

# Historic Preservation Commission Agenda

Wednesday, April 09, 2025 at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

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1. **Call Meeting to Order**
2. **Roll Call**
3. **Approval of Minutes**
  - a. Approve Minutes of 3/26/25 Meeting
4. **Voucher Approvals**
  - a. HP Operating Vouchers
  - b. HP Revolving Vouchers
5. **HP Programs and Revolving Loan Program**
  - a. Accept 15 Madison and 15 Forest into Retaining Wall Program
    - Billy Fritze - 15 Madison
    - Adrian Newkirk - 15 Forest
6. **Old or General Business**
  - a. 2025 Scholarship Program Recipient Approval
  - b. Resolution 2025-01 to adopt standard naming for Deadwood pioneer Wong Fee Lee (黃輝利) - Gary Guan, State Historic Preservation Officer
7. **New Matters Before the Deadwood Historic District Commission**
8. **New Matters Before the Deadwood Historic Preservation Commission**
  - a. PA 250033 - Dale & Susan Berg - 874 Main - Construct Deck
  - b. PA 250044 - Dale & Susan Berg - 874 Main - Repairs to large structure
  - c. PA 250042 - Pamela Massa - 15 Washington - Replace windows on sides and rear of structure
  - d. PA 250043 - Ben & Sheri Greenlee - 52 Van Buren - Replace Siding
9. **Items from Citizens not on Agenda**

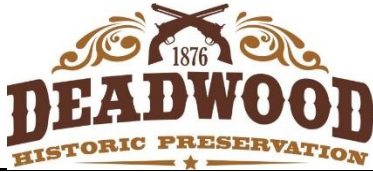
(Items considered but no action will be taken at this time.)
10. **Staff Report**

(Items considered but no action will be taken at this time.)

  - a. 2025 Annual History Conference
11. **Committee Reports**

(Items considered but no action will be taken at this time.)
12. **Adjournment**

**Note:** All Applications **MUST** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.



## Historic Preservation Commission Minutes

Wednesday, March 26, 2025, at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

### 1. Call Meeting to Order

A quorum present, Commission Chair Diede called the Deadwood Historic Preservation Commission meeting to order on March 26, 2025, at 4:00 p.m.

### 2. Roll Call

PRESENT

HP Commission Chair Leo Diede

HP Commission Vice Chair Vicki Dar

HP Commissioner 2<sup>nd</sup> Vice Chair Trevor Santochi

HP Commissioner Tony Williams

HP Commissioner Jesse Allen

HP Commissioner Anita Knipper

City Commissioner Blake Joseph

ABSENT:

HP Commissioner Molly Brown

STAFF PRESENT

Bonny Anfinson, Historic Preservation Coordinator

Susan Trucano, Neighborworks

### 3. Approval of Minutes

a. HP Meeting Minutes 03/12/25

***It was motioned by Commissioner Knipper and seconded by Commissioner Williams to approve minutes of the March 12, 2025, meeting. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

### 4. Voucher Approvals

a. HP Operating Vouchers

***It was motioned by Commissioner Williams and seconded by Commissioner Dar to approve HP Operating Vouchers in the amount of \$4,998.98. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

b. HP Grant Vouchers

***It was motioned by Commissioner Williams and seconded by Commissioner Santochi to approve HP Grant Vouchers in the amount of \$10,000.00. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

b. HP Revolving Vouchers

***It was motioned by Commissioner Dar and seconded by Commissioner Williams to approve HP Revolving Vouchers in the amount of \$150.00. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

5. **HP Programs and Revolving Loan Program**

6. **Old or General Business**

- a. Acknowledge sponsorship in the amount of \$1,000.00 for the South Dakota State Historical Society's annual state history conference to be held in Deadwood May 7-9, 2025.

Mrs. Anfinson stated the Historic Preservation Commission sponsors this annual event. This year it will be held in Deadwood.

7. **New Matters Before the Deadwood Historic District Commission**

- a. COA 250034 – Deadwood Sundance 2023 LLC – 61 Sherman Street – Restoration of front facade.

Mrs. Anfinson stated the applicant has submitted a certificate of appropriateness for work at 61 Sherman Street, a contributing structure located in the South Deadwood Historic District. The applicant is requesting permission to remove existing recessed entryway and replace with custom fabricated steel window to match the existing historical steel window (non-operable). A new brick wall will be constructed below to match existing brick color and pattern to extent reasonably possible. Replace single pane glass in the existing steel window and double pane insulated glass. This structure along with 57 and 59 Sherman Street were entered into the Facade Easement Program on February 28, 2024. This project is part of the facade restoration. The replacement brick for the infill between and around the right window should match the current brick. The proposed work and changes do not encroach upon, damage, or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

***It was motioned by Commissioner Dar and seconded by Commissioner Allen based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and move to grant Certification of Appropriateness contingent upon review of the brick color before ordering. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

8. **New Matters Before the Deadwood Historic Preservation Commission**

- a. PA 250028 - Bob & Cathy Collett - 10 Harrison - Replace front porch

Mrs. Anfinson stated the applicant has submitted an application for project approval for work at 10 Harrison Street, a non-contributing structure located in the Ingleside Planning Unit in the City of Deadwood. The applicant is requesting permission to remove old porch and rebuild a new porch with same size and design. It will be constructed of brown treated 2x material. Staff is coordinating with the contractor to determine if the current design meets code requirements. Trent Mohr, Building Inspector, has reviewed and the porch does meet code. ***It was moved by Commissioner Williams and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project does not***



***encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

- b. PA 250029 - Roger & Sharon Styer - 46 Wabash St. - Construct Car Port.

Mrs. Anfinson stated the applicant has submitted an application for project approval for work at 46 Wabash Street, a non-contributing structure located in the Cleveland Planning Unit in the City of Deadwood. The applicant is requesting permission to construct a 16x28 carport, 9ft. side walls (posts) 6x6 posts, 5 on each (2) side walls, roof metal/steel, gable roof pitch 4 12 on concrete slab with thickened edge, truss rafters on roof OSB under roofing, 13 rafters, 2 gable end rafters. Staff prefers the roof to be a 5 12 pitch or greater with asphalt shingles to match the house. The proposed work and changes do not encroach upon, damage, or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Dar and seconded by Commissioner Allen based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval contingent upon the roof has a 5 12 pitch or greater with asphalt shingles to match the house. Voting Yea: Williams, Santochi, Diede, Allen, Dar, Knipper.***

9. **Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

10. **Staff Report**

(Items considered but no action will be taken at this time.)

11. **Committee Reports**

(Items considered but no action will be taken at this time.)

Commissioner Dar – Dueling Pianos is sold out.

Commission Allen – Trails committee is working on all trails map and signage

12. **Adjournment**

**The HP Commission meeting adjourned at 4:19 p.m.**

**ATTEST:**

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**Chairman, Historic Preservation Commission**

***Minutes by Bonny Anfinson, Historic Preservation Coordinator***

# Historic Preservation Commission

## Bill List - 2025

OPERATING ACCOUNT: Historic Preservation	
<b>HP Operating Account Total:</b>	<b>\$ 76,376.61</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

HPC	04/09/25
Batch	04/22/25

PACKET: 07013 04/22/25 - HP OPERATING B  
 VENDOR SET: 01 CITY OF DEADWOOD  
 SEQUENCE : ALPHABETIC  
 DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0776		ALBERTSON ENGINEERING, INC.				
I-21732		5 HARRISON RW	957.40			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		5 HARRISON RW		215 4576-600	PROFES. SERV. CURRENT EX	957.40
=====						
I-21735		114 MCGOVERN HILL RW	925.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		114 MCGOVERN HILL RW		215 4576-600	PROFES. SERV. CURRENT EX	925.00
=====						
I-21736		BULLOCK HOTEL SIDEWALK	957.40			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		BULLOCK HOTEL SIDEWALK		215 4576-600	PROFES. SERV. CURRENT EX	957.40
		=== VENDOR TOTALS ===	2,839.80			

=====						
01-4711		AMAZON CAPITAL SERVICES				
I-1M1F-6JKC-CCJH		COFFEE SUPPLIES	142.58			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		COFFEE SUPPLIES		215 4641-426	SUPPLIES	142.58
		=== VENDOR TOTALS ===	142.58			

=====						
01-4319		AMERICAN ASSN. FOR STATE & LOC				
I-18353		MEMBERSHIP	118.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		MEMBERSHIP		215 4573-325	HIST. INTERP. DUES AND S	118.00
		=== VENDOR TOTALS ===	118.00			

=====						
01-5052		AVID4 ENGINEERING				
I-23-123.20		GIS TECH SERVICES 3/22/25	1,485.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: Y		
		GIS TECH SERVICES 3/22/25		215 4576-600	PROFES. SERV. CURRENT EX	1,485.00
=====						
I-25-107.1		142 SHERMAN ELEVATION CERT.	1,525.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: Y		
		142 SHERMAN ELEVATION CERT.		215 4575-505-04	85 CHARLES ST	1,525.00
		=== VENDOR TOTALS ===	3,010.00			

PACKET: 07013 04/22/25 - HP OPERATING B  
 VENDOR SET: 01 CITY OF DEADWOOD  
 SEQUENCE : ALPHABETIC  
 DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0418		BLACK HILLS PIONEER				
I-129827		ADMIN ASST CLASSIFIED	173.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		ADMIN ASST CLASSIFIED		215 4641-423	PUBLISHING	173.00
		=== VENDOR TOTALS ===	173.00			
=====						
01-1652		BLOOMERS FLOWERS & GIFTS				
I-40805		PLANT/RUNGE	71.99			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		PLANT/RUNGE		215 4641-426	SUPPLIES	71.99
		=== VENDOR TOTALS ===	71.99			
=====						
01-5038		BRITE IDEAS LLP				
I-20255		ACRYLIC GLOBE	772.40			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		ACRYLIC GLOBE		215 4577-760	CAPITAL ASSETS GLOBE REP	772.40
		=== VENDOR TOTALS ===	772.40			
=====						
01-3314		CENTURY BUSINESS PRODUCTS, INC				
I-784476		COPIER TONER/ARCHIVES	569.67			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		COPIER TONER/ARCHIVES		215 4573-335	HIST. INTERP. ARCHIVE DE	569.67
		=== VENDOR TOTALS ===	569.67			
=====						
01-0951		DEADWOOD ALIVE				
I-1302-25		APRIL 2025	20,000.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		APRIL 2025		215 4572-235	VISITOR MGMT ADVOCATE	20,000.00
		=== VENDOR TOTALS ===	20,000.00			
=====						
01-0475		DEADWOOD CHAMBER & VISITORS BU				
I-040825		BILLS FOR 3/2025	29,740.48			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		BILLS FOR 3/2025		215 4572-215	VISITOR MGMT HISTORY/INF	17,500.00
		BILLS FOR 3/2025		215 4572-210	VISITOR MGMT MARKETING	12,240.48
		=== VENDOR TOTALS ===	29,740.48			

PACKET: 07013 04/22/25 - HP OPERATING B  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-4625	FIB CREDIT CARDS					
I-4000835		ALL TRAILS YRLY FEE 3/25-3/26	35.99			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		ALL TRAILS YRLY FEE 3/25-3/26		212 4630-423	MARKETING	35.99
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I-G078004747		MICROSOFT CORP	884.37			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		MICROSOFT CORP		215 4641-422	PROFESSIONAL SERVICES	294.79
		MICROSOFT CORP		610 4361-422	PROFESSIONAL SERVICES	294.79
		MICROSOFT CORP		607 4580-422	PROFESSIONAL SERVICES	294.79
=====						
I-G082096824		MICROSOFT CORP	851.34			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		MICROSOFT CORP		215 4641-422	PROFESSIONAL SERVICES	283.78
				610 4361-422	PROFESSIONAL SERVICES	283.78
		MICROSOFT CORP		607 4580-422	PROFESSIONAL SERVICES	283.78
		=== VENDOR TOTALS ===	1,771.70			
=====						

01-4913 HOMESTAKE OPERA HOUSE

I-13240		2024 RD1 OUTSIDE OF DWD GRANT	10,000.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		2024 RD1 OUTSIDE OF DWD GRANT		215 4575-520	GRANT/LOAN PROJECTS OUTS	10,000.00
		=== VENDOR TOTALS ===	10,000.00			
=====						

01-2742 LEAD-DEADWOOD BASEBALL ASSOCIA

I-040825		2025 SPONSORSHIP	300.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		2025 SPONSORSHIP		215 4572-235	VISITOR MGMT ADVOCATE	300.00
		=== VENDOR TOTALS ===	300.00			
=====						

01-0551 MENARD'S

I-57695		TIMBER OIL WAGON STAIN	177.99			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		TIMBER OIL WAGON STAIN		215 4572-235	VISITOR MGMT ADVOCATE	177.99
		=== VENDOR TOTALS ===	177.99			
=====						

PACKET: 07013 04/22/25 - HP OPERATING B

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-1827	MS MAIL					
I-15122		OVAL LABELS	225.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: Y		
		OVAL LABELS		215 4641-426	SUPPLIES	225.00
		=== VENDOR TOTALS ===	225.00			
=====						
01-4906	STONE LAND SERVICES, LLC					
I-2025-01		BOOTS ON BRICKS 3RD BILLING	4,664.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		BOOTS ON BRICKS 3RD BILLING		215 4572-235	VISITOR MGMT ADVOCATE	4,664.00
		=== VENDOR TOTALS ===	4,664.00			
=====						
01-3785	TALLGRASS LANDSCAPE ARCHITECTU					
I-2025-041		LIBRARY GARDEN PROJECT	1,200.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: N		
		LIBRARY GARDEN PROJECT		215 4577-705	CAPITAL ASSETS LIBRARY	1,200.00
		=== VENDOR TOTALS ===	1,200.00			
=====						
01-2014	TOMS, DON					
I-040825		2010.03.14.68 AGG & MINERAL	600.00			
4/22/2025	FNBAP	DUE: 4/22/2025 DISC: 4/22/2025		1099: Y		
		2010.03.14.68 AGG & MINERAL		215 4573-335	HIST. INTERP. ARCHIVE DE	600.00
		=== VENDOR TOTALS ===	600.00			
		=== PACKET TOTALS ===	76,376.61			

PACKET: 07013 04/22/25 - HP OPERATING B

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* T O T A L S \*\*

INVOICE TOTALS	76,376.61
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	76,376.61
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\*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====		=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
2025		212-2020	ACCOUNTS PAYABLE	35.99-*				
		212-4630-423	MARKETING	35.99	360,000		246,655.86	
		215-2020	ACCOUNTS PAYABLE	75,183.48-*				
		215-4572-210	VISITOR MGMT MARKETING	12,240.48	414,000	340,658.92	819,000	694,871.67
		215-4572-215	VISITOR MGMT HISTORY/INF	17,500.00	70,000	35,000.00	819,000	689,612.15
		215-4572-235	VISITOR MGMT ADVOCATE	25,141.99	220,000	164,502.01	819,000	681,970.16
		215-4573-325	HIST. INTERP. DUES AND S	118.00	2,500	23,086.00- Y		
		215-4573-335	HIST. INTERP. ARCHIVE DE	1,169.67	43,300	12,085.38		
		215-4575-505-04	85 CHARLES ST	1,525.00	175,000	123,025.22		
		215-4575-520	GRANT/LOAN PROJECTS OUTS	10,000.00	100,000	81,938.00		
		215-4576-600	PROFES. SERV. CURRENT EX	4,324.80	75,000	64,509.05		
		215-4577-705	CAPITAL ASSETS LIBRARY	1,200.00	32,000	6,535.00		
		215-4577-760	CAPITAL ASSETS GLOBE REP	772.40	10,000	5,519.60		
		215-4641-422	PROFESSIONAL SERVICES	578.57	50,000	44,590.27		
		215-4641-423	PUBLISHING	173.00	15,000	11,987.10		
		215-4641-426	SUPPLIES	439.57	15,000	12,787.73		
		607-2020	ACCOUNTS PAYABLE	578.57-*				
		607-4580-422	PROFESSIONAL SERVICES	578.57	10,000	1,194.97- Y		
		610-2020	ACCOUNTS PAYABLE	578.57-*				
		610-4361-422	PROFESSIONAL SERVICES	578.57	48,700	28,538.22		
		999-1306	DUE FROM FUND 215	75,183.48 *				
		999-1344	DUE FROM FUND 607	578.57 *				
		999-1345	DUE FROM FUND 610	578.57 *				
		999-1368	DUE FROM FUND 212	35.99 *				
		** 2025 YEAR TOTALS		76,376.61				

4/09/2025 11:55 AM

A/P Regular Open Item Register

Section 4 Item a.

PACKET: 07013 04/22/25 - HP OPERATING B

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
212	4/2025	35.99
215	4/2025	75,183.48
607	4/2025	578.57
610	4/2025	578.57

NO ERRORS

NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0



4/9/2025 9:01am

HP REVOLVING LOAN FUND  
 A/P Invoices Report  
 4/1/2025 - 4/30/2025  
 Batch = 1

Page 1 of 1

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
04/2025								
LAWRENCE COUNTY REGISTER OF DEEDS - REC SAT KNIPPER - 4/9/2025 - 30.00 - Batch: 1 - Header Memo: Record Satisfaction-422 Williams-Knipper								
Record Satisfaction-422 Williams-Knipper	100	5200				CLOSING COSTS	30.00	
Record Satisfaction-422 Williams-Knipper	100	2000				DISBURSED		
						ACCOUNTS PAYABLE		30.00
Total:							30.00	30.00
Neighborhood Lending Service, LLC - 2025-1 - 4/9/2025 - 650.63 - Batch: 1 - Header Memo: Client Credit Reports-1st Qtr 2025								
Client Credit Reports-1st Qtr 2025	100	5200				CLOSING COSTS	650.63	
Client Credit Reports-1st Qtr 2025	100	2000				DISBURSED		
						ACCOUNTS PAYABLE		650.63
Total:							650.63	650.63
NHS OF THE BLACK HILLS - 2025-3 - 4/9/2025 - 3,500.00 - Batch: 1 - Header Memo: Servcing Contract-March 2025								
Servcing Contract-March 2025	100	5000				PROF & ADMIN FEES	3,500.00	
Servcing Contract-March 2025	100	2000				ACCOUNTS PAYABLE		3,500.00
Total:							3,500.00	3,500.00
Total:							4,180.63	4,180.63
Report Total:							4,180.63	4,180.63

With Cut Off Days From 30 Through 90  
Neighborhood Lending Services, LLC

Loan #	Interest Paid To	Next Due	Scheduled Payment	Late Fees Accrued	NSF Fees Accrued	Past Due Interest	Past Due Principal	Past Due Total Due	Current Balance	Suspense Impound Balance	Aging Partial Balance Days
>>> <b>Investor: HP</b>	NHS Revolving Loan,										
HPRRLTHOM	07/01/2024	03/01/2025	268.84	25.00	0.00	113.85	423.83	562.68	17183.42	0.00	0.00 39

Last Worked: / / By: / / Work Date: / /  
 Flags: Collector Code: Loan Officer:  
 Home Telephone: (605) 641-2870 Work Telephone: (605) 578-1400 Last Transaction: 07/15/2024  
 Borrower: THOMPSON, LEE

	Scheduled Payment	Late Fees Accrued	NSF Fees Accrued	Past Due Interest	Past Due Principal	Past Due Total Due	Current Balance	Suspense Impound Balance	Total
Totals:	268.84	25.00	0.00	113.85	423.83	562.68	17183.42	0.00	0.00

Range Of Days:	11 Through 29	30 Through 59	60 Through 89	90 Plus	Total
Number Of Accounts	0.00	1.00	0.00	0.00	1.00
Late Charge Due	0.00	25.00	0.00	0.00	25.00
NSF Charge Due	0.00	0.00	0.00	0.00	0.00
Interest Due	0.00	113.85	0.00	0.00	113.85
Principal Due	0.00	423.83	0.00	0.00	423.83
Total Amount Due	0.00	562.68	0.00	0.00	562.68
Balances Due	0.00	17183.42	0.00	0.00	17183.42
Suspense/Partial Balance Impound Balances	0.00	0.00	0.00	0.00	0.00
Percent Delinquent (\$)	0.0000	0.7546	0.0000	0.0000	0.7546
Percent Delinquent (#)	0.0000	0.6250	0.0000	0.0000	0.6250
Number Of Active Loans	160	Total Active Loan Balance	2277297.88		

Section 4 Item b.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 722-0786



**Kevin Kuchenbecker**  
Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## **MEMORANDUM**

---

**Date:** April 4, 2025  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
Bonny Anfinson, Program Coordinator  
**Re:** Accept 15 Madison and 15 Forest into Retaining Wall Program

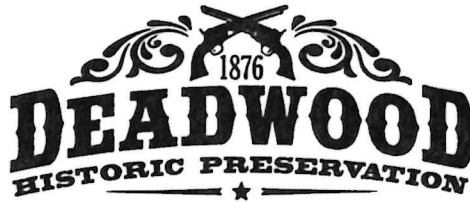
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The Historic Preservation Commission has received two applications for the Retaining Wall Program.

