

# Historic Preservation Commission Meeting Agenda

Wednesday, May 26, 2021 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

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1. **Call Meeting to Order**

2. **Roll Call**

3. **Approval of Minutes**

[a.](#) HPC Minutes May 12, 2021

4. **Voucher Approvals**

[a.](#) HP Operating Vouchers 5/26/21

[b.](#) HPC Revolving Vouchers 5/26/21

5. **HP Programs and Revolving Loan Program**

a. Revolving Loan Program

Sherree Rich & Joe Gaspar -- 40 Jefferson -- Retaining Wall Loan Request

Wayne Morris -- 388 Main St. -- Request to Forgive Siding Loan

6. **Old or General Business**

[a.](#) Enter into contract with Erica Merchant to restore Henry George Cigar ghost mural on side of Bodega at a cost of \$14,988.47 in exchange for conservation easement from property owner.

[b.](#) Permission to engage M.S. Mail to print 50,000 of the Deadwood Walking Tour brochures at a cost of \$11,900 from the HP Public Education line item.

[c.](#) Approve Lawrence County Courthouse application for Historic Preservation Not-for-profit Grant program from Lawrence County.

[d.](#) Request for Not-for-Profit Grant from Deadwood Masonic Association for engineering costs associated with the stabilization of structural issues.

e. Set special Historic Preservation Commission Meeting to review proposed project associated with 56 Lincoln Avenue and 874 Main Street for June 3, 2021, 11:00 a.m. starting at Lincoln Avenue

f. Set new deadline for Outside of Deadwood Grant program to July 2, 2021 and increase funding amount to \$100,000 for FY 2021.

[g.](#) Discussion and possible action of creation and installation of flag pole and plaza at Deadwood Elementary in recognition of the 50th anniversary of the combining of the Lead-Deadwood High Schools in the amount of \$10,000.00.

7. **New Matters Before the Deadwood Historic District Commission**

- [a.](#) COA 210081 - Frank Pavich - 789 Main - Replace Windows
- [b.](#) COA 210082 - Keating Resources - 51 Sherman - Construct Patio
- [c.](#) COA 210083 - Troy Gorans - 27 Deadwood St. - Construct Patio
- [d.](#) COA 210087 - 555 Main St - Deadwood Hotels LLC - 555 Main St. - Install brick façade

8. **New Matters Before the Deadwood Historic Preservation Commission**

- [a.](#) PA 210078 - Robb & Wendy Nelson - 19 Centennial - Updated garage location
- [b.](#) PA 210080 - City of Deadwood - 18 Seventy Six Drive - Construct Lean-to addition
- [c.](#) PA 210085 - City of Deadwood - 15 Seventy Six Drive - Construct deck above chutes
- [d.](#) PA 210084 - Charles Eagleson - 374 Williams - Replace Window
- [e.](#) PA 210086 - Cara Potter - 152 Charles - Exterior Repairs

9. **Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

10. **Staff Report**

(Items considered but no action will be taken at this time.)

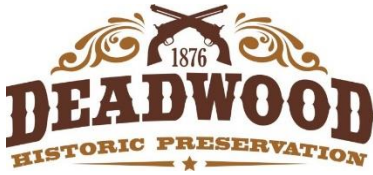
11. **Committee Reports**

(Items considered but no action will be taken at this time.)

12. **Adjournment**

**Note:** All Applications MUST arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.

Please practice the CDC's social distancing recommendations



# Historic Preservation Commission Meeting Minutes

Wednesday, May 12, 2021 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

## 1. Call Meeting to Order

A quorum present, Chairman Berg called the Deadwood Historic Preservation Commission meeting to order on May 12, 2021 at 5:00 p.m.

## 2. Roll Call

PRESENT

HP Commission Chair Dale Berg  
 HP Commission Vice Chair Bev Posey  
 HP Commissioner Leo Diede  
 HP Commissioner Trevor Santochi  
 HP Commissioner Jill Weber  
 HP Commissioner Tony Williams

ABSENT

HP Commission 2nd Vice Chair Robin Carmody

STAFF PRESENT

Kevin Kuchenbecker, Historic Preservation Officer  
 Cindy Schneringer, Administrative Assistant

Mike Walker, NeighborWorks Director  
 Charlie Struble-Mook, City Commissioner

## 3. Approval of Minutes

a. Approval of April 28, 2021 Meeting Minutes

***It was moved by Commissioner Weber and seconded by Commissioner Diede to approve the HPC Minutes of April 28, 2021. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

## 4. Voucher Approvals

a. HP Operating Vouchers 5/12/21

***It was moved by Commissioner Williams and seconded by Commissioner Diede to approve the HPC Operating Vouchers in the amount of \$52,183.32. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

b. HP Grant Vouchers 5/12/21

***It was moved by Commissioner Williams and seconded by Commissioner Weber to approved the HP Grant Vouchers in the amount of \$4,792.68. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- c. HP Revolving 5/12/21

***It was moved by Commissioner Posey and seconded by Commissioner Santochi to approve the HP Revolving Loan Vouchers in the amount of \$12,099.08. Voting Yea: Berg, Posey, Diede, Santochi, Williams. Voting Abstaining: Weber***

## 5. HP Programs and Revolving Loan Program

- a. Revolving Loan Program

David Folger & Erin Little - 15 Denver - Request to Prorate Loan

***It was moved by Commissioner Posey and seconded by Commissioner Diede to deny the request to prorate loan due to the fact they weren't able to complete the repairs required in order for the loan to be forgiven. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- b. Haverberg Family Ltd. Ptr. Façade Program extension request for 1,3,5 Burnham.

Mr. Kuchenbecker stated the deadline was April 30, 2021. The Halverberg's have asked for the deadline to be moved to the end of May 2021. They've made a lot of headway at 3 Burnham. Staff is recommending an extension to the end of May 2021 for them to complete the garage doors on the lower level and the side addition. ***It was moved by Commissioner Diede and seconded by Commissioner Santochi to approve the Facade Program extension request for 1,3,5 Burnham to the end of May 2021. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

## 6. Old or General Business

- a. Permission to enter into contract with Dr. David Wolff for research work on the proposed revision of Boots on Bricks: A Walking Tour of Historic Downtown Deadwood in an amount not to exceed \$2,000.00 to be paid from the HP Public Education line item.

Mr. Kuchenbecker stated Dr. Wolff would be assisting staff with the Boots on Bricks, which is a publication printed by the Historic Preservation Commission in 1996. We would like to update it. This is part of our budgeted and scheduled projects. We are asking Dr. Wolff to help us with the research and editing of the publication. The publication won't be completed until January 2023. ***It was moved by Commissioner Diede and seconded by Commissioner Posey to approve entering into a contract with Dr. David Wolff for research work on the proposed revision of Boots on Bricks: A Walking Tour of Historic Downtown Deadwood in an amount not to exceed \$2,000 to be paid from the HP Public Education line item. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- b. Recommendation to City Commission to allow the hiring of an archives intern, Alli Baloun, at the starting hourly rate of \$12.88 per hour beginning May 18, 2021 through July 30, 2021.

Mr. Kuchenbecker stated this is an internship for the archives and archaeological collections. They will be working with Mike Runge. This is great exposure for the

student and helps us out as well. This is budgeted in wages and salaries. ***It was moved by Commissioner Weber and seconded by Commissioner Posey to approve the hiring of an archives intern, Alli Baloun, at the starting hourly rate of \$12.88 per hour beginning May 18, 2021 through July 30, 2021. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- c. Acknowledgement and permission for the Chair to sign deed transfer of School Lot 8 from City of Deadwood to Deadwood Historic Preservation Commission

Mr. Kuchenbecker stated the City had the opportunity to acquire the lot at the top of Lincoln behind the new modern house to protect the hillside. This is to transfer the property from the City to the Historic Preservation Commission which owns several Deadwood properties. Under SD Codified Law HPC can own real estate. This is to acknowledge receipt of the property. ***It was moved by Commissioner Weber and seconded by Commissioner Santochi to acknowledge receipt of the property (School Lot 8) from the City of Deadwood to the Deadwood Historic Preservation Commission. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- d. Permission for the Chair to sign the 2021 Agreement for Use with William Pearson for DHI/HPC Archaeology Camp and allocate up to \$3,000.00 in support of the program.

Mr. Kuchenbecker stated the archaeology camp is scheduled for this year on the Pearson properties located just outside of Deadwood. Staff is recommending entering into an agreement for the use of the property and approving an amount not to exceed \$3,000 to help underwrite the program.

Amanda Brown, Education Director for Deadwood History, provided information about the camps scheduled in June for 4th-6th graders.

***It was moved by Commissioner Posey and seconded by Commissioner Diede to recommend to the City Commission to enter an agreement with Bill Pearson for the use of the Pearson property for the Archaeology Camp and approve an amount of up to \$3,000.00 to be paid out of the Archaeology line item to assist in the costs of the program. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- e. Recommendation for 2021 Historic Preservation Fund budget supplement.

Mr. Kuchenbecker stated in 2020 we implemented a revision to our budget due to the pandemic. At the end of the year, we came within \$8,000 of being on track with the budget we set. I am requesting to supplement this years budget with the unencumbered monies and a transfer out of our reserves, which are setting pretty good right now, to tackle CIP projects and expenses and to increase the Outside of Deadwood grants back to \$100,000. ***It was moved by Commissioner Posey and seconded by Commissioner Santochi to approve the recommendation for the 2021 Historic Preservation Fund budget supplement. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

## 7. New Matters Before the Deadwood Historic District Commission

- a. COA 210041 - CD Property LLC - 653 Main - Exterior Repairs

Mr. Kuchenbecker stated this has been continued for two meetings for over thirty days. I would ask the Commission to table until we get the documentation necessary. The stairwell at the back is what is in question. ***It was moved by Commissioner Santochi and seconded by Commissioner Weber to table COA 210041, CD Property LLC, 653 Main Street until necessary documentation is received. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- b. COA 210063 - Hickoks Gaming Hall - 685 Main - Pour Level Concrete Patio and install metal railing

Mr. Kuchenbecker stated this is a contributing structure located in the Deadwood City Planning Unit circa 1899-1900. The applicant is requesting permission to pour a level concrete patio on the Deadwood Street side of the building and install a metal railing similar to the railing on the Silverado patio alongside the Outlaw Square. The applicants representative and architecture are here if there are any questions. They have a lease with the City for the portion of the patio that was created as part of Outlaw Square. The lease agreement does allow for lessee improvements. The proposed work and changes does not encroach upon, damage or destroy a historic resource or have and adverse effect on the character of the building or the historic character of the local historic district, the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Santochi and seconded by Commissioner Diede based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

## 8. New Matters Before the Deadwood Historic Preservation Commission

- a. PA 210065 - Iver & Monica Gibbs - 849 Main - Replace shed roof over front stoop, replace window and repair/replace siding

Mr. Kuchenbecker stated Iver and Monica Gibbs purchased the house across the street from their primary residence at 849 Main Street a contributing structure in the Upper Main Street Planning Unit. The applicants are requesting permission to remove the shed roof on the front stoop and replace with a gable that will be tied into the hip of the existing roof and match the roof pitch, and remove the picture window on the left side and replace with two wood double hung windows. If siding can't be repaired, plans are to replace it with horizontal lap siding. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Posey and seconded by Commissioner Posey based upon all the evidence presented, I move to make a finding that this project DOES NOT encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places and therefore move to grant***

***a project approval. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

- b. Discussion and possible action to abate nuisance of garage at 90 Williams Street due to safety concerns.

Mr. Kuchenbecker stated the City received a complaint on the garage at the back of this resource. It collapsed in 2013 with Atlas and was identified by the Building Inspector as a nuisance. He is planning to send the owners an abatement notice saying he would like to see it torn down or fixed up. This needs to be addressed. If not, the City will come in and abate the nuisance if necessary. Staff is looking for direction. Would you allow this resource to be demolished? If so, then the building department would proceed with notification to the owners. ***It was moved by Commissioner Posey and seconded by Commissioner Weber the Historic Preservation Commission would not object to a demolition permit for this property at 90 Williams Street. Voting Yea: Berg, Posey, Diede, Santochi, Weber, Williams***

**9. Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

Mr. Kuchenbecker reported that Rob and Wendy Nelson were approved for a garage at 19 Centennial in October 2020. After they looked at the engineering and construction cost they would like to move the garage forward. They have submitted a new project approval which will be on the agenda for the next HPC meeting. Their architect, Brad Burns, provided an updated on the revised project.

Tim Conrad acquired the lot immediately next to him that has the log cabin on it. The address is 56 Lincoln and is a contributing structure. He is looking at possible demolition. The house has not been lived in for 32 years. It is a nuisance. Tim Conrad addressed his concerns about the condition of the structure. Mr. Kuchenbecker suggested a site visit to to take a look at it to determine what the options are.

**10. Staff Report**

(Items considered but no action will be taken at this time.)

Mr. Kuchenbecker reported it's been busy around Deadwood. Busy in our offices. Lots going on with Main Street Initiative and all the committees they have. Working on the budget. Appreciate the vote of confidence in moving forward with the budget. Working heavily on getting the grant and loan programs back up and running.

- a. Results and staff recommendation of Retaining Wall Bids for Denver Street and 40 Jefferson retaining wall projects opened on April 29, 2021 at 2:00 p.m. Bid tab in packet.

Mr. Kuchenbecker stated we received two bids for Denver Street. This is in and around the Gilmore. The walls are in bad shape. Staff has recommended to City Commission for CAI2 to be awarded for Denver Street. For 40 Jefferson, the house by the hillside that slid, we also received two bids and has been recommended to City Commission as well. At Monday's City Commission meeting I am asking permission to bid for 49 Centennial. We are starting to get some of the retaining

wall into our cycle for construction season to get ahead of the game. All of these are in our budget. No action to be taken.

b. Archives and Archeology Monthly Report

Mr. Kuchenbecker reported in your packet is Mike's report. He is very busy processing our collections, working in the archaeology lab, working on digitization and our online databases, as well as exhibits, and interpretive panels. I would encourage you to read it.

**11. Committee Reports**

(Items considered but no action will be taken at this time.)

Ms. Posey reported tomorrow is Preservation Thursday. Tomorrow is also the Butt Brigade at 3:00 p.m. at the statue at Tin Lizzies.

Mr. Diede reported it's been a busy day. We did have the Chamber Annual Luncheon. Also had the Design Committee.

**12. Adjournment**

The Historic Preservation Commission Meeting adjourned at 5:54 p.m.

ATTEST:

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Chairman, Historic Preservation Commission

*Minutes by Cindy Schneringer, Historic Preservation Office/Recording Secretary*



# Historic Preservation Commission

## Bill List - 2021

OPERATING ACCOUNT: Historic Preservation	
<b>HP Operating Account Total:</b>	<b>\$ 78,302.48</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

HPC	05/26/21
Batch	06/08/21

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01-4711		AMAZON CAPITAL SERVICES				
I-119J-QKMJ-WJX6		DIVIDERS LAMINATE POUCHS-HP/P	56.35			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		DIVIDERS LAMINATE POUCHS-HP		215 4641-426	SUPPLIES	28.17
		DIVIDERS LAMINATE POUCHS-PW		101 4520-426	SUPPLIES	28.18
I-119J-QKMJ-Y1HJ		AVERY POSTCARDS - BLOCK CLUBS	28.32			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		AVERY POSTCARDS - BLOCK CLUBS		215 4576-630	PROFES. SERV. NEIGHBORH.	28.32
I-14XJ-QPNT-Q6G3		LAPTOP CASE - ARCHIVES	27.19			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		LAPTOP CASE - ARCHIVES		215 4573-335	HIST. INTERP. ARCHIVE DE	27.19
I-17LP-R6K4-X637		BINDER CLPS PUSH PINS USB CAB	26.36			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		BINDER CLPS PUSH PINS - HP		215 4641-426	SUPPLIES	9.75
		APPLE USB CABLE - P&T		610 4360-426	SUPPLIES	16.61
I-1J1G-XMF3-XT1F		CUISINART COFFEE MAKER-LIBRAR	149.99			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		CUISINART COFFEE MAKER-LIBRARY		101 4192-426-10	SUPPLIES - LIBRARY	149.99
I-1L9Q-RVJG-1RQJ		ATOMIC FIREBALLS - PB	26.82			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		ATOMIC FIREBALLS - PB		101 4192-426	SUPPLIES	26.82
I-1RWK-6TF7-1DKR		MAHJONG BOOK - ARCHIVES	32.34			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		MAHJONG BOOK - ARCHIVES		215 4573-335	HIST. INTERP. ARCHIVE DE	32.34
I-1YH7-K6WL-R4J1		POS REGISTER ROLLS - MT MORIA	33.98			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		POS REGISTER ROLLS - MT MORIAH		607 4580-426	SUPPLIES	33.98
		=== VENDOR TOTALS ===	381.35			
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01-0418		BLACK HILLS PIONEER				
I-66360		2021 KIOSKS ANNUAL RENEWAL	20,250.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		2021 KIOSKS ANNUAL RENEWAL		215 4572-235	VISITOR MGMT ADVOCATE	20,250.00
		=== VENDOR TOTALS ===	20,250.00			

PACKET: 05390 06/08/21 - HP OPERATING -  
 VENDOR SET: 01 CITY OF DEADWOOD  
 SEQUENCE : ALPHABETIC  
 DUE TO/FROM ACCOUNTS SUPPRESSED

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POST DATE	BANK CODE	-----DESCRIPTION-----		DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
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01-3314		CENTURY BUSINESS PRODUCTS, INC					
I-E154800		CANON TM-305 - HP		4,328.67			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		CANON TM-305 - HP			215 4641-434	MACHINERY/EQUIPMENT	4,328.67
		=== VENDOR TOTALS ===		4,328.67			
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01-1798		CHAINSAW CENTER/DAKOTA RENTAL					
I-1085316		GENIE 26FT RENT-RDEO GRNDS UP		285.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		GENIE 26FT RENT-RDEO GRNDS UPD			215 4577-735	CAPITAL ASSETS RODEO GRO	285.00
		=== VENDOR TOTALS ===		285.00			
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01-0951		DEADWOOD ALIVE					
I-1400-21		MAY 2021		20,000.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		MAY 2021			215 4573-345	HIST. INTERP. LIVING HIS	20,000.00
		=== VENDOR TOTALS ===		20,000.00			
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01-1387		DEADWOOD GRANITE & MARBLE WORK					
I-052621		MONUMENT CHERYL HOFFMANN		900.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		MONUMENT CHERYL HOFFMANN			215 4575-500	GRANT/LOAN CEMETERY	900.00
		=== VENDOR TOTALS ===		900.00			
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01-3558		DEADWOOD HISTORY, INC.					
I-32430		SPRING/SUMMER DESTINATION-HP		423.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		SPRING/SUMMER DESTINATION-HP			215 4641-423	PUBLISHING	423.00
		=== VENDOR TOTALS ===		423.00			
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01-2204		FERBER ENGINEERING COMPANY, IN					
I-J18-118-2.18		2019 GIS TECHNICAL SERVICES		607.50			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021			1099: N		
		2019 GIS TECHNICAL SERVICES			215 4573-340	HIST. INTERP. GIS	607.50
		=== VENDOR TOTALS ===		607.50			

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01-1983	G&H DISTRIBUTING OF RAPID CITY					
I-SO 59783		DAYS MUS MEZZANINE DOWN PYMNT	19,300.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		DAYS MEZZANINE DOWN PAYMENT		215 4577-800	CAPITAL ASSETS-DAYS MUSE	19,300.00
		=== VENDOR TOTALS ===	19,300.00			
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01-4824	GRAND CANYON UNIVERSITY					
I-052521		ALEXANDRA PEARSON SCHOLARSHIP	1,000.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		ALEXANDRA PEARSON SCHOLARSHIP		215 4573-380	HIST. INTERP. SCHOLARSHI	1,000.00
		=== VENDOR TOTALS ===	1,000.00			
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01-1483	KNECHT HOME CENTER					
I-6216567		SUPPLIES FOR DAYS LEANTO	5,680.73			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		SUPPLIES FOR DAYS LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	5,680.73
I-6216572		SUPPLIES DAYS MUSEUM LEANTO	327.04			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		SUPPLIES DAYS MUSEUM LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	327.04
I-6216575		SUPPLIES DAYS MUSEUM LEANTO	364.62			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		SUPPLIES DAYS MUSEUM LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	364.62
I-6216580		SUPPLIES DAYS MUSEUM LEANTO	1,428.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		SUPPLIES DAYS MUSEUM LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	1,428.00
I-6216584		SUPPLIES DAYS MUSEUM LEANTO	317.20			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		SUPPLIES DAYS MUSEUM LEANTO		215 4577-800	CAPITAL ASSETS-DAYS MUSE	317.20
		=== VENDOR TOTALS ===	8,117.59			
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01-3130	MIDWEST ART CONSERVATION					
I-050721		2021 MEMBERSHIP RENEWAL	50.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		2021 MEMBERSHIP RENEWAL		215 4573-325	HIST. INTERP. DUES AND S	50.00
		=== VENDOR TOTALS ===	50.00			

PACKET: 05390 06/08/21 - HP OPERATING -  
 VENDOR SET: 01 CITY OF DEADWOOD  
 SEQUENCE : ALPHABETIC  
 DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
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01-1514		RAPID CITY JOURNAL SUBSC.				
I-051121		2021 HP SUBSCRIPTION RENEWAL	124.39			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		2021 HP SUBSCRIPTION RENEWAL		215 4573-325	HIST. INTERP. DUES AND S	124.39
		=== VENDOR TOTALS ===	124.39			
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01-4491		SD SCHOOL OF MINES & TECHNOLOG				
I-052521		JACK HALLOCK SCHOLARSHIP	1,000.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		JACK HALLOCK SCHOLARSHIP		215 4573-380	HIST. INTERP. SCHOLARSHI	1,000.00
		=== VENDOR TOTALS ===	1,000.00			
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01-1406		STRETCH'S GLASS & CUSTOM PARTS				
I-1028457		PLEX BACKLITE SIGN-DAYS MUSEU	299.98			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		PLEX BACKLITE SIGN-DAYS MUSEUM		215 4577-800	CAPITAL ASSETS-DAYS MUSE	299.98
		=== VENDOR TOTALS ===	299.98			
=====						
01-3785		TALLGRASS LANDSCAPE ARCHITECTU				
I-2021-047		MT MORIAH PRESERVATION PHASE	1,100.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		MT MORIAH PRESERVATION PHASE 1		607 4580-422	PROFESSIONAL SERVICES	1,100.00
		=== VENDOR TOTALS ===	1,100.00			
=====						
01-0568		TDG COMMUNICATIONS				
I-16580		ARTWORK MM WALKING TOUR CORRE	135.00			
6/08/2021	FNBAP	DUE: 6/08/2021 DISC: 6/08/2021		1099: N		
		ARTWORK MM WALKING TOUR CORREC		607 4580-426	SUPPLIES	135.00
		=== VENDOR TOTALS ===	135.00			
		=== PACKET TOTALS ===	78,302.48			

\*\* T O T A L S \*\*

INVOICE TOTALS	78,302.48
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	78,302.48
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\*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====		=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
2021		101-2020	ACCOUNTS PAYABLE	204.99-*				
		101-4192-426	SUPPLIES	26.82	68,000		55,914.74	
		101-4192-426-10	SUPPLIES - LIBRARY	149.99		0		289.83- Y
		101-4520-426	SUPPLIES	28.18	50,000		29,512.06	
		215-2020	ACCOUNTS PAYABLE	76,811.90-*				
		215-4572-235	VISITOR MGMT ADVOCATE	20,250.00	195,000		166,650.75	730,000 559,765.12
		215-4573-325	HIST. INTERP. DUES AND S	174.39	2,500		1,620.67	
		215-4573-335	HIST. INTERP. ARCHIVE DE	59.53	42,400		37,986.53	
		215-4573-340	HIST. INTERP. GIS	607.50	25,000		10,348.63	
		215-4573-345	HIST. INTERP. LIVING HIS	20,000.00	148,000		94,000.00	
		215-4573-380	HIST. INTERP. SCHOLARSHI	2,000.00	2,500		500.00	
		215-4575-500	GRANT/LOAN CEMETERY	900.00	3,500		2,600.00	
		215-4576-630	PROFES. SERV. NEIGHBORH.	28.32	8,000		7,810.86	
		215-4577-735	CAPITAL ASSETS RODEO GRO	285.00	65,000		54,028.25	
		215-4577-800	CAPITAL ASSETS-DAYS MUSE	27,717.57		0		27,717.57- Y
		215-4641-423	PUBLISHING	423.00	25,000		21,234.70	
		215-4641-426	SUPPLIES	37.92	15,000		12,821.82	
		215-4641-434	MACHINERY/EQUIPMENT	4,328.67	7,500		24.91- Y	
		607-2020	ACCOUNTS PAYABLE	1,268.98-*				
		607-4580-422	PROFESSIONAL SERVICES	1,100.00	20,000		10,096.96	
		607-4580-426	SUPPLIES	168.98	1,500		1,271.14	
		610-2020	ACCOUNTS PAYABLE	16.61-*				
		610-4360-426	SUPPLIES	16.61	20,000		14,831.35	
		999-1301	DUE FROM FUND 101	204.99 *				
		999-1306	DUE FROM FUND 215	76,811.90 *				
		999-1344	DUE FROM FUND 607	1,268.98 *				
		999-1345	DUE FROM FUND 610	16.61 *				
			** 2021 YEAR TOTALS	78,302.48				

5/26/2021 2:51 PM  
PACKET: 05390 06/08/21 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

A/P Regular Open Item Register

Section 4 Item a.

