



# Historic Preservation Commission Meeting Agenda

Wednesday, July 28, 2021 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

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1. **Call Meeting to Order**

2. **Roll Call**

3. **Approval of Minutes**

- [a.](#) Approve Minutes of July 14, 2021 Meeting

4. **Voucher Approvals**

- [a.](#) HP Operating Vouchers  
[b.](#) Approve HP Grant Vouchers 7/28/21  
[c.](#) HP Revolving Vouchers 7/28/21

5. **HP Programs and Revolving Loan Program**

- [a.](#) Revolving Loan Requests  
Ron & Tate Underhill - 33 Taylor Ave. - RLF Preservation Loan Request  
Ron & Tate Underhill - 33 Taylor Ave. - Loan Extension Request  
Sylvia Trentz - 57 Lincoln - Loan Extension Request  
John & Sharon Martinisko - 53 Taylor St. - Request to Forgive  
Luela Krebs - 77 Stewart - Loan Extension Request  
Daniel & Shaunna Sjomeling - 405 Williams - Loan Extension Request
- [b.](#) Historic Facade Easement Application - Keating Resources - 51, 53, 56 Sherman Street
- [c.](#) Cara Potter, 152 Charles Street, request to be accepted into Vacant Home Program

6. **Old or General Business**

- [a.](#) Formal approval of 2022 Historic Preservation Budget from public meeting and budget session on July 27, 2021 (Budget to be uploaded after budget session)
- [b.](#) Award \$95,000.00 to qualifying entities as recommended for the 2021 Outside of Deadwood Grant program.
- [c.](#) Approve Broken Boot Gold Mine Not-for-Profit Grant Request in the amount of \$8,160.00 for repairs to reopen section of mine tour.
- [d.](#) Request for funding to share costs for Promotion of the 100th anniversary of the Days of '76 at the National Finals Rodeo in Las Vegas in the amount of \$5,000.00 to be paid from HP Public Education & Advocacy.

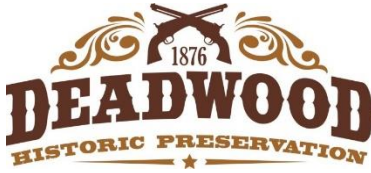
7. **New Matters Before the Deadwood Historic District Commission**

- [a.](#) COA 210126 Keating Resources - 51 53 55 Sherman St. - Replace Windows

8. **New Matters Before the Deadwood Historic Preservation Commission**
  - a. PA 210130 - 40 Taylor Avenue - Martin & Amanda Reynolds - New Construction
9. **Items from Citizens not on Agenda**  
(Items considered but no action will be taken at this time.)
10. **Staff Report**  
(Items considered but no action will be taken at this time.)
  - a. Fassbender Photographic Collection - 2021 Second Quarter Newsletter
  - b. South Dakota Gaming Statistics Monthly Summary for June 2021
11. **Committee Reports**  
(Items considered but no action will be taken at this time.)
12. **Adjournment**

***Note:*** All Applications ***MUST*** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.

Please practice the CDC's social distancing recommendations



# Historic Preservation Commission Meeting Minutes

Wednesday, July 14, 2021 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

## 1. Call Meeting to Order

A quorum present, Chairman Berg called the Deadwood Historic Preservation Commission meeting to order on July 14, 2021 at 5:00 p.m.

## 2. Roll Call

PRESENT

HP Commission Chair Dale Berg  
 HP Commission Vice Chair Bev Posey  
 HP Commission 2nd Vice Chair Robin Carmody  
 HP Commissioner Jill Weber

ABSENT

HP Commissioner Leo Diede  
 HP Commissioner Trevor Santochi  
 HP Commissioner Tony Williams

STAFF PRESENT

Kevin Kuchenbecker, Historic Preservation Officer  
 Cindy Schneringer, Administrative Assistant  
 Mike Walker, Neighborworks Director  
 Charlie Struble, City Commissioner

## 3. Approval of Minutes

a. HPC Minutes 6/23/21 Meeting

***It was moved by Commissioner Weber and seconded by Commissioner Posey to approve the HPC Minutes of June 23, 2021. Voting Yea: Berg, Posey, Carmody, Weber***

b. HPC Special Meeting 6/29/21 Minutes

***It was moved by Commissioner Posey and seconded by Commissioner Carmody to approve the HPC Special Meeting minutes of June 29, 2021. Voting Yea: Berg, Posey, Carmody, Weber***

## 4. Voucher Approvals

a. HP Operating Vouchers 7.14.21

***It was moved by Commissioner Posey and seconded by Commissioner Weber to approve the HP Operating Vouchers in the amount of \$146,472.14. Voting Yea: Berg, Posey, Carmody, Weber***

- b. HP Revolving Vouchers 7/14/21

***It was moved by Commissioner Weber and seconded by Commissioner Posey to approve the HP Revolving Vouchers in the amount of \$3,341.56. Voting Yea: Berg, Posey, Carmody, Weber***

## 5. HP Programs and Revolving Loan Program

- a. Masonic Lodge - 715 Main St. - Commercial Loan Request

***It was moved by Commissioner Posey and seconded by Commissioner Weber to approved the commercial loan request for the Masonic Lodge, 715 Main St. Voting Yea: Berg, Posey, Carmody, Weber***

- b. Retaining Wall Program Applications

8 Jefferson - Larry & Marci Shama - Retaining Wall Application

56 Lincoln - Tim Conrad - Retaining Wall Application

300 McGovern Hill - Trinity Conrad - Retaining Wall Application

Mr. Kuchenbecker stated we have three applications for the retaining wall program. They are for 8 Jefferson - Larry and Marcia Shama, 56 Lincoln - Tim Conrad, and 300 McGovern Hill - Trinity Conrad. The retaining wall at 8 Jefferson is currently up against the house. It is actually moving into the porch. It meets all three criteria. 56 Lincoln is the log cabin which was considered for demolition but withdrawn and is entered into the vacant home program. The retaining wall is on the downhill side of the cabin and is a historic wall. If it fails it threatens a historic house. At this point it can be considered life safety and meets all three of the criteria. 300 McGovern Hill is a cinderblock retaining wall that is not historic. If it fails it won't threaten a historic resource nor is it life safety so it doesn't meet the criteria. Staff recommends placing 8 Jefferson and 56 Lincoln in program and rejecting 300 McGovern Hill as it doesn't meet the criteria. ***It was moved by Commissioner Posey and seconded by Commissioner Weber to approve the retaining wall applications for 8 Jefferson and 56 Lincoln and to deny the application for 300 McGovern Hill.***

***Voting Yea: Berg, Posey, Carmody, Weber***

## 6. Old or General Business

- a. Main Street Initiative request for funding to share in costs for Roger Brooks International consultation in the amount of \$5,000.00.

Mr. Ken Geinger stated MSI brought Roger Brooks to Deadwood in 2015 and he provided a lot of good ideas and suggestions. MSI met as a group and would like to bring him back. We have entered into a contract with him. He will be in Deadwood on July 28th and 29th. His contract is for \$10,100.00. We are asking HPC to share the cost again in the amount of \$5,000.00. ***It was moved by Commissioner Weber and seconded by Commissioner Carmody to recommend to City Commission to approve MSI request for funding to share in costs for Roger Brooks International consultation in the amount of \$5,000.00. Voting Yea: Berg, Posey, Carmody, Weber***



- b. Digitization of Lawrence County Tax Records Phase IV in the amount not to exceed \$2,300.00 from the budgeted 2021 HP Archives line item.

Mr. Kuchenbecker stated for quite some time we have been digitizing documents that were saved from the dumpster from Lawrence County twenty-five plus years ago. They provide great historical information and genealogical information we use for our research. It will all be incorporated on our online search engine. This is a continuation of it. We will be digitizing state attorney criminal dockets from 1955-1979 and Lawrence County tax records from 1931-1934. ***It was moved by Commissioner Weber and seconded by Commissioner Posey to approve the digitization of Lawrence County Tax Records Phase IV in the amount not to exceed \$2,300.00 from the budgeted 2021 HP Archives line item. Voting Yea: Berg, Posey, Carmody, Weber***

- c. Enter into a contract to repair historic cyanide roof at 33 Taylor Avenue through a special grant in the amount of \$12,975.00 from the HP Revolving Loan Program.

Mr. Kuchenbecker stated this is something a couple of owners ago, prior to Rhon Underhill, came to us wanting to reroof - taking the cyanide lids off and putting asphalt on there. We worked out a deal where we would pay the difference to maintain the uniqueness of the cyanide roof. The cost difference of removing and replacing compared to putting asphalt is \$12,975.00. Previous commissions had approved that grant and felt the cyanide lids were an important component. In fact, we hired an architect and engineer to come in and put together the specifications to save that roof. The tours stop and point the roof out. One of the things we are working on, if this is approved, is an interpretive panel on Jackson. Staff recommends moving forward with this. ***It was moved by Commissioner Weber and seconded by Commissioner Posey to approve entering into a contract to repair historic cyanide roof at 33 Taylor Avenue through a special grant in the amount of \$12,975.00 from the HP Revolving Loan Program. Voting Yea: Berg, Posey, Carmody, Weber***

## 7. New Matters Before the Deadwood Historic District Commission

- a. COA 210127 - Dale Morris (ZCN, LLC) - 1906 Deadwood Mtn. Dr. - Install Generator

Mr. Kuchenbecker stated this is a contributing structure in the South Deadwood Planning Unit constructed 1906/1909. The applicant is requesting to install a generator for life/safety use at hotel. Currently during power failure there is no access to run elevators for disabled guests and no access to the ground floor other than the stairs. Generator would be the size of a small car and be placed on the outdoor patio near the wall where a current dumpster sits. We would request an HPC approved fence to be constructed around the generator for a pleasing aesthetic look. The generator will also supply emergency lighting and cooling to the server room. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Weber and seconded by Commissioner Carmody based***

***upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness for Dale Morris ZCN LLC, 1906 Deadwood Mtn. Dr. to install generator. Voting Yea: Berg, Posey, Carmody, Weber***

- b. COA 210128 - Peter & Linda Christeleit - 61 Sherman - Rehab front entry

Mr. Kuchenbecker stated this is a contributing structure located in the South Deadwood Planning Unit circa 1920. The applicants are requesting permission to change the front entry alcove from a 5' wide x 7' deep entry into a 5' wide x 1' to 3' deep entry depending on the header. Remove current door on the left and reconstruct the entry using wood or brick siding to match the structure. Install a new wood door with one side light on the left and transom. The door will be facing the street. The correction will create a better traffic flow, better natural light and air flow. Repair and restore the front window and paint the same color of red as the building next to this structure. The current is not original to the building as it was added when the structure was converted into office space. Staff conducted a site visit and confirmed a door was located in this location at one time in the original 7' deep set back area. However, it did not have the side light or transom. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. The applicant is also requesting to be in the Façade Easement Program. ***It was moved by Commissioner Posey and seconded by Commissioner Carmody based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness for Peter and Linda Christeleit, 61 Sherman to remodel entry. Voting Yea: Berg, Posey, Carmody, Weber***

## **8. New Matters Before the Deadwood Historic Preservation Commission**

- a. PA 210129 - Daniel Schaak - 68 Lincoln - Add Deck

Mr. Kuchenbecker stated this is a non-contributing structure located in the Ingleside Planning Unit constructed 2009. The applicant is requesting permission to extend the front deck above the garage and deck on side of the house adding a wider stair case and an upper level deck off of the master bedroom. Decking will be a brown composite, 10x10 and 8x8 posts will be Douglas Fir. All joints and beams will be thick Douglas Fir. The proposed work and changes does not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Carmody and seconded by Commissioner Posey based upon all the evidence presented, I find that this project DOES NOT encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places,***

***and therefore move to grant a project approval for Daniel Shaak, 68 Lincoln to add deck. Voting Yea: Berg, Posey, Carmody, Weber***

- b. PA 210131 - Carey Potter -152 Charles - Construct New Front Porch

Mr. Kuchenbecker stated this is a contributing structure located in the Cleveland Planning Unit circa 1890. The applicant is requesting permission to add small gable over front porch to direct eye to door and create three gables, balancing home aesthetically. This is an addendum to PA 210086. The proposed change although not fully documented to the resource appears to be appropriate to the structure. In researching the Sanborn Fire Insurance maps, it appears the porch configuration changed between 1903 and 1909 and was altered to its current configuration after 1948. It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Weber and seconded by Commissioner Posey based upon all the evidence presented, I find that this project DOES NOT encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval for Carey Potter, 152 Charles to construct new front porch. Voting Yea: Berg, Posey, Carmody, Weber***

## 9. Items from Citizens not on Agenda

(Items considered but no action will be taken at this time.)

## 10. Staff Report

(Items considered but no action will be taken at this time.)

Mr. Kuchenbecker reported the Community Picnic is this Sunday, July 18th from 4:00 p.m. to 6:00 p.m. at Gordon Park. The Projects Committee will be meeting July 20th at 2:00 p.m. to review and make decisions on the 2021 Outside Deadwood Grants. We received twelve applications and do have \$100,000.00 budgeted. We have a budget meeting scheduled for July 27th at 7:00 a.m. You have a special invitation for August 2nd from ZCN and Dale Morris for the conservation easement on McGovern Hill. The Roger Brooks meeting is coming up on July 28th at Spring Hill Suites. 33 Taylor is moving forward. Stage coach operations have ceased for the season for safety reasons. The retaining wall on Denver Street is moving forward. Mt. Moriah project is getting ready to start. Has been crazy up there as well. We've had up to 700 people a day, not including tour buses, just walking through. Tomorrow we are hosting the West River Chapter of the South Dakota American Institute of Architects at Outlaw Square with a presentation and then touring some of our upper floors we've got going on like the Brothel Museum. Kind of cool to show off. Lots going on.

- a. 2020 South Dakota Historical Society Press Report

Mr. Kuchenbecker reported about fifteen to twenty years ago, the Historic Preservation Commission provided \$250,000.00 to the South Dakota State Historical Society Press for a revolving loan fund for publications that deal with Deadwood, Black Hills and western South Dakota. They provide us with an annual report. As you can see their endowment has grown of the the last twenty plus years. They

have printed two new books with one being the Savior of Deadwood by Dr. Wolff which is about James K.P. Miller. The other book by Sandy Barnard is part of the South Dakota series and is on George Armstrong Custer. We receive ten of those complimentary along with their financial report.

## **11. Committee Reports**

(Items considered but no action will be taken at this time.)

Commissioner Posey reported there is a new best window display winner and it is Deadwood Day Spa on Sherman Street.

Commissioner Weber reported they visited with Mike Runge about some of the horseshoes found at the livery that was right by the Celebrity Hotel. They will be looking at the horseshoes for an exhibit and will bring their farrier as well. Also will look at the horseshoes from the Montana Corral that used to be where the parking ramp is now.

## **12. Adjournment**

The Historic Preservation Commission Meeting adjourned at 5:38 p.m.

ATTEST:

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Chairman, Historic Preservation Commission

*Minutes by Cindy Schneringer, Historic Preservation Office/Recording Secretary*

# Historic Preservation Commission

## Bill List - 2021

OPERATING ACCOUNT: Historic Preservation
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<b>HP Operating Account Total:</b>	<b>\$ 88,364.23</b>
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Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

HPC	07/28/21
Batch	08/03/21

PACKET: 05453 08/03/21 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-4848	ADOBE INC					
I-1454369675		ACROBAT PRO DC LICENSES QTY 8	1,631.04			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		ACROBAT PRO LICENSES-HP		215 4641-426	SUPPLIES	815.52
		ACROBAT PRO LICENSES-P&Z		101 4640-426	SUPPLIES	203.88
		ACROBAT PRO LICENSES-PD		101 4210-426	SUPPLIES	203.88
		ACROBAT PRO LICENSES-FINANCE		101 4193-426	SUPPLIES	203.88
		ACROBAT PRO LICENSES-PW		101 4310-422	PROFESSIONAL SERVICES-ST	67.96
		ACROBAT PRO LICENSES-PW		101 4520-422	PROFESSIONAL SERVICES	67.96
		ACROBAT PRO LICENSES-PW		602 4330-422	PROFESSIONAL SERVICES	67.96
		=== VENDOR TOTALS ===	1,631.04			
=====						
01-4711	AMAZON CAPITAL SERVICES					
I-1WWM-J7XR-D9JF		LAPTOP BAG - HP	33.89			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		LAPTOP BAG - HP		215 4641-426	SUPPLIES	33.89
I-1YPQ-PXKD-DQ6T		PLANTRONICS HEADSET-ARCHIVES	185.90			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		PLANTRONICS HEADSET-ARCHIVES		215 4641-426	SUPPLIES	185.90
		=== VENDOR TOTALS ===	219.79			
=====						
01-1441	DAYS OF '76, INC.					
I-071421HP		2021 DAYS OF 76 RODEO	65,000.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		2021 DAYS OF 76 RODEO		215 4572-250	VISITOR MGMT DAYS 76 ROD	65,000.00
		=== VENDOR TOTALS ===	65,000.00			
=====						
01-3704	GARDNER CONSTRUCTION					
I-2138		CONCRETE WORK - DAYS LEANTO	3,258.59			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		CONCRETE WORK - DAYS LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	3,258.59
		=== VENDOR TOTALS ===	3,258.59			
=====						
01-1483	KNECHT HOME CENTER					
I-6383378		44-2X12-16 16-2X10-12 TRTD-RG	6,163.08			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		44-2X12-16 16-2X10-12 TRTD-RGU		215 4577-735	CAPITAL ASSETS RODEO GRO	6,163.08
		=== VENDOR TOTALS ===	6,163.08			

PACKET: 05453 08/03/21 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

Section 4 Item a.

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-2205	KUCHENBECKER, KEVIN					
I-072621		REIMBURSE 1900 PAN PHOTO DWD	85.19			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		REIMBURSE 1900 PAN PHOTO DWD		215 4573-330	HIST. INTERP. HISTORIC C	85.19
=== VENDOR TOTALS ===			85.19			
=====						
01-4707	MERCHANT, ERICA					
I-072121		PAINT DWD LOGO ON MAIN ST ARC	1,245.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		PAINT DWD LOGO ON MAIN ST ARCH		215 4577-775	CAPITAL ASSETS GENERAL M	1,245.00
=== VENDOR TOTALS ===			1,245.00			
=====						
01-0684	NORTHWEST PIPE FITTINGS, INC.					
I-1355021		METER LID CURB BOX LID-RG WAT	1,257.48			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		METER PIT LID LOCK LID-RG VIP		215 4577-735	CAPITAL ASSETS RODEO GRO	1,100.10
		METER PIT LID LOCK LID-RG VIP		602 4330-426	SUPPLIES	157.38
=== VENDOR TOTALS ===			1,257.48			
=====						
01-4186	RICH, BILL					
I-2021-02		P&ZC MEETING ATTEND 7/21/21	35.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: Y		
		P&ZC MEETING ATTEND 7/21/21		101 4640-422	PROFESSIONAL SERVICES	35.00
=== VENDOR TOTALS ===			35.00			
=====						
01-3785	TALLGRASS LANDSCAPE ARCHITECTU					
I-2021-070		MT MORIAH PRESERV CONST ADMIN	520.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		MT MORIAH PRESERV CONST ADMIN		607 4580-422	PROFESSIONAL SERVICES	520.00
=== VENDOR TOTALS ===			520.00			
=====						
01-2014	TOMS, DON					
I-LEDGER PROJECT 715		1900 LC TAX RECORDS BK 2 OF 2	600.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: Y		
		1900 LC TAX RECORDS BK 2 OF 2		215 4573-335	HIST. INTERP. ARCHIVE DE	600.00
=== VENDOR TOTALS ===			600.00			

PACKET: 05453 08/03/21 - HP OPERATING -

Section 4 Item a.

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0213		TRUGREEN CHEM-LAWN				
I-143394154		LAWN SERVICE - MT MORIAH	892.50			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		LAWN SERVICE - MT MORIAH		607 4580-422	PROFESSIONAL SERVICES	892.50
=== VENDOR TOTALS ===			892.50			
=====						
01-0578		TWIN CITY HARDWARE & LUMBER				
I-2106-140340		1323 R-PANEL 26GA-RG UPDATES	7,366.48			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		1323 R-PANEL 26GA-RG UPDATES		215 4577-735	CAPITAL ASSETS RODEO GRO	7,366.48
I-2107-144419		FASTENERS HAND TRUCK-ARCH HP	50.49			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		FASTENERS HAND TRUCK-ARCH HP		215 4641-426	SUPPLIES	50.49
=== VENDOR TOTALS ===			7,416.97			
=====						
01-4356		THE UPS STORE #5137				
I-12107235137A003660		SHIPPING RTN DEFECTIVE CAMER	39.59			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		SHIPPING RTN DEFECTIVE CAMERA		215 4641-426	SUPPLIES	39.59
=== VENDOR TOTALS ===			39.59			
=== PACKET TOTALS ===			88,364.23			



PACKET: 05453 08/03/21 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

Section 4 Item a.

## \*\* T O T A L S \*\*

INVOICE TOTALS	88,364.23
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	88,364.23
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## \*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====		=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
	2021	101-2020	ACCOUNTS PAYABLE	782.56-*				
		101-4193-426	SUPPLIES	203.88	0	440.55- Y		
		101-4210-426	SUPPLIES	203.88	23,400	14,505.81		
		101-4310-422	PROFESSIONAL SERVICES-ST	67.96	15,000	10,319.08- Y		
		101-4520-422	PROFESSIONAL SERVICES	67.96	30,000	23,929.42		
		101-4640-422	PROFESSIONAL SERVICES	35.00	21,000	14,494.00		
		101-4640-426	SUPPLIES	203.88	5,000	4,331.32		
		215-2020	ACCOUNTS PAYABLE	85,943.83-*				
		215-4572-250	VISITOR MGMT DAYS 76 ROD	65,000.00	65,000	0.00	730,000	445,160.92
		215-4573-330	HIST. INTERP. HISTORIC C	85.19	10,000	8,231.61		
		215-4573-335	HIST. INTERP. ARCHIVE DE	600.00	42,400	27,755.27		
		215-4577-735	CAPITAL ASSETS RODEO GRO	14,629.66	1,235,000	1176,184.49		
		215-4577-775	CAPITAL ASSETS GENERAL M	1,245.00	260,000	258,125.00		
		215-4577-800	CAPITAL ASSETS-DAYS MUSE	3,258.59	0	34,666.48- Y		
		215-4641-426	SUPPLIES	1,125.39	15,000	11,536.12		
		602-2020	ACCOUNTS PAYABLE	225.34-*				
		602-4330-422	PROFESSIONAL SERVICES	67.96	375,000	161,905.48		
		602-4330-426	SUPPLIES	157.38	14,500	6,420.15- Y		
		607-2020	ACCOUNTS PAYABLE	1,412.50-*				
		607-4580-422	PROFESSIONAL SERVICES	1,412.50	20,000	1,506.36- Y		
		999-1301	DUE FROM FUND 101	782.56 *				
		999-1306	DUE FROM FUND 215	85,943.83 *				
		999-1342	DUE FROM FUND 602	225.34 *				
		999-1344	DUE FROM FUND 607	1,412.50 *				
		** 2021 YEAR TOTALS		88,364.23				

7/28/2021 11:37 AM

A/P Regular Open Item Register

PAGE: 5

Section 4 Item a.

PACKET: 05453 08/03/21 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
101	8/2021	782.56
215	8/2021	85,943.83
602	8/2021	225.34
607	8/2021	1,412.50

NO ERRORS

NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

# Historic Preservation Commission

## 2021 Grant Funds

HP GRANT ACCOUNT: Historic Preservation	
HP Grant Account Total:	\$ 32,325.23

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Officer

HPC	07/28/21
Batch	08/03/21

7/28/2021 10:27 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 05454 08/03/21 HP GRANTS - BA  
 VENDOR SET: 01 CITY OF DEADWOOD  
 SEQUENCE : ALPHABETIC  
 DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-2849	DAKOTA LUMBER CO					
I-2107176345		WINDOWS 118 CHARLES PONTIUS	3,371.76			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		WINDOWS 118 CHARLES PONTIUS		216 4653-962-03	WINDOWS GRANT EXPENSE	3,371.76
I-2107176348		DOOR 36 LINCOLN ROBUCK	300.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		DOOR 36 LINCOLN ROBUCK		216 4653-962-03	WINDOWS GRANT EXPENSE	300.00
I-2107176349		STORM DOOR 36 LINCOLN ROBUCK	600.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		STORM DOOR 36 LINCOLN ROBUCK		216 4653-962-03	WINDOWS GRANT EXPENSE	600.00
		=== VENDOR TOTALS ===	4,271.76			
=====						
01-1496	LAWRENCE CO. REGISTER OF DEEDS					
I-072121		REC FEE FACADE 616 618 MAIN A	30.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		REC FEE FACADE 616 618 MAIN AS		216 4653-962-05	FACADE EASEMENT EXPENSE	30.00
		=== VENDOR TOTALS ===	30.00			
=====						
01-1496	LAWRENCE CO. REGISTER OF DEEDS					
I-072721-2		REC FEE FACADE 1 3 5 BURNHAM	30.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		REC FEE FACADE 1 3 5 BURNHAM H		216 4653-962-05	FACADE EASEMENT EXPENSE	30.00
		=== VENDOR TOTALS ===	30.00			
=====						
01-1496	LAWRENCE CO. REGISTER OF DEEDS					
I-072721-3		HENRY GEORGE MURAL 664 MAIN B	30.00			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		HENRY GEORGE MURAL 664 MAIN BO		216 4653-962-09	GHOST MURAL GRANT EXPENS	30.00
		=== VENDOR TOTALS ===	30.00			
=====						
01-4707	MERCHANT, ERICA					
I-61721		HENRY GEORGE MURAL 664 MAIN	14,988.47			
8/03/2021	FNBAP	DUE: 8/03/2021 DISC: 8/03/2021		1099: N		
		HENRY GEORGE MURAL 664 MAIN		216 4653-962-09	GHOST MURAL GRANT EXPENS	14,988.47
		=== VENDOR TOTALS ===	14,988.47			

7/28/2021 10:27 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 05454 08/03/21 HP GRANTS - BA

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* T O T A L S \*\*

INVOICE TOTALS	32,325.23
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

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BATCH TOTALS	32,325.23
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\*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG	ANNUAL BUDGET	BUDGET AVAILABLE
2021		216-1310	DUE FROM OTHER FUNDS	12,975.00					
		216-2020	ACCOUNTS PAYABLE	32,325.23-*					
		216-4653-962-03	WINDOWS GRANT EXPENSE	4,271.76	50,000	37,136.12			
		216-4653-962-05	FACADE EASEMENT EXPENSE	60.00	150,000	68,056.00			
		216-4653-962-09	GHOST MURAL GRANT EXPENS	15,018.47	0	15,018.47-	Y		
		999-1307	DUE FROM FUND 216	32,325.23 *					
			** 2021 YEAR TOTALS	32,325.23					

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HP REVOLVING LOAN FUND  
A/P Invoices Report  
7/1/2021 - 7/31/2021  
Batch = 2

Page 1 of 1

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
07/2021								
Deadwood Electric - 22060 - 7/28/2021 - 1,032.74 - Batch: 2 - Header Memo: Work Done-57 Lincoln-Trentz								
Work Done-57 Lincoln-Trentz	100	1201				NOTES RECEIVABLE	1,032.74	
Work Done-57 Lincoln-Trentz	100	2000				ACCOUNTS PAYABLE		1,032.74
Total:							1,032.74	1,032.74
Fasnacht, Glenn - VARIOUS MEN FASNACHT - 7/28/2021 - 751.01 - Batch: 2 - Header Memo: Materials-74 Van Buren-Fasnacht								
Materials-74 Van Buren-Fasnacht	100	1201				NOTES RECEIVABLE	751.01	
Materials-74 Van Buren-Fasnacht	100	2000				ACCOUNTS PAYABLE		751.01
Total:							751.01	751.01
LAWRENCE COUNTY REGISTER OF DEEDS - REC SAT GORDER - 7/28/2021 - 30.00 - Batch: 2 - Header Memo: Record Mortgage Satisfaction-3								
Rodenhause-Gorder								
Record Mortgage Satisfaction-3 Rodenhause-Gorder	100	5200				CLOSING COSTS DISBURSED	30.00	
Record Mortgage Satisfaction-3 Rodenhause-Gorder	100	2000				ACCOUNTS PAYABLE		30.00
Total:							30.00	30.00
Quality First Roofing, Inc. - 3214 - 7/28/2021 - 9,500.00 - Batch: 2 - Header Memo: Work Done-562 Williams-Weber								
Work Done-562 Williams-Weber	100	1201				NOTES RECEIVABLE	9,500.00	
Work Done-562 Williams-Weber	100	2000				ACCOUNTS PAYABLE		9,500.00
Total:							9,500.00	9,500.00
Total:							11,313.75	11,313.75
Report Total:							11,313.75	11,313.75

Deadwood HP Total Loans 6/30/2021	
Accounting Balance (Fund EZ)	This Month
Loans per Balance Sheet - Acct 100-1201	\$1,909,060.19
TOTAL	\$ 1,909,060.19
Loan Base:	This Month
Investor Trial Balance Report	\$ 1,896,865.19
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
6/23/2021 Meeting Packet	\$ 1,695.00 Trentz
TOTAL	\$ 1,909,060.19
	Difference \$ -

Deadwood HP Total Loans 6/30/2021	
Accounting Balance (Fund EZ)	
Loans per Balance Sheet	\$1,909,060.19
TOTAL	\$ 1,909,060.19
Loan Base:	
Pool Trial Balance Report	\$ 1,896,865.19
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
6/23/2021 Meeting Packet	\$ 1,695.00 Trentz
TOTAL	\$ 1,909,060.19
	Difference \$ -

7/22/2021 8:45am

HP REVOLVING LOAN FUND  
Balance Sheet  
As of Date: 6/30/2021

Page 1 of 1

	Current Year	Prior Year
<b>Assets</b>		
Current Assets		
CASH-SAVINGS	(687,960.90)	(675,447.60)
CASH-INVESTED	756,731.51	756,731.51
ACCRUED INTEREST RECEIVABLE	1,536.42	1,536.42
LATE FEES RECEIVABLE	3,986.87	3,986.87
Accounts Receivable-Haverberg	1,438,593.57	1,508,806.43
Total Current Assets	1,512,887.47	1,595,613.63
Other Assets		
NOTES RECEIVABLE	1,909,060.19	1,899,854.50
Total Other Assets	1,909,060.19	1,899,854.50
Total Assets	3,421,947.66	3,495,468.13
<b>Liabilities &amp; Net Assets</b>		
Liabilities		
Current Liabilities		
Allowance for Uncollected	52,716.14	103,120.44
ACCOUNTS PAYABLE	(1,449.34)	(1,449.34)
YE Accounts Payable	1,449.34	1,449.34
Total Current Liabilities	52,716.14	103,120.44
Total Liabilities	52,716.14	103,120.44
Net Assets		
NET ASSETS	4,608,323.95	4,608,323.95
Fund Balance	56,035.78	56,035.78
NET EARNINGS(LOSS)	(3,172,858.30)	(3,149,742.13)
PRIOR YEAR EARNINGS (LOSS)	116,204.47	116,204.47
HP BUDGET	(13,474.38)	(13,474.38)
PRIOR YEAR HP BUDGET	1,775,000.00	1,775,000.00
Total Net Assets	3,369,231.52	3,392,347.69
Total Liabilities & Net Assets	3,421,947.66	3,495,468.13



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HP REVOLVING LOAN FUND  
Statement of Revenue and Expense  
Current Period: 6/1/2021 - 6/30/2021  
Year-to-Date: 1/1/2021 - 6/30/2021

	Current Year Current Period	Current Year Year-to-Date	Prior Year Current Period	Prior Year Year-to-Date
<b>Revenue</b>				
PERM LOAN INTEREST	733.90	6,041.66	637.45	5,947.18
SAVINGS INTEREST	310.45	2,319.63	668.31	5,377.18
SERVICE FEES	250.00	1,415.00	150.00	1,010.00
LATE FEES	0.00	405.10	50.00	603.98
APPLICATION FEES	914.56	5,952.04	266.73	3,739.67
CLOSING COSTS	341.56	1,626.48	220.12	2,828.02
Interest Income Settlement	4,812.39	29,128.60	10,107.57	20,279.92
<b>Total Revenue</b>	<b>7,362.86</b>	<b>46,888.51</b>	<b>12,100.18</b>	<b>39,785.95</b>
<b>Expenses</b>				
PROF & ADMIN FEES	4,137.50	19,752.50	12,655.00	28,042.50
CLOSING COSTS DISBURSE	90.00	1,515.16	60.00	2,580.00
Ghost Mural Grant Expense	0.00	0.00	13,344.58	13,344.58
Foundation Grant Expense	0.00	(753.49)	205.00	34,756.85
Windows Grant Expense	4,800.00	14,866.79	12,282.40	78,193.72
Elderly Grant Expense	(14.41)	(1,574.71)	2,083.27	35,327.14
Siding Grant Expense	0.00	0.00	12,833.05	40,079.08
Facade Grant Expense	77,091.32	81,884.00	72,721.54	72,751.54
<b>Total Expenses</b>	<b>86,104.41</b>	<b>115,690.25</b>	<b>126,184.84</b>	<b>305,075.41</b>
<b>Excess or (Deficiency) of Revenue Over Expenses</b>	<b><u>(78,741.55)</u></b>	<b><u>(68,801.74)</u></b>	<b><u>(114,084.66)</u></b>	<b><u>(265,289.46)</u></b>

Time: 09:53:52  
Date: 06/30/2021

# TRIAL BALANCE: POOLS

Page: 1  
Run By: SUSAN17

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HP POOL #: C0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
LIFE SAFTY	CHPLSFR05	Russo-fairmont	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	250.00	35955.00	0.00	0.00
LIFE SAFTY	CHPLSO805	Russo-oyster Ba	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	83.33	11737.90	0.00	0.00
HPC0DWDH	HPC0DWDH	Deadwood Histor	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	416.67	42040.00	0.00	0.00
HPC0UFNUG	HPC0UFNUG	Nugget Saloon,	2	0	07/01/21	08/01/21	06/18/21	0.0000	No	0.0000	Curr	0.0000	694.44	242420.60	0.00	0.00
HPLSBERG5	HPLSBERG5	Berg Jewelry An	2	0	06/01/21	07/01/21	06/01/21	0.0000	No	0.0000	Curr	0.0000	833.34	16641.40	0.00	0.00
HPLSLOTUS	HPLSLOTUS	Lotus Lic,Perce	2	0	07/01/21	08/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	104.18	19282.64	0.00	0.00
LIFE SAFTY	HPLSNGT07	Nugget Saloon L	2	0	07/01/21	08/01/21	06/18/21	0.0000	No	0.0000	Curr	0.0000	165.72	33043.95	0.00	0.00
HPRLFHAVE	HPRLFHAVE	Haverberg,Blake	2	0	06/01/21	07/01/21	06/04/21	0.0000	No	0.0000	Curr	0.0000	733.33	6005.00	0.00	0.00
HPFORGIV11	HPSIDLTUS	Lotus Lic,Perce	11	1	03/01/17	02/01/27	02/03/17	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HPFORGIV11	HPWNLTUS	Lotus Lic,Perce	2	0	03/01/17	02/01/27	02/03/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													3281.02	427126.49	0.00	0.00
>>> INVESTOR #: HP POOL #: R0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPLSALLEN	HPLSALLEN	Allen,Jesse	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	100.76	18815.42	0.00	0.00
HPLSFOSSO	HPLSFOSSO	Fosso,Bonnie R	2	0	06/01/21	07/01/21	06/01/21	0.0000	No	0.0000	Curr	0.0000	69.45	22499.80	0.00	0.00
HPLSKJR	HPLSKJR	Kirkpatrick,Eli	2	0	07/01/21	08/01/21	06/15/21	0.0000	No	0.0000	Curr	0.0000	104.17	20260.00	0.00	0.00
HPLSRLPON	HPLSRLPON	Pontius,James	2	0	06/01/21	07/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	113.04	4974.03	0.00	0.00
LIFE SAFTY	HPLSSCHD5	Schmidt,Mike	2	0	06/01/21	07/01/21	06/10/21	0.0000	No	0.0000	Curr	0.0000	423.74	34322.89	0.00	0.00
HPLSSULE5	HPLSSULE5	Sulentic,Margar	2	0	06/01/21	07/01/21	06/10/21	0.0000	No	0.0000	Curr	0.0000	165.67	5333.24	0.00	0.00
HPLSTHOM5	HPLSTHOM5	Thompson,Lee	2	0	06/01/21	07/01/21	06/10/21	0.0000	No	0.0000	Curr	0.0000	103.54	21138.32	0.00	0.00
HPRLF	HPRLFBOB5	Bobolz,Lance	2	0	06/01/21	07/01/21	06/07/21	0.0000	No	0.0000	Curr	0.0000	416.67	7916.53	0.00	0.00
HPRLFKN1	HPRLFKN1	Knipper,Anita	2	0	07/01/21	08/01/21	06/24/21	0.0000	No	0.0000	Curr	0.0000	208.33	21875.05	0.00	0.00
HPRLF5K5	HPRLF5K5	Knox,Shanna	2	0	06/01/21	07/01/21	06/15/21	0.0000	No	0.0000	Curr	0.0000	104.17	22083.24	0.00	0.00
HPRLF5HA5	HPRLF5HA5	Shama,Larry	2	0	06/01/21	07/01/21	06/04/21	0.0000	No	0.0000	Curr	0.0000	250.00	7250.00	0.00	0.00
HPRLLSWES	HPRLLSWES	Westendorf,Rand	2	0	06/01/21	07/01/21	06/01/21	0.0000	No	0.0000	Curr	0.0000	165.67	17075.00	0.00	0.00
HPRLSHERT	HPRLSHERT	Herd,David	2	0	06/01/21	07/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	208.33	23750.02	0.00	0.00
Life Sfty	HPRLSJOHN	Johnson,Joette	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	138.89	49444.44	0.00	0.00
HPRLSRITZ	HPRLSRITZ	Ritz,Jody	2	0	07/01/21	08/01/21	06/29/21	0.0000	No	0.0000	Curr	0.0000	51.77	10784.55	0.00	0.00
Life SFTY	HPRLSUNDE	Underhill,Ronal	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	104.17	24791.66	0.00	0.00
HPRLRBUS	HPRLRBUS	Bussiere,Enica	2	0	06/01/21	07/01/21	06/10/21	0.0000	No	0.0000	Curr	0.0000	60.78	6989.62	0.00	0.00
HPSID770	HPSID700	Dragon Belly, L	2	0	03/24/20	03/01/30	03/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3331.80	0.00	0.00
LIFE SAFTY	HPSLRUNG	Runge,Michael	2	0	07/01/21	08/01/21	06/18/21	0.0000	No	0.0000	Curr	0.0000	208.33	21000.00	0.00	0.00

Time: 09:53:52  
Date: 06/30/2021

# TRIAL BALANCE: POOLS

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Page: 2  
Run By: SUSAN17

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
HPVANCMJ	HPVANCMJ0	Johnson, Michael	2	0	12/01/18	12/01/28	12/12/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													2999.48	353635.61	0.00	0.00
>>> INVESTOR #: HP POOL #: R0C DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPLSTREN	CHPLSTREN	Trentz, Sylvia	11	1	09/25/19	06/01/21	05/19/20	0.0000	No	0.0000	Curr	0.0000	0.01	18450.29	0.00	0.00
Pres RL	CHPRPRSCH	Schramm, Steven	11	1	10/30/20	11/01/21	04/19/21	0.0000	No	0.0000	Curr	0.0000	0.01	8509.12	0.00	0.00
RIP SIDING	CHPSIDANT	Antrim, James	11	1	06/09/21	06/10/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
Siding	CHPSIDEUN	Underhill, Ronal	11	1	08/19/20	09/01/21	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
RIP WIN	CHPWNANT	Antrim, James	11	1	10/06/20	06/10/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	20000.00	0.00	0.00
WIN DOOR	CHPWINUN	Underhill, Ronal	11	1	08/19/20	09/01/21	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
HP RL LS	HPRLFLSFA	Fasnacht, Glenn	11	1	10/31/19	11/01/21	06/22/21	0.0000	No	0.0000	Curr	0.0000	0.01	2888.25	0.00	0.00
Group Totals:													0.07	59847.66	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPGORDER	HPGORDER1	Gorder, Robin	2	0	06/01/21	07/01/21	06/01/21	3.5000	No	3.5000	Curr	0.0000	26.92	2395.37	0.00	0.00
Prsv 1	HPRPRSUN1	Underhill, Ronal	2	0	06/01/21	07/01/21	06/03/21	3.5000	No	3.5000	Curr	0.0000	144.99	24855.65	0.00	0.00
HPRREFARS	HPRREFARS	Arsaga, Bryan	2	0	05/01/21	06/01/21	04/22/21	3.5000	No	3.5000	Curr	0.0000	138.49	4738.21	0.00	0.00
Group Totals:													310.40	31989.23	0.00	0.00
>>> INVESTOR #: HP POOL #: R4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPBAUDH47	HPBAUDH47	Bauduin, Mary	2	1	06/15/21	07/01/21	06/15/21	4.0000	No	4.0000	Curr	0.0000	307.17	20872.67	0.00	0.00
HPLSFLOYD	HPLSFLOYD	Floyd, Dustin	2	1	06/15/21	07/01/21	06/15/21	4.0000	No	4.0000	Fixed \$	25.0000	93.46	6731.56	0.00	0.00
REFI LS	HPLSLEWIS	Lewis, Tracy	2	0	06/01/21	07/01/21	06/07/21	4.0000	No	4.0000	Curr	0.0000	113.24	22163.23	0.00	0.00
HPRLFFS47	HPRLFFS47	Fosso, Bonnie R	2	0	06/01/21	07/01/21	06/01/21	4.0000	No	4.0000	Curr	0.0000	119.29	23811.91	0.00	0.00
HPRLFLWS4	HPRLFLWS4	Lewis, Tracy	2	0	06/01/21	07/01/21	06/07/21	4.0000	No	4.0000	Curr	0.0000	26.88	4974.43	0.00	0.00
PRESV	HPRPRLFJO	Johnson, Joette	2	0	06/01/21	07/01/21	06/03/21	4.0000	No	4.0000	Curr	0.0000	119.35	24854.69	0.00	0.00
Group Totals:													779.39	103208.69	0.00	0.00
>>> INVESTOR #: HP POOL #: R4.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPBAUND60	HPBAUND60	Bauduin, Mary	2	0	06/01/21	07/01/21	06/15/21	4.5000	No	4.5000	Curr	0.0000	68.99	1914.90	0.00	0.00
HPLFMORSE	HPLFMORSE	Morse, Marsha	2	0	06/01/21	07/01/21	06/10/21	4.5000	No	4.5000	Curr	0.0000	71.54	3184.50	0.00	0.00
HPLSBLOO2	HPLSBLOO2	Bloom, Kevin	2	0	06/01/21	07/01/21	06/03/21	4.5000	No	4.5000	Curr	0.0000	175.09	9480.04	0.00	0.00
Group Totals:													315.62	14579.44	0.00	0.00
>>> INVESTOR #: HP POOL #: R5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																