- Billy Fritze - 15 Madison – Staff conducted an on-site review of the retaining wall and determined the project meets the criteria and recommends accepting the wall at 15 Madison into the Retaining Wall Program for the lower section of the wall along the street.
- Adrian Newkirk – 15 Forest - Staff conducted an on-site review of the retaining wall and determined the project meets the criteria and recommends accepting the wall at 15 Forest into the Retaining Wall Program for the wall along the front of the house in the middle of the yard.

Recommended Motion:

Move to accept 15 Madison (Billy Fritze) and 15 Forest (Adrian Newkirk) into the retaining wall program.



**For Office Use Only:**

Owner Occupied  
 Application Fee Received if owner occupied  
 Non-owner Occupied  
 Assessed Value of Property \_\_\_\_\_  
 Verified Lawrence County Dept. of Equalization

Date: \_\_\_/\_\_\_/\_\_\_      Initials: \_\_\_\_\_

# Application for Historic Preservation Programs Residential Properties

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.  
Application fee may apply to this submittal.

1. Address of Property:

15 MADISON ST.  
Please attach the legal description of the property.

2. Applicant's name & mailing address:

\_\_\_\_\_  
\_\_\_\_\_  
DEADWOOD, S.D. 57232

Telephone: 605-221-1141

E-mail: \_\_\_\_\_

3. Owner of property-(if different from applicant):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

E-mail \_\_\_\_\_

4. Historic Preservation Programs – Please check all that apply

- Foundation Program
- Siding Program
- Wood Windows and Doors Program
- Elderly Resident Program  
What year were you born: \_\_\_\_\_
- Vacant Home Program (must be vacant for 2 years and apply within first three months of new ownership)
- Revolving Loan Program
- Retaining Wall Program

5. Contractor

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

E-mail: \_\_\_\_\_

All Contractors and Sub-Contractors are required to be licensed in the City of Deadwood.

When the application and Project Approval are approved it is advisable the owner and contractor enter into a contract and provide a copy to the Historic Preservation Office.

Project completion date is one year from owner's date of signature, grant agreement and/or loan documents.

6. As per Historic Preservation guidelines, any work being performed on the exterior of a structure must go before the Historic Preservation Commission for approval. Programs may be amended to reflect the availability of funding and/or the completion of high priority projects. Along with this application please complete and submit a City of Deadwood Application for Project Approval/Certificate of Appropriateness and attach to this document. All documentation must arrive by 5:00 p.m. on the 1<sup>st</sup> and 3<sup>rd</sup> Wednesdays of every month to be considered at the next Historic Preservation Commission Meeting.

7. The scope of work is a brief description of the planned project being done to the structure as well as the materials proposed to be used. Please fill out the form listed below describing your plans. Additional Information may be attached including any quotes from contractors.

Residential Scope of Work		
Program	Estimated Cost	Description of Work
Foundation		
Siding		
Wood Windows & Doors.		
Elderly Resident	\$10,000	sanding, primer + paint
Vacant Home		
Revolving Loan		
Retaining Wall		THE STUCCO COVERING RETAINING WALL IS FALLING OFF, BEEN HIT BY SNOW PLOWS, ETC, OLD

8. Wood Windows and Doors Program worksheet. To help determine the amount to be allocated please fill out the worksheet below to determine how many windows and doors there are on each side of the structure and clarify if the initial intent is to repair or replace the windows.

Grant total will not exceed \$20,000	Repair/Replace Existing Window(s) \$800 each	Repair/Replace Wood Storm/Screen Window(s) \$350 each	Repair/Replace Existing Primary Door \$600	Repair/Replace additional Wood Door(s) Up to \$300 each	Repair/Replace Wood Storm Door(s) \$600 each
Front View					
Right Side View					
Left Side View					
Rear View					
Total Windows/Doors					
Office Use Only					
<b>TOTAL FUNDS ALLOWED</b>					

9. Application Submittal

- a. All Applications must include a copy of quotes for materials and/or contractor quote with the Application for Historic Preservation Program Residential Properties and the Project Approval/Certificate of Appropriateness. The application will not be reviewed until all documents are received.
- b. Programs may be amended to reflect the availability of funding and the completion of high priority projects.
- c. For owner occupied properties (primary residence) an application fee of \$199.00 will be required upon submittal. If applying for the Elderly Resident Grant only the application fee is \$99.00. Payment will be made out to the City of Deadwood. This fee is non-refundable.
- d. Project completion date is one year from owner's date of signature on the grant agreement and/or loan documents.

10. Required Supporting Documents

- Application for Project Approval/Certificate of Appropriateness
- Contractor and/or material specifications and/or quotes
- Legal description of property
- Contract between owner and contractor (if applicable)

11.. Acknowledgement

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan is true and complete to the best of my knowledge and belief. I acknowledge I have read and understand the policy guidelines for the loan or grant programs included with and for this application and agree to a conservation easement and all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely providing funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant or loan. By signing this document it affirms I have read, understand and agree to this acknowledgement and will complete the conservation easement documentation and recordation upon completion of the project.

Applicant's signature: [Handwritten Signature]

Date submitted: 02/28/2025

Owner's signature: \_\_\_\_\_

Date submitted: \_\_\_/\_\_\_/\_\_\_



For Office Use Only:

- Owner Occupied
- Application Fee Received if owner occupied
- Non-owner Occupied
- Assessed Value of Property \_\_\_\_\_
- Verified Lawrence County Dept. of Equalization

Date: \_\_\_/\_\_\_/\_\_\_ Initials: \_\_\_\_\_

## Application for Historic Preservation Programs Residential Properties

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.  
Application fee may apply to this submittal.

1. Address of Property: 15 FOREST AVE, DEADWOOD, S.D. 57732

Please attach the legal description of the property.

2. Applicant's name & mailing address:

DEADWOOD, S.D. 57732

Telephone: \_\_\_\_\_

E-mail \_\_\_\_\_

3. Owner of property (if different from applicant):

Ø

Telephone: (\_\_\_\_) \_\_\_\_\_

E-mail \_\_\_\_\_

4. Historic Preservation Programs – Please check all that apply

- Foundation Program
- Siding Program
- Wood Windows and Doors Program
- Elderly Resident Program  
What year were you born: 1951
- Vacant Home Program (must be vacant for 2 years and apply within first three months of new ownership)
- Revolving Loan Program
- Retaining Wall Program

5. Contractor

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_

E-mail: \_\_\_\_\_

All Contractors and Sub-Contractors are required to be licensed in the City of Deadwood.

When the application and Project Approval are approved it is advisable the owner and contractor enter into a contract and provide a copy to the Historic Preservation Office.

Project completion date is one year from owner's date of signature, grant agreement and/or loan documents.

6. As per Historic Preservation guidelines, any work being performed on the exterior of a structure must go before the Historic Preservation Commission for approval. Programs may be amended to reflect the availability of funding and/or the completion of high priority projects. Along with this application please complete and submit a City of Deadwood Application for Project Approval/Certificate of Appropriateness and attach to this document. All documentation must arrive by 5:00 p.m. on the 1<sup>st</sup> and 3<sup>rd</sup> Wednesdays of every month to be considered at the next Historic Preservation Commission Meeting.

7. The scope of work is a brief description of the planned project being done to the structure as well as the materials proposed to be used. Please fill out the form listed below describing your plans. Additional Information may be attached including any quotes from contractors.

Residential Scope of Work		
Program	Estimated Cost	Description of Work
Foundation		
Siding		
Wood Windows & Doors.		
Elderly Resident		
Vacant Home		
Revolving Loan		
Retaining Wall		

8. Wood Windows and Doors Program worksheet. To help determine the amount to be allocated please fill out the worksheet below to determine how many windows and doors there are on each side of the structure and clarify if the initial intent is to repair or replace the windows.

Grant total will not exceed \$20,000	Repair/Replace Existing Window(s) \$800 each	Repair/Replace Wood Storm/Screen Window(s) \$350 each	Repair/Replace Existing Primary Door \$600	Repair/Replace additional Wood Door(s) Up to \$300 each	Repair/Replace Wood Storm Door(s) \$600 each
Front View					
Right Side View					
Left Side View					
Rear View					
Total Windows/Doors					
Office Use Only					
<b>TOTAL FUNDS ALLOWED</b>					



9. Application Submittal

- a. All Applications must include a copy of quotes for materials and/or contractor quote with the Application for Historic Preservation Program Residential Properties and the Project Approval/Certificate of Appropriateness. The application will not be reviewed until all documents are received.
- b. Programs may be amended to reflect the availability of funding and the completion of high priority projects.
- c. For owner occupied properties (primary residence) an application fee of \$199.00 will be required upon submittal. If applying for the Elderly Resident Grant only the application fee is \$99.00. Payment will be made out to the City of Deadwood. This fee is non-refundable.
- d. Project completion date is one year from owner's date of signature on the grant agreement and/or loan documents.

10. Required Supporting Documents

- Application for Project Approval/Certificate of Appropriateness
- Contractor and/or material specifications and/or quotes
- Legal description of property
- Contract between owner and contractor (if applicable)


11.. Acknowledgement

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan is true and complete to the best of my knowledge and belief. I acknowledge I have read and understand the policy guidelines for the loan or grant programs included with and for this application and agree to a conservation easement and all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely providing funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant or loan. By signing this document it affirms I have read, understand and agree to this acknowledgement and will complete the conservation easement documentation and recordation upon completion of the project.

Applicant's signature: 

Date submitted: 3/3/25

Owner's signature: 

Date submitted: 3/3/25

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 722-0786



**Kevin Kuchenbecker**  
Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## ***MEMORANDUM***

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**Date:** April 4, 2025  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** 2025 Scholarship Program Recipient Approval

---

The Projects Committee met on April 1, 2025, and reviewed eight applications by Lead-Deadwood High School seniors for the Historic Preservation Commission's 2025 Scholarship Program.

After serious review and consideration, the committee selected two recipients for the \$1,000 college scholarship, Connor Harrison and Jonas Runge. The committee selected two recipients for the \$500 vocational scholarship, Jerzie Artz and Cruz Mollman.

The Projects Committee recommends approval of the four students for the 2025 Scholarship Program.

**Recommended Motion:** *Approve the applications from Connor Harrison and Jonas Runge for a \$1,000 scholarship each and Jerzie Artz and Cruz Mollman for a \$500 scholarship each for the 2025 Scholarship Program as budgeted in this fiscal year.*

## Deadwood Historic Preservation Commission HPC Resolution No. 2025-01

### Adopting a Standard Naming Convention for the Deadwood Pioneer Wong Fee Lee (黃輝利)

**WHEREAS**, the Deadwood Historic Preservation Commission is committed to accurately preserving and interpreting the history of the City of Deadwood and all of its diverse communities and pioneers; and

**WHEREAS**, Wong Fee Lee (黃輝利), a prominent Chinese American pioneer, entrepreneur, and community leader, made significant contributions to the civic, cultural, and economic life of Deadwood from 1876 to 1919, and is recognized as an integral figure in the city’s multicultural heritage; and

**WHEREAS**, the historical record includes varying renditions of his name, including “Fee Lee Wong,” “Wong Fay Lee,” “Wing Tsue,” and others, due to inconsistent transliterations and Anglicization practices of the time; and

**WHEREAS**, to promote clarity, respect cultural naming conventions, and ensure consistency in scholarly and public discourse, it is appropriate to adopt a standard format in alignment with traditional Chinese naming order, in which the **surname precedes the given name**, and the original Chinese characters are included upon first reference;

**NOW, THEREFORE, BE IT RESOLVED**, by the **Deadwood Historic Preservation Commission**, as follows:

1. The standard and official rendition for the historic figure shall be:
  - **Wong Fee Lee (黃輝利)** at first mention in all future Commission-sanctioned **publications, exhibits, educational materials, interpretive signage, and research papers**;
  - **Wong Fee Lee** in subsequent references within the same text.
2. The Anglicized form “**Fee Lee Wong**” shall be reserved exclusively for the **citation of original historical records, publications, or archival materials** where that version appears in the source.
3. All future documentation and interpretation efforts involving the life, legacy, and contributions of Wong Fee Lee shall follow this naming convention to promote historical accuracy and cultural respect.

4. This resolution shall be communicated to all relevant departments, partners, researchers, and contributors working on projects under the auspices of the Deadwood Historic Preservation Commission.

**Adopted this 9th day of April, 2025.**

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**Leo Diede, Chairperson**

Deadwood Historic Preservation  
Commission

**Attest:**

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Kevin Kuchenbecker  
Historic Preservation Officer

## Deadwood, South Dakota, to Host Grand Celebration of Chinese Immigrant History

To commemorate the outstanding contributions of early Chinese immigrants to the development of the American West, the City of Deadwood in South Dakota will host a major celebration in the famous Black Hills region. This event will not only reflect on the struggles and achievements of Chinese pioneers but also deepen public understanding of Chinese immigration history and the broader story of westward expansion in the United States.

Unlike many Chinese immigrants in other parts of the country—often derogatorily called “coolies” and subjected to harsh discrimination as laborers or servants—the Chinese community in Deadwood, South Dakota, like other historically marginalized groups such as Jewish and African American settlers, earned respect and inclusion, and actively contributed to the development of the local community.

One of the most outstanding figures among them was **Wong Fee Lee (黃輝利, 1841–1921)**. According to family oral history, Wong was born in the village of Bak Saar, present-day Guangdong Province, China. He immigrated to the United States in 1863 and arrived in Deadwood Gulch in December 1876 in search of opportunity. Unlike most Chinese immigrants whose ultimate goal was to earn money and return to their homeland, Wong chose to call Deadwood home. He built a family, founded businesses, actively integrated into American society, and shared Chinese culture with his neighbors. Known for his honesty in business, kindness, and generosity, Wong purchased large amounts of Liberty Bonds and regularly donated to public causes, earning the deep respect of the residents of Deadwood.

Wong Fee Lee ran enterprises in mining, commerce, and other sectors. In 1885 and 1896, he constructed two sturdy brick buildings known as the **Wing Tsue Bazaar**, which for many years served as the center of Deadwood’s Chinatown. He was also actively involved in community affairs—donating to Independence Day celebrations, organizing Chinese participation in local firefighter competitions (with his sponsored Chinese firefighting hose team winning championships for several years, and The Chinese Hose Team of America, who won championship of the great Hub and Hub race at Deadwood, Dakota territory, July 4th, 1888), inviting townspeople to join in Chinese New Year and Ghost Festival celebrations, and purchasing cemetery plots for the burial of Chinese residents.

In 1902, Wong was denied re-entry into the United States due to the **Chinese Exclusion Act**, but with the help of influential South Dakotans and federal officials, he successfully returned to Deadwood. In 1919, he suffered a stroke during a meeting of the **Society of Black Hills Pioneers**, later returning to China, where he passed away in 1921.

To honor Wong Fee Lee and other Chinese pioneers, the City of Deadwood has commissioned a **life-sized bronze statue** in his likeness, with a grand unveiling ceremony scheduled for **3:00 p.m. on June 26, 2025**, at **566 Main Street** in Deadwood's historic Chinatown. The unveiling is part of the **Fourth Wong Family Reunion**, which will take place from **June 24 to June 26**. **Bart Hamm**, owner of **Mr. Wu's Casino**, and **Brin**, the casino manager, will host a festive celebration featuring a whole roasted pig, traditional Chinese cuisine, drinks, and a lion dance performance by a troupe from Las Vegas. The festivities will continue on **June 27 and 28**, with additional live music performances.

South Dakota, located in the American Midwest, is world-renowned for its stunning natural landscapes and deep historical roots. Especially in the **Black Hills**, where the celebration takes place, visitors can explore the iconic **Mount Rushmore National Memorial**, featuring the colossal carved faces of four American presidents, including George Washington and Abraham Lincoln. Also in the region are **Wind Cave National Park** and **Custer State Park**, known for their extraordinary beauty. These attractions draw millions of visitors from around the world each year.

South Dakota and the City of Deadwood warmly invite members of the public—especially scholars, tourists, entrepreneurs, and descendants of the Wong family who are interested in Chinese American immigration history, the development of the American West, and U.S. cultural, social, and economic history—to join this historic event in Deadwood this June. It is a unique opportunity to experience firsthand the heritage of this historic town and the splendor of the American West.

We warmly welcome you to Deadwood, South Dakota—come witness history and honor the footsteps of our forebears!

## 南达科他州焦林（Deadwood）市隆重举办华人移民历史庆祝活动

为纪念早期华人移民对美国西部开发做出的卓越贡献，南达科他州焦林市将在著名的黑山（Black Hills）地区举行盛大的庆祝活动。这一活动不仅将回顾华人先驱的奋斗历程，也将提升人们对于华人移民历史与美国西部拓荒历史的了解。

与其他地区早期被蔑称为“猪仔”的华人移民往往作为劳工或佣人遭受严重歧视不同，南达科他州焦林市的华人移民在当地与包括犹太人、非裔在内的其他曾遭受歧视的族裔一样，均受到社区的尊重与接纳，并得以积极参与社区建设。

Wong Fee Lee（黄辉利，1841-1921）便是其中的杰出代表。根据家族口述历史，黄辉利出生于中国广东省的白沙村。他于1863年移民美国，并于1876年12月抵达焦林山谷（Deadwood Gulch），寻求发展机遇。不同于多数华人移民，最终目的是挣钱后，返回故土，黄辉利则他执着地选择扎根此地，组建家庭，创办企业，积极融入美国当地社会，与邻里们分享中华文化。他诚信经营、待人友善，热心公益，慷慨好施，购买了大量的自由债券，积极捐助当地公益事业，因而深得焦林市当地广大居民的敬重。

黄辉利经营矿业、商贸及多个企业，于1885年和1896年分别建成两栋名为永聚商场（Wing Tsue Bazaar）的坚固砖结构建筑，长期作为当地唐人街的社区中心。他还积极参与当地社区事务，如捐助独立日庆典，组织华人参与当地消防比赛，华人消防队在他赞助下连续数年蝉联冠军。邀请焦林市居民参加华人春节和中元节活动，并在墓园购买墓地安葬当地华人。

1902年，他曾因《排华法案》被拒绝返回美国，在南达科他州著名人士和美国政府要员帮助下成功重返焦林市。他于1919年在一次先驱者协会会议中风，后返回中国，于1921年去世。

为缅怀黄辉利及其他华人先驱，焦林市特别竖立了一尊黄辉利的等身青铜塑像，并计划于2025年6月26日下午3点在历史悠久的焦林市唐人街566号梅恩街举行隆重的揭幕仪式。这次仪式也是第四届黄氏家族团聚活动的一部分，家族活动将从6月24日持续到6月26日。焦林市的吴氏赌场（Mr. Wu's Casino）的老板Bart Hamm和经理Brin将操持举办盛大的庆祝活动，包括烤全猪、中餐佳肴、饮料及来自拉斯维加斯的中华狮舞表演。庆祝活动将延续至6月27日和28日，期间还将提供现场音乐表演。

南达科他州位于美国中西部，以壮丽的自然风光和深厚的历史蕴涵而闻名世界。特别是在本次盛会举行的Black Hills地区，拥有举世闻名的拉什莫尔山国家纪念公园（Mountain Rushmore），在高耸的山崖之上镌刻着华盛顿、林肯等四位最著名的美国总统巨型头像。大风洞国家公园和猎地国家公园，更是景色壮观，举世无双。这里每年吸引着来自全球的数百万游客。

此次庆祝活动特别得到了南达科他州州长拉里·罗登（Larry Rhoden）的支持。州历史遗产保护官关学君（Garry Guan，类似于中国的“省文物局长”）将代表罗登州长出席活动，并颁布罗登州长，将2005年6月26日定为南达科他州的《焦林市黄辉利及黄氏家族纪念日》（Deadwood City's Wong Fee Lee & the Huang Family Day），表达州政府对华人移民贡献的高度重视。

我们南达科他州暨焦林市诚挚邀请您和所有对华人移民史和美国西部开发史以及美国文化、社会、经济、贸易感兴趣的朋友们、学者们、企业家们，特别是黄氏大家族的成员们，6月下旬莅临美国焦林市，共襄盛举，亲身体会这座历史名城和美西壮丽风光。相信你们此行不仅可以深入了解华裔美国人一页珍贵的历史，享受美妙的人文与自然，也将促进美中西部华裔美国人的发展。

热忱欢迎您来到南达科他州焦林镇，共同见证历史，追忆先贤足迹！



Date: March 17, 2025

Case No. 250033  
Address: 874 Main St.

