

Historic Preservation Commission Agenda

Wednesday, April 23, 2025 at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

1. **Call Meeting to Order**
2. **Roll Call**
3. **Approval of Minutes**
 - [a.](#) HP Commission Minutes 4/9/25
4. **Voucher Approvals**
 - [a.](#) HP Operating Vouchers
 - [b.](#) HP Revolving Vouchers
5. **HP Programs and Revolving Loan Program**
 - [a.](#) Historic Preservation Program Application
Pamela Massa - 15 Washington - Elderly Resident Grant
6. **Old or General Business**
 - a. Presentation of the 2025 Deadwood Historic Preservation Commission Scholarship Recipients to the following Lead-Deadwood High School Seniors
Jerzie Artz - \$500 Vocational Scholarship
Cruz Mollman - \$500 Vocational Scholarship
Connor Harrison - \$1,000 College Scholarship
Jonas Runge - \$1,000 College Scholarship
 - [b.](#) Recommendation to renew grant software subscription with Foundant Technologies
 - [c.](#) Award First Baptist Church a Not-For-Profit Grant in the amount of \$26,787.35 per submitted application
7. **New Matters Before the Deadwood Historic District Commission**
 - [a.](#) COA 250054 - First Baptist Church - 110 Sherman Street - Replace Storm Windows
8. **New Matters Before the Deadwood Historic Preservation Commission**
 - [a.](#) PA 250044 - Dale & Susan Berg - 874 Main - Repairs to large structure - (Continued from April 9, 2025 meeting)
 - [b.](#) PA 250052 - Lori Wilkinson - 67 Terrace - Repair Foundation
9. **Items from Citizens not on Agenda**
(Items considered but no action will be taken at this time.)
10. **Staff Report**
(Items considered but no action will be taken at this time.)

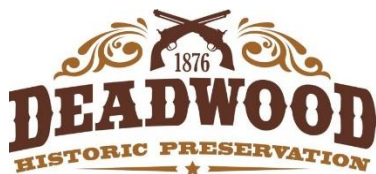
- a. Update on Emergency Outside of Deadwood Grant Request for FlatIron in Hot Springs
- [b.](#) Fassbender Spring Newsletter
- c. State Historic Preservation Board of Trustees Meeting

11. **Committee Reports**

(Items considered but no action will be taken at this time.)

12. **Adjournment**

Note: All Applications ***MUST*** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.



Historic Preservation Commission Minutes

Wednesday, April 9, 2025, at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

1. Call Meeting to Order

A quorum present, Commission Chair Diede called the Deadwood Historic Preservation Commission meeting to order on April 9, 2025, at 4:00 p.m.

2. Roll Call

PRESENT

HP Commission Chair Leo Diede

HP Commission Vice Chair Vicki Dar

HP Commissioner 2nd Vice Chair Trevor Santochi

HP Commissioner Molly Brown

HP Commissioner Jesse Allen

HP Commissioner Anita Knipper

City Commissioner Blake Joseph

ABSENT:

HP Commissioner Tony Williams

STAFF PRESENT

Kevin Kuchenbecker, Planning, Zoning and Historic Preservation Officer

Bonny Anfinson, Historic Preservation Coordinator

Quentin Riggins, City Attorney

Mike Walker, Neighborworks

3. Approval of Minutes

a. HP Meeting Minutes 03/26/25

It was motioned by Commissioner Knipper and seconded by Commissioner Dar to approve minutes of the March 26, 2025, meeting. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.

4. Voucher Approvals

a. HP Operating Vouchers

It was motioned by Commissioner Santochi and seconded by Commissioner Dar to approve HP Operating Vouchers in the amount of \$76,376.61. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.

b. HP Revolving Vouchers

It was motioned by Commissioner Santochi and seconded by Commissioner Brown to approve HP Revolving Vouchers in the amount of \$4,180.63. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.

5. HP Programs and Revolving Loan Program

- a. Accept 15 Madison and 15 Forest into Retaining Wall Program
Billy Fritze – 15 Madison
Adrian Newkirk – 15 Forest

It was moved by Commissioner Allen and seconded by Commissioner Brown to accept Billy Fritze, 15 Madison and Adrian Newkirk, 15 Forest into the Retaining Wall Program. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.

6. Old or General Business

- a. 2025 Scholarship Program Recipient Approval

Mr. Kuchenbecker stated the Projects Committee met on April 1, 2025, and reviewed eight applications by Lead-Deadwood High School seniors for the 2025 Scholarship Program. The committee selected two recipients for the \$1,000 college scholarship, Connor Harrison and Jonas Runge. Two recipients for the \$500 vocational scholarship, Jerzie Artz and Cruz Mollman. ***It was moved by Commissioner Brown and Seconded by Commissioner Santochi to accept Connor Harrison and Jonas Runge for a \$1,000 scholarship each and Jerzie Artz and Cruz Mollman for a \$500 scholarship each for the 2025 Scholarship Program as budgeted in this fiscal year. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.***

- b. Resolution 2025-01 to adopt standard naming for Deadwood pioneer Wong Fee Lee (黃輝利) - Garry Guan, State Historic Preservation Officer

Mr. Kuchenbecker stated this was brought before you by Garry Guan, State Historic Preservation Officer. As we prepare for recognition of Wong Fee Lee with the Bronze sculpture and the Wong family doing their reunion at the same time it is proper etiquette to use the last name first. This resolution adopts a standard naming format to be from this point forward for historic purposes. Garry Guan stated this will guide all people doing research on Deadwood City and Chinese characters to benefit from this resolution. Commissioner Joseph questioned Wong is the surname and Fee Lee is the given name. We are honoring this person for historic accuracy and education purposes as well. Mr. Guan stated yes. ***It was moved by Commissioner Dar and seconded by Commissioner Santochi to adopt Resolution 2025-01 for standard naming for Deadwood pioneer Wong Fee Lee (黃輝利). Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.***

7. New Matters Before the Deadwood Historic District Commission

8. New Matters Before the Deadwood Historic Preservation Commission

- a. PA 250033 – Dale & Susan Berg – 874 Main – Construct Deck

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 874 Main St., a contributing structure located in the Upper Main Planning Unit. The applicant is requesting permission to take top deck off, reset all posts that do not meet code, change out, redo deck, railing and gates. Will do whatever is not up to City code. This deck now removed was constructed

without a building permit or Historic Preservation approval. The Commission reviewed a request at their October 23, 2024 meeting and it was denied and given 180 days to remove pool, deck and structure. Applicant does have the ability to resubmit revised plans prior to removal. Staff recommended the applicant consider two separate plans for the proposed deck and the proposed building/carport.

This application is for the reconstruction of the deck. Original submittal of plan indicated the deck around the pool was attached to the proposed upper building that had also been ordered to be removed. Staff recommended the deck not to be connected to the building due to the unknown actions of the commission regarding the proposed building and should be treated separately.

Unfortunately, work was completed which removed the opportunity for archaeological investigations and consideration by the commission for adverse effects to the landscape and associated contributing structure. Since the previous work has already been performed the landscape has been altered and in staff's opinion the work does encroach upon the contributing resource; however, may not be adverse to the district.

It was moved by Commissioner Dar and seconded by Commissioner Knipper based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. This action approves the proposed work and a building permit would be issued along with an investigation fee of an additional two times the building permit assessed to the project. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.

- b. PA 250044 – Dale & Susan Berg – 874 Main – Repairs to large structure

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 874 Main St., a contributing structure located in the Upper Main Planning Unit. A set of engineering plans were submitted with no scope of work described in the application. The Historic Preservation Commission denied the construction of this structure at their October 23, 2024 meeting. On November 13, 2024, the Historic Preservation Commission determined the structure was built without approval and must be removed. The applicant was given 180 days following the receipt of the notification letter to remove the structure. The applicant has submitted stamped engineering plans for rectifying the code deficiencies identified by the City of Deadwood; however, there is no real change or alteration to the existing configuration of the structure/building which was previously denied by the Deadwood Historic Preservation Commission. At this time, the commission determined the project did encroach upon a historic resource and was adverse to Deadwood. All previous opinions of staff remain, primarily the elevations and roof style is not compatible with the associated contributing resource or the historic districts. Since there is no change to the design of the existing structure which has already been denied, it would be best that no action be taken. The existing structure is under an order for removal. If he desires to have a structure in this location, he should go back to the drawing board and present something that is compatible to the district and meets the guidelines. He still has some time to do so.

All that was done was to address the code deficiencies and not the design of the structure itself. Mr. Berg said that will all change in the reconstruction. Mr. Kuchenbecker stated that is not what was presented in the plans unless you have brought in different plans. These plans address code issues but no design changes to the character of the building. Commission Knipper stated it's not only to meet the code, but it's also the historic look of the structure. ***It was moved by Commissioner Santochi and seconded by Commissioner Brown to continue this item until the April 23, 2025 meeting requesting alternate plans describing the proposed exterior design of the building including elevation drawings, materials and gable roof compatible with the Historic District. The design could resemble more of a carriage house. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.***

Commissioner Joseph left the meeting at 4:30 p.m.

- c. PA 250042 – Pamela Massa – 15 Washington – Replace Windows on sides and rear of structure

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 15 Washington, a contributing structure located in the Ingleside Planning Unit in the City of Deadwood. The applicant is requesting permission to replace windows on the sides and rear of the structure. Six windows on the first floor replacing the current single pane windows with six double hung windows. Replacing four single pane windows with double hung windows on the second floor. All windows will be Pella wood windows. The applicant was in our windows program in 2021 to replace inappropriate windows on the front porch which have been completed. The applicant has applied for revolving loan funds to assist in funding for this phase of their project. This will remove the aluminum storms which currently hide the windows. Staff had previously reviewed the windows which were determined to be in marginal condition. The proposed work and changes do not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was motioned by Commissioner Santochi and seconded by Commissioner Knipper based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.***

- d. PA 250043 – Ben & Sheri Greenlee – 52 Van Buren – Replace Siding

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 52 Van Buren, a contributing structure located in the Ingleside Planning Unit in the City of Deadwood. The applicant is requesting permission to replace all siding with LP Smart Siding and house wrap the house to meet code. Staff conducted a site visit to review the current condition of the siding. Except for a couple of locations along the bottom of the structure, the siding is in good shape other than alligatored paint. It is staff's opinion due to the condition of the siding, all that needs done is to make needed repairs to the siding with available primed

cedar lap siding, scrape or sand the balance of the house, apply peel stop, primer and top coat of paint. Based on visual inspections, the house has existing barrier between the sheathing and the siding which is typical of the age of the resource. It appears to be a rosin or asphalt-impregnated paper which was used as a weather-resistive barrier in the 1930s and 1940s. The proposed work and changes does damage or destroy a historic resource by losing the original material which can be restored but would not have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Dar and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project does encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval contingent upon this being a repair using wood siding with the same reveal as currently on the structure. Voting Yea: Santochi, Diede, Allen, Dar, Knipper, Brown.***

9. **Items from Citizens not on Agenda**

Beverly Posey recognized Anita Knipper as Fire Person of the Year

10. **Staff Report**

The State Historic Preservation History Conference will be in Deadwood May 7-9. Let Bonny know if you wish to participate.

The 150th Committee met today.

Election was April 8th, the new mayor will be sworn in the first meeting in May

11. **Committee Reports**

(Items considered but no action will be taken at this time.)

Commissioner Dar – Dueling Pianos was sold out.

Commissioner Allen – Deadwood Alive is looking forward to Summer. Trails Committee working on brochure and app. Forks, Korks and Kegs this weekend.

12. **Adjournment**

The HP Commission meeting adjourned at 4:41 p.m.

ATTEST:

Chairman, Historic Preservation Commission

Minutes by Bonny Anfinson, Historic Preservation Coordinator

Historic Preservation Commission

Bill List - 2025

OPERATING ACCOUNT: Historic Preservation	
HP Operating Account Total:	\$ 17,603.90

Approved by _____ on ____/____/____
HP Chairperson

HPC	04/23/25
Batch	05/06/25

PACKET: 07028 05/06/25 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-3156		BRANDON INDUSTRIES INC.				
I-2017827-IN		WAYFINDING PROJECT	6,366.00			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		WAYFINDING PROJECT		215 4577-775-03	CIP-WAYFINDING	6,366.00
=== VENDOR TOTALS ===			6,366.00			
=====						
01-3314		CENTURY BUSINESS PRODUCTS, INC				
I-785930		CONTRACT 3/9/25-4/08/25	169.22			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		CONTRACT 3/9/25-4/08/25		215 4641-434	MACHINERY/EQUIPMENT	169.22
=== VENDOR TOTALS ===			169.22			
=====						
01-5016		JOE DIRT SEPTIC & DRAIN LLC				
I-532793		5 HARRISON CAMERA	351.00			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		5 HARRISON CAMERA		215 4575-515	GRANT/LOAN RETAINING WAL	351.00
=== VENDOR TOTALS ===			351.00			
=====						
01-5404		MID STATE WELDING				
I-20-898		EVENT CNTR SIGN	4,060.65			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		EVENT CNTR SIGN		215 4577-735	CAPITAL ASSETS RODEO GRO	4,060.65
=== VENDOR TOTALS ===			4,060.65			
=====						
01-1278		PONDEROSA LAND SURVEYS, LLC.				
I-8560		PLAT - MOLLMAN SUBDIVISION	3,441.25			
4/07/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		PLAT - MOLLMAN SUBDIVISION		101 4640-422	PROFESSIONAL SERVICES	3,441.25
=== VENDOR TOTALS ===			3,441.25			
=====						
01-3060		QUIK SIGNS				
I-49624		ADAMS EXHIBIT	565.78			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025		1099: N		
		ADAMS EXHIBIT		215 4572-235	VISITOR MGMT ADVOCATE	565.78
=== VENDOR TOTALS ===			565.78			

PACKET: 07028 05/06/25 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----				GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----		DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====							
01-0039		SD STATE HISTORICAL SOCIETY					
I-042225		J MARTINISKO 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		J MARTINISKO 2025 CONF REGIS			101 4640-427	TRAVEL	150.00
I-042225-1		BLUE-JONES 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		BLUE-JONES 2025 CONF REGIS			101 4640-427	TRAVEL	150.00
I-042225-10		ANFINSON 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		ANFINSON 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-11		DAR 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		DAR 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-12		KUCHENBECKER 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		KUCHENBECKER 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-2		EAGLESON 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		EAGLESON 2025 CONF REGIS			101 4640-427	TRAVEL	150.00
I-042225-4		S MARTINISKO 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		S MARTINISKO 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-5		BROWN 2025 CONF REGIST	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		BROWN 2025 CONF REGIST			215 4641-427	TRAVEL	150.00
I-042225-6		JOSEPH 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		JOSEPH 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-7		DIEDE 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		DIEDE 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-8		SANTOCHI 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		SANTOCHI 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
I-042225-9		ALLEN 2025 CONF REGIS	150.00				
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		ALLEN 2025 CONF REGIS			215 4641-427	TRAVEL	150.00
=== VENDOR TOTALS ===				1,800.00			

