CITY COUNCIL MEETING



May 01, 2024 at 6:30 PM

City Council Chambers, 16 Colomba Rd.

DeBary, Florida 32713

AGENDA

CALL TO ORDER

Invocation

Flag Salute

ROLL CALL

PUBLIC PARTICIPATION: For any items **NOT ON THE AGENDA**, citizen comments are limited to three (3) minutes per speaker. For items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

APPROVAL OF MINUTES

- 1. Regular City Council Meeting April 3, 2024
- 2. City Council Workshop April 17, 2024
- 3. Special City Council Meeting April 17, 2024

ADDITIONS, DELETIONS OR AMENDMENTS TO THE AGENDA

NEW BUSINESS

- <u>4.</u> The Applicant, KBC Development, Inc., would like to extend their Preliminary Plat and Construction Plan Development Order for the KBC mixed project.
- 5. The Applicant, Lennar, LLC, is seeking Final Plat approval for Rivington, Phase 3, which consists of 221 lots for single-family detached dwelling units.
- 6. City Manager is requesting City Council approve the Fort Florida Road Re-Construction and Funding Agreement between the City of DeBary and HR Rivington, LLC.
- 7. City Manager is requesting City Council approve and accept the Wharton-Smith, LLC's Guaranteed Maximum Price Proposal for the new Fire Station #39.
- 8. Staff is requesting City Council approve the Neel-Schaffer Proposal to prepare a conformed plan set for construction in the amount of \$39,757.00.

COUNCIL MEMBER REPORTS / COMMUNICATIONS

Member Reports/ Communications

- A. Mayor and Council Members
- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP

City Council Workshop May 15, 2024, 5:30 p.m.

Special City Council Meeting May 15, 2024, 6:30 p.m.

ADJOURN

If any person decides to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least three (3) working days in advance of the meeting date and time at (386) 668-2040.

CITY COUNCIL MEETING



April 03, 2024 at 6:30 PM City Council Chambers, 16 Colomba Rd. DeBary, Florida 32713

MINUTES

CALL TO ORDER: Mayor Chasez called the meeting to order at 6:30 p.m.

ROLL CALL: Mayor Chasez, Vice-Mayor Butlien, Council Members Sell and Stevenson are present. Council Member Pappalardo; absent.

Others present: Carmen Rosamonda, City Manager; Rick Geller, City Attorney; Steven Bapp, Growth Management Director; Joseph Barker, Senior Planner; Elizabeth Bauer, Finance Director; Kevin Hare, Construction Engineer; Annette Hatch, City Clerk; David Rodriguez, Information Technology Technician; Merylene Thomas, Senior Planner; and, Richard Villaseñor, City Engineer.

PUBLIC PARTICIPATION: For any items **NOT ON THE AGENDA**, citizen comments are limited to three (3) minutes per speaker. For items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

William Taylor addressed Council regarding bear habitats and distributed an information sheet to Council; a copy of which is attached to these minutes.

APPROVAL OF MINUTES: Motion by Council Member Stevenson to approve the minutes from the Regular City Council Meeting March 6, 2024, the City Council Workshop March 20, 2024, and the Special City Council Meeting March 20, 2024. Seconded by Vice-Mayor Butlien. Motion passed unanimously.

ADDITIONS, DELETIONS OR AMENDMENTS TO THE AGENDA: None.

PRESENTATIONS:

Sid Vihlen, Jr., Volusia Growth Management Commission (VGMC) Update - Provided a brief review of the Commission and voting percentages by City. Mr. Vihlen also informed Council he had been selected as Chair of the Budget Committee.

Proclamation: Water Conservation Month, James Cannon, Intergovernmental Coordinator/Government Affairs, St. Johns Water Management District – Mayor Chasez read and presented a proclamation to Mr. Cannon proclaiming April as Water Conservation Month. Mr. Cannon expressed his appreciation and recommended regularly checking for leaks.

PUBLIC HEARINGS:

Staff is requesting the City Council approve the second reading of Ordinance No. 06-2024, adopting Appendix 1- Live Local Act to the City's Land Development Code, establishing

definitions, procedures, regulations, and criteria for the review and approval of Mixed Use Residential Developments pursuant to Florida's Live Local Act.

City Attorney read the Ordinance into the record.

Staff gave a brief overview of the Live Local Act. The Ordinance provides applicability, definitions, clarification of terms, eligibility criteria, a formal approval process, and an annual audit process.

No one addressed Council.

Motion by Vice-Mayor Butlien to approve the second reading of Ordinance No. 06-2024, adopting Appendix 1, Live Local Act, to the City's Land Development Code, establishing definitions, procedures, regulations, and criteria for the review and approval of Mixed Use Residential Developments pursuant to Florida's Live Local Act. Seconded by Council Member Sell. Motion passed unanimously.

NEW BUSINESS:

City Manager is requesting City Council approve a proposal from Dale Beasley Construction, Inc., for Stormwater Construction Services for the 670 Bernasek Drive Drainage Improvement Project.

Staff reviewed the drainage system and damage that occurred. Funding is available in the stormwater reserves.

No one addressed Council.

Motion by Vice-Mayor Butlien to approve the Dale Beasley Construction proposal in the amount of \$42,625.18 and approve a Work Authorization for construction of the 670 Bernasek Drive Drainage Improvements project. Recommendation to include a Contingency Budget of 10% or \$4,262.52 to be included for the total budgeted amount of \$46,887.70, and to approve Work Order No. 0324-02 to KHARE Construction Services, LLC for Construction Management and Inspections Services as related to the 670 Bernasek Drive Drainage Improvement Project for the amount of \$6,380.00. Seconded by Council Member Stevenson. Motion passed unanimously.

Staff requests City Council approve two wetland mitigation options for meeting St. Johns River Water Management District (SJRWMD) permit requirements as follows: Approve the use of recently acquired wetlands properties as local wetland mitigation and the alternate option to purchase the needed 0.20 credits from TM-ECON Mitigation Bank in the amount of \$24,000.

Staff reviewed the mitigation options and costs involved. The mitigation is necessary to meet St. Johns Water Management District's permit requirements.

No one addressed Council.

Motion by Vice-Mayor Butlien to approve the mitigation with the property on Magnolia Drive and if necessary, approve the purchase of the mitigation with TM Econ for \$24,000. Seconded by Council Member Stevenson. Motion passed unanimously.

City Manager is requesting City Council approve the Fort Florida Road Bridge and Spillway Improvement Agreement between Florida Power & Light Company (FPL) and the City of DeBary.

City Manager provided information on the FPL spillway and reservoir, including the capacity of the spillway and the channel under the bridge. The cost share agreement and approximate timeline were also reviewed.

No one addressed Council.

Motion by Vice-Mayor Butlien to approve the Ft. Florida Road Bridge and Spillway Improvement Agreement. Seconded by Council Member Stevenson. Motion passed unanimously.

COUNCIL MEMBER REPORTS / COMMUNICATIONS:

Member Reports/ Communications

A. Mayor and Council Members:

Vice-Mayor Butlien requested Council consensus to begin a citizen's group to accept donations for City projects. It was Council's consensus to have the City Manager review other such committees and report back to Council for further consideration.

Mayor Chasez asked for consensus to name an alternate Council Member to the TPO. Council Member Sell volunteered to serve. Consensus was received.

- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP: City Council Workshop April 19, 2024, 5:30 p.m., and Special City Council Meeting April 19, 2024, 6:30 p.m.

ADJOURN: The meeting was adjourned at 7:56 p.m.

APPROVED: CITY COUNCIL CITY OF DEBARY, FLORIDA

Annette Hatch, CMC, City Clerk

Karen Chasez, Mayor

Debary City Council Meeting Information on Bear Habitat

Information provided by Jenny Moreau, phone 850-922-4330 Bear Management Team, Fish and Wildlife Conservation Commission

BLACK BEARS ARE A PROTECTED SPECIES BY FL LAW UNDER FISH AND WILDLIFE LEGISLATION

It is against the law to:

- Feed bears
- Shoot bears
- Move bears
- Move their habitat or disturb their habitat

Primary Law Enforcement and Arrest authority is through Sheriff's Department. Prosecution of offenders is handled through State Attorney's office.

- Fine for breaking the law can be up to \$1.000
- Imprisonment is up to 1 year

Other employees of Fish and Wildlife are:

- Vicki Boland, Administrative Assistance, Imperiled Species, Florida Fish and Wildlife Conservation Commission
- Greg Workman, Volusia County Biologist, Northeast Region of Fish and Wildlife Conservation Commission, phone 352-732-1225

Question 1. What entity provided for the environmental impact study?

Question 2. Did this study list endangered species on this property?

Question 3. Did the impact study mitigate any problem with lake water on this property?

CITY COUNCIL WORKSHOP



April 17, 2024 at 5:30 PM City Council Chambers, 16 Colomba Rd. DeBary, Florida 32713

MINUTES

CALL TO ORDER: Mayor Chasez called the meeting to order at 5:30 p.m.

ROLL CALL: Mayor Chasez, Vice-Mayor Butlien, Council Members Pappalardo, Sell and Stevenson are present.

Others present: Carmen Rosamonda, City Manager; Steven Bapp, Growth Management Director; Joseph Barker, Senior Planner; Kayla Burney, Planning Technician; Annette Hatch, City Clerk; David Rodriguez, Information Technology Technician; Merylene Thomas, Senior Planner; and, Richard Villaseñor, City Engineer.

PRESENTATIONS: Staff reviewed and answered Council's questions from the previous workshop. Staff highlighted the restructuring, additions, and updates to Chapter 9, Environmental Protection. The City's engineers and environmental consultant assisted the Growth Management Department with the updates.

PUBLIC PARTICIPATION: No one addressed Council.

COUNCIL DISCUSSION: City Council questioned staff and discussed the presentation.

ADJOURN: The meeting was adjourned at 5:47 p.m.

APPROVED:

CITY COUNCIL CITY OF DEBARY, FLORIDA

Karen Chasez, Mayor

Annette Hatch, CMC, City Clerk

SPECIAL CITY COUNCIL MEETING



April 17, 2024 at 6:30 PM City Council Chambers, 16 Colomba Rd. DeBary, Florida 32713

MINUTES

CALL TO ORDER: Mayor Chasez called the meeting to order at 6:30 p.m.

ROLL CALL: Mayor Chasez, Vice-Mayor Butlien, Council Members Pappalardo, Sell and Stevenson are present.

Others present: Carmen Rosamonda, City Manager; Rick Geller, City Attorney; Steven Bapp, Growth Management Director; Joseph Barker, Senior Planner; Annette Hatch, City Clerk; David Rodriguez, Information Technology Technician; and, Richard Villaseñor, City Engineer.

PUBLIC PARTICIPATION: For any items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

DELETIONS OR AMENDMENTS TO THE AGENDA (City Charter Sec. 4.11): None.

PRESENTATIONS: Proclamation: National Child Abuse Prevention Month, Lisa Burke, Residing Hope. Mayor Chasez read and presented the proclamation to Ms. Burke who expressed her appreciation for the proclamation and for the community's support of the Children's Home.

PUBLIC HEARINGS:

Staff is requesting the City Council approve the second reading of Ordinance No. 07-2024, amending the Swallows Planned Unit Development (PUD) to change the permitted use provided in the existing development agreement (DA) and adopt development standards therein (Quasi-Judicial).

City Attorney read the Ordinance into the record.

Mayor Chasez reviewed the order of business for quasi-judicial hearings.

City Clerk swore in all those who wished to speak.

City Clerk performed a roll-call for disclosure of ex-parte communications:

Council Member Sell: None.

Council Member Pappalardo attended the March 11 Community Meeting, exchanged pleasantries with Mr. Watts, and spoke briefly to Growth Management staff.

Council Member Stevenson: None.

Vice-Mayor Butlien: Received a few calls from residents today; encouraged them to attend this evening.

Mayor Chasez: None.

Staff briefly reviewed the history of the planned unit development and the requested changes since the first reading.

Mark Watts, Cobb Cole, attorney for the applicant, addressed Council. He discussed the increased open space, buffers, fencing, and additional reviews required should the Ordinance pass this evening.

Diane Gordon, Jim Taufer, Melissa Cox, Teri Beverly, and Christopher Roney addressed Council.

Mr. Watts re-addressed Council to respond to citizens' concerns regarding traffic, flooding, interior road setbacks and landscape buffers.

Motion by Vice-Mayor Butlien to approve the second reading of Ordinance No. 07-2024, amending the Swallows Planned Unit Development (PUD) and existing development agreement. Seconded by Council Member Pappalardo. Motion passed unanimously.

NEW BUSINESS:

City Manager is requesting City Council hear presentations, discuss and provide guidance on Current Development Growth, Transportation and Other Capital Improvement Initiatives, Stormwater Projects and Council Strategic Initiatives.

City Manager reviewed and discussed the estimated timelines and estimated costs for transportation, capital and stormwater projects, along with other capital initiatives. In addition, updates to Council's strategic initiatives were also discussed.

Staff reviewed the agricultural areas in the City, which included agricultural and rural zoning lot sizes.

COUNCIL MEMBER REPORTS / COMMUNICATIONS:

Member Reports/ Communications

- A. Mayor and Council Members
- B. City Manager
- C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP: Regular City Council Meeting May 1, 2024, 6:30 p.m.

ADJOURN: The meeting was adjourned at 8:32 p.m.

APPROVED:

CITY COUNCIL CITY OF DEBARY, FLORIDA

Karen Chasez, Mayor

Annette Hatch, CMC, City Clerk



<u>REQUEST</u>

The Applicant, KBC Development, Inc., would like to extend their Preliminary Plat and Construction Plan Development Order for the KBC Mixed project.

PURPOSE

On March 21, 2023, the applicant submitted their application within the 90-day expiration window and is therefore eligible to request that City Council extend their Development Order again for a period of 360 days.

CONSIDERATIONS

On June 17, 2020, a Preliminary Plat and Construction Plan Development Order was issued for the KBC Mixed project. The project site is located on the southwest corner of U.S. Highway 17-92 and DeBary Plantation Boulevard. The project consists of 55 townhouse units and up to 129,000 square feet of commercial development.

Section 4-25 of the Land Development Code states a Development Order shall remain valid for a period of 360 days from the date of issuance. Section 4-25 further provides that the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council. The code does not limit the number of extensions the City Council may grant for a project.

On May 3, 2023, the City Council approved a development order extension for this project. The issued development order expires on April 30, 2024.

COST/FUNDING

N/A

RECOMMENDATION

Staff recommends the City Council approve the extension request for the KBC Mixed Preliminary Plat and Construction Plan Development Order for an additional 360 days.

IMPLEMENTATION

The applicant would need to begin moving forward with the project and meeting the conditions described on the Development Order.

ATTACHMENTS

- Preliminary Plat and Construction Plans
- Landscape Plans
- Development Orders



OWNER: KBC DEVELOPMENT INC. 4570 ORANGE BLVD SANFORD, FL 32771 (407) 585-2510

> CONTACT: CHRIS TYREE EMAIL: CTYREE@BRIARTEAM.COM



VICINITY MAP SCALE: 1" = 2000'

PROPERTY DESCRIPTION:

LOT 2, DEBARY COMMERCIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN MAP BOOK 51, PAGES 32 AND 33 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

AND

ABOVE.

TRACT "A", AS SET FORTH ON THAT CERTAIN PLAT RECORDED IN MAP BOOK 51, PAGE 32 AND 33, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. AND

FIFTY (50) FOOT ACCESS AND UTILITY EASEMENT AS DEPICTED UPON UPON THAT CERTAIN PLAT RECORDED IN MAP BOOK 1, PAGES 32 AND 33, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, MORE PARTICULARLY DEPICTED ON THE SECOND PAGE OF SUCH PLAT, RECORDED IN MAP BOOK 51, PAGE 33, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AS FOLLOWS:

FROM A POINT ON THE WESTERLY BOUNDARY OF : LIBRARY LANE", PROCEED EAST 50.00 FEET TO THE EASTERLY BOUNDARY OF "LIBRARY LANE", THENCE ALONG SAID EASTERLY BOUNDARY SOUTH OO DEGREES 22 MINUTES 14 SECONDS EAST, 832.91 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 275.00 FEET AND A CHORD BEARING OF SOUTH 04 DEGREES 06 MINUTES 45 SECONDS WEST, NORTH 08 DEGREES 35 MINUTES 44 SECONDS EAST, 377.06 FEET TO THE APPROXIMATE BEGINNING OF THE CURVE DEPICTED THEREON AT THE SOUTHERLY BOUNDARY OF THE DEBARY PLANTATION BOULEVARD" RIGHT OF WAY, THENCE WEST APPROXIMATELY 50.00 FEET TO THE BEGINNING OF THE CURVE DEPICTED THEREON AT THE SOUTHERLY BOUNDARY OF THE SAID DEBARY PLANTATION BOULEVARD, THENCE SOUTH 377.06 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 325.00 FEET AND A CHORD BEARING OF SOUTH 04 DEGREES 06 MINUTES 45 SECONDS WEST, NORTH 08 DEGREES 35 MINUTES 44 SECONDS EAST, 377.06 FEET, THENCE SOUTH 00 DEGREES 22 MINUTES 05 SECONDS EAST, 832.91 FEET TO THE POINT OF BEGINNING SET FORTH

SITE ADDRESS: TAX PARCEL I.D.: ZONING: FUTURE LAND USE: EXISTING USE: PROPOSED USE: TOTAL PROJECT AREA: IMPERVIOUS AREA:

POTABLE WATER PROVIDER: VOLUSIA COUNTY SANITARY SEWER PROVIDER: VOLUSIA COUNTY

SITE DATA:

217 SOUTH BEACON CLUB DRIVE, DEBARY FL 32713 27-18-30-13-00-0020 RPUD MIXED USE VACANT MIXED USE 17.37 ACRES (100%) ASSUME 75% (DEVELOPMENT TRACTS)

CIVIL

ZEV COHEN & ASSOC., INC. ENGINEER: 300 INTERCHANGE BOULEVARD ORMOND BEACH, FL., 32174 (386) 677-2482 (386) 677–2505 (FAX) CONTÁCT: RANDY HUDAK P.E. e-mail: RHUDAK@zevcohen.com



1 - APOPKA FINE SAND

2 - APOPKA FINE SAND

8 - BASINGER FINE SAND 17 - DAYTONA SAND

22 - ELECTRA FINE SAND

37 - ORSINO FINE SAND

TRACT	PHASE
	1
B,C	1
А	1
5	2
1	3
2	4
3	5
4	6

DEBARY COMMERCIAL 17 AC. PRELIMINARY PLAT

CITY OF DEBARY - VOLUSIA COUNTY, FL SUBMITTED JANUARY 16, 2019

SOILS MAP SCALE: 1'' = 500'THE SITE LIES WITHIN THE FOLLOWING VOLUSIA COUNTY SOIL CLASSIFICATIONS:

SURVEYOR:

SCOTT'S SURVEYING SERVICES, INC. 8 S. HWY 17–92, SUITE 8–A DEBARY, FL 386-668-7332

CONTACT: SCOTT BECHIR EMAIL: CS.SRBSURVEY@YAHOO.COM



FLOOD ZONE MAP SCALE: 1" = 500'

	LAND USE BREAKDOWN												
USE	AREA (AC.)	PARK AREA (AC)	OPEN SPACE (AC)	DENSITY	UNITS ALLOWED	MAX BUILDING SIZE (SF)	PARKING REQUIRED						
RIGHT-OF-WAY (PUBLIC)	1.80	_	_	_	_	_	_						
STORMWATER	3.49	-	3.49	_	_	_	_						
UNDEVELOPED	0.65	-	0.65	_	_	_	_						
RESIDENTIAL	3.48	0.283	0.61	16 DU/AC	55 UNITS	_	110						
COMMERCIAL	3.04	_	0.48	0.37 FAR	_	49,390	180						
COMMERCIAL	1.73	-	0.30	0.37 FAR	_	28,107	102						
COMMERCIAL	1.57	_	0.19	0.37 FAR	_	25,508	93						
COMMERCIAL	1.60	_	0.25	0.37 FAR	_	25,995	95						
TOTALS	17.36	0.283	5.97	_	55 UNITS	129,000	579						

MINIMUM LANDSCAPE BUFFERS	
NORTH – (DEBARY PLANTATION BLVD)	20'
SOUTH	10'
EAST - (US HWY 17-92)	20'
WEST – (BEACON CLUB DR.)	10'
LIBRARY LANE – (INTERNAL RD)	5'
17–92 CONNECTION – (INTERNAL RD)	5'

MINIMUM BUILDING SETBACKS	
NORTH - (DEBARY PLANTATION BLVD)	35'
SOUTH	50'
EAST - (US HWY 17-92)	75'
WEST – (BEACON CLUB DR.)	35'
LIBRARY LANE – (INTERNAL RD)	15'
17-92 CONNECTION - (INTERNAL RD)	15'



ENGINEER:

GEOTECHNICAL UNIVERSAL ENGINEERING & SCIENCES, INC. 911 BEVILLE RD. SUITE#3 SOUTH DAYTONA, FL 32119 (386) 756-1105 (386) 760-4067 (FAX) CONTACT: BRIAN POHL, P.E. e-mail: bpohl@universalengineering.com



ZONING/FUTURE LAND USE MAP SCALE: 1" = 500'

SHEET	INDEX:
C1	COVER SHEET
C2-C4	CONSTRUCTION NOTES
C5	DEMOLITION & EROSION CONTROL PLAN
C6	GEOMETRY, SIGNAGE & STRIPING PLAN
C7	PAVING, GRADING & DRAINAGE PLAN
C8	UTILITY PLAN
C9-C10	PLAN & PROFILES
C11-C14	CONSTRUCTION DETAILS
TP1-TP2	TREE PROTECTION PLAN & DETAILS
A1- A9	LANDSCAPE PLAN & DETAILS
IR1–IR8	IRRIGATION PLAN & DETAILS

											& ASSOCIATES, INC.	300 INTERCHANGE BLVD., STE. C ORMOND BEACH EL 32174	WWW.ZEVCOHEN.COM	
			CIVIL ENGINEERING					ENVIRONMENTAL		PLANNING		TDANSDODTATION		(LC 02)
	10. DATE BY SUBMITTALS / REVISIONS													
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GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DEBARY'S LAND DEVELOPMENT CODE REQUIREMENTS, STANDARD CONSTRUCTION DETAILS & STANDARD SPECIFICATIONS, LATEST EDITIONS.
- 2. ALL DRAINAGE STRUCTURES AND OTHER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION.
- 3. SHOP DRAWINGS AND CERTIFICATIONS FOR ALL MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL REVIEW AND SIGN SHOP DRAWINGS. THE CONTRACTOR SHALL SUBMIT REVIEWED SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.
- 4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL REQUIRED PERMITS. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL RELEVANT PERMITS AND CONSTRUCTION DOCUMENTS AVAILABLE ON THE JOB SITE AT ALL
- 5. CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND SECURE MANNER TO PROTECT PUBLIC SAFETY AND THE CONDITIONS OF THE IMPROVEMENTS.
- 6. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER.
- 7. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD PRIOR TO CONTINUING CONSTRUCTION.
- 8. ANY FIELD MODIFICATIONS OR DEVIATIONS TO THESE CONSTRUCTION PLANS REQUIRES APPROVAL BY BOTH THE ENGINEER OF RECORD AND THE CITY OF DEBARY PRIOR TO PERFORMING THE WORK.
- 9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT" SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND ZCA REQUIREMENTS. THE "AS-BUILT" SURVEY SHALL BE PREPARED ON ZCA'S DESIGN/PERMITTED PLANS. ELECTRONIC AND PAPER COPIES OF THE AS-BUILT SURVEY SHALL BE PROVIDED TO THE ENGINEER OF RECORD. THE "AS-BUILT" SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC SAFELY THROUGH THE WORK ZONE AT ALL TIMES, IF APPLICABLE. ANY SIDEWALK, LANE OR ROAD CLOSURE REQUIRES REVIEW AND APPROVAL IN ADVANCE AND A SEVEN (7) DAY MINIMUM NOTICE TO THE JURISDICTIONAL AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIRED COORDINATION.
- 11. MAINTENANCE OF TRAFFIC WILL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS, LATEST EDITIONS.
- 12. CONTRACTOR TO NOTIFY THE REGULATORY AGENCIES FORTY EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL SEND COPIES OF ALL TESTING REPORTS TO THE REGULATORY AGENCIES AND THE ENGINEER OF RECORD.
- 13. SURVEY INFORMATION PROVIDED BY SCOTT'S SURVEYING SERVICES, INC. DATED 08/03/2016. ALL ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE SHOWN IN FEET. STATE PLANE COORDINATES ARE BASED UPON NAD 83.
- 14. ALL PUBLIC LAND CORNERS AND MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. THE CONTRACTOR SHALL EMPLOY A SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, TO REPLACE/RESTORE ANY PROPERTY OR LAND MARKERS DISTURBED BY CONSTRUCTION ACTIVITIES.
- 15. NO LAND SHALL BE CLEARED, EXCAVATED OR FILLED AND NO STRUCTURES SHALL BE ERECTED, REPAIRED OR DEMOLISHED WITHOUT PROPER PERMIT(S).
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS THE REQUIREMENTS OF ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND E.P.A. (NPDES). CONTRACTOR SHALL ESTABLISH BEST MANAGEMENT PRACTICES AND EROSION CONTROL METHODS PRIOR TO COMMENCING ANY SITE CLEARING OR DEMOLITION AND SHALL MAINTAIN THOSE BARRIERS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECT'S SWPPP, NPDES PERMITTING, INSPECTION AND REPORTING, IF APPLICABLE.
- 18. THE EROSION, SEDIMENT AND TURBIDITY CONTROL MEASURES DELINEATED HEREON ARE THE MINIMUM REQUIRED. ADDITIONAL CONTROLS MAY BE NEEDED, DEPENDING UPON THE ACTUAL SITE CONDITIONS, JURISDICTIONAL AGENCY PERMIT REQUIREMENTS AND CONSTRUCTION OPERATIONS. STAKED SILT FENCE SHALL BE UTILIZED TO CONTROL EROSION AND RELEASE OF SUSPENDED SOLIDS. SEDIMENT TRACKING CONTROL DEVICES SHALL BE USED TO PREVENT THE OFFSITE TRANSPORT OF SEDIMENT BY MOTORIZED VEHICLES. IF CONTROL MEASURES DO NOT PROVE SATISFACTORY, WORK SHALL CEASE UNTIL NEW MEASURES ARE ADOPTED WITH SATISFACTORY RESULTS.
- 19. ALL EROSION AND SEDIMENT TRACKING CONTROL DEVICES SHALL BE INSPECTED DAILY AND IMMEDIATELY FOLLOWING A RAINFALL EVENT. REFER TO PROJECT'S STORMWATER POLLUTION PREVENT PLAN (SWPPP). ANY DEFICIENCIES FOUND IN THE EROSION CONTROL MEASURES SHALL BE REPAIRED IMMEDIATELY. THE CONTRACTOR SHALL KEEP A LOG BOOK DOCUMENTING THESE DAILY INSPECTIONS, DEFICIENCIES AND REMEDIAL ACTIONS.
- 20. ALL UNSUITABLE SOILS AND UNSUITABLE MATERIALS (SUCH AS CLAY, ORGANICS, ROCK, CEMENTED COQUINA, DEBRIS, ETC.) SHALL BE REMOVED, DISPOSED OF IN A LEGAL MANNER AND REPLACED WITH DRY COMPACTED GRANULAR MATERIAL SATISFACTORY TO THE CITY OF DEBARY. THE COST OF ALL WORK AND MATERIALS IS TO BE INCLUDED IN THE UNIT PRICE OF THE ASSOCIATED CONSTRUCTION ITEMS UNLESS OTHERWISE SHOWN IN THE PLANS.
- 21. IN THE EVENT THAT WATER IS ENCOUNTERED DURING CONSTRUCTION, DEWATERING SHALL BE PERFORMED AS NEEDED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, PERMITTING, INSTALLATION, OPERATION AND SUBSEQUENT REMOVAL OF DEWATERING SYSTEMS AND THEIR SAFETY AND CONFORMITY WITH APPLICABLE CODES AND REGULATIONS.
- 22. PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS, CABLE TELEVISION, COMMUNICATIONS, ETC. COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION.
- 23. ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED HORIZONTALLY AND VERTICALLY BASED ON THE BEST INFORMATION AVAILABLE AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES (PUBLIC AND PRIVATE) SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR OR CROSSING A UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY THE UTILITY COMPANIES FOR UTILITIES WHICH NEED TO BE RELOCATED FOR THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO PAY FOR ANY REPAIR, RELOCATION OR TEMPORARY MEASURES NEEDED FOR EXISTING OR PROPOSED UTILITIES.
- 24. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND AVOID ALL UTILITIES, OTHER STRUCTURES AND OBSTRUCTIONS BOTH ABOVE AND BELOW GROUND. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE REPAIRED AT THE CONTRACTOR'S FXPFNSE
- 25. THE CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION
- 26. THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED SERVICE AT ALL SERVICE CONNECTIONS. THE MANNER IN WHICH THIS IS ACCOMPLISHED SHALL BE LEFT TO THE DISCRETION OF THE CONTRACTOR, SUBJECT TO THE REQUIREMENTS OF THE CONTRACT SPECIFICATIONS.
- 27. ALL EXISTING DRAINAGE STRUCTURES AND UTILITIES WITHIN THE CONSTRUCTION LIMITS SHALL REMAIN, UNLESS OTHERWISE NOTED IN PLANS.
- 28. ALL STATIONS AND OFFSETS REFER TO CENTERLINE CONSTRUCTION UNLESS OTHERWISE NOTED IN PLANS. 29. THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE STRUCTURE SHALL DETERMINE THE LENGTH OF PIPE.
- 30. THE TOP OF CASTING ELEVATIONS (TC) OF ALL STRUCTURES ARE SHOWN. HOWEVER, THE CONTRACTOR SHALL INSTALL ALL FRAMES SO AS TO PROVIDE A SMOOTH SURFACE FOR VEHICULAR AND/OR PEDESTRIAN
- 31. CONTRACTOR SHALL CONFIRM PROPOSED TOP OF CASTING (TC) ELEVATIONS WILL ALLOW POSITIVE DRAINAGE TO PROPOSED INLETS. IF POSITIVE DRAINAGE DOES NOT EXIST, CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD FOR SOLUTION AND ADJUST PROPOSED INLETS AS NECESSARY.
- 32. CONTRACTOR SHALL CONFIRM ELEVATION OF EXISTING GRADE PRIOR TO PLACING DRAINAGE OUTFALL STRUCTURES. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD IF EXISTING GRADE DOES NOT MATCH PROPOSED OUTFALL INVERT. CONTRACTOR SHALL ADJUST OUTFALL STRUCTURE INVERT AND/OR STRUCTURE LOCATION AS DIRECTED BY ENGINEER OF RECORD.
- 33. ANY DRAINAGE PROBLEMS CREATED BY CONSTRUCTION, OR EXISTING BEFORE CONSTRUCTION AND NOT ALLEVIATED, SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD AT THE TIME OF DISCOVERY
- 34. ALL STORMWATER PIPES AND INLETS SHALL BE CLEANED OF DEBRIS AND ERODED MATERIALS AT LAST STAGES OF AND PRIOR TO COMPLETION OF CONSTRUCTION

GENERAL NOTES

- 36. SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES MAY EXTEND INTO THE STABILIZED PORTION OF THE ROADBED. EXTREME CAUTION WILL BE NECESSARY DURING COMPACTION AND STABILIZATION OPERATIONS AT THESE LOCATIONS TO AVOID DAMAGE AND ACHIEVE THE REQUIRED COMPACTION.
- 37. DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE ACCESS.
- 38. ALL REQUIRED FIRE LINES & HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS AND OPERATIONAL PRIOR TO THE START OF VERTICAL CONSTRUCTION.
- 39. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE USED IN THE CONSTRUCTION OF THE NEW LIMEROCK BASE UNLESS OTHERWISE NOTED ON PLANS.
- AND WIDTH WITH THE SAME TYPE OF MATERIAL, UNLESS OTHERWISE SHOWN IN THE PLANS.
- 41. ALL RAMPS, SIDEWALKS AND ACCESSIBLE ROUTES ARE TO BE IN COMPLIANCE WITH CURRENT A.D.A. REQUIREMENTS.
- 42. SIGNS THAT ARE REMOVED AND ARE TO BE RELOCATED SHALL BE STOCK PILED BY THE CONTRACTOR. ANY
- 43. ROADWAY AND PARKING SIGNAGE AND MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- 44. GRADES SHOWN ARE FINISHED GRADES.
- PROPERTY. MAINTENANCE IS TO INCLUDE BI-WEEKLY MOWING OF SIDE SLOPES FOR VEGETATION CONTROL AND MONTHLY INSPECTION/CLEANING OF CULVERTS & STORM SYSTEMS.
- COVER ESTABLISHED PRIOR TO THE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY. 47. INSTALLATION OF THE REQUIRED STREET SIGNS, TRAFFIC SIGNS, PAVEMENT STRIPING, STREET LIGHTS AND
- SIDEWALKS ALONG WITH THE PAINTING OF THE FIRE HYDRANTS MUST BE COMPLETED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF COMPLETION.
- 48. CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND PRE-TESTING PRIOR TO SCHEDULING A TEST OR WALK-THROUGH WITH THE UTILITY REPRESENTATIVES, MUNICIPAL REPRESENTATIVES AND ENGINEER OF RECORD. ANY COST ASSOCIATED WITH RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- REQUESTED MEETINGS AND/OR TESTING MEASURES.
- 50. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE REGULATORY REPRESENTATIVES TO DETERMINE THE INSPECTIONS NEED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE PROPER NOTIFICATION TO INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.

40. EXISTING DRIVEWAYS WITHIN THE LIMITS OF THIS PROJECT ARE TO BE REPLACED AT THE SAME LOCATION

EXISTING SIGNS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT HIS COST.

45. OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM WILL BE PROVIDED BY THE OWNER OF

46. ALL DISTURBED AREAS SHALL BE SODDED. UNLESS OTHERWISE SHOWN, AND SHALL HAVE SOD / VEGETATED

49. THE ENGINEER OF RECORD AND LOCAL UTILITY SHALL BE GIVEN SEVENTY-TWO (72) HOURS NOTICE OF ALL

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. 2. CONTRACTOR SHALL MINIMIZE DISTURBANCE OF EXISTING VEGETATION, (PARTICULARLY AROUND THE PROJECT
- PERIMETER) AND ADJACENT EXISTING DRAINAGE PATTERNS TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION PROCESS. 3. SILT FENCES AND TURBIDITY BARRIERS SHALL BE INSTALLED ON SITE AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION, AND SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND CORRECTIVE ACTION TAKEN AS
- NECESSARY 4. STORMWATER RETENTION, DETENTION, STORAGE AND CONVEYANCE SYSTEMS MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS, ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SILTATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION. SILTATION MUST BE REMOVED FROM THE STORMWATER SYSTEM WHEN HALF FULL AND IMMEDIATELY PRIOR TO FINAL GRADING AND GRASSING OF THE PROJECT.
- 5. CONTRACTOR SHALL SOD ALL SWALES AND STORMWATER FACILITIES IN ACCORDANCE WITH TEMPORARY BMP'S WITHIN 14 DAYS AFTER CONSTRUCTION. THIS IS REQUIRED TO STABILIZE THE SLOPES AND MINIMIZE EROSION.
- 6. DURING ALL CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, CONTRACTOR IS RESPONSIBLE FOR THE SELECTION, IMPLEMENTATION, AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN ALL SEDIMENT ONSITE AND PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA ADMINISTRATIVE CODE AND PROJECT PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT, UNLESS MODIFIED BY ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF IT'S INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON OFFSITE AND ONSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE WATER MANAGEMENT DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE.
- 8. AT A MINIMUM, SILT FENCES AND TURBIDITY BARRIERS SHALL BE INSTALLED PER PLAN. ADDITIONAL BMP MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF APPROVED
- BARRIERS AT INLETS, ADDITIONAL SILT FENCING, SOIL ANTI-TRACKING DEVICES AND SODDING. 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE PROJECT LIMITS IN COMPLIANCE WITH ALL JURISDICTIONAL PERMIT AND CITY REQUIREMENTS. 10. ANY TIME THE CONTRACTOR NEEDS TO SUBMIT A NOTICE OF INTENT TO USE A GENERAL PERMIT FOR STORMWATER
- DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, A COPY OF THE PERMIT SHALL ALSO BE SUBMITTED TO THE CITY OF DEBARY UTILITIES DEPARTMENT. 11. THE CONTRACTOR SHALL AS A MINIMUM PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN IN ACCORDANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) GUIDELINES.

SITE CLEARING & GRADING NOTES

THE FOLLOWING REPRESENTS MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- 1. NO DISTURBANCE OF EXISTING OR PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER OR DESIGNEE. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDER-STORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY. 2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS
- MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
- 3. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCE WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY. 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK,
- INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, SYNTHETIC JUTE BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES IN ACCORDANCE WITH THE CITY'S UTILITY DEPARTMENT STANDARDS. 5. PRIOR TO THE INSTALLATION OF ANY FILL MATERIAL ON SUBJECT SITE, SILT FENCE SHALL BE INSTALLED:
- a. ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES. b. AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS. ADJACENT TO NATURAL LANDSCAPE BUFFERS.
- d. AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES. e. AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES. AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF
- THE SITE-SPECIFIC CLEARING PERMIT AND THROUGHOUT PROJECT CONSTRUCTION. 6. WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN
- ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED. 7. AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE. WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE, THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOD AND WATERING, AS REQUIRED
- 9. FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND OR/ SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- 10. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED, INCLUDING WATERING AND TRIMMING BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
- 11. ALL BURNING OF CLEARED MATERIALS MUST BE APPROVED AND PERMITTED THROUGH THE FL FOREST SERVICE, BUNNELL OFFICE.
- 12. ABSOLUTELY NO BURYING OF CLEARED & GRUBBED MATERIALS IS PERMITTED. 13. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE SLOPES SHALL NOT EXCEED 4:1 (H:V).
- 14. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING. 15. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR
- PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER MODIFIED AASHTO T-180). 16. DURING SUBDIVISION DEVELOPMENT WHEN FUTURE BUILDING LOTS ARE FILLED AS PART OF THE OVERALL SUBDIVISION IMPROVEMENTS, COMPACTION TEST REPORTS MUST BE PERFORMED ON THESE LOTS AT 300'
- INTERVALS. THESE TESTS ARE TO BE PERFORMED IN 1' VERTICAL INCREMENTS. THE RESULTS OF THESE TESTS ARE TO BE SUBMITTED TO THE CITY UPON COMPLETION OF THE TESTS. 17. IF ANY MUCK OR ANY UNSUITABLE MATERIAL IS DISCOVERED, IT SHALL BE REMOVED AND REPLACED WITH A
- SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD. 18. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY. WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE
- IN EXCESS OF FIVE DAYS SHALL BE COVERED OR WATERED TO MINIMIZE THE ADVERSE IMPACT ON ADJACENT PROPERTY OWNERS AT NO ADDITIONAL COST TO THE CITY OR OWNER. SEED AND MULCH IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT. 19. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE
- EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNITS CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY. 20. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND
- FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE. 21. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

STORMWATER CONSTRUCTION NOTES

ALL MATERIALS AND INSTALLATION AND SEDIMENT AND EROSION CONTROL METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY, FDEP, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT DESIGN STANDARDS (LATEST EDITION). THE USE OF BEST MANAGEMENT PRACTICES (BMP'S) IS REQUIRED. 2. BEST MANAGEMENT PRACTICES (BMP'S) FOR EROSION AND SEDIMENT CONTROL SHALL BE PLANNED, DESIGNED AND IMPLEMENTED THROUGHOUT THE SITE DEVELOPMENT ENGINEERING AND CONSTRUCTION PHASES ALL DEWATERING ACTIVITIES EITHER DIRECTLY DISCHARGED OR THAT SUBSEQUENTLY USE THE CITY'S STORMWATER SYSTEM TO CONVEY GROUND OR SURFACE WATER FROM A SITE SHALL REQUIRE A PERMIT. A PERMIT SHALL BE REQUIRED PRIOR TO ENGAGING IN ANY DEWATERING ACTIVITIES, OR IN ANY CONSTRUCTION ACTIVITIES. DEWATERING ACTIVITIES INCLUDE THE REMOVAL OF GROUND WATER FROM A CONSTRUCTION SITE, ENCLOSED VAULT, COFFERDAM, OR TRENCHES ALLOWING CONSTRUCTION OR MAINTENANCE TO BE DONE IN THE DRY, OR ANY ACTIVITY WHICH CHANGES THE IMPERVIOUS AREA OF LAND. 4. CONTRACTOR SHALL FOLLOW REQUIRED EROSION AND SEDIMENT CONTROL PRACTICES AND INCLUDE AN EROSION

CONTROL PLAN FOR REVIEW AND APPROVAL BY THE CITY PRIOR TO CONSTRUCTION. CONTRACTOR WILL FOLLOW ALL OF THE CITY'S REQUIRED WASTE MANAGEMENT PRACTICES. ALL CONSTRUCTION, RENOVATION, AND DEMOLITION SITES ARE TO BE KEPT CLEAN AND FREE OF REFUSE, DEBRIS, AND LITTER DURING THE CONSTRUCTION, RENOVATION, OR DEMOLITION PROCESS. A CERTIFICATE OF OCCUPANCY FOR A NEWLY CONSTRUCTED OR RENOVATED BUILDING SHALL NOT BE ISSUED UNTIL ALL REFUSE AND LITTER CAUSED BY THE CONSTRUCTION OR REMODELING IS REMOVED FROM THE SITE. ALL DEVELOPMENT PLANS SHALL BE CONSISTENT WITH THE CITY OF DEBARY LAND DEVELOPMENT CODE

PIPED STORMWATER SYSTEMS SHALL HAVE A MINIMUM DRAINAGE MAINTENANCE EASEMENT AND ACCESS WIDTH OF 20 FEET, AND MAY BE INCREASED DEPENDING UPON THE SIZE AND DEPTH OF PIPE. 8. CONCRETE EROSION CONTROL BMP'S MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.

9. SOIL EROSION AND SEDIMENT CONTROL BMP MEASURES, SATISFACTORY TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, FDEP AND THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION. 10. IN GENERAL, ALL RETENTION/DETENTION SITES MUST BE CONSTRUCTED AND VEGETATED AS NECESSARY ON ALL PROJECTS PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING CON-STRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE. SEWER AND WATER MAINS MAY BE INSTALLED PRIOR TO RETENTION/DETENTION SITE CONSTRUCTION IF DEWATERING IS NOT REQUIRED. HOWEVER BMP'S FOR EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED AS NECESSARY. 11. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE

REQUIRED. 12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF THE SJRWMD. NPDES, AND ALL OTHER JURISDICTIONAL PERMITS AT THE CONSTRUCTION SITE, AND ABIDE BY ALL CONDITIONS OF THOSE PERMITS

13. LANDSCAPE PLANS SHALL CLEARLY DEPICT THE DESIGN LOCATION OF TEMPORARY AND PERMANENT PLANTINGS RELATIVE TO THE LOCATION OF PUBLIC UTILITIES AND STORMWATER INFRASTRUCTURE IN ORDER TO EVALUATE POTENTIAL

CONFLICTS.

14. THE MAXIMUM PERMISSIBLE SLOPE OF ANY NEW SITE GRADING IS 1:3 (VERTICAL: HORIZONTAL). THIS LIMIT SHALL BE APPLIED TO ALL AREAS EXCEPT STORMWATER CONVEYANCE AND TREATMENT SYSTEMS WHICH HAVE A MAXIMUM SIDE SLOPE OF 1:4 (EXCEPT BELOW THE WATER TABLE WHERE STEEPER SLOPES ARE PERMISSIBLE). 15. ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED FRONT (SIDE) SLOPE NOT STEEPER THAN 1 TO 4. THE MAXIMUM PERMITTED BACK (SIDE) SLOPE, SHALL BE 1:3, PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED AT INTERVALS OF 100' AND AT SIGNIFICANT GRADE CHANGES.

16. SWALES THAT ARE NORMALLY DRY AND INTENDED FOR CONVEYANCE OF STORMWATER RUNOFF AND ARE NOT INTENDED FOR RETENTION SHALL HAVE A MINIMUM DRAINAGE MAINTENANCE EASEMENT WIDTH MEASURING 15 FEET. SWALED AREAS INTENDED FOR RETENTION SHALL PROVIDE APPROPRIATE EASEMENT AREAS FOR ACCESS AND MAINTENANCE MEASURED UPLAND FROM THE TOP OF BANK. AT A MINIMUM, THE SAID EASEMENT SHALL MEASURE 10 FEET IN WIDTH FROM THE TOP OF THE SWALE. 17. NORMAL ROADSIDE SWALES ARE PERMITTED TO BE CONSTRUCTED TO A MAXIMUM DEPTH OF 18" BELOW THE

OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB. 18. WHEN CULVERTS ARE INSTALLED TO MAINTAIN THE FLOW OF EXISTING DRAINAGE WAYS WHERE NEWLY PROPOSED ROADS WOULD OTHERWISE SEVER THE DRAINAGE RIGHT-OF- WAY, THEN CULVERTS CROSSING RIGHTS-OF-WAY SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY. CULVERTS SHALL BE

DESIGNED TO ACCOMMODATE THE FLOW FROM THE 100 YEAR - 24 HOUR STORM EVENT WITHOUT FLOODING ADJACENT PROPERTY OR SURCHARGING THE SAID ROADWAY. 19. WET POND DEPTHS SHALL BE EIGHT FEET (8') MINIMUM TO FIFTEEN FEET (15') MAXIMUM, MEASURED FROM THE TOP OF BANK.

20. WHEN A WET POND IS INCORPORATED WITHIN A SUBDIVISION AND IS ABUTTED BY LOTS, SUCH ABUTTING LOT LINES SHALL BE EXTENDED INTO THE LAKE PROPORTIONATELY ENCOMPASSING ALL OF THE LAKE AREA. 21. WET POND INFLOW AND OUTLET STRUCTURES SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY. SKIMMERS FOR WET PONDS SHALL BE CONSTRUCTED SUCH THAT THE BOTTOM EXTENDS 6" BELOW THE NORMAL WATER LEVEL AND 6" ABOVE THE OVERFLOW. FOR DRY PONDS, THE SKIMMER BOTTOM SHALL BE SET 6" BELOW THE LOWEST OVERFLOW ELEVATION AND 6" ABOVE THE HIGHEST POINT OF OVERFLOW. ALL SKIMMERS SHALL BE CONSTRUCTED OF MINIMUM 1/4" THICK ALUMINUM OR FIBERGLASS ADEQUATELY SUPPORTED TO PREVENT DEFLECTION.

22. THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED HYDROLOGIST OR HYDROGEOLOGIST ON THE IMPACT THE WET POND WILL HAVE ON NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER LAKE COMPLETION. THE CITY MAY REQUIRE GROUNDWATER MONITORING DURING THE LAKE EXCAVATION.

23. ADEQUATE MAINTENANCE BERMS, MINIMUM 10' IN WIDTH, SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL WET PONDS AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF LAKES. APPLICABLE CROSS SECTIONS SHALL BE INCLUDED ON ALL FINAL DEVELOPMENT PLANS.

24. DEVELOPMENT PLANS FOR ALL STORMWATER MANAGEMENT SYSTEMS SHALL CONTAIN POP- OFF DATA (OVERFLOW), BOTTOM FLEVATION, NORMAL WATER LEVELS, MEAN ANNUAL SEASONAL HIGH WATER TABLE ELEVATION, TREATMENT VOLUME AND CORRESPONDING ELEVATION, 100 YEAR HIGH WATER LEVELS, AND THE

DESIGN TAILWATER ELEVATION (IF APPLICABLE). 25. ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHT-OF-WAYS AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS III O-RING REINFORCED CONCRETE PIPE. OUTSIDE OF ROADWAY EASEMENTS AND R.O.W., PIPE MAY BE MADE OF ALTERNATE MATERIALS INCLUDING:

A. SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM D2412 FOR SIZES UP TO 42" IN DIAMETER OR B. PVC IN ACCORDANCE WITH THE PROVISION NOTED IN THE "SEWER DETAILS" OF THESE SPECIFICATIONS.

26. ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHT-OF-WAYS AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH NON-WOVEN FILTER FABRIC WITH A MINIMUM WIDTH OF 24" AND A MINIMUM OF 24" OVERLAP. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR MEETING THIS REQUIREMENT. THIS PRACTICE IS ENCOURAGED ON PRIVATE SITES. ADDITIONALLY, ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL

27. DEPTH OF COVER MEASURED TO THE TOP OF PIPE (INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 3 FEET OVER RCP. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL STRENGTH. IF AN ALTERNATE MATERIAL IS APPROVED, DEPTH OF COVER SHALL MEET MANUFACTURER'S RECOMMENDATION.

28. ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHT-OF-WAYS AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF FIFTEEN INCH (15") INSIDE DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER. 29. FOR NON-METALLIC STORMWATER FORCE MAINS A #12 UF INSULATED SINGLE STRAND COPPER WIRE SHALL BE ATTACHED TO ALL PIPES AND TERMINATED AT THE VALVES IN ACCORDANCE WITH RECLAIM WATER VALVE DETAIL RW-4

30. STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE FDOT COMPLIANT. EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION, ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 6" THICK WALLS. THINNER WALLS MAY BE PERMITTED PROVIDING THAT THE DESIGN IS IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 200 AND NO. 201. IN ADDITION, THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND AS-BUILT PLANS. STRUCTURES PLACED IN HIGH TRAFFIC AREAS SHALL BE OF TRAFFIC BEARING CONSTRUCTION IN ACCORDANCE WITH FDOT STANDARDS.

31. STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF WITHOUT IMPEDING THE FLOW OF TRAFFIC. FOR ROADWAY SECTIONS WITH DESIGN SPEEDS OF 45 MPH AND LESS AND WITHOUT FULL WIDTH SHOULDERS, SPREAD RESULTING FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR SHALL NOT EXCEED ONE-HALF OF THE TRAVEL LANE ADJACENT TO THE GUTTER. FOR SITE PLANS, INLET SPACING SHALL BE DESIGNED TO ACCEPT ONE HUNDRED (100) PERCENT OF THE RUNOFF FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR WITHOUT RESULTING IN PONDING OF WATER AROUND THE INLET.

32. FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND / OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S 'n' OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS

33. ALL STORMWATER INLETS SHALL MEET FDOT CRITERIA IN THE FDOT DESIGN STANDARD LATEST EDITION. 34. TRACER WIRE SHALL BE TESTED FOR CONTINUITY UNDER SUPERVISION BY CITY REPRESENTATIVE AFTER INSTALLATION 35. ALL GASKETS SHALL BE LUBRICATED BEFORE BEING INSTALLED.

36. ALL FITTINGS SHALL MEET THE MINIMUM RESTRAINED REQUIREMENTS PER ANSI/AWWA/DIPRA, AND ALL PRESSURE PIPES UNDER THE ROADWAY SHALL BE RESTRAINED.

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RANDY M. HUDAK, P.E., NO.65053

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- SANITARY SEWER DESIGN AND CONSTRUCTION NOTES 1. THE VOLUSIA COUNTY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION.
- 2. ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 8" DIAMETER MINIMUM. COMMERCIAL SERVICE LATERALS WITH MULTIPLE CONNECTIONS SHALL BE GREEN 8" DIA. OR LARGER. ALL SINGLE FAMILY RESIDENTIAL SERVICE LATERALS SHALL BE 4" - SINGLE SERVICES.
- 3. ALL GRAVITY SANITARY SEWER LINES SHALL BE GREEN PVC SDR 26, ASTM D-3034. IN PLACES WHERE A MINIMUM COVER OF 4.0' CANNOT BE MAINTAINED, AWWA C-900 OR C-905 GREEN PVC DR-25, CLASS 100 OR CONCRETE ENCASEMENT SHALL BE USED. WATER LINES, RECLAIMED LINES, AND STORM DRAINAGE CROSSINGS SHALL ALSO FOLLOW THE CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND AS PER REGULATORY REQUIREMENTS.
- 4. MINIMUM GRAVITY SANITARY SEWER SLOPES ARE AS FOLLOWS:

8" PIPE 0.40 % 10" PIPE 0.30 % 12" PIPE 0.22 %

- 5. GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED WHENEVER POSSIBLE UNDER PAVED AREAS WITHIN PUBLIC RIGHTS-OF-WAY. UTILITY EASEMENTS SHALL BE PROVIDED WHENEVER PUBLICLY-OWNED SEWER LINES ARE CONSTRUCTED OUTSIDE OF A PUBLIC RIGHT-OF-WAY.
- 6. GRAVITY SANITARY SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY THE VOLUSIA COUNTY.
- 7. THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING OPERATIONS, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH.
- 8. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES IS NOT ACCEPTABLE. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY, COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE VOLUSIA COUNTY.
- 9. ON ALL EXCAVATION AND BACKFILLING THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING IN ORDER TO PROVIDE FOR THE SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE VOLUSIA COUNTY, THE DESIGN ENGINEER, AND THE DEVELOPER.
- 10. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO THE SPECIFIED MINIMUM COMPACTION (95% IN UNPAVED AREAS AND 98% IN PAVED AREAS) OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED PROCTOR TEST.
- 11. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED. TESTING SHALL BE COMPLETED AND TEST DOCUMENTS SUBMITTED TO THE VOLUSIA COUNTY AT A MINIMUM FREQUENCY OF ONE SET OF TESTS BETWEEN EACH MANHOLE AND ONE ADDITIONAL SET OF TESTS AT EVERY MANHOLE. IDENTIFICATION OF TEST LOCATIONS SHALL BE CLEARLY INDICATED ON TEST REPORTS. TEST RESULTS SHALL BE FORWARDED PROMPTLY TO THE VOLUSIA COUNTY'S DESIGNATED SITE INSPECTOR.
- 12. THE CONTRACTOR SHALL INSTALL A METALLIZED FOIL LOCATOR TAPE, OR SIMILAR DEVICE AS MAY BE APPROVED BY THE VOLUSIA COUNTY FOR THE FULL LENGTH OF ALL PVC SEWAGE FORCE MAINS. THIS PIPE LOCATOR AID SHALL BE INSTALLED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS DIRECTED BY THE MANUFACTURER. TAPE SHALL BE COLOR CODED GREEN FOR SANITARY SEWER AND FORCE MAIN.
- 13. ALL TESTING REQUIRED BY THE VOLUSIA COUNTY SHALL BE PAID FOR BY THE CONTRACTOR / DEVELOPER. 14. ALL LOCAL COLLECTION SANITARY SEWER MANHOLES SHALL BE PRECAST WITH A MINIMUM INSIDE DIAMETER
- OF 4 FEET 15. STANDARD MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 350 FEET.
- 16. THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER MANHOLES IN SUCH A WAY THAT SEWER LINES DO
- NOT INTERSECT SEALED JOINTS BETWEEN SECTIONS OF THE MANHOLE. 17. RUBBER BOOTS AND STAINLESS STEEL BANDS SHALL BE UTILIZED IN THE CONNECTION OF THE SEWER MAIN
- TO THE MANHOLES (SEE STANDARD MANHOLE AND BOOT DETAIL). 18. FOR MULTI-FAMILY AND COMMERCIAL SITES, SIX INCH MINIMUM SEWER SERVICES AND CLEANOUTS SHALL BE
- PROVIDED AS APPROVED BY THE VOLUSIA COUNTY. 19. SANITARY SEWER DROP MANHOLES SHALL ONLY BE USED UNDER SPECIAL CONDITIONS AS APPROVED BY THE
- VOLUSIA COUNTY. 20. ALL SANITARY SEWER FORCE MAINS, INCLUDING FITTINGS, SHALL BE PVC AWWA C-900, OR C-905 (COLOR
- "GREEN") (PRESSURE FITTINGS, PRESSURE CLASS 150 OR C-907) FITTINGS SHALL BE HARCO PVC GASKETED FITTINGS, MULTI-FITTINGS (OR APPROVED EQUAL.) THE FORCE MAIN MINIMUM DEPTH OF COVER SHALL BE
- 21. ALL SEWER MAINS PRIOR TO ANY FINAL PAVING OPERATION, SHALL BE TELEVISED USING A "PAN AND TILT" CAMERA BY A VOLUSIA COUNTY APPROVED CONTRACTOR. THE VIDEO SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING REVIEWED. WRITTEN VIDEO LOGS DESCRIBING THE CONDITION OF THE LINES SHALL ACCOMPANY THE TAPE SUBMISSION TO THE VOLUSIA COUNTY PRIOR TO COMMENCING ANY INSTALLATION OF ASPHALT OR CONCRETE PAVEMENT. RE-TAPING MAY BE REQUIRED BY THE VOLUSIA COUNTY IF ADDITIONAL CLEARING OR CORRECTIVE ACTIONS ARE NECESSARY.
- 22. SEWER LATERAL LOCATIONS SHALL BE MARKED ALONG THE OUTSIDE OF THE CURB WITH A SAW CUT "V", OR BY A METAL TAB SET INTO THE PAVEMENT.
- 23. EZ-WRAP PLASTIC, AS MANUFACTURED BY PRESS SEAL GASKET CORPORATION, SHALL BE USED ON THE OUTSIDE OF ALL MANHOLE AND WETWELL JOINTS. APPLY ONE LAYER OF 9" WRAP CENTERED ON EACH JOINT. A VOLUSIA COUNTY INSPECTOR SHALL PERSONALLY INSPECT ALL JOINT SEALS PRIOR TO BACKFILLING OPERATIONS.
- 24. AS A GENERAL RULE, THE NUMBER OF JOINTS SHALL BE LIMITED WHENEVER POSSIBLE. IN SPECIAL CASES WHERE A POINT REPAIR TO AN 8"TO 12" PVC SEWER MAIN IS REQUIRED, THE PROPER RIGID WRAP AROUND SLEEVE SUCH AS A JCM-210 OVERSIZED DUCTILE IRON COUPLING OR AN APPROVED EQUAL MAY BE ALLOWED BY SPECIAL APPROVAL BY THE VOLUSIA COUNTY.
- 25. ALL WORK PERFORMED UPON SANITARY SEWER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE VOLUSIA COUNTY SHALL BE CONSTRUCTED BY AN UNDERGROUND UTILITY CONTRACTOR, OR LICENSED GENERAL CONTRACTOR, WHO IS LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE VOLUSIA COUNTY
- 26. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AS-BUILTS ARE PROVIDED TO THE VOLUSIA COUNTY PRIOR TO ANY USE OF THE SYSTEM.
- 27. A BENCH IS TO BE PROVIDED ON EACH SIDE OF THE MANHOLE CHANNEL WHEN THE PIPE DIAMETER(S) ARE LESS THAN THE MANHOLE DIAMETER AND THAT NO LATERAL SEWER, SERVICE CONNECTION, OR DROP MANHOLE DISCHARGES ONTO THE SURFACE OF THE BENCH. THE BENCH CAN BE FACTORY OR FIELD FORMED WITH 3000 PSI PORTLAND CEMENT MIX DESIGN. BENCHES TO BE SLOPED @ 4.0% MINIMUM TO DRAIN INTO THE CHANNEL.
- 28. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING IS REQUIRED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NO PIPE SHALL EXCEED A DEFLECTION OF 5.0 %. THE TESTING REQUIREMENTS SHALL USE A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95 % OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, DEPENDING ON WHICH IS SPECIFIED IN ASTM SPECIFICATIONS INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED.
- 29. LEAKAGE TESTS SHOULD BE PERFORMED TO THE LATEST AWWA STANDARDS FOR THE PIPE MATERIAL SPECIFIED. THE LEAKAGE EXFILTRATION OR INFILTRATION SHALL NOT EXCEED (AT A MAXIMUM) 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY OR LOCAL AGENCY CRITERIA FOR ANY SECTION OF THE SYSTEM. THE EXFILTRATION OR INFILTRATION TESTS SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF TWO (2) FEET.
- 30. AIR TESTS, AS A MINIMUM, SHALL CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM -C924 FOR CONCRETE, ASTM F-1417 FOR PLASTIC PIPE AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.
- 31. SANITARY SEWER MANHOLES ARE TO BE INSPECTED FOR DAMAGE AND TO PERFORM31. HYDRAULIC TESTING IN ACCORDANCE WITH ASTM C 969. POTABLE WATER / SANITARY SEWER MAINS SEPARATION NOTES
- (RULES 62-604.400(2)(G) (I), F.A.C. AND 62-604.400(3), F.A.C.) 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAI DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- 2. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS. OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

POTABLE WATER DESIGN AND CONSTRUCTION NOTES

- OWNER/OPERATOR: THE ENTITY THAT WILL OWN, OPERATE AND MAINTAIN THE WATER SYSTEM SHOWN ON THESE PLANS IS THE VOLUSIA COUNTY. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF THAT ENTITY.
- 2. THE VOLUSIA COUNTY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.
- 3. DEWATERING: IN THE EVENT THAT WATER IS ENCOUNTERED DURING CONSTRUCTION DEWATERING SHALL BE PERFORMED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION. OPERATION, AND SUBSEQUENT REMOVAL OF DEWATERING SYSTEMS AND THEIR SAFETY AND CONFORMITY WITH LOCAL CODES AND REGULATIONS.
- 4. IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING: 1) 6" PUMP VOLUTE; 2) 100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING, AND; 3) 1,000,000 GPD PUMP CAPACITY, THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE SJRWMD. THE ENGINEER AND/OR OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY OF THE ABOVE THRESHOLDS ARE EXCEEDED.
- 5. AT ALL TIMES DURING CONSTRUCTION, KEEP EXCAVATIONS FREE FROM STANDING WATER. SUMPS, IF REQUIRED, SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER PUMPED FROM THE EXCAVATION SHALL BE DISCHARGED TO PREVENT REENTRY INTO THE SOIL STRATA BEING DEWATERED. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS. THE METHOD OF DISPOSING OF WATER PUMPED FROM THE EXCAVATION SHALL BE APPROVED BY THE ENGINEER, PRIOR TO ACTUAL DISPOSAL.
- 6. THE CONTRACTOR SHALL INSPECT THE SITE AND DETERMINE THE NEED FOR DEWATERING PRIOR TO SUBMITTING A BID FOR THIS PROJECT.
- 7. <u>PIPE BEDDING:</u> PIPING MUST BE BEDDED TRUE TO LINE AND GRADE WITH UNIFORM AND CONTINUOUS LONGITUDINAL SUPPORT FROM A FIRM BASE. BLOCKING MUST NOT BE USED TO BRING THE PIPE TO GRADE. PIPE BED SHALL BE UNDISTURBED EARTH AND, IN THE EVENT OF OVER EXCAVATION, THE CONTRACTOR SHALL REPLACE MATERIALS WITH MATERIALS SPECIFIED BY THE ENGINEER AND COMPACTED TO A DENSITY EQUAL TO THE NATIVE SOIL.
- 8. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE COUNTY WITH A MINIMUM COMPACTION OF 98% IN PAVED AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180.
- 9. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 1 FOOT ABOVE THE PIPE AND AT 1 FOOT VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.
- 10. PIPE IDENTIFICATION: BLUE WARNING INDICATOR TAPE SHALL BE BURIED IN THE WATER MAIN TRENCH 12" INCHES ABOVE THE WATER MAIN. THE CONTRACTOR SHALL INSTALL ALONG THE TOP OF THE PIPELINE A 14 GAGE LOCATOR WIRE. THE WIRE SHALL PROVIDE A CONTINUOUS ELECTRICAL CONNECTION FROM VALVE BOX TO VALVE BOX ALONG THE PIPELINE. ALL SPLICES SHALL BE MADE UTILIZING AN APPROVED U.L. CONNECTOR APPROVED FOR DIRECT BURIAL. WIRE SHALL BE ATTACHED TO THE PIPE UTILIZING AN APPROVED PLASTIC WIRE TIE OR TAPE.
- 11. ALL SINGLE RESIDENTIAL WATER SERVICES SHALL BE 3/4", DOUBLE RESIDENTIAL SERVICES SHALL BE 1", AND COMMERCIAL SERVICES 1-1/2" OR 2". POLYETHYLENE TUBING SHALL BE USED, IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: POLYETHYLENE TUBING SHALL BE CTS 3408 HIGH DENSITY TUBING, BLUE IN COLOR, AND RATED FOR A MINIMUM OF 200 P.S.I. WITH SDR OF 9 (CTS). THE TUBING SHALL HAVE A VIRGIN HIGH DENSITY POLYETHYLENE CENTER FOR WHICH THE MANUFACTURER SHALL FURNISH A CERTIFICATE OF PURITY. THE TUBING SHALL HAVE UV PROTECTION AND SHALL NOT BE AFFECTED BY DIRECT SUNLIGHT. THE TUBING SHALL COMPLY WITH OR EXCEED THE APPLICABLE STANDARDS OF A.S.T.M. D1248, D3350, D2239, D2737, N.S.F. 14 AND A.W.W.A. C901 AND SHALL COME WITH A LIFETIME WARRANTY. ACCEPTABLE MANUFACTURERS: ENDOT ENDO PURE OR APPROVED EQUAL
- 12. ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GROUND AND ANY "U" BRANCHES FOR DOUBLE SERVICES SHALL BE AT GROUND LEVEL. ALL SERVICES SHALL BE LOCKED.
- 13. WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 750
- 14. AT ALL WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE.
- 15. ALL WATER VALVES SHALL BE ADJUSTED TO FINISHED GRADE AND THE CAPS PAINTED BLUE TO MAKE THEM PLAINLY VISIBLE
- 16. UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPENED BY PUBLIC UTILITIES PERSONNEL. AT NO TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES.
- 17. TYPICALLY, A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED AT EVERY INTERSECTION. OTHER FIRE HYDRANTS SHALL BE LOCATED SO AS TO PRODUCE A MAXIMUM 250 FEET HOSE LAY ALONG THE STREET FOR ALL RESIDENTIAL BUILDINGS.
- 18. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED TO MAKE THEM EASILY ACCESSIBLE TO FIRE PERSONNEL IN CASE OF A FIRE. THE PRIMARY HYDRANT PORT SHOULD ALWAYS FACE THE STREET.
- 19. ALL PIPING SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651.
- 20. ALLOWABLE LEAKAGE FOR DUCTILE IRON PRESSURE MAINS WILL BE IN ACCORDANCE WITH AWWA C600.
- 21. ALLOWABLE LEAKAGE FOR PVC PRESSURE MAINS WILL BE IN ACCORDANCE WITH AWWA-M23.
- 22. ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES.
- 23. THE CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF ALL NECESSARY TEST PUMPING EQUIPMENT. WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC AND LEAKAGE TESTING. CONTRACTOR SHALL CONTACT THE ENGINEER, OWNER/OPERATOR, FIRE DEP'T & CITY IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION
- 24. THE WATER SYSTEM SHALL BE TESTED FOR LEAKAGE AT 150 PSI FOR TWO (2) HOURS, WITH ALLOWABLE LEAKAGE IN ACCORDANCE WITH ABOVE STANDARDS.
- 25. CONTRACTOR SHALL OBTAIN A COPY OF THE FDEP WATER SYSTEM PERMIT AND TAKE BACTERIOLOGICAL TEST SAMPLES FROM THE SAMPLE POINTS SPECIFIED IN THE PERMIT AND SUBMIT TESTING RESULTS ALONG WITH THE "AS-BUILTS" TO ENGINEER.
- 26. WATER MAINS SHALL BE C-900 PVC OR C-905 CL 150 (COLOR"BLUE") OR D.I.P. PRESSURE CLASS 350 STANDARD CEMENT LINED UNLESS OTHERWISE APPROVED BY THE COUNTY.
- 27. PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER APPROVED PRESSURE TESTING AND HAVE FDEP (HEALTH DEPT.) CLEARANCE. REFER TO FDEP PERMIT FOR ANY ADDITIONAL REQUIREMENTS.
- 28. IN AREAS WHERE RECLAIMED WATER IS NOT AVAILABLE THE CONTRACTOR SHALL BE REQUIRED TO (UPON SATISFACTORY COMPLETION OF THE PRESSURE TEST) TRANSFER THE WATER FROM THE POTABLE WATER LINES TO THE RECLAIMED WATER LINES FOR UTILIZATION IN THEIR PRESSURE TEST.
- 29. IN AREAS WHERE RECLAIMED WATER IS AVAILABLE, RECLAIMED WATER WILL BE UTILIZED IN THE PRESSURE TESTING OF NEW RECLAIMED WATER LINES.
- 30. PIPE INSTALLATION OF PVC WATER MAIN SHALL BE IN CONFORMANCE WITH ASTM D2774 (LATEST EDITION). INSTALLATION OF DUCTILE IRON PIPE WATER MAIN SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF AWWA C600.
- 31. MINIMUM COVER OVER ALL PIPE SHALL BE 36" FROM TOP OF PIPE TO FINISHED GRADE.
- 32. UNLESS OTHERWISE NOTED, ALL PLUGS, CAPS, TEES, BENDS, VALVES, ETC., SHALL BE RESTRAINED IN ACCORDANCE WITH THE JOINT RESTRAINT TABLE.
- 33. ALL WATER SERVICES SHALL BE MARKED WITH AN " \land " SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT.
- 34. ALL WATER VALVES SHALL BE MARKED WITH AN "X" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT. BLOW-OFFS SHALL BE MARKED SIMILARLY, AS WELL.
- 35. WATER SERVICES SHALL BE NORMALLY DOUBLE 1" SERVICES LOCATED AT SIDE LOT LINES. IN INSTANCES WHERE SERVICES NEED TO BE OFFSET, 3/4" SINGLE SERVICES SHALL BE SPECIFIED. THESE SERVICES MAY
- BE OFFSET A MAXIMUM OF 2.0' FROM SIDE LOT LINES. 36. ALL WORK PERFORMED UPON POTABLE WATER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE PROPERY OWNERS ASSOCIATION SHALL BE CONSTRUCTED BY AN UNDERGROUND UTILITY CONTRACTOR OR
- 37. FOR CONSTRUCTION PURPOSES, THE PLANS SHALL DIMENSION THE PROPOSED LOCATIONS OF ALL WATER MAINS MEASURED FROM THE BACK OF CURB (OR EDGE OF PAVEMENT, IF NO CURB IS USED).
- 38. ALL H.D.P.E. PIPE UTILIZED FOR WATER, FORCE MAIN AND/OR RECLAIMED WATER MAIN EXTENSIONS SHALL BE S.D.R. 11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP PIPE TO WHICH IT IS ATTACHED.
- 39. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCLUDED IN THEIR BID PRICES.

GENERAL CONTRACTOR LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE VOLUSIA COUNTY.

