SPECIAL CITY COUNCIL MEETING



November 15, 2023 at 6:30 PM

City Council Chambers, 16 Colomba Rd.

DeBary, Florida 32713

AGENDA

CALL TO ORDER

Invocation

Flag Salute

ROLL CALL

PUBLIC PARTICIPATION: For any items **ON THE AGENDA**, citizen comments are limited to five (5) minutes per speaker. Speakers will be called when the item is introduced for discussion.

DELETIONS OR AMENDMENTS TO THE AGENDA (City Charter Sec. 4.11)

GROWTH MANAGEMENT AND DEVELOPMENT

- 1. The Applicant, Johnson Development Associates, Inc., has requested a Development Order Extension for The Haven at DeBary.
- 2. The applicant, KBC Development, Inc., has requested a Development Order Extension for the Commerce Park project.
- 3. Staff is presenting the timeline for the review, implementation and adoption of the new form-based Land Development Code (LDC).

NEW BUSINESS

- 4. The Parks and Recreation Department is requesting Council approve Resolution No. 2023-23 to confirm support and an effective date for the FY 23/24 ECHO Project for the Alexander Park Phase 1 Development.
- 5. Staff is requesting authorization to dispose of surplus property and removal of the items from capital inventory as of September 30, 2023.
- 6. The Finance Director is requesting City Council approve Resolution No. 2023-24 to amend the fiscal year 2022-2023 budget.

COUNCIL MEMBER REPORTS / COMMUNICATIONS

Board/Committee Appointments

- 7. Orlandia Heights Neighborhood Improvement District Board of Directors Secretary Member Reports/ Communications
 - A. Mayor and Council Members
 - B. City Manager
 - C. City Attorney

DATE OF UPCOMING MEETING / WORKSHOP

Regular City Council Meeting December 6, 2023, 6:30 p.m.

ADJOURN

If any person decides to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least three (3) working days in advance of the meeting date and time at (386) 668-2040.



City Council Meeting City of DeBary AGENDA ITEM

Subject:	Haven at DeBary	Attachments:			
	Development Order Extension	() Ordinance			
From:	Steven E. Bapp, AICP	() Resolution			
	Growth Management Director	() Supporting Documents/ Contracts			
		(X) Other			
Meeting H	earing Date November 15, 2023				

REQUEST

The Applicant, Johnson Development Associates, Inc., has requested a Development Order Extension for the Haven at DeBary.

PURPOSE

On September 28, 2023, the Applicant submitted their request for a development order extension for a period of 360 days.

CONSIDERATIONS

On February 6, 2023, a Preliminary Plat & Construction Plan (Engineering Plans) Development Order was issued for the Haven at DeBary. The project site is located at 721 South U.S. Highway 17-92. The project consists of 6 apartment buildings, a club house, and two commercial outparcels fronting U.S. Highway 17-92. Four of the buildings are four stories, and two of them are five stories. There are a total of 240 dwelling units.

Section 4-25 of the Land Development Code determines a Development Order shall remain valid for a period of 360 days from the date of issuance. Section 4-25 further provides that the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.

COST/FUNDING

N/A.

RECOMMENDATION

Staff recommends the City Council approve the extension request for the Haven at DeBary Preliminary Plat & Construction Plan Development Order for an additional 360 days.

IMPLEMENTATION

The applicant would need to begin moving forward with the project and meeting the conditions described on the Development Order.

ATTACHMENTS

- Engineering Plans
- Issued Development Order

FINAL CONSTRUCTION PLAN

ROR

SHEET INDEX

COVER SHEET C02.0 GENERAL NOTES

EXISTING CONDITIONS AND DEMOLITION PLAN

CO4.0 OVERALL SITE PLAN

TREE PRESERVATION PLAN

OPEN SPACE PLAN

UTILITY PLAN

LIFT STATION DETAILS DIRECTIONAL DRILL DETAIL

DRAINAGE PLAN CO9.0 GRADING PLAN **/**2**** CO9.1 GRADING PLAN

CURB AND CROSSWALK DETAILS

SWPP PLAN AND DETAILS

SWPPP NOTES CROSS SECTIONS

PROJECT CIRCULATION PLAN

UTILITY DETAILS-01

UTILITY DETAILS-02 C13.3 UTILITY DETAILS-03

CONSTRUCTION DETAILS-01

MAINTENANCE OF TRAFFIC PLAN

1 OF 2 BOUNDARY SURVEY 2 OF 2 BOUNDARY SURVEY

1 OF 2 TREE SURVEY 2 OF 2 TREE SURVEY

PHOTOMETRIC PLAN LANDSCAPE PLANS HARDSCAPE PLANS

UTILITY COMPANIES

WATER VOLUSIA COUNTY UTILITIES

VOLUSIA COUNTY UTILITIES 123 W INDIANA AVE. 123 W INDIANA AVE. DEBARY, FL 32720 DEBARY, FL 32720 (386) 736-2700

(386) 736-2700

CABLE SPECTRUM 1655 SR 472 DELAND, FL 32724 ELECTRIC

SEWER

FLORIDA POWER AND LIGHT PORT ORANGE SERVICE CENTER

MARK McMICHAEL (407)532 - 8614(386)322 - 3425

> sunshine state Know what's **below**. ONE CALL Call before you dig. CALL THE SUNSHINE STATE ONE CALL 811 OR 1-800-432-4770 48 HOURS BEFORE DIGGING FOR THE LOCATION OF UNDERGROUND UTILITIES.

HAVEN AT DEBARY

FKA: BEAULIEU DEBARY

CITY OF DEBARY, FLORIDA

900900000500 900900000501 900900000510 900900000520

741 S US HWY 17-92 DEBARY, FL 32713

APPLICANT

HAVEN AT DEBARY, LLC 100 DUNBAR SUITE 400 SPARTANBURG, SC 29306 (864) 357 - 3641

OWNER

ALICE BEAULIEU 761 S US HWY 17-92 DEBARY, FLORIDA 32713

ENGINEER

EVANS ENGINEERING, INC. 719 IRMA AVENUE ORLANDO, FLORIDA 32803 (407) 872-1515

SURVEYOR

ALLEN AND COMPANY 16 E PLANT ST. WINTER GARDEN, FLORIDA 34787 (407) 654-5355

LANDSCAPE ARCHITECT

KIRKWOOD DESIGN, LLC 1308 FALCON DR. ORLANDO, FL 32803 (407) 415-5389

EVANS

719 IRMA AVENUE ORLANDO, FLORIDA 32803 (407) 872-1515

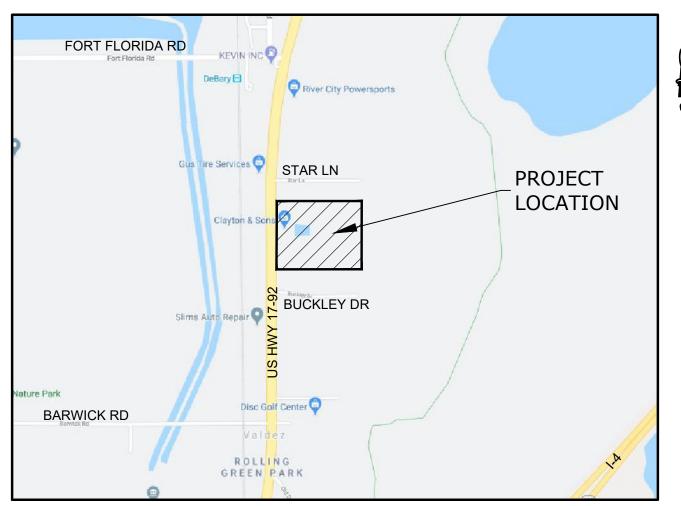
www.evansenginc.com

CERTIFICATE OF AUTHORIZATION NO. 00006788

ENGINEERING. INC.

REVISIONS

DATE	NO.	DETAILS	BY
06/01/2022	1	REV PER CITY OF DEBARY COMMENTS	LAV
09/09/2022	2	REV PER CITY OF DEBARY COMMENTS	LAV
11/30/2022	3	REV PER CITY OF DEBARY COMMENTS	LAV



VICINITY MAP

LEGAL DESCRIPTION

THAT PART OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 453.39 FEET.

THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 256.77 FEET.

BEGINNING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, THENCE WEST ALONG QUARTER SECTION LINE TO THE EAST LINE OF THE DELAND AND SANFORD ROAD (U.S. HWY NO. 17-92); THENCE SOUTH ON THE EAST LINE OF THE DELAND AND SANFORD ROAD 227.30 FEET FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED LAND; RUN THENCE SOUTH ON THE EAST LINE OF SAID DELAND AND SANFORD ROAD 227.30 FEET; THENCE EAST 212.69 FEET; THENCE NORTH 227.30 FEET; THENCE WEST 212.56 FEET TO THE POINT OF BEGINNING, VOLUSIA COUNTY, FLORIDA.

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

THE NORTH 70 FEET OF S 1/2 OF NW 1/4 OF THE SE 1/4 AND THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE EAST 256.77 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, ALSO ALL THAT PART OF THE N 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, EXCEPT THE NORTH 454.6 FEET: AND

THE EAST 453.39 FEET OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST; AND

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 454.6 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST.

TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THAT PROPERTY DESCRIBED AS: THE SOUTH 15 FEET OF THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

LESS AND EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 4342, PAGE 2575, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

SITUATE IN THE COUNTY OF VOLUSIA, STATE OF FLORIDA.

CONTAINING 14.44 ACRES, MORE OR LESS.

STANDARD SPECIAL PURPOSE NOTES:

1. NO EQUIPMENT EXTENDING HIGHER THAN 15 FT. ABOVE EXISTING GRADE SHALL BE USED WITHIN POWER EASEMENTS.

GENERAL NOTES:

- 1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- 2. CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION.
- 3. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
- WATER MANAGEMENT DISTRICT CONSUMPTIVE USE (WATER USE) FOR CONSTRUCTION DEWATERING
- WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT
- FDEP WATER DISTRIBUTION
- FDEP DREDGE AND FILL
- ACOE INDIVIDUAL DREDGE AND FILL - LOCAL RIGHT OF WAY USE
- LOCAL UNDERGROUND UTILITIES - EPA NPDES STORMWATER PERMIT
- 4. CONTRACTOR IS ADVISED THAT THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN SAME. A COPY SHALL BE SENT TO EVANS ENGINEERING, INC.
- 5. FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION." THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, DRILLING, BORING AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- 6. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS AND CABLE TV COMPANIES.
- 7. CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO BOTH ENGINEERS FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING.
- 8. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE EVANS ENGINEERING INC. WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ENSURE TIMELY CERTIFICATION OF COMPLETION TO AGENCIES AND AVOID DELAYS IN ISSUANCE OF CERTIFICATES OF OCCUPANCY/COMPLETION.
- 9. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED THE CONTRACTOR BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 10. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- 11. CONTRACTOR SHALL PROTECT ADJACENT LAKES AND WETLANDS AND ALL ADJACENT PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- 12. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER'S SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
- 13. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT
- 14. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE COUNTY/CITY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES
- 15. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE PLAT AND COORDINATES PROVIDED IN THESE PLANS. CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT THE PLAT IS CURRENT PRIOR TO CONSTRUCTION CONTRACTOR SHALL CONFIRM THE BUILDING DIMENSIONS SHOWN HEREIN WITH THOSE IN THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO STAKEOUT. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
- 16. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
- 17. CONTRACTOR SHALL FURNISH OWNER WITH SURVEYED RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. THE SUBMITTAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING AND DRAINAGE AND WATER AND SEWER NOTES.
- 18. CONTRACTOR SHALL CERTIFY VIA THE RECORD DRAWINGS THAT CONSTRUCTION CONFORMS WITH THE FOLLOWING CRITERIA:

STORMWATER MANAGEMENT AREAS, MAINTENANCE BERMS, BERM BACK SLOPES

- AND OUTFALL CONVEYANCE ARE CONSTRUCTED WITHIN DESIGNATED TRACT OR
- ELEVATIONS ARE WITHIN THE FOLLOWING SPECIFIED TOLERANCES OF DESIGN **ELEVATIONS:** TOP OF BERM, TOE OF SLOPE, POND BOTTOM +/-0.50 FT.
- OUTFALL STRUCTURE AND PIPING +/- 0.20 FT. PIPE INVERTS, GUTTER LINE AND ROAD CENTERLINE AT SAG INLETS +/- 0.20 FT.
- COMPENSATING STORAGE AREAS +/- 0.50 FT.
- 19. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT.
- 20. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- 21. THE CONTRACTOR SHALL VERIFY THE LIMIT, DEPTH AND TYPE OF EXISTING FRICTION COURSE, IF ANY, PRIOR TO INITIATING OFFSITE ROADWAY

PAVING, GRADING & DRAINAGE NOTES:

- 1. THE GENERAL NOTES SHOWN ON DRAWING 1 APPLY TO PAVING, GRADING AND
- EXISTING TOPOGRAPHY AND CONTOURS ARE BASED ON THE FOLLOWING: SURVEYOR: ⚠ ALLEN AND COMPANY
- BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF THE SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A LICENSED LAND SURVEYOR AS DIRECTED BY THE OWNER AT CONTRACTOR'S
- 5. SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (AND TO APPLICABLE COUNTY/CITY STANDARD
- IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
- CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PROVIDING CONSTRUCTION TESTING TO PROVIDE EVANS ENGINEERING, INC. & OWNER WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. CONTRACTOR SHALL MAINTAIN THE RESPONSIBILITY OF CONSTRUCTING THE PROJECT IN STRICT ACCORDANCE WITH THE PROJECT PLANS, SPECIFICATIONS AND REQUIREMENTS. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY EVANS ENGINEERING, INC. IN NO WAY OBLIGATES EVANS ENGINEERING, INC. TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEM AND ADJACENT WATER BODIES AND WETLANDS. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. METHODS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, OR SILT SCREENS. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS SHALL BE CONSIDERED MINIMUMS AND SHALL NOT ALLEVIATE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
- 10. NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES OF ANY KIND RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF A CURB-AND-GUTTER SECTION. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
- 11. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" AND FHWA "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."
- 12. REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY DEVELOPER AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.
- 13. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, THE CONTRACTOR SHALL PREPARE AND SUBMIT THE PLAN FOR APPROVAL.
- 15. EVANS ENGINEERING, INC. SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS IN THE RECORD DRAWINGS.
- 16. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED AS REFERENCED BELOW. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF EVANS ENGINEERING, INC. EVANS ENGINEERING, INC. HAS RELIED ON THE BELOW REFERENCED GEOTECHNICAL REPORT(S) IN PREPARATION OF THE DRAWINGS. ANY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER. EVANS ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION. GEOTECHNICAL ENGINEER: UNIVERSAL ENGINEERING SCIENCES.
- 17. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
- 18. CONTRACTOR SHALL COORDINATE WITH MUNICIPAL AUTHORITY FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA STANDARDS.
- 19. PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL.
- 20. FINISHED FLOOR ELEVATION IS TYPICALLY 6 INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN.

- 21. 100-YEAR FLOOD ELEVATIONS SHOWN HEREIN ARE DERIVED FROM FEMA/FLOOD INSURANCE RATE MAP NUMBER 12127C0730H AND DATED FEBRUARY 19, 2014.
- 22. FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-YEAR FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.
- 23. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
- 24. OVER-EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER-EXCAVATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESODDED AND/OR RESEEDED AS REQUIRED AT CONTRACTOR'S EXPENSE TO OWNER'S SPECIFICATIONS.
- 25. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS OR MEDIANS. WHERE SUCH TREATMENT DOES OCCUR, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNER'S LANDSCAPE ARCHITECT.
- 26. ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- 27. ELEVATIONS OF GRASSED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOD OR SEEDED SURFACE).
- 28. SEE WATER AND SEWER NOTES FOR REQUIREMENTS AT CROSSINGS OF STORM DRAINS AND UTILITY PIPE.
- 29. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURES AND FROM INVERTS OF ENDWALLS AND/OR MITERED END SECTIONS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING MITERED END SECTIONS.
- 30. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.
- 31. ROAD GRADING AND CONSTRUCTION SHALL INCLUDE BRINGING THE 10-FT. UTILITY EASEMENTS ADJACENT TO THE RIGHT-OF-WAY LINE TO WITHIN 6 INCHES OF FINAL DESIGN GRADE.
- 32. INLETS WHICH ARE GRAPHICALLY SHOWN ON LOT LINES AND NOT OTHERWISE LOCATED BY STATIONING SHALL BE LOCATED SUCH THAT THE CENTERLINE OF THE INLET BOTTOM IS ALIGNED WITH THE LOT LINE.
- 33. RETAINING WALL DESIGN BY OTHERS.
- 34. NEW PIPES SHALL BE CONNECTED TO EXISTING PIPES AT AN EXISTING FACTORY MADE JOINT. REMOVE PARTIAL PIPES IF AND AS NEEDED.
- 35. MINIMUM CURB SLOPE SHALL BE 0.30 PERCENT.
- 36. ALL MITERED END SECTIONS SHALL BE 2:1 FACE SLOPE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- 37. ALL SIDEWALKS DIRECTLY ADJACENT TO RETENTION POND ACCESS DRIVES SHALL BE 6 INCH THICK CONCRETE.
- 38. ALL PIPE END TREATMENTS SHALL CONFORM TO FDOT INDEX NO. 280, "CONCRETE JACKET FOR CONNECTING DISSIMILAR TYPES OF PIPE AND CONCRETE PIPES WITH DISSIMILAR JOINTS." CONTRACTOR MAY SUBMIT ALTERNATE DESIGN FOR REVIEW
- 39. THE CURBS, CURB AND GUTTERS, CURB AND GUTTER ENDINGS, CONCRETE SIDEWALKS, SIDEWALK CURB RAMPS, DETECTABLE WARNINGS, DRIVEWAYS, CROSSWALKS, STOP MARKINGS AND SIGNS, MUST ALL COMPLY WITH THE FDOT
- 40. CURB RAMPS SHALL BE 6" THICK.
- 41. CONTRACTOR MUST REPAIR THE EXISTING ROAD, SIDEWALKS, CURBS, LANDSCAPING, AND UTILITIES, IF IT IS DISTURBED BY THE CONSTRUCTION
- 42. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR MUST SUBMIT TO THE CITY SIGNED AND SEALED RECORD DRAWINGS ACCOMPANIED BY A CD WITH PDF AND ACAD FILES OF THE SIGNED AND SEALED RECORD DRAWINGS AS WELL AS AN EXCEL SPREADSHEET SHOWING THE COLLECTED X, Y, AND Z COORDINATES OF ASSETS.

MATERIAL SPECIFICATIONS (PAVING AND DRAINAGE):

- 1. PAVING MATERIALS SHALL CONFORM WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION AND COUNTY/CITY STANDARD SPECIFICATIONS.
- 2. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. IN ALL OTHER MUNICIPALITIES PIPES BETWEEN LOTS, ADJACENT TO BUILDINGS OR BELOW THE WATER TABLE SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC TO EXTEND A MINIMUM OF 3' TO EACH SIDE OF THE PIPE JOINT. THE FILTER FABRIC SHALL HAVE A MINIMUM OF 2' OF OVERLAP, AS IT IS WRAPPED AROUND THE PIPE JOINT. A SAMPLE OF THE FILTER FABRIC TO BE USED WILL BE SUBMITTED TO THE COUNTY/CITY ENGINEER FOR APPROVAL.
- 4. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
- 5. UNDERDRAIN SHALL BE HEAVY-DUTY CORRUGATED POLYETHYLENE PIPE WITH FACTORY-INSTALLED FILTER FABRIC AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL.
- 6. UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 SDR 35 WITH ELASTOMERIC JOINTS, NON-PERFORATED.
- 7. ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE 4 FT. MINIMUM DIAMETER.
- 8. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED

SEED AND MULCH SPECIFICATIONS

Winter (September through January) Rye Grass Bahia Grass (90% green or better) Fertilizer 10-10-10 Stage 1 (at planting) Stage 2 (at germination)

70 pounds 400 pounds 400 pounds

30 pounds

<u> Spring (February through March)</u> Rye Grass

Brown Top Millet Bahia Grass (90% green or better) Fertilizer 10-10-10 Stage 1 (at planting) Stage 2 (at germination)

Stage 1 (at planting)

Brown Top Millet

Fertilizer 10-10-10

20 pounds 70 pounds 400 pounds 400 pounds /2

20 pounds

400 pounds

Summ<u>er (March through August)</u> 35 pounds Bahia Grass (90% green or better) 70 pounds

Stage 2 (at germination) 400 pounds /2ALL OPEN SPACE AREAS NOT CLEARLY DEPICTED AS 'TO BE SODDED' ON LANDSCAPE

UTILITY NOTES

PLANS SHALL BE SODDED.

- ALL CONSTRUCTION SHALL CONFORM WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY LOCAL, STATE AND FEDERAL REGULATIONS, WHICH SO EVER ARE MORE STRINGENT, SHALL BE ADHERED TOO.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING (HORIZONTALLY AND VERTICALLY) ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND FOR NOTIFYING VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISTRIBUTION SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FILED LOCATED. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION, SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THEM FULLY DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 3. PROVIDE MINIMUM OF 3 FEET COVER FOR ALL UTILITIES UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS.
- 4. COMPACT ALL UTILITIES TRENCHES WITHIN THE ROADWAYS ASSOCIATED WITH THIS PROJECT TO 98% OF THE PROCTOR MAXIMUM DENSITY.
- 5. THE SPECIFICATIONS, NOTES AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL THE WORKS IN ALL DETAILS AND READY FOR OPERATION.
- 6. ALL EQUIPMENT AND MATERIAL ASSOCIATED WITH ANY UTILITY WORK ON THIS PROJECT SHALL BE HANDLED, STORED, INSTALLED, TESTED AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURERS INSTRUCTIONS.

LOCATION OF PUBLIC WATER SYSTEM (PWS) MAINS (PIPE SEPARATION REQUIREMENTS)

THE TERM "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER

- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. A. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER
 - 62-610, F.A.C. B. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY
 - C. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM

FDOT STANDARDS NOTE:

ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

CITY OF DEBARY NOTE:

FULL SYSTEM DE-SILTING WITH CCTV WILL BE PROVIDED PRIOR TO MAINTENANCE TURN-OVER TO THE CITY OR AT TIME OF SITE WORK CLOSEOUT FOR PRIVATE SYSTEMS.

VIL ENGINEERING LAND PLANNING PERMITTING SERV 719 IRMA AVENUE ORLANDO, FLORIDA 32803 (407) 872-1515 www.evansenginc.com CERTIFICATE OF AUTHORIZATION NO. 00006788

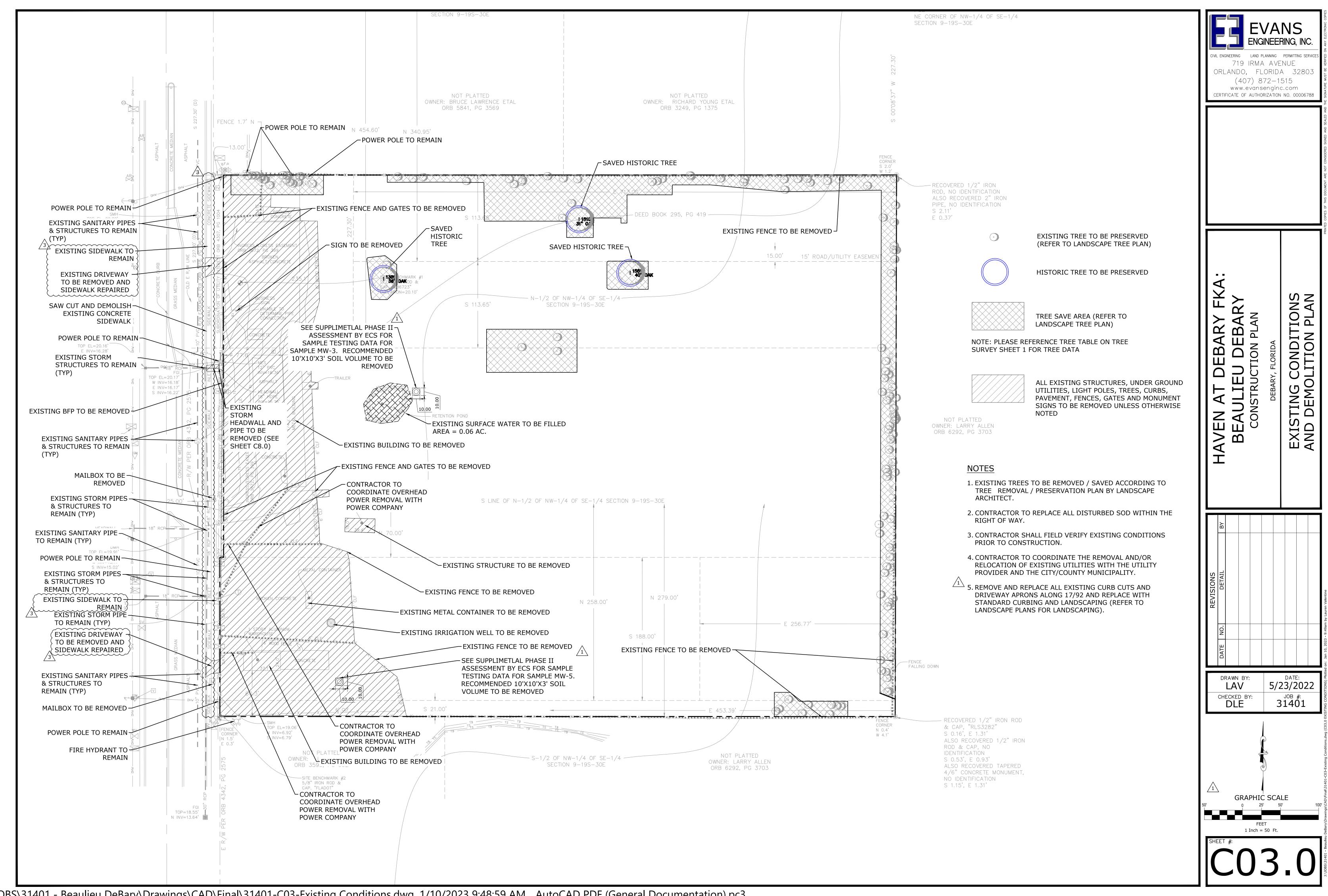
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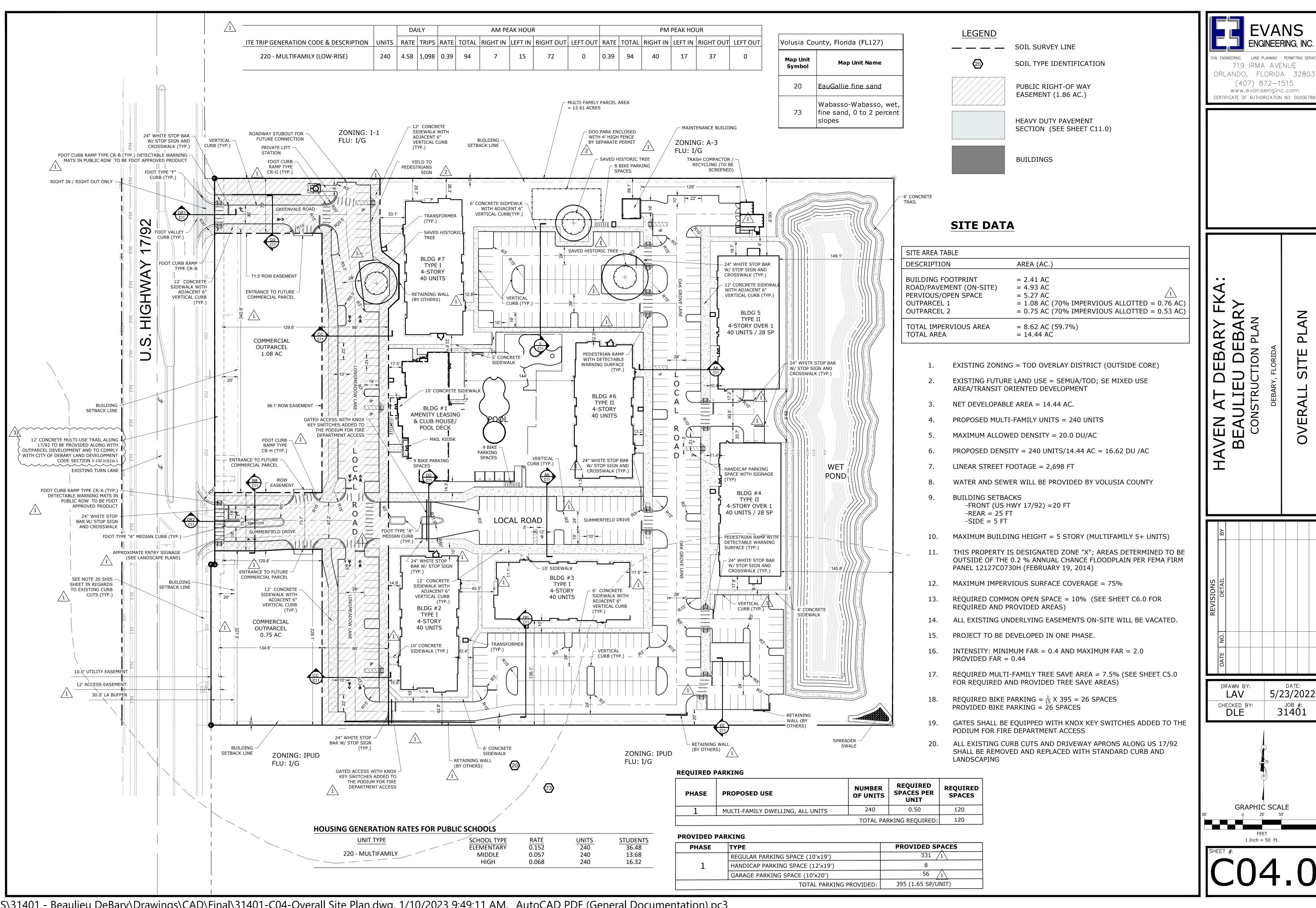
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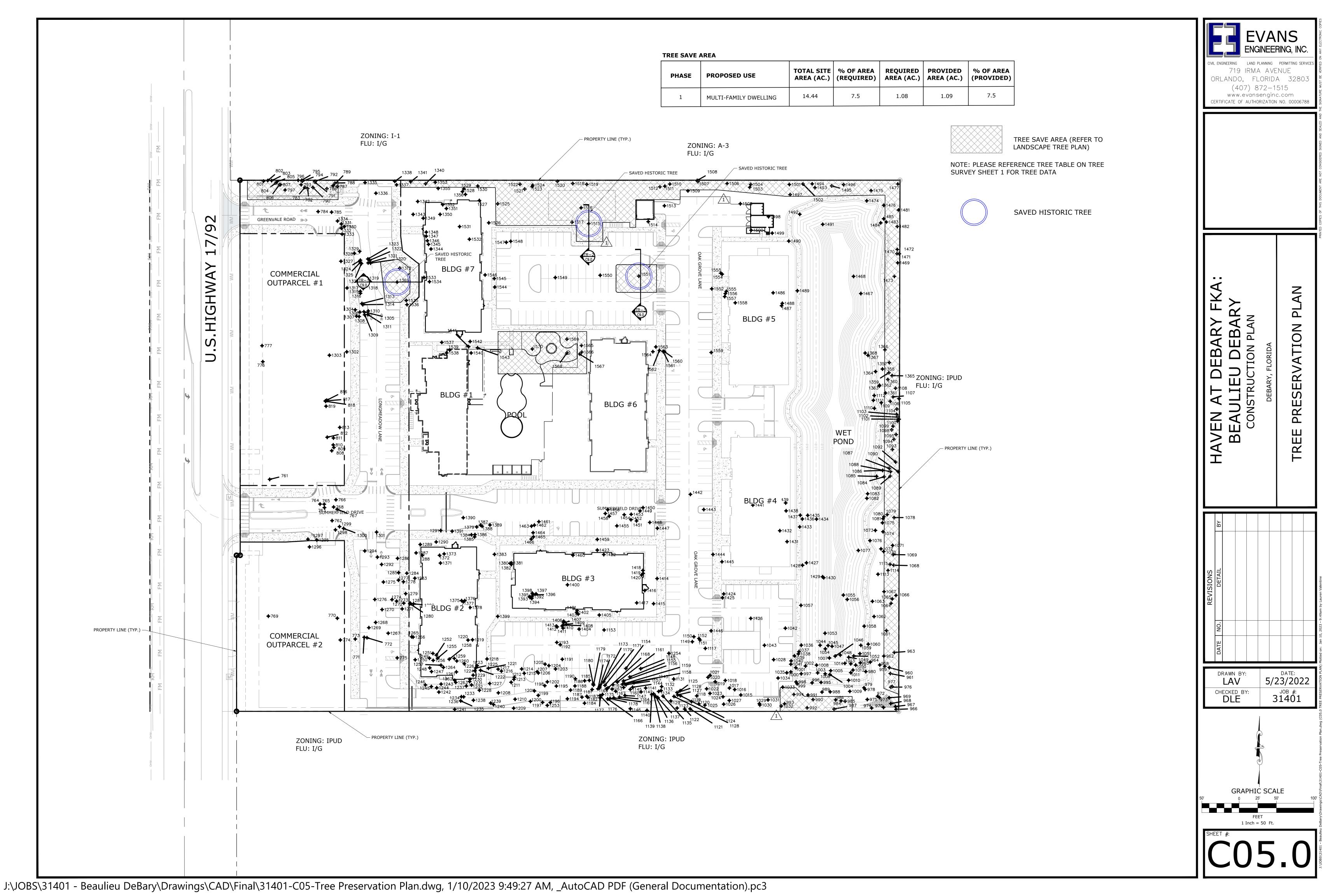
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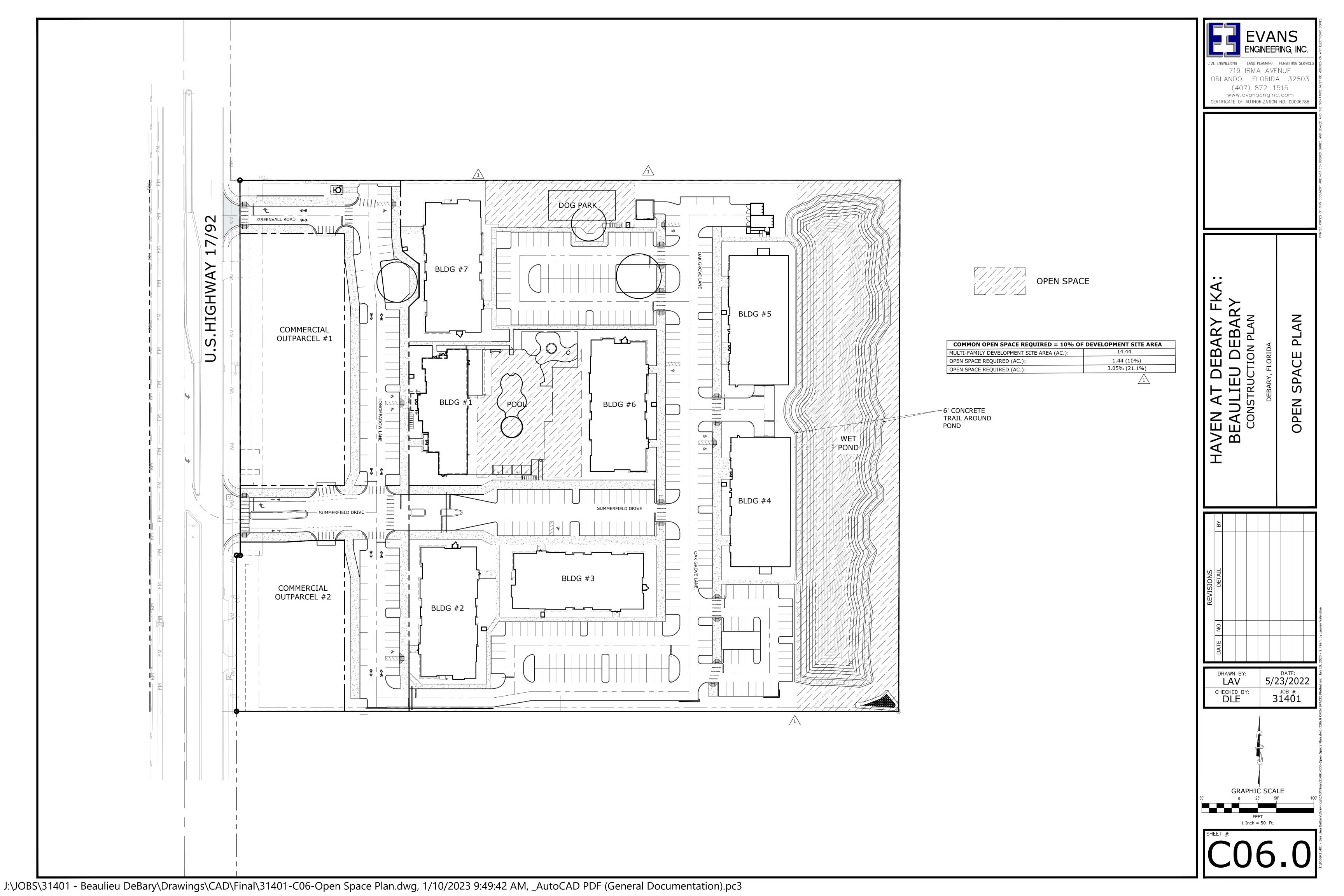
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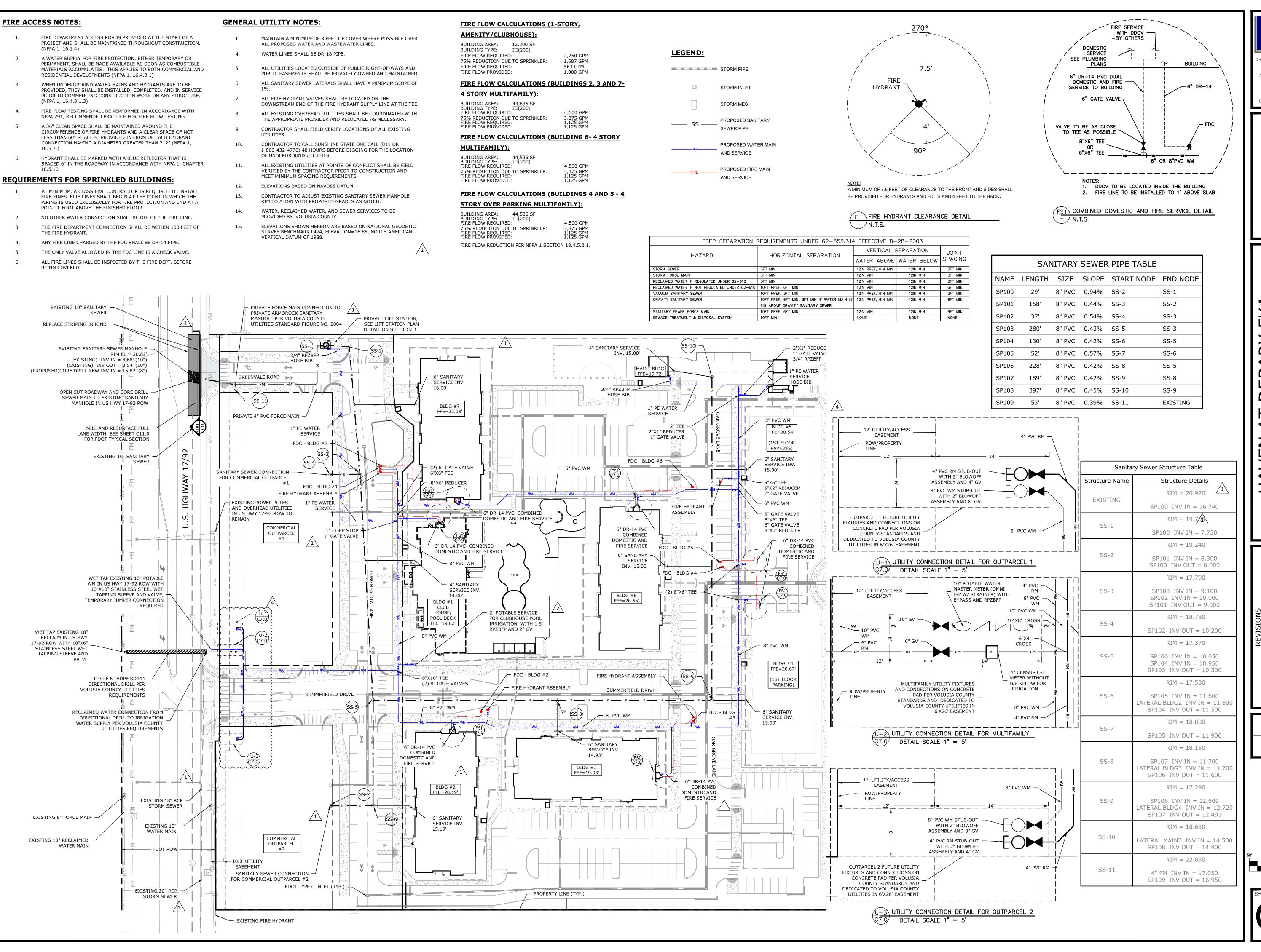




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ENGINEERING, INC.

CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICE

719 IRMA AVENUE

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EN AT DEBARY FKA EAULIEU DEBARY CONSTRUCTION PLAN

DATE: DATE:

LAV 5/23/2022

CHECKED BY: 31401

GRAPHIC SCALE

0 25' 50' 100'

C07.0

1 Inch = 50 Ft.



SCOPE: Supply one complete H-20 LP Pre-Fab Lift Station, per design. Pumps shall be capable of pumping domestic & commercial sewage.

> Complete system shall be supplied by: RILEY & COMPANY, INC.

5491 BENCHMARK LANE, SANFORD, FL 32746 PH. 407-265-9963

NO SUBSTITUTIONS - NO ALTERNATES

The H-20 Load Rated Fiberglass Wetwell Must Be Manufactured By L.F. Manufacturing, Giddings, Texas, Which Includes A Written 20 Yr. Warranty

Certification of the wetwell H-20 load rating must be supplied with submittals. H-20 certification must be signed and sealed by an engineer registered in the State of Florida.

After the H-20 load rated wetwell has been installed, the ASTM Certification Number and Serial Tracking Number must be visible.

PUMPS: (3 YR. WARRANTY)

Submersible pumps shall be HOMA Model RCAMS436. The pumps shall be installed in the H-20 LP FRP wetwell utilizing a dual slide rail system. The non-clog pumps must be a 4" discharge with a 3" solids handling capability.

Stator winding shall be open type with Class H insulation and shall be heatshrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

pump impeller Upper & lower mechanical seals shall be Silicon Carbide vs Silicon

The pump motor shaft shall be AISI 430F SS threaded to take the

Carbide.

DUPLEX CONTROL PANEL: (3 YR. WARANTY)

Control panel must be manufactured in-house by lift station supplier at their TUV (UL508A CERTIFIED) manufacturing facility.

The Enclosure shall be NEMA 4X, FIBERGLASS, minimum 30" high x 30" wide x 8" deep with pad lockable draw latches.

The enclosure shall have external mounting feet to allow for wall mounting. The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light)
- 1- ea. Alarm Horn
- 1- ea. Generator Receptacle w/ weatherproof cover
- 1- ea. Alarm Silence Pushbutton

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to back panel:

- 1- ea. Riley & Company Guard Pro III Monitoring System
- 2- ea. Motor Contactors
- 1- ea. Phase Monitor (Three Phase) 1- ea. Control Transformer (480 Volt Only)
- 1- ea. Silence Relay
- 1- ea. Duplex Alternator
- 1- ea. Model BOAC5AH Battery Back-Up w/ Smart Charger
- 20- ea. Terminals For Field Connections
- 3- ea. Grounding Lugs

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano

The following components shall be mounted through the inner door: 1- ea. Main Circuit Breaker

- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers 2- ea. Short Circuit Protectors
- 1- ea. Control Circuit Breaker
- 2- ea. Seal Failure Indicator Lights 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights
- 1- ea. Power On Pilot Light
- 2- ea. Elapse Time Meters (Non-Resetable)
- 1- ea. GFI Duplex Convenience Outlet

RILEY & Company, Inc. (H-20 LP)

w/BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS, & RILEY & COMPANY GUARD PROIII MONITORING SYSTEM

RILEY & COMPANY GUARD PRO III: Offers a remote control and maintenance solution which allows you to create a decentralised system or monitor and control devices. Changes to the eight (8) digital (24V DC) analogue (0-10V) inputs can be notified via SMS text message, e-mail or both. The digital outputs can be contolled via SMS text message. The built-in maintenance free supercap capacitor enables the GUARD PRO III to inform the recipient via SMS text message in the event of a power failure.

PUMP DATA	ELEVATIONS			
PRIMARY PUMP CAPACITY	275 GPM	TOP OF WETWELL	19.75	
PRIMARY TDH	21 ' TDH	INLET INVERT	7.73/3	
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM (HLA)	7.23	
PUMP MODEL #	RCAS436	2nd PUMP ON (LAG)	6.73	
R.P.M.	1160	1st PUMP ON (LEAD)	6.23	
HORSEPOWER	3.80	PUMPS OFF (OFF)	5.23	
ELECTRICAL/ VOLTS / PHASE	460V/3	BOTTOM OF WETWELL	4.73	
PUMP DISCHARGE SIZE	4"	WETWELL DIAMETER	96"	

H-20 LOAD RATED WETWELL WITH LIFTING LUGS: The fiberglass wetwell must be H-20 load rated with integral lifting lugs, fiberglass slope in bottom of wetwell and valve box. Certification of the H-20 load rating must be supplied at the time of submittals to Engineer.

The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of depth and diameter as shown on the lift station elevation detail. The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 LOAD RATING.

EXECUTION:

Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

MISCELLANEOUS: All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained with in a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting. The control panel must be manufactured in-house by lift station supplier and be a TUV (UL508A Certified) facility.

NEUTRAL TO BE SUPPLIED FOR BOTH 230V 3PHASE OR 230V SINGLE PHASE POWER

ELECTRICAL INFORMATION IS SHOWN FOR REFERENCE ONLY AND IS NOT INCLUDED AS PART OF THE ENGINEERING DESIGN OR CERTIFICATION BY THE PROFESSIONAL ENGINEER. ANY ELECTRICAL DESIGN NEEDED FOR THE LIFT STATION SHALL BE CONFIRMED AND CERTIFIED BY A PROFESSIONAL ELECTRICAL ENGINEER.

A SERVICE CONTRACT WILL BE REQUIRED WITH THE MANUFACTURER OF THE LIFT STATION EQUIPMENT OR AN APPROVED REPAIR - MAINTENANCE PROVIDER.

LIFT STATION MUST HAVE - EMEREGENCY PUMPOUT -**AUDIBLE AND VISUAL ALARMS - EMERGENCY** GENERATOR RECEPTACLE AND EMERGENCY AUTO DIALER PROGRAMMED WITH THE RESPONSIBLE PARTY'S 24 HR. 7 DAY PHONE NUMBER

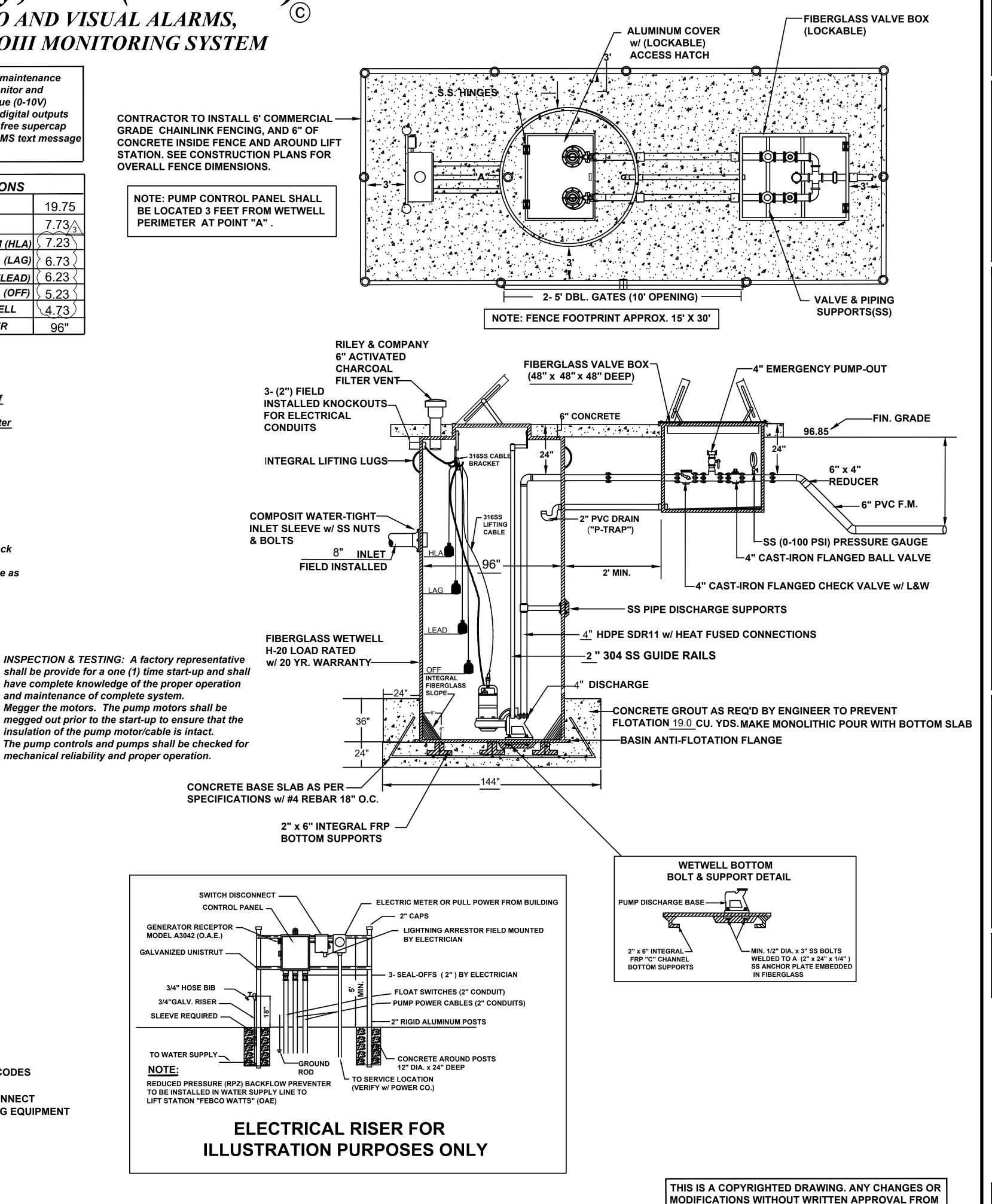
LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.

* ELECTRICIAN NOTES:

- 1. DRAWING NOT TO SCALE
- * 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- * 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- * 4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
- * 5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT

* 6. NEUTRAL TO BE SUPPLIED FOR 23OV-3 PHASE POWER.

RILEY & CO. / H-20 LP 10-11-22



IVII ENCINEERING LAND PLANNING PERMITTING SER

719 IRMA AVENUE

ORLANDO, FLORIDA 32803

(407) 872-1515

www.evansenginc.com CERTIFICATE OF AUTHORIZATION NO. 00006788

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RILEY & COMPANY, INC. IS STRICTLY PROHIBITED. (C)

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HORIZONTAL DIRECTIONAL DRILLING

1. POLYETHYLENE PIPE AND FITTINGS FOR POTABLE WATER MAINS SHALL BE IN ACCORDANCE WITH AWWA C906, STANDARD CODE DESIGNATION STANDARD CODE DESIGNATION PE 3408. PIPE 4-30 INCH DIAMETER SHALL BE DR11, PC 160. THE MANUFACTURER SHALL CERTIFY THAT THE MATERIALS USED TO MANUFACTURE PIPE AND FITTINGS MEET THESE REQUIREMENTS. THE PIPE SIZING SHALL BE IN ACCORDANCE WITH DUCTILE IRON SIZING SYSTEM (DIOD). PIPE USING THE NEWER ASTM DESIGNATIONS FOR THE MATERIAL IS ACCEPTABLE, PROVIDED IT IS STAMPED "PE3408/PE4710 - AWWA C906" OR "PE3408/PE3608/PE4710 - AWWA C906".

2. POLYETHYLENE PIPE AND FITTINGS FOR RECLAIMED WATER, SEWER FORCE MAIN, OR STORM SEWER SHALL BE IN ACCORDANCE WITH AWWA C906, STANDARD CODE DESIGNATION PE 4710, DR 11, 200 PSI. THE MANUFACTURER SHALL CERTIFY THAT THE MATERIALS USED TO MANUFACTURE PIPE AND FITTINGS MEET THESE REQUIREMENTS. THE PIPE SIZING SHALL BE IN ACCORDANCE WITH DUCTILE IRON PIPE SIZING SYSTEM (DIPS)

3. POLYETHYLENE PIPE AND TUBING USED FOR SERVICE LINES ½-3 INCH DIAMETER SHALL BE POLYETHYLENE IN ACCORDANCE WITH AWWA C901, STANDARD CODE DESIGNATION PE 4710, SDR 9 (OUTSIDE DIAMETER BASED DIMENSION RATIO), 250 PSI. PIPE AND FITTINGS SHALL BE NSF APPROVED FOR THE USAGE TO WHICH THEY ARE TO BE APPLIED. PIPE AND TUBING SHALL BE COLOR CODED BLUE FOR POTABLE WATER, PURPLE FOR RECLAIMED WATER, AND GREEN FOR

4. POLYETHYLENE MECHANICAL JOINT ADAPTERS AND FLANGE ADAPTERS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C906. MECHANICAL JOINT ADAPTERS SHALL BE FITTED WITH GLAND RINGS PRESSURE RATED EQUAL TO OR GREATER THAN THE MATING PIPE, AND SHALL BE MADE WITH SUFFICIENT THROUGH-BORE LENGTH TO BE CLAMPED IN A HEAT FUSION JOINING MACHINE WITHOUT THE USE OF SUB-END HOLDER. THE SEALING SURFACE OF THE FLANGE ADAPTER SHALL BE MACHINED WITH A SERIES OF SMALL V-SHAPED GROOVES TO PROVIDE GASTKETLESS SEALING, OR TO RESTRAIN THE GASKET AGAINST BLOW-OUT.

5. HDPE PIPE TERMINATIONS SHALL BE FITTED WITH A MECHANICAL JOINT ADAPTER KIT THAT WILL ENABLE THE HDPE PIPE TO BE JOINED WITH MECHANICAL JOINT FITTINGS. THE ADAPTER SHALL BE AWWA COMPLIANT, AND THE PRESSURE RATING FOR THE ADAPTER SHALL MATCH THE PRESSURE RATING FOR THE HDPE PIPE. MECHANICAL JOINT ADAPTERS SHALL BE MANUFACTURED IN STANDARD DIPS SIZES FOR CONNECTING DIPS SIZED POLYETHYLENE PIPE TO MECHANICAL JOINT FITTINGS, SHALL CONTAIN A STAINLESS STEEL REINFORCING COLLAR AND AWWA C110 DUCTILE IRON GLAND RING, GASKET AND EXTRA LENGTH T-BOLTS.

6. GLANDS, BOLTS, AND GASKETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C153. BOLTS AND NUTS SHALL BE GRADE 2 OR HIGHER.

7. ALL POLYETHYLENE PIPE SHALL BE BLACK, AND SHALL CONTAIN A CONTINUOUS COLORED STRIPE, 2 INCHES WIDE, LOCATED AT NO GREATER THAN 90 DEGREE INTERVALS AROUND THE PIPE. STRIPE COLOR SHALL BE EITHER BLUE (WATER MAINS), PURPLE (RECLAIMED WATER MAINS), GREEN (SANITARY SEWER AND FORCE MAINS) OR BLACK (NO STRIPE - STORM SEWER).

8. TRACER WIRE SHALL BE COLOR-CODED 10 GAUGE CONTINUOUS INSULATED WIRE, WITH HDPE JACKET (MIN. THICKNESS OF 45 MILS) SPECIFICALLY MANUFACTURED FOR USE IN HORIZONTAL DIRECTIONAL DRILL INSTALLATIONS. THE COLOR OF THE WIRE JACKET SHALL BE SIMILAR TO PIPELINE IDENTIFICATION COLORS. INSTALL TRACER WIRE ALONG POLYETHYLENE PIPE PRIOR TO PULLING THROUGH BORE HOLE. TAPE WIRE TO PIPE EVERY 5 FEET MINIMUM ALONG THE PIPELINE. AFTER PULLING PIPE, CLEAN EXPOSED ENDS FOR INSTALLATION OF FITTINGS, TEST TRACER WIRE FOR CONTINUITY.

9. HIGH DENSITY POLYETHYLENE PIPE SHALL BE HEAT FUSED AND TESTED AS PER MANUFACTURER'S GUIDELINES BEFORE INSTALLATION IN THE BORE HOLE.

10. BRANCH CONNECTIONS TO THE MAIN SHALL BE MADE WITH POLYETHYLENE SADDLE FITTINGS OR MECHANICAL JOINT DUCTILE IRON TEES.

11. JOINTS BETWEEN PLAIN END POLYETHYLENE PIPES AND POLYETHYLENE FITTINGS SHALL BE MADE BY BUTT FUSION, AND JOINTS BETWEEN THE POLYETHYLENE MAIN AND SADDLE BRANCH POLYETHYLENE FITTINGS SHALL BE MADE USING SADDLE FUSION USING ONLY PROCEDURES THAT ARE RECOMMENDED BY THE PIPE AND FITTING MANUFACTURER. EXTERNAL AND INTERNAL BEADS SHALL NOT BE REMOVED.

12. CONNECT POLYETHYLENE PIPE TO HYDRANTS, VALVES, AND DUCTILE IRON FITTINGS USING A MECHANICAL JOINT ADAPTER WITH A GLAND RING. PLACE GLAND RING BEHIND ADAPTER PRIOR TO FUSING. FUSE USING AN ELECTROFUSION COUPLING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. AFTER FUSING, CONNECT TO MECHANICAL JOINT. RESTRAIN ALL NON-POLYETHYLENE PIPE AND PRESSURE TEST CONNECTIONS AS REQUIRED IN INDIVIDUAL PIPELINE

13. CONNECT POLYETHYLENE PIPE TO ABOVE GRADE VALVES AND FITTINGS USING MECHANICAL FLANGE ADAPTERS. THE FLANGE ADAPTERS ARE TO BE SELF-RESTRAINED.

14. INSTALL ALL MECHANICAL JOINTS AND FLANGE CONNECTIONS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURE. AT LEAST 1 HOUR AFTER INITIAL ASSEMBLY, FLANGE CONNECTIONS SHALL BE RE-TIGHTENED FOLLOWING THE TIGHTENING PATTERN AND TORQUE STEP RECOMMENDATIONS OF THE MANUFACTURER. THE FINAL TIGHTENING TORQUE SHALL BE 100 FT-LBS OR LESS AS RECOMMENDED BY THE MANUFACTURER.

15. THE SIZE OF THE HORIZONTAL DIRECTIONAL DRILL RIG USED SHALL BE THE INDUSTRY STANDARD SIZE NEEDED BASED ON DRILLING DISTANCE, PIPE DIAMETER, AND SOIL CONDITIONS.

16. AT ROAD CROSSINGS WITHIN FDOT RIGHT-OF-WAY, THE MINIMUM COVER SHALL BE 10 TIMES THE REAMER SIZE IN INCHES UNDER THE PAVED SURFACE. ANY PROPOSED CHANGES TO THE DEPTH AND LENGTH OF THE DIRECTIONAL BORE FROM WHAT IS SHOWN ON THE DRAWINGS MUST BE APPROVED BY THE ENGINEER IN WRITING, PRIOR TO COMMENCEMENT OF DRILLING.

17. AT ROAD CROSSINGS WITHIN PUBLIC OR PRIVATE RIGHT-OF-WAY THAT IS NOT FDOT RIGHT-OF-WAY, THE MINIMUM COVER SHALL BE AS INDICATED IN THE DRAWINGS. IN NO CASE SHALL MAINS 4" AND LARGER HAVE LESS THAN 4 FEET COVER AT ROAD CROSSINGS. ANY PROPOSED CHANGES TO THE DEPTH AND LENGTH OF THE DIRECTIONAL BORE FROM WHAT IS SHOWN ON THE DRAWINGS MUST BE APPROVED BY THE ENGINEER IN WRITING, PRIOR TO COMMENCEMENT OF DRILLING.

18. IN ROAD RIGHT-OF-WAY IN NON-PAVED AREAS, THE MINIMUM DIRECTIONAL BORE DEPTH SHALL BE 4 FEET MINIMUM AND 8 FEET MAXIMUM (TYPICAL DEPTH OF 4-6 FEET), AS INDICATED ON THE DRAWINGS.

19. AS-BUILT VARIANCE FROM THE DESIGN BOREPATH SHALL BE WITHIN 2 FEET IN THE HORIZONTAL PLANE. VERTICALLY, INSTALL AT ROAD CROSSINGS AT THE MINIMUM DEPTH SPECIFIED HEREIN, AND INSTALL AT A MAXIMUM DEPTH OF NO MORE THAN 3-FT DEEPER THAN THE SPECIFIED MINIMUM DEPTH. ANY PROPOSED CHANGE TO THE LENGTH OF THE DIRECTIONAL DRILLED PIPELINE MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. FINAL ACCEPTANCE INCLUDING FINAL PAYMENT OF DIRECTIONAL BORED PIPELINES WILL NOT BE MADE UNTIL DIRECTIONAL BORE LOGS HAVE BEEN SUBMITTED AND THE INFORMATION ON THE BORE LOGS DOCUMENTS THE DEPTH OF THE INSTALLED PIPELINE IS IN ACCORDANCE WITH THESE GENERAL NOTES.

20. BACK REAMING SHALL BE CONDUCTED TO ENLARGE AND PREPARE THE BORE HOLE FOR PIPE INSTALLATION. MINIMIZE POTENTIAL DAMAGE FROM SOIL DISPLACEMENT OR SETTLEMENT BY LIMITING THE RATIO OF THE BORE HOLE TO THE PRODUCT SIZE. THE SIZE OF THE BACK REAMER BIT OR PILOT BIT, IF NO BACK REAMING IS REQUIRED, SHALL BE LIMITED RELATIVE TO THE PRODUCT DIAMETER TO BE INSTALLED AS FOLLOWS:: 4" PIPE = 8" BIT; 6" PIPE = 10" BIT; 8" PIPE = 12" BIT 10" PIPE = 14" BIT; 12" AND LARGER PIPE = BIT TO BE PIPE OUTSIDE DIAMETER PLUS 6 INCHES. NOTE THESE REAMER SIZES ARE APPROXIMATE. SHOULD THE DIRECTIONAL DRILL CONTRACTOR CHOOSE TO USE A LARGER REAMER SIZE, THE LARGER SIZE COULD RESULT IN THE NEED FOR A DEEPER AND LONGER BORE. THE RESULTING INCREASED BORE LENGTH AND OR DEPTH SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

21. ENSURE ADEQUATE REMOVAL OF SOIL CUTTINGS AND STABILITY OF THE BORE HOLE BY MONITORING THE DRILLING FLUIDS SUCH AS THE PUMPING RATE, PRESSURES, VISCOSITY AND DENSITY DURING THE PILOT BORE, BACK REAMING AND PIPE INSTALLATION. OBTAIN THE ENGINEER'S APPROVAL OF THE LOCATION AND ALL CONDITIONS NECESSARY TO CONSTRUCT RELIEF HOLES TO RELIEVE EXCESS PRESSURE AND ENSURE THE PROPER DISPOSITION OF DRILLING FLUIDS IS MAINTAINED.

22. MINIMIZE HEAVING DURING PULL BACK. THE PULL BACK RATE USED SHALL MAXIMIZE THE REMOVAL OF SOIL CUTTINGS WITHOUT BUILDING EXCESS DOWN HOLE PRESSURE. CONTAIN EXCESS DRILLING FLUIDS AT ENTRY AND EXIT POINTS UNTIL THEY ARE RECYCLED OR REMOVED FROM THE SITE OR VACUUMED DURING DRILLING OPERATIONS. ENTRY AND EXIT PITS ARE TO BE OF SUFFICIENT SIZE TO CONTAIN THE EXPECTED RETURN OF DRILLING FLUIDS AND SOIL CUTTINGS.

23. ENSURE THAT ALL DRILLING FLUIDS ARE DISPOSED OF OR RECYCLED IN A MANNER ACCEPTABLE TO THE APPROPRIATE LOCAL, STATE, OR FEDERAL REGULATORY AGENCIES. IF IN THE DRILLING PROCESS IT BECOMES EVIDENT THAT THE SOIL IS CONTAMINATED, CONTACT THE ENGINEER IMMEDIATELY. DO NOT CONTINUE DRILLING WITHOUT THE ENGINEER'S

24. INSTALL THE CARRIER IN THE BORE HOLE WITHIN THE SAME DAY THAT THE PRE-BORE IS COMPLETED TO ENSURE

25. IF AN OBSTRUCTION IS ENCOUNTERED DURING BORING WHICH PREVENTS COMPLETION OF THE INSTALLATION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, EITHER REMOVE THE PIPE OR ABANDON THE PIPE IN PLACE AT THE DISCRETION OF THE ENGINEER. IF PIPE CANNOT BE WITHDRAWN AND ENGINEER APPROVES ABANDONING THE PIPE IN PLACE, CUT PIPE OFF AT LEAST 3 FEET BELOW GROUND SURFACE, FILL ANNULAR SPACE AND PIPE WITH EXCAVATABLE FLOWABLE FILL AND CAP ENDS OF PIPE WITH BLIND FLANGE.

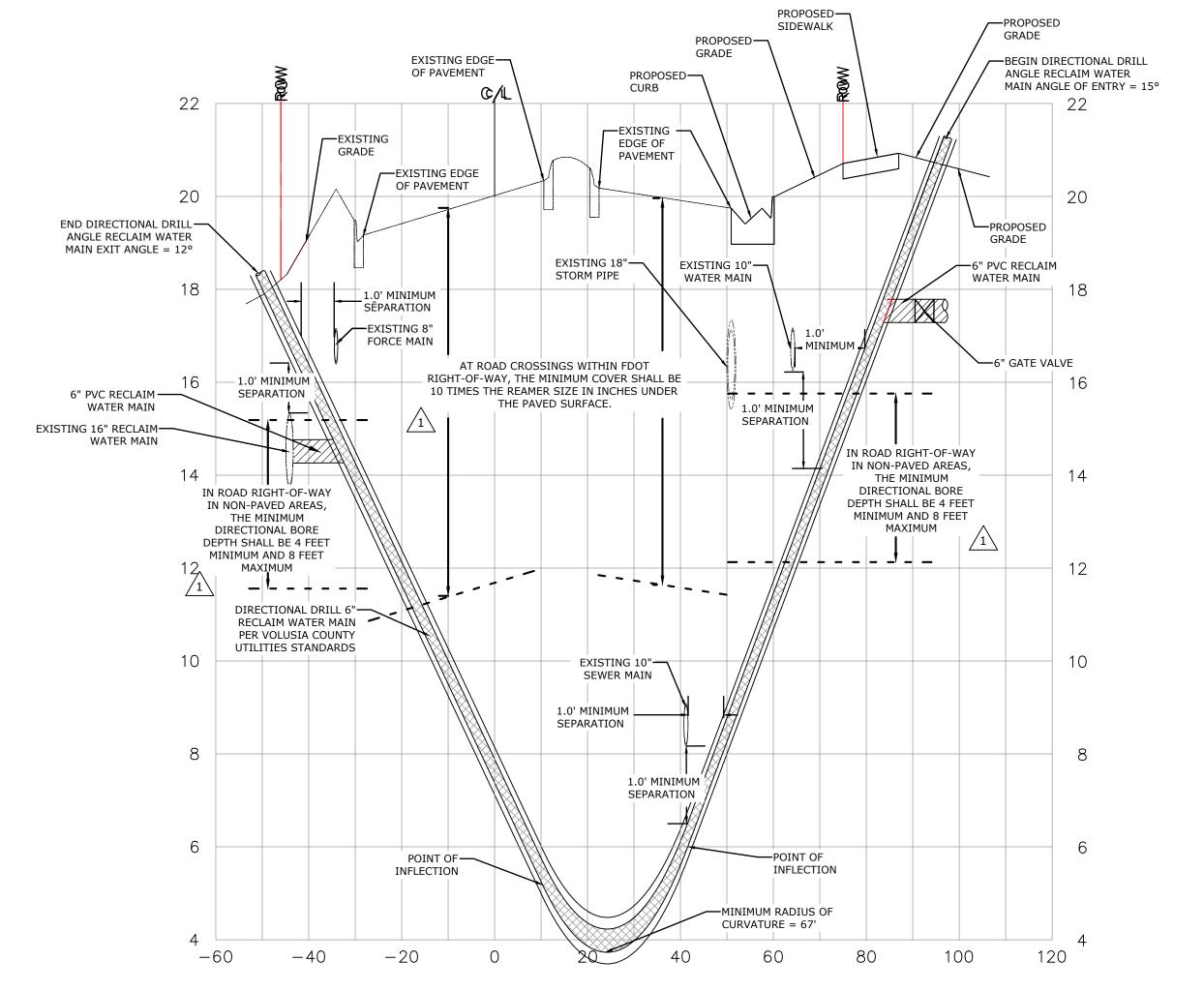
26. IN THE EVENT OF FAILURE TO INSTALL PIPE, RETAIN POSSESSION OF PIPE AND REMOVE IT FROM THE SITE. UPON APPROVAL OF THE ENGINEER, FILL THE ABANDONED BORE HOLE WITH EXCAVATABLE FLOWABLE FILL. SUBMIT A NEW INSTALLATION PROCEDURE AND REVISED PLANS TO THE ENGINEER FOR APPROVAL BEFORE RESUMING WORK AT ANOTHER

27. IF THE SUBMITTED BORING LOGS INDICATE THE INSTALLED ALIGNMENT DOES NOT MEET VERTICAL OR HORIZONTAL ALIGNMENT REQUIREMENTS, THE BORING IS CONSIDERED A FAILURE, AND THE DIRECTIONAL BORED PIPELINE SHALL BE EITHER RE-BORED OR OTHERWISE REMEDIED AT THE DISCRETION OF THE OWNER.

