



CITY COUNCIL MEETING

October 02, 2024 at 6:30 PM

City Council Chambers, 16 Colomba Rd.

DeBary, Florida 32713

AGENDA

CALL TO ORDER

Invocation

Flag Salute

ROLL CALL

PUBLIC PARTICIPATION: For any items **NOT ON THE AGENDA**, citizen comments are limited to three (3) minutes per speaker. For items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

APPROVAL OF MINUTES

1. Regular City Council Meeting September 4, 2024

2. Special City Council Meeting September 18, 2024

ADDITIONS, DELETIONS OR AMENDMENTS TO THE AGENDA

NEW BUSINESS

3. The Applicant, Charles Gray, has requested a Development Order Extension for the Canterwood Assisted Living Facility project.
4. The Parks and Recreation Department is requesting Council approve the annual renewal for the Gateway Center for the Arts Facility Use Agreement.
5. Staff is requesting City Council approve the Allen & Company Land Surveying additional service proposal to the Benson Junction Road Reconstruction design and permitting contract in the amount of \$27,000.00.

COUNCIL MEMBER REPORTS / COMMUNICATIONS

Member Reports/ Communications

- A. Mayor and Council Members
- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP

Special City Council Meeting October 16, 2024, 6:30 p.m.

ADJOURN

If any person decides to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least three (3) working days in advance of the meeting date and time at (386) 668-2040.



CITY COUNCIL MEETING

September 04, 2024 at 6:30 PM

City Council Chambers, 16 Colomba Rd.

DeBary, Florida 32713

MINUTES

CALL TO ORDER: Mayor Chasez called the meeting to order at 6:30 p.m.

ROLL CALL: Mayor Chasez, Vice-Mayor Butlien, Council Members Pappalardo, Sell and Stevenson are present.

Others present: Carmen Rosamonda, City Manager; Kurt Ardaman, City Attorney; Steven Bapp, Growth Management Director; Elizabeth Bauer, Finance Director; Eric Frankton, Information Technology Director; Annette Hatch, City Clerk; and, Richard Villaseñor, City Engineer.

PUBLIC HEARINGS:

City Manager is requesting the City Council adopt Resolution No. 2024-10, to set the tentative millage rate of 3.5000 for the collection of ad valorem taxes for fiscal year 2024-2025. This tentative millage rate of 3.5000 is 26.15% higher than the rolled-back rate of 2.7744.

City Attorney read the resolution title into the record.

City Manager stated this presentation would cover both Item 1 and Item 2. He reviewed the City's millage history, fire services, a market analysis for Volusia County cities, and proposed adjustments. He also discussed the City's general fund increases for law enforcement and fire services, reviewed major projects and the fiscal year 2024-2025 budget. Options were presented for ad valorem funding and the required Council votes for each option.

Nick Koval and Steven Lynch addressed Council.

Motion by Vice-Mayor Butlien to adopt Resolution No. 2024-10 to set the tentative millage rate of 3.5000 for the collection of ad valorem taxes for fiscal year 2024-2025. Seconded by Council Member Pappalardo. Motion failed. Council Members Sell and Stevenson and Mayor Chasez; nay.

Motion by Council Member Sell to adopt Resolution No. 2024-10 to set the tentative millage rate of 3.4000 for the collection of ad valorem taxes for fiscal year 2024-2025. Seconded by Council Member Pappalardo. Motion passed unanimously.

City Manager is requesting the City Council adopt Resolution No.2024-11, approving the tentative annual operating budget for fiscal year 2024-2025.

City Attorney read the resolution title into the record.

City Manager stated the content for this item was included in the previous presentation.

No one addressed Council.

Motion by Vice-Mayor Butlien to adopt Resolution No.2024-11, approving the tentative annual operating budget for fiscal year 2024-2025. Seconded by Council Member Sell. Motion passed unanimously.

PUBLIC PARTICIPATION: For any items **NOT ON THE AGENDA**, citizen comments are limited to three (3) minutes per speaker. For items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

Joan Fowlers addressed Council.

APPROVAL OF MINUTES:

Motion by Vice-Mayor Butlien to approve the minutes of the Regular City Council Meeting August 7, 2024, and the Special City Council Meeting August 21, 2024. Seconded by Council Member Pappalardo. Motion passed unanimously.

ADDITIONS, DELETIONS OR AMENDMENTS TO THE AGENDA: None.

CONSENT AGENDA:

City Manager requests City Council approve a three-year renewal term of the cybersecurity licensing agreement with a yearly cost of \$15,886.00, and authorize the City Manager to execute the agreement.

City Manager requests Council approval to sign a three-year renewal agreement from Konica Minolta with a monthly lease cost of \$213.82 per unit and a service cost of \$240.00 per unit totaling \$10,891.68 annually for two leased Multi-Function Printer (MFP) units.

Staff is requesting City Council approve the Trail Agreement with Duke Energy Florida, LLC for Duke Energy to formally approve and allow the start of the trail construction through their power transmission easement.

City Manager is requesting City Council approve the Halifax Humane Society Animal Sheltering Services Contract for FY2024-25.

Motion by Vice-Mayor Butlien to approve Consent Agenda items five (5) through eight (8). Seconded by Council Member Pappalardo. Motion passed unanimously.

NEW BUSINESS:

City Manager is requesting City Council approve the 2024 three-year renewal of the Volusia Sheriff's Office Standard Interlocal Agreement for Provision of Law Enforcement Services to the City of DeBary.

City Manager discussed the services provided and contract renewal.

No one addressed Council.

Motion by Council Member Pappalardo to approve the 2024 three-year renewal of the Volusia Sheriff's Office Standard Interlocal Agreement. Seconded by Vice-Mayor Butlien. Motion passed unanimously.

Staff is requesting City Council approve Resolution No. 2024-16, amending the DeBary Town Center Transit Oriented Development (TOD) Project Mixed Planned Unit Development (MPUD) to annex the south 2.17 acres of Block VI into the development.

City Attorney read the resolution title into the record.

Staff reviewed the location, resolution highlights and implementation timeframe.

No one addressed Council.

Motion by Vice-Mayor Butlien to approve Resolution No. 2024-16, amending the DeBary Town Center Transit Oriented Development (TOD) Project Mixed Planned Unit Development (MPUD) to annex the south 2.17 acres of Block VI into the development. Seconded by Council Member Stevenson. Motion passed unanimously.

Staff is requesting City Council approve construction Change Orders 1 & 2 for the Ft. Florida Road reconstruction, allowing for the City Manager to sign, and for City Council to allow the City Manager to approve subsequent change orders without taking to City Council as long as there is no net cost change to previously approved City budgets for this project.

Staff reviewed the location of the project and location of the issues prompting the change orders.

No one addressed Council.

Motion by Council Member Stevenson to approve construction Change Orders 1 & 2 for the Ft. Florida Road reconstruction, allowing for the City Manager to sign, and for City Council to allow the City Manager to approve subsequent change orders without taking to City Council as long as there is no net cost change to previously approved City budgets for this project. Seconded by Vice-Mayor Butlien. Motion passed unanimously.

COUNCIL MEMBER REPORTS / COMMUNICATIONS:

Member Reports/ Communications

- A. Mayor and Council Members
- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP: Special City Council Meeting September 18, 2024

ADJOURN: The meeting was adjourned at 8:21 p.m.

APPROVED:

**CITY COUNCIL
CITY OF DEBARY, FLORIDA**

Karen Chasez, Mayor

Annette Hatch, CMC, City Clerk



SPECIAL CITY COUNCIL MEETING

September 18, 2024 at 6:30 PM

City Council Chambers, 16 Colomba Rd.

DeBary, Florida 32713

MINUTES

ROLL CALL: Mayor Chasez, Vice-Mayor Butlien, Council Members Pappalardo, Sell and Stevenson are present.

Others present: Carmen Rosamonda, City Manager; Kurt Ardaman, City Attorney; Elizabeth Bauer, Finance Director; Annette Hatch, City Clerk; David Rodriguez, Information Technology Technician; Jason Schaitz, Parks & Recreation Director, and, Richard Villaseñor, City Engineer.

PUBLIC HEARINGS:

City Manager is requesting City Council adopt Resolution No. 2024-12 to set the final millage rate of 3.4000 for the levy of ad valorem tax for fiscal year 2024-2025. The final millage rate of 3.4000 is 22.55% above the computed rolled back rate of 2.7744.

City Attorney read the resolution title into the record.

City Manager briefly discussed both the millage and proposed budget for fiscal year 2024-2025.

No one addressed Council.

Motion by Vice-Mayor Butlien to adopt Resolution No. 2024-12 to set the final millage rate of 3.4000 for the levy of ad valorem tax for fiscal year 2024-2025. Seconded by Council Member Sell. Motion passed unanimously.

City Manager is requesting City Council adopt Resolution No. 2024-13 approving the final annual operating budget for fiscal year 2024-2025.

City Attorney read the resolution title into the record.

The content for this item was included in the previous presentation.

No one addressed Council.

Motion by Vice-Mayor Butlien to adopt Resolution No. 2024-13 approving the final annual operating budget for fiscal year 2024-2025. Seconded by Council Member Pappalardo. Motion passed unanimously.

PUBLIC PARTICIPATION: For any items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

DELETIONS OR AMENDMENTS TO THE AGENDA (City Charter Sec. 4.11): None.

CONSENT AGENDA:

The Parks and Recreation Department is requesting City Council approve the attached grant application submitted by the Gateway Center for the Arts.

The Parks and Recreation Department is requesting City Council approve the Cooperative Purchasing Agreement with Nidy Sports Construction to complete future sports court work.

City Manager is requesting City Council approve after-the-fact pump rental purchase orders with Mersino Dewatering, LLC. for stormwater management during rainy and hurricane season.

Staff is requesting authorization to dispose of surplus property and removal from capital inventory as of September 30, 2024.

Motion by Vice-Mayor Butlien to approve the Consent Agenda items three (3) through six (6). Seconded by Council Member Pappalardo. Motion passed unanimously.

COUNCIL MEMBER REPORTS / COMMUNICATIONS

Member Reports/ Communications

- A. Mayor and Council Members
- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP: City Council Meeting October 2, 2024, 6:30 p.m.

ADJOURN: The meeting was adjourned at 7:11 p.m.

APPROVED:

**CITY COUNCIL
CITY OF DEBARY, FLORIDA**

Karen Chasez, Mayor

Annette Hatch, CMC, City Clerk



City Council Meeting City of DeBary AGENDA ITEM

Subject: Canterwood Assisted Living Facility Development Order Extension	Attachments: () Ordinance () Resolution () Supporting Documents/ Contracts (X) Other
From: Steven E. Bapp, AICP Growth Management Director	
Meeting Hearing Date October 2, 2024	

REQUEST

The Applicant, Charles Gray, has requested a Development Order Extension for the Canterwood Assisted Living Facility project.

PURPOSE

On September 4, 2024, the Applicant submitted their request within the 90-day expiration window and is therefore eligible to request that the City Council extend their Development Order again for a period of 720 days.

CONSIDERATIONS

On October 2, 2018, a Final Site Plan (Engineering Plans) Development Order was issued for the Canterwood Assisted Living Facility. The project site is located north of Dirksen Drive and east of US 17-92, between Memorial Park and the Circle K gas station. The project consists of a three story Assisted Living Facility that is approximately 122,000 square feet in size and 120 beds/rooms, and includes a passive recreation area and walking trail that will connect into Memorial Park to the east.

Land Development Code (LDC) Chapter 3, Article I, Section 3.4(f)(4)d provides for the extension of Development Orders. 90 days before and after the expiration of a Development Order, the applicant may request an extension of the Development Order. The City Council may approve an extension of the Development Order for a period of time not to exceed 720 days and may attach such conditions as the Council deems appropriate.

On February 5, 2020, the City Council granted an extension for this Final Development Order through September 26, 2021. On September 1, 2021, the City Council granted a second conditional extension for this Final Development Order through August 29, 2022. On October 19, 2022, the Council granted a third conditional extension for this Final Development Order through October 23, 2023. On October 4, 2023, the Council granted a fourth conditional extension for this Final Development Order through September 29, 2024.

COST/FUNDING

N/A

RECOMMENDATION

Staff recommends the City Council approve the extension request for the Canterwood Final Site Plan for an additional 720 days.

IMPLEMENTATION

The applicant would need to begin moving forward with the project and meeting the conditions described on the Development Order.

ATTACHMENTS

- Engineering Plans
- Issued Development Orders

CONSTRUCTION PLANS FOR CANTERWOOD MANOR AT DEBARY

(ORIGINAL PLAN SUBMITTAL: FEBRUARY 2, 2018)
(REVISED PLAN SUBMITTAL: AUGUST 6, 2018)

SITE DATA

PROPERTY LOCATION: 32 DIRKSEN ROAD, DEBARY, FLORIDA 32713
PARCEL ID No.: 03-19-30-00-00-0240

OVERALL SITE AREA: 7.888± ACRES
PROJECT DEVELOPED AREA: 5.631± ACRES

EXISTING FUTURE LAND USE: C/R, COMMERCIAL RETAIL

EXISTING ZONING: BPUD
EXISTING USE: RESIDENTIAL

PROPOSED USE:
3-STORY ASSISTED CONGREGATE LIVING AND MEMORY CARE FACILITY
120 BEDS/ROOMS ALF
122,322 S.F. OVERALL FACILITY (40,774 SF/STORY)

BUILDING HEIGHT:
MAXIMUM & PROPOSED: 40 FEET (WITH AN ADDITIONAL 5 FOOT
PARAPET ALLOWANCE FOR MECHANICAL
SCREENING AND ARCHITECTURAL STYLIZATION
(MAX 3 STORIES)

PROPOSED DEVELOPMENT:

40,774 SF	16.62%	PROPOSED BUILDING (FOOTPRINT)
74,234 SF	30.26%	IMPERVIOUS SURFACES(PAVEMENT, SIDEWALK, STABILIZATION ETC.)
7,412 SF	3.03%	WATER FEATURE
122,420 SF	49.91%	TOTAL IMPERVIOUS AREA
15,798 SF	6.44%	DRY STORM WATER POND
107,087 SF	43.65%	PERVIOUS AREA (OPEN SPACE)
245,305 SF	100.00%	DEVELOPED ACREAGE TOTAL (5.631 AC)

FLOOR AREA RATIO:
MAXIMUM FAR: 0.50
PROPOSED FAR: 0.4987 (40,774 SF X THREE STORIES / SITE AREA 245,305 SF)

PARKING

1 SPACE PER 4 BEDS AND 1 SPACE PER EMPLOYEE
AND/OR VISITING DOCTORS ON LARGEST SHIFT
PARKING REQUIRED (120 BEDS/4 + 30 EMPLOYEES + 3 VISITING DOCTORS) 63 SPACES
TOTAL PARKING REQUIRED 63 SPACES
SPACES REQUIRED TO BE RESERVED FOR HANDICAP 3 SPACES

PARKING PROVIDED
STANDARD PARKING SPACES 75 SPACES
HANDICAP PARKING 5 SPACES
TOTAL PARKING PROVIDED 80 SPACES

BUILDING SETBACKS (REQUIRED)

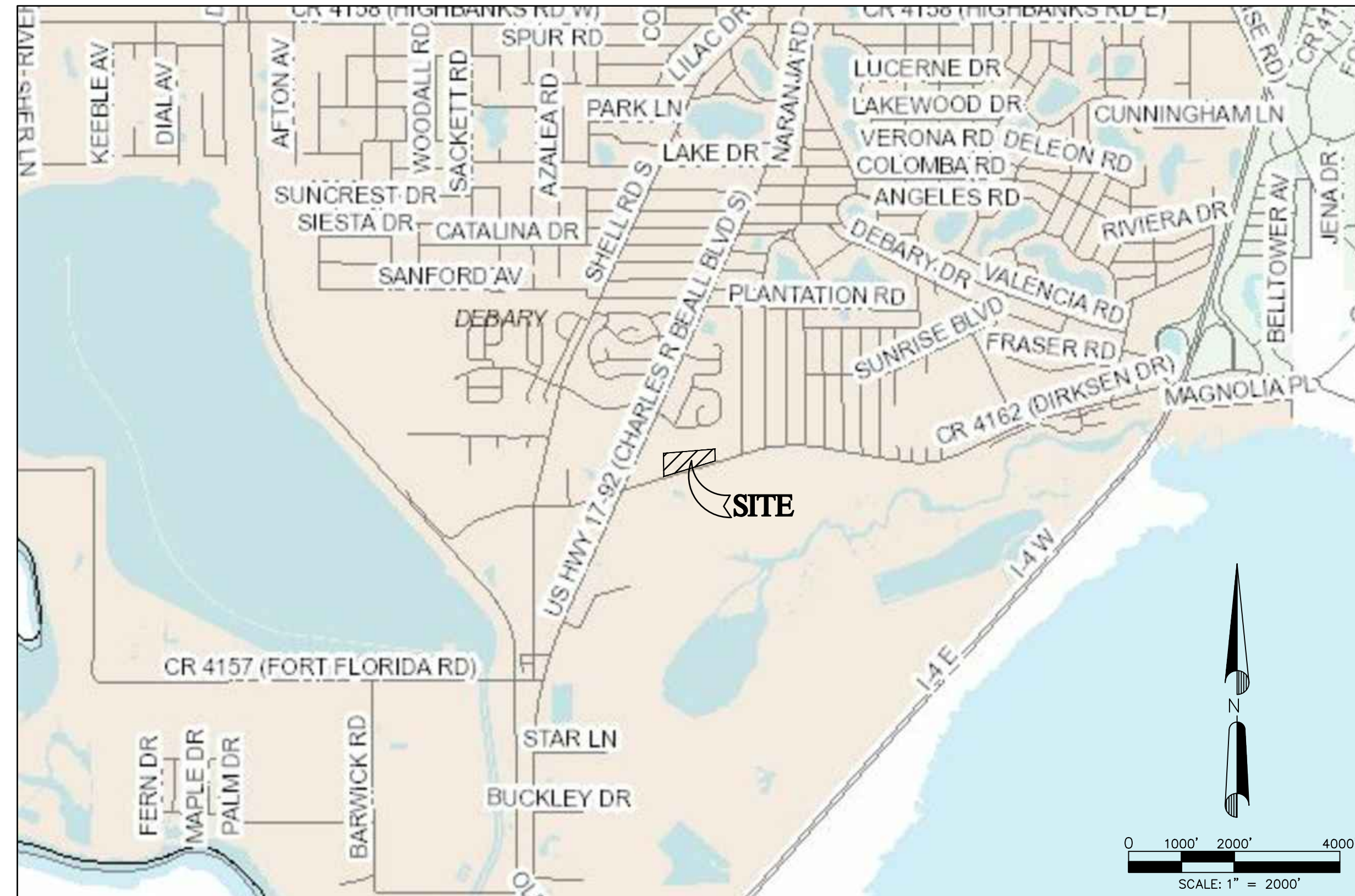
FRONT (DIRKSEN DRIVE)	35'	FRONT (DIRKSEN DRIVE)	51.7'
SIDE (EAST)	10'	SIDE (EAST)	160.2'
SIDE (WEST)	10'	SIDE (WEST)	413'
REAR (NORTH)	35'	REAR (NORTH)	59.2'

BUFFER YARDS (REQUIRED)

FRONT (DIRKSEN DRIVE)	10'	FRONT (DIRKSEN DRIVE)	10'
SIDE (EAST)	10'	SIDE (EAST)	10'
SIDE (WEST)	10'	SIDE (WEST)	10'
REAR (NORTH)	35'	REAR (NORTH)	35'

UTILITY PROVIDERS

POTABLE WATER: VOLUSIA COUNTY
WASTEWATER: VOLUSIA COUNTY



VICINITY MAP

APPLICANT:

MJM ASSOCIATES, LLC
1030 N. ORANGE AVENUE
ORLANDO, FLORIDA 32801
CONTACT: JOEL HASS
PH: (407) 718-0546
EMAIL: jhass@mjmassocllc.com

OWNER:

J. CHARLES & SANDRA H. GRAY
263 BAYOU CIRCLE
DEBARY, FLORIDA 32713
CONTACT: CHARLES GRAY
PH: (407) 843-8880
EMAIL: Charlie.Gray@gray-robinson.com

DEVELOPER:

GREEN LEAF DEVELOPMENT, LLC
1344 HARDY AVENUE
ORLANDO, FL 32803
CONTACT: GREG HUDAK, PE
PH: (407) 492-6833
EMAIL: ghudak@hudakengineering.com

ARCHITECT:

HASKELL
111 RIVERSIDE AVENUE
JACKSONVILLE, FLORIDA 32202
PH: (904) 791-4500

ENGINEER:

HUDAK ENGINEERING, INC.
1344 HARDY AVENUE
ORLANDO, FL 32803
CONTACT: GREG HUDAK, PE
PH: (407) 492-6833
EMAIL: ghudak@hudakengineering.com

LANDSCAPE ARCHITECT:

LANDSCAPE DYNAMICS, INC.
PO BOX 2852
WINTER PARK, FLORIDA 32790-2852
CONTACT: RANDY BUCHANAN, RLA
PH: (407) 579-1811
EMAIL: randy@landscapedynamics.com

SURVEYOR:

HARTLEY SURVEYING, INC.
283 TIGER LILLY COURT
ALTAMONTE SPRINGS, FLORIDA 32714
CONTACT: JEFF L. HARTLEY, PSM
PH: (407) 383-6978
EMAIL: jhartley@cf.rr.com

LEGAL DESCRIPTION

LEGAL DESCRIPTION - ALTKEY 2465077

THE EAST 125 FEET OF THE WEST 375 FEET OF LOT 3, LYING NORTH OF DIRKSEN DRIVE, ASSESSOR'S SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, ACCORDING TO MAP IN MAP BOOK 3, PAGE 3

LEGAL DESCRIPTION - ALTKEY 2465093

THE EAST 200 FEET OF THE WEST 575 FEET OF LOT 3, LYING NORTH OF DIRKSEN DRIVE, ASSESSOR'S SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, ACCORDING TO MAP IN MAP BOOK 3, PAGE 3

LEGAL DESCRIPTION - ALTKEY 5444686

THE WEST 250 FEET OF LOT 3, LYING NORTH OF DIRKSEN DRIVE, ASSESSOR'S SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, ACCORDING TO MAP IN MAP BOOK 3, PAGE 3

LEGAL DESCRIPTION - ALTKEY 5444694

THE EAST 394.69 FEET OF THE WEST 969.69 FEET LYING NORTH OF COUNTY ROAD, OF LOT 3, ASSESSOR'S SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, ACCORDING TO MAP IN MAP BOOK 3, PAGE 3

LEGAL DESCRIPTION - ALTKEY 5892174

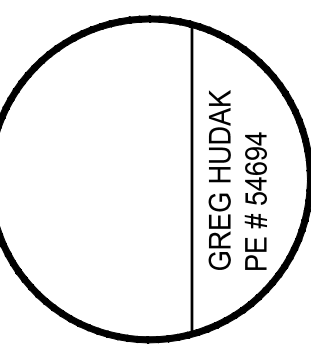
A PARCEL OF LAND LYING IN SECTION 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA AND BEING A PART OF TRACTS "C" AND "D" OF "PARKVIEW SUBDIVISION" AS RECORDED IN MAP BOOK 45, PAGES 97 & 98, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT "C" ALSO KNOWN AS THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3, RUN THENCE N 00°57'25" W ALONG THE WEST LINE OF SAID TRACT "C" ALSO KNOWN AS THE WEST LINE OF SAID NORTHWEST 1/4 A DISTANCE 40.99 FEET; RUN THENCE N 79°34'39" E ALONG THE SOUTHERLY LINE OF A 260.0 FOOT WIDE FLORIDA POWER COMMISSION EASEMENT PER OFFICIAL RECORDS BOOK 1745, PAGE 1655, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, A DISTANCE OF 952.20 FEET; RUN THENCE S 01°50'30" E A DISTANCE OF 141.95 FEET; RUN THENCE S 85°39'41" W ALONG THE SOUTHERLY LINE OF SAID TRACTS "C" AND "D" ALSO KNOWN AS THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 3, A DISTANCE OF 943.17 FEET TO THE POINT OF BEGINNING.

INDEX OF SHEETS

SHEET No.	SHEET TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	STORMWATER POLLUTION PREVENTION PLAN
C-4	PRE-DEVELOPMENT DRAINAGE MAP
C-5	POST-DEVELOPMENT DRAINAGE MAP
C-6	SITE GEOMETRY PLAN
C-7	DRAINAGE SYSTEM PLAN
C-8	PAVING & GRADING PLAN (1 OF 2)
C-9	PAVING & GRADING PLAN (2 OF 2)
C-10	SITE CROSS SECTIONS
C-11	UTILITY PLAN (SANITARY SEWER SERVICE)
C-11A	UTILITY PLAN (POTABLE WATER AND FIRE SERVICE)
C-11B	UTILITY CONFLICTS PLAN
C-12	UTILITY DETAILS
C-13	UTILITY DETAILS
C-14	STANDARD DETAILS
C-15	LIFT STATION PLAN
C-16	DIRKSEN DRIVE RIGHT-OF-WAY IMPROVEMENT PLAN
C-17	DIRKSEN DRIVE CROSS SECTIONS
TM-1	TREE MITIGATION PLAN
L-1	LANDSCAPE PLAN
L-2	* LANDSCAPE DETAILS
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION DETAILS
H-1	HARDSCAPE PLAN
*	BOUNDARY & TOPOGRAPHIC SURVEY
*	PHOTOMETRIC/LIGHTING PLAN
	ATTACHED

DATE	REVISIONS:

DRAWN BY	SMV	GDH	GDH	GDH
DESIGN BY				
CHECKED BY				
APPROVED BY				



CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 492-6833
EMAIL: ghudak@hudakengineering.com

DATE:
JANUARY 2018

SHEET No.
C-1
1 of 17

CLEARING, EXCAVATING, GRADING AND PAVING GENERAL NOTES

- FOR IDENTIFICATION OF CONTRACTUAL AGREEMENTS, THE SET OF DRAWINGS IS DATED JANUARY 2018. ANY REVISIONS THEREAFTER WILL BE NOTED AND DATED ON THE AFFECTED DRAWING(S).
- UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION AS SHOWN ON THE SURVEY PLAN HAS BEEN OBTAINED BY SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER WILL FIELD VERIFY THE UTILITIES TO THE BEST OF HIS ABILITY, HOWEVER ALL UTILITIES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES THAT INTERFERE WITH THE PROPOSED ON SITE CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS, ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACTOR, AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- SSOCOF**
FLORIDA LAW (F.S. 553.851) AND (F.S. 556) SSOCOF 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION. THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, DRILLING, BORING, AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- TRENCH SAFETY**
CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.650, SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62, FLORIDA STATUTES.
- THE BOUNDARY, TOPOGRAPHIC SURVEY, AND EXISTING CONDITIONS INFORMATION HAS BEEN PROVIDED TO THE OWNER BY HARTLEY SURVEYING, INC. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION PROVIDED.
- GEOTECHNICAL INFORMATION, INCLUDING WATER TABLE ELEVATIONS AND SITE PREPARATION RECOMMENDATIONS, HAVE BEEN FURNISHED TO THE OWNER AND ENGINEER BY CAVIN GEOTECHNICAL & ENVIRONMENTAL, LLC. THE CONTRACTOR IS DIRECTED TO OBTAIN COPIES OF THE REPORT AND COMPLY WITH ALL RECOMMENDATION THEREIN.
- THE CONTRACTOR IS DIRECTED TO OBTAIN A COPY OF ALL PERMITS INCLUDING PERMITS ISSUED BY THE WATER MANAGEMENT DISTRICT, THE CITY AND FDEP, IF APPLICABLE. THE CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
- THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- NO VIBRATORY ROLLERS OR OTHER SIMILAR EQUIPMENT THAT COULD DAMAGE ADJACENT BUILDINGS OR RESIDENCES SHALL BE USED ON THIS PROJECT. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INSTRUCTIONS AND SHALL CONFER WITH THE GEOTECHNICAL ENGINEER, AND OWNER TO DETERMINE WHAT METHODS OF COMPACTION ARE SATISFACTORY. IF REPORTS OF DAMAGE TO ADJACENT PROPERTIES ARE RECEIVED, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY UNTIL THE OWNER INVESTIGATE THE CLAIM AND PROVIDE INSTRUCTIONS.
- CLEAN SAND SUITABLE FOR FILL SHALL BE USED AS DIRECTED BY THE GEOTECHNICAL REPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE.
- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT AND INSPECT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS WHICH MAY AFFECT HIS BID.
- THE CONTRACTOR SHALL BASE HIS BID ON HIS OWN ESTIMATE OF QUANTITIES, INCLUDING PIPE LENGTHS, PAVEMENT QUANTITIES, AND EXCAVATION AND BACKFILL QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT BORROW FILL NEEDED, AND FOR REMOVAL AND DISPOSAL OF EXCESS OR UNSUITABLE MATERIALS.
- THE LIMITS OF DISTURBANCE HAVE BEEN PROVIDED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB WETLAND AREAS, IF ANY, OUTSIDE THE SILT FENCE. THE CONTRACTOR SHALL NOT DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF WETLAND OR OTHER DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR IMMEDIATELY. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
- ALL TREES, BRUSH AND ORGANIC MATERIAL CLEARED FROM THIS SITE SHALL BE DISPOSED OF OFFSITE AT A PERMITTED LANDFILL OR DISPOSAL SITE.
- ALL AREAS TO RECEIVE FILL, WHETHER OPEN AREA, UNDER PAVEMENT OR STRUCTURES, SHALL FIRST BE STRIPPED OF ORGANIC MATERIAL BEFORE FILLING IS COMMENCED. FILL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98% MAXIMUM DENSITY IN AREAS UNDER PAVEMENT AND AROUND ALL STRUCTURES. THE CONTRACTOR IS DIRECTED TO OBTAIN A COPY OF THE SOIL REPORT AND AND COMPLY WITH ALL RECOMMENDATIONS THEREIN.
- THE CONTRACTOR SHALL BE EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY AS TO NOT CAUSE ANY ADVERSE IMPACT FORM RUNOFF OR SILTATION TO ANY ADJACENT PROPERTIES. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED IF REQUIRED AT THE END OF EACH WORKING DAY. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
- ALL PAVING SURFACES SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION GENERALLY SHOWN BY THE FLOW ARROWS OR TYPICAL SECTION. NO PUDDLING OR "BIRD BATH" WILL BE ACCEPTED IN THE PAVEMENT AREAS. PAVED SURFACES SHALL ALSO BE GRADED TO PROVIDE A SMOOTH DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT FLOW LINE GRADES TO INTERSECTIONS AND ENTRANCE AND EXIT FLOW LINE GRADES TO INTERSECTIONS WILL BE DETERMINED IN THE FIELD AND ADJUSTMENTS MAY BE NECESSARY TO ACCOMPLISH THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE TO ACCOMPLISH THIS PURPOSE. ANY APPARENT DISCREPANCIES BETWEEN THE FLOW ARROWS AND SLOPES OR SPOT ELEVATIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR EXPLANATION AND/OR CLARIFICATION.
- MATERIALS AND METHODS FOR STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY CODES AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1991, OR LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THERETO. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED ON THE PLANS. ALL F.D.O.T., "C", "D", "E" AND "F" INLETS SHALL BE EQUIPPED WITH STEEL RETICULIN GRATE AND LIFTING CHAINS PER F.D.O.T. STANDARDS, WHERE APPROPRIATE. YARD INLETS MAY BE EQUIPPED WITH CAST IRON GRATES, IF THEY ARE NOT SUBJECT TO TRAFFIC. INLET WALL THICKNESS SHALL BE PER F.D.O.T.
- MATERIALS AND CONSTRUCTION METHODS FOR PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND THE LATEST EDITION OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS THERETO; AND IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL SOD SIDE SLOPES OF POND AND SEED POND BOTTOM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE VARIOUS GRADING, DRAINAGE AND PAVING WORK TO ACCOMPLISH THE PROPER FUNCTIONING OF THE SITE IMPROVEMENTS TO PREVENT WATER FROM PONDING OR STANDING ON SIDEWALK OR PAVEMENT AREAS. SOD SHALL BE INSTALLED 0.2' BELOW THE EDGE OF ADJACENT PAVEMENT OR SIDEWALK.
- SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE MATERIALS AND STRUCTURES ARE TO BE SUBMITTED AND APPROVED BY THE OWNERS REPRESENTATIVE OR ENGINEER PRIOR TO ORDERING THE MATERIAL REQUIRED FOR CONSTRUCTION.
- ALL STORM WATER PIPES 24 INCHES OR MORE IN DIAMETER WHICH DISCHARGE INTO DRY RETENTION BASIN AREAS SHALL BE CHILD PROOFED WITH GRATES AS DESIGNATED IN F.D.O.T. INDEX 273. MAXIMUM OPENING BETWEEN BARS SHALL BE 4". OUTFALLS TO DRY RETENTION BASINS SHALL BE EQUIPPED WITH ENERGY DISSIPATORS OR SPLASH PADS AS SHOWN ON THE DETAIL SHEETS.
- REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION.
- SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4" THICK CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. JOINTS SHALL BE EITHER TOOLED OR SAW CUT AT EVERY A DISTANCE EQUAL TO THE WIDTH OF THE SIDEWALK.
- CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE A F.L.A. DEPARTMENT OF TRANSPORTATION CLASS "1" CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 5' - 0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
- CONTRACTOR TO SAW-CUT AREAS WHERE PAVEMENT OR CURBING OR CONCRETE, ETC. IS TO BE REMOVED.
- AT LEAST TWO WEEKS PRIOR TO FINAL COMPLETION, THE CONTRACTOR SHALL FURNISH THE ENGINEER COPIES OF AS-BUILT PLANS OF THE ENTIRE SITE DELINEATING ALL CHANGES, IF ANY, TO THESE CONSTRUCTION PLANS. THE AS-BUILT PLANS COULD BE PROVIDED AS "RED-LINED" SET WITH A STATEMENT OF VERIFICATION OR BY A REGISTERED SURVEYOR.
- ALL STORMWATER PIPE JOINTS WILL BE WRAPPED WITH FILTER FABRIC REGARDLESS OF MATERIAL.
- ALL WORK SHALL CONFORM TO THE LATEST VOLUSIA COUNTY UTILITY & STREET SPECIFICATIONS.

SANITARY SEWER AND WATER SYSTEM NOTES:

- ALL PVC PRESSURE SYSTEMS SHALL BE LOCATED WITH METAL WIRE ACCORDING TO THE VOLUSIA COUNTY STANDARD DETAIL FOR MARKING A PRESSURIZED MAIN.
- A MINIMUM THREE (3) FOOT COVER SHALL BE MAINTAINED OVER ALL PROPOSED UTILITY LINES.
- ALL PVC PIPE SHALL COMFORM TO ASTM 1785 & ASTM 2241.

WATER DISTRIBUTION NOTES:

- ALL P.V.C. WATER MAINS SHALL BE IN ACCORDANCE WITH AWWA STD. C900, MIN. WORKING PRESSURE OF 150 P.S.I. AND A DIMENSION RATIO (DR) OF 18.
- ALL DUCTILE IRON WATER MAINS SHALL BE IN ACCORDANCE WITH ANSI/AWWA A21.51/C151 CLASS 50 PIPE.
- HYDROSTATIC AND LEAKAGE TESTING SHALL BE PERFORMED ON ALL NEWLY INSTALLED WATER MAINS AND APPURTENANCES. THE TEST SHALL BE IN ACCORDANCE WITH AWWA C600 OR M23 AS APPLICABLE.
- THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651.
- ALL P.V.C. PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER USE.

PIPE SPECIFICATIONS:

PVC PIPE

ALL PVC PIPE OF NOMINAL DIAMETER SIX (6) THROUGH TWELVE (12) INCHES SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C900, LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150 PSI AND SHALL HAVE A DIMENSION RATION (DR) OF 18. PIPE SHALL BE THE SAME O.D. AS DUCTILE IRON PIPE. PVC PIPE OF NOMINAL DIAMETER FOR (4) INCHES SHALL BE POLYUBUTING.

MARKINGS

ALL PVC PIPE USED FOR POTABLE WATER USE WILL BEAR THE NSF LOGO.

DISINFECTION

BEFORE THE POTABLE WATER SYSTEM IS PLACED IN SERVICE, ALL WATER MAINS SHALL BE CHLORINATED IN ACCORDANCE WITH THE VOLUSIA COUNTY STANDARDS AND SPECIFICATIONS, AND THE PROCEDURES OUTLINED IN AWWA C-651 STANDARD PROCEDURE FOR DISINFECTING WATER MAINS.

PRESSURE TESTS

ALL NEWLY-INSTALLED WATER DISTRIBUTION PIPE AND APPURTENANCES SHALL HAVE HYDROSTATIC TESTS CONDUCTED ON THEM. THE TESTS SHALL BE PRESSURE TESTS AND LEAKAGE TESTS DONE IN ACCORDANCE WITH VOLUSIA COUNTY STANDARDS AND SPECIFICATIONS, ALSO COVERING ALL PROVISIONS OF AWWA C600.

Utility Separation - Vertical Clearance

1. Where water and gravity sanitary sewer mains cross with less than 12 inches vertical clearance, or the sanitary sewer main is above the water main, then the sanitary sewer will be 20 feet, centered on the point of crossing, of either:

- A. ductile iron pipe and hydrostatically pressure tested, or;
- B. concrete encased vitrified clay; or
- C. PVC pipe upgraded to water main standards and pressure tested.

2. Where water mains and storm sewer pipes cross with less than 12 inches vertical clearance, or the storm main is above the water main, then the water main shall be 20 feet of ductile iron pipe centered on the point of crossing.

Utility Separation - Horizontal Separation

3. When a water main parallels a gravity sanitary sewer main, a separation (measured edge to edge) of at least ten feet should be maintained. Where this separation is not met, one of the following must occur:

- A. the water main is laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer at such an elevation that the bottom of the water main is at least 12 inches above the top of the sewer, or;
- B. if both sanitary sewer and potable water mains are proposed and the above (A) is not met, the sanitary sewer pipes shall be upgraded to the equivalent pipe material as the water main and pressure tested.
- C. if the sanitary sewer is existing and the potable water main is proposed, the water main shall, at a minimum, be upgraded to ductile iron pipe, constructed in separate trenches, laid at a higher elevation than the sanitary sewer, and utilize staggered joints.

4. Where water mains parallel storm sewer pipes with less than 10 feet horizontal clearance, the water main shall be AWWA C150/C151 ductile iron in those locations.

5. Separation requirements of 10 feet horizontal and 12 inches vertical clearance between force mains and potable water mains must be maintained unless approved in advance by the Department.

6. Where water mains and unrestricted access reuse pipes cross with less than 12 inches vertical clearance or 3 feet horizontal clearance, the unrestricted access reuse main shall be upgraded and hydrostatically tested in the same manner as gravity sanitary sewer mains (see A. above).

7. Separation requirements between potable water mains and any type of reuse mains other than unrestricted access reuse is 10 feet horizontal and 12 inches vertical clearance, with mitigation allowed when approved in advance by the Department.

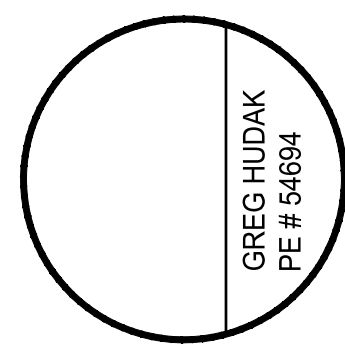
NOTES:

- ALL SITE AND UTILITY CONSTRUCTION SHALL CONFORM TO THE VOLUSIA COUNTY ENGINEERING STANDARDS MANUAL, LAND DEVELOPMENT CODE AND COUNTY DETAILS.
- IF THERE ARE ANY CONFLICTS BETWEEN THE COUNTY STANDARDS AND STANDARDS IN THE GENERAL NOTES, THE MOST STRINGENT STANDARD SHALL BE FOLLOWED.
- STORM DRAINAGE STRUCTURES AND PIPES INSTALLED FOR THIS PROJECT SHALL BE INSPECTED AND ACCEPTED BY THE ENGINEER OF RECORD AND THE CITY ENGINEER PRIOR TO FINAL PAVING OR SURFACE RESTORATION. PRIOR TO FINAL ACCEPTANCE, STORM PIPES INSTALLED FOR THIS PROJECT SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) CAMERA. THE CCTV INSPECTION SHALL BE COMPLETED BY A FIRM WITH PERSONNEL THAT SPECIALIZES IN THIS TYPE OF WORK AND MUST BE APPROVED BY THE ENGINEER OF RECORD BEFORE FINAL ACCEPTANCE OF THE PROJECT.

GENERAL NOTES

DATE	REVISIONS:

DRAWN BY	SMV
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH

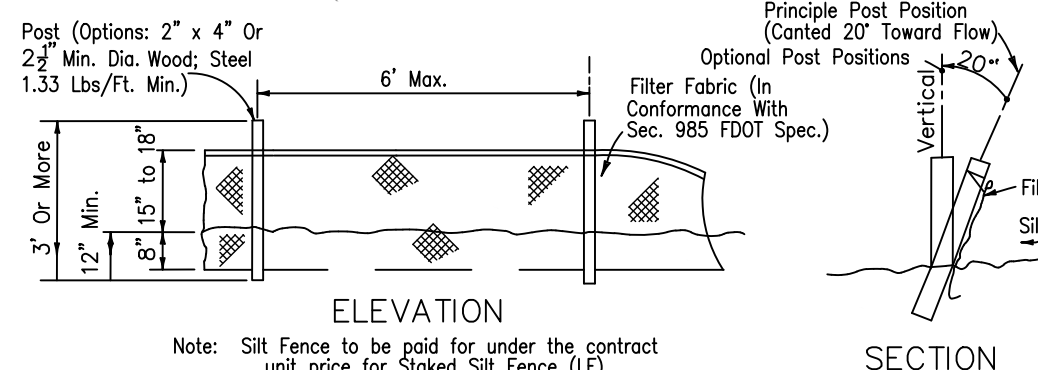


CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

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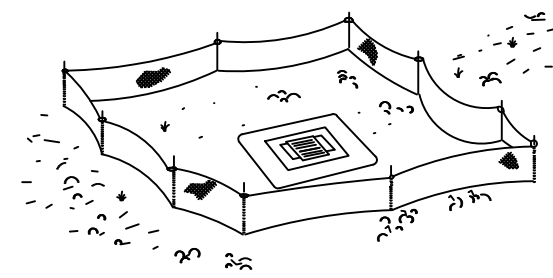
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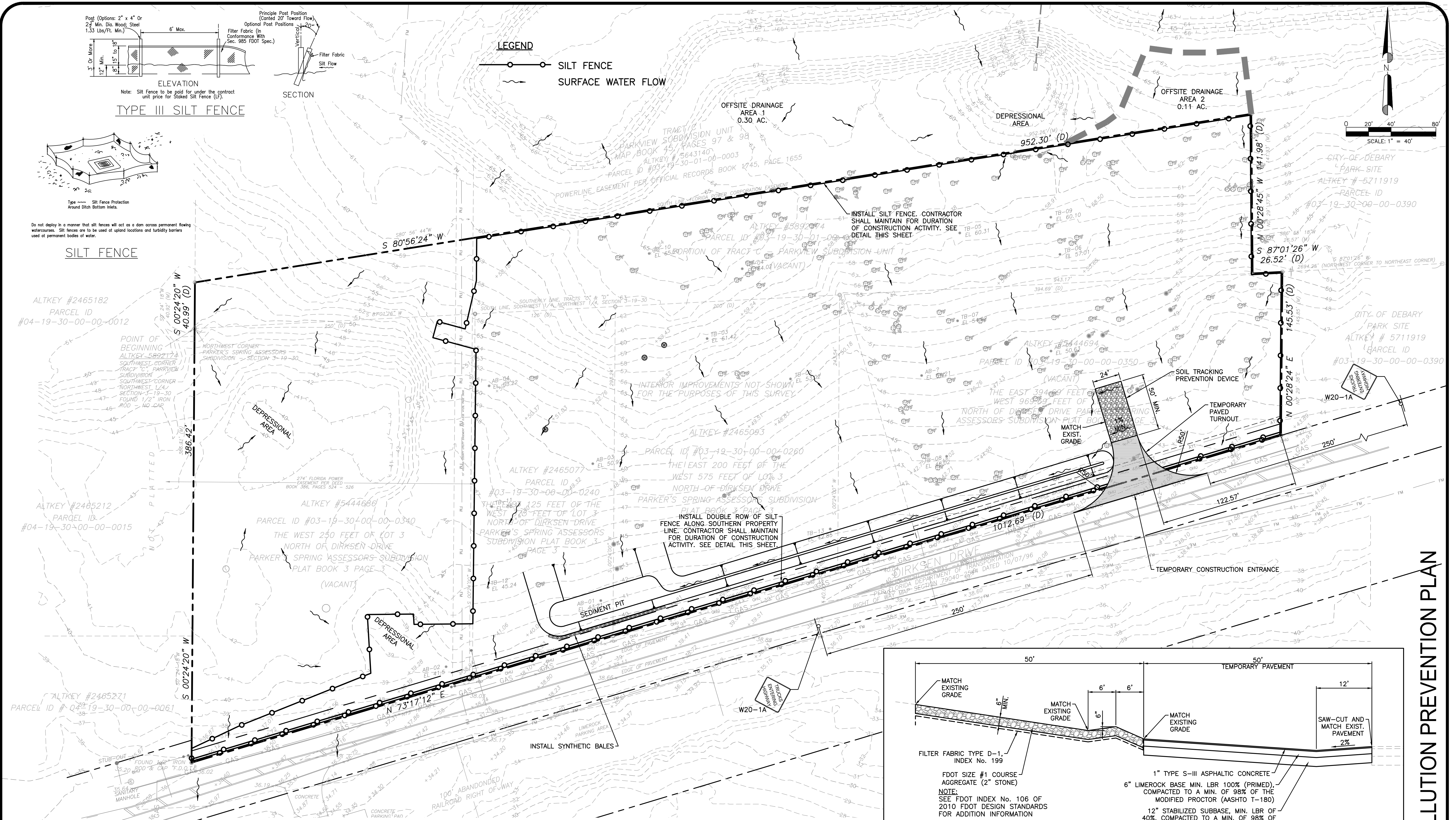
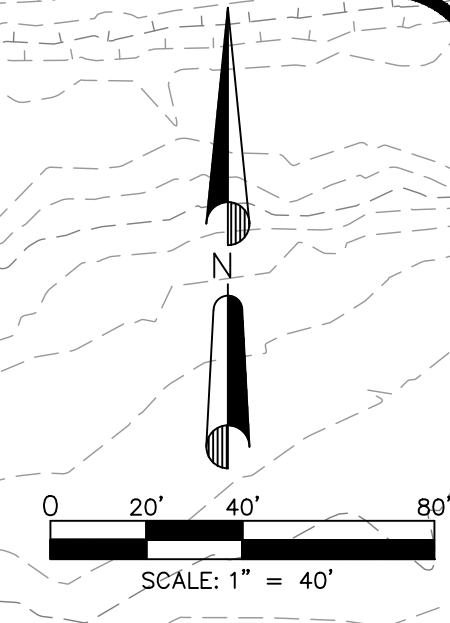
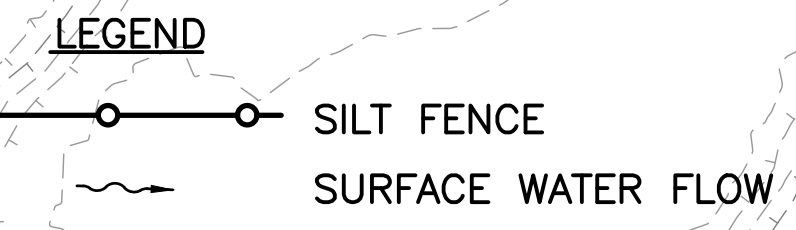
Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE



SILT FENCE

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

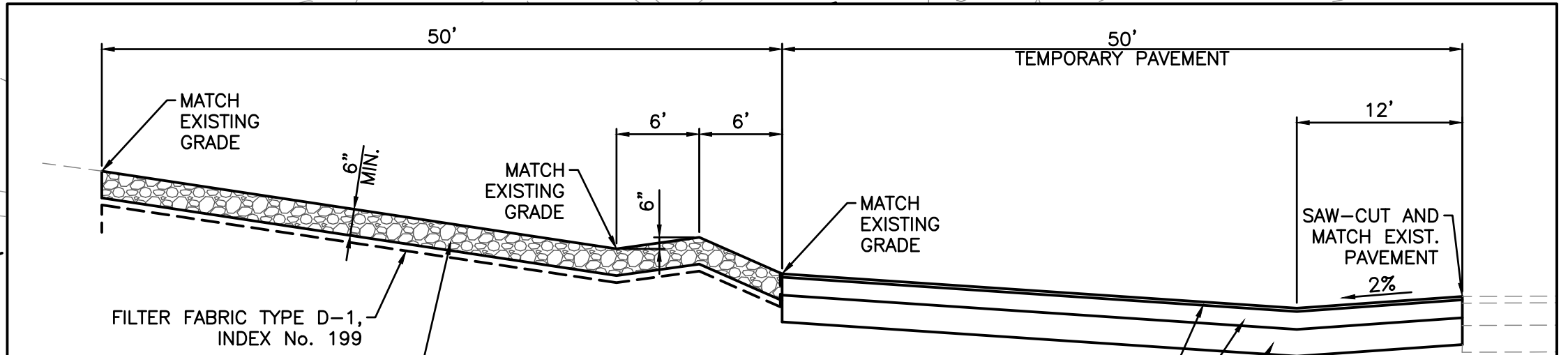


EROSION CONTROL PLAN NOTES:

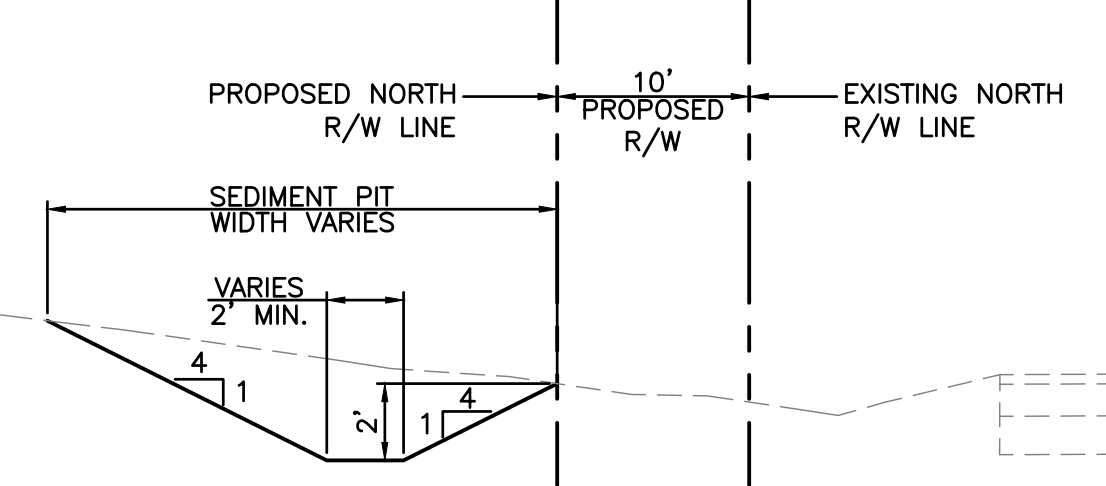
- Stockpiling Material**
No excavated material shall be stockpiled in such a manner as to direct runoff directly off the project site or into any adjacent water body or stormwater collection facility.
- Silt Barriers**
The Contractor shall provide FDOT type III silt fence around the perimeter of the construction area.
- Inlet Protection**
Inlets and catch basins shall be protected with synthetic bales to conform to FDOT standards from sediment laden storm runoff until the completion of all construction operations that may contribute sediment to the inlet.

- Temporary Seeding**
Areas opened by the construction operations and that are not anticipated to be dressed and receive final grassing treatment within thirty days shall be seeded with a quick growing grass species which will provide an early cover during the season in which it is planted, and will not later compete with the permanent grassing. The rate of seeding shall be 30 lb. per acre.
- Temporary Seeding and Mulching**
Slopes steeper than 6:1 that fall within the category established in 4 above, shall additionally receive mulching of approximately 2 inches loose measure of mulch material cut into the soil of the seeded area to a depth of four inches.
- Temporary Grassing**
The seeded or seeded and mulched area(s) shall be rolled and watered as required to assure optimum growing conditions for the establishment of a good grass cover.
- Temporary Regrassing**
If, after fourteen days, the temporary grassed areas have not attained a minimum of 75% good grass cover, the area will be reworked and additional seed applied sufficient to establish the desired vegetation cover.

- Maintenance**
All features of the project shall be constructed to prevent erosion and sediment and shall be maintained during the life of the construction so as to function properly without the transport of sediments outside the limits of the project.
- F.D.O.T. Standards**
Silt barrier and inlet protection shall conform to FDOT Index 102.
- Inspections**
Construction site will be inspected for erosion problems daily and after each rainfall greater than 0.5 inches. A rain gauge will be on site to measure the rainfall amounts.



SOIL TRACKING PREVENTION DEVICE TYPICAL SECTION
N.T.S.



SEDIMENT PIT TYPICAL SECTION
N.T.S.

REVISIONS:
DATE

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SML	GDH	GDH	GDH

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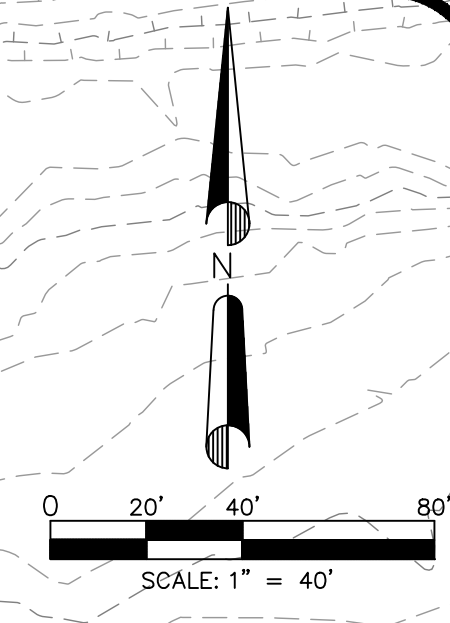
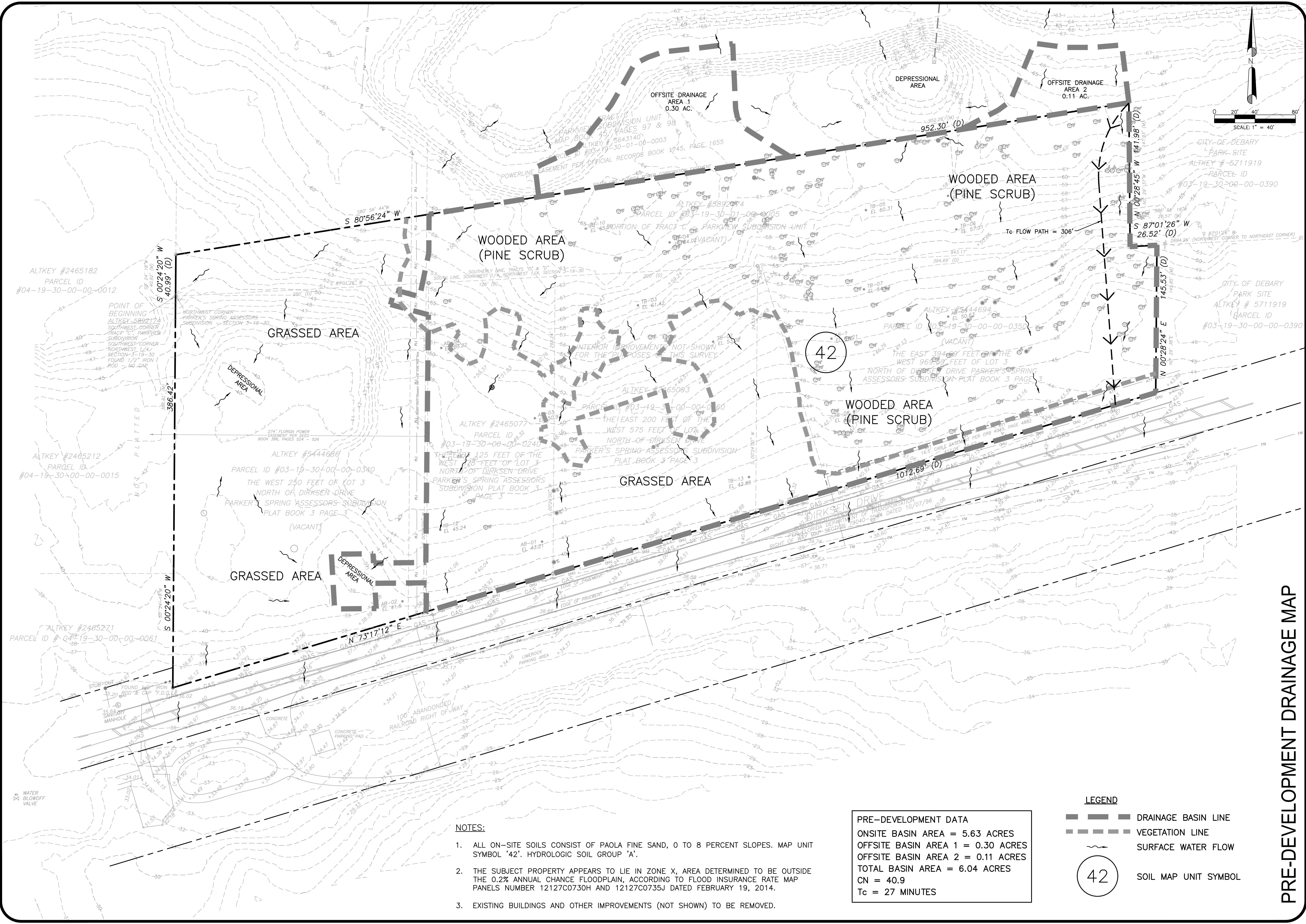
CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

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DATE:
JANUARY 2018

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STORMWATER POLLUTION PREVENTION PLAN



- NOTES:**
1. ALL ON-SITE SOILS CONSIST OF PAOLA FINE SAND, 0 TO 8 PERCENT SLOPES. MAP UNIT SYMBOL '42'. HYDROLOGIC SOIL GROUP 'A'.
 2. THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP PANELS NUMBER 12127C0730H AND 12127C0735J DATED FEBRUARY 19, 2014.
 3. EXISTING BUILDINGS AND OTHER IMPROVEMENTS (NOT SHOWN) TO BE REMOVED.