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HPRFMORS	HPRFMORS5	Morse, Marsha E.	2	1	06/10/21	07/01/21	06/10/21	5.0000	No	5.0000	Curr	0.0000	33.04	1188.12	0.00	0.00
Group Totals:													33.04	1188.12	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
LIFE SFTY	CHPCLSMAS	Masonic Center	11	1	03/03/21	09/01/21	03/16/21	0.0000	No	0.0000	Curr	0.0000	0.01	41935.35	0.00	0.00
Upper flr	CHPCUPFLA	Deadwood Main,	11	1	04/27/21	10/01/21	05/04/21	0.0000	No	0.0000	Curr	0.0000	0.01	48369.05	0.00	0.00
LIFE SFTY	CHPR0SHOM	Sjomeling, Danie	11	1	12/07/20	11/01/21	02/18/21	0.0000	No	0.0000	Curr	0.0000	0.01	7946.75	0.00	0.00
LIFE SFTY	CHPRLSBLO	Bloom, Kevin	11	1	06/01/21	07/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	25000.00	0.00	0.00
PRESV LOA	CHPRLSJO	Sjomeling, Danie	11	1	02/18/21	08/01/21	05/18/21	0.0000	No	0.0000	Curr	0.0000	0.01	18950.99	0.00	0.00
LIFE SFTY	CHPRLSWEB	Weber, Todd	11	1	02/24/21	09/01/21	02/24/21	0.0000	No	0.0000	Curr	0.0000	0.01	480.56	0.00	0.00
PRES LN	CHPRPSBLO	Bloom, Kevin	11	1	01/22/21	08/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	4904.27	0.00	0.00
Vac Home	CHPRVACWE	Weber, Todd	11	1	01/20/21	05/01/21	05/18/21	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
PRESERV 2	CHPRVUND2	Underhill, Ronal	11	1	03/08/21	08/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	25000.00	0.00	0.00
Group Totals:													0.09	182586.97	0.00	0.00
>>> INVESTOR #: HP POOL #: RRWD DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRRW0MIK	HPRRW0MIK	Mikla, Christine	2	0	06/01/21	07/01/21	06/01/21	0.0000	No	0.0000	Curr	0.0000	164.59	39010.94	0.00	0.00
RW LOAN	HPRW3GORZ	Gorzalka, Amy	2	0	06/01/21	07/01/21	06/07/21	0.0000	No	0.0000	Curr	0.0000	555.03	8426.85	0.00	0.00
HPRWCOOM	HPRWCOOM0	Coomes, Tim	2	0	07/01/21	08/01/21	06/24/21	0.0000	No	0.0000	Curr	0.0000	146.44	13472.10	0.00	0.00
RW LOAN	HPRWMART5	Martinisko, John	2	0	07/01/21	08/01/21	06/29/21	0.0000	No	0.0000	Curr	0.0000	187.60	3188.99	0.00	0.00
HPRWOLSN	HPRWOLSN5	Olson, Steven	2	0	06/01/21	07/01/21	06/14/21	0.0000	No	0.0000	Curr	0.0000	41.37	8415.16	0.00	0.00
RW Payable	HPRWOREAU	Reausaw, Bernie	2	0	08/01/21	09/01/21	06/09/21	0.0000	No	0.0000	Curr	0.0000	740.68	37034.17	0.00	0.00
RW PAYABLE	HPRWPPWEB	Weber, Todd	2	0	06/01/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	161.58	17774.11	0.00	0.00
Group Totals:													1997.29	127322.32	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW0C DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
RW Payable	CHPRWPGAS	Gasper III, Jose	11	1	06/08/21	12/01/21	06/08/21	0.0000	No	0.0000	Curr	0.0000	0.01	1256.12	0.00	0.00
Group Totals:													0.01	1256.12	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW4.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
RW PAYABLE	HPRRWPSHE	Shepherd, Lanny	2	0	07/01/21	08/01/21	06/29/21	4.5000	No	4.5000	Curr	0.0000	179.05	10927.08	0.00	0.00
Group Totals:													179.05	10927.08	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW4C DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRWSWAN	HPRWSWAN2	Swaney, David	2	0	06/01/21	07/01/21	06/07/21	4.0000	No	4.0000	Curr	0.0000	60.22	11870.31	0.00	0.00

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Group Totals:													60.22	11870.31	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CLIENT RW	HPRWBOBO5	Bobolz,Lance	2	0	06/01/21	07/01/21	06/07/21	5.0000	No	5.0000	Curr	0.0000	116.04	15674.10	0.00	0.00
HPRWGATHI	HPRWGATHM	Galthmann,Naomi	2	1	06/07/21	07/01/21	06/07/21	5.0000	No	5.0000	Curr	0.0000	172.45	14666.44	0.00	0.00
HPRWMOR5	HPRWMOR57	Morgan,Richard	2	1	06/03/21	07/01/21	06/03/21	0.0000	No	0.0000	Curr	0.0000	120.09	19492.97	0.00	0.00
Group Totals:													408.58	49833.51	0.00	0.00
>>> INVESTOR #: HP POOL #: RSFND DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPFND771	HPFND770	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9461.50	0.00	0.00
HPFND772	HPFND772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9817.75	0.00	0.00
HPFNDHILL	HPFNDHILL	Hills Partnersh	2	0	12/30/19	11/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	8250.95	0.00	0.00
FOUNDATIO	HPRFNDBUS	Bussiere,Erica	2	0	12/24/20	01/01/31	12/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Foundation	HPRFNDMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIO	HPRFNDUND	Underhill,Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Windows	HPRWNMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/28/20	0.0000	No	0.0000	Curr	0.0000	0.00	19850.00	0.00	0.00
Group Totals:													0.00	77380.20	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPE DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPSNEKAF	CHPSNEKAR	Karas,Lester M.	11	1	10/31/12	10/31/22	09/03/14	0.0000	No	0.0000	Fixed \$	5.0000	0.00	8468.05	0.00	0.00
CHPSNEMIT	CHPSNEMIT	Mitchell,George	11	1	04/22/13	04/22/23	09/19/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSNESH	CHPSNESHA	Shama,Larry	11	1	05/13/11	05/13/21	11/30/11	0.0000	No	0.0000	Fixed \$	0.0000	0.00	10000.00	0.00	0.00
CHPSNEWO	CHPSNEWOO	Wood,George F.	11	1	02/06/14	01/30/24	04/01/14	0.0000	No	0.0000	Fixed \$	5.0000	0.01	7155.88	0.00	0.00
CHPSNSTE0	CHPSNSTE0	Steinlicht,Wil	11	1	06/17/13	06/17/23	06/12/13	0.0000	No	0.0000	Curr	0.0000	0.00	5561.23	0.00	0.00
CHPSPEJ0	CHPSPEJ0	Sjomeling,Rober	11	1	06/19/14	03/21/24	07/24/14	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
RLF LOAN	HPRLFBIAS	Biales,Kurt	2	0	06/01/21	07/01/21	06/04/21	0.0000	No	0.0000	Curr	0.0000	416.67	8749.87	0.00	0.00
HP RLF	HPRLFSOR5	Sorenson,Donald	2	0	07/01/21	08/01/21	06/17/21	0.0000	No	0.0000	Curr	0.0000	250.00	4500.00	0.00	0.00
HPRLFWES0	HPRLFWES0	West,Pauline	2	0	07/01/21	08/01/21	06/17/21	0.0000	No	0.0000	Curr	0.0000	198.11	6918.31	0.00	0.00
HPSNEHAR	HPSNEHAR	Harris,Morris	11	1	03/19/12	03/19/22	03/29/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	5385.20	0.00	0.00
HP SNE	HPSNEWHT0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													864.80	86738.54	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPV DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPCFNDKNI	HPCFNDKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	9970.52	0.00	0.00
HPCWINKNI	HPCWINKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00

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HPSIDKNI	HPSIDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT LN	HPVACBIAL	Bialas, Kurt	2	0	03/01/18	03/01/28	03/05/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVACLT5	HPVACLT5	Lotus LLC, Perce	2	1	06/22/16	06/22/26	08/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVCNTBLM	HPVCNTBLM	Bloom, Christoph	2	1	08/18/16	08/18/26	10/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP VACANT	HPVCNWH10	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	79970.52	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPVC DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPVBLOOM	CHPVBLOOM	Bloom, Kevin D.	11	1	09/19/14	07/01/23	10/31/13	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
VAC HM	HPRVACUND	Underhill, Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.01	20000.00	0.00	0.00
>>> INVESTOR #: HP POOL #: RSSID DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPSIDCOO	CHPSIDCOO	Coomes, Tim	11	1	03/13/14	02/24/24	05/04/21	0.0000	No	-5.0000	Curr	5.0000	0.01	10000.00	0.00	0.00
CHPSIDENG	CHPSIDENG	Ensminger, Rick	11	1	05/24/13	05/24/23	06/20/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDLW0	CHPSIDLW0	Lewis, Tracy	2	0	03/20/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDMAR	CHPSIDMAR	Martinisko, John	11	1	08/09/11	08/09/21	08/24/11	0.0000	No	0.0000	Fixed \$	0.0000	0.01	10000.00	0.00	0.00
CHPSIDSAB	CHPSIDSAB	Sabo, Dennis L.	11	1	04/21/14	04/21/24	12/23/15	0.0000	No	-5.0000	Curr	5.0000	0.01	9999.76	0.00	0.00
CHPSIDWRT	CHPSIDWRT	Wright, Alan	11	1	04/08/15	09/17/24	08/06/15	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
SIDING	HPRSID106	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSID810	Bloom, Kevin	2	0	10/23/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	5834.70	0.00	0.00
HPSIDSM10	HPSIDSM10	Smith, Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SIDING	HPSIDWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.05	95834.46	0.00	0.00
>>> INVESTOR #: HP POOL #: RSSID10% POOL INFORMATION NOT SET UP																
CHPSIDJLS	CHPSIDJLS	Julius, Thomas	11	1	08/16/16	09/09/25	01/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2937.88	0.00	0.00
Group Totals:													0.01	2937.88	0.00	0.00
>>> INVESTOR #: HP POOL #: RSWIN DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPRWINW2	CHPRWINW2	Weber, Robert W	11	1	08/01/13	08/01/23	08/21/13	0.0000	No	0.0000	Curr	0.0000	0.01	3000.00	0.00	0.00
CHPRWYNA	CHPRWINWE	Weber, Robert W	11	1	08/21/13	12/28/22	08/21/13	0.0000	No	0.0000	Curr	0.0000	0.01	3000.00	0.00	0.00
CHPWNFL1	CHPWNFL1	Flores, Eric	11	1	01/19/12	01/19/22	01/31/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	3000.00	0.00	0.00
CHPWNFL2	CHPWNFL2	Flores, Eric	11	1	02/09/12	02/09/22	02/20/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	3000.00	0.00	0.00
CHPWNLJL2	CHPWNLJL2	Julius, Thomas	11	1	08/02/16	04/27/26	09/28/17	0.0000	No	0.0000	Curr	0.0000	0.01	15066.88	0.00	0.00

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CHPWNLW0	CHPWNLW0	Lewis, Tracy	2	0	03/17/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	8268.42	0.00	0.00
WINDOW	HPRWN105	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3200.00	0.00	0.00
HPWIN772	HPWIN772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	6560.40	0.00	0.00
HPWIN80B0	HPWIN80B0	Bobolz, Lance	2	0	05/14/20	05/01/30	05/14/20	0.0000	No	0.0000	Curr	0.0000	0.00	18000.00	0.00	0.00
HPWINHILL	HPWINHILL	Hills Partnersh	2	0	12/30/19	12/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	751.56	0.00	0.00
HPWINKIN	HPWINKIN	Kinkler, Brian	2	0	01/17/20	02/01/30	01/17/20	0.0000	No	0.0000	Curr	0.0000	0.00	1600.00	0.00	0.00
HPWINPET	HPWINPET	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	13718.64	0.00	0.00
HP WIN	HPWINREA0	Reasaw, Bernie	2	0	11/01/18	11/01/28	12/18/18	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WIN FORG	HPWINSHAM	Shama, Larry	2	0	10/01/17	09/01/27	11/10/17	0.0000	No	0.0000	Curr	0.0000	0.00	16793.63	0.00	0.00
HPWINSMT0	HPWINSMT0	Smith, Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	3200.00	0.00	0.00
HP WINDOW	HPWINWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.04	129259.53	0.00	0.00
>>> INVESTOR #: HP POOL #: SID10% POOL INFORMATION NOT SET UP																
HPSIDRSW	CHPSIDRSW	Reasaw, Bernie	11	1	11/18/15	11/10/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2907.59	0.00	0.00
CHPSIDSH	CHPSIDSH	Shepherd, Lanny	11	1	11/18/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6997.50	0.00	0.00
Group Totals:													0.02	9905.09	0.00	0.00
>>> INVESTOR #: HP POOL #: SNE10% POOL INFORMATION NOT SET UP																
CHPSNEBRC	CHPSNEBRG	Berg, Tim	11	1	11/18/15	11/12/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	5691.42	0.00	0.00
CHPSNEKRT	CHPSNEKRT	Kracht, Lawrence	11	1	11/18/15	11/03/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6300.00	0.00	0.00
Group Totals:													0.02	11991.42	0.00	0.00
>>> INVESTOR #: HP POOL #: WIN10% POOL INFORMATION NOT SET UP																
CHPWNMRS	CHPWNMRS	Morris, Wayne	11	1	08/20/15	08/20/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	4536.00	0.00	0.00
CHPWNSHP	CHPWNSHP	Shepherd, Lanny	11	1	12/23/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2940.00	0.00	0.00
Group Totals:													0.02	7476.00	0.00	0.00
Investor Totals:													11229.23	1896865.19	0.00	0.00
>>> INVESTOR #: HPRW POOL #: N/A POOL INFORMATION NOT SET UP																
CONRWGOR	CONRWGORZ	Gorzalka, Amy	11	1	11/01/17	11/01/22	08/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	0.00	0.00	0.00
HP CITY RW	CONRWMRT5	Martinisko, John	11	1	11/16/17	11/01/22	07/19/17	0.0000	No	0.0000	Curr	0.0000	0.01	61543.00	0.00	0.00
RW GRANT	CONRWOLSN	Olson, Steven	11	1	12/21/17	06/01/23	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	91133.36	0.00	0.00

Time: 09:53:52  
Date: 06/30/2021

# TRIAL BALANCE: POOLS

Page: 7  
Run By: SUSAN17

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
CRW GRANT	CONRWHT2	White,V. Caroly	11	1	10/18/17	11/01/27	11/08/17	0.0000	No	0.0000	Curr	0.0000	0.01	8699.04	0.00	0.00
RW Forgiv	HPRWFWEB	Weber,Todd	2	0	08/05/20	08/01/30	08/06/20	0.0001	No	0.0001	Curr	0.0000	0.01	82607.50	0.00	0.00
Group Totals:													0.04	243982.90	0.00	0.00
>>> INVESTOR #: HPRW POOL #: PERM DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual Paymr																
	CONHPRWKR	Kreb,Luella	2	0	07/15/16	07/15/21	05/11/20	0.0000	No	0.0000	Curr	0.0000	0.00	15291.65	0.00	0.00
CITY RW	CONRWBOB0	Bobolz,Lance	11	1	12/01/17	12/01/27	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	18042.61	0.00	0.00
CONRWCOG	CONRWCOOM	Coomes,Tim	11	1	02/11/19	03/01/29	02/11/19	0.0000	No	0.0000	Curr	0.0000	0.01	67491.73	0.00	0.00
CONRWFEN	CONRWFEN0	Fenton,Kris	11	1	06/13/18	06/01/28	07/01/18	0.0001	No	0.0001	Curr	0.0000	0.01	17584.40	0.00	0.00
CONRWMIKI	CONRWMIKL	Mikla,Christine	2	0	03/08/21	04/01/26	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.00	91445.00	0.00	0.00
RW Forgiv	CONRWREAU	Reasaw,Bernie	2	0	09/24/20	10/01/30	09/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	105468.23	0.00	0.00
CITY RW	HPCONBOBO	Bobolz,Lance	11	1	01/01/18	01/01/28	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	199815.00	0.00	0.00
RW CITY	HPRWCSHEP	Shepherd,Lanny	2	0	11/13/20	10/01/30	11/13/20	0.0000	No	0.0000	Curr	0.0000	0.00	18616.85	0.00	0.00
Group Totals:													0.04	533755.47	0.00	0.00
>>> INVESTOR #: HPRW POOL #: RIP DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual Paymr																
RW City	CHPRWFGAS	Gasper Iii,Jose	11	1	06/08/21	12/01/21	06/18/21	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.01	0.00	0.00	0.00
>>> INVESTOR #: HPRW POOL #: RRW0 POOL INFORMATION NOT SET UP																
CONRWWM-	CONRWWMH-	White,V. Caroly	11	1	09/20/16	09/20/26	09/26/16	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.01	0.00	0.00	0.00
Investor Totals:													0.10	777738.37	0.00	0.00
Report Totals:													11229.33	2674603.56	0.00	0.00



**DEADWOOD HISTORIC PRESERVATION****TRIAL BALANCE POOL CODES**

<b>COMMERCIAL</b>		
<b>POOL CODE</b>	<b>INTEREST RATE</b>	<b>PROGRAM</b>
C0	0%	0% LOAN
C1	0%	
C2	2%	2% LOAN
C3	3%	3% LOAN
C4	4%	4% LOAN
C5C	5%	4% -IN CONSTRUCTION
C6	6%	6% LOAN
C7	7%	7% LOAN
C7C	7%	7% -IN CONSTRUCTION
C8.25	8.25%	8.25% LOAN
C8.5	8.50%	8.5% LOAN
C9	9%	8% LOAN
C9.5	9.50%	9.5% LOAN
CSI	0.00%	COMMERCIAL SIDING

<b>RESIDENTIAL</b>		
<b>POOL CODE</b>	<b>INTEREST RATE</b>	<b>PROGRAM</b>
R0	0%	0% LOAN
R0C	0%	0% - IN CONSTRUCTION
R4	4%	4% LOAN
R4C	4%	4% - IN CONSTRUCTION
R5	5%	5% LOAN
R5C	5%	5% - IN CONSTRUCTION
R8.5	8.50%	8.5% LOAN
R9	9%	9% LOAN
R9.5	9.50%	9.5% LOAN
RSPE	0%	SPECIAL NEEDS ELDERLY
RSPV	0%	SPECIAL NEEDS VACANT
RSSID	0%	SIDING
RSWIN	0%	WINDOWS
SNE10%	0%	ELDERLY- 10 % FORGIVEN/YEAR
SID10%	0%	SIDING- 10% FORGIVEN/YEAR
WIN10%	0%	WINDOWS-10% FORGIVEN/YEAR
VAC10%	0%	VACANT -10% FORGIVEN/YEAR
RRW0	0%	0% RESIDENTIAL RW LOAN
RRW0C	0%	0% RW LOAN IN CONSTRUCTION
RRW4	4%	4% RESIDENTIAL RW LOAN
RRW4C	4%	4% RW LOAN IN CONSTRUCTION
RRW5	5%	5% RESIDENTIAL RW LOAN
RRW5C	5%	5% RW LOAN IN CONSTRUCTION
CONRW		CITY PORTION RW

OFFICE OF  
PLANNING, ZONING AND HISTORIC  
PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084

Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
Kevin@cityofdeadwood.com



## MEMORANDUM

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**Date:** July 23, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Historic Preservation Façade Easement Program Application

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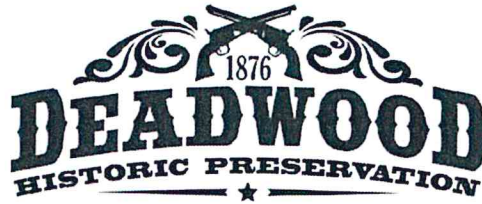
The Historic Preservation Office received a Façade Easement Program Application from Keating Resources to enter the Deadwood Dicks Buildings at 51, 53 and 56 Sherman Street into the Façade Program. The owner plans to restore the façade by repointing the brick and repairing/replace the windows. The proposed cost for the façade project is \$675,000 and the total cost of the restoration project is \$5,500,000.00.

The applicant's qualified façade expenditures would be eligible to receive up to 80% of the façade cost at a maximum of \$3,000.00 per linear foot for the primary façade and up to \$1,000.00 per linear foot for the secondary façade.

Staff has determined the applicant meets the criteria for acceptance into the Façade Program and will coordinate with the applicant to ensure the proposed work meets the criteria of the program if approved by the commission.

### RECOMMENDED MOTION:

Move to accept Keating Resources into the Façade Easement Program for 51, 53 and 56 Sherman Street.



# Historic Facade Easement Program Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

**1. Address of Property:**

51, 53 and 56 Sherman Street

**2. Applicant's name & mailing address:**

Keating Resources

2121 N. Pearl St, Ste. 300

Dallas, TX 75201

**3. Owner of property – (if different from applicant):**

Telephone: (\_\_\_\_) \_\_\_\_ - \_\_\_\_

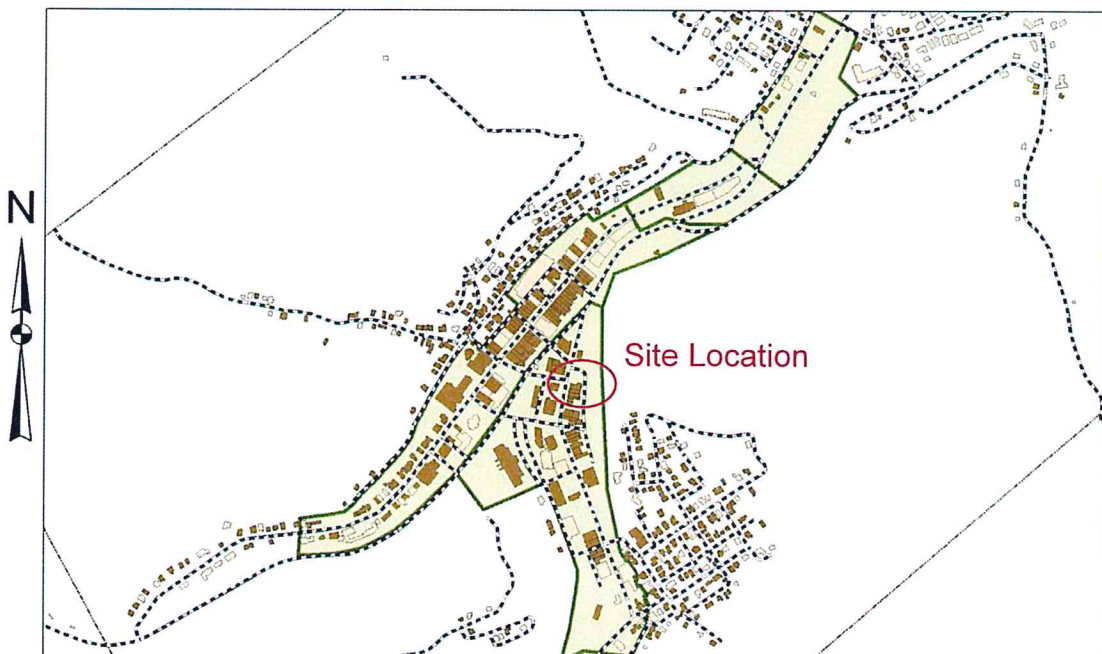
E-mail \_\_\_\_\_

Telephone: (402) 925-5113

E-mail gerard@keatingresources.com

4. Project Costs:	Total cost of the façade restoration project:	\$ 675,000
	Amount requested for the façade project (Keep in mind eligible expenses and program maximums)	\$ 540,000
	Total cost of building rehabilitation project (Include additional interior work planned)	\$ 5,500,000
	Anticipated appraisal value at conclusion of project	\$ 5,500,000

**5. Façade Easement Program Area – Deadwood Local Historic District**



Deadwood Historic Preservation Commission  
Historic Facade Easement Program Application  
Page 2 of 2

6. Required Supporting Documentation

- a. Complete a City of Deadwood Application for Certificate of Appropriateness and attach it to this document.
- Provide detailed description of exterior changes including materials, colors and dimensions
  - Proposed rehabilitation renderings and elevations
  - Current and historic photos of the building
  - Project budget including the entire project and façade project
  - Project timeline
  - General information on project financing or other such information showing feasibility of project
  - Conformance of the project with the Secretary of Interior Standards for Rehabilitation and the Deadwood Downtown Design Guidelines
- b. Acknowledgement of façade easement requirement

7. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant or loan.

<b>Applicant's signature:</b>	DocuSigned by: <u>Gerard Keating</u> C6A68B51B9DB440...	<b>Date submitted:</b> 7/21/2021 ____/____/____
<b>Owner's signature:</b>	DocuSigned by: <u>Gerard Keating</u> C6A68B51B9DB440...	<b>Date submitted:</b> 7/21/2021 ____/____/____

Please return the completed application along with the Certificate of Appropriateness to:

City of Deadwood  
Planning, Zoning & Historic Preservation  
108 Sherman Street  
Deadwood, SD 57732  
605-578-2082



**Historic Façade Easement Program Application  
Adams Block – 51, 53, 55 Sherman Street  
(186 linear feet of major frontage on west and north facades)**

Date: 07/21/2021

Existing Building

Southwest View



S:\20106-Adams Block Building - Deadwood\3. PRE-DESIGN\5. HISTORIC PRESERVATION\Facade Easement Application\Scope Narrative.doc

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RAPID CITY, SOUTH DAKOTA, 57701  
TELEPHONE (605) 355-6804  
WEBPAGE [www.chamberlinarchitects.com](http://www.chamberlinarchitects.com)

Northwest View



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North View



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East View



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Historic Photo from 1897



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Historic Photo from 1898



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Historic Photos from post 1903 after 4<sup>th</sup> story was constructed



### Scope of Work

The “Adams Block Building” (51,53 and 55 Sherman Street) was recently purchased by Keating Resources, who is investing significant resources to rehabilitate the building. The rehabilitation includes work such as strengthening the failing floor and roof structure, re-roofing, repairing brick and mortar, installing all new, large electrical service, mechanical system, plumbing and fire sprinkler system, a new elevator, and replacement of windows, which are beginning to fall from the building.

Keating Resources is expecting to spend \$5.5M on the rehabilitation, and is requesting a portion of the exterior repairs and improvements be paid by the Façade Conservation Easement program when available. It is understood that the program is not fully funded yet, but due to the dire condition of brick and windows, masonry repairs have been in progress inside and outside for some time now, and windows are in the process of being ordered.

The following is a description of façade repairs and modifications anticipated:

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1. Brick Repair: Tuck/point deteriorated mortar joints and replace deteriorated/missing brick.



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2. Window Repair and Replacement: Remove all existing double-hung window sashes, and replace with new Pella wood, single-hung windows. The existing, original window frames, casing and trim will remain. New windows will be installed (stopped-in) within the existing frames. See attached, shop drawings from Pella for details.
3. Awning Replacement: Remove and replace existing awning frames, fabric and hardware with nine new awnings (See image below). Product information will be submitted with Certificate of Appropriateness application prior to work.
4. Storefront Repairs:
  - a. Strip/sand painted wood storefront.
  - b. Replace broken glass.
  - c. Replace all wood doors. (Shop drawings will be submitted with Certificate of Appropriateness application prior to work.)
    - i. The two north doors on Sherman Street are the original size doors (See doors indicated in green). These will be replaced with doors matching the original size.
    - ii. The three south doors (blue) are not the original size. When the north building was constructed, the tall doors were replaced with new shorter doors to match the height of the north doors, and the leftover openings above the doors were filled in with additional framing and transoms. We are proposing to remove the transoms and framing and replace the doors with doors matching the original height, which is approximately nine feet.



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1897 photo of building before doors were change to shorter height.



1898 photo after doors were changed.



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5. Restore the existing “ghost sign”. It is understood that 100% of this cost may be covered through the ghost sign restoration program.



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**Author:** Brad Burns, Chamberlin Architects

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REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	-	2	-	3	-	4	-	5	-
6	-	7	-	8	-	9	-	10	-
11	-	12	-	13	-	14	-	15	-
16	-	17	-	18	-	19	-	20	-

# INSTALLATION SHOP DRAWING FOR 51 SHERMAN STREET DEADWOOD, SOUTH DAKOTA

## General Notes

- 1) WARRANTY
  - a) All warranties for the performance of Pella® Products are void if the product is installed contrary to these installation shop drawings and other applicable standard product installation instructions. See [www.pella.com](http://www.pella.com) for the Pella product limited warranty and care instructions.
- 2) RESPONSIBILITY FOR PROPER INSTALLATION AND CODE COMPLIANCE
  - a) These drawings and details are prepared exclusively for use with Pella products, are based on the information provided to Pella Corporation, and are prepared for use by architects, contractors, or other construction professionals. Final approval by others is required to assure proper integration with other building materials and trades, and compliance with code and design intent. Pella Corporation is not responsible for any form of hazardous material encountered in connection with the installation and use of the Pella products. Pella Corporation is not responsible for deviation from the designed installation or for any errors occurring through the use of these drawings for purposes other than installation of Pella products.
  - b) It is the responsibility of the architect and contractor to verify all dimensions, quantities, grille patterns, installation details, product performance requirements, safety glazing requirements, and egress requirements for compliance with local codes, government regulations and project requirements prior to fabrication of Pella products. Pella Corporation will not be responsible for noncompliance nor accept responsibility beyond manufacturing products in accordance with dimensions shown on these drawings. CAUTION: Unless indicated otherwise, these units are glazed with annealed glass and cannot be installed in hazardous locations as defined by local codes and/or government laws and regulations.
  - c) Install all Pella products and accessories in accordance with these drawings and standard product installation instructions. Unless specified otherwise in these drawings, Pella product installation, all exterior and interior wood trim, blocking, sealant, backer rod, shims, wall flashing, and insulation are provided by others.
  - d) Special Sealants Note: Interior and exterior sealants must be commercial grade complying with the project architectural specifications and shall meet ASTM-C920, unless otherwise specified on these drawings. Sealants used in the installation of the Pella windows and doors must be installed per sealant manufacturers' recommendations, local code requirements, and state and federal laws, including proper application, surface preparation, use of primers, compatibility with other sealants and adjacent materials. Backer rods shall be non-gassing, comply with ASTM C1330 and applicable for its intended use. Its diameter should be 25 percent greater than the joint width for joints less than 1".
  - e) Windows and doors are sized to accommodate the following opening tolerances except where local codes are more stringent.
    - i) Vertical dimensions between high and low points -- plus 1/2" or minus 0".
    - ii) Width dimensions -- plus 1/2" or minus 0".
- 3) NOTE ON BARRIER WALL SYSTEMS, EXTERIOR INSULATION AND FINISH SYSTEMS AND OTHER NON-WATER MANAGED SYSTEMS:
  - a) Because all construction must anticipate some water infiltration, it is important that the wall system be designed and constructed to properly manage moisture. Pella Corporation is not responsible for claims or damages caused by anticipated and unanticipated water infiltration, deficiencies in building design, construction and maintenance; failure to install Pella products in accordance with Pella's installation instructions; or the use of Pella products in barrier wall systems which do not allow for proper management of moisture within the wall system (see the following). The determination of the suitability of all building components, including the use of Pella products, as well as the design and installation of flashing and sealing systems is the responsibility of the Buyer or User, the architect, contractor, installer, or other construction professional and is not the responsibility of Pella. All risks related to building design and construction, or the maintenance, installation and use of Pella products shall be assumed by Buyer and/or User.
  - b) **IMPORTANT NOTICE:** Pella products **should not** be used in barrier wall systems which do not allow for proper management of moisture within the wall systems, such as barrier Exterior Insulation and Finish Systems (EIFS) (also known as synthetic stucco) or similar systems. Except in the states of California, New Mexico, Arizona, Nevada, Utah, and Colorado, Pella makes no warranty of any kind on, and assumes no responsibility for, Pella windows and doors installed in barrier wall systems. In the states listed above, the installation of Pella Products in EIFS or similar barrier systems must be in accordance with Pella's instructions for that type of construction.
- 4) These drawings are the property of Pella Corporation and must not be reproduced in whole or in part without written permission from an authorized representative of Pella Corporation.
- 5) Product cross sections shown on these drawings are subject to change without notice.

## Construction Documents Received

THESE DRAWINGS WERE PREPARED FROM THE FOLLOWING INFORMATION			DATED
ARCHITECTURAL PLANS	NONE		-
SPECIFICATIONS	SECTION 08 52 10		-
ADDENDUM	NONE		-
OTHER	NONE		-

## Mullion Reinforcement

THIS REINFORCING DESIGN CONSIDERS WIND LOADING ON THE COMBINATION AND DEAD LOAD FOR PELLA PRODUCTS ONLY.		
MARK #	REINFORCEMENT TYPE	MAX. END LOAD
END CONNECTIONS MUST NOT INTERFERE WITH FRAMES OR SEALANT PLACEMENT. WALL CONSTRUCTION AND END CONNECTIONS MUST BE DESIGNED TO ACCEPT THE LOADS INDICATED. STEEL REINFORCEMENT MUST BE PRIMED & TOP COATED WITH QUALITY PAINT; USE FULL PENETRATION WELDS AT CONNECTIONS.		

## Abbreviations

ALUM.	= ALUMINUM	LBS.	= POUNDS	R.O.	= ROUGH OPENING
B.O.	= BY OTHERS	MAX.	= MAXIMUM	SDS.	= SELF-DRILLING SCREW
CONT.	= CONTINUOUS	MIN.	= MINIMUM	SIM.	= SIMILAR
CLR.	= CLEARANCE	M.O.	= MASONRY OPENING	TBD.	= TO BE DETERMINED
DTL.	= DETAIL	NA.	= NOT APPLICABLE	TOT. FR.	= TOTAL FRAME
DIM.	= DIMENSION	OC.	= ON CENTER	V.G.	= VISIBLE GLASS
EQ.	= EQUAL	OPG.	= OPENING	VIF.	= VERIFY IN FIELD
FWHS.	= FLAT HEAD WOOD SCREW	OPP.	= OPPOSITE	WO.	= WINDOW OPENING
FR.	= FRAME	REQ'D	= REQUIRED		

## Hatch Patterns

	PLYWOOD		BRICK		STEEL		FOAM SEALANT
	GYPSUM		CONCRETE		RIGID INSULATION		SOLID
	WOOD		CONCRETE BLOCK		GROUT		BATT INSULATION

## Symbols

	= TEMPERED GLAZING		= LAMINATED		= PANEL
	= IMPACT GLAZING		= OBSCURE GLAZING		= SPANDREL
	= FIELD MULLION INDICATOR		PARTIAL BLOCKING		SEALANT
	= DETAIL CUT		CONTINUOUS BLOCKING		BACKER ROD
	= MULLION REINFORCEMENT		SPRAY FOAM SEALANT		

## Components & Cladding Design Pressures

DESIGN PRESSURE PER CODE ASCE7-16 (IBC 2018)										
Mean Roof Height (ft):		50		Building Length (ft):						
Building Classification/Risk Category:		I		Building Width (ft):						
Ultimate Design Wind Speed (MFH):		111		Building Height (ft):		50				
Allowable Design Wind Speed (MFH):		86		Wall Zone 5 - a (ft):		---				
Exposure Category:		B								
Topographical Factor (K <sub>z</sub> ):		1								
Project Elevation (ft):		4564								
Ground Elevation Factor (K <sub>g</sub> ):		0.85								
Components and Cladding Design Pressures (PSF)										
	Sq ft of opening		Ultimate				Allowable (ASD)			
			Zone 4		Zone 5		Zone 4		Zone 5	
	Pos	Neg	Pos	Neg	Pos	Neg	Pos	Neg		
	10	21.7	-23.5	21.7	-29.2	13.0	-14.1	13.0	-17.5	
	20	20.7	-22.5	20.7	-27.2	12.4	-13.5	12.4	-16.3	
	50	19.4	-21.2	19.4	-24.5	11.6	-12.7	11.6	-14.7	
	100	18.4	-20.2	18.4	-22.5	11.0	-12.1	11.0	-13.5	
	200	17.4	-19.3	17.4	-20.5	10.5	-11.6	10.5	-12.3	
The proposed windows and doors comply with the design pressures shown unless noted otherwise. Allowable Stress Design (ASD) pressures were obtained by multiplying the Ultimate design pressures (Ult.) by 0.6 per IBC section 1609. ASD pressures align with WDMA/AAMA standards and the NAFS performance rating system. Please confirm these design pressures with the Structural Engineer or Building Official.										
FAILURE TO CONFIRM THESE DESIGN PRESSURES BY A LOCAL STRUCTURAL ENGINEER OR BUILDING OFFICIAL MAY RESULT IN INADEQUATE MULLION DESIGN OR SELECTION OF PRODUCTS.										

## Field Water Testing

FIELD WATER TESTING (IF SPECIFIED) SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E1105 TEST PROCEDURE B. THE TEST PRESSURE SHALL BE BASED ON THE MAXIMUM POSITIVE COMPONENTS AND CLADDING DESIGN PRESSURE. UTILIZING THE AAMA 502 FIELD TEST REDUCTION, THE WATER TEST PRESSURE IS 10% OF THE MAXIMUM POSITIVE DESIGN PRESSURE.

## Deviations from Architectural Specifications

CONFIRM THE FOLLOWING ITEMS ARE ACCEPTABLE WITH THE GENERAL CONTRACTOR AND PROJECT ARCHITECT:  
SPECIFICATION SECTION: 08 52 10

- 1) SECTION 2.2 INDICATES ARCHITECT SERIES WOOD MONUMENTAL HUNG PRODUCTS. THE PRODUCTS IN THIS SHOP DRAWING ARE RESERVE AND INCLUDE MONUMENTAL SINGLE HUNG WINDOWS AND SINGLE HUNG WINDOWS.

## Special Notes

CONFIRM THE FOLLOWING ITEMS ARE ACCEPTABLE WITH THE GENERAL CONTRACTOR AND PROJECT ARCHITECT:

- 1) INSTALLATION ACCESSORIES SUCH AS BLOCKING, SHIMS, FASTENERS, FLASHING TAPES, FLASHINGS, SEALANTS, INTERIOR TRIM OR FINISHES, AND WEATHER BARRIER ARE BY OTHERS UNLESS NOTED OTHERWISE.
- 2) FIELD VERIFY ALL DETAILS & DIMENSIONS
- 3) ARCHITECT TO VERIFY SAFETY GLAZING & EGRESS REQUIREMENT
- 4) CAUTION WHEN HANDLING PRODUCT: ALL PELLA PRODUCTS SHOULD BE KEPT VERTICAL DURING HANDLING AND STORAGE. ANY MISHANDLING COULD RESULT IN PRODUCT AND/OR MULLION FAILURE.
- 5) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE ALL WINDOWS AND DOORS ARE CLOSED AND LOCKED DURING INCLEMENT WEATHER OR WHEN A ROOM IN WHICH A WINDOW OR DOOR IS INSTALLED IS VACANT.
- 6) THE PELLA WINDOWS SHOWN IN THIS SHOP DRAWING UTILIZE A CLIP OR THROUGH FRAME METHOD OF INSTALLATION AND ARE INSTALLED WITHIN AN EXISTING WINDOW FRAME. IT IS REQUIRED THAT THE EXISTING WINDOW FRAME IS INSPECTED AND IS VERIFIED TO BE IN SOUND CONDITION, OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION OF NEW WINDOWS. IT IS ALSO REQUIRED THAT THE WINDOWS RECEIVE INTERIOR AND EXTERIOR LINES OF PERIMETER SEALANT AT THE TIME OF THE WINDOW INSTALLATION.
- 7) DUE TO THE NATURE OF ANY REPLACEMENT PROJECT, IT IS IMPERATIVE THAT THE ARCHITECT, ENGINEER OR CONTRACTOR DETERMINES IF THE EXISTING STRUCTURE IS STRUCTURALLY SOUND FOR THE ANCHORAGE OF THE WINDOWS SPECIFIED FOR THIS PROJECT. ALSO, THE EXISTING WALL CONSTRUCTION OR EXISTING WINDOW FRAMES MUST BE CHECKED TO DETERMINE IF WATER PROBLEMS EXIST. ANY WATER PENETRATION MUST BE REPAIRED PRIOR TO INSTALLING THE NEW WINDOWS.