PACKET: 07028 05/06/25 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----				GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----		DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====							
01-0407	SHERWIN WILLIAMS CO						
I-5829-0		ADAMS MUSEUM BELL TOWER		50.45			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		ADAMS MUSEUM BELL TOWER			215 4577-730	CAPITAL ASSETS ADAMS MUS	50.45
=== VENDOR TOTALS ===				50.45			
=====							
01-4739	WATERS HARDWARE-HP PAINT PROGR						
I-6018/S		35 LINCOLN PAINT GRANT		67.96			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		35 LINCOLN PAINT GRANT			215 4575-525	GRANT/LOAN PAINT PROGRAM	67.96
I-6052/S		35 LINCOLN PAINT GRANT		67.96			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		35 LINCOLN PAINT GRANT			215 4575-525	GRANT/LOAN PAINT PROGRAM	67.96
I-6204/S		35 LINCOLN PAINT GRANT		67.96			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		35 LINCOLN PAINT GRANT			215 4575-525	GRANT/LOAN PAINT PROGRAM	67.96
I-6418/S		390 WILLIAMS PAINT GRANT		95.23			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		390 WILLIAMS PAINT GRANT			215 4575-525	GRANT/LOAN PAINT PROGRAM	95.23
I-6432/S		15 FOREST PAINT GRANT		300.44			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		15 FOREST PAINT GRANT			215 4575-525	GRANT/LOAN PAINT PROGRAM	300.44
=== VENDOR TOTALS ===				599.55			
=====							
01-1731	WHEELER LUMBER OPERATIONS						
I-1340-039276		CHIME TOWER REPAIR		200.00			
5/06/2025	FNBAP	DUE: 5/06/2025 DISC: 5/06/2025			1099: N		
		CHIME TOWER REPAIR			215 4577-730	CAPITAL ASSETS ADAMS MUS	200.00
=== VENDOR TOTALS ===				200.00			
=== PACKET TOTALS ===				17,603.90			

PACKET: 07028 05/06/25 - HP OPERATING -
VENDOR SET: 01 CITY OF DEADWOOD
SEQUENCE : ALPHABETIC
DUE TO/FROM ACCOUNTS SUPPRESSED

** T O T A L S **

INVOICE TOTALS 17,603.90
DEBIT MEMO TOTALS 0.00
CREDIT MEMO TOTALS 0.00

BATCH TOTALS 17,603.90

** G/L ACCOUNT TOTALS **

					=====LINE ITEM=====				=====GROUP BUDGET=====			
					ANNUAL	BUDGET	OVER		ANNUAL	BUDGET	OVER	
BANK	YEAR	ACCOUNT	NAME	AMOUNT	BUDGET	AVAILABLE	BUDG		BUDGET	AVAILABLE	BUDG	
	2025	101-2020	ACCOUNTS PAYABLE	3,891.25-*								
		101-4640-422	PROFESSIONAL SERVICES	3,441.25	27,000	18,490.75						
		101-4640-427	TRAVEL	450.00	2,500	2,015.00						
		215-2020	ACCOUNTS PAYABLE	13,712.65-*								
		215-4572-235	VISITOR MGMT ADVOCATE	565.78	220,000	184,205.87		819,000	672,433.54			
		215-4575-515	GRANT/LOAN RETAINING WAL	351.00	575,000	574,619.00						
		215-4575-525	GRANT/LOAN PAINT PROGRAM	599.55	25,000	22,555.50						
		215-4577-730	CAPITAL ASSETS ADAMS MUS	250.45	40,000	39,749.55						
		215-4577-735	CAPITAL ASSETS RODEO GRO	4,060.65	650,000	644,439.35						
		215-4577-775-03	CIP-WAYFINDING	6,366.00	45,000	38,634.00						
		215-4641-427	TRAVEL	1,350.00	10,000	3,249.24						
		215-4641-434	MACHINERY/EQUIPMENT	169.22	11,148	10,978.78						
		999-1301	DUE FROM FUND 101	3,891.25 *								
		999-1306	DUE FROM FUND 215	13,712.65 *								
		** 2025 YEAR TOTALS		17,603.90								

APPROVED BY _____
ON _____

4/23/2025 1:23 PM

A/P Regular Open Item Register

Section 4 Item a.

PACKET: 07028 05/06/25 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
101	4/2025	3,441.25
101	5/2025	450.00
215	5/2025	13,712.65

NO ERRORS

NO WARNINGS

** END OF REPORT **

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

4/23/2025 8:18am

HP REVOLVING LOAN FUND
A/P Invoices Report
4/1/2025 - 4/30/2025
Batch = 2

Page 1 of 1

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
04/2025								
SoDak Title - OE-0182-25 - 4/23/2025 - 120.00 - Batch: 2 - Header Memo: OE Report-15 Washington-Massa								
OE Report-15 Washington-Massa	100	5200				CLOSING COSTS DISBURSED	120.00	
OE Report-15 Washington-Massa	100	2000				ACCOUNTS PAYABLE		120.00
Total:							120.00	120.00
Total:							120.00	120.00
Report Total:							120.00	120.00

Deadwood HP Total Loans 3/31/2025	
Accounting Balance (Fund EZ)	This Month
Loans per Balance Sheet - Acct 100-1201	\$2,296,283.22
TOTAL	\$ 2,296,283.22
Loan Base:	This Month
Investor Trial Balance Report	\$ 2,285,783.22
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
3/26/2025 Meeting Packet	
TOTAL	\$ 2,296,283.22
	Difference \$ -

Deadwood HP Total Loans 3/31/2025	
Accounting Balance (Fund EZ)	
Loans per Balance Sheet	\$2,296,283.22
TOTAL	\$ 2,296,283.22
Loan Base:	
Pool Trial Balance Report	\$ 2,285,783.22
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
3/26/2025 Meeting Packet	
TOTAL	\$ 2,296,283.22
	Difference \$ -

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HP REVOLVING LOAN FUND
Balance Sheet
As of Date: 3/31/2025

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	Current Year	Prior Year
Assets		
Current Assets		
CASH-SAVINGS	829,204.66	1,443,934.22
CASH-INVESTED	812,024.90	777,912.43
ACCRUED INTEREST RECEIVABLE	1,536.42	1,536.42
LATE FEES RECEIVABLE	3,986.87	3,986.87
Total Current Assets	1,646,752.85	2,227,369.94
Other Assets		
NOTES RECEIVABLE	2,296,283.22	2,249,856.46
Total Other Assets	2,296,283.22	2,249,856.46
Total Assets	3,943,036.07	4,477,226.40
Liabilities & Net Assets		
Liabilities		
Current Liabilities		
Allowance for Uncollected	(60,258.34)	(39,698.34)
ACCOUNTS PAYABLE	(1,449.34)	(1,449.34)
YE Accounts Payable	1,449.34	1,449.34
Total Current Liabilities	(60,258.34)	(39,698.34)
Total Liabilities	(60,258.34)	(39,698.34)
Net Assets		
NET ASSETS	4,608,323.95	4,608,323.95
Fund Balance	56,035.78	56,035.78
NET EARNINGS(LOSS)	(2,538,795.41)	(2,025,165.08)
PRIOR YEAR EARNINGS (LOSS)	116,204.47	116,204.47
HP BUDGET	(13,474.38)	(13,474.38)
PRIOR YEAR HP BUDGET	1,775,000.00	1,775,000.00
Total Net Assets	4,003,294.41	4,516,924.74
Total Liabilities & Net Assets	3,943,036.07	4,477,226.40

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HP REVOLVING LOAN FUND
Statement of Revenue and Expense
Current Period: 3/1/2025 - 3/31/2025
Year-to-Date: 1/1/2025 - 3/31/2025

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	Current Year Current Period	Current Year Year-to-Date	Prior Year Current Period	Prior Year Year-to-Date
Revenue				
PERM LOAN INTEREST	2,119.50	6,259.79	2,329.55	6,636.68
SAVINGS INTEREST	3,826.34	28,345.44	3,729.24	13,817.08
SERVICE FEES	185.00	545.00	229.81	659.81
LATE FEES	50.00	175.00	151.05	211.05
APPLICATION FEES	1,244.00	4,277.46	1,161.81	3,995.81
CLOSING COSTS	705.65	1,853.34	609.30	1,257.81
Total Revenue	8,130.49	41,456.03	8,210.76	26,578.24
Expenses				
PROF & ADMIN FEES	3,500.00	8,053.75	3,000.00	6,520.00
CLOSING COSTS DISBURSE	180.00	990.00	360.00	1,050.00
Foundation Grant Expense	0.00	4,229.60	0.00	0.00
Windows Grant Expense	0.00	0.00	90.00	28,552.17
Elderly Grant Expense	10,035.61	21,780.24	30.00	4,722.78
Siding Grant Expense	0.00	0.00	0.00	10,147.05
Facade Grant Expense	0.00	0.00	0.00	268,030.00
Total Expenses	13,715.61	35,053.59	3,480.00	319,022.00
Excess or (Deficiency) of Revenue Over Expenses	(5,585.12)	6,402.44	4,730.76	(292,443.76)

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TRIAL BALANCE: POOLS

Range Of Investors
All Pools

Neighborhood Lending Services, LLC

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Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HP POOL #: C0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
LS	41-240027	Costopoulos, LI	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	277.78	49444.44	0.00	0.00
HPRRWPSH	HPRRWPSHA	Sharma,Larry	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	400.00	18800.00	0.00	0.00
Group Totals:													677.78	68244.44	0.00	0.00
>>> INVESTOR #: HP POOL #: C5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
PSV	41-240022	Costopoulos, LI	2	0	03/01/25	04/01/25	03/05/25	5.0000	No	5.0000	Curr	0.0000	389.08	48832.43	0.00	0.00
HPCRLNUGG	HPCRLNUGG	Nugget Saloon,	2	0	03/01/25	04/01/25	03/05/25	5.0000	No	5.0000	Curr	0.0000	1212.84	221737.36	0.00	0.00
Group Totals:													1601.92	270569.79	0.00	0.00
>>> INVESTOR #: HP POOL #: CUFR DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPCUPFLA	HPCUPFLAL	Deadwood Main,	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	1041.67	214583.22	0.00	0.00
Group Totals:													1041.67	214583.22	0.00	0.00
>>> INVESTOR #: HP POOL #: R0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
11-240003	11-240003	Dragon Belly, L	2	0	06/01/25	07/01/25	07/03/24	0.0000	No	0.0000	Curr	0.0000	46.78	2245.48	0.00	0.00
LS	11-240072	Schramm,Steven	2	0	03/01/25	04/01/25	03/12/25	0.0000	No	0.0000	Curr	0.0000	415.04	23657.56	0.00	0.00
LS	11-240081	Long,Jonathan	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	208.33	24375.01	0.00	0.00
11-250002	11-250002	Laine-drummond,	2	0	03/06/25	04/01/25	03/06/25	0.0000	No	0.0000	Curr	0.0000	208.33	25000.00	0.00	0.00
HPLSKIR	HPLSKIR	Kirkpatrick,Eli	2	0	04/01/25	05/01/25	03/15/25	0.0000	No	0.0000	Curr	0.0000	104.17	2485.00	0.00	0.00
HPR0SJOM	HPR0SJOM	Sjomelling,Danie	2	0	03/01/25	04/01/25	03/10/25	0.0000	No	0.0000	Curr	0.0000	136.43	11459.97	0.00	0.00
LSAFETY	HPRLSBOBO	The Fht Company	2	0	03/01/25	04/01/25	03/15/25	0.0000	No	0.0000	Curr	0.0000	191.32	8790.34	0.00	0.00
LIFE SFTY	HPRLSBRE	Breland,Philip	2	0	12/01/25	01/01/26	12/24/24	0.0000	No	0.0000	Curr	0.0000	416.67	9999.88	0.00	0.00
HPRLSCOUP	HPRLSCOUP	Paha Sapa Holdi	2	0	03/01/25	04/01/25	03/15/25	0.0000	No	0.0000	Curr	0.0000	138.89	22083.31	0.00	0.00
HPRLSEMAN	HPRLSEMAN	Emanuel,Karl	2	0	04/01/25	05/01/25	03/26/25	0.0000	No	0.0000	Curr	0.0000	208.33	20380.00	0.00	0.00
HPRLSFAS	HPRLSFAS	Fasnacht,Glenn	2	0	03/01/25	04/01/25	03/03/25	0.0000	No	0.0000	Curr	0.0000	160.55	13486.36	0.00	0.00
LIFE SFTY	HPRLSGREE	Greenlee,Benjam	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	416.67	17916.61	0.00	0.00
HPRLSHERT	HPRLSHERT	Herd,David	2	0	03/01/25	04/01/25	03/03/25	0.0000	No	0.0000	Curr	0.0000	208.33	14375.17	0.00	0.00
LIFE SAFTY	HPRLSJNWM	Johnson,Michael	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	138.89	21249.97	0.00	0.00
Life Sfty	HPRLSJJOHN	Johnson,Joette	2	0	03/01/25	04/01/25	03/10/25	0.0000	No	0.0000	Curr	0.0000	138.89	43724.88	0.00	0.00
LIFE SAFTY	HPRLSPOTT	Cara Mia Lic,Ca	2	0	04/01/25	05/01/25	03/26/25	0.0000	No	0.0000	Curr	0.0000	208.33	20625.07	0.00	0.00
HPRLSRITZ	HPRLSRITZ	Ritz,Jody	2	0	03/01/25	04/01/25	03/03/25	0.0000	No	0.0000	Curr	0.0000	51.77	1764.55	0.00	0.00
HPRLSSMIT	HPRLSSMIT	Smith,Gordon	2	0	01/01/26	02/01/26	03/21/25	0.0000	No	0.0000	Curr	0.0000	145.68	4950.32	0.00	0.00

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Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
LIFE SAFTY	HPRLSTHOM	Thompson Ii,Mar	2	0	04/01/25	05/01/25	03/10/25	0.0000	No	0.0000	Curr	0.0000	104.17	22336.64	0.00	0.00
HPRLSTREN	HPRLSTREN	Trentz,Sylvia	2	0	04/01/25	05/01/25	03/15/25	0.0000	No	0.0000	Curr	0.0000	96.47	19641.98	0.00	0.00
Life SFTY	HPRLSUNDE	Underhill,Ronal	2	0	03/01/25	04/01/25	03/07/25	0.0000	No	0.0000	Curr	0.0000	104.17	19064.43	0.00	0.00
HPRLSWEB	HPRLSWEB	Weber,Todd	2	0	04/01/25	05/01/25	03/10/25	0.0000	No	0.0000	Curr	0.0000	66.43	13485.12	0.00	0.00
HPRRW0EMI	HPRRW0EMR	Emrick Real Est	2	0	04/01/25	05/01/25	03/26/25	0.0000	No	0.0000	Curr	0.0000	207.59	21771.38	0.00	0.00
LIFE SAFEY	HPSLRUNG	Runge,Michael	2	0	04/01/25	05/01/25	03/18/25	0.0000	No	0.0000	Curr	0.0000	208.33	3000.00	0.00	0.00
Group Totals:													4330.56	387869.03	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
PRSV	HPRPRV7EM	The Fht Company	2	0	03/01/25	04/01/25	03/15/25	3.0000	No	3.0000	Curr	0.0000	244.21	15590.86	0.00	0.00
HPRRPVCOI	HPRRPVCOU	Paha Sapa Holdi	2	0	03/01/25	04/01/25	03/15/25	3.0000	No	3.0000	Curr	0.0000	111.88	15037.72	0.00	0.00
PRESERVAT	HPRPRVJOH	Johnson,Michael	2	0	03/01/25	04/01/25	03/05/25	3.0000	No	3.0000	Curr	0.0000	172.65	21927.27	0.00	0.00
Preservatn	HPRPRVPOT	Cara Mia Llc,Ca	2	0	04/01/25	05/01/25	03/26/25	3.0000	No	3.0000	Curr	0.0000	241.40	20117.01	0.00	0.00
HPRPSVHOI	HPRPSVHOH	Hohn,John	2	0	04/01/25	05/01/25	03/12/25	3.0000	No	3.0000	Curr	0.0000	126.97	6517.24	0.00	0.00
PRESV 3	HPRPVUND3	Underhill,Ronal	2	0	03/01/25	04/01/25	03/07/25	3.0000	No	3.0000	Curr	0.0000	138.65	21794.26	0.00	0.00
HPRREFALL	HPRREFALL	Allen,Jesse	2	0	03/01/25	04/01/25	03/05/25	3.0000	No	3.0000	Curr	0.0000	103.56	16449.92	0.00	0.00
HPRREFGAT	HPRREFGAT	Gathmann,Naomi	2	0	03/01/25	04/01/25	03/13/25	3.0000	No	3.0000	Curr	0.0000	139.02	10250.64	0.00	0.00
Group Totals:													1278.34	127684.92	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRPRSCH	HPRPRSCH	Schramm,Steven	2	0	04/01/25	05/01/25	03/05/25	3.5000	No	3.5000	Curr	0.0000	60.83	3512.68	0.00	0.00
Prsv 1	HPRPRSUN1	Underhill,Ronal	2	0	03/01/25	04/01/25	03/07/25	3.5000	No	3.5000	Curr	0.0000	144.99	20334.81	0.00	0.00
HPRPRVSJC	HPRPRVSJO	Sjomeling,Danie	2	0	03/01/25	04/01/25	03/10/25	3.5000	No	3.5000	Curr	0.0000	131.85	20249.82	0.00	0.00
Presv 2	HPRPVUN2	Underhill,Ronal	2	0	03/01/25	04/01/25	03/07/25	3.5000	No	3.5000	Curr	0.0000	144.99	20784.71	0.00	0.00
Group Totals:													482.66	64882.02	0.00	0.00
>>> INVESTOR #: HP POOL #: R4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
Refinance	11-240001	Lewis,Tracy	2	0	03/01/25	04/01/25	03/10/25	4.0000	No	4.0000	Curr	0.0000	364.25	23281.79	0.00	0.00
11-240002	11-240002	Coomes,Tim	2	0	03/01/25	04/01/25	03/10/25	4.0000	No	4.0000	Curr	0.0000	179.26	7748.50	0.00	0.00
PRESV	HPRPRLFJO	Johnson,Joette	2	0	03/01/25	04/01/25	03/10/25	4.0000	No	4.0000	Curr	0.0000	119.35	23212.60	0.00	0.00
HPRRLOLSN	HPRRLOLSN	Olson,Steven	2	0	03/01/25	04/01/25	02/24/25	4.0000	No	4.0000	Curr	0.0000	110.69	6459.37	0.00	0.00
HPRRLTHOM	HPRRLTHOM	Thompson,Lee	2	0	07/01/24	03/01/25	07/15/24	4.0000	No	4.0000	Curr	0.0000	268.84	17183.42	0.00	0.00
Group Totals:													1042.39	77885.68	0.00	0.00
>>> INVESTOR #: HP POOL #: R5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																