PRE-DEVELOPMENT DATA
 ONSITE BASIN AREA = 5.63 ACRES
 OFFSITE BASIN AREA 1 = 0.30 ACRES
 OFFSITE BASIN AREA 2 = 0.11 ACRES
 TOTAL BASIN AREA = 6.04 ACRES
 CN = 40.9
 Tc = 27 MINUTES

LEGEND

	DRAINAGE BASIN LINE
	VEGETATION LINE
	SURFACE WATER FLOW
	SOIL MAP UNIT SYMBOL

REVISIONS:

DATE	BY	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY

GREG HUDAK
 PE # 54684

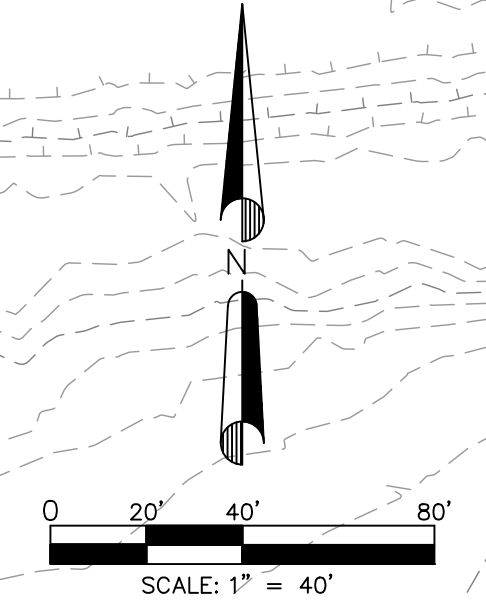
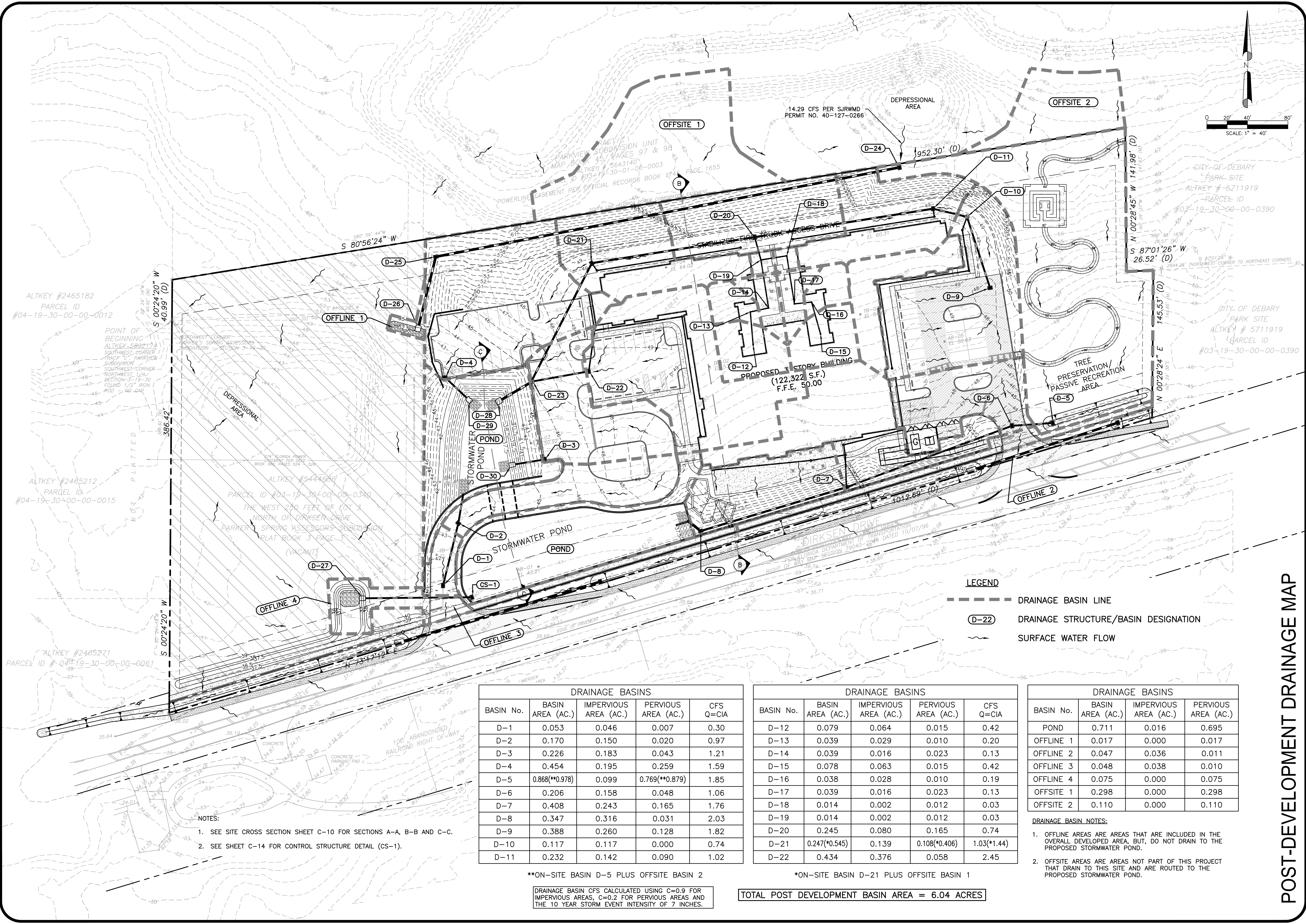
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PRE-DEVELOPMENT DRAINAGE MAP



- LEGEND**
- DRAINAGE BASIN LINE
 - (D-22) DRAINAGE STRUCTURE/BASIN DESIGNATION
 - ~ SURFACE WATER FLOW

- NOTES:**
- SEE SITE CROSS SECTION SHEET C-10 FOR SECTIONS A-A, B-B AND C-C.
 - SEE SHEET C-14 FOR CONTROL STRUCTURE DETAIL (CS-1).

DRAINAGE BASINS				
BASIN No.	BASIN AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)	CFS Q=CIA
D-1	0.053	0.046	0.007	0.30
D-2	0.170	0.150	0.020	0.97
D-3	0.226	0.183	0.043	1.21
D-4	0.454	0.195	0.259	1.59
D-5	0.868(*0.978)	0.099	0.769(*0.879)	1.85
D-6	0.206	0.158	0.048	1.06
D-7	0.408	0.243	0.165	1.76
D-8	0.347	0.316	0.031	2.03
D-9	0.388	0.260	0.128	1.82
D-10	0.117	0.117	0.000	0.74
D-11	0.232	0.142	0.090	1.02

**ON-SITE BASIN D-5 PLUS OFFSITE BASIN 2

DRAINAGE BASINS				
BASIN No.	BASIN AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)	CFS Q=CIA
D-12	0.079	0.064	0.015	0.42
D-13	0.039	0.029	0.010	0.20
D-14	0.039	0.016	0.023	0.13
D-15	0.078	0.063	0.015	0.42
D-16	0.038	0.028	0.010	0.19
D-17	0.039	0.016	0.023	0.13
D-18	0.014	0.002	0.012	0.03
D-19	0.014	0.002	0.012	0.03
D-20	0.245	0.080	0.165	0.74
D-21	0.247(*0.545)	0.139	0.108(*0.406)	1.03(*1.44)
D-22	0.434	0.376	0.058	2.45

*ON-SITE BASIN D-21 PLUS OFFSITE BASIN 1

TOTAL POST DEVELOPMENT BASIN AREA = 6.04 ACRES

DRAINAGE BASINS				
BASIN No.	BASIN AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)	CFS Q=CIA
POND	0.711	0.016	0.695	
OFFLINE 1	0.017	0.000	0.017	
OFFLINE 2	0.047	0.036	0.011	
OFFLINE 3	0.048	0.038	0.010	
OFFLINE 4	0.075	0.000	0.075	
OFFSITE 1	0.298	0.000	0.298	
OFFSITE 2	0.110	0.000	0.110	

- DRAINAGE BASIN NOTES:**
- OFFLINE AREAS ARE AREAS THAT ARE INCLUDED IN THE OVERALL DEVELOPED AREA, BUT, DO NOT DRAIN TO THE PROPOSED STORMWATER POND.
 - OFFSITE AREAS ARE AREAS NOT PART OF THIS PROJECT THAT DRAIN TO THIS SITE AND ARE ROUTED TO THE PROPOSED STORMWATER POND.

DRAINAGE BASIN CFS CALCULATED USING C=0.9 FOR IMPERVIOUS AREAS, C=0.2 FOR PERVIOUS AREAS AND THE 10 YEAR STORM EVENT INTENSITY OF 7 INCHES.

REVISIONS:

DATE	BY	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SML	GDH	GDH	GDH

GREG HUDAK
PE # 54684

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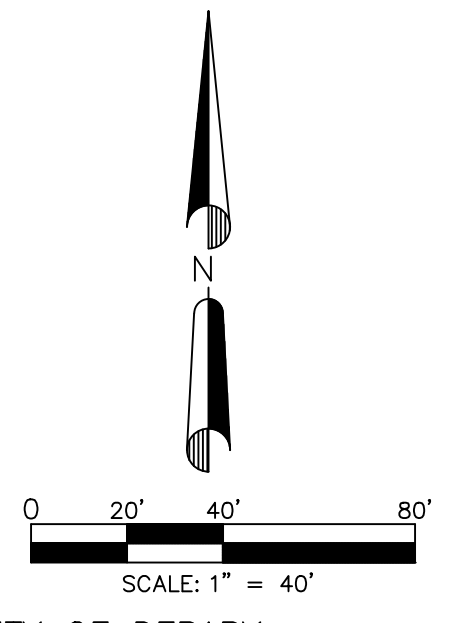
POST-DEVELOPMENT DRAINAGE MAP

LEGEND

- STANDARD ASPHALT PAVEMENT (SEE SECTION ON SHEET C-14).
- VOLUSIA COUNTY ASPHALT PAVEMENT (SEE SECTION ON SHEET C-17).
- HEAVY DUTY ASPHALT PAVEMENT (SEE SECTION ON SHEET C-14).
- STABILIZED FIRE TRUCK ACCESS DRIVE (SEE SECTION ON SHEET C-14).
- TREE PRESERVATION/PASSIVE RECREATION AREA.
- UNDISTURBED AREA.
- REMOVE EXISTING STRIPING

WAIVER NOTE:

CITY OF DEBARY HAS GRANTED A WAIVER FROM A REQUIRED MASONRY BUFFER WALL (E.G. LDC SEC. 5-4 PROVISION OF BUFFER YARDS AND SCREENING) DUE TO NATURALLY OCCURRING TOPOGRAPHIC SCREENING.



CITY OF DEBARY
PARK SITE
ALTKEY # 5711919
PARCEL ID
#03-19-30-00-00-0390

10' SETBACK/
BUFFER

CITY OF DEBARY
PARK SITE
ALTKEY # 5711919
PARCEL ID
#03-19-30-00-00-0390

REVISIONS:

DATE	BY	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY

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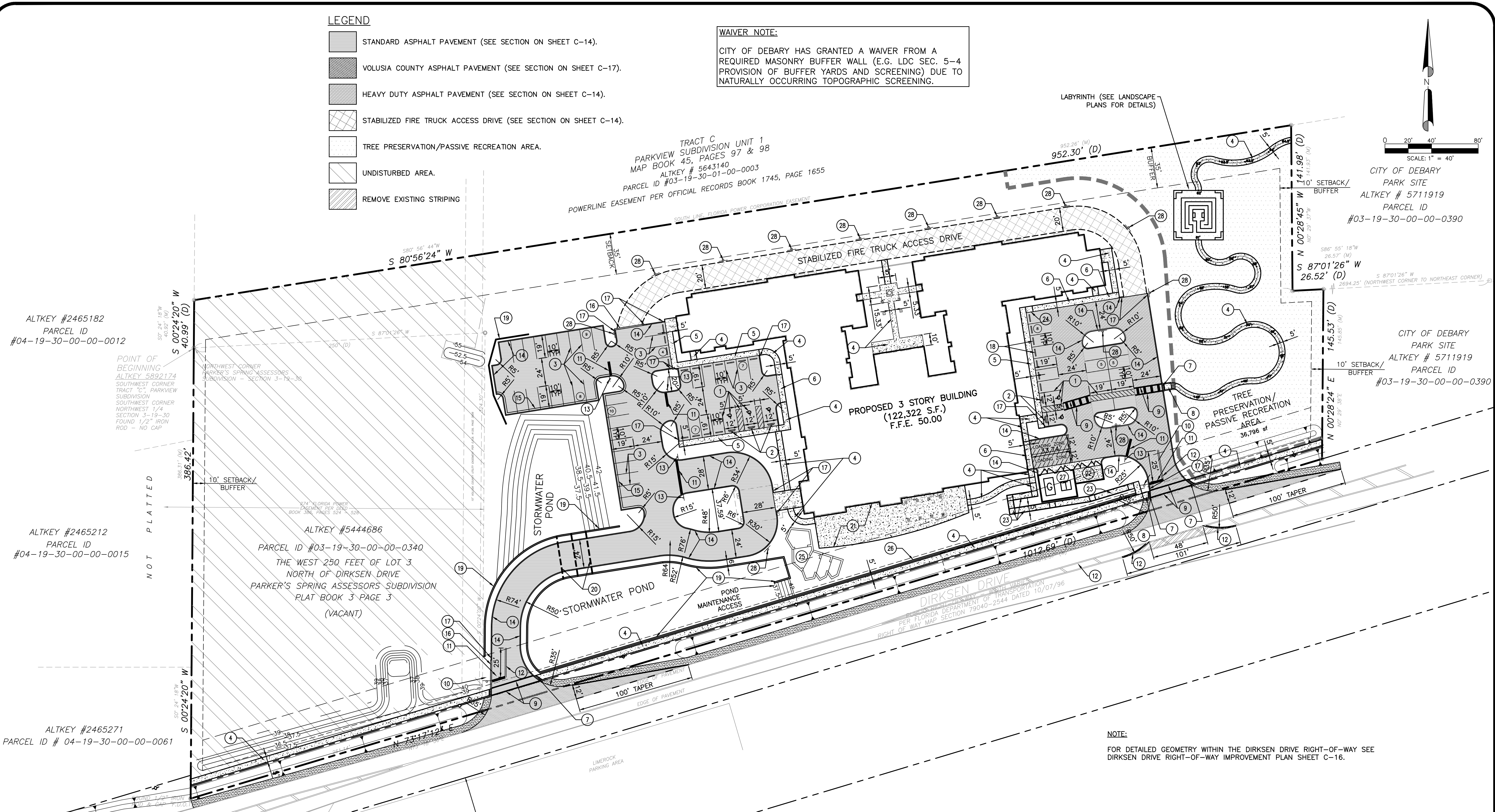
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CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
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DATE:
JANUARY 2018

SHEET NO.
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SITE GEOMETRY PLAN



NOTE:
FOR DETAILED GEOMETRY WITHIN THE DIRKSEN DRIVE RIGHT-OF-WAY SEE DIRKSEN DRIVE RIGHT-OF-WAY IMPROVEMENT PLAN SHEET C-16.

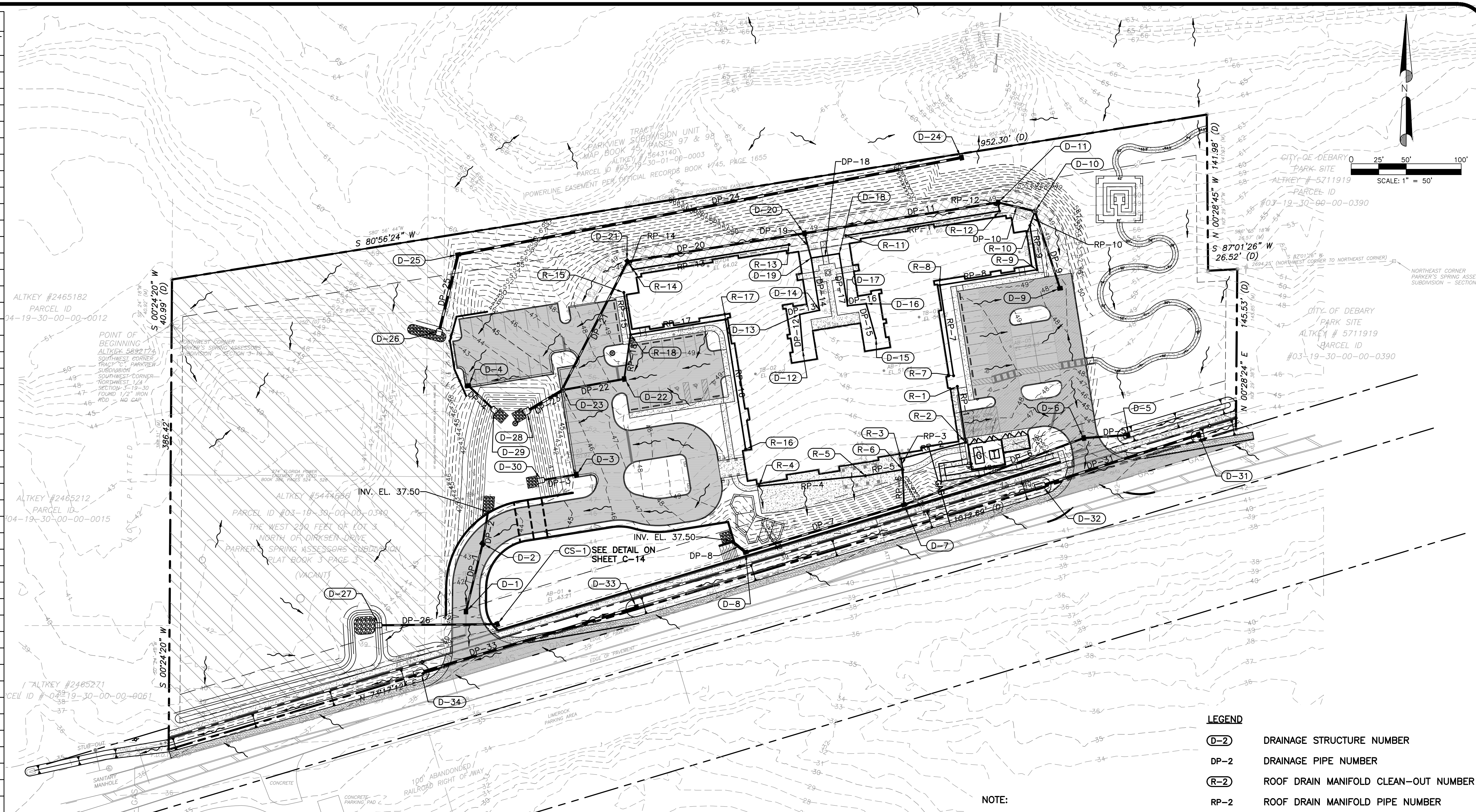
KEYED NOTES

- ACCESSIBLE PARKING STRIPING (TYP.), SEE DETAIL ON SHEET C-14.
- ACCESSIBLE PARKING SIGN (TYP.), SEE DETAIL ON SHEET C-14.
- PARKING STALL STRIPING (TYP.), SEE DETAIL ON SHEET C-14.
- CONCRETE SIDEWALK, SEE DETAIL ON SHEET C-14.
- MONOLITHIC CONCRETE SIDEWALK AND CURB (FLUSH W/PAVEMENT), SEE DETAIL ON SHEET C-14.
- MONOLITHIC CONCRETE SIDEWALK AND CURB (6" ABOVE PAVEMENT), SEE DETAIL ON SHEET C-14.
- INSTALL DETECTABLE WARNING PER FDOT INDEX No. 304.
- CONSTRUCT PUBLIC SIDEWALK RAMP PER FDOT INDEX No. 304.
- WHITE THERMOPLASTIC CROSSWALK PER FDOT INDEX No. 17346.
- 36" HIGH INTENSITY STOP SIGN.
- 24" WIDE THERMOPLASTIC STOP BAR.
- 6" DOUBLE YELLOW THERMOPLASTIC.
- 24" HIGH INTENSITY STOP SIGN.
- TYPE 'D' CONCRETE CURB, SEE DETAIL ON SHEET C-14.

KEYED NOTES

- TYPE 'F' CONCRETE CURB & GUTTER, SEE DETAIL ON SHEET C-14.
- 12" CONCRETE RIBBON CURB, SEE DETAIL ON SHEET C-14.
- 3" TRANSITION CURB FROM 6" HIGH TO FLUSH WITH PAVEMENT.
- WHEEL STOP (TYP.).
- RETAINING WALL TOPPED WITH DECORATIVE FENCE (DESIGN BY OTHERS).
- 2-12' WIDE X 4' HIGH X 37' LONG BOX CULVERTS FDOT INDEX 289, 291 & 293 OR APPROVED EQUAL (DESIGN BY OTHERS).
- PATIO (SEE ARCHITECTURAL PLANS).
- DOUBLE DUMPSTER PAD, MATCH BUILDING DESIGN ELEMENTS (SEE ARCHITECTURAL PLANS).
- CONCRETE SIDEWALK RAMP WITH HANDRAILS PER FDOT INDEX No.'S 304, 310 & 870.
- 6' TRANSITION PAVEMENT FROM 6" BELOW SIDEWALK TO FLUSH WITH SIDEWALK.
- CASCADING WATER FEATURE (DESIGN BY OTHERS).
- RETAINING (DESIGN BY OTHERS).
- GENERATOR ENCLOSURE, MATCH BUILDING DESIGN ELEMENTS (SEE ARCHITECTURAL PLANS).
- FIRE LANE MARKING SIGN, SEE DETAIL ON SHEET C-14.

DRAINAGE PIPE TABLE					
PIPE No.	SIZE	LENGTH	AS-BUILT LENGTH	SLOPE	AS-BUILT SLOPE
DP-1	15" RCP	63'		0.50%	
DP-2	15" RCP	30'		0.50%	
DP-3	15" RCP	30'		0.50%	
DP-4	15" RCP	31'		0.50%	
DP-5	15" RCP	40'		0.50%	
DP-6	15" RCP	174'		0.51%	
DP-7	18" RCP	150'		0.42%	
DP-8	24" RCP	17'		0.32%	
DP-9	15" RCP	74'		0.50%	
DP-10	15" HDPE	34'		0.49%	
DP-11	18" HDPE	178'		0.50%	
DP-12	8" PVC	33'		1.01%	
DP-13	8" PVC	18'		1.03%	
DP-14	8" PVC	48'		1.06%	
DP-15	8" PVC	33'		1.01%	
DP-16	8" PVC	17'		1.00%	
DP-17	8" PVC	48'		1.00%	
DP-18	8" PVC	26'		1.01%	
DP-19	10" PVC	23'		1.03%	
DP-20	18" HDPE	163'		0.50%	
DP-21	18" RCP	129'		0.50%	
DP-22	15" RCP	55'		0.50%	
DP-23	24" RCP	37'		0.50%	
DP-24	24" HDPE	466'		0.22%	
DP-25	24" HDPE	72'		0.22%	
DP-26	15" RCP	107'		0.93%	
DP-31	14"X23" ERCP	150'		0.30%	
DP-33	14"X23" ERCP	205'		0.30%	
RP-1	8" PVC	51'		1.00%	
RP-2	8" PVC	61'		1.00%	
RP-3	8" PVC	10'		1.00%	
RP-4	8" PVC	97'		2.80%	
RP-5	8" PVC	34'		2.93%	
RP-6	10" PVC	32'		14.36%	
RP-7	8" PVC	83'		1.14%	
RP-8	8" PVC	89'		1.00%	
RP-9	8" PVC	41'		1.01%	
RP-10	8" PVC	14'		1.01%	
RP-11	8" PVC	141'		1.00%	
RP-12	8" PVC	8'		1.00%	
RP-13	8" PVC	144'		1.00%	
RP-14	8" PVC	9'		1.02%	
RP-15	8" PVC	39'		1.01%	
RP-16	8" PVC	119'		1.50%	
RP-17	10" PVC	87'		1.00%	
RP-18	10" PVC	41'		1.84%	



- LEGEND**
- D-2 DRAINAGE STRUCTURE NUMBER
 - DP-2 DRAINAGE PIPE NUMBER
 - R-2 ROOF DRAIN MANIFOLD CLEAN-OUT NUMBER
 - RP-2 ROOF DRAIN MANIFOLD PIPE NUMBER
 - SURFACE WATER FLOW

NOTE:
SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATION AND SIZES.

DRAINAGE STRUCTURE TABLE					
STRUCTURE No.	STRUCTURE TYPE	GRATE OR TOP EL.	GRATE OR TOP EL. AS-BUILT	INV. EL.	INV. EL. AS-BUILT
CS-1	CONTROL STRUCTURE	41.50		37.50(W)(15" RCP)	
D-1	TYPE C INLET	40.75		37.97(N)(15" RCP)	
D-2	TYPE C INLET	43.07		37.65(S)(15" RCP) 37.65(N)(15" RCP)	
D-3	TYPE C INLET	44.99		37.65(W)(15" RCP)	
D-4	TYPE C INLET	41.53		37.66(SE)(15" RCP)	
D-5	TYPE C INLET	41.65		39.27(W)(15" RCP)	
D-6	TYPE C INLET	42.61		39.07(E)(15" RCP) 39.07(W)(15" RCP)	
D-7	TYPE C INLET	41.50		38.19(E)(15" RCP) 38.50(N)(10" PVC) 38.19(W)(18" RCP)	
D-8	TYPE C INLET	41.51		37.55(E)(18" RCP) 37.55(NW)(24" RCP)	
D-9	TYPE C INLET	47.66		44.14(N)(15" RCP)	
D-10	TYPE P-8 M.H.	48.76		43.77(S)(15" RCP) 44.19(S)(8" PVC) 43.77(W)(15" HDPE)	
D-11	TYPE C INLET	48.61		43.60(E)(15" HDPE) 45.07(S)(8" PVC) 43.60(W)(18" HDPE)	
D-12	12" YARD DRAIN	50.00		46.60(N)(8" PVC)	
D-13	12" YARD DRAIN	50.00		46.27(S)(8" PVC) 46.27(E)(8" PVC)	

DRAINAGE STRUCTURE TABLE					
STRUCTURE No.	STRUCTURE TYPE	GRATE OR TOP EL.	GRATE OR TOP EL. AS-BUILT	INV. EL.	INV. EL. AS-BUILT
D-14	12" YARD DRAIN	50.00		46.08(W)(8" PVC) 46.08(N)(8" PVC)	
D-15	12" YARD DRAIN	50.00		46.81(N)(8" PVC)	
D-16	12" YARD DRAIN	50.00		46.48(S)(8" PVC) 46.48(W)(8" PVC)	
D-17	12" YARD DRAIN	50.00		46.31(E)(8" PVC) 46.31(N)(8" PVC)	
D-18	12" YARD DRAIN	50.00		45.83(S)(8" PVC) 45.83(W)(8" PVC)	
D-19	12" YARD DRAIN	50.00		45.57(S)(8" PVC) 45.57(E)(8" PVC) 45.40(N)(10" PVC)	
D-20	TYPE C INLET	48.61		42.71(E)(18" HDPE) 45.16(S)(10" PVC) 42.46(W)(18" HDPE)	
D-21	TYPE C INLET	48.69		41.65(E)(18" HDPE) 45.00(SE)(8" PVC) 38.33(SW)(18" RCP)	
D-22	TYPE C INLET	48.24		43.87(N)(10" PVC) 37.96(W)(15" RCP)	
D-23	TYPE P-8 M.H.	46.08		37.69(NE)(18" RCP) 37.69(E)(15" RCP) 37.69(SW)(24" RCP)	
D-24	TYPE C INLET	59.50		53.68(W)(24" HDPE)	

DRAINAGE STRUCTURE TABLE					
STRUCTURE No.	STRUCTURE TYPE	GRATE OR TOP EL.	GRATE OR TOP EL. AS-BUILT	INV. EL.	INV. EL. AS-BUILT
D-25	TYPE D INLET	56.01		52.66(E)(24" HDPE) 52.66(S)(24" HDPE)	
D-26	24" M.E.S.	55.15		52.50(N)(24" HDPE)	
D-27	15" M.E.S.	37.94		36.50(E)(15" RCP)	
D-28	24" M.E.S.	39.75		37.50(NE)(24" RCP)	
D-29	15" M.E.S.	38.94		37.50(NW)(15" RCP)	
D-30	15" M.E.S.	38.94		37.50(E)(15" RCP)	
D-31	TYPE C INLET	41.75		38.66(W)(14"X23" ERCP)	
D-32	14"X23" MES	39.71		38.21(E)(14"X23" ERCP)	
D-33	TYPE C INLET	37.70		35.26(W)(14"X23" ERCP)	
D-34	14"X23" MES	36.14		34.64(E)(14"X23" ERCP)	
R-1	6" CLEAN-OUT	49.82		44.31(S)(8" PVC)	
R-2	6" CLEAN-OUT	49.90		43.80(N)(8" PVC) 43.80(W)(8" PVC)	
R-3	6" CLEAN-OUT	49.84		43.19(E)(8" PVC) 43.19(S)(8" PVC)	
R-4	6" CLEAN-OUT	49.94		46.82(E)(8" PVC)	
R-5	6" CLEAN-OUT	49.85		44.10(W)(8" PVC) 44.10(E)(8" PVC)	
R-6	6" CLEAN-OUT	49.80		43.09(N)(8" PVC) 43.09(W)(8" PVC) 43.09(S)(10" PVC)	

DRAINAGE STRUCTURE TABLE					
STRUCTURE No.	STRUCTURE TYPE	GRATE OR TOP EL.	GRATE OR TOP EL. AS-BUILT	INV. EL.	INV. EL. AS-BUILT
R-7	6" CLEAN-OUT	49.48		46.58(N)(8" PVC)	
R-8	6" CLEAN-OUT	49.50		45.63(S)(8" PVC) 45.63(E)(8" PVC)	
R-9	6" CLEAN-OUT	49.54		44.74(W)(8" PVC) 44.74(N)(8" PVC)	
R-10	6" CLEAN-OUT	49.66		44.33(S)(8" PVC) 44.33(N)(8" PVC)	
R-11	6" CLEAN-OUT	49.40		46.56(E)(8" PVC)	
R-12	6" CLEAN-OUT	49.32		45.15(W)(8" PVC) 45.15(N)(8" PVC)	
R-13	6" CLEAN-OUT	49.36		46.52(W)(8" PVC)	
R-14	6" CLEAN-OUT	49.35		45.09(E)(8" PVC) 45.09(NW)(8" PVC)	
R-15	6" CLEAN-OUT	49.58		46.90(S)(8" PVC)	
R-16	6" CLEAN-OUT	49.50		47.28(N)(8" PVC)	
R-17	6" CLEAN-OUT	49.50		45.49(S)(8" PVC) 45.49(W)(10" PVC)	
R-18	6" CLEAN-OUT	49.52		46.51(N)(8" PVC) 44.62(E)(10" PVC) 44.62(S)(10" PVC)	

DRAINAGE SYSTEM PLAN

REVISIONS:	
DATE	

DRAWN BY	SML
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH

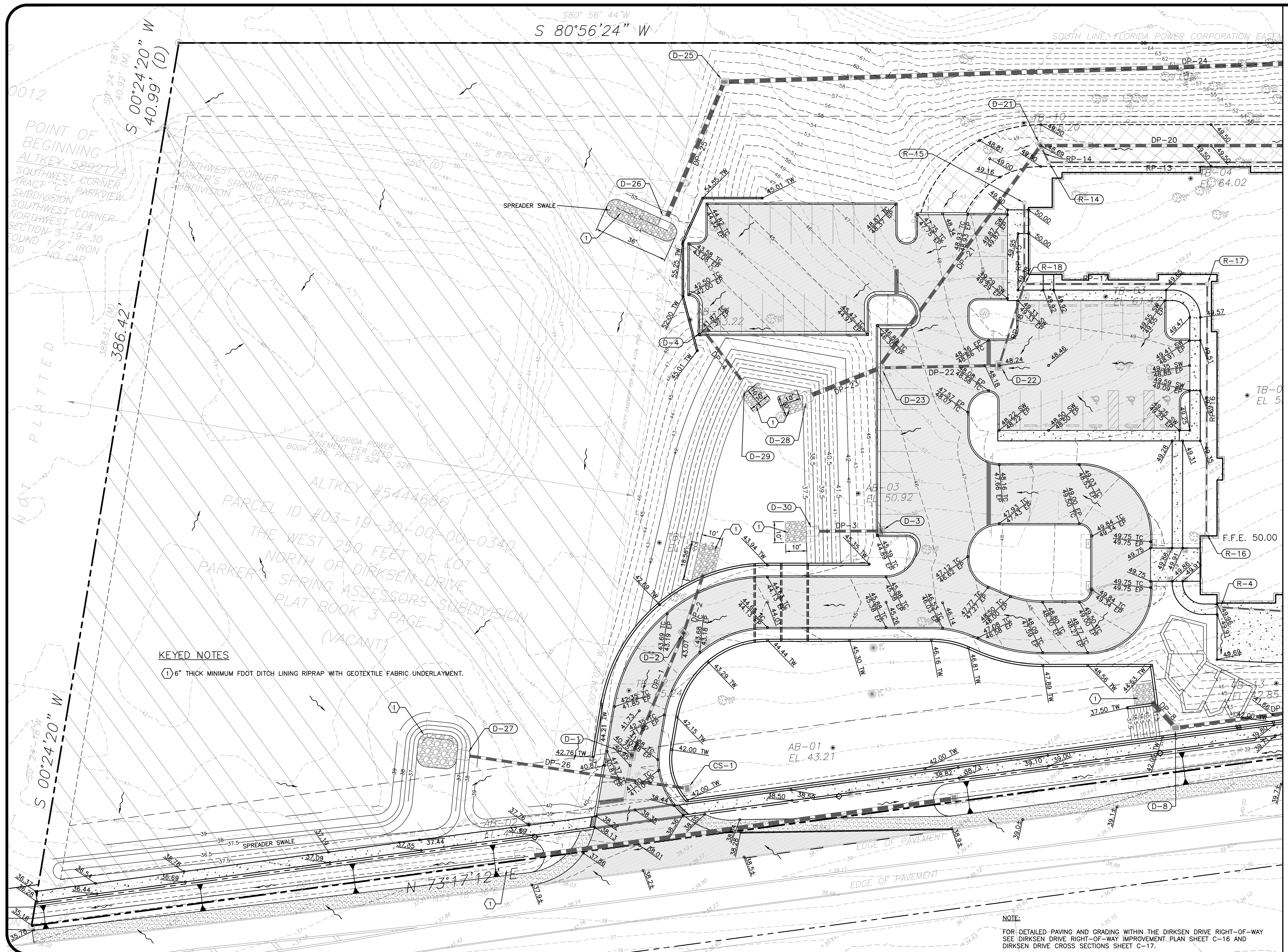
GREG HUDAK
PE # 54684

CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
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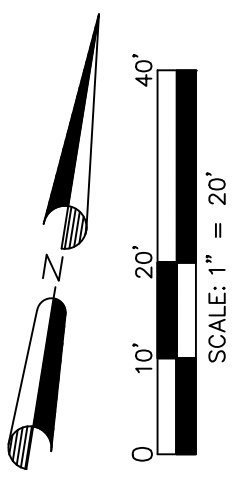
KEYED NOTES

① 6" THICK MINIMUM FDOT DITCH LINING RIPRAP WITH GEOTEXTILE FABRIC UNDERLAYMENT.

NOTE:
FOR DETAILED PAVING AND GRADING WITHIN THE DIRKSEN DRIVE RIGHT-OF-WAY
SEE DIRKSEN DRIVE RIGHT-OF-WAY IMPROVEMENT PLAN SHEET C-16 AND
DIRKSEN DRIVE CROSS SECTIONS SHEET C-17.

MATCHLINE SEE SHEET C-9 FOR CONTINUATION

PAVING & GRADING PLAN (1 OF 2)



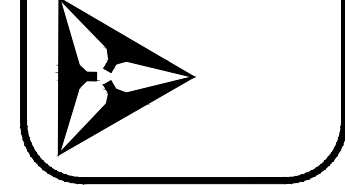
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GREG HUDAK
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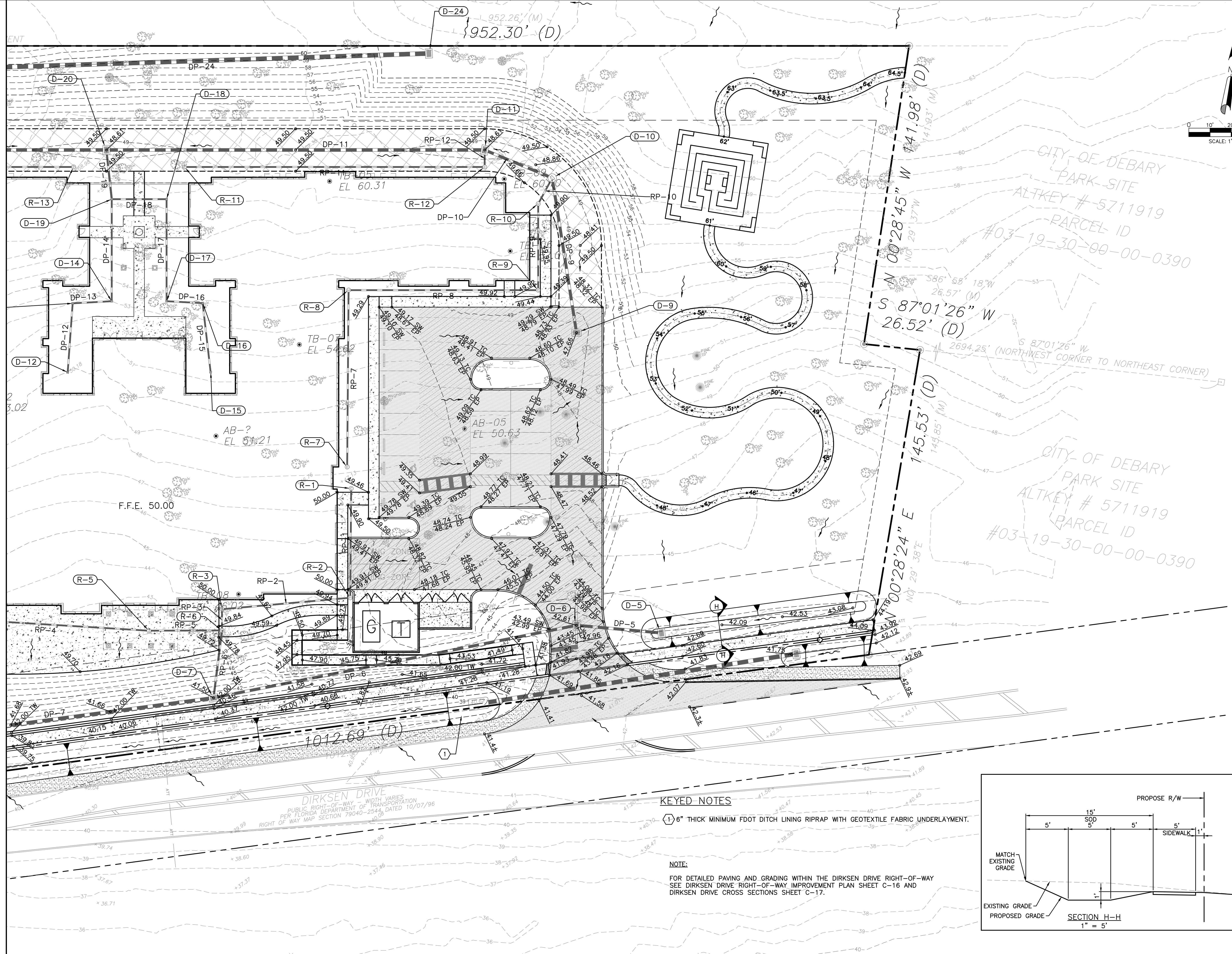
HUDAK ENGINEERING, INC.
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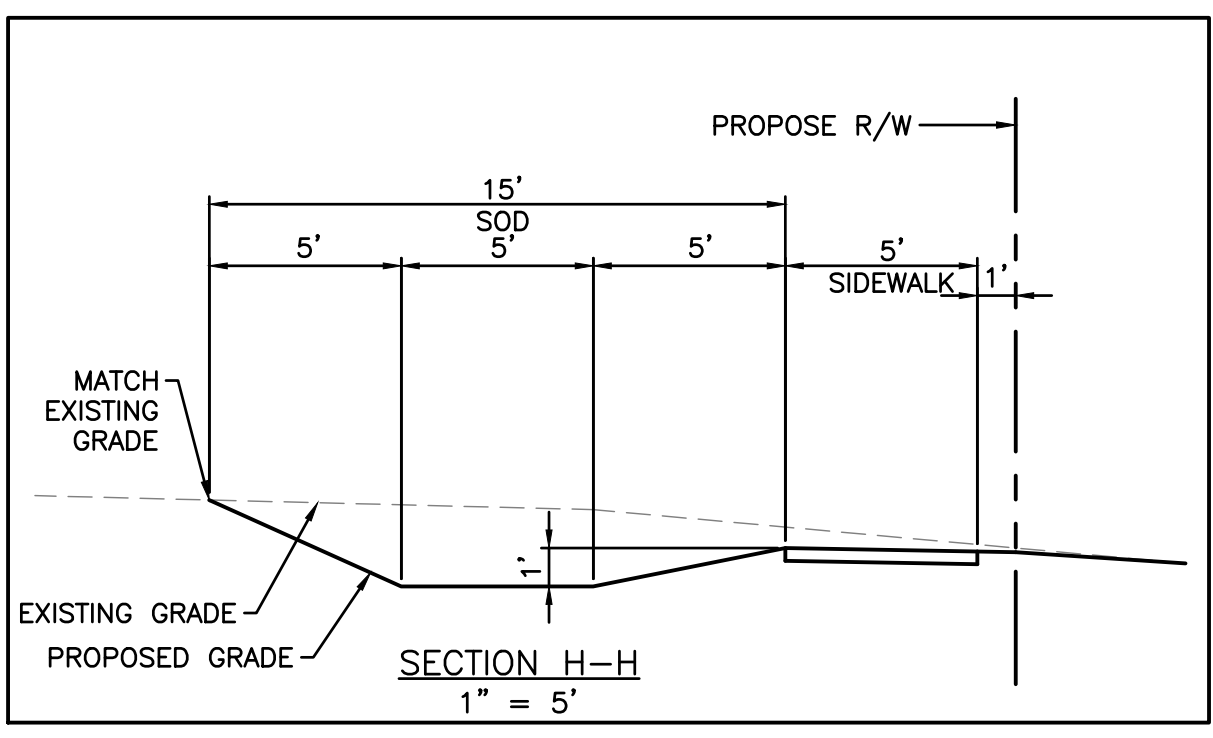
MATCHLINE SEE SHEET C-8 FOR CONTINUATION



KEYED NOTES

(1) 6" THICK MINIMUM FDOT DITCH LINING RIPRAP WITH GEOTEXTILE FABRIC UNDERLAYMENT.

NOTE:
FOR DETAILED PAVING AND GRADING WITHIN THE DIRKSEN DRIVE RIGHT-OF-WAY SEE DIRKSEN DRIVE RIGHT-OF-WAY IMPROVEMENT PLAN SHEET C-16 AND DIRKSEN DRIVE CROSS SECTIONS SHEET C-17.



PAVING & GRADING PLAN (2 OF 2)

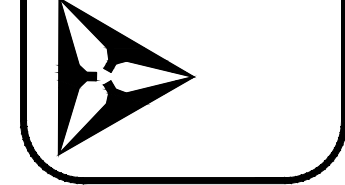
DATE	REVISIONS:

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CHECKED BY	GDH	GDH
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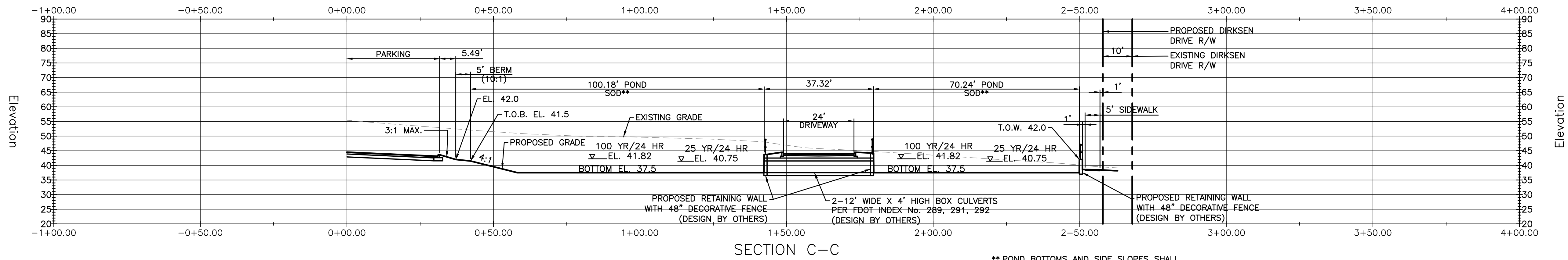
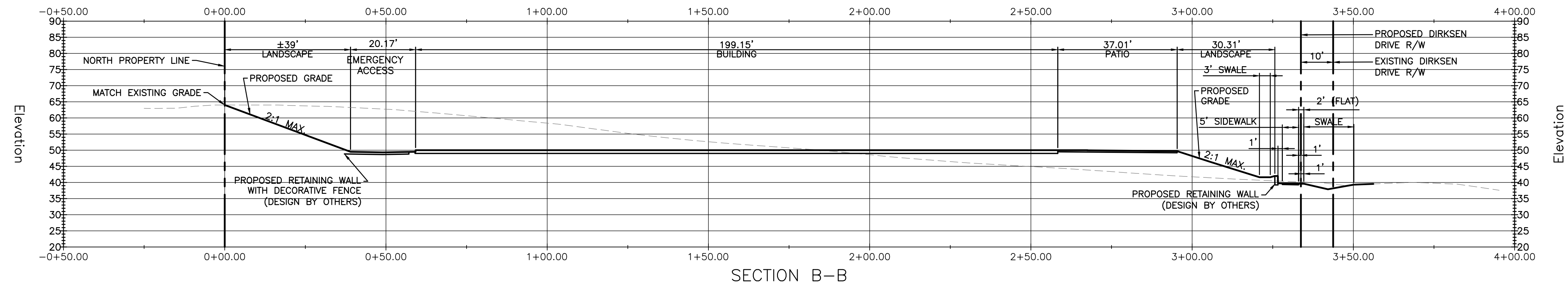
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DATE:
JANUARY 2018

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SECTION A-A
OMITTED

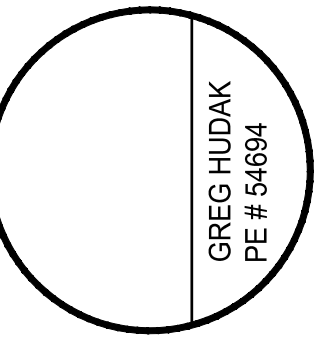


** POND BOTTOMS AND SIDE SLOPES SHALL BE SODDED WITH SAND GROWN SOD (NOT MUCK GROWN SOD).

SITE CROSS SECTIONS

DATE	REVISIONS:

DRAWN BY	SML
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH



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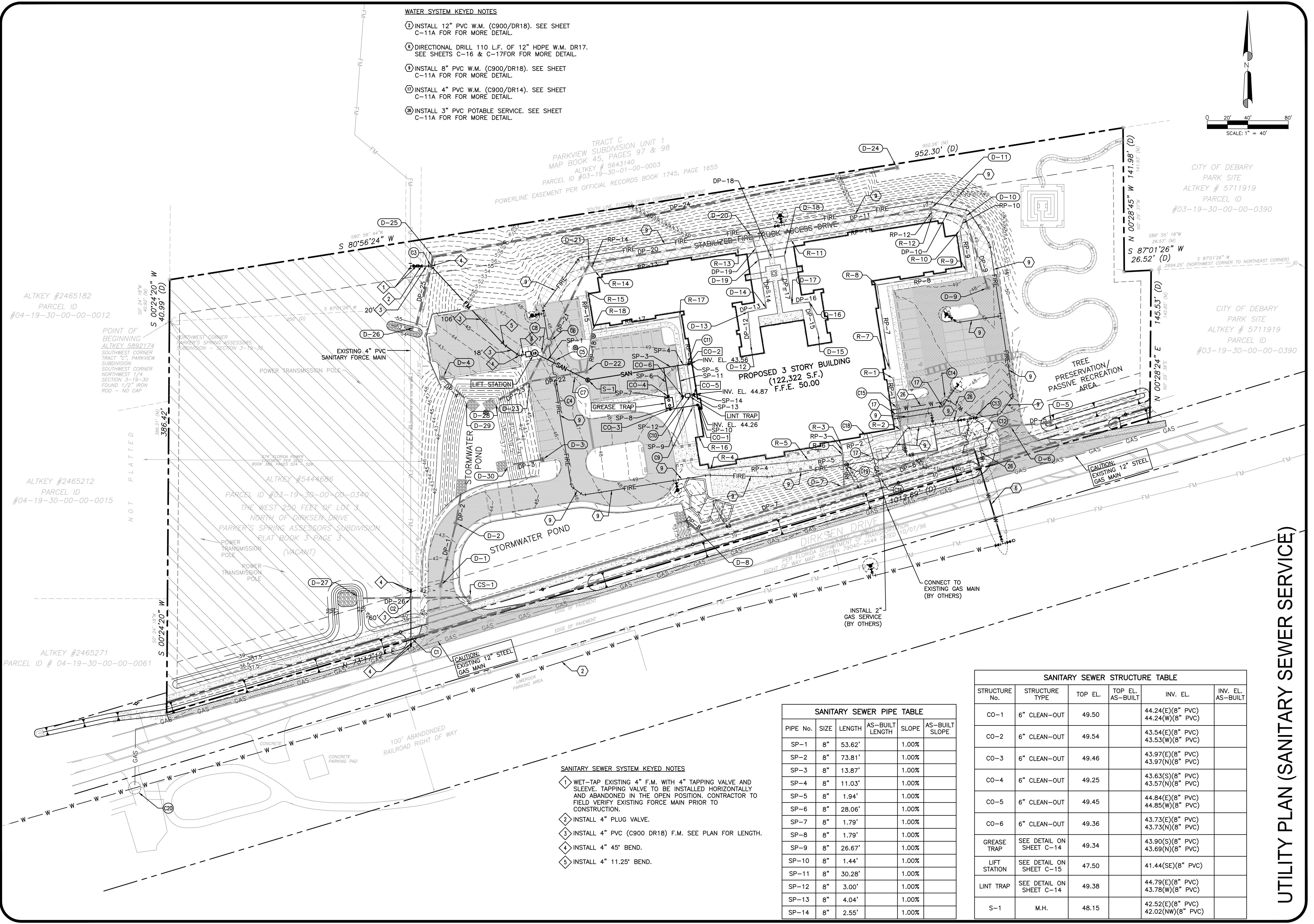
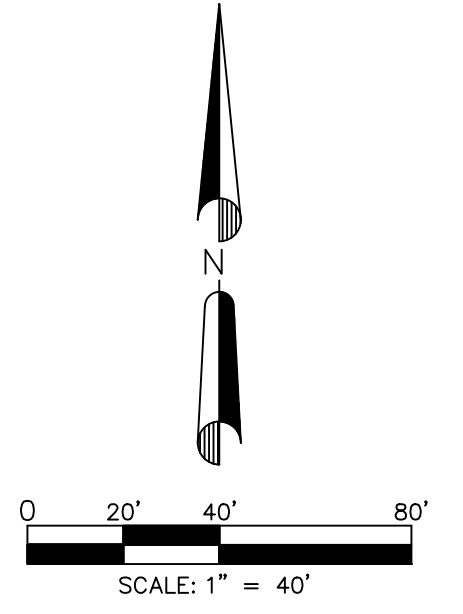
HUDAK ENGINEERING, INC.
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DATE:
JANUARY 2018

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WATER SYSTEM KEYED NOTES

- ① INSTALL 12" PVC W.M. (C900/DR18). SEE SHEET C-11A FOR MORE DETAIL.
- ② DIRECTIONAL DRILL 110 L.F. OF 12" HDPE W.M. DR17. SEE SHEETS C-16 & C-17 FOR MORE DETAIL.
- ③ INSTALL 8" PVC W.M. (C900/DR18). SEE SHEET C-11A FOR MORE DETAIL.
- ④ INSTALL 4" PVC W.M. (C900/DR14). SEE SHEET C-11A FOR MORE DETAIL.
- ⑤ INSTALL 3" PVC POTABLE SERVICE. SEE SHEET C-11A FOR MORE DETAIL.



SANITARY SEWER SYSTEM KEYED NOTES

- ① WET-TAP EXISTING 4" F.M. WITH 4" TAPPING VALVE AND SLEEVE. TAPPING VALVE TO BE INSTALLED HORIZONTALLY AND ABANDONED IN THE OPEN POSITION. CONTRACTOR TO FIELD VERIFY EXISTING FORCE MAIN PRIOR TO CONSTRUCTION.
- ② INSTALL 4" PLUG VALVE.
- ③ INSTALL 4" PVC (C900 DR18) F.M. SEE PLAN FOR LENGTH.
- ④ INSTALL 4" 45° BEND.
- ⑤ INSTALL 4" 11.25' BEND.

SANITARY SEWER PIPE TABLE					
PIPE No.	SIZE	LENGTH	AS-BUILT LENGTH	SLOPE	AS-BUILT SLOPE
SP-1	8"	53.62'		1.00%	
SP-2	8"	73.81'		1.00%	
SP-3	8"	13.87'		1.00%	
SP-4	8"	11.03'		1.00%	
SP-5	8"	1.94'		1.00%	
SP-6	8"	28.06'		1.00%	
SP-7	8"	1.79'		1.00%	
SP-8	8"	1.79'		1.00%	
SP-9	8"	26.67'		1.00%	
SP-10	8"	1.44'		1.00%	
SP-11	8"	30.28'		1.00%	
SP-12	8"	3.00'		1.00%	
SP-13	8"	4.04'		1.00%	
SP-14	8"	2.55'		1.00%	

SANITARY SEWER STRUCTURE TABLE					
STRUCTURE No.	STRUCTURE TYPE	TOP EL.	TOP EL. AS-BUILT	INV. EL.	INV. EL. AS-BUILT
CO-1	6" CLEAN-OUT	49.50		44.24(E)(8" PVC) 44.24(W)(8" PVC)	
CO-2	6" CLEAN-OUT	49.54		43.54(E)(8" PVC) 43.53(W)(8" PVC)	
CO-3	6" CLEAN-OUT	49.46		43.97(E)(8" PVC) 43.97(N)(8" PVC)	
CO-4	6" CLEAN-OUT	49.25		43.63(S)(8" PVC) 43.57(N)(8" PVC)	
CO-5	6" CLEAN-OUT	49.45		44.84(E)(8" PVC) 44.85(W)(8" PVC)	
CO-6	6" CLEAN-OUT	49.36		43.73(E)(8" PVC) 43.73(N)(8" PVC)	
GREASE TRAP	SEE DETAIL ON SHEET C-14	49.34		43.90(S)(8" PVC) 43.69(N)(8" PVC)	
LIFT STATION	SEE DETAIL ON SHEET C-15	47.50		41.44(SE)(8" PVC)	
LINT TRAP	SEE DETAIL ON SHEET C-14	49.38		44.79(E)(8" PVC) 43.78(W)(8" PVC)	
S-1	M.H.	48.15		42.52(E)(8" PVC) 42.02(NW)(8" PVC)	

UTILITY PLAN (SANITARY SEWER SERVICE)

REVISIONS:
DATE

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SML	GDH	GDH	GDH

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PE # 54634

CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

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DATE:
JANUARY 2018

SHEET NO.
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WATER SYSTEM KEYED NOTES

- ① REMOVE EXISTING BLOW-OFF AND CONNECT TO EXISTING 12" DIP W.M.
- ② INSTALL 12" PVC W.M. (C900/DR18). SEE PLAN FOR LENGTH.
- ③ INSTALL 12" TEE.
- ④ INSTALL 12" GATE VALVE.
- ⑤ INSTALL 2" BLOW-OFF.
- ⑥ DIRECTIONAL DRILL 110 L.F. OF 12" HDPE W.M. DR17.
- ⑦ INSTALL 12" DOUBLE DETECTOR CHECK VALVE ASSEMBLY (SEE DETAIL SHEET C-13).
- ⑧ INSTALL 12"x8" REDUCER.
- ⑨ INSTALL 8" PVC W.M. (C900/DR18). SEE PLAN FOR LENGTH.
- ⑩ INSTALL 8" 45° BEND.
- ⑪ INSTALL 8" TEE.
- ⑫ INSTALL 8"x6" REDUCER.
- ⑬ INSTALL FIRE HYDRANT ASSEMBLY.
- ⑭ INSTALL 8" 22.5° BEND.

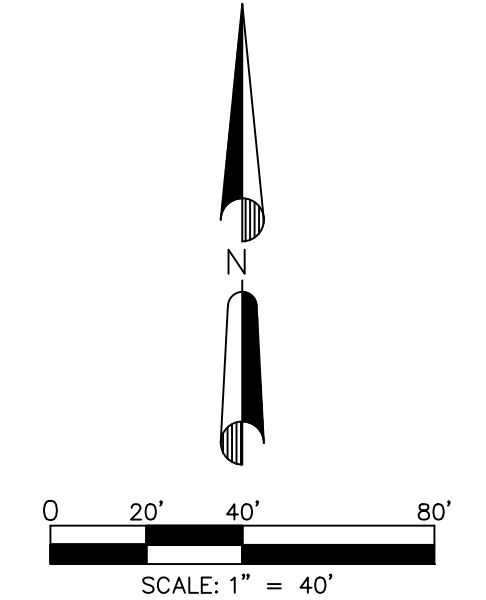
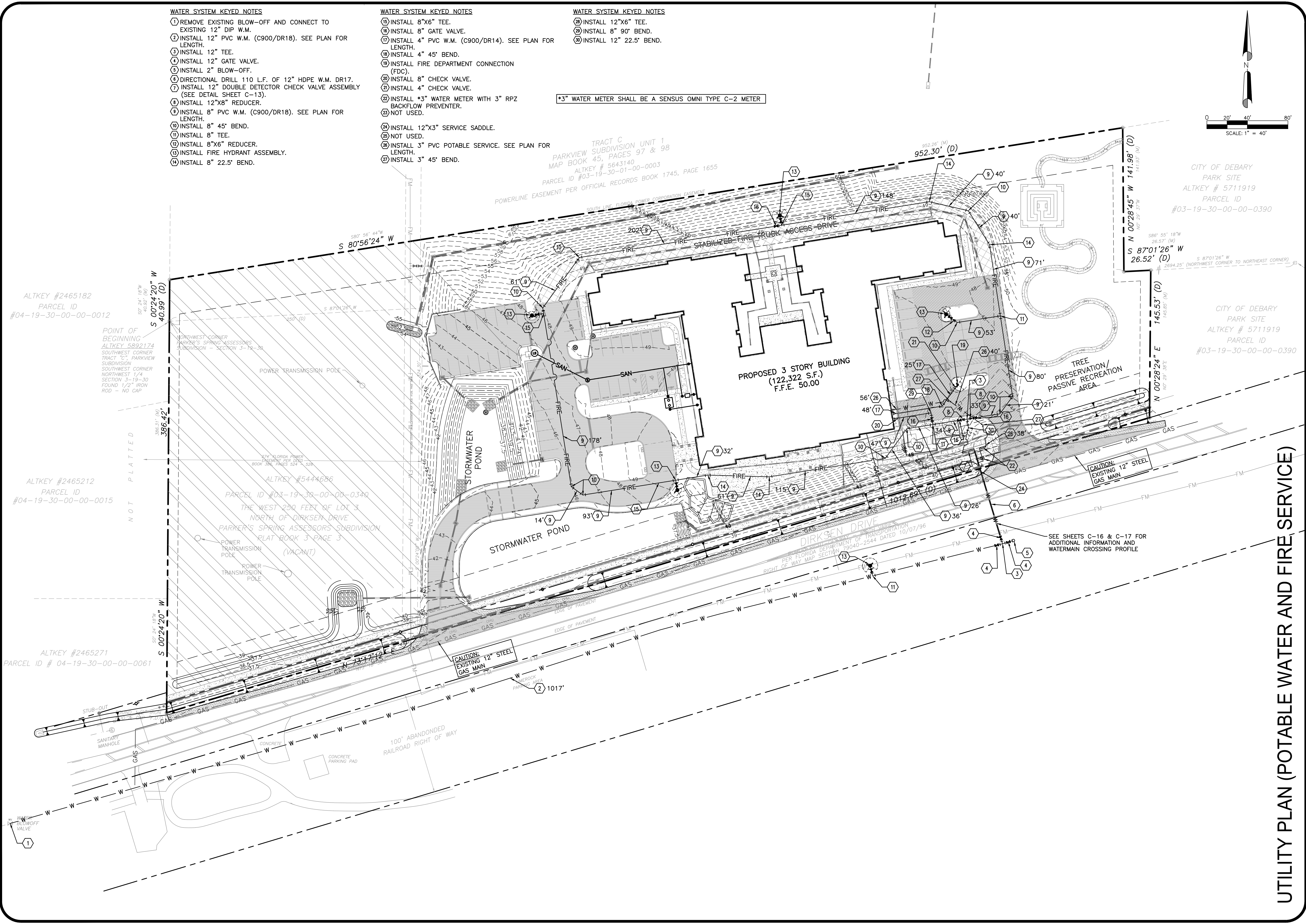
WATER SYSTEM KEYED NOTES

- ⑮ INSTALL 8"x6" TEE.
- ⑯ INSTALL 8" GATE VALVE.
- ⑰ INSTALL 4" PVC W.M. (C900/DR14). SEE PLAN FOR LENGTH.
- ⑱ INSTALL 4" 45° BEND.
- ⑲ INSTALL FIRE DEPARTMENT CONNECTION (FDC).
- ⑳ INSTALL 8" CHECK VALVE.
- ㉑ INSTALL 4" CHECK VALVE.
- ㉒ INSTALL 3" WATER METER WITH 3" RPZ BACKFLOW PREVENTER.
- ㉓ NOT USED.
- ㉔ INSTALL 12"x3" SERVICE SADDLE.
- ㉕ NOT USED.
- ㉖ INSTALL 3" PVC POTABLE SERVICE. SEE PLAN FOR LENGTH.
- ㉗ INSTALL 3" 45° BEND.

WATER SYSTEM KEYED NOTES

- ㉘ INSTALL 12"x6" TEE.
- ㉙ INSTALL 8" 90° BEND.
- ㉚ INSTALL 12" 22.5° BEND.

