation was delivered by Chair Shearer, followed by the Pledge of Allegiance led by Commissioner Anderson.

2. PUBLIC COMMENT

No comment cards were returned to the Deputy City Clerk. Therefore, public comments were not received.

3. CONSENT AGENDA

A. Receive a report, hold a discussion, and take action on approving the Minutes from the January 9, 2024, Planning and Zoning Commission Meeting.

Commission Action

On motion by Commissioner Pickens, seconded by Vice Chair Sylvester, the Planning and Zoning Commission approved the Consent Agenda. Note: Commissioners Anderson and Zapata recused as they were absent at the January 9, 2024, meeting.

4. PUBLIC HEARINGS

A. Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat of the David Ray Addition, Block 1, Lots 1-7 being a Replat of Lots 1 & 2 of the Replat of Lots 1 & 2 of Thedford Acres. (Case No. 2023-128RP)

4. PUBLIC HEARINGS

- A. Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat of the David Ray Addition – **continued**

Commission Action

Dianne York, Planner, presented this agenda item. Ms. York provided an aerial view of the property. Ms. York stated that the purpose of the Replat is to create seven (7) lots from two (2) lots for residential uses. Ms. York stated that all lots have adequate frontage on Dripping Springs Road and water is to be provided by Starr Water Supply Corporation. All lots will have septic systems in accordance with Grayson County requirements. Ms. York stated that the Replat meets all minimum standards of Chapter 22 Subdivision Regulations. Staff recommended approval of the proposed Replat.

Chair Shearer asked if there was anyone present who wished to speak on this agenda item, to which there was none. With that, the Public Hearing was closed.

On motion by Commissioner Pickens, seconded by Commissioner Anderson, the Planning and Zoning Commission unanimously approved a Replat of the David Ray Addition, Block 1, Lots 1-7 being a Replat of Lots 1 & 2 of the Replat of Lots 1 & 2 of Thedford Acres. (Case No. 2023-128RP)

- B. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to rezone an approximately 0.475-acre tract identified as GCAD Property ID No. 140644, commonly known as 2713 W. Morton Street, from the SF-7.5, Single Family Residential District (SF-7.5) within the Highway Oriented and Corridor Overlay District (HO) to the Commercial (C) within the Highway Oriented and Corridor Overlay District (HO) to allow for commercial use. (Case No. 2023-126Z).

Commission Action

Dianne York, Planner, presented this agenda item. Ms. York provided an aerial view of the property. Ms. York stated that the subject property is located east of Chick-fil-A and across from the Fire Station located on FM120 (Morton Street). Ms. York stated that there is a commercial building that has already been developed on that property and the building was developed or constructed sometime in 2006. The property has been developed in a commercial manner; however, it is currently zoned single-family. Ms. York stated that the Comprehensive Plan calls for this area to be developed in a “Mixed Commercial” manner. Ms. York stated that the Highway Oriented and Corridor Overlay District will remain in place. Ms. York stated that the rezoning will prevent any kind of issues with a Certificate of Occupancy in the future. She stated that the City has had someone come forward that would like to redevelop the building there - not necessarily on the outside - but remodel it on the inside to accommodate their business. Ms. York stated that the building has been vacant for quite some time. Ms. York stated that the property is not platted, noting that it does not hinder anything because it is already an existing structure. However, if there were any additions made, the property would have to be platted. Staff recommended approval of the request.

Chair Shearer asked if there was anyone present who wished to speak on this agenda item.

Mr. David Keese came forward to address the Commission and provided the following information for the record:

Name: Mr. David Keese
First United Bank (Applicant's Representative)

Address: 1400 W. Main Street
Durant, OK 74704

Applicant's representative, Mr. David Keese, stated that the Applicant is requesting a rezone from Commercial to Residential. He stated that when the property was appraised in 2005, it was indicated that it was zoned commercial. Mr. Keese stated that the use of the building is consistent with the area and, therefore, they are requesting approval of rezoning.

Chair Shearer asked if there was anyone else present who wished to speak on this agenda item, to which there was none. With that, the Public Hearing was closed.

For the record, 1) a Letter in Support of the Request was received by staff from Mr. Tony Kaai on January 16, 2024; and 2) a Letter in Opposition to the Request was received by staff from Mr. Steve Brinkerhoff on January 19, 2024.

On motion by Commissioner Anderson, seconded by Vice Chair Sylvester, the Planning and Zoning Commission unanimously recommended approval of a request to rezone an approximately 0.475-acre tract identified as GCAD Property ID No. 140644, commonly known as 2713 W. Morton Street, from the SF-7.5, Single Family Residential District (SF7.5) within the Highway Oriented and Corridor Overlay District (HO) to the Commercial (C) within the Highway Oriented and Corridor Overlay District (HO) to allow for commercial use. (Case No. 2023-126Z).

- C. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to amend Planned Development District for a 2.94-acre tract identified as GCAD Property ID No. 141832, commonly known as 715 W. Sears Street from the Single-Family Townhome (SF-TH) District to a Planned Development District with a base zoning district of Multi-Family (MF-2) District for residential use. (Case No. 2023-117PD).

Commission Action

Dianne York, Planner, presented this agenda item. Ms. York stated that this item was incorrectly noticed. Staff requested the Planning and Zoning Commission to consider tabling the Public Hearing to the Planning and Zoning Commission meeting to be held on February 13, 2024.

On motion by Commissioner Anderson, seconded by Commissioner Zapata, the Planning and Zoning Commission unanimously tabled the Public Hearing to the Planning and Zoning Commission meeting on February 13, 2024.

5. STAFF UPDATES

Director Tate and Planner York provided updates to the Commission regarding the zoning cases presented to City Council at their January 16, 2024, Meeting. The following cases were approved by City Council:

- Ordinance to rezone an 11.446-acre portion of the tract identified as GCAD Property ID No. 151234 from the MF-1, Multi-Family Residential (MF-1) and Commercial (C) District partially within the Austin Avenue Overlay (AO) to a Planned Development District (PD) partially within the Austin Avenue Overlay (AO) with a base zoning of MF-1, Multi-Family Residential (MF-1) to allow for multi-family residential use. (Case No. 2023-119PD)
- Ordinance to amend Planned Development Ordinance No. 5166 to add an additional 1.644 acres to the existing PD and to include the base zonings of Single-Family Residential District (SF-5), Single-Family Residential District-Attached (SF-TH), Multi-Family Residential District (MF-1), Multi-Family Residential District (MF-2), and Commercial District (C) on the approximately 28.36-acre tract, commonly known as 3400 W. Crawford Street. (Case No. 2023-118PD)
- Ordinance for a Conditional Use Permit within the Commercial (C) zoning district, to allow for a distribution center for property located at 307 W. Coffin. (Case No. 2023- 116CUP)

6. ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned at 10:13 a.m.

CHARLIE SHEARER, Chairman

ATTEST:

Karen L. Avery, Deputy City Clerk

Planning and Zoning Commission Meeting Staff Report



Agenda Item

Receive a report, hold a discussion, and take action on a Preliminary Plat for the Savoy Addition. (Case No. 2023-044PP)

Staff Contact

Dianne York, Planner
dyork@cityofdenison.com
903-465-2720

Summary

- The applicant is requesting approval of a Preliminary Plat for a proposed development consisting of approximately 2.974 acres.
- The property is zoned Planned Development (PD) Overlay District to allow for the construction of single-family attached (townhome).
- Upon approval of the Preliminary Plat, the applicant will submit an application for Final Plat and Civil Engineering Plans.

Recommended Motion

Staff recommends conditionally approving the proposed Preliminary Plat pending Civil Engineering Plan and Final Plat approval.

Recommended Motion

"I move to conditionally approve the proposed Preliminary Plat pending Civil Engineering Plan and Final Plat approval."

Background Information and Analysis

Applicant is seeking conditional approval of a Preliminary Plat for the Savoy Addition development. Approval of the proposed plat will allow the developer to move forward with submitting a Final Plat application and Civil Engineering Plans.

The subject property is zoned Planned Development per Ordinance No. 4914 allowing for the development of single-family attached (townhome) structures. This Ordinance was approved by the City of Denison City Council at the meeting held on November 6th, 2017. The proposed Preliminary Plat consists of twenty-seven (27) lots and one (1) open space lot. Each lot meets the minimum lot size, depth and width requirements listed within the District Regulations for this Planned Development. The proposed lots will front on both South College Boulevard and Willow Grove Road. The developer is responsible for construction of all future infrastructure as well as any detention or drainage facilities required to accommodate the proposed development. Additionally, any required improvements to existing infrastructure will be the sole responsibility of the developer.

Impact fees will be assessed, Park Dedication Fees will be collected, and a Tree Preservation Plan will be submitted at the time of Final Plat application per Ordinance No. 5286, Section 22-102 of the Subdivision Ordinance and Section 28.51.9.A.6.b. of the Zoning Ordinance.

Prior to submitting a building permit, the developer will make a formal Site Plan submittal to the Planning Staff. As the property is zoned Planned Development, the Site Plan must be approved by the Planning and Zoning Commission.

Financial Considerations

N/A

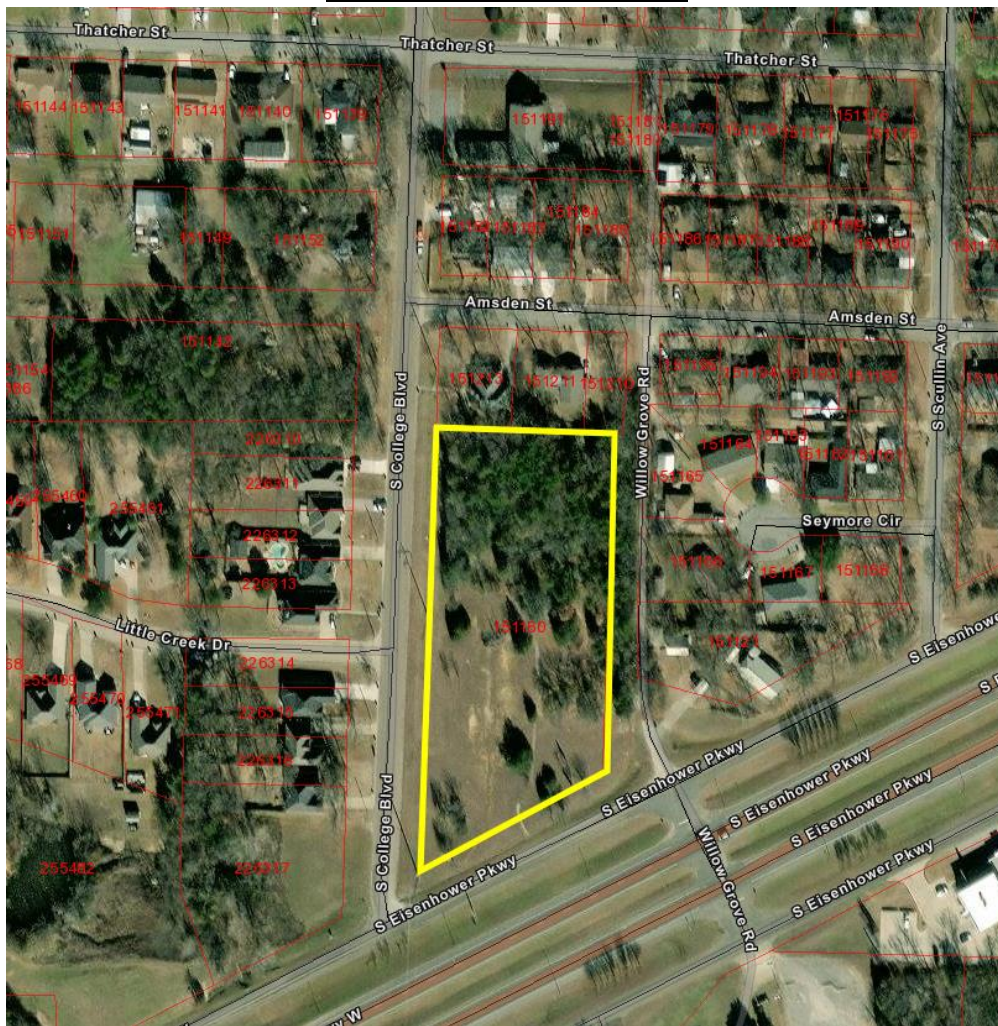
Prior Board or Council Action

The City Council approved Ordinance No. 4914 to allow for the zoning of Planned Development Overlay District.

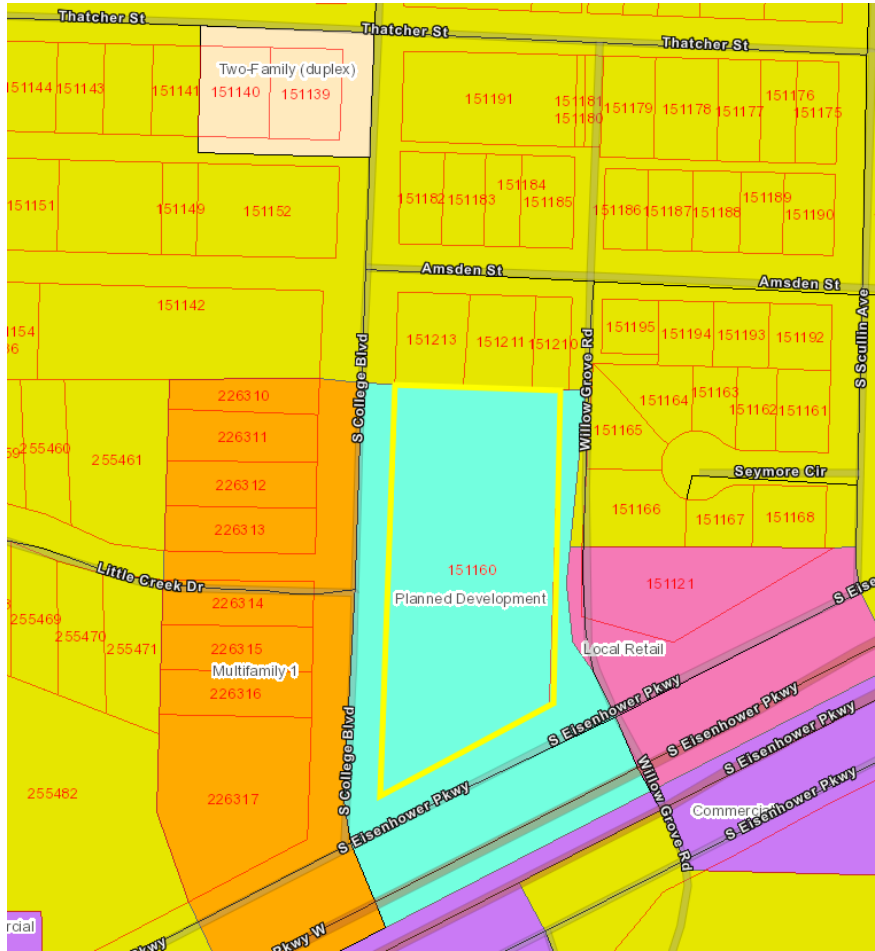
Alternatives

The Planning and Zoning Commission may deny or approve the plat with conditions.

Aerial of Subject Property



Zoning of Subject Property





Savoy Development & Acquisitions, LLC

Real Estate Services | Construction | Hospitality.

THE SAVOY, in DENISON

In the heart of Denison, a new horizon rises: 27 Modern Townhomes

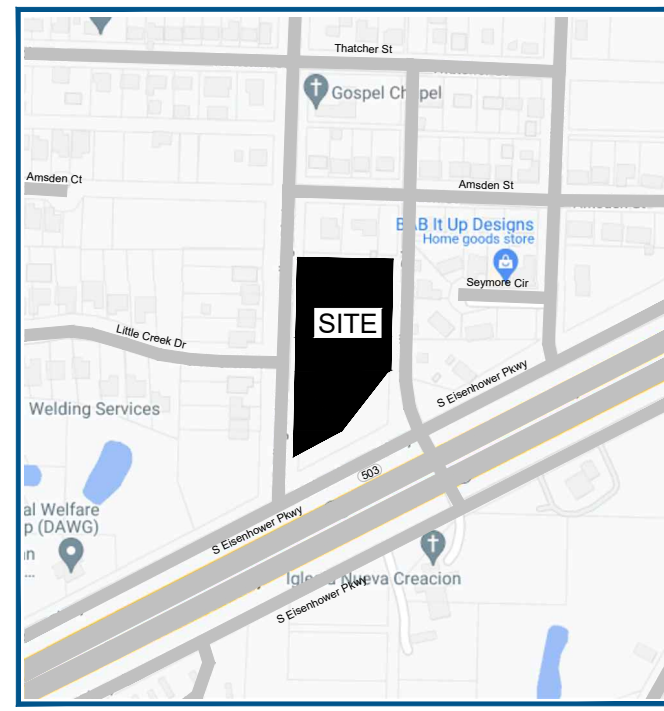
Denison, a city where history whispers on every corner, is about to witness a bold new chapter. Rising from the ground, not just as structures of brick and glass, but as a canvas for urban living, will stand 27 Modern Townhomes. This isn't just a collection of dwellings; it's a statement. A declaration that modern living and community can thrive here, in the beating heart of Texas.

Here are some additional features:

- Colors and materials used will tie into the existing synergy of Denison.
- Building materials and equipment used to focus on the sustainable and eco-friendly environment.
- To be built and designed as a pet friendly neighborhood.



VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF GRAYSON §

WHEREAS, SAVOY DEVELOPMENT & ACQUISITIONS LLC, is the sole owner of a 2.974 acre tract or parcel of land situated in the Joseph Earheart Survey, Abstract Number 391, a part of J.B. Hewitts Addition (now abandoned) situated in the City of Denison, Grayson County, Texas, being the same called 2.968 acre tract of land conveyed to Savoy Development & Acquisition, L.L.C., by deed recorded in Document Number 2022-31228 of the Official Records of Grayson County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the East line of College Boulevard with the North Right of Way line of Eisenhower Parkway at the Southwest corner of said 2.968 acre tract, and for the Southwest corner of this tract;

THENCE N 01°10'24" E, with the East line of College Boulevard and the West line of said 2.968 acre tract, a distance of 574.52 feet to a 1/2 inch iron rod found in the South line of a 15 foot alley (unopened), and for the Northwest corner of this tract;

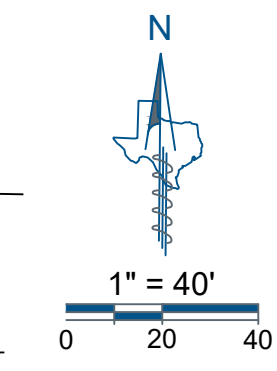
THENCE S 88°53'49" E, with the South line of said alley, the North line of said 2.968 acre tract, a distance of 275.29 feet to a Mag Nail found in the East line of said 2.968 acre tract, in Willow Grove Road, and for the Northeast corner of this tract;

THENCE S 01°10'48" W, with said Willow Grove Road and the East line of said 2.968 acre tract, a distance of 320.19 feet to a Mag Nail found at the most Easterly Southeast corner of said 2.968 acre tract, in the North Right of Way line of said Eisenhower Parkway, and for the Southeast corner of this tract;

THENCE S 61°46'16" W, with the North Right of Way line of said Eisenhower Parkway, the South line of said 2.968 acre tract, a distance of 10.26 feet to a concrete Right of Way monument found for an angle point of this tract;

THENCE S 88°05'18" W, continuing with the North Right of Way line of said Eisenhower Parkway, the South line of said 2.968 acre tract, a distance of 217.21 feet to a 1/2 inch iron rod found for an angle point of this tract;

THENCE S 61°57'32" W, continuing with the North Right of Way line of said Eisenhower Parkway, the South line of said 2.968 acre tract, a distance of 155.65 feet to the **POINT OF BEGINNING** and Containing 2.974 acres of land.



GENERAL NOTES

- The purpose of this plat is to create 27 residential lots and 1 open space lot from an unplatted tract of land and to dedicate easements and right-of-way.
- The bearings shown on this survey are based on GPS observations utilizing the AllTerra RTK Network. North American Datum of 1983 (Adjustment Realization 2011).
- Controlling monuments: as shown.
- Coordinates based on Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on grid coordinate values.
- This property is located in **Non-shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 29, 2010 and is located in Community Number 480259 as shown on Map Number 48181C0285F. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building permits.
- Per the City of Denison online Zoning Map accessed on 3/27/2023, the subject property is zoned "PD 4914" and adjacent lands are zoned "Multifamily-1," "Single Family - 5," and "Local Retail" and are subject to the rules and regulations listed in the City of Denison's Code of Ordinances.

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF _____ §

I, the undersigned owner of the land shown herein, and legally described herein above, and designated herein as **SAVOY ADDITION**, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed.

I further acknowledge that the dedications made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: SAVOY DEVELOPMENT & ACQUISITIONS LLC

BY: _____ DATE: _____
AUTHORIZED AGENT SIGNATURE

BY: _____
AUTHORIZED AGENT, PRINTED NAME & TITLE

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2023.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

Approved for preparation of final plat _____

Approved this _____ day of _____, 2023 by the Planning & Zoning Commission of the City of Denison, Texas. _____

Chairman _____ Secretary _____

Date _____ Date _____

CASE NO. 2023-044PP

PRELIMINARY PLAT
SAVOY ADDITION
LOTS 1-27 & 1X, BLOCK A

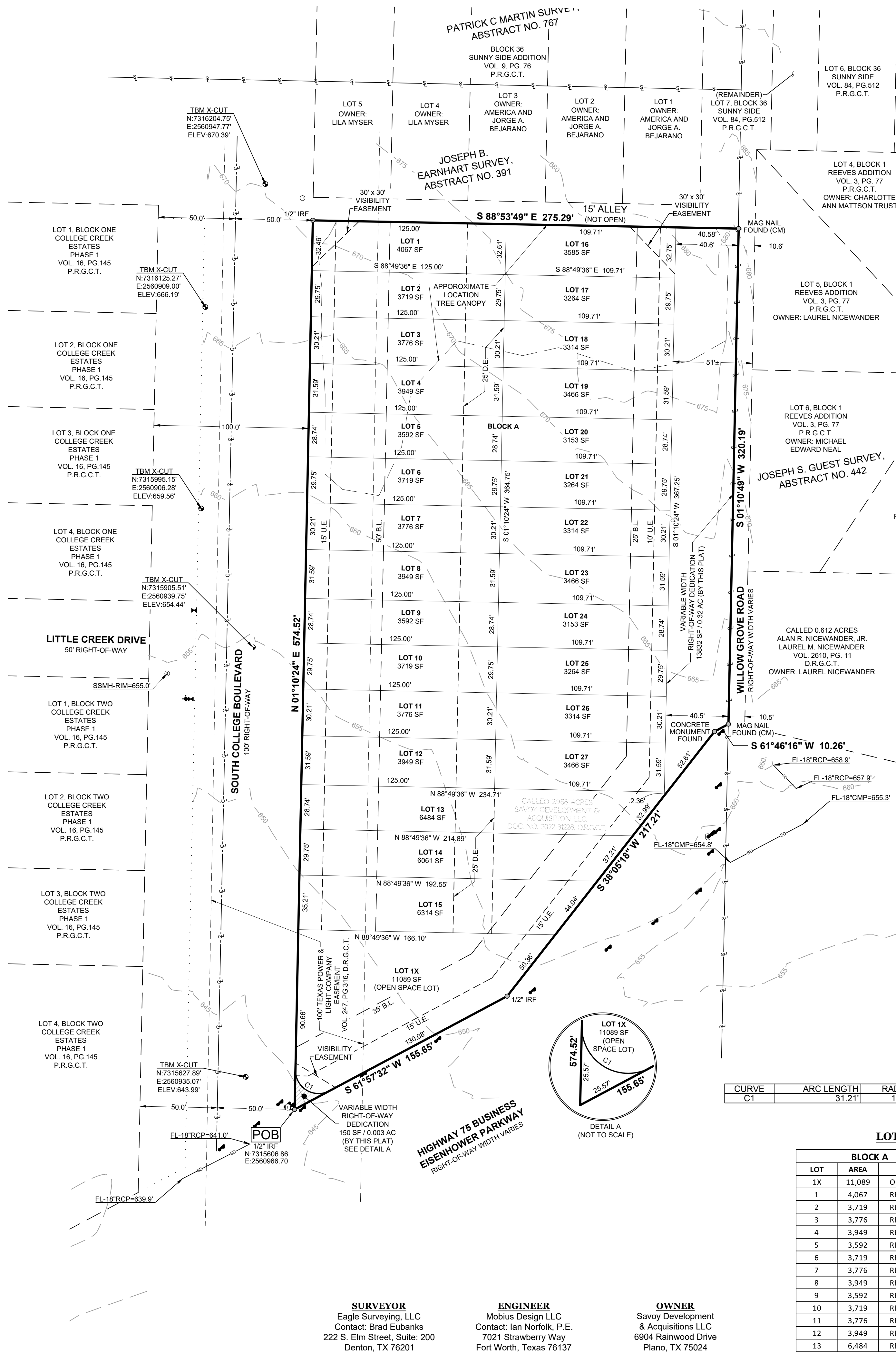
BEING 2.974 ACRES SITUATED IN THE
JOSEPH B. EARNHART SURVEY, ABSTRACT No. 391,
CITY OF DENISON, GRAYSON COUNTY, TEXAS

DATE OF PREPARATION: DECEMBER 14, 2023 PAGE 1 OF 1

JOB NUMBER	2301.060-03
DATE	12/14/2023
REVISION	-
DRAWN BY	BE



Eagle Surveying, LLC
222 South Elm Street
Suite: 200
Denton, TX 76201
940.222.3009
www.eaglesurveying.com
TX Firm # 10194177



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.21'	15.00'	119°12'53"	N 58°26'02" W	25.88'

LOT TABULATION TABLE

BLOCK A			BLOCK A		
LOT	AREA	USE	LOT	AREA	USE
1X	11,089	OPEN SPACE	14	6,061	RESIDENTIAL
1	4,067	RESIDENTIAL	15	6,314	RESIDENTIAL
2	3,719	RESIDENTIAL	16	3,585	RESIDENTIAL
3	3,776	RESIDENTIAL	17	3,264	RESIDENTIAL
4	3,949	RESIDENTIAL	18	3,314	RESIDENTIAL
5	3,592	RESIDENTIAL	19	3,466	RESIDENTIAL
6	3,719	RESIDENTIAL	20	3,153	RESIDENTIAL
7	3,776	RESIDENTIAL	21	3,264	RESIDENTIAL
8	3,949	RESIDENTIAL	22	3,314	RESIDENTIAL
9	3,592	RESIDENTIAL	23	3,466	RESIDENTIAL
10	3,719	RESIDENTIAL	24	3,153	RESIDENTIAL
11	3,776	RESIDENTIAL	25	3,264	RESIDENTIAL
12	3,949	RESIDENTIAL	26	3,314	RESIDENTIAL
13	6,484	RESIDENTIAL	27	3,466	RESIDENTIAL

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Denison, Grayson County, Texas.

PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402 _____ Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

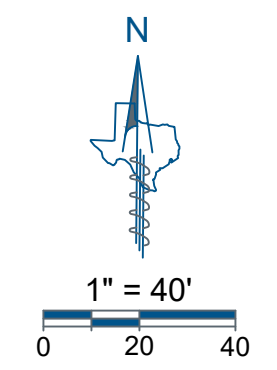
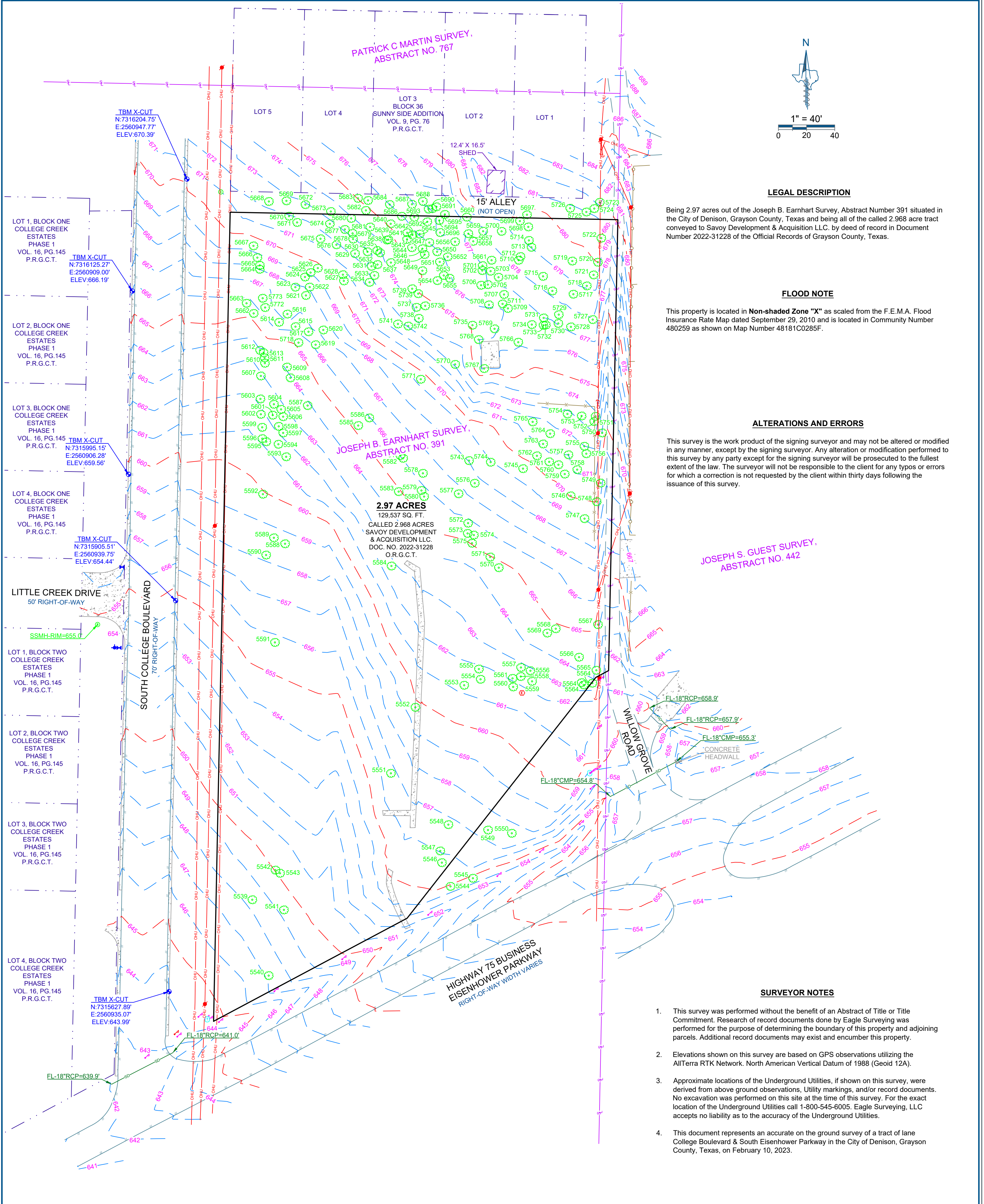
BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2023.

Notary Public in and for the State of Texas

LEGEND

POB = POINT OF BEGINNING	☉	Mail Box
D.E. = DRAINAGE EASEMENT	⊙	Water Meter
B.L. = PROPOSED BUILDING LINE	➤	Water Valve
SF = SQUARE FEET		Power Pole
(CM) = CONTROLLING MONUMENT	⊙	Sanitary Manhole
IRF = IRON ROD FOUND	⊙	Sanitary Clean Out
CIRS = CAPPED IRON ROD WITH GREEN PLASTIC CAP STAMPED "EAGLE SURVEYING" SET	⊙	Telecommunications Riser
MNF = MAG NAIL FOUND WITH WASHER	⊙	Telecommunications Utility Mark
AC = ACRES		Atmos Utility Mark
INST. NO. = INSTRUMENT NUMBER	—	Subject Tract
U.E. = UTILITY EASEMENT	---	Lot Lines
P.R.G.C.T. = PLAT RECORDS GRAYSON COUNTY, TEXAS	///	Adjoiner Lines
D.R.G.C.T. = DEED RECORDS, GRAYSON COUNTY, TEXAS	X	Asphalt
—	—	Wire Fence
—	—	Chain-Link Fence
—	—	Overhead Utilities
—	—	Index Contours
—	—	Concrete



LEGAL DESCRIPTION

Being 2.97 acres out of the Joseph B. Earnhart Survey, Abstract Number 391 situated in the City of Denison, Grayson County, Texas and being all of the called 2.968 acre tract conveyed to Savoy Development & Acquisition LLC. by deed of record in Document Number 2022-31228 of the Official Records of Grayson County, Texas.

FLOOD NOTE

This property is located in **Non-shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 29, 2010 and is located in Community Number 480259 as shown on Map Number 48181C0285F.

ALTERATIONS AND ERRORS

This survey is the work product of the signing surveyor and may not be altered or modified in any manner, except by the signing surveyor. Any alteration or modification performed to this survey by any party except for the signing surveyor will be prosecuted to the fullest extent of the law. The surveyor will not be responsible to the client for any typos or errors for which a correction is not requested by the client within thirty days following the issuance of this survey.

SURVEYOR NOTES

1. This survey was performed without the benefit of an Abstract of Title or Title Commitment. Research of record documents done by Eagle Surveying was performed for the purpose of determining the boundary of this property and adjoining parcels. Additional record documents may exist and encumber this property.
2. Elevations shown on this survey are based on GPS observations utilizing the AllTerra RTK Network. North American Vertical Datum of 1988 (Geoid 12A).
3. Approximate locations of the Underground Utilities, if shown on this survey, were derived from above ground observations, Utility markings, and/or record documents. No excavation was performed on this site at the time of this survey. For the exact location of the Underground Utilities call 1-800-545-6005. Eagle Surveying, LLC accepts no liability as to the accuracy of the Underground Utilities.
4. This document represents an accurate on the ground survey of a tract of land College Boulevard & South Eisenhower Parkway in the City of Denison, Grayson County, Texas, on February 10, 2023.

<p>JOB NUMBER 2301.060</p> <p>DATE 2/15/2023</p> <p>REVISION -</p> <p>DRAWN BY CF</p>	<p>EAGLE SURVEYING</p>	<p>Eagle Surveying, LLC 222 South Elm Street Suite: 200 Denton, TX 76201 940.222.3009 www.eaglesurveying.com TX Firm # 10194177</p>	<p>TOPOGRAPHIC EXHIBIT</p>	<p>LEGEND</p> <table style="font-size: small;"> <tr> <td></td> <td>Gay Wire</td> <td></td> <td>Chain Link Fence</td> <td></td> <td>DOC. NO.</td> </tr> <tr> <td></td> <td>Power Pole</td> <td></td> <td>Wire Fence</td> <td></td> <td>P.R.G.C.T.</td> </tr> <tr> <td></td> <td>Electric Meter</td> <td></td> <td>Overhead Utilities</td> <td></td> <td>O.R.G.C.T.</td> </tr> <tr> <td></td> <td>Electric Utility Mark</td> <td></td> <td>Edge of Asphalt</td> <td></td> <td>Building</td> </tr> <tr> <td></td> <td>Fire Hydrant</td> <td></td> <td>Storm Drain</td> <td></td> <td>Concrete</td> </tr> <tr> <td></td> <td>Water Valve</td> <td></td> <td>Survey Line</td> <td></td> <td></td> </tr> <tr> <td></td> <td>Cable Utility Mark</td> <td></td> <td>Temporary Benchmark</td> <td></td> <td></td> </tr> <tr> <td></td> <td>Sanitary Manhole</td> <td></td> <td>Tree</td> <td></td> <td></td> </tr> <tr> <td></td> <td>Sanitary Clean Out</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>		Gay Wire		Chain Link Fence		DOC. NO.		Power Pole		Wire Fence		P.R.G.C.T.		Electric Meter		Overhead Utilities		O.R.G.C.T.		Electric Utility Mark		Edge of Asphalt		Building		Fire Hydrant		Storm Drain		Concrete		Water Valve		Survey Line				Cable Utility Mark		Temporary Benchmark				Sanitary Manhole		Tree				Sanitary Clean Out				
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	Power Pole		Wire Fence		P.R.G.C.T.																																																					
	Electric Meter		Overhead Utilities		O.R.G.C.T.																																																					
	Electric Utility Mark		Edge of Asphalt		Building																																																					
	Fire Hydrant		Storm Drain		Concrete																																																					
	Water Valve		Survey Line																																																							
	Cable Utility Mark		Temporary Benchmark																																																							
	Sanitary Manhole		Tree																																																							
	Sanitary Clean Out																																																									

TREE TABLE		
ID No.	COMMON NAME	D.B.H. (INCHES)
5539	OAK	24
5540	OAK	18
5541	CEDAR	14
5542	OAK	12
5543	OAK	20
5544	OAK	12
5545	OAK	18
5546	CEDAR	10
5547	CEDAR	12
5548	CEDAR	12
5549	OAK	14
5550	OAK	20
5551	CEDAR	30
5552	CEDAR	8
5553	OAK	30
5554	OAK	18
5555	OAK	14
5556	OAK	14
5557	OAK	22
5558	OAK	16
5559	OAK	20
5560	OAK	18
5561	OAK	18
5562	CEDAR	10
5563	CEDAR	10
5564	OAK	18
5565	OAK	6
5566	CEDAR	10
5567	OAK	14
5568	OAK	12
5569	OAK	10
5570	OAK	16
5571	OAK	14
5572	OAK	8
5573	CEDAR	12
5574	CEDAR	12
5575	CEDAR	18
5576	OAK	16
5577	OAK	8
5578	OAK	28
5579	CEDAR	10
5580	OAK	24
5581	OAK	10
5582	CEDAR	8
5583	CEDAR	10
5584	CEDAR	24
5585	CEDAR	16
5586	OAK	20
5587	OAK	16
5588	CEDAR	8
5589	CEDAR	14
5590	CEDAR	14
5591	OAK	10
5592	OAK	12
5593	OAK	12
5594	HACKBERRY	12
5595	OAK	16
5596	CEDAR	12
5597	CEDAR	8
5598	HACKBERRY	16
5599	OAK	16
5600	CEDAR	12
5601	CEDAR	12
5602	OAK	6
5603	HACKBERRY	10
5604	CEDAR	12
5605	HACKBERRY	10
5606	CEDAR	8
5607	OAK	10
5608	CEDAR	10
5609	OAK	6
5610	OAK	8
5611	CEDAR	10
5612	OAK	14
5613	OAK	10
5614	OAK	10
5615	CEDAR	10
5616	CEDAR	8

TREE TABLE		
ID No.	COMMON NAME	D.B.H. (INCHES)
5617	OAK	8
5618	CEDAR	10
5619	CEDAR	10
5620	OAK	14
5621	CEDAR	10
5622	CEDAR	10
5623	CEDAR	12
5624	CEDAR	12
5625	HACKBERRY	12
5626	CEDAR	12
5627	CEDAR	20
5628	OAK	8
5629	CEDAR	8
5630	CEDAR	8
5631	ELM	16
5632	CEDAR	10
5633	CEDAR	12
5634	HACKBERRY	8
5635	CEDAR	8
5636	CEDAR	8
5637	CEDAR	10
5638	CEDAR	10
5639	CEDAR	8
5640	CEDAR	8
5641	CEDAR	8
5642	CEDAR	8
5643	CEDAR	8
5644	CEDAR	12
5645	CEDAR	10
5646	CEDAR	6
5647	CEDAR	6
5648	CEDAR	12
5649	CEDAR	12
5650	CEDAR	10
5651	CEDAR	10
5652	CEDAR	10
5653	CEDAR	10
5654	CEDAR	10
5655	PECAN	12
5656	CEDAR	10
5657	CEDAR	12
5658	OAK	12
5659	CEDAR	6
5660	CEDAR	12
5661	OAK	8
5662	OAK	10
5663	OAK	8
5664	OAK	8
5665	CEDAR	8
5666	HACKBERRY	8
5667	OAK	8
5668	HACKBERRY	14
5669	HACKBERRY	8
5670	CEDAR	12
5671	LOCUST	10
5672	CEDAR	12
5673	HACKBERRY	10
5674	CEDAR	14
5675	CEDAR	8
5676	HACKBERRY	8
5677	CEDAR	8
5678	CEDAR	10
5679	CEDAR	10
5680	CEDAR	8
5681	CEDAR	8
5682	CEDAR	18
5683	OAK	22
5684	CEDAR	14
5685	CEDAR	8
5686	CEDAR	10
5687	CEDAR	10
5688	CEDAR	8
5689	CEDAR	8
5690	CEDAR	10
5691	CEDAR	8
5692	CEDAR	8
5693	CEDAR	8
5694	OAK	10

TREE TABLE		
ID No.	COMMON NAME	D.B.H. (INCHES)
5695	CEDAR	14
5696	CEDAR	8
5697	CEDAR	24
5698	CEDAR	8
5699	OAK	8
5700	HACKBERRY	10
5701	CEDAR	16
5702	CEDAR	8
5703	OAK	8
5704	CEDAR	10
5705	CEDAR	10
5706	CEDAR	10
5707	CEDAR	10
5708	CEDAR	14
5709	CEDAR	12
5710	CEDAR	12
5711	CEDAR	8
5712	OAK	6
5713	CEDAR	12
5715	CEDAR	14
5716	CEDAR	8
5717	CEDAR	8
5718	OAK	36
5719	CEDAR	10
5720	OAK	30
5721	CEDAR	8
5722	HACKBERRY	10
5723	OAK	12
5724	CEDAR	14
5725	OAK	14
5726	CEDAR	14
5727	OAK	10
5728	CEDAR	8
5729	CEDAR	12
5730	CEDAR	10
5731	CEDAR	10
5732	CEDAR	10
5733	CEDAR	10
5734	CEDAR	12
5735	OAK	8
5736	CEDAR	12
5737	CEDAR	12
5738	OAK	30
5739	OAK	8
5740	CEDAR	10
5741	CEDAR	12
5742	CEDAR	8
5743	CEDAR	16
5744	CEDAR	12
5745	CEDAR	14
5746	CEDAR	14
5747	CEDAR	18
5748	CEDAR	16
5749	OAK	28
5750	OAK	28
5751	OAK	16
5752	OAK	8
5753	CEDAR	8
5754	CEDAR	8
5755	CEDAR	10
5756	CEDAR	10
5757	CEDAR	10
5758	CEDAR	10
5759	CEDAR	10
5760	CEDAR	8
5761	CEDAR	10
5762	CEDAR	12
5763	CEDAR	8
5764	CEDAR	14
5765	CEDAR	12
5766	OAK	20
5767	CEDAR	8
5768	HACKBERRY	10
5769	CEDAR	14
5770	BOIS D' ARC	36
5771	OAK	12
5772	OAK	24
5773	CEDAR	12

JOB NUMBER
2301.060
DATE
2/15/2023
REVISION
-
DRAWN BY
CF



Eagle Surveying, LLC
222 South Elm Street
Suite: 200
Denton, TX 76201
940.222.3009
www.eaglesurveying.com
TX Firm # 10194177

**TOPOGRAPHIC
EXHIBIT**

Planning and Zoning Commission Meeting Staff Report



Agenda Item

Receive a report, hold a discussion, and take action on a Site Plan for Lot 2R, Block B of The Rosemary. (Case No. 2023-096SP).

Staff Contact

Dianne York, Planner
dyork@cityofdenison.com
903-465-2720

Summary

- The applicant is requesting approval of the proposed Site Plan.
- Property is zoned Planned Development.
- The proposed Site Plan consists of residential uses.

Staff Recommendation

Staff recommends approval of the Site Plan as submitted.

Recommended Motion

“I move to approve the Site Plan for Lot 2R, Block B of The Rosemary.”

Background Information and Analysis

The applicant is requesting approval of the proposed Site Plan for Lot 2R, Block B of The Rosemary development. The property is zoned Planned Development (PD) per Ordinance No. 5172. The Rosemary will include eight (8) apartment buildings consisting of a total of one hundred and seventy-six (176) units and twelve (12) duplex buildings consisting of twenty-two (22) units. A clubhouse, pool and gazebo will make up an amenity area for the residents of the apartment buildings. Access to the development is provided via Viking Street located on the north side of the property. A second point of access for emergency personnel only is located at the southeast corner of the property and accessed via S. Lillis Lane. The duplex units front on Lillis Lane; however, no drive access is provided. Lead walks will be constructed per the Planned Development providing the duplex units access to the sidewalk located along S. Lillis Lane. The apartment units will be located within the interior of the development.

Façade Plans – The façade plans are provided with this submittal. The structures will consist of brick veneer and board and batten siding.

Landscape/Screening – In addition to the minimum landscape requirements listed within Section 28.51., the Planned Development requires a fifteen (15) foot wide landscape strip along S. Lillis Lane and Viking Street with trees 2” caliper in size planted within this landscape easement. The Landscape Plan depicts these requirements. Screening meets the minimum standards listed within the Planned Development and Section 28.53.

Parking – The proposed Site Plan provided a total of 354 parking spaces, which is compliant with the Planned Development standards and Section 28.50.6. of the zoning code.

The Site Plan standards of approval, as listed in 28.13.16. are as follows:

1. Conformance with the zoning ordinance and other applicable regulations and previously approved, valid plans for the property.

This property is zoned Planned Development with a base zoning of MF-2, Multi-Family Residential. The proposed Site Plan meets regulations and standards detailed in the Planned Development and MF-2, Multi-Family Residential zoning ordinance.

2. The design and location of off-street parking and loading facilities to ensure that all such spaces are usable and are safely and conveniently arranged.

Off-street parking requirements are adequately met and detailed on the proposed Site Plan.

3. The width, grade and location of street designed to accommodate prospective traffic and to provide access for firefighting and emergency equipment to buildings.

The proposed layout of parking and driveways will not impede the circulation of traffic.

4. The use of landscaping and screening to provide adequate buffers to shield lights, noise, movement or activities from adjacent properties when necessary, and to complement the design and location of buildings and be integrated into the overall site design.

The proposed landscaping is compliant with the Planned Development Ordinance and City Ordinance and is compatible with the design and location of the building.

5. The location, size, and configuration of open space areas to ensure they are suitable for intended recreation and conservation uses.

The proposed open space and trail areas are compliant with the requirements listed within the Planned Development Ordinance.

6. The adequacy of streets, water, drainage, sewerage facilities, garbage disposal and other utilities necessary for essential services to residents and occupants.

Streets, water, drainage, sewerage facilities and other utility/infrastructure needs can be met at the proposed site.

7. Consistency with the Comprehensive Plan.

This project is compliant with the Comprehensive Plan.

Financial Considerations

N/A

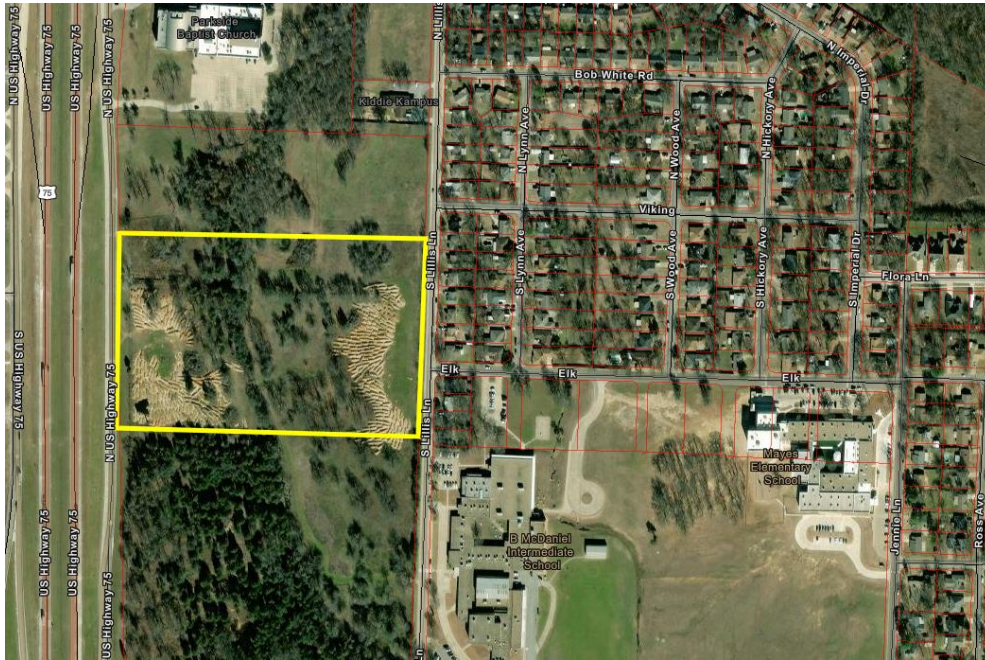
Prior Board or Council Action

City Council approved Ordinance No. 5172, zoning the property Planned Development at their meeting held on November 1st, 2021.

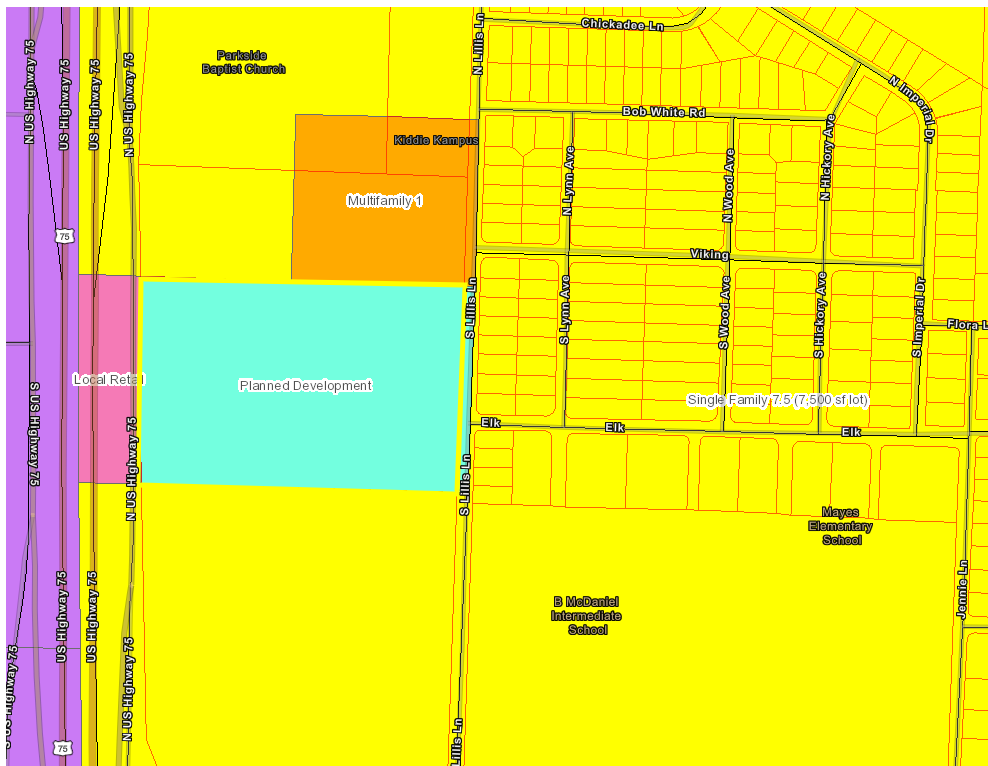
Alternatives

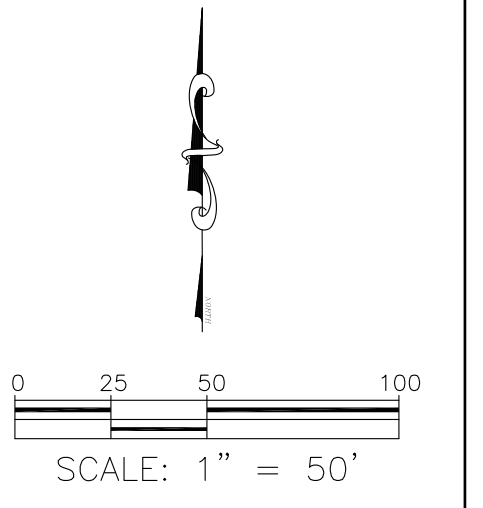
The Planning and Zoning Commission may deny or approve with conditions.

Aerial of Subject Property



Zoning of Subject Property





PARKSIDE BAPTIST CHURCH LOT 1R, BLOCK A 7.09 AC. LAND USE: VACANT EX ZONING: MULTIFAMILY 1, SINGLE FAMILY & AGRICULTURE

AINAGE EASEMENT L. 16, PG. 58

CHANNEL EASEMENT 1342, PG 796 D.R.G.C.T.

VA 132 PARTNERS LLC LOT 1R, BLOCK B 6.63 AC. EX ZONING: PLANNED DEVELOPMENT COMMERCIAL

11' POWERLINE EASEMENT VOL 2089, PG 730 D.R.G.C.T.

LAND USE: VACANT EX ZONING: AGRICULTURE

CALLLED 21.78 AC. AHK PROPERTIES, LLC INST. NO. 2022-15149 O.P.R.G.C.T.

RED CAP ROD N: 7326846.301 E: 2551657.545 EL: 745.22 LAND USE: VACANT EX ZONING: SINGLE FAMILY

3 KELLY E. KOLBA VOL. 2481, PG. 23 O.P.R.G.C.T.

2 JOHN ALAN MANNING & TERESA L. MANNING INST. NO. 2021-12145 O.P.R.G.C.T.

1 SHARON F. SCOTT VOL. 2468, PG. 87 O.P.R.G.C.T.

8 RED CAP ROD N: 7327577.187 E: 2551667.416 EL: 755.09

7 HADDOCK BROTHERS MANAGEMENT, LLC INST. NO. 2019-08683 O.P.R.G.C.T.

6 TRACY S. GOINS VOL. 01331, PG. 130 O.P.R.G.C.T.

5 FELIPE LUIS MARTINEZ & VANJEL FRANCISCO REYES VOL. 01853, PG. 723 O.P.R.G.C.T.

4 SANADA FIELDS INST. NO. 2022-22125 O.P.R.G.C.T.

3 KEVIN DUANE COLLIER & MARK WATSON SWIMBEL VOL. 01410, PG. 414 O.P.R.G.C.T.

2 RACHEL L. MORHEAD VOL. 01929, PG. 414 O.P.R.G.C.T.

1 SHUNNAY S. GILMORE INST. NO. 2022-17669 O.P.R.G.C.T.

4 ANN MCLEVA INST. NO. 2022-27941 O.P.R.G.C.T.

3 ANNA LASHLEY VOL. 5448, PG. 498 O.P.R.G.C.T.

2 BRIAN KEITH TERRY & MARY LOU GREEN-TERRY INST. NO. 2021-9646 O.P.R.G.C.T.

1 JASON LOWERY VOL. 01729, PG. 819 O.P.R.G.C.T.

BLOCK 3 1ST ADDITION VOL. 1, PG. 117 P.R.G.C.T.

BLOCK 2 1ST ADDITION VOL. 1, PG. 117 P.R.G.C.T.

BLOCK 1 1ST ADDITION VOL. 1, PG. 117 P.R.G.C.T.

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND MATERIAL OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION PRIOR TO COMMENCEMENT. CONTRACTOR SHALL CONTACT UTILITY LOCATOR 48 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION BEING IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, REGULATIONS, STATUTES, STANDARDS, AND SPECIFICATIONS.
4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION.
5. CONTRACTOR SHALL PROTECT EXISTING CONTROL MONUMENTATION AND BENCHMARKS. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT HIS EXPENSE.
6. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
7. ALL EARTHWORK OPERATIONS, PAVEMENT INSTALLATION, ETC. SHALL CONFORM TO THE RECOMMENDATION OF THE GEOTECHNICAL REPORT.
8. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS, INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, AND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER.
9. ALL CONCRETE PAVEMENT SHALL BE 3,600 PSI CONCRETE. CONCRETE THICKNESS SHALL BE 6" UNDER ALL FIRELANES AND HEAVY DUTY TRAFFIC AREAS, 7" UNDER ALL DUMPSTER PADS, 6" UNDER MEDIUM DUTY TRAFFIC AREAS AND 5" UNDER ALL PARKING AREAS AS RECOMMENDED BY THE GEOTECHNICAL REPORT. PLEASE REFER TO GEOTECHNICAL REPORT.
10. DIMENSIONS ARE FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE INDICATED.
11. ALL CONNECTIONS TO EXISTING PAVING SHALL HAVE A FULL DEPTH SAWCUT.
12. EROSION CONTROL SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
13. REFER TO STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
14. ALL OPEN SPACE AND LANDSCAPE AREAS ARE TO BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.
15. ALL STORM DRAINAGE IS CONSIDERED PRIVATE AND WILL BE MAINTAINED BY THE PROPERTY OWNER.

LEGEND

- FIRELANE (dashed line)
EXPANSION JOINT (dashed line with cross-ticks)
CARPORT (dashed rectangle)
FIRE DEPARTMENT CONNECTION (arrow symbol)

SITE DATA SUMMARY TABLE

Table with columns: ZONING, PROPOSED USE, LOT AREA (SF), LOT AREA (AC), TOTAL UNITS, UNITS / ACRE, TOTAL RECD PARKING, INCL. HC PARKING, SURFACE PARKING, CARPORT PARKING, GARAGE PARKING, TOTAL PROP PARKING, INCL. HC PARKING, PERVIOUS SPACE (SF), IMPERVIOUS SURFACE (SF). Rows include PD, RESIDENTIAL, APARTMENT BUILDINGS A-G, 2 BEDROOM UNITS, 1 BEDROOM UNITS, TOTAL APARTMENT UNITS, TOWNSHOME DUPLEXES 1-11, 2 BEDROOM UNITS, 1 BEDROOM UNITS, TOTAL TOWNSHOME UNITS, Parking Requirements: 1 space per studio/efficiency unit, 1.5 per 1 bedroom unit, 2 per 2 bedroom unit, 2.5 per 3 bedroom unit.

BUILDING SCHEDULE table with columns: BUILDING, # OF STORIES, HEIGHT. Rows: CLUB 1 23'-3", A & C 2 29'-8", B & D-H 3 40'-8", 1-11 1 22'-3".

WATER METER SCHEDULE table with columns: TYPE, SIZE, NO., SAN. SEW. Rows: DOM 4" 1 6", IRR 2" 1 N/A.

OWNER ROSEMARY 126 INVESTORS, LP 801 EAST TAYLOR STREET SHERMAN, TEXAS 75090 CONTACT: JOE E. GILBERT 903-893-5188

On the ___ day of ___, 20___ this site plan was duly approved by the Planning Director of the City of Denison, Texas.