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
101	6/2021	204.99
215	6/2021	76,811.90
607	6/2021	1,268.98
610	6/2021	16.61

NO ERRORS                      NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0    TOTAL WARNINGS: 0

5/26/2021 9:42am

HP REVOLVING LOAN FUND  
A/P Invoices Report  
5/1/2021 - 5/31/2021  
Batch = 2

Page 1 of 2

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
05/2021								
Antrim, James - VARIOUS - 5/26/2021 - 18,661.51 - Batch: 2 - Header Memo: Work Done-168 Chalres-Antrim								
Work Done-168 Chalres-Antrim	100	1201				NOTES RECEIVABLE	18,661.51	
Work Done-168 Chalres-Antrim	100	2000				ACCOUNTS PAYABLE		18,661.51
Total:							18,661.51	18,661.51
Dakota Title - OE-0491-21 - 5/26/2021 - 120.00 - Batch: 2 - Header Memo: OE Report-40 Jefferson-Gasper & Rich								
OE Report-40 Jefferson-Gasper & Rich	100	5200				CLOSING COSTS DISBURSED	120.00	
OE Report-40 Jefferson-Gasper & Rich	100	2000				ACCOUNTS PAYABLE		120.00
Total:							120.00	120.00
Hayes, Steven - 5172021 - 5/26/2021 - 17,272.95 - Batch: 2 - Header Memo: Work Done-17 Fillmore-Bloom								
Work Done-17 Fillmore-Bloom	100	1201				NOTES RECEIVABLE	17,272.95	
Work Done-17 Fillmore-Bloom	100	2000				ACCOUNTS PAYABLE		17,272.95
Total:							17,272.95	17,272.95
Knecht Home Center Of Spearfish - VARIOUS - 5/26/2021 - 138.16 - Batch: 2 - Header Memo: Materials-17 Fillmore-Bloom								
Materials-17 Fillmore-Bloom	100	1201				NOTES RECEIVABLE	138.16	
Materials-17 Fillmore-Bloom	100	2000				ACCOUNTS PAYABLE		138.16
Total:							138.16	138.16
LAWRENCE COUNTY REGISTER OF DEEDS - REC SAT HALL - 5/26/2021 - 60.00 - Batch: 2 - Header Memo: Record Mortgage-66 Taylor-Hall								
Record Mortgage-66 Taylor-Hall	100	5200				CLOSING COSTS DISBURSED	60.00	
Record Mortgage-66 Taylor-Hall	100	2000				ACCOUNTS PAYABLE		60.00
Total:							60.00	60.00
Rochelle Construction - 12152020 - 5/26/2021 - 24,519.44 - Batch: 2 - Header Memo: Work Done-33 Taylor-Underhill								
Work Done-33 Taylor-Underhill	100	1201				NOTES RECEIVABLE	24,519.44	



5/26/2021 9:42am

HP REVOLVING LOAN FUND  
 A/P Invoices Report  
 5/1/2021 - 5/31/2021  
 Batch = 2

Page 2 of 2

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
05/2021 (cont'd from page 1)								
Rochele Construction - 12152020 - 5/26/2021 - 24,519.44 - Batch: 2 - Header Memo: Work Done-33 Taylor-Underhill (cont'd from page 1)								
Work Done-33 Taylor-Underhill	100	2000				ACCOUNTS PAYABLE		24,519.44
Total:							24,519.44	24,519.44
Total:							60,772.06	60,772.06
Report Total:							60,772.06	60,772.06

Deadwood HP Total Loans 4/30/2021	
Accounting Balance (Fund E2)	This Month
Loans per Balance Sheet - Acct 100-1201	\$1,900,823.65
<b>TOTAL</b>	<b>\$ 1,900,823.65</b>
Loan Base:	This Month
Investor Trial Balance Report	<b>\$ 1,842,739.25</b>
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
4/28/2021 Meeting Packet	\$ 45,560.05 Deadwood Main LLC
	\$2,024.35 Bloom
<b>TOTAL</b>	<b>\$ 1,900,823.65</b>
	<b>Difference \$ -</b>

Deadwood HP Total Loans 3/31/2021	
Accounting Balance (Fund E2)	
Loans per Balance Sheet	\$1,900,823.65
<b>TOTAL</b>	<b>\$ 1,900,823.65</b>
Loan Base:	
Pool Trial Balance Report	<b>\$ 1,842,739.25</b>
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
4/28/2021 Meeting Packet	\$ 45,560.05 Deadwood Main LLC
	\$2,024.35 Bloom
<b>TOTAL</b>	<b>\$ 1,900,823.65</b>
	<b>Difference \$ -</b>

5/13/2021 11:43am

HP REVOLVING LOAN FUND  
Balance Sheet  
As of Date: 4/30/2021

Page 1 of 1

	Current Year	Prior Year
<b>Assets</b>		
<b>Current Assets</b>		
CASH-SAVINGS	(602,148.99)	(446,009.08)
CASH-INVESTED	756,731.51	756,731.51
ACCRUED INTEREST RECEIVABLE	1,536.42	1,536.42
LATE FEES RECEIVABLE	3,986.87	3,986.87
Accounts Receivable-Haverberg	1,448,825.36	1,518,572.46
<b>Total Current Assets</b>	<b>1,608,931.17</b>	<b>1,834,818.18</b>
<b>Other Assets</b>		
NOTES RECEIVABLE	1,900,823.65	1,818,219.17
<b>Total Other Assets</b>	<b>1,900,823.65</b>	<b>1,818,219.17</b>
<b>Total Assets</b>	<b>3,509,754.82</b>	<b>3,653,037.35</b>
<b>Liabilities &amp; Net Assets</b>		
<b>Liabilities</b>		
<b>Current Liabilities</b>		
Allowance for Uncollected	59,770.14	103,120.44
ACCOUNTS PAYABLE	(1,449.34)	(1,449.34)
YE Accounts Payable	1,449.34	1,449.34
<b>Total Current Liabilities</b>	<b>59,770.14</b>	<b>103,120.44</b>
<b>Total Liabilities</b>	<b>59,770.14</b>	<b>103,120.44</b>
<b>Net Assets</b>		
NET ASSETS	4,608,323.95	4,608,323.95
Fund Balance	56,035.78	56,035.78
NET EARNINGS(LOSS)	(3,092,105.14)	(2,992,172.91)
PRIOR YEAR EARNINGS (LOSS)	116,204.47	116,204.47
HP BUDGET	(13,474.38)	(13,474.38)
PRIOR YEAR HP BUDGET	1,775,000.00	1,775,000.00
<b>Total Net Assets</b>	<b>3,449,984.68</b>	<b>3,549,916.91</b>
<b>Total Liabilities &amp; Net Assets</b>	<b>3,509,754.82</b>	<b>3,653,037.35</b>

5/13/2021 11:44am

HP REVOLVING LOAN FUND  
Statement of Revenue and Expense  
Current Period: 4/1/2021 - 4/30/2021  
Year-to-Date: 1/1/2021 - 4/30/2021

Page 1 of 1

	Current Year Current Period	Current Year Year-to-Date	Prior Year Current Period	Prior Year Year-to-Date
<b>Revenue</b>				
PERM LOAN INTEREST	694.66	4,726.31	573.44	4,561.60
SAVINGS INTEREST	413.72	1,653.98	729.86	3,919.39
SERVICE FEES	250.00	960.00	200.00	730.00
LATE FEES	3.58	355.10	362.96	528.98
APPLICATION FEES	2,599.00	5,037.48	1,181.03	2,793.94
CLOSING COSTS	210.00	1,224.92	900.36	2,017.57
Interest Income Settlement	4,846.39	19,486.79	0.00	10,172.35
<b>Total Revenue</b>	<b>9,017.35</b>	<b>33,444.58</b>	<b>3,947.65</b>	<b>24,723.83</b>
<b>Expenses</b>				
PROF & ADMIN FEES	3,000.00	12,615.00	4,155.00	15,387.50
CLOSING COSTS DISBURSE	304.68	1,125.16	630.00	2,130.00
Foundation Grant Expense	0.00	(753.49)	0.00	18,063.85
Windows Grant Expense	932.94	10,066.79	2,200.00	47,212.42
Elderly Grant Expense	0.00	(1,560.30)	12,237.76	33,243.87
Siding Grant Expense	0.00	0.00	0.00	16,406.43
<b>Total Expenses</b>	<b>4,237.62</b>	<b>21,493.16</b>	<b>19,222.76</b>	<b>132,444.07</b>
<b>Excess or (Deficiency) of Revenue Over Expenses</b>	<b>4,779.73</b>	<b>11,951.42</b>	<b>(15,275.11)</b>	<b>(107,720.24)</b>

Time: 10:10:06  
Date: 04/30/2021

TRIAL BALANCE: POOLS

Page:  
Run By: SUSAN

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HP POOL #: C0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
LIFE SAFTY	CHPLSFR05	Russo-fairmont	2	0	05/01/21	06/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	250.00	36205.00	0.00	0.00
LIFE SAFTY	CHPLSOB05	Russo-oyster Ba	2	0	05/01/21	06/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	83.33	11821.23	0.00	0.00
HPC0DWDI	HPC0DWDH	Deadwood Histor	2	0	04/01/21	05/01/21	04/02/21	0.0000	No	0.0000	Curr	0.0000	416.67	44030.00	0.00	0.00
HPC0UFNU	HPC0UFNUG	Nugget Saloon,	2	0	05/01/21	06/01/21	04/21/21	0.0000	No	0.0000	Curr	0.0000	694.44	243809.48	0.00	0.00
HPLSBERG	HPLSBERG5	Berg Jewelry An	2	0	04/01/21	05/01/21	04/01/21	0.0000	No	0.0000	Curr	0.0000	833.34	18318.08	0.00	0.00
HPLSLOTU	HPLSLOTUS	Lotus Llc,Perce	2	0	05/01/21	06/01/21	04/12/21	0.0000	No	0.0000	Curr	0.0000	104.18	19491.00	0.00	0.00
LIFE SAFTY	HPLSNGT07	Nugget Saloon I.	2	0	05/01/21	06/01/21	04/21/21	0.0000	No	0.0000	Curr	0.0000	165.72	33375.39	0.00	0.00
HPRLFHAV	HPRLFHAVE	Haverberg,Blake	2	0	03/01/21	04/01/21	03/09/21	0.0000	No	0.0000	Curr	0.0000	733.33	9366.69	0.00	0.00
HPFORGIV	HPSIDLTUS	Lotus Llc,Perci	11	1	03/01/17	02/01/27	02/03/17	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HPFORGIV	HPWINLTUS	Lotus Llc,Perce	2	0	03/01/17	02/01/27	02/03/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													3281.02	436416.87	0.00	0.00
>>> INVESTOR #: HP POOL #: R0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPLSALLEI	HPLSALLEN	Allen,Jesse	2	0	04/01/21	05/01/21	04/02/21	0.0000	No	0.0000	Curr	0.0000	100.76	19041.94	0.00	0.00
HPLSFOSS	HPLSFOSSO	Fosso,Bonnie R	2	0	04/01/21	05/01/21	04/09/21	0.0000	No	0.0000	Curr	0.0000	69.45	22638.70	0.00	0.00
HPLSKIR	HPLSKIR	Kirkpatrick,Eli	2	0	05/01/21	06/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	104.17	21050.00	0.00	0.00
HPLSRLPO	HPLSRLPON	Pontius,James	2	0	04/01/21	05/01/21	04/07/21	0.0000	No	0.0000	Curr	0.0000	113.04	5200.11	0.00	0.00
LIFE SAFTY	HPLSSCHD5	Schmidt,Mike	2	0	04/01/21	05/01/21	04/07/21	0.0000	No	0.0000	Curr	0.0000	423.74	35170.37	0.00	0.00
HPLSSULE:	HPLSSULE5	Sulentic,Margar	2	0	05/01/21	06/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	166.67	5499.91	0.00	0.00
HPLSTHOW	HPLSTHOM5	Thompson, Lee	2	0	04/01/21	05/01/21	04/14/21	0.0000	No	0.0000	Curr	0.0000	103.54	21345.56	0.00	0.00
HP RLF	HPRLFBOB5	Bobolz,Lance	2	0	04/01/21	05/01/21	04/08/21	0.0000	No	0.0000	Curr	0.0000	416.67	8749.87	0.00	0.00
HPRLFKN:	HPRLFKNI	Knipper,Anita	2	0	05/01/21	06/01/21	04/23/21	0.0000	No	0.0000	Curr	0.0000	208.33	22291.71	0.00	0.00
HPRLFBSK:	HPRLFBSK5	Knox,Shanna	2	0	04/01/21	05/01/21	03/29/21	0.0000	No	0.0000	Curr	0.0000	104.17	22291.58	0.00	0.00
HPRLFSHA:	HPRLFSHA5	Shama,Larry	2	0	04/01/21	05/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	250.00	7750.00	0.00	0.00
HPRLLSWE	HPRLLSWES	Westendorf,Rand	2	0	04/01/21	05/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	166.67	17465.00	0.00	0.00
HPRLSHER	HPRLSHERT	Herd,David	2	0	05/01/21	06/01/21	04/29/21	0.0000	No	0.0000	Curr	0.0000	208.33	23958.35	0.00	0.00
Life Sfty	HPRLSJOHN	Johnson,Joette	2	0	05/01/21	06/01/21	04/29/21	0.0000	No	0.0000	Curr	0.0000	138.89	49583.33	0.00	0.00
HPRLSRITZ	HPRLSRITZ	Ritz,Jody	2	0	05/01/21	06/01/21	04/29/21	0.0000	No	0.0000	Curr	0.0000	51.77	11194.55	0.00	0.00
Life SFTY	HPRLSUNDE	Underhill,Ronal	2	0	03/09/21	05/01/21	03/09/21	0.0000	No	0.0000	Curr	0.0000	104.17	25000.00	0.00	0.00
HPRLRBUS	HPRLRBUS	Bussiere,Erica	2	0	04/01/21	05/01/21	03/29/21	0.0000	No	0.0000	Curr	0.0000	60.78	7111.18	0.00	0.00
HPSID770	HPSID700	Dragon Belly, L	2	0	03/24/20	03/01/30	03/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3331.80	0.00	0.00

Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSAN1

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
LIFE SAFE	HPSLRUNG	Runge,Michael	2	0	05/01/21	06/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	208.33	21800.00	0.00	0.00
HPVANCMJ	HPVANCMJ0	Johnson,Michael	2	0	12/01/18	12/01/28	12/12/18	0.0000	No	0.0000	Curr	0.0000	0.00	10600.00	0.00	0.00
Group Totals:													2999.48	360473.96	0.00	0.00
>>> INVESTOR #: HP POOL #: R0C			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual													
CHPLSTRE	CHPLSTREN	Trentz,Sylvia	11	1	09/25/19	06/01/21	05/19/20	0.0000	No	0.0000	Curr	0.0000	0.01	18450.29	0.00	0.00
Pres RL	CHPRRSCH	Schramm,Steven	11	1	10/30/20	11/01/21	04/19/21	0.0000	No	0.0000	Curr	0.0000	0.01	8509.12	0.00	0.00
RIP SIDING	CHPSIDANT	Antrim,James	11	1	04/21/20	05/01/21	04/21/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Siding	CHPSIDEUN	Underhill,Ronal	11	1	08/19/20	09/01/21	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
RIP WIN	CHPWINANT	Antrim,James	11	1	10/06/20	05/01/21	10/06/20	0.0000	No	0.0000	Curr	0.0000	0.01	11338.49	0.00	0.00
WIN DOOR	CHPWINUN	Underhill,Ronal	11	1	08/19/20	09/01/21	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
HP RL LS	HPRLFLSFA	Fasnacht,Glenn	11	1	10/31/19	11/01/21	03/16/21	0.0000	No	0.0000	Curr	0.0000	0.01	1823.38	0.00	0.00
Group Totals:													0.07	40121.28	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.5			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual													
HPGORDEI	HPGORDER1	Gorder,Robin	2	0	05/01/21	06/01/21	04/29/21	3.5000	No	3.5000	Curr	0.0000	26.92	2433.27	0.00	0.00
Prsv 1	HPRPRSUN1	Underhill,Ronal	2	0	03/09/21	05/01/21	03/09/21	3.5000	No	3.5000	Curr	0.0000	144.99	25000.00	0.00	0.00
HPRREFAR	HPRREFARS	Arsaga,Bryan	2	0	05/01/21	06/01/21	04/22/21	3.5000	No	3.5000	Curr	0.0000	138.49	4738.21	0.00	0.00
Group Totals:													310.40	32171.48	0.00	0.00
>>> INVESTOR #: HP POOL #: R4			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual													
HPBAUDH4	HPBAUDH47	Baudhuin,Mary	2	1	04/12/21	05/01/21	04/12/21	4.0000	No	4.0000	Curr	0.0000	307.17	21338.27	0.00	0.00
HPLSFLOY1	HPLSFLOYD	Floyd,Dustin	2	1	04/15/21	05/01/21	04/15/21	4.0000	No	4.0000	Fixed \$	25.0000	93.46	6874.73	0.00	0.00
REFI LS	HPLSLEWIS	Lewis,Tracy	2	0	04/01/21	05/01/21	04/06/21	4.0000	No	4.0000	Curr	0.0000	113.24	22241.56	0.00	0.00
HPRLFFS4	HPRLFFS47	Fosso,Bonnie R	2	0	04/01/21	05/01/21	04/09/21	4.0000	No	4.0000	Curr	0.0000	119.29	23692.67	0.00	0.00
HPRLFLWS	HPRLFLWS4	Lewis,Tracy	2	0	04/01/21	05/01/21	04/06/21	4.0000	No	4.0000	Curr	0.0000	26.88	4994.92	0.00	0.00
PRESV	HPRPRLFJO	Johnson,Joette	2	0	05/01/21	06/01/21	04/29/21	4.0000	No	4.0000	Curr	0.0000	119.35	24891.27	0.00	0.00
Group Totals:													779.39	104033.42	0.00	0.00
>>> INVESTOR #: HP POOL #: R4.5			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual													
HPBAUND6	HPBAUND60	Baudhuin,Mary	2	0	04/01/21	05/01/21	04/12/21	4.5000	No	4.5000	Curr	0.0000	68.99	2037.83	0.00	0.00
HPLFMORE	HPLFMORSE	Morse,Marsha	2	0	04/01/21	05/01/21	04/05/21	4.5000	No	4.5000	Curr	0.0000	71.54	3303.03	0.00	0.00
HPLSBLOO	HPLSBLOO2	Bloom,Kevin	2	0	05/01/21	06/01/21	04/30/21	4.5000	No	4.5000	Curr	0.0000	175.09	9661.93	0.00	0.00

Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSANF

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
Group Totals:													315.62	15002.79	0.00	0.00
>>> INVESTOR #:	HP	POOL #:	R5	DISTRIBUTION RATE:		0.0000	COMPUTATION:		Actual/Actual							
HPRFMOR	HPRFMORS5	Morse,Marsha E.	2	1	04/05/21	05/01/21	04/05/21	5.0000	No	5.0000	Curr	0.0000	33.04	1263.79	0.00	0.00
Group Totals:													33.04	1263.79	0.00	0.00
>>> INVESTOR #:	HP	POOL #:	RIP	DISTRIBUTION RATE:		0.0000	COMPUTATION:		Actual/Actual							
LIFE SFTY	CHPCLSMAS	Masonic Center	11	1	03/03/21	09/01/21	03/16/21	0.0000	No	0.0000	Curr	0.0000	0.01	41935.35	0.00	0.00
Upper flr	CHPCUPFLA	Deadwood Main,	11	1	04/27/21	10/01/21	04/27/21	0.0000	No	0.0000	Curr	0.0000	0.01	2809.00	0.00	0.00
LIFE SFTY	CHPROSHOM	Sjomeling,Danie	11	1	12/07/20	05/01/21	02/18/21	0.0000	No	0.0000	Curr	0.0000	0.01	7946.75	0.00	0.00
LIFE SFTY	CHPRLSBLO	Bloom,Kevin	11	1	06/01/21	07/01/21	04/19/21	0.0000	No	0.0000	Curr	0.0000	0.01	5055.05	0.00	0.00
PRESV LO	CHPRLSJO	Sjomeling,Danie	11	1	02/18/21	08/01/21	04/19/21	0.0000	No	0.0000	Curr	0.0000	0.01	15133.22	0.00	0.00
LIFE SFTY	CHPRLSWEB	Weber,Todd	11	1	02/24/21	09/01/21	02/24/21	0.0000	No	0.0000	Curr	0.0000	0.01	480.56	0.00	0.00
PRES LN	CHPRPSBLO	Bloom,Kevin	11	1	01/22/21	08/01/21	03/16/21	0.0000	No	0.0000	Curr	0.0000	0.01	503.05	0.00	0.00
Vac Home	CHPRVACWE	Weber,Todd	11	1	01/20/21	05/01/21	01/20/21	0.0000	No	0.0000	Curr	0.0000	0.01	9749.40	0.00	0.00
PRESERV	CHPRVUND2	Underhill,Ronal	11	1	03/08/21	08/01/21	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.01	480.56	0.00	0.00
Group Totals:													0.09	84092.94	0.00	0.00
>>> INVESTOR #:	HP	POOL #:	RRW0	DISTRIBUTION RATE:		0.0000	COMPUTATION:		Actual/Acti							
HPRRWOMI	HPRRWOMIK	Mikla,Christine	2	0	03/08/21	05/01/21	03/08/21	0.0000	No	0.0000	Curr	0.0000	164.59	39500.94	0.00	0.00
RW LOAN	HPRW3GORZ	Gorzalka,Amy	2	0	04/01/21	05/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	555.03	9616.85	0.00	0.00
HPRWCOO	HPRWCOOM0	Coomes,Tim	2	0	04/01/21	05/01/21	03/19/21	0.0000	No	0.0000	Curr	0.0000	146.44	13911.42	0.00	0.00
RW LOAN	HPRWMART5	Martinisko,John	2	0	05/01/21	06/01/21	04/30/21	0.0000	No	0.0000	Curr	0.0000	187.60	3564.19	0.00	0.00
HPRWOLSI	HPRWOLSN5	Olson,Steven	2	0	04/01/21	05/01/21	04/15/21	0.0000	No	0.0000	Curr	0.0000	41.37	8497.90	0.00	0.00
RW Payabl	HPRWOREAU	Reausaw,Bernie	2	0	06/01/21	07/01/21	04/02/21	0.0000	No	0.0000	Curr	0.0000	740.68	38515.53	0.00	0.00
RW PAYABI	HPRWPPWEB	Weber,Todd	2	0	04/01/21	05/01/21	04/02/21	0.0000	No	0.0000	Curr	0.0000	161.58	18097.27	0.00	0.00
Group Totals:													1997.29	131704.10	0.00	0.00
>>> INVESTOR #:	HP	POOL #:	RRW4.5	DISTRIBUTION RATE:		0.0000	COMPUTATION:		Actual/Acti							
RW PAYABI	HPRRWPSHE	Shepherd,Lanny	2	0	04/01/21	05/01/21	04/02/21	4.5000	No	4.5000	Curr	0.0000	179.05	11583.84	0.00	0.00
Group Totals:													179.05	11583.84	0.00	0.00
>>> INVESTOR #:	HP	POOL #:	RRW4C	DISTRIBUTION RATE:		0.0000	COMPUTATION:		Actual/Ac							
HPRWSWA	HPRWSWAN2	Swaney,David	2	0	04/01/21	05/01/21	04/12/21	4.0000	No	4.0000	Curr	0.0000	60.22	11911.41	0.00	0.00

Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSAN1

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
Group Totals:													60.22	11911.41	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW5			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act													
CLIENT RW	HPRWBOB05	Bobalz,Lance	2	0	04/01/21	05/01/21	04/12/21	5.0000	No	5.0000	Curr	0.0000	116.04	15774.93	0.00	0.00
HPRWGATI	HPRWGATHM	Gathmann,Naomi	2	1	04/09/21	05/01/21	04/09/21	5.0000	No	5.0000	Curr	0.0000	172.45	14891.31	0.00	0.00
HPRWMOR	HPRWMOR57	Morgan,Richard	2	1	04/02/21	05/01/21	04/02/21	0.0000	No	0.0000	Curr	0.0000	120.09	19733.15	0.00	0.00
Group Totals:													408.58	50399.39	0.00	0.00
>>> INVESTOR #: HP POOL #: RSFND			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act													
HPFND771	HPFND770	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9461.50	0.00	0.00
HPFND772	HPFND772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9817.75	0.00	0.00
HPFNDHILL	HPFNDHILL	Hills Partnersh	2	0	12/30/19	11/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	8250.95	0.00	0.00
FOUNDATI	HPRFNDBUS	Bussiere,Erica	2	0	12/24/20	01/01/31	12/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Foundation	HPRFNDMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATI	HPRFNDUND	Underhill,Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Windows	HPRWINMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/28/20	0.0000	No	0.0000	Curr	0.0000	0.00	19850.00	0.00	0.00
Group Totals:													0.00	77380.20	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPE			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act													
CHPSNEKA	CHPSNEKAR	Karas,Lester M.	11	1	10/31/12	10/31/22	09/03/14	0.0000	No	0.0000	Fixed \$	5.0000	0.00	8468.05	0.00	0.00
CHPSNEMI	CHPSNEMIT	Mitchell,George	11	1	04/22/13	04/22/23	09/19/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSNESF	CHPSNESHA	Shama,Larry	11	1	05/13/11	05/13/21	11/30/11	0.0000	No	0.0000	Fixed \$	0.0000	0.00	10000.00	0.00	0.00
CHPSNEWI	CHPSNEWOO	Wood,George F.	11	1	02/06/14	01/30/24	04/01/14	0.0000	No	0.0000	Fixed \$	5.0000	0.01	7155.88	0.00	0.00
CHPSNSTE	CHPSNSTEO	Steinlicht,Will	11	1	06/17/13	06/17/23	06/12/13	0.0000	No	0.0000	Curr	0.0000	0.00	5561.23	0.00	0.00
CHPSPESJ	CHPSPESJO	Sjomeling,Rober	11	1	06/19/14	03/21/24	07/24/14	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
RLF LOAN	HPRLFBIAS	Bialas,Kurt	2	0	04/01/21	05/01/21	04/05/21	0.0000	No	0.0000	Curr	0.0000	416.67	9583.21	0.00	0.00
HP RLF	HPRLFSOR5	Sorenson,Donald	2	0	05/01/21	06/01/21	04/20/21	0.0000	No	0.0000	Curr	0.0000	250.00	5000.00	0.00	0.00
HPRLFWE	HPRLFWES0	West,Pauline	2	0	05/01/21	06/01/21	04/06/21	0.0000	No	0.0000	Curr	0.0000	198.11	12408.31	0.00	0.00
HPSNEHAF	HPSNEHAR	Harris,Morris	11	1	03/19/12	03/19/22	03/29/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	5385.20	0.00	0.00
HP SNE	HPSNEWHT0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													864.80	93561.88	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPV			DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act													
HPCFNDKN	HPCFNDKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	9970.52	0.00	0.00



Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSANI

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
HPCWINKN	HPCWINKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
HPSIDKNI	HPSIDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT LN	HPVACBIAL	Bialas, Kurt	2	0	03/01/18	03/01/28	03/05/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVACLTS	HPVACLTS	Lotus Llc, Perce	2	1	06/22/16	06/22/26	08/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVCNTBL	HPVCNTBLM	Bloom, Christoph	2	1	08/18/16	08/18/26	10/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP VACAN1	HPVCNWHOT	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

Group Totals: 0.00 79970.52 0.00 0.00

>>> INVESTOR #: HP POOL #: RSPVC DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act

CHPVBLQC	CHPVBLOOM	Bloom, Kevin D.	11	1	09/19/14	07/01/23	10/31/13	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
VAC HM	HPRVACUND	Underhill, Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

Group Totals: 0.01 20000.00 0.00 0.00

>>> INVESTOR #: HP POOL #: RSSID DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actu

CHPSIDCO	CHPSIDCOO	Coomes, Tim	11	1	03/13/14	02/24/24	03/13/14	0.0000	No	-5.0000	Curr	5.0000	0.01	10000.00	0.00	0.00
CHPSIDEN	CHPSIDENG	Ensminger, Rick	11	1	05/24/13	05/24/23	06/20/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDLIT	CHPSIDLIT	Folger, David	11	1	02/21/14	02/21/24	12/19/14	0.0000	No	0.0000	Fixed \$	5.0000	0.01	9693.00	0.00	0.00
CHPSIDLW	CHPSIDLW0	Lewis, Tracy	2	0	03/20/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDMA	CHPSIDMAR	Martinisko, John	11	1	08/09/11	08/09/21	08/24/11	0.0000	No	0.0000	Fixed \$	0.0000	0.01	10000.00	0.00	0.00
CHPSIDMO	CHPSIDMOR	Morris, Wayne	11	1	06/06/11	06/06/21	09/14/11	0.0000	No	0.0000	Fixed \$	0.0000	0.01	7054.00	0.00	0.00
CHPSIDSAI	CHPSIDSAB	Sabo, Dennis L.	11	1	04/21/14	04/21/24	12/23/15	0.0000	No	-5.0000	Curr	5.0000	0.01	9999.76	0.00	0.00
CHPSIDWF	CHPSIDWRT	Wright, Alan	11	1	04/08/15	09/17/24	08/06/15	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
SIDING	HPRSID106	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDBLO	Bloom, Kevin	2	0	10/23/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	5834.70	0.00	0.00
SIDING FG	HPRSIDHA	Half, Michael	2	0	11/05/20	11/01/30	11/05/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPSIDSMTR	HPSIDSMTO	Smith, Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SIDING	HPSIDWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

Group Totals: 0.07 122581.46 0.00 0.00

>>> INVESTOR #: HP POOL #: RSSID10% POOL INFORMATION NOT SET UP

CHPSIDJLE	CHPSIDJLS	Julius, Thomas	11	1	08/16/16	09/09/25	01/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2937.88	0.00	0.00
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Group Totals: 0.01 2937.88 0.00 0.00

>>> INVESTOR #: HP POOL #: RSWIN DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Act

Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSAN1

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
CHPRWINV	CHPRWINW2	Weber,Robert W	11	1	08/01/13	08/01/23	08/21/13	0.0000	No	0.0000	Curr	0.0000	0.01	3000.00	0.00	0.00
CHPRWYN	CHPRWINWE	Weber,Robert W	11	1	08/21/13	12/28/22	08/21/13	0.0000	No	0.0000	Curr	0.0000	0.01	3000.00	0.00	0.00
CHPWINFL	CHPWINFL1	Flores,Eric	11	1	01/19/12	01/19/22	01/31/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	3000.00	0.00	0.00
CHPWINFL	CHPWINFL2	Flores,Eric	11	1	02/09/12	02/09/22	02/20/12	0.0000	No	0.0000	Fixed \$	0.0000	0.00	3000.00	0.00	0.00
CHPWINJL	CHPWINJL2	Julius,Thomas	11	1	08/02/16	04/27/26	09/28/17	0.0000	No	0.0000	Curr	0.0000	0.01	15066.88	0.00	0.00
CHPWINLW	CHPWINLW0	Lewis,Tracy	2	0	03/17/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	8268.42	0.00	0.00
WINDOW	HPRWIN106	Oberlander,Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3200.00	0.00	0.00
WIN FORG	HPRWINHAL	Hall,Michael	2	0	11/05/20	11/01/30	11/05/20	0.0000	No	0.0000	Curr	0.0000	0.00	8500.00	0.00	0.00
HPWIN772	HPWIN772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	6660.40	0.00	0.00
HPWINBOE	HPWINBOB0	Bobolz,Lance	2	0	05/14/20	05/01/30	05/14/20	0.0000	No	0.0000	Curr	0.0000	0.00	18000.00	0.00	0.00
HPWINHILL	HPWINHILL	Hills Partnersh	2	0	12/30/19	12/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	751.56	0.00	0.00
HPWINKIN	HPWINKIN	Kinkler,Brian	2	0	01/17/20	02/01/30	01/17/20	0.0000	No	0.0000	Curr	0.0000	0.00	1600.00	0.00	0.00
HPWINPET	HPWINPET	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	13718.64	0.00	0.00
HP WIN	HPWINREA0	Reausaw,Bernie	2	0	11/01/18	11/01/28	12/18/18	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WIN FORG	HPWINSHAM	Shama,Larry	2	0	10/01/17	09/01/27	11/10/17	0.0000	No	0.0000	Curr	0.0000	0.00	16793.63	0.00	0.00
HPWINSMT	HPWINSMT0	Smith,Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	3200.00	0.00	0.00
HP WINDO	HPWINWHT0	White,V. Carly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