28. IF, DURING CONSTRUCTION, DAMAGE IS OBSERVED TO THE FACILITY, CEASE ALL WORK UNTIL RESOLUTION TO MINIMIZE FURTHER DAMAGE AND A PLAN OF ACTION FOR RESTORATION IS OBTAINED AND APPROVED BY THE ENGINEER.

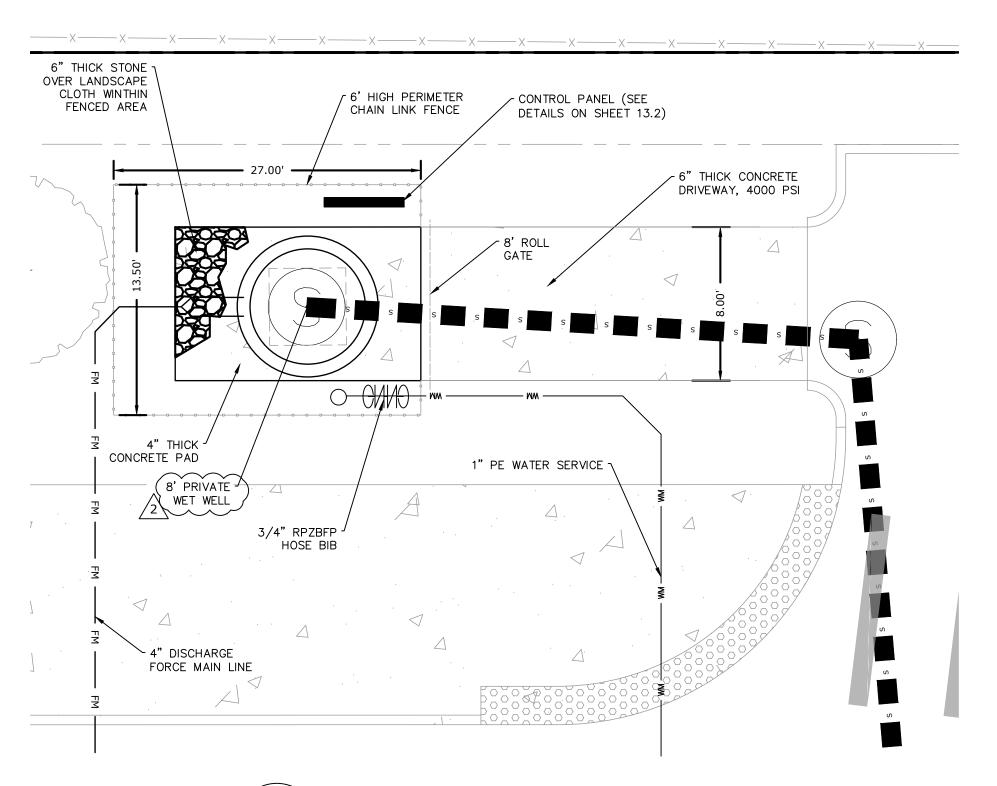
29. IF ANY DEFECTS OR LEAKS ARE REVEALED, THEY SHOULD BE CORRECTED AND THE PIPELINE RETESTED AFTER A MINIMUM 24 HOUR RECUPERATION PERIOD BETWEEN TESTS. TOTAL TESTING CONDUCTED ON A SECTION OF PIPELINE SHALL NOT EXCEED 8 HOURS WITHIN A 24 HOUR PERIOD.

30. ALL APPARENT LEAKS DISCOVERED WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE LOCATED AND REPAIRED BY CONTRACTOR, REGARDLESS OF THE TOTAL LINE LEAKAGE RATE.



NOTE: 1. MAINTAIN MINIMUM 3' OF COVER OVER PROPOSED RECLAIMED WATER MAIN 2. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES 3. USE FITTINGS TO CONNECT DRILL PIPE TO MAIN





LS LIFT STATION SITE PLAN DETAIL

C7 SCALE 1" = 5'



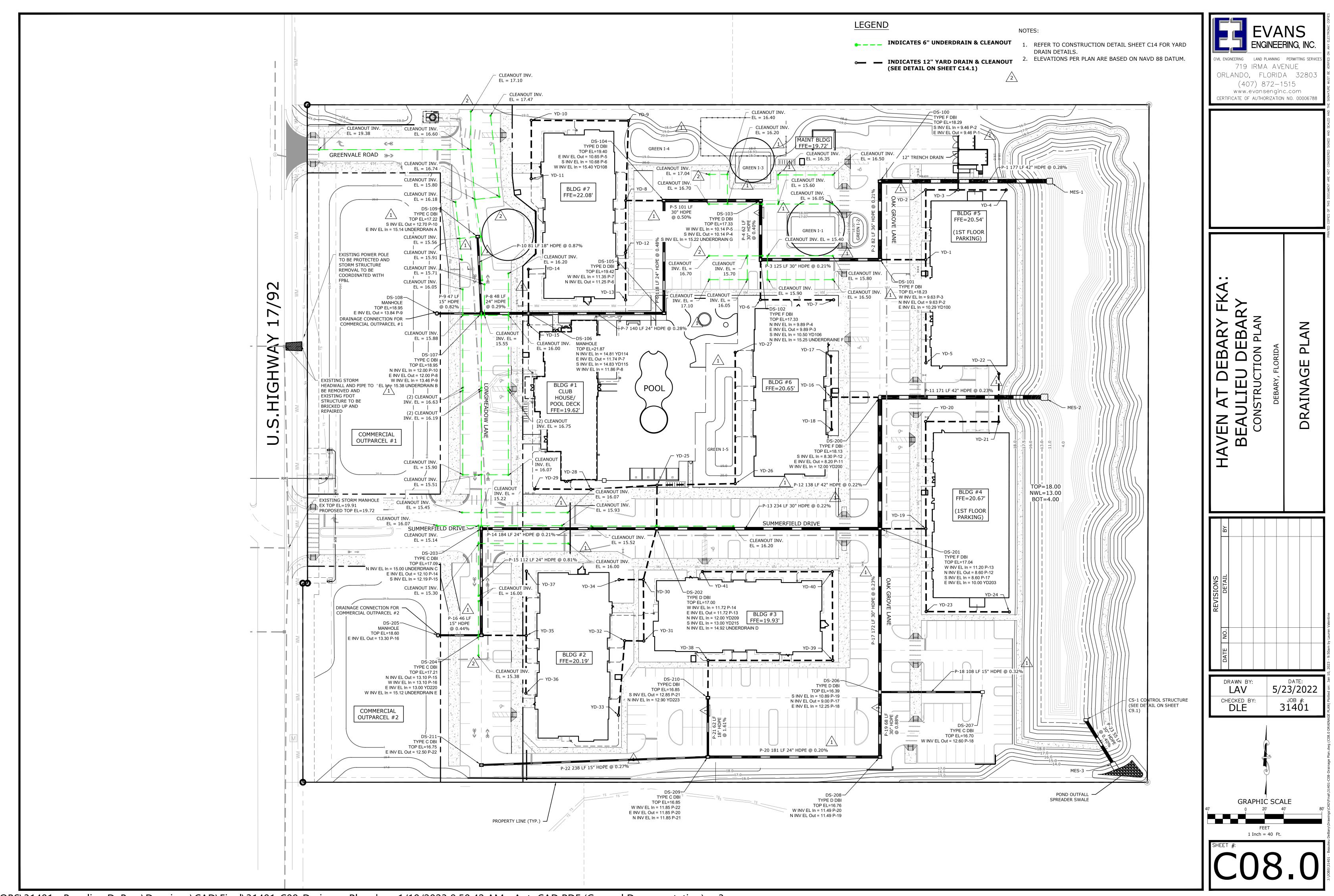
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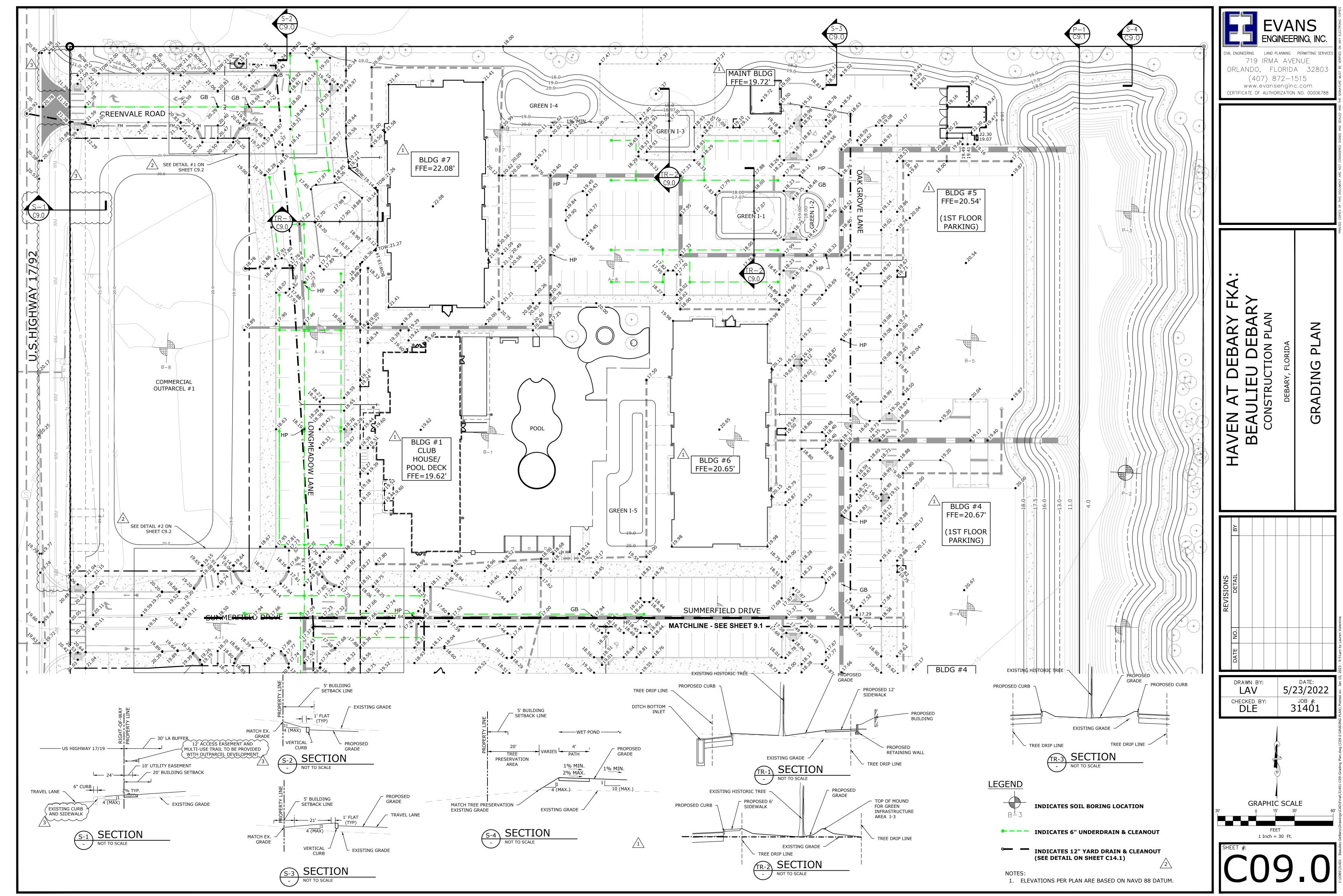
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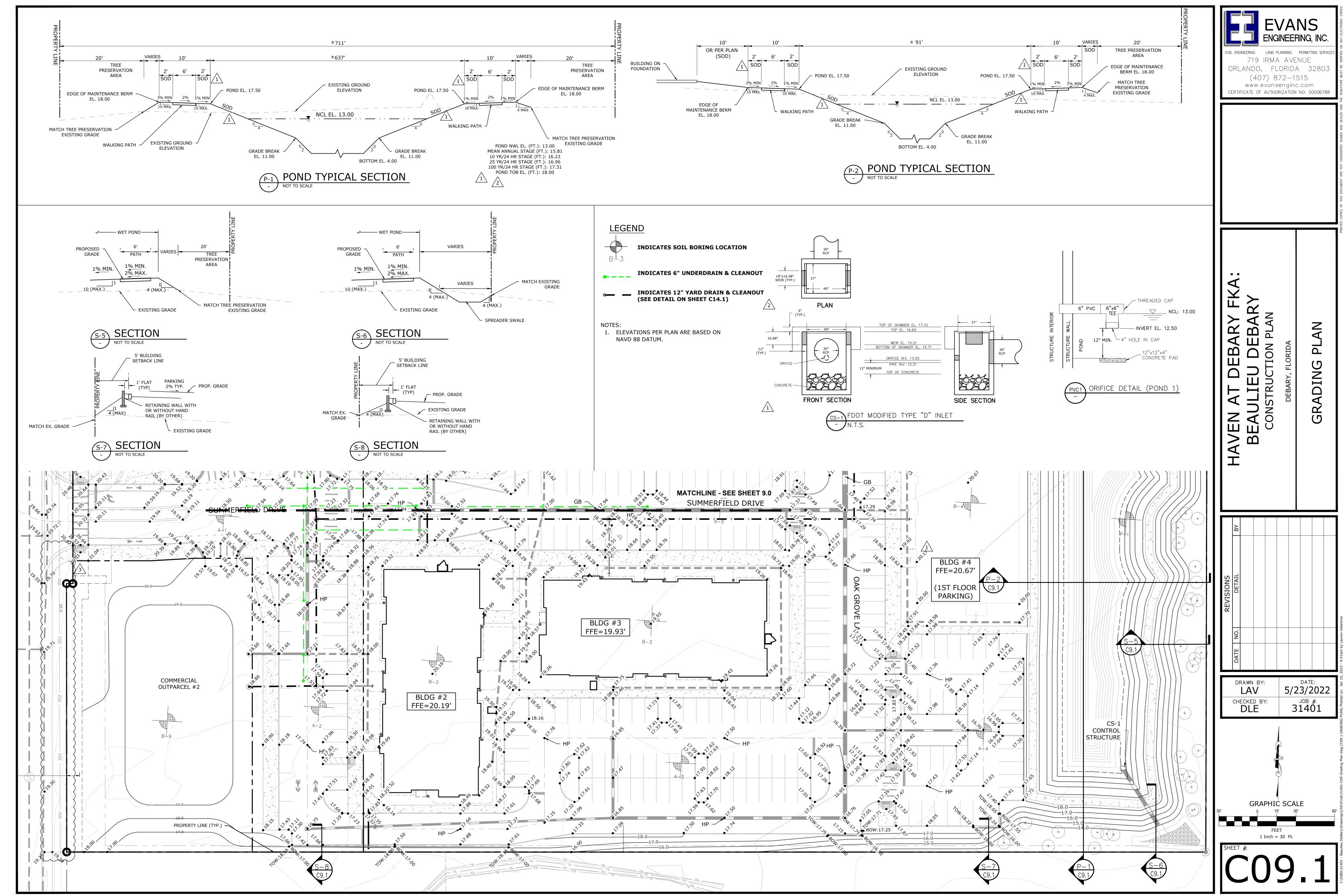
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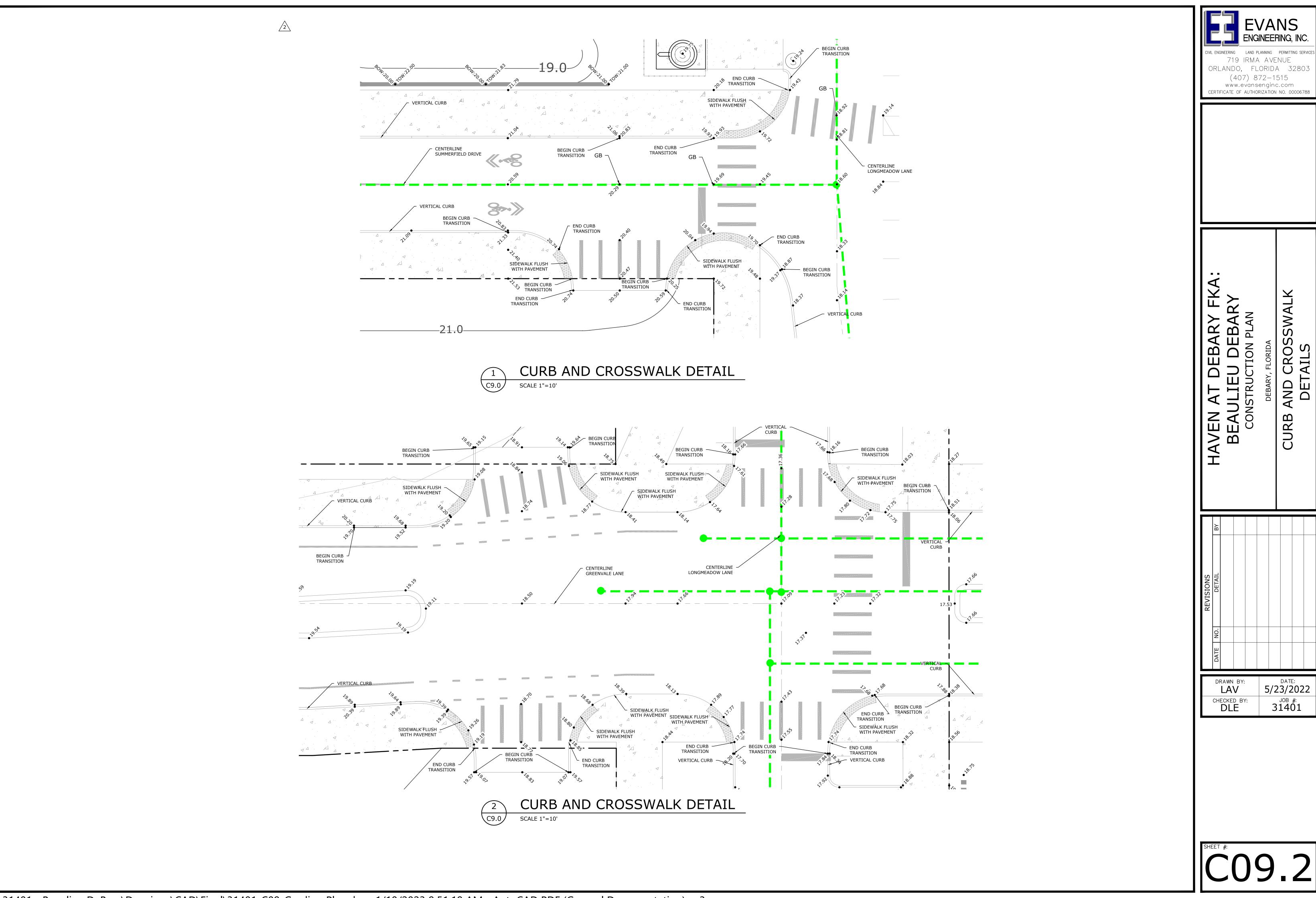
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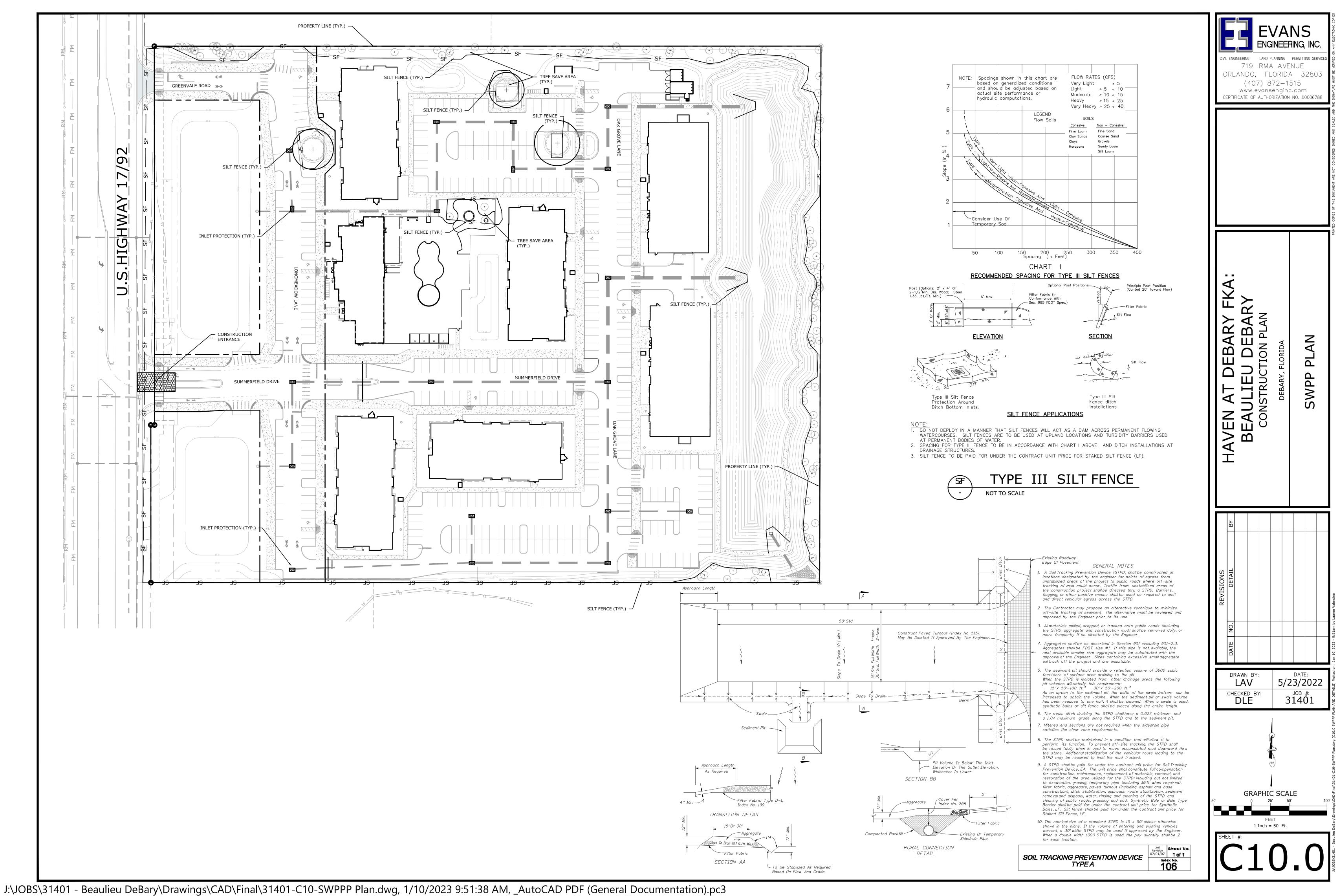




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<u>GENERAL</u>

THE CONTRACTORS SHALL IMPLEMENT THE REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE CIVIL DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO UNDERTAKE ADDITIONAL MEASURES AS REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

CONSTRUCTION SEQUENCE:

- FLAG ALL WORK LIMITS.
 NOTIFY SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO START OF CONSTRUCTION.
- NOTIFY SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO STAF
 IDENTIFY ALL EXISTING VEGETATION TO BE SAVED.
- 4. INSTALL CONSTRUCTION ENTRANCE TO PREVENT TRACKING AND SILTING OF MUD INTO PUBLIC ROADWAYS.
- 5. INSTALL STORM DRAINAGE INLET PROTECTION ON EXISTING INLETS.
- 6. INSTALL PERIMETER RUNOFF CONTROLS; NOTIFY SEDIMENT INSPECTOR AND OBTAIN APPROVAL
- BEFORE PROCEEDING FURTHER.

 7. PERFORM CLEARING AND GRADING REQUIRED.
- COMPLETE ALL NECESSARY STOCKPILING, SITE CLEARING/REMOVALS, AND GRADING.
 COMPLETE PARKING BASE, BUILDING FOUNDATION, AND REMOVE, RELOCATE, INSTALL SITE
- UTILITIES.
- 10. INSTALL STORM DRAINAGE INLET PROTECTION ON NEW INLETS.11. WEATHER IN BUILDING.
- 12. COMPLETE PARKING LOT CONSTRUCTION.
- 13. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- 14. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL.

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROL MEASURES AND TO ENSURE THAT THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED, AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION CONTROLS AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- 1. FILTER FABRIC BARRIERS: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3:1.

 B. IN MINOR SWALES WHERE THE MAXIMUM CONTRIBUTION DRAINAGE AREA IS LESS THAN 2

 ACRES
- 2. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUN-OFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER SYSTEM.
- 3. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUN-OFF UNTIL THE COMPLETION OF ALL
- 4. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.

CONSTRUCTION ACTIVITIES THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

- 5. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE REWORKED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
- 6. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- 7. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED TO ASSURE OPTIMUM GROWING CONDITIONS.
- 8. TEMPORARY RE-GRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT OBTAINED A MINIMUM OF 75 PERCENT GOOD GRASS GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEEDS APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
- 9. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- 10. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.
- 11. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.
- 12. AIR POLLUTION: THE BURNING OF BRUSH OR SLASH SHALL ADHERE TO STATE AND LOCAL REGULATIONS. FIRE PREVENTION MEASURES SHALL BE TAKEN TO PREVENT THE START OR SPREADING OF WILDFIRES THAT MAY RESULT FROM PROJECT ACTIVITIES. ALL DUST CONTROL METHODS SHALL ENSURE SAFE CONSTRUCTION OPERATIONS AT ALL TIMES.

STRUCTURAL CONTROLS

- 1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT TRAPPING FACILITY.
- 2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.
- 3. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE AREA PER ACRE OF DISTURBED AREA. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACK-FILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE MATERIALS - DISPOSAL

ALL WASTE MATERIALS EXCEPT LAND CLEARANCE DEBRIS SHALL BE COLLECTED AND STORED IN A SECURE LIDDED METAL DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT.

HAZARDOUS WASTE - DISPOSAL

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

SANITARY WASTE - DISPOSAL

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

EQUIPMENT PLACEMENT

THE CONTRACTOR WILL USE BEST MANAGEMENT PRACTICES TO DETERMINE THE LOCATIONS OF EQUIPMENT TO BE LEFT ON-SITE.

SPILL PREVENTION

THE FOLLOWING PRACTICES WILL BE FOLLOWED BY THE CONTRACTOR TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF SUBSTANCES TO STORM WATER RUN-OFF.

THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR
- ORIGINAL CONTAINERS.
- 3. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- MANUFACTURER'S RECOMMENDATION FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.
- 6. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED.
- 7. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

IN ADDITION TO THE SPILL PREVENTION PRACTICES LISTED THE FOLLOWING WILL BE FOLLOWED FOR SPILL CONTROL:

- 1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP WILL BE CLEARLY POSTED ON-SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE CLEAN-UP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, CLOVES, GOGGLES, LIQUID ABSORBENT, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- 3. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- 4. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- 5. SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.
- 6. THE SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND CLEAN-UP COORDINATOR. AT LEAST ONE OTHER SITE PERSONNEL WILL RECEIVE SPILL PREVENTION AND CLEAN-UP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE AND PREVENTION OF CLEAN-UP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA IN THE OFFICE TRAILER ON-SITE.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:

1. PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURE'S RECOMMENDATIONS.

2. FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. FERTILIZERS WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

3. PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO STATE AND LOCAL REGULATIONS.

4. CONCRETE TRUCKS

CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING AREA FOR CONCRETE TRUCK WASH OUT CONCRETE TRUCKS THAT WASH OUT ON-SITE MUST WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER INTO A DESIGNATED SEDIMENT BASIN ON SITE PRIOR TO DISCHARGE INTO STORM WATER MANAGEMENT AREAS. CONTRACTOR WILL BE RESPONSIBLE FOR MEETING STATE AND LOCAL REQUIREMENTS.

MAINTENANCE / INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:

- 1. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCH OR GREATER.
- 2. ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER: IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAD REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
 SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE
- FENCE POSTS ARE FIRMLY IN THE GROUND.

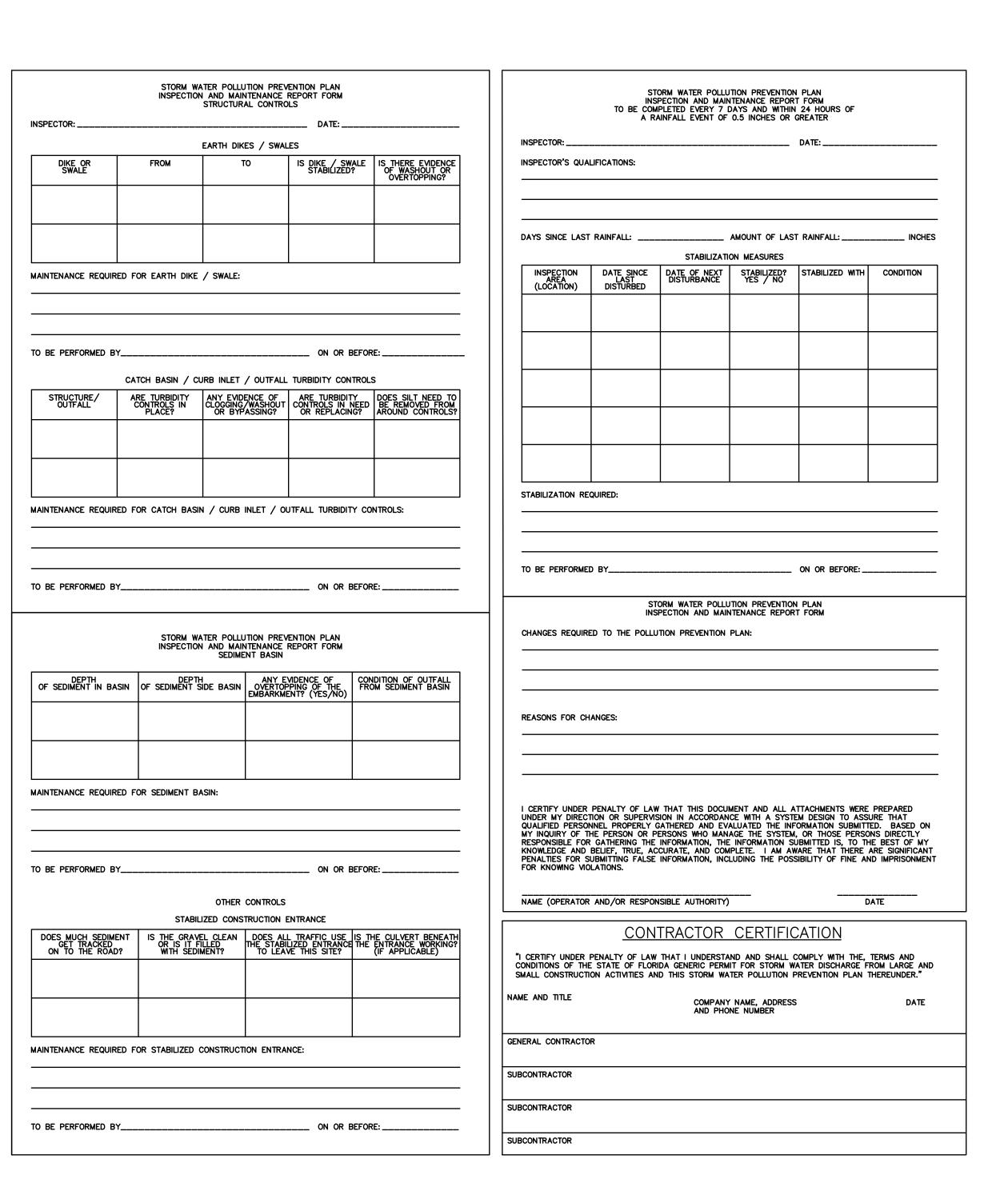
 THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED.
- 6. DIKES AND SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- 7. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS.
- 8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM SHALL BE COMPLETED BY THE INSPECTOR. THE REPORTS WILL BE KEPT ON-SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER, OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF
- 9. THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR MANAGING THE INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT
- 10. MONITORING OF TURBIDITY AT ANY SITE OUTFALL(S) WHICH ATTACH TO A STREAM OR DITCH DURING CONSTRUCTION IS REQUIRED.

NON-STORM WATER

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- 1. WATER FROM WATER LINE FLUSHING
- 2. PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- 3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION)

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.



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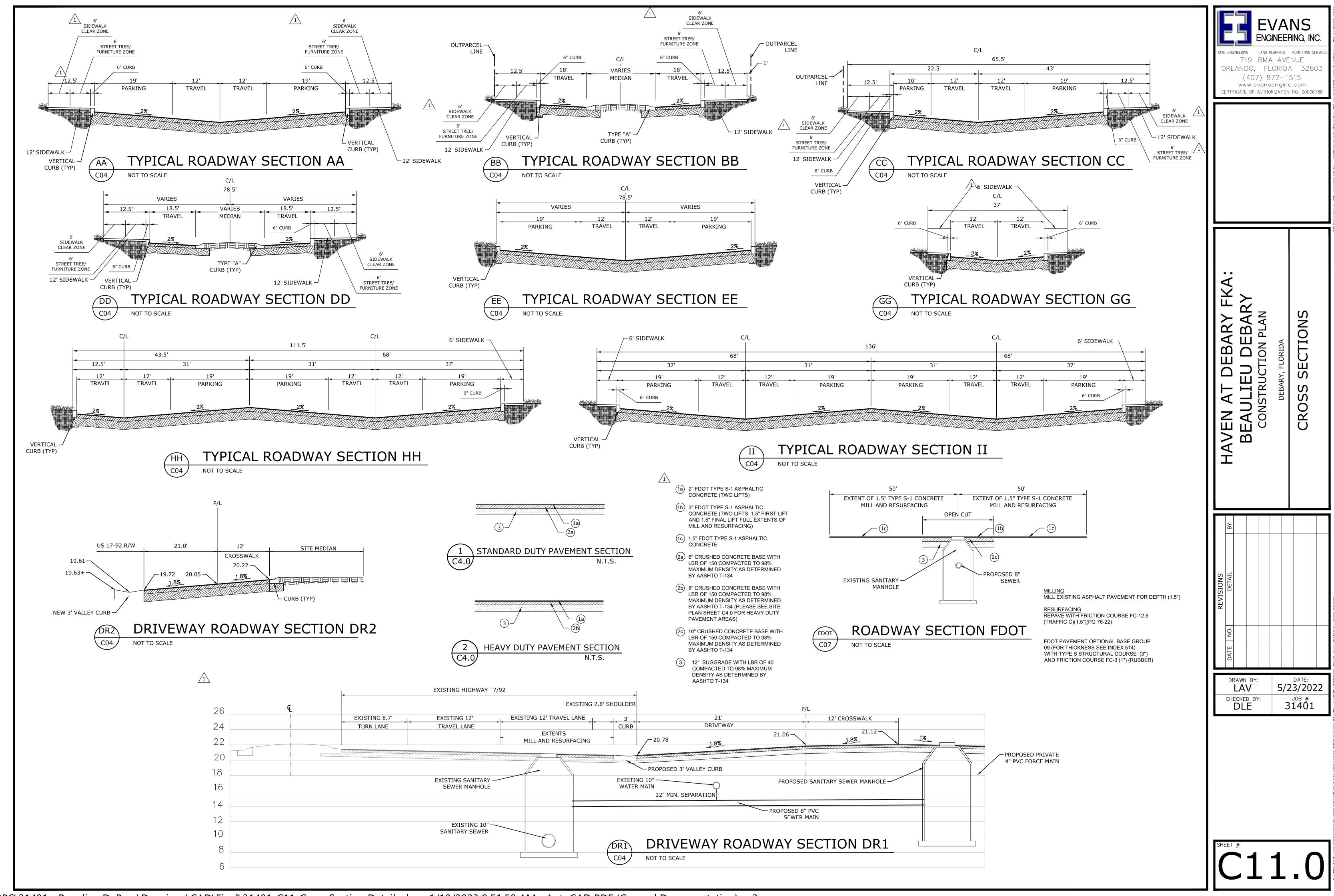
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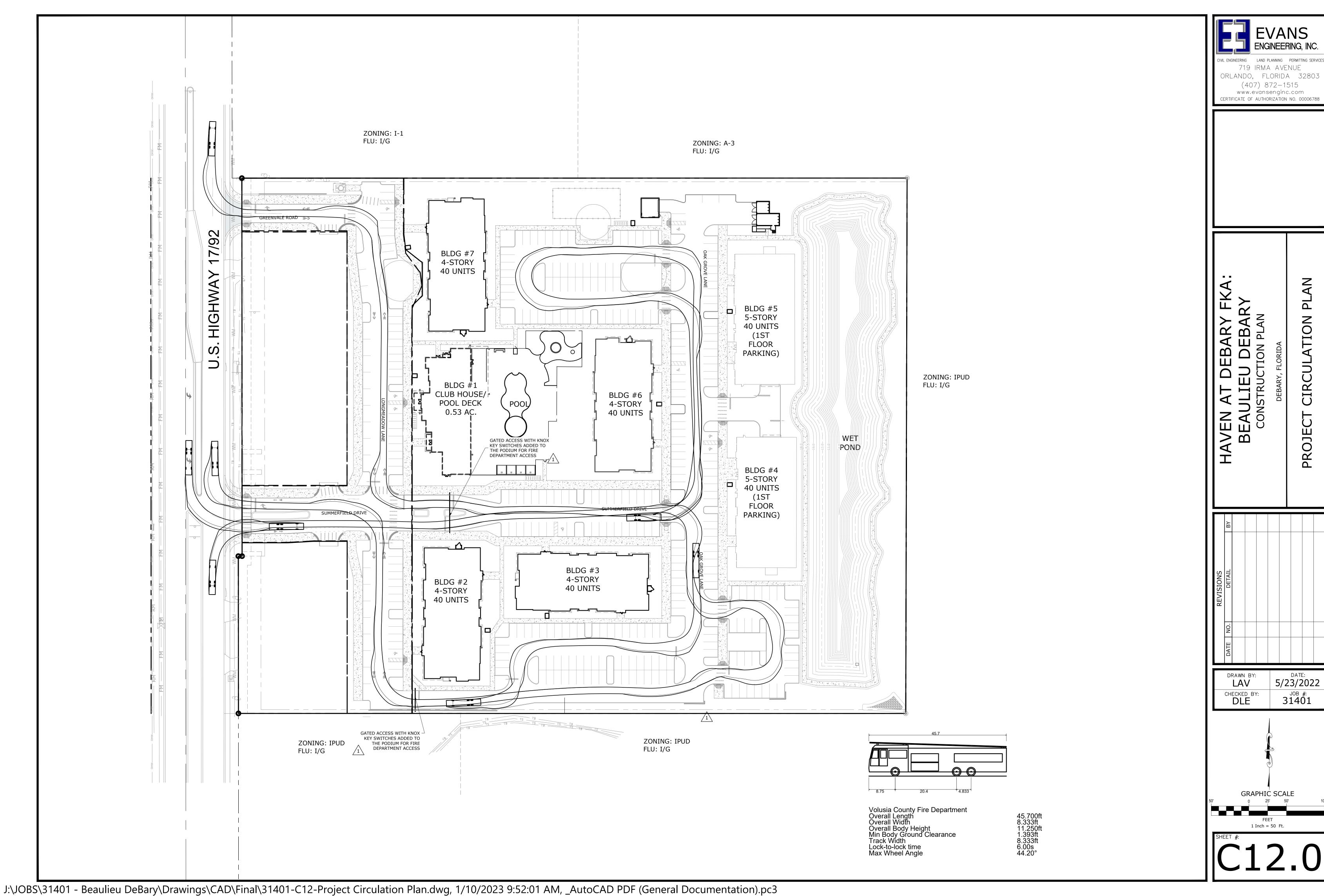
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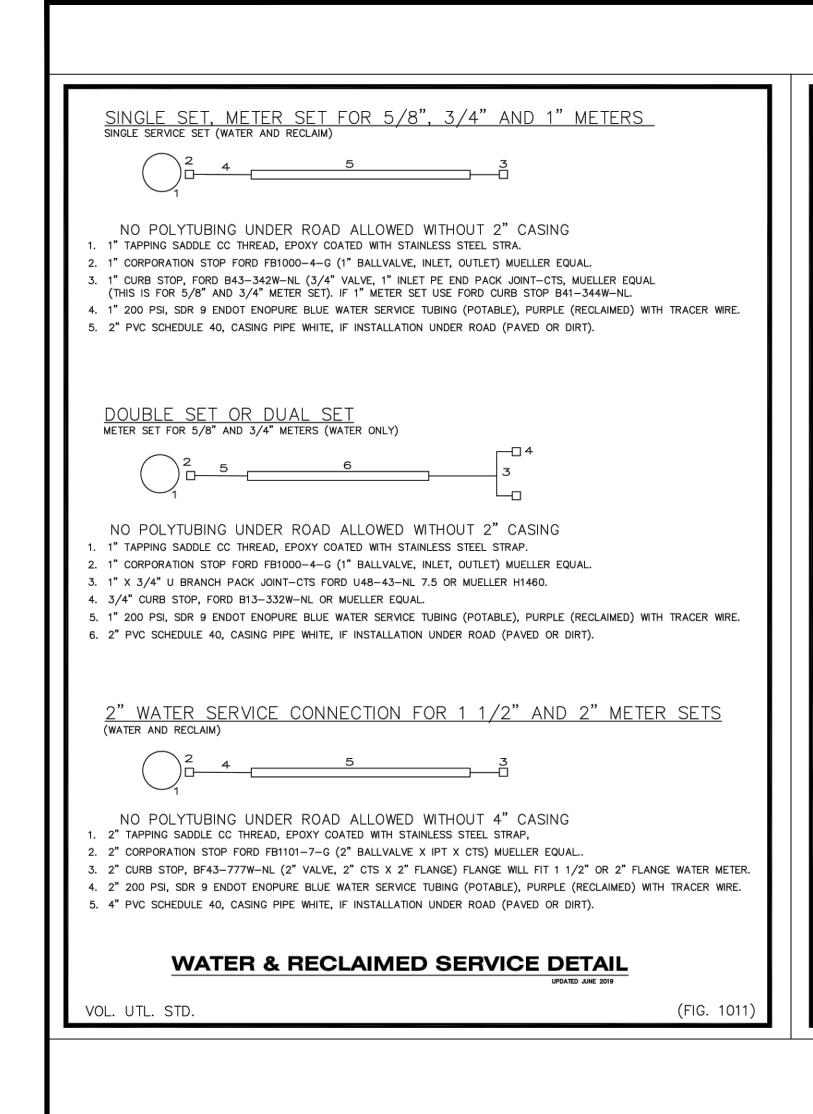
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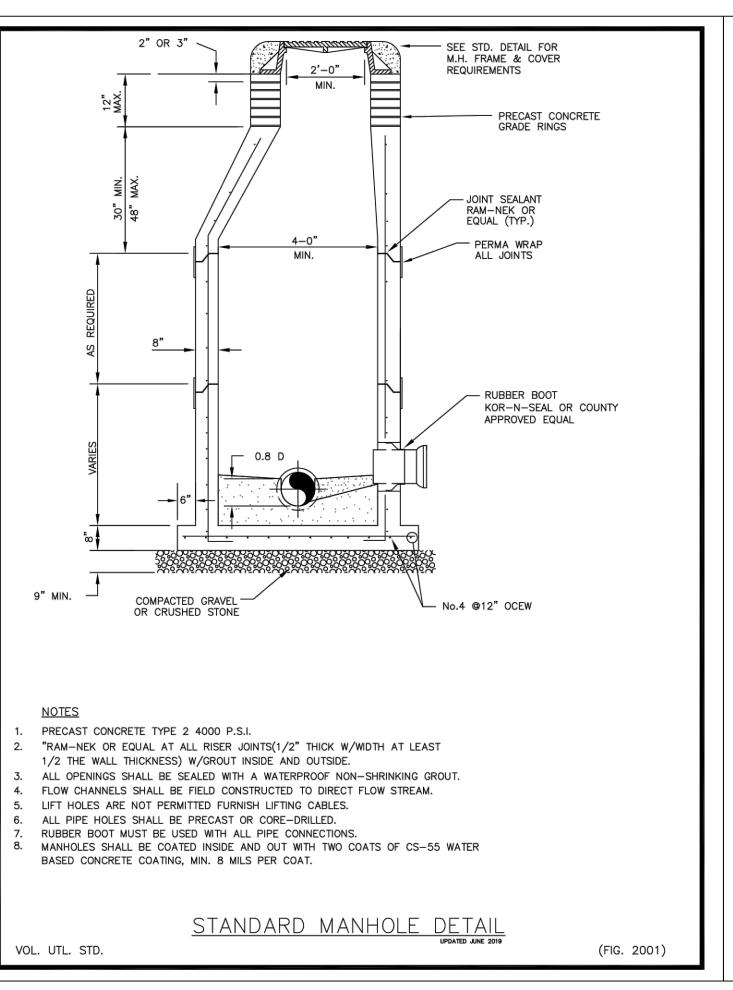
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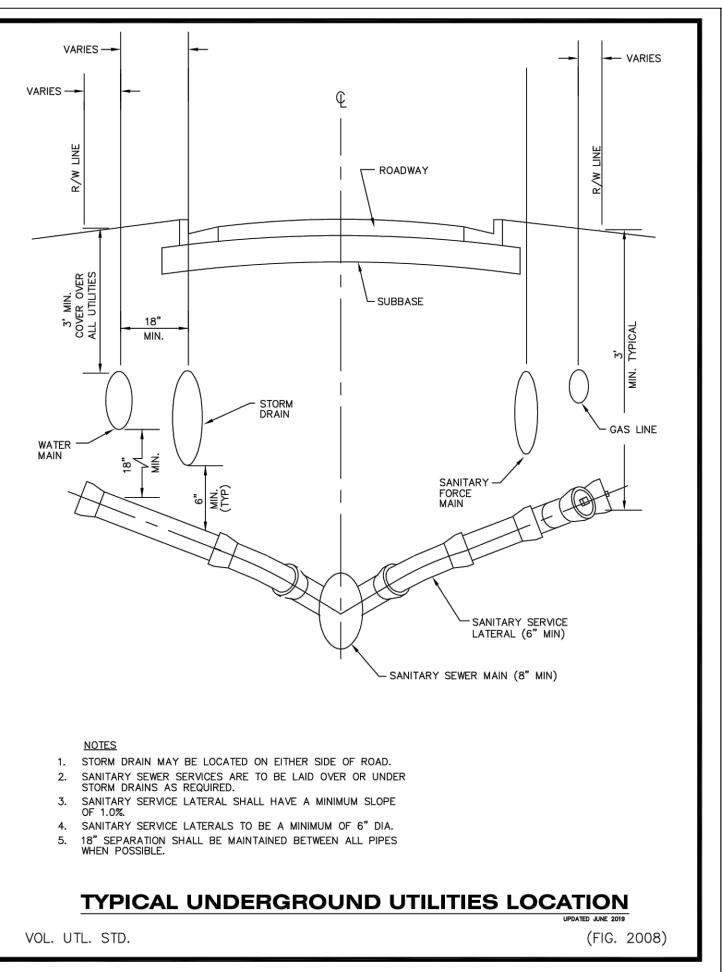


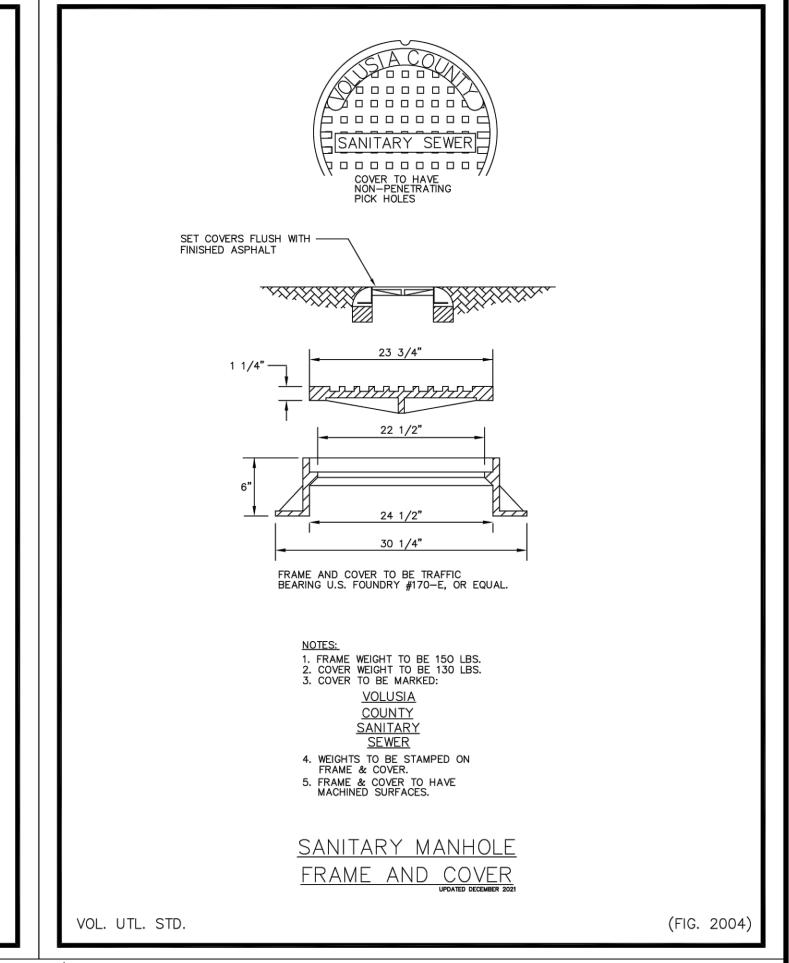
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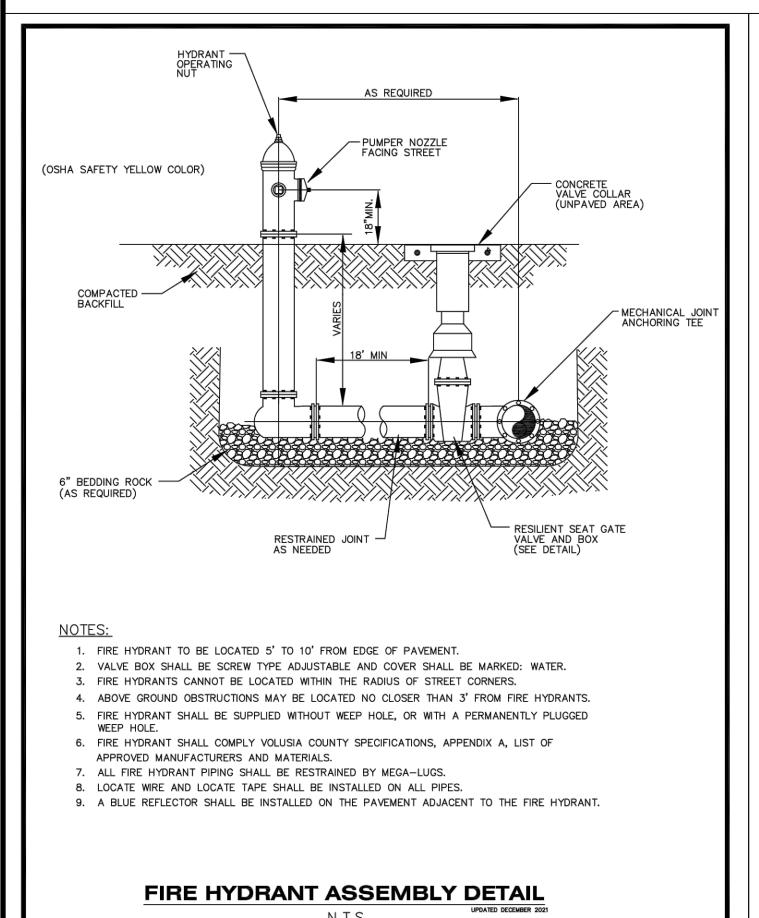






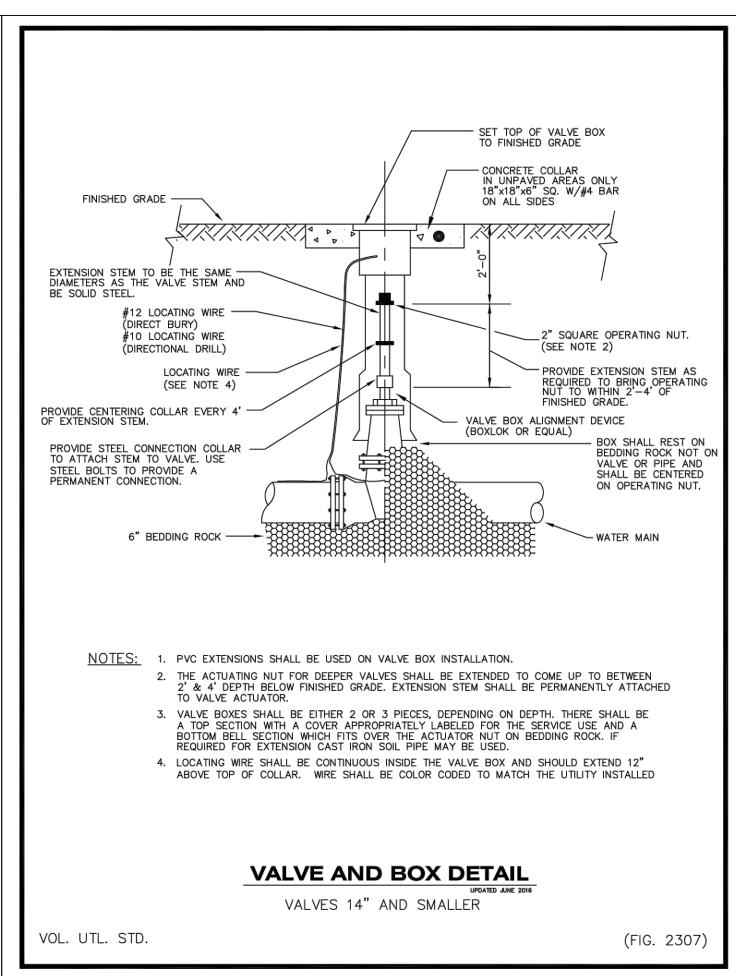


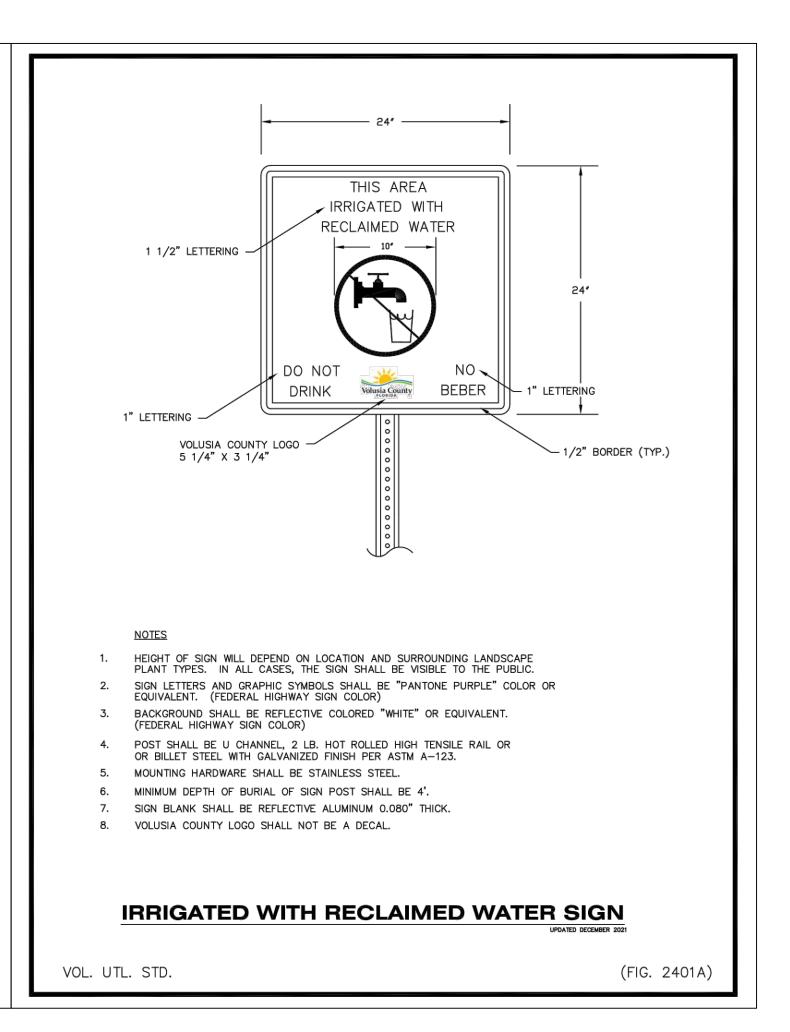


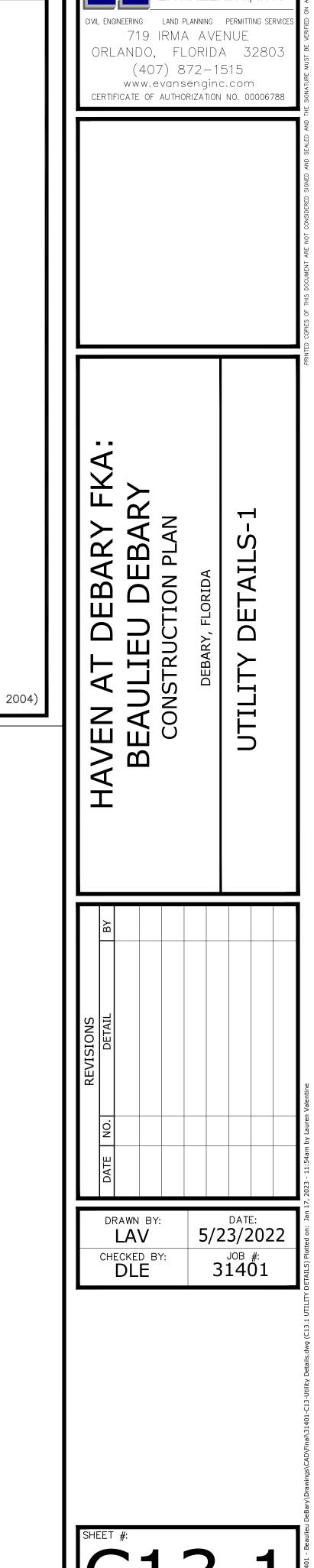


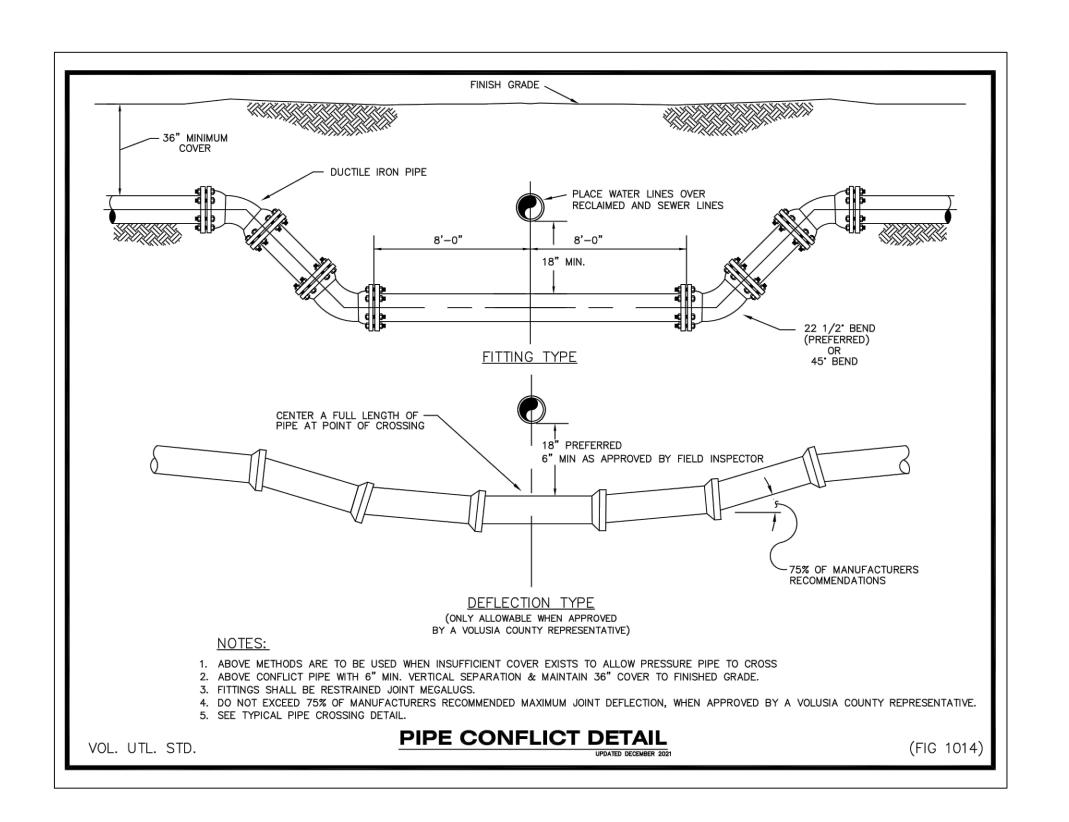
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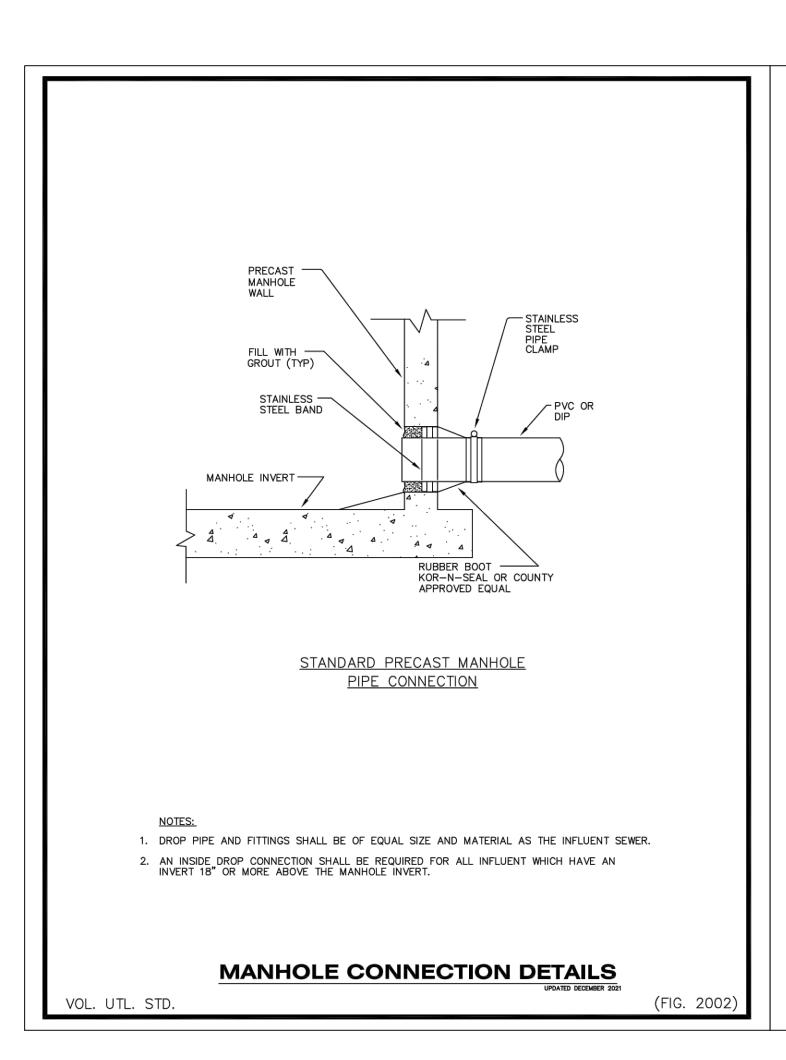
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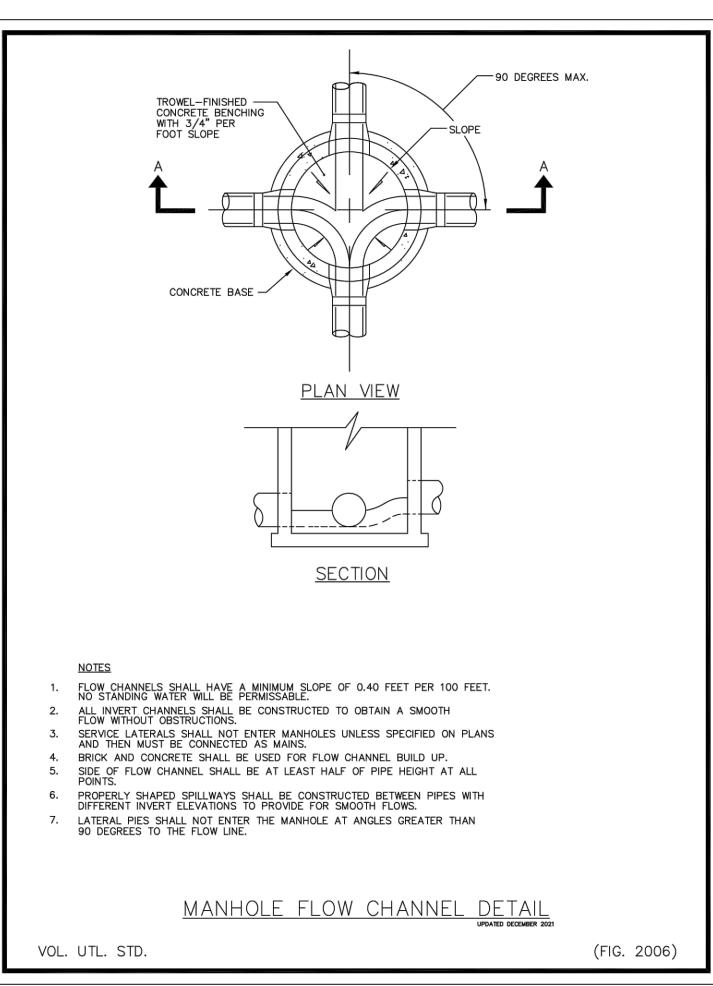


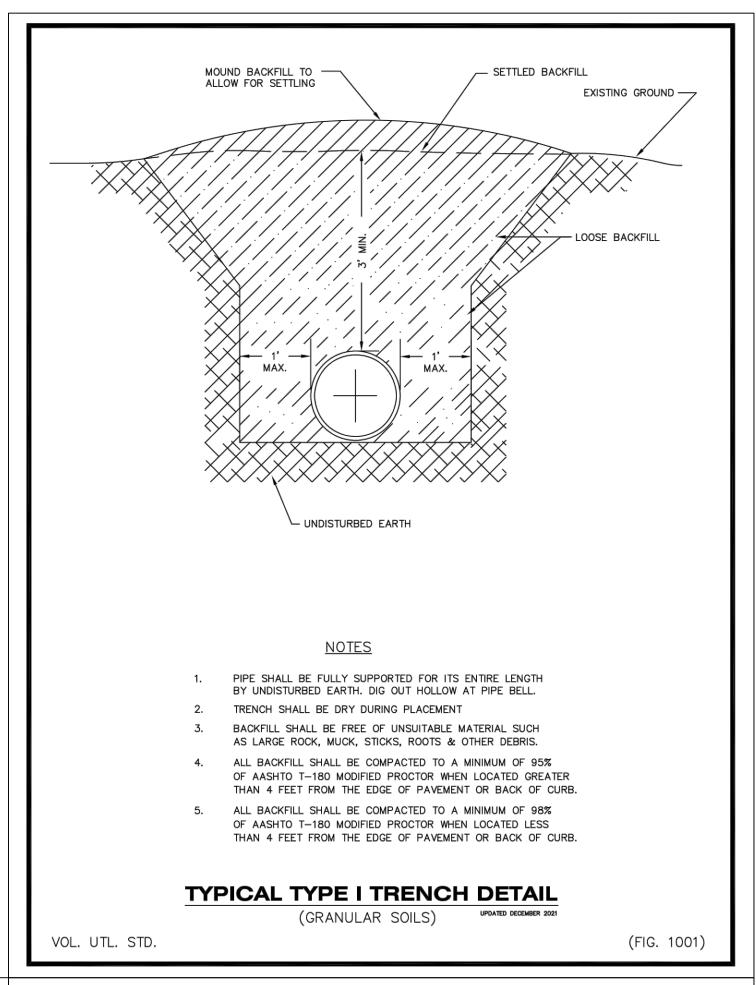


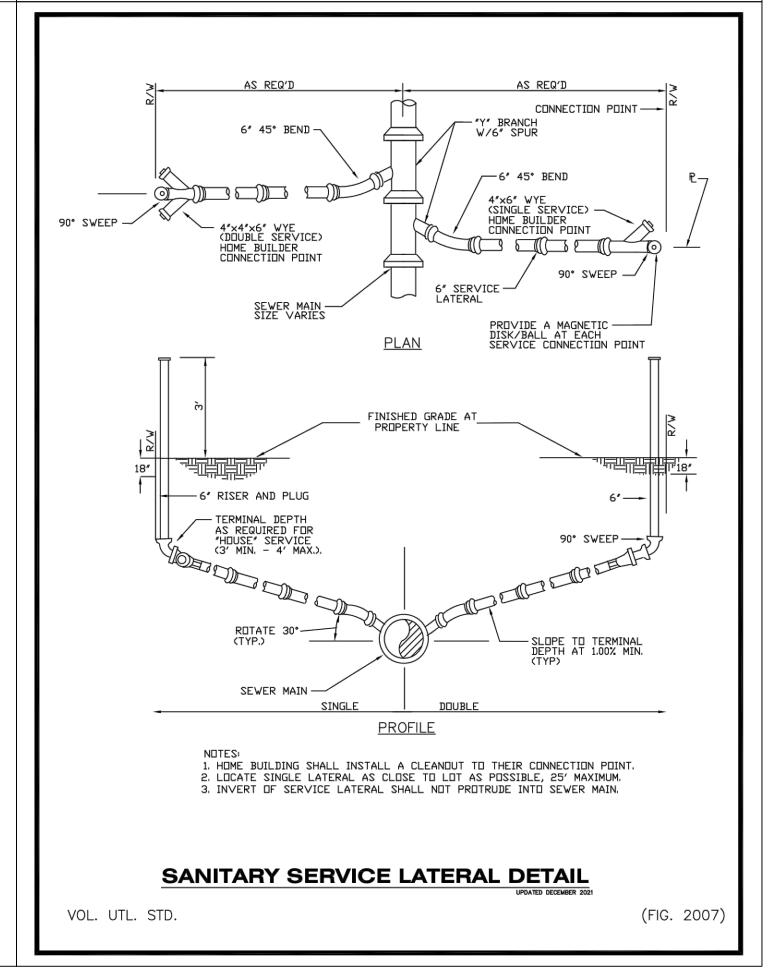








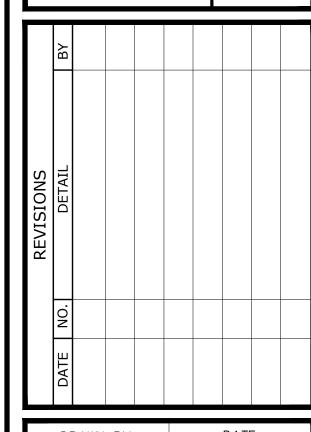






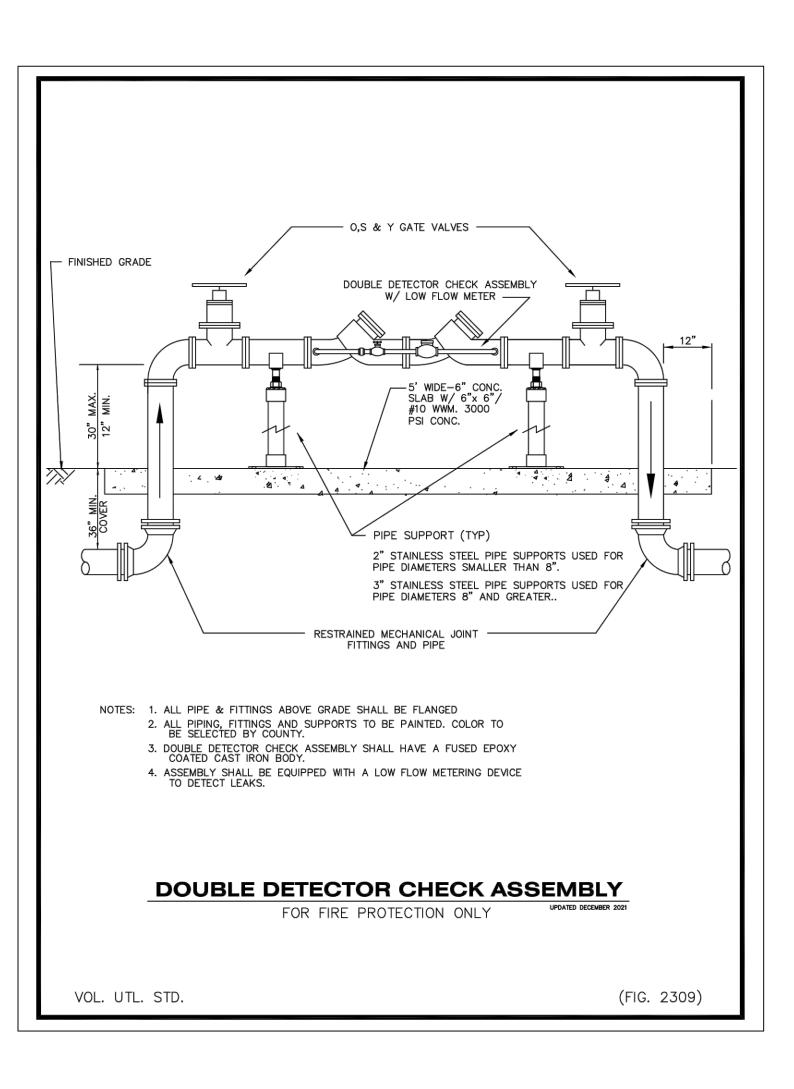
HAVEN AT DEBARY FKA BEAULIEU DEBARY CONSTRUCTION PLAN

2



drawn by: LAV	DATE: 5/23/2022
CHECKED BY:	31401

SHEET #:
C13.2



SEPARATION REQUIREMENTS 1, A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET OUTSIDE SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY GRAVITY SEWER OR STORM SEWER LINES, (SEE DETAIL"A") 2, A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET OUTSIDE TO OUTSIDE SHALL BE

MAINTAINED BETWEEN WATER MAINS AND RECLAIMED WATER LINES CARRYING UNRESTRICTED PUBLIC ACCESS REUSE WATER OR WELL SUPPLY MAINS.