SITE PLAN THE ROSEMARY LOT 2R, BLOCK B, ABSTRACT NO. 336 M.C. DAVIS SURVEY ZONING: PD 9.98 ACRES DENISON, GRAYSON COUNTY, TEXAS CIVIL POINT ENGINEERS 5900 SOUTH LAKE FOREST DR, STE 300 MCKINNEY, TX 75070 972-554-1100 (Office) 1-866-682-8129 (Fax) TBPE Firm #: 9723 DESIGN: JHB DRAWN: KMK FILE: CIVIL DATE: 1-11-24 SCALE: 1" = 50' NO.: 3

PRELIMINARY NOT FOR CONSTRUCTION JOHN H BEZNER PE # 98469



Will A. Davis

AUGUST 24, 2023

REVISIONS:

ADDENDUM-1
RESPONSE TO CITY COMMENTS
AUGUST 24, 2023



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
WWW.DFDARCH.COM

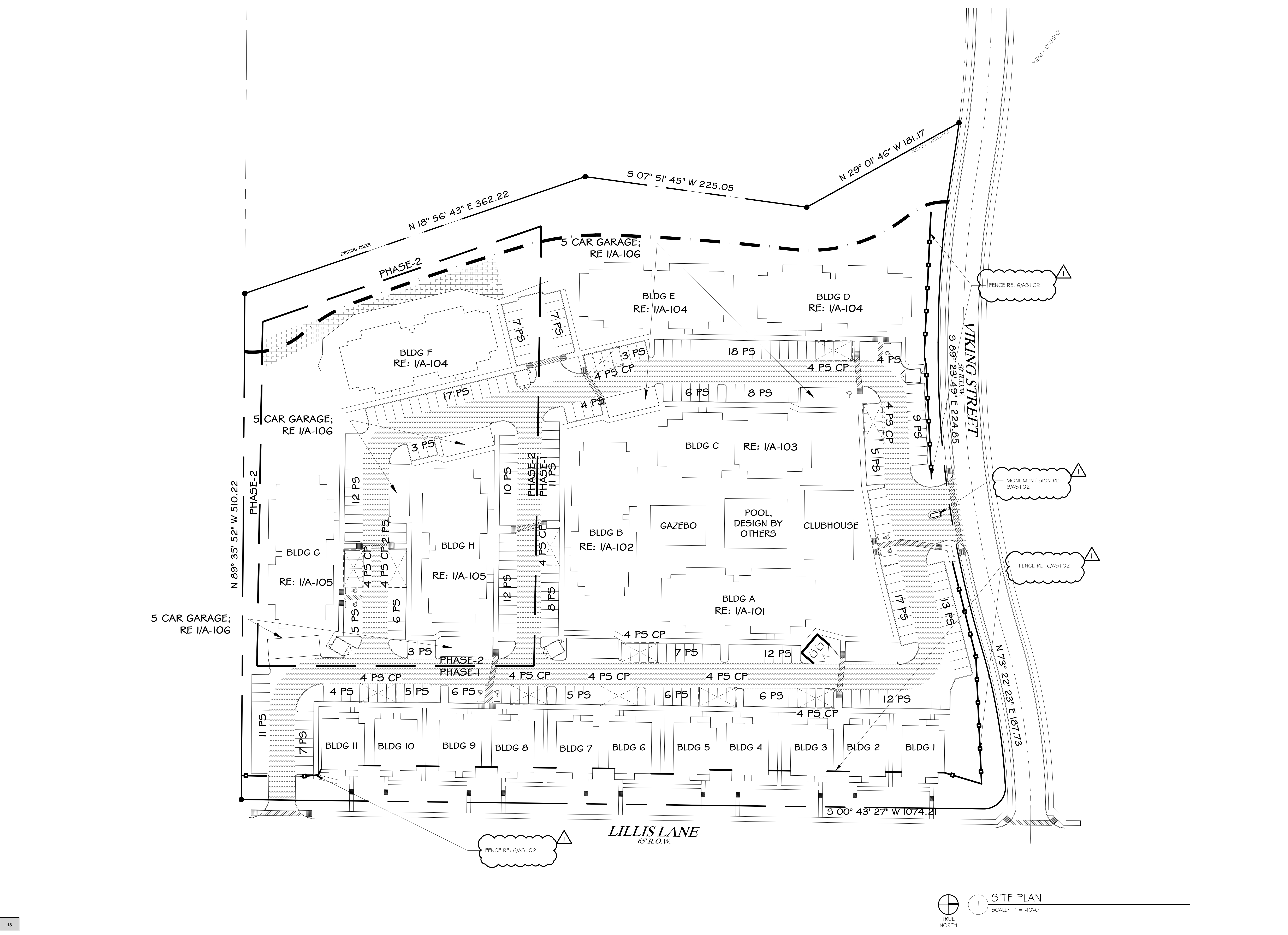
ROSEMARY
APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

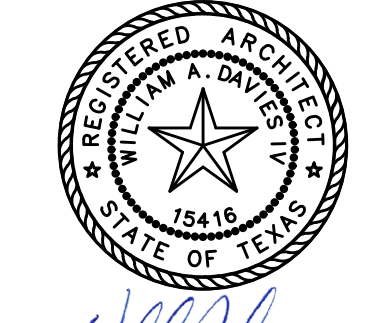
OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75099

SITE PLAN

ASIOI



TRUE NORTH
1 SITE PLAN
SCALE: 1" = 40'-0"



WILLIS ARCHITECTS
JANUARY 08, 2024

REVISIONS:
1 ADDENDUM - 1 RESPONSE TO CITY COMMENTS AUGUST 24, 2023
2 ADDENDUM - 2 RESPONSE TO CITY COMMENTS JANUARY 08, 2024

DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
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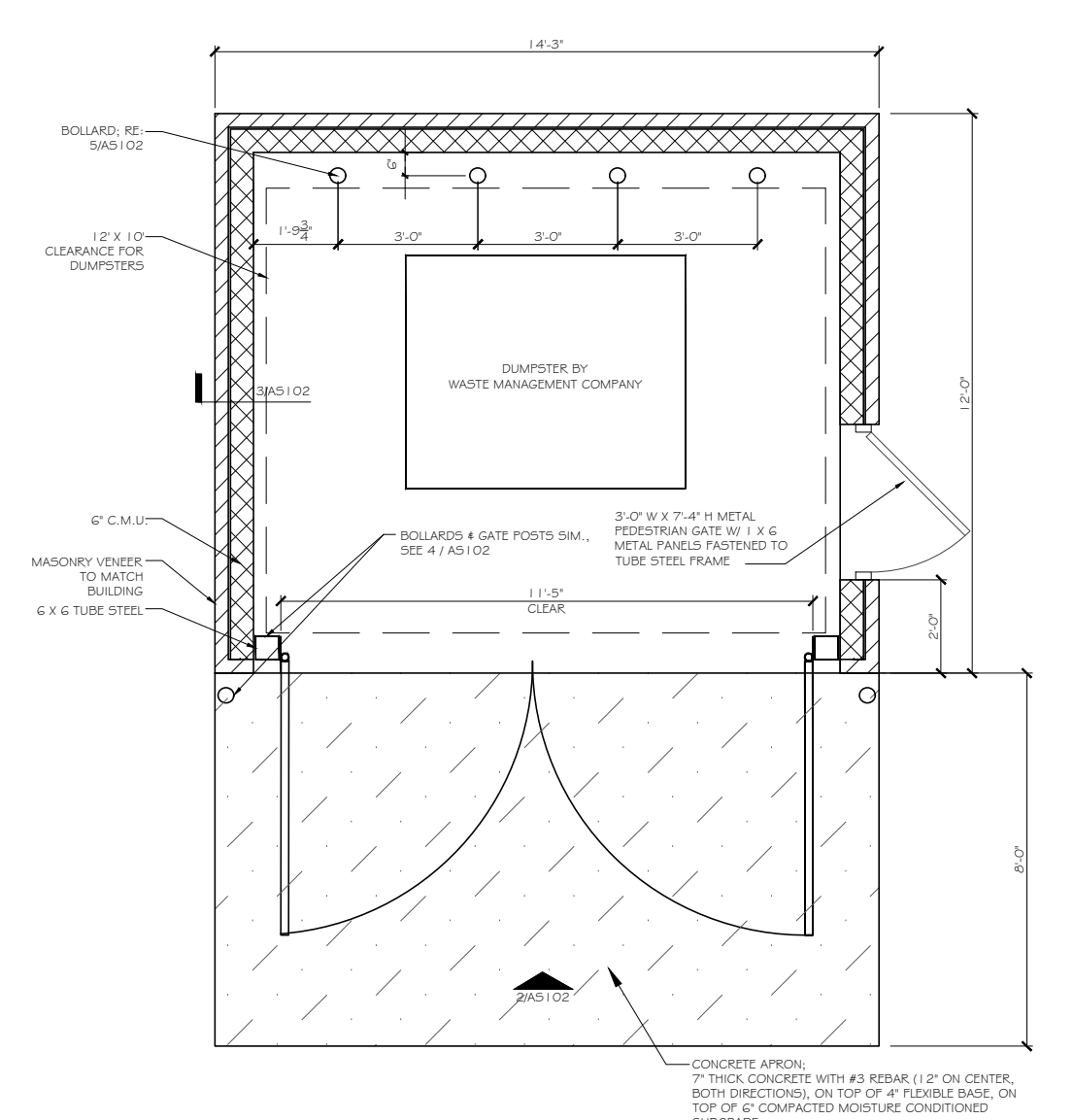
ROSEMARY APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

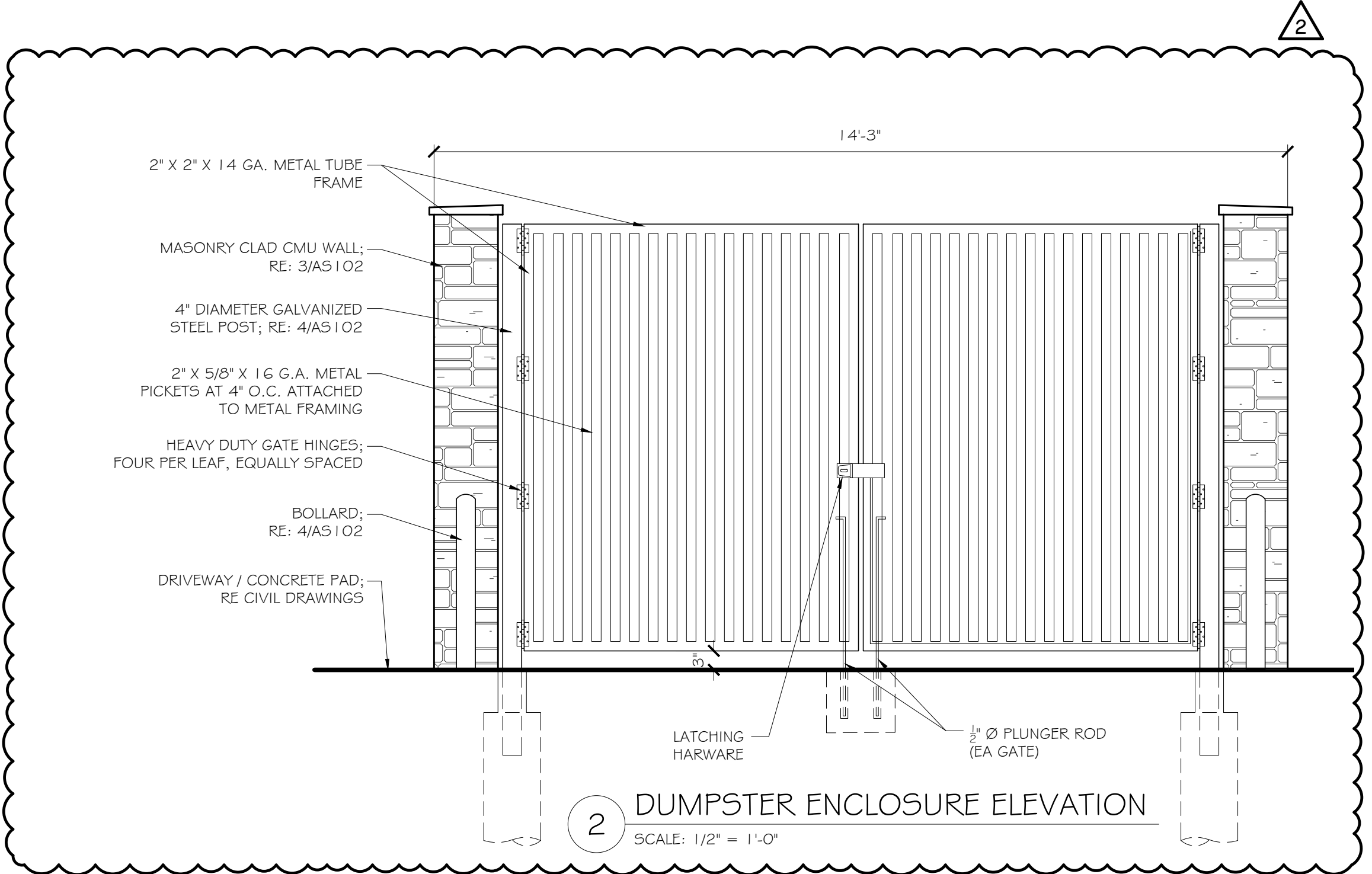
OWNER:
ROSEMARY I 26 INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75099

SITE DETAILS

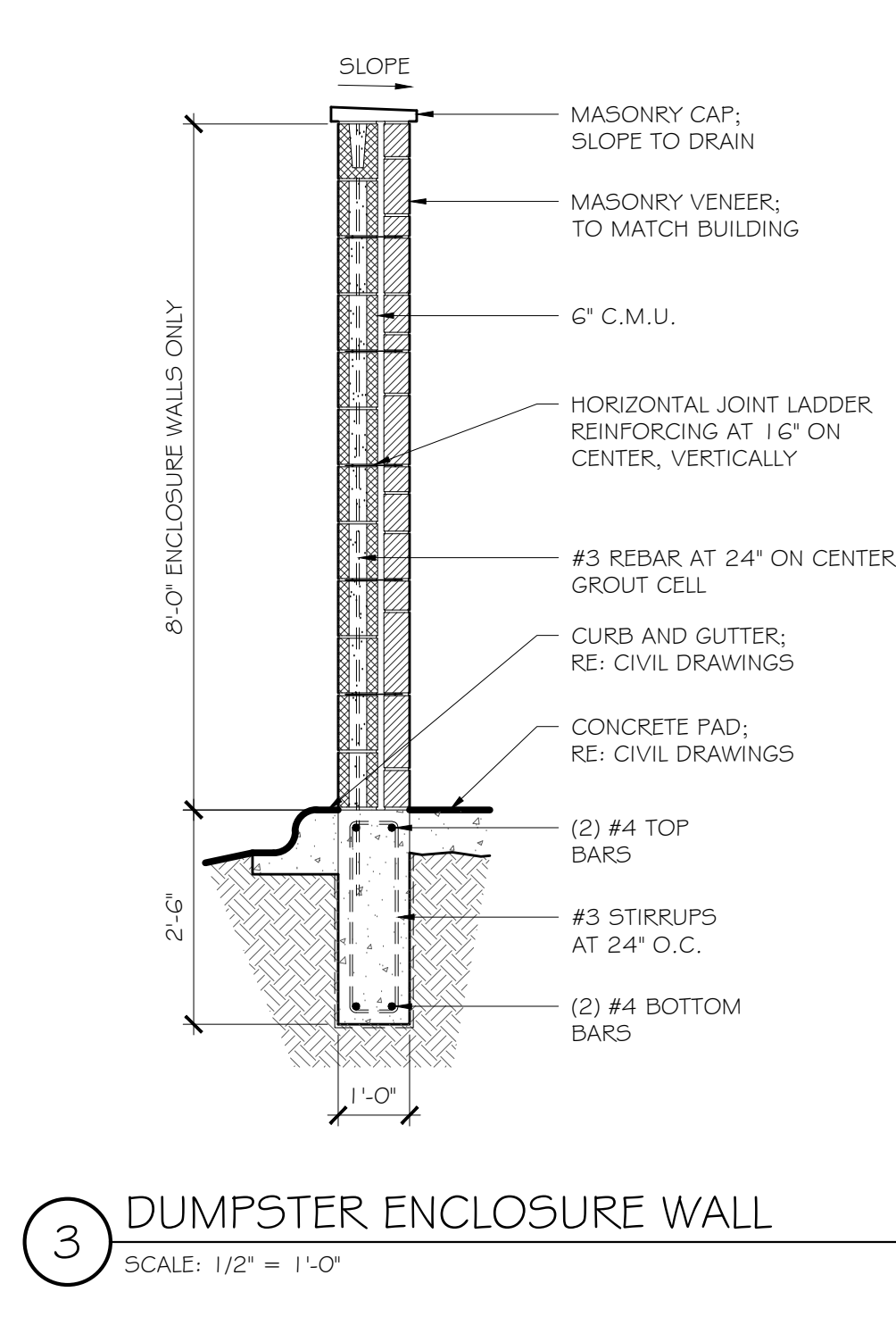
AS102



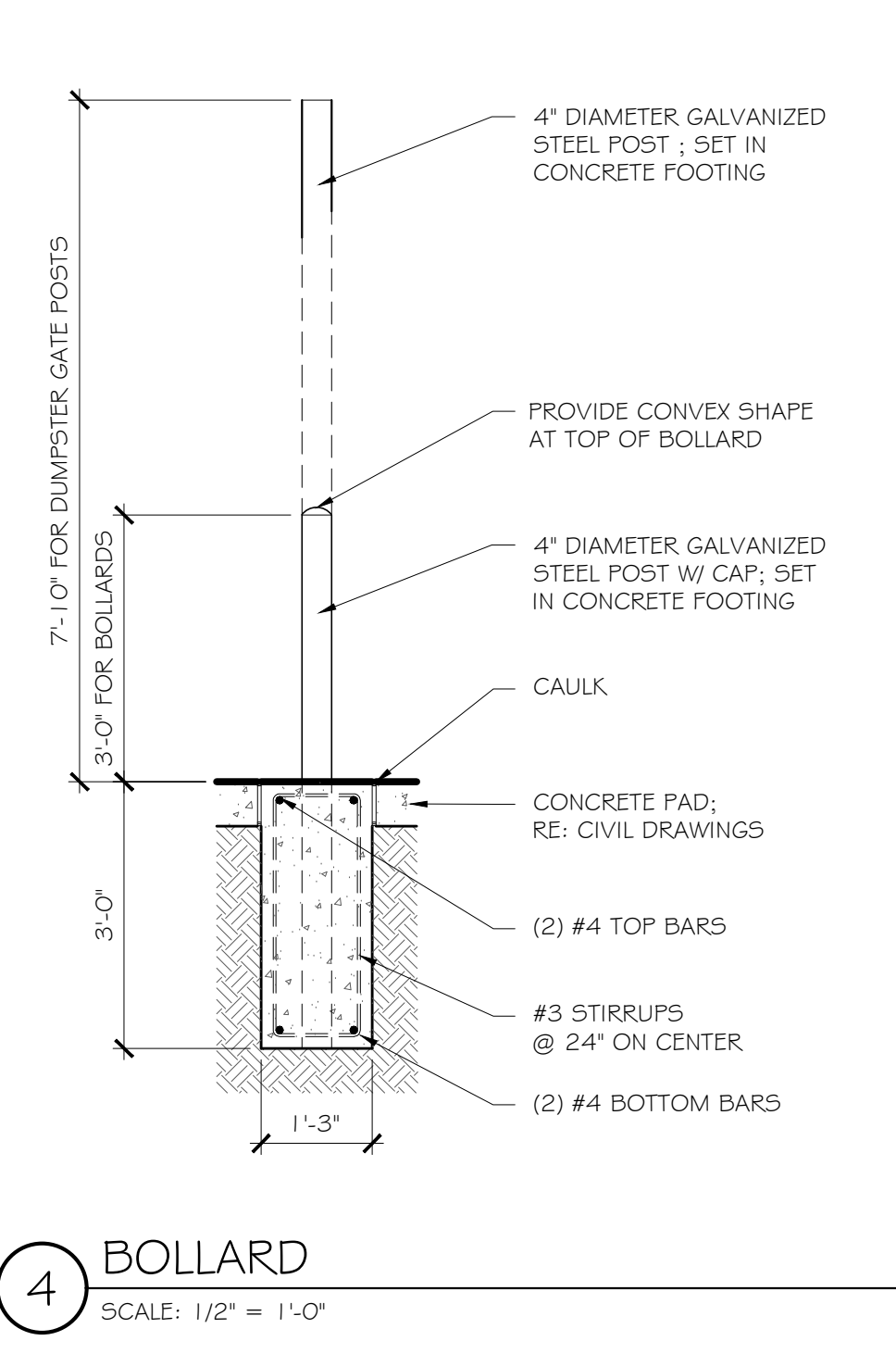
1 DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



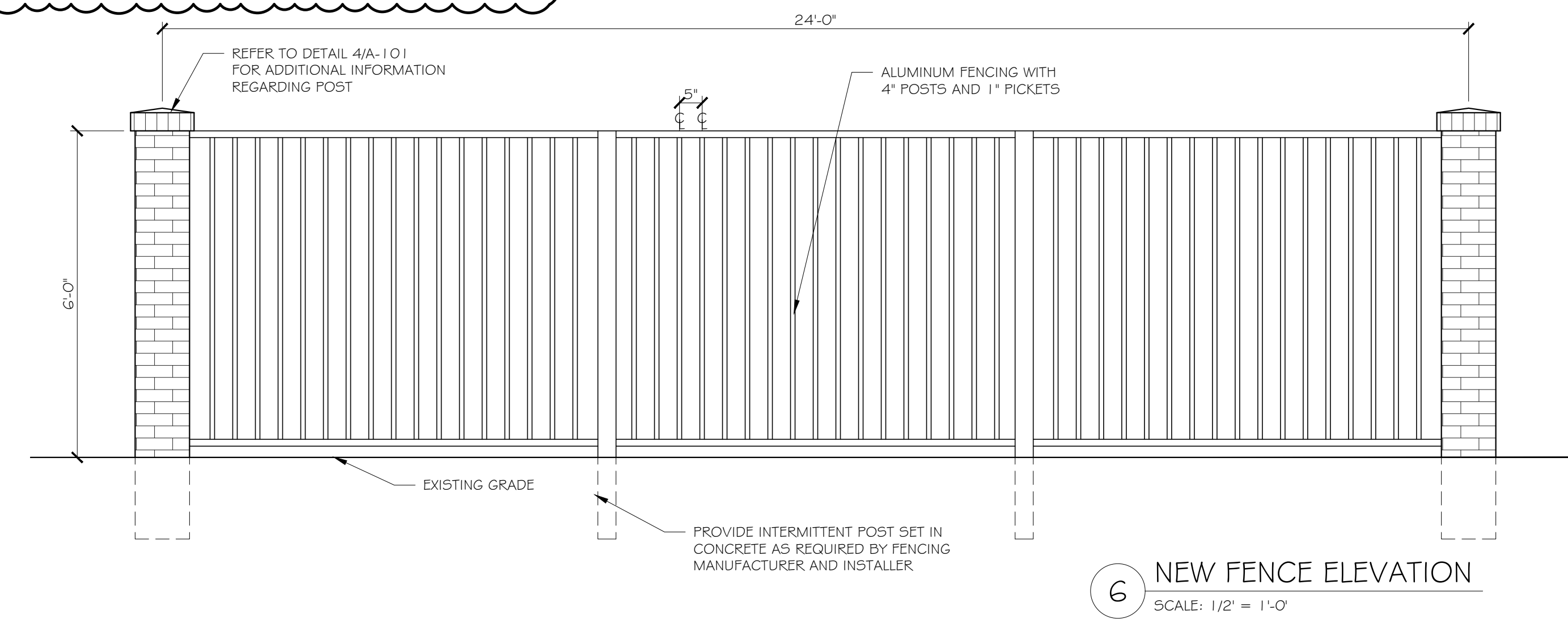
2 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/2" = 1'-0"



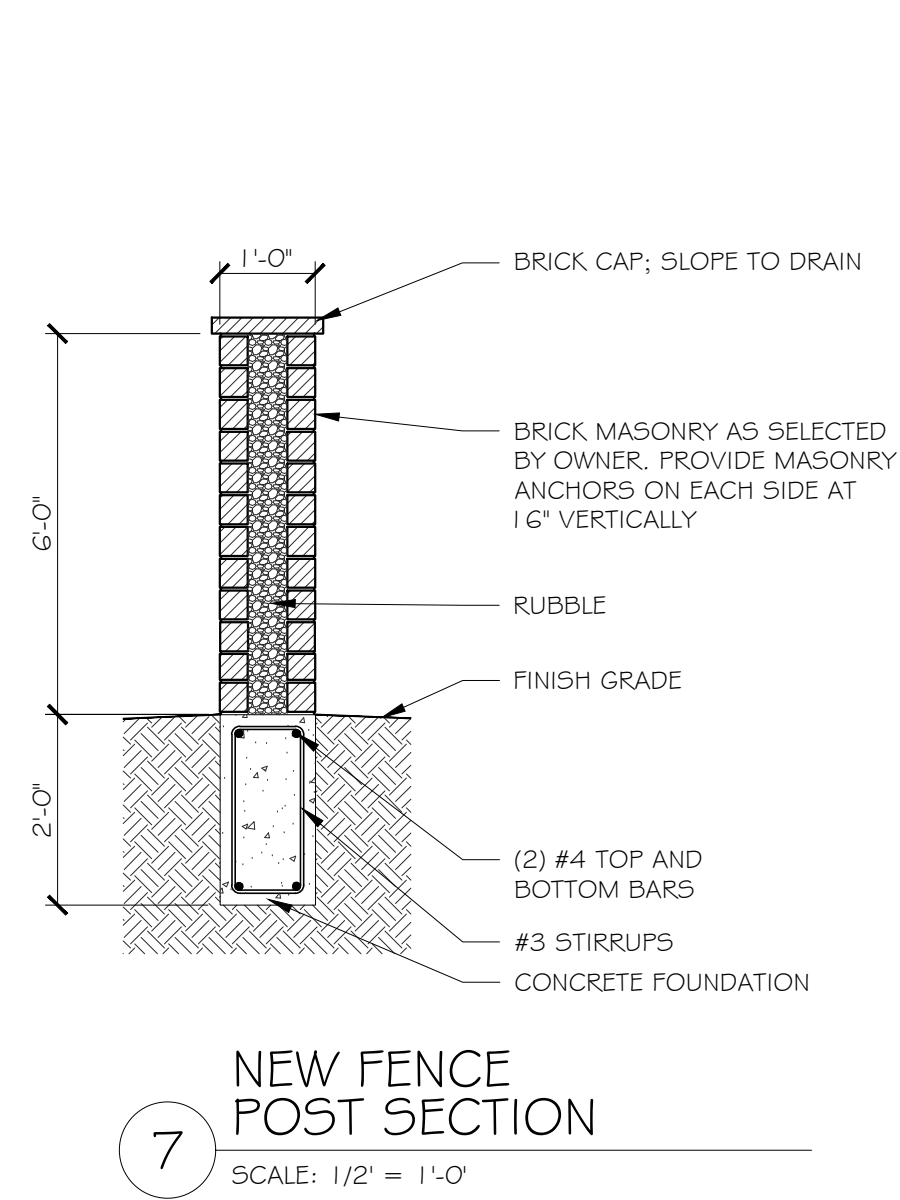
3 DUMPSTER ENCLOSURE WALL
SCALE: 1/2" = 1'-0"



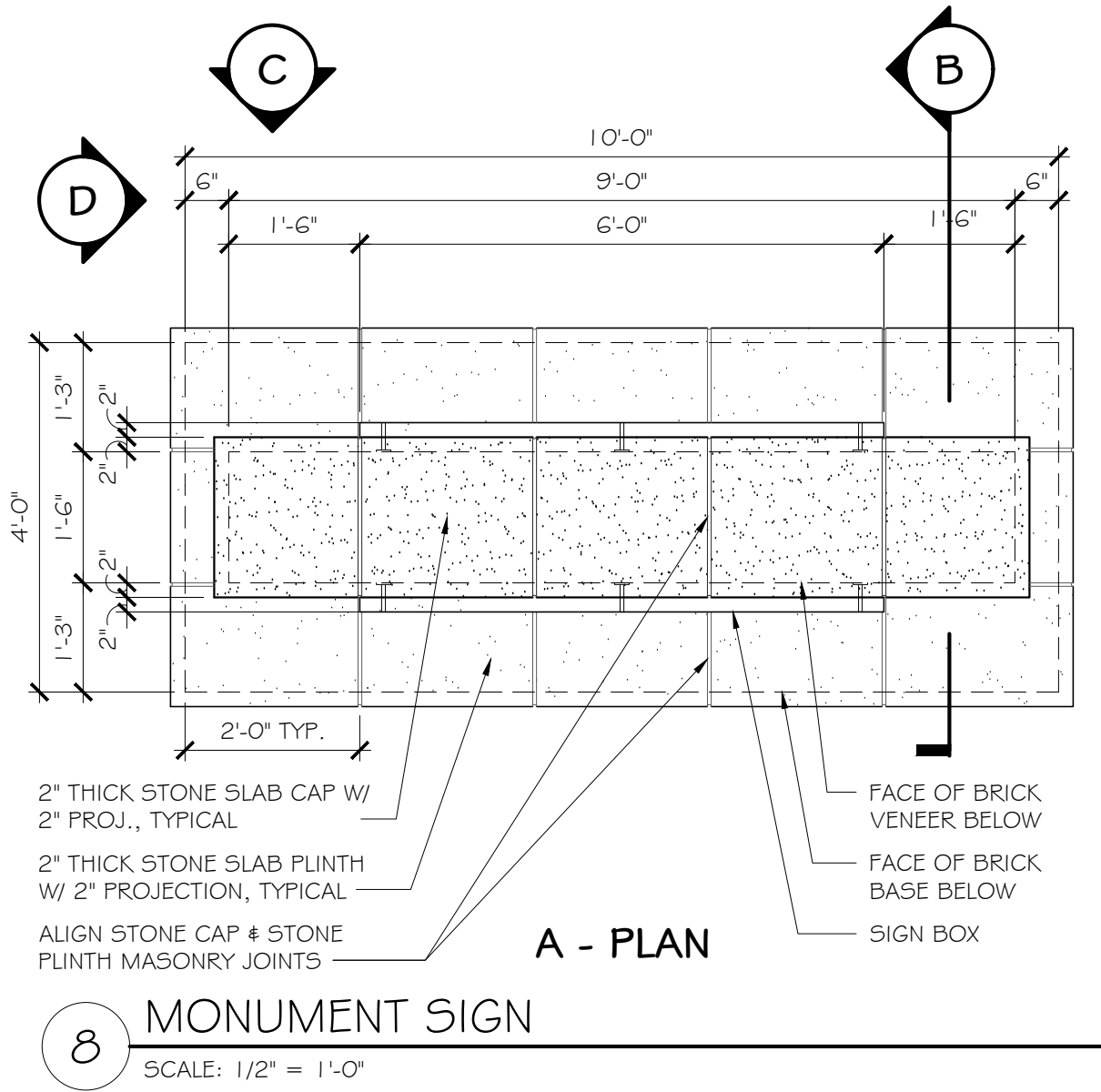
4 BOLLARD
SCALE: 1/2" = 1'-0"



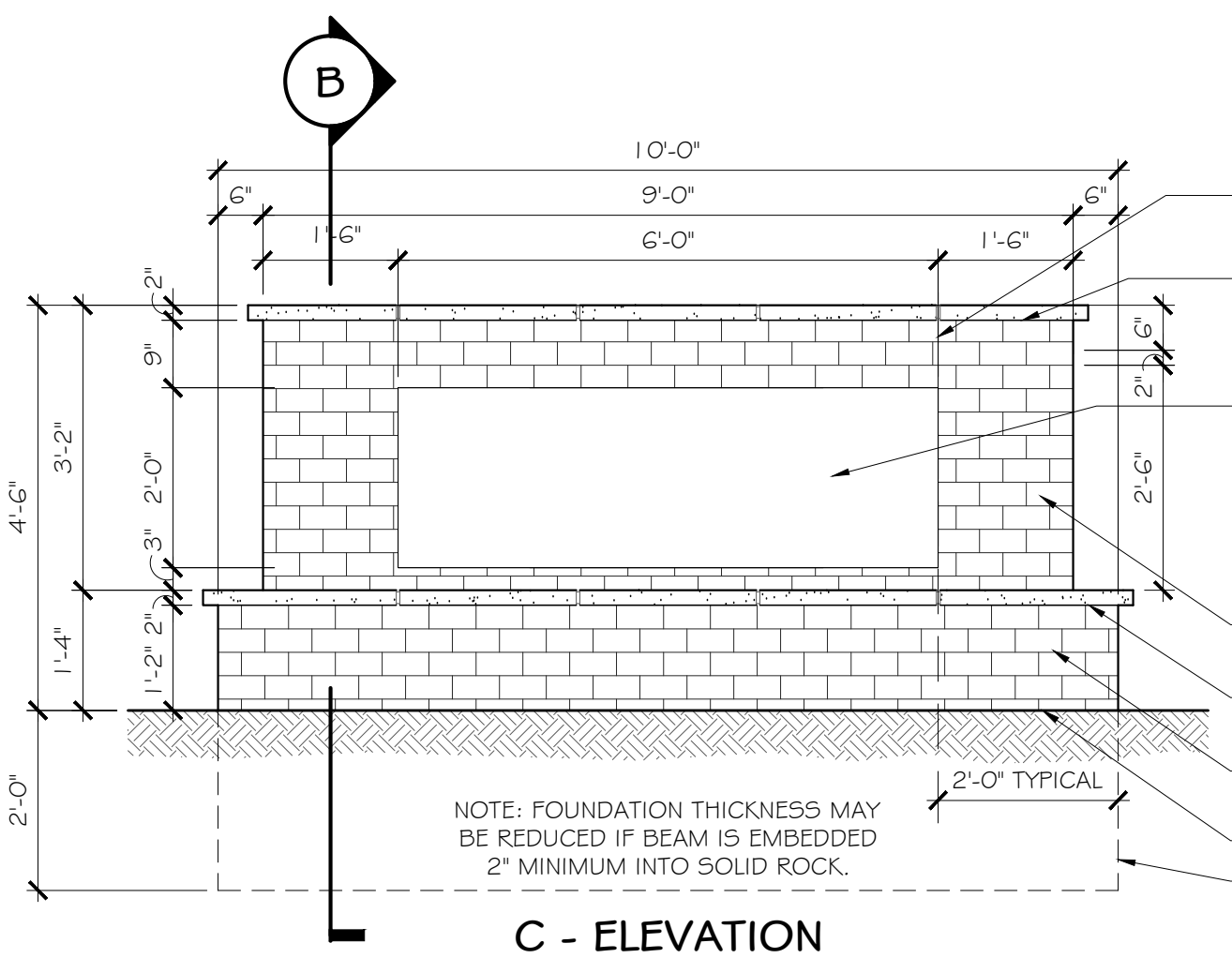
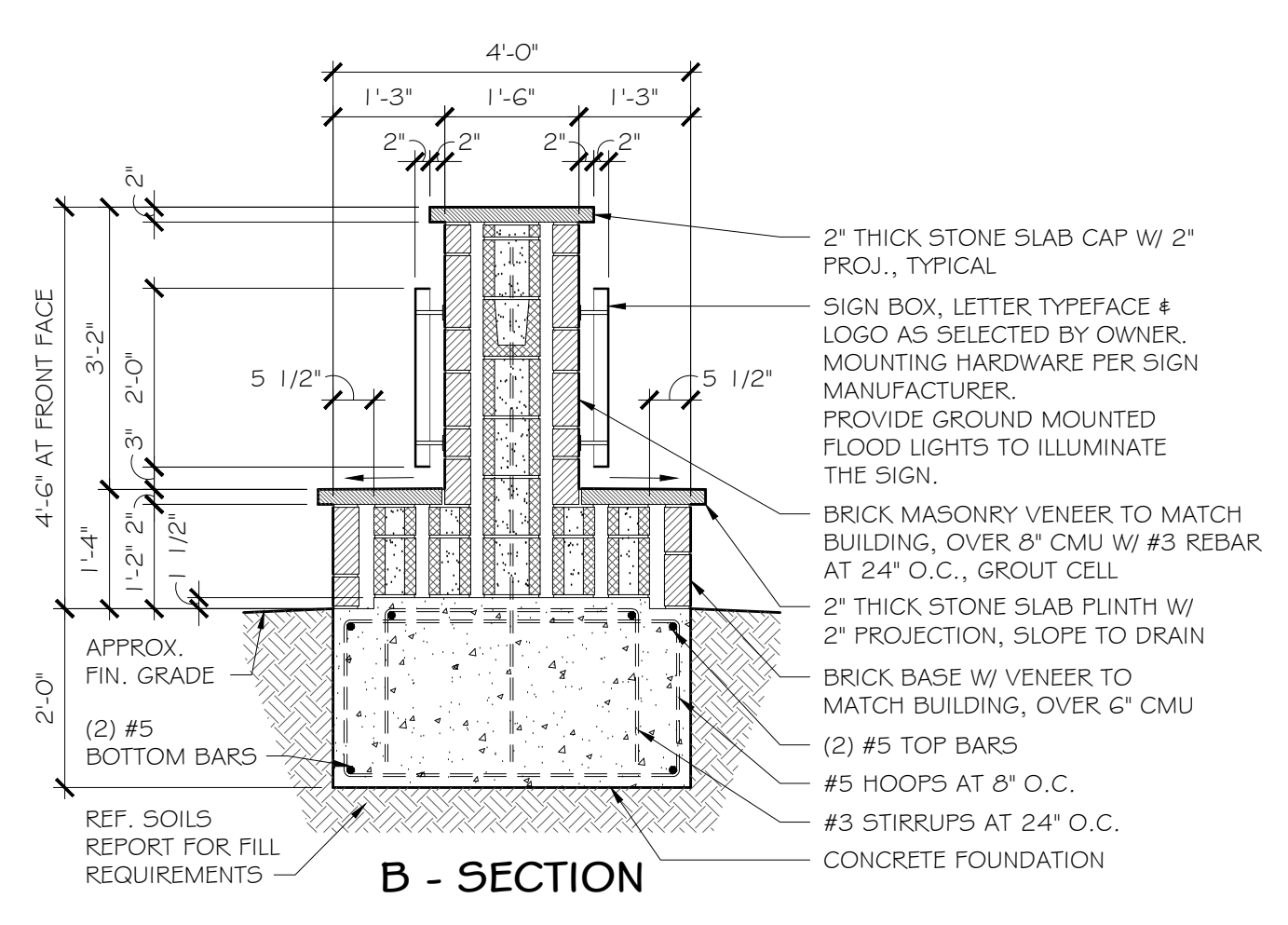
6 NEW FENCE ELEVATION
SCALE: 1/2" = 1'-0"



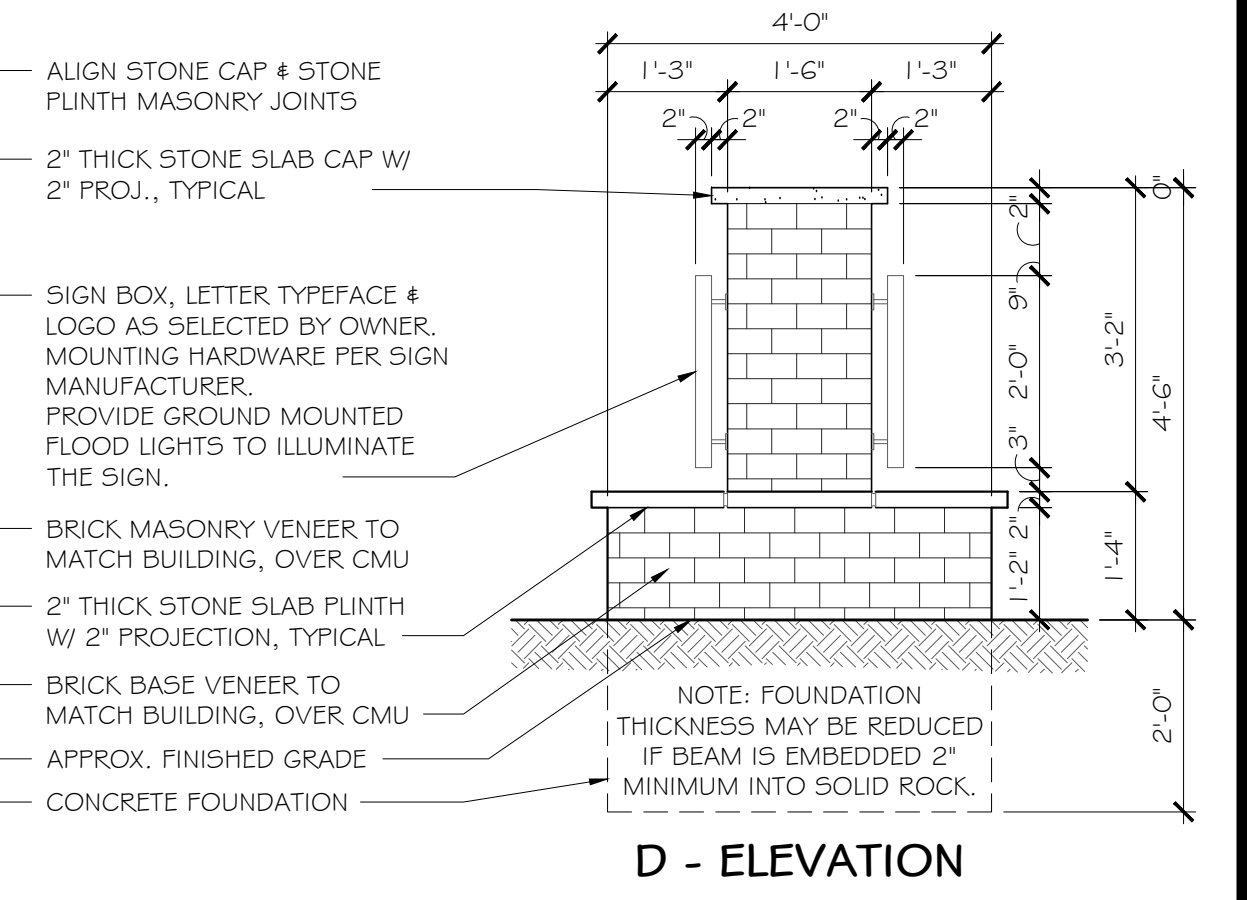
7 NEW FENCE POST SECTION
SCALE: 1/2" = 1'-0"



8 MONUMENT SIGN
SCALE: 1/2" = 1'-0"



C - ELEVATION



NOTE: FOUNDATION THICKNESS MAY BE REDUCED IF BEAM IS EMBEDDED 2" MINIMUM INTO SOLID ROCK.

D - ELEVATION



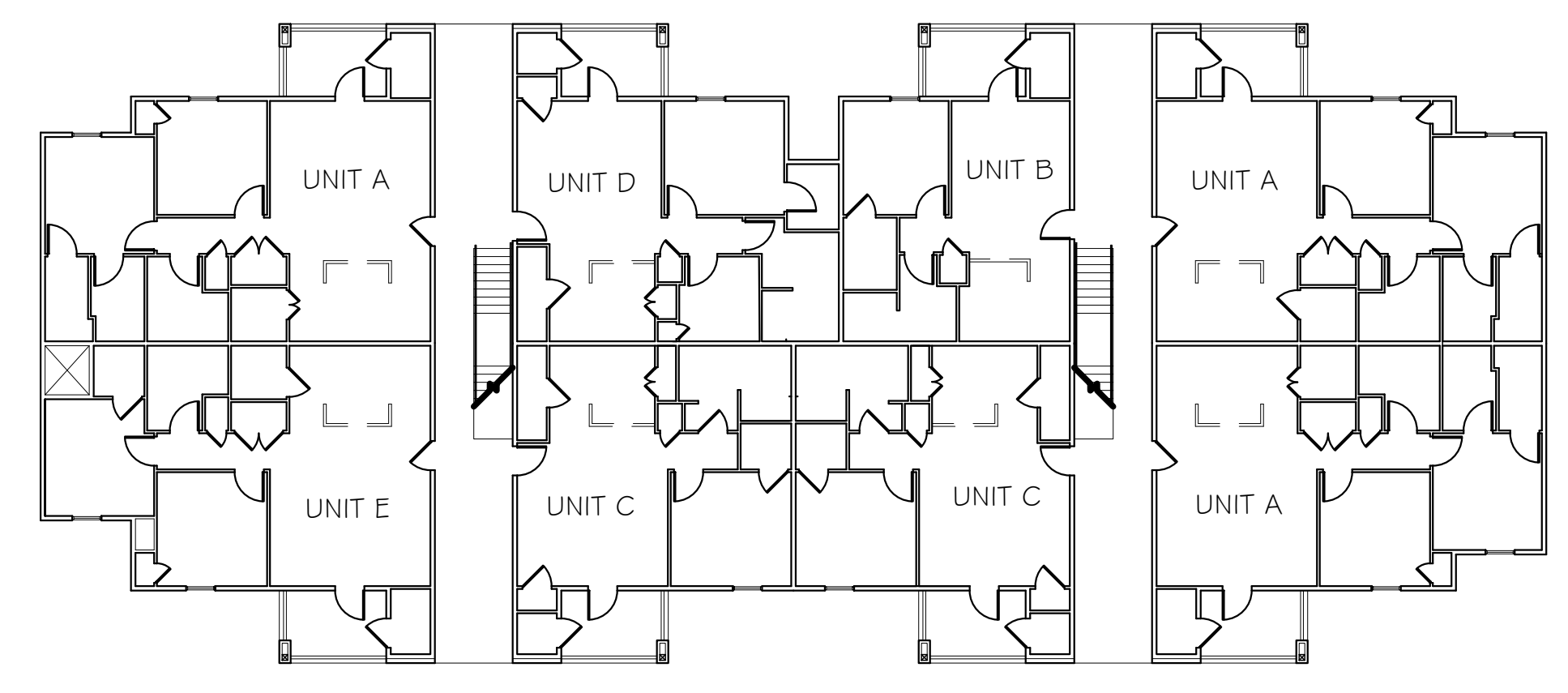
Willm A. Divis

JULY 24, 2023

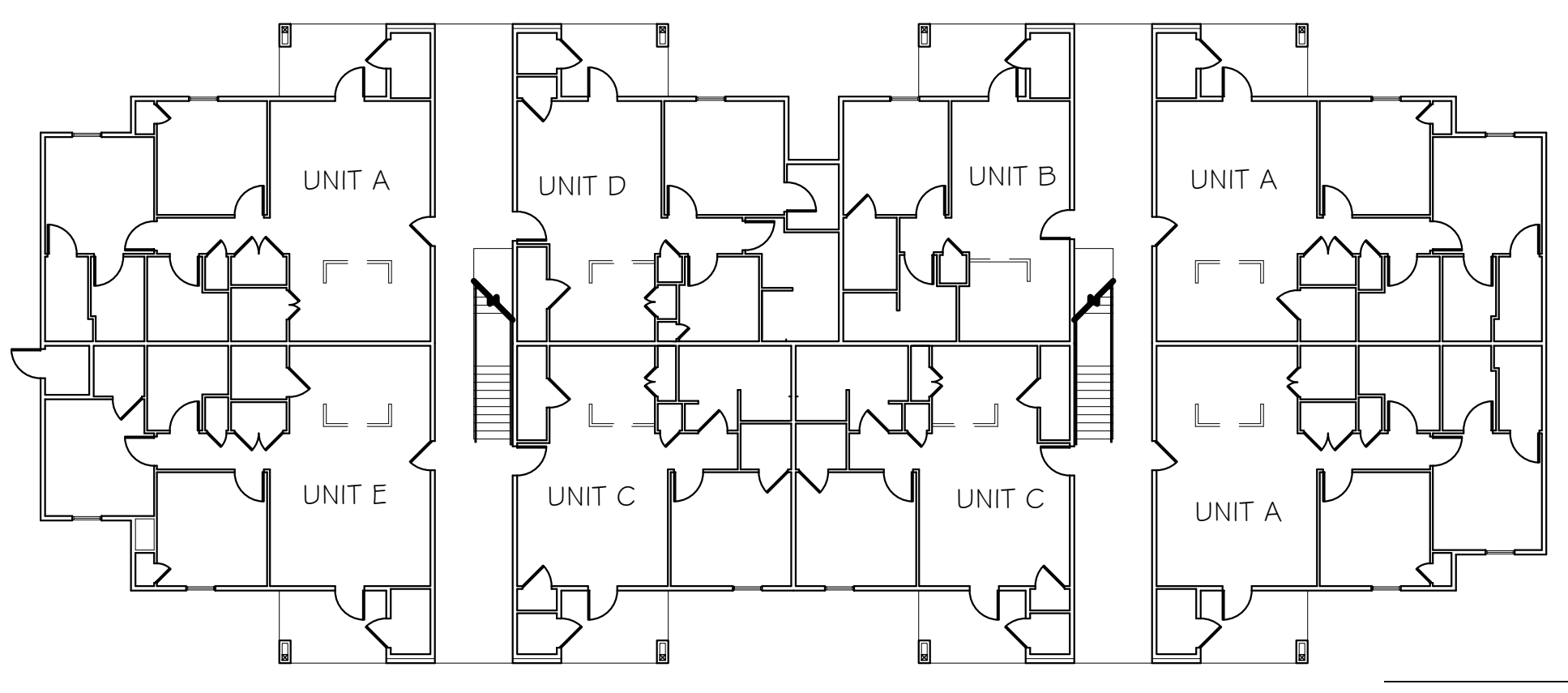
REVISIONS:



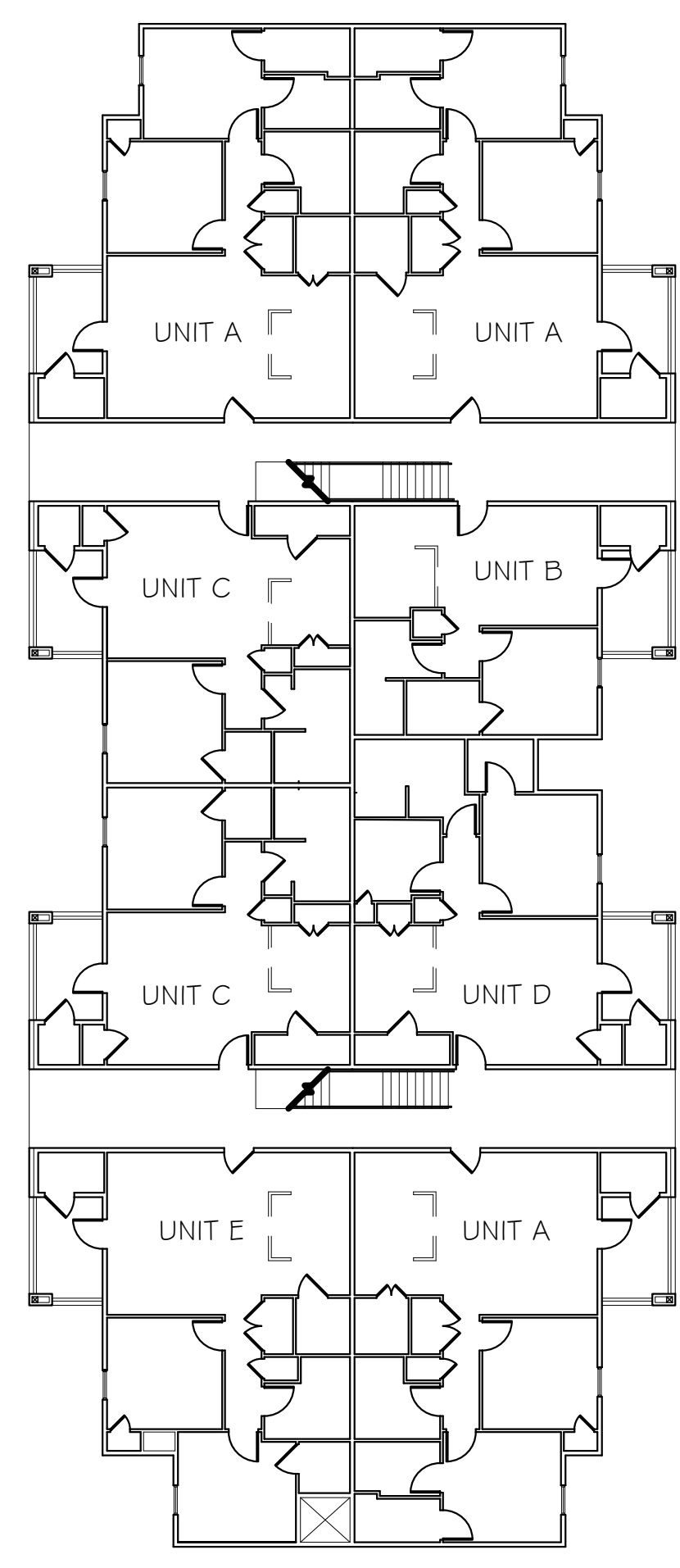
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PHONE: 512.259.4175
WWW.DFDARCH.COM



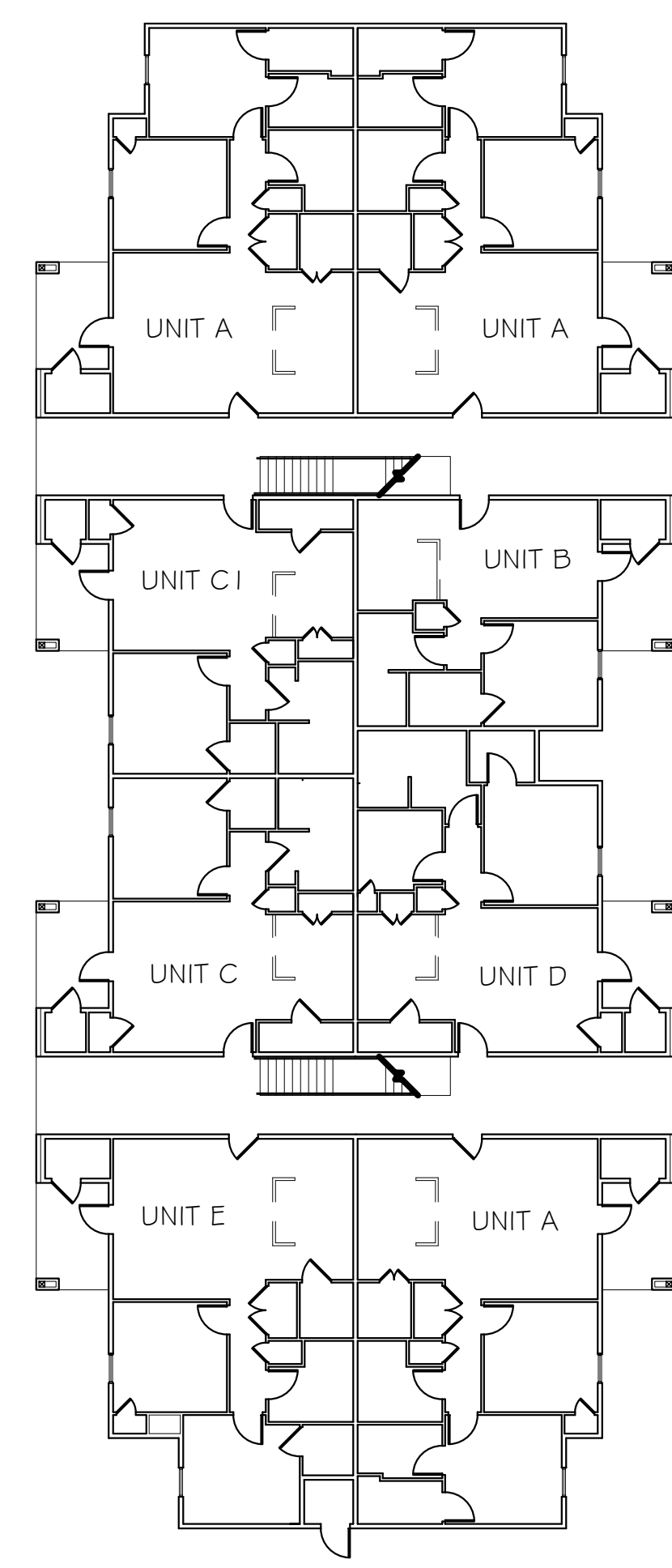
1 APARTMENT BUILDING - A
FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"



2 APARTMENT BUILDING - A
SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"

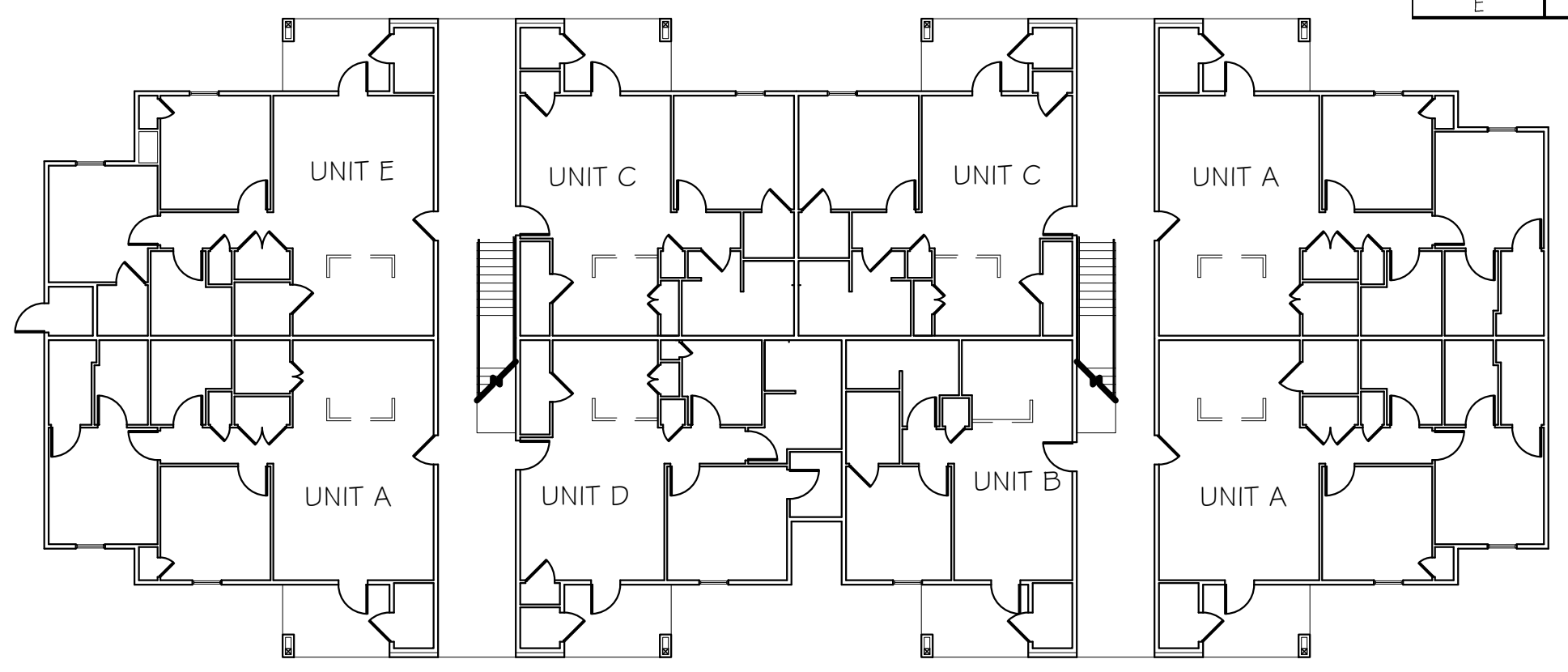


3 APARTMENT BUILDING - B
FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"



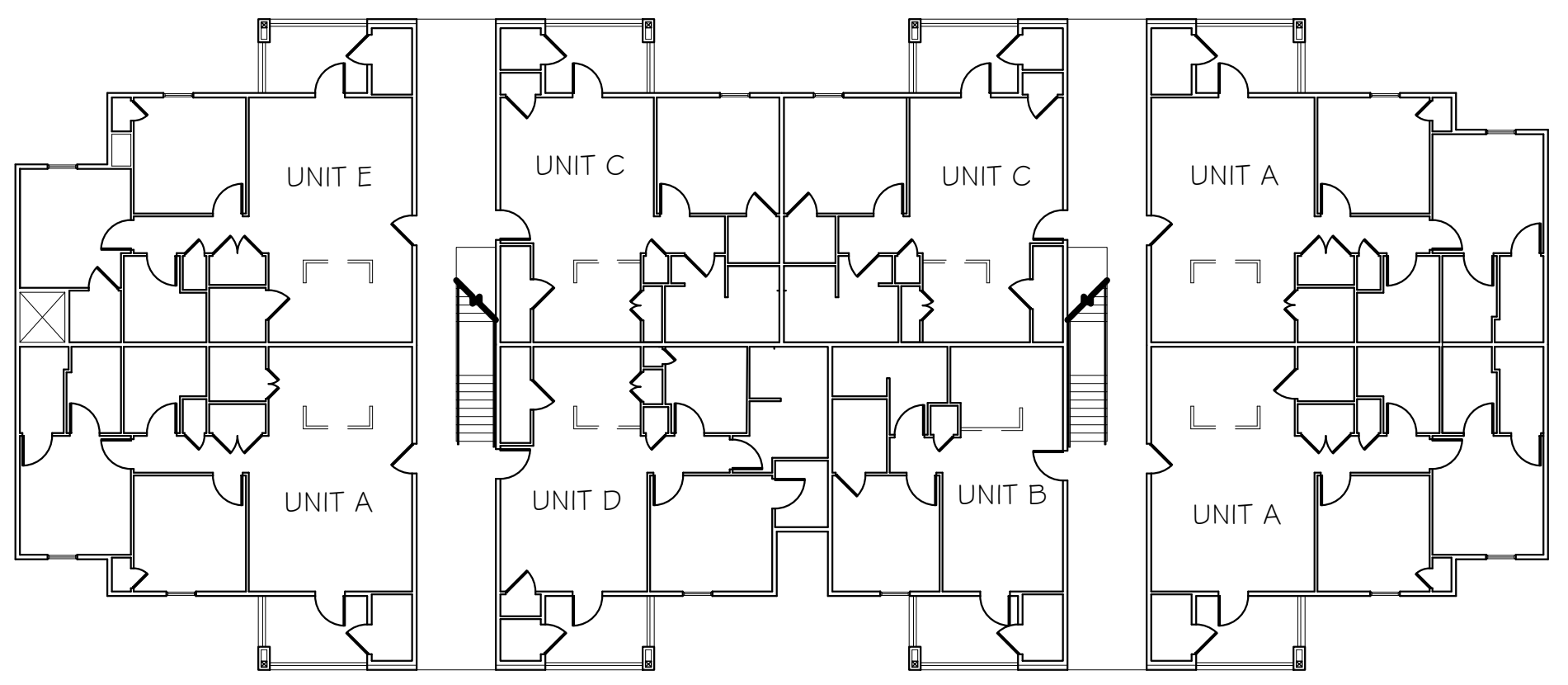
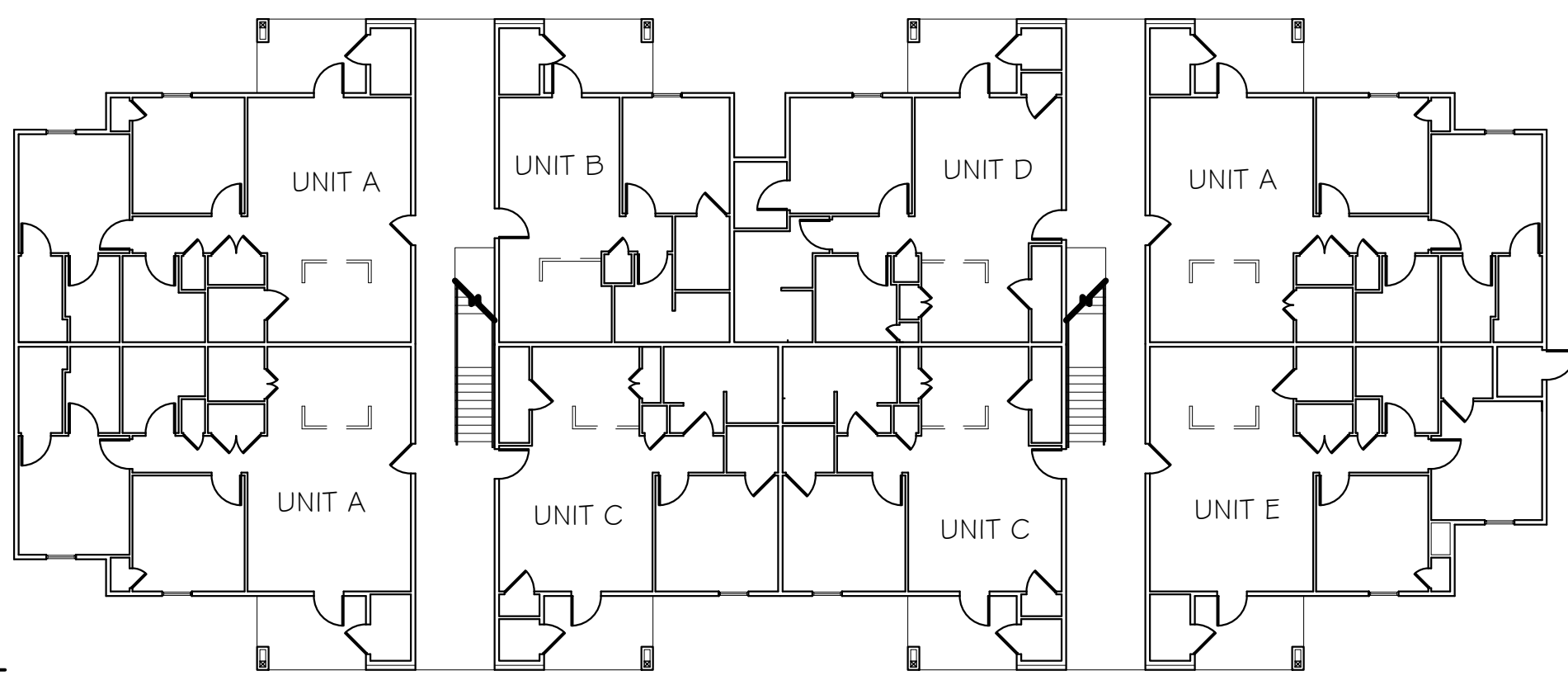
4 APARTMENT BUILDING - B
SECOND & THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"