Group Totals: 0.04 137759.53 0.00 0.00

>>> INVESTOR #: HP POOL #: SID10% POOL INFORMATION NOT SET UP

HPSIDRSW	CHPSIDRSW	Reausaw,Bernie	11	1	11/18/15	11/10/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2907.59	0.00	0.00
CHPSIDSHI	CHPSIDSHP	Shepherd,Lanny	11	1	11/18/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6997.50	0.00	0.00

Group Totals: 0.02 9905.09 0.00 0.00

>>> INVESTOR #: HP POOL #: SNE10% POOL INFORMATION NOT SET UP

CHPSNEBF	CHPSNEBRG	Berg,Tim	11	1	11/18/15	11/12/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	5691.42	0.00	0.00
CHPSNEKF	CHPSNEKRT	Kracht,Lawrence	11	1	11/18/15	11/03/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6300.00	0.00	0.00

Group Totals: 0.02 11991.42 0.00 0.00

>>> INVESTOR #: HP POOL #: WIN10% POOL INFORMATION NOT SET UP

CHPWIMF	CHPWIMMRS	Morris,Wayne	11	1	08/26/15	08/26/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	4536.00	0.00	0.00
CHPWINSF	CHPWINSHP	Shepherd,Lanny	11	1	12/23/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2940.00	0.00	0.00

Group Totals: 0.02 7476.00 0.00 0.00

Time: 10:10:06  
Date: 04/30/2021

**TRIAL BALANCE: POOLS**

Page:  
Run By: SUSAN1

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
Investor Totals:													11229.24	1842739.25	0.00	0.00
>>> INVESTOR #: HPRW POOL #: N/A POOL INFORMATION NOT SET UP																
CONRWGO	CONRWGORZ	Gorzalka,Amy	11	1	11/01/17	11/01/22	08/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	0.00	0.00	0.00
HP CITY RW	CONRWMRT5	Martinisko,John	11	1	11/16/17	11/01/22	07/19/17	0.0000	No	0.0000	Curr	0.0000	0.01	61543.00	0.00	0.00
RW GRANT	CONRWOLSN	Olson,Steven	11	1	12/21/17	06/01/23	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	91133.36	0.00	0.00
CRW GRAN	CONRWWHT2	White,V. Caroly	11	1	10/18/17	11/01/27	11/08/17	0.0000	No	0.0000	Curr	0.0000	0.01	8699.04	0.00	0.00
RW Forgiv	HPRWFWEB	Weber,Todd	2	0	08/05/20	08/01/30	08/06/20	0.0001	No	0.0001	Curr	0.0000	0.01	82607.50	0.00	0.00
Group Totals:													0.04	243982.90	0.00	0.00
>>> INVESTOR #: HPRW POOL #: PERM DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/A																
	CONHPRWKR	Kreb,Luella	2	0	07/15/16	07/15/21	05/11/20	0.0000	No	0.0000	Curr	0.0000	0.00	15291.65	0.00	0.00
CITY RW	CONRWBOB0	Bobolz,Lance	11	1	12/01/17	12/01/27	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	18042.61	0.00	0.00
CONRWCO	CONRWCOOL	Coomes,Tim	11	1	02/11/19	03/01/29	02/11/19	0.0000	No	0.0000	Curr	0.0000	0.01	67491.73	0.00	0.00
CONRWFEI	CONRWFEN0	Fenton,Kris	11	1	06/13/18	06/01/28	07/01/18	0.0001	No	0.0001	Curr	0.0000	0.01	17584.40	0.00	0.00
CONRWMIL	CONRWMIKL	Mikla,Christine	2	0	03/08/21	05/01/21	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.00	91445.00	0.00	0.00
RW Forgiv	CONRWREAU	Reausaw,Bernie	2	0	09/24/20	10/01/30	09/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	105468.23	0.00	0.00
CITY RW	HPCONBOBO	Bobolz,Lance	11	1	01/01/18	01/01/28	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	199815.00	0.00	0.00
RW CITY	HPRWCSHEP	Shepherd,Lanny	2	0	11/13/20	10/01/30	11/13/20	0.0000	No	0.0000	Curr	0.0000	0.00	18616.85	0.00	0.00
Group Totals:													0.04	533755.47	0.00	0.00
>>> INVESTOR #: HPRW POOL #: RRW0 POOL INFORMATION NOT SET UP																
CONRWVA	CONRWVWHI	White,V. Caroly	11	1	09/20/16	09/20/26	09/26/16	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.01	0.00	0.00	0.00
Investor Totals:													0.09	777738.37	0.00	0.00
Report Totals:													11229.33	2620477.62	0.00	0.00

DEADWOOD HISTORIC PRESERVATION

## TRIAL BALANCE POOL CODES

COMMERCIAL		
POOL CODE	INTEREST RATE	PROGRAM
C0	0%	0% LOAN
C1	0%	
C2	2%	2% LOAN
C3	3%	3% LOAN
C4	4%	4% LOAN
C5C	5%	4% -IN CONSTRUCTION
C6	6%	6% LOAN
C7	7%	7% LOAN
C7C	7%	7% -IN CONSTRUCTION
C8.25	8.25%	8.25% LOAN
C8.5	8.50%	8.5% LOAN
C9	9%	8% LOAN
C9.5	9.50%	9.5% LOAN
CSI	0.00%	COMMERCIAL SIDING

RESIDENTIAL		
POOL CODE	INTEREST RATE	PROGRAM
R0	0%	0% LOAN
ROC	0%	0% - IN CONSTRUCTION
R4	4%	4% LOAN
R4C	4%	4% - IN CONSTRUCTION
R5	5%	5% LOAN
R5C	5%	5% - IN CONSTRUCTION
R8.5	8.50%	8.5% LOAN
R9	9%	9% LOAN
R9.5	9.50%	9.5% LOAN
RSPE	0%	SPECIAL NEEDS ELDERLY
RSPV	0%	SPECIAL NEEDS VACANT
RSSID	0%	SIDING
RSWIN	0%	WINDOWS
SNE10%	0%	ELDERLY- 10 % FORGIVEN/YEAR
SID10%	0%	SIDING- 10% FORGIVEN/YEAR
WIN10%	0%	WINDOWS-10% FORGIVEN/YEAR
VAC10%	0%	VACANT -10% FORGIVEN/YEAR
RRW0	0%	0% RESIDENTIAL RW LOAN
RRW0C	0%	0% RW LOAN IN CONSTRUCTION
RRW4	4%	4% RESIDENTIAL RW LOAN
RRW4C	4%	4% RW LOAN IN CONSTRUCTION
RRW5	5%	5% RESIDENTIAL RW LOAN
RRW5C	5%	5% RW LOAN IN CONSTRUCTION
CONRW		CITY PORTION RW

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** May 20, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Hire Contractor to create Historic Ghost Mural – 664 Main Street

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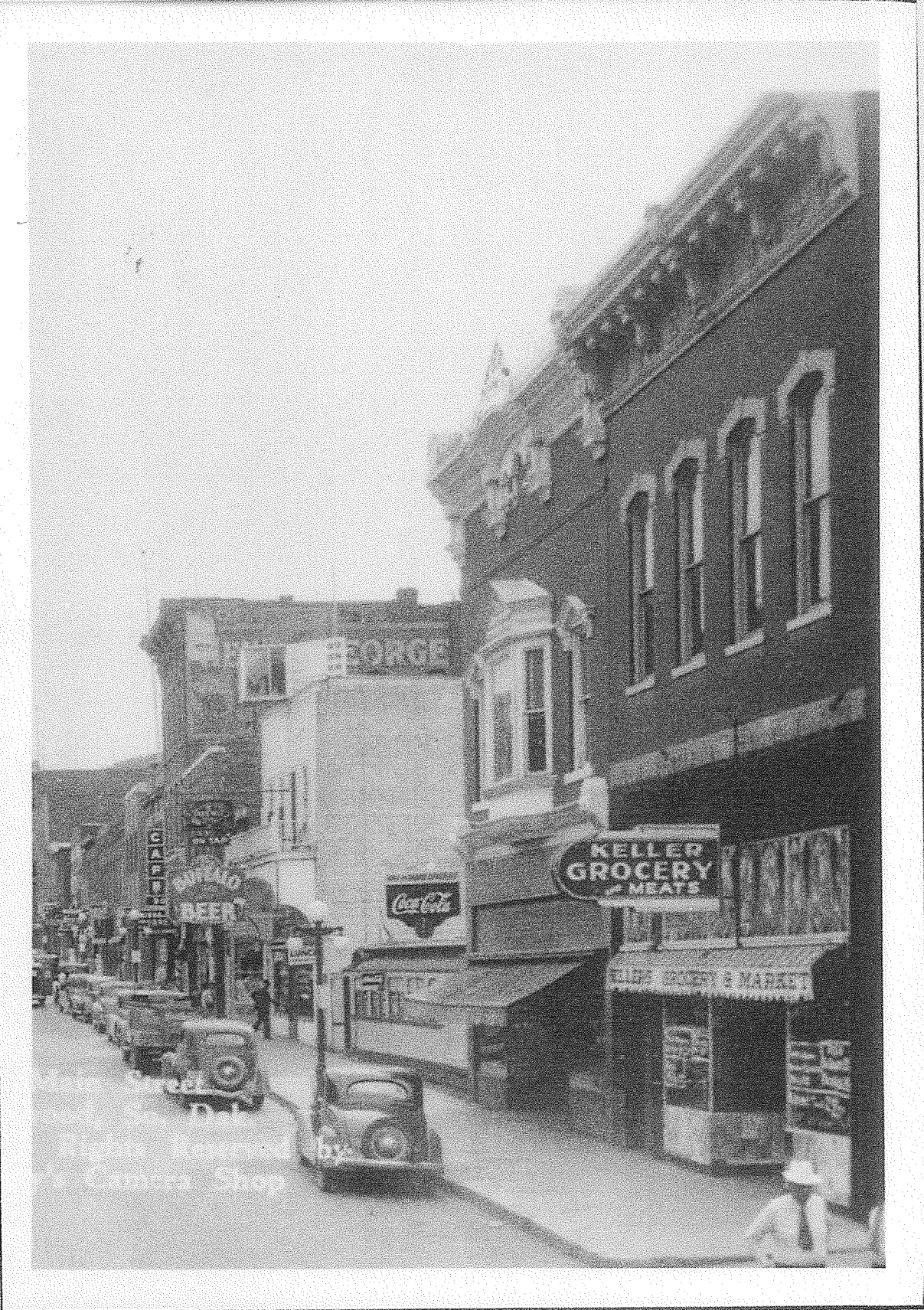
The Historic Preservation Commission has entered 664 Main Street, "George Henry Cigar" Mural into the Historic Ghost Mural Easement Program. As per the guidelines, the City of Deadwood will be responsible for 100% of the restoration costs, bidding of the project, securing the required building permit and managing the restoration project. The owner of the building will be responsible for maintaining the ghost mural when complete per the easement guidelines.

A quote has been submitted from Erica Merchant, a highly recommended artist, to reproduce the ghost mural at 65 to 70% of the "Henry George Cigars" mural located on the top right side of the building. This is the same artist who completed the "Grain Belt" mural two years ago. Staff is recommending hiring Erica Merchant to reproduce the ghost mural for a cost not to exceed \$14,988.47.

**Recommend Motion:** *Move to recommend to the City Commission to hiring Erica Merchant to reproduce the ghost mural of the "George Henry Cigar" mural on the building located at 664 Main Street for a cost not to exceed \$14,988.47.*









Erica Merchant			
519 East Chicago St			
Rapid City, SD 57701			
T 605 206 0261			
America.merchant@gmail.com			
RE: HENRY GEORGE CIGARS MURAL: 20x50			
	UNITS	COST	Totals
<b>Materials</b>			
Gallon Brick Sealant	4	46.39	185.56
Gallon Black paint	1	48.98	97.96
Gallon white paint	1	48.98	48.98
Print yellow paint	1	14.97	14.97
Printing stencils	350	350	
Materials		250	250
Liability Insurance		200	400
<b>Equipment</b>			
40 Boom	7 days	895	895
Scaffolding	7 days	216	216
Delivery	2 way	130	130
		<b>Materials/Equipment Totals</b>	<b>2588.47</b>
Labor	130 hours	90	11700
per diem	4	100	400
Subcontractor boom		300	300
		<b>Total</b>	<b>14988.47</b>

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HISTORIC PRESERVATION  
108 Sherman Street  
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Fax (605) 578-2084



Mike Runge  
Archivist  
Telephone (605) 578-2082

*"The Historic City of the Black Hills"*  
Deadwood, South Dakota 57732

## MEMORANDUM

---

**Date:** May 12, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Deadwood Historic Preservation Office  
**Re:** **Downtown Walking Tour Brochures**

---

The Deadwood Historic Preservation Office is requesting permission to purchase 50,000 downtown walking tour brochures to be distributed at the Deadwood Information/Visitor Center and Welcome Center. The costs to print these brochures are as follows:

- MS Mail, Deadwood, SD. \$11,900.00

The proposed quote for these brochures is attached to this memorandum.

### RECOMMENDATION:

Allow the Deadwood Historic Preservation Office to purchase 50,000 downtown walking tour brochures for the 2021 tourist season. Money to pay for this expenditure will come out of Public Education.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
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Telephone (605) 578-2082  
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Mike Runge  
Archivist  
Telephone (605) 578-2082

*"The Historic City of the Black Hills"*  
Deadwood, South Dakota 57732



---

140 SHERMAN STREET, DEADWOOD, SD 57732 ♦ BLACKHILLMAIL.COM ♦ 605.578.1429

March 18, 2021

Thank you for the opportunity to bid on printing the walking tour brochure.

Printing Cost:  
16 page, 4x9 finish, 80# enamel text, collate, fold and stitch  
50,000 - \$11,900

Time needed to print is about 10 working days.

Please let me know if you have any questions and thanks for the opportunity.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lynn Milos', written in a cursive style.

Lynn Milos

OFFICE OF  
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PRESERVATION  
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Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
Kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** May 20, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
Bonny Anfinson, Program Coordinator  
**Re:** Lawrence County Not-For-Profit Grant Request

---

The Lawrence County Courthouse will soon be undergoing a large roofing project and a masonry repair project. The copper roof received hail damage and the copper will be replaced on the structure. The front entrance has serious masonry repairs needed to be done on the structure. The proposed cost for just the masonry work is close to \$500,000.00

The Lawrence County Courthouse was accepted into the Not-for-Profit program at the April 14, 2021 Historic Preservation Commission meeting. Per the Deadwood Not-For-Profit Grant Policy Guidelines, qualified organizations may be eligible for a grant of up to \$10,000 per year not to exceed \$50,000 in a five year period.

The Projects Committee reviewed this request and recommend approving the grant request to Lawrence County in the amount of \$50,000 for masonry repairs to the Lawrence County Courthouse.

**RECOMMENDATION:** *Move to approve the Not-For-Profit grant to Lawrence County in the amount of \$50,000.00 for the masonry repairs to the Lawrence County Courthouse.*

APPLICATION # \_\_\_\_\_

### DEADWOOD HISTORIC PRESERVATION COMMISSION

DEADWOOD NOT-FOR-PROFIT GRANT PROGRAM FOR  
SITES NOT ELIGIBLE FOR STATE PROPERTY TAX MORATORIUM

#### Application

**The Deadwood Historic Preservation Commission reviews all applications. Please read the attached Policy Guidelines and provide the requested information below.**

**1. Property Address:**

Lawrence County Courthouse			
90 Sherman Street	Deadwood	SD	57732
Street	City	State	Zip

**2. Applicant Details:**

**TODAY'S DATE:** May 12, 2021

Lawrence County c/o Bruce Outka		boutka@lawrence.sd.us
Name	Daytime Telephone	E-mail Address
90 Sherman Street	Deadwood	SD 57732
Street	City	State Zip

**3. Owner of Property\*\*:**

**\*\*NOTE:** Applicant must own/retain property;

**OR**

*Applicant must be leasing or renting the property and have written permission from the owner to conduct the work;*

**OR**

Applicant must have a firm written commitment with the owner to purchase the property.

*(Complete 'Owner of Property' only if different from that of applicant)*

Name	Daytime Telephone	E-mail Address
Street	City	State Zip





Perfect Record

# PRECISION CONSTRUCTION & ROOFING

## ESTIMATE OF REPAIRS

<p><b>Name</b> <b>Address</b> <b>City, Zip</b> <b>Home #</b> <b>Work #</b> <b>Email</b></p>	<p><b>CUSTOMER INFORMATION</b>  <b>DEADWOOD COURTHOUSE</b>                  78 SHAERMAN ST                  DEADWOOD,SD 57732</p>	<p><b>INSURANCE INFORMATION</b>  <b>Name</b>  <b>Claim #</b>  <b>Adjuster</b>  <b>Direct#</b>  <b>Fax #</b>  <b>toll #</b></p>
-----------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------

3/8/2021

Quantity	Type	Description	Unit Price	Total
1.000	EA	GRIND AND RE-TUCKPOINT MORTAR JOINTS ON FRONT ENTRANCE ALL THE WAY TO GABLE POINT. BOOMLIFT-RENTAL AND OPERATOR CONTAINMENT-ENCLOSURES AND FUEL SCAFFOLDING-SET UP,TEAR DOWN,ANCHORING & RENTAL	\$102,452.91	\$102,452.91
1.000	EA	BELL TOWER AREA-GRIND AND RE-TUCKPOINT APPROX 1900 SF	\$136,800.00	\$136,800.00
1.000	EA	TEAR DOWN AND REBUILD PRECAST STONE (TERRA COTTA) AT FRONT ENTRY WAY UPPER LEVEL AREA	\$28,000.00	\$28,000.00
1.000	EA	TEAR DOWN AND REBUILD BRICK ON UPPER FOUR CORNERS OF THE BUILDING FOR INSTALLATION OF NEW FLASHING 180 SF	\$16,000.00	\$16,000.00
1.000	EA	THREE LEVELS OF ENTIRE PERIMETER PRECAST STONE (TERRA COTTA) TO BE GROUNDED OUT.RE-TUCKPOINTED & CAULKING APPLIED. BIG STRETCH PRODUCT RECOMMENDED 950 LF	\$55,500.00	\$55,500.00
1.000	EA	SCAFFOLDING FOR BELL TOWER AREA TO INCLUDE BUILDING A TEMPORARY PLATFORM ANCHORED TO ROOF. SCAFFOLDING WILL THEN BE SECURED TO THE STRUCTURE.	\$23,000.00	\$23,000.00
		<b>Subtotal</b>		<b>\$361,752.91</b>
1.000	EA	SCAFFOLD REMAINDER OF BUILDING IN SECTIONS TO BE COORDINATED WITH THE COURTHOUSE STAFF.	\$96,000.00	\$96,000.00
1.000	EA	BOOMLIFT RENTAL	\$36,000.00	\$36,000.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				<b>\$132,000.00</b>
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00

Salesman	TRAVIS MILLER
Title	
Mobile	
Facsimile	

Sub Total	\$493,752.91
Sales Tax	
Overhead & Profit	
<b>Bid Total</b>	<b>\$493,752.91</b>