INSTALLATION SHOP DRAWING FOR

51 SHERMAN STREET

LOCATION: DEADWOOD, SOUTH DAKOTA

ARCHITECT: -

ORIGINAL: 07-19-2021

DRAWN BY: BMB

CHECKED BY: JPV

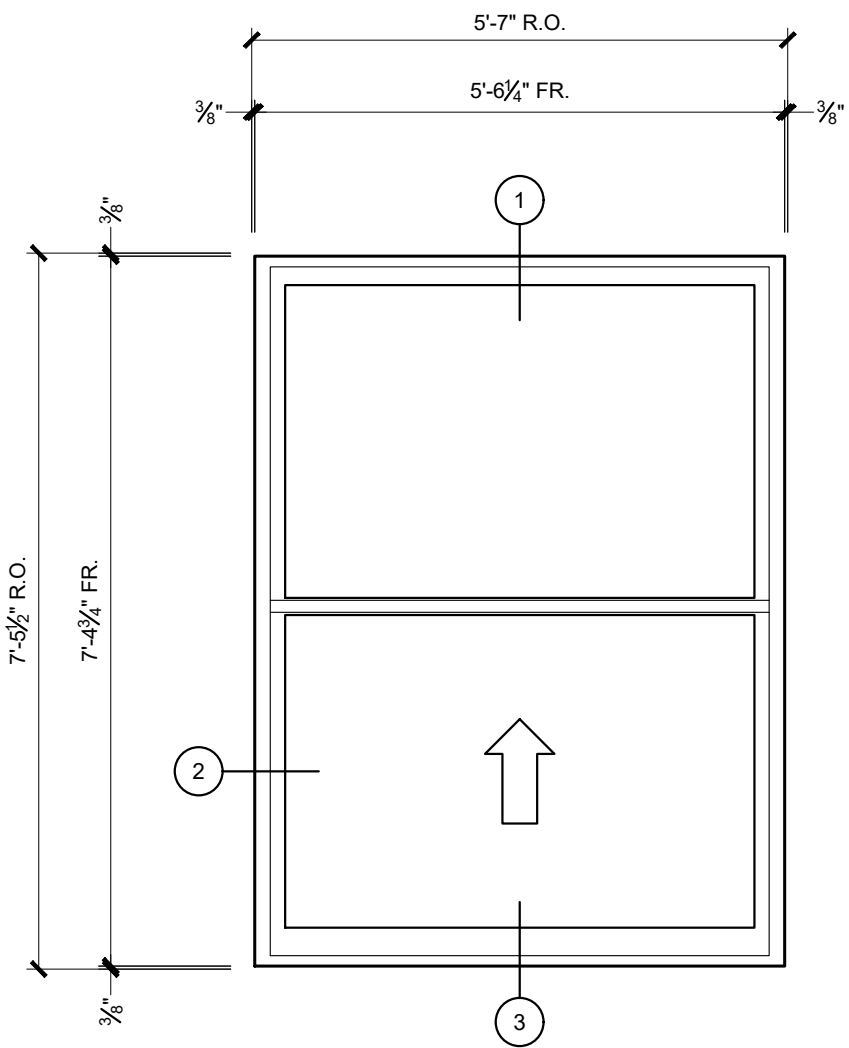
Project No.:

228261.01

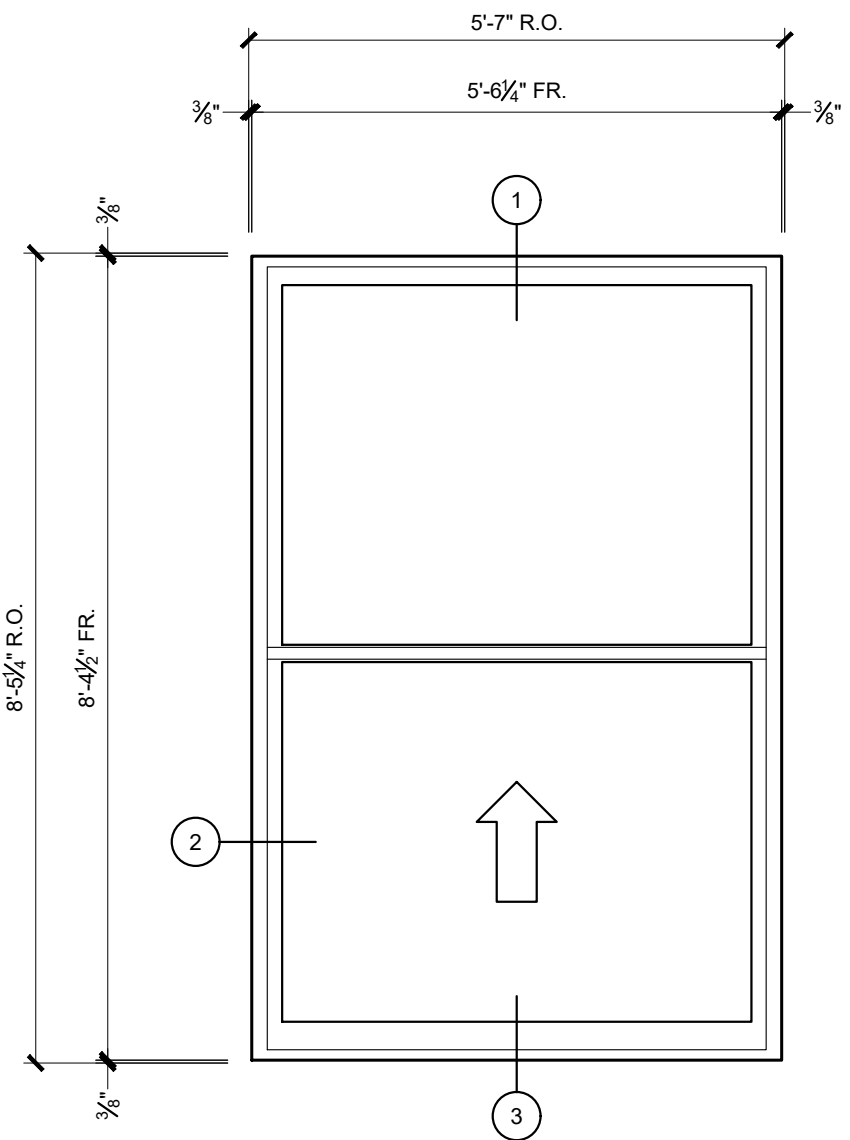
SHEET:

01 OF 05

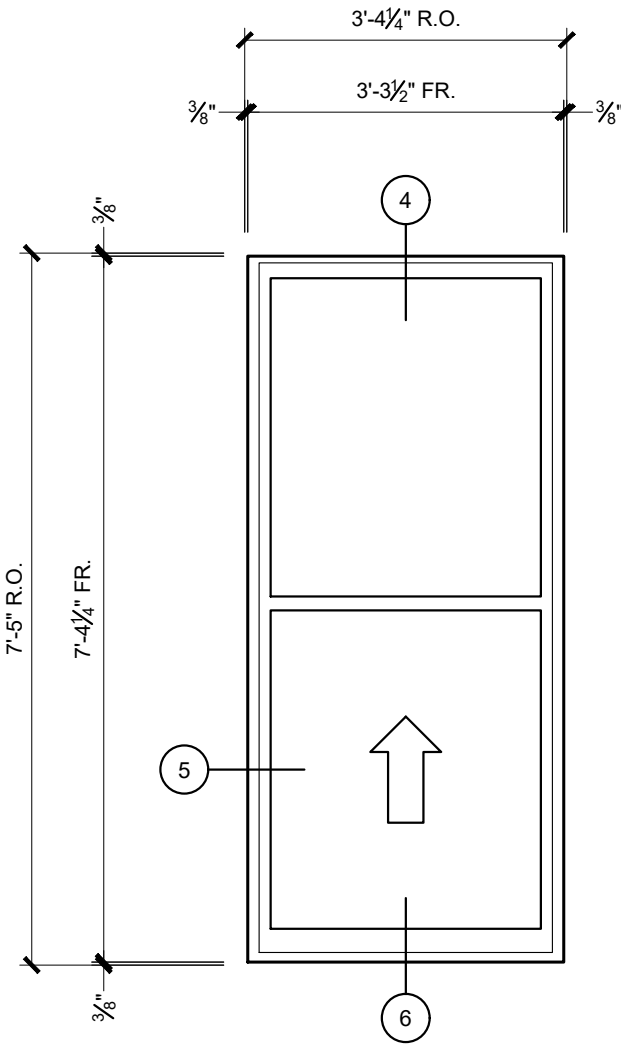




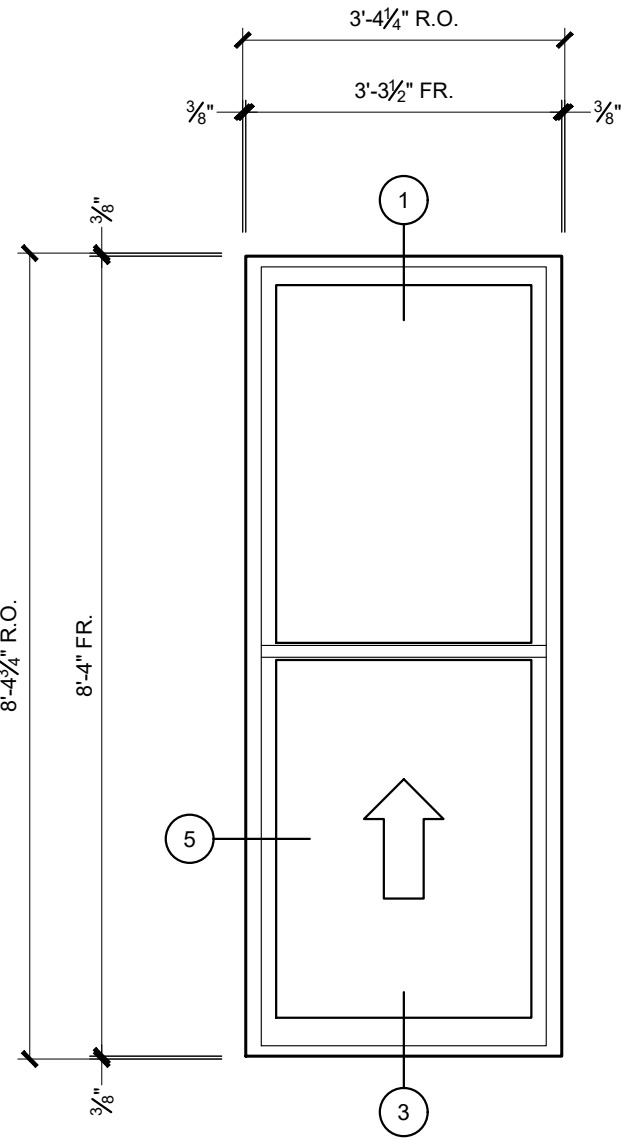
**Left 4th and 3rd** 4  
LINE # 10 QTY



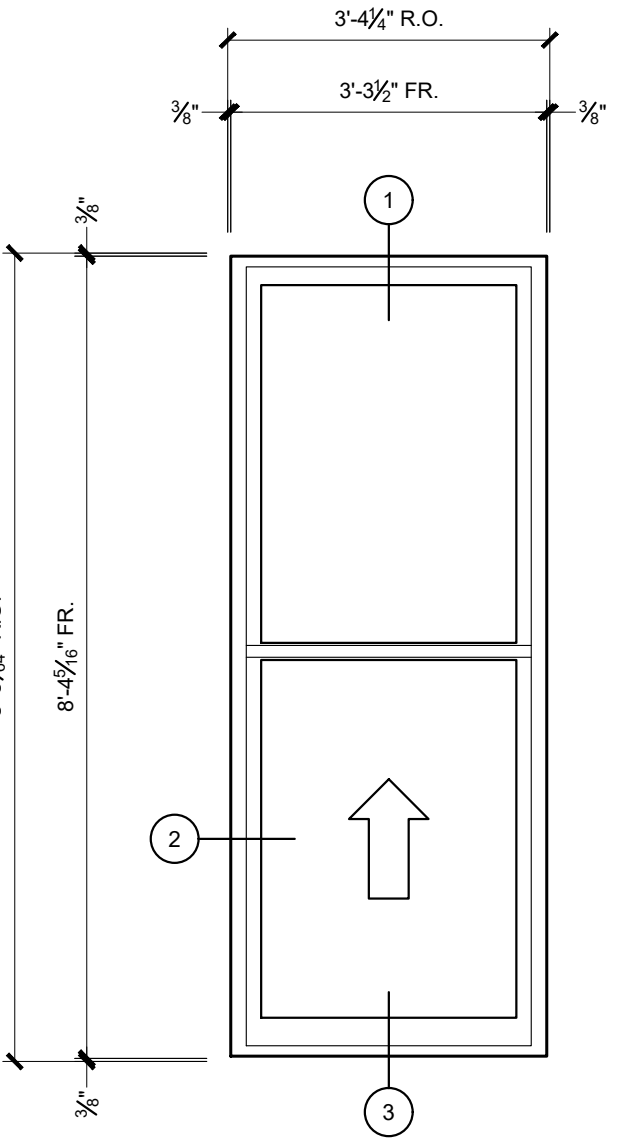
**Left 2nd** 2  
LINE # 11 QTY



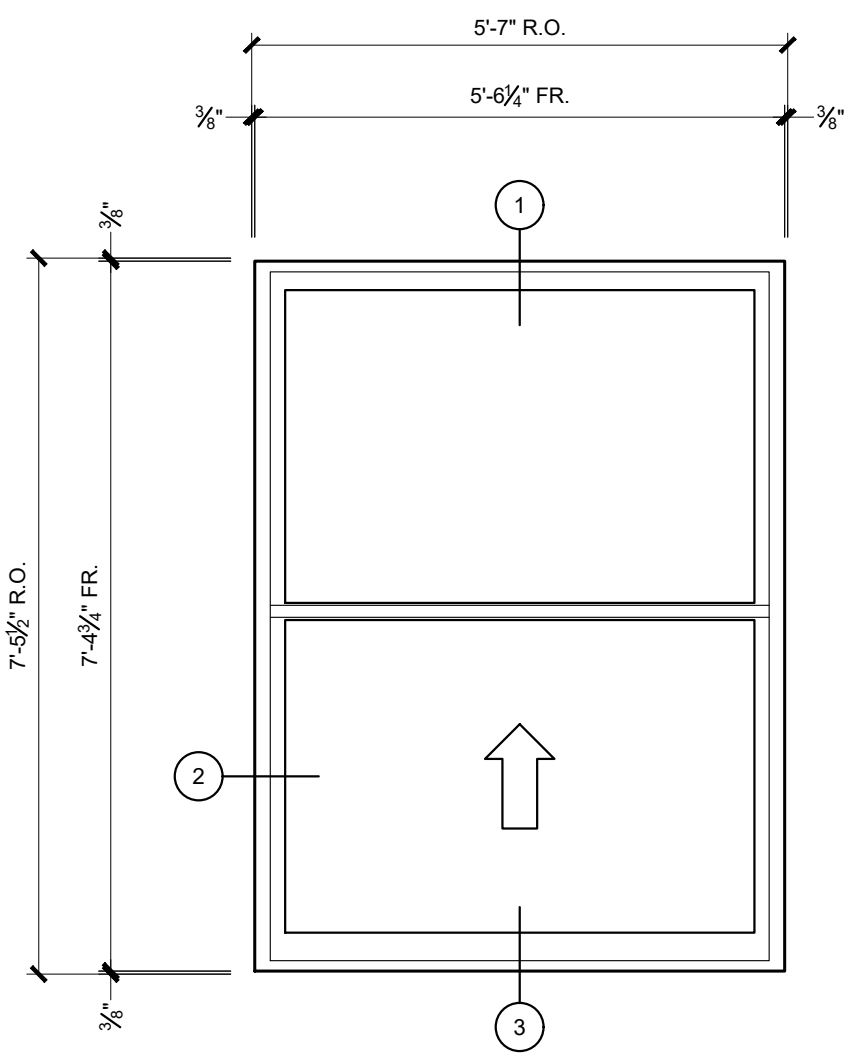
**Left 3rd & 4th** 14  
LINE # 15 QTY



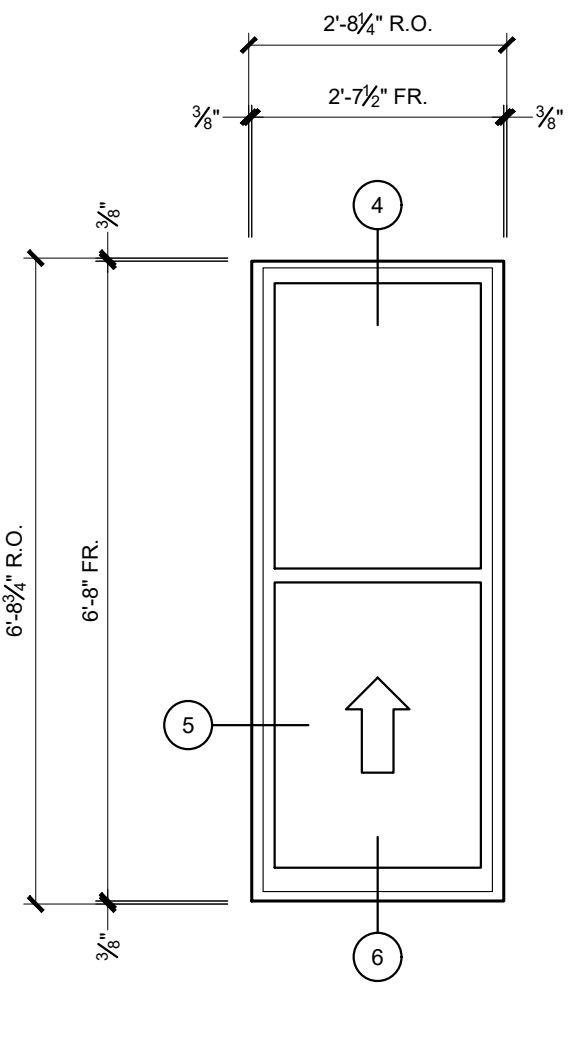
**Left 2nd** 5  
LINE # 20 QTY



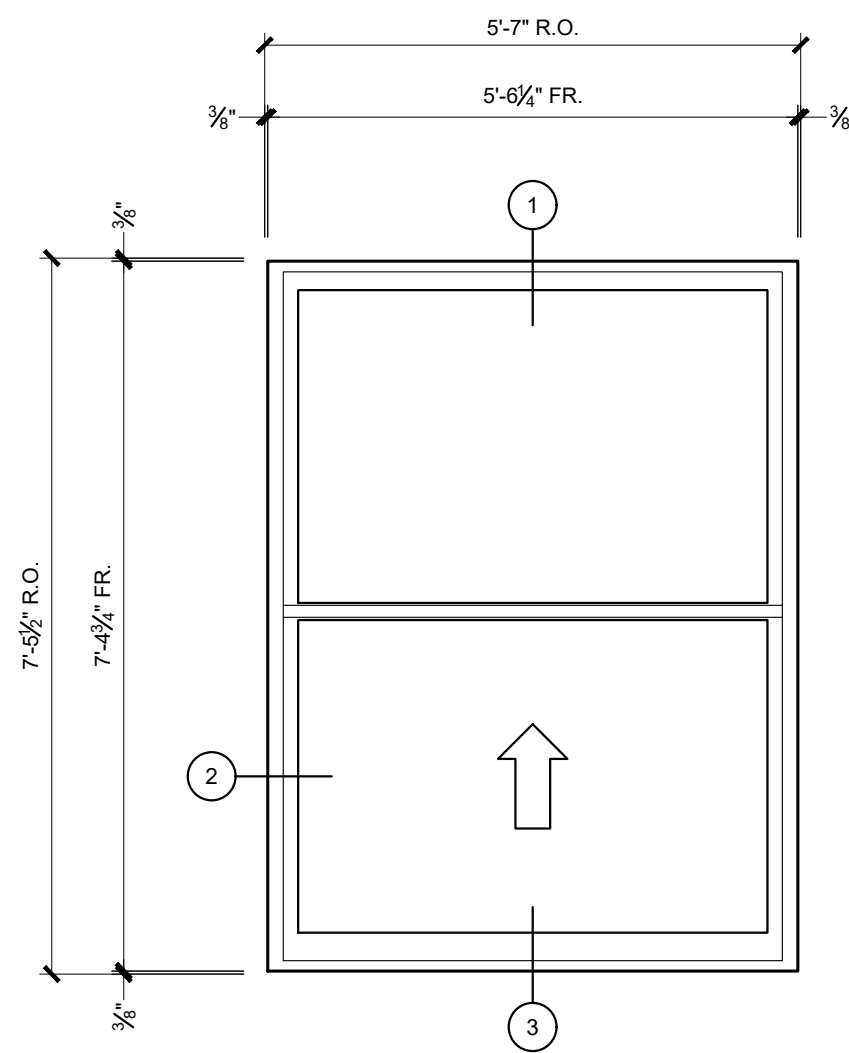
**Left 2nd** 2  
LINE # 25 QTY



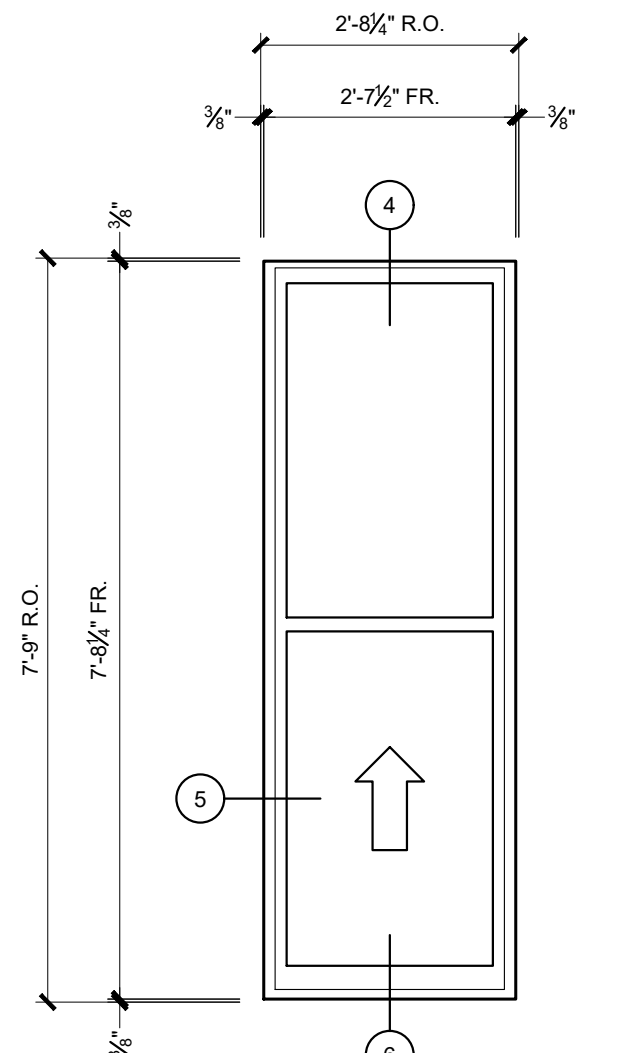
**Front 4th** 4  
LINE # 30 QTY



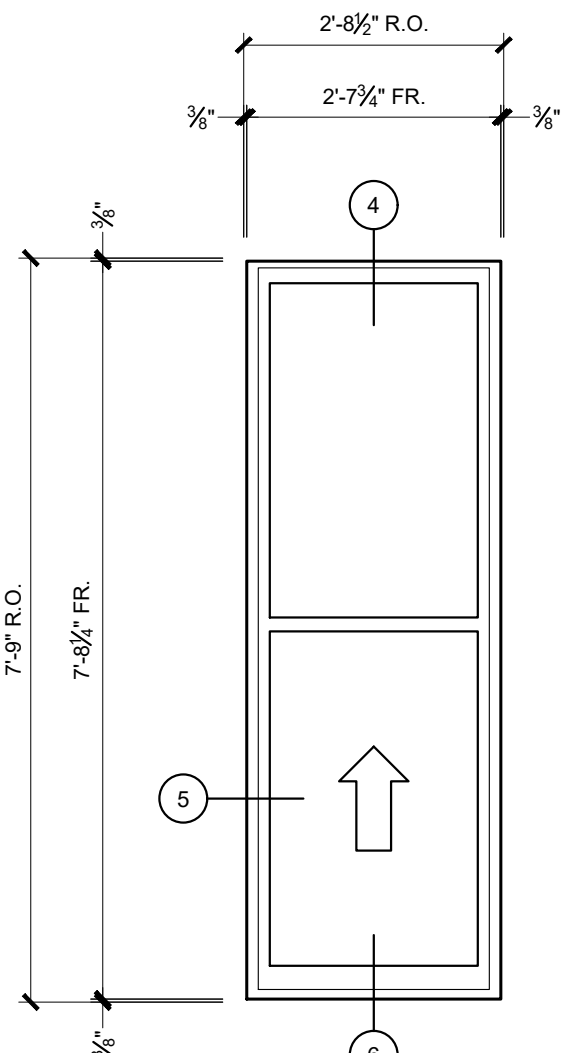
**Front 4th** 8  
LINE # 35 QTY



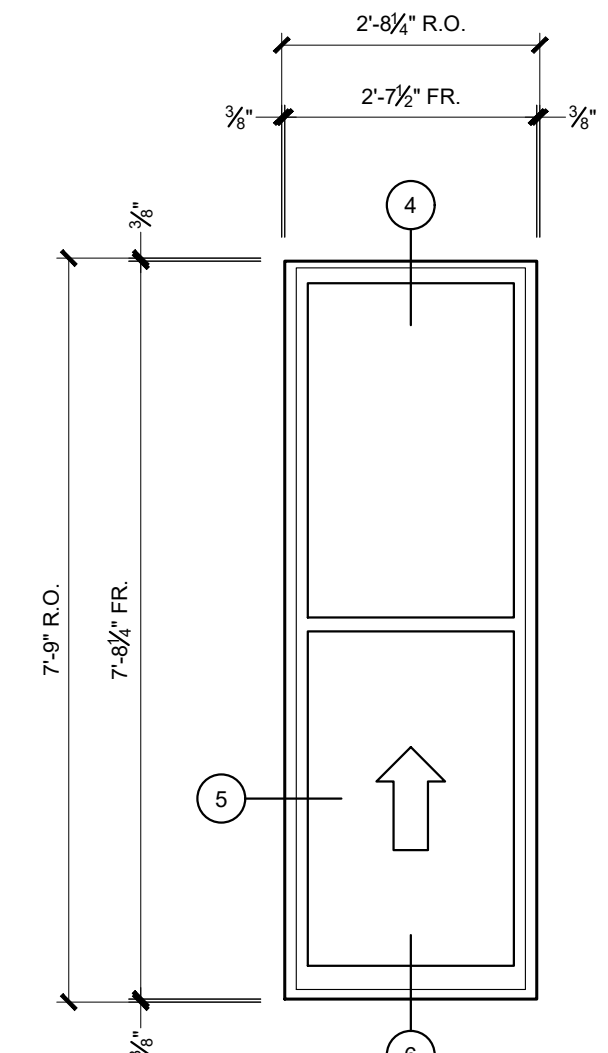
**Front 3rd** 4  
LINE # 40 QTY



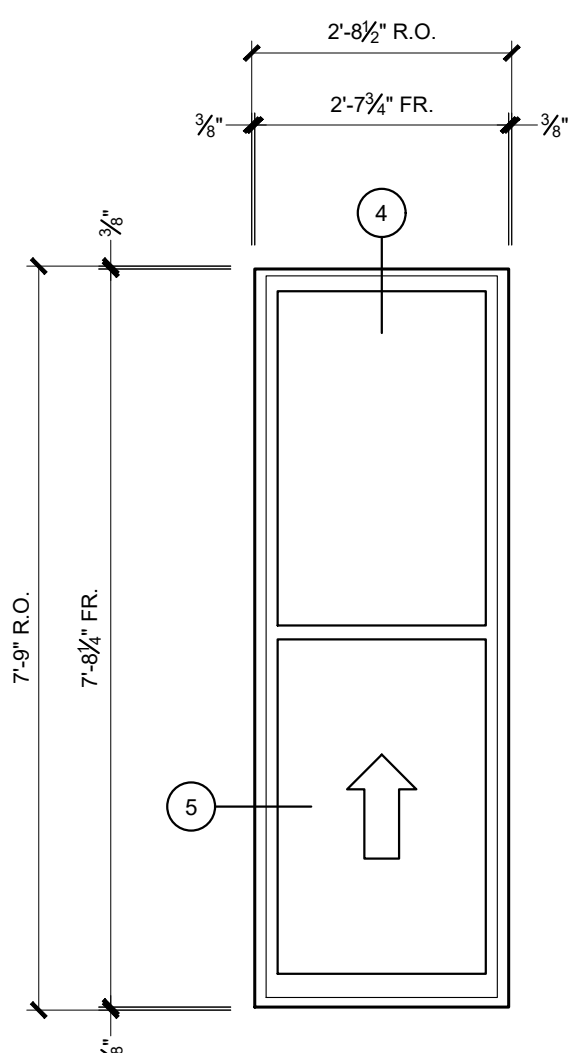
**Front 3rd Middle** 4  
LINE # 45 QTY



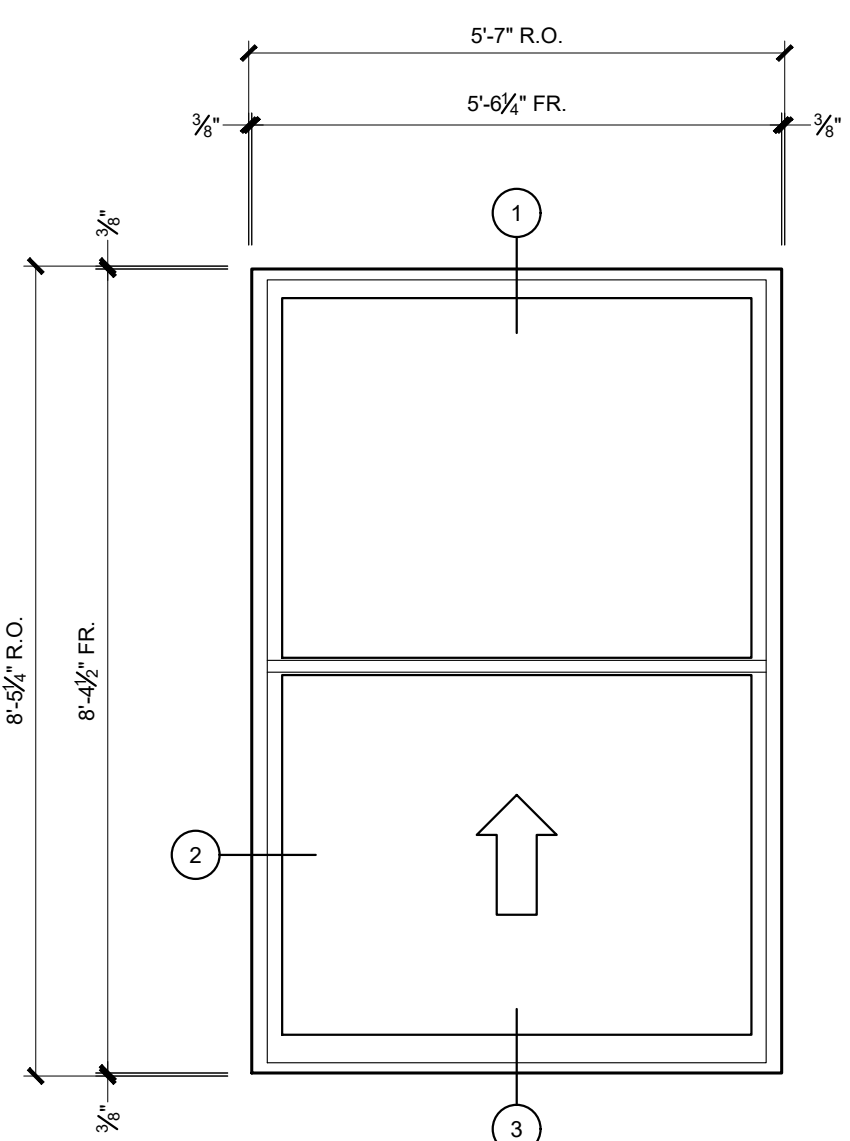
**Front 3rd Right** 4  
LINE # 46 QTY



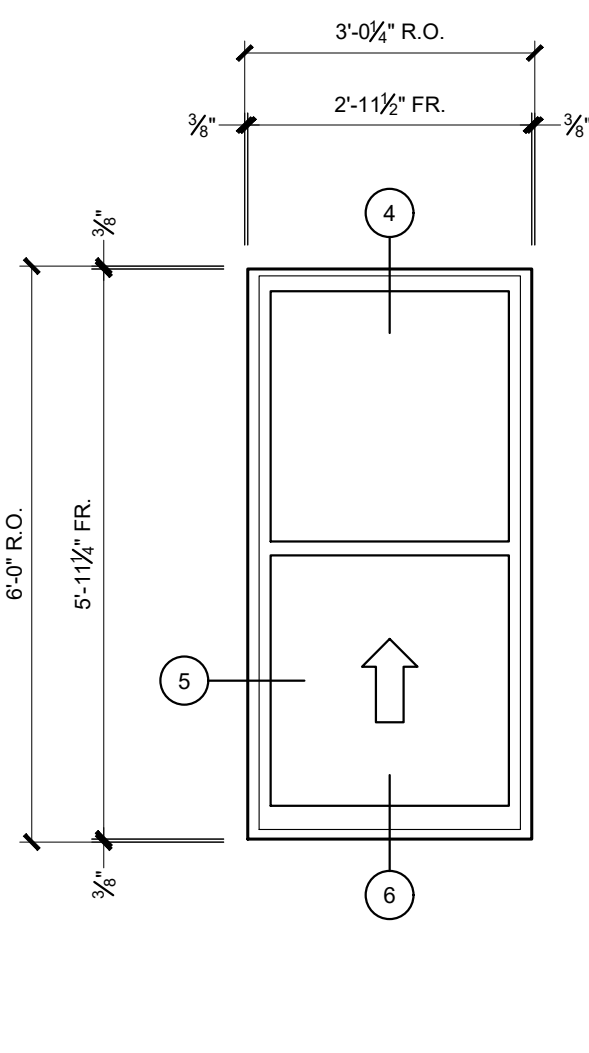
**Front 2nd Middle** 4  
LINE # 50 QTY



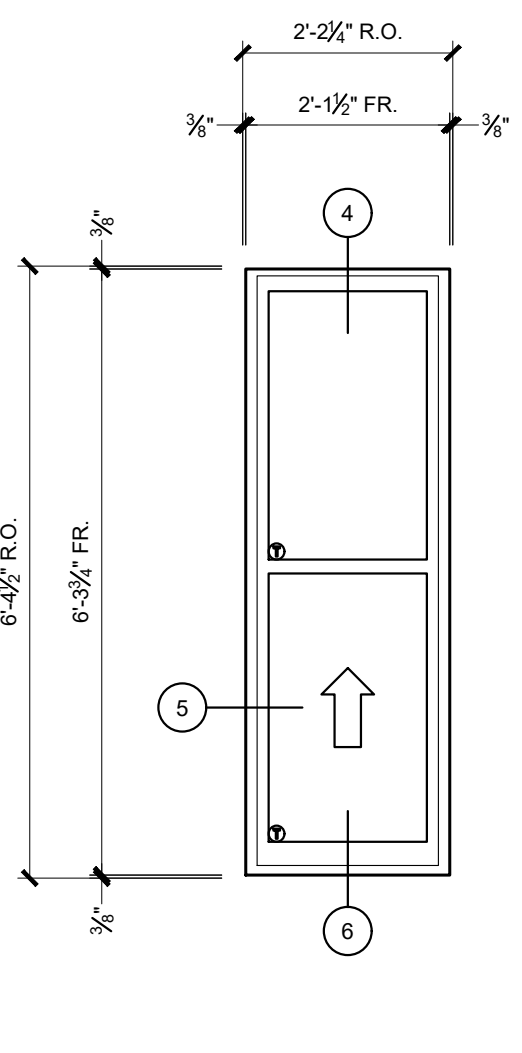
**Front 2nd Right** 4  
LINE # 51 QTY



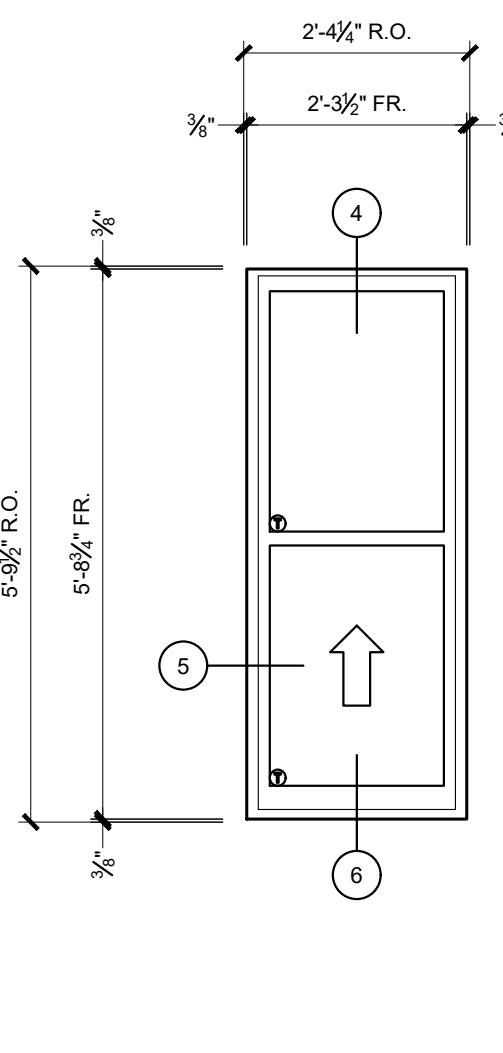
**Front 2nd** 4  
LINE # 55 QTY



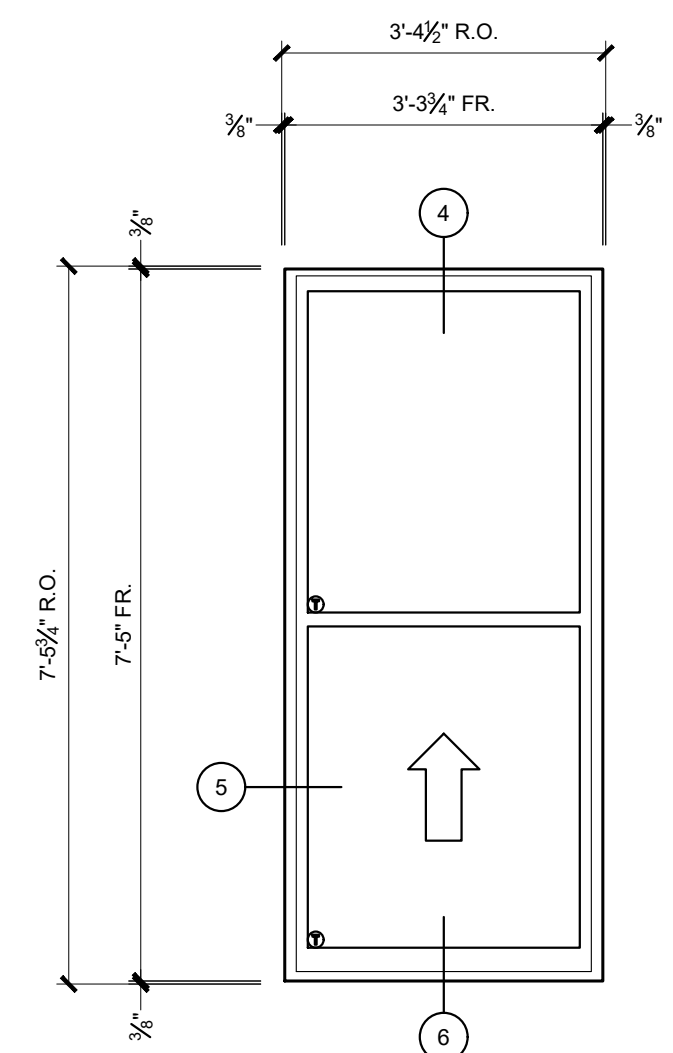
**RIGHT 2nd** 1  
LINE # 60 QTY



**RIGHT 2nd** 1  
LINE # 61 QTY



**RIGHT 2nd** 1  
LINE # 62 QTY



**RIGHT 3rd** 1  
LINE # 63 QTY

REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	-	2	-	3	-	4	-	5	-
1	-	2	-	3	-	4	-	5	-
1	-	2	-	3	-	4	-	5	-
1	-	2	-	3	-	4	-	5	-
1	-	2	-	3	-	4	-	5	-

INSTALLATION SHOP DRAWING FOR

51 SHERMAN STREET

LOCATION: DEADWOOD, SOUTH DAKOTA

ARCHITECT: -

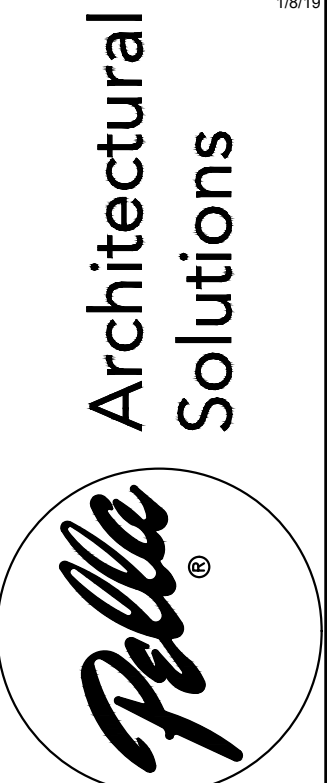
ORIGINAL: 07-19-2021

DRAWN BY: BMB

CHECKED BY: JPV

Project No.:  
228261.01

SHEET:  
02 OF 05



REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	-	2	-	3	-	4	-
1	-	2	-	3	-	4	-
1	-	2	-	3	-	4	-
1	-	2	-	3	-	4	-
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INSTALLATION SHOP DRAWING FOR