UNIT MATRIX		
UNIT	INT. AND EXT. SQ. FT.	UNIT COUNT
A	1,030	39
B	650	13
C	768	20
C-1	768	6
D	850	13
E	996	13



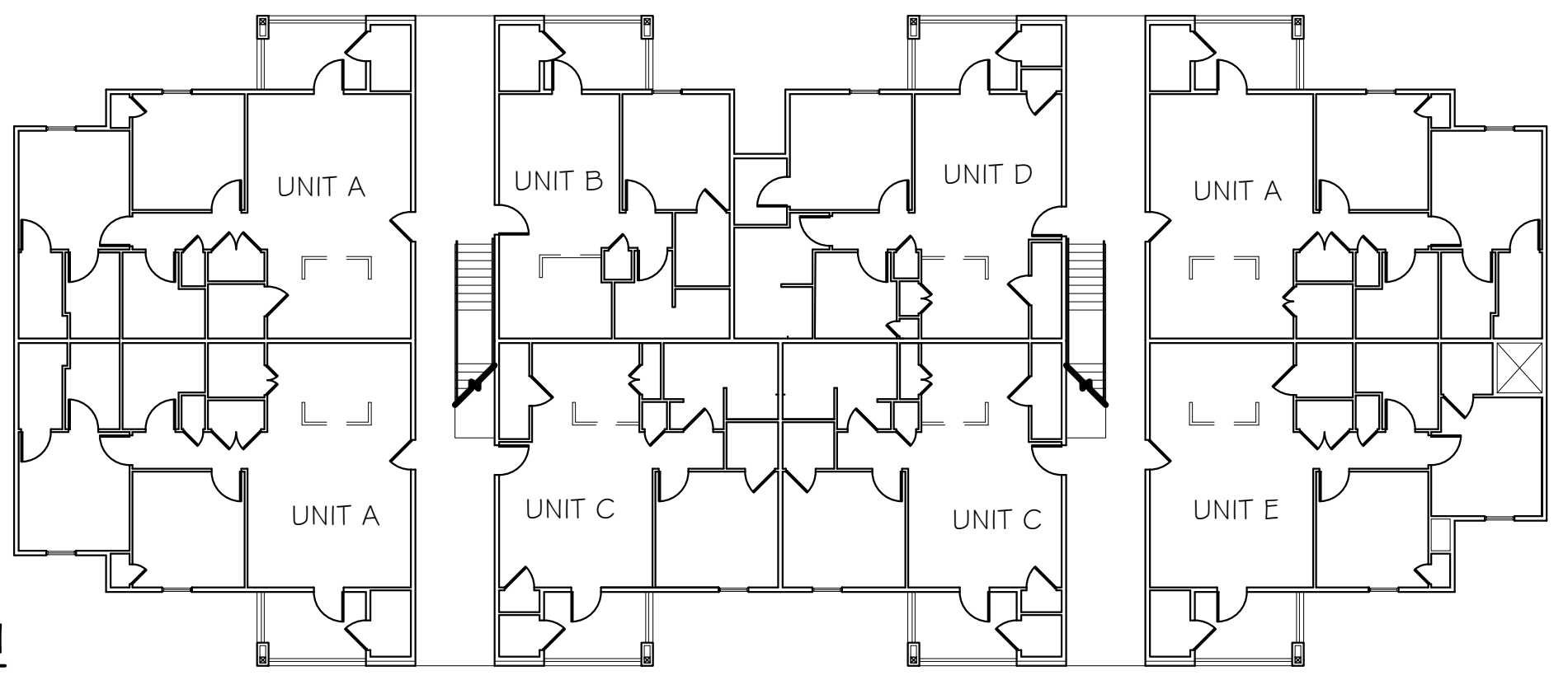
5 APARTMENT BUILDING - C
FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"

7 APARTMENT BUILDING - D & E
FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"



6 APARTMENT BUILDING - C
SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"

8 APARTMENT BUILDING - D & E
SECOND & THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



ROSEMARY
APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

APARTMENT
BUILDING
UNIT NUMBERS

A-001



Will P. Law

JULY 24, 2023

REVISIONS:



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
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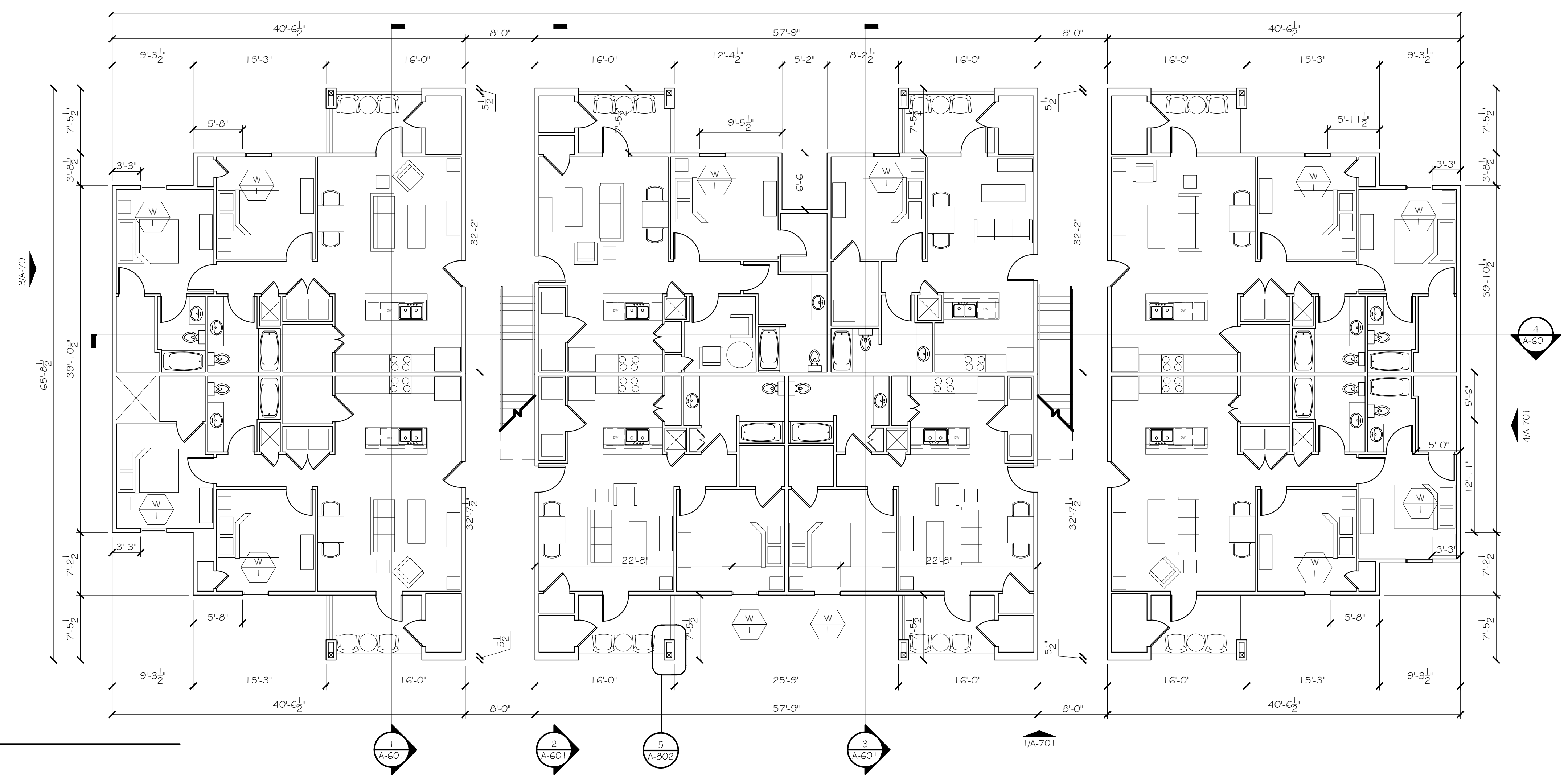
FLOOR PLANS (A)

A-101

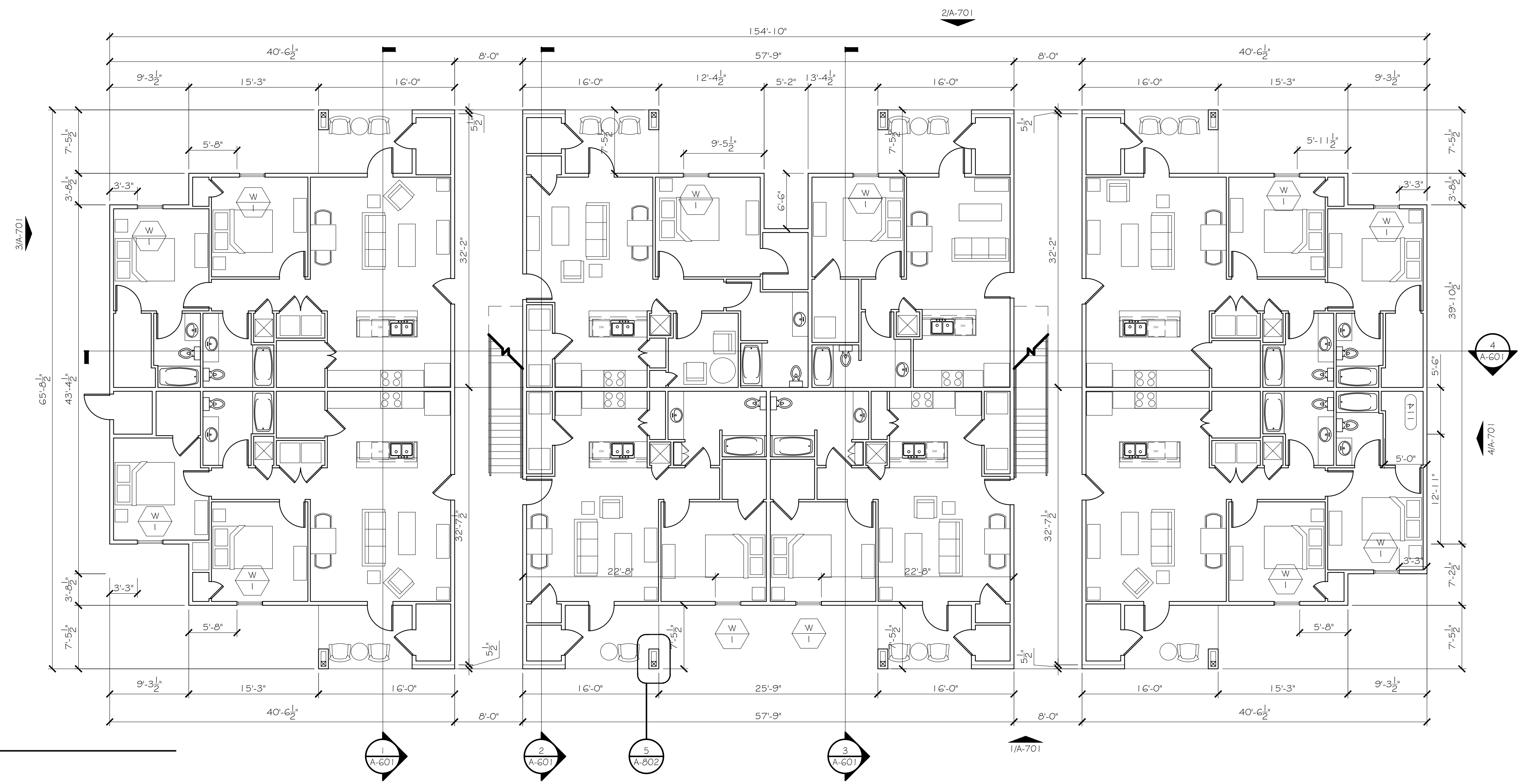
FLOOR PLAN GENERAL NOTES

1. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE ARCHITECT FOR CLARIFICATION.
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3. ALL ANGLED WALLS TO BE 45 DEGREES; UNLESS NOTED OTHERWISE.
4. WINDOW AND DOOR JAMBS SHALL BE PLACED A STANDARD 4" FROM ABUTTING PARTITION; UNLESS DIMENSIONED OTHERWISE. CONTRACTOR SHALL COORDINATE ROUGH OPENINGS WITH FRAME DIMENSIONS.
5. REFER TO A-100 FLOOR PLANS AND A-501 DOOR AND WINDOW TYPES, FOR DOOR AND WINDOW SIZES AND LOCATIONS.
6. PROVIDE TEMPERED GLASS WHERE REQUIRED.
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1 APARTMENT BUILDING - A
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 APARTMENT BUILDING - A
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

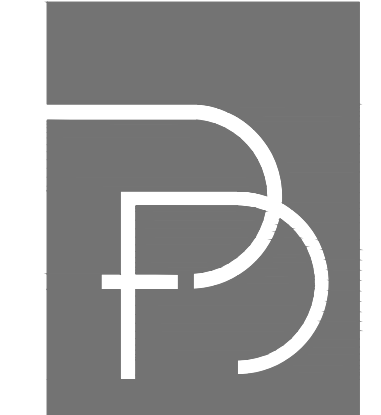




Will P. Law

JULY 24, 2023

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ROSEMARY
APARTMENTS

PROJECT LOCATION:
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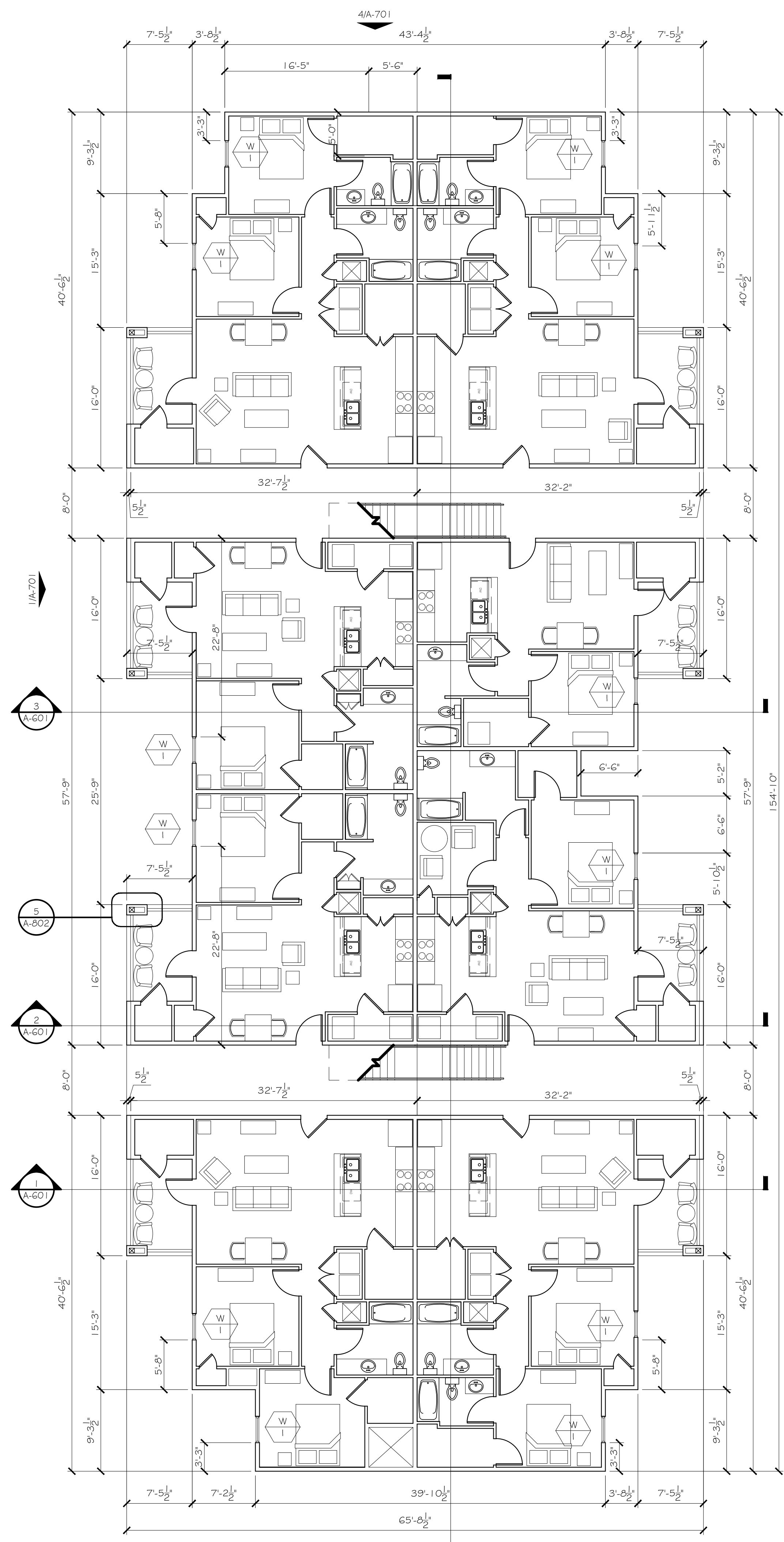
OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

FLOOR PLANS (B)

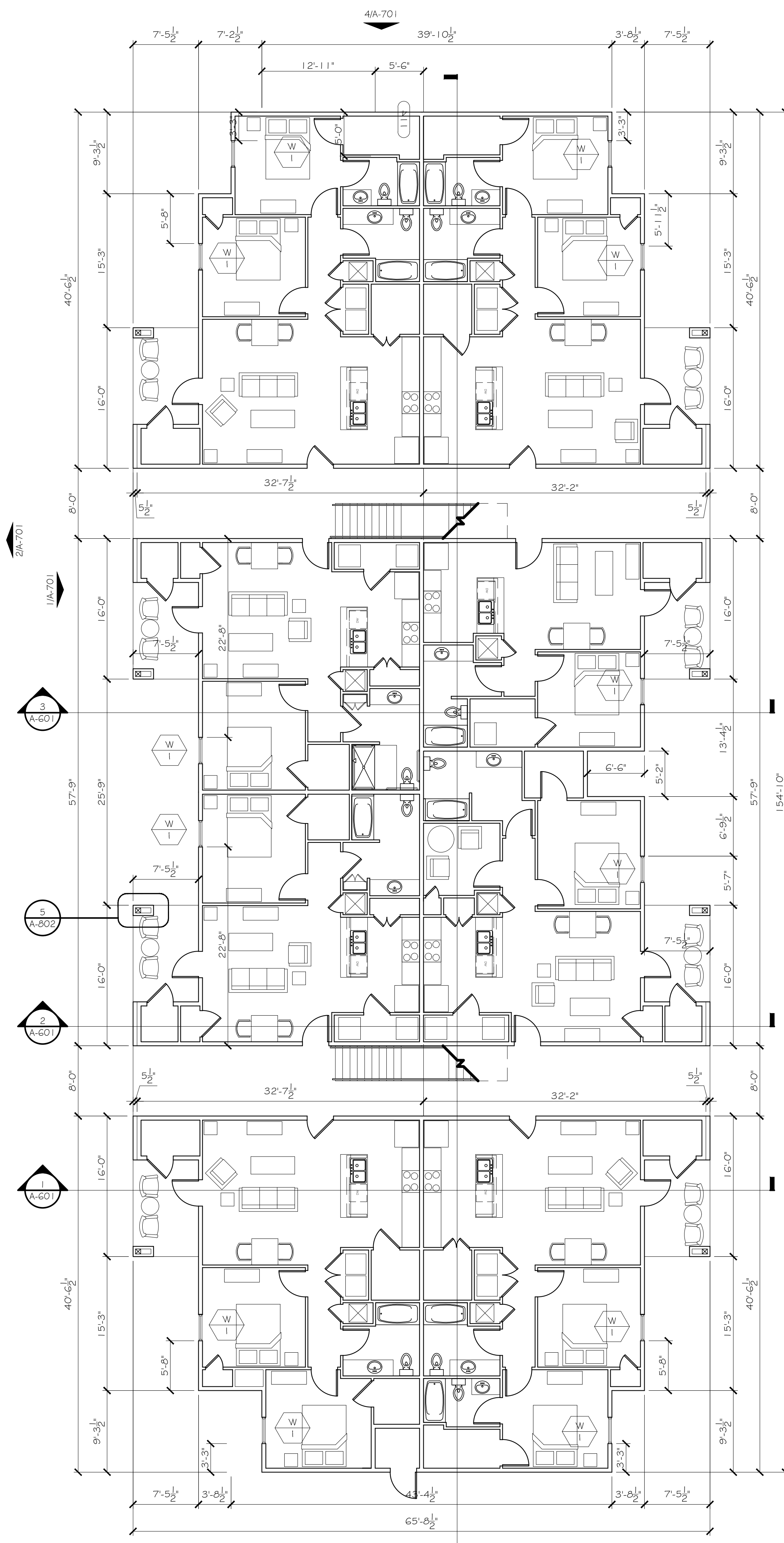
A-102

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1 APARTMENT BUILDINGS - B
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



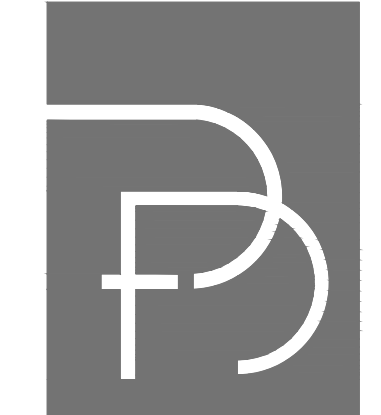
2 APARTMENT BUILDINGS - B
SECOND & THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



Will P. Davis

JULY 24, 2023

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PHONE: 512.259.4175
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ROSEMARY
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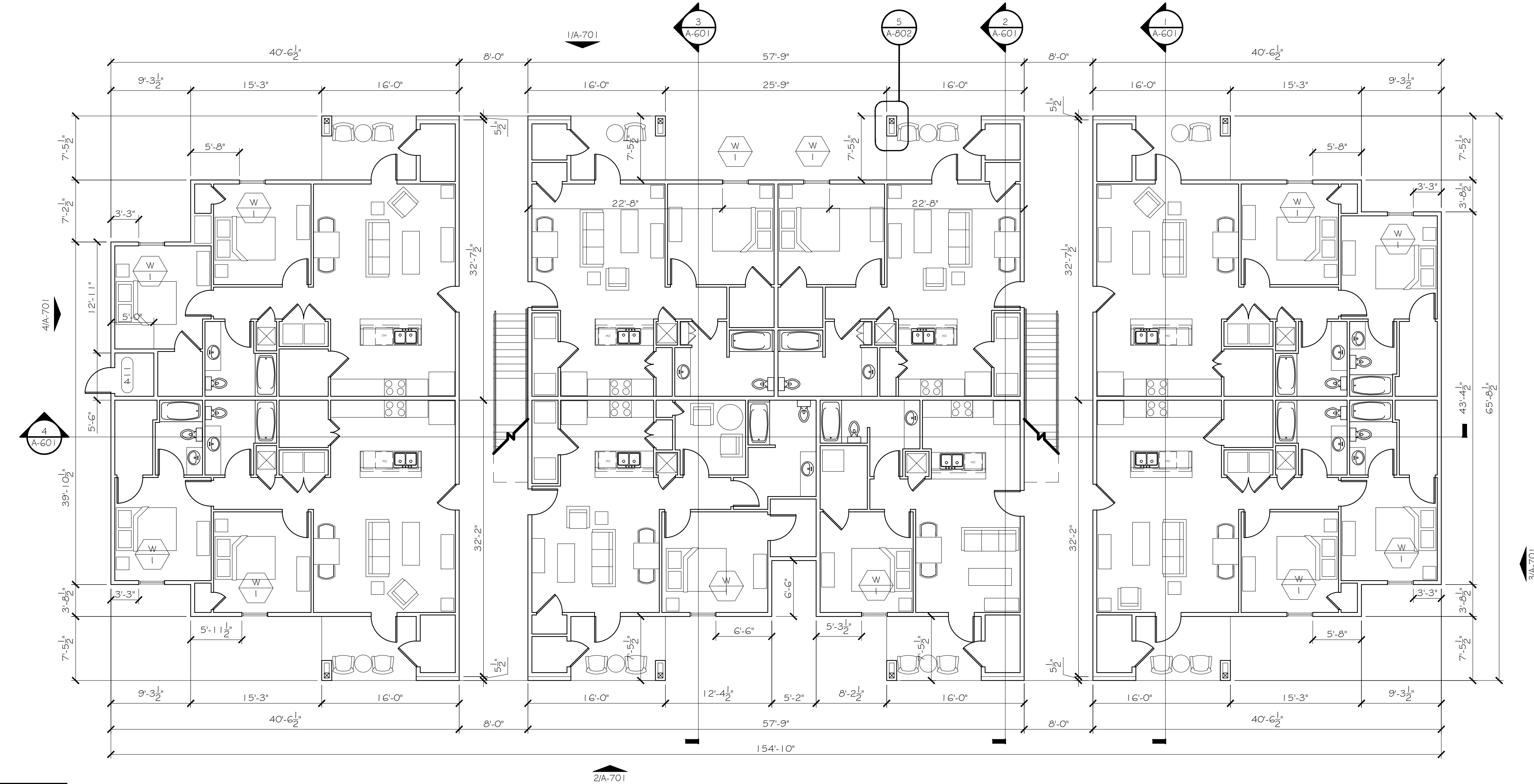
FLOOR PLANS (C)

A-103

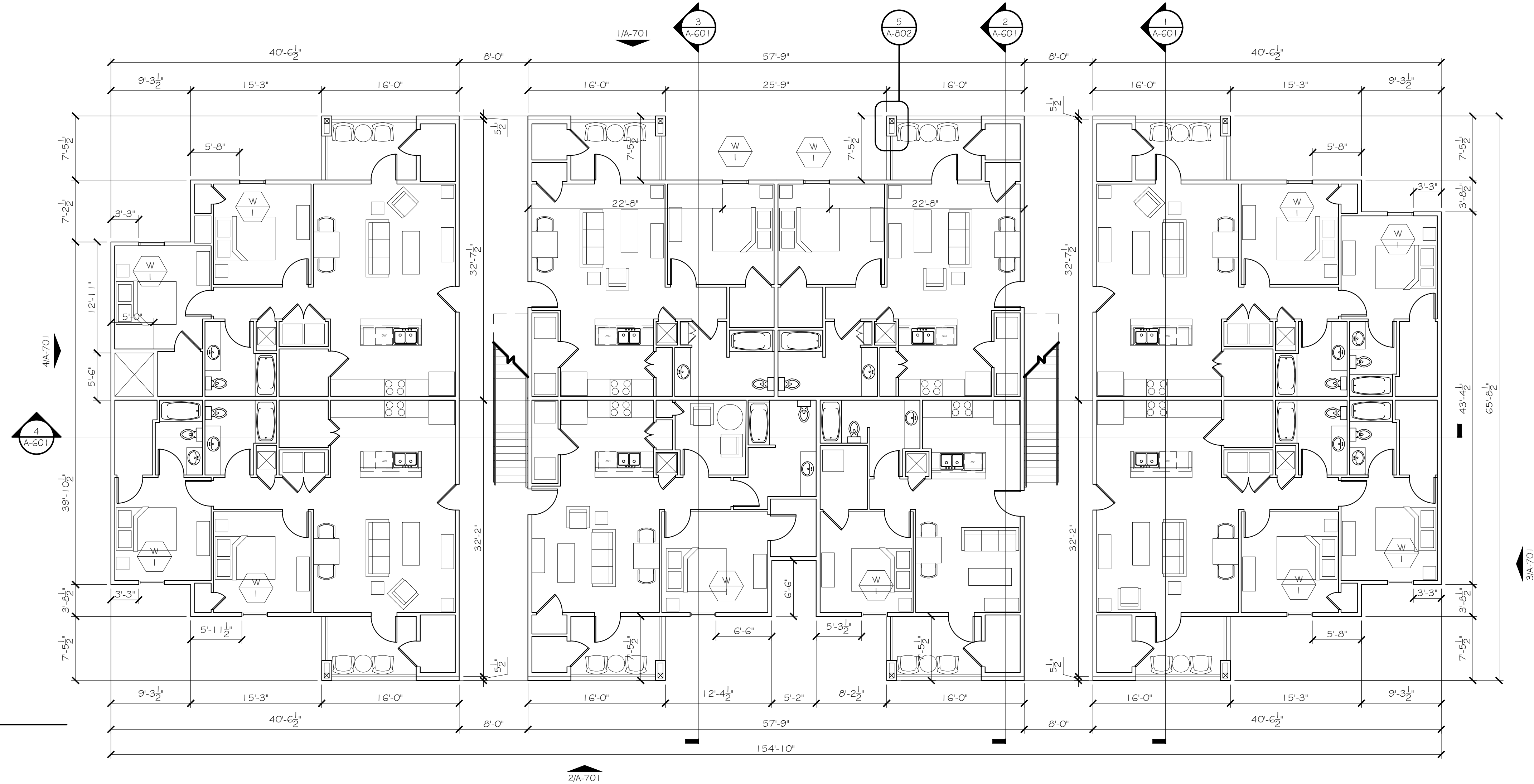
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FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



2 APARTMENT BUILDING - C
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"





William A. Davis

JULY 24, 2023

REVISIONS:



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
WWW.DFDARCH.COM

ROSEMARY
APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

FLOOR PLANS (D-E)

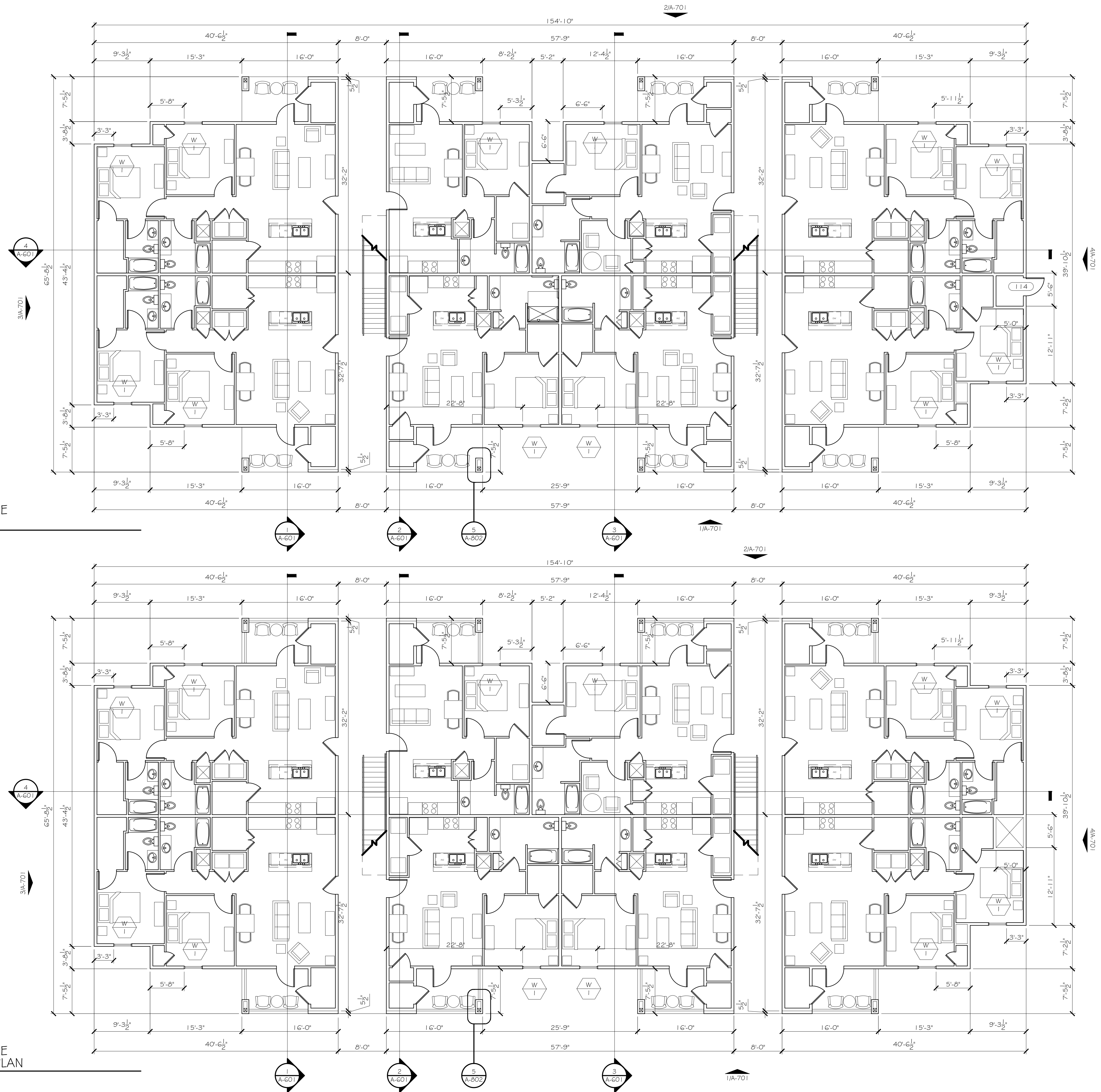
A-104

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FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

2 APARTMENT BUILDING - D-E
SECOND & THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

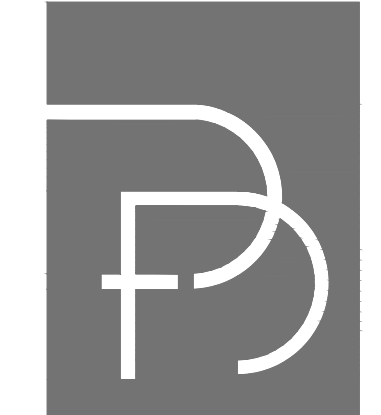




William A. D'Arco

JULY 24, 2023

REVISIONS:



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
WWW.DFDARCH.COM

ROSEMARY
APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

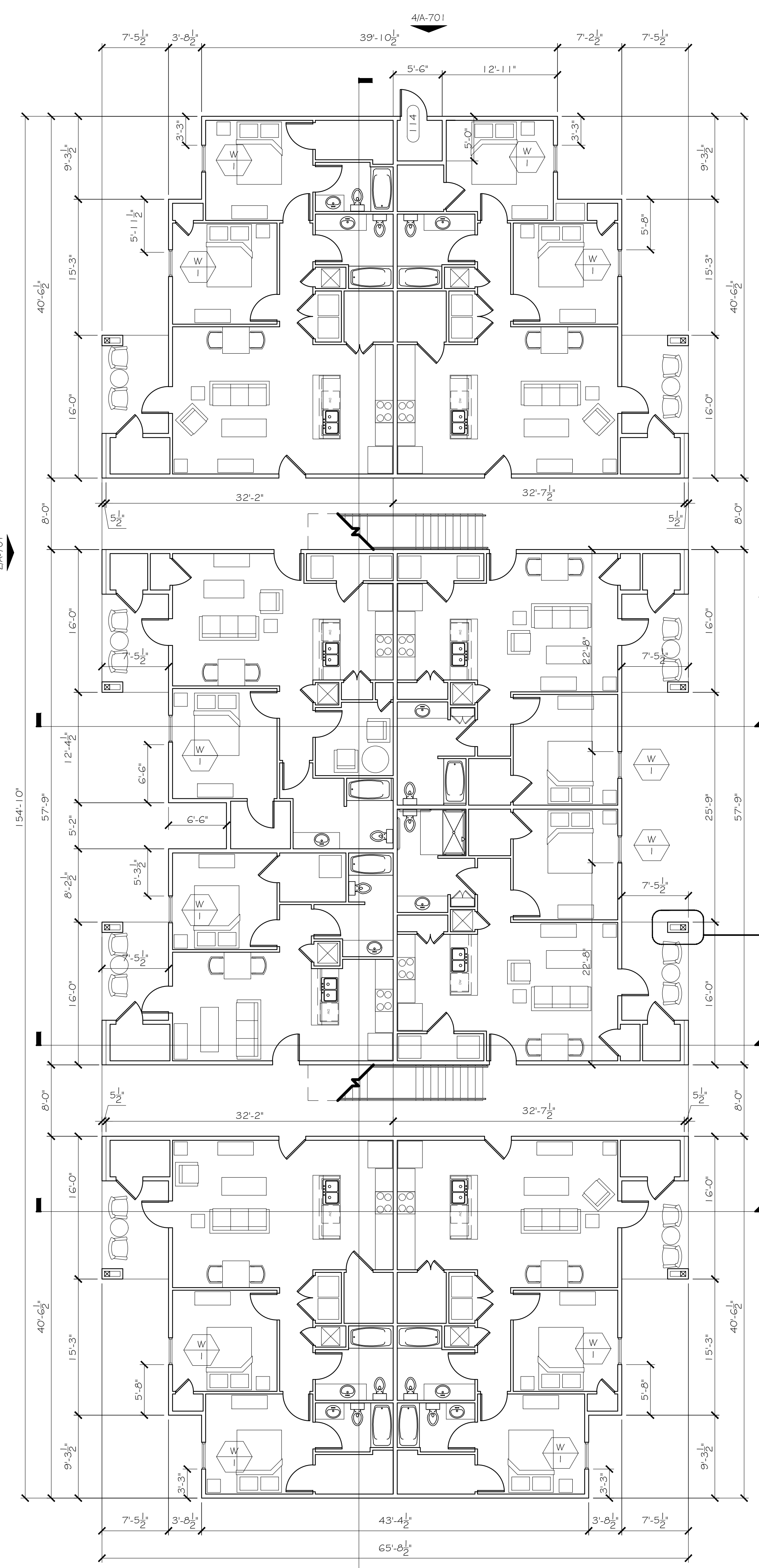
OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

FLOOR PLANS (G#H)

A-105

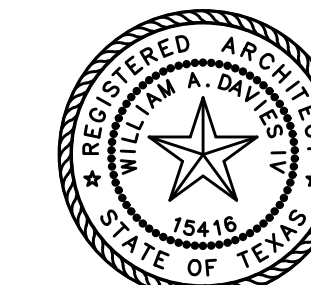
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1 APARTMENT BUILDINGS - G#H
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

2 APARTMENT BUILDINGS - G#H
SECOND & THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

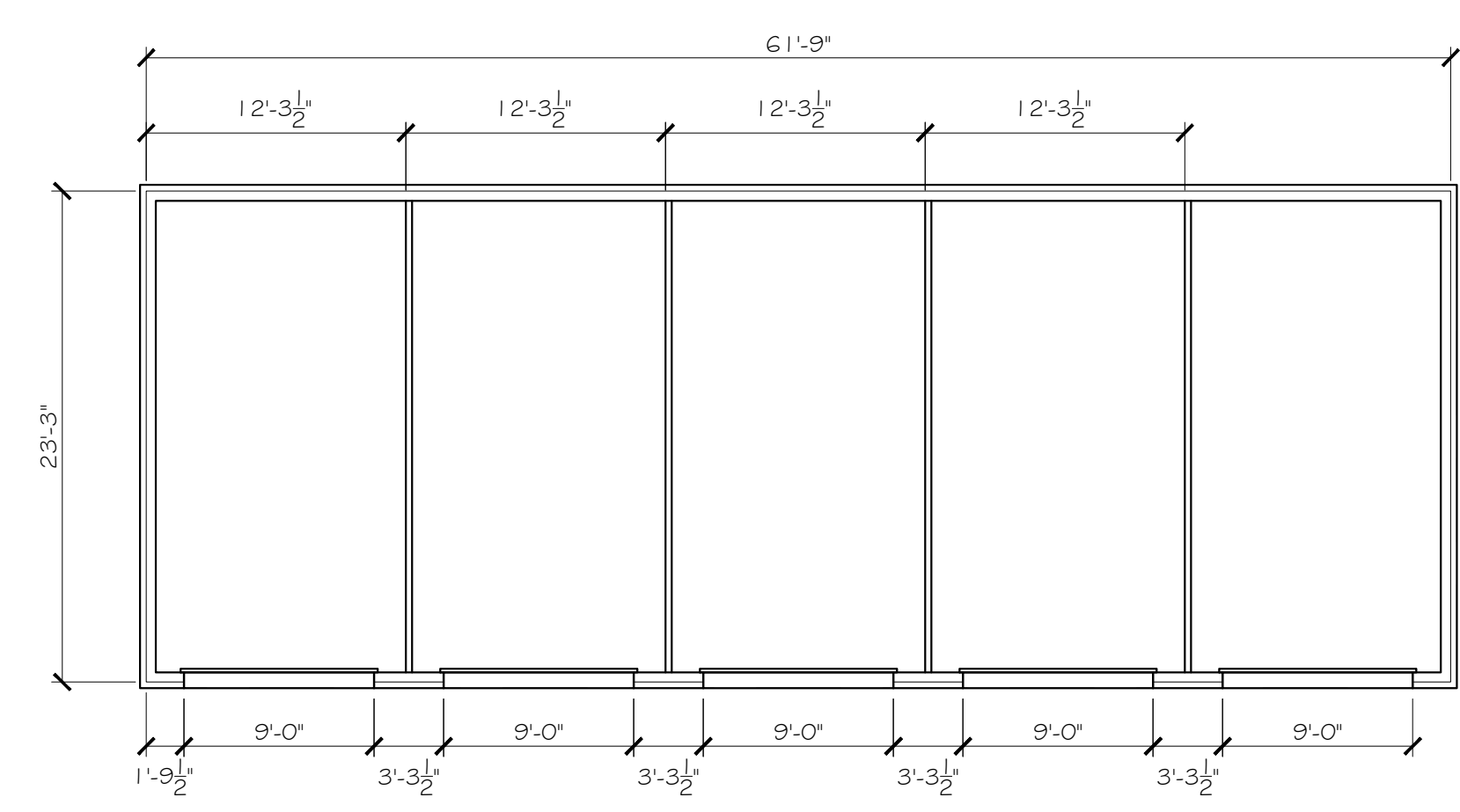


Will W. Davis

REVISIONS:

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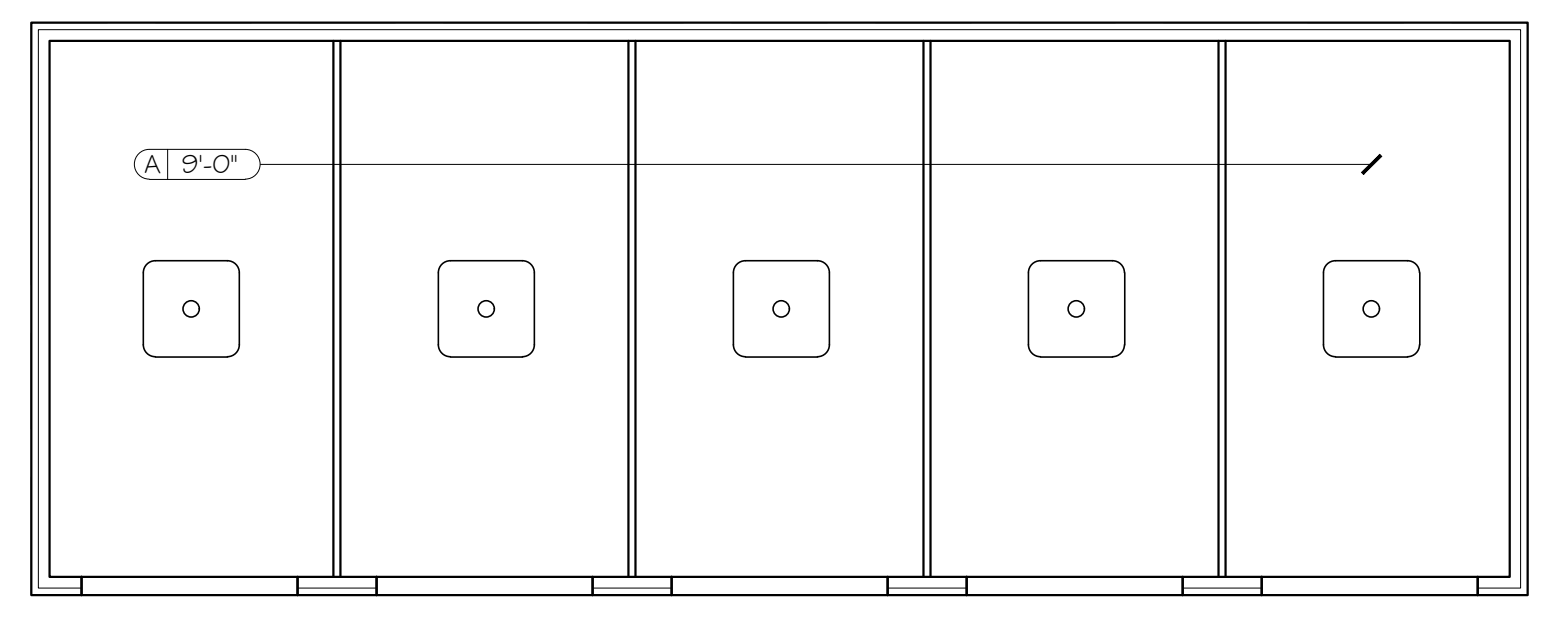


1 RESIDENT GARAGE FLOOR PLAN
SCALE: 1/8" = 1'-0"

CEILING TYPE LEGEND	
TYPE	DESCRIPTION
A	PAINTED GYPSUM BOARD
(A) 9'-0"	EXAMPLE = CEILING TYPE A (PAINTED GYPSUM BOARD) AT 9'-0" AFF

CEILING PLAN GENERAL NOTES

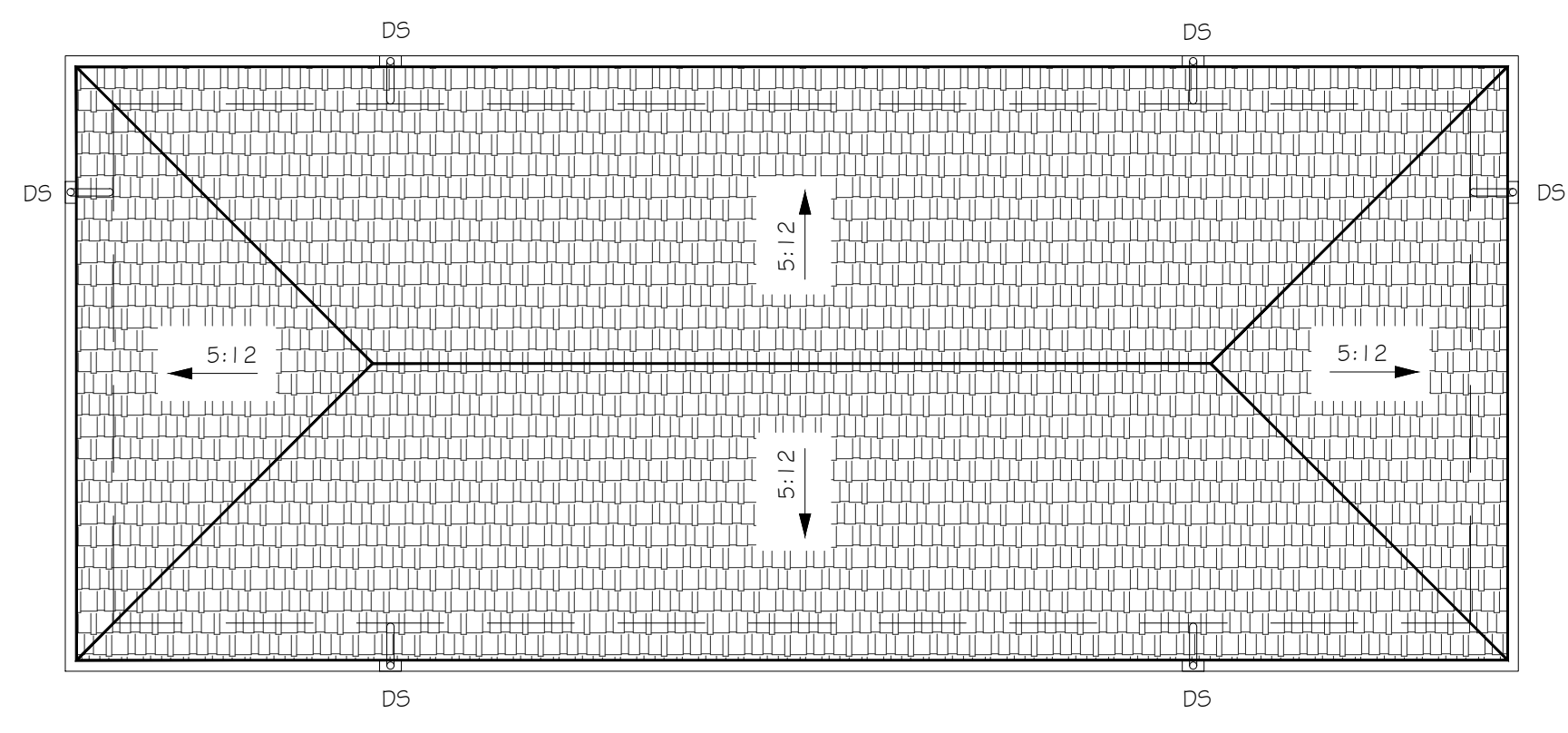
1. LIGHT FIXTURES ARE TO BE CENTERED WITHIN EACH ROOMSPACE, UNLESS NOTED OTHERWISE.
2. PROVIDE GYPSUM BOARD CONTROL JOINTS AT A SPACING LAYOUT NOT TO EXCEED 30'-0" O.C.