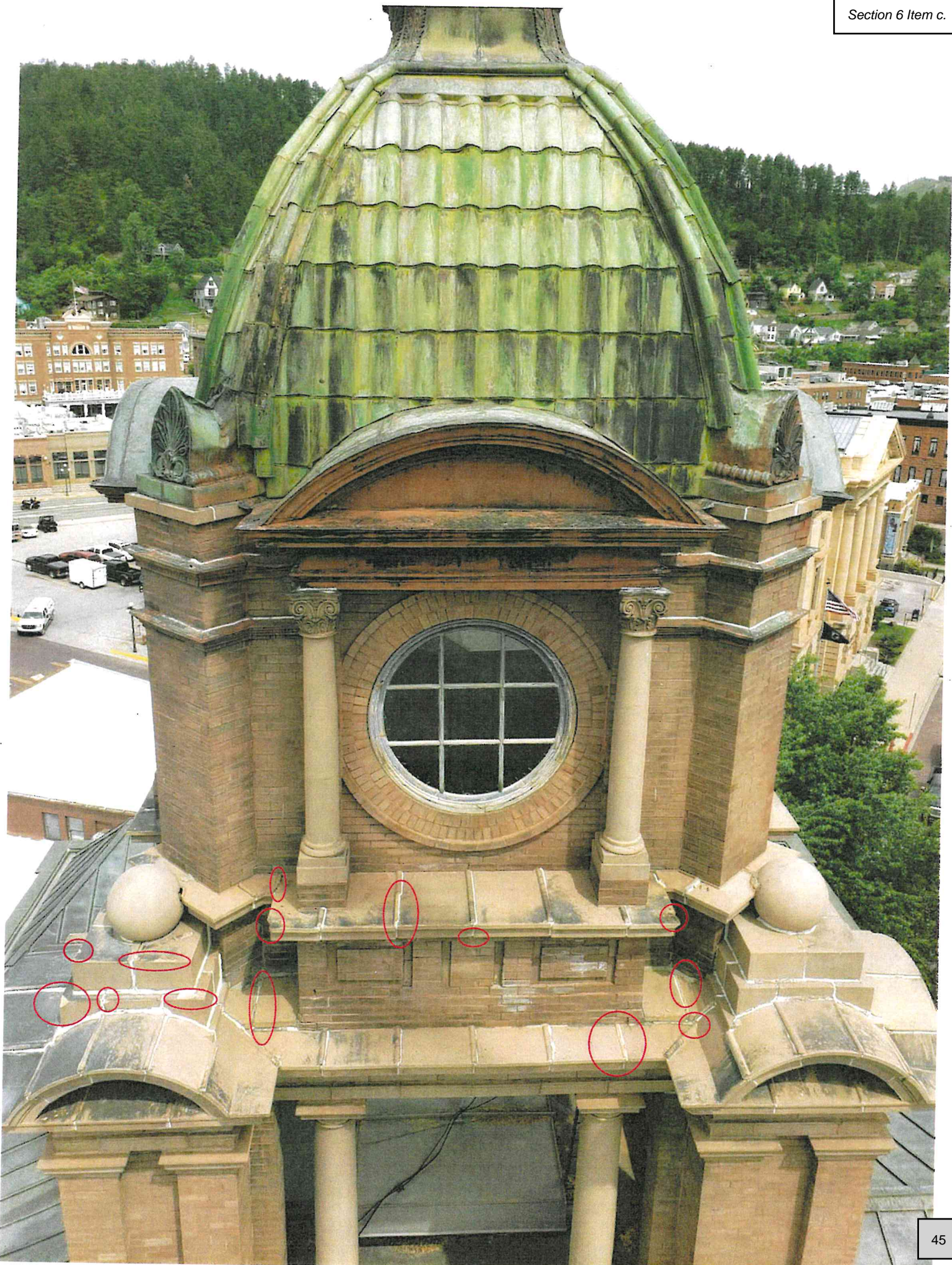


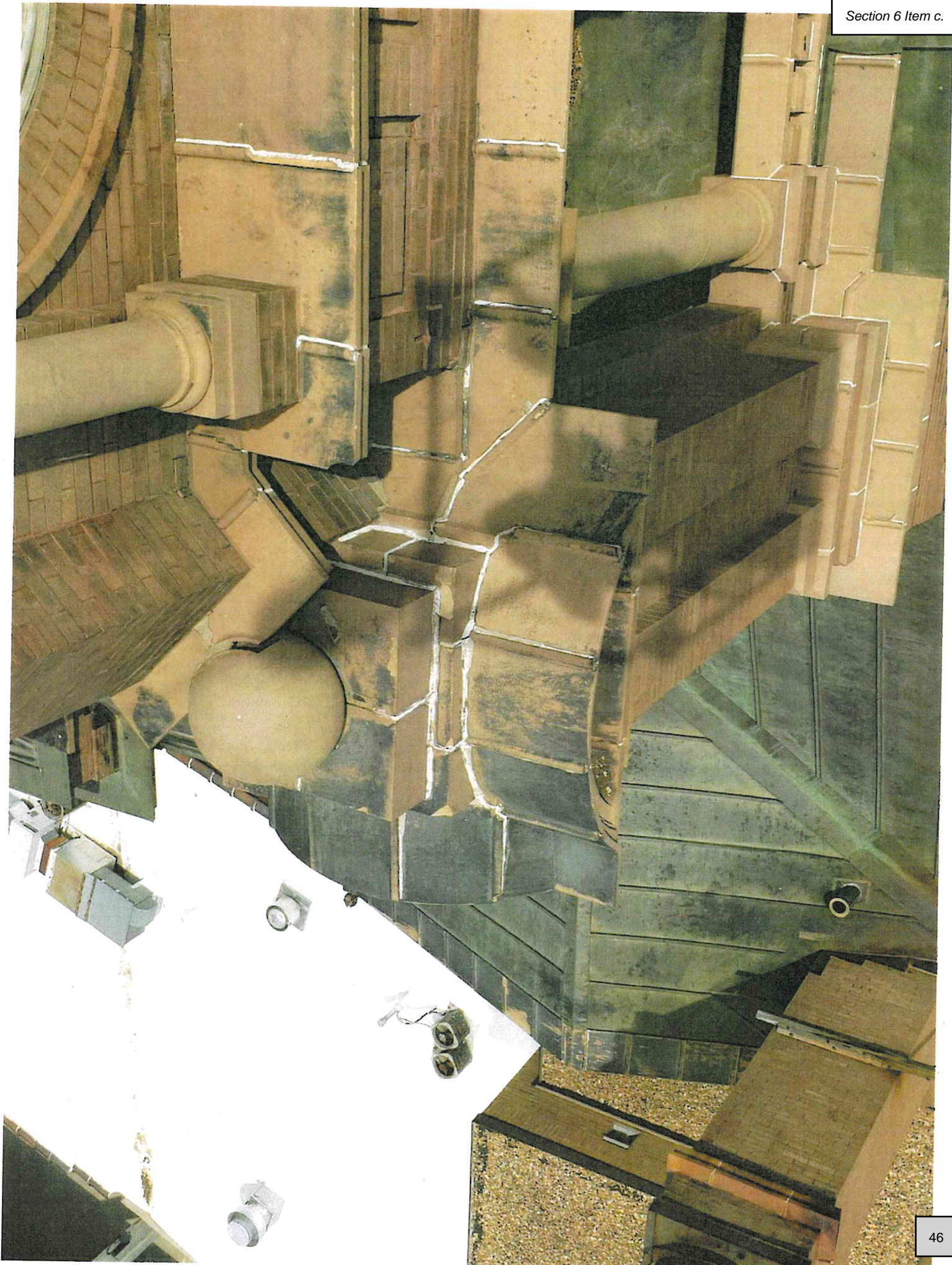








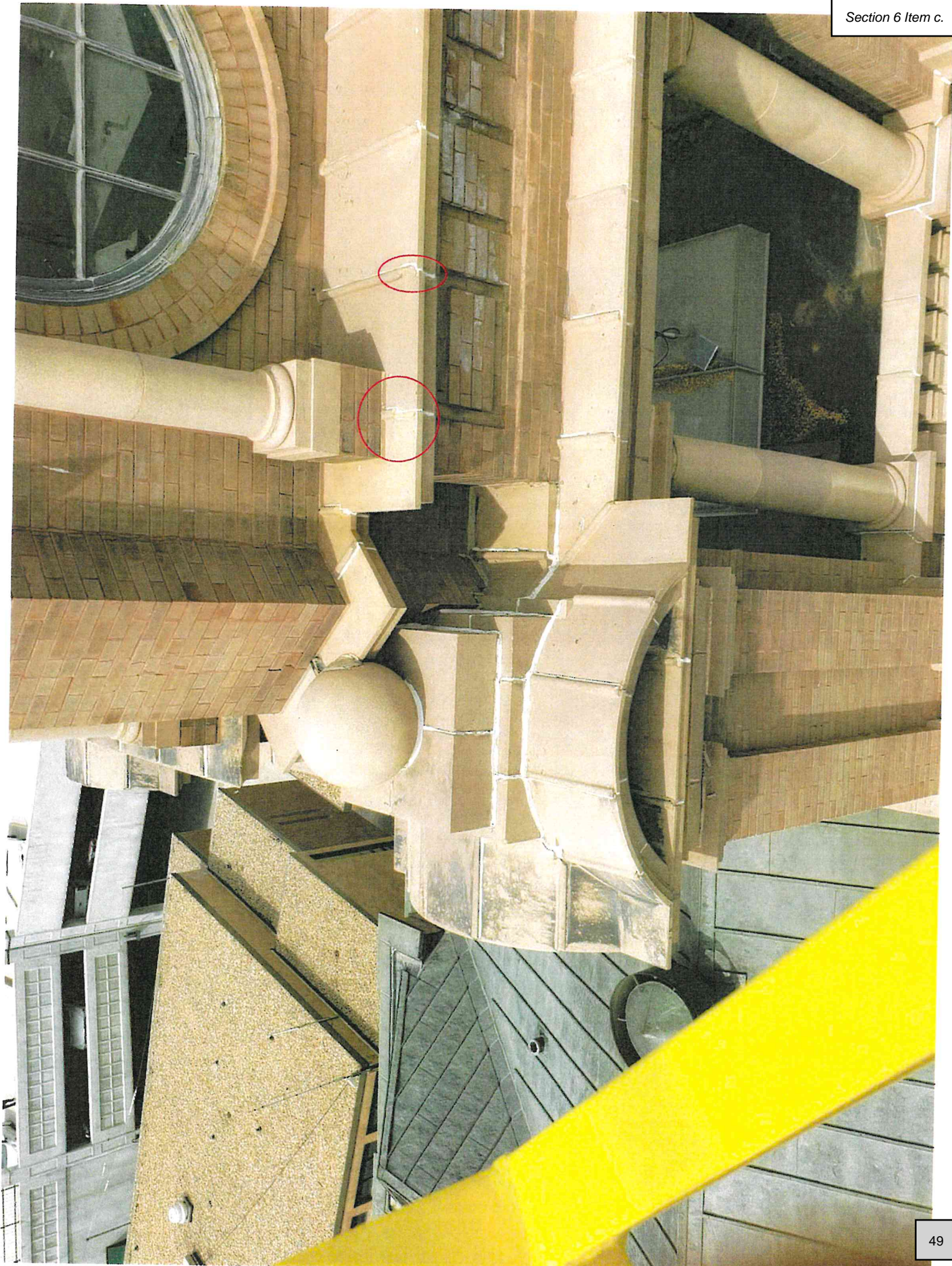


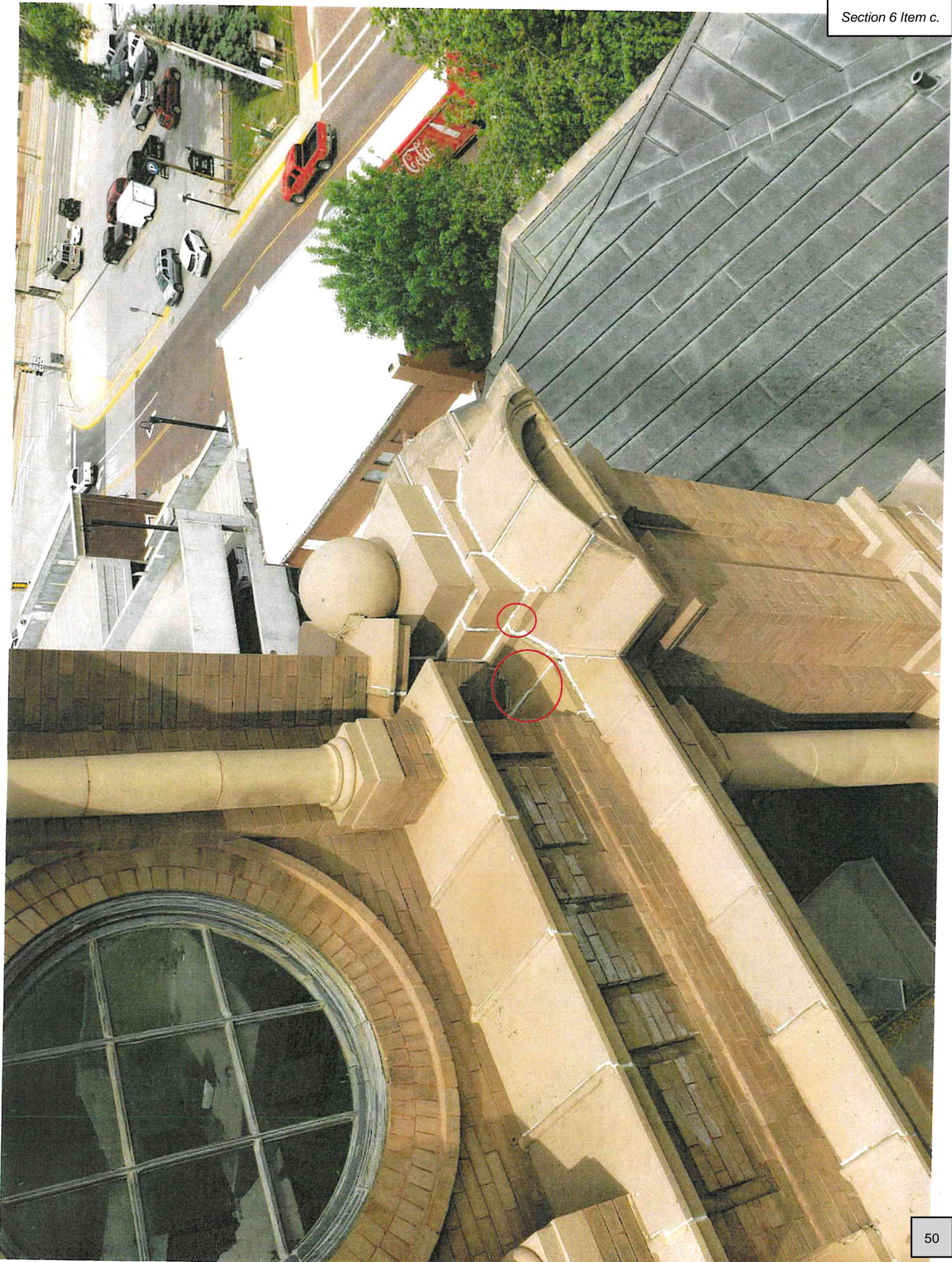




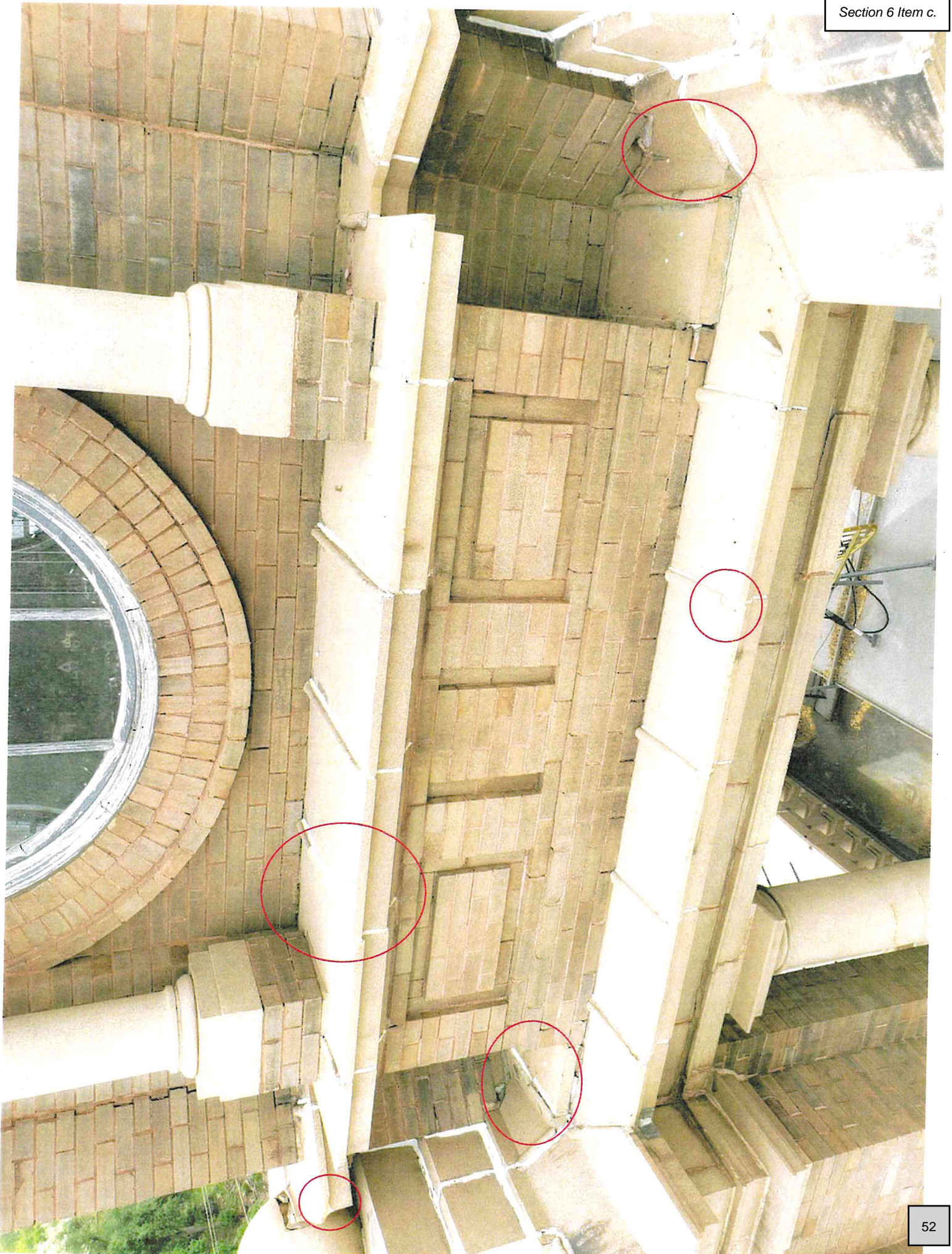












OFFICE OF  
 PLANNING, ZONING AND HISTORIC  
 PRESERVATION  
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 Telephone (605) 578-2082  
 Fax (605) 578-2084



Kevin Kuchenbecker  
 Historic Preservation Officer  
 Telephone (605) 578-2082  
 Kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** May 20, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
 Bonny Anfinson, Program Coordinator  
**Re:** Deadwood Masonic Association Not-For-Profit Grant Request

---

The Deadwood Masonic Association discovered major issues with the girder trusses on the third floor of the structure in October 2020. CVD Construction was hired to install bracing to secure the structure until it can be repaired. Albertson Engineering has been contacted to determine what can be done to repair the girder trusses. The Deadwood Masonic Association has submitted a Not-for-Profit grant to pay for the \$8,000.00 in engineering costs.

Per the Deadwood Not-For-Profit Grant Policy Guidelines, qualified organizations may be eligible for a grant of up to \$10,000 per year not to exceed \$50,000 in a five year period. Since 2017 the Deadwood Masonic Association has been granted \$38,354.56 in funds with \$11,645.44 available.

The Projects Committee reviewed this request and recommend approving the grant request to the Deadwood Masonic Association in the amount of \$8,000.00 for engineering costs associated with the girder truss repairs.

**RECOMMENDATION:** *Move to approve the Not-For-Profit grant to the Deadwood Masonic Association in the amount of \$8,000.00 for the engineering costs associated with the girder truss repairs.*

APPLICATION # \_\_\_\_\_

**DEADWOOD HISTORIC PRESERVATION COMMISSION**

DEADWOOD NOT-FOR-PROFIT GRANT PROGRAM FOR  
SITES NOT ELIGIBLE FOR STATE PROPERTY TAX MORATORIUM

**Application**

**The Deadwood Historic Preservation Commission reviews all applications. Please read the attached Policy Guidelines and provide the requested information below.**

**1. Property Address:**

715 Main St.	Deadwood	SD	57732
Street	City	State	Zip

**2. Applicant Details:**

**TODAY'S DATE: 5-5-21**

Masonic Center Association	605-720-3646	casey.derflinger@fib.com	
Name	Daytime Telephone	E-mail Address	
715 Main St.	Deadwood	SD	57732
Street	City	State	Zip

**3. Owner of Property\*\*:**

**\*\*NOTE:** Applicant must own/retain property;

**OR**

*Applicant must be leasing or renting the property and have written permission from the owner to conduct the work;*

**OR**

Applicant must have a firm written commitment with the owner to purchase the property.

*(Complete 'Owner of Property' only if different from that of applicant)*

Name	Daytime Telephone	E-mail Address	
Street	City	State	Zip

*GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

**1. Property Address**

715 Main St.	Deadwood	SD	57732
Street	City	State	Zip

**2. Description of work to be performed as part of this project:**

In mid-October of 2020, we discovered the ceiling on the third floor was falling in. We contacted our insurance company who sent an adjustor and structural engineer to survey the damage. The engineer indicated that one of the girder trusses was broken on each end and was falling through the ceiling. Another girder truss was also cracked and was starting to fall in. The engineer indicated that this was an emergency situation and that we would be required to shore up the 2 trusses immediately due to safety concerns. He also indicated that the 2 trusses would need to be braced on each floor, from the basement to the third floor. We contracted with CVD Construction of Spearfish to install the bracing, and this has been completed. We also asked them for an estimate to repair the trusses, and they contracted with Albertson Engineering of Rapid City to determine some options. Albertson determined there were 4 possible options, and CVD is currently working on a repair estimate for the option they deemed best. In the meantime, Albertson has invoiced CVD for their work, which totaled \$8,000. We are requesting an \$8,000 grant from the remaining current available funds we have with Deadwood Historic Preservation. Our current insurance company, Philadelphia, and our former insurance company, Columbia, are still disagreeing when the trusses started to break. Philadelphia claims it was due to the 2013 Atlas Storm, Columbia thinks it could have happened more recently. Thank you for your consideration.

**3. Project budget – itemized and showing disbursement of funding**

<u>Description (i.e. roof)</u>	<u>Grant</u>	<u>Total</u>
Engineering Invoice	\$8000	\$ 8000
	\$	\$
	\$	\$
	\$	\$
	\$	\$
	\$	\$
<b>Total:</b>	<b>\$8000</b>	<b>\$8000</b>

<b>4. Total Project Cost:</b> \$8000	<b>Grant Amount:</b> \$8000
--------------------------------------	-----------------------------

*GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

**The following information must be presented with this application as attachments before being reviewed by the Deadwood Historic Preservation Commission (incomplete applications will not be reviewed)**

- a. Floor plan(s) (when necessary)
- b. Site plan(s) (when necessary)
- c. Photographs
- d. Copy of deed or notarized letter of authorization
- e. Verification of listing on or eligibility for listing on the National Register of Historic Places
- f. Submission of specifications and contracts



## DEADWOOD HISTORIC PRESERVATION COMMISSION

### DEADWOOD NOT-FOR-PROFIT GRANT PROGRAM FOR SITES NOT ELIGIBLE FOR STATE PROPERTY TAX MORATORIUM

#### Policy Guidelines

#### STATEMENT:

The restoration and protection of Deadwood's historic buildings and sites are acknowledged to be a primary part of the City's goal to preserve and maintain Deadwood's historic integrity. The expense of such restoration and protection projects may discourage property owners from having the work completed or may result in a lower quality of craftsmanship. The purpose of this grant fund is to assist and encourage property owners to restore and protect their properties through the use of quality materials and craftsmanship.

Deadwood Historic Preservation Commission reserves the right to revise grant policy or discontinue the program at any time without public notice.

#### OBJECTIVE:

The City of Deadwood is a National Historic Landmark and is listed on the National and South Dakota State Register of Historic Places. Maintaining these designations is critical to the economic success of the city and the quality of life of its residents. The objective of the grant program is to stimulate quality restoration and protection of buildings and sites that contribute to the historic integrity of the City of Deadwood.

#### GRANT DEFINITION:

The availability of funds for a project will be determined on a case-by-case basis. Qualified organizations may be eligible for a grant of up to \$10,000 per year not to exceed \$50,000 in a five year period. Applications are accepted anytime of the year.

*All grant expenditures and match resources must be expended for services and/or materials used for the approved project during the project period.*

#### EMERGENCY GRANTS:

Emergency grants are made exclusively for interim stabilization of a historic property that has been damaged due to some unforeseeable event. These grants will typically not exceed \$10,000 which may be above and beyond the \$10,000 available to eligible organizations per year. Applications are accepted any time of year. Emergency Grant Funds will be granted only when funds are available.

#### ALLOWABLE ACTIVITIES

- **PLANNING:** A broad category that includes a wide range of non-conforming projects, such as surveys, registration and designation; comprehensive and projection planning;

*GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

preparation of preservation-related studies and reports; photo documented projects, etc.

- **PRESERVATION:** The act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.
- **REHABILITATION:** The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural and architectural values.
- **RESTORATION:** The act or process of accurately depicting the form, features and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code related work to make properties functional is appropriate within a restoration project.
- **INTERPRETATION:** The act or result of giving an explanation of the history and/or activities associated with the resource or entities associated with the building.

### **ELIGIBILITY CRITERIA**

#### APPLICANT ELIGIBILITY:

1. Applicant must own/retain property. Furthermore, grant recipients must agree to retain ownership of the property for a minimum of five years. Transfer of ownership or control will require repayment of the grant to the City of Deadwood.  
**OR**  
Applicant must be leasing or renting the property and have written permission from the owner to conduct the work;  
**OR**  
Applicant must have a firm written commitment with the owner to purchase the property.
2. Applicant must demonstrate the ability to successfully implement the project;
3. Applicant must be a not-for-profit organization, and not be eligible for State Property Tax Moratorium.
4. The grant applicant must provide a plan for future use of the site.

#### PROPERTY ELIGIBILITY:

1. The property must be a contributing building or property within the Deadwood National Historic Landmark District or designated as a local historic resource.
2. Buildings used for city governmental purposes only are not eligible.

*GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

### **SELECTION CRITERIA**

Projects will be selected based primarily on the funding priorities, but evaluation will include consideration of the following criteria (listed in no specific order):

1. Funding Priorities
  - a. Work required to give the building a weather proof envelope and make it structurally sound;
  - b. Work that will abate any serious threat to the structure whether from internal or external sources (i.e. hazardous wiring);
  - c. Exterior restoration;
  - d. Restoration of character-defining interior features;
  - e. Work necessary to facilitate putting the building to an appropriate use, including meeting all codes and accessibility standards;
2. Historical or architectural significance of the property;
3. Administrative and financial management capabilities of the sponsor;
4. Community support and interest;
5. Quality of application;
6. Prepared predevelopment material including work plans and specifications;
7. Evidence of future support plan/The grant applicant must provide a plan for future use of the building.

*Project from lower priorities may be selected if extraordinary circumstances exist.*

### **APPLICATION PROCEDURES**

Applications are available from:

*Deadwood Historic Preservation Office  
Deadwood City Hall  
Grant Applications Dept.  
108 Sherman Street  
Deadwood, SD 57732  
Tel.: (605) 578-2082*

Or online at:

[www.cityofdeadwood.com](http://www.cityofdeadwood.com)

Click on Departments, Historic Preservation

### **SELECTION PROCESS**

Deadwood Historic Preservation staff reviews applications for completeness and eligibility and compiles a listing of projects according to the above priorities and selection criteria. This may result in partial funding of some projects.

### **GRANT CONDITIONS**

*GRANT FUND –  
SITE NOT ELIGIBLE FOR STATE TAX MORATORIUM*

1. Submission of a copy of the deed to the property or a letter of support from the property owner if owner is not project sponsor;
2. Verification of listing on or eligibility for listing on the National Register of Historic Places;
3. Signing of a covenant on the property insuring its maintenance and historic integrity;
4. Use of competitive procedures for procurement;
5. Submission of specifications and contracts to the Deadwood Historic Preservation Office for approval before beginning work and before making any changes in the course of the work;
6. The Deadwood Historic Preservation Commission must be listed as a supporter in any printed material or publicity releases;
7. Inspection and approval of work by the Deadwood Historic Preservation Office and City Building Official or local officials as selected by the City of Deadwood.
8. Maintenance of proper financial records and submission of documentation for reimbursement;
9. Submission of progress reports to the Deadwood Historic Preservation Office;
10. Additional photographs of existing conditions and of the completed work;
11. A final project report including a complete identification of the work performed, costs and resources used.

***The grant recipient must submit reports as requested.***



CVD Construction, Inc.  
 DBA DONOVAN CONSTRUCTION  
 514 S. 32nd St.  
 Spearfish, SD 57783

Phone 605-642-1747  
 Fax 605-642-7069

# Invoice

**Invoice #:** 8020  
**Invoice Date:** 4/27/2021  
**Due Date:** 4/27/2021

**Bill To:**

Masonic Center Association  
 C/O First Interstate Bank  
 Casey Derflinger, President  
 152 Sherman Street, Deadwood SD  
 57732

**P.O. Number:**

**Project**

Description	Hours/Qty	Rate	Amount
LABOR AND ENGINEERING FOR PHASE 1 CONCEPT DESIGN SERVICES PER BID LETTER DATED APRIL 12, 2021.		7,839.99	7,839.99T

<b>Subtotal</b>	\$7,839.99
<b>Tax Due (2.041%)</b>	\$160.01
<b>Balance Due</b>	\$8,000.00

**CvD**  
**DBA DONOVAN CONSTRUCTION INC.**

General Contractors

514 S 32<sup>nd</sup> Street, Spearfish, South Dakota 57783

Ph 605-642-1747

Fax 605-642-7069

April 12, 2021

Masonic Lodge  
715 Main St.  
Deadwood, SD 57732

Attn: Casey Derflinger  
Re: Roof Repair Concept Design Services

Following is our proposal for Phase 1 Concept Design Services for Donovan Construction along with Albertson Engineering to investigate and develop a conceptual design with enough information for Donovan Construction to establish costs for final design and the repairs. Proposal includes:

**Phase 1 – Concept Services**

1. Conduct site visits to review the existing framing conditions and as-built the existing roof framing. Review the condition of the trusses to the West of those that have failed to determine if they too should be repaired/replaced
2. Prepare preliminary concept options for repair of the trusses. Based on discussions so far, anticipated options are as follows:
  - A. Steel beam below the existing truss with field splices
  - B. Prefabricated wood girder trusses on each side of the existing trusses with field splices
  - C. Steel bar joist on each side of the existing trusses with field splices
  - D. Custom steel truss (angle and/or tube members) on each side of the existing trusses with field splices.
3. Prepare a narrative report accompanied by schematic sketches or drawings to enough detail that a cost can be established for final design and repair work for each option

Note: Listed options may be eliminated and/or other options added as the review progresses

Price \$ Concept Design Services - \$ 8,000.00

After concept design has been completed and construction costs have been determined, upon approval by owner, phase 2 shall commence which will include final design and construction of repairs

Clair Donovan  
Donovan Construction



February 4, 2021

Masonic Lodge  
715 Main St.  
Deadwood, SD 57732

Attn: Casey Derflinger  
Re: Roof Repair Concept Design Services

Following is our proposal for Phase 1 Concept Design Services for Donovan Construction along with Albertson Engineering to investigate and develop a conceptual design with enough information for Donovan Construction to establish costs for final design and the repairs. Proposal includes:

Phase 1 – Concept Services

1. Conduct site visits to review the existing framing conditions and as-built the existing roof framing. Review the condition of the trusses to the West of those that have failed to determine if they too should be repaired/replaced
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  - D. Custom steel truss (angle and/or tube members) on each side of the existing trusses with field splices.
3. Prepare a narrative report accompanied by schematic sketches or drawings to enough detail that a cost can be established for final design and repair work for each option

Note: Listed options may be eliminated and/or other options added as the review progresses

Price \$ Concept Design Services - \$ 8,000.00

After concept design has been completed and construction costs have been determined, upon approval by owner, phase 2 shall commence which will include final design and construction of repairs

Clair Donovan  
Donovan Construction


**Albertson Engineering Inc.**

March 9, 2021

Robert Evans  
Donovan Construction  
514 S. 32<sup>nd</sup> Street  
Rapid City, SD 57783

RE: Masonic Lodge Roof Repairs – Phase 1  
Structural Recommendations  
Albertson Engineering File #2021-060

Robert,

Thank you for the opportunity to be of service to the Masonic Lodge and to Donovan Construction. As requested, we have completed our concept review and design for the repair of the roof. Per our discussions and per our proposal, this report serves to complete Phase 1 – Concept Services which involved preliminary design of several options so that costs/timelines for repair can be determined by Donovan Construction. Please note that our services and scope are limited to the repairs of the trusses themselves. An evaluation of the framing of the remaining building has not been completed. No warranty or guarantee of condition of the remaining building at-large is implied.

As outlined within our proposal, we have explored four (4) possible repair options with regard to repairing the two existing roof trusses that have failed. In addition, we have reviewed the remaining two trusses to the north with regard to any possible need of repair. The following summarizes our recommendations for each truss. For purposes of reference, each truss has been labeled starting with Truss 1 being the truss closest to the stage area, and Truss 4 being the truss closest to Main Street. For purposes of description, this report will refer to Main Street as being north. The following is recommended:

Truss 1 & Truss 2: Truss 1 and Truss 2 are the trusses that have experienced structural failure and are currently shored. These trusses need to be vertically jacked back into place as much as able, and then replaced with new support framing consisting of one of the following repair options:

- Option 1 – W-Beam: Provide a new W27x84 steel beam below the existing wood trusses.

**Albertson Engineering Inc.**  
**Rapid City**  
3202 West Main, Suite C  
Rapid City, SD 57702  
605-343-9606

**Sioux Falls**  
315 North Main Avenue, Suite 200  
Sioux Falls, SD 57104  
605-343-9606

**Winner**  
201 S. Monroe St., Suite 203A  
Winner, SD 57580  
605-343-9606



- Beam to be spliced at roughly third-points using bolted field splice connections. Field splices will require slip critical connections with direct tension washers or equal to verify the bolts have been pretensioned.
  - Beams to be supported at each end on the existing brick wall with a seat angle assembly that will be notched slightly into the existing wall for bearing, with pull-out resisted by providing thru-bolts that will pass through the entire brick wall. Exterior plate washers and nuts will remain exposed on the exterior face of wall.
  - Beams are to be set slightly below the existing truss with 2x nailers pre-attached to the steel beam. Wood blocking spacers/shims will then be provided at roughly 2'-0" on center to engage the existing truss.
  - Both roof and ceiling framing can remain largely in-place during repairs, with a new soffit framed around the new beam as required to aesthetically cover the framing.
- Option 2 – P/E Wood Girder Trusses: Provide a new (2) ply girder truss on each side of the existing roof truss.
    - Girder truss depth to be field verified to match the depth from bottom of roof joists to bottom of existing wood truss.
    - Girder trusses to be field spliced at roughly the third points. All field splicing to be done from one side only, with field splice designed by the truss manufacturer.
    - Ceiling framing to either be shored and then suspended from the new girder truss or alternately removed and replaced in its entirety.
    - Blocking and thru-bolts to be provided at the bottom of the truss to engage and carry the existing truss.
    - Trusses will need to be supported each end with a seat angle assembly similar to that described for the steel beam option.
    - Please note that we have been working directly with Black Hills Truss & Components and have verified that this is a viable repair option. Please contact Tom Watson at their office here in Rapid City for additional information if needed.
  - Option 3 – Steel LH Joists: Provide a new 36LH10 joist on each side of the existing roof truss.
    - LH joists to be field spliced at roughly the third points, with splices designed by the steel joist manufacturer.
    - Ceiling framing to either be shored and then suspended from the new steel joists with the use of hangers and continuous 2x blocking, or alternately removed and replaced in its entirety.
    - New intermittent bent plate angle hangers and thru-bolts to be provided at the bottom of the joist to engage and carry the existing truss.
    - Joists to be supported each end by cutting out a pocket and bearing the joists directly on the existing brick walls.
  - Option 4 – Custom HSS Truss: Provide a new custom steel tube truss on each side of the existing roof truss.
    - Custom truss to be fabricated from HSS members in three pieces that will then be field spliced with the use of bolted connections. Bolted connections to again use slip critical connections having direct tension indicators or other measures to ensure that pretensioning of bolts has occurred.
    - Ceiling framing to either be shored and then suspended from the new custom truss with the use of hangers and continuous 2x blocking, or alternately removed and replaced in its entirety.