51 SHERMAN STREET

LOCATION: DEADWOOD, SOUTH DAKOTA

ARCHITECT: -

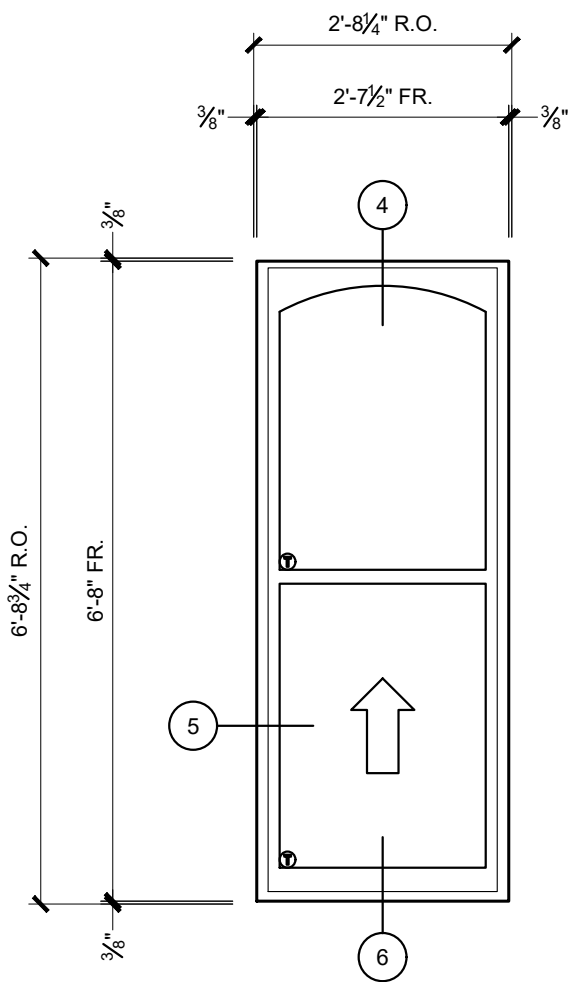
ORIGINAL: 07-19-2021

DRAWN BY: BMB

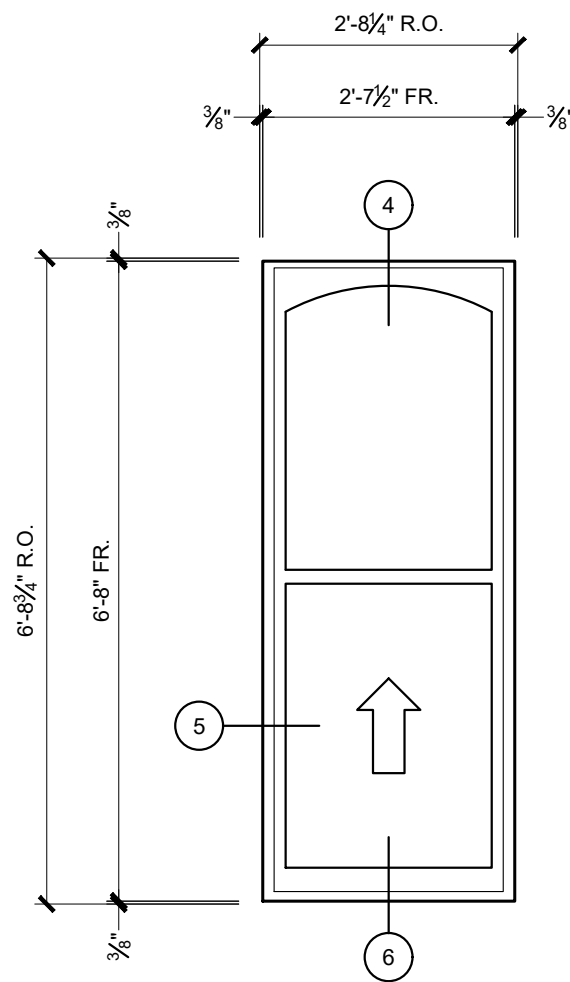
CHECKED BY: JPV

Project No.:  
228261.01

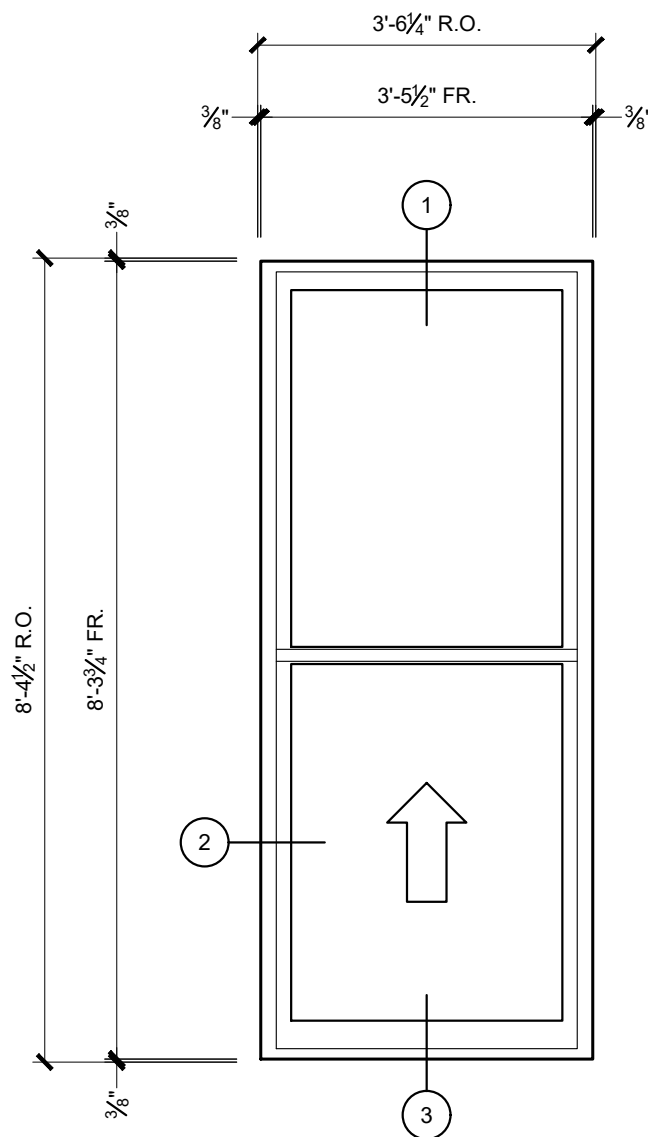
SHEET:  
03 OF 05



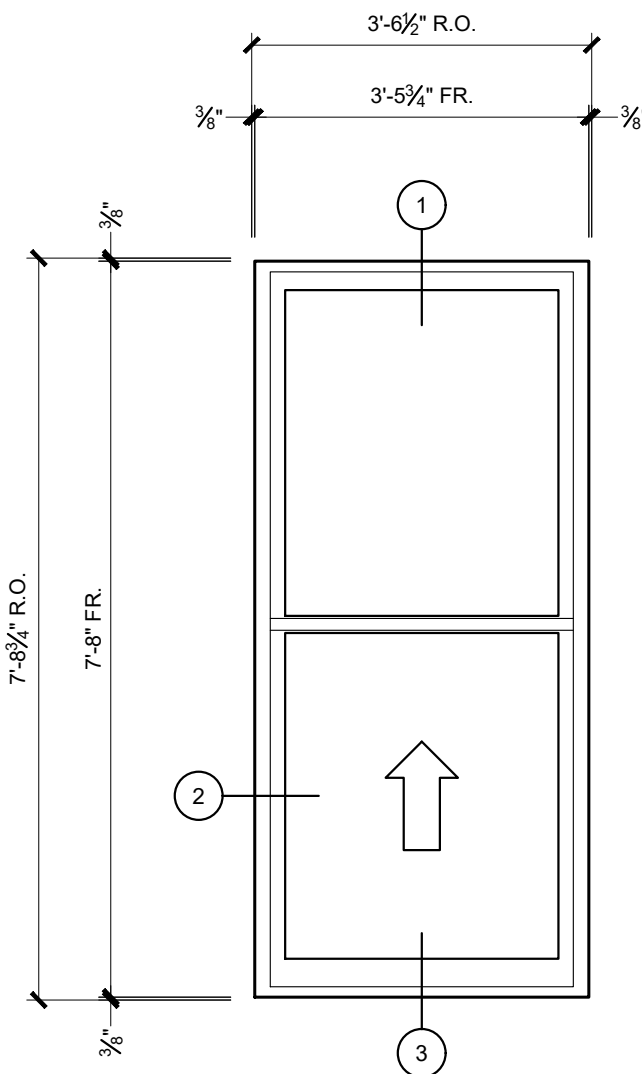
**RIGHT 4th Stair** 1  
LINE # 64 QTY



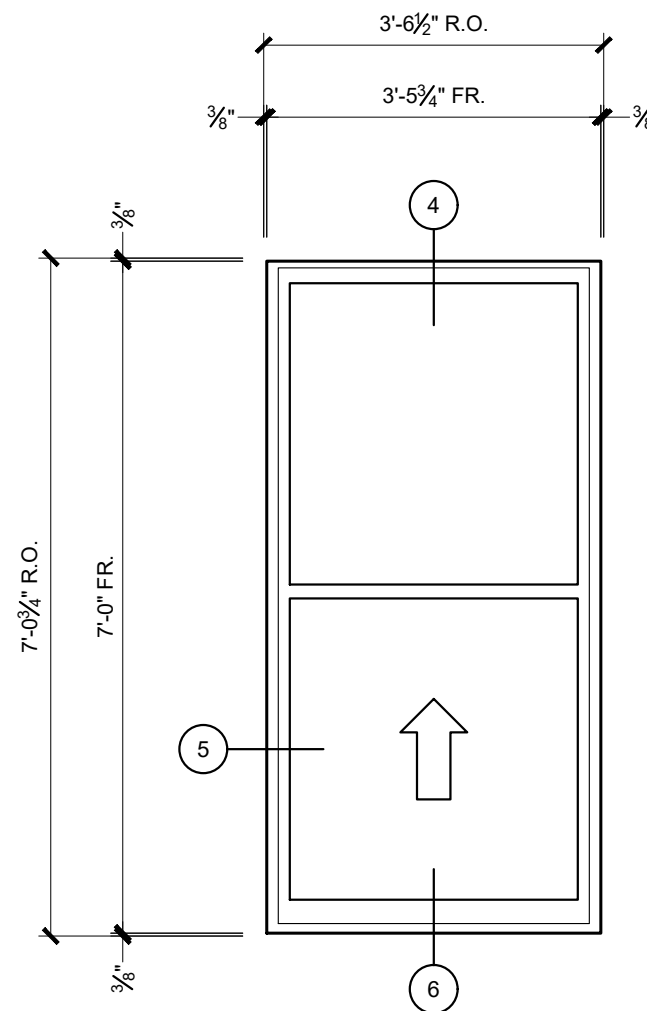
**RIGHT 4th** 2  
LINE # 65 QTY



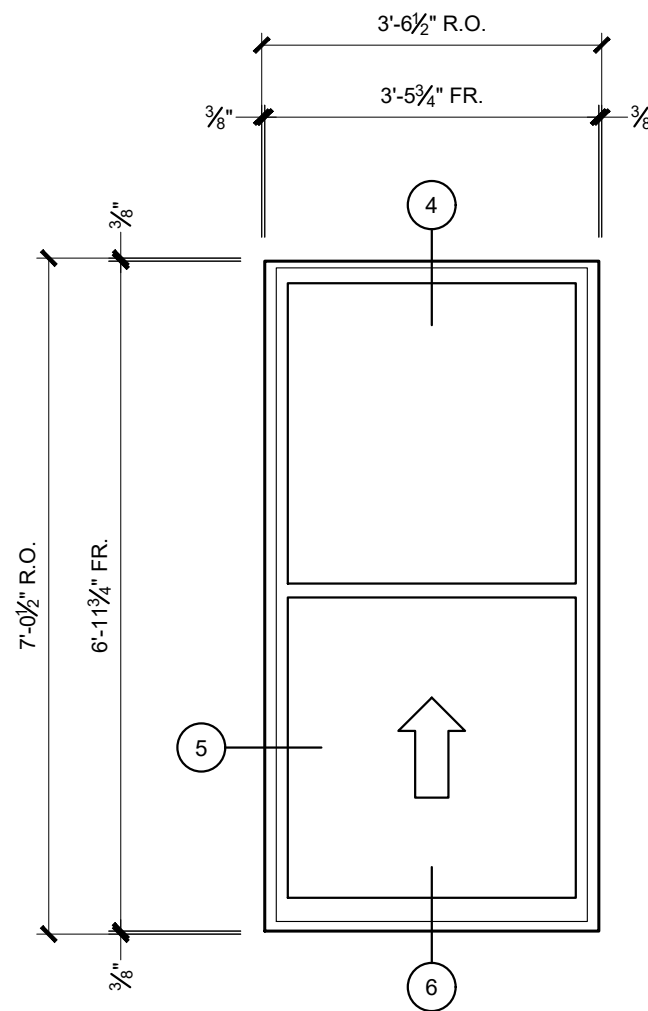
**Rear Right 1st** 2  
LINE # 70 QTY



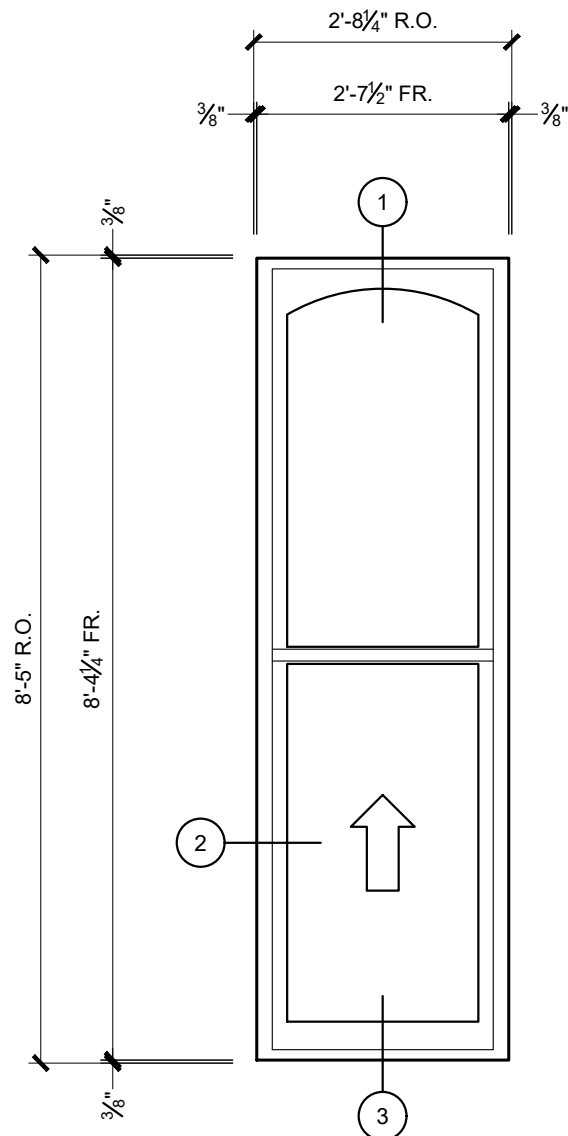
**Rear Right 2nd** 3  
LINE # 75 QTY



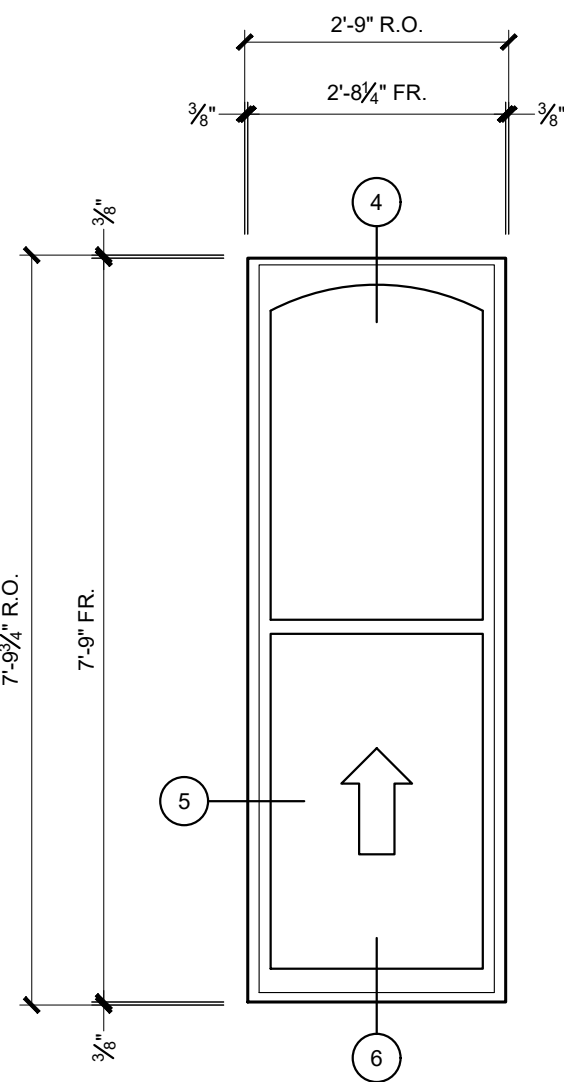
**Rear Right 3rd** 3  
LINE # 80 QTY



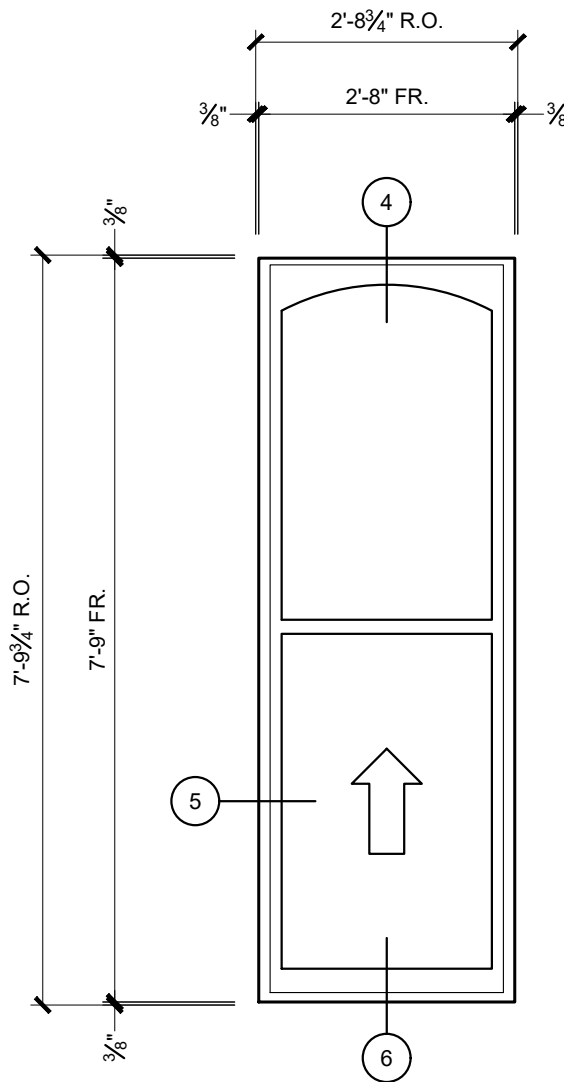
**Rear Right 4th** 3  
LINE # 81 QTY



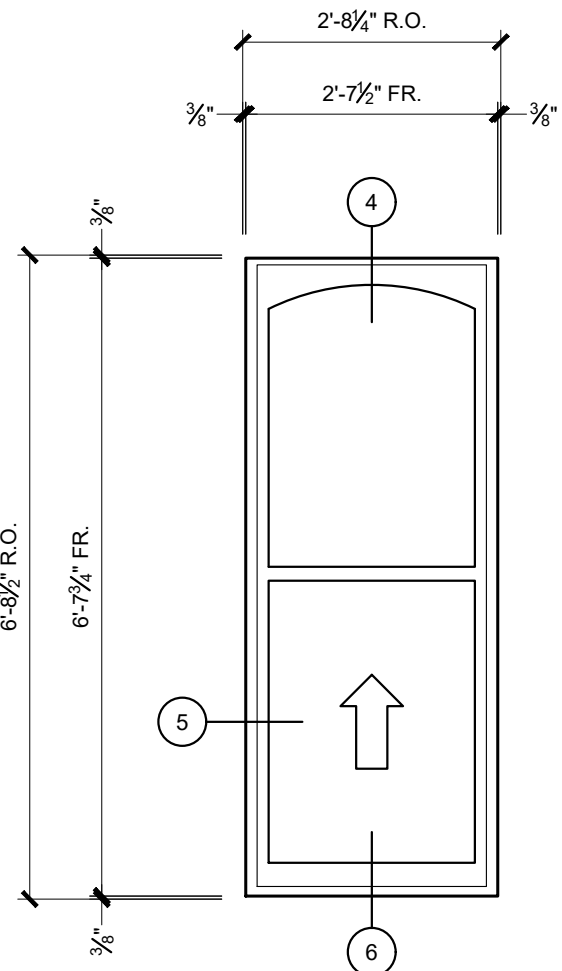
**Rear Left 1st** 2  
LINE # 90 QTY



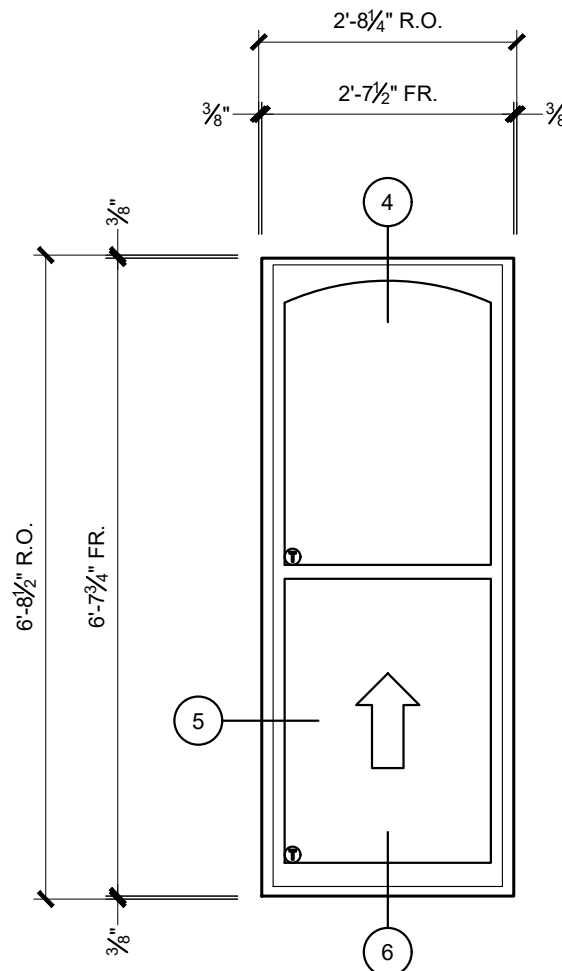
**Rear 2nd left** 8  
LINE # 100 QTY



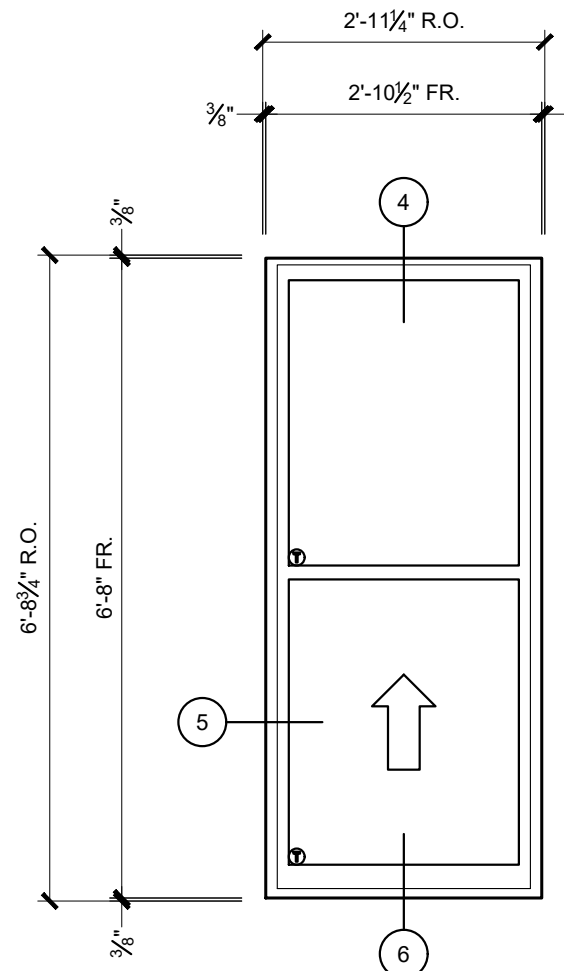
**Rear 2nd Middle** 6  
LINE # 101 QTY



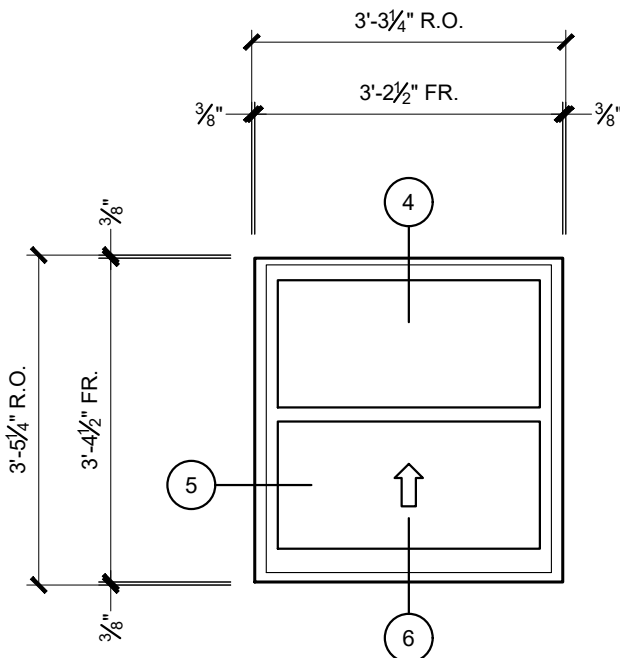
**Rear Left 4th** 4  
LINE # 105 QTY



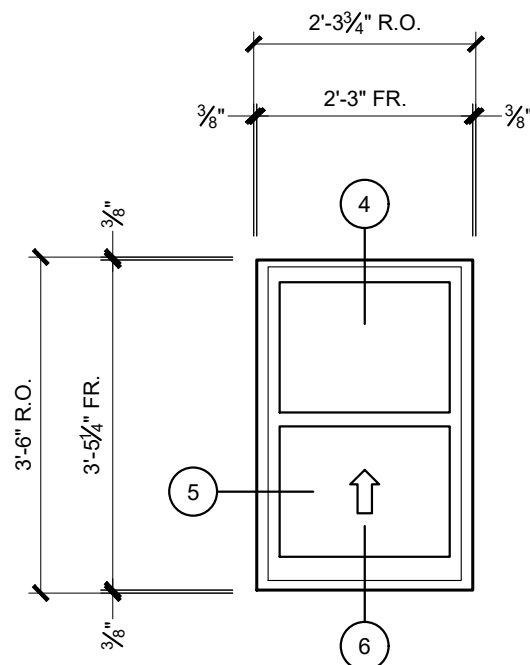
**Rear 4th Patio** 2  
LINE # 110 QTY



**Rear 4th Patio** 1  
LINE # 111 QTY



**Rear 4th Patio** 2  
LINE # 115 QTY
















**Rear 4th Patio** 2  
LINE # 120 QTY

SPECIFICATIONS										NOTE: CUSTOM ATTRIBUTES (IF ANY) WILL BE NOTED UNDER THE ELEVATION LABEL								
Line #	Quote No.	Unit ID	Windowset Name	Exterior Material Type	Base Frame Depth	Exterior Finish	Interior Finish	Glass Strength	Insulated Glass Options	Low-E Glass Style	Gas Filled	Hardware Finish	Limited Opening Hardware	U-Factor	SHGC	VLT	Performance Class	Performance Grade
10	14215973	Left 4th and 3rd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	LC	25
11	14215973	Left 2nd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.25	0.48	LC	25
15	14215973	Left 3rd & 4th	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
20	14215973	Left 2nd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	CW	30
25	14215973	Left 2nd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	CW	30
30	14215973	Front 4th	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	LC	25
35	14215973	Front 4th	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
40	14215973	Front 3rd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	LC	25
45	14215973	Front 3rd Middle	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
46	14215973	Front 3rd Right	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
50	14215973	Front 2nd Middle	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
51	14215973	Front 2nd Right	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
55	14215973	Front 2nd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.25	0.48	LC	25
60	14215973	RIGHT 2nd	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	45
61	14215973	RIGHT 2nd	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	45
62	14215973	RIGHT 2nd	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	45
63	14215973	RIGHT 3rd	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
64	14215973	RIGHT 4th Stair	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
65	14215973	RIGHT 4th	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
70	14215973	Rear Right 1st	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	CW	30
75	14215973	Rear Right 2nd	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	CW	50
80	14215973	Rear Right 3rd	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
81	14215973	Rear Right 4th	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
90	14215973	Rear Left 1st	Pella(R) Reserve Traditional Monumental Double-Hung	Wood	5 5/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.26	0.48	CW	30
100	14215973	Rear 2nd left	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
101	14215973	Rear 2nd Middle	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	30
105	14215973	Rear Left 4th	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
110	14215973	Rear 4th Patio	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
111	14215973	Rear 4th Patio	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	40
115	14215973	Rear 4th Patio	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	45
120	14215973	Rear 4th Patio	Pella(R) Reserve Traditional Single-Hung	Wood	4 3/8"	Primed	Primed	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	Brown	Limited Opening Hardware	0.28	0.28	0.53	CW	45

Section 5 Item b.  
18/19

Architectural Solutions



DATE:									
REV:									
DATE:									
REV:									

INSTALLATION SHOP DRAWING FOR  
51 SHERMAN STREET  
LOCATION: DEADWOOD, SOUTH DAKOTA  
ARCHITECT: -

ORIGINAL: 07-19-2021  
DRAWN BY: BMB  
CHECKED BY: JPV  
Project No.: 228261.01  
SHEET: 04 OF 05

DATE:	-	-	-	-	-	-
REV:	A	B	A	A	A	A
DATE:	-	-	-	-	-	-
REV:	A	A	A	A	A	A

INSTALLATION SHOP DRAWING FOR  
**51 SHERMAN STREET**  
LOCATION: DEADWOOD, SOUTH DAKOTA  
ARCHITECT: -

ORIGINAL: 07-19-2021  
DRAWN BY: BMB  
CHECKED BY: JPV  
Project No.:  
**228261.01**  
SHEET:  
**05** OF **05**

DETAIL KEYNOTES

BC : BUILDING COMPONENTS (BY OTHERS)

BC05.02 LEVEL OPENING SILL PRIOR TO UNIT INSTALLATION. PROVIDE IMPERVIOUS SHIMS 1/2" FROM EACH OPENING JAMB AND AT WINDOW MULLION AS REQUIRED. FOR VINYL WINDOWS, ADD SHIMS SO MAXIMUM SPACING IS 16"  
BC05.10 SHIM AS REQUIRED AT ANCHORAGE LOCATIONS. (DO NOT OVER SHIM)

FC : FASTENING COMPONENTS

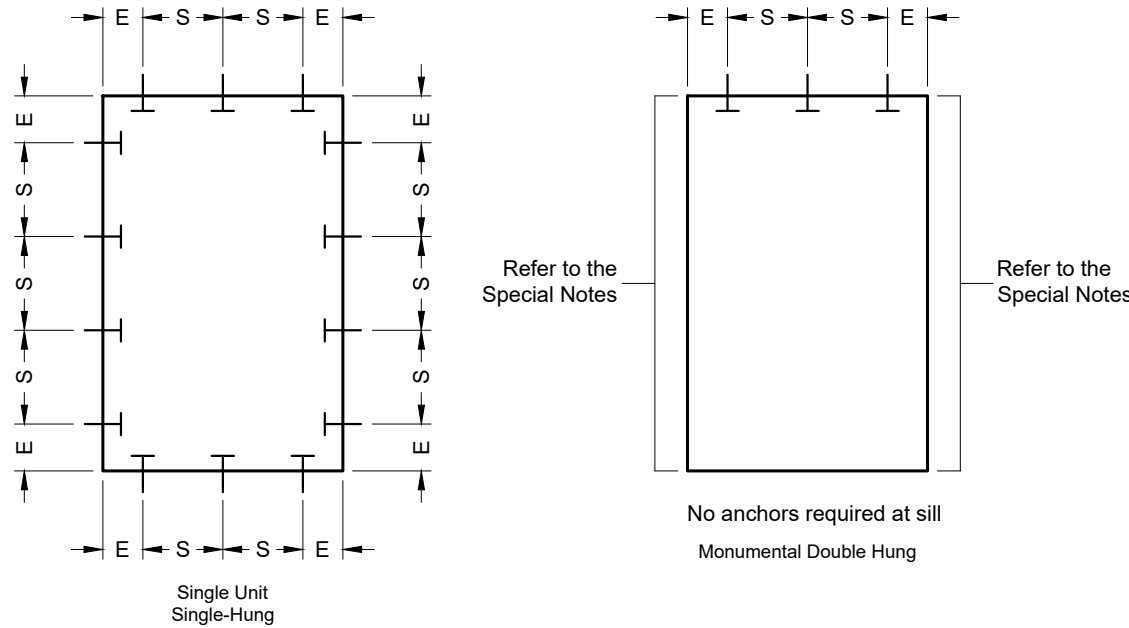
FC01.27 PRE-DRILL PILOT HOLES AND ANCHOR UNIT TO OPENING WITH #8 x 3 1/8" FINISH HEAD WOOD SCREWS SPACED WITHIN 6" OF OUTSIDE EDGE AND 16" ON CENTER MAXIMUM. CAUTION: SHIM AT ANCHORAGE LOCATIONS. DO NOT BOW WINDOW FRAME.

TM : THERMAL AND MOISTURE PROTECTION

TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.

CC1

TYPICAL SPACING OF FRAME SCREWS AT FRAME AND SILL

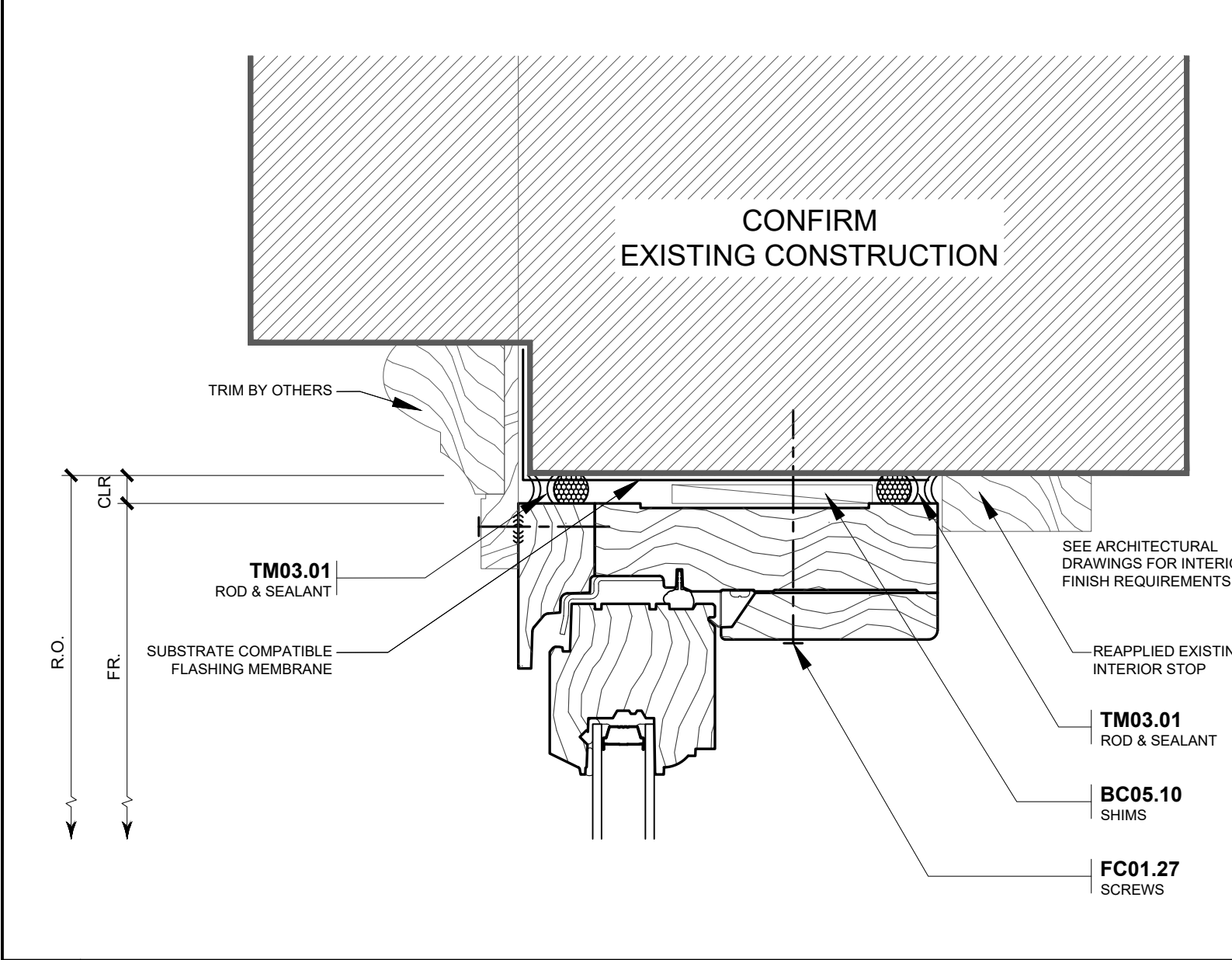


Anchor Through Frame Spacing				Special Notes
Product	Edge Spacing (E)	Max. Intermediate Spacing (S)	Fastener	
Double- or Single-Hung	6"	16"	#8 X 3" Finish Screw	
Monumental DH >54" x 96"	6" (Head)	16" (Head)	#8 x 3" Screw	Remove sashes and jamb liners. Drive 1 screw through each jamb liner support clip (top, bottom, checkrail and center of each sash). Drive 2 additional screws through the frame (or secure clips) 3" above and below the checkrail on each jamb. Drive additional screws through the frame (or secure clips) centered between each jamb liner support clip.

\* For light gauge steel framing, use #10 self-drilling/self-tapping screws; For concrete or masonry, use 3/16" masonry screws with 1-1/4" min. embedment.