2 RESIDENT GARAGE REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ALL ROOFING TO BE ASPHALT SHINGLES; UNLESS NOTED OTHERWISE.
2. PLATE HEIGHT IS 10'-0"; UNLESS NOTED OTHERWISE.
3. ROOF SLOPE IS 5:12; UNLESS NOTED OTHERWISE.
4. INSTALL RIDGE, GUTTERS, HIP, VALLEY, FLASHING, AND ROOFING PER MANUFACTURER.
5. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED THROUGHOUT. SPACING OF DOWNSPOUTS SHALL NOT EXCEED APPROXIMATELY 25 FEET. A CONCRETE SPLASH BLOCK SHALL BE PROVIDED FOR EACH DOWNSPOUT.
6. LOCATE ALL ROOF PENETRATIONS AND EQUIPMENT AWAY FROM HIGHLY VISIBLE AREAS TO GREATEST EXTENT POSSIBLE.
7. REFER TO MEP DRAWINGS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.
8. DS = DOWNSPOUT



3 RESIDENT GARAGE ROOF PLAN
SCALE: 1/8" = 1'-0"



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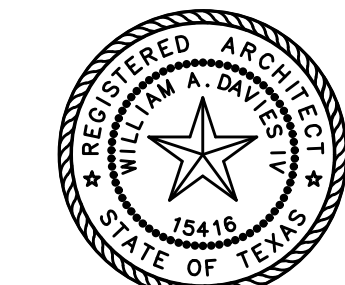
ROSEMARY APARTMENTS

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SHERMAN, TX. 75090

RESIDENT GARAGE PLANS

A-106



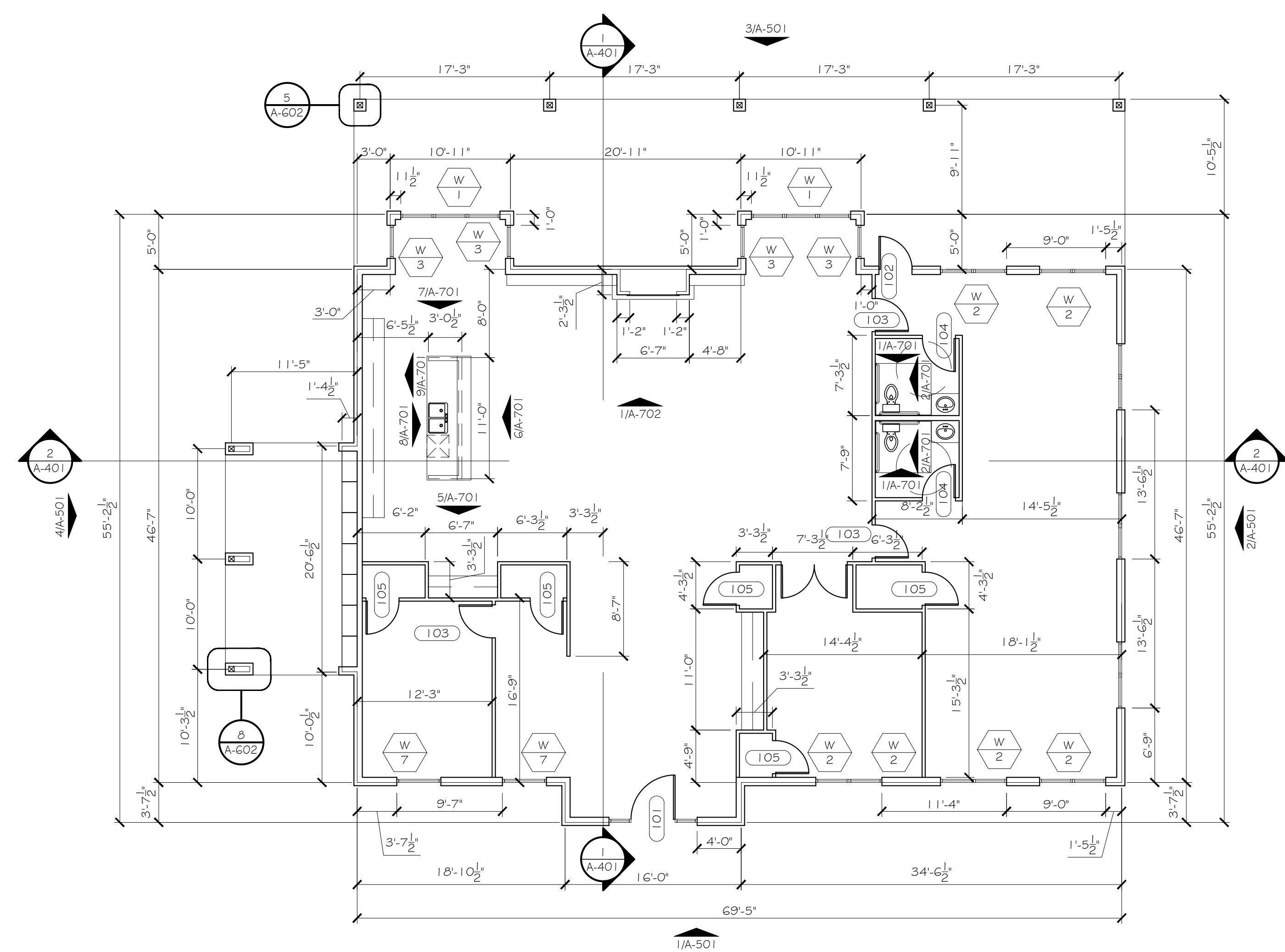
W. Dawson

JULY 24, 2023

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1 CLUBHOUSE FLOOR PLAN
SCALE: 1/8"=1'-0"

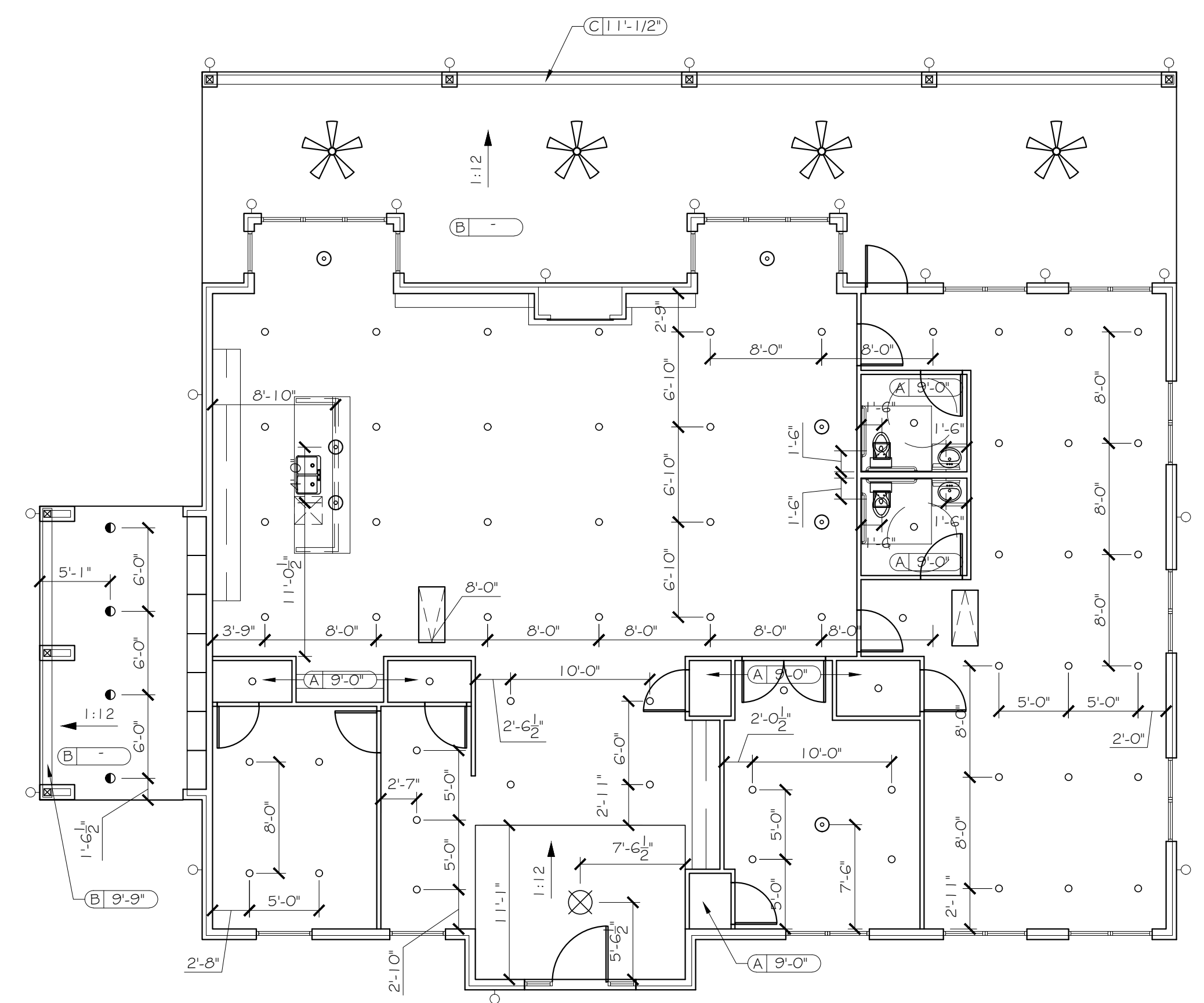
CEILING TYPE LEGEND	
DESCRIPTION	
A	PAINTED GYPSUM BOARD
B	CEMENTITIOUS SOFFIT PANELS
C	CEMENTITIOUS CLAD BEAM
(A) 9'-0"	EXAMPLE = CEILING TYPE A (PAINTED GYPSUM BOARD) AT 9'-0" AFF

CEILING FIXTURE LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	LED DECORATIVE LIGHT
(Symbol)	LED DOWNLIGHT
(Symbol)	LED PENDANT LIGHT
(Symbol)	LED WALL WASHER DOWNLIGHT
(Symbol)	OVERHEAD DOOR OPENER (W/ LIGHT KIT)
(Symbol)	LED VANITY LIGHT
(Symbol)	LED WALL SCONCE
(Symbol)	CEILING FAN (WITH LIGHT KIT)
(Symbol)	CEILING FAN (WITHOUT LIGHT KIT)
(Symbol)	EXHAUST AIR GRILLE
(Symbol)	ATTIC ACCESS HATCH

NOTE: NOT ALL SYMBOLS USED IN ALL DRAWINGS

CEILING PLAN GENERAL NOTES

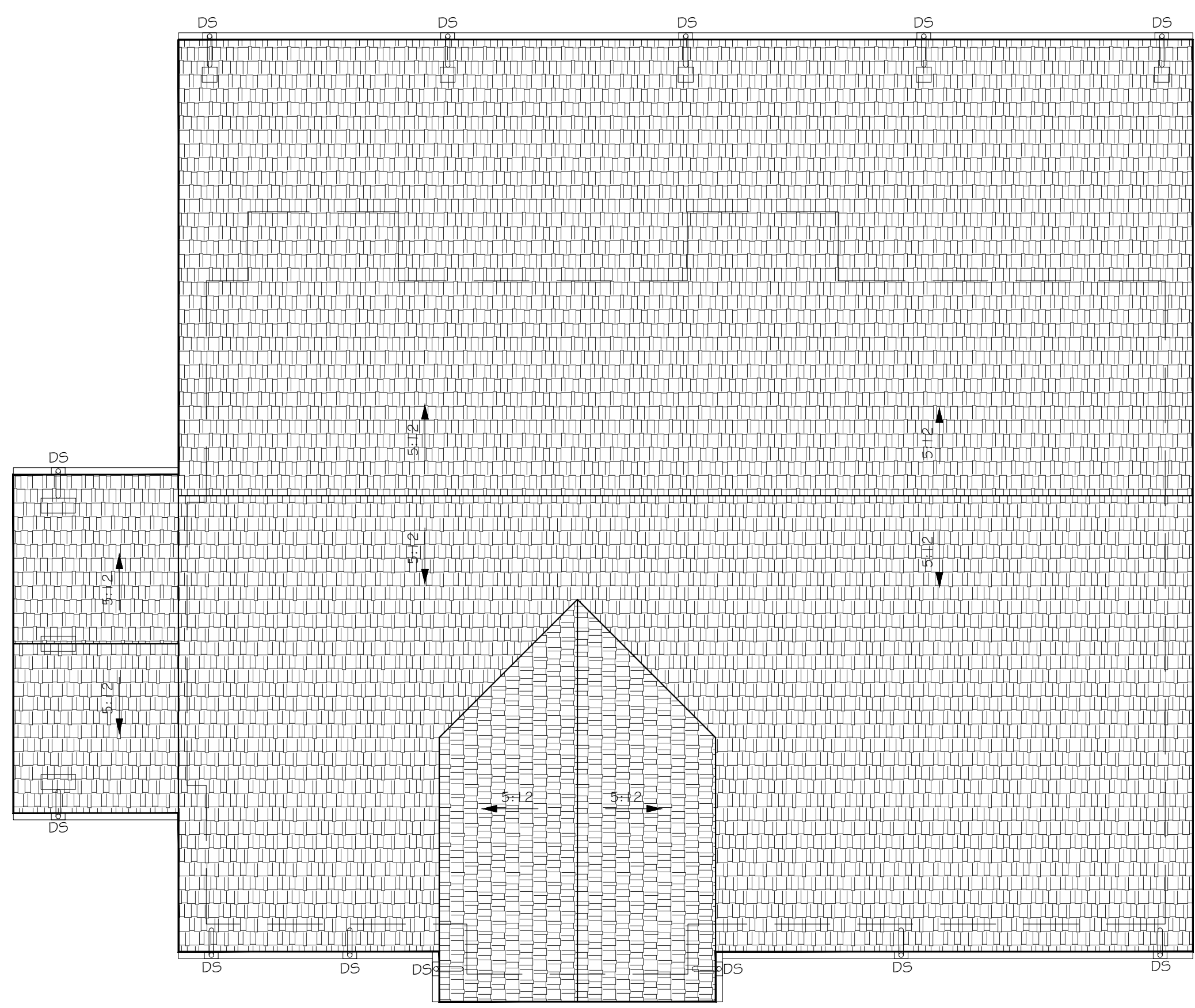
1. ALL CEILING HEIGHTS ARE 10'-0" PAINTED GYPSUM BOARD, UNLESS NOTED OTHERWISE.
2. LIGHT FIXTURES ARE TO BE CENTERED WITHIN EACH ROOMSPACE, UNLESS NOTED OTHERWISE.
3. VANITY LIGHT FIXTURES TO BE MOUNTED AT 6'-9" TO THE CENTER OF FIXTURE, UNLESS NOTED OTHERWISE.
4. EXTERIOR WALL SCONCES TO BE MOUNTED AT 6'-8" AFF TO THE CENTER OF FIXTURE, UNLESS NOTED OTHERWISE.
5. PROVIDE GYPSUM BOARD CONTROL JOINTS AT A SPACING LAYOUT NOT TO EXCEED 30'-0" O.C.



2 CLUBHOUSE REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"

FLOOR PLAN GENERAL NOTES

1. DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. ALL DIMENSIONS ARE TO FACE OF WOOD FRAMING; UNLESS NOTED OTHERWISE.
3. ALL ANGLED WALLS TO BE 45 DEGREES; UNLESS NOTED OTHERWISE.
4. WINDOW AND DOOR JAMBS SHALL BE PLACED A STANDARD 4" FROM ABUTTING PARTITION; UNLESS DIMENSIONED OTHERWISE. CONTRACTOR SHALL COORDINATE ROUGH OPENINGS WITH FRAME DIMENSIONS.
5. REFER TO A-100 FLOOR PLANS AND A-300 DOOR AND WINDOW TYPES, FOR DOOR AND WINDOW SIZES AND LOCATIONS.
6. PROVIDE TEMPERED GLASS WHERE REQUIRED.
7. ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD CONDITIONS WITH PLANS. REPORT AND VARIATIONS TO BUILDER AND ARCHITECT IMMEDIATELY.
8. FOUNDATION CONTRACTOR COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO ARCHITECTURAL PLANS. ANY DISCREPANCY TO BE REPORTED TO BUILDER AND ARCHITECT. THESE PLANS SHALL OVERRULE THE FOUNDATION PLANS IN TERMS OF LAYOUT, DIMENSIONS AND BRICK LEDGES.
9. FRAMING CONTRACTOR TO COMPARE ANY FRAMING PLANS FROM STRUCTURAL ENGINEER OR TRUSS MANUFACTURER TO THESE ARCHITECTURAL PLANS. ANY DISCREPANCY SHALL BE REPORTED TO THE BUILDER.
10. SUB-CONTRACTORS SHALL NOT CUT OR OTHERWISE ALTER ANY PREFABRICATED OR ENGINEERED FRAMING MEMBER WITHOUT APPROVAL OF BUILDER.
11. ALL SUB-CONTRACTORS TO VERIFY WITH BUILDER THAT NO CHANGE ORDER OR ADDENDUM HAVE BEEN ISSUED THAT MAY MODIFY THE SCOPE OF WORK ON THESE PLANS.
12. DRYWALL CONTRACTOR TO VERIFY TYPE AND EXTENT OF WALL AND CEILING TEXTURE PRIOR TO STARTING WORK.
13. SUB-CONTRACTORS ARE RESPONSIBLE FOR KEEPING THE JOB SITE CLEAN. REMOVE ALL TRASH DAILY TO DUMPSTER PROVIDED BY BUILDER.
14. ALL EXTERIOR WALL FRAMING SHALL BE 2X6 YELLOW PINE WOOD STUDS AT 16" ON CENTER; UNLESS NOTED OTHERWISE.
15. ALL WORK PREFORMED TO BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
16. ALL WORK TO BE DONE IN A TIMELY AND WORKMANLIKE MANNER.



3 CLUBHOUSE ROOF PLAN
SCALE: 1/8"=1'-0"

ROOF PLAN GENERAL NOTES

1. ALL ROOFING TO BE ASPHALT SHINGLES; UNLESS NOTED OTHERWISE.
2. PLATE HEIGHT IS 9'-0"; UNLESS NOTED OTHERWISE
3. ROOF SLOPE IS 4:12; UNLESS NOTED OTHERWISE.
4. INSTALL RIDGE, GUTTERS, HIP, VALLEY, FLASHING, AND ROOFING PER MANUFACTURER.
5. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED THROUGHOUT. SPACING OF DOWNSPOUTS SHALL NOT EXCEED APPROXIMATELY 25 FEET. A CONCRETE SPLASH BLOCK SHALL BE PROVIDED FOR EACH DOWNSPOUT.
6. LOCATE ALL ROOF PENETRATIONS AND EQUIPMENT AWAY FROM HIGHLY VISIBLE AREAS TO GREATEST EXTENT POSSIBLE.
7. REFER TO MEP DRAWINGS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.
8. DS = DOWNSPOUT

ROSEMARY APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

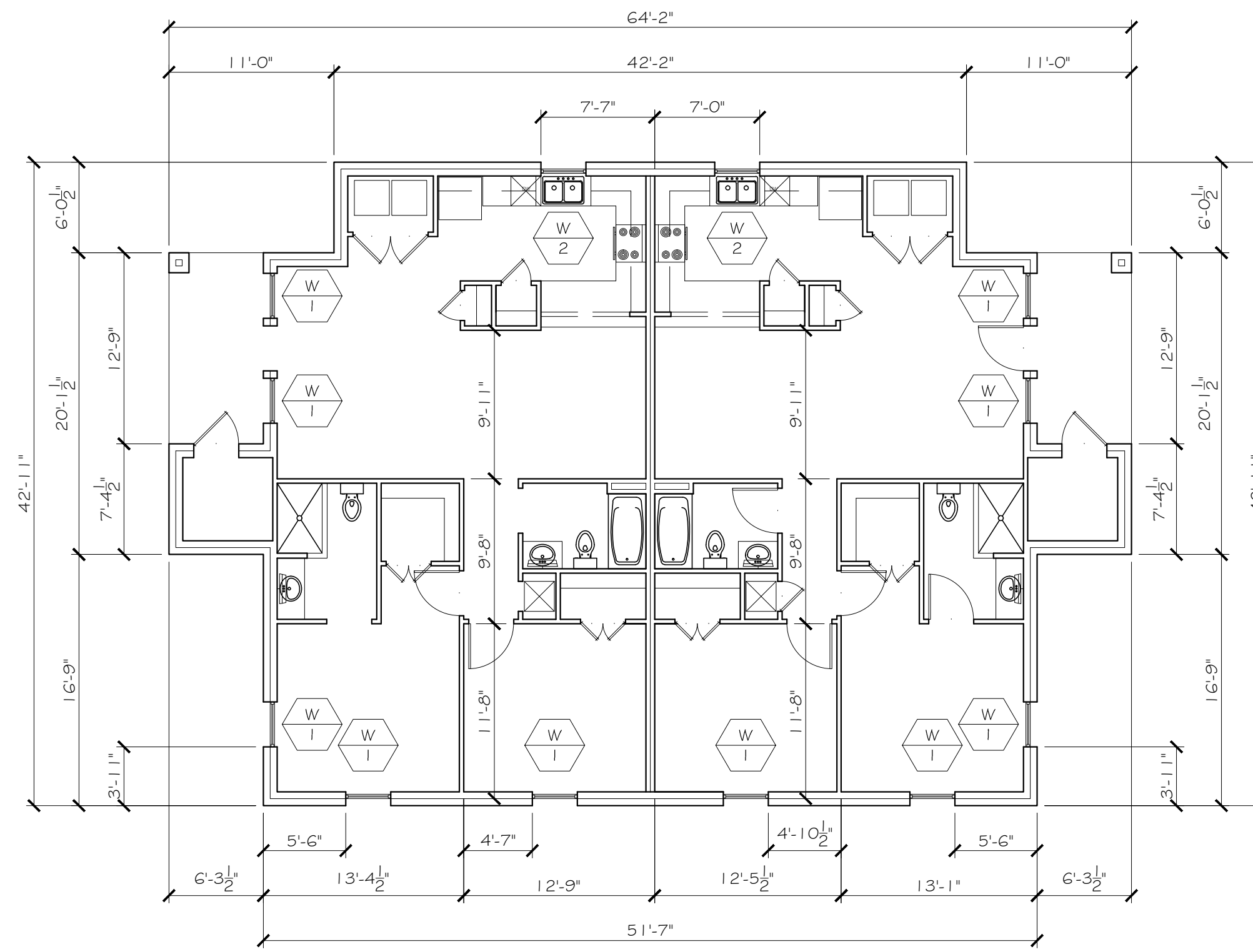
OWNER:
ROSEMARY I 26 INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75099

CLUBHOUSE PLANS

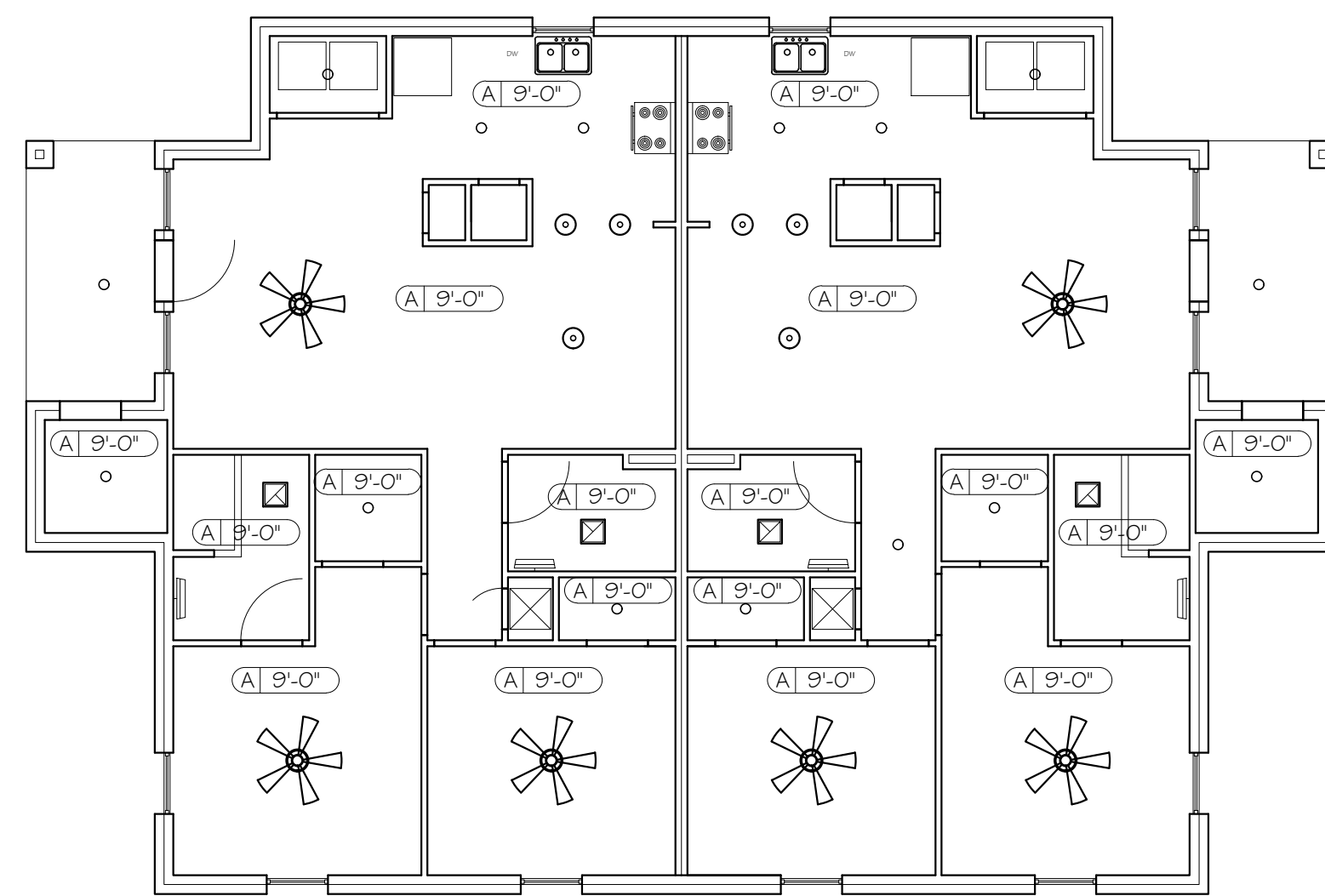
A-107

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE TO FACE OF WOOD FRAMING; UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS TO BE 45 DEGREES; UNLESS NOTED OTHERWISE.
- WINDOW AND DOOR JAMBS SHALL BE PLACED A STANDARD 4" FROM ABUTTING PARTITION; UNLESS DIMENSIONED OTHERWISE. CONTRACTOR SHALL COORDINATE ROUGH OPENINGS WITH FRAME DIMENSIONS.
- REFER TO A-100 FLOOR PLANS AND A-501 DOOR AND WINDOW TYPES, FOR DOOR AND WINDOW SIZES AND LOCATIONS.
- PROVIDE TEMPERED GLASS WHERE REQUIRED.
- ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD CONDITIONS WITH PLANS, REPORT AND VARIATIONS TO BUILDER AND ARCHITECT IMMEDIATELY.
- FOUNDATION CONTRACTOR COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO ARCHITECTURAL PLANS. ANY DISCREPANCY TO BE REPORTED TO BUILDER AND ARCHITECT. THESE PLANS SHALL OVERRULE THE FOUNDATION PLANS IN TERMS OF LAYOUT, DIMENSIONS AND BRICK LEDGES.
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- SUB-CONTRACTORS ARE RESPONSIBLE FOR KEEPING THE JOB SITE CLEAN. REMOVE ALL TRASH DAILY TO DUMPSTER PROVIDED BY BUILDER.
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- ALL WORK PREFORMED TO BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- ALL WORK TO BE DONE IN A TIMELY AND WORKMANLIKE MANNER.



1 DUPLEX FLOOR PLAN
 SCALE: 1/8" = 1'-0" AREA - 2,250 SQ.FT. (CONDITIONED)
 2,410 SQ.FT. (TOTAL SLAB)



CEILING TYPE LEGEND	
TYPE	DESCRIPTION
A	PAINTED GYPSUM BOARD
(A) 9'-0"	EXAMPLE = CEILING TYPE A (PAINTED GYPSUM BOARD) AT 9'-0" AFF

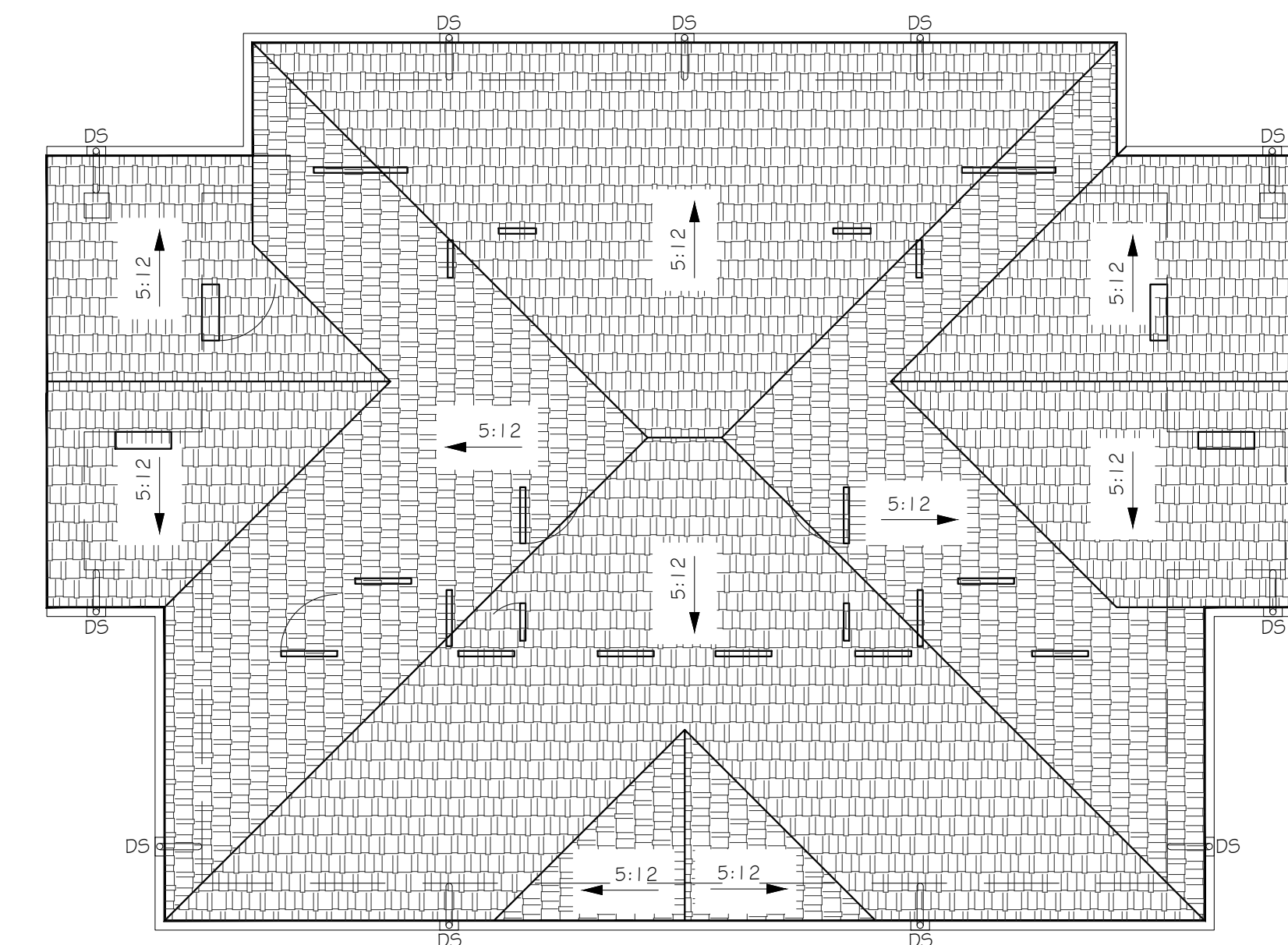
CEILING PLAN GENERAL NOTES

- LIGHT FIXTURES ARE TO BE CENTERED WITHIN EACH ROOMSPACE, UNLESS NOTED OTHERWISE.
- PROVIDE GYPSUM BOARD CONTROL JOINTS AT A SPACING LAYOUT NOT TO EXCEED 30'-0" O.C.

2 DUPLEX REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

- ALL ROOFING TO BE ASPHALT SHINGLES; UNLESS NOTED OTHERWISE.
- PLATE HEIGHT IS 1'-0"; UNLESS NOTED OTHERWISE.
- ROOF SLOPE IS 5:12; UNLESS NOTED OTHERWISE.
- INSTALL RIDGE, GUTTERS, HIP, VALLEY, FLASHING, AND ROOFING PER MANUFACTURER.
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED THROUGHOUT. SPACING OF DOWNSPOUTS SHALL NOT EXCEED APPROXIMATELY 25 FEET. A CONCRETE SPLASH BLOCK SHALL BE PROVIDED FOR EACH DOWNSPOUT.
- LOCATE ALL ROOF PENETRATIONS AND EQUIPMENT AWAY FROM HIGHLY VISIBLE AREAS TO GREATEST EXTENT POSSIBLE.
- REFER TO MEP DRAWINGS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.
- DS = DOWNSPOUT



3 DUPLEX ROOF PLAN
 SCALE: 1/8" = 1'-0"



Will Davis

JULY 24, 2023

REVISIONS:



DFD ARCHITECTS INC
 305 WEST WILLIS STREET
 SUITE 101
 LEANDER, TEXAS 78641
 PHONE: 512.259.4175
 WWW.DFDARCH.COM

ROSEMARY
 APARTMENTS

PROJECT LOCATION:
 DENISON, TEXAS

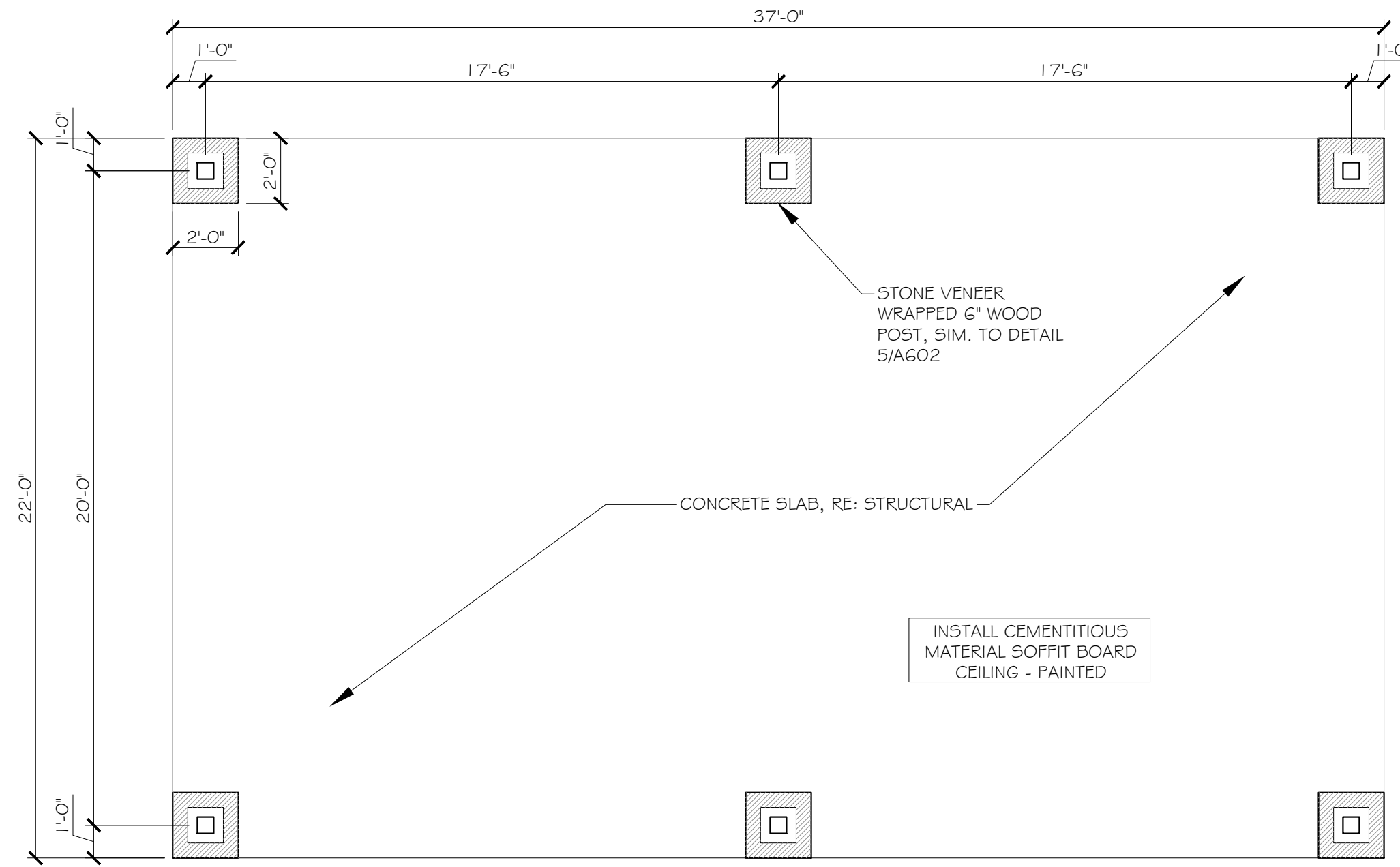
OWNER:
 ROSEMARY I 26
 INVESTORS, LP
 801 E. TAYLOR ST.
 SHERMAN, TX. 75090

DUPLEX PLANS

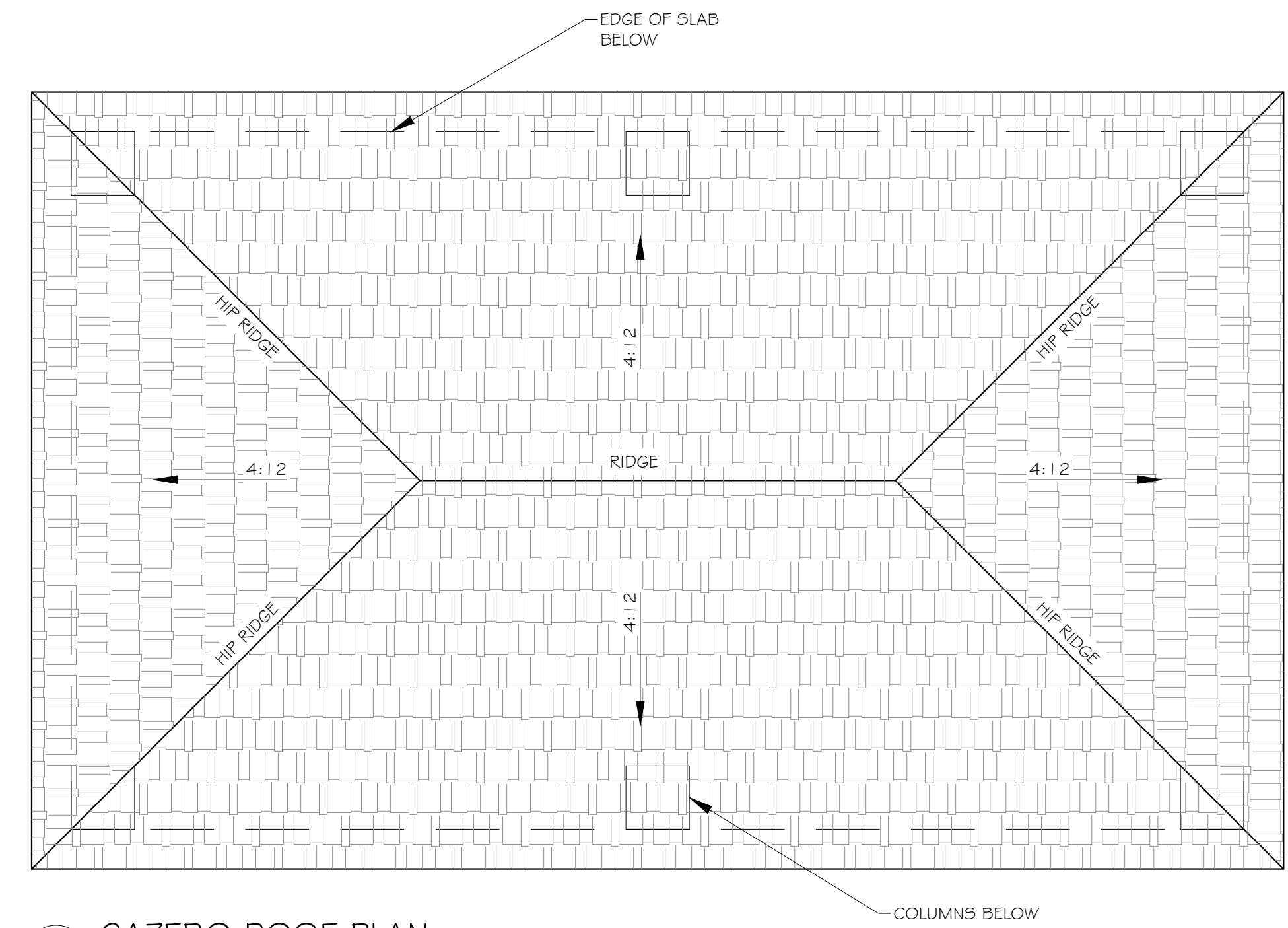
A-108

FLOOR PLAN GENERAL NOTES

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- ALL WORK TO BE DONE IN A TIMELY AND WORKMANLIKE MANNER.



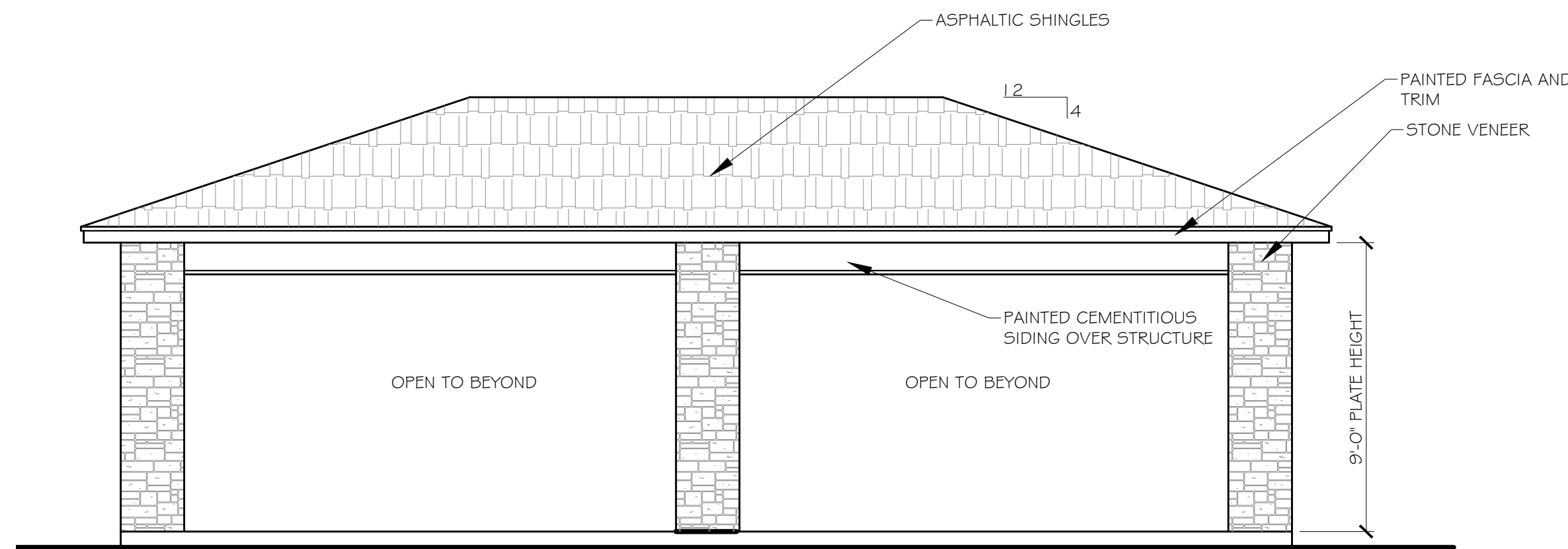
1 GAZEBO FLOOR PLAN
SCALE: 1/4" = 1'-0"



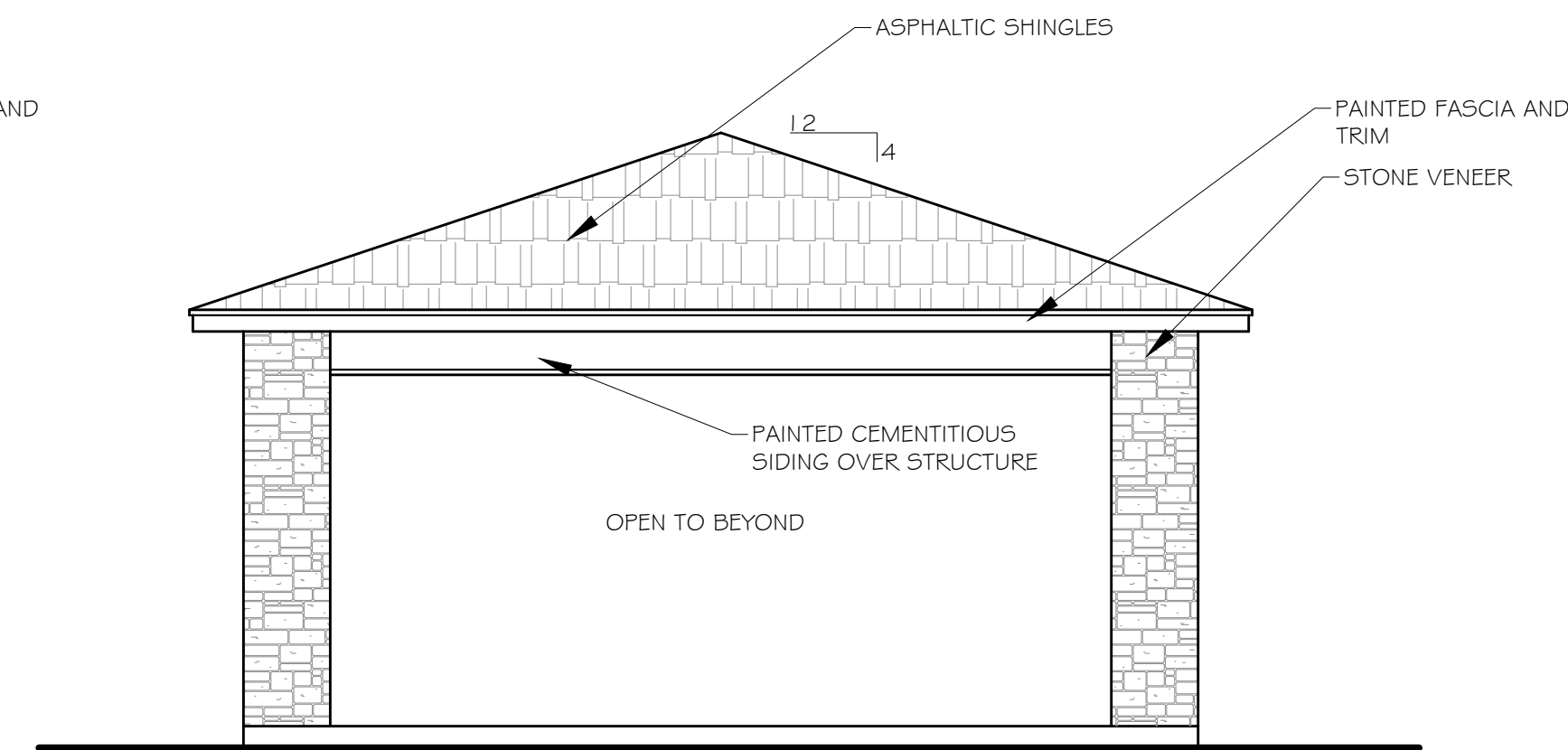
2 GAZEBO ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

- ALL ROOFING TO BE ASPHALT SHINGLES; UNLESS NOTED OTHERWISE.
- PLATE HEIGHT IS 1'-0"; UNLESS NOTED OTHERWISE.
- ROOF SLOPE IS 5:12; UNLESS NOTED OTHERWISE.
- INSTALL RIDGE, GUTTERS, HIP, VALLEY, FLASHING, AND ROOFING PER MANUFACTURER.
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED THROUGHOUT. SPACING OF DOWNSPOUTS SHALL NOT EXCEED APPROXIMATELY 25 FEET. A CONCRETE SPLASH BLOCK SHALL BE PROVIDED FOR EACH DOWNSPOUT.
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- REFER TO MEP DRAWINGS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.
- DS = DOWNSPOUT



3 GAZEBO ELEVATIONS
SCALE: 1/4" = 1'-0"



4 GAZEBO ELEVATIONS
SCALE: 1/4" = 1'-0"



Will P. Law

JULY 24, 2023

REVISIONS:



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
WWW.DFDARCH.COM

ROSEMARY
APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

OWNER:
ROSEMARY I 26
INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

GAZEBO PLANS

A-109

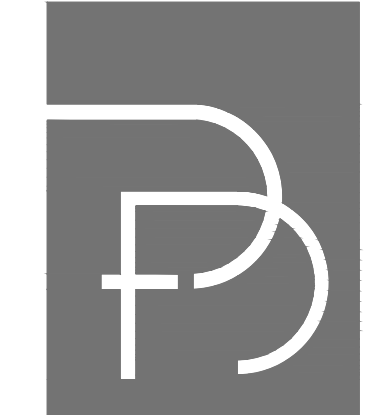


Will A. Davis

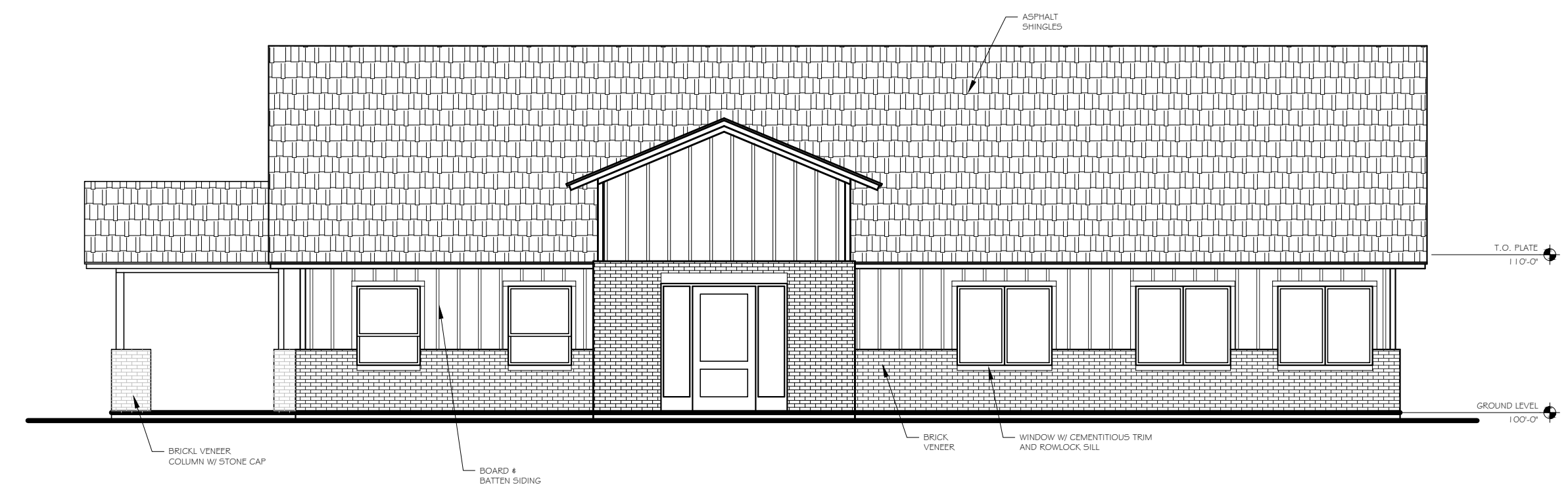
JANUARY 08, 2024

REVISIONS:
ADDENDUM - 2
RESPONSE TO CITY COMMENTS
JANUARY 08, 2024

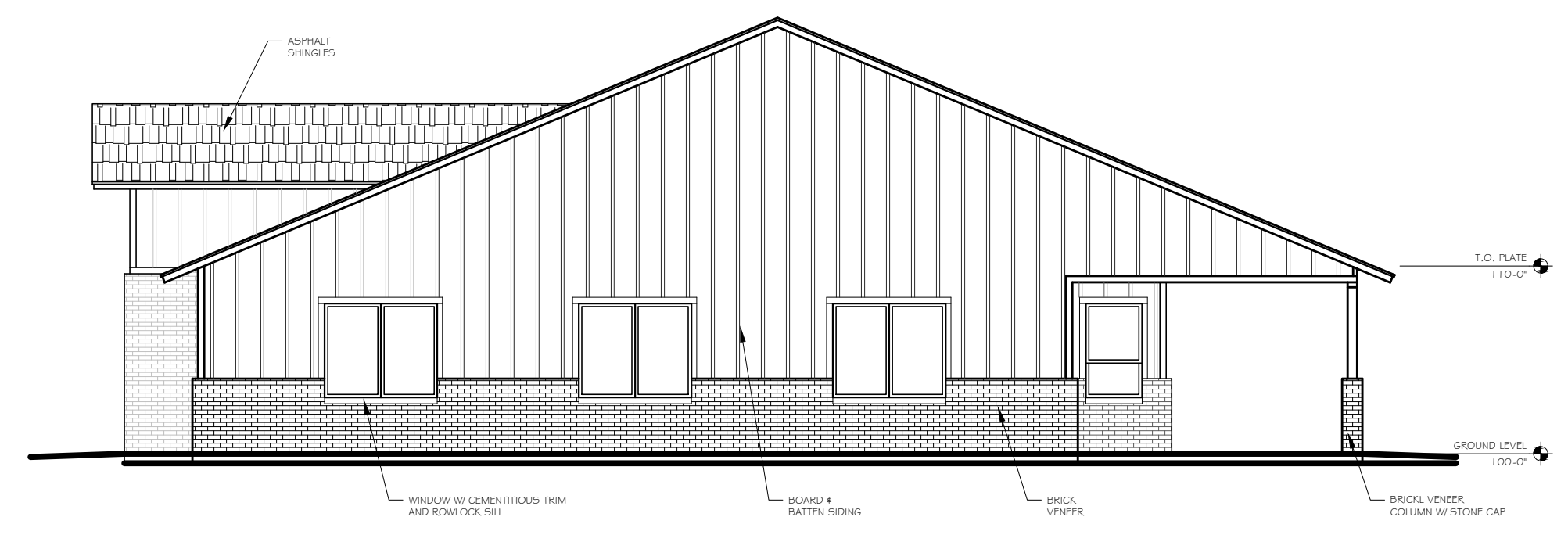
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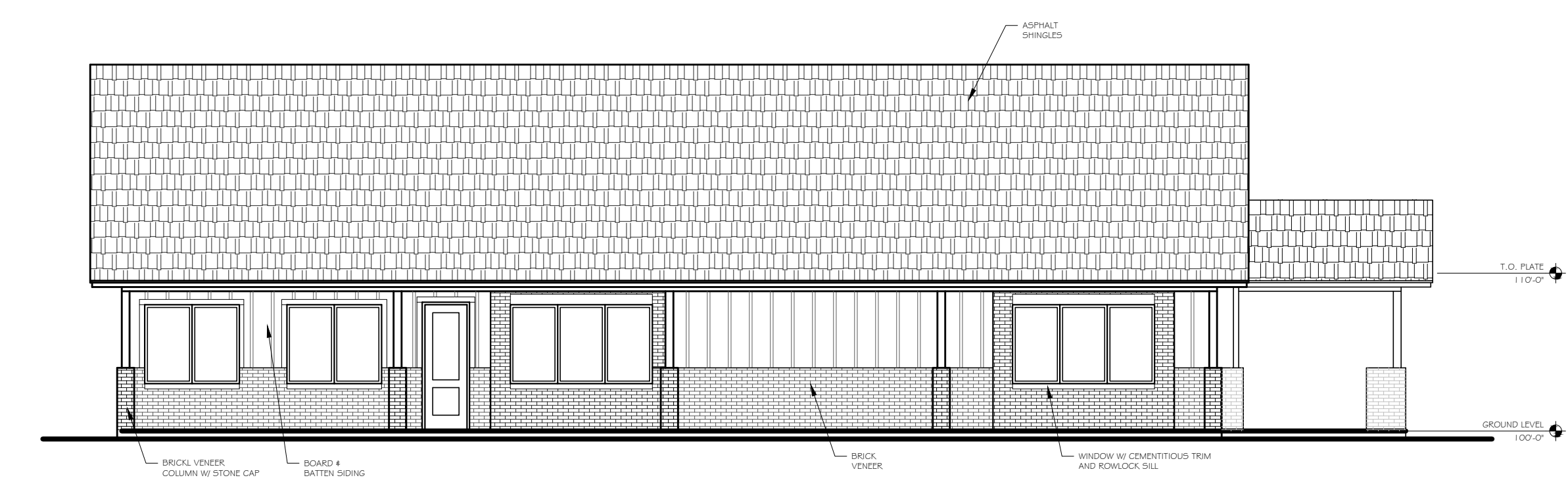
DFD ARCHITECTS INC
305 WEST WILLIS STREET
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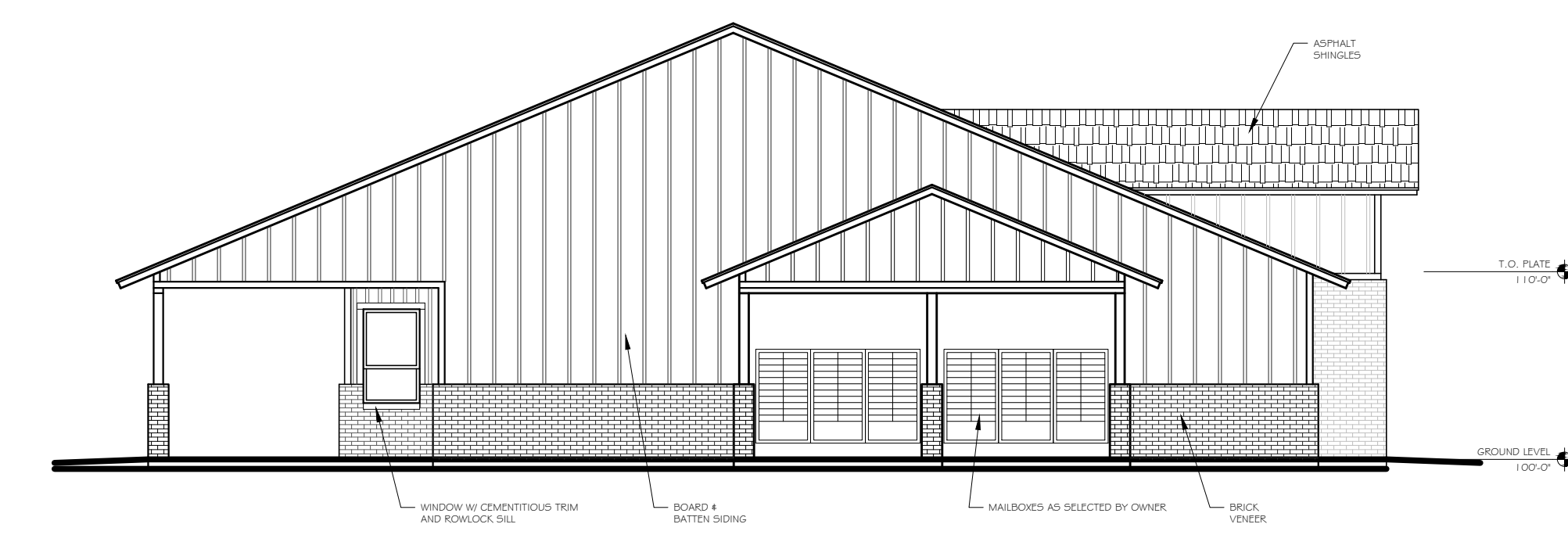
1 CLUBHOUSE - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



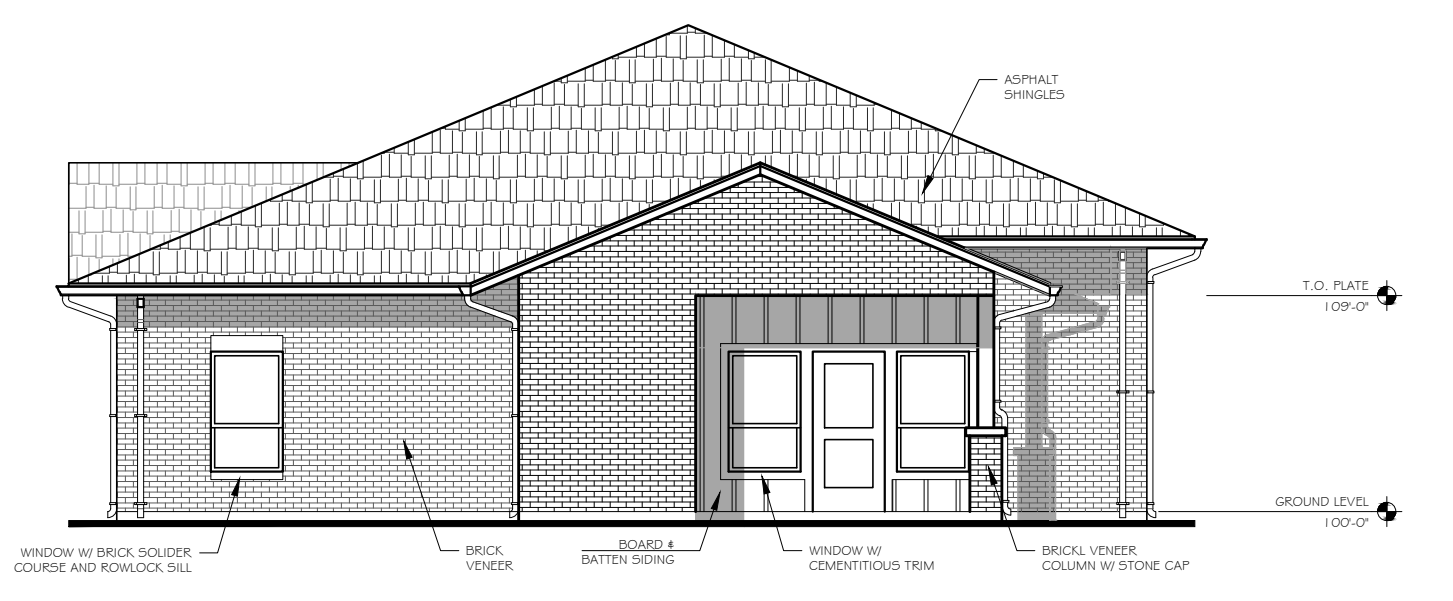
1 CLUBHOUSE - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



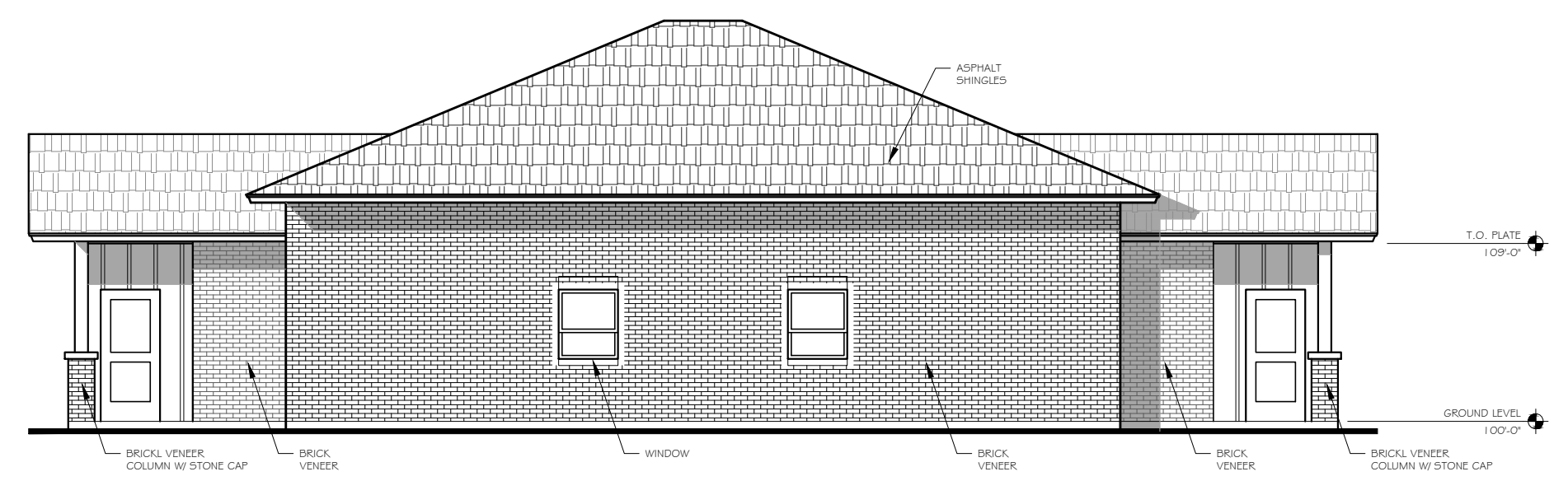
3 CLUBHOUSE - REAR ELEVATION
SCALE: 1/8" = 1'-0"



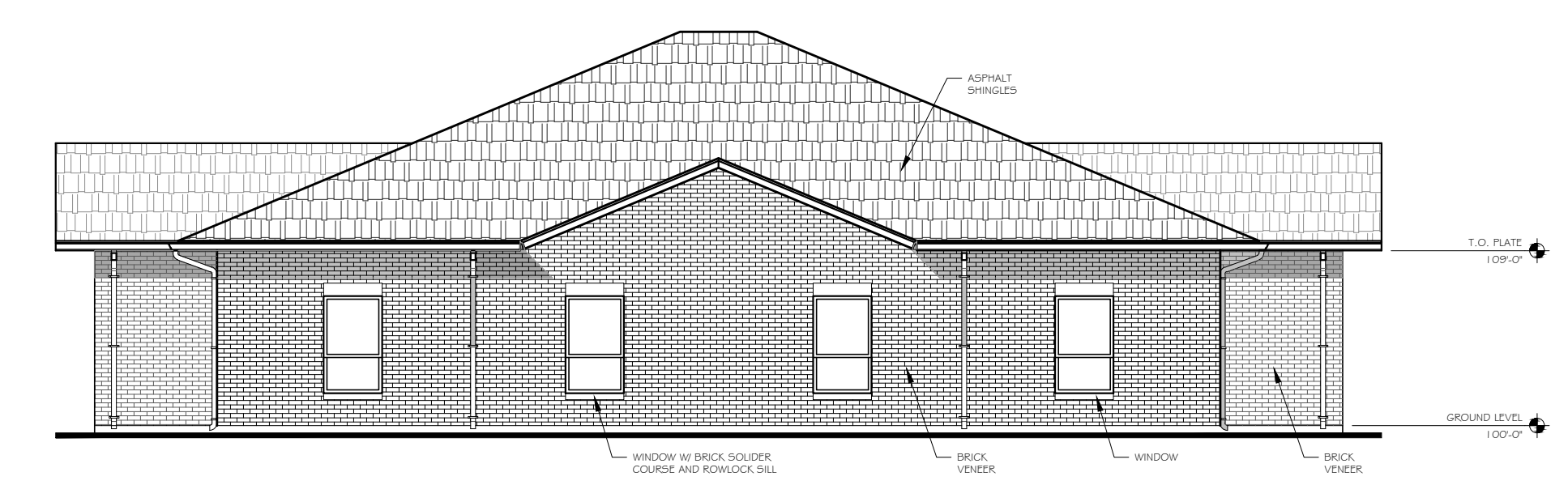
4 CLUBHOUSE - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



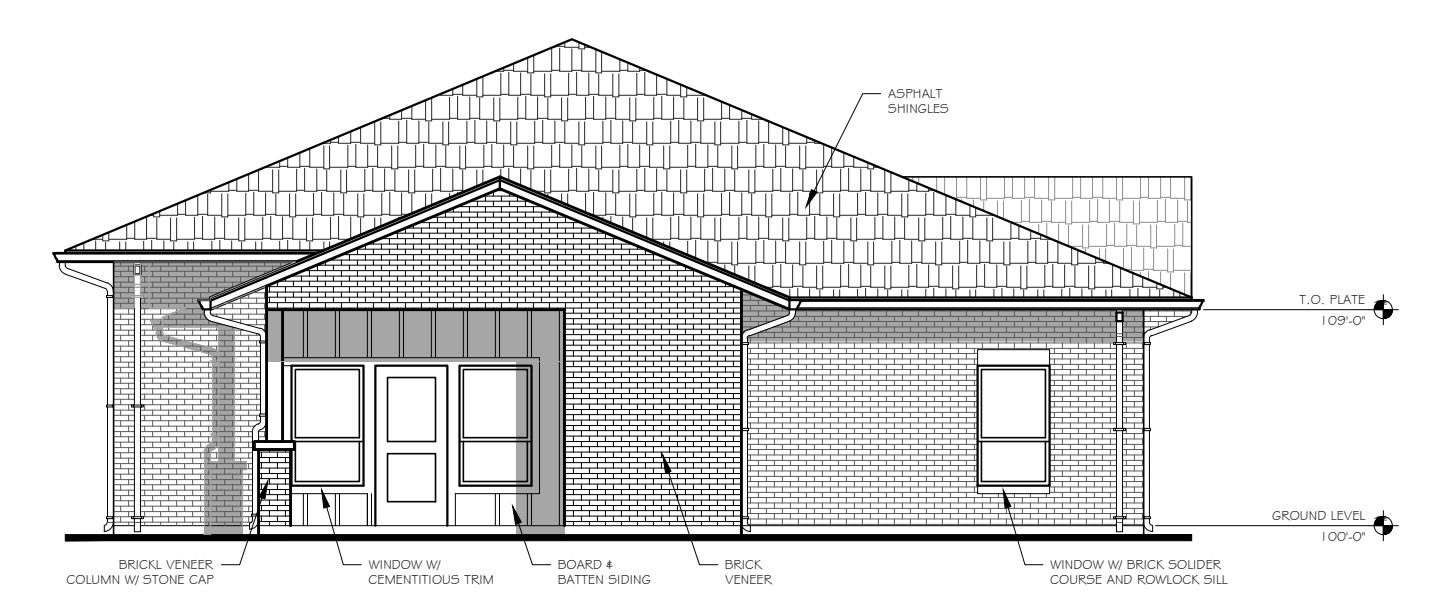
5 DUPLEX - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



6 DUPLEX - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



7 DUPLEX - REAR ELEVATION
SCALE: 1/8" = 1'-0"



8 DUPLEX - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

PER ORDINANCE SECTION 28.63, THE HEIGHT OF A "STORY" IS SPECIFIED AS 12 FEET. RESIDENTIAL UNITS FRONTING ONTO LILLIS LANE SHALL BE ONE-STORY WITH A PLATE HEIGHT AT 9'-0" AFF.