- A continuous angle and thru-bolts will be provided at the bottom to engage and carry the existing truss.
- HSS truss to be supported each end with a seat angle assembly similar to that described for the steel beam option.

Building sections and a general section for each of the repair options above have been provided as attachments to this report to further describe the work entailed. Please consult these drawings for additional information.

Truss 3: The existing third truss was field inspected to determine if any distress could be observed. No splitting or other signs of broken members were observed. However, it was noted that the diagonal members of the truss on the far east end did appear to be bowing. Because this occurs in the same vicinity within the truss as the trusses that failed, it would be our recommendation that Truss 3 be strengthened as follows:

- Provide new ½ plywood sheathing on each side of the truss for the first bay of the truss on each end. Solid blocking should be provided between the diagonal members and between the outer ply and the wood sheathing such that the sheathing can be nailed off to the diagonals. Any splices in the sheathing (vertical or horizontal) will need to be blocked. Perimeters of the sheathing should be nailed to existing framing at 3” on center full perimeter, and 12” on center in field.
- Please note that this will effectively cut-off any ‘passing thru’ the attic space from south to north. Each end can still be accessed from their respective ends, but passing from one end to the other will no longer be available.
- Also note that the existing ‘hidden room’ in the attic space on the south side of this truss at the east end will need to be removed in its entirety to get this sheathing installed.

Truss 4: The existing fourth truss was field inspected to determine if any distress could be observed. This truss was modified in the addition that provided the stage and fly tower roof, dated 1959. Plans for modifications of this truss have been provided. No splitting or other signs of distress were observed within this truss. It is our opinion that this truss could remain as is without any additional repair work.

General: While in the attic space it was observed that several areas appeared to have been used for storage in the past, within many areas of miscellaneous old items still remaining within the space. We would recommend that all old miscellaneous items that are current stored within the attic space be removed to help alleviate any additional loading to the trusses.

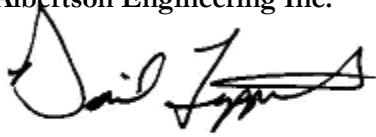
To supplement these recommendations, we have provided redline mark-ups on an existing building section from the plans dated 1959. This, in addition to the repair drawings for the various options that were previously referenced, should help to firm up both repair costs as well as a timeline for completing the repairs. We are prepared to move into Phase 2 services and provide final construction drawings once you have determined which repair option you and the Owner would like to proceed with.



We appreciate the opportunity to be of service to you. Should you have any questions or need any additional information, please do not hesitate to contact our office.

Sincerely,

**Albertson Engineering Inc.**

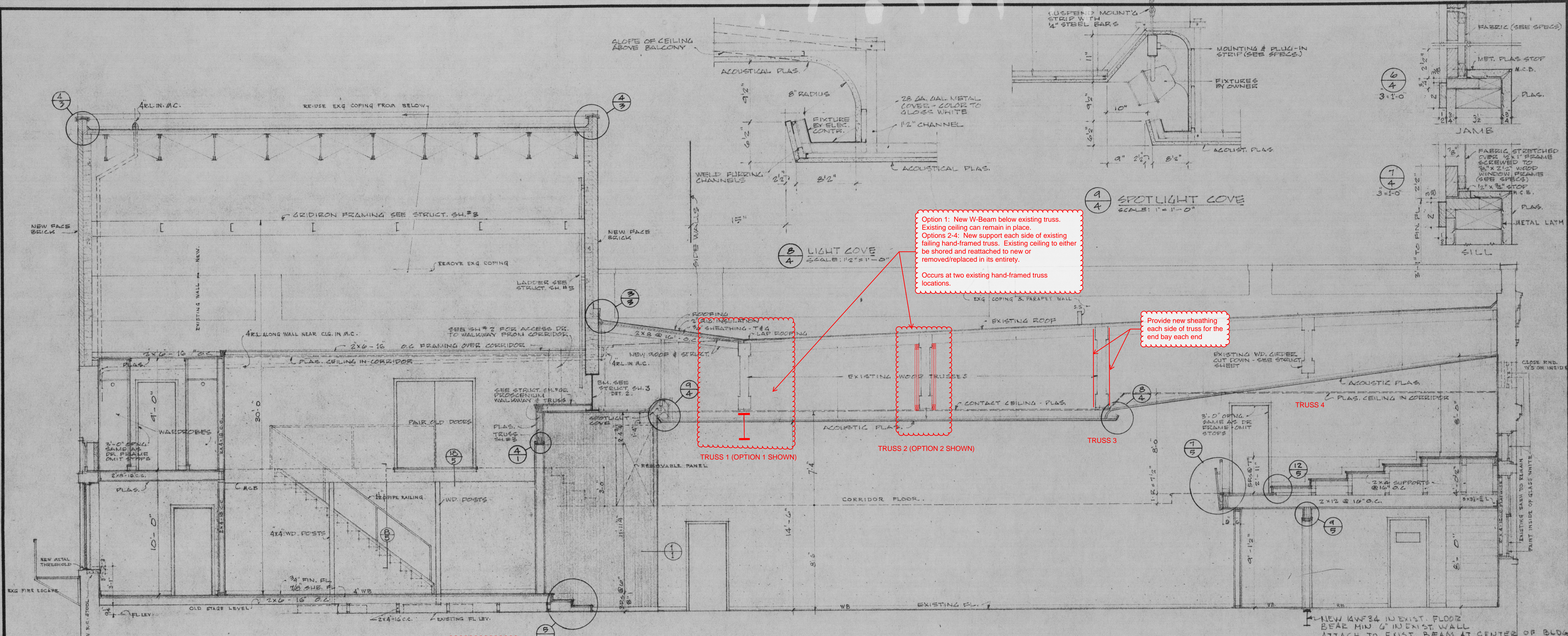


David Leppert, PE  
Principal

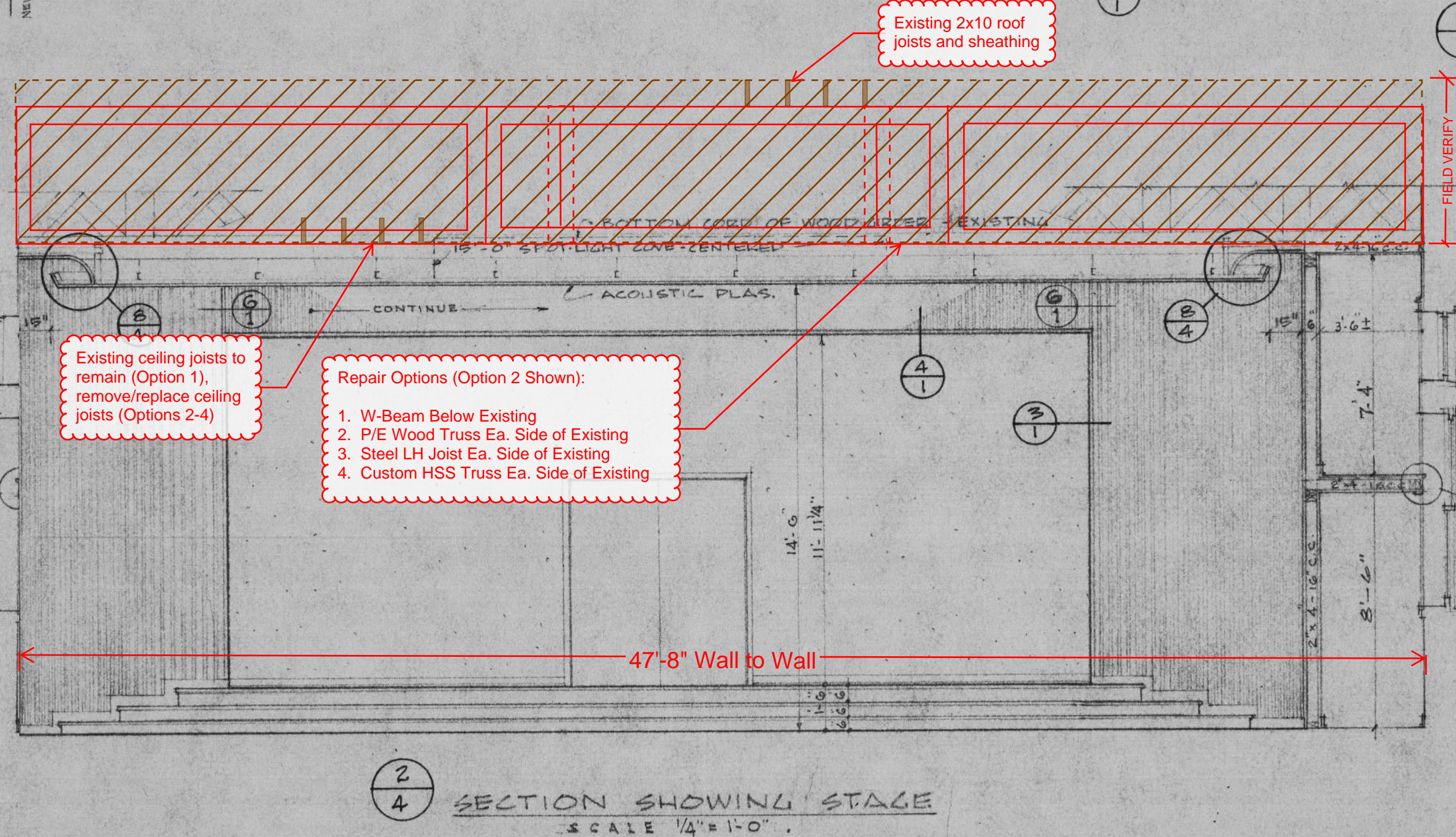
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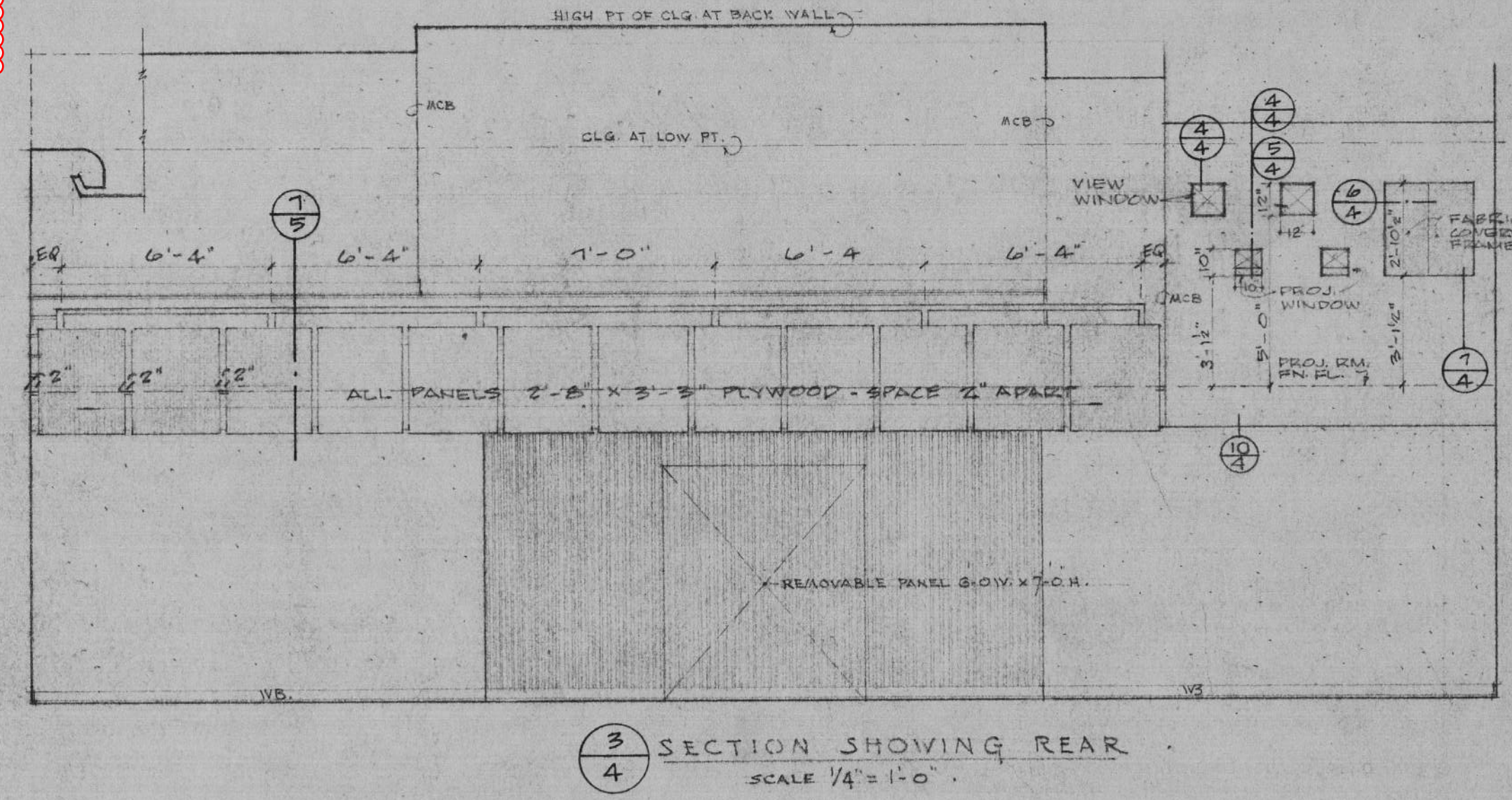
**Albertson Engineering Inc.**



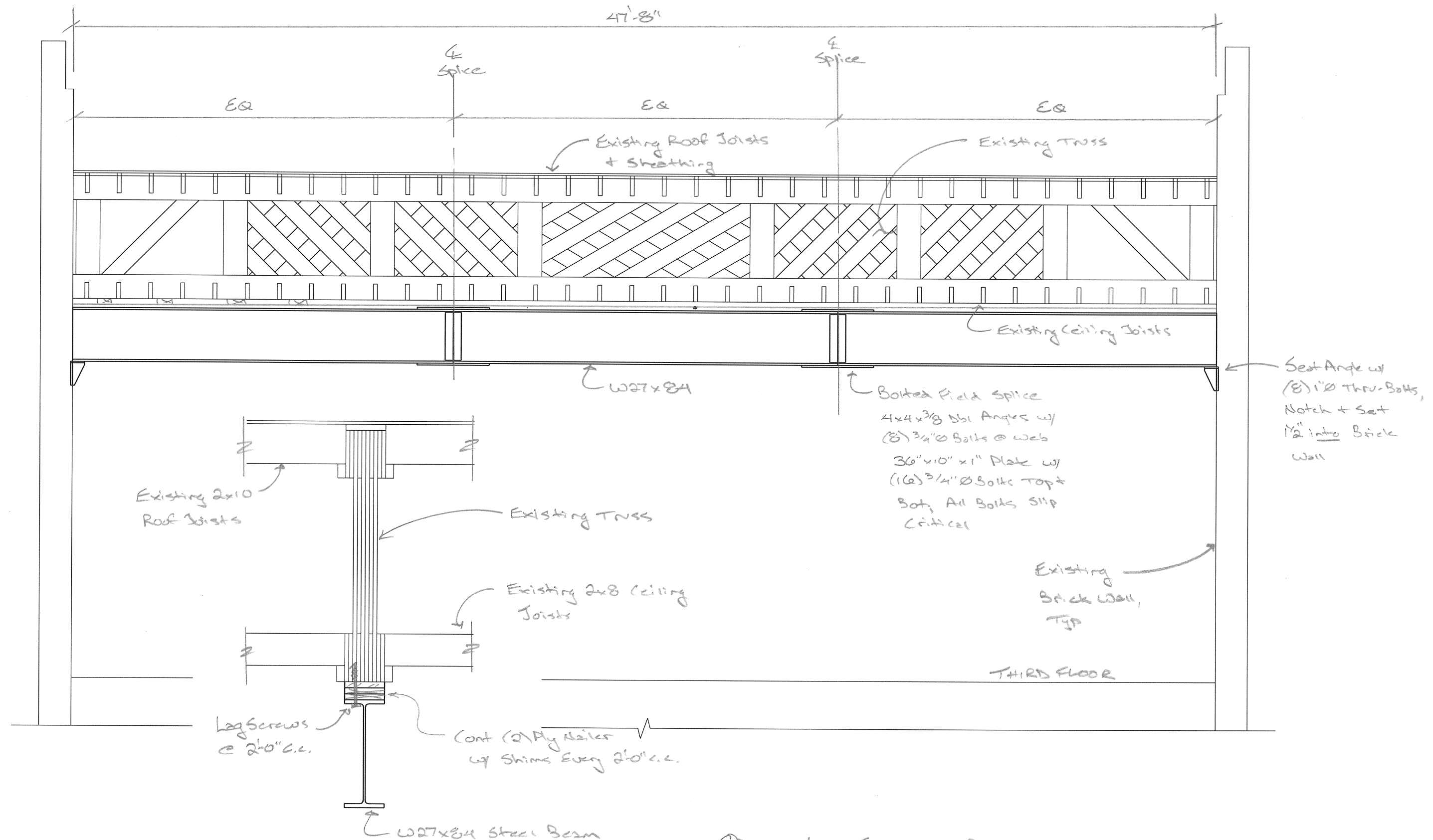
1/4 LONGITUDINAL SECTION SCALE 1/4" = 1'-0"



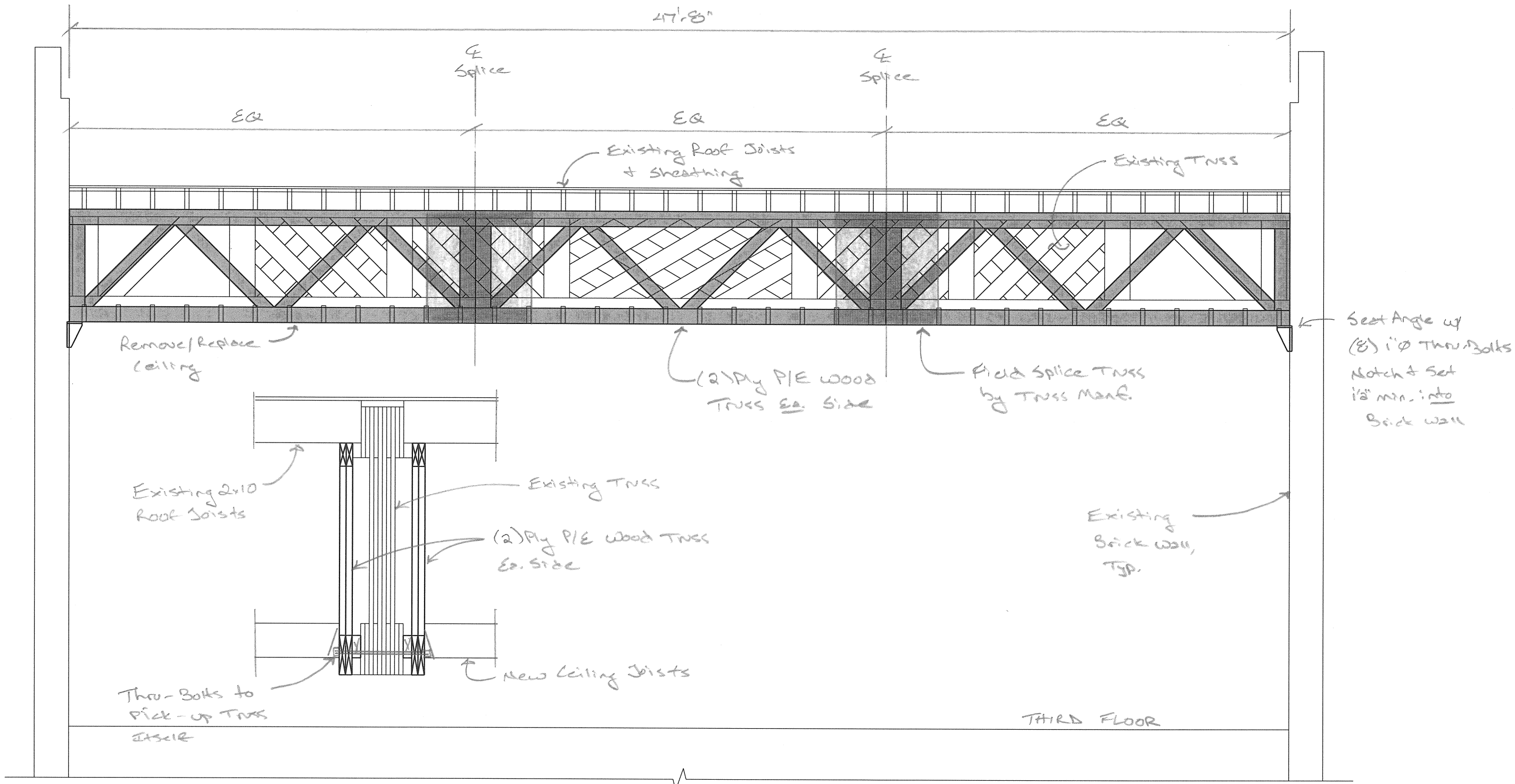
2/4 SECTION SHOWING STAGE SCALE 1/4" = 1'-0"



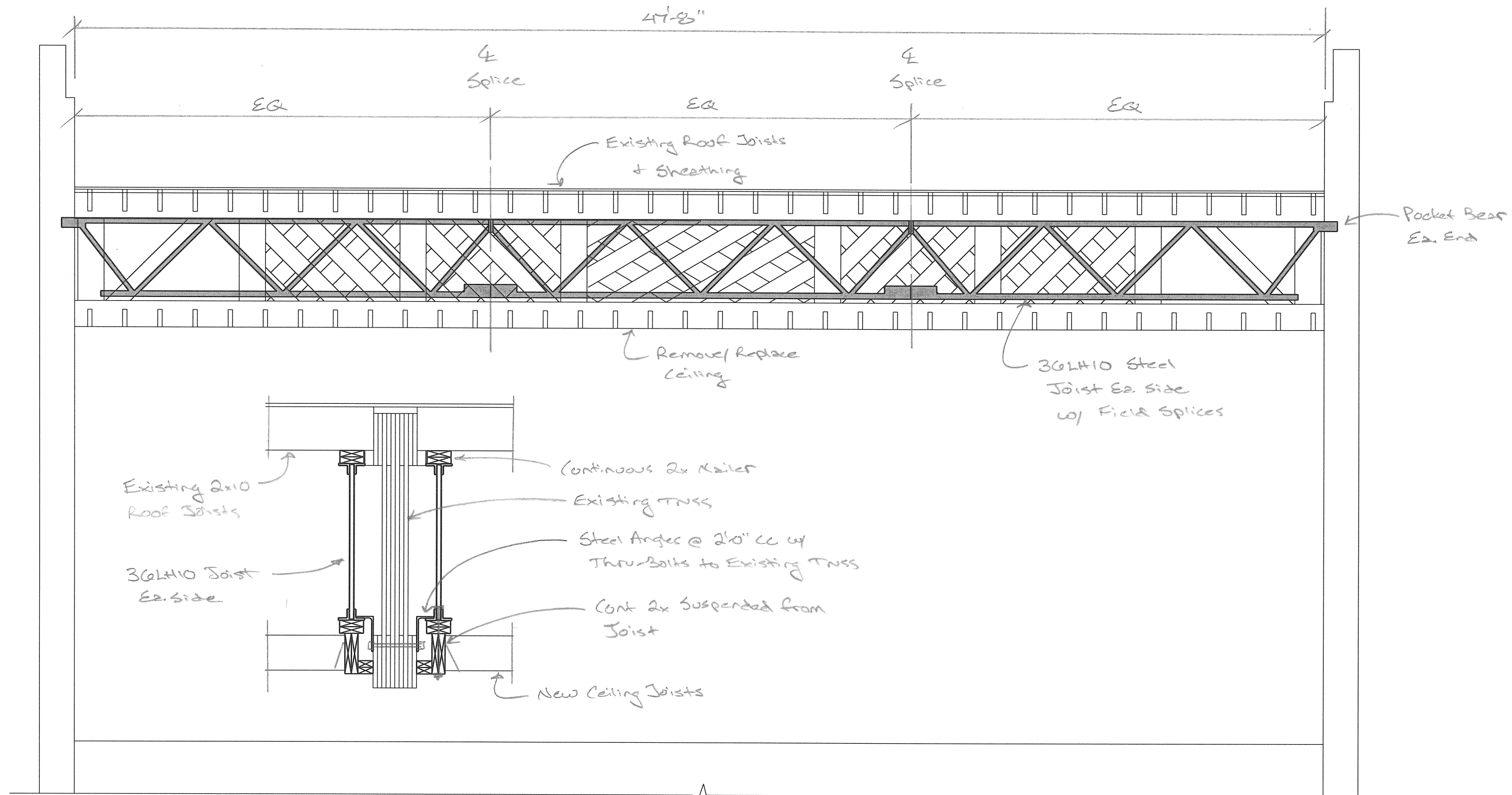
3/4 SECTION SHOWING REAR SCALE 1/4" = 1'-0"



OPTION 1 - STEEL W-BEAM  
 1/4" = 1'-0"

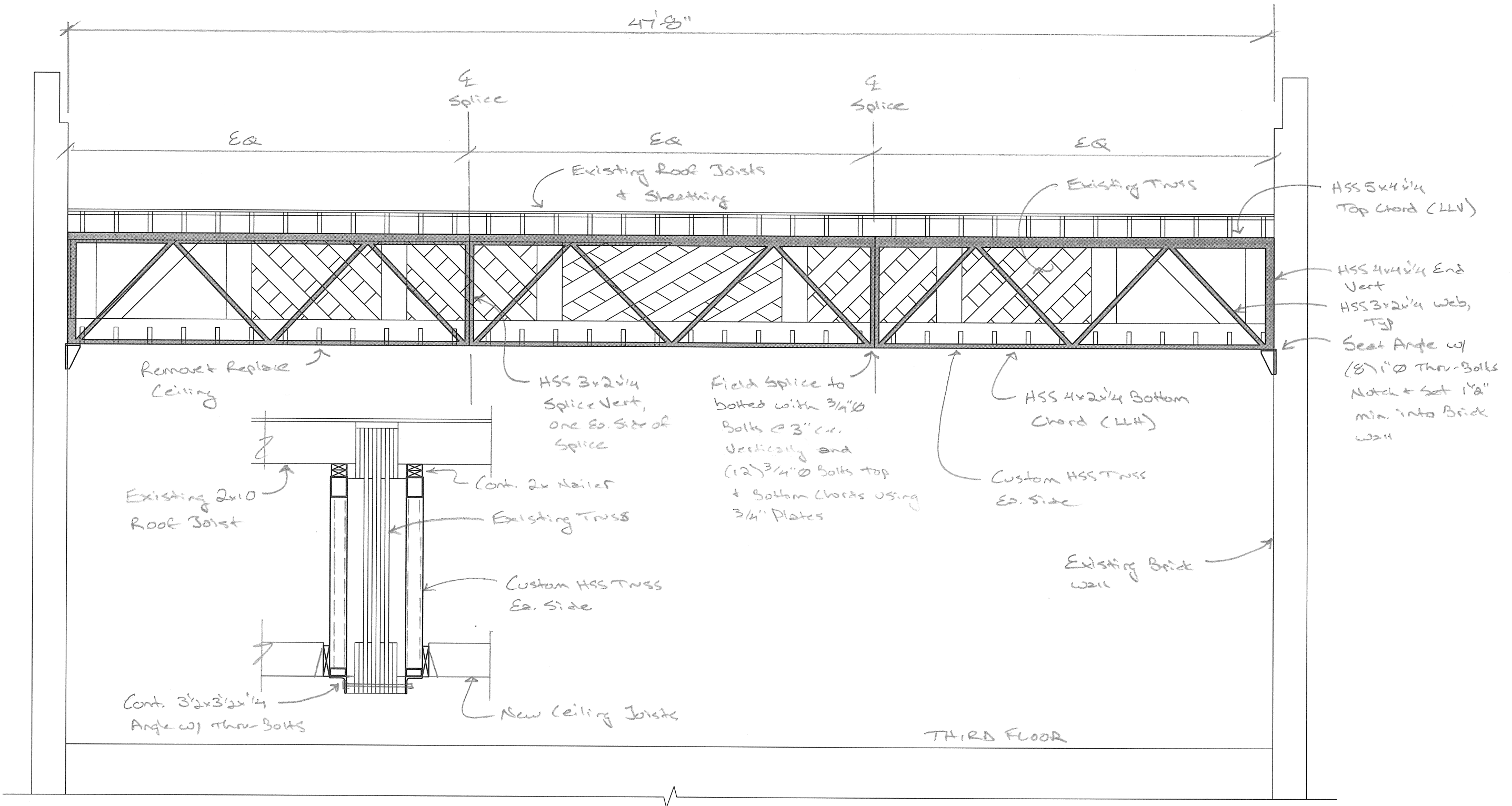


OPTION 2 - P/E WOOD TRUSS  
1/4" = 1'-0"



OPTION 3 - STEEL "BAR" JOIST

1/4" = 1'-0"



OPTION 4 - CUSTOM HSS TRUSS  
 1/4" = 1'-0"



OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



**Kevin Kuchenbecker**  
**Historic Preservation Officer**  
 Telephone (605) 578-2082  
 kevin@cityofdeadwood.com

## **MEMORANDUM**

---

**Date:** May 20, 2021  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Creation and Installation of Plaza and Flag Pole Deadwood Elementary

---

The Deadwood School District was founded in 1886 with the first high school graduation held the same year. The Lead School District was founded in 1895. These two school districts continued to operate separately for several decades until the Lead and Deadwood school systems were combined to form the Lead-Deadwood School District in 1971.