*3" WATER METER SHALL BE A SENSUS OMNI TYPE C-2 METER



CITY OF DEBARRY
PARK SITE
ALTKEY # 5711919
PARCEL ID
#03-19-30-00-00-0390

CITY OF DEBARRY
PARK SITE
ALTKEY # 5711919
PARCEL ID
#03-19-30-00-00-0390

REVISIONS:

DATE	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SML	GDH	GDH	GDH

GREG HUDAK
PE # 54684

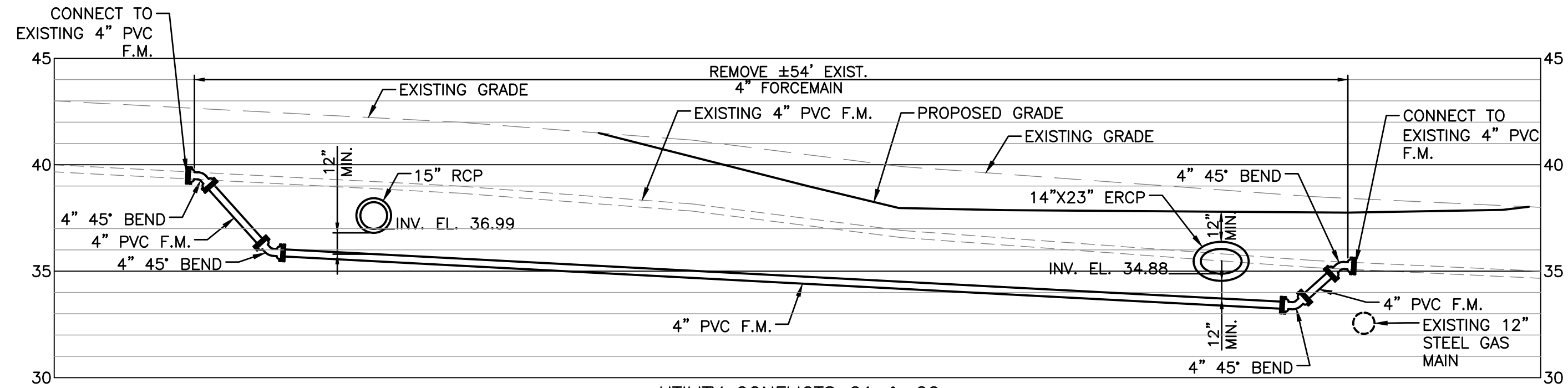
CANTERWOOD MANOR AT DEBARRY
CITY OF DEBARRY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 462-6833
EMAIL: ghudak@hudakengineering.com

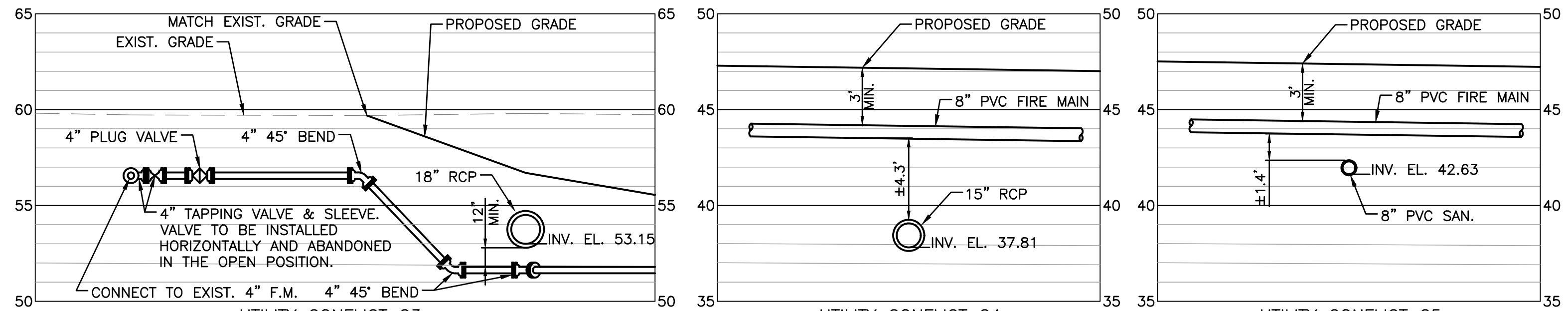
DATE:
JANUARY 2018

SHEET NO.
C-11A
11A of 17

UTILITY PLAN (POTABLE WATER AND FIRE SERVICE)



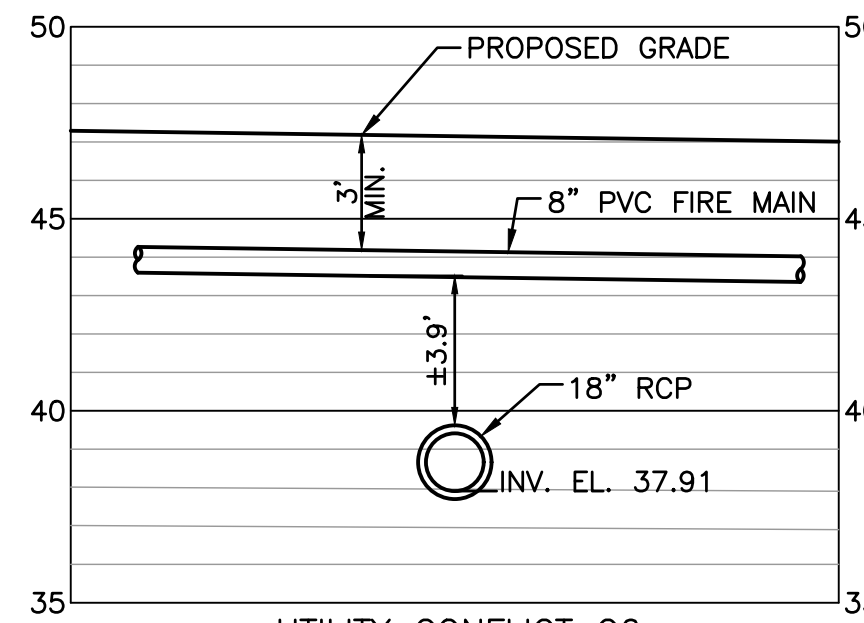
UTILITY CONFLICTS C1 & C2
1" = 5'



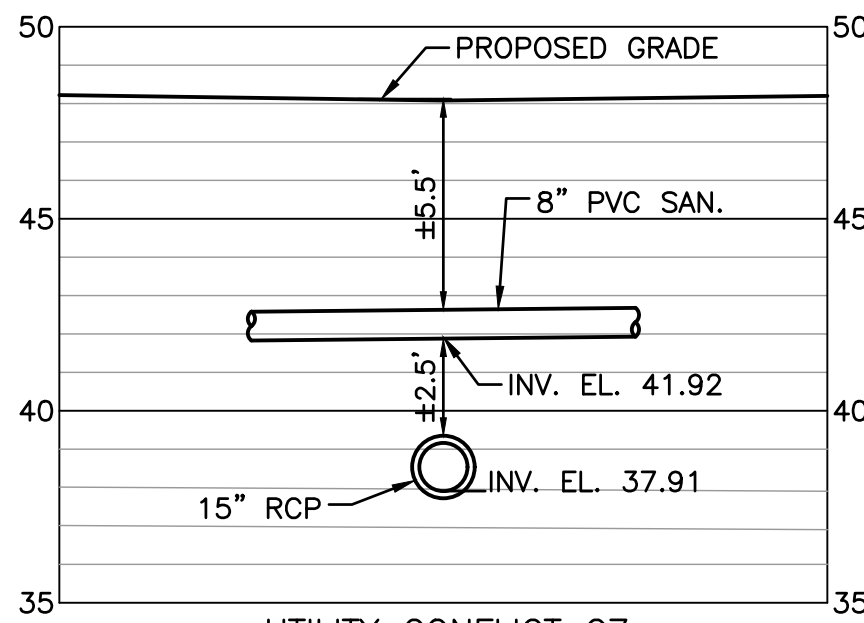
UTILITY CONFLICT C3
1" = 5'

UTILITY CONFLICT C4
1" = 5'

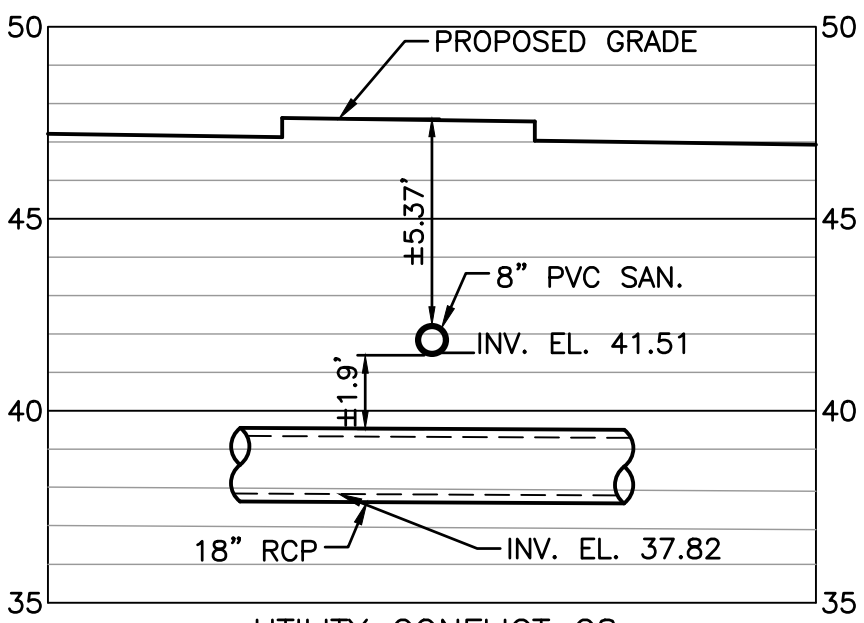
UTILITY CONFLICT C5
1" = 5'



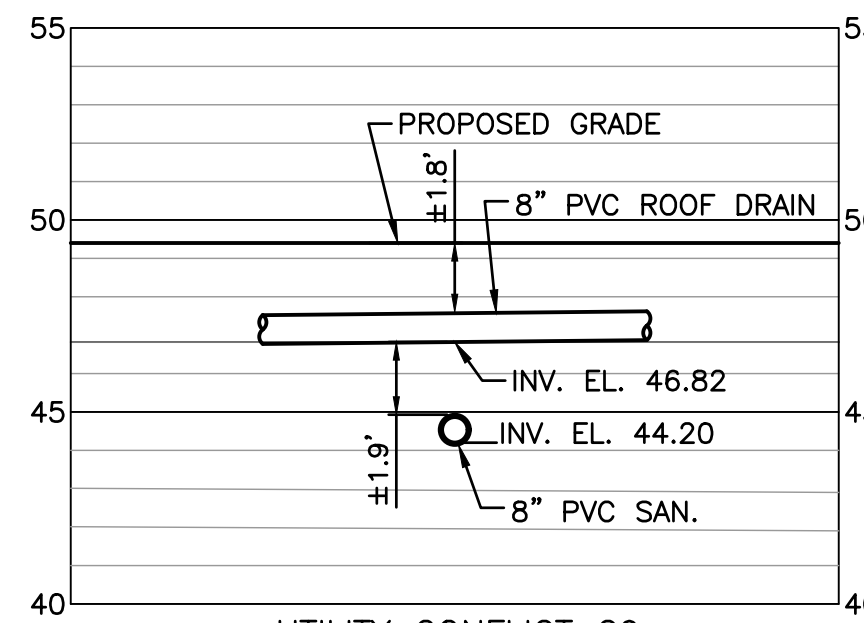
UTILITY CONFLICT C6
1" = 5'



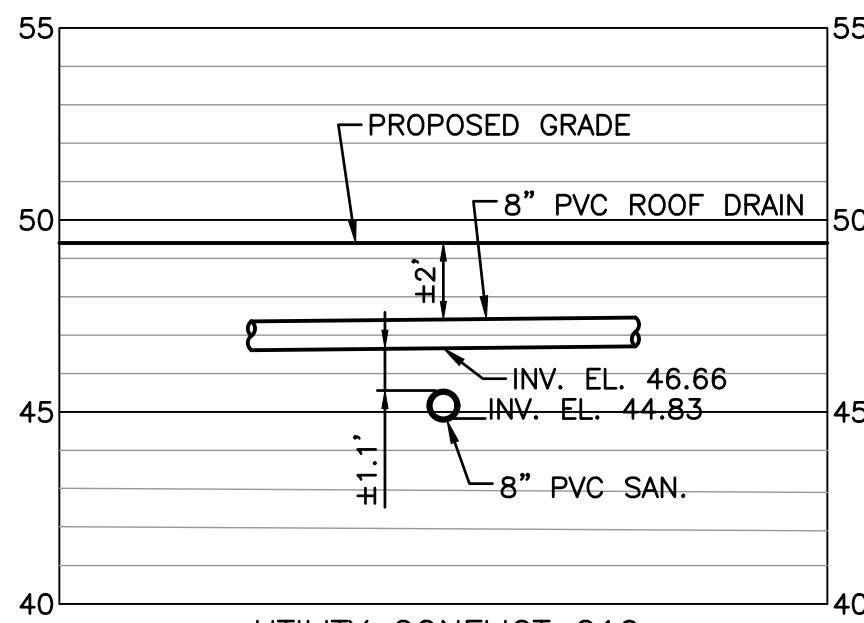
UTILITY CONFLICT C7
1" = 5'



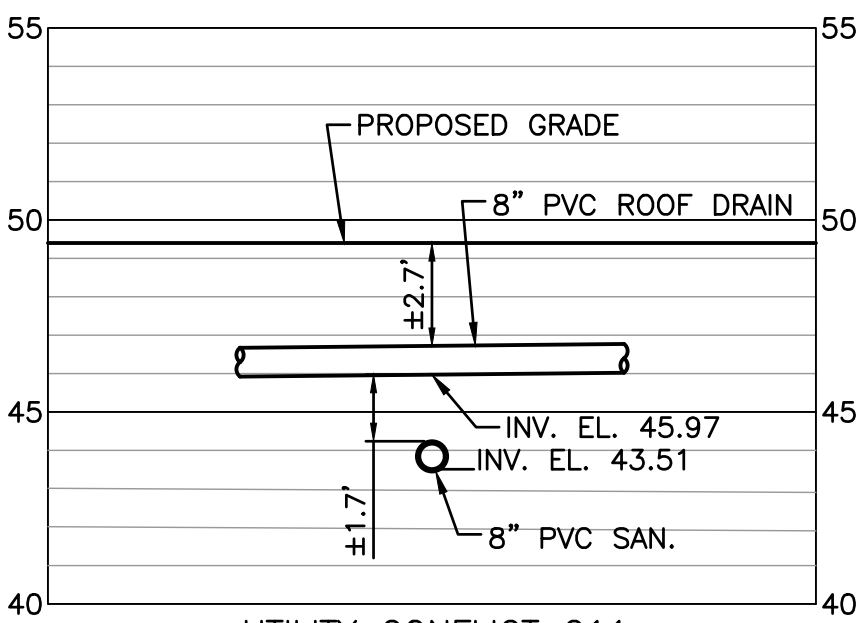
UTILITY CONFLICT C8
1" = 5'



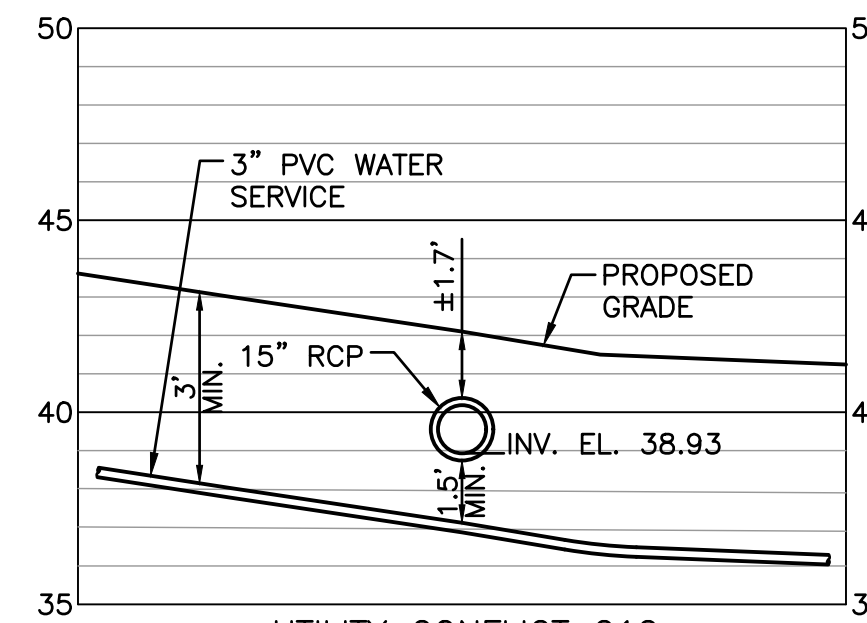
UTILITY CONFLICT C9
1" = 5'



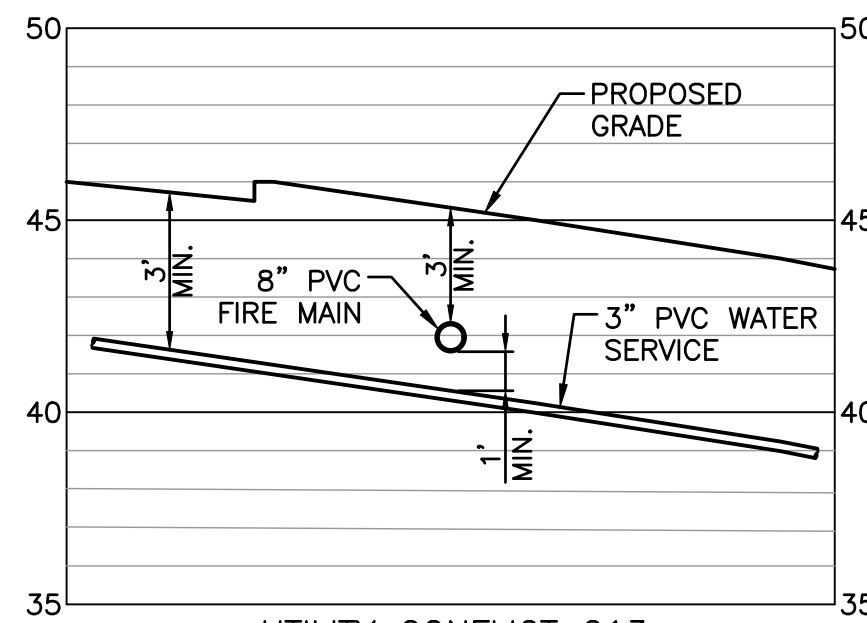
UTILITY CONFLICT C10
1" = 5'



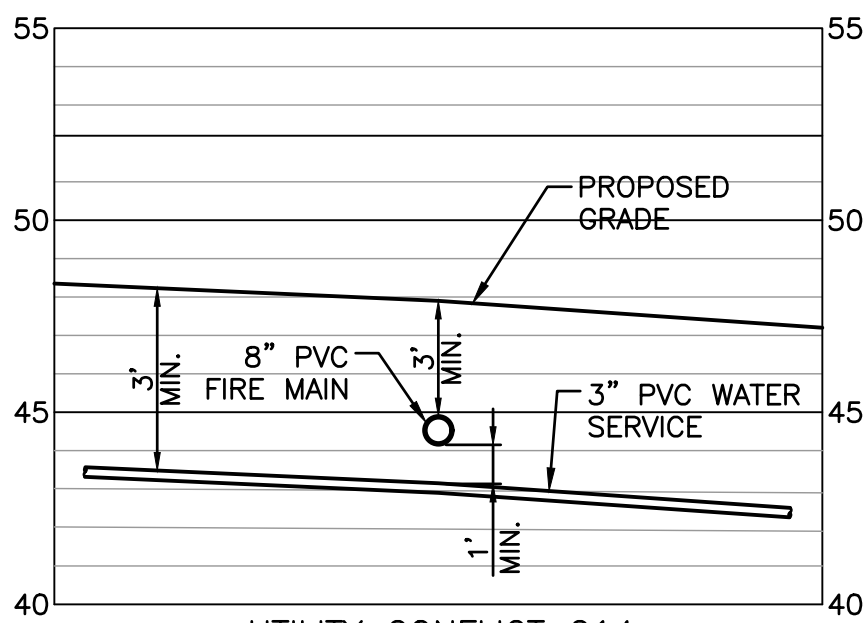
UTILITY CONFLICT C11
1" = 5'



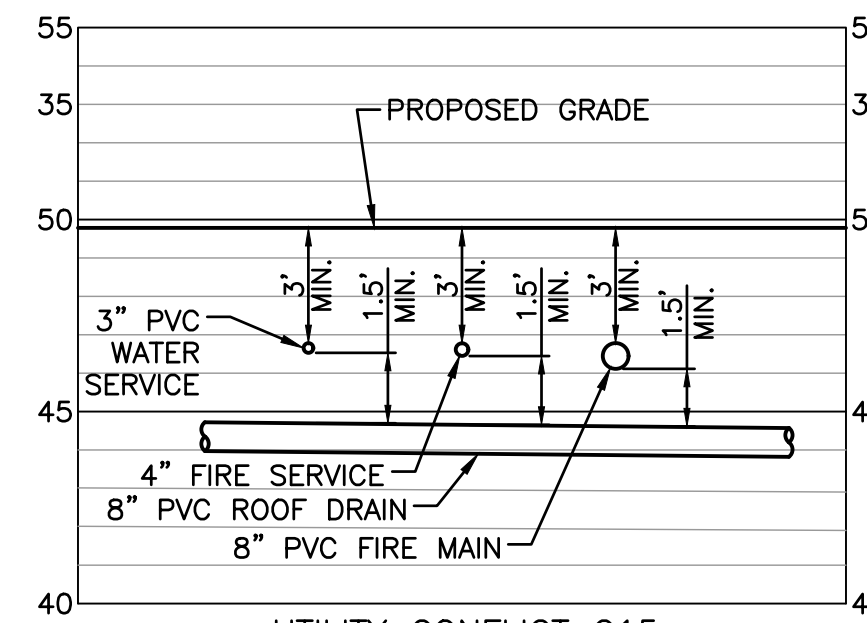
UTILITY CONFLICT C12
1" = 5'



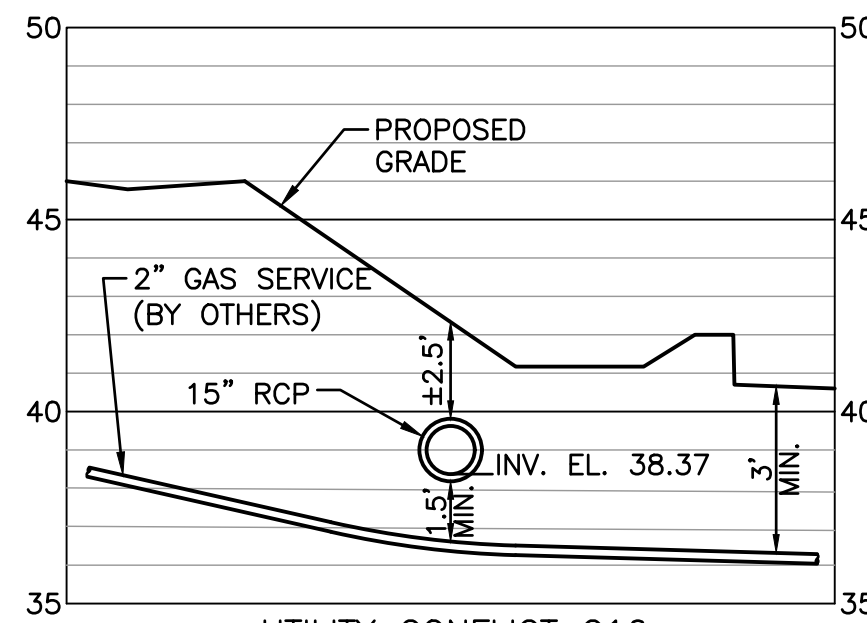
UTILITY CONFLICT C13
1" = 5'



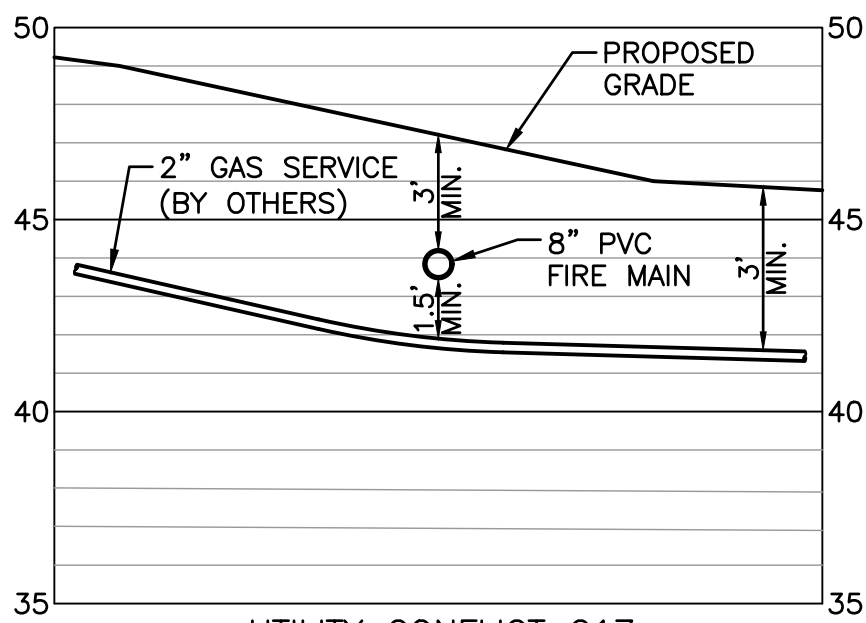
UTILITY CONFLICT C14
1" = 5'



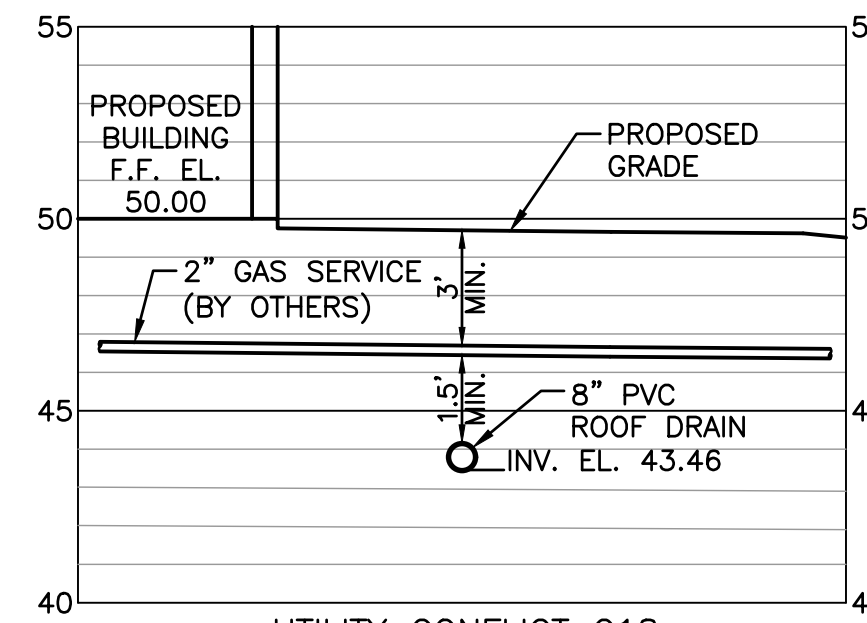
UTILITY CONFLICT C15
1" = 5'



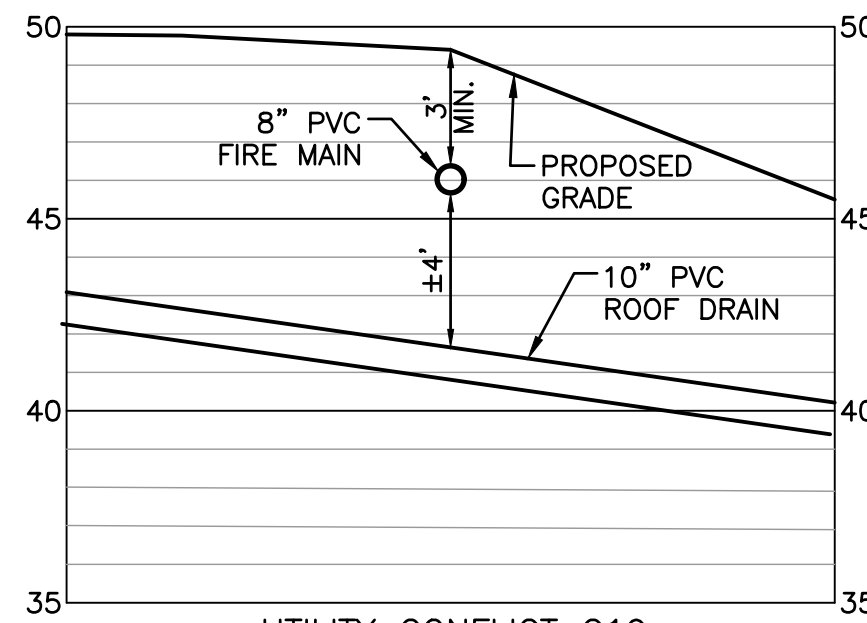
UTILITY CONFLICT C16
1" = 5'



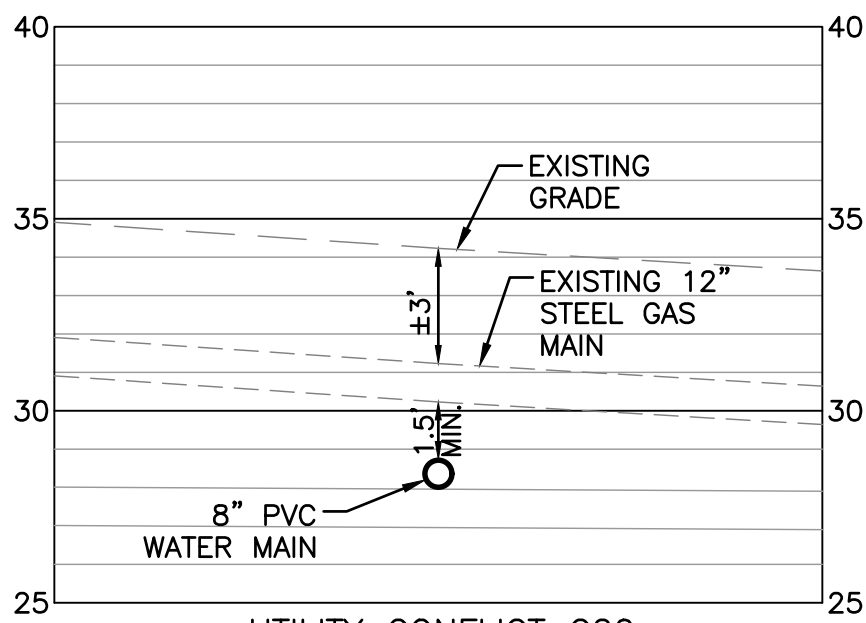
UTILITY CONFLICT C17
1" = 5'



UTILITY CONFLICT C18
1" = 5'



UTILITY CONFLICT C19
1" = 5'



UTILITY CONFLICT C20
1" = 5'

DATE	REVISIONS:

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DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH

GREG HUDAK
PE # 54684

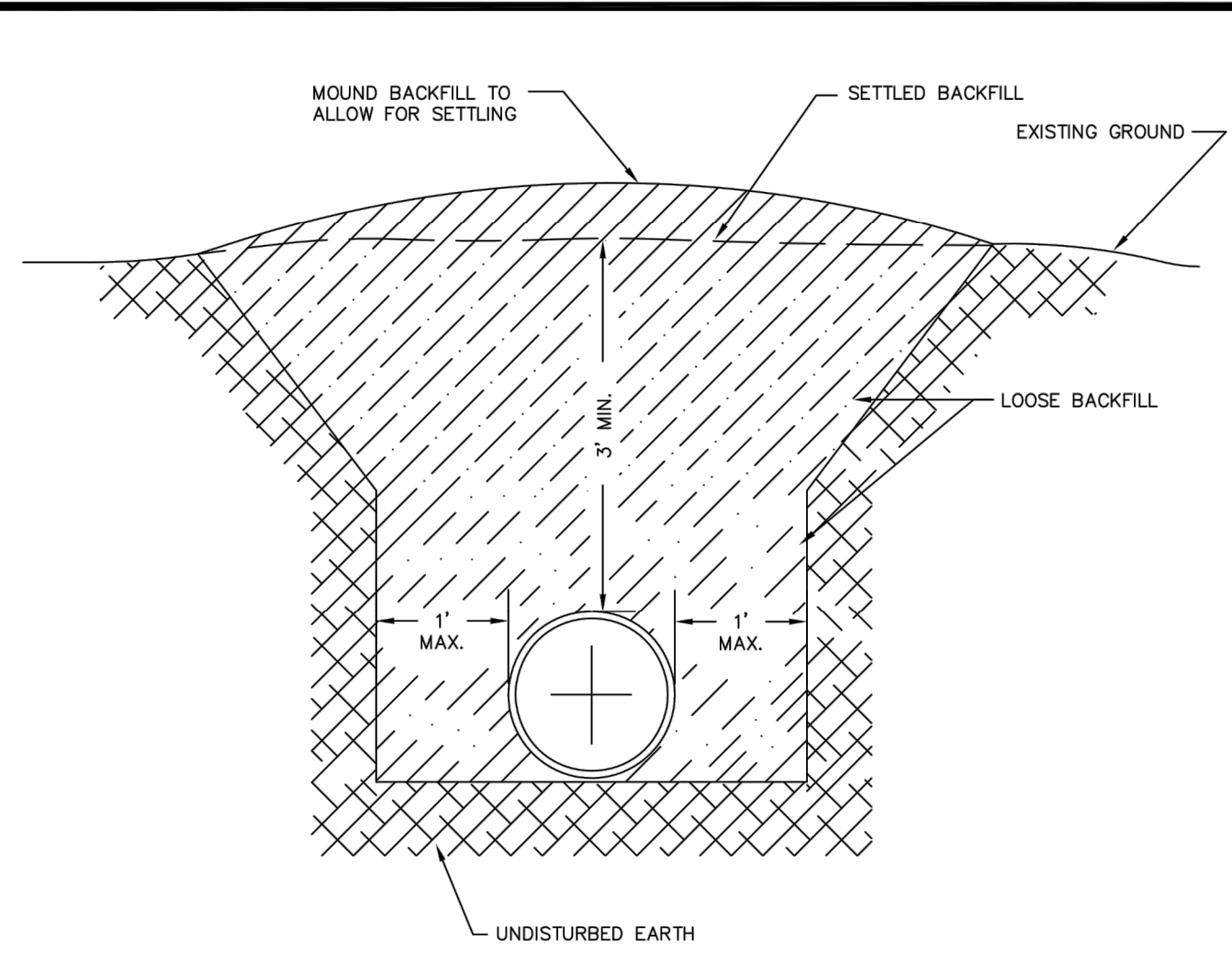
CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 492-8833
EMAIL: ghudak@hudakengineering.com

DATE:
JANUARY 2018

SHEET NO.
C-11B
11B of 17

UTILITY CONFLICTS PLAN

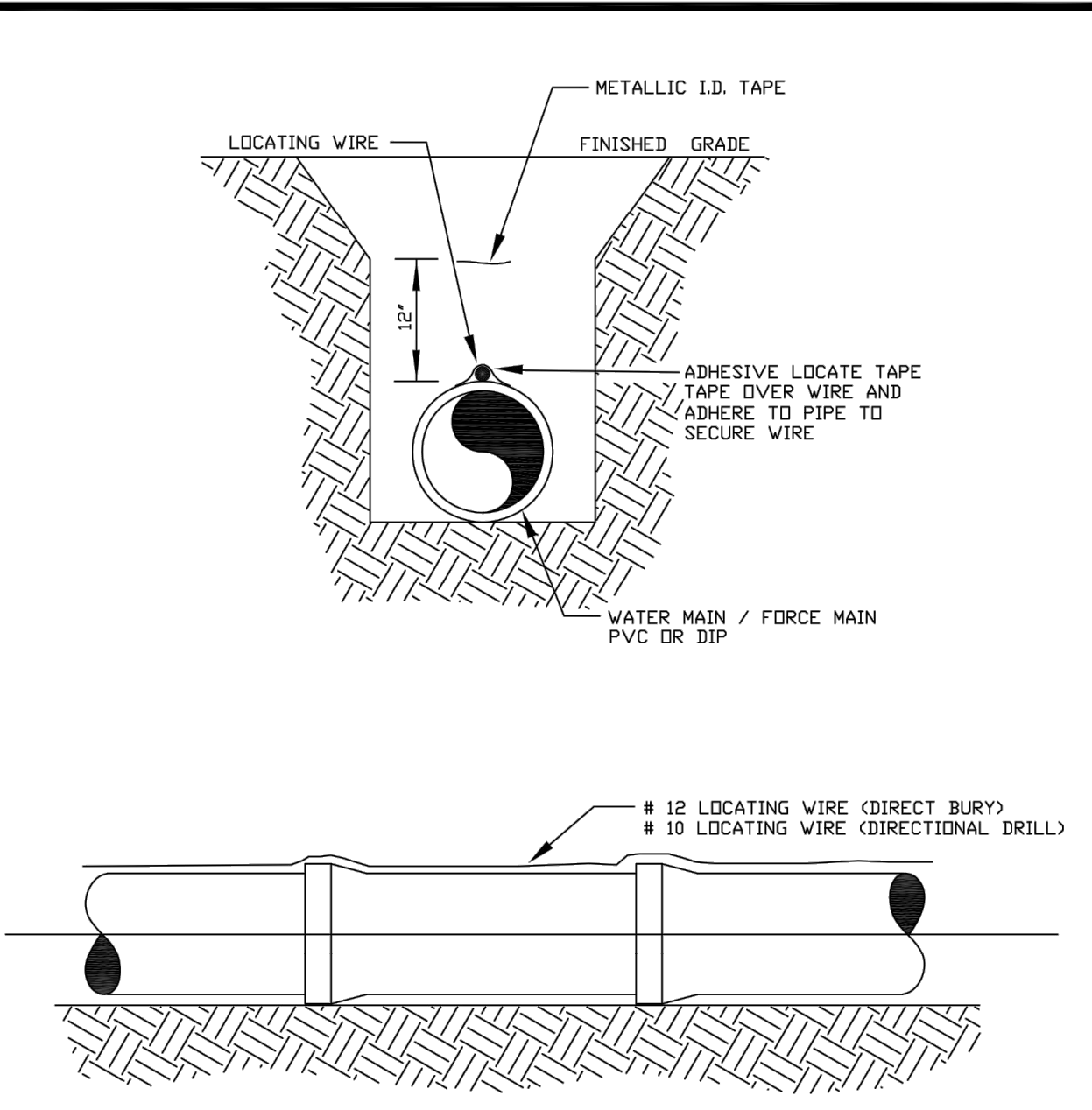


NOTES

1. PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH BY UNDISTURBED EARTH. DIG OUT HOLLOW AT PIPE BELL.
2. TRENCH SHALL BE DRY DURING PLACEMENT
3. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, STICKS, ROOTS & OTHER DEBRIS.
4. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF AASHTO T-180 MODIFIED PROCTOR WHEN LOCATED GREATER THAN 4 FEET FROM THE EDGE OF PAVEMENT OR BACK OF CURB.
5. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 98% OF AASHTO T-180 MODIFIED PROCTOR WHEN LOCATED LESS THAN 4 FEET FROM THE EDGE OF PAVEMENT OR BACK OF CURB.

TYPICAL TYPE I TRENCH DETAIL
(GRANULAR SOILS)
UPDATED JUNE 2016

VOL. UTL. STD. (FIG. 1001)



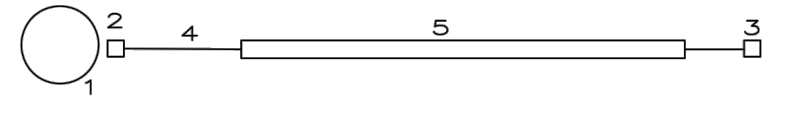
NOTES:

1. ALL PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (12 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE CENTERLINE OF PIPE.
2. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION (SEE GATE VALVE AND BOX DETAIL, FIGURE 2307).
3. ADHESIVE I.D. TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.
4. LOCATE WIRE AND LOCATE TAPE (TWO TYPES) SHALL BE ON ALL PIPES.
5. DIRECTIONAL DRILL INSTALLATION SHALL USE COPPER CLAD SOLID STEEL WIRE, 10 GAUGE.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.
UPDATED JUNE 2016

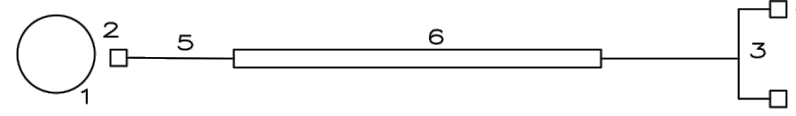
VOL. UTL. STD. (FIG. 1005)

SINGLE SET, METER SET FOR 5/8", 3/4" AND 1" METERS
SINGLE SERVICE SET (WATER AND RECLAIM)



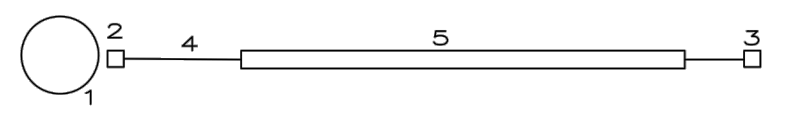
- NO POLYTUBING UNDER ROAD ALLOWED WITHOUT 2" CASING
1. 1" TAPPING SADDLE CC THREAD, EPOXY COATED WITH STAINLESS STEEL STRAP, SMITH BLAIR, FORD, JCM, MUELLER
 2. 1" CORPORATION STOP FORD FB1000-4-G (1" BALLVALVE, INLET, OUTLET) MUELLER EQUAL
 3. 1" CURB STOP, FORD B43-342W-NL (3/4" VALVE, 1" INLET PE END PACK JOINT-CTS, MUELLER EQUAL (THIS IS FOR 5/8" AND 3/4" METER SET), IF 1" METER SET USE FORD CURB STOP B41-344W-NL
 4. 1" 200 PSI, SDR 9 ENDOT ENOPURE BLUE WATER SERVICE TUBING (POTABLE), PURPLE (RECLAIMED)
 5. 2" PVC SCHEDULE 40, CASING PIPE WHITE, IF INSTALLATION UNDER ROAD, (PAVED OR DIRT)

DOUBLE SET OR DUAL SET
METER SET FOR 5/8" AND 3/4" METERS (WATER ONLY)



- NO POLYTUBING UNDER ROAD ALLOWED WITHOUT 2" CASING
1. 1" TAPPING SADDLE CC THREAD, EPOXY COATED WITH STAINLESS STEEL STRAP, SMITH BLAIR, FORD, JCM, MUELLER
 2. 1" CORPORATION STOP FORD FB1000-4-G (1" BALLVALVE, INLET, OUTLET) MUELLER EQUAL
 3. 1" X 3/4" U BRANCH PACK JOINT-CTS FORD U48-43-NL 7.5 OR MUELLER H1460
 4. 3/4" CURB STOP, FORD B13-332W-NL OR MUELLER EQUAL
 5. 1" 200 PSI, SDR 9 ENDOT ENOPURE BLUE WATER SERVICE TUBING (POTABLE), PURPLE (RECLAIMED)
 6. 2" PVC SCHEDULE 40, CASING PIPE WHITE, IF INSTALLATION UNDER ROAD, (PAVED OR DIRT)

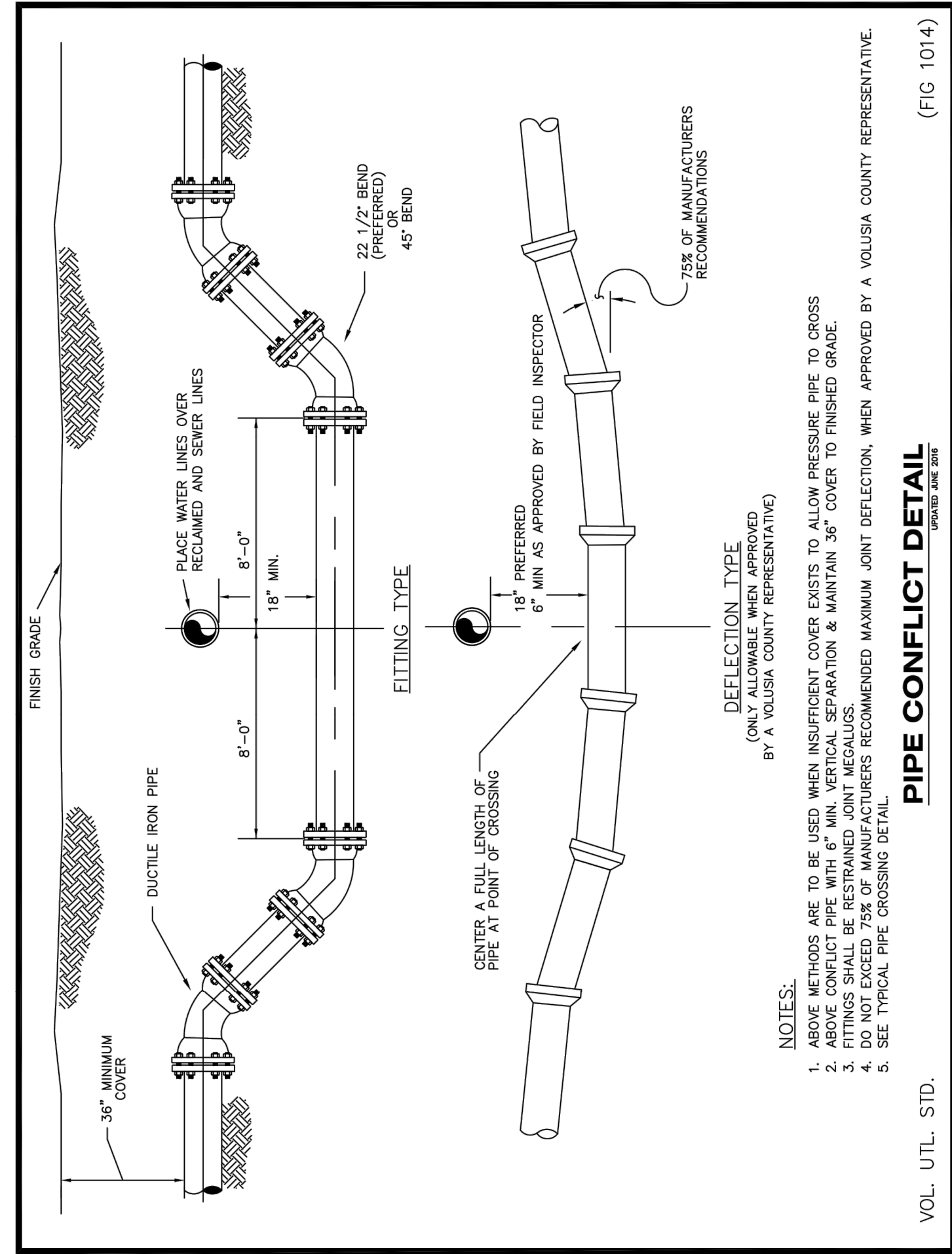
2" WATER SERVICE CONNECTION FOR 1 1/2" AND 2" METER SETS
(WATER AND RECLAIM)



- NO POLYTUBING UNDER ROAD ALLOWED WITHOUT 4" CASING
1. 2" TAPPING SADDLE CC THREAD, EPOXY COATED WITH STAINLESS STEEL STRAP,
 2. 2" CORPORATION STOP FORD FB1101-7-G (2" BALLVALVE X IPT X CTS) MUELLER EQUAL
 3. 2" CURB STOP, BF43-777W-NL (2" VALVE, 2" CTS X 2" FLANGE) FLANGE WILL FIT 1 1/2" OR 2" FLANGE WATER METER
 4. 2" 200 PSI, SDR 9 ENDOT ENOPURE BLUE WATER SERVICE TUBING (POTABLE), PURPLE (RECLAIMED)
 5. 4" PVC SCHEDULE 40, CASING PIPE WHITE, IF INSTALLATION UNDER ROAD, (PAVED OR DIRT)

WATER & RECLAIMED SERVICE DETAIL
UPDATED SEPTEMBER 2014

VOL. UTL. STD. (FIG. 1011)

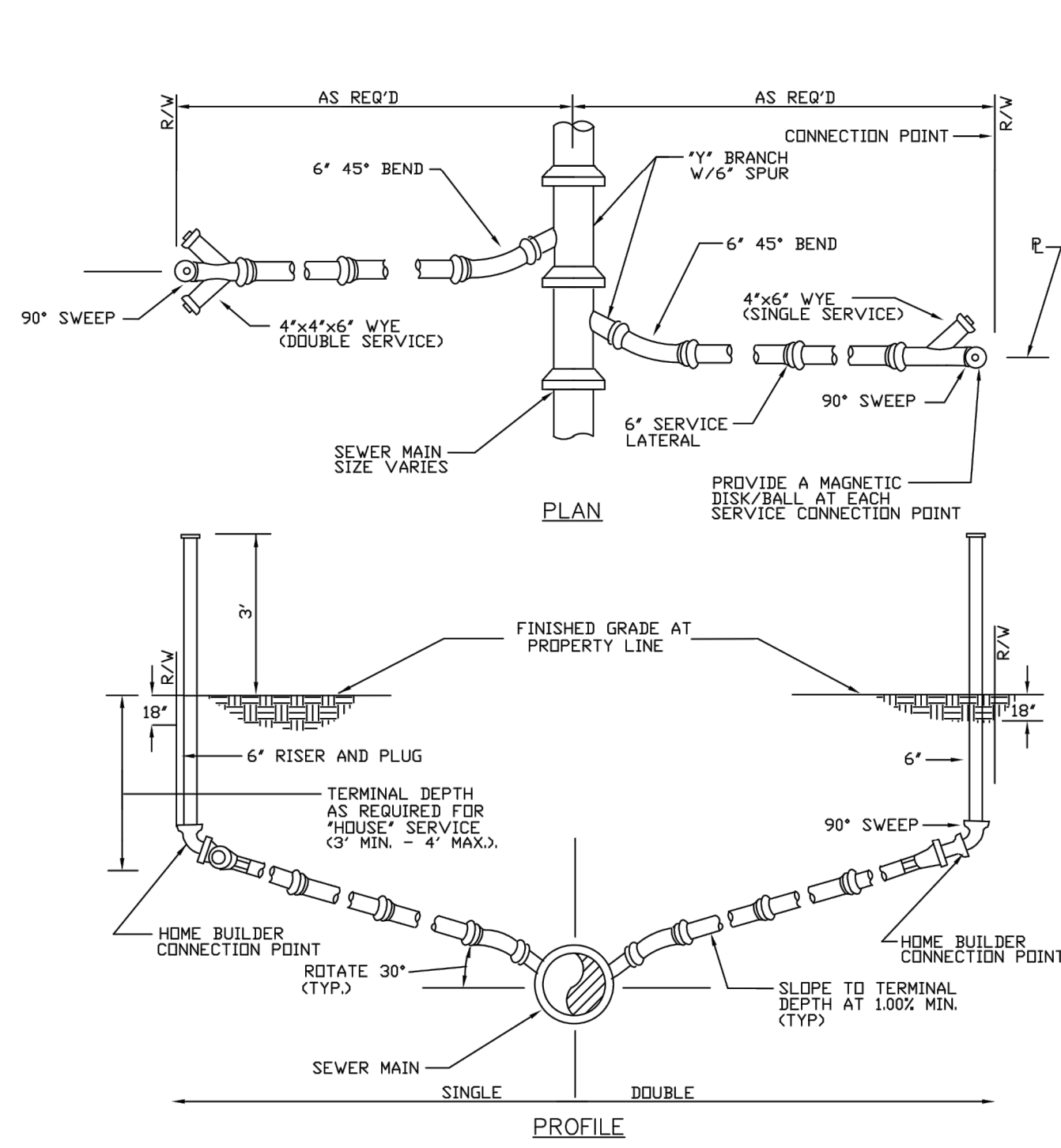


DEFLECTION TYPE
(ONLY ALLOWABLE WHEN APPROVED BY A VOLUSIA COUNTY REPRESENTATIVE)

- NOTES:**
1. ABOVE METHODS ARE TO BE USED WHEN INSUFFICIENT COVER EXISTS TO ALLOW PRESSURE PIPE TO CROSS OVER ANOTHER PIPE. PREPARE AND MAINTAIN 36" COVER TO FINISHED GRADE.
 2. FITTINGS SHALL BE RESTRAINED JOINT RECALCULUS.
 3. DEFLECTION SHALL BE LIMITED TO 1/2" PER FOOT OF CROSSING.
 4. DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION, WHEN APPROVED BY A VOLUSIA COUNTY REPRESENTATIVE.
 5. SEE TYPICAL PIPE CROSSING DETAIL.

PIPE CONFLICT DETAIL
UPDATED JUNE 2016

VOL. UTL. STD. (FIG 1014)



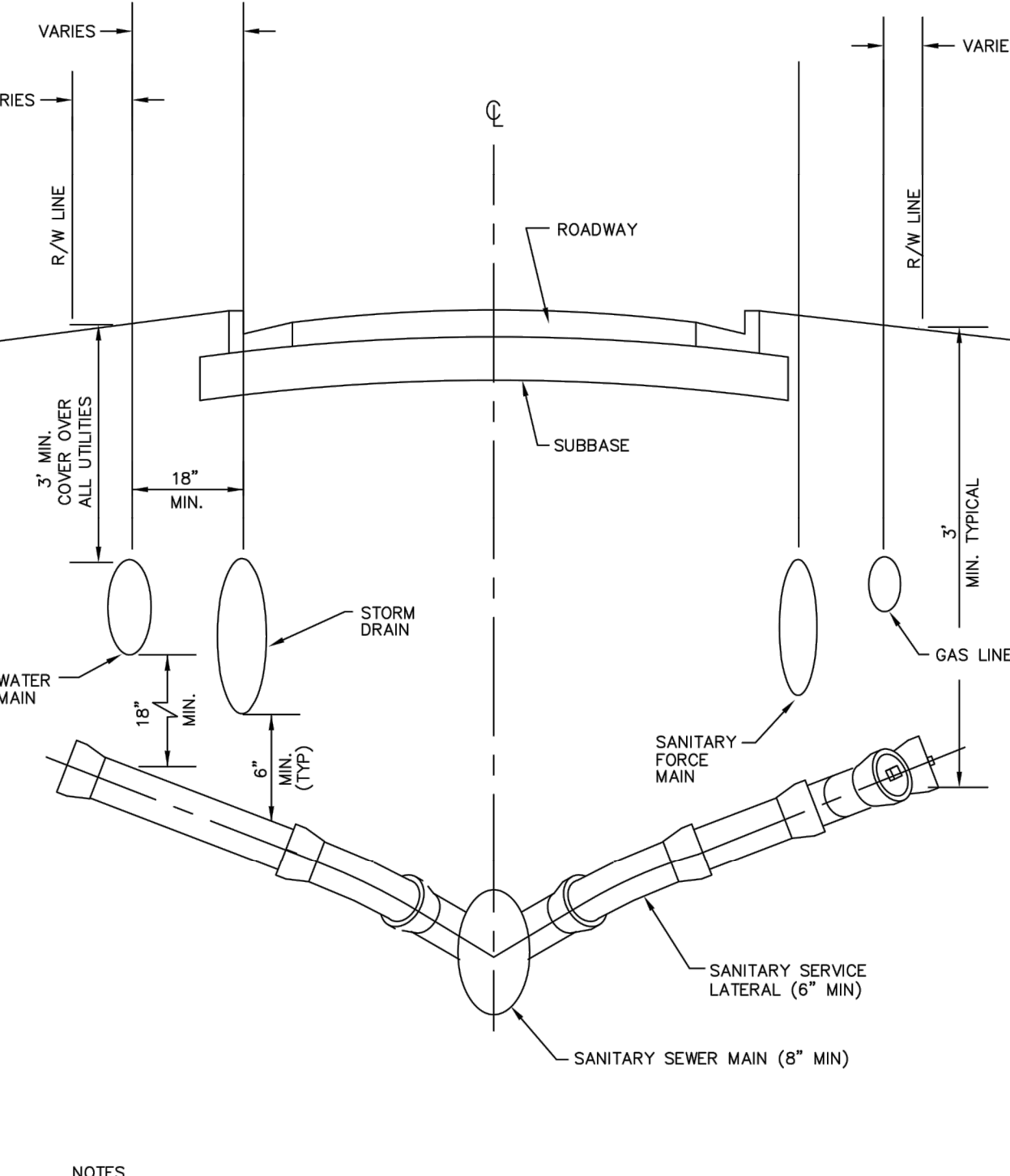
PLAN

PROFILE

- NOTES:**
1. HOME BUILDER SHALL INSTALL A CLEANOUT TO THEIR CONNECTION POINT.
 2. LOCATE SINGLE LATERAL AS CLOSE TO LOT AS POSSIBLE, 25" MAXIMUM.
 3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN.

SANITARY SERVICE LATERAL DETAIL
UPDATED JUNE 2016

VOL. UTL. STD. (FIG. 2007)



NOTES

1. STORM DRAIN MAY BE LOCATED ON EITHER SIDE OF ROAD.
2. SANITARY SEWER SERVICES ARE TO BE LAID OVER OR UNDER STORM DRAINS AS REQUIRED.
3. SANITARY SERVICE LATERAL SHALL HAVE A MINIMUM SLOPE OF 0.01%.
4. SANITARY SERVICE LATERALS TO BE A MINIMUM OF 6" DIA.
5. 18" SEPARATION SHALL BE MAINTAINED BETWEEN ALL PIPES WHEN POSSIBLE.

TYPICAL UNDERGROUND UTILITIES LOCATION
UPDATED JUNE 2016

VOL. UTL. STD. (FIG. 2008)

Electronic Marker Balls for Gravity Mains
Electronic Balls shall be provided at one foot from the termination of all sanitary sewer service laterals. Balls shall be Scotchmark model 1404, Electronic Full-Range Marker manufactured by 3M.

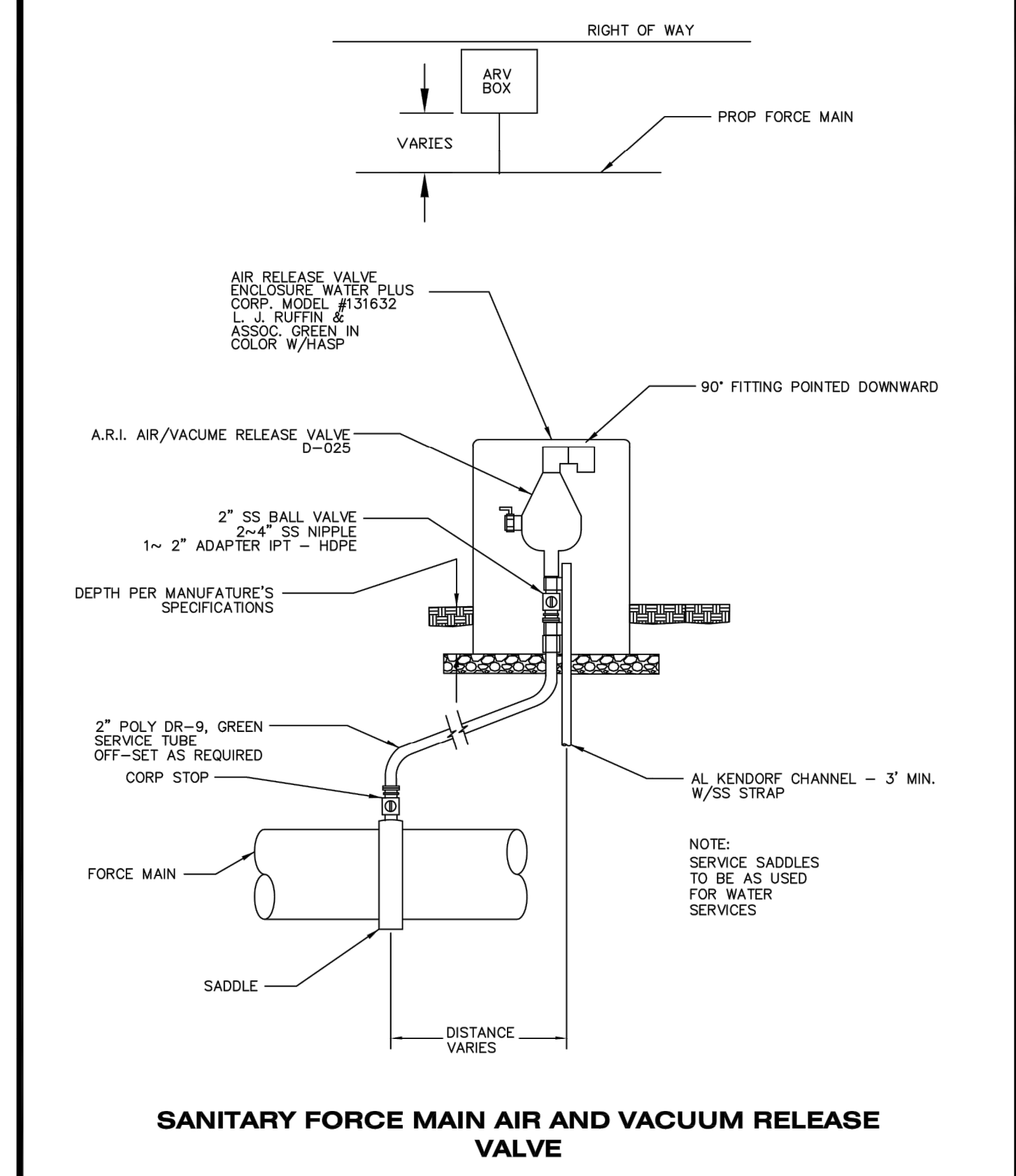
Electronic Marker Balls for Sewer Force Mains
Electronic Balls shall be provided at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Balls shall also be provided at the termination of sewer services. Electronic marker Balls shall be Scotchmark model 1403, Electronic Full-Range Marker Balls manufactured by 3M.