### Staff Report

The applicant has submitted an application for Project Approval for work at 874 Main St., a contributing structure located in the Upper Main Planning Unit in the City of Deadwood.

Applicant: Dale & Susan Berg  
Owner: BERG, DALE N TRUSTEE / BERG, SUSAN R TRUSTEE  
Constructed: c 1935

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to take top deck off, reset all posts that do not meet code, change out, redo deck, railing and gates. Total cost \$20,000 to \$30,000. Will do whatever is not up to City code. Can not do site plan until early spring.

**Attachments: Yes**

**Plans: Yes**

**Photos: Yes**

**Staff Opinion:** This deck now removed was constructed without a building permit or Historic Preservation approval. The Commission reviewed a request at their October 23, 2024 meeting and it was denied and given 180 days to remove pool, deck and structure. Applicant does have the ability to resubmit revised plans prior to removal. Staff recommended the applicant consider two separate plans for the proposed deck and the proposed building/carport.

This application is for the reconstruction of the deck. Original submittal of plan indicated the deck around the pool was attached to the proposed upper building that had also been ordered to be removed. Staff recommended the deck not to be connected to the building due to the unknown actions of the commission regarding the proposed building and should be treated separately.

Unfortunately, work was completed which removed the opportunity for archaeological investigations and consideration by the commission for adverse effects to the landscape and associated contributing structure. Since the previous work has already been performed the landscape has been altered and in staff's opinion the work does encroach upon the contributing resource; however, may not be adverse to the district.

**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

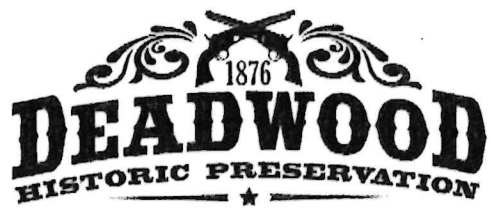
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



**FOR OFFICE USE ONLY**  
Case No. 251023  
 Project Approval  
 Certificate of Appropriateness  
Date Received 3/7/25  
Date of Hearing 3/20/25

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:  
City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

**PROPERTY INFORMATION**  
Property Address: 874 main street Deadwood, SD, 57732  
Historic Name of Property (if known):

**APPLICANT INFORMATION**  
Applicant is:  owner  contractor  architect  consultant  other

Owner's Name \_\_\_\_\_  
Address: \_\_\_\_\_  
City: Deadwood State: SD Zip: 57732  
Telephone: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Architect's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Contractor's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: ingle State: wy Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**TYPE OF IMPROVEMENT**

<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other <u>Deck around</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: _____		Project Completion Date (anticipated): _____		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS	
<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement		<input type="checkbox"/> New
<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____				
<input checked="" type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New	
Pool	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: .Please provide detailed plans/drawings				
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> OTHER – Describe in detail below or use attachments				

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Take Top Deck off Reset all Post That Do not meet code change out Rero Deck, Railing & Gates  
 Total cost 20,000 to \$30,000.00  
 will do what ever is not up to city code  
 Can not do sight Plan until early Spring

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a **PUBLIC HEARING** by the **DEADWOOD HISTORIC PRESERVATION COMMISSION**.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

\_\_\_\_\_  
SIGNATURE OF OWNER(S)      *J*      DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF OWNER(S)      DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF OWNER(S)      DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE \_\_\_\_\_

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.











Photo - Google Photos



0/24, 3:12 PM







# SALES PROPOSAL

Friday  
Aug 11, 2017

## Splash City

1024 W. Omaha St.  
Rapid City, SD 57701  
splashcityinc.com

**POOLS - SPAS - POOL TABLES**

(605) 342-4232 • Fax (605) 342-3460

### Your Water & Entertainment Specialists

*Family Owned For Over 35 Years!*

*Spas • Pools • Billiards • Patio Furniture • Chemicals*

Customer Address

Phone #

Date

Dale & Susan - Berg
874 Main St
Died pool 732-0011

(605) 342-1255

Aug 4, 2017
-------------

Special orders require  
50% down

Quantity

# SALES PROPOSAL

Friday  
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1024 W. Omaha St.  
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Aug 4, 2017
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Special orders require  
50% down

## Construction Report: Above-Ground Pool with Retaining Wall

### Project Overview:

The project involved the construction of an above-ground pool and a retaining wall to address the unique topographical challenges of the property. The retaining wall was designed to stabilize the slope, prevent potential mudslides, and enhance the safety and longevity of the pool area. The project was completed behind the house at 874 Main St., Deadwood, SD.

### Key Construction Details:

#### 1. Site Preparation:

- Excavation was carried out around the pool area to ensure a stable base for both the pool and the retaining wall.
- The site was cleared of vegetation and debris to provide a clean working surface.
- Approximately 200 tons of road base were used to prepare the pad and under the retaining wall footer, ensuring a stable foundation.

#### 2. Compaction Methods:

- A jumping jack compactor was used to compact the road base in layers over the 4-foot depth to achieve optimal compaction for the retaining wall foundation.
- For the pool pad, the same compaction method was followed, with materials compacted in layers using a loaded 10,000-pound skid steer and a full-ton bucket for wheel compaction.
- Clay was removed down to bedrock, and recompacted materials were used to ensure full compaction.
- These methods ensured a stable foundation, with no noticeable sinkage occurring in over five years.

#### 3. Retaining Wall Construction:

- A standard 2-foot-wide footer was poured to provide a solid foundation for the retaining wall.
- The retaining wall was poured in an L-shape around the pool, measuring approximately 15 feet by 20 feet.
- The wall height is 4 feet throughout, built on a level footer to ensure uniform stability.
- The wall was constructed using reinforced concrete to ensure structural integrity.
- Backfill materials included road base and gravel to enhance drainage and stability.

#### 4. Dual Functionality of the Retaining Wall:

- The retaining wall was designed not only to retain soil but also to mitigate the risk of mudslides on the property.

- o Proper compaction techniques were employed, and a professional grading expert was involved in the process to ensure long-term reliability.

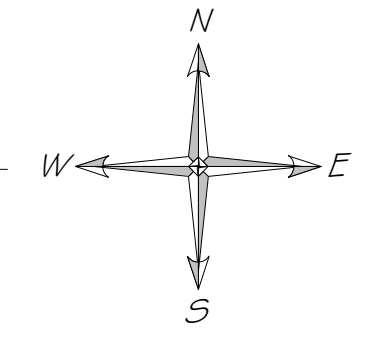
### **Conclusion:**

The construction of the above-ground pool and the retaining wall was completed successfully. The retaining wall not only ensures the stability of the pool but also addresses the risk of mudslides, making the area safer and more functional. The use of professional compaction methods and expert grading ensured the foundations' integrity, with no sinkage observed after five years. Additionally, the professionally installed pool and the addition of a deck have significantly increased the property's value and usability. This project demonstrates effective use of structural engineering to adapt to challenging terrain while enhancing the property's overall appeal.

# BERG DECK



Property Layout Plan  
1" = 20'-0"



Sheet Index	
Sheet Number	Sheet Name
1.10	Property Layout Plan
1.20	3D Views
3.00	Existing Shed
3.10	Deck Plans
5.10	Exterior Elevations

**DIVERSIFIED DRAFTING**  
 1720 Country School Place  
 Spearfish, South Dakota 57783  
 Phone: (605) 559-0275  
 div.draft@gmail.com

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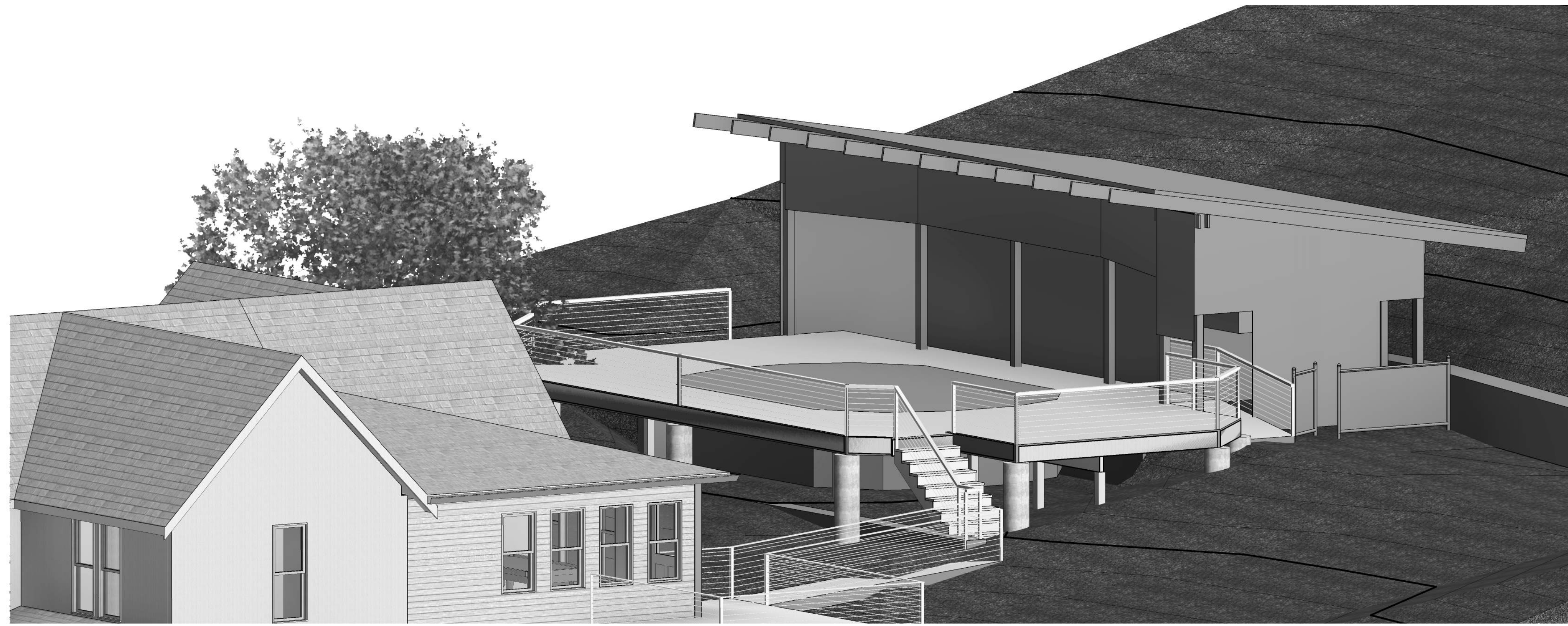
Project Name: **Dale Berg**  
**New Deck**  
 874 Main Street  
 Deadwood, South Dakota

Project Number: 04-25  
 Date: 3.06.2025  
 Revised: 3.20.2025  
 Drawn by: CA

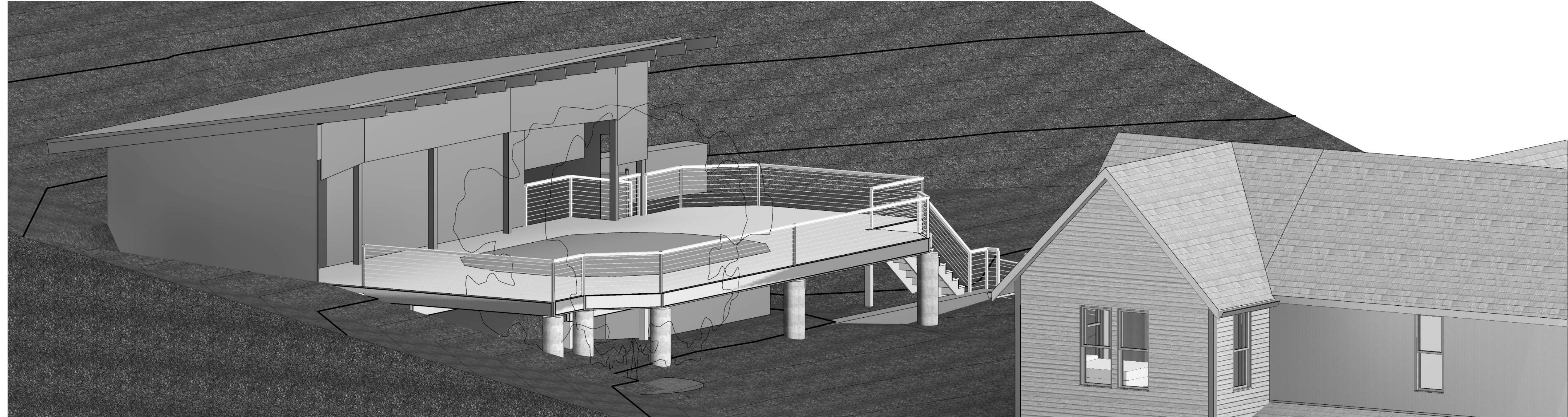
Sheet Title  
 Property Layout Plan

Sheet Number  
**1.10**





3D Front



3D Back

DIVERSIFIED DRAFTING

1720 Country School Place

Spearfish, South Dakota 57783

Phone: (605) 559-0275

div.draft@gmail.com

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Project Name: Dale Berg

New Deck

874 Main Street

Deadwood, South Dakota

Project Number: 04-25  
Date: 3.06.2025  
Revised: 3.20.2025  
Drawn by: CA

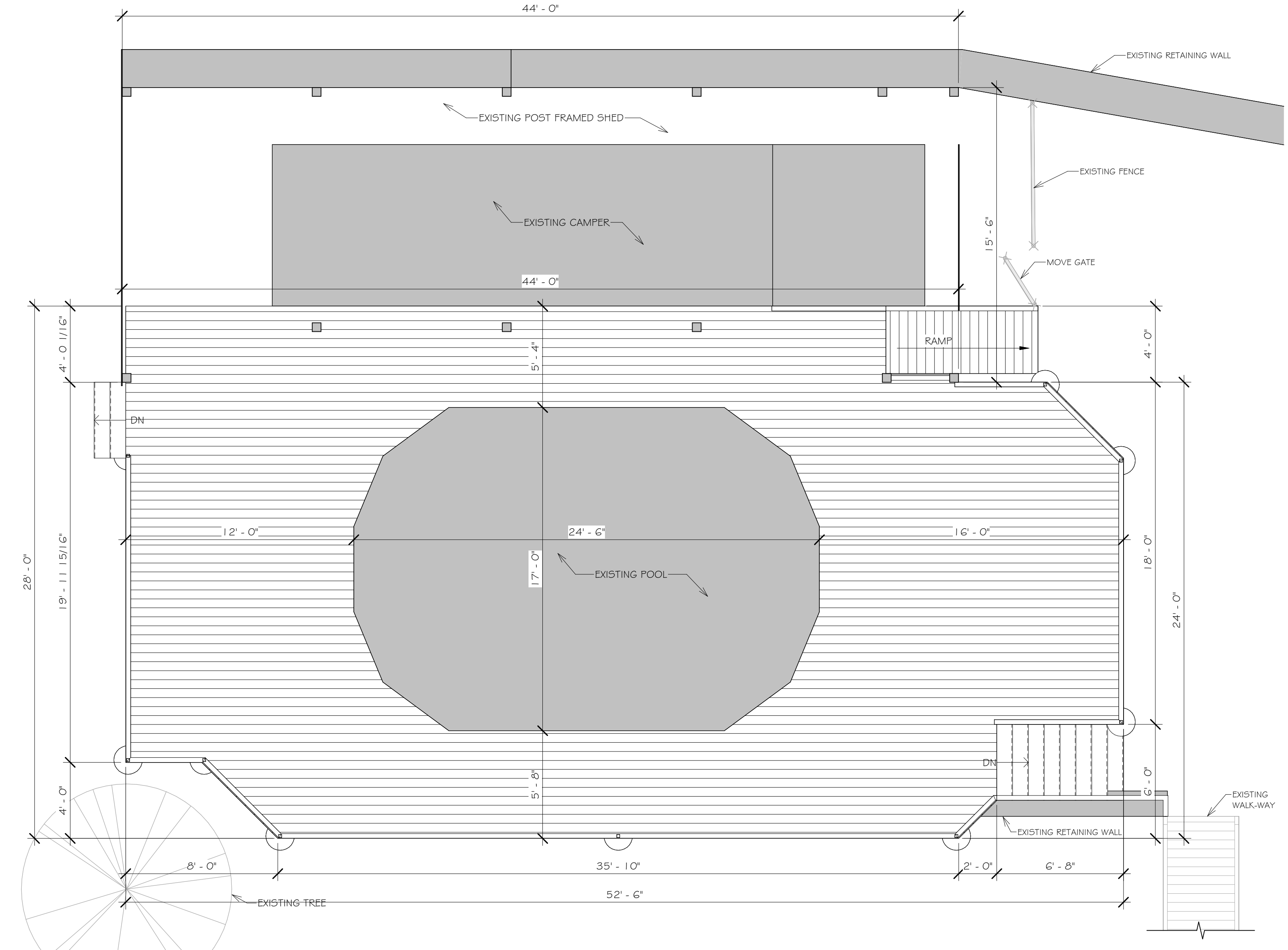
Sheet Title

3D Views

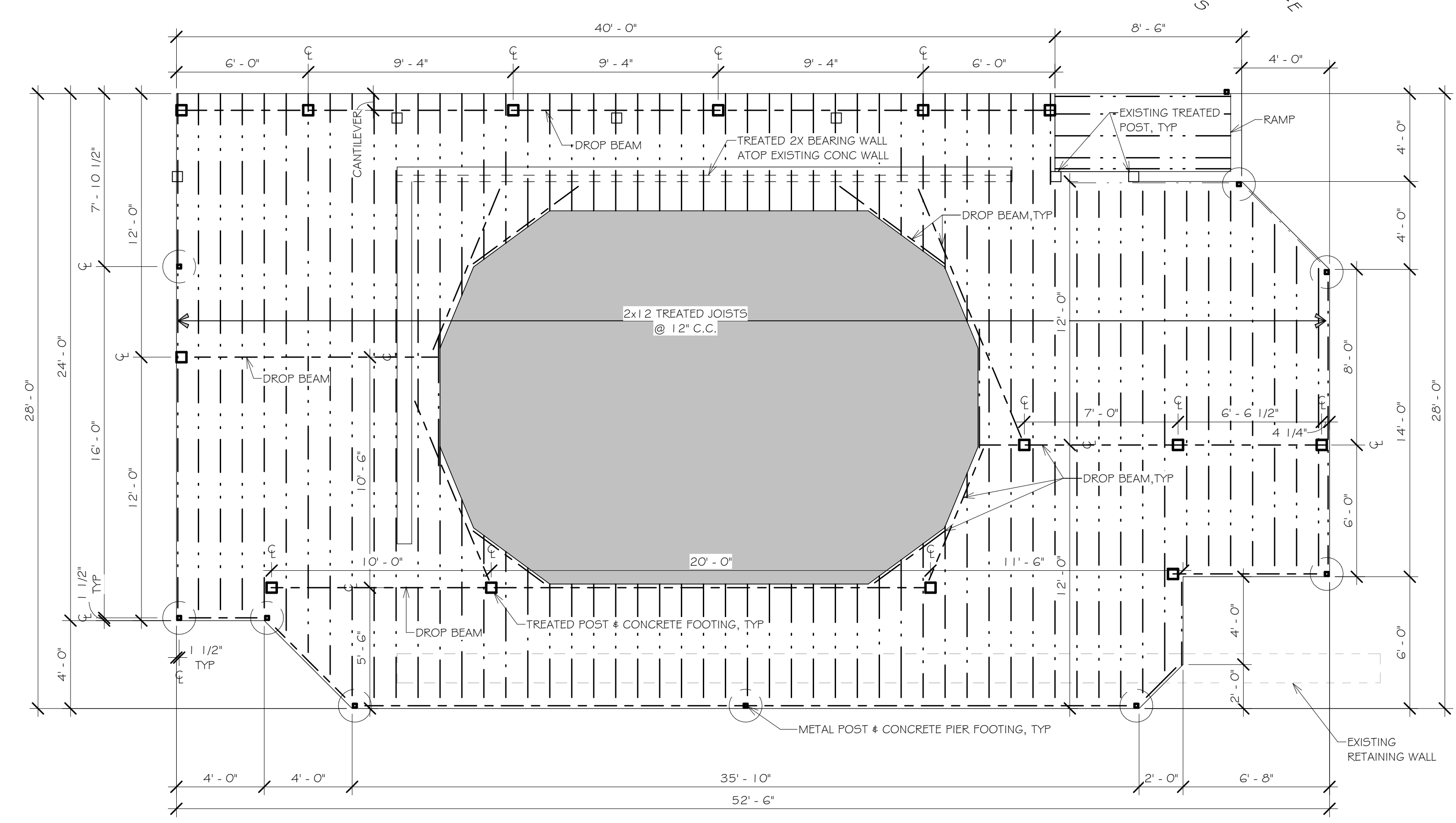
Sheet Number

1.20





Deck Floor Plan  
1/4" = 1'-0"



Deck Framing Plan  
1/4" = 1'-0"

GENERAL NOTES:

- ALL CONSTRUCTION TO MEET 2021 IRC.
- ALL PLUMBING TO MEET UNIFORM PLUMBING CODE.
- ALL ELECTRICAL TO MEET NATIONAL ELECTRICAL CODE.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE OR STUD.
- ALL EXTERIOR WALLS TO BE 2x6'S @ 16" C.C. - ALL INTERIOR WALLS TO BE 2x4'S @ 16" C.C., UNLESS NOTED / DIMENSIONED OTHERWISE.
- ALL DIMENSIONAL LUMBER IN CONTACT WITH CONCRETE TO BE TREATED MATERIAL.