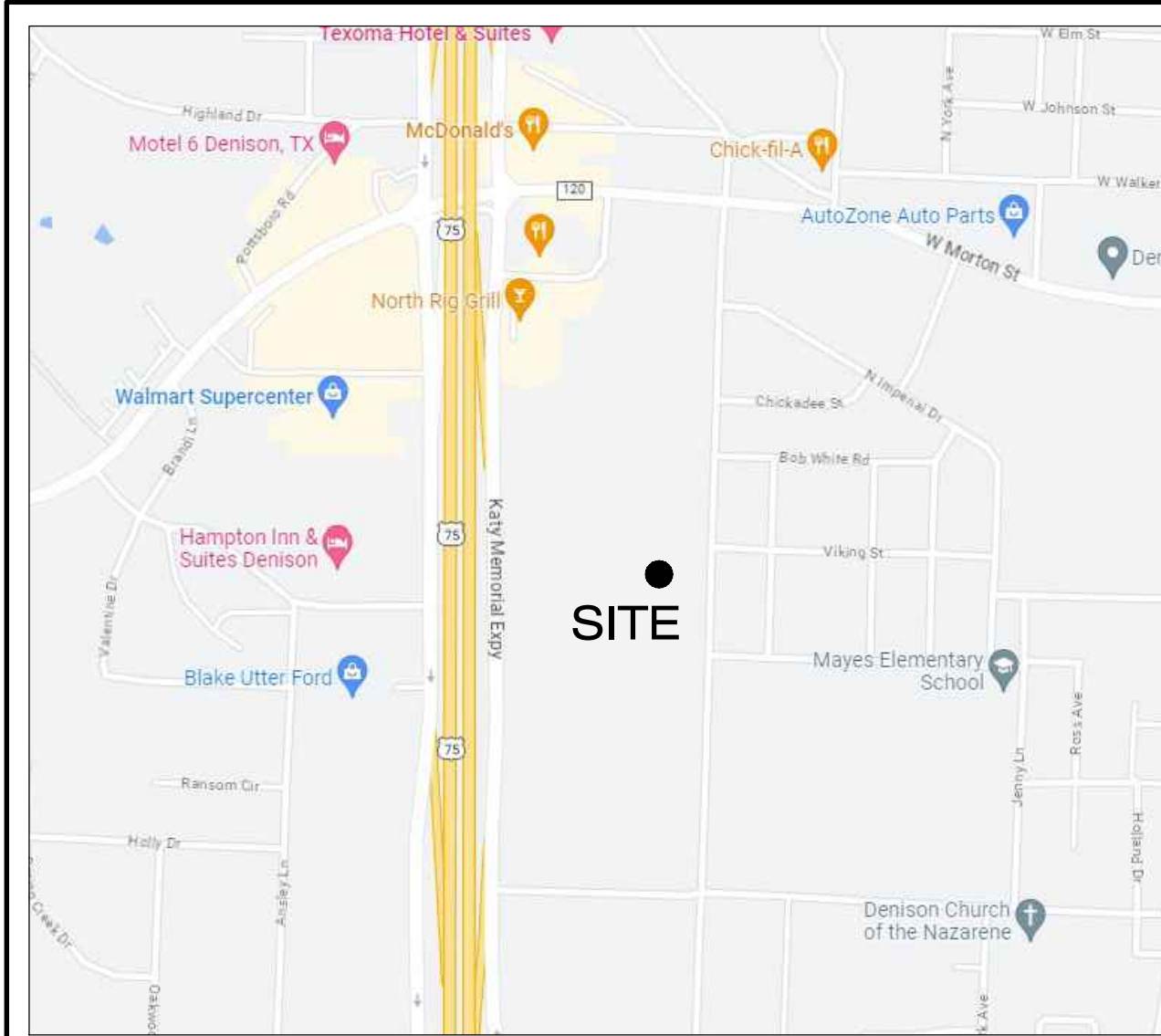
ROSEMARY APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

OWNER:
ROSEMARY 126 INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

EXTERIOR ELEVATIONS

A-703



VICINITY MAP (N.T.S.)

LANDSCAPE ORDINANCE COMPLIANCE
 PROJECT SITE AREA = 434,723 SF
 LANDSCAPE REQUIRED: 434,723 SF x 20% =
 LANDSCAPE PROVIDED:
 LANDSCAPE OPEN SPACE:

86,944.6 SF
 129,683 SF (29.8%)
 107,595 SF (24.75%)

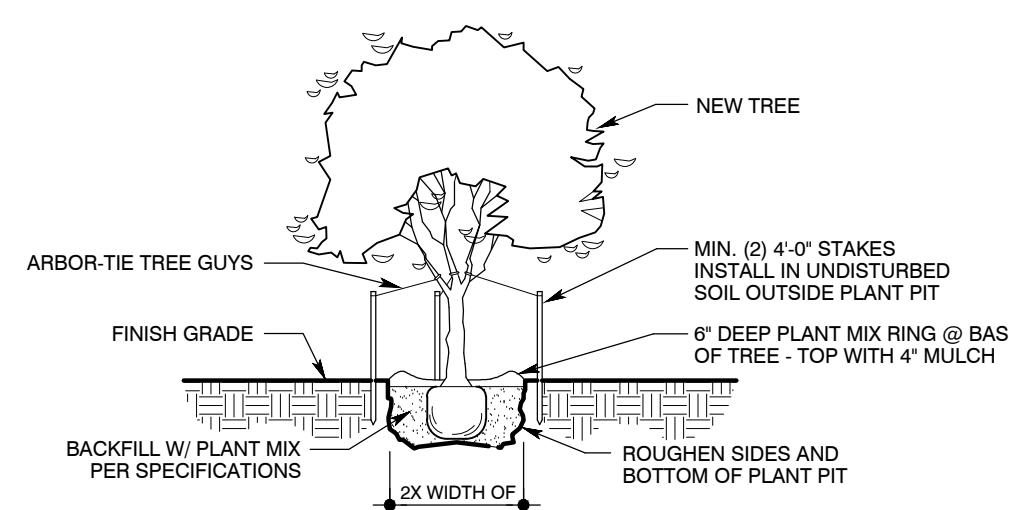
FRONTAGE VIKINGS STREET TOTAL AREA = 11,640 SF
 LANDSCAPE REQUIRED: 11,640 SF x 8% =
 LANDSCAPE PROVIDED:

931.2 SF
 9629 SF (82.7%)

FRONTAGE LILLIS LANE TOTAL AREA = 24,365 SF
 LANDSCAPE REQUIRED: 24,365 SF x 8% =
 LANDSCAPE PROVIDED:

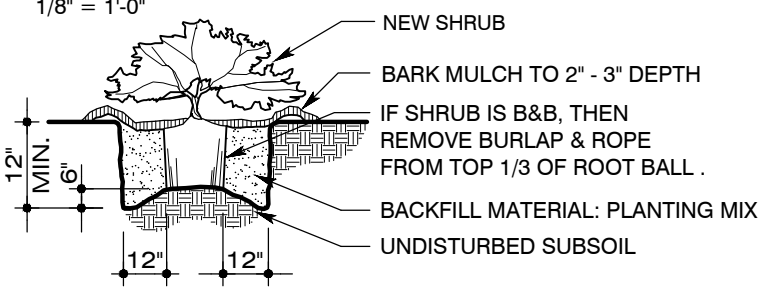
1949.2 SF
 15,890 SF (65.2%)

TREE PRESERVATION ORDINANCE COMPLIANCE
 THERE ARE NO EXISTING PROTECTED TREES ON SITE.



TREE PLANTING DETAIL

NEW TREES
 1/8" = 1'-0"



SHRUB PLANTING DETAIL

NEW SHRUBS
 1/8" = 1'-0"

GENERAL NOTES:

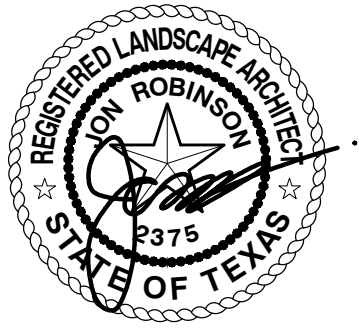
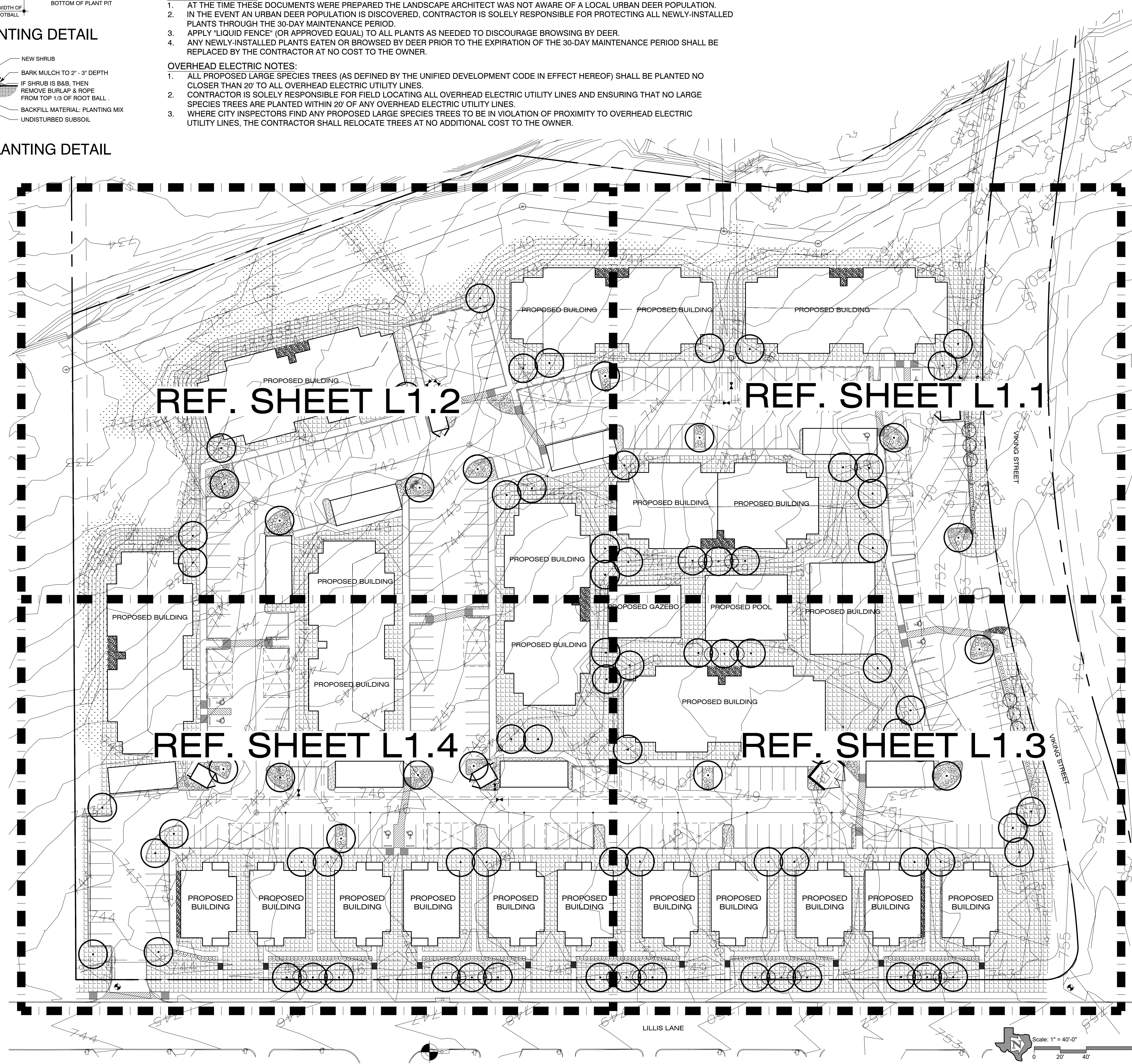
1. REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
2. INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
3. INSTALL APPROVED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
5. WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
6. VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

URBAN DEER NOTES:

1. AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION.
2. IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
3. APPLY "LIQUID FENCE" (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
4. ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

OVERHEAD ELECTRIC NOTES:

1. ALL PROPOSED LARGE SPECIES TREES (AS DEFINED BY THE UNIFIED DEVELOPMENT CODE IN EFFECT HEREOF) SHALL BE PLANTED NO CLOSER THAN 20' TO ALL OVERHEAD ELECTRIC UTILITY LINES.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL OVERHEAD ELECTRIC UTILITY LINES AND ENSURING THAT NO LARGE SPECIES TREES ARE PLANTED WITHIN 20' OF ANY OVERHEAD ELECTRIC UTILITY LINES.
3. WHERE CITY INSPECTORS FIND ANY PROPOSED LARGE SPECIES TREES TO BE IN VIOLATION OF PROXIMITY TO OVERHEAD ELECTRIC UTILITY LINES, THE CONTRACTOR SHALL RELOCATE TREES AT NO ADDITIONAL COST TO THE OWNER.



12/20/23
 The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

OWNER
Rosemary 126 Investors

801 E. Taylor St.
 Sherman, TX 75090

PROJECT
Rosemary Apartments

XXXX
 Denison, Texas 782XX

REVISIONS
 1. City Comments 12/20/23

PROJECT NUMBER
 2023-117

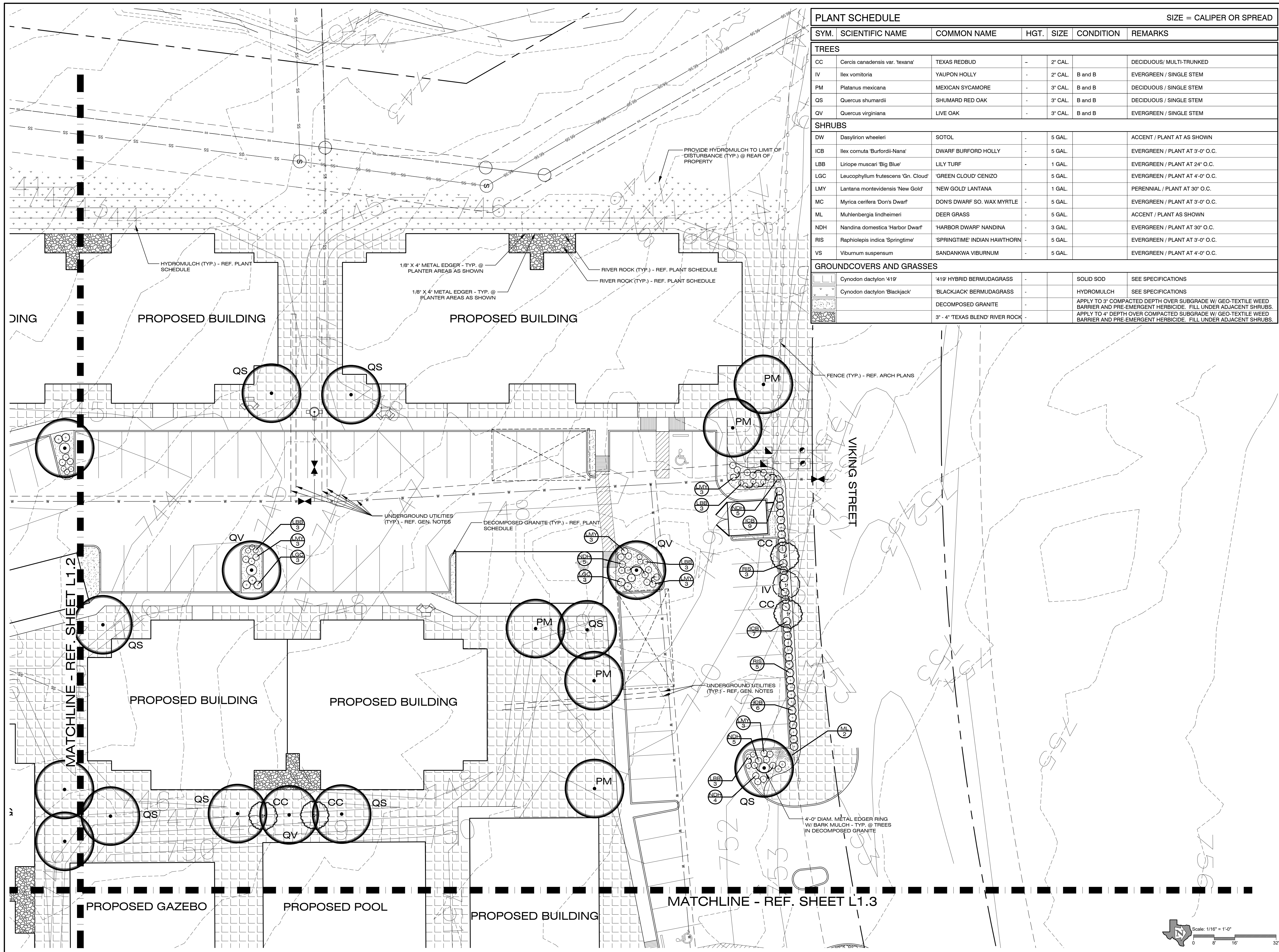
Drawn By: cd
 Checked By: jr

Sheet Title:
OVERALL LANDSCAPE PLANTING PLAN

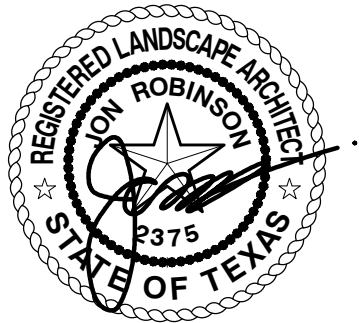
Sheet Number:

L1.0

Issue Date:
May 31, 2023



PLANT SCHEDULE							SIZE = CALIPER OR SPREAD
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS	
TREES							
CC	Cercis canadensis var. 'texana'	TEXAS REDBUD	-	2" CAL.		DECIDUOUS / MULTI-TRUNKED	
IV	Ilex vomitoria	YALPON HOLLY	-	2" CAL.	B and B	EVERGREEN / SINGLE STEM	
PM	Platanus mexicana	MEXICAN SYCAMORE	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM	
QS	Quercus shumardii	SHUMARD RED OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM	
QV	Quercus virginiana	LIVE OAK	-	3" CAL.	B and B	EVERGREEN / SINGLE STEM	
SHRUBS							
DW	Dasyliiron wheeleri	SOTOL	-	5 GAL.		ACCENT / PLANT AT AS SHOWN	
ICB	Ilex cornuta 'Burfordii-Nana'	DWARF BURFORD HOLLY	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.	
LBB	Liriope muscari 'Big Blue'	LILY TURF	-	1 GAL.		EVERGREEN / PLANT AT 24" O.C.	
LGC	Leucophyllum frutescens 'Gn. Cloud'	'GREEN CLOUD' CENIZO	-	5 GAL.		EVERGREEN / PLANT AT 4'-0" O.C.	
LMY	Lantana montevidensis 'New Gold'	'NEW GOLD' LANTANA	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.	
MC	Myrica cerifera 'Don's Dwarf'	DON'S DWARF SO. WAX MYRTLE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.	
ML	Muhlenbergia lindheimeri	DEER GRASS	-	5 GAL.		ACCENT / PLANT AS SHOWN	
NDH	Nandina domestica 'Harbor Dwarf'	'HARBOR DWARF' NANDINA	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.	
RIS	Raphiolepis indica 'Springtime'	'SPRINGTIME' INDIAN HAWTHORN	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.	
VS	Viburnum suspensum	SANDANKWA VIBURNUM	-	5 GAL.		EVERGREEN / PLANT AT 4'-0" O.C.	
GROUNDCOVERS AND GRASSES							
	Cynodon dactylon '419'	'419' HYBRID BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS	
	Cynodon dactylon 'Blackjack'	'BLACKJACK' BERMUDAGRASS	-		HYDROMULCH	SEE SPECIFICATIONS	
		DECOMPOSED GRANITE	-			APPLY TO 3" COMPACTED DEPTH OVER SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.	
		3" - 4" TEXAS BLEND RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.	



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Sherman, TX 75090

PROJECT
Rosemary Apartments

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Denison, Texas 782XX

REVISIONS
1. City Comments 12/20/23

PROJECT NUMBER
2023-117

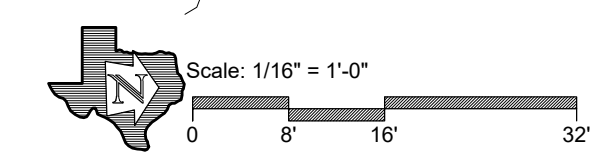
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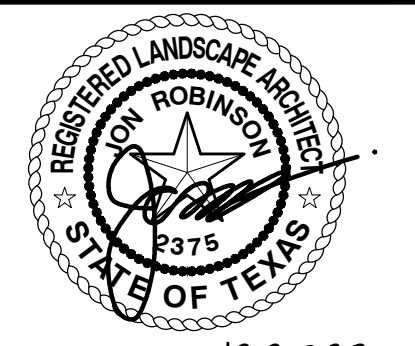
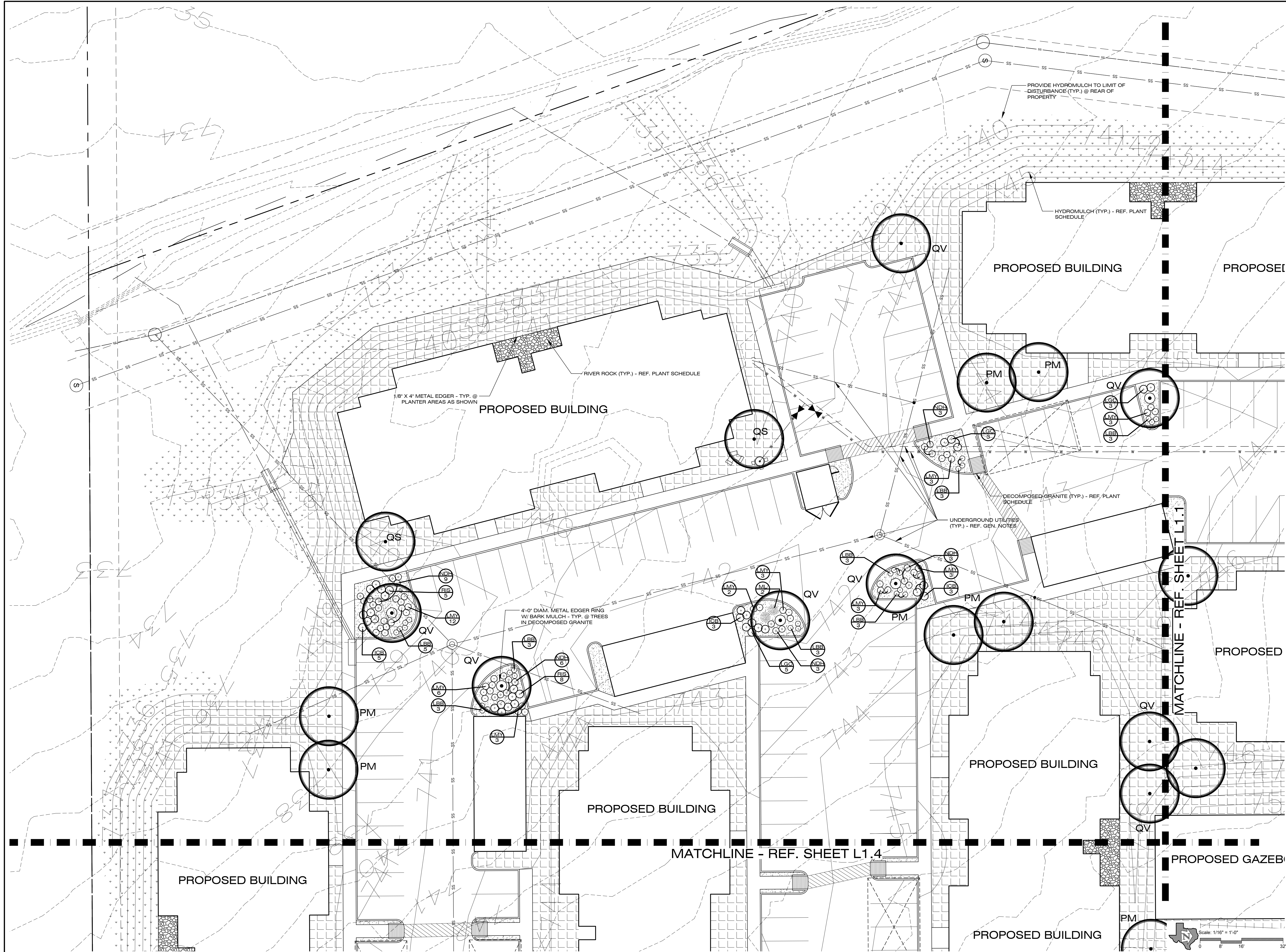
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L1.1

Issue Date:
May 31, 2023





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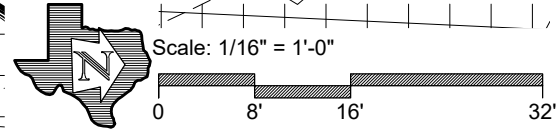
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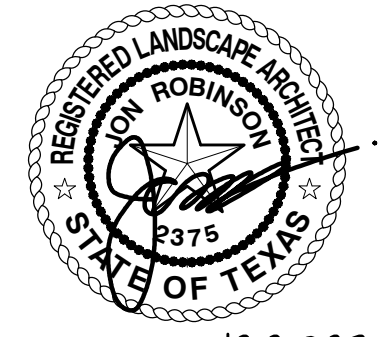
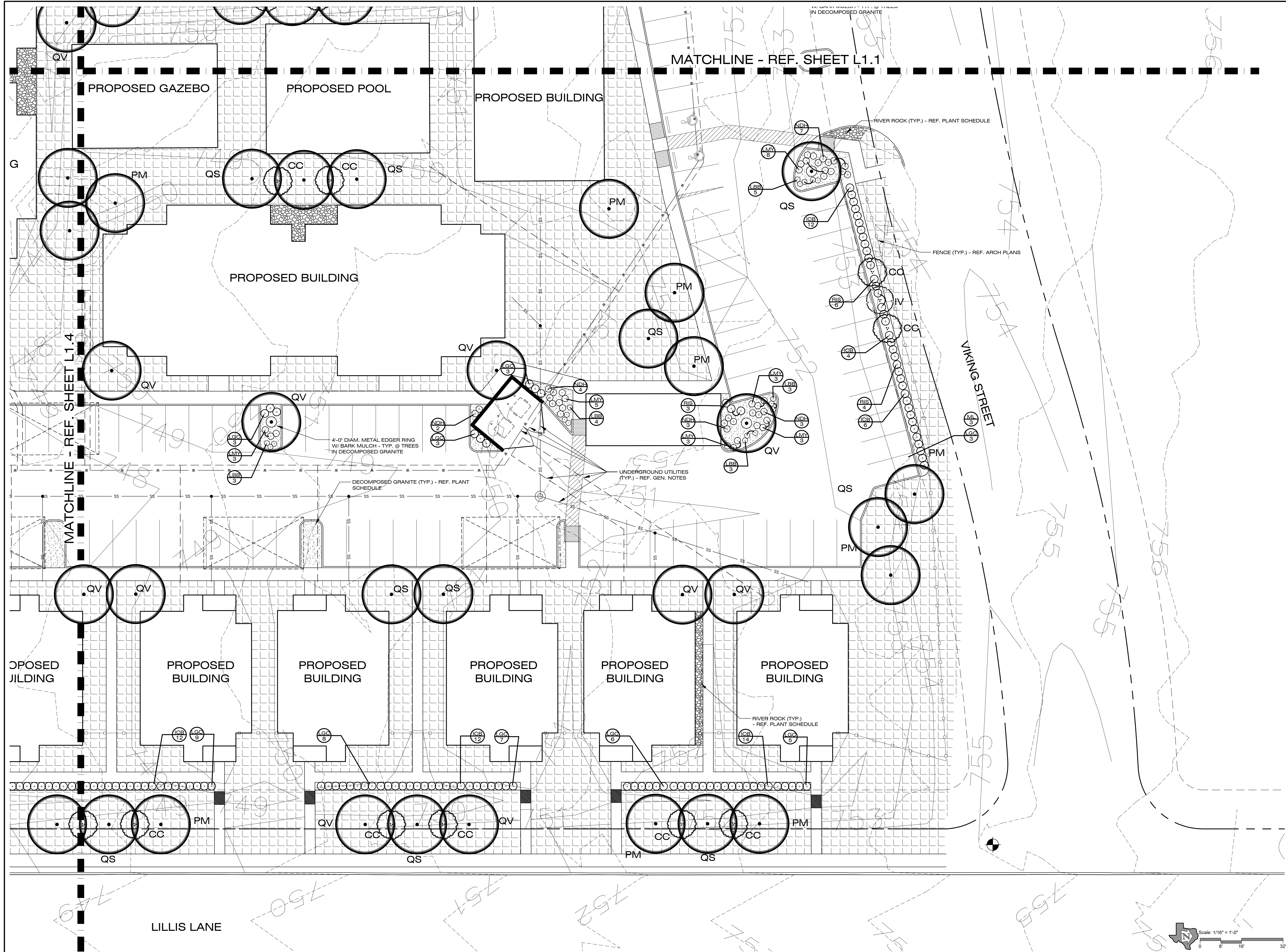
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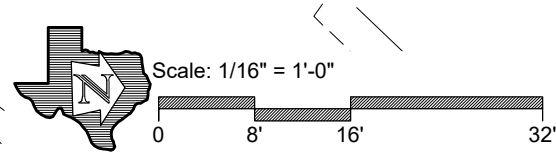
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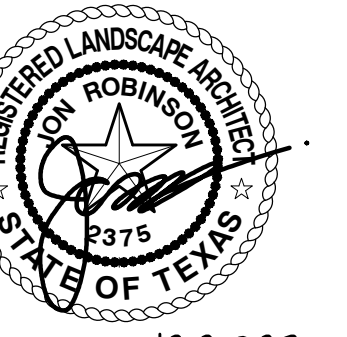
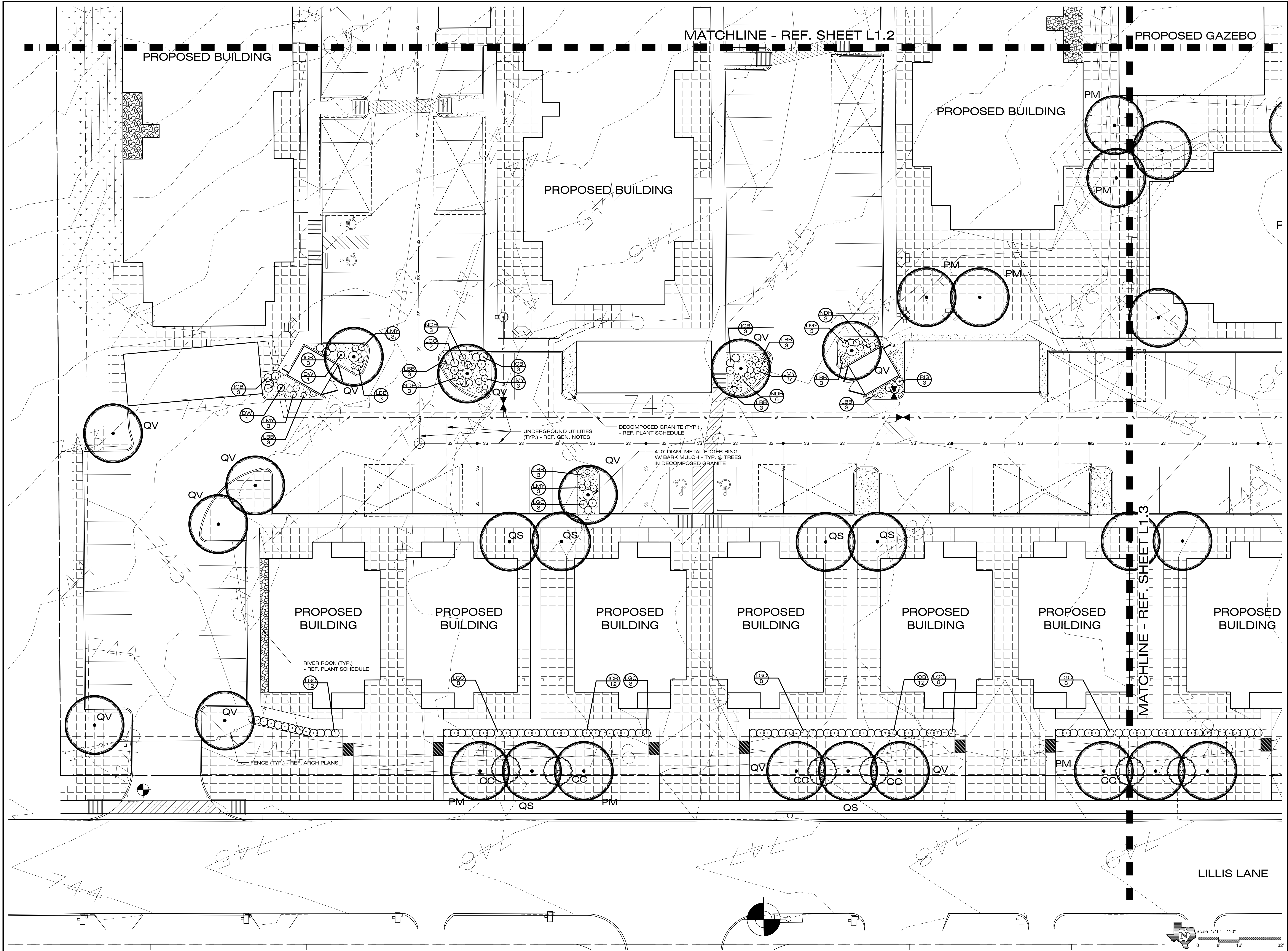
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LANDSCAPE
PLANTING PLAN**

Sheet Number:

L1.4

Issue Date:
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LILLIS LANE

Scale: 1/16" = 1'-0"

PRESSURE REQUIREMENT CALCULATIONS @ ZONE No. 25	
DESIGN STATISTICS FOR CALCULATIONS	
Total Zone Flow:	43.7 g.p.m.
Electric Valve Size:	1.5"
Static Pressure Less 10% (static @ 65 psi):	58.5 p.s.i.
ACCUMULATIVE LOSSES FROM CITY MAIN TO FURTHEST HEAD	
Sprinkler head requirement:	40 p.s.i.
Zone Pipe/Fitting Loss:	1.8 p.s.i.
1.5" Electric Valve Loss:	1.7 p.s.i.
Elevation Net Loss (- 6 FT.):	(2.6 p.s.i.)
System Mainline Loss (3" Sch-40 Loop Main):	.60 p.s.i.
Backflow Preventer Loss (2"):	10.5 p.s.i.
Water Meter Loss (1.5"):	3.9 p.s.i.
Master Electric Valve Loss (2"):	.50 p.s.i.
Type K Copper Service Loss:	
Total Net Loss:	16.40 p.s.i.
Design Pressure:	56.40 p.s.i.
Notes: System requires a minimum of 53 psi static pressure for system to operate properly. Irrigation Contractor shall conduct on site pressure test to verify site pressure prior to starting work. Contractor shall notify Owner's Representative of pressure deficiencies or any other on site problems that may alter the effectiveness of the system. Pipe has been size to insure that velocity does not exceed 5 FPS. do not change pipe size in the field without consulting system designer.	

4 CRITICAL LOSS CHART

TYPICAL WEEKLY SCHEDULE BASED ON PRECIPITATION RATE						
Precipitation Rate (in/hr)	Water Desired (in/wk)	Time/Cycle (min)	No. of Zones	Total Time * (Min. Hrs.)		
Turf Rotor Zone .64	.80	75.0				
MP Rotator Spray .44	.80	107.0	23	2461	41.0	
Turf Drip Zones .85	.80	60.0				
Drip Zones .55	.80	88.0	4	352	5.8	
Tree Bubblers 3.87	.80	12.0	5	60	1.0	
Total System Hours of Operation Per Week				47.8		

* IT WILL BE NECESSARY TO WATER MULTIPLE ZONES AT ONE TIME TO MEET WATERING WINDOW. A TYPICAL SCHEDULE WOULD ALLOW WATERING TO OCCUR TWO TIMES PER WEEK. TOTAL WATERING TIME WOULD BE DIVIDED BY THE NUMBER OF WATERING DAYS. THIS SCHEDULE IS DESIGNED FOR SUMMER WATER USAGE AND ESTABLISHMENT OF NEW PLANTING.

3 VALVE SCHEDULE

CONSTRUCTION NOTES:

- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO UNCOVER WORK AS REQUIRED FOR APPROVAL AT THE COST OF THE CONTRACTOR. IRRIGATION CONTRACTOR IS TO INFORM OWNER'S REPRESENTATIVE OF THE START DATE OF WORK.
- THE IRRIGATION CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. IRRIGATION CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WITHOUT VERIFYING ACTUAL ON-SITE WATER PRESSURE FROM THE SOURCE. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH IRRIGATION INSTALLATION.
- DUE TO SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS SLEEVES, ETC., WHICH MAY BE REQUIRED. IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND WITHIN PROPERTY LINES.
- DURING INSTALLATION IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO COORDINATE PIPING WITH THE LANDSCAPE SUBCONTRACTOR TO AVOID CONFLICT WITH PROPOSED PLANTING. IT WILL BE THE RESPONSIBILITY OF THE IRRIGATION SUBCONTRACTOR TO MOVE PIPING TO ALLOW PROPER PLACEMENT OF PLANT MATERIAL. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- NO MACHINE TRENCHING IS TO BE DONE WITHIN THE DRIPLINE OF EXISTING TREES. TRENCHING IS TO BE DONE BY HAND, AIR-SPADE OR BY TUNNELING UNDER ROOT SYSTEM BY METHOD APPROVED BY LANDSCAPE ARCHITECT. PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND EXISTING TREES AS POSSIBLE TO AVOID DAMAGE TO THE ROOT SYSTEMS. DO NOT CUT ANY ROOT OVER 3/4" DIAMETER UNLESS APPROVAL FROM THE LANDSCAPE ARCHITECT IS FIRST OBTAINED. ANY CUTS MADE SHALL BE CLEAN AND WITHOUT FRAYED ENDS.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES WHEREVER PIPING OR CONDUIT PASSES, UNDER ALL PAVING, THROUGH WALLS, ETC. ALL SLEEVE LOCATIONS MAY NOT BE SHOWN ON PLAN, COORDINATE WITH ARCHITECTURAL AND CIVIL DRAWINGS. GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS AS REQUIRED. ALL SLEEVE AND CHASE LOCATIONS ARE NOT NOTED ON PLAN. ALL SLEEVES 4" OR LESS SHALL BE SCH-40 PVC, ALL SLEEVES 6" OR GREATER SHALL BE CLASS-200 PVC. ALL SLEEVES TO BE SIZED TWICE THE DIAMETER OF PIPE OR COMBINATION OF PIPES ENCLOSED WITHIN THE SLEEVE.
- CONFIRM STATIC WATER PRESSURE AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS LESS THAN STATED IN PRESSURE CALCULATIONS DO NOT PROCEED UNTIL DIRECTED SO BY THE LANDSCAPE ARCHITECT. IF ACTUAL SITE STATIC PRESSURE EXCEEDS DESIGN PRESSURE BY 15 P.S.I. IN ANY ZONE, A PRESSURE REDUCING VALVE SHALL BE INSTALLED. REFER TO DETAILS FOR MODEL.
- ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL VALVE. PRESSURE AT ANY POINT WITHIN A ZONE SHALL NOT VARY BY MORE THAN 10% FROM THE DESIGN SPRINKLER OPERATING PRESSURE. SEE SPECIFICATIONS FOR TESTING.
- THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN THE STATE OF TEXAS. CONTRACTOR MUST CONFORM TO ALL CODES AS STATED IN SECTION 344 OF THE TEXAS WATER CODE AS OUTLINED BY TCEQ.
- OBTAIN COVERAGE TEST APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL UNDESIGNATED END LATERAL PIPING SHALL BE 1/2" IN SPRAY ZONES AND 3/4" IN ROTOR ZONES.
- SPRINKLER HEAD SPACING SHALL NOT EXCEED 50% OF SPRAY DIAMETER BASED ON MANUFACTURER'S OPERATING SPECIFICATIONS. SPRINKLER HEAD SPACING SHALL BE DESIGNED FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE SPACED AS PER MANUFACTURER'S RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED SO THAT IRRIGATION IS NOT APPLIED TO VEHICULAR TRAFFIC LANES, OTHER PAVEMENT OR STRUCTURES.
- ALL ROTORS SHALL BE LOCATED 12" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE. ALL SPRAY HEADS SHALL BE LOCATED 6" FROM PAVEMENT, CURBS OR EDGE OF STRUCTURE.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN THE TURF AREAS WILL BE VALVED SEPARATELY FROM SHRUB AND/OR GROUND COVER AREAS. IT IS RECOMMENDED THAT SEASONAL COLOR AREAS BE WATERED SEPARATELY. UNDER NO CIRCUMSTANCES ARE ZONE TYPES TO BE COMBINED I.E. ROTARY HEADS WITH SPRAYS, TURF AREAS WITH PLANTING BEDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM STATIC PRESSURE ON SITE PRIOR TO STARTING WORK. REFER TO NOTES #9 AND #10.
- IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES CONTAINED IN THESE DOCUMENTS.
- UNSLEEVED PIPES MAY BE SHOWN UNDER PAVEMENT FOR GRAPHIC CLARITY. INSTALL PIPES IN ADJACENT SLEEVES WITHIN LANDSCAPE AREAS.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER WITH A HARDWIRE CONNECTION APPROVED AND INSTALLED BY A LICENSED ELECTRICIAN.
- SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- SERVICEABLE CHECK VALVES SHALL BE REQUIRED ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
- ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM, INCLUDING THE CAPABILITY OF BEING SET TO WATER EVERY FIVE DAYS. ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF DEVICE.
- ALL IRRIGATION WIRES SHALL BE UL LISTED FOR DIRECT UNDERGROUND BURIAL AND SHALL BE SIZED PER THE MANUFACTURER'S RECOMMENDATIONS. 3M-DBY WATERPROOF CONNECTORS TO BE USED ON ALL WIRE CONNECTIONS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.
- ALL IRRIGATION HEADS SHALL BE ADJUSTED TO MINIMIZE OVER-SPRAY ONTO ALL IMPERVIOUS SURFACES.
- ALL PIPE CONNECTIONS SHALL BE PRIMED WITH AN APPROVED COLOR PRIMER BEFORE BEING CHEMICAL WELDED.
- AFTER AWARD OF CONTRACT AND BEFORE ANY IRRIGATION SYSTEM MATERIALS ARE ORDERED FROM SUPPLIERS OR DELIVERED TO THE JOB SITE, SUBMIT TO THE OWNER A COMPLETE LIST OF ALL IRRIGATION SYSTEM MATERIALS, OR PROCESSES PROPOSED TO BE FURNISHED AND INSTALLED AS PART OF THIS CONTRACT. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE WILL ALLOW NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN ACCEPTANCE. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- ALL TEMPORARY IRRIGATION SHALL BE DESIGNED PRIOR TO INSTALLATION BY A STATE OF TEXAS LICENSED IRRIGATOR. THE DESIGN IS TO BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCING INSTALLATION OF THE TEMPORARY SYSTEM.
- IRRIGATION CLOSEOUT DOCUMENTS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
 - CHART CONTAINING ZONE NUMBER, PRECIPITATION RATE AND GPM.
 - LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE.

2 NOTES

- W DEDICATED 1.5" IRRIGATION WATER METER.
 - R REDUCED PRESSURE BACKFLOW DEVICE, 2" FBECO 860, INSTALLED PER LOCAL CODES.
 - MV 2" MASTER VALVE, SUPERIOR 3200-200 NORMALLY CLOSED VALVE
 - FS DATA INDUSTRIAL FLOW SENSOR IN A TEE THE SIZE OF THE MAINLINE
 - MP ROTATOR NOZZLE 90"-210"; SIZE AS SPECIFIED ON PLAN.
 - MP ROTATOR NOZZLE 210"-270"; SIZE AS SPECIFIED ON PLAN.
 - MP ROTATOR NOZZLE 360"; SIZE AS SPECIFIED ON PLAN.
 - MP ROTATOR; M35-M3500, M3-MP 3000, M2-MP 2000, M1-MP 1000, M8-M800SR, MC-MP CORNER, MR,MS,ML- MP SIDESTRIPS AND END STRIPS
 - NOTE: ALL MP ROTATOR SPRAY HEADS ARE TO BE HUNTER PROS-06-PRS40-CV SPRAY BODY; PROVIDE CHECK VALVE AT LOW HEAD
 - INSTALL TWO ROWS OF DRIP LINE EVENLY SPACED. USE TLHCVXR7-18. IF BED AREA EXCEEDS 36", INSTALL THREE ROWS EVENLY SPACED. INSTALL STAPLES @ MAX. 3' O.C TO SECURE
 - NETAFIM DRIP CONTROL ZONE VALVE - REFERENCE DETAILS
 - REMOTE CONTROL VALVE, SUPERIOR 3200-200
 - HUNTER HQ-33-DRC QUICK COUPLING VALVE WITH HK-33 KEY
 - MANUAL VALVE- SIZE OF MAINLINE
 - ZONE IDENTIFICATION
 - ZONE SIZE IN GALLONS PER MINUTE
 - VALVE SIZE THIS ZONE
 - ZONE IDENTIFICATION
 - ZONE SIZE IN GALLONS PER MINUTE
 - HATCH PATTERN INDICATES BED/TURF AREAS TO BE INCLUDED THIS ZONE
 - VALVE SIZE THIS ZONE
 - DRIPLINE: NETAFIM TLHCVXR7-18 FOR SURFACE PLANTING BEDS, ROWS SPACED AT 18 INCHES
 - NETAFIM TLHCVXR7-12 FOR SURFACE PLANTING BEDS WITH SLOPES GREATER THAN 3:1
 - NETAFIM TLHCVXR5-12 FOR SUBSURFACE TURF, ROWS SPACED AT 12 INCHES
 - DRIP SUPPLY LINE, SCH 40 PVC, SIZE PER PLAN.
 - TREE BUBBLER ASSEMBLY ON 6" POP UP
 - CONTROLLER - HUNTER A2C CONTROLLER, FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH OWNER'S REPRESENTATIVE.
 - WEATHER SENSOR - HUNTER WIRELESS SOLAR-SYNC WEATHER SENSOR. FINAL LOCATION IS TO BE DETERMINED AFTER CONSULTING WITH OWNER'S REPRESENTATIVE.
 - MAIN LINE - USE SCH-40 PVC PIPE, SIZE AS INDICATED ON PLANS
 - LATERAL LINE - USE CLASS 315 ON 1/2" PIPE AND CLASS 200 IPS PVC ON 3/4" AND LARGER PIPE. DO NOT DEVIATE ON SIZING WITHOUT CONSULTING WITH PROJECT DESIGNER.
 - SLEEVE - USE TWO (2) SIZES LARGER THAN SPRINKLER PIPE DESIGNATED FOR CROSSING PAVING ON ALL LATERAL LINES. USE SCH-40 PVC PIPE. VALVE WIRING MAY BE RUN IN THE SAME SLEEVES.
- NOTE: REFER TO SHEET LI 2.1 TO LI 2.3 FOR DETAILS

FIELD LOCATE BY STAKING. THE CONTROLLER, WATER METER, BACKFLOW DEVICE, MASTER VALVE AND FLOW SENSOR FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

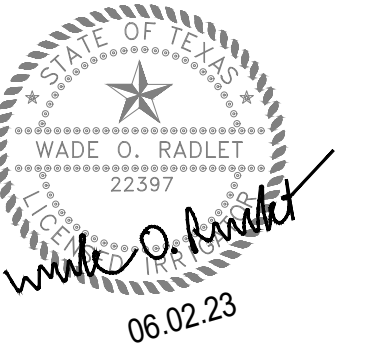
1 LEGEND

STATEMENT OF IRRIGATION DESIGN STANDARDS CONFORMITY:
This plan is complete and conforms to the design and installation parameters of the irrigation design and equipment standards set out by the City of Denison, Texas and TCEQ (Texas Commission on Environmental Quality).

Wade O. Radlett TX LI # 22397

- SPECIAL NOTES:
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES AND WILL SECURE ALL REQUIRED PERMITS.
 - ALL WIRES, CONTROL VALVES, AND PRESSURIZED WATER SUPPLY LINES SHALL NOT BE LOCATED WITHIN THE EXISTING ROW OR OUTSIDE PROPERTY BOUNDARIES.

"Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ), MC-178, PO Box 13087, Austin, Texas 78711-3087 TCEQ's website is: www.tceq.state.tx.us"



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Drawn By: pra
Checked By: jr

Sheet Title:
IRRIGATION NOTES & LEGEND

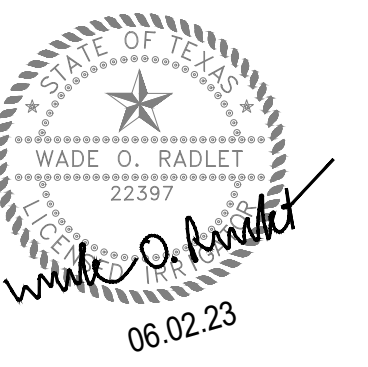
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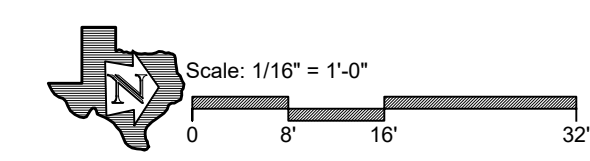
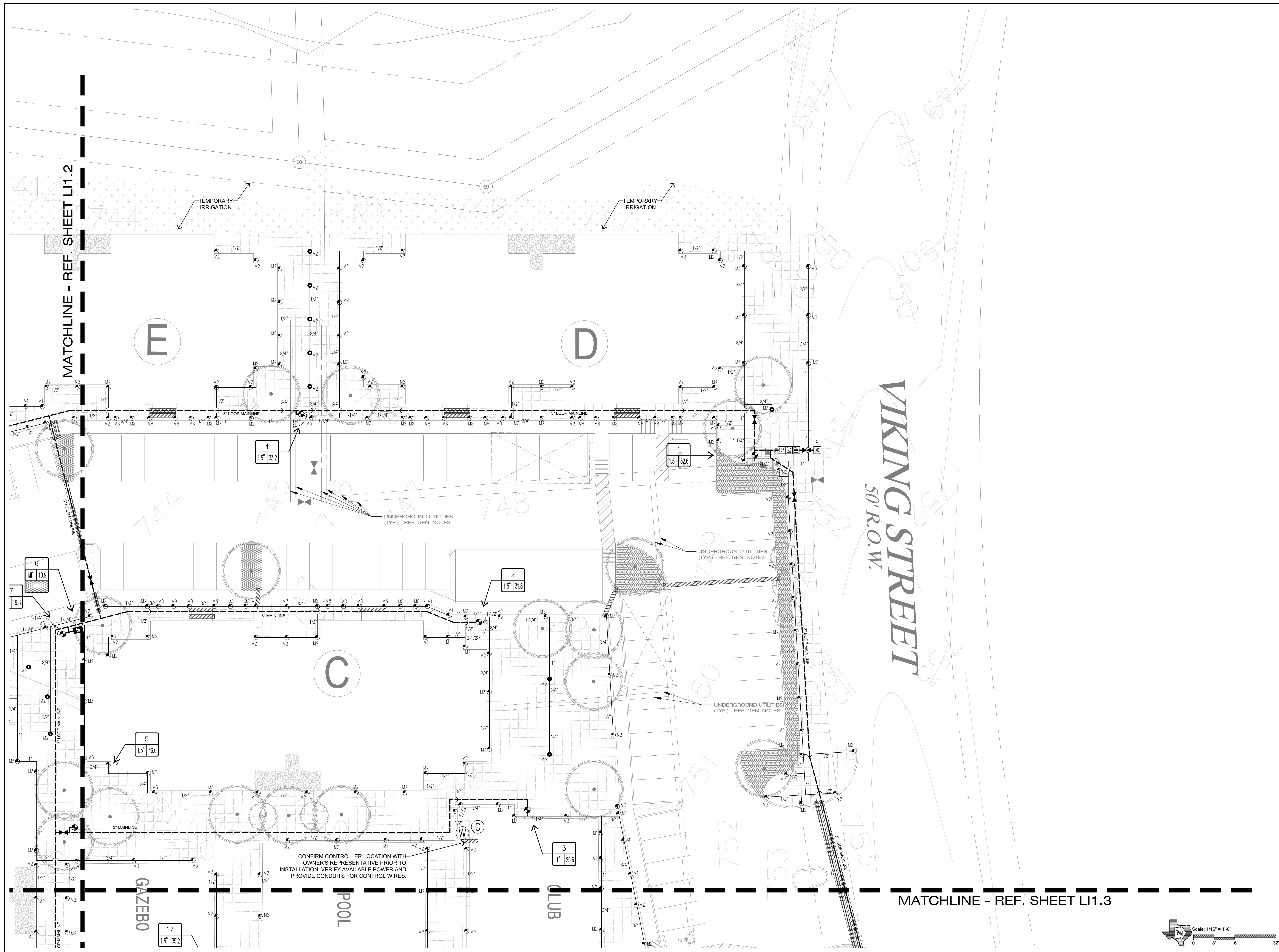
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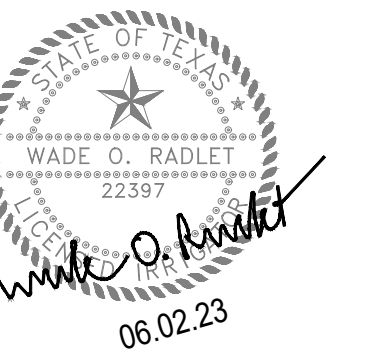
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IRRIGATION PLAN

Sheet Number:

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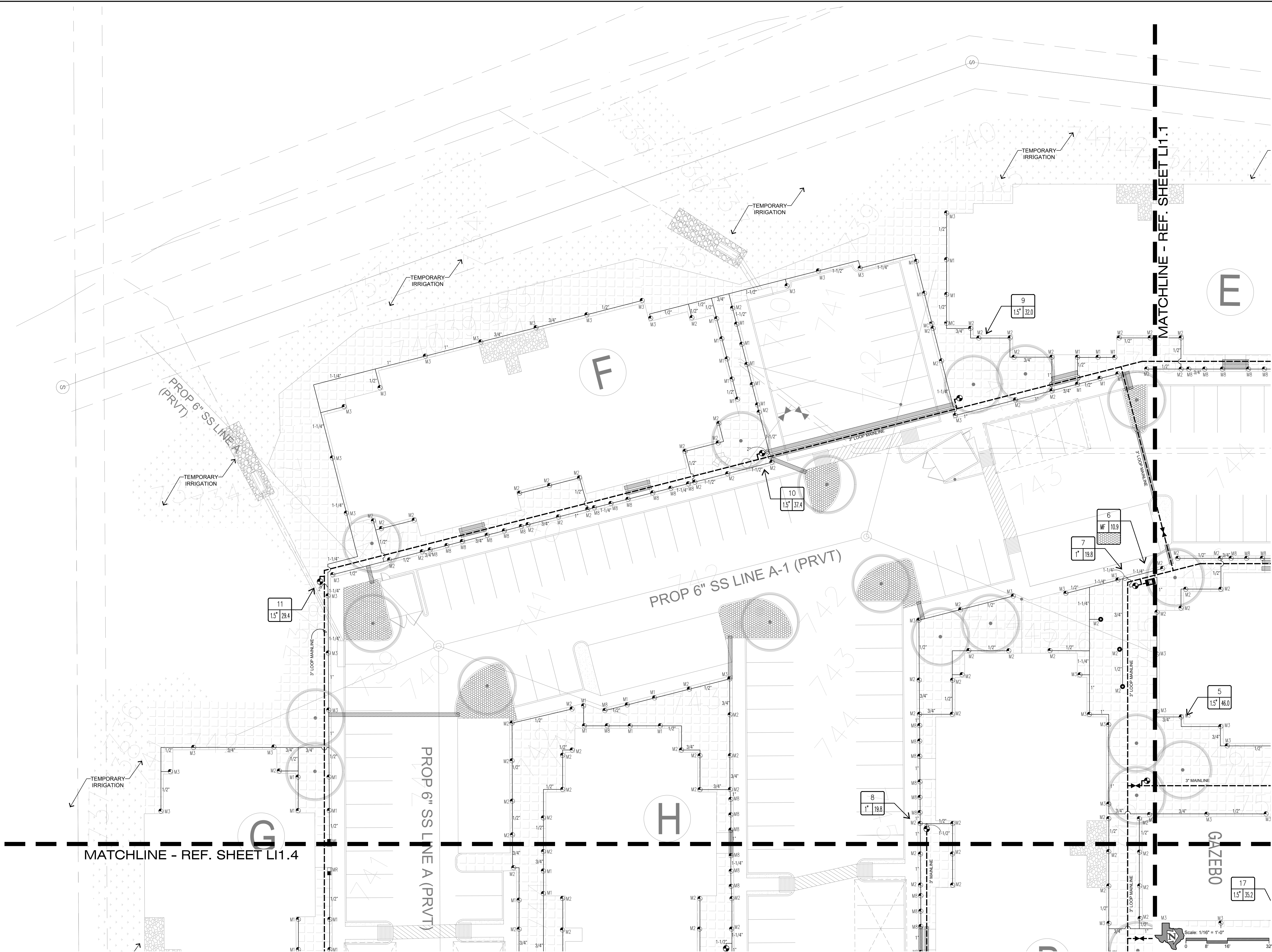
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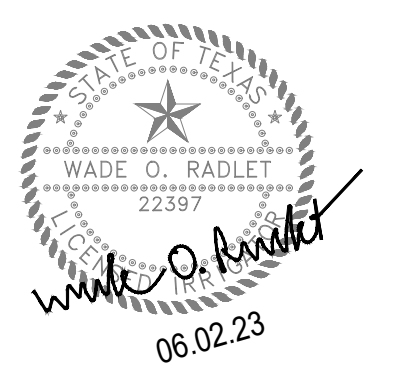
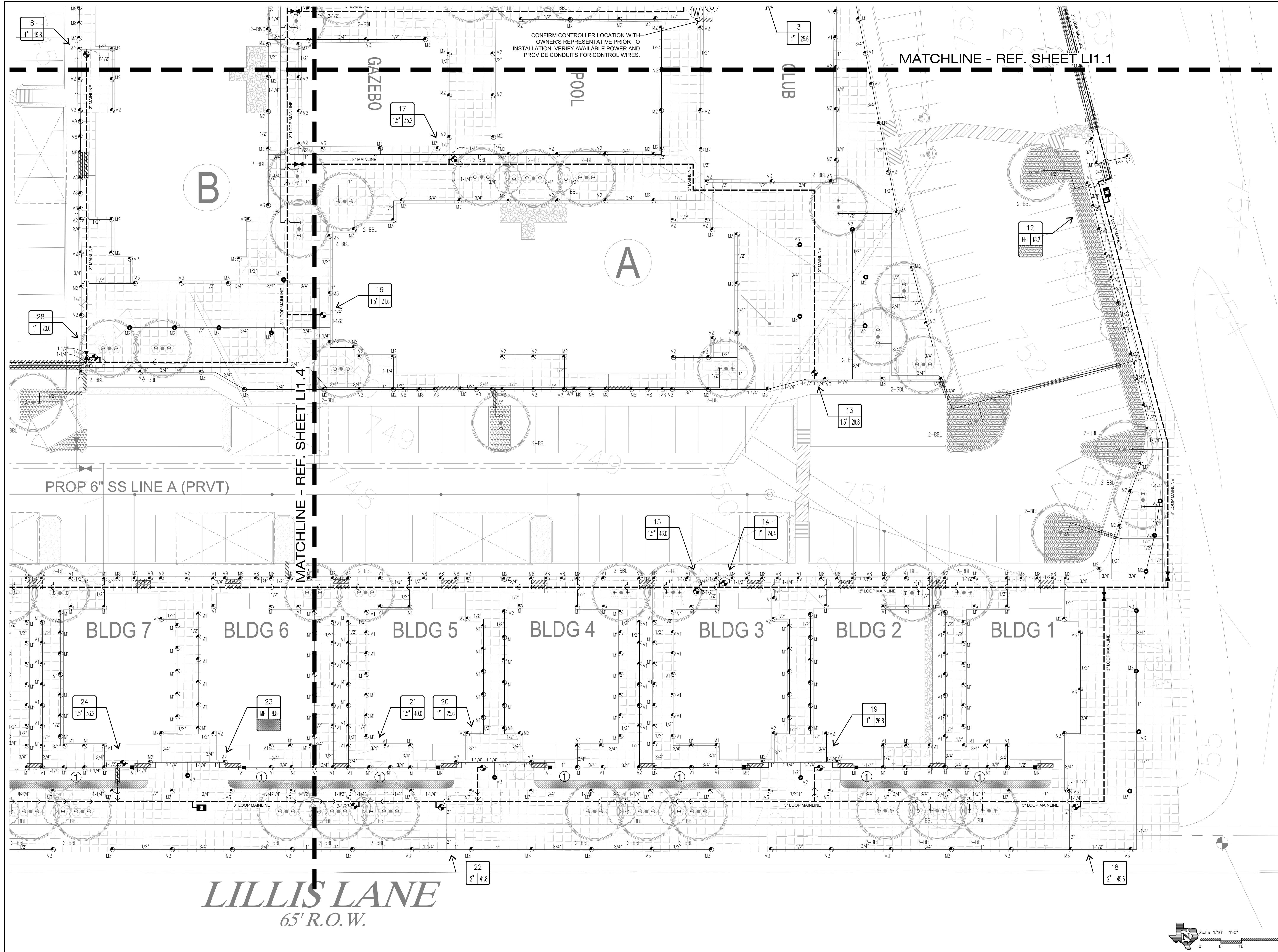
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IRRIGATION PLAN

Sheet Number:

L1.2

Issue Date:
June 02, 2023





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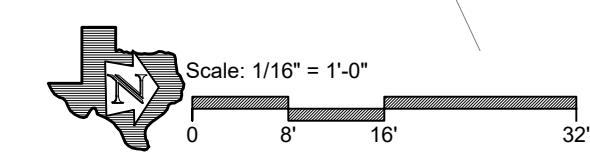
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Sheet Title:
IRRIGATION PLAN

Sheet Number:

L1.3

Issue Date:
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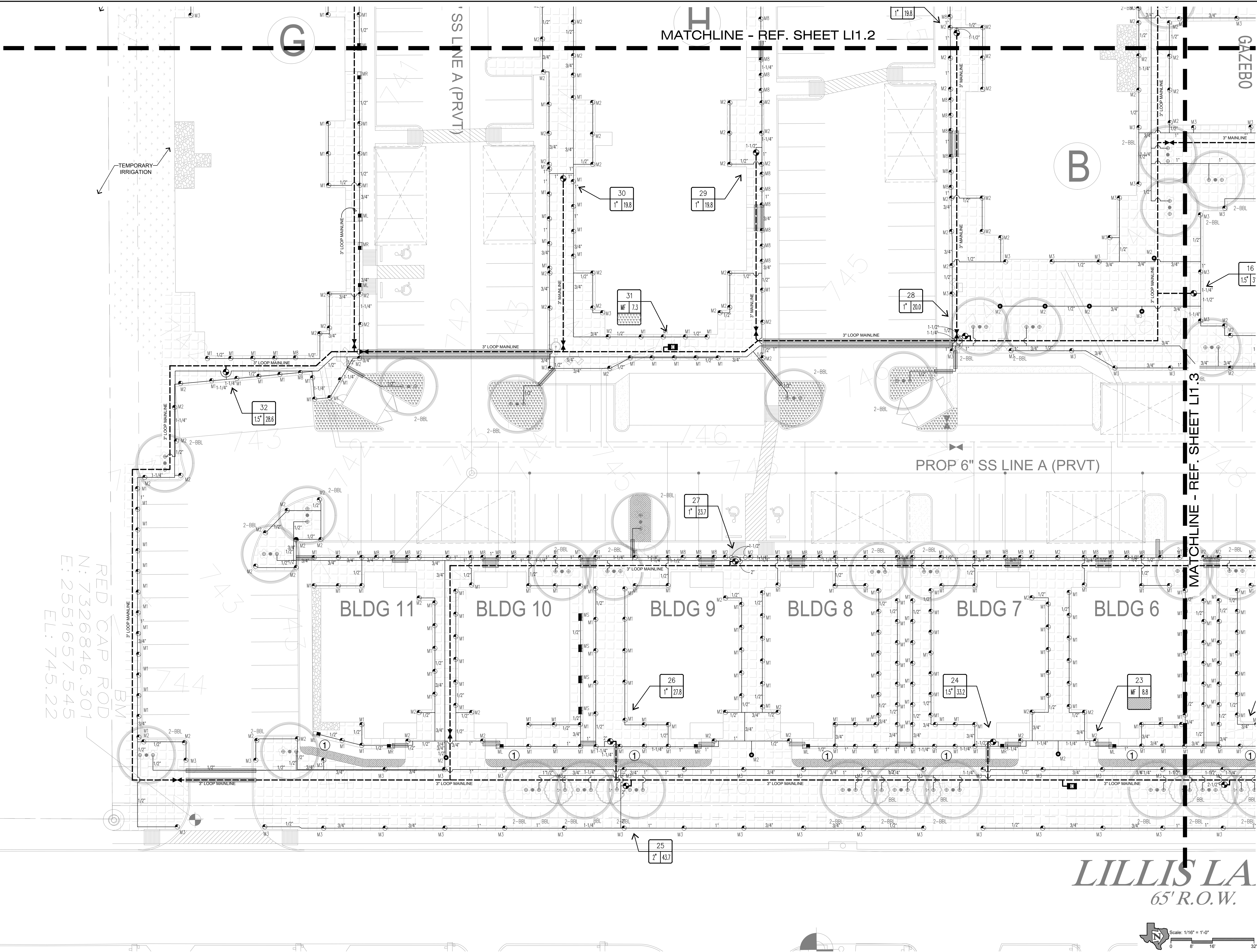
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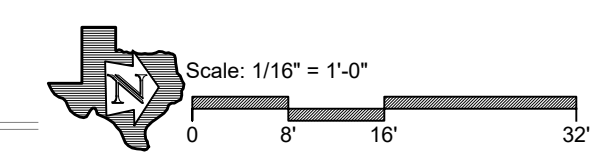
L1.4

Issue Date:
June 02, 2023



RED CAP ROD
N: 7326846.301
E: 2551657.545
EL: 745.22

LILLIS LA
65' R.O.W.





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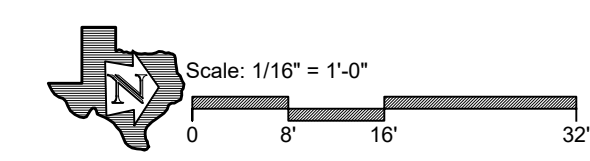
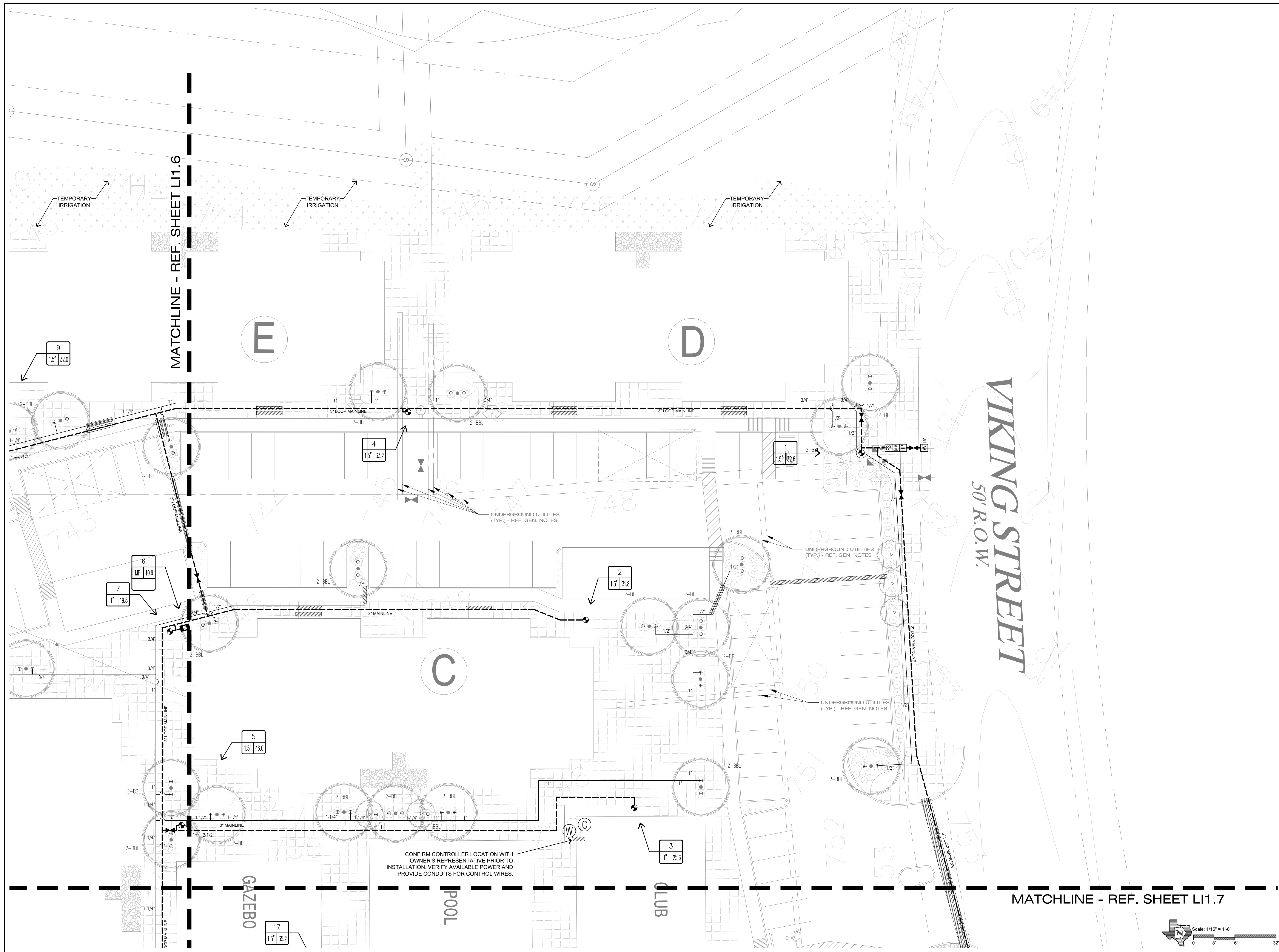
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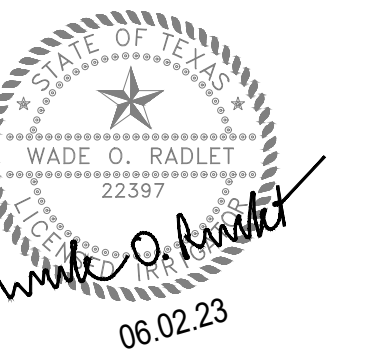
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**IRRIGATION
PLAN - TREE
BUBBLERS**

Sheet Number:

L1.5

Issue Date:
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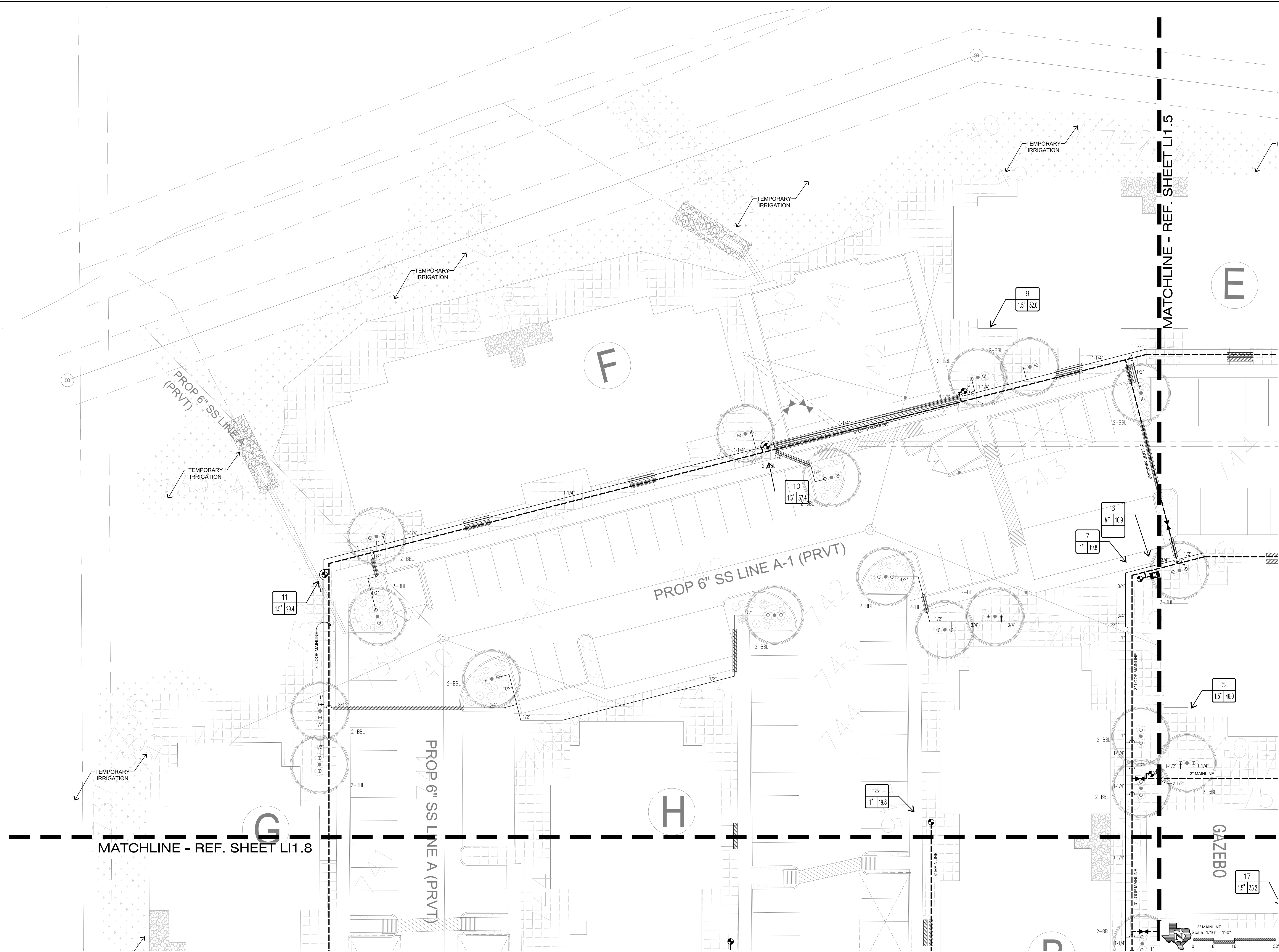
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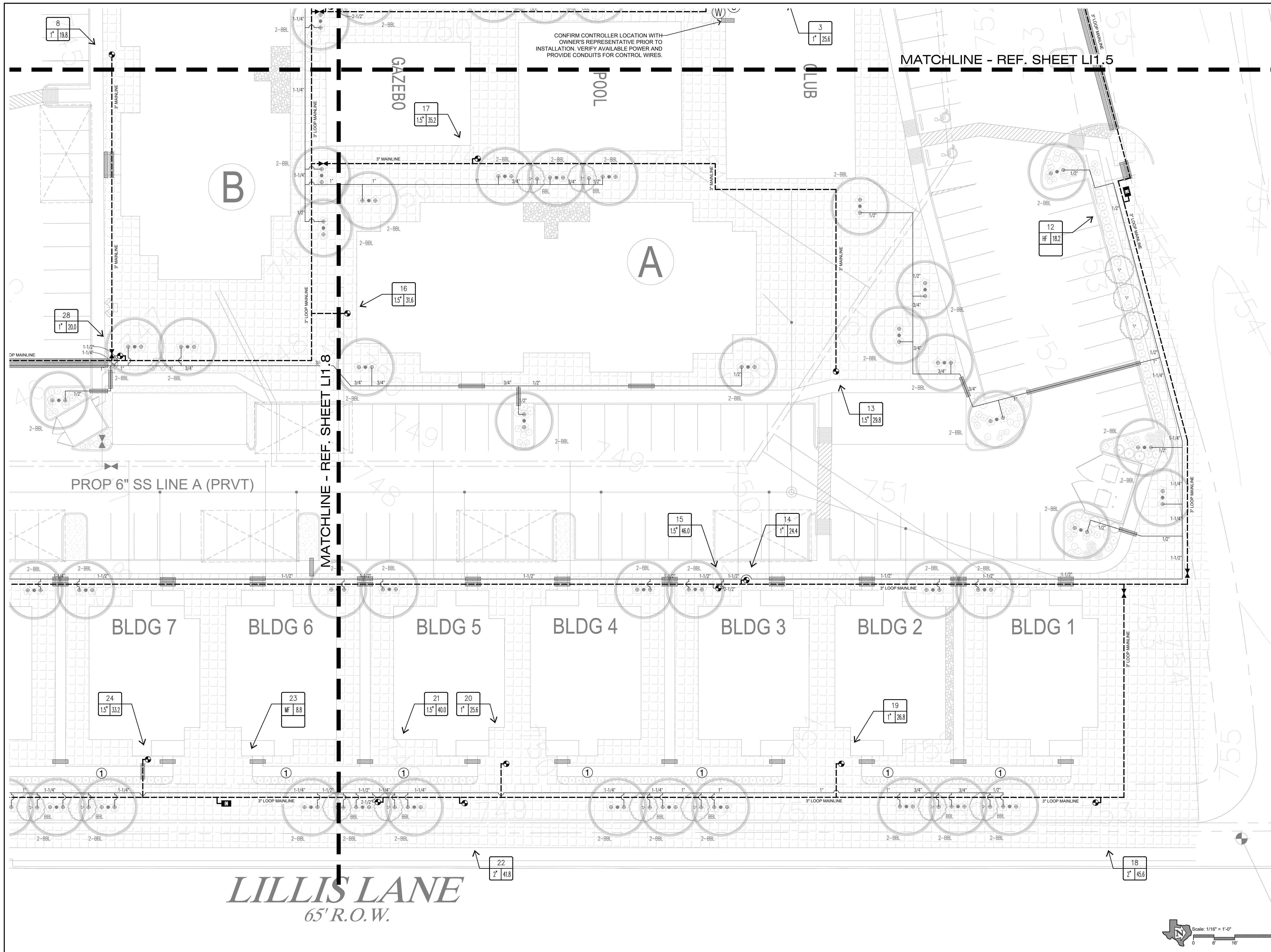
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 PLAN - TREE
 BUBBLERS**

Sheet Number:

L1.6

Issue Date:
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Sheet Title:
**IRRIGATION
 PLAN - TREE
 BUBBLERS**

Sheet Number:

L1.7

Issue Date:
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MATCHLINE - REF. SHEET L11.6

SS LINE A (PRVT)

H

B

GAZEBO

HORIZON
DESIGN AND DEVELOPMENT
PLANNING, LANDSCAPE ARCHITECTURE
DEVELOPMENT CONSULTING
14607 San Pedro Ave., Suite 200
San Antonio, Texas 78232
210.831.8564 jrobinson@horizondesign-ia.com



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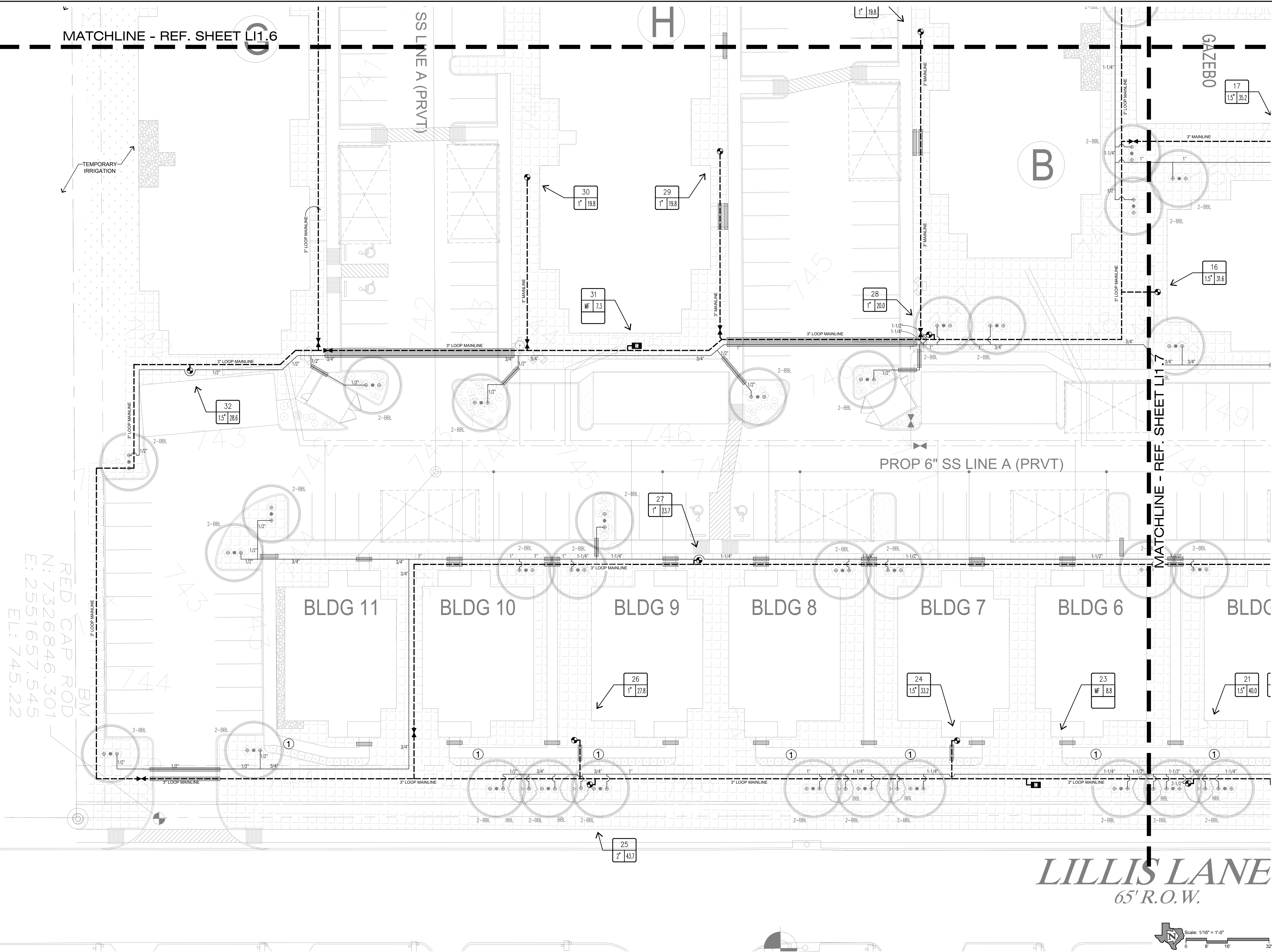
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**IRRIGATION
PLAN - TREE
BUBBLERS**

Sheet Number:

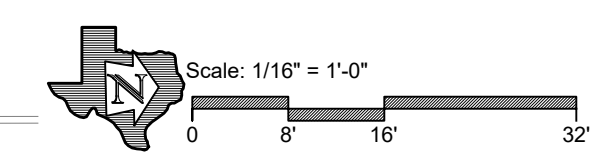
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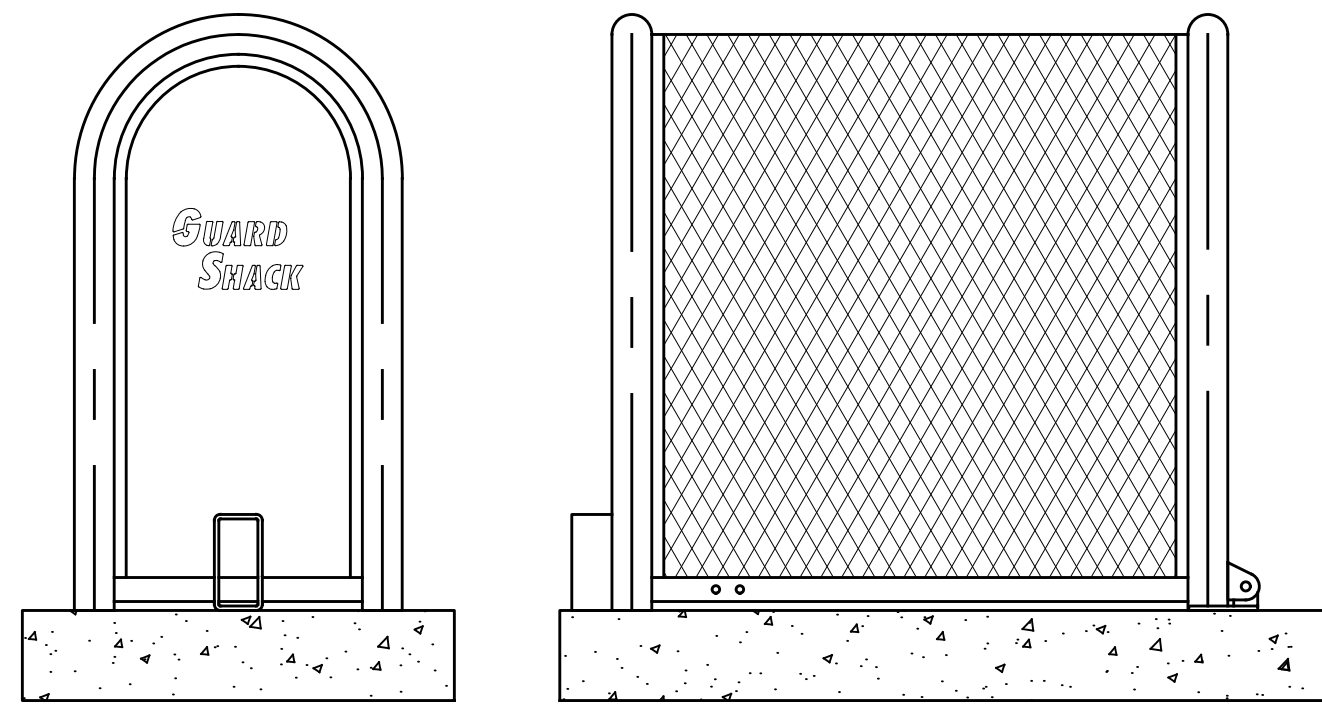
RED CAP ROD
N: 7326846.301
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EL: 745.22

LILLIS LANE
65' R.O.W.

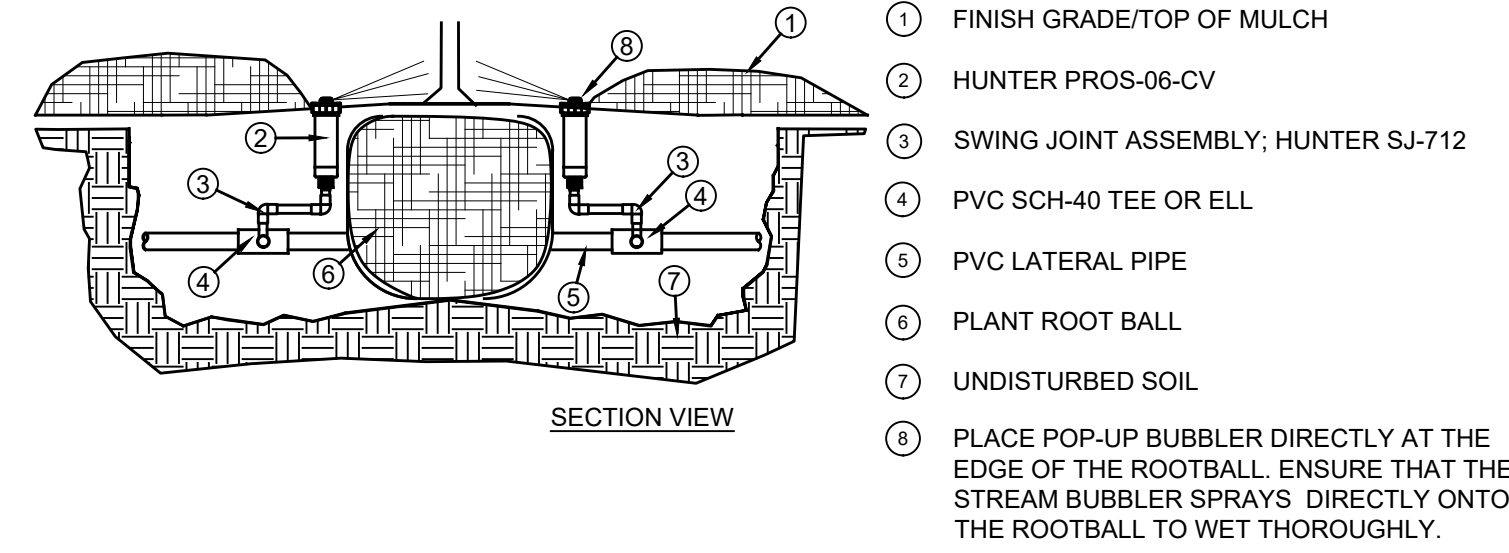




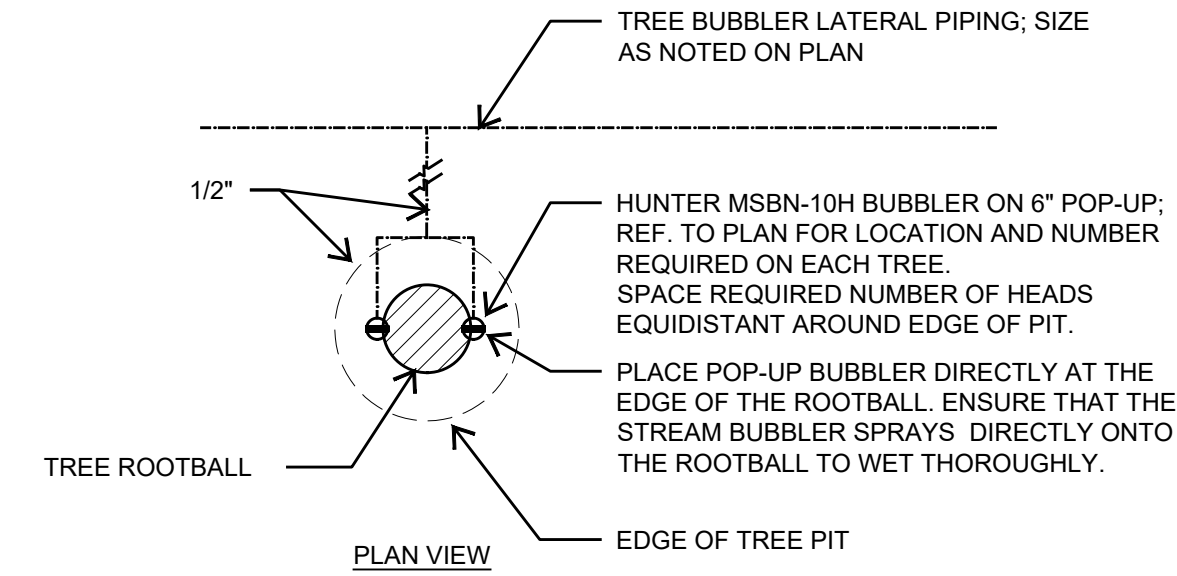
- GUARDSHACK™ GENERAL SPECIFICATIONS**
- All pipe shall be 1 1/2" schedule 40 A.S.T.M. A-53 Grade A- Electric Weld pipe.
 - Angle iron shall be 1" x 1" x 1/2" steel.
 - Stainless steel units shall be 1 1/2" schedule 10 A.S.T.M. A-312 304 S.S.
 - Expanded metal shall be 1/2" spacing x # 13 GA flattened diamond pattern steel.
 - All hinges shall have hidden/internal mounting points.
 - All stainless steel shall be sandblasted after fabrication to remove burrs, flashing and sharp edges.
 - There shall be no exposed ends of expanded metal on the outside of the enclosure.
 - Welding shall be a minimum of 1/4" long welds on 4" spacing.
 - One Lock Shield Bracket on hinged units shall be welded on end opposite hinges.
 - Hardware kits provided for mounting enclosures.
 - On 304 S.S. units, all hinges, exposed hardware, and brackets shall be 304 S.S.
 - All hardware shall be securely attached to enclosures. See HK-200 for hardware specifications.
 - All enclosures shall withstand a minimum of 200 lbs. per square foot without any permanent deflection or distortion.
 - 3/8" spacing between angle iron framework of enclosure and slab to prevent rusting. Only pipe ends to touch slab.
- STANDARD GUARDSHACK™ SIZES INTERNAL DIMENSIONS**
- | | | |
|--------|-----------------------|--------|
| GS - 3 | 10" W x 24" H x 40" L | HINGED |
| GS - 4 | 16" W x 30" H x 46" L | HINGED |



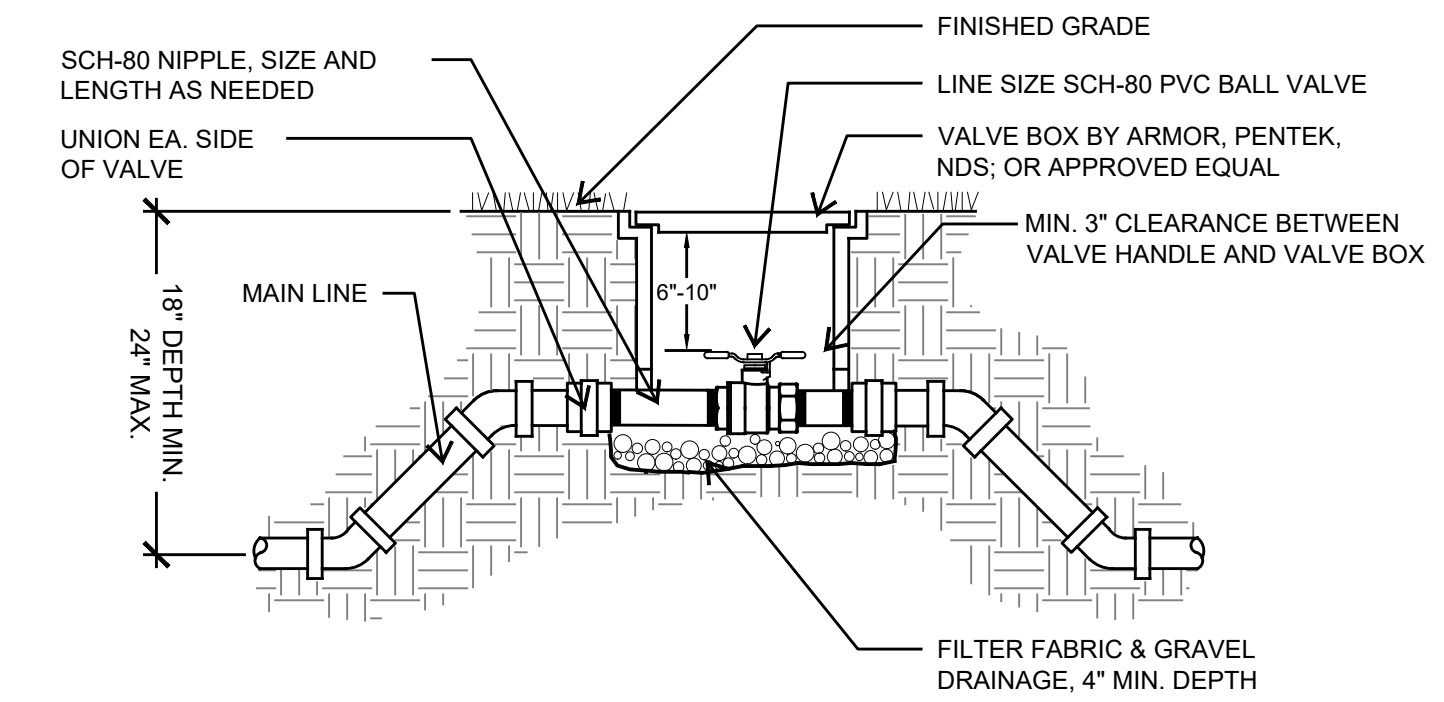
13 BACKFLOW SECURITY CAGE



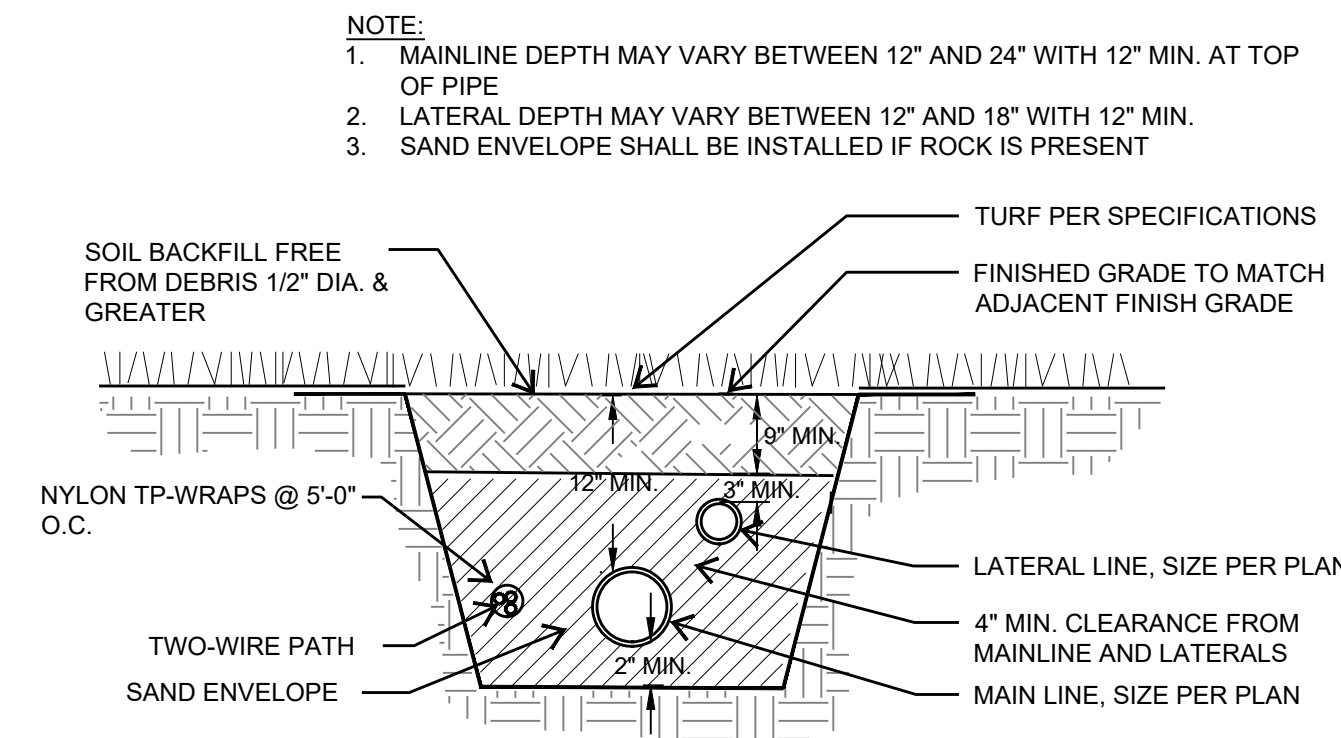
11 TREE BUBBLER ASSEMBLY- SECTION



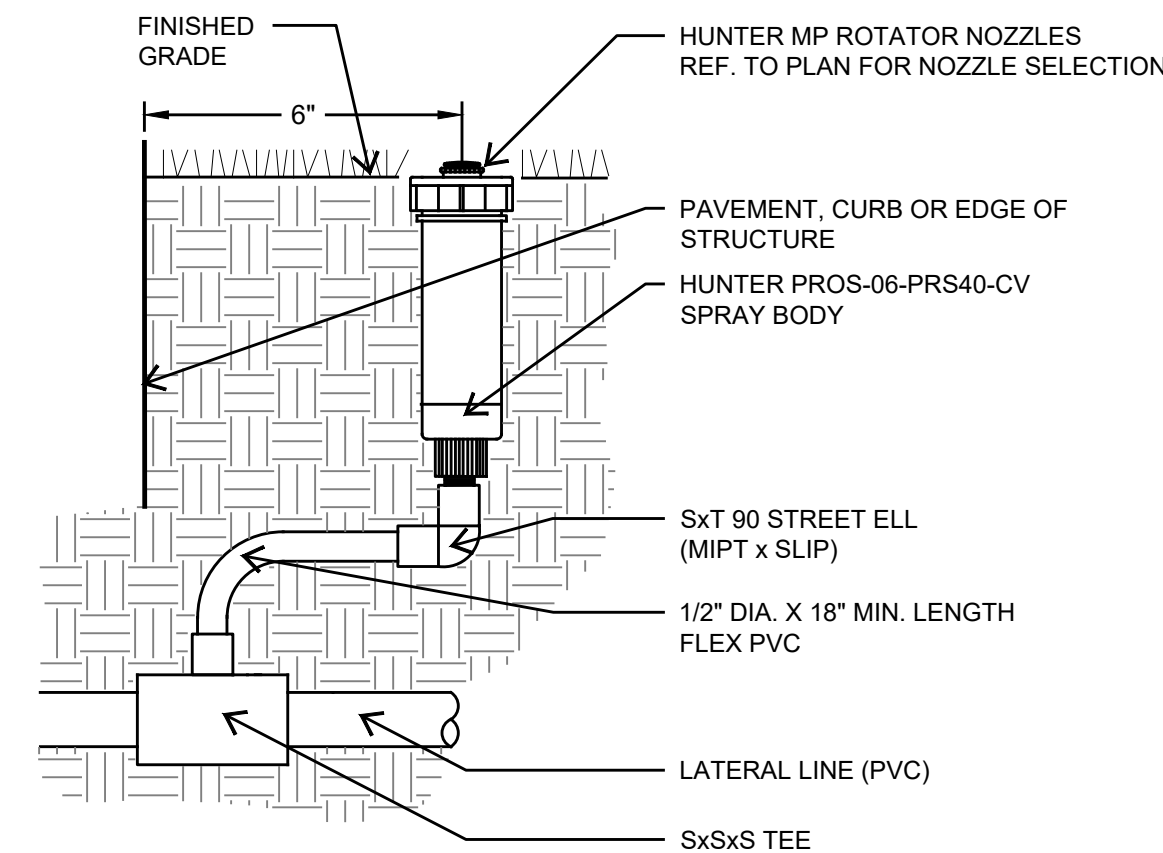
8 TREE BUBBLER ASSEMBLY- PLAN



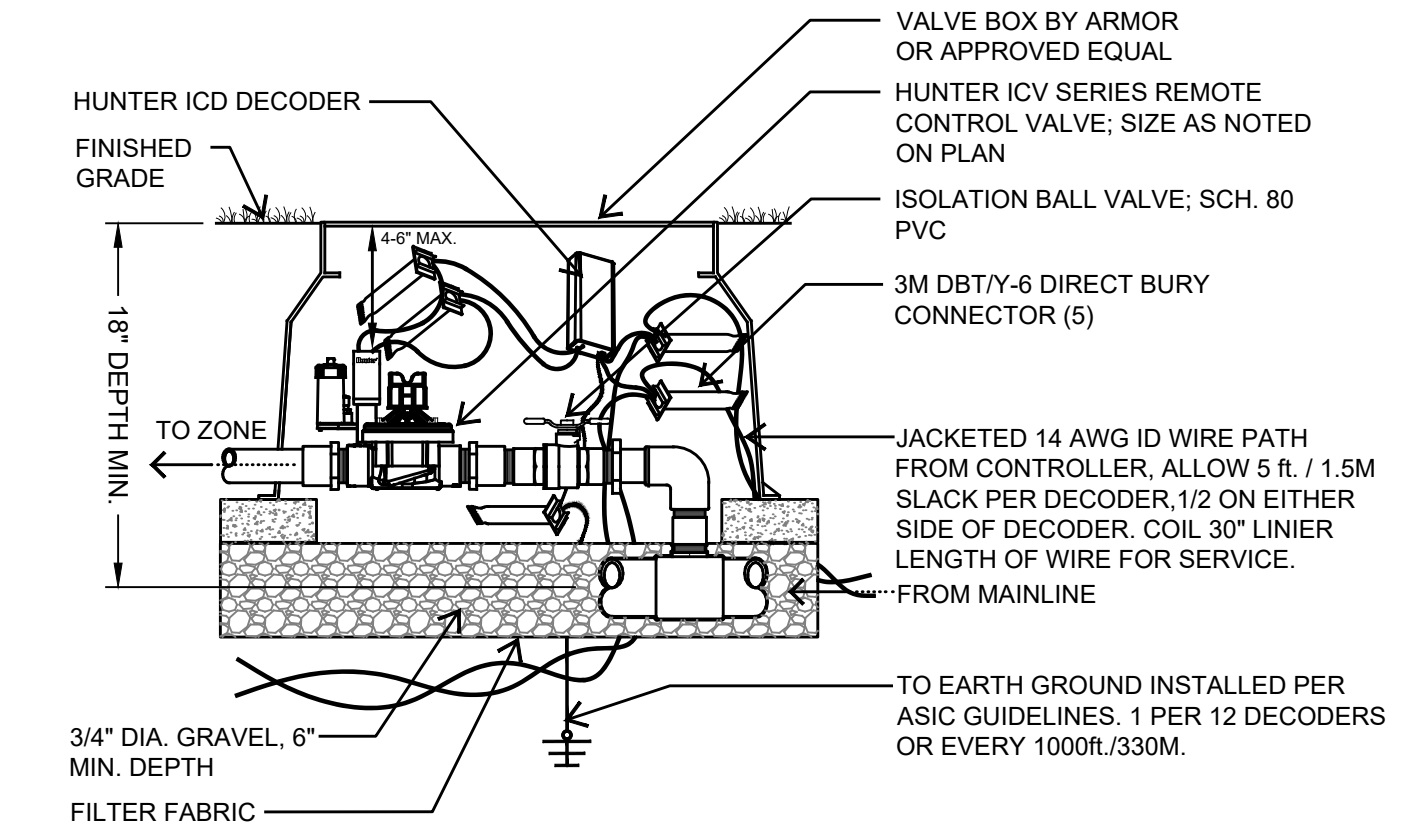
4 MANUAL ISOLATION VALVE



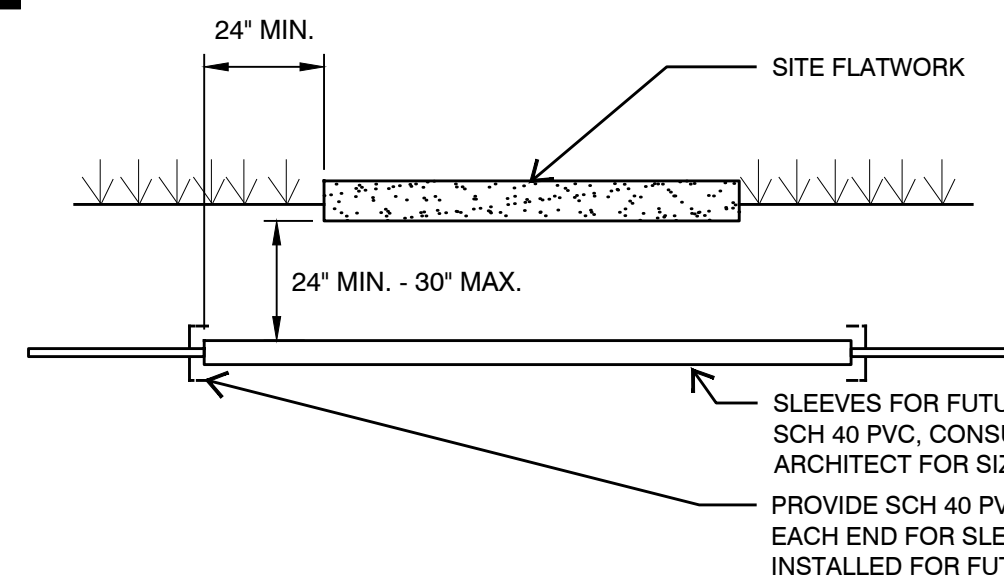
10 TRENCH PROFILE



7 MP ROTATOR POP UP

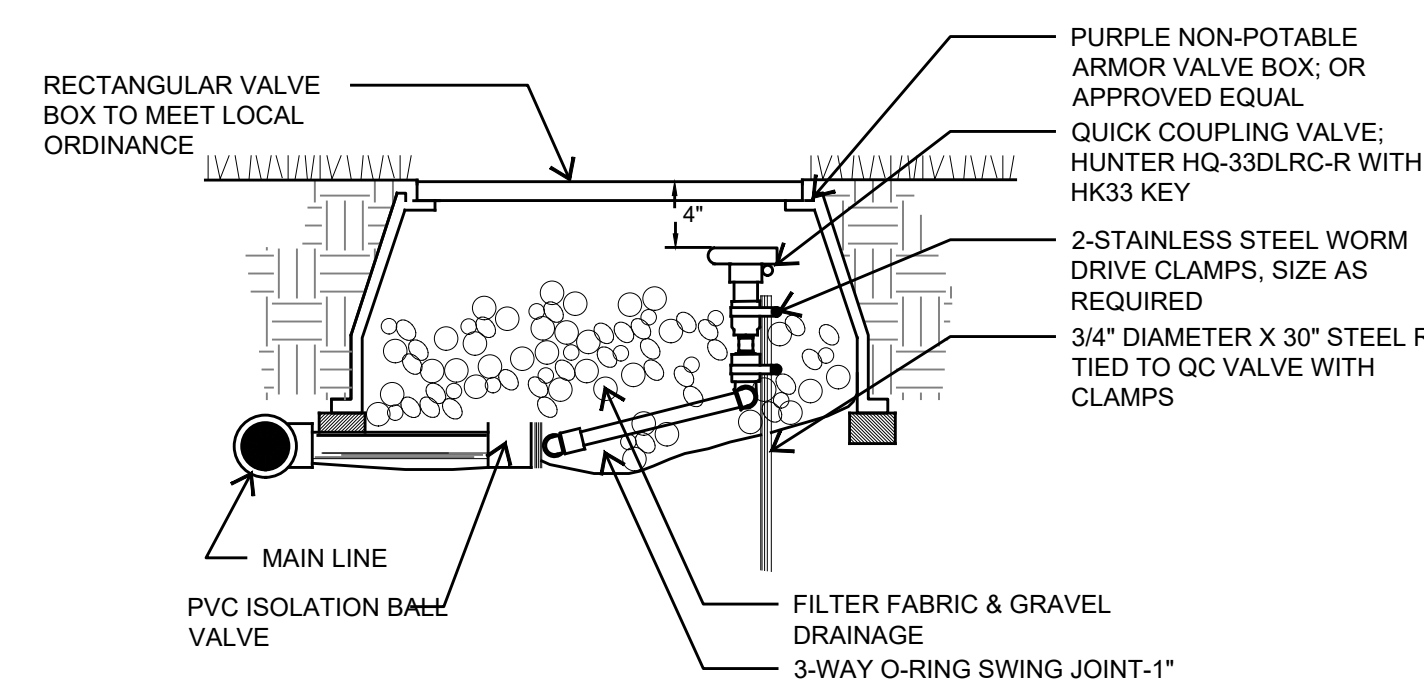


3 ZONE VALVE

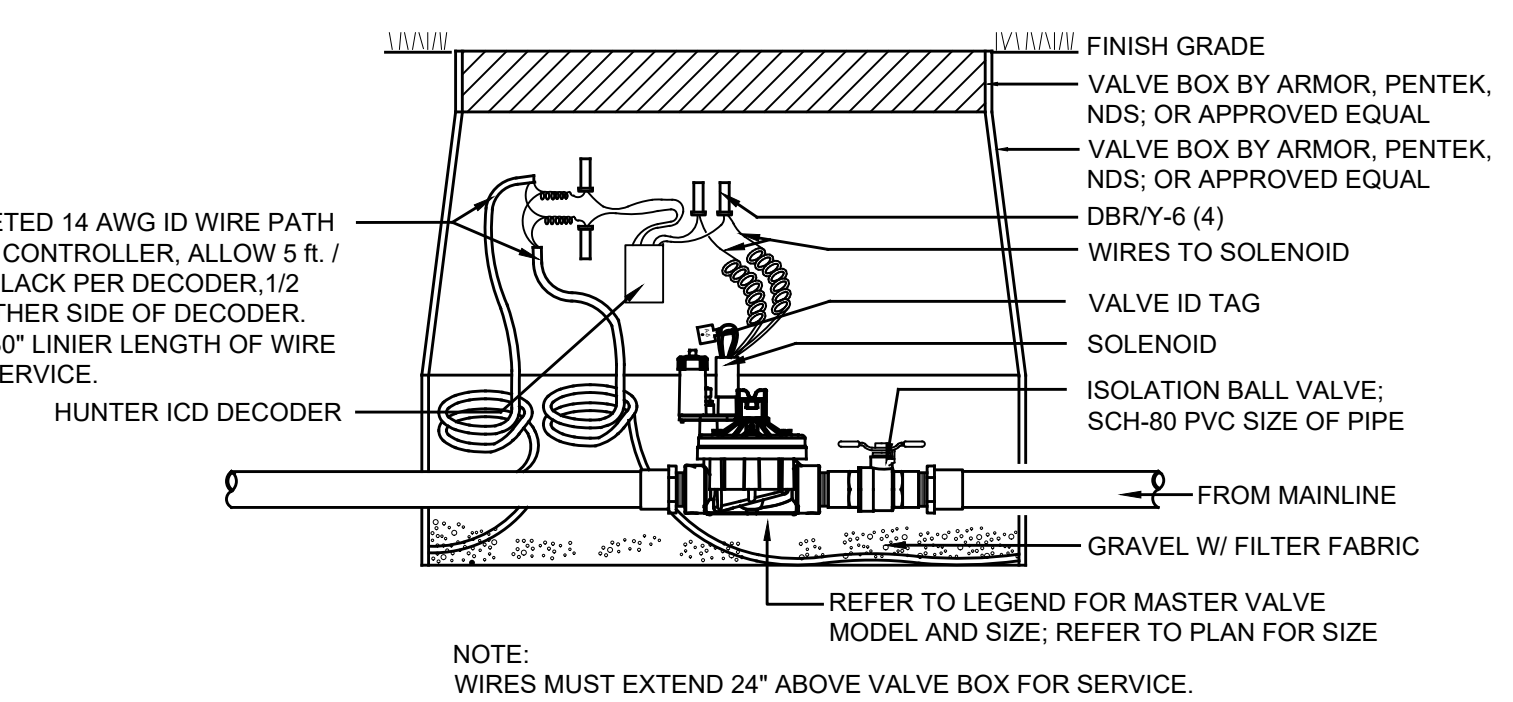


- IRRIGATION SLEEVE NOTES:**
- PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFER TO IRRIGATION SLEEVE PLAN FOR SIZE AND LOCATION.
 - SLEEVE ELEVATION SHALL BE TWENTY-FOUR (24) INCHES BELOW TOP OF PAVEMENT.
 - SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND THE EDGE OF PAVEMENT AND BE STAKED FOR LOCATION.
 - ALL SLEEVES 4" OR LESS, SHALL BE SCH-40 PVC. ALL SLEEVES GREATER THAN 4" SHALL BE CLASS-200 SDR 21. SLEEVES SHALL BE CAPPED ON BOTH ENDS AND SIZED A MIN. OF TWO (2) TIMES THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
 - SLEEVE LOCATIONS SHALL BE MARKED ON THE TOP OF CURB WITH A SAW-CUT OF TWO PARALLEL LINES THAT ARE TWO (2) INCHES LONG AND ONE (1) INCH APART ON BOTH SIDES OF THE STREET OR CROSSING.
 - THE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF SLEEVES SHALL ALSO BE RESPONSIBLE TO LOCATE ANY SLEEVE WHICH CANNOT BE FOUND DURING THE INSTALLATION OF THE IRRIGATION SYSTEM.