3. THERE SHALL BE AT LEAST A TEN (10) FOOT SEPARATION BETWEEN NEW WATER MAINS AND NEW SANITARY SEWER FORCE MAINS WITHOUT EXCEPTION, FIELD PROBLEMS SHALL BE REPORTED TO THE ENGINEER, SPECIAL SOLUTIONS MUST BE ACCEPTED BY D.E.P. PRIOR TO IMPLEMENTATION.

4. A MINIMUM VERTICAL SEPARTION OF EIGHTEEN (18) INCHES DUTSIDE TO DUTSIDE SHALL BE MAINTAINED BETWEEN WATER MAIN AND THE HAZARD LINES (I.E. SANITARY GRAVITY SEWER, STORM SEWER OR RECLAIMED WATER LINES), ONE FULL LENGTH OF PIPE SHALL BE CENTERED AT THE POINTOF CROSSING FOR BOTH PIPES.

5. THERE SHALL BE AN EIGHTEEN (18) INCH VERTICAL SEPARATION BETWEEN NEW WATER MAINS AND NEW SANITARY SEWER FORCE MAINS AT CROSSING WITHOUT EXCEPTION, WHERE IT IS NOT POSSIBLE TO MAINTAIN THE REQUIRED SEPARATION, CONFLICTS WITH EXISTING LINES SHALL BE REPORTED TO THE ENGINEER, SPECIAL SOLUTIONS MUST BE ACCEPTED BY D.E.P. PRIOR TO IMPLEMENTATION, AT PIPE CROSSINGS, THE PIPES SHALL BE SITUATED SUCH THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM EACH OTHER.

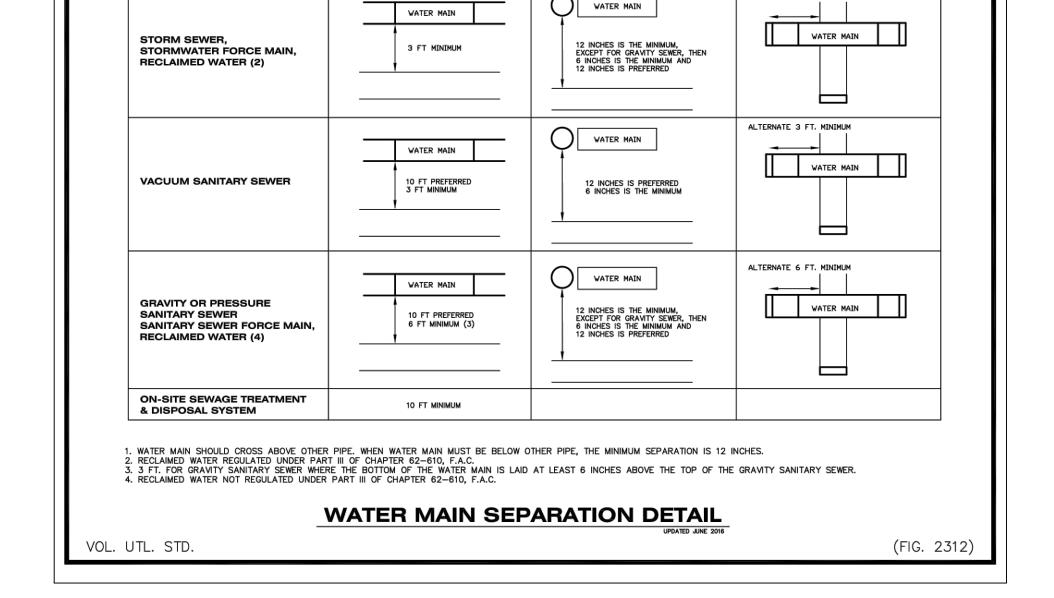
5. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE OR STORM SEWER STRUCTURE.

SOLUTIONS TO SEPARATION CONFLICTS

- 1, IN AREAS WHERE IT IS NOT PRACTICAL TO MAINTAIN THE REQUIRED SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY GRAVITY SEWER, STORM SEWER OR RECLAIMED WATER LINE AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE OTHER LINE, (SEE DETAIL"B")
- 2. IF THE MINIMUM ALLOWABLE (10') HORIZONTAL SEPARATION OR 18" VERTICAL IN A SEPARATE TRENCH CANNOT BE MAINTAINED, UPGRADE THE WATER MAIN TO DUCTILE IIRON IF THE OTHER LINE IS A STORM SEWER OR AN EXISTING SANITARY GRAVITY SEWER.
- 3. IF THE NON-CONFORMING LINE IS A NEW GRAVITY SANITARY SEWER, AND 10' HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION IN A SEPARATE TRENCH CANNOT BE MAINTAINED,
 - A. PLACE THE HAZARD LINE WITHIN A CONCRETE SEALED PVC SDR 35 CARRIER PIPE.
 - B. ENCASE THE HAZARD PIPE IN CONCRETE ENCASEMENT. DETAIL THIS SHEET C. UPGRADE THE NEW GRAVITY SANITARY SEWER TO AWWA C-900, D.R. 18 PVC AND HYDROSTATICALLY TEST IT TO 150 PSI, AT PIPE CROSSINGS, THE PIPES SHALL BE SITUATED SUCH THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM EACH OTHER.
- 4. IF THE HAZARD LINE IS A RECLAIMED WATER LINE AND THE ABOVE SEPARATION REQUIREMENTS ARE NOT MET, UPGRADE THE RECLAIMED WATER LINE MATERIAL TO DUCTILE IRON OR ENCASED
- 5. WHEN THERE IS LESS THAN 18" DF VERTICAL CLEARANCE BETWEEN THE WATER MAIN AND STORM SEWER, AT THE POINT OF CROSSING (SEE DETAIL"D")
- 6. WHEN THE WATER MAIN CROSSES BELOW THE HAZARD LINE, THE WATER MAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" FROM THE HAZARD LINE, ONE FULL LENGTH OF PIPE SHALL BE CENTERED AT THE POINT OF CROSSING (FOR BOTH PIPES WHEN CROSSING SANITARY
- 7. SPECIAL STRUCTURAL SUPPORT OR CONCRETE SADDLES MAY BE NECESSARY AT THE CROSSING
- 8. IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE CROSSING HAZARD. RECEIVE SPECIFIC APPROVAL BY D.E.P. PRIOR TO IMPLEMENTATION.

WATER MAIN SEPARATION NOTES

VOL. UTL. STD. (FIG. 2311)



OCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

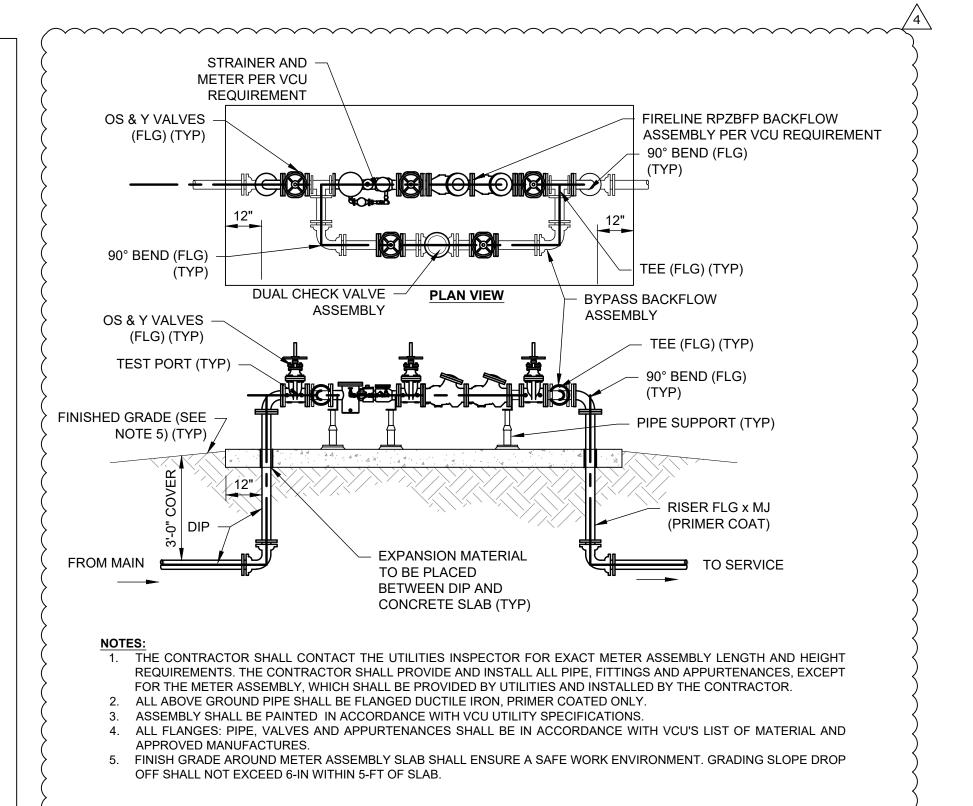
CROSSINGS (1)

(FULL JOINT CENTERED

ALTERNATE 3 FT, MINIMUM

HORIZONTAL SEPARATION

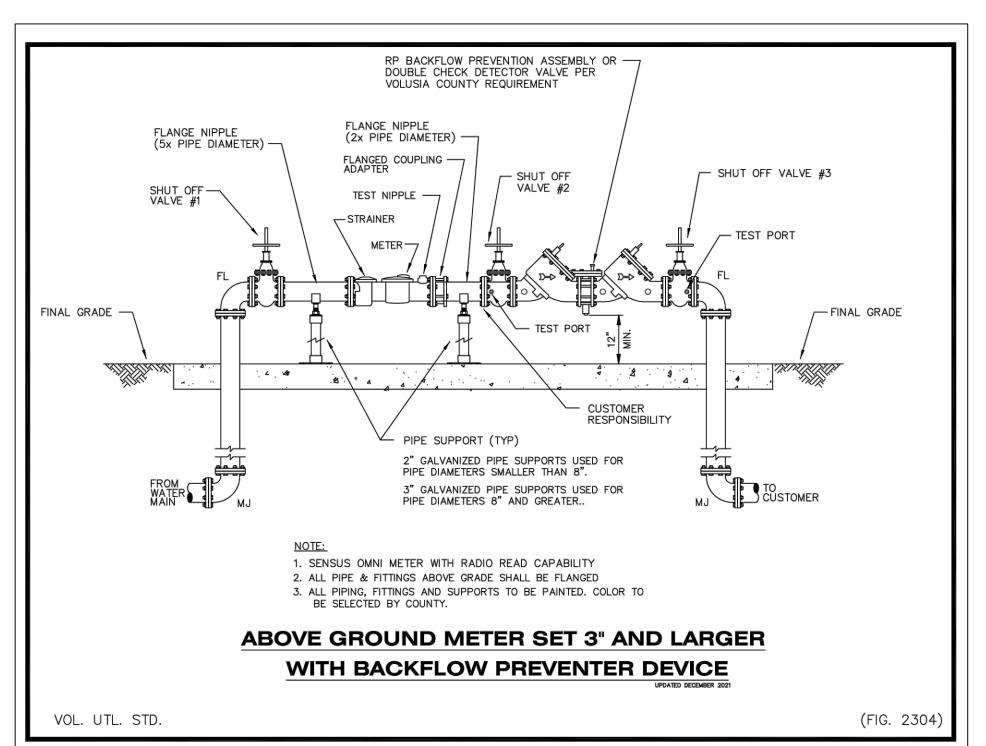
OTHER PIPE



FIRE LINE MASTER METER ASSEMBLY WITH ABOVE-GROUND BYPASS

^^^^^

N.T.S.



ELECTRONIC MARKER

Electronic Marker Balls for Gravity Mains

Electronic Marker Balls for Sewer Force Mains

Electronic Marker Balls for Potable Water Mains

the termination of water services. Balls shall be

Electronic Marker Balls for Reclaimed Water Mains

Marker manufactured by 3M.

Marker Balls manufactured by 3M.

manufactured by 3M.

Electronic Balls shall be provided at one foot from the

shall be Scotchmark model 1404, Electronic Full-Range

Electronic Balls shall be provided at fittings, valves,

crosses, tees, changes in direction and every 100-ft on

shall be Scotchmark model 1404, Electronic Full-Range

Electronic Balls shall be provided at fittings, valves,

crosses, tees, changes in direction and every 100-ft on

straight sections of pipe. Balls shall also be provided at

Scotchmark model 1403, Electronic Full-Range Marker Balls

Electronic Balls shall be at fittings, valves, crosses,

tees, changes in direction and every 100-ft on straight

termination of water services. Balls shall be Scotchmark

model 1408, Electronic Full-Range Marker Balls manufactured

sections of pipe. Balls shall also be provided at the

straight sections of pipe. Balls shall also be provided at

the termination of sewer services. Electronic marker Balls

termination of all sanitary sewer service laterals. Balls

VOL. UTL. STD.

by 3M.

CERTIFICATE OF AUTHORIZATION NO. 00006788

IL ENGINEERING LAND PLANNING PERMITTING SERVI

719 IRMA AVENUE

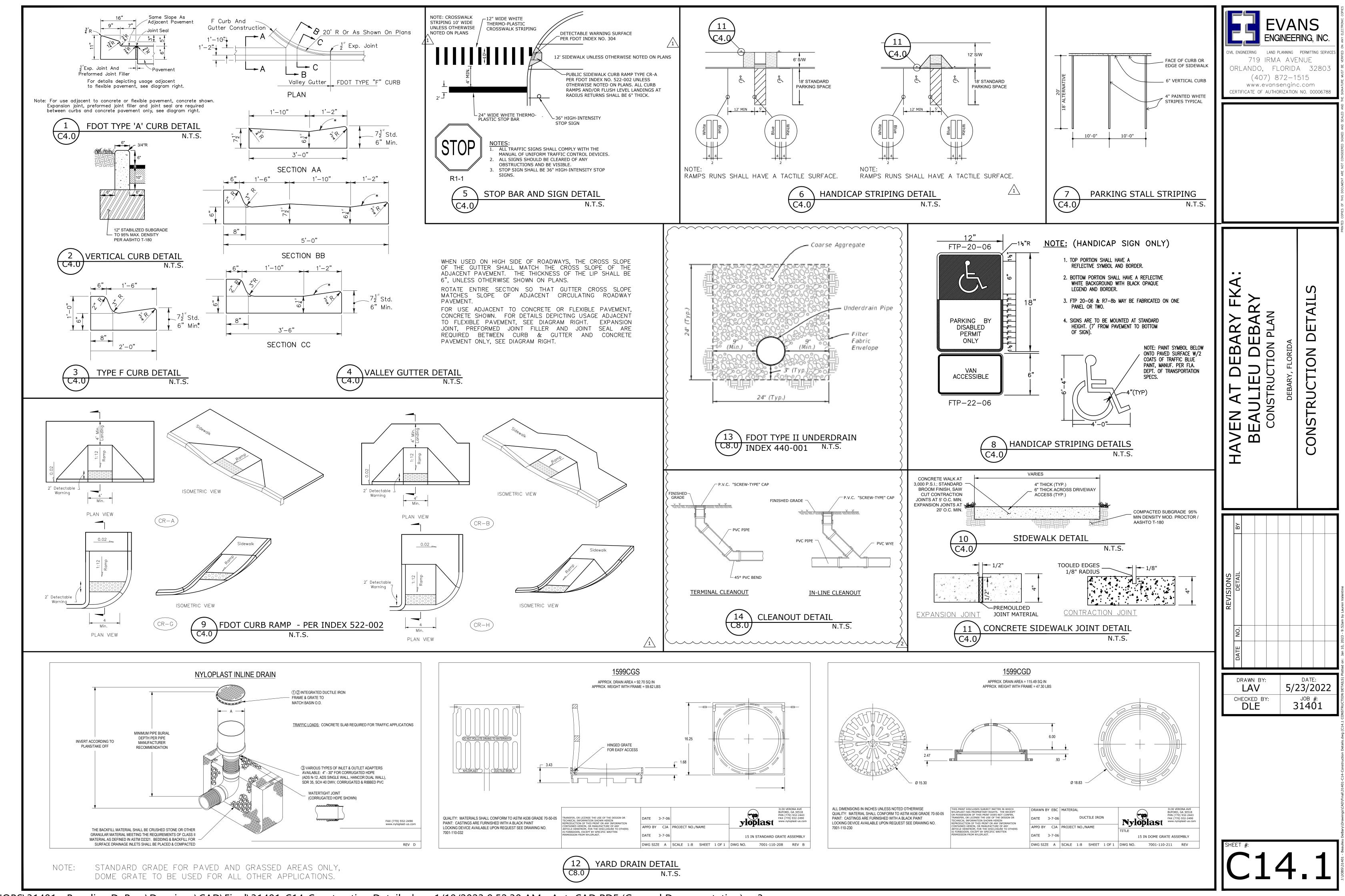
ORLANDO, FLORIDA 32803

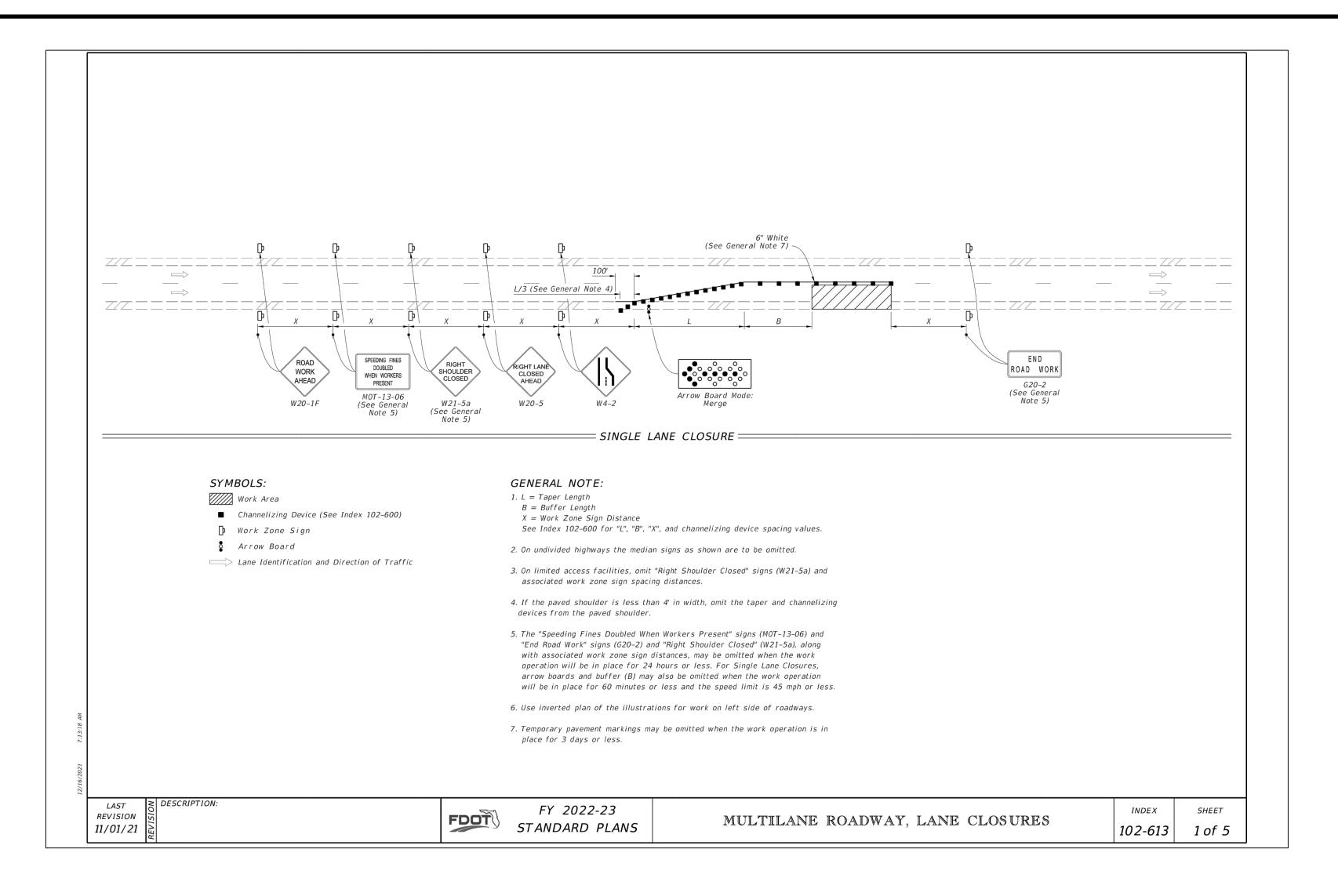
(407) 872-1515

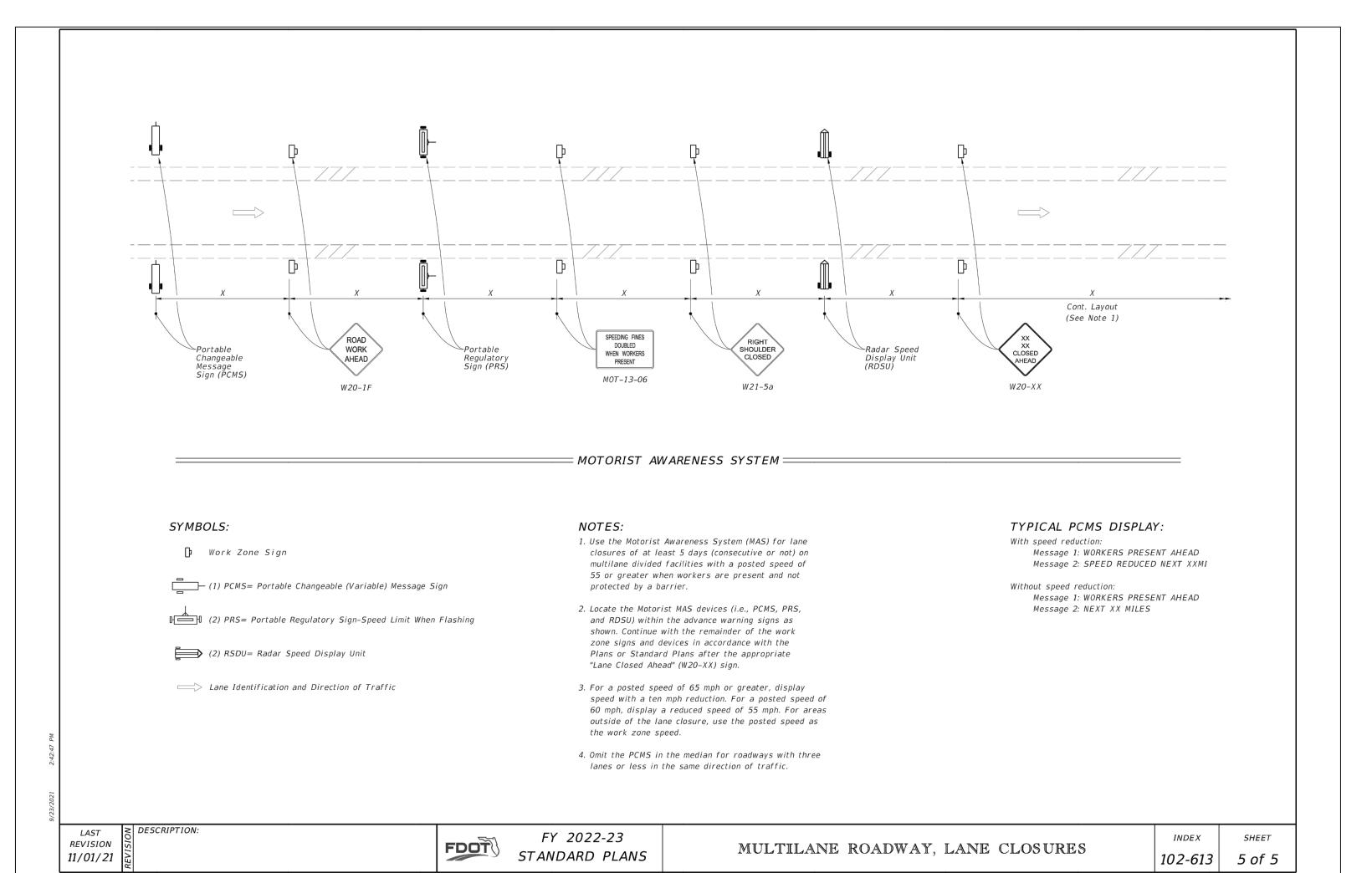
www.evansenginc.com

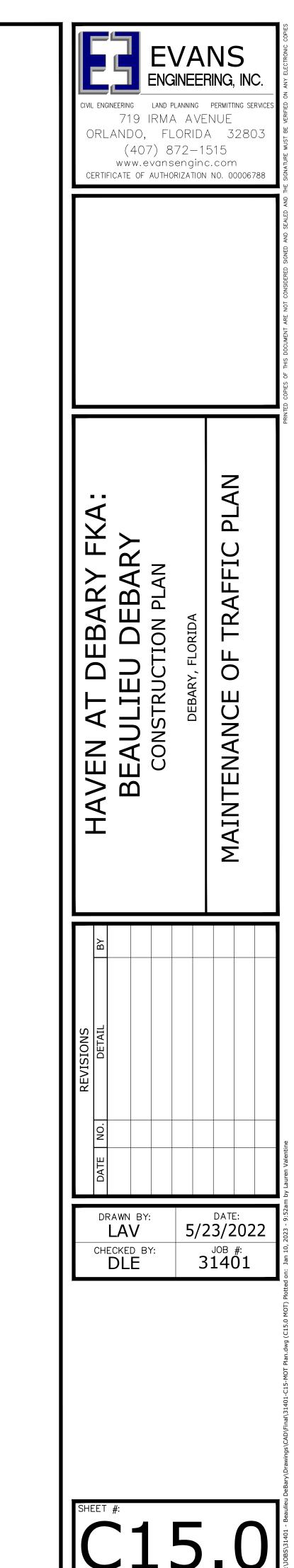
O

DRAWN BY: 5/23/2022 LAV JOB #: 31401 CHECKED BY: DLE









LEGAL DESCRIPTION:

THAT PART OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 453.39 FEET.

THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 256.77 FEET.

BEGINNING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, THENCE WEST ALONG QUARTER SECTION LINE TO THE EAST LINE OF THE DELAND AND SANFORD ROAD (U.S. HWY NO. 17-92); THENCE SOUTH ON THE EAST LINE OF THE DELAND AND SANFORD ROAD 227.30 FEET FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED LAND; RUN THENCE SOUTH ON THE EAST LINE OF SAID DELAND AND SANFORD ROAD 227.30 FEET; THENCE EAST 212.69 FEET; THENCE NORTH 227.30 FEET; THENCE WEST 212.56 FEET TO THE POINT OF BEGINNING, VOLUSIA COUNTY, FLORIDA.

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

THE NORTH 70 FEET OF S 1/2 OF NW 1/4 OF THE SE 1/4 AND THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE EAST 256.77 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, ALSO ALL THAT PART OF THE N 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, EXCEPT THE NORTH 454.6 FEET; AND

THE EAST 453.39 FEET OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST;

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 454.6 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST.

TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THAT PROPERTY DESCRIBED AS: THE SOUTH 15 FEET OF THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

LESS AND EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 4342, PAGE 2575, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

SITUATE IN THE COUNTY OF VOLUSIA, STATE OF FLORIDA.

CONTAINING 14.44 ACRES, MORE OR LESS.

EASEMENT PARCEL: PER COMMITMENT NUMBER 9891956

THE SOUTH 56.00 FEET OF THE NORTH 70.00 FEET OF THE EAST 24.00 FEET OF THE WEST 119.00 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA, LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF U. S. HIGHWAY 17 & 92, SAID RIGHT-OF-WAY LINE BEING 33.00 FEET EAST OF THE CENTERLINE OF SAID HIGHWAY. AND ALSO THE SOUTH 24.00 FEET OF THE NORTH 38.00 FEET OF THE EAST 53.00 FEET OF THE WEST 95.00 FEET OF THAT PART OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA, LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF U. S. HIGHWAY 17 & 92, SAID RIGHT-OF-WAY LINE BEING 33.00 FEET EAST OF THE CENTERLINE OF SAID HIGHWAY. AND ALSO OVER THE SOUTH 104.00 FEET OF THE NORTH 301.30 FEET OF THE EAST 24.00 FEET OF THE WEST 91.00 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9. TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY FLORIDA, LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF U. S. HIGHWAY 17 & 92, SAID RIGHT-OF-WAY LINE BEING 33.00 FEET EAST OF THE CENTERLINE OF SAID HIGHWAY. AND ALSO THE SOUTH 24.00 FEET OF THE NORTH 301.30 FEET OF THE EAST 25.00 FEET OF THE WEST 67.00 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST. VOLUSLA COUNTY, FLORIDA, LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 17 & 92, SAID RIGHT-OF-WAY LINE BEING 33.00 FEET EAST OF THE CENTERLINE OF SAID HIGHWAY.

SCHEDULE B SECTION II EXCEPTIONS:

COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE/ ORDER NUMBER 9891956

- 5. RIGHTS AND PRIVILEGES AS SET FORTH IN THAT CERTAIN WARRANTY DEED RECORDED IN DEED BOOK 295, PAGE 419, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (AFFECTS—BLANKET OVER PARCEL GRAPHICALLY SHOWN)
- 6. EASEMENTS IN FAVOR OF THE AMERICAN TELEGRAPH AND TELEGRAPH COMPANY AS SET FORTH IN DEED BOOK 363, PAGE 322, DEED BOOK 363, PAGE 293, AND DEED BOOK 363, PAGE 292, ALL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (AFFECTS BLANKET OVER PARCELS GRAPHICALLY SHOWN)
- 7. RIGHT OF WAY EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORDS BOOK 3618, PAGE 1967, AS AFFECTED BY SUBORDINATION COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004, ALL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)
- 8. UTILITIES EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORD BOOK 3618, PAGE 1969, AS AFFECTED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004, ALL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)
- 9. GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 3672, PAGE 399, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (AFFECTS—GRAPHICALLY SHOWN HEREON)
- 10. DRAINAGE EASEMENT AS EVIDENCED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGE 1004, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF

SCHEDULE B SECTION II EXCEPTIONS:

COMMITMENT PREPARE BY WFG NATIONAL TITLE INSURANCE COMPANY/ ORDER NUMBER 2125426FL—A

- 10. RIGHTS AND PRIVILEGES AS SET FORTH IN THAT CERTAIN WARRANTY DEED RECORDED IN DEED BOOK 295, PAGE 419, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (AFFECTS—BLANKET OVER PARCEL GRAPHICALLY SHOWN)
- 11. RIGHT OF WAY EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORDS BOOK 3618, PAGE 1967, AS AFFECTED BY SUBORDINATION COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004, ALL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)
- 12. UTILITIES EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORD BOOK 3618, PAGE 1969, AS AFFECTED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004, ALL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)
- 13. GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 3672, PAGE 399, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (AFFECTS—GRAPHICALLY SHOWN HEREON)
- 14. DRAINAGE EASEMENT AS EVIDENCED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGE 1004, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)

LEGEND AND ABBREVIATIONS:

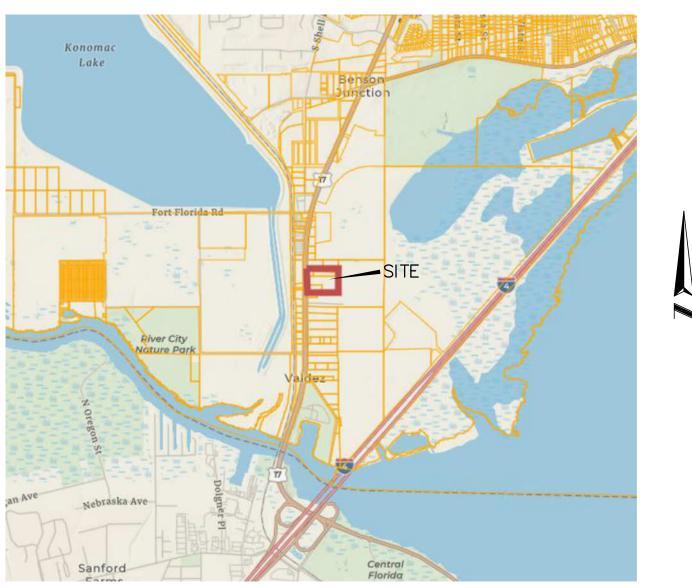
- © DENOTES ELECTRIC BREAKER BOX
- O DENOTES RECOVERED 5/8" IRON ROD & CAP, "FLADOT-T"
- W DENOTES WELL
- → DENOTES SIGN
- DENOTES UTILITY POLE
- CONTRACT DENOTES FIRE HYDRANT
- DENOTES CLEAN−OUT
- ☐ DENOTES MITERED END SECTION
- ☑ DENOTES TELEVISION RISERw☑ DENOTES WATER VALVE
- DENOTES CATCH BASIN
- ← DENOTES GUY WIRE
- ®FA ☑BEDDENOTES BACKFLOW PREVENTER
- ① DENOTES COMMUNICATION MANHOLE
- DENOTES WATER METER
- DENOTES DRAINAGE MANHOLE

- ____ DENOTES CHAIN-LINK FENCE (CLF)
 - CCR DENOTES CERTIFIED CORNER RECORD
 - (D) DENOTES DESCRIPTION
 - ORB DENOTES OFFICIAL RECORDS BOOK
 - PG DENOTES PAGE OR PAGES
 - POB DENOTES POINT OF BEGINNING
 - R/W DENOTES RIGHT OF WAY
- 9-19S-30E DENOTES SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST
 - S DENOTES SANITARY MANHOLE(M) DENOTES MEASURED
 - CLF DENOTES CHAIN LINK FENCE

SURVEYOR'S NOTES:

- 1. BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 09-19S-30E, AS BEING $N89^{\circ}59'32''E$.
- 2. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
- 3. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN INSURANCE TITLE COMMITMENT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER 9891956, WITH A COMMITMENT DATE OF 11/29/2021 AT 5:00 PM. AND REVISION NUMBER: REV 1 12/14/2021 ACM, REV 2 3/30/2022 AND WFG NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER 2125426FL-A WITH A COMMITMENT DATE OF 3/30/2022 AT 8:00AM.
- 4. THE SUBJECT PROPERTY IS A PORTION OF THE LANDS DESCRIBED IN SAID COMMITMENT. A LEGAL DESCRIPTION FOR THE SUBJECT PROPERTY WAS PREPARED BY THIS FIRM AT THE CLIENT'S REQUEST AS SHOWN HEREON.
- 5. THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
- 6. THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
- 7. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 8. UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBSTRUCTED VISIBLE, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
- 9. UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
- 10. SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12127C0730H, MAP REVISED FEBRUARY 19, 2014. THE ABOVE STATEMENT IS FOR INFORMATION ONLY, AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
- 11. ADJOINING PROPERTY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE VOLUSIA COUNTY PUBLIC ACCESS SYSTEM. RECORDING DATA WAS NOT AVAILABLE FOR ALL ADJOINERS.
- 12. LAST DATE ON FIELD MARCH 31, 2022.

VACINITY MAP



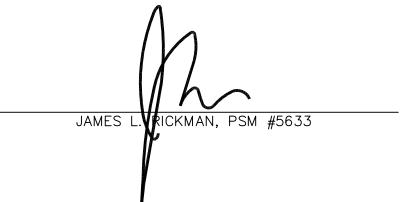
NOT TO SCALE

CERTIFIED TO:

- SWANSON INVESTMENTS, LLC
- ROMANELLO GOODE PA
 WEC NATIONAL TITLE INSURANCE COMPANY
- WFG NATIONAL TITLE INSURANCE COMPANY
 THE PRINCIPAL LAW FIRM PL
- ALICE M. BEAULIEU, AS TRUSTEE OF THE ALICE BEAULIEU REVOCABLE TRUST DATED AUGUST 16, 2002, AS AMENDED APRIL 10, 2009
- RONALD BEAULIEURODNEY BEAULIEU
- JOHNSON DEVELOPMENT ASSOCIATES, INC.
 FIDELITY NATIONAL TITLE INSURANCE COMPAN
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
 DEAN MEAD
- HAVEN AT DEBARY, LLC, A DELEWARE LIMITED LIABILITY COMPANY
- FOLEY & LARDNER LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(a), 12, 16 & 17 OF TABLE A THEREOF.

DATE OF PLAT OR MAP: APRIL 13, 2022





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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34783 (407) 654—5355 LB #6723

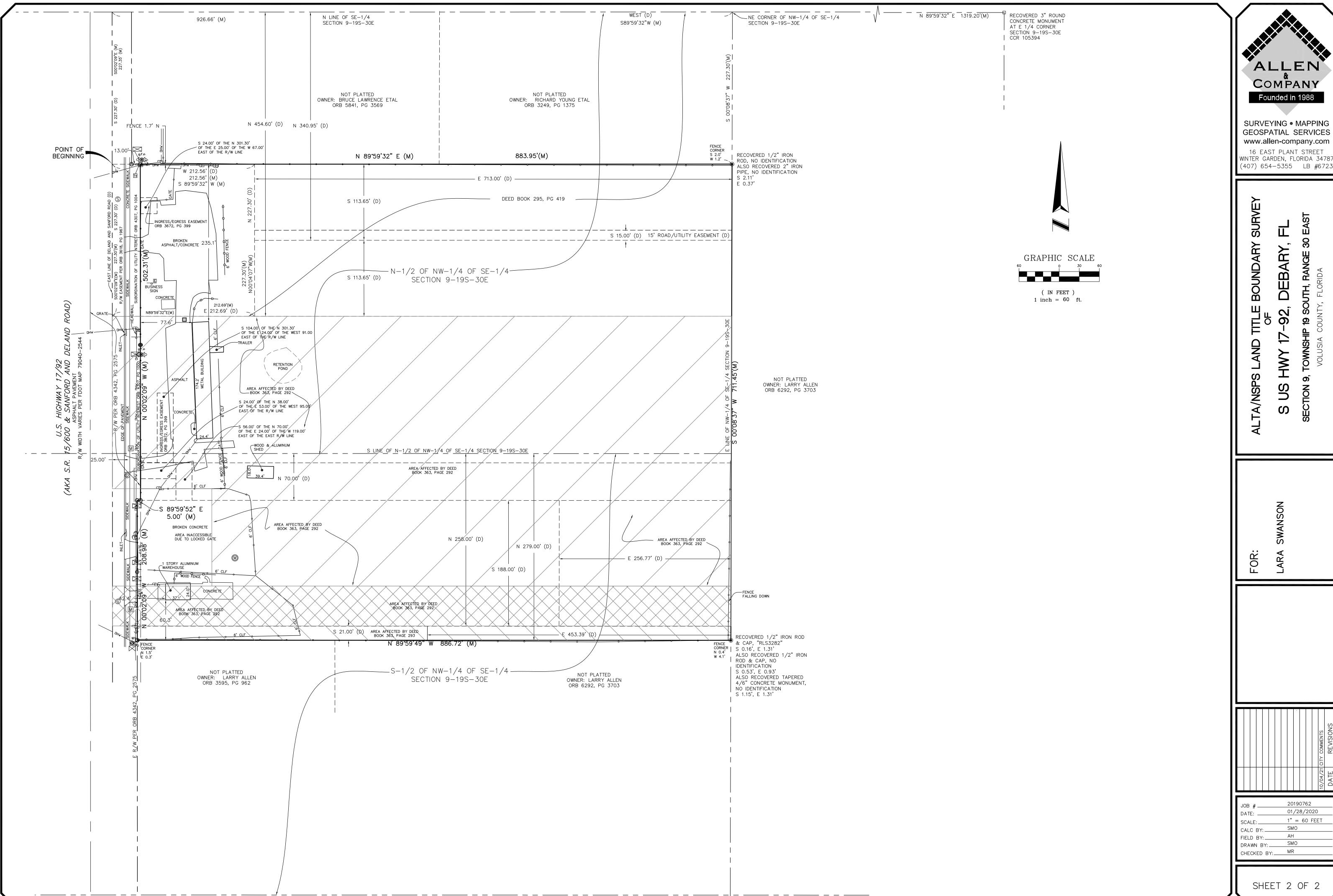
ARY, FL

OF
HWY 17-92, DEBARY,
9, TOWNSHIP 19 SOUTH, RANGE 30

ARA SWANSON

23/22 CITY COMMENTS
29/22 CITY COMMENTS
04/21 CITY COMMENTS

SHEET 1 OF 2



					TREE	TABLE	
UMBER	TREE SIZE	NUMBER	TREE SIZE		E SIZE	NUMBER	
761	12-12" OAK	1020	12" PINE		PINE	1241	12" PALM
762 763	28" OAK 21" PALM	1021 1022	10" PINE 9" PINE		" PINE " PINE	1242 1243	15" OAK 15" PINE
764	14" OAK	1023	10" PALM	1136 12	" PINE	1244	8" PINE
765 766	15" OAK 25" OAK	1024	15" PINE 28" PINE		" PINE " PINE	1245 1246	14" PINE 18" PINE
767	8" OAK	1025	26 PINE 6" MAPLE		AMPHOR	1247	18" PINE 6" TREE
768	16" OAK	1027	8"OAK	1140 6"	PALM	1248	18" PINE
769 770	17" OAK 22" PALM	1028 8 1029	'SWEETGUM 7"OAK	1141 10 1142 12	" PINE " PINE	1249 1250	16" PALM 15" PALM
771	42" OAK		" SWEETGUM		" PINE	1251	12" OAK
772	11" PALM	1031	13" MAPLE		PALM	1252	14" PINE
773 774	16" PALM 14" OAK	1032 7 1033	'SWEETGUM 24" OAK		PALM	1253 1254	11" PINE 15" PINE
775	26" OAK	1034 12	" SWEETGUM	1147 18	" PINE	1255	16" PINE
776 777	23" TREE	1035	8" PINE		PALM	1256 1257	11" PALM
782	18" OAK 8" CHINABERRY	1037	23" PINE 11" PALM	- L	" PINE " PINE	1257	14" PINE 16" PINE
783	8" CHINABERRY	1038	11" PALM	1151 11'	' PINE	1259	18" PINE
784 785	13" TREE 15-10" OAK	1039 1040	19" PINE 11" PALM		' PINE 7" OAK	1260 1261	12" PINE 14" PALM
786	8" CHINABERRY	1041	9" PALM	1154 15"	PALM	1262	10" PINE
787	20" OAK	1042	13" PALM		" PINE	1263	14" PINE
788 789	7" CHERRY 12" PALM	1043 1044 12	13" PALM " CAMPHOR		PINE AMPHOR	1264 1265	7" PINE 11" PALM
790	7" CAMPHOR	1045 10	" SWEETGUM	1158 6"	PINE	1266	15" PALM
791 792	13" PALM 10" OAK	1046 1047	10" PALM 12" PALM		PALM PINE	1267 1268	13-19" OAk 12" PALM
793	7" CAMPHOR	1047	12 PALM 12" PALM		PINE	1269	6" CAMPHOR
794	7" CAMPHOR	1049	10" PALM	1162 10	" PINE	1270	13" PINE
795 796	8" CAMPHOR 8" CAMPHOR	1050 1051 8	12" PINE 'SWEETGUM	1163 7" 1164 9"	PINE	1271 1272	12" PINE 12" PINE
797	14" PALM	1052	7" PALM	1165 9"	PINE	1273	9" OAK
801 802	7" PALM	1053 14 1054	" SWEETGUM	1166 8'	OAK	1274 1275	10" TREE
802	9-17-22" OAK 6" PALM	1054	16" TREE 16" PINE	-	PALM	1275	8" OAK 8" OAK
804	13-17" OAK	1056	16" PINE	1169 7"	PINE	1277	12" OAK
805 806	24" OAK 13" OAK	1057 12- 1058	<u>10" CAMPHOR</u> 32" OAK	1170 12° 1171 12°	" PINE " PINE	1278 1279	14" PALM 6" CAMPHOR
807	6" CAMPHOR	1059	11" PALM	1172 8"		1280	8" PINE
808	8" OAK		'SWEETGUM		PALM	1281	10" TREE
809 810	9" OAK 7" OAK	1061 13 1062	" SWEETGUM 8" PALM		PALM PINE	1282 1283	16" PINE 8-9" OAK
811	8-9" OAK	1063	14" PINE	1176 12	" PINE	1284	11" CAMPHOR
812 813	7-6" CHERRY	1064	9" PALM 11" PALM		PINE	1285 1286	14" PALM
816	6" OAK 10" OAK		" SWEETGUM		PINE PINE	1287	14" TREE 12" OAK
817	7" OAK	1067	12" PINE	1180 14	" PINE	1288	13" PALM
818 819	11" OAK 11" OAK	1068	11" PALM 10" PALM		PINE PINE	1289 1290	8" OAK 12" OAK
958	7" PALM	1070	11" PALM	1183 8"	PINE	1291	15" PALM
959 960	7" SWEETGUM	1071 1072	11" PALM		PALM	1292 1293	14" PINE
961	24" PINE 12" PALM	1072	31" PINE 24" PINE	1186 11	PINE PINE	1293	6" OAK 8" OAK
962	17" OAK	1074	14" PALM	1187 15	" PINE	1295	13" PINE
963 964	8" SWEETGUM 12" PALM	1075 1076	14" PALM 12" PALM		" PINE " PINE	1296 1297	14" PALM 15" OAK
965	12" PALM	1077	8" OAK	1190 11	' PINE	1298	20" OAK
966 967	12" SWEETGUM	1078	20" PINE		" PINE	1299 1300	14-9" CAMPHO
968	7" PALM 14" PALM	1079	15" PINE 15" OAK		" OAK ' OAK	1300	17" OAK 24-18-24" O
969	14" PALM	1081	16" OAK	1194 8'	OAK	1302	24" OAK
970 972	12" PALM 9" OAK	1082 1083	12" PALM 11" PALM		WEETGUM PINE	1303 1304	10" OAK 9" OAK
973	6" CAMPHOR	1084	13" PINE	-	WEETGUM	1305	8" CAMPHOR
974	10" OAK	1085	25" OAK		" PINE	1306	6" TREE
975 976	20" PINE 12" PALM	1086	10" OAK 39" PINE		PINE PINE	1307 1308	7" OAK 10" CAMPHOR
977	10" OAK	1088	12" PALM	1201 7'	OAK	1309	6" CAMPHOR
978 979	13" PALM 10" PALM	1089	12" PALM 12" PALM		OAK PINE	1310 1311	7" CAMPHOR 8" TREE
980	12" PALM	1092	12" PALM		" OAK	1312	20" PINE
984	8" CAMPHOR	1093	22" OAK	1205 6"	TREE	1313	14" PINE
985 986	21" PINE 8" SWEETGUM	1094 1095	28" PINE 12" PALM		" PINE " PINE	1314 1315	6" OAK 11" PINE
987	17" PINE	1098	12" PALM	1208 12	" PINE	1316	9" PINE
988 989	8" PINE 7" SWEETGUM	1099	18" PALM 13" PALM		" OAK " PINE	1317 1318	9" PINE 6-6" CAMPHO
990	24" PINE	1101	12" PALM	1211 12"	PALM	1319	16" PINE
991	6" OAK	1102	13" PALM	1212 12"	PALM	1320	8" OAK
992 993	9-6" SWEETGUM 10" PALM	1103	10" PALM 12" PALM		" PINE " PINE	1321 1322	9" OAK 8" OAK
994	11" SWEETGUM	1105	13" PALM	1215 8" S	WEETGUM	1323	6" OAK
995 996	20" CAMPHOR 10" PALM	1106 1107	15" PALM 36" PINE		AMPHOR " PINE	1324 1325	16" OAK 10" OAK
997	12" PINE	1108	13" PALM		OAK	1326	8" OAK
998	11" PALM	1109	13" OAK	1219 12	" OAK	1327	12" PINE
999 1000	22" PINE 21" PINE	1110	20" OAK 12" OAK		" OAK PINE	1328 1329	12" PINE 7" CAMPHOR
1001	10" MAPLE	1112	13" OAK	1222 12	" PINE	1330	16" PINE
1002 1003	8" PALM	1113	16" OAK 12" PALM		PINE PINE	1331 1332	12" PINE 9" PINE
1003	10" PALM 10" PALM	1115	12" PALM 16" OAK	 	" PINE AMPHOR	1333	9" PINE 11" OAK
1005	10" PALM	1117	17" PINE	1226 16	" PINE	1334	6" OAK
1006 1007	8" PALM 12" PALM	1118	12" PINE 10" PINE	1227 14 1228 10	" PINE PINE	1335 1336	8" CAMPHOR 27" OAK
1008	10" PALM	1120	10" OAK	1229 12	" PINE	1337	11" OAK
1009	6" SWEETGUM	1121	14" PINE	1230 12	" PINE	1338	9" OAK
1010 1011	14" PALM 12" PALM	1122	19" PINE 12" PALM		PINE	1340 1341	24" OAK 12" OAK
1012	12" PALM	1124 12	" CAMPHOR	1233 12"	PALM	1342	20" OAK
1013 1014	21" PINE 9" PALM	1125 15 1126	" SWEETGUM 16" PINE		PINE PINE	1343 1344	6" OAK 24" PINE
1014	9 PALM 14" SWEETGUM	1127	7" PALM	1236 12"	PINE PALM	1345	28" PINE
1016	11" PALM	1128	8" PINE	1237 8"	PINE	1346	6" CAMPHOR
1017 1018	19" SWEETGUM 12" PINE	1129 1131	12" PALM 16" PALM		<u>PINE</u>	1347 1348	12" PALM 7" OAK
1019	13" PINE	1132	12" PALM		" PINE	1349	12" PALM

NUMBER	TREE SIZE
1461 1462	13-8" OAK 16" PINE
1463	10" OAK
1464 1465	7" OAK 7" OAK
1466	6" PINE
1467	9" OAK
1468 1469	32" OAK 13" OAK
1470	13" OAK 15" OAK
1471 1472	20" OAK 7–10" OAK
1473	16" OAK 19" OAK
1474 1475	19" OAK 15" OAK
1476	8" CAMPHOR
1477 1481	23" OAK 17" OAK
1482	8" OAK
1483 1484	7" OAK
1485	8" OAK 6" OAK
1486	24" OAK
1487 1488	7" OAK 17" OAK
1489	11" OAK
1490	15" OAK
1491 1492	13" OAK 16" PALM
1493	15" PALM
1494 1495	7" OAK 14" PALM
1496	15" PALM
1497 1498	9" OAK 11" OAK
1498	12" SWEETGUM
1500	20" OAK
1501 1502	21" PALM 6-8" TREE
1503	10" OAK
1504 1505	8" OAK 10" OAK
1506	14" PALM
1507	13" PALM
1508 1509	13" PALM 17" PALM
1510	15" PALM 8" OAK
1511 1512	8" OAK 24" OAK
1513	8-17" OAK
1514	15-13" OAK
	74" 0 41/
1515 1516	31" OAK
1516 1517	31" OAK 18" TREE 12" OAK
1516 1517 1518	31" OAK 18" TREE 12" OAK 8" CAMPHOR
1516 1517 1518 1519 1520	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE
1516 1517 1518 1519 1520 1521	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK
1516 1517 1518 1519 1520 1521 1522 1523	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK
1516 1517 1518 1519 1520 1521 1522 1523	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1534 1535 1536 1537	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 17" TREE 15" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 28" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK 10" OAK 10" OAK 10" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 11" OAK 28" OAK 11" OAK 28" OAK 11" OAK 28" OAK 19" PINE 26" OAK 18" OAK 10" OAK 20" OAK 40" OAK 10" PINE
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 40" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1556	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 11" OAK 14" PALM 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1556 1557	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 11" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 9" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11"
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 16" OAK 17" OAK 25" PINE 7" OAK 9" PINE 8" OAK 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK 14" OAK 14" OAK 14" OAK 14" OAK 14" OAK 14" OAK 15" OAK 16" OAK 10" PINE 14" OAK 14" OAK 14" OAK 15" OAK 16" OAK 10" PINE 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 16" OAK 17" OAK 25" PINE 7" OAK 9" PINE 8" OAK 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK 14" OAK 14" OAK 14" OAK 14" OAK 14" OAK 14" OAK 15" OAK 16" OAK 10" PINE 14" OAK 14" OAK 14" OAK 15" OAK 16" OAK 10" PINE 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 11" OAK 11" OAK 11" OAK 11" OAK 14" PALM 16" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563 1564	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 25" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 28" OAK 11" OAK 28" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563 1564	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 40" OAK 11" OAK
1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563 1564 1565	31" OAK 18" TREE 12" OAK 8" CAMPHOR 16" OAK 12" TREE 6" OAK 16" PALM 9" OAK 18" PALM 9" TREE 22" OAK 17" TREE 15" PALM 15" PALM 15" PALM 12" TREE 10" PINE 8" OAK 17" OAK 25" PINE 7" OAK 25" PINE 7" OAK 25" PINE 16" PALM 11" OAK 14" PALM 16" OAK 11" OAK 11" OAK 28" OAK 11" OAK 28" OAK 11" OAK

13" PINE

16" OAK

11-16" OAK 18" OAK 8" OAK

15" PALM 16" PINE

15" PALM

18" PINE

15" PALM

14" PALM

8" OAK

10" OAK

6"OAK 14" OAK

14" OAK

36" OAK

16" OAK 15" PALM

21" OAK

11" OAK

12" PALM

18-8" OAK

15" PALM

20" OAK

8" PINE

9" TREE

14" PALM

30" OAK

7" OAK

13" OAK 9-7" OAK

10" OAK

17" OAK

14" PALM

12" PALM

8" PINE

8"OAK 12" PALM

16" PALM

6"OAK 6" <u>OAK</u>

7"OAK

6"OAK

12" OAK 15" OAK

24" OAK

20" OAK 13" PALM

16" OAK

15" OAK

15" PINE

32" OAK

11" PINE 14" PINE

> 15" OAK 13" OAK

16" PINE 13" PALM

<u>7" OAK </u> 12" OAK

14" PALM

11" SWEETGUM 38" OAK

14" OAK 12" PINE

22" OAK

<u>12-6"OAK</u>

10" OAK 19" OAK

16" OAK

8"OAK

8" OAK 13" PALM

6" MAPLE

<u>11" PALM</u> 10" OAK 11" OAK

15" PALM

10-8" OAK 10" OAK

1414 9" SWEETGUM 1415 14" PALM

1424 16" SWEETGUM 1425 11" SWEETGUM

1428 10" PALM

1431 16-10" OAK

1439 | 13" OAK

1440 | 14" SWEETGUM

1446 16" SWEETGUM

1434

1454

1458

1460

1459

1405 13-12-18" OAK

1408

1409

11" OAK 18" OAK

20" OAK

1364 16" OAK

1374 10" OAK

1375 21" OAK

1377 14" PALM

1379 14" PINE

1380 12-7" OAK 1381 16-8" PINE 1382 10" 7

1383 | 15-11-11-11" OAK

1385 9" OAK

1388 6-14" CAMPHOR

1389 22" OAK

1397 8" OAK

1378 6-7" CAMPHOR

1358

LEGAL DESCRIPTION:

THAT PART OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 453.39 FEET.

THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE SOUTH 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, LESS THE EAST 256.77 FEET.

BEGINNING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, THENCE WEST ALONG QUARTER SECTION LINE TO THE EAST LINE OF THE DELAND AND SANFORD ROAD (U.S. HWY NO. 17-92); THENCE SOUTH ON THE EAST LINE OF THE DELAND AND SANFORD ROAD 227.30 FEET FOR THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED LAND; RUN THENCE SOUTH ON THE EAST LINE OF SAID DELAND AND SANFORD ROAD 227.30 FEET; THENCE EAST 212.69 FEET; THENCE NORTH 227.30 FEET; THENCE WEST 212.56 FEET TO THE POINT OF BEGINNING, VOLUSIA COUNTY, FLORIDA.

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

THE NORTH 70 FEET OF S 1/2 OF NW 1/4 OF THE SE 1/4 AND THE SOUTH 188 FEET OF THE NORTH 258 FEET OF THE EAST 256.77 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, ALSO ALL THAT PART OF THE N 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9. TOWNSHIP 19 SOUTH, RANGE 30 EAST, LYING EAST OF STATE ROAD NO. 3, EXCEPT THE NORTH 454.6 FEET; AND

THE EAST 453.39 FEET OF THE SOUTH 21 FEET OF THE NORTH 279 FEET OF THE S 1/2 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST;

THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 454.6 FEET OF THE EASTERLY 713.0 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST.

TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THAT PROPERTY DESCRIBED AS: THE SOUTH 15 FEET OF THE SOUTHERLY 113.65 FEET OF THE NORTHERLY 340.95 FEET OF THE EASTERLY 713 FEET OF THE NW 1/4 OF THE SE 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA.

LESS AND EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 4342, PAGE 2575, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

SITUATE IN THE COUNTY OF VOLUSIA, STATE OF FLORIDA.

CONTAINING 14.44 ACRES, MORE OR LESS.

SCHEDULE B SECTION II EXCEPTIONS:

- 9. RIGHTS AND PRIVILEGES AS SET FORTH IN WARRANTY DEED RECORDED IN DEED BOOK 295, PAGE 419. (AFFECTS—BLANKET OVER PARCEL GRAPHICALLY
- 10. RIGHT OF WAY EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORDS BOOK 3618, PAGE 1967, AS AFFECTED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004. (DOES NOT AFFECT-WITHIN RIGHT
- 11. UTILITIES EASEMENT GRANTED TO THE COUNTY OF VOLUSIA RECORDED IN OFFICIAL RECORDS BOOK 3618, PAGE 1969, AS AFFECTED BY SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGES 1000 AND 1004. (DOES NOT AFFECT—WITHIN RIGHT OF WAY)
- 12. GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 3672, PAGE 399. (AFFECTS-GRAPHICALLY SHOWN HEREON)
- 13. DRAINAGE EASEMENT AS EVIDENCED IN SUBORDINATION OF COUNTY UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 4307, PAGE 1004. (DOES NOT AFFECT-WITHIN RIGHT OF WAY)

SURVEYOR'S NOTES:

- 1. BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 09-19S-30E, AS BEING N89'59'32"E.
- 2. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
- 3. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN INSURANCE TITLE COMMITMENT, PREPARED BY WFG NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER FL19171943-RW, WITH AN EFFECTIVE DATE OF DECEMBER 6, 2019 @ 8:00 AM.
- 4. THE LEGAL DESCRIPTION HEREON IS IN ACCORD WITH THE FURNISHED INSURANCE TITLE COMMITMENT.
- 5. THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
- 6. THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
- 7. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 8. UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBSTRUCTED VISIBLE, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
- 9. UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
- 10. SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12127C0730H, MAP REVISED FEBRUARY 19, 2014. THE ABOVE STATEMENT IS FOR INFORMATION ONLY, AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
- 11. ADJOINING PROPERTY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE VOLUSIA COUNTY PUBLIC ACCESS SYSTEM. RECORDING DATA WAS NOT AVAILABLE FOR ALL ADJOINERS.

CERTIFIED TO:

SWANSON INVESTMENTS, LLC

ROMANELLO GOODE PA

WFG NATIONAL TITLE INSURANCE COMPANY

THE PRINCIPAL LAW FIRM PL

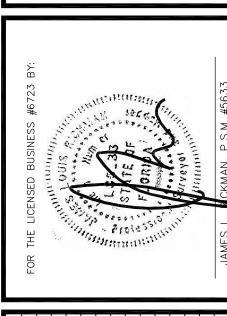
ALICE M. BEAULIEU, AS TRUSTEE OF THE ALICE BEAULIEU REVOCABLE TRUST DATED AUGUST 16, 2002, AS AMENDED APRIL 10, 2009

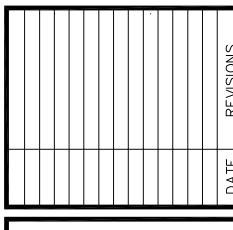
RONALD BEAULIEU RODNEY BEAULIEU

COMPANY Professional Surveyors & Mappers

16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 (407) 654-5355

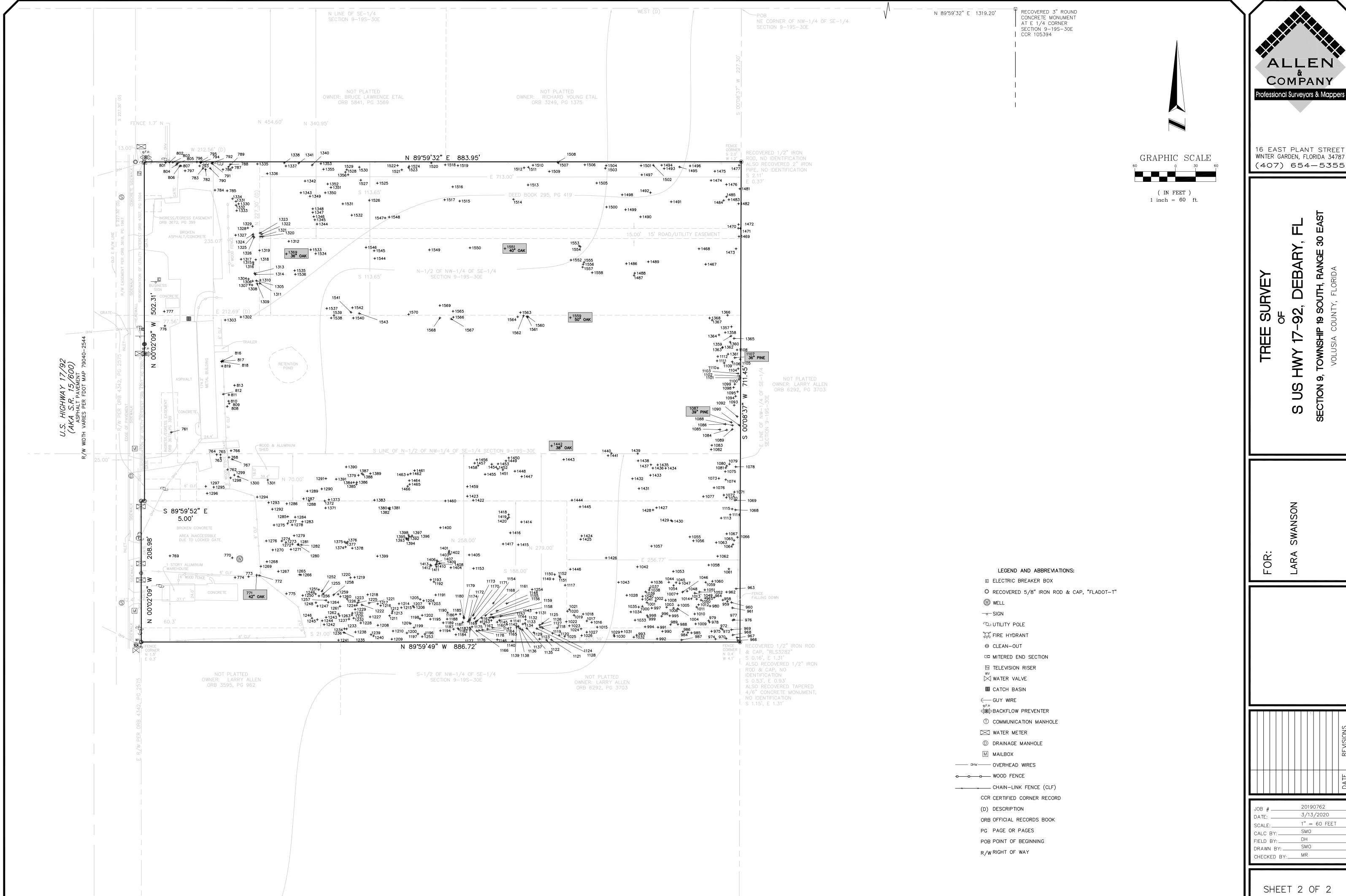
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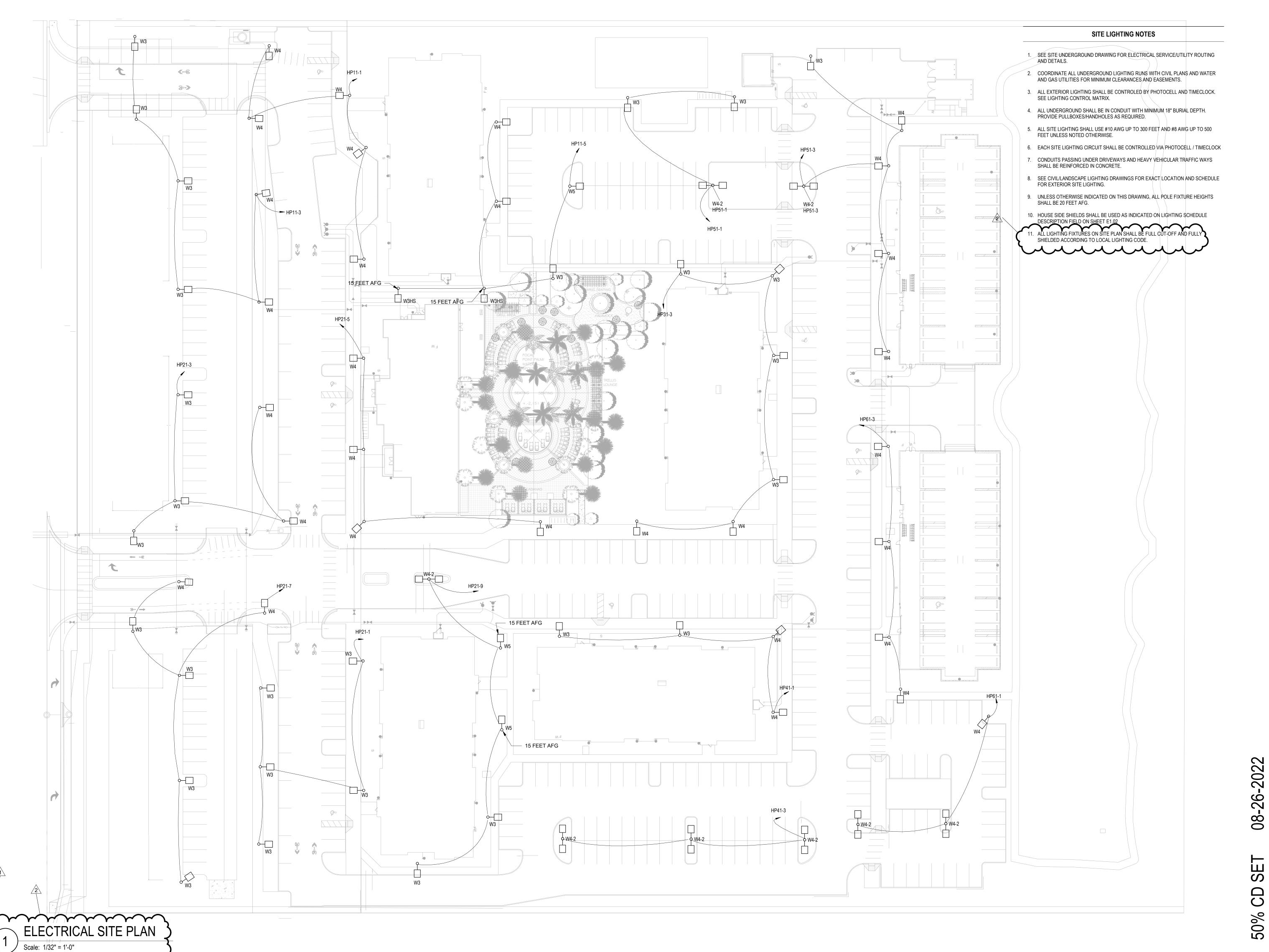
	20190762				
	03/13/2020				
	1" = 60 FEET				
3Y:	SMO				
BY:	DH				
I BY:	SMO				
ED BY:	MR				
	3Y: BY: BY:				

SHEET 1 OF 2



Professional Surveyors & Mappers

1" = 60 FEET



Drawn By: Checked By: Date Plotted: Issue Dates: Issue for Pricing / Bidding: Issue for Permit Application:

Issue for Construction:

Revisions

DATE | COMMENTS 08/15/2 | CODE COMMENTS

09/09/2 CODE COMMENT

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Jordan & Skala

Engineers

4275 Shackleford Rd., • Suite 200
Norcross, GA 30093-2997
p. 770.447.5547 • f. 770.448.0262

Project Number: Project Number
Drawn By: Author Checked By: Checker

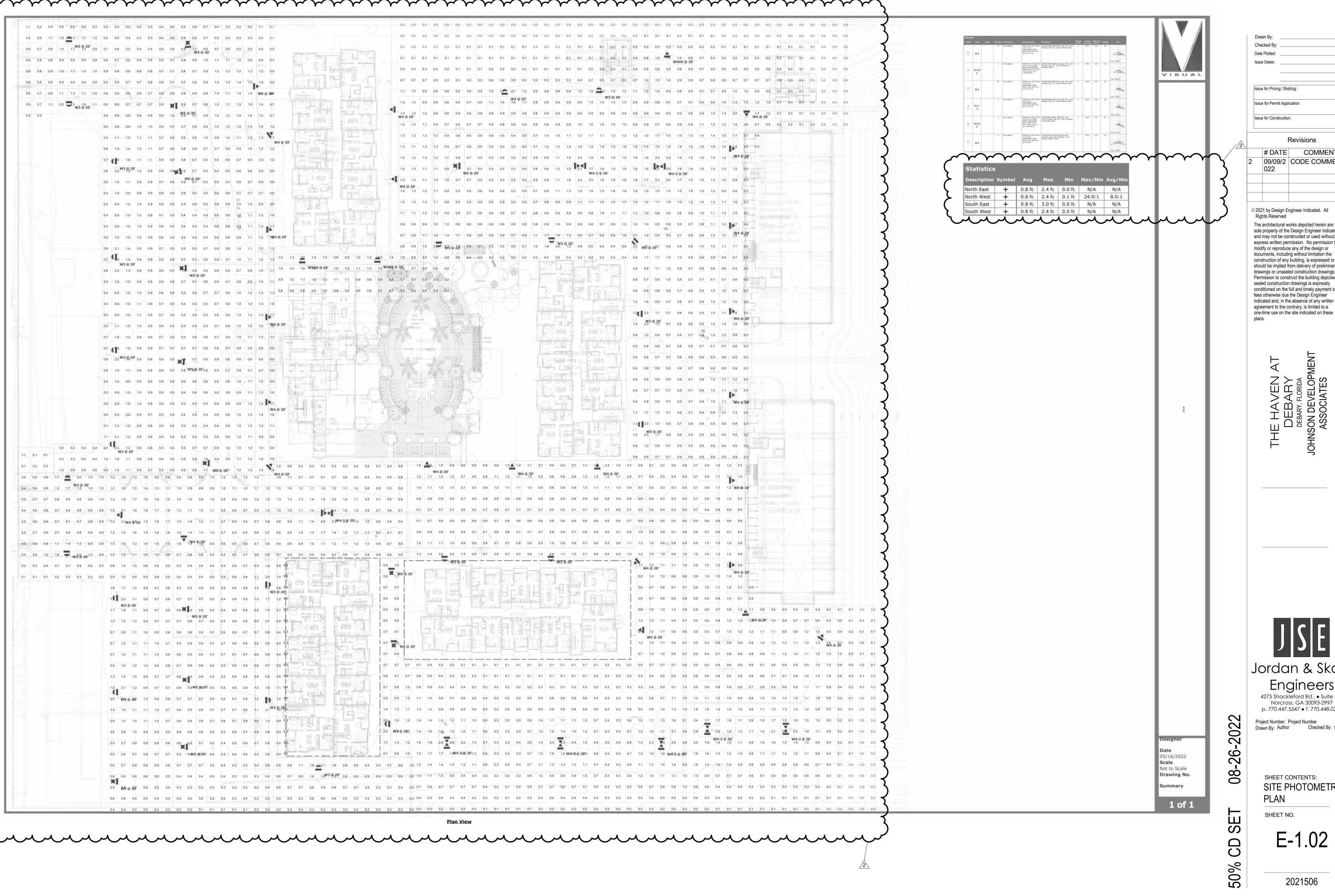
SHEET CONTENTS: ELECTRICAL SITE

08-26-2022

LIGHTING PLAN SHEET NO.