**DIVERSIFIED DRAFTING**  
 1720 Country School Place  
 Spearfish, South Dakota 57783  
 Phone: (605) 559-0275  
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Project Name: **Dale Berg  
New Deck**  
 874 Main Street  
 Deadwood, South Dakota

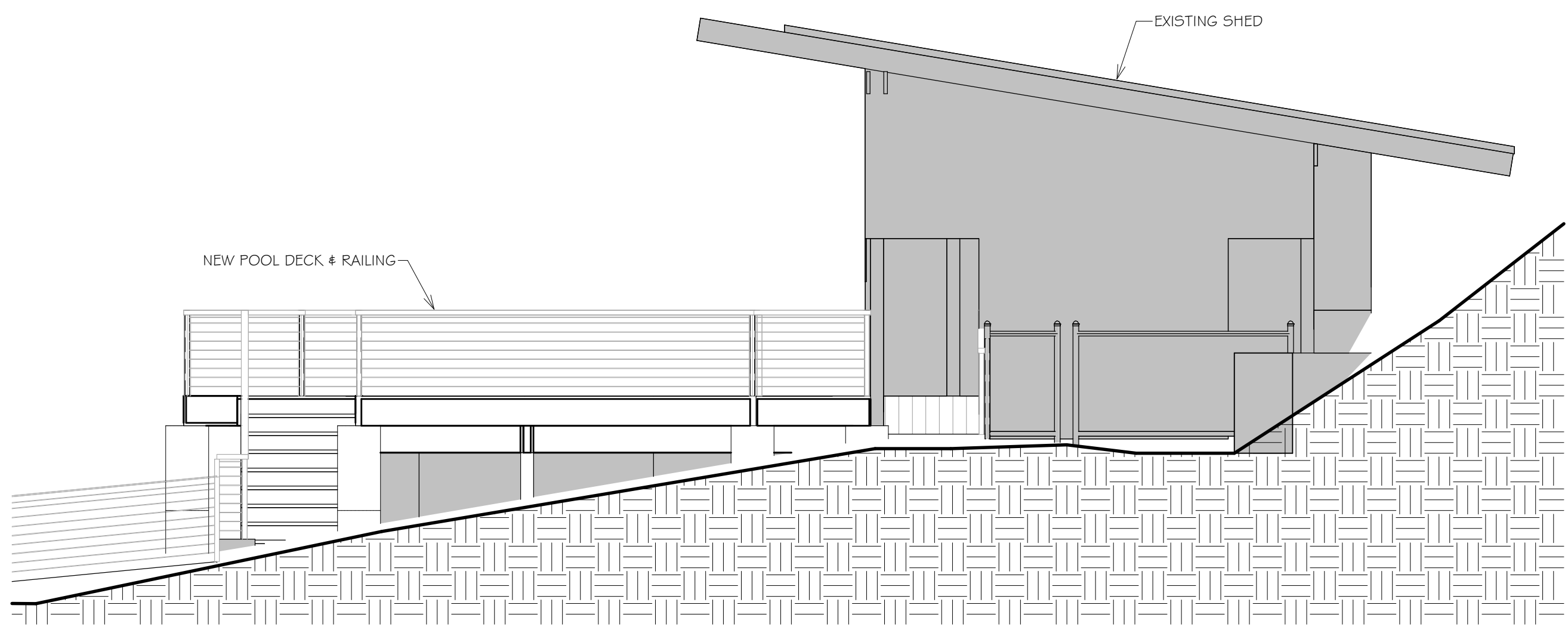
Project Number: 04-25  
 Date: 3.06.2025  
 Revised: 3.20.2025  
 Drawn by: CA

Sheet Title

Deck Plans

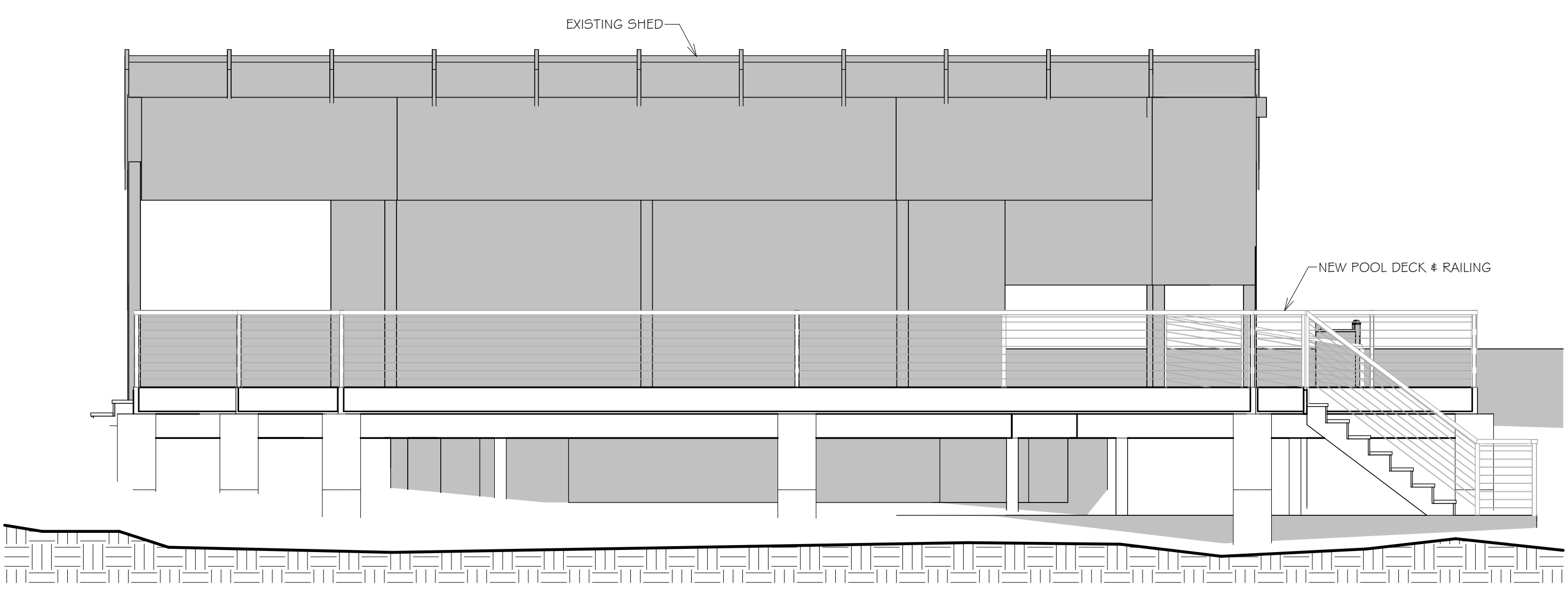
Sheet Number

3.10



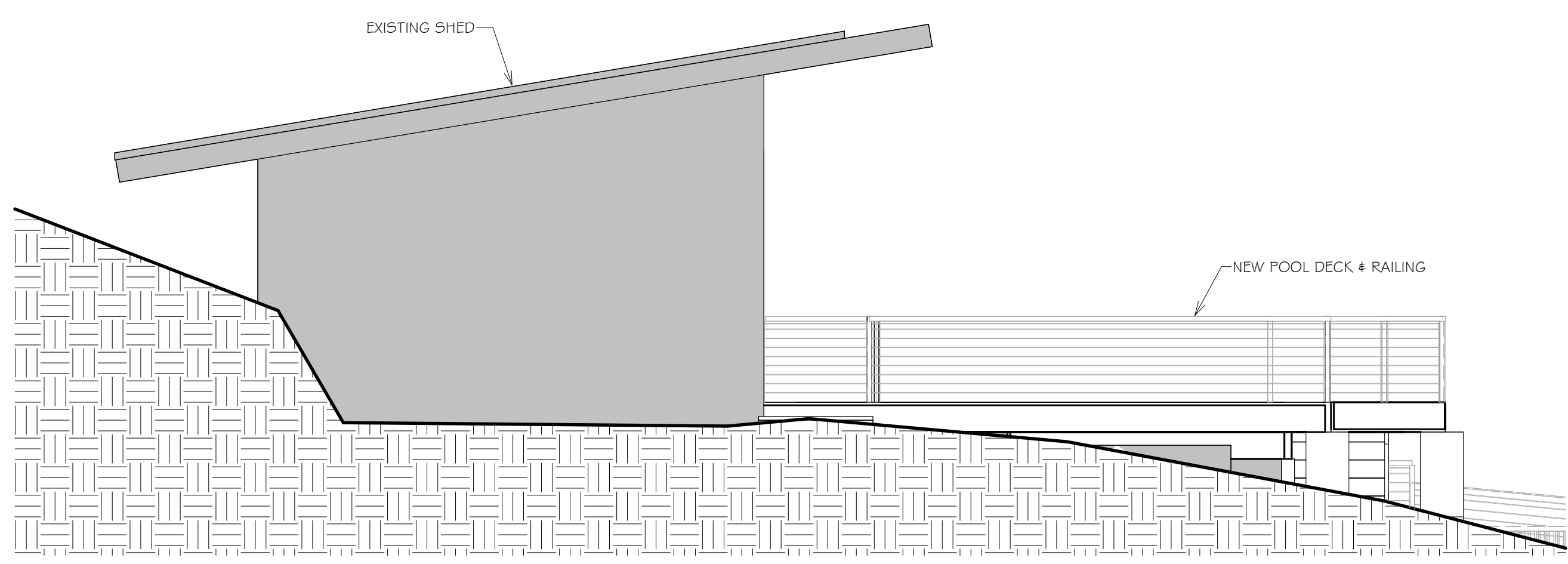
East Elevation

1/4" = 1'-0"



South Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"

**DIVERSIFIED DRAFTING**  
 1720 Country School Place  
 Spearfish, South Dakota 57783  
 Phone: (605) 559-0275  
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Project Name: **Dale Berg**  
**New Deck**  
 874 Main Street  
 Deadwood, South Dakota

Project Number: 04-25  
 Date: 3.06.2025  
 Revised: 3.20.2025  
 Drawn by: CA

Sheet Title

Exterior Elevations

Sheet Number

5.10



Date: March 17, 2025

Case No. 250044  
Address: 874 Main St.

### Staff Report

The applicant has submitted an application for Project Approval for work at 874 Main St., a contributing structure located in the Upper Main Planning Unit in the City of Deadwood.

Applicant: Dale & Susan Berg  
Owner: BERG, DALE N TRUSTEE / BERG, SUSAN R TRUSTEE  
Constructed: c 1935

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

##### 2. Architectural design of the resource and proposed alterations:

*Note: A set of engineering plans were submitted with no scope of work described in the application.*

**Attachments: Yes**

**Plans: Yes**

**Photos: Yes**

#### Staff Opinion:

The Historic Preservation Commission denied the construction of this structure at their October 23, 2024 meeting. On November 13, 2024, the Historic Preservation Commission determined the structure was built without approval and must be removed. The applicant was given 180 days following the receipt of the notification letter to remove the structure.

The applicant has submitted stamped engineering plans for rectifying the code deficiencies identified by the City of Deadwood; however, there is no real change or alteration to the existing configuration of the structure/building which was previously denied by the Deadwood Historic Preservation Commission. At this time, the commission determined the project did encroach upon a historic resource and was adverse to Deadwood. All previous opinions of staff remain, primarily the elevations and roof style is not compatible with the associated contributing resource or the historic districts.

**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

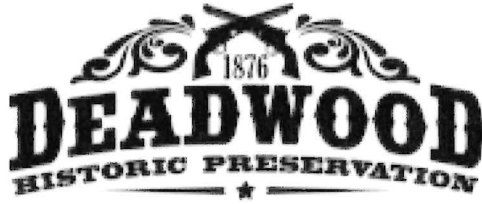
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



Section 8 Item b.

Received \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_  
 Date of Hearing  
 \_04\_/03/2025

## City of Deadwood Application for

**FOR OFFICE USE**  
 ONLY Case No. 250044  
 Project Approval  
 Certificate of  
 Appropriateness Date

## Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:  
 City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

**PROPERTY INFORMATION**

Property Address: 874 main, Deadwood, SD 57732

Historic Name of Property (if known):

**APPLICANT INFORMATION**

Applicant is: owner contractor architect consultant other \_\_\_\_\_

Owner's DALE BERG Name: \_\_ 874 MAIN \_\_ 874  
 MAIN \_\_\_\_\_ Address:  
 \_\_\_\_\_ DEADWOOD \_\_\_\_\_  
 \_\_\_\_\_ City: \_\_\_\_\_ SD \_\_\_\_\_ State:  
 \_\_\_\_\_ 57732 \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_

\_\_\_\_\_ Fax:  
 \_\_\_\_\_ E-mail:  
 \_\_\_\_\_

Contractor's Name:      LUIS  
 TERRONES \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_ City:  
 \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ E-mail: \_\_\_\_\_  
 \_\_\_\_\_

Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ E-mail: \_\_\_\_\_  
 \_\_\_\_\_

Agent's Name: \_\_\_\_\_  
 \_\_\_\_\_ Address: \_\_\_\_\_  
 \_\_\_\_\_ City: \_\_\_\_\_  
 \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 \_\_\_\_\_ E-mail: \_\_\_\_\_  
 \_\_\_\_\_

Architect's Name: \_\_\_\_\_  
 \_\_\_\_\_ SUMMI \_\_\_\_\_ Address: \_\_\_\_\_  
 \_\_\_\_\_ NEERI \_\_\_\_\_  
 NGT ENGI City: \_\_\_\_\_ State: \_\_\_\_\_

**TYPE OF IMPROVEMENT**

Alteration (change to exterior)  
 New Construction New Building Addition Accessory Structure General Maintenance Re-Roofing  
 Wood Repair Exterior Painting Siding Windows Porch/Deck Other \_\_\_\_\_ Awning  
 Sign Fencing

Updated October 9, 2019

**FOR OFFICE USE**  
**ONLY** Case No. \_\_\_\_\_  
 \_\_\_\_\_

**ACTIVITY:** (CHECK AS APPLICABLE)

Project Start Date:      ASAP \_\_\_\_\_ Project Completion Date (anticipated): \_\_\_\_\_

**ALTERATION** Front Side(s) Rear RECONSTRUCT

**ADDITION** Front Side(s) Rear RECONSTRUCT TO MEET CODE

**NEW CONSTRUCTION** Residential Other \_\_\_\_\_

<b>ROOF</b> New Re-roofing Material <div style="text-align: center;">Front Side(s) Rear Alteration to roof</div>
<b>GARAGE</b> New Rehabilitation <div style="text-align: center;">Front Side(s) Rear</div>
<b>FENCE/GATE</b> New Replacement <div style="text-align: center;">Front Side(s) Rear</div> Material _____ Style/type _____ Dimensions _____
<b>WINDOWS STORM WINDOWS DOORS STORM DOORS</b> <div style="text-align: center;">Restoration Replacement New</div> <div style="text-align: center;">Front Side(s) Rear</div> Material _____ Style/type _____
<b>PORCH/DECK</b> Restoration Replacement New <div style="text-align: center;">Front Side(s) Rear</div> Note: Please provide detailed plans/drawings
<b>SIGN/AWNING</b> New Restoration Replacement Material _____ Style/type _____ Dimensions _____
<b>OTHER</b> – Describe in detail below or use attachments

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

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**FOR OFFICE USE ONLY**

Case No. \_\_\_\_\_

**DALE BERG  
SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE

**DALE BERG APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



GENERAL STRUCTURAL NOTES:

DESIGN BUILDING CODES:

- 1. INTERNATIONAL BUILDING CODE 2021

DESIGN LOADS

WIND LOADS:

ULTIMATE WIND SPEED (3 SEC. GUST)	115 MPH
WIND EXPOSURE	C
RISC CATEGORY	II
INTERNAL PRESSURE COEFFICIENT	+/- 0.18

SNOW LOADS:

GROUND SNOW	56 PSF (PLUS APPLICABLE DRIFT)
IMPORTANCE FACTOR	1.0
EXPOSURE FACTOR	1.0
THERMAL FACTORS: TYPICAL	1.2

DEAD LOADS:

ROOF:	15 PSF SELF WEIGHT 5 PSF (FUTURE SOLAR PANELS)
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LIVE LOADS:

ROOF:	20 PSF
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FUTURE CONSTRUCTION:

NONE

MATERIAL GRADES AND STRENGTHS:

CAST IN PLACE CONCRETE:

FOOTINGS	28DAY COMPRESSIVE STRENGTH
ALL CONCRETE EXPOSED TO FREEZE THAW	F <sub>c</sub> =4000PSI CYCLES SHALL HAVE 5-7% AIR ENTRAINMENT ADDED

CONCRETE REINFORCING STEEL:

TYPICAL BARS	ASTM A615 (GRADE 60)
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FOUNDATION AND BACKFILLING NOTES:

- FOOTINGS ARE DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 2000PSF. THE RESPONSIBILITY OF THE GC TO VERIFY ON SITE ALLOWABLE SOIL BEARING PRESSURE PRIOR TO CONSTRUCTION. IT IS RECOMMENDED THAT THE OWNER EMPLOY A GEOTECHNICAL ENGINEER TO VERIFY THE ASSUMED ALLWABLE SOIL BEARING PRESSURE AND TO PROVIDE ADDITIONAL SOIL PREPERATION RECOMMENDATIONS.
- ALL FOOTINGS SHALL BE PROTECTED FROM FREEZING AND NO CONCRETE SHALL BE PLACED ONTO FROZEN SOIL.
- FOOTINGS SHALL BE CENTERED UNDER THE STRUCTURE ABOVE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE.
- FOOTING STEPS SHALL BE PLACED GENERALLY WHERE SHOWN ON PLANS. CONTRACTORS RESPONSIBILITY TO COORDINATE EXACT PLACEMENT WITH SITE OR GRADE CONDITIONS.
- BACKFILLING MATERIAL SHALL BE FREE DRAINING ENGINEERED GRANULAR SOIL OR AS NOTED ON THE FOLLOWING SHEETS. REFER TO THE GEOTECHNICAL REPORT FOR FURTHER SOIL RECOMMENDATIONS.