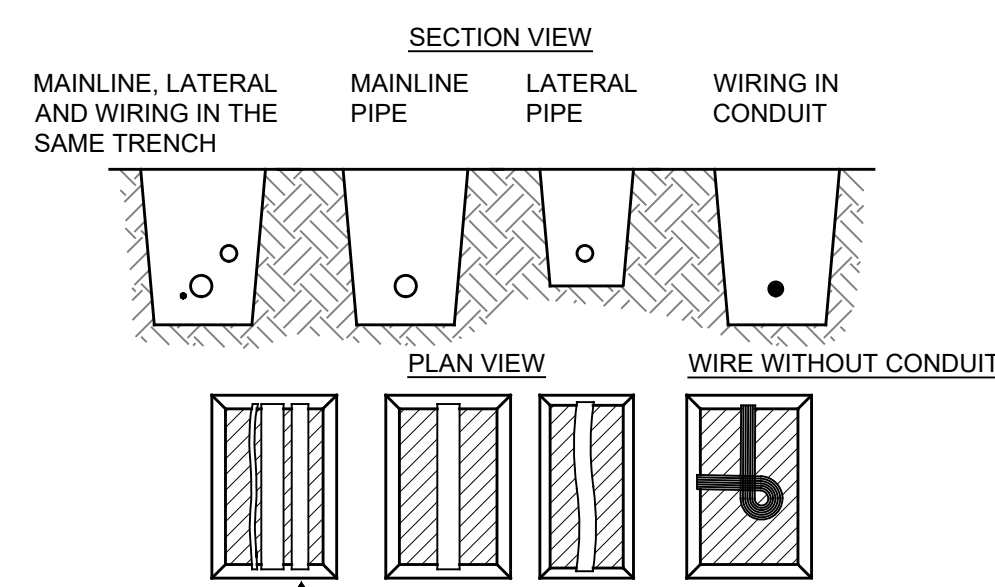
9 IRRIGATION SLEEVE



6 QUICK COUPLER VALVE

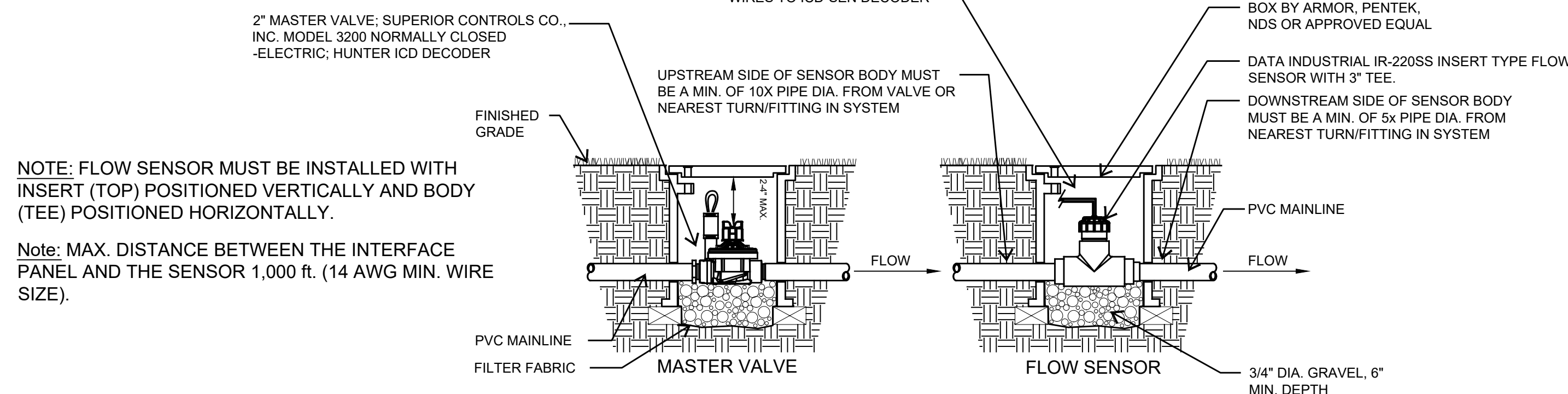


2 MASTER VALVE

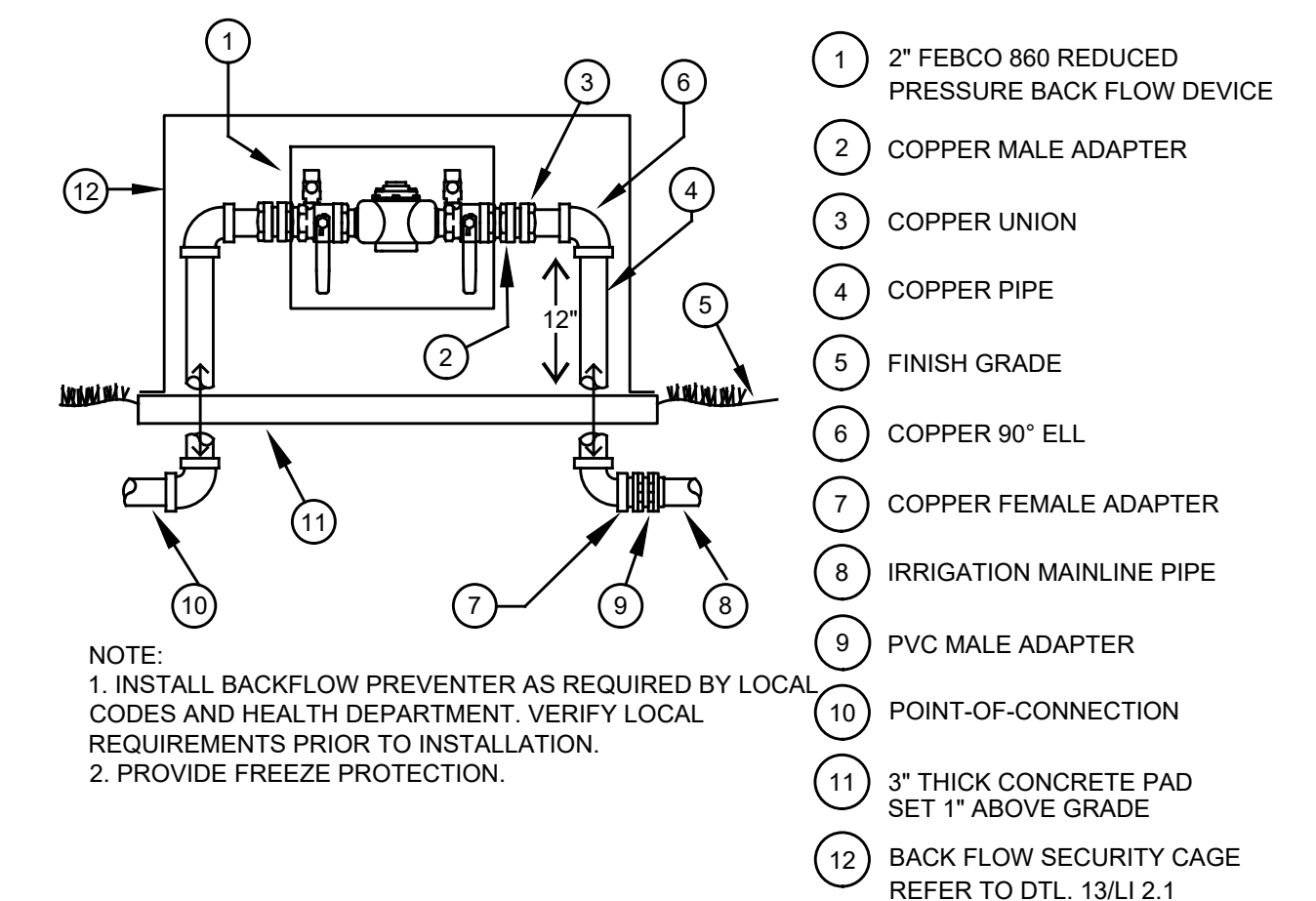


- SECTION VIEW**
- MAINLINE, LATERAL AND WIRING IN THE SAME TRENCH
- PLAN VIEW**
- WIRING IN CONDUIT
- WIRE WITHOUT CONDUIT
- ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN.
- NOTE: TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.
- NOTES:**
- SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH-40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN
 - FOR PIPE AND WIRE BURIAL DEPTHS SEE TRENCH PROFILE DETAIL

12 IRRIGATION TRENCH



5 MASTER VALVE AND FLOW SENSOR



1 BACKFLOW DEVICE

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IRRIGATION DETAILS

Sheet Number:

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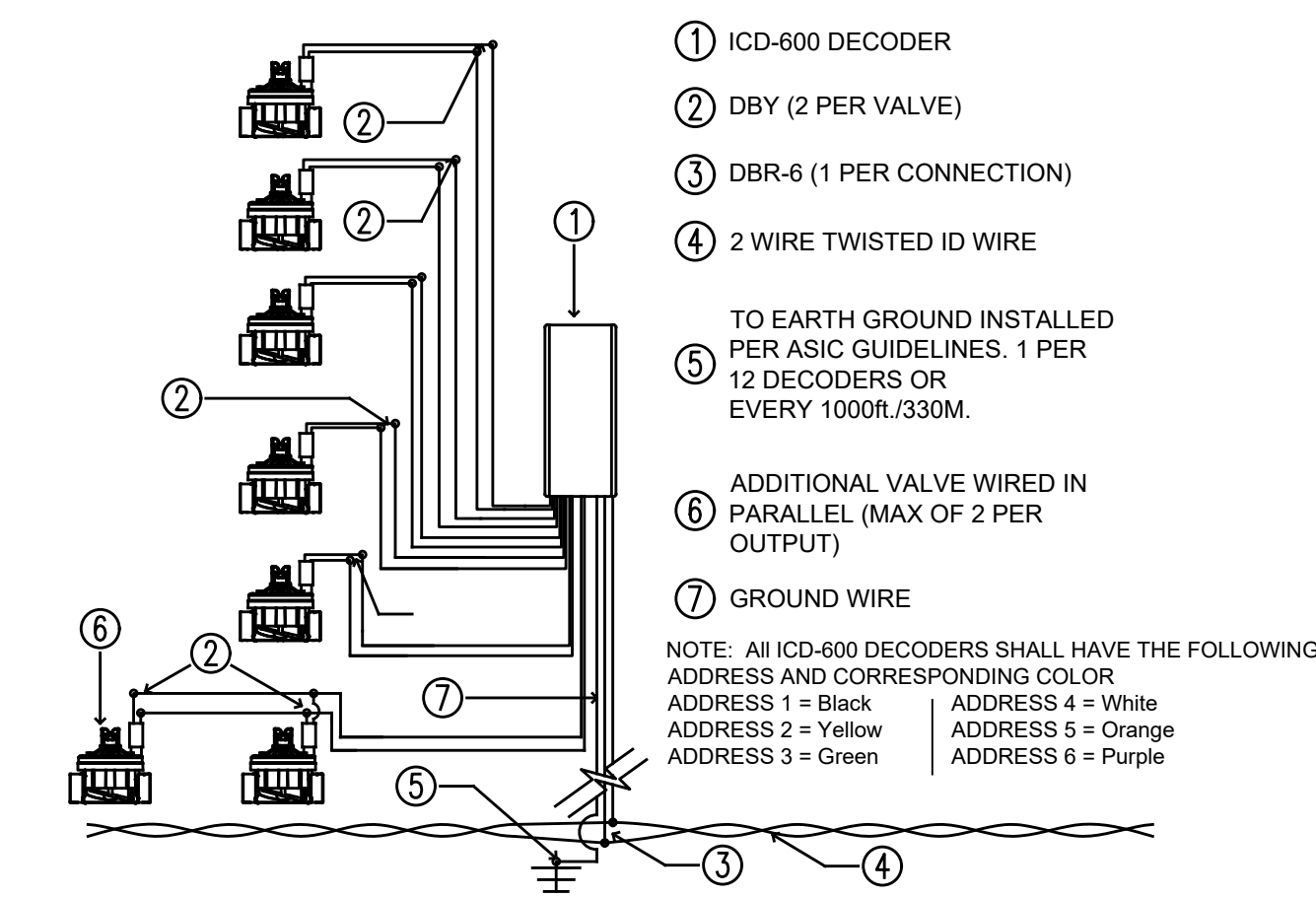
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Sheet Title:
IRRIGATION DETAILS

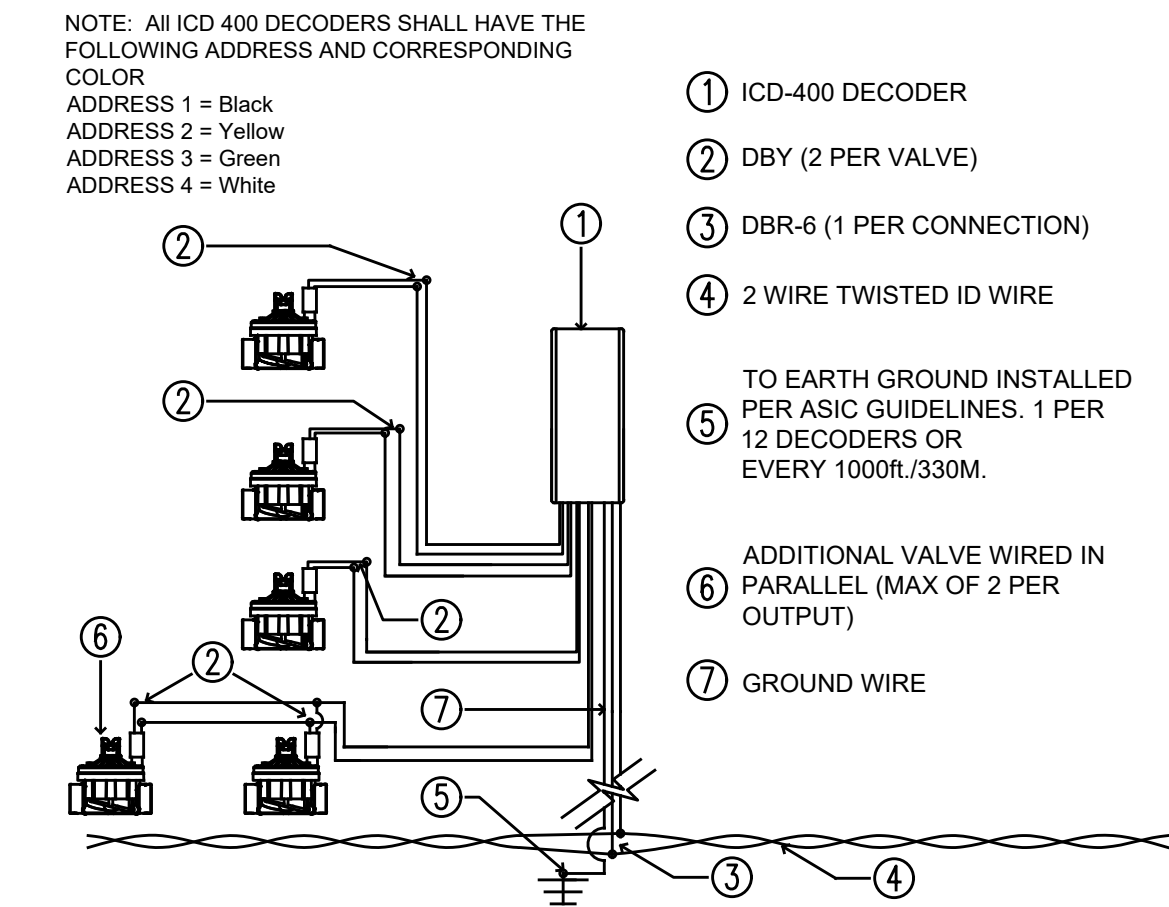
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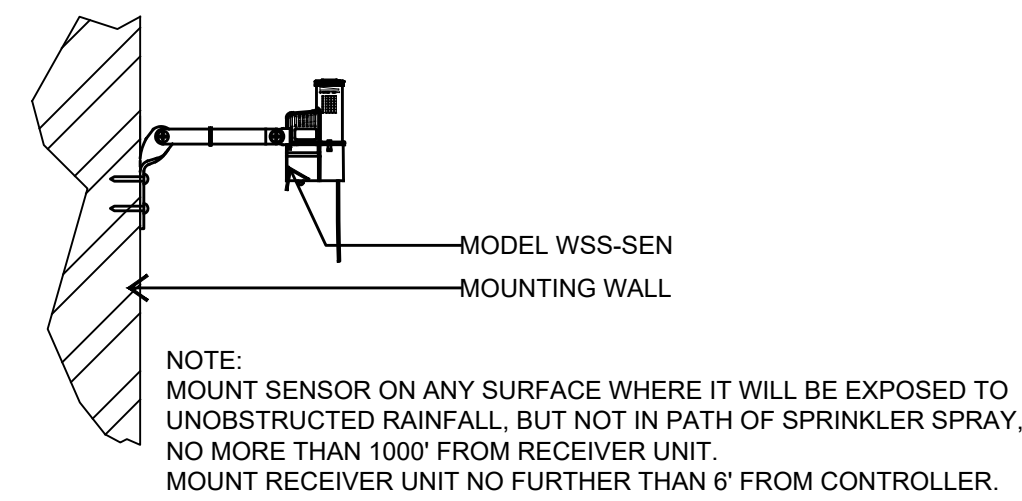
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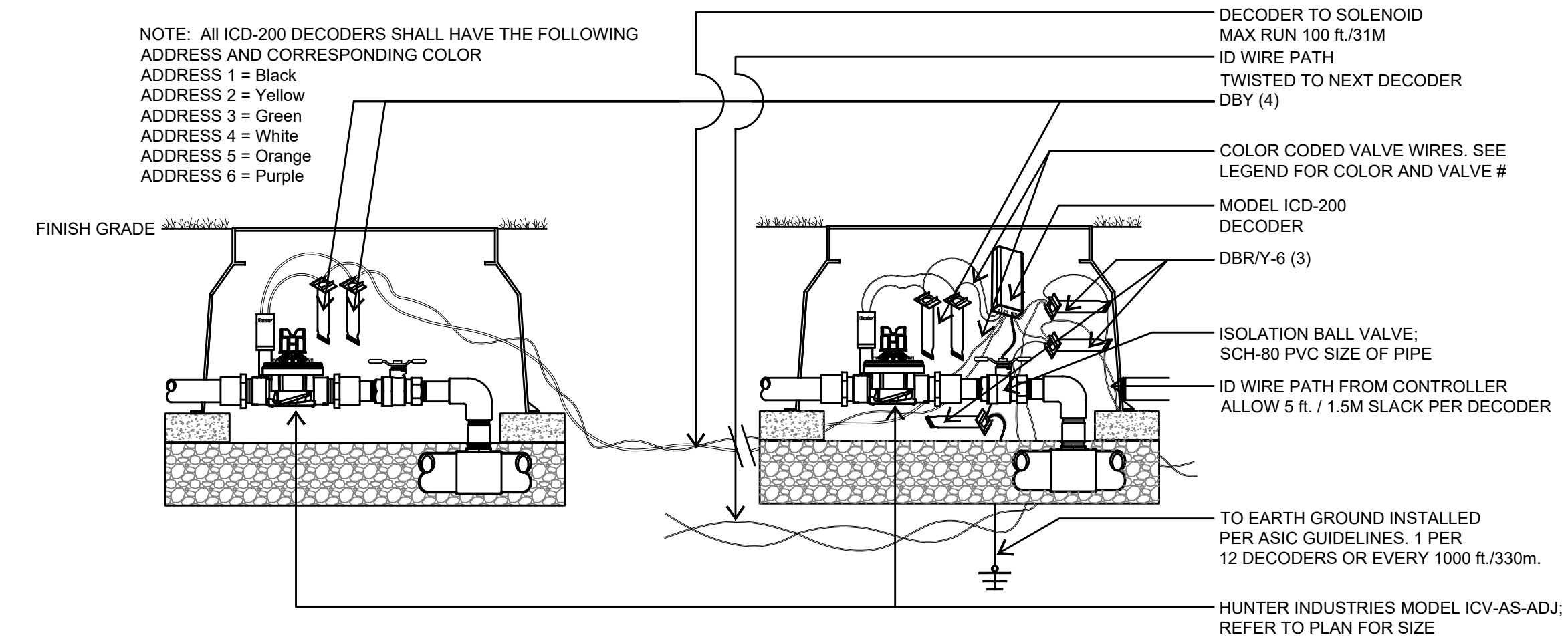
4 HUNTER ICD 600 DECODER



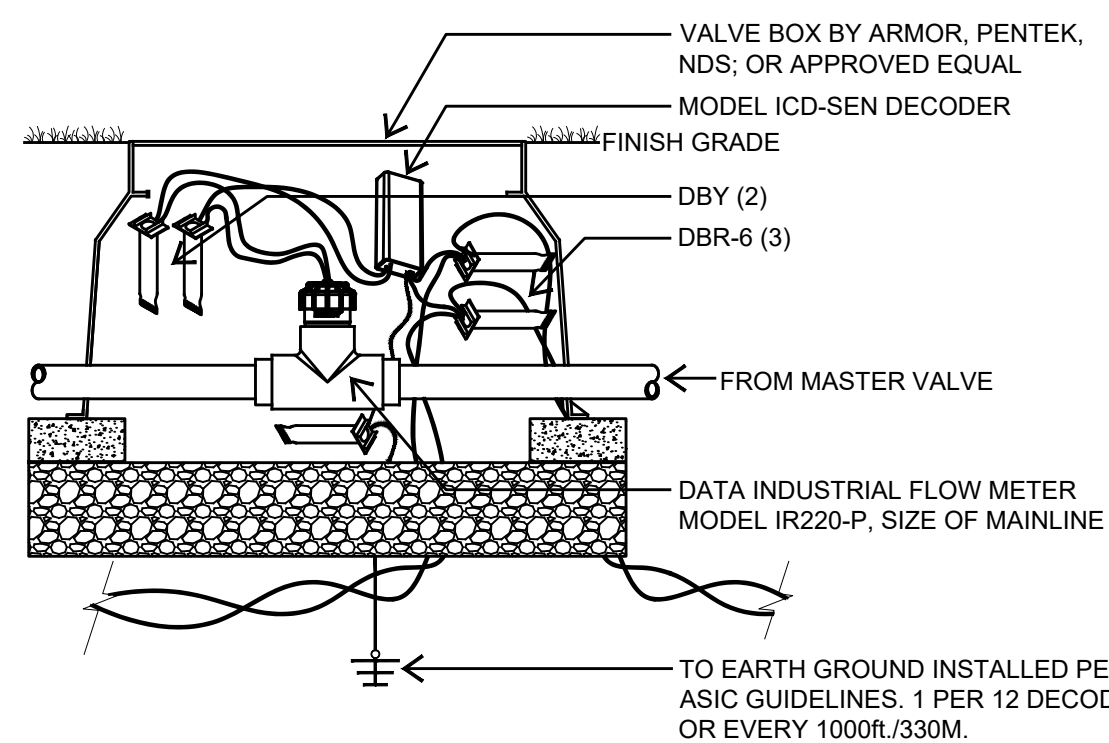
3 HUNTER ICD 400 DECODER



7 WEATHER SENSOR

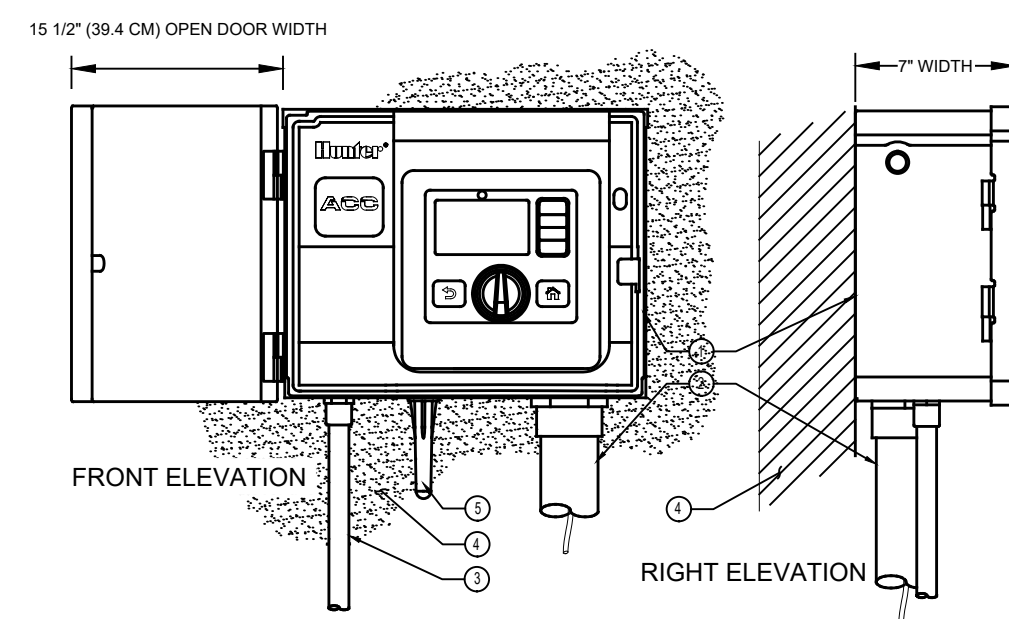


2 HUNTER ICD 200 DECODER



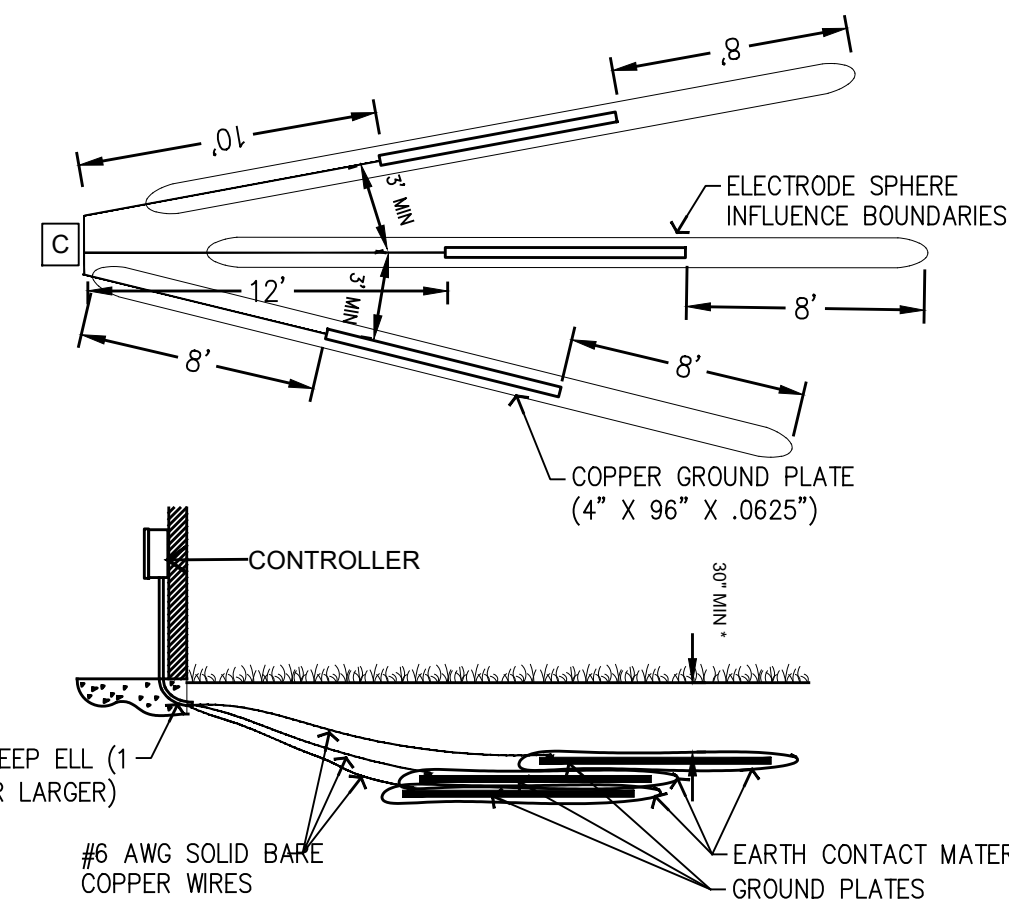
- NOTES:
1. FLOW SENSOR MUST BE INSTALLED WITH INSERT (TOP) POSITIONED VERTICALLY AND BODY (TEE) POSITIONED HORIZONTALLY.
 2. MAX. DISTANCE BETWEEN THE INTERFACE PANEL AND THE SENSOR 1,000 ft. (14 AWG MIN. WIRE SIZE).
 3. UPSTREAM SIDE OF SENSOR BODY MUST BE A MIN. OF 10X PIPE DIA. FROM VALVE OR NEAREST TURN/FITTING IN SYSTEM

8 FLOW SENSOR

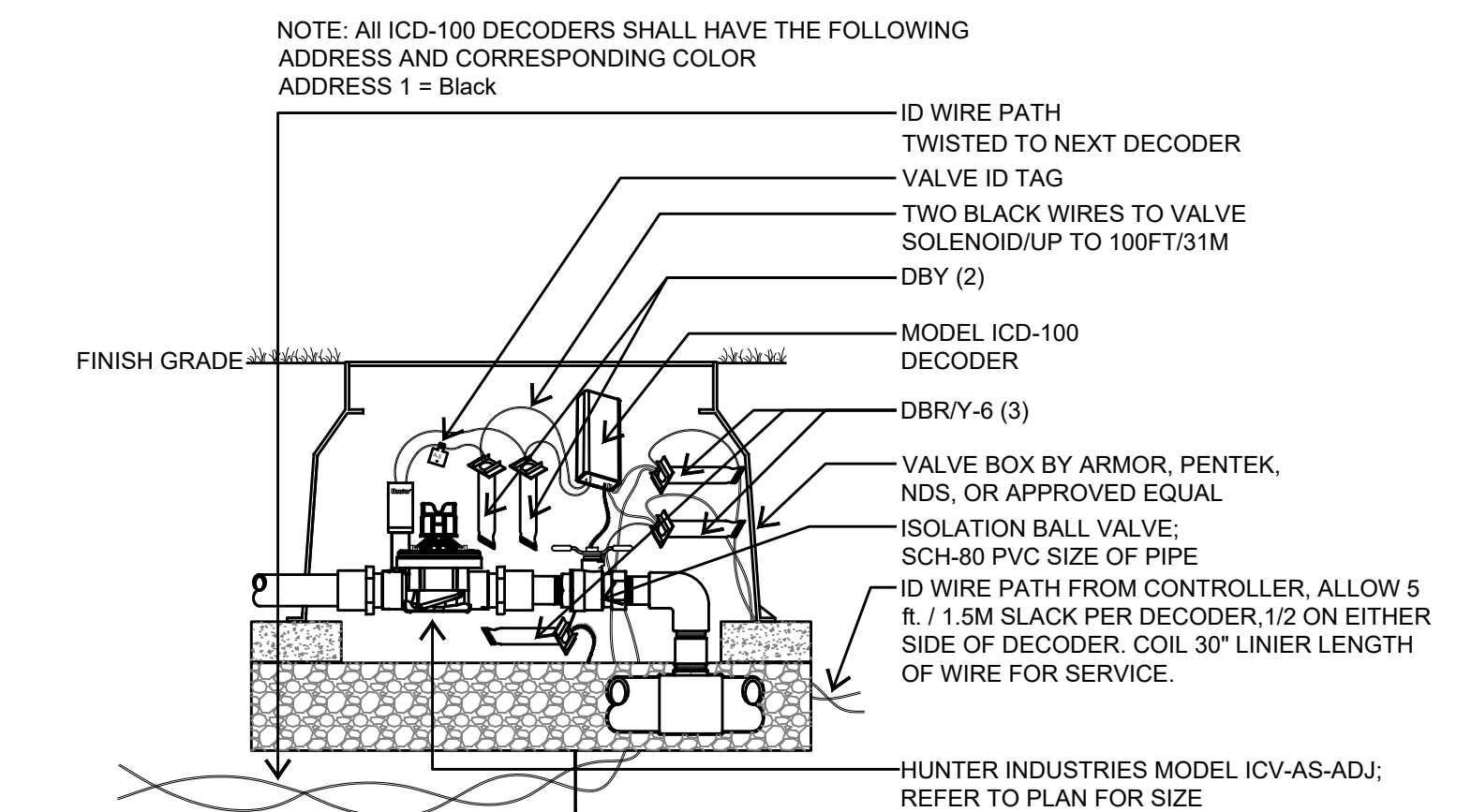


- LEGEND:
- ① IRRIGATION CONTROLLER (AZC-75D-SS) PER PLAN
 - ① IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - ① ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - ① ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
 - ① ANTENNA
- NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC POWER SOURCE

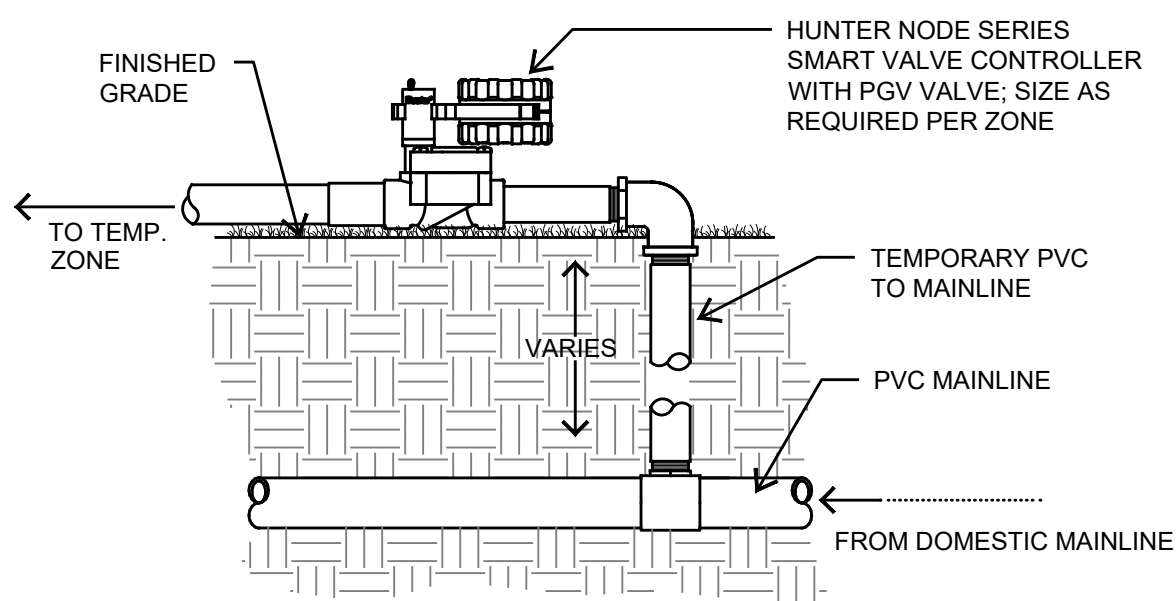
6 IRRIGATION CONTROLLER



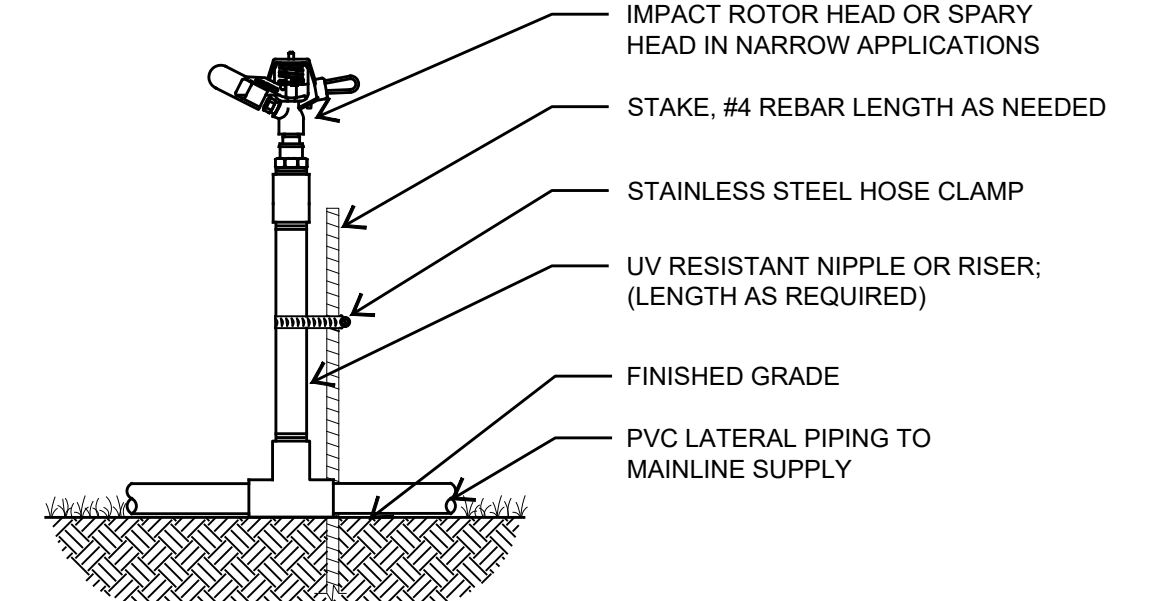
5 HUNTER LIGHTNING PROTECTION DIAGRAM



1 HUNTER ICD 100 DECODER



11 TEMPORARY CONTROLLER/VALVE



- NOTE**
1. TEMPORARY IRRIGATION SYSTEMS MUST BE INSTALLED BY A LICENSED IRRIGATOR OR AN IRRIGATION TECHNICIAN UNDER THE SUPERVISION OF A LICENSED IRRIGATOR.
 2. TEMPORARY IRRIGATION SYSTEMS MUST MEET THE BACKFLOW PREVENTION REQUIREMENTS IN SUBCHAPTER E OF THIS CHAPTER (RELATING TO BACKFLOW PREVENTION AND CROSS-CONNECTIONS).
 3. TEMPORARY IRRIGATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH §344.1(45) OF THIS TITLE (RELATING TO DEFINITIONS).
 4. TEMPORARY IRRIGATION SYSTEMS MUST HAVE ESTABLISHED A DEFINITE END DATE AT WHICH TIME THE TEMPORARY IRRIGATION SYSTEM MUST BE REMOVED.
 5. ALL COVERAGE SHALL BE HEAD TO HEAD.
 6. SYSTEM SHALL BE DESIGNED TO AVOID ANY OVERSPRAY ONTO SIDEWALKS AND STREETS.
 7. TEMPORARY IRRIGATION SYSTEM ZONE VALVES SHALL BE HUNTER NODE CONTROLLER VALVES. CONTRACTOR SHALL CLUSTER VALVE LOCATIONS WHERE POSSIBLE TO COMBINE ZONES ON MULTIPLE VALVE CONTROLLERS (NODE-200, NODE-400, ETC.)
 8. NO PIPING SHALL BE RUN WITHIN THE PROTECTION ZONE OF EXISTING TREES UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 9. CONTRACTOR SHALL VERIFY ON-SITE AND BY CONSULTING WITH LANDSCAPE ARCHITECT AREAS THAT WILL REQUIRE TEMPORARY IRRIGATION PRIOR TO DESIGN AND INSTALLATION OF SYSTEM.
 10. USE #4 X 24" REBAR ROD WITH 1/2" HOOKED RADIUS AT ONE END TO HOLD PIPE SECURELY IN PLACE. INSTALL AT INTERVALS OF 10 FEET.

10 TEMPORARY IRRIGATION HEAD INSTALLATION

1. DRIP LINE SHALL BE BURIED 3" TO 5" BELOW FINISHED SOIL GRADE IN PLANTING BEDS AFTER PLANTING AND BEFORE MULCH AND 4" TO 6" BELOW FINISHED GRADE IN TURF AREAS.
2. STAGGER EMITTER SPACING IN PARALLEL ROWS TO CREATE TRIANGULAR WETTING PATTERN.
3. ALL DRIP LINE SHALL BE SECURED USING SOIL STAPLES AS SUPPLIED BY THE MANUFACTURER SPACED A MAX. OF 3' ON CENTER.
4. DRIP LATERALS SHOWN ON THE PLANS ARE USED TO INDICATE ZONING SIZES AND RELATIONSHIPS. INSTALLATION OF DRIP ZONES SHALL FOLLOW ONE OF THE TWO METHODS DESCRIBED IN DTLS 2/3-L1 2.3. AND NETAFIM'S RECOMMENDED INSTALLATION SPECIFICATIONS.
5. NETAFIM HCVXR SERIES DRIP LINE SHALL BE USED AS FOLLOWS:
TURF AREAS: TLHCVXR5-12, ROWS SPACED AT 12 INCHES
BED AREAS: TLHCVXR7-18, ROWS SPACED AT 18 INCHES
BED AREAS WITH SLOPE 3:1 OR MORE: TLHCVXR7-12
6. WHEN CONFLICTS OCCUR BETWEEN THESE DRAWINGS AND THE MANUFACTURER'S SPECIFICATIONS DEFER TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
7. EACH DRIP ZONE SHALL HAVE A DRIP SYSTEM OPERATION INDICATOR, AS MANUFACTURED BY NETAFIM. INSTALL PER NETAFIM RECOMMENDATIONS.

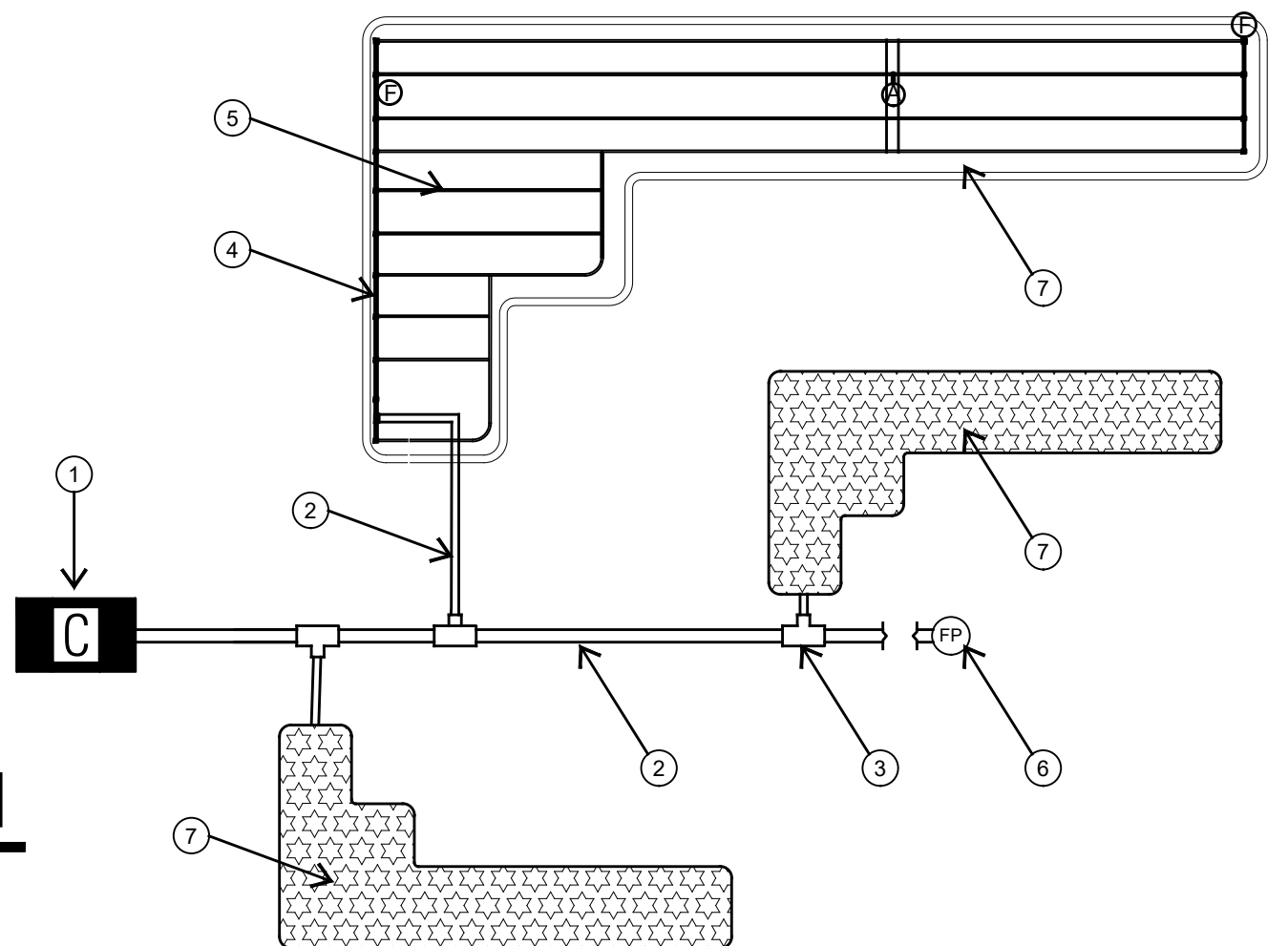
PROPER SIZING OF SUPPLY AND EXHAUST HEADERS
(17MM HCVXR SERIES DRILINE)

TOTAL ZONE FLOW	PIPE SIZE
UP TO 5 GPM	1/2" SCH 40 PVC or 1/2" CLASS 315 PVC
5.1 TO 8 GPM	3/4" CLASS 200 PVC
8.1 TO 13 GPM	1" CLASS 200 PVC
13.1 TO 22 GPM	1-1/4" CLASS 200 PVC
22.1 TO 31 GPM	1-1/2" CLASS 200 PVC

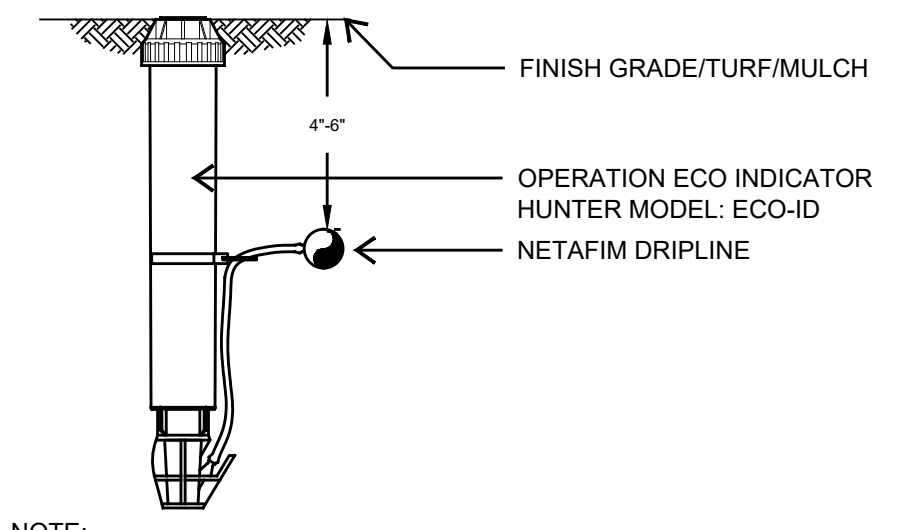
NOTE: A 45 PSI PRESSURE REGULATOR IS RECOMMENDED TO OBTAIN MAXIMUM RUN LENGTHS AND MAXIMIZE ZONE SIZE WHEN INSTALLING HCVXR SERIES DRILINE.

9 DRIP DESIGN NOTES

1. CONTROL ZONE KIT; NETAFIM
 2. PVC SUPPLY LINE; SIZE PER CHART BELOW
- | TOTAL LENGTH OF DRIP LINE | MINIMUM PIPE SIZE |
|---------------------------|---------------------------------------|
| UP TO 500 FT | 1/2" SCH 40 PVC or 1/2" CLASS 315 PVC |
| 500 TO 800 FT | 3/4" CLASS 200 PVC |
| 800 TO 950 FT | 1" CLASS 200 PVC |
| 950 TO 1300 FT | 1-1/4" CLASS 200 PVC |
| 1300 TO 1400 FT | 1-1/2" CLASS 200 PVC |
3. PVC SCH-40 TEE OR EL (TYPICAL)
 4. SUPPLY HEADER; PVC SCH 40 WITH INSERT FITTINGS
 5. LANDSCAPE DRILINE TUBING; NETAFIM TLHCVXR7-18 FOR PLANTING NETAFIM TLHCVXR5-12 FOR TURF
 6. DRILINE FLUSH POINT (SEE NETAFIM DETAIL: FLUSH VALVE)
 7. DRIP AREA; DEFINED BY HATCH ASSOCIATED TO ZONE TAG ON PLANS

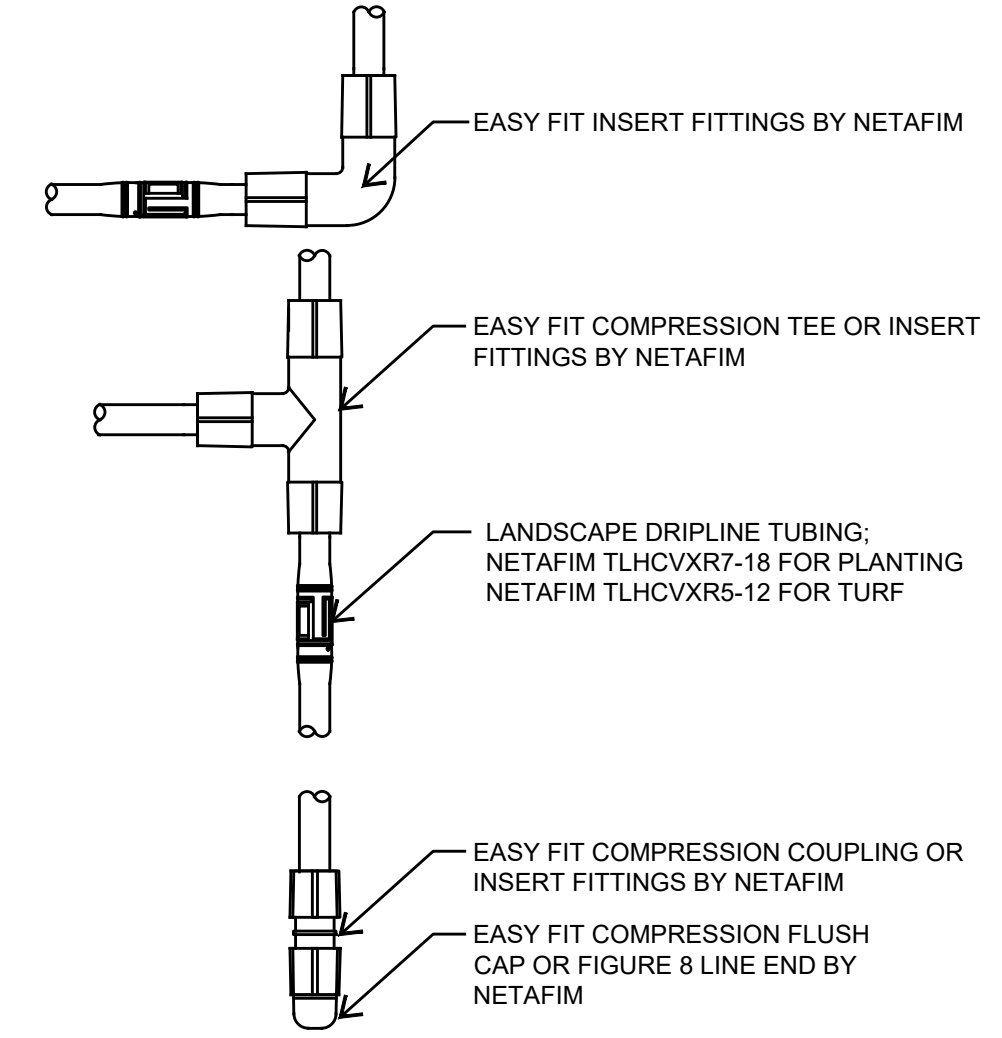


8 DRIP HATCH LAYOUT

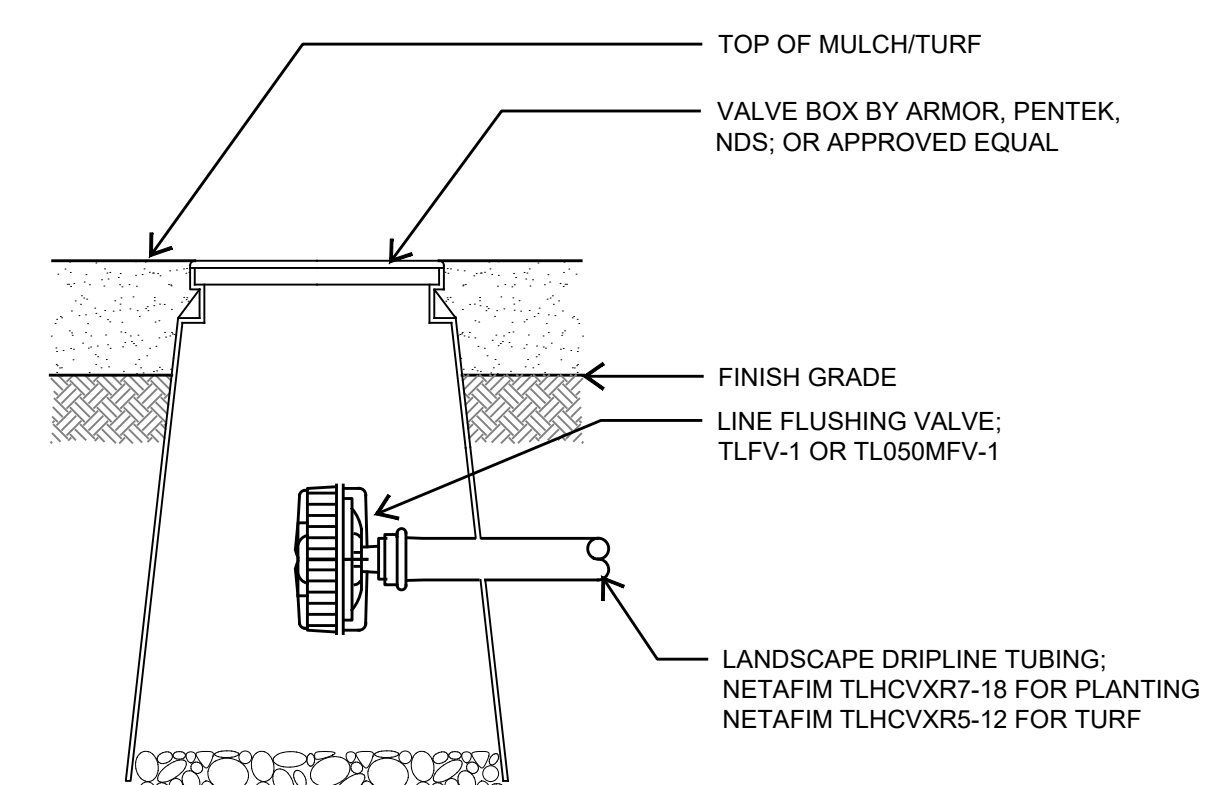


- NOTE:**
1. INSERT BARB TRANSFER FITTING DIRECTLY INTO DRILINE TUBING.
 2. VAN NOZZLE MAY BE SET TO CLOSED, OR IF IT IS DESIRED TO SEE SPRAY FROM THE NOZZLE, SET THE ARC TO 1/2" PATTERN. THE FLOW FROM THE NOZZLE, 0.3 GPM, SHOULD BE ACCOUNTED FOR IN THE SYSTEM DESIGN.