Electronic Marker Balls for Potable Water Mains
Electronic Balls shall be provided at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Balls shall also be provided at the termination of water services. Balls shall be Scotchmark model 1403, Electronic Full-Range Marker Balls manufactured by 3M.

Electronic Marker Balls for Reclaimed Water Mains
Electronic Balls shall be at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Balls shall also be provided at the termination of water services. Balls shall be Scotchmark model 1408, Electronic Full-Range Marker Balls manufactured by 3M.

ELECTRONIC MARKER
UPDATED JUNE 2016

VOL. UTL. STD.



SANITARY FORCE MAIN AIR AND VACUUM RELEASE VALVE

ARI D-025-P OR EQUAL
N.T.S.
UPDATED JUNE 2016

VOL. UTL. STD. (FIG. 2104)

DATE	REVISIONS:

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GREG HUDAK
PE # 54634

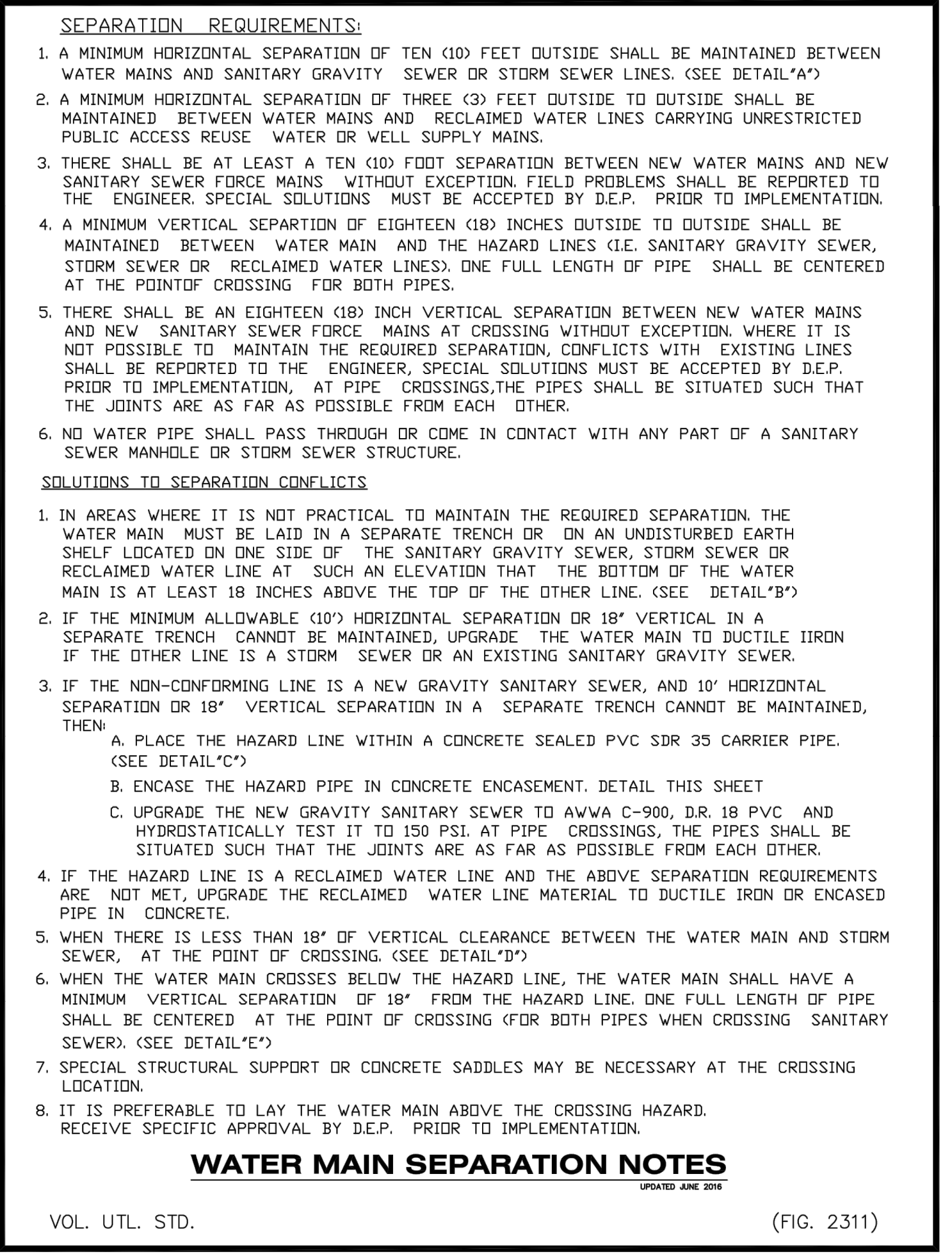
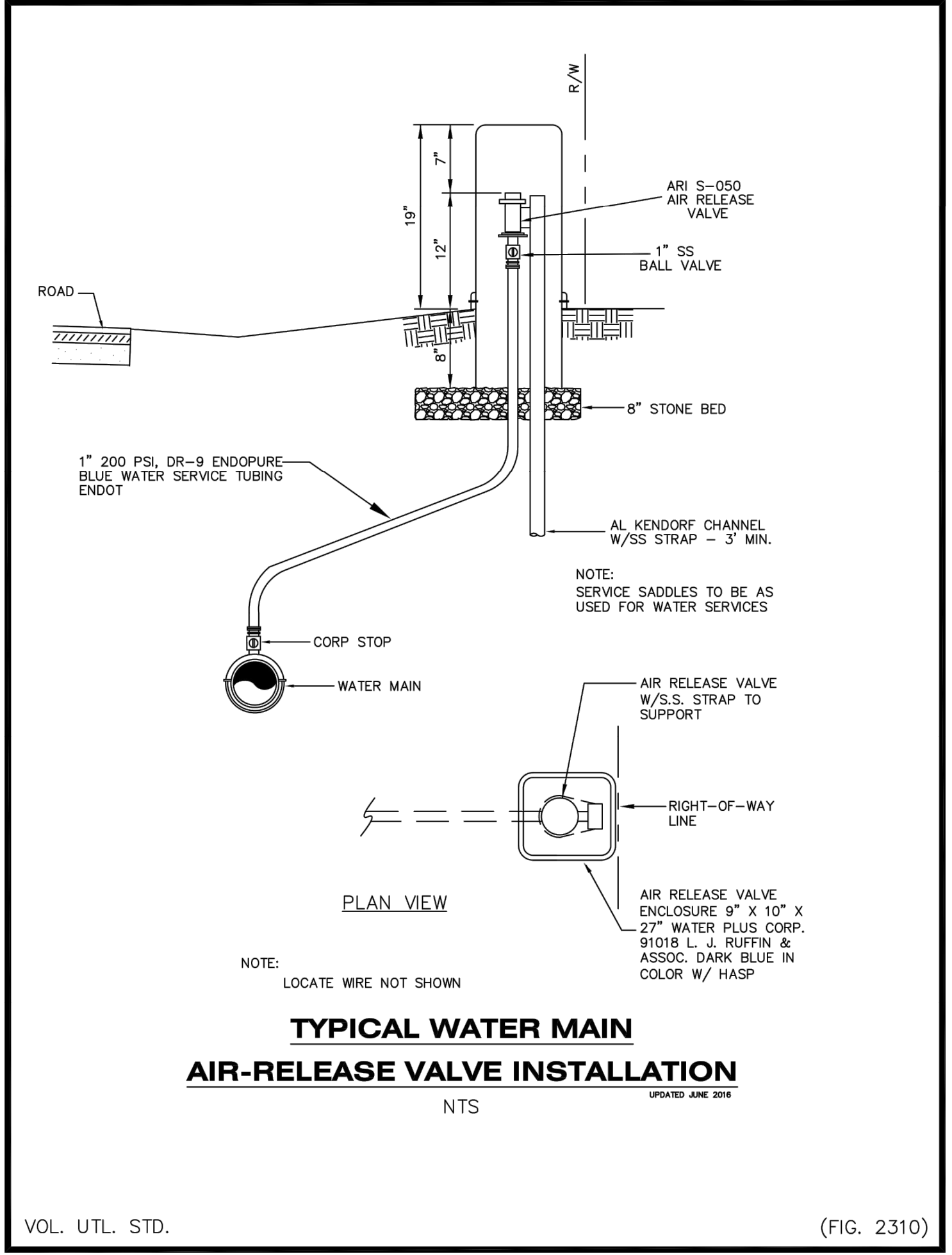
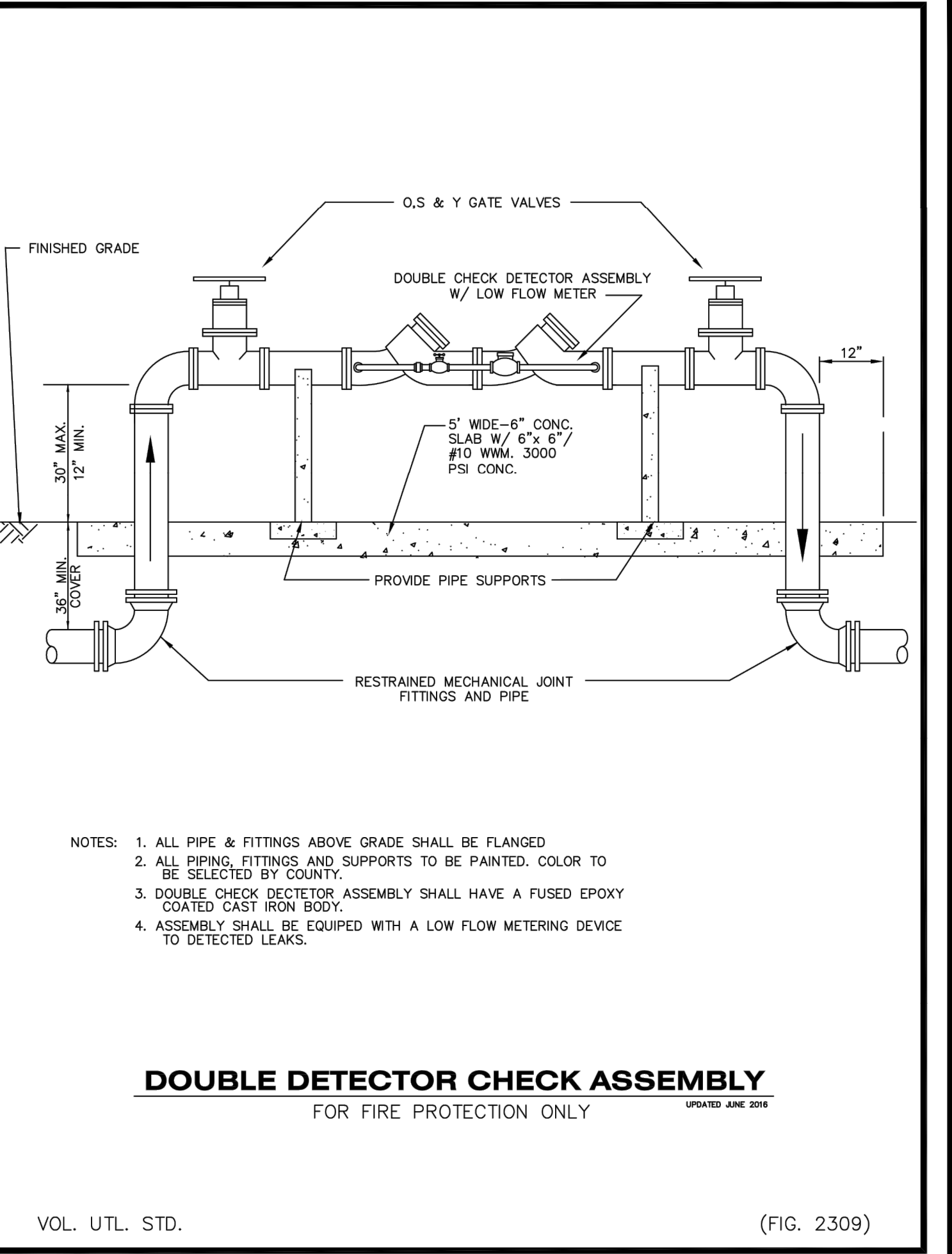
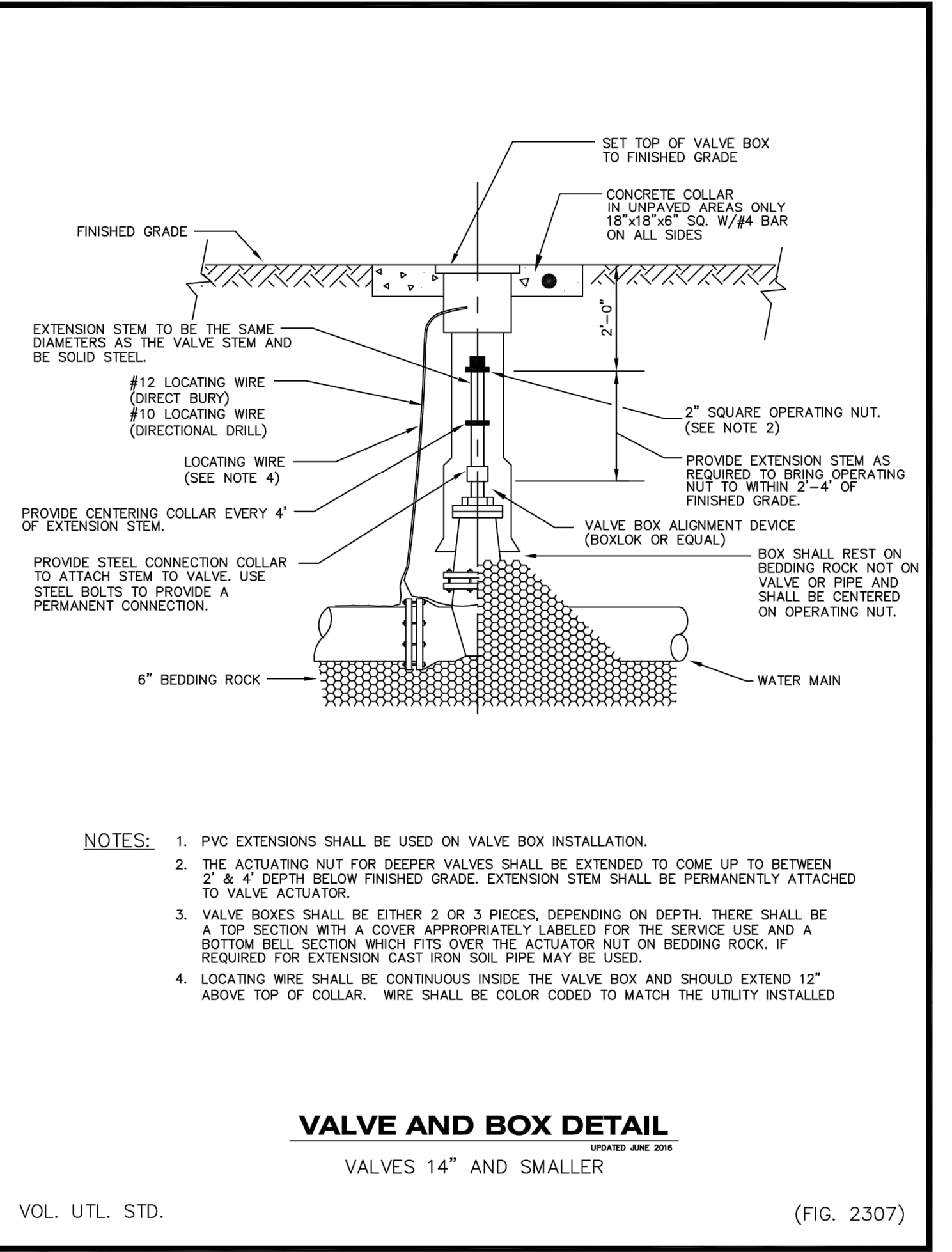
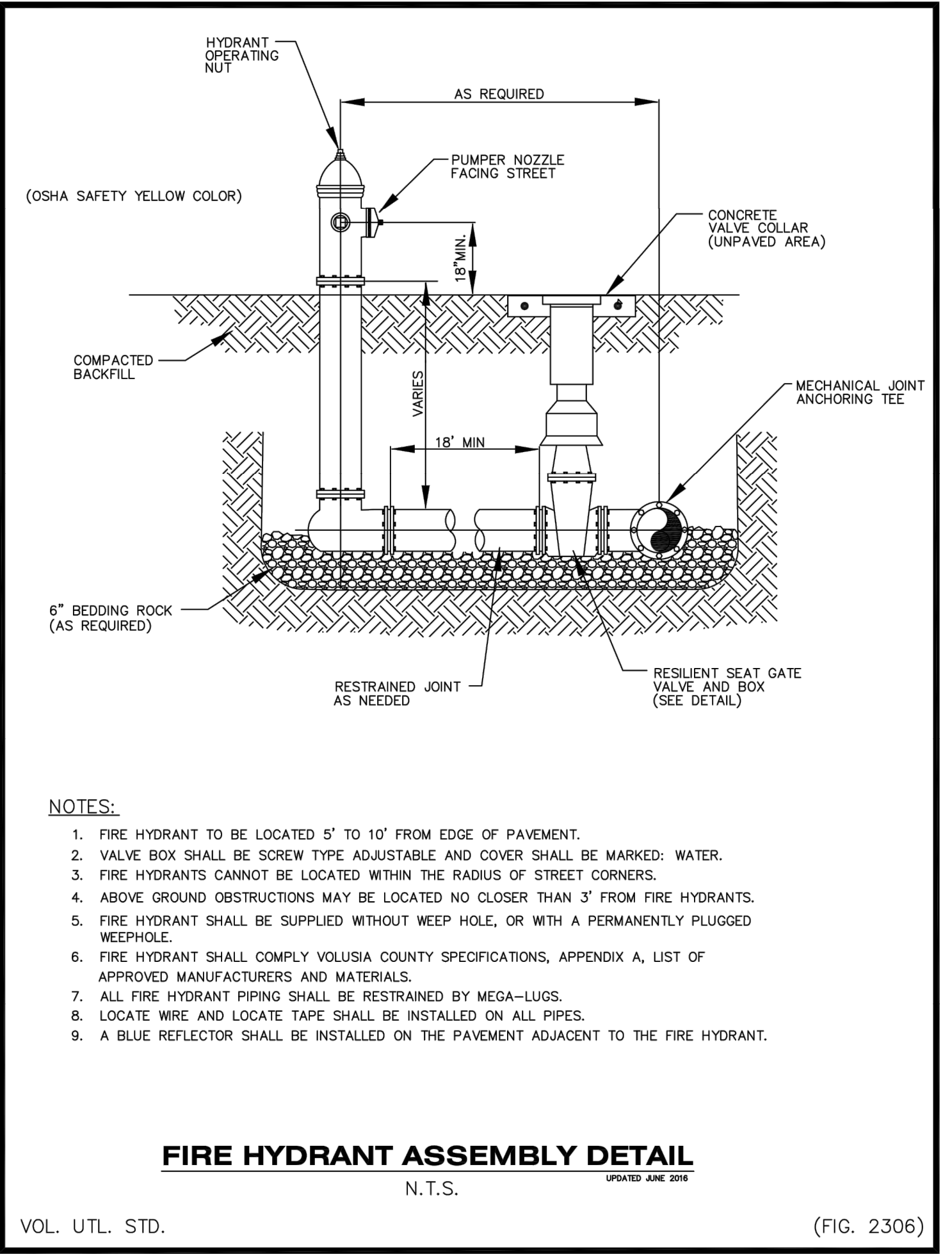
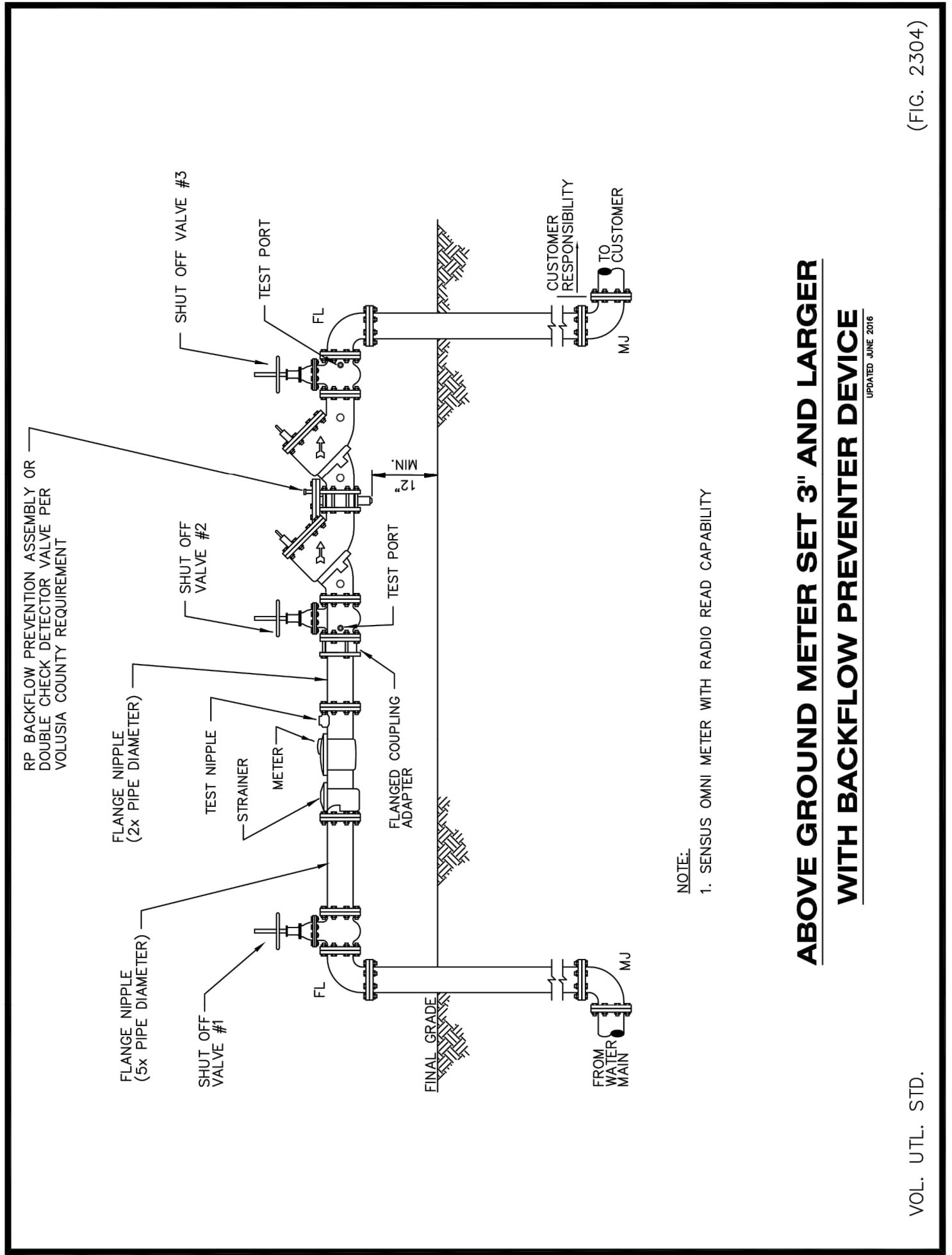
CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 492-8833
EMAIL: ghudak@hudakengineering.com

DATE: **JANUARY 2018**

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UTILITY DETAILS



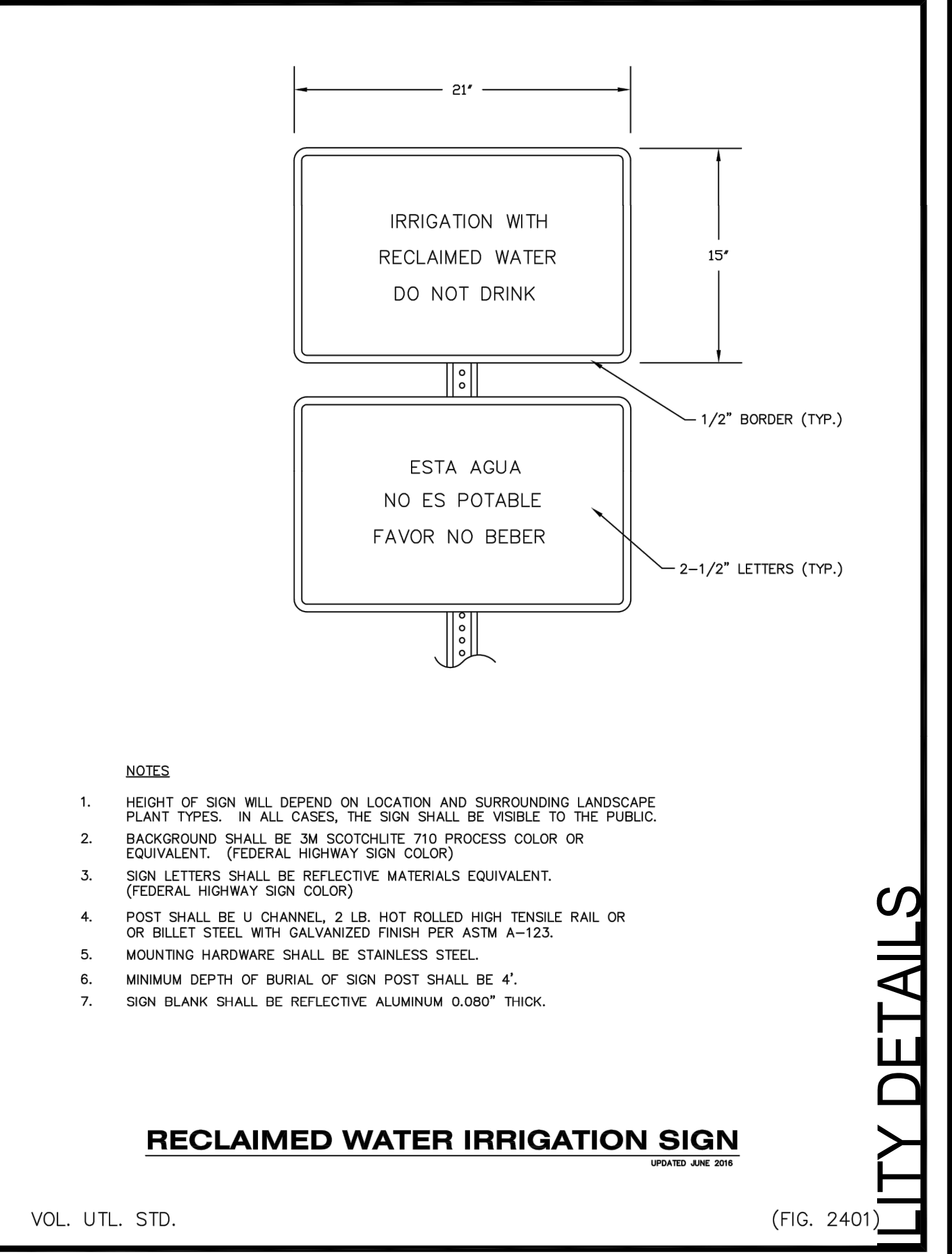
LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314
UPDATED JUNE 2016

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT MINIMUM	12 INCHES MINIMUM, 18 INCHES MAXIMUM, 18 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
VACUUM SANITARY SEWER	10 FT. MINIMUM 3 FT. MINIMUM	12 INCHES MINIMUM, 18 INCHES MAXIMUM, 18 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	10 FT. MINIMUM 6 FT. MINIMUM (3)	12 INCHES MINIMUM, 18 INCHES MAXIMUM, 18 INCHES IS PREFERRED	ALTERNATE 4 FT. MINIMUM
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 FT. MINIMUM		

WATER MAIN SEPARATION DETAIL
UPDATED JUNE 2016

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. 3 FT. FOR GRAVITY SANITARY SEWER, WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
3. 10 FT. FOR VACUUM SANITARY SEWER.
4. RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

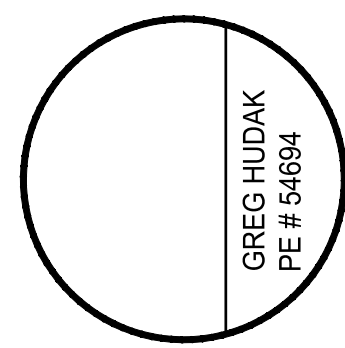
VOL. UTL. STD. (FIG. 2312)



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APPROVED BY	GDH



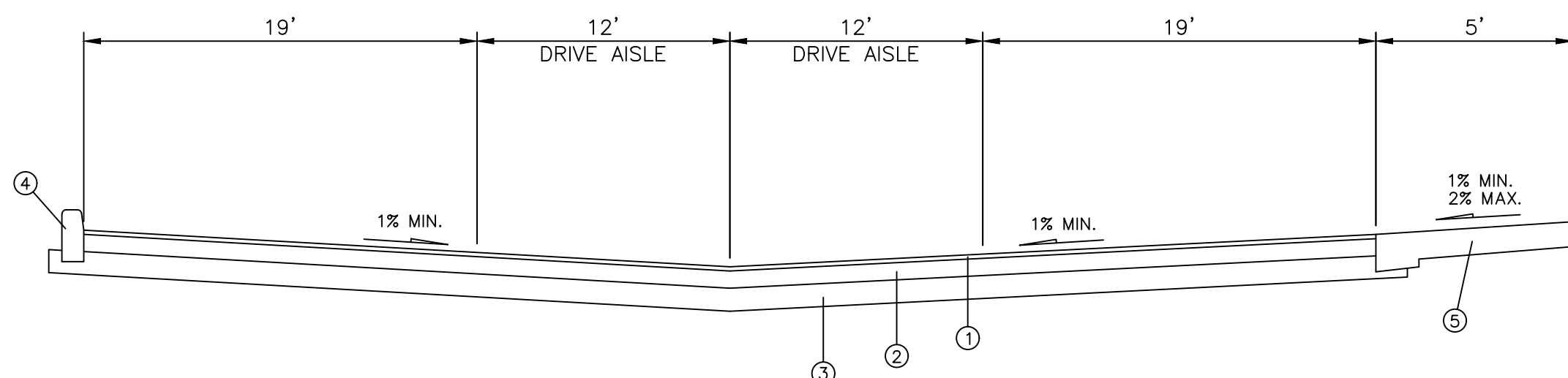
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CITY OF DEBARY, FLORIDA

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1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 462-8833
EMAIL: ghudak@hudakengineering.com

DATE:
JANUARY 2018

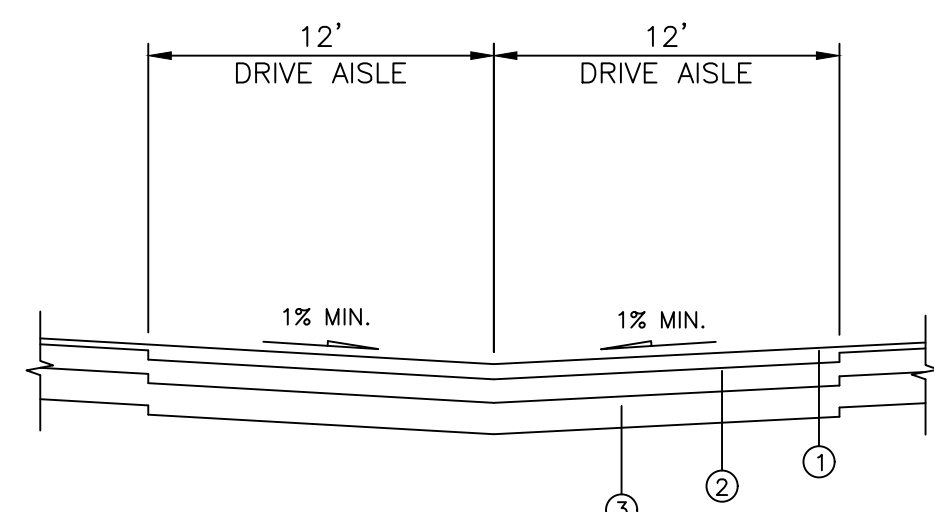
SHEET NO.
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UTILITY DETAILS



- ① 1 1/2" TYPE S-III ASPHALTIC CONCRETE
- ② 6" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ③ 12" STABILIZED SUBBASE, MIN. LBR OF 40%, COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ④ FDOT TYPE 'D' CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK

TYPICAL ASPHALT PAVEMENT SECTION
N.T.S.



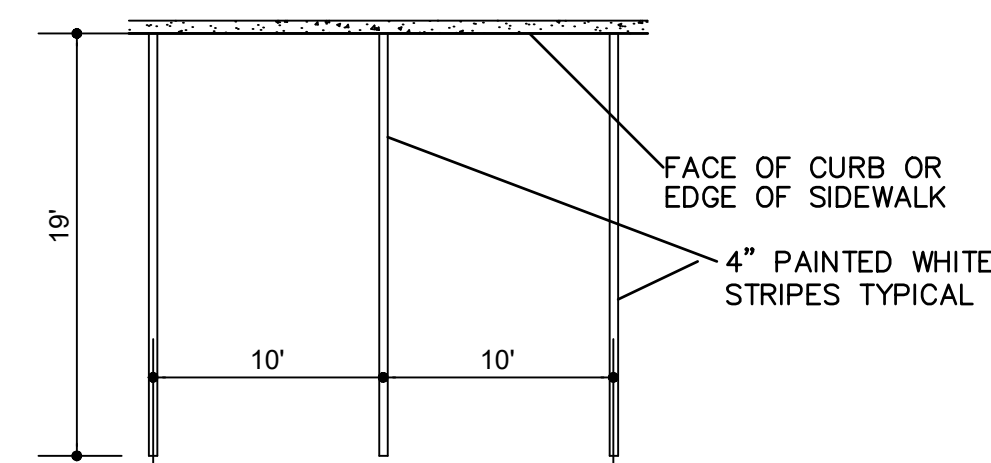
- ① 1 1/2" TYPE S-III ASPHALTIC CONCRETE
- ② 8" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ③ 12" STABILIZED SUBBASE, MIN. LBR OF 40%, COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)

HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.

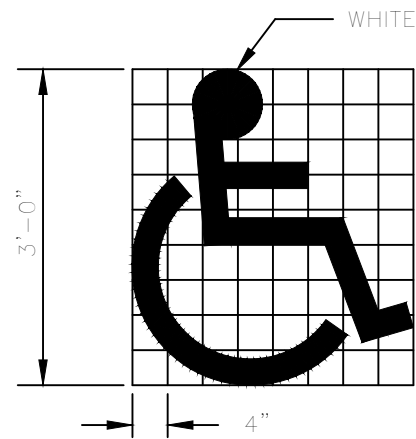
- NOTES:
1. ALL LETTERS ARE 1" SERIES "C", PER MUTCO.
 2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.
 4. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 5. INSTALLATION HEIGHT OF SIGN SHALL COMPLY WITH CHAPTER 11 OF THE FLORIDA BUILDING CODE 2001.



FTP-25
HANDICAPPED PARKING SIGN PER F.D.O.T. INDEX 17355

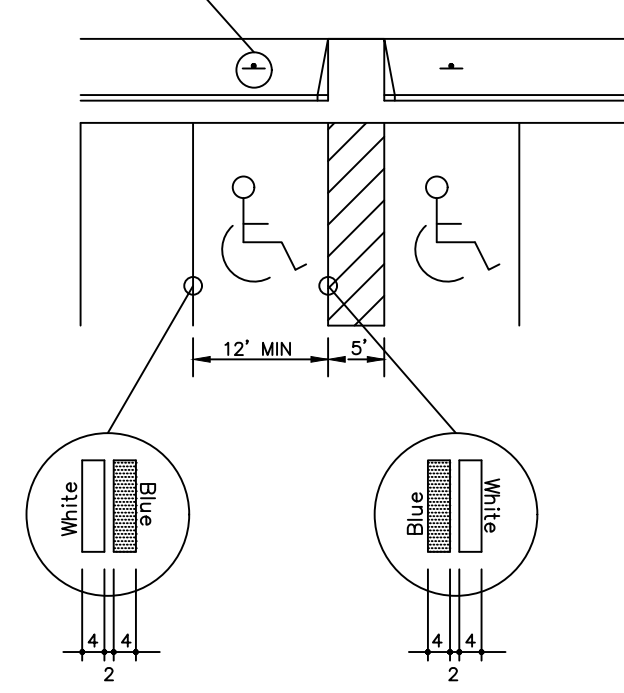


STANDARD PARKING STALL STRIPING DETAIL
N.T.S.

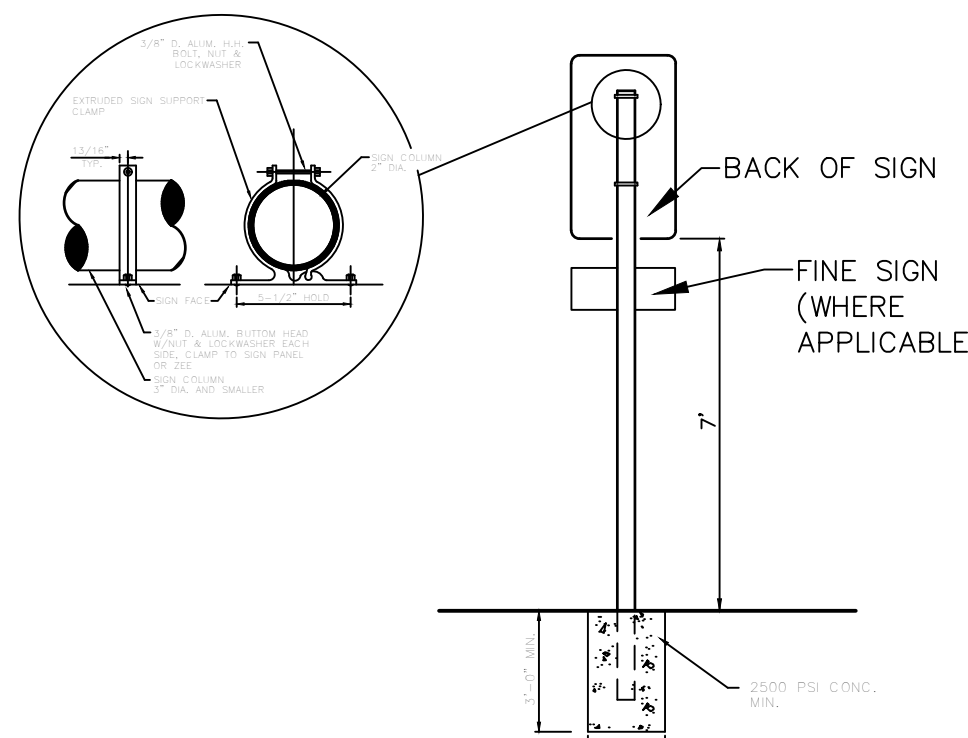


HANDICAPPED PAVEMENT SYMBOL

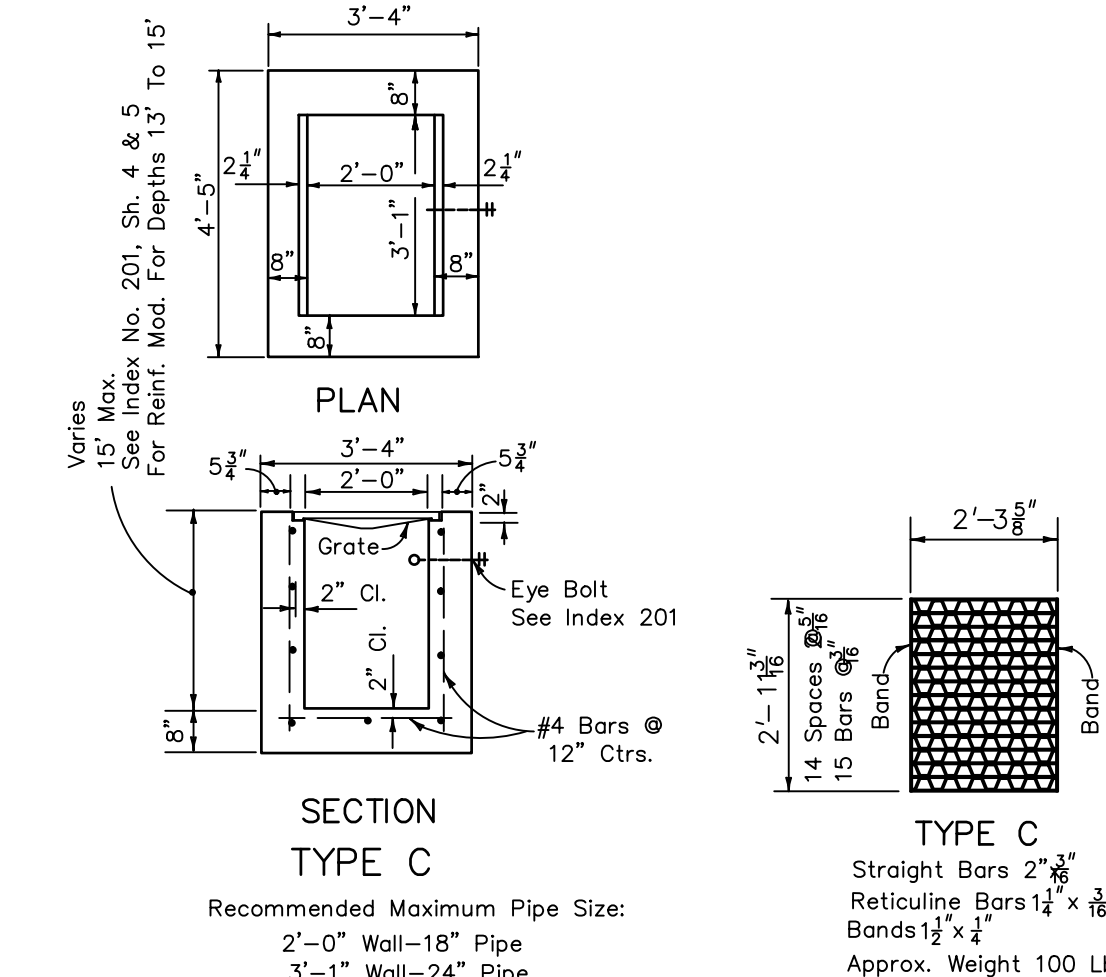
HANDICAPPED PARKING MARKINGS



HANDICAP STRIPING DETAIL
N.T.S.



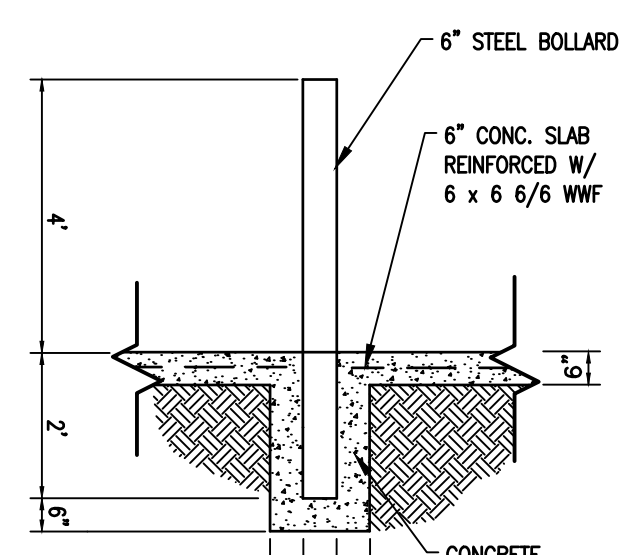
SIGN POST DETAIL
N.T.S.



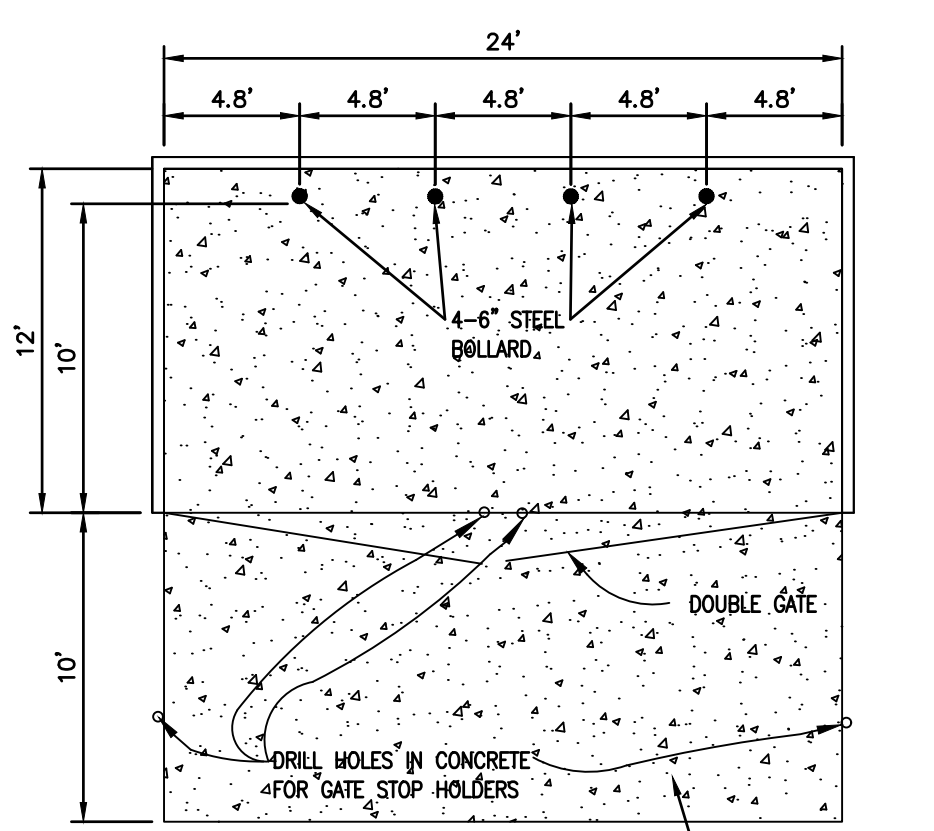
INLETS STEEL GRATES
GENERAL NOTES

1. These inlets are suitable for bicycle and pedestrian areas and are to be used in ditches, medians and other areas subject to infrequent traffic loadings but are not to be placed in areas subject to any heavy wheel loads.
2. Inlets subject to minimal debris should be constructed without slots. Where debris is a problem inlets should be constructed with slots. Slotted inlets located within roadway clear zones and in areas accessible to pedestrians shall have traversable slots. The traversable slot modification is not adaptable to inlet Type H. Slots may be constructed at either or both ends as shown on plans.
3. Steel grates are to be used on all inlets where bicycle traffic is anticipated. Steel grates are to be used on all inlets with traversable slots. Either cast iron or steel grates may be used on inlets without slots where bicycle traffic is not anticipated. Either cast iron or steel grates may be used on all inlets with non-traversable slots. Subject to the selection described above, when Alternate G grate is specified in the plans, either the steel grate, hot dipped galvanized after fabrication, or the cast iron grate may be used, unless the plans stipulate the particular type.
4. Recommended maximum pipe sizes shown are for concrete pipe. Pipe sizes larger than those recommended must be checked for fit.
5. All exposed corners and edges of concrete are to be chamfered 1/4".
6. Pavement to be used on inlets without slots and inlets with non-traversable slots only when called for in the plans, but required on all traversable slot inlets. Cost to be included in contract unit price for inlets. Quantities shown are for information only.
7. Traversable slots constructed in existing inlets shall be paid for as inlets partial, and shall include the cost for slot openings, paving and any required replacement grates.
8. Sodding to be used on all inlets not located in paved areas and paid for under contract unit price for Sodding SY.
9. For supplementary details see Index No. 201.

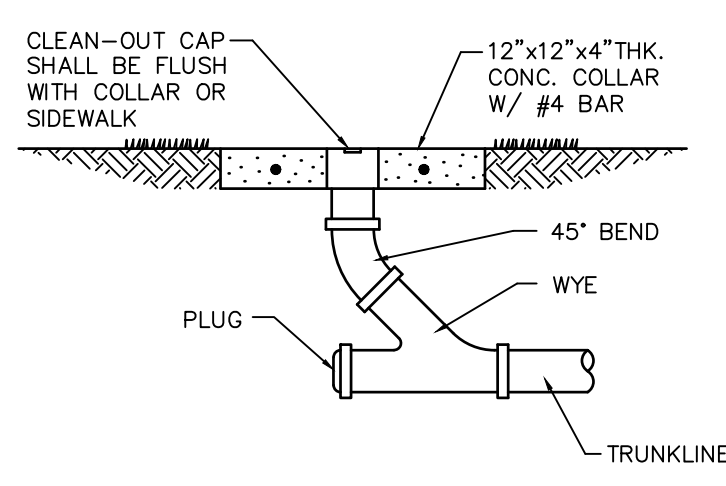
DITCH BOTTOM INLET
TYPE C



BOLLARD DETAIL
N.T.S.



WALLS: 6 FEET HIGH BE CONSTRUCTION OF CONCRETE BLOCK AND FINISHED TO MATCH BUILDING CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR DETAILS.
GATE: DOUBLE LOOKABLE GATE SHALL METAL AND PAINTED BLACK.
DUMPSTER PAD / ENCLOSURE
N.T.S.

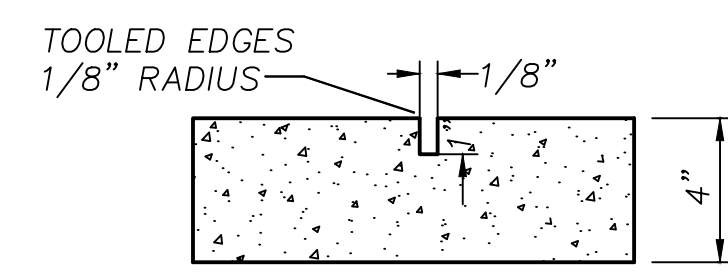


TYPICAL CLEAN-OUT

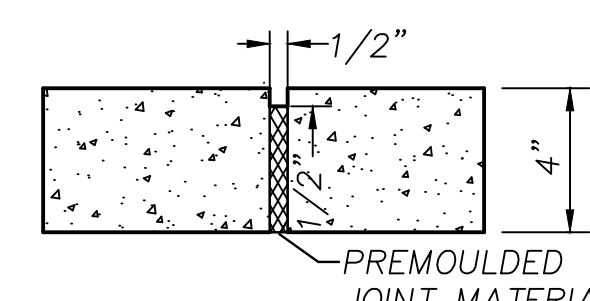


NO PARKING FIRE LANE
FIRE LANE MARKING SIGN
N.T.S.

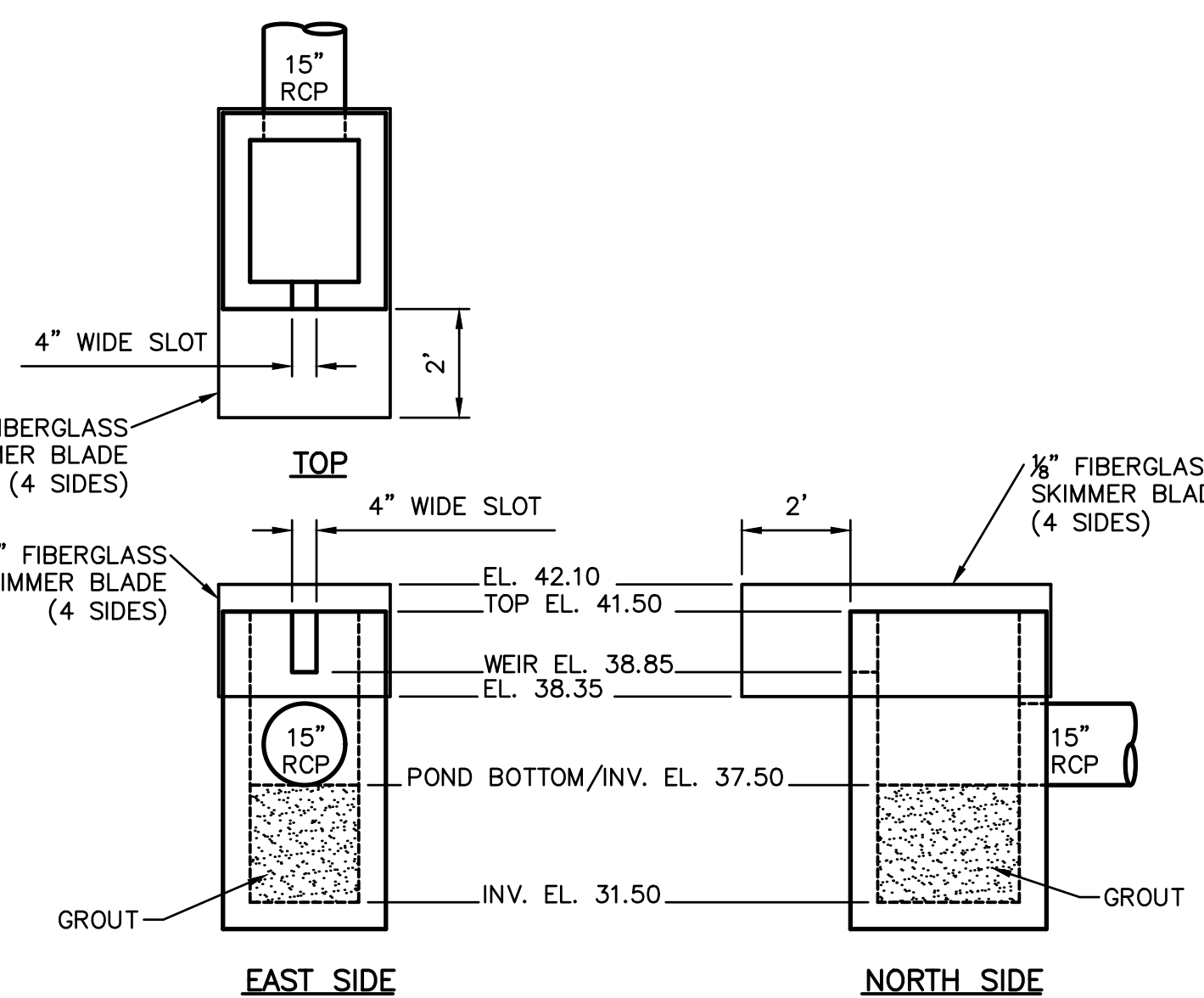
- NOTES:
1. FIRE LANE MARKING SIGN PER FLORIDA FIRE PREVENTION CODE 6, CHAPTER 18, SECTION 18.2.3.5.3
 2. SEE SIGN POST DETAIL TIS SHEET



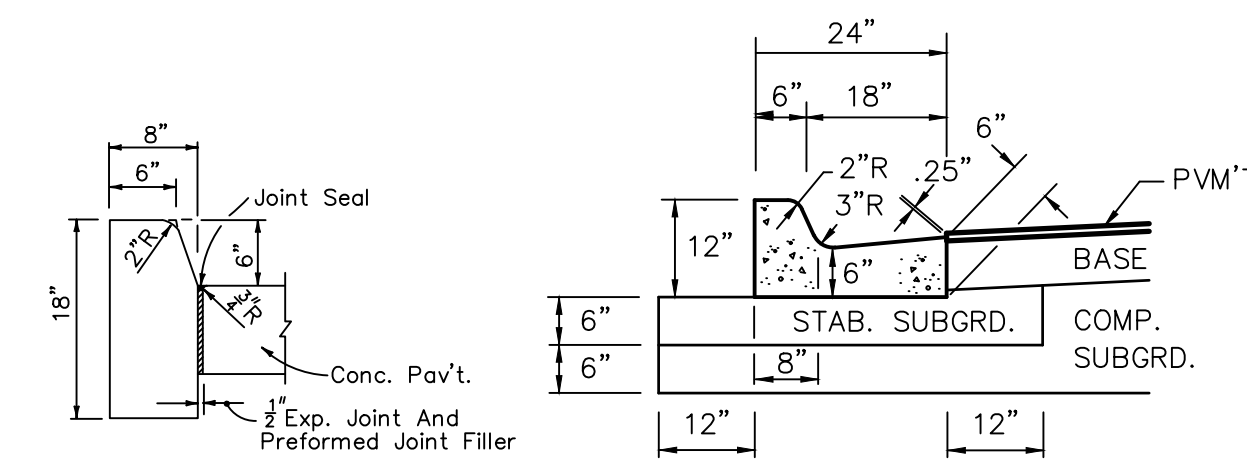
CONTRACTION JOINT
N.T.S.



EXPANSION JOINT
N.T.S.
CONCRETE JOINT DETAIL
N.T.S.



CONTROL STRUCTURE
DBI TYPE 'C'
FDOT INDEX #232 & 240
N.T.S.



TYPE D STD. CONC. 2' CURB & GUTTER

- GENERAL NOTES
1. For curb, gutter, and curb and gutter provide contraction joints at 10' centers (max.). Contraction joints adjacent to concrete pavement on tangents and flat curves are to match the pavement joints, with intermediate joints not to exceed 10' centers. Curb, gutter and curb & gutter expansion joints shall be located in accordance with Section 520 of the standard specifications.
 2. Ends of vertical curbs shall transition from full to zero heights in 3 feet.

CONC. CURB DETAILS

APPLICATION GUIDELINES FOR DITCH BOTTOM AND MEDIAN INLETS

INDEX NO.	TYPE	LOCATION	CAPACITY (CFS)						SAFETY			DEBRIS TOLERANCE	PIPE SIZE LIMITATION	OTHER DESIGN CONSIDERATIONS	
			GRATE ONLY		GRATE WITH SINGLE STD. SLOT		GRATE WITH SINGLE TRAN. SLOT		TRAFFIC	PEDESTRIAN	BICYCLE				
			Flow Condition	Flow Condition	Flow Condition	Flow Condition	A	B							
230	A	Limited Access Facilities	7	4	NA	NA	NA	NA	Heavy Wheel Loads	No	No	Good	2'-0" / 18"	24"	
231	B	Limited Access Facilities	16	6	NA	NA	NA	NA	Heavy Wheel Loads	No	No	Excellent	3'-0" / 30"	36"	
232	C	*Outside CZ	5	4	II	8	7	5	Infrequent Traffic	Yes	Yes	Poor*	2'-0" / 18"	24"	* See Note 4. For back of sidewalk location see Index No. 282
	D	*Outside CZ	14	6	27	15	20	8	Infrequent Traffic	Yes	Yes	Poor*	3'-0" / 30"	24"	* See Note 4.
	E	*Outside CZ	10	6	19	13	14	7	Infrequent Traffic	Yes	Yes	Poor*	3'-0" / 30"	24"	* See Note 4.
	H	Outside CZ	15	7	24	14	NA	NA	Infrequent Traffic	Yes	Yes	Poor*	3'-0" / 30"	24"	* See Note 4.
233	F	Inside CZ	9	5	NA	NA	NA	NA	Heavy Wheel Loads	Yes	Yes	Poor	2'-0" / 18"	36"	
	G	Inside CZ	23	7	NA	NA	NA	NA	Heavy Wheel Loads	Yes	Yes	Poor	4'-0" / 48"	42"	
234	J	Inside CZ	9	4	NA	NA	NA	NA	Heavy Wheel Loads	Yes	No	Fair	2'-0" / 18"	24"	
235	K	Outside CZ	NA	NA	NA	NA	NA	NA	NA	NA	NA	Good	3'-8" / 36"	36"	Debris buildup may occur on Type B fencing.

GENERAL NOTES

1. All inlets must be selected to satisfy hydraulic suitability, with proper consideration given to safety and economics.
2. CZ denotes clear zones, formerly CRA, denoting clear recovery area.
3. Alternate G grates should be specified when in salt water environments.
4. Inlets without slots or inlets with traversable slots may be located within the clear zones, Inlets C, D and E capacity and debris tolerance may be increased by the addition of a slot. Slotted inlets located within roadway clear zones and in areas accessible to pedestrians shall have traversable slots. Traversable slots are not adaptable to Inlet Type H.
5. Special slope slopes require plan details.
6. Pipe size limitations are based on circular Class III, B Wall, Concrete Pipe. Elliptical pipe and corrugated pipe are to be checked for fit in accordance with Index No. 201. Metal pipe sizes should be reviewed using 24" x 1" corrugation up through 30" and 3" x 1" corrugation for larger sizes.
7. The capacity values shown are approximate and are intended as a guide to assist in describing relative performance. Inlets are assumed to be in a sag condition (No Down Flow). The effects of vortex flow have not been considered. Inlet control is assumed. The Designer must verify the outlet conditions and design assumptions before accepting the capacity values shown. Outlet constraints are likely to control with minimum pipe sizes.