CONCRETE NOTES:

- CONTRACTORS SHALL PROVIDE CONCRETE INSTALLATION IN ACCORDANCE WITH ACI 318 AND ACI 301. PROVIDE ADMIXTURES AND SPECIAL CONDITIONS AS REQUIRED IN CONTRACT DOCUMENTS.
- PROVIDE CONSTRUCTION AND CONTROL JOINTS AS NOTED ON THE PROJECT DRAWINGS. REFER TO CONTRACT DOCUMENTS FOR UNDER SLAB PIPING / HVAC, FLOOR DRAINS, AND SLAB ELEVATIONS BEFORE FORMING OR CONSTRUCTION BEGINS.
- SUPPLIER SHALL REFER TO CONCRETE REINFORCING STEEL INSTITUTE MANUAL OF STANDARD PRACTICE FOR THE DETAILING OF ALL REINFORCING STEEL.
- CAST IN PLACE CONCRETE SHALL HAVE THE FOLLOWING CLEARANCES MET.

1.	CAST AGAINST AND PERMENTLY EXPOSED TO EARTH	3"
2.	FORMED AND EXPOSED TO EARTH	
	A. #5 AND LARGER	2"
	B. #5 AND SMALLER	1.5
3.	SLABS ON GRADE	MID DEPTH

- CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT OF REINFORCING STEEL DURING CONSTRUCTION TO ENSURE LIMITED MOVEMENT UNTIL CONCRETE IS CURED.
- SEE LAP LENGTH SCHEDULE ON THE FOLLOWING SHEETS FOR REINFORCING LAP REQUIREMENTS.

WOOD FRAMING NOTES

- UNLESS OTHERWISE SPECIFIED, EACH PIECE OF LUMBER TO BEAR A GRADE MARK, STAMP, OR OTHER IDENTIFYING MARKS INDICATING GRADES OF MATERIAL, AND RULES OR STANDARDS UNDER WHICH PRODUCED. IDENTIFYING MARKS IN ACCORDANCE WITH RULE OR STANDARD UNDER WHICH MATERIAL IS PRODUCED, INCLUDING REQUIREMENTS FOR QUALIFICATIONS AND AUTHORITY OF THE INSPECTION ORGANIZATION, USAGE OF AUTHORIZED IDENTIFICATION, AND INFORMATION INCLUDED IN THE IDENTIFICATION. INSPECTION AGENCY FOR LUMBER APPROVED BY THE BOARD OF REVIEW, AMERICAN LUMBER STANDARDS COMMITTEE, TO GRADE SPECIES USED STRUCTURAL MEMBERS. SPECIES AND GRADE AS LISTED IN THE AP&PA, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION HAVING DESIGN STRESSES AS SHOWN.

LUMBER OTHER THAN STRUCTURAL:

- UNLESS OTHERWISE SPECIFIED, SPECIES GRADED UNDER THE GRADING RULES OF AN INSPECTION AGENCY APPROVED BY BOARD OF REVIEW, AMERICAN LUMBER STANDARDS COMMITTEE. FRAMING LUMBER: MINIMUM EXTREME FIBER STRESS IN BENDING OF 1100. FURRING, BLOCKING, NAILERS AND SIMILAR ITEMS 100 MM (4 INCHES) AND NARROWER STANDARD GRADE; AND, MEMBERS 150 MM (6 INCHES) AND WIDER, NUMBER 2 GRADE.

SIZES:

- SIZE TO CONFORM TO PROD. STD. PS20. SIZE REFERENCES ARE NOMINAL SIZES, UNLESS OTHERWISE SPECIFIED, ACTUAL SIZES WITHIN MANUFACTURING TOLERANCES ALLOWED BY STANDARD UNDER WHICH PRODUCED.

MOISTURE CONTENT:

- AT TIME OF DELIVERY AND MAINTAINED AT THE SITE BOARDS AND LUMBER 2 INCHES AND LESS IN THICKNESS SHALL BE 19 PERCENT OR LESS. LUMBER OVER 2 INCHES THICK SHALL BE 25 PERCENT OR LESS.

PLYWOOD/SHEATHING

PLYWOOD SHALL COMPLY WITH PROD. STD. PS 1 AND APA E30. PLYWOOD SHALL BEAR THE MARK OF A RECOGNIZED ASSOCIATION OR INDEPENDENT INSPECTION AGENCY THAT MAINTAINS CONTINUING CONTROL OVER QUALITY OF PLYWOOD WHICH IDENTIFIES COMPLIANCE BY VENEER GRADE, GROUP NUMBER, SPAN RATING WHERE APPLICABLE, AND GLUE TYPE. SHEATHING SHALL BE APA RATED EXPOSURE 1 OR EXTERIOR; PANEL GRADE CD OR BETTER.

INSTALLATION

- FRAMING AND MISCELLANEOUS WOOD MEMBERS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE WITH APA STANDARDS FOR INSTALLATION OF PLYWOOD. TRUSSES SHALL BE BRACE IN ACCORDANCE WITH THE TRUSS MANUFACTURERS RECOMMENDATIONS. ALL TEMPORARY AND FINAL TRUSS BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECTION

- PROTECT ROUGH CARPENTRY FROM WEATHER. IF ROUGH CARPENTRY BECOMES WET, APPLY EPA-REGISTERED BORATE TREATMENT COMPLYING WITH EPA REGISTERED LABEL.

CONCRETE CONSTRUCTION

PLACEMENT OF REINFORCING STEEL

- REINFORCING STEEL WHICH IS PLACED ADJACENT TO A CONCRETE SURFACE WHICH SHALL BE CAST AGAINST WOOD, METAL OR OTHER REMOVABLE FORM WORK SHALL BE SUPPORTED AWAY FROM THE FORM WORK WITH CHAIRS OR BOLSTERS. ALL COMPONENTS OF THE CHAIRS OR BOLSTERS WHICH ARE IN CONTACT WITH THE FORM SHALL BE NONCORRODING. COMPONENTS OF THE CHAIRS OR BOLSTERS WHICH ARE SUBJECT TO CORROSION SHALL NOT BE PLACED WITHIN ONE INCH OF THE FORMED SURFACE.
- BOLSTERS SHALL BE PROVIDED BETWEEN THE LAYERS OF REINFORCING STEEL WITHIN WALLS AND SLABS.
- THE SPACING OF BOLSTERS, CHAIRS AND OTHER REINFORCING STEEL SUPPORTS SHALL BE LIMITED SO AS TO PREVENT DISPLACEMENT OF THE REINFORCING DUE TO PLACEMENT OF THE CONCRETE. IN THE CASE OF SLABS ALL LAYERS OF REINFORCING STEEL SHALL BE SUPPORTED SO AS TO BE CAPABLE OF CARRYING THE LOADS OF THE WORKERS PLACING THE STEEL AND CONCRETE.

EMBEDMENTS

- ALL ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH CONCRETE SHALL BE COATED WITH BITUMASTIC PAINT.
- A MINIMUM OF TWO (2) INCHES OF CLEAR COVER SHALL BE PROVIDED BETWEEN ALL EMBEDMENTS AND REINFORCING STEEL AND WATER STOPS.

CONSTRUCTION AND SOILS NOTES

- COMPACTION OF BACK FILL SHALL BE OBTAINED BY MEANS OF TAMPING ROLLERS, SHEEPS FOOT ROLLERS, PNEUMATIC TIRE ROLLERS, VIBRATING ROLLERS OR OTHER MECHANICAL TAMPERS. TAMPING OR POUNDING WITH BACK HOE BUCKET IS NOT AN ACCEPTABLE FORM OF COMPACTION.
- MATERIAL TO BE COMPACTED SHALL BE PLACED IN LIFTS WHICH PRIOR TO COMPACTION SHALL NOT EXCEED 6"
- COMPACTION ADJACENT TO ALL FOUNDATIONS AND FOOTINGS SHALL BE PERFORMED BY THE USE OF HAND-DIRECTED MECHANICAL TAMPERS WITH LIFTS NOT EXCEEDING 6"
- IF DURING EXCAVATION THE SOILS DO NOT APPEAR CAPABLE OF SUPPORTING A 2000 PSF BEARING LOAD THE FOUNDATION ENGINEER SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE FOOTING SIZES AND FOUNDATION DESIGN IN LIGHT OF THE DISCOVERED SOIL CONDITIONS.
- ALL FILL INSIDE FOUNDATION WALL SHALL BE GRANULAR FILL COMPACTED TO 100% OF STANDARD PROCTOR.
- GRANULAR FILL SHALL CONSIST OF A WELL GRADED MATERIAL FREE OF ORGANIC MATTER BITUMINOUS MATERIAL, SALVAGED CONCRETE AND OTHER DELITERIOUS MATERIALS AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS.

SIEVE SIZE	PERCENT PASSING BY WEIGHT
1"	100
3 / 4 "	90-100
No. 4	45-80
No. 40	15-35
No. 200	0-15

LIMITS OF LIABILITY

- SUMMIT STRUCTURAL ENGINEERING HAS BEEN CONTRACTED TO PROVIDE ENGINEERED CONSTRUCTION DRAWINGS FOR ONLY THE INFORMATION PROVIDED IN THIS DRAWING PACKAGE. ALL OTHER INFORMATION NOT SPECIFICALLY DETAILED IS THE RESPONSIBILITY OF OTHERS.
- IT IS UNDERSTOOD THAT THE OWNER CONSTRUCTED THIS STRUCTURE PREVIOUSLY WITH NO DIRECTION FROM AN ENGINEER. SUMMIT STRUCTURAL REVIEWED THE EXISTING STRUCTURE AND HAS ANALYSED THE STRUCTURAL ELEMENTS. THIS DRAWING SET REPRESENTS A NEW STRUCTURE WHICH AS BEEN REVIEWED BY SUMMIT STRUCTURAL.

Sheet List	
Sheet Number	Sheet Name

S1.0	PROJECT TITLE PAGE
S2.0	FOUNDATION & ROOF PLANS
S3.0	FRAMING DETAILS

GENERAL CONSTRUCTION NOTES:

- THE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT SHOW CONSTRUCTION METHODS UNLESS SO NOTED.
- FABRICATE AND CONSTRUCT ALL ITEMS ACCORDING TO THE DRAWINGS, SPECIFICATION AND BUILDING CODES. MAKE NO MODIFICATIONS WITHOUT THE ENGINEERS WRITTEN APPROVAL. DO NOT SCALE THE DRAWINGS FOR DIMENSIONS, SIZES, OR LOCATIONS.
- WHEN INSTALLING PROPRIETARY PRODUCTS, CONTRACTOR MUST READ AND FOLLOW MANUFACTURERS RECOMMENDATIONS FOR PREPARATION, INSTALLATION METHOD AND INSPECTION.
- THE CONTRACTOR SHALL COORDINATE THE DIMENSIONS, ELEVATIONS, AND CONDITIONS BETWEEN ALL PROJECT DOCUMENTS AND SHALL NOTIFY THE ENGINEER AND ARCHITECT OF RECORDS OF ANY DISCREPENCIES. IF A DISCREPANCY IS FOUND WITHIN THE CONTRACT DOCUMENTS, IMMEDIATELY SUBMIT THE MATTER IN WRITING TO THE ENGINEER WHO WILL MAKE A DETERMINATION AND WRITTEN CLARIFICATION
- THE CONTRACT DOCUMENTS REPRESENT THE COMPLETED STRUCTURE. MEANS AND METHODS OF CONSTRUCTION IS FULLY THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTORS SHALL PROTECT THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION AND INSTALLATION.
- TEMPORARY BRACING OR SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR. BRACING OR SHORING SHALL BE INSTALLED UNTIL DIAPHRAGMS AND LATERAL RESISTING ELEMENTS HAVE BEEN INSTALLED.
- THESE DRAWINGS SHALL NOT BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR GEOMETRY NOT SPECIFICALLY SHOWN ON THIS DRAWING SET.

BERG POLE BARN  
874 MAIN ST. DEADWOOD SD  
CLIENT: DALE BERG

PROJECT TITLE PAGE

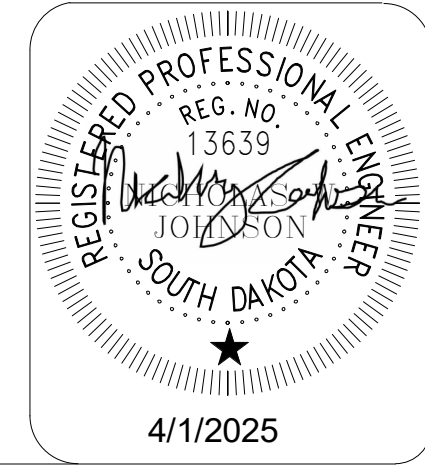
Date: 4/1/2025

Sheet Size: 22" x 34"

Drawn / Checked By: NU

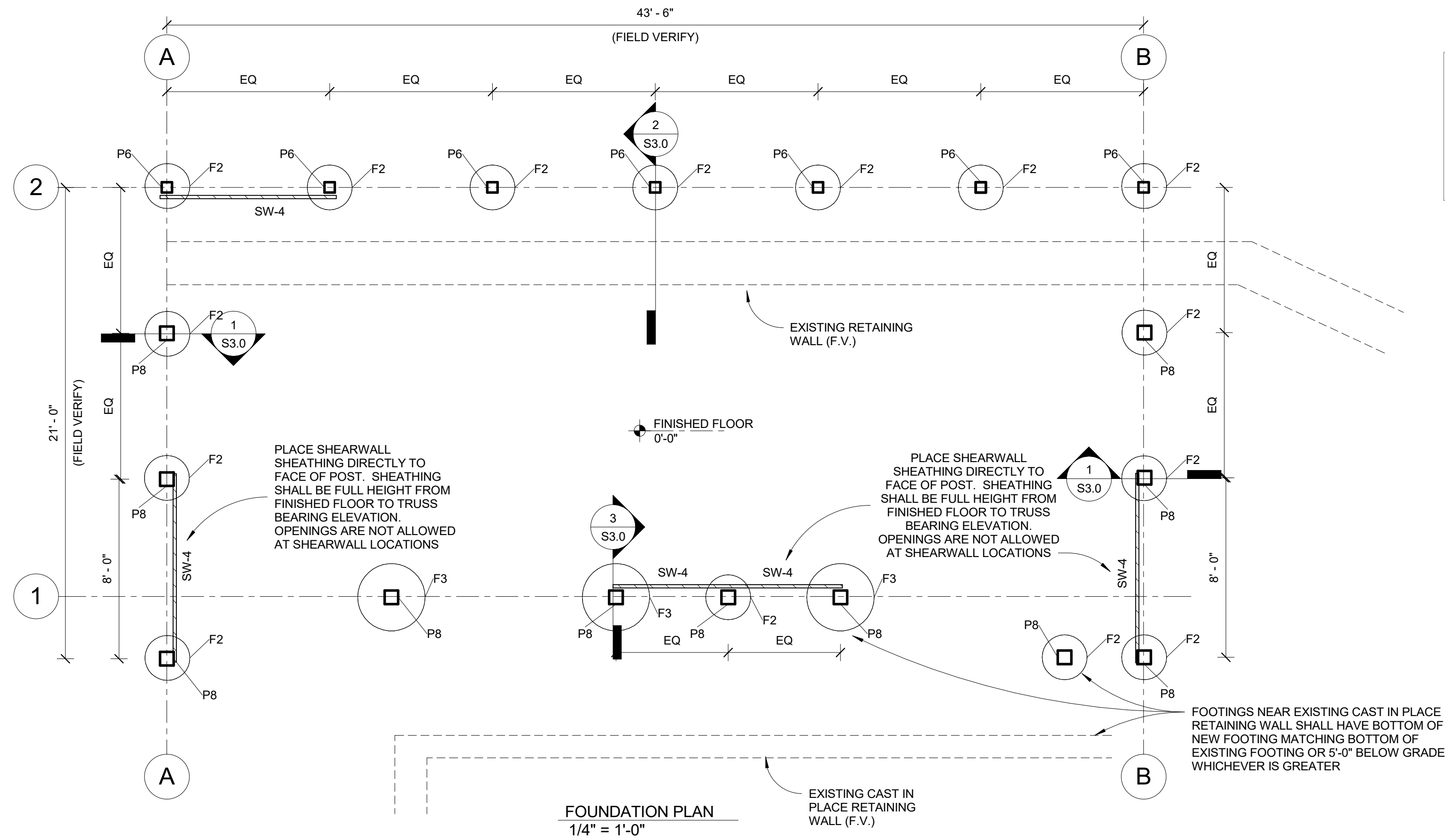
805 N. 10TH STREET  
SPEARFISH, SD 57783  
PH (605) 639-1790

SummitStructuralEng.com



S1.0



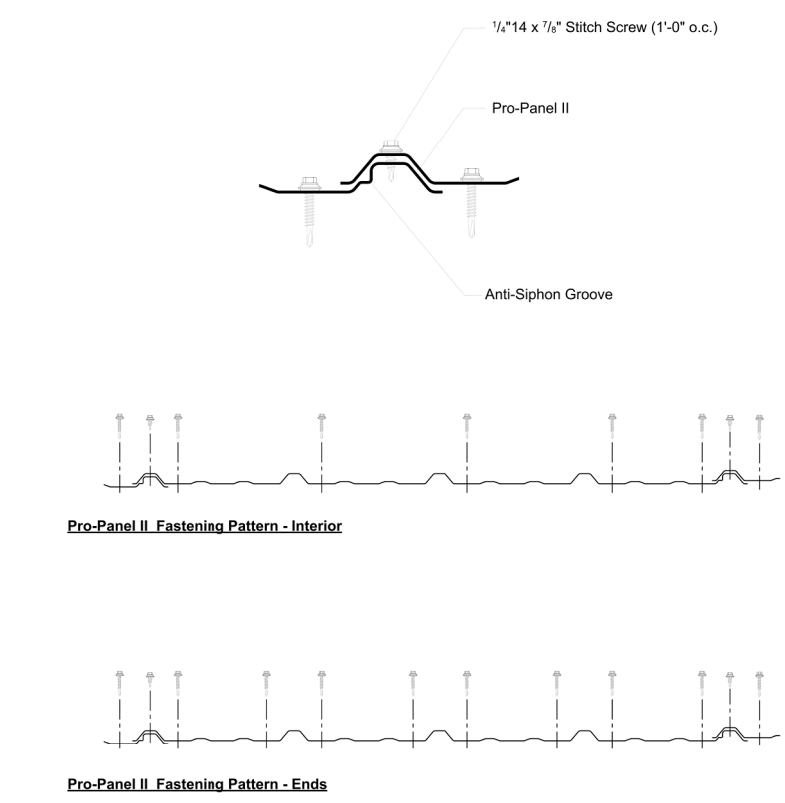


**GENERAL NOTES:**

- COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL/OWNER DRAWINGS BEFORE CONSTRUCTION.
- ALL DETAILS ARE TYPICAL UNLESS NOTED OTHERWISE.
- NO OPENINGS MAY OCCUR AT SHEARWALL LOCATIONS.

**Drilled Footing Schedule**

Type Mark	Description	Type Comments
F2	2'-0" DIA.	(5) #4 VERTICAL BARS
F3	3'-0" DIA.	(8) #4 VERTICAL BARS.



**FASTENER INFORMATION**

Overdriven fasteners will cause panel distortions. Fasteners should extend 1/2" or more past the inside face of the support material.

Thick panels (ex. 18 ga) or supports (ex. 1/2" steel) may require predrilling of holes for screws.

Panel Fastener:  
Attaching to Wood:  
#10-14 XL Wood Screw

Attaching to Steel:  
#12-14 XL Self Drilling Screw

Side Lap Fastener:  
1/4" x 7/8" XL Slitch Screw

Trim Fastener:  
1/4" x 7/8" XL Slitch Screw

**SHEARWALL SCHEDULE**

MARK	SHEATHING	FASTENERS		BLOCKED PANEL EDGES
		EDGE	FIELD	
SW-4	7/16" (MIN) OSB (ONE SIDE)	4	12	YES

**SHEARWALL NOTES:**

- PANELS SHALL BE 4'x8' MIN WITH FASTENERS LOCATED MIN 3/8" FROM PANEL EDGES. PANELS SHALL BE SPLICED AT POST LOCATIONS AND ATTACHED DIRECTLY TO FACE OF POSTS.
- BLOCKING SHALL BE 2X MEMBERS AT ALL PANEL EDGES AS REQUIRED IN TABLE ABOVE. BLOCKING SHALL BE PLACED BETWEEN POSTS AT PANEL EDGES.**
- FASTENERS INTO WOOD STRUCTURAL PANELS SHALL BE MIN 8d WITH MIN. 1 3/8" PENETRATION INTO FRAMING MEMBERS OR BLOCKING.