2021 marks the 50<sup>th</sup> year since the Lead and Deadwood schools were combined. In an effort to commemorate this collaboration of schools, the Lead-Deadwood Community Foundation in conjunction with the Lead-Deadwood School District are desiring to create of a small plaza with the installation of a flag pole and interpretive sign to be installed in the area of the cannon.

Staff is recommending the Deadwood Historic Preservation Commission support the project with financial assistance in the amount of \$10,000 to be paid out of the Public Education line item.

**Recommend Motion:** *Move to recommend to the City Commission to support the Lead-Deadwood Community Foundation's project to commemorate the 50<sup>th</sup> anniversary of the combining of the school districts of Lead and Deadwood with the installation and dedication of a new the flag pole, interpretive sign and plaza area for the flag in the amount of \$10,000 to be paid out of the Public Education line item.*

Date: May 19, 2021

Case No. 210081  
Address: 789 Main Street

### Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 789 Main Street, a contributing structure located in the Deadwood Historic Overlay Zone in the City of Deadwood.

Applicant: Frank Pavich  
Owner: PAVICH, FRANK A  
Constructed: c 1924

#### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

**The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:**

##### General Factors:

**1. Historic significance of the resource:** This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with early twentieth-century economic activity in the town of Deadwood. In general, this was a period of economic stagnation for the Deadwood region, and relatively few new buildings were constructed in the town. Of the houses which were constructed, however, nearly all displayed elements of the Craftsman architectural style. This mirrored national architectural trends of the period.

**2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission to replace the double hung windows on the left and right side of the second floor and one main floor rear window with egress to meet SDCL requirements for a vacation rental.

**Attachments:** No

**Plans:** No

**Photos:** Yes

**Staff Opinion:** This is another example of alterations being driven by the State of South Dakota's Department of Health. Staff will reach out to the State Historic Preservation Office to set a meeting with the Department of Health to discuss alternatives to the egress issue and possible use of the International Existing Building Code.

Staff conducted an onsite inspection of the windows. Upon review it was decided a wooden crank out with a three over one configuration to mimic the current windows would be appropriate similar to the project recently approved by the commission on lower Main Street.

The proposed work and changes does damage or destroy historic material of a historic resource but does not have an adverse effect on the overall character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:**

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.





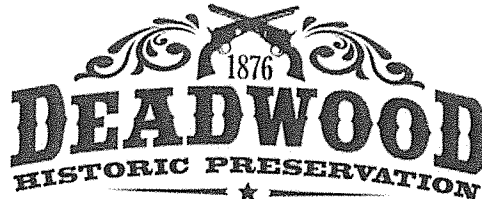








OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICIAL USE ONLY	
Case No.	210081
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	5/18/21
Date of Hearing	5/26/21

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	789 Main street, Deadwood SD
Historic Name of Property (if known):	

APPLICANT INFORMATION	
Applicant is:	<input type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name:	Frank A. Pavich
Address:	789 Main street
City:	Deadwood
State:	SD
Zip:	57732
Telephone:	605-641-0507
Fax:	
E-mail:	f.pavich1@hotmail.com

Architect's Name:	_____
Address:	_____
City:	_____
State:	_____
Zip:	_____
Telephone:	_____
Fax:	_____
E-mail:	_____

Contractor's Name:	JEFF Matthews
Address:	Dakota Winds,
City:	Lead
State:	SD
Zip:	57754
Telephone:	605-641-2839
Fax:	
E-mail:	

Agent's Name:	_____
Address:	_____
City:	_____
State:	_____
Zip:	_____
Telephone:	_____
Fax:	_____
E-mail:	_____

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)			
<input type="checkbox"/> New Construction	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> Other _____	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**ACTIVITY:** (CHECK AS APPLICABLE)

Project Start Date: \_\_\_\_\_ Project Completion Date (anticipated): \_\_\_\_\_

ALTERATION       Front     Side(s)     Rear

ADDITION       Front       Side(s)       Rear

NEW CONSTRUCTION     Residential     Other \_\_\_\_\_

ROOF       New       Re-roofing       Material

Front       Side(s)       Rear       Alteration to roof

GARAGE       New       Rehabilitation

Front       Side(s)       Rear

FENCE/GATE       New       Replacement

Front       Side(s)       Rear

Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

WINDOWS     STORM WINDOWS     DOORS       STORM DOORS

Restoration       Replacement       New

Front       Side(s)       Rear

Material wood      Style/type Case ment

PORCH/DECK       Restoration       Replacement       New

Front       Side(s)       Rear

Note: Please provide detailed plans/drawings

SIGN/AWNING       New       Restoration     Replacement

Material \_\_\_\_\_ Style/type \_\_\_\_\_ Dimensions \_\_\_\_\_

OTHER – Describe in detail below or use attachments

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Replace Double hung with Egress to meet  
SDCL for Vacation Rental

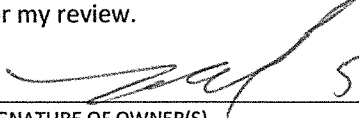
FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**SIGNATURES**

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 5-18-21  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: May 19, 2021

Case No. 210082  
Address: 51 Sherman Street

### Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 51 Sherman Street, a contributing structure located in the Deadwood Historic Overlay Zone in the City of Deadwood.

Applicant: Keating Resources  
Owner:  
Constructed: 1894/95/1897/1898-99/1903/1909/1916/1933

#### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

**The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:**

##### General Factors:

**1. Historic significance of the resource:** It is impossible to talk about this block one building at a time. The entire complex was the handiwork of W.E. Adams, mentioned previously with respect to his grocery store on Main Street. In 1894, Adams built the middle 25 feet of what is now the four-story building on this site. It started as a two-story building which housed Adams' grocery store, with its grand opening January 21, 1895. In 1897, Adams decided to build again, and constructed another 25-foot-wide building to the right of his store, three stories tall. At the same time, he added a third story to his first building. Griffith's Red Anvil Hardware Store was the first floor tenant in the new building. DeMouth's Ark occupied that storefront. In 1909, the fourth floors were added to the other two buildings, and they assumed their current appearance.

Adams turned exclusively to wholesale trade in 1901, and his storefront was occupied by Arnold Brother's Grocery Store. Adams continued to do business from the back rooms of his buildings, but required a more visible presence for his offices. In 1903 he built a tall one-story office building to the right of his three four-story buildings. That building has since been remodeled into what appears to be a two-story building. Notice the iron column on the 1903 building. Although it closely resembles the columns on the adjacent building, the flower is turned upside down. This column was manufactured in Deadwood by the Black Hills Foundry to match the other columns, which were manufactured out of state. The turned flower may have been done intentionally to differentiate the work, or to avoid potential problems. A one-story brick building was built to the right in 1916 to house Adams' delivery trucks. The final portion of the building was an extension of the garage built in 1933. The bricks used in those buildings are actually street pavers. How Adams obtained street paving brick is a mystery, but he may have purchased them when the streets were paved in 1907, while he was the city's mayor.

In 1941, Adams' company was purchased by Paxton-Gallagher of Omaha, and in 1949 the company announced that they were withdrawing from business in Deadwood and moving their base of operations to Rapid City. These buildings were sold to the Black Hills Mercantile Co. which had been operating out of the Cudahy Packing Co. Building since 1919 (#82). They constructed the loading dock entrance on the left side of the building in 1951. The upper stories have been occupied as professional offices and residential apartments.

**2. Architectural design of the resource and proposed alterations:** The applicant plans a renovation of the exterior space to the north of the structure. This renovation will complement architectural improvements to the building. The proposed patio space will

include clay brick paver on street side with a timber/deck patio on the alley side (flush with paver patio). There will be a shade structure considered with addition of complementary site structures and landscaping.

**Attachments:** Yes

**Plans:** Yes

**Photos:** Yes

**Staff Opinion:** The proposed work and changes does not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:**

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

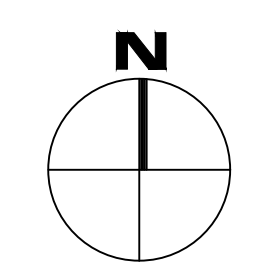


**TerraSite**  
Design

Civil Engineering | Landscape Architecture | Planning

1635 Deadwood Ave  
Rapid City, SD 57702  
(605) 791-1736

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**



0 5 10'  
HORIZ. SCALE: 1"=5'

**ADAMS BLOCK**  
**PEDESTRIAN**  
**PLAZA**

DEADWOOD, SD

REVISIONS:

Project Number: 21-112  
Date: 5/17/2021

**LANDSCAPE PLAN RENDER**  
**L-101**

S:\Projects\21-112 Adams Block Pedestrian Plaza\Drawings\0 Landscape\Sheet Files\112-LANDSCAPPLAN.dwg ct 5/17/2021 3:15:08 PM



EXISTING PLAZA

EXISTING PLANTER

EXISTING SCULPTURE

EXISTING WALL W/ NEW PIPE  
AND KNUCKLE RAIL

SIDEWALK

CHEEK WALL W/ PIPE  
AND KNUCKLE RAIL

WASTE RECEPTACLE

PIPE AND KNUCKLE GUARDRAIL

PAVER PATIO

TABLE WITH CHAIRS

SUPPORT WALL FOR DECK

TRENCH DRAIN

RETAINING WALL

TRENCH DRAIN

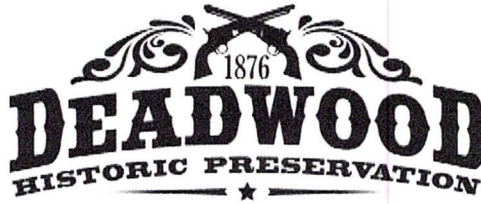
STAIRS TO DECK

DROP-OFF AREA

DECK FLUSH  
W/ PAVER PATIO

STORM INLET

OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



<b>FOR OFFICE</b>	Section 7 Item b.
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	51 SHERMAN STREET - PLAZA
Historic Name of Property (if known):	"ADAMS BLOCK"

APPLICANT INFORMATION	
Applicant is:	<input type="checkbox"/> owner <input type="checkbox"/> contractor <input checked="" type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: KEATING RESOURCES
Address: 107 S. MAIN STR.
City: ATKINSON State: NE Zip: 68713
Telephone: 630-688-9967 Fax: _____
E-mail: ALECC@KEATINGRESOURCES.COM

Architect's Name: TERPASTIE DESIGN
Address: 1035 DEADWOOD AVE
City: RAPID CITY State: SD Zip: 57702
Telephone: 605 791 1736 Fax: _____
E-mail: EIRIK.HEIKES@TERPASTIEDESIGN.COM

Contractor's Name: TBD
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input checked="" type="checkbox"/> Other EXTERIOR PLAZA / LANDSCAPE	<input checked="" type="checkbox"/> Awning	<input type="checkbox"/> Sign	

Updated July 6, 2015

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>JUNE 2021</u>		Project Completion Date (anticipated): _____	
<input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material <u>SOLAR FABRIC</u> Style/type <u>TENSILE</u> Dimensions <u>SEE SITE PLAN</u>			
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

THE APPLICANT PLANS A RENNOVATION OF EXTERIOR SPACE TO NORTH OF SPORTSBOK FACILITY @ 51 SHERMAN STREET. THIS RENNOVATION WILL COMPLEMENT ARCHITECTURAL IMPROVEMENTS TO BUILDING. THE EXTERIOR SPACE WILL INCLUDE CLAY BRICK PAVER PATIO ON STREET SIDE WITH A TIMBER / DECK PATIO ON ALLEY SIDE (FLUSH WITH PAVER PATIO). THERE IS A SHADE

STRUCTURE CONSIDERED WITH ADDITION OF COMPLEMENTARY SITE STRUCTURES AND LANDSCAPING. SEE LANDSCAPE PLAN (RENDER) L-101 FOR REFERENCE.



## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

#### ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

#### PAINTING, SIDING:

- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.















2344 - Burlington Depot - Deadwood, S. D.







Date: 1/22/21

Case No. 210083  
Address: 27 Deadwood Street

### Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 27 Deadwood Street, a contributing structure located in the Deadwood City Historic Planning Unit in the City of Deadwood.

Applicant: Troy Gorons  
Owner: Latchstring Getaways LLC  
Constructed: 1896

#### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

**The Historic District Commission shall use the following criteria in granting or denying the Project Approval:**

##### General Factors:

**Historic significance of the resource:** This building is a contributing resource in the Deadwood National Historic Landmark District. This striking building with its horse head sculpture has mystified visitors for years. In fact, F.D. Smith had a feed store here, and horse-drawn delivery wagons could load in the basement and exit over a ramp into the street. Smith opened his business at this location in 1893 in a one story brick building. He announced his plans to add a second story in 1896, but ended up with this beautiful three-story building instead, built with stone from Whitewood Quarry. The location of this building adjacent to two railroad passenger stations made it a natural place for the City's Post Office from 1897 until 1907.

**Architectural design of the resource and proposed alterations:** Applicant is requesting permission to construct a patio off of Deadwood Street along the front left parking lot side of the structure. It will be a 33'x18' patio with stamped/colored concrete to match the brick on Deadwood Street. The patio will have a manufactured metal railing and will match the existing railing.

**Attachments:** Yes

**Plans:** Yes

**Photos:** Yes

**Staff Opinion:** The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

##### Motions available for commission action:

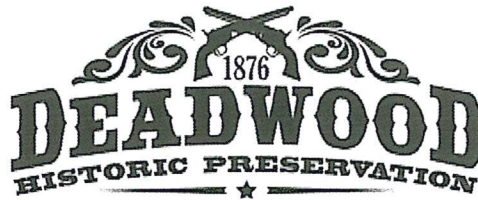
**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.



OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE	Section 7 Item c.
Case No. <u>210083</u>	
<input type="checkbox"/> Project Approval	
<input checked="" type="checkbox"/> Certificate of Appropriateness	
Date Received <u>5/18/21</u>	
Date of Hearing <u>5/26/21</u>	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>27 Deadwood Street, Deadwood, SD 57732</u>
Historic Name of Property (if known): <u>Iron Horse Inn &amp; Casino</u>

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Latchstring Getaways LLC</u>
Address: <u>20751 Shirttail Gulch Road</u>
City: <u>Sturgis</u> State: <u>SD</u> Zip: <u>57785</u>
Telephone: <u>1.320.894.7482</u> Fax: _____
E-mail: <u>troygorans@gmail.com</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>P &amp; L Carpentry</u>
Address: <u>22894 S Rochford Rd</u>
City: <u>Hill City</u> State: <u>SD</u> Zip: <u>57745</u>
Telephone: <u>1.605.574.3938</u> Fax: _____
E-mail: <u>plcowboy@yahoo.com</u>

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Construction <input type="checkbox"/> General Maintenance <input type="checkbox"/> Other _____	<input type="checkbox"/> New Building <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Awning	<input type="checkbox"/> Addition <input type="checkbox"/> Wood Repair <input type="checkbox"/> Windows <input type="checkbox"/> Sign	<input type="checkbox"/> Accessory Structure <input type="checkbox"/> Exterior Painting <input checked="" type="checkbox"/> Porch/Deck <input type="checkbox"/> Fencing

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>					
Project Start Date: <u>6/1/21</u>		Project Completion Date (anticipated): <u>6/30/21</u>			
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____				
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New		<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New		<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>		
<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement		<input type="checkbox"/> New	
<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear			
Material _____ Style/type _____					
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement		<input checked="" type="checkbox"/> New
	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New		<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments					

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

33' x 18' Concrete Deck, stamped/colored, using same stamp/style as Rodeo Grounds/under bleacher  
section and compatible with Deadwood Street bricks. Deck will have a manufactured metal railing and  
will match existing railing - 42" High (see attached drawing).

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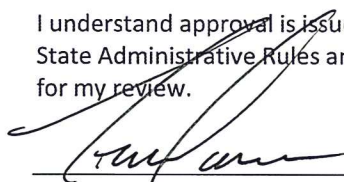
FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 5-18-21  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

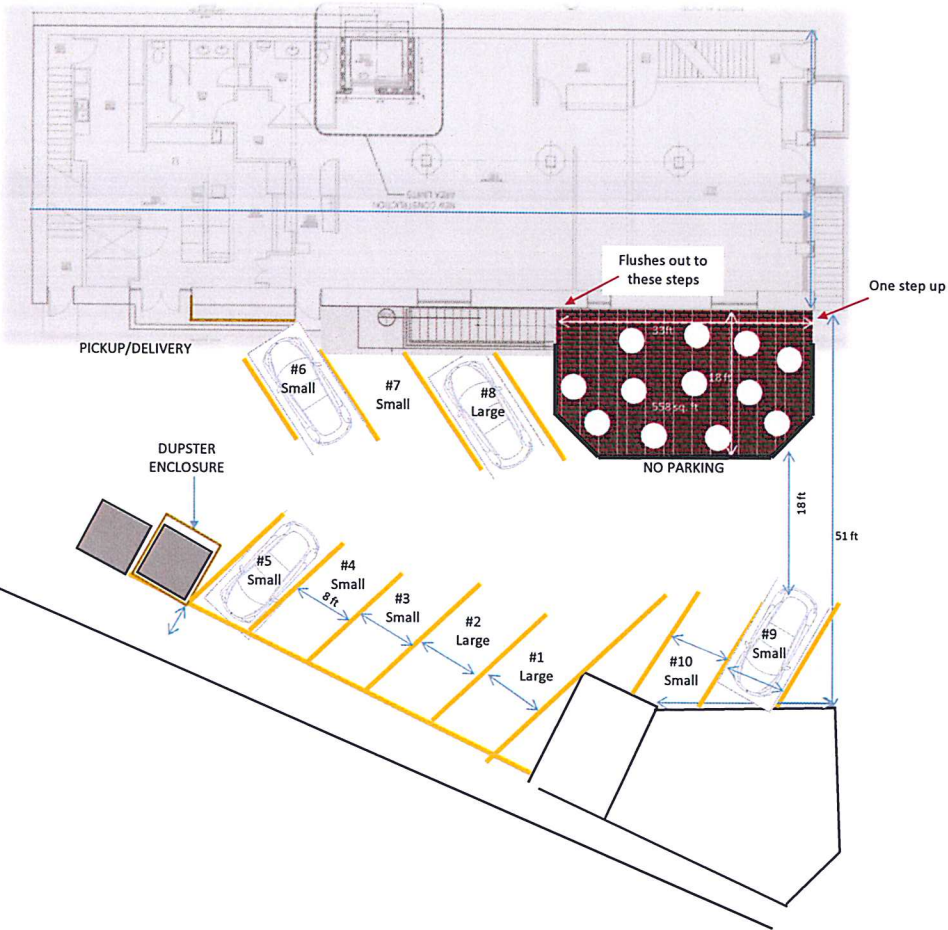
**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

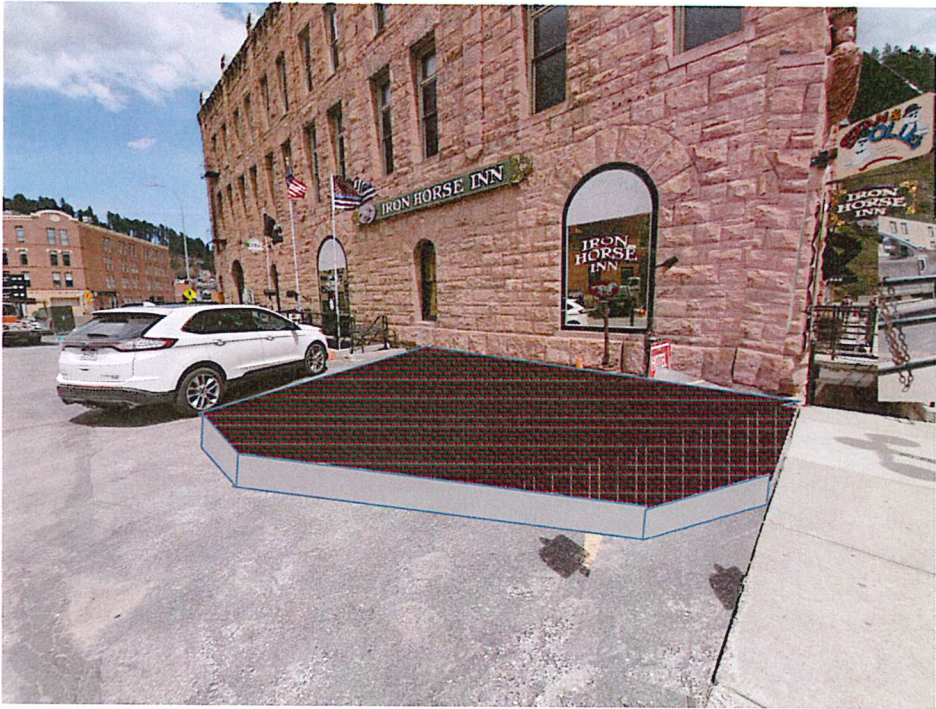
The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.











Railing



Custom railings to match existing style. Considering the existing square "netting" look on the bottom section, and iron bars for the top section.

216" x 396"