ROADWAY CONSTRUCTION NOTES

ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY'S DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT DESIGN STANDARDS (LATEST FDITION)

1. ALL RIGHT-OF-WAY OTHER THAN ROADWAY AREAS SHALL BE GRASSED AND MULCHED OR SODDED. ALL SLOPES STEEPER THAN 6:1 SHALL REQUIRE SODDING. THE CITY RESERVES THE RIGHT TO REQUIRE SODDING IN SPECIAL AREAS WHERE EROSION IS A CONCERN. 2. THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE

SWALE PROFILE GRADES 0.2% - 1.0%

1.0% - 4.0%4.0% AND GREATER

PROTECTION REQUIRED GRASSING AND MULCHING SODDING DITCH PAVING

- 3. THE PAVEMENT, BASE, AND SUBBASE THICKNESS PRESENTED ON DETAILS REPRESENTS THE MINIMUM REQUIREMENTS FOR LOCAL PUBLIC STREETS AND PRIVATE PARKING LOTS. THE CITY RESERVES THE RIGHT AT ITS' DISCRETION TO INCREASE THESE REQUIREMENTS FOR COLLECTOR AND ARTERIAL ROADWAYS AND PRIVATE PARKING LOTS SUBJECTED TO HEAVY VEHICULAR COMMERCIAL TRAFFIC 4. THE DEVELOPER SHALL PROVIDE AT THEIR OWN EXPENSE A CERTIFIED SOILS ENGINEERING LABORATORY TO PERFORM
- ALL FIELD AND LABORATORY TESTING REQUIRED TO VERIFY THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE CITY'S MINIMUM STANDARDS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ENSURE THAT COPIES OF ALL TEST REPORTS ARE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR PRIOR TO THE PROJECT FINAL INSPECTION IN ORDER TO ALLOW PROJECT ACCEPTANCE BY THE CITY. 5. THE LIMITS OF STABILIZED SUBBASE SHALL EXTEND TO A DEPTH OF SIX INCHES (6") BELOW THE BOTTOM OF THE
- BASE AND OUTWARD TO TWELVE INCHES (12") BEYOND THE CURB. 6. THE STABILIZING MATERIAL, IF REQUIRED, SHOULD BE A HIGH BEARING VALUE SOIL, SAND-CLAY, LIMEROCK, RECYCLED CONCRETE, SHELL, OR OTHER MATERIAL AS APPROVED BY THE CITY'S ENGINEER OR DESIGNEE AND A LICENSED SOILS
- ENGINEER. 7. COMPACTION, STABILITY AND DENSITY TESTING FOR PAVEMENT, BASE AND SUB-BASE ARE TO BE DONE
- ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION. 8. FOR ROADWAYS, TESTS FOR SUBBASE BEARING CAPACITY AND COMPACTION SHALL BE DONE AT A MINIMUM OF EVERY 300 FEET AND SHALL BE STAGGERED TO THE LEFT, RIGHT, AND AT CENTER LINE OF THE ROADWAY. FOR SITE
- PLANS, TEST SHALL BE PERFORMED FOR EVERY 600 SQUARE YARDS OF STABILIZED AREA, OR PORTIONS THEREOF. 9. CEMENT DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR AT THE TIME OF
- PLACEMENT. IF THE INSPECTOR IS NOT ON SITE THROUGHOUT THE ENTIRE INSTALLATION, ACCUMULATED DELIVERY TICKETS CAN BE PROVIDED TO THE INSPECTOR BY THE CONTRACTOR ON THE FOLLOWING DAY. 10. TESTING OF THE IN-PLACE BASE SHALL BE DONE AT INTERVALS EQUIVALENT TO SUBGRADE TESTING AND SHALL
- CONSIST OF. AS A MINIMUM. A MOISTURE CONTENT AND COMPACTION TEST. 11. PORTLAND CEMENT CONCRETE, LIMEROCK, RECYCLED CONCRETE, OR FULL DEPTH ASPHALT PAVEMENT MAY BE USED IN PLACE OF SOIL CEMENT BASE. ALL BASE AND ROADWAY DESIGNS SHALL BE SUBJECT TO THE APPROVAL OF THE
- 12. RECYCLED CONCRETE CAN BE USED AS A BASE MATERIAL PROVIDED THE MATERIAL IS A MINIMUM OF 60% CARBONATE OF CALCIUM AND MAGNESIUM. THE MATERIAL SHALL BE LIMITED TO MAXIMUM OF 3% OF WATER SENSITIVE CLAY MATERIAL. LIQUID LIMIT SHALL NOT EXCEED 35 AND BE NON-PLASTIC, AND THE PLASTICITY INDEX SHALL NOT EXCEED 10 THE MATERIAL SHALL NOT CONTAIN ORGANIC MATERIAL CHERTY OR OTHER EXTREMELY HARD PIECES. LUMPS, BALLS OR POCKETS OF SAND SIZE MATERIAL OF A QUANTITY AS TO BE DETRIMENTAL TO THE PROPER BONDING, FINISHING, OR STRENGTH OF THE RECYCLED CONCRETE BASE. FOR BASE APPLICATIONS, AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 1" SIEVE AND FOR SUBBASE APPLICATIONS, AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 1-光" SIEVE. FOR BOTH APPLICATIONS, THE MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST AND THE MINIMUM LBR VALUES ARE TO BE NOT LESS THAN 120. COARSE AGGREGATE USED IN THE RECYCLED CONCRETE SHALL HAVE A MAXIMUM LOSS OF 45% PER LOS ANGELES ABRASION TEST. ALL MATERIALS SHALL BE WELL GRADED N ACCORDANCE WITH REQUIREMENTS SET FORTH IN SECTION 204, F.D.O.T., STANDARD SPEC. FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- 13. RECYCLED CONCRETE OR LIMEROCK FOR BASE OR SUBBASE APPLICATIONS SHALL BE ALLOWED ON CITY ROADWAYS ONLY WHERE THE LOWEST ELEVATION OF THE ROADWAY SUBBASE IS A MINIMUM OF 6" ABOVE THE SEASONAL HIGH GROUNDWATER TABLE AS CERTIFIED BY A FLORIDA LICENSED PROFESSIONAL SOILS ENGINEER AND SUBSEQUENTLY APPROVED FOR BY THE CITY. ALL CRUSHING OF RECYCLED CONCRETE SHALL BE DONE PRIOR TO THE MATERIAL BEING PLACED IN THE ROADWAY. TESTING SHALL HAVE THE SAME REQUIREMENTS AND BE PERFORMED AT THE SAME LOCATION AND INTERVALS AS REQUIRED FOR LIMEROCK.
- 14. DESIGN MIXES AND PRODUCT GRADATION INFORMATION FOR ALL MATERIALS TO BE INSTALLED AS PART OF THE LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY'S DESIGNATED SITE INSPECTOR FOR ACCEPTANCE BY THE CITY. THE INFORMATION SHALL BE SUBMITTED NO LESS THAN THREE (3) WORKING DAYS PRIOR TO ANY CONSTRUCTION. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO, INFORMATION TO EVALUATE THE MATERIALS PROPOSED FOR INSTALLATION AS SUBBASE, BASE, AND PAVEMENT FOR ALL ROADWAY AND PARKING AREA SURFACES AS WELL AS SIMILAR INFORMATION FOR ALL OTHER CONCRETE SIDEWALKS, CURBING, AND COMPARABLE STRUCTURES AND APPLICATIONS.
- 15. PRIOR TO PLACEMENT FLORIDA STATE CERTIFIED BATCH PLANTS MUST CERTIFY TO THE CITY'S RESIDENT PROJECT INSPECTOR THAT THE ASPHALT DELIVERED TO THE SITE IS IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. 16. EXTRACTION AND GRADATION TESTS ON ASPHALT MIXES SHALL BE PROVIDED TO THE CITY'S DESIGNATED SITE
- INSPECTOR FOR EVERY 2500 SQUARE YARDS OF ASPHALT, OR PART THEREOF, TO ENSURE THAT DESIGN MIXES MEET THE CITY STANDARD SPECIFICATIONS AT NO ADDITIONAL COST TO THE CITY. 17. ASPHALT PAVEMENT TESTING IS TO BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD &
- BRIDGE CONSTRUCTION TABLE 334-5, LATEST EDITION. 18. IN ADDITION TO THE FIELD DENSITY TESTS NOTED, THE CITY RESERVES THE RIGHT TO REQUIRE CORE SAMPLES OF PAVEMENT SECTIONS EXTRACTED AND TESTED BY A CERTIFIED SOILS ENGINEERING LABORATORY AT THE DEVELOPER'S EXPENSE. THE CITY'S DESIGNATED SITE INSPECTOR SHALL DESIGNATE THE LOCATIONS OF THE TEST CORE LOCATIONS. 19. THE ROADWAY CROWN SHALL HAVE A STANDARD ONE QUARTER INCH (1/4") PER FOOT CROSS SLOPE. 20. ALL ROADWAYS WITH CURB AND GUTTER SECTIONS SHALL HAVE AS A STANDARD A MINIMUM LONGITUDINAL SLOPE OF
- 0.30%. THE ROADWAY CENTERLINE SHALL BE CLEARLY MARKED ON THE DESIGN PLANS. AT A MINIMUM, DESIGN ROADWAY CENTERLINE ELEVATIONS SHALL BE NOTED AT ALL GRADE CHANGES AND AT 50' min. INTERVALS ALONG THE ROADWAY PROFILE ON BOTH THE DESIGN PLANS AND AS-BUILT DRAWINGS. 21. THE FINISHED PAVEMENT EDGE SHALL BE WITHIN ONE EIGHTH INCH (%") ABOVE THE ADJACENT CONCRETE CURB FOR
- CURBS COLLECTING AND CONVEYING STORMWATER. 22. CONCRETE CURBS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS AND ALL CONCRETE CURBS SHALL BE CONSTRUCTED WITH 3500 P.S.I. CONCRETE AT 28 DAYS.
- 23. CONTROL JOINTS IN CONCRETE CURBING, SIDEWALKS, PAVEMENT AND SIMILAR CONCRETE AREAS SHALL BE SAW CUT WITHIN 4 TO 18 HOURS OF PLACEMENT. ALL CONTROL JOINTS SHALL BE 🔏 IN WIDTH TO A DEPTH OF 25% OF THE TOTAL DEPTH OF CONCRETE OR $1-\beta$ ", WHICHEVER IS LESS. CONTROL JOINTS SHALL BE SPACED AT INTERVALS OF TEN FEET (10') FOR CURBING, TEN FEET (10') FOR BIKE TRAILS AND FIVE FEET (5') FOR SIDEWALKS WITH EXPANSION JOINTS AT STREET INTERSECTIONS, RADIUS POINTS, STRUCTURES, AND ALONG CURVES AT SIXTY FEET (60') INTERVALS. EXPANSION JOINTS ARE TO BE 1/2" PREFORMED SYNTHETIC OR RECYCLED RUBBER. ALL EXPANSION JOINTS ARE REQUIRED TO BE INSTALLED THROUGH TO THE FULL DEPTH AND WIDTH OF THE CONCRETE AREA. FOR LINEAL SECTIONS OF CURBS, EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM SPACING OF FIVE-HUNDRED FEET (500') AND SHALL BE 兆" IN WIDTH.
- 24. AN "X" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF WATER DISTRIBUTION SYSTEM VALVE. 25. A "V" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL SEWER SERVICES.
- 26. A "A" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL RECLAIMED WATER SERVICES.
- 27. A "()" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL POTABLE WATER SERVICES. 28. THRĚE (3) CONCRETE CYLINDERS SHALL BE TAKEN AND TESTED (1 IN 14 DAYS, 1 IN 28 DAYS AND 1 IN 56 DAYS) FOR EVERY FIFTY (50) CUBIC YARDS OF CONCRETE OR LESS PLACED. TEST RESULTS SHALL THEN BE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR AS THEY BECOME AVAILABLE.
- 29. A CONCRETE SLUMP TEST SHALL BE REQUIRED WITHIN THE FIRST 30 CUBIC YARDS OF CONCRETE. THEREAFTER. SLUMP TESTS SHALL BE REQUIRED FOR EVERY FIFTY (50) CUBIC YARDS OF CONCRETE, OR FRACTION THEREOF, WITH COPIES OF THE RESULTS PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR. THE SLUMP TEST SHALL MEET THE REQUIRED MIX DESIGN ON EACH LOAD DELIVERED.
- 30. THE DEVELOPER SHALL PROVIDE ALL REQUIRED PAVEMENT MARKINGS ON ALL ROADWAYS PER CITY, COUNTY, AND STATE REQUIREMENTS. CENTERLINE STRIPES SHALL BE PROVIDED ON EXTENSIONS OF CITY COLLECTOR OR ARTERIAL ROADS, COUNTY ROADS, STATE HIGHWAYS, AND ALONG LOCAL STREETS IN THE VICINITY OF THEIR INTERSECTION WITH THE ABOVE MENTIONED ROADWAYS.
- 31. A FDOT APPROVED STOP SIGN AND A 24"-WIDE WHITE THERMOPLASTIC STOP BAR ARE REQUIRED AT ALL ROADWAY INTERSECTIONS 32. ALL TRAFFIC CONTROL DEVICES PLACED AT INTERSECTIONS, PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND
- STATE HIGHWAYS WITHIN THE CITY LIMITS SHALL BE INSTALLED ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. THE MAINTENANCE-OF-TRAFFIC (MOT) INSTALLATION AND SUBSEQUENT OPERATION SHALL BE OVERSEEN BY A CONTRACTOR CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION, OR EQUIVALENT CERTIFICATION RECOGNIZED BY FDOT.
- 33. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR TRAFFIC CONTROL DEVICES TO THE CITY FOR INSTALLATION. STREET SIGNS AND STOP SIGNS SHALL BE PLACED AT ALL INTERSECTIONS, INCLUDING BUT NOT LIMITED TO PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND STATE HIGHWAYS WITHIN THE CITY LIMITS.
- 34. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR ALL STREET LIGHTS PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY. 35. FIVE FOOT min. (5') WIDE SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL RESIDENTIAL STREETS. PER THE
- CITY &/OR FDOT DESIGN STANDARDS, LATEST EDITION. 36. EIGHT FOOT min. (8') WIDE BIKE PATHS SHALL BE ALONG ARTERIAL HIGHWAYS AS DIRECTED BY THE CITY. PER THE CITY &/OR FDOT DESIGN STANDARDS, LATEST EDITION.
- 37. STANDARD TURNING RADII FOR INTERSECTIONS: RESIDENTIAL STREETS WITH STATE AND COUNTY ROADWAYS, OR
 - 35-50 FT MAJOR THOROUGHFARES WITHIN THE CITY ENTRANCES TO COMMERCIAL SITES OFF OF CITY STREETS; 35 FT.
- INTERSECTIONS INTERIOR IN SUBDIVISIONS; 35 FT. SHOULD VOLUSIA COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) DETERMINE THAT LARGER
- RADII ARE WARRANTED WITHIN THEIR RIGHT-OF-WAY, THE LARGER RADII SHALL PREVAIL. 38. CONSTRUCTION METHODS AND DESIGN FOR CONCRETE PAVEMENT SHALL CONFORM TO FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. 39. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS (INCLUDING WATER MAINS, SANITARY SEWER MAINS, RECLAIMED WATER MAINS, STORM WATER PIPES
- AND INLETS, ROADWAYS, AND PARKING FACILITIES) SHALL BE CERTIFIED WITH THE STATE OF FLORIDA BOARD OF PROFESSIONAL REGULATIONS (BPR) FOR THE TYPE OF WORK THAT THEY PERFORM. 40. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION WORK OF LAND DEVELOPMENT CODE REQUIRED
- IMPROVEMENTS SHALL BE LICENSED BY THE STATE OF FLORIDA AND REGISTERED WITH THE CITY OF DAYTONA BEACH. THE LICENSE AND REGISTRATION SHALL PERTAIN DIRECTLY TO THE TYPE OF WORK BEING PERFORMED. 41. EXCEPT AS PROVIDED IN THE LAND DEVELOPMENT CODE, ALL ELECTRIC, TELEPHONE, TELEVISION LINES AND SIMILAR UTILITIES ARE REQUIRED TO BE INSTALLED UNDERGROUND AT THE EXPENSE OF THE OWNER, DEVELOPER, AND BUILDER.

ROADWAY CONSTRUCTION NOTES (CONT'D)

42. UTILITY DEPTH: A. HIGH VOLTAGE UTILITIES SUCH AS POWER (FEEDER, SERVICE, AND DROPS) SHALL BE BURIED A MINIMUM OF 30 INCHES IN DEPTH. B. LOW VOLTAGE UTILITIES SUCH AS PHONE AND CABLE TV SHALL BE BURIED A MINIMUM OF 18 INCHES IN DEPTH FOR FEEDER AND SERVICES. SERVICE DROPS SHALL BE BURIED A MINIMUM OF 12 INCHES IN DEPTH. C. IN NO INSTANCE SHALL THE DEPTH OF COVER BE LESS THAN 36" FROM FINISHED GRADE TO THE TOP OF PIPE FOR POTABLE WATER MAINS. SANITARY SEWER MAINS. AND RECLAIMED WATER MAINS. HOWEVER, IN THE EVENT THAT THIS CONDITION CANNOT BE MET DUE TO UNANTICIPATED CONFLICTS DURING THE CONSTRUCTION PROCESS, DUCTILE IRON PRESSURE CLASS 350 OR CONCRETE ENCASEMENT MAY BE USED AS APPROVED BY THE CITY PUBLIC UTILITIES DEPARTMENT. 43. LANDSCAPE PLANS SHALL CLEARLY DEPICT THE DESIGN LOCATION OF PLANTINGS RELATIVE TO THE LOCATION OF UNDERGROUND AND OVERHEAD PUBLIC UTILITIES AND STORMWATER INFRASTRUCTURE IN ORDER TO ELIMINATE ANY POTENTIAL CONFLICTS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR SHALL PERFORM ALL PROJECT WORK IN ACCORDANCE WITH FDOT DESIGN STANDARDS, LATEST EDITION. NO LANE CLOSURES ARE PERMITTED BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. NIGHT WORK MAY BE SCHEDULED TO LESSEN TRAFFIC IMPACT & INCONVENIENCE TO GENERAL PUBLIC AND MUST BE APPROVED BY CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK. 2. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL OF HIS/HER MAINTENANCE OF TRAFFIC (MOT) PLANS FOR ANY LANE CLOSURES FROM THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST TWO (2) WEEKS IN ADVANCE OF ANY LANE 3. EXISTING SIGNING AND PAVEMENT MARKINGS TO BE MAINTAINED UNLESS SHOWN OTHERWISE IN THESE PLANS. 4. TWO (2) WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT ENTIRE LENGTH OF PROJECT. 5. TWO (2) WAY ACCESS TO BUSINESSES AND PRIVATE DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. TEMPORARY DRIVEWAY CLOSURES MAY BE ALLOWED IF SHARED ACCESS IS AVAILABLE OR IF WRITTEN AUTHORIZATION FROM THE PROPERTY OWNER IS PROVIDED TO CITY PRIOR TO COMMENCEMENT OF WORK ACTIVITIES. 6. VARIABLE MESSAGE BOARDS SHALL BE INSTALLED 48 HOURS PRIOR TO LANE CLOSURES. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE NUMBER OF BOARDS AND LOCATIONS, TO BE VERIFIED PRIOR TO COMMENCEMENT OF 7. ALL TRAFFIC CONTROL SIGN AND PAVEMENT MARKINGS SHALL COMPLY WITH THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION. 8. CONTRACTOR TO MAINTAIN TRAFFIC AND PROPER DROP OFF CRITERIA PER INDEX 600. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING PROPER DEVICES WHEN A DROP OFF CONDITION CANNOT BE AVOIDED. 9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE GENERAL PUBLIC AND PUBLIC AGENCIES OF

FDOT GENERAL NOTES

ROAD CLOSURES AT LEAST 48 HOURS IN ADVANCE.

CONDITIONS OR CONSTRUCTION OPERATIONS.

1. MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A CERTIFIED PERSON. 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY LANE CLOSURES OR BEGINNING ANY CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY. 3. ALL CONSTRUCTION IN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATION MANUAL 4. IF THE DEPARTMENT DETERMINES THAT AS-BUILT CONDITIONS VARY SIGNIFICANTLY FROM THE APPROVED PLANS, THE PERMITTEE SHALL PROVIDE AS-BUILT PLANS, ALONG WITH A RECORD DRAWINGS REPORT BY PERMITTEE'S PROFESSIONAL ENGINEER, FORM 850-040-19, WITHIN 30 DAYS. 5. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT. 6. TEST RESULTS OF ANY TESTS TAKEN FOR OR DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE FDOT UPON REQUEST. 7. ALL CONCRETE TO BE REMOVED SHALL BE SAW CUT AT THE NEAREST JOINT IN GOOD CONDITION, SO AS TO PRODUCE A CONNECTION WITH NEW CONCRETE THAT IS FREE OF CRACKS, DEFORMITY IN SHAPE, NOTICEABLE VOIDS, SURFACE IRREGULARITIES, AND OTHER DEFECTS. 8. ALL CONCRETE SHALL BE AN APPROVED FDOT MIX DESIGN OF 3,000 PSI.

9. ALL MATERIALS INSTALLED WITHIN FDOT RIGHT OF WAY SHALL BE LIMITED TO THOSE ON THE FDOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.

<u>EARTHWORK</u> EROSION CONTROL

1. EROSION AND SILTATION CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. THESE MEASURES ARE TO BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND ARE TO BE MAINTAINED OR REPAIRED ON AN IMMEDIATE BASIS AS REQUIRED.

3. SILT FENCE SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF EXISTING VEGETATION AND PRIOR TO INSTALLATION OF INFRASTRUCTURE. 4. TEMPORARY EROSION CONTROL MEASURES AS NEEDED SHALL BE UTILIZED DURING CONSTRUCTION TO PROTECT OFF-SITE FACILITIES. 5. ALL DELINEATED MEASURES ARE THE MINIMUM REQUIRED; ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDING ON ACTUAL SITE

LIMITS OF DISTURBANCE

THE LIMITS OF DISTURBANCE WILL REMAIN WITHIN THE CLEARING LIMITS (ROAD RIGHT OF WAY) AS SHOWN ON THESE CONSTRUCTION PLANS. THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.

CLEARING AND GRUBBING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR UTILITY CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO MODIFY THE EXISTING SITE AS SHOWN ON THE DRAWINGS.

CONTRACTOR REQUIREMENTS FOR SITE CLEARING, GRADING, AND EROSION CONTROL DESIGN AND CONSTRUCTION NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDER-STORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.

2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.

3. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS. THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC ABC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.

4. WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.

5. AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS.



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CONTRACTOR REQUIREMENTS FOR SITE CLEARING, GRADING, AND EROSION CONTROL DESIGN AND CONSTRUCTION NOTES (CONT'D)

- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE. WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE, THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOD, AS REQUIRED.
- 7. FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND OR/ SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- 8. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
- 9. ABSOLUTELY NO BURYING OF CLEARED OR ORGANIC MATERIALS ARE PERMITTED.
- 10. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED.
- 11. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE ENGINEER PRIOR TO FILLING. 12. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- 13. DURING SUBDIVISION DEVELOPMENT WHEN FUTURE BUILDING LOTS ARE FILLED AS PART OF THE OVERALL SUBDIVISION IMPROVEMENTS, COMPACTION TEST REPORTS MUST BE PERFORMED ON THE BUILDING LOTS AT 300 FOOT INTERVALS. THESE TESTS ARE TO BE PERFORMED IN ONE-FOOT VERTICAL INCREMENTS. THE RESULTS OF THESE TESTS ARE TO BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE TESTS.
- 14. IF ANY MUCK MATERIAL IS DISCOVERED. IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- 15. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY. WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT.
- 16. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNITS CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS. AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY.
- 17. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
- 18. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A Ph RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.
- 19. THE SOIL INVESTIGATION REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS. SHOULD A CONFLICT OCCUR BETWEEN THE SPECIFICATIONS AND THE SOIL REPORT, THE SOIL REPORT SHALL GOVERN.

TECHNICAL SPECIFICATIONS FOR SITE PLANS AND SUBDIVISIONS TESTING

MATERIALS

THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS, LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES, OR SUCH SPECIAL OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE. THE CONTRACTOR SHALL NOT INCORPORATE ANY MATERIAL OR FINISHED ARTICLE INTO THE WORK UNTIL THE RESULTS OF THE INSPECTIONS OR TESTS ARE KNOWN AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER OF RECORD THAT THE MATERIAL OR FINISHED ARTICLE IS ACCEPTED. ALL MATERIALS MUST BE OF THE SPECIFIED QUALITY AND BE EQUAL TO THE APPROVED SAMPLE IF A SAMPLE HAS BEEN SUBMITTED. CERTIFIED COPIES OF ALL TESTS MADE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS WELL AS TO THE CITY'S DESIGNATED SITE INSPECTOR. THE CITY'S DESIGNATED SITE INSPECTOR MUST RECEIVE COPIES OF ALL TESTING REPORTS AND CERTIFICATES PRIOR TO THE ENGINEER OF RECORD REQUESTING A FINAL PROJECT INSPECTION FROM THE CITY.

B. LABORATORY CONTROL AND CERTIFICATES

SPECIFICATIONS

SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED. THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

2. <u>TEST & CERTIFICATES</u>

THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED. ADDITIONAL TESTS THAT MAY BE REQUIRED BY FITHER THE ENGINEER OF RECORD OR THE CITY SHALL ALSO BE PROVIDED BY THE CONTRACTOR, AND THE FOLLOWING SHALL NOT BE TAKEN AS A COMPLETE AND EXHAUSTIVE LIST OF THE CONTRACTOR'S TESTING RESPONSIBILITIES.

- A. SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION. B. PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND
- ATTERBERG LIMITS C. SOIL CEMENT MIX DESIGNS AND COMPRESSIVE STRENGTH TESTS (FOR SOIL
- CEMENT ROAD BASE ONLY).
- SUPERVISION OF ALL SOIL CEMENT BASE CONSTRUCTION. ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.
- ASPHALT MIX DESIGN, BITUMEN CONTENT, SIEVE ANALYSIS, HUBBARD FIELD STABILITY TESTS, NUCLEAR DENSITY TESTS (BACKSCATTER METHOD), AND
- ANALYSIS OF CORE SAMPLES. G. CONCRETE MIX DESIGNS FOR ALL APPLICATIONS INCLUDING PAVEMENT,
- CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS AND DRIVEWAYS.
- H. COMPRESSIVE TEST CYLINDERS AND SLUMP TESTS FOR ALL APPLICATIONS OF CONCRETE. INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS, AND DRIVEWAYS,
- CHLORINE RESIDUAL AND BACTERIOLOGICAL TESTING OF WATER MAINS. PRESSURIZED LEAK TESTING OF WATER MAINS, FORCE MAINS, AND RECLAIMED WATER MAINS.

<u>AS-BUILTS</u>

AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY. THE CONTRACTOR SHALL PROVIDE VERTICAL AND HORIZONTAL "AS-BUILT" INFORMATION RELATIVE TO ALL CONSTRUCTED UTILITIES AND STRUCTURES.

AS-BUILT INFORMATION FOR THE WATER MAIN SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

1. LOCATION OF ALL VALVES, FITTINGS, ETC.

REQUIREMENTS.

- 2. LOCATION OF THE WATER MAIN TIED HORIZONTALLY TO THE SURVEY BASE LINE AND EDGE OF PAVEMENT.
- 3. CERTIFICATION AS TO THE SYSTEM MEETING THE MINIMUM COVER
- 4. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION WHICH DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.

<u>SHOP DRAWINGS</u>

SHOP DRAWINGS AND CERTIFICATIONS FOR ALL MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL REVIEW AND SIGN SHOP DRAWINGS. THE CONTRACTOR SHALL SUBMIT REVIEWED SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.

- AS-BUILT DRAWINGS. AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS).
- AS-BUILT
- 3. ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES, 100' INTERVALS ALONG ROADWAY, AND OTHER SYSTEM WILL FUNCTION AS ORIGINALLY DESIGNED.
- APPROPRIATE.
- INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT.
- CLEARLY INDICATED AS BEING AS-BUILT INFORMATION
- UTILIZED TO GRAPHICALLY DESCRIBE THESE TOPOGRAPHIC FEATURES
- REQUIRED AND PROVIDED RETENTION VOLUMES.
- NOTED ON THE AS-BUILT.
- RECORDED EVERY 100 FEET. SIDE SLOPES SHALL ALSO BE INDICATED. WRITTEN NEXT TO IT.
- APPROPRIATE PLAN AND PROFILE SHEET AS WELL AS ON THE MASTER DRAINAGE PLAN.
- CLEARLY INDICATED AS BEING AS-BUILT INFORMATION.
- LINE SHALL BE CLEARLY DIMENSIONED, LOCATED, AND LABELED.
- FOR PRESENCE AND ACCURACY OF LOCATION.
- 17. POTABLE AND RECLAIMED WATER MAIN LINES SHALL BE DIMENSIONED OFF THE BACK OF CURB, OR EDGE OF PAVEMENT IF BEING AS-BUILT INFORMATION.

RECLAIMED WATER CONSTRUCTION & DESIGN NOTES

- HOLIDAYS) PRIOR TO BEGINNING ANY RECLAIMED WATER SYSTEM CONSTRUCTION
- CONTRACTOR, AT THE TIME OF FINAL SUBDIVISION INSPECTION.
- IESTING
- COUNTY PRIOR TO ANY USE OF THIS SYSTEM.

- THAT THE WATER IS NOT INTENDED FOR DRINKING OR SWIMMING.
- PUBLIC AND ANY PRIVATE POTABLE WATER SUPPLY WELLS.
- FACILITIES.
- RW_16
- RECLAIMED WATER MAIN BEING LAID.

REQUIREMENTS FOR AS-BUILT DRAWINGS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION IS REQUIRED ON ALL SUBDIVSION

1. PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS)

2. ALL RADII AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION IS TO BE CLEARLY INDICATED ON THE

INTERVALS AS NEEDED ALONG ALL STREETS. STREET CENTERLINE AND CURB INVERT ELEVATIONS SHALL BE RECORDED AS NOTED. THE AS-BUILT CENTERLINE PROFILE OF ALL STREETS SHALL ALSO BE SHOWN ON THE PLAN AND PROFILE SO IT MAY BE COMPARED TO THE DESIGN PROFILE GRADE LINES. IN THE EVENT THAT THE AS-BUILT CENTERLINE LONGITUDINAL GRADE DOES NOT MEET THE CITY MINIMUM STANDARDS, ADDITIONAL LONGITUDINAL GRADES OF THE ADJACENT CURBING AND SIMILAR ROADWAY CROSS-SECTION SURVEYS TO VERIFY THE CORRECT CROSS SLOPE, SHALL BE REQUIRED TO VERIFY THAT THE

4. STORM DRAINAGE STRUCTURES SHALL BE LOCATED AND / OR DIMENSIONED FROM CENTERLINES OR LOT LINES AS

5. STORM DRAINAGE PIPE INVERT AND INLET ELEVATIONS SHALL BE RECORDED AND CLEARLY DENOTED AS AS-BUILT

6. STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED. THIS INFORMATION IS TO BE

7. ALL APPLICABLE TOPOGRAPHIC INFORMATION PERTINENT TO THE ON-SITE DRAINAGE SYSTEM, SUCH AS DITCHES, SWALES, LAKES, CANALS, ETC. THAT ARE DEEMED NECESSARY BY THE CITY TO VERIFY THE FUNCTIONAL PERFORMANCE OF THE STORMWATER SYSTEM, SHALL BE NOTED. NORMALLY, RECORDING ELEVATIONS EVERY 100 FEET AT THE TOP OF BANK AND TOE OF SLOPE WILL BE REQUIRED. MEASUREMENTS SHALL BE TAKEN AND RECORDED IN ORDER TO ACCURATELY TIE DOWN THESE FEATURES TO THE ROADWAY CENTERLINES AND TO PLAT LINES. WHENEVER POSSIBLE, CONTOUR LINES SHALL BE

8. RETENTION AREAS SHALL HAVE THEIR TOP-OF BANK AND BOTTOM ELEVATIONS RECORDED. ACTUAL MEASUREMENTS SHALL BE TAKEN AND DIMENSIONS RECORDED OF THE SIZE OF ALL RETENTION AREAS. MEASUREMENTS SHALL BE DONE FROM TOP-OF-BANK TO TOP-OF-BANK WITH SIDE SLOPES INDICATED. SEPARATE CALCULATIONS SHALL BE SUBMITTED TO INDICATE

9. ACTUAL MATERIALS USED AND ELEVATIONS AND DIMENSIONS OF OVERFLOW WEIR STRUCTURES AND SKIMMERS SHALL BE

10. STORM DRAINAGE SWALE CENTERLINES SHALL BE LOCATED AND ELEVATIONS OF FLOW LINE AND TOP OF BANK SHALL BE

11. SANITARY SEWER MANHOLES SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE, ALL RIM AND INVERT ELEVATIONS SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION

12. FOR SUBDIVISIONS. PROPOSED DESIGN FINISHED FLOOR ELEVATIONS SHALL APPEAR ON ALL SUBDIVISION LOTS ON THE

13. SANITARY SEWER LINE LENGTHS, SIZES, MATERIAL, ETC., SHALL BE VERIFIED AND RECORDED. THIS INFORMATION IS TO BE

14. SEWER LATERALS SHALL BE VERIFIED AND RECORDED AT THEIR CLEAN-OUT LOCATIONS. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TOWARDS UPSTREAM MANHOLES.

15. LIFT STATIONS AND FORCE MAINS SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. FORCE MAIN DEPTH AND LOCATION INCLUDING VALVES WILL BE PROVIDED AND TIED TO PERMANENT ABOVE GRADE FEATURES. DIMENSIONAL AND ELEVATION INFORMATION INDICATED ON THE APPROVED PLAN SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. BURIED ELECTRICAL SERVICE

16. CURB CUTS OR METAL TABS, USED TO MARK SEWER LATERALS, WATER SERVICES AND WATER VALVES, SHALL BE VERIFIED

NO CURB IS PRESENT. WATER MAIN LINE MATERIAL SIZE, LENGTH AND DEPTH PLACED SHALL ALSO BE NOTED. LOCATIONS OF VALVES SHALL BE TIED TO PERMANENT ABOVE GRADE FEATURES. THIS INFORMATION SHALL BE CLEARLY INDICATED AS

18. POTABLE AND RECLAIMED WATER VALVES, TEES, BENDS, ALL SERVICES, AND FIRE HYDRANTS SHALL BE LOCATED BY TYING THEM TO SANITARY SEWER MANHOLES. SIMILARLY, FORCE MAIN VALVES, TEES, AND BENDS SHALL BE LOCATED IN THE SAME MANNER. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TO UPSTREAM MANHOLES.

19. FOR PERPENDICULAR CROSSINGS OF STORMWATER, SANITARY SEWER, POTABLE WATER, OR RECLAIMED WATER, THE AS-BUILT PLANS SHALL CLEARLY INDICATE WHICH UTILITIES ARE LOCATED OVER OR UNDER OTHER UTILITIES, AS NECESSARY. ANY SPECIAL FEATURES SUCH AS, CONCRETE FLUMES, LAKE BANKS, WALLS, FENCING, ETC., WHICH WERE

20. A PART OF THE APPROVED CONSTRUCTION DRAWINGS SHOULD ALSO BE LOCATED AND DIMENSIONED.

21. IF AN APPROVED SUBDIVISION PLAT OR SITE PLAN SHOWS A CONSERVATION EASEMENT, THE PROJECT SURVEYOR SHOULD PROVIDE THE EXACT LOCATION OF THE SPECIMEN TREE(S) FROM THE RIGHT-OF-WAY OR PROPERTY LINES AND PROPOSED EASEMENT BOUNDARIES ON THE AS-BUILT DRAWING. THE AS-BUILT LOCATION OF THESE TREES WILL HELP VERIFY THE SUFFICIENCY OF THE CONSERVATION EASEMENT PRIOR TO PLAT RECORDING OR CERTIFICATE OF OCCUPANCY.

22. WHEN STORMWATER, POTABLE WATER, RECLAIMED WATER, OR SANITARY SEWER IMPROVEMENTS ARE ARE LOCATED WITHIN AN EASEMENT, THE AS-BUILT DRAWING SHALL ACCURATELY DEPICT THE LOCATION OF THE EASEMENT ITSELF AS WELL AS THE EXACT LOCATION OF THE IMPROVEMENTS WITHIN THE EASEMENT. THIS IS REQUIRED IN ORDER TO VERIFY THAT THE IMPROVEMENTS HAVE BEEN PROPERLY LOCATED AND TO ENSURE THAT FUTURE SUBSURFACE EXCAVATION TO PERFORM REMEDIAL REPAIR CAN BE ACCOMPLISHED WITHOUT DISTURBANCE BEYOND THE EASEMENT.

1. THE COUNTY'S UTILITIES DEPARTMENT SHALL BE GIVEN A MINIMUM OF (2) TWO BUSINESS DAYS (NOT INCLUDING

ALL DEWATERING ACTIVITIES EITHER DIRECTLY DISCHARGED OR THAT SUBSEQUENTLY USE THE CITY'S OR COUNTY'S STORMWATER SYSTEM TO CONVEY GROUND OR SURFACE WATER FROM A SITE SHALL REQUIRE A STANDARD OR GENERAL USE PERMIT AS PER THE LAND DEVELOPMENT CODE. A PERMIT SHALL BE REQUIRED PRIOR TO ENGAGING IN ANY DEWATERING ACTIVITIES, OR IN ANY CONSTRUCTION ACTIVITIES. DEWATERING ACTIVITIES INCLUDE THE REMOVAL OF GROUND WATER FROM A CONSTRUCTION SITE, ENCLOSED VAULT, COFFERDAM. OR TRENCHES ALLOWING CONSTRUCTION OR MAINTENANCE TO BE DONE IN THE DRY. OR ANY ACTIVITY WHICH CHANGES THE IMPERVIOUS AREA OF LAND. SITE SPECIFIC PERMITS SHALL REQUIRE THE

PAYMENT OF A PER ACRE FEE BASED ON THE SIZE OF THE DEVELOPMENT. 3. RECLAIMED WATER SERVICE ENDINGS SHALL BE SECURED BY WIRE TO 2" X 4" PRESSURE TREATED STAKES, APPROXIMATELY 2' ABOVE GRADE, OR MAY BE PLACED IN RECLAIMED WATER METER BOXES, PROVIDED BY THE

4. ALL PROPOSED RECLAIMED WATER MAINS SHALL BE FLUSHED. TESTED AND CLEARED FOR SERVICE. WHEN APPROPRIATE, IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE COUNTY'S DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE WITH COUNTY PERSONNEL AT THE WASTEWATER PLANT AT LEAST (2) TWO BUSINESS DAYS PRIOR TO THE BEGINNING OF A FULL-DIAMETER FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE

5. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM BY THE VOLUSIA COUNTY UTILITIES DEPARTMENT, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUPPLY "AS-BUILTS DRAWINGS" TO THE

6. ALL RECLAIMED WATER SERVICES SHALL BE MARKED ALONG THE OUTSIDE EDGE OF CURB WITH A "O" OR BY METAL TABS SET INTO PAVEMENT. VALVES AND BLOW-OFFS FOR RECLAIMED WATER MAINS SHALL BE MARKED BY AN "+" SET INTO THE PAVEMENT AND PAINTED WITH PURPLE ENAMEL RECLAIMED WATER SERVICES SHALL BE LOCATED AT THE SIDE LOT LINES, ALTERNATING WITH POTABLE WATER SERVICE LOCATIONS. IN INSTANCES WHERE RECLAIMED WATER SERVICES NEED TO BE OFFSET, THESE SERVICES MAY BE OFFSET FROM THE LOT LINE A MAXIMUM DISTANCE OF 2 FEET. 8. ALL RECLAIMED WATER, HAND-OPERATED CONNECTIONS AND OUTLETS SHALL BE CONTAINED IN UNDERGROUND SERVICE VAULTS AND SHALL BE APPROPRIATELY TAGGED OR LABELED TO WARN THE PUBLIC AND EMPLOYEES



9. VAULTS FOR OUTLETS SHALL BE LOCKED OR REQUIRE A SPECIAL TOOL FOR OPERATION OF OUTLETS. 10. A 75 FOOT SETBACK DISTANCE SHALL BE PROVIDED FROM PUBLIC ACCESS RECLAIMED WETTED AREAS TO ANY 11. LOW TRAJECTORY NOZZLES ARE REQUIRED WITHIN 100 FEET OF PUBLIC EATING, DRINKING OR BATHING

12. ANY SIGNIFICANT IRRIGATION SITE UTILIZING RECLAIMED WATER, SUCH AS AN ATHLETIC FIELD, GOLF COURSE, PARK OR POND, IS REQUIRED TO POST A 12" x 12" RECLAIMED WATER SIGN WARNING THE PUBLIC AND EMPLOYEES ITHAT RECLAIMED WATER IS NOT INTENDED FOR DRINKING OR SWIMMING. THIS SIGN SHALL BE PLACED AT THE ENTRANCE TO THE SITE AND THE LOCATION OF THE PRIVATE REUSE SYSTEM. SEE SHEET

13. DEWATERING SHALL BE PROVIDED TO KEEP GROUND WATER ELEVATION A MINIMUM OF 6 INCHES BELOW 14. ALL RECLAIMED WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL. 15. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE COUNTY WITH A MINIMUM COMPACTION OF 98% IN PAVED AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180 MODIFIED PROCTOR

RECLAIMED WATER CONSTRUCTION & DESIGN NOTES (CONT'D)

16. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 1 FOOT ABOVE THE PIPE AND AT 1 FOOT VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.

- 17. MAXIMUM OBTAINABLE SEPARATION OF PUBLIC RECLAIMED WATER MAINS, STORM WATER SYSTEMS, POTABLE WATER AND SANITARY SEWER MAINS SHALL BE MAINTAINED. A MINIMUM HORIZONTAL SEPARATION OF SIX (6) FEET (SIDE TO SIDE). WHERE RECLAIMED WATER AND SANITARY SEWAGE MAINS CROSS WITH LESS THAN TWELVE (12) INCHES VERTICAL CLEARANCE, THE SANITARY SEWAGE MAIN SHALL BE TWENTY (20 FEET OF EITHER CONCRETE ENCASED PVC PIPE OR ENCASED IN A WATERTIGHT CARRIER PIPE, CENTERED ON THE POINT OF CROSSING (SEE PIPE SEPARATION CHART)
- 18. 3" METALIZED PIPE LOCATION TAPE SHALL BE LOCATED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS SPECIFIED BY MANUFACTURER FOR ALL PVC LINES, AND UF#12 SINGLE STRAND INSULATED COPPER WIRE SHALL BE ATTACHED TO ALL PVC PIPE. UF#12 SINGLE STRAND INSULATED COPPER WIRE SHALL BE ATTACHED TO ALL PIPE. WIRE RUNS SHALL BE CONNECTED WITH SILICONE FILLED WIRE CONNECTORS. EACH RUN SHALL TERMINATED AT EVERY VALVE. SEE STANDARD DETAIL "MAIN VALVEBOX" FOR INSTALLATION OF WIRE ON RISER PIPE. SERVICES SHALL BE CONNECTED TO THE MAIN WIRE WITH WIRE FILLED CONNECTORS. IT IS THE CONTRACTORS RESPONSIBLY TO ENSURE CONTINUITY AND TEST FOR CONTINUITY (SEE CITY SPECIFICATIONS #15049 TRACER WIRE AND ALARMING
- 19. ALL SINGLE RESIDENTIAL WATER SERVICES SHALL BE 1". SERVICES SHALL BE CTS 3408 HIGH DENSITY POLYETHYLENE TUBING RATED FOR A MINIMUM OF 200 PSI WITH SODR 9 (CTS). THE TUBING SHALL HAVE A VIRGIN HIGH DENSITY POLYETHYLENE CENTER FOR WHICH THE MANU-FACTURER SHALL FURNISH A CERTIFICATE OF PURITY. THE TUBING SHALL BE LAVENDER IN COLOR AND SHALL HAVE THE WORDS "RECLAIMED WATER" PERMANENTLY PRINTED ON THE OUTSIDE. THE TUBING SHALL HAVE U.V. PROTECTION AND SHALL NOT BE AFFECTED BY DIRECT SUNLIGHT. THE TUBING SHALL COMPLY WITH OR EXCEED THE APPLICABLE STANDARDS OF A.S.T.M. D1248, D3350, D2239, D2737, N.S.F.-14 AND A.W.W.A. C901 AND SHALL COME WITH A LIFETIME WARRANTY. APPROVED SIZES: 1"
- AND 2" DIAMETERS. SEE APPROVED PRODUCT LIST FOR ACCEPTABLE MANUFACTURERS. 20. AS STANDARD PRACTICE AND IF POSSIBLE RECLAIMED WATER MAINS SHALL BE INSTALLED 4 FEET OFF THE BACK OF THE CURB ON THE OPPOSITE SIDE OF THE ROAD OF THE POTABLE WATER LINES, (NOT UNDER PROPOSED SIDEWALK LOCATION) OR AS APPROVED BY THE COUNTY.
- 21. ALL RECLAIMED WATER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES. IN SPECIAL CASES WHERE IT IS IMPOSSIBLE OR INAPPROPRIATE TO PROVIDE ADEQUATE COVER. DUCTILE IRON PRESSURE CLASS 350 OR CONCRETE ENCASEMENT/PROTECTIVE SLAB MAY BE USED AT THE DISCRETION OF THE UTILITIES DEPARTMENT. 22. RECLAIMED WATER MAINS SHALL BE PURPLE PVC, DR-18 AWWA CLASS C-900 OR C-905, CL 150, OR DIP
- PRESSURE CLASS 350, STANDARD CEMENT LINED (PAINTED PURPLE) UNLESS APPROVED OTHERWISE BY THE COUNTY. ALL HORIZONTAL DIRECTIONAL DRILLS USING HDPE SHALL BE DR-11 WORKING PRESSURE RATING 160 OR GREATER. THE COUNTY MAY REQUIRE A HIGHER PRESSURE RATING DEPENDENT UPON SITE CONDITIONS. 23. ALL GASKETS SHALL BE LUBRICATED BEFORE BEING INSTALLED.
- 24. ALL RECLAIMED WATER MAINS SHALL USE A RESTRAINED JOINT METHOD IN COMPLIANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) GUIDELINES. IN THE EVENT THAT PVC FITTINGS ARE SPECIFIED, THE RESTRAINED JOINT SHALL BE MODIFIED IN ACCORDANCE WITH THE RECOMMENDED ADDITIONAL RESTRAINED LENGTH REQUIRED FOR PIPE WRAPPED WITH POLYETHYLENE. IN NO INSTANCE SHALL THRUST BLOCKS BE PERMITTED.
- 25. MEGALUGS, BOLTLESS RESTRAINED JOINTS, OR GRIPPER GASKETS SHALL BE USED ON ALL RESTRAINED JOINT INSTALLATIONS. MINIMUM DEPTH OF BURY ON PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA RESTRAINT DESIGN GUIDELINES. 26. GRIPPER RING GASKETS BY ROMAC MAY BE USED AS APPROPRIATE FOR RESTRAINING PRESSURE PIPE TO FITTINGS,
- VALVES. FTC. 27. ALL RECLAIMED WATER LINES SHALL BE READILY DISTINGUISHABLE BY THEIR PURPLE COLOR OR TAPE MARKINGS. DUCTILE IRON PIPE SHALL BE WRAPPED WITH PURPLE POLYETHYLENE OR COMPLETELY PAINTED PURPLE. 28. ALL DIP PIPE SHALL HAVE 2" PURPLE STRIPES PAINTED AT 12 O'CLOCK, 3 O'CLOCK, 6 O'CLOCK AND 9 O'CLOCK FOR
- THE FULL LENGTH OF PIPE. PURPLE PAINT WITH EPOXY SHALL BE USED AND REUSE CLEARLY MARKED (N/A IF PIPE IS PAINTED) 29. VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 1000 FEET. 30. AT ALL RECLAIMED WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE.
- 31. APPROVED WATER VALVE TYPES ARE THE FOLLOWING: A. RESILIENT SEAT GATE VALVES (AWWA C-509) B. TAPPING VALVES WITH MECHANICAL OR STAINLESS STEEL TAPPING SLEEVE.
- 33. ALL VALVES SHALL BE ADJUSTED TO FINISH GRADE AND THE CAPS SHALL BE PAINTED PURPLE TO MAKE THEM PLAINLY DISTINGUISHABLE. 34. THE CONTRACTOR SHALL BE REQUIRED TO PIG ALL RECLAIMED WATER MAINS EQUAL TO OR GREATER THAN 6" IN DIAMETER AND PRIMARY DISTRIBUTION MAINS LOCATED ON COLLECTOR AND ARTERIAL ROADWAYS. LAUNCHING AND
- EXTRACTION POINTS SHALL BE DETERMINED BY THE CONTRACTOR. 35. IN AREAS WHERE RECLAIMED WATER IS AVAILABLE, RECLAIMED WATER WILL BE UTILIZED IN THE PRESSURE TESTING OF NEW NON-POTABLE WATER LINES.
- 36. THE RECLAIMED WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL A SATISFACTORY 150 PSI @ (4) FOUR HOURS PRESSURE TEST HAS PASSED AND THE RESULTS ARE FORWARDED TO THE COUNTY. 37. WATER UTILITIES DEPARTMENT NO LONGER DOES RECLAIMED WATER TAPS.
- 38. WITH RESPECT TO TIE-IN CONNECTIONS, THE COUNTY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS. 39. FOR CONSTRUCTION PURPOSES, THE PLANS SHALL DIMENSION THE PROPOSED LOCATIONS OF ALL RECLAIMED WATER MAINS MEASURED FROM THE BACK OF CURB (EDGE OF PAVEMENT IF NO CURB EXISTS), AND THE RIGHT-OF-WAY LINE.
- 40. LANDSCAPE PLANS SHALL CLEARLY DEPICT THE DESIGN LOCATION OF PLANTINGS RELATIVE TO THE LOCATION OF PUBLIC UTILITIES AND STORM WATER INFRASTRUCTURE IN ORDER TO EVALUATE POTENTIAL CONFLICTS. 41. THE RECLAIMED WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL AN APPROVED BACKFLOW PREVENTER HAS BEEN INSTALLED ON THE CUSTOMER'S POTABLE SERVICE LINE.
- 42. PRESSURE TESTS FOR TAPPING SADDLES AND VALVES TO BE A MINIMUM OF 30 MINUTES AT 150 PSI OR 30 MINUTES AT THE MANUFACTURER'S LABELED TESTING PRESSURE.
- 43. TRACER WIRE SHALL BE TESTED FOR CONTINUITY UNDER SUPERVISION BY COUNTY REPRESENTATIVE AFTER INSTALLATION. 44. ALL FITTINGS SHALL MEET THE MINIMUM RESTRAINED REQUIREMENTS PER ANSI/AWWA/DIPRA, AND ALL PRESSURE PIPES UNDER THE ROADWAY SHALL BE RESTRAINED.

					ZEV COHEN & ASSOCIATES, INC.	300 INTERCHANGE BLVD., STE. C ORMOND BEACH, FL 32174	WWW.ZEVCOHEN.COM	
		CIVII ENGINFERING	LANDSCAPE ARCHITECTURE	ENVIRONMENTAL	PLANNING	TRANSPORTATION	(EB 4516) (LC 62)	
	BY SUBMITTALS / REVISIONS							
	T 17 A CDTC NO. DATE			PLAT	NOTES		VOLUISIA COUNTY, FLORIDA	
		NI CONTRIENCIA		PRELIMINARY	ONSTRUCTION			
			T NO: Z(ED BY: F D BY: T D BY: R 3 FILE: 02	C 16070 RMH/AC NL MH 2-16070-	D NOT		CITY OF DEBARY	
Know what's below.		=f'S: - R	ANDY M. H NOT VAL	łudak, p Id With	.E., NO.6 OUT SEA	5053 L		







16070 – DEBARY COMMERCIAL\FINAL ENGINEERING PLANS\CADDWGS\07-16070-PGD.DWG – PRINTED 12/13/2019 3:45 PM





									& ASSOCIATES, INC.	300 INTERCHANGE BLVD., STE. C ORMOND RFACH FI 32174		WWW.ZEVCOHEN.COM	
						ENVIRONMENTAL		PLANNING		TPANCDOPTATION			((EB 4516) (LC 62)
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DESI DRAI CHE	GNE FTEI CKE	D B	BY: Y: 3Y:	TN R	MH IL MH	I/AC							
DRAV XREF XREF	VING 5'S: 1 5'S: 1	FIL 607	_E: 70_ 70S	09 BAS	-10- S.D' V.D	-160 WG)70·	-PP					
SI	R HEE	ANE NC	NY N V TC		uda Id W	AK, F /ITH	P.E.	NC T SE	0.650 EAL	053 1 4	4		

PROPOSED STORMWATER MANHOLE

PROPOSED MES







Ran



	LENGTH IN FEET REQUIRED FOR											
	A	PVC RE										
	A	<u>A</u>	В	В	В	В	B					
SIZE	DEAD	TEE &	90 °	45 °	22 ½°	11 1/4°	0•					
SIZE	END	PLUG	BEND	BEND	BEND	BEND	BEND					
4"	45'	45'	20'	18'	18'	18'	18'					
6"	63'	63'	28'	18'	18'	18'	18'					
8"	82'	82'	36'	18'	18'	18'	18'					
10"	98'	98'	44'	18'	18'	18'	18'					
12"	116'	116'	51'	20'	18'	18'	18'					
16"	148'	148'	63'	26'	18'	18'	18'					
20"	179'	179'	75'	31'	18'	18'	18'					
24"	208'	208'	87'	36'	18'	18'	18'					
	TABLE APPLIES 1. TEST PRES 2 SOIL TYPE	TO PVC PIPE SURE: 150 PS	FOR FOLLOWI	NG CONDITIONS	5:							



	STORMWATER S	TRUCTURE 1	ABLE	
STRUCTURE NUMBER	STRUCTURE TYPE	STRUCTURE T.C.	PIPE INVERT(S), DIRECTION(S), SIZE(S)	STRUCTURE NUMBER
ST-1	Index No. 272 – Cross Drain MES with 1:4 Slope – Single Round Conc. Pipe	41.25	40.50 (E) Round Concrete Pipe	ST-13
ST-2	Index No. 232 — Ditch Bottom Inlet — Type C	55.19	40.70 (E) Round Concrete Pipe 40.70 (W) Round Concrete Pipe	ST-14
ST-3	Index No. 232 — Ditch Bottom Inlet — Type C	55.20	40.80 (E) Round Concrete Pipe 40.80 (W) Round Concrete Pipe	ST-16
ST-4	Index No. 201 — Type 7 Manhole (1 or 2—Piece Cover (Edge), Round Bottom)	54.60	40.90 (W) Round Concrete Pipe	ST–17
ST-5	Index No. 272 – Cross Drain MES with 1:4 Slope – Single Round Conc. Pipe	43.42	40.50 (E) Round Concrete Pipe	ST–18
ST–6	Index No. 232 — Ditch Bottom Inlet — Type C	49.68	40.55 (N) Round Concrete Pipe 40.55 (E) Round Concrete Pipe 40.55 (W) Round Concrete Pipe	ST–19 ST–20
ST-7	Index No. 232 – Ditch Bottom Inlet – Type C	49.68	40.65 (W) Round Concrete Pipe	
ST-8	Index No. 201 — Type 7 Manhole (1 or 2—Piece Cover (Edge), Round Bottom)	49.10	40.70 (E) Round Concrete Pipe	
ST-9	Index No. 232 – Ditch Bottom Inlet – Type C	49.22	40.65 (E) Round Concrete Pipe 40.65 (S) Round Concrete Pipe 40.65 (W) Round Concrete Pipe 40.65 (N) Round Concrete Pipe	
ST-10	Index No. 232 — Ditch Bottom Inlet — Type C	49.22	40.75 (W) Round Concrete Pipe 40.75 (E) Round Concrete Pipe	
ST-11	Index No. 201 — Type 7 Manhole (1 or 2—Piece Cover (Edge), Round Bottom)	49.48	40.80 (W) Round Concrete Pipe	
ST-12	Index No. 232 – Ditch Bottom Inlet – Type C	48.28	40.80 (N) Round Concrete Pipe 40.80 (S) Round Concrete Pipe 43.50 (E) Round Concrete Pipe	



STORMWATER STRUCTURE TABLE							
STRUCTURE TYPE	STRUCTURE T.C.	PIPE INVERT(S), DIRECTION(S), SIZE(S)					
Index No. 232 – Ditch Bottom Inlet – Type C	48.48	43.65 (N) Round Concrete Pipe 43.65 (W) Round Concrete Pipe					
Index No. 232 – Ditch Bottom Inlet – Type C	48.28	43.80 (S) Round Concrete Pipe					
Index No. 232 – Ditch Bottom Inlet – Type C	47.65	43.10 (E) Round Concrete Pipe 40.90 (S) Round Concrete Pipe 41.90 (N) HDPE Pipe					
Index No. 232 – Ditch Bottom Inlet – Type C	47.65	43.20 (W) Round Concrete Pipe 43.20 (E) Round Concrete Pipe					
Index No. 201 — Type 7 Manhole (1 or 2—Piece Cover (Edge), Round Bottom)	47.87	43.24 (W) Round Concrete Pipe					
Index No. 232 — Ditch Bottom Inlet — Type C	46.56	42.10 (E) Round Concrete Pipe 42.10 (S) HDPE Pipe					
Index No. 232 — Ditch Bottom Inlet — Type C	46.55	42.15 (W) Round Concrete Pipe					





F (Pipe To Be Included Under Unit Price For Mitered End Section) PER FDDT INDEX 273 UNLESS OTHERVISE NOTED















DSCAPE BUFFER REQUI	REMENTS	,	PLANTING SCH	EDULE		
DEBARY PLANTATION BLVD. (510 L.F.)	REQUIRED	PROVIDED				
MINIMUM WIDTH	20'	20'	IREES	$\frac{QIY}{10}$		COMMON NAME RED MARIE
2 SHADE TREES PER 40 L.F.	26	** 4	AN BN	21	BETHIA NICRA	RIVER BIRCH MUITUTRUNK
2 SMALL TREES PER 80 L.F.	13	*0	ED	9	ELAEOCARPUS DECIPIENS TM	JAPANESE BI LEBERRY TREE
SHRUBS (25% OF BUFFFR ARFA)	2.550 S.F.	2.920 S.F.	IAE	31	ILEX X ATTENUATA `EAGLESTON`	EAGLESTON HOLLY
(468 F)	_,	_,	JV	22	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
	1.0'	10'	LI	22	LAGERSTROEMIA INDICA `NATCHEZ`	NATCHEZ CRAPE MYRTLE
	10	10	LJ	16	LIGUSTRUM JAPONICUM `TREE FORM`	
I SHALL TREES PER 201 F	12	12	MG	36 8	MAGNULIA GRANDIFLURA D.D. DLANCHARD IM	D.D. DLANCHARD SOUTHERN MAGNUL
T SMALL TREES PER 80 L.F.	6	0	QV QV	22	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
SHRUBS (25% OF BUFFER AREA)	1,170 S.F.	1,784 S.F.	QV2	58	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
U.S HIGHWAY 17-92 - GATEWAY CORRIDOR	(1,161 L.F.)		SB	3	SALIX BABYLONICA	WEEPING WILLOW
MINIMUM WIDTH	20'	20'				
2 SHADE TREES PER 40 L.F.	58	51	PALM TREES	QTY	BOTANICAL NAME	COMMON NAME
PALMS (2:1) = 14 PALMS / 2 = 7	-	7	SP	17	SABAL PALMETTO	CABBAGE PALMETTO
2 SMALL TREES PER 80 L.F.	29	29	SHRUBS	OTY	BOTANICAL NAME	
SHRUBS (25% OF BUFFER AREA)	5,805 S.F.	6,256 S.F.	AS	416	ACCA SELLOWIANA	PINEAPPLE GUAVA, FEIJOA
BEACON CLUB DR. (1.014 L.F.)			CVL	155	CALLISTEMON VIMINALIS `LITTLE JOHN`	DWARF WEEPING BOTTLEBRUSH
	25'	25'	CME	84	CARISSA MACROCARPA `EMERALD BLANKET`	DWARF NATAL PLUM
2 SHADE TREES PER 401 F	51	63	MUC	224	MUHLENBERGIA CAPILLARIS	MUHLY GRASS
2 SHADE TREESTER 40 LT.	25	28	PIW	23	PITTOSPORUM TOBIRA "WHEELER"S DWARF"	DWARF PITTOSPORUM
2 JWALL INLLOT LN OU L.I.	23	30	TD	29 50	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS
SHRUBS (25% OF BUFFER AREA)	6,338 5.F.	8,200 S.F.	VOS	224	VIBURNUM OBOVATUM `SFLECT`	WALTERS SELECT VIBURNUM
ALL TREES HAVE BEEN RELOCATED WITHIN THE	BEACON DR. LANI	DSCAPE BUFFER	VO	160	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM
JER TO STAY OUT OF DRIF LINE AREA FROM OF ATION BLVD	ANS ADJACENT TU	DEDAKI				
NDE TREES TREES HAVE BEEN RELOCATED WITH		P LANDSCAPE	GROUND COVERS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME
R IN ORDER TO STAY OUT OF DRIP LINE AREA F	ROM OAKS AD IAC	YENT TO DEBARY	AAP	514	AGAPANTHUS AFRICANUS `PETER PAN`	DWARF BLUE LILY OF THE NILE
ATION BLVD.			AE	166	ASPIDISTRA ELATIOR	CASI IKON PLANI
			DTV FG	125	EVOLVUUUS CLOMERATUS `BUUE DAZE`	I LAX LILT BRAZILIAN DWARE MORNING GLORY
IMUM ON SITE TREES				89	IUNIPERUS CONFERTA `COMPACTA`	SHORE JUNIPER
M TREES REQUIRED ON SITE	303	3	LME	245	LIRIOPE MUSCARI `EMERALD GODDESS`	LIRIOPE
ATION: 756 637 S F / 2 500 S F = 303			LMV	29	LIRIOPE MUSCARI `VARIEGATA`	VARIEGATED LILY TURF
TREES TO BE PRESERVED	**15		ND	318	NANDINA DOMESTICA	HEAVENLY BAMBOO
	*210		RAD	44	RHODODENDRON AZALEA `DUC DE ROHAN`	AZALEA
COLTRELST ROVIDED ON LANDSCALE LAN	210)	RR	39	ROSA X `RADRAZZ`	KNOCK OUT SHRUB ROSE
OTAL NUMBER OF TREES SHALL BE INSTALLED	UPON FULL			50	IULDAGHIA VIULACEA Zanala El Opidania	SUCIEI Y GARLIC
2-OUT OF ALL PARCELS.		IT.	21	45		
ING THEOVERALL TREE PEOLIDEMENT	N AREA WILL COUN	11	SOD	QTY	BOTANICAL NAME	COMMON NAME
INDU THE UVENALL THE REQUIREIVIENT.			S¢M	479,608 SF		SEED & MULCH
			PNA	82,367 SF	PASPALUM NOTATUM `ARGENTINE`	BAHIA GRASS
			SSF	51,634 SF	STENOTAPHRUM SECUNDATUM `FLORITAM`	ST. AUGUSTINE GRASS

























AFTER FIRST APPLICATION TO ASSURE THE TOP ONE (1) INCH OF SOIL IS MOIST. CONTRACTOR SHALL RE-INSPECT SEEDED AREA (MINIMUM OF THREE (3) TIMES WEEKLY), AND WATER AS NECESSARY TO ASSURE SURVIVABILITY. IF THERE ARE AREAS IN DECLINE THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-APPLICATION OF SEED TO FAILED AREAS.

MATERIAL SHALL BE GRADE FLORIDA NO. I OR BETTER IN QUALITY AS <u>DESIGNATED IN THE MOST RECENT</u> N OF "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT URE AND CONSUMER SERVICES.	L.COM L.COM		
STING LANDSCAPING INTERFERES WITH PROPOSED PLANTINGS SHOWN ON PLAN, THE EXISTING LANDSCAPING IS OVED IN FAVOR OF THE NEW PLANTINGS, UNLESS OTHERWISE INDICATED. IF THE EXISTING VEGETATION IS O REMAIN, THE PROPOSED LANDSCAPING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ITS INTENDED	CLATE CCLATE CCLATE CCLATE CCLATE CCLATE CCLATE CCLATE CCLATE CCLATE		
G BEDS SHALL BE TOP DRESSED WITH 3" PINE BARK MULCH, GRADE "B" OR APPROVED EQUAL. ALL TREES NOT IN . HAVE A 5' DIAMETER MULCH RING. ALL PALMS NOT IN BEDS SHALL HAVE A 5' DIAMETER MULCH RING UNLESS NOTED DIFFERENTLY ON PLANS.	ASSC MWW.Z		
BE 'FLORATAM' ST. AUGUSTINE SOD UNLESS OTHERWISE SPECIFIED ON THE PLANS AS ARGENTINE <u>BAHIA SOD</u> . ALL BE ROLLED UPON INSTALLATION. CONTRACTOR TO SOD ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION CTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SOD IS FREE OF WEEDS UPON IN AND FOR THE DURATION OF THE 90 DAY MAINTENANCE PERIOD. IT IS THE CONTRACTORS RESPONSIBILITY TO GAPS BETWEEN SOD. SOD QUANTITY TAKEOFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR.			
NT OF A VARIATION BETWEEN THE QUANTITIES SHOWN ON THE PLANT LIST AND THE QUANTITIES OF PLANTS THE PLAN, THE PLAN SHALL CONTROL.	AL ING AL ON		
CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY PORTION OF THE LANDSCAPE PLAN AS SHOWN ON THE WHEN IT IS OBVIOUS IN THE FIELD THAT UNFORESEEN OBSTRUCTIONS, GRADE DIFFERENCES, STANDING WATER, TIONS OR OTHER CONFLICTS EXIST. SUCH UNFORESEEN CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF SREPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.	NGINEER E ARCHIT ONMENT ANNING SPORTATI		
UBSTITUTIONS OR VARIATIONS OF ANY PLANT MATERIAL OR ITS INSTALLED LOCATION WILL BE PERMITTED IE PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.	CIVIL E IDSCAP ENVIR PL TRANS		
NAGE FOR PLANTS OR TREES IS SHOWN THEY SHALL BE CONTAINER GROWN AND THE SIZE SHOWN SHALL THE MINIMUM ALLOWABLE GALLONAGE. IN ALL CASES THE PLANT SPECIFIED SIZE SHALL GOVERN OVER THE INDICATED.	LAN (EB 4516)		
ACTOR SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO THE PLANT SPECIES SPECIFIED. IF SOIL ARE DEEMED UNSUITABLE FOR PROPER PLANT HEALTH, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT R SUBSTITUTIONS SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE OR SHALL REMOVE LIME ROCK, CONCRETE AND OTHER DELETERIOUS DEBRIS FROM PLANTING BEDS. IF DEBRIS ED IN THE SOIL, THE SOIL MUST BE EXCAVATED AND REPLACED WITH ACCEPTABLE SOIL. ALL FILL TO BE PLACED PE AREAS MUST HAVE A pH RANGE BETWEEN 5.8 AND 7.5, BE ORGANIC IN NATURE, AND BE FREE OF ROCKS			
ATERIAL, IF REQUIRED, SHALL BE FREE FROM ALL HARD CLODS, WEEDS, STONES OVER I" IN DIAMETER, CLAY, NOXIOUS OR OTHER UNDESIRABLE PLANTS, SOD, INSECTS, SEEDS, OR MATERIAL WHICH MAY BE HARMFUL FOR			
THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY WEEDS FROM PLANTING AND SOD AREAS PRIOR TO ATION OF PROPOSED PLANT MATERIAL AND MULCH COVER. CONTRACTOR SHALL BE RESPONSIBLE TO KEEP GOD FREE OF WEEDS FOR THE DURATION OF THE 90 DAY MAINTENANCE PERIOD.	0-1-0 		
IERWISE STATED ON THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED D IN ORDER TO ELIMINATE BUMPS AND DEPRESSIONS. FINE GRADING SHALL BE DEFINED AS THE FINAL 2" OF BE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REGRADING WASHOUT AREAS EROSION UNTIL FINAL ACCEPTANCE OF THE PROJECT.	S, DATED 2-1 S, DATED 6-21 S, DATED 8-21		
IND PALMS ARE TO BE STAKED ACCORDING TO THE DETAILS IN THESE PLANS. IF THE CONTRACTOR PREFERS TO STAKING METHODS THAN SHOWN IN THE DETAILS, HE OR SHE MUST SUBMIT PROPOSED STAKING DETAILS TO CAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN, WOR REPLACE ANY PLANTS DAMAGED BY FAILURE TO $\frac{PROPERLY}{PROPERLY}$ STAKE OR GUY ANY TREES & PALMS ON SITE, AT EXPENSE.	REVISIONS STAFF COMMENT STAFF COMMENT STAFF COMMENT		
OR TO ENSURE CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. NE LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE PARALLEL TO ADJACENT STRUCTURES UNLESS DTHERWISE.	MITTALS / F ISED PER S ISED PER S ISED PER S		
SLOW RELEASE FERTILIZER OR EQUIVALENT SHALL BE APPLIED TO ALL TREE, SHRUB, AND GROUNDCOVER REAS AT THE RATE OF THREE (3) TABLESPOONS PER 2 S.F. OF PLANTING AREA.	M SUBR MG REVI MG REVI		
CAPE CONTRACTOR SHALL ENSURE THAT THIS WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE AND SHALL NOTIFY THE OWNERS REPRESENTATIVE IMMEDIATELY SHALL A CONFLICT ARISE. CONTRACTOR IS LE FOR ALL LANDSCAPE/SOD AREAS TO PROPERLY DRAIN AWAY FROM BUILDINGS/STRUCTURES.	DATE E 		
ANDSCAPE ARCHITECT SHALL BE PERMITTED THE RIGHT DURING INSTALLATION, TO REJECT ANY AND ALL PLANT AND WORKMANSHIP WHICH IN HIS OR HER OPINION DOES NOT MEET THE REQUIREMENTS OF THESE ONS.	D D D D D D D D D D D D D D D D D D D		
CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE NURSERY PLANT SOURCE LOCATION A MINIMUM RS PRIOR TO PURCHASING THE MATERIAL. THE LANDSCAPE ARCHITECT SHALL ACCOMPANY THE CONTRACTOR DESIGNATED LANDSCAPE CONTRACTOR TO THE NURSERY TO REVIEW THE PLANT MATERIAL TAGGED BY THE DR. THE LANDSCAPE ARCHITECT WILL REVIEW THE TAGGED MATERIAL TO BE PURCHASED TO GENERALLY CONFIRM 1E SPECIFICATION STANDARDS (STATED IN NOTE #1). THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR Y, SPECIFICATION, INSTALLATION, AND SURVIVORSHIP OF THE PLANT MATERIAL.	AL T TAILS sia county, flori		
ALLY PRESERVED VEGETATED AREAS SHALL BE CLEANED UP INCLUDING BUT NOT LIMITED TO THE REMOVAL OF OR WEEDS AND PRUNING OF DEAD OR YELLOW BRANCHES AND PALM FRONDS. MULCH EDGE OF NATURAL T.	PLA DE		
LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR DAMAGES TO PROPOSED PLANT MATERIAL ' DEER OR OTHER ANIMALS. THE PROPER PLANT SUBSTITUTIONS SHALL BE SPECIFIED BY THE LANDSCAPE UPON WRITTEN NOTIFICATION OF NUISANCE ANIMAL EXISTENCE.	RY COMMEH 17 ACRES LIMINARY P NPE PLAN &		
OR SHALL CONTACT OWNERS REPRESENTATIVE FOR A TURNOVER DATE TO INCLUDE A WALK-THROUGH AND E OF WORK BY THE LANDSCAPE ARCHITECT. ANY WORK DEEMED UNACCEPTABLE SHALL BE CORRECTED Y AND RE-INSPECTED AS SCHEDULED.			
CTOR SHALL BE RESPONSIBLE FOR MAINTENANCE TO BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL DO DAYS AFTER FINAL WRITTEN ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE WATERING, PRUNING. IULCHING, MOWING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY IN ORDER TO ROPER PLANT HEALTH AND SOIL MOISTURE CONTENT.			
OR SHALL GUARANTEE ALL INSTALLED PLANT MATERIAL FOR ONE (1) CALENDAR YEAR STARTING FROM THE DATE FOR WORK FOUND ACCEPTABLE. ANY CORRECTED WORK SHALL HAVE A PROPORTIONAL EXTENSION OF ONCE APPROVED. ANY SICK OR DEAD MATERIAL SHALL BE REPLACED IMMEDIATELY. THE LANDSCAPE OR SHALL NOT BE RESPONSIBLE TO HONOR ANY WARRANTY FOR THE LOSS OF ANY PLANT MATERIAL CAUSED BY FIRE, ABNORMAL FREEZING TEMPERATURES, WINDS OVER 50 MPH, LIGHTNING, ANY OTHER NATURAL DISASTER, SO/DAMAGE CAUSED BY VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.	DEBAI PREI NDSCA		
CONTRACTOR SHALL NOTIFY SUNSHINE & I I AND HAVE UTILITIES LOCATED, PRIOR TO DIGGING, BY CALLING & I I . OR SHALL NOT PLANT TREES WITHIN 3' OF AN UNDERGROUND UTILITY, EITHER AS LOCATED OR AS SHOWN ON VITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM OWNER'S REPRESENTATIVE.			
IE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT 'REDLINED' MARK-UPS OF THE LANDSCAPE TION IMPROVEMENTS. THESE AS-BUILT 'REDLINES' SHALL BE REPRESENTED ON ZEV COHEN & ASSOCIATES, INC. S AND PROVIDED TO THE LANDSCAPE ARCHITECT.	PROJECT NO: ZC 16070		
ACTOR SHALL BE RESPONSIBLE FOR WATERING SEEDED AREA AFTER FIRST APPLICATION TO ASSURE THE TOP TH OF SOIL IS MOIST. CONTRACTOR SHALL RE-INSPECT SEEDED AREA (MINIMUM OF THREE (3) TIMES WEEKLY), AS NECESSARY TO ASSURE SURVIVABILITY. IF THERE ARE AREAS IN DECLINE THE CONTRACTOR SHALL BE LE FOR RE-APPLICATION OF SEED TO FAILED AREAS. SEE SPECIFICATIONS, THIS SHEET.	DESIGNED BY: SMG DRAFTED BY: SMG CHECKED BY: JES DRAWING FILE: 16070-LA		
ZE RESPONSIBLE FOR PROVIDING 'REDLINED' MARK-UPS OF THE IRRIGATION IMPROVEMENTS AND PROVIDE TO T.	XREF'S: 16070BAS.DWG XREF'S: 16070SURV.DWG		
FROLLED IRRIGATION SYSTEM WITH A RAIN SENSOR SHALL BE INSTALLED TO PROVIDE 100% HEAD TO HEAD ANTINGS. IRRIGATION PLAN SHALL BE PROVIDED UPON SUBSTANTIAL SITE PLAN APPROVAL.			