E-1.01

2021506



Issue for Pricing / Bidding: Issue for Permit Application:

Revisions

DATE COMMENTS 09/09/2 CODE COMMENT

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Jordan & Skala

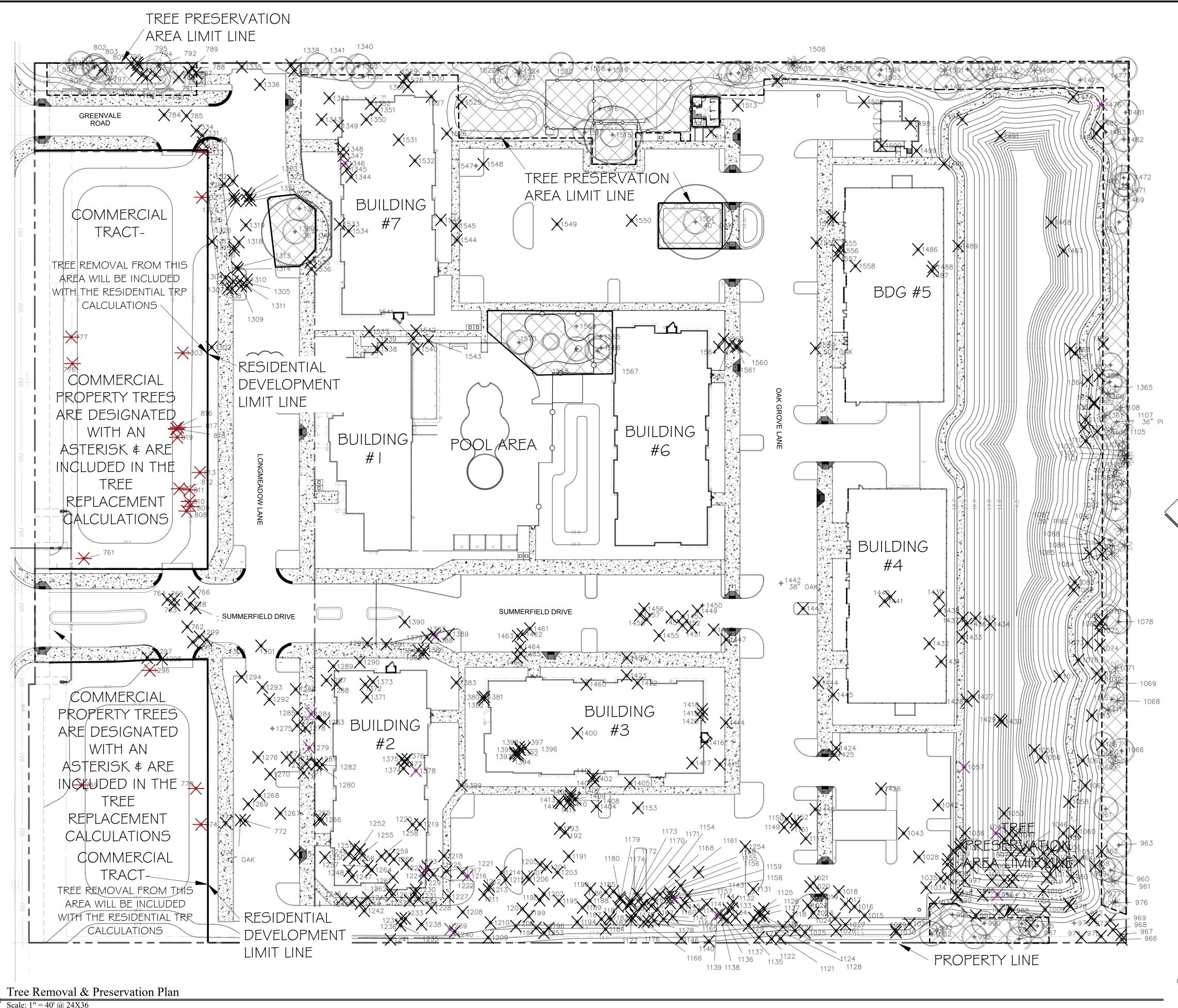
Engineers 4275 Shackleford Rd., • Suite 200 Norcross, GA 30093-2997 p. 770.447.5547 • f. 770.448.0262

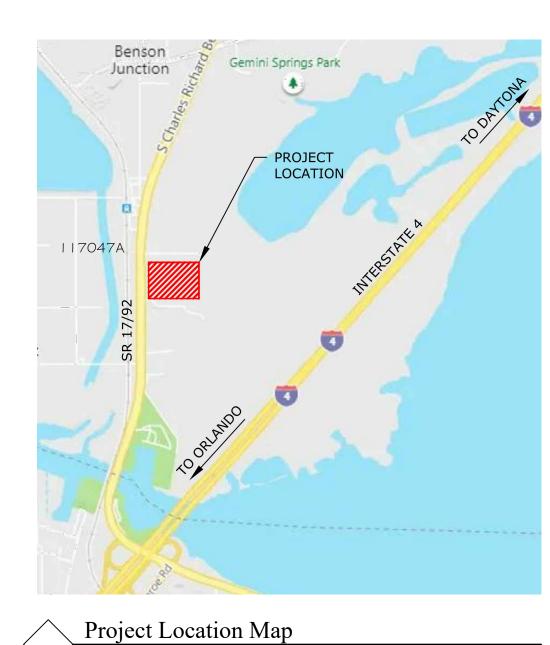
Project Number: Project Number
Drawn By: Author Checked By: Checker

SHEET CONTENTS: SITE PHOTOMETRIC PLAN

SHEET NO.

2021506





THE COMMERCIAL LOT TREE REMOVAL CALCULATIONS ARE INCLUDED WITH THIS RESIDENTIAL DEVELOPMENT SUBMITTAL \$ ARE DESIGNATED WITH

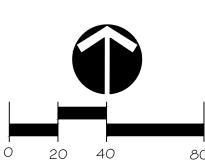
AN ASTERISK.

Tree Removal - Preservation Notes

THE TREES PROPOSED FOR PRESERVATION ARE BASED ON THE OWNERS BEST EFFORT TO DETERMINE TREES VIABLE FOR PRESERVATION AND FINAL TREE ADDITIONAL TREE REPLACEMENT MAY BE REQUIRED AS NEEDED TO ENSURE THAT THE PROPOSED REPLACEMENT FULFILL THE CITY OF DEBARY'S TREE REPLACEMENT CRITERIA.

I. Tree protection zones. The area within the drip line of trees designated for preservation is considered the tree protection zone. Only hand clearing is permitable within the tree protection zone, unless otherwise stipulated in the approved tree permit. Encroachments into the tree protection zone will require submittal and approval by the City Manager of a drip line encroachment plan outlining tree protection measures to be

- 2. The following are standards for tree root protection within the approved Tree Protection area. (The following standards shall apply and the City Manager may establish additional standards for root protection consistent with this section if deemed warranted by site conditions or the project proposal:
- a. If roots are exposed, the developer shall provide temporary earth cover, mixed with peat moss and wrapped with burlap, to prevent exposure from drying out before permanent backfill is placed.
- b. The developer shall also fertilize, water and maintain in a moist condition and otherwise temporarily support and protect the tree root from damage until the tree root is permanently covered with earth.
- Protection of the tree root system. The developer shall protect tree root systems from damage due to noxious material in solution caused by runoff, or spillage during mixing and placement of construction materials, or drainage from storage materials. The developer shall also protect the root systems from flooding, erosion and excessive wetting resulting from dewatering or grading operations.



SCALE: I"= 40' @ 24x36

KIRKWOOD DESIGN, LLC

1308 Falcon Drive Orlando, Fl. 32803 407.415.5389 rkirkwood@bellsouth.net Landscape Architecture - Land Planning

CERTIFICATE OF AUTHORIZATION: LC2600038

SEPT 15, 2022

2	Revised per staff comment	9-6-22
1	Revised per staff comment	6-23-22

TREE REMOVAL PLAN

Tree survey and tree data list as prepared by Allen & Company, Job#

> See Sheet LA-02 \$LA-03 for additional Tree survey information.

1009 GUM 6 6 6 1026 MPL 6 6 6 1454 MPL 6 6 6 1193 OAK 6 6 6 1410 OAK 6 6 1410 OAK 6 6 1411 OAK 6 6 1411 OAK 6 6 1413 OAK 6 6 1413 OAK 6 6 1413 OAK 6 6 1414 OAK 6 6 1415 OAK 6 6 1416 OAK 6 6 1417 OAK 6 6 1418 OAK 6 6 1418 OAK 6 6 1419 OAK 6 6 1410 OAK 7 7 1029 OAK 7 7 1029 OAK 7 7 1201 OAK 7 7 1202 OAK 7 7 1348 OAK 7 7 1348 OAK 7 7 1349 OAK 7 7 1412 OAK 7	REMOVED AREA SEC	1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782 1.9782	1456 OAK 10 10 1460 OAK 10 10 1463 OAK 10 10 1505 OAK 10 10 1153 OAK 10-7 10 7 1459 OAK 10-8 10 8 979 PALM 10 10 1003 PALM 10 10 1004 PALM 10 10 1008 PALM 10 10 1008 PALM 10 10 1008 PALM 10 10 10104 PALM 10 10 1023 PALM 10 10 1046 PALM 10 10 1049 PALM 10 10 11428 PALM 10 10 11021 PI 10 10 1121 PI 10 10 1134 PI 10 10 1150 PI 10 10 1150 PI 10 10 1152 PI 10 10 11532 PI 10 10 1252 PI 10 10 1252 PI 10 10 1252 PI 10 10 1253 PI 10 10 1254 TREE 10 10 1255 GUM 11 11	78.5 78.5 78.5 78.5 78.5 78.5 78.5 78.5	
1436 OAK 7 1464 OAK 7 1465 OAK 7 1487 OAK 7 1487 OAK 7 1494 OAK 7 1536 OAK 7 7 1536 OAK 7 7 958 PALM 7 967 PALM 7 1052 PALM 7 1127 PALM 7 1163 PI 7 1200 PI 7 1200 PI 7 1231 PI 7 1264 PI 7 1028 GUM 8 1051 GUM 8 1051 GUM 8 1051 GUM 8 1195 GUM 8 1197 GUM 8 1197 OAK 8 1199 OAK 8	38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 5.76975 38.465 38.465 2.69255 38.465 38.465 2.69255 38.465 38.465 2.69255 38.465 38.465 2.69255 38.465 38.465 2.69255 38.465 38.465 2.69255 38.465 38.465 2.69255 <td< td=""><td>2.69255 2.69255 2.69255 2.69255</td><td>1220 OAK 11 1376 OAK 11 111 1402 OAK 11 111 1457 OAK 11 111 1489 OAK 11 111 1489 OAK 11 111 1539 OAK 11 111 1542 OAK 11 111 1543 OAK 11 11 1553 OAK 11 11 11 1543 OAK 11 11 11 106 PALM 11 11 1070 PALM 11 11 1037 PALM 11 11 1038 PALM 11 11 1059 PALM 11 11 1070 PALM 11 11 1070 PALM 11 11 1070 PALM 11 11 1155 PALM 11 11 1151 PI 11 11 1155 PALM 11 11 115 PI 11 11 11 11 115 PI 11 11 11 11 11 11 11 11 11 11 11 11 11</td><td>94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985</td><td></td></td<>	2.69255 2.69255 2.69255 2.69255	1220 OAK 11 1376 OAK 11 111 1402 OAK 11 111 1457 OAK 11 111 1489 OAK 11 111 1489 OAK 11 111 1539 OAK 11 111 1542 OAK 11 111 1543 OAK 11 11 1553 OAK 11 11 11 1543 OAK 11 11 11 106 PALM 11 11 1070 PALM 11 11 1037 PALM 11 11 1038 PALM 11 11 1059 PALM 11 11 1070 PALM 11 11 1070 PALM 11 11 1070 PALM 11 11 1155 PALM 11 11 1151 PI 11 11 1155 PALM 11 11 115 PI 11 11 11 11 115 PI 11 11 11 11 11 11 11 11 11 11 11 11 11	94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985 94.985	
988 PI 8 8 1035 PI 8 8 1128 PI 8 8 1172 PI 8 8 1181 PI 8 8 1181 PI 8 8 1183 PI 8 8 1196 PI 8 8 1221 PI 8 8 1221 PI 8 8 1224 PI 8 8 1225 PI 8 8 1244 PI 8 8 1280 PI 8 8 1390 PI 8 8 1404 PI 8 8 1414 GUM 9 9 972 OAK 9 1273 OAK 9 9 1273 OAK 9 9 1273 OAK 9 9 1385 OAK 9 9 1467 OAK 9 9 1497 OAK 9 9 1497 OAK 9 9 1396 OAK 9-7 1014 PALM 9 9 1022 PI 9 1164 PI 9 1165 PI 9 1166 PI 9 1167 PI 9 1168 PI 9 1168 PI 9 117 PI 9 117 PI 9 118 PI 9 11	50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 50.24 50.24 3.5168 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585 9.53775 63.585 63.585	3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.5168 3.51695 4.45095 4.45095 4.45095 4.45095 4.45095	1290 OAK 12 1416 OAK 12 1417 OAK 12 1437 OAK 12 1556 OAK 12 1564 OAK 12-12 1564 OAK 12-12 112 1564 OAK 12-12 12 1564 OAK 12-12 12 12 1447 OAK 12-6 1380 OAK 12-7 12 964 PALM 12 12 965 PALM 12 12 970 PALM 12 12 1007 PALM 12 12 1011 PALM 12 12 1012 PALM 12 1014 PALM 12 112 1048 PALM 12 112 1056 PALM 12 112 1076 PALM 12 112 1082 PALM 12 112 1098 PALM 12 112 1123 PALM 12 112 1124 PALM 12 112 1137 PALM 12 112 1144 PALM 12 1151 PALM 12 1152 1154 PALM 12 1155 PALM 12 1156 PALM 12 1157 PALM 12 1158 PALM 12 1159 PALM 12 1151 PALM 12 1152 PALM 12 1152 PALM 12 1153 PALM 12 1152 PALM 12 1153 PALM 12 1152 PALM	113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04 113.04	

Tree Removal Information

KIRKWOOD DESIGN, LLC

1308 Falcon Drive Orlando, Fl. 32803 407.415.5389 rkirkwood@bellsouth.net. Landscape Architecture - Land Planning
CERTIFICATE OF AUTHORIZATION: LC26000384

Plan Landscape P J Apartments

Beaulieu Haven FK

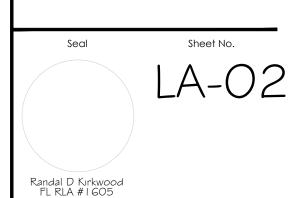
SEPT 15, 2022

Revised per staff comment

Revised per staff comment

Drawn: Designed: Checked: Project No: BLB RK RK KD 22-008

TREE REMOVAL INFORMATION & REPLACEMENT CALCULATIONS -1



THE TREE LIST IS CONTINUED ON SHEET LA-03

OVERALL TREES AND PALMS SORTED BY SIZE	E & SPECIES	TOTAL INC REMO		% OF TOTAL OF PINE CROSS ECTIONAL AREA	1113 OAK 16 16 1218 OAK 16 16 1351 OAK 16 16	200.96 200.96 200.96	200.96 30.144 200.96 30.144 200.96 30.144
	Cont.		(.15 X 'N')	(.07 X 'N')	1364 OAK 16 16 16 16 16	200.96	200.96 30.144 200.96 30.144
1009 GUM 6 1135 PI 12	12	28.26	28.26 4.239 113.04 113.04	7.9128	1422 OAK 16 16 16 16 16 16 16 16 16 16 16 16 16	200.96	200.96 30.144 200.96 30.144
1136 PI 12 1137 PI 12	12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1541 OAK 16 16 16 16 16 16 16 16 16 16 16 16 16	200.96	200.96 30.144 200.96 30.144
1142 PI 12 1143 PI 12	12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1431 OAK 16-10 16 10 773 PALM 16 16	200.96 78.5 200.96	279.46 41.919 200.96 30.144
1145 PI 12 1149 PI 12	12 12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1131 PALM 16 16 16 16 16 16 16 16 16 16 16 16 16	200.96 200.96	200.96 30.144 200.96 30.144
1167 PI 12 1170 PI 12	12 12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1408 PALM 16 16 16 16 16 16 16 16 16 16 16 16 16	200.96 200.96	200.96 30.144 200.96 30.144
1171 PI 12 1176 PI 12	12 12 12	113.04 113.04 113.04	113.04 113.04 113.04	7.9128 7.9128 7.9128	1538 PALM 16 16 16 1560 PALM 16 16 16 16 16 16	200.96 200.96 200.96	200.96 30.144 200.96 30.144 200.96 14.0672
1208 PI 12 1222 PI 12 1229 PI 12	12 12 12	113.04 113.04 113.04	113.04 113.04 113.04	7.9128 7.9128 7.9128	1056 PI 16 16 16 1126 PI 16 16	200.96	200.96 14.0672 200.96 14.0672
1230 PI 12 1235 PI 12	12 12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1188 PI 16 16 16 16 16 16 16 16 16 16 16 16 16	200.96 200.96	200.96 14.0672 200.96 14.0672
1260 PI 12 1271 PI 12	12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1226 PI 16 16 16 16	200.96 200.96	200.96 14.0672 200.96 14.0672
1272 PI 12 1444 PI 12	12 12	113.04 113.04	113.04 113.04	7.9128 7.9128	1258 PI 16 16 16 16	200.96 200.96	200.96 14.0672 200.96 14.0672
1520 TREE 12 1531 TREE 12	12 12	113.04 113.04	113.04 16.956 113.04 16.956		1434 PI 16 16 16 16	200.96 200.96	200.96 14.0672 200.96 14.0672
1031 MPL 13 1109 OAK 13	13 13	132.665	132.665 19.89975 132.665 19.89975		1381 PI 16-8 16 8 1054 TREE 16 16	200.96 50.24 200.96	251.2 200.96 30.144 17.584
1112 OAK 13 1395 OAK 13	13 13	132.665	132.665 19.89975 132.665 19.89975		1399 OAK 17 17 17 1488 OAK 17 17	226.865 226.865	226.865 34.02975 226.865 34.02975
1433 OAK 13 1439 OAK 13	13 13	132.665	132.665 19.89975 132.665 19.89975		1534 OAK 17 17 17 1117 PI 17	226.865 226.865	226.865 34.02975 226.865 15.88055
1491 OAK 13 1555 OAK 13	13 13	132.665	132.665 19.89975 132.665 19.89975		1160 PI 17 17 17 17 17 17 17 17 17 17 17 17 17	226.865 226.865	226.865 15.88055 226.865 15.88055
1405 OAK 13-12-18 1267 OAK 13-19	13 12 8 13 19	132.665 283.385	295.945 44.39175 416.05 62.4075 102.005 27.43575		1527 TREE 17 17 18 18 18 18 18 18 18 18 18 18 18 18 18	226.865 254.34	226.865 34.02975 254.34 38.151
1461 OAK 13-8 978 PALM 13	13 8 13 13 13	132.665	182.905 27.43575 132.665 19.89975 132.665 10.80075		1403 OAK 18 18 1547 OAK 18 18	254.34 254.34	254.34 38.151 254.34 38.151 254.34 38.151
1042 PALM 13 1043 PALM 13	13	132.665	132.665 19.89975 132.665 19.89975 132.665 19.89975		1561 OAK 18 18 18 1384 OAK 18-8 18 19 19	254.34 254.34 50.24 254.34 283.385	254.34 38.151 304.58 45.687 537.725 80.65875
1288 PALM 13 1420 PALM 13 1435 PALM 13	13	132.665	132.665 19.89975 132.665 19.89975 132.665 19.89975		1147 PI 18 18 18 1179 PI 18 18	254.34 254.34 254.34	254.34 17.8038 254.34 17.8038
1453 PALM 13 1019 PI 13	13 13	132.665	132.665 132.665 19.89975	9.28655	1191 PI 18 18 18 199 PI 18 18	254.34 254.34	254.34 17.8038 254.34 17.8038
1084 PI 13 1203 PI 13	13 13	132.665	132.665 132.665	9.28655 9.28655	1207 PI 18 18 18 1246 PI 18 18	254.34 254.34	254.34 17.8038 254.34 17.8038 17.8038
1270 PI 13 1350 PI 13	13 13	132.665	132.665 132.665	9.28655 9.28655	1248 PI 18 18 18 1259 PI 18 18	254.34 254.34	254.34 17.8038 254.34 17.8038
1015 GUM 14 1053 GUM 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		1017 GUM 19 19 19 19 19 19 19 19 19 19 19 19 19	283.385 283.385	283.385 42.50775 283.385 42.50775
1440 GUM 14 1367 OAK 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		1474 OAK 19 19 19 19 19	283.385 283.385	283.385 42.50775 19.83695 19.83695
1443 OAK 14 1553 OAK 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		1122 PI 19 19 19 1545 PI 19 19	283.385 283.385	283.385 19.83695 283.385 19.83695
1554 OAK 14-13-12 1296 PALM 14	14 13 12 14 14 14 15 17 17 18 18 18 18 18 18 18 18 18 18 18 18 18	153.86	399.565 59.93475 153.86 23.079		1110 OAK 20 20 1342 OAK 20 20	314 314	314 47.1 314 47.1
1074 PALM 14 1075 PALM 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079 153.86 23.079		1368 OAK 20 20 1387 OAK 20 20	314 314 214	314 47.1 314 47.1
968 PALM 14 969 PALM 14 1010 PALM 14	14 14 14	153.86 153.86 153.86	153.86 23.079 153.86 23.079 153.86 23.079		1419 OAK 20 20 1500 OAK 20 20 1549 OAK 20 20	314 314 314	314 47.1 314 47.1 314 47.1
1261 PALM 14 1278 PALM 14	14 14 14	153.86 153.86	153.86 23.079 153.86 23.079 153.86 23.079		975 PI 20 20 1206 PI 20 20	314 314 314	314 47.1 21.98 314 21.98 314 21.98
1275 PALM 14 1285 PALM 14 1377 PALM 14	14	153.86 153.86	153.86 23.079 153.86 23.079		1217 PI 20 20 1312 PI 20 20	314 314 314	314 21.98 314 21.98
1392 PALM 14 1400 PALM 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		1557 PI 20 20 1192 OAK 21 21	314 346.185	314 21.98 346.185 51.92775
1415 PALM 14 1438 PALM 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		1373 OAK 21 21 1375 OAK 21 21	346.185 346.185	346.185 51.92775 346.185 51.92775
1540 PALM 14 1562 PALM 14	14 14	153.86 153.86	153.86 23.079 153.86 23.079		763 PALM 21 21 1000 PI 21 21	346.185 346.185	346.185 51.92775 346.185 24.23295
1567 PALM 14 1063 PI 14	14 14	153.86 153.86	153.86 23.079 153.86	10.7702	1013 PI 21 21 1213 PI 21	346.185 346.185	346.185 24.23295 346.185 24.23295
1121 PI 14 1155 PI 14	14	153.86 153.86	153.86 153.86	10.7702 10.7702	1389 OAK 22 22 1445 OAK 22 22	379.94 379.94	379.94 56.991 379.94 56.991
1180 PI 14 1210 PI 14	14 14 14	153.86 153.86	153.86 153.86 153.86	10.7702 10.7702 10.7702	1526 OAK 22 22 770 PALM 22 22 999 PI 22 22	379.94 379.94 379.94	379.94 56.991 379.94 56.991 379.94 26.5958
1227 PI 14 1238 PI 14 1245 PI 14	14 14 14	153.86 153.86 153.86	153.86 153.86	10.7702 10.7702 10.7702	1198 PI 22 22 1240 PI 22 22	379.94 379.94	379.94 26.5958 379.94 26.5958
1252 PI 14 1257 PI 14	14	153.86 153.86	153.86 153.86	10.7702 10.7702 10.7702	1036 PI 23 23 1033 OAK 24 24	415.265 452.16	415.265 29.06855 452.16 67.824
1263 PI 14 1292 PI 14	14 14	153.86 153.86	153.86 153.86	10.7702 10.7702	1418 OAK 24 24 1486 OAK 24 24	452.16 452.16	452.16 67.824 452.16 67.824
1379 PI 14 1430 PI 14	14 14	153.86 153.86	153.86 153.86	10.7702 10.7702	1073 PI 24 24 1344 PI 24 24	452.16 452.16	452.16 31.6512 452.16 31.6512
1286 TREE 14 1125 GUM 15	14 15		153.86 23.079 176.625 26.49375		1085 OAK 25 25 1535 PI 25 25	490.625 490.625	490.625 73.59375 490.625 34.34375
1080 OAK 15 1242 OAK 15	15 15	176.625	176.625 26.49375 176.625 26.49375		775 OAK 26 26 1546 OAK 26 26	530.66 530.66	530.66 79.599 530.66 79.599 572.265 85.83975 Tree Removal Calculations
1417 OAK 15 1423 OAK 15	15 15	176.625	176.625 26.49375 176.625 26.49375		1336 OAK 27 27 1544 OAK 28 28	572.265 615.44	615.44
1432 OAK 15 1490 OAK 15	15 15	176.625	176.625 26.49375 176.625 26.49375		1025 PI 28 28 1345 PI 28 28	615.44 615.44	615.44 43.0808 43.0808 615.44 92.316 43.0808
1383 OAK 15-11-11 1514 OAK 15-13 1154 PALM 15	15 11 11 11 11 11 15 15 13 15 15 15 15 15 15 15 15 15 15 15 15 15	176.625 132.665	366.595 54.98925 309.29 46.3935 176.625 26.49375		1550 OAK 29-29 29 29 1072 PI 31 31	660.185 660.185 754.385	1320.37
1134 PALM 13 1250 PALM 15 1266 PALM 15	15	176.625	176.625 26.49375 176.625 26.49375 176.625 26.49375				2,097.88 total amt of allowed palm tree replacement inches (25%)
1266 PALM 15 1291 PALM 15 1356 PALM 15	15	176.625	176.625 26.49375 176.625 26.49375 176.625 26.49375		Tree Removal Information		6,293.64 total amt of non-palm replacement inches 84.78 total amt of sq ins in a 3" cal tree 5,754.83 / 84.78 = 79.67 total number of no-palm 3" trees required for replacement
1358 PALM 15 1372 PALM 15	15 15	176.625	176.625 26.49375 176.625 26.49375 176.625 26.49375				75.07 total number of no-paint 5 - tiees required for replacement
1386 PALM 15 1458 PALM 15	15 15	176.625	176.625 26.49375 176.625 26.49375				REQUIRED NUMBER OF 3" REPLACEMENT TREES = 85 AS SHOWN ABOVE. PROPOSED NUMBER OF REPLACEMENT 3" CANOPY TREES = 86
1493 PALM 15 1528 PALM 15	15 15	176.625	176.625 26.49375 176.625 26.49375				PROPOSED NUMBER OF UNDERSTORY TREES AT 3" CALIPER = 64
1529 PALM 15 1024 PI 15	15	176.625 176.625	176.625 26.49375 176.625	12.36375			(ALL PROPOSED TREES EXCEED THE MINIMUM REQUIRED STANDARDS TO BE USED AS REPLACEMENT TREES.)
1138 PI 15 1187 PI 15	15 15	176.625	176.625 176.625	12.36375 12.36375			- MINIMUM TREE REPLACEMENT QUANTITIES HAS BEEN MET
1243 PI 15 1254 PI 15	15 15	176.625	176.625 176.625	12.36375 12.36375			
1426 PI 15 1424 GUM 16	15 16	200.96	176.625 200.96 30.144	12.36375			
1446 GUM 16 1081 OAK 16	16 16	200.96	200.96 30.144 200.96 30.144				

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CERTIFICATE OF AUTHORIZATION: LC26000384

at Debary Landscape Plan A: Beaulieu Apartments Haven FK/

SEPT 15, 2022

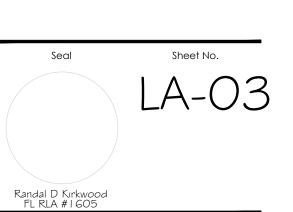
Revised per staff comment

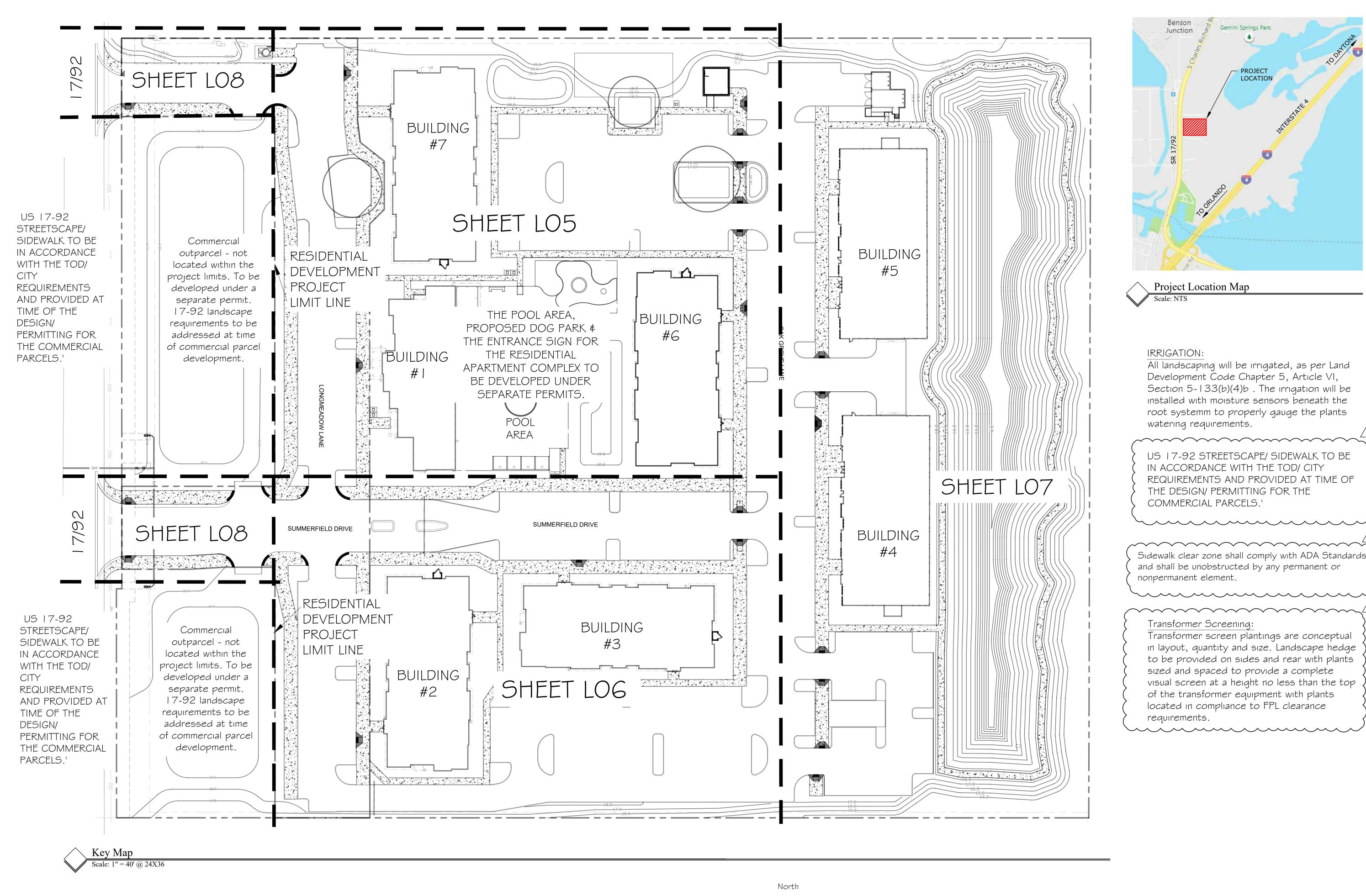
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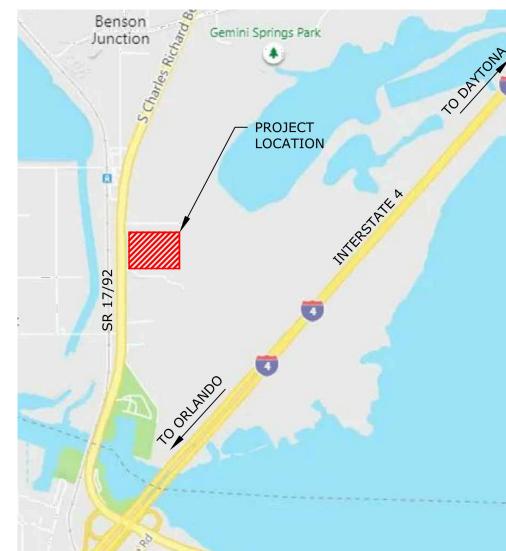
Drawn: Designed: Checked: Project No: RK RK RK RD 22-008

Sheet Title

TREE REMOVAL INFORMATION & REPLACEMENT CALCULATIONS-2







Project Location Map
Scale: NTS

IRRIGATION:

All landscaping will be irrigated, as per Land Development Code Chapter 5, Article VI, Section 5-133(b)(4)b. The irrigation will be installed with moisture sensors beneath the root systemm to properly gauge the plants watering requirements.

US 17-92 STREETSCAPE/ SIDEWALK TO BE IN ACCORDANCE WITH THE TOD/ CITY REQUIREMENTS AND PROVIDED AT TIME OF THE DESIGN/ PERMITTING FOR THE COMMERCIAL PARCELS.'

Sidewalk clear zone shall comply with ADA Standards and shall be unobstructed by any permanent or nonpermanent element.

Transformer Screening:

Transformer screen plantings are conceptual in layout, quantity and size. Landscape hedge to be provided on sides and rear with plants sized and spaced to provide a complete visual screen at a height no less than the top of the transformer equipment with plants located in compliance to FPL clearance requirements.



407.415.5389 rkirkwood@bellsouth.net Landscape Architecture - Land Planning

andscape Haven FK,

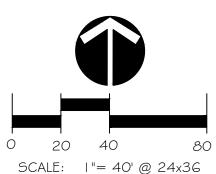
SEPT 15, 2022 Revised per staff comments report dated 11-22-22 Revised per staff comment Revised per staff comment

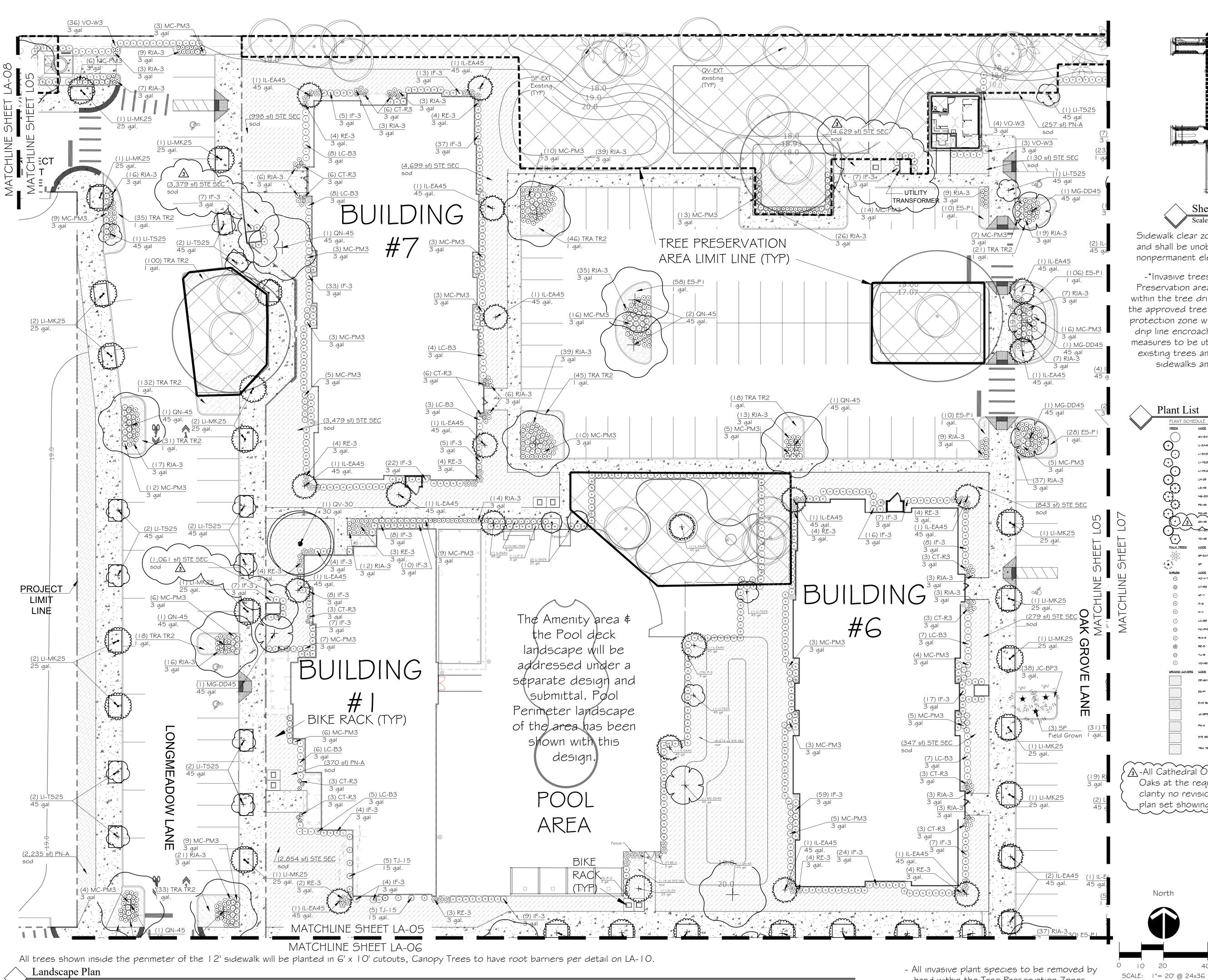
: Designed: Checked: Project No: RK RK KD 22-008

LANDSCAPE PLAN LOCATION MAP & KEY MAP

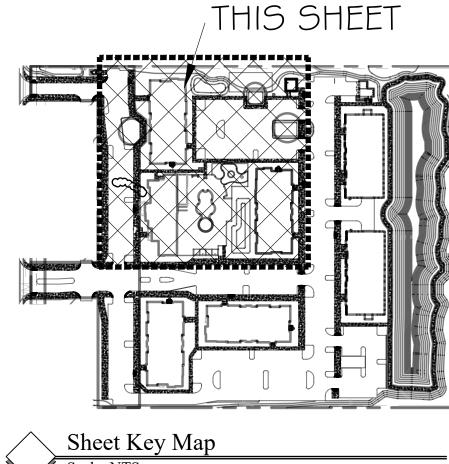
LA-04

Randal D Kırkwood FL RLA #1605





Scale: 1" = 20' @ 24X36

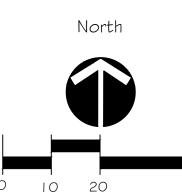


Sidewalk clear zone shall comply with ADA Standards and shall be unobstructed by any permanent or nonpermanent element.

-*Invasive trees must be removed from the Tree Preservation area. Only hand clearing is permittable within the tree drip line, unless otherwise stipulated in the approved tree permit. Encroachments into the tree protection zone will require submittal and approval of a drip line encroachment plan outlining tree protection measures to be utilized. Mulch around the base of the existing trees and in the narrow areas between the sidewalks and the tree preservation areas.

QV-EXT Existing Oak Southern Live Oak Gold Mound Duranta Purple Love Grass

3 -All Cathedral Oaks were replaced with Nuttal Oaks at the request of the City staff. For graphic clarity no revision clouds have been added to the plan set showing these changes.



KIRKWOOD DESIGN, LLC 1308 Falcon Drive Orlando, Fl. 32803 407.415.5389 rkirkwood@bellsouth.net. Landscape Architecture - Land Planning

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SEPT 15, 2022 Revised per staff comments report dated 11-22-22 Designed: Checked: Project No: RK RK KD 22-008

LA-05

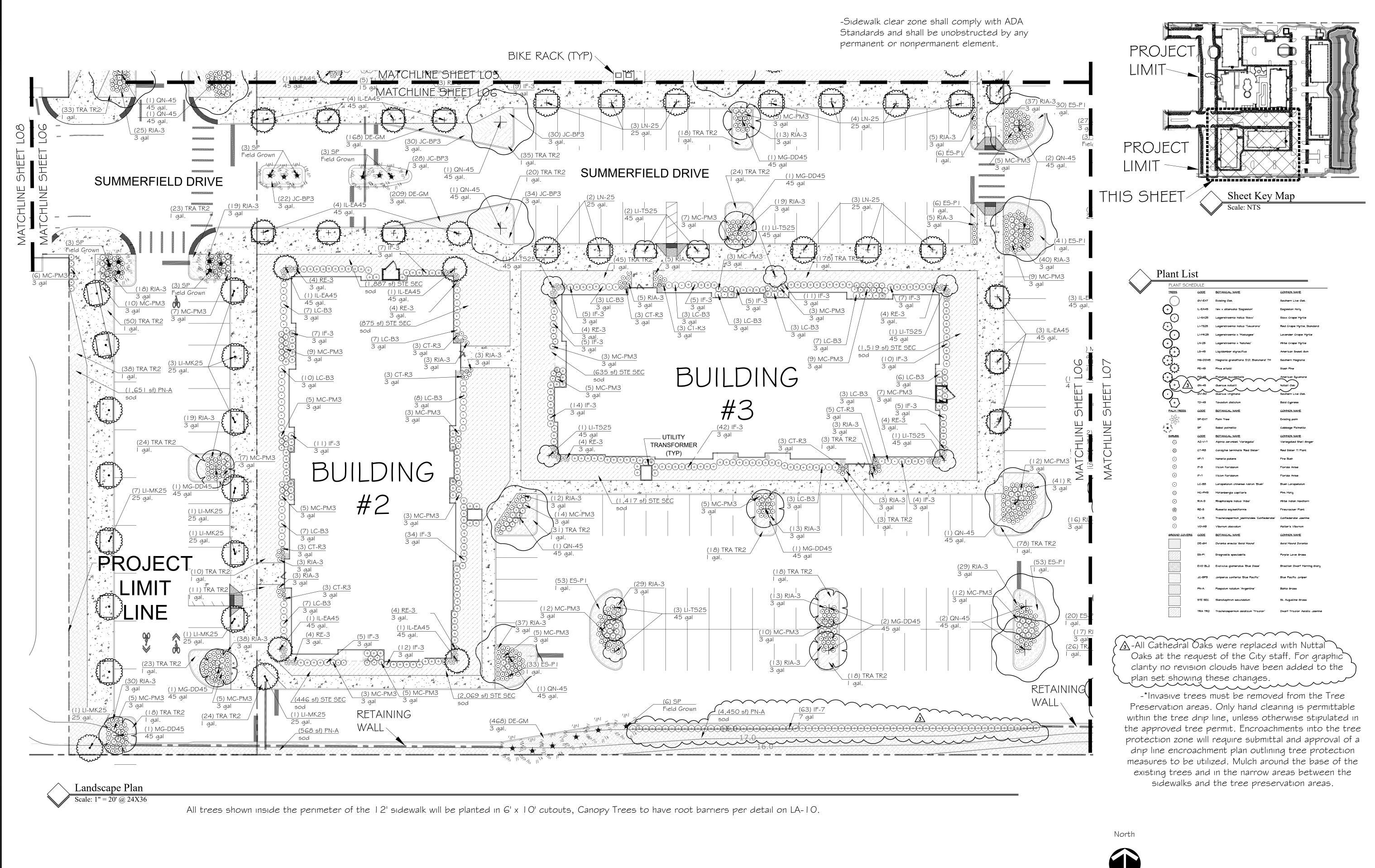
LANDSCAPE PLAN-

NORTHERN

SECTION

Randal D Kırkwood FL RLA #1605

hand within the Tree Preservation Zones.



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SEPT 15, 2022

Hav

3	Revised per staff comments report dated 11-22-22	11-29-22
2	Revised per staff comment	9-6-22
	Revised per staff comment	6-23-22

Drawn: Designed: Checked: Project No: BLB RK RK KD 22-008

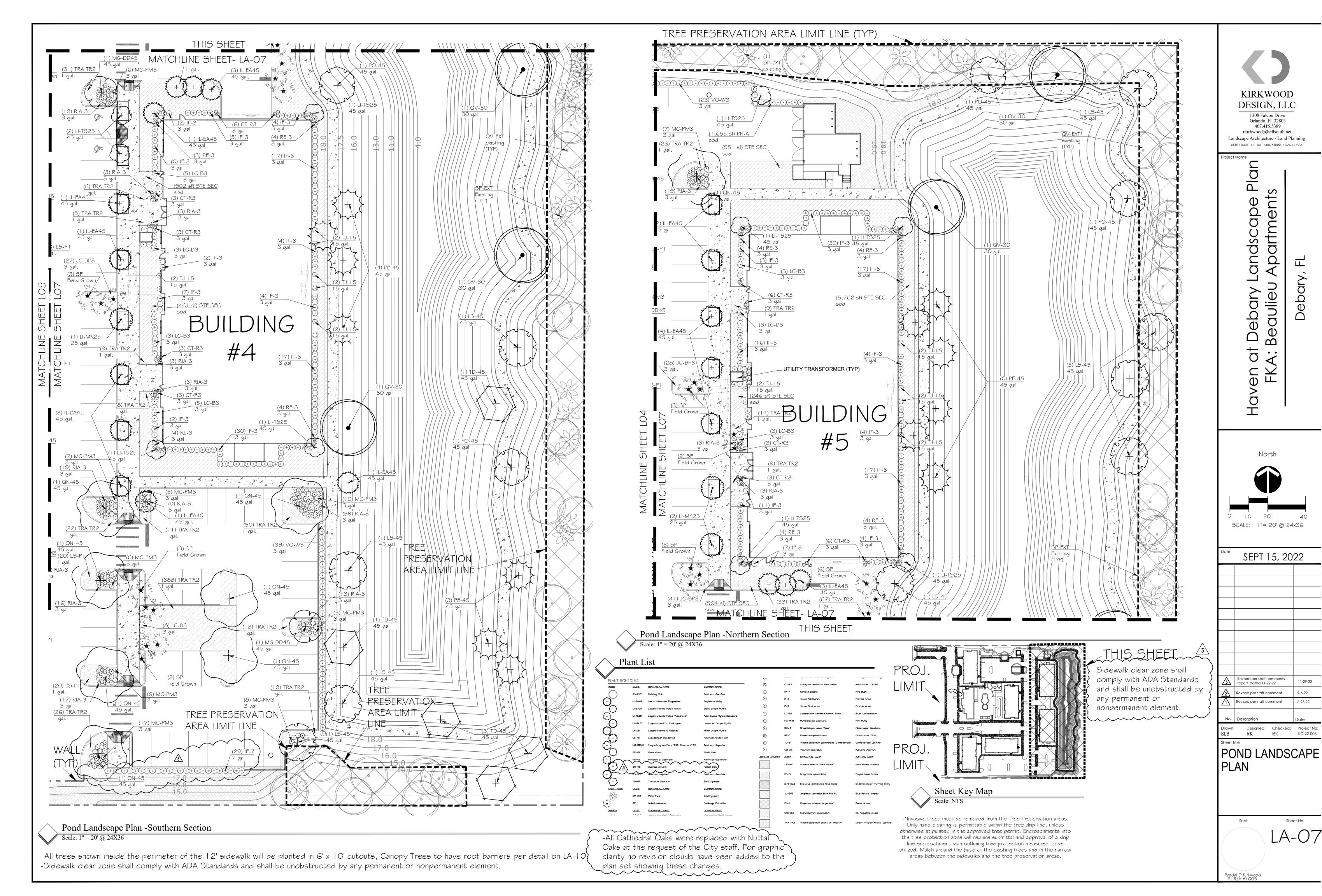
LANDSCAPE PLAN-SOUTH SECTION

0 10 20

SCALE: I"= 20' @ 24x36

LA-06

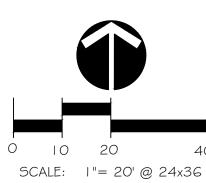
Randal D Kırkwood FL RLA #1605



Landscape Plan - Northern Entrance

All trees shown inside the perimeter of the 12' sidewalk will be planted in 5' x 5' cutouts, Canopy Trees to have root barriers per detail on LA-10.

North



-*Invasive trees must be removed from the Tree Preservation areas. Only hand clearing is permittable within the tree drip line, unless otherwise stipulated in the approved tree permit. Encroachments into the tree protection zone will require submittal and approval of a drip line encroachment plan outlining tree protection measures to be utilized. Mulch around the base of the existing trees and in the narrow areas between the sidewalks and the tree preservation areas.

Plant List

All Cathedral Oaks were replaced with Nuttal

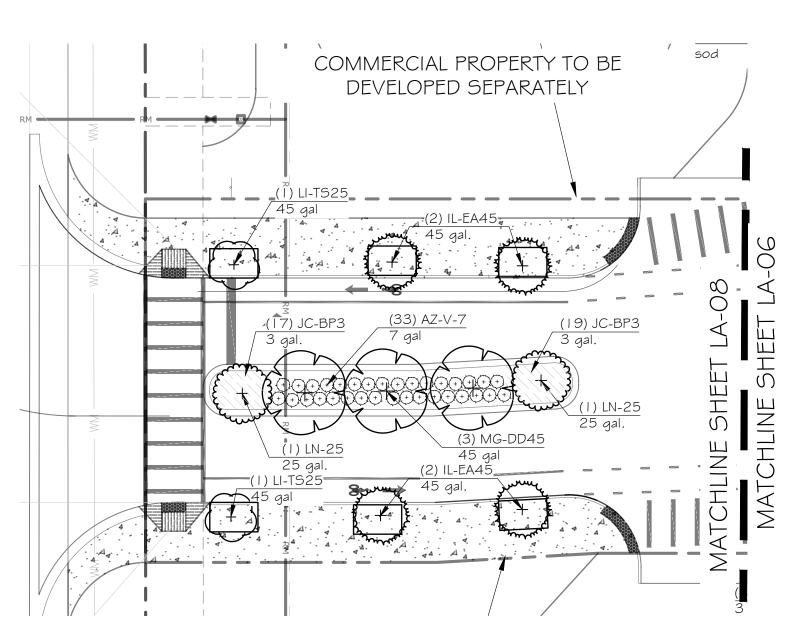
Oaks at the request of the City staff. For graphic clarity no revision clouds have been added to the

plan set showing these changes.

Sidewalk clear zone shall comply with ADA Standards

and shall be unobstructed by any permanent or

nonpermanent element.



COMMERCIAL PROPERTY TO BE DEVELOPED SEPARATELY

Landscape Plan -Southern Entrance Scale: 1" = 20' @ 24X36

All trees shown inside the perimeter of the 12' sidewalk will be planted in 6' x 10' cutouts, Canopy Trees to have root barriers per detail on LA-10.

-Sidewalk clear zone shall comply with ADA Standards and shall be unobstructed by any permanent or nonpermanent element.

VUA Landscape Area Quantities

VUA AREA = 233,083SF (REFER TO DIAGRAM BELOW ON THIS SHEET)

REQUIRED: OVERALL VUA PLANTING AREA = 20% OF THE VUA AREA

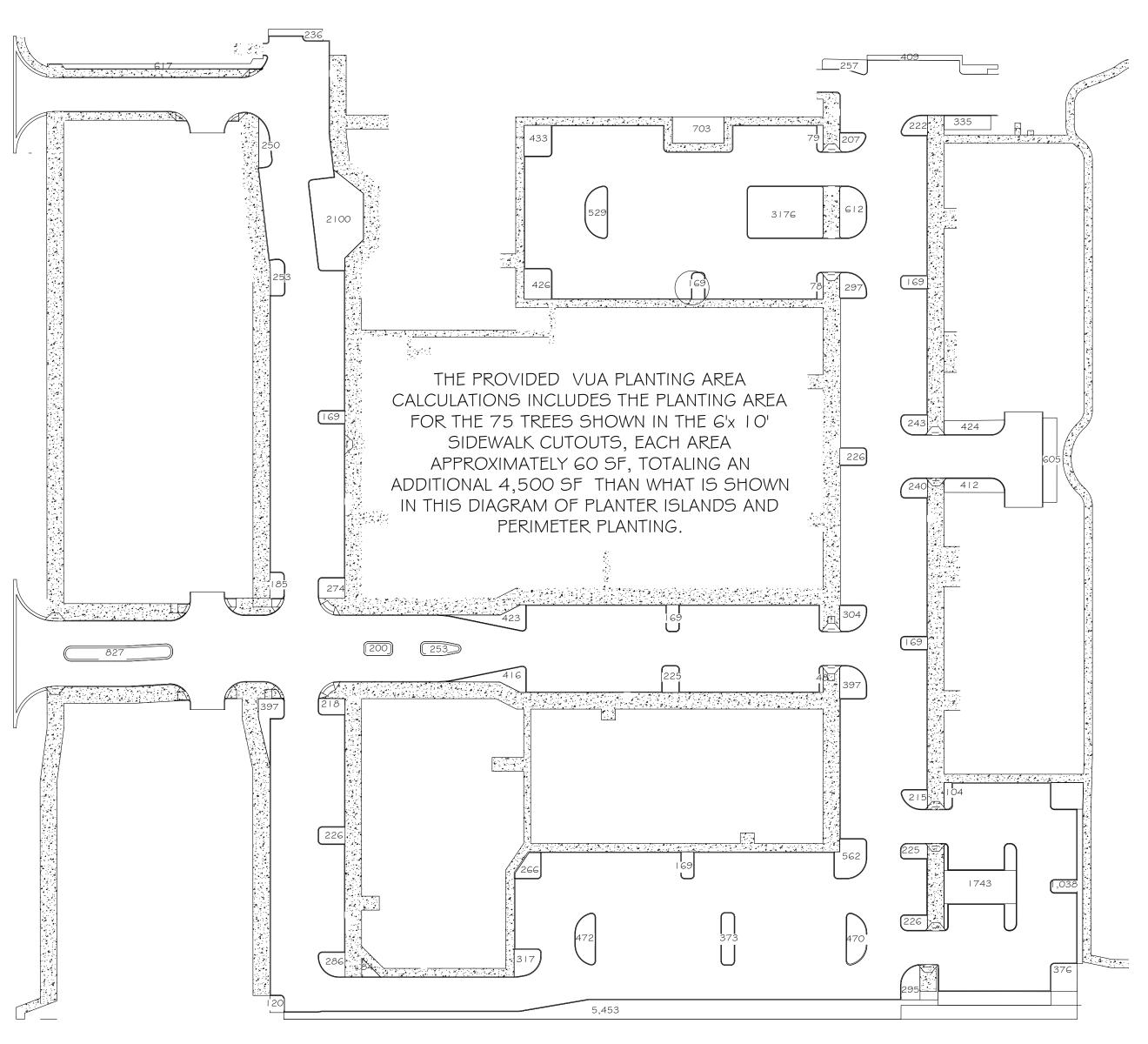
 $233,083 \times .2 = 35,24 \text{ I SF OF OVERALL VUA PLANTING AREA}$

PROVIDED: 35,765 SF TOTAL VUA LANDSCAPE AREA. (INCLUDES THE 60SF FOR EACH OF THE TREE PLANTING SIDEWALK CUTOUTS

THIS SHEET THIS SHEET

Sheet Key Map
Scale: NTS

VUA REQUIREMENTS MET



VUA Planting Area Diagram

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Plan andscap artme aulieu

SEPT 15, 2022 Revised per staff comments report dated 11-22-22 Revised per staff comment Designed: Checked: Project No:

ENTRANCE LANDSCAPE PLANS & VUA

CALCULATIONS

LA-08

Randal D Kırkwood FL RLA #1605

PLANT SCHEDULE ENTIRE SITE

	PLANT SCHE	DULE ENT	TRE SITE						
	TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	SIZE	NATIVE
		QV-EXT	65	Existing Oak	Southern Live Oak	existing		Varies	Existing
32,000	**************************************	IL-EA45	64	llex x attenuata 'Eagleston'	Eagleston Holly	45 gal.	3" cal.	8'-10'HT	
نىرى	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	LI-5X25	2	Lagerstroemia indica 'Sioux'	Sioux Crape Myrtle	25 gal.	2" cal.	8'-10'HT	Multi-trunk 3 min-5 max
(+)	LI-TS25	39	Lagerstroemia indica 'Tuscarora'	Red Crape Myrtle, Standard	45 gal	2" cal.	8'-10'HT	STANDARD
`		LI-MK25	35	Lagerstroemia x 'Muskogee'	Lavender Crape Myrtle	25 gal.	2" cal.	8'-10'HT	Standard
E	+ 3	LN-25	15	Lagerstroemia x 'Natchez'	White Crape Myrtle	25 gal.	2" cal.	8'-10'HT	Standard
ν.	(+)	LS-45	9	Liquidambar styraciflua	American Sweet Gum	45 gal	3" cal.	10' Ht × 5' Sprd	
	+ }	MG-DD45	18	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	45 gal	3" cal.	8-10' Ht × 4' Sprd	Single straight trunk/ Full/ 5' C.T.
	4+ }	PE-45	13	Pinus elliotti	Slash Pine	45 gal	3" cal.	10-12' Hgt	Single straight trunk/ Full/ 5' C.T.
5	+	PO-45	4	Platanus occidentalis	American Sycamore	45 gal	3" cal.	10' Ht × 5' Sprd	
$ \begin{array}{c} $	+	QN-45	31	Quercus nuttallii	Nuttall Oak	45 gal.	3" cal.	10' ht.	
		QV-30	6	Quercus virginiana	Southern Live Oak	30 gal	3" cal.	8' Hgt x 42" Sprd	
	+	TD-45	5	Taxodium distichum	Bald Cypress	45 gal	3" cal.	10' Hgt x 4' Sprd	
	PALM TREES	CODE	<u>aty</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	SIZE	NATIVE
	SiS .	SP-EXT	41	Palm Tree	Existing palm	Existing		Varies	Existing
_	★ =	SP	44	Sabal palmetto	Cabbage Palmetto	Field Grown		10'-15' ht	
71	SHRUBS	CODE	<u>aty</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	<u>SIZE</u>	SPACING	NATIVE
	(AZ-V-7	35	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	7 gal	36" Hgt × 24" Sprd	36" <i>O</i> C	
		CT-R3	101	Cordyline terminalis 'Red Sister'	Red Sister Ti Plant	3 gal	Full Plant	24" <i>OC</i>	
	\odot	HF-7	25	Hamelia patens	Fire Bush	7 gal.	30" min ht	36" oc.	
<u> </u>	+	IF-3	844	Illicium floridanum	Florida Anise	3 gal	2" x 2" Fu	36" <i>O</i> C	
*) \	<u>3</u> +	F-7 ^ ^ ^	139	Illicium floridanum	Florida Anise	7 gal	36" Hgt x 24" Sprd	36" <i>O</i> C	
		LC-B3	164	Loropetalum chinense rubrum 'Blush'	Blush Loropetalum	3 gal	8" x 8" F∪	30" O.C.	
	***	MC-PM3	490	Muhlenbergia capillaris	Pink Muhly	3 gal	2" × 2" F∪	36" OC	
	\odot	RIA-3	1,039	Rhaphiolepis indica 'Alba'	White Indian Hawthorn	3 gal	5' x 5"	24" <i>OC</i>	
	S. S.	RE-3	II5	Russelia equisetiformis	Firecracker Plant	3 gal.	2" x 2" F∪	36" oc.	
	\\ +\\	TJ-I5	26	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	15 gal.	min 8' ht	4' OC	
	+	∨0-M3	120	Viburnum obovatum	Malter's Viburnum	3 gal	4"× 4" Fu	36" OC	
	GROUND COVERS	CODE	<u>aty</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	<u>SIZE</u>	SPACING	NATIVE
		DE-GM	845	Duranta erecta 'Gold Mound'	Gold Mound Duranta	3 gal.	2" × 2" F∪	15" <i>o</i> c.	
		ES-PI	474	Eragrostis spectabilis	Purple Love Grass	l gal.	mini. I' Ht	18" OC	
		JC-BP3	284	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 gal.		24" oc.	
		PN-A	11,186 sf	Paspalum notatum 'Argentine'	Bahia Grass	sod			
		STE SEC	40,647 sf	Stenotaphrum secundatum	St. Augustine Grass	sod			
		TRA TR2	2,004	Trachelospermum asiaticum 'Tricolor'	Dwarf Tricolor Asiatic Jasmine	l gal.	Full	24" <i>O</i> C	

PLANT SPECIFICATIONS SHOWN ARE REPRESENTATIVE OF THE MINIMUM SIZES REQUIRED. THE PROPOSED PLANT MATERIAL MUST MEET ALL SPECIFICATIONS

-All Cathedral Oaks were replaced with Nuttal Oaks at the request of the City staff. For graphic clarity no revision clouds have been added to the plan set showing these changes.

(* I) Transformer Screening Plants:
Transformer screen plantings are conceptual in layout, quantity and size. Landscape hedge to be provided on sides and rear with plants sized and spaced to provide a complete visual screen at a height no less than the top of the transformer equipment with plants located in compliance to FPL clearance

requirements.

Tree Preservation Information/Notes

- I. <u>Tree protection zones</u>. The area within the drip line of trees designated for preservation is considered the tree protection zone. Only hand clearing is permittable within the tree protection zone, unless otherwise stipulated in the approved tree permit. Encroachments into the tree protection zone will require submittal and approval of a drip line encroachment plan outlining tree protection measures to be utilized.
- 2. Root system protection. The root systems of trees shall be protected as follows:

a. Excavation within a drip line. The City Manager may approve a drip line encroachment plan upon the applicant's request to excavate within the drip line of a tree as part of a clearing permit.

b. Standards for root protection. The following standards shall apply and the City Manager may establish additional standards for root protection consistent with this section if deemed warranted by site conditions or the project proposal:

- I. If roots are exposed, the developer shall provide temporary earth cover, mixed with peat moss and wrapped with burlap, to prevent exposure from drying out before permanent backfill is placed.
- 2. The developer shall also fertilize, water and maintain in a moist condition and otherwise temporarily support and protect the tree root from damage until the tree root is permanently covered with

c. Protection of the tree root system. The developer shall protect tree root systems from damage due to noxious material in solution caused by runoff, or spillage during mixing and placement of construction materials, or drainage from storage materials. The developer shall also protect the root systems from flooding, erosion and excessive wetting resulting from 'de-watering' or grading operations.

- 3. <u>Trees damaged during construction.</u> The developer shall have trees damaged by construction repaired by a professional arborist in a manner acceptable to the City Manager as follows:
- a. Immediate notification to the City. The City Manager must be notified immediately after any damage to any tree damaged by construction operations.
- b. Prompt repair. Repairs shall be made promptly, as necessary, after damage occurs, to prevent progressive deterioration of damaged trees.
- c. Removal and replacement of damaged trees. The developer shall remove trees which are determined by the City Manager as being incapable of restoration of normal growth pattern. Such trees shall be subject to replacement pursuant to section 5-82(b) of the City of Debary Lands Development Code.
- 4. Installation specifications.
 - (a) All materials installed shall conform to the approved landscape plans. If any changes of materials are desired, amended plans must be submitted and approved before installation.
 - (b) Planting soil shall be placed throughout the planting hole for each plant in an area at least twice as wide as the plant ball and 1.5 times the depth of the plant ball. Backfill shall be thoroughly watered in as it is placed around the roots.
 - (c) All plant materials shall be installed plumb and at their original soil level in accordance with accepted planting procedures. All plant materials shall be properly fertilized at the time of installation.
 - (d) Any wrapping materials around root balls shall be slit after placement in the planting hole to allow the roots to grow and expand. After backfilling, all wire, straps, and wrapping shall be removed from the top one-third of the plant ball.
 - (e) All newly planted trees shall be staked and guyed immediately after installation and shall remain supported until the root systems and the trunk have established themselves to adequately support the tree. Trees in lawn areas shall be protected from lawn equipment by a mulch bed around the base of the tree.
 - (f) Sod shall be placed with staggered and closely butted joints. Grass areas that are installed by methods other than sod shall attain a full grass coverage within 90 days of the date of installation.
 - (g) Mulch beds shall have a uniform coverage and a minimum depth of three inches.
 - (h) Areas of native vegetation to be preserved (15 percent minimum) shall not be encroached upon or damaged during construction by any activities above or below ground. Visible barricades shall be placed around these areas and they shall be kept clear of all construction materials, traffic, and debris.
 - (i) Main irrigation pipe lines shall be buried with a minimum cover of 1.5 feet. All other lines shall have a minimum cover of one foot. All pipe and wiring under paving shall be placed in schedule 40 PVC sleeves or the equivalent and shall be placed at least 1.5 feet below finished grade for the full length of the pavement. All heads shall be set plumb and securely in place. Heads on risers of one foot or greater above grade shall be rigidly secured using an angle iron stake and two stainless steel clamps. Risers shall not exceed the height of the adjacent plants and shall be schedule 40 PVC or equivalent material painted a permanent flat green or black color. All risers shall be set six inches in from adjacent curbs or paved areas.
 - (j) During installation of landscaping, grassed areas off-site or within the public rights-of-way which have been disturbed by construction activity shall be cleaned of all debris, regraded to the proper elevations, and resodded. Any preserved vegetation areas that have been damaged or removed shall be replanted and refurbished to restore the area as much as possible to its original condition.