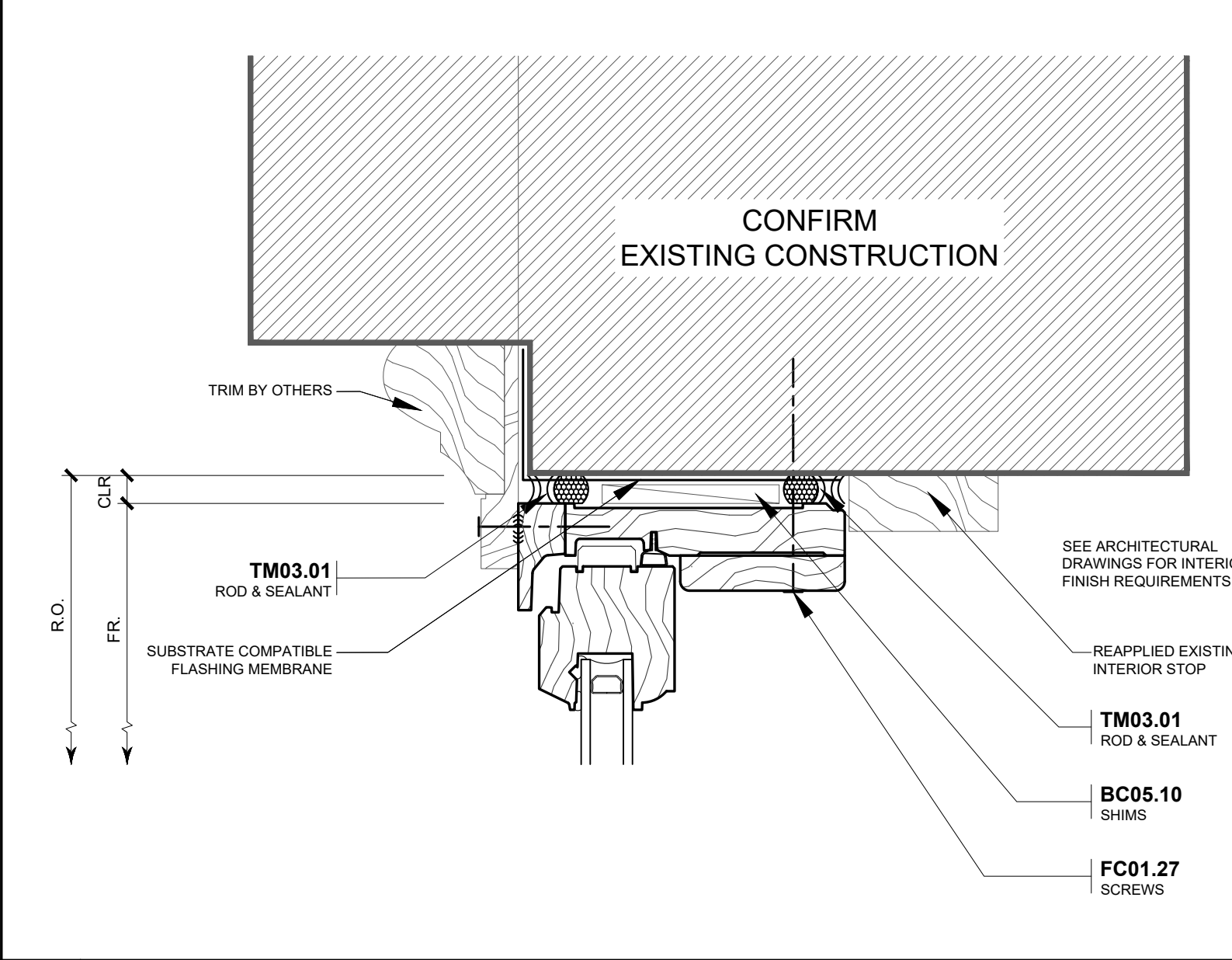
CLAD ANCHOR THROUGH FRAME INSTALLATION

TYPICAL DETAILS APPLY UNLESS OTHERWISE SPECIFIED



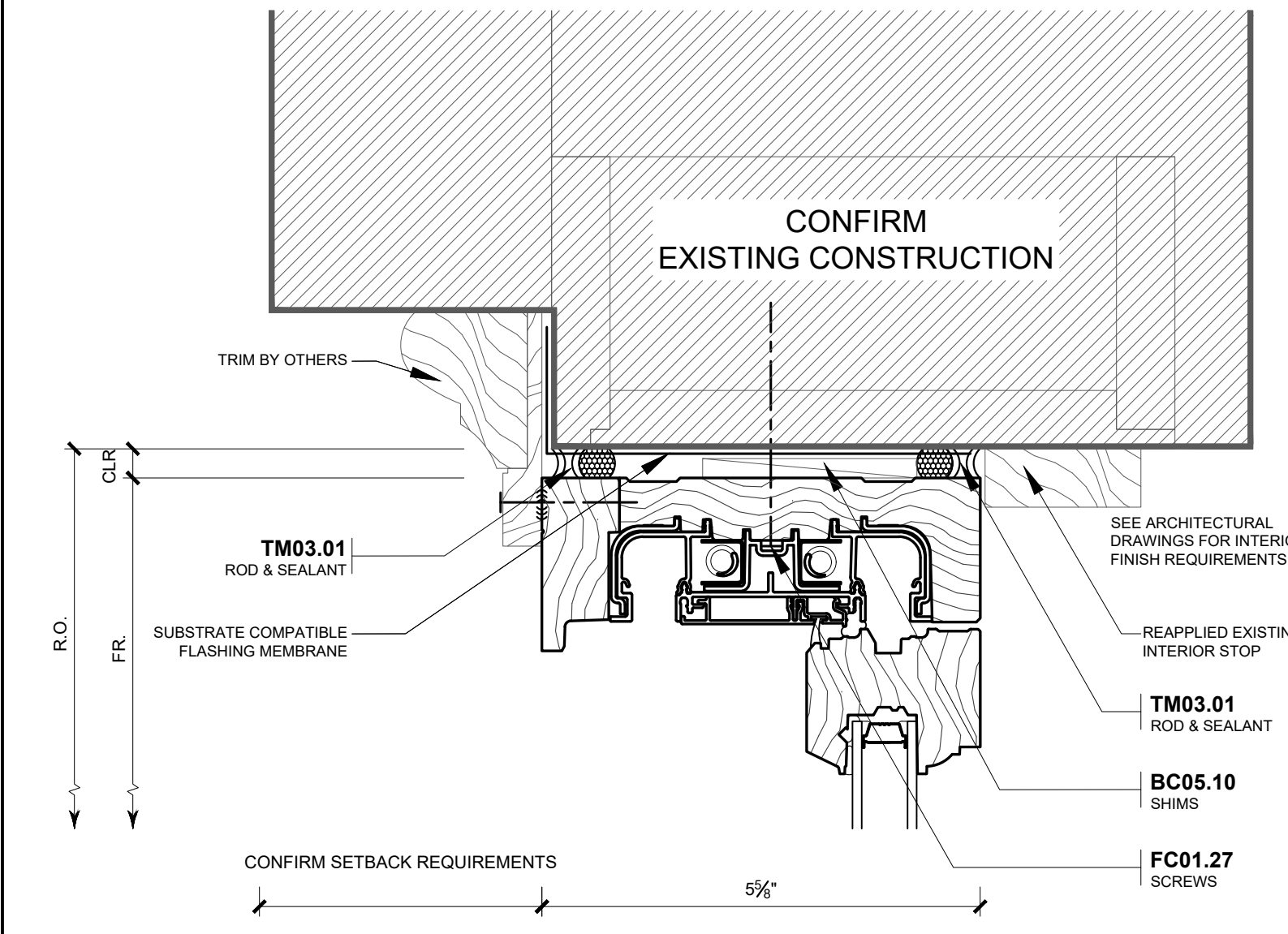
1 HEAD

REF. ARCH. DWG.:-



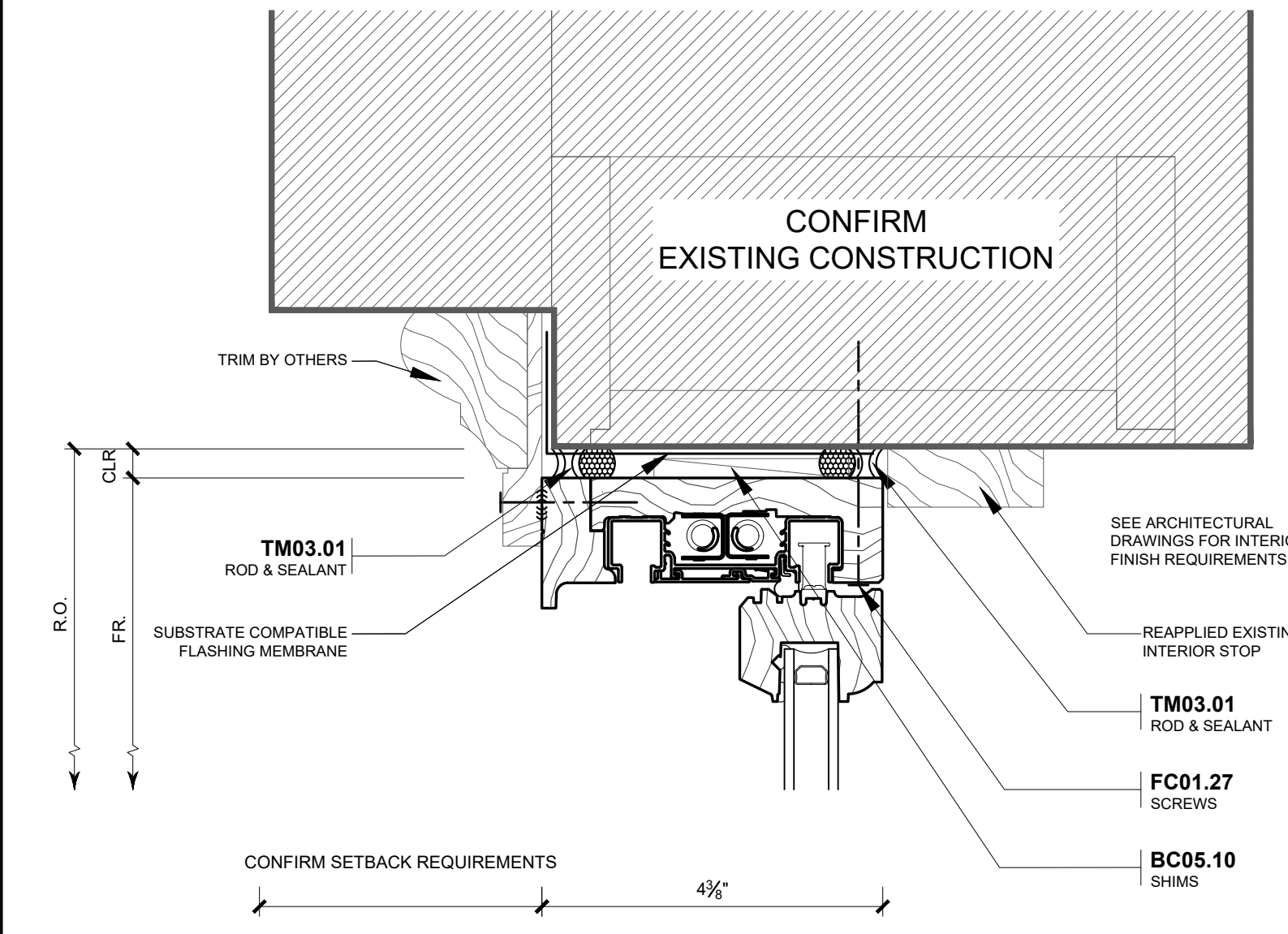
4 HEAD

REF. ARCH. DWG.:-



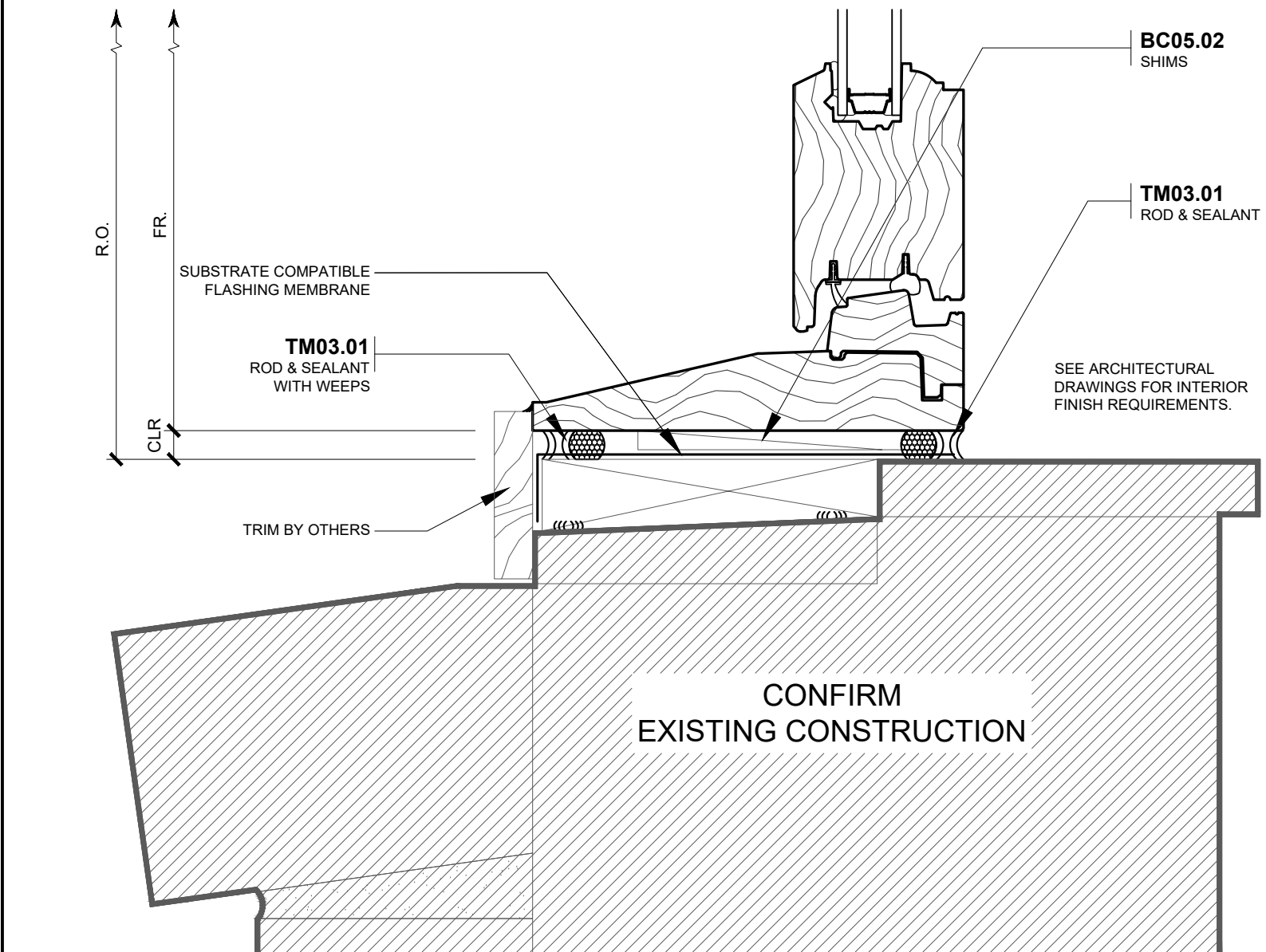
2 JAMB

REF. ARCH. DWG.:-



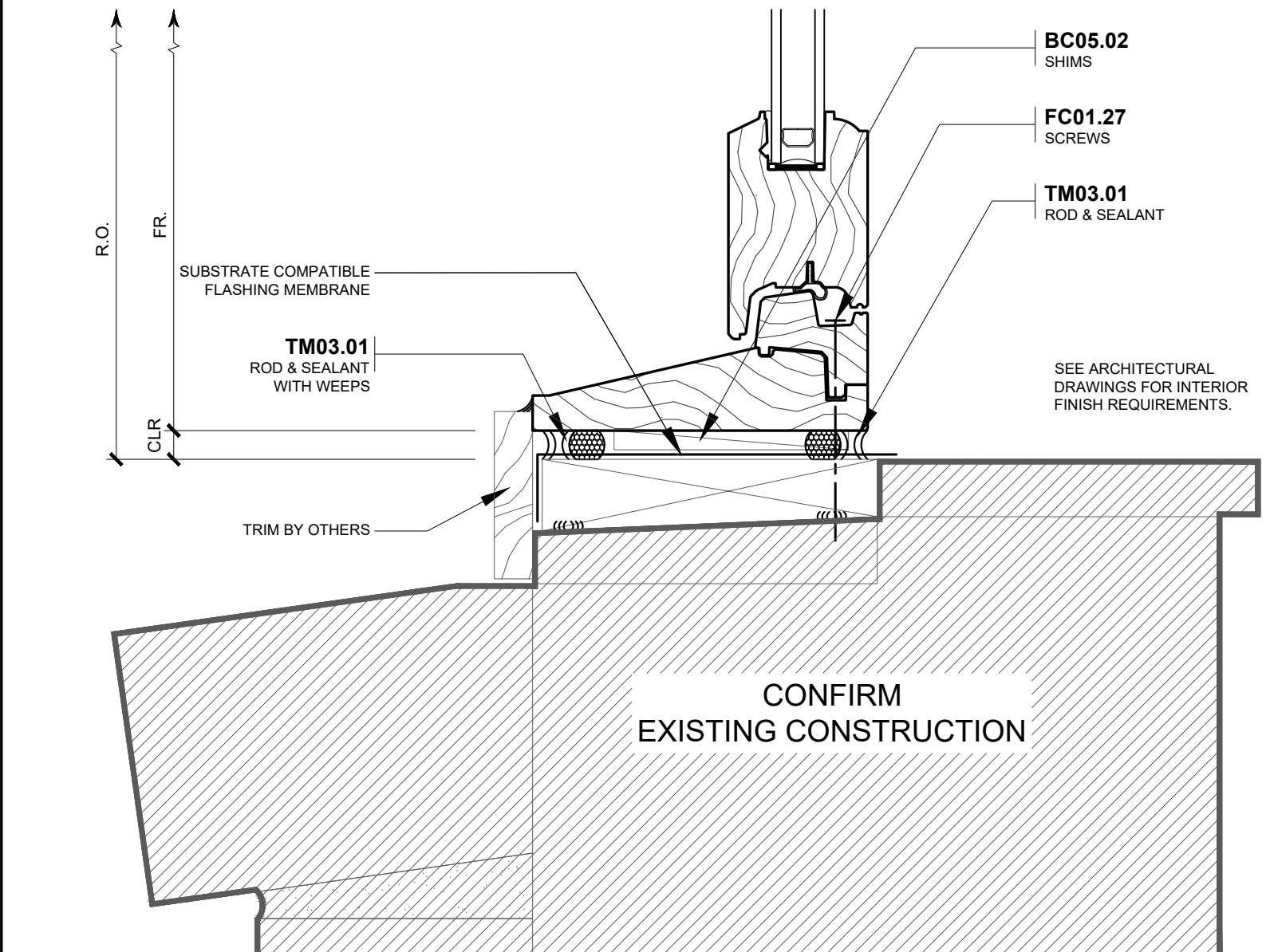
5 JAMB

REF. ARCH. DWG.:-



3 SILL

REF. ARCH. DWG.:-



6 SILL

REF. ARCH. DWG.:-

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Historic Preservation Officer  
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kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** July 23, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Vacant Home Program, Cara Potter, 152 Charles Street

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Cara Potter has recently acquired the property at 152 Charles Street. The applicant plans to restore the property using the Historic Preservation grants and loan programs.

Due to the moratorium she is unable to apply for the programs but because of the requirements of the Vacant Home Program, the applicant must apply within three months of purchasing a vacant property. The applicant will apply for the remaining programs when they become available.

The Loan Committee reviewed this issue at their July 20, 2021 meeting and recommend accepting Cara Potter in the Vacant Home Program for property located at 152 Charles Street.

**Recommend Motion:** *Move to accept Cara Potter in the Vacant Home Program for property located at 152 Charles Street.*



For Office Use Only:

Section 5 Item c.

☐ Owner Occupied  
☐ Non-owner Occupied  
Assessed Value of Property \_\_\_\_\_  
Verified Lawrence County Dept. of Equalization  
Date: \_\_/\_\_/\_\_ Initials: \_\_\_\_\_

## Application for Historic Preservation Programs Residential Properties

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information

1. Address of Property:

152 Charles Street, Deadwood, SD

Please attach the legal description of the property.

2. Applicant's name & mailing address:

Cara Potter

211 Milliken Street

Lead, SD 57754

Telephone: (402) 730-0276

E-mail: cpotsgo@msn.com

3. Owner of property--(if different from applicant):

same

Telephone: ( ) -

E-mail

4. Historic Preservation Programs applying for

- ☐ Foundation Program  
☐ Siding Program  
☐ Wood Windows and Doors Program  
☐ Elderly Resident Program

What year were you born: \_\_\_\_\_

- ☒ Vacant Homes Program (must be vacant for 2 years)  
☐ Revolving Loan Program  
☐ Retaining Wall Program

5. Contractor

Dan VonMoos / DellWood Builders

618 1/2 Miner's Ave

Lead, SD 57754

Telephone: (608) 474-0121

E-mail: hondadan50@gmail.com

All Contractors and Sub-Contractors are required to be licensed in the City of Deadwood.

When the application and Project Approval are approved it is recommended the owner and contractor enter into a contract and provide a copy to the Historic Preservation Office.

6. As per Historic Preservation guidelines, any work being performed on the exterior of a structure must go before the Historic Preservation Commission for approval. **Programs may be amended to reflect the availability of funding and the completion of high priority projects.** Along with this application please complete and submit a City of Deadwood Application for Project Approval and attach to this document. All documentation must arrive by 5:00 p.m. on the 1<sup>st</sup> and 3<sup>rd</sup> Wednesdays of every month to be considered at the next Historic Preservation Commission Meeting.

7. The scope of work is a brief description of what will be done to the structure. Please fill out the form listed below describing your plans. Additional Information may be attached including any quotes from contractors.

Residential Scope of Work		
Program	Estimated Cost	Description of Work
Foundation		
Siding		
Wood Windows & Doors.		
Elderly Resident		
Vacant Home	\$10,000	front porch, decorative trim, remaining doors/windows & start electric
Revolving Loan		
Retaining Wall		

8. Wood Windows and Doors Program worksheet. To help determine the amount to be allocated please fill out the worksheet below to determine how many windows and doors there are on each side of the structure and clarify if they will be repaired or replaced.

Grant total will not exceed \$20,000	Repair/Replace Existing Window(s) \$800 each	Repair/Replace Wood Storm/Screen Window(s) \$350 each	Repair/Replace Existing Primary Door \$600	Repair/Replace additional Wood Door(s) Up to \$300 each	Repair/Replace Wood Storm Door(s) \$600 each
Front View	0	0	0	0	0
Right Side View	0	00	NA	0	0
Left Side View	0	0	NA	0	0
Rear View	0	00	NA	0	0
Total Windows/Doors	0	0	0	0	0
Office Use Only					
TOTAL FUNDS ALLOWED					

## 9. Acknowledgement

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan is true and complete to the best of my knowledge and belief. I acknowledge I have read and understand the policy guidelines for the loan or grant programs included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant or loan. By signing this document it affirms I have read, understand and agree to this acknowledgement.

Applicant's signature:



Date submitted: 7 / 28 / 21

Owner's signature:



Date submitted: 7 / 10 / 21



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## ***MEMORANDUM***

---

**Date:** July 23, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** 2022 Historic Preservation Budget Approval

---

The Historic Preservation Commission is conducting the annual budget session at 7:00 a.m. on Tuesday, July 27, 2021 in the Century Room of Deadwood City Hall located at 108 Sherman Street.

Formal adoption of the 2022 Historic Preservation Budget is anticipated to be at the regularly scheduled meeting on the July 28, 2021; however, the final budget will not be uploaded onto the website until after the July 27, 2021, budget session meeting.

For more information on the budget session please see agenda and packet for the meeting on July 27, 2021.

2022 HPC Budget

	Actual Year End	Adjusted Budget	Balanced Budget
	2020	2021	2022
<b>INCOME</b>			
Projected Income	\$ 6,871,999.43	\$ 6,970,000.00	\$ 6,900,000.00
Transfer from Reserves - Bond Pmt		\$ -	\$ -
Transfer from Reserves		\$ 75,000.00	
Other Income			
TOTAL	\$ 6,871,999.43	\$ 7,045,000.00	\$ 6,900,000.00
<b>EXPENSES</b>			
<b>Fixed Expenses</b>			
Bond Payment	\$ 757,433.53	\$ 1,100,000.00	\$ 1,193,000.00
<b>HP Office</b>			
HP Operations	\$ 434,206.88	\$ 451,300.00	\$ 473,480.00
Archaeology	\$ 7,744.75	\$ 39,500.00	\$ 38,750.00
Archives	\$ 48,405.18	\$ 42,400.00	\$ 40,600.00
Dues & Subscriptions	\$ 1,855.27	\$ 2,500.00	\$ 2,500.00
Collections / Acquisition	\$ 1,558.63	\$ 10,000.00	\$ 12,500.00
GIS	\$ 21,950.13	\$ 25,000.00	\$ 25,000.00
Scholarship	\$ 2,000.00	\$ 2,500.00	\$ 2,500.00
Advocacy/Public Education	\$ 82,215.10	\$ 195,000.00	\$ 200,000.00
SubTotal	\$ 599,935.94	\$ 768,200.00	\$ 795,330.00
<b>Grants &amp; Loans</b>			
Cemetery Headstones	\$ 9,050.00	\$ 3,500.00	\$ 4,500.00
Not-for-Profit Deadwood Grants	\$ 9,854.49	\$ 40,000.00	\$ 40,000.00
Outside of Deadwood Grants	\$ 105,916.45	\$ 100,000.00	\$ 100,000.00
Book Publishing	\$ -	\$ 5,000.00	\$ 5,000.00
Retaining Wall Program	\$ 191,864.85	\$ 363,130.00	\$ 500,000.00
Paint Program	\$ 9,631.94	\$ 19,500.00	\$ 20,000.00
SubTotal	\$ 326,317.73	\$ 531,130.00	\$ 669,500.00
<b>Capital Assets</b>			
Building/Maintenance	\$ 194,584.22	\$ 260,000.00	\$ 275,000.00
<b>Capital Improvement Planning</b>			
City Retaining Walls	\$ 463,006.58	\$ 400,000.00	\$ 400,000.00
Wayfinding	\$ 21,199.31	\$ 25,000.00	\$ 25,000.00
Rodeo Grounds	\$ 65,122.40	\$ 1,235,000.00	\$ 75,000.00
	\$ 743,912.51	\$ 1,660,000.00	\$ 500,000.00
<b>Visitor Management</b>			
Trolley Operations Shortfall	\$ 50,000.00	\$ 50,000.00	\$ 50,000.00
Marketing (Chamber)	\$ 268,371.56	\$ 400,000.00	\$ 414,000.00
History & Info Center	\$ 70,000.00	\$ 70,000.00	\$ 70,000.00
SubTotal	\$ 388,371.56	\$ 520,000.00	\$ 534,000.00
<b>Interpretation</b>			
Days of 76 Museum	\$ 110,000.00	\$ 110,000.00	\$ 110,000.00
Days of 76 Rodeo	\$ 65,000.00	\$ 65,000.00	\$ 65,000.00
Adams Museum	\$ 95,000.00	\$ 95,000.00	\$ 95,000.00
Adams House	\$ 75,000.00	\$ 75,000.00	\$ 75,000.00
HARCC	\$ 38,000.00	\$ 38,000.00	\$ 38,000.00
Living History (Deadwood Alive)	\$ 148,000.00	\$ 148,000.00	\$ 148,000.00
Fassbender	\$ 15,000.00	\$ 20,000.00	\$ 20,000.00
Century Award	\$ 1,241.18	\$ 1,000.00	\$ 1,000.00
SubTotal	\$ 547,241.18	\$ 552,000.00	\$ 552,000.00
<b>Professional Services</b>			
Professional/Current Expenses	\$ 61,063.60	\$ 70,000.00	\$ 75,000.00
Legal Services	\$ 5,444.75	\$ 12,500.00	\$ 12,500.00
Neighborhood Block Clubs	\$ 4,656.66	\$ 8,000.00	\$ 8,000.00
Main Street Masterplan	\$ 203,852.92	\$ -	\$ -
State Office	\$ 60,000.00	\$ 60,000.00	\$ 62,500.00
SubTotal	\$ 335,017.93	\$ 150,500.00	\$ 158,000.00
<b>Impact Dollars for City Services</b>			
SubTotal	\$ 1,483,170.00	\$ 1,483,170.00	\$ 1,483,170.00
<b>Sub-total</b>			
Replenish Revolving Loan Program	\$ 660,000.00	\$ 330,000.00	\$ 740,000.00
Contingency	\$ -		\$ -
GRAND TOTAL	\$ 5,181,400.38	\$ 7,025,000.00	\$ 6,900,000.00
<b>Difference</b>			
	\$ 1,030,599.05	\$ 20,000.00	\$ -

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## MEMORANDUM

**Date:** July 23, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** 2021 Outside of Deadwood Grants

On July 20, 2021, the Projects Committee reviewed the 2021 Outside of Deadwood Grant applications. This round included thirteen (13) Outside of Deadwood Grant applications requesting a total of \$199,988.89.

The budget for 2021 is set at \$100,000.00 making the selection process more challenging. The Projects Committee closely reviewed the applications and made the following recommendations for grant approval. The table lists the applicant, project, location and amount for eleven (11) grants totaling \$95,000.00 with \$5,000.00 set aside for emergency grants which may arise over the balance of 2021.

The Projects Committee recommends approval of the 2021 Outside of Deadwood Grants as follows:

### 2021 OUTSIDE OF DEADWOOD GRANT RECIPIENTS

Organization Name	City	Project Budget	Matching Funds	Amount Requested	Suggested Approval
Gethsemane Episcopal Church	Sisseton	\$118,463.77	\$59,231.88	\$59,231.89	\$ -
United Church of Christ, Congregational	Yankton	\$97,166.00	\$87,166.00	\$10,000.00	\$10,000.00
Haakon County	Philip	\$3,810.00	\$1,905.00	\$1,905.00	\$ -
Minnehaha County	Sioux Falls	\$18,877.00	\$9,600.00	\$9,277.00	\$9,250.00
Pyle House Museum	Huron	\$9,500.00	\$4,750.00	\$4,750.00	\$4,750.00
Black Hills Playhouse	Rapid City	\$46,097.00	\$31,097.00	\$15,000.00	\$10,000.00
Homestake Opera House	Lead	\$28,000.00	\$18,000.00	\$10,000.00	\$10,000.00
Gregory County	Burke	\$42,009.00	\$21,009.00	\$21,000.00	\$10,000.00
Mystic Preservation Alliance	Rapid City	\$14,431.50	\$7,216.50	\$7,215.00	\$7,500.00
Old Fort Meade Museum	Fort Meade	\$42,009.00	\$21,009.00	\$21,000.00	\$10,000.00
Fall River County	Hot Springs	\$44,800.00	\$34,800.00	\$10,000.00	\$10,000.00
Rapid City Masonic Temple	Rapid City	\$11,520.00	\$5,910.00	\$5,610.00	\$5,500.00
Verendrye Museum Association	Ft. Pierre	\$54,140.00	\$29,140.00	\$25,000.00	\$8,000.00
<b>TOTAL GRANT REQUESTS</b>		<b>\$247,816.77</b>	<b>\$162,652.88</b>	<b>\$199,988.89</b>	<b>\$95,000.00</b>

## 2021 HISTORIC PRESERVATION OUTSIDE OF DEADWOOD GRANT REQUESTS

Organization Name	City		Project Budget	Matching Funds	Amount Requested	Suggested Approval
Gethsemane Episcopal Church	Sisseton	Since 2011 \$5,550 in funds	\$118,463.77	\$59,231.88	\$59,231.89	\$ -
The Gethsemane Episcopal Church is seeking funds to move the church away from State Highway 10. In 2019 the two lane highway was widened and it is now a four lane highway and as a result the building is now only five feet away from the highway. This highway is a major thoroughfare that has heavy traffic which includes many semi-trucks and other heavy duty vehicles. The vibration of this traffic affects the expensive and historic eight stain glass windows. Also, funds will be used to construct a much needed addition to the church which will house a community room, office, kitchen and restrooms. (This request was denied in RD 1 2020 and they re-applied.)						
United Church of Christ, Congregational	Yankton	Since 2018 \$12,000 in funds	\$97,166.00	\$87,166.00	\$10,000.00	\$ 10,000.00
This is a phased project for restoring the stained glass windows of the church. We are preserving the badly damaged stained glass windows in the church sanctuary. This damage is due to their age and previous lack of a maintenance plan. The next phase will be for stained glass windows on the east and west sides of the church.						
Haakon County	Philip	They have never received funds.	\$3,810.00	\$1,905.00	\$1,905.00	\$ -
The Haakon County Courtroom carpet is worn and unraveling. The carpet has never been replaced to our knowledge. The commission would like to continue to make improvements to keep the courthouse looking it's best.						
Minnehaha County	Sioux Falls	Applicant has no previous grants	\$18,877.00	\$9,600.00	\$9,277.00	\$ 9,250.00
The historical Sioux Falls Coliseum is in critical need of a new deluge fire and sprinkler system and sound system. Currently, when hosting events in the Coliseum, we are running the risk of the outdated sound system causing vibrations and setting off the antiquated sprinkler system. The current outdated sprinkler system was installed in the 1950s and has the potential to go off if the sound system reaches more than 90 decibels by the ringing, crackling, and/or vibrations. If this were to happen, it would destroy the entire interior of the building, including original plaster, molding, woodwork, seats, original stage, lighting, electrical panels, and much more. The entire historic stage would be flooded which has the potential to cause a fire because the electrical boards from the 1960s are located under the stage. The water would damage all equipment being stored there by Minnehaha County, as well MCC for events and programs. The basement is also our designated tornado shelter, which is crucial of maintaining safety regulations and keeping all persons safe. By replacing the current, outdated sprinkler system, we would be preventing a potential triggering of the system, which could go off in the coliseum. In order to ensure safety, the sprinkler system would be updated to current building codes and safety regulations by high qualified, licensed contractors. We simply must have a more reliable & rescue option for fire safety.						

Pyle House Museum	Huron	Since 2013 \$24,255.00 in funds	\$9,500.00	\$4,750.00	\$4,750.00	\$ 4,750.00
Repair and replace the ridge decorations on the roof of the Queen Anne Style Pyle House Museum as they have deteriorated with age. All of the ridge decorations are in need of restoration and there are a total of seven rails. Repair of siding and window trim as needed. Replacement of plaster ceiling in the parlor of the Pyle House Museum with drywall, as locating a professional who does plastering is impossible in this area. The plaster is weakening and is at serious risk of falling.						
Black Hills Playhouse	Rapid City	Since 2009 \$7,921.06 in funds	\$46,097.00	\$31,097.00	\$15,000.00	\$ 10,000.00
The original siding from 1955 still hangs on the building today. The scope of the project includes the following: removal and disposal of the existing siding; installation of blown-in insulation: installation of 7/16" OSB sheathing; installation of blown-in insulation; application of Tyvek ;house wrap; and installation of new siding and trim. The result will be a more structurally sound and energy efficient structure. With these improvements, the Black Hills Playhouse further illustrates their commitment to continually improve and preserve part of South Dakota's rich cultural history.						
Homestake Opera House	Lead	They have never received funds.	\$28,000.00	\$18,000.00	\$10,000.00	\$ 10,000.00
The purpose of this project is to replace a vintage marquee sign, which was in place from 1930's to the 1950's. Currently, there is no sign identifying the exact location of the Opera House courtyard, which is set back from Highway 85. By placing a large, visible sign at the Main Street entrance of the courtyard, visitors to Lead would be able to identify the location of the Opera House lobby.						
Gregory County	Burke	They have never received funds.	\$42,009.00	\$21,009.00	\$21,000.00	\$ 10,000.00
The Gregory County Courthouse is in need of exterior work to assure its structural soundness is maintained. The building needs tuckpointing to be completed in critical areas of the structure, followed up with a thorough cleaning of the brick, restoring the structure to its beautiful original look. The contract for work includes repairing any faults in the brick, replacing any bricks that have deformities or are missing, repairing defective mortar joints, and pressurized washing of the exterior. Completion of these tasks will enhance the beauty of the new windows installed in the structure in 2020. The project is planned for 2022 in order to secure funding and for the contractor's work schedule.						

Mystic Preservation Alliance	Rapid City	They have never received funds.	\$14,431.50	\$7,216.50	\$7,215.00	\$ 7,500.00
Prep and excavate work area, miscellaneous by hand. Remove, repair, reface damaged plate lot with treated timber material. Patch/reface area of broken or cracked foundation. Trim and seal bottom of vertical bell tower siding. Cleat coat/cascade exterior.						
Old Fort Meade Museum	Fort Meade	Since 2012 \$18,488.74 in funds	\$42,009.00	\$21,009.00	\$21,000.00	\$ 10,000.00
The firing range target facility is a large sandstone wall, which over the years acquired many inscriptions from Fort Mead enlisted men. These inscriptions have historic value in indicating who was there and what they thought about it. The proposed project would engage the services of Tim Urbaniak, an expert in recording historic inscriptions, to use 3-D photography and/or laser scanning to make a complete record of the inscriptions on the sandstone wall and other Fort structures, such as the barracks window sills. Deliverable products will be the photographic (digital) record and a report on the methods and results of the project. As appropriate, photogrammetry and D-stretch color image enhancement will be applied to increase the accuracy and "readability" of the images.						

Fall River County	Hot Springs	Since 2008 \$83,039.17 in funds	\$44,800.00	\$34,800.00	\$10,000.00	\$ 10,000.00
<p>The Pioneer Museum has outgrown its small archive room. Not all of the archives can be contained in this room, but are scattered throughout the building. The museum needs a larger space so all the materials are user friendly. We will also have a computer that will allow visitors to search our photo archives and have access to the Past Perfect program. There is almost one-third of the ground floor eligible to be renovated to be used as a an archive, meeting room and exhibit area. The older boiler room, which sits below the first floor, has long been cleared of the boiler and any asbestos. The boiler hole will be covered with rock and at least two inches of cement. Cement block walls along the north, south, and down the center will be built to allow the floor joists and floor to be placed. We also need to take out the old coal bin and a small platform. The floor will be even with the museum first floor. The current stairs down to the boiler room will have a trap door so that it will be accessible. A handicapped accessible doorway will be made on an interior wall. An electrician will install conduits and wiring with LED lighting. Because this is an archive room, a heat-pump will be installed for climate control. After the floor is laid, it will take a lot of labor hours to move the archive materials from the old archive room and other areas of the museum. Much of the shelving will need to be dismantled, brought down from the 4th floor and reassembled. We have boxes of newspapers (40 yrs worth) that need to be brought down and make more accessible and old Fall River County Tax Books. After moving the artifacts over, we will have the other two walls and hallway taken down and open up the area. This will be a great space for exhibits. These walls have been determined not to be load-bearing. They had divided the area into an old custodian apartment and a girls and boys bathroom with showers. To finish the project, we intend to open up the boarded up windows on the ground floor and install new windows with energy efficient glass. We don't know the condition of some of the windows as they are behind the coal room, and others are completely painted over. The frames that need to be replaced will be kept wooden.</p>						
Rapid City Masonic Temple	Rapid City	They have never received funds.	\$11,520.00	\$5,910.00	\$5,610.00	\$ 5,500.00
<p>The project will involve the replacement of three non-historic windows on the front elevation of the building with replicas of the original windows. In c 1980, three historic 15-light windows were removed and replaced with wood infill/aluminum slider windows. This change was a major distrupction to the Renaissance Revival styling of the building, which included character-defining multi-light windows. Replacements will be steel-framed, 15-light replicas fabricated to fit the original window openings (with no change to the masonry openings). The steel will be powder coated in a dark tone to match the original windows.</p>						
Verendrye Museum Association	Ft. Pierre	Since 2008 \$116,500.64 in funds	\$54,140.00	\$29,140.00	\$25,000.00	\$ 8,000.00
The Verendrye Museum request encompasses several buildings and projects. The size was too large						
<b>TOTAL GRANT REQUESTS</b>			<b>\$247,816.77</b>	<b>\$162,652.88</b>	<b>\$199,988.89</b>	<b>\$ 95,000.00</b>

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Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
Kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** July 23, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
Bonny Anfinson, Program Coordinator  
**Re:** Broken Boot Gold Mine Not-For-Profit Grant Request

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The Broken Boot Gold Mine had an emergency repair to replace supporting timbers, catch boards and the exit tunnel door of the Broken Boot Gold Mine. The exit entrance was not able to be used during last year's tourist season because of the issues. A request has been submitted for \$8,160 for the repairs need to reopen the exit section of the mine tour.

Per the Deadwood Not-For-Profit Grant Policy Guidelines, qualified organizations may be eligible for a grant of up to \$10,000 per year not to exceed \$50,000 in a five year period. Since 2016 the Broken Boot Gold Mine has been granted \$38,947.92 in funds with \$11,052.08 available.

The Projects Committee reviewed this request and recommend approving the grant request to the Broken Boot Gold Mine in the amount of \$8,160.00 for emergency repairs to replace supporting timbers, catch boards and exit tunnel door.

**RECOMMENDATION:** *Move to approve the Not-For-Profit grant to the Broken Boot Gold Mine in the amount of \$8,160.00 for emergency repairs to replace supporting timbers, catch boards and exit tunnel door.*



GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM

APPLICATION # \_\_\_\_\_

## DEADWOOD HISTORIC PRESERVATION COMMISSION

DEADWOOD NOT-FOR-PROFIT GRANT PROGRAM FOR  
SITES NOT ELIGIBLE FOR STATE PROPERTY TAX MORATORIUM

### Application

The Deadwood Historic Preservation Commission reviews all applications. Please read the attached Policy Guidelines and provide the requested information below.

1. Property Address: 1200 Pioneer Way, Deadwood 57732

2. Applicant Details: Kerry Ruth, Manager 605-920-1195 [kerrychesterruth@gmail.com](mailto:kerrychesterruth@gmail.com),

PO Box 421, Deadwood, SD 57732

TODAY'S DATE: 6-24-21

3. Owner of Property\*\*:

**\*\*NOTE:** Applicant must own/retain property;

OR

*Applicant must be leasing or renting the property and have written permission from the owner to conduct the work;*

OR

Applicant must have a firm written commitment with the owner to purchase the property.

***(Complete 'Owner of Property' only if different from that of applicant)***

Broken Boot Gold Mine

501 Main Street, Deadwood, SD 57732

Updated on 9/25/2014 1

## 1. Property Address

1200 Pioneer Way, Deadwood, SD 57732

2. Description of work to be performed as part of this project:

Mine repairs: replacing supporting timbers and catch boards, replace mine door at exit tunnel.

### 3. Project budget – itemized and showing disbursement of funding

[illegible]

Interior Mine Repairs		\$8,000	\$8,160
	\$ _____	\$ _____	
	\$ _____	\$ _____	
	\$ _____	\$ _____	
	\$ _____	\$ _____	
	\$ _____	\$ _____	
	\$ _____	\$ _____	Total:
	\$ _____	\$ _____	

4. Total Project Cost: \$8,160      Grant Amount: \$8, 160

# PYRAMID CONSTRUCTION

## Invoice

**We Build To Last**

PYRAMID CONSTRUCTION

816 W McClellan

Lead, SD 57754

cell#5801291

**Billed To:**  
Broken Boot Mine  
1200 Pioneer way  
Deadwood, SD 57732

**Work Completed At:**  
same

**date** 6/1/21  
**date started**  
**date finished**  
**bill due**

**Job Description:**

remove / replace specified timber in mine.  
remove / replace catch boards in mine  
weld steel frame together creating a  
new mine door, cover it with wood and paint  
install new door by welding it to existing angle iron in doorway

clean up debris  
dispose of same

MATERIALS	QUANTITY	PRICE
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200.00	dump run and fees
7,800.00	labor / material
160.00	excise tax

**8,160.00**

**Thank You for your business**













OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



**Kevin Kuchenbecker**  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** July 22, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Request for funding to share costs for Days of '76 Promotion at the NFR

---

The Days of '76 Committee, Deadwood Chamber of Commerce and city staff plan to promote Deadwood and the Days of '76 100<sup>th</sup> Anniversary at the National Finals Rodeo (NFR) in Las Vegas, NE on December 2-11, 2021.