JAKE STEHR, PLA 6667462 NOT VALID WITHOUT SEAL

SHEET: LA9 OF 9












IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
	Rain Bird RD-06-P30-NP with Hunter 5` strip spray	9	LCS	30	0.65	5'x 5'
	Rain Bird RD-06-P30-NP with Hunter 5` strip spray	10	RCS	30	0.65	5'x 5'
	Rain Bird RD-06-P30-NP with Hunter 5` strip spray	210	SST	30	1.30	5'x30'
$[\Phi]$	Rain Bird RD-06-P30-NP 8` radius	10	180	30	0.47	8'
\diamond	Rain Bird RD-06-P30-NP 8` radius	2	90	30	0.24	8'
D	Rain Bird RD-06-P30-NP 10° radius	57	180	30	0.88	1 O'
¢	Rain Bird RD-06-P30-NP 10` radius	3	90	30	0.42	10'
Ø	Rain Bird RD-06-P30-NP 10` radius	I	120	30	0.57	10'
	Rain Bird RD-06-P30-NP 12` radius	16	180	30	1.30	12
\diamond	Rain Bird RD-06-P30-NP 12` radius	3	90	30	0.67	12
	Rain Bird RD-06-P30-NP 12` radius	2	120	30	0.89	12
\diamond	Rain Bird RD-06-P30-NP 12` radius	I	270	30	2.00	12
\diamond	Rain Bird RD-06-P30-NP 15` radius	2	90	30	0.97	15'
[c]	Rain Bird RD-06-P30-NP adjustable arc	3	Adj	30		8'
8	Rain Bird RD-06-P30-NP adjustable arc	10	Adj	30		1 0'
0	Rain Bird RD-06-P30-NP adjustable arc	7	Adj	30		12
•	Rain Bird RD-06-P30-NP adjustable arc	I	Adj	30		15'
	Rain Bird RD-06-P30-NP 4` strip spray	0	LCS	30	0.65	4'x 5'
Â	Rain Bird RD-06-P30-NP 4` strip spray	0	RCS	30	0.65	4'x 5'
$\langle T \rangle$	Rain Bird RD-06-P30-NP MP Corner	5	Adj	40		13'
\bigtriangleup	Rain Bird RD-06-P30-NP MP Strip	6	SST	40	0.44	5'x30'
$\overline{\mathbb{Q}}$	Rain Bird RD-06-P30-NP MP1000	6	210-270	40		14'
$\langle M \rangle$	Rain Bird RD-06-P30-NP MP1000	68	90-210	40		4'
G	Rain Bird RD-06-P30-NP MP2000	3	210-270	40		19'
K ≥	Rain Bird RD-06-P30-NP MP2000	146	90-210	40		19'
	Rain Bird RD-06-P30-NP MP3000	4	360	40	3.64	30'
B	Rain Bird RD-06-P30-NP MP3000	47	90-210	40		30'
$\langle \Sigma \rangle$	Rain Bird RD-06-P30-NP MP3000	4	210-270	40		30'
	Rain Bird RD-06-P30-NP MP3500	7	90-210	40		35'
\boxtimes	Two Rain Bird PCT-07	3x2	360	30	2x.12	3'
×	Two Rain Bird 1401 bubbler	34x2	360	30	2x.25	3'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION					
Ē	Rain Bird RD-12-NP with GPH Irrigation Products GDFN	28				
\bigcirc	Two Rain Bird PC-10 Single Outlet	125 x 2				
	Area to Receive Dripline Hunter PLD-10-12 In-Line Pressure Compensating Landscape Dripline with Built-In Check Valve. 1.0GPH emitters at 12.0" O.C. Dripline laterals spaced at 16.0" apart, with emitters offset for triangular pattern. Install dripline on both sides of plant material.	6,000 s.f.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Rain Bird XCZ-PRB-COM in a Jumbo Purple Valve Box	8				
\bullet	Rain Bird PESB-R in a 12" Purple Valve Box	15				
С	Hunter IC-800-PP with a DUAL48M Two Wire Module	1				
$\langle \mathbf{S} \rangle$	Hunter Solar-Sync Weather Sensor	1				
$\langle R \rangle$	Reclaim Water Meter 2" by others	I				
FS	Rain Bird 200PESB-R master valve and FS200P flow sensor in separate 12" Purple Valve Box.	I				
$\langle \! \! \! \! \! \! \! \! \! \! \! \! \! \! \! \! \! \! \!$	Nibco T I I 3 3" Isolation Valve in a 12" Purple Valve Box	3				
	Irrigation Lateral Line: PVC Class 200 Purple	16,000 l.f.				
	Irrigation Mainline: PVC 3" Class 200 Purple	3,300 I.f.				
	Pipe Sleeve: PVC Schedule 40					

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFF

IRRIGATION NOTES

- 1. THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED, SOME COMPONENTS MAY BE SHOWN DUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- 2. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS, IRRIGATION SYSTEM SPECIFICATIONS AND ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL PREVAILING LOCAL CODES, ORDINANCES, AND REGULATIONS.
- 3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS, BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THE PLANS - CONTRACTOR TO VERIFY, COORDINATE ALL IRRIGATION SYSTEM CONSTRUCTION WITH EXISTING AND NEW PLANTINGS TO AVOID CONFLICT OR INTERFERENCE WITH LOCATION OF PIPING, SLEEVING, CABLES, AND SERVICE UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION, IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS, ALL COMPONENTS THAT ARE NOT CONTAINED WITHIN THE SPECIFIC AREAS SHOWN OR CALLED OUT ON THE DRAWINGS WILL NOT BE ACCEPTED. ALL PIPING AND OTHER COMPONENTS ARE TO REMAIN WITHIN THE PROPERTY OF THE OWNER.
- 4. WHERE EXISTING DR NEW TREES, LIGHT STANDARDS, SIGNS, ELECTRONIC CONTROLLERS AND/DR DTHER DBJECTS ARE AN DBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN THE PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION. OWNER'S REPRESENTATIVE SHALL DETERMINE WHETHER AN OBSTRUCTION OCCURS OR NOT.
- 5. COMPONENT SPACING ARE MAXIMUM, DO NOT EXCEED SPACING SHOWN OR NOTED ON THE PLANS, COMPONENT SPACING MAY BE ADJUSTED TO ACCOMMODATE CHANGES IN TERRAIN AND PLANTING LAYOUT AS LONG AS THE MODIFIED SPACING DO NOT EXCEED THE SPACING SHOWN IN THE PLANS. UNLESS SHOWN OTHERWISE, CONTRACTOR SHALL PROVIDE 100% COVERAGE.
- 6. ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW AND INSTALLED AS DETAILED ON THE PLANS. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THEIR MANUFACTURER.
- 7. THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- 8. IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS, CONTROLLER AND OTHER DEVICES TO OBTAIN SPECIFIED OPERATING PARAMETERS, INCLUDING COVERAGE, OPERATING PRESSURE, FLOW RATES AND OPERATION TIME, AS INDICATED ON THE DRAWINGS AND IN THE IRRIGATION SYSTEM SPECIFICATIONS.
- 9. CONTRACTOR TO PROVIDE INSTALLATION SHOP DRAWINGS AND MANUFACTURER PRODUCT INFORMATION FOR ALL IRRIGATION COMPONENTS, ALL INSTALLATIONS SHALL BE AS RECOMMENDED BY MANUFACTURERS. THE QUANTITIES SHOWN IN THE LEGENDS AND SYMBOL SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS,
- 10. ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN, DEBRIS-FREE MATERIALS. CLEAN SAND SHALL BE USED FOR BEDDING MATERIAL IF PARENT SOIL CANNOT BE ADEQUATELY RID OF ROCK AND OTHER EXTRANEOUS DEBRIS, PULLING PIPE SHALL BE PROHIBITED.
- 11. ALL SOLVENT WELDING SHALL BE PRECEDED BY PRIMING OF THE FITTINGS AND PIPE AS RECOMMENDED BY THE MANUFACTURER.
- 12. IRRIGATION CONTRACTOR TO LABEL ALL VALVE BOX COVERS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER. NUMBERING SIZE 1". PROVIDE TAGS TO ALL VALVES AS SHOWN PER DETAILS,
- 13. CONTRACTOR TO PLACE TREE BUBBLERS AT DUTER EDGE OF ROOT BALL, NOT DUTER EDGE OF PLANTING HOLE.
- 14. THE CONTROL WIRE SHALL BE HUNTER ID1PUR GROUNDED EVERY 500' ALONG WIRE PATH. ALL WIRE CONNECTIONS SHALL BE MADE WITH 3M-DBR6 WIRE CONNECTORS. INSTALL A INTERMATIC AG2401C3 ARRESTERGAURD ON THE POWER SUPPLY AND GROUND CONTROLLER TO 10 OHMS OR LESS. INSTALL HUNTER DUAL DECODERS AT ALL VALVE LOCATIONS.
- 15. LOCATE ALL VALVES IN PLANTING BEDS OR MULCHED AREAS WITH A MINIMUM OFFSET OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT.
- 16. ALL VALVES (SOLENDID, GATE, ISOLATION, SURGE PROTECTORS AND FILTERS SHALL BE LOCATED WITHIN THE SPECIFIED VALVE BOXES.
- 17. ALL IRRIGATION LINES UNDER PAVEMENT SHALL BE INSTALLED WITHIN SCH 40 PVC SLEEVES AS NOTED, IRRIGATION COMMUNICATION CABLE SHALL HAVE IT'S OWN SEPARATE SLEEVE UNLESS NOTED OTHERWISE.
- 18. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR ALL SLEEVING, UNLESS OTHERWISE NOTED.
- 19. ALL UNSIZED PIPE SHALL BE 3/4".
- 20. IRRIGATION LATERAL LINES TO BE BURIED AT A DEPTH OF 12" UNLESS NOTED OTHERWISE.
- 21. IRRIGATION MAINLINES TO BE BURIED AT A DEPTH OF 18" UNLESS NOTED OTHERWISE.
- 22. ALL COMPONENTS INSTALLED BY THE IRRIGATION CONTRACTOR, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE EXACT LOCATION AND DEPTH BELOW FINISH GRADE OF ALL COMPONENTS SHALL BE NOTED ON THE "AS-BUILT" DRAWINGS.
- 23. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE, COPIES OF THE PERMITS SHALL BE SENT TO THE LANDSCAPE SUPERVISOR. WORK IN THE RIGHT OF WAY SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE HIGHWAY JURISDICTION.
- 24. THE DWNER SHALL PROVIDE 120 VOLT SINGLE PHASE ELECTRICAL SERVICE TO THE CONTROLLER LOCATION.
- 25. ALL PLANT MATERIAL TO HAVE DRIPLINE INSTALLED ON BOTH SIDES. STAKE DRIPLINE EVERY 10' WITH 6" SOD STAPLES.
- 26. INSTALL A 2" PVC BALL VALVE PRIOR TO EACH GROUP OF VALVES IN A 12" PURPLE VALVE BOX.
- 27. ALL LATERAL LINES TO BE INSTALLED AS FAR FROM EXISTING TREE DRIPLINES AS POSSIBLE.

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	GPM
1	Rain Bird PESB-R	Turt Spray	1.58 in/h	50.1
2	Rain Bird XCZ	Area for Dripline	1.16 in/h	20.0
3	Rain Bird PESB-R	Turf Rotary	0.40 in/h	62.6
4	Rain Bird XCZ	Area for Dripline	1.16 in/h	60.0
5	Rain Bird XCZ	Area for Dripline	1.16 in/h	30.0
6	Rain Bird PESB-R	Turf Spray	1.58 in/h	41.2
7	Rain Bird PESB-R	Turf Spray	1.58 in/h	58.1
8	Rain Bird XCZ	Area for Dripline	1.16 m/h	45.0
9	Rain Bird PESB-R	Turf Rotary	0.40 in/h	33.4
10	Rain Bird PESB-R	Turf Spray	1.58 m/h	17.2
	Rain Bird PESB-R	Turf Spray	1.58 m/h	56.6
12	Rain Bird XCZ	Area for Dripline	1.16 m/h	19.0
13	Rain Bird XCZ	Area for Dripline	1.16 m/h	65.0
14	Rain Bird PESB-R	Turf Rotary	0.40 in/h	42.1
15	Rain Bird PESB-R	Turf Rotary	0.40 in/h	35.8
16	Rain Bird PESB-R	Turf Rotary	0.40 in/h	36.6
17	Rain Bird PESB-R	Turf Sprav	1.58 m/h	46.5
18	Rain Bird PESB-R	Turf Spray	1.58 m/h	37.6
19	Rain Bird XCZ	Area for Dripline	1.16 m/h	59.0
20	Rain Bird PESB-R	Turf Rotary	0.40 in/h	56.6
21	Rain Bird PESB-R	Turf Sprav	1.58 m/h	56.6
22	Rain Bird PESB-R	Turf Sprav	1.58 in/h	39.5
23	Rain Bird XCZ	Area for Dripline	1.16 m/h	20.0

AVERAGE GALLONS PER DAY: 33,880

Image: DEBARY COMMERCIAL Image: Description Image: Description Image: Description Image: DEBARY COMMERCIAL Image: Description Image: Description Image: Description Image: Description Image: DEBARY COMMERCIAL Image: Description Image: Description Image: Description Image: Description Image: Description Image: DETAIL Image: Description Image: Description Image: Description Image: Description Image: Description Image: DETAIL Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description Image: Description<	CIVILE DE STAFF COMMERCIAL DE BARY COMMERCIAL DE BARY COMMERCIAL 17 ACRES 17 ACRES 18 ANIRONNENTING 17 ACRES 19 ANIRONNENTING 17 ACRES 19 ANIRONNENTING 10 A A A A A A A A A A A A A A A A A A A			RE		ZEV COHEN	& ASSOCIATES, INC. 300 INTERCHANGE BLVD, STE. C 08MOND BEACH, FL 32174	
DEBARY COMMERCIAL No. Date N Demittals/revisions 17 ACRES 17 ACRES 3. 9.20-19 5.00 Existed Perstaff comments, Dated 8-20-19 17 ACRES 17 ACRES 3. 9.20-19 5.00 Existed Perstaff comments, Dated 8-20-19 17 ACRES 17 ACRES 18.00 Existed Perstaff comments, Dated 8-20-19 Existed 8-20-19 18 RIGATION PLAN 19.00 19.00 19.00 19.00 19.00 10 OLISIA 10.00 10.00 10.00 10.00 10.00	IN OUR COUNTY FLORING CHECKED BY: SWG CHECKED BY: SWG		CIVIL ENGINEERING	LANDSCAPE ARCHITECTUR	ENVIRONMENTAL	PLANNING	TRANCDORTATION	(EB 4516)
DEBARY COMMERCIAL 17 ACRES 17 ACRES PRELIMINARY PLAT PRELIMINARY PLAT IRRIGATION PLAN & DETAILS CITY OF DEBARY	DEBARY COMMERCIAL BRARY COMMERCIAL 17 ACRES 17 ACRES 17 ACRES 17 ACRES DESIGNED BY: SWG DRAFTED BY: SWG DRAFTED BY: SMG CHECKED BY: SMG CHECKED BY: JES DRAFTINING FILE: 16070-IR XREFS: 160705URV.DWG	NO. DATE BY SUBMITTALS / REVISIONS	3. 9-20-19 SMG REVISED PER STAFF COMMENTS, DATED 8-20-19					
	PROJECT NO: ZC 16070 DESIGNED BY: SMG DRAFTED BY: SMG CHECKED BY: JES DRAWING FILE: 16070-IR XREF'S: 16070BAS.DWG XREF'S: 16070SURV.DWG			17 ACRES	PRELIMINARY PLAT	TRBICATION DI AN & DETAILS		CITY OF DEBARY



SCALE: NTS





June 17, 2020

Pattie Sholar Project Manager KBC Development, Inc 1590 Bobby Lee Pt. Sanford, FL 32771

Re: Development Order for Case #19-01-PPR-KBCMixed

Dear Patti Sholar:

This is letter is to issue the Preliminary Plat and Construction Plan Final Development Order for the KBC Mixed Use project, Case #19-01-PPR-KBCMixed. This final development order authorizes commencement of construction after a required pre-construction meeting, in accordance with the approved construction plans dated January 16, 2019.

On November 5, 2019 the City of DeBary Development Review Committee conditionally approved the Preliminary Plat and Construction Plans, Case # 10-01-PPR-KBC-Mixed, providing for the conditions of approval and acceptable revisions. The applicant has since met the conditions of approval and the final development order is being issued. Prior to the commencement of construction, the following conditions must be met.

- 1) Please submit a certified Engineers Opinion of Cost for the project, to be verified by the City Engineer prior to setting up the pre-construction meeting.
- 2) Please submit payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).
- 3) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
 - a. Applicant must bring payment for inspection fee to the meeting.
 - b. Applicant must bring a tentative construction schedule to the meeting.
 - c. Applicant should bring the FDEP NOI to the meeting if available or be able to provide an update on the status.





- 4) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before county staff may endorse the FDEP water and wastewater permit applications if applicable.
- 5) Coordinate with the Volusia County Water and Utility Services Group (Scott Mays, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans.
- 6) The applicant shall have erosion and sediment control procedures and equipment in place as well as any proposed tree protection barricades prior to commencement of construction. Please contact Steve Wood, 386-601-0213 for approval prior to any on-site clearing and/or grading. A NPDES Erosion and Sediment Inspection will be performed by the City.
- 7) The applicant shall execute a Road Maintenance Agreement prior to the commencement of construction.
- 8) Approved School Concurrency with the Volusia County School Board.
- 9) Provide a copy of the SJRWMD "Construction Commencement Notice" form (Form No. 40C-4.900(3)).

PLEASE NOTE: a pre-construction meeting will not be held without meeting the above requirements. Any site work, grading, fill dirt, or clearing of land prior to the required permits, development orders, or pre-construction meeting will result violations of City Ordinance and be met with all applicable fines and/or penalties under local and state law.

The Building Permit Application process is initiated by submitting the completed application and appropriate plans. The Building Permit Application must be accompanied by the approved version of the site plan, and any approved addendum sheets. Copies of the approved version of the plan, signed and sealed have been provided to the City and are available upon request. A copy of the final plan and development order will be provided to the City of DeBary Building Department.

The valid period of this Development Order is 360 days from the date of this letter. If construction has not commenced or is not continuing in good faith to conclusion during this valid period, this Development Order shall expire, unless extended by the DeBary City Council. No construction may commence or continue if this Development Order has expired.





During the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.

All plans and construction must be in substantial compliance with this Development Order. Deviations from the approved plans may require submittal of amended plans for review and approval by staff.

No final inspections will be performed by staff until the developer's engineer has certified that all construction has been completed in accordance with this Development Order and the approved plans. That certification must be submitted to the City before the final inspections will be scheduled. Please note additional inspection fees for inspection of site work i.e. stormwater pond may be required.

Please feel free to call me at 386-601-0238 if you have any questions or concerns.

Sincerel

Carmen Rosamonda City Manager City of DeBary

Cc: Randy Hudak Zev Cohen & Associates, Inc 300 Interchange Blvd., Suite C Ormond Beach, FL 32174 386-677-2482





May 5, 2023

Patti Sholar Project Manager KBC Development, Inc 1590 Bobby Lee Point Sanford, FL 32771

Re: KBC Mixed Preliminary Plat & Construction Plan, Case #19-01-PPR-KBCMixed and Case #23-01-DOE-KBC Mixed; Preliminary Plat and Construction Plan Development Order Extension.

Dear Patti Sholar:

This is a letter to issue the Preliminary Plat and Construction Plan Final Development Order for the KBC Mixed Use project, Case #19-01-PPR-KBCMixed. You requested a Development Order extension, Case #23-01-DOE-KBC Mixed, which was approved by the City Council May 3, 2023. This Development Order extension shall expire on April 30, 2024. This final development order authorizes commencement of construction after a required pre-construction meeting, in accordance with the approved construction plans dated January 16, 2019.

On November 5, 2019 the City of DeBary Development Review Committee conditionally approved the Preliminary Plat and Construction Plans, Case # 19-01-PPR-KBC-Mixed, providing for the conditions of approval and acceptable revisions. The applicant has since met the conditions of approval and the final development order is being issued. Prior to the commencement of construction, the following conditions must be met.

- Please submit a certified Engineers Opinion of Cost (EOC) for the project, to be verified by the City Engineer prior to setting up the pre-construction meeting. The EOC shall not include water and sewer utilities. Volusia County Utilities will provide separate inspections.
- Please bring payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).
- 3) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
 - a. Applicant must bring payment for inspection fee to the meeting.
 - b. Applicant must bring a tentative construction schedule to the meeting.
 - c. Applicant should bring the FDEP NOI to the meeting if available or be able to provide an update on the status.



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- 4) Prior to the pre-construction meeting, please submit four (4) complete full-size and two (2) half-size sets of signed and sealed plans. In addition, please provide a digitized version of the plans in both a portable document format (PDF) and computer-aided design (CAD) format.
- 5) Please contact Kevin Hare, 386-601-0223 to schedule a pre-construction meeting prior to any on-site clearing and/or grading.
- 6) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before County staff may endorse the FDEP water and wastewater permit applications if applicable.
- 7) Coordinate with the Volusia County Water and Utility Services Group (Erin Reed, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans.
- 8) The applicant shall have erosion and sediment control procedures and equipment in place as well as any proposed tree protection barricades prior to commencement of construction.
- 9) A NPDES Erosion and Sediment Inspection will be performed by the City.
- 10) The applicant may need to execute a Road Maintenance Agreement prior to the commencement of construction.
- 11) Approved School Concurrency with the Volusia County School Board.
- 12) Provide a copy of the SJRWMD "Construction Commencement Notice" form (Form No. 40C-4.900(3)).

PLEASE NOTE: a pre-construction meeting will not be held without meeting the above requirements. Any site work, grading, fill dirt, or clearing of land prior to the required permits, development orders, or pre-construction meeting will result violations of City Ordinance and be met with all applicable fines and/or penalties under local and state law.

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The valid period of this Development Order is 360 days from the date of this letter. If construction has not commenced or is not continuing in good faith to conclusion during this valid period, this Development Order shall expire, unless extended by the DeBary City Council. No construction





may commence or continue if this Development Order has expired. During the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.

All plans and construction must be in substantial compliance with this Development Order. Deviations from the approved plans may require submittal of amended plans for review and approval by staff.

No final inspections will be performed by staff until the developer's engineer has certified that all construction has been completed in accordance with this Development Order and the approved plans. That certification must be submitted to the City before the final inspections will be scheduled. Please note additional inspection fees for inspection of site work i.e. stormwater pond may be required.

Please feel free to call me at 386-601-0238 if you have any questions or concerns.

Sincerely

Carmen Rosamonda City Manager City of DeBary





City Council Meeting City of DeBary AGENDA ITEM

Subject:	Final Plat, Rivington, Phase 3	Attachments:
		() Ordinance
From:	Steve E. Bapp, AICP	() Resolution
	Growth Management Director	() Supporting Documents/ Contracts
		(X) Other
Meeting H	earing Date May 1, 2024	

<u>REQUEST</u>

The Applicant, Lennar, LLC, is seeking Final Plat approval for Rivington, Phase 3, which consists of 221 lots for single-family detached dwelling units.

PURPOSE

The Applicant is requesting approval of a Final Plat for the purpose of recording the plat and permitting sellable lots.

CONSIDERATIONS

On October 3, 2018, the City Council adopted Ordinance No. 11-2018, approving a major amendment to the Fort Florida Commons Mixed Planned Unit Development (MPUD) to approve new development standards for the MPUD and to rename it to Rivington. With this approval, City Council authorized the zoning for a mixed use development comprised of commercial, detached single-family residential, and townhomes.

On November 1, 2022, the Development Review Committee conditionally approved the preliminary plat and construction plans for Rivington, Phase 3.

On July 12, 2023, a development order was issued by the City Manager for Rivington, Phase 3.

The Applicant is now requesting Final Plat approval for Phase 3 of Rivington, which is comprised of Lots 477 to 697 for a total of 221 lots.

FINDINGS OF FACT

The City of DeBary Development Review Committee and City Attorney reviewed the request and provide for the following findings of fact:

- All requirements of the City's Land Development Code (and Florida Statutes) have been addressed;
- The City's Surveyor, in conformity with Chapter 177 of the Florida Statutes, has reviewed the Final Plat and the City Attorney has conducted a legal review of the Final Plat and the title opinion.

• On March 19, 2024, the Development Review Committee reviewed and recommended approval to the City Council of the Final Plat contingent on addressing outstanding staff comments. These staff comments have since been addressed.

COST/FUNDING

N/A

RECOMMENDATION

It is recommended the City Council approve the Final Plat for Rivington, Phase 3 subject to the following conditions of approval:

- Payment of all required fees, deposits, and costs as may be applicable or required pursuant to the Land Development Code (LDC), and other applicable laws, ordinances, and regulations shall be paid to the City prior to final plat approval and recording. The applicant shall be responsible for all recording costs associated with the plat and related documents.
- The original signed plat Mylar and all original executed plat related documents are to be promptly recorded in the Public Records of Volusia County, Florida, after final plat approval and only after satisfaction of all conditions of plat approval. Upon recording of the plat and plat related documents, the applicant shall provide the City with a recorded copy of the plat and plat documents to evidence proper recording.
- It is the responsibility of the entity subdividing the land to ensure that all applicable requirements of the LDC and Florida Statutes relative to the subdividing and development of property are met prior to the final plat approval and recording. The lots on the plat shall not be conveyed unless and until the conditions of approval have been satisfied and the plat as well as the plat related documents have been fully executed and recorded in the public records.

IMPLEMENTATION

The plat will be recorded with the Volusia County Clerk of the Courts

ATTACHMENTS

- Rivington, Phase 3 Final Plat
- Performance Bond
- Engineer's Opinion of Cost
- Maintenance Agreement

RIVIN	GTON PHASE 3	SHEET 1 OF 16	PLAT BOOK PAGE
A REPLAT OF TRACT FD-1, RIVINGTON PHASE 1C, MAP BOO AN UNRECORDED PORTION OF LAND LYING IN SECTION 8	OK 62, PAGES 112 THROUGH 116, PUBLIC RECOR 3, TOWNSHIP 19 SOUTH, RANGE 30 EAST, CITY OF	RDS OF VOLUSIA COUNTY, FLORIDA AND F DEBARY, VOLUSIA COUNTY, FLORIDA	DEDICATION RIVINGTON PHASE 3
LEGAL DESCRIPTION: A REPLAT OF TRACT FD-1, RIVINGTON PHASE 1C, MAP BOOK 62, PAGES 112 THROUGH 116, PUBLIC VOLUSIA COUNTY, FLORIDA AND AN UNRECORDED PORTION OF LAND LYING IN SECTION 8, TOWNSHIP 19 30 EAST, CITY OF DEBARY, VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOW BEGIN AT THE NORTHWEST CORNER OF RIVINGTON PHASE 1C AS RECORDED IN MAP BOOK 62, PAGES 112 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE RUN SOUTH 00°20'49" WEST ALONG OF SAID PHASE 1C AND ALONG THE EAST LINE OF SAID TRACT FD-1 FOR A DISTANCE OF 1000.43 FEET OF CURVATURE OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 12 00 FEET WITH A CHOR	FEET; THENCE RUN SOUTH 77°42'30" WE A DISTANCE OF 84.87 FEET; THENCE I NORTH 82°36'01" WEST FOR A DISTANC 83.14 FEET; THENCE RUN NORTH 40°34 WEST FOR A DISTANCE OF 58.72 FEET; RUN SOUTH 37°35'07" WEST FOR A DIST OF 66.54 FEET; THENCE RUN NORTH 35 WEST FOR A DISTANCE OF 43.19 FEET;	EST FOR A DISTANCE OF 51.56 FEET; THENCE RUN SOUTH 87'58'18" WEST FOR RUN SOUTH 85'13'02" WEST FOR A DISTANCE OF 75.54 FEET; THENCE RUN E OF 56.41 FEET; THENCE RUN NORTH 42'17'48" WEST FOR A DISTANCE OF 4'43" WEST FOR A DISTANCE OF 73.70 FEET; THENCE RUN SOUTH 39'35'13" THENCE RUN SOUTH 21'55'15" EAST FOR A DISTANCE OF 85.83 FEET; THENCE TANCE OF 89.52 FEET; THENCE RUN SOUTH 77'23'43" WEST FOR A DISTANCE 5'42'27" WEST FOR A DISTANCE OF 70.99 FEET; THENCE RUN SOUTH 66'27'46" THENCE RUN SOUTH 29'04'46" EAST FOR A DISTANCE OF 54.29 FEET; THENCE	KNOW ALL MEN BY THESE PRESENTS, That AG EHC II (LEN) MULTI STATE 4, LLC a Delaware limited liability company, being the owner in fee simple of all the lands described in the attached plat except Tract RES-1, entitled RIVINGTON PHASE 3, located in the City of DeBary, Florida, hereby dedicates said lands and plat for the uses and purposes therein expressed, including as set forth in the plat notes, and dedicates all Streets, Roads, Access Easement and Utility Easements shown or described thereon to the perpetual use of the Public, and the City of DeBary for the purposes therein expressed.
SOUTH 45°07'19" WEST, AND A CHORD DISTANCE OF 16.90 FEET; THENCE RUN SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°33'00" FOR A DISTANCE OF 18.76 FEET TO THE POINT BEING A POINT ON THE SOUTH LINE OF SAID TRACT FD-1; THENCE RUN SOUTH 89°53'49" WEST ALON LINE AND ALONG THE NORTH LINE OF RIVINGTON PHASE 2A, ACCORDING TO THE PLAT THERE OF AS REC BOOK 63, PAGE 126 THROUGH 131 OF SAID PUBLIC RECORDS FOR A DISTANCE OF 86.00 FEET TO CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 12.00 FEET, WITH A CHOR NORTH 44°52'41" WEST, AND A CHORD DISTANCE OF 17.04 FEET; THENCE RUN ALONG THE NORTH RIVINGTON PHASE 2A THE FOLLOWING COURSES AND DISTANCES: NORTHWESTERLY ALONG THE ARC O	G THE ARC OFRUN SOUTH 41°43'40" EAST FOR A DISTANCEOF TANGENCY, NG SAID SOUTH86.12 FEET; THENCE RUN SOUTH 83°29NG SAID SOUTH CORDED IN MAP THE POINT OF RD BEARING OF LINE OF SAID DF SAID CURVERUN SOUTH 41°43'40" EAST FOR A DISTANCE WEST FOR A DISTANCE OF 87.91 FEET; RUN NORTH 82°34'59" WEST FOR A DIST OF 41.83 FEET; THENCE RUN NORTH 29 WEST FOR A DISTANCE OF 409.90 FEET; RUN SOUTH 62°00'49" WEST FOR A DIST OF AFORESAID SECTION 8; THENCE DEPA	ANCE OF 58.84 FEET; THENCE RUN SOUTH 86'13'14" WEST FOR A DISTANCE OF 9'24" WEST FOR A DISTANCE OF 67.79 FEET; THENCE RUN SOUTH 69'15'33" THENCE RUN SOUTH 84'28'14" WEST FOR A DISTANCE OF 59.55 FEET; THENCE TANCE OF 31.80 FEET; THENCE RUN NORTH 70'24'24" WEST FOR A DISTANCE 9'56'06" WEST FOR A DISTANCE OF 97.17 FEET; THENCE RUN SOUTH 02'28'32" THENCE RUN SOUTH 02'53'41" WEST FOR A DISTANCE OF 24.96 FEET; THENCE FANCE OF 20.70 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 ARTING SAID SAFE UPLAND LINE RUN NORTH 00'23'22" WEST ALONG SAID WEST	Tract LS-2 (Lift Station) is hereby dedicated in fee simple to Volusia County, Florida, without any restriction whatsoever. County ownership of the tract and the improvements thereon vest upon approval of this plat by the City Commissioners of the City of DeBary, Florida. Recording of this plat shall act as conveyance to Volusia County, Florida and no further instrument shall be necessary to vest fee simple in the County as aforementioned.
THROUGH A CENTRAL ANGLE OF 90.27.00 FOR A DISTANCE OF 18.94 FEET TO A POINT ON A NON THENCE RUN SOUTH 89°21'26" WEST FOR A DISTANCE OF 20.00 FEET TO A POINT ON A NON TA CONCAVE NORTHWESTERLY HAVING A RADIUS OF 12.00 FEET, WITH A CHORD BEARING OF SOUTH 45°07" A CHORD DISTANCE OF 16.90 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURV CENTRAL ANGLE OF 89°33'00" FOR A DISTANCE OF 18.76 FEET TO THE POINT OF TANGENCY; THENC 89°53'49" WEST FOR A DISTANCE OF 86.00 FEET TO THE POINT OF CURVATURE OF A CUP NORTHEASTERLY HAVING A RADIUS OF 12.00 FEET, WITH A CHORD BEARING OF NORTH 44°52'41" WEST, DISTANCE OF 17.04 FEET; THENCE PUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE	TANGENT LINE;ANGENT CURVE,19" WEST, AND/E THROUGH ACE RUN SOUTHRVE, CONCAVEAND A CHORDCENTRALAND A CHORDLINE FOR A DISTANCE OF 1831.18 FEETSAID SECTION 8; THENCE RUN NORTHSECTION 8, FOR A DISTANCE OF 1263.41OF RIVINGTON PHASE 1A ACCORDING TOOF SAID PUBLIC RECORDS; THENCE RUNDISTANCE OF 158.87 FEET; THENCE RUNDISTANCE OF 2285.41 FEET TO THE NOR	TO THE SOUTHWEST CORNER OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF 00°23'22" WEST ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF FORT FLORIDA ROAD THE PLAT THEREOF AS RECORDED IN MAP BOOK 61, PAGES 143 THROUGH 156 JN NORTH 89°07'41" EAST ALONG SAID SOUTH RIGHT OF WAY LINE FOR A JN NORTH 89°51'09" EAST ALONG SAID SOUTH RIGHT OF WAY LINE FOR A RTHWEST CORNER OF TRACT OS-1 OF SAID RIVINGTON PHASE 1A; THENCE RUN	his hand and seal on 2024. AG EHC II (LEN) MULTI STATE 4, LLC A DELAWARE LIMITED LIABILITY COMPANY BY: ESSENTIAL HOUSING ASSET MANAGEMENT, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, ITS AUTHORIZED AGENT
OF 90°27'00" FOR A DISTANCE OF 18.94 FEET TO THE POINT OF TANGENCY; THENCE RUN NORTH 00°20 A DISTANCE OF 5.00 FEET; THENCE RUN SOUTH 89°40'52" WEST FOR A DISTANCE OF 50.00 FEET; THEN 00°20'49" WEST FOR A DISTANCE OF 5.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE N HAVING A RADIUS OF 12.00 FEET, WITH A CHORD BEARING OF SOUTH 45°07'19" WEST, AND A CHORD 16.90 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE FOR A DISTANCE OF 18.76 FEET TO THE POINT OF TANGENCY; THENCE RUN SOUTH 89°53'49" WEST FC OF 86.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RA FEET. WITH A CHORD BEARING OF NORTH 44°52'41" WEST. AND A CHORD DISTANCE OF 17.04 FEET:	SOUTH00°08'51"EASTALONGTHEWE0'49"EASTFORSOUTHSOUTHWESTCORNERTHEREOF;THENCEFICERUNSOUTHADISTANCEOF205.12FEETTOTHEPOINORTHWESTERLYDDISTANCEOF205.12FEETTOTHEPOIODISTANCEOFCONTAINING102.21ACRES,MOREORLESDDISTANCELEGEND:CCENTERLINECCENTERLINE	EST LINE OF SAID TRACT OS-1 FOR A DISTANCE OF 63.59 FEET TO THE RUN SOUTH 89°39'11" EAST ALONG THE SOUTH LINE OF SAID TRACT OS-1 FOR INT OF BEGINNING. SS. KNOW ALL MEN BY THESE PRESENTS, That HR RIVINGTON, LLC a Florid limited liability company, being the owner in fee simple of Tract RES described in the attached plat, entitled RIVINGTON PHASE 3, located the City of DeBary.	By: WITNESSES: da STEVEN S. BENSON MANAGER Sign: Print:
NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°27'00" FOR A 18.94 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 89°21'26" WEST FOR A DISTA FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE NORTHWESTERLY HAVING A RADIUS OF 12.00 CHORD BEARING OF SOUTH 45°07'19" WEST, AND A CHORD DISTANCE OF 16.90 FEET; THENCE RUN S ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°33'00" FOR A DISTANCE OF 18.76 POINT OF TANGENCY; THENCE RUN SOUTH 89°53'49" WEST FOR A DISTANCE OF 85.16 FEET TO CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 12.00 FEET, WITH A CHOR NORTH 45°06'11" WEST, AND A CHORD DISTANCE OF 16.97 FEET. THENCE RUN NORTHWESTERLY ALONG	A DISTANCE OF ANCE OF 20.00ORB.OFFICIAL RECORDS BOOKANCE OF 20.00M.B.MAP BOOKO FEET, WITH AP.B.PLAT BOOKSOUTHWESTERLYP.B.PLAT BOOK5 FEET TO THED.B.DEED BOOKTHE POINT OFPG(S).PAGE(S)RD BEARING OFP.C.POINT OF CURVATURE	Ine City of Debary, Florida, nereby dedicates said lands and plat for the uses and purposes therein expressed, including as set forth in the pl notes. IN WITNESS WHEREOF, The undersigned hereunto set his hand and seal on 2024. HR RIVINGTON, LLC A FLORIDA LIMITED LIABILITY COMPANY	Print: at Sign: Print:
SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" FOR A DISTANCE OF 18.85 FEET TO THE POINT THENCE RUN NORTH 00°06'11" WEST FOR A DISTANCE OF 108.00 FEET; THENCE RUN SOUTH 89°53'49" DISTANCE OF 170.00 FEET; THENCE RUN NORTH 00°20'49" EAST FOR A DISTANCE OF 503.14 FEET TO CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 130.00 FEET, WITH A CHOR NORTH 41°59'43" WEST, AND A CHORD DISTANCE OF 175.12 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 84°41'04" FOR A DISTANCE OF 192.14 FEET TO THE POINT THENCE RUN NORTH 84°20'15" WEST FOR A DISTANCE OF 31.47 FEET; THENCE RUN SOUTH 42°39'46' DISTANCE OF 51.45 FEET; THENCE RUN SOUTH 58'08'33" WEST FOR A DISTANCE OF 109.61 FEET; THENCE	OF TANGENCY;P.T.POINT OF TANGENCY"WEST FOR AN.T.NON-TANGENTTHE POINT OFP.I.POINT OF INTERSECTIONRD BEARING OFP.R.C.POINT OF REVERSE CURVAG THE ARC OFP.R.C.POINT OF REVERSE CURVAOF TANGENCY;U.E.UTILITY EASEMENT"WEST FOR AV.U.E.VOLUSIA COUNTY UTILITY EICE RUN SOUTHLBLICENSED BUSINESS	BY: HR SOUTHEAST, LLC A DELAWARE LIMITED LIABILITY COMPANY; SOLE MEMBER BY: RP INVESTORS SOUTHEAST, LLC A FLORIDA LIMITED LIABILITY COMPANY; SOLE MANAGING MEMBER BY READER & PARTNERS, LLC A FLORIDA LIMITED LIABILITY COMPANY; SOLE MANAGER	STATE OF
57*41'18" WEST FOR A DISTANCE OF 88.79 FEET; THENCE RUN SOUTH 87*32'48" WEST FOR A DISTANCE THENCE RUN SOUTH 56*01'58" WEST FOR A DISTANCE OF 114.00 FEET; THENCE RUN SOUTH 55*48'26' DISTANCE OF 102.41 FEET TO THE NORTHWEST CORNER OF SAID RIVINGTON PHASE 2A; THENCE RUN ALL LINE OF SAID RIVINGTON PHASE 2A THE FOLLOWING COURSES AND DISTANCES: SOUTH 00*20'49" WEST FO OF 199.33 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF WITH A CHORD BEARING OF SOUTH 86*43'28" WEST, AND A CHORD DISTANCE OF 17.95 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01*40'19" FOR A DISTANCE OF 17.9 POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 04*06'42" EAST FOR A DISTANCE OF 50.00 FEET A NON TANGENT CURVE, CONCAVE SOUTHERLY HAVING A RADIUS OF 565.00 FEET, WITH A CHORD BEAR	OF 78.13 FEET;CCR#CERTIFIED CORNER RECORD"WEST FOR ACCR#CERTIFIED CORNER RECORD.ONG THE WESTPRMPERMANENT REFERENCE MOR A DISTANCEP.S.M.PROFESSIONAL SURVEYORF 615.00 FEET,CMCONCRETE MONUMENTRUN WESTERLYCMCONCRETE MONUMENT95 FEET TO AN.R.NON-RADIAL (SEE NOTE #TO A POINT ONR/WRIGHT-OF-WAYRING OF NORTHDADWO	D NUMBER BY: DEAN BARBERREE TIS PRESIDENT WITNESSES: ONUMENT Sign: AND MAPPER Print: (1) Sign: Print: Print:	SIGNATURE OF PERSON TAKING ACKNOWLEDGEMENT NOTARY PUBLIC
87°21'44" EAST, AND A CHORD DISTANCE OF 29.06 FEET; THENCE RUN EASTERLY ALONG THE ARC C THROUGH A CENTRAL ANGLE OF 02°56'51" FOR A DISTANCE OF 29.07 FEET TO A POINT ON A NON THENCE RUN SOUTH 00°20'49" WEST FOR A DISTANCE OF 120.95 FEET TO A POINT ON A NON TA CONCAVE SOUTHERLY HAVING A RADIUS OF 445.00 FEET, WITH A CHORD BEARING OF SOUTH 84°00'25" CHORD DISTANCE OF 71.00 FEET; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE THROUG ANGLE OF 09°09'07" FOR A DISTANCE OF 71.08 FEET TO A POINT ON A NON TANGENT LINE; THENC 10°34'09" EAST FOR A DISTANCE OF 120.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE S HAVING A RADIUS OF 325.00 FEET, WITH A CHORD BEARING OF SOUTH 74°36'05" WEST, AND A CHORD 54 73 FEET: THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE	R RADIUS DF SAID CURVE R RADIUS TANGENT LINE; CB CHORD BEARING ANGENT CURVE, C CHORD LENGTH "WEST, AND A Δ CENTRAL ANGLE GH A CENTRAL L ARC LENGTH CE RUN SOUTH 8–19S–30E SECTION – TOWNSHIP – R D DISTANCE OF P.A. PRIVATE ALLEYWAY	STATE OF	RIVINGTON PHASE 3 <u>RIVINGTON COMMUNITY DEVELOPMENT DISTRICT</u> All right, title, and interest of HR RIVINGTON, LLC, (the "Owner") in Tracts P-10, P-11 and P-12 (Stormwater), Tract C-5 (Conservation), and Tracts OS-38, OS-39, OS-40, OS-41, OS-42, OS-43, and OS-44 (OPEN SPACE), shown hereon are hereby conveyed to Rivington Community Development District (the "District"), reserving unto the
FOR A DISTANCE OF 54.79 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 20"13'42 DISTANCE OF 50.00 FEET TO A POINT ON A NON TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING 275.00 FEET, WITH A CHORD BEARING OF NORTH 71"53" (2" EAST, AND A CHORD DISTANCE OF 20.27 RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04"13'29" FOR A 20.28 FEET TO A POINT ON A NON TANGENT LINE; THENCE RUN SOUTH 11"49" (59" EAST FOR A DISTANCE OF SAID RIVINGTON PHASE 2A AND A POINT ON THE NORTH LINE OF 13; THENCE RUN NORTH 89"54'19" EAST ALONG THE SOUTH LINE OF SAID RIVINGTON PHASE 2A AND LINE FOR A DISTANCE OF 14.72 FEET TO THE NORTHEAST CORNER OF SAID RIVINGTON PHASE CORNER OF SAID RIVINGTON PHASE 2A AND LINE FOR A DISTANCE OF 14.72 FEET TO THE NORTHEAST CORNER OF SAID GOVERNMENT LOT 3; THENCE	2" EAST FOR A 2" EAST FOR A COA) OVERALL 2" EAST FOR A COA) OVERALL O	IDENTIFICATION. IDENTIFICATION. SIGNATURE OF PERSON TAKING ACKNOWLEDGEMENT NOTARY PUBLIC NOTARY PUBLIC INTRE PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF	"Owner" and its assigns the right of approval of all changes to signage and walls (including changes to color) as originally constructed and also reserving unto the "Owner" perpetual easements for ingress and egress and the construction, installations, maintenance, and operation of underground electric, telephone, cable, gas, or other utilities, irrigation facilities, potable water, sanitary sewer, and storm water facilities, landscaped areas, fences, walls, entry facilities, including electronic card reading equipment, and pedestrian paths.
SAID SOUTH LINE AND SAID NORTH LINE RUN SOUTH 00°22'13" EAST ALONG THE EAST LINE OF SAID GO 3 FOR A DISTANCE OF 1422.29 FEET TO THE SAFE UPLAND LINE OF THE ST. JOHN'S RIVER AS ESTABL FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION; THENCE RUN ALONG SAID SAFE UPLAND LINE COURSES AND DISTANCES; THENCE RUN NORTH 67°37'12" WEST FOR A DISTANCE OF 42.19 FEET; THENC 52°08'53" WEST FOR A DISTANCE OF 43.19 FEET; THENCE RUN NORTH 58°13'05" WEST FOR A DISTANCE THENCE RUN NORTH 41°47'46" WEST FOR A DISTANCE OF 56.84 FEET; THENCE RUN NORTH 40°41'14' DISTANCE OF 57.59 FEET; THENCE RUN NORTH 31°21'27" WEST FOR A DISTANCE OF 57.74 FEET; THENC 76°16'22" WEST FOR A DISTANCE OF 73.86 FEET: THENCE RUN SOUTH 59°42'25" WEST FOR A DISTANCE	OVERNMENT LOTA SET 1/2" IRON ROD AN DISK P.S.M. #6723 PERMA DISK P.S.M. #6723 PERMA CONTROL POINT (PCP)CE RUN NORTH OF 37.21 FEET;CHANGE IN DIRECTION ALC RIGHT-OF-WAY LINE"WEST FOR A CE RUN SOUTH•CHANGE IN DIRECTION CHANGE IN DIRECTION CHANGE IN DIRECTION	D/OR NAIL & THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. DNG CERTIFICATE OF APPROVAL BY THE <u>CITY COUNCIL OF THE CITY OF DEBARY, FLORIDA</u>	easement over Tract P-10 through P-12 (Stormwater), Tract C-5 (Conservation) and Tracts A-2 through A-4 (Private Alley). The "District" by executing the dedication contained on this plat, accepts this conveyance and grants and agrees to maintain the tracts listed above, including all improvements constructed thereon, the stormwater, and drainage easements perpetually and to maintain the rights-of-ways until such time after the City Engineer has certified the construction has been completed.
SHEET INDEX SHEET 1 OF 16: LEGAL DESCRIPTION, DEDICATIONS, AND LEGEND SHEET 2 OF 16: SURVEYORS NOTES AND KEY MAPS SHEET 3 OF 16: VICINITY MAP SHEETS 4 – 6 OF 16: BOUNDARY INFORMATION AND TRACT GEOMETRY SHEETS 7 – 15 OF 16: LOT & TRACT GEOMETRY	 ♥ FOUND IRON ROD AND CAL PERMANENT REFERENCE M ● RECOVERED 4"x4" CONCREL LB 6723, UNLESS NOTED 	P AS SHOWN, IONUMENT This is to certify that onthe foregoing plat was approved by the City Council of the City of DeBary, Florida. Mayor of the City of DeBary OTHERWISE City Clerk of the City of DeBary CERTIFICATE OF APPROVAL BY THE	RIVINGTON COMMUNITY DEVELOPMENT DISTRICT Printed Name: Title: By: Signature of Witness Signature of Witness
ALLEN COMPANY Founded in 1988	CERTIFICATE OF SURVEYOR KNOW ALL MEN BY THESE PRESENTS, that the undersign professional land surveyor and mapper licensed in the S Florida, does hereby certify that this plat was prepared direction and it complies with all of the survey requirem	This is to certify that on this plat was approved Land Development Manager or his Authorized Representative	Printed Name of Witness Printed Name of Witness I HEREBY CERTIFY, that on this day, the foregoing instrument was acknowledged before me on thisday of2024, by,on behalf of said That before me by means of () physical presence or () online notarization, He/she is personally known to me or produced
Reviewing Surveyor for the Date SURVEYING • MAPPING City of Debary GEOSPATIAL SERVICES	Ch. 1//. By: Date: James L. Rickman P.S.M. # 5633 Allen & Company Licensed Business # 6723	I HEREBY CERTIFY, That the foregoing plat was received on pursuant to the requirements of Chapter 177, Florida Statutes. CLERK OF THE COURT in and for Volusia County. Florida	as identification. Commission No Signature of Notary Public Printed Name of Notary Public
ID EAST PLANT STREETSurvieen Solutions, Inc.WINTER GARDEN, FLORIDA 34787Professional Surveyor & Mapper(407) 654-5355LB #6723License Number	16 East Plant Street Winter Garden, Florida 34787	BY D.C.	Notary Public, State of Florida





NOTICE OF ESTABLISHMENT OF RIVINGTON COMMUNITY DEVELOPMENT DISTRICT RECORDED IN OFFICIAL RECORDS BOOK 7617, PAGE 4390, DECLARATION OF CONSENT TO JURISDICTION OF RIVINGTON COMMUNITY DEVELOPMENT DISTRICT AND TO IMPOSE SPECIAL ASSESSMENTS OF RECORD AT OFFICIAL RECORDS BOOK 7815, PAGE 1012, AND AS AFFECTED BY THAT NOTICE OF PUBLIC FINANCING RIVINGTON COMMUNITY DEVELOPMENT DISTRICT AS NOTED IN OFFICIAL RECORDS BOOK 7815, PAGE 1025, AND FURTHER AS AFFECTED BY THAT CERTAIN COLLATERAL ASSIGNMENT AND ASSUMPTION OF DEVELOPMENT AND CONTRACT RIGHTS RELATING TO THE RIVINGTON COMMUNITY DEVELOPMENT DISTRICT OF RECORD AT OFFICIAL RECORDS BOOK 7815, PAGE 1040, AND AS FURTHER AFFECTED BY THAT CERTAIN AGREEMENT BETWEEN RIVINGTON COMMUNITY DEVELOPMENT DISTRICT AND HR RIVINGTON LLC, REGARDING THE TRUE-UP AND PAYMENT OF SERIES 2020 PROJECT ASSESSMENTS AS NOTED IN OFFICIAL RECORDS BOOK 7815, PAGE 1051, AND AS AFFECTED BY THAT CERTAIN AGREEMENT BETWEEN RIVINGTON COMMUNITY DEVELOPMENT DISTRICT AND HR RIVINGTON, LLC, REGARDING THE TRUE-UP PAYMENT OF SERIES 2022 PROJECT ASSESSMENTS OF RECORD IN OFFICIAL RECORDS BOOK 8228, PAGE 4590, SAME BEING RE-RECORDED IN OFFICIAL RECORDS BOOK 8246, PAGE 123, AND AS AFFECTED BY THAT CERTAIN COLLATERAL ASSIGNMENT AND ASSUMPTION OF DEVELOPMENT AND CONTRACT RIGHTS RELATING TO THE RIVINGTON COMMUNITY DEVELOPMENT DISTRICT OF RECORD AT OFFICIAL RECORDS BOOK 8228, PAGE 4667, AND ALSO AS AFFECTED BY THAT CERTAIN DECLARATION OF CONSENT TO JURISDICTION OF RIVINGTON COMMUNITY DEVELOPMENT DISTRICT AND TO IMPOSE SPECIAL ASSESSMENTS OF RECORD AT OFFICIAL RECORDS BOOK 8228, PAGE 4678. AFFECTS SUBJECT PROPERTY, IS BLANKET

ROAD MAINTENANCE DEVELOPERS AGREEMENT OF RECORD AT OFFICIAL RECORDS BOOK 7777, PAGE 4803. AFFECTS SUBJECT PROPERTY, IS BLANKET IN NATURE, AND THERE

3. MASTER UTILITY SERVICE AGREEMENT FOR RIVINGTON DEVELOPMENT OF RECORD IN OFFICIAL RECORDS BOOK 7800, PAGE 1613. AND AS AFFECTED BY THAT CERTAIN FIRST AMENDMENT TO THE JANUARY 9, 2020 UTILITY SERVICE AGREEMENT FOR RIVINGTON DEVELOPMENT OF RECORD AT OFFICIAL RECORDS BOOK 8435, PAGE 1300. AFFECTS SUBJECT

4. DECLARATION OF COVENANTS AND RESTRICTIONS FOR RIVINGTON, AS RECORDED IN OFFICIAL RECORDS BOOK 7906, PAGE 1540, AND AS AFFECTED BY THE CONSENT BY DECLARANT TO ADOPT AMENDED AND RESTATED ARTICLES OF INCORPORATION OF RIVINGTON HOMEOWNERS ASSOCIATION, INC, OF RECORD AT OFFICIAL RECORDS BOOK 7906, PAGE 1588, AND AS AFFECTED BY THE FIRST AMENDMENT OF RECORD IN OFFICIAL RECORDS BOOK 7988, PAGE 1810, AND FURTHER BY NOTICE OF RECORDING AMENDED AND RESTATED ARTICLES OF INCORPORATION OF RIVINGTON HOMEOWNERS ASSOCIATION INC OF RECORD AT OFFICIAL RECORDS BOOK 7912, PAGE 2653, AND AS AFFECTED BY THAT CERTAIN SECOND AMENDMENT OF RECORD AT OFFICIAL RECORDS BOOK 8241, PAGE 2209, AND AS AFFECTED BY THAT CERTAIN SUPPLEMENT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FOR RIVINGTON OF RECORD IN OFFICIAL RECORDS BOOK 8448, PAGE 111, AND AS AFFECTED BY THAT CERTAIN SUPPLEMENT TO THE DECLARATION







KEY MAP SHEETS 7-16 (LOTS & TRACTS) NOT TO SCALE

> NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PAGE











OTICE:	SHEET INDEX SHEET 1 OF 16:
HIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF HE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES E SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF HE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED IN THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.	SHEET 2 OF 16: SHEET 3 OF 16: SHEETS 4 - 6 (SHEETS 7 - 15 SHEET 16 OF 16

LEGAL DESCRIPTION, DEDICATIONS, AND LEGEND SURVEYORS NOTES AND KEY MAPS OF 16: BOUNDARY INFORMATION AND TRACT GEOMETRY OF 16: LOT & TRACT GEOMETRY

SOUTH LINE RIVINGTON PHASE 2A NORTH LINE





www.allen-company.com 16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED (407) 654-5355 LB #6723 ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SHEETS 4 - 6 OF 16: BOUNDARY INFORMATION AND TRACT GEOMETRY SHEETS 7 - 15 OF 16: LOT & TRACT GEOMETRY

SHEET 16 OF 16: TRACT C-5 (CONSERVATION)

S	CHORD BEARING	CHORD	DELTA	LENGTH
)'	S44°39'11"E	16.97'	90°00'00"	18.85'
)'	N45°20'49"E	16.97'	90°00'00"	18.85'
0'	S44°54'19"E	355.11'	90°30'16"	394.90'
0'	N08°49'36"W	79.71'	18 ° 20'51"	80.06'
0'	N08°49'36"W	41.45'	18°20'51"	41.63'
0'	N44°54'19"W	390.62'	90 ° 30'16"	434.39'
0'	N09°10'22"W	90.96'	19 ° 02'22"	91.38 '
0'	N54°25'30"W	321.20'	71 ° 27'54"	343.01'
כי	N80°49'38"E	33.08'	19°02'22"	33.23'

LINE TABLE				
LINE	BEARING	LENGTH		
L38	N71 ° 18'27"E	13.82'		



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192
ACT FD-1 ASE 1C 112-116
- ([- act os-11 pen space)
210
211





SHEETS 4 - 6 OF 16: BOUNDARY INFORMATION AND TRACT GEOMETRY

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	022.20	010702	010.12
)0"E	46.87'	08°57'42"	46.92'
ŀ2"E	46.87'	08°57'42"	46.92'
30"E	39.06'	07°27'54"	39.09'
9"E	355.11'	90 ° 30'16"	394.90'
-6"W	76.16'	17°31'21"	76.46'
-7"W	0.63'	00°08'38"	0.63'
)2"W	70.08'	16°06'52"	70.31'
0"E	252.23'	34°56'54"	256.19'
30"E	54.68'	07°27'54"	54.72'
2"E	65.62'	08°57'42"	65.69'
D1"E	65.62'	08°57'42"	65.69'
21"W	43.20'	19 ° 07'48"	43.40'
31"W	20.02'	08 ° 49'51"	20.04'

ARING	CHORD	DELIA	LENGIH
1"E	322.20'	64 ° 57'32"	340.12'
)"Е	46.87'	08 ° 57'42"	46.92'
2"E	46.87'	08 ° 57'42"	46.92'
О"Е	39.06'	07 ° 27'54"	39.09'
Э"Е	355.11'	90 ° 30'16"	394.90'
5"W	76.16'	17°31'21"	76.46'
7"W	0.63'	00°08'38"	0.63'
2"W	70.08'	16°06'52"	70.31'
)"Е	252.23'	34 ° 56'54"	256.19'
О"Е	54.68'	07 ° 27'54"	54.72'
2"E	65.62'	08 ° 57'42"	65.69'
"Е	65.62'	08 ° 57'42"	65.69'
1"W	43.20'	19 ° 07'48"	43.40'
"W	20.02'	08°49'51"	20.04'

CURVE	RADIUS	CHORD BEARING	CHORD	DELTA
C171	275.00'	N44°54'19"W	390.62'	90°30'16"
C173	275.00'	N54°25'30"W	321.20'	71°27'54"
C191	300.00'	S46°18'50"E	92.78'	17°47'25"
C192	300.00'	S31°18'31"E	63.86'	12°13'13"
C193	60.00'	N07°11'18"W	40.31'	39°15'19"
C194	40.00'	N38°52'44"W	62.45'	102°38'10"
C195	160.00'	N79°43'25"W	58.17 '	20°56'47"
C196	425.00'	N79°42'14"W	154.22'	20°54'25"
	_			_

300.00	S ²	46°18′50″E	92.78	17°47′25″	93.15
300.00'	S	31°18'31"E	63.86'	12°13'13"	63.98'
60.00'	N)7°11'18"W	40.31'	39°15'19"	41.11'
40.00'	N3	58°52'44"W	62.45'	102°38'10"	71.65'
160.00'	N7	'9 ° 43'25"W	58.17 '	20 ° 56'47"	58.49'
425.00'	N7	′9°42'14"W	154.22'	20°54'25"	155.08'
	[
	LINE TABLE				
	LINE	BEARING	LENGTH	4	

LINE TABLE				
LINE	BEARING	LENGTH		
L23	S42°39'46"W	73.84'		
L24	S39°43'14"W	67.39'		
L32	N26°48'36"W	18.26'		
L34	N12°26'21"E	102.25'		

	RIVINGTON PHASE 2A M.B. 63, PGS. 126–131				C=175 Δ=84°41' L=192	.12'- 04" .14'
CURVE TABLE						
URVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH	
C171	275.00'	N44°54'19"W	390.62'	90°30'16"	434.39'	
2173	275.00'	N54°25'30"W	321.20'	71 ° 27'54"	343.01'	
C191	300.00'	S46°18'50"E	92.78'	17°47'25"	93.15'	
0192	300.00'	S31°18'31"E	63.86'	12 ° 13'13"	63.98'	
2193	60.00'	N07°11'18"W	40.31'	39°15'19"	41.11'	
2194	40.00'	N38°52'44"W	62.45'	102 ° 38'10"	71.65'	
C195	160.00'	N79°43'25"W	58.17'	20°56'47"	58.49'	



A REPLAT OF TRACT FD-1, RIVINGTON PHASE 1C, MAP BOOK 62, PAGES 112 THROUGH 116, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA AND AN UNRECORDED PORTION OF LAND LYING IN SECTION 8, TOWNSHIP 19 SOUTH, RANGE 30 EAST, CITY OF DEBARY, VOLUSIA COUNTY, FLORIDA

TRACT OS-40

626

TRACT C-5

FORT FLORIDA ROAD ORB. 6397, PG. 1228 M.B. 61, PGS. 143–156

RIGHT-OF-WAY WIDTH VARIES

2285.41'

SHEET 10 OF 16

TRACT OS-40



SHFFT	11	OF	16	PLAT	R
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NOT TO SCALE

LE		
CHORD	DELTA	LENGTH
176.00'	89°29'44"	195.25'
17.07'	07°49'43"	17.08'
47.83'	22°03'30"	48.12'
27.78'	12°45'31"	27.84'
46.81'	21°35'04"	47.09'
46.81'	21°35'04"	47.09'
8.03'	03°40'50"	8.03'
275.64'	37°50'41"	280.72'
0.29'	00°02'19"	0.29'
48.85'	06°35'22"	48.88'
51.82'	06 ° 59'25"	51.85'
243.21'	37°50'41"	247.70'
73.53'	11°15'09"	73.65'
11.61'	01°46'28"	11.61'
105.60'	89°29'44"	117.15'
10.03'	07°40'02"	10.04'
98.24'	81°49'42"	107.11'
353.47'	37°50'41"	359.98'
66.45'	06°59'25"	66.49'
62.64'	06°35'22"	62.68'
0.37'	00°02'19"	0.37'
65.39'	37°50'41"	168.43'
50.00'	11°15'09"	50.08'
7.90'	01°46'28"	7.90'
112.61'	44°24'16"	115.48'
83.70'	37°51'44"	85.25'
2.81'	01°17'18"	2.81'
45.07'	20°46'12"	45.31'
40.80'	89°29'44"	156.20'
259.43'	37°50'41"	264.21'
0.55'	0°15'13"	0.55'
27.23 '	12°30'19"	27.28'
17.94'	127 ° 35'35"	22.27'
8.83'	52°24'25"	9.15'





SHEET 13 OF 16

PLAT BOOK _____

PAGE _____

	CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH	
C61	425.00'	S18°34'31"E	275.64'	37°50'41"	280.72'	
C65	425.00'	S16°38'38"E	50.00'	06°44'40"	50.03'	
C66	425.00'	S23°23'18"E	50.00'	06°44'40"	50.03'	
C67	425.00'	S30°07'58"E	50.00'	06°44'40"	50.03'	
C68	425.00'	S35°30'05"E	29.61'	03 ° 59'33"	29.61'	
C102	375.00'	N18°34'31"W	243.21'	37°50'41"	247.69'	
C103	375.00'	S36°20'29"E	15.13'	02°18'45"	15.14'	
C104	375.00'	S29°33'32"E	73.53'	11°15'09"	73.65'	
C105	375.00'	S18°18'23"E	73.53'	11°15'09"	73.65'	
C125	545.00'	S18°34'31"E	353.47'	37 ° 50'41"	359.98'	
C126	545.00'	S35°30'05"E	37.97'	03 ° 59'33"	37.98'	
C127	545.00'	S30°07'58"E	64.12'	06°44'40"	64.15'	
C128	545.00'	S23°23'18"E	64.12'	6°44'40"	64.15'	
C129	545.00'	S16°38'38"E	64.12'	06°44'40"	64.15'	
C159	255.00'	N18°34'31"W	165.39'	37 ° 50'41"	168.43'	
C160	255.00'	N36°20'29"W	10.29'	02 ° 18'45"	10.29'	
C161	255.00'	N29°33'32"W	50.00'	11°15'09"	50.08'	
C162	255.00'	N18°18'23"W	50.00'	11°15'09"	50.08'	
C180	400.00'	S18°34'31"E	259.43'	37°50'41"	264.21'	



(LOTS & TRACTS) NOT TO SCALE





HEET	15	OF	16	

CURVE TABLE						
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH	
C69	125.00'	S82°29'51"E	176.78 '	90°00'00"	196.35'	
C70	125.00'	S47°47'08"E	44.65'	20°34'33"	44.89'	
C71	125.00'	S73°06'32"E	64.85'	30°04'14"	65.60'	
C72	125.00'	N84°58'35"E	29.95'	13°45'33"	30.02'	
C73	125.00'	N65°17'58"E	55.37 '	25°35'39"	55.84'	
C74	275.00'	S61°08'13"W	82.57'	17°16'09"	82.89'	
C75	275.00'	S52°39'51"W	1.55'	00 ° 19'25"	1.55'	
C76	275.00'	S61°17'56"W	81.04'	16°56'44"	81.33'	
C77	325.00'	S61°08'13"W	97.59'	17 ° 16'09"	97.96'	
C78	325.00'	S65°58'00"W	151.35'	26 ° 55'43"	152.74'	
C79	325.00'	S58°01'55"W	48.51'	8°33'34"	48.55'	
C80	325.00'	S53°07'38"W	7.09'	01 ° 14'59"	7.09'	
C81	75.00'	N82°29'51"W	106.07 '	90 ° 00'00"	117.81'	
C82	75.00'	N70°02'24"E	45.20'	35°04'31"	45.91'	
C83	75.00'	S64°57'36"E	69.17'	54 ° 55'29"	71.90'	
C118	155.00'	N61°02'51"E	46.06'	17°05'24"	46.23'	
C119	155.00'	N61°12'33"E	45.20 '	16°45'59"	45.36'	
C120	155.00'	S52°39'51"W	0.88'	00°19'25"	0.88'	
C121	245.00'	N66°59'15"E	122.56'	28°58'12"	123.88'	
C122	245.00'	S64°30'32"E	222.54'	54°01'20"	231.00'	
C123	245.00'	S74°47'48"E	141.00'	33°26'47"	143.02'	
C124	245.00'	S47°47'08"E	87.51'	20°34'33"	87.98'	
C138	445.00'	N70°32'33"E	275.62'	36°04'49"	280.23'	
C139	445.00'	N55°11'40"E	41.80'	05°23'03"	41.82'	
C140	445.00'	N60°58'01"E	47.83 '	06°09'39"	47.85'	
C141	445.00'	N67°07'36"E	47.81'	06°09'31"	47.83'	
C142	445.00'	N73°17'03"E	47.79 '	06°09'23"	47.82'	
C144	445.00'	N79°26'22"E	47.78'	06°09'16"	47.80'	
C145	445.00'	N85°32'59"E	47.09 '	06°03'58"	47.11'	
C146	445.00'	N53°07'38"E	9.71'	01°14'59"	9.71'	
C147	445.00'	N58°01'55"E	66.42'	08°33'34"	66.48'	
C148	445.00'	N66°35'30"E	66.42'	08°33'34"	66.48'	
C149	445.00'	N75°09'04"E	66.42'	08°33'34"	66.48'	
C181	100.00'	S82°29'51"E	141.42'	90°00'00"	157.08'	
C183	300.00'	N61°08'13"E	90.08'	17°16'09"	90.42'	
C184	20.00'	S06°06'06"E	3.99'	11°27'46"	4.00'	
C188	275.00'	S63°24'40"W	101.03'	21°10'14"	101.61'	
C189	325.00'	S66°35'30"W	48.51'	08°33'34"	48.55'	
C190	325.00'	N75°09'04"E	48.51'	08°33'34"	48.55'	
C200	440.00'	N66°15'36"E	60.59'	7°53'46"	60.64'	
C201	60.00'	S14°04'18"E	28.42'	27°24'11"	28.70'	



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LINE TABLE					
LINE	BEARING	LENGTH			
L9	N35°15'52"E	4.14'			
L10	N63°39'03"E	35.09'			
L11	N31°41'35"W	9.56'			
L12	N52°30'09"E	39.92'			
L14	S38°00'02"W	33.07'			
L15	S35°42'16"W	51.54'			
L16	S54°35'26"W	35.14'			
L17	S57°42'28"W	36.25'			
L18	S55°37'44"W	61.64'			
L19	S63°49'53"W	64.47'			
L20	S58°12'45"W	55.16'			
L21	N68°57'12"W	59.43'			
L22	S55°48'26"W	14.33'			
L23	S42°39'46"W	73.84'			
L24	S39°43'14"W	67.39'			
L26	S16°48'38"W	1.50'			
L27	S58°06'22"W	25.74'			
128	S63°12'58"W	57 57'			

LINE TABLE				
LINE	BEARING	LENGTH		
L39	S52°30'09"W	50.00'		
L40	N63°39'03"E	33.20'		
L41	N31°41'35"W	19.28'		
L42	S84°07'42"E	40.56'		
L43	N41°19'17"W	33.72'		
L44	N13°16'48"E	30.24'		
L45	N62°17'13"E	57.18'		
L64	S52°30'09"W	20.00'		











DELTA		LENGTH	
90°30'1	6"	394.90'	
17°31'2	1"	76.46'	
35°30'48"		455.57 '	
37°50'41"		168.43'	

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS, that we <u>Lennar Homes, LLC</u>, whose address is <u>6675 Westwood Boulevard</u>, 5th Floor, Orlando, FL <u>32821</u>, hereinafter referred to as "PRINCIPAL", and <u>Fidelity and Deposit Company of Maryland</u>, a surety company authorized to do business in the State of Florida and whose address is <u>1299 Zurich Way</u>, 5th Floor, <u>Schaumburg, IL 60196</u>, hereinafter referred to as "SURETY", are held and firmly bound to the City of DeBary, a Florida municipal corporation, whose address is 16 Colomba Road, DeBary, Florida 32713, hereinafter referred to as "CITY", in the sum of <u>Six Millions Twenty One</u> <u>Thousand Eight Hundred Eighty Five and 02/100 Dollars</u> (\$<u>6,021,885.02</u>), for the payment of which we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, the approval of said development is further conditioned upon the furnishing and execution of an adequate performance bond.

NOW, THEREFORE, the conditions of this obligation are such that if the PRINCIPAL shall faithfully and promptly perform all of the hereafter described conditions and shall in every respect fulfill its obligation underdevelopment plans and specifications, and shall indemnify and save harmless the CITY against or from all claims, costs, expenses, damages, injury, or loss, including constructions costs, engineering fees, legal fees (including legal fees on appeal) and contingent costs which the CITY may sustain on account of the failure of the PRINCIPAL to perform in accordance with the development plans and specifications within the time specified, then this obligation shall be null and void otherwise it shall be and remain in full force and effect. The conditions are as follows:

1. On or before <u>July</u>, 2025 ("Completion Date"), the PRINCIPAL shall properly install, construct and complete the Improvements, in accordance with the subdivision plans, preliminary plat, specifications and documents, final plat, conditions of development approvals, developer's agreement (if applicable), and/or other agreement with the CITY, including without limitation the drawings and specifications prepared by <u>Brent A.</u> Lenzen, dated <u>April 1, 2024</u>, and being on file with the City.