KIRKWOOD DESIGN, LLC

Orlando, Fl. 32803
407.415.5389
rkirkwood@bellsouth.net.

Landscape Architecture - Land Planning
CERTIFICATE OF AUTHORIZATION: LC26000384

1308 Falcon Drive

Project Name

n at Debary Landscape Pla (A: Beaulieu Apartments

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Date	SEPT 15, 202	22
4	Revise Per Staff Comments dated 12.22,2022	01/07/2023
3	Revised per staff comments report dated 11-22-22	11-29-22
2	Revised per staff comment	9-6-22
Λ	Revised per staff comment	6-23-22
No.	Description	Date

Drawn: Designed: Checked: Project No:
BLB RK RK KD 22-008

PLANT SPECIFICATIONS & ADDITONAL NOTES

eal Sheet N

Randal D Kırkwood FL RLA #1605 . The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.

2. The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation items and plants.

3. The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.

4. Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade

5. Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. The Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of negligence in the execution of the work.

6. All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.

7. All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Plants, Part I and II,

published by the Florida Department of Agriculture and Consumer Services or to the standards as given in the latest "American Standard for Nursery Stock," American National Standards Institute. 8. The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements

specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. All height requirements shall be based on the finished grade of the landscaped area and measured at the main stem. Tree sizes noted as caliper to be taken at six (6") inches above finished grade, trees sizes as 'DBH' to be measured at four and a half feet (4.5') from top of rootball.

9. The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.

10. Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.

II. The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over

12. It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.

13. All trees and all palms shall be guyed or staked or braced. The Landscape Contractor shall determine which small or multi-trunk trees need to be guyed and staked to maintain plumb. Staking of trees and shrubs, if required, shall be done as per staking and guying detail prepared by the Landscape Architect. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees \$ job site after a period of one (1) year.

14. Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.

15. The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of bidding.

16. Sod shall be certified to be free of the imported fire ant. Sod shall have a clean growth of acceptable grass, reasonably free of weeds with not less than one and a half (1 1/2") inches of soil firmly adhering to roots. It shall be the responsibility of the Landscape Contractor to measure and determine the exact amount required.

17. All plant beds shall be top dressed with a minimum of three inches (3") organic mulch (or approved equal). Mulch shall be kept twelve (12") inches away from the tree trunks.

18. The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.

19. The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.

20. All tree pits shall be excavated to size and depth in accordance with the USDA Standard for Nursery Stock 260. I, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.

21. The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.

22. Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.

23. Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.

24. During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection ten (10) days prior to the anticipated date. At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.

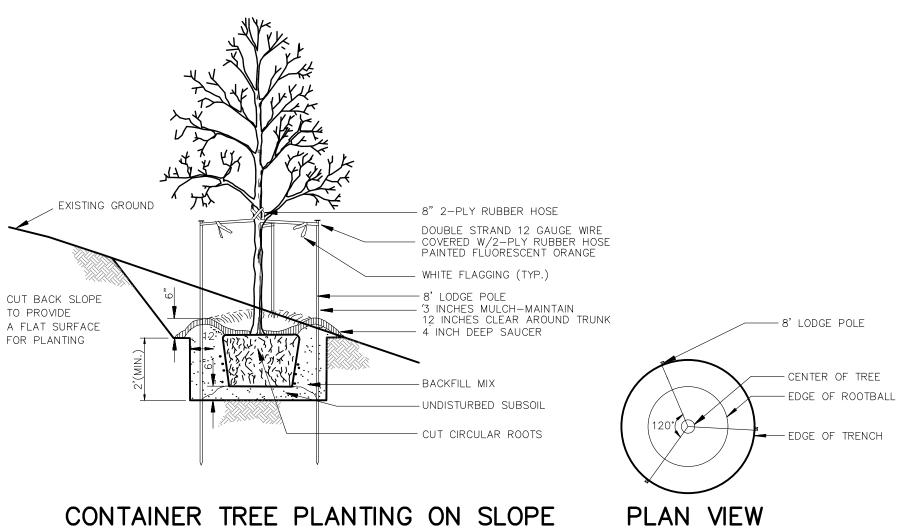
25. At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement. All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.

26. All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.

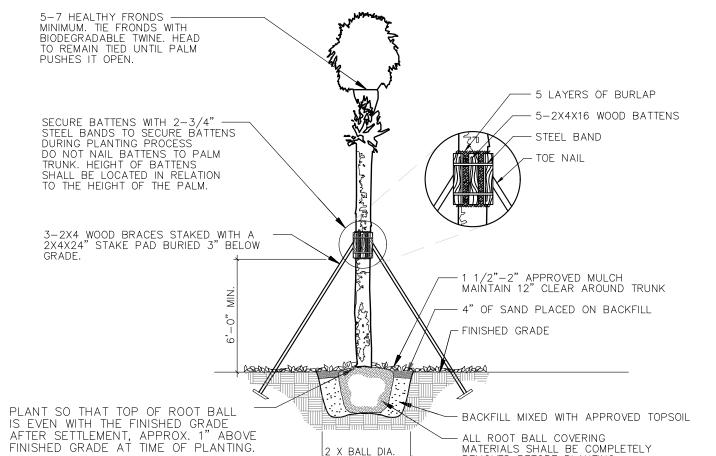
27. Topsoil shall be ASTM D 5268, natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4 percent, free from subsoil, objectionable weeds, litter, sods, stiff clay, stones larger than I-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent (3%) organic material.

28. Planting soils. The planting soil throughout the full depth and width of the planter areas shall be free of weeds, debris, and noxious materials and shall consist of an easily-crumbled, well-drained soil which contains enough organic material and nutrients to promote and sustain plant health and growth. Compacted and deleterious materials such as but not limited to shell, limerock, and stone shall be excavated and removed from the planting areas. A soil analysis may be required to determine if soil amendments such as peat, topsoil, compost sand, lime, sulfur, or fertilizers will be required.

29. All landscaping will be irrigated, as per Land Development Code Chapter 5, Article VI, Section 5-133(b)(4)b. The irrigation will be installed with moisture sensors beneath the root systemm to properly gauge the plants watering requirements.



CONTAINER TREE PLANTING ON SLOPE



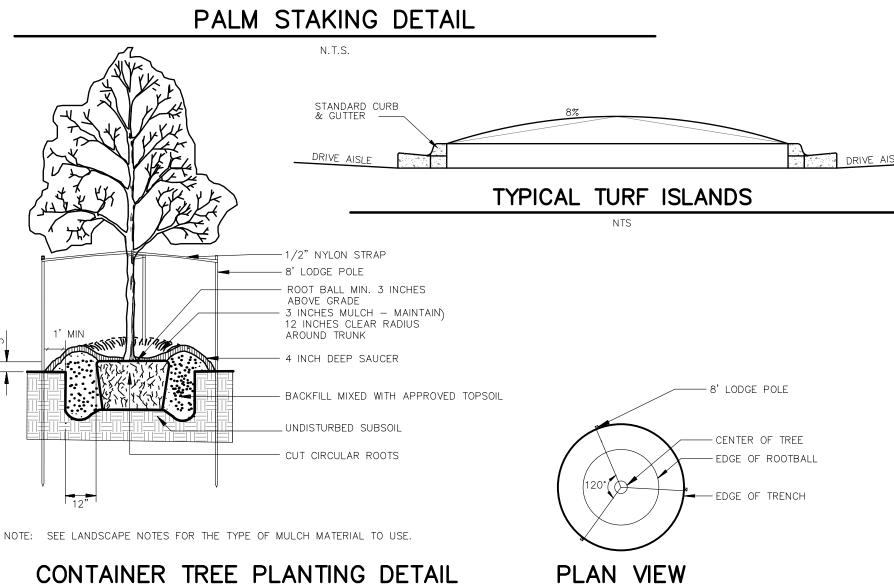
LAST FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT, OR HEIGHT MEASUREMENTS SPECIFIED, WILL BE CONSIDERED CLEAR TRUNK(CT):
A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL LIE AT THE BASE OF

YOUNGEST BUT FULLY EXPANDED LEAF.

PALM HEIGHT DEFINITION

OVERALL HEIGHT(OA):

CLEAR WOOD(CW):
A MEASUREMENT FROM THE SOIL LINE TO THE IGHEST POINT OF THE TRUNK FREE C PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE T SHOULD BE NOTED THAT PALMS WITH VERY PERSITENT LEAF BASES MAY NOT HAVE CLEAR



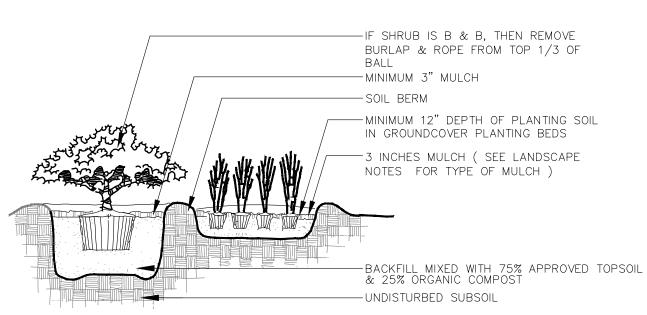
CONTAINER TREE PLANTING DETAIL

GROUNDCOVER (TYP

STANDARD CURB & GUTTER —

DRIVE AISLE

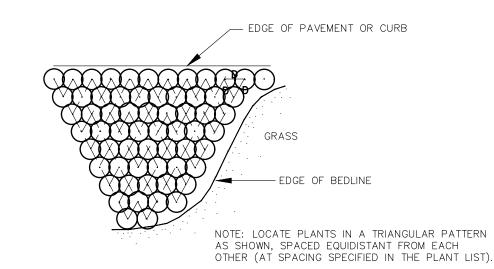
TYPICAL LANDSCAPE ISLANDS



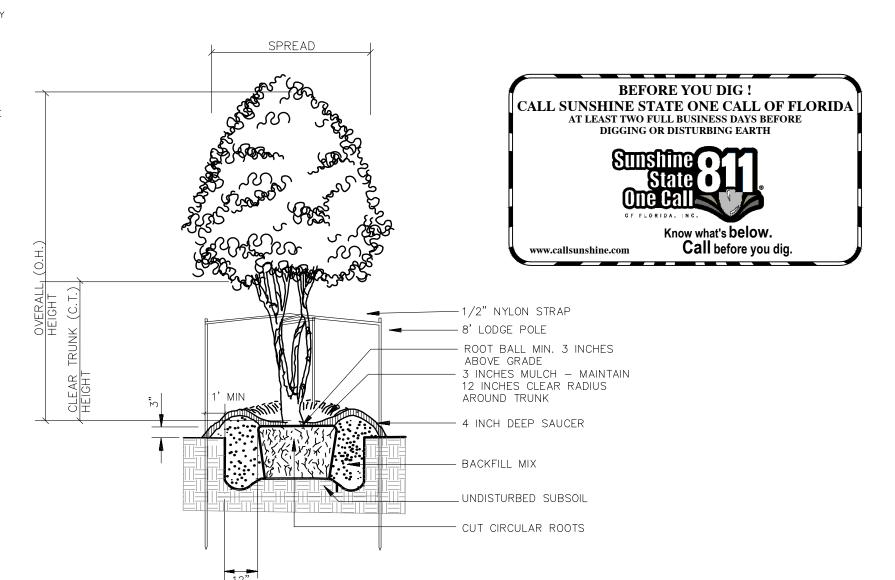
-PROVIDE MINIMUM PIT CLEARANCE AROUND ROOT BALL OF 6" SIDES AND BOTTOM. -MAINTAIN 3"-4" MULCH FREE ZONE AROUND BASE OF PLANT.

SHRUB AND GROUNDCOVER PLANTING DETAIL

NTS

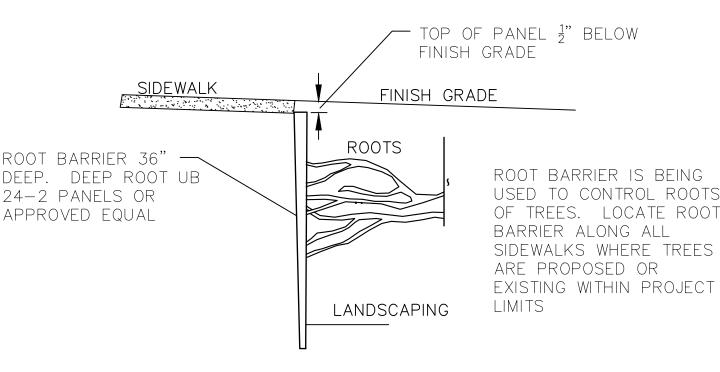


SHRUB/GROUNDCOVER SPACING PLAN



MULTI-TRUNK CONTAINER TREE PLANTING DETAIL

NTS



ROOT BARRIER DETAIL

N.T.S.



1308 Falcon Drive Orlando, Fl. 32803 407.415.5389 rkirkwood@bellsouth.net. Landscape Architecture - Land Planning CERTIFICATE OF AUTHORIZATION: LC26000384

oject Name

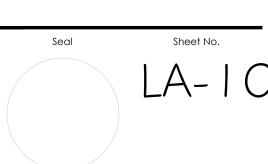
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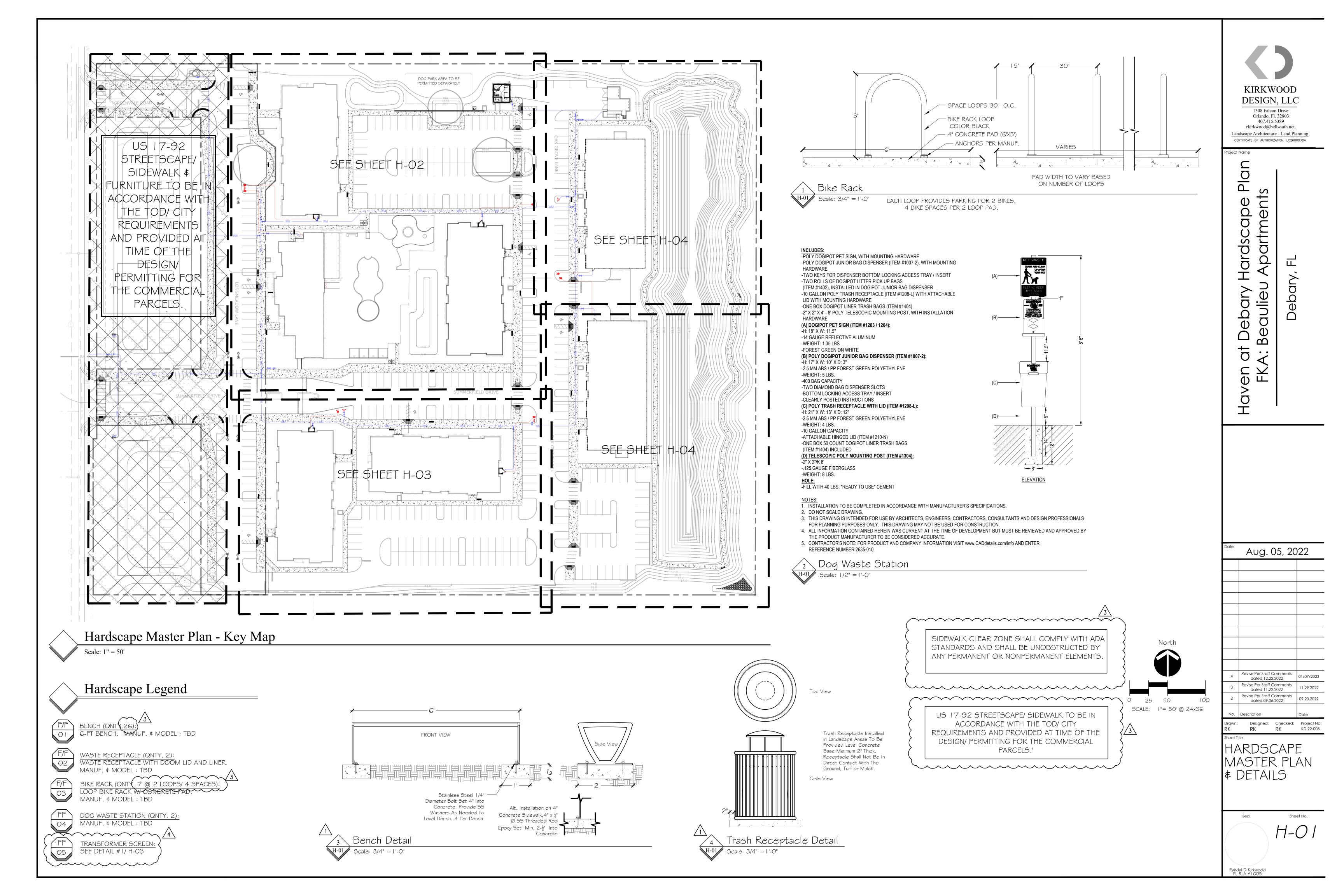
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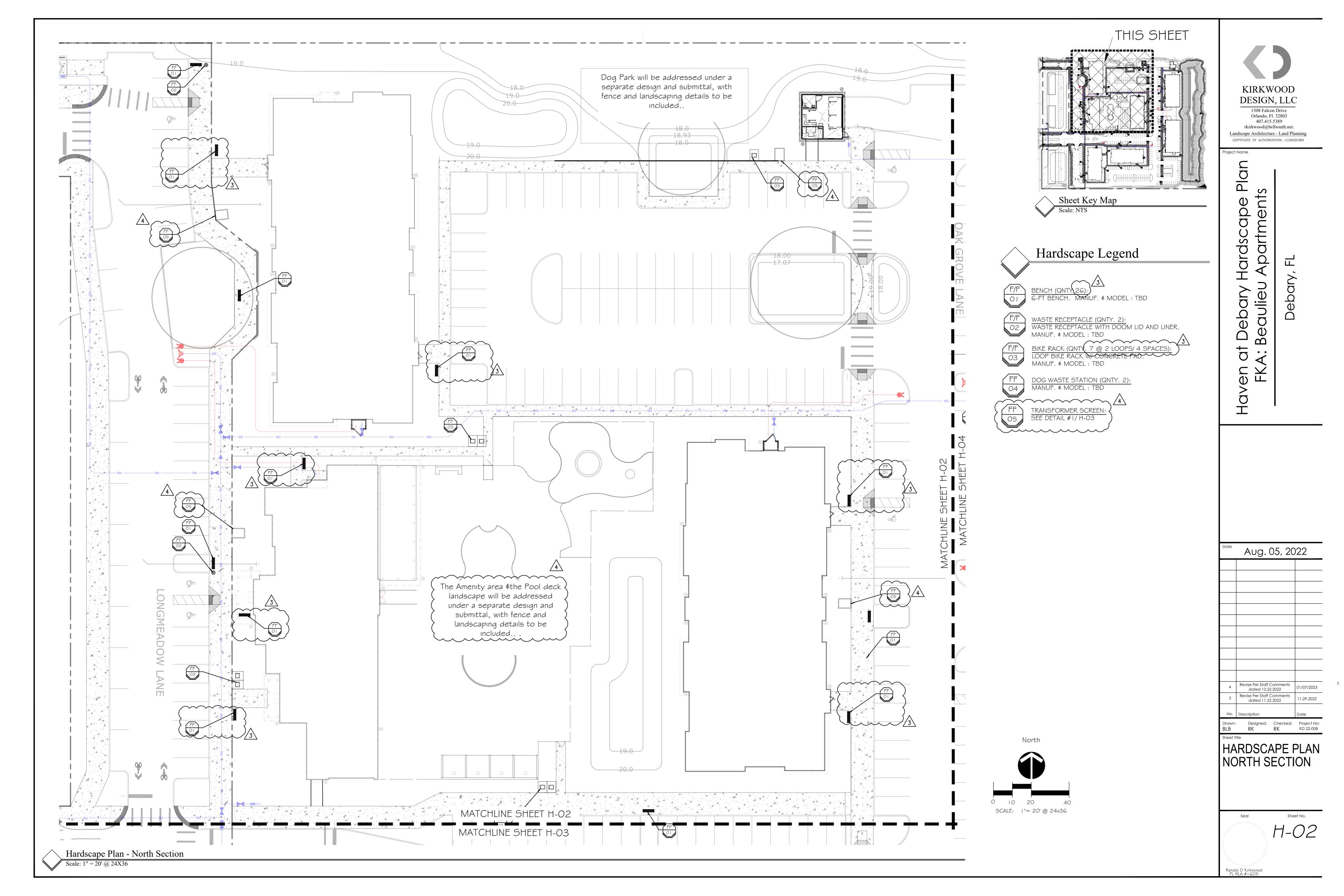
SEPT 15, 2022 Revised per staff comments report dated 11-22-22 Revised per staff comment Revised per staff comment Designed: Checked: Project No:

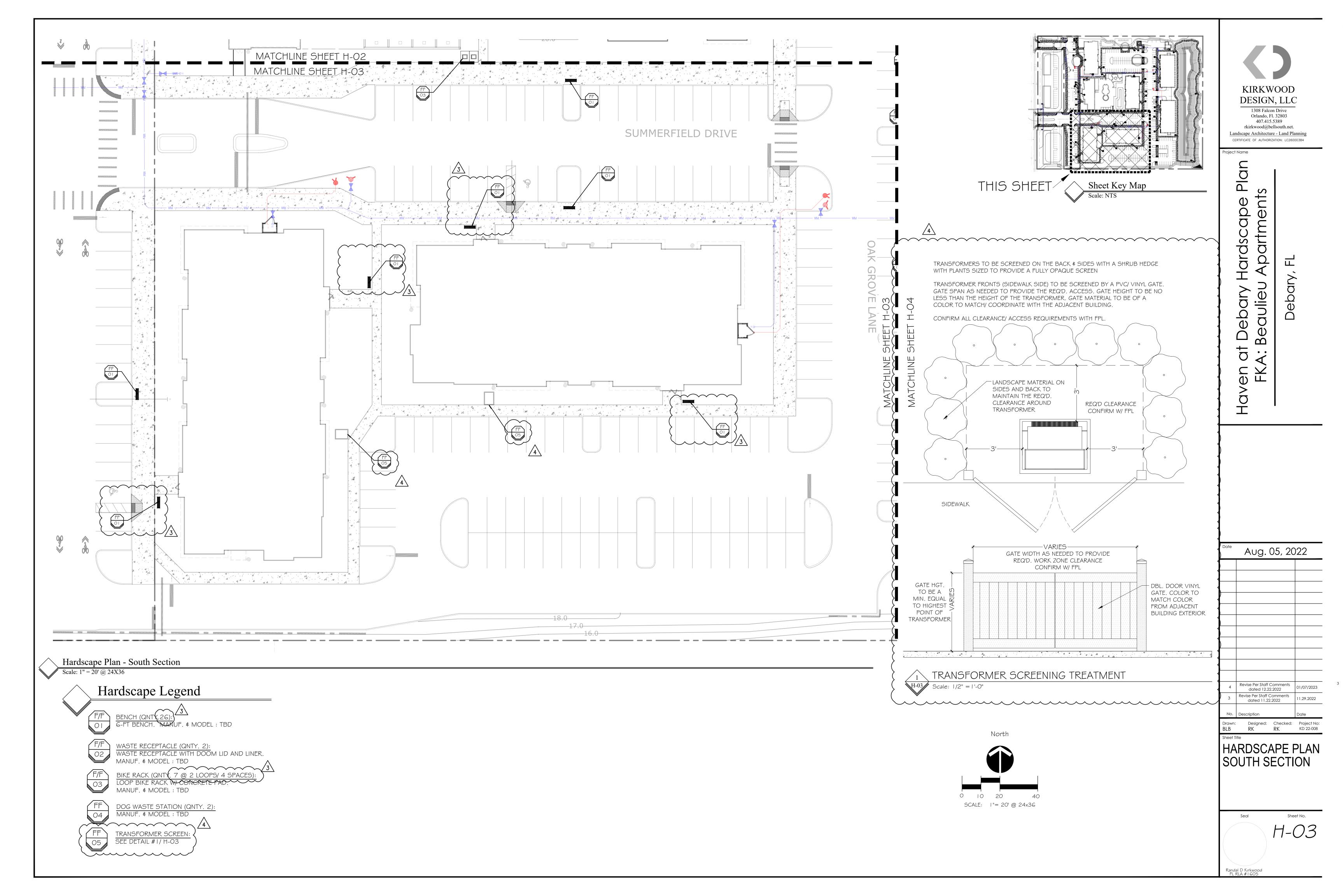
LANDSCAPE **NOTES & DETAILS**

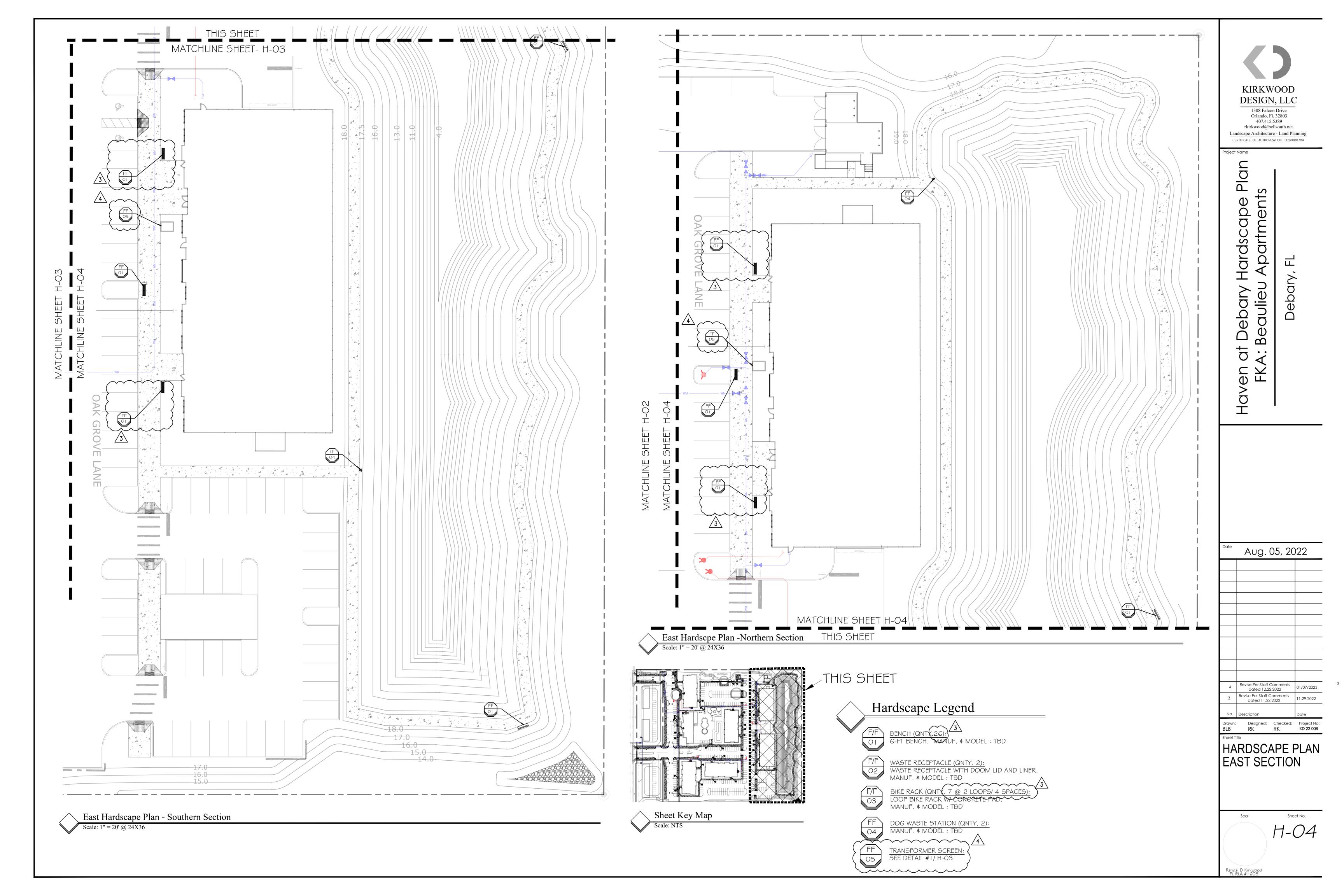
RK RK KD 22-008











February 6, 2023

Haven at DeBary, LLC 100 Dunbar Street, Suite 400 Spartanburg, SC, 29306

Re: Beaulieu/Haven at Debary, Case # 22-02-PPR-Beaulieu
Preliminary Plat and Construction Plan Development Order

Dear Haven at DeBary, LLC:

This letter is the Preliminary Plat and Construction Plan Development Order for the above referenced project. This development order authorizes commencement of construction after a required pre-construction meeting, in accordance with the approved construction plans dated January 24, 2023.

On September 6, 2022 the City of DeBary Development Review Committee conditionally approved the Preliminary Plat and Construction Plans, Case # 22-02-PPR-Beaulieu. Pursuant to the following findings, the City of DeBary Development Review Committee approved the Preliminary Plat and Construction Plans providing for the conditions of approval and acceptable revisions. Prior to the commencement of construction, the following conditions must be met.

- Please submit a certified Engineers Opinion of Cost (EOC) for the project, to be verified by the City Engineer prior to setting up the pre-construction meeting. The EOC shall not include water and sewer utilities. Volusia County Utilities will provide separate inspections.
- 2) Please bring payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).
- 3) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
 - a. Applicant must bring payment for inspection fee to the meeting.
 - b. Applicant must bring a tentative construction schedule to the meeting.
 - c. Applicant should bring the FDEP NOI to the meeting if available or be able to provide an update on the status.
- 4) Prior to the pre-construction meeting, please submit four (4) complete full-size and two (2) half-size sets of signed and sealed plans. In addition, please provide a digitized version of the plans in both a portable document format (PDF) and computer-aided design (CAD) format.



- 5) Please contact Kevin Hare, 386-601-0223 to schedule a pre-construction meeting prior to any on-site clearing and/or grading.
- 6) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before County staff may endorse the FDEP water and wastewater permit applications if applicable.
- 7) Coordinate with the Volusia County Water and Utility Services Group (Erin Reed, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans.
- 8) The applicant shall have erosion and sediment control procedures and equipment in place as well as any proposed tree protection barricades prior to commencement of construction.
- 9) A NPDES Erosion and Sediment Inspection will be performed by the City.
- 10) The applicant may need to execute a Road Maintenance Agreement prior to the commencement of construction.
- 11) Approved School Concurrency with the Volusia County School Board.
- 12) Provide a copy of the SJRWMD "Construction Commencement Notice" form (Form No. 40C-4.900(3)).

PLEASE NOTE: a pre-construction meeting will not be held without meeting the above requirements. Any site work, grading, fill dirt, or clearing of land prior to the required permits, development orders, or pre-construction meeting will result in violations of City Ordinance and be met with all applicable fines and/or penalties under local and state law.

The Building Permit Application process is initiated by submitting the completed application and appropriate plans. The Building Permit Application must be accompanied by the approved version of the site plan, and any approved addendum sheets. Copies of the approved version of the plan, signed and sealed have been provided to the City and are available upon request. A copy of the final plan and development order will be provided to the City of DeBary Building Department.

The valid period of this Development Order is 360 days from the date of this letter. If construction has not commenced or is not continuing in good faith to conclusion during this valid period, this Development Order shall expire, unless extended by the DeBary City Council. No construction may commence or continue if this Development Order has expired. During the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.



All plans and construction must be in substantial compliance with this Development Order. Deviations from the approved plans may require submittal of amended plans for review and approval by staff.

No final inspections will be performed by staff until the developer's engineer has certified that all construction has been completed in accordance with this Development Order and the approved plans. That certification must be submitted to the City before the final inspections will be scheduled. Please note, additional re-inspection fees for inspection of the site, may be required.

Please feel free to call me at 386-601-0238 if you have any questions or concerns.

Sincerely,

Carmen Rosamonda

City Manager City of DeBary



City Council Meeting City of DeBary AGENDA ITEM

Subject:	Commerce Park	Attachments:
	Development Order Extension	() Ordinance
From:	Steven E. Bapp, AICP	() Resolution
	Growth Management Director	() Supporting Documents/ Contracts
		(X) Other
Meeting H	learing Date November 15, 2023	

REQUEST

The Applicant, KBC Development, Inc., has requested a Development Order Extension for the Commerce Park project.

PURPOSE

On October 23, 2023, the Applicant submitted their request for a development order extension for a period of 360 days.

CONSIDERATIONS

On January 26, 2023, a Preliminary Plat & Construction Plan (Engineering Plans) Development Order was issued for Commerce Park. The project site is located on U.S. Highway 17-92, Volusia County parcel ID 90040000016. The project consists of 9 structures for industrial use. There are two commercial outparcels fronting U.S. Highway 17-92. The industrial portion of the project is 15.64 acres; the commercial portion is 4.16 acres.

Section 4-25 of the Land Development Code determines a Development Order shall remain valid for a period of 360 days from the date of issuance. Section 4-25 further provides that the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.

COST/FUNDING

N/A

RECOMMENDATION

Staff recommends the City Council approve the extension request for the Commerce Park Preliminary Plat & Construction Plan Development Order for an additional 360 days.

IMPLEMENTATION

The applicant would need to begin moving forward with the project and meeting the conditions described on the Development Order.

ATTACHMENTS

- Engineering Plans
- Issued Development Order

Drawing Index

Civil

C01

GENERAL NOTES C02-03 **EXISTING CONDITIONS** TREE PRESERVATION PLAN C06 STORMWATER POLLUTION PREVENTION PLAN **EROSION CONTROL DETAILS** C09-C10 SITE & GEOMETRY PLANS C11-C12 **UTILITY PLANS** C13-C14 **GRADING PLANS** C15-C16 DRAINAGE PLANS **UTILITY CROSSINGS** C17 C18-C19 POND PLANS STRIPING AND SIGNAGE PLAN C21 U.S. 17 - 92 IMPROVEMENTS PLAN C22 TYPICAL SECTIONS KEY MAP C23-C25 C26-C28 PAVING & DRAINAGE DETAILS C29-C31 VOLUSIA COUNTY WATER DETAILS

VOLUSIA COUNTY REUSE WATER DETAILS

VOLUSIA COUNTY SANITARY SEWER DETAILS

COVER SHEET

Tree Removal

C33-C34

L1.00 OVERALL PLAN
L1.10 TREE REMOVAL PLAN
L1.11 TREE REMOVAL PLAN
L1.12 TREE REMOVAL PLAN
L1.13 TREE REMOVAL PLAN

Landscape

L2.10 LANDSCAPE PLAN
L2.11 LANDSCAPE PLAN
L2.12 LANDSCAPE PLAN
L2.13 LANDSCAPE PLAN
L2.20 VUA DIAGRAM
L3.00 NOTES & DETAILS

Legal Description:

A PORTION OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA BEING DESCRIBED AS

COMMENCE AT THE SOUTHEAST CORNER OF RESERVE AT DEBARY, UNIT 1 AS RECORDED IN MAP BOOK 45, PAGES 114 -118, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, SAID POINT ALSO BEING ON THE WEST RIGHT OF WAY LINE OF STATE ROAD 15 AND 600 (U.S. HIGHWAY 17 AND 92, A 100 FOOT RIGHT OF WAY); THENCE SOUTH 24°13′55″ WEST ALONG THE AFORESAID WEST RIGHT OF WAY LINE A DISTANCE OF 927.62 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE AFORESAID WEST RIGHT OF WAY LINE SOUTH 24°13′55″ WEST A DISTANCE OF 361.03 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF THE PROPERTY DESCRIBED IN O.R. BOOK 3358, PAGE 1454; THENCE DEPARTING THE AFORESAID WEST RIGHT OF WAY LINE RUN SOUTH 80°57′53″ WEST ALONG THE AFORESAID SOUTH LINE OF O.R. BOOK 3358 A DISTANCE OF 1009.84 FEET TO AN INTERSECTION WITH THE WEST LINE OF THE EAST ONE-HALF (1/2) OF THE NORTHEAST ONE-QUARTER (1/4) OF THE AFORESAID SECTION 4, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF O.R. BOOK 3430 AT PAGE 22; THENCE, DEPARTING THE AFORESAID SOUTH LINE OF O.R. BOOK 3430 AT PAGE 22; THENCE, DEPARTING THE AFORESAID SOUTH LINE OF O.R. BOOK 3430 AT PAGE 22; THENCE, DEPARTING THE AFORESAID SOUTH LINE OF O.R. BOOK 3430 RUN NORTH 13°11′08″ EAST ALONG THE AFORESAID O.R. BOOK 3430 A DISTANCE OF 786.97 FEET TO THE SOUTHWEST CORNER OF THE AFORESAID O.R. BOOK 3430 A DISTANCE OF 848.23 FEET TO THE SOUTHWEST CORNER OF PARCEL "B" PER O.R. BOOK 4045 AT PAGE 1890-1896; THENCE DEPARTING THE AFORESAID DATA DEPARTING THE AFORESAID DATA DEPARTING THE AFORESAID PARCEL "B" A DISTANCE OF 585.00 FEET TO THE SOUTH LINE OF THE AFORESAID PARCEL "B". THENCE DEPARTING THE AFORESAID PARCEL "B". THENCE SOUTH 74°03′17″ EAST A DISTANCE OF 90.12 FEET TO THE NORTHEAST CORNER OF THE AFORESAID PARCEL "B". THENCE SOUTH 74°03′17″ EAST A DISTANCE OF 135.00; THENCE SOUTH 66°62′35″ WEST A DISTANCE OF 170.00 F

LESS AND EXCEPT A 20.00 FOOT WIDE STRIP OF LAND FOR ROAD RIGHT OF WAY PURPOSES LOCATED IN THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 30 EAST VOLUSIA COUNTY, FLORIDA, LYING EAST OF AND ADJACENT TO SHELL ROAD (A 50.00 FOOT RIGHT OF WAY), DESCRIBED IN THAT CERTAIN WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 4934, PAGE 1918, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF TRACT "A" OF SPRINGVIEW INDUSTRIAL PARK UNIT 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 49, PAGES 17 AND 18 IN THE PUBLIC RECORDS OF VOLUSIA COUNTY FLORIDA; THENCE RUN NORTH 80°57'38" EAST, ALONG A LINE THAT IS THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID TRACT "A", FOR A DISTANCE OF 54.06 FEET TO THE EAST RIGHT OF WAY LINE OF SHELL ROAD AND THE POINT OF BEGINNING; THENCE RUN NORTH 13°18'37" EAST, ALONG THE EAST LINE OF SHELL ROAD, FOR A DISTANCE OF 610.00 FEET; THENCE, DEPARTING SAID RIGHT OF WAY LINE, RUN SOUTH 76°41'23" EAST FOR A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 13°18'37" WEST FOR A DISTANCE OF 601.78 FEET; THENCE RUN SOUTH 80°57'38" WEST FOR A DISTANCE OF 21.62 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A PARCEL OF LAND FOR NON-EXCLUSIVE INGRESS AND EGRESS LYING IN THE EAST 1/2 OF THE NORTHEAST I /4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 30 EAST, VOLUSIA COUNTY, FLORIDA, DESCRIBED IN THAT CERTAIN GRANT OF EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 3913, PAGE 3234, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 4; THENCE RUN S 00°24'57" W ALONG THE EAST LINE OF SAID NORTHEAST 1/4 OF SECTION 4 A DISTANCE OF 1884.71 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROADS 15 AND 600 (U.S. HIGHWAYS 17 AND 92) AS RECORDED IN STATE AND COUNTY MAP BOOK 1, PAGES 27 THROUGH 37 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE RUN S 24°13'55" W ALONG SAID WESTERLY RIGHT-OF-WAY LINE 437.60 FEET THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE RUN N 65°46'05" W 263.48 FEET; THENCE N 81°21'46" W 79.91 FEET; THENCE S 86°58'17" W 378.53 FEET THENCE N 12°54'47" W 210.32 FEET THENCE N 87°16'25" W 105.12 FEET; THENCE N 74°03'17" W 12.83 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 74°03'17" W 75.00 FEET; THENCE N 15°56'43" E 75.00 FEET THENCE S 74°03'17" E 75.00 FEET; THENCE S 15°56'43" W 75.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION OF SAID EASEMENT LYING IN ROAD RIGHT-OF-WAY.

COMMERCE PARK

City of DeBary, Florida FINAL ENGINEERING PLANS Submittal MARCH 2020

Parcel ID. Number 90040000016



All construction in the FDOT ROW shall conform to the latest editions of the FDOT Design Standards (indexes), the FDOT Standards and Specifications for Road and Bridge Construction, and the FDOT Utility Accommodations Manual.

DeBary Golf & County Club SITE W Highbanks Rd E Highbanks Rd Clove and a county Club Commission of the county Club Roman Springs Fair Black Bear Widerness Ana

SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.

2:46:07 PM Q:\DEBI_50106498\CAD\Civil\Final\Civil Plans\01-DEBI-Final Cover.dgn

Dewberry®

Dewberry Engineers Inc.

800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120

OMMERCE PARK

SEAL

Christopher J. Allen FL PE # 77719 8/10/2022

DRAWN BY DKO

APPROVED BY CJA

CHECKED BY NPS

DATE MARCH 2020

DATUM NAVD 88

TITLE

COVER

PROJECT: Q:\DEBI_50106498\CAD\Civil\Final\
Civil Plans

C01

Prepared For

DEBARY INDUSTRIAL PARK, LLC. 4570 ORANGE BOULEVARD SANFORD, FL 32771 CONTACT: PATTI SHOLAR PHONE: 407-330-7022

Civil Engineer

DEWBERRY ENGINEERS INC. 800 NORTH MAGNOLIA AVENUE SUITE 1000 ORLANDO, FLORIDA 32803 CONTACT: CHRISTOPHER J ALLEN, P.E. PHONE: 321-354-9739

Survey (Boundary)

BENCHMARK SURVEYING & MAPPING, LLC 3110 RED FOX RUN KISSIMMEE, FLORIDA 34746 CONTACT: JOE JENKINS, JR., P.S.M. PHONE: 407-509-9674

Geotechnical Engineer

UNIVERSAL ENGINEERING SCIENCES 911 BEVILLE ROAD, SUITE 3 SOUTH DAYTONA, FLORIDA 32119 CONTACT: BRIAN C POHL, P.E. PHONE: 386-756-1105 **GENERAL**

ACTIONS, PUBLIC OR PRIVATE, ADMINISTRATIVE OR JUDICIAL, INCLUDING ATTORNEY'S FEES PAID OR INCURRED BY OR ON BEHALF OF

OWNER, JOINTLY OR SEVERALLY, AND/OR THEIR AGENTS AND EMPLOYEES. THE CONTRACTOR FURTHER AGREES, IN THE EVENT OF A

OR INCURRED BY OWNER IN TAKING SUCH ACTION SHALL BE BORNE BY CONTRACTOR. AND CONTRACTOR AGREES TO PROTECT, HOLD

CONNECTED WITH THE PERFORMANCE OF WORK OR WORK TO BE PERFORMED UNDER THIS CONTRACT, OWNER MAY IMMEDIATELY TAKE WHATEVER ACTION IS DEEMED NECESSARY BY OWNER TO REMEDY THE CLAIMED VIOLATION. ANY AND ALL COSTS OR EXPENSES PAID

CLAIMED VIOLATION OF ANY FEDERAL OR STATE SAFETY AND HEALTH LAW OR REGULATION ARISING OUT OF OR IN ANY WAY

HARMLESS AND INDEMNIFY OWNER AGAINST ANY AND ALL SUCH COSTS OR EXPENSES.

9. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:

A. ALL EMPLOYEES ON THE WORK SITE AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;

B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE. UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS; AND

C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.

0. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION. INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.

. ALL DAMAGE OR LOSS TO ANY PROPERTY REFERRED TO IN HEREIN CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE. SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.

2. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD. REPAIR. RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL INSPECTION CRITERIA AND SCHEDULES, AND SIGNING FOR SAID

4. THE CONTRACTOR SHALL CONTROL AND BE RESPONSIBLE FOR THEIR OPERATIONS AND THOSE OF THEIR SUBCONTRACTORS AND ALL SUPPLIERS, TO ASSURE THE LEAST INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR TRAFFIC AND SHALL LIMIT THEIR OPERATIONS IN RELATION TO THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION.

5. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE POLICIES AND GUIDELINES ESTABLISHED BY ALL AGENCIES HAVING JURISDICTION FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE OR INJURY TO PROPERTY OF ANY CHARACTER, DURING THE EXECUTION OF THE WORK, RESULTING FROM ANY ACT, OMISSION, NEGLECT, OR MISCONDUCT IN THEIR MANNER OR METHOD OF EXECUTING THE WORK, OR AT ANYTIME DUE TO DEFECTIVE WORK OR MATERIALS.

3. THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE, OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES OR GRADING SECTIONS ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATION OR REMOVAL IS PROVIDED FOR IN THE CONTRACT, PLANS OR SPECIFICATIONS.

7. THE CONTRACTOR SHOULD VERIFY THE QUANTITIES AND LENGTHS OF MATERIALS SHOWN ON THE PLANS. ANY DISCREPANCY BETWEEN MATERIAL CALLOUTS AND ACTUAL SHOWN IN PLAN VIEW IS TO BE BROUGHT TO THE ENGINEER'S ATTENTION BY THE CONTRACTOR PRIOR TO BIDDING. IT IS THE ENGINEER'S INTENTION TO CONSTRUCT WHAT IS SHOWN ON THE PLANS.

8. ANY DISCREPANCY BETWEEN THE DIMENSIONS AND MEASUREMENTS SHOWN ON THE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION. FAILURE TO DO SO AND TO CONTINUE CONSTRUCTION SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR ALL ERRORS AND NECESSARY CORRECTIONS THAT MAY SUBSEQUENTLY ARISE.

EROSION CONTROL

THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL REGULATIONS CONTROLLING POLLUTION OF THE

THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ACCORDING TO EPA/FDEP NPDES CRITERIA TO MINIMIZE EROSION AND INSURE PROPER FUNCTIONING OF STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION. IN ADDITION TO MEETING EPA/FDEP NPDES CRITERIA, THE SWPPP SHALL BE SUBMITTED TO AND COMPLY WITH LOCAL AGENCY HAVING JURISDICTION'S MINIMUM EROSION CONTROL CRITERIA.

CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORTATION OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS THOSE THAT EXIST PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS CONDITION MUST BE SATISFIED UNTIL PROJECT IS FULLY COMPLETED AND ACCEPTED, CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE ON TEMPORARY EROSION CONTROL FEATURES AT HIS EXPENSE. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENT BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGH OUT THE LIFE OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE HAY BALES, SILT BARRIERS, MURAFI FILTERS, TEMPORARY GRASSING, ETC., AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION. CONTRACTOR SHALL PROVIDE CONTINUOUS MONITORING OF EROSION AND SEDIMENT CONTROLS TAKEN AND SHALL DOCUMENT ALL CORRECTIVE MEASURES. A COPY OF THE APPROVED SWPPP SHALL BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY OWNER'S REPRESENTATIVE AND BY NPDES INSPECTORS. THIS PERMIT MUST BE SUBMITTED TO CITY OF DEBARY BY THE CONTRACTOR PRIOR TO THE ISSUANCE OF PERMITS.

4. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE A NOTICE OF INTENT IN ACCORDANCE WITH CRITERIA SET FORTH IN THE NPDES PERMIT REQUIREMENTS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, CLEARING, OR DEMOLITION.

5. PROVIDE EFFECTIVE TEMPORARY AND PERMANENT EROSION CONTROL FOLLOWING THE REQUIREMENTS IN SECTION 104 OF THE STATE DEPT. OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. (F.D.O.T. SECTION

. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION RESULTING FROM SURFACE RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATION THAT MAY CAUSE SEDIMENT RUNOFF. FILTER FABRIC SHALL BE PLACED AND MAINTAINED UNDER THE GRATE AND FILTER SOCKS PLACED IN FRONT OF THE THROAT OF CURB INLETS, DURING CONSTRUCTION.

TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENTS AND SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO CONSTRUCTION. TURBIDITY BARRIERS SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

8. ALL SLOPES 5:1 OR GREATER SHALL BE SODDED. ALL POND SLOPES AND RIGHTS-OF-WAY SHALL BE SODDED.

9. IN ACCORDANCE WITH FDEP AND WATER MANAGEMENT DISTRICT PERMITS, ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF NO CONSTRUCTION ACTIVITIES.

DEMOLITION AND CLEARING

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY DESIGNATE THE LIMITS OF CONSTRUCTION ON-SITE. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE LIMITS OF CONSTRUCTION.

THE CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES THAT ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.

. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL.

. $\,$ ANY PROPOSED CUT OR FILL MATERIAL TO BE REMOVED OR PLACED WITHIN THE DRIP LINE OF SPECIMEN TREES TO REMAIN, INCLUDING TRENCHING FOR PROPOSED IMPROVEMENTS SUCH AS UTILITIES. WILL REQUIRE THE ADVANCED PRE-TREATMENT OF EACH IMPACTED TREE BY A QUALIFIED ARBORIST OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO MINIMIZE THE POTENTIALLY ADVERSE IMPACTS OF CONSTRUCTION.

5. TREE PROTECTION BARRICADES OR EQUIVALENT PROTECTIVE MEASURES WILL BE CONSTRUCTED ACCORDING TO THE LOCAL JURISDICTION'S CRITERIA FOR TREES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION.

. IN AREAS REQUIRING FILL MATERIAL, THE CONTRACTOR SHALL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SODS, HEAVY GROWTH OF GRASS, DECAYED VEGETATION MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS PLACED. IMMEDIATELY PRIOR TO THE PLACING OF FILL MATERIAL, THE ENTIRE AREA UPON WHICH FILL IS TO BE PLACED. SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. $\,$ THE GEOTECHNICAL ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.

PAVING, GRADING & DRAINAGE

THE CONTRACTOR SHALL PERFORM ALL WORK PERTAINING TO DRAINAGE INCLUDING EXCAVATION OF STORMWATER MANAGEMENT PONDS OR EQUIVALENT FACILITIES PRIOR TO THE COMMENCEMENT OF OTHER WORK INCLUDED IN THESE PLANS.

THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE RECORD PLAT. THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER THAT THE PLAT IS CORRECT PRIOR TO ANY CONSTRUCTION. IF A PLAT DOES NOT EXIST, CONTRACTOR IS TO VERIFY USE OF THE SURVEY FOR LAYOUT WITH ENGINEER PRIOR TO STARTING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO INSURE CORRECT POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT. ANY DISCREPANCY BETWEEN PLATTED INFORMATION AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY AND IN WRITING.

PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER RÉASONABLE AND PRUDENT. STEPS TO INSURÉ THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.

ALL DRAINAGE STRUCTURES ARE TO BE TRAFFIC BEARING UNLESS OTHERWISE NOTED. ALL PRECAST CIRCULAR STRUCTURES SHALL BE CONSTRUCTED WITH A MINIMUM 5-INCH WALL THICKNESS.

5. ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE. AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS SHOULD ACTUAL CONDITIONS VARY FROM THE SURVEYED INFORMATION THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS SHOULD THE INTENT OF THE PLANS BE UNCLEAR.

6. CONSTRUCTION OF ROADWAYS SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE LOCAL AGENCY(S) HAVING JURISDICTION AND THE MINIMUM SUGGESTED SECTIONS AS OUTLINED IN THE SOILS REPORT'S RECOMMENDATIONS, UNLESS

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXCESS CUTS OR SUPPLYING FILL AS NECESSARY TO GRADE THE SITE TO THE PROPOSED ELEVATIONS AS DESIGNED WITHIN THE CONSTRUCTION DOCUMENTS.

8. IF LIMESTONE BEDROCK IS ENCOUNTERED DURING EXCAVATION OF THE RETENTION BASINS OR A SINKHOLE OR SOLUTION CAVITY FORMS DURING CONSTRUCTION, EXCAVATION OF THE BASIN MUST BE HALTED IMMEDIATELY, THE OWNER, ENGINEER, AND WATER MANAGEMENT DISTRICT MUST BE NOTIFIED, AND REMEDIAL ACTION WILL BE REQUIRED. THE PERMITTEE MUST INSPECT ALL PERMITTED SURFACE WATER MANAGEMENT BASINS MONTHLY FOR THE OCCURRENCE OF SINKHOLES AND DOCUMENT THESE INSPECTIONS ON WATER MANAGEMENT DISTRICT CONDITION COMPLIANCE FORM NUMBER EN-33. TWO COPIES OF THE COMPLETED FORMS MUST BE SENT TO THE WATER MANAGEMENT DISTRICT AND THE LOCAL AGENCY HAVING JURISDICTION ANNUALLY BY MAY 31ST. OF EACH YEAR. THE PERMITTEE MUST REPORT ANY SINKHOLE THAT DEVELOPS WITHIN THE SURFACE WATER MANAGEMENT SYSTEM. THE PERMITTEE MUST NOTIFY THE WATER MANAGEMENT DISTRICT AND LOCAL AGENCY HAVING JURISDICTION OF ANY SINKHOLE DEVELOPMENT IN THE SURFACE WATER MANAGEMENT SYSTEM WITHIN 48 HOURS OF ITS DISCOVERY AND COMPLETE SINKHOLE REPAIR WITHIN 10 DAYS OF SUCH DISCOVERY USING A DISTRICT APPROVED METHODOLOGY.

AFTER THE ROADWAY HAS BEEN CONSTRUCTED TO SUBGRADE, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN

0. THE CONTRACTOR SHALL INSURE THAT A MINIMUM SOIL DENSITY OF 98% COMPACTION IS ACHIEVED UNLESS OTHERWISE NOTED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALL FOOTINGS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT GEOTECHNICAL TESTING AND DESIGN HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

11. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN THE CENTER OF THE DRIVING LANE OPPOSITE EACH FIRE HYDRANT.

12. STORM PIPE LENGTHS SHOWN ON THE PLANS INCLUDE MITERED END SECTIONS. IF THE CONTRACTOR ELECTS TO USE AN APPROVED ALTERNATE, THE PIPE LENGTHS MUST BE ADJUSTED.

13. INLET OFFSETS ARE TO THE CENTERLINES SHOWN ON F.D.O.T. DESIGN STANDARDS INDEXES.

14. THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE

5. ALL REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE MINIMUM CLASS III, UNLESS OTHERWISE APPROVED OR NOTED ON THE PLANS OR SPECIFICATIONS.

16. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.

PUBLIC RIGHTS-OF-WAY

THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY WITH THE RESPECTIVE LOCAL AGENCY(S) HAVING JURISDICTION (CITY OR COUNTY) DIRECTOR OF PUBLIC WORKS AND THE JURISDICTION'S ENGINEER. IN ADDITION, ANY WORK WITHIN A STATE ROAD RIGHT-OF-WAY MUST BE APPROVED AND COORDINATED WITH THE FDOT THROUGH THE LOCAL MAINTENANCE OFFICE FOR

PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM ALL JURISDICTIONS RESPONSIBLE FOR SUCH RIGHT-OF-WAY.

PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE LOCAL AGENCY HAVING JURISDICTION OVER SAID ROW FOR THEIR APPROVAL. THIS PLAN MUST MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.

UTILITIES

-- VOLUSIA COUNTY RECLAIMED WATER: ----- VOLUSIA COUNTY SANITARY SEWER: ----- VOLUSIA COUNTY SOLID WASTE: ----- VOLUSIA COUNTY ELECTRIC: ----- FLORIDA POWER & LIGHT COMPANY TELEPHONE: ----- AT&T CABLE: ----- SPECTRUM GAS: ----- TECO PEOPLES GAS

THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE. LOCATION. AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS PRIOR TO BEGINNING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING SIZE, TYPE, LOCATION, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFYING THE INVOLVED UTILITY PROVIDERS TO MAKE ANY NECESSARY ARRANGEMENTS FOR RELOCATION, DISRUPTION OF SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY. WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. THE RESPECTIVE UTILITY PROVIDERS SHALL RELOCATE UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY PROVIDERS DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED BY THE INVOLVED UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL CONFORM TO FLORIDA STATUTE CHAPTER 556 AND THE SUNSHINE STATE ONE-CALL OF FLORIDA.

CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND THE SUNSHINE UNDERGROUND UTILITIES NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 72 HOURS PRIOR TO START OF WORK. CONTRACTOR IS RESPONSIBLE FOR CONTINUAL MAINTENANCE OF ALL UTILITY LOCATES, FLAGS, MARKING, ET CETERA THROUGH THE ENTIRE DURATION OF CONSTRUCTION.

. UTILITY SERVICES TO THE PROPOSED BUILDING(S) SHALL TERMINATE 5 FEET OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW BUILDING ARCHITECTURAL AND PLUMBING PLANS TO VERIFY PROPER CONTINUATION OF THE PROPOSED UTILITIES FOR LOCATION. ALIGNMENT AND ELEVATION(S) FOR EACH SERVICE TO THE BUILDING(S). SHOULD UTILITY SERVICE LATERALS SHOWN ON THE SITE CIVIL CONSTRUCTION PLANS NOT CORRESPOND WITH BUILDING ARCHITECTURAL OR PLUMBING PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY

THE POWER DISTRIBUTION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE POWER SERVICE PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH SAID POWER SERVICE PROVIDER TO INSURE PROPER CONSTRUCTION PHASING IS ACHIEVED, AND TO ALLOW THE INSTALLATION OF STREET CROSSINGS, SLEEVES, CONDUITS, POLES, TRANSFORMERS, AND OTHER REQUIRED EQUIPMENT. IT IS THE OWNER'S RESPONSIBILITY TO ACQUIRE ANY NECESSARY EASEMENTS AS A RESULT OF THE POWER SERVICE PROVIDER'S DESIGN AND RESPECTIVE INSTALLATION LOCATIONS.

. THE TELEPHONE, CABLE TV, DATA, AND/OR COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED BY THEIR RESPECTIVE SERVICE PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH SAID SERVICE PROVIDER TO INSURE PROPER CONSTRUCTION PHASING IS ACHIEVED. CONFLICT FREE. AND TO ALLOW THE INSTALLATION OF STREET CROSSINGS, SLEEVES, CONDUITS, POLES, AND OTHER REQUIRED EQUIPMENT. IT IS THE OWNER'S RESPONSIBILITY TO ACQUIRE ANY NECESSARY EASEMENTS AS A RESULT OF THE SERVICE PROVIDERS' DESIGNS AND RESPECTIVE INSTALLATION LOCATIONS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY COORDINATE THE FINAL DESIGNS AND SUBSEQUENT INSTALLATIONS OF ALL SERVICE PROVIDERS' UTILITIES AND THEIR MINIMUM CRITERIA AS SET FORTH THEREIN FOR ITEMS SUCH AS MAINTAINING THE MINIMUM SEPARATION DISTANCES BETWEEN THE VARIOUS UTILITIES.

UNLESS OTHERWISE NOTED, THE TOP 24 INCHES OF ALL UTILITY TRENCHES WITHIN ROADWAYS IN MAXIMUM 12" LIFTS, SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY; ALL OTHER UTILITY TRENCHES SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DENSITY.

THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITIES CONSTRUCTION DEPARTMENT FOR THE CORRESPONDING LOCAL UTILITY PROVIDED A MINIMUM OF 48 HOURS PRIOR TO STARTING ANY UTILITIES CONSTRUCTION.

0. PIPE ALIGNMENT, DEFLECTION, AND INTEGRITY TESTING SHALL BE PERFORMED BY THE 'LAMPING' METHOD AND LITILIZING VIDEO INSPECTION. THE CONTRACTOR SHALL PERFORM INTERNAL VIDEO INSPECTION FOR THE GRAVITY SEWER TO CHECK PIPE ALIGNMENT AND DEFLECTION.

11. ALL FIRE HYDRANTS AND APPARATUS MUST COMPLY WITH FFPC SECTION 3-5.6 AND SECTION 3-7.1 WHEN APPLICABLE.

12. MAXIMUM SPACING OF FIRE HYDRANTS IS 300' IN ACCORDANCE WITH DEBARY LAND DEVELOPMENT CODE.

13. UNDERGROUND MAIN CONTRACTOR MUST APPLY FOR A FIRE PERMIT FOR THE INSTALLATION OR MODIFICATION OF ANY UNDERGROUND MAINS SERVING FIRE HYDRANTS AND/OR FIRE PROTECTION SYSTEMS PRIOR TO ANY INSTALLATION. IF THE WATER DISTRIBUTION SYSTEM AND FIRE HYDRANTS ARE LOCATED IN A RIGHT-OF-WAY OR RECORDED EASEMENT AND OWNED/INSTALLED/MAINTAINED BY THE WATER PURVEYOR, WE WILL ONLY REQUIRE INSTALLATION TO THE WATER PURVEYOR'S STANDARDS FOR UNDERGROUND COMPONENTS AND CONNECTIONS. HOWEVER, HYDRANTS MUST BE IN COMPLIANCE WITH HYDRANT SPACING, LOCATION, DISTRIBUTION, COLOR CODING, AND NEEDED FIRE FLOW MINIMUS AS SPECIFIED IN CITY FIRE CODE, UNDERGROUND MAIN AND FIRE HYDRANT INSTALLATIONS ON PRIVATE PROPERTY WILL REQUIRE A FIRE PERMIT AND FULL COMPLIANCE WITH NFPA 24. [CITY FIRE CODE, SECTION 24.13(T)(13)].

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14. MAINTAIN 3' SEPARATION BETWEEN PRESSURE PIPES AND STORM STRUCTURES.

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- . ALL PUBLIC WATER SYSTEM COMPONENTS. EXCLUDING FIRE HYDRANTS. THAT WILL BE INSTALLED AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62-55.320 (3)(B), F.A.C.
- $3.\,$ ALL PIPE AND PIPE FITTINGS INSTALLED WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.
- . ALL PIPE AND PIPE FITTINGS INSTALLED WILL BE COLOR-CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320 (21)(B) 3. F.A.C., USING BLUE AS A PREDOMINANT COLOR, (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE. AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER. TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE
- . ALL FIRE HYDRANTS THAT HAVE UNPLUGGED, UNDERGROUND DRAINS WILL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER. STORMWATER FORCE MAIN. PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10. F.A.C.: AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".
- . NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEMS APPURTENANCES WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER. AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.
- . NEW OR ALTERED WATER MAINS WILL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
- $3.\,$ A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE: AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE.
- 9. ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED WILL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT.
- 10. WATER MAINS THAT ARE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555,330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600 AS INCORPORATED INTO RULE 62-555,330 FAC.
- . WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, WILL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.

- BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR (D) THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES. OR (E) WHICH CONTAINS GASOLINE. DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS. OR (F) WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS). ASBESTOS. LEAD OR UREA FORMALDEHYDE FOAM INSULATION.
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED HEREIN) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW
- CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL. RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING ANY HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS AS OUTLINED HEREIN.
- CONTRACTOR AGREES TO INDEMNIFY. DEFEND. PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS AS DESCRIBED
- SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THIS PARAGRAPH, CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER IN WRITING. IN THE EVENT OF ANY SPILL. RELEASE OR ANY OTHER REPORTABLE OCCURRENCE. CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY(S) AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS PROPERTY OR THE ENVIRONMENT.
- IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE. UNDERGROUND STORAGE TANK OR OTHER CONTAINER. OF ANY KIND. THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER IN WRITING.
- 3. IF CONTRACTOR OR ITS SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS AS OUTLINED HEREIN, OWNER MAY, BUT IS NOT OBLIGATED TO. GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH THE REQUIREMENTS OF THE PARAGRAPH WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE OR WITHIN THE TIME OF AN ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY. WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT.
- ALL AREAS USED FOR FUEL STORAGE SHALL HAVE THE PROPERTY OWNER'S PRIOR APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES.

- CONTRACTOR SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD AND APPLICABLE STAFF OF THE LOCAL AGENCY HAVING JURISDICTION (E.G. CITY OR COUNTY) PRIOR TO ANY DISTURBANCE OF LAND, CLEARING OR DEMOLITION. CONTRACTOR MUST PROVIDE WRITTEN NOTICE OF THE PRE-CONSTRUCTION MEETING'S TIME, DATE AND LOCATION TO THE OWNER AND
- IF ANY TESTING, INSPECTION OR APPROVAL UNDER THIS PARAGRAPH REVEAL DEFECTIVE WORK, CONTRACTOR SHALL NOT BE ALLOWED TO RECEIVE ANY ASSOCIATED COSTS AND THE OWNER SHALL BE ENTITLED TO DEDUCT FROM THE CONTRACT PRICE, BY ISSUING A CHANGE ORDER, OWNER'S COSTS ARISING OUT OF THE DEFECTIVE WORK, INCLUDING COSTS OF REPEATED PROCEDURES,
- SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE. WATER SYSTEM. SEWER SYSTEM. AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER 48-HOUR ADVANCE NOTIFICATION FOR THE FOLLOWING CONSTRUCTION AND

RECORD DRAWINGS & CERTIFICATION

- PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A COPY OF THE MINIMUM REQUIREMENTS FOR AS-BUILT RECORD DRAWING ACCEPTANCE FOR THE AGENCY HAVING JURISDICTION (SUCH AS THE CITY OR COUNTY) AND/OR UTILITY SERVICE PROVIDER, FAMILIARIZE THEMSELVES WITH THESE REQUIREMENTS. AND PRODUCE AS-BUILT RECORD DRAWINGS THAT SUBSTANTIALLY COMPLY WITH OR
- AS-BUILT DRAWINGS SHALL BE ACCURATELY RECORDED AND CERTIFIED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL MEET THE MINIMAL TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYOR'S AND MAPPERS IN CHARTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.
- THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SUFFICIENT AS-BUILT INFORMATION TO CONVEY THAT THE CONSTRUCTION HAS BEEN COMPLETED WITHIN ACCEPTABLE TOLERANCES TO THE APPROVED DESIGN AND SHALL INCLUDE BUT IS NOT LIMITED TO THE
 - 5. LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM THE MAIN LINE. 6. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE

 - 2. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE

 - BUILDING(S), SIDEWALKS, PAVEMENT, CURB & GUTTER. SUBMIT CERTIFIED DRAWINGS TO THE ENGINEER TWO WEEKS PRIOR TO FINAL
- 4. THE ENGINEER STRONGLY RECOMMENDS THAT THE CONTRACTOR KEEP A DAILY "AS-BUILT" SET OF DRAWINGS WHILE THE WORK BEING
- THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER. RETEST AND/OR PERFORM ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- S. FINAL "AS-BUILT" DRAWINGS FOR POTABLE WATER SHALL CLEARLY INDICATE COMPLIANCE TO MINIMUM SEPARATION DISTANCES OR REQUIRED PIPE UPGRADES. ALL WATER MAIN AND FORCE MAIN PIPE FITTINGS SHALL BE REFERENCED TO AT LEAST TWO VISIBLE
- THE CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL CERTIFY ALL SITE, UTILITY, AND ROADWAY COMPACTION AND ALL UNDERDRAIN
- 8. ALL PVC WATER MAINS AND PVC FORCE MAINS SHALL BE INSTALLED WITH A SOLID COPPER "LOCATING WIRE" WITH SUFFICIENT

CITY OF DEBARY USE PERMIT NOTES

- NOTIFY CITY OF DEBARY DEVELOPMENT ENGINEERING DIVISION AT (386) 736-5926 A MINIMUM OF 24 HOURS PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE PERMITTEE TO OBTAIN THE APPROPRIATE INSPECTIONS PRIOR TO PROCEEDING WITH WORK SHALL NOT RELIEVE THE PERMITTEE FROM REEXCAVATION OR OTHER MEASURES NECESSARY FOR THE INSPECTION OF WORK.
- PROVIDE A MINIMUM ADVANCED NOTIFICATION OF TWO (2) BUSINESS DAYS PRIOR TO PROPOSED WORK.
- (7) DAYS PRIOR TO ANY SIDEWALK, LANE OR ROAD CLOSURE (INCLUDING FLAGGING OPERATIONS).
- OPERATIONS WITHIN THE CITY OF DEBARY RIGHT-OF-WAY SHALL NORMALLY BE CONDUCTED 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY. ANY DEVIATION FROM THESE HOURS REQUIRES PRIOR APPROVAL FROM THE CITY DEVELOPMENT ENGINEER. EMERGENCY REPAIRS ARE EXCLUDED FROM THIS TIME RESTRICTION.
- ALL EXISTING SIDEWALKS WITHIN CITY OF DEBARY RIGHT-OF-WAY SHALL EITHER REMAIN OPEN OR BE PROVIDED A TEMPORARY WALKWAY IN ACCORDANCE WITH THE CURRENT VERSION OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD INDEX NO. 660, ANY
- DAMAGE TO SIDEWALKS SHALL BE REPAIRED AND/OR REPLACED IN LIKE KIND BY THE CONTRACTOR. NEW SIDEWALKS AND SECTIONS THROUGH DRIVEWAYS MUST BE AT A 1.5% CROSS SLOPE AND 2% MAXIMUM CROSS SLOPE PER ADA STANDARDS
- DRIVING OR STAGING OF CONSTRUCTION VEHICLES OR MATERIALS IS NOT PERMITTED WITHIN THE CITY RIGHT-OF-WAY OR ON PEDESTRIAN WALKWAYS AND PATHS. THERE SHALL BE NO OVERNIGHT CONSTRUCTION VEHICLE RELATED PARKING, CONSTRUCTION MATERIAL PLACEMENT OR STORAGE OF ANY KIND PERMITTED WITHIN THE CITY OF DEBARY RIGHT-OF-WAY.
- NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OR UNATTENDED OVERNIGHT, UNLESS APPROVED BY THE CITY OF DEBARY DEVELOPMENT ENGINEERING INSPECTOR. EXCAVATIONS SHALL MEET THE DROP OFF PROTECTION REQUIREMENTS OF THE LATEST FDOT

DESIGN STANDARD INDEX NO. 600.