Flow Condition A - Orifice Flow Conditions
1. Grates are 50% blocked with 3" of water depth above the grate.
2. Slots are 25% blocked.
3. Orifice Equation: Q = 0.67 A √gh

Flow Condition B - Weir Flow Conditions
1. A 3" head above the top of the inlet is assumed.
2. The effective weir length is assumed to be equal to the inlet perimeter with no obstruction for the grate or debris.
3. For inlets with slots, the effective head for the side of the inlet with the slot is 15" for slotted slots and 60" for traversable slots. The slot is assumed to be 25% blocked. In some instances the flow will be in orifice conditions into the slot.
4. Weir Equation: Q = 3.0 Lh^{3/2}

Notes: NA = Not Applicable

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
ROAD DESIGN

DITCH BOTTOM AND MEDIAN
INLET APPLICATION GUIDE

DATE: 1/11/11
DRAWN BY: JLD
DESIGNED BY: JLD
CHECKED BY: JLD
APPROVED BY: JLD

STANDARD DETAILS

REVISIONS:

DATE	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SML	GDH	GDH	GDH

GREG HUDAK
PE # 54634

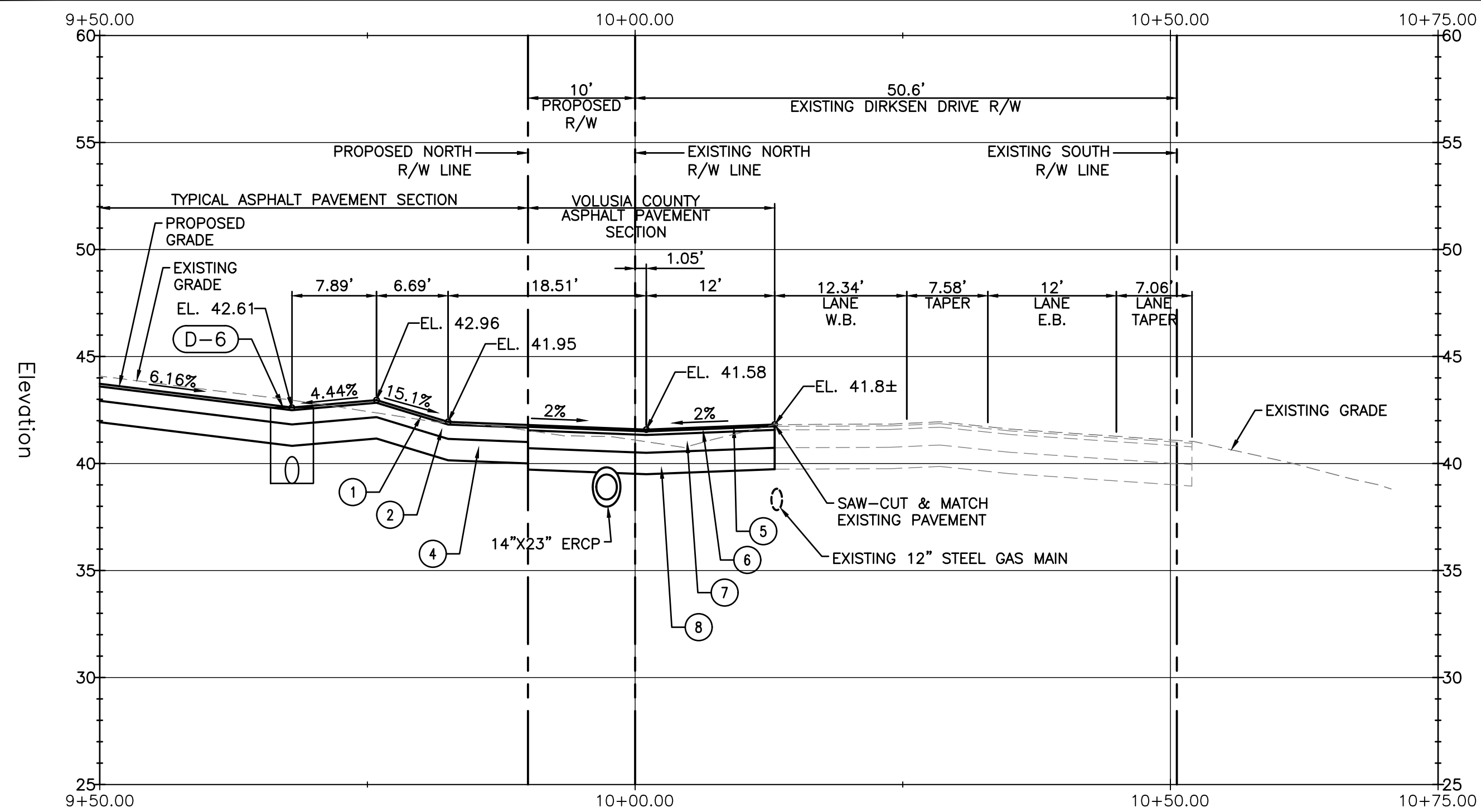
CANTERWOOD MANOR AT DEBARY

CITY OF DEBARY, FLORIDA

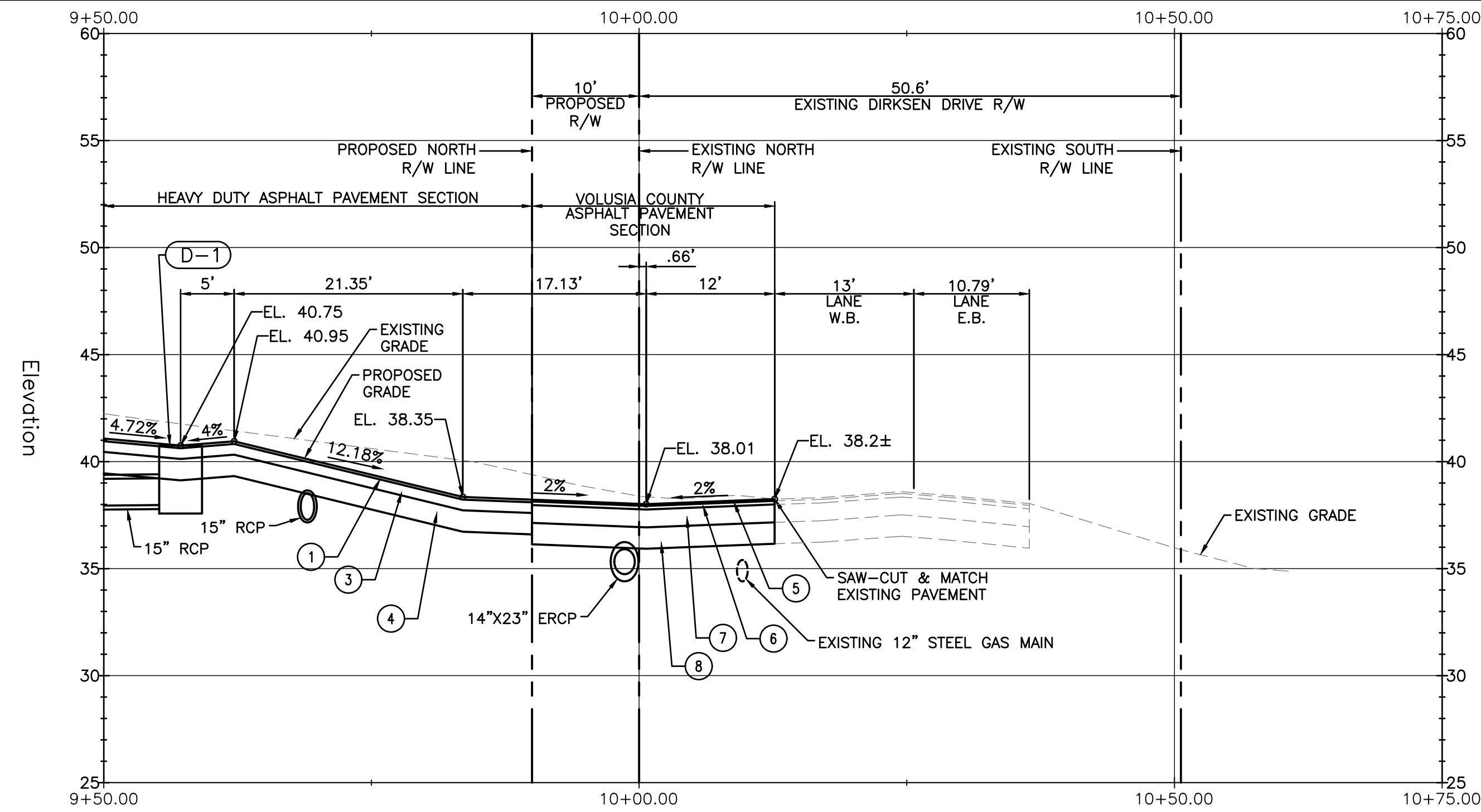
HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #9388
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 462-6833
EMAIL: ghudak@hudakengineering.com

DATE:
JANUARY 2018

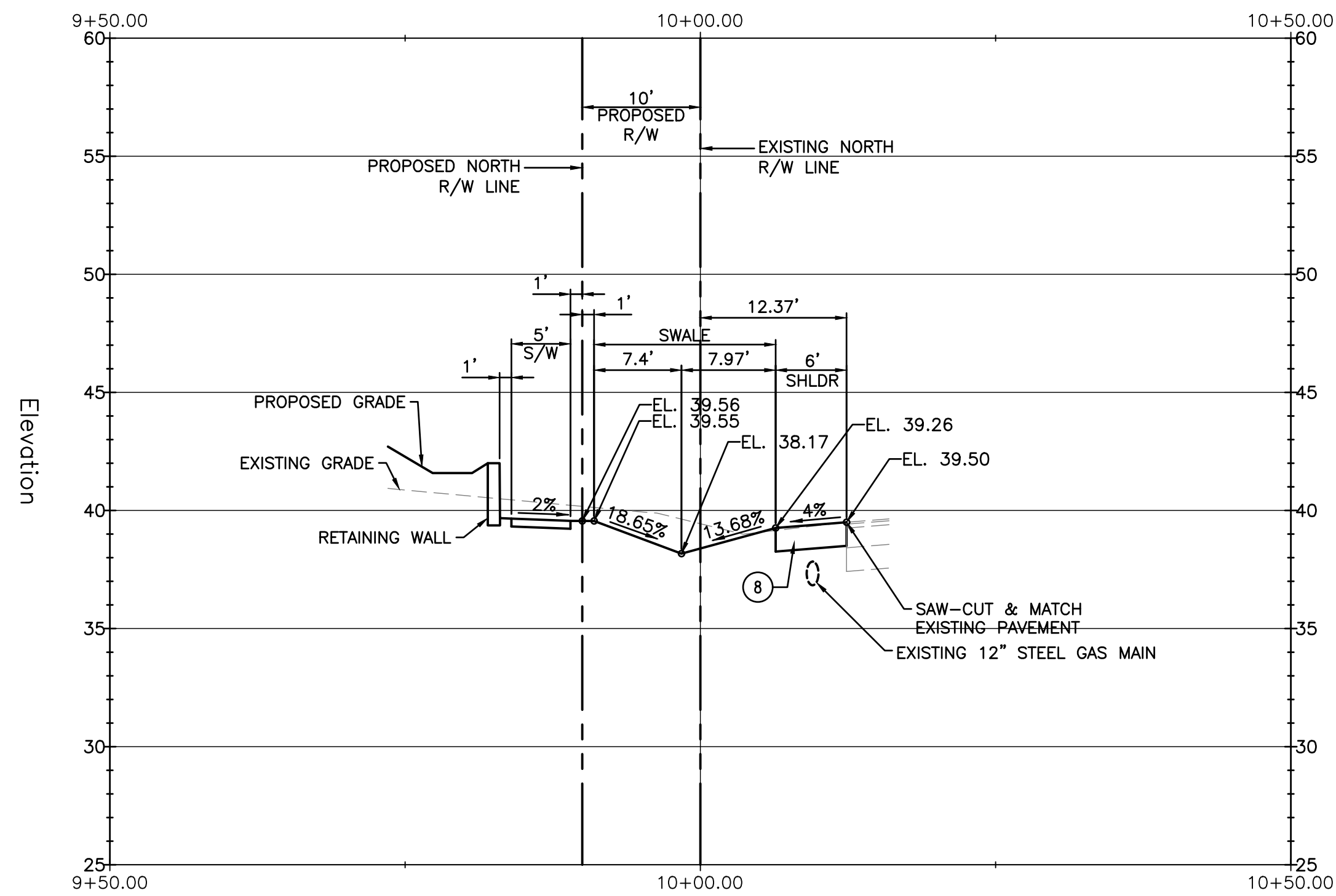
SHEET NO.
C-14
14 of 17



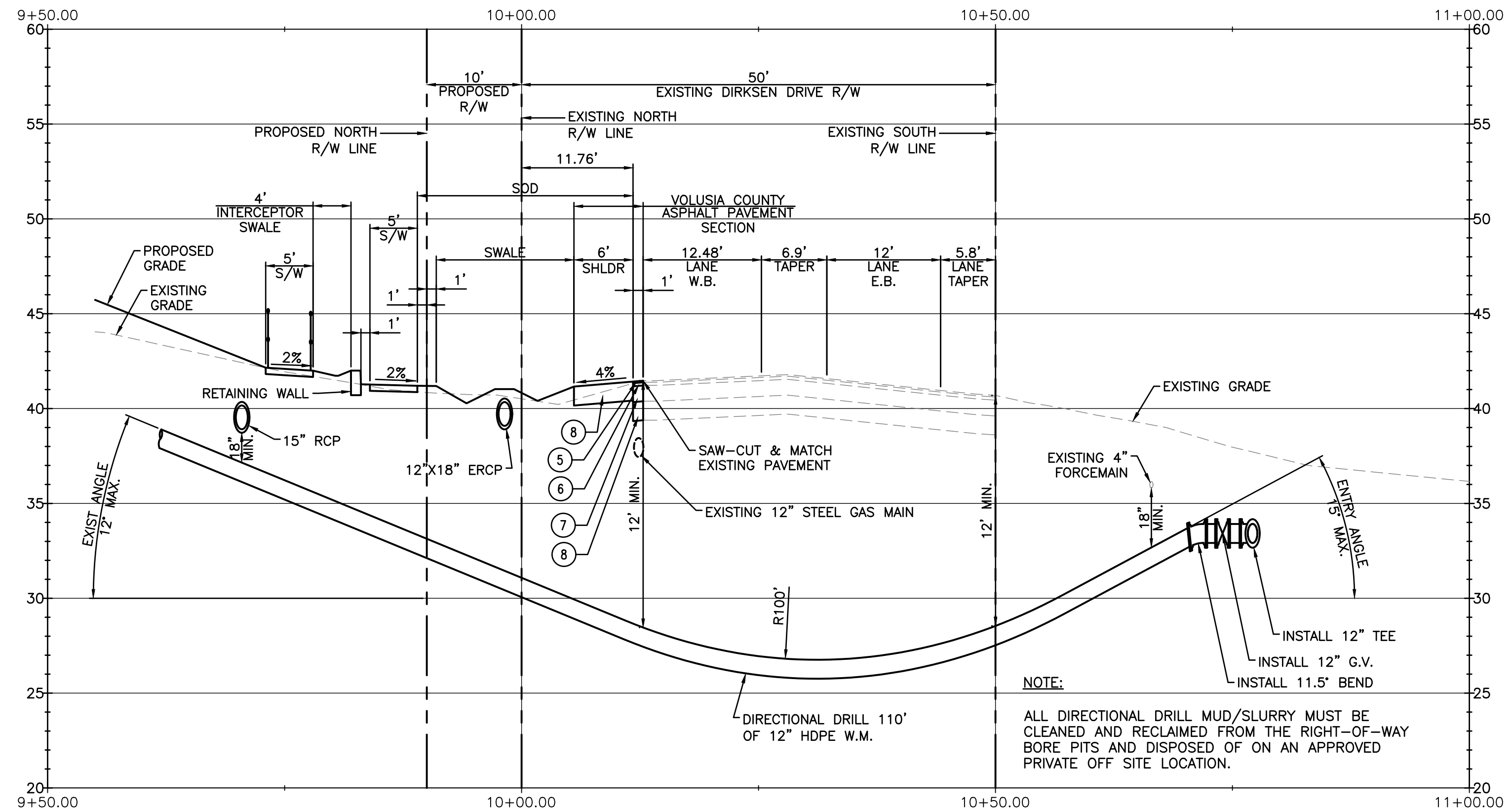
EAST DRIVE PROFILE
SECTION F-F
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL



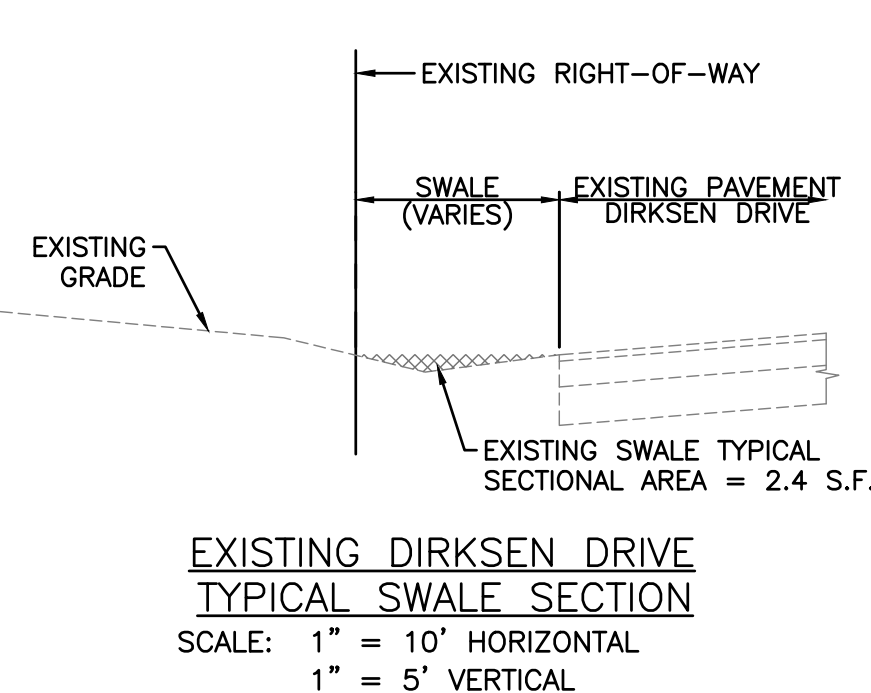
WEST DRIVE PROFILE
SECTION F-F
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL



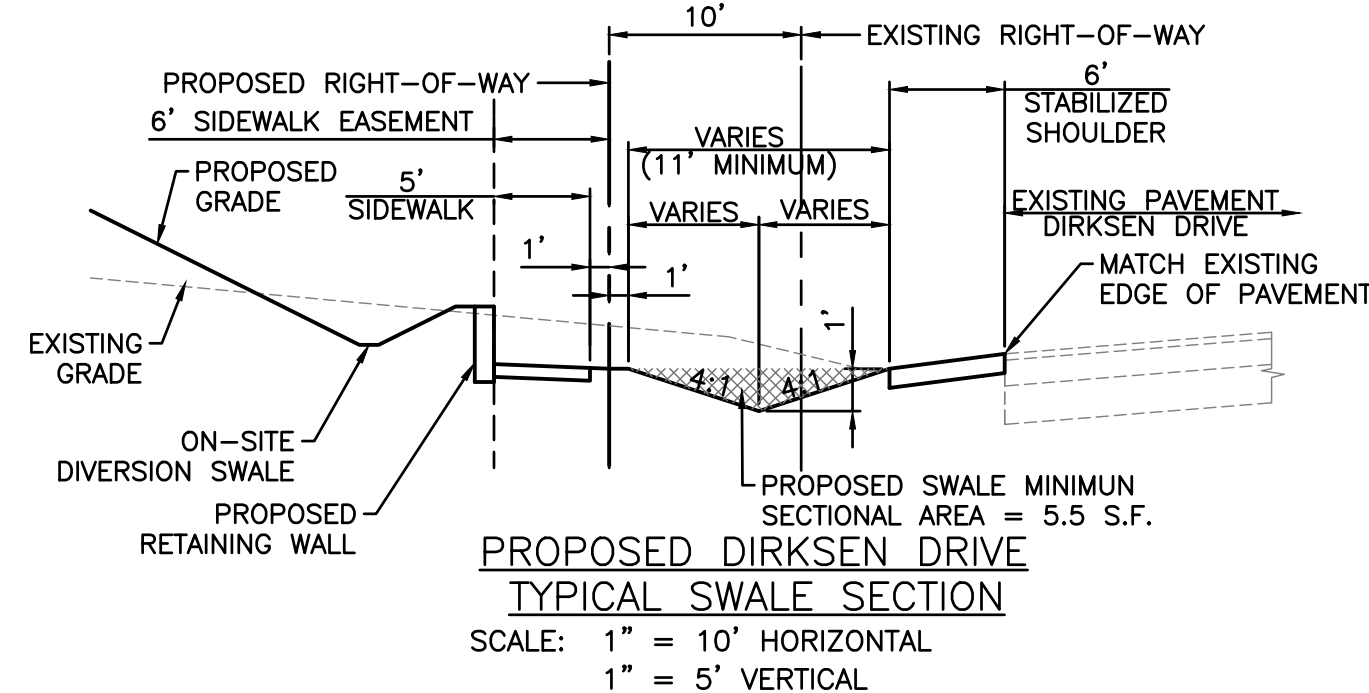
SECTION D-D
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL



WATER MAIN PROFILE
SECTION G-G
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL



EXISTING DIRKSEN DRIVE
TYPICAL SWALE SECTION
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL



PROPOSED DIRKSEN DRIVE
TYPICAL SWALE SECTION
SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL

PAVEMENT SPECIFICATIONS

- ① 1 1/2" TYPE S-III ASPHALTIC CONCRETE
- ② 6" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ③ 8" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ④ 12" STABILIZED SUBBASE, MIN. LBR OF 40%, COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR (AASHTO T-180)
- ⑤ MINIMUM 1" FDOT FRICTION COURSE TYPE FC-9.5 (TRAFFIC LEVEL C) ASPHALT @ MAX. 20% RECYCLED MATERIALS
- ⑥ MINIMUM 2" FDOT SUPERPAVE STRUCTURE COURSE TYPE SP-12.5 (TRAFFIC LEVEL C) ASPHALT @ MAX. 30% RECYCLED MATERIALS
- ⑦ 10" LIMEROCK OR OTHER APPROVED BASE GROUP 9 COMPACTED TO A 98% MAXIMUM DRY DENSITY PER AASHTO T-180 AND CONSTRUCTED IN TWO LIFTS
- ⑧ 12" STABILIZED SUB-GRADE LBR 40 COMPACTED TO A 98% MAXIMUM DRY DENSITY PER AASHTO T-180

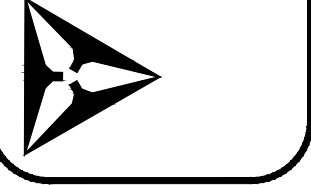
DATE	REVISIONS:

DRAWN BY	SVL
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH

GREG HUDAK
PE # 54634

CANTERWOOD MANOR AT DEBARY
CITY OF DEBARY, FLORIDA

HUDAK ENGINEERING, INC.
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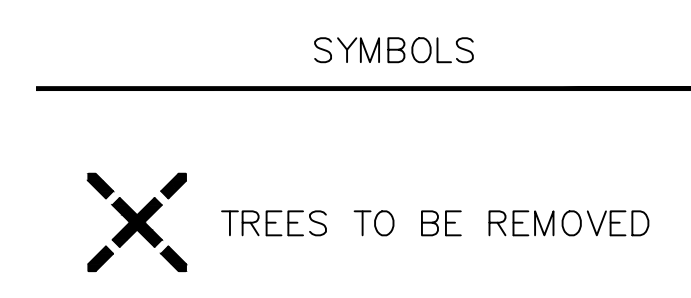
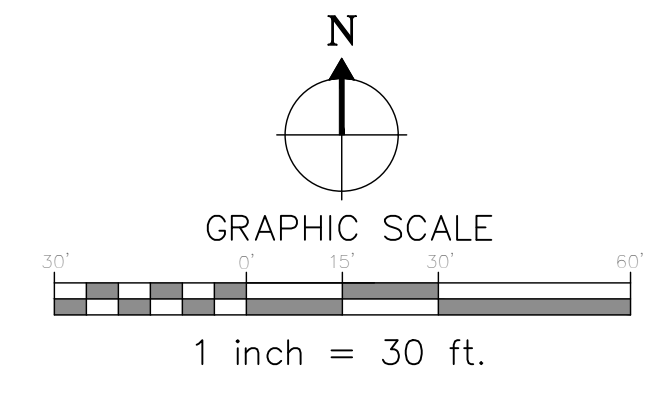


DATE:
JANUARY 2018

SHEET NO.
C-17
17 of 17

DIRKSEN DRIVE CROSS SECTIONS

TRACT C
 PARKVIEW SUBDIVISION UNIT 1
 MAP BOOK 45, PAGES 97 & 98
 ALTKEY # 5643140
 PARCEL ID #03-19-30-01-00-0003
 POWERLINE EASEMENT PER OFFICIAL RECORDS BOOK 1745, PAGE 1655



Existing trees to be Saved

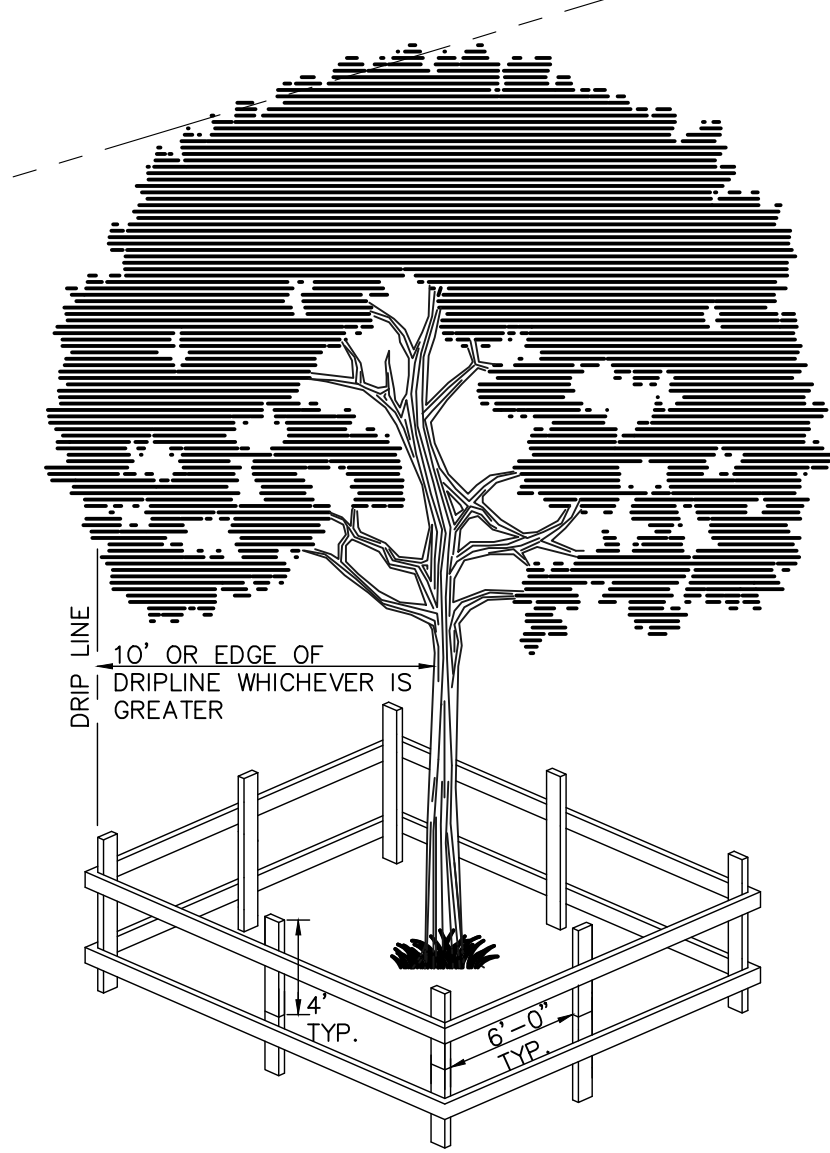
TYPE	COUNT	SIZE	INCHES
Magnolia	1	10"	10
Oak	9	10"	90
Oak	14	7"	98
Oak	2	6"	12
Oak	1	22"	22
Oak	3	11"	33
Oak	3	9"	27
Oak	4	8"	32
Oak	9	12"	108
PINE	2	10"	20
	48		452

Existing Trees to be Removed

TYPE	COUNT	SIZE	INCHES
Camphor	1	40"	40
Fir	1	30"	30
Fir	1	32"	32
Fir	1	40"	40
Magnolia	1	8"	8
Magnolia	2	6"	12
Oak	3	15"	45
Oak	2	28"	56
Oak	7	6"	42
Oak	1	11"	11
Oak	2	21"	42
Oak	2	22"	44
Oak	1	24"	24
Oak	1	36"	36
Oak	1	30"	30
Oak	8	13"	104
Oak	12	9"	108
Oak	13	7"	91
Oak	17	12"	204
Oak	5	18"	90
Oak	2	16"	32
Oak	16	8"	128
Oak	3	20"	60
Oak	25	10"	250
Oak	9	14"	126
PINE	1	8"	8
PINE	2	6"	12
PINE	2	10"	20
PINE	1	13"	13
	143		1738

NOTE:
 City Standards for Tree Protection are required during development and construction activities as listed within LDC Sec. 5-95

NOTE:
 Tree preservation area to be 15% of developed area.
 Developed area = 245,304 sf. (100%)
 Preservation area = 36,796 sf. (15%)



1 TYPICAL TREE PROTECTION DETAIL
 TM-1 SCALE= N.T.S.

NOTE:
 Posts shall be used as protective barriers to the roots and trunk of every tree on the parcel being developed. The posts shall be placed at points not closer than three-quarters (3/4) the radius of the drip-line of the protected tree, unless the structure has been permitted by Planning, Zoning & Development Department to be erected within the drip-line of a tree with a wide canopy. Each section of the barrier shall be clearly visible (flagged with brightly colored plastic tape or other markers). No attachments or wires other than those with protective or non-damaging nature shall be attached to any tree.

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

LANDSCAPE ARCHITECT
 Robert R. Buchanan LA0000932

CALL SUNSHINE
 1-800-475-8111
 IT'S THE LAW IN FLORIDA
 FLORIDA LAW REGULATES
 EXCAVATORS TO NOTIFY
 OWNERS OF UNDERGROUND
 FACILITIES NO LESS THAN TWO
 (2) DAYS PRIOR TO EXCAVATION

MJM Associates
 1030 N. Orange Avenue
 Suite 200
 Orlando, FL 32801

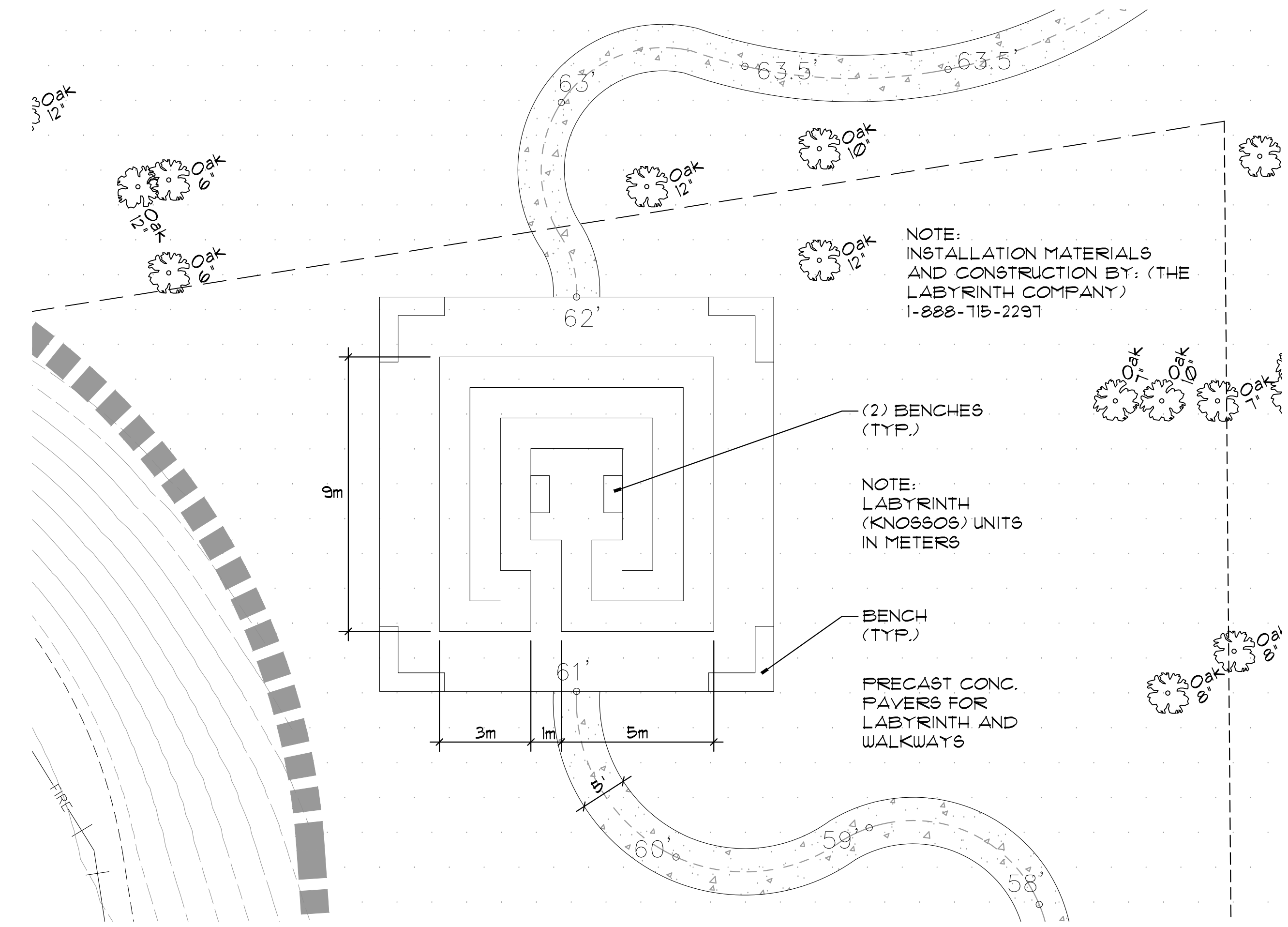
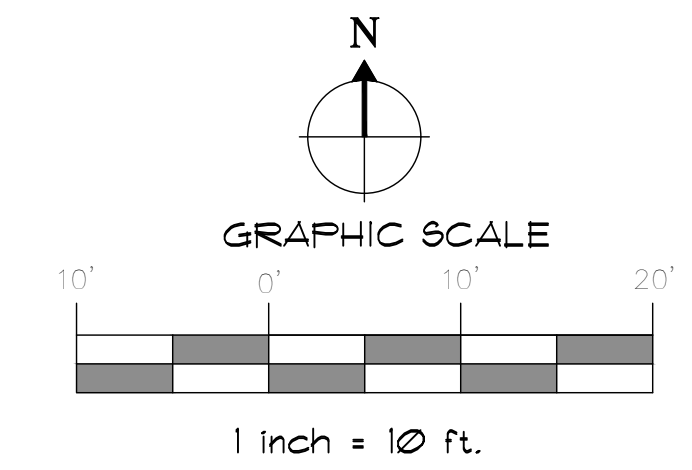
LANDSCAPE
dynamics
 LANDSCAPE ARCHITECTS AND PLANNERS

Tree Mitigation Plan
 Canterwood at DeBary ALF/MC
 DeBary, Florida

REVISIONS
 1/7/18 Comments
 2/7/18 Landscape Upgrade
 3/1/18
 4/1/18
 5/1/18
 6/1/18
 7/1/18

DATE: 06-05-17
 JOB NUMBER: 17-027
 DRAWN BY: BEB
 FILE: TREE MITIGATION
 SCALE: 1:30

TM-1



NOTE:
INSTALLATION MATERIALS
AND CONSTRUCTION BY: (THE
LABYRINTH COMPANY)
1-888-715-2297

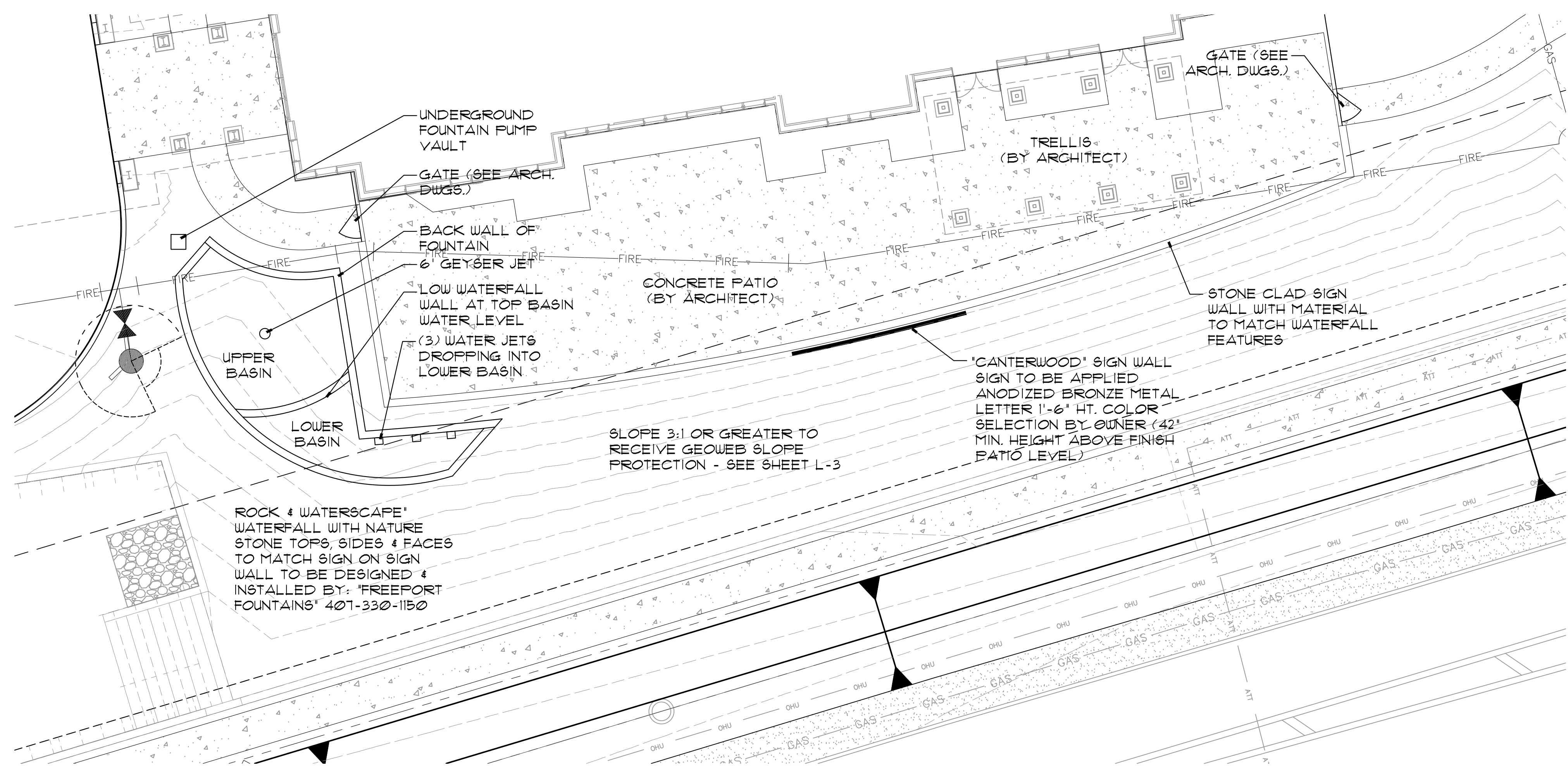
NOTE:
LABYRINTH
(KNOSSOS) UNITS
IN METERS

(2) BENCHES
(TYP.)

BENCH
(TYP.)

PRECAST CONC.
PAVERS FOR
LABYRINTH AND
WALKWAYS

1 KNOSSOS LABYRINTH HARDSCAPE FEATURE ENLARGEMENT
H-1 SCALE= 1 : 10



2 WATERSCAPE FEATURE ENLARGEMENT
H-1 SCALE= 1 : 10

NOTE:
CONSTRUCTION OF SIDEWALKS OR
PAVEMENT INTO THE SIDEWALK
TRUST FUND ARE REQUIRED PER
LDC SEC. 4-26(1)

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED,
ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

LANDSCAPE ARCHITECT:
Robert R. Buchanan LA0000932
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Co. Inc.

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-475-8111
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EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
UTILITIES NO LESS THAN TWO
BUSINESS DAYS BEFORE EXCAVATION

MJM Associates
10300 N. Orange Avenue
Suite 200
Orlando, FL 32801

LANDSCAPE DYNAMICS
LANDSCAPE ARCHITECTS AND PLANNERS

Hardscape plan
Canterwood at DeBary ALF/MC
DeBary, Florida

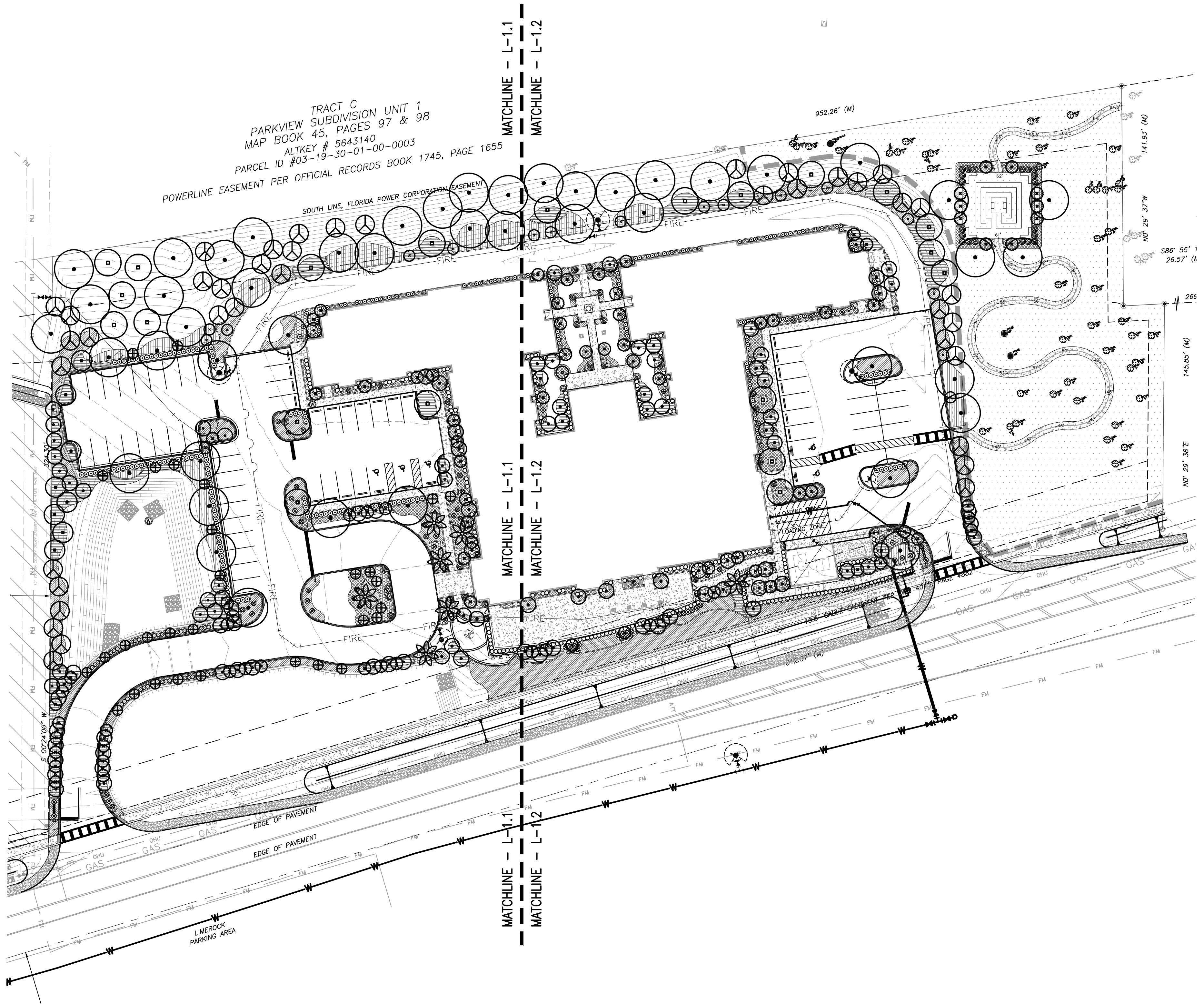
P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone: 407-979-8811 - Email: randy@landscape-dynamics.com

REVISIONS
1) 7/15/18 Comments
2) 7/15/18 Landscape Upgrades
3)
4)
5)
6)
7)
8)

DATE: 06-05-17
JOB NUMBER: 17-027
DRAWN BY: RBG
FILE: HARDSCAPE
SCALE: 1" = 10'

H-1

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.



TRACT C
PARKVIEW SUBDIVISION UNIT 1
MAP BOOK 45, PAGES 97 & 98
ALTKEY # 5643140
PARCEL ID #03-19-30-01-00-0003
POWERLINE EASEMENT PER OFFICIAL RECORDS BOOK 1745, PAGE 1655

Overall Plant List - Canterwood at DeBary

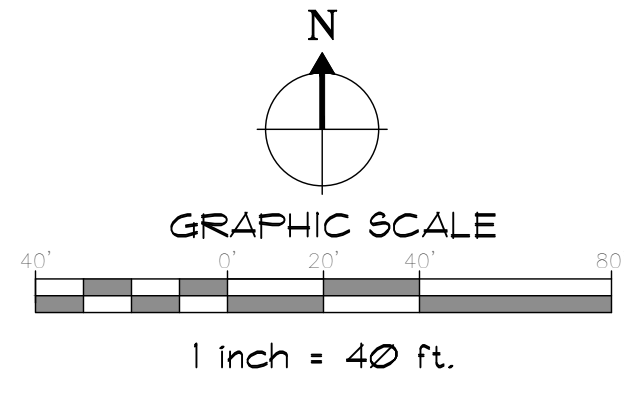
CNT	SYM	BOTANICAL	COMMON	SPECIFICATIONS
Trees				
48	EC	Eugenia compacta	Conical Topiary	6' ht., 2-2.5' spr.
30	IVS	Ilex xNellie R. Stevens'	Nellie R. Stevens Holly	8' ht., 3-4' spr.
88	LJ	Ligustrum japonicum	Ligustrum	6-8' ht., 6-8' spr.
21	MG	Magnolia grandiflora	Southern Magnolia	10-12' ht., 4-5' spr.
8	MV	Magnolia virginiana	Sweetbay Magnolia	8-10' ht., 4-5' spr.
40	FE	Pinus elliptii	Slash Pine	10-12' ht., 4-5' spr.
7	FS	Phoenix sylvestris	Sylvester Palm	8' c.t. diamond cut
46	QV	Quercus virginiana	Live Oak	12-14' ht., 5-6' spr.
43	SP	Sabal palmetto	Cabbage Palm	8-16' c.t.
60	TF	Trachycarpus fortunei	Windmill Palm	8-16' c.t.
4	MGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	6' ht., 2.5' spr.
16	MC	Myrica cerifera	Wax Myrtle	6-8' ht., 6-8' spr.
Shrubs & Groundcover				
170	IP	Illicium parviflorum	Yellow Anise	24-30' ht. x 18-24' spr., 30' o.c.
151	MF	Myrcianthes fragrans	Simpson's Stopper	24-30' ht. x 18-24' spr., 36' o.c.
351	FM	Podocarpus macrophyllus	Podocarpus	24-30' ht. x 18-24' spr., 30' o.c.
387	JF	Juniperus davurica 'Parsons'	Parsons Juniper	1 gal., full, 30' o.c.
406	LMA	LANTANA camara 'Anne Marie'	Anne Marie Lantana	1 gal., full, 24' o.c.
859	MC2	Muhlenbergia capillaris	Red Muhly Grass	1 gal., full, 36' o.c.
183	SR	Serenca repens	Scrub Palmetto	3 gal., full, 48' o.c.
716	VOW	Viburnum obovatum Mrs. Schiller's Delight'	Walter's Viburnum	1 gal., full, 30' o.c.
1131	TAT	Trachelospermum asiaticum 'Tricolor'	Tricolor Dwarf Jasmine	1 gal., full, 24' o.c.
588	G6	Gelsemium sempervirens	Carolina Jessamine	1 gal., full, 24' o.c.
67	ZI	Zamia integrifolia	Coontie	3 gal., as shown
2	LS	Lonicera sempervirens	Honeysuckle	3 gal., as shown
4	HP	Hamella patens	Firebush	3 gal., as shown
3	SR2	Strelitzia reginae	Orange Bird of Paradise	15 gal., as shown
Sod & Mulch				
	MULCH		Mini Pine Bark/Pine Straw	3' Depth
	SOD	Zoysia japonica	Zoysia Grass	solid sod, weed free, count by contractor
	AUG	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine	solid sod, weed free, count by contractor
	BAH	Paspalum notatum	Bahia Sod	solid sod, weed free, count by contractor

WILDFLOWER PLANTING NOTE:

SEE SHEET L-3 FOR WILDFLOWER PLANTING DETAIL AND SPECIFICATIONS

NOTES:

- 1) PLAN DESIGNED PER SECTIONS 5-9 TO 5-12 OF THIS CODE.
- 2) A PERMANENT UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS.
- 3) ALL PLANT MATERIAL TO BE FLORIDA FRIENDLY AND FLORIDA GRADE #1 OR BETTER.
- 4) SOD ALL DISTURBED AREAS.
- 5) CONTINUED MAINTENANCE OF THE COMMON OPEN SPACE AREAS AND FACILITIES IS REQUIRED PER LDC SEC. 4-62 (CX2X1)
- 6) SLOPES 3:1 OR GREATER TO RECEIVE GEOWEB SLOPE PROTECTION. SEE SHEET L-3.



LANDSCAPE ARCHITECT:
Robert R. Buchanon LA0000932
FLORIDA LANDSCAPE ARCHITECTS BOARD
CALL SUNSHINE 800-457-7611
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIREMENTS
EXCISEMENTS TO NOTIFY
OWNER OF ANY CHANGES
FACILITIES NO. LESS THAN TWO
DAYS BEFORE TO BE CONSTRUCTION

MJM Associates
1030 N. Orange Avenue
Suite 200
Orlando, FL 32801

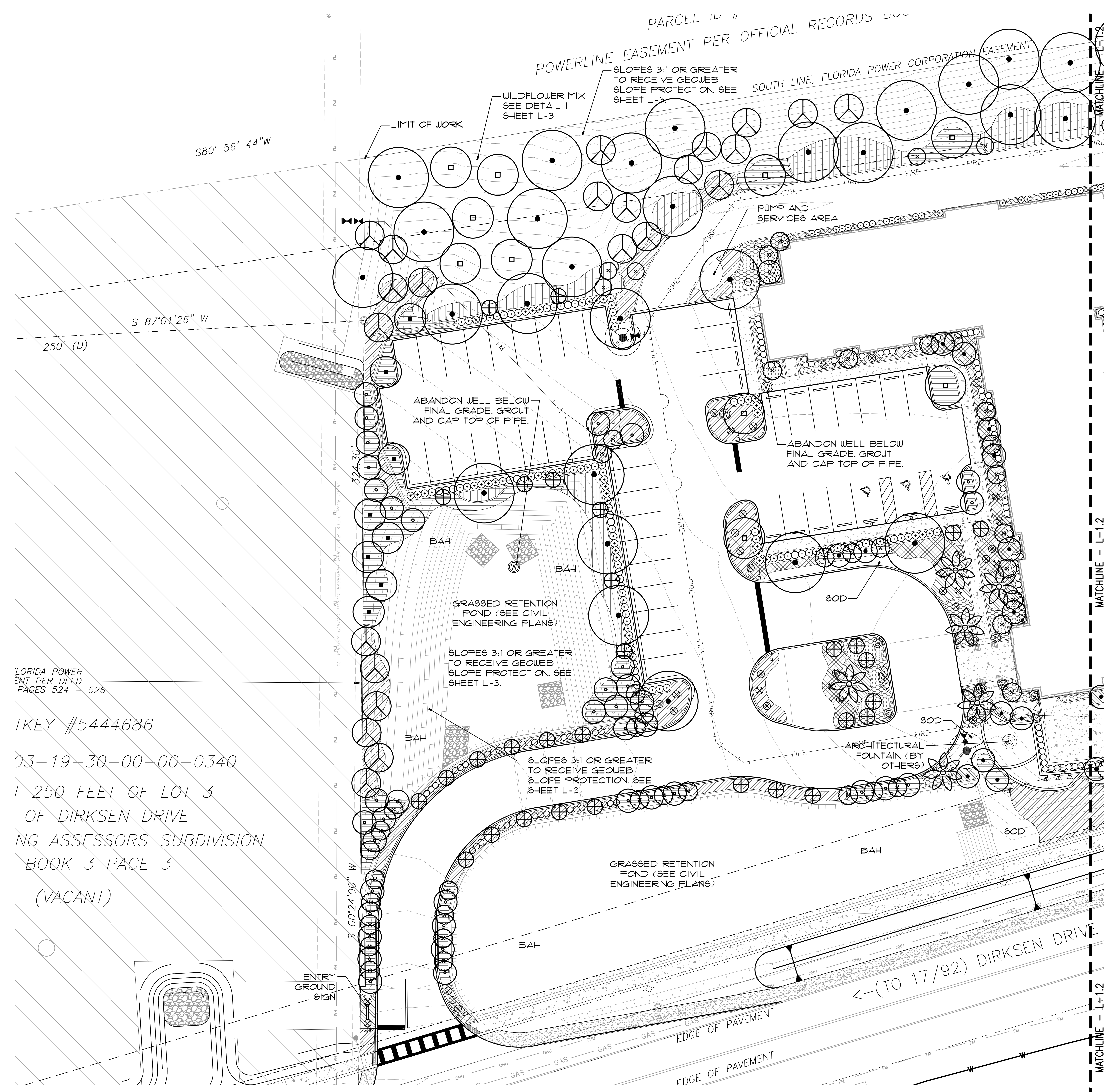
LANDSCAPE DYNAMICS
CONSULTANTS ARCHITECTS AND PLANNERS
LANDSCAPE ARCHITECTS AND PLANNERS

P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone: 407-279-8811 - Email: randy@landscapedynamics.com
REVISIONS
1) 7/18/18 Comments
2) 7/18/18 Landscape Upgrade
3) 7/18/18
4) 7/18/18
5) 7/18/18
6) 7/18/18
7) 7/18/18

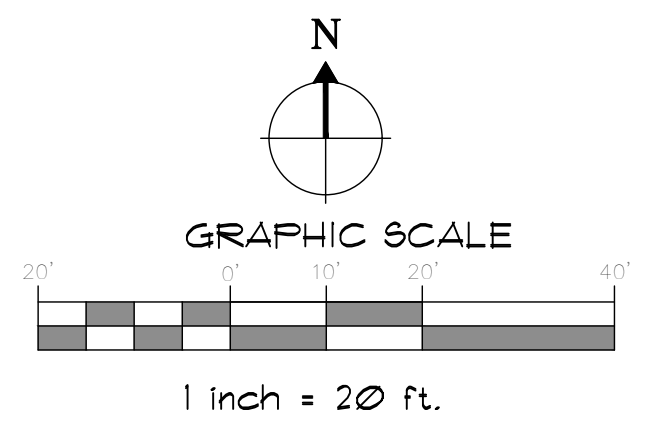
DATE: 06-05-17
JOB NUMBER: 17-027
DRAWN BY: RBG
FILE: LANDSCAPE
SCALE: 1" = 40'

L-1

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.



PLANT SYMBOLS	
TREES	
	EC
	IVS
	LJ
	MG
	MV
	PE
	P8
	QV
	SP
	TF
	TGL
	TC
SHRUBS	
	T1
	T2
	T3
	T4
	T5
	T6
	T7
	T8
	T9
	T10
	T11
	T12
	T13
	T14
	T15
	T16
	T17
	T18
	T19
	T20
GROUNDCOVERS	
	JF
	LMA
	MC
	SR
	VOW
	TAT
	GS



KEY #5444686
 03-19-30-00-00-0340
 250 FEET OF LOT 3
 OF DIRKSEN DRIVE
 NG ASSESSORS SUBDIVISION
 BOOK 3 PAGE 3
 (VACANT)

FLORIDA POWER
 EASEMENT PER DEED
 PAGES 524 - 526

PARCEL ID #
 POWERLINE EASEMENT PER OFFICIAL RECORDS BOOK
 SLOPES 3:1 OR GREATER
 TO RECEIVE GEOWEB
 SLOPE PROTECTION. SEE
 SHEET L-3

ABANDON WELL BELOW
 FINAL GRADE. GROUT
 AND CAP TOP OF PIPE.

ABANDON WELL BELOW
 FINAL GRADE. GROUT
 AND CAP TOP OF PIPE.

SLOPES 3:1 OR GREATER
 TO RECEIVE GEOWEB
 SLOPE PROTECTION. SEE
 SHEET L-3.

SLOPES 3:1 OR GREATER
 TO RECEIVE GEOWEB
 SLOPE PROTECTION. SEE
 SHEET L-3.