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Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
11-250004	11-250004	Westendorf,Rand	2	0	03/01/25	04/01/25	03/03/25	5.0000	No	5.0000	Curr	0.0000	175.86	9157.68	0.00	0.00
HPRLSCHMI	HPRLSCHMI	Schmidt,Mike	2	0	03/01/25	04/01/25	03/03/25	5.0000	No	5.0000	Curr	0.0000	506.82	16845.53	0.00	0.00
PRSV	HPRPSVGRE	Greenlee,Benjam	2	0	03/01/25	04/01/25	03/05/25	5.0000	No	5.0000	Curr	0.0000	353.35	20619.79	0.00	0.00
Group Totals:													1036.03	46623.00	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP POOL INFORMATION NOT SET UP																
RW	00-250011	Hogan,Brian	11	1	03/19/25	04/01/26	03/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	1118.99	0.00	0.00
Group Totals:													0.01	1118.99	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP-R DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
Win/Doors	00-240073	Greenlee,Benjam	11	1	09/18/24	07/01/25	12/18/24	0.0000	No	0.0000	Curr	0.0000	0.01	6188.59	0.00	0.00
PSV	00-240082	Owens,Tracy	11	1	08/22/24	08/01/25	08/22/24	0.0001	No	0.0001	Curr	0.0000	0.01	739.00	0.00	0.00
LS	00-240089	Owens,Tracy	11	1	08/22/24	08/01/25	09/18/24	0.0000	No	0.0000	Curr	0.0000	0.01	4983.66	0.00	0.00
Win/Doors	00-240099	Wilkinson,Lori	11	1	10/29/24	10/01/25	11/01/24	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
RW	00-240123	Cure,Gary	11	1	11/04/24	12/01/25	11/04/24	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Life Sfty	00-250001	Bailey, Jr.,Rob	11	1	02/10/25	02/01/26	02/10/25	0.0000	No	0.0000	Curr	0.0000	0.01	980.66	0.00	0.00
PSV	00-250002	Bailey, Jr.,Rob	11	1	02/10/25	02/01/26	02/10/25	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Vacant	00-250003	Bailey, Jr.,Rob	11	1	02/10/25	02/01/26	02/10/25	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
LS	00-250008	Hamilton,Teresa	11	1	03/28/25	03/01/26	03/28/25	0.0000	No	0.0000	Curr	0.0000	0.01	830.66	0.00	0.00
RW	00-250131	Wolfe,Heath	11	1	02/11/25	02/01/26	02/11/25	0.0000	No	0.0000	Curr	0.0000	0.01	1048.64	0.00	0.00
Siding	11-240119	Wilkinson,Lori	11	1	10/29/24	10/01/25	11/01/24	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
FOUNDATIO	CHPFNDMCF	Mcfarland,Danik	11	1	07/10/23	11/01/25	07/10/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
FOUNDATIO	CHPRFNDEM	Emrick Real Est	11	1	02/05/25	01/01/26	02/05/25	0.0000	No	0.0000	Curr	0.0000	0.01	9461.30	0.00	0.00
FND	CHPRFNDHE	Heckman,Kyle	11	1	08/28/23	08/01/25	08/29/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
LIFE SFTY	CHPRLSBY	Byrne,Tiffany	11	1	11/07/23	08/01/25	03/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	18335.76	0.00	0.00
LF SFTY	CHPRLSFAI	Fairbairn,Nancy	11	1	07/02/24	09/01/25	01/07/25	0.0000	No	0.0000	Curr	0.0000	0.01	15514.79	0.00	0.00
LIFE SFTY	CHPRLSHE	Heckman,Kyle	11	1	06/04/24	08/01/25	06/04/24	0.0000	No	0.0000	Curr	0.0000	0.01	8620.17	0.00	0.00
PRSV	CHPRPRVFA	Fairbairn,Nancy	11	1	08/23/23	09/01/25	09/18/24	0.0000	No	0.0000	Curr	0.0000	0.01	4315.92	0.00	0.00
PRSV	CHPRPRVHE	Heckman,Kyle	11	1	08/30/23	08/01/25	08/30/23	0.0000	No	0.0000	Curr	0.0000	0.01	2651.96	0.00	0.00
PRESV	CHPRPSVEM	Emrick Real Est	11	1	01/02/24	01/01/26	02/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	25000.00	0.00	0.00
PRESERVAT	CHPRPVBYR	Byrne,Tiffany	11	1	02/07/22	08/01/25	03/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	13007.21	0.00	0.00
SIDING	CHPRSIDBY	Byrne,Tiffany	11	1	03/19/25	08/01/25	03/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	8444.74	0.00	0.00
SIDING	CHPRSIDHE	Emrick Real Est	11	1	12/19/23	01/01/26	12/27/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
SIDING	CHPRSIDHE	Heckman,Kyle	11	1	08/28/23	08/01/25	08/29/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WINDOWS	CHPRWINBY	Byrne,Tiffany	11	1	02/19/25	08/01/25	03/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	20000.00	0.00	0.00

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WIN	CHPRWINEM	Emrick Real Est	11	1	01/07/25	01/01/26	01/07/25	0.0000	No	0.0000	Curr	0.0000	0.01	1000.00	0.00	0.00
LIFE SFTY	HPRLSEMR	Emrick Real Est	11	1	09/18/24	01/01/26	02/19/25	0.0000	No	0.0000	Curr	0.0000	0.01	25000.00	0.00	0.00
Group Totals:													0.27	166123.06	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
RW- Pybl	31-240015	Fasnacht, Glenn	2	0	03/01/25	04/01/25	03/03/25	0.0000	No	0.0000	Curr	0.0000	89.50	21299.82	0.00	0.00
HPRRW0MIK	HPRRW0MIK	Mikla, Christine	2	0	04/01/25	05/01/25	03/26/25	0.0000	No	0.0000	Curr	0.0000	164.59	29849.17	0.00	0.00
RW PAYABLE	HPRRW0OWE	Owens, Tracy	2	0	03/01/25	04/01/25	03/03/25	0.0000	No	0.0000	Curr	0.0000	118.98	25342.14	0.00	0.00
HPRRWPSTI	HPRRWPSTE	Sternhagen, Aaro	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	167.48	6866.71	0.00	0.00
RW Payable	HPRWOREAU	Reausaw, Bernie	2	0	05/01/25	06/01/25	03/10/25	0.0000	No	0.0000	Curr	0.0000	740.68	3703.57	0.00	0.00
RW PAYABLE	HPRWPGASR	Gaspar Ili, Jose	2	0	03/01/25	04/01/25	03/05/25	0.0000	No	0.0000	Curr	0.0000	252.24	11578.21	0.00	0.00
RW PAYABLE	HPRWPPWEB	Weber, Todd	2	0	03/01/25	04/01/25	03/07/25	0.0000	No	0.0000	Curr	0.0000	161.58	10503.01	0.00	0.00
Group Totals:													1695.05	109142.63	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRWSWAN	HPRWSWAN2	Swaney, David	2	0	03/01/25	04/01/25	03/10/25	4.0000	No	4.0000	Curr	0.0000	60.22	10869.44	0.00	0.00
Group Totals:													60.22	10869.44	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CLIENT RW	HPRWBOBOS	Bobolz, Lance	2	0	03/01/25	04/01/25	03/15/25	5.0000	No	5.0000	Curr	0.0000	116.04	12698.78	0.00	0.00
Group Totals:													116.04	12698.78	0.00	0.00
>>> INVESTOR #: HP POOL #: RSFND DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
FND	21-240015	Fairbairn, Nancy	2	0	12/17/24	12/01/34	12/26/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FND	21-240085	Long, Jonathan	2	0	12/19/24	12/01/34	12/19/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPCFNDKNI	HPCFNDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	9970.52	0.00	0.00
HPFND771	HPFND770	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9461.50	0.00	0.00
HPFND772	HPFND772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9817.75	0.00	0.00
HPFNDHILL	HPFNDHILL	Hills Partnersh	2	0	12/30/19	11/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	8250.95	0.00	0.00
Foundation	HPFNDPOT	Cara Mia, LLC, C	2	0	10/24/22	10/01/32	10/27/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FND	HPRFND7EM	The Fht Company	2	0	05/09/23	05/01/33	05/10/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIONI	HPRFNDBOB	The Fhe Company	2	0	11/30/32	12/01/32	12/02/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIONI	HPRFNDBRE	Breland, Philip	2	0	11/11/22	11/01/32	11/11/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRFNDBYF	HPRFNDBYR	Byrne, Tiffany	2	0	01/25/24	01/01/34	01/29/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FND	HPRFNDGRE	Greenlee, Benjam	2	0	09/29/23	10/01/33	10/03/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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HPRFNDHOI	HPRFNDHOH	Hohn, John	2	0	10/23/22	11/01/32	10/24/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIONI	HPRFNDJOH	Johnson, Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Foundation	HPRFNDMUN	Munce, Jeffrey	2	0	12/28/20	12/01/30	12/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRFNDSMI	HPRFNDSMI	Smith, Gordon	2	0	10/23/23	10/01/33	10/26/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIONI	HPRFNDUND	Underhill, Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	167500.72	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPE DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPSNEBRC	CHPSNEBRG	Berg, Tim	11	1	11/18/15	11/12/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	5691.42	0.00	0.00
CHPSNEWO	CHPSNEWO	Parham, Karin	11	1	02/06/14	08/01/25	04/01/14	0.0000	No	0.0000	Curr	0.0000	0.01	7155.88	0.00	0.00
CHPSPEJJO	CHPSPEJJO	Sjomelling, Rober	11	1	06/19/14	10/01/25	07/24/14	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SNE	HPSNEWHTO	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.03	32847.30	0.00	0.00
>>> INVESTOR #: HP POOL #: RSSID DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
Siding	22-240014	Fairbairn, Nancy	2	0	12/17/24	12/01/34	12/26/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Siding	22-240088	Long, Jonathan	2	0	12/19/24	12/01/34	12/19/24	0.0000	No	0.0000	Curr	0.0000	0.00	5000.00	0.00	0.00
CHPSIDJLS	CHPSIDJLS	Julius, Dorrene	11	1	08/16/16	09/09/25	01/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2937.88	0.00	0.00
CHPSIDLW0	CHPSIDLW0	Lewis, Tracy	2	0	03/20/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDSHP	CHPSIDSHP	Shepherd, Lanny	11	1	11/18/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6997.50	0.00	0.00
SIDING	HPRSID106	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRSIDANT	HPRSIDANT	Antrim, James	2	0	07/02/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRSIDBRE	HPRSIDBRE	Breland, Philip	2	0	11/30/23	12/01/33	11/30/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDCOU	Paha Sapa Holdi	2	0	03/07/23	04/01/33	03/21/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDJOH	Johnson, Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDUND	Underhill, Ronal	2	0	10/17/22	11/01/32	10/24/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPSID770	HPSID700	Dragon Belly, L	2	0	03/24/20	03/01/30	03/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3331.80	0.00	0.00
HPSIDKNI	HPSIDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP SIDING	HPSIDWHTO	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.02	118267.18	0.00	0.00
>>> INVESTOR #: HP POOL #: RSWIN DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
WIN/DOOR	23-240086	Long, Jonathan	2	0	12/19/24	12/01/34	12/19/24	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
Win/Door	23-240112	Fairbairn, Nancy	2	0	09/15/24	09/01/34	09/19/24	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
CHPWINJL2	CHPWINJL2	Julius, Dorrene	11	1	08/02/16	04/27/26	09/28/17	0.0000	No	0.0000	Curr	0.0000	0.01	15066.88	0.00	0.00