1

2. On or before the Completion Date, the PRINCIPAL shall properly install, construct and complete the Improvements, including, but not limited to, its materials, workmanship, structural integrity, and functioning to the satisfaction and approval of the City Engineer and City Growth Management Director.

3. The PRINCIPAL shall promptly make all payments to all persons or entities supplying PRINCIPAL, its assigns, agents, contractors or successors in interest, with labor, materials or supplies, used directly of indirectly by PRINCIPAL in the performance of its obligations and work provided for herein.

THE SURETY unconditionally covenants and agrees that if the PRINCIPAL fails to perform all or any part of the aforementioned obligations or otherwise required by the development's plans or specifications or plat above referred to, within the time specified, the SURETY, upon forty-five (45) days written notice from the CITY, or its authorized agent or officer, of the default, will forthwith perform and complete the aforesaid obligations and pay the costs thereof, including, but not limited to, the CITY's engineering costs, legal fees (including attorneys' fees on appeal) and contingent costs. Should the SURETY fail or refuse to perform and complete the said improvements, the CITY, in view of the public interest, health, safety and welfare factors involved and the inducement in approving and filling the said plat, shall have the right to resort to nay and all legal remedies against the PRINCIPAL and the SURETY, or either, both at law and in equity, including specifically, specific performance, to which the PRINCIPAL and SURETY unconditionally agree.

The PRINCIPAL and the SURETY further jointly and severally agree that the CITY at its option, shall have the right to construct, or cause to be constructed, any or all of the aforesaid Improvements in case the PRINCIPAL should fail or refuse to do so. In the event the CITY should exercise and give effect to such right, the PRINCIPAL and the SURETY shall be jointly and severally liable hereunder to reimburse the CITY the total costs thereof, including, but not limited to, construction costs, engineering costs, legal fees (including attorneys' fees on appeal) and contingent costs, together with any damages, either direct or consequential which may be sustained on account of the failure of the PRINCIPAL to carry out and execute all of its obligations.

And the said SURETY, for value received, hereby stipulates and agrees no change involving an extension of time, alteration or additions to the terms of the contract or to the work to be performed or materials to be furnished thereunder or in the plans, specifications and scheduled covering same shall in any way affect said obligation of said SURETY on this bond and said SURETY does hereby waive notice of any such changes, extensions of time, alterations or additions to the work or the plan, specifications and schedules.

IN WITNESS WHEREOF, the PRINCIPAL and the SURETY have executed these presents this <u>15th</u> day of <u>April</u>, 2024.

Principal: Lennar Homes, LLC, a Florida limited liability company

Ву:_____

Surety Company: Fidelity and Deposit Company of Maryla

attranatory By: Ratthanatevy Lor, Attorney-In-Fact



ZURICH AMERICAN INSURANCE COMPANY COLONIAL AMERICAN CASUALTY AND SURETY COMPANY FIDELITY AND DEPOSIT COMPANY OF MARYLAND POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Illinois, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Illinois (herein collectively called the "Companies"), by Robert D. Murray, Vice President, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint Heidi BOCKUS, Krista M. LEE, Ratthanatevy LOR, **all of Seattle, Washington**, its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.

The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 24th day of May, A.D. 2023.



ATTEST:

ZURICH AMERICAN INSURANCE COMPANY COLONIAL AMERICAN CASUALTY AND SURETY COMPANY FIDELITY AND DEPOSIT COMPANY OF MARYLAND

By: Robert D. Murray Vice President

aun

By: Dawn E. Brown Secretary

State of Maryland County of Baltimore

On this 24th day of May, A.D. 2023, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **Robert D. Murray, Vice President and Dawn E. Brown, Secretary** of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, deposeth and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.

Iva Bethea Notary Public My Commission Expires September 30, 2025

Authenticity of this bond can be confirmed at bondvalidator.zurichna.com or 410-559-8790

EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, <u>Attorneys-in-Fact</u>. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify of revoke any such appointment or authority at any time."

CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By-Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this <u>15th</u> day of <u>April</u>, <u>2024</u>.



By: Mary Jean Pethick Vice President

TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT A COMPLETE DESCRIPTION OF THE CLAIM INCLUDING THE PRINCIPAL ON THE BOND, THE BOND NUMBER, AND YOUR CONTACT INFORMATION TO:

Zurich Surety Claims 1299 Zurich Way Schaumburg, IL 60196-1056 reportsfclaims@zurichna.com 800-626-4577

Authenticity of this bond can be confirmed at bondvalidator.zurichna.com or 410-559-8790
Kimley »Horn

Kimley-Horn and Associates, Inc.			Rivington Phase 3
200 S. Orange Ave., Suite 600 Orlando, Florida 32801 Ph: 407-898-1511		KHA Project No	. 149867000
Date:	3/28/2024		
Project Description	Opinion of Probable Construction Cost for outstanding work associated with the Rivington Phase 3 project, is based on Construction Plans for Rivington Phase 3 dated June 5, 2023.		the Rivington I June 5, 2023.

Note: The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

PHASE 3

SITE WORK					
Item No.	Description	Quantity	Unit	Unit Price	Total
1	Construction Entrance	1	EA	\$32,870.07	\$32,870.07
2	Silt Fence	10,350	LF	\$2.12	\$21,942.00
3	Tree Barricading	800	LF	\$10.90	\$8,720.00
4	Fine Grade Lots	221	EA	\$225.81	\$49,904.01
5	Fine Grade R/W	22,400	SY	\$0.79	\$17,696.00
6	Sod	36,800	SY	\$4.81	\$177,008.00
7	Seed and Mulch Lots and R/W	144,450	SY	\$0.22	\$31,779.00
8	Landscape	1	LS	\$50,000.00	\$50,000.00
9	Survey Reference Markers and Monuments	1	LS	\$25,000.00	\$25,000.00
10	Block Retaining Wall	2,330	SF	\$41.37	\$96,392.10
11	42" Black Industrial Handrail w/ Grouting	516	LF	\$112.16	\$57,874.56
12	1.5" SP-9.5 Asphalt	19,000	SY	\$16.80	\$319,200.00
13	8" Crushed Concrete	19,000	SY	\$23.98	\$455,620.00
14	12" Compacted Subgrade	26,700	SY	\$6.97	\$186,099.00
15	1.5' Standard Curb	3,400	LF	\$22.56	\$76,704.00
16	1.5' Miami Curb	8,150	LF	\$18.69	\$152,323.50
17	Bike Trail - 1" Asphalt Structural Course	3,450	SY	\$17.16	\$59,202.00
18	Bike Trail - 4" Crushed Concrete	3,450	SY	\$15.66	\$54,027.00
19	5' Sidewalk	2,900	LF	\$29.71	\$86,159.00
20	ADA Curb Ramp	18	ĒA	\$1,747.10	\$31,447.80
21	Striping & Signage	1	LS	\$39,480.49	\$39,480.49
				Sub-Total	\$2,029,448.53

POTABLE WATER							
Item No.	Description	Quantity	Unit	Unit Price	Total		
1	12" DR-18 (C900) PVC	2,782	LF	\$74.01	\$205,895.82		
2	10" DR-18 (C900) PVC	1,989	LF	\$56.37	\$112,119.93		
3	6" DR-18 (C900) PVC	1,249	LF	\$27.29	\$34,085.21		
4	Single Services	10	EA	\$851.33	\$8,513.30		
5	Double Services	87	EA	\$1,003.36	\$87,292.32		
6	Fire Hydrant Assembly	10	EA	\$7,948.55	\$79,485.50		
7	Fittings and Appurtenances	1	LS	\$118,461.81	\$118,461.81		
8	10"x6" Wet Tap	2	EA	\$11,208.65	\$22,417.30		
9	Connect to Existing	6	EA	\$1,847.75	\$11,086.50		
10	Testing and Chlorination	1	LS	\$17,868.33	\$17,868.33		
				Sub-Total	\$697,226.02		



THIS OPINION OF PROBABLE COST HAS BEEN REVIEWED FOR CONFORMANCE WITH THE CITY OF DEBARY LAND DEVELOPMENT CODE, SEC. 4-111.

RECLAIMED \	NATER				
Item No.	Description	Quantity	Unit	Unit Price	Total
1	8" DR-18 (C900) PVC	2,391	LF	\$40.39	\$96,572.49
2	6" DR-18 (C900) PVC	188	LF	\$27.56	\$5,181.28
3	4" DR-18 (C900) PVC	1,654	LF	\$18.12	\$29,970.48
4	Connect to Existing	5	EA	\$1,847.75	\$9,238.75
5	Fittings and Appurtenances	1	LS	\$90,541.45	\$90,541.45
6	Single Services	13	EA	\$806.69	\$10,486.97
7	Double Services	93	EA	\$968.21	\$90,043.53
8	Pressure Testing	1	LS	\$17,376.09	\$17,376.09
				Sub-Total	\$349,411.04

<mark>SANITARY S</mark> E	EWER				
Item No.	Description	Quantity	Unit	Unit Price	Total
1	Connect to Manhole	4	EA	\$4,879.16	\$19,516.64
2	Manhole	26	EA	\$10,617.91	\$276,065.66
3	8" PVC	5,686	LF	\$31.95	\$181,667.70
4	Drop Connection	1	EA	\$1,525.00	\$1,525.00
5	Single Services	16	EA	\$1,095.57	\$17,529.12
6	Double Services	93	EA	\$1,243.69	\$115,663.17
7	Dewatering	5,686	LF	\$12.96	\$73,690.56
8	Cleaning and Inspection	5,686	LF	\$17.26	\$98,140.36
				Sub-Total	\$783,798.21

STORM SEW	VER				
Item No.	Description	Quantity	Unit	Unit Price	Total
1	12" SDR 35 (Storm)	2,391	LF	\$43.46	\$103,912.86
2	15" RCP	188	LF	\$45.10	\$8,478.80
3	18" RCP	1,654	LF	\$57.24	\$94,674.96
4	24" RCP	1,883	LF	\$82.59	\$155,516.97
5	30" RCP	977	LF	\$122.20	\$119,389.40
6	36" RCP	390	LF	\$161.45	\$62,965.50
7	42" RCP	248	LF	\$213.18	\$52,868.64
8	48" RCP	320	LF	\$264.18	\$84,537.60
9	Type 'D' Inlet	4	EA	\$7,675.28	\$30,701.12
10	Type '6' Curb Inlet	33	EA	\$11,030.52	\$364,007.16
11	Type 'P7' Manhole	7	EA	\$8,316.61	\$58,216.27
12	Type J-5 Curb Inlet	5	EA	\$13,179.70	\$65,898.50
13	Type P-5 Curb Inlet	5	EA	\$9,725.42	\$48,627.12
14	Type 'V' Inlet	3	EA	\$6,907.73	\$20,723.19
15	2x2 Concrete Yard Drain	20	EA	\$3,883.10	\$77,662.00
16	Cleanout	1	EA	\$621.27	\$621.27
17	Р6 Тор	3	EA	\$5,506.75	\$16,520.25
18	24" MES	2	EA	\$1,657.27	\$3,314.54
19	48" MES	1	EA	\$7,901.81	\$7,901.81
				Sub-Total	\$1,376,537.96

GRAND TOTAL

\$5,236,421.76

\$6,021,885.02

GUARANTEE AMOUNT (115% OF GRAND TOTAL)





THIS OPINION OF PROBABLE COST HAS BEEN REVIEWED FOR CONFORMANCE WITH THE CITY OF DEBARY LAND DEVELOPMENT CODE, SEC. 4-111.

ROADWAY MAINTENANCE AGREEMENT BETWEEN THE CITY OF DEBARY, FLORIDA AND LENNAR HOMES, LLC FOR RIVINGTON PHASE 3

THIS ROADWAY MAINTENANCE AGREEMENT (the "Agreement"), dated as of this _______ day of _______, 2024, is entered into by and between the City of DeBary, Florida (the "City"), a municipal corporation of the State of Florida and Lennar Homes, LLC for Rivington Phase 3. The addresses of the parties are set forth below.

RECITALS:

WHEREAS, Lennar Homes, LLC, and City of DeBary, City of DeBary Ordinance Number 2012-18, as amended ("Ordinance"); and

WHEREAS, the Rivington project developer and AG EHC II (LEN) Multi State 4, LLC are dedicating certain right of way to the City as part of the parcel of land being plated as Phase 3 of the Rivington project located in the City of DeBary, Florida (the "Dedicated ROW"). The Dedicated ROW includes any City or publicly dedicated right-of-way existing within the boundaries of Rivington Phase 3; and

WHEREAS, Florida Power & Light Company, its affiliates, licensees, agents, successors and assigns "FPL" (the "Utility Company") have a non-exclusive easement for overhead facilities recorded in O.R. Book 8006, Page 1789 of the Public Records of Volusia County, Florida (the "Easements"), respectively, that extend over the Dedicated ROW; and

WHEREAS, Lennar Homes, LLC agrees to repair or cause to be repaired any damage to the Dedicated ROW caused by the Utility Company, in connection with maintenance activities undertaken by the Utility Company, under the terms of their respective Easement.

NOW, THEREFORE, in consideration of the mutual understandings and covenants set forth herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and Lennar Homes, LLC agree as follows:

ARTICLE I - INTRODUCTION

Section 1.01 Recitals and Exhibits. The recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Agreement. All exhibits identified herein are hereby incorporated by reference to the same extent as if fully set forth herein.

Section 1.02 Authority to Contract. The execution of this Agreement has been duly authorized by the appropriate body or official(s) of the City and Lennar Homes, LLC, each party has complied with all applicable requirements of law, and each party has full power and authority to comply with the terms and provisions of this instrument.

ARTICLE II - DISTRICT POWERS AND OBLIGATIONS

Section 2.01 Exercise of Powers.

(a). Powers. Lennar Homes, LLC has and shall retain all powers, rights, obligations and responsibilities granted.

(b). Obligations. The City accepted the Dedicated ROW subject to the existing easement rights held by the Utility Company to locate and maintain certain utility improvements within the Easements. As a condition to the City's acceptance of the Dedicated ROW, Lennar Homes, LLC hereby agrees to repair any damage to the Dedicated ROW and improvements thereon that results from operation, construction, repair or maintenance activities undertaken by the Utility Company that are consistent with their rights under the Easements. Lennar Homes, LLC agrees to repair damage to the Dedicated ROW and improvements thereon in a reasonable timeframe following notification of Lennar Homes, LLC of such damage by the City in order to limit disruption to residents and members of the public that rely on the Dedicated ROW for access. In the alternative, in the event Lennar Homes, LLC does not undertake repairs within thirty (30) business days of notification of such damage by the City, the City may elect to self-perform the repair work using its own forces or those of a contractor and invoice Lennar Homes, LLC for the reasonable costs of performing same, which Lennar Homes, LLC shall pay to the City within sixty (60) days of the date of the invoice. Nothing herein shall prohibit the City and Lennar Homes, LLC from collaborating with regard to any repair work in an effort to minimize disruption of access to the public and costs associated with any repairs.

ARTICLE III - MISCELLANEOUS PROVISIONS

Section 3.01. Notices. Any notices required or allowed to be delivered shall be in writing and be deemed to be delivered when: (i) hand delivered to the official hereinafter designated, or (ii) upon receipt of such notice when deposited in the United States mail, postage prepaid, certified mail, return receipt requested, addressed to a party at the address set forth opposite the party's name below, or at such other address as the party or parties shall have been specified by written notice to the other party delivered in accordance herewith.

If to the City:

Carmen Rosamonda City Manager City Hall 16 Colomba Road Debary, FL 32713

If to Lennar Homes, LLC:

Mark McDonald Senior VP Land Operations 6675 Westwood Blvd, 5th Floor Orlando, FL 32821 (407) 586-4062 With Copy to:

Mark A. Watts, Esquire Cobb Cole 231 North Woodland Boulevard DeBary, Florida 32720

Section 3.02 Binding Effect. This Agreement shall be binding upon and shall inure to the benefit of the City, Lennar Homes, LLC, and their respective successors and assigns.

Section 3.03 Filing. The City Council and Lennar Homes, LLC hereby authorize and direct, after execution of this Agreement by the duly qualified and authorized officers of each of the parties hereto, that this Agreement be filed with the Clerk of the Circuit Court of Volusia County, Florida, in accordance with the requirements of Subsection 163.01(11), *Florida Statutes*.

Section 3.04 Applicable Law and Venue/Public Records.

(a). This Agreement and the provisions contained herein shall be governed by and construed in accordance with the laws of the State of Florida.

(b). In any action, in equity or law, with respect to the enforcement or interpretation of this Agreement, venue shall be solely in Volusia County, Florida. In the event of a dispute arising between the parties, the parties agree to exhaust any alternative dispute resolution procedures reasonably imposed by the City prior to filing suit or otherwise pursuing legal remedies. Lennar Homes, LLC agrees that it will file no suit or otherwise pursue legal remedies based on facts or evidentiary materials that were not presented for consideration to the City in alternative dispute resolution procedures or which the City had knowledge and failed to present during the alternative dispute resolution procedures are otherwise pursued, the parties shall exercise best efforts to resolve disputes through mediation. Mediator selection and the procedures to be employed in mediation shall be mutually acceptable to the parties. Costs of mediation shall be shared equally among the parties.

(c). The parties agree to comply with the law of the State of Florida relating to public records.

Section 3.05. Entire Agreement; Integration; Amendments and Waivers; Implied Amendments.

(a). This instrument and its exhibits constitute the entire integrated agreement by and between the parties and supersedes any and all previous discussions, understandings and agreements, if any, between the parties relating to the subject matter of this Agreement.

(b). All prior discussions and negotiations by and between the parties are integrated into this Agreement.

(c). Amendments to and waivers of the provisions herein shall be made by the parties in writing by formal amendment arising out of a document of equal dignity herewith.

(d). If material changes in Chapters 189 and 190, *Florida Statutes*, or any other controlling Florida Law are deemed by a party to automatically amend this Agreement; then, in that event, if a party believes that such is the case, then that party shall, within 5 days, notify the other party of such belief and the rights of the parties to dispute such matter are preserved.

Section 3.06 Continued Effect; Remedies. Notwithstanding anything herein to the contrary, no provision of this Agreement shall be construed to affect, alter, or otherwise impair Lennar Homes, LLC power to impose, levy and collect Capital Assessments or assessments for operation and maintenance purposes and the failure of Lennar Homes, LLC to comply with or provide the enhanced disclosure or notices as described herein shall not in any manner render the Capital Assessments, the operation and maintenance assessments, or any of the proceedings related thereto ineffective; provided, however, that Lennar Homes, LLC must comply with the additional notice requirement set forth in Section 3.03 hereof for its annual operations and maintenance budget hearing to be considered effective.

Section 3.07 Effective Date. This Agreement shall become effective after its execution by the authorized representatives of both parties and upon the date of its recording with the Clerk of the Circuit Court of Volusia County, Florida to become a part of the title history of properties in the District. This Agreement shall also be recorded in the public records of the City.

Section 3.08. Third Party Beneficiaries. Neither this Agreement, or any part or provision thereof, this Agreement, creates any rights in any third party or any relationship with any third party and this Agreement is meant and intended to be solely for the benefit of Lennar Homes, LLC and the City although the City has undertaken efforts to benefit the general public as a whole in taking the actions set forth herein.

Section 3.09. Construction. This Agreement arises out of bona fide and good faith armslength negotiations by and between the parties and, regardless of which party drafted this Agreement, or any part or provision thereof, no part or provision of this Agreement, nor the Agreement as a while, shall be construed or interpreted against a party for being the drafted of this Agreement or any part or provision of this Agreement.

[SIGNATURE PAGE IMMEDIATELY FOLLOWS]

LENNAR HOMES, LLC

Print: MARK MCDON Title VICK PRESIDE

ATTEST:

Print: LINMA Title LAND COMBINATOR

ACKNOWLEDGMENT

STATE OF FLORIDA) Orange COUNTY OF VOLUSIA)

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared <u>mediance</u> and they acknowledged executing the same freely and voluntarily and they are personally known to me or provided the following for identification ______. Sworn and subscribed before me, by said persons by means of {} physical presence or {} online notarization on the <u>I</u> day of <u>mil</u>, 2024, the said persons did take an oath and were first duly sworn by me, on oath, said persons, further, deposing and saying that they have read the foregoing and that the statements and allegations contained herein are true and correct.

WITNESS my hand and official seal in the County and State last aforesaid this $\frac{17}{2}$ day of ..., 2024.



Linka E. Champers

Notary Public; State of Florida Print Name: LINDA E. C.HAMP

CITY COUNCIL CITY OF DEBARY, FLORIDA

ATTEST:

Karen Chasez, Mayor



City Council Meeting City of DeBary AGENDA ITEM

Subject:	Ft. Florida Rd Re-Construction and	Attachments:
	Funding Agreement	() Ordinance
From:	Carmen Rosamonda, City Manager	() Resolution
		(x) Supporting Documents/ Contracts
Meeting He	earing Date 5/1/24	() Other

<u>REQUEST</u>

City Manager is requesting City Council approve the Fort Florida Road Re-Construction and Funding Agreement between the City of DeBary and HR Rivington, LLC.

PURPOSE

The purpose is identify and secure all funding responsibilities and process prior to construction.

CONSIDERATIONS

- Rivington and Fort Florida Road is within the City's Mobility Plan area. On all new construction within the Mobility Plan area, the builder must pay mobility fees (\$2,069 on a single family home, \$1,604 on a townhome) and Park Impact Fees (\$528.56 all structures) prior to the issuance of a Certificate of Occupancy. The City is currently doing a required mobility study to update these fees to the current construction cost environment.
- Pursuant to the First Amendment to the Mobility Fee and Park and Recreation Fee Reimbursement Agreement approved by City Council in September 2021, Rivington is responsible to bid and reconstruct Fort Florida Road from Barwick to the Railroad Tracks during their Phase 4 construction.
- There are three parts to this funding for this stretch of the road.
 - Developer is required to install a turning lane which is their responsibility (Green).
 - There is a portion of road and trail within the Rivington Phase 4 project that is eligible for Mobility fee and Park Impact Fee credits/reimbursement (Red)
 - There is a portion of Ft. Florida Road and Trail that is outside the Rivington Phase 4 project (Blue, Area 3). This area is the City's responsibility.
- The engineered plans were done by Kimley Horn and SJRWMD is in process of issuing the permit. Last month, the City Council approved mitigation of \$24,000 for .20 acres of wetland impacts. Rivington and the City has worked together in establishing bid specifications. Rivington solicited the project, receiving more than 3 bids. The lowest bid was from Eden Site Development in the

amount of \$3,418,202.34. Once the permit is issued, construction will begin in June 2024. Road closure is required to complete this project.

- In the July 2022 Amended Developer Agreement, Council approved a "certificate" program to reduce the developers float. Rather than waiting until homes are built to receive the reimbursement of the mobility and park impact fees, the City will issue certificates to the developer to sell to builders in advance to reimburse themselves faster.
- Rivington will sign a contract with Eden Site Development directly. All invoices will go to Rivington. Eden Site Development will allocate the invoice by the three project areas. Rivington will pay the invoice and seek reimbursement from the City for its portion.
- As with other construction projects, the cost of construction has exceeded our budget. Since he
 Phase 4 project will not generate enough mobility and park impact fees, we have decided, in
 cooperation with Rivington, to accelerate the Phase 3 project mobility fees. These added funds
 will be allocated toward the road reconstruction project to meet the higher than expected cost.
- In the Funding Allocation Spreadsheet (in the RED area), The City will issue \$888,026.12 in mobility and park impact fee certificates to Rivington. Rivington will be responsible to supplement this amount in either of 3 ways, advance with their own money, money from the sale of the certificates or combination of both.
- The developer must self-fund the turn lane required for Phase 4 development. The cost of the turn lane is \$180,614.34 (GREEN). Coupled with the monies from the mobility and park impact fee certificates, Rivington will direct pay \$1,068,640.48 towards the reconstruction project cost.
- The City will direct pay from the approved budget, \$2,349,561.86 towards the reconstruction project. (Spreadsheet highlighted in BLUE & RED). This is the portion of the project from the east edge of Rivington Phase 4 to the Railroad Tracks (Area 3).

COST/FUNDING

In FY 2023-24 budget, the City allocated \$2,500,000. The City's cash outlay for reconstruction of Ft. Florida Road is \$2,349,561.86. Future Mobility and Park Impact Fee credits and Rivington will pay \$1,068,640.48.

RECOMMENDATION

It is recommended that the City Council approve the Fort Florida Road Re-Construction and Funding Agreement between the City of DeBary and HR Rivington, LLC.

IMPLEMENTATION

Rivington will sign the contract with Eden Site Development. Construction projected to begin June 2024.

ATTACHMENTS

Ft. Florida Road Re-Construction and Funding Agreement Funding Allocation Spreadsheet First Amendment to the Mobility Fee and Park and Recreation Fee Reimbursement Agreement

FT. FLORIDA ROAD RE-CONSTRUCTION AND FUNDING AGREEMENT

THIS FT. FLORIDA ROAD RE-CONSTRUCTION AND FUNDING AGREEMENT (hereinafter referred to as the "Agreement") is made this _____ day of ______, 2024, by and between the **City of DeBary**, a Florida municipal corporation, hereinafter referred to as the "City"; and **HR Rivington**, **LLC**, a Florida limited liability company, whose address is 5850 T.G. Lee Boulevard Suite 200 Orlando, Florida 32822 ("Developer").

WITNESSETH:

WHEREAS, the Developer is developing approximately 326.2 acres of land located in the City of DeBary, zoned Rivington MPUD pursuant to Ordinance No. 11-18 as amended by Ordinance No. 09-2021 (the "Rivington Project"); and

WHEREAS, as part of the Rivington Project, the Developer is developing Rivington Phase 4 ("Rivington Phase 4"), which on the 29.62 acre property located at the intersection of Barwick Road and Fort Florida Road and legally described as:

Commence at the West Quarter corner of Section 9, Township 19 South, Range 30 East, Volusia County, Florida; thence North 00' 27' 09" West, a distance of 328.01 feet along the West line of said Northwest Quarter; thence departing said West line, North 89' 54' 48" East, a distance of 21.36 feet to the East right of way line of Barwick Road and for a POINT OF BEGINNING; thence North 00' 00' 47" East, a distance of 986.68 feet along said East right of way line to the South right of way line of Fort Florida Road also being the North line of said Southwest Quarter of the Northwest Quarter of Section 9; thence North 89' 50' 05" East, a distance of 1304.77 feet along said South right of way line and said North line of said Southwest Quarter of the Northwest Quarter of Section 9 to the Northeest corner of said Southwest Quarter of the Northwest Quarter of Section 9 to the Northeest corner of said Southwest Quarter of section 9, Township 19 South, Range 30 East, Volusia County, Florida; thence South 00' 10' 36" East, a distance of 988.47 feet along the East line of said Southwest Quarter of the Northwest Quarter of Section 9; thence County, Florida; thence South 00' 10' 36" East, a distance of 988.47 feet along the East line of said Southwest Quarter of the Northwest Quarter of Section 9; thence departing said East line, thence South 89' 54' 48" West, a distance of 1308.04 feet to the POINT OF BEGINNING.

Containing 29.62 acres, more or less.

WHEREAS, during the construction of the site infrastructure for Rivington Phase 4, the City and Developer desire to cause the design, permitting and reconstruction of certain segments of Fort Florida Road from the train tracks near the Sunrail Station running west and along the entire frontage of Rivington Phase 4 to the intersection of Barwick Road together with a bicycle trail along the same Fort Florida Road segment and within the 10-foot wide multi-use trail easement within Rivington Phase 4 in accordance with the design plans prepared by Kimley Horn & Associates ("KHA") dated December 14, 2022 and as amended, and incorporated herein by reference. " ("Road & Trail Improvements"); and

WHEREAS, the parties are entering into this Agreement to address the parties shared responsibilities concerning the funding, design, permitting and construction of the Road & Trail Improvements.

NOW, THEREFORE, for and in consideration of the above premises, the promises and provisions contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Developer and the City agree as set forth herein.

A portion of the West half of the Northwest Quarter of Section 9, Township 19 South, Range 30 East lying South of Fort Florida Road. All lying and being situate in Volusia County, Florida. Being more particularly described as follows:

1. **<u>Recitals.</u>** The above premises are true and correct and are incorporated herein as material provisions of this Agreement. Any and all exhibits referred to in this Agreement are incorporated herein as material provisions of this Agreement.

2. **Design and Permitting.** Within three (3) months of the Effective Date of this Agreement, the City, at its expense, will complete the engineering design and permitting of the Road & Trail Improvements necessary for the construction of the Road & Trail Improvements, including paying for all permit fees, mitigation costs and consulting fees associated with design and permitting. The design will provide for a portion of the stormwater runoff from the Road & Trail Improvements to be conveyed and treated in HOA or CDD owned, operated and maintained stormwater facilities to be constructed by Developer within Rivington Phase 4, which the Developer agrees to grant to the City the necessary non-exclusive drainage easement for such during the final platting of Rivington Phase 4 at no cost to the City. Once the City obtains the permitting necessary for the commencement of the construction of the Road & Trail Improvements, the City will issue Developer a notice to proceed ("Notice to Proceed").

3. **Procurement.** Upon receipt of Notice to Proceed from the City, Developer will draft procurement documents, solicit bids for, negotiate a construction contract and contract with the lowest bidding, qualified contractor to construct the Road & Trail Improvements based on the engineering design obtained by the City and provided to the Developer. The construction contract will provide for the contractor to give the City post construction completion warranties on the Road & Trail Improvements as an intended third-party beneficiary. The City and its property are exempt from Chapter 713, Florida Statutes, and the construction contract will provide that in no event shall any construction liens or claims of lien be placed against public right-of-way or any other City owned property.

4. <u>Construction</u>. Once the City secures the permit approvals for the Road & Trail Improvements and issues the Notice to Proceed, Developer will, through its qualified contractor, commence construction of the Road & Trail Improvements within three (3) months and thereafter cause the completion of construction of the same within twelve (12) months from commencement of construction. The construction of the Road & Trail Improvements will occur prior to or during the Developer's construction of the site infrastructure for the Rivington Phase 4 project.

At no cost to the City, the Developer will be the project manager for and oversee the construction of the Road & Trail Improvements, provide administration of consultants (testing and civil) and otherwise function like an owner of a construction project. The Developer shall invite and include City representatives in monthly site construction progress meetings with the construction contractor and include the City in all decisions to make field related changes to the construction, if any. At its option, the City will be permitted to perform routine site inspections during the progress of the construction work. During the progress of construction of the Road & Trail Improvements, the Developer will provide the City with copies of Developer approved monthly contractor payment applications for review and confirmation and provide evidence of Developer's payment to contractor of all payment applications. The Developer will obtain from the contractor lien releases and payment affidavits after the payment of each payment application and provide the City will a copy of the same.

5. **<u>Road & Trail Improvements Completion</u>**. Upon completion of the Road & Trail Improvements, the Developer shall request inspection approval from the City for such improvements. Once the City issues an inspection approval of the completed Road & Trail Improvements, Developer shall (i) execute and deliver to the City a bill of sale for the completed Road & Trail Improvements, and (ii) provide to the City release of liens from contractors, subcontractors, materialmen, and laborers and an assignment of contractor's warranties for the Road & Trail Improvements.

6. **Funding.** The funding of the construction of the Road & Trail Improvement will be shared between the City and the Developer in accordance with this Section. For purposes of funding, the Road & Trail Improvements are divided into three components named the BLUE, RED and GREEN sections and correspond to the color-coded areas shown on Exhibit A.

The BLUE section is defined as the segment of Road & Trail Improvements from the train tracks near the Sunrail Station running west to the eastern boundary of Rivington Phase 4. The RED section is defined as the segment of the Road & Trail Improvements that is along the entire Fort Florida Road frontage of Rivington Phase 4 running from the termination of the Blue section to the Barwick Road intersection. The GREEN section is defined as the portion of the Road & Trail Improvements that are to be constructed within Tract RW-1 of the Rivington Phase 4 plat needed to widen Fort Florida Road at the entrance of Rivington Phase 4.

With regard to the BLUE section, during the progress of the construction of the Road & Trail Improvements, the City will fund via cash payments to Developer on a not more than once per month basis, one hundred percent of work completed within the BLUE section based on approved contractor's payment applications. Contractor payment applications relating to work within the BLUE section will be subject to joint review and approval by the Developer and the City.

With regard to the RED section, the Developer will fund via cash payments to the contractor work completed within the RED section based on approved contractor's payment applications. Contractor payment applications relating to work within the RED section will be subject to joint review and approval by the Developer and the City. The City will grant Developer credits against the City's adopted mobility fee ("Mobility Fee Credits") for the amounts that Developer pays contractor for work completed within the RED section up to the total amount of Mobility Fees that are required to be paid for development based on the number of platted lots within Rivington Phase 4 and Rivington Phase 3. Further, for the portion of the construction cost of the bicycle trail within the RED section, the City will grant Developer credits against the City's adopted parks and recreation impact fees ("Recreational Fee Credits") for the platted lots within Rivington Phase 4. Recreational Fee Credits are to be used only for development of Rivington Phase 4 but are transferable from Developer to builders within Rivington Phase 4. The Mobility Fee Credits are to be used only for the development of Rivington Phase 3 and Rivington Phase 4 but are transferable from Developer to builders within Rivington Phase 3 and Rivington Phase 4. The process for transferring and using Mobility Fee Credits and Recreational Fee Credits will be the same process as set forth in the Mobility Fee and Park and Recreation Fee Reimbursement Agreement between the parties dated April 8th,

2021, as amended on September 7, 2021, and incorporated herein by reference. For construction costs within the RED section exceeding the Mobility Fee Credits and Recreational Fee Credits granted under this provision, the City will fund via cash payments to Developer on a not more than once per month basis.

With regard to the GREEN section, during the progress of the construction of the Road & Trail Improvements, the Developer will fund via cash payments one hundred percent of work completed within the GREEN section based on approved contractor's payment applications. The Developer will not receive Mobility Fee Credits or any other reimbursements or credits relating to the GREEN section.

7. <u>No Third-Party Beneficiaries</u>. Nothing in this Agreement, express or implied, is intended to or will be construed to confer on any person, other than the parties of this Agreement, any right, remedy, or claim with respect to this Agreement.

8. <u>Validity</u>. If any portion of this Agreement is finally determined by a court of competent jurisdiction to be invalid, unconstitutional, unenforceable or void, the balance of the Agreement shall continue in full force and effect.

9. <u>Notices</u>. Any notices required or permitted under this Agreement, and copies thereof, shall be addressed to the City and the Developer at the following addresses, or at such other addresses designated in writing by the party to receive notice:

City:	Carmen Rosamonda, City Manager City of DeBary 16 Colomba Road
	DeBary, FL 32713
With a copy to:	A. Kurt Ardaman, City Attorney Fishback Dominick LLP 1947 Lee Road Winter Park, Florida 32789 Telecopy: (407) 262-8402
Developer:	Dean Barberree HR Rivington, LLC By: Reader & Partners, LLC 5850 T.G. Lee Blvd. Suite 200 Orlando, Florida 32822

Notices shall be either: (i) personally delivered (including delivery by Federal Express, UPS or other overnight courier service) to the addresses set forth above, in which case they shall be deemed delivered on the date of delivery; or (ii) sent by certified mail, return receipt requested, in which case they shall be deemed delivered on the date shown on the receipt unless delivery is refused or intentionally delayed by the addressee, in which event they shall be deemed delivered on the date of delivered in the U.S. Mail.

10. **Entire Agreement.** This Agreement embodies the entire understanding of the parties with respect to the matters specifically enumerated herein, and all negotiations, representations, warranties and agreements made between the parties are merged herein. The making, execution and delivery of this Agreement by all parties has been induced by no representations, statements, warranties or agreements that are not expressed herein. There are no further or other agreements or understandings; written or oral, in effect between or among the parties related to the subject matter hereof.

11. **Interpretation.** None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this Agreement, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

12. <u>Authority.</u> Each party represents and warrants to the other party that it has all necessary power and authority to enter into and consummate the terms and conditions of this Agreement, that all acts, approvals, procedures, and similar matters required in order to authorize this Agreement have been taken, obtained, or followed, as the case may be, and that, upon the execution of this Agreement by all parties and the rights and obligations under this Agreement shall benefit, burden and be binding upon the parties hereto and their successors in interest and assigns.

13. <u>Effective Date.</u> This Agreement shall become effective upon execution by all parties (the "Effective Date").

14. **Breach.** In the event of a breach, default, or violation of one or more of the provisions herein by the Developer or the City, the violating party shall be given thirty (30) days to cure such violation upon receipt of written notice of the violation from a non-violating party. In the event such violation is not cured within said period, the City or the Developer, as the case may be, shall have the right to pursue any and all legal and equitable remedies available provided by law. Notwithstanding the foregoing, the City shall be permitted to without notice immediately withhold the issuance of, and revoke, certificates of completion, certificates of occupancy or building permits associated with the Project in the event Developer is in violation of any provision of this Agreement.

15. <u>Amendment.</u> This Agreement may be amended, modified or cancelled by mutual consent of the parties hereto as represented by a written document executed by the City and the Developer.

16. <u>Governing Law</u>. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. Exclusive venue in any action to construe or

enforce the provisions of this Agreement shall be in the circuit court of and for Volusia County, Florida.

17. <u>Non-Waiver of Sovereign Immunity.</u> Nothing contained in this Agreement nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its sovereign immunity under the Constitution and laws of the State of Florida.

18. <u>Informed Execution</u>. This Agreement is entered into voluntarily by the Developer without duress and after full review, evaluation and consideration by the Developer. Developer is represented by counsel, or alternatively, has been afforded an opportunity to retain counsel for review of this Agreement.

19. <u>Time is of the Essence</u>. Time is hereby declared to be of the essence in the performance of the duties and obligations of the respective parties to this Agreement.

20. <u>Captions</u>. The captions or paragraph headings of this Agreement are provided for convenience only and shall not be deemed to explain, modify, amplify or aid in the interpretation, or meaning of this Agreement.

21. <u>Independent Parties</u>. City and Developer are not partners and this Agreement is not a joint venture and nothing in this Agreement shall be construed to authorize the City or Developer to represent or bind the any other party to matters not expressly authorized or provided in this Agreement.

AGREED to by the City Council of the City of DeBary, Florida, a Florida municipality, and the Developer on the date first written above.

By: Annette Hatch, City Clerk	Y OF DEBARY, FLORIDA
K	aren Chasez, Mayor
Important "Dev Print Name: Important Mailene Important Print Name: Important Print Name: Important Important By: H By: H By: H By: H By: H Important By: H	 Areloper" RIVINGTON, LLC, a Florida limited lity company HR Southeast, LLC, a Delaware limited lity company, Its Sole Member RP Investors Southeast, LLC, a Florida ed liability company, Its Sole Managing her Reader & Partners, LLC, a Florida ed liability company, Its Sole Manager Dean Barberree, President

S \AKA\CLIENTS\Deary, City of\Rivington MPUD (#18-01-MAJPUD) D334-24870\Ft Florida Road Reconstruction Agreement\Ft Florida Road Re-Construction Agreement 4-12-2024 doc

Exhibit A





Ft Florida Road Re-Construction and Funding Agreement Funding Allocation

	Sources of Funds		Fee		Units
Mobility Fee Credits Phase 3	\$	457,249.00	\$	2,069.00	221
Mobility Fee Credits Phase 4		324,008.00	\$	1,604.00	202
Parks & Rec Impact Fee Credits Phase 4		106,769.12	\$	528.56	202
City of DeBary		613,536.86			
City of DeBary		1,736,025.00			
Developer		180,614.36			
		3,418,202.34			
		Use of Funds		Allocation	
Payments to contractor through Developer:					
Developer to pay with Credits and their own money		1,068,640.48		31%	
City of DeBary to pay from budgeted funds		2,349,561.86		69%	
		3,418,202.34		100%	

Note: Any approved change orders will be allocated on a case by case basis.

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FIRST AMENDMENT TO THE MOBILITY FEE AND PARK AND RECREATION FEE REIMBURSEMENT AGREEMENT

This FIRST AMENDMENT TO THE MOBILITY FEE AND PARK AND RECREATION FEE REIMBURSEMENT AGREEMENT (this "First Amendment") is made by and between HR Rivington, LLC, a Florida limited liability company ("Developer") and the City of DeBary, a Florida municipal corporation ("City").

WHEREAS, Developer is the property owner of that certain real property being approximately 296.2+/- acres in size, legally described in Exhibit "A" attached hereto (the "Property") and being that same property described in that certain Development Agreement recorded at Official Records Book 7729, Page 1566 of the Public Records of Volusia County, Florida (the "Rivington MPUD"); and

WHEREAS, the Property is located within the City of DeBary along the south side of Ft. Florida Road, west of its intersection with U.S. Highway 17/92; and

WHEREAS, Developer and City entered into that Mobility Fee and Park and Recreation Fee Reimbursement Agreement with an effective date of the 8th day of April, 2021, incorporated herein by reference, regarding the completion of certain improvements to the road and trail network in the vicinity of the SunRail commuter rail station, as more particularly described herein (the "Original Agreement"); and

WHEREAS, the parties seek to amend the Original Agreement to account for the completion of additional improvements to the road and trail system, which shall eligible for City mobility fee and park and recreation fee credits; and

WHEREAS, this First Amendment is not a statutory development agreement pursuant to Chapter 163, Florida Statutes, and is being entered into by the City pursuant to the City's home rule authority.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

1. **Recitals.** The above premises are true and correct and are incorporated herein as material provisions of this First Amendment.

2. Amendments. The Original Agreement is hereby amended as follows:

Section 2 of the Original Agreement is amended to provide for the following (underlined language are additions; stricken through language are deletions):

2. Developer Completion of Improvements. The Developer agrees to:

Section 2 of the Original Agreement is amended to provide for the following (<u>underlined</u> language are additions; stricken through language are deletions):

2. Developer Completion of Improvements. The Developer agrees to:

(a) Complete the construction of the improvements to Ft. Florida Road, and Barwick Road, including the offsite turn lane improvements more particularly described in the Rivington MPUD (the "Initial Mobility Improvements") as shown on Exhibit B <u>and agrees to complete the construction of additional improvements as shown on Exhibit "B" attached hereto in accordance with the final engineering plans to be completed and approved by the City (the "Additional Mobility Improvements") as shown on Exhibit D; (collectively, the "Mobility Improvements"); and</u>

(b) Complete the construction and associated improvements, which may be completed in phases, of the multi-use trail system, as further detailed in the Rivington MPUD and shown on Exhibit "C" attached hereto in accordance with City approved plans (the "Park and Recreation Improvements").

Section 3 of the Original Agreement is amended to provide for the following (underlined language are additions; stricken through language are deletions):

3. **Reimbursement** Credits- to Developer.

As a result of the Developer funding the Mobility Improvements, as further (a) detailed in Exhibit "B," Developer shall be entitled to credits against the City's mobility impact fees. The mobility impact fee credits shall be for an amount equal to the actual labor and material construction cost of the Mobility Improvements. The term "actual labor and material construction cost of the Mobility Improvements" includes construction staking, construction material testing, and third-party construction management, engineer's certifications and as-built drawings as required by the City but for the Initial Mobility Improvements specifically does not and should not include design, engineering, design surveying and permitting costs since such were the responsibility of and funded by the City. The costs associated with But Shall include the design, engineering, design surveying and permitting costs for the Additional Mobility Improvements shall be subject to reimbursement as provided herein if those costs are funded by in the event the Developer funds these. The credit against mobility impact fees provided herein is not intended to limit any additional mobility impact fee credits that may accrue under the terms of the Rivington MPUD. Regardless of the cost of the Mobility Improvements, in no event shall mobility impact fee credits received under this Agreement or under the Rivington MPUD exceed mobility impact fees that have become due or become due and owing for the Project (as defined in the Original Agreement). [DB1]

Upon completion of the Mobility Improvements described under Section 2 herein, the Developer shall: (i) provide, from the project engineer, the certified construction costs of the completed Mobility Improvements that are funded by Developer that will comprise the total value for the mobility impact fee credits subject to City for review and approval; (ii) the City's engineer of record will provide signed and sealed certification to the City that the Mobility Improvements were constructed in accordance with City approved plans; (iii) provide certification of the as-built construction drawings for the Mobility Improvements; (iv) assign any warranty for the Mobility Improvements provided by the contractor to the City; and (v) obtain the City's inspection approval for the completed Mobility Improvements. The City shall have fifteen (15) business days from the date of receipt of the certified costs to review the certified costs of the completed improvements. Upon the City's approval of the certified costs for and inspection approval of the Mobility Improvements, Developer shall transfer the applicable Mobility Improvements to the City via a bill of sale in a form acceptable to the City along with an assignment of warranties from all contractors.

Subject to the Developer's satisfaction of its obligations herein, the City shall issue mobility impact fee credits to the Developer as provided below ("Mobility Fee Credits"):

(i) Mobility <u>Fee</u> Credits shall be valued at the current rates for mobility impact fees and as established by the City as of the Effective Date of this Agreement;

(ii) Mobility <u>Fee</u> Credits shall be issued on a per unit basis based on dollar value. Mobility Credits shall be indexed to any increase in the City's mobility impact fee in accordance with the requirements of Fla. Stat. §163.31801(5) and will be applied towards Project mobility impact fees at the then current rates in effective when such fees are due;

(iii) Mobility <u>Fee</u> Credits shall be transferable to by Developer to Developer's successors and assigns for the purpose of utilizing such credits for the Project or any part thereof subject to prior written notice to the City documenting such transfer;

(iv) All homebuilders within the Rivington MPUD may redeem the Mobility <u>Fee</u> Credits assigned to them by the Developer in lieu of paying the applicable mobility impact fees as necessary to secure a certificate of occupancy for a residence;

(v) The City shall grant Developer Mobility Fee Credits at the time of completion of any Mobility Improvement on a per unit basis based on dollar value for all Mobility Improvements completed after the date of the First Amendment to this Agreement. In the event a homebuilder within the Rivington MPUD pays a mobility impact fee to the City, either prior to the Mobility Fee Credits contemplated herein are granted to Developer or while Developer has outstanding Mobility Fee Credits, the Developer may exchange Mobility Fee Credits with the City and the City shall pay Developer for such credit in the amount equal to the amount paid by the homebuilder to the City. However, in order to exercise such right, Developer must request such exchange of credits for a homebuilder payment from the City prior to no later than ninety (90) days from when the City awards Developer with Mobility Credits under the terms of this Agreement. The City shall hold any fees received from a homebuilder prior to completion of the Mobility Improvements for up to one hundred and eighty (180) days to provide a cash reimbursement to the Developer in exchange for a reduction in Mobility Fee Credits equal to the amount of such pre-paid mobility impact fees. After the date of this First Amendment, the City agrees to only accept Mobility Fee Credits in the form of actual, City issued certificates from homebuilders in the Project rather than allowing cash payments of mobility impact fees by homebuilders that will later be reimbursed to the Developer by the City. Upon approval of this First Amendment, the Developer shall provide a list to the City of all lots sold by the Developer to third party homebuilders, which lots will be the final lots permitted to make cash payment of mobility impact fees to the City rather than satisfying their mobility

impact fee liability with Mobility Fee Credits.

In regard to the Ft. Florida Road improvements portion of the (vi)Additional Mobility Improvements as outlined in Exhibit D and identified as "Mill Resurface or Repair" of Fort Florida Road (RED), the City will reimburse Developer Developer's direct cost for such improvements with mobility fee credits to be applied to the Project. In regard to the Barwick Road improvements portion of the Additional Mobility Improvements as outlined in Exhibit D and identified as "Mill Resurface or Repair" of Barwick Road (BLUE) and identified as "Mill Resurface or Repair" of Ft Florida Road (BLUE), the City will reimburse Developer for Developer's direct cost for such improvements with a cash reimbursement. Developer shall bear the expense of the remaining portions of the costs for the Ft. Florida Road improvements and Barwick Road improvements portions of the Additional Mobility Improvement as outlined in Exhibit D and identified as "Turn Lane Widening" of Fort Florida Road and Barwick Road (GREEN). As it pertains to the improvements identified as "Mill Resurface or Repair" of Barwick Road (BLUE) and identified as "Mill Resurface or Repair" of Ft Florida Road (BLUE), funds for cash reimbursement will be allocated by the City of DeBary City Council into a designated project fund and will be released monthly to Developer by the City based on City reviewed and approved draw requests once Developer provides the certified construction costs of any completed Additional Mobility Improvements, or portion thereof, from the project engineer. All other Mobility Fee credits or reimbursements by the City to Developer will be provided on a quarterly basis.

(b) As a result of the Developer funding the Park and Recreation Improvements, as further detailed in **Exhibit "C,"** Developer shall be entitled to credits against the City's park and recreation impact fees. The park and recreation impact fee credits shall be for an amount equal to the actual labor and material construction cost of the Park and Recreation Improvements, including construction staking, construction material testing and preparation of asbuilt drawings. The term "actual labor and material construction cost of the Park and Recreation Improvements" does not and should not include design, engineering, design surveying and permitting costs since such are generally shared functions with the development of non-public Project site infrastructure. Mobility impact fee credits received under this Agreement are solely for the benefit of the Project and are not assignable or transferable to other properties or projects within the City. The credit against park and recreation impact fees provided herein is not intended to limit any additional park and recreation impact fee credits that may accrue under the terms of the Rivington MPUD. Regardless of the cost of the Park and Recreation Improvements, in no event shall park and recreation impact fee credits received under this Agreement or under the Rivington MPUD exceed park and recreation impact fees that become due and owing for the Project to be developed upon the Property.

Upon completion of the Park and Recreation Improvements described under Section 2 herein, the Developer shall: (i) provide, from the project engineer, the certified construction costs of the completed Park and Recreation Improvements that are funded by Developer that will comprise the total value for the park and recreation impact fee credits subject to City review and approval; (ii) provide the engineer of record's signed and sealed certification to the City that the Park and Recreation Improvements were constructed in accordance with City approved plans; (iii) provide as-built construction drawings for the Park and Recreation Improvements; (iv) confirm the Park and Recreation Improvements are covered by the 1-year maintenance guarantee provided in connection with the applicable phase of the Rivington MPUD; and (v) obtain the City's inspection approval for the completed Park and Recreation Improvements. The City shall have fifteen (15) business days from the date of receipt of the certified costs to review the certified costs of the completed improvements. Upon the City's approval of the certified costs for and inspection approval of the Park and Recreation Improvements, Developer shall transfer the applicable Park and Recreation Improvements to the City via a bill of sale in a form acceptable to the City along with an assignment of warranties from all contractors.

Subject to the Developer's satisfaction of its obligations herein, the City shall issue park and recreation impact fee credits to the Developer as provided below ("Park and Recreation Credits"):

(i) Park and Recreation Credits shall be valued at the current rates for park and recreation impact fees as established by the City as of the Effective Date of this Agreement;

(ii) Park and Recreation Credits shall be issued based on dollar value of the Park and Recreation Improvements and their value shall be indexed to any increase in the City's park and recreation impact fee in accordance with the requirements of Fla. Stat. §163.31801(5). Park and Recreation Credits will be applied towards Project mobility impact fees at the then current rates in effective when such fees are due;

(iii) Park and Recreation Credits shall be transferable by Developer to Developer's successors and assigns for the purpose of utilizing such credits for the Project or any part thereof subject to prior written notice to the City documenting such transfer;

(iv) All homebuilders within the Rivington MPUD may redeem the Park and Recreation Credits assigned to them by the Developer in lieu of paying the applicable park and recreation impact fees as necessary to secure a certificate of occupancy for a residence; (v) In the event a homebuilder within the Rivington MPUD pays a park and recreation impact fee to the City, either prior to the Park and Recreation Credits contemplated herein are granted to Developer or while Developer has outstanding Park and Recreation Credits, the Developer may exchange Park and Recreation Credits with the City and the City shall pay Developer for such credit in the amount equal to the amount paid by the homebuilder to the City. However, in order to exercise such right, Developer must request such exchange of credits for a homebuilder payment from the City prior to no later than ninety (90) days from when the City awards Developer with Park and Recreation Credits under the terms of this Agreement. The City shall hold any fees received from a homebuilder prior to completion of the Park and Recreation Improvements for a period of one hundred eighty (180) days to provide a cash reimbursement to the Developer in exchange for a reduction in Park and Recreation Credits equal to the amount of such pre-paid mobility park and recreation impact fees.

The Developer shall design and construct the Additional Park and (vi)Recreation Improvements, known as the bicycle and pedestrian trail, described in Exhibit "D" attached hereto ("Additional Park and Recreation Improvements"). The City will reimburse Developer for Developer's actual labor and material construction cost for the Additional Park and Recreation Improvements as outlined in Exhibit D and identified as "Bike Trail" of Fort Florida Road (RED DASH) with park and recreation impact fees credits to be applied to the Project and as outlined in Exhibit D and identified as "Bike Trail" of Fort Florida Road (BLUE DASH)of Developer's actual labor and material construction cost for Additional Park and Recreational Improvements with a cash reimbursement. The park and recreation impact fee credits for the Additional Park and Recreation Improvements will be treated in the same manner as credits received for the Park and Recreation Improvements. Funds for cash reimbursement will be allocated by the City of DeBary City Council into a designated project fund and will be released monthly to Developer by the City based on City reviewed and approved draw requests once Developer provides the certified construction costs of any completed Additional Park and Recreation Improvements, or portion thereof, from the project engineer.

[DB2]

The Original Agreement is hereby amended to add an Exhibit "D" for the Additional Mobility Improvements and the Additional Park and Recreational Improvements, which is the same exhibit as Exhibit "D" attached to this First Amendment.

4. **Validity.** If any portion of this First Amendment is finally determined by a court of competent jurisdiction to be invalid, unconstitutional, unenforceable or void, the balance of the First Amendment shall continue in full force and effect.

5. **Binding/Recording**. This First Amendment shall run with the Property and the rights and the obligations under this Agreement shall benefit, burden, and bind the successors, heirs and assigns of all parties to this Agreement. Except as to the assignment of credits contemplated herein to successors and assigns in the Project, this First Amendment may not be assigned by either party without a prior written amendment by both parties hereto. This First

Amendment shall be recorded in the Public Records of Volusia County at the Developer's expense.

6. Entire Agreement. This First Amendment embodies the entire understanding of the parties with respect to the matters specifically enumerated herein, and all negotiations, representations, warranties and agreements made between the parties are merged herein. The making, execution and delivery of this First Amendment by all parties has been induced by no representations, statements, warranties or agreements that are not expressed herein. There are no further or other agreements or understandings, written or oral, in effect between or among the parties related to the subject matter hereof. Nothing in this First Amendment, express or implied, is intended to or will be construed to confer on any person, other than the parties of this First Amendment, any right, remedy, or claim with respect to this First Amendment.

7. Attorneys' Fees/Laws/Venue. In any lawsuit between the parties to this First Amendment arising from this First Amendment, each party shall bear their own attorney's fees and litigation costs. This First Amendment shall be governed by and construed and enforced in accordance with the laws of the State of Florida. Exclusive venue in any action to construe or enforce the provisions of this First Amendment shall be in the circuit court of and for Volusia County, Florida.

8. **Independent Parties.** City and Developer are not partners and this First Amendment is not a joint venture, and nothing in this First Amendment shall be construed to authorize the City or Developer to represent or bind the any other party to matters not expressly authorized or provided in this First Amendment.

9. Interpretation. None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this First Amendment, it being recognized that all parties have contributed substantially and materially to the preparation of this First Amendment.

10. Non-Waiver of Sovereign Immunity and Indemnification. Nothing contained in this First Amendment nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its home rule authority, police power, zoning authority and sovereign immunity under the Constitution and laws of the State of Florida or any other privilege, immunity or defense afforded to the City or the City's officers, employees and agents under the law. The Developer shall indemnify and hold harmless the City and its respective officers, employees and agents from and against all claims, damages, injuries, liability, losses, expenses, including reasonable attorneys' fees and costs (at trial and appellate levels), arising out of or resulting from the Developer's construction of improvements, Developer's assignment or transfer of any Mobility Fee Credits or Park and Recreation Credits (including relating to disputes between Developer and its successors and assigns regarding the same), or Developer's performance under this First Amendment.

11. **Time is of the Essence.** Time is of the essence as to the performance of all duties and obligations set forth in this First Amendment.

12. Effective Date. The Effective Date of this First Amendment shall be the date on which the last party has executed this First Amendment.

[Remainder of Page Intentionally Left Blank]

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IN WITNESS THEREOF, the parties hereto have caused this First Amendment to be executed under seal by their officers and agents, duly authorized, as to the City and Developer, on the day and year set forth hereinafter.

Signature

KIMBERUP LOCHER

Signature MARLENE PRIM Print Name:

Developer:

HR RIVINGTON, LLC, a Florida limited liability company

By: HR Southeast, LLC, a Delaware limited liability company, Its Sole Member

By: RP Investors Southeast, LLC, a Florida limited liability company, Its Sole Managing Member

By: Reader & Partners, LLC, a Florida limited liability company, Its Sole Manager

By: Dean Barberree, President

STATE OF FLORIDA COUNTY OF ______

The foregoing instrument was acknowledged before me by physical presence this <u>the day of</u> <u>day of</u> <u>source</u>, 2021, by Dean Barberree as President of Reader & Partners, LLC, on behalf of said limited liability company, who is personally known to me or who has produced as identification.

STATE OF FLORIDA

Type or Print Name

Commission No. _____GG 213585 6/1/2022 My Commission Expires:

MARLENE DEMARCO MY COMMISSION # GG 213585 EXPIRES: June 8, 2022 Bonded Thru Notary Public Underwriters

City:

CITY OF DEBARY, FLORIDA

By: Karen Chasez, Mayor

ATTEST:

s.

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Annette Hatch, Oity Clerk

Exhibit "A"

Legal Description of the Rivington MPUD Property

The South 1/2 of the Northeast 1/4; the South 1/2 of the Northwest 1/4; Government Lots 1 and 3; and the North 1/2 of Government Lot 6; all in Section 8, Township 19 South, Range 30 East. lying South of Fort Florida Road, Volusia County, Florida.

ALL EXCEPT the rights of way for any and all public roads on and over said real property and except all electric or power line easement or rights of way agreements therefore, heretofore given.

EXCEPT the South 30 feet of said Lot1 and except the South 30 feet of the North 1/2 of said Lot 6.

CONTAINS 296.2 Acres, more or less per the Volusia County Appraiser

Exhibit B to the Original Agreement is amendment to add the following additional scope of improvements: (underlined language are additions; stricken through language are deletions):[DB3]

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Exhibit "D" Additional Mobility Improvements[DL4] and Additional Park and Recreation Improvements

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JUN OF Deby	City Council Meeting City of DeBary AGENDA ITEM				
Subject:	First Amendment to Contract for	Attachments:			
	Construction Management/General	() Ordinance			
	Contracting Services for Fire Station #39				
From:	Carmen Rosamonda, City Manager	() Resolution			
Meeting He	earing Date May 1, 2024	() Supporting Documents/ Contracts () Other			

REQUEST

City Manager is requesting City Council approve and accept the Wharton-Smith, LLC's Guaranteed Maximum Price Proposal for the new Fire Station #39.

PURPOSE

The purpose is to accept the Guaranteed Maximum Price (GMP) and proceed with the construction of Fire Station #39.

CONSIDERATIONS

- On March 31, 2023, with a budget of \$2.5M, we received bids pursuant to our RFP advertisement. The lowest bid was \$5,616,100 for a 3-bay station. Staff rejected the bids and pursued bids for a Construction Manager at Risk (CMAR) contract through our RFQ process.
- On January 20, 2024, the City Council awarded the RFQ bid (CMAR) to Wharton-Smith, LLC and approved the Contract for Construction Management/General Contracting Services for Pre-Construction Phase Services for Fire Station #39. Along with this approval, the City Council approved \$51,480.80 for Wharton-Smith, Inc. to advertise for bids and establish a GMP for the project.
- Wharton-Smith, Inc. received 3-4 bids per construction phase (see GMP proposal) estimating the cost of the 2-bay station not to exceed \$5,767,140 and the 3-bay station not to exceed \$6,062,340. These costs include Wharton-Smith, LLC's management fee and inspection services at 8%.
- Upon approval, the City will finished the engineered plans and move towards issuing a Notice to Proceed. Mobilization and Clearing projected to be on or about August 1, 2024 (see project timeline in GMP proposal). Fire Station #39 is projected to be completed 12 months after start date. However, in the current construction industry environment, we are experiencing significant delays in electrical components including panels and generators which may take 9-12 months to receive.

- The GMP is the maximum amount the City will pay for this project. Wharton-Smith, as required, received at least 3 bids for each phase of the project (included in the GMP proposal). In Section 4 of this document, Wharton-Smith offered various cost saving items totaling \$162,041. Once our engineer team reviews, we will make a decision on which ones are viable options. Another saving feature is direct purchasing of materials. Wharton-Smith will assist the City in buying materials direct and utilize our sales tax exemption authority saving another \$60,000-\$70,000. There may be other options during construction to reduce costs, as Wharton-Smith will also scrutinize scope of work and assumptions made during the bid process and true them up at the time of service.
- There are 3 additional major cost factors associated with the construction of this fire station that the Council must consider. 1) Pursuant to our fire services contract with Orange City, the hiring of 8.5 additional fire fighters/EMT positions will be completed by February 1, 2024, or 6 months prior to station completion whichever occurs later. The annualized cost for these additional positions, plus the normal operating costs will be approximately \$2M additional annually; 2) With the newly purchase of the fire truck, an additional, one-time purchase of \$300,000 is needed to properly outfit the truck; 3) The construction of the fire station does not include appliances and furnishings. The cost of these appliances and furnishing will be one-time purchase of approximately \$100,000 \$125,000.
- **Budget History.** In FY 2023-24 approved budget, the City increased its budget to \$5.15M. The following are the chain of adjustments and increase over the last two fiscal years for this project.
 - FY 2022-23 the budget for Fire Station #39 was \$2.5M; State Appropriation \$1.25M, City \$1.25M.
 - FY 2022-23, the budget was increased by \$641,349 to purchase the fire truck, which takes over 18 months to receive.
 - FY 2023-24, the budget was increased to \$5.15M due to the results of the initial RFP. In this approved budget, we transferred \$2.5M from the ARPA fund and \$150,000 from Public Building Impact Fees to cover the increased cost.
- Orange City has provided a staffing plan and preliminary <u>personnel only</u>, budget forecast. Station 33 has 12 current positions. When Station #39 is completed and with the hiring of 8.5 additional personnel, each station will be equalized with 10.25 positions each. The personnel cost increase is estimated at \$756,668 for FY 2024-25. This does not include operational expenses. It is estimated in FY2025-26 budget, the cost for fire services will be in excess of \$4M, nearly double our current expense.
- The increase in construction costs (\$912,000), fire truck equipment (\$300,000) and furnishings (\$100,000-\$125,000) and hiring of 8.5 personnel (\$756,668) will be allocated in the FY 2024-25 budget. This will require the City to raise the ad valorem rates next year.

COST/FUNDING

There is no additional cost for FY 2023-24. The additional construction cost, additional personnel and operating costs, equipment and furnishing costs will be allocated in FY2024-25 budget. The additional personnel and operating costs are recurring and will be also allocated in future budgets.

RECOMMENDATION

It is recommended that the City Council approve and accept the Guaranteed Maximum Price of \$6,062,340 for the 3-bay building for Fire Station #39 and authorize the City Manager to execute the necessary construction contract documents to begin construction as soon as possible.

IMPLEMENTATION

Upon approval, City Manager will work with City Attorney to execute construction contract as soon as possible.