GRASSED RETENTION
 POND (SEE CIVIL
 ENGINEERING PLANS)

ARCHITECTURAL
 FOUNTAIN (BY
 OTHERS)

←-(TO 17/92) DIRKSEN DRIVE

LANDSCAPE ARCHITECT:
 Robert R. Buchanan LA0000932
 Landscape Dynamics Construction LLC, hereby certifies
 to the best of his knowledge and belief, that the
 information furnished to him by the client is true and
 correct, and that he is not providing any design or
 other services which he is not licensed to provide.
 No part of this drawing shall be reproduced or
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 FACILITIES NO LESS THAN TWO
 BUSINESS DAYS BEFORE EXCAVATION

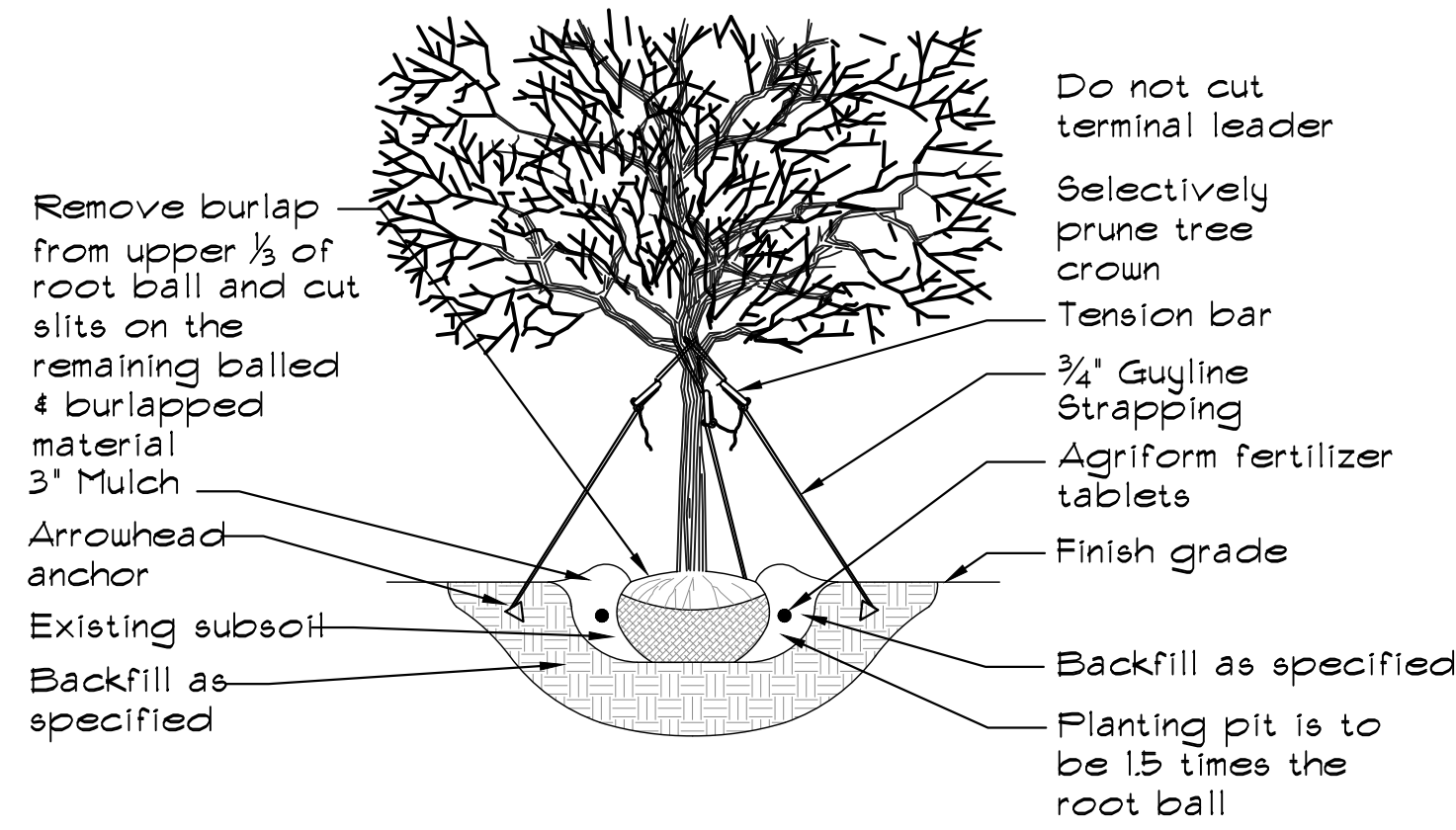
MJM Associates
 10300 N. Orange Avenue
 Suite 200
 Orlando, FL 32801

LANDSCAPE
DYNAMICS
 LANDSCAPE ARCHITECTS AND PLANNERS

P.O. BOX 2852 - Winter Park, Florida 32790-2852 - Phone 407-579-8811 - Email: randy@landscapedynamics.com
 REVISIONS
 1 7/18/15 Comments
 2 7/18/15 Landscape Upgrade
 3 7/18/15
 4 7/18/15
 5 7/18/15
 6 7/18/15
 7 7/18/15

DATE: 06-05-17
 JOB NUMBER: 17-027
 DRAWN BY: BEB
 FILE: LANDSCAPE
 SCALE: 1" = 30'

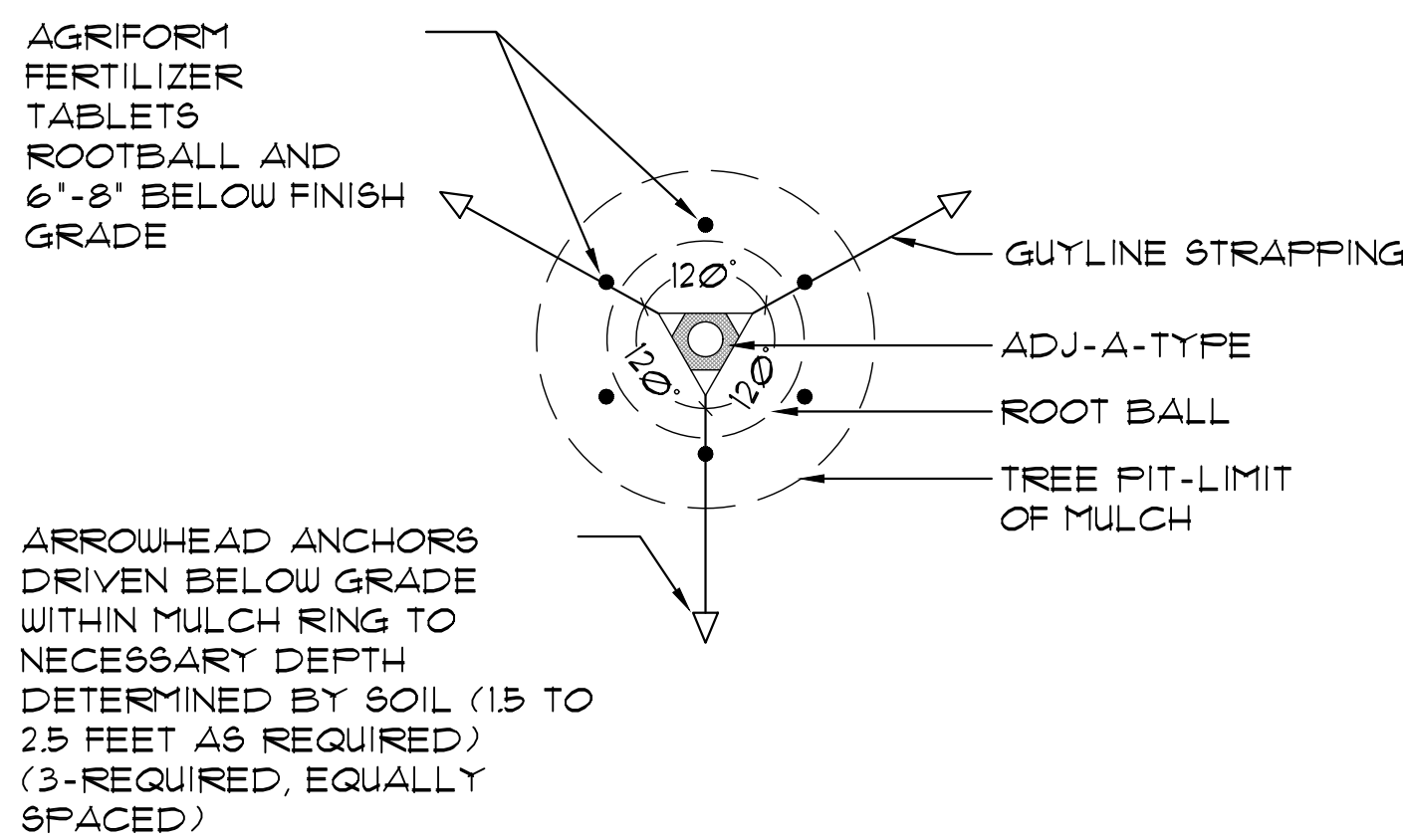
L-1.1



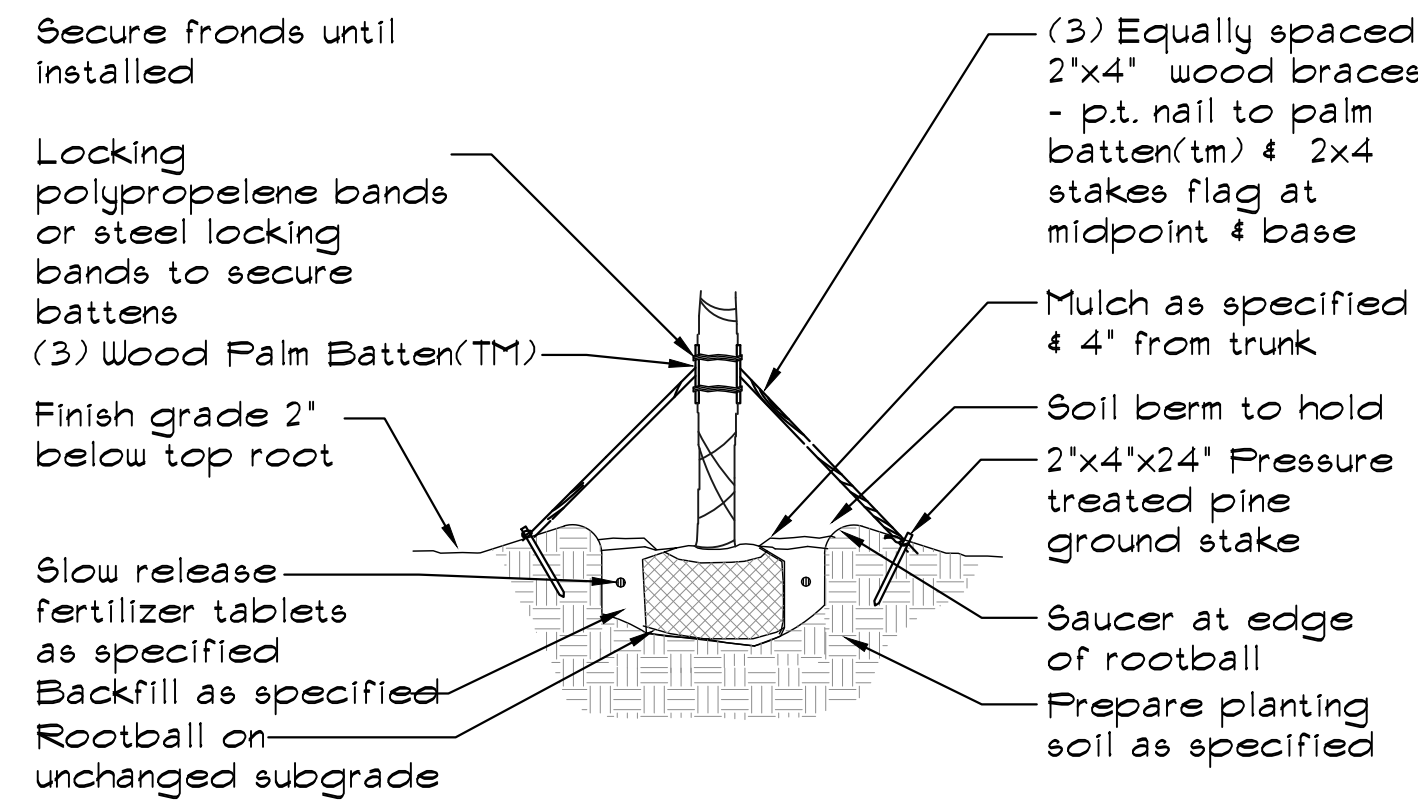
PRO20:
For up to 2' Caliper Trees
(3) ARBORGUY™ Guylines 3/4" x 12' = 600 lb test Black or Green, UV resistant, polypropylene strapping
(3) 'Tool-Free' Tension Bars™
(3) Arrowhead *Anchors (4" x 3-3/4")

PRO40:
For up to 4' Caliper Trees
(3) ARBORGUY™ Guylines 1"x12' = 600 lb test, Black or Green, UV resistant polypropylene strapping
(3) 'Tool-Free' Tension Bars™
(3) Arrowhead Anchors (4-3/4"x3-3/4")

1 ARBORGUY PRO20/PRO40 STAKING AND PLANTING DETAIL
L-2 SCALE= N.T.S.



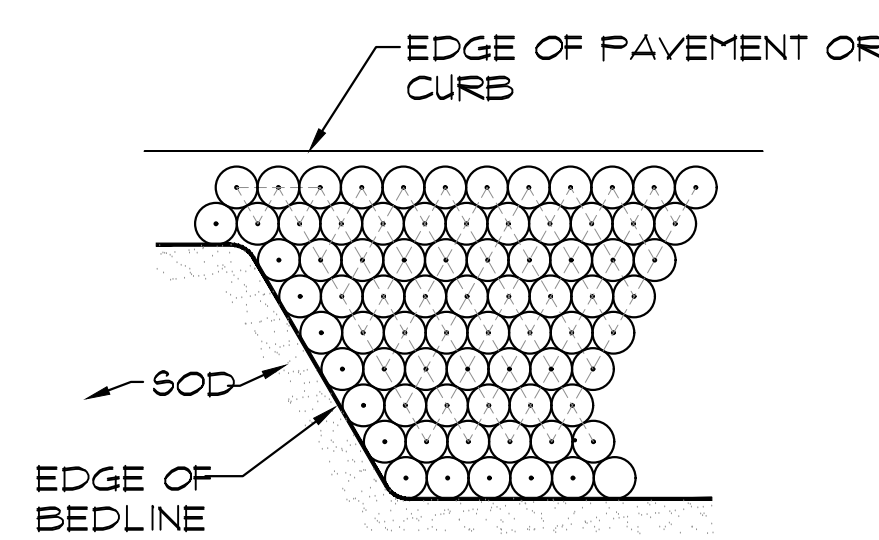
3 TREE STAKING DETAIL
L-2 SCALE= N.T.S.



PBKM (Metal Bands)
(3) 1 1/2"x3 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8' support braces)
(2) 44' plated carbon steel bands with tensioning and locking screw / clamp

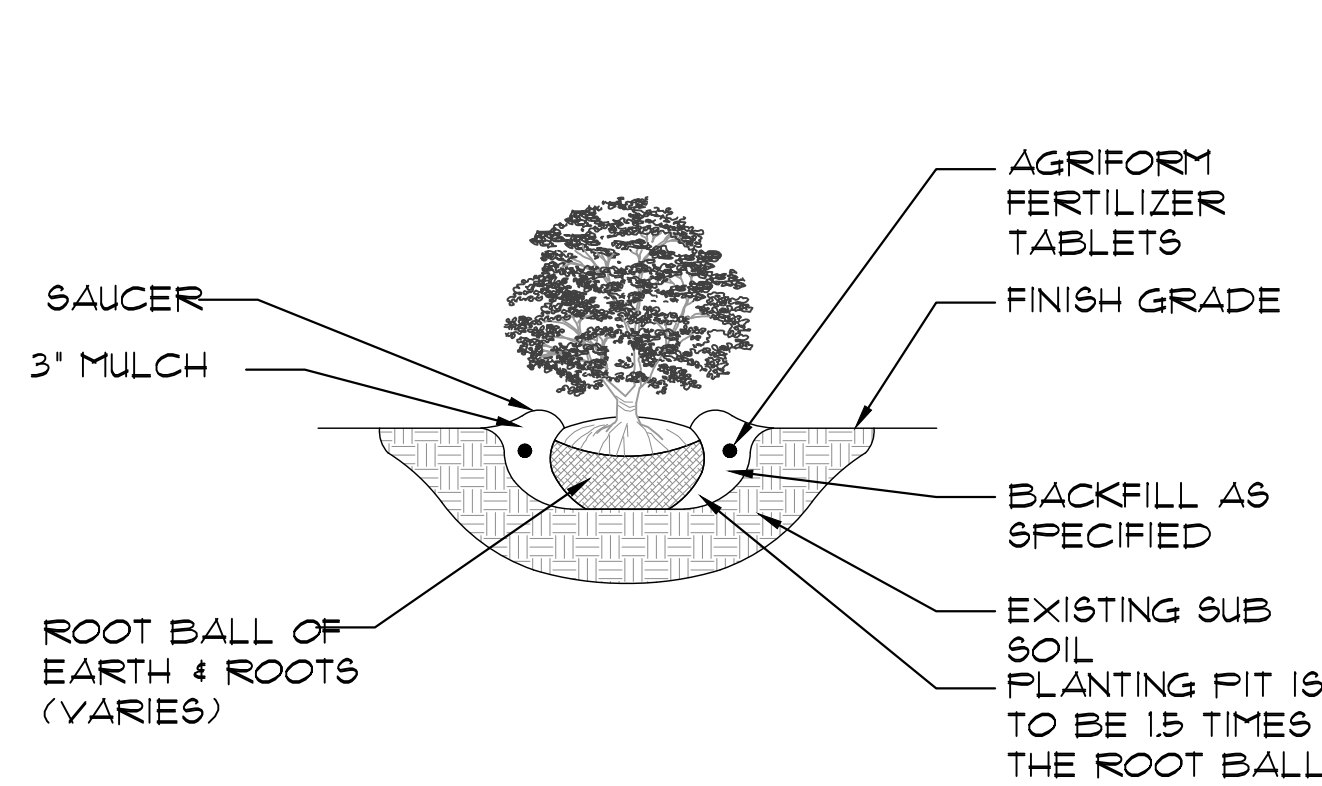
PBKC (Polypropylene Bands)
(3) 1 1/2"x3 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8' support braces)
(2) 8'x1', 600 lb test webbing bands with metal spring locking clamps

2 ARBORGUY PALM BATTEN DETAIL
L-2 SCALE= N.T.S.

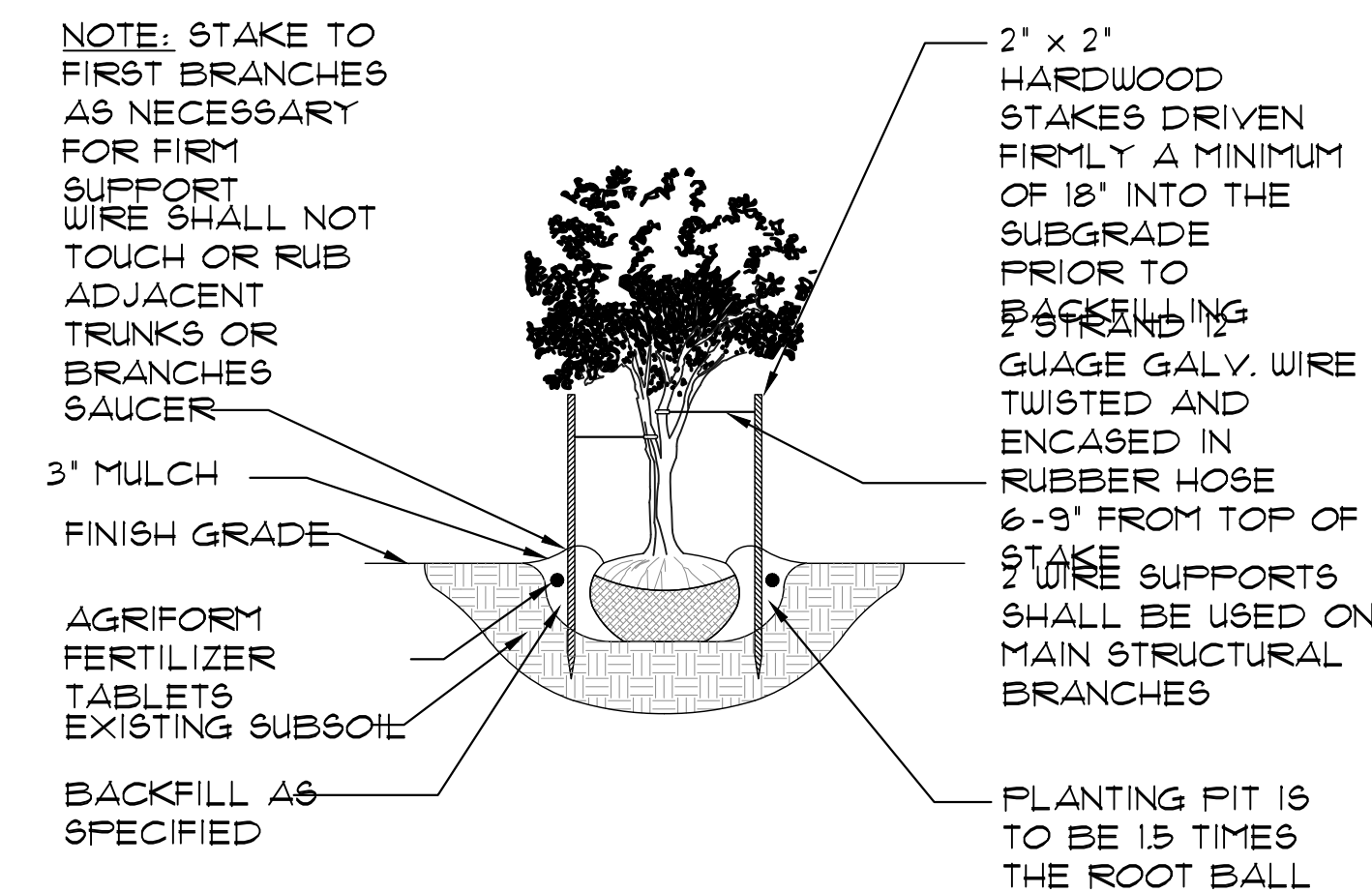


NOTE: FORM EDGE OF BED, THEN FILL IN BED AT TRIANGULAR SPACING AS SPECIFIED ON PLANT LIST.

4 TYPICAL SPACING DETAIL
L-2 SCALE= N.T.S.



5 TYPICAL SHRUB/GROUNDCOVER PLANTING DETAIL
L-2 SCALE= N.T.S.



6 MULTI-TRUNK SPACING DETAIL
L-2 SCALE= N.T.S.

GENERAL LANDSCAPE NOTES:

Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction charges, not the owner or his representative (Landscape Dynamics Construction Co. Inc.) The Owner must maintain the height of all plants within the 'Line-Of-Site' triangle area to a height of no greater than 24' above grade for shrubs and groundcover, and tree branching no lower than 72' above finish grade, to ensure clear site line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co. Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements.

- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC shall be responsible for supplying all materials, labor, and equipment for the performance of their portion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement. Undergound objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Round-Up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better. Trees up to 4" caliper measured at 6" above soil line and over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2' of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth (to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
- LC to maintain all plant material in a plumb, upright and stable condition. All trees/palms to be guyed/staked as per details.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date. Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

LANDSCAPE ARCHITECT
Robert R. Buchanon LA0000932

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EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
UTILITIES NO LESS THAN TWO
(2) WEEKS PRIOR TO EXCAVATION

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Orlando, FL 32801

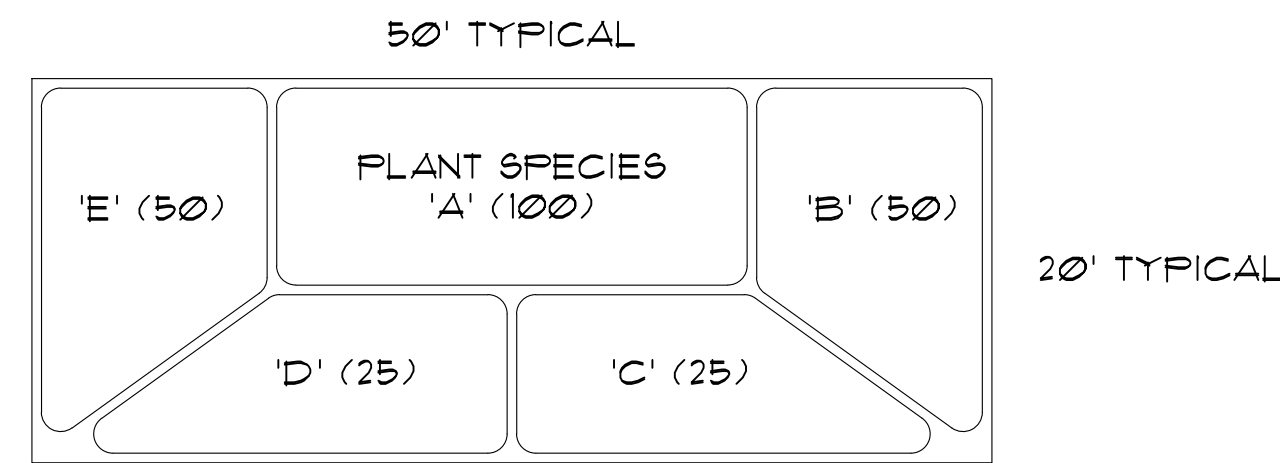
LANDSCAPE ARCHITECTS AND PLANNERS
Landscape Dynamics
CONSULTANTS, ARCHITECTS AND PLANNERS

Landscaping Details
Canterwood at DeBary ALF/MC
DeBary, Florida

REVISIONS
1) 7/15/16 Comments
2) 7/15/16 Landscape Upgrade
3) 4) 5) 6) 7) 8)

DATE: 06-05-17
JOB NUMBER: 17-027
DRAWN BY: BEB
FILE: LANDSCAPE
SCALE: N.T.S.

L-2



1 WILDFLOWER PLANTING DETAIL
L-3 SCALE = 1:10

Wildflower Plant Species List				
CNT	SYM	BOTANICAL	COMMON	SPECIFICATIONS
	A	<i>Asclepias tuberosa</i>	Butterfly Weed	4" pots, 24" o.c.
	B	<i>Helianthus annuus</i>	Dune Sunflower	4" pots, 24" o.c.
	C	<i>Gaillardia pulchella</i>	Blanket Flower	4" pots, 24" o.c.
	D	<i>Tradescantia virginiana</i>	Blue Spiderwort	4" pots, 24" o.c.
	E	<i>Eragrostis elliptica</i>	Silver Lovegrass	4" pots, 24" o.c.

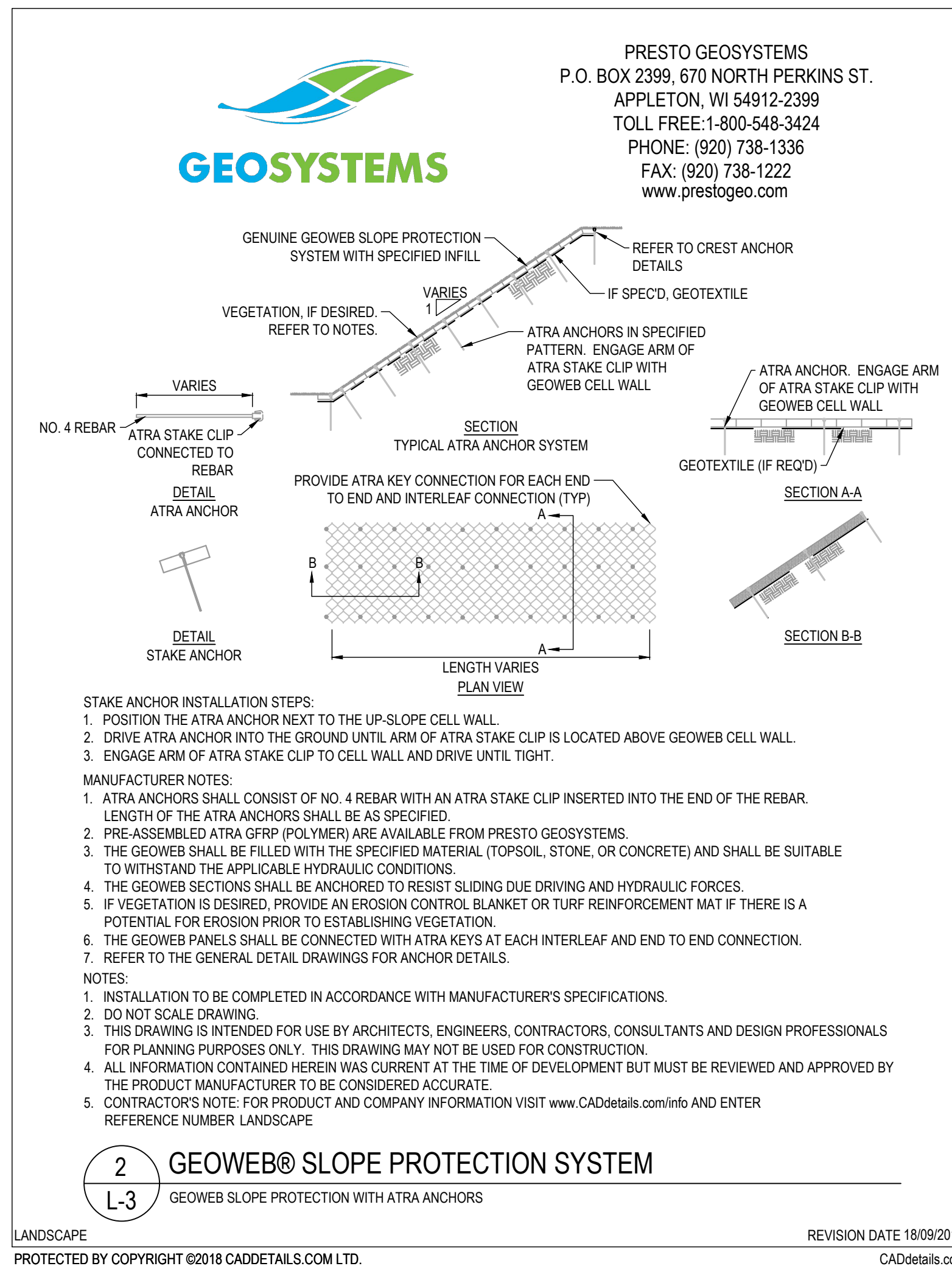
NOTES:

INSTALL 4'-6" CLEAN, STERILE TOPSOIL AT DISK OR TILL INTO SOIL AT 4' DEPTH. WATER 1' PRIOR TO WILDFLOWER INSTALLATION.

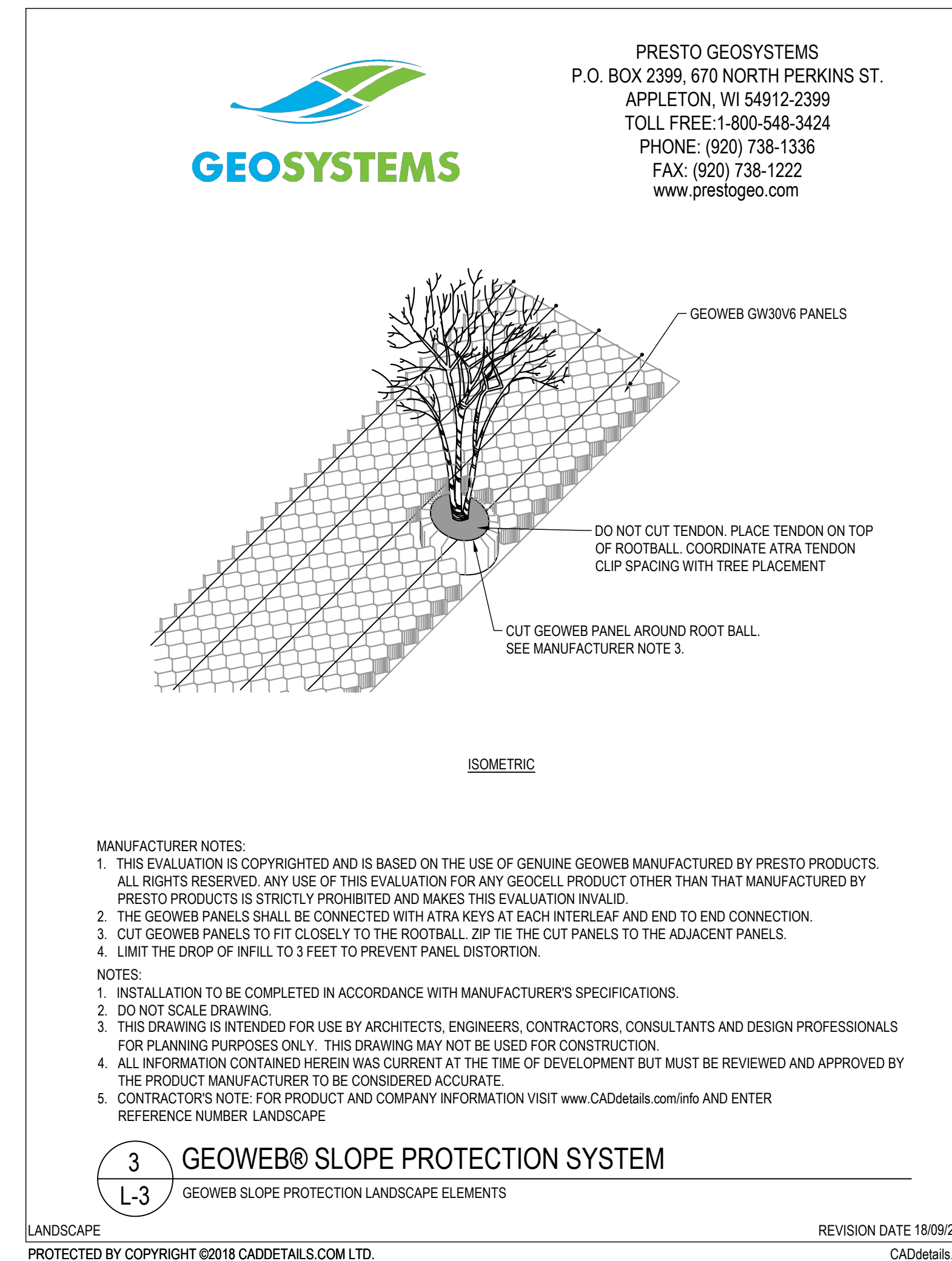
INSTALL TEMPORARY WATERING SYSTEM (ROTOR/IMPACT) HEAD STYLE TO WATER ENTIRE WILDFLOWER BED AREA.

SEE SHEET IR-1 FOR POINT OF CONNECTION FOR THIS SYSTEM. SUBMIT CUT-SHEETS/SPECS/DETAILS FOR PROPOSED TEMPORARY IRRIGATION SYSTEM INSTALLATION PRIOR TO CONSTRUCTION.

INSTALL PINE STRAW AT 1" DEPTH OVER ENTIRE WILDFLOWER PLANTING AREA. DO NOT COVER INDIVIDUAL PLANTS.



2 GEOWEB® SLOPE PROTECTION SYSTEM
L-3 GEOWEB SLOPE PROTECTION WITH ATRA ANCHORS



3 GEOWEB® SLOPE PROTECTION SYSTEM
L-3 GEOWEB SLOPE PROTECTION LANDSCAPE ELEMENTS

IF LESS THAN 24"x36" SHEET HAS BEEN REDUCED, ADJUST THE SCALE TO THE DRAWING ACCORDINGLY.

LANDSCAPE ARCHITECT:
Robert R. Buchanan LA0000932

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EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
UTILITIES NO LESS THAN TWO
BUSINESS DAYS PRIOR TO EXCAVATION

MJM Associates
10300 N. Orange Avenue
Suite 200
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LANDSCAPE
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CONSULTANTS ARCHITECTS AND PLANNERS

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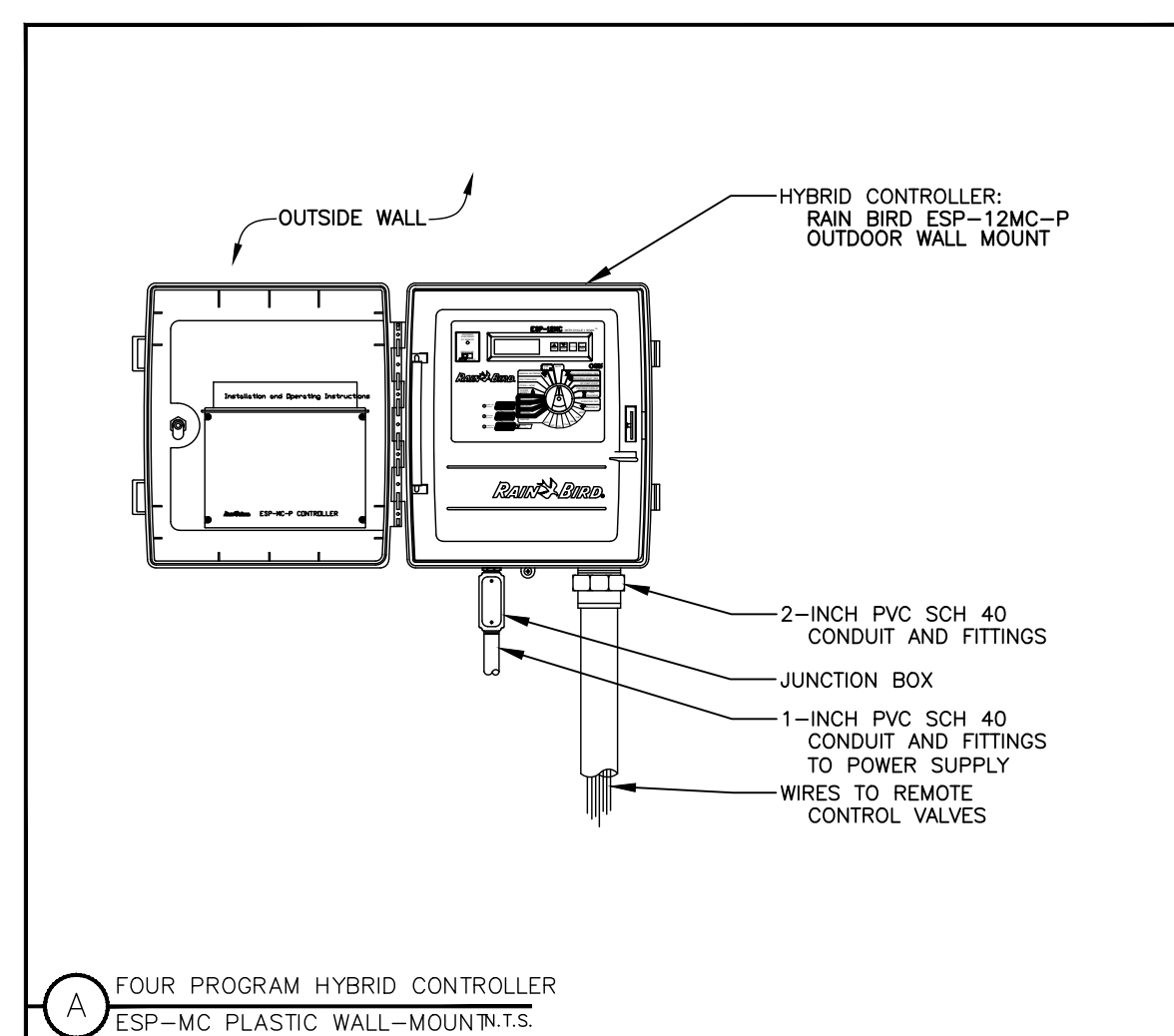
Slope Planting Details
Canterwood at DeBary ALF/MC
DeBary, Florida

REVISIONS
1. 7/15/18 Comments
2. 7/15/18 Landscape Upgrade
3. 7/15/18
4. 7/15/18
5. 7/15/18
6. 7/15/18
7. 7/15/18

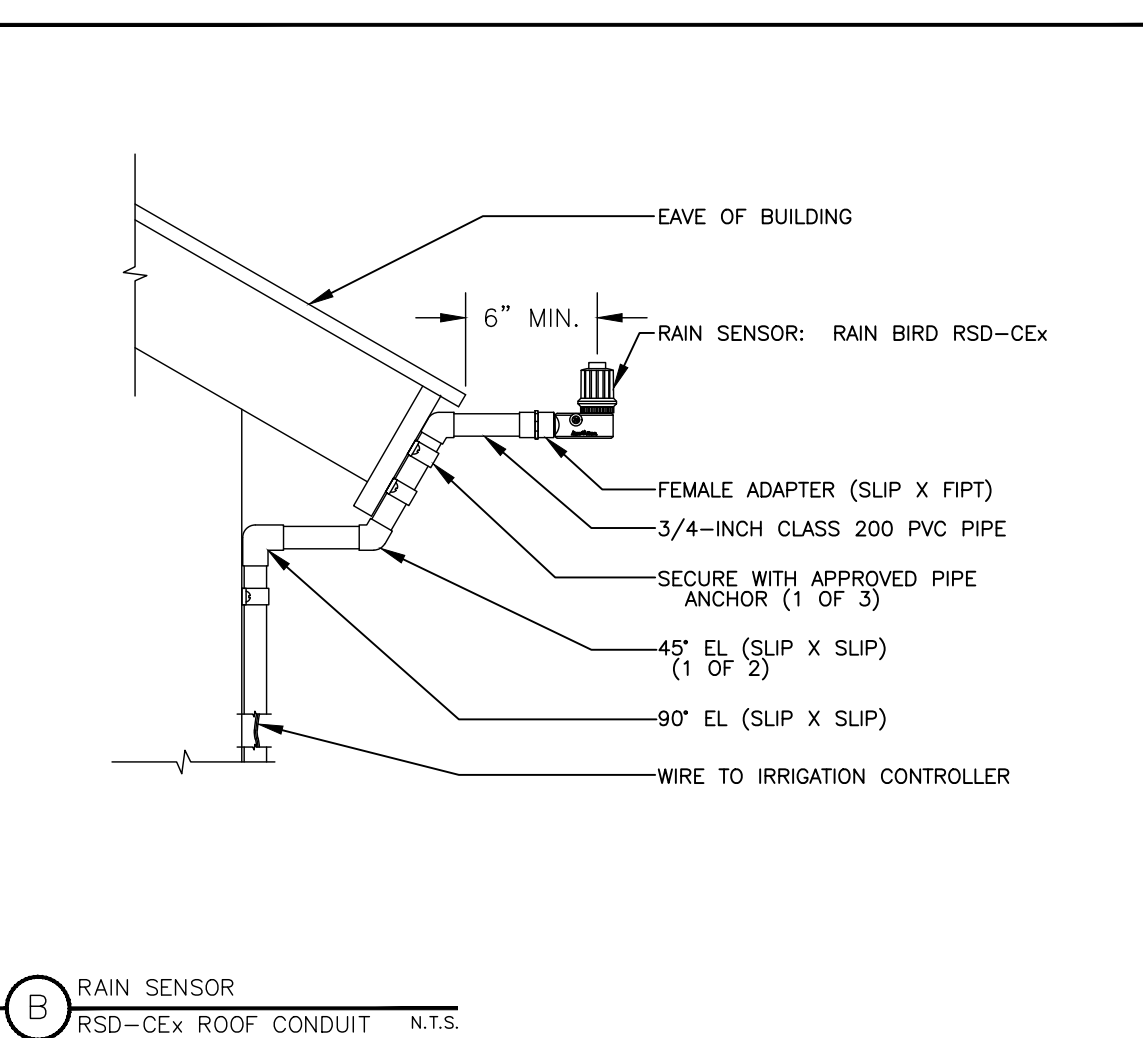
DATE: 06-05-17
JOB NUMBER: 17-027
DRAWN BY: RBG
FILE: LANDSCAPE
SCALE: N.T.S.

L-3

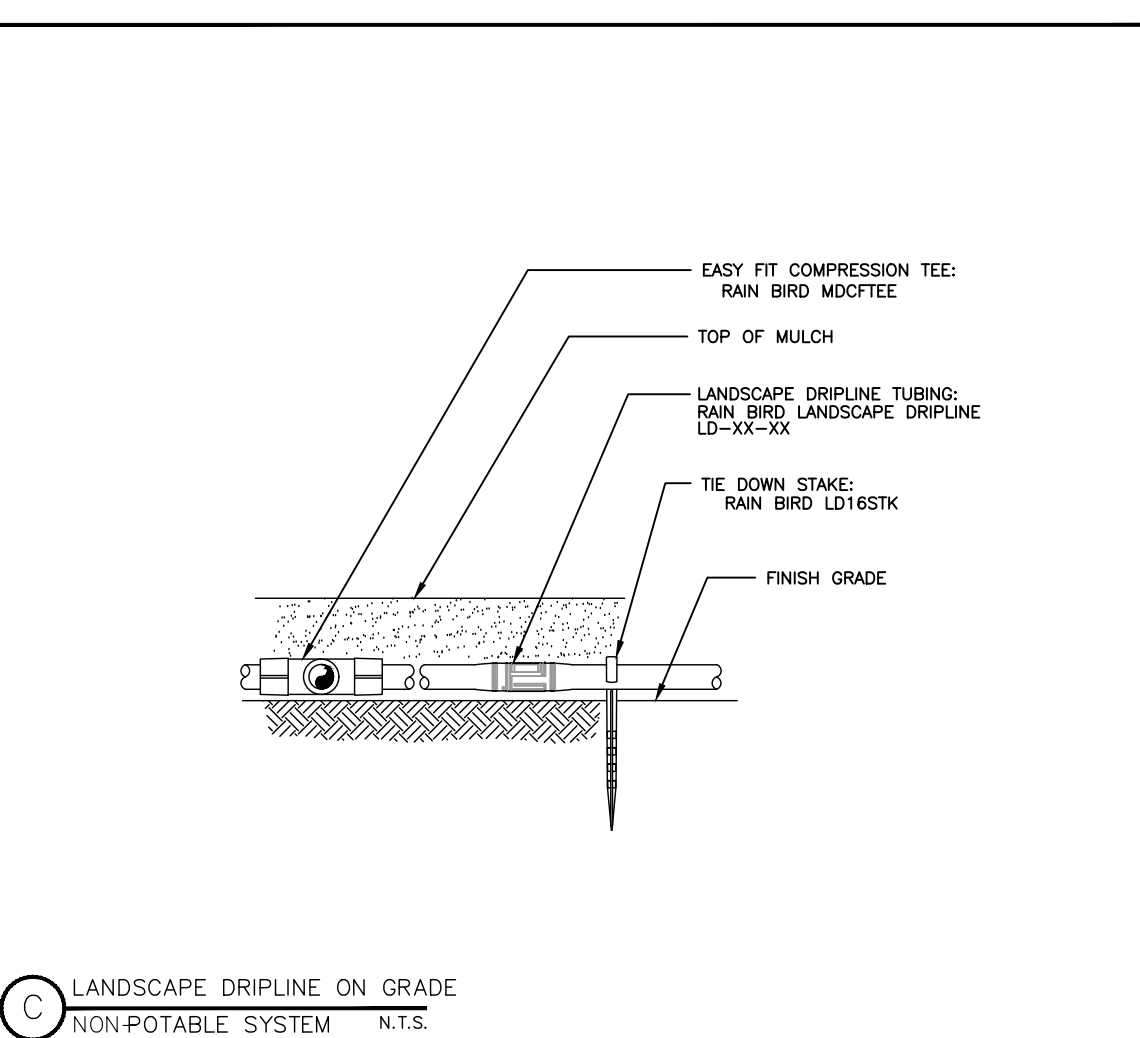
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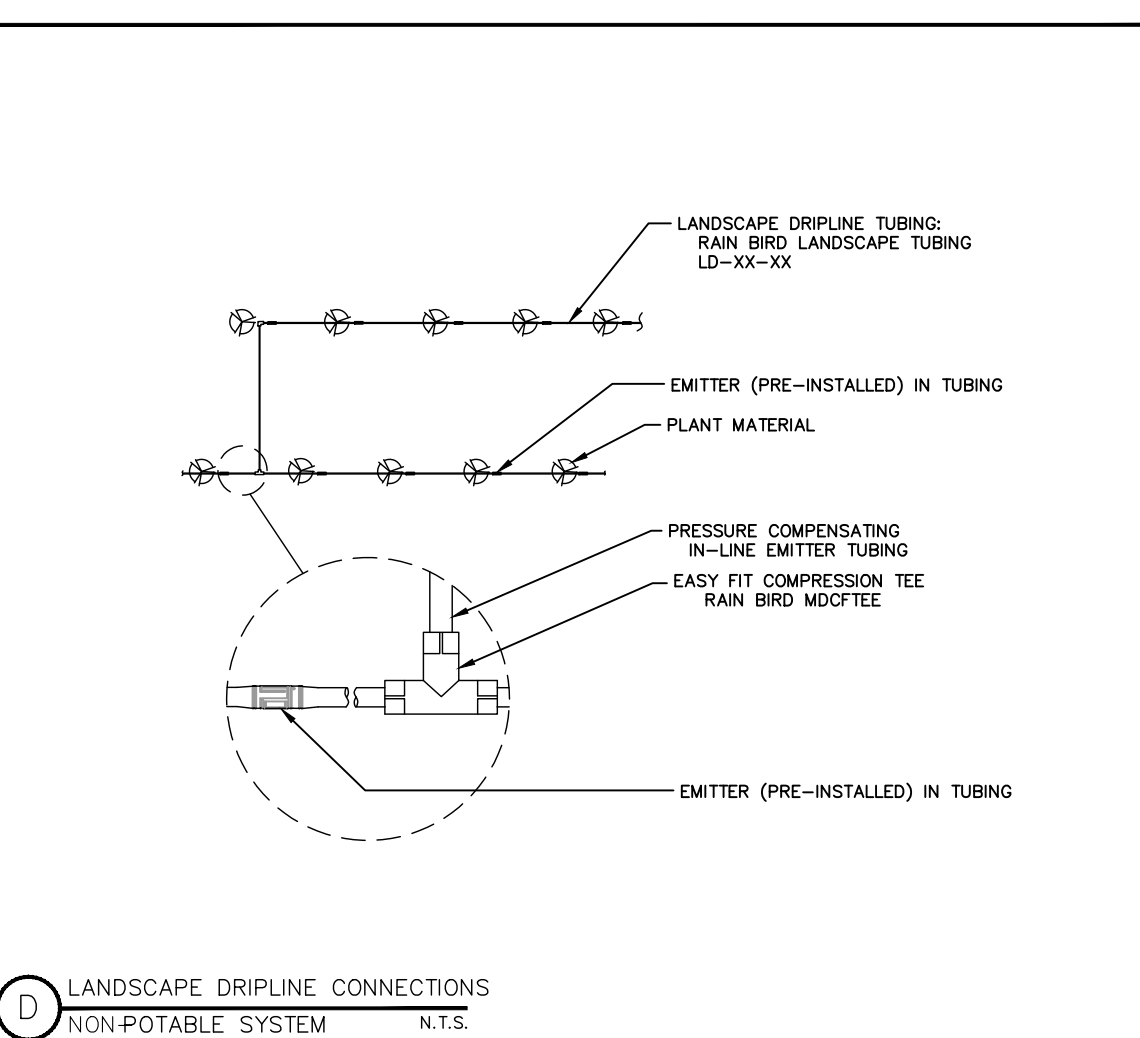
A FOUR PROGRAM HYBRID CONTROLLER ESP-MC PLASTIC WALL-MOUNT N.T.S.



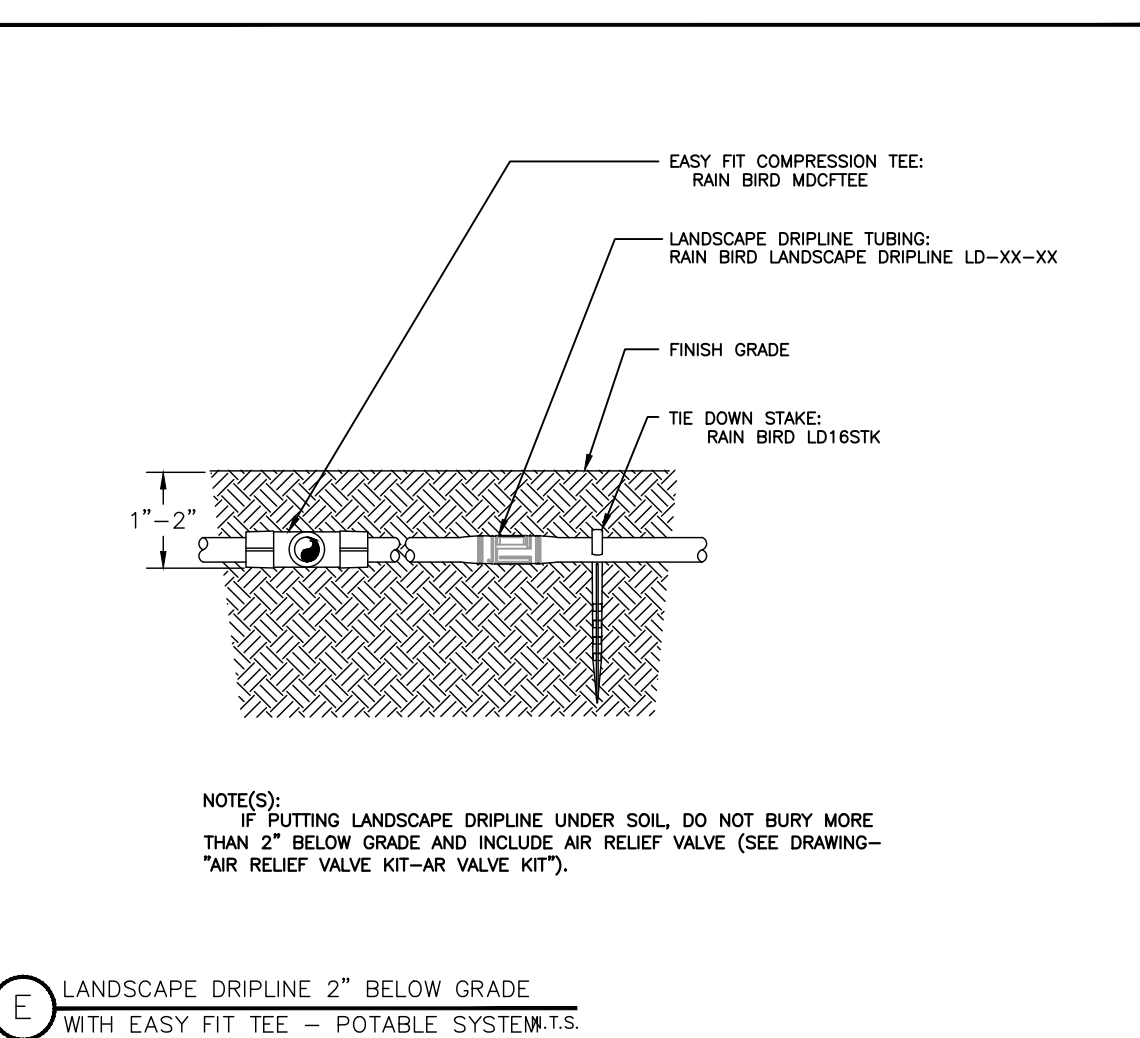
B RAIN SENSOR RSD-CEx ROOF CONDUIT N.T.S.



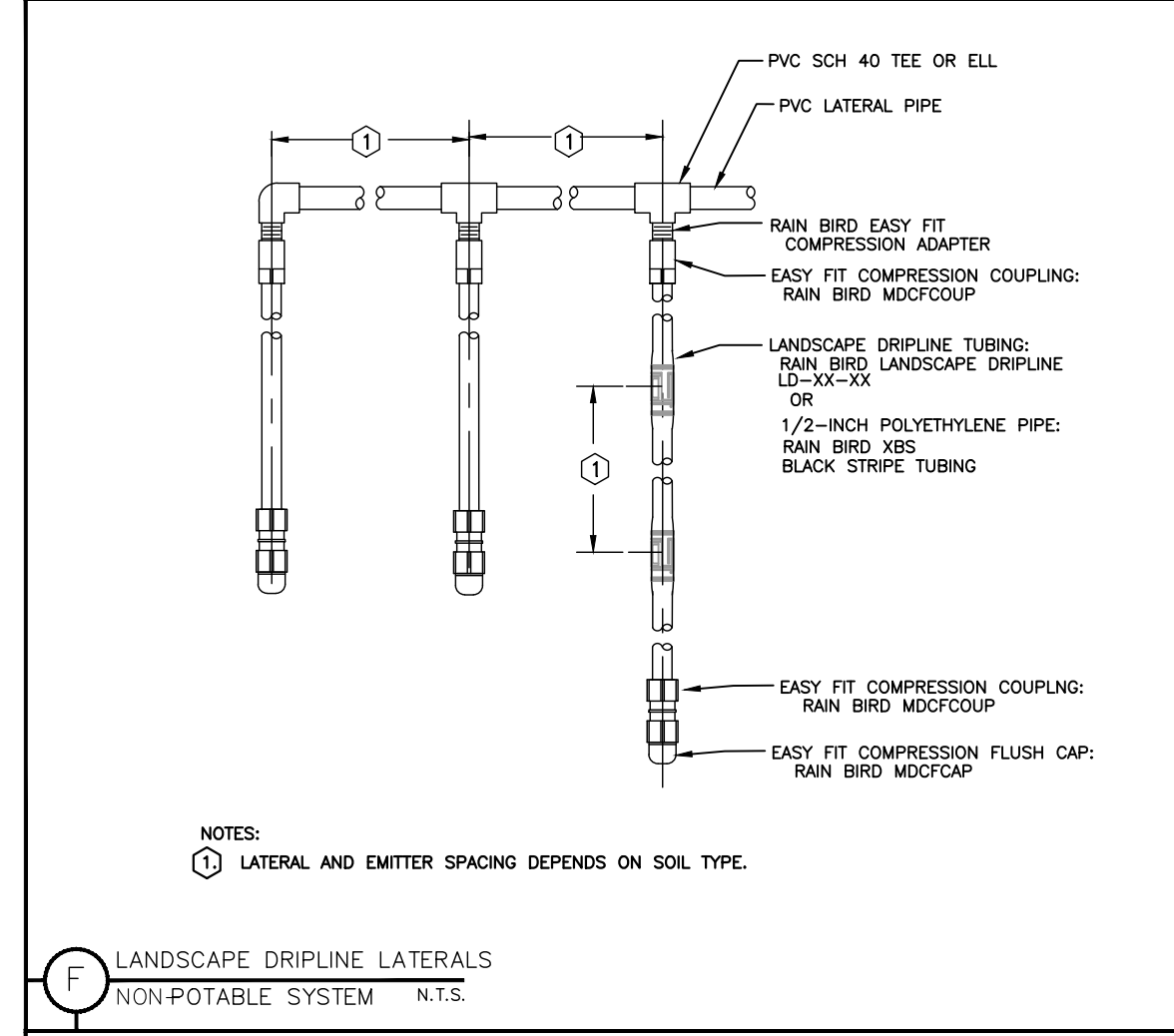
C LANDSCAPE DRIPLINE ON GRADE NON-POTABLE SYSTEM N.T.S.



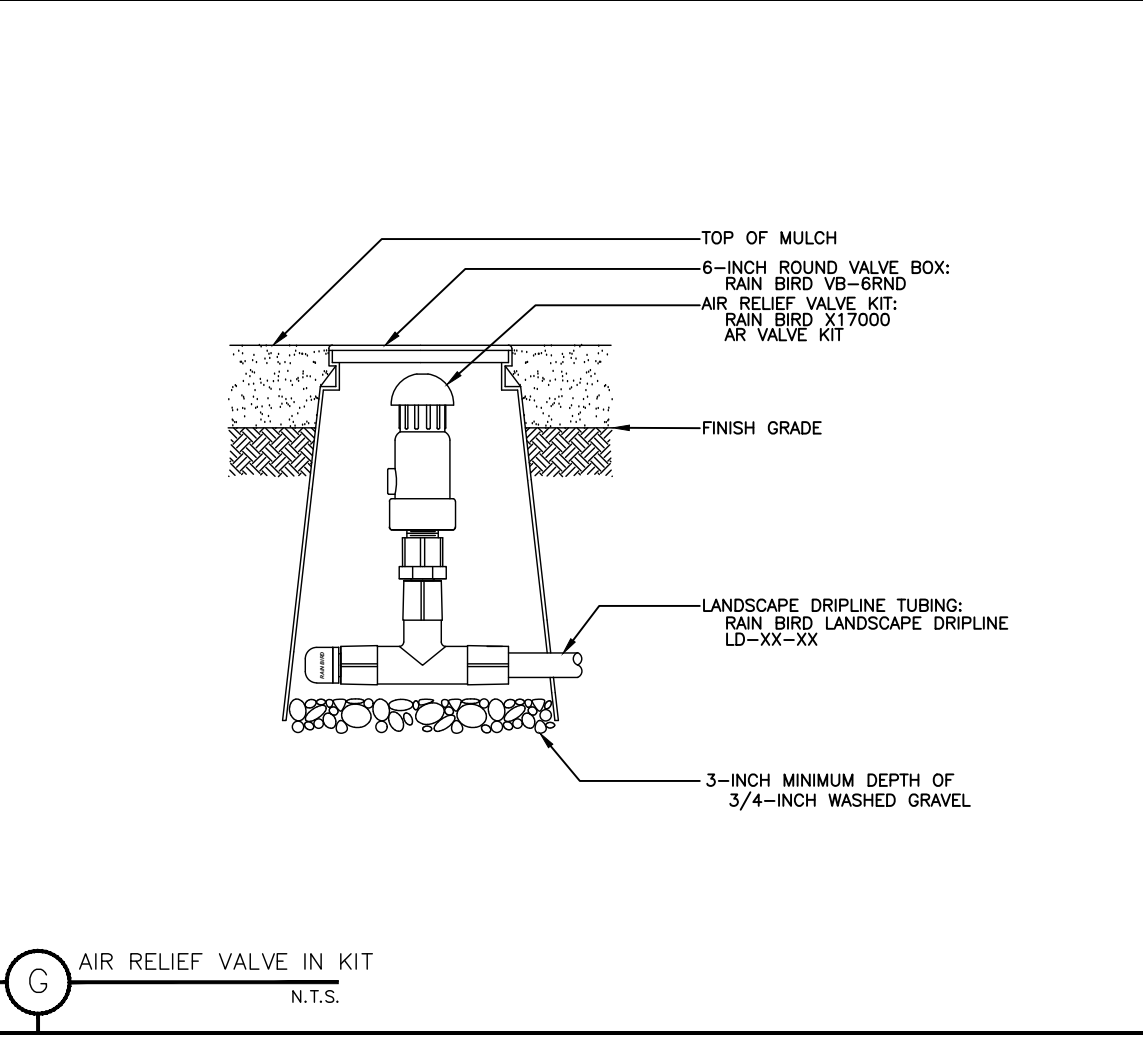
D LANDSCAPE DRIPLINE CONNECTIONS NON-POTABLE SYSTEM N.T.S.