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CHPWNLW0	CHPWNLW0	Lewis, Tracy	2	0	03/17/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	8268.42	0.00	0.00
CHPWINMR5	CHPWINMRS	Morris, Wayne	11	1	08/26/15	08/26/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	4536.00	0.00	0.00
CHPWINSHP	CHPWINSHP	Shepherd, Lanny	11	1	12/23/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2940.00	0.00	0.00
HPCWINKNI	HPCWINKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WINDOW	HPRWIN106	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3200.00	0.00	0.00
HPRWIN770	HPRWIN770	Dragon Belly, L	2	0	01/16/24	01/01/34	01/16/24	0.0000	No	0.0000	Curr	0.0000	0.00	1507.96	0.00	0.00
HPRWIN772	HPRWIN772	Dragon Belly, L	2	0	01/16/24	01/01/34	01/16/24	0.0000	No	0.0000	Curr	0.0000	0.00	1769.70	0.00	0.00
HPRWINANT	HPRWINANT	Antrim, James	2	0	07/01/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
HPRWINBRE	HPRWINBRE	Breland, Philip	2	0	01/03/24	01/01/34	01/03/24	0.0000	No	0.0000	Curr	0.0000	0.00	7000.00	0.00	0.00
HPRWINCOL	HPRWINCOU	Paha Sapa Holdi	2	0	04/01/32	05/01/33	05/05/23	0.0000	No	0.0000	Curr	0.0000	0.00	11400.00	0.00	0.00
HPRWINHOH	HPRWINHOH	Hohn, John	2	0	11/08/23	12/01/33	11/15/23	0.0000	No	0.0000	Curr	0.0000	0.00	9500.00	0.00	0.00
WINDOWS	HPRWINJOH	Johnson, Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	16800.00	0.00	0.00
Windows	HPRWINMUN	Munce, Jeffrey	2	0	12/28/20	12/01/30	12/28/20	0.0000	No	0.0000	Curr	0.0000	0.00	19850.00	0.00	0.00
WINDOWS	HPRWINPOT	Cara Mia Lic, Ca	2	0	06/23/23	06/01/33	07/03/23	0.0000	No	0.0000	Curr	0.0000	0.00	7237.90	0.00	0.00
Windows	HPRWINUND	Underhill, Ronal	2	0	11/22/23	11/01/33	11/22/23	0.0000	No	0.0000	Curr	0.0000	0.00	2271.93	0.00	0.00
HPWIN772	HPWIN772	Dragon Belly LJ	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	6660.40	0.00	0.00
HPWINBOB0	HPWINBOB0	The Fhe Company	2	0	05/14/20	05/01/30	05/14/20	0.0000	No	0.0000	Curr	0.0000	0.00	18000.00	0.00	0.00
HPWINHILL	HPWINHILL	Hills Partnersh	2	0	12/30/19	12/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	751.56	0.00	0.00
HPWINKIN	HPWINKIN	Kinkler, Brian	2	0	01/17/20	02/01/30	01/17/20	0.0000	No	0.0000	Curr	0.0000	0.00	1600.00	0.00	0.00
HPWINPET	HPWINPET	Dragon Belly LJ	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	13718.64	0.00	0.00
HP WIN	HPWINREA0	Reausaw, Bernie	2	0	11/01/18	11/01/28	12/18/18	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WIN FORG	HPWINSHAM	Shama, Larry	2	0	10/01/17	09/01/27	11/10/17	0.0000	No	0.0000	Curr	0.0000	0.00	16793.63	0.00	0.00
HP WINDOW	HPWINWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.03	278873.02	0.00	0.00
>>> INVESTOR #: HP POOL #: RVAC DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
25-240113	25-240113	Fairbairn, Nancy	2	0	09/15/24	09/01/34	09/19/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HOME	HPRVACBO	The Fht Company	2	0	05/09/23	05/01/33	05/10/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRVACBYR	HPRVACBYR	Byrne, Tiffany	2	0	01/25/24	01/01/34	01/29/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HOME	HPRVACJOH	Johnson, Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HOME	HPRVACMCF	Mcfarland, Danik	2	0	12/31/23	12/01/33	01/08/24	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT	HPRVACPOT	Cara Mia Lic, Ca	2	0	10/24/22	10/01/32	10/27/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT	HPRVACTHO	Thompson II, Mar	2	0	02/13/23	02/01/33	02/13/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HM	HPRVACUND	Underhill, Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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HPRVACWEI	HPRVACWEB	Weber,Todd	2	0	07/02/21	07/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT LN	HPVACBIAL	Bialas,Kurt	2	0	03/01/18	03/01/28	03/05/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVANCMJN	HPVANCMJ0	Johnson,Michael	2	0	12/01/18	12/01/28	12/12/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVCNTBLM	HPVCNTBLM	Bloom,Christoph	2	1	08/18/16	08/18/26	10/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP VACANT	HPVCNWH0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	130000.00	0.00	0.00
Investor Totals:													13363.02	2285783.22	0.00	0.00

>>> INVESTOR #: HPRW POOL #: PERM DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual Payrr

RW- Fgv	32-240016	Julius,Dorrene	2	0	08/07/24	07/01/29	08/07/24	0.0000	No	0.0000	Curr	0.0000	0.00	161485.00	0.00	0.00
RW-Forg	32-240017	Fasnacht,Glenn	2	0	12/05/24	12/01/29	12/05/24	0.0000	No	0.0000	Curr	0.0000	0.00	41237.00	0.00	0.00
CITY RW	CONRWBOB0	Bobolz,Lance	11	1	12/01/17	12/01/27	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	18042.61	0.00	0.00
CONRWCOB	CONRWCOOM	Coomes,Tim	11	1	02/11/19	03/01/29	02/11/19	0.0000	No	0.0000	Curr	0.0000	0.01	67491.73	0.00	0.00
CONRWFEN	CONRWFEN0	Fenton,Kris	11	1	06/13/18	06/01/28	07/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	17584.40	0.00	0.00
CONRWMIKL	CONRWMIKL	Mikla,Christine	2	0	03/08/21	04/01/26	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.00	91445.00	0.00	0.00
RW Forgiv	CONRWREAU	Reausaw,Bernie	2	0	09/24/20	10/01/30	09/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	105468.23	0.00	0.00
CONRWVWH	CONRWVWHI	White,V. Caroly	11	1	09/20/16	09/20/26	09/26/16	0.0000	No	0.0000	Curr	0.0000	0.01	90073.00	0.00	0.00
CRW GRANT	CONRWVWH2	White,V. Caroly	11	1	10/18/17	11/01/27	11/08/17	0.0000	No	0.0000	Curr	0.0000	0.01	8699.04	0.00	0.00
CITY RW	HPCONBOBO	Bobolz,Lance	11	1	01/01/18	01/01/28	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	199815.00	0.00	0.00
HPRRWCEM	HPRRWCEMR	Emrick Real Est	2	0	01/22/24	01/01/34	01/22/24	0.0000	No	0.0000	Curr	0.0000	0.00	45082.88	0.00	0.00
RW FORG	HPRRWOWE	Owens,Tracy	2	0	11/16/22	11/01/27	11/16/22	0.0000	No	0.0000	Curr	0.0000	0.00	103803.20	0.00	0.00
HPRRWFSH	HPRRWFSHA	Shama,Larry	2	0	01/17/24	01/01/29	01/18/24	0.0000	No	0.0000	Curr	0.0000	0.00	186448.00	0.00	0.00
HPRRWFTE	HPRRWFTE	Sternhagen,Aaro	2	0	08/02/23	08/01/33	08/02/23	0.0000	No	0.0000	Curr	0.0000	0.00	8670.00	0.00	0.00
RW CITY	HPRWCSHEP	Shepherd,Lanny	2	0	11/13/20	10/01/30	11/13/20	0.0000	No	0.0000	Curr	0.0000	0.00	18616.85	0.00	0.00
RW FORG	HPRWFGASR	Gaspar Iii,Jose	2	0	12/20/21	01/01/27	12/20/21	0.0000	No	0.0000	Curr	0.0000	0.00	48928.95	0.00	0.00
RW Forgiv	HPRWFWEB	Weber,Todd	2	0	08/05/20	08/01/30	08/06/20	0.0000	No	0.0000	Curr	0.0000	0.00	82607.50	0.00	0.00
Group Totals:													0.06	1295498.39	0.00	0.00
Investor Totals:													0.06	1295498.39	0.00	0.00
Report Totals:													13363.08	3581281.61	0.00	0.00

**Deadwood Historic Preservation
Revolving Loan Fund**

Investor # HP = DHP Revolving Loan Fund

Loan # Code	Pool Code	Loan Type	Interest Rate	Program
----------------	--------------	-----------	------------------	---------

11	R 0	Residential	0.00%	Revolving Loan Fund
11	R 3.0	Residential	3.00%	Revolving Loan Fund
11	R 3.5	Residential	3.50%	Revolving Loan Fund
11	R 4	Residential	4.00%	Revolving Loan Fund
11	R 4.5	Residential	4.50%	Revolving Loan Fund
11	R 5.0	Residential	5.00%	Revolving Loan Fund

21	RSFND	Residential	0.00%	Foundation Program
22	RSSID	Residential	0.00%	Siding Program
23	RSWIN	Residential	0.00%	Window Program
24	RSPE	Residential	0.00%	Special Needs Elderly
25	RSVAC	Residential	0.00%	Vacant Home Program

31	RRW0	Residential	0.00%	Retaining Wall- Owner
31	RRW4	Residential	4.00%	Retaining Wall- Owner
31	RRW5	Residential	5.00%	Retaining Wall- Owner

OO	RIP-R	Residential	0.00%	RW Owner- In Construction
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Investor #HPRW = City of Deadwood Portion of Retaining Wall- Forgivable

32	Perm	Residential	0.00%	Retaining Wall- City Portion
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OO	CRW-Pe	Residential	0.00%	RW City- In Construction
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Loan # Code	Pool Code	Loan Type	Interest Rate	Program
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41	C0	Commercial	0.00%	Revolving Loan Fund
41	C1	Commercial	1.00%	Revolving Loan Fund
41	C2	Commercial	2.00%	Revolving Loan Fund
41	C3	Commercial	3.00%	Revolving Loan Fund
41	C4	Commercial	4.00%	Revolving Loan Fund
41	C5	Commercial	5.00%	Revolving Loan Fund
41	C6	Commercial	6.00%	Revolving Loan Fund
41	C7	Commercial	7.00%	Revolving Loan Fund
42	CFAC	Commercial	0.00%	Façade Easement Loan
43	CUFR	Commercial	0.00%	Upper Floor Revital Loan

OO	RIP-C	Commercial	0.00%	Const. Projects in Process
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OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 722-0786



Kevin Kuchenbecker
Planning, Zoning and
Historic Preservation Officer
Telephone (605) 578-2082
kevin@cityofdeadwood.com

MEMORANDUM

Date: April 18, 2025
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Bonny Anfinson, Program Coordinator
Re: Historic Preservation Program Application

The following Historic Preservation Program application was submitted for review by the Loan Committee and recommends approval.

Pamela Massa – 15 Washington St. – Elderly Resident Program

This property is owner occupied, contributing. The applicant has submitted the required paperwork. Staff as well as the Loan Committee has determined the proposed project and the applicant meets the criteria for the program. Staff will coordinate with the applicant during the proposed project.



For Office Use Only:

☒ Owner Occupied
☐ Application Fee Received for Owner Occupied
☐ Non-owner Occupied
 Assessed Value of Property 574920
 Verified Lawrence County Dept. of Equalization
 Date: 4/14/25 Initials: BA

Application for Historic Preservation Programs Residential Properties

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.
Application fee may apply to this submittal.

1. Address of Property:

15 Washington St. Deadwood
Please attach the legal description of the property.

2. Applicant's name & mailing address:

Pamela Massa

Deadwood, SD 57732

Telephone: () -

E-mail: _____

3. Owner of property-(if different from applicant):

N/A

Telephone: () -

E-mail _____

4. Historic Preservation Programs – Please check all that apply

- ☐ Foundation Program
☐ Siding Program
☒ Wood Windows and Doors Program
☒ Elderly Resident Program – Grant
☐ What year were you born _____
☐ Vacant Home Program (must be vacant for 2 years and apply within first three months of new ownership)
☒ Revolving Loan Program
☐ Retaining Wall Program

5. Contractor

Rapid City, SD 57702

Telephone: () -

E-mail: _____

All Contractors and Sub-Contractors are required to be licensed in the City of Deadwood.

When the application and Project Approval are approved it is advisable the owner and contractor enter into a contract and provide a copy to the Historic Preservation Office.

Project completion date is one year from owner's date of signature, grant agreement and/or loan documents.

6. As per Historic Preservation guidelines, any work being performed on the exterior of a structure must go before the Historic Preservation Commission for approval. Programs may be amended to reflect the availability of funding and/or the completion of high priority projects. Along with this application please complete and submit a City of Deadwood Application for Project Approval/Certificate of Appropriateness and attach to this document. All documentation must arrive by 5:00 p.m. on the 1st and 3rd Wednesdays of every month to be considered at the next Historic Preservation Commission Meeting.

OFFICE OF
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108 Sherman Street
Telephone (605) 578-2082
Fax (605) 722-0786



Kevin Kuchenbecker
Planning, Zoning and
Historic Preservation Officer
Telephone (605) 578-2082
kevin@cityofdeadwood.com

MEMORANDUM

Date: April 18, 2025
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Bonny Anfinson, Historic Preservation Coordinator
Re: Renew Grant Software Subscription with Foundant Technologies

The City of Deadwood entered into an agreement with Foundant Technologies in June 2017 for use of the web-based grant program for all of the Historic Preservation grants. This program has been very successful in keeping track of all the grant recipients and providing reports for meetings, budgets and grant numbers.

The software license is renewed every two years. The current subscription is up in June 2025 and therefore the license subscription will need to be renewed. The subscription will total \$11,880.00 with \$5,940.00 being paid each year. This will be for June 26, 2025 to June 26, 2027. Funds will be paid out of the Professional Services Revolving Loan line item.

Staff is recommending to the Historic Preservation Commission to approve the purchase of a two-year licensing subscription from Foundant Technologies in the amount of \$11,880.00 with half being paid in 2025 and the other half in 2026. The funds will come out of the Professional Services Revolving Loan line item.

RECOMMENDED MOTION:

Move to recommend to the City Commission to enter into an agreement with Foundation Technologies for a two-year licensing subscription for services in the amount \$11,880.00 with half (\$5,940.00) being paid in 2025 and the other half (\$5,940.00) in 2026 to come out of the Professional Services Revolving Loan line item.



Foundant Technologies Subscription Contract for:
 City of Deadwood
 Date: 04-04-2025

Foundant Technologies, Inc. Contact:
 Sarah Olzawski
 sarah.olzawski@foundant.com
 149 Willow Peak Drive
 Bozeman, MT 59718
 406-219-4669

City of Deadwood Contact:
 Bonny Anfinson
 bonny@cityofdeadwood.com
 108 Sherman Street
 Deadwood, SD 57732
 (605) 578-2082

Software and Services Chart ("Software and Services Chart"):

QTY	SKU	Product Description	Subscription Start	Subscription End	Price ("Price")	Cost (USD)
1	GLM2STD	Grant Lifecycle Manager (GLM) - Standard Two-Year Licensed Subscription Includes 5 GLM Grant Processes, hosting, maintenance and support with no limitations on the number of users or incoming requests.	6/26/2025	6/25/2027	\$11,880.00	\$11,880.00
Total						\$11,880.00

This is not an invoice; do not pay based on this Order Form.
Upon approval, an invoice will be emailed to the address indicated below.



Foundant Technologies Subscription Contract for:

City of Deadwood

Date: 04-04-2025

Special Conditions:

1. For the purposes of this Client Order Form, the Client Order Form is amended as set forth by these Special Conditions. Subject to the Special Conditions modifications, the Agreement shall remain in full force and effect.

A. Section 6: In the first sentence, "in full and in advance" is deleted and replaced with "annually."

The payment schedule is as follows:

- a. The first invoice in the amount of \$5940 will be sent to Client on 5/26/25.
- b. The second invoice in the amount of \$5940 will be sent to Client on 5/26/26.
- c. Both invoices are due net thirty (30) days from the invoice date.

By accepting this Client Order Form that references the MSA, DPA, SLA, PSA, and SOW(s), Client agrees to the terms and conditions of this collective Agreement. Any additional or different terms (whether included in your purchase order, your response to this proposal, or elsewhere) not expressly listed herein, shall be disregarded and shall not bind either Party.

Additionally, if you are entering into this Agreement on behalf of a Client or other legal entity, you warrant that: (i) you have the full legal authority to bind such entity and its Affiliates to these terms and conditions, and in the event such Affiliates exist, the term "Client" shall refer to such entity and its Affiliates; (ii) you have read and understand this Agreement; and, (iii) you agree, on behalf of Client, to this Agreement. If you do not have such legal authority, or if you do not agree with these terms and conditions, you must not accept this Agreement and shall not be permitted to use the Software or Services.

City of Deadwood		Foundant Technologies, Inc.	
By:		By:	
Name:	Kevin Kuchenbecker	Name:	
Title:	Planning Zoning & Historic Preservation Officer	Title:	
Date:	4/4/25	Date:	

Billing Information (please complete):	
Billing Contact Name: Bonny Anfinson	Billing Contact Phone: 605 578 2082
Billing Contact Email (general correspondence): bonny@cityofdeadwood.com	Email to send Invoices to (required): HPAdmin@cityofdeadwood.com
Is a Purchase Order required for this Order? (Check for Yes)	<input type="checkbox"/>
Please note any special billing instructions, such as requiring invoices be submitted to a payment portal:	

OFFICE OF
PLANNING, ZONING AND
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108 Sherman Street
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Fax (605) 722-0786



Kevin Kuchenbecker
Planning, Zoning and
Historic Preservation Officer
Telephone (605) 578-2082
kevin@cityofdeadwood.com

MEMORANDUM

Date: April 18, 2025
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Planning, Zoning and Historic Preservation Officer
Bonny Anfinson, Program Coordinator
Re: First Baptist Church Not-for-Profit Grant Request

The First Baptist Church has submitted a Not-for-Profit grant to replace inappropriate storm windows with wood storm windows. The total cost of this project is \$29,780.00. This request is for \$26,000.00.