ATTACHMENTS

Wharton-Smith Guaranteed Maximum Price Proposal Bids Results from Original RFP, Dated 3/31/2023 City of Orange City – DeBary Fire Services; FY 2024/25 Personnel Services Projection Contract for Construction Management/General Contracting Services for Fire Station #39



CITY OF DEBARY CONTRACT FOR CM/GC SERVICES FOR PRE-CONSTRUCTION PHASE SERVICES FOR

FIRE STATION #39

GMP



Wharton-Smith, Inc. CONSTRUCTION GROUP
- Section 1 Estimate Summary (Base Bid and Alternate)
- Section 2 Base Bid Estimate Details
- Section 3 Alternate No. 1 Details
- Section 4 Value Engineering
- Section 5 Assumptions and Clarifications
- Section 6 Preliminary Project Schedule
- Section 7 Document List



City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 1 Estimate Summary Base Bid and Alternate





City of Debary Fire Station 39 City of Debary ESTIMATING WORKSHEET SUMMARY

LINE	Spec	DESCRIPTION	\$/SF	:		TOTAL	ALTERNATE TOTAL		COMMENTS
1		Direct Costs							
2		General Requirements	\$	26.79		152,241	152,241	0	
3	030000	Cast in Place Concrete	\$	49.18		279,474	295,780	16,306	
4	040000	Masonry	\$	34.32		195,033	213,066	18,033	
5	050000	Structural Steel	\$	31.63		179,765	208,024	28,259	
6	062000	Finish Carpentry	\$	6.80		38,622	38,622	0	
7	072100	Foam Insulation	\$	0.64		3,645	3,860	215	
8	072700	Air Barriers	\$	2.11		12,000	12,000	0	
9	074000	Standing Seem Metal Roofing	Ś	51.03		289,986	329,154	39,168	
10	079000	Joint Protection	Ś	2.82		16.000	16.000	0	
11	081000	Doors, Frames & Hardware	Ś	15.83		89.961	89.961	0	
12	083000	Specialty Doors	Ś	11.05		62.812	95,174	32.362	
13	085000	Windows	Ś	9.87		56,100	56,100	0	
14	092000	Drywall	Ś	34 57		196 462	196 462	0	
15	092100	Stucco	Ś	6 43		36 530	37 530	1 000	
16	095000	Acoustical Ceilings	Ś	2 61		14 841	14 841	0	
17	096000	Flooring	Ś	8 27		47 024	47 024	0	
18	099000	Painting	ې د	12.00		68 187	82 412	14 225	
19	102000	Toilet Partitions & Accessories	\$	0.57		3 230	3 230	0	
20	104000	Exterior Specialties	\$	-		0	0	0	
20	105000	Signage	\$	0.61		3 471	3 471	0	
21	106000	lockers	\$	-		0	0	0	
23	107000	Eire Extinguishers	\$	0.60		3 416	3 416	0	
23	108000	Protective Covers	\$	9.66		53 750	64 750	11 000	
25	210000	Fire Sprinklers	\$	4 49		25 500	27 900	2 400	
25	220000	Plumbing	4	37.21		23,500	238.082	26 599	
20	230000	HVAC	¢	67.21		382 310	423 633	41 322	
27	260000	Flectrical	¢ ¢	133.01		755 915	773 705	17 791	
20	310000	Site earthwork Ittilities & Paving	ې د	183.01		1 042 546	1 057 204	14 657	
30	323113	Fencing	\$	- 105.45		1,0+2,5+0	1,007,204	0	
31	329300	Landscaning & Irrigation	\$	13.90		78 985	78 985	0	
32	525500		Ś	756 52		4 299 289	4 562 627	263 338	
32		Indirect Costs	Ŷ	750.52		4,255,205	4,502,027	203,330	
34		General Conditions	¢	146.93	14 48%	834 998	834 998	0	
35		Δ/F Design & C/A Fees	¢	-	14.40/0	0	0	0	
36		Virtual Design Coordination	ې د	1 01	0.10%	5 767	6.062	295	
37		General Liability Insurance	ې د	10.66	1.05%	60 555	63 655	3 100	
37		Builder's Risk Insurance	ې د	1 97	0.19%	11 191	11 191		
20		Permits	ب د	1.37	0.00%			0	
40		P&P Bond	ب د	6.06	0.60%	30 570	/1 505	2 025	
40		SUBTOTAL	ب د	924.05	0.0370	5 251 270	5 520 129	2,025	
41		Project Contingency	ب د	18 / 8	2 00%	105 027	110 402	5 275	
42		Subtotal	ې د	0/2 52	2.0070	5 256 207	5 620 520	5,575	
43		Jubiola	ې د	542.55		5,550,397	5,050,530		
44 // E		F00	ې د	- סר רד	8 0.0%	410 742	121 910	21 067	
45		Guaranteed Maximum Price	ې د	1 01/ 01	0.00%	410,743	431,810	21,007	
40			Ş	1,014.01		5,767,140	6,062,340	295,200	

4/16/2024



City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section Base Bid Estimate Details





City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	OTY UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	0000000000	0									
		cell M10 above is used for isolating individual building costs									
0	030000	Cast in Place Concrete									
1											
2							Toltec	BNG	Leo's	Subname	
3							265,665	319,200			
4		Column Foundations				94,848					
5		F1.0 (4'-6" x 4'-6" x 2'-0") (4#5 EW)	1 ea	1,162.98	1,163		x	х			
6		F2.0 (4'-6" x 4'-6" x 1'-0") (4#5 EW)	2 ea	840.78	1,682		x	х			
7		Continuous Foundations	0		0						
8		2/S-301 (Cont. x 2'-0" x 1'-0") (3#5, #5@12") (Dowels #5@16")	162 lf	70.79	11,478		x	х			
9		1/S-301 (Cont. x 3'-0" x 1'-0") (4#5, #5@10") (Dowels #5@16")	222 lf	99.77	22,108		x	х			
10		Slab on Grade	0		0						
11		4" SOG (#4 @ 18" EW on 6 MIL VB)	3,067 sf	6.56	20,119		x	Х			
12		10" SOG (#5 @16" EW on 6 MIL VB)	2,602 sf	12.54	32,629		x	Х			
13		Miscellaneous Concrete	0		0						
14		Termite Treatment	5,669 sf	1.00	5,669		5,669	Х			
15		Site Concrete	0		0	95,547					
16		Mechanical Court Yard SOG - 4" SOG (6x6 W2.9 x W2.9 WWF)	281 sf	7.06	1,987		x	Х			
17		Emergency Generator SOG - 12" SOG (#6 12" OC EW)	398 sf	17.84	7,097		x	X			
18		Dumpster SOG - 6" SOG (6x6 W2.9 x W2.9 WWF)	203 sf	9.05	1,836		x	X			
19		Transformer SOG - 6" SOG (6x6 W2.9 x W2.9 WWF)	64 sf	9.05	582		x	Х			
20		6" Concrete Pavement - 4,000 psi	7,654 sf	10.00	76,540		x	х			
21		Sidewalks	1,501 sf	5.00	7,505		x	X			
22			0		0						
23			0		0						
24		Bond	190,395 \$	0.02	3,808	WSI Estimate	8,140	6,384	-	-	
25		Adjustment from WSI estimate to subcontractor	1 LS	85,271.03	85,271	194,203	279,474	325,584	-	-	
26							0.03	0.02	0.02	0.02	
27							Toltec	BNG	Leo's	Subname	
28											
29		Subtotal - Cast in Place Concrete			279,474						

5,683

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 2	Subcontractor 4	Subcontractor 5
LINE	specification	0	QIT	UNIT	Unit Frice	TOTALS	CONNENTS	Subcontractor 1	Subcontractor 2	Subcontractor S	Subcontractor 4	Subcontractor 5
30	040000	Masonry										
31												
32								Toltec	BNG/Stonewall	Leo's	Subname	
33								187,352	190,691			
34		Building CMU Block	0			0						
35		8" CMU - #5 @ 16" - 14'	858	sf	30.00	25,746		x	Х			
36		8" CMU - #5 @ 16" - 18'	1,799	sf	30.00	53,957		x	Х			
37		12" CMU - #5 @ 16" - 22'	1,405	sf	35.00	49,172		x	Х			
38		12" CMU - #5 @ 16" - 25'	2,009	sf	35.00	70,306		x	Х			
39		12" CMU - #5 @ 16" - 28'	1,842	sf	35.00	64,484		x	Х			
40		Building Lintels	0			0						
41		L1 - 8x8 2#4	33	lf	30.00	976		x	Х			
42		L2 - 8x16 2#5	45	lf	32.00	1,439		X	Х			
43		L3 - 12x8 2#4	23	lf	32.00	735		x	Х			
44		L4 - 12x16 4#5	80	lf	35.00	2,817		x	Х			
45		Install W-Beam Lintes	4	ea	500.00	2,000		2,000	2,000			
46		Site CMU Block	0			0						
47		8" CMU - 6' at Dumpster Enclosure and Mechancial Courtyard	902	sf	25.00	22,551		X	Х			
48		Precast Concrete Cap	105	lf	20.00	2,107		X	Х			
49		Misc. Masonry	0			0						
50		Install Hollow Metal Door Frames in CMU	6	ea	250.00	1,500		X	Х			
51			0			0						
52			0			0						
53		Bond	297,790	\$	0.02	5,956	WSI Estimate	5,681	3,854	-	-	
54		Adjustment from WSI estimate to subcontractor	1	LS	-108,713.07	(108,713)	303,746	195,033	196,545	-	-	
55								0.03	0.02	0.02	0.02	
56								Toltec	BNG/Stonewall	Leo's	Subname	
57												
58		Subtotal - Masonry				195,033	497,949	474,506	522,129			

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΥ	UNIT	Unit Price	τοταίς	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	opeemeation	0	QII		oniernee	TOTALS	COMMENTS	Subcontractor	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor S
59	050000	Structural Steel										
60												
61								Fabco	ISI	Fema	Subname	
62								168,985	230,500	261,003		
63		Steel Columns	0			0						
64		F1.0 - HSS 5x5x1/4	0.16	tons	5,500.00	876		X	х	X		
65		F2.0 - HSS 5x5x1/4	0.32	tons	5,500.00	1,753		X	х	X		
66		Steel Beams	0			0						
67		W12x16	7.54	tons	5,500.00	41,479		х	х	x		
68		W21x44	18.29	tons	5,500.00	100,582		х	х	x		
69		Steel Lintel	0			0						
70		W8x40	1.72	tons	5,500.00	9,480		х	х	x		
71		Steel Joists Subs	0			0						
72		2.5K2	1.02	tons	5,500.00	5,605		x	х	x		
73		Metal Deck	0			0						
74		Metal Deck - 1.5B, 22ga, 1-1/2" Deep, Galvanized	5,985	sf	5.00	29,927		х	х	x		
75		Perimeter Angle	0			0						
76		L Angle	240	lf	15.00	3,600		x	x	X		
77		Misc. Steel	0			0						
78		Dumpster Gates	2	ea	4,500.00	9,000		x	х	x		
79		Mechanical Courtyard Gates	2	ea	4,500.00	9,000		x	х	x		
80		Mechanical Courtyard Gates - Louver	4	ea	1,000.00	4,000		4,000	4,000	4,000		
81		Allowances	0			0						
82		Third Party Inspections	1	ls	5,000.00	5,000		5,000	5,000	5,000		
83			0			0						
84			0			0						
85		Bond	220,302	\$	0.02	4,406	WSI Estimate	1,780	4,790	5,400	-	
86		Adjustment from WSI estimate to subcontractor	1	LS	-44,943.58	(44,944)	224,708	179,765	244,290	275,403	-	
87							39.54	0.01	0.02	0.02	0.02	
88								Fabco	ISI	Fema	Subname	
89												
90		Subtotal - Structural Steel				179,765						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΥ	UNIT	Unit Price	τοταίς	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	opeemeation	0				TOTALS						
91	062000	Finish Carpentry										
92												
93								Cabinet Makers	Rivercraft	Subname	Subname	
94								38,622	46,831			
95		Millwork										
96		106 Kitchen										
97		PLAM Base Cabinets	12	lf	350.00	4,200		х	Х			
98		PLAM Upper Cabinets	14	lf	325.00	4,550		Х	Х			
99		Quartz Countertop	34	sf	120.00	4,080		х	Х			
100		PLAM Island Base Cabinets	6	lf	350.00	2,100		Х	X			
101		Quartz Island Countertop with Waterfall Edge	43	sf	120.00	5,160		x	x			
102		Full Height Cabinet	3	ea	1,200.00	3,600		x	х			
103		115 Restroom										
104		Countertop	6	sf	120.00	720		x	х			
105		PLAM Undersink Panel	3	lf	225.00	675		x	Х			
106		116 Restroom										
107		Countertop	6	sf	120.00	720		x	х			
108		PLAM Undersink Panel	3	lf	225.00	675		X	х			
109		Bunk Rooms	0			0						
110		Floating Shelf	10	lf	150.00	1,500		x	Х			
111		Radio Report	0			0						
112		Countertop	30	sf	120.00	3,600		x	х			
113		Brackets	5	ea	100.00	500		x	Х			
114		EMS	0			0						
115		Countertop	8	sf	120.00	900		x	х			
116		Brackets	1	ea	100.00	100		x	х			
117			0			0						
118			0			0						
119		Bond	33,080	\$	0.00	0	WSI Estimate	-	-	-	-	
120		Adjustment from WSI estimate to subcontractor	1	LS	5,542.00	5,542	33,080	38,622	46,831	-	-	
121								0	0	0.02	0.02	
122								Cabinet Makers	Rivercraft	Subname	Subname	
123												
124		Subtotal - Finish Carpentry				38,622						
125	072100	Foam Insulation										
126												
127								Southern Foam	Subname	Subname	Subname	
128								3,645				
129	072119	Foamed-In-Place Insulation										
130		Injected Masonry Foam Insulation	7,913	sf	0.50	3,956		x				
131			0			0						
132			0			0						
133		Bond	3.956	\$	0.00	0	WSI Estimate	-	-	-	-	
134		Adjustment from WSI estimate to subcontractor	1	LS	-311.42	(311)	3,956	3,645	-	-	-	
135						<u> </u>		0	0.02	0.02	0.02	
136								Southern Foam	Subname	Subname	Subname	
137												
138		Subtotal - Foam Insulation				3,645						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	specification	0	QII		Onit Frice	TOTALS	CONNENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
139	072700	Air Barriers										
140												
141								CF Waterproofing	Moss	Subname	Subname	
142								12,000				
143	072726	Fluid Applied Membrane Air Barriers										
144		Air Barrier behind Stucco	5,891	sf	2.00	11,782		X				
145			0			0						
146			0			0						
147		Bond	11,782	\$	0.00	0	WSI Estimate	-	-	-	-	
148		Adjustment from WSI estimate to subcontractor	1	LS	217.76	218	11,782	12,000	-	-	-	
149								0	0.02	0.02	0.02	
150								CF Waterproofing	Moss	Subname	Subname	
151												
152		Subtotal - Air Barriers				12,000						
153	074000	Standing Seem Metal Roofing										
154												
155								Arch. Sheet Metal	Subname	Subname	Subname	
156								264,300				
157		Roofing	5,985	sf	32.00	191,520		x				
158		R-25 Rigid Insulation	0			0		x				
159		1/2" Sheating Roof Board	0			0		x				
160		Underlayment	0			0		x				
161		Standing Seem Metal Roof	0			0		X				
162		Soffit Panels	0			0						
163		Metal Soffit	99	sf	32.00	3,168		x				
164		Vertical Panels	0			0						
165		Standing Seem Vertical Panels	563	sf	32.00	18,021		x				
166		Miscellaneous Roofing	0			0						
167		Gutters	131	lf	25.00	3,283		X				
168		Downspouts	74	lf	25.00	1,844		X				
169		Testing	0			0						
170		Air Infiltration	1	ea	10,000.00	10,000		10,000				
171		Water Penetration	1	ea	10,000.00	10,000		10,000				
172			0			0						
173			0			0						
174		Bond	237,836	\$	0.02	4,757	WSI Estimate	5,686	-	-	-	
175		Adjustment from WSI estimate to subcontractor	1	LS	47,393.48	47,393	242,593	289,986	-	-	-	
176								0.02	0.02	0.02	0.02	
177								Arch. Sheet Metal	Subname	Subname	Subname	
178												
179		Subtotal - Standing Seem Metal Roofing				289,986						

City of Debary Fire Station 39 City of Debary **DIRECT COST WORKSHEET**

LINE	Specification	DESCRIPTION	ОТУ		Unit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
LINE	specification	0			omernee	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
180	079000	Joint Protection										
181												
182								CF Waterproofing	General Caulk	Subname	Subname	
183								16,000	9,325			
184	079000	Joint Sealants										
185		Exterior Doors	1	ls	2,000.00	2,000		x	x			
186		Exterior Windows	1	ls	2,000.00	2,000		X	2,000			
187		Masonry Control Joints	1	ls	2,000.00	2,000		x	x			
188		Stucco Control Joints	1	ls	2,000.00	2,000		x	2,000			
189		Sdiewalk to Building	1	ls	2,000.00	2,000		x	x			
190		Sidewalk Expansion Joinst	1	ls	2,000.00	2,000		X	x			
191		Concrete Pavement to Pavement	1	ls	2,000.00	2,000		X	x			
192		Pavement to Curbs	1	ls	2,000.00	2,000		x	2,000			
193		Vents and Louvers	1	ls	2,000.00	2,000		X	x			
194			0			0						
195			0			0						
196		Bond	18,000	\$	0.00	0	WSI Estimate	-	-	-	-	
197		Adjustment from WSI estimate to subcontractor	1	LS	-2,000.00	(2,000)	18,000	16,000	15,325	-	-	
198								0	0	0.02	0.02	
199								CF Waterproofing	General Caulk	Subname	Subname	
200												
201		Subtotal - Joint Protection				16,000						
202	081000	Doors, Frames & Hardware										
203												
204								AG Mauro	DH Pace	Cajun	TCR	
205								80,161	91,920			
206		Door Leafs										
207		Wood Door Type N - 3070	3	ea	800.00	2,400		x	x			
208		Wood Door Type F - 3070	12	ea	800.00	9,600		x	x			
209		Wood Door Type VV - 3070	1	ea	800.00	800		x	x			
210		Wood Door Type FG - 3070	1	ea	800.00	800		x	x			
211		Hollow Metal Door Type F - 3070	7	ea	800.00	5,600		x	x			
212		Hollow Metal Door Type N - 3070	4	ea	800.00	3,200		X	x			
213		Door Frames										
214		F1 - Hollow Metal Frame - 3070	16	ea	700.00	11,200		X	x			
215		F1 - Hollow Metal Frame - 6070	1	ea	850.00	850		X	x			
216		F4 - Hollow Metal Frame - 3070 Masonry Head		ea	750.00	6,000		X	x			
217		F6 - Hollow Metal Frame - 6070 Masonry Head	1	ea	900.00	900		x	x			
218		Door Hardware										
219		Hardware	28	ea	1,200.00	33,600		x	x			
220		Installation										
221		Install	28	ea	350.00	9,800		9,800	x			
222			0			0						
223			0			0						
224		Bond	84,750	\$	0.00	0	WSI Estimate	-	-	-	-	
225		Adjustment from WSI estimate to subcontractor	1	LS	5,211.00	5,211	84,750	89,961	91,920	-	-	
226							3,027	0	0	0.02	0.02	
227								AG Mauro	DH Pace	Cajun	TCR	
228												
229		Subtotal - Doors, Frames & Hardware				89,961						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταίς	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor A	Subcontractor 5
	specification	0	QT	UNIT	Onit Frice	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	
230	083000	Specialty Doors										
231												
232								Florida Door	American	Overhead Door Co	Subname	
233								62,812	135,154	70,318		
234		Overhead Coiling Doors										
235		14'-0" x 14'-0" High Speed Overhead Door	4	ea	20,000.00	80,000		X	x	x		
236			0			0						
237			0			0						
238		Bond	80,000	\$	0.00	0	WSI Estimate	-	2,703	-	-	
239		Adjustment from WSI estimate to subcontractor	1	LS	-17,188.00	(17,188)	80,000	62,812	137,857	70,318	-	
240								0	0.02	0	0.02	
241								Florida Door	American	Overhead Door Co	Subname	
242												
243		Subtotal - Specialty Doors				62,812						
244	085000	Windows										
245												
246								Diamond	Lays	Subname	Subname	
247								46,000				
248		Exterior Storefront										
249		SF1 - 14'-0" x 10'-0" with Single Door	140	sf	180.00	25,200		X				
250		SF3 - 3'-4" x 10'-0"	33	sf	180.00	6,000		X				
251		Exterior Windows										
252		W1 - 12'-0" x 2'-8"	32	sf	180.00	5,760		х				
253		W2 - 9'-4" x 2'-8"	25	sf	180.00	4,480		Х				
254		Interior Glazing	0			0						
255		Door Lite Type - N	7	ea	90.00	630		х				
256		Door Lite Type - FG	1	ea	150.00	150		х				
257			0			0						
258		Scope Questions	0			0						
259		Level-E Glazing	0			0		9,000				
260			0			0						
261			0			0						
262		Bond	42,220	\$	0.02	844	WSI Estimate	1,100	-	-	-	
263		Adjustment from WSI estimate to subcontractor	1	LS	13,035.60	13,036	43,064	56,100	-	-	-	
264								0.02	0.02	0.02	0.02	
265								Diamond	Lays	Subname	Subname	
266												
267		Subtotal - Windows				56,100						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	specification	0		UNIT	Onit Frice	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
268	092000	Drywall										
269												
270								Drywall Elements	Kenpat	J & G	Strategic	
271								192,610	215,105			
272		Drywall Partitions										
273		Type C - (1) 5/8" Gyp, 2-1/2" MS, 2" Rigid Insulation	2,520	sf	12.00	30,234		x	x			
274		Type F - (2) 5/8" Gyp., 3-5/8" MS	845	sf	14.00	11,825		x	x			
275		Type F 1HR - (2) 5/8" Gyp., 3-5/8" MS	180	sf	20.00	3,600		X	x			
276		Type G - (4) 5/8" Gyp, 3-5/8" MS, 3" Batt Insulation	3,341	sf	16.00	53,455		X	x			
277		Type G 1HR - (4) 5/8" Gyp, 3-5/8" MS, 3" Batt Insulation	422	sf	20.00	8,445		x	x			
278		Type H - (4) 5/8" Gyp, 6" MS, 6" Insulation	136	sf	18.00	2,448		x	x			
279		Type H 1HR - (4) 5/8" Gyp, 6" MS, 6" Insulation	647	sf	20.00	12,941		x	x			
280		Type I - (2) 5/8" Gyp, 6" MS, 6" Insulation	789	sf	18.00	14,210		X	x			
281		Type I 1HR - (2) 5/8" Gyp, 6" MS, 6" Insulation	181	sf	22.00	3,974		X	x			
282		Type J - (1) 5/8" Gyp, 3/5" MS, 3" Insulation	513	sf	16.00	8,202		X	x			
283		Drywall Ceilings										
284		5/8" Gyp Moisture Resistant @ Restroom	154	sf	12.00	1,843		x	х			
285		5/8" Gyp Ceilings	427	sf	10.00	4,274		X	x			
286		Misc. Drywall	0			0						
287		In-Wall Blocking	0			0		х	x			
288		Install Hollow Metal Frames in Drywall Partitions	0			0		х	х			
289			0			0						
290			0			0						
291		Bond	155,451	\$	0.02	3,109	WSI Estimate	3,852	3,162	-	-	
292		Adjustment from WSI estimate to subcontractor	1	LS	37,901.69	37,902	158,561	196,462	218,267	-	-	
293								0.02	0.0147	0.02	0.02	
294								Drywall Elements	Kenpat	J & G	Strategic	
295												
296		Subtotal - Drywall				196,462						
297	092100	Stucco										
298												
299								Reyes	Subname	Subname	Subname	
300								36,530				
301		Stucco										
302		Exterior Stucco on Building	5,891	sf	10.00	58,911		x				
303		Exterior Stucco on Dumpster and Mechanical Enclosure	902	sf	10.00	9,020		x				
304			0			0						
305			0			0						
306		Bond	67,932	\$	0.00	0	WSI Estimate	-	-	-	-	
307		Adjustment from WSI estimate to subcontractor	1	LS	-31,401.60	(31,402)	67,932	36,530	-	-	-	
308								0	0.02	0.02	0.02	
309								Reyes	Subname	Subname	Subname	
310												
311		Subtotal - Stucco				36,530						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
312	095000	Acoustical Ceilings										
313												
314								Drywall Elements	Kenpat	J & G	Strategic	
315								, 14,550	15,525			
316		Suspended Acoustic Ceilings										
317		ACT1 - Acoustical Ceilings 2x2 - #1912HRC	1,867	sf	6.50	12,133		x	х			
318		-	0			0						
319			0			0						
320		Bond	12,133	\$	0.02	243	WSI Estimate	291	228	-	-	
321		Adjustment from WSI estimate to subcontractor	1	LS	2,465.11	2,465	12,376	14,841	15,753	-	-	
322								0.02	0.0147	0.02	0.02	
323								Drywall Elements	Kenpat	J & G	Strategic	
324												
325		Subtotal - Acoustical Ceilings				14,841						
326	096000	Flooring										
327												
328								Spectra	PK Flooring	Certified	AJ Flooring	
329								46,524	42,435	63,131		
330		Tile Flooring										
331		PTF-1 - Porcelain Floor Tile	2,154	sf	12.00	25,848		X	X	Х		
332		CTW-1 - Wall Tile - 8'	833	sf	12.00	9,996		X	X	Х		
333		Tile Base	104	lf	12.00	1,248		X	X	Х		
334		Static Dissipative Tile										
335		SDT-1	65	sf	35.00	2,275		X	X	Х		
336		Electrical Ground Test	1	ls	500.00	500		500	500	500		
337		Resiliant Flooring										
338		Rubber Base	720	lf	3.00	2,160		X	X	Х		
339			0			0						
340			0			0						
341		Bond	42,027	\$	0.00	0	WSI Estimate	-	-	-	-	
342		Adjustment from WSI estimate to subcontractor	1	LS	4,997.00	4,997	42,027	47,024	42,935	63,631	-	
343								0	0	0	0	
344				L				Spectra	PK Flooring	Certified	AJ Flooring	
345												
346		Subtotal - Flooring				47,024						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΥ		Unit Prico	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 2	Subcontractor 4	Subcontractor F
LINE	Specification	0	QIT	UNIT	Office Price	TOTALS	COMMENTS		Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
347	099000	Painting										
348												
349								Percopo	Weston	Coastal	Subname	
350								68,187	39,750	79,200		
351		Painting	0			0						
352		Paint Gypsum Walls	10,071	sf	1.50	15,107		x	x	х		
353		Paint Gypsum Ceiling	581	sf	1.50	872		x	x	х		
354		Paint CMU Walls	5,928	sf	2.00	11,856		x	x	х		
355		Paint Hollow Metal Doors	11	ea	150.00	1,650		х	х	х		
356		Paint Hollow Metal Door Frames	28	ea	150.00	4,200		Х	х	х		
357		Paint Exterior	1	ls	10,000.00	10,000		X	х	х		
358			0			0						
359		Polished Concrete										
360		SC-1	3,105	sf	8.50	26,389		X	26,389	х		
361		SC-2	208	sf	8.50	1,765		х	1,765	х		
362			0			0						
363			0			0						
364		Bond	71.837	Ś	0.00	0	WSI Estimate	-	-	-	-	
365		Adjustment from WSI estimate to subcontractor	1	LS	-3.650.36	(3.650)	71.837	68.187	67.903	79.200	-	
366					-,	(1)		0	0	0	0.02	
367								Percono	Weston	Coastal	Subname	
368								Гегеоро	Weston	Coustai	Subhame	
369		Subtotal - Painting				68 187						
370	102000	Toilet Partitions & Accessories										
370	102000											
272								Mardale	Streamline	ABS	Subname	
372								3 230	2 052	4 200	Sublianc	
373		Toilet Accessories						5,250	2,052	4,200		
275		A1 - Wall Mirror	2	03	275.00	1 125		v	v	v		
276		AL Toilet Tissue dispenser - Double Roll	3	02	100.00	300		×	×	×		
277		A4 - Tollet Tissue dispenser - Double Koll		60	125.00	125		A V	A	A N		
377			1	ea	125.00	125		X	X	X		
270		A0-42 Oldo Dal	1	63	900.00	900		X	×	×		
200		A11 - Baby Changing Station	1	ea	300.00	300		X	X	X		
380		A14 - Sudp Disperiser	1	ea	200.00	200		X	X FOO	X		
381			1	ea	500.00	500		X	500	X		
382			0			0						
383		Drud	0	ć	0.00	0						
384			3,285	ې ۲	0.00	0	WSI Estimate	-	-	-	-	
385		Adjustment from WSI estimate to subcontractor	1	LS	-55.00	(55)	3,285	3,230	2,552	4,200	-	
386								0	0	0	0.02	
387				<u> </u>				Mardale	Streamline	ABS	Subname	
388												
389		Subtotal - Toilet Partitions & Accessories				3,230						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION			Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	specification	0	QIT	UNIT	Unit Frice	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
390	104000	Exterior Specialties										
391												
392								Subname	Subname	Subname	Subname	
393												
394		Flag Poles										
395		25' Flag Pole - Not in Contract	1	ea	0.00	0						
396			0			0						
397			0			0						
398		Bond	0	\$	0.02	0	WSI Estimate	-	-	-	-	
399		Adjustment from WSI estimate to subcontractor		LS	0.00	0	0	-	-	-	-	
400								0.02	0.02	0.02	0.02	
401								Subname	Subname	Subname	Subname	
402												
403		Subtotal - Exterior Specialties				0						
404	105000	Signage										
405												
406								Environmental Graphic	Subname	Subname	Subname	
407								3,471				
408		Signage										
409		Room Signs	30	ea	150.00	4,500		X				
410			0			0						
411			0			0						
412		Bond	4,500	\$	0.00	0	WSI Estimate	-	-	-	-	
413		Adjustment from WSI estimate to subcontractor	1	LS	-1,029.00	(1,029)	4,500	3,471	-	-	-	
414								0	0.02	0.02	0.02	
415								Environmental Graphic	Subname	Subname	Subname	
416												
417		Subtotal - Signage				3,471						
418	106000	Lockers										
419												
420								Subname	Subname	Subname	Subname	
421												
422		Lockers										
423		Bunker Gear Locker - Not in Contract	12	ea	0.00	0						
424			0			0						
425			0			0						
426		Bond	0	\$	0.02	0	WSI Estimate	-	-	-	-	
427		Adjustment from WSI estimate to subcontractor		LS	0.00	0	0	-	-	-	-	
428								0.02	0.02	0.02	0.02	
429								Subname	Subname	Subname	Subname	
430												
431		Subtotal - Lockers				0						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE Specification	DESCRIPTION	ОТУ	UNIT	Unit Price	τοται ς	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5	
	specification	0			onicifice	101/120	COMMENTS		Subcontractor 2	Subcontractor 5	Subcontractor	Subcontractor 5
432	107000	Fire Extinguishers										
433												
434								Mardale	Streamline	ABS	Subname	
435								2,916	3,753	3,400		
436		Fire Extinguishers										
437		Fire Extinguishers	8	ea	125.00	1,000		x	x	х		
438		Fire Extinguisher Wall Mounts										
439		Wall Mount	4	ea	45.00	180		x	X	Х		
440		Fire Extinguisher Cabinets										
441		Wall Cabinets	4	ea	375.00	1,500		x	x	x		
442		Knox Boxes										
443		Knox Lock Box	1	ea	500.00	500		500	500	500		
444			0			0						
445			0			0						
446		Bond	3.180	Ś	0.00	0	WSI Estimate	-	-	-	-	
440		Adjustment from WSI estimate to subcontractor		÷ IS	236.00	236	3 180	3 416	4 253	3 900	_	
1/18					200.00	200	5,100	0	0	0	0.02	
110								Mardale	Streamline	ABS	Subname	
450								ivia daic	Streamine	7,85	Subname	
450		Subtotal - Fire Extinguishers				3 /16		6.646	6 805	8 100		
451	108000	Brotoctive Covers		_		3,410		0,040	0,805	8,100		
452	108000											
455								Porfaction	Dittmor	Subnamo	Subnamo	
454								E2 750	57,000	Subliance	Subliance	
455		Cananias						55,750	57,000			
456			205	-f	200.00	61.000						
457		Pre-Engineered Metal Canopy	305	ST	200.00	61,000		X	X			
458			0			0						
459			0	¢	0.00	0						
460		Bond	61,000	Ş	0.00	0	WSI Estimate	-	-	-	-	
461		Adjustment from WSI estimate to subcontractor	1	LS	-7,250.00	(7,250)	61,000	53,/50	57,000	-	-	
462								0	0	0.02	0.02	
463								Perfection	Dittmer	Subname	Subname	
464												
465		Subtotal - Protective Covers				53,750						
466	210000	Fire Sprinklers										
467												
468								Titan	Southern	Subname	Subname	
469								25,500	38,300			
470		Fire Protection System	5,683	sf	5.00	28,415		X	X			
471			0			0						
472			0			0						
473		Bond	28,415	\$	0.00	0	WSI Estimate	-	-	-	-	
474		Adjustment from WSI estimate to subcontractor	1	LS	-2,915.00	(2,915)	28,415	25,500	38,300	-	-	
475								0	0	0.02	0.02	
476								Titan	Southern	Subname	Subname	
477												
478		Subtotal - Fire Sprinklers				25,500						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

	Specification	DESCRIPTION	ΟΤΥ		Lipit Drico	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 2	Subcontractor 4	Subcontractor F
LINE	specification	0	QIY	UNIT	Unit Price	TUTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
479	220000	Plumbing										
480												
481								Paramount	Heichel	Tharp	Subname	
482								173,775	220,623	350,976		
483		Plumbing - SF	5,683	3		0	170500					
484			C)		0						
485		Piping	C)		0						
486		Trench Drain	93	B If	350.00	32,550		32,550	Х	X		
487		Cold Water	C)		0		·				
488		1/2" DCW	68	B If	35.00	2.380		X	х	X		
489		3/4" DCW	85	5 If	40.00	3.400		x	x	x		
490		1" DCW	127	7 If	45.00	5.715		X	X	x		
491		1-1/4" DCW	43	B If	50.00	2.150		X	X	x		
492		1-1/2" DCW	55	i If	55.00	3.025		x	x	×		
493		2" DCW	27	/ If	65.00	1.755		x	x	x		
494		Hot Water)		0		^	~	~		
494 195		1/2" DHW	47	, 7 f	35.00	1 645		Y	¥	¥		
496		3/4' DHW	56	5 If	40.00	2 240		X	x	x		
490 197		1" DHW	82) If	45.00	3 690		× ×	×	x		
198		1-1/4" DHW	30) f	50.00	1 500		× ×	×	x		
490		1_1/2" DHW	22		55.00	1,500		×	×	×		
499 500		Sanitary))	55.00	1,205		^	^	^		
500			C	, 7 f	37.00	250		v	v	v		
501		1 1/2" SAN	19		40.00	720		X	×	×		
502		2" SAN		i lf	40.00	120		X	X	X		
503			4	• IE	45.00	100		X	X	X		
504			90		50.00	4,800		X	X	X		
505		4 SAN	188	5 II 5 II	55.00	10,340		X	X	X		
506			20	5 II 1 II	25.00	U 500						
507			20		25.00	500		X	X	X		
508			40		30.00	1,200		X	X	X		
509					50.00	0						
510		3°SI	18	S IT	50.00	900		X	X	X		
511		Plumbing Fixtures)	5 000 00	0						
512		WC - Water Closet	t t	ea	5,000.00	15,000		X	X	X		
513		L-1 - Lavatory	2	ea 🛛	3,500.00	7,000		X	X	X		
514		L-2 - Lavatory	1	ea	3,500.00	3,500		X	X	X		
515		S-1 - Sink Double	1	ea	4,500.00	4,500		X	Х	X		
516		JS-1 - Janitor Sink	1	ea	5,000.00	5,000		X	X	X		
517		WB-1 - Washer Box	1	ea	2,000.00	2,000		X	Х	X		
518		EWC-1 - Electric Water Cooler	1	. ea	10,000.00	10,000		X	X	X		
519		SH-1 - Shower	2	ea	6,500.00	13,000		X	X	X		
520		ESEW-1 - Emergency Shower/Eyewash	1	ea	8,000.00	8,000		X	X	X		
521		EWH-1 - Electric Water Heater	1	. ea	10,000.00	10,000		X	X	X		
522		Tanks	C)		0						
523		Oil/Sand Interceptor - 400 Gallon	1	ea	40,000.00	40,000		X	X	X		
524			C)		0						
525			C)	ļ	0						
526		Bond	198,214	l \$	0.02	3,964	WSI Estimate	5,158	4,412	7,020	-	
527		Adjustment from WSI estimate to subcontractor	1	LS	9,304.85	9,305	202,178	211,483	225,035	357,996	-	
528								0.025	0.02	0.02	0.02	
529				-				Paramount	Heichel	Tharp	Subname	
530												
531		Subtotal - Plumbing				211,483						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΥ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor A	Subcontractor 5
	specification	0		UNIT	onicifice	TOTALS	COMMENTS	Subcontractor 1		Subcontractor S	Subcontractor 4	Subcontractor 5
532	230000	HVAC										
533												Controls
534								Energy Air	CT mech	Cor3		ABC
535								378,000	383,440	491,300		40,790
536		HVAC - SF	5,683	sf	20.00	113,660	426,225					
537			0			0						
538		HVAC Equipment	0			0						
539		Ductless Split System - Mitsubishi PKA-A12HA - 370 CFM	2	ea	15,000.00	30,000		x	x	x		
540		Split System AHU - Trane - 600, 900 and 850 CFM	3	ea	15,000.00	45,000		x	x	x		
541		Dedicated Outside Air Split Systems - 1275 CFM	1	ea	20,000.00	20,000		x	x	x		
542		Exhaust Fans	7	ea	2,500.00	17,500		x	x	x		
543		Air-Cooled Heat Pumps	3	ea	7,500.00	22,500						
544		Kitchen Hood - 500 CFM	1	ea	8,500.00	8,500		x	x	x		
545		Louvers	7	ea	1,000.00	7,000		x		x		
546		HVAC Duct Work	0			0						
547		Supply - Externally Insulated Galvanized Steel	988	lbs	18.00	17,784		x	x	x		
548		Return - Externally Insulated Galvanized Steel	657	lbs	18.00	11,826		x	x	x		
549		Exhaust	754	lbs	18.00	13,572		X	x	x		
550		HVAC Refrigerant Piping	0			0						
551		Return	100	lf	85.00	8,500		x	х	x		
552		Supply	100	lf	85.00	8,500		x	x	x		
553		HVAC Controls	5,683	sf	7.50	42,623		x	x	x		
554		HVAC Test and Balance	5,683	sf	2.00	11,366		x	11,366	x		
555			0			0						
556		Interior HVAC Concrete Pads - 4"	35	sf	15.00	525		525	525	525		
557			0			0						
558			0			0						
559		Bond	378,856	\$	0.02	7,577	WSI Estimate	3,785	5,930	9,837		-
560		Adjustment from WSI estimate to subcontractor	1	LS	-4,122.36	(4,122)	386,433	382,310	401,261	501,662		40,790
561								0.01	0.015	0.02		0
562								Energy Air	CT mech	Cor3		ABC
563												
564		Subtotal - HVAC				382,310						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY U		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
LINL	specification	0	QT	ONIT	Onit Frice	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor S	Subcontractor 4	Subcontractor 5
565	260000	Electrical										
566											Lightning Protection	
567								United	Boys	Giles	NCS	
568								698,678	695,000	938,440	15,650	
569		Electrical - SF	5,683		120.00	681,960						
570			0			0						
571		Conduit	0			0						
572		1" Underground Conduit	825	LF		0		х	x	x		
573		4" Underground Conduit	843	LF		0		X	х	х		
574		Panels	0			0						
575		ATS - Automatic Transfer Switch - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		X	x	x		
576		CT Cabinet - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		X	x	x		
577		FACP - Fire Alarm Control Panel	1	EA		0		X	х	х		
578		HWRP - Hot Water Return Panel	1	EA		0		X	x	x		
579		INV-1 - Lighting Inverter Panel - 120/240V, 1 Phase, 30 AMPS	1	EA		0		X	x	x		
580		LCP - Lighting Control Panel	1	EA		0		X	x	x		
581		LP-1 Panel - 120/240V, 1 Phase, 700 AMPS	1	EA		0		x	x	x		
582		MDP - Main Distribution Panel - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		X	x	x		
583		MP - Main Panel - 120/240V, 3 Phase, 125 AMPS	1	EA		0		x	x	x		
584		Utility Meter - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		x	x	x		
585			0			0						
586		Electrical Devices	0			0		x	x	x		
643			0			0						
644		Lighting Fixtures	0			0		x	x	x		
662			0			0						
663		Low Voltage	0			0						
664		Coduit and Back Boxes - XXXXXX	0			0		X	x	x		
665		Fire Alarm	0			0		x	x	x		
666		BDA - Bi-Directional Amplifier System	0			0		46,800	55,000	x		
667		Lightning Protection	0			0		x	x			
668			0			0						
669		Directinonal Bore	0			0		x	x	x		
670		Generator	0			0		x	x	x		
671		Temporary Lighting	0			0		x	x	x		
672			0			0						
673			0			0						
674		Bond	681.960	\$	0.02	13.639	WSI Estimate	10.437	11.250	11.261	-	
675		Adjustment from WSI estimate to subcontractor	1	LS	60,315.49	60,315	695.599	755,915	761,250	949,701	15,650	
676					,	,		0.014	0.015	0.012	-	
677				<u> </u>				United	Bovs	Giles	NCS	
678												
679		Subtotal - Electrical				755,915						

City of Debary Fire Station 39 City of Debary **DIRECT COST WORKSHEET**

	Specification	DESCRIPTION	ΟΤΥ		Linit Prico	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 2	Subcontractor 4	Subcontractor F
LINE	specification	0		UNIT	Unit Price	TOTALS	COMMENTS		Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
680	310000	Site earthwork, Utilities & Paving										
681												
682								D & W	Wayne	JCB	Harty Tractor	Father and Son
683								875,904	1,070,000	1,112,610	1,389,404	
684	310000	Earthwork										
685		General Conditions	0			0	95,000					
686		Mobilization	1	ls	30,000.00	30,000		X	х	х		
687		Layout and As-Builts	1	ls	40,000.00	40,000		x	X	Х		
688		Dewatering	1	ls	25,000.00	25,000		x	Х	25,000		
689		Density Test	1	ls	10,000.00	10,000		X	х	10,000		
690		Erosion Control	0			0	42,858					
691		Silt Fence	1,279	lf	2.00	2,558		x	х	х		
692		Silt Fence Maintenance	12	mo	900.00	10,800		x	Х	10,800		
693		Construction Entrance	1	ea	5,500.00	5,500		x	х	х		
694		Construction Entrance Maintenance	12	mo	2,000.00	24,000		24,000	х	24,000		
695		SWPPP Permit	1	ls	2,500.00	2,500		x	x			
696		SWPPP Monitoring	4	mo	500.00	2,000		x	x			
697		Site Prep and Grading	0			0	316,959					
698		Demo Existing Fence	350	lf	10.00	3,500		x	x	х		
699		Demo Trees	150	ea	100.00	15,000		x	х	Х		
700		Clear and Grub	2	acers	5,000.00	9,977		x	x	х		
701		Import Fill	7,272	су	35.00	254,520		x	x	х		
702		Proofroll Site	2	acers	2,500.00	4,989		x	Х	Х		
703		Rough Machine Grade	9,658	sy	1.00	9,658		x	x	х		
704		Fine Machine Grade	9,658	sy	2.00	19,316		x	x	х		
705		Paving	0			0	255,740					
706		Heavy Duty Asphalt	0			0						
707		12" Stabilized Subgrade	1,071	sy	16.00	17,136		x	x	х		
708		8" Limerock Base	1,071	sy	35.00	37,485		x	x	х		
709		2" Asphalt Pavement	1,071	sy	40.00	42,840		x	x	х		
710		Light Duty Asphalt	0			0						
711		12" Stabilized Subgrade	775	sy	16.00	12,402		x	x	х		
712		6" Limerock Base	775	sy	25.00	19,378		x	Х	Х		
713		1.5" Asphalt Pavement	775	sy	22.00	17,052		x	х	Х		
714		Concrete Drive	0			0						
715		12" Stabilized Subgrade	850	sy	16.00	13,607		x	x	х		
716		6" Concrete Pavement - 4,000 psi	7,654	sf	0.00	0		x	w/03	w/03		
717		Curbs	0			0						
718		Type D Curb	907	lf	20.00	18,140		x	х	Х		
719		Ribbion Curb	50	lf	30.00	1,500		x	x	х		
720		Sidewalks	0			0						
721		4" Sidewalk	1,500	sf	0.00	0		x	w/03	w/03		
722		Misc. Paving	0			0						
723		Striping	1	ls	2,500.00	2,500		x	x	х		
724		Signage	1	ls	10,000.00	10,000		10,000	x	10,000		
725		Retaining Wall	0			0						
726		4' Retaining Wall	980	sf	65.00	63,700		63,700	63,700	х	63,700	
727	330000	Utilities	0			0						

City of Debary Fire Station 39 City of Debary **DIRECT COST WORKSHEET**

LINE	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor A	Subcontractor 5
	Specification	0	QIT	UNIT	Onit Frice	TUTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
728		Storm Drainage	0			0	97,495					
729		6" PVC	65	lf	25.00	1,625		х	х	х		
730		8"PVC	70	lf	35.00	2,450		X	x	X		
731		18" RCP	320	lf	85.00	27,200		X	x	x		
732		18" HDPE	88	lf	65.00	5,720		X	x	x		
733		18" Mitered End Section	7	ea	4,000.00	28,000		X	x	x		
734		Straight Endwall	1	ea	7,500.00	7,500		x	x	x		
735		Type C Inlet	2	ea	7,500.00	15,000		X	x	x		
736		Dewatering	1	ls	10,000.00	10,000		x	x	10,000		
737		Sanitary Sewer	0			0	92,050		-13180			
738		Lift Station - e-One. Model DH071 1 HP	1	ea	50.000.00	50.000		X	x	50.000		
739		2" Poly-Tubing Sanitary	190	lf	50.00	9.500		X	x	X		
740		4" Sanitary	50	lf	65.00	3.250		X	x	x		
741		Directional Bore	60	lf	250.00	15.000		x	x	x		
741		Cleanouts	2	ea	1 200 00	2 400		x	x	x		
7/2		Clean/Final Sanitary	190	lf	10.00	1 900		x x	x	× ×		
743		Dewatering	130	lc	10,000,00	10,000		× ×	x	10,000		
744		Potable Water Main	0	13	10,000.00	10,000	111.050	^	^	10,000		
745		8" Tanning Sleave	1	63	16,000,00	16,000	111,050	v	v	v		
740		8" v 6" Peducer	1	02	4 000 00	4 000		×	x	×		
747		2" Water Meter	1	02	5,000,00	4,000 E 000		×	×	×		
740		S Water Meter	1		3,000.00	3,000		X	X	X		
749		2" Water Meter	1	ea	20,000.00	20,000		X	X	X		
750		2 Water Meter	1	ea	5,000.00	5,000		X	X	X		
751		Backnow Preventor	1	ea	15,000.00	15,000		X	X	X		
752		2 PVC water Service Line	230	IT	20.00	4,600		X	X	X		
/53		6" PVC Water Service Line	230	IT	35.00	8,050		X	X	X		
754		4" FDC Service Line	220	It	30.00	6,600		X	X	X		
755		Fire Department Connection	2	ea	5,000.00	10,000		X	X	X		
756		lest/Final Potable Water Main	680	lt .	10.00	6,800		X	X	X		
757		Dewatering	1	ls	10,000.00	10,000		10,000	X	10,000		
758		Allowances	0			0						
759		6" Rock Base Parking / Laydown Area	500	sy	12.00	6,000		6,000	6,000	6,000	6,000	
760		MOT	1	ls	10,000.00	10,000		10,000	10,000	10,000	10,000	
761		Downspout connection to Storm	1	ls	7,500.00	7,500		7,500	X	7,500	7,500	
762		TV Testing - If Required	1	ls	2,500.00	2,500		2,500	2,500	2,500	2,500	
763		GPR Locates	1	ls	2,500.00	2,500		2,500	2,500	2,500	2,500	
764		Offsite Restoration	1	ls	10,000.00	10,000		10,000	10,000	10,000	10,000	
765			0	$ \square$		0						
766			0			0						
767		Bond	1,064,153	\$	0.02	21,283	WSI Estimate	20,442	11,515	26,218	29,832	-
768		Adjustment from WSI estimate to subcontractor	1	LS	-42,889.22	(42,889)	1,085,436	1,042,546	1,163,035	1,337,128	1,521,436	-
769								0.02	0.01	0.02	0.02	0.02
770								D & W	Wayne	JCB	Harty Tractor	Father and Son
771												
772		Subtotal - Site earthwork, Utilities & Paving				1,042,546						

City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
		0										
773	323113	Fencing										
774												
775								Subname	Subname	Subname	Subname	
776												
777		FENCING NOT IN CONTRACT	1	ls	0.00	0						
778			0			0						
779			0			0						
780			0			0						
781		Bond	0	\$	0.02	0	WSI Estimate	-	-	-	-	
782		Adjustment from WSI estimate to subcontractor		LS	0.00	0	0	-	-	-	-	
783								0.02	0.02	0.02	0.02	
784								Subname	Subname	Subname	Subname	
785												
786		Subtotal - Fencing				0						
787	329300	Landscaping & Irrigation										
788												
789								CLI	Sterlin Silver	Subname	Subname	
790								56,146	126,076			
791	329300	Landscaping	1	ls	85,000.00	85,000						
792		Sod - Allowance	50,000	sf	0.40	20,000		20,000				
793		Mulch	52	су	55.00	2,840		2,840				
794	328400	Irrigation	0			0						
795			0			0						
796			0			0						
797		Bond	107,840	\$	0.00	0	WSI Estimate	-	2,522	-	-	
798		Adjustment from WSI estimate to subcontractor	1	LS	-28,854.30	(28,854)	107,840	78,985	128,598	-	-	
799								0	0.02	0.02	0.02	
800								CLI	Sterlin Silver	Subname	Subname	
801												
802		Subtotal - Landscaping & Irrigation				78,985						
803		TOTAL DIRECT COST				4,147,048						



City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 3 Alternate No. 1 Details





City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΥ		Unit Price	τοταις	C
	specification	0	QT		Onicifice	TOTALS	
		cell M10 above is used for isolating individual building costs					
0	030000	Cast in place concrete					
1							
2							
3							
<u>з</u> 4		Column Foundations					
5		F1 0 (4'-6" x 4'-6" x 2'-0") (4#5 FW)	1	еа	1 162 98	1 163	
6		F2.0 (4'-6" x 4'-6" x 1'-0") (4#5 EW)	2	ea	840.78	1.682	
7		Continuous Foundations	0			0	
8		2/S-301 (Cont. x 2'-0" x 1'-0") (3#5. #5@12") (Dowels #5@16")	162	lf	70.79	11.478	
9		1/S-301 (Cont. x 3'-0" x 1'-0") (4#5, #5@10") (Dowels #5@16")	254	lf	99.77	25.323	
10		Slab on Grade	0			0	
11		4" SOG (#4 @ 18" EW on 6 MIL VB)	3.067	sf	6.56	20.119	
12		10" SOG (#5 @16" EW on 6 MIL VB)	3.624	sf	12.54	45,445	
13		Miscellaneous Concrete	0	-		0	
14		Termite Treatment	6,691	sf	1.00	6,691	
15		Site Concrete				0	
16		Mechanical Court Yard SOG - 4" SOG (6x6 W2.9 x W2.9 WWF)	281	sf	7.06	1,987	
17		Emergency Generator SOG - 12" SOG (#6 12" OC EW)	398	sf	17.84	7,097	
18		Dumpster SOG - 6" SOG (6x6 W2.9 x W2.9 WWF)	203	sf	9.05	1,836	
19		Transformer SOG - 6" SOG (6x6 W2.9 x W2.9 WWF)	64	sf	9.05	582	
20		6" Concrete Pavement - 4,000 psi	8,929	sf	10.00	89,290	
21		Sidewalks	1,501	sf	5.00	7,505	
22			0			0	
23			0			0	
24		Bond	220,198	\$	0.02	4,404	
25		Adjustment from WSI estimate to subcontractor	1	LS	71,177.82	71,178	
26							
27							
28							
29		Subtotal - Cast in place concrete				295,780	
30	040000	Masonry					
31							
32							
33							
34		Building CMU Block	0			0	
35		8" CMU - #5 @ 16" - 14'	858	sf	30.00	25,746	
36		8" CMU - #5 @ 16" - 18'	1,799	sf	30.00	53,957	
37		12" CMU - #5 @ 16" - 20'	1,277	sf	35.00	44,702	
38		12" CMU - #5 @ 16" - 24'	2,760	sf	35.00	96,600	
39		12" CMU - #5 @ 16" - 28'	1,842	sf	35.00	64,484	
40		Building Lintels	0			0	
41		L1 - 8x8 2#4	33	lf	30.00	976	
42		L2 - 8x16 2#5	45	lf	32.00	1,439	
43		L3 - 12x8 2#4	23	lf	32.00	735	
44		L4 - 12x16 4#5	113	lf	35.00	3,970	
45		Install W-Beam Lintes	6	ea	500.00	3,000	
46		Site CMU Block	0			0	
47		8" CMU - 6' at Dumpster Enclosure and Mechancial Courtyard	902	sf	25.00	22,551	
48		Precast Concrete Cap	105	lf	20.00	2,107	
49		Misc. Masonry	0			0	
50		Install Hollow Metal Door Frames in CMU	6	ea	250.00	1,500	
51			0			0	
52			0			0	
53		Bond	321,766	\$	0.02	6,435	
54		Adjustment from WSI estimate to subcontractor	1	LS	-115,135.81	(115,136)	
55					ļ		
56					ļ		
57							
58		Subtotal - Masonry				213,066	

COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	Toltec	BNG	Leo's	Subname	
	287,165	340,700			
	x	Х			
	X	х			
	X	X			
	X	X			
	Y	Y			
	X	X			
	^	^			
	x	x			
		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~			
	x	x			
	X	x			
	X	х			
	X	Х			
	X	х			
	x	х			
WSI Estimate	8,615	6,814	-	-	
224,602	295,780	347,514	-	-	
	0.03	0.02	0.02	0.02	
	loitec	BNG	Leo's	Subname	
	Toltec	BNG/Stonewall	leo's	Subname	
	203 860	207 199	2005	Subhame	
	200,000	207,200			
	X	X			
	X	X			
	X	х			
	X	х			
	X	х			
	X	X			
	X	х			
	X	х			
	X	X			
	3,000	3,000			
	X	X			
	X	X			
	v	~			
	Λ	۸			
WSI Estimate	6 206	4 204		-	
328.202	213.066	214.403	_	-	
0_0,_02	0.03	0.02	0.02	0.02	
	Toltec	BNG/Stonewall	Leo's	Subname	
552.804	508.846	561.917			

### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	– Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
59	050000	Structural Steel										
60												
61								Fabco	ISI	Fema	Subname	
62								194,945	235,100	293,071		
63		Steel Columns	0		0.000.00	0						
64 CF		F1.0 - HSS 5x5x1/4	0.16	tons	9,000.00	1,434		X	X	X		
65 66		F2.0 - F35 5X5X1/4	0.52	tons	9,000.00	2,000		X	X	X		
67		W12x16	7.54	tons	9.000.00	67.875		x	X	X		
68		W21x44	23.05	tons	9,000.00	207,488		X	X	x		
69		Steel Lintel	0			0						
70		W8x40	2.40	tons	9,000.00	21,600		x	x	X		
71		Steel Joists	0			0						
72		2.5K2	1.29	tons	9,000.00	11,629		X	X	X		
73		Metal Deck - 1 5B, 22ga, 1-1/2" Deen, Galvanized	7 031	cf	5.00	25 157		×	v	v		
74		Perimeter Angle	0	31	5.00	0		^	^	^		
76		L Angle	240	lf	15.00	3,600		x	x	X		
77		Misc. Steel	0			0						
78		Dumpster Gates	2	ea	4,500.00	9,000		x	x	x		
79		Mechanical Courtyard Gates	2	ea	4,500.00	9,000		X	x	x		
80		Mechanical Courtyard Gates - Louver	4	ea	1,000.00	4,000		4,000	4,000	4,000		
81		Allowances	0		F 000 00	<u> </u>		E 000	F 000	F 000		
82			1	IS	5,000.00	5,000		5,000	5,000	5,000		
85 84			0			0						
85		Bond	378.651	Ś	0.02	7.573	WSI Estimate	4.079	4.882	6.041		
86		Adjustment from WSI estimate to subcontractor	1	LS	-178,200.49	(178,200)	386,224	208,024	248,982	308,112	-	
87								0.02	0.02	0.02	0.02	
88								Fabco	ISI	Fema	Subname	
89												
90	062000	Subtotal - Structural Steel				208,024						
91	062000	Finish Carpentry										
92								Cabinet Makers	Rivercraft	Subname	Subname	
94								38,622	46,831	Subname	Bubliance	
95		Millwork										
96		106 Kitchen										
97		PLAM Base Cabinets	12	lf	350.00	4,200		x	x			
98		PLAM Upper Cabinets	14	lf	325.00	4,550		X	X			
99		Quartz Countertop	34	st	120.00	4,080		X	X			
100		PLAW Island Base Cabinets	0	ll cf	350.00	5 160		X	X			
101		Full Height Cabinet	45 2	ea	1.20.00	3,100		x	x			
102		115 Restroom			1,200,000	5,000		A	~			
104		Countertop	6	sf	120.00	720		x	x			
105		PLAM Undersink Panel	3	lf	225.00	675		x	x			
106		116 Restroom										
107		Countertop	6	sf	120.00	720		X	X			
108		PLAM Undersink Panel	3	†  f	225.00	675		X	X			
110		Radio Report	10	11	150.00	1,500 0		X	v	<u> </u>		
110		Countertop	30	sf	120.00	3.600		x	^			
112		Brackets	5	ea	100.00	500		x	x			
113		EMS	0			0			x			
114		Countertop	8	sf	120.00	900		x				
115		Brackets	1	ea	100.00	100		x	x			
116			0			0			x			
117		Dend	0	Ċ		0						
118		BUILD Adjustment from W/SL actimate to subcentractor	33,080	ې ۱۹	0.00		WSI Estimate		-	-	-	
119				LJ	5,542.00	5,542	33,080	38,622	40,831 N	- 0.02		
120								Cabinet Makers	Rivercraft	Subname	Subname	
122												
123		Subtotal - Finish Carpentry				38,622						

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## City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

	Specification	DESCRIPTION	ΟΤΥ		Unit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
LINL	Specification	0	QII	UNIT	Onit Frice	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
124	072100	Foam Insulation										
125												
126								3 860	Subname	Subname	Subname	
127	072119	Foamed-In-Place Insulation						3,000				
129		Injected Masonry Foam Insulation	8,536	sf	0.50	4,268		X				
130			0			0						
131		Bond	4.268	\$	0.00	0	WSI Estimate	-			-	
133		Adjustment from WSI estimate to subcontractor	1	LS	-408.18	(408)	4,268	3,860	-	-	-	
134								0	0.02	0.02	0.02	
135								Southern Foam	Subname	Subname	Subname	
130		Subtotal - Foam Insulation				3,860						
138	072000	Air Barriers										
139												
140								12 000	Subname	Subname	Subname	
142	072726	Fluid Applied Membrane Air Barriers						12,000				
143		Air Barrier behind Stucco	6,435	sf	2.00	12,869		X				
144			0			0						
145		Bond	12.869	\$	0.00	0	WSI Estimate	-	_	-	-	
147		Adjustment from WSI estimate to subcontractor	1	LS	-869.02	(869)	12,869	12,000	-	-	-	
148								0	0.02	0.02	0.02	
149								CF Waterproofing	Subname	Subname	Subname	
150		Subtotal - Air Barriers				12.000						
152	075000	Standing Seem Metal Roofing										
153												
154								Arch. Sheet Metal	Subname	Subname	Subname	
156		Roofing	7,031	sf	32.00	225,006		x				
157		R-25 Rigid Insulation	0			0		x				
158		1/2" Sheating Roof Board	0			0		X				
160		Standing Seem Metal Roof	0			0		X				
161		Soffit Panels	0			0						
162		Metal Soffit	135	sf	32.00	4,330		X				
163		Vertical Panels Standing Seem Vertical Panels	0 563	cf	32.00	18 021		v				
165		Miscellaneous Roofing	0	51	52.00	0						
166		Gutters	131	lf	25.00	3,283		x				
167		Downspouts	74	lf	25.00	1,844		X				
168		Air Infiltration	0	еа	10 000 00	10,000		10.000				
170		Water Penetration	1	ea	10,000.00	10,000		10,000				
171			0			0						
172		Pond	0	ć	0.02	5 450	WSI Estimato	6 454				
174		Adjustment from WSI estimate to subcontractor	1	ې LS	51,220.52	51.221	277.933	329.154	-	-	-	
175					,			0.02	0.02	0.02	0.02	
176								Arch. Sheet Metal	Subname	Subname	Subname	
178		Subtotal - Standing Seem Metal Roofing				329 154						
179	079000	Joint Protection										
180												
181								CF Waterproofing	General Caulk	Subname	Subname	
183	079000	Joint Sealants						10,000	11,373			
184		Exterior Doors	1	ls	2,000.00	2,000		x	x			
185		Exterior Windows	1	ls	2,000.00	2,000		X	2,000			
186 187		Masonry Control Joints	1	IS Is	2,000.00	2,000		X	X 2 000			
188		Sdiewalk to Building	1	ls	2,000.00	2,000		x	x			
189		Sidewalk Expansion Joinst	1	ls	2,000.00	2,000		x	х			
190		Concrete Pavement to Pavement	1	ls	2,000.00	2,000		x	X			
191		Vents and Louvers	1	is Is	2,000.00	2,000		X	2,000 x			
193			0			0						
194			0	4		0						
195		Bond Adjustment from WSL actimate to subcontractor	18,000	Ş	0.00	(2,000)	WSI Estimate	-	-	-	-	
196				LJ	-2,000.00	(2,000)	18,000	0	0	- 0.02	0.02	
198								CF Waterproofing	General Caulk	Subname	Subname	
199												
200		Subtotal - Joint Protection				16,000						

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### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
201	081000	Doors Frames & Hardware										
202	001000											
203								AG Mauro	DH Pace	Subname	Subname	
204								80,161	91,920			
205		Door Leafs										
206		Wood Door Type N - 3070	3	ea	800.00	2,400		x	X			
207		Wood Door Type F - 3070	12	ea	800.00	9,600		X	X			
208		Wood Door Type VV - 3070	1	ea	800.00	800		X	X			
209		Hollow Metal Door Type F - 3070	1	ea	800.00	5 600		X	X			
210		Hollow Metal Door Type N - 3070	Δ	ea	800.00	3 200		x	X			
212		Door Frames	T	cu		3,200		K	A			
213		F1 - Hollow Metal Frame - 3070	16	ea	700.00	11,200		x	x			
214		F1 - Hollow Metal Frame - 6070	1	ea	850.00	850		X	x			
215		F4 - Hollow Metal Frame - 3070 Masonry Head	8	ea	750.00	6,000		x	x			
216		F6 - Hollow Metal Frame - 6070 Masonry Head	1	ea	900.00	900		x	x			
217		Door Hardware										
218		Hardware	28	ea	1,200.00	33,600		X	X			
219		Installation	20	03	350.00	0.800		0.800	v			
220			20	Ca	350.00	9,800		3,800	^			
222			0			0						
223		Bond	84,750	\$	0.00	0	WSI Estimate	-	-	-	-	
224		Adjustment from WSI estimate to subcontractor	1	LS	5,211.00	5,211	84,750	89,961	91,920	-	-	
225								0	0	0.02	0.02	
226								AG Mauro	DH Pace	Subname	Subname	
227							3026.785714					
228	002000	Subtotal - Doors, Frames & Hardware				89,961						
229	083000	Specialty Doors										
230								Elorida Door	American	Overhead Door Co	Subname	
231								95.174	202.731	105.477	Subhame	
233		Overhead Coiling Doors										
234		14'-0" x 14'-0" High Speed Overhead Door	6	ea	35,000.00	210,000		x	x	x		
235			0			0						
236			0			0						
237		Bond	210,000	\$	0.02	4,200	WSI Estimate	-	-	-	-	
238		Adjustment from WSI estimate to subcontractor	1	LS	-119,026.00	(119,026)	214,200	95,174	202,731	105,477	-	
239								U Elorida Door	0 Amorican	U Overhead Deer Ce	0.02	
240									American	Overneau Door Co	Subliante	
241		Subtotal - Specialty Doors				95.174						
243	085000	Windows				,						
244												
245								Diamond	Subname	Subname	Subname	
246								46,000				
247		Exterior Storefront		6	100.00	25.200						
248		SF1 - 14 -U" X 1U -U" WITN SINGLE DOOR	140	ST	180.00	25,200		X	<u> </u>		<u> </u>	
249		SFS-S-4 X 10-0		51	180.00	0,000		X				
250		W1 - 12'-0" x 2'-8"	32	sf	180.00	5 760		x				
252		W2 - 9'-4" x 2'-8"	25	sf	180.00	4,480		x				
253		Interior Glazing	0			0						
254		Door Lite Type - N	7	ea	90.00	630		X				
255		Door Lite Type - FG	1	ea	150.00	150		x				
256			0			0						
257		Scope Questions	0		ļļ	0						
258		Level-E Glazing	0			0		9,000				
259			0			0						
260		Bond	0 חרר רא	Ś	0.00	0	W/SI Estimate	1 100				
262		Adjustment from WSI estimate to subcontractor	42,220	LS	13.880.00	13.880	42.220	56.100	-	-	-	
263			-	-	,200100			0.02	0.02	0.02	0.02	
264								Diamond	Subname	Subname	Subname	
265												
266		Subtotal - Windows				56,100						

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### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	ΟΤΧ		Linit Price	τοταις	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	Specification	0	QII	UNIT	onit Thee	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 5	Subcontractor 4	Subcontractor 5
267	092000	Drywall										
268												
269								Drywall Elements	Kenpat	J & G	Strategic	
270								192,610	215,150			
271		Drywall Partitions										
272		Type C - (1) 5/8" Gyp, 2-1/2" MS, 2" Rigid Insulation	2,520	sf	12.00	30,234		X	X			
273		Type F - (2) 5/8" Gyp., 3-5/8" MS	845	sf	14.00	11,825		X	X			
274		Type F 1HR - (2) 5/8" Gyp., 3-5/8" MS	180	sf	20.00	3,600		X	X			
275		Type G - (4) 5/8" Gyp, 3-5/8" MS, 3" Batt Insulation	3,341	sf	16.00	53,455		X	X			
276		Type G 1HR - (4) 5/8" Gyp, 3-5/8" MS, 3" Batt Insulation	422	sf	20.00	8,445		X	X			
277		Type H - (4) 5/8" Gyp, 6" MS, 6" Insulation	136	sf	18.00	2,448		X	X			
278		Type H 1HR - (4) 5/8" Gyp, 6" MS, 6" Insulation	647	sf	20.00	12,941		X	X			
279		Type I - (2) 5/8" Gyp, 6" MS, 6" Insulation	789	sf	18.00	14,210		X	X			
280		Type I 1HR - (2) 5/8" Gyp, 6" MS, 6" Insulation	181	sf	22.00	3,974		X	X			
281		Type J - (1) 5/8" Gyp, 3/5" MS, 3" Insulation	513	sf	16.00	8,202		X	X			
282		Drywall Ceilings										
283		5/8" Gyp Moisture Resistant @ Restroom	154	sf	12.00	1,843		X	X			
284		5/8" Gyp Ceilings	427	sf	10.00	4,274		X	X			
285		Misc. Drywall	0			0						
286		In-Wall Blocking	0			0		X	X			
287		Install Hollow Metal Frames in Drywall Partitions	0			0		X	X			
288			0			0						
289			0			0						
290		Bond	155,451	Ş	0.02	3,109	WSI Estimate	3,852	3,163	-	-	
291		Adjustment from WSI estimate to subcontractor	1	LS	37,901.69	37,902	158,561	196,462	218,313	-	-	
292								0.02	0.0147	0.02	0.02	
293								Drywall Elements	Kenpat	J&G	Strategic	
294												
295		Subtotal - Drywall				196,462						
296	092100	Stucco										
297												
298								Reyes	Subname	Subname	Subname	
299								37,530				
300		Stucco		6	10.00							
301		Exterior Stucco on Building	6,435	ST	10.00	64,345						
302		Exterior Stucco on Dumpster and Mechanical Enclosure	902	ST	10.00	9,020						
303			0			0						
304		Devel	0	ć.	0.00	0						
305		Bond	/3,366	ې د	0.00	(25.826)	WSI Estimate	-	-	-	-	
306			1	LS	-35,835.50	(35,836)	/3,366	37,530	-	-	-	
30/					+			U	U.UZ	U.UZ	U.UZ	
308					+			пеуез	Sublidifie	Sublidifie	Sublidifie	
210		Subtotal - Stucco				27 520						
211	005000	Acoustical Callings		_		0,000						
212	05000				+							
312								Drywall Elements	Konnat	18.6	Strategic	
31/									15 525	100	Juaregiu	
215		Suspended Acoustic Ceilings						14,550	13,323			
216		$\Delta CT1 = \Delta coustical Callings 2v2 = #1012HDC$	1 067	cf	6 50	10 100		v	v			
217		ACIT - ACOUSTICAL CEITINGS 2YZ - #T2T7LILUC	1,807	31	0.50	12,133		λ	λ			
210			0			0						
210		Rond	10 10 10	ć	0.02	U 	M/SI Estimata	201				
330		Adjustment from W/SL estimate to subcontractor	12,133	ې ۱۲	0.02 2 //6E 11	243 2 // CF	10 276	1/ 0/1	15 752			
221			<u>1</u>	1.5	2,405.11	2,400	12,370	14,841	LD,/D3		-	
222								Drywall Flomonts	V.U147	1.8.6	U.UZ Stratogic	
322					+				Kelipat	ואט	Suategit	
323		Subtotal - Acoustical Ceilings				1/1 0/11						
J24						14,041						

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### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

		DESCRIPTION										
LINE	Specification		QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
325	096000	Flooring		_								
326												
327								Spectra	PK Flooring	Certified	Subname	
328		Tile Flooring						46,524	42,435	63,131		
330		PTF-1 - Porcelain Floor Tile	2,154	sf	12.00	25,848		x	x	x		
331		CTW-1 - Wall Tile - 8'	833	sf	12.00	9,996		x	X	x		
332		Tile Base	104	lf	12.00	1,248		X	X	X		
333		SDT-1	65	sf	35.00	2.275		x	×	x		
335		Electrical Ground Test	1	ls	500.00	500		500	500	500		
336		Resiliant Flooring										
337		Rubber Base	720	lf	3.00	2,160		X	X	X		
338			0			0						
340		Bond	42,027	\$	0.02	841	WSI Estimate	-	-	1,273	-	
341		Adjustment from WSI estimate to subcontractor	1	LS	4,156.46	4,156	42,868	47,024	42,935	64,904	-	
342								0	0 DK Fleering	0.02	0.02	
343 344								Spectra	PK Flooring	Certified	Subname	
345		Subtotal - Flooring				47,024						
346	099000	Painting										
347								Damaana	Sent Email	Caratal	Cuba and	
348 349								68 187	39 750	79 200	Subname	
350		Painting	0			0		00,107	33,730	75,200		
351		Paint Gypsum Walls	10,071	sf	1.50	15,107		x	x	x		
352		Paint Gypsum Ceiling	581	sf	1.50	872		x	x	x		
353		Paint CMU Walls Paint Hollow Metal Doors	5,928	st ea	2.00	11,856		X	X	X		
355		Paint Hollow Metal Door Frames	28	ea	150.00	4,200		x	X	× ×		
356		Paint Exterior	1	ls	12,500.00	12,500		x	x	x		
357												
358		Polished Concrete	4.055	cf	<u> </u>	24.464		× ×	24.464	Y		
360		SC-1 SC-2	208	si	8.50	1.765		x	1.765	x		
361			0			0						
362			0			0						
363		Bond	82,412	\$	0.00	0	WSI Estimate	-	-	-	-	
364				LS	-14,225.30	0	82,412	08,187	0	0	0.02	
366								Percopo	Weston	Coastal	Subname	
367												
368	102000	Subtotal - Painting				82,412						
369	102000	Tollet Partitions & Accessories										
371								Mardale	Streamline	ABS	Subname	
372								3,230	2,052	4,200		
373		Toilet Accessories			275.00	4.425						
374		A1 - Wall Mirror A4 - Toilet Tissue dispenser - Double Roll	3	ea ea	375.00	300		x	X	x		
376		A7 - 36" Grab Bar	1	ea	125.00	125		x	x	x		
377		A8 - 42" Grab Bar	1	ea	135.00	135		x	x	х		
378		A11 - Baby Changing Station	1	ea	900.00	900		X	X	X		
379		F10 - Utility Shelf	1	ea ea	500.00	500		x	x 500	x		
381			0	cu	300.00	0		~		~		
382			0			0						
383		Bond	3,285	\$	0.00	0	WSI Estimate	-	-	-	-	
384 385			1	LS	-55.00	(55)	3,285	0	0	4,200	0.02	
386								Mardale	Streamline	ABS	Subname	
387												
388	104000	Subtotal - Toilet Partitions & Accessories				3,230						
389 390	104000											
391								Subname	Subname	Subname	Subname	
392												
393		Flag Poles										
394 395		25 Flag Pole - Not in Contract		ea	0.00	0						
396			0			0						
397		Bond	0	\$	0.02	0	WSI Estimate	-	-	-	-	
398		Adjustment from WSI estimate to subcontractor		LS	0.00	0	0	-	-	-	-	
399 400	 							0.02 Subname	0.02 Subname	U.U2 Subname	0.02 Subname	
401	<u> </u>							Justianic	Jushame	Jubrianie	Justiditie	

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## City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
		0										
402		Subtotal - Exterior Specialties				0						
403	105000	Identifying Devices										
404								Environmontal Granhi	Subnama	Subnamo	Subnamo	
405									Subliante	Subliditie	Subliditie	
407		Signage						3,471				
408		Room Signs	30	) ea	150.00	4,500						
409			C	)		0						
410			C	)		0						
411		Bond	4,500	\$	0.00	0	WSI Estimate	-	-	-	-	
412		Adjustment from WSI estimate to subcontractor	1	. LS	-1,029.00	(1,029)	4,500	3,4/1	-	-	-	
415 414								Environmental Graphic	Subname	Subname	Subname	
415												
416		Subtotal - Identifying Devices				3,471						
417	106000	Lockers										
418												
419								Subname	Subname	Subname	Subname	
420												
422		Bunker Gear Locker - Not in Contract	12	ea	0.00	0						
423			0	)		0						
424			C	)		0						
425		Bond	C	\$	0.02	0	WSI Estimate		-	-	-	
426		Adjustment from WSI estimate to subcontractor		LS	0.00	0	0	-	-	-	-	
427								0.02 Subname	U.U2 Subnamo	U.U2 Subnamo	U.U2 Subnamo	
420								Subliance	Jubilatile	Jubildille	Jubilanie	
430		Subtotal - Lockers				0						
431	107000	Fire Extinguishers										
432												
433								Mardale	Streamline	ABS	Subname	
434								2,916	3,753	3,400		
435		Fire Extinguishers		2 02	125.00	1 000			v	v		
430		Fire Extinguisher Wall Mounts			125.00	1,000		<b>^</b>	^	^		
438		Wall Mount	4	ea	45.00	180		X	x	x		
439		Fire Extinguisher Cabinets										
440		Wall Cabinets	4	ea	375.00	1,500		X	X	x		
441		Knox Boxes			500.00	500			500	500		
442		Knox Lock Box	1	ea	500.00	500		500	500	500		
443 444				)		0						
445		Bond	3,180	, ) \$	0.00	0	WSI Estimate	-	-	-	-	
446		Adjustment from WSI estimate to subcontractor	1	. LS	236.00	236	3,180	3,416	4,253	3,900	-	
447								0	0	0	0.02	
448								Mardale	Streamline	ABS	Subname	
449		Subtotal - Fire Extinguishers				3 416						
451	108000	Protective Covers				5,410						
452												
453								Perfection	Dittmer	Subname	Subname	
454								64,750	78,800			
455		Canopies Dro Engineered Metal Canopy	400	l cf	200.00	00 500	1					
456		Pre-Engineered Metal Canopy	433	n Sf	200.00	86,528		X	X			
458				)		0			<u> </u>			
459		Bond	86,528	\$	0.00	0	WSI Estimate	-	-	-	-	
460		Adjustment from WSI estimate to subcontractor	1	LS	-21,778.00	(21,778)	86,528	64,750	78,800	-	-	
461								0	0	0.02	0.02	
462							1	Perfection	Dittmer	Subname	Subname	
463		Subtotal - Protective Covers				64.750						
465	210000	Fire Sprinklers				04,750						
466												
467								Titan Fire	Southern Fire	Subname	Subname	
468								27,900	41,000			
469		Fire Protection System	6,682	2 sf	5.00	33,410	1	X	X			
470				) )		0			<u> </u>			
472		Bond	33 Δ10	, ) \$	0.00	0	WSI Estimate		-	-	-	
473		Adjustment from WSI estimate to subcontractor	1	LS	-5,510.00	(5,510)	33,410	27,900	41,000	-	-	
474								0	0	0.02	0.02	
475								Titan Fire	Southern Fire	Subname	Subname	
476		Subtotal Fire Sprinklers				27.000						
4//		שטונטנמי - רווב סטוווגופוג				27,900						

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### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
478	220000	Plumbing										
479												
480								Paramount	Heichel	Tharp	Subname	
481								183,275	241,073	382,760		
482		Plumbing - SF	6,682			0						
483		Piping	0			0						
484		Trench Drain	93	lf	350.00	32,550		32,550	x	x		
485		Cold Water	0			0						
486		1/2" DCW	68	lf	35.00	2,380		X	x	x		
487		3/4" DCW	85	lf	40.00	3,400		X	x	x		
488		1" DCW	127	lf	45.00	5,715		X	x	x		
489		1-1/4" DCW	43	lf	50.00	2,150		X	х	x		
490		1-1/2" DCW	55	lf	55.00	3,025		X	х	x		
491		2" DCW	27	lf	65.00	1,755		X	x	X		
492		Hot Water	0			0						
493		1/2" DHW	47	lf	35.00	1,645		X	x	X		
494		3/4' DHW	56	lf	40.00	2,240		X	X	X		
495		1" DHW	82	lf	45.00	3,690		X	X	X		
496		1-1/4" DHW	30	lf	50.00	1,500		X	X	X		
497		1-1/2" DHW	23	If	55.00	1,265		X	X	X		
498		Sanitary	0	16	07.00	0						
499		1-1/4" SAN	7	lf	37.00	259		X	X	X		
500		1-1/2" SAN	18	IT IC	40.00	/20		X	X	X		
501		2" SAN	4	IT IC	45.00	180		X	X	X		
502		3" SAN	96	IT بد	50.00	4,800		X	X	X		
503		4 SAN	188	II If	55.00	10,340		X	X	X		
504			00	II If	25.00	500		Y	×	Y		
505		1-1/2 VIR 2" \/TP	20	II If	25.00	1 200		X	X	X		
500		2 VIN Storm	40		30.00	1,200		Χ	X	Χ		
508		3" ST	18	lf	50.00	900		Y	Y	Y		
500		Plumbing Fixtures	10		50.00	0		X	X	K		
510		WC - Water Closet	3	еа	5.000.00	15.000		x	x	x		
511		L-1 - Lavatory	2	ea	3.500.00	7.000		X	X	X		
512		L-2 - Lavatory	1	ea	3.500.00	3.500		X	x	X		
513		S-1 - Sink Double	1	ea	4,500.00	4,500		X	x	X		
514		JS-1 - Janitor Sink	1	ea	5,000.00	5,000		X	x	x		
515		WB-1 - Washer Box	1	ea	2,000.00	2,000		X	x	x		
516		EWC-1 - Electric Water Cooler	1	ea	10,000.00	10,000		X	x	x		
517		SH-1 - Shower	2	ea	6,500.00	13,000		X	x	X		
518		ESEW-1 - Emergency Shower/Eyewash	1	ea	8,000.00	8,000		x	x	x		
519		EWH-1 - Electric Water Heater	1	ea	10,000.00	10,000		x	x	x		
520		Tanks	0			0						
521		Oil/Sand Interceptor - 400 Gallon	1	ea	40,000.00	40,000		X	x	x		
522		Alternates - ADDS	0			0						
523		Trench Drain	47	LF	350.00	16,450		16,450	x	X		
524		3/4" DCW	47	LF	40.00	1,880		X	x	x		
525		4" SAN	29	LF	55.00	1,595		X	x	X		
526			0			0						
527			0	4		0						
528		Bond	218,139	Ş	0.02	4,363	WSI Estimate	5,807	4,821	7,655	-	
529		Adjustment from WSI estimate to subcontractor	1	LS	15,580.10	15,580	222,502	238,082	245,894	390,415	-	
530								0.025	0.02	0.02	0.02	
531								Paramount	Heichel	Tharp	Subname	
532												
533		Subtotal - Plumbing				238,082						