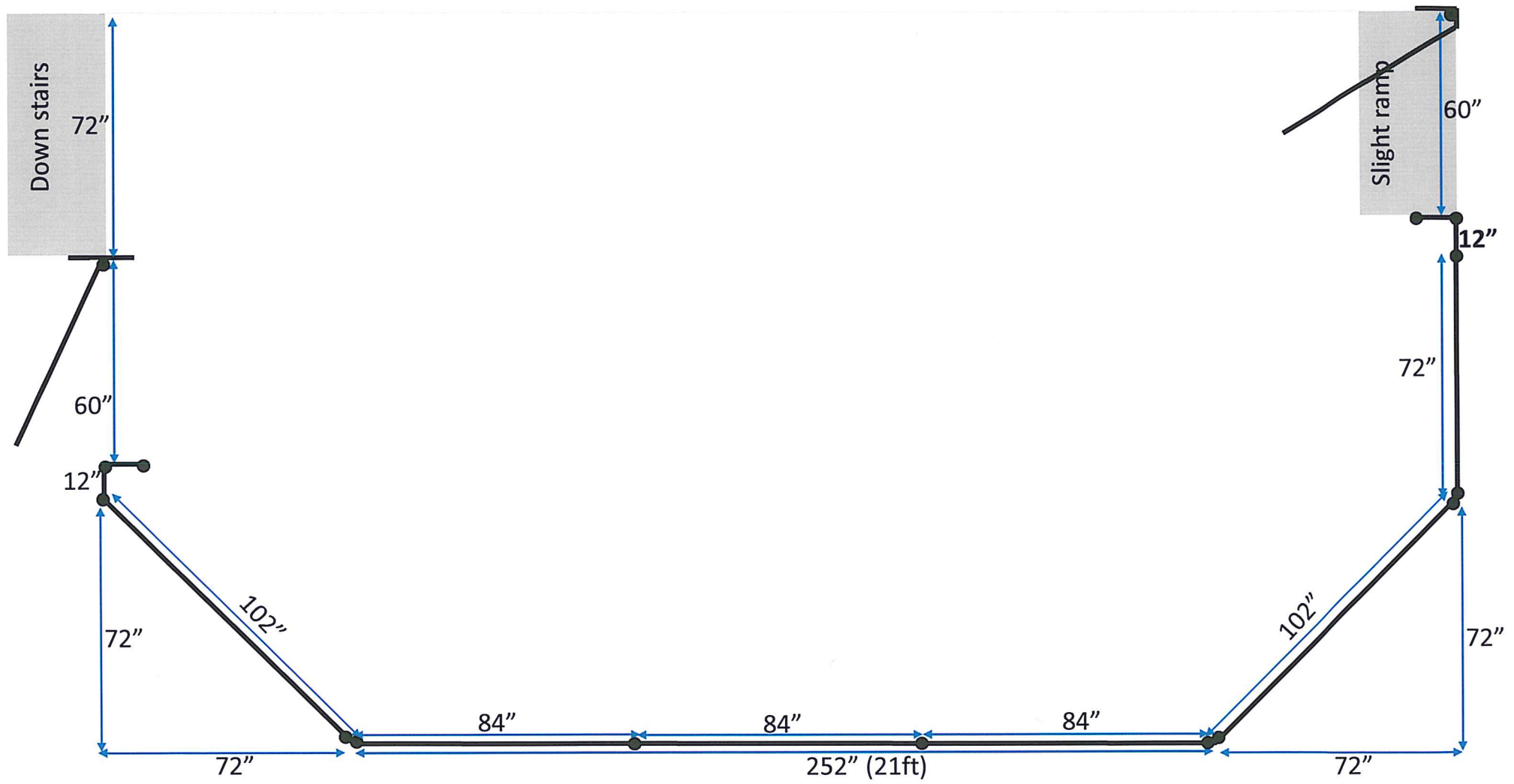
1/32 .031

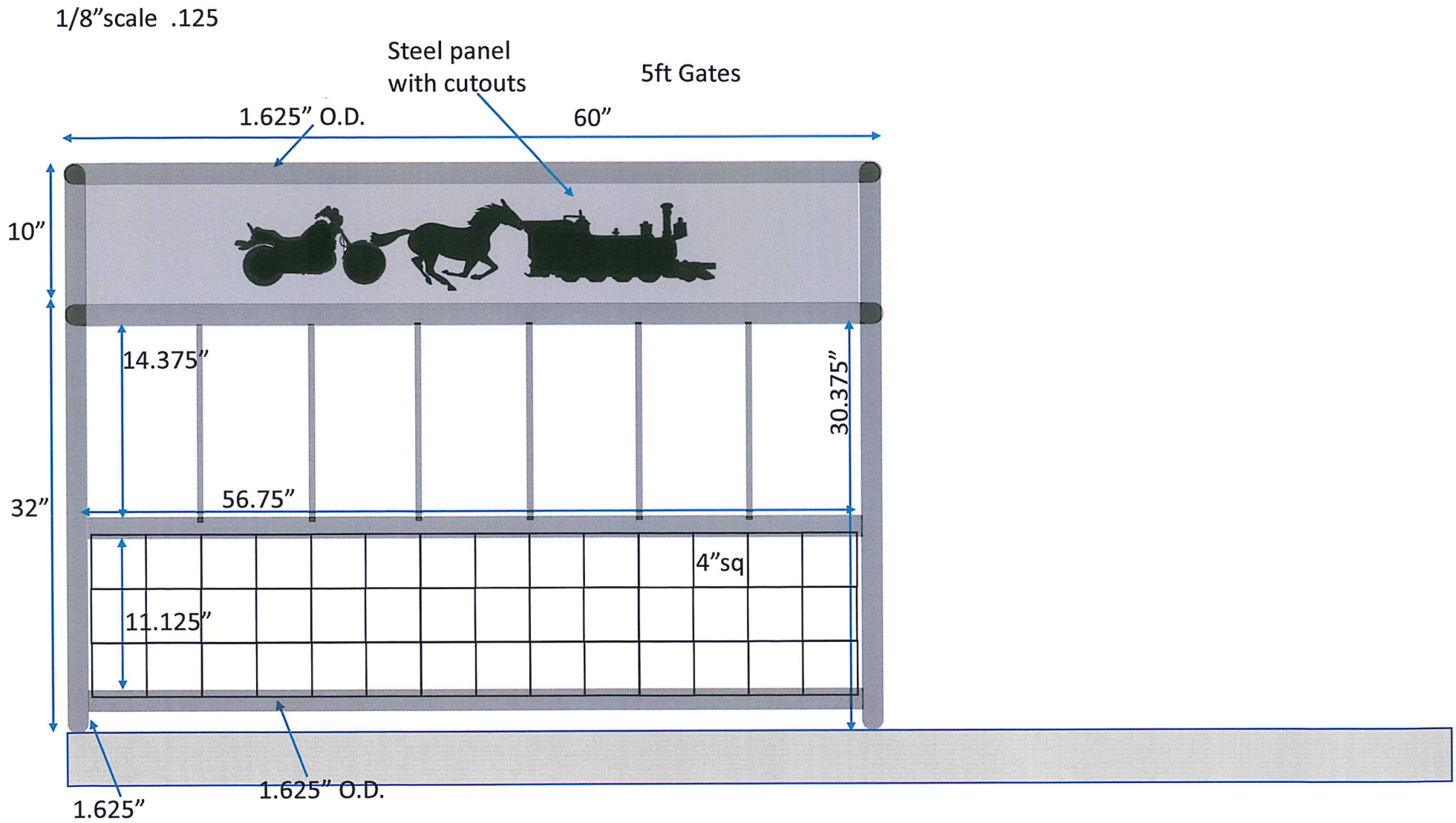
CONCRETE DRAWING



216" x 396"  
1/32 .031

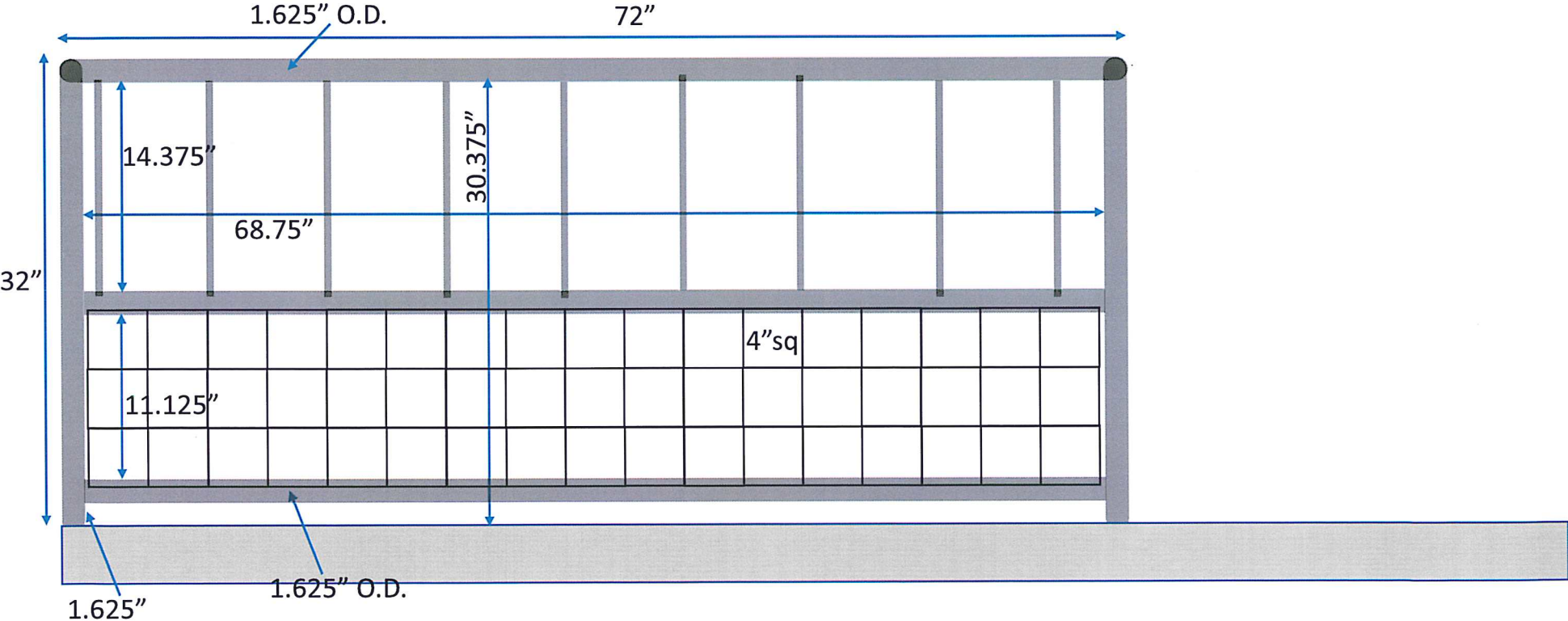
### RAILING DRAWING





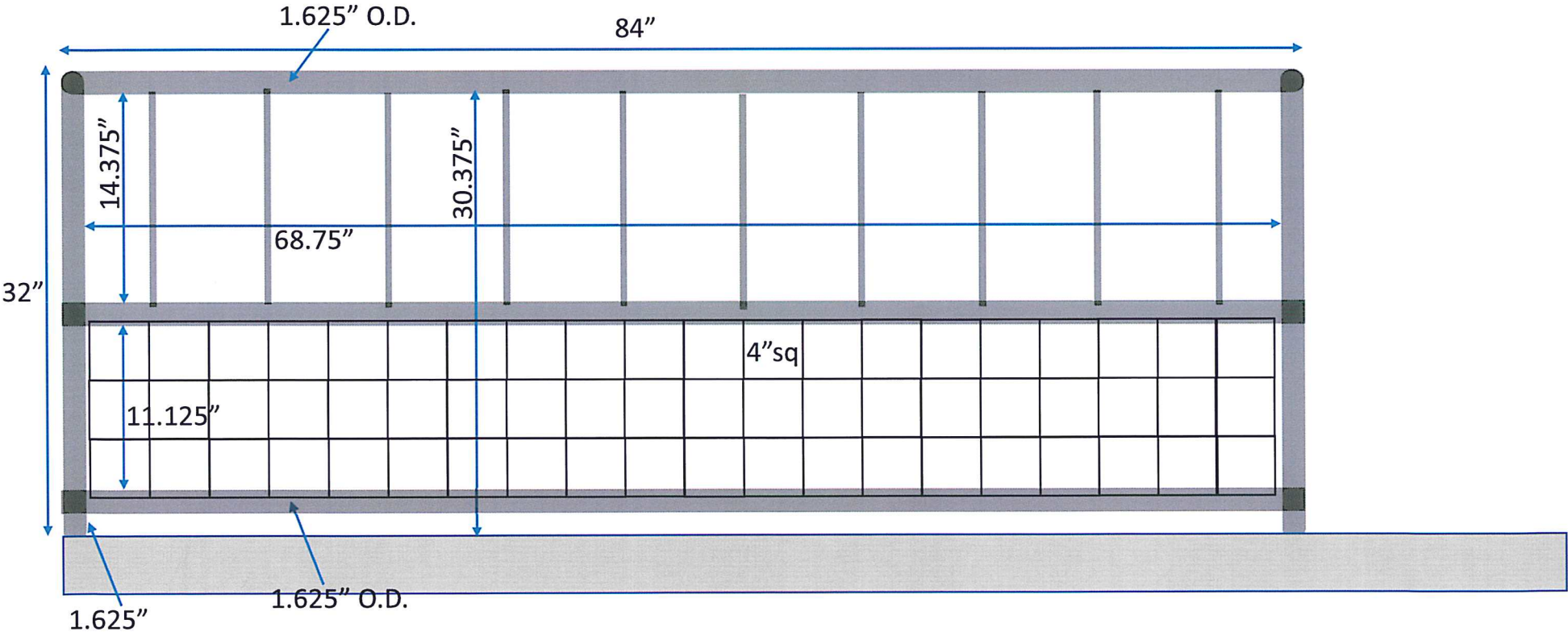
1/8" scale .125

6ft Sections



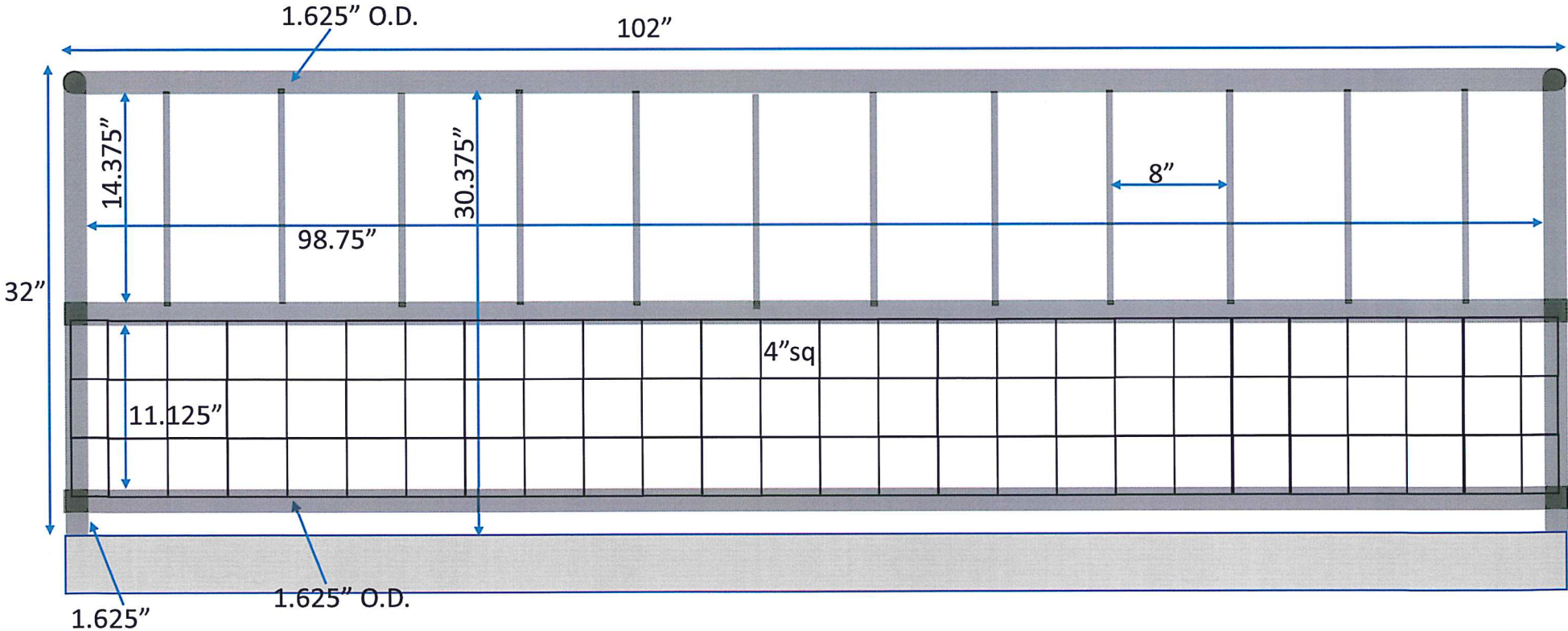
1/8" scale .125

84" Sections



1/8" scale .125

102" Sections







Date: May 20, 2021

Case No. H210087  
Address: 555 MAIN ST

### Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 555 MAIN ST, a non-contributing structure located in the Deadwood City Planning Unit in the City of Deadwood.

Applicant: Deadwood Hotels, LLC  
Owner: Deadwood Hotels, LLC  
Constructed: 1941

### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

**The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:**

#### General Factors:

**1. Historic significance of the resource:** The structure located at 555 Main is contributing and was built as a gas station, auto repair garage and parts store; this building is made up of several additions to a small central core. It was operated for many years by Eddie Rypkema, Mayor of Deadwood from 1948-1952.

**2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission to add brick to the exterior front façade of the structure.

**Attachments:** Yes

**Plans:** Yes

**Photos:** Yes

#### Staff Opinion:

After extensive research on the actual construction date of this structure and consultation with the State Historic Preservation Office, we have determined it is a non-contributing resource. It was built in 1941 according to our research (See article below). This puts the construction outside of the period of significance for the National Historic Landmark. Previous information in Boots on Bricks and databases had the incorrect date of construction.

In addition to the news clipping attachment, here is what we found out on the buildings that made up Eddie's Tire (539 and 553 Main Street)

August 3, 1941 is when Eddie built a new service station according to the newspaper.



The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

Name	House Number	Street	COMBINED STREET	Occupation	Employer	Occupancy	Business	DIRECTORY
Rickel, E.J.	531	Main	531 Main	Carpenter	Fish & Hunter	rooms		1898 Residential Directory
McCall, M.T.	531	Main	531 Main	Lodging House				1898 Residential Directory
Fish & Hunter	531	Main	531 Main		Groceries, Provisions, etc.			1898 Residential Directory
Scratch, Wm.	531	Main	531 Main	Mason	D. & D.	rooms		1898 Residential Directory
Moran, Thos.	531	Main	531 Main	Laborer	D. & D.	rooms		1898 Residential Directory
Allison, M.	531	Main	531 Main	Laborer	D. & D.	res.		1898 Residential Directory
Kneeland, Jas.	531	Main	531 Main	Janitor	U.S. Assay Office	res.		1898 Residential Directory
McDurmott, Thos.	531	Main	531 Main	Laborer	D. & D.	res.		1898 Residential Directory
Bolton, John	531	Main	531 Main	Mason		res.		1898 Residential Directory
Krause, F.H.	531	Main	531 Main	Clerk	Fish & Hunter	res.		1898 Residential Directory
Cowan, Geo. B.	531	Main	531 Main	Laborer	D. & D.	rooms		1898 Residential Directory
Wilson, John R.	531	Main	531 Main	Laborer	D. & D.	boards		1898 Residential Directory
Kennison, J.E.	531	Main	531 Main					1947 Phone Directory
McCormick, George F.	531	Main	531 Main					1947 Phone Directory
	531	Main	531 Main				Odou Motor	1947 Phone Directory
	531	Main	531 Main				Studebaker Sales & Service	1947 Phone Directory
Studebaker Sales & Service	531	Main	531 Main				Studebaker Sales & Service	1952 Phone Directory
Nelson, Douglas	531	Main	531 Main					1952 Phone Directory
Odou Motor Co.	531	Main	531 Main				Odou Motor Co.	1952 Phone Directory
Odou Motor Co.	531	Main	531 Main				Odou Motor Co.	1953 Phone Directory
Studebaker Sales & Service	531	Main	531 Main				Studebaker Sales & Service	1953 Phone Directory
Odou Motor Co	531	Main	531 Main				Odou Motor Co	1955 Phone Directory
Studebaker Sales & Serv	531	Main	531 Main				Studebaker Sales & Serv	1955 Phone Directory
Odou Motor Co.	531	Main	531 Main				Odou Motor Co.	1957 Phone Directory
Studebaker-Packard Sales & Ser	531	Main	531 Main				Studebaker-Packard Sales & Ser	1957 Phone Directory
Odou Motor Company	531	Main	531 Main				Odou Motor Company	1959 Phone Directory
Studebaker-Packard Sales & Ser	531	Main	531 Main				Studebaker-Packard Sales & Ser	1959 Phone Directory
	541	Main	541 Main				Dodge-Plymouth Sales & Serv	1947 Phone Directory

	541	Main	541 Main				Eddie's Sales & Serv	1947 Phone Directory
Dodge Plymouth Sales & Service	541	Main	541 Main				Dodge Plymouth Sales & Service	1952 Phone Directory
Eddie's Sales & Serv	541	Main	541 Main				Eddie's Sales & Serv	1952 Phone Directory
Dodge-Plymouth Sales & Serv	541	Main	541 Main				Dodge-Plymouth Sales & Serv	1953 Phone Directory
Eddie's Sales & Service	541	Main	541 Main				Eddie's Sales & Service	1953 Phone Directory
Eddie's Sales & Serv	541	Main	541 Main				Eddie's Sales & Serv	1955 Phone Directory
Dodge Plymouth Sales & Serv	541	Main	541 Main				Dodge Plymouth Sales & Serv	1957 Phone Directory
Eddie's Sales & Service	541	Main	541 Main				Eddie's Sales & Service	1957 Phone Directory
Eddie's Sales & Service	541	Main	541 Main				Eddie's Sales & Service	1959 Phone Directory
Eddie's Sales & Service	541	Main	541 Main				Eddie's Sales & Service	1960 Phone Directory
Eddie's Sales & Service	541	Main	541 Main				Eddie's Sales & Service	1961 Phone Directory
Hines, Roy	551	Main	551 Main	Baker				1933 Rresidential Directroy
McDonald, Harry L.	551	Main	551 Main					1933 Rresidential Directroy
	551	Main	551 Main				Eddie's Tire & Glass	1941 Phone Directory
	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1941 Phone Directory
	551	Main	551 Main				Rypkema, Eddie Tire & Glass	1947 Phone Directory
	551	Main	551 Main				General Tires	1947 Phone Directory
	551	Main	551 Main				Eddie's Tire Glass	1947 Phone Directory
Rypkema, Eddie, Tire & Glass	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1952 Phone Directory

Eddie's Tire & Glass	551	Main	551 Main				Eddie's Tire & Glass	1952 Phone Directory
Rypkema, Eddie, Tire & Glass	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1953 Phone Directory
Eddie's Tire & Galss	551	Main	551 Main				Eddie's Tire & Galss	1953 Phone Directory
Kent, K. M.	551	Main	551 Main					1953 Phone Directory
Eddie's Tire & Glass	551	Main	551 Main				Eddie's Tire & Glass	1955 Phone Directory
Rypkema, Eddie, Tire & Glass	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1955 Phone Directory
Eddie's Tire & Glass	551	Main	551 Main				Eddie's Tire & Glass	1957 Phone Directory
Residence	551	Main	551 Main				Residence	1957 Phone Directory
Rypkema, Eddie Tire & Glass	551	Main	551 Main				Rypkema, Eddie Tire & Glass	1957 Phone Directory
Eddie's Tire & Glass Service	551	Main	551 Main				Eddie's Tire & Glass Service	1959 Phone Directory
Rypkema, Eddie, Tire & Glass	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1959 Phone Directory
Eddie's Trie & Glass Serv	551	Main	551 Main				Eddie's Trie & Glass Serv	1960 Phone Directory
Rypkema, Eddie, Tire & Glass	551	Main	551 Main				Rypkema, Eddie, Tire & Glass	1960 Phone Directory
Eddie's Tire & Glass	551	Main	551 Main				Eddie's Tire & Glass	1961 Phone Directory



<b>FOR OFFICIAL USE</b>	<i>Section 7 Item d.</i>
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: 555 Lower Main St., Deadwood, SD
Historic Name of Property (if known): Tin Lizzie Gaming Resort

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Deadwood Hotels, LLC</u>
Address: <u>502 West Blvd.</u>
City: <u>Rapid City</u> State: <u>SD</u> Zip: <u>57701</u>
Telephone: <u>605-341-0500</u> Fax: _____
E-mail: <u>CalebA@livhotelgroup.com</u>

Architect's Name: <u>Chamberlin Architects</u>
Address: <u>725 St. Joseph St, Ste. B1</u>
City: <u>Rapid City</u> State: <u>SD</u> Zip: <u>57701</u>
Telephone: <u>605-355-6804</u> Fax: _____
E-mail: <u>bburns@chamberlinarchitects.com</u>

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT		
<input checked="" type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Construction <input type="checkbox"/> New Building <input type="checkbox"/> General Maintenance <input type="checkbox"/> Re-Roofing Other _____ <input checked="" type="checkbox"/> Siding <input type="checkbox"/> Awning	<input type="checkbox"/> Addition <input type="checkbox"/> Wood Repair <input type="checkbox"/> Windows <input type="checkbox"/> Sign	<input type="checkbox"/> Accessory Structure <input type="checkbox"/> Exterior Painting <input type="checkbox"/> Fencing



FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input checked="" type="checkbox"/> <b>ALTERATION</b>	<input checked="" type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential		<input type="checkbox"/> Other _____
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOW</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input checked="" type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments			

### DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Add brick to Main Street exterior facade. See attached

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

### SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

*Caleb J Arceneaux* May 19, 2021

\_\_\_\_\_  
SIGNATURE OF OWNER(S)

\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)

\_\_\_\_\_  
DATE

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SIGNATURE OF OWNER(S)

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SIGNATURE OF OWNER(S)

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DATE

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SIGNATURE OF AGENT(S)

\_\_\_\_\_  
DATE

### APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

#### PAINTING, SIDING:

- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.



### COLOR PALLETE

- BRICK TYPE A: HEBRON "MAROON"
- BRICK TYPE B: HEBRON "SANTANA ROSE"
- BRICK TYPE C: HEBRON "SUNSET"
- PARAPET COPING, DOOR/WINDOW FRAMES, AWNINGS, DECORATIVE METAL & PORTICO

Case No. 210078

Address: 19 Centennial Ave

Date: May 18, 2021

### Staff Report

The applicant has submitted an application for Project Approval for work at 19 Centennial Ave, a Contributing structure located in the Forest Hill Planning Unit in the City of Deadwood.

Applicant: Robb & Wendy Nelson

Owner:

Constructed: 1896

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

**The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:**

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

##### 2. Architectural design of the resource and proposed alterations:

On October 15, 2020 the applicant received a project approval to remove and reuse 30' of the existing historic retaining wall to construct a driveway and garage in the open lot next to the structure and replace the retaining wall approximately 15' on each side of the new driveway. Due to the steep slope of the site, the applicant is concerned with the amount of earth that will be excavated to build the garage. The required setback for this project is 20' based on Zoning requirements. The applicant will be requesting a variance of the requirement to 10'. This will reduce the amount of excavation, reduce the cost of structure to retain earth and increase safety of the excavation and construction crew.

**Attachments: yes**

**Plans: yes**

**Photos: yes**

#### Staff Opinion:

The Historic Preservation Commission is to review the design and the Planning & Zoning Commission will take our review and decision under consideration when granting the requested variance. It is staff's opinion, the change of location on the lot will improve the design and impact on the site and setting of the property; therefore, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

---

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

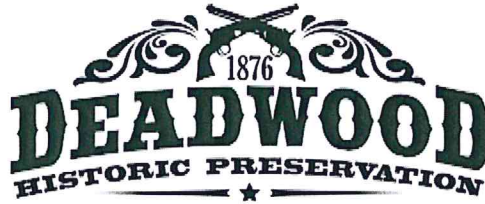
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



<b>FOR OFFICE</b>	Section 8 Item a.
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>19 CENTENNIAL</u>
Historic Name of Property (if known): _____

APPLICANT INFORMATION
Applicant is: <input type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>ROBB &amp; WENDY NELSON</u>
Address: <u>19 CENTENNIAL</u>
City: <u>DEADWOOD</u> State: <u>SD</u> Zip: _____
Telephone: <u>303-909-6491</u> Fax: _____
E-mail: _____

Architect's Name: <u>CHAMBERLIN ARCHITECTS</u>
Address: <u>(BRAD BURNS)</u>
City: _____ State: _____ Zip: _____
Telephone: <u>605-355-6804</u> Fax: _____
E-mail: _____

Contractor's Name: <u>TBD</u>
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT
<input type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Wood Repair <input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Fencing
<input type="checkbox"/> Other <u>VARIANCE</u> <input type="checkbox"/> Awning <input type="checkbox"/> Sign





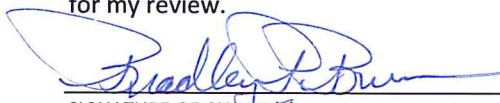
FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**SIGNATURES**

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 5/5/2021  
SIGNATURE OF OWNER(S) DATE  
ARCHITECT

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

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SIGNATURE OF AGENT(S) DATE

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SIGNATURE OF OWNER(S) DATE

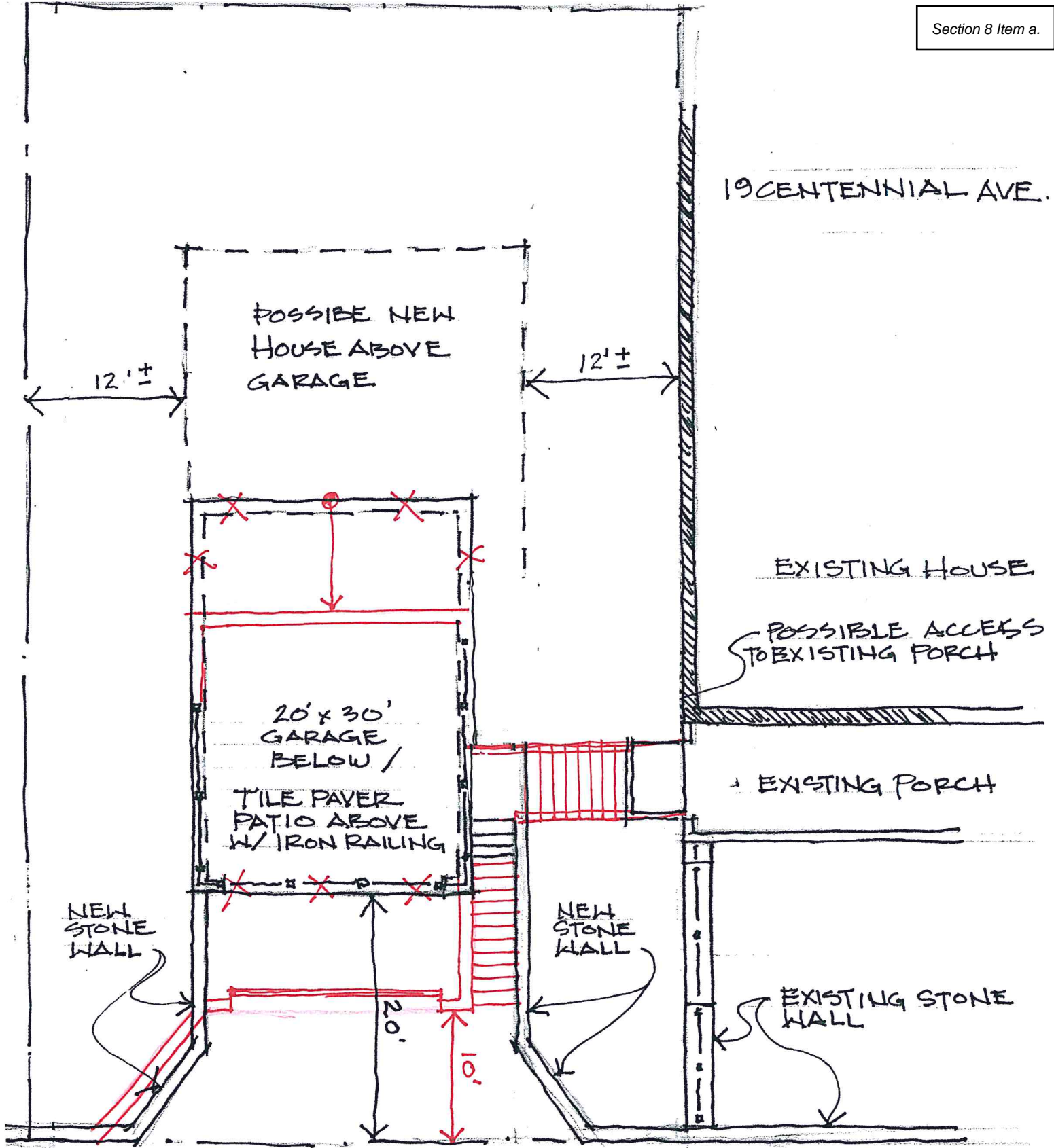
\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



19 CENTENNIAL AVE.

POSSIBLE NEW HOUSE ABOVE GARAGE

12'±

12'±

EXISTING HOUSE

POSSIBLE ACCESS TO EXISTING PORCH

20' x 30' GARAGE BELOW /

TILE PAVER PATIO ABOVE W/ IRON RAILING

EXISTING PORCH

NEW STONE WALL

NEW STONE WALL

EXISTING STONE WALL

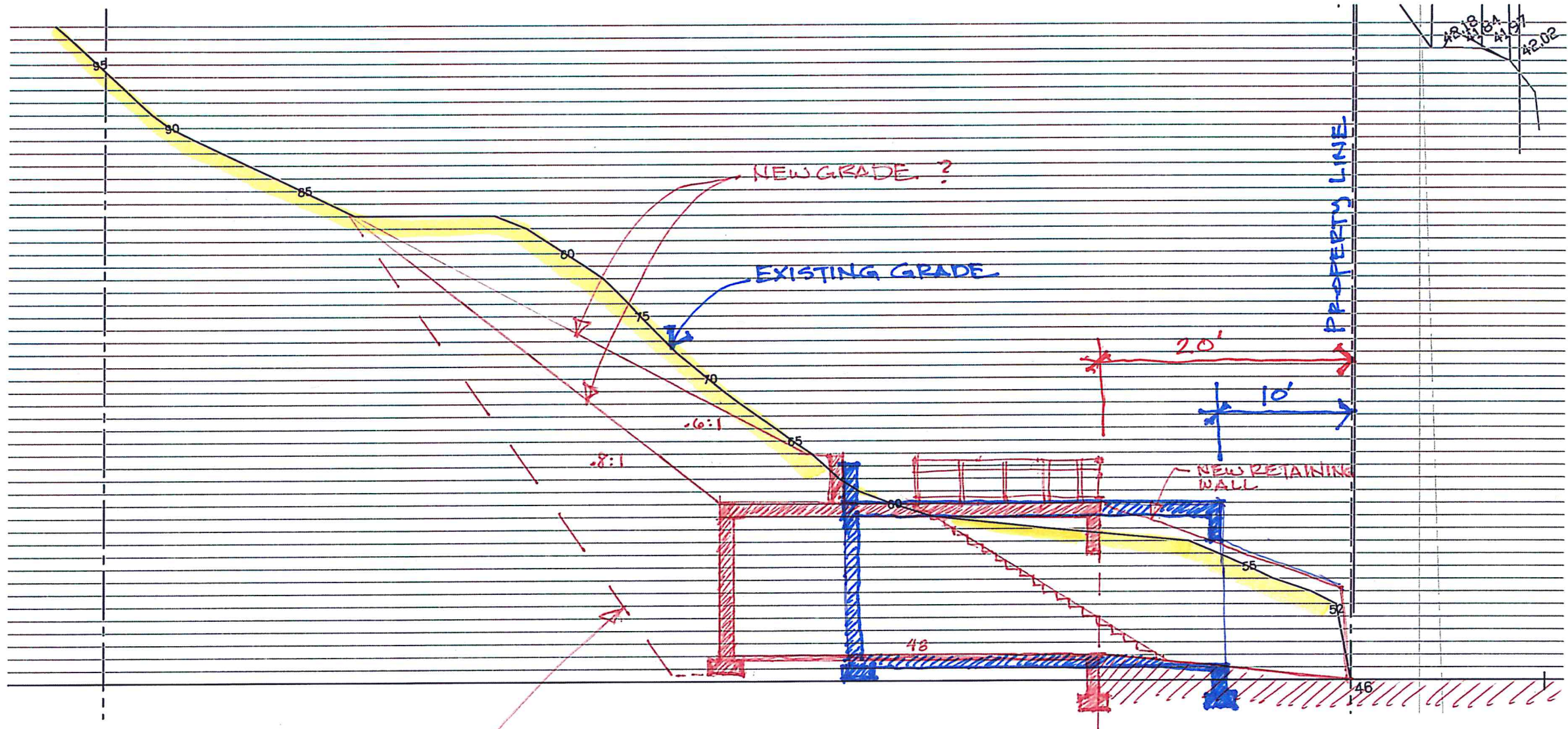
20'

10'

RED = CHANGE TO BUILDING LOCATION W/ 10' SETBACK

RECONSTRUCT STONE RETAINING WALL (DEADWOOD FORMATION)

RED = ORIGINAL DESIGN  
BLUE = PROPOSED LOCATION W/ 10' SETBACK



EXCAVATION  
(NEED GEOTECH TO DETERMINE MAX SLOPE)

NELSON GARAGE  
DEADWOOD, SD



Date: May 19, 2021

Case No. 210080  
Address: 18 Seventy Six Drive

### Staff Report

The applicant has submitted an application for Project Approval for work at 18 Seventy Six Drive, a Contributing structure located in the First Ward Planning Unit in the City of Deadwood.