Per the Deadwood Not-For-Profit Grant Policy Guidelines, qualified organizations may be eligible for a grant of up to \$10,000 per year not to exceed \$50,000 in a five-year period. Per these guidelines they have \$26,787.35 available.

The applicant and project qualify under the current guidelines as set forth in the adopted application from the Deadwood Historic Preservation Commission. The Projects Committee reviewed this request and recommended approving the grant request to the First Baptist Church in the amount they have available, \$26,787.35 for installing new storm windows.

RECOMMENDATION: Move to recommend to the City Commission to approve the Not-For-Profit grant to the First Baptist Church in the amount of \$26,787.35 for installing new wood storm windows as requested.

GRANT FUND --
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM

APPLICATION # _____

DEADWOOD HISTORIC PRESERVATION COMMISSION

DEADWOOD NOT-FOR-PROFIT GRANT PROGRAM FOR
SITES NOT ELIGIBLE FOR STATE PROPERTY TAX MORATORIUM

Application

The Deadwood Historic Preservation Commission reviews all applications. Please read the attached Policy Guidelines and provide the requested information below.

1. Property Address:

110 SHERMAN DEADWOOD SD 57732

Street City State Zip

2. Applicant Details:

TODAY'S DATE: 04/11/2025

FIRST BAPTIST CHURCH 605-578-3660 tjpart2@bouldercyn.com

Name Daytime Telephone E-mail Address

110 SHERMAN DEADWOOD SD 57732

Street City State Zip

3. Owner of Property:**

****NOTE:** Applicant must own/retain property;

OR

Applicant must be leasing or renting the property and have written permission from the owner to conduct the work;

OR

Applicant must have a firm written commitment with the owner to purchase the property.

(Complete 'Owner of Property' only if different from that of applicant)

Name Daytime Telephone E-mail Address

Street City State Zip

GRANT FUND –
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM

1. **Property Address**

110 SHERMAN	DEADWOOD	SD	57732
Street	City	State	Zip

2. **Description of work to be performed as part of this project:**

REMOVE EXISTING ALUMINUM STORM WINDOWS, REPAIR EXISTING WINDOW
FRAMES AND SILLS, REPAIR MASONRY AS NEEDED, PRIME AND PAINT WINDOW
FRAMES, PRIME AND PAINT NEW WOOD STORM WINDOWS, INSTALL AND SEAL.

3. **Project budget – itemized and showing disbursement of funding**

<u>Description (i.e. roof)</u>	<u>Grant</u>	<u>Total</u>
NEW STORM WINDOWS	\$ 26,000.00	\$ 29,780.00
	\$	\$
	\$	\$
	\$	\$
	\$	\$
	\$	\$
Total:	\$ 26,000.00	\$ 29,780.00

4. Total Project Cost:	\$ 29,780.00	Grant Amount:	\$ 26,000.00
-------------------------------	---------------------	----------------------	---------------------

*GRANT FUND –
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

The following information must be presented with this application as attachments before being reviewed by the Deadwood Historic Preservation Commission (incomplete applications will not be reviewed)

- a. Floor plan(s) (when necessary)
- b. Site plan(s) (when necessary)
- c. Photographs
- d. Copy of deed or notarized letter of authorization
- e. Verification of listing on or eligibility for listing on the National Register of Historic Places
- f. Submission of specifications and contracts

High Plains Remodels LLC

Estimate

103 Hidden Gulch
Central City, SD 57754

Date	Estimate #
4/10/2025	53

Name / Address
First Baptist Church 110 Sherman St Dedwood, SD 57732

			Project
Description	Qty	Rate	Total
Estimate to replace storm windows on First Baptist Church. Estimate includes all materials, labor, permits and taxes to complete project.			0.00
Remove existing aluminum frames, repair existing window frames and sills, repair masonry around window frames as needed, apply sealant between window frames and masonry openings, prime and paint window frames, prime and paint new wood storm windows, install and seal, clean area of all debris and dispose.		29,780.00	29,780.00
Total			\$29,780.00

Date: April 16, 2025

Case No. 250054

Address: 110 SHERMAN ST, DEADWOOD, SD 57732

Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 110 SHERMAN ST, DEADWOOD, SD 57732, a contributing structure located in the ORIGINAL TOWN DEADWOOD in the City of Deadwood.

Applicant: First Baptist Church
Owner: FIRST BAPTIST CHURCH0
Constructed: 1916-1918

CRITERIA FOR THE ISSUANCE OF CERTIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:

General Factors:**1. Historic significance of the resource:**

The First Baptist Church of the Black Hills is unique in Deadwood, it is the only church to reflect elements of the prairie school style; and, it is the only church located on a primary commercial street in Deadwood. Its design stands out against the commercial buildings.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to remove existing aluminum storm window frames, repair any damaged wood on original window frames, prime and paint frames, paint new storm frames, install new storm windows and seal edges. Only replace storms on main level, not replacing anything on basement level.

Attachments: Yes

Plans: No

Photos: Yes

Staff Opinion:

The applicant has also applied for the Not-for-Profit Grant for this project. The proposed work and changes do not encroach upon, damage, or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



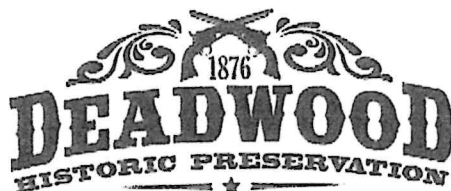
Motions available for commission action:

A: Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

B: Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	250254
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	4.14.25
Date of Hearing	___/___/___

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 110 Sherman St

Historic Name of Property (if known): First Baptist Church

APPLICANT INFORMATION

Applicant is: ☐ owner ☒ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: First Baptist Church
Address: _____
City: Deadwood State: SD Zip: 57732
Telephone: _____ Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: Central City State: SD Zip: 57754
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: Marc Straub
Address: same
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|---|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Re-Roofing | <input checked="" type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input checked="" type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input checked="" type="checkbox"/> Windows | <input type="checkbox"/> Porch/Deck |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | <input type="checkbox"/> Fencing |

Updated October 9, 2019

FOR OFFICE USE ONLY
Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)					
Project Start Date: _____		Project Completion Date (anticipated): _____			
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____				
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> WINDOWS	<input checked="" type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS		
	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____					
<input type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> OTHER – Describe in detail below or use attachments					

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Remove existing aluminum storm window frames, repair any damaged wood on original widow frames,

prime and paint frames, paint new storm frames, install new storm windows and seal edges.

Only replacing storms on main level, not replacing anything on basement level.

FOR OFFICE USE ONLY

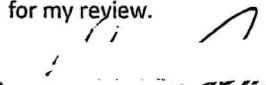
Case No. _____

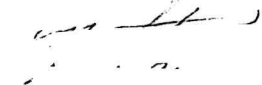
SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.


 SIGNATURE OF OWNER(S) _____ DATE _____
BOARD CHAIR


 SIGNATURE OF AGENT(S) _____ DATE _____
 11-19-25

SIGNATURE OF OWNER(S) _____ DATE _____

SIGNATURE OF AGENT(S) _____ DATE _____

SIGNATURE OF OWNER(S) _____ DATE _____

SIGNATURE OF AGENT(S) _____ DATE _____

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

High Plains Remodels LLC

Estimate

103 Hidden Gulch
Central City, SD 57754

Date	Estimate #
4/10/2025	53

Name / Address
First Baptist Church 110 Sherman St Dedwood, SD 57732

			Project
Description	Qty	Rate	Total
Estimate to replace storm windows on First Baptist Church. Estimate includes all materials, labor, permits and taxes to complete project.			0.00
Remove existing aluminum frames, repair existing window frames and sills, repair masonry around window frames as needed, apply sealant between window frames and masonry openings, prime and paint window frames, prime and paint new wood storm windows, install and seal, clean area of all debris and dispose.		29,780.00	29,780.00
		Total	\$29,780.00

Date: March 17, 2025

Case No. 250044
Address: 874 Main St.

Staff Report

The applicant has submitted an application for Project Approval for work at 874 Main St., a contributing structure located in the Upper Main Planning Unit in the City of Deadwood.

Applicant: Dale & Susan Berg
Owner: BERG, DALE N TRUSTEE / BERG, SUSAN R TRUSTEE
Constructed: c 1935

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

2. Architectural design of the resource and proposed alterations:

Note: A set of engineering plans were submitted with no scope of work described in the application.

UPDATE: Attached is the most recent concept for replacement of the building constructed without approvals or permits. The applicant has removed the current building.

Attachments: Yes

Plans: Yes

Photos: Yes

Staff Opinion:

The Historic Preservation Commission denied the construction of this structure at their October 23, 2024 meeting. On November 13, 2024, the Historic Preservation Commission determined the structure was built without approval and must be removed. The applicant was given 180 days following the receipt of the notification letter to remove the structure.

The applicant has submitted stamped engineering plans for rectifying the code deficiencies identified by the City of Deadwood; however, there is no real change or alteration to the existing configuration of the structure/building which was previously denied by the Deadwood Historic Preservation Commission. At this time, the commission determined the project did encroach upon a historic resource and was adverse to Deadwood. All previous opinions of staff remain, primarily the elevations and roof style is not compatible with the associated contributing resource or the historic districts.

UPDATE 04-18-2025: Staff has met and discussed the proposed project with the applicant on a few occasions over the past two weeks. Attached is the conceptual plan for the replacement of the structure which was determined to be incompatible with the historic district. The conceptual plan bases its design from Victorian carriage houses and is much more compatible with the existing contributing house and historic district.

At the time of the staff report, scaled drawings were not available to complete the final staff opinion. The conceptual plan is much more appropriate than the previous structure; however, until such time of scaled elevations it is difficult to ensure that the scale and massing does not encroach upon the existing buildings in the area.

The proposed materials are appropriate for the area.

Structure application

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 722-0786



Kevin Kuchenbecker
Planning, Zoning and
Historic Preservation Officer
Telephone (605) 578-2082
kevin@cityofdeadwood.com

April 10, 2025

Dale and Susan Berg
650 Main Street
Deadwood, SD 57732

RE: Case No. PA240044 – 874 Main St.

Dear Mr. & Mrs. Berg;

On Wednesday, April 9, 2025, the Deadwood Historic Preservation Commission reviewed your application for Certificate of Appropriateness for work at 874 Main Street, a contributing structure located in the Upper Main Planning Unit. The application was for approval of submitted stamped engineered plans for rectifying the code deficiencies identified by the City of Deadwood.

The Deadwood Historic District Commission has continued this item to the next Historic Preservation Commission meeting on April 23, 2025. **The Commission is requesting alternate plans describing the proposed exterior design of the building including elevation drawings, materials and gable roof compatible with the Historic District. The design could resemble more of a carriage house.**

On November 13, 2024, the Deadwood Historic Preservation Commission determined the structure built without Historic Preservation Commission approval or proper building permits located in the rear of the property at 874 Main Street must be removed. You had 180 days following the receipt of that letter to remove the structures with the removal date of May 21, 2025. Please contact our office at 605-578-2028 if you have questions.

Sincerely,

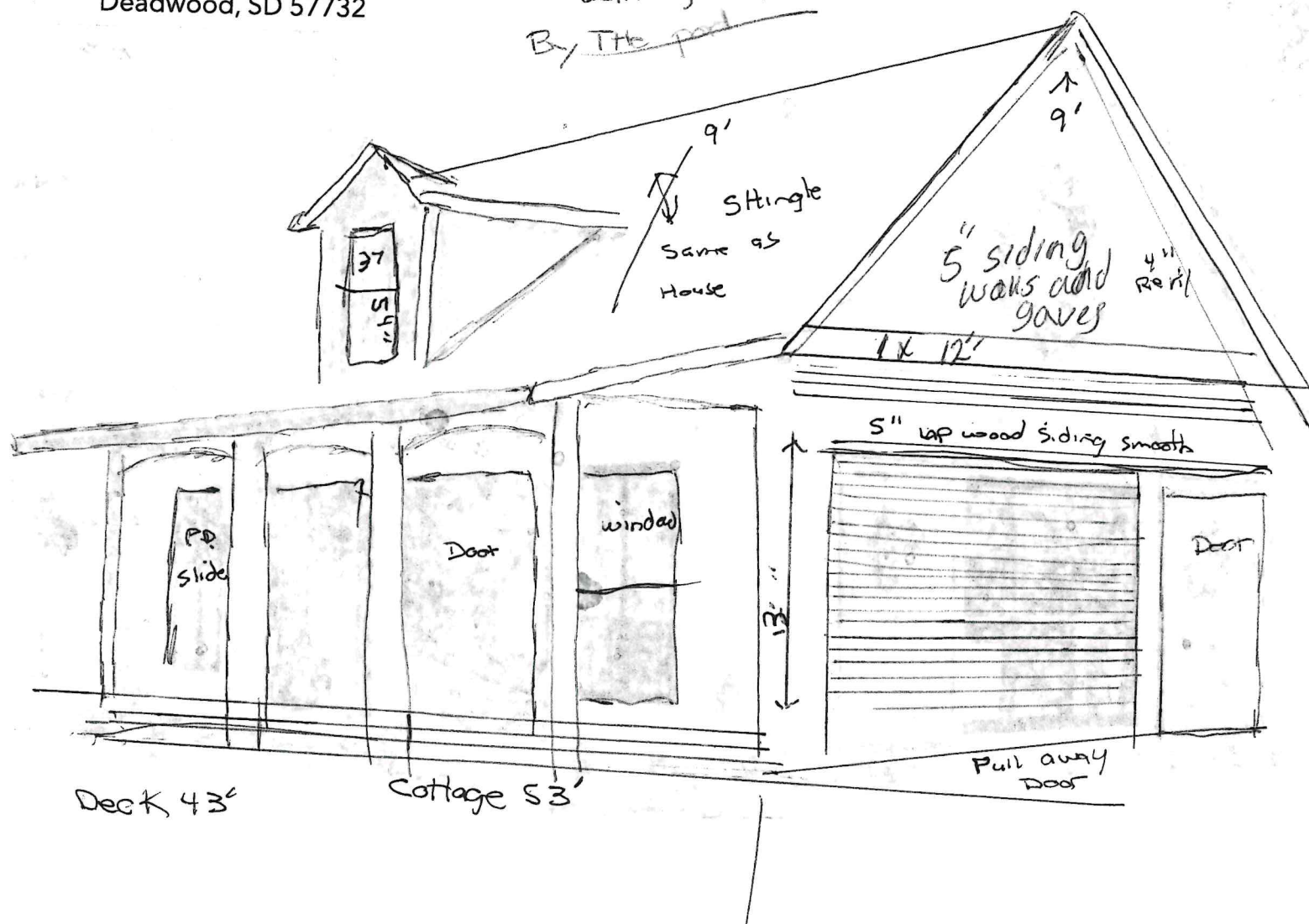
Kevin Kuchenbecker
Historic Preservation Officer

cc: Trent Mohr, City Building Inspector
File

Berg Jewelry & Gifts

650 Main & Gold
Deadwood, SD 57732

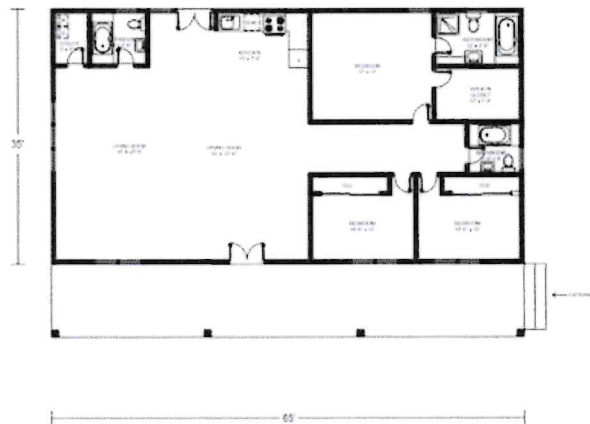
1 1/2 story Victorian
Carriage House
By The pool





CASEY BARNDOMINIUM

BCO-40007



WWW.BARNDOMINIUMS.CO

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



Section 8 Item a.