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### City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
534	230000	HVAC										
535												Controls
536								Energy Air	CT mech	Cor3		ABC
537								401,400	405,640	526,540		40,790
538		HVAC - SF	6,682		20.00	133,640						
539		HVAC Equipment	0			0						
540		Ductless Split System - Mitsubishi PKA-A12HA - 370 CFM	2	ea	15,000.00	30,000		X	X	X		
541		Split System AHU - Trane - 600, 900 and 850 CFM	3	еа	15,000.00	45,000		X	X	X		
542		Dedicated Outside Air Split Systems - 1275 CFM	1	ea	20,000.00	20,000		X	X	X		
543		Exildust Falls	9	ea op	2,500.00	22,500		X	X	X		
544		Kitchen Hood - 500 CEM	1	ea	8 500 00	8 500		Y	×	Y		
546			9	ea	1.000.00	9.000		x	~	× ×		
547		HVAC Duct Work	0			0				~		
548		Supply	988	lbs	18.00	17,784		x	x	х		
549		Return	657	lbs	18.00	11,826		x	x	х		
550		Exhaust	754	lbs	18.00	13,572		x	X	х		
551		HVAC Refrigerant Piping	0			0						
552		Return	100	lf	85.00	8,500		x	X	X		
553		Supply	100	lf	85.00	8,500		x	X	х		
554		HVAC Controls	6,682	sf	7.50	50,115		x	X	X		X
555		HVAC Test and Balance	6,682	sf	2.00	13,364		X	13,364	X		
556			0	6	45.00	0						
557		Interior HVAC Concrete Pads - 4"	35	ST	15.00	525		525	525	525		
558			0			0						
559		Bond	/15 326	ć	0.02	8 307	W/SI Estimate	/ 019	6 293	10 5/11		816
561		Adjustment from WSI estimate to subcontractor	415,520	ې ۱۹	-17 688 27	0	423 633	405 944	425 822	537 606		41 606
562				1.5	17,000.27		+23,033	0.01	0.015	0.02		0.02
563								Energy Air	CT mech	Cor3		ABC
564												
565		Subtotal - HVAC				423,633						
566	260000	Electrical										
567											Lightning Protection	
568								United Electrical	Boys Electric	Giles	NCS	
569								716,223	715,000	964,320	16,735	
570		Electrical - SF	6,682		120.00	801,840						
571		Conduit	0			0						
572		1" Underground Conduit	825			0		X	X	X		
5/3		4 Underground Conduit	843	LF		0		X	X	X		
574		ATS - Automatic Transfer Switch - 120/240V/ 3 Phase 1000 AMPS	0	E۸		0		v	v	×		
576		CT Cabinet - $120/240V$ , 3 Phase 1000 AMPS	1	FΔ		0		x	X	X		
577		FACP - Fire Alarm Control Panel	1	EA		0		x	X	x		
578		HWRP - Hot Water Return Panel	1	EA		0		x	X	X		
579		INV-1 - Lighting Inverter Panel - 120/240V, 1 Phase, 30 AMPS	1	EA		0		x	x	х		
580		LCP - Lighting Control Panel	1	EA		0		x	X	X		
581		LP-1 Panel - 120/240V, 1 Phase, 700 AMPS	1	EA		0		x	X	х		
582		MDP - Main Distribution Panel - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		x	x	x		
583		MP - Main Panel - 120/240V, 3 Phase, 125 AMPS	1	EA		0		x	х	X		
584		Utility Meter - 120/240V, 3 Phase, 1000 AMPS	1	EA		0		x	X	х		
585			0			0						
586		Electrical Devices	0			0		X	X	X		
643		Lighting Eivtures	0			0						
644			0			0		X	X	X		
662	<u> </u>	Low Voltage	0			0						
664		Coduit and Back Boxes	0			0		¥	×	¥		
665		Fire Alarm - Full System	0			0		x	X	X		
666		BDA - Bi-Directional Amplifier System - Full System	0			0		46.800	55.000	X		
667		Lightning Protection	0			0		x	X	~		
668			0			0						
669		Directinonal Bore	0			0		x	X	x		
670		Generator	0			0		x	x	х		
671		Temporary Lighting	0			0		x	X	x		

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# City of Debary Fire Station 39 City of Debary **DIRECT COST WORKSHEET**

	Specification	DESCRIPTION			Unit Price	τοταις
	Specification	0	QT		Onit Frice	TOTALS
672		Alternate ADDS	2	EA		0
673		Control and/or Power Equip. Connection	2	EA		0
674		Disconnect Switch	4	EA		0
675		Duplex Receptacle, Flush Ceiling Outlet Box	2	EA		0
6/6		GFI Duplex Receptable Magnetic Motor Starter or Contactor	3	EA		0
678		Motor	2	FΔ		0
679		RH - Red Heating	2	EA		0
680		Type C LED High-Bay Light Fixture, 120V, 88.1W	3	EA		0
681		Type M Exterior LED Wall Pack, 120V, 38.4W	2	EA		0
682		Type N2 4' LED Linear Fixture, 120V, 28.3W	12	EA		0
683			0			0
684			0			0
685		Bond	801,840	Ş	0.02	16,037
686		Adjustment from WSI estimate to subcontractor	1	LS	-44,171.48	(44,171)
688						
689						
690		Subtotal - Electrical				773,705
691	310000	Site earthwork, Utilities & Paving				
692						
693						
694	040000				ļ	
695	310000	Larthwork				
696 607	<u> </u>	General Conditions	0			0
697		Mobilization	1	ls	25,000,00	25.000
699		Layout and As-Builts	1	ls	40.000.00	40.000
700		Density Test		ls	10,000.00	10,000
701		Dewatering	1	ls	25,000.00	25,000
702		Erosion Control	0			0
703		Silt Fence	1,279	lf	2.00	2,558
704		Silt Fence Maintenance	12	mo	900.00	10,800
705		Construction Entrance	1	ea	5,500.00	5,500
706		Construction Entrance Maintenance	12	mo	2,000.00	24,000
707		SWPPP Permit		mo	500.00	2,300
709		Site Prep and Grading	0		500.00	0
710		Demo Existing Fence	350	lf	10.00	3,500
711		Demo Trees	150	ea	100.00	15,000
712		Clear and Grub	2	acers	5,000.00	9,977
713		Import Fill	6,060	су	30.00	181,800
714		Proofroll Site	2	acers	2,500.00	4,989
715		Kough Machine Grade	9,658	sy	1.00	9,658
/16 717		Fine Machine Grade	9,658	sy	2.00	19,316
717		Heavy Duty Asphalt	0			0
719		12" Stabilized Subgrade	1.071	sv	16.00	17.136
720		8" Limerock Base	1,071	sy	35.00	37,485
721		2" Asphalt Pavement	1,071	sy	40.00	42,840
722		Light Duty Asphalt	0			0
723		12" Stabilized Subgrade	775	sy	16.00	12,402
724		6" Limerock Base	775	sy	25.00	19,378
725	<u> </u>	L.5" Aspnait Pavement	775	sy	22.00	17,052
/26 727	<u> </u>	12" Stabilized Subgrade	002	s\/	16.00	U 1E 074
727 728			992	зу	10.00	
729		Type D Curb	907	lf	20.00	18.140
730		Ribbion Curb	50	lf	20.00	1,000
731		Sidewalks	0			0
732		4" Sidewalk	1,500	sf	5.50	8,250
733		Misc. Paving	0			0
734		Striping	1	ls	2,500.00	2,500
735	<u> </u>	Signage	1	ls	10,000.00	10,000
736		Ketaining Wall	0	cf		0
/3/ 720	330000		980	51	65.00	03,/00
730 739	550000	Storm Drainage				0
740	<u> </u>	18" RCP	320	lf	85.00	27 200
741		18" HDPE	88	 If	65.00	5.720
742		18" Mitered End Section	7	ea	4,000.00	28,000
743		Type C Inlet	2	ea	7,500.00	15,000
744		Dewatering	1	ls	10,000.00	10,000

COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
	x	х	x		
	X	X	X		
	X	X	X		
	X	X	X		
	X	X	X		
	X	X	X		
	X	X	×		
	x	x	x		
	X	X	X X		
	^	~	X		
WSI Estimate	10.682	11.550	11.572	-	
817.877	773,705	781.550	975.892	16.735	
	0.01	0.02	0.01	-	
	United Electrical	Boys Electric	Giles	NCS	
	Sent Email				
	D & W	Wayne	JCB	Harty Tractor	Father and Son
	890,874	1,078,911	1,112,610	1,389,404	
100,000					
	X	Х	x		
	X	х	x		
	X	x	10,000		
	Х	Х	25,000		
42,858					
	Х	Х	x		
	X	х	10,800		
	X	X	X		
	24,000	Х	24,000		
	X	Х			
	X	Х			
244,239					
	X	Х	x		
	X	X	x		
	X	X	X		
	X	X	x		
	X	X	x		
	X	X	x		
	X	X	X		
265,757					
I					
I	X	X	X		
I	X	X	X		
	X	X	X		
	X	X	X		
	X	X	X		
	X	Å	X		
	v				
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	×	Y	Y		
	x	x	x		
	A	^	~		
	w/03	w/03	w/03		
	, 00	, 00	,		
	X	X	x		
	10.000	X	10.000		
	63.700	63.700	63.700	63.700	
	-,	-,		-,	
85,920					
	X	X	X		
	X	х	x		
	X	X	x		
	X	Х	x		
	X	х	10,000		

## City of Debary Fire Station 39 City of Debary DIRECT COST WORKSHEET

LINE	Specification	DESCRIPTION	QTY	UNIT	Unit Price	TOTALS	COMMENTS	Subcontractor 1	Subcontractor 2	Subcontractor 3	Subcontractor 4	Subcontractor 5
745		Sanitary Sewer	0			0	92,050		-13180			
746		Lift Station - e-One, Model DH071 1 HP	1 e	а	50,000.00	50,000		X	X	X		
747		2" Poly-Tubing Sanitary	190  lf	:	50.00	9,500		X	x	X		
748		4" Sanitary	50 lf	:	65.00	3,250		x	x	x		
749		Directional Bore	60 lf		250.00	15,000		X	X	X		
750		Cleanouts	2 e	a	1,200.00	2,400		X 1.000	X	X		
751		Dewatering	190   1		10.00	1,900		1,900	X	X 10.000		
752		Potable Water Main	0	>	10,000.00	10,000	111.050	X	X	10,000		
754		8" Tapping Sleave	1 e	а	16.000.00	16.000		X	X	X		
755		8" x 6" Reducer	1 e	a	4,000.00	4,000		x	X	X		
756		3" Water Meter	1 e	a	5,000.00	5,000		X	X	X		
757		Double Detector Check Assembly	1 e	a	20,000.00	20,000		X	X	X		
758		2" Water Meter	1 e	а	5,000.00	5,000		x	x	X		
759		Backflow Preventor	1 e	a	15,000.00	15,000		X	X	X		
760		2" PVC Water Service Line	230 lf		20.00	4,600		X	X	X		
761		d" FDC Service Line	230 II 220 If	:	30.00	6,050		X	X	X		
762		Fire Department Connection	220 II 2 P	а	5.000.00	10.000		X	x	×		
764		Test/Final Potable Water Main	680 lf	:	10.00	6,800		x	X	X		
765		Dewatering	1 1	5	10,000.00	10,000		10,000	X	10,000		
766		Allowances	0			0						
767		6" Rock Base Parking / Laydown Area	500 s [.]	y	12.00	6,000		6,000	6,000	6,000	6,000	
768		MOT	1 Is	5	10,000.00	10,000		10,000	10,000	10,000	10,000	
769		Downspout connection to Storm	1 1	5	7,500.00	7,500		7,500	X	7,500	7,500	
770		TV Testing - If Required	1  5	5	2,500.00	2,500		2,500	2,500	2,500	2,500	
//1		GPR Locates	1 15	5	10,000.00	10,000		10,000	10,000	10,000	10,000	
773			0			0						
774		Bond	982.374 \$		0.02	19.647	WSI Estimate	20.729	23.159	26.442	29.782	-
775		Adjustment from WSI estimate to subcontractor	1 L	S	55,182.08	55,182	1,002,022	1,057,204	1,181,090	1,348,552	1,518,886	-
776								0.02	0.02	0.02	0.02	0.02
777								D & W	Wayne	JCB	Harty Tractor	Father and Son
778												
779		Subtotal - Site earthwork, Utilities & Paving				1,057,204						
780	323113	Fencing										
782								Subname	Subname	Subname	Subname	
783								Sublidine	Sublidine	Subhame	Subliance	
784		FENCING NOT IN CONTRACT	1 15	5	0.00	0						
785			0			0						
786			0			0						
787			0			0						
788		Bond	0\$		0.02	0	WSI Estimate	-	-	-	-	
789		Adjustment from WSI estimate to subcontractor	L	5	0.00	0	0	-	-	-	-	
790								0.02 Subname	0.02 Subname	0.02 Subname	0.02 Subname	
792								Sashane	Justiditie	Sushame	Sashanic	
793		Subtotal - Fencing				0						
794	329300	Landscaping & Irrigation										
795												
796								CLI	Sterlin Silver	Subname	Subname	
797	220200	Landcooping			05 000 00	05.000		56,146	126,076			
798	329300		1 IS	5 F	85,000.00	20,000		20,000				
800		Mulch	50,000 S	v	55 00	20,000		20,000				
801	328400	Irrigation	0	1	55.00	0		2,040				
802			0			0						
803			0			0						
804		Bond	107,840 \$		0.02	2,157	WSI Estimate	-	-	-	-	
805		Adjustment from WSI estimate to subcontractor	1 L	S	-31,011.09	(31,011)	109,996	78,985	126,076	-	-	
806								0		0.02	0.02	
807								CLI	Sterlin Silver	Subname	Subname	
808 809		Subtotal - Landscaping & Irrigation				78 985						
810						70,000						
		TOTAL DIRECT COST				4,410,386						

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City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 4 Value Engineering



Value Engineering	2-Bay	3-Bay
2-Bay - Alternate Standing Seem Metal Roof Manufacturer	-64,770	
3-Bay - Alternate Standing Seem Metal Roof Manufacturer		-79,866
Level-D Glazing in lieu of Level-E	-9,000	-9,000
Sealed Concrete in lieu of Polished Concrete		
Alternate Light Fixture Package	-22,275	-22,275
Non-Epoxy Grout in lieu of Epoxy Grout	-4,500	-4,500
Sealed Concrete in lieu of Polsihed Concrete	-16,700	-16,700
Remove Roof Testing (Required by Specifications)	-20,000	-20,000
Remove Vertical Wall Panels	-9,700	-9,700
	-146,945	-162,041

Voluntary Add Alternates			
Design Contingency	3.00%	128,979	136,879


City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 5 Assumptions and Clarifications



Assumptions & Clarifications

#### 01 – General

- 1. The estimate is based on drawings produced by Neel-Schaffer dated 10/14/2022 with red line mark-ups provided by Richard Villasenor.
- 2. The estimate does not include the cost of permit fees. These are assumed to be by Owner.
- 3. The estimate does not include the cost of Architect or Engineer design fees. These are assumed to be by Owner.
- 4. The estimate is based on a 12-month long schedule with receiving Notice-to-Proceed May 28, 2024. Failing to receive Notice-to-Proceed by this date can cause unanticipated material escalations.
- 5. The estimate does not include material escalation costs.

#### 03 – Concrete

6. Detail 7/S301 does not show the dimensions of the trench drain required in the apparatus bays. These dimensions have been assumed until further clarification.

#### 04 – Masonry

7. Lintel L5 is included as precast per detail 8/S302.

#### 05 – Steel

8. Structural steel is included per plans and specs.

#### 06 – Millwork

9. Millwork is included per plans and specs.

#### 07 – Waterproofing

- 10. Fluid applied air barriers are included per plans and specs.
- 11. Joint protection is included per plans and specs.

#### 07 – Roofing

12. Roofing is included per plans and specs.

#### 08 – Doors, Frames and Hardware

13. Door number 127A is listed in the door schedule as door type "VV". Door type "VV" is not listed as one of the door types. This door has been included as door type "F".

#### 08 – Overhead Doors

14. The Basis of Design Model 3208 Heavy Duty Door by Clopay is not Florida Product Approved. The estimate included Model 3728 by Clopay.

#### City of Debary Fire Station No. 39

#### Assumptions & Clarifications

#### 08 – Glass and Glazing

15. There is conflicting information within the drawings regarding whether Level-D or Level-E glazing is required. The estimate includes Level-E glazing.

#### 09 – Drywall

16. Drywall is included per plans and specs.

#### 09 – Stucco

17. Stucco is included per plans and specs.

#### 09 – Acoustical Ceilings

18. Acoustical ceilings are included per plans and specs.

#### 09 – Flooring

- 19. PTW-2 is listed as a wall finish in the Finish Schedule for rooms: 103, 115 and 116. PTW-2 is not included on the Interior Finish Legend. PTW-2 is not included in the Estimate.
- 20. Waterproofing for tiles is only included at the shower floor and walls.
- 21. SC-2 is listed as a floor finish in the Finish Schedule for rooms: 107 and 109. SC-2 is not included on the Interior Finish Legend. SC-2 is included as SC-1.

#### 09 – Painting

22. Painting is included per plans and specs.

#### 10 – Specialties

- 23. Shower curtains are not shown in the drawings. Shower curtains are not included in the Estimate.
- 24. Model numbers have not been provided for the toilet accessories listed on Restroom Keynotes. The estimate includes toilet accessories by ASI.
- 25. Corner guards are listed in the specifications, but corner guards are not shown on the drawings. The estimate does not include any corner guards.
- 26. Flag Poles are not included in the Estimate per the Red-Line Mark-ups included within the drawings.
- 27. Lockers are not included in the Estimate per the Red-Line Mark-ups included within the drawings.

#### 10 - Canopies

28. Overhead canopies are included per plans and specs.

#### 21 – Fire Protection

Assumptions & Clarifications

- 29. The Estimate includes upright fire sprinklers on exposed piping in areas with no finished ceilings.
- 30. The Estimate includes pendent fire sprinklers on concealed piping in areas with finished ceilings.

#### 22 – Plumbing

31. No specification or detail was provided for the trench drains within the apparatus bays. An allowance has been included for the trench drains.

#### 23 – HVAC

32. The Estimate does not include cleaning of new ductwork.

#### 26 – Electrical

- 33. The Estimate does not include any Low Voltage systems other than Fire Alarm.
- 34. The Estimate includes Building Distributed Antenna System. An evaluation test plan for BDA has also been included.
- 35. Arc fault breakers are not included as they are not called for.
- 36. Ground fault breakers are not available for panel LP1 due to its ampacity, the estimate includes wall box mounted GFCI's for the circuits noted as requiring GFCI protection.
- 37. Utility primary conduits and cabling are not included.

#### 31 – Sitework

- 38. The removal of unforeseen unsuitable materials is not included in the Estimate.
- 39. The removal or relocation of existing overhead power lines is not included in the Estimate.
- 40. Any offsite restoration that is required is included as an allowance as this work is shown as red-line mark-ups and no other information is provided.

#### 32 – Fencing

41. The Estimate does not include Fencing per Red-Line Mark-ups included within the drawings.

#### 32 – Landscaping

42. Landscaping is included per plans and specs.



City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 6 Preliminary Project Schedule





### City Of Debary - Fire Station #39 Preliminary Construction Schedule

Activi	ity ID	Activity Name	Orig	Rem	Start	Finish				2024										202	5					
			Dur	Dur			Mar	Apr	May Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan F	eb M	ar Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
	City of Debary	y FS 39-Precon										1 1 1	-     													
	PRECONST	RUCTION ACTIVITES																							1	
	A1010	Advertise For Bids	0	0	11-Mar-24 A		Adve	ertise For	Bids																	
	A1020	Subcontractor Bidding	10	0	11-Mar-24 A	03-Apr-24 A		Subcc	ontractor Bidding		1 1 1	i     	-     													
	A1060	Bid Date	1	0	03-Apr-24 A	03-Apr-24 A		I Bid Da	ate																	
	A1070	Prepare GMP Packages	10	0	03-Apr-24 A	12-Apr-24 A		🗖 Pre	epare GMP Packaç	jes																
	A1080	Submit GMP	3	3	12-Apr-24	16-Apr-24		<b>S</b>	ubmit GMP		1 1 1	1 1 1	1 1 1										1 1 1		1	
	A1090	GMP Council Review & Approval	30	30	17-Apr-24	28-May-24			GMP	Council Rev	iew & Appr	oval	1													
	A1110	Notice to Proceed	0	0		28-May-24			Notice	to Proceed			, , , ,										-     			
	A1100	Subcontractor Award	5	5	29-May-24	04-Jun-24			📮 Sub	contractor A	ward	   	   										1 1 1		1 1 1	
	A1160	Review and Issue Permit	30	30	29-May-24	09-Jul-24				Rev	iew and Iss	ue Permit	 ! !	     								· -			     	
	A1120	Submittal Review - Long Lead Items	5	5	05-Jun-24	11-Jun-24			🗖 S	ubmittal Rev	view - Long	Lead Iter	ns													
	A1130	Submittal Review	10	10	05-Jun-24	18-Jun-24		1 1 1 1		Submittal F	Review	1 1 1	1 1 1										1 1 1			
	A1140	Material Procurement - Long Lead Items	200	200	12-Jun-24	18-Mar-25					<u> </u> 	!	1					Material	Procuremer	nt - Long L	ead Items			1		
	A1150	Material Procurement	30	30	19-Jun-24	30-Jul-24	-				Material	Procurem	ient												1	
	CONSTRUC	TION ACTIVITIES				1				· i																
	SITEWORK A	ACTIVITES																								
	SW 1000	Moblization	0	0	31-Jul-24						Moblizat	tion														
	SW 1010	SWPPP Protection & Tree Protection	3	3	31-Jul-24	02-Aug-24	-				SWPP	P Protection	n & Tree	Protection	n								1 1 1		1 1 1	
	SW 1020	Temporary Fencing	2	2	31-Jul-24	01-Aug-24	_				I Tempor	ary Fenci	ng													
	SW 1030	Clearing & Grubbing	10	10	05-Aug-24	16-Aug-24					E Cle	aring & G	rubbing													
	SW 1090	Excavate Retention Pond	4	4	19-Aug-24	22-Aug-24	-					±xcavate F	Retention	Pond									1 1 1		1	
	SW 1380	Retaining Wall	10	10	23-Aug-24	05-Sep-24	-					Retair	ning Wall													
	SW 1050	Fill & Rough Grade Site	10	10	06-Sep-24	19-Sep-24	-					📕 F	II & Roug	h Grade S	Site								   		1	
	SW 1040	Stormwater Piping	7	7	20-Sep-24	30-Sep-24	-	1 1 1 1					Stormw	ater Pipin	g											
	SW 1110	Underground Electrical Primary Conduit	3	3	20-Sep-24	24-Sep-24			 	·			Undergro	und Electi	rical Primary	Conduit					- +		 			
	SW 1120	Compact Sub Grade	3	3	20-Sep-24	24-Sep-24	-						Compact	Sub Grad	le								   		1	
	SW 1060	Building Pad Construction	3	3	25-Sep-24	27-Sep-24	-						Building	Pad Cons	truction											
	SW 1250	Pull Primary Electrical Cable	2	2	25-Sep-24	26-Sep-24	-					0	Pull Prim	ary Electri	ical Cable											
	SW 1270	Set Transformer	2	2	27-Sep-24	30-Sep-24	-						Set Tra	nsformer												
	SW 1160	Underground Refrigerant Piping	2	2	30-Sep-24	01-Oct-24				·			Underg	round Re	frigerant Pip	ping										
	SW 1070	Underground Sanitary Rough-In	7	7	14-Oct-24	22-Oct-24	_							Undergro	und Sanitary	Rough-In										
	SW 1080	Underground Domestic Water & Fire Servi	5	5	14-Oct-24	18-Oct-24	-					1 1 1	<b>U</b>	ndergrour	nd Domestic	Water & Fire	Service I	Rough-In								
	SW 1350	Water Meter Set & Backflow	2	2	21-Oct-24	22-Oct-24	-					     	0 '	Water Me	ter Set & Ba	ickflow		-								
	SW 1360	FDC Connections	2	2	23-Oct-24	24-Oct-24	-						0	FDC Con	nections								1 1 1	1 1		
	SW 1370	Sanitary Lift Station	5	5	23-Oct-24	29-Oct-24								Sanitary	Lift Station								 	 		
	SW 1220	Dumpster & Mechanical Yard Pads	4	4	11-Nov-24	14-Nov-24	_							Du	impster & M	echanical Yar	l Pads								1	
																	1									<u> </u>
	Actual Work	Critical Remaining Work								Page 1	of 4					Layout: S	chedule F	resentation	Layout						-	
	Remaining Wo	ork								5						TASK filte	r: All Acti	vities								

#### Project ID: 24-031-B/L Data Date: 12-Apr-24

Activity ID	I	Activity Name	Orig	Rem	Start	Finish				20	024					Ī	-				2	)25					
			Dur	Dur			Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May Jur		Jul Au	g Ser	00	t Nov	Dec
	SW 1390	Generator Slab	4	4	11-Nov-24	14-Nov-24	_			1		1 1 1			🛛 Ger	nerator Sla	ab			1			1				
	SW 1300	Set Generator & Test	5	5	15-Nov-24	21-Nov-24	_									et Genera	tor & Tes	ť									
	SW 1400	Dumpster and Mechanical Yard Masonry	3	3	02-Dec-24	04-Dec-24			, , , ,			¦ 				Dumps	ter and N	lechanica	Yard Mas	onry							
	SW 1230	Dumpster Gates	2	2	05-Dec-24	06-Dec-24										Dumps	ster Gates	s									
	SW 1150	Light Duty Asphalt Pavement	2	2	11-Feb-25	12-Feb-25			1 1 1	1 1 1		1 1 1				1		🛛 Lig	ht Duty As	phalt Pave	ement						
	SW 1310	Heavy Duty Asphalt Pavement	3	3	11-Feb-25	13-Feb-25										1		0 He	eavy Duty	Asphalt Pa	vement						
	SW 1260	Pavement Base	7	7	14-Feb-25	24-Feb-25													Pavemer	nt Base							
	SW 1140	Concrete Pavement	5	5	25-Feb-25	03-Mar-25				1		1 1 1				1		[	Concre	ete Paven	ent		1				
	SW 1340	Fire Main and Hydrant	5	5	25-Feb-25	03-Mar-25						1						] [	Fire M	ain and H	ydrant						
	SW 1130	Final Grade Site & Retention Pond	5	5	04-Mar-25	10-Mar-25	_									1			🔲 Fina	Grade Si	te & Retention Po	ond					
	SW 1170	Site Lighting	4	4	04-Mar-25	07-Mar-25	_									1			Site L	ighting							
	SW 1200	Pavement Curbing	3	3	04-Mar-25	06-Mar-25	_					1 1 1				1		1 1 1	Paver	hent Curb	ing		1 1 1				
	SW 1280	Flag Pole & Foundation	3	3	04-Mar-25	06-Mar-25	_									1			🛿 Flag F	ole & Fou	Indation						
	SW 1290	Vehicle Signage & Asphalt Striping	2	2	04-Mar-25	05-Mar-25				     		     						-i     	Vehicle	e Signage	& Asphalt Stripin	9					
	SW 1180	Bollards - Site	2	2	07-Mar-25	10-Mar-25	_									   			Bolla	rds - Site							
	SW 1190	Irrigation Main & Branches	5	5	07-Mar-25	13-Mar-25	-												🔲 Irrig	ation Mai	n & Branches						
	SW 1210	Sidewalks & Courtyard	4	4	07-Mar-25	12-Mar-25	-									1			🔲 Side	walks & 0	Courtyard						
	SW 1320	Fencing	3	3	14-Mar-25	18-Mar-25	-									1			E Fe	encing			1				
	SW 1240	Landscaping & Sod	7	7	19-Mar-25	27-Mar-25														Landsca	ping & Sod						
	<b>BUILDING E</b>	NVELOPE									1 1 1	1 1 1				     		1 1 1			1 I 1 I 1 I 1 I		1 1 1				
	BE1000	Building Foundations	5	5	30-Sep-24	04-Oct-24								Buildin	g Foundat	ions											
	BE1030	Masonry Stemwall	5	5	07-Oct-24	11-Oct-24	_				1 1 1	1 1 1		📕 Mas	onry Stem	wall		1 1 1		1	I I I I I I I		1				
	BE1020	Structural Steel Columns	4	4	14-Oct-24	17-Oct-24	_							St	ructural St	eel Colum	ns										
	BE1060	Underground Electrical - Slab	10	10	14-Oct-24	25-Oct-24				     				-	Undergrou	und Electri	cal - Slab		÷	 ! !	÷						
	BE1070	Underground Plumbing - Slab	10	10	14-Oct-24	25-Oct-24	_								Undergrou	und Plumb	ing - Slab	þ									
	BE1080	Underground Fire Protection - Slab	5	5	14-Oct-24	18-Oct-24								🔲 Ui	ndergroun	d Fire Pro	tection - S	Slab									
	BE1010	Form, Reinforce, & Pour Slab on Grade	10	10	28-Oct-24	08-Nov-24	_								Form	, Reinforce	e, & Pour	Slab on	Ġrade								
	BE1040	Masonry Walls	15	15	11-Nov-24	29-Nov-24	_									Masonry	Walls										
	BE1050	Structural Joists	10	10	02-Dec-24	13-Dec-24			 ! !	 ! !		 ! !				📕 Stru	ctural Jois	sts			T		·				
	BE1180	Hollow Metal Doors and Hardware	2	2	02-Dec-24	03-Dec-24	_									I Hollow	Metal Do	ors and H	lardware								
	BE1190	Exterior Louvers	2	2	02-Dec-24	03-Dec-24	_					   				Exterior	Louvers										
	BE1260	Expansion Joints	2	2	02-Dec-24	03-Dec-24	_									Expans	ion Joints										
	BE1290	Injected Masonry Foam Insulation	3	3	02-Dec-24	04-Dec-24	_									Injected	d Masonry	Foam Ir	sulation								
	BE1270	Oil Sand Seperator	3	3	04-Dec-24	06-Dec-24				i     	-j	   				Oil Sar	nd Sepera	ator	+		+						
	BE1090	Structural Roof Decking	5	5	16-Dec-24	20-Dec-24										📕 St	tructural F	oof Decl	king								
	BE1100	Roof Blocking	2	2	23-Dec-24	24-Dec-24	_									0 F	Roof Bloc	king									
	BE1280	Rigid Roofing Insulation	5	5	23-Dec-24	27-Dec-24	_			   	1 1 1	1 1 1					Rigid Ro	ofing Insu	lation		1 I 1 I 1 I 1 I		1 1 1				
	BE1110	Standing Seam Metal Roof	15	15	30-Dec-24	17-Jan-25	_									ļ	St	anding S	eam Metal	Roof							
	BE1140	Exterior Stucco Finish	7	7	20-Jan-25	28-Jan-25	1							 ! !				Exterio	Stucco Fi	hish	+	· <del>,</del>					·
	BE1150	Storefront Windows	3	3	20-Jan-25	22-Jan-25	1									1	0 \$	Storefron	t Windows								
	BE1160	Storefront Doors and Frames	3	3	20-Jan-25	22-Jan-25	1				1 1 1	1 1 1				1		Storefron	t Doors an	d Frames							
	BE1230	Exterior Metal Wall Panels	5	5	20-Jan-25	24-Jan-25	1											Exterior	Metal Wall	Panels							
	Actual Work	Critical Remaining Work	1					<u>· · · · · · · · · · · · · · · · · · · </u>			Page 2	of 4	1		. 1	1	Layo	ut: Sche	dule Prese	ntation La	ayout	1	1	1	ł	1	
	Remaining W	ork  Milestone									0						TAS	K filter: A	II Activities	6							

Activity I	D	Activity Name	Orig	Rem	Start	Finish				2	2024											2025						
			Dur	Dur			Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	Мау	Jun	Jul	Aug	Sep	Oct	Nov	Dec
	BE1300	Metal Soffits	3	3	20-Jan-25	22-Jan-25			   		     		, , , , , , , , , , , , , , , , , , ,		   	     		Metal Sol	ffits	     	· · · · · · · · · · · · · · · · · · ·				   	;		
	BE1170	Storefront Impact Glass	2	2	23-Jan-25	24-Jan-25	_										0	Storefro	nt Impact (	Glass						1		
	BE1120	Aluminum Canopies	3	3	29-Jan-25	31-Jan-25												l Alumir	ium Canop	pies					1     	1 1		
	BE1210	Exterior Painting	5	5	29-Jan-25	04-Feb-25												Exter	rior Paintin	ġ					, , , ,	;		
	BE1250	Roll Up Doors	3	3	29-Jan-25	31-Jan-25												Roll U	p Doors		1 I 1 I 1 I 1 I 1 I		1		   	:		
	BE1200	Building Dry-In	1	1	03-Feb-25	03-Feb-25			     						     		     	l Buildi	ng Dry-In						     			
	BE1130	Gutters & Downspouts	3	3	05-Feb-25	07-Feb-25												Gutt	ters & Dow	nspouts					-     	1		
	BE1240	Knox Box	1	1	05-Feb-25	05-Feb-25											1 1 1	Knox	Box						1	1		
	BE1220	Exterior Complete	1	1	10-Feb-25	10-Feb-25												I Ext	terior Com	plete					, , , ,	;		
	BUILDING	NTERIOR															1 1 1				1 I 1 I 1 I 1 I 1 I		1		   	:		
	BI1500	Fire Riser	2	2	11-Nov-24	12-Nov-24			     						l Fire	e Riser	     								     	:		
	BI1430	Heat Pumps & Condensing Units	3	3	15-Nov-24	19-Nov-24										Heat Pump	s & Conde	ensing Ur	nits						   	1		
	BI1010	Above Ceiling Mechanical	10	10	04-Feb-25	17-Feb-25											1 1 1		Above Ceil	ing Mecha	nical				1	1		
	BI1390	Exhaust Fans	4	4	04-Feb-25	07-Feb-25											, , , ,	Exh	aust Fans							;		
	BI1410	NO2 & CO Fume Sensors	3	3	04-Feb-25	06-Feb-25												NO2	& CO Fu	me Sensor	rs				-     	1		
	BI1420	Infrared Heaters	3	3	04-Feb-25	06-Feb-25											1 1 1	Infra	ared Heate	ers					1	1		
	BI1020	Above Ceiling Fire Protection	10	10	18-Feb-25	03-Mar-25			1						     				Above	Ceiling Fi	re Protection					· · · · · · · · · · · · · · · · · · ·		
	BI1000	Above Ceiling Electrical	10	10	04-Mar-25	17-Mar-25											1 1 1		<b>—</b> A	bove Ceilir	ng Electrical		1		1 1 1	:		
	BI1030	Wall Framing	10	10	18-Mar-25	31-Mar-25											1 1 1			Wall Fr	aming				     	1		
	BI1550	Electrical Panels, ATS, & Inverter	10	10	19-Mar-25	01-Apr-25														Electric	al Panels, ATS	6, & Inv	erter		, , , ,	;		
	BI1040	In Wall Plumbing Rough In	10	10	01-Apr-25	14-Apr-25											1 1 1			ln In	Wall Plumbing	Rough	n In		   	:		1
	BI1050	In Wall Electrical Rough In	10	10	01-Apr-25	14-Apr-25									     		+     		1	💻 In	Wall Electrical	Rough	In		     	:;		
	BI1110	Hollow Metal Door Frames	2	2	01-Apr-25	02-Apr-25														I Hollow	Metal Door F	rames			   	1		
	BI1160	Ceiling - Framing	3	3	01-Apr-25	03-Apr-25											1 1 1			Ceiling	y - Framing				1	1		
	BI1210	Building Controls - Rough In	3	3	01-Apr-25	03-Apr-25														Buildin	ng Controls - F	lough li	n		, 1 1			
	BI1240	Wood Blocking	2	2	01-Apr-25	02-Apr-25														Wood	Blocking				     	1		
	BI1250	Access Controls - Rough In	3	3	01-Apr-25	03-Apr-25		1							     		     		1	Acces	s Controls - R	ough In				, , ,		
	BI1440	LV & FA - Above Ceiling	3	3	01-Apr-25	03-Apr-25											1 1 1			LV & F	A - Above Ce	ling	1		   			
	BI1170	Ceiling - Drywall	3	3	04-Apr-25	08-Apr-25											1 1 1 1			🔲 Ceili	ng - Drywall				1     	:		
	BI1180	Ceiling - Finishing	3	3	04-Apr-25	08-Apr-25														🔲 Ceili	ng - Finishing				, , ,	;		
	BI1450	LV & FA - Wire Pull	2	2	04-Apr-25	07-Apr-25														LV &	FA - Wire Pul	I			     	1		
	BI1060	Wall Insulation	2	2	15-Apr-25	16-Apr-25			1		1				     				1	I W	all Insulation				     	,		
	BI1490	Lighting Protection	5	5	15-Apr-25	21-Apr-25									1 1 1		1 1 1				Lighting Prote	ction	1		   	:		
	BI1560	Secondary Wire Pull	3	3	15-Apr-25	17-Apr-25														۵s	econdary Wire	e Pull				;		
	BI1080	Drywall - Hang	7	7	17-Apr-25	25-Apr-25															Drywall - Hai	ng			,     			
	BI1090	Drywall - Finish	5	5	28-Apr-25	02-May-25														1	Drywall - F	inish	1		     	1		
	BI1070	Fire Rated Plywood	1	1	05-May-25	05-May-25	[		-,												I Fire Rate	d Plywo	ood			·		
	BI1130	Prime and First Coat	5	5	05-May-25	09-May-25					1				1 1 1		1 1 1	1	1	1	Prime a	nd First	Coat		   			
	BI1140	Ceiling - AC Grid	3	3	12-May-25	14-May-25															Ceiling	- AC Ġ	irid		     			
	BI1190	Kitchen Hood	3	3	12-May-25	14-May-25											   				C Kitcher	n Hood			   	:		
	BI1220	Building Controls - Trim Out	2	2	12-May-25	13-May-25											1 1 1				I Building	g Contr	ols - Trim	Out				
	BI1260	Access Controls - Trim Out	2	2	12-May-25	13-May-25	1								     				· +		I Access	Contro	ols - Trim C	Dut		·		
	Actual Work	Critical Remaining Work									Page 3	of 4					Layo	out: Sche	dule Prese	entation La	ayout							<u> </u>
	Remaining W	Vork  Milestone															TAS	K filter: A	II Activitie	S								

BI1280 Fire Extine BI1310 Tile Floori BI1380 Air Handle BI1400 Mini-Split BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	tingishers & Toliet Accessories oring ndlers olit Units A - Trim Out	Dur 3 4 5 2 2	Dur 3 4 5 2	12-May-25 12-May-25 12-May-25 12-May-25	14-May-25 15-May-25 16-May-25	Mar	Apr	Мау	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May     Jun     Jul     Aug     Sep     Oct     Nov     Der       I Fire Extingishers & Toliet Accessories
BI1280 Fire Exting BI1310 Tile Floori BI1380 Air Handle BI1400 Mini-Split BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	tingishers & Toliet Accessories oring odlers olit Units A - Trim Out	3 4 5 2 2	3 4 5 2	12-May-25 12-May-25 12-May-25 12-May-25	14-May-25 15-May-25 16-May-25													1		Fire Extingishers & Toliet Accessories
BI1310 Tile Floori BI1380 Air Handle BI1400 Mini-Split BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	oring adders adders adders adders adders adders adders adder	4 5 2 2	4 5 2	12-May-25 12-May-25 12-May-25	15-May-25 16-May-25						1	i i						1		
BI1380 Air Handle BI1400 Mini-Split BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	A - Trim Out	5 2 2	5 2	12-May-25 12-May-25	16-May-25		-	1		1	1			1 1 1				1		Tile Flooring
BI1400 Mini-Split BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	A - Trim Out	2	2	12-May-25			1											1		Air Handlers
BI1460 LV & FA - BI1540 Pre-Powe BI1150 Ceiling - A	A - Trim Out	2			13-May-25								1	1						I Mini-Split Units
BI1540 Pre-Powe BI1150 Ceiling - A		-	2	12-May-25	13-May-25			1			1									ILV & FA - Trim Out
BI1150 Ceiling - A	wer Inspection	1	1	14-May-25	14-May-25								1	1 1 1						I Pre-Power Inspection
	- AC Tile	2	2	15-May-25	16-May-25								1	1						Ceiling - AC Tile
BI1200 Kitchen H	Hood - Fire Suppression	2	2	15-May-25	16-May-25															Kitchen Hood - Fire Suppression
BI1470 Light Fixtu	ixtures	3	3	15-May-25	19-May-25											       				Light Fixtures
BI1570 Mechanica	nical Trim Out	5	5	15-May-25	21-May-25							L		L	 ! !			1	L	Mechanical Trim Out
BI1120 Doors and	and Hardware	2	2	19-May-25	20-May-25															Doors and Hardware
BI1300 Sealed Co	Concrete Floors	7	7	19-May-25	27-May-25									1 1 1				1		Sealed Concrete Floors
BI1320 Floor Bas	ase	3	3	28-May-25	30-May-25								1	1 1 1		       				I, Floor Base
BI1330 Wall Tile	e	2	2	28-May-25	29-May-25															I Wall Tile
BI1340 Millwork	k	2	2	30-May-25	02-Jun-25											L				Millwork
BI1270 Plumbing	ng Trim Out	7	7	02-Jun-25	10-Jun-25								1	1 1 1						Plumbing Trim Out
BI1350 Solid Surf	urface Tops	2	2	03-Jun-25	04-Jun-25													1		Solid Surface Tops
BI1480 Appliance	ices	2	2	03-Jun-25	04-Jun-25															I Appliances
BI1360 Kitchen E	Equipment	2	2	05-Jun-25	06-Jun-25									1 1 1				1		Kitchen Equipment
BI1510 BDA Syste	vstem	5	5	09-Jun-25	13-Jun-25							 	L     	     		 		+ +	     	BDA System
BI1520 Test & Ba	Balancing	5	5	09-Jun-25	13-Jun-25															Test & Balancing
BI1230 Final Pain	aint	7	7	09-Jun-25	17-Jun-25															Final Paint
BI1530 Mechanica	nical Commissioning	5	5	16-Jun-25	20-Jun-25								1	1 1 1		       				Mechanical Commissioning
BI1290 Interior Si	Signage	1	1	18-Jun-25	18-Jun-25								1	1						L Interior Signage
					10 00.11 20															
El&SC10 Einal Elec		3	3	20-May-25	22-May-25								1	1 1 1		       				Final Electrical Inspection
FI&SC80 Final Plun		3	3	11lun-25	13-Jun-25									1						
FI&SC20 Final Mec	lechanical Inspection	3	3	16-Jun-25	18-Jun-25													1		
FI&SC30 Final Fire	ire Alarn Inspection	3	3	19- Jun-25	23- lun-25									1 1 1		       		1 1 1		
FIRSC40 Einal Life		2	2	10 Jun 25	23-Jun 25							L	     	   		L			L	
FIRSC40 Final Life		3	3	19-Juli-25	25-Juli-25															
	List Owner (Arch / Engineer	2	2	24-Jun-25	25-JUII-25									   						
	ntial Completion	14	14	20-JUII-20	10-Jul-20								1	1 1 1		       				
		1	1	16-Jul-25	16-Jui-25															I Substantial Completion
PROJECT CLOSEO		10	10	47.1.1.05	00.1.1.05															
PCA10 I raining, I	g, Final Recon CO, Final Pay Applica	10	10	17-Jul-25	30-Jul-25								1	1 1 1						I raining, Final Recon CO, Final Pay Applic
PCA20 ODP Red	econciliation	3	3	17-Jul-25	21-Jul-25													1		ODP Reconciliation
DCA30 Final Corr	ompletion	0	0		30-Jul-25									   				1 1 1		Final Completion



City of Debary Contract for CM/GC Services for Pre-Construction Phase Services for Fire Station #39 GMP

Section 7 Document List





Owner:	City of Debary	
Project:	Debary Fire Station No. 39	
Doc Type:	Drawings	
Architect:	Neel-Schaffer	
Titled:	City of Debary Fire Station No. 39	
Dated:	09/01/22	
Phase:	Bid Set	
Sheet No.	Sheet Title	Issue Date
	Cover Sheet	Sept 2022
G-1	SITE LOCATION, LEGEND SHEET INDEX & ABBREVIATION	Sept 2022
G-2	GENERAL NOTES	Sept 2022
G-3	Topographic Survey	Sept 2022
G-4	Topographic Survey	Sept 2022
G-5	Topographic Survey	Sept 2022
C-1	EXISTING SITE CONDITIONS	Sept 2022
C-2	DEMOLITION & EROSION CONTROL PLAN	Sept 2022
C-3	PROPOSED SITE PLAN	Sept 2022
C-4.0	DRAINAGE AND GRADING PLAN	Sept 2022
C-4.1	CROSS SECTIONS	Sept 2022
C-5.0	WATER AND WASTEWATER PLAN	Sept 2022
C-5.1	WATER AND WASTEWATER PLAN	Sept 2022
C-6	SIGNING AND STRIPING PLAN	Sept 2022
CD-1	DETAILS	Sept 2022
CD-2	DETAILS	Sept 2022
CD-3	DETAILS	Sept 2022
CD-4	DETAILS	Sept 2022
CD-5	DETAILS	Sept 2022
CD-6	DETAILS	Sept 2022
CD-7	DETAILS	Sept 2022
G-101	FLOOR PLAN -LIFE SAFETY	Sept 2022
G-101 ALT	FLOOR PLAN -LIFE SAFETY -ADD ALTERNATE	Sept 2022
G-102	UL ASSEMBLIES	Sept 2022
A-100	ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY)	Sept 2022
A-100 ALT	ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY) -ADD ALTERNATE	Sept 2022
A-101	FLOOR PLAN -ANNOTATION	Sept 2022
A-101 ALT	FLOOR PLAN -ANNOTATION -ADD ALTERNATE	Sept 2022
A-102	FLOOR PLAN -DIMENSION	Sept 2022
A-102 ALT	FLOOR PLAN -DIMENSION -ADD ALTERNATE	Sept 2022
A-103	REFLECTED CEILING PLAN	Sept 2022
A-103 ALT	REFLECTED CEILING PLAN -ADD ALTERNATE	Sept 2022
A-104	ROOF PLAN	Sept 2022
A-104 ALT	ROOF PLAN -ADD ALTERNATE	Sept 2022
A-105	SITE DETAILS	Sept 2022
A-201	EXTERIOR ELEVATIONS	Sept 2022
A-201 ALT	EXTERIOR ELEVATIONS -ADD ALTERNATE	Sept 2022
A-301	BUILDING SECTIONS	Sept 2022
A-301 ALT	BUILDING SECTIONS -ADD ALTERNATE	Sept 2022
A-302	WALL SECTIONS	Sept 2022
A-303	ROOF DETAILS	Sept 2022
A-401	ENLARGED FLOOR PLANS AND DETAILS	Sept 2022

Deliverable: GMP



Deliverable:GMPOwner:City of DebaryProject:Debary Fire Station No. 39

A-601	DOOR & WINDOW SCHEDULES	Sept 2022
A-701	CEILING DETAILS	Sept 2022
A-702	MISC DETAILS	Sept 2022
A-703	SIGNAGE DETAILS	Sept 2022
ID-101	FLOOR FINISH PLAN AND SCHEDULE	Sept 2022
ID-101 ALT	FLOOR FINISH PLAN AND SCHEDULE -ALTERNATE	Sept 2022
ID-110	EQUIPMENT AND FURNITURE PLAN & SCHEDULE	Sept 2022
ID-200	RESTROOM ELEVATIONS	Sept 2022
ID-201	INTERIOR ELEVATIONS AND MILLWORK SECTIONS	Sept 2022
ID-202	MILLWORK DETAILS	Sept 2022
S-001	STRUCTURAL NOTES	Sept 2022
S-002	TYPICAL DETAILS	Sept 2022
S-003	TYPICAL DETAILS	Sept 2022
S-101 ALT	FOUNDATION PLAN	Sept 2022
S-101	FOUNDATION PLAN	Sept 2022
S-102 ALT	ROOF FRAMING PLAN	Sept 2022
S-102	ROOF FRAMING PLAN	Sept 2022
S-103	MECHANICAL AND DUMPSTER FOUNDATION PLAN	Sept 2022
S-104 ALT	ELEVATIONS	Sept 2022
S-104	ELEVATIONS	Sept 2022
S-301	SECTIONS	Sept 2022
S-302	SECTIONS	Sept 2022
M-001	LEGEND AND NOTES -MECHANICAL	Sept 2022
M-101	FLOOR PLAN -MECHANICAL	Sept 2022
M-301	ENLARGED PLANS -MECHANICAL	Sept 2022
M-501	DETAILS -MECHANICAL	Sept 2022
M-502	DETAILS -MECHANICAL	Sept 2022
M-503	DETAILS -MECHANICAL	Sept 2022
M-601	SCHEDULES -MECHANICAL	Sept 2022
M-602	SCHEDULES -MECHANICAL	Sept 2022
M-701	CONTROLS AND SEQUENCES - MECHANICAL	Sept 2022
M-702	CONTROLS AND SEQUENCES - MECHANICAL	Sept 2022
E-001	SYMBOL LEGEND -ELECTRICAL	Sept 2022
E-002	LIGHT FIXTURE SCHEDULE & GENERAL NOTES -ELECTRICAL	Sept 2022
E-100	SITE PLAN -ELECTRICAL	Sept 2022
E-101	FLOOR PLAN -POWER	Sept 2022
E-201	FLOOR PLAN -LIGHTING	Sept 2022
E-301	ENLARGED PLANS -ELECTRICAL	Sept 2022
E-302	ENLARGED PLANS -ELECTRICAL	Sept 2022
E-401	RISER DIAGRAMS -ELECTRICAL	Sept 2022
E-501	DETAILS -ELECTRICAL	Sept 2022
E-502	DETAILS -ELECTRICAL	Sept 2022
E-601	SCHEDULES -ELECTRICAL	Sept 2022
E-602	ADD ALTERNATE SCHEDULES -ELECTRICAL	Sept 2022
FP-001	LEGEND AND NOTES -FIRE PROTECTION	Sept 2022
FP-101	FLOOR PLAN -FIRE PROTECTION	Sept 2022
P-001		Sent 2022
	LEGEND AND NOTES -FLOWBING	Jept 2022



Owner:	City of Debary	
Project:	Debary Fire Station No. 39	
P-301	ENLARGED PLAN -PLUMBING	Sept 2022
P-401	RISER DIAGRAMS -PLUMBING	Sept 2022
T-100	TREE MITIGATION PLAN	Sept 2022
T-101	TREE MITIGATION CALCULATIONS	Sept 2022
L-100	LANDSCAPE PLAN	Sept 2022
L-500	LANDSCAPE DETAILS	Sept 2022
I-100	IRRIGATION PLAN	Sept 2022
I-500	IRRIGATION DETAILS	Sept 2022
Doc Type:	Specifications	
Architect:	Neel-Schaffer	
Titled:	City of Debary Fire Station No. 39	
Dated:	Sept 2022	
Shoot No		Issue Date
10100	Sheet Title	Oct 2022
10100		Oct 2022
10250	Application for Developments	Oct 2022
10270	Application for Payments	Oct 2022
10300	Special Project Procedures	Oct 2022
10400	Cutting & Datching	Oct 2022
10450		Oct 2022
10500	Preid Engineering	Oct 2022
10030	Abbroviations and Symbols	Oct 2022
11500	Abbreviations and Symbols	Oct 2022
11500	Change Order Precedures	Oct 2022
12000	Draige Order Procedures	Oct 2022
12000	Alternatos	Oct 2022
12000	Submittals	Oct 2022
12250	Submittals	Oct 2022
12400	Construction Schedule Shop Drawings, Draiget Data and Samples	Oct 2022
12000	Audio Visual Documentation	Oct 2022
14100	Tacting and Laboratory Services	Oct 2022
14100	Poforonco Standards	Oct 2022
15100		Oct 2022
15650	Environmental Protection Procedures	Oct 2022
15680	Temporary Erosion and Sedimentation Control	Oct 2022
15800	Project Identification and Signs	Oct 2022
15000	Construction Excilities and Temporary Controls	Oct 2022
16000	Material and Equipment	Oct 2022
16300	Substitutions	Oct 2022
17000		Oct 2022
17100		Oct 2022
17200	Project Record Documents	Oct 2022
17300	Operation and Maintenance Data	Oct 2022
17400	Warranties and Bonds	Oct 2022
17550	Fauinment Startun and Facilities Testing	Oct 2022
17950	Share Parts and Maintenance Materials	Oct 2022
1,000		001 2022

Deliverable: GMP

Deliverable:GMPOwner:City of DebaryProject:Debary Fire Station No. 39



22100         Subsurface Investigation         Oct 2022           221150         Finish Grading         Oct 2022           22150         Excavation and BacKIII         Oct 2022           25370         Pressure Utility Sewage Piping         Oct 2022           25370         Pressure Utility Distribution Piping         Oct 2022           25110         Site Water Utility Distribution Piping         Oct 2022           25120         Valves and Appurtenances         Oct 2022           25170         Stabilized Subgrade         Oct 2022           25700         Stabilized Subgrade         Oct 2022           25700         Soll Cement Base         Oct 2022           27200         Crushed Stone and Gravel         Oct 2022           27410         Bituminous Paving         Oct 2022           27410         Bituminous Paving         Oct 2022           27500         Crushed Stone and Gravel         Oct 2022           27410         Bituminous Paving         Oct 2022           27410         Bituminous Paving         Oct 2022	22000	Site Preparation	Oct 2022
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89100 Louvers Oct 2022	88000	Glazing	Oct 2022
	89100	Louvers	Oct 2022

Deliverable:	GMP
Owner:	City of Debary
Project:	Debary Fire Station No. 39



92423Portland Cement StuccoOct 202292900Gypsum BoardOct 202292900TilingOct 202295100Acoustical CellingsOct 202295119Resilient Tile FlooringOct 202296519Resilient Tile FlooringOct 202298415Fixed Sound-Absorptive PanelsOct 202298000PaintingOct 202298000PaintingOct 2022101100Visual Display BoardsOct 2022101200Wall and Door ProtectionOct 2022102500Wall and Door ProtectionOct 2022102511Tollet AccessoriesOct 2022105131Bela Storage ShelvingOct 2022105131Bela Storage ShelvingOct 2022105131Besidential AppliancesOct 2022105131Besidential AppliancesOct 20221031310Package Sewage Lift Station (Low Pressure)Oct 20221131800Package Sewage Lift Station (Low Pressure)Oct 2022123216Manufacturd Plastic-Lamineted-Clad CaseworkOct 2022123310BuscessoriesOct 2022123131Steves and Sleeve Seals for Fire-Suppression PipingOct 2022205131Steves and Sleeve Seals for Fire-Suppression PipingOct 202220514Steves and Sleeve Seals for Fire-Suppression PipingOct 2022205151Sleeves and Sleeve Seals for Fire-Suppression PipingOct 2022205161Meters and Gages for Plumbing Piping and EquipmentOct 202220517Sleeves	92216	Non-Structural Metal Framing	Oct 2022
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230593 Testing, Adjusting and Balancing For HVAC Oct 2022	230553	Identification for HVAC Piping and Equipment	Oct 2022
	230593	Testing, Adjusting and Balancing For HVAC	Oct 2022

Deliverable:GMPOwner:City of DebaryProject:Debary Fire Station No. 39



230713	Duct Insulation	Oct 2022
230719	HVAC Piping Insulation	Oct 2022
230900	Instrumentation and Control For HVAC	Oct 2022
232113	Hydronic Piping	Oct 2022
232300	Refrigerant Piping	Oct 2022
233113	Metal Ducts	Oct 2022
233300	Air Duct Accessories	Oct 2022
233423	HVAC Power Ventilators	Oct 2022
233713	Diffusers, Registers, And Grilles	Oct 2022
238126	Split-System Air-Conditioners	Oct 2022
238300	Radiant Heaters – Electric Infrared	Oct 2022
260500	Basic Electrical Requirements	Oct 2022
260519	Low-Voltage Electrical Power Conductors and Cables	Oct 2022
260526	Grounding and Bonding for Electrical Systems	Oct 2022
260529	Hangers and Supports for Electrical Systems	Oct 2022
260533	Raceways and Boxes for Electrical Systems	Oct 2022
260544	Sleeves and Sleeve Seals for Electrical Raceways and Cabling	Oct 2022
260553	Identification for Electrical Systems	Oct 2022
260923	Lighting Control Devices	Oct 2022
262416	Panelboards	Oct 2022
262726	Wiring Devices	Oct 2022
262816	Enclosed Switches and Circuit Breakers	Oct 2022
263213	Engine Generators	Oct 2022
263600	Transfer Switches	Oct 2022
264113	Lightning Protection for Structures	Oct 2022
264313	Transient-Voltage Suppression for Low-Voltage Electrical Power Circuits	Oct 2022
265119	LED Interior Lighting	Oct 2022
270528	Pathways for Communications Systems	Oct 2022
270544	Sleeves and Sleeve Seals for Communications Pathways and Cabling	Oct 2022
271100	Communications Equipment Room Fittings	Oct 2022
271500	Communication Horizontal Cabling	Oct 2022
280511	Conductors and Cables for Electronic Fire-Alarm Safety	Oct 2022
283111	Digital Addressable Fire-Alarm System	Oct 2022
285000	Emergency Radio Communication Enhancement System (BDA System)	Oct 2022
313116	Chemical Soil Treatment	Oct 2022
APPENDICES		Oct 2022
APPENDIX A	Geotechnical Engineering Report Prepared by	Oct 2022
ECS Florida, L	LC Dated December 22, 2021	Oct 2022

#### CITY OF ORANGE CITY DEBARY FIRE SERVICES

#### FY 2024/25 PROJECTION COMPARISON - PERSONAL SERVICES

#### AS OF APRIL 25, 2024

#### **NO STAFFING CHANGES - ANNUALIZED**

	CURRENT	FTE ALLOCATION		
		Station 33	Station 39	Total
Fire Lieutenant		3.00	-	3.00
Firefighter		8.00	-	8.00
Fire Safety Inspector		1.00	-	1.00
	Total FTE	12.00	-	12.00

ΡΑΥ	ROLL PROJECTION		
	Station 33	Station 39	Total
1200 - Regular Salaries & Wages	857,774	-	857,774
1400 - Overtime	191,759	-	191,759
1500 - Special Pay	9,413	-	9,413
1600 - Holiday Pay	30,352	-	30,352
2100 - FICA Taxes	83,331	-	83,331
2200 - Retirement Contributions	357,181	-	357,181
2300 - Health Insurance	137,335	-	137,335
2301 - Dental Insurance	5,233	-	5,233
2302 - Life Insurance & AD&D	2,140	-	2,140
2303 - Disability Insurance	3,732	-	3,732
2304 - Additional Reg Life Insurance	3,589	-	3,589
2400 - Workers Compensation	92,849	-	92,849
Total Projected Budge	et 1,774,688	-	1,774,688

Assumes no new positions; a FRS rate increase to 32.79% (per HB151); a 9% premium increase for health insurance; no premium increase for dental insurance; a 10% premium increase for life and AD&D insurances; and a 15% increase in workers compensation. Premiums will be trued-up based on actual renewals later in the budget process. Budget, as presented in this draft, does not include pay adjustments, which are contingent on union negotiations as approved by the Orange City Council.

#### **STAFFING CHANGES FOR STATION 39 - ANNUALIZED**

	FUTURE	FTE ALLOCATION		
		Station 33	Station 39	Total
Deputy Fire Chief		0.50	0.50	1.00
Fire Lieutenant		3.00	3.00	6.00
Firefighter		6.00	6.00	12.00
Fire Safety Inspector		0.50	0.50	1.00
Training Captain		0.25	0.25	0.50
	Total FTE	10.25	10.25	20.50

PAYR	OLL PROJECTION		
	Station 33	Station 39	Total
1200 - Regular Salaries & Wages	651,338	651,338	1,302,677
1400 - Overtime	95 <i>,</i> 880	95,880	191,759
1500 - Special Pay	4,707	4,707	9,413
1600 - Holiday Pay	20,604	20,604	41,208
2100 - FICA Taxes	59,098	59,098	118,196
2200 - Retirement Contributions	253,313	253,313	506,626
2300 - Health Insurance	113,565	113,565	227,129
2301 - Dental Insurance	4,329	4,329	8,659
2302 - Life Insurance & AD&D	1,640	1,640	3,279
2303 - Disability Insurance	3,507	3,507	7,013
2304 - Additional Reg Life Insurance	1,795	1,795	3,589
2400 - Workers Compensation	55,905	55,905	111,810
Total Projected Budget	1,265,678	1,265,678	2,531,356

Includes same assumptions for benefits as indicated on the previous page. All positions are split 50/50 between stations as it is assumed that personnel will move between locations to provide coverage as needed. **Net cost increase for 8.50 new positions, as indicated on the previous page, is \$756,668.** 

	CITY OF DEE	SARY
BID RESUL	TS	BID OPENING
	N	Bid No. 01-23
DeBary - Fire Statio	n NO. 39	3/31/2023
		11:00 AM
Company	Т	OTAL BID AMOUNT
ABBA CONSTRUCTION CO		
A.G. PIFER CONSTRUCTION		
BOULEVARD CONTRACTORS	\$ 5,61	6,100.00
COASTAL CONSTRUCTION		
FLORIDA INDUSTRIAL ELECTRIC		
GSB CONSTRUCTION CO		
OHLA BUILDING	\$6,23	56,537.98
S.A. CASEY CONSTRUCTION	# 5,64	6, 598-00
WHARTON SMITH, INC.		