7 OPERATION INDICATOR

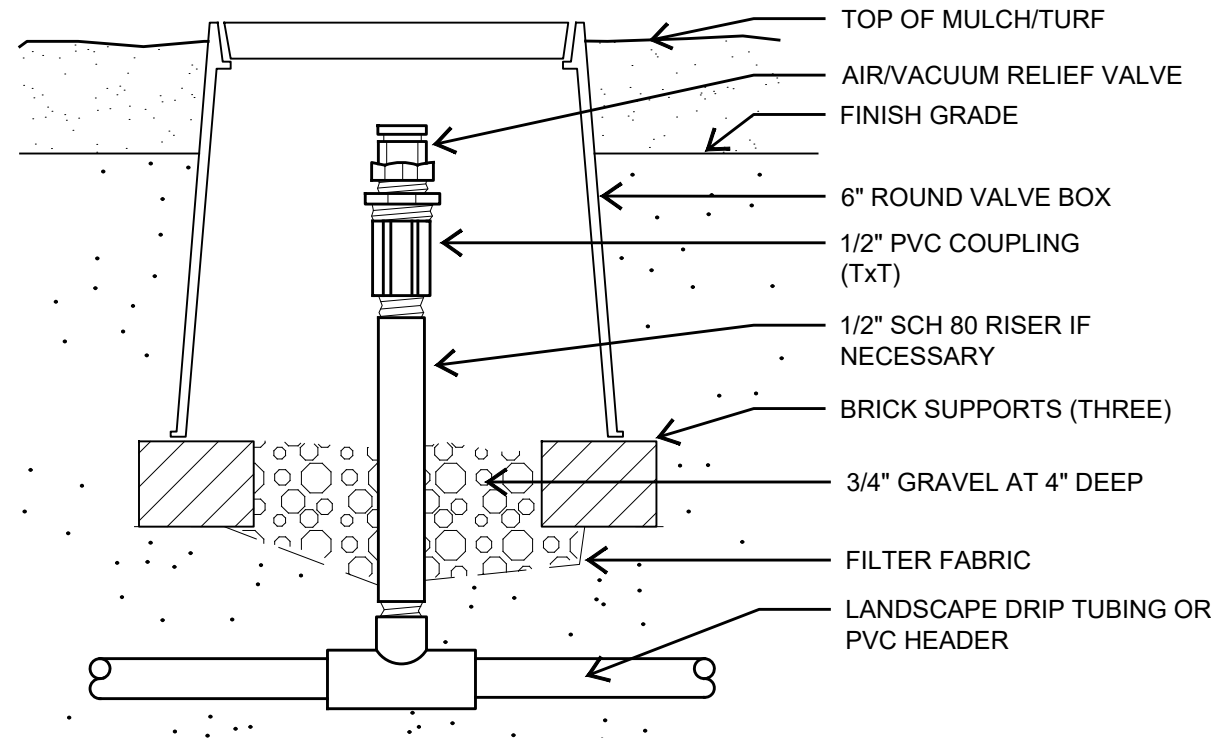


6 DRILINE FITTINGS



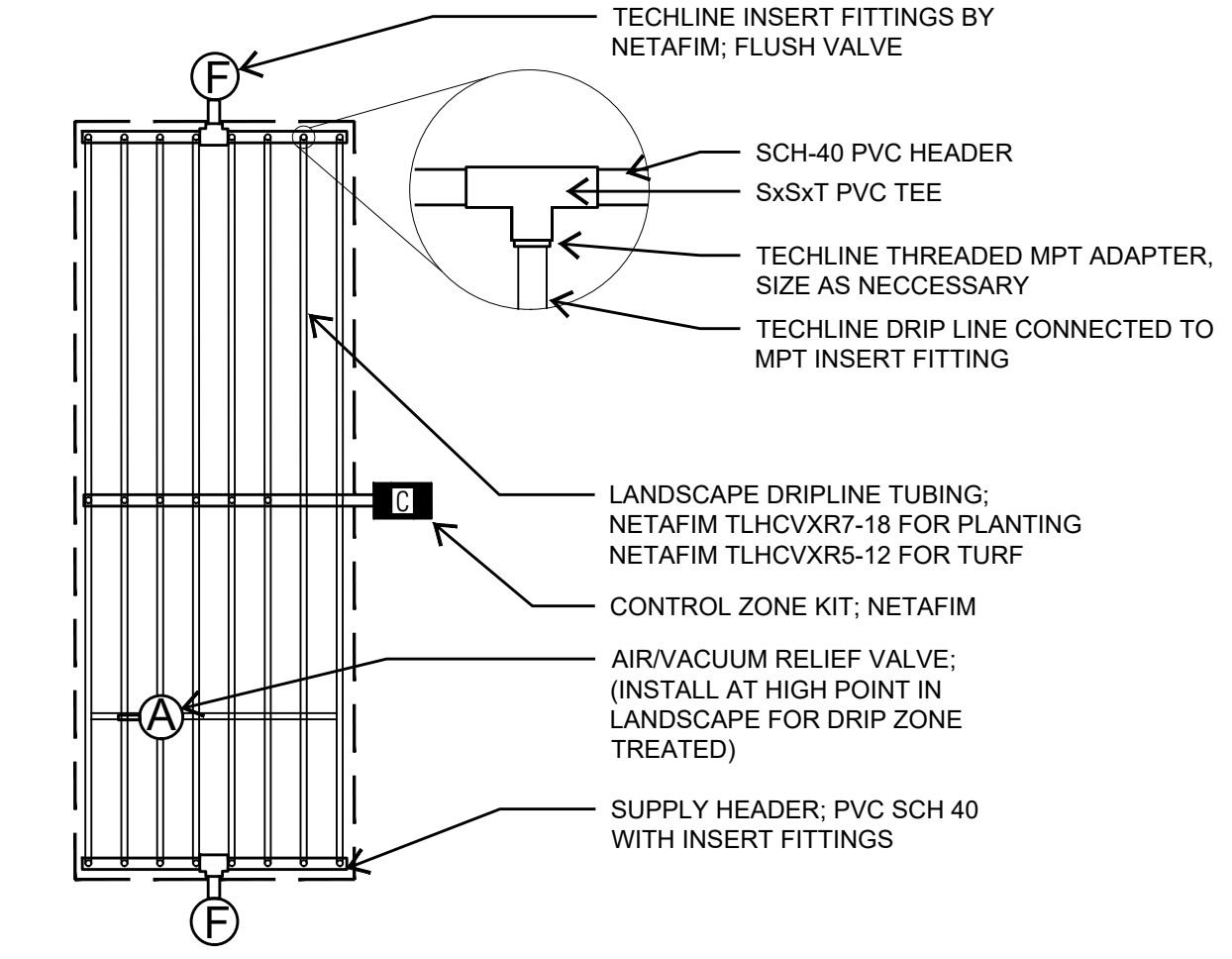
NOTE: INSTALL AT FARTHEST POINT OF DRIP ZONE. INSTALL AT EACH END POINT.

5 DRILINE FLUSH VALVE

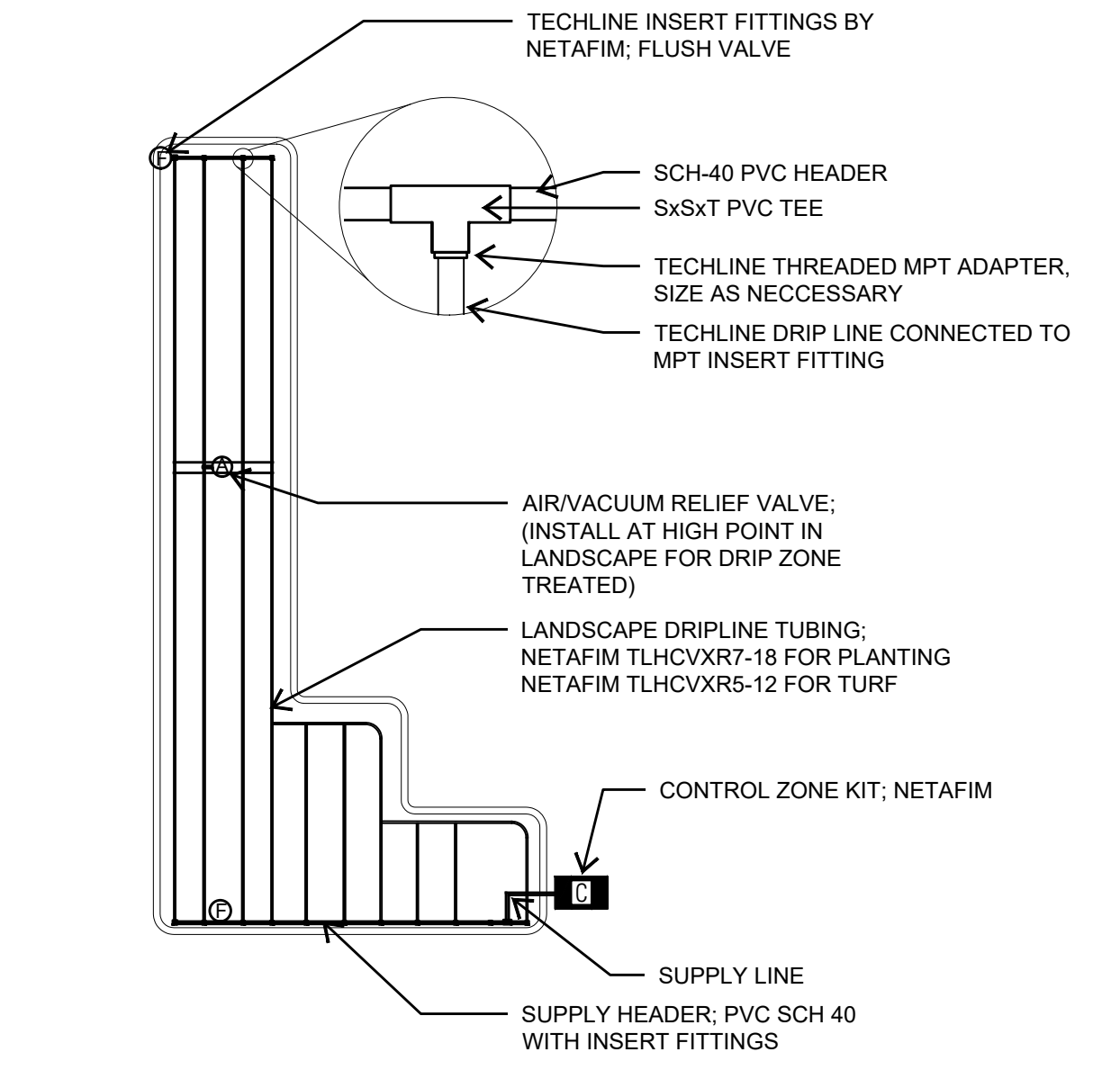


NOTE: INSTALL AT HIGH POINT OF DRIP ZONE. IF MORE THAN TWO HIGH POINTS IN A ZONE, INSTALL AT EACH HIGH POINT.

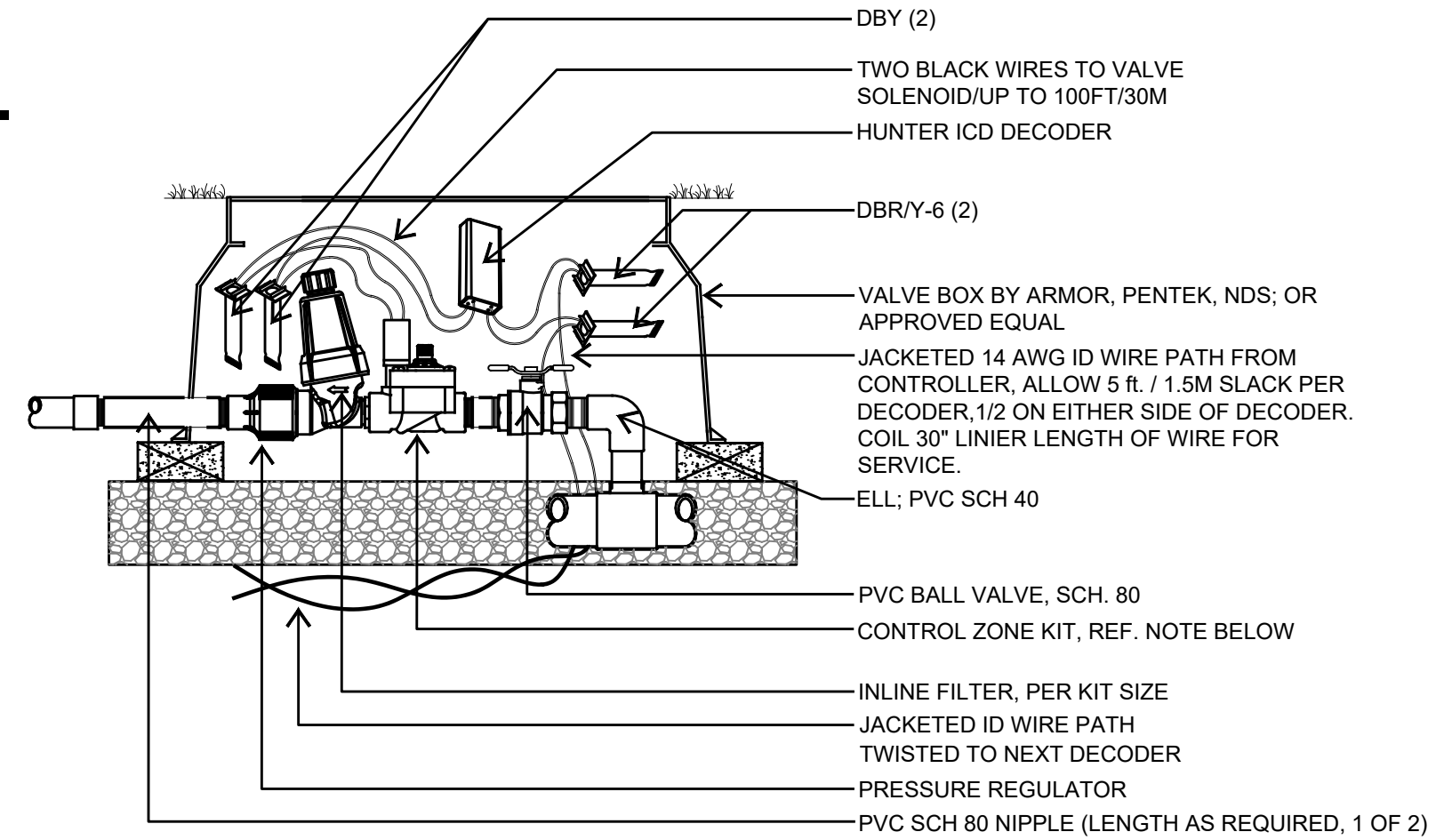
4 AIR RELIEF VALVE



3 DRILINE INSTALLATION (CENTER FEED)



2 DRILINE INSTALLATION (END FEED)



- CONTROL ZONE KIT:**
- LF ZONES: INSTALL NETAFIM LVCZS8010075-LF IN ZONES 25 to 4.4 GPM
 - MF ZONES: INSTALL NETAFIM LVCZ10075-HFHP IN ZONES 4.5 to 17.6 GPM
 - HF ZONES: INSTALL NETAFIM LVCZ150HP IN ZONES 11.0 to 35.0 GPM

1 CONTROL ZONE KIT

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801 R. Taylor St
Sherman, TX 75090

PROJECT
Rosemary Apartments

XXXX
San Antonio, Texas 782XX

REVISIONS

PROJECT NUMBER
2023-117

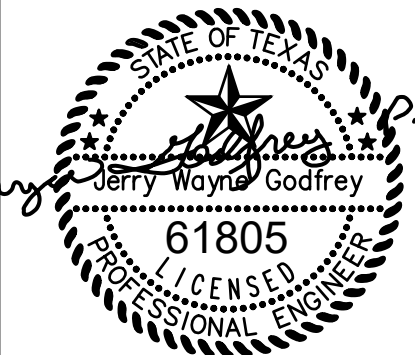
Drawn By: pra
Checked By: jr

Sheet Title:
IRRIGATION DETAILS

Sheet Number:

L12.3

Issue Date:
June 02, 2023



REVISIONS:
PERMIT

GENERAL NOTES

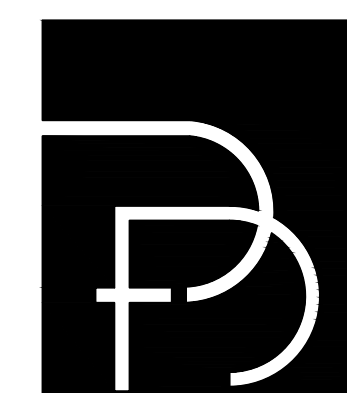
- A: ALL WORK SHALL MEET OR EXCEED NEC STANDARDS.
- B: COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO ROUGH-IN
- C: VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS FOR ALL FIXTURES AND DEVICES PRIOR TO ROUGH-IN.
- D: ELECTRICAL CONTRACTOR SHALL CLOSELY COORDINATE THE EXACT LOCATIONS OF ALL UTILITY COMPANY CONNECTION POINTS AND REQUIREMENTS. VERIFY ALL REQUIREMENTS WITH LOCAL UTILITY COMPANIES.
- E: ALL PROPOSED LIGHTING SHALL CONFORM TO THE AHJ DEFINITION FOR FULL CUTOFF LIGHT FIXTURES.
- F: ALL PERMANENT EXTERIOR LIGHTING SHALL BE NON-FLASHING AND SHIELDED SUCH THAT THE LIGHT SOURCES ARE NOT VISIBLE FROM THE PUBLIC RIGHT OF WAY OR ADJACENT RESIDENTIAL USES AT THE PROPERTY LINE. WALL PACK LIGHTING AND OTHER LIGHTING THAT DIRECTS THE LIGHT IN A HORIZONTAL DIRECTION WITHOUT AN ADEQUATE SHIELD IS NOT PERMITTED IF THERE ARE STREETS OR RESIDENTIAL USES IN THE DIRECTION OF THE LIGHT.
- G: UNDERGROUND ELECTRICAL SERVICE SHALL COMPLY WITH THE 2020 NEC, SECTION 300.5(D)(3).
- H: CONTRACTOR SHALL PERFORM VOLTAGE DROP CALCULATIONS FOR ALL SITE ELECTRICAL CONDUCTORS AND PROVIDE APPROPRIATELY SIZED CONDUCTORS.

POLE LIGHT SCHEDULE

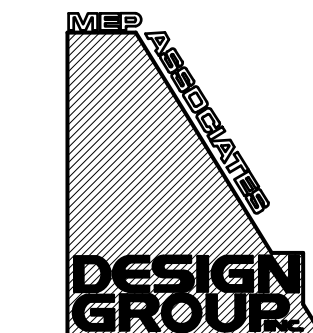
- A: TECHLIGHT KTN-N-19L-T3-1-BZ-S265BZ-KTNARM W/SSP-20-4-11-BZ-DM1-KTN POLE
- NOTE: CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO PULLING WIRE TO SITE LIGHTING THE NUMBER AND LOCATION OF SITE LIGHTING THAT WILL BE PHOTOCELL ON PHOTOCELL OFF AND THE NUMBER AND LOCATION OF SITE LIGHTING THAT WILL BE PHOTOCELL ON TIMECLOCK OFF.

SITE LIGHT SCHEDULE

- FPL: HYDREL SAF1-LED-P1-80CRI-30K-MVOLT-10DEG -CWL-KM-CPM-C3-BL
- SL1: LSQ1-25-3K7-UNV-BLT-SPC
- NOTE: CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO PULLING WIRE TO SITE LIGHTING THE NUMBER AND LOCATION OF SITE LIGHTING THAT WILL BE PHOTOCELL ON PHOTOCELL OFF AND THE NUMBER AND LOCATION OF SITE LIGHTING THAT WILL BE PHOTOCELL ON TIMECLOCK OFF.



DFD ARCHITECTS INC
305 WEST WILLIS STREET
SUITE 101
LEANDER, TEXAS 78641
PHONE: 512.259.4175
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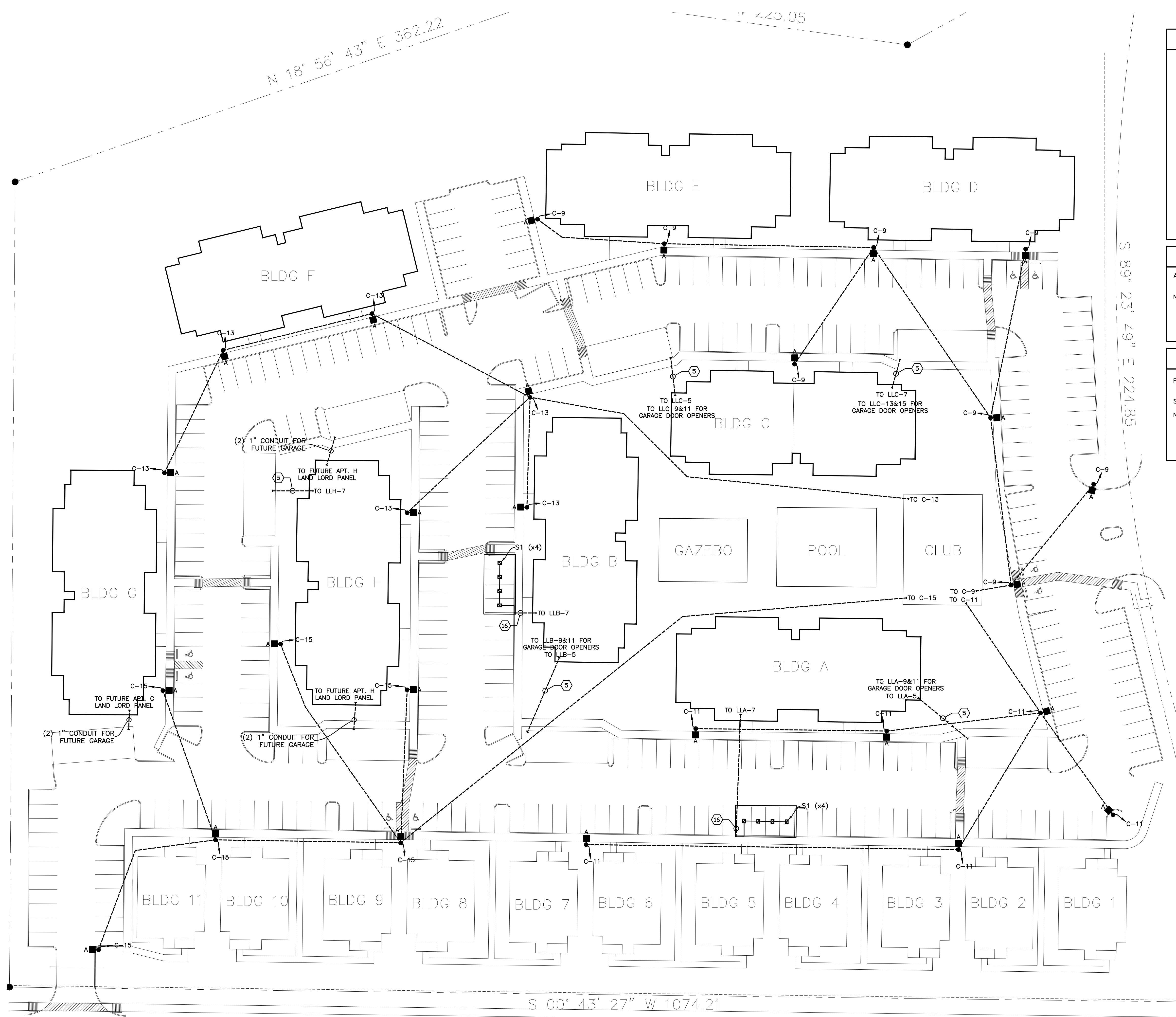
MEP JOB #23141
TEXAS REGISTRATION F-008873
717 West Houston
Tyler, TX 75702
PHONE: (903) 597-3444
EMAIL: mep@meppgroup.net

ROSEMARY APARTMENTS

PROJECT LOCATION:
DENISON, TEXAS

OWNER:
ROSEMARY 126 INVESTORS, LP
801 E. TAYLOR ST.
SHERMAN, TX. 75090

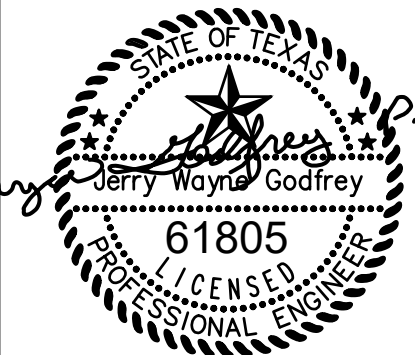
SITE LIGHTING PLAN



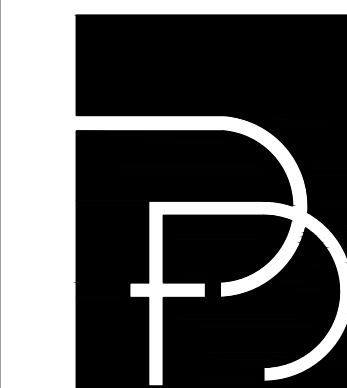
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1 SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

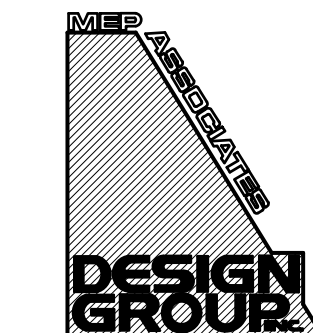
SUI.0



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ROSEMARY APARTMENTS

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DENISON, TEXAS

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SHERMAN, TX. 75090

SITE UTILITY PLAN

SITE UTILITY NOTES

NOTE 1: PROVIDE TWO EMPTY 4" CONDUITS WITH PULL STRINGS. FIELD VERIFY CONDUIT TIE-IN LOCATION WITH CIVIL DRAWINGS AND CONDUIT ROUTING WITHIN BUILDING PRIOR TO BID. COORDINATE ALL REQUIREMENTS WITH LOCAL PHONE/DATA/CABLE UTILITY AND OWNER/ARCHITECT.

NOTE 2: ALL RECEPTACLES SHOWN SHALL BE WEATHER PROOF AND GFI.

NOTE 3: PROVIDE CIRCUITS, LIGHTING CONTACTORS, TIME CLOCK, AND PHOTOCELL CONTROL FOR ALL SITE LIGHTING. CIRCUITS TO BE RUN SUCH THAT OWNER CAN CHOOSE LIGHTING TO WORK PHOTOCELL ON/PHOTOCELL OFF OR PHOTOCELL ON/TIMECLOCK OFF. REFER TO MEP SITE PLAN.

NOTE 4: LCA-LIGHTING CONTACTOR. LIGHTING CONTACTOR TO BE SIZED AS REQUIRED FOR OWNERS OPERATIONAL REQUIREMENTS.

NOTE 5: PROVIDE CIRCUITS UNDERGROUND AS SHOWN FOR GARAGE LIGHTING. REFER TO LIGHTING SHEETS FOR GARAGE LIGHTING LAYOUTS AND FIXTURE SELECTIONS. FIELD VERIFY EXACT LOCATIONS AND REQUIREMENTS.

NOTE 6: PROVIDE CONDUIT FROM FIRE ALARM CONTROL PANEL INTO WATER VAULT. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH ARCH, PLUMBING, AND/OR CIVIL DRAWINGS PRIOR TO ROUGH-IN.

NOTE 7: PROVIDE CONDUIT FROM FIRE SPRINKLER VAULT TO FIRE ALARM CONTROL PANEL FOR FLOW SWITCH.

NOTE 8: PROVIDE CONDUIT FROM SPRINKLER RISER ROOM TO FIRE ALARM CONTROL PANEL FOR FLOW TAMPER SWITCH.

NOTE 9: APPROXIMATE LOCATION OF DOMESTIC WATER ENTRY POINT. FIELD VERIFY EXACT LOCATION AND TIE-IN METHOD AND COORDINATE WITH CIVIL DRAWINGS.

NOTE 10: APPROXIMATE LOCATION OF SANITARY SEWER ENTRY POINT. FIELD VERIFY EXACT LOCATION AND TIE-IN METHOD AND COORDINATE WITH CIVIL DRAWINGS.

NOTE 11: PROVIDE POWER REQUIREMENTS FROM NEAREST AVAILABLE CIRCUIT TO SUMP IF REQUIRED.

NOTE 12: CONDUIT FOR PRIMARY WIRING. COORDINATE WITH LOCAL ELECTRIC UTILITY FOR SIZE AND NUMBER OF CONDUITS.

NOTE 13: CONDUITS FOR SECONDARY WIRING. ROUTE UNDERGROUND TO MAIN DISTRIBUTION PANEL. SEE ONE LINE DIAGRAM FOR MORE INFORMATION.

NOTE 14: APPROXIMATE LOCATION OF FIRE SPRINKLER ENTRY POINT. FIELD VERIFY EXACT LOCATION AND TIE-IN METHOD AND COORDINATE WITH CIVIL DRAWINGS.

NOTE 15: APPROXIMATE LOCATION OF MONUMENT SIGN. FIELD VERIFY EXACT LOCATION.

NOTE 16: PROVIDE CONDUIT CONCEALED UP STRUCTURE TO FEED (4) TYPE S1 FIXTURES PER PARKING CANOPY TYPICAL. FEED FROM CIRCUIT SHOWN.

GENERAL NOTES

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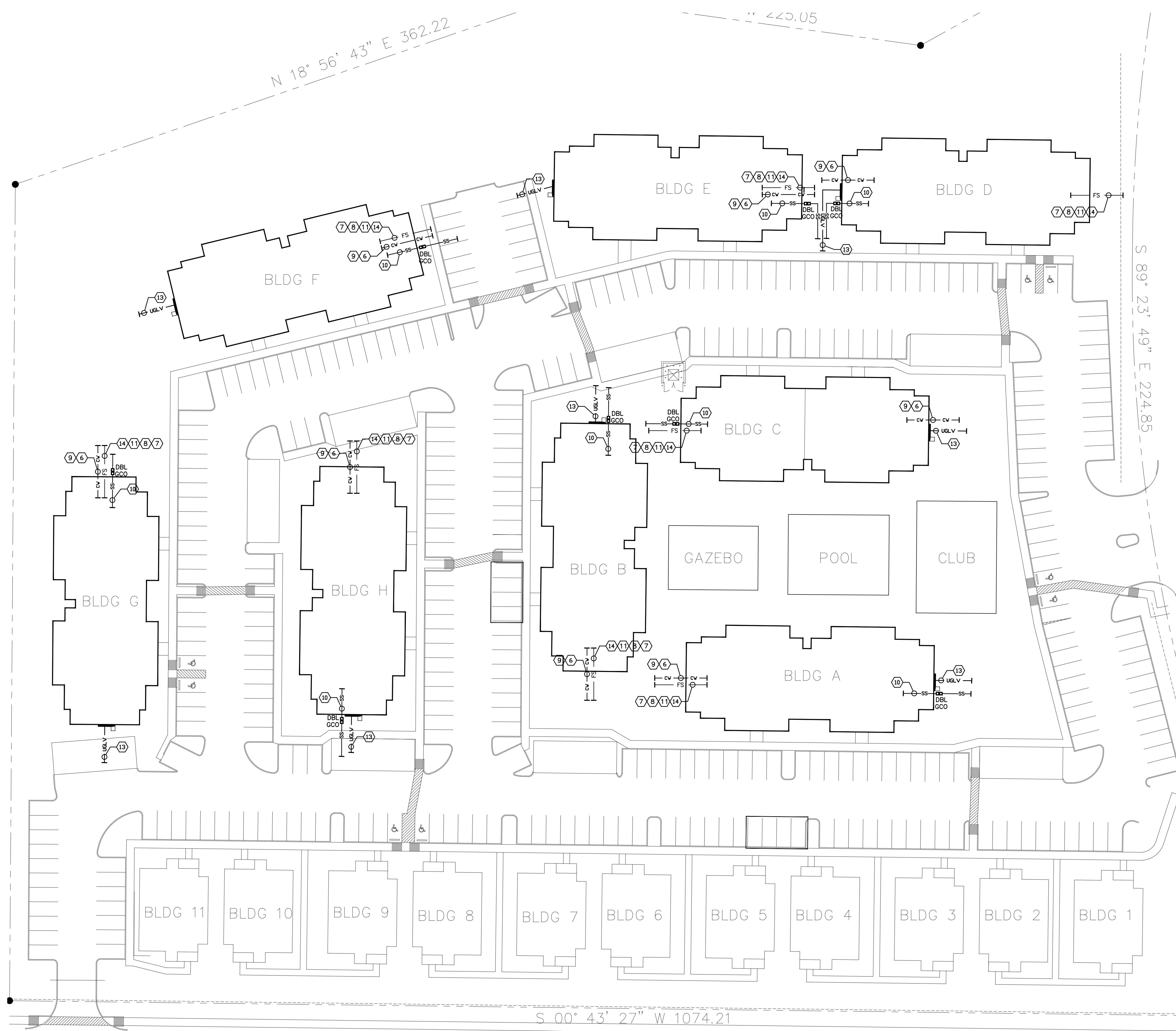
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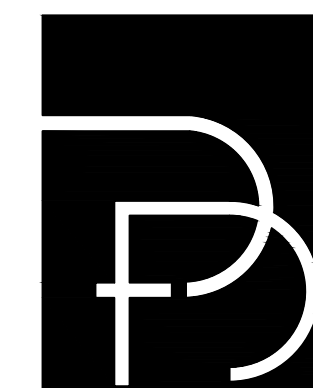
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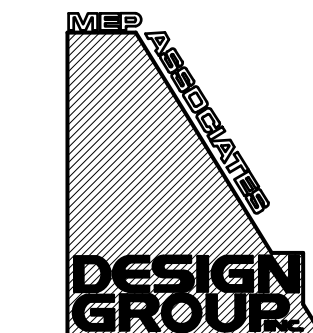
1 SITE UTILITY PLAN
SCALE: 1" = 30'-0"



REVISIONS:
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ROSEMARY
APARTMENTS

PROJECT LOCATION:

DENISON, TEXAS

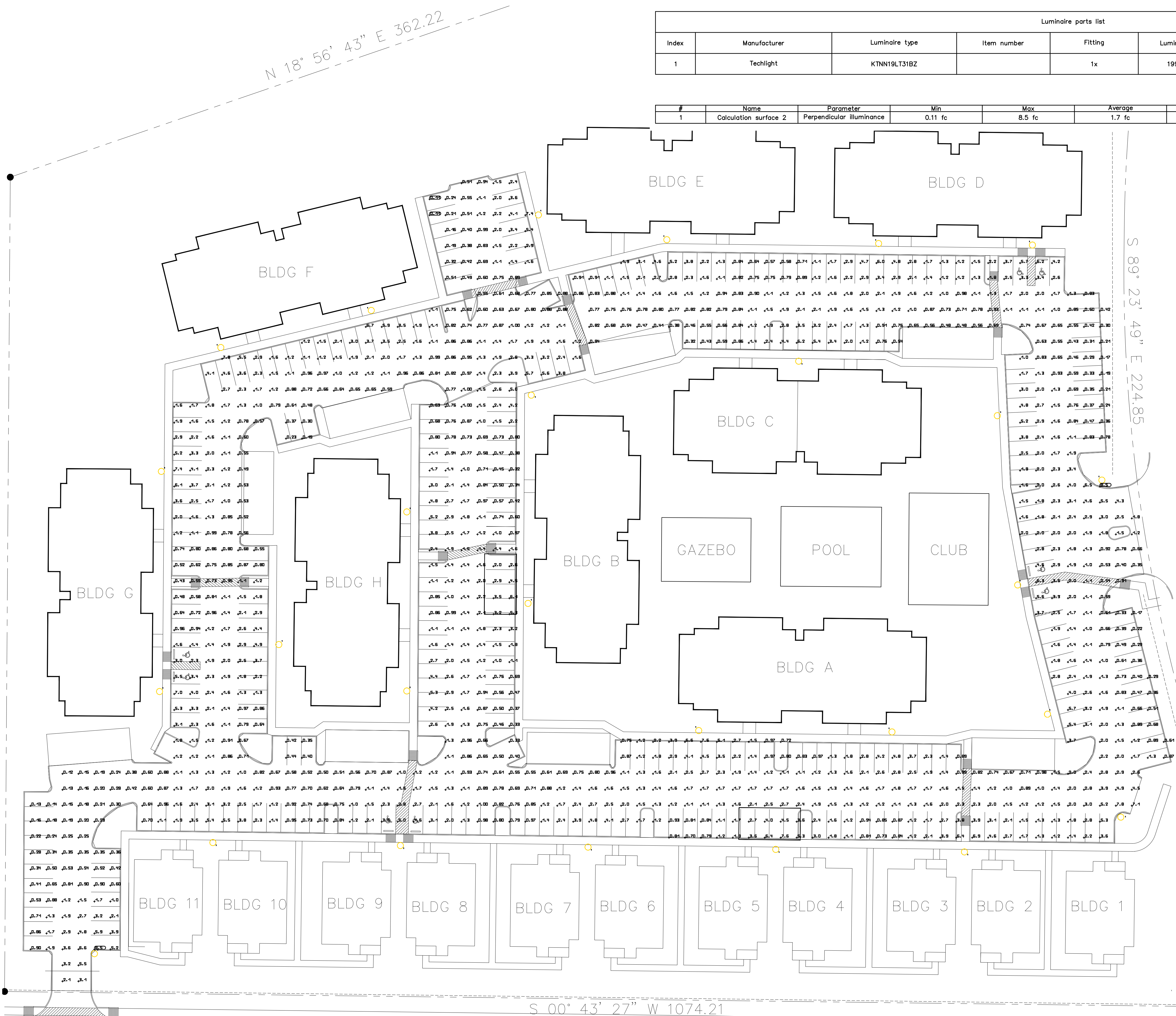
OWNER:
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SHERMAN, TX. 75090

SITE PHOTOMETRIC
PLAN

SUI.2

Luminaire parts list								
Index	Manufacturer	Luminaire type	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	Techlight	KTNN19LT31BZ		1x	19927 lm	0.80	152.2 W	27

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Calculation surface 2	Perpendicular illuminance	0.11 fc	8.5 fc	1.7 fc	15.86	78.97



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1 SITE PHOTOMETRIC PLAN
SUI.2 SCALE: 1" = 30'-0"

The Planning and Zoning Commission Meeting Staff Report



Agenda Item

Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to rezone an approximately 2.94 acre tract identified as GCAD Property ID No. 141832, said property being legally described as Lots 1 through 16 and including the twenty (20) foot alley, Block 2 of Miller's First Addition to the City of Denison, Grayson County, Texas, according to the deed recorded in Volume Y, Page 330, Deed Records of Grayson County, Texas; being commonly known as 715 W. Sears Street, to amend the current Planned Development Ordinance No. 5218 by changing the current zoning classification from Planned Development Overlay (PD) District with the base zoning of Single-Family Residential Attached (SF-TH) District to a Planned Development Overlay (PD) District with the base zoning of Multi-Family Residential (MF-2) District and Local Retail (LR) District for residential and retail use and amending Exhibit B "Development Standards" and Exhibit C "Concept Plan" of Ordinance No. 5218. (Case No. 2023-117PD).

Staff Contact

Dianne York, Planner
dyork@cityofdenison.com
903-465-2720

Summary

- Applicant is seeking to amend the existing Planned Development (PD) to allow for the development of a mid-rise apartment building with a retail component.
- The proposed base zoning districts will include MF-2, Multi-Family Residential (MF-2) and Local Retail (LR).

Staff Recommendation

Staff recommends approval of this request.

Recommended Motion

"I move to recommend approval of the request to amend the Planned Development Overlay District to a Planned Development Overlay District with the base zoning Multi-Family Residential (MF-2) District and Local Retail (LR) District and amending Exhibit B "Development Standards" and Exhibit C "Concept Plan".

Background Information and Analysis

The applicant is requesting to amend the current Planned Development Ordinance No. 5218 by changing the current zoning classification from PD with a base zoning of SF-TH, Single Family Attached to a PD with the base zoning of MF-2, Multi-Family Residential (MF-2) and Local Retail (LR) to allow for residential and retail uses.

The complex will consist of approximately two hundred (200) residential units and approximately six thousand (6,000) square feet of retail space located at the northeast corner of the property. In order to accommodate the density, the applicant is requesting a deviation from the MF-2 base zoning district height requirement to allow for a four (4) story structure with a fifth story constructed above the retail

space to allow for eleven (11) units. The building will have a minimum side and front yard setback of ten (10) feet for yards adjacent to N. Armstrong Avenue, N. Barrett Avenue, and W. Sears Street. A zero (0) foot rear yard setback is proposed for the rear yard adjacent to W. Morton Street.

Parking for the residents will be accommodated via an internal parking garage at 1.5 spaces per unit. Visitor and leasing office parking spaces are proposed via on-street parking located on W. Sears Street. Customer and employee parking for the retail space is provided via twenty-two (22) on-street parking spaces located on the west side of N. Barrett Avenue.

A minimum of ten (10) percent of the total lot area will be dedicated to landscape and usable open space. Amenities for the residents will include a courtyard with a pool, grilling stations, open space for activities, a fitness center, club room and mail center.

A traffic impact study will be provided at the time of Civil Engineering Plan submittal.

The proposed development is required to be developed in accordance with City standards. Additional applications such as a Petition for Right-of-Way (ROW) Abandonment, Civil Engineering Plans, Replat and Site Plan must be submitted by the developer prior to requesting a building permit.

According to Ordinance Section 28.10, City staff and the Planning and Zoning Commission shall consider the following factors when reviewing rezone requests:

1. *Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned, and their relationship to the general area and to the city as a whole;*

The area has been developed in a predominantly single-family residential manner; however, the Future Land Use Plan depicts this area to be developed in a neighborhood manner and allows for neighborhood commercial.

2. *Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;*

The applicant must develop all required infrastructure or improve any existing infrastructure to meet City standards. Civil Engineering Plans are required for this development and must be submitted to City staff at the appropriate time.

3. *The amount of vacant land currently classified for similar development in the vicinity and elsewhere in the city, and any special circumstances that may make a substantial part of such vacant land unavailable for development;*

Rezoning of this property will not impact the availability of similar land for development.

4. *The recent rate at which land is being developed in the same zoning classification as the request, particularly in the vicinity of the proposed change;*

There have been no multi-family zoning requests in this area.

5. *How other areas designated for similar development will be, or are likely to be, affected if the proposed amendment is approved;*

N/A

6. *Whether the zoning petition is consistent with the current land use plan; and*

The area has been developed in a predominantly single-family residential manner; however, the Future Land Use Plan depicts this area to be developed in a neighborhood manner and allows for neighborhood commercial.

7. *Any other factors that will substantially affect the public health, safety, morals, or general welfare.*

Other factors which may substantially affect general welfare have been addressed above.

Financial Considerations

N/A

Prior Board or Council Action

- The City Council approved Ordinance No. 5218 allowing for a Planned Development Overlay District with a base zoning of Single Family Residential District - Attached (SF-TH) at their meeting held on July 11th, 2022.

Alternatives

- The Planning and Zoning Commission may table, recommend denial, or recommend approval with conditions.

Aerial of Subject Area





CCM ENGINEERING

2570 FM 407 STE. 209, Highland Village, TX 75077

Office: 972-691-6605

TBPE FIRM #605

Exhibit B

Narrative

RE: The Village at Denison Denison, Texas

The Village at Denison is a midrise, multifamily development proposed on 2.94 acres located between North Armstrong Avenue and North Barrett Avenue and north of West Sears Street and south of FM 120 (West Morton Street). The land is currently zoned Planned Development with a base zoning of SF-TH, Single Family Townhome District. We are proposing to amend the zoning with a Planned Development to allow for approximately 200 residential units plus approximately 6,000 square feet of retail space facing North Barrett Avenue and West Morton Street. The proposed building will be mostly four stories with a small section of five stories over the proposed retail portion of the project. Street parking will be designed in front of the proposed retail with front load parking spaces on North Barrett Avenue

The proposed zoning change conforms to the future land use plan in the City's comprehensive plan which allows for Neighborhood commercial. Being just 3 blocks from downtown, we feel this development would provide a catalyst to the downtown business district and revitalize this area. It will also provide a unique living opportunity for this part of town. This development could encourage other new residential and non-residential developments in the downtown district. We feel this project will positively impact the downtown business district since it is a short walk to the shops and restaurants on Main Street.

Our PD zoning request will use the MF-2 and Local Retail as the base zoning districts. The PD development standards that we are amending are shown in our Exhibit A – PD Conditions.

This project will provide ample parking in the form of an internal parking garage that is screened from public view. Additional amenities will be provided to the

residents including a swimming pool and an amenity center, as well as future retail and/or restaurants within the building.

The development proposed is of high quality and will serve as a positive landmark for the City of Denison.

EXHIBIT 'B'

The Village at Denison

Planned Development District Development Standards

Statement of Purpose and Intent

This zoning submittal encompasses 2.94 acres located between North Armstrong Avenue and North Barrett Avenue and north of West Sears Street and south of FM 120 (West Morton Street). The use proposed for the property would provide a unique living opportunity for this part of town with an upscale Multifamily community and a Retail component. It is the intent of this Planned Development (PD) document to establish a base zoning for the overall property together with the uses and development regulations as designated therein, subject to modifications as set forth herein.

This PD Document and the Concept plan provide departure from existing zoning, use, and development regulations in recognition of the unique character of the development described herein, and unless expressly modified by this PD documents or the Concept Plan, the property shall be developed in accordance with the base zoning districts described below, as they exist or may be amended.

1.0 PROJECT OVERVIEW

The purpose of this Plan Development is to develop a 4-stories medium rise multi-family site with the addition of a fifth story (5-stories) for small retail area at ground level. The maximum density is 72 units per acre, for a total of approximately 200 units that will range in between 670 square feet (1Bed/1Bath) and 1,250 square feet (2Bed/2Bath) and a Retail component of minimum 6,000 square feet. A site plan is required for development within this district.

2.0 PROJECT LOCATION

The Village is located at 715 W. Sears Street and is situated in the Miller's 1st Addition being all of Block 2 as described in Exhibit A, Legal Decision.

3.0 PROPOSED THOROUGHFARES/ACCESS/CROSS SECTIONS

W. Morton Street is designated on the Thoroughfare Plan as a Minor Arterial. S. Armstrong Avenue and W. Sears Street are designated on the Thoroughfare Plan as a Major Collector. N. Barrett Avenue is designated on the Thoroughfare Plan as a Local Street.

4.0 CONCEPT PLAN

The design and development of the Property shall generally comply with the Concept Plan as depicted in Exhibit C, which is intended to provide a general representation of the location of the land use of the property.

5.0 PROPERTY OWNERS ASSOCIATION

A property owners association shall be established and shall be responsible for the ownership and maintenance of all common areas. Including all private open space areas shown on the Concept Plan. There may be a separate property owners association established for Multifamily and for retail.

6.0 MF-2, MULTI-FAMILY RESIDENTIAL DISTRICT

Except as noted below, areas designated for multi-family development on the Concept Plan shall develop in accordance with the MF-2, Multi-Family Zoning District (MF-2) as it exists or may be amended.

- A. Minimum Project Size. Two (2) acres
- B. Maximum density. Seventy-two (72) units per acre.
- C. Height Regulations.
 - a. Maximum height for the main building: five (5)-stories or Seventy-two (72) feet.
 - b. Maximum height for the detached parking garage: five (5)-stories or fifty (50) feet.
- D. Size of Yards.
 - a. Minimum front yard: Located on Sears Street, ten (10) feet.
 - b. Minimum side yard: Located on Armstrong Avenue and Barrett Avenue, ten (10) feet.
 - c. Minimum rear yard: Located on Morton Street, zero (0) feet.
 - i. Requirements listed in Section 28.31.4.B.3.a-c. shall not apply to this development.
- E. Building Separation.
 - a. Requirements listed in Section 28.31.4.B.4.a-b. shall not apply to this development.
- F. Maximum lot Coverage. Eighty-five (85) percent.
- G. Parking.

Development will provide a parking garage located on the same property as the multi-family and retail development.

 - a. Minimum Number of Parking Spaces: One and a half (1.5) spaces per unit
 - b. Visitor and leasing office parking is proposed via on-street parking with spaces located W. Sears Street.
 - c. Development shall be exempt from screening requirement for parking lots adjacent to public streets.
 - d. Development shall be exempt from parking space clearance requirement listed in Section 28.31.4.E.1.
- H. Additional Standards.
 - a. Usable open space: Minimum of eight (8) percent usable open space shall be provided.
 - b. Landscape area requirements: Minimum of ten (10) percent of the total lot area shall be devoted to a combination of landscaping (pervious surface area) and usable open space.
 - c. Refuse Facilities: a single refuse facility will serve all units on site. A compactor shall be provided at grade level for safe and convenient pickup by refuse collection and

shall be screened from public view in accordance with City standards along property line.

- d. All screening requirements shall conform to City standards and standards set forth in Section 28.50.53.
- e. A swimming pool shall be provided per section 28.31.5.F
- f. Development is exempt from Section 28.31.5.G
- g. All points of the exterior façade shall be within one hundred and fifty (150) feet horizontally of a dedicated fire lane easement, unless approved differently by authorities having jurisdiction.
- h. A 4-foot-wide paved walkway shall connect the building entry doors to the street-side parking areas. The minimum width of any sidewalk adjacent to head-in parking spaces shall be six (6) feet wide to accommodate a two (2)-foot bumper overhang for vehicles.
- i. All building address signage shall be approved by authorities having jurisdiction.
- j. Other regulations as established by article V (Development Standards) are applicable unless specifically addressed above.

7.0 LOCAL RETAIL (LR)

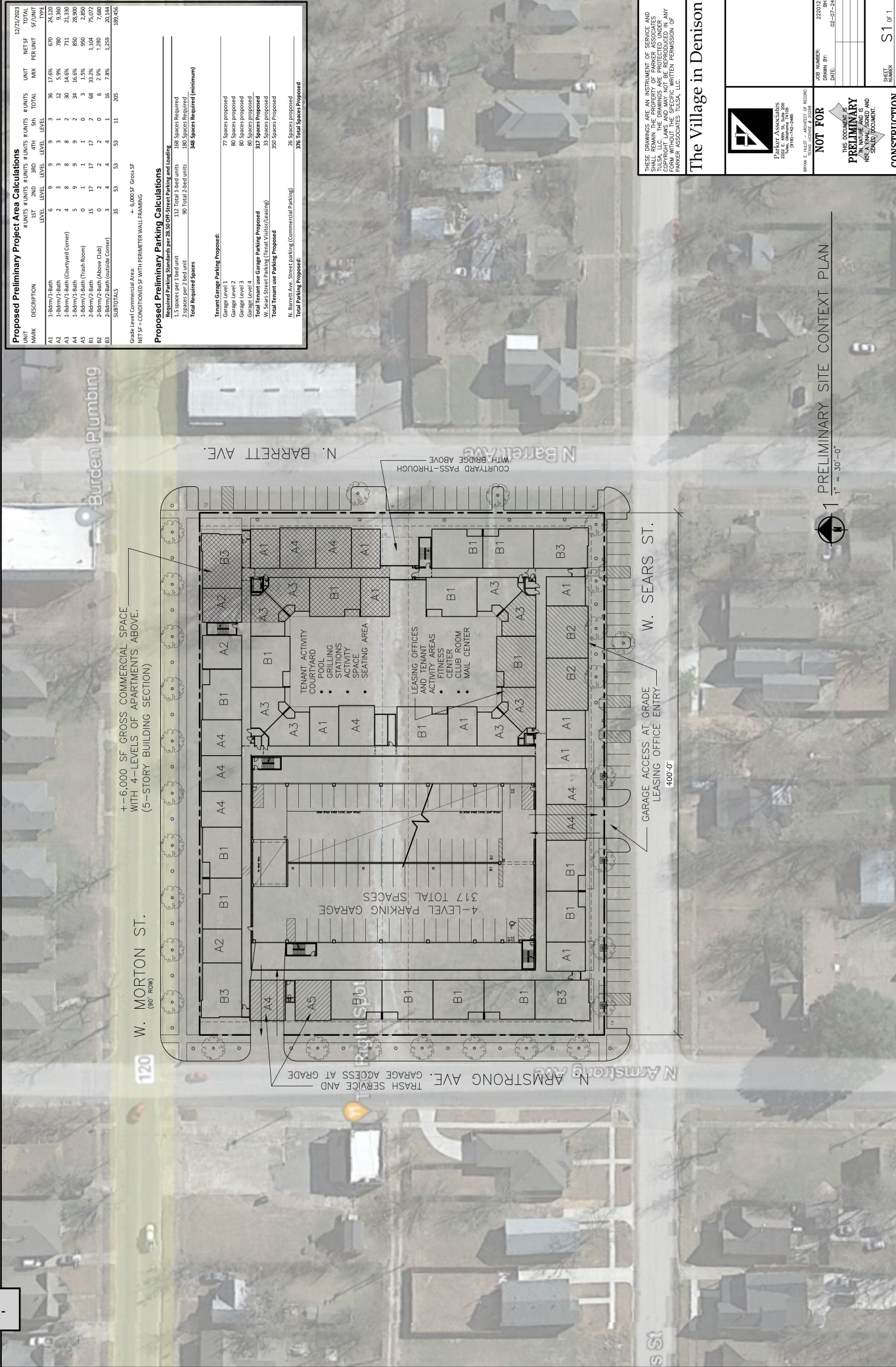
Except as noted below, areas designated as retail space on the Concept Plan shall be developed in accordance with the Local Retail Zoning District (LR) as it exists or may be amended. Approximately six thousand (6,000) square feet of the structure is dedicated to retail space. Retail space is located on the first floor in the northeast corner of the structure as depicted on Exhibit C, Concept Plan.

- A. Development is exempt from the following standards:
 - a. Height Regulations
 - b. Area Regulations
 - c. Size of yards
 - d. Maximum Lot Coverage
 - e. Floor to Area Ratio.
- B. Outside Display of Merchandise:
 - a. Shall not be placed more than 30 feet from the main building.
 - b. Shall not occupy any of the parking spaces that are provided for the retail portions of the development.
 - c. Shall not pose a safety or visibility hazard, nor impede public vehicular or pedestrian circulation, either onsite or offsite, in any way.
 - d. Shall not extend into the public street right-of-way.
 - e. All outside display items shall be removed at the end of each business day (except for large seasonal items such as living plants, Christmas trees, etc.).
 - f. All merchandise shall be displayed in a neat and orderly manner, and the display area shall be maintained in a clean, litter free manner.
- C. Permanent open storage is prohibited.
- D. Recreational vehicles, travel trailers or motor homes may not be used for onsite dwelling or non-residential purposes.

- E. Parking for Retail will be provided along N. Barrett Avenue with a minimum of 22 parking spaces. Spaces shall be head-in parking spaces with a minimum width of nine feet and a minimum depth of eighteen feet (9'x18').
- F. No designated loading or unloading zones are required, however, loading or unloading via Morton Street is prohibited.

8.0 OPEN SPACE AND AMENITIES

- A. Usable open space: Minimum of eight (8) percent usable open space shall be provided.
- B. All common and open space areas shall be owned and maintained by the Property Owners Associations (POA)
- C. A courtyard containing a pool, grilling stations, open space for activities and a seating area.
- D. Indoor amenities will include a fitness center, club room and mail center.



Proposed Preliminary Project Area Calculations

UNIT MARK	DESCRIPTION	# UNITS	# UNITS	# UNITS	# UNITS	# UNITS	# UNITS	# UNITS	NET SF	TOTAL SF
1ST	2ND	3RD	4TH	5TH	TOTAL	MARK	PER UNIT			
A1	1-Bdrm/1-Bath	2	3	3	1	12	15.9%	780	9,360	21,330
A2	1-Bdrm/1-Bath (Courtyard Corner)	4	8	8	2	30	14.6%	711	21,330	21,330
A3	1-Bdrm/1-Bath	5	9	9	2	34	16.0%	690	20,700	20,700
A4	1-Bdrm/1-Bath (Trash Room)	15	17	17	2	68	32.2%	1,104	75,072	75,072
B1	2-Bdrm/2-Bath (Above Club)	0	2	2	2	0	2.1%	1,280	7,680	7,680
B2	2-Bdrm/2-Bath (Outside Corner)	3	4	4	4	15	7.8%	1,250	20,144	20,144
B3		3	4	4	4	15	7.8%	1,250	20,144	20,144
SUBTOTALS		35	53	53	11	205				189,656

Grade Level Commercial Area: + 6,000SF Gross SF
 NET SF = CONDITIONED SF WITH PERIMETER WALL FINISHING

Proposed Preliminary Parking Calculations

1. Spaces per 1-bed unit: 133 Total 1-bed units: 186 Spaces Required

2. Spaces per 2-bed unit: 90 Total 2-bed units: 180 Spaces Required

Total Required Spaces: 366

Tenant Garage Parking Proposed:

- Garage Level 1: 77 Spaces Proposed
- Garage Level 2: 80 Spaces Proposed
- Garage Level 3: 80 Spaces Proposed
- Garage Level 4: 80 Spaces Proposed

Total Tenant use Garage Parking Proposed: 317 Spaces Proposed

W. Sears Street Parking (Tenant Visitor/Loading): 33 Spaces Proposed

Total Tenant use Parking Proposed: 350 Spaces Proposed

N. Barrett Ave. Street parking (Commercial Parking): 25 Spaces Proposed

Total Parking Proposed: 375 Total Spaces Proposed

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The Village in Denison

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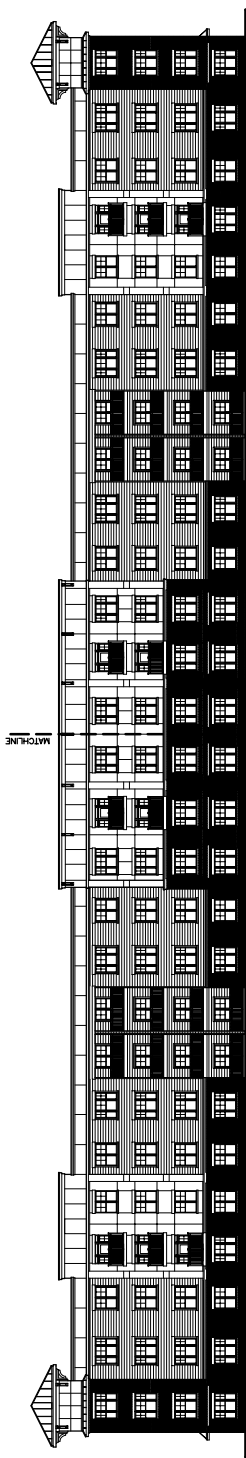
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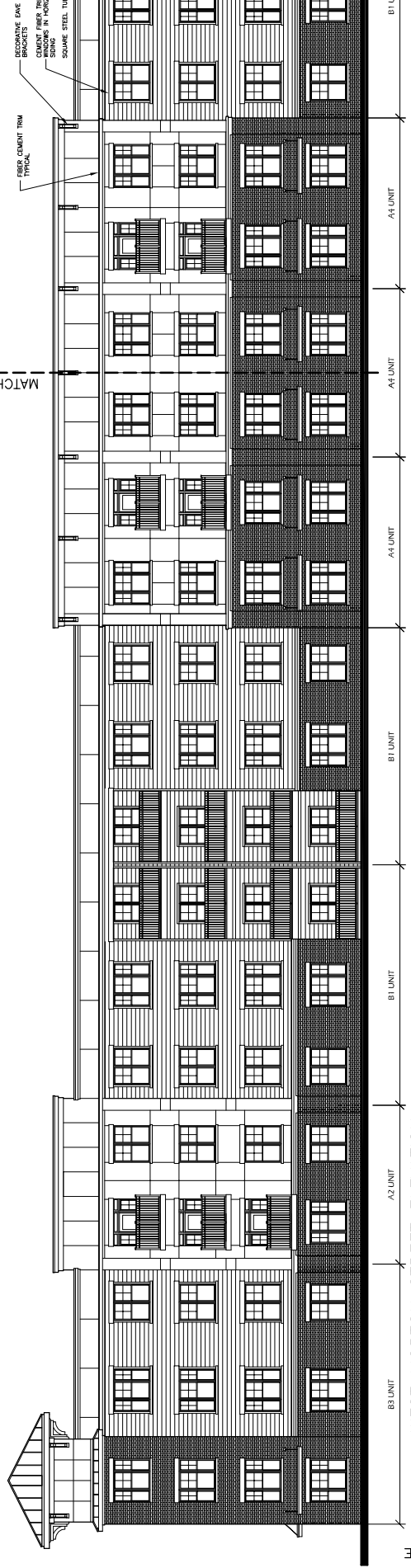
BY: [Signature]

PROJECT NUMBER: 222013

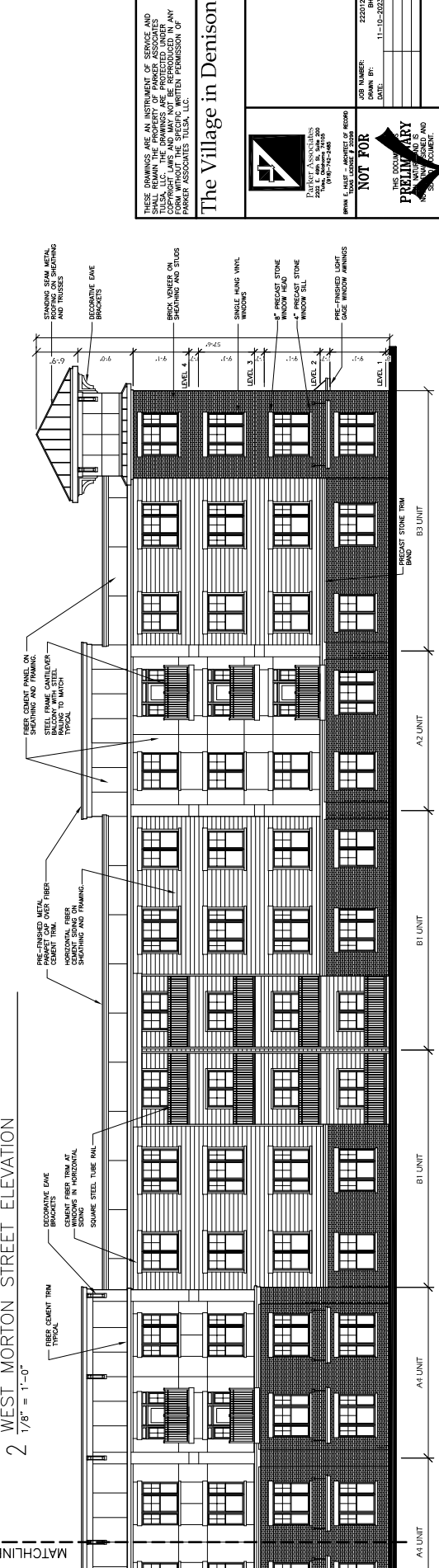
SHEET NUMBER: S1 OF 1



1 WEST MORTON STREET ELEVATION - FULL ELEVATION
 1/16" = 1'-0"



2 WEST MORTON STREET ELEVATION
 1/8" = 1'-0"



3 WEST MORTON STREET ELEVATION
 1/8" = 1'-0"

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DATE: 11-10-2023

JOB NUMBER: 220219

DRAWN BY: BH

DATE: 11-10-2023

ARCHITECT OF RECORD: PARKER ASSOCIATES TULSA, LLC

220219
 BH
 11-10-2023

SHEET NUMBER: _____

ELEV. of _____