This is a joint project between the Days of '76 Committee, Deadwood Chamber of Commerce and the City of Deadwood with a total project cost of \$25,000.00 to promote this event. Cost to be shared as follows: Days of '76 Committee - \$10,000.00, Deadwood Chamber of Commerce - \$5,000.00, Bid 8 - \$5,000.00, and Historic Preservation Commission - \$5,000.00.

Staff is requesting the Historic Preservation Commission recommend the City Commission support the Days of '76 Promotion at the NFR in the amount of \$5,000.00 to promote Deadwood and the Days of '76 100<sup>th</sup> Anniversary at the NFR in Las Vegas December 2-11, 2021 to be paid from the HP Public Education line item.

**Recommend Motion:** Request the Historic Preservation Commission recommend the City Commission support the Days of '76 Promotion at the NFR in the amount of \$5,000.00 to promote Deadwood and the Days of '76 100<sup>th</sup> Anniversary at the NFR in Las Vegas December 2-11, 2021 to be paid from the HP Public Education line item.



Date: July 23, 2021

Case No. 210126

Address: 51 Sherman Street

**Staff Report**

The applicant has submitted an application for Certificate of Appropriateness for work at 51 Sherman Street a contributing structure located in the South Deadwood Planning Unit in the City of Deadwood.

Applicant: Keating Resources

Owner: Same

Constructed: 1894/95/1897/1898-99/1903/1909/1916/1933

**CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL**

**The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:**

**General Factors:**

1. **Historic significance of the resource:** It is impossible to talk about this block one building at a time. The entire complex was the handiwork of W.E. Adams, mentioned previously with respect to his grocery store on Main Street. In 1894, Adams built the middle 25 feet of what is now the four-story building on this site. It started as a two-story building which housed Adams' grocery store, with its grand opening January 21, 1895. In 1897, Adams decided to build again, and constructed another 25-foot-wide building to the right of his store, three stories tall. At the same time, he added a third story to his first building. Griffith's Red Anvil Hardware Store was the first floor tenant in the new building. DeMouth's Ark occupied that storefront. In 1909, the fourth floors were added to the other two buildings, and they assumed their current appearance.

Adams turned exclusively to wholesale trade in 1901, and his storefront was occupied by Arnold Brother's Grocery Store. Adams continued to do business from the back rooms of his buildings, but required a more visible presence for his offices. In 1903 he built a tall one-story office building to the right of his three four-story buildings. That building has since been remodeled into what appears to be a two-story building. Notice the iron column on the 1903 building. Although it closely resembles the columns on the adjacent building, the flower is turned upside down. This column was manufactured in Deadwood by the Black Hills Foundry to match the other columns, which were manufactured out of state. The turned flower may have been done intentionally to differentiate the work, or to avoid potential problems. A one-story brick building was built to the right in 1916 to house Adams' delivery trucks. The final portion of the building was an extension of the garage built in 1933. The bricks used in those buildings are actually street pavers. How Adams obtained street paving brick is a mystery, but he may have purchased them when the streets were paved in 1907, while he was the city's mayor.

In 1941, Adams' company was purchased by Paxton-Gallagher of Omaha, and in 1949 the company announced that they were withdrawing from business in Deadwood and moving their base of operations to Rapid City. These buildings were sold to the Black Hills Mercantile Co. which had been operating out of the

Cudahy Packing Co. Building since 1919 (#82). They constructed the loading dock entrance on the left side of the building in 1951. The upper stories have been occupied as professional offices and residential apartments.

2. **Architectural design of the resource and proposed alterations:** The applicant requests permission to replace all double hung windows. The existing historical frames will remain and be repaired as necessary. New wood single hung windows will be installed within the existing frames.

**Attachments:** Yes

**Plans:** No

**Photos:** Yes

**Staff Opinion:** Staff has recommended an on-site consultation with the State Historic Preservation Office to conduct a comprehensive window conditions analysis. This is due to the applicant's desire to receive the Federal Rehabilitation Tax Credit which will need to be certified by the National Park Service. At this time, staff does not feel comfortable making a determination as rather meets the standards.



**Motions available for commission action:**

Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084

**FOR OFFICIAL USE**

Section 7 Item a.

Case No. \_\_\_\_\_

☐ Project Approval☐ Certificate of Appropriateness

Date Received \_\_\_\_/\_\_\_\_/\_\_\_\_

Date of Hearing \_\_\_\_/\_\_\_\_/\_\_\_\_

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: 51, 53, 55 SHERMAN STREET

Historic Name of Property (if known): ADAMS BLOCK BUILDING

### APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other \_\_\_\_\_

Owner's Name: KEATING RESOURCES

Address: 2121 N. PEARL ST, STE. 300

City: DALLAS State: TX Zip: 75201

Telephone: 402-925-5113 Fax: \_\_\_\_\_

E-mail: gerard@keatingresources.com

Architect's Name: CHAMBERLIN ARCHITECTS

Address: 725 ST. JOSEPH ST, STE. B1

City: RAPID CITY State: SD Zip: 57701

Telephone: 605-355-6804 Fax: \_\_\_\_\_

E-mail: bburns@chamberlinarchitects.com

Contractor's Name: TBD

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

### TYPE OF IMPROVEMENT

☐ Alteration (change to exterior)

☐ New Construction

☐ General Maintenance

☐ Other \_\_\_\_\_

☐ New Building

☐ Re-Roofing

☐ Siding

☐ Awning

☐ Addition

☐ Wood Repair

☒ Windows

☐ Sign

☐ Accessory Structure

☐ Exterior Painting

☐ Porch/Deck

☐ Fencing

**FOR OFFICE USE ONLY**

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: <u>SOON</u>		Project Completion Date (anticipated): <u>TBD</u>		
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input checked="" type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>	
	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear	
Material _____ Style/type _____				
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments				

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

All double-hung window in the building will be replaced. The existing historical frames will remain and be repairs where necessary. New wood single hung windows will be installed within the existing frames. See attached preliminary submittal from Pella for product information and detail.

**FOR OFFICE USE ONLY**

Case No. \_\_\_\_\_

**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

DocuSigned by:

*Gerard J. Keating*

6/23/2021

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

#### PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.



# Windows & Doors

Submittal Package

-51 Sherman St –

Deadwood, South Dakota

Pella Corporation  
 102 Main Street  
 Pella, Iowa 50219  
 Toll Free (800) 54-PELLA  
 Phone (641) 621-1000  
 Website www.pella.com

## Product Guide Specification

### SECTION 08 52 10

#### WOOD MONUMENTAL SINGLE-HUNG WINDOWS

## PRODUCTS

### 2.1 MANUFACTURER

- A. Pella Corporation, 102 Main Street, Pella, Iowa 50219. Toll Free (800) 54-PELLA. Phone (641) 621-1000. Website www.pella.com.

### 2.2 WOOD MONUMENTAL [SINGLE-HUNG] WINDOWS

- A. [Factory-Primed] Wood Monumental [Single-Hung] Windows: Architect Series factory-assembled wood monumental windows with sash [in unit] [out of unit] \*\*\*\* Due to size, some units will have sashes shipped separately. \*\*\*\*
- B. Frame:
1. Select wood, water-repellent, preservative-treated with EnduraGuard® in accordance with WDMA I.S.-4. EnduraGuard includes water-repellency, three active fungicides and an insecticide applied to the frame.
  2. Exposed Surfaces: [Pine] with no visible fastener holes.
  3. Exterior Finish: [Factory-Primed]
  4. Overall Frame Depth: 5-7/8" (149 mm).
- C. Sash:
1. Select wood, water water-repellent, preservative-treated with EnduraGuard in accordance with WDMA I.S.-4. EnduraGuard includes water-repellency, three active fungicides and an insecticide applied to the sash.
  2. Exposed Surfaces: [Pine] with no visible fastener holes.
  3. Exterior Finish: [Factory-Primed]
  4. Corners: Mortised and tenoned, glued and secured with metal fasteners.
  5. Sash Thickness: 2-1/4" (57 mm).
- D. Weather Stripping:
1. Santoprene-wrapped foam at head and sill.
  2. Full length glass filled polypropylene interlocker with integrated slip-coated thermoplastic elastomer leaf.
  3. Secondary nylon bristle rain strip on bottom sash at sill.
  4. Vinyl-wrapped foam with secondary nylon bristle rain strip inserted into jamb liner to seal against sides of sash.



## 2.3 GLAZING

- A. Glazing:
1. Float Glass: ASTM C 1036, Quality 1.
    - a. Tempered Glass: ASTM C 1048.

## 2.4 OPTIONS

- A. Insect Screens: **NO SCREENS**
1. Compliance: ASTM D 3656 and SMA 1201.
  2. Screen Cloth: Vinyl-coated fiberglass, 18/16 mesh.
  3. Set in aluminum frame fitted to outside of window.
  4. Complete with necessary hardware.
  5. Screen Frame Finish: Baked enamel.

## 2.5 HARDWARE

- A. Balances:
1. Galvanized block-and-tackle balances combined with a Class 5 hybrid balance].
  2. Connected to self-locking balance shoes attached to the sashes using zinc die cast terminals.
  3. Balances concealed within frame.
  4. All balances comply with AAMA 902 specification.
- B. Locking System:
1. Surface-mounted sash lock factory-installed.
  2. [Standard lock (cam-action)] [Spoon-shaped lock] [Air-conditioner lock] [Simulated lock]
  3. One installed on sash 37 inches and smaller in frame width, 2 locks installed on sash over 37 inches in frame width.
- C. Sash Lift:
1. Sash Lift furnished for field installation.
  2. One furnished on sash 37 inches and smaller in frame width, 2 lift sashes furnished on sash over 37 inches in frame width.
- D. Lock and Lift Sash Finish: [Baked enamel, [Champagne] [White] [Brown] [Matte Black]] **CONFIRM**
- E. Limited Opening Device: Factory applied device. Nominal 3-3/4" opening concealed from view.  
**PLEASE CONFIRM THAT THIS IS NOT "BY PASSABLE"**

### **\*\*NOTE\*\***

If Bypassable WOCD (ASTM F2090) is needed each window this is required in will need to be requested (roughly \$20 add per window.)

## 2.6 TOLERANCES

- A. Windows shall accommodate the following opening tolerances:
1. Vertical Dimensions Between High and Low Points: Plus 1/4 inch, minus 0 inch.
  2. Width Dimensions: Plus 1/4 inch, minus 0 inch.
  3. Building Columns or Masonry Openings: Plus or minus 1/4 inch from plumb.

## **2.7 FINISH**

- A.** Interior Finish: **Factory-primed with 1 coat acrylic latex**

**END OF SECTION**

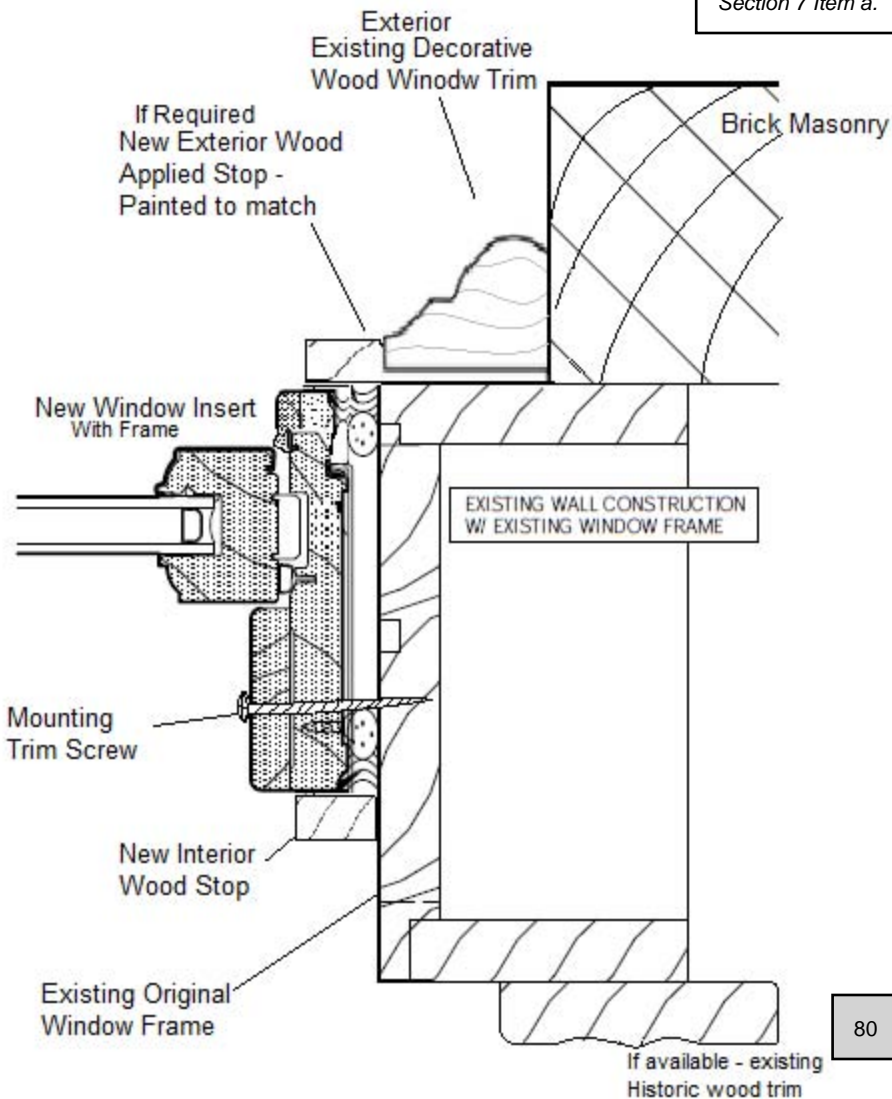
Section 7 Item a.



**Historic Spoon Lock**

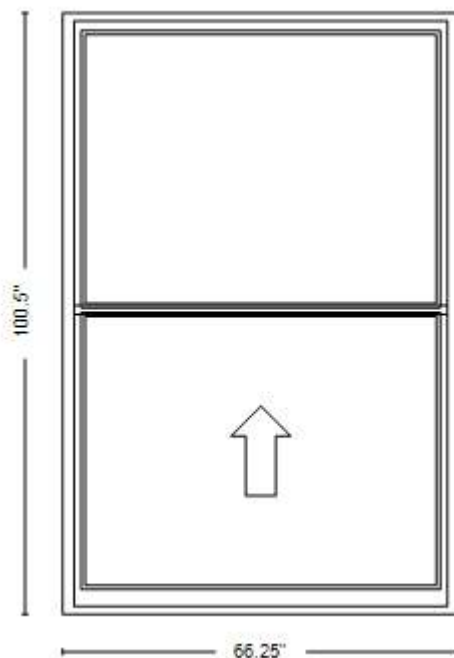


**Standard Cam Action Lock**



# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

Quote Number: 14215973

Line Number: 11

Quote Qty: 2

Scaling: 1/2" = 1'

Description: Pella® Reserve, Traditional, Monumental Hung, Single Hung, 66.25 X 100.5

Rough Opening: 67" X 101.25"

Performance Information: U-Factor 0.28, SHGC 0.25, VLT 0.48, CPD PEL-N-236-00637-00001, Performance Class LC, PG 25, Calculated Positive DP Rating 25, Calculated Negative DP Rating 25, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: 51 Sherman St - Deadwood Vent Project Name: Keating Resources - 51 St

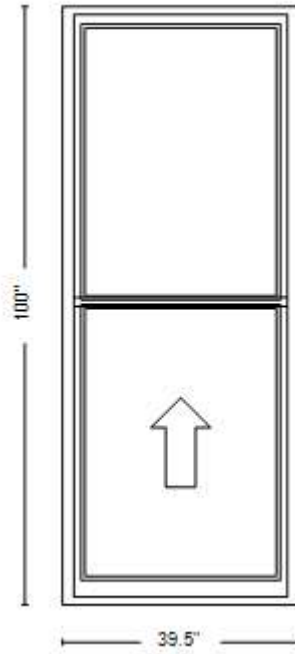
Jobsite Location: Typical Window

Room Location: Front and Left

Sales Branch Location: 23300 Heartland Pella

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

Quote Number: 14215973

Line Number: 20

Quote Qty: 5

Scaling: 1/2" = 1'

Description: Pella® Reserve, Traditional, Monumental Hung, Single Hung, 39.5 X 100

Rough Opening: 40.25" X 100.75"

Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-236-00621-00001, Performance Class CW, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
 \*\* building owner, architect, contractor, installer and/or consumer



Quote Name: 51 Sherman St - Deadwood Vent Project Name: Keating Resources - 51 St

Jobsite Location: Typical Window  
Front

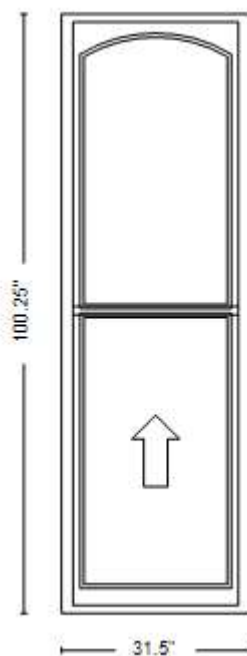
Room Location:

Sales Branch Location: 23300 Heartland Pella



# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Arched top sash is only present on left 2/3 of rear. square top sash is present on right 1/3 of rear

Viewed from the Exterior

Quote Number: 14215973

Line Number: 90

Quote Qty: 2

Scaling: 1/2" = 1'

Description: Pella® Reserve, Traditional, Monumental Hung, Single Hung, 31.5 X 100.25

Rough Opening: 32.25" X 101"

Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-236-00621-00001, Performance Class CW, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: 51 Sherman St - Deadwood Vent Project Name: Keating Resources - 51 St

Jobsite Location: Typical Window  
Rear and Right

Room Location: Rear Left

Sales Branch Location: 23300 Heartland Pella



FRONT









REAR



Date: July 08, 2021

Case No. 210130  
Address: 40 Taylor Ave.

### Staff Report

The applicant has submitted an application for the construction of a new residential structure to be located on a vacant lot on Taylor Ave. in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Martin & Amanda Reynolds  
Owner:  
Constructed: New Construction

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

1. Historic significance of the resource:  
There is no record of this address or if there was anything constructed here.
2. Architectural design of the resource and proposed alterations:  
The applicant is requesting permission to construct a new residential structure on this lot per plans submitted.

**Attachments:** Yes

**Plans:** Yes

**Photos:** No

**Staff Opinion:** Staff and commissioners should utilize the following standards set forth under South Dakota Administrative Rules in reviewing this project.

**24:52:07:04. Standards for new construction and additions in historic districts.** New construction or additions within a historic district must comply with **The Secretary of the Interior's Standards for the Treatment of Historic Properties** as incorporated by reference in § 24:52:07:02. In addition the following standards apply:

(1) Compatibility of design. Massing, size, and scale of new construction must be compatible with surrounding historic buildings. Overall architectural features of new construction must be of contemporary design which does not directly mimic historic buildings. Architectural elements such as windows, doors, and cornices must be similar in rhythm, pattern, and scale to comparable elements in adjacent historic buildings. The overall visual appearance of new construction may not dominate or be distracting to the surrounding historic landscape;

(2) Height. The height of new buildings or additions to existing buildings may not exceed a standard variance of ten percent of the average height of historic buildings on both sides of the street where proposed new construction is to be located;

(3) Width. The width of new buildings or additions to existing buildings must be similar to adjacent historic buildings;

(4) Proportion. The relationship between the height and width of new buildings or additions to existing buildings must be similar in proportion to existing historic buildings. The proportion of openings in the facades of new construction or additions must be compatible with similar openings in adjacent historic buildings;

(5) Rhythm and scale. The rhythm, placement, and scale of openings, prominent vertical and

horizontal members, and separation of buildings which are present in adjacent historic buildings must be incorporated into the design of new buildings or additions to existing buildings;

(6) Materials. Materials which make up new buildings or additions to existing buildings must complement materials present in nearby historic properties. New materials must be of similar color, texture, reflective qualities, and scale as historical materials present in the historic district;

(7) Color. The colors of materials, trim, ornament, and details used in new construction must be similar to those colors on existing historic buildings or must match colors used in previous historical periods for identical features within the historic district;

(8) Details and ornament. The details and ornament on new buildings or additions to existing buildings must be of contemporary design that is complementary to those features of similar physical or decorative function on adjacent historic buildings;

(9) Roof shape and skyline. The roof shape and skyline of new construction must be similar to that of existing historic buildings;

(10) Setting. The relationship of new buildings or additions to existing buildings must maintain the traditional placement of historic buildings in relation to streets, sidewalks, natural topography, and lot lines; and

(11) Landscaping and ground cover. Retaining walls, fences, plants, and other landscaping elements that are part of new construction may not introduce elements which are out of character with the setting of the historic district.

It is staff opinion, this project meets the above standards and is compatible with the district. While it uses traditional materials such as narrow reveal side, double hung windows and a stylistic front porch, it will still be able to read as a new construction within the historic districts.

The applicant has completed an archaeological investigation and monitoring should be required for earth disturbances.

The proposed work and changes does not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICE

Section 8 Item a.

Case No. \_\_\_\_\_

☐ Project Approval

☐ Certificate of Appropriateness

Date Received \_\_\_\_/\_\_\_\_/\_\_\_\_

Date of Hearing \_\_\_\_/\_\_\_\_/\_\_\_\_

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: Taylor Ave Lot 63, Block 35 Original town  
Historic Name of Property (if known): of the city of Deadwood.

### APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other \_\_\_\_\_

Owner's Name: Martin & Amanda Reynolds  
Address: 732 17<sup>th</sup> St. E  
City: Dickinson State: ND Zip: 58601  
701 639-3864  
Telephone: 701 690-2620 Fax: \_\_\_\_\_  
E-mail: martyreynolds401@gmail.com

Architect's Name: Inline Designs Inc  
Address: \_\_\_\_\_  
City: Bismark State: ND Zip: \_\_\_\_\_  
Telephone: 701 214-3311 Fax: \_\_\_\_\_  
E-mail: inlinedesign@msn.com

Contractor's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

### TYPE OF IMPROVEMENT

☐ Alteration (change to exterior)

☒ New Construction

☐ General Maintenance

☐ Other \_\_\_\_\_

☒ New Building

☐ Re-Roofing

☐ Siding

☐ Awning

☐ Addition

☐ Wood Repair

☐ Windows

☐ Sign

☐ Accessory Structure

☐ Exterior Painting

☐ Porch/Deck

☐ Fencing

Updated October 9, 2019

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

**ACTIVITY: (CHECK AS APPLICABLE)**

Project Start Date: \_\_\_\_\_ Project Completion Date (anticipated): \_\_\_\_\_

☐ **ALTERATION** ☐ Front ☐ Side(s) ☐ Rear☐ **ADDITION** ☐ Front ☐ Side(s) ☐ Rear☒ **NEW CONSTRUCTION** ☒ Residential ☐ Other \_\_\_\_\_☐ **ROOF** ☐ New ☐ Re-roofing ☐ Material  
☐ Front ☐ Side(s) ☐ Rear ☐ Alteration to roof☐ **GARAGE** ☐ New ☐ Rehabilitation  
☐ Front ☐ Side(s) ☐ Rear☐ **FENCE/GATE** ☐ New ☐ Replacement  
☐ Front ☐ Side(s) ☐ Rear

Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

☐ **WINDOWS** ☐ **STORM WINDOWS** ☐ **DOORS** ☐ **STORM DOORS**  
☐ Restoration ☐ Replacement ☐ New  
☐ Front ☐ Side(s) ☐ Rear

Material \_\_\_\_\_ Style/type \_\_\_\_\_

☐ **PORCH/DECK** ☐ Restoration ☐ Replacement ☐ New  
☐ Front ☐ Side(s) ☐ Rear

Note: Please provide detailed plans/drawings

☐ **SIGN/AWNING** ☐ New ☐ Restoration ☐ Replacement  
Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_☐ **OTHER** – Describe in detail below or use attachments**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

New single family residence proposed on Taylor Ave.  
Windows will be Anderson double hung w/ black grids.  
All exposed concrete on foundation will be covered with patina  
tin. Garage door will be wood grain. All doors  
leading outside will be similar in look and material  
to the windows

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

## SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 7/6/21  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

 7/6/21  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

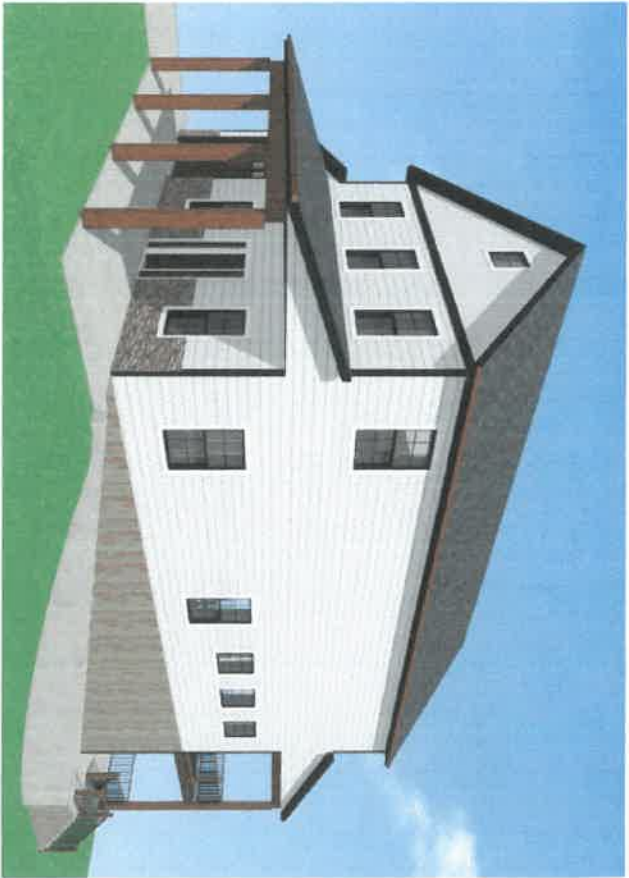
\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

## APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



The plans and elevations are only conceptual and give the client an example of what is to be built. A contractor or architect is responsible for verifying the dimensions and other information on these plans. Verify all local building codes. All plot plans to be verified by an engineer for setbacks and easements. Property contours and proposed foundation walls may be different from their shown on plans. Stone, siding types, and exterior materials have to be verified by the contractor and may "NOT" be included in the artwork of the house. Utility changes cannot be made responsible for inaccurate information that may lead to additional cost for the owner or a delay in the project.

**Deadwood, Eric Plant, Deadwood:**

	<b>Inline Designs inc.</b>	<b>Date</b>	<b>Shane Whitney (Owner)</b> 8100 S. Highway 101 (email) jwhitney@inline.com (cell) 701-214-3311
	701-214-3311	<b>Published:</b> 6/30/2021	
<b>Deadwood Cabin</b>			
<b>Plans Drawn For:</b> FTH General			


**Dimensioning Explanation/Door & Window Sizing Description:**  
All Exterior Dimensions Are From Outside Of Framing/All Interior Dimensions Are From Edge Of Framing To Edge Of Framing/All Exterior Foundation Walls Dimensioned From Outside Of Foundation Wall To Outside Of Foundation Wall/All Interior Dimensions Are From The Inside Edge Of The Concrete Foundation Wall To Edge Of Interior Wall Framing Or From Edge Of Framing To Edge Of Framing/Interior Bearing Walls Are Represented By Solid Walls, Door Labels Are Specified By 3068 Which Translates To 3'-0" x 6'-8". Window Labels Are Specified By 2040 Which Translates To 2'-0" x 4'-0". Foundation Walls Include a 1" Air Gap Between Foundation & Stud Per Code.





The plans and drawings are only conceptual and are not to be used for construction. A contractor or an architect is responsible for verifying the dimensions and details of the building. The drawings may be different from that shown on plan. Stone, siding types, and exterior materials have to be verified by the contractor and may NOT be included in the drawings of the house. The designer cannot be held responsible for inaccurate information that may lead to additional work for the owner or a delay in the project.

Deadwood Cabin Deck

	Date	Published:	6/30/2021
	Deadwood Cabin Plans Drawn For: FTH General		

701-214-3311

Inline Designs, Inc.  
Shawn Whitney (Owner)  
Bismarck, North Dakota  
(email) inline@inline.com  
(cell) 701-214-3311

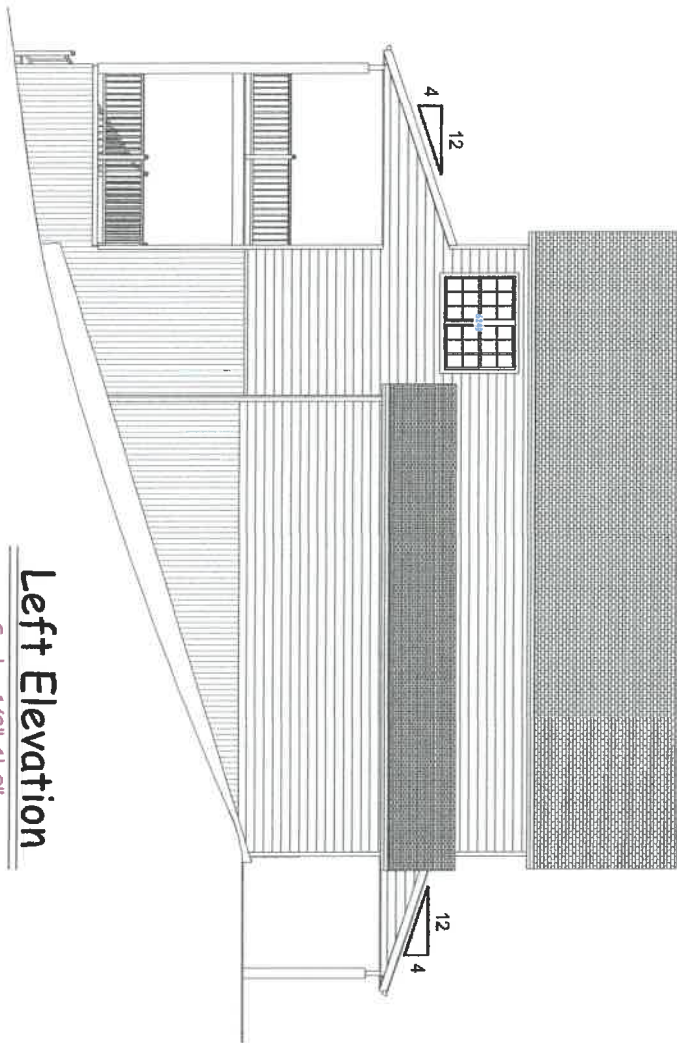
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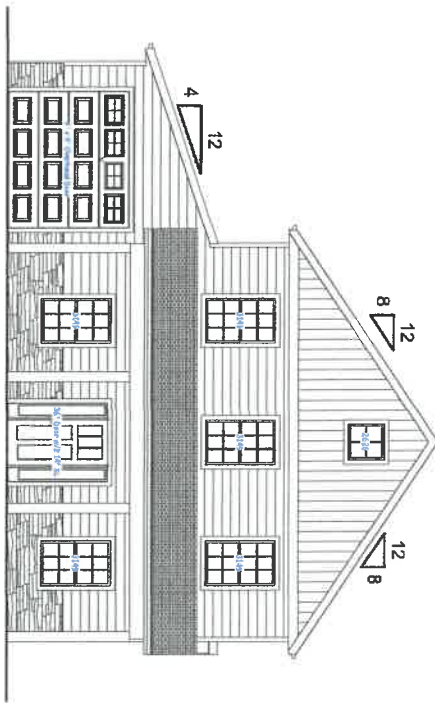
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Dimension: Five Plans Designed:

Left Elevation  
Scale: 1/8"=1'-0"



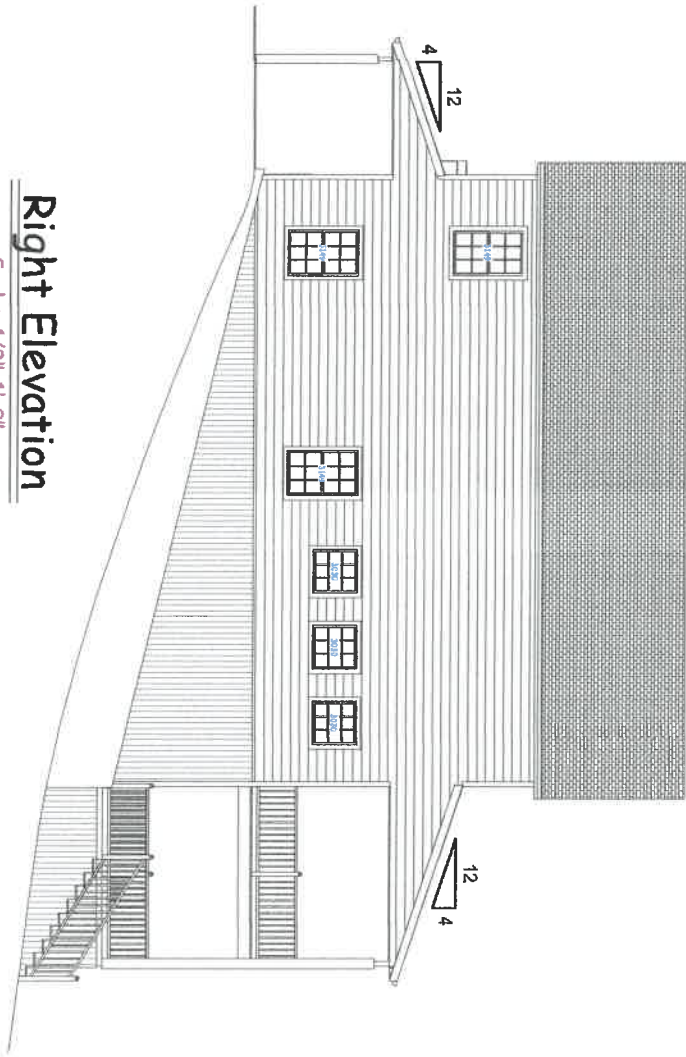
Front Elevation  
Scale: 1/8"=1'-0"



Dimensioning Explanation/Door & Window Sizing Description:

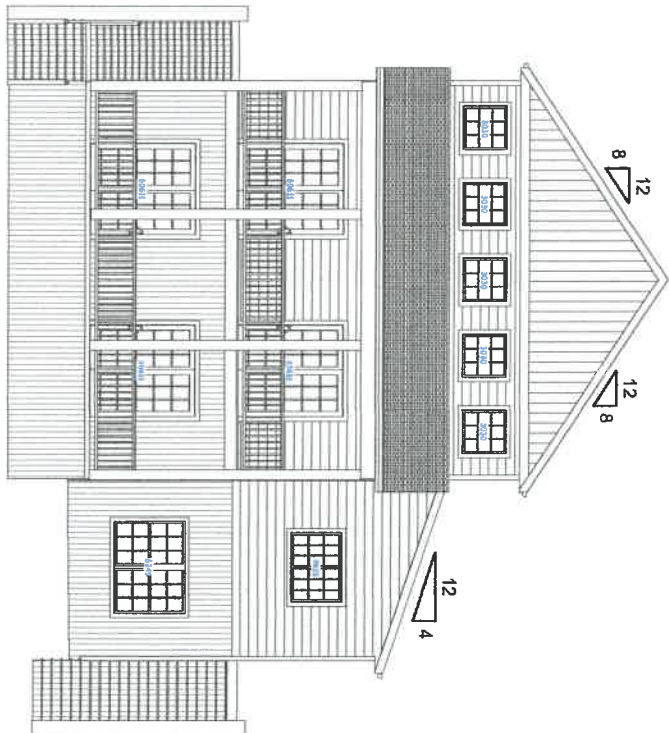
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	<b>Inline Designs Inc.</b>	Date
	701-214-3311	Published: 6/30/2021
Deadwood Cabin Plans Drawn For: FTH General		Inline Designs, Inc. Shawn Whitney (Owner) Bismarck, North Dakota (email) inline@idsgn.com (call) 701-214-3311



Right Elevation

Scale: 1/8"=1'-0"



Rear Elevation

Scale: 1/8"=1'-0"

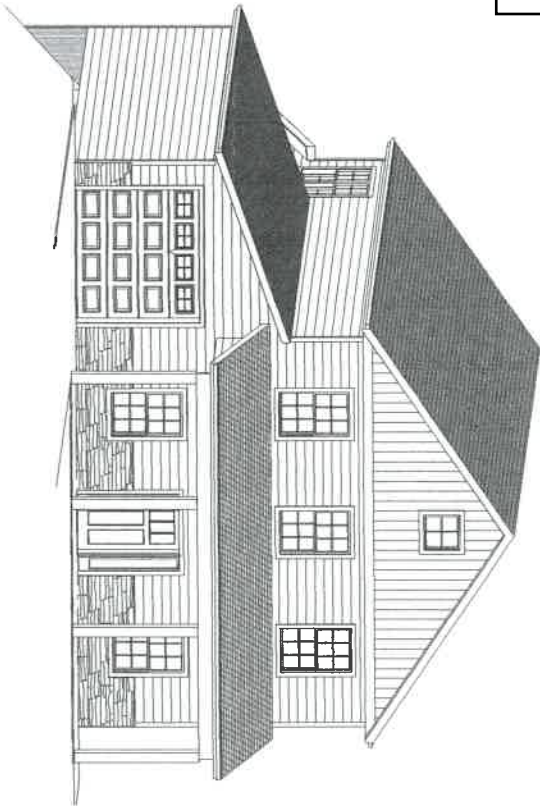
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Disclaimer: For Plans: Deadwood.

<b>Inline Designs inc.</b> 701-214-3311	Date Published: 6/30/2021	Inline Design, Inc. Shawn Whitney (Owner) Blomrock, North Dakota (email) shwhitney@indesign.com (cell) 701-214-3311
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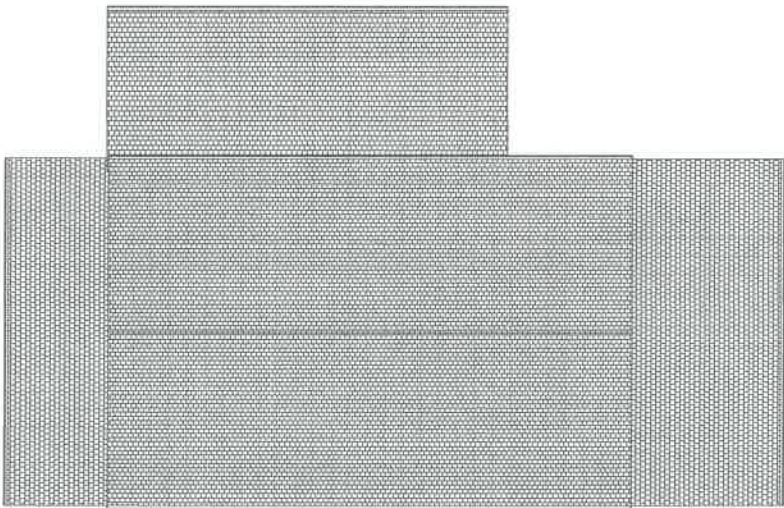
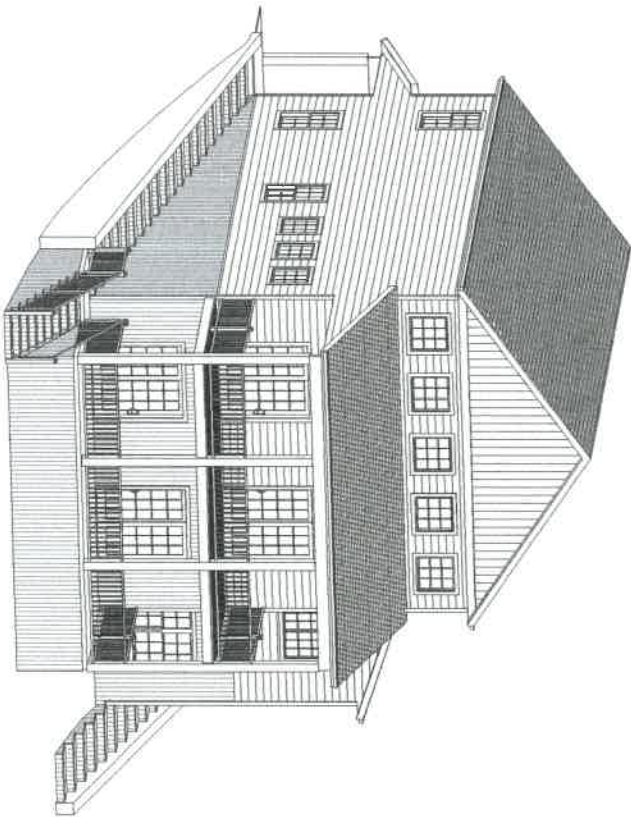
Deadwood Cabin  
Plans Drawn For:  
FTH General

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Perspective Views

Not To Scale



Eave = 12" Overhangs  
Gable = 12" Overhangs  
8" Raised Energy Heal

Roof Layout

Not To Scale

The plans and drawings are only conceptual and give the client an example of what it is to be built. A contractor or an architect is responsible for verifying the dimensions and other information on these plans. Verify all local building codes. All other plans to be verified by an engineer for setbacks and setbacks, property setbacks and proposed foundation walls may be different from those shown on plans. Show, adding type, and otherwise understood how to be verified by the contractor and may "NOT" be included in the drawings of the house. Zilber Design cannot be held responsible for inaccuracies in information that may lead to additional cost for the owner or a delay in the project.

Disclaimer: For Plans Designed:



Inline  
Designs inc.