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## BID NO. 07 BID FORM FIRE STATION NO. ADDENDUM NO. 2

PAY ITEM NO.	DESCRIPTION	QTV.	TINU	WRITTEN UNIT PRICE	NUMERIC UNIT PRICE	TOTAL
L.O - GENERA	L CONSTRUCTION OPERATIONS					
1.1	MOBILIZATION, DEMOBILIZATION, BONDS & PERN		ر م	Fifteen thousand Six Hundred Dollars and zero cents	\$15,600.00	\$15,600.00
1.2	MAINTENANCE OF TRAFFIC		S	Thirty Thousand Dollars and zero cents	\$30,000.00	\$30,000.00
2.0-EARTHM	YORK AND SITE PREPARATION					
2.1	CLEARING & GRUBBING	2.1	AC 1	wenty six thousand eight hundred and forty dollars and zero cents	\$26,840.00	\$56,364.00
2.2	PREPARE, IMPLEMENT & MAINTAIN SWPPP		ม	One thousand seven hundred and thirty dollars and zero cents	\$1,730.00	\$1,730.00
2.3	FINAL GRADING	0669	ζ	One dollar and seventy seven cents	\$1.77	\$12,372.30
2.4	POND EXCAVATION	1698	ζ	Fifty dollars and zero cents	\$50.00	\$84,900.00
2.5	SOD	1810	Sγ	Eight dollars and ninety six cents	\$8.96	\$16,217.60
2.6	SEEDING	1932	SY	One dollar and twenty six cents	\$1.26	\$2,434.32
2.7	SEGMENTAL RETAINING WALL	1250	SF	Thirty Five Dollars and zero cents	\$35.00	\$43,750.00
3.0 - PAVEM	ENT					
3.1	12-INCH COMPACT AND PREPARE HEAVY-DUTY SUBBASE	1,660	SY	Ten dollars and sixty six cents	\$10.66	\$17,695.60
3.2	8-INCH HEAVY-DUTY LIMEROCK BASE	1,660	SY	Twenty nine dollars and zero cents	\$29.00	\$48,140.00
3.3	12-INCH COMPACT AND PREPARE LIGHT-DUTY SUBBASE	830	SY	Ten dollars and sixty six cents	\$10.66	\$8,847.80
3.4	6-INCH LIGHT-DUTY LIMEROCK BASE	830	SY	Twenty One Dollars and forty four cents	\$21.44	\$17,795.20
3.5	2-INCH HEAVY-DUTY ASPHALT PAVEMENT	174	TN	One hundred fifty nine dollars and thirty cents	\$159.30	\$27,718.20
3.6	1.5-INCH LIGHT-DUTY ASPHALT PAVEMENT	67	IN N	One Hundred Sixty eight dollars and fifty six cents	\$168.56	\$11,293.52
3.7	12-INCH COMPACT AND PREPARE SUBBASE	1,120	SY	Ten dollars and sixty six cents	\$10.66	\$11,936.83
3.8	6-INCH CONCRETE RIGID PAVEMENT	1,051	SY	Ninety two dollars and thirty two cents	\$92.32	\$96,987.29
3.9	D CURB	957	5	Eighteen dollars and fifteen cents	\$18.15	\$17,369.55
3.10	RIBBON CURB	43	5	Twenty two dollars and zero cents	\$22.00	\$946.00
3.11	4-INCH SIDEWALK	167	Sγ	Seven dollars and fifteen cents	\$7.15	\$1,191.67
3.12	4-INCH CONCRETE PAD WITH REBAR	24	Sγ	Two hundred ninety four dollars and ninety three cents	\$294.93	\$7,209.40
3.13	6-INCH CONCRETE PAD WITH REBAR	30	SY	Two hundred ninety four dollars and ninety three cents	\$294.93	\$8,749.59
3.14	12-INCH CONCRETE PAD WITH REBAR	44	SY	Two hundred ninety four dollars and ninety three cents	\$294.93	\$13,108.00

BID NO. 01 BID FORM FIRE STATION NO. - ADDENDUM NO. 2

Y ITEM	DESCRIPTION	QTY.	TINU	WRITTEN UNIT PRICE	NUMERIC UNIT PRICE	TOTAL
12	WHEEL STOP	10	EA	wo hundred fifty two dollars and zero cents	\$252.00	\$2,520.00
16	ADA RAMP		EA	ight hundred twenty five dollars and zero cents	\$825.00	\$825.00
17	BOLLARD	21	EA	Seven hundred forty three dollars and zero cents	\$743.00	\$15,603.00
18	FLAGPOLE	1	EA	our thousand five hundred twenty five dollars and zero cents	\$4,525.00	\$4,525.00
IGNING	3 AND PAVEMENT MARKINGS					
1.1	STOP/STREET SIGN	6	EA	One hundred fifty nine dollars and thirty five cents	\$159.35	\$1,434.15
4.2	BEACON SIGN AND POST	2	EA	One hundred sixty seven dollars and twenty three cents	\$167.23	\$334.46
4.3	BEACON/AC POWERED	2	EA	Five hundred forty three dollars and twenty five cents	\$543.25	\$1,086.50
4.4	PAVEMENT MARKINGS	1	ม	Fourteen thousand three hundred twenty nine and ninety eight cents	14,329.98	\$14,329.98
STORM	WATER					
5.1	18-INCH HDPE PIPE	80	Ч	Fifty seven dollars and eighty seven cents	57.87	\$4,629.60
5.2	18-INCH RCP PIPE	484	Ľ	Seventy nine dollars and forty cents	79.4	\$38,429.60
5.3	18-INCH PIPE MITERED END SECTION (MES)	∞	EA	One thousand six hundred twenty three dollars and fifty cents	1,623.50	\$12,988.00
5.4	6-INCH PVC ROOF DRAIN	230	5	Three hundred twenty six dollars and fifty nine cents	326.59	\$75,115.70
5.5	6-INCH ROOF DRAIN CLEANOUT	4	EA	Four hundred sixty six dollars and seventy five cents	466.75	\$1,867.00
5.6	8-INCH PVC ROOF DRAIN	70	5	Four hundred twenty six dollars and fifty nine cents	426.59	\$29,861.30
5.7	TYPE C INLET	m	EA	Five thousand six hundred forty four dollars and fifty cents	5,644.50	\$16,933.50
5.8	MANHOLE	2	EA	Six thousand two hundred seventeen dollars and sixty cents	6,217.60	\$12,435.20
5.9	LITORAL PLANTINGS		LS	Three thousand eight hundred dollars and thirty cents	3,800.30	\$3,800.30
5.10	FLOATING POND FOUNTAIN		EA	Twenty five thousand two hundred thirty two dollars and zero cents	25,232.00	\$25,232.00
- WATE	RMAIN					
6.1	2-INCH PVC WATER SERVICE LINE	225	5	Eighteen dollars and twenty one cents	18.21	\$4,097.25
6.2	2-INCH X 8-INCH TEE	1	EA	Six hundred eighty four dollars and ninety cents	684.9	\$684.90
6.3	2-INCH 45-DEGREE BEND	9	EA	Two hundred fifty dollars and fifty three cents	250.53	\$1,503.18
6.4	8-INCH PVC WATER SERVICE LINE	158	5	Fifty two dollars and twenty eight cents	52.28	\$8,260.24
6.5	12-INCH X 12-INCH X 8-INCH TEE	4	EA	Eight hundred forty two dollars and twenty five cents	842.25	\$842.25

## BID NO. 01 BID FORM FIRE STATION NO. 2

~	DESCRIPTION	QTY.	UNIT	WRITTEN UNIT PRICE	NUMERIC UNIT PRICE	TOTAL
1	INCH PLUG		EA	Four hundred eighty six dollars and zero cents	486	\$486.00
1 7	NCH 45-DEGREE BEND	4	EA	Seven hundred sixty eight dollars and fifty cents	768.5	\$3,074.00
	RE HYDRANT	2	EA	seven thousand seven hundred twenty two dollars and fifty eight cents	7,722.58	\$15,445.16
	OUBLE DETECTOR BACK FLOW PREVENTER	2	EA	Seven thousand three hundred sixty three dollars and twelve cents	7,363.12	\$14,726.24
1 2	IETER	2	EA	Thirty five thousand two hundred sixty five dollars and zero cents	35,265	\$70,530.00
1 10	-INCH PVC WATER SERVICE LINE	95	5	Thirty eight dollars and thirty seven cents	38.37	\$3,645.15
	-INCH 45-DEGREE BEND	4	EA	Four hundred ninety four dollars and ninety five cents	494.95	\$1,979.80
	S-INCH X 6-INCH REDUCER	-	EA	Seven hundred forty six dollars and fifty cents	746.5	\$746.50
	HINCH PVC FDC SERVICE LINE	220	L,	Twenty seven dollars and seventy three cents	27.73	\$6,100.60
	t-INCH 90-DEGREE BEND	5	EA	Five hundred dollars and sixteen cents	500.16	\$1,000.32
	4-INCH 45-DEGREE BEND	2	EA	Four hundred ninety five dollars and seventy six cents	495.76	\$991.52
	FIRE DEPARTMENT CONNECTION ASSEMBLY		EA	Six thousand five hundred eighty five dollars and zero cents	6,585	\$6,585.00
	Y SEWER					
-	GRINDER PUMP	1	รา	Fifteen thousand three hundred thirty seven dollars and zero cents	15,337	\$15,337.00
1	4-INCH CLEANOUT	2	EA	Five hundred sixty five dollars and zero cents	565	\$1,130.00
	4-INCH PVC GRAVITY LINE	8	5	Nineteen dollars and forty three cents	19.43	\$1,554.40
	4-INCH WYE		EA	Three hundred fifty five dollars and sixty four cents	355.64	\$355.64
	OIL/WATER SEPARATOR		EA	Nine thousand and five dollars and zero cents	9,005	\$9,005.00
1	1-1/4-INCH DR18 PVC FORCE MAIN	1,15(	LL C	Seventeen dollars and ninety seven cents	17.97	\$20,665.50
1	1-1/4-INCH 45-DEGREE BEND	m	EA	Three hundred twenty nine dollars and ten cents	329.1	\$987.30
	1-1/4-INCH 11.5-DEGREE BEND	m	EA	Three hundred thirty five dollars and zero cents	335	\$1,005.00
	1-1/4-INCH 90-DEGREE BEND		EA	Three hundred seventeen dollars and zero cents	317	\$317.00
	1-1/4-INCH GATE VALVE		EA	Five hundred eighty two dollars and ninety cents	582.9	\$582.90
	1-1/4-INCH AIR RELEASE VALVE		EA	Five thousand nine hundred thirty six dollars and seventy five cents	5,936.75	\$5,936.75
L						

**BID FORM** 

BID NO. 01 3ID FORM FIRE STATION NO. 2 ADDENDUM NO. 2

PAY ITEM		F	F		NUMERIC UNIT	
NO.	DESCRIPTION	.Υ	TIN	WRITTEN UNIT PRICE	PRICE	IOIAL
8.0 - BUILDIN	G					
8.1	BUILDING COMPLETE AND IN PLACE	5400	SF	Eight hundred three dollars and seventy-seven cents	803.77	\$4,340,358.00
8.2	GENERATOR	-	EA	One hundred twenty five thousand dollars and zero cents	124,984	\$124,984.15
9.0 - LANDSC	APE AND IRRIGATION					
9.1	LANDSCAPING	1	SI	Sixty four thousand seven hundred fifty three dollars and sixteen cents	64,753.16	\$64,753.16
9.2	IRRIGATION		SI	Seventeen thousand eight hundred ninety seven dollars and fifty cents	17,897.50	\$17,897.50
PAY ITEM NO.	DESCRIPTION	QТУ.	UNIT	WRITTEN UNIT PRICE	NUMERIC UNIT PRICE	TOTAL
9.3	6-FT VINYL FENCE	263	ч	Ninety nine dollars and fourteen cents	99.14	\$26,073.82
10.0 - ELECTI	RICAL SITE	の時代				
10.1	1" CONDUIT	921	5	Five dollars and ninety two cents	5.92	\$5,452.32
10.2	11"X18"X12" FLUSH GRADE PULLBOX	7	EA	Four hundred sixty one dollars and thirty four cents	461.34	\$3,229.38
10.3	36"X36"X36" FLUSH GRADE PULLBOX	m	EA	Four hundred seventy eight dollars and zero cents	478	\$1,434.00
10.4	4" CONDUIT	1180	LF	Ten dollars and eighteen cents	10.18	\$12,012.40
10.5	H-FRAME RACK	1	EA	Four hundred eighty six dollars and zero cents	486	\$486.00
10.6	100A DISCONNECT SWITCH		EA	Five hundred forty six dollars and zero cents	546	\$546.00
10.7	1-1/2" CONDUIT	25	ГĿ	Three dollars and eighty nine cents	3.89	\$97.25
10.8	3" CONDUIT	264	5	Six dollars and thirteen cents	6.13	\$1,618.32
10.9	UTILITY XFMR PAD	5	EA	One thousand five hundred forty seven dollars and zero cents	1,547	\$3,094.00
10.10	400KCMILAL CONDUCTOR	1856	5	Three dollars and twenty six cents	3.26	\$6,050.56
10.11	#4/0 AWG AL CONDUCTOR	800	5	Fifteen dollars and thirty seven cents	15.37	\$12,296.00
10.12	REMOVABLE BOLLARDS	б	EA	Seven hundred forty three dollars and zero cents	743	\$6,687.00
10.13	#4 CU GROUND	65	5	One dollar and eighty five cents	1.85	\$120.25
10.14	3/4" CONDUIT	50	5	Two dollars and fifty seven cents	2.57	\$128.50
10.15	FLAGPOLE LIGHTS	ŝ	EA	Seventy eight dollars and sixty five cents	78.65	\$235.95
10.16	BUILDING SPOT LIGHT		EA	Two hundred forty six dollars and zero cents	246	\$246.00
10.17	UTILITY METER/CT. CABINET	Ч	EA	One thousand two hundred sixty five dollars and zero cents	1,265	\$1,265.00
10.18	4"X4" RECESSED JUNCTION BOX	1	EA	Two hundred forty eight dollars and zero cents	248	\$248.00

BID NO. 01 BID FORM FIRE STATION NO. . ADDENDUM NO. 2

PAVITEMDESCRIPTIONQTV.UNITUNITTOTALNuo.DESCRIPTIONQTV.UNITVIITVIITVIITVIIT10.12WEATHERAATED RECEPTACLEW/IN-USE COVER $1$ EEFifty four dollars and eighty six centsS4.86S53.6810.20SHURT TRIP $2$ EPForty seven dollars and fifty two centsS4.86S53.6910.21WALL PACKSI NMECH VARD $2$ EOne hundred fifty eight dollars and sky five centsS53.69S53.6910.22TIMER SWITCH AND JUNCTION BOX $1$ $1$ EOne hundred fifty eight dollars and sky five centsS68.2410.23UZ*CONDUTTON $1$ $1$ $1$ $1$ $1$ S53.7310.24H12 ANG CU CONDUCTOR $1$ $1$ $1$ $1$ S53.6710.25H12 ANG CU CONDUCTOR $1$ $1$ $1$ $1$ $1$ $2$ 10.26VITNUME $1$ $1$ $1$ $1$ $2$ $2$ $2$ $2$ 10.27PUT $1$ $1$ $1$ $1$ $1$ $2$ $2$ $2$ $2$ $2$ 10.28PUT $1$ $1$ $1$ $1$ $1$ $1$ $2$ $2$ $2$ $2$ $2$ $2$ 10.29PUT $1$ $1$ $1$ $1$ $1$ $1$ $2$ $2$ $2$ $2$ $2$ $2$ $2$ $2$ 10.20PUT $2$ $1$ $1$ $1$ $1$ $1$ $1$ <td< th=""><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th></td<>											
PAY ITEMDESCRIPTIONQTVUNTUNMERIC IDNUMERIC ID10.13WEATHER-RATED RECEPTACLE W/IN-USE COVER $1$ $6$ Fifty four dollars and eighty six cents $54.86$ 10.20SHUNT TRIP $2$ $6$ $7$ $7$ $74.86$ $74.52$ 10.21WALPACKS IN MECH YARD $2$ $6$ $7$ $74.86$ $74.52$ 10.22TIMER SWITCH AND JUNCTION BOX $1$ $6$ $7$ $74.86$ $74.52$ 10.23TIMER SWITCH AND JUNCTION BOX $10$ $1$ $6$ $74.76$ $74.52$ 10.24HIAR SWITCH AND JUNCTION BOX $10$ $1$ $6$ $74.76$ $74.52$ 10.23TUMER SWITCH AND JUNCTION BOX $10$ $10$ $1$ $74$ $74.52$ 10.24HIAZ SUCONDUCTOR $10$ $1$ $10$ $10$ $10$ $10$ $24.54$ 10.25HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $10$ $2.39$ 10.26HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $10$ $2.36$ 10.26HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $10$ $2.36$ 10.27HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $10$ $10$ 10.28HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $10$ $10$ 10.29HIAZ SUCONDUCTOR $10$ $10$ $10$ $10$ $10$ $100$ $1000$ $1000000000000000000$	TOTAL	\$54.86	\$95.04	\$317.30	\$68.24	\$215.27	\$585.55	\$299.52	\$182.80	\$769.60	\$34.70
PAY ITEMDESCRIPTIONQTVINITWRITTEN UNIT PRICENO10.19WEATHER-RATED RECEPTACLE W.IN-USE COVER1EFifty four dollars and eighty six cents10.10BHUNT RIP2EPonty seven dollars and eighty six cents10.21WALL PACKS IN MECH VARD2EPonty seven dollars and fifty two cents10.22IMER SWITCH AND JUNCTION BOX1EPonty seven dollars and sixty five cents10.23JZ* CONDUIT103IEPonty seven dollars and sixty five cents10.24#12 AWG CU CONDUCTOR245IITwo dollars and nine cents10.25#12 AWG CU CONDUCTOR10IIII10.26#12 AWG CU CONDUCTOR10III10.27#12 AWG CU CONDUCTOR10IIII10.28#10 AWG CU CONDUCTOR10IIII10.29#12 AWG CU CONDUCTOR10IIII10.29#12 AWG CU CONDUCTOR10IIII10.20#12 AWG CU CONDUCTOR10IIIII10.21#12 AWG CU CONDUCTOR10IIIIII10.28#10 AWG CU CONDUCTOR10IIIIIIII10.29#10 AWG AL CONDUCTOR10IIIIIIIIIIIIII <td>NUMERIC UNIT PRICE</td> <td>54.86</td> <td>47.52</td> <td>158.65</td> <td>68.24</td> <td>2.09</td> <td>2.39</td> <td>2.56</td> <td>4.57</td> <td>4.81</td> <td>3.47</td>	NUMERIC UNIT PRICE	54.86	47.52	158.65	68.24	2.09	2.39	2.56	4.57	4.81	3.47
PAY ITEM         DESCRIPTION         QTY.         UNIT           NO         WEATHER-RATED RECEPTACLE W/ IN-USE COVER         1         E           10.19         WEATHER-RATED RECEPTACLE W/ IN-USE COVER         1         E           10.20         SHUNT TRIP         2         E           10.21         WALL PACKS IN MECH YARD         2         E           10.22         TIMER SWITCH AND JUNCTION BOX         1         E           10.23         1/2" CONDUIT         103         E           10.24         #12 AWG CU CONDUCTOR         245         E           10.25         #10 AWG CU CONDUCTOR         103         E           10.26         2" CONDUIT         40         E           10.26         2" CONDUITOR         100         E           10.27         #2/0 AWG AL CONDUCTOR         160         E           10.28         #4 AWG AL CONDUCTOR         160         E           10.28         #4 AWG AL CONDUCTOR         100         E	WRITTEN UNIT PRICE	Fifty four dollars and eighty six cents	Forty seven dollars and fifty two cents	One hundred fifty eight dollars and sixty five cents	Sixty eight dollars and twenty four cents	Two dollars and nine cents	Two dollars and thirty nine cents	Two dollars and fifty six cents	Four dollars and fifty seven cents	Four dollars and eighty one cents	Three dollars and forty seven cents
PAV ITEM NO.         DESCRIPTION         QTV.           10.19         WEATHER-RATED RECEPTACLE W/ IN-USE COVER         1           10.20         SHUNT TRIP         2           10.21         WALL PACKS IN MECH YARD         2           10.22         SHUNT TRIP         2           10.23         WALL PACKS IN MECH YARD         2           10.24         WALL PACKS IN MECH YARD         2           10.25         TIMER SWITCH AND JUNCTION BOX         10           10.23         1/2" CONDUT         245           10.24         #12 AWG CU CONDUCTOR         245           10.25         #10 AWG CU CONDUCTOR         107           10.26         2" CONDUT         40           10.27         #2/0 AWG AL CONDUCTOR         10           10.28         #4 AWG AL CONDUCTOR         10           10.28         #4 AWG AL CONDUCTOR         10	UNIT	EA	EA	EA	EA	LF	Ę	Ľ	Ľ,	5	5
PAY ITEMDESCRIPTIONNO.IO.19WEATHER-RATED RECEPTACLE W/ IN-USE COVER10.10SHUNT TRIP10.20SHUNT TRIP10.21WALL PACKS IN MECH YARD10.22TIMER SWITCH AND JUNCTION BOX10.231/2" CONDUIT10.24#12 AWG CU CONDUCTOR10.25#10 AWG CU CONDUCTOR10.262" CONDUIT10.27#2/O AWG AL CONDUCTOR10.28#4 AWG AL CONDUCTOR10.28#4 AWG AL CONDUCTOR	QTY.		2	2	1	103	245	117	40	160	10
PAY ITEM NO. 10.19 10.21 10.22 10.23 10.23 10.25 10.25 10.26 10.26 10.26	DESCRIPTION	WEATHER-RATED RECEPTACLE W/ IN-USE COVER	SHUNT TRIP	WALL PACKS IN MECH VARD	TIMER SWITCH AND JUNCTION BOX	1/2" CONDUIT	#12 AWG CU CONDUCTOR	#10 AWG CU CONDUCTOR	2" CONDUIT	#2/0 AWG AL CONDUCTOR	#4 AWG AL CONDUCTOR
	PAY ITEM NO.	10.19	10.20	10.21	10.22	10.23	10.24	10.25	10.26	10.27	10.28

TOTAL BASE BID AMOUNT \$5,616,100.00

Five Million Six Hundred Sixteen Thousand One Hundred Dollars and Zero Cents

Written Base Bid Amount

5,616,100.00 Numeric Base Bid Amount

BID NO. 0.1 BID FORM FIRE STATION NO. . ADDENDUM NO. 2

\$756 530	ERNATE BID AMOUNT	TOTAL ADDITIVE ALT				
\$5,222.92	326.43	Three hundred twenty six dollars and forty three cents	5	16	6-INCH PVC ROOF DRAIN	A4.1
\$229,889.00	208.99	Two hundred eight dollars and ninety nine cents	SF	1100	BUILDING COMPLETE AND IN PLACE	A3.1
\$65.76	5.48	Five dollars and forty eight cents	5	12	24-INCH WHITE PAINTED STOP BAR	A2.1
\$5,104.00	29	Twenty nine dollars and zero cents	SY	176	8-INCH LIMEROCK BASE	A1.2
\$16,248.32	92.32	Ninety two dollars and thirty two cents	SΥ	176	6-INCH CONCRETE PAVEMENT	A1.1
TOTAL	NUMERIC UNIT PRICE	WRITTEN UNIT PRICE	UNIT	QTY.	DESCRIPTION	PAY ITEM NO.
		ALTERNATE BID				
		FIRE STATION NO. 39				

Two Hundred Fifty-Six Thousand Five Hundred Thirty Dollars and Zero Cents Written Additive Alternate Bid Amount

\$256,530.00 Numeric Additive Alternate Bid Amount

\$256,530

Name

Javed Patel

FIRE STATION NO. 39	BID NO. 01-23
- ADDENDUM NO. 2	- BID FORM

7

PAY ITEM NO.	DESCRIPTION	QTY. U	TIN	WRITTEN UNIT PRICE	NUMERIC UNIT PRICE	TOTAL
1.0- GENER	AL CONSTRUCTION OPERATIONS (Only for Site & Civil Scope of Work)					
1.1	MOBILIZATION, DEMOBILIZATION, BONDS & PERMITS (5%)	4	LS	Seventy Six Thousand Three Hundred Sixty Dollars and Thirty Nine Cents	\$76,360.39	\$76,360.39
1.2	MAINTENANCE OF TRAFFIC	4	ſ	Seventeen Thousand Dollars	\$17,000.00	\$17,000.00
1.3	SUPERVISION	1	S	Forty Five Thousand Two Hundred Five Dollars and Thirty Three Cents	\$45,205.33	\$45,205.33
1.4	PROJECT CLOSE-OUT	1	ม	Ten Thousand Dollars	\$10,000.00	\$10,000.00
1.5	SURVEY AND ASBUILT	1	ม	Forty Thousand Dollars	\$40,000.00	\$40,000.00
2.0-EARTH	WORK AND SITE PREPARATION					
2.1	CLEARING & GRUBBING	2.1	AC	Fifty Six Thousand One Hundred Forty Dollars and Sixty Six Cents	\$56,140.67	\$117,895.40
2.2	PREPARE, IMPLEMENT & MAINTAIN SWPPP	1	۲	Forty Six Thousand Four Hundred Seventy Six Dollars and Twenty Six Cents	\$46,476.26	\$46,476.26
2.3	FINAL GRADING	0669	ą	Three Dollars and Thirty One Cents	\$3.31	\$23,166.36
2.4	POND EXCAVATION	1698	Q	Eleven Dollars and Sixty Nine Cents	\$11.6 <b>9</b>	\$19,853.27
2.5	SOD	1810	YS	Four Dollars and Eighty Eight Cents	\$4.88	\$8,832.80
2.6	SEEDING	6043	YS	and Sixty One Cents	\$0.61	\$3,686.23
2.7	SEGMENTAL RETAINING WALL	1250	S⊧	Eighty Seven Dollars and Thirty Two Cents	\$87.32	\$109,151.11
2.8	IMPORT FILL	9524	Q	Twenty Two Dollars and Ninety Four Cents	\$22.95	\$218,533.26
3.0 - PAVEN	1ENT					
3.1	12-INCH COMPACT AND PREPARE HEAVY-DUTY SUBBASE	1,724	Y	Fourteen Dollars and Ninety Three Cents	\$14.94	\$25,753.77
3.2	8-INCH HEAVY-DUTY LIMEROCK BASE	1,641	Y	Twenty Nine Dollars and Twelve Cents	\$29.12	\$47,785.92
3.3	12-INCH COMPACT AND PREPARE LIGHT-DUTY SUBBASE	947	Y	Fourteen Dollars and Ninety Two Cents	\$14.93	\$14,138.10
3.4	6-INCH LIGHT-DUTY LIMEROCK BASE	863	YS	Twenty Four Dollars and Fifty Six Cents	\$24.56	\$21,195.28
3.5	2-INCH HEAVY-DUTY ASPHALT PAVEMENT	174	Tz	Two Hundred Thirty Nine Dollars and Forty Five Cents	\$239.46	\$41,665.40
3.6	1.5-INCH LIGHT-DUTY ASPHALT PAVEMENT	67	TN	Two Hundred Seventy Six Dollars and Six Cents	\$276.06	\$18,496.03
3.7	12-INCH COMPACT AND PREPARE SUBBASE	1,042	YS	Fourteen Dollars and Seventy Three Cents	\$14.73	\$15,348.66
3.8	6-INCH CONCRETE RIGID PAVEMENT	1,042	Y	One Hundred Forty Five Dollars and Thirty One Cents	\$145.31	\$151,413.02
3.9	D CURB	1000	5	Twenty One Dollars and Ninety Six Cents	\$21.96	\$21,960.00
3.10	RIBBON CURB	50	5	Thirty Six Dollars and Sixty Cents	\$36.60	\$1,830.00
3.11	4-INCH SIDEWALK	167	SX	Fifty Dollars and Sixteen Cents	\$50.17	\$8,361.02
3.12	4-INCH CONCRETE PAD WITH REBAR	24	Y	In Item 8.1 - Building Complete & In Place	\$0.00	\$0.00

**BID FORM** 

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FIRE STAT	BI
ION NO. 39 -	D NO. 01-23
ADDENDUM NO. 2	- BID FORM

1

				ŀ		
\$4,294.40	\$4,294.40	Four Thousand Two Hundred Ninety Four Dollars and Forty Cents	S	н	CLEAN STORM PIPE (18" AND ABOVE)	5.13
\$23,493.64	\$23,493.64	Twenty Three Thousand Four Hundred Ninety Three Dollars and Sixty Four Cents	รา	1	STORM DEWATERING	5.12
\$4,474.10	\$4,474.10	Four Thousand Four Hundred Seventy Four Dollars and Ten Cents	SI	ц	FITTINGS	5.11
\$9,359.00	\$9,359.00	Nine Thousand Three Hundred Fifty Nine Dollars	EA	1	FLOATING POND FOUNTAIN	5.10
\$1,752.00	\$1,752.00	One Thousand Seven Hundred Fifty Two Dollars	S	ы	LITORAL PLANTINGS	5.9
\$15,094.88	\$7,547.44	Seven Thousand Five Hundred Forty Seven Dollars and Forty Four Cents	EA	2	MANHOLE	5.8
\$17,699.13	\$5,899.71	Five Thousand Eight Hundred Ninety Nine Dollars and Seventy One Cents	EA	ω	TYPE C INLET	5.7
\$4,168.00	\$52.10	Fifty Two Dollars and Ten Cents	ĥ	8	8-INCH PVC ROOF DRAIN	5,6
\$3,240.54	\$1,080.18	One Thousand Eighty Dollars and Eighteen Cents	EA	ω	6-INCH ROOF DRAIN CLEANOUT	5.5
\$17,323.74	\$45.83	Forty Five Dollars and Eighty Three Cents	ĥ	378	6-INCH PVC ROOF DRAIN	5.4
\$27,596.80	\$3,449.60	Three Thousand Four Hundred Forty Nine Dollars and Sixty Cents	EA	00	18-INCH PIPE MITERED END SECTION (MES)	5.3
\$43,231.92	\$88.59	Eighty Eight Dollars and Fifty Nine Cents	Ţ.	488	18-INCH RCP PIPE	5.2
\$6,916.56	\$82.34	Eighty Two Dollars and Thirty Four Cents	۲'n	84	18-INCH HDPE PIPE	5.1
					MWATER	5.0 - STOR
\$12,002.29	\$12,002.29	Twelve Thousand Two Dollars and Twenty Nine Cents	2	4	PAVEMENT MARKING AND SIGN	4.5
I	1	See Below	sا	1	PAVEMENT MARKINGS	4.4
00.00	\$0-00	NA	EA	2	BEACON/AC POWERED	4.3
\$0.0A	00-0ft	A	EA	2	BEACON SIGN AND POST	4.2
50.00	\$0,0¢	2 A	EA	9	STOP/STREET SIGN	4.1
				New York	NG AND PAVEMENT MARKINGS	4.0-SIGNI
\$793.96	\$0.92	and Ninety Two Cents	YS	863	PRIME AND SAND (LIGHT DUTY)	3.2
\$1,509.72	\$0.92	and Ninety Two Cents	YS	1,641	PRIME AND SAND (HEAVY DUTY)	3.19
\$0.00	\$0.00	In Item 8.1 - Building Complete & In Place	EA	1	FLAGPOLE	3.18
\$0.00	\$0.00	In Item 8.1 - Building Complete & In Place	EA	21	BOLLARD	3.17
\$2,196.00	\$2,196.00	Two Thousand One Hundred Ninety Six Dollars	EA	1	ADA RAMP	3.16
\$0.00	あ。200	no[A	EA	10	WHEEL STOP	3.15
\$0.00	\$0.00	In Item 8.1 - Building Complete & In Place	ΥS	44	12-INCH CONCRETE PAD WITH REBAR	3.14
\$0.00	\$0.00	In Item 8.1 - Building Complete & In Place	ΥS	30	6-INCH CONCRETE PAD WITH REBAR	3.13
TOTAL	NUMERIC UNIT PRICE	WRITTEN UNIT PRICE	UNIT	QTY.	DESCRIPTION	PAY ITEM NO.

**BID FORM** 

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## BID NO. 01-23 - BID FORM FIRE STATION NO. 39 - ADDENDUM NO. 2

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PAY ITEM	DESCRIPTION	017. U	WRITTEN UNIT PRICE	NUMERIC UNIT	TOTAL
5.14	TV STORM PIPE (18" AND ABOVE)	н г	S Three Thousand Eight Hundred Six Dollars and Forty Cents	\$3,806.40	\$3,806.40
5.15	OPEN CUT AND REPAIR	4	S Thirty Thousand Six Hundred Twenty Eight Dollars and Four Cents	\$30,628.04	\$30,628.04
6.0 - WATER	RMAIN				
6.1	2-INCH PVC WATER SERVICE LINE	300	F Seventeen Dollars and Fifty Nine Cents	17.59	\$5,277.00
6.2	2-INCH X 8-INCH TEE	1		100-00	00.01
6.3	2-INCH 45-DEGREE BEND	6 E	NA	\$0.00	0°.0\$
6.4	8-INCH PVC WATER SERVICE LINE	200	F Fifty Eight Dollars and Twenty Two Cents	\$58.22	\$11,644.73
6.5	12-INCH X 12-INCH X 8-INCH TEE	1 8		00 Oft	00.00
6.6	12-INCH PLUG	1	A NA	\$0-0€	C0.0H
6.7	8-INCH 45-DEGREE BEND	4	A NA	00,0¢	60.00
6.8	FIRE HYDRANT	2	A Eight Thousand Seven Hundred Sixty Six Dollars and Eighteen Cents	8766.18	\$17,532.36
6.9	DOUBLE DETECTOR BACK FLOW PREVENTER	2	A Forty One Thousand Thirty Seven Dollars and Ninety Nine Cents	\$41,038.00	\$82,075.99
6.10	METER	2	A OJA	\$0, 00	\$0,00
6.11	6-INCH PVC WATER SERVICE LINE	120	.F Forty Dollars and Thirty Cents	\$40.30	\$4,836.00
6.12	6-INCH 45-DEGREE BEND	4	A NA	\$0.00	CO-O#
6.13	8-INCH X 6-INCH REDUCER	4	AA N/A	50.00	\$0.00
6.14	4-INCH PVC FDC SERVICE LINE	220	.F Thirty Seven Dollars and Forty Four Cents	\$37.44	\$8,236.80
6.15	4-INCH 90-DEGREE BEND	2		\$ 00	\$0.00
6.16	4-INCH 45-DEGREE BEND	2	NA	\$0,00	00.09
6.17	FIRE DEPARTMENT CONNECTION ASSEMBLY	4	A Five Thousand Six Hundred Sixty Three Dollars and Forty Three Cents	\$5,663.43	\$5,663.43
6.18	CONNECT TO EXISTING WM STUB	4	One Thousand Four Dollars and Ninety Nine Cents	\$1,004.99	\$1,004.99
6.19	TEMPORARY JUMPER	1	LS Two Thousand Five Hundred Fifty Seven Dollars and Sixty Cents	\$2,557.60	\$2,557.60
6.20	BFP CERTIFICATION	4	LS Three Hundred Sixty Dollars	\$360.00	\$360.00
6.21	FITTINGS - WATER	4	Four Thousand Eight Dollars and Thirty Cents	\$4,008.30	\$4,008.30
6.22	PRESSURE TESTING	4	One Thousand Five Hundred Fifty Five Dollars and Twenty Cents	\$1,555.20	\$1,555.20
6.23	CHLORINATION AND BACTERIAL TESTING	1	LS Three Thousand Five Hundred Thirty Six Dollars and Sixty Four Cents	\$3,536.64	\$3,536.64
6.24	FIRE PERMIT	4	LS Seven Thousand Two Hundred Sixty Dollars and Seventy Five Cents	\$7,260.75	\$7,260.75
6.25	BFP CERTIFICATION	4	LS Three Hundred Sixty Dollars	\$360.00	\$360.00

**BID FORM** 

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## BID NO. 01-23 - BID FORM FIRE STATION NO. 39 - ADDENDUM NO. 2

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				$\left  \right $	$\left  \right $		
\$11,659.31	\$11,659.31	nd Six Hundred Fifty Nine Dollars and Thirty One Cents	Eleven Thousa	<del>ک</del> ا	4	RESTORATION	7.19
\$13,873.39	\$13,873.39	Eight Hundred Seventy Three Dollars and Thirty Nine Cents	Thirteen Thousand	یا	4	OPEN CUT AND REPAIR	7.18
\$4,162.15	\$4,162.15	nd One Hundred Sixty Two Dollars and Fifteen Cents	Four Thousa	S	1	FORCE MAIN TESTING	7.17
\$3,333.20	\$3,333.20	1 Three Hundred Thirty Three Dollars and Twenty Cents	Three Thousand	N	1	FITTINGS	7.16
\$33,936.50	\$29.51	Twenty Nine Dollars and Fifty One Cents		\$0 LF	1,15	1.25" PVC S80	7.15
\$3,685.51	\$3,685.51	nd Six Hundred Eighty Five Dollars and Fifty One Cents	Three Thousar	S	14	CONNECT TO EX. MANHOLE	7.14
\$1,186.82	\$1,186.82	One Hundred Eighty Six Dollars and Eighty Two Cents	One Thousand	ม	<b>P</b>	LOW PRESSURE TEST (PIPE ONLY)	7.13
\$4,505.22	\$4,505.22	nd Five Hundred Five Dollars and Twenty Two Cents	Four Thousa	ม	1	CLEAN AND TV SEWER PIPE	7.12
\$6,271.45	\$6,271.45	wo Hundred Seventy One Dollars and Forty Five Cents	Six Thousand T	EA	4	1-1/4-INCH AIR RELEASE VALVE	7.11
\$868.79	\$868.79	ndred Sixty Eight Dollars and Seventy Nine Cents	Eight Hun	EA	1	1-1/4-INCH GATE VALVE	7.10
\$0.00	\$0.00	NA		EA	14	1-1/4-INCH 90-DEGREE BEND	7.9
00.0đ	\$0.00	NA		EA	ω	1-1/4-INCH 11.5-DEGREE BEND	7.8
£0.0₫	\$0.00	NIA		EA	ω	1-1/4-INCH 45-DEGREE BEND	7.7
CO.00	00.00	NA		0 LF	1,15	1-1/4-INCH DR18 PVC FORCE MAIN	7.6
\$11,764.91	\$11,764.91	Seven Hundred Sixty Four Dollars and Ninety One Cents	Eleven Thousand	EA	1	OIL/WATER SEPARATOR	7.5
\$1,274.93	\$1,274.93	o Hundred Seventy Four Dollars and Ninety Three Cents	One Thousand Tw	EA	1	4-INCH WYE	7.4
\$8,710.44	\$108.88	lundred Eight Dollars and Eighty Eight Cents	One H	۳	80	4-INCH PVC GRAVITY LINE	7.3
\$3,353.85	\$1,117.95	One Hundred Seventeen Dollars and Ninety Five Cents	One Thousand C	EA	ω	4-INCH CLEANOUT	7.2
\$109,084.02	\$109,084.02	I Nine Thousand Eighty Four Dollars and Two Cents	One Hundred	۲	1	GRINDER PUMP	7.1
						NRY SEWER	7.0 - SANITAI
\$2,722.50	\$2,722.50	Seven Hundred Twenty Two Dollars and Fifty Cents	Two Thousand	IJ	1	PRESSURE TESTING	6.29
\$9,207.49	\$9,207.49	d Two Hundred Seven Dollars and Forty Nine Cents	Nine Thousan	ß	р	FITTINGS - FIRE	6.28
\$3,234.25	\$3,234.25	wo Hundred Thirty Four Dollars and Twenty Five Cents	Three Thousand T	ß	1	4" IN BUILDING RISER	6.27
\$3,593.62	\$3,593.62	Five Hundred Ninety Three Dollars and Sixty Two Cents	Three Thousand F	ม	ц	6" IN BUILDING RISER	6.26
TOTAL	NUMERIC UNIT PRICE	WRITTEN UNIT PRICE		UNIT	QT V	DESCRIPTION	PAY ITEM NO.

FIRE STATION NO. 39 - ADDENDUM NO. 2	
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		See Below	2 EA		SHUNT TRIP	10.20
		See Below	1 EA		WEATHER-RATED RECEPTACLE W/ IN-USE COVER	10.19
		See Below	1 EA		4"X4" RECESSED JUNCTION BOX	10.18
		See Below	1 EA		UTILITY METER/CT. CABINET	10.17
		see Below	L EA		BUILDING SPOT LIGHT	10.16
		See Relow	EA		FLAGPOLE LIGHTS	10.15
		See Below	0 5	<u>л</u>	3/4" CONDUIT	10.14
		See Relow	5	6	#4 CU GROUND	10.13
		See below	EA		REMOVABLE BOLLARDS	10.12
		see Below	90 FF	8	#4/0 AWG AL CONDUCTOR	10.11
		sec below	56 LF	18	400KCMIL AL CONDUCTOR	10.10
		See Below	EA		UTILITY XEMR PAD	10.9
		sec below	4 5	26	3" CONDUIT	10.8
		sec below	5.	22	1-1/2" CONDUIT	10.7
		Sec below	EA	4	100A DISCONNECT SWITCH	10.6
		See Below	EA	1	H-FRAME RACK	10.5
		see below	30 LF	118	4" CONDUIT	10.4
		see below	EA	3	36"X36"X36" FLUSH GRADE PULLBOX	10.3
		see beloa	EA	7	11"X18"X12" FLUSH GRADE PULLBOX	10.2
		Sec Below	1	92	1" CONDUIT	10.1
					TRICAL SITE	0.0 - ELECTR
\$12,361.00	\$47.00	Forty Seven Dollars	3	26	6-FT VINYL FENCE	9.3
\$23,169.00	\$23,169.00	Twenty Three Thousand One Hundred Sixty Nine Dollars	IJ	1	IRRIGATION	9.2
\$72,291.00	\$72,291.00	Seventy Two Thousand Two Hundred Ninety One Dollars	۲	1	LANDSCAPING	9.1
		0	N. N. PARTE		CAPE AND IRRIGATION	0- LANDSC
\$172345, OC	\$172345	ie Hindred Seventy two Thomson Three Hundred takes the	EA		GENERATOR	8.2
H2,739,215,65	8C-FOSH	tive Hundred Seven dollars and twenty eight laws	0 S⊧	540	BUILDING COMPLETE AND IN PLACE	8.1
					NG	O-BUILDIN
TOTAL	NUMERIC UNIT PRICE	WRITTEN UNIT PRICE	·. UNIT	Q	DESCRIPTION	PAY ITEM NO.

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**BID FORM** 

FIRE STATION NO. 39 BID NO. 01-23 - ADDENDUM NO. 2

BIG Amount	It Cards Numeric Bas	howard five Hundred Thirdy Sever Sellars & Mighely eight	<u>N</u>	Six Million Two Aundred Fify?	
256,537.98		TOTAL BASE			
301,640,47	1,501,60,474	One Hill, Three Hundred One Thousand Sir Hundred Toring I Party seven Cents 1	21	11.2 GC's + GR's + Insurance + Fee + P&P Bond +Builders Risk 1	4
1954,897,52	1959397-524	nour Millon, Nine Hundred Afty four Thansach Eight Hundred Kunkersen	۲	11.1 Total Cost of Work 1	11.
				1.0 - Other Items	11.0-0
00,785,1906	Porse, Paci	tor above total electrical site	5	10.28 #4 AWG AL CONDUCTOR 10	10.;
		see below	5	10.27 #2/0 AWG AL CONDUCTOR 16	10.2
		See Below	5	10.26 2" CONDUIT 40	10.2
		See belog	5	10.25 #10 AWG CU CONDUCTOR 11:	10.2
		see Below	5	10.24 #12 AWG CU CONDUCTOR 245	10.2
		See Below	я.	10.23 1/2" CONDUIT 103	10.2
		see below	EA	10.22 TIMER SWITCH AND JUNCTION BOX 1	10.2
		See Below	EA	10.21 WALL PACKS IN MECH YARD 2	10.2
TOTAL	NUMERIC UNIT PRICE	WRITTEN UNIT PRICE	UNIT		NO NO

8

BID NO. 01-23 - BID FORM FIRE STATION NO. 39 - ADDENDUM NO. 2

sbites 1

Executive Vice President

Bernardo Perez Name

**BID FORM** 

FIRE STATION NO. 39 BID NO. 01-23 - ADDENDUM NO. 2

# BID NO. 01-23 - BID FORM FIRE STATION NO. 39 - ADDENDUM NO. 2

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A5.1.2	A5.1.1	A5,1 - Othe	A4.1	A3.1	A2.1	A1.3	A1.2	A1.1	PAY ITEM NO.			PAY ITEM NO.
GC's + GR's + Insurance + Fee + P&P Bond +Builders Risk	Total Cost of Work	er Rems	6-INCH PVC ROOF DRAIN	BUILDING COMPLETE AND IN PLACE	24-INCH WHITE PAINTED STOP BAR	12-INCH COMPACT AND PREPARE LIGHT-DUTY SUBBASE	8-INCH LIMEROCK BASE	6-INCH CONCRETE PAVEMENT	DESCRIPTION			DESCRIPTION
1	4		112	1100	12	176	176	176	QTY.			QTY.
۲	ភ		Ϋ́	S⊧	ĥ	SY	YS	YS	UNIT			UNIT
(way swen Thousand One Hindreds holy seven laters of third Erster	here Hindred & Fylour Thousand wine Hindred Mindly Sire dollarst ant and		One Hundred Twenty Dollars and Forty One Cents	wo Hundred & Thirly Tives Twenty Two Canto.	Two Hundred Three Dollars and Thirty Three Cents	Fourteen Dollars and Ninety Four Cents	Twenty Nine Dollars and Twelve Cents	One Hundred Forty Five Dollars and Thirty One Cents	WRITTEN UNIT PRICE	ALTERNATE BID	FIRE STATION NO. 39	WRITTEN UNIT PRICE
sc thite	357,996.49		\$120.42	1-ce .55CM	\$203.33	\$14.94	\$29.12	\$145.31	NUMERIC UNIT PRICE			NUMERIC UNIT PRICE
35-771,72	354,996,49		\$13,486.69	89.044,356	\$2,440.00	\$2,629.44	\$5,125.12	\$25,574.56	TOTAL			TOTAL

Three Hundred Eighty Two Thousand One Hundred 5 Torty Three Pollars "Eighty Seven cents Bernardo Perez C racer Executive Vice President Numeric Additive Alternate Bid Amount J382, +8, EH

TOTAL ADDITIVE ALTERNATE BID AMOUNT \$ 283-143.84

Name

Page 38

**BID FORM** 

Work shall be completed as specified in its <u>entirety</u> for the total amount of:

\$ 5,646,598 (Use Numbers)

Five-Million, Six-Hundred Forty-Six

Thousand, Five-Hundred Ninety-Eight Dollars and Use Words)
 Add Alternate for additional bay: \$233,405
 At the following unit prices: See Bid Form Sheets

I certify that work shall be completed as specified in its entirety within **Three Hundred** (300) calendar days of Notice to Proceed.

The City reserves the right to reject any or all proposals, to waive informalities, and to accept all or any part of any proposal as they may deem to be of the best interest of the City. Acknowledgement is hereby made of the following Addenda received since issuance of Plans and Specifications:

Addendum No1	Dated: <u>3/16/23</u>	Addendum No.	Dated:
Addendum No. 2	Dated:3/24/23	Addendum No	Dated:
Addendum No	Dated:	Addendum No.	Dated:

Attached he	eto is a cashier's check on the	
	Bank of	
	or Bid Bond for the sum of5% of Bid Value	2
	Dollars	
(\$	), made payable to the City of DeBary, Florida.	ر. الآ
	SHAWN CASEY L.S.	
	(Name of Bidder) (Affix Seal)	A. S.
	(Signature of Officer)	
	President L.S.	
	(Title of Officer)	

Fire Station No. 39 Bid No. 01-23 Page 22

<u>11 – Proposal</u>

Federal Employer Identification Number	22-3921381		
Address:621 WILKS AVENUE			1
City: ORLANDO	State:FL	_ Zip:32809	
Phone: ( <u>407</u> ) _ 407-240-6775	Fax: ( <u>407)240-6616</u>		

The full names and residences of persons and firms interested in the foregoing bid, as principals, are as follows:

Shawn Casey - President

r

Ian Casey - Corporate Secretary

Name of the executive who will give personal attention to the work: Shawn Casey

Attach list of subcontractors as required by Article 7 of Instruction to Bidders.

– END OF PROPOSAL –

<u>11 – Proposal</u>

Project Nam Project Addr	e: ess:	City of DeBary Fire Station #39 Ft. Florida Road, DeBary, FL 32713		3/31@	0 11	lam	
SACC Project County / AH. Building Squ	t Number: J: are Footage	23-5298 City of DeBary 5683	523				
Division	Cost Code	Description / Division		Value	T	Cost/SF	
01	MULTI	Supervision	\$	156,090	\$	27.47	
01	MULTI	General Conditions	\$	53,130	\$	9.35	
01	01-740	Final Cleaning	\$	1,875	\$	0.33	
02	02-111	Selective Demolition	\$	31,869	\$	5.61	
02	02-200	Site Work	\$	1,949,658	Ś	343.07	
02	02-800	Landscaping & Irrigation	\$	77.795	Ś	13.69	
02	02-710	Fencing	\$	11.542	Ś	2.03	
03	03-100	Concrete	Ś	143.636	Ś	25.27	
04	04-200	Masonry	\$	219.040	Ś	38.54	
05	05-120	Structural Steel	\$	191.400	Ś	33.68	
05	05-500	Miscellaneous Metals	Ś	18.667	Ś	3.28	
06	06-100	Rough Carpentry	Ś	11.715	Ś	2.06	
06	06-220	Millwork	Ś	31.714	Ś	5.58	
07	07-900	Caulking & Damp-proofing	\$	9.158	Ś	1.61	
07	07-310	Roofing	\$	408.100	Ś	71.81	
08	08-100	Doors, Frames, & Hardware	Ś	157.347	Ś	27.69	
08	08-400	Glass & Glazing	\$	53,755	Ś	9.46	
09	09-2400	Stucco	\$	52.916	Ś	9.31	
09	09-2900	Framing & Drywall	\$	152,900	Ś	26.90	
09	09-5113	Acoustical Treatment	\$	12.045	Ś	2.12	
09	09-3013	Flooring	\$	37,629	Ś	6.62	
09	09-9300	Painting	\$	32,170	\$	5.66	
10	10-800	Specialties	\$	9,154	\$	1.61	
10	10-440	Signage	\$	3,489	Ś	0.61	
10	10-730	Awnings	\$	46,310	\$	8.15	
12	12-600	Furnishings	\$	8,873	Ś	1.56	
21	21-1000	Fire Protection	\$	34,119	\$	6.00	
22	22-0000	Plumbing	\$	275,000	Ś	48.39	
23	23-0500	Mechanical	\$	428,080	Ś	75.33	
26	26-010	Electrical	\$	822,118	Ś	144.66	
28	28-3100	Low Voltage	\$	103,448	Ś	18.20	
		Subto	al \$	5,544,741	Ś	975.67	
		Bond 0.95	% \$	52.675	Ś	9.27	
		Subtot	al Ś	5,597,416	Ś	984 94	
		Pern	it Ś	49.182	Ś	8.65	
		Tot	alts	5.646 598	¢	992 50	

Alternate Number	Description	Value
ALT 1	To include the future apparatus bay in the scope of work (~1,290 SF)	\$ 233,405

IBID OPENING RESULTSCompanyRFQ No. 08-2023CompanyBid Proposal AmountMarton-Smith, Inc.\$McCree Design Builders, Inc\$Mulders, Inc\$SNulders, IncSNulders, IncSNulder
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City of DeBary
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RFQ 08-23 CMAR Services Fire Station #39
Evaluation Rankings
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# NOTICE OF INTENDED DECISION

for

# BID #08-23

# CMAR SERVICES FIRE STATION #39

September 15, 2023

This notice is to inform all respondents to the above referenced solicitation of the City of DeBary's intent to submit award recommendation to the City Council for approval to:

Wharton-Smith, Inc.

This letter is not to be construed as the final award of the contract.

Failure to file a protest within the time prescribed in section 120.57(3), Florida Statutes, or failure to post the bond or other security required by law within the time allowed for filing a bond shall constitute a waiver of proceedings under chapter 120, Florida Statutes.

Thank you for participating in our formal solicitation process.

Mike Jones Purchasing Manager

# CONTRACT FOR CONSTRUCTION MANAGEMENT/GENERAL CONTRACTING SERVICES FOR PRE-CONSTRUCTION PHASE SERVICES FOR FIRE STATION #39

Between

THE CITY OF DEBARY

AND

WHARTON-SMITH, INC.

**Contract No.** 

RFQ 08-2023

# CONTRACT FOR CONSTRUCTION MANAGEMENT/GENERAL CONTRACTING SERVICES

# PRECONSTRUCTION PHASE SERVICES

This Contract for Construction Management/General Contracting Services for Preconstruction Phase Services for the Fire Station #39 on the City of DeBary Public Services Department Campus (hereinafter the "Contract"), by and between the City of DeBary, Florida, a Florida municipal corporation, whose address is City of DeBary, 16 Colomba Road, DeBary, Florida 32713 (hereinafter the "City") and Wharton-Smith, Inc., 750 Monroe Road, Sanford, FL 32771 (hereinafter the "Construction Manager/General Contractor or "CM/GC").

# RECITALS

WHEREAS, the City intends to design and construct Fire Station #39 with related site improvements. The City intends to construct the project via the Construction Manager/General Contractor (CM/GC) procurement process. Therefore, the selected CM/GC will be required to work cooperatively with the Architect/Engineer throughout design and ultimately construction, in accordance with the Design prepared by the Architect/Engineer" or "A/E"). The work described in this paragraph is hereinafter collectively referred to as the "Project"; and

WHEREAS, the City desires the services of the CM/GC to provide expert estimating and pricing, technical evaluation and other advisory services during the preconstruction phase of the Project, as stipulated herein; and

WHEREAS, it has been determined that the execution of this Contract is beneficial to the people of the City of DeBary.

NOW, THEREFORE, in consideration of the foregoing recitals, which are incorporated herein by reference, and other specific consideration set forth in this Contract, the receipt and sufficiency of which is acknowledged by CM/GC and City, the parties agree and stipulate as follows:

# ARTICLE 1

# GENERAL DEFINITIONS

**1.0** For this Contract and any incorporated exhibits, certain terms, phrases, words and their respective derivations will have the meaning set forth and defined therein and shall be applicable in both. Definition of terms in the Contract shall first be governed by this Contract and second by the incorporated Scope of Services/Work (Exhibit A). In the event of any conflict among the foregoing, the conflict will be resolved in the order of priority set forth in the preceding sentence. If there is no applicable definition as described above, the terms, phrases, and words, and their respective derivations when used in this Contract and the Scope of Service, will have the meanings ascribed to them in Merriam-Webster's Collegiate Dictionary (Merriam-Webster, Inc., 11th ed., 2020, or any subsequent edition).

# **1.1** ACCEPTANCE, FINAL ACCEPTANCE

A formal action by the City of accepting the Work as being complete after certification by

the City Representative or his designee of final completion.

## 1.2 ADDENDUM

A written explanation, interpretation, change, correction, addition, deletion, or modification of equal dignity herewith affecting the Contract Documents including drawing and specifications prepared by the CM/GC, approved and issued by the City and/or distributed to third parties

#### 1.3 AFFIDAVIT

The instrument which is to be signed by the Contractor or CM/GC and submitted to the City upon the City's request through the Project Manager, upon completion of the Work, showing that all bills have been paid. It shall also mean such instrument that may be requested by the City incidental to partial payments.

#### 1.4 AGENCY

The State, a State agency, a municipality, a political subdivision, a school district, or a school board. The term "agency" does not extend to a nongovernmental developer that contributes public facilities to a political subdivision under Florida Statutes §380.06 or 163.3220-163.3243.

#### 1.5 AMENDMENT

An amendment to this Contract in writing by the City, approved by the Public Services Director, and signed by the City of equal dignity herewith authorizing an addition, deletion, or revision in the Scope of Work, adjustment in the Contract Price or the time for completion that is issued after execution of this Contract.

# **1.6** APPLICATION FOR PROGRESS PAYMENT

The current estimate form furnished and certified by the CM/GC, Construction Manager, or General Contractor which is to be used by the foregoing in requesting progress payments for work performed in the Project.

#### **1.7** CALENDAR DAY

Any day, including Saturdays, Sundays, and holidays regardless of weather conditions.

## **1.8** CHANGE ORDER

A written order to the CM/GC signed by the City or its designated representative(s) as specified in the Contract Documents authorizing an addition, deletion, or revision in the work, or an adjustment in the contract price or time.

#### 1.9 COMPENSATION

The amount paid by the City to CM/GC for professional services regardless of whether stated as compensation or stated as hourly rates, overhead rates, or other figures or formulas from which compensation can be calculated which includes the total monies payable to the CM/GC under this Contract which includes all services, labor, materials,

supplies, travel, training, profit, overhead, costs, expenses, and any other costs necessary to complete the Scope of Work.

#### **1.10** COMPLETION DATE

The date that the City or its designated representative approves and accepts all Work or Services for a Scope of Work or this Contract.

#### 1.11 CONSENT OF SURETY OF FINAL PAYMENT

A document from the CM/GC's surety indicating that said surety has either made a careful examination of the books and records of the CM/GC, or received the CM/GC's affidavit, which satisfies the surety that all claims for labor and materials have been satisfactorily settled, and therefore approve final payment to the CM/GC.

#### 1.12 CONSTRUCTION

All labor, services, and materials provided in connection with the alteration, repair, demolition, construction, reconstruction, or any other improvements to real property.

# 1.13 CONSTRUCTION MANAGER/GENERAL CONTRACTOR

These terms shall be synonymous with "Construction Manager" and/or "General Contractor" and "CM/GC." The CM/GC is the entity identified as such throughout this Contract and is referred to as if singular in number and neutral in gender. The term "CM/GC" means the CM/GC or his representative.

#### 1.14 CONSULTANT

The professional architectural firm of Neel-Schaffer . Also referred to herein as the A/E.

# 1.15 CONTRACT

This binding agreement between the City and CM/GC, with binding legal force, covering the work to be performed in exchange for money.

#### **1.16** CONTRACT ADMINISTRATOR

The City's Public Services Director or his designee responsible for addressing any concerns within this Contract.

#### 1.17 CONTRACT BONDS

The securities (Performance and Payment Bonds) furnished by the CM/GC and the surety as a guarantee that the CM/GC will fulfill the terms of the contract in accordance with the specifications, drawings, and other contract documents.

# 1.18 CONTRACT DOCUMENTS

The contract documents comprise the entire contract and its attached exhibits and addenda between the City and the CM/GC that are attached to this contract, are made part of this contract, and includes, but are not limited to, the following:

- (1) This Contract ("Basic Contract');
- (2) Exhibits;
- (3) Any valid modifications or Amendments to this Contract issued after its execution of this Contract, and any Amendments to the foregoing;
- (5) Certificates of insurance;
- (6) Notice of Award and/or Notice to Proceed;
- (7) The conditions of this Contract (general, special, supplementary, and other);
- (8) Drawings;
- (9) Project specifications;
- (10) Written interpretations;
- (11) Change orders;
- (12) Project manuals; and
- (13) Addenda (including RSQs, RFPs and Consultant's responses to RFPs) issued before the execution of this Contract.

# 1.19 CONTRACT PRICE

The total monies payable to the CM/GC under the contract documents for a project.

# **1.20** CONTRACT TIME

The number of consecutive days of the contract for the completion of the work.

#### 1.21 CONTRACTOR

The person or entity qualified to perform work pursuant to Florida Statutes §489.105, under the Project and who is registered and licensed under the Florida Department of Business and Professional Regulation and in compliance with local laws or ordinances, other than a materialman or laborer, who enters into a contract with the City for improving real property in accordance with the Contract Documents.

# 1.22 CM/GC PROJECT MANAGER OR PROJECT MANAGER

The individual responsible for the day-to-day administration of the project for the CM/GC.

# 1.23 CM/GC'S RELEASE

A document wherein the CM/GC acknowledges receipt of full and final payment from the City in complete satisfaction of all the City's obligations under the contract and which releases and discharges City and the architect/engineer from all claims and demands arising from the work performed pursuant to the contract documents.

# 1.24 CITY

Shall mean the City of DeBary, Florida.

# 1.25 CITY PROJECT MANAGER OR PROJECT MANAGER

The City employee or authorized representative of the architect/engineer who is assigned to the Project and is responsible for the day-to-day administration of the Project for the City. The City may change the project manager at any time by providing notice to the CM/GC.

## **1.26** CITY REPRESENTATIVE

Also known as the Owner's representative who is the City Engineer or person designated by the City to review, approve and make decisions regarding the scope of work.

#### **1.27** DAY

A calendar day of twenty-four hours measured from midnight to the next midnight.

#### **1.28** DELIVERABLE

The result(s) or end products or services of a Project that meet the defined design or construction specifications, warranties, and functional parameters articulated in the Scope of Work for this Contract which, e.g., include but are not limited to: design drawings\specifications, structures, equipment, machinery, studies, reports, written documentation, training, systems or processes.

## **1.29** DIRECT LABOR COST

Represent those actual costs, exclusive of overhead and profit, reasonably and necessarily incurred and paid by the CM/GC in the construction performance phase services of this Contract, from the date of the Notice to Proceed until the completion of the Project, for payroll payments made to its employees working on the Project site, as described, and defined in the Contract Documents.

## 1.30 DRAWINGS/PLANS

The official approved drawings or plans or exact reproductions thereof, which have been prepared and signed and sealed by an architect/engineer, which show the location, character, dimensions, and details of the work to be done and which are considered as part of the Contract Documents.

# **1.31** EFFECTIVE DATE

The date that this Contract, Addendum, Amendment, Modification is fully executed by CM/GC and the City.

# **1.32** ENGINEER OF RECORD

The professional engineer or engineering firm contracted or employed by the City and registered in the State of Florida who develops criteria and concept for the work, performs the analysis and is responsible for the preparation of the plans and specifications. The engineer of record may be City in-house staff, or a consultant retained by the City.

## 1.33 EQUIPMENT

The machinery and equipment, together with the necessary supplies for maintenance, including the tools and apparatus necessary for the proper construction and acceptable completion of the work.

#### **1.34** FIELD ORDER

A written instrument issued by the City to the CM/GC, which clarifies or interprets the drawings and technical specifications, and/or orders minor variations in the work, as opposed to a change in the work, and which does not involve an adjustment in contract price or time.

#### 1.35 FIRM

Any individual, firm, partnership, corporation, association, or other legal entity permitted by law to practice architecture, engineering, or surveying and mapping in the state.

# 1.36 FORCE ACCOUNT WORK

Work performed in addition to that set forth in the original contract or in supplemental contracts or change orders, and which is paid for on the basis of actual cost of materials and labor, plus a fixed percentage of such costs.

# **1.37** GUARANTEED MAXIMUM PRICE (GMP)

Guaranteed Maximum Price shall represent CM/GC's guaranteed offer to the City of the maximum price for which it will construct the Project as represented in the Design Documents, including a fee for CM/GC's services. There shall be two separate GMP's provided pursuant to this Contract: one to construct only the utility administration building improvements; and one to construct only the wastewater treatment plant expansion and improvements.

#### 1.38 IMPROVEMENT

Any building, structure, construction, demolition, excavation, solid-waste removal, landscaping, or any part thereof existing, built, erected, placed, made, or done on land or other real property for its permanent benefit.

#### 1.39 LABORER

Any person other than an architect, landscape architect, engineer, surveyor and mapper, and the like who, under properly authorized contract, personally performs on the site of the improvement labor or services for improving real property and does not furnish materials or labor service of others.

## 1.40 LUMP SUM

A pay item within the contract documents, which is paid without regard to quantities or unit of measure.

# 1.41 MATERIALMAN

Any person who furnishes materials under contract to the owner, CM/GC, Subcontractor, or Sub-subcontractor on the site of the improvement or for direct delivery to the site of the improvement or, for specially fabricated materials, off the site of the improvement for the particular improvement, and who performs no labor in the installation thereof.

#### 1.42 MATERIALS

Any substance used in connection with the construction of any structure, facility, or appurtenance, or of other work under the contract.

#### 1.43 MODIFICATON

A written amendment to the Contract Documents approved by the City and signed by the Contractor and the City or City's designated representative(s) (including the CM/GC and/or A/E) which includes but is not limited to, Addenda, Amendments, Change Orders or Field Orders.

#### **1.44** NOTICE TO PROCEED (NTP)

The official letter from the City to the CM/GC establishing a date on which the Work will commence.

#### **1.45** ORIGINAL EXPIRATION DATE

The date that this Contract was originally intended to expire excluding any extensions or renewals of this Contract for a time certain.

## 1.46 OWNERS

The owner is the City of DeBary for whom all Work or Services under the contract documents are performed by the CM/GC.

# **1.47** CONSTRUCTION PHASE CONTRACT (this term intentionally not listed in alphabetical order)

The fixed capital outlay for Construction Performance Phase Services for either or both the utility administration building improvements and the wastewater treatment plant expansion and improvements, which shall be performed in accordance with the Contract Documents.

## 1.48 PAYMENT BOND

A bond, which assures payments, as required by law, to all persons supplying labor or material for the completion of work under the contract.

# 1.49 PENAL SUM

The amount in which a bond is issued is called the "penal sum," or the "penalty amount," of the bond.

#### **1.50** PERFORMANCE BOND

A bond given by a surety on behalf of the CM/GC to ensure the timely performance of the SOW of this Contract.

# 1.51 PERSON

The word "person" shall mean and includes any individual, partnership, society, association, joint stock company, corporation, estate, receiver, trustee, assignee, referee, or capacity, whether appointed by a court or otherwise, and any combination of individuals or "persons."

# **1.52** PRE-CONSTRUCTION CONFERENCE

The meeting of all the parties involved with the planning and execution of the construction of the project.

#### 1.53 PRINCIPAL

When used in the bid bond, the word "principal" means the same as the word "bidder." When used in the performance and payment bonds, the word "principal" means the same as the word "CM/GC."

# 1.54 PROJECT

- **1.54.1** Fixed capital outlay study or planning activity described in the public notice of the City which includes the entire Scope of Work which shall be performed in accordance with the Contract Documents. A Project may include:
  - **1.54.1.1** A grouping of minor construction, rehabilitation, or renovation activities.
  - **1.54.1.2** A grouping of substantially similar construction, rehabilitation, or renovation activities.
  - **1.54.1.3** The entire work to be performed pursuant to the Contract Documents.

# 1.55 PROPOSAL

The document submitted by the CM/GC in response to a formal solicitation used to determine if the CM/GC is highly qualified.

## 1.56 PROVIDE

To furnish, install, complete, and have ready to use.

# 1.57 PROVIDED

As used in the specifications or upon the drawings provided shall mean, "furnished and installed." Where as shown, as indicated, as detailed or words of similar import are used, it shall be understood that references to the drawings and/or specifications accompanying these documents are intended unless otherwise expressly stated.

# 1.58 REQUEST FOR INFORMATION (RFI)

Prospective Bidders', CM/GCs' or Consultants' inquiries for information.

# 1.59 RESIDENT PROJECT REPRESENTATIVE

An employee of the City or an authorized representative of the architect/engineer who is assigned to the project and is responsible for overseeing that the work is constructed in accordance with the requirements of the drawings and specifications.

#### 1.60 SCOPE OF SERVICES/WORK

The general services/work, herein defined in this Contract, including responsibility for performing and complying with all incidental matters pertaining thereto, as set out in the Contract Documents.

#### 1.61 SHOP DRAWINGS

All diagrams, illustrations, brochures, schedules, and/or other data which are prepared by CM/GC, a Subcontractor, manufacturer, supplier, distributor, or other person on behalf of the CM/GC, and which illustrate the equipment, material, or some portion of the work.

#### 1.62 SPECIFICATIONS

The document or Scope of Work that establishes the material and performance requirements of goods and services.

#### 1.63 STATE

State of Florida.

# 1.64 SUBCONTRACTOR

A person other than a materialman or laborer who enters into a contract with a General Contractor for the performance of any part of the contract documents.

#### 1.65 SUB-SUBCONTRACTOR

A person other than a materialman or laborer who enters into a contract with a Subcontractor for the performance of any part of such Subcontractor's contract.

#### 1.66 SUBSTANTIAL COMPLETION (CONSTRUCTION)

The date in which the construction of the project, or specified part thereof, of any

substantial nature has been completed, as certified by the architect/engineer in accordance with the contract documents, so that the project, or specified part, can be utilized for the purposes for which it was intended. If the City has authorized a person, firm, or corporation, other than the architect/engineer, to act as City's representative, then such City's representative shall certify the completion date and when the project is substantially completed.

#### 1.67 SURETY

An individual or corporation legally liable for the debt, default, or failure of a principal to satisfy the obligations of a contract.

#### 1.68 SUPERINTENDENT

The CM/GC's authorized executive representative responsible for the work at all times.

#### 1.69 TRADE CONTRACTOR

The person or entity qualified to perform work under this Contract including a Contractor, Subcontractor, supplier, laborer or materialman that has a direct contract with the CM/GC to perform work in the Project.

# 1.70 WORK

Any and all obligations, services, duties, and responsibilities necessary to the successful completion of the Project including supplying and installing of all labor, materials, equipment and other incidentals related thereto.

# ARTICLE 2

# PURPOSE AND INTENT, CONTRACT DOCUMENTS

- 2.0 The primary purpose and intent of this Contract is to secure for the City the services of a firm thoroughly experienced and highly qualified in both the "hands-on" construction methods and techniques, as well as the efficient management of construction operations to provide technical consultation on the Project; to determine the cost of constructing each component of the Project and the associated contingency funds required, thereby arriving at the estimated Project Budget and ultimately establish the Guaranteed Maximum Price, hereinafter referred to as the "GMP," to schedule the Project efficiently for construction phases and prepare the Project Schedule such that the Project will be ready for occupancy at the earliest practical date; and to review the design documents of the Project with the design professionals and advise upon the most efficient use of materials and construction methods to be employed for achieving quality construction at the least cost.
  - **2.0.1** The CM/GC covenants with the City to furnish its best skill and judgment in furthering the interests of the City. The CM/GC agrees to furnish efficient business administration, construction management, and superintendence and to use its best efforts to complete the Project in an expeditious and economical manner consistent with the interest of the City. To that end, the CM/GC will maintain adequate cost and schedule control systems and perform screening of Trade Contractors to assure a high quality of construction consistent with the requirements of the Contract Documents.

- **2.0.2** Upon notice that the City elects to proceed with the Construction Performance Phase Services for the Fire Station #39 project (hereinafter referred to as "Construction Phase Contract"), the CM/GC shall post performance and payment bonds each in the amount of 100% of the Guaranteed Maximum Price, and on written "Notice to Proceed," shall immediately commence the performance of the services required in the Construction Phase Contract.
- **2.0.3** The CM/GC shall provide the insurance and bonding for the Project as required in Article 6 and shall be reimbursed the cost in accordance with Article 3, section 3.11.2.5, hereunder.

# 2.1 EXHIBITS

**2.1.1** The exhibits listed below are incorporated into and made a part of this Contract.

2.1.1.1 Exhibit "A" – Scope of Services2.1.1.3. Exhibit "D" – Insurance Requirements

# 2.2 AUTHORITY FOR CONTRACTING

- **2.2.1** By executing this Contract, the CM/GC represents that it has visited the site, familiarized itself with the local conditions under which the Work is to be performed, and correlated its observations with the requirements of the Contract Documents. The CM/GC and each Trade CM/GC shall evaluate and satisfy themselves as to the conditions and limitations under which the Work is to be performed, including, without limitation:
  - **2.2.1.1** The location, conditions, layout and nature of the Project site and surrounding areas,
  - 2.2.1.2 Anticipated labor supply and costs,
  - **2.2.1.3** Availability and cost of materials, tools, equipment, and other similar issues, and,
  - **2.2.1.4** The City assumes no responsibility or liability for the physical conditions or safety of the Project site or any improvements located on the Project site. The CM/GC shall be solely responsible for providing a safe place for the performance of the Work and the City shall not be required to make any adjustment in either the agreed amount of the GMP or the Contract Time in connection with any failure by the CM/GC.
- 2.2.2 This Contract between the City and the CM/GC is intended solely for the benefit of the City and the CM/GC and no other persons or entities. The services to be performed hereunder shall be performed by the CM/GC's own staff, unless otherwise authorized by the City. The employment of, contract with, or use of the services of any other person or firm by the CM/GC, as consultant or otherwise, shall be subject to the prior written

approval of the City. Such approval shall not be construed as constituting a contract between the City and any such person or firm.

- 2.2.3 If the parties hereto enter into a subsequent Contract specifically modifying this Contract between City and CM/GC, it is expressly agreed that such modification will take precedence over this Contract to the extent of such modification only.
- 2.2.4 The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the Work. The Contract Documents are complementary, and what is required by any one will be as binding as if required by all.
- 2.2.5 Work not covered in the Contract Documents will not be required unless it is consistent therewith and is reasonably inferable there from as being necessary to produce the intended results.
- 2.2.6 Words and abbreviations that have well-known technical or trade meanings are used in the Contract Documents in accordance with such recognized meanings.
- 2.2.7 The organization of the Technical Specifications into divisions, sections, and articles, and the arrangement of Drawings will not control the CM/GC in dividing the Work among Trade Contractors or in establishing the extent of Work to be performed by any one of them.
- 2.2.8 **Order of Precedence.** If CM/GC finds a conflict, error, or discrepancy in the Contract Documents, it shall call it to the A/E's attention, in writing, and request the A/E's interpretation and direction before proceeding with the Work affected thereby. Such notice shall be provided by the CM/GC to the A/E in a timely fashion so as not to cause additional costs due to delay. In resolving such conflicts, errors and discrepancies, the documents will be given precedence in the following order:
  - **2.2.8.1** Modifications to the Contract
  - **2.2.8.2** This Contract between the City and CM/GC
  - 2.2.8.3 Addenda or Exhibits to this Contract
  - **2.2.8.4** Detailed (Technical) Specifications
  - **2.2.8.5** Project Plans (Drawings)
  - **2.2.8.6** Procedures for Advertising, Pre-Qualification, Bidding and Contract Award for Trade Contracts
  - **2.2.8.7** Bonds and Guaranties
- 2.2.9 In the case of conflicts between drawings or between provisions of the specifications, the more detailed or specific of the conflicting provisions or representations will take precedence. For example, where figured dimensions are shown on the drawings, they shall take precedence over scaled distances and scaled dimensions, and detail drawings shall govern over general drawings.
- 2.2.10 In those cases where it is not reasonably clear which of the conflicting provisions or representations is the more detailed or specific, the CM/GC will be deemed to have estimated on, and agreed to provide, the greater quantity or better quality of materials and work unless he has, prior to submitting the GMP, asked for and obtained a written decision of the A/E as to which quantity or qualityor method or materials shall be required.

# ARTICLE 3

# CONSTRUCTION MANAGER/GENERAL CONTRACTOR'S SERVICES

- **3.0 Review of Plans and Specifications.** The CM/GC shall review all plans and specifications and advise on site, foundation, building systems, materials and equipment, construction feasibility, availability of labor and materials, time requirements for procurement, installation and construction relative costs, and provide recommendations for economies as appropriate. Technical consultation to the A/E and its professional disciplines shall not infringe upon the design responsibility of those disciplines. The CM/GC shall make recommendations relating to the cost, constructability and other such technical and economical characteristics of a particular design or material selection; however, if such recommendations are accepted for incorporation into the Project, their application with regard to structural stability and life safety shall be the responsibility of the A/E. The CM/GC will not be assigned responsibilities that duplicate those assigned in the design professionals' contract for A/E services.
- **3.1 Technical Proposals.** The CM/GC shall review performance specifications, consult with the A/E on the structuring of requests for proposals for the procurement and installation of technical systems and components of the Project and verify their availability. The CM/GC shall be responsible for coordinating w/ the City regarding its procurement procedures in issuing requests for proposals to gualified sources and receiving proposals.
- **3.2 Cost Consultation.** The CM/GC shall provide a continuous cost consultation service for the duration of this Contract. The CM/GC shall prepare solicitation and purchasing documents and be responsible for all procurement and construction cost estimates. The CM/GC shall prepare final cost estimates for all early procurement of equipment and materials; for all building systems and components; and for all construction labor. The CM/GC shall notify the City when, in its opinion, the estimated construction cost will exceed the GMP and at any time the anticipated completion date will exceed the approved scheduled completion.
- **3.3 Value Engineering.** The CM/GC shall review the plans and specifications as prepared by the Consultant and perform value engineering services. The City Representative, the Consultant and the CM/GC shall review the proposed changes, and the City shall determine which of those changes will be incorporated into the plans and specifications. As an optional service, not included in the cost of this Contract, the CM/GC may be called upon to develop these changes into drawing formats generally compatible with the existing plans and specifications. The fee for this optional work will be determined when required and as mutually agreed upon by the City and the CM/GC.
- **3.4** Long Lead Time Procurement. The CM/GC shall identify, recommend for purchase, and expedite the procurement of equipment, materials, and supplies that require long lead time for procurement or manufacture.
- **3.5 Construction Documents.** The CM/GC shall make recommendations to the City and the Consultant regarding the division of Work into separate bid packages to affect economy and permit phasing of procurement and construction. Consideration must be given to such factors as type and scope of work, time of performance, availability of labor and materials, community relations, factory versus on-site production costs, shipping costs and size limitations, building code restrictions, local ordinances requirements, and other limiting factors.
- **3.6 Trade Work Coordination.** CM/GC shall review and analyze the plans, specifications, and schedules for the Project and make the necessary recommendations to minimize conflict and overlap of jurisdiction between Trade Contractors.

- **3.7 Project Site Facilities.** The CM/GC shall review the Plans and Specifications to ensure that they provide for all necessary temporary facilities required for the performance, management, inspection, and supervision of the Work.
- **3.8 Bidding Documents and Advertisement for Bids.** The CM/GC shall, in collaboration with the A/E, review all design documents, divide the Work in bid packages, and assemble complete bid data, including copies of plans and specifications provided by the A/E, so as to achieve maximum competition among qualified bidders to obtain the most reasonable price for good quality work. The CM/GC shall prepare invitation for bids describing each package clearly, accurately, and in sufficient detail to inform prospective bidders of the nature and scope of the work, including instructions for submitting qualifications. The CM/GC shall also prepare a list of potential bidders for the various portions of the Work for review with the City, verify references and previous performance of potential bidders, and review all such findings with appropriate representatives of the City. The procedure for advertising, pre-qualification, bidding, and awarding trade contracts must be agreed upon by the City and the CM/GC.
- Obtaining Competitive Bids. The CM/GC shall endeavor to achieve maximum competition 3.9 among qualified bidders in order to obtain the most reasonable price for acceptable work. Using its best business skills, the CM/GC shall develop and attract Trade Contractors' interest in the Project by publicizing the invitation for bids through distribution to reputable local Trade Contractors and suppliers, posting in public places, advertising in newspapers and trade journals, and using such other means as may be appropriate in sufficient time to enable prospective bidders to prepare and submit their qualifications. In close collaboration with the City's representative's schedule, the CM/GC will conduct pre-bid conferences to inform prospective bidders of the requirements of the Contract Documents, provide clarifications, and answer questions as necessary. The specific requirements of compliance with the laws and regulations of various governmental agencies having jurisdiction over the Project (i.e., Public Entity Crimes law, etc.) shall be fully explained and emphasized at the pre-bid conference. The CM/GC may require bidders to submit bid bonds and evidence of bonding capacity, as well as meet specified qualifications as prerequisite to bidding on the Work; however, unnecessarily restrictive requirements which might unduly limit the number of bidders should be avoided. Specific instructions stating clearly whether bonding is required or not must be included with each bid package.
  - **3.9.1** The CM/GC shall also: (i) solicit competitive bids on appropriate bidding packages from qualified Trade Contractors; (ii) analyze and evaluate the bids received and their relationship to budgeted amounts and prepare for review with the City bid tabulation and such other supporting data as necessary to properly compare the bids and their responsiveness to the desired scope of work; (iii) review the scope of work in detail with apparent qualified low bidders and attempt to achieve additional savings through negotiation whenever practical; maintain records of all pre-award interviews with apparent low bidders; (iv) prepare and submit written recommendations to the City for award of trade contracts; (v) award and execute trade contracts with the successful bidders; and (v) provide to the City copies of fully executed trade contracts, insurance certificates and bonds.
  - **3.9.2** If the City has objections to awarding a contract to any pre-qualified Trade Contractor or supplier, the City shall timely notify the CM/GC upon review of the pre- qualified bidders list. The CM/GC shall not solicit a bid proposal from a bidder so rejected.
  - **3.9.3** All permanent construction for the Project must be performed under trade contracts between the CM/GC and its Trade Contractors. The procurement activity of the CM/GC should be such as to preclude any conflict of interest. In particular, the CM/GC shall avoid

bidding work in competition with bidding Trade Contractors. Neither the CM/GC nor any firm in which a principal stockholder or member of the CM/GC's firm has a financial interest, may, during the term of the Contract, make or cause to be made any bid for construction work on the Project. Notwithstanding the foregoing and upon City's written approval, the CM/GC may perform with its own employees work of a Trade Contractor who fails to perform in accordance with the provisions of its trade contract or if CM/GC's performance of some portions of the Work will result in cost savings to the City.