RESTORATION SHALL BE REQUIRED FOR ANY DAMAGE TO SIDEWALKS, CURBS, OR OTHER EXISTING STRUCTURES IN THE RIGHT-OF-WAY. ALL DISTURBED AREAS WITHIN THE CITY OF DEBARY RIGHT OF WAY SHALL BE RE-GRADED AND SODDED. SEED AND MULCH IS NOT AN ACCEPTABLE ALTERNATIVE TO SODDING.

SPECIFIC NOTES

- EXISTING SPOT GRADES. CONTOURS AND OTHER TOPOGRAPHIC FEATURES SHOWN WITHIN THIS SET OF CONSTRUCTION PLANS WERE TAKEN FROM SURVEYS PREPARED BY BENCHMARK SURVEYING & MAPPING. LLC.
- NO CONSTRUCTION ON THE PROPOSED PORTIONS OF THIS PROJECT MAY COMMENCE UNTIL A MANDATORY PRE-CONSTRUCTION MEETING IS HELD WITH THE CITY, AS STATED IN THE APPROVED DEVELOPMENT ORDER FROM THE CITY OF DEBARY, ANY CESSATION OF CONTINUOUS ON-GOING CONSTRUCTION ON THIS PROJECT OF 90 DAYS OR MORE SHALL TRIGGER A REQUIREMENT FOR ANOTHER PRE-CONSTRUCTION MEETING BE HELD WITH THE CITY PRIOR TO CONTINUATION OF THE CONTINUING CONSTRUCTION.
- NOTIFY CITY OF DEBARY DEVELOPMENT ENGINEERING DIVISION AT 386-736-5926 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CITY OF DEBARY TRAFFIC ENGINEERING IS NOT A MEMBER OF SUNSHINE ONE CALL. ALL TRAFFIC SIGNAL LOCATES SHALL BE REQUESTED FROM TRAFFIC ENGINEERING AT 386-736-5968.

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- ANY LANE OR ROAD CLOSURE (INCLUDING FLAGGING OPERATIONS) REQUIRES REVIEW AND APPROVAL IN ADVANCE AND A SEVEN (7) DAY MINIMUM NOTICE TO CITY OF DEBARY TRAFFIC OPERATIONS.
- WHEN WORKING IN THE LIMITED ACCESS RIGHT-OF-WAY, A TEMPORARY RIGHT-OF-WAY FENCE SHALL BE PLACED BETWEEN THE ROADWAY AND THE WORK AREA. THE INTEGRITY OF THE FENCE SHALL BE MAINTAINED AT ALL TIMES.

Dewberry Engineers Inc. 800 NORTH MAGNOLIA AVE SUITE 1000 ORLANDO, FL 32803 PHONE: 407.843.5120

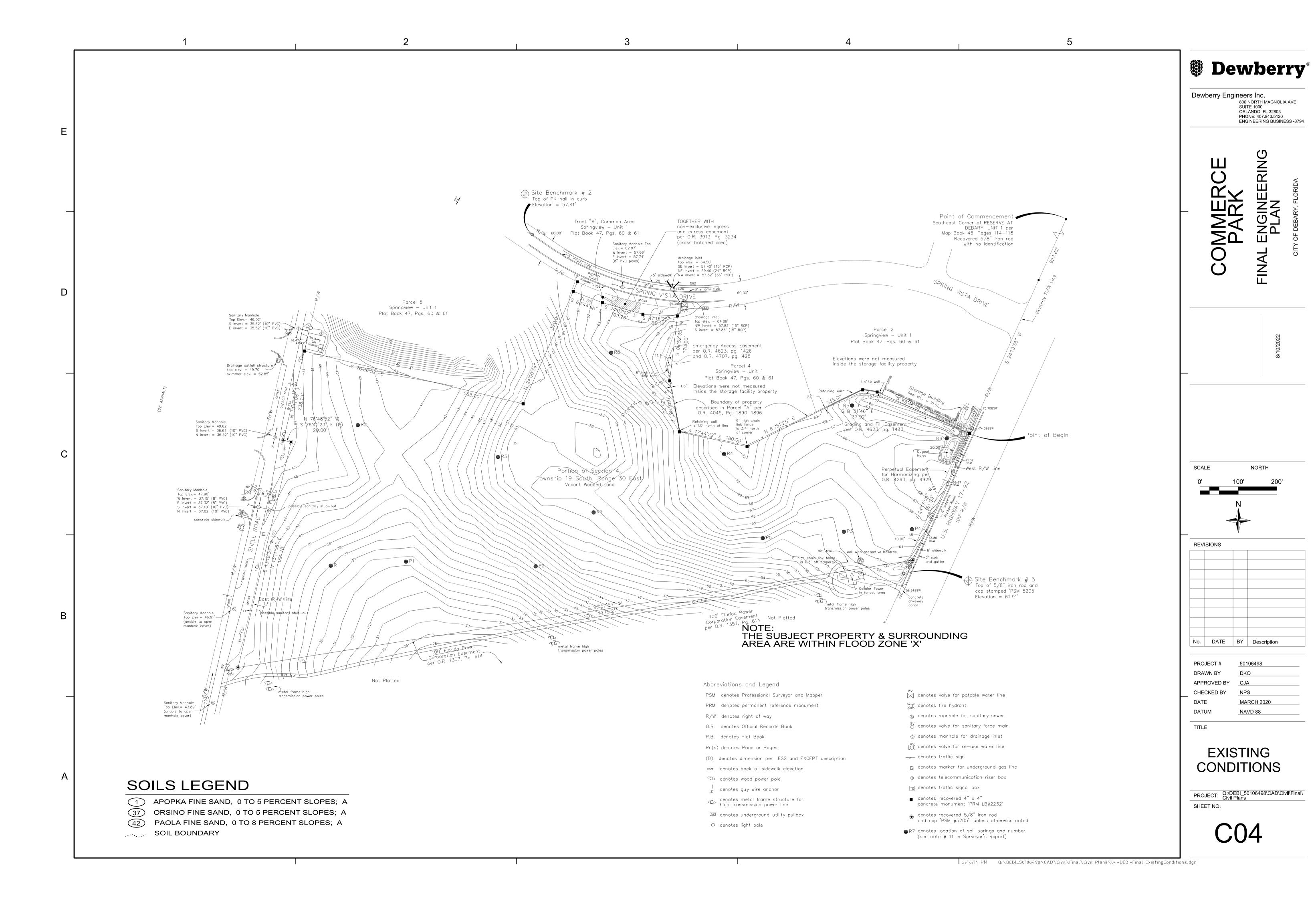
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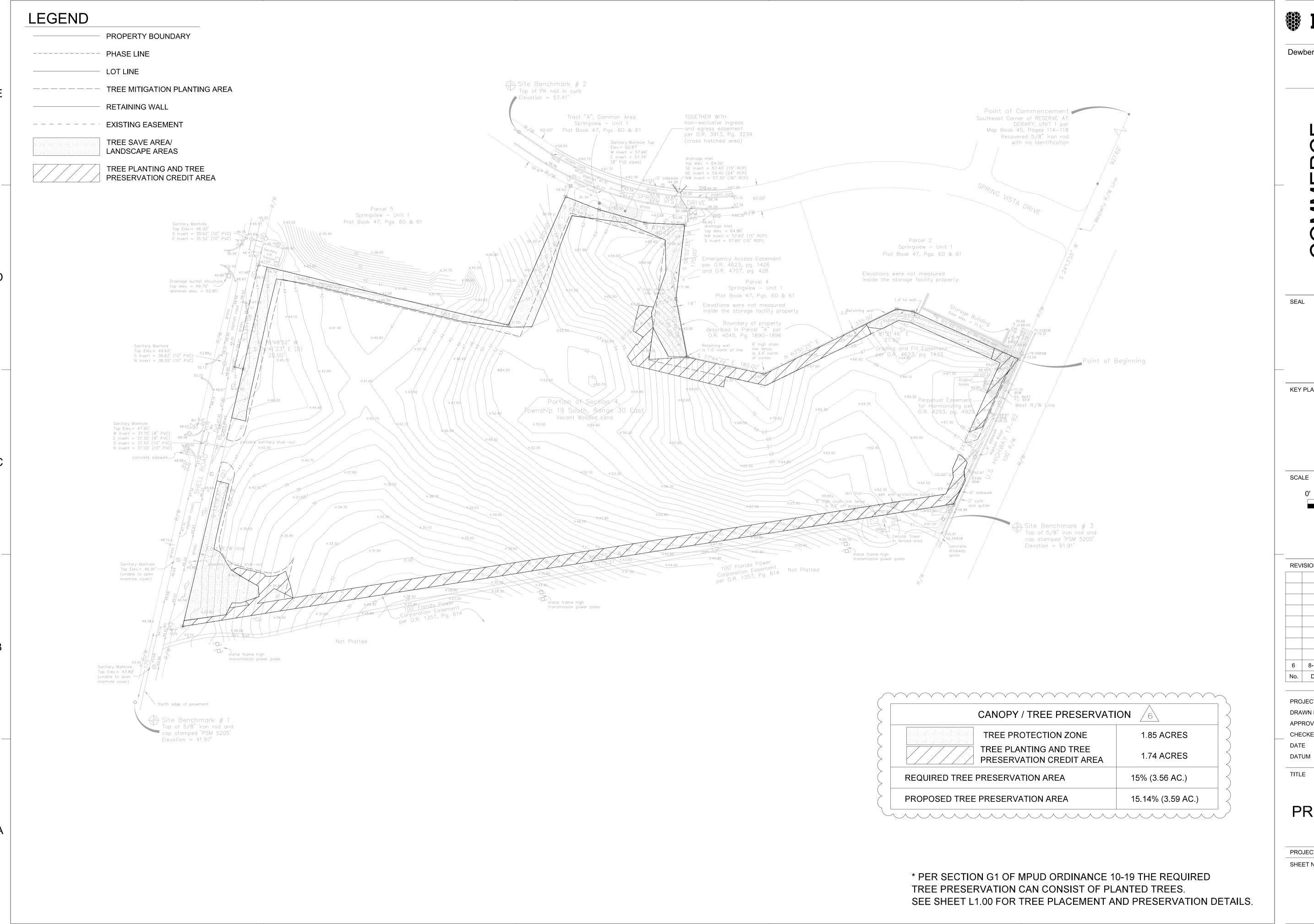
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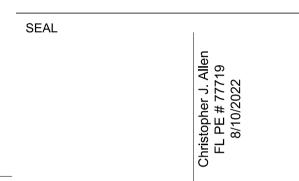
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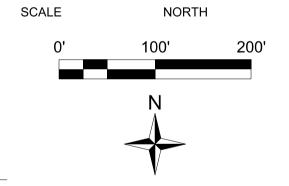


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KEY PLAN



REVISIONS

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TREE **PRESERVATION PLAN**

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COMMERCE PARK INAL ENGINEERING PLAN

Christopher J. Allen FL PE # 77719

SCALE NORTH

REVISIONS

No. DATE BY Description

PROJECT # 50106498

DRAWN BY DKO

APPROVED BY CJA

CHECKED BY NPS

DATE MARCH 2020

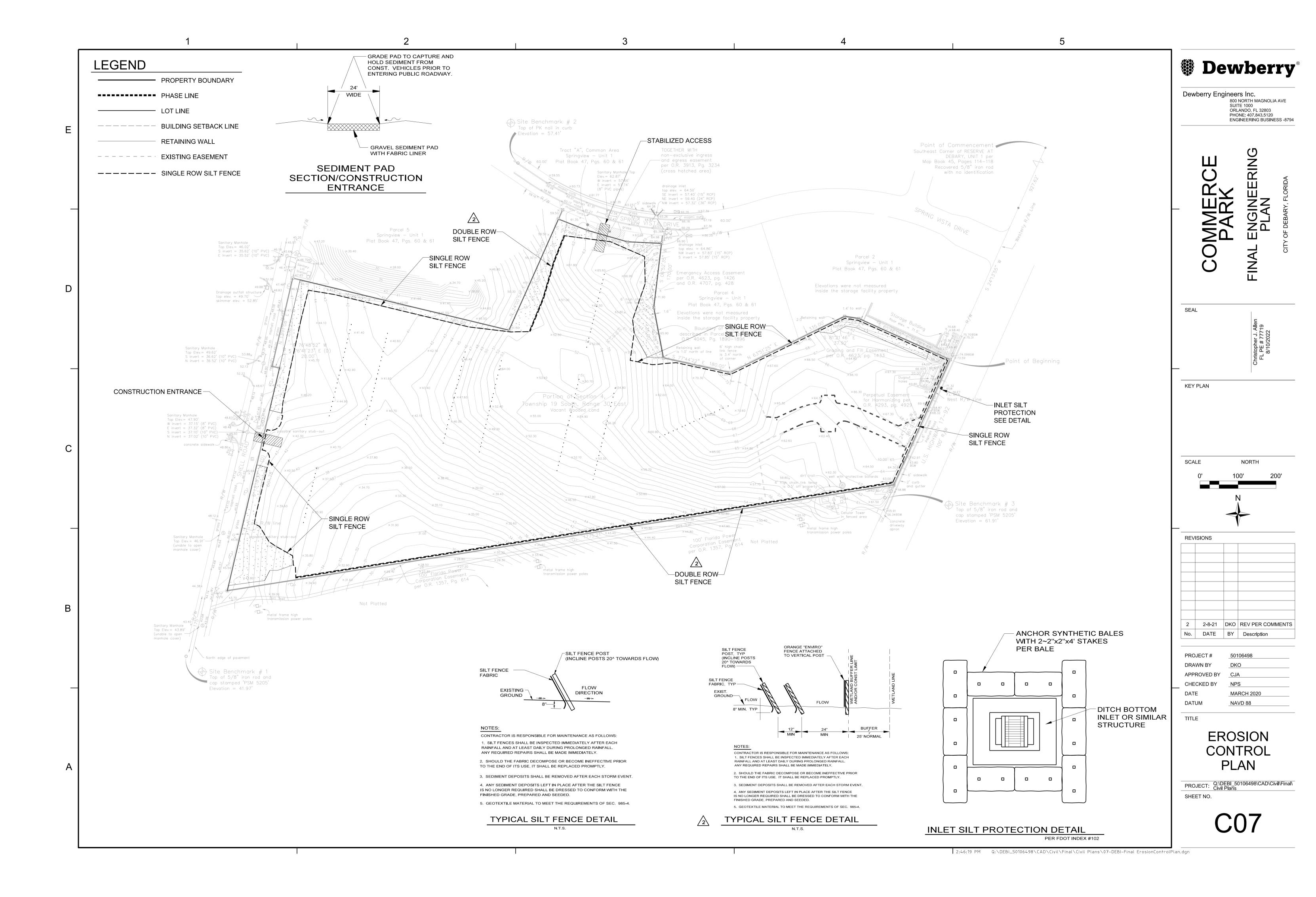
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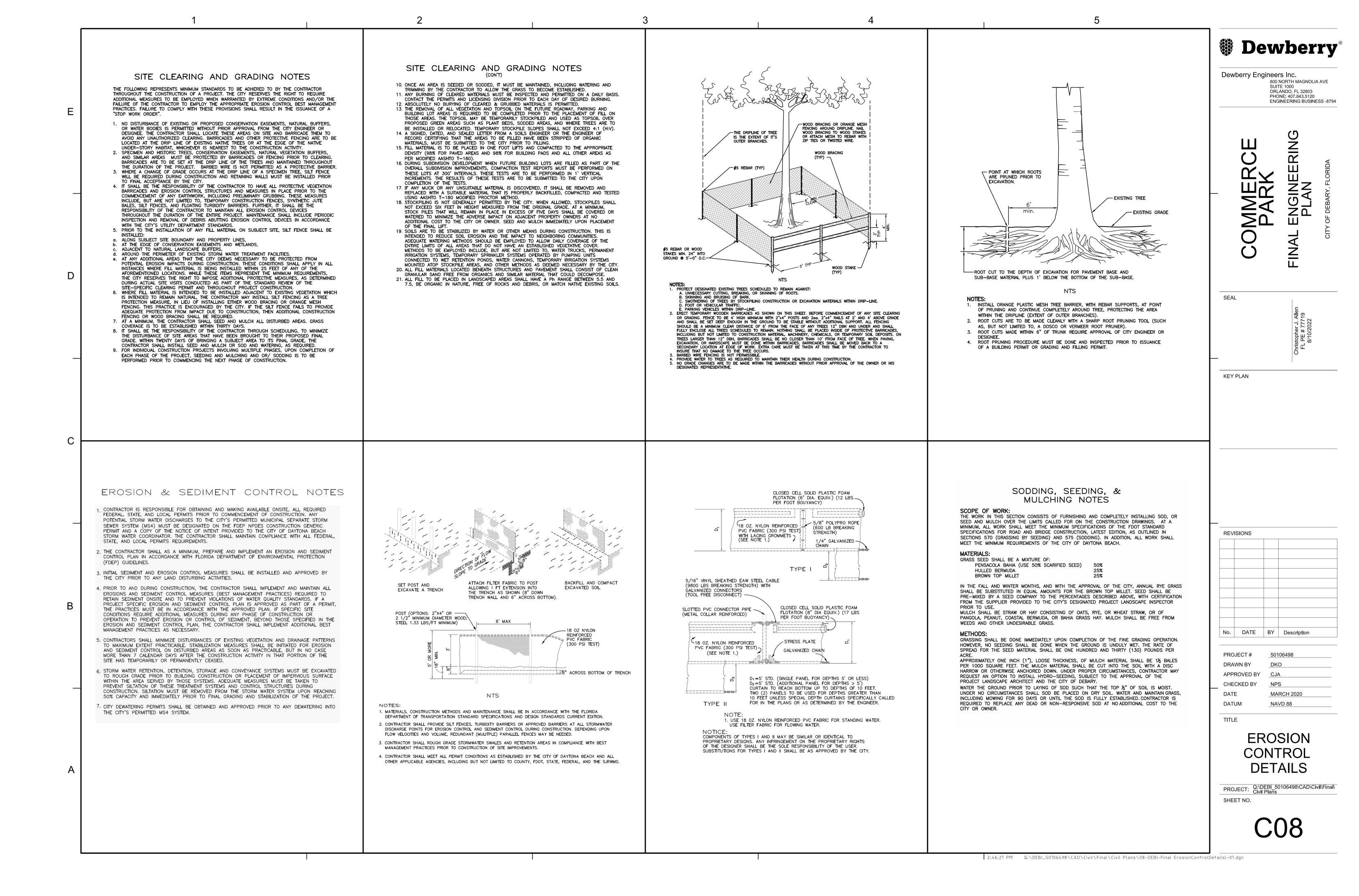
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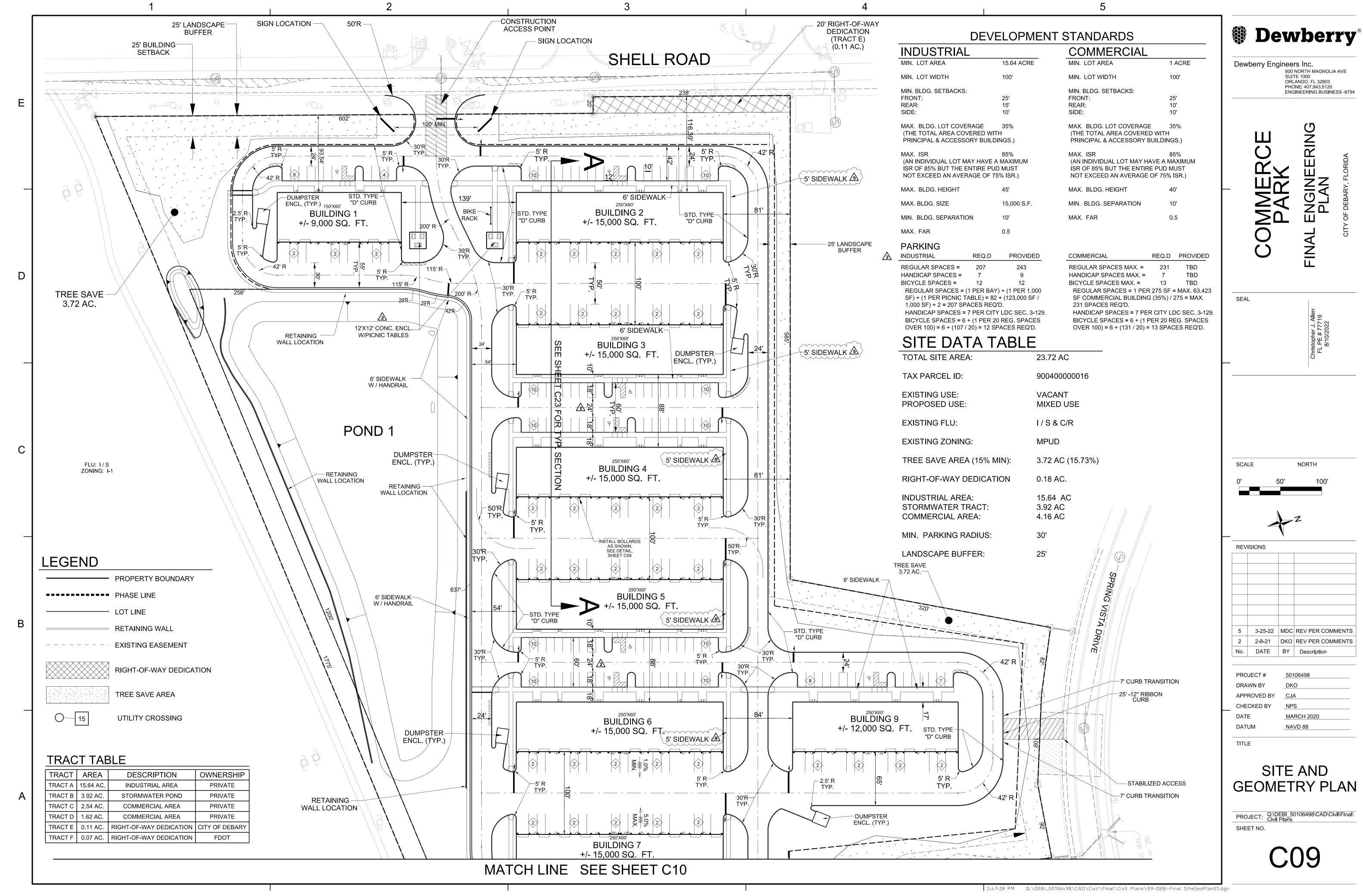
STORMWATER POLLUTION PREVENTION PLAN

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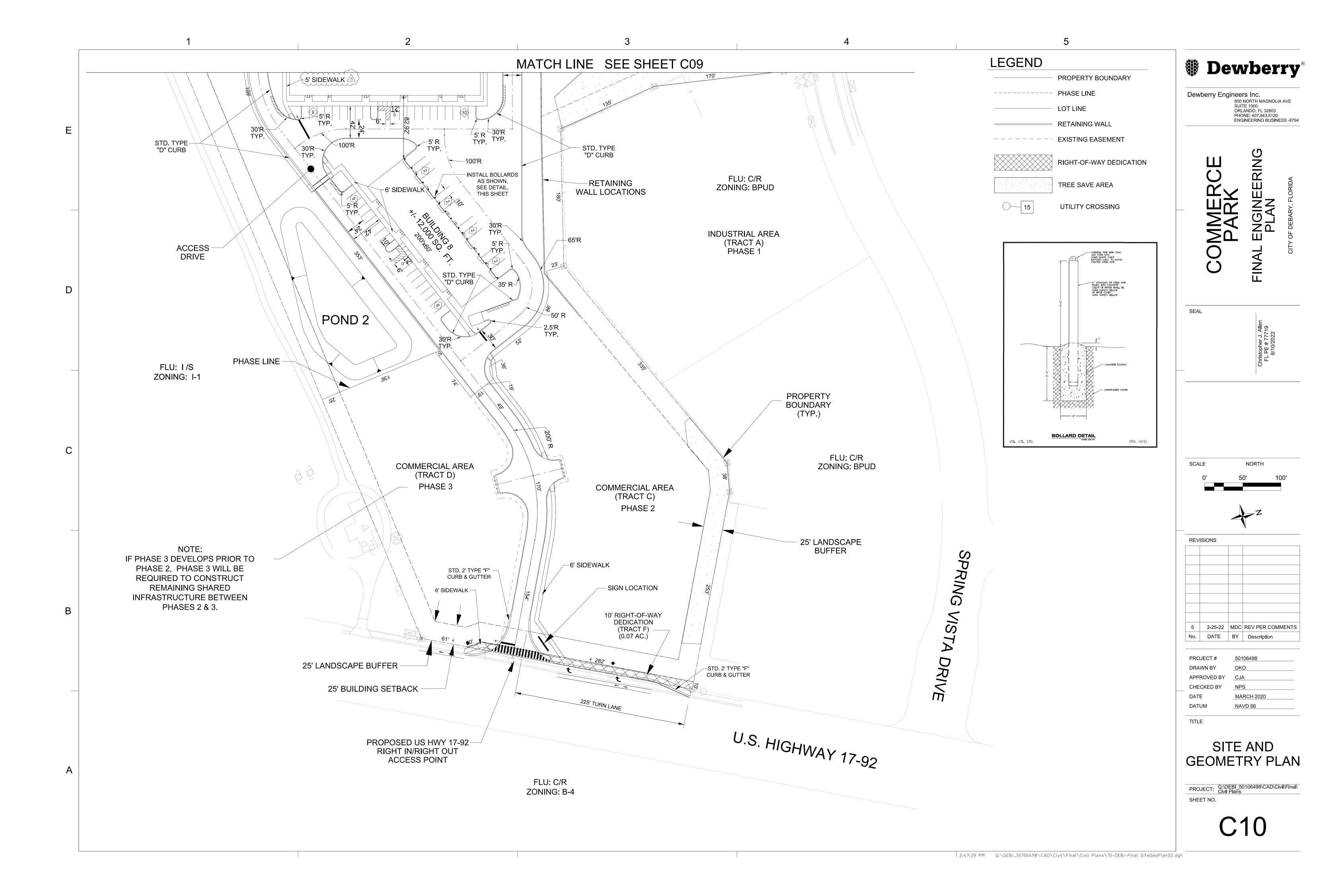
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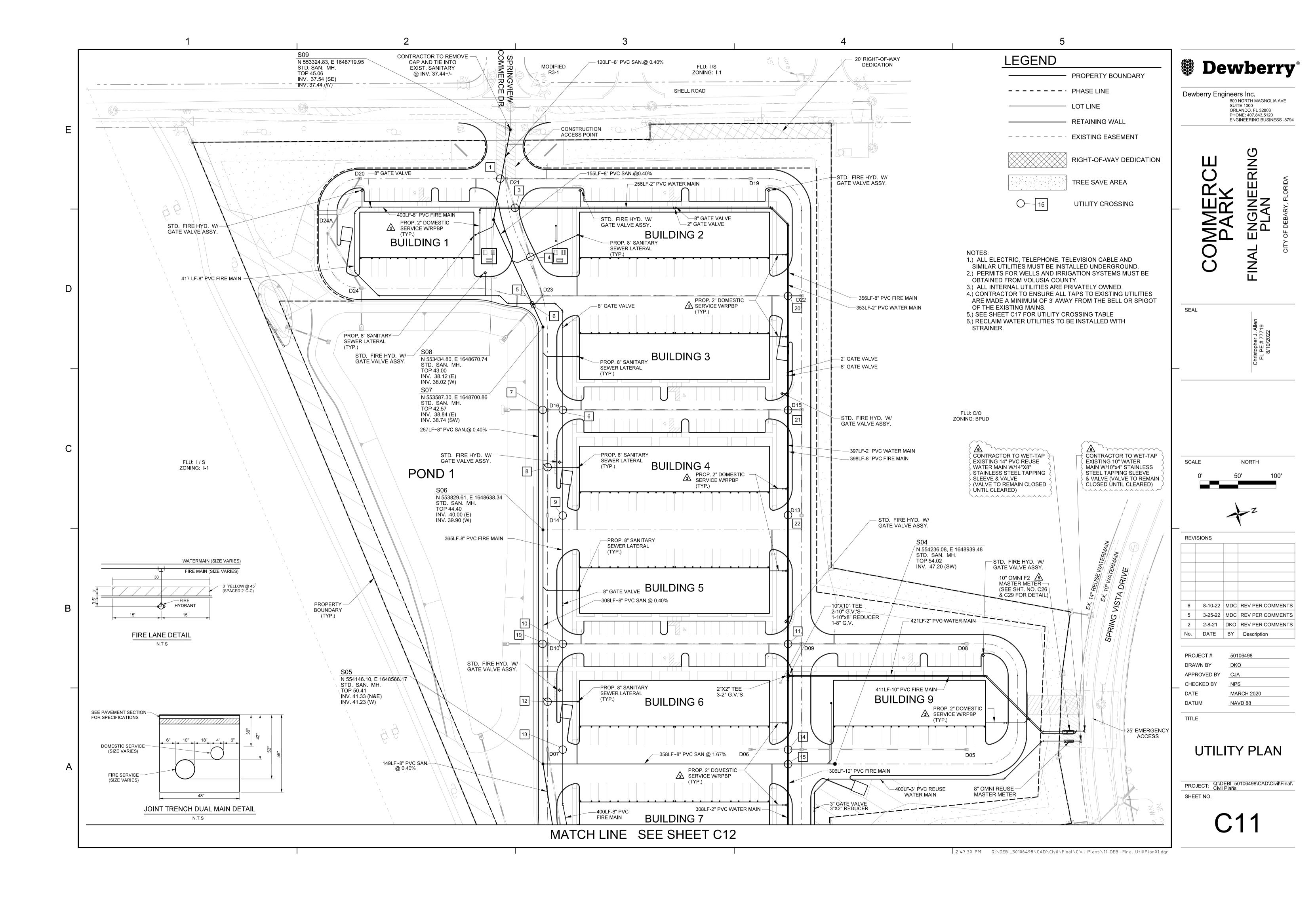


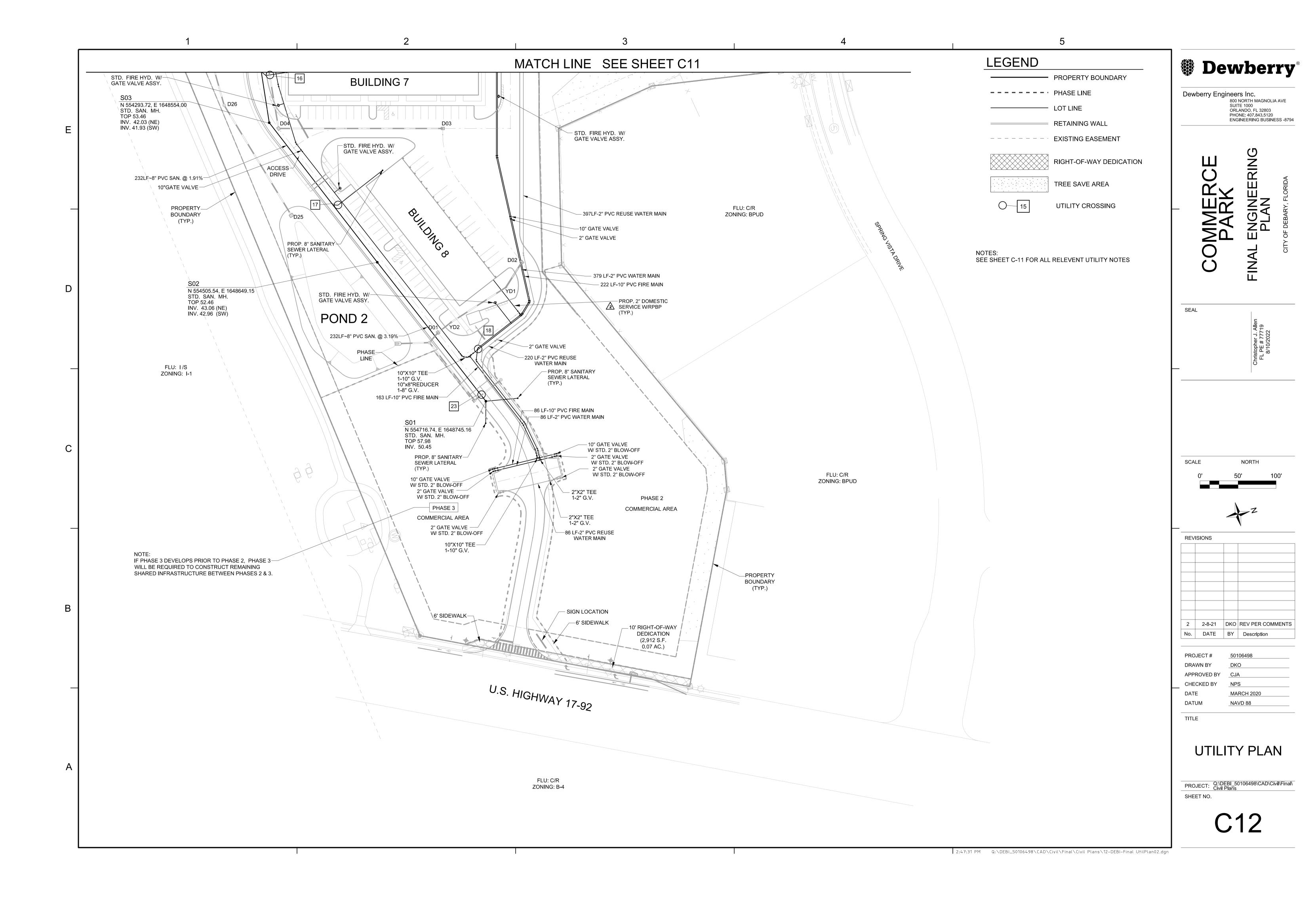


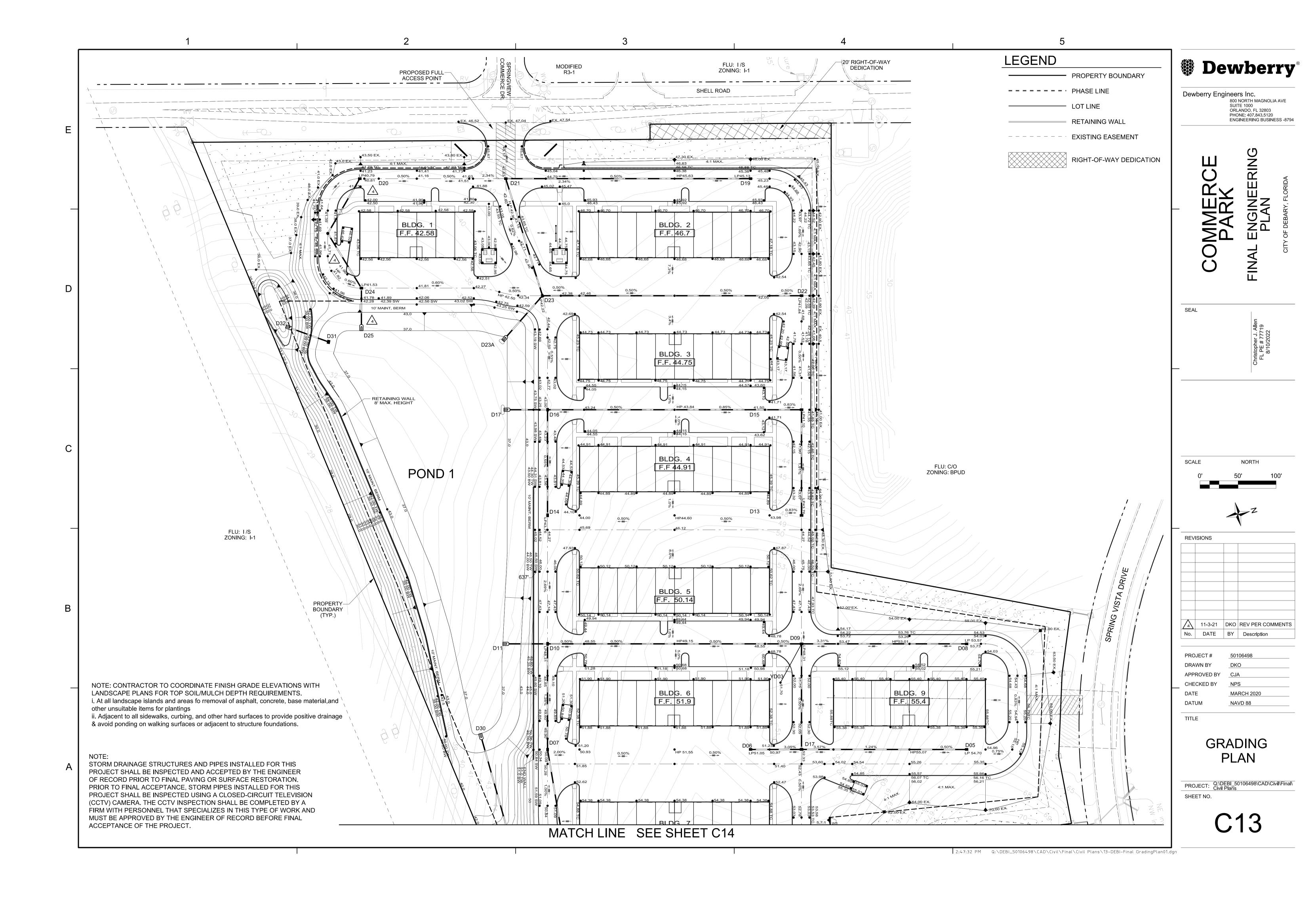


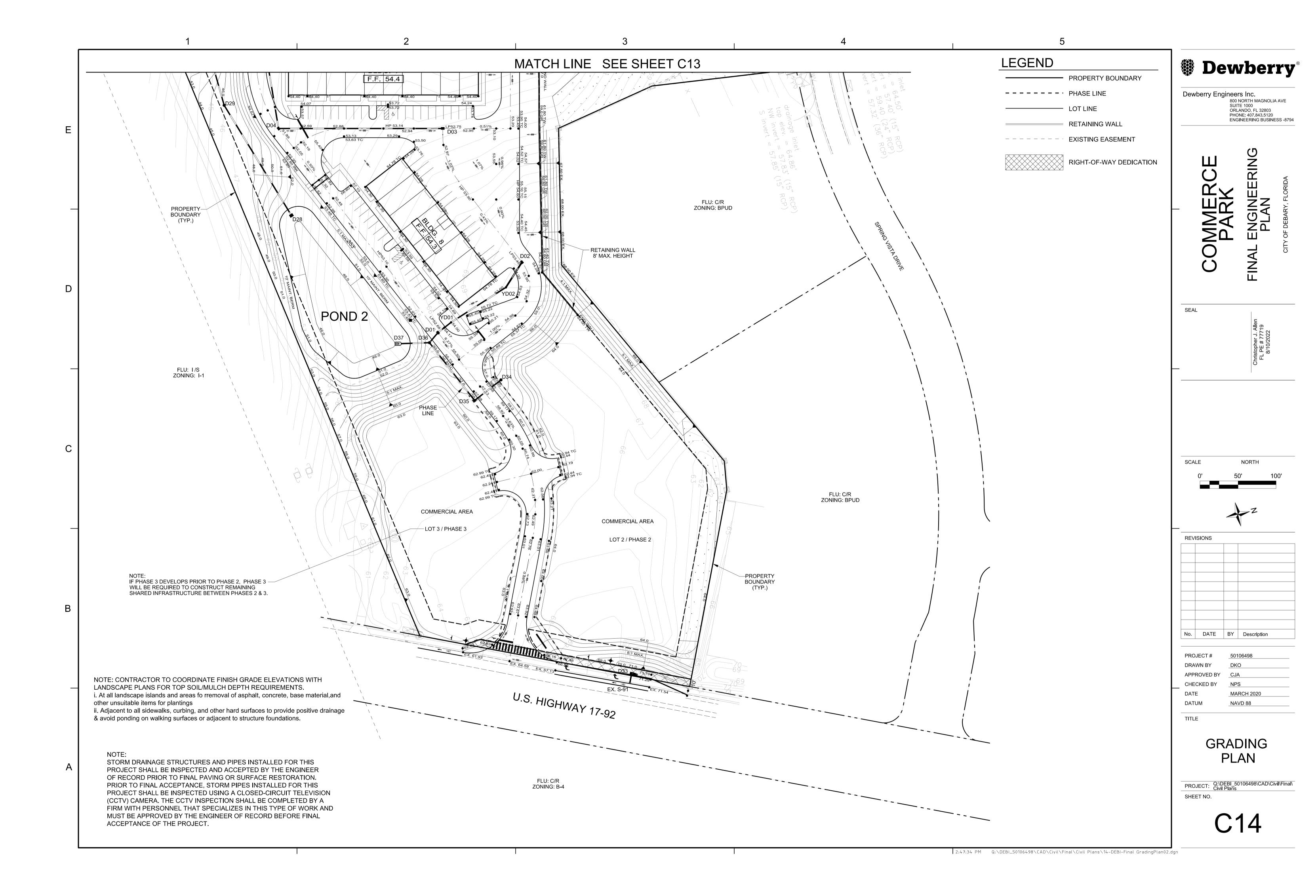
GEOMETRY PLAN

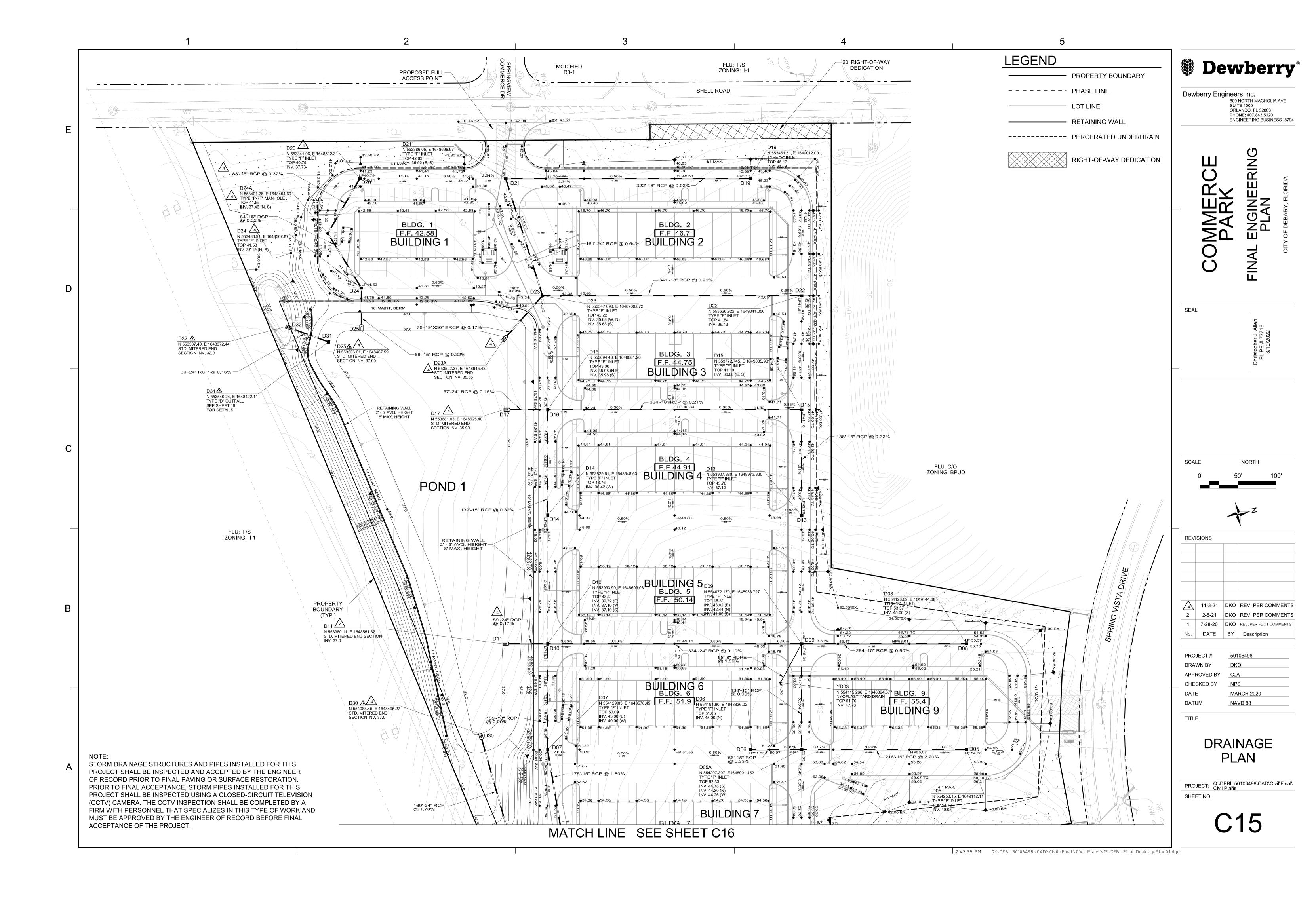


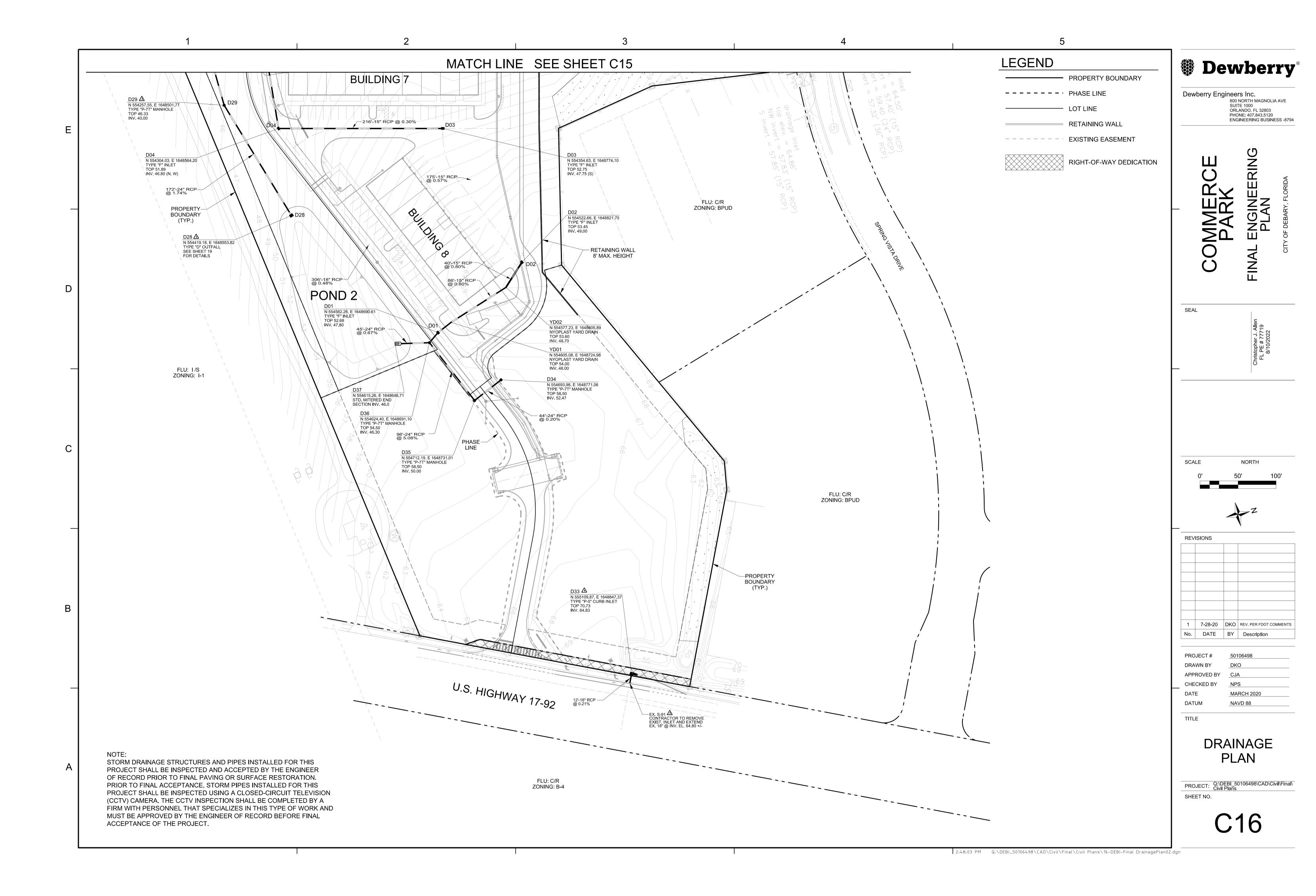












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				U	TILITY CR	OSSING T	ABLE				
CROSSING NUMBER	PIPE INFO	WATER SIZE	WATER ELEV'S	FIRE SIZE	FIRE ELEV'S	STORM SIZE	STORM ELEV'S	SANITARY SIZE	SAN ELEV'S	SEPARATION (FEET)	COMMENT
	INV	-	-	-	-	-	-	-	-	-	
	BOT		-		-		-		-		
•	ТОР		37.05		37.05		-	_	38.78		SANITARY OVER
2	INV	4"	36.72	10"	36.22	-	-	8"	38.05	1.00	WATER & FIRE
	ВОТ		36.66		36.16		-		-		
	TOP		42.26		40.05		38.10	_	-		WATER & FIRE
3	INV	4"	41.92	10"	39.17	24"	35.85		-	1.02'	OVER STORM
	ВОТ		41.86		39.12		-		-		0 1 2 1 1 0 1 0 1 1 1 1
_	TOP		-		-		36.51]	-		SAN. LATERAL
4	INV	-	-	-	-	18"	34.82	_ 4"	38.26	1.69'	OVER STORM
	ВОТ		-		-		-		38.20		37211313111
	TOP		-		-		37.53	_	39.25		SANITARY
5	INV	-	-	-	-	24"	35.68	8"	38.62	1.03'	OVER STORM
	ВОТ		-		-		35.41		38.56		OVERSTORIVI
	TOP		-		39.01		36.28		-		FIRE OVER
6	INV	-	-	10"	38.12	24"	34.03	- [-	1.78	
	ВОТ		-		38.06		33.78	<u> </u>	-		STORM
	TOP		-		-		38.22		40.01		0441747
7	INV	-	-	-	-	24"	35.97	8"	39.28	1.00'	SANITARY
-	ВОТ		-		-	1	35.72	1	39.22	1	OVER STORM
	TOP		-		_		-		40.29		
8	INV	_	-	_	-	18"	41.57	1 8"	39.56	1.09	SAN. LATERAL
O	ВОТ		_		-		41.38	† 1	-		OVER STORM
	TOP		_		40.87		38.98		-		
9	INV	_	_	10"	39.98	18"	37.29	† <u> </u>	-	1.00	FIRE OVER
O	ВОТ		_	10	39.92	-	-	 	-	- 1.00	STORM
	TOP		_		46.19		42.45		-		
10	INV			10"	45.30	18"	40.76	 		2.78	FIRE OVER
10	BOT	-	-	10		- 10		-		2.70	STORM
			45.40		45.24		- 42.57		<u>-</u>		
11	TOP	411	45.40	4011	45.40	40"	43.57	-	-	4.00	WATER & FIRE
11	INV	4"	45.07	10"	44.57	18"	41.88	- I	-	1.00	OVER STORM
	BOT		-		44.51		-		-		
40	ТОР		-		-		45.34	-l	41.61		STORM OVER
12	INV	-	-	-	-	24"	43.09	_ 4"	40.88	1.64	SAN. LATERAL
	ВОТ		-		-		42.84		-		
4.0	TOP		-		47.49		45.42]	-		FIRE OVER
13	INV	-	-	10"	46.60	18"	43.73	[_	1.12	STORM
	ВОТ		-		46.54		-		_		OTORW
	TOP		-		48.78		46.83	_	-		WATER & FIRE
14	INV	-	-	10"	47.89	18"	45.14	[-	1.00	OVER STORM
	ВОТ		-		47.83		-		-		OVERSTORM
	TOP		48.88		48.88		-		46.89		\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
15	INV	4"	48.49	10"	47.99	_	-	8"	46.16	1.04	WATER & FIRE
	ВОТ		-		47.93	1	-		-		OVER SANITARY
	TOP		-		-		-		41.94		07001401/50
16	INV	-	-	-	-	18"	44.76	4"	41.55	2.62	STORM OVER
. •	ВОТ		-		-	1	44.56	1	-	1	SAN. LATERAL
	TOP		-		-		-		43.30		0.7 0-1-1-1-1
17	INV	_	-	-	-	18"	47.75	8"	42.57	4.20	STORM OVER
	ВОТ		_		_	1	47.50	<u> </u>	-	1	SAN. LATERAL
	TOP		53.40		55.35		-		-		
18	INV	4"	53.01	10"	54.46	<u>-</u>	_	† <u> </u>	-	1.00	FIRE OVER
. •	ВОТ	•	52.95	. 5	54.40	†	_	†	-	1	WATER
	TOP		-		- 34.40		39.34	+	41.33	+	
19 INV		_	-	_	-	24"	37.09	8"	40.60	1.20'	SANITARY
	BOT	-	-	-	-		36.84	- °	40.60	1.20	OVER STORM
	TOP		38.93		38.93		37.10				
20	INV	<i>A</i> "		10"		18"		-	-	1.00	WATER & FIRE
20		4"	38.60	10"	38.10	18	35.41	8"	<u>-</u>	1.00	OVER STORM
	BOT		52.40				-	+	<u>-</u>	+	
04	TOP	4.11	53.40	40"	55.35	40"	-	-	-	4.00	WATER & FIRE
21	INV	4"	53.01	10"	54.46	18"	-	-	-	1.00	OVER STORM
	BOT		52.95		54.40		-		-		
00	ТОР		40.90		40.90		39.07	_	-	_	WATER & FIRE
22	INV	4"	40.58	10"	40.07	18"	37.38	8"	-	1.00	OVER STORM
	ВОТ		-		-		37.19		-		O V ETY O TOTAIN
					1	l	54 65		50.86	1	l
	TOP		-		-		54.65	_	30.00	_	
23	INV	4"	-	10"	-	18"	52.40	8"	50.86	1.29	STORM OVER SANITARY

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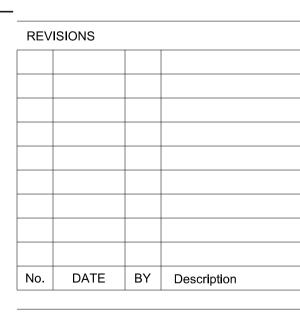
Dewberry Engineers Inc.

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ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS -8794

DMMERCE PARK

EAL

Christopher J. Allen FL PE # 77719 8/10/2022



DRAWN BY DKO

APPROVED BY CJA

CHECKED BY NPS

DATE MARCH 2020

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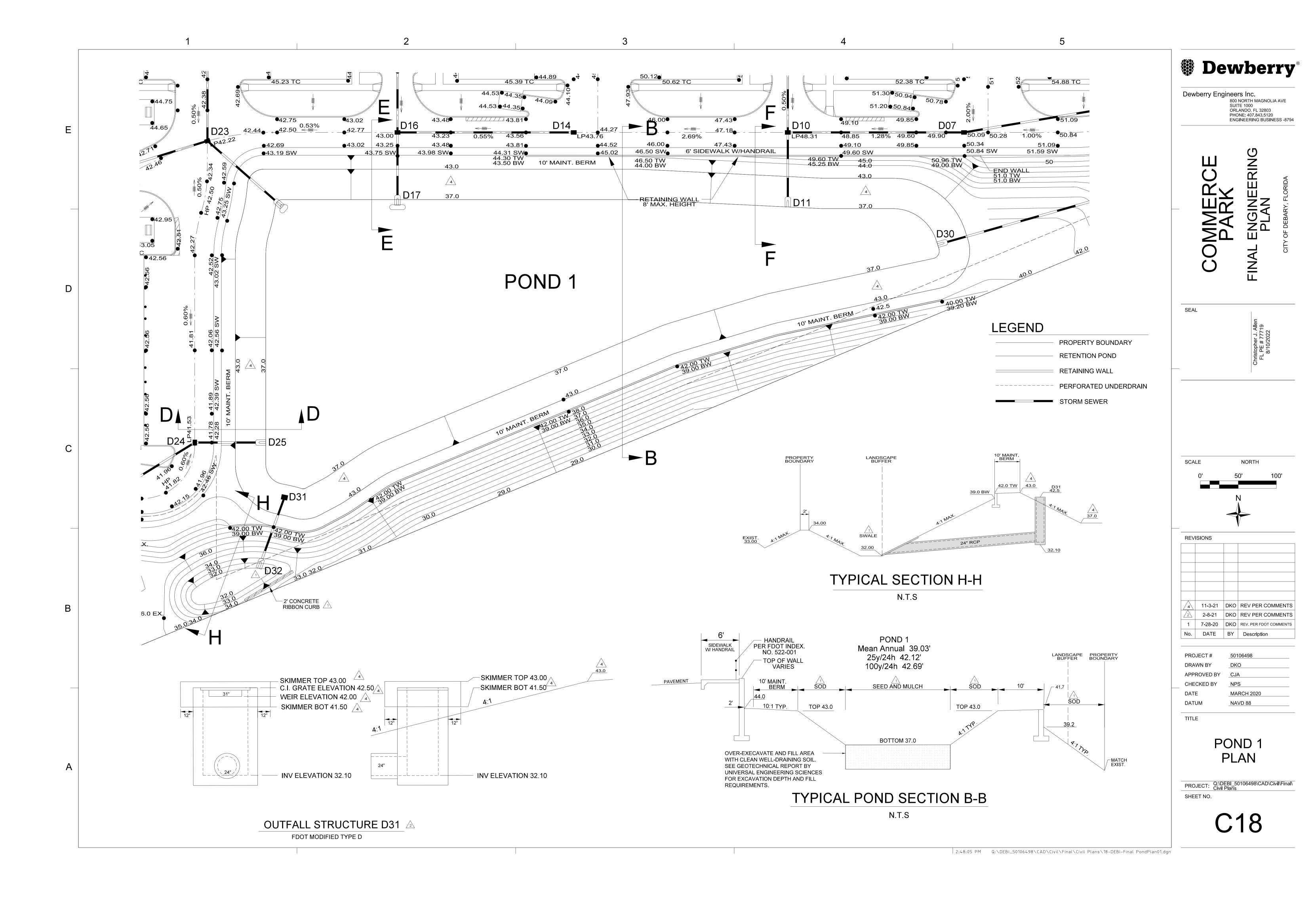
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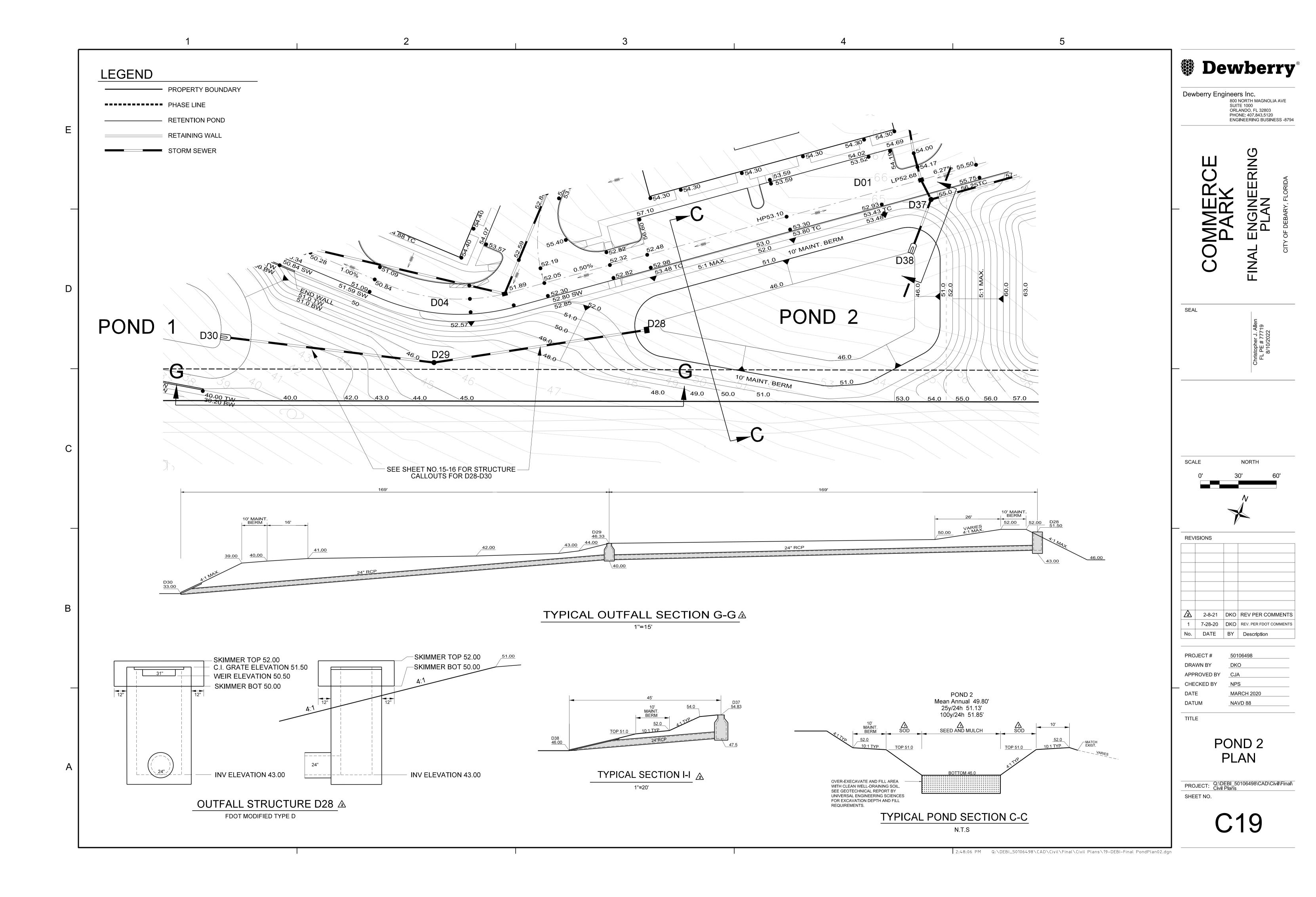
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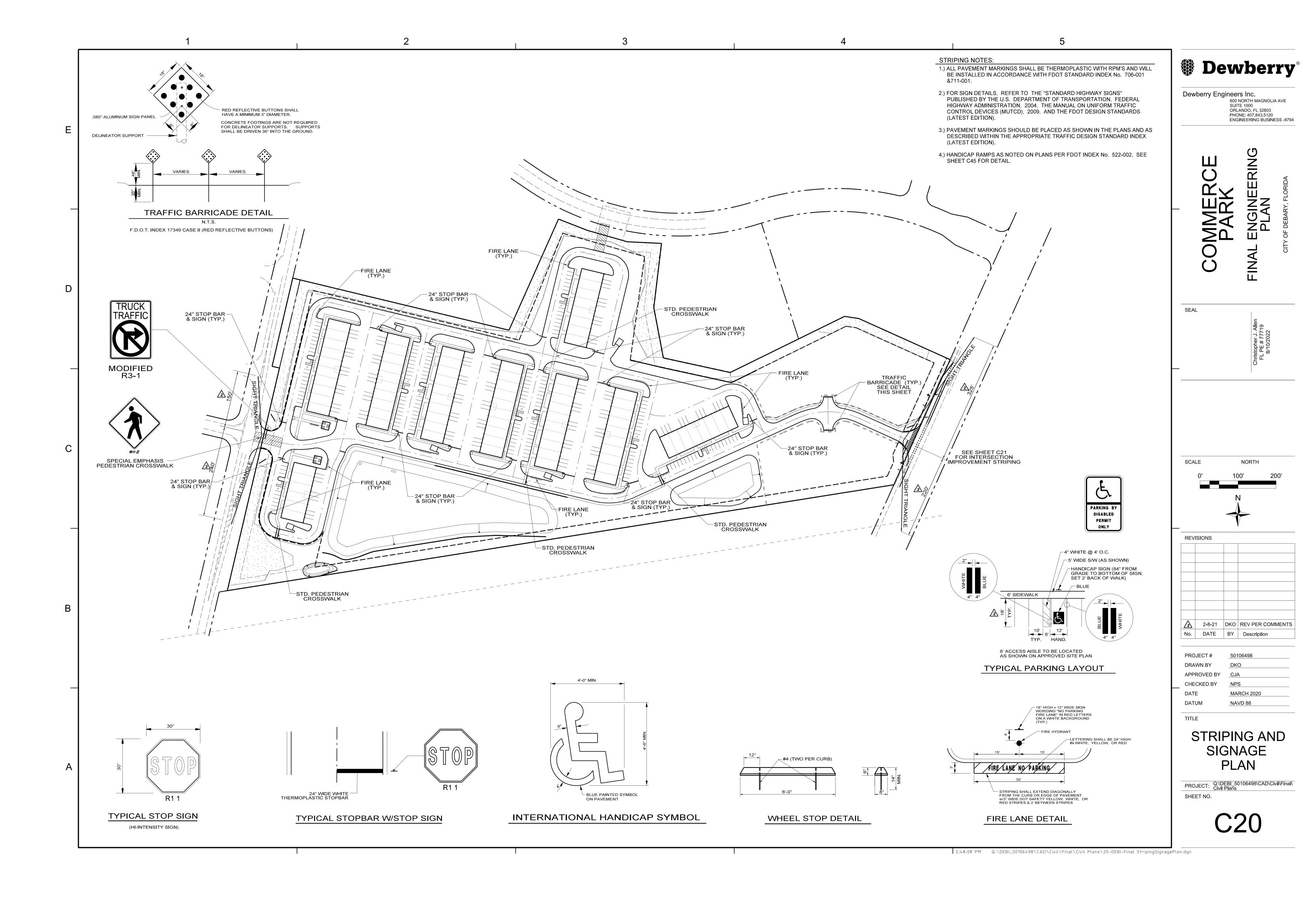
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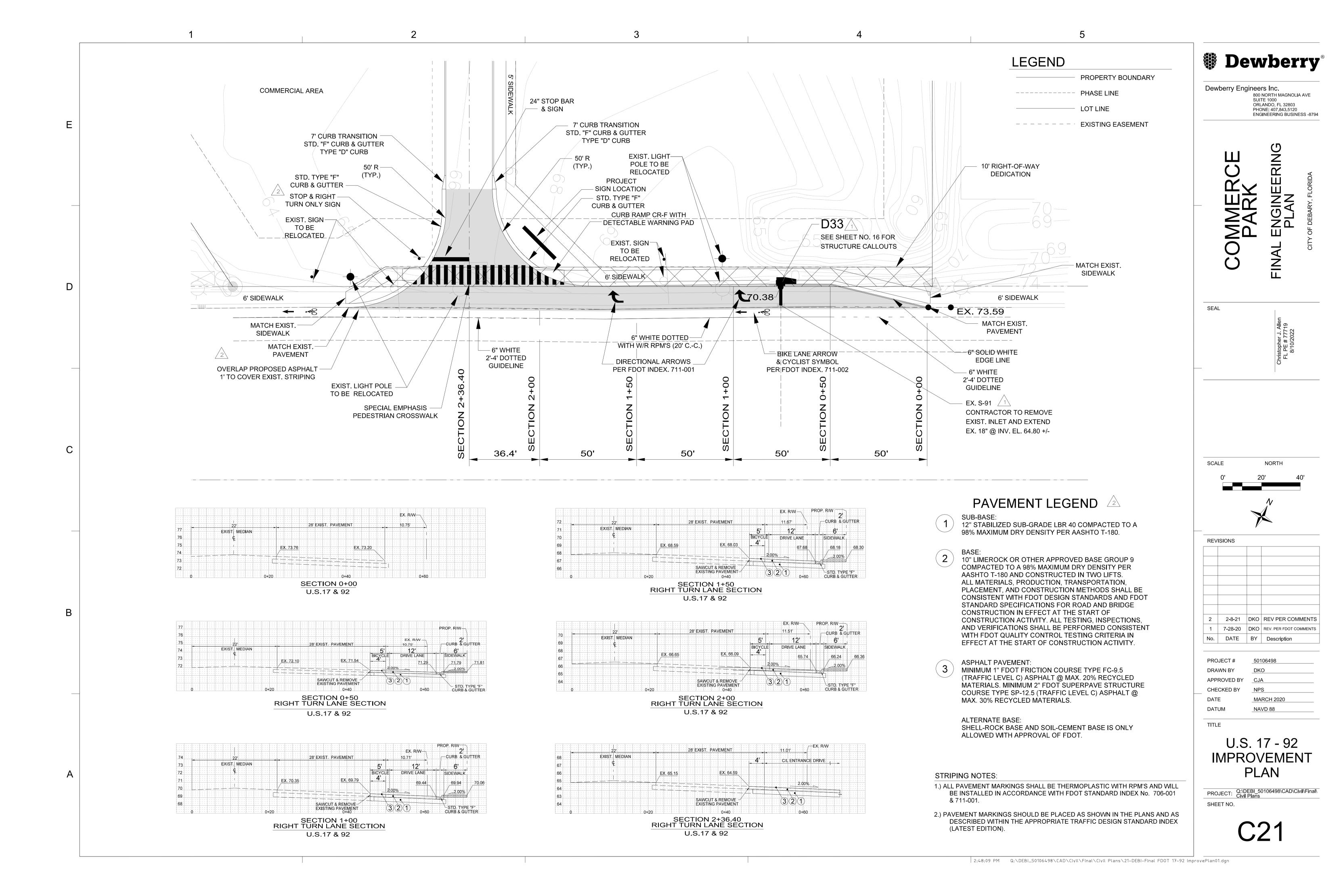
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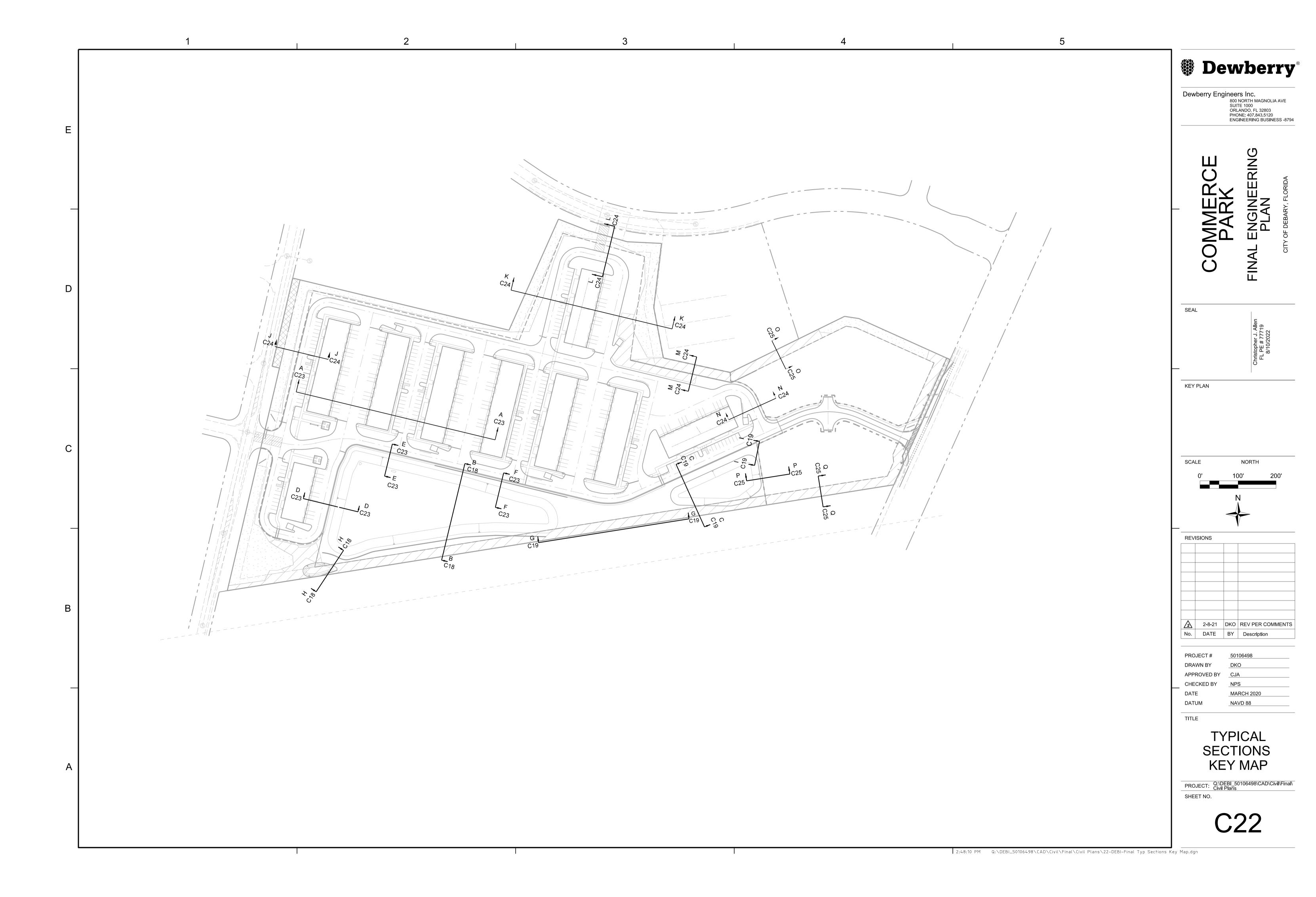
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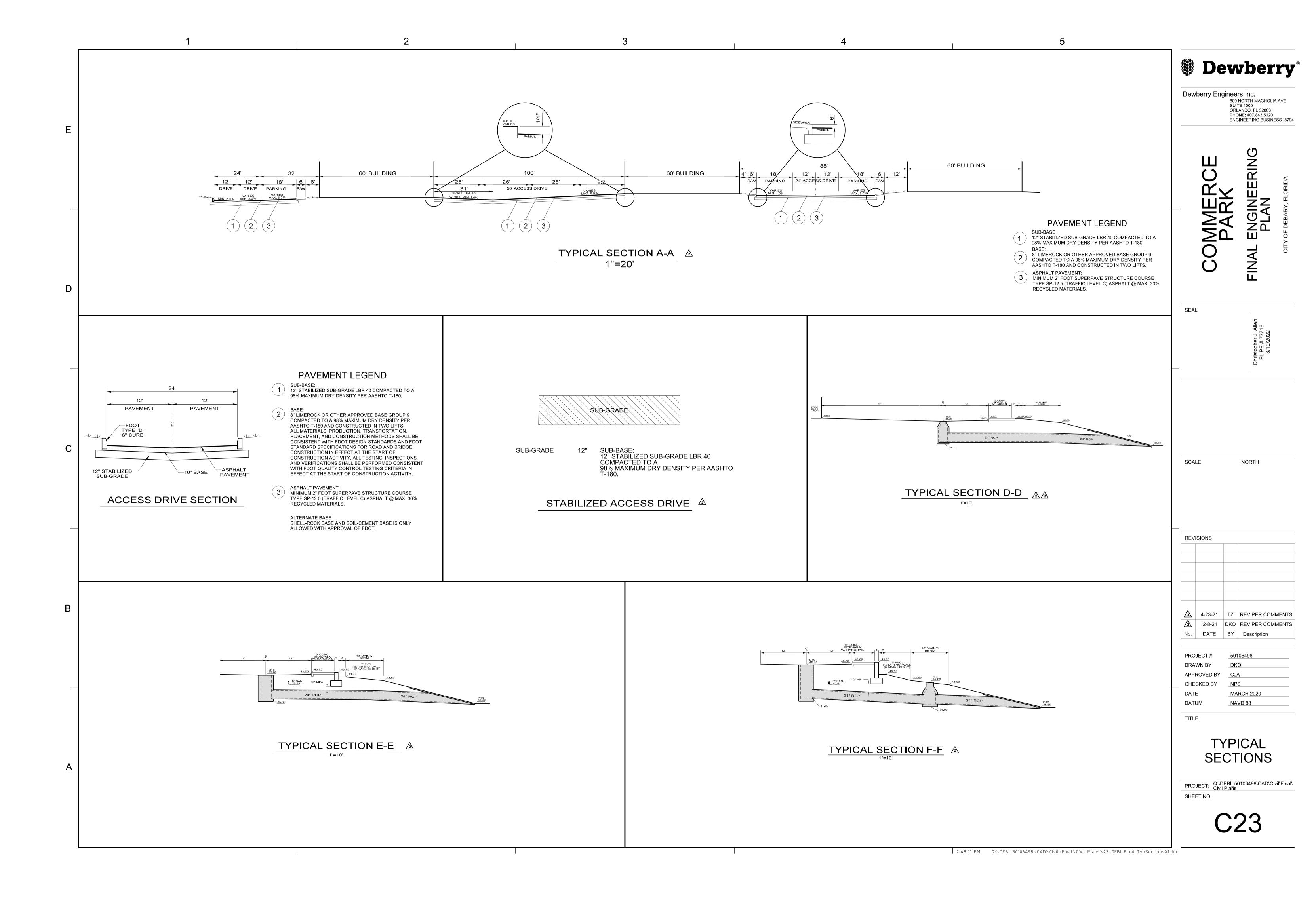