701-214-3311

Date  
Published:  
6/30/2021

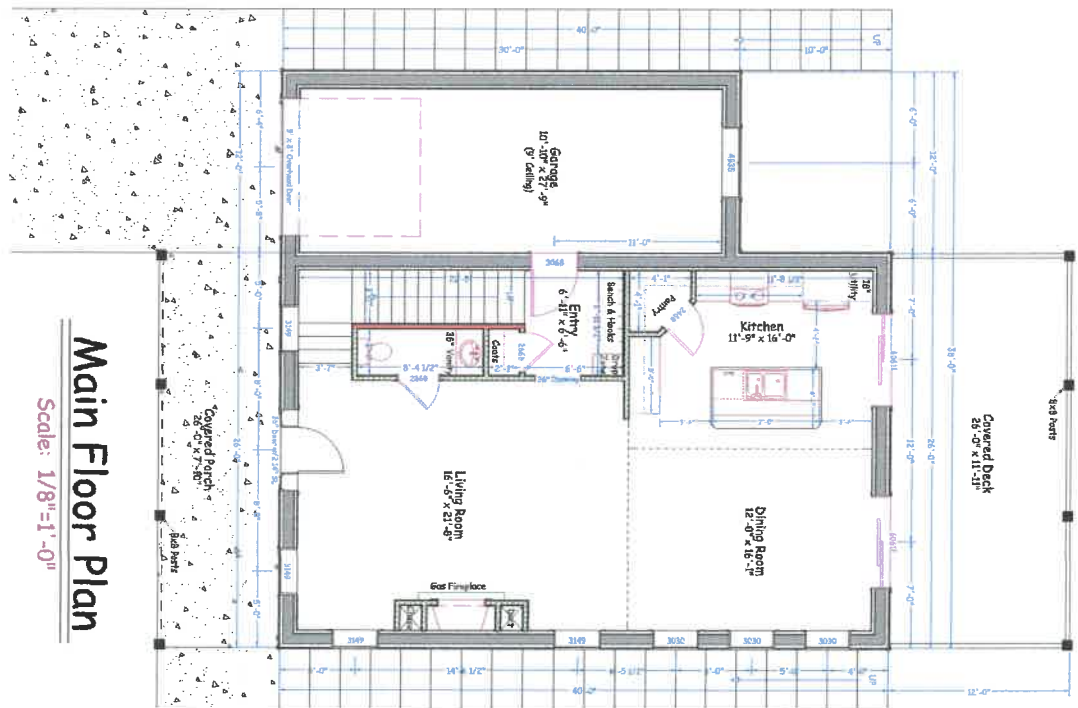
John Design, Inc.  
Steven Whitney (owner)  
8001 10th Street NW  
(email) john@johndesign.com  
(cell) 701-214-3311

Deadwood Cabin  
Plans Drawn For:  
FTH General

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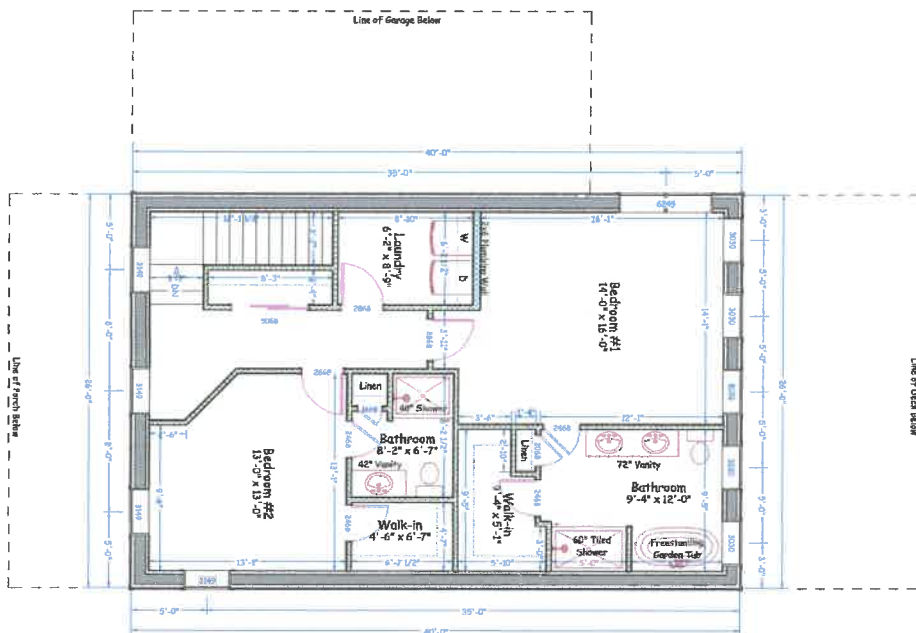




## Main Floor Plan

Scale: 1/8"=1'-0"

**Disclaimer For Plans Designed:**



## Second Floor Plan

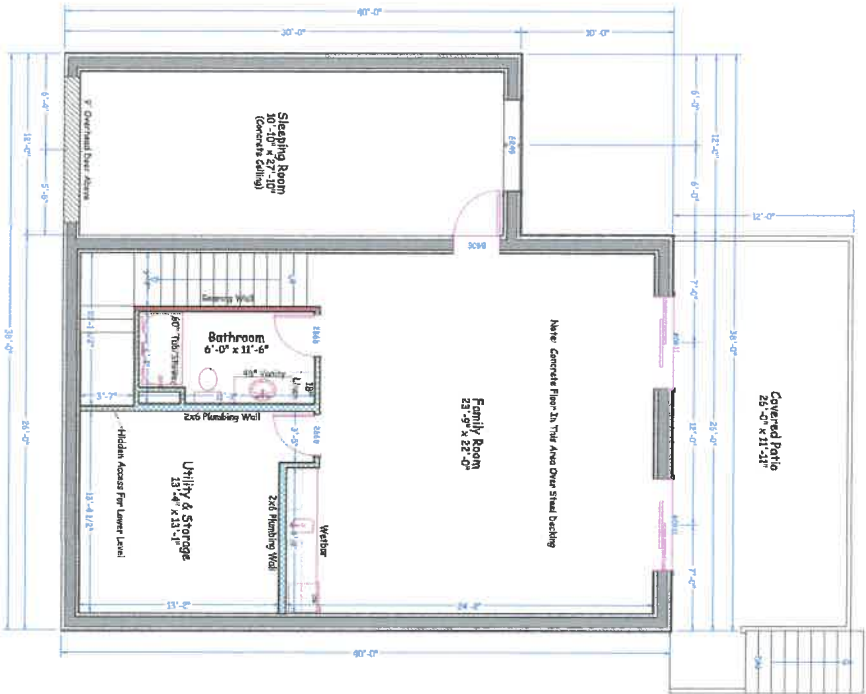
Scale: 1/8"=1'-0"

### House Information

- \*26 Exterior Main Floor Walls - 9'-11 7/8" High
- \*26 Exterior Second Floor Walls - 8'-1 1/8"
- \*13 1/4 ICF Foundation Walls (Lower 2 Levels)
- \*12" Thick ICF Foundation Walls Garage
- \*9" Drop From Top Of Foundation Wall To Garage Floor
- \*20" Engineered Floor Trusses (Figured For Elevations)
- Actual Truss Size May Differ (Verify w/Truss Company)
- Source Foot Calculations:
- Main Floor - 1040 SF
- Second Floor - 1040 SF
- Walk-out Level - 1400 SF
- Underground Level - 1040 SF
- TOTAL LIVING AREA - 4520 SF
- Attached Garage - 360 SF
- Covered Front Porch - 208 SF/Covered Rear Deck - 312 SF

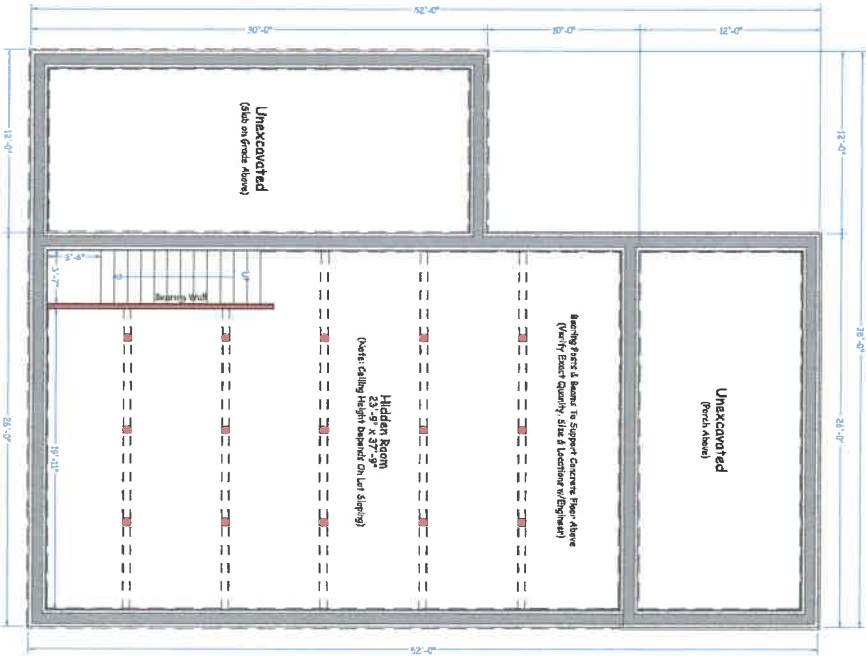
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## Walk-out Level

Scale: 1/8"=1'-0"



## Underground Level

Scale: 1/8"=1'-0"

### House Information

- \*2x6 Exterior Main Floor Walls - 9'-1 1/8" High
- \*2x6 Exterior Second Floor Walls - 8'-1 1/8"
- \*13 1/4 ICF Foundation Walls (Lower 2 Levels)
- \*12" Thick ICF Foundation Walls Garage
- \*0" Drop From Top Of Foundation Wall To Garage Floor
- \*20" Engineered Floor Trusses (Figured For Elevations)
- Actual Truss Size May Differ (Verify w/Truss Company)
- Square Foot Calculations:
- Main Floor - 1040 SF
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The plans and elevations are only conceptual and are the client's responsibility. A contractor or architect is responsible for verifying the dimensions and other information on these plans. Verify all local building codes. All lot plans to be verified by an engineer for setbacks and easements, property corners and striped foundation walls may be different from that shown on plans. Show, adding types and window annotations how to be verified by the contractor and may NOT be included in the contract of the owner. Show changes shown to that responsible for reviewing information how may lead to additional cost for the owner or delay in the project.

Disclaimer: For Plans Only.

Inline

Designs Inc.

701-214-3311

Date

Published:

6/30/2021

John Deaton, Inc.

Shawn Whittier (Owner)

Bismarck, North Dakota

(email) jwhittier@sdan.com

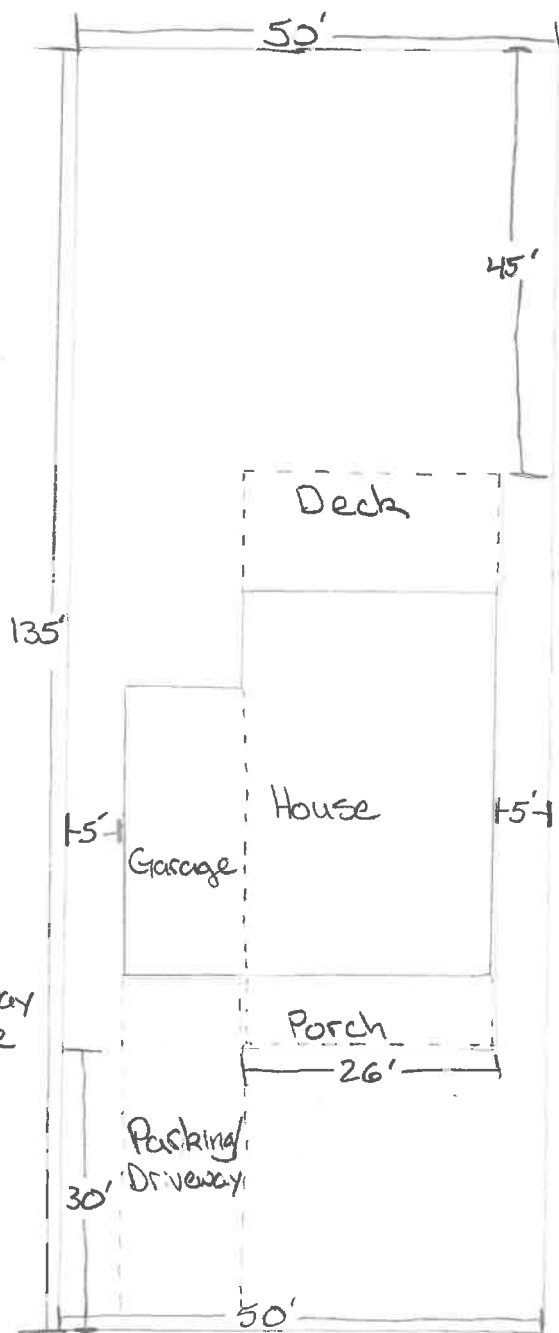
(cell) 701-214-3311

Deadwood Cabin

Plans Drawn For:

FTH General

99



Parking/Driveway area will be concrete. Driveway is enough to accommodate 2/3 cars. Garage will accommodate 1/2 cars.

Taylor Ave.

Lot 63 Block 35  
Original town of  
the city of  
Deadwood

Scale 1" = 20'



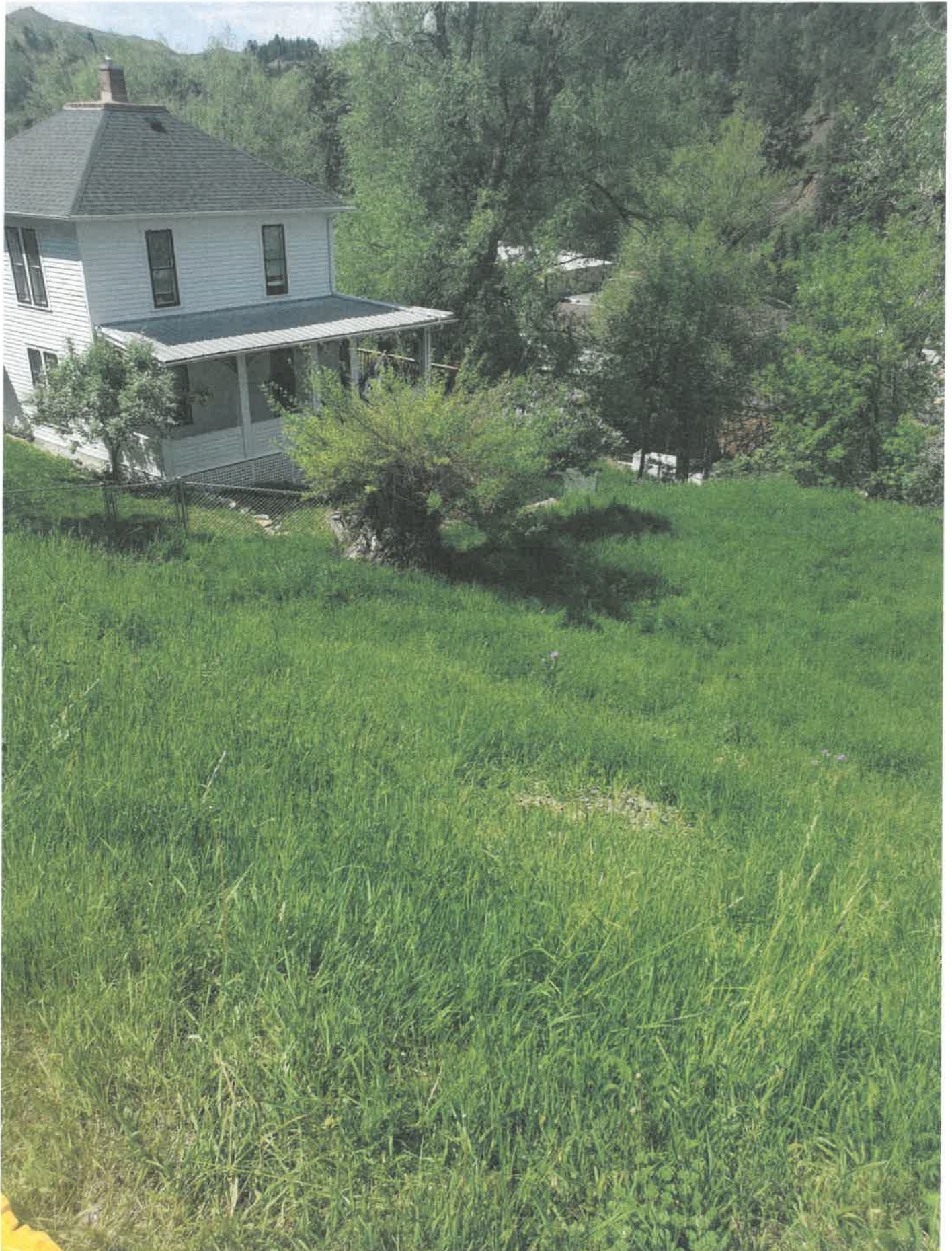
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View to the West





View to the South

CULTURAL RESOURCE INVENTORY  
OF THE  
TAYLOR HOUSE  
RETENTION WALL PROJECT

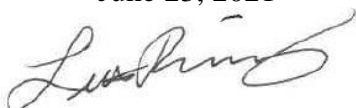
Lawrence County, South Dakota

By Lina Ramirez

Billy McCarley, editor

*Quality Services, Inc. Project #SD3921031*

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## **Abstract**

***Quality Services, Inc. (QSI)*** conducted a cultural resource inventory for a proposed wall reconstruction project on June 11, 2021, in the city of Deadwood, Lawrence County, South Dakota. The inventory area consists of 0.15 acres (ac).

Record search of the proposed project area was completed with the South Dakota State Historical Society. Nine hundred and seven previously recorded sites and historic structures are within one mile of the project area with one in the project area. Seventy-four previous inventories are within one mile of the project area.

Fieldwork included pedestrian survey of the home lot, historic document research at the Lawrence County courthouse, and subsurface testing. Results showed that a house had been present, however, the current soils were completely fill material.

Based on the proposed construction plans to reconstruct the retaining wall, and that the results of the subsurface testing and historic research of the lot showed no significant archeological potential, and overall finding of **no adverse effect to historic properties** is recommended for the project.

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## Location

Table 1. Legal location.

County	Township	Range	Sections
Lawrence	5N	3E	23

## Introduction

**Quality Services, Inc. (QSI)** was contracted to conduct a cultural resource investigation of the project area to fulfill the requirements of Section 106 of the National Preservation Act of 1966 (P.L. 89-665) as amended (NHPA), 54 U.S.C. § 306108, and its implementing regulations (36 CFR Part 800). The research design implemented for the project focused on determination of effect for any discovered cultural resources and providing appropriate data to state review agencies.

The Deadwood Historic Preservation Office approved project plans for the construction of a garage within the historical district of Deadwood, South Dakota. The proposed project would construct a retaining wall on the southwest boundary of Lot 63 of Block 35 along Taylor Avenue in Deadwood, SD. The project area location or area of potential effect (APE) would be an empty lot totaling 0.15 acres (ac).

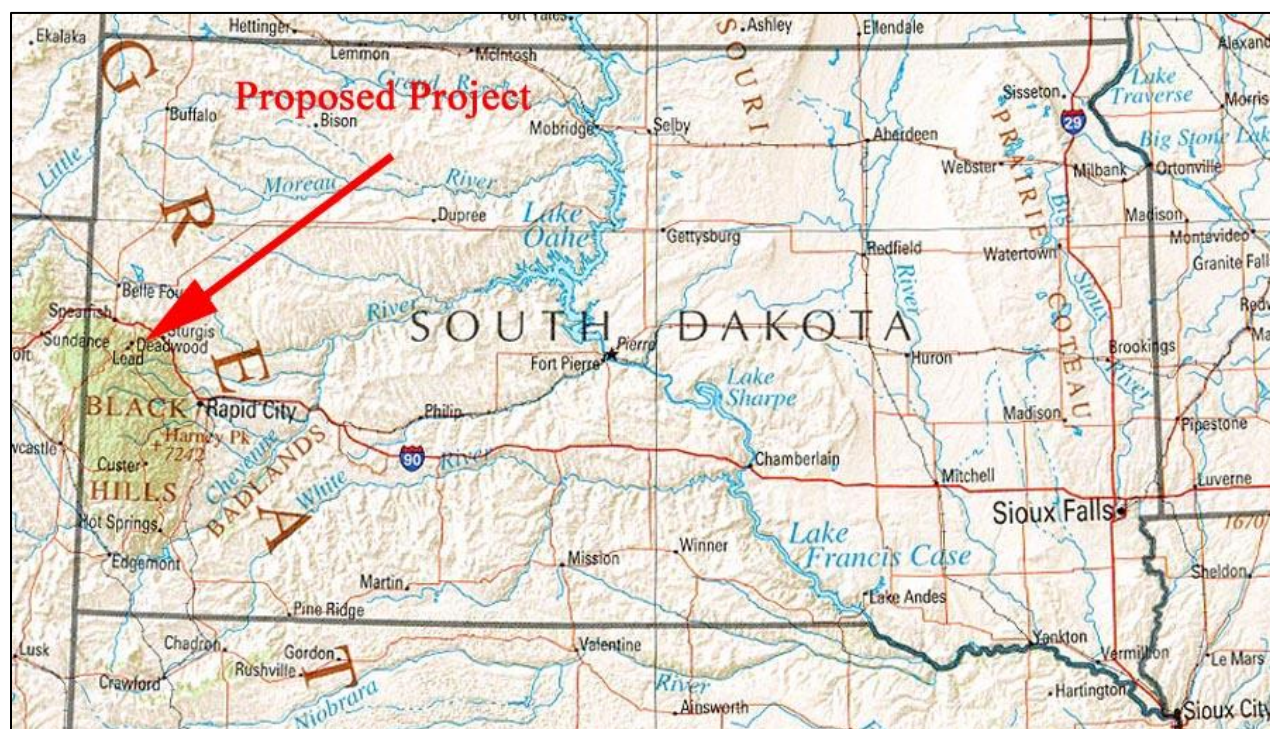


Figure 1. Project location within South Dakota.



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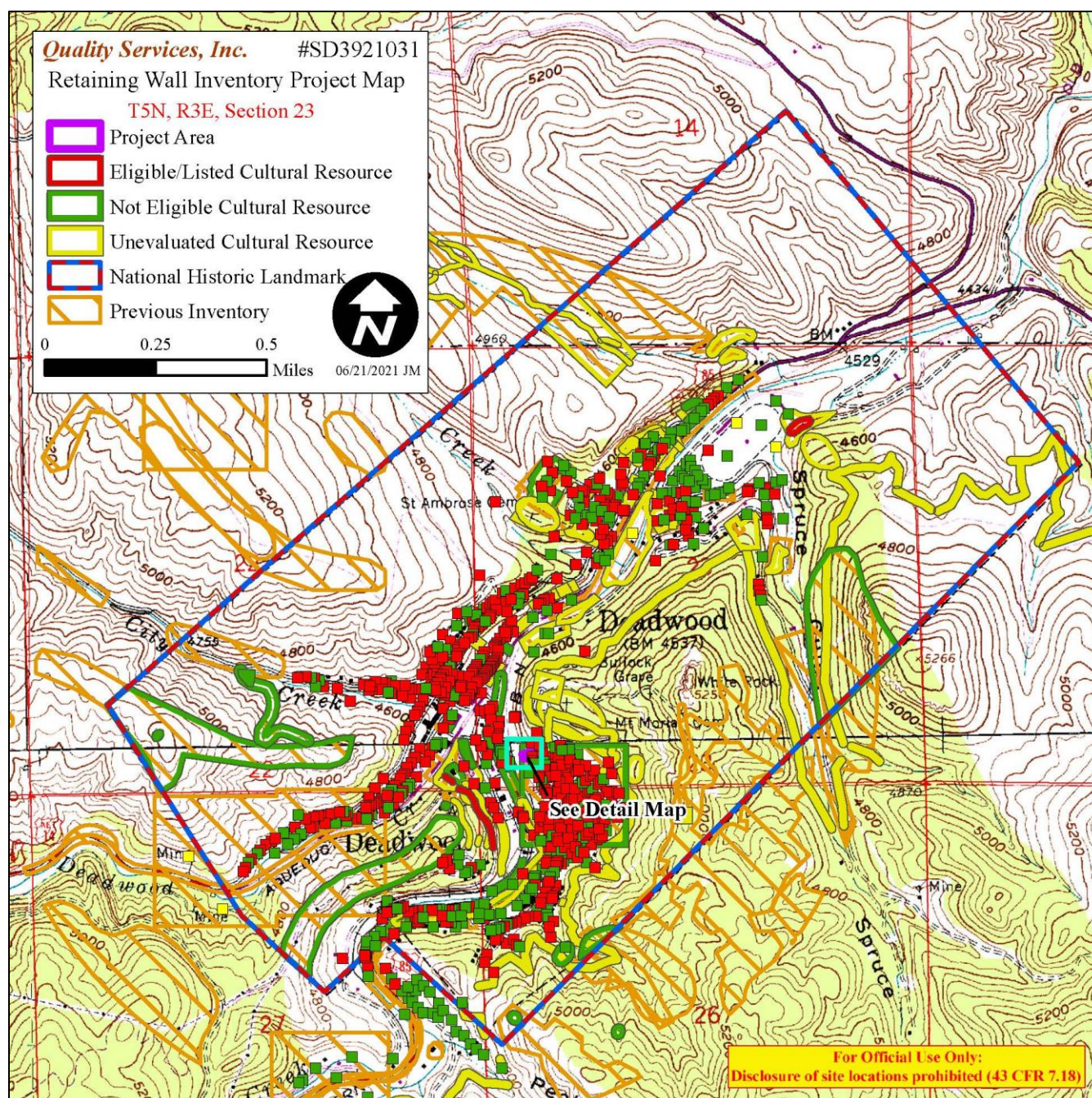


Figure 2. Taylor House Retention Wall Project Map.  
USGS 7.5' Deadwood North, SD 1961, photorevised 1979.



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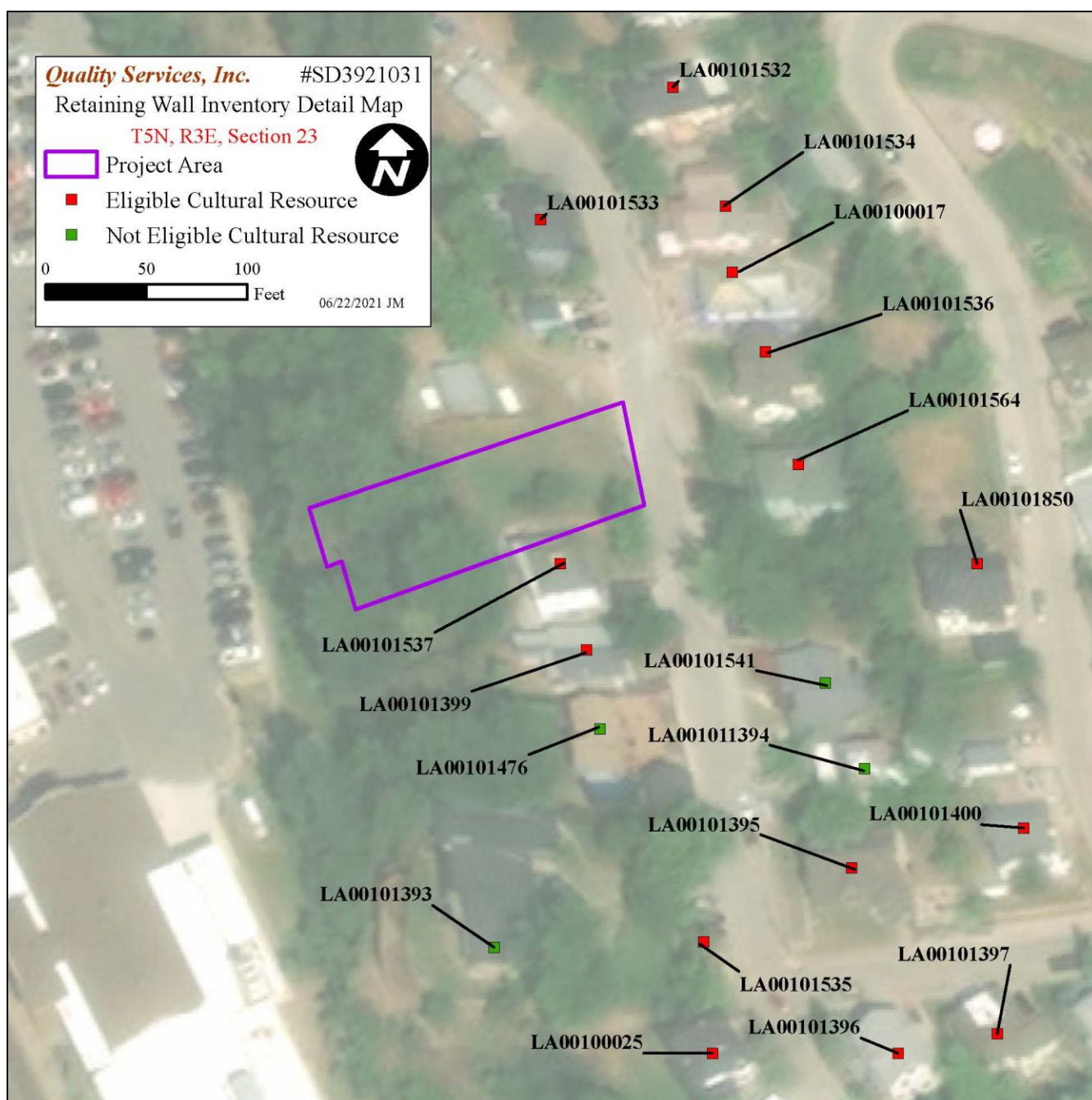


Figure 3. Taylor House Retention Wall Detail Map.

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## **Environmental Overview**

The project is in the northern Black Hills in the city of Deadwood. Located in the Middle Rocky Mountain ecoregion, the project area is somewhat isolated in the Unglaciaded Missouri Plateau (Sundstrom 2019: IV-74). The Middle Rockies ecoregion is characterized by steep mountain ranges, rolling foothills, and intermountain valleys (Taylor 2012). In areas where vegetation is undisturbed, flora consists of coniferous trees, aspens, oaks, and tall grasses.

This project is within the Black Hills Core Highlands sub-region of the Middle Rockies ecoregion as defined by the Northern Prairie Wildlife Research Center (NPWRC) of the United States Geological Survey (USGS 2012). The Black Hills Core Highlands are characterized by its mountainous topography and high eroded outcrops and valleys (Sundstrom 2019: IV-74). Geology of this region consists of Precambrian-age igneous and sedimentary rock and metamorphic schist and slates (McNab and Avers 1994). The land is utilized through timber harvesting, mining, hunting, and grazing.

According to the NRCS Web Soil Survey (NRCS 2021) the project area consists of Buska-Rock outcrop complex. The Buska soil series consist of very deep, well drained soils formed in residuum weathered from metamorphic rocks of the surrounding mountains (Soil Survey Staff 2010).

## **Culture History Overview**

The project is in the Black Hills archeological region within the Black Hills Core Highlands. This archeological region encompasses portions of Fall River, Custer, Pennington, Meade, and Butte counties, and all of Lawrence County (Sundstrom 2019: IV-73).

### *Clovis, Folsom, & Later Paleoindian c. 13,400 to 7600 cal B.P.*

Clovis dates as far back as 13,400 years before present and may represent the first truly indigenous culture in North America. The Clovis people likely lived in highly mobile small bands of people armed with a shared tool kit that included the diagnostic fluted lanceolate Clovis point, gravers, a variety of end scrapers, and a blade-technology with cutting and scraping tools made from blades. The discovery of kill sites in the western United States has tended to emphasize a lifeway based on specialized hunting of now extinct Ice-age big-game animals such as mastodons and mammoths. Martin (1984) argued that the success of Clovis hunters largely contributed to the megafaunal extinction. However, it has also been convincingly argued that this type of subsistence was not of widespread importance in Clovis subsistence, and the Clovis people appear to have emphasized a variety of flora and fauna collection (Anderson and Sassaman 1996; Bryan 1991; Griffin et al. 1988).

Well known in Plains archaeology, the Lange-Ferguson site (39SH33) is recorded in the region (Hannus 1990). This Clovis site is mammoth kill/butchery locality with direct evidence for the use of mammoth bone tools in the butchering process.

Following Clovis and the death of many Ice-age megafauna, the Folsom complex emerged. This complex is identified by well-made lanceolate points fluted entirely up to the tips, and the people relied heavily on the bison herds and other big game for subsistence. Bamforth (1988) hypothesizes that as bison herds grew due to favorable climatic shifts, this food resource became more predictable. Folsom

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groups reacted by using regular and preferred locations, engaging in communal hunts, and concentrating into larger social groups. As evidenced by their specialized point production, this may have led to greater social complexity from Clovis to Folsom.

Following and partly overlapping the Folsom period around 10,500 to 9,000 B.P. in addition to a climatic shift more like modern times, many regional adaptations appeared in North America. Plains archaeologists refer to this period as the Middle Paleoindian period (see Frison 1991). This period includes the Alberta, Hell Gap, and Agate Basin cultural complexes. These groups continued to emphasize a subsistence based on bison hunting and were involved in massive bison drives that probably required intimate knowledge of the landscape and several people. Beginning at about 9,000 B.P. and continuing to about 8,000 B.P., it appears that Plains groups began to develop a hunting/gathering subsistence mode that was focused on a more generalized resource base. This period is referred to as the Late Paleoindian period (9,000-8,000 B.P.) and several variations of parallel-oblique flaked, unfluted, lanceolate point forms existed, including the Jimmy Allen, Frederick Allen, Pryor Stemmed, Lovell Constricted, Angostura, Lusk, and many others. In addition, the Cody complex dates to the Late Paleoindian period and consists of finely made stemmed spear points such as the Scottsbluff and Eden types. The use of local stones for tool manufacture and the limited distribution of the projectile point types relative to earlier times may suggest that cultural boundaries also were present to some degree.

*Plains Archaic c. 7600 B.P. to 1500 cal B.P.*

The Plains Archaic is defined by a marked subsistence focus on hunting and gathering. Groundstone tools such as manos and metates used for processing and grinding seeds became an important part of the Archaic material culture and are indicative of the more generalized subsistence strategies. While this lifeway existed to some degree in the late Paleo-Indian times, it was not as widespread. Frison (1998) writes that the term ‘Archaic,’ in one sense of the word, is meant to denote an adaptation dominated by hunting and gathering rather than a cultural time period. In fact, many Plains groups continued the Archaic lifestyle well into historic times, and Archaic temporal periods are defined much more by changes in projectile point styles rather than significant changes in lifeways.

*Early Plains Archaic c. 7600 to 5000 cal B.P.*

The Early Plains Archaic coincides with an extremely warm and dry climatic episode known as the Hypsithermal or Altithermal. Though the effects of this episode on plants, animals, and people are still debated, Frison (1998) suggests that severe droughts caused plant communities to shift to higher elevations; and, as a result, many Early Plains Archaic people occupied foothill-mountain areas. Frison (ibid.) points to the presence of several Early Archaic sites in low elevation intermontane settings in addition to Early Plains Archaic bison kill sites in the Wyoming Black Hills as mounting evidence for this hypothesis on the human response to the Altithermal.

Habitation features, known as pit house features, also first appear during this time (Kornfeld et al. 2010). They date toward the end of the Late Archaic period and extend into the Middle Archaic. These features “usually appear as deep, circular stains, sometimes with central post molds. Others are oval with multiple post molds along the long axis” (Sundstrom 1996 2c-16). Cache pits, fire pits, and grinding stone are commonly found in the pit houses. The presence of these significant habitation features may be associated with some level of sedentism.

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Relative to the Paleo-Indian times, Early Archaic bison kill sites are typically small, consisting of only 10-20 bison. Hunting strategies included the use of arroyo traps and jumps and probably required small groups or bands to pull off. However, many sites such as the Spring Creek site in south-central Nebraska and the Coffey site in northern Kansas contain much more small game and plant remains than large herbivores. Certainly, this is an indication of the more generalized resource base.

Other than ground stone implements, the Early Archaic also included the arrival of a new type of projectile point. These projectile points are distinctly side-notched although there are many regional variations of this form. The technological innovation of notching offered a much stronger binding to the foreshaft of a spear while reducing the bonding mass at the same time (Howard 1995).

Early Plains Archaic archaeological sites are rare. Currently there are only two documented early Archaic sites in the region ( 39JK100 and 39SH54).

**Middle Plains Archaic c. 4900 to 3000 cal B.P.**

The end of the Altithermal and the return to modern climatic condition marks the beginning of the Middle Archaic Period. In addition to a refinement in bison hunting strategies, the Middle Plains Archaic period witnessed an even greater emphasis on plant foods. Reused sandstone plant grinders and roasting pits are common at sites dating to this time period. While small bison kill sites are the most typical of the period, Middle Archaic people continued to use bison jumps. One noteworthy innovation by Middle Archaic hunters was the use of bison corrals like that seen at the Scoggin Site in Wyoming. This strategy is quite different in that it likely needed much a fewer people to operate relative to the other strategies. Overall, Middle Archaic groups developed a carefully planned scheduling of economic activities based on seasonal plants and movements of game.

During the Middle Plains Archaic period, the Plains also witnessed the widespread appearance of stone circles. The features typically measure between 13 and 23 feet in diameter. Although the function of the circles have been debated, it is generally agreed that most represent a circular anchor “to hold down the cover of a conical (or some other type) lodge”(Frison 1998:154).

The McKean Complex is the most notable Middle Archaic archaeological manifestation. These site types are most readily recognized by the lanceolate McKean point with an indented base and convex blade edges. However, there are many variations of the McKean point that include side-notched and stemmed forms. Nevertheless, the McKean sites have an extremely wide distribution across the Plains.

The Beaver Creek site, 39CU779, is a streamside rockshelter located just south of Custer State Park in Wind Cave National Park (Alex 1991). The site contained 17 occupation levels dating from the Early Archaic to the Middle Archaic and included several roasting pits and hearths. Domesticated dog was also found at the site (Martin et al 1993). It is interpreted that the site represents a warm season occupation where maintenance and production of stone tools as wells as hunting and fame processing were the primary activities. Sundstrom (1996) concludes that:

open air, multicomponent base camps are the most common in Middle Archaic site type in the interior uplift [of the Black Hills]. Typically, these sites contain Plano, Middle Archaic, Late Archaic and Late Prehistoric components, suggesting periodic reuse over



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thousands of years. They appear to represent warm season habitation sites, where hunting, meat processing, hides working and hunting production activities were based.

Sundstrom (1996) adds that other Middle Archaic sites located in the interiors of the Hills are small and likely “short term [single-use] camps used in conjunction with lithic procurement and reduction.”

Middle Archaic sites are much more common than the preceding time periods. Sundstrom (1996) writes that “the Middle and Late Archaic were the periods of heaviest prehistoric use of the Black Hills. About 144 components assigned to each of the Middle Archaic and Late Archaic periods have been identified in the Black Hills uplift and foothills.”

Sundstrom (1996) adds that the Middle Archaic appears to be a mountain orientated subsistence in the Black Hills and many of the innovations:

are considered diagnostic of the Mountain Tradition cultural pattern occurring in the Rockies and intermountain West. Most are not true innovations but are adaptations of technologies already in use in mountain foothill zones. This suggests that the Black Hills Middle Archaic represents an expansion of the Mountain Tradition pattern into the Black Hills or perhaps more accurately, a florescence of preexisting Mountain Tradition cultures in the area.

***Late Plains Archaic 3000 to 1500 cal B.P.***

The Late Plains Archaic is marked by the appearance of corner-notched points on the Plains. This notching technique produced flared edges with sharp points where the base and edge intersect. In general, Late Archaic people appeared to shift back to a focus on large, upland game (Deaver and Deaver 1988:96), although other resources were certainly exploited to some extent.

The earliest Late Archaic manifestations are the Pelican Lake and the Yonkee phases (Kornfeld et al. 2010). The later Besant phase (2000 B.P.) represented a highly sophisticated bison hunting culture. Besant bison kill sites often consist of complicated, skillfully constructed bison corrals similar to modern cattle corrals. The use of these corrals would have required great knowledge and understanding of stampeding animals (Fagan 2000:125). At the Ruby site along the Powder River in Wyoming, a structure at the southern end of this bison corral site is interpreted to be a ceremonial structure. If this is true, this could represent the importance of ritual at communal hunts like the rituals documented in historical accounts. Ceramics also occasionally appear at Besant sites.

There are several Pelican Lake, Yonkee, and Besant sites in the current study region. Site 39PN607, although radiocarbon dated to the Late Prehistoric time period, contained points like Pelican Lake and Besant types (Rood and Rood 1984).

Around A.D. 1, the Avonlea phase began on the Plains and continued well into the Late Prehistoric Period. Avonlea points are typically side-notched points with slightly concave bases. Based on their smaller sizes, it is believed that the Avonlea people were the first to use the bow and arrow on the Plains. Avonlea ceramic styles include net impressed, spiral channeled and smooth surfaces (Dyck 1983:123).

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**The Late Prehistoric 1500 to c. 400 cal B.P.**

The early Late Prehistoric Period is essentially an arbitrary division at the terminal Late Archaic Period where all cultural groups are believed to have a strong emphasis on bison hunting aided by the widespread use of the bow and arrow as indicated by small delicate projectile points. In fact, the Besant and Avonlea phases are considered by many to be part of the Late Prehistoric Period as well (e.g., Deaver and Deaver 1988). Avonlea sites in South Dakota consistently indicate a date of post 1500-B.P., and the Avonlea complex is typically and exclusively associated with the Late Prehistoric Period in this state. Despite the change in the name of the general period, Late Prehistoric groups continued to practice Archaic-based hunting and gathering subsistence strategies, although probably with a greater focus on bison hunting.