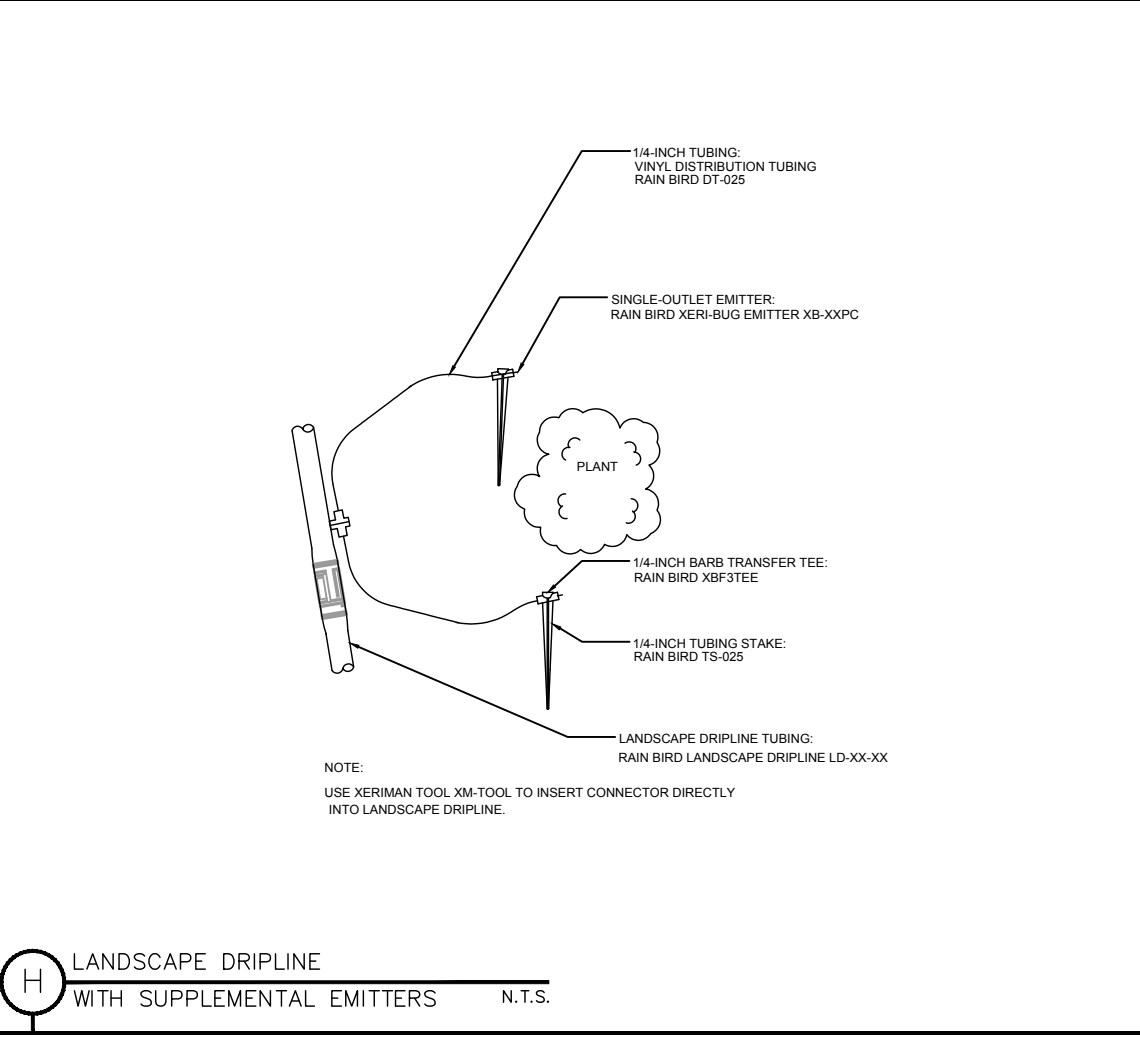
E LANDSCAPE DRIPLINE 2' BELOW GRADE WITH EASY FIT TEE - POTABLE SYSTEM T.S.



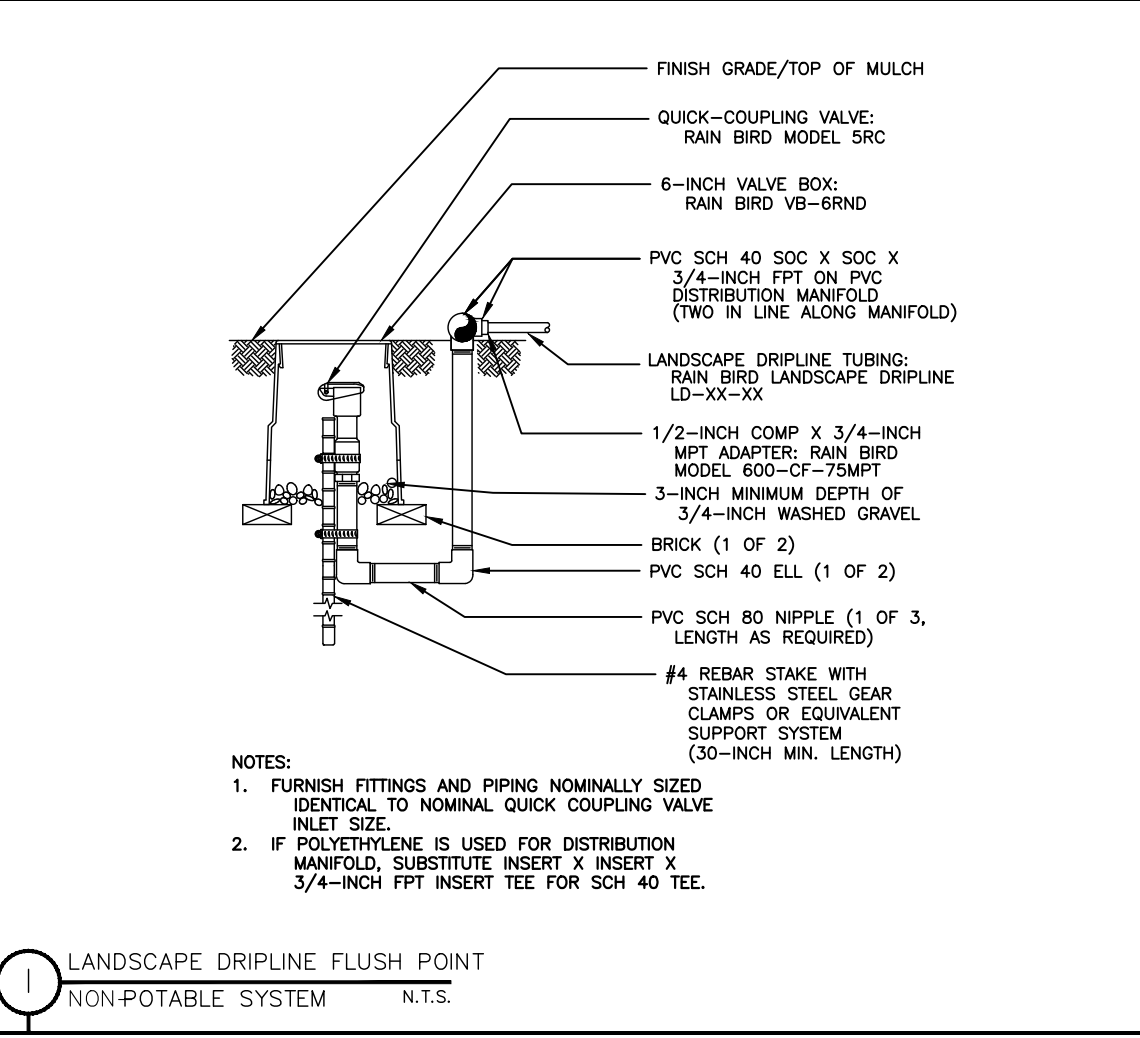
F LANDSCAPE DRIPLINE LATERALS NON-POTABLE SYSTEM N.T.S.



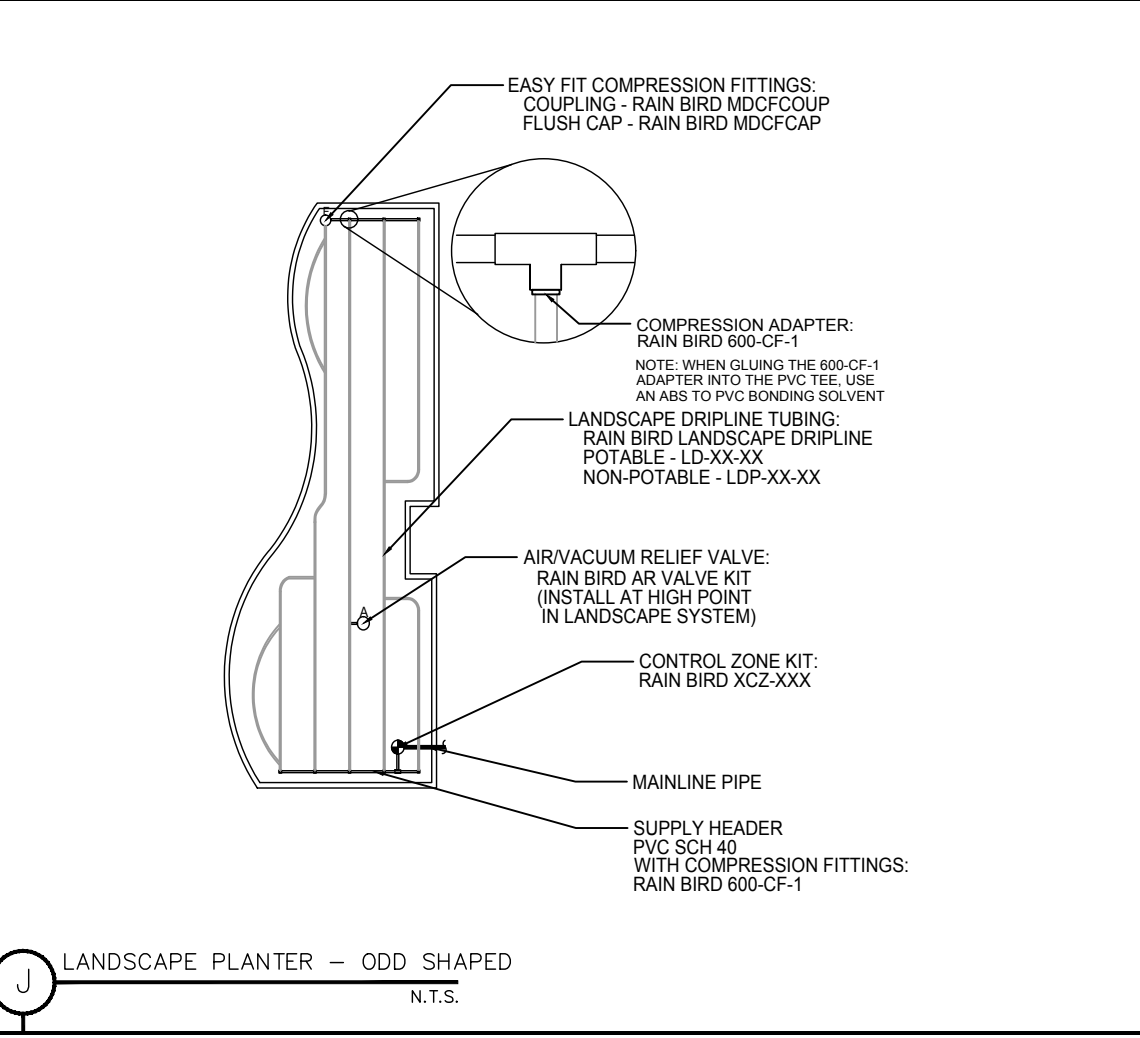
G AIR RELIEF VALVE IN KIT N.T.S.



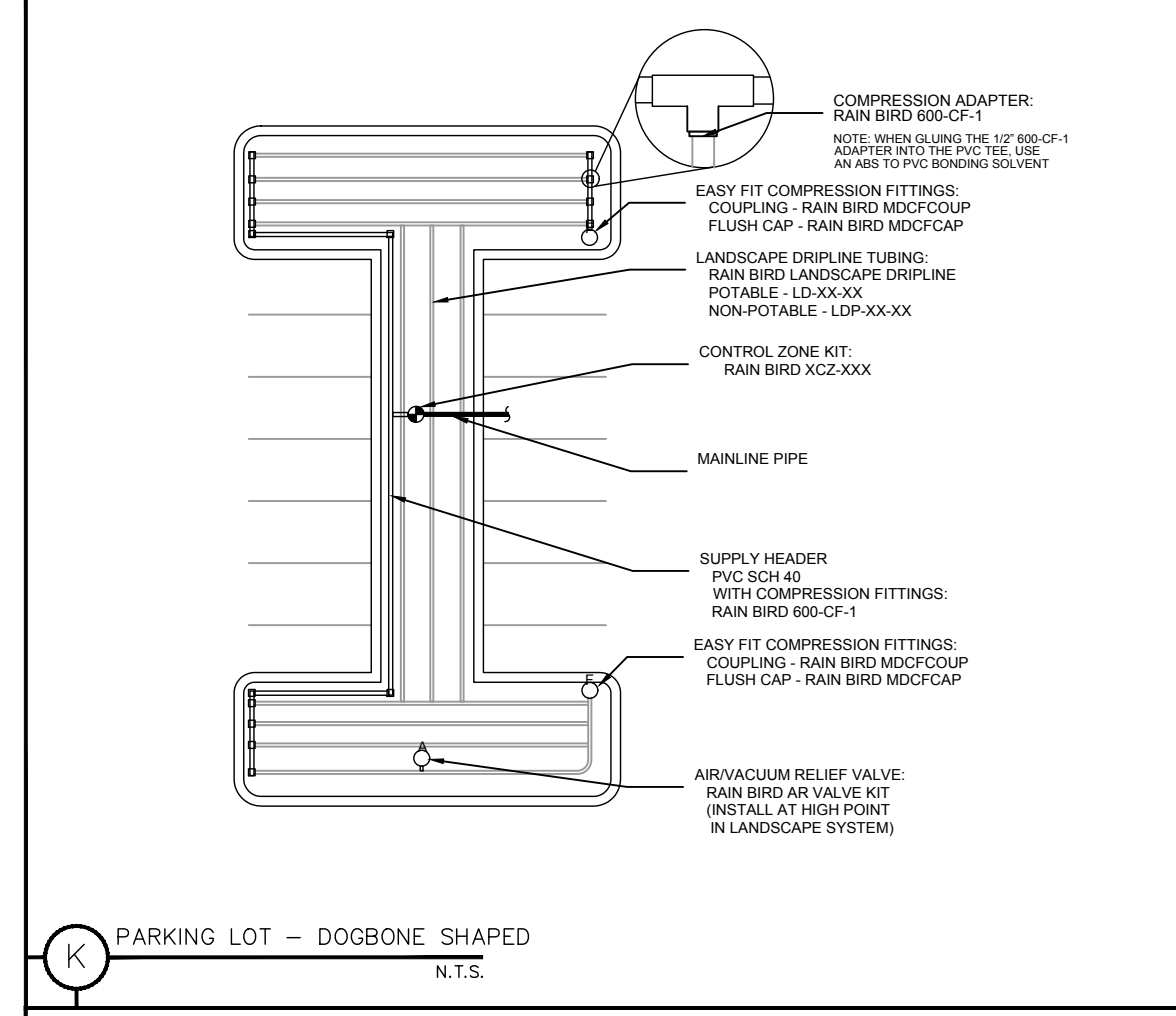
H LANDSCAPE DRIPLINE WITH SUPPLEMENTAL EMITTERS N.T.S.



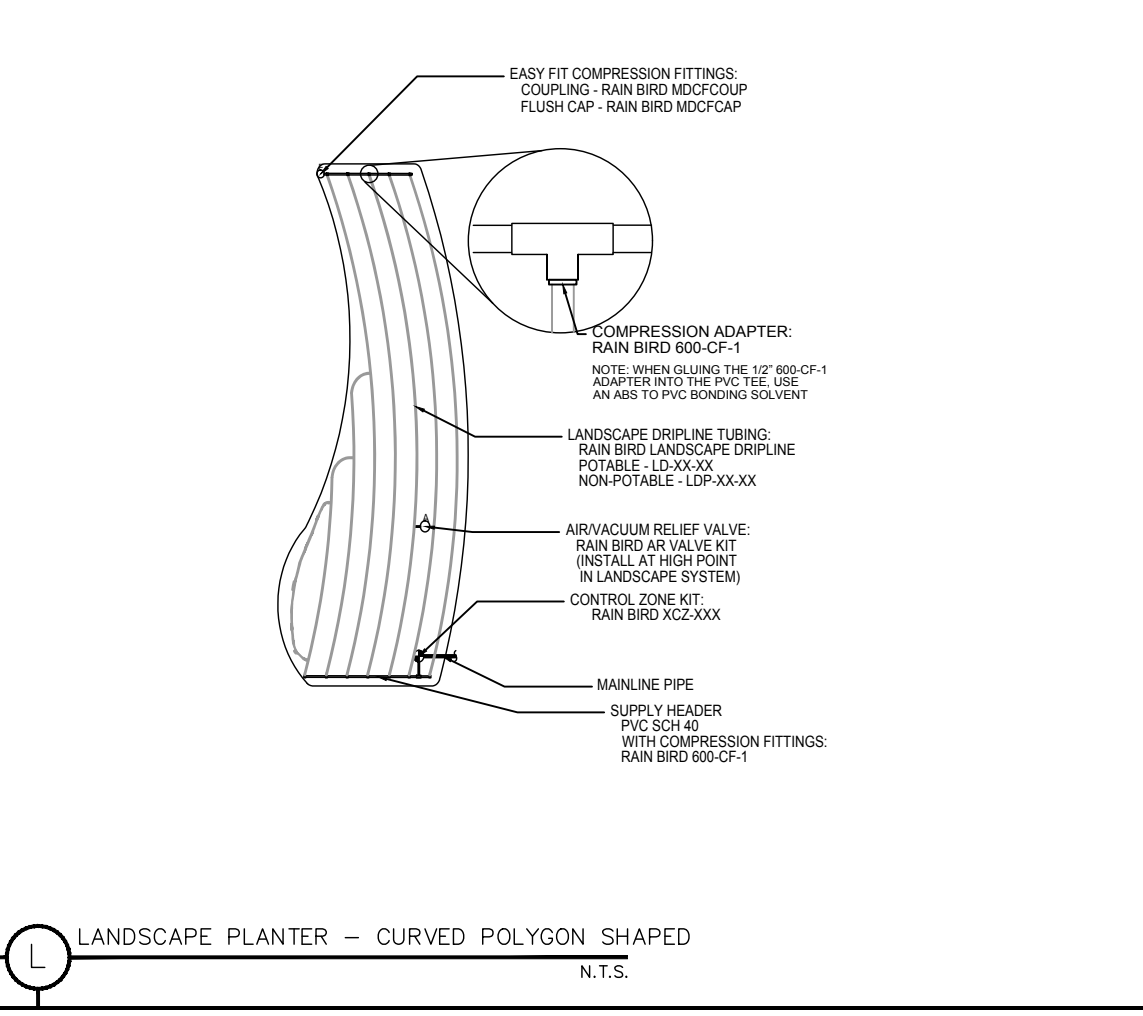
I LANDSCAPE DRIPLINE FLUSH POINT NON-POTABLE SYSTEM N.T.S.



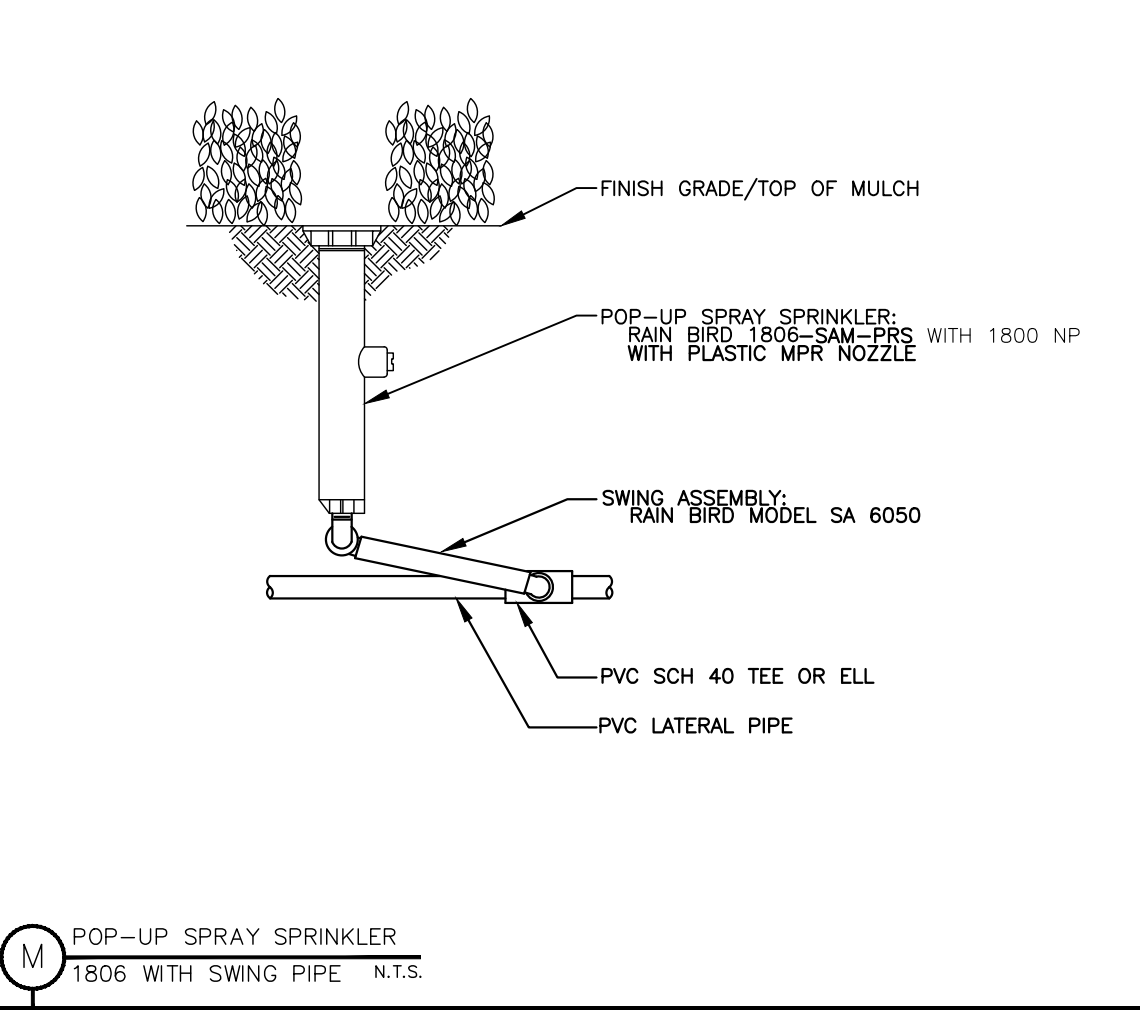
J LANDSCAPE PLANTER - ODD SHAPED N.T.S.



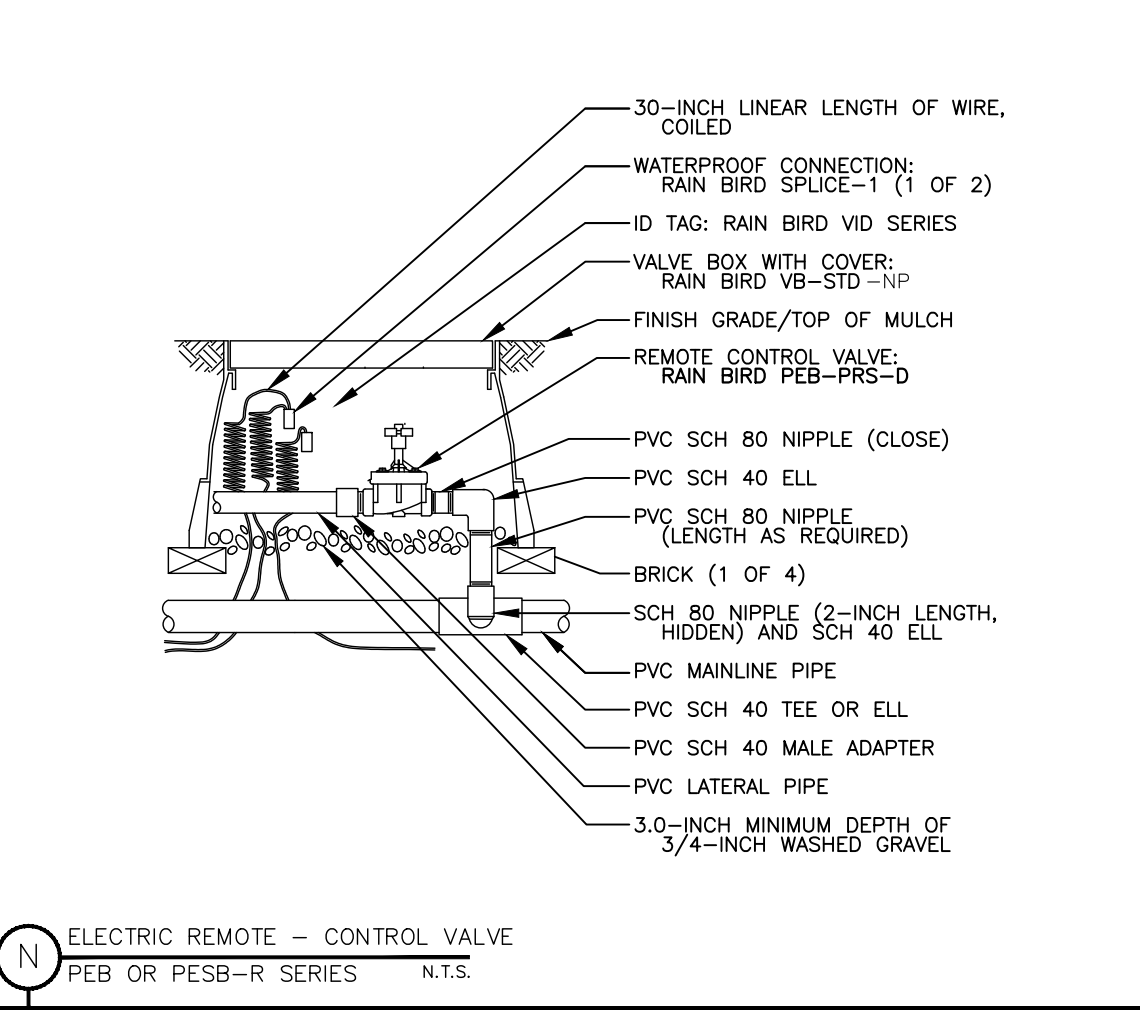
K PARKING LOT - DOGBONE SHAPED N.T.S.



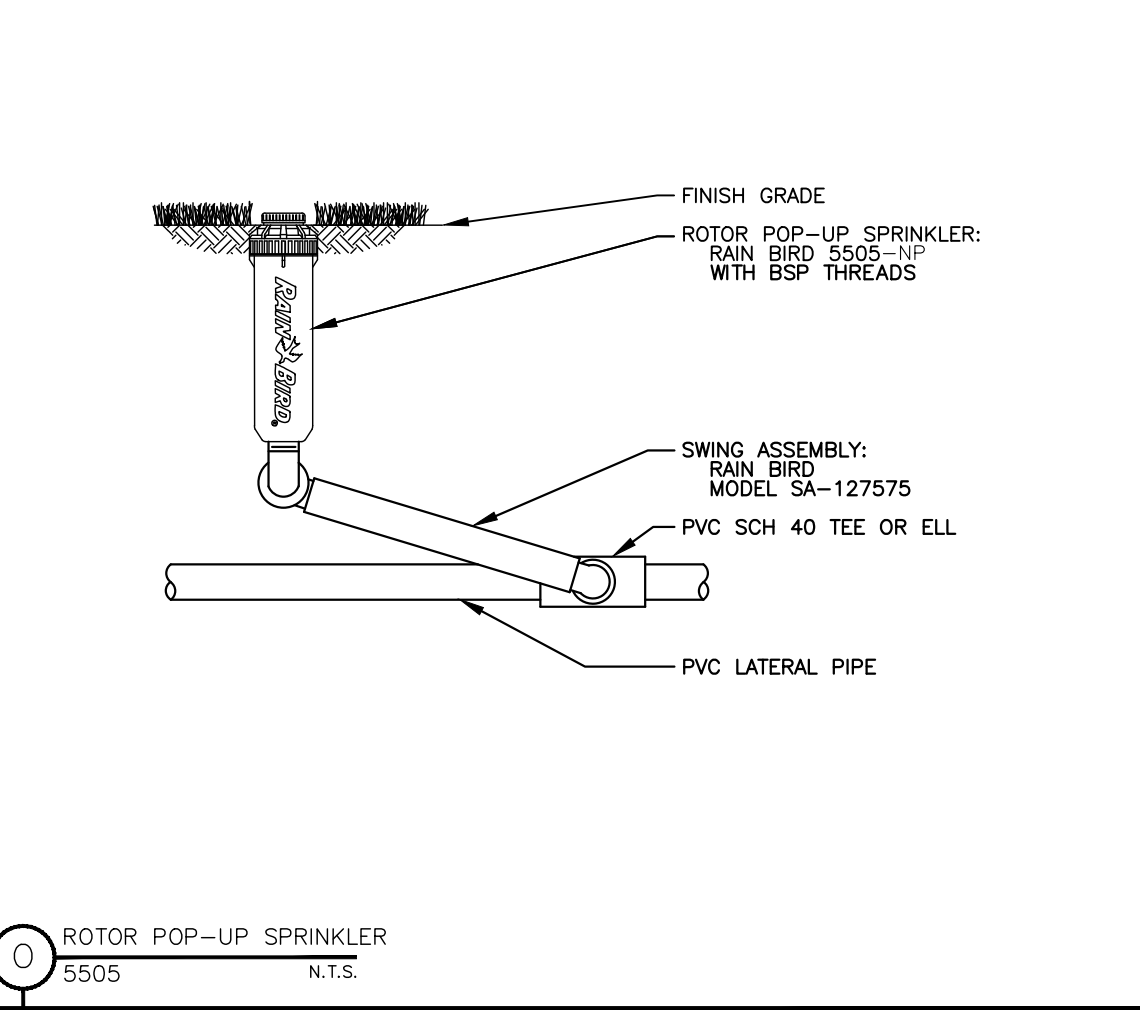
L LANDSCAPE PLANTER - CURVED POLYGON SHAPED N.T.S.



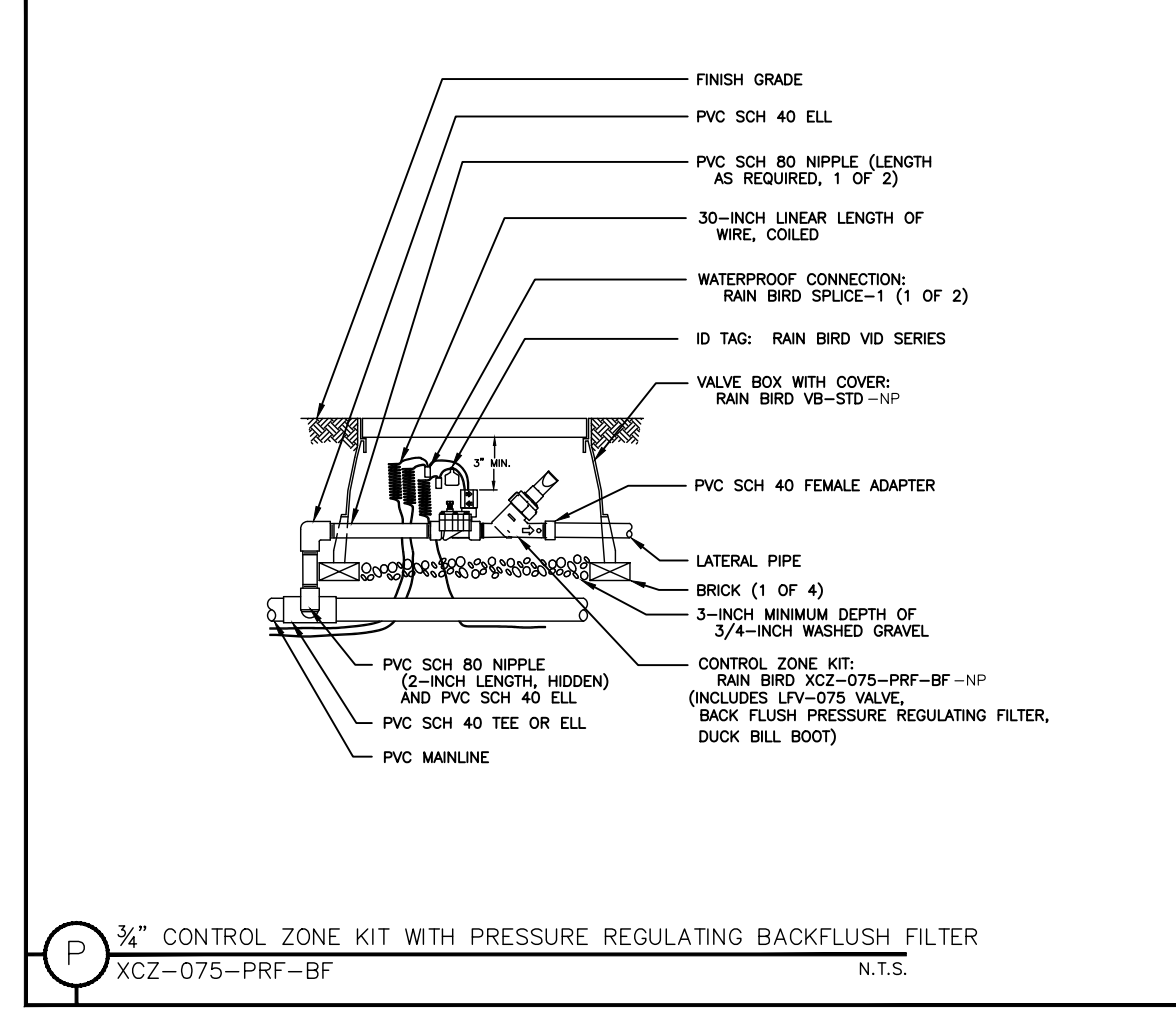
M POP-UP SPRAY SPRINKLER 1806 WITH SWING PIPE N.T.S.



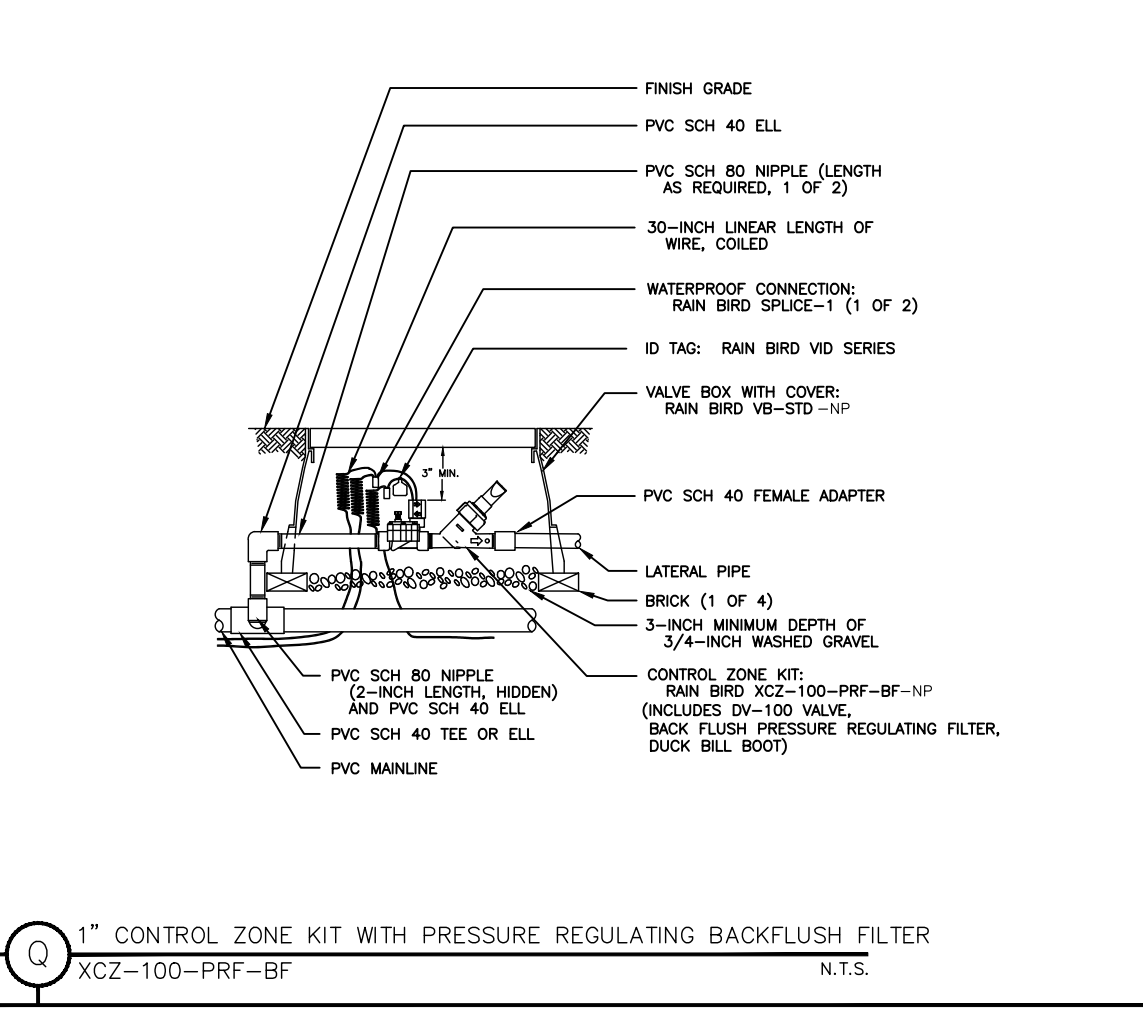
N ELECTRIC REMOTE - CONTROL VALVE PEB OR PESB-R SERIES N.T.S.



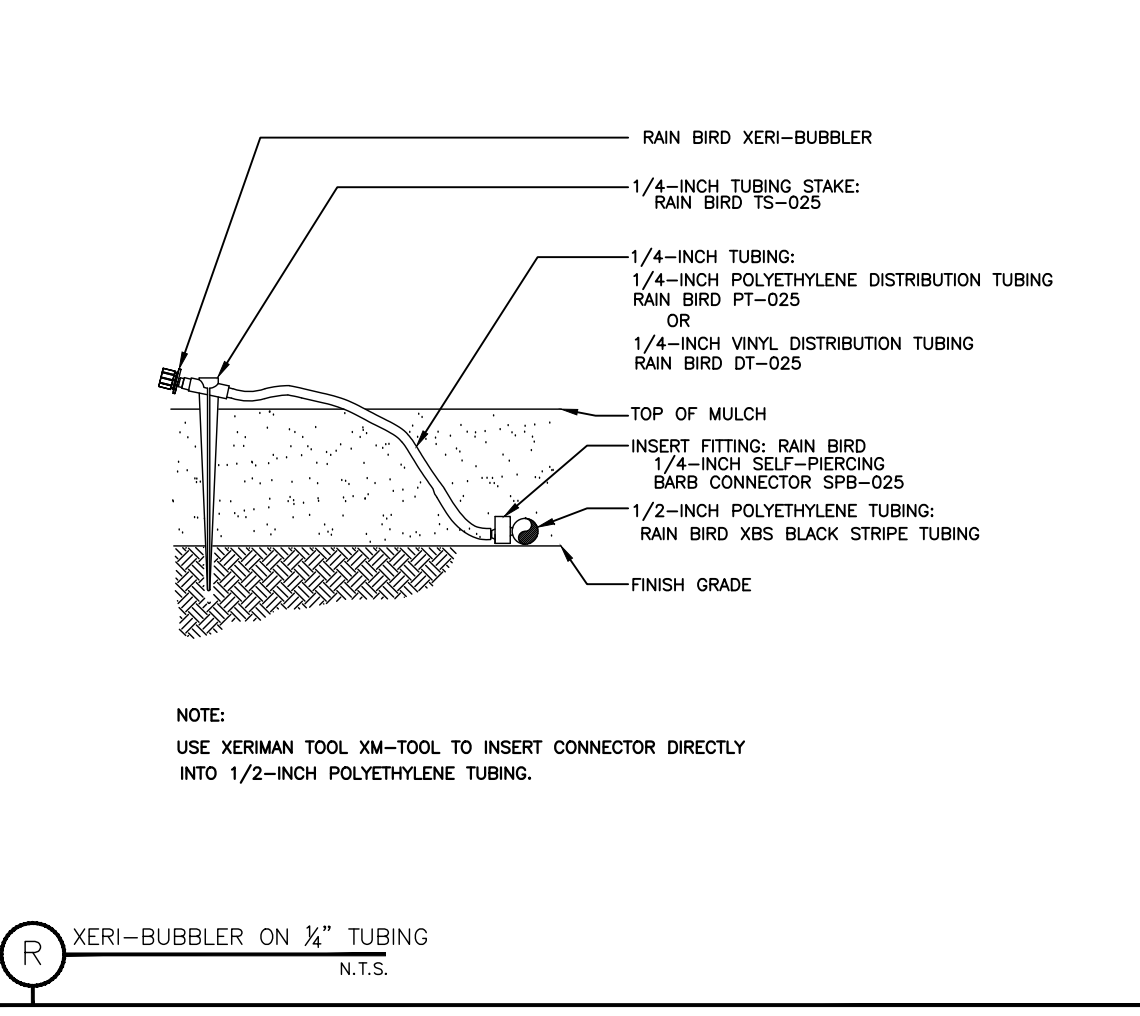
O ROTOR POP-UP SPRINKLER 5505 N.T.S.



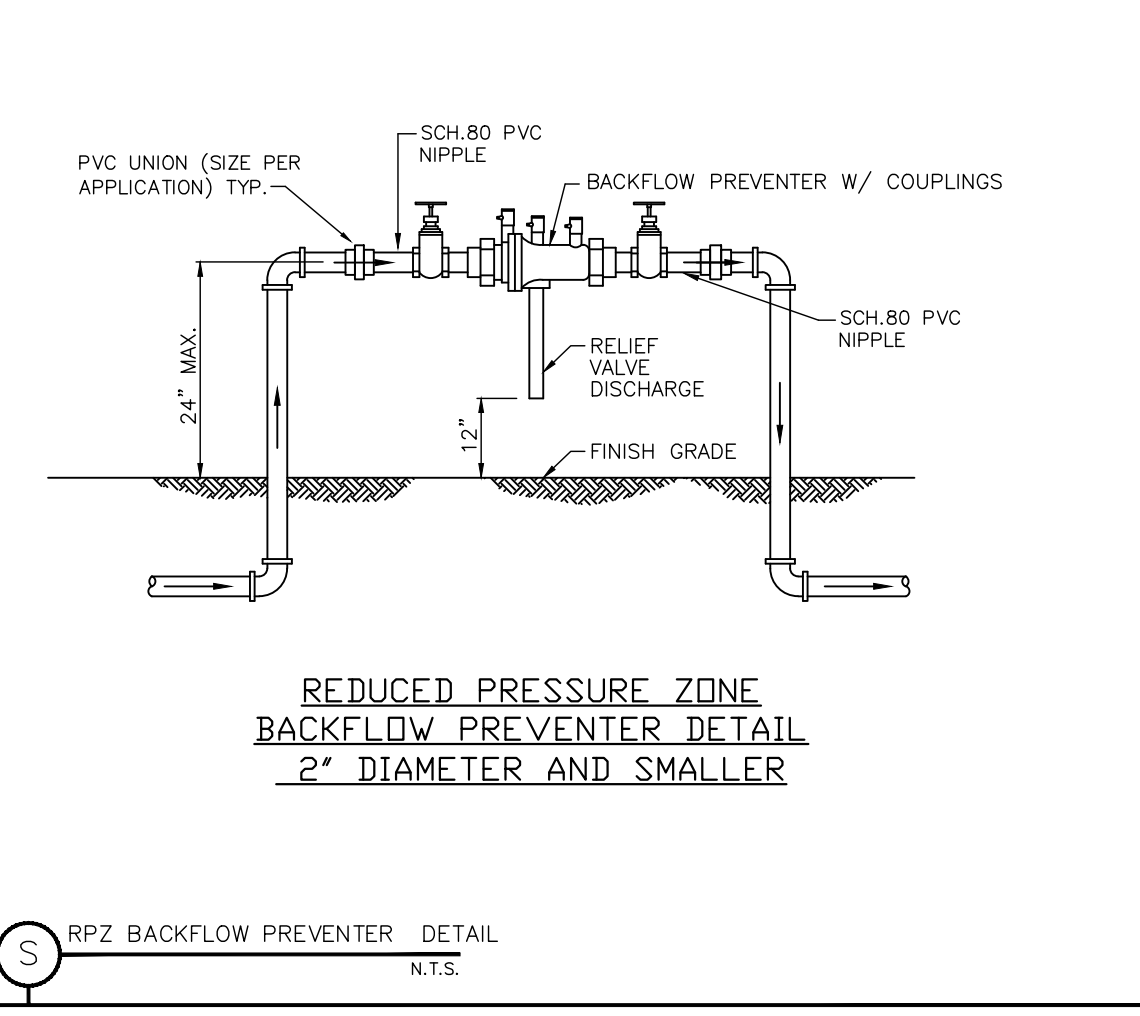
P 3/4" CONTROL ZONE KIT WITH PRESSURE REGULATING BACKFLUSH FILTER XZC-075-PRF-BF N.T.S.



Q 1" CONTROL ZONE KIT WITH PRESSURE REGULATING BACKFLUSH FILTER XZC-100-PRF-BF N.T.S.



R XERI-BUBBLER ON 1/2" TUBING N.T.S.



S RPZ BACKFLOW PREVENTER DETAIL N.T.S.

LANDSCAPE ARCHITECT:
Robert R. Buchanan LA0000932

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Phone: 407-279-8811 - Email: rrbuchanan@mjmandynamic.com
Irrigation Details
Canterwood at DeBary ALF/MC
DeBary, Florida

REVISIONS
1. 7/15/15 Comments
2. 7/15/15 Landscape Upgrade
3. 7/15/15
4. 7/15/15
5. 7/15/15
6. 7/15/15
7. 7/15/15
8. 7/15/15

DATE: 06-05-17
JOB NUMBER: 17-027
DRAWN BY: BEB
FILE: IRRIGATION
SCALE: N.T.S.

IR-2



OVERALL BUILDING ELEVATION - SOUTH



OVERALL BUILDING ELEVATION - EAST



OVERALL BUILDING ELEVATION - NORTH



OVERALL BUILDING ELEVATION - WEST



PERSPECTIVE VIEW 1



PERSPECTIVE VIEW 2



PERSPECTIVE VIEW 3



*City of DeBary
Department of Planning, Zoning & Development
16 Colomba Road, DeBary, Florida 32713-3264*

October 2, 2018

Joel Hass
MJM Associates, LLC
1030 N. Orange Avenue
Orlando, FL 32801
(407) 718-0546

J. Charles & Sandra Gray
263 Bayou Circle
DeBary, FL 32713
(407) 843-8880

Re: Canterwood Manor at DeBary Final Site Plan, Case #18-01-FSP-Canterwood;
Final Site Plan Development Order

Dear Mr. Hass:

This letter is the Final Site Plan Development Order for the above referenced project. This development order authorizes commencement of construction in accordance with the approved construction plans dated August 6th 2018. Pursuant to the following findings, the City of DeBary Development Review Committee approved the final site plan providing for the following conditions of approval.

- 1) Please provide an executed agreement to construct the proposed trail to Memorial Park
- 2) Please provide for payment and execution of a Proportionate Fair Share (PFS) agreement with the City of DeBary, for the mitigation of transportation impacts, in the amount of \$28,197.12
- 3) Please provide an executed agreement to convey an easement for the required sidewalk across the property frontage
- 4) Prior to the pre-construction hearing, please submit a check for inspection fees prior to commencement of construction, in the amount of \$7,156.65
- 5) Please submit a gopher tortoise removal after-action report and copies of all associated correspondence with regulating agencies
- 6) Please provide for implementation of Standard Protection Measures for the Eastern Indigo Snake during construction

- 7) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before county staff may endorse the FDEP water and wastewater permit applications is advised
- 8) Coordinate with the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans
- 9) Prior to construction, please provide structural drawings associated with the retaining walls
- 10) The applicant shall have erosion and sediment control procedures and equipment in place as well as any proposed tree protection barricades prior to commencement of construction. Please contact Steve Wood, 386.668.2040 ext. 320, for approval prior to any on-site clearing and/or grading. A NPDES Erosion and Sediment Inspection will be performed by the City
- 11) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
- 12) Prior to the pre-construction meeting, please submit a project construction schedule

In addition to the items listed above, prior to commencement of construction, please provide the following:

- 1) Provide a copy of the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) permit for the proposed sanitary sewer system (gravity sewer system, force main, and sanitary sewer lift station).
- 2) Provide a copy of the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) permit for the proposed potable water system, as well as the fire water system (if applicable).
- 3) Provide a copy of the FDEP "Notice of Intent" form, as well as the SWPPP document for the City's review.
- 4) Provide a copy of the approved Florida Department of Environmental Protection Department (FDEP) permits to "*Construct a Water Distribution System*" and to "*Construct a Sewage Collection / Transmission System*" prior to the pre-construction meeting.
- 5) Provide a copy of the SJRWMD "*Notice of District Dewatering Activity*" permit (Form No. 40C-2.900(12)).
- 6) Provide a copy of the SJRWMD "*Construction Commencement Notice*" form (Form No. 40C-4.900(3)).

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All plans and construction must be in substantial compliance with this Development Order. Deviations from the approved plans may require submittal of amended plans for review and approval by staff.

No final inspections will be performed by staff until the developer's engineer has certified that all construction has been completed in accordance with this Development Order and the approved plans. That certification must be submitted to the City before the final inspections will be scheduled. Please note additional inspection fees for inspection of site work i.e. stormwater pond may be required.

Please feel free to call me at 386-668-0238 if you have any questions or concerns.

Sincerely,


Ron McLemore
City Manager
City of DeBary



February 6, 2020

Joel Hass
MJM Associates, LLC
1030 N. Orange Avenue
Orlando, FL 32801
(407) 718-0546

Re: Canterwood Manor at DeBary Final Site Plan, Case #18-01-FSP-Canterwood and Case # 19-01-DOE-Canterwood; Final Site Plan Development Order Extension.

Dear Mr. Hass:

This letter is the Final Site Plan Development Order for the above referenced project. You requested a Development Order extension, Case Number 19-01-DOE-Canterwood, which was approved by City Council on February 5, 2020. This Development Order extension shall expire on September 26, 2021. The development order authorizes commencement of construction in accordance with the approved construction plans dated August 6th 2018. Pursuant to the following findings, the City of DeBary Development Review Committee approved the final site plan providing for the following conditions of approval.

- 1) Please provide an executed agreement to construct the proposed trail to Memorial Park
- 2) Please provide for payment and execution of a Proportionate Fair Share (PFS) agreement with the City of DeBary, for the mitigation of transportation impacts, in the amount of \$28,197.12
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- 13) Prior to the pre-construction meeting, please submit a project construction schedule. Please bring payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).

In addition to the items listed above, prior to commencement of construction, please provide the following:

- 1) Provide a copy of the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) permit for the proposed sanitary sewer system (gravity sewer system, force main, and sanitary sewer lift station).
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- 3) Provide a copy of the FDEP "Notice of Intent" form, as well as the SWPPP document for the City's review.
- 4) Provide a copy of the approved Florida Department of Environmental Protection Department (FDEP) permits to "*Construct a Water Distribution System*" and to "*Construct a Sewage Collection / Transmission System*" prior to the pre-construction meeting.





- 5) Provide a copy of the SJRWMD "*Notice of District Dewatering Activity*" permit (Form No. 40C-2.900(12)).
- 6) Provide a copy of the SJRWMD "*Construction Commencement Notice*" form (Form No. 40C-4.900(3)).

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Please feel free to call me at 386-668-0238 if you have any questions or concerns.

Sincerely,

Carmen Rosamonda
City Manager
City of DeBary





September 2nd, 2021

Joel Hass
MJM Associates, LLC
1030 N. Orange Avenue
Orlando, FL 32801
(407) 718-0546

Re: Canterwood Manor at DeBary Final Site Plan, Case #18-01-FSP-Canterwood and Case # 21-01-DOE-Canterwood; Final Site Plan Development Order Extension.

Dear Mr. Hass:

This letter is the Final Site Plan Development Order for the above referenced project. You requested a Development Order extension, Case Number 21-01-DOE-Canterwood, which was approved by City Council on September 1st, 2021. This Development Order extension shall expire on August 30th, 2022. The development order authorizes commencement of construction in accordance with the approved construction plans dated August 6th 2018. Pursuant to the following findings, the City of DeBary Development Review Committee approved the final site plan providing for the following conditions of approval.

- 1) Please provide an executed agreement to construct the proposed trail to Memorial Park
- 2) Please provide for payment and execution of a Proportionate Fair Share (PFS) agreement with the City of DeBary, for the mitigation of transportation impacts, in the amount of \$28,197.12
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- 7) Coordinate with the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans
- 8) Prior to construction, please provide structural drawings associated with the retaining walls
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- 10) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
- 11) Prior to the pre-construction meeting, please submit an Engineer's Opinion of Costs for the project site construction, less any potable water, sewer, or reclaim installation. This shall be used to determine inspection fee cost amount per the formula below. Volusia County Utilities shall be responsible for all potable water, sewer, and reclaim infrastructure installation.
- 12) Prior to the pre-construction meeting, please submit a project construction schedule. Please bring payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).
- 13) The City is in receipt of the construction inspection fees.

In addition to the items listed above, prior to commencement of construction, please provide the following:

- 1) Provide a copy of the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) permit for the proposed sanitary sewer system (gravity sewer system, force main, and sanitary sewer lift station).
- 2) Provide a copy of the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) permit for the proposed potable water system, as well as the fire water system (if applicable).
- 3) Provide a copy of the FDEP "Notice of Intent" form, as well as the SWPPP document for the City's review.





- 4) Provide a copy of the approved Florida Department of Environmental Protection Department (FDEP) permits to "*Construct a Water Distribution System*" and to "*Construct a Sewage Collection / Transmission System*" prior to the pre-construction meeting.
- 5) Provide a copy of the SJRWMD "*Notice of District Dewatering Activity*" permit (Form No. 40C-2.900(12)).
- 6) Provide a copy of the SJRWMD "*Construction Commencement Notice*" form (Form No. 40C-4.900(3)).

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Please feel free to call me at 386-668-0238 if you have any questions or concerns.



CITY of DeBARY

www.debary.org

· THE RIVER CITY ·

Sincerely,



Carmen Rosamonda
City Manager
City of DeBary



16 Colomba Road, DeBary, Florida 32713 · Tel: 386.668.2040 · Fax: 386.668.4122 · *Like us on Facebook*



October 28, 2022

J. Charles Gray
Gray-Robinson
301 East Pine Street, Suite 1400
Orlando, FL 32801
(407) 843-8880

Re: Canterwood Manor at DeBary Final Site Plan, Case #18-01-FSP-Canterwood and Case # 22-01-DOE-Canterwood; Final Site Plan Development Order Extension.

Dear Mr. Gray:

This letter is the Final Site Plan Development Order for the above referenced project. You requested a Development Order extension, Case Number 22-01-DOE-Canterwood, which was approved by City Council on October 19, 2022. This Development Order extension shall expire on October 23, 2023. The development order authorizes commencement of construction in accordance with the approved construction plans dated August 6th 2018. Pursuant to the following findings, the City of DeBary Development Review Committee approved the final site plan providing for the following conditions of approval.

- 1) Please provide an executed agreement to construct the proposed trail to Memorial Park
- 2) Please provide for payment and execution of a Proportionate Fair Share (PFS) agreement with the City of DeBary, for the mitigation of transportation impacts, in the amount of \$28,197.12
- 3) Please provide an executed agreement to convey an easement for the required sidewalk across the property frontage
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- 6) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before county staff may endorse the FDEP water and wastewater permit applications is advised





- 7) Coordinate with the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans
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- 10) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
- 11) Prior to the pre-construction meeting, please submit an Engineer's Opinion of Costs for the project site construction, less any potable water, sewer, or reclaim installation. This shall be used to determine inspection fee cost amount per the formula below. Volusia County Utilities shall be responsible for all potable water, sewer, and reclaim infrastructure installation.
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4) Provide a copy of the approved Florida Department of Environmental Protection Department (FDEP) permits to "*Construct a Water Distribution System*" and to "*Construct a Sewage Collection / Transmission System*" prior to the pre-construction meeting.

5) Provide a copy of the SJRWMD "*Notice of District Dewatering Activity*" permit (Form No. 40C-2.900(12)).

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Please feel free to call me at 386-601-0238 if you have any questions or concerns.

Sincerely,

Carmen Rosamonda
City Manager
City of DeBary
16 Colomba Road, DeBary, FL 32713





October 5, 2023

J. Charles Gray
Gray-Robinson
301 East Pine Street, Suite 1400
Orlando, FL 32801
(407) 843-8880

Re: Canterwood Manor at DeBary Final Site Plan, Case #18-01-FSP-Canterwood and Case # 23-03-DOE-Canterwood; Final Site Plan Development Order Extension.

Dear Mr. Gray:

This letter is the Final Site Plan Development Order for the above referenced project. You requested a Development Order extension, Case Number 23-03-DOE-Canterwood, which was approved by City Council on October 4, 2023. This Development Order extension shall expire on September 29, 2024. The development order authorizes commencement of construction in accordance with the approved construction plans dated August 6, 2018. Pursuant to the following findings, the City of DeBary Development Review Committee approved the final site plan providing for the following conditions of approval.

- 1) Please provide an executed agreement to construct the proposed trail to Memorial Park
- 2) Please provide for payment and execution of a Proportionate Fair Share (PFS) agreement with the City of DeBary, for the mitigation of transportation impacts, in the amount of \$28,197.12
- 3) Please provide an executed agreement to convey an easement for the required sidewalk across the property frontage
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Sincerely,

Carmen Rosamonda
City Manager
City of DeBary
16 Colomba Road, DeBary, FL 32713





**City Council Meeting
City of DeBary
AGENDA ITEM**

Subject: Gateway Center for the Arts Agreement Renewal	Attachments: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
From: Jason Schaitz Parks and Recreation Director	<input checked="" type="checkbox"/> Supporting Documents/ Contracts
Meeting Hearing Date 10/2/2024	<input type="checkbox"/> Other

REQUEST

The Parks and Recreation Department is requesting Council approve the annual renewal for the Gateway Center for the Arts Facility Use Agreement.

PURPOSE

The request is needed at this time because the agreement is up for renewal September of each year.

CONSIDERATIONS

- The City has had a long standing positive relationship with Gateway Center for the Arts Inc., partnering with them on events and to promote the arts throughout the local community.
- The initial agreement was signed 5/18/22 with an annual term from September 1 – August 31 to align with Gateway Center of the Arts fiscal year and programming schedule.
- In the time since the agreement has been signed, the City has invested around \$100,000 of approved capital funding in the building.
- Items of improvement this fiscal year were new tile floors in the theatre seating area, refinishing of the stage, new toilets and faucets in the exterior restrooms, A/C system upgrades, security system upgrades, network improvements, and theatre audio and lighting improvements.
- Gateway Center of the Arts was able to utilize the facility 876 times by coordinating programs and events, serving 17,000+ patrons. The City used the facility an additional 74 times for classes, elections, events, meetings, and rentals.

COST/FUNDING

Cleaning and maintenance costs are budgeting in the current and proposed FY 24/25 budget.

RECOMMENDATION

It is recommended the Council approved the renewal of the Facility Use Agreement with Gateway Center for the Arts Inc.

IMPLEMENTATION

Upon approval, the City will continue to work with Gateway Center for the Arts to provide arts and cultural programming and events as well as maximize the use of the facility.

ATTACHMENTS

Attachment A: Facility Use Agreement

Attachment B: FY 23-24 Gateway Center for the Arts

Attachment C: Gateway Center of the Arts COI

**Facility Use Agreement
Gateway Center for the Arts, Inc. and the City of DeBary**

WHEREAS, the City of DeBary (“City”) is agreeable to allowing the Gateway Center for the Arts, Inc. (“GCA”) use of said facilities on park property owned or leased by the City; and

WHEREAS, it is desirable that the respective duties and responsibilities of the parties be set forth in a written agreement (the “Agreement” or the “Contract”); and

WHEREAS, both parties hereto agree that the services and instruction rendered by GCA and the land provided by the City are for the good and betterment of the community and in the best interest of the public;

NOW, THEREFORE, in consideration of the mutual covenants and understandings set forth herein and for other good and valuable consideration, the receipt and sufficiency of which the parties hereby acknowledge, the parties agree as follows:

WITNESSETH:

1. For and in consideration of the covenants herein contained, the City hereby agrees to the use of the Gateway Center facility located at 880 US-17, DeBary, FL 32713 (“Facility”) by GCA for events and programs as described herein, and, in order for any such use to be granted, GCA must supply the City with any Facility use requests by the dates outlined in this agreement. Any changes to program and event dates must be submitted to the City a minimum of two weeks in advance to confirm date, time, availability, and location of needs. Failure to timely submit schedules or schedule changes outlines in this agreement may result in the facility not being available for GCA’s use. The right of use granted hereunder is in the nature of a license revocable by the City at any time pursuant to the terms of this Agreement and confers no estate, tenancy, lease, or other similar rights in connection with the Facility upon GCA or any other entity.
2. This Agreement is for a term of five-years with five (5) additional one-year renewals conditioned upon the mutual consent of the parties and the parties’ compliance with the renewal terms set forth herein. The term of this Agreement is for the five-year period commencing upon execution of this Agreement, and will be subject to renewal by exchange of written notice between the parties as set forth herein. Notwithstanding the preceding, either party may cancel this Agreement at will and in its sole discretion at no penalty to either party upon thirty (30) days written notice to the other party. If this Agreement is renewed after the initial five-year term, such renewal term will commence September 1st of each subsequent year and be expressly conditioned upon the following terms:
 - A. That both parties are willing to renew the Agreement.