Received _____/_____/_____
Date of Hearing
04/03/2025

City of Deadwood Application for

FOR OFFICE USE	
ONLY Case No. <u>250044</u>	
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of	
Appropriateness	Date

Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: 874 main, Deadwood, SD 57732
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: owner contractor architect consultant other _____

Owner's DALE BERG Name: __874 MAIN__874	
MAIN _____	Address:
____DEADWOOD_____	
____ City: _____ SD _____	State:
____57732__ Zip: _____	
Telephone:	

_____ Fax:
_____ E-mail:

Contractor's	Name:	__LUIS
TERRONES _____		
Address:		
_____		City:
_____	State:	_____ Zip: _____
Telephone:	_____	Fax:
_____	E-mail:	

Zip: _____	Telephone: _____	Fax: _____
_____		E-mail:

Agent's	Name:

Address:	

City:	

_____	State: _____ Zip: _____
Telephone:	_____ Fax:
_____	E-mail:

Architect's	Name:	_____
__SUMMI _____		Address:
_____		NEERI
NGT ENGI	City: _____	State: _____

TYPE OF IMPROVEMENT

Alteration (change to exterior)
 New Construction New Building Addition Accessory Structure General Maintenance Re-Roofing
 Wood Repair Exterior Painting Siding Windows Porch/Deck Other _____ Awning
 Sign Fencing

Updated October 9, 2019

FOR OFFICE USE
ONLY Case No.

ACTIVITY: (CHECK AS APPLICABLE)
Project Start Date: __ASAP_____ Project Completion Date (anticipated): _____
ALTERATION Front Side(s) Rear RECONSTRUCT
ADDITION Front Side(s) Rear RECONSTRUCT TO MEET CODE
NEW CONSTRUCTION Residential Other _____

ROOF New Re-roofing Material
Front Side(s) Rear Alteration to roof
GARAGE New Rehabilitation
Front Side(s) Rear
FENCE/GATE New Replacement
Front Side(s) Rear
Material _____ Style/type _____ Dimensions _____
WINDOWS STORM WINDOWS DOORS STORM DOORS
Restoration Replacement New
Front Side(s) Rear
Material _____ Style/type _____
PORCH/DECK Restoration Replacement New
Front Side(s) Rear
Note: Please provide detailed plans/drawings
SIGN/AWNING New Restoration Replacement
Material _____ Style/type _____ Dimensions _____
OTHER – Describe in detail below or use attachments

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

DALE BERG SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE

DALE BERG APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

GENERAL STRUCTURAL NOTES:

DESIGN BUILDING CODES:

1. INTERNATIONAL BUILDING CODE 2021

DESIGN LOADS

WIND LOADS:	
ULTIMATE WIND SPEED (3 SEC. GUST)	115 MPH
WIND EXPOSURE	C
RISC CATEGORY	II
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
SNOW LOADS:	
GROUND SNOW	56 PSF (PLUS APPLICABLE DRIFT)
IMPORTANCE FACTOR	1.0
EXPOSURE FACTOR	1.0
THERMAL FACTORS: TYPICAL	1.2
DEAD LOADS:	
ROOF:	15 PSF SELF WEIGHT 5 PSF (FUTURE SOLAR PANELS)
LIVE LOADS:	
ROOF:	20 PSF
FUTURE CONSTRUCTION:	NONE

MATERIAL GRADES AND STRENGTHS:

CAST IN PLACE CONCRETE:	28DAY COMPRESSIVE STRENGTH
FOOTINGS	F _c =4000PSI
ALL CONCRETE EXPOSED TO FREEZE THAW CYCLES	SHALL HAVE 5-7% AIR ENTRAINMENT ADDED
CONCRETE REINFORCING STEEL:	
TYPICAL BARS	ASTM A615 (GRADE 60)

GENERAL CONSTRUCTION NOTES:

- THE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT SHOW CONSTRUCTION METHODS UNLESS SO NOTED.
- FABRICATE AND CONSTRUCT ALL ITEMS ACCORDING TO THE DRAWINGS, SPECIFICATION AND BUILDING CODES. MAKE NO MODIFICATIONS WITHOUT THE ENGINEERS WRITTEN APPROVAL.
- DO NOT SCALE THE DRAWINGS FOR DIMENSIONS, SIZES, OR LOCATIONS.
- WHEN INSTALLING PROPRIETARY PRODUCTS, CONTRACTOR MUST READ AND FOLLOW MANUFACTURERS RECOMMENDATIONS FOR PREPARATION, INSTALLATION METHOD AND INSPECTION.
- THE CONTRACTOR SHALL COORDINATE THE DIMENSIONS, ELEVATIONS, AND CONDITIONS BETWEEN ALL PROJECT DOCUMENTS AND SHALL NOTIFY THE ENGINEER AND ARCHITECT OF RECORDS OF ANY DISCREPENCIES. IF A DISCREPANCY IS FOUND WITHIN THE CONTRACT DOCUMENTS, IMMEDIATELY SUBMIT THE MATTER IN WRITING TO THE ENGINEER WHO WILL MAKE A DETERMINATION AND WRITTEN CLARIFICATION
- THE CONTRACT DOCUMENTS REPRESENT THE COMPLETED STRUCTURE. MEANS AND METHODS OF CONSTRUCTION IS FULLY THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTORS SHALL PROTECT THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION AND INSTALLATION.
- TEMPORARY BRACING OR SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR. BRACING OR SHORING SHALL BE INSTALLED UNTIL DIAPHRAGMS AND LATERAL RESISTING ELEMENTS HAVE BEEN INSTALLED.
- THESE DRAWINGS SHALL NOT BE SCALED. REFER TO ARCHITECTUAL DRAWINGS FOR GEOMETRY NOT SPECIFICLLAY SHOWN ON THIS DRAWING SET.

FOUNDATION AND BACKFILLING NOTES:

- FOOTINGS ARE DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF **2000**PSF. THE RESPONSIBILITY OF THE GC TO VERIFY ON SITE ALLOWABLE SOIL BEARING PRESSURE PRIOR TO CONSTRUCTION. IT IS RECOMMENDED THAT THE OWNER EMPLOY A GEOTECHNICAL ENGINEER TO VERIFY THE ASSUMED ALLWABLE SOIL BEARING PRESSURE AND TO PROVIDE ADDITIONAL SOIL PREPERATION RECOMMENDATIONS.
- ALL FOOTINGS SHALL BE PROTECTED FROM FREEZING AND NO CONCRETE SHALL BE PLACED ONTO FROZEN SOIL.
- FOOTINGS SHALL BE CENTERED UNDER THE STRUCTURE ABOVE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE.
- FOOTING STEPS SHALL BE PLACED GENERALLY WHERE SHOWN ON PLANS. CONTRACTORS RESPONSIBILITY TO COORDINATE EXACT PLACEMENT WITH SITE OR GRADE CONDITIONS.
- BACKFILLING MATERIAL SHALL BE FREE DRAINING ENGINEERED GRANULAR SOIL OR AS NOTED ON THE FOLLOWING SHEETS. REFER TO THE GEOTECHNICAL REPORT FOR FURTHER SOIL RECOMMENDATIONS.

CONCRETE NOTES:

- CONTRACTORS SHALL PROVIDE CONCRETE INSTALLATION IN ACCORDANCE WITH ACI 318 AND ACI 301. PROVIDE ADMXTURES AND SPECIAL CONDITIONS AS REQUIRED IN CONTRACT DOCUMENTS.
- PROVIDE CONSTRUCTION AND CONTROL JOINTS AS NOTED ON THE PROJECT DRAWINGS. REFER TO CONTRACT DOCUMENTS FOR UNDER SLAB PIPING / HVAC, FLOOR DRAINS, AND SLAB ELEVATIONS BEFORE FORMING OR CONSTRUCTION BEGINS.
- SUPPLIER SHALL REFER TO CONCRETE REINFORCING STEEL INSTITUTE MANUAL OF STANDARD PRACTICE FOR THE DETAILING OF ALL REINFORCING STEEL.
- CAST IN PLACE CONCRETE SHALL HAVE THE FOLLOWING CLEARENCES MET.

- | | | |
|----|---|-----------|
| 1. | CAST AGAINST AND PERMENENTLY EXPOSED TO EARTH | 3" |
| 2. | FORMED AND EXPOSED TO EARTH | |
| A. | #6 AND LARGER | 2" |
| B. | #5 AND SMALLER | 1.5 |
| 3. | SLABS ON GRADE | MID DEPTH |

- CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT OF REINFORCING STEEL DURING CONSTRUCTION TO ENSURE LIMITED MOVEMENT UNTIL CONCRETE IS CURED.
- SEE LAP LENGTH SCHEDULE ON THE FOLLOWING SHEETS FOR REINFORCING LAP REQUIREMENTS.

WOOD FRAMING NOTES

- UNLESS OTHERWISE SPECIFIED, EACH PIECE OF LUMBER TO BEAR A GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS INDICATING GRADES OF MATERIAL, AND RULES OR STANDARDS UNDER WHICH PRODUCED. IDENTIFYING MARKS IN ACCORDANCE WITH RULE OR STANDARD UNDER WHICH MATERIAL IS PRODUCED, INCLUDING REQUIREMENTS FOR QUALIFICATIONS AND AUTHORITY OF THE INSPECTION ORGANIZATION, USAGE OF AUTHORIZED IDENTIFICATION, AND INFORMATION INCLUDED IN THE IDENTIFICATION. INSPECTION AGENCY FOR LUMBER APPROVED BY THE BOARD OF REVIEW, AMERICAN LUMBER STANDARDS COMMITTEE, TO GRADE SPECIES USED STRUCTURAL MEMBERS. SPECIES AND GRADE AS LISTED IN THE AF&PA, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION HAVING DESIGN STRESSES AS SHOWN.

LUMBER OTHER THAN STRUCTURAL:

- UNLESS OTHERWISE SPECIFIED, SPECIES GRADED UNDER THE GRADING RULES OF AN INSPECTION AGENCY APPROVED BY BOARD OF REVIEW, AMERICAN LUMBER STANDARDS COMMITTEE. FRAMING LUMBER: MINIMUM EXTREME FIBER STRESS IN BENDING OF 1100. FURRING, BLOCKING, NAILERS AND SIMILAR ITEMS 100 MM (4 INCHES) AND NARROWER STANDARD GRADE; AND, MEMBERS 150 MM (6 INCHES) AND WIDER, NUMBER 2 GRADE.

SIZES:

- SIZE TO CONFORM TO PROD. STD. PS20. SIZE REFERENCES ARE NOMINAL SIZES, UNLESS OTHERWISE SPECIFIED, ACTUAL SIZES WITHIN MANUFACTURING TOLERANCES ALLOWED BY STANDARD UNDER WHICH PRODUCED.

MOISTURE CONTENT:

- AT TIME OF DELIVERY AND MAINTAINED AT THE SITE BOARDS AND LUMBER 2 INCHES AND LESS IN THICKNESS SHALL BE 19 PERCENT OR LESS. LUMBER OVER 2 INCHES THICK SHALL BE 25 PERCENT OR LESS.

PLYWOOD/SHEATHING

PLYWOOD SHALL COMPLY WITH PROD. STD. PS 1 AND APA E30. PLYWOOD SHALL BEAR THE MARK OF A RECOGNIZED ASSOCIATION OR INDEPENDENT INSPECTION AGENCY THAT MAINTAINS CONTINUING CONTROL OVER QUALITY OF PLYWOOD WHICH IDENTIFIES COMPLIANCE BY VENEER GRADE, GROUP NUMBER, SPAN RATING WHERE APPLICABLE, AND GLUE TYPE. SHEATHING SHALL BE APA RATED EXPOSURE 1 OR EXTERIOR; PANEL GRADE CD OR BETTER.

INSTALLATION

- FRAMING AND MISCELLANEOUS WOOD MEMBERS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE WITH APA STANDARDS FOR INSTALLATION OF PLYWOOD. TRUSSES SHALL BE BRACE IN ACCORDANCE WITH THE TRUSS MANUFACTURERS RECOMMENDATIONS. ALL TEMPORARY AND FINAL TRUSS BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECTION

- PROTECT ROUGH CARPENTRY FROM WEATHER. IF ROUGH CARPENTRY BECOMES WET, APPLY EPA-REGISTERED BORATE TREATMENT COMPLYING WITH EPA REGISTERED LABEL.

CONCRETE CONSTRUCTION

PLACEMENT OF REINFORCING STEEL

- REINFORCING STEEL WHICH IS PLACED ADJACENT TO A CONCRETE SURFACE WHICH SHALL BE CAST AGAINST WOOD, METAL OR OTHER REMOVABLE FORM WORK SHALL BE SUPPORTED AWAY FROM THE FORM WORK WITH CHAIRS OR BOLSTERS. ALL COMPONENTS OF THE CHAIRS OR BOLSTERS WHICH ARE IN CONTACT WITH THE FORM SHALL BE NONCORRODING. COMPONENTS OF THE CHAIRS OR BOLSTERS WHICH ARE SUBJECT TO CORROSION SHALL NOT BE PLACED WITHIN ONE INCH OF THE FORMED SURFACE.
- BOLSTERS SHALL BE PROVIDED BETWEEN THE LAYERS OF REINFORCING STEEL WITHIN WALLS AND SLABS.
- THE SPACING OF BOLSTERS, CHAIRS AND OTHER REINFORCING STEEL SUPPORTS SHALL BE LIMITED SO AS TO PREVENT DISPLACEMENT OF THE REINFORCING DUE TO PLACEMENT OF THE CONCRETE. IN THE CASE OF SLABS ALL LAYERS OF REINFORCING STEEL SHALL BE SUPPORTED SO AS TO BE CAPABLE OF CARRYING THE LOADS OF THE WORKERS PLACING THE STEEL AND CONCRETE.

EMBEDEMENTS

- ALL ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH CONCRETE SHALL BE COATED WITH BITUMASTIC PAINT.
- A MINIMUM OF TWO (2) INCHES OF CLEAR COVER SHALL BE PROVIDED BETWEEN ALL EMBEDEMENTS AND REINFORCING STEEL AND WATER STOPS.