The Besant and Avonlea complexes in the Dakotas are often discussed in conjunction with Woodland Period of the Late Prehistoric. While the Late Prehistoric far-western Northwestern Plains archaeological complexes generally continued the Archaic lifestyle of nomadic hunter-gatherers, the Woodland period is typically associated with the beginnings of horticulture around 2000 years ago along the Middle Missouri in the Dakotas of the Plains. These Woodland groups are characterized by fixed settlements, more complex societies, seed horticulture, pottery/ceramic production, and the construction of burial mounds.

The Plains Village period supplanted the Woodland culture in the Middle Missouri around 900 A.D. The transition is generally marked by larger villages (sometimes with fortifications) and horticulture produce including corn, beans, squash, and sunflowers. This period is typically divided into “sub-traditions” and variants based on dates, ceramics, house types, and other characteristics. This includes, in order of antiquity, the Initial (IMM), Extended, and Terminal Middle Missouri Variants and the Initial, Extended (ExC), Post-Contact (PCC), and Disorganized Coalescent Variants.

Several sites date to the late Prehistoric time period in the region. Plains Village sites typically are associated with the IMM variant (e.g., 39JK4, 39PN586, and 39SH133), although a few others are identified as ExC or PCC variants (e.g., 39SH60 and 39PN590).

**The Protohistoric Period c. A.D. 1600 to 1804**

The Protohistoric Period marks the beginning of great change on the Plains. The term Protohistoric is associated with the onset of Euro-American presence on the Plains, even though this does not imply there was full-scale or even frequent direct contact with Euro-Americans. Certainly, the greatest impact was the arrival of trade goods including horses and firearms. Horses were provided indirectly by the Spanish from the southwest, and firearms came later indirectly from the French, English, and American fur-traders from the northeast. Both trade goods greatly increased the ease of bison hunting and influenced other once semi-sedentary horticulture groups from the east such as the Cheyenne, Crow, and the Lakota/Dakota to become Plains equestrian nomadic bison hunters. The Protohistoric Plains groups were highly mobile focusing intensely on bison hunting with only a supplemental emphasis on other resources. The need to cover the large migration ranges of bison coupled with the influx of other groups competing for the same resource created much competition between tribes. As a result, intertribal conflict became more common, and the power of tribes as well as individuals became defined by the accumulation of European trade goods. The Kiowa, who inhabited the Black Hills and the surrounding Plains, were able to develop a powerful three-way trade with the Mandan and Hidatsa.

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Protohistoric sites are recognized by the occurrence of both native artifacts such as stone tools mixed in with European trade goods such as gun parts, trade beads, metal projectile points, and other metal items.

### The Historic Period 1804 to Early Twentieth Century

The 1804 arrival of Lewis and Clark in the Dakotas signaled the beginning of the Historic Period and full-scale interaction between Native American groups and Europeans. Euro-American fur traders and trappers were the first to enter the region after Lewis and Clark. In the early half of the 19<sup>th</sup> century, permanent settlements of forts and trade posts were set up along the Missouri River. The first non-Indian expedition into the White River Badlands occurred in 1823 when the Jedediah Smith party passed through the Badlands, camping along the White River.

Certainly, the expansion of the United States into the west was accomplished at the expense of the Plains tribes. Though tribal boundaries and reorganization had already taken place in protohistoric times, European diseases decimated Native American populations. Conflicts between the tribes and Europeans also escalated. The National Historic Landmark Wounded Knee in the White River Badlands is the site of the last armed conflict between Native Americans and United States government troops, fought on December 29, 1890. The White River Badlands also encompasses all the Pine Ridge Indian Reservation and portions of the Rosebud Indian Reservation. Both reservations were established in 1878, and the Pine Ridge Reservation is occupied by the Oglala Sioux.

Other sites related to the historic Sioux tribe include 39TD32, the Hallow Horn Bear Village, which is associated with the prominent Dakota Leader of the late nineteenth and early twentieth centuries; 39PN2, which may represent the campsite of Big Foot's band just prior to the slaughter at Wounded Knee; and Lip's Camp (39JK84) and Cemetery (39JK58).

### **Cultural Resource Records Review**

A records search of consisting of the project APE plus a one-mile buffer was conducted to determine what previously recorded cultural resources are nearby. Records search was requested by **QSI** GIS specialist Sydney Boos from the South Dakota State Historical Society. Records were received May 28, 2021. The National Register of Historic Places (NRHP) and the National Historic Landmark online databases were also checked. The results are listed in the table below.

Table 2. Cultural Resources within Records Search Area.

Count	Name/ Type	NRHP	Potential Effect
1	Site	<i>Listed</i>	<b>Out of APE</b>
3	Sites	<i>Eligible</i>	<b>Out of APE</b>
22	Sites	<i>Not Eligible</i>	<b>Out of APE</b>
55	Sites	<i>Unevaluated</i>	<b>Out of APE</b>
7	Historic Structures	<i>Unevaluated</i>	<b>Out of APE</b>
279	Historic Structures	<i>Not Eligible</i>	<b>Out of APE</b>
540	Historic Structures	<i>Eligible</i>	<b>Out of APE</b>

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Table 3. Previous Inventories within the Records Search Area.

Survey No.	Year	Author	Report Title
ALA-0025	1979	Chevance, N.	Cultural Resources Survey of a Proposed Buried Cable Route Near Deadwood, Lawrence County, South Dakota. CIS No. 8
ALA-0113	1987	Buechler, J.V.	An Intensive (Level III) Cultural Resource Inventory Survey of a Portion of Homestake Mining Company's Proposed Exploration Project in Lawrence County, South Dakota. Project No. 87-13
ALA-0127	1987	Buechler, J.V.	An Intensive (Level III) Cultural Resource Inventory Survey of Proposed Phase I Exploration Areas for Homestake Mining Company in Lawrence County, South Dakota. Project No. 87-33
ALA-0139	1987	Buechler, J.V.	A Short Format Report of an Intensive (Level III) Cultural Resources Inventory Survey for Homestake Mining Company in Lawrence County, South Dakota. Project No. 87-41
ALA-0147	1987	Buechler, J.V.	A Short Format Report of an Intensive Cultural Resource Inventory Survey of Exploration Blocks in the Twin Cities Area of Lawrence County, South Dakota. Project No. 87-50
ALA-0163	1988	Kurtz, W.M.	A Cultural Resources Survey of Highway 85 from Deadwood to Pluma, Lawrence County, South Dakota. SDDOT Project No. F 0085(20)26 PCEMS 0555. CIS No. 324
ALA-0167	1988	Byrne, D.	An Intensive Cultural Resources Survey of a Proposed Bridge Replacement Project in Section 23, T5N, R3E, Lawrence County, South Dakota. SDDOT Project No. BRO 8041(4) PCEMS 620X. CIS No. 357
ALA-0207	1987	Rom, L.	A Level III Cultural Resource Inventory of the Fox's 76 Motel and Restaurant Small Tracts Act Land Sale, Case #0113 in Lawrence County, South Dakota. Project No. N-32-87
ALA-0254	1990	Buechler, J.V.	Archaeological Evaluation of the Cottage Hotel Site (39LA3000), 418 Main Street, City of Deadwood, Lawrence County, South Dakota. Project No. 90-11
ALA-0263	1990	Buechler, J.V.	An Archaeological Evaluation of the Proposed Burnham and Main Project, Deadwood, South Dakota. Project No. 90-27
ALA-0266	1991	Buechler, J.V.	A Cultural Resources Evaluation of Lots 1-7 Meverden Addition, Deadwood, Lawrence County, South Dakota. Project No. 90-28
ALA-0290	1991	Vaillancourt, D.R.	A Stage I Cultural Resources Survey of Project 920203012s Proposed Deadwood Fire Station 747 Main Street City of Deadwood, Lawrence County, South Dakota
ALA-0306	1991	Vaillancourt, D.R.	Letter Report: the Final Cultural Resources Report for the Lincoln/Jackson Street Project, Deadwood Historic District, Lawrence County, South Dakota
ALA-0324	1993	Winham, R.P. et al	Archeological Salvage Excavations and Evaluation at the Site of the Green Front Theatre, Deadwood, South Dakota.
ALA-0336	1993	Byrne, D.	A Letter Report on an Intensive Cultural Resources Survey of the Bridge Replacement Project, BRO8041(9), PCEMS 077H, St. Charles Street, Deadwood, Lawrence County, South Dakota. CIS No. 811
ALA-0338	1993	Buechler, J.V.	Cultural Resources Monitoring of US West's Cable Replacement Activities in the 600 Block of Deadwood, Lawrence County, South Dakota.
ALA-0380	1996	Vaillancourt, D.R.	A Stage I Cultural Resources Archeological Monitoring Report of City of Deadwood Trolley Barn Site Tract E, M.S. 308 Dunlap Avenue, City of Deadwood, Lawrence County, South Dakota
ALA-0381	1996	Vaillancourt, D.R.	A Stage I Cultural Resources Survey of Proposed Ingleside/Presidents Section Neighborhood Improvements, City of Deadwood, Lawrence County, South Dakota
ALA-0409	1999	Williams, B. G.	A Class III Cultural Resource Survey of the Belle Eldridge Mine (39LA1000) in Lawrence County, South Dakota



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Survey No.	Year	Author	Report Title
ALA-0418	2000	Buechler, J.V. et al	On Broadway: Urban Archaeological Research at the Broadway Parking Structure (39LA3000.2000.01) Deadwood, Lawrence County, South Dakota. Project No. 00-11
ALA-0449	2002	Barrett, C. & Peterson, T.L.	Level I & Level III Cultural Resource Inventory for the Entrance Sign Replacement, Area One and Area Two, Northern Hills Ranger District, Lawrence County, South Dakota. Project No. R200202030040
ALA-0470	2002	Vaillancourt, D.R.	A Level III Cultural Resource Survey Report for Emergency Watershed Protection (EWP) Program Activities Within the City of Deadwood and the Immediate Environs, Lawrence County, South Dakota. Project No. 02LA02
ALA-0480	2002	O'Dell, K.C.	Deadwood Mitigation Project, Northern Hills Ranger District, Black Hills National Forest: 33 Jackson Street, 33 1/2 Jackson Street and 89 Sherman Street, Deadwood Historic District, Lawrence County, South Dakota.
ALA-0491	2003	Smith, S.C.	A Level III Cultural Resource Survey of the Exemption Area Wildland-Urban Interface and Grizzly Gulch Burn Area, Lawrence County, South Dakota
ALA-0600	2005	Byrne, D.	A Report of an Archaeological Investigation Conducted at 39LA2000-NG 621 and 623 Main Street, Lawrence County, South Dakota, National Historic Landmark District: Location of a Proposed Casino/Hotel Addition to Nelson's Garage/Celebrity Hotel. CIS No. 1972
ALA-0607	2006	Buechler, J.V.	Archaeological Monitoring Research of the Deadwood Fire Hall Project (735 Main Street), Deadwood, South Dakota. Project No. 06-03
ALA-0616	2006	Harken, N.	Level III Intensive Pedestrian Cultural Resource Inventory of the Deadwood Dot Bridge Enhancements, T5N, R3E, Sections 26 & 27, Lawrence County, South Dakota. Project No. SD0625
ALA-0622	2006	Miller, P.V.	Cultural Resources Inventory, Structure Recording & Natl. Register of Hist. Places Evaluation of the Friendship House and Garage, Archeological Site 39LA3000TE, and Timberline Estates Development, Deadwood National Historic Landmark, Deadwood, Lawrence SD
ALA-0623	2006	Miller, P.V.	Cultural Resources Inventory, Subsurface Testing, and Structure Recording of the Bernard Schuchmann Property Archaeological Site 39LA3000BS and Structure LA-001-01909, Deadwood National Historic Landmark, Deadwood, Lawrence County, SD. Project No. SD0634
ALA-0628	2006	Fosha, R.E.	Preliminary Investigations at St. Ambrose Cemetery Lower Section East of Pleasant Street, Deadwood, South Dakota. CIS No. 2107
ALA_0634	2006	Bruce, T.	A Construction Monitoring Project for the Partial Removal of a Retaining Wall on Broadway Street in Deadwood, Lawrence County, South Dakota.
ALA-0638	2007	Kvamme, K.	Geophysical Investigations at Historic Mt. Moriah and St. Ambroses Cemeteries, Deadwood, Lawrence County, South Dakota
ALA-0640	2007	Bruce, T.	A Construction Monitoring Project for Leveling Drilling Rig Pads Behind the Homestake Mine Slimes Plant for the Deadwood City Limits Project, Lawrence County, Deadwood, South Dakota. CIS No. 2165
ALA-0641	2006	Byrne, D. & Donohue, J.	An Intensive Cultural Resources Survey of Lot 5, Tract A, Block MS81, City of Deadwood, Lawrence County, South Dakota. CIS No. 2121
ALA-0643	2007	Park, V.	Archaeological Monitoring of the Ridgestone Apartments Demolition and Cadillac Jack's Casino Expansion Project, Deadwood National Historic Landmark, Deadwood, Lawrence County, South Dakota.
ALA-0644	2007	Park, V.	Archaeological Monitoring of 39LA3000.2006.08, Dakota Deuces Construction Project, Deadwood National Historic Landmark District, Deadwood, Lawrence County, South Dakota. Project No. SD0621
ALA-0646	2007	Park, V.	Archaeological Monitoring of the Demolition of 39LA3000TE, in preparation for the Timberline Estates Development Project, Deadwood Mountain Developers, LLC, Deadwood National Historic Landmark District, Deadwood, Lawrence Co South Dakota.

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Survey No.	Year	Author	Report Title
ALA-0648	2007	Park, V.	Archaeological Survey and Recordation of 39LA300.2007.02, 39LA2007.03 & 39LA300.04 for Cadillac Jack's Casino Expansion Project, Deadwood National Historic Landmark, Deadwood, Lawrence County, South Dakota. Project No. SD0714
ALA-0658	2007	Leatherman, C.	Chinese Mortuary Rituals in Deadwood, South Dakota: An Archaeological Perspective, Lawrence County, South Dakota.
ALA-0662	2007	Park, V.	Archaeological And Historic Survey of the Stage Run Subdivision Development Project and National Register of Historic Places Evaluation of Wagon Road 39LA2215, Deadwood National Historic Landmark, Deadwood, Lawrence Co., So Dakota. QSI Project No. SD0747
ALA-0663	2007	Park, V.	Archaeological Survey and Recordation of 39LA3000.2007.06 for the 26 Sampson Street Development Project, Deadwood National Historic Landmark District, Deadwood, Lawrence County, South Dakota.
ALA-0664	2007	Park, V.	Archaeological and Historical Survey of the John Bolan Historic Railroad One Property and National Register of Historic Places Evaluations of Structures LA00001906 & LA00001907, Deadwood Natl Historic Landmark District, Lawrence Co. Deadwood, South Dakota
ALA-0668	2007	Crawford, R.	Archaeological Survey of the Lou Curotolo, Jr. Residential Area Probate Lot 281, Deadwood National Historic Landmark District, Deadwood, Lawrence County, South Dakota. Project No. S0784
ALA-0670	2007	Park, V.	Archaeological and Historical Survey of the Slime Plant Development Area & National Register of Historic Places Evaluation of Archaeological Site 39LA3000.2007.08 & Historic Structure LA00101911, Deadwood, Lawrence Co., South Dakota. Project No. SD0778
ALA-0671	2007	Fosha, R.E. & Fosha M.R.	DWD, Inc. Project, Wing Tsue Property Excavations, Deadwood, Lawrence County, South Dakota. CIS No. 2174
ALA-0676	2008	Park, V.	Archaeological and Historical Survey of the Days of '76 Storage Facility Development Project & National Register of Historic Places Evaluation of Archaeological Sites 39LA2000 & 39LA3000.2008.01 and Structure LA00101912, Deadwood, South Dakota
ALA-0685	2008	Noisat, B.	Level III Heritage Resource Inventory, Monitoring and Evaluation: Polo Analysis Area, Lawrence County, South Dakota. Project No.
ALA-0707	2008	Buechler, J.V.	Archaeological Assessment of 1 Meverden Street (39LA300.2008.02) in the City of Deadwood, Lawrence County, South Dakota. Project No. 08-41
ALA-0711	2008	Buechler, J.V.	Archaeological Assessment of Lots 3-4, Block 8 of the Highland Park Addition (39LA3000.2008.03) Adjacent to 45 Burnham Avenue in the City of Deadwood, Lawrence County, South Dakota. Project No. 08-47
ALA-0715	2008	Fosha, R.E.	Evaluation and Recovery of Human Remains at 39LA3000.2007.09, 66 Taylor Avenue, Ingleside Section, Deadwood, Lawrence County, South Dakota. CIS No. 2239
ALA-0720	2009	Carpenter, M.	Level III Cultural Resources Inventory of the 12 Ryan Street BLM to Private Land Transfer, T5N, R3E, Section 26, Lawrence County, South Dakota. Project No. SD0915
ALA-0742	2009	Miller, P.V.	An Intensive Cultural Resources Survey of the South Dakota Department of Transportation Project NH 014A (07)39, PCN 01YB, Lawrence County, South Dakota. CIS No. 2399
ALA-0765	2008	Fosha, R.E. et al	Deadwood's Historic Chinatown Excavations on Lower Main Street 2001-2004, 39LA3000CL, CT02, CT03, and CT4A, Lawrence County, South Dakota. CIS No. 2149
ALA-0772	2009	Dorrance, B.	Level III Archeological 7 Historic Structure Inventory for the SWS LLC SD0238 Deadwood (T09989) Communication Tower, T5N, R3E, Section 27, Lawrence County, South Dakota. Project No. SD0982
ALA-0775	2010	Byrne, D.	An Intensive Cultural Resources Survey of SDDOT Bridge Scour Protection Project Number P 014A (02)41, PCN 01D2, Lawrence County, South Dakota. CIS No. 2459

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ALA-0786	2010	Bruce, T.	An Intensive Cultural Resources Survey of SDDOT Project No. MH 014A (04)37, PCN 01BT, Proposed Mill, AC Overlay and Culvert Replacement between Lead and Deadwood, Lawrence County, South Dakota. CIS No. 2491
ALA-0819	2012	Byrne, D. & Bozzetti, L.	An Intensive Cultural Resources Survey of SDDOT Project NH 0085(20)26, PCN 0555, US Highway 85 in the Deadwood and Pluma Vicinity, a Portion Surveyed in Deadwood Historic Landmark District, Lawrence County, South Dakota. CIS No. 2598
ALA-0837	2012	Leithoff, A.J.	A Letter Report Format for a Level III Archaeological Survey of Approximately 2.0 Acres Associated with the Proposed First Gold Mining Project, Lawrence County, South Dakota
ALA-0849	2012	Ferris, K. & Klinner, D.	St. Ambrose Cemetery: Cultural Resource Investigations South of Pleasant Street, City of Deadwood, Lawrence County, South Dakota. Report of Investigation No. 104; Report of Investigation: 1616
ALA-0851	2013	Byrne, D.	An Intensive Cultural Resources Records Search and Reconnaissance Survey of SDDOT Project NH-PH 0085(20)26, PCN 0555, a Proposed Storm Sewer Emplacement in the Deadwood National Historic Landmark District, Lawrence County, South Dakota. CIS No. 2732
ALA-0859	2013	Buechler, J.V.	A Stage I Cultural Resources Archeological Monitoring Report of City of Deadwood Trolley Barn Site Tract E, M.S. 308 Dunlap Avenue, City of Deadwood, Lawrence County, South Dakota
ALA-0907	2015	Berg, R.E. & Fosha, M. R.	Archaeological Investigations in Martha E. Bullock Memorial Park (Former Rotary Park; Site 39LA3000-2014.01) Within the City of Deadwood, Lawrence County, South Dakota. CIS No. 2875
ALA-0934	2015	Carpenter, M.	A Level III Cultural Resource Inventory of the First Gold Hotel & Casino Parking Lot Expansion, T5N, R3E, Sections 14 and 23, Lawrence County, South Dakota. QSI Project No. SD3915056
ALA-0939	2016	Bozzetti, L.	Archaeological Survey and Structure Recordation for the Deadwood Lower Main Parking Lot and Welcome Center Project. Located Within the Deadwood National Historic Landmark Boundary in Deadwood, SD. Deadwood Project Site Number 39LA3000.2016.01 CIS No. 2908
ALA-0941	2016	Moloney, B.	Level III Cultural Resources Inventory of the Gustafson House Lot, Tracts 1A, 1B, 5 and 7A of Myricks Subdivision in the City of Deadwood, T5N, R3E, Section 23, Lawrence County, South Dakota.
ALA-0942	2016	Jennings, L.M. & Moloney, B.	Archeological Construction Monitoring for the Gustafson House Lot, Tracts 1A and 7A of Myricks Subdivision on the City of Deadwood, T5N, R3E, Section 23, Lawrence County, South Dakota.
ALA-0944	2016	Carpenter, M.	Level III Cultural Resources Inventory of the Cadillac Jacks Gaming Resort Parking & Hotel Construction Areas, T5N, R3E, Section 23, Lawrence County, South Dakota. QSI Project No. SD3916014
ALA-0949	2016	Williams, D.T.	An Intensive Cultural Resources Survey SDDOT Surfacing, ADA, & Traffic Signals Project NH 014A (15)41, PCN 04FA, Lawrence County, South Dakota. CIS No. 3018
ALA-0973	2017	Carpenter, M.	Cultural Resources Construction Monitoring of the Cadillac Jacks Gaming Resort TIF-10 and TRU Hotel Project Areas, T5N, R3E, Section 23, Lawrence County, South Dakota. QSI Project No. SD3917007 & SD3917008
ALA-0974	2018	Carpenter, M.	Cultural Resources Construction Monitoring & Excavations City of Deadwood Recreation Center Expansion, T5N, R3E, Section 23, Lawrence County, South Dakota. QSI Project No. SD3918007
ALA-0975	2017	Busch, M.D.	Summary of Retaining Wall Monitoring at 53 Taylor Street, Deadwood, Lawrence County, South Dakota. CIS No. 3087
ALA-0982	2018	Noisat, B.	Level III Cultural Resources Inventory: Fuller Road, Lawrence County, South Dakota

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Survey No.	Year	Author	Report Title
ALA-0986	2018	Lamie, K. et al	South Dakota Archaeological Research Center Burial Report 2012-05, Ingleside Cemetery Burial II, The Discovery, Recovery, and Investigative Study of an Unknown Deadwood Pioneer. CIS No. 2975
WSD-0204	2000	Greiser, T.W.	A Class III Cultural Resources Inventory of Selected Bureau of Land Management Parcels as Part of the BLM/Homestake Mining Land Exchange, Western South Dakota, Butte, Haakon, Lawrence, Meade and Pennington Counties

Table 4. Courthouse Records Search for Mineral Surveys in Project Area

Date	Deed/Record	Grantor	Grantee	Notes	Book	Page
December 5, 1882	Townsite Deed	Town of Deadwood, Probate Judge W.L. Chadwick	Mrs. Rachel Merrick	Lot given to Rachel and Heirs	25	288
July 25, 1891	Mortgage Record	Albert W. and Rachel Merrick	H. Stein	Transfer Rights	81	88
October 17, 1893	Indenture of Mortgage	Albert W. and wife	Frank Blackman & Ethleen Blackman	Lot 63	95	16
Oct 17, 1905	Assignment of Mortgage Deed	Blanche Pfizer et. al	Ruthe E Blackman	Transferred	185	239
October 9, 1905	Satisfactory of Mortgage	Ethleen Blackman on behalf of Frank	Albert and Rachel Merrick	Release	163	432
May 7, 1937	Decree of Distribution	Rachel M. Merrick Estate	Louise M. Jennings Gray et. al	John R. Russell administrator of will	267	162
April 8, 1938	Quit Claim	Louise M. Jennings	James E. Russell	Transfers all rights	261	605
October 17, 1905	Assignment of Mortgage Deed	Ruth Blackman	Ethleen Blackman	None	185	238
April 8, 1938	Quit Claim	James E. Russell	Horace Clark	Lots 62-63	261	606
October 18, 1950	Quit Claim	Horace Clark and Charlotte Clark	H.S. Clark Inc.	Grantee of Lead SD Post Office	309	455
May 17, 1978	Tax Deed	Evelyn Cossart	H.S. Clark Inc.	Owe 1282	N/A	N/A
January 11, 1979	Quit Claim	Roy Bradshaw	W. Houston Elley and Maye M Elley	Transferred 1979	N/A	N/A
April 1, 1988	Short form Contract for Deed	W. Houston Elley and Sherwood H. Mundel	Timothy Hoffman and Alice G Hoffman	1988	N/A	N/A

Albert Merrick was a journalist that settled in Deadwood in the 1880s with his family. He started the Black Hills Pioneer, the first newspaper in the area, which is still printed today. Horace Clark was a car salesman that became a local relator in the 1950s. Although these were influential people in Deadwood during their respective times, there are no structures or artifacts present at the location to link to these men.



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## Survey Methods & Results

**QSI** archeologist Lina Ramirez conducted the cultural resources inventory of the project for 2 hours on June 11, 2021. The project area was located and surveyed using a sub-meter Trimble GPS unit verified with aerial and topographic maps. Field investigation consisted of visual inspection, photography, and subsurface testing to determine potential project effects. This pedestrian inventory was conducted in 5-meter spaced pedestrian transects. Temperatures were in the high 80s (° F) with a slight breeze at the time of the survey. The homeowner and engineer for the project were present at the time of the inventory.

Vegetation in the project area consisted of recently mowed mixed grasses. Ground surface visibility within the inventory area varied from 0 percent on slopes to 80 percent in the flat, recently mowed area, with an average of 40 percent across the project area. Previous disturbances include tree clearing, landscape levelling, and structure construction and demolition.

The proposed project area has been completely disturbed by previous construction activities. Four subsurface shovel tests (STs) were conducted within the proposed home lot location but were terminated after 10 cm. due to fill material being present. The probability of finding intact cultural resources is considered low due to the previous disturbances of the area.



Figure 4. Overview photograph facing southwest toward project area.  
L. Ramirez 06/11/2021.



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Figure 5. Photograph from southwest corner of lot facing northeast toward Taylor Avenue. L. Ramirez 06/11/2021.



Figure 6. Ground surface.  
L. Ramirez 06/11/2021.



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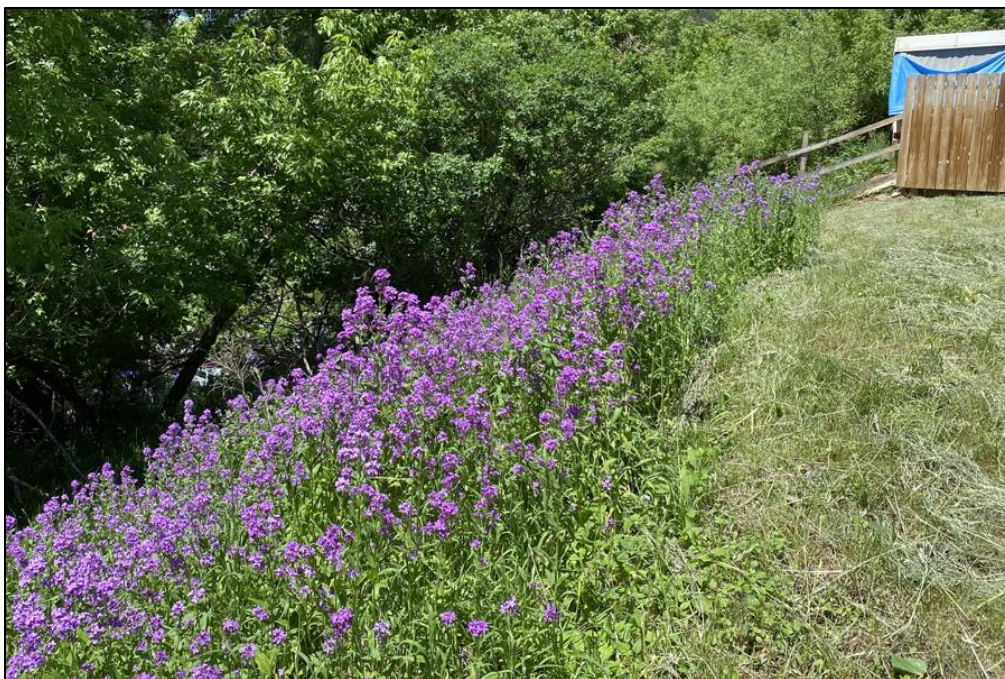


Figure 7. Photograph from southwest corner of lot at proposed retaining wall location facing northwest. L. Ramirez 06/11/2021.



Figure 8. Photograph facing north along eastern boundary of lot at Taylor Avenue (top of slope). L. Ramirez 06/11/2021.



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Figure 9. Photograph of rock pile in the eastern portion of the lot near Taylor Avenue. L. Ramirez 06/11/2021.



Figure 10. Representative soil profile at shovel test 1. L. Ramirez 06/11/2021.



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Figure 11: Clear and amber glass shards identified in ST4.  
L. Ramirez 06/11/2021.

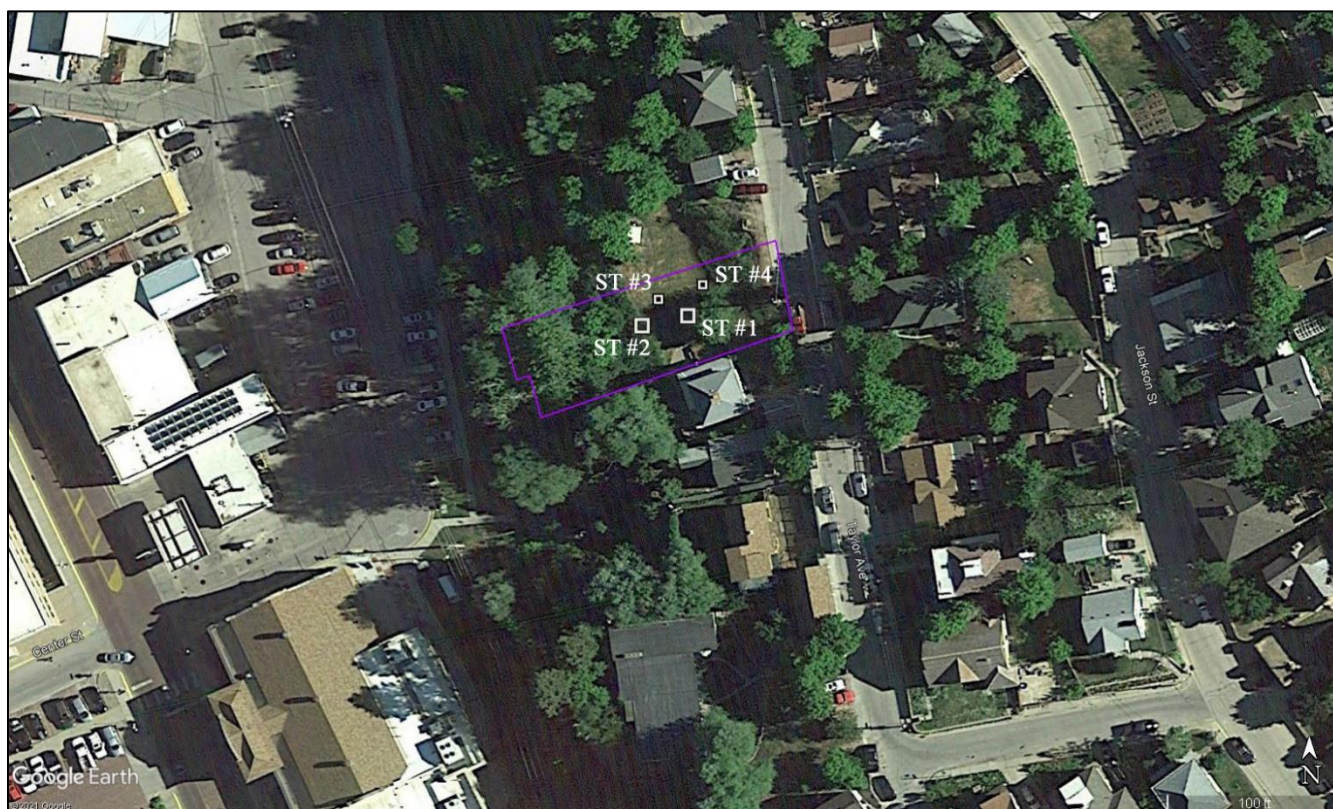


Figure 12. Subsurface testing locations.

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Table 5. Results of Subsurface Tests.

<b>ST#: 1 Location:</b> E/ 601374 N/ 4914270 <b>Size &amp; Depth:</b> 40x40x40cm		
<b>Stratigraphy:</b> 5 cm of modern fill/trash/soil over 35 cm of dark yellowish brown (10YR 4/4) clayey loam. Soils heavily disturbed. Shovel test ceased at compacted parent material.		
<b>Contents:</b> No cultural materials		
<b>Screen Sizes:</b> 1/4"	<b>Liners:</b> No	<b>Backfilled:</b> Yes
<b>ST#: 2 Location:</b> E/ 601375 N/ 4914268 <b>Size &amp; Depth:</b> 50x50x40cm		
<b>Stratigraphy:</b> 5cm of aluminum can fragments/soil over 35 cm of dark yellowish brown (10YR 4/4) clayey loam. Shovel test ceased at compacted parent material; heavily disturbed.		
<b>Contents:</b> No cultural materials		
<b>Screen Sizes:</b> 1/4"	<b>Liners:</b> No	<b>Backfilled:</b> Yes
<b>ST#: 3 Location:</b> E/ 601373 N/ 4914517 <b>Size &amp; Depth:</b> 40x40x30cm		
<b>Stratigraphy:</b> Rocky soils at base of slope consisted of 30 cm of brownish yellow (10YR 6/6) rocky clayey loam. Eroded soils and exposed bedrock throughout.		
<b>Contents:</b> One clear glass shard identified at 10 centimeters below surface (cmbs).		
<b>Screen Sizes:</b> 1/4"	<b>Liners:</b> No	<b>Backfilled:</b> Yes
<b>ST#: 4 Location:</b> E/ 601370 N/ 4914261 <b>Size &amp; Depth:</b> 45x45x25cm		
<b>Stratigraphy:</b> Brown (10YR 4/3) clayey loam soil was extremely rocky. Impenetrable substrate reached at 25 cmbs. Modern green plastic bottle identified at 20 cmbs.		
<b>Contents:</b> Three clear glass shards and one amber glass shard identified in ST.		
<b>Screen Sizes:</b> 1/4"	<b>Liners:</b> No	<b>Backfilled:</b> Yes

## Conclusions and Management Recommendations

**QSI** conducted a cultural resource survey for the for a proposed retaining wall and lot leveling totaling 0.15 ac in Lawrence County, South Dakota, as requested by the Deadwood Historic Preservation Office. Prior to fieldwork, background research revealed that the entire project area was inventoried in 1996 (Vaillancourt). During the current QSI inventory, four subsurface shovel tests were conducted, which showed highly disturbed soils with no significant artifacts. Due to the highly disturbed nature of the project area and the landscape having been altered, the project area has a low potential for intact cultural deposits.

While the proposed project is within the overall National Historic Landmark (NHL), the proposed grading and retaining wall will not impact the integrity of the district or NHL enough to directly or indirectly affect NRHP-eligible or listed resources. As such, a finding **of no historic properties adversely affected** is recommended for the project.

In the event cultural resources are located during project implementation South Dakota State Historic Preservation Office (SHPO), and **QSI** should be notified immediately.



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HOME OF THE FASSBENDER PHOTOGRAPHIC COLLECTION

## New to the Board

Welcome to Dan Blakeman as a new board member for the Fassbender Photographic Collection. Blakeman, who replaced Mike Stahl as Lead's city administrator, fills the role of liaison for the city of Lead on the board. Blakeman's most recent service includes council and mayor positions in Pinehaven, WY and operations officer in Moorcroft, WY.



Dan Blakeman

## Photography Events

The Black Hills Focus Group will resume as we work on scheduling future presenters, both virtual and in-person. Keep tabs on us on Historic Black Hills Studios Facebook page and email. Also soon to come will be a mini classroom with 3 computers to learn how to edit photos.

The Black Hills Photo Shootout is scheduled for Sept. 24-26, 2021 after an all virtual event last year. For more info goto:  
<https://blackhillshotshootout.online/>

Anyone interested in being invited to the Zoom meetings can email Richard at:  
[fassbendercollection@gmail.com](mailto:fassbendercollection@gmail.com)

## Retouching Part of the Image Making

Stating that an image has been "Photoshopped" is commonly understood terminology these days. It may mean simple retouching or compositing or completely replacing parts of an image. Digital photography and the software tools used to edit and manipulate images are now the norm. Some of those retouching tasks had a place in the past as well. Spotone and other colored dyes were used for retouching or colorizing images. (more on pg. 2)



**Below:** Spotone was a commonly used dye for touching up black & white prints. Different bottles in a kit were for matching cool and warm tones in addition to lightness and darkness of the area to be retouched by varying the dilution. Sometimes this method was used simply to remove a light spec on the image resulting from a bit of dust on the print. This saved the cost of reprinting the image.

## Featured Artifact

The Kodak "Tourist" camera was produced from 1948-51 and was replaced by the "Tourist II" series. The camera used 620 film with each frame measuring 2 1/4" x 3 1/4" or roughly 6 x 9 cm. One roll yielded 8 exposures. The camera was also capable of using a different sized film called 828 which resulted in a slightly "telephoto" effect due the film's smaller size.



The lens was not interchangeable and the camera was also available with a Kodak Tourist Adapter Kit which consisted of some masks to overlay on the film for different sizes.

The Kodak "Tourist" camera

## Recently Digitized...



Queen's Motel Spearfish July 1959



Rainbow Motel Spearfish September 1962



Royal Rest Motel Spearfish June 1961



Excel Motel Spearfish, June 1961

## Photography Quote:

"To me, photography is the simultaneous recognition, in a fraction of a second, of the significance of an event."

- Henri Cartier-Bresson

## Retouching (cont. from pg. 1)

Hand-coloring black and white photographs can be traced back to the beginning of photography. The arrival of the first Kodachrome color slide film in 1935 diminished the need for the skill. Present day digital artists now use software to add color to historic photos.



**Above:** Marshall photo color oils used for retouching or coloring photographic prints.

## Spearfish High School Job Shadow

Spearfish High School student Madalen Sprigler spent some time with the Fassbender Photographic Collection this spring as a part of her career planning class. Sprigler has interest in pursuing a career as an archivist and used her time to become familiar with the process. Sorting, repackaging, cataloguing and digitizing were all part of the job shadow experience. "I met several people while job shadowing that really helped guide me in a good direction for what schooling I'd need in order to go into a history related job field" said Sprigler who also happens to be a descendant of the Fassbender family.



**Above:** Madalen Sprigler sorts envelopes to be repackaged and cataloged.

## South Dakota Gaming Statistics Monthly Summary

June 2021

## Slot Machines

Denomination	Number of Units Reporting Revenue	Handle	Statistical Win	Avg. Payout %
25 Dollars	6	\$392,650.00	\$51,700.00	86.83%
5 Dollars	60	\$4,943,358.39	\$155,761.26	96.85%
1 Dollar	212	\$11,805,287.24	\$859,700.65	92.72%
50 Cents	5	\$342,472.00	\$38,928.57	88.63%
25 Cents	135	\$4,693,651.33	\$457,579.69	90.25%
10 Cents	2	\$151,489.80	\$6,253.57	95.87%
City Slot	50	\$6,082,193.34	\$583,170.13	90.41%
5 Cents	37	\$1,354,123.16	\$79,008.41	94.17%
1 Cents	1988	\$99,245,467.26	\$9,526,357.28	90.40%
<b>Totals</b>	<b>2495</b>	<b>\$129,010,692.52</b>	<b>\$11,758,459.56</b>	<b>90.89%</b>

## Table Games

Games	Units	Handle	Statistical Win	Avg. Payout %
Black Jack	39	\$3,134,989.00	\$600,806.71	80.84%
House Banked Poker	27	\$2,239,923.00	\$562,402.81	74.89%
Player Banked Poker	13	\$880,755.00	\$88,075.50	N/A
Craps	4	\$518,404.00	\$35,889.00	93.08%
Roulette	9	\$352,301.00	\$89,222.00	74.67%
<b>Totals</b>	<b>92</b>	<b>\$7,126,372.00</b>	<b>\$1,376,396.02</b>	<b>79.37%</b>

## Handle Comparison

	Current	% Change from Same Month, Last Year	Calender YTD	CYTD % Change From Previous Year
<b>Slot Machines</b>	\$129,010,692.52	20.07%	\$679,716,648.93	61.39%
<b>Table Games</b>	\$7,126,372.00	37.66%	\$44,104,925.76	79.96%
<b>Total Handle</b>	\$136,137,064.52	20.88%	\$723,821,574.69	62.41%

Tax CalculationTax Distribution

<b>Total Statistical Win:</b>	\$13,134,855.58	<b>Total 9% Tax Collected</b>	\$1,130,340.11
<b>Less: Non Cashable Promo Play</b>	(\$1,454,971.21)	<b>1% to State General Fund per 42-7B-28.1</b>	\$125,593.35
<b>Plus: Non Cashable Promo Wins</b>	\$1,309,474.09	<b>8% to Be Distributed per 42-7B-48</b>	\$1,004,746.77
<b>Less: Wide Area Progressive Deduction</b>	(\$611.15)	<b>40% Allocated to Tourism</b>	\$401,898.71
<b>Less: City Slots (Net of Promo)</b>	(\$573,703.83)	<b>10% Allocated to Lawrence County</b>	\$100,474.68
<b>Plus: Expired Vouchers</b>	\$18,601.57	<b>50% Commission Fund</b>	\$502,373.38
<b>Amended Returns</b>	\$125,689.56		
<b>Taxable Adjusted Gross Revenue:</b>	\$12,559,334.61		
	9%		
<b>Tax Due</b>	\$1,130,340.11		