- **3.10 Management Control System.** The CM/GC shall initiate and, upon execution of Construction Phase Contract, of the Contract, activate a management control system (MCS) as an integral part of the Project Control System, using both manual and automated procedures to support functions such as planning, organizing, scheduling, budgeting, reporting construction progress and expenditures, accounting, documentation, identifying variances and problems, and facilitating decision making. The data provided by the MCS must be timely, must be responsive to the needs of management at all levels, and must be fully capable of providing a sound basis for managing the construction of the Project.
  - **3.10.1 Subsystems of MCS.** The Management Control System must incorporate three major subsystems for use in meeting the objectives of the City for timely completion, economy, and quality. Upon execution of the Construction Phase Contract, the CM/GC shall provide the services, facilities, and support equipment necessary to implement the MCS for the entire duration of the construction phase.
  - **3.10.2 Planning and Progress Monitoring Subsystem.** The CM/GC shall prepare a schedule that integrates the projected activities of the CM/GC, the A/E, and the City particularly as they relate to the value engineering effort and the preparation of the GMP. The CM/GC shall produce a preliminary construction schedule for review and approval by the City. The CM/GC shall prepare a final construction schedule incorporating changes required as a result of the City's review. This schedule shall be based on the Critical Path Method (CPM) and shall be updated and included in monthly progress reports.
  - **3.10.3 Budget Control and Accounting Subsystem.** The CM/GC shall provide for the periodic inclusion of approved change orders in the original budget. The new budget figure will be identified as the "current working estimate." The CM/GC shall also identify variances between "current working estimate" and the original budget and report them promptly to the City.
  - **3.10.4 Documentation and Historical Subsystem.** The CM/GC shall provide documentation of all changes made in the original schedule and original budget so that complete traceability is maintained between the original plan (schedule and budget) and the latest approved plan.
  - **3.10.5 Reports.** The MCS, when fully implemented, will generate reports necessary for effective control of the overall construction program. Reports will be provided to management in summary form. Reports will also be provided to subordinate levels of management in sufficient detail consistent with their respective requirements and responsibilities.
  - **3.10.5 Preparation of the Guaranteed Maximum Price (GMP).** The CM/GC shall prepare and submit for City's approval an itemized GMP to construct Fire Station #39, each clearly summarizing the cost for each component of the Work as it was packaged and bid and establishing the amount of contingency funds required. Upon contract of the City and CM/GC on the GMP, the detailed itemization of costs, prices and supporting data comprising the selected GMP will be incorporated as Exhibit "A" in the Construction

Phase Contract to be executed by the City and CM/GC. The GMP shall represent CM/GC's guaranteed offer to the City of the maximum price for which it will construct the Project, as represented in the design documents, including a fee for CM/GC's services. During the construction phase, the GMP will be subject to modification for changes in the Construction Documents approved by the City and for additional costs arising from delays caused by persons, entities, events or circumstances entirely beyond the control of the CM/GC as provided in Construction Phase Contract. The Plans and Specifications, the Site Plan and Survey, and all soil and subsurface investigations upon which the GMP is established must be identified in the Construction Phase Contract as Exhibit "B" thereto. The GMP shall be the sum of the following:

- **3.10.6 Direct Labor Cost.** This category of expenses includes (provided the GMP is not exceeded) and is limited to the following cost items:
  - **3.10.6.1** Wages and employee benefits, as may be payable, paid for labor and Project site supervisory and office employees in the direct employ of the CM/GC and which are used for performing the Contract work;
  - **3.10.6.2** Travel and lodging expenses of CM/GC's officers or employees incurred in the discharge of duties connected with the Project in accordance with the City of DeBary's Travel Reimbursement policy. Relocation costs of CM/GC's employees in connection with this Project are not reimbursable.
- **3.10.7 Cost of the Work.** The Cost of the Work shall include, without limitation, the cost items set forth as follows:
  - **3.10.7.1** The cost of all materials, supplies, and equipment incorporated in the Work, and the cost of transportation and storage thereof. The City, in its sole discretion, may make payment for materials, supplies, or equipment stored off-site;
  - **3.10.7.2** Payments made by the CM/GC to its Trade Contractors for work performed for the Project under trade contracts;
  - **3.10.7.3** The cost, including transportation and maintenance, of all materials, supplies, equipment, temporary facilities, and hand tools not owned by the workers, which are used and consumed in the performance of the Work, and the cost, less salvage value, on items used but not consumed which remain the property of the CM/GC. This cost does not include the cost of materials, supplies, equipment, temporary facilities, and hand tools furnished by Trade Contractors as part of their trade work which must be incorporated in the trade contracts cost;
  - **3.10.7.4** Rental charges of all necessary motor vehicles, machinery, and equipment, including hand tools, whether rented from the CM/GC or others, and including transportation and delivery costs, installation, maintenance, repair and replacement, and dismantling and removal, at rental charges consistent with those prevailing in the area of the Project;
  - **3.10.7.5** Actual cost, without mark-up, of the premium for all insurance and bonds that the CM/GC is required to provide pursuant to this Contract;
  - **3.10.7.6** Sales, use, gross receipt, or similar taxes related to the performance of the Work, imposed by any governmental authority and for which the CM/GC is liable;

building and operating permit fees, inspection and filing fees, sewer and water fees, and deposits lost for causes other than CM/GC's own negligence;

- **3.10.7.7** Losses, expenses, or damages to the extent not compensated by insurance or otherwise, including settlement made with the written approval of the City;
- 3.10.7.8 The cost of corrective work (within the GMP limit);
- **3.10.7.9** Minor expenses such as telegrams, long-distance telephone calls, telephone service at the Project site, postage, office supplies, and similar items;
- **3.10.7.10** Cost of debris and trash removal including daily cleanup;
- **3.10.7.11** Cost of final cleanup prior to occupancy including window washing, dusting of all surfaces, carpet cleaning and vacuuming, floor polishing, fixture cleaning etc;
- **3.10.7.12** Cost related to emergencies affecting the safety of persons and loss of property;
- **3.10.7.13** Legal costs properly resulting from prosecution of the Work for the City, provided that they are not the result of CM/GC's own negligence or malfeasance. Legal costs incurred in connection with disputes with the City may not be included in the Cost of the Work;
- **3.10.7.14** Cost of items related to the Project Safety Program including barricades, firefighting equipment and extinguishers, special and protective wearing apparel and safety equipment, temporary roads and parking, dust and noise control, installation and operation of temporary hoists, scaffolds, ladders and runways, and other similar items;
- **3.10.7.15** Cost of watchmen or similar security services to secure the project site and materials and equipment;
- **3.10.7.16** Cost of survey, measurement, and layout work required for the proper execution of the Work;
- **3.10.7.17** Cost of purchase or rental of office equipment such as typewriters, cameras, radio communications, computers, pagers, copiers, dictating units, and other items such as office and tool trailers, vehicles and furniture purchased by CM/GC in connection with the Work;
- **3.10.7.18** Cost of preparation of shop drawings, coordination drawings, photographs, and "as-built" documentation;
- **3.10.7.19** Cost of data processing, computerized scheduling and document reproduction services required in the performance of the Work; and
- **3.10.7.20** Costs incurred during the warranty period after completion of the Project (within the GMP limit).
- **3.10.8 CM/GC's Fee.** The City and the CM/GC hereby agree that the CM/GC's fee may not exceed (8.0%) of the "Direct Labor Cost" and "Cost of the Work" (See Sections 3.10.6 and 3.10.7,

above). The intent and purpose of the GMP is to establish a maximum not- to-exceed price for the total Contract price, not a maximum price for line items, which line items are subject to adjustment by the CM/GC, as approved by the A/E and the City, provided that such adjustments do not cumulatively exceed this Contract's GMP. The CM/GC fee shall include the following:

- **3.10.8.1** Salaries or other compensation of CM/GC's employees at the principal office and branch offices, except employees listed in Section 3.10.6 supra;
- **3.10.8.2** General administrative and operating expenses of CM/GC's principal and branch offices other than the Project site office;
- **3.10.8.3** Any part of CM/GC's capital expenses, including interest on CM/GC's capital employed for the Project, if any;
- **3.10.8.4** Overhead and any other costs incurred by the CM/GC in the performance of the Contract; and,
- **3.10.8.5** Cost in excess of the Guaranteed Maximum Price, if any is incurred.
- **3.10.9** Adjustments of the Fee shall be made only as follows:
  - **3.10.9.1** For approved changes in the Work (additional), an increase to the fee in an equitable amount to be included in the Change Order.
  - **3.10.9.2** If the CM/GC is placed in charge of the reconstruction of any insured or uninsured loss, the fee will be increased in the same proportion as set forth in Section 3.10.8.
- **3.10.10** The GMP includes only those taxes that are legally enacted at the time the GMP is established. Taxes included in the GMP must be indexed and indentified by category of tax so that the City may insure that the tax exemptions applicable to City are excluded from the GMP.
  - **3.10.11** The value included in the GMP for General Conditions and supervision will be defined as a fixed amount and agreed upon by the City and the CM/GC at the time the GMP is accepted by the City. All cost savings, if any, must be returned to the City as part of the net aggregate savings established at the time the final accounting is submitted upon completion of the Work.
  - **3.10.12 Exclusions.** The GMP may not include such Project expenses as cost of site, professional design fees, or moveable equipment and furnishings.

# **ARTICLE 4**

#### TIME FOR PERFORMANCE

**4.0** The CM/GC shall submit its first estimate of the GMP as described in Section 3.11 to the City for review within forty-five (45) days of receipt of all design documents. Based upon this estimate, the CM/GC and the City will collaborate to resolve any budget estimate differences in order to reach a GMP satisfactory to both the CM/GC and the City. Such action by the CM/GC and the City must be accomplished within a maximum of twenty-one (21) days of submission of the GMP

unless additional time is mutually agreed to in writing. Approval of the GMP may not be unreasonably withheld.

# ARTICLE 5

# EXECUTION OF CONSTRUCTION PHASE CONTRACT, CONSTRUCTION PERFORMANCE PHASE SERVICES

- **5.0** Upon the City's timely approval of the GMP as provided under Section 4.0 *supra*, the CM/GC agrees to enter into the Construction Phase Contract on the basis of the proposed GMP as provided in Section 4.0 *supra*.
- **5.1** During the performance of this Contract and the Construction Phase Contract when it is entered into by City and CM/GC, the CM/GC is not and may not be considered or deemed to be an employee of the City or the City's agent. The CM/GC shall perform its services and duties consistently with such status and will make no claim or demand for any right or privilege applicable to an officer or employee of the City, including, but not limited to, workman's compensation, disability benefits, accident or health insurance, unemployment insurance, social security or retirement membership.

# ARTICLE 6 INSURANCE AND BONDING

#### 6.0 INSURANCE REQUIREMENTS.

**6.0.1 Required Types of Insurance**. The CM/GC shall purchase and maintain at its own expense, during the term of this Contract the types and amounts of insurance with limits no less than those shown on Exhibit "D," in the form and from companies satisfactory to the City.

# 6.1 Bonding Requirements

- **6.1.1** The CM/GC and/or Trade Contractor shall furnish separate performance and payment bonds as security for the faithful performance and payment of all its obligations under the Contract Documents. These bonds shall be in amounts equal to the GMP and in such form as prescribed pursuant to § 255.05 Florida Statutes and with such sureties as are acceptable to the City. The bonds shall become effective upon execution of this Contract and shall remain in effect for one (1) year beyond the date of the Certificate of Substantial Completion of the Work as a protection to the City against losses resulting from latent defects in materials or improper performance of work under the Contract, which may appear or be discovered during that period. The bonds shall provide one hundred percent (100%) coverage for CM/GC's or Trade Contractor's default on either performance or payment.
- **6.1.2** The performance and payment bonds must have as the surety thereon only such surety company or companies as are authorized to write bonds of such character and amount under the laws of the State of Florida and with an agent resident in the State of Florida. The Attorney-in-Fact, or other officer who signs such bonds for the surety company must file with such bonds a certified copy of its Power-of-Attorney authorizing it to do so.

- **6.1.3 Qualification of Sureties.** The following requirements shall be met by surety companies furnishing performance, payment or any other type of bonds:
  - **6.1.3.1** The surety shall be rated "A+" or better on the Financial Strength Rating (FSR), published by A. M. Best Company. Financial Strength Rating of companies providing insurance for the project shall be "A-" or better.
  - **6.1.3.2** The surety shall also be listed on the U.S. Department of Treasury (Dept. Circular 570) entitled "Companies Holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies."
  - **6.1.3.3** The surety companies proposed by the CM/GC or Trade Contractor for the Project are subject to City's approval which approval shall not be unreasonably withheld. At any time after approval, if the City, for cause (such cause being defined as the filing for liquidation, appointment of receiver to manage said surety business, insolvency, filing petitions or applications for protection or liquidation under federal bankruptcy laws, or other causes adversely affecting the surety's ability to perform under its bonds), becomes dissatisfied with any surety or sureties then upon the bond(s), the CM/GC or Trade Contractor shall, within fifteen (15) days after written notice from the City to do so, substitute acceptable bond(s) in such form and sum, and signed by such other surety or sureties as may be satisfactory to the City. The premiums on the bond(s) shall be paid by the CM/GC or Trade Contractor. No further payments shall be deemed due nor shall be made until the new surety or sureties shall have furnished acceptable bond(s) to the City.

# ARTICLE 7

# CM/GC'S COMPENSATION FOR PRE-CONSTRUCTION SERVICES

- 7.0 The City will pay the CM/GC as total compensation for all pre-construction phase services required in this Contract, and as provided in Article 3 hereof, a fee of FIFTY ONE THOUSAND FOUR HUNDRED EIGHTY ONE AND 00/100 (\$51,481.00) DOLLARS.
- **7.1** Payments for services performed under this Contract and in accordance with the requirements of Article 3 hereof, will be made after receipt of properly executed requests for payment as follows:
  - **7.1.1.** The CM/GC shall submit to the City a monthly statement for services rendered to the date of statement accompanied by such supporting data as required by the City. Within twenty (20) business days and reviewed and approved by City representative if receipt by the City of the work for which the CM/GC has submitted the monthly statement, the CM/GC shall be paid the unpaid balance of any money due for work covered by said statement less any disputed amounts. The CM/GC shall be notified of disputed amounts within twenty (20) business days of the receipt of the statement. All payments made by City shall be subject to the Florida Prompt Payment Act (Part VII of Chapter 218, Florida Statutes).
  - **7.1.2.** Upon satisfactory completion by the CM/GC and acceptance by the City of all services

specified in Article 3 of this Contract, the CM/GC shall be paid the balance due under this Contract. Acceptance by the City shall be evidenced by the City's concurrence with a GMP and the execution of the Construction Phase Contract.

## **ARTICLE 8**

# TERMINATION

- 8.0 City's Right to Stop the Work. The City shall have the right to stop the Work or a designated portion thereof, for major changes in design, because of non-conformance of the Work with the Plans and Specifications and shop drawings, or for such other reason as would make the continuance of the Work or a designated portion thereof no longer feasible. Notice of such action by the City shall be made in writing to the CM/GC and shall not restrict or limit in any way the remaining provisions of this Contract.
- 8.1 Termination by the City for Cause. If the CM/GC fails to perform any of its obligations under this Contract, including any obligation it assumes to perform portions of the Work with its own forces, the City may give the CM/GC written notice of the deficiency and direct immediate corrective action. If the CM/GC fails to perform in accordance with such notice, within seven (7) days from the receipt of City's written notice, the City may perform the work involved and deduct the costs from funds due or to become due CM/GC. The CM/GC shall have the right, however, to make good any deficiencies or commence and continue to cure any default during the seven (7) day period following written notice.
  - If the CM/GC fails to furnish City with assurances satisfactory to the City evidencing the 8.1.1 CM/GC's ability to complete the Work in compliance with all the requirements of the Contract Documents, or if it fails after commencement of the Work to proceed continuously with the construction and completion of the Work for more than ten (10) days, except as permitted under the Contract Documents or if it makes a general assignment for the benefit of its creditors approved by City Council prior to said assignment, or if a trustee or receiver appointed on account of its insolvency is unable to maintain progress, or if it refuses or fails to supply enough properly skilled workers or proper materials, or if it fails to make proper payment to Trade Contractors for materials or labor, or disregards laws, ordinances, rules, regulations or orders of any public authority having jurisdiction, or breaches a material provision of this Contract, then the City may, without prejudice to any right or remedy and after giving the CM/GC and its surety ten (10) days' written notice, during which period the GM/GC fails to commence and continue to cure the violation, terminate the employment of the CM/GC and take possession of the Project site and of all materials, equipment, tools, construction equipment and machinery thereon and may finish the Project by whatever reasonable method the City may deem expedient. In the event of such termination, the City shall reimburse the CM/GC for any unpaid and undisputed portion of the Cost of Work incurred by CM/GC under Article 6A (subject to the GMP) up to the time of termination. The CM/GC shall not be entitled to any additional payment of Fee. The CM/GC shall not be entitled to any compensation for City's use of such materials, equipment, tools, construction equipment and machinery. However, at the completion of the Work, such materials, equipment, tools, construction equipment and machinery which were not incorporated in the Project shall be returned to the CM/GC. The CM/GC shall not be entitled to additional compensation for damages, claims or reimbursement of any kind other than those specifically stated in this Section 8.1.1 in the event of termination under the terms therein.

- **8.2** Termination by the City for Convenience. If the City terminates this Contract other than pursuant to Section 8.1.1, the CM/GC shall be reimbursed for any unpaid portion of the Cost of Work which has been incurred up to the time of termination, plus the unpaid portion of the Fee earned up to the time of termination, plus Trade Contract and purchase order cancellation charges, if any, incurred by the CM/GC as a direct result of the termination. The City shall also pay to the CM/GC fair compensation, either by purchase or rental, at City's option, for any equipment used or retained by the City for completion of the Work. In case of such termination of the Contract, the City shall further assume and become liable for the obligations, commitments and unsettled claims that the CM/GC has previously undertaken or incurred in good faith in connection with the Project. The CM/GC shall, as a condition of receiving the payments referred to in this Section 8.2, execute and deliver all documents and take all steps, including the legal assignment of his contractual rights, as the City may require, for the purpose of fully vesting in the City the rights and benefits of the CM/GC under such obligations or commitments, and shall execute a complete waiver and release of the City.
- Termination by CM/GC. If the Project is stopped in whole or a substantial part, through no act 8.3 or fault of the CM/GC, for a period of thirty (30) days under an order of any court or other public authority having jurisdiction, or as a result of an act of government, such as a declaration of a national emergency making material unavailable, or because of City's failure to make payment for work performed in accordance with the Contract Documents (unless the City is withholding payment as provided in Section 8.1.1), then the CM/GC may, upon ten (10) days' written notice to the City and the Program Manager, terminate this Contract and recover from the City payment for the unpaid and undisputed portion of the Cost of Work which has been incurred up to the date of termination, the unpaid portion of the Fee earned up to the date of termination, and any cancellation charges on existing obligations of the CM/GC related to the Project. The City shall have the right; however, to make any required payment or cure any default during the seven (7) day period following written notice and, in such event, neither the Contract nor the Work under the Contract shall be terminated. The CM/GC shall not be entitled to additional compensation for damages, claims or reimbursement of any kind other than those specifically stated in this Section 8.3 in the event of termination under the terms therein.

# ARTICLE 9

# CLAIMS, DISPUTES, AND INDEMNIFICATION

- **9.0 Claims.** Under this Contract the CM/GC shall not have the right to compensation to satisfy any claim for costs, liabilities, or debt of any kind whatsoever from any act or omission attributable to the City unless the CM/GC has provided notice to the City within twenty (20) days of the event giving rise to the claims and unless the detailed claim therefore is delivered to the City within sixty (60) days following the notice. The detailed claim shall include:
  - **9.0.1** The date of the occurrence of the event giving rise to the claim and the date and manner of CM/GC's compliance with the notice requirements of this Article 9, and
  - **9.0.2** The reasons upon which the CM/GC bases his claim, demonstrating thereby that the costs, liabilities or debts reflected in the claim are not already a part of the GMP and its compensation under the Contract and therefore specific relief is due it for the claim.
  - **9.0.3** The City shall respond to the claim within twenty (20) days after receipt of a claim. In the event there is no resolution of the claim from that response, the CM/GC reserves his right to seek legal redress.

**9.0.4 Sovereign Immunity**. The City expressly retains all rights, benefits and immunities of sovereign immunity in accordance with Section 768.28, Florida Statutes (as amended). Notwithstanding anything set forth in any section of this Contract to the contrary, nothing in this Contract may be deemed as a waiver of immunity or limits of liability of the City beyond any statutorily limited waiver of immunity or limits of liability which may have been or may be adopted by the Florida Legislature, and the cap on the amount and liability of the City for damages, regardless of the number or nature of claims in tort, equity, or contract, may not exceed the dollar amount set by the legislature for tort. Nothing in this Contract may inure to the benefit of any third party for the purpose of allowing any claim against the City, which claim would otherwise be barred under the doctrine of sovereign immunity or by operation of law.

# 9.1 Mediation.

- **9.1.1** The parties to this Contract shall exercise their best efforts to negotiate and settle promptly any dispute that may arise with respect to this Contract in accordance with the provisions set forth in this Section. The CM/GC and City Project Manager shall use reasonable efforts to arrange personal meetings and/or telephone conferences as needed, at mutually convenient times and places, to address and work toward resolution of issues that arise in performance of this Contract and any applicable scope of services. Issues shall be escalated to successive management levels as indicated in Section 9.1.3 below.
- **9.1.2** If a dispute develops between the parties concerning any provision of this Contract, or the interpretation thereof, or any conduct by the other party under these contracts, and the parties are unable to resolve such dispute within ten (10) days, that party, known as the Invoking Party, through its applicable Project Manager, shall promptly bring the disputed matter to the attention of the non-Invoking Party's Project Manager or designated representative, as the case may be, of the other party in writing ("Dispute Notice") in order to resolve such dispute.
- **9.1.3** Upon issuance of a Dispute Notice, the Project Managers or designated representative(s) shall furnish to each other all non-privileged information with respect to the dispute believed by them to be appropriate and germane. The Project Managers or designated representative(s) shall negotiate in an effort to resolve the dispute without the necessity of any formal proceeding. If such dispute is not resolved by the Project Managers or designated representative(s) within ten (10) business days, the Project Managers or designated representative(s) shall escalate the dispute as indicated below.

<b>Business Days</b>	CM/GC's Representative	City Representative
10	Project Executive Manager	Project Manager
20	CM/GC's COO or President	City Manager

**9.2** Formal Dispute Resolution. At any point after issuance of a Dispute Notice under this section, either party may initiate formal non-binding mediation before a single mediator, which mediation shall be completed within thirty (30) days of initiation in accordance with the rules of practice and procedure adopted by the Supreme Court of Florida for court-ordered mediation, Rule 1.700 et seq. of the Florida Rules of Civil Procedure, and Chapter 44, Florida Statutes. If the dispute remains unresolved after conducting such mediation, then either party may proceed to finalize

such termination remedies and commence litigation in a court of competent jurisdiction If litigation is prematurely commenced, it shall be stayed until the mediator makes the required certification.

- **9.3** The CM/GC shall carry on the Work and maintain the progress scheduled during any administrative or judicial proceeding, unless otherwise agreed by the CM/GC and the City in writing, and the City shall continue to make payments on undisputed pay requests or invoices to the CM/GC in accordance with the provisions of this Contract.
- **9.4** All claims, disputes and other litigation shall be determined under the judicial system of the State of Florida. Venue for litigation will be exclusively in Volusia County, Florida, unless suit is brought in federal court, in which case, venue will lie in the Middle District of Florida, Orlando Division.
- **9.5 Truth in Negotiation**. CM/GC's signature on this Contract acts as the execution of truth-innegotiation certificate stating that wage rates and other factual unit costs supporting the compensation set forth in this Contract are accurate, complete, and current at the time of contracting and that the CM/GC has disclosed to the City prior to the execution of this Contract all debts, fees, or obligations owed to or pending before the City.
- **9.6** Indemnification. The CM/GC shall indemnify and hold harmless the City including its districts, authorities, separate units of government established by law, ordinance or resolution, partners, elected and non-elected officials, employees, agents, volunteers, and any party with whom the City has agreed by contract to provide additional insured status and the State of Florida, including its officers and employees, from and against all liabilities, damages, losses and costs, including, but not limited to, reasonable attorney's fees, to the extent caused by the negligence, recklessness, or intentional wrongful misconduct of the CM/GC or its subcontractors, agents, employees, or any persons employed or utilized by the CM/GC in the performance of the CM/GC's obligations or services under this Contract. Such obligations or services shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity which would otherwise exhaust as to a party or person describe in this Contract.
  - **9.6.1** In all claims against City, including its districts, authorities, separate units of government established by law, ordinance or resolution, partners, elected and nonelected officials, employees, agents, volunteers, and any party with whom the City has agreed by contract to provide additional insured status, and any employee of CM/GC or anyone directly or indirectly employed by CM/GC or anyone for whose acts Consultant may be held legally liable, no indemnification obligation shall be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for CM/GC, or any contractor, subcontractor or sub-subcontractor thereof under Florida's Workers' Compensation acts, disability benefit acts, or other employee benefit acts.
  - **9.6.2** CM/GC's obligations or services shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity or insurance defense of additional or named insureds which would otherwise exhaust or be unavailable as to a party or person described in this Contract.
  - **9.6.3** The indemnification requirements stated in subsection 9.6 and 9.6.1 herein shall survive the termination of this Contract. Nothing contained in this paragraph is intended to nor shall it constitute a waiver of the State of Florida and the City's sovereign immunity.
  - **9.6.4** If this Agreement constitutes a contract subject to the limitations of § 725.06 or § 725.08, Florida Statutes, any indemnification provision contained herein will be

deemed or otherwise interpreted to provide the maximum indemnification allowed by such statute and require the CM/GC to indemnify and hold harmless the City, including its officers and employees, from liabilities damages, losses and costs, including, but not limited to, reasonable attorney's fees, to the extent caused by the negligence, recklessness, or intentional wrongful misconduct of the CM/GC and persons employed or utilized by CM/GC in the performance of this Agreement. Furthermore, if (and only if) applicable law requires that there be a maximum monetary limit of indemnification for which CM/GC is responsible so that any such indemnification provision remains enforceable, such limit for any indemnification provision(s) contained within this Agreement or the Original Government Contract is two million dollars (\$2,000,000) per occurrence, which the City and Vendor agree bears a commercially reasonable relationship to this Agreement and the work and services to be performed hereunder.

# ARTICLE 10

# MISCELLANEOUS

- **10.0** Force Majeure. Neither party will be liable for any failure or delay in the performance of its obligations under the Contract to the extent such failure or delay necessarily results from the occurrence of a Force Majeure Event beyond the control or reasonable anticipation of either party, including, but not limited to, compliance with any unanticipated government law or regulation not otherwise in effect at the time of execution of this Contract, acts of God, acts of domestic or international terrorism, pandemic, unforeseeable governmental acts or omissions, fires, strikes, natural disasters, wars, riots, transportation problems, and/or any other unforeseeable cause whatsoever beyond the reasonable control of the parties (and such cause being referred to as a "Force Majeure Event"). Accordingly, the parties further agree that:
  - **10.0.1** Upon the occurrence of Force Majeure Event, the non-performing party will be excused from any further performance of those obligations under this Contract that are affected by the Force Majeure Event for as long as (a) the Force Majeure Event continues; and (b) the non-performing party continues to use commercially reasonable efforts to recommence performance whenever and to whatever extent possible without delay.
  - **10.0.2** Upon the occurrence of a Force Majeure Event, the non-performing party shall notify the other party of the occurrence of such event and describe in reasonable detail the effect(s) of such event upon the party's performance of its obligations and duties pursuant to this Contract. Such notice must be delivered or otherwise communicated to the other party within three (3) business days following the failure or delay caused by the Force Majeure Event or as soon as possible after such failure or delay if the Force Majeure Event precludes the non-performing party from providing notice within such time period.
  - **10.0.3** In the event of a Force Majeure Event, the time for performance by the parties under the applicable statement of work will be extended for a period of time equal to the time lost by reason of such cause through execution of a Change Order pursuant to the terms of the Contract. Additionally, the CM/GC will be entitled to reasonable compensation for any additional compensable project costs and expenses directly resulting from the Force Majeure Event, subject to the City's verification of such costs via documentation and mutual agreement between the parties.

**10.1 Claims Notice**. The CM/GC shall timely report in writing to the City's Director of Risk Management any incident it believes might result in claims under any of the coverages mentioned herein.

Name:	Carmen Rosamonda, City Manager
Address:	16 Colomba Road
	DeBary, Florida 32713
Telephone:	386-601-0218
Email:	crosamonda@debary.org

- **10.2 Successors and Assigns.** City and CM/GC each binds itself and its partners, successors and successors in interest, affiliates, executors, administrators, assigns and legal representatives to the other party to this Contract and to the partners, successors, executors, administrators, assigns and legal representatives of such other party, in respect to all covenants, contracts and obligations of this Contract. Neither City nor CM/GC shall assign, sublet or transfer any rights under or interest in this Contract without the written consent of the other. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Contract.
- **10.3** Additional Rights and Remedies. The rights and remedies of the City provided for under this Contract are in addition to any other rights and remedies provided by law; the City may assert its right of recovery by any appropriate means including, but not limited to, set-off, suit, with-holding, recoupment, or counterclaim, either during or after performance of this Contract.
- **10.4 MBE.** This Contract is entered into by the City and CM/GC pursuant to the minority business enterprise procurement goals under Section 287.09451, F.S.

# 10.5 Local Government Policies

**10.5.1 Public Records Law.** Pursuant to section 119.0701(2)(a), Florida Statutes, the City is required to provide CM/GC with this statement and establish the following requirements as contractual obligations pursuant to the Agreement:

IF THE CM/GC HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CM/GC'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT 386-601-0219 OR EMAIL AT AHATCH@DEBARY.ORG.

By entering into this Contract, CM/GC acknowledges and agrees that any records maintained, generated, received, or kept in connection with, or related to the performance of services provided under, this Contract are public records subject to the public records disclosure requirements of section 119.07(1), Florida Statutes, and Article I, section 24 of the Florida Constitution. Pursuant to section 119.0701, Florida Statutes, any CM/GC entering into a contract for services with the City is required to:

**10.5.1.1** Keep and maintain public records required by the City to perform the services and work provided pursuant to this Contract.

- **10.5.1.2** Upon request from the City's custodian of public records, provide the City with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes, or as otherwise provided by law.
- **10.5.1.3** Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the Contract term and following completion of the Contract if the CM/GC does not transfer the records to the City.
- **10.5.1.4** Upon completion of the Contract, transfer, at no cost, to the City all public records in the possession of the CM/GC or keep and maintain public records required by the City to perform the service. If the CM/GC transfers all public records to the City upon completion of the Contract, the CM/GC shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the CM/GC keeps and maintains public records upon completion of the Contract, the CM/GC shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the City, upon request from the City's custodian of public records, in a format that is compatible with the information technology systems of the City.
- **10.5.1.5** Requests to inspect or copy public records relating to the City's Contract for services must be made directly to the City. If CM/GC receives any such request, CM/GC shall instruct the requestor to contact the City. If the City does not possess the records requested, the City shall immediately notify the CM/GC of such request, and the CM/GC must provide the records to the City or otherwise allow the records to be inspected or copied within a reasonable time.
- **10.5.1.6** CM/GC acknowledges that failure to provide the public records to the City within a reasonable time may be subject to penalties under section 119.10, Florida Statutes.
- **10.5.1.7** CM/GC further agrees not to release any records that are statutorily confidential or otherwise exempt from disclosure without first receiving prior written authorization from the City.

CM/GC shall indemnify, defend, and hold the City harmless for and against any and all claims, damage awards, and causes of action arising from the CM/GC's failure to comply with the public records disclosure requirements of section 119.07(1), Florida Statutes, or by CM/GC's failure to maintain public records that are exempt or confidential and exempt from the public records disclosure requirements, including, but not limited to, any third party claims or awards for attorney's fees and costs arising therefrom. CM/GC authorizes City to seek declaratory, injunctive, or other appropriate relief against CM/GC from a Circuit Court in Volusia County on an expedited basis to enforce the requirements of this section.

**10.5.2 Financial Records**. CM/GC agrees to maintain such financial records and other records as may be prescribed by the City or by applicable federal and state laws, rules, and regulations. City shall have the right to audit the books, records, and accounts of CM/GC that are directly related to the Contract. CM/GC shall keep such books, records, and accounts as may be necessary in order to record complete and correct entries related to the Contract. CM/GC shall keep such books, records, and accounts of the Contract. CM/GC shall keep such books, records, and accounts as may be necessary in order to record complete and correct entries related to the Contract. CM/GC shall preserve and make available, at reasonable times for

examination and audit by City, all financial records, supporting documents, statistical records, and any other documents pertinent to this Contract for a minimum period of three (3) years after termination of this Contract. If any audit has been initiated and audit findings have not been resolved at the end of the retention period or three (3) years, whichever is longer, the books, records, and accounts shall be retained until resolution of the audit findings; provided, however, that it shall be City's responsibility to notify CM/GC of the pendency of such audit. Any incomplete or incorrect entry in such books, records, and accounts shall be a basis for City's disallowance and recovery of any payment upon such entry.

**10.5.3 Payments Subject to Appropriation**. Notwithstanding any other term or provision of this Contract, the continuation of this Contract beyond a single fiscal year of City is subject to the appropriation and availability of funds in accordance with § 166.241, Florida Statutes. If at any time funds are not appropriated for the Services and Deliverables provided or to be provided under this Contract, cancellation must be accepted by CM/GC with thirty (30) days prior written notice, but failure to give such notice shall be of no effect. Termination by the City due to non-appropriation shall be without a termination chargeby CM/GC. City is not obligated to pay CM/GC under this Contract beyond the date of termination. CM/GC has no right to compel the City of DeBary Council to appropriate funds for any fiscal year to pay the compensation.

#### 10.5.4 Prohibition Against Contingent Fees.

- **10.5.4.1** The CM/GC warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for the CM/GC to solicit or secure this Contract and that it has not paid or agreed to pay any person, company, corporation, individual, or firm, other than a bona fide employee working solely for CM/GC any fee, commission, percentage, gift, or other consideration contingent upon or resulting from the award or making of this Contract.
- **10.5.4.2** Neither CM/GC, nor any parent or subsidiary corporation of CM/GC warrants has employed or retained any company or persons, other than a bona fide employee working solely for CM/GC, to solicit or secure this Contract and that they have not paid or agreed to pay any persons, company, corporation, individual or firm, other than a bona fide employee working solely for CM/GC, any fee, commission, percentage, gift, or other consideration contingent upon award of this Contract. For the breach or violation of this provision, City shall have the right to terminate this Contract at its discretion, without liability and to deduct from the Contract Price, or otherwise recover, the full amount of such fee, commission, percentage, gift, or consideration.
- **10.5.4.3** For the breach or violation of this section, the City shall have the right to terminate this Contract without liability and, at its discretion, to deduct from the Contract Price, or otherwise recover, the full amount of such fee, commission, percentage, gift, or consideration.
- **10.5.5 Truth in Negotiation**. CM/GC's signature on this Contract shall act as the execution of truth-in-negotiation certificate stating that wage rates, and other factual unit costs supporting the compensation set forth in this Contract are accurate, complete and current at the time of contracting and that it has disclosed to the City prior to the execution of this Contract all debts, fees or obligations owed to or pending before the City.

- **10.5.6** No Code Violation or Past Due Debt. The CM/GC warrants and represents that neither the business, nor any officer or significant stakeholder of the business is in violation of the City of DeBary Code of Ordinances, and does not owe the City any past due debt. Any breach of the foregoing warranty and representation shall be a material breach of this Contract and the City shall have the right to terminate this Contract as set forth herein.
- **10.5.7** Changes Due to Public Welfare. The City and CM/GC agree to enter into good faith negotiations regarding modifications to this Contract which may be required in order to implement changes in the interest of the public welfare or due to change in law or Ordinance.
- **10.5.8 Compliance with Applicable Laws**. CM/GC shall perform its obligations hereunder in accordance with all applicable federal, state and local laws, ordinances, rules, regulations, and all orders and decrees of bodies or tribunals having jurisdiction or authority which in any manner affect the performance of this Contract. Additionally, CM/GC shall obtain and maintain at its own expense all applicable licenses and permits to conduct business pursuant to this Contract from the federal government, State of Florida, City of DeBary, or municipalities when legally required and maintain same in full force and effect during the term of this Contract.
- **10.5.9 Drug Free Workplace**. The City of DeBary is a drug-free and smoke-free workplace. CM/GC agrees that it shall provide a drug-free environment to its personnel during the terms of the Contract and shall comply, subject to the prior receipt, with the City's policies on drug-free and smoke-free work place during the term of this Contract.
- **10.5.10 Background Checks.** CM/GC and its Trade Contractors understand that certain areas of the City's premises may not be available to CM/GC or Trade Contractor personnel without background checks and that such access may be required to perform the Services contemplated by this Contract.
- **10.5.11 Employment of Illegal Aliens.** CM/GC certifies that it does not knowingly or willing and shall not during the performance of the Contract employ illegal alien workers or otherwise violate the provisions of the Federal Immigration Reform and Control Act of 1986, as amended.
- **10.5.12** Nondiscrimination and Americans with Disabilities Act. CM/GC may not unlawfully discriminate against any person in the operations and activities in the use or expenditure of the funds or any portion of the funds provided by this Contract. CM/GC agrees it shall affirmatively comply with all applicable provisions of the Americans with Disabilities Act (ADA) in the course of providing any Services funded by City, including Titles I and II of the ADA (regarding nondiscrimination on the basis of disability), and all applicable regulations, guidelines, and standards. In performing under this Contract, CM/GC agrees that it shall not commit an unfair employment practice in violation of any state or federal law and that it shall not discriminate against any member of the public, employee or applicant for employment for work under this Contract because of race, color, religion, gender, sexual orientation, age, national origin, political affiliation, or disability and shall take affirmative steps to ensure that applicants are employed and employees are treated during employment without regard to race, color, religion, gender, sexual orientation, age, national origin, political affiliation, gender, sexual orientation, age, national origin, or disability.

- **10.5.13** In accordance with the American Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing a special accommodation to participate in the proceedings, or an interpreter to participate in any proceedings, should contact the City Clerk at 386-601-0219 for assistance, at least two business days before any meeting date. Assisted listening system receivers are available for the hearing impaired and can be obtained from the City Clerk.
- **10.5.14 E-VERIFY.** The CM/GC shall utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the CM/GC on or after the effective date of this Contract and thereafter during the remaining term of the Contract, including sub-contractors. Any sub-contract entered into by CM/GC with any sub-contractor performing work under this contract shall include the following language: "The Sub-Contractor shall utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the CM/GC on or after the effective date of this Contract and thereafter during the remaining term of the Contract." The CM/GC covenants and agrees that if it is found in violation of this section or the Executive Order, such violation shall be a material breach of this Contract and CM/GC shall indemnify, defend and hold harmless the City from any fines or penalties levied by a government agency, including the loss or repayment of grant funds by the City.
- **10.5.15 Controlling Law.** This Contract is to be governed by the laws of the State of Florida. Venue for any litigation between the parties to this Contract shall be in the County of Volusia, Florida and any trial shall be non-jury. Each party agrees to bear its own costs and attorney's fees relating to any dispute arising under this Contract.
- **10.5.16** Modifications to Contract. This Contract and any exhibits, amendments and schedules may only be amended, supplemented, modified or canceled by a written instrument duly executed by the parties hereto.
- **10.5.17** Entire Contract. This Contract, together with any exhibits, schedules, attachments and amendments thereto constitute the entire Contract between City and CM/GC and supersede all prior written or oral understandings.
- Scrutinized Companies, FL Statue Section 287.135 and 215.473. CM/GC must certify 10.5.18 that the company is not participating in a boycott of Israel. For Contracts for goods or services of one million dollars or more, CM/GC must also certify that CM/GC is not on the Scrutinized Companies that Boycott Israel List, not on the Scrutinized Companies with Activities in Sudan List, and not on the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or has not been engaged in business operations in Cuba or Syria. Subject to limited exceptions provided in state law. The City will not contract for the provision of goods or services with (i) any company participating in a boycott of Israel, and, (ii) for Contracts for goods or services of one million dollars or more, any other scrutinized company as described above. CM/GC must have submitted the certification form with their response to City Solicitation 20- SQ-118IF. Submitting a false certification shall be deemed a material breach of contract. The City shall provide notice, in writing, to the CM/GC of the City's determination concerning the false certification. The CM/GC shall have five (5) Calendar days from receipt of notice to refute the false certification allegation. If such false certification is discovered during the active contract term, the CM/GC shall have ninety (90) days following receipt of the notice to respond in writing and demonstrate that the determination of false certification was made in error. If the CM/GC does not demonstrate that the City's determination of false certification was made in error then the City shall have the right to terminate the Contract

and seek civil remedies pursuant to Section 287.135, Florida Statutes, as amended from time to time.

IN WITNESS WHEREOF, the parties have made and executed this Contract for DeLeon Springs Utility Extensions, Part A, the day and year below written.

CM/	GC: WHARTON-SMITH, INC.		STRATON-SM/
BY:	Dar a Car (Signature)		(SEAL)
BY:	Darin A. Crafton, Chief Operating Officer - Commercial Corporate Officer & Title		CRID.
Date	1/12/2024		
	ATTEST: Childenene	Date:	1/12/2024
	City	of DeBa	ry

B:_____ Karen Chasez Mayor – Seat 5

ATTEST:

Annette Hatch, MMC, City Clerk

APPROVED AS TO FORM AND LEGALITY:

A. Kurt Ardaman, City Attorney

and seek civil remedies pursuant to Section 287.135, Florida Statutes, as amended from time to time.

IN WITNESS WHEREOF, the parties have made and executed this Contract for DeLeon Springs Utility Extensions, Part A, the day and year below written.

CM/GC: WHARTON-SMITH, INC.	
	(SEAL)
BY:(Signature)	
BY:	_
Corporate Officer & Title	
Date:	
ATTEST:	Date:
ATTEST: ATTEST: Armette Hatch, MC, City Clerk APPROVED AS TO FORM AND LEGALITY: A. Kurt Ardaman, City Attorney	City of DeBary B: Hard Chasez Mayor – Seat 5

# **EXHIBIT "A"**

# SCOPE OF SERVICES

Preconstruction Phase Services:

- Prepare submit and negotiate with City pre-construction management price proposals for cost of pre-construction services.
- Attend Project Meetings
- Work side by side with the city project manager, city staff and the architect/ engineer consultant throughout
- Submit GMP estimate, critical path method calendar schedules and reports at phased levels of completion
- Solicit and evaluate subcontractor qualifications
- Solicit, schedule and lead pre-bid meetings
- Prepare subcontract bid packages utilizing the architect/ engineer consultant drawings and specification
- Solicit and evaluate subcontract bids
- Develop bid alternates and value engineering options to meet established construction budget
- Prepare guaranteed maximum price(s)(GMP)
# **EXHIBIT D**

# INSURANCE REQUIREMENTS

# 1. Required Types of Insurance

The CM/GC shall purchase and maintain at its own expense, during the term of the Agreement, the types and amounts of insurance with limits no less than those shown below, in the form and from companies satisfactory to the City. The CM/GC shall review the additional requirements in this Exhibit and ensure that the insurance policies comply with the specific terms and conditions therein.

- A. **General.** For the purposes of indemnification of the City or an endorsement or insurance coverage under this Agreement/Contract under which the City is a "named insured", "additional named insured", or "additional insured", the term "City" includes the City of DeBary, including its districts, authorities, separate units of government established by law, ordinance, or resolution, partners, elected and non-elected officials, employees, agents, volunteers, and any party with whom the City has agreed by contract to provide additional insured status.
- Claims Made Basis Insurance Policies. All insurance policies written on Β. a Claims Made Form shall maintain a retroactive date prior to or equal to the effective date of the Agreement. For any Claims Made policies acquired by the CM/GC in connection with this Project, the CM/GC shall purchase a Supplemental Extended Reporting Period ("SERP") with a minimum reporting period of not less than three (3) years in the event the policy is canceled, not renewed, switched to occurrence form, or any other event which requires the purchase of a SERP to cover a gap in insurance for claims which may arise under or related to the Agreement. The CM/GC's purchase of the SERP shall not relieve the CM/GC of the obligation to provide replacement coverage. In addition, the CM/GC shall require the carrier immediately inform the CM/GC, the City's Risk Manager, and the City's procurement department of any contractual obligations that may alter its professional liability coverage under the Agreement.
- C. Additional Insured, Policies, Coverages, Limits, Primary and Non-Contributory Basis. Under all insurance policies where the City is required to be an additional insured, the coverage and limits provided to the City under CM/GC's insurance policies shall be at least the limits required herein or the CM/GC's actual limits, whichever is higher. All coverage provided to the City as an additional insured by said policies shall be primary and shall not be additional to or contributing with any other insurance carried by or for the benefit of the City with any other insurance available to the City. The CM/GC shall utilize ISO Form CG 20 38 04 13 or equivalent to provide additional insured status to the City and any party to whom the City is contractually bound to provide additional insured status under a commercial general liability policy.

- D. **Pollution Coverage.** If the services provided require the disposal of any hazardous or non-hazardous materials off the job site, the disposal site operator must furnish a certificate of insurance for Pollution Legal Liability with coverage for bodily injury and property damage for losses that arise from the facility that is accepting the waste under the Agreement.
- Commercial General Liability Insurance. The CM/GC shall acquire and E. maintain Commercial General Liability insurance, with limits of not less than \$1,000,000 per occurrence, \$2,000,000 in the aggregate. CM/GC may not obtain an insurance policy wherein the policy limits are reduced by defense and claim expenses. Such insurance must be issued on an occurrence basis and include coverage for the CM/GC's operations. independent contractors, subcontractors and "broad form" property damage coverages protecting itself, its employees, agents, contractors or subsidiaries, and their employees or agents for claims for damages caused by bodily injury, property damage, or personal or advertising injury, and products liability/completed operations including what is commonly known as groups A, B, and C. Such policies shall include coverage for claims by any person as a result of actions directly or indirectly related to the employment of such person or entity by the CM/GC or by any of its subcontractors arising from work or services performed under the Public liability coverage shall include either blanket Aareement. contractual insurance or a designated contract contractual liability coverage endorsement, indicating expressly the CM/GC's Agreement to indemnify, defend and hold harmless the City as provided in the Agreement. The commercial general liability policy shall provide coverage to City when it is required to be named as an additional insured either by endorsement or pursuant to a blanket additional insured endorsement, for those sources of liability which would be covered by the latest edition of the standard Commercial General Liability Coverage Form (ISO Form CG 00 01), as filed for use in the State of Florida by the Insurance Services Office, without the attachment of any endorsements excluding or limiting coverage for Bodily Injury, Property Damage, Products/Completed Operations, independent contractors, Property of City in Contractor's Care. Custody or Control or Property of City on which contracted operations are being performed, Explosion, Collapse or Underground hazards (XCU Coverage, Contractual Liability or Separation of Insureds. When Citv is added as additional insured by endorsement, ISO Endorsements CG 20 10 and CG 20 37 or their equivalent shall be used and shall provide such additional insured status that is at least as broad as ISO form CG 20 10 11 85. If City has agreed by separate contract to require CM/GC to name another party as an additional insured, CM/GC shall add said party as an additional insured to the commercial general liability policy by ISO Endorsement CG 20 38. CM/GC shall require its subcontractors performing work under this Agreement to add the City and any other party that the City has agreed by separate contract to require CM/GC to name as an additional insured to their Commercial General Liability policy as an additional insured by ISO Endorsement CG 20 38. All commercial general liability policies shall provide a waiver of subrogation in favor of the City

and any other party required by this Agreement to be named as an additional insured. The commercial general liability policy shall be provided on a project or location specific basis for the location or project site where the work or services are to be performed under the Agreement. In the alternative, the commercial general liability policy shall be endorsed to provide the designated aggregate per location endorsement or equivalent on a form approved or requested by the City's Risk Manager.

- F. **Motor Vehicle Liability.** The CM/GC shall secure and maintain during the term of the Agreement motor vehicle coverage in the combined single limit of one million dollars (\$1,000,000) with "Any Auto", Coverage Symbol 1, providing coverage for all autos operated regardless of ownership, and protecting itself, its employees, agents or lessees, or subsidiaries and their employees or agents against claims arising from the ownership, maintenance, or use of a motor vehicle. The City shall be added as an additional insured under this policy.
- G. **Professional Liability.** The CM/GC shall ensure that it secures and maintains, during the term of the Agreement, Professional Liability insurance with limits of no less than the combined single limit amount of one million dollars (\$1,000,000) in respect only to the project(s) contemplated by the Agreement. Such policy shall cover all the CM/GC's and its subcontractors' professional liabilities whether occasioned by the CM/GC or its subcontractors, or its agents or employees [and broad enough to include errors and omissions specific to CM/GC's professional liability for direct and contingent design errors and Architect's/Engineers professional liability with no exclusions for design-build work]. The City shall be an additional insured under this policy when required in Figure 1.
- H. **Primary and Excess Coverage.** Any insurance required may be provided by primary and excess insurance policies.

# 2. Insurance Requirements

- A. General Requirements.
  - i. All insurance policies shall be issued by insurers licensed and/or duly authorized under Florida Law to do business in the State of Florida and all insuring companies are required to have a minimum rating of A- and a Financial category size of VIII or greater in the "Best Key Rating Guide" published by A.M. Best & Company, Inc.
  - ii. Approval by City of any policy of insurance shall not relieve CM/GC from its responsibility to maintain the insurance coverage required herein for the performance of work or services by the CM/GC or its Subcontractors for the entire term of the Agreement and for such longer periods of time as may be required under other clauses of the Agreement.
  - iii. Waiver of Subrogation. The CM/GC hereby waives all rights

against the City and its Subcontractors for damages by reason of any claim, demand, suit or settlement (including workers' compensation) for any claim for injuries or illness of anyone, or perils arising out of the Agreement. The CM/GC shall require similar waivers from all its Subcontractors. CM/GC's insurance policies shall include a waiver of subrogation in favor of the City. This provision applies to all policies of insurance required under the Agreement (including Workers' Compensation, and general liability).

- iv. <u>City Not Liable for Paying Deductibles.</u> For all insurance required by CM/GC, the City shall not be responsible or liable for paying deductibles for any claim arising out of or related to the CM/GC's business or any Subcontractor performing work or services on behalf of the CM/GC or for the CM/GC's benefit under the Agreement.
- v. <u>Cancellation Notices.</u> During the term of the Agreement, CM/GC shall be responsible for promptly advising and providing the City's Risk Manager and the Purchasing and Contracts divisions with copies of notices of cancellation or any other changes in the terms and conditions of the original insurance policies approved by the City under the Agreement within two (2) business days of receipt of such notice or change.
- Deductibles. If the CM/GC maintains and administers a self-insured vi. retention or a large deductible program exceeding the insurance requirements listed in this solicitation using a formal program to fund either program may submit a request to be considered as meeting the insurance requirements of this Agreement. The request must include a summary of the program's design, funding method, and the program's supporting financial information. If additional information is necessary, the City will request more specific information, which must be provided by the CM/GC. The City's Risk Manager will review the information submitted and determine whether the program is acceptable to the City. If the CM/GC has no formal risk management program in place to manage and fund deductibles or self-insured retentions, then the program is ineligible for consideration. Subject to City approval, CM/GC may obtain a letter of credit in the amount equivalent to the deductible, which must remain in effect during the term of the Agreement at no additional cost to the City.

# 3. **Proof of Insurance**

- A. The CM/GC shall be required to furnish evidence of all required insurance in the form of certificates of insurance, which shall clearly outline all hazards covered as itemized herein, the amounts of insurance applicable to each hazard and the expiration dates.
- B. The CM/GC shall furnish proof of insurance acceptable to the City prior to or at the time of execution of the Agreement and the CM/GC shall not

commence work or provide any service until the CM/GC has obtained all the insurance required under the Agreement and such insurance has been filed with and approved by the City. Upon request from the City, the CM/GC shall furnish copies of all requested policies and any changes or amendments thereto, immediately, to the City, the City Risk Manager, and Purchasing and Contracts Divisions, prior to the commencement of any contractual obligations. The Agreement may be terminated by the City, without penalty or expense to City, if at any time during the term of the Agreement proof of any insurance required hereunder is not provided to the City.

- C. All certificates of insurance shall clearly indicate that the CM/GC has obtained insurance of the type, amount and classification required by this Section. No work or services by CM/GC may be commenced until City has approved these certificates of insurance. Further, the CM/GC agrees that the City shall make no payments pursuant to the terms of the Agreement until all required proof or evidence of insurance has been provided to the City. The Agreement may be terminated by the City, without penalty or expense, if proof of any insurance required hereunder is not provided to the City.
- D. The CM/GC shall file replacement certificates with the City at the time of expiration or termination of the required insurance occurring during the term of the Agreement. In the event such insurance lapses, the City expressly reserves the right to renew the insurance policies at the CM/GC's expense or terminate the Agreement but City has no obligation to renew any policies.
- **4**. **Survival.** The provisions of this Exhibit D, will survive the cancellation or termination of the Agreement.

# PRECONSTRUCTION SERVICES WORKSHEET

City of Debary Fire Station #39 Project

Wharton-Smith, Inc.

### Tuesday, October 24, 2023

Labor Burden 45.00%

CMP DEVELOPMENT				Unit Costs	A Contraction of the second	
Staff Name	Title/Responsibility	Base Rate	Burden	Loaded Rate	Hours	Total \$
Rick Bundy	Project Executive	\$90.00	\$40.50	\$130.50	8	\$1,044.00
Duncan Graham	Project Manager	\$66.00	\$29.70	\$95.70	40	\$3,828.00
Paul Radenhausen	Senior Superintendent	\$80.00	\$36.00	\$116.00	8	\$928.00
Daniel Kemack	Lead Cost Estimator	\$80.00	\$36.00	\$116.00	80	\$9,280.00
Estimators	Estimators	\$66.00	\$29.70	\$95.70	360	\$34,452.00
Carly Burleson	Precon Coordinator	\$44.00	\$19.80	\$63.80	16	\$1,020.80
Michael Christian	Scheduler	\$80.00	\$36.00	\$116.00	8	\$928.00
	Testional				520	\$51,480.80

REIMBURSABLES		and the state of the	and the state of the state of the
In the second seco	Quantity	Cost	Total \$
Equipment		\$250.00	\$0.00
Printing Services	0	\$500.00	\$0.00
Advertisement for Bid	0	\$1,000.00	\$0.00
Advertisement for bid	0	\$0.00	\$0.00
	0	\$0.00	\$0.00
			\$0.00

PRECONSTRUCTION TOTALS		
		Totals
60% & 90% CD'S		\$0.00
GMP DEVELOPMENT		\$51,480.80
REIMBURSABLES		\$0.00
	Total Preconstruction:	\$51,480.80



# City Council Meeting City of DeBary AGENDA ITEM

Subject:	DeBary Fire	Station #39 – Conformed	Attachments:
	Construction	Plan Set	() Ordinance
From:	<b>Richard Villas</b>	eñor, City Senior Engineer	() Resolution
			(X) Supporting Documents/ Contracts
Meeting He	earing Date	May 1, 2024	() Other

# <u>REQUEST</u>

Staff is requesting City Council approve the Neel-Schaffer Proposal to prepare a conformed plan set for construction in the amount of \$39,757.00.

### <u>PURPOSE</u>

To provide a final construction plan set version for use during construction and clarify contract documents.

### **CONSIDERATIONS**

- An initial Request for Proposal (RFP) process yielded results beyond the anticipated budget. As a result, that RFP effort was later withdrawn.
- The original design contract included a budget for bid assistance to normally address changes and revisions for final construction plans, but this budget was exhausted with the first RFP effort.
- Instead of a second RFP effort, the City decided to use the Construction Manager At Risk model and issued a Request For Qualifications (RFQ) to select a Construction Manager.
- Through these various processes, a few additional Value Engineering opportunities were identified in reducing the cost of construction further.
- A preliminary Building Code Review was conducted which generated a few comments.
- Through these efforts of staff, Building Department, and Wharton-Smith (the awarded Construction Manager), including previous and current bidder clarifications, various plan mark-ups and comments remain outstanding which require incorporation into the construction plans.

### COST/FUNDING

Funding of this proposal will be applied from the current Fire Station budget.

### RECOMMENDATION

It is recommended that the City Council approve the Neel-Schaffer Proposal to prepare a conformed plan set for construction in the amount of \$39,757.00 and authorize the City Manager to execute the agreement.

### **IMPLEMENTATION**

Effective upon Council approval of this item.

<u>ATTACHMENTS</u> Neel-Schaffer Proposal



March 27, 2024

Mr. Richard Villasenor, City Engineer City of DeBary 16 Colomba Road DeBary, Florida 32713 engineers

planners

urveyors

environmental scientists

> landscape architects

structural designers

# REFERENCE: Proposal For Additional Professional Engineering Services for The Fort Florida Road Fire Station No. 39 – Conformed Document Services

Dear Richard:

We are pleased to submit this proposal to provide additional professional engineering services related to the Fort Florida Road Fire Station No. 39 rebidding efforts. As requested, NSI will provide the additional scope of work to prepare conformed contract documents which will incorporate plan and specification markups provided by the City from previous bidding efforts and addressing comments from bidders provided by the City as part of the current CMAR bidding of the project. Neel-Schaffer staff will address revisions to the Site/Civil, environmental, stormwater, utility and structural elements. <u>Borrelli + Partners</u> will address revisions for Architecture, Interior design and Landscape Architecture, <u>Salas O'brien</u> will address revisions for Mechanical, Electrical and Plumbing. (See Exhibit A) This scope of work is for preparation of conformed documents only. Other post design and construction phase services are beyond the scope of this proposal.

We propose to provide these services for an hourly not to exceed fee of \$39,757.00 in accordance with the hourly not to exceed method described in the CCNA contract. The summary of fees and man-hour estimates are presented in Tables 1 and 2.

We appreciate the opportunity to provide these services to the City of DeBary and look forward to continuing to work with you on this project. If you have any questions, please give me a call.

Sincerely,

Neel-Schaffer, Inc.

Steve Cockerham, P.E. Vice President/Engineer Manager

ACCEPTED:

BY: ____

PRINT NAME AND TITLE:

DATE:

TABLE 1

SUMMARY OF FEES

Item Description	Sr. Project Manager	Engineer VI	Engineer II	Designer I	TOTAL
Total Manhours (See Table 2)	20	36	48	64	168
Labor Wage Rate (\$/hr)	\$180.00	\$145.00	\$100.00	\$85.00	
Total Labor Cost	\$3,600.00	\$5,220.00	\$4,800.00	\$5,440.00	\$19,060.00
Architectural, Interior Desigr	and Landscape	Architectural Ser	vices (Borrelli+F	Partners)	\$13,197.00
Mechani	cal/Electrical/Plu	mbing (Salas-O'b	orien)		\$7,500.00
TOTAL HOURLY NO	T TO EXCEED	FEE (rounded t	o nearest dolla	r)	\$39,757.00

Neel-Schaffer Scope of Work and Manhour Estimate **Total Cost** Sr. Project **Task Description** Engineer VI Engineer II Designer I Total Manager Per Task Modify Construction plans per City Value Engineering markups from 1 8 16 24 48 \$4,800.00 previous bidding efforts and RFIs Modify Construction plans per additional City Value Engineering revisions incorporating County utility project, pavement, curbing and 32 40 112 \$12,960.00 2 16 24 stormwater revisions and permitting check and specification revisions Signing and Sealing documents and correspondence with City and 3 4 4 8 \$1,300.00 Subconsultant team Subtotal Additional Conformed Document Services 64 160 \$19,060.00 20 36 48

TABLE 2 Neel-Schaffer Scope of Work and Manhour Estimate





March 26th, 2024

Mr. Steven R. Cockerham, P.E., Senior Project Manager Neel-Schaffer, Inc. 2301 Lucien Way, Suite 300 Maitland, FL 32751

# Re: Scope and Fee Proposal for Permitting and Bidding Services for the New Fire Station for the City of Debary, FL

Dear Mr. Cockerham:

Pursuant to your request, Borrelli + Partners, Inc. (B+P) is pleased to provide this scope and fee proposal for the above referenced project for your review and consideration.

The project's scope, as we understand it, is described below:

### Property:

The property is located at 798 Fort Florida Road, DeBary, FL. It is the intent of the City to have engineer designs prepared for the entire +/-10-acre parcel for future use. In the bubble diagram provided by the City, the fire station shall be located in the SW corner of the property. The purpose is to design and build the fire station and the sanitary sewer, potable water, and stormwater for the entire site. It is anticipated future buildings will be needed on this site within the next 4-6 years.

B+P will provide permitting and bidding support of the Construction Manager @ Risk (CM@R), Wharton Smith for the new City of DeBary Fire Station. The scope includes incorporation of Value Engineering mark-ups included within a PDF accompanying this additional service request, incorporation of upcoming City plan mark-ups, responding to and incorporating Building Department review comments, reviewing and responding to bidding contractor's bid questions, and the creation of a conformed set of documents at the conclusion of the permitting and bidding process for use by the CM@R, Wharton Smith.

### NOT INCLUDED IN SCOPE OF SERVICES:

The following services are not included within our scope of services and fee proposal:

- A. Construction Observation services
- B. Civil Engineering services
- C. Structural Engineering services
- D. Geotechnical Engineering services
- E. Surveying Services
- F. Environmental Consulting Services
- G. Traffic Engineering / Studies
- H. Food Service Consultant
- I. Landscape Lighting Design
- J. LEED or Green Globes Services / Commissioning Services
- K. Public Presentations

*tel.* 407.418.1338 :: *fax* 407.418.1342 720 Vassar Street, Orlando, Florida 32804 *web* borrelliarchitects.com

AAC 000711

- L. Models or Renderings
- M. Permit Submission Review Fees
- N. Threshold Inspection

### FEE PROPOSAL:

We propose to accomplish the above scope of services for a total lump-sum fee of **Twenty Thousand Six Hundred Ninety-Seven Dollars and Zero Cents (\$20,697.00)** inclusive of reimbursable expenses and our subconsultant, Salas-Obrien. Our fee is broken down as follows:

Bidding & Construction Observa	ation:
Borrelli + Partners, Inc.:	\$13,197.00
Salas-Obrien:	<u>\$ 7,500.00</u>
Total Fees:	\$20,697.00

Please see Exhibit A – 2021 B+P Hourly Rates to be utilized for all authorized Additional Services.

If you have any questions or if I can provide any additional clarification regarding our services, please feel free to contact me at your convenience. Please notify us if this proposal meets with your approval. We look forward to working with you on this very exciting project.

Sincerely,

Jorge A. Borrelli, ASLA, LEED AP BD+C, CPTED President Borrelli + Partners, Inc. Architects Planners

Cc: Sonny Fornoles, AIA, Sr. Associate – B+P Chandra Hall, Chief Financial Officer, Sr. Associate – B+P

# EXHIBIT A

# 2023 BORRELLI + PARTNERS, INC. BILLING RATE SCHEDULE

Architectural Principals:	Billable Rate:
Architect/Landscape Architect/Interior Designer – Principal	\$200.00
Architectural Staff:	Billable Rate:
Sr. Project Manager	\$192.00
Project Manager	\$177.00
Project Architect	\$151.00
Architectural / Interior Designer	\$115.00
Landscape Architectural Staff	Billable Rate:
Project Manager Landscape Architect	\$177.00
Project Landscape Architect	\$151.00
Landscape / Irrigation Designer	\$115.00
Support Staff	Rillable Rate
Clerical / Secretarial / Administration	\$ 94.00
Architectural Spec Writer	\$135.00
Architectului spee. Which	2135.00
A/E Field Representative	Billable Rate:
Field Representative	\$150.00

### EXHIBIT A ARCHITECTURAL, INTERIOR DESIGN AND LANDSCAPE ARCHITECTURAL POST DESIGN SERVICES FOR THE CITY OF OF DEBARY FIRE STATION #9

PREPARED BY

BORRELLI + PARTNERS, INC.

ARCHITECTU	RAL, INTERIO	R DESIGN AND	LANDSCAPE A	RCHITECTURA	L SERVICES				
PHASE	PRINCIPAL	SR. PROJECT MANAGER	PROJECT MANAGER	SPECIFICATIONS WRITER	ARCHITECTURAL / INTERIOR DESIGNER	PROJECT MANAGER	LANDSCAPE / IRRIGATION DESIGNER	ADMIN	B+P TASK PHASE GRAND TOTAL
CONSTRUCTION OBSERVATION PHASE:	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
ARCHITECTURAL, INTERIOR DESIGN & LANDSCAPE ARCHITECTURAL TOTAL:									\$13,197.00
CONSULTING ENGINEERS FEES:									
Salas-Obrien (MEP/FP Engineering):									\$7,500.00
SUB-CONSULTANT DESIGN SERVICES TOTAL:									\$7,500.00
REIMBURSABLE EXPENSES:									\$0.00
GRAND TOTAL:	<u>\$300.00</u>	<u>\$4.032.00</u>	<u>\$3.186.00</u>	<u>\$540.00</u>	<u>\$3.335.00</u>	<u>\$1.062.00</u>	<u>\$460.00</u>	<u>\$282.00</u>	<u>\$20.697.00</u>

## EXHIBIT A ARCHITECTURAL, INTERIOR DESIGN AND LANDSCAPE ARCHITECTURAL POST DESIGN SERVICES FOR THE CITY OF OF DEBARY FIRE STATION #9

PREPARED BY

BORRELLI + PARTNERS, INC.

### ARCHITECTURAL, INTERIOR DESIGN AND LANDSCAPE ARCHITECTURAL SERVICES

TASK PHASE GRAND TOTAL	\$300.00	2327.00 <b>\$2,112.00</b>	\$354.00	\$0.00	\$1,035.00	\$708.00	\$230.00	\$94.00	\$4,833.00
FIRM OVERHEAD MULTIPLIER	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>
TASK PHASE TOTAL PERSONNEL DIRECT COSTS	\$300.00	\$2,112.00	\$354.00	\$0.00	\$1,035.00	\$708.00	\$230.00	\$94.00	\$4,833.00
PERSONNEL HOURLY RATES	<u>\$200.00</u>	<u>\$192.00</u>	<u>\$177.00</u>	<u>\$135.00</u>	<u>\$115.00</u>	<u>\$177.00</u>	<u>\$115.00</u>	<u>\$94.00</u>	
TOTAL TASK PHASE HOURS	1.50	11.00	2.00	0.00	9.00	4.00	2.00	1.00	30.50
B+P SUB-CONSULTANT COORDINATION DURING PERMITTING	0.00	2.00	0.00	0.00	0.00	1.00	0.00	0.00	3.00
MODIFY CONTRACT DOCUMENTS PER AHJ'S COMMENTS & RESUBMIT TO N-S/CITY	1.00	3.00	2.00	0.00	8.00	1.00	2.00	0.00	17.00
RESPOND TO PERMIT REVIEW COMMENTS FROM AHJ	0.50	2.00	0.00	0.00	0.00	1.00	0.00	1.00	4.50
ATTEND MAX. ONE (1) MEETING WITH CODE OFFICIAL	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
FILL OUT CITY BUILDING PERMIT APPLICATION	0.00	2.00	0.00	0.00	0.00	0.00	0.00	0.00	2.00
sign and seal documents electronically	0.00	2.00	0.00	0.00	1.00	1.00	0.00	0.00	4.00
PERMITTING SERVICES:									
TASKS	PRINCIPAL	MANAGER	MANAGER	WRITER	TERIOR DESIGNER S	CAPE ARCHITECT IRR	IGATION DESIGNER	ADMIN	TOTAL
		SR. PROJECT	PROJECT	SPECIFICATIONS	ARCHITECTURAL / .0	DJECT MANAGER	LANDSCAPE /		

# EXHIBIT A ARCHITECTURAL, INTERIOR DESIGN AND LANDSCAPE ARCHITECTURAL POST DESIGN SERVICES FOR THE CITY OF OF DEBARY FIRE STATION #9

PREPARED BY

### BORRELLI + PARTNERS, INC.

	ARCHITECTURAL, IN	TERIOR DES	IGN AND L	ANDSCAPE /	ARCHITECTUR	AL SERVICES			
	,,								
TASKS	PRINCIPAL	SR. PROJECT MANAGER	PROJECT MANAGER	SPECIFICATIONS WRITER	ARCHITECTURAL / INTERIOR DESIGNER	PROJECT MANAGER LANDSCAPE ARCHITECT	LANDSCAPE / IRRIGATION DESIGNER	ADMIN	TOTAL
BIDDING SERVICES:									
RESPOND TO CONTRACTOR'S QUESTIONS [RFIs]	0.00	2.00	3.00	0.00	0.00	1.00	0.00	0.00	6.00
PREPARE ADDENDA/CLARIFICATION SKETCHES	0.00	1.00	3.00	0.00	4.00	0.00	0.00	0.00	8.00
DEVELOP CONFORMED PLANS AND SPECS	0.00	4.00	8.00	4.00	16.00	1.00	2.00	2.00	37.00
TOTAL TASK PHASE HOURS	0.00	10.00	16.00	4.00	20.00	2.00	2.00	2.00	56.00
PERSONNEL HOURLY RATES	<u>\$200.00</u>	<u>\$192.00</u>	<u>\$177.00</u>	<u>\$135.00</u>	<u>\$115.00</u>	<u>\$177.00</u>	<u>\$115.00</u>	<u>\$94.00</u>	
TASK PHASE TOTAL PERSONNEL DIRECT COSTS	\$0.00	\$1,920.00	\$2,832.00	\$540.00	\$2,300.00	\$354.00	\$230.00	\$188.00	\$8,364.00
FIRM OVERHEAD MULTIPLIER	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>
TASK PHASE GRAND TOTAL	\$0.00	\$1,920.00	\$2,832.00	\$540.00	\$2,300.00	\$354.00	\$230.00	\$188.00	\$8,364.00







CITY OF DEBARY FIRE STATION NO. 39 WATER AND WASTEWATER PLAN	<b>~</b> ÖZ	3/22/23 DATE	PRE-BID /	ADDENDUM #2	REVISION			BY APVD.	STATE OF STATE OF	CENS
	DSGN	12	DR.	JDF	CHK.	SRC	APVD.		INVER X	





July 28, 2023

## City of DeBary Fire Station #39

### **Scope Reduction/Clarifications Narrative**

The following scope reduction items are hereby listed for excluding from construction at this time. Depending on pricing, the City's preference would be to include these if possible where indicated.

### Items:

- 1. Off-Site utility work except as noted on the plans.
  - a. Utility connections have been revised to match other adjacent projects including the Rivington Residential Development and the Volusia County Water Main Extension Projects.
- 2. Extra-width pavement at rear, north side of project and includes removal of unnecessary striping.
- 3. Drainage pond fountain and associated infrastructure.
- 4. Privacy fence along east property line (*Include if possible*).
- 5. Drainage structures and pipes, Value Engineering.
- 6. Potable water system and sanitary sewer force main.
  - a. Address remaining utility comments, and match other adjacent projects.
- 7. Flag and pole.
  - a. Left for donation opportunity.
- 8. Site Landscape (*Include if possible*) replaced with bahia sod. Natural areas along road frontage are to remain undisturbed except for driveway and retaining wall installations.
- 9. Site irrigation removed (*Include if possible*). Watering to be provided only during sod establishment period.
- 10. No Owner Provided-Contractor Installed items. All items are only Contractor Provided-Contractor Installed, or Owner Provided-Owner Installed. Please see Plan Sheet ID-110.
- 11. Visual Display Boards are Not in Contract.
- 12. Bulk Storage Lockers are Not in Contract.
- 13. Metal Storage Shelving is Not in Contract.
- 14. Residential Appliances are Not in Contract.
- 15. Window Treatments are Not in Contract.
- 16. Domestic Water Piping, only durable non-metallic materials as allowed by current Florida Building Code.

Please also see the questions and answers provided with the prior bid process for additional clarifications.

 From:
 mdauns@debary.org

 Sent:
 03/27/2024 - 10:14 AM

 To:
 rvillasenor@debary.org,Fireinspections@orangecityfl.gov,mdauns@debary.org

 CC:

Subject: Building Comments