CONSTRUCTION AND SOILS NOTES

- COMPACTION OF BACK FILL SHALL BE OBTAINED BY MEANS OF TAMPING ROLLERS, SHEEPS FOOT ROLLERS, PNEUMATIC TIRE ROLLERS, VIBRATING ROLLERS OR OTHER MECHANICAL TAMPERS. TAMPING OR POUNDING WITH BACK HOE BUCKET IS NOT AN ACCEPTABLE FORM OF COMPACTION.
- MATERIAL TO BE COMPACTED SHALL BE PLACED IN LIFTS WHICH PRIOR TO COMPACTION SHALL NOT EXCEED 6"
- COMPACTION ADJACENT TO ALL FOUNDATIONS AND FOOTINGS SHALL BE PERFORMED BY THE USE OF HAND-DIRECTED MECHANICAL TAMPERS WITH LIFTS NOT EXCEEDING 6"
- IF DURING EXCAVATION THE SOILS DO NOT APPEAR CAPABLE OF SUPPORTING A **2000** PSF BEARING LOAD THE FOUNDATION ENGINEER SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE FOOTING SIZES AND FOUNDATION DESIGN IN LIGHT OF THE DISCOVERED SOIL CONDITIONS.
- ALL FILL INSIDE FOUNDATION WALL SHALL BE GRANULAR FILL COMPACTED TO 100% OF STANDARD PROCTOR.
- GRANULAR FILL SHALL CONSIST OF A WELL GRADED MATERIAL FREE OF ORGANIC MATTER BITUMINOUS MATERIAL, SALVAGED CONCRETE AND OTHER DELITERIOUS MATERIALS AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

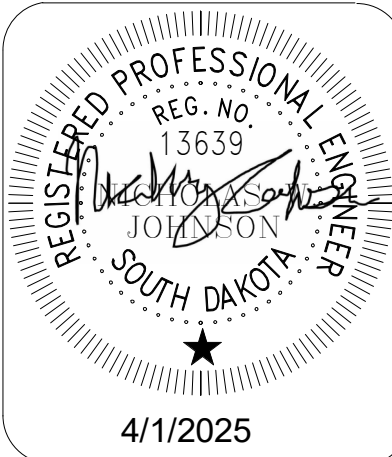
SIEVE SIZE	PERCENT PASSING BY WEIGHT
1"	100
3 / 4 "	90-100
No. 4	45-80
No. 40	15-35
No. 200	0-15

LIMITS OF LIABILITY

- SUMMIT STRUCTURAL ENGINEERING HAS BEEN CONTRACTED TO PROVIDE ENGINEERED CONSTRUCTION DRAWINGS FOR ONLY THE INFORMATION PROVIDED IN THIS DRAWING PACKAGE. ALL OTHER INFORMATION NOT SPECIFICALLY DETAILED IS THE RESPONSIBILITY OF OTHERS.
- IT IS UNDERSTOOD THAT THE OWNER CONSTRUCTED THIS STRUCTURE PREVIOUSLY WITH NO DIRECTION FROM AN ENGINEER. SUMMIT STRUCTURAL REVIEWED THE EXISTING STRUCTURE AND HAS ANALYSED THE STRUCTURAL ELEMENTS. THIS DRAWING SET REPRESENTS A NEW STRUCTURE WHICH AS BEEN REVIEWED BY SUMMIT STRUCTURAL.

Sheet List	
Sheet Number	Sheet Name

S1.0	PROJECT TITLE PAGE
S2.0	FOUNDATION & ROOF PLANS
S3.0	FRAMING DETAILS



BERG POLE BARN
874 MAIN ST. DEADWOOD SD
CLIENT: DALE BERG

PROJECT TITLE PAGE

Date: 4/1/2025

Sheet Size: 22" x 34"

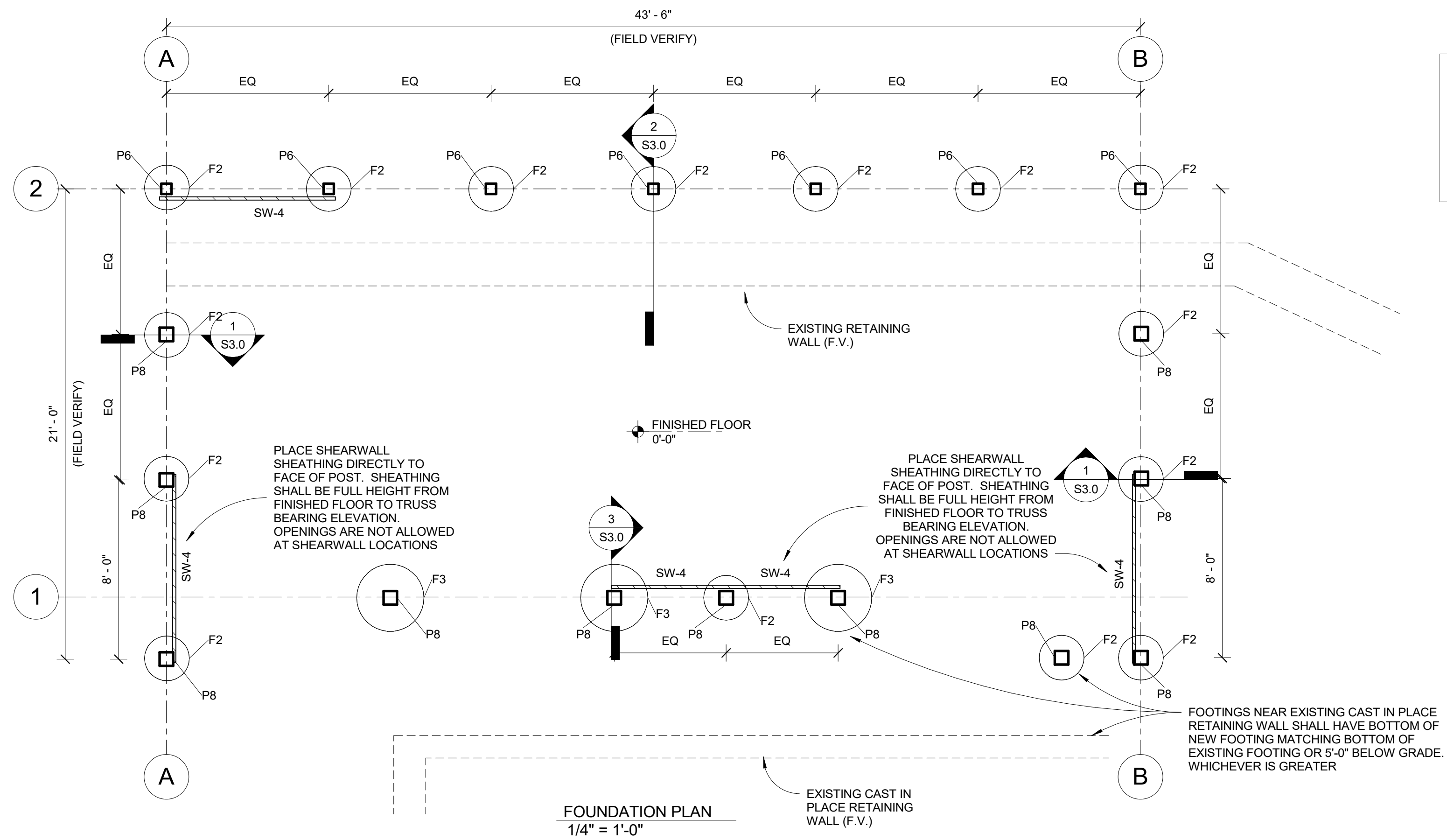
Drawn / Checked By: NU

805 N. 10TH STREET
SPEARFISH, SD 57783
PH (605) 639-1790

SummitStructuralEng.com



S1.0



GENERAL NOTES:

- COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL/OWNER DRAWINGS BEFORE CONSTRUCTION.
- ALL DETAILS ARE TYPICAL UNLESS NOTED OTHERWISE
- NO OPENINGS MAY OCCUR AT SHEARWALL LOCATIONS

Drilled Footing Schedule

Type Mark	Description	Type Comments
F2	2'-0" DIA.	(5) #4 VERTICAL BARS
F3	3'-0" DIA.	(8) #4 VERTICAL BARS.

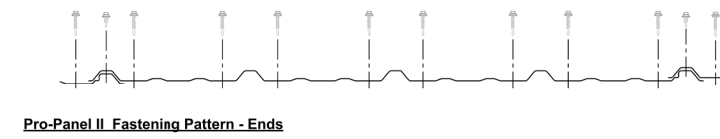
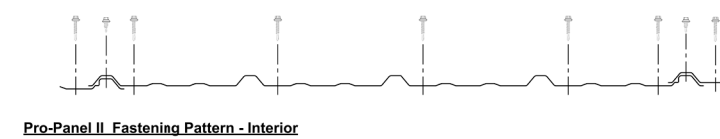
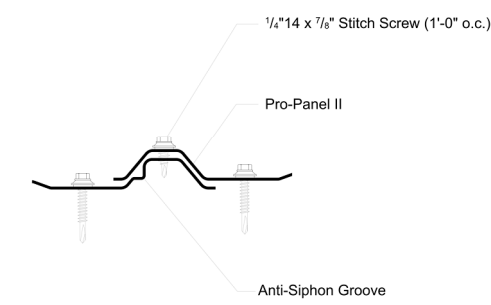
SHEARWALL SCHEDULE				
MARK	SHEATHING	FASTENERS		BLOCKED PANEL EDGES
		EDGE	FIELD	
SW-4	7/16" (MIN) OSB (ONE SIDE)	4	12	YES

SHEARWALL NOTES:

A. PANELS SHALL BE 4'X8' MIN WITH FASTENERS LOCATED MIN 3/8" FROM PANEL EDGES. PANELS SHALL BE SPLICED AT POST LOCATIONS AND ATTACHED DIRECTLY TO FACE OF POSTS.

B. **BLOCKING SHALL BE 2X MEMBERS AT ALL PANEL EDGES AS REQUIRED IN TABLE ABOVE. BLOCKING SHALL BE PLACED BETWEEN POSTS AT PANEL EDGES.**

C. FASTENERS INTO WOOD STRUCTURAL PANELS SHALL BE MIN 8d WITH MIN. 1 3/8" PENETRATION INTO FRAMING MEMBERS OR BLOCKING.



FASTENER INFORMATION

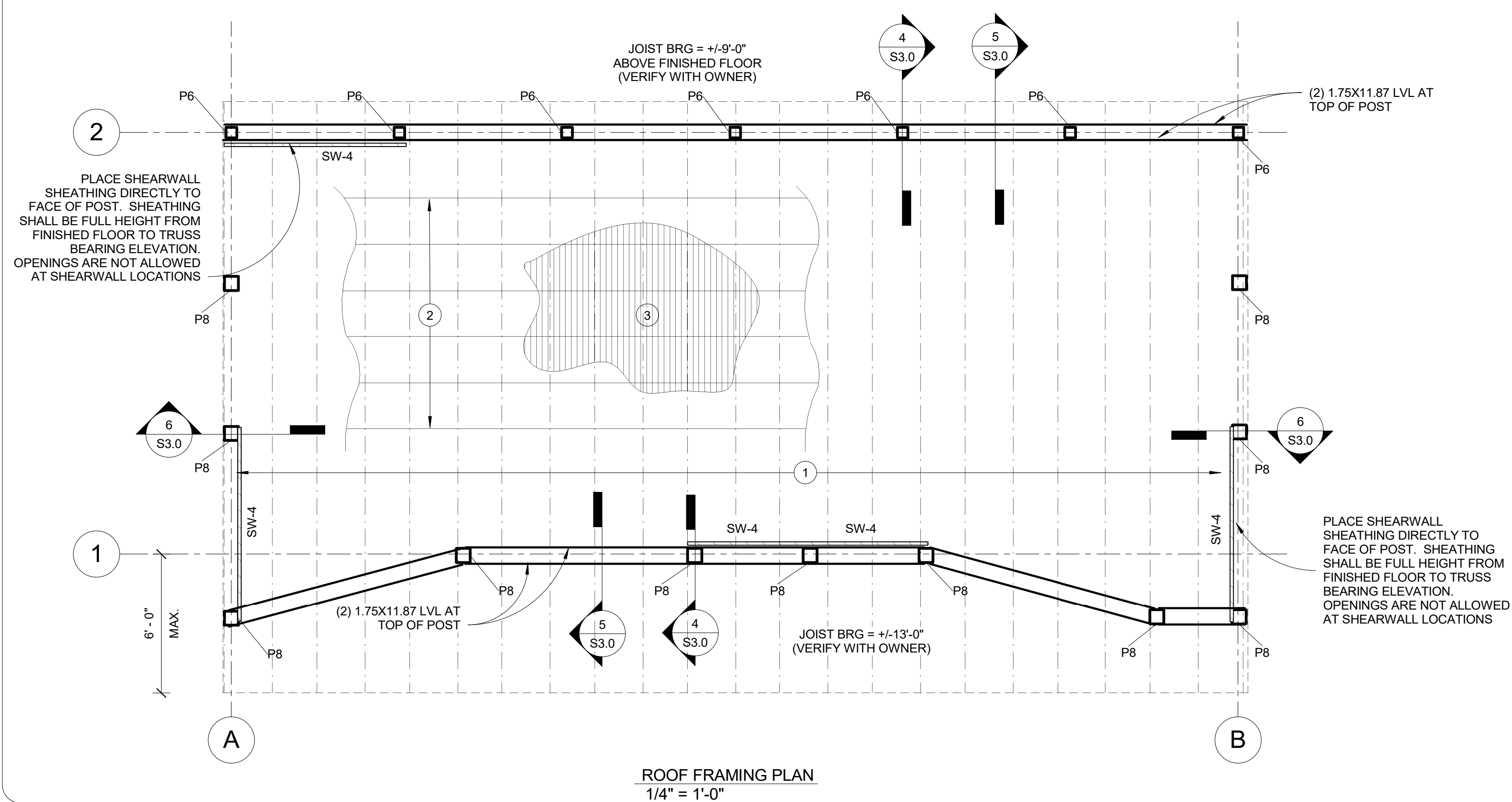
Overdriven fasteners will cause panel distortions. Fasteners should extend 1/2" or more past the inside face of the support material.

Thick panels (ex. 18 ga) or supports (ex. 1/2" steel) may require predrilling of holes for screws.

Panel Fastener:
Attaching to Wood:
#10-14 XL Wood Screw
Attaching to Steel:
#12-14 XL Self Drilling Screw

Side Lap Fastener:
1/4"-14 x 7/8" XL Slitch Screw

Trim Fastener:
1/4"-14 x 7/8" XL Slitch Screw



POST SCHEDULE

MARK	POST	MATERIAL - GRADE
P8	8X8	TREATED SYP - #2 OR BETTER
P6	6X6	TREATED SYP - #2 OR BETTER

POSTS WHICH ARE EMBEDDED INTO CONCRETE SHALL BE TREATED FOR GROUND CONTACT

MEMBER SCHEDULE.

LOCATION	DESCRIPTION	MATERIAL GRADE	REQUIRED FASTENERS
WALL GIRTS	2X6 @ 24" O.C.	SPF - SELECT STRUCTURAL	PROVIDE (4) 0.177" X 4.5" RING SHANK NAILS AT EACH POST
ROOF PURLIN	2X4 @ 24" O.C.	SPF - #1/#2 (OR EQUAL)	PROVIDE (2) 0.177" X 4.5" RING SHANK NAILS AT EACH ROOF JOIST

ROOF FRAMING PLAN NOTES:

- 1-3/4" X 14" LVL ROOF JOISTS AT 2'-0" O.C.
- ROOF PURLINS PER MEMBER SCHEDULE.
- 26GA PRO-PROPANEL METAL ROOF SHEATHING. PROVIDE (5) #10-14 SCREWS TO EACH WALL GIRT AND (8) #10-14 SCREWS TO GIRTS AT ENDS OF PANELS. INSTALL 1/4"-14 x 7/8" SIDE LAP FASTENERS AT 12" O.C.