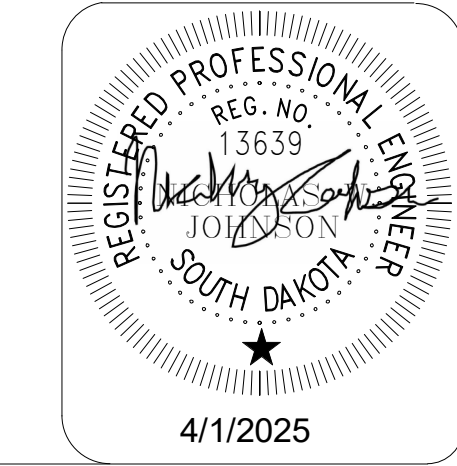
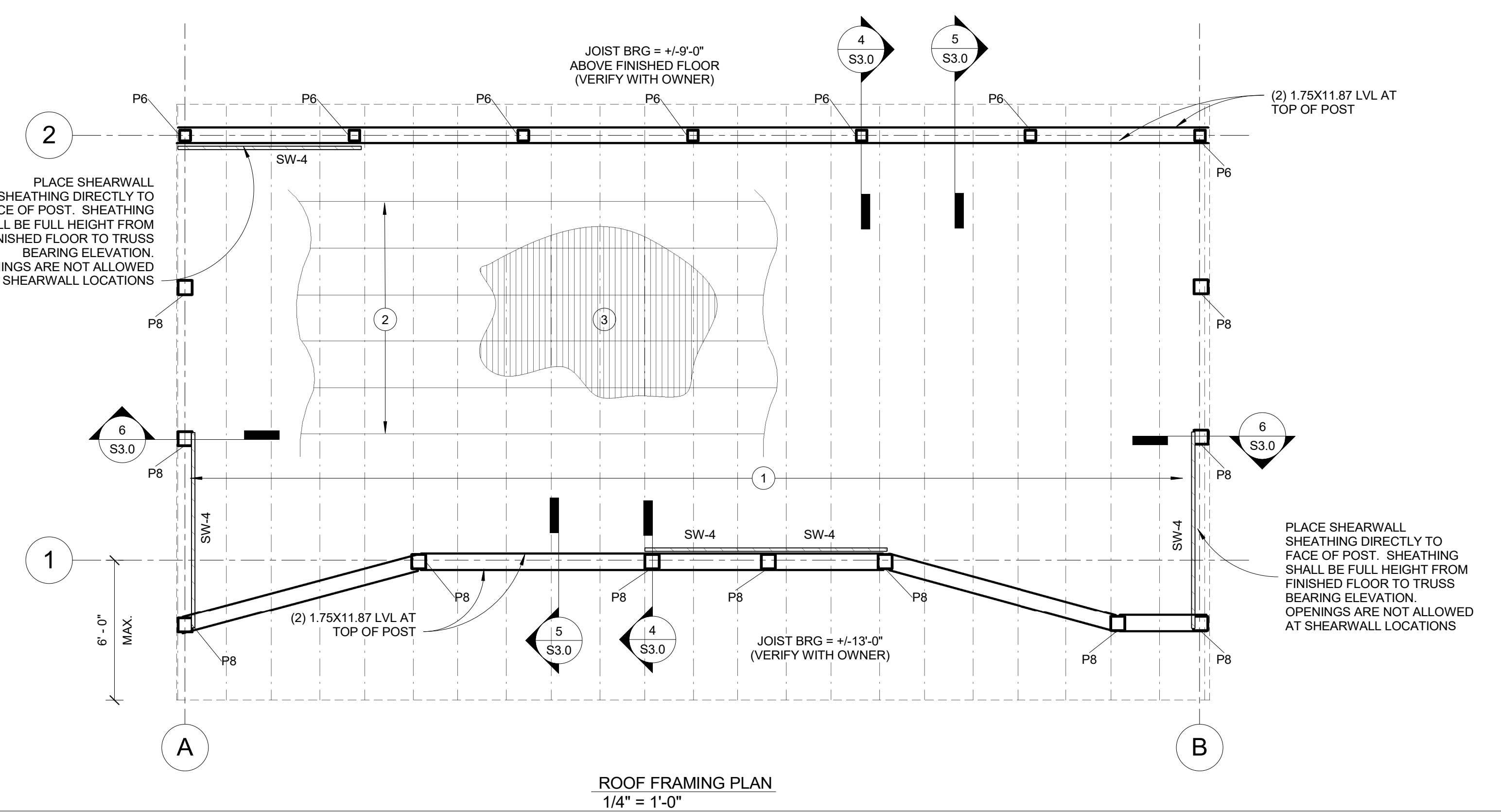
**POST SCHEDULE**

MARK	POST	MATERIAL - GRADE
P8	8x8	TREATED SYP - #2 OR BETTER
P6	6x6	TREATED SYP - #2 OR BETTER

POSTS WHICH ARE EMBEDDED INTO CONCRETE SHALL BE TREATED FOR GROUND CONTACT

**MEMBER SCHEDULE**

LOCATION	DESCRIPTION	MATERIAL GRADE	REQUIRED FASTENERS
WALL GIRTS	2x6 @ 24" O.C.	SPF - SELECT STRUCTURAL	PROVIDE (4) 0.177" X 4.5" RING SHANK NAILS AT EACH POST
ROOF PURLIN	2x4 @ 24" O.C.	SPF - #1/#2 (OR EQUAL)	PROVIDE (2) 0.177" X 4.5" RING SHANK NAILS AT EACH ROOF JOIST

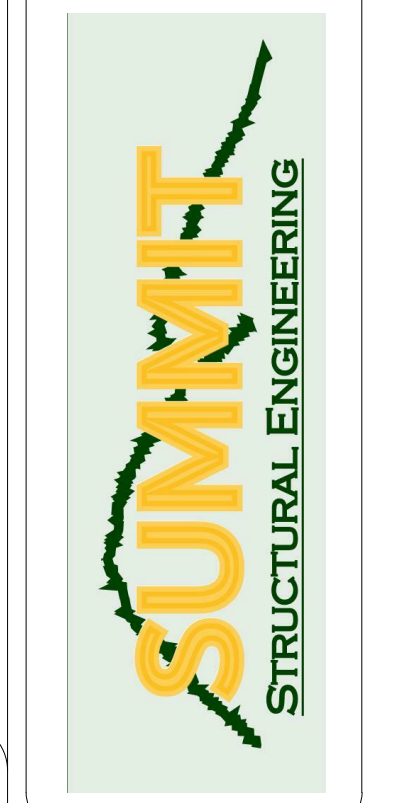


BERG POLE BARN  
874 MAIN ST. DEADWOOD SD  
CLIENT: DALE BERG

**FOUNDATION & ROOF PLANS**

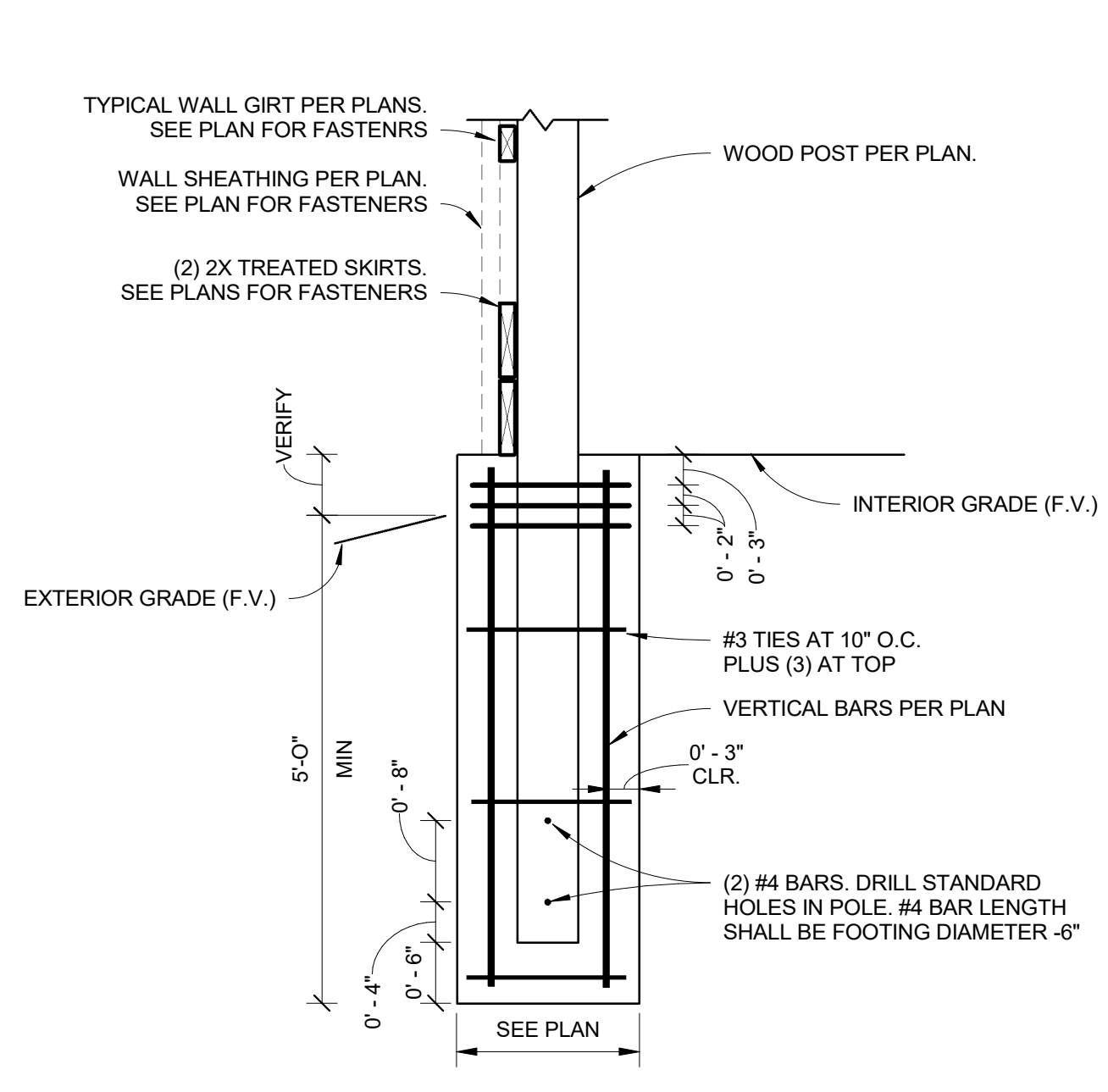
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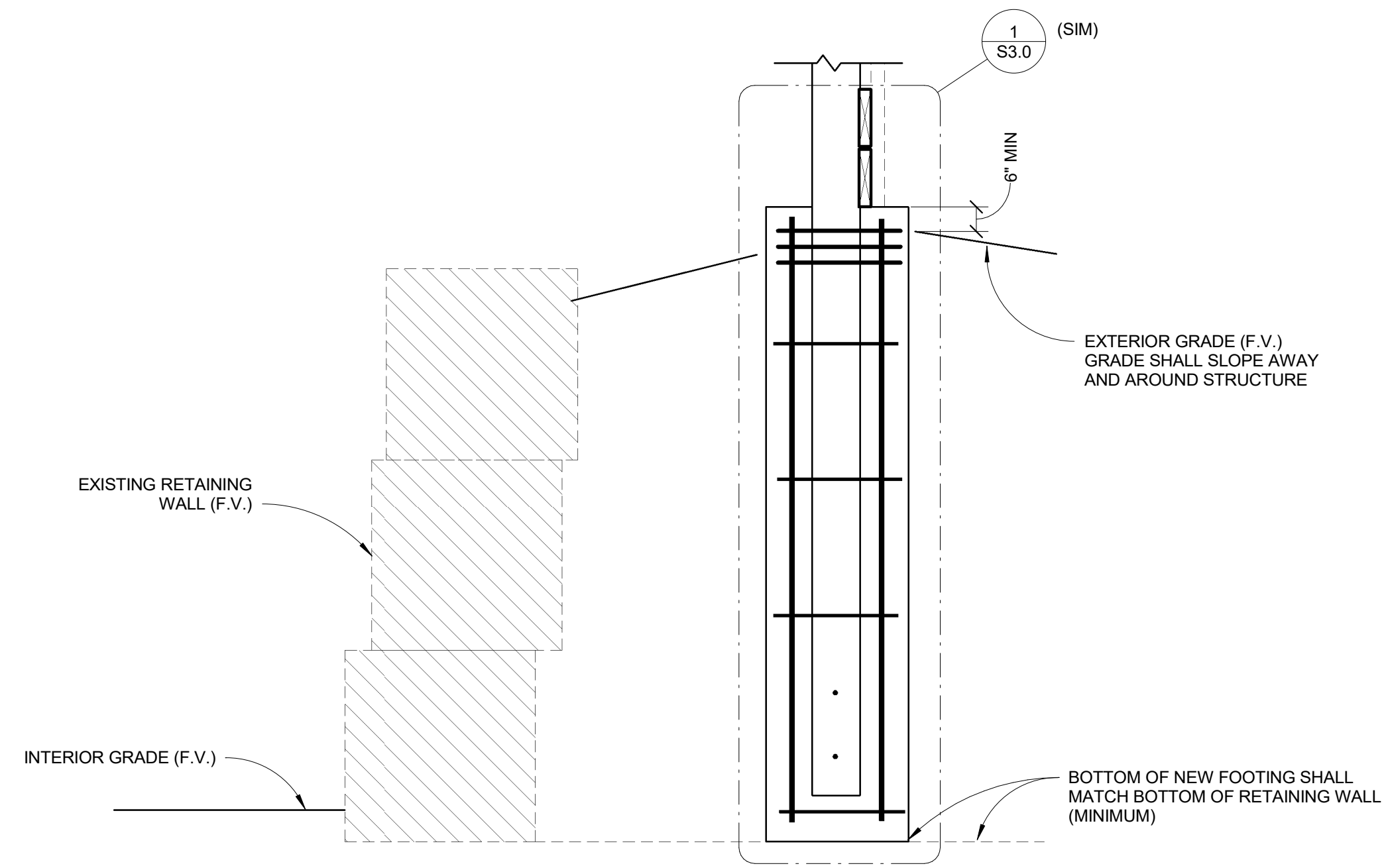