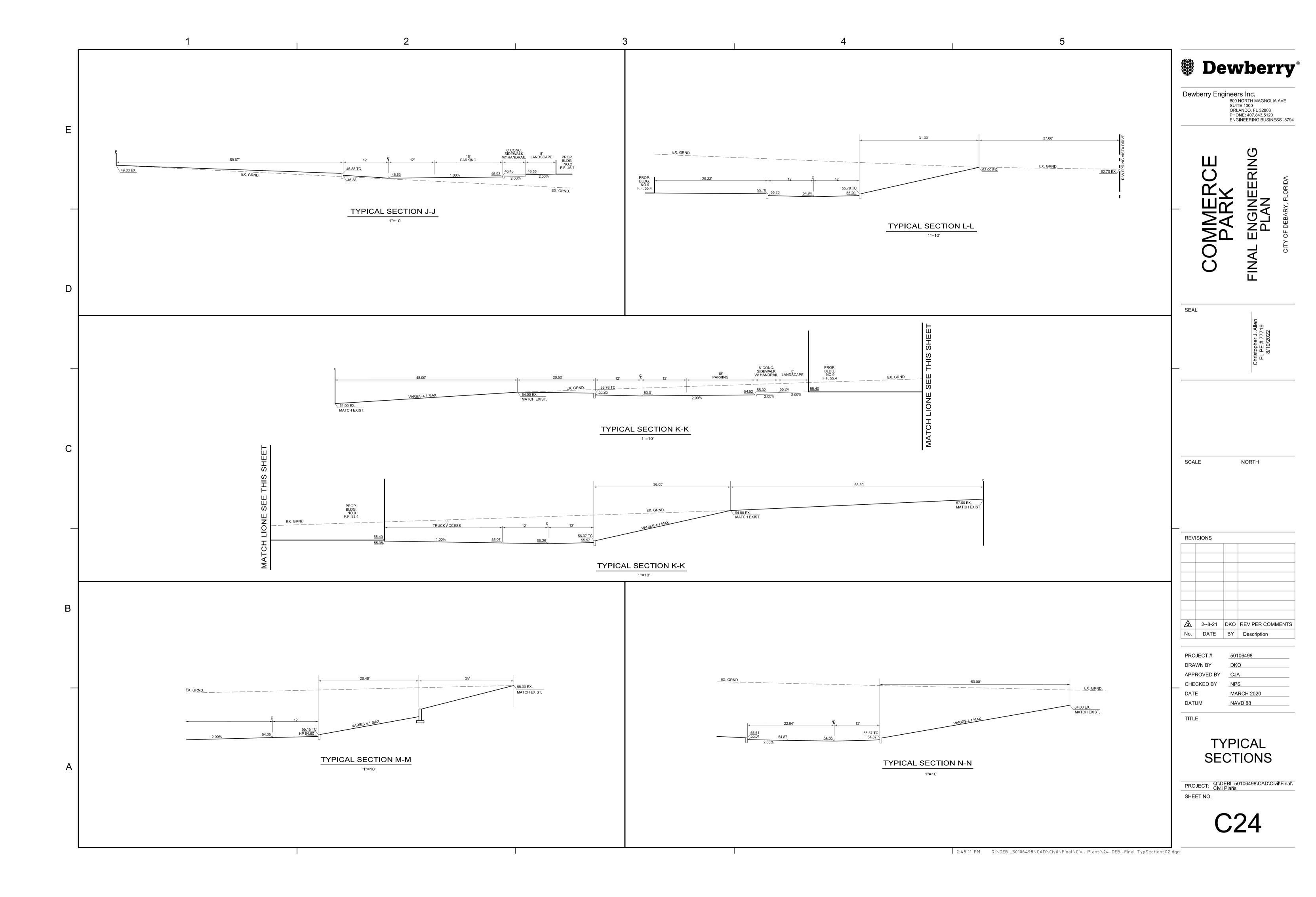


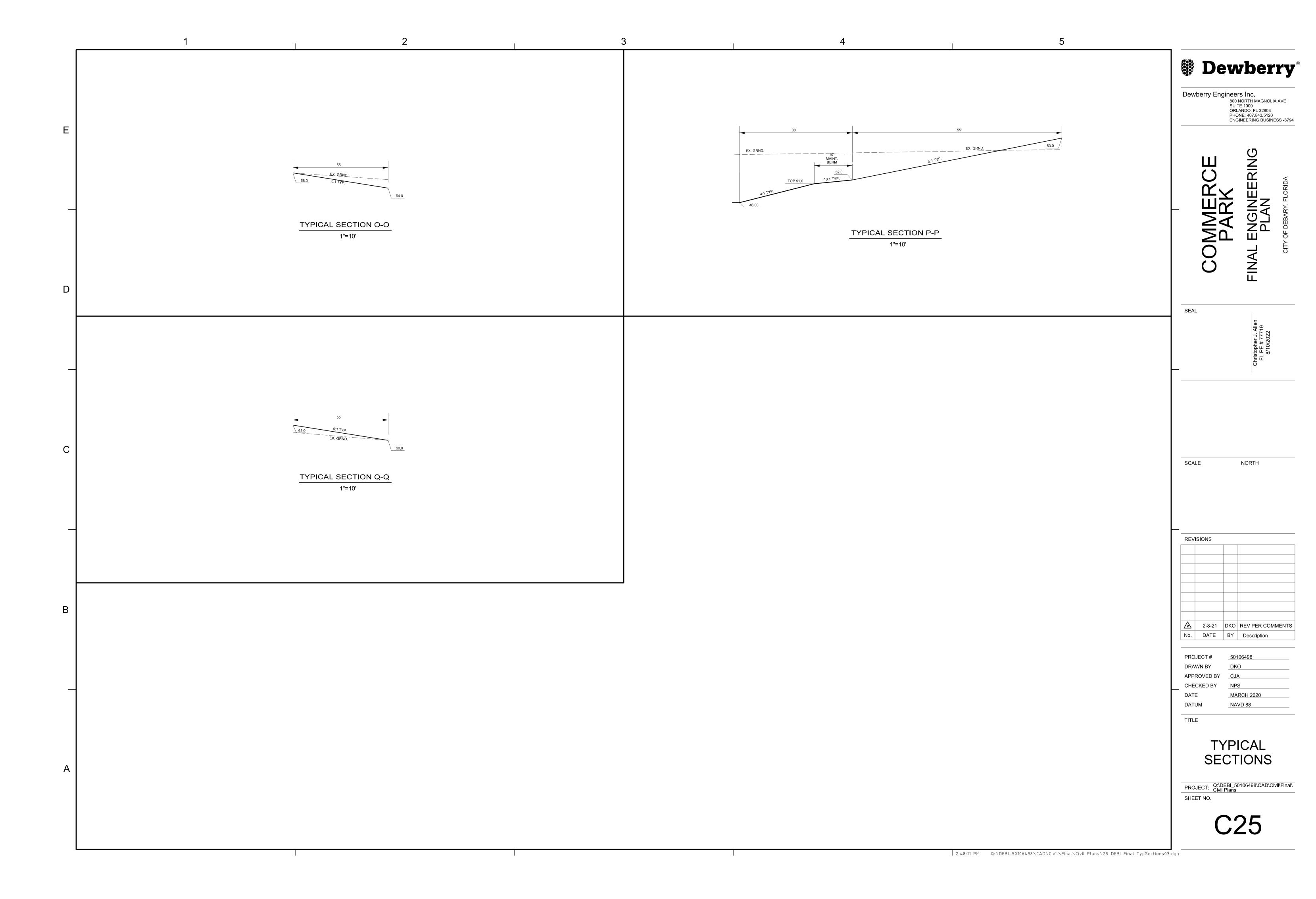


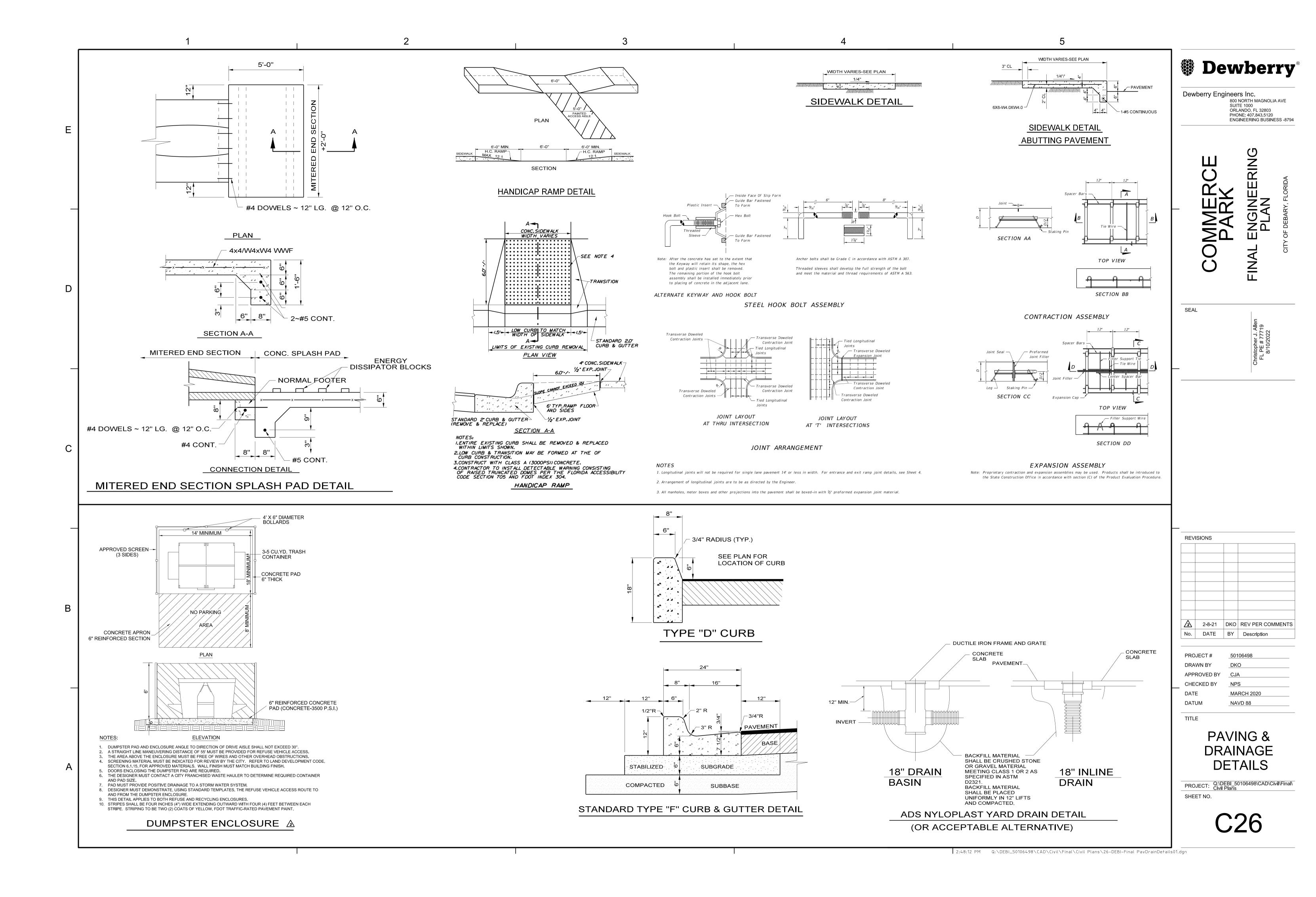


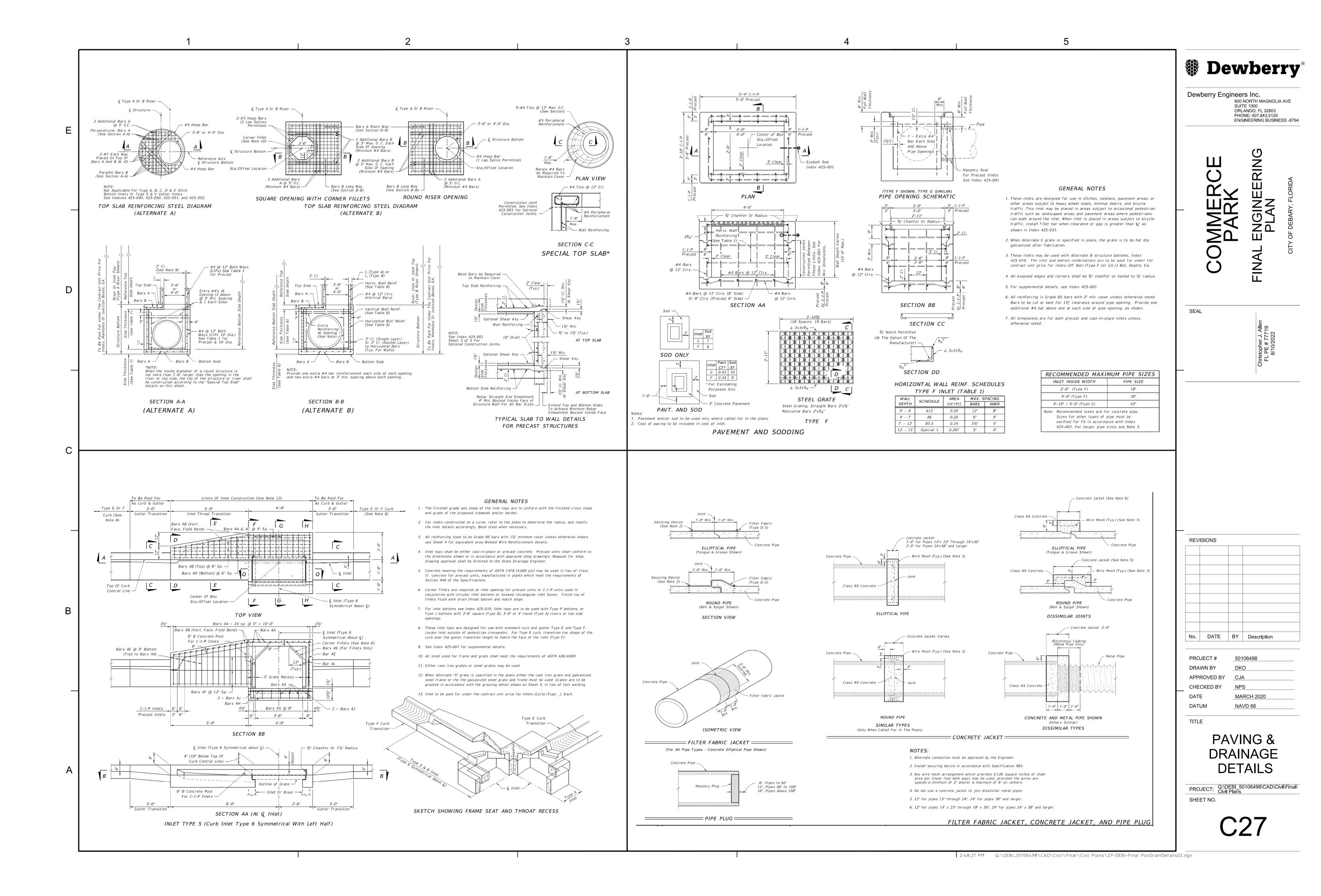


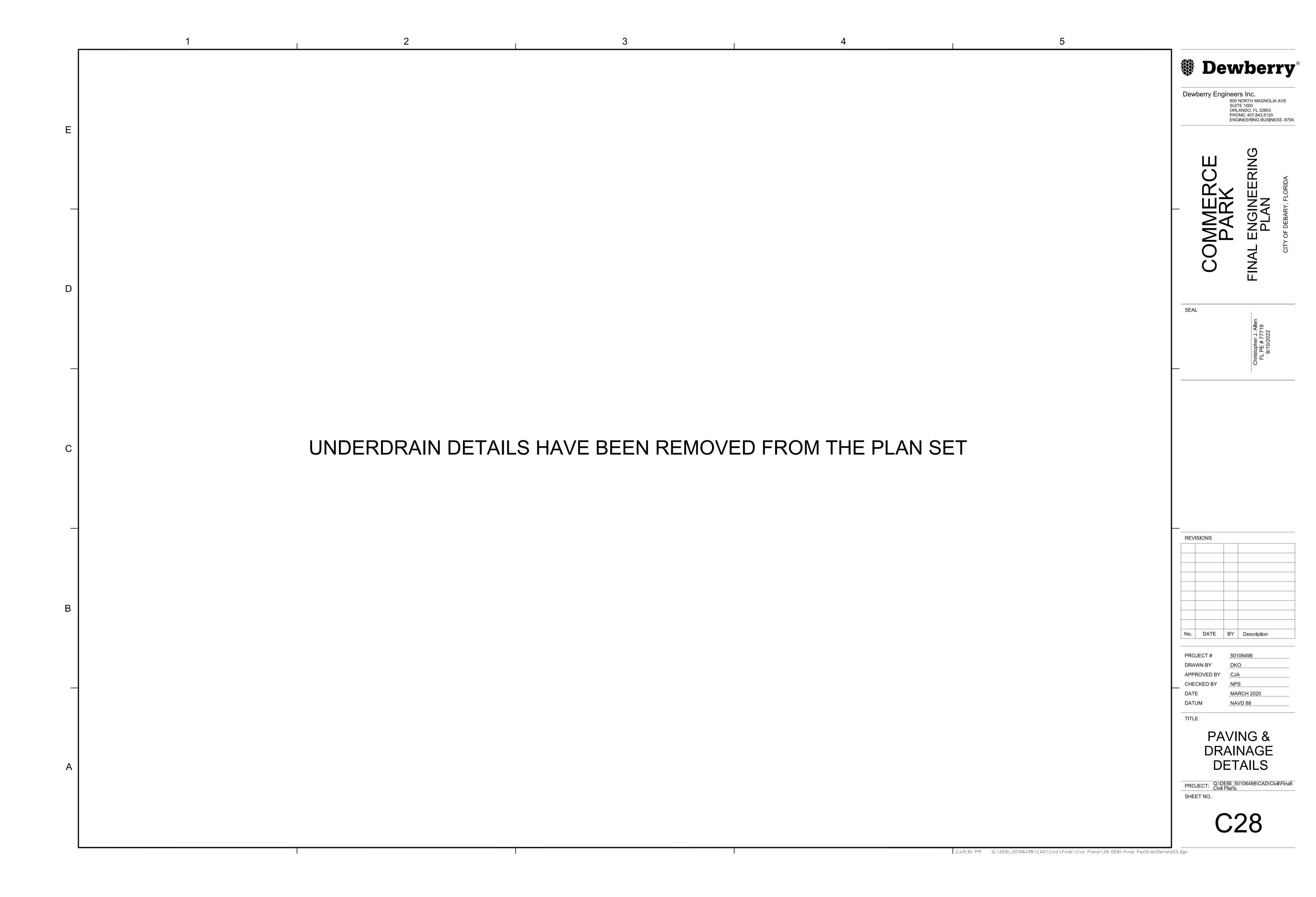


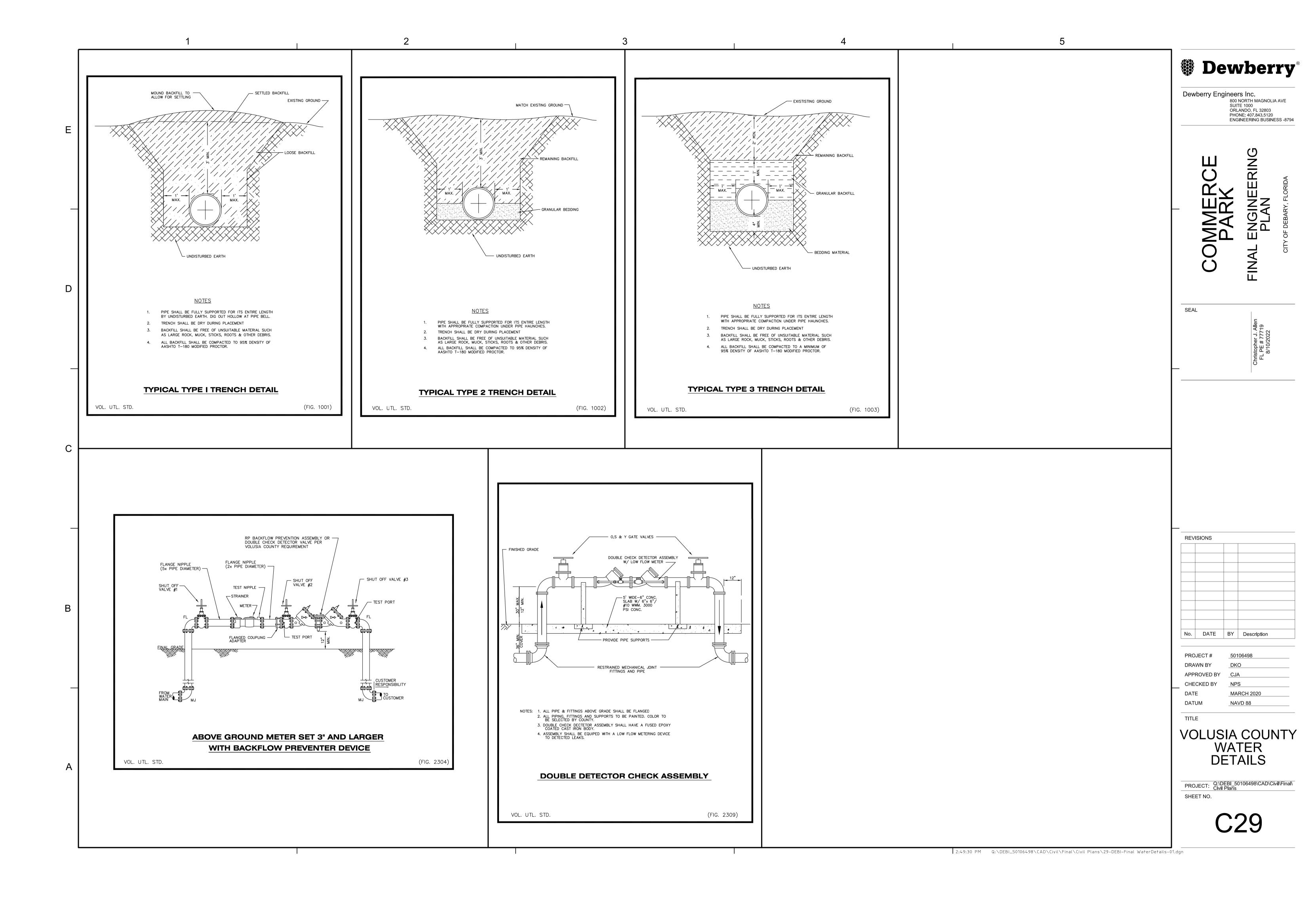






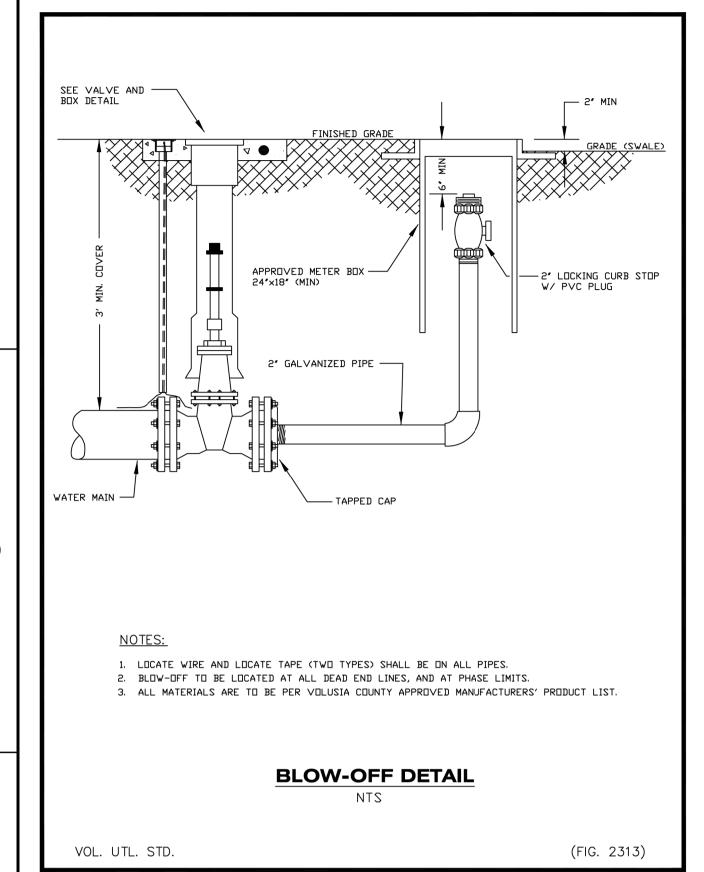


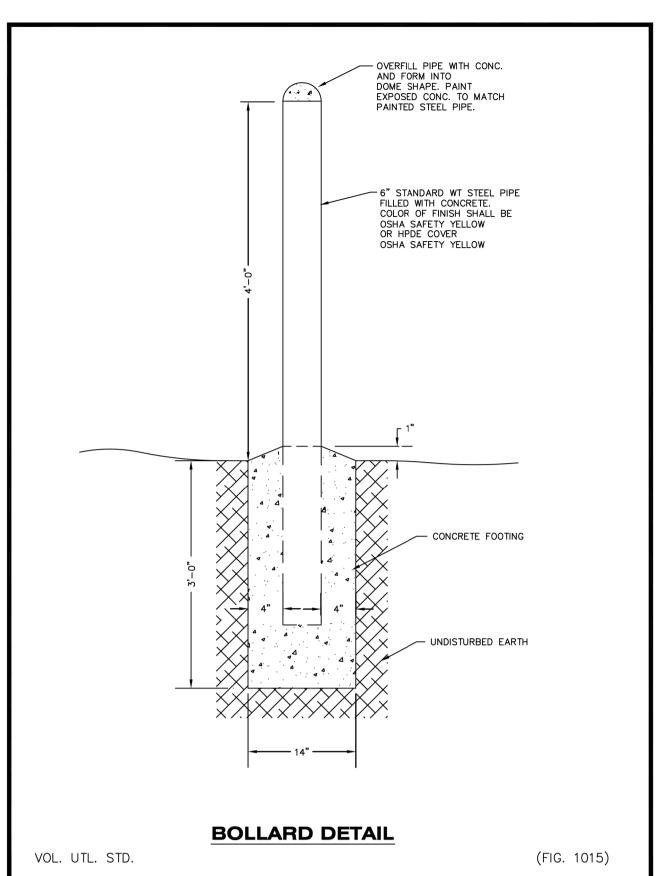




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OVERFUL PIPE INTIL COIL.
AND FORM THE COIL.
AND FORM THE PARTY
SEE VALVE AND
DOING SHAPE. PARTY
EMPOSED COIC. DO MATCH
POPOSED COIC. DO MATCH
POPOSED





Electronic Disks for Gravity Mains

Electronic disks shall be provided at one foot from the termination of all sanitary sewer service laterals. Disks shall be Scotchmark model 1253, Electronic Full-Range Marker manufactured by 3M.

Electronic Disks for Sewer Force Mains

Electronic disks shall be provided at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Disks shall also be provided at the termination of sewer services. Electronic disks shall be Scotchmark model 1253, Electronic Full-Range Marker manufactured by 3M.

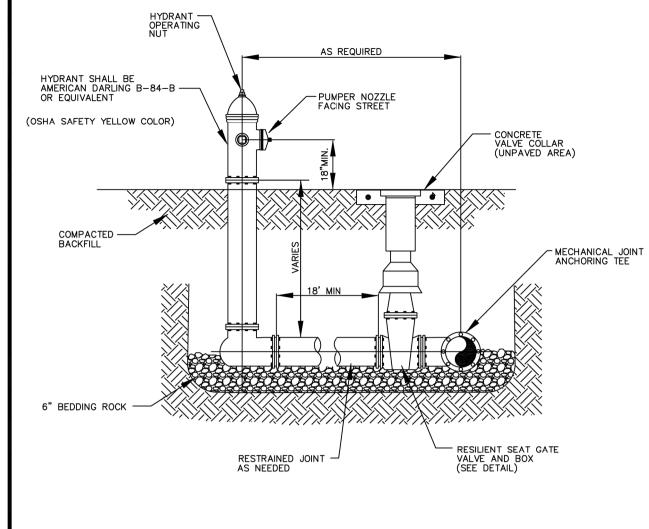
Electronic Disks for Potable Water Mains

Electronic disks shall be provided at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Disks shall also be provided at the termination of water services. Disks shall be Scotchmark model 1252, Electronic Full-Range Marker manufactured by 3M.

Electronic Disks for Reclaimed Water Mains

Electronic disks shall be at fittings, valves, crosses, tees, changes in direction and every 100-ft on straight sections of pipe. Disks shall also be provided at the termination of water services. Disks shall be Scotchmark model 1253, Electronic Full-Range Marker manufactured by 3M.

ELECTRONIC DISK MARKER



NOTES:

- FIRE HYDRANT TO BE LOCATED 6' TO 8' FROM EDGE OF PAVEMENT.
 VALVE BOX SHALL BE SCREW TYPE ADJUSTABLE AND COVER SHALL BE MARKED: WATER.
- 3. FIRE HYDRANTS CANNOT BE LOCATED WITHIN THE RADIUS OF STREET CORNERS.4. FIRE HYDRANT 3' RADIUS MUST BE CLEARED FOR SHRUBS
- 5. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT WEEP HOLE, OR WITH A PERMANENTLY PLUGGED
- WEEPHOLE.

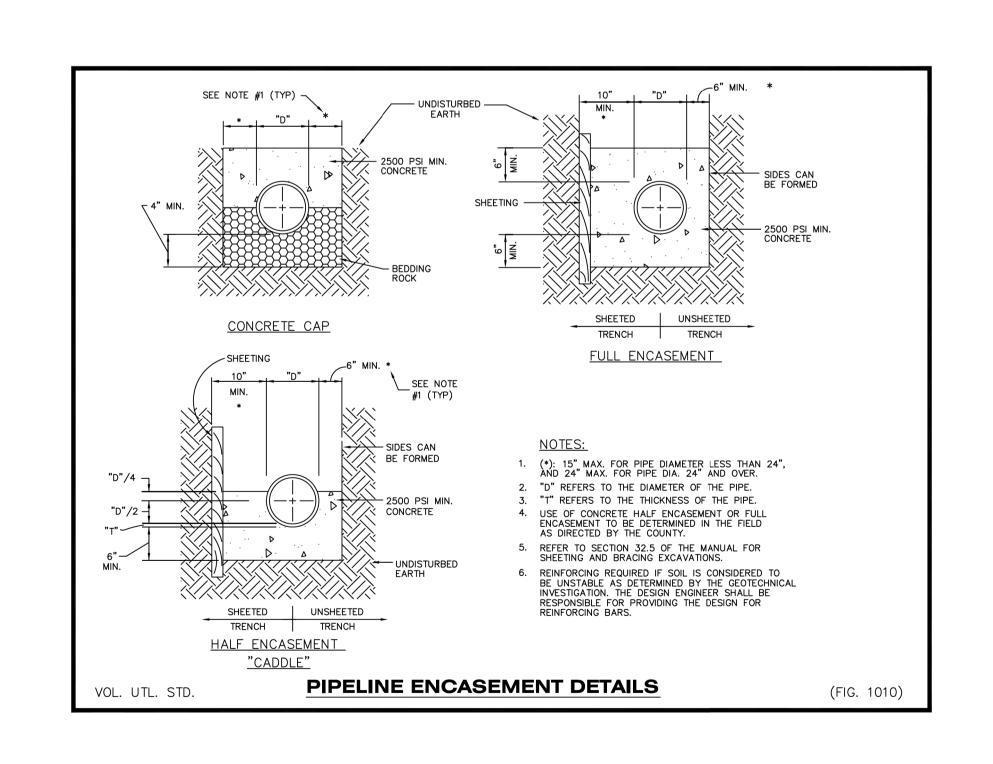
 6. FIRE HYDRANT SHALL MEET VOLUSIA COUNTY SPECIFICATIONS.
- 7. ALL FIRE HYDRANT PIPING SHALL BE RESTRAINED BY MEGA-LUGS.
- 8. LOCATE WRE AND LOCATE TAPE (TWO TYPES) SHALL BE <u>ON</u> ALL PIPES. 9. A BLUE REFLECTOR SHALL BE INSTALLED ON THE PAVEMENT ADJACENT TO THE FIRE HYDRANT.

FIRE HYDRANT ASSEMBLY DETAIL

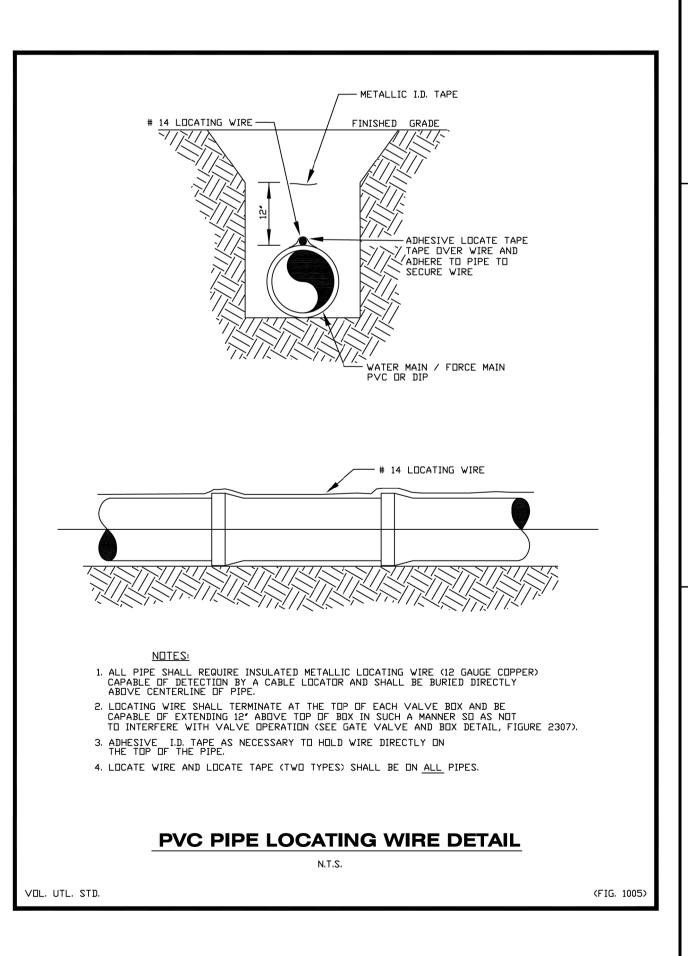
N.T.S.

VOL. UTL. STD. (FIG. 2306)

- DUCTILE IRON PIPE - PLACE WATER LINES OVER RECLAIMED AND SEWER LINES (PREFERRED) FITTING TYPE OR 45° BEND -75% OF MANUFACTURERS D.I.P. DEFLECTION TYPE (NOT ALOWABLE FOR PVC) 1. ABOVE METHODS ARE TO BE USED WHEN INSUFFICIENT COVER EXISTS TO ALLOW PRESSURE PIPE TO CROSS 2. ABOVE CONFLICT PIPE WITH 6" MIN. VERTICAL SEPARATION & MAINTAIN 36" COVER TO FINISHED GRADE. 3. FITTINGS SHALL BE RESTRAINED JOINT MEGALUGS. 4. DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION. 5. SEE TYPICAL PIPE CROSSING DETAIL PIPE CONFLICT DETAIL (FIG 1014) VOL. UTL. STD.



VOL. UTL. STD.



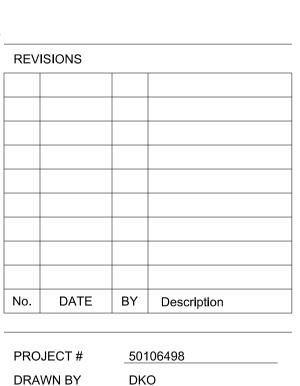


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PHONE: 407.843.5120
ENGINEERING BUSINESS -8794

OMMERCE PARK AL ENGINEERING PLAN

stopher J. Allen PE # 77719 8/10/2022



APPROVED BY CJA

CHECKED BY NPS

DATE MARCH 2020

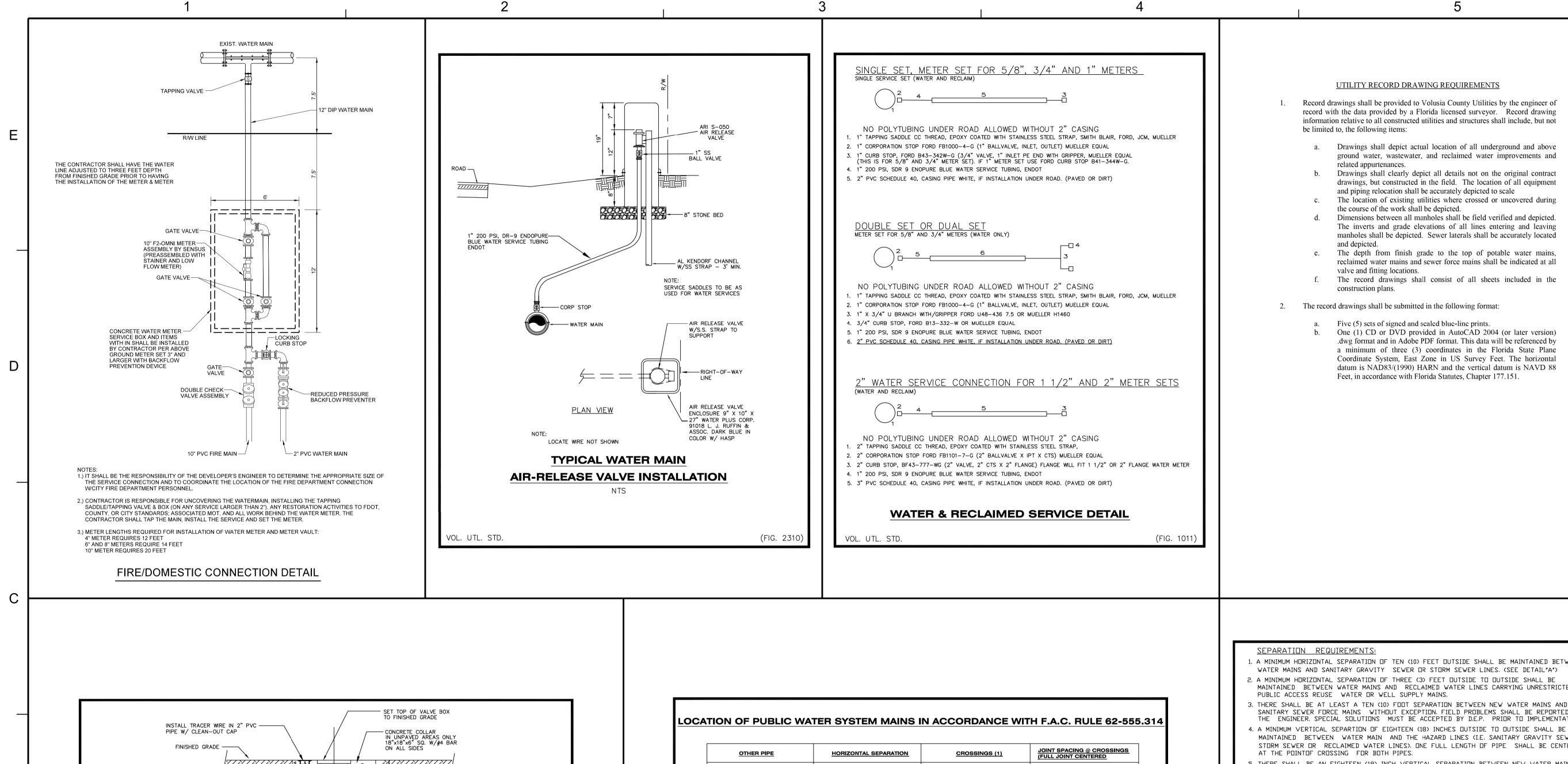
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VOLUSIA COUNTY WATER DETAILS

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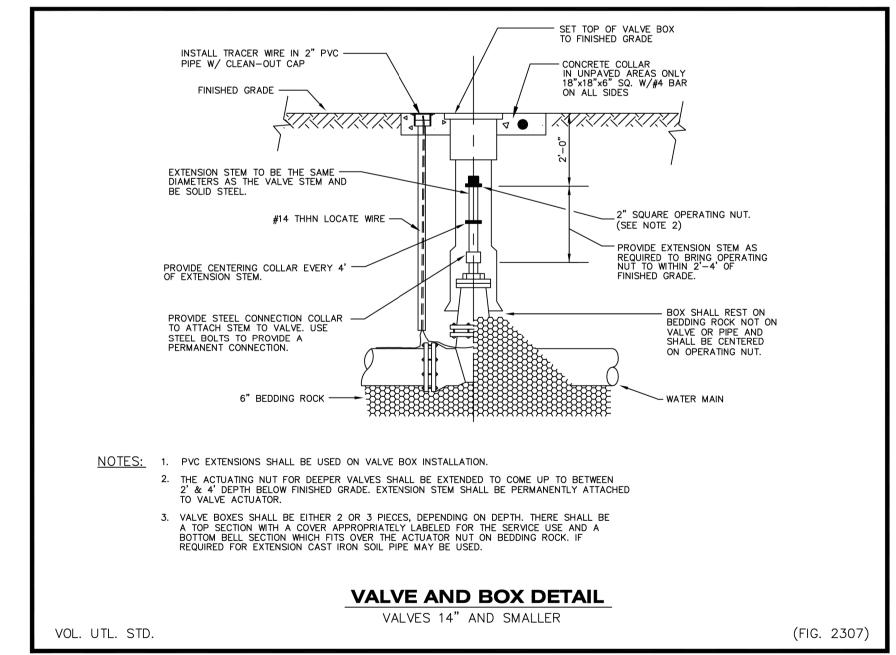


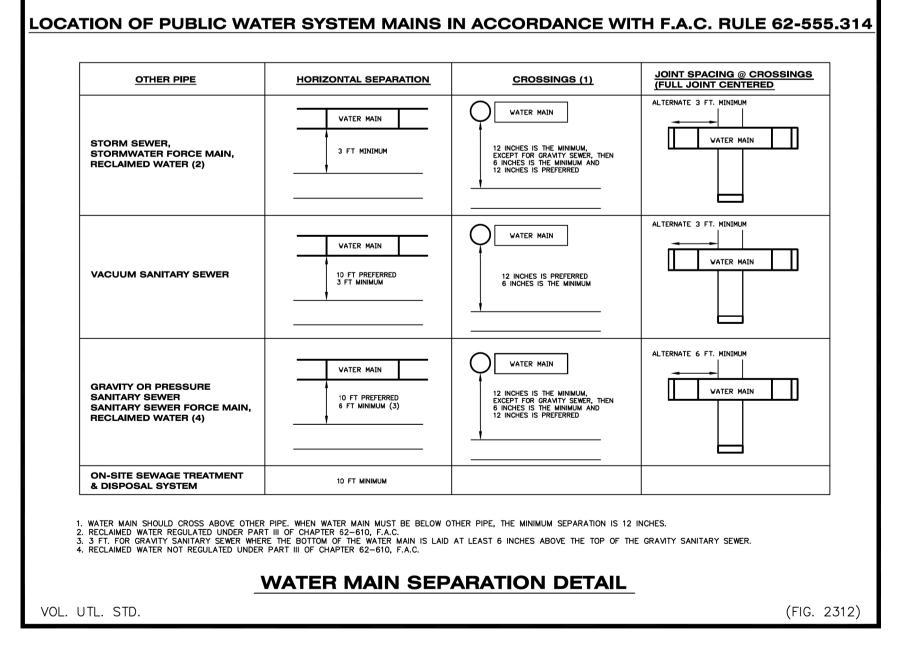
- Record drawings shall be provided to Volusia County Utilities by the engineer of record with the data provided by a Florida licensed surveyor. Record drawing information relative to all constructed utilities and structures shall include, but not
 - a. Drawings shall depict actual location of all underground and above ground water, wastewater, and reclaimed water improvements and
 - b. Drawings shall clearly depict all details not on the original contract drawings, but constructed in the field. The location of all equipment
 - and piping relocation shall be accurately depicted to scale
 - Dimensions between all manholes shall be field verified and depicted. The inverts and grade elevations of all lines entering and leaving
 - e. The depth from finish grade to the top of potable water mains, reclaimed water mains and sewer force mains shall be indicated at all
 - f. The record drawings shall consist of all sheets included in the
 - b. One (1) CD or DVD provided in AutoCAD 2004 (or later version) .dwg format and in Adobe PDF format. This data will be referenced by a minimum of three (3) coordinates in the Florida State Plane Coordinate System, East Zone in US Survey Feet. The horizontal datum is NAD83/(1990) HARN and the vertical datum is NAVD 88

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ERIN





- 1. A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET OUTSIDE SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY GRAVITY SEWER OR STORM SEWER LINES, (SEE DETAIL"A")
- 2. A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET OUTSIDE TO OUTSIDE SHALL BE MAINTAINED BETWEEN WATER MAINS AND RECLAIMED WATER LINES CARRYING UNRESTRICTED
- 3. THERE SHALL BE AT LEAST A TEN (10) FOOT SEPARATION BETWEEN NEW WATER MAINS AND NEW SANITARY SEWER FORCE MAINS WITHOUT EXCEPTION, FIELD PROBLEMS SHALL BE REPORTED TO THE ENGINEER SPECIAL SOLUTIONS MUST BE ACCEPTED BY D.E.P. PRIOR TO IMPLEMENTATION.
- MAINTAINED BETWEEN WATER MAIN AND THE HAZARD LINES (I.E. SANITARY GRAVITY SEWER, STORM SEWER OR RECLAIMED WATER LINES). ONE FULL LENGTH OF PIPE SHALL BE CENTERED
- 5. THERE SHALL BE AN EIGHTEEN (18) INCH VERTICAL SEPARATION BETWEEN NEW WATER MAINS AND NEW SANITARY SEWER FORCE MAINS AT CROSSING WITHOUT EXCEPTION, WHERE IT IS NOT POSSIBLE TO MAINTAIN THE REQUIRED SEPARATION, CONFLICTS WITH EXISTING LINES SHALL BE REPORTED TO THE ENGINEER, SPECIAL SOLUTIONS MUST BE ACCEPTED BY D.E.P. PRIOR TO IMPLEMENTATION, AT PIPE CROSSINGS, THE PIPES SHALL BE SITUATED SUCH THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM EACH OTHER.
- 6. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE OR STORM SEWER STRUCTURE.

SOLUTIONS TO SEPARATION CONFLICTS

- I, IN AREAS WHERE IT IS NOT PRACTICAL TO MAINTAIN THE REQUIRED SEPARATION. THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY GRAVITY SEWER, STORM SEWER OR RECLAIMED WATER LINE AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE OTHER LINE. (SEE DETAIL'B')
- 2. IF THE MINIMUM ALLOWABLE (10') HORIZONTAL SEPARATION OR 18" VERTICAL IN A SEPARATE TRENCH CANNOT BE MAINTAINED, UPGRADE THE WATER MAIN TO DUCTILE IIRON IF THE OTHER LINE IS A STORM SEWER OR AN EXISTING SANITARY GRAVITY SEWER.
- 3. IF THE NON-CONFORMING LINE IS A NEW GRAVITY SANITARY SEWER, AND 10' HORIZONTAL SEPARATION OR 18' VERTICAL SEPARATION IN A SEPARATE TRENCH CANNOT BE MAINTAINED,
 - (SEE DETAIL"C") B. ENCASE THE HAZARD PIPE IN CONCRETE ENCASEMENT, DETAIL THIS SHEET
- C. UPGRADE THE NEW GRAVITY SANITARY SEWER TO AWWA C-900, D.R. 18 PVC AND HYDROSTATICALLY TEST IT TO 150 PSI. AT PIPE CROSSINGS, THE PIPES SHALL BE SITUATED SUCH THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM EACH OTHER. 4. IF THE HAZARD LINE IS A RECLAIMED WATER LINE AND THE ABOVE SEPARATION REQUIREMENTS

A. PLACE THE HAZARD LINE WITHIN A CONCRETE SEALED PVC SDR 35 CARRIER PIPE.

- ARE NOT MET, UPGRADE THE RECLAIMED WATER LINE MATERIAL TO DUCTILE IRON OR ENCASED
- PIPE IN CONCRETE. 5. WHEN THERE IS LESS THAN 18" OF VERTICAL CLEARANCE BETWEEN THE WATER MAIN AND STORM
- SEWER, AT THE POINT OF CROSSING (SEE DETAIL "D") 6. WHEN THE WATER MAIN CROSSES BELOW THE HAZARD LINE, THE WATER MAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" FROM THE HAZARD LINE. ONE FULL LENGTH OF PIPE

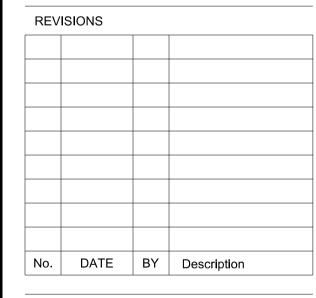
SHALL BE CENTERED AT THE POINT OF CROSSING (FOR BOTH PIPES WHEN CROSSING SANITARY

- SEWER). (SEE DETAIL"E") 7. SPECIAL STRUCTURAL SUPPORT OR CONCRETE SADDLES MAY BE NECESSARY AT THE CROSSING
- 8. IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE CROSSING HAZARD. RECEIVE SPECIFIC APPROVAL BY D.E.P. PRIOR TO IMPLEMENTATION.

WATER MAIN SEPARATION NOTES

VOL. UTL. STD.

(FIG. 2311)



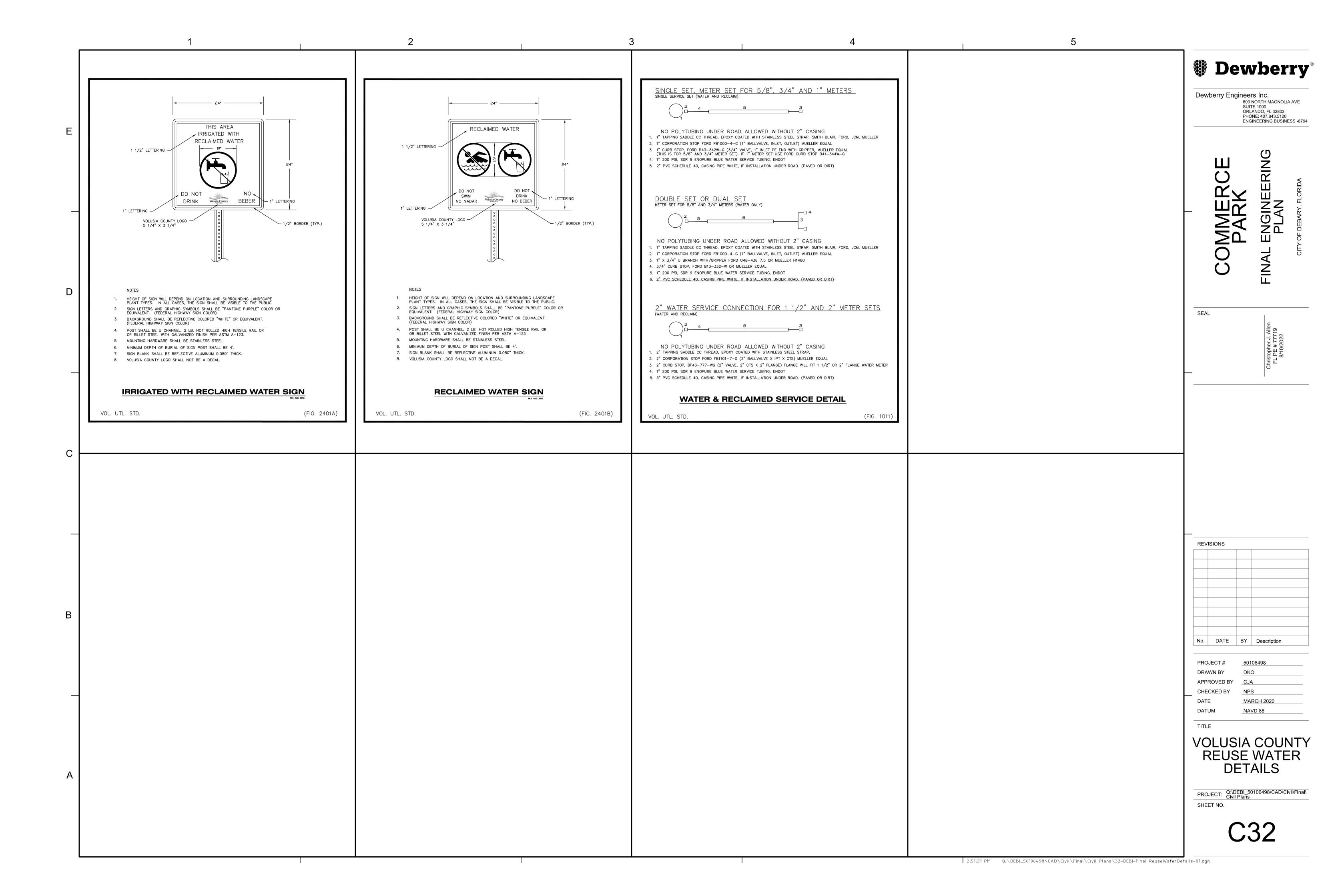
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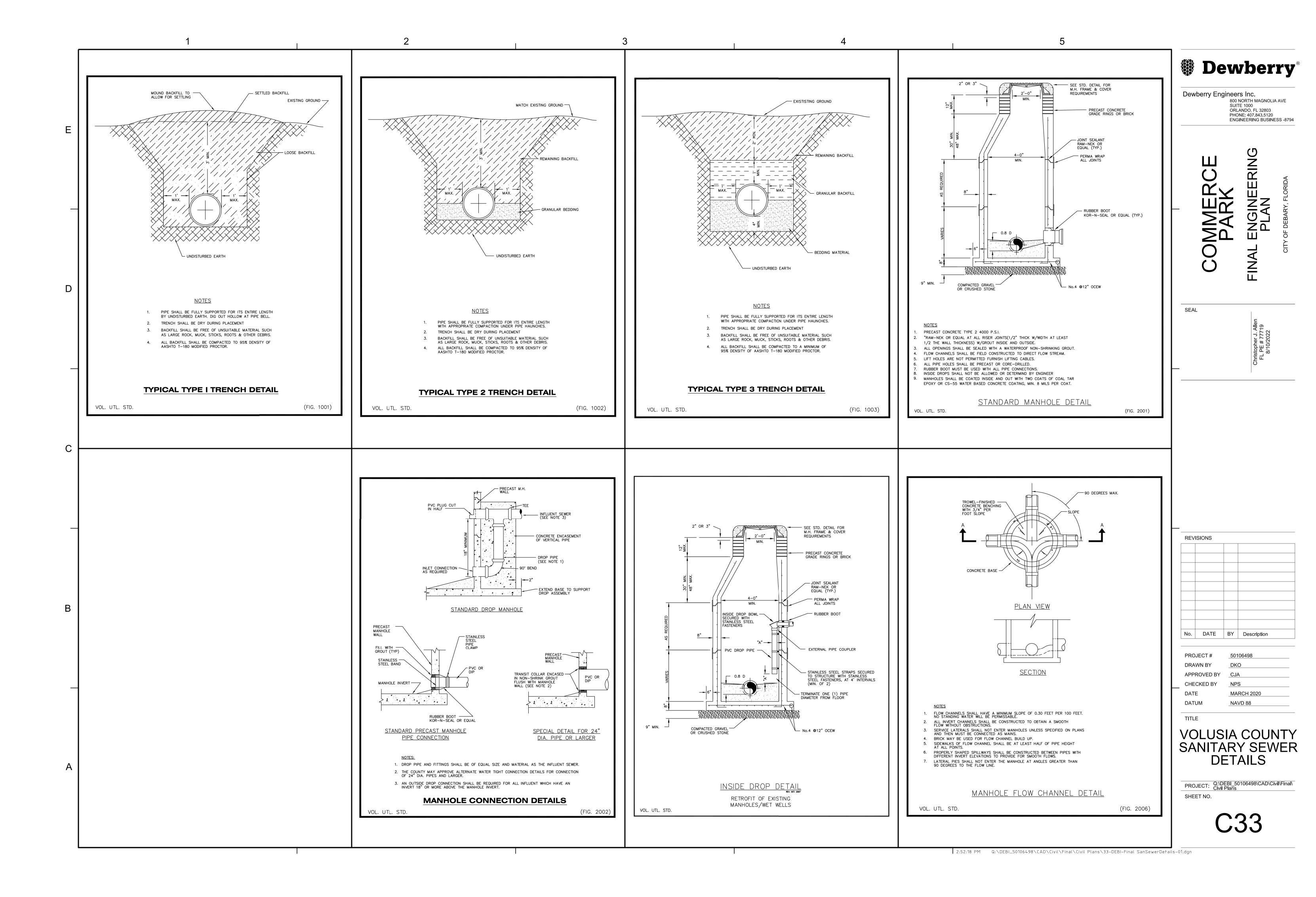
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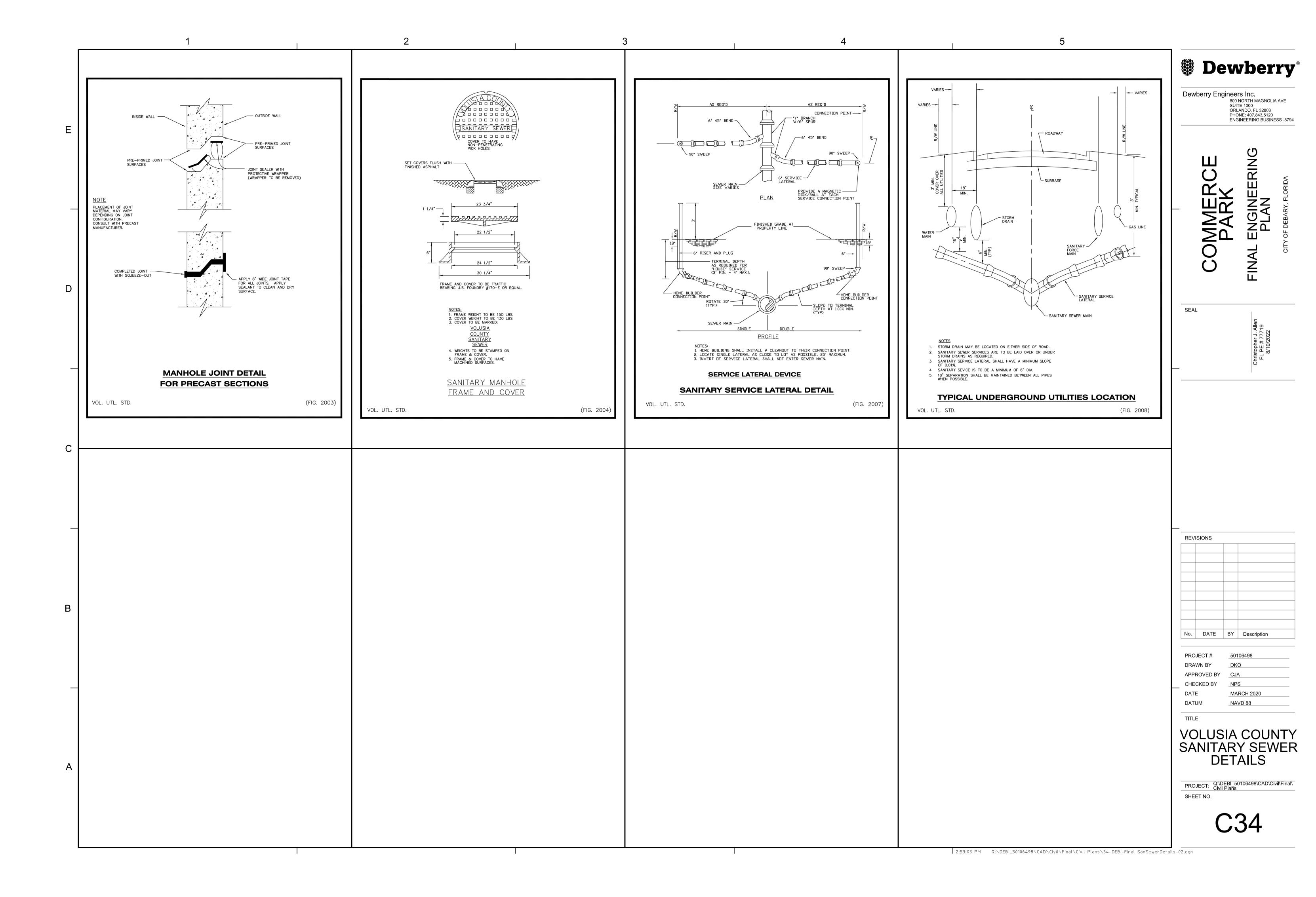
VOLUSIA COUNTY WATER **DETAILS**