BERG POLE BARN
874 MAIN ST. DEADWOOD SD
CLIENT: DALE BERG

FOUNDATION & ROOF PLANS

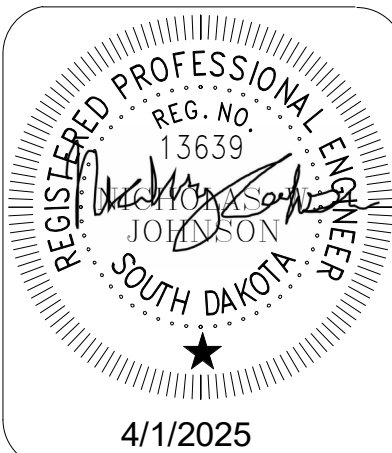
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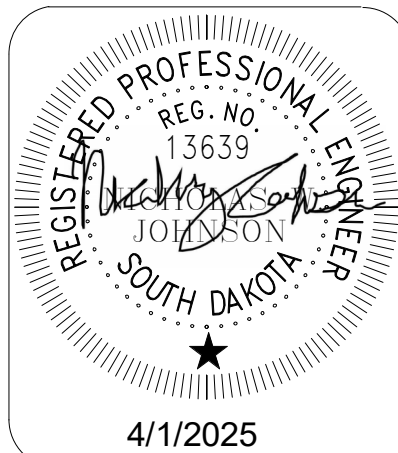
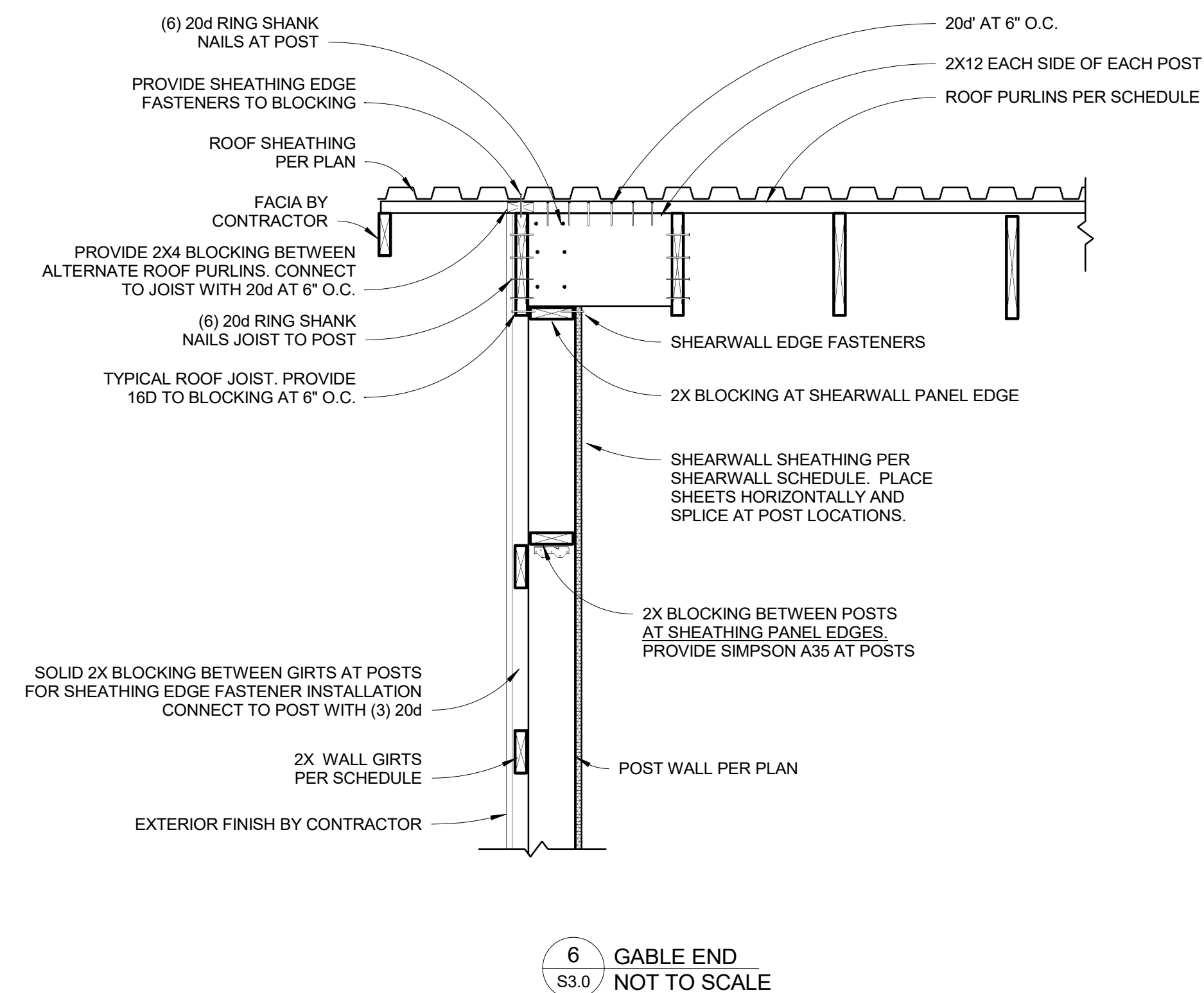
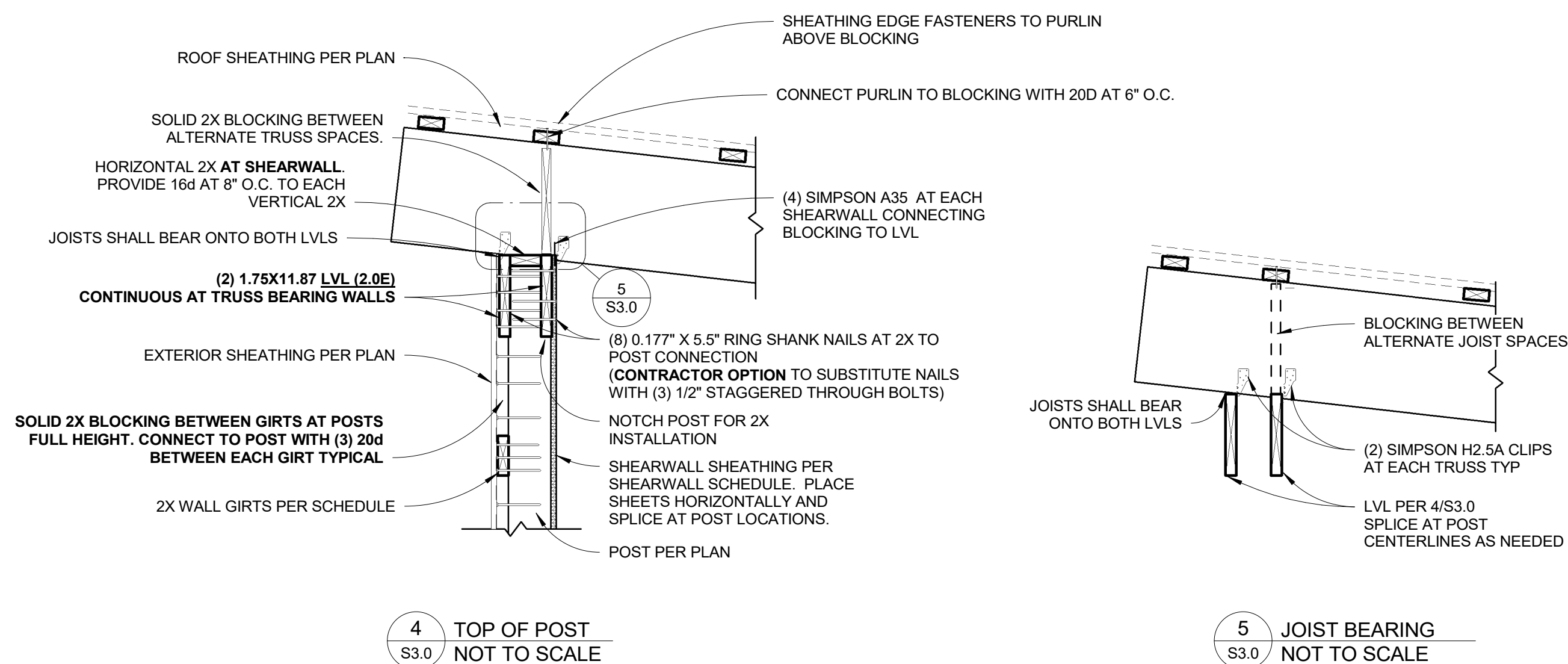
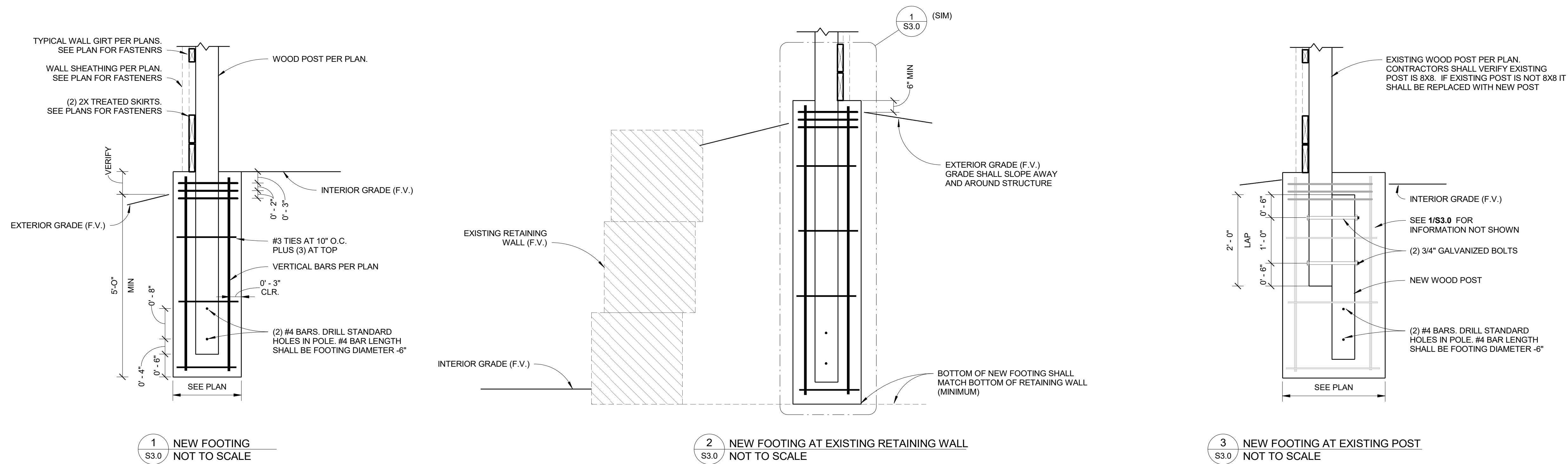
Drawn / Checked By: NU

805 N. 10TH STREET
SPEARFISH, SD 57783
PH (605) 639-1790

SummitStructuralEng.com



S2.0



BERG POLE BARN
874 MAIN ST. DEADWOOD SD
CLIENT: DALE BERG

FRAMING DETAILS

Drawn / Checked By: NU Sheet Size: 22" x 34" Date: 4/1/2025

805 N. 10TH STREET
SPEARFISH, SD 57783
PH (605) 639-1790
SummitStructuralEng.com



S3.0

Date: April 16, 2025

Case No. 250052
Address: 67 Terrace St.

Staff Report

The applicant has submitted an application for Project Approval for work at 67 Terrace St., a contributing structure located in the Cleveland Planning Unit in the City of Deadwood.

Applicant: Lori May Wilkinson

Owner: WILKINSON, LORI MAY TRUSTEEWILKINSON, DAVID H & LORI MAY REVOCABLE TRUST
Constructed: c 1900

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to repair the historic foundation per the attached quote.

Attachments: Yes

Plans: No

Photos: Yes

Staff Opinion:

The proposed work and changes do not encroach upon, damage, or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

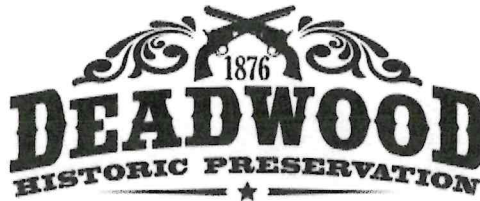
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE

Section 8 Item b.

Case No. 250052
☒ Project Approval
☐ Certificate of Appropriateness
Date Received 1/1
Date of Hearing 4/23/25

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 67 Terrace St. Deadwood, SD 57732

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: 1
Address: 34 CL
City: Omaha State: NE Zip: 68124
Telephone: 4
E-mail: 1

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: MARE Pedersen
Address: 2
City: Spearfish State: SD Zip: 57783
Telephone: 605 444 7690
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | <input checked="" type="checkbox"/> Porch/Deck |
| <input type="checkbox"/> Other <u>Foundation</u> | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | <input type="checkbox"/> Fencing |
- repair + preserve

Updated October 9, 2019

FOR OFFICE USE ONLY

Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)				
Project Start Date: _____		Project Completion Date (anticipated): <u>Fall 2025</u>		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS	
<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
<input type="checkbox"/> Front		<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____				
<input type="checkbox"/> PORCH/DECK	<input checked="" type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> OTHER – Describe in detail below or use attachments				

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Preservation and repair of the historical Foundation.
Details provided with enclosed estimate from Black Hills
Craftsman.

FOR OFFICE USE ONLY

Case No. _____

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

5552

PROPOSAL SUBMITTED TO <u>Black Hills Craftsmen</u>		PHONE <u>605-641-2899</u>	DATE <u>3-27-25</u>
STREET <u>330 Industrial Dr. Suite 2</u>		JOB NAME	
CITY, STATE AND ZIP CODE <u>Spearfish SD 57783</u>		JOB LOCATION <u>67 Terrace Deadwood S.</u>	
ARCHITECT	DATE OF PLANS <u>3-27-25</u>	JOB PHONE	

We hereby submit specifications and estimates for:

Foundation Repair

- ① Excavate 8'x8' perimeter of Home
 - ② pour 8'x8' Concrete Curb at Grade with #4 Rebar Continuous
 - ③ Regrade AS Needed, owner to seed.
 - ④ 300¢ Tuckpoint stone Foundation to Flush joint
Strike off, and Brush 18,000.⁰⁰
8,500.⁰⁰
 - ⑤ Front stoop, Demo Dispose, pour new Concrete steps
Lay up new stone Armchair 24'x Length
8,500.⁰⁰
- Sub Total 35,000.⁰⁰
S.D. State Rate Tax 875.⁰⁰
35,875.⁰⁰
- Owner to provide permit

We propose hereby to furnish material and labor -- complete in accordance with above specifications, for the sum of:

50% INVOICE AT start of project.

dollars (\$ 35,875.⁰⁰)

Payment to be made as follows:

Net 10 Day of Invoice

All material is guaranteed to be as specified. All work to be completed in a workman-like manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized
Signature

Note: This proposal may be
withdrawn by us if not accepted within _____ days.

Acceptance of Proposal - The above prices, specifications
and conditions are satisfactory and are hereby accepted. You are authorized

to do the work as specified. Payment will be made as outlined above.

Date of Acceptance _____

Signature _____

Signature _____

HISTORIC BLACK HILLS STUDIOS

HOME OF THE FASSBENDER PHOTOGRAPHIC COLLECTION

Recently Digitized



South Dakota Governor William J. Bulow fishing in Spearfish Creek. He was governor from 1927-1931.



This Swarm Day float from 1929 reflects an issue of the times. The Women's Christian Temperance Union promoted keeping the prohibition of alcohol.

More on page 2



Road Show

Attendees once again helped identify more than a hundred portrait and wedding photos that are part of the Fassbender Photographic Collection. Collection volunteers spent a Saturday at the Snappers Club in Spearfish to help visitors go through stacks of images and make the identifications. Many of the prints formerly hung in the storefront windows of Black Hills Studio when it was still operating in Spearfish.



Above: Attendees search through the stacks of unidentified prints at the Snappers Club.

Left: Barbara (Morcom) Matson found two prints of herself.

(Cont. on pg. 2)



Recently Digitized



The “Friendly Service” Mobilgas station opened in August 1935 in Spearfish. Construction was done by Thompson Brothers Construction and was turned over to A.L. Clark, a local Second-Vacuum distributor.



This Adams Museum image is dated June 1962.



The Liberty Motel (pictured here in 1962) was located in Deadwood across from current day Twin City Hardware.

2025 Conferences

May 7-9, 2025

South Dakota State Historical Society state conference in Deadwood.

The 2025 Annual History Conference will be in Deadwood on May 8th and 9th. The theme is “Historical Mysteries: In Search of the Buried Past.”

October 1-3, 2025

West River History Conference in Deadwood.

The theme for 2025 is “Historic 1876 Deadwood: LIVING the PAST!”

(www.westriverhistoryconference.org)

Road Show (cont.)



Above: Working the tables of prints looking for prints looking for familiar faces.



Left: Patricia (Weber) Dias holds a portrait of her younger self.

Below: Dick King found his portrait from decades ago.