**S2.0**

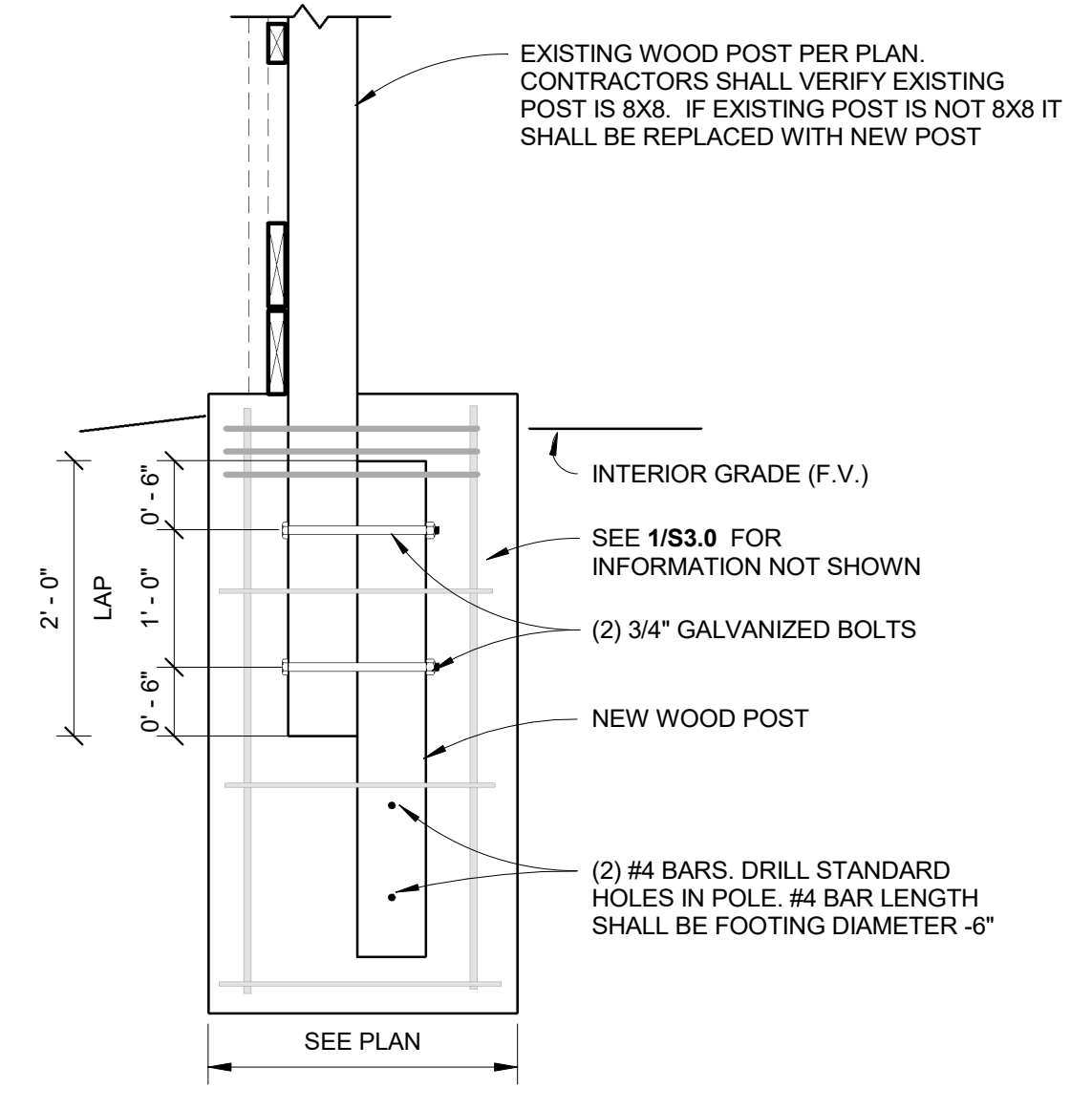




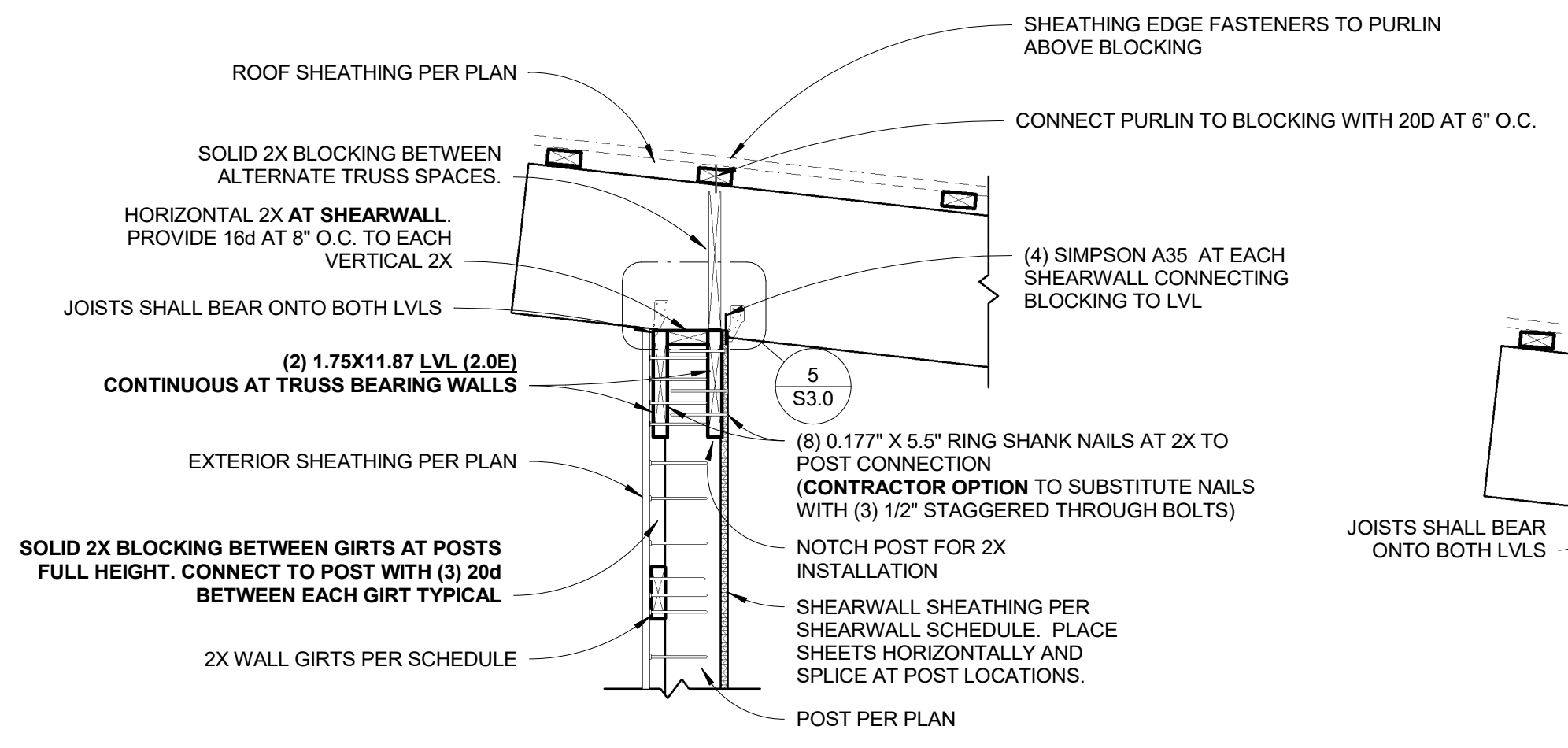
1 NEW FOOTING NOT TO SCALE



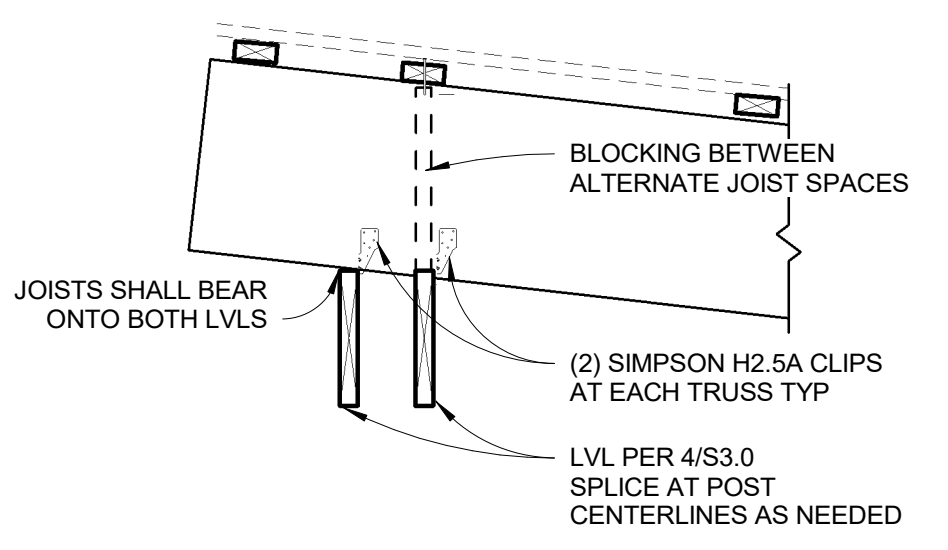
2 NEW FOOTING AT EXISTING RETAINING WALL NOT TO SCALE



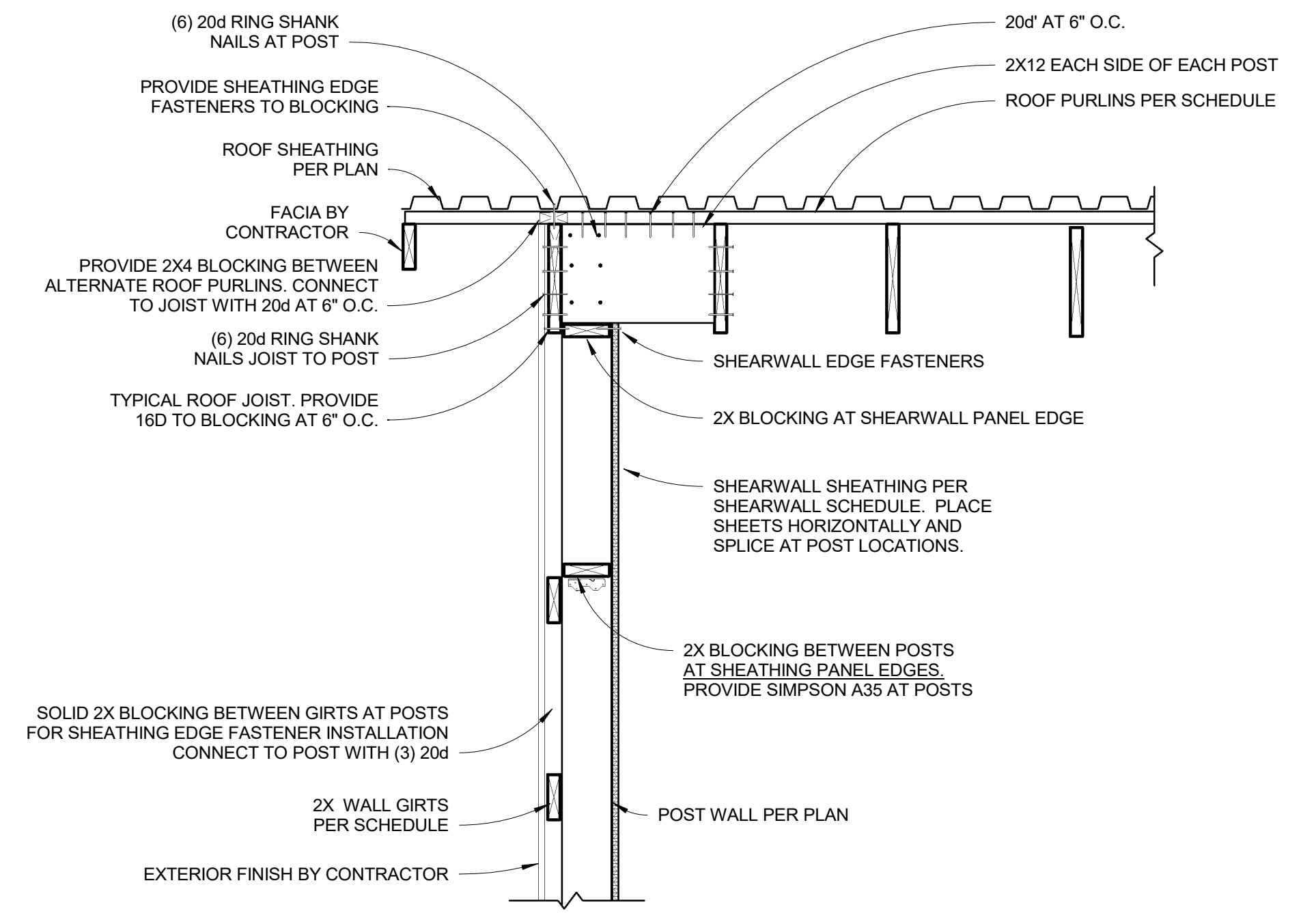
3 NEW FOOTING AT EXISTING POST NOT TO SCALE



4 TOP OF POST NOT TO SCALE



5 JOIST BEARING NOT TO SCALE



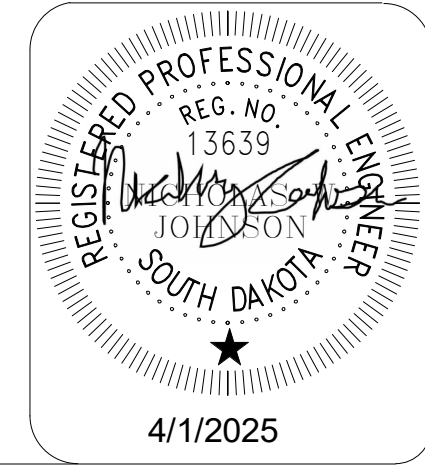
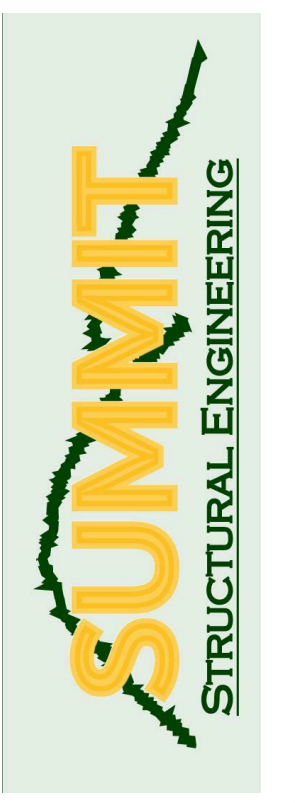
6 GABLE END NOT TO SCALE

BERG POLE BARN  
874 MAIN ST. DEADWOOD SD  
CLIENT: DALE BERG

FRAMING DETAILS

Drawn / Checked By: NJ Date: 4/1/2025  
Sheet Size: 22" x 34"

805 N. 10TH STREET  
SPEARFISH, SD 57783  
PH (605) 639-1790  
SummitStructuralEng.com



S3.0

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 722-0786



Kevin Kuchenbecker  
Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## DEADWOOD HISTORIC PRESERVATION COMMISSION NOTICE OF DENIAL FOR PROJECT APPROVAL

October 24, 2024

Mr. Dale Berg  
650 Main St.  
Deadwood, SD 57732

Dear Mr. Berg:

The Historic District Commission has reviewed your request for Project Approval for projects constructed without Historic Preservation Commission approval located at 874 Main Street, a contributing structure in the Upper Main Planning Unit in the City of Deadwood. This Project Approval was denied at the Deadwood Historic District Commission meeting on October 23, 2024.

The Commission unanimously denied the Application for Project Approval based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, et seq, the Commission found that the project is adverse to Deadwood and moved to deny the project as presented.

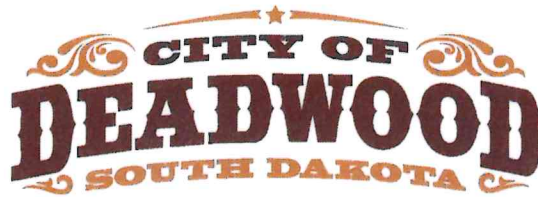
Should you desire to appeal the decision by the Historic Preservation Commission you may do so according to City of Deadwood Ordinance Code 17.68.080 within thirty (30) days following the receipt of this letter. If you have any questions or need further information, please do not hesitate to contact our office at your convenience.

Sincerely,

Kevin Kuchenbecker  
Historic Preservation Officer

Cc: file  
Trent Mohr, Building Official  
Quentin Riggins, City Attorney

OFFICE OF  
**CITY ATTORNEY**  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084  
qriggins@gpnlaw.com



**DEADWOOD CITY HALL**  
102 Sherman Street  
Telephone (605) 578-2600

November 20, 2024

Mr. Dale Berg  
650 Main  
Deadwood, SD 57754

RE: Notice of Removal of non-permitted structures at 874 Main Street

Dear Mr. Berg;

On Wednesday, November 13, 2024, the Deadwood Historic Preservation Commission determined the structures built without Historic Preservation Commission approval or proper building permits located in the rear of the property at 874 Main Street must be removed. This action is a follow up on the denial of the Project Approval #PA 240073 on October 23, 2024. The structures in question are the pool, deck and large structure. Furthermore, it should be noted, the structures were constructed with code deficiencies as well. A copy of the inspection report is enclosed. You will have 180 days following the receipt of this letter to remove the structures.

Should you desire to appeal the decision by the Historic Preservation you may do so according to the City of Deadwood Ordinance Code 17.68.080 within thirty (30) days following the receipt of this letter. If you have any questions or need further information, please do not hesitate to contact our office at your convenience.

Sincerely,

A handwritten signature in blue ink that reads "Quentin Riggins". The signature is fluid and cursive.

Quentin Riggins  
City Attorney

cc: Kevin Kuchenbecker, Planning, Zoning & Historic Preservation Officer  
Trent Mohr, City Building Inspector  
Enclosure  
File



**Tom Paisley-Owner**  
**ICC CERTIFIED PLANS EXAMINER**  
**ICC CERTIFIED BUILDING INSPECTOR**  
 +1.605.639.0190  
 tom@lookoutcode.com  
 www.lookoutcode.com

Project Name: Dale & Susan Berg  
 Legal Description: N1/2 Lot 4  
 Address: 874 Main Street, Deadwood, SD  
 Prepared By: Tom Paisley, ICC Certified Plans Examiner #876040  
 Date: 9/24/2024  
 Note: Inspection report for pool, deck and covered portion in back of property

### **I. General Information**

- A. 2021 International Residential Code
- B. 2021 International Existing Building Code
- C. All construction to meet any other City of Deadwood requirements.

### **II. Noted inspection items:**

1. The East and West riser heights exceed the maximum tolerance allowed by code. There is more than a 3/8" difference between risers per section R311.7.5.1.
2. The guard around the deck exceeds the maximum spacing allowed by code per section R312.1.3.
3. The deck joist exceeds the maximum span allowed by the code. See table R507.6.
4. The deck Beam is insufficient size for the span. See Table R507.5(1) through R507.5(4).
5. Not all of the posts supporting the deck are on a foundation protected by frost. Concrete pyramid blocks are now allowed as a foundation for decks. See section R507.3.
6. The East stairway is not protected by a guard. See section R312.1.1.
7. The North stairway has four or more risers and does not have a handrail per section R311.7.8.
8. The deck has two areas that have gaps near the edge of the pool. This is an area subject to tripping and falling. See ISPSC section 703.3.
9. The joist hangers appear to have deck screws and not the proper attachments. See Simpson joist hanger's manufacturer instructions for proper attachments.
10. The PWT Pacific Woodtech rafters should be stamped "treated" for use in outdoor situations. The contractor needs to provide information showing they are treated, and they need to provide a span table for this product. Information is also needed for the maximum cantilever for this product. These appear to be a rim joist product and not an I-joist rafter product.
11. Rafters shall be provided with connections for beams to resist uplift per section R802.11.2.
12. See figure R507.5.1(2) for the required notched post-to-beam connection.
13. Buildings of post frame construction are required to be stamped by a licensed structural engineer.

14. The pool needs to be installed per the manufacturer's installation instructions.
15. Doors and gates in barriers shall have a locking device, doors shall open outward away from the pool and shall be self-closing and self-latching.



# 874 Main 2024 vs 2012

Section 8 Item b.



04/12/2024 - 07/03/2024



04/05/2012

© All EagleView Technology Corporation



Date: April 01, 2025

Case No. 250042  
Address: 15 Washington

### Staff Report

The applicant has submitted an application for Project Approval for work at 15 Washington, a contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Pamela Massa  
Owner: MASSA, PAMELA TRUSTEE MASSA, PAMELA REVOCABLE TRUST  
Constructed: c 1905

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. This building is an excellent example of a Colonial Revival style house.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to replace windows on the sides and rear of the structure. Six windows on the first floor replacing the current single pane windows with six double hung windows. Replacing four single pane windows with double hung windows on the second floor. All windows will be Pella wood windows.

**Attachments: Yes**

**Plans: No**

**Photos: Yes**

#### Staff Opinion:

The applicant was in our windows program in 2021 to replace inappropriate windows on the front porch which have been completed. The applicant has applied for revolving loan funds to assist in funding for this phase of their project. This will remove the aluminum storms which currently hide the windows.

Staff had previously reviewed the windows which were determined to be in marginal condition. The proposed work and changes does not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

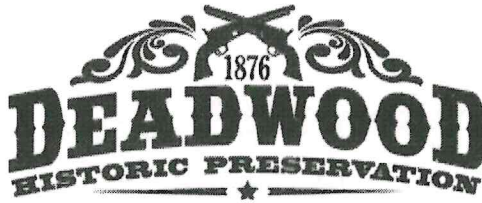
Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



<b>FOR OFFICE</b>	<b>Section 8 Item c.</b>
Case No. <u>250</u>	
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received <u>3/27/25</u>	
Date of Hearing <u>4/9/25</u>	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: 15 Washington St.

Historic Name of Property (if known): Higby House

### APPLICANT INFORMATION

Applicant is:  owner  contractor  architect  consultant  other \_\_\_\_\_

Owner's Name: <u>Pamela S. Massa</u> Address: <u><del>XXXXXXXXXXXXXXXXXXXX</del></u> City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u> Telephone: <u><del>XXXXXXXXXX</del></u> Fax: <u>n/a</u> E-mail: <u><del>XXXXXXXXXXXXXXXXXXXX</del></u>	Architect's Name: <u>n/a</u> Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____
--	---

Contractor's Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____	Agent's Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____
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### TYPE OF IMPROVEMENT

<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

Updated October 9, 2019

FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**ACTIVITY: (CHECK AS APPLICABLE)**

Project Start Date: \_\_\_\_\_ Project Completion Date (anticipated): \_\_\_\_\_

ALTERATION     Front     Side(s)     Rear

ADDITION     Front     Side(s)     Rear

NEW CONSTRUCTION     Residential     Other \_\_\_\_\_

ROOF     New     Re-roofing     Material  
 Front     Side(s)     Rear     Alteration to roof

GARAGE     New     Rehabilitation  
 Front     Side(s)     Rear

FENCE/GATE     New     Replacement  
 Front     Side(s)     Rear  
Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

WINDOWS     STORM WINDOWS     DOORS     STORM DOORS  
 Restoration     Replacement     New  
 Front     Side(s)     Rear  
Material \_\_\_\_\_ Style/type \_\_\_\_\_

PORCH/DECK     Restoration     Replacement     New  
 Front     Side(s)     Rear  
Note: Please provide detailed plans/drawings

SIGN/AWNING     New     Restoration     Replacement  
Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

OTHER – Describe in detail below or use attachments

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

1<sup>st</sup> Floor - 6 double hung windows replacing current  
single pane windows

2<sup>nd</sup> Floor - 4 double hung windows replacing current  
single pane windows

Pella descriptions and estimates attached

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

### SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

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SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

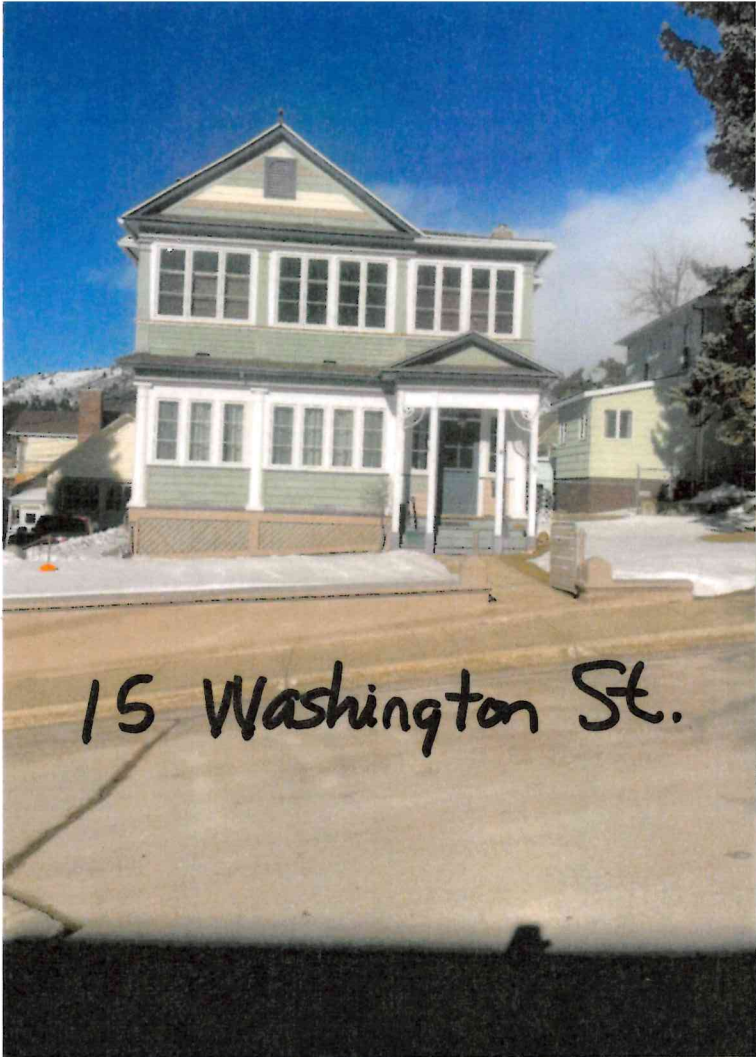
### APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