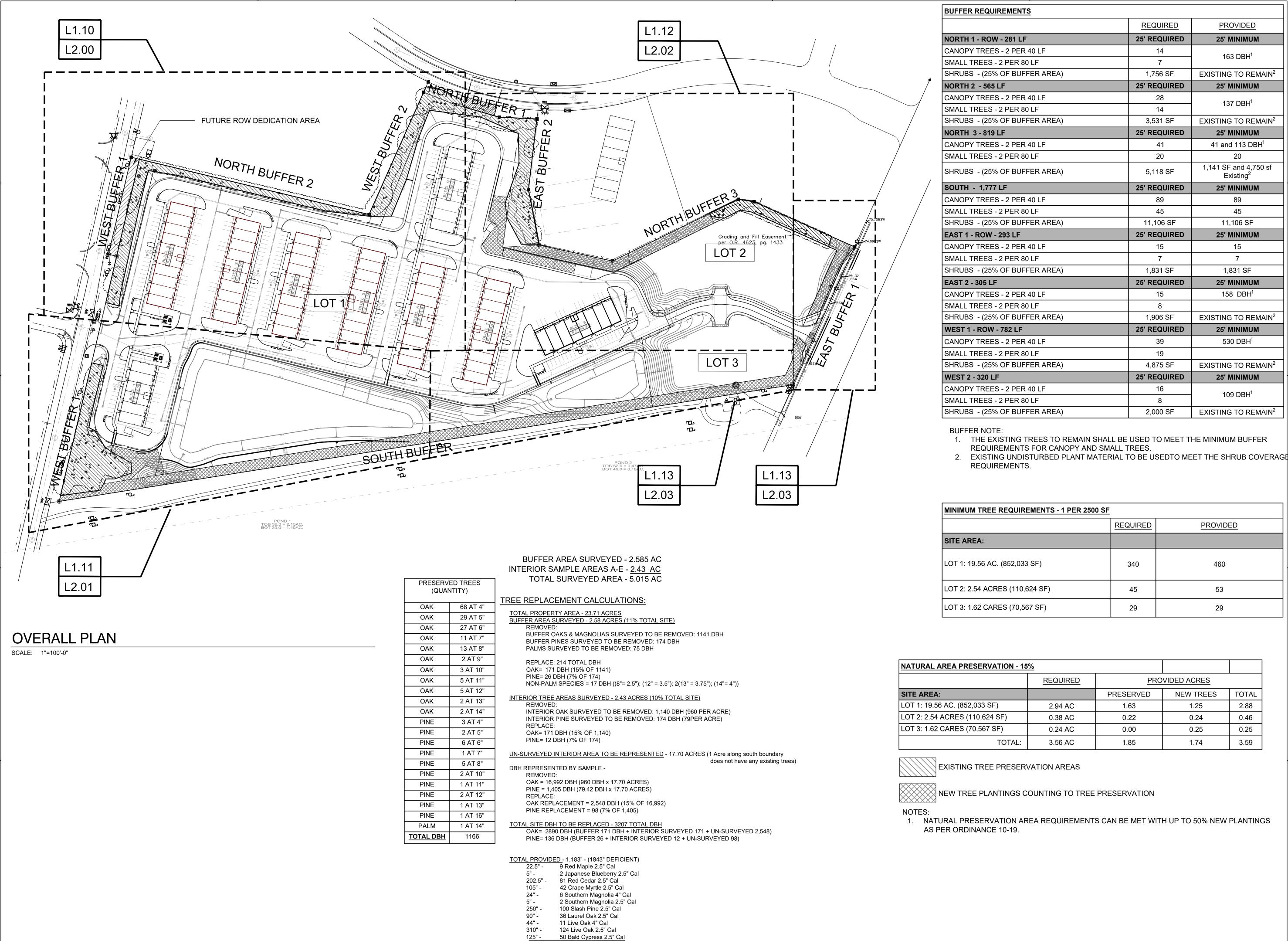
MARCH 2020

PROJECT: Q:\DEBI_50106498\CAD\Civil\Final\ Civil Plans









463 Provided Trees



REQUIRED

25' REQUIRED

14

1,756 SF

25' REQUIRED

28

14

3,531 SF

25' REQUIRED

20

5,118 SF

25' REQUIRED

89

45

11,106 SF

25' REQUIRED

15

1,831 SF

25' REQUIRED

1,906 SF

25' REQUIRED

19

4,875 SF

25' REQUIRED

16

2,000 SF

REQUIRED

340

45

29

PROVIDED

25' MINIMUM

163 DBH¹

EXISTING TO REMAIN²

25' MINIMUM

137 DBH¹

EXISTING TO REMAIN²

25' MINIMUM

41 and 113 DBH¹

20 1,141 SF and 4,750 sf

Existing²

25' MINIMUM

89

45

11,106 SF

25' MINIMUM

15

1,831 SF

25' MINIMUM

158 DBH¹

EXISTING TO REMAIN²

25' MINIMUM

530 DBH¹

EXISTING TO REMAIN²

25' MINIMUM

109 DBH¹

EXISTING TO REMAIN²

PROVIDED

460

53

29

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> MMERCE **PARK**

KEY PLAN

SCALE

NATURAL AREA PRESERVATION - 15					
	REQUIRED	PROVIDED ACRES			
SITE AREA:		PRESERVED	NEW TREES	TOTAL	
LOT 1: 19.56 AC. (852,033 SF)	2.94 AC	1.63	1.25	2.88	
LOT 2: 2.54 ACRES (110,624 SF)	0.38 AC	0.22	0.24	0.46	
LOT 3: 1.62 CARES (70,567 SF)	0.24 AC	0.00	0.25	0.25	
TOTAL:	3.56 AC	1.85	1.74	3.59	

EXISTING TREE PRESERVATION AREAS

NEW TREE PLANTINGS COUNTING TO TREE PRESERVATION

1. NATURAL PRESERVATION AREA REQUIREMENTS CAN BE MET WITH UP TO 50% NEW PLANTINGS AS PER ORDINANCE 10-19.

No.	DATE	BY	Description
REVIS	SIONS		

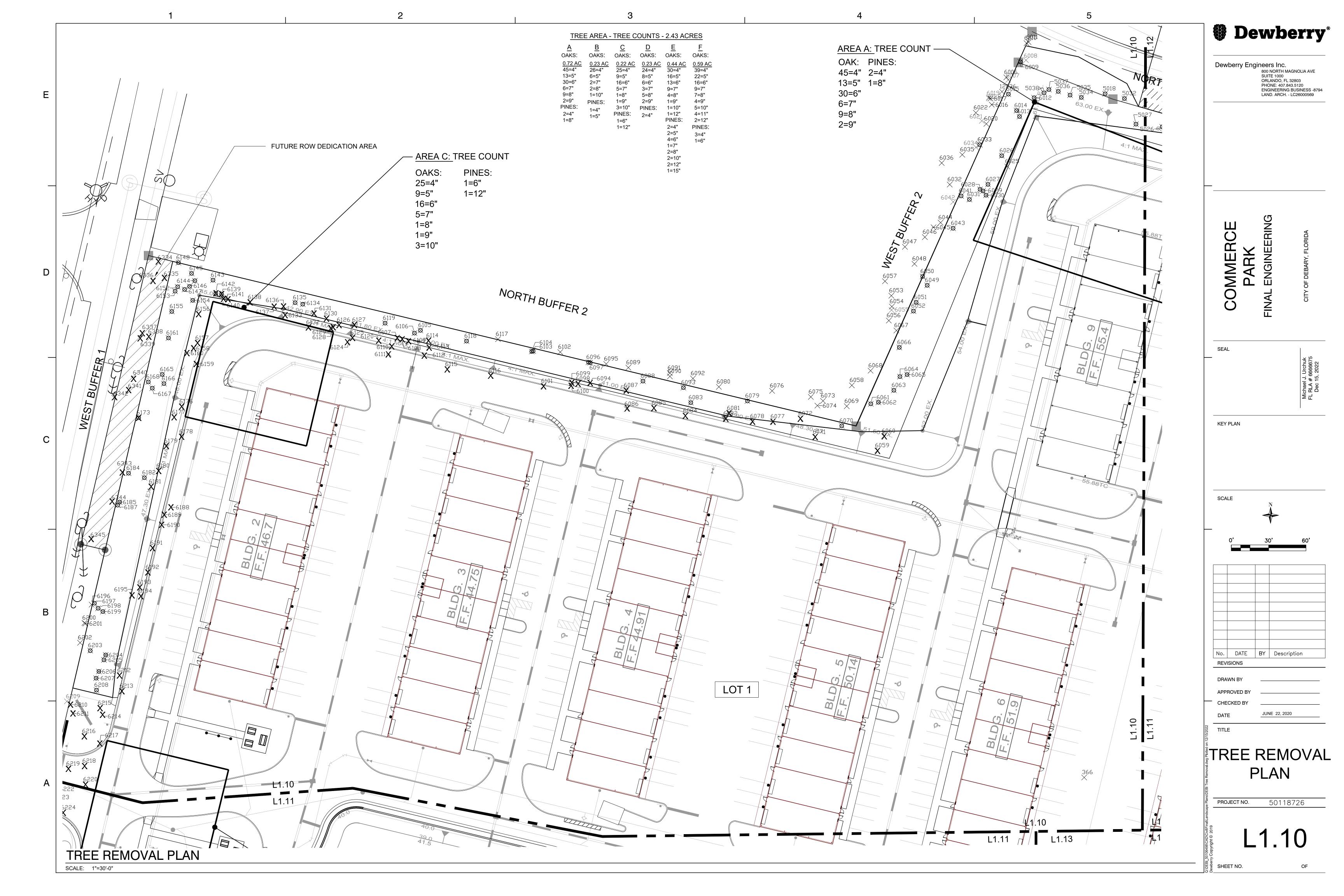
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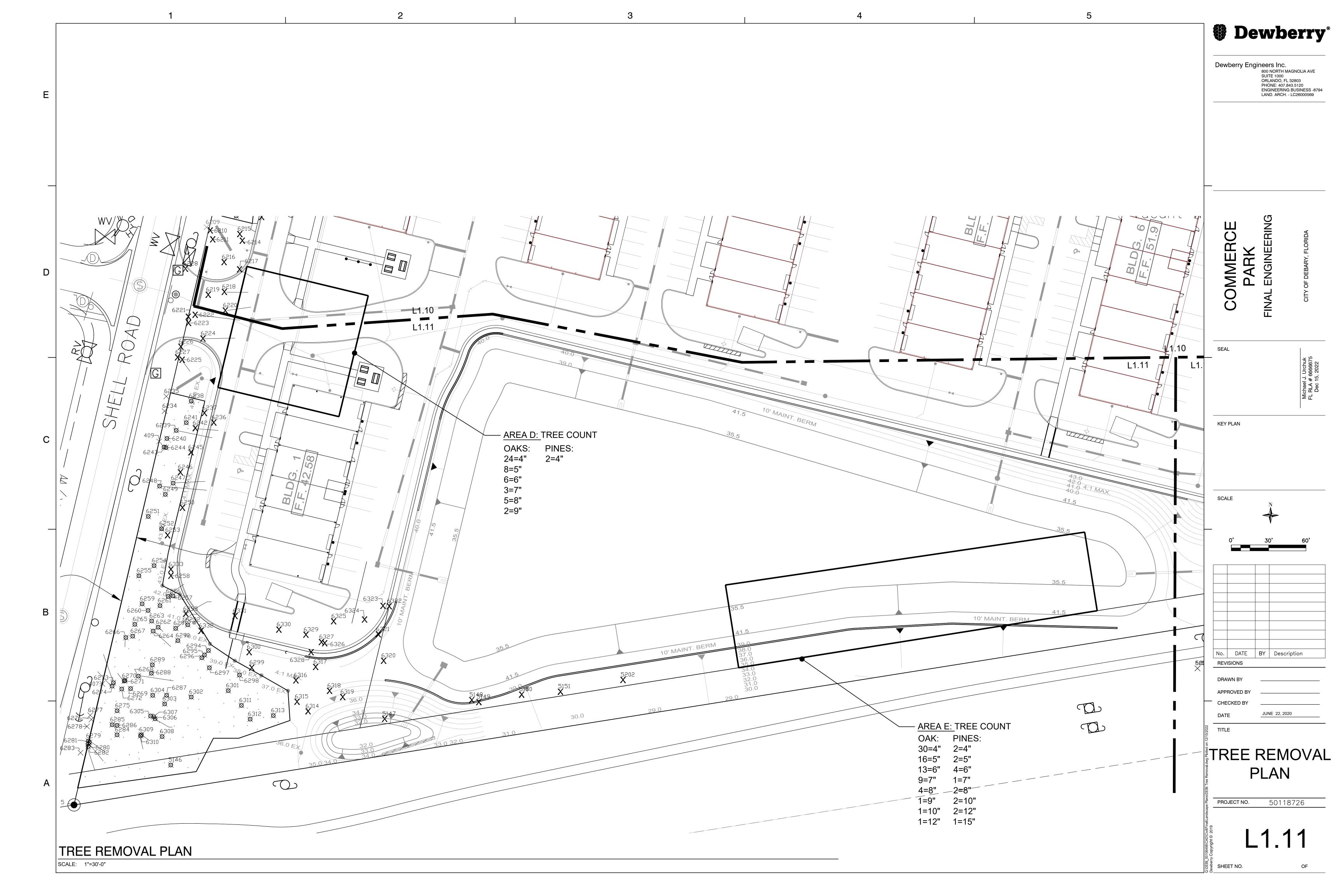
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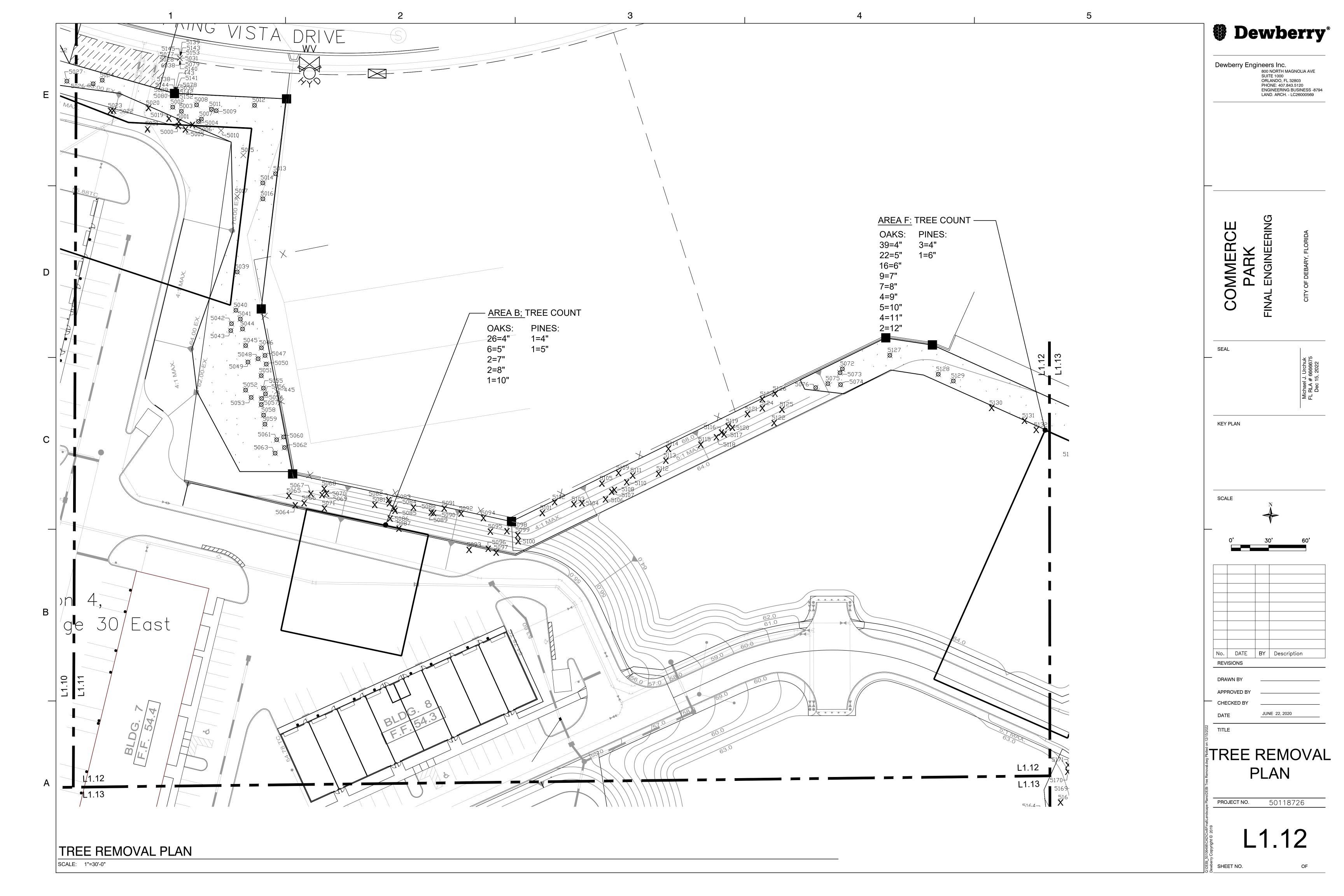
OVERALL PLAN

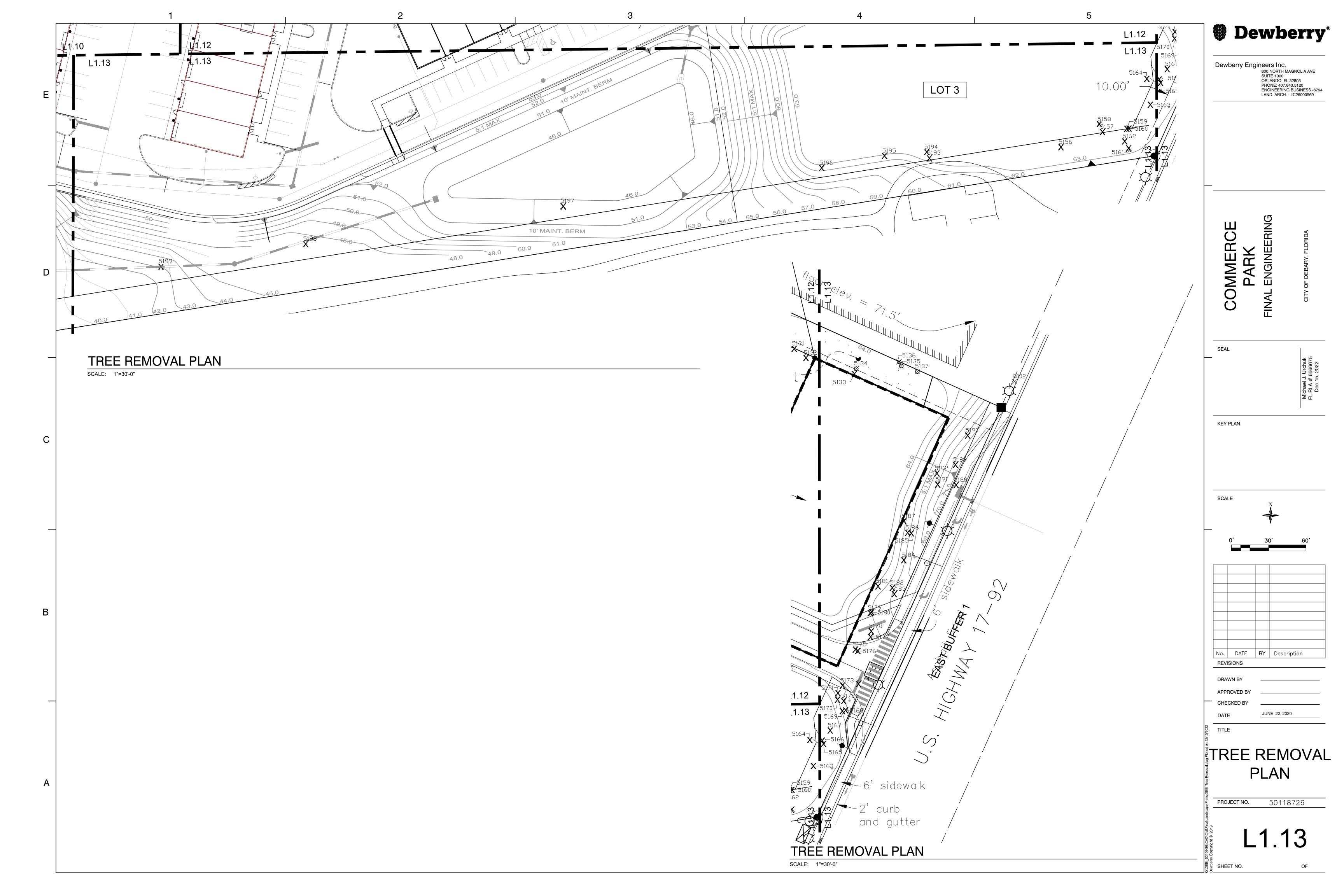
PROJECT NO. 50118726

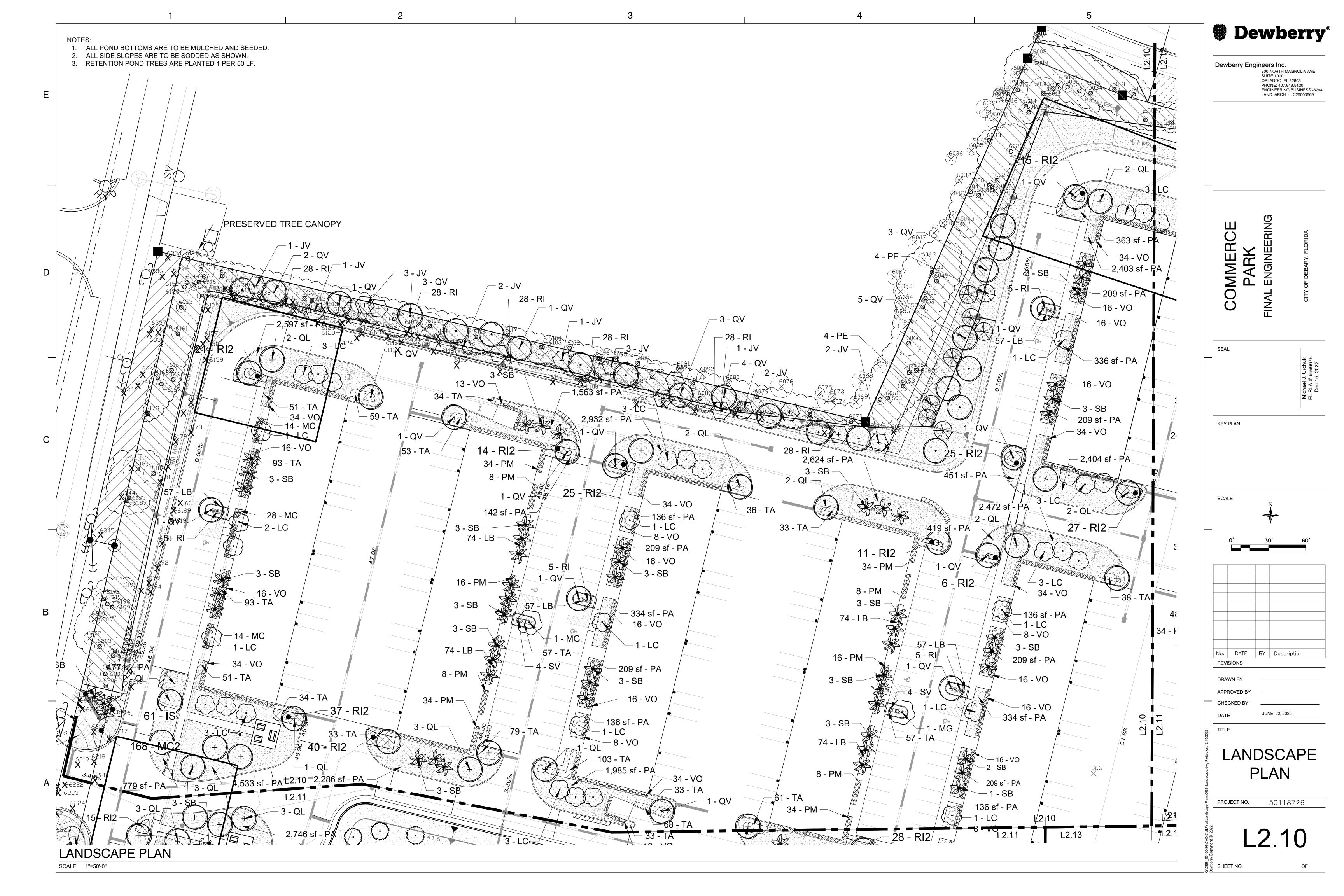
SHEET NO.

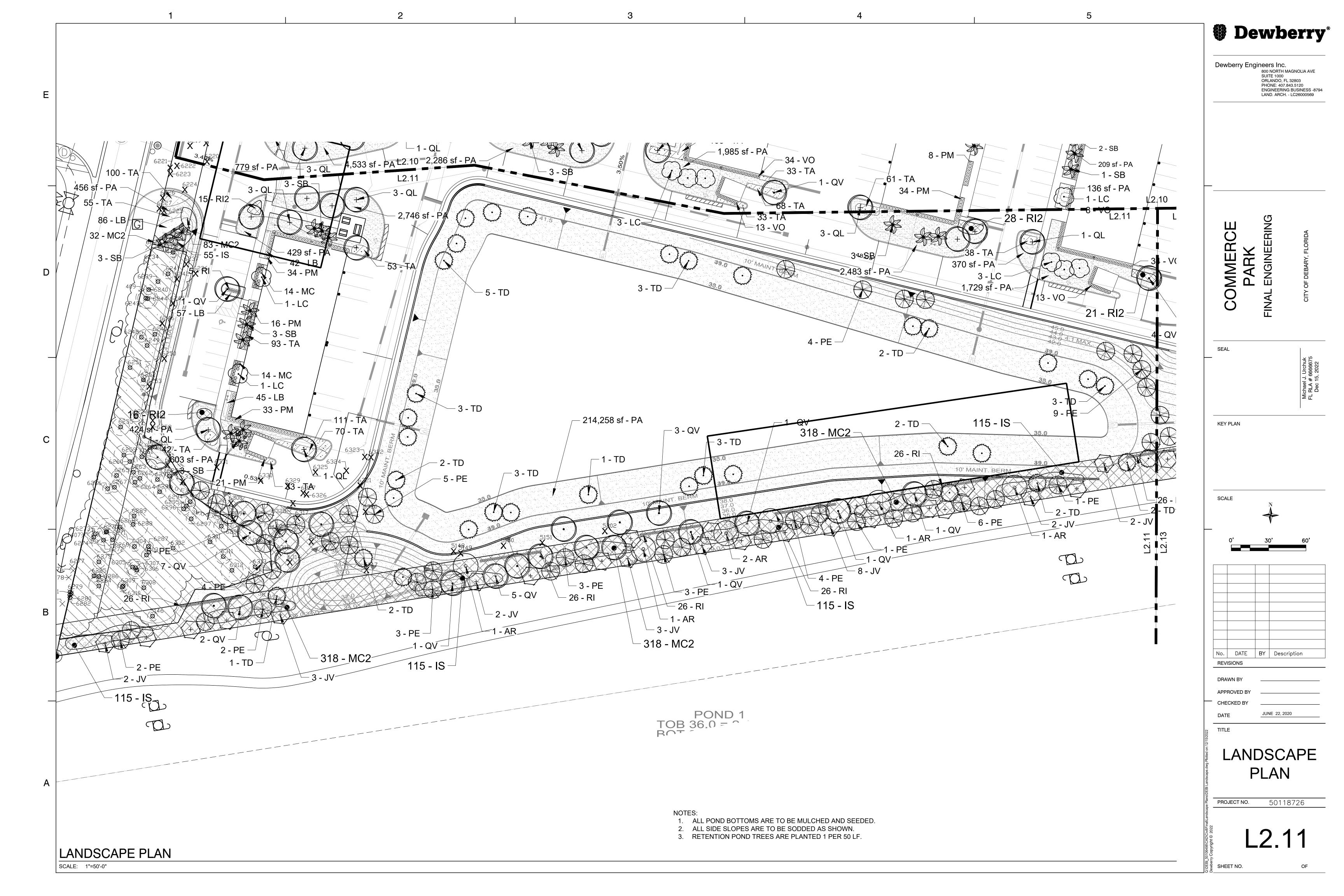


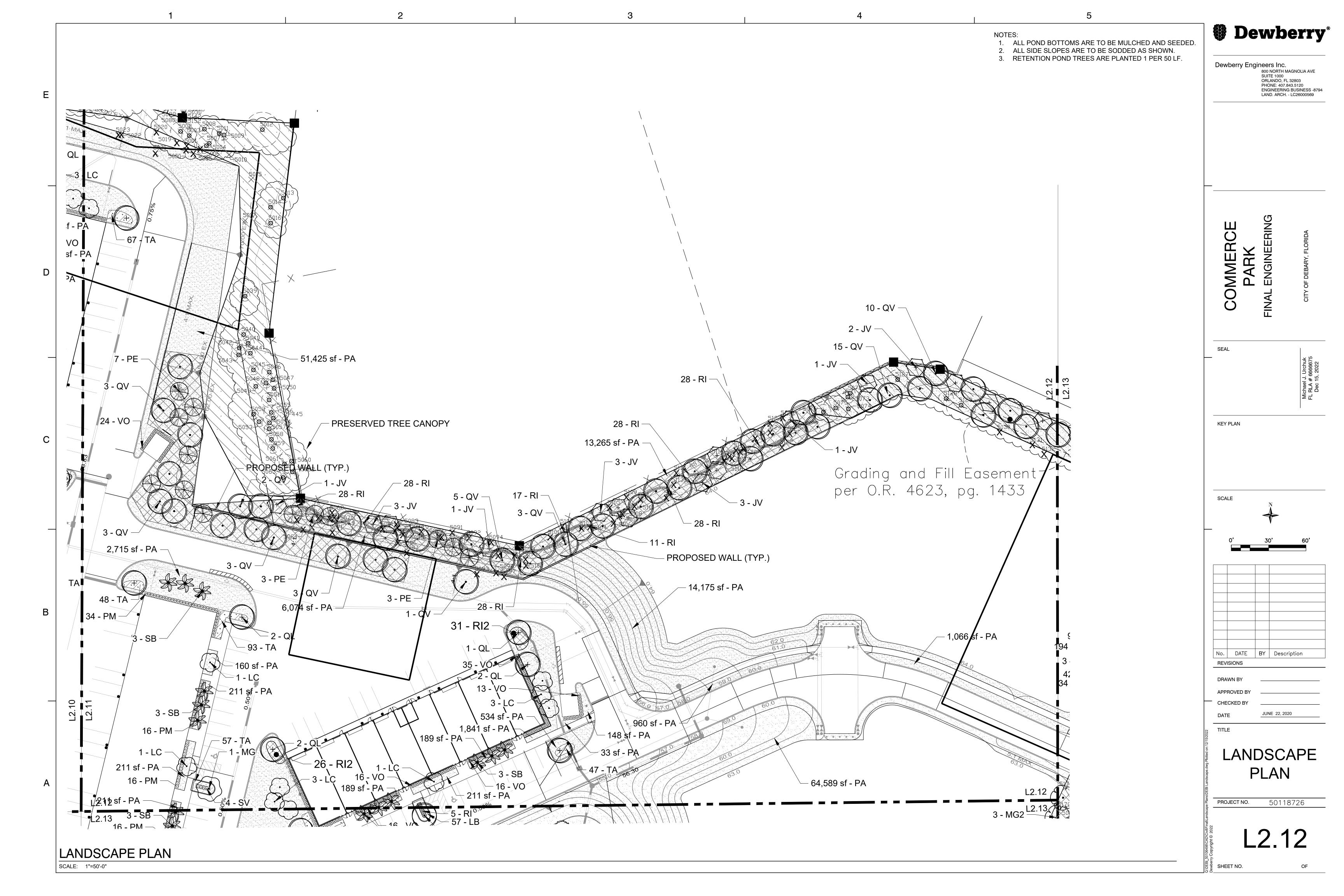


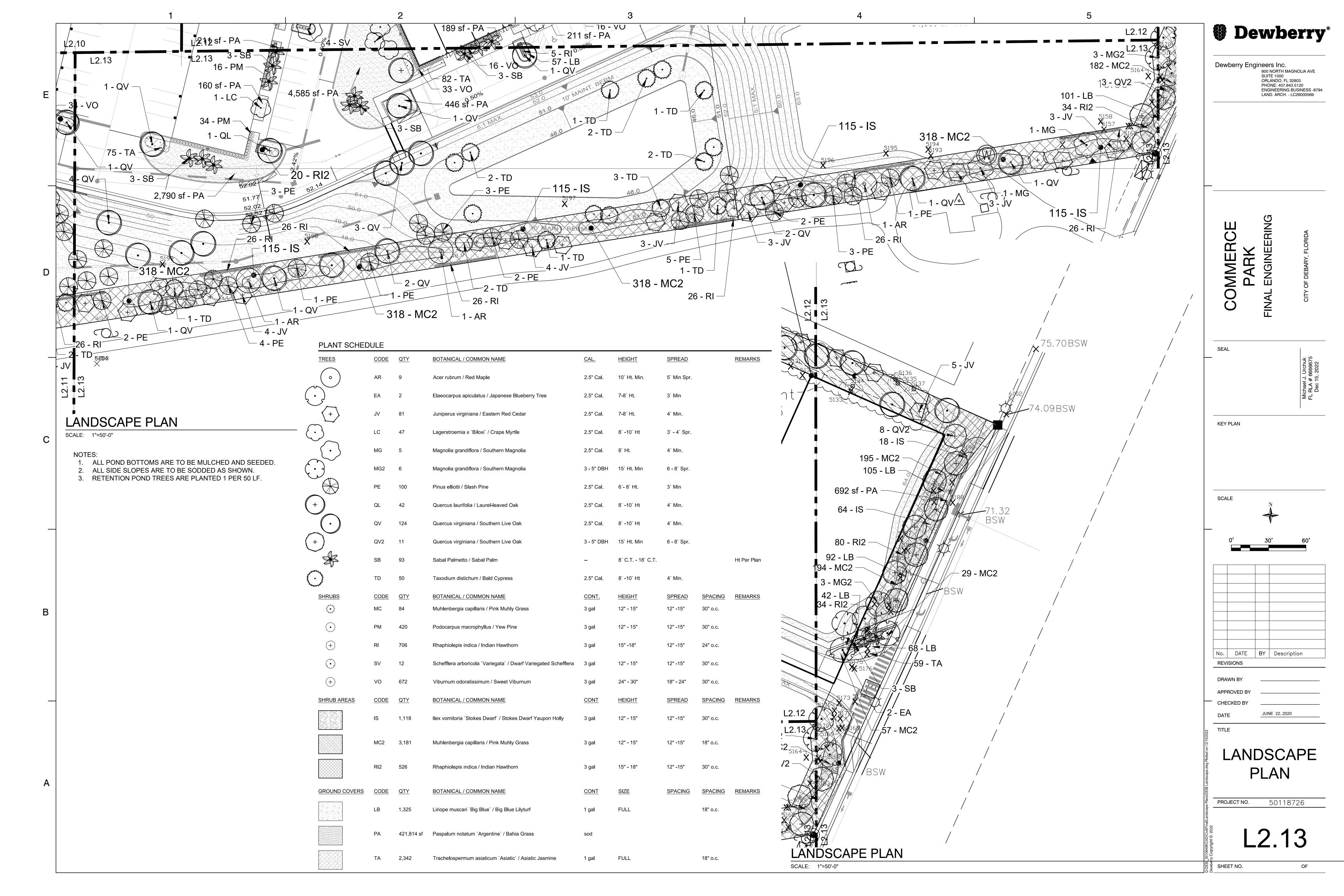


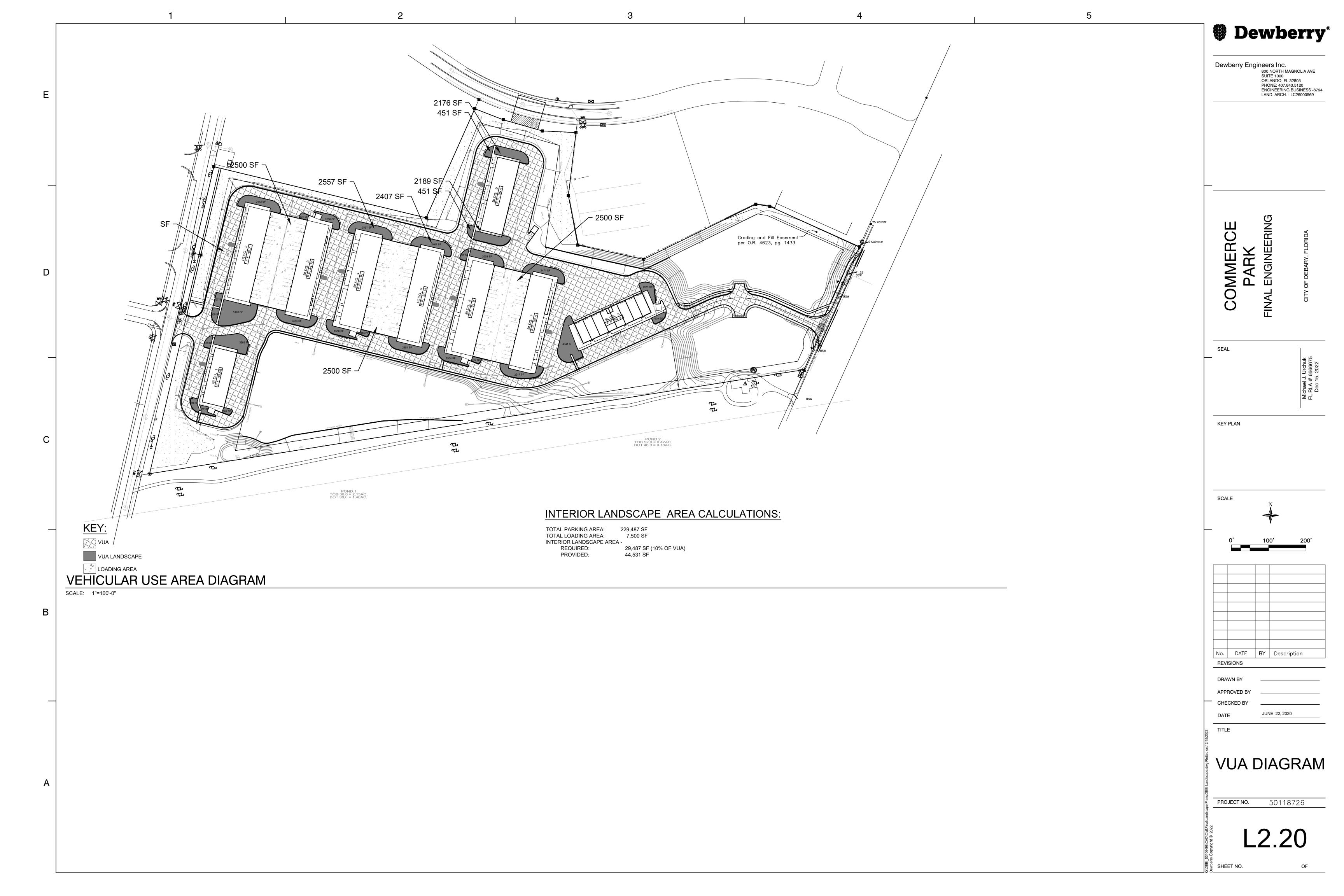


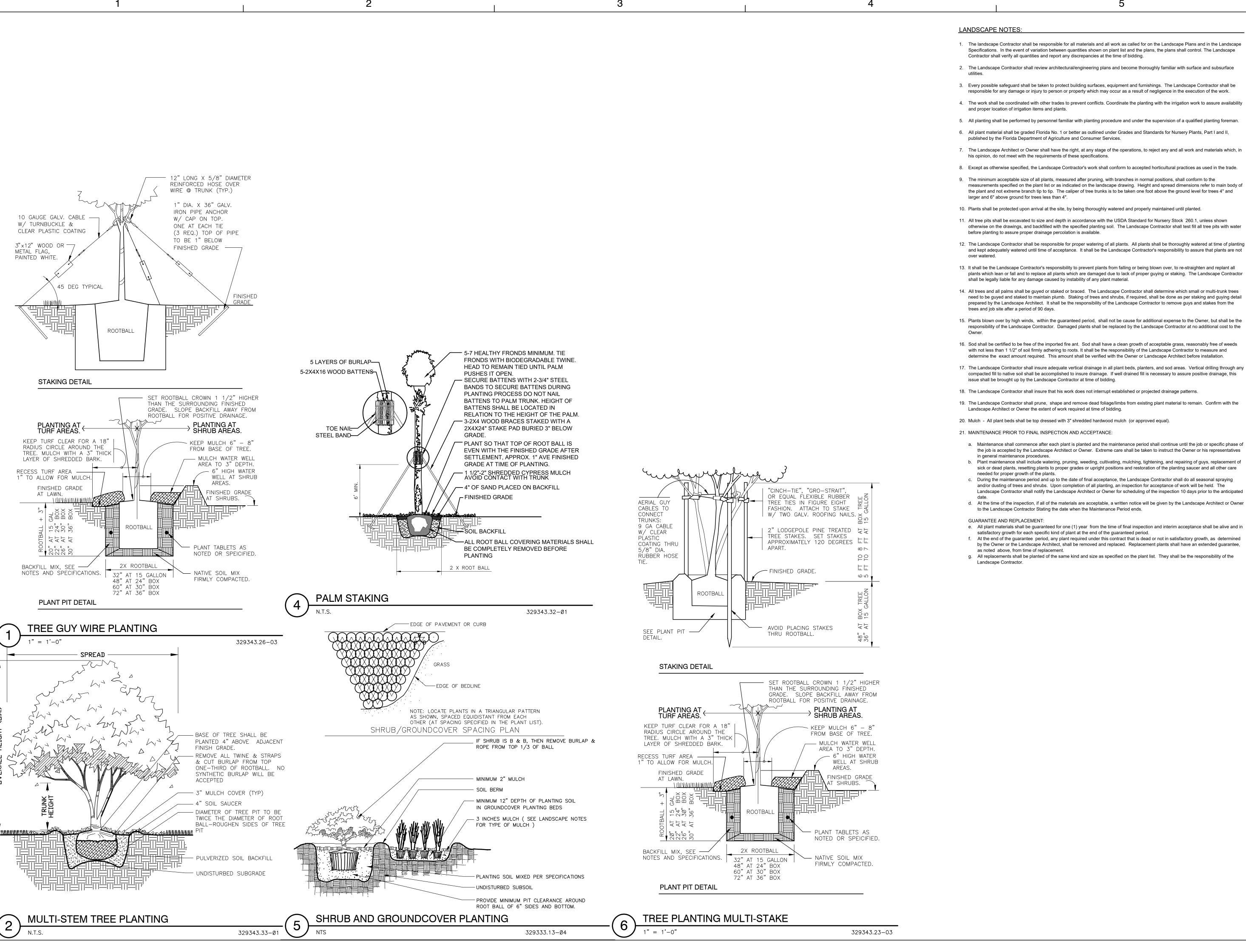














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LAND. ARCH. - LC26000569

O \square

SEAL

KEY PLAN

SCALE

No. DATE BY Description

DRAWN B

APPROVED I CHECKED BY

REVISIONS

JUNE 22, 2020 DATE

TITLE

NOTES & **DETAILS**

PROJECT NO. 50118726

SHEET NO.

January 26, 2023

DeBary Industrial Park, LLC ATTN: Patti Sholar 1590 Bobby Lee Point Sanford, FL 32771

Re: Commerce Case # 20-01-PPR-Commerce Park

Preliminary Plat and Construction Plan Development Order

Dear Ms. Sholar:

This letter is the Preliminary Plat and Construction Plan Development Order for the above referenced project. This development order authorizes commencement of construction after a required pre-construction meeting, in accordance with the approved construction plans dated December 15, 2022.

On December 7, 2021 the City of DeBary Development Review Committee conditionally approved the Preliminary Plat and Construction Plans, Case # 20-01-PPR-Commerce Park. Pursuant to the following findings, the City of DeBary Development Review Committee approved the Preliminary Plat and Construction Plans providing for the conditions of approval and acceptable revisions. Prior to the commencement of construction, the following conditions must be met.

- Please submit a certified Engineers Opinion of Cost (EOC) for the project, to be verified by the City Engineer prior to setting up the pre-construction meeting. The EOC shall not include water and sewer utilities. Volusia County Utilities will provide separate inspections.
- 2) Please bring payment, by check or money order, to the pre-construction meeting using the following formula to establish the development permit and inspection fee (2.0% of the first \$125,000 of improvements; 1.0% of over \$125,000 up to \$500,000; 0.5% over \$500,000).
- 3) A pre-construction meeting with the City of DeBary must be held prior to the commencement of construction.
 - a. Applicant must bring payment for inspection fee to the meeting.
 - b. Applicant must bring a tentative construction schedule to the meeting.
 - c. Applicant should bring the FDEP NOI to the meeting if available or be able to provide an update on the status.
- 4) Prior to the pre-construction meeting, please submit four (4) complete full-size and two (2) half-size sets of signed and sealed plans. In addition, please provide a digitized version of the plans in both a portable document format (PDF) and computer-aided design (CAD) format.



- 5) Please contact Kevin Hare, 386-601-0223 to schedule a pre-construction meeting prior to any on-site clearing and/or grading.
- 6) In accordance with Section 122-59 county ordinances, you must enter into a utility service agreement (USA) for sewer service before County staff may endorse the FDEP water and wastewater permit applications if applicable.
- 7) Coordinate with the Volusia County Water and Utility Services Group (Erin Reed, Utility Engineer) to provide for impact fees and two (2) sets of signed and sealed construction plans.
- 8) The applicant shall have erosion and sediment control procedures and equipment in place as well as any proposed tree protection barricades prior to commencement of construction.
- 9) A NPDES Erosion and Sediment Inspection will be performed by the City.
- 10) The applicant may need to execute a Road Maintenance Agreement prior to the commencement of construction.
- 11) Approved School Concurrency with the Volusia County School Board.
- 12) Provide a copy of the SJRWMD "Construction Commencement Notice" form (Form No. 40C-4.900(3)).

PLEASE NOTE: a pre-construction meeting will not be held without meeting the above requirements. Any site work, grading, fill dirt, or clearing of land prior to the required permits, development orders, or pre-construction meeting will result in violations of City Ordinance and be met with all applicable fines and/or penalties under local and state law.

The Building Permit Application process is initiated by submitting the completed application and appropriate plans. The Building Permit Application must be accompanied by the approved version of the site plan, and any approved addendum sheets. Copies of the approved version of the plan, signed and sealed have been provided to the City and are available upon request. A copy of the final plan and development order will be provided to the City of DeBary Building Department.

The valid period of this Development Order is 360 days from the date of this letter. If construction has not commenced or is not continuing in good faith to conclusion during this valid period, this Development Order shall expire, unless extended by the DeBary City Council. No construction may commence or continue if this Development Order has expired. During the period of 90 days before and 90 days after the expiration of this Development Order, the developer may request an extension from the City Council.

CITY of DeBARY

THE RIVER CLES

All plans and construction must be in substantial compliance with this Development Order. Deviations from the approved plans may require submittal of amended plans for review and approval by staff.

No final inspections will be performed by staff until the developer's engineer has certified that all construction has been completed in accordance with this Development Order and the approved plans. That certification must be submitted to the City before the final inspections will be scheduled. Please note, additional re-inspection fees for inspection of the site, may be required.

Please feel free to call me at 386-601-0238 if you have any questions or concerns.

Sincerely

Carmen Rosamonda

City Manager City of DeBary





Subject: Land Development Code
Review/Implement/Adopt Timeline
From: Steven E. Bapp, AICP
Growth Management Director

Meeting Hearing Date

November 15, 2023

Attachments:
() Ordinance
() Resolution
() Supporting Documents/ Contracts
(X) Other

REQUEST

Staff is presenting the timeline for the review, implementation and adoption of the new form-based Land Development Code (LDC).

PURPOSE

To inform the Council and Residents on the timeline for the structured review of the new form-based LDC.

CONSIDERATIONS

The City entered into a contract on April 22, 2020, to begin rewriting its Land Development Code. This effort included a complete reorganization of the existing chapters to a more modern user-friendly code, updates to each chapter to ensure consistency with current practice, incorporate recent ordinances, updates to all regulatory references, and an assessment of the Form-Based Code (FBC) regulations that apply to specific areas within the City.

Due to turnover in Growth Management Directors, COVID, and change in vendors (S.M. & E. was purchased by Inspire Placemaking), the City experienced delays. The City received its first completed draft on September 14, 2023. Also during the initial rewite, there have been various changes to the Florida Statues that must be implemented into the LDC to make it compliant with the Statues. Considering these factors, the Council implemented a nine-month moratorium to review, adopt and implement the new LDC.

Below is the prosed timeline and associated tasks:

- CC Workshop 1 January
 - o Form Base Code Overview / Timeline Refinement
- CC Workshop 2 February
 - Chapter 1 General Provision / Chapter 2 Definitions / Chapter 3 Administration
- CC Workshop 3 March
 - Chapter 5 Form Based Codes

- CC Workshop 4 April
 - Chapter 4 Zoning / Chapter 10 Subdivisions
- CC Workshop 4 May
 - Chapter 6 Accessory Structures
 - o Chapter 7 Circulation and Parking
 - o Chapter 8 Landscaping
 - o Chapter 11 Signs
- CC Workshop 5 and Public Participation June
 - o Entire LDC Overview
- July CC Adoption Hearings

COST/FUNDING

None.

RECOMMENDATION

It is recommended the City Council approve the proposed review/adopt/implement timeline.

IMPLEMENTATION

City staff will execute the proposed timeline, and adjust as needed.



Subject: ECHO Application Resolution **Attachments:**

Jason Schaitz, Parks and Recreation () Ordinance (x) Resolution

Director

() Supporting Documents/ Contracts

Meeting Hearing Date 11/15/2023 () Other

REQUEST

From:

The Parks and Recreation Department is requesting Council approve Resolution 2023-23 to confirm support and an effective date for the FY 23/24 ECHO Project for the Alexander Park Phase 1 Development.

PURPOSE

The request is needed at this time so we can move forward with the ECHO Grant Application.

CONSIDERATIONS

The project will provide funding for Phase 1 of development that was identified in the feasibility study and master plan as the priority items to open the park to the public. The project will include the infrastructure, entryway to the park, parking, restrooms, nature trails, overlook tower, and fishing pier.

COST/FUNDING

The budget for this project is \$5,005,500 (includes \$5,500 for required ECHO monument sign). \$2,500,000 will be paid by ECHO. The City would be responsible for 50% of the budget for a total of \$2,505,500, which includes \$625,000 land value for a portion of our match. The remaining will be encumbered in cash.

RECOMMENDATION

It is recommended that the City Council approve Resolution 2023-23 to commit 50% of the project funding for the Alexander Island Park project.

IMPLEMENTATION

Upon approval the Parks and Recreation Department will submit the application to Volusia County and move forward with the project.

ATTACHMENTS

Attachment A: Resolution 2023-23

RESOLUTION NO 2023-23

A RESOLUTION OF THE CITY OF DeBARY, VOLUSIA COUNTY, FLORIDA CONFIRMING SUPPORT FOR THE ECHO GRANT APPLICATION FOR ALEXANDER ISLAND PARK LOCATED AT 720 FT. FLORIDA ROAD, DeBARY, FLORIDA, 32713; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, in 2020, the voters of Volusia County approved the Volusia ECHO initiative which provides grants to not-for-profits, municipalities and county departments; and

WHEREAS, the program provides grant funds for projects that enhance the quality of life in Volusia County by insuring the availability of environmental, cultural, historical and outdoor recreational opportunities; and

WHEREAS, City staff has reviewed and prepared the grant application for the fiscal year 2023-2024; and

WHEREAS, the proposed project for the ECHO Application known as Alexander Island Park which is located at 720 Ft. Florida Road; and.

WHEREAS, the total cost of this phase is \$5,005,500 of which we are asking for \$2,500,000 in ECHO funds. The 1:1 match of \$2,505,500 is made up of \$1,880,500 unencumbered cash match; and \$625,000 of land match.

WHEREAS, should the total project costs exceed the budgeted amount, said funds shall be paid out of the existing contingency in the general fund.

IT IS HEARBY RESOLVED BY THE CITY OF DEBARY AS FOLLOWS:

SECTION 1. The City Council of the City of DeBary does hereby support the ECHO Grant Application for Alexander Island Park.

Annette Hatch, CMC, City Clerk



Subject:	Surplus Proper	ty	Attachments:
			() Ordinance
From:	Elizabeth Baue	er, Finance Director	() Resolution
			() Supporting Documents/ Contracts
Meeting He	aring Date	November 15, 2023	(x) Other

REQUEST

Staff is requesting authorization to dispose of surplus property and removal from capital inventory as of September 30, 2023.

PURPOSE

Florida Statutes Chapter 274.07 requires the authority for disposal of property to be recorded in the minutes of the governmental unit.

CONSIDERATIONS

A physical inventory was conducted in September 2023. City staff has identified specific items as detailed in the attached listing that are obsolete, no longer serviceable and/or serve no useful function. The surplus property has no commercial value. The items will be removed from capital inventory as of September 30, 2023.

Florida Statutes Chapter 274.06, in summary, authorizes the disposal of surplus property with an estimated value of less than \$5,000 in the most efficient and cost effective means as determined by the governmental unit.

COST/FUNDING

N/A

RECOMMENDATION

It is recommended that the City Council approve the disposal of surplus property as detailed in the attached listing and removal from capital inventory as of September 30, 2023.

ATTACHMENTS

Surplus property listing

City of Debary Surplus Capital Equipment on 9/30/23 11/15/23 Council Meeting

Second	Asset #	Asset Description	Date Acquired	Acquisition Cost	Useful Life	Remaining Useful Life	Depreciation Taken	Remaining Value	Removal Reason
271 EQUIP - TOWN HALL - HAM RADIO SYSTEM 328/2003 1,50.10 5 0 1,532.00 Dissolete	220	FOUR CAFE CITY DACE STATION M DMGGS	4/2/4000	4 002 00	-	0	4 000 00		Obsolata
271 EQUIP - TOWN HALL - HAM RADIO SYSTEM 3/28/2003 1,150.15 5 0 1,150.15 Closelate 283 VEHICLE - 2005 FORD F-150 - DUBLIC WRKS 11/15/2004 17,225.75 5 0 17,225.75 Unserviceable 288 EQUIP - PARKS - TRACTOR 4120 COMPACT 11/15/2004 17,225.75 5 0 17,225.75 Unserviceable 290 EQUIP - PARKS - TRACTOR 4120 COMPACT 11/15/2004 3,460.50 5 0 3,460.50 Unserviceable 303-2 EQUIP - GENERATOR 6 KW 2 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-3 EQUIP - GENERATOR 6 KW 3 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-5 EQUIP - GENERATOR 6 KW 3 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-5 EQUIP - GENERATOR 6 KW 5 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-5 EQUIP - GENERATOR 6 KW 5 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 305-6 EQUIP - PUMPS (2) 3 CENTRIFUGAL TRASH 9/23/2005 2,884.84 5 0 2,884.84 Unserviceable 306 EQUIP - HAM FADIO AND ANTENNAE 9/23/2005 2,884.84 5 0 2,884.84 Unserviceable 311-2 EQUIP - PUMP - 6HP TRASH 3 OF 3 11/11/2005 1,430.75 5 0 1,430.75 Unserviceable 311-3 EQUIP - PUMP - 6HP TRASH 3 OF 3 11/11/2005 1,430.75 5 0 1,430.75 Unserviceable 311-3 EQUIP - PUMP - 6HP TRASH 3 OF 3 TI/11/2005 1,430.75 5 0 1,430.75 Unserviceable 309 EQUIP - SAFETY LIGHTS FOR 3 TRUCKS 4/6/2006 2,211.60 5 0 2,211.60 Vehicles Surplused 309 EQUIP - COMPUTER - LAPTOP TOSHIBA 2/7/2008 1,990.00 5 0 1,990.00 Obsolete 368 EQUIP - COMPUTER - LAPTOP TOSHIBA 2/7/2008 1,990.00 5 0 1,990.00 Obsolete 309 EQUIP - SOFA UPSTAIRS LOBBY 2/13/2009 992.65 10 0 992.65 Obsolete 309 260 Obsolete						-			
283 VEHICLE - 2005 FORD F-150 - PUBLIC WRKS 11/15/2004 18,480.00 5 0 18,460.00 Unserviceable 288 EQUIP - PARKS - TRACTOR 4702 COMPACT 11/15/2004 3,460.50 5 0 3,460.50 Lnserviceable 303-2 EQUIP - GENERATOR 6KW 2 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-3 EQUIP - GENERATOR 6KW 3 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 303-5 EQUIP - GENERATOR 6KW 3 OF 5 7/8/2005 850.00 5 0 850.00 Unserviceable 306 EQUIP - GENERATOR 6KW 5 OF F 5 7/8/2005 850.00 5 0 850.00 Unserviceable 306 EQUIP - HAM RADIO AND ANTENNAE 9/30/2005 4,555.40 5 0 4,555.40 Obsolete 311-2 EQUIP - PUMP - 6HP TRASH 3 OF 3 11/11/2005 1,430.75 5 0 1,430.75 Unserviceable 311-3 EQUIP - 5HP TRASH 3 OF 3 11/11/2005 1,430.75 5 <td< td=""><td></td><td></td><td></td><td>·</td><td>_</td><td>-</td><td></td><td></td><td></td></td<>				·	_	-			
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16-0027 EQUIP - RADIO 2 WAY SYSTEM 10F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0028 EQUIP - RADIO 2 WAY SYSTEM 20F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0029 EQUIP - RADIO 2 WAY SYSTEM 30F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0030 EQUIP - RADIO 2 WAY SYSTEM 40F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0040 EQUIP - SERVER UPGRADE W/EXCHANGE 9/30/2016 9,566.48 5 0 9,566.48 Obsolete 17-0040 EQUIP - LAPTOP & SOFTWARE 6/7/2017 1,033.40 5 0 1,033.40 Obsolete 17-0034 EQUIP - RADIO 2 WAY SYSTEM 5 OF 6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 17-0035 EQUIP - RADIO PORTABLE (1 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete 20-0029 EQUIP - BASE STATION FOR RADIOS 1/23/2020 4,703.84 5 2.31 2,657.57 2,286.45 Obsolete	16-0023	EQUIP - COMPUTER LAPTOP DELL LATTITUDE	3/27/2016	1,497.72	5	0	1,497.72		Obsolete
16-0028 EQUIP - RADIO 2 WAY SYSTEM 20F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0029 EQUIP - RADIO 2 WAY SYSTEM 30F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0030 EQUIP - RADIO 2 WAY SYSTEM 40F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0040 EQUIP - SERVER UPGRADE W/EXCHANGE 9/30/2016 9,566.48 5 0 9,566.48 Obsolete 17-0040 EQUIP - LAPTOP & SOFTWARE 6/7/2017 1,033.40 5 0 1,033.40 Obsolete 17-0034 EQUIP - RADIO 2 WAY SYSTEM 5 OF 6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 17-0035 EQUIP - RADIO 2 WAY SYSTEM 60F6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 20-0019 EQUIP - RADIO PORTABLE (1 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete 20-0030 EQUIP - RADIO PORTABLE (2 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete <	16-0024	EQUIP - COMPUTER LAPTOP DELL LATTITUDE	3/27/2016	1,497.72	5	0	1,497.72		Obsolete
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16-0030 EQUIP - RADIO 2 WAY SYSTEM 40F4 6/22/2016 3,571.32 5 0 3,571.32 Obsolete 16-0040 EQUIP - SERVER UPGRADE W/EXCHANGE 9/30/2016 9,566.48 5 0 9,566.48 Obsolete 17-0040 EQUIP - LAPTOP & SOFTWARE 6/7/2017 1,033.40 5 0 1,033.40 Obsolete 17-0034 EQUIP - RADIO 2 WAY SYSTEM 5 OF 6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 17-0035 EQUIP - RADIO 2 WAY SYSTEM 60F6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 20-0019 EQUIP - RADIO PORTABLE (1 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete 20-0030 EQUIP - RADIO PORTABLE (2 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete	16-0028	EQUIP - RADIO 2 WAY SYSTEM 20F4	6/22/2016	3,571.32	5	0	3,571.32		Obsolete
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17-0040 EQUIP - LAPTOP & SOFTWARE 6/7/2017 1,033.40 5 0 1,033.40 Obsolete 17-0034 EQUIP - RADIO 2 WAY SYSTEM 5 OF 6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 17-0035 EQUIP - RADIO 2 WAY SYSTEM 60F6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 20-0019 EQUIP - RADIO PORTABLE (1 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete 20-0030 EQUIP - RADIO PORTABLE (2 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete	16-0030	EQUIP - RADIO 2 WAY SYSTEM 40F4	6/22/2016	3,571.32	5	0	3,571.32		Obsolete
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17-0034 EQUIP - RADIO 2 WAY SYSTEM 5 OF 6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 17-0035 EQUIP - RADIO 2 WAY SYSTEM 60F6 8/28/2017 3,452.83 5 0 3,452.83 Obsolete 20-0019 EQUIP - RADIO PORTABLE (1 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete 20-0029 EQUIP - BASE STATION FOR RADIOS 1/23/2020 4,703.84 5 2.31 2,528.48 2,175.36 Obsolete 20-0030 EQUIP - RADIO PORTABLE (2 OF 2) 1/23/2020 4,944.02 5 2.31 2,657.57 2,286.45 Obsolete						0			
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Subject: Budget Amendment Resolution 2023-24
From: Elizabeth Bauer , Finance Director
(x) Resolution
() Supporting Documents/ Contracts
Meeting Hearing Date November 15, 2023

Attachments:
(x) Resolution
() Supporting Documents/ Contracts
() Other

REQUEST

Finance Director is requesting the Mayor and City Council approve Resolution 2023-24 to amend fiscal year 2022-2023 budget.

PURPOSE

This agenda item is needed at this time to amend the fiscal year 2022-2023 budget based on activity during fiscal year 2022-2023.

CONSIDERATIONS

- The city received a cybersecurity grant for approximately \$70,000. The Gary Sinise Foundation donated \$56,981 of bunker gear for the fire department. The revenue and expenditure for these items need to be in the budget.
- Based on the volume of building permits issued, the revenue is being increased by \$250,000 and the related 80% contracted services expense is being adjusted. Rental equipment costs related to Hurricane Idalia are covered by budgeting \$50,000.
- Recreation fee revenue was over budget so we are budgeting an additional \$25,000 of revenue which will cover overages in program expense and special event operating supplies. Special event operating supplies was over budget mainly due to costs of the Alexander Island and the 4th of July events.
- Parks maintenance exceeded budget by almost \$100,000. Some of the factors for the overage include Alexander Island, Rob Sullivan Park (RSP) playground repairs, musco lighting, generator repair, well pumps at Splash Pad and RSP, tractor repair, scoreboard repair, chemicals, fertilizer, field paint, and clay. To cover these costs, budget from revenue from electric utility tax can be increased due to collections coming in over budget.

• Other amendments are needed to budget decisions of the City Council on funding of the Florence K Little renovation project, Gateway Park entrance signal engineering and permitting and the purchase of the N.O.W. property.

Per Florida statues, a fiscal year budget must have final amendments done within 60 days of the fiscal year end. The details of this amendment can be found on Schedule A which is part of the Resolution.

RECOMMENDATION

It is recommended that City Council approve Resolution 2023-24 to amend fiscal year 2022-2023 budget.

ATTACHMENTS

Resolution 2023-24 Schedule A

RESOLUTION 2023-24

A RESOLUTION OF THE CITY OF DEBARY, FLORIDA; AMENDING THE FISCAL YEAR 2022-2023 BUDGET, CHANGING CERTAIN RESERVES, REVENUES AND EXPENDITURES AND PROVIDING FOR AN EFFECTIVE DATE.

IT IS HEREBY RESOLVED BY THE CITY OF DEBARY AS FOLLOWS:

SECTION 1. The City Council hereby ratifies and adopts the amendment hereto attached to and made part of this Resolution as Schedule "A" to the City of DeBary's Fiscal Year 2022-2023 Annual Operating Budget.

SECTION 2. This Resolution shall take effect immediately upon its adoption.

ADOPTED BY the City Council of the City of DeBary, Florida this 15th day of November, 2023.

	APPROVED:	
	CITY COUNCIL	
	CITY OF DEBARY, FLORIDA	
	Karen Chasez, Mayor	
	<u> </u>	
nnette Hatch, CMC, City Clerk		

Resolution 2023-24

Final Budget Amendment FY 2023 City Council Meeting 11/15/2023

City of DeBary

					Final Budget	
Account	Account Description	Budget	YTD Actual	Amendment	After Amend	Description
001-1910-519-5200	IT - Operating Supplies	18,605	86,332.24	70,000	88,605	CC 5/17/23 Cybersecurity State Grant
001-3300-334-1000	Grant Income - Gent Govt - State	-	69,868.74	70,000	70,000	CC 5/17/23 Cybersecurity State Grant
001-2200-522-5200	Fire - Operating Supplies	10,200	63,447.58	56,981	67,181	Gary Sinise Foundation - Bunker Gear
001-3600-366-0000	Donations Revenue	5,000	63,661.36	56,981	61,981	Gary Sinise Foundation - Bunker Gear
001-2401-524-3110	Building - Prof. Svc Bldg. Dept Serv	720,000	905,808.87	200,000	920,000	Increased Activity
001-3200-322-0000	Building Permits Revenue	900,000	1,131,986.09	250,000	1,150,000	Increased Activity
001-2502-525-4430	Safety - Equipment Rental	-	48,761.96	50,000	50,000	Hurricane Idalia
001-7202-572-3412	Recreation - Program Expense	20,000	29,793.56	15,000	35,000	Increased Participation
001-7204-572-5200	Special Evt - Operating Supplies	35,220	45,089.95	10,000	45,220	Alexander Island opening and 4th of July
001-3400-347-2000	Recreation Fees Revenue	80,000	108,369.55	25,000	105,000	Increased Participation
001-7203-572-4430	Parks Maint - Equipment Rentals	6,500	7,412.53	1,000	7,500	Truck rental
001-7203-572-4610	Parks Maint - Maint - Buildings & Grnds	191,600	230,752.98	42,000	233,600	Alex Island, RSP PG Warr Labor, Musco lighting
001-7203-572-4660	Parks Maint - Maint - Equipment	22,700	50,607.62	32,000	54,700	Gen repair, Well Pumps SP & RSP, JD tractor, Scoreboard
001-7203-572-5200	Parks Maint - Operating Supplies	72,600	92,257.61	25,000	97,600	Chemicals, fertilizer, field paint, clay
001-3100-314-1000	Utility Tax - Electric Revenue	1,800,000	2,212,233.25	100,000	1,900,000	Based on electric company billing
001-3800-381-0125	Transfer from Franchise Fee Fund	600,000	600,000.00	52,664	652,664	CC 5/3/23 FKL Restroom Project
001-7201-572-6300	Parks & Rec - Infrastructure	507,000	183,244.53	52,664	559,664	CC 5/3/23 FKL Restroom Project
125-3200-323-1000	Franchise Fees - Electric Revenue	800,000	1,164,969.29	52,664	852,664	CC 5/3/23 FKL Restroom Project
125-9002-581-9001	Transfer Out - General Fund	600,000	600,000.00	52,664	652,664	CC 5/3/23 FKL Restroom Project
128-7201-572-6300	Infrastructure	65,000	96,000.00	147,200	212,200	CC 6/7/23 Gateway Park Entrance Signal, Eng, Permit
128-9001-590-9900	Reserves	288,085	-	(147,200)	140,885	CC 6/7/23 Gateway Park Entrance Signal, Eng, Permit
						-
300-3800-538-6100	Land - Stormwater	-	34,574.50	975,000	975,000	CC 5/3/23 N.O.W. Property
300-9001-590-9900	Reserves	3,940,050	-	(975,000)	2,965,050	CC 5/3/23 N.O.W. Property

Schedule A



VOLUNTEER ADVISORY BOARD/COMMITTEE APPLICATION

Thank you for your interest in serving the City of DeBary. Your completion of this application is necessary so members of the City Council can thoroughly review each application as part of their consideration for your appointment. Please check the Board(s) / Committee(s) you are interested in serving on.

	Bicycle and Pedestrian Advisory Committee to the TPO
and programmer or printed and state, apply	Charter Review Committee
	Citizens Advisory Committee to the TPO
	Golf Cart Review Committee
	Hometown Heroes Committee
Minimum and the control of the contr	Historic Preservation Advisory Board
	Orlandia Heights Neighborhood Improvement District Board
MODELS CONTROL AND	River of Lakes Heritage Corridor Scenic Highway Board
who delived to the first and the same and a same	Temporary Appointed City Council Member
	Volusia Growth Management Commission
PERSONAL (PLEASE PRIN	T)
Name: Gale Kok	ler
Mailing Address: 516	racie Rd
city: Ocbary	State: FL Zip: 32713
Residence (if different from	mailing):
Home Phone:	Business Phone: 407-402-1581
Email Address: gale	gale Kohler. Com
Are you a registered voter in	DeBary? Yes No
Length of residency in DeBa	ry: Years <u>35</u> Months
Occupation: <u>Broker</u>	associate
Are you currently serving or	any other City advisory boards? Yes No
Have you ever served on a C	City advisory board? Yes No

Applicant Name: Gale Kohler
If yes, when and which board?
Have you graduated from DeBary Citizens Academy? Yes No
WORK HISTORY (PLEASE PRINT)
Present Employer Name: Keller Williams Heritage Realty
Present Employer Name: Keller Williams Heritage Realty Employer Address: 1150 Douglas Are Ste 2020 altanonte Springs FL. 32714) 9700 Employment Dates: 8= 2019 = 2005 CA
Employer Phone Number: 407. 862-9700 Employment Dates: 8-2019 - present
- Co-Chale on the associate Leadership Councilors Community Service Board
- Co-Charle on the associate Leadership Councilors
Community Service board
Previous Employer Name: DeBary Realty
Employer Address: 301 N Pine Meadow Dr Obary FL 32713 Employer Phone Number: 386-68-0411 Employment Dates: 9-09-7-2019
Employer Phone Number: 386-68-0411 Employment Dates: 9-09 - 7-2019
Job Duties: <u>ASSIST</u> constorners in banying: Selling properties
REFERENCES (May be business and/or personal) (PLEASE PRINT)
NAME, ADDRESS & TELEPHONE NUMBER Sharler Rucker 407-924-4649
71 lst St. Chulusta : F1. 32764
NAME, ADDRESS & TELEPHONE NUMBER Danielle Pensala 407-529.
455 Gleaming Handover War Lower Wood PL 32/19
NAME, ADDRESS & TELEPHONE NUMBER PAM Valle 407-386-416-4416
252 Glen Abbey Lane DeBarry FC 32713

Applicant Name: CAle KONICY
EDUCATION
High School: Expield High Scool
High School: Ev field High Scool College: Daytona Blach Community Degree:
Postgraduate: Degree:
ACTIVITIES / COMMUNITY INVOLVEMENT: I have been Chairing my company of 2550 ciate Leadership Community outreach programmer the past 4 years. Serving Local organizations: Citizens. Back-pack drives, volunteer oppositurities etc. WHY DO YOU WANT TO SERVE ON THIS BOARD?: Q5 Q Local resident for over
1550 Care Luaus wp conver community outreach projeance
Citizens. Back-pack drives, volunteer opportunities esc.
39 years I have hatched our little town bloom. I feel very
connected to the people that live here 4 would like to serve in a position to help my fellow citizen
WHAT WOULD YOU WANT TO ACCOMPLISH DURING YOUR TERM?: Hometown heroes
applications, Choose honorees + plan presentation.
I have lived in Orlandia Heights for 23 years
I understand the responsibilities associated with being a board committee member and I have adequate time to serve if appointed.
Signature:
RETURN COMPLETED APPLICATION TO: City Clerk City of DeBary
16 Colomba Road DeBary, Florida 32713
(386) 601-0219
ahatch@debary.org