- B. That GCA must make a request for renewal in writing to the City in August of each year. As a condition of any such renewal, GCA must provide financials and an annual report for the previous four quarters to the City.
 - C. GCA shall furnish to the City the following information:
 - (1) A financial report covering the prior period of the Agreement, indicating the complete revenues and expenditures of the GCA during such term.
 - (2) A statement relative to the goals set for the coming year and how they are proposed to be accomplished.
3. GCA agrees to and will at all times indemnify, defend, and hold harmless the City, its elected and appointed officials, officers, agents, and employees from and against all liability, claims, demands, damages, and costs of every kind and nature, including attorney's fees at trial or appellate levels and all court costs arising out of GCA's use or occupation of the Facility or property upon which Facility is located, including any injury to or death of the GCA's employees, agents, invitees, guests, members, and youth players, and damage to any and all property, including loss of use thereof, resulting from or in connection with activities or use of the above facilities by GCA, its agents, servants, employees, volunteers, members, guests, invitees or youth players, or resulting from the negligence, intentional torts, and criminal actions of GCA, its agents, servants, employees, volunteers, members, guests, invitees and youth players or participants. GCA and the City acknowledge and agree that GCA is solely responsible for the reasonable supervision, control, protection and safety of the GCA's agents, servants, employees, volunteers, members, guests, invitees and youth players or participants. GCA shall, upon request from the City, defend and satisfy any and all suits arising from the GCA's use of the Premises. This paragraph and all indemnification and hold harmless provisions of this Agreement will survive the termination and expiration of this Agreement. Further, the City expressly retains all rights, benefits, and immunities of sovereign immunity in accordance with § 768.28, Florida Statutes. Regardless of anything set forth in any section or part of this Agreement to the contrary, nothing in this Agreement may be deemed as a waiver of sovereign immunity or the limits of liability of the City beyond any statutory limited waiver of immunity or limits of liability which may have been or may be adopted by the Florida Legislature, and the cap on the amount and liability of the City for damages, regardless of the number or nature of claims in tort, equity, or contract, may not exceed the dollar amount set by the legislature for tort. Nothing in this Agreement may inure to the benefit of any third party for the purpose of allowing any claim against the City, which claim would otherwise be barred under the doctrine of sovereign immunity or by operation of law.
4. GCA agrees to duly turn over ownership of all building equipment, furnishings, fixtures, and appliances essential to the operation of the building, including, but not limited to, theatre lighting, electronics, sound and projection equipment, tables, chairs, refrigerators, and other similar equipment, furnishings, and fixtures to the City, and the City will be responsible for maintaining, repairing, and replacing these items.

GCA will maintain ownership of equipment and electronics that are used for its business and program operations such as computers, art supplies, theatre supplies and props, crafts and homemade jewelry, art displays, and other consumables. GCA will be solely responsible for maintenance, replacement, and repair of these items.

5. The City agrees to:

- A. Perform Facility Repair and Maintenance with regard to the interior and exterior of the Gateway Center facility and property in accordance with the standards deemed appropriate by the City. Such duties include, but are not limited to, mowing, landscaping, repairs, and facility maintenance. Any other requests or instructions regarding facility repair and maintenance must be submitted in writing by GCA and approved by the City.
- B. Facility Repair and Maintenance is further defined to include repair and maintenance of the following items located at the Gateway Center facility or city-owned property upon which such facility is located:
 - 1. AC Service, Repairs, and Replacement
 - 2. Electrical
 - 3. Plumbing
 - 4. Sewer and Lift Station
 - 5. Fire Suppression System and Extinguishers
 - 6. Alarm System
 - 7. Drywall Repair
 - 8. Structural and Mechanical
 - 9. Interior and Exterior Lighting
 - 10. Irrigation Repair and Maintenance
 - 11. Well Maintenance and Repair
 - 12. Pest Control
 - 13. Preventative maintenance and daily cosmetic concerns such as painting, patching, etc.
 - 14. Maintenance and repair of floors, including hard wood floors and stage.
 - 15. Parking Lot and Sidewalks
 - 16. Roof and Gutters
- C. Cause daily general cleaning of the facility to be performed, regardless of whether such is performed by a contractor, agent, or the personnel of the City itself. This does not include cleaning up after or putting away supplies and equipment used in connection with GCA programs and events, for which GCA shall remain responsible.
- D. Provide or otherwise keep extra tools on-site at all times for minor facility repairs.
- E. Assume payment of all utilities. The City reserves the right to issue guidelines to GCA and others concerning utility usage.

- F. Provide trash receptacles and trash collection (dumpster and solid waste collection services).
 - G. The City will responsible for coordinating and cleaning up after all private rentals by entities other than GCA as well as any City events or programs.
6. GCA agrees that it will:
- A. Coordinate art services programs, activities, and events and provide all staff or volunteers essential for operating or otherwise conducting such programs, events, or activities based on the standards set forth in this agreement.
 - B. Timely provide to the City for pre-approval, a copy of schedules for desired space needs (by predetermined due dates in this agreement).
 - C. Clean all appliances as needed and as otherwise may be desired by the City following conduct of a GCA activity, program, or event.
 - D. Maintain organization and cleanliness before, during, and after all GCA programs and events to include, but not be limited to: removing trash, cleaning and sanitizing touchable surfaces, cleaning the floors, and putting away equipment in proper storage areas.
 - E. Install supplies (provided by the City) for restroom facilities, including toilet paper, soap, paper towels, disinfectants, and other cleaning implements, and keep facilities clean during GCA and GCA sponsored programs and events as a backup function when City maintenance is unavailable.
 - F. Provide concession services in accordance with specifications established by the State Sanitary Code.
 - G. Provide all equipment and supplies required in connection with said activities, *e.g.*, theatre equipment, props, art supplies, event supplies, camp supplies, etc.
 - H. Not add any structural materials or make any physical improvements to the facility without the consent of the City. GCA will obtain the prior written approval of the City before GCA may make or authorize physical improvements or structural additions to any part of the facility. Unapproved structural changes or physical improvements to the facilities will, upon the request of the City, require GCA to restore or otherwise cause to be restored the facilities back to their original condition at GCA's expense.
 - I. Report damage, vandalism, problems, and safety hazards to the City immediately.
 - J. Provide one individual to act as the GCA representative and liaison between the GCA and the City.

- K. Maintain control of participants, visitors, and spectators, and ask rule violators to leave the facility or contact appropriate law enforcement agency as necessary. GCA agrees to have a GCA official at the facility during the conduct of all GCA or GCA sponsored or hosted programs, activities, and events. The City will assist with co-sponsored events and will be solely responsible for the City's own participants and invitees for City sponsored or hosted events and functions.
- L. Provide the City with a complete list (including names, phone numbers, and emails) of all GCA Employees and Board Members. GCA will provide a written statement listing the total number of registered program participants that are City residents and non-residents.
- M. Provide the City with a copy of the GCA regulations, charter, policies, procedures, guidelines, and organizational chart.
- N. Report all accidents or injuries to employees, spectators, visitors and participants occurring on facility property within 48 hours, by both telephone and a follow up written report.
- O. Provide the City with details of registration information and events (dates, times, locations, costs, etc.).
- P. The City will issue any necessary codes/combinations/ and or keys to be used by the GCA employees and board members. These items are not to be duplicated or shared outside of the GCA needs.
- Q. Operate concession facilities during non-GCA related activities and/or special events. If the GCA cannot operate concessions during these pre-determined dates, the City reserves the right to operate and/or assign this service to outside vendors.
- R. Give the City two weeks' notice on any schedule changes or additions. Schedule changes or additions can be accommodated only if space is available.
- S. Set GCA operating hours at the facility where GCA staff or volunteers will be on site and give these hours to the City. Any changes to building and GCA operating hours must be given to the City with two weeks' advance notice.
- T. Communicate building information and rental pricing and provide tours of the facility during set operating hours to those interested in renting the facility for events, functions, and other activities. GCA shall further refer any entities interested in booking or reserving the facility to the City to make any such arrangements.
- U. Open the facility during operating hours and lock and secure the facility daily upon closing. Any facility damage, vandalism, or stolen goods that occur due to negligence of the GCA securing the facility will be the responsibility of the GCA to remedy at their own expense.

7. GCA will have the use of the above referenced facility as set forth in this Agreement. The facility will be scheduled for programming by school calendar year. GCA shall submit to the City, for City approval, a proposed schedule of programs, activities, and events for each subsequent school year by May 31st of each year.

Upon receipt and approval of GCA's annual schedule request, the City will, provided that it notes no basis for objection or modification of such request, book the facility for the proposed programs, activities, and events through a live calendar in which GCA will have access to. Any new GCA calendar bookings throughout the year can be taken first come first serve alongside rentals and City programs or events.

If GCA desires to change its approved schedule of activities submitted to the City, GCA shall request in writing such change from the City Parks and Recreation Director. Any such changes to program and event dates must be submitted to the City a minimum of two weeks in advance to confirm date, time, availability, and location of needs. The City Parks and Recreation Director, in his or her sole discretion, will have the right to grant or deny GCA's request for a schedule change. GCA shall release use of the facilities at times when they are not scheduled or when they are required for use by the City for purposes of maintenance or use by others.

8. GCA must provide art and cultural services year round. Failure to provide programs, activities, and events on a year-round basis to meet the needs of the community may result in termination of this Agreement. Programs include, but are not limited to, art and theatre classes, art and theatre camps, art galleries, theatre productions, and other stage entertainment. Programs, activities, and events provided shall be outlined in GCA's annual report to the City each year.
9. Scheduling of all facilities is at the sole discretion of the City. GCA acknowledges and agrees that there may be times when the City will need to utilize the facilities or otherwise deny GCA's use of the facilities on its scheduled day(s), whether due to an emergency or any other important event that may occur, which as determined by the City in its sole discretion, requires the City to deny GCA's use of the facilities. If the City denies GCA's use of the facilities on one or more approved scheduled days, the GCA shall relinquish use of the facilities immediately upon receiving notice thereof from the City. Throughout the year, no other entity may use GCA's equipment or fixtures without GCA's express permission.
10. The City reserves the right to coordinate any programs or events in the building or on the property at any time for the City's programs, events, or for emergency use as stated above. The City should plan and book City programs and events only after the proposed GCA event calendar is submitted to the City by May 31st each year.
11. The City will be responsible for managing the building calendar and booking all private facility rentals such as weddings, receptions, parties, meetings, etc. All private rental fees will be set by the City, and all private rental revenue will go to the City. If GCA gets an

inquiry for a private rental, GCA should direct all such inquiries to the City's Parks and Recreation Department for booking based upon availability as scheduled around previously scheduled programs, activities, and events. Any contractual agreements for private rentals currently in place with GCA prior to this agreement may stay in place with GCA until those agreements end. Any such rental dates must be included in the GCA calendar of events submitted to the City in order to guarantee that space and capacity will be available.

12. GCA at its own cost and expense shall keep in force during the term of this Agreement; insurance from an insurance company licensed in the State of Florida and rated "A", Class "X" or better by A.M. Best. The required insurance shall be evidenced by a certificate of insurance, which must be submitted to and approved by the City prior to the effective date of this Agreement.

The City of DeBary must be listed as an additional named insured under the Comprehensive General Liability Insurance policy, and the City must be provided with a thirty-day (30) notice in the event of cancellation, non-renewal or adverse change to the policy.

GCA shall provide Comprehensive General Liability Insurance with a minimum limit of \$1,000,000.00 per occurrence, combined single limit. Such policy may not allow the policy limits to be reduced by defense and claim expenses. Such insurance must be issued on an occurrence basis and include coverage for GCA's operations, independent contractors, subcontractors and "broad form" property damage coverages protecting itself, its employees, agents, contractors, or subsidiaries, and their employees or agents for claims for damages caused by bodily injury, property damage, or personal or advertising injury, and products liability/completed operations, including what is commonly known as groups A, B, and C. Such policies must include coverage for claims by any person as a result of actions directly or indirectly related to the employment of such person or entity by GCA or by any of its subcontractors arising from operations conducted under this Agreement. Public liability coverage must include either blanket contractual insurance or a designated contract contractual liability coverage endorsement, indicating expressly GCA's Agreement to indemnify, defend and hold harmless the City as provided in the Agreement. The commercial general liability policy must provide coverage to the City when it is required to be named as an additional insured either by endorsement or pursuant to a blanket additional insured endorsement, for those sources of liability that would be covered by the latest edition of the standard Commercial General Liability Coverage Form (ISO Form CG 00 01), as filed for use in the State of Florida by the Insurance Services Office, without the attachment of any endorsements excluding or limiting coverage for Bodily Injury, Property Damage, Products/Completed Operations, Independent Contractors, Property of the City in GCA's Care, Custody or Control or Property of City on which operations are being conducted. When the City is added as additional insured by endorsement, ISO Endorsements CG 20 10 and CG 20 37 or their equivalent must be used and must provide such additional insured status that is at least as broad as ISO form CG 20 10 11 85. GCA shall require any subcontractors performing work or providing services in connection with this Agreement to add the City to their Commercial General Liability policy as an additional insured by ISO Endorsement CG 20 38. The commercial general

liability policy must provide a waiver of subrogation in favor of the City and any other party required by this Agreement to be named as an additional insured. :

Failure to comply with this requirement will render this Agreement void at the election of the City except that all indemnification and hold harmless provisions and provisions pertaining to the City's sovereign immunity protections shall survive.

13. Any vendors or other contractors operating on property or within the facility that are not GCA staff or volunteers must have and maintain \$1,000,000 in general liability insurance with the City listed as an additional named insured. Such vendors or other contractors must also execute a contractual agreement with the City, in a form prescribed by the City, describing the services or activities that such vendors or contractors will be providing or otherwise engaged in on the City's property and agreeing to indemnify, defend, and hold the City harmless from any and all liability arising from their activities on City-owned property. Copies of such contractual agreements and proof of insurance must be kept current by GCA and provided to the City upon request. Failure to comply with this paragraph will result in non-compliant vendors or contractors being barred from City property, including the facility.
14. Any paid contracted instructors hired by GCA must have a signed W9 and waiver holding GCA and the City harmless while conducting any classes, programs, or events on City property or within the facility. Copies of the W9 and waivers must be kept current by GCA and provided to the City upon request.
15. If GCA operates a concession facility or in any way distributes or sells food, beverages, candy or foodstuffs of any description, GCA agrees to fully indemnify, defend, and hold harmless the City (in accordance with paragraph 3 herein) from and against any claim, damages, or costs arising from or in connection with the provision of such foodstuffs.
16. This Agreement may not be assigned or transferred in any manner by GCA or the City and any such assignment or transfer is expressly prohibited.
17. This Agreement is binding upon the parties hereto and their successors and assigns.
18. Any previously existing oral or written agreements are terminated as of the effective date of this Agreement and will be deemed to be hereafter null and void and of no further force and effect whatsoever.
19. No modifications, amendments, or alterations in the terms or conditions contained in this Agreement will be effective unless contained in a written document executed by the parties.
20. This Agreement is governed by and must be interpreted in accordance with the laws of the state of Florida. Any and all legal action arising out of this Agreement will, if in state court, have its exclusive venue in a court of appropriate and proper jurisdiction located in Volusia County, Florida, or if in federal court, the Middle District of Florida, Orlando Division.

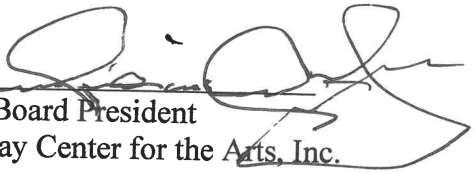
21. If any terms or provisions of this Agreement, or the application thereof to any person or circumstance is, to any extent, be held invalid or unenforceable, then the remainder of this Agreement, or the application of such terms or provision to persons or circumstances other than those to which it is held invalid or unenforceable, will not be affected, and every other term and provision of this Agreement will be deemed valid and enforceable to the fullest extent permitted by law.


IN WITNESS WHEREOF, the parties hereto have executed this Agreement this 9th day of MAY, 2022.

Date: 5/9/22

Date: 5/9/22

BY:

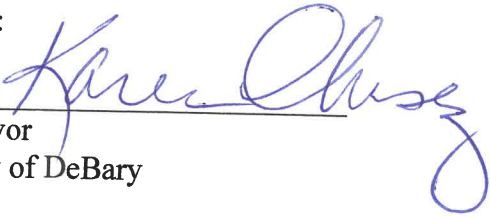

GCA Board President
Gateway Center for the Arts, Inc.


Witness
Gateway Center for the Arts, Inc.

Date: 5/18/2022

Print Name: Saundra H. Gray

BY:


Mayor
City of DeBary

2023-2024 Fiscal Year Gateway Center for the Arts

Building was utilized 876 times serving +17,000 patrons

Gallery Receptions

Claire Radigan Group Exhibit
Peppermint Gallery Exhibit
Annual Members Exhibit
Youth Celebration of the Arts Exhibit
Congressional Art Exhibit with Corey Mills
George Melendez & Michelle Davidson Exhibit
Ken Harris Group Exhibit

Total: 7 Exhibits
Gallery scheduled 345 Days

Classes/Workshops

Acting Workshop
Open Studio
DeBary Youth Chorus (Singphony)
Pottery
Comedy Improv - Dip Your Toes
Sip & Splatter
Fall Wreath Making
Calendar Making
Holiday Wreath Making
Garden Fairy Stakes
Shaker Cards

Total 11 Classes
Class/Theater/Gallery scheduled 152 Days

Summer Art/Theater Camps

Round & Round We Go
Cardboard Craziiness
Hidden Messages
Splatter
Black Light Wonder
It's A Wacky Week
It's Showtime
Around the World in 5 Days
"The Rehearsal" (2 weeks)
"Pirates of the Amazon" (2 weeks)
"The Lion King" (2 weeks)

Total - 11 Camps
Theater & Classrooms scheduled 70 days

Concerts & Events

NYCE Guys Concert
(8) "12 Angry Jurors" Theater Production
(10) Bunco
Holiday Cabaret
(6) Comedy Chasers
(2) Improv Event
The Crew Concert
West Volusia Chorus
(2) "Cafe Murder" Theater Production
(8) "Excuse Me, I Don't Have Time for Nonsense" Theater
Jingle Ball
"Back to the 80's"
(2) Trivia Night
(8) "Next to Normal" Theater Performance
(3) "The Rehearsal" Summer Performance
(3) "Pirates of the Amazon" Summer Performance
(3) "The Lion King" Summer Performance
(3) "Oatys" Theater Performance

Total - 18 Events
Theater scheduled/utilized 64 Days

Festivals

24th Youth Celebration of the Arts
Crafts & Carols Festival with City of DeBary

Total - 2 festivals



Cash Flow
9/1/2023 through 8/31/2024

Category	9/1/2023- 8/31/2024
INFLOWS	
CLASS INCOME	8,584.00
CONCESSION INCOME	3,683.66
FACILITIES RENTAL INCOME	5,775.00
GALLERY CONSIGNMENT INCOME	408.64
GIFTSHOP INCOME	1,948.56
GRANTS MUNICIPAL & CORPORATE	56,369.00
MEMBERSHIP	1,900.00
SPONSORSHIPS & DONATIONS	40,758.02
SUMMER ART & THEATRE CAMP INCOME	49,805.00
THEATRE & EVENTS INCOME	30,981.67
TOTAL INFLOWS	200,213.55
OUTFLOWS	
ACCOUNTING EXPENSES	8,027.75
ADVERTISING & MARKETING	2,404.95
CLASS EXPENSE	4,906.41
CONCESSION EXPENSE	2,276.54
FACILITY EXPENSE	28,708.54
FLORIDA DEPT. OF REVENUE	144.44
GALLERY CONSIGNMENT EXPENSE	543.34
GIFT SHOP EXPENSE	798.23
OFFICE SUPPLIES	1,239.72
PAYROLL	85,517.76
SUMMER CAMP EXPENSE	20,360.53
TECHNOLOGY EXPENSE	6,583.80
THEATRE & EVENTS EXPENSE	25,691.41
VOLUNTEERS	5,966.67
TOTAL OUTFLOWS	193,170.09
OVERALL TOTAL	7,043.46

Balance Sheet

August 31, 2024

ASSETS	
TD Bank Operating	\$ 93,416.07
TD Savings	\$ 1,075.90
Petty Cash Lock Box	\$ 300.00
Concession Register	\$ 150.00
Front Register	\$ 200.00
Total Checking/Savings	\$ 95,141.97
FIXED ASSETS	
Theatre Equipment	\$ 4,600.00
Furniture & Equipment	\$ 7,500.00
Computer Equipment	\$ 6,450.00
Total Fixed Assets	\$ 18,550.00
Other Assets	
Art Work	\$ 5,000.00
Total Assets	\$ 118,691.97

Liabilities	
Account Payable	\$ -
Credit Card	\$ 2,965.39
Total Liabilities	\$ 2,965.39

Proposed 2024-2025 Fiscal Year Gateway Center for the Arts

In 2023/2024

Gallery Receptions

Total: 7 - 8 Exhibits

Classes/Workshops

Total: 11 Classes

Summer Art/Theater Camps

Total: 11 Camps

Concerts & Events

Total: 18 - 20 Events

Festivals

Total: 2 festivals

In 2024/2025

Gallery Receptions

Maintain 7 - 8 Exhibits

Classes/Workshops

Maintain 11 Classes

Adding Educational Art/Environmental talks

Summer Art/Theater Camps

Maintain 11 Camps

Adding an additional week depending
on the Volusia school calendar

Concerts & Events

Maintain 18 - 20 Events

Adding Music Concerts with diverse styles

Festivals

Maintain 2 festivals

Adding a Breast Cancer Event/Festival



Gateway's Strategic Plan: 2024-2025

Gateway Center for the Arts seeks to advance the quality of life within its sphere of influence by making available and providing access to multi-disciplines of art and culture bringing aesthetic awareness, and promoting lifelong learning and wellness to people of all ages & abilities. We also encourage and perpetuate the production, preservation, conservation, viewing of the fine arts, and the educational support of the arts to all.

We dedicate our programs to serve children and adults not only in DeBary but all neighboring communities.

Our Goals for 2024-2025 are:

- Having enlarged our Board of Directors, who are supportive and share a common goal, we will continue the opportunities for them to learn and volunteer their services.
- Continue to market through our community to increase our Volunteer Program.
- Continue to educate and market our communities with all of the services we offer.
- Increase the academic & fine arts area bringing education and history with art and environmental talks to educate the community.
- Continue to properly fund, increasing size of staff, to accommodate new programs and opportunities.





**City Council Meeting
City of DeBary
AGENDA ITEM**

Subject: Land Surveying Additional Service to Benson Junction Road Improvements from west of Shell Road to 17-92	Attachments: <input type="checkbox"/> Ordinance
From: Richard Villaseñor, City Engineer	<input type="checkbox"/> Resolution
Meeting Hearing Date October 2, 2024	<input checked="" type="checkbox"/> Supporting Documents/ Contracts
	<input type="checkbox"/> Other

REQUEST

Staff is requesting City Council approve the Allen & Company Land Surveying additional service proposal in the amount of \$27,000.00 to the Benson Junction Road Reconstruction design and permitting contract.

PURPOSE

To survey the new stormwater forcemain pipe alignment outside of prior scope areas.

CONSIDERATIONS

- Previous scope areas have already been surveyed for generating pipe alignment options;
- Coordination with Duke Energy yielded denials for the options presented;
- The latest resulting alignment follows road corridors and most favorable to Duke, though it goes outside of prior scope areas;
- Coordination efforts are on-going with both Duke and FP&L for perpendicular easement crossings will occur;
- The pump station location and ultimate outfall into the City’s borrow pit remain unchanged;
- Approval of this proposal will allow the immediate efforts for incorporation of the additional scope area into the design and permitting of the project. The current target month to provide 90% construction documents for FDOT review and approval is early February 2025.

COST/FUNDING

The cost of this proposal is \$27,000.00 to be paid from the City’s Stormwater Budget.

RECOMMENDATION

Staff is requesting City Council approve the Allen & Company Land Surveying additional service proposal in the amount of \$27,000.00 to the Benson Junction Road Reconstruction design and permitting contract and authorize the City Manager to execute the proposal agreement.

IMPLEMENTATION

Upon council approval, the additional field work will be authorized and scheduled.

ATTACHMENTS

Proposal by: Allen & Company;

Exhibits: Current Project Area
 Pump System Layout Changes



PROJECT PROPOSAL

Date: September 05, 2024
Client: Kimley-Horn
Project Type: Route / Topographic Survey / Soft Dig Excavation Services / Sketches of Description
Project Name: Benson Junction Rd - IPO #11
Prepared By: James Rickman, P.S.M., Sr. Vice President of Land
Phone: 407.654.5355. Ext. 102
Email: Jim@allen-company.com



September 05, 2024

Kimley-Horn
116 South Kentucky Avenue
Lakeland, FL 33801
Attn: Hao Chau - Hao.Chau@kimley-horn.com

RE: Benson Junction Rd - IPO #11 - REVISED - Additional Services - Schedule A (20220179-4)

Hao Chau:

We appreciate your consideration of ALLEN & COMPANY, INC. to provide professional Land Surveying services for the above referenced project. These services will include items listed on Schedule "A" to be billed Lump Sum as shown on Schedule "A", attached, plus out-of-pocket expenses incurred on the client's behalf. Also, included in this contract are the attached "Standard Provisions of Agreement for Professional Services".

The survey will be prepared in accordance with the minimum technical standards for surveys as set forth in Chapter 5J-17 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

The following additional provisions are included in this contract:

1. The terms of this agreement shall be valid for client acceptance for a period of sixty (60) days from the date of execution by Allen & Company, Inc. after which time this contract offer becomes null and void if not accepted formally (evidenced by receipt of an executed copy of this document).
2. This agreement may be terminated by either party within fifteen (15) days written notice. In the event of termination, Allen & Company, Inc. shall be compensated to the date of termination, including direct expenses then due.
3. All rates and fees quoted in this document shall be effective for a period of twelve (12) months, after which time they may be renegotiated with the client.



4. All original documents shall be retained by Allen & Company, Inc. and will remain their property. This information is proprietary and will not be shared with others without prior written consent. The client will be provided with reproducible copies of all original documents upon request, and at client expense.
5. The client will pay invoices within 30 days of receipt and understands interest charges of 1.5% per month will be applied to any unpaid balance. Allen & Company, Inc. may elect to stop work until payment is received. If work is stopped for thirty (30) days or more, Allen & Company, Inc. may be compensated for start-up costs when work resumes.
6. Upon client request, we will contract and/or coordinate with applicable transportation, environmental, geotechnical, and engineering consultants, and will rely upon their work; however, Allen & Company, Inc. assumes no liability for the accuracy of their work.

Thank you for this opportunity and we look forward to working with you on this exciting new project. Please sign, date and return a copy of this agreement as your authorization to proceed with these professional services. Should you have any questions, please do not hesitate to call.

Sincerely,

ALLEN & COMPANY, INC.

James Rickman

James L. Rickman P.S.M. Vice President

ACCEPTED BY (Sign & Print): _____

DATE: _____



SCHEDULE A

16 E. Plant Street
Winter Garden, FL 34787
Phone (407) 654-5355 · Fax: (407) 654-5356
Email: proposals@allen-company.com

DATE: September 05, 2024
PROPOSAL: 20220179-4 - Benson Junction Rd -
IPO #11
FOR: Hao Chau

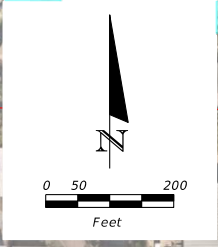
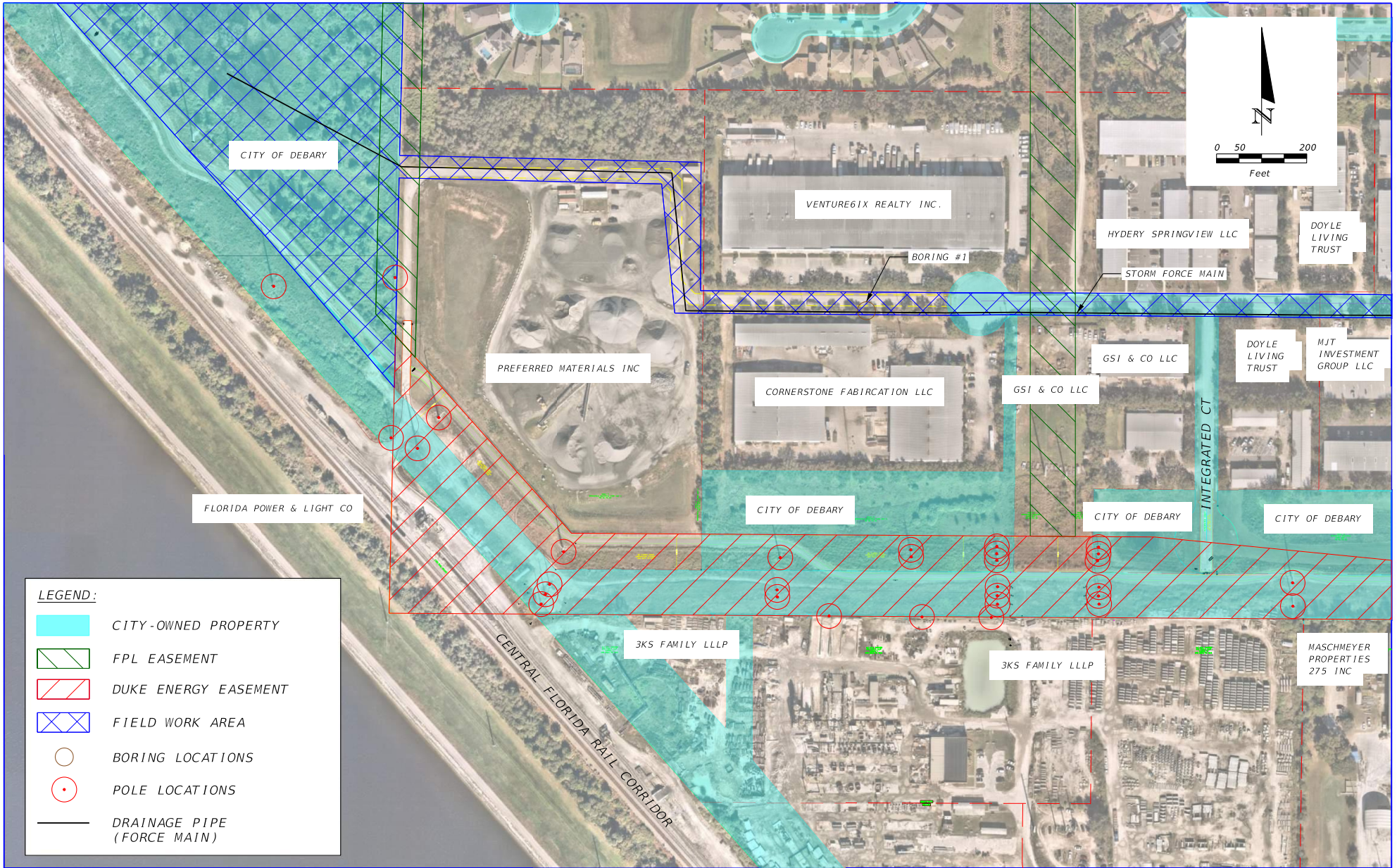
Customer Information:
Kimley-Horn
116 South Kentucky Avenue
Lakeland, FL 33801

Quote Description:
20220179-4 - Benson Junction Rd - IPO #11

DESCRIPTION	CONTRACT AMOUNT
1. Additional Route and Topographic Survey (see attached exhibit - area of scope). Includes location of all above ground features (i.e. trees, sidewalks, signs, roadways, swales, storm structures with inverts, Sanitary manholes and inverts, etc....), spot elevations at intervals to depict detailed topographic data and mapped to survey. Also included is an Underground Utility Designation and location of utilities and mapped to survey. (see attached Schedule B for Scope of Procedures and Limitations for SUE location)	\$27000.00
	\$27,000.00

QUESTIONS OR COMMENTS?
If you have any questions or comments concerning this proposal schedule A, please email proposals@allen-company.com

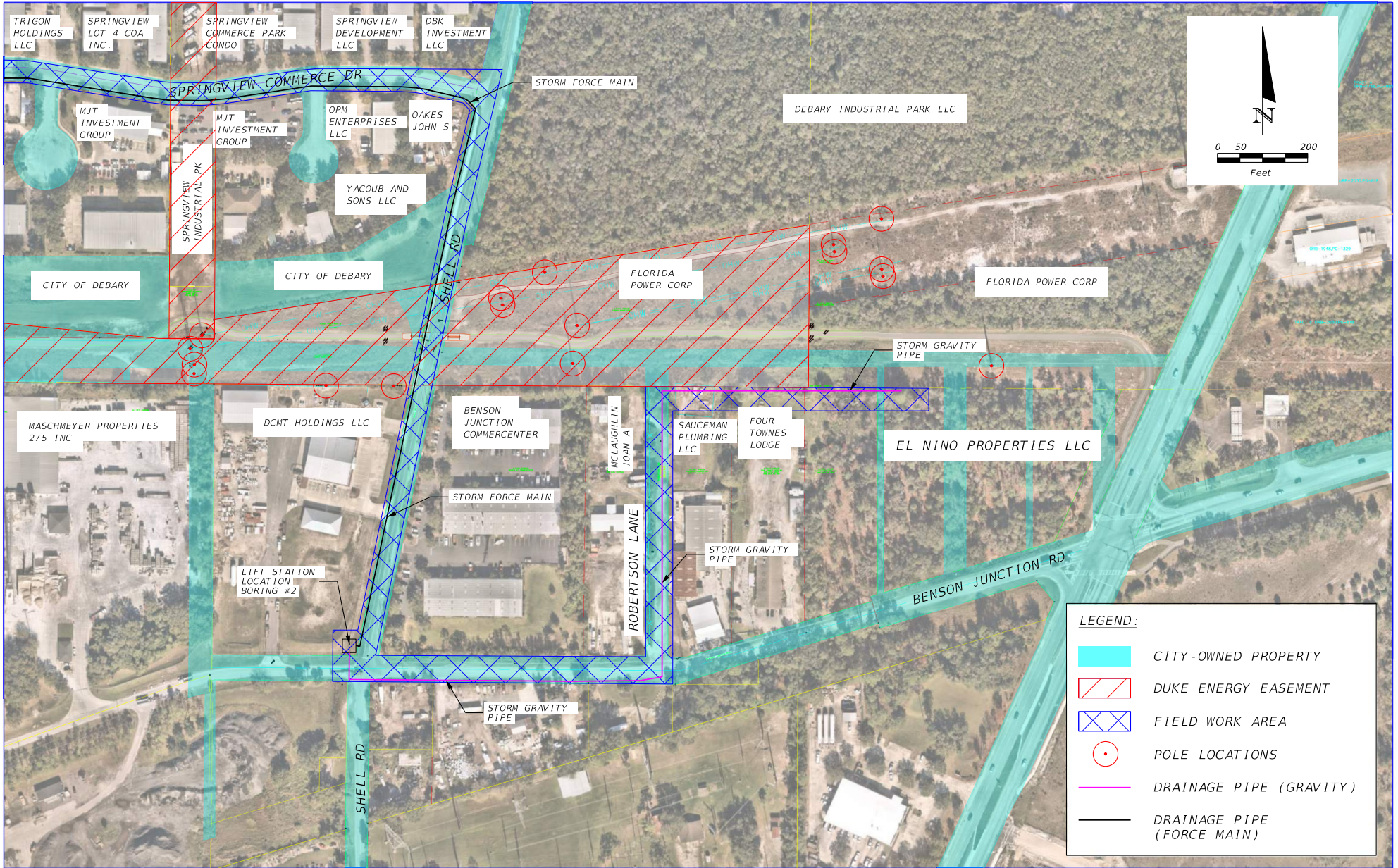
Sign & Return



LEGEND:

- CITY-OWNED PROPERTY
- FPL EASEMENT
- DUKE ENERGY EASEMENT
- FIELD WORK AREA
- BORING LOCATIONS
- POLE LOCATIONS
- DRAINAGE PIPE (FORCE MAIN)

REVISIONS				 CITY OF DEBARY	BENSON JUNCTION SURVEY EXHIBIT	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION			1
				HAO T. CHAU, P.E. P.E. LICENSE NUMBER 61640 KIMLEY HORN AND ASSOCIATES INC. 200 SOUTH ORANGE AVENUE, SUITE 600 ORLANDO, FLORIDA, 32801 REGISTRY NO. 35106		



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

HAO T. CHAU, P.E.
P.E. LICENSE NUMBER 61640
KIMLEY HORN AND ASSOCIATES INC.
200 SOUTH ORANGE AVENUE, SUITE 600
ORLANDO, FLORIDA, 32801
REGISTRY NO. 35106



CITY OF DEBARY

BENSON JUNCTION SURVEY EXHIBIT

SHEET NO.
2



SCHEDULE B

- Allen & Company, Inc. will provide all survey services on work described herein.
- Allen & Company, Inc. will utilize 2D GPR to scan for utilities and EM Equipment to locate utilities where access to utilities is available.
- A Sunshine 811 "LOCATE" ticket will be requested for the areas described to determine the utility providers within the project limits and to notify them of the request for coordination with the Allen & Company, Inc. utility locator.
- Allen & Company, Inc. approximate locate area is outlined in red on the attached image. The exact locate area will need to be designated at time of work.
- Allen & Company, Inc. will use paint and flags to mark located utilities and will provide a technician's field drawing of the located utilities.
- Allen & Company, Inc.'s scope of services does not include the locating of abandoned utilities that are no longer locatable, vacant conduits, gravity sewer, storm lines, small irrigation lines, and low voltage lines. (Unless otherwise specified at an additional cost).
- Client is responsible for ensuring that all electrical and lighting systems are energized and that all lights with outdoor light sensor systems are in use at time of locate work.
- If available, Allen & Company, Inc. requests that client provide as-builts, engineering prints, etc. of existing utilities.
- GPR Scans can only be performed in accessible areas that are clear of obstacles such as construction materials, pipes, vehicles, machinery, dirt/materials mounds, landscaping, trees, uneven terrain, water, etc
- If needed, Allen & Company, Inc. can provide a quote for 3D GPR that typically provides additional/more comprehensive data.



TERMS AND CONDITIONS

(A) LIMITS OF GPR AND ELECTROMAGNETIC SERVICES: If Services are Provided

ACI will make every effort to horizontally detect the underground utilities, objects or voids described in the Scope of Work or as requested at the time of work within the designated work area(s). However, ACI cannot mark utilities/objects/voids that are undetectable. Therefore, ACI cannot guarantee that all subsurface utilities/objects/voids will be accounted for. Locate limitations that ACI will not be held liable for include but are not limited to:

• GROUND PENETRATING RADAR (GPR):

- GPR investigations are highly site specific and can be limited by attenuation of GPR signals by subsurface materials.
- GPR investigations are limited by uneven terrain conditions, high grass (over 3”), bushes, trees, debris, etc.
- All vertically stacked utilities/objects may not be detected since GPR signals are reflected by the top most utility/object.
- Some utilities/objects may not return a reflected signal to the GPR receiver.
- GPR scans cannot be made immediately next to buildings/objects due to equipment restrictions.
- Pipes with little or no liquid content at time of locate work may not be detected with GPR.
- Locations of existing utilities scanned by ground penetrating radar (GPR) are to be deemed approximate in nature and in no way are to be construed as exact. Allen & Company, Inc. (ACI) will not be held responsible for damage to existing utilities located by GPR scanning.

• ELECTROMAGNETIC LOCATING:

- The number of access points within designated locate area(s) may be limited or non-existent.
- Utility or property owner may restrict or deny the use of utility access points.
- Utility may not adequately carry the imposed current from the electromagnetic locate equipment.
- Fiber & other non-metallic lines with no or non-working tracer wire are untoneable with electromagnetic locate equipment.
- Locations of existing utilities designated by Electromagnetic Equipment (EM) are to be deemed approximate in nature and in no way are to be construed as exact. Allen & Company, Inc. (ACI) will not be held responsible for damage to existing utilities located by EM equipment.



TERMS AND CONDITIONS (CONTINUED)

(B) DESIGN ENGINEER and CONTRACTORS

Due to locate limitations, the client's/owner's Design Engineer is expected to gather and identify existing facility information from various prints and underground facility owners/operators to confirm that no other subsurface utilities/objects are present in the project area, and Contractors are responsible to abide by Florida Statutes 556.106 - Sunshine 811.

(C) MACHINE DEPTHS: (If Service is provided)

Machine depths are approximate readings, are not guaranteed depths, are provided for informational purposes only, and should not be relied upon for any type of subsurface work. ACI will not accept any responsibility for actions taken based on provided machine depths.

(D) VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: (If Service is provided)

Soft Digs are made within grassed or otherwise unpaved surface conditions to a maximum depth of approximately 10 feet to determine the depth of the utility/object. If requested, ACI also will provide the size and material type.

- Soft Dig vertical depth measurements are made from the top of each exposed utility/object to the ground surface.
- The vertical depth range and visual inspection ability is dependent on events such as ground water level.
- Client must obtain/provide ACI with any required soft dig permits before soft dig work is performed. Client will be responsible for any permitting soft dig fines assessed by governing agency.

(E) CORE BORE WITH VERTICAL EXCAVATION (HARD SOFT DIG): Information/Limitations: (If Service is provided)

A Core Bore is made in asphalt or concrete to vertically expose a utility/object to determine the depth of the utility/object from the top of the utility/object to the pavement surface.

- Vertical Excavation limits apply (See Item D).
- Test hole will be backfilled with like materials compacted in 6" lifts or with a flowable fill mixture.
- The current asphalt thickness will be replaced with double asphalt thickness.
- Asphalt/Concrete Core Bore Permits are to be furnished to ACI by the client prior to work being scheduled. Client is responsible for cost of all permits, MOT, Traffic Control, and any permitting fines assessed by governing agency.

(F) CERTIFICATE OF INS (COI): New/Revised COI Requests

- Client COI requirements must be provided to ACI prior to the Authorization to Proceed being issued.
- ACI will invoice client for all costs associated with client COI requirements that incur billable charges to ACI



SCHEDULE OF COMPENSATION 2024

SERVICE:	HOURLY RATE:
EXECUTIVE DIRECTOR PROFESSIONAL LAND SURVEYOR	\$ 300
DIRECTOR PROFESSIONAL LAND SURVEYOR	\$ 250
MANAGING PROFESSIONAL LAND SURVEYOR	\$ 185
LIDAR SPECIALIST	\$ 200
SENIOR PROJECT MANAGER	\$ 150
PROJECT MANAGER	\$ 125
SENIOR SURVEYING TECHNICIAN	\$ 135
SURVEY TECHNICIAN	\$ 120
JUNIOR SURVEY TECHNICIAN	\$ 105
2 MAN SURVEY CREW	\$ 180
3 MAN SURVEY CREW	\$ 225
FIELD COORDINATOR	\$ 120
PLAT COORDINATOR	\$ 120
EXPERT WITNESS	\$ 300

OTHER DIRECT CHARGES

REIMBURSABLE EXPENSES AT ACTUAL COST PLUS 20%

- SUB-CONSULTANTS
- TRAVEL EXPENDITURES
- FIELD SUPPLIES (PAINT, CONCRETE, ASPHALT PATCH, WOOD STAKES AND FUEL)
- PRINTING
- DELIVERIES
- PERMITS

Note: These are our "standard rates", and may vary +/- depending on the project level of detail, difficulty, volume of work, Etc.



SCHEDULE OF COMPENSATION - 2024 SUBSURFACE UTILITY EXPLORATION (DAYTIME)

SERVICE:	RATE:
MAINTENANCE OF TRAFFIC	\$ 1,200 / DAY
1 MAN SUE DESIGNATION CREW	\$ 140 / HR
2 MAN SUE DESIGNATION CREW	\$ 190 / HR
3 MAN SUE DESIGNATION CREW	\$ 225 / HR
4 MAN SUE DESIGNATION CREW	\$ 250 / HR

TEST HOLES - VVH (VERIFIED VERTICALLY AND HORIZONTALLY):	RATE:
1 – 10 Test Holes:	
• Soft Surface (Grass, Sand, Clay)	\$ 525 PER HOLE
• Hard Surface (Concrete, Asphalt, Brick)	\$ 750 PER HOLE
11 – 25 Test Holes:	
• Soft Surface (Grass, Sand, Clay)	\$ 475 PER HOLE
• Hard Surface (Concrete, Asphalt, Brick)	\$ 700 PER HOLE
26 – 50 Test Holes:	
• Soft Surface (Grass, Sand, Clay)	\$ 450 PER HOLE
• Hard Surface (Concrete, Asphalt, Brick)	\$ 650 PER HOLE
51 – 100 Test Holes:	
• Soft Surface (Grass, Sand, Clay)	\$ 425 PER HOLE
• Hard Surface (Concrete, Asphalt, Brick)	\$ 600 PER HOLE

Note: These are our "standard rates", and may vary +/- depending on the project level of detail, difficulty, volume of work, Etc.



STANDARD PROVISIONS OF AGREEMENT FOR PROFESSIONAL SERVICES

Client and Surveyor (collectively, the "Parties"; individually, "Party") agree that the following Provisions shall be a part of their Agreement:

1. Neither Client nor Surveyor shall assign its interest in this Agreement without the express written consent of the other Party.
2. Surveyor's obligations in this Agreement are contingent upon, and Surveyor shall not be responsible for damages nor be deemed to be in default of this Agreement by reason of: delays in performance by reason of strikes, lockouts, accidents, acts of God and other delays unavoidable or beyond Surveyor's reasonable control, nor due to shortages or unavailability of labor at established area wage rate or delays caused by failure of Client or Client's agents to furnish information or to approve or disapprove Surveyor's work promptly, nor due to late, slow, or faulty performance by Client, other contractors or governmental agencies, the performance of whose work is precedent to or concurrent with the performance of Surveyor's work, in the case of the happening of any such cause of delay, the time of completion of Surveyor's work shall be extended accordingly.
3. Client agrees to waive all Surveyor liability regarding any and all changes to plans and/or specifications affecting Surveyor's work, unless such changes were approved by Surveyor's express written consent.
4. Client expressly waives all liability against Surveyor for the Client's or any third party's use of unsigned Surveyor plans or drawings.
5. All tracings, survey notes, and other original documents prepared by Surveyor are instruments of service and shall remain the property of Surveyor, except and unless these documents become public property by operation of law.
6. Surveyor's liability to the Client is limited to Surveyor's general liability insurance coverage. Notwithstanding the foregoing, if any damages are caused by Surveyor on account of professional error, omission or negligence, Surveyor's liability to Client will be limited to a sum not to exceed Surveyor's fee.
7. Surveyor's fees and other charges will be billed to Client monthly. The net amount shall be due from Client to Surveyor at the time of billing.
8. Interest of one and one-half percent (1.5%) per month (or the maximum rate allowable by law, if applicable) will be added to amounts not paid within thirty (30) days of the billing date. Payments received thereafter will be applied first to accrued interest and then to any principal unpaid amounts. Attorneys' fees and other costs incurred by Surveyor in collecting delinquent amounts shall be paid by the Client.
9. If Client fails to pay Surveyor within sixty (60) days after invoices are rendered, then Client agrees Surveyor shall have the right to consider said failure to pay as a default and total breach of this agreement. Client expressly agrees to hold Surveyor harmless from any liability arising out of Surveyor's termination of its services hereunder due to Client's failure to pay.
10. Client shall pay the costs of checking inspection fees, zoning and annexation application fees, assessment fees, soils surveying fees, soils testing fees, aerial topography fees, and all other fees, permits, bond premiums, title company charges, blueprints and reproductions, and all other charges not specifically covered by the Provisions of this Agreement.
11. In the event any portion of the work prepared by Surveyor is suspended, abandoned, or terminated, the Client shall pay Surveyor for the work performed on an hourly basis, not to exceed any maximum amount specified in the "Schedule of Compensation" included with this Agreement.

INITIALS _____



STANDARD PROVISIONS OF AGREEMENT (CONTINUED)

12. Any opinion of construction cost prepared by Surveyor represents its judgment as a design professional and is supplied for the Client's general guidance. Surveyor has no control over the cost of labor and material, nor over competitive bidding or market conditions; therefore, Surveyor does not guarantee the accuracy of such opinions as compared to contractor bids or actual Client cost.

13. Client agrees that the construction contractor will assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property at all times, not just during working hours.

14. Surveyor will use that degree of care and skill ordinarily exercised under similar conditions in similar localities to this Agreement. No other warranties, express or implied, are made nor intended by Surveyor proposals, contracts, reports, or any other documents arising from the Provisions of this Agreement.

15. Client agrees to defend, indemnify, and hold harmless Surveyor from all liability, real or alleged, in connection with the performance of work on this project, excepting liability directly arising from the sole gross negligence of Surveyor.

16. If there is a total breach of this Agreement, the duties of Surveyor under this Agreement may be terminated, at the sole election of the Surveyor, upon five (5) days written notice to Client.

17. In the event of substantial failure of either Party to perform in accordance with the Provisions of this Agreement, the Agreement may be terminated by either Party upon thirty (30) days written notice to the other Party.

18. Client agrees not to solicit (nor respond to any solicitation from) any employee, former employee or subconsultant of Surveyor for employment for this project or any other Client's project until one year after completion and/or termination of Surveyor's services without the express written consent of Surveyor. In the event Client violates this Provision, Client will be immediately liable to Surveyor for one year's salary at the applicable employee(s) billable rate(s).

19. Should litigation be necessary to enforce any Provision of this Agreement, or to collect any portion of amounts payable under this Agreement, all litigation and collection expenses, witness' fees, court costs, and attorneys' fees shall be payable to the prevailing party.

20. Should any Provision of this Agreement be found or deemed to be invalid, this Agreement shall be construed as not containing such Provision(s) and all other Provisions which are otherwise lawful shall remain in full force and effect, and to this end the Provisions of this Agreement are declared to be severable.

21. Surveyor's services provided within this Agreement are for the exclusive use of the Client.

22. There are no understandings or agreements between the parties, oral, written, or otherwise, except those Provisions herein expressly stated in this Agreement.

23. All hourly rates listed in the "Schedule of Compensation" will be remain in effect for at least 60 days from the date this Agreement is executed.

INITIALS _____

CAPABILITY STATEMENT

EIN# 59-3381650 • NAICS CODE 541370 • SIN 8713 • FDOT 8.1, 8.2 – 8.4 • CAGE# 4YQQ1

Company Profile

Allen & Company is a technology-driven surveying, mapping, and geospatial services company with headquarters in Florida and offices across the U.S. Our teams support the needs of customers in industries to include Architecture, Engineering, Construction and Development, Commercial Real Estate, Healthcare, Resorts and Hotels, Theme Parks, Energy, Power Generation, Entertainment, and other innovative markets across the U.S.

Core Competencies



Land Surveying Services



Home Builder Surveying



Construction Surveying



Subsurface Utility Exploration



Aerial Mapping



Hydrographic Mapping



3D Laser Scanning



LiDAR Data Processing

Company Differentiators

- + More than 30 Years of Industry Experience
- + Over 130 professionals led by multiple licensed Land Surveyors and Mappers (PSMs)
- + Complete range of surveying solutions: Aerial, Land Surface, Subterranean, and Hydrographic
- + Multiple teams across all core competencies and specialties, working across the United States
- + Ongoing cross-training and skills development to include Part 107 FAA drone pilots, Autodesk Civil3D
- + Company-owned technology resources to include tools for reality capture: NavVis VLX Scanner, Artec Leo 3D, Wispr Ranger Pro, Leica RTC 360, and Ground-Penetrating Radar
- + Exceptional track-record delivering on-time and on-budget in the most complex of projects



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Hydrographic & Bathymetric Mapping, Ground Penetrating Radar (GPR) Utility Damage Prevention
Subsurface Utility Exploration (SUE) Topographic Surveying & Mapping
Platting & Administration Cadastral, Boundary & Geodetic Surveying
Vacuum Excavation Services **Concrete Scanning (GPR)**



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ALTA/NSPS Surveys • Legal Descriptions
Right-of-Way Mapping



Building Fits • Site Control
Plot Plans • Elevation Certifications
Grade Staking • Asbuilts



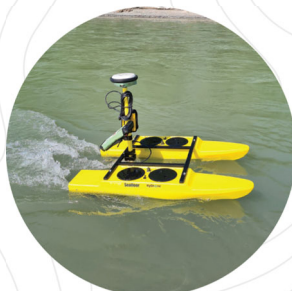
Plan Coordination • Site Calibration
Building Staking • Foundation Surveys
Hor./Ver. Control • Utility Asbuilts



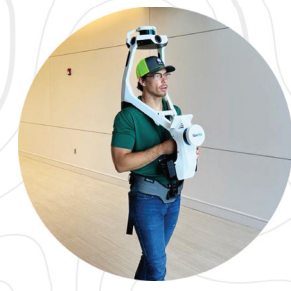
RF Location • Damage Investigations
GPR Locating • Vacuum Excavation
Tree Root Preservation



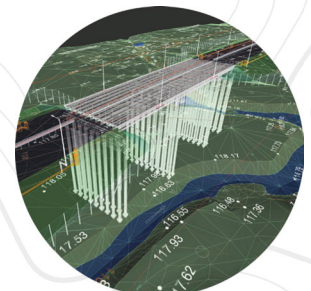
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BIM Integration • Accident Scene Maps
Environmental Assessments



Topographic Mapping • Volumetric Analysis
Water Depth Profiles • Bottom Mapping
Storm Water & Drainage Management



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3D L.I.P. Models • Geospatial Models
COTS Remote Sensing



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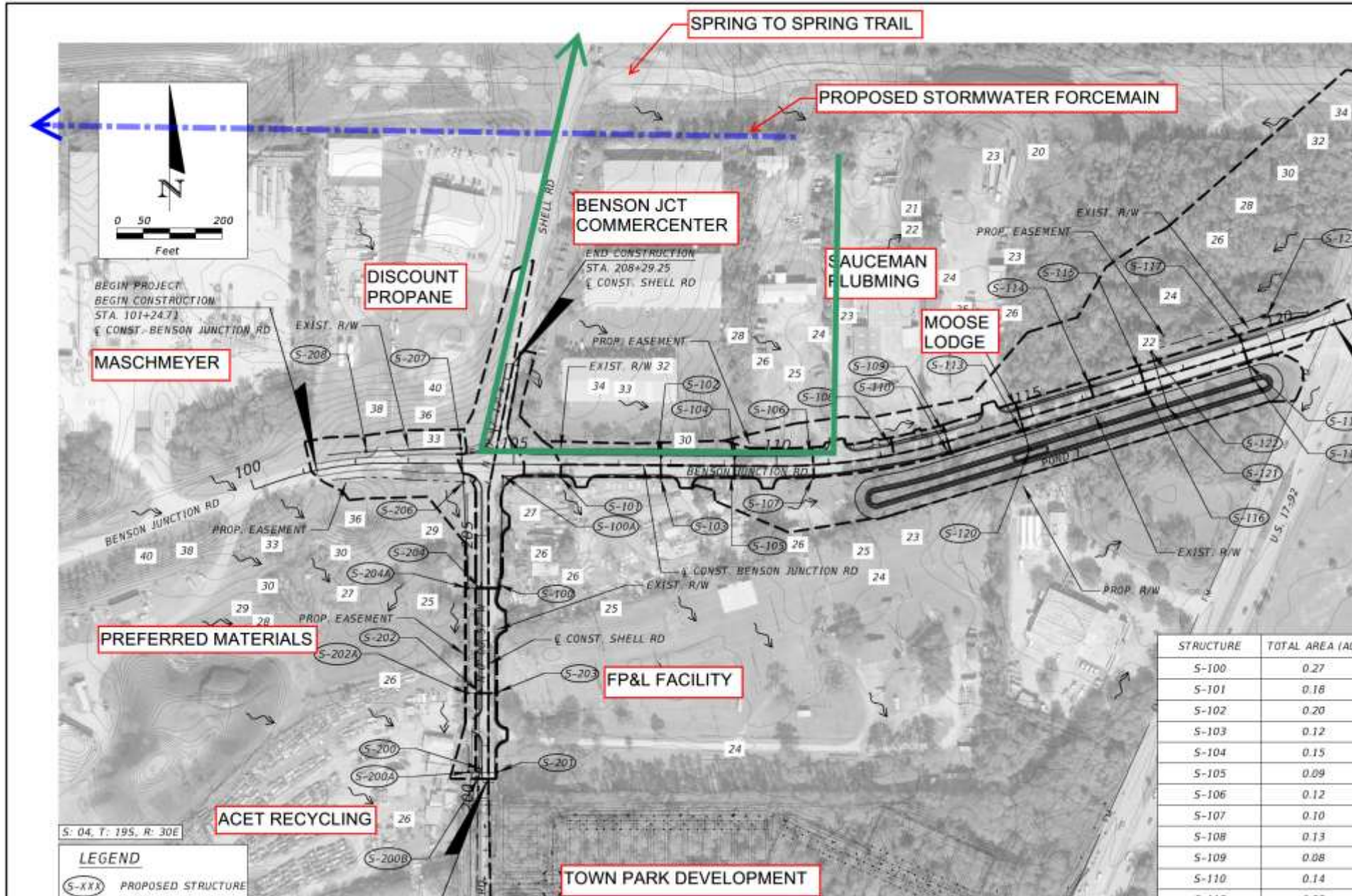
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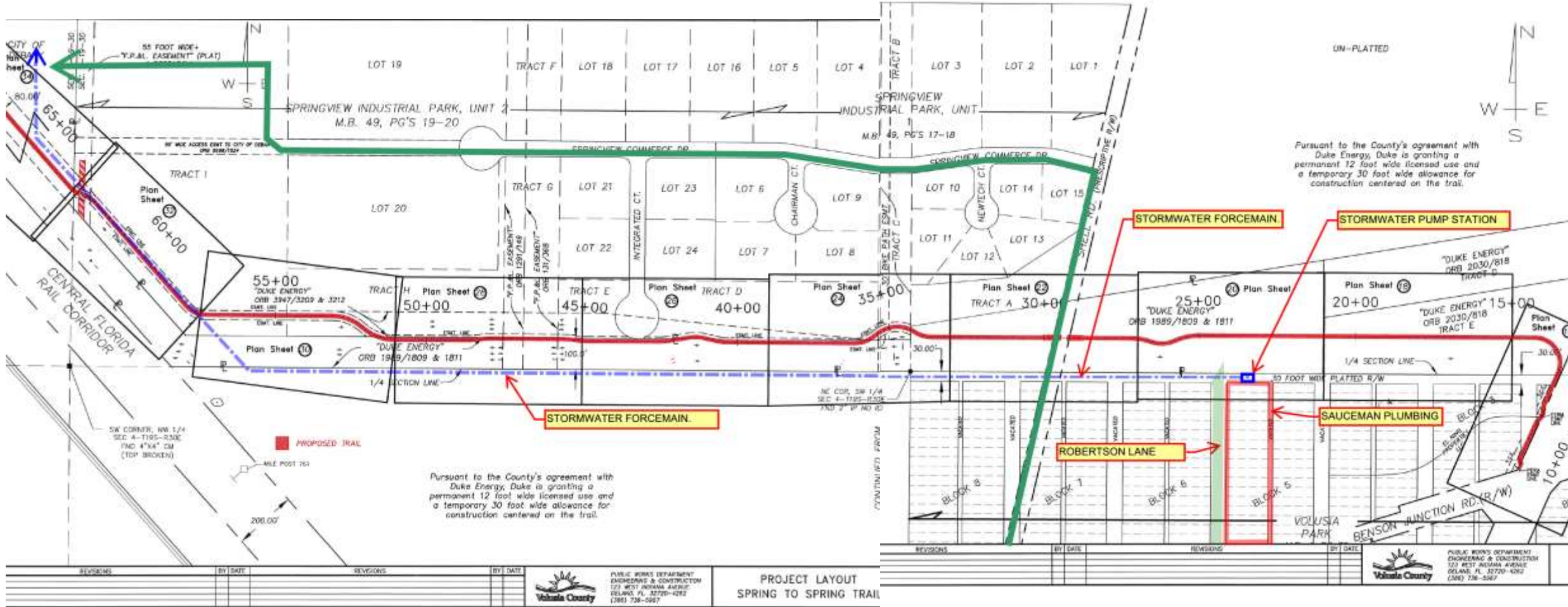
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16 E. Plant Street • Winter Garden, FL 32787

BENSON JUNCTION ROAD RECONSTRUCTION – REVISED STORMWATER PUMP SYSTEM



BENSON JUNCTION ROAD RECONSTRUCTION – REVISED STORMWATER PUMP SYSTEM



BENSON JUNCTION ROAD RECONSTRUCTION – CONCEPTUAL STORMWATER PUMP SYSTEM

Volusia County Property Appraiser