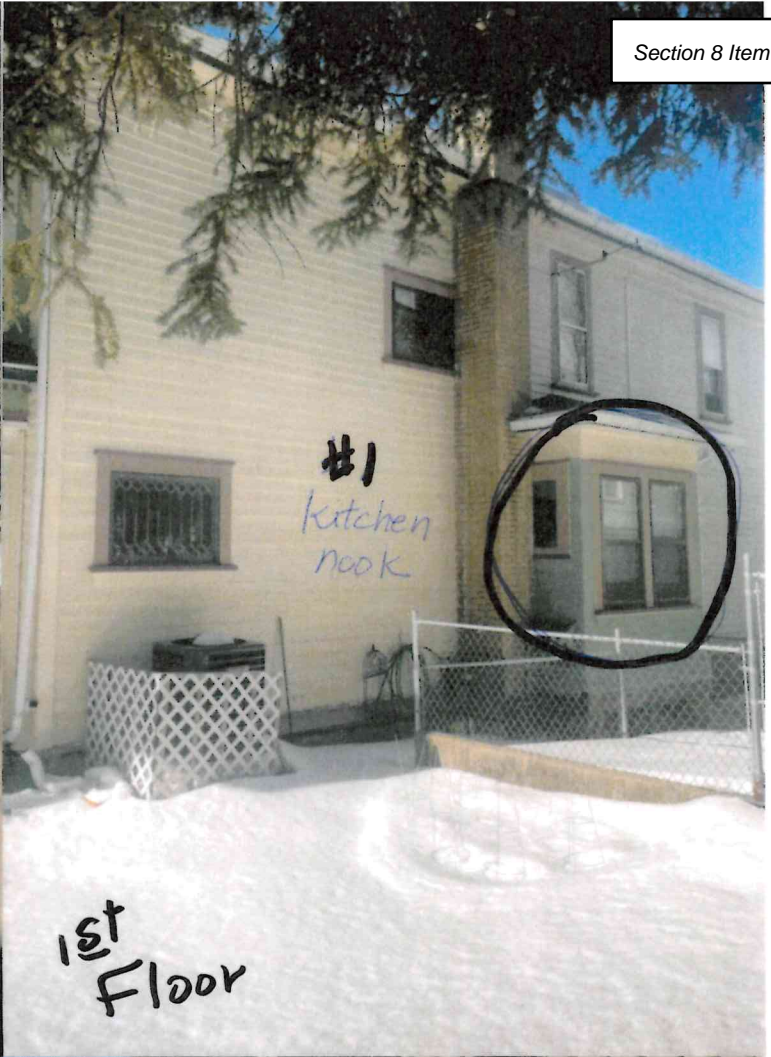
**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

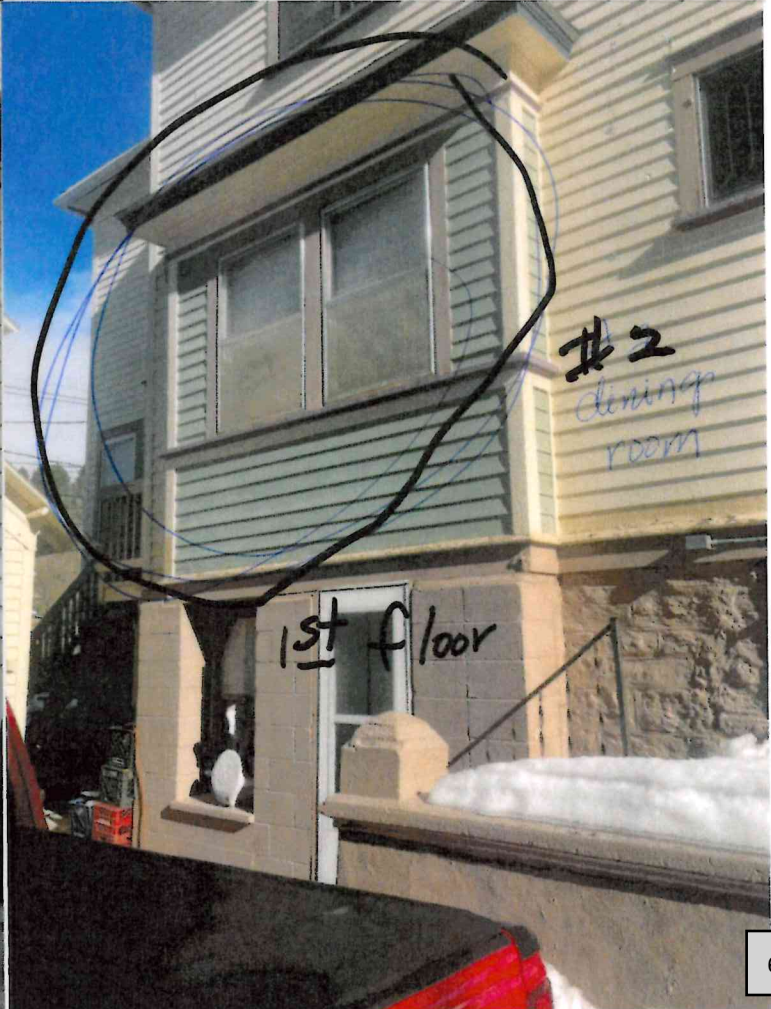




15 Washington St.

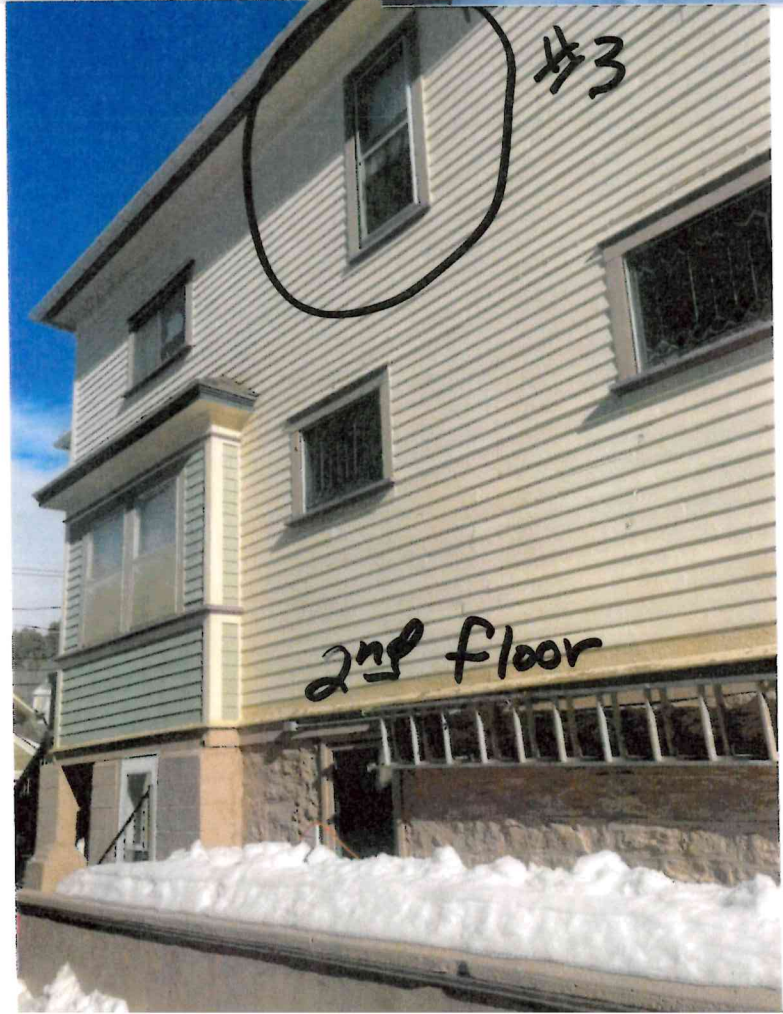


1st Floor



1st floor





Date: April 01, 2025

Case No. 250043  
Address: 52 Van Buren

### Staff Report

The applicant has submitted an application for Project Approval for work at 52 Van Buren, a Contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Ben & Sheri Greenlee  
Owner: GREENLEE, BENJAMIN B TRUSTEE and GREENLEE, SHERI L TRUSTEE  
Constructed: 1935

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with early twentieth-century economic activity in the town of Deadwood. In general, this was a period of economic stagnation for the Deadwood region, and relatively few new buildings were constructed in the town. Of the houses which were constructed, however, nearly all displayed elements of the Craftsman architectural style. This mirrored national architectural trends of the period.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to replace all siding with LP Smart Siding and house wrap the house to meet code.

**Attachments: No**

**Plans: No**

**Photos: Yes**

#### Staff Opinion:

Staff conducted a site visit to review the current condition of the siding. Except for a couple of locations along the bottom of the structure, the siding is in good shape other than alligatored paint. It is staff's opinion due to the condition of the siding, all that needs done is to make needed repairs to the siding which available primed cedar lap siding, scrape or sand the balance of the house, apply peel stop, primer and top coat of paint.

Based on visual inspections, the house has existing barrier between the sheathing and the siding which is typical of the age of the resource. It appears to be a rosin or asphalt-impregnated paper which was used as a weather-resistive barrier in the 1930s and 1940s.

The proposed work and changes does damage or destroy a historic resource by losing the original material which can be restored but would not have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.







**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



**FOR OFFICE USE ONLY**  
Case No. 25 0043  
 Project Approval  
 Certificate of Appropriateness  
Date Received 3/12/25  
Date of Hearing 4/9/25

### City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	<u>52 Van Buren Deadwood SD</u>
Historic Name of Property (if known):	

APPLICANT INFORMATION	
Applicant is:	<input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name: <u>Ben &amp; Sheri Coreenbe</u>	Architect's Name: _____
Address: <del>XXXXXXXXXXXXXXXXXXXX</del>	Address: _____
City: <u>Bridgewater</u> State: <u>SD</u> Zip: <u>57319</u>	City: _____ State: _____ Zip: _____
Telephone: <del>XXXXXXXXXXXX</del>	Telephone: _____ Fax: _____
E-mail: <del>XXXXXXXXXXXXXXXXXXXX</del>	E-mail: _____

Contractor's Name: _____	Agent's Name: _____
Address: _____	Address: _____
City: _____ State: _____ Zip: _____	City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____	Telephone: _____ Fax: _____
E-mail: _____	E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other: <u>Galaxy S24 Ultra</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing



FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**ACTIVITY: (CHECK AS APPLICABLE)**

Project Start Date: \_\_\_\_\_ Project Completion Date (anticipated): \_\_\_\_\_

ALTERATION       Front     Side(s)     Rear

ADDITION           Front     Side(s)     Rear

NEW CONSTRUCTION     Residential     Other \_\_\_\_\_

ROOF                     New           Re-roofing     Material  
 Front           Side(s)       Rear           Alteration to roof

GARAGE                 New           Rehabilitation  
 Front           Side(s)       Rear

FENCE/GATE           New           Replacement  
 Front           Side(s)       Rear

Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

WINDOWS     STORM WINDOWS     DOORS     STORM DOORS  
 Restoration                     Replacement                     New  
 Front                     Side(s)                     Rear

Material \_\_\_\_\_ Style/type \_\_\_\_\_

PORCH/DECK           Restoration                     Replacement                     New  
 Front                     Side(s)                     Rear

Note: Please provide detailed plans/drawings

SIGN/AWNING           New           Restoration                     Replacement  
Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

OTHER – Describe in detail below or use attachments

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Replace all siding and house wrap  
the house to meet code.

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

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I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

~~XXXXXXXXXXXXXXXXXXXX~~ 3/12/25  
SIGNATURE OF OWNER(S) DATE

~~XXXXXXXXXXXXXXXXXXXX~~ 3/12/25  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

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SIGNATURE OF AGENT(S) DATE

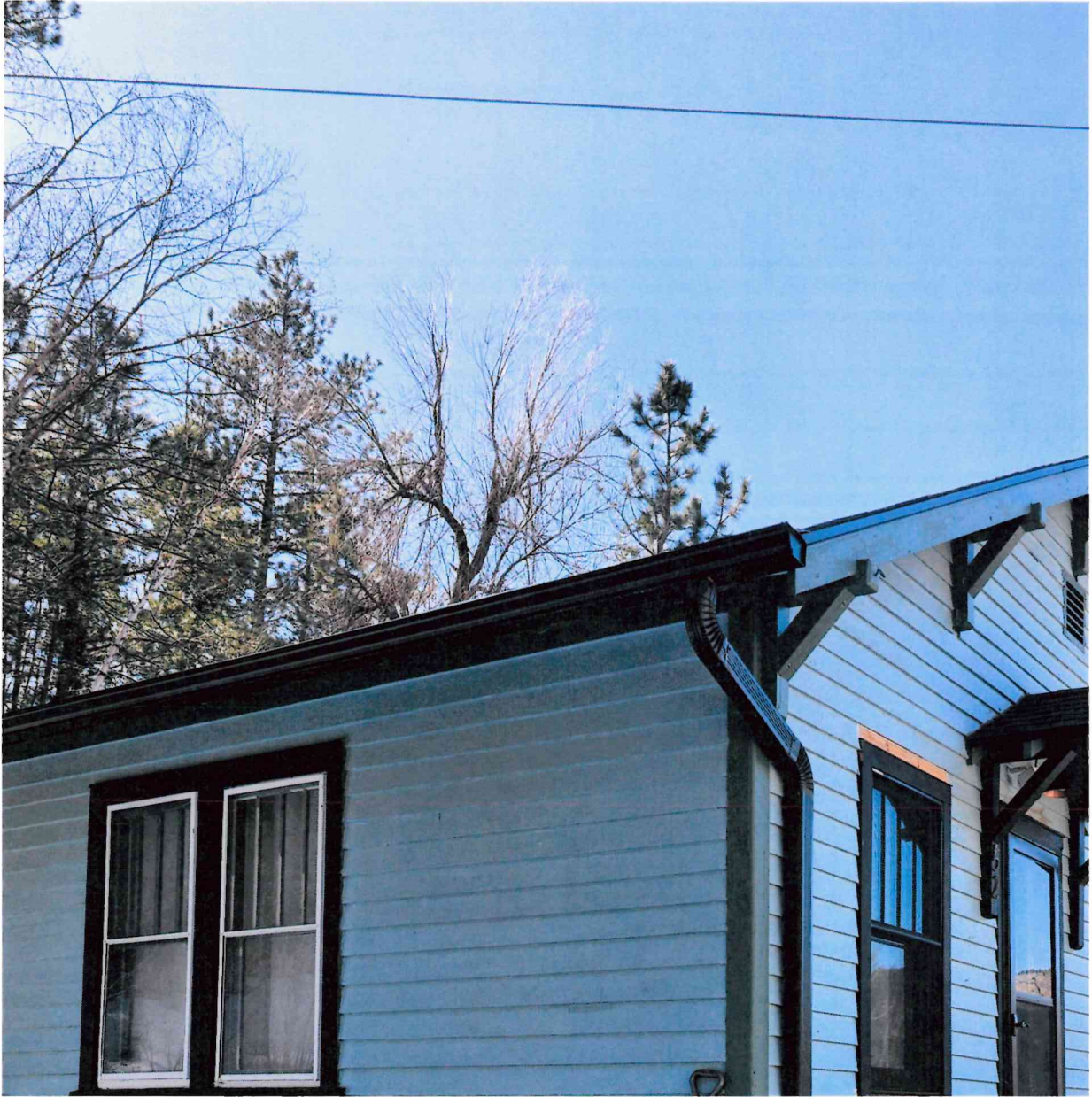
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The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.











Galaxy S24 Ultra







# Historical Mysteries: In Search of the Buried Past



South Dakota State Historical Society

2025 Annual History Conference &  
Governor's Awards for History

May 7-9, 2025  
Deadwood, South Dakota

## CONFERENCE SCHEDULE

### Locations

Days of '76 Museum  
18 Seventy Six Drive, Deadwood, SD

Homestake Adams Research & Cultural Center (HARCC)  
150 Sherman Street, Deadwood, SD

Saloon No. 10  
657 Main Street, Deadwood, SD

### **WEDNESDAY, MAY 7**

- 1:00 - 3:00 PM      **Stories Behind the Stones: Mount Moriah Cemetery Tour**  
Mike Runge, City of Deadwood Archivist  
*Trolley Transportation Leaves from HARCC (Meet @ 12:30 PM)*
- 1:30 - 4:30 PM      **Board of Trustees Meeting at Days of '76 Museum**
- 3:30 - 5:00 PM      **Conference Registration at Days of '76 Museum**  
*Includes free afternoon museum admission!*

### **THURSDAY, MAY 8**

- 7:30 - 8:30 AM      **Registration at HARCC**
- 8:00 - 8:20 AM      **Welcome from Dr. Ben Jones & Conference Logistics**
- 8:30 - 9:30 AM      **Session 1 Suds, Duds, and Mud: The Mysteries of Laundress Life at Fort Meade**  
Dr. Linea Sundstrom
- 9:30 - 9:45 AM      **Refreshment Break**
- 9:45 - 10:45 AM    **Session 2 South Dakota's 'Grand Old Man': The Secret Life and Adventures of Abolitionist and Suffragist General Beadle**  
Dr. Justin Blessinger, Dakota State University

- 10:45 - 11:45 AM **Session 3 Murder, Mayhem, and the Ku Klux Klan in South Dakota**  
Arley Fadness, SD Humanities Council Speakers Bureau
- 11:45AM - 1:00 PM **Conference Luncheon**
- 1:00 - 2:00 PM **Session 4 Remembering the Children: Rapid City Indian Boarding School Documentary and Discussion Panel**  
Amy Sazue, Remembering the Children  
Dr. Eric Zimmer, Consultant Historian
- 2:00 - 2:15 PM **Refreshment Break**
- 2:15 - 3:15 PM **Session 5 Beyond Translation: The Museum's Advisory Panel on Oceti Sakowin Language**  
Daniel Moeckly, SDSHS Museum Curator of Exhibits  
Violet Catches, Language Advisor  
Dr. Art Zimiga, Language Advisor
- 3:15 - 4:15 PM **Session 6 From Owned to Landowners: Black Homesteaders (*along with their photobombing horses and one very happy dog*) in Photographs**  
Dr. Jacob Friefeld, Director of the Center for Lincoln Studies, University of Illinois Springfield
- 5:00 - 7:00 PM **SDSHS Foundation Networking Social at Saloon #10**

## **FRIDAY, MAY 9**

- 7:30 - 8:30 AM **Registration at HARCC**
- 8:00 - 9:00 AM **Welcome & Session 7 Mammoths in the Bog - Bone Flakes Abound: A 13,000 Year Old Mystery**  
Dr. L. Adrien Hannus, Augustana University (retired)
- 9:00 - 9:15 AM **Refreshment Break**
- 9:15 - 10:15 AM **Session 8 Research Rabbit Trails: The Story of an Escaped Con, Pitchfork Fight, and Love Poem**  
Christina Blessinger, Lake County Museum
- 10:15 - 11:30 AM **Session 9 Unlocking the Mysteries of the Archives**  
Mike Runge, City of Deadwood Archivist  
Zane Martin, Curator for the Indian Arts and Craft Board, Sioux Indian Museum; NPS Museum Specialist for Mount Rushmore, Jewel Cave, and Devils Tower  
SDSHS Archives Staff TBD

11:30 AM - 1:30 PM **Awards Luncheon and Keynote Speaker Dr. Patricia Limerick**

Title TBA

1:45 - 2:45 PM **Session 10 A Gathering of the Rich and Shameless: The Strange Death of Agnes Polreis and the Sensational South Dakota Murder Trials of Emma Kaufmann**

Wayne Fanebust, SD Humanities Council Speakers Bureau

3:00 - 4:00 PM **Treasures in the Basement: City of Deadwood Archives Tour**

&

Mike Runge, City of Deadwood Archivist

4:00 - 5:00 PM

Announcement Draft, K. Lamie 02/25/2025; *Subject to Revisions*