Applicant: City of Deadwood

Owner:

Constructed: 1946

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

**1. Historic significance of the resource:**

This complex was originally constructed in 1946, but had major additions in 1970 and 1992. Because it is less than 50 years old and has suffered several modern changes, it cannot contribute to the Deadwood National Historic Land Mark District.

**2. Architectural design of the resource and proposed alterations:**

The proposed project would add a lean-to addition to the rear of the shop portion of the Days of '76 Museum for covered shelter of the Deadwood Stage Coach. The addition would mimic and compliment the covered seating and lean-to on the front side of the shop near the Days of '76 Campground. City staff will construct the building with limited sub-contractors for concrete work.

Attachments: Yes

Plans: Yes

Photos: No

#### Staff Opinion:

The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



<b>FOR OFFICIAL USE</b>	<i>Section 8 Item b.</i>
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

<b>PROPERTY INFORMATION</b>
Property Address: 18 76 Drive
Historic Name of Property (if known): Days of 76 Museum

<b>APPLICANT INFORMATION</b>
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: City of Deadwood

Address: 108 Sherman Street

City: Deadwood   State: SD   Zip: 57732

Telephone: 605-578-2082   Fax: 605-578-2084

E-mail: kevin@cityofdeadwood.com

Architect's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_   State: \_\_\_\_\_   Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_   Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contractor's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_   State: \_\_\_\_\_   Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_   Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_   State: \_\_\_\_\_   Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_   Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

<b>TYPE OF IMPROVEMENT</b>			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

**FOR OFFICE USE ONLY**

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>					
Project Start Date: <u>ASAP</u>		Project Completion Date (anticipated): <u>June 7, 2021</u>			
<input checked="" type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear		
<input checked="" type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear		
<input checked="" type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Other <u>Lean-to Addition</u>			
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>		
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____					
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement		
	Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments					

<b>DESCRIPTION OF ACTIVITY</b>
--------------------------------

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

The proposed project would add a lean-to addition to the rear of the shop portion of the Days of '76

Museum for covered shelter of the Deadwood Stage Coach. The addition would mimic and compliment

The covered seating and lean-to on the front side of the shop near the Days of '76 Campground.

City staff will construct the building with limited sub-contractors for concrete work.



**FOR OFFICE USE ONLY**

Case No. \_\_\_\_\_

**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

05-13-2021

\_\_\_\_\_  
SIGNATURE OF OWNER(S)

DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)

DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)

DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)

DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)

DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)

DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

#### PAINTING, SIDING:

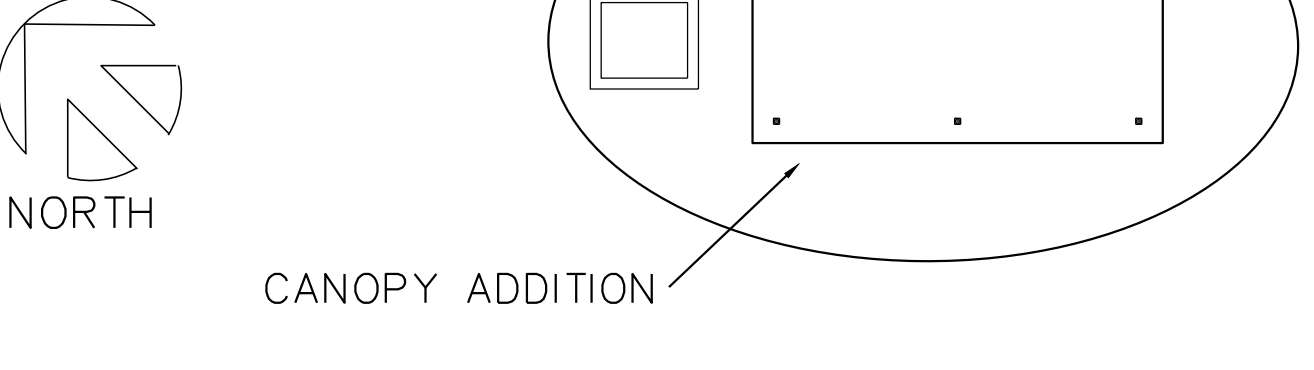
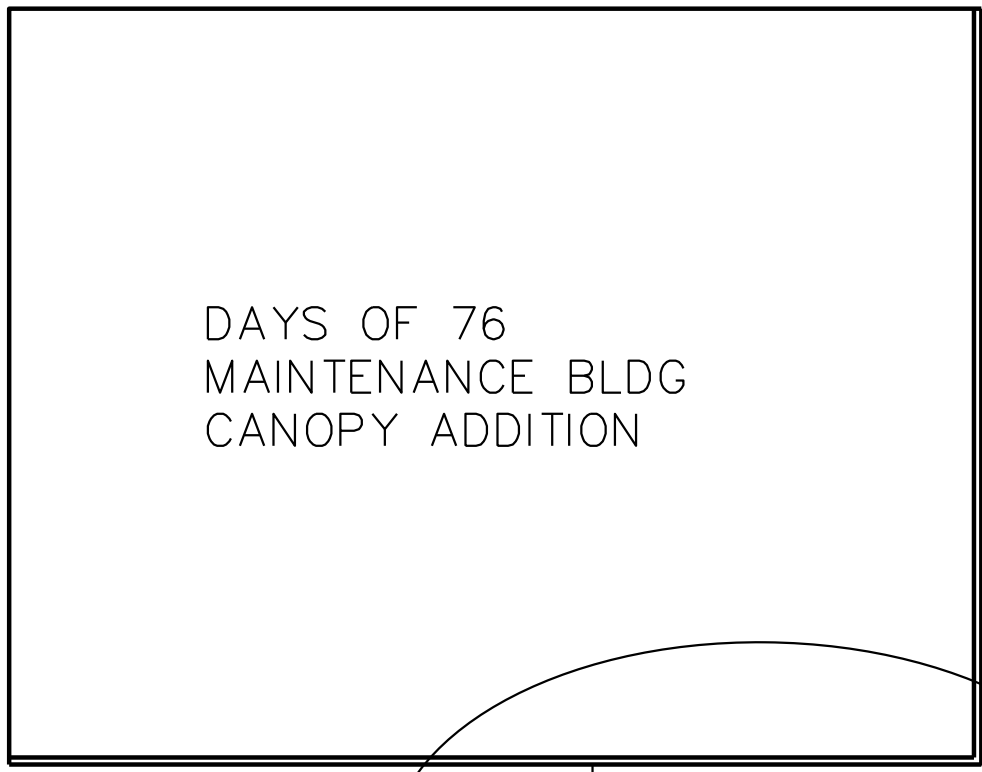
- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

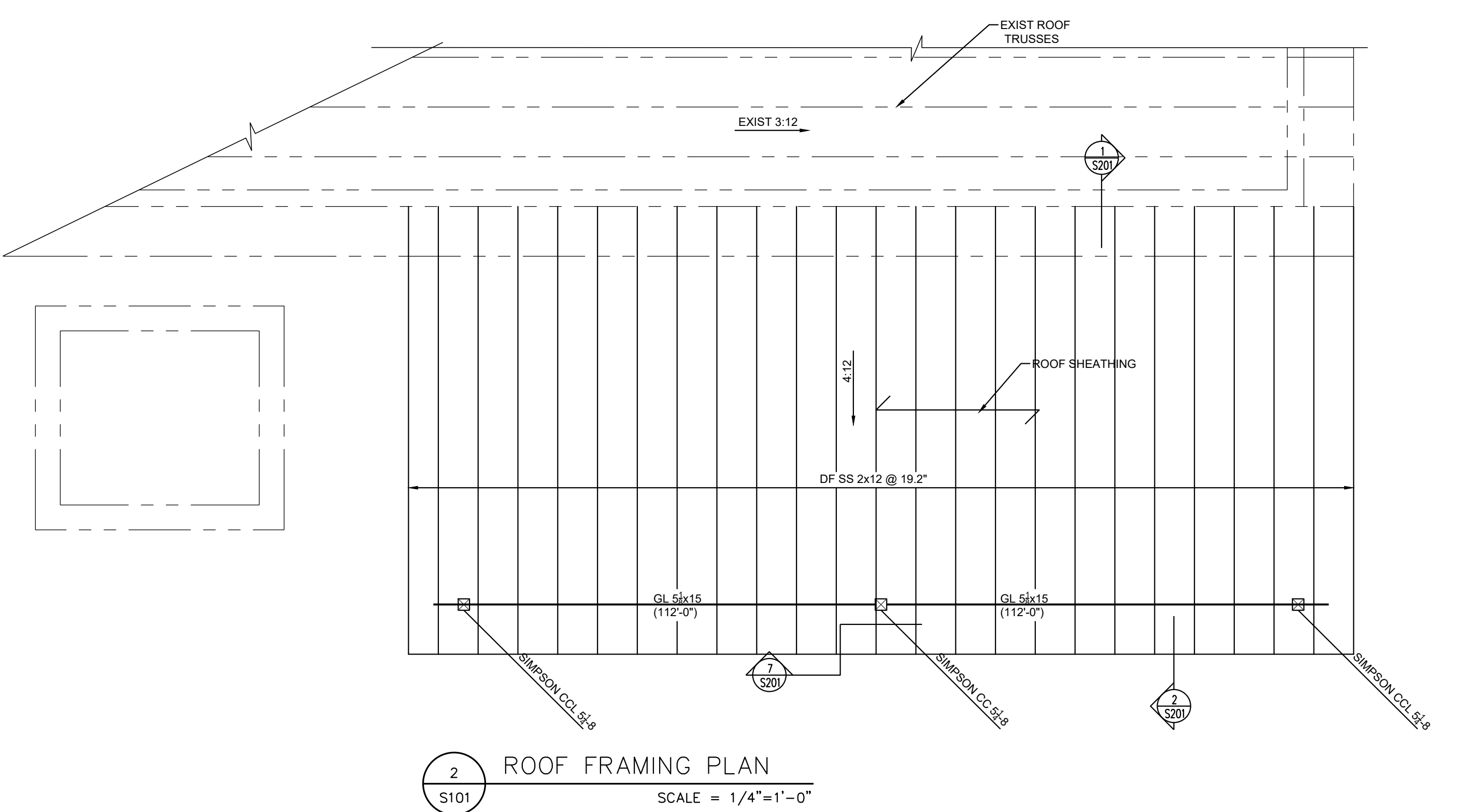
- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.

STRUCTURAL GENERAL NOTES

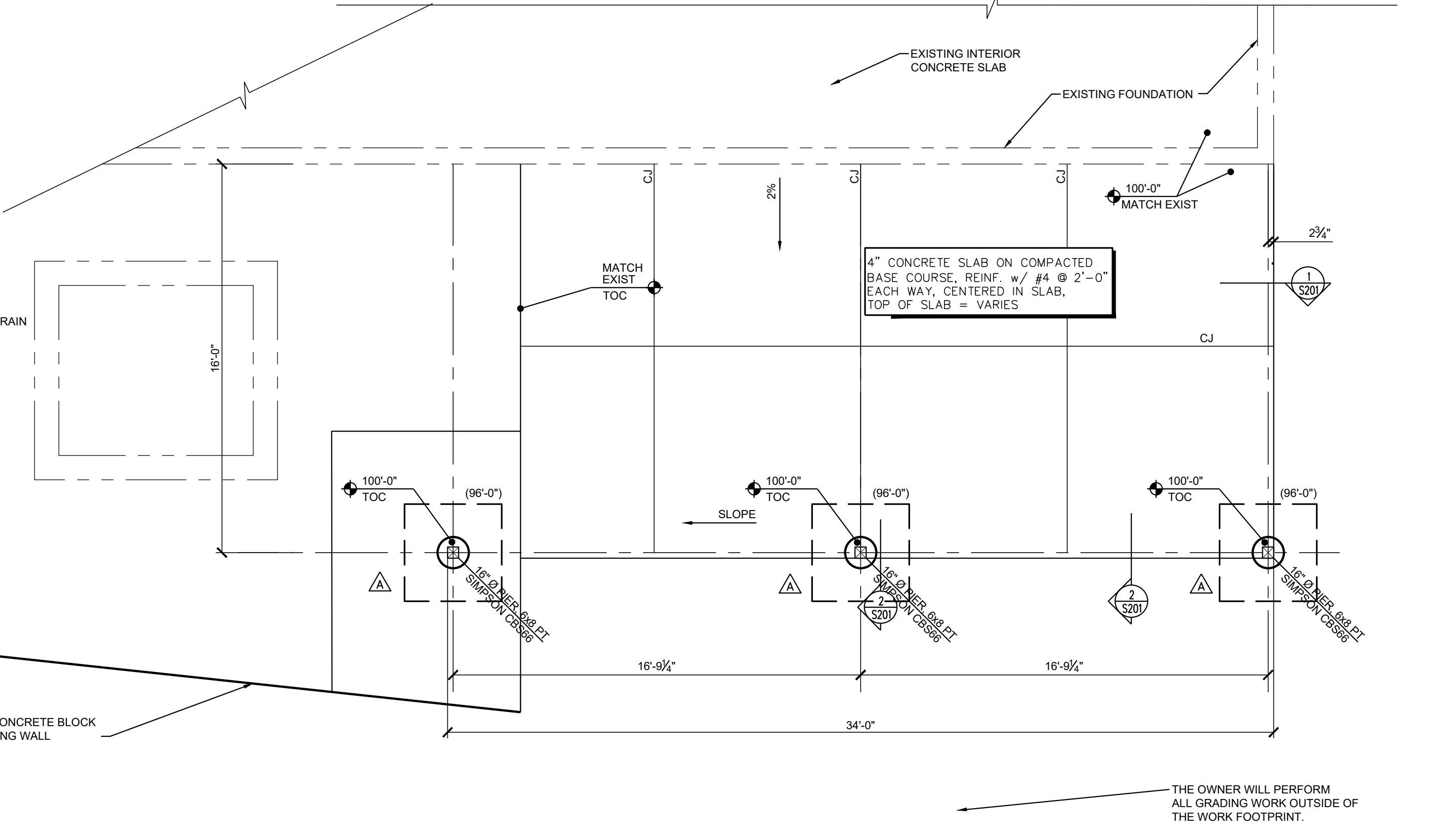
- A. GOVERNING CODES**
- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION.
  - MANUAL FOR TIMBER CONSTRUCTION, AITC 4TH EDITION.
  - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-19.
  - MANUAL OF STEEL CONSTRUCTION, AISC 2016 15TH EDITION.
  - COLD-FORMED STEEL DESIGN MANUAL, AISI CFS D100-13.
- B. DESIGN LOADS AND CRITERIA**
- 1) UNIFORM GRAVITY LOADS (PSF):
- | LOCATION | DEAD LOAD | LIVE LOAD                  |
|----------|-----------|----------------------------|
| ROOF     | 12        | 47 (+ UNBALANCED DRIFTING) |
- SNOW CRITERIA: GROUND SNOW LOAD = 56 PSF,  $I_s = 1.1$ , EXPOSURE FACTOR  $C_e = 0.9$ ,  $C_t = 1.1$
- 2) WIND CRITERIA: 3 SEC GUST WIND SPEED = 90 MPH  
OCCUPANCY CATEGORY: II  
 $I_w = 1.0$  / EXPOSURE C  
TOPOGRAPHIC ESCARPMENT  $K_{zt} = 1.28$   
INTERNAL PRESSURE COEFFICIENT:  $0.18 \pm$   
24 PSF MINIMUM FOR EXTERNAL WALL COMPONENTS & CLADDING  
15 PSF MINIMUM NET UPLIFT FOR ROOF JOIST SPANS LESS THAN 13FT,  
16 PSF MINIMUM NET UPLIFT FOR ALL OTHER ROOF JOISTS
- 3) SEISMIC CRITERIA: SITE CLASS C  
 $S_s = 0.15$  /  $S_1 = 0.04$   
 $I = 1.0$  / USE GROUP I  
DESIGN CATEGORY A  
ANALYSIS PROCEDURE: SIMPLIFIED ANALYSIS  
LATERAL FORCE RESISTING SYSTEM:  
STEEL MOMENT FRAMES NOT DETAILED FOR SEISMIC RESISTANCE
- 4) SOIL BEARING PRESSURE: 1,500 PSF ON APPROVED SUBGRADE, SEE SECTION D.2  
5) SOIL FRICTION COEFFICIENT: 0.35  
6) LATERAL SOIL PRESSURE: 35 PCF ACTIVE EQUIVALENT FLUID PRESSURE  
200 PCF PASSIVE EQUIVALENT FLUID PRESSURE  
65 PCF AT-REST EQUIVALENT FLUID PRESSURE  
7) FROST DEPTH: 48 INCHES
- C. MATERIALS**
- 1) CLASS A CONCRETE: PORTLAND CEMENT ASTM C150 TYPE I/II  
(USE UNLESS NOTED OTHERWISE)  
FLY ASH ASTM C618, 10% - 25% BY WEIGHT  
WATER / CEMENT + FLY ASH = 0.45 MAXIMUM  
28 DAY  $f'c = 4000$  PSI  
AIR CONTENT 4.5% - 7.0%  
AIR CONTENT 3.0% MAX INTERIOR SLABS  
3/4" MAX NORMAL WEIGHT AGGREGATE
- 2) REINFORCING BARS: ASTM A615, GRADE 60, EXCEPT  
ASTM A706, GRADE 60, WHERE INDICATED TO BE WELDED.
- 3) ANCHOR RODS: ASTM F1554 GRADE 36 OR 55 W/ ASTM A563 HEAVY HEX NUTS  
4) GRDUT: ASTM C1107, NON-METALLIC NON-SHRINK, 3 DAY  $f'c = 4000$  PSI  
5) MORTAR: ASTM C270, TYPE S  
6) MASONRY GRDUT: ASTM C476 FINE, SLUMP XX"  
7) STRUCTURAL STEEL:  
W SHAPES: ASTM A992,  $F_y = 50$  KSI  
OTHER ROLLED SHAPES: ASTM A36,  $F_y = 36$  KSI  
PLATES: ASTM A36,  $F_y = 36$  KSI  
8) HIGH STRENGTH BOLTS: ASTM A325 TYPE 1 UNDATED; STEEL TO STEEL CONNECTIONS  
9) BOLTS: ASTM A307; WOOD OR WOOD TO STEEL CONNECTIONS OR ERECTION ONLY  
10) HEADED ANCHOR STUDS: ASTM A108 GRADE 1010 - 1020, TYPE B,  $F_u = 60$  KSI  
11) WELD METAL: F7X-EXXX OR AS APPROVED  
12) ADHESIVE ANCHORS: ASTM A 36 ALL-THREAD ROD W/ CHISEL POINT & INJECTABLE ADHESIVE  
SUCH AS HILTI HIT HY-150 FOR CONCRETE & SOLID MASONRY OR  
DR HIT HY-20 W/ SCREEN TUBES FOR HOLLOW MASONRY OR AS APPROVED.  
ASTM B 633, CLASS SCL, TYPE III (SIMPSON TITEN HD'S OR EQUIV)
- 13) SCREW ANCHORS: 2X4-2X12 DOUG FIR SELECT STRUCTURAL,  
POSTS: DOUG FIR SELECT STRUCTURAL  
14) WOOD SHEATHING / PANELS: AMERICAN PLYWOOD ASSOCIATION (APA) RATED
- D. FOUNDATIONS**
- FOUNDATIONS HAVE BEEN DESIGNED BASED ON INFORMATION PRESENTED IN THE IBC. FOLLOW RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE.
  - PLACE SLAB ON FIRM UNDISTURBED NATIVE MATERIAL, WITH THE TOP 6" SCARIFIED AND COMPACTED, OR ENGINEERED FILL PLACED OVER FIRM UNDISTURBED NATIVE MATERIAL. REMOVE EXISTING TOPSOIL AND ROOF MASS FILL. ENGINEERED FILL SHALL BE MINUS 3" GRADED GRANULAR, APPROVED BY THE GEOTECHNICAL ENGINEER. PLACE ENGINEERED FILL IN UNIFORM LIFTS AND COMPACT TO 98% STANDARD PROCTOR ACCORDING TO ASTM D698. PLAN LIMITS OF ENGINEERED FILL MUST EXTEND AT LEAST 4'-0" BEYOND ALL FOOTING EDGES. IF ENCOUNTERED, EXISTING FILL SHALL BE REMOVED TO AN APPROPRIATE DEPTH AND REPLACED WITH ENGINEERED FILL AS DESCRIBED ABOVE.
  - DO NOT BACKFILL WALLS WITH UNBALANCED SOIL LEVELS UNLESS ADEQUATELY SHORED OR PERMANENT FLOOR PLATES ARE INSTALLED AND CONNECTIONS ARE COMPLETE - THIS DOES NOT INCLUDE RETAINING WALLS. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING DESIGN AND INSTALLATION.
  - BACKFILL AND COMPACT BURIED WALLS OR GRADE BEAMS EVENLY ON EACH SIDE TO AVOID UNBALANCED LOADS. COMPACT LAYERS TO 95% STANDARD PROCTOR ACCORDING TO ASTM D698 EXCEPT 92% UNDER NON-PAVED AREAS.
  - ALWAYS PROVIDE POSITIVE SURFACE WATER DRAINAGE AWAY FROM THE STRUCTURE.
- E. CONCRETE**
- PERFORM CONCRETE WORK IN ACCORDANCE WITH ACI 301-02 "STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE" UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
  - MINIMUM REINFORCING BAR COVER:  
3" AT UNFORMED SURFACES EXPOSED TO EARTH  
2" AT FORMED SURFACES EXPOSED TO EARTH OR WEATHER FOR #6 AND LARGER  
1 1/2" AT FORMED SURFACES EXPOSED TO EARTH OR WEATHER FOR #5 AND, NOT EXPOSED TO EARTH OR WEATHER FOR REINFORCEMENT OF BEAMS OR COLUMNS  
1 1/2" AT SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER
  - SPLICE REINFORCING BARS BY LAPPING ACCORDING TO THE SCHEDULE INDICATED. SPLICE W/ SHEETS BY LAPPING AT LEAST ONE PANEL WIDTH (TWO LONGITUDINAL BARS IN CONTACT) OR 10 INCHES MINIMUM. PLACE MECHANICAL CONNECTORS WHERE SHOWN.
  - ADD #5X6'-0" DIAGONAL EACH FACE AT ALL OPENING CORNERS AND #5X6'-0" DIAGONAL MID-DEPTH AT ALL RE-ENTRANT SLAB CORNERS UNLESS SHOWN OTHERWISE.
  - SECURE ALL REINFORCING, INCLUDING W/IF IN POSITION WITH CHAIRS BEFORE CONCRETE PLACEMENT. CONCRETE DOBIES MAY BE USED TO POSITION SLAB ON GRADE REINFORCEMENT.
  - TIE DOWELS IN PLACE BEFORE PLACING CONCRETE. DO NOT STAB OR "WET-SET" DOWELS.
  - INSTALL AND SECURE EMBEDMENTS SUCH AS ANCHOR RODS AND EMBEDMENT PLATES WITHIN SPECIFIED TOLERANCES BEFORE CONCRETE PLACEMENT.
  - MECHANICALLY VIBRATE ALL CONCRETE PLACEMENTS EXCEPT SLABS LESS THAN 5" THICK.
  - PROTECT AND CURE ALL CONCRETE SURFACES. BEGIN CURING WALLS IMMEDIATELY AFTER STRIPPING FORMS AND FLATWORK IMMEDIATELY AFTER FINISHING.
  - CONCRETE SURFACES TO RECEIVE GROUT UNDER COLUMN BASEPLATES MUST BE PREPARED BY LIGHT BUSH HAMMERING (1/4" AMPLITUDE) THE GROUTED AREA AND PRE-SOAKING.
- F. WOOD FRAMING**
- TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER TO SUPPORT ALL SUPERIMPOSED LOADS INDICATED IN SECTION "B" AND LOADS TRANSFERRED BY FRAMING MEMBERS (IE. OVERFRAMING, STRUCTURAL FASCIA, ...) INDICATED ON ROOF FRAMING PLANS) AND ANY ADDITIONAL LOADS REQUIRED. TRUSS DESIGNS MUST BE STAMPED WITH A SOUTH DAKOTA ENGINEER'S SEAL ON THE DRAWINGS.
  - ENGINEERED WOOD PRODUCTS (WOOD JOISTS & LAMINATED VENEER LUMBER) SHOWN ON THE DRAWINGS ARE THE PRODUCTS OF ROSEBURG FOREST PRODUCTS AND ARE INDICATED BY THE MANUFACTURER'S STANDARD PRODUCT NUMBERS. THE INTENT OF THE DESIGN IS FOR THESE ITEMS TO BE ATTACHED TO EACH OTHER AND TO THE SURROUNDING STRUCTURE TO BEHAVE AS A SYSTEM, WHETHER SHOWN OR NOT, PROVIDE ACCESSORY ITEMS (BLOCKING, CLIPS, STIFFENERS, STRAPS, ETC.) DESIGNED BY THE MANUFACTURER FOR A COMPLETE SYSTEM. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AND USE.
  - FRAMING CONNECTORS, ANCHORS, AND HANGERS SHOWN ON THE DRAWINGS ARE THE PRODUCTS OF SIMPSON STRONG-TIE COMPANY, SAN LEANDRO, CALIFORNIA AND ARE DESIGNATED BY THE MANUFACTURER'S STANDARD PRODUCT NUMBERS. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AND USE. PRODUCTS WITH EQUIVALENT CAPACITY AND QUALITY MAY BE SUBSTITUTED AFTER A SUBSTITUTION SUBMITTAL HAS BEEN PROVIDED BY THE GENERAL CONTRACTOR AND FINAL APPROVAL BY THE STRUCTURAL ENGINEER.
  - FLOOR AND ROOF SHEATHING:  
LAY PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER ALL END JOINTS AND PLACE AS INDICATED IN CASE 1 OF IBC TABLE 2306.3.  
LOCATION MATERIAL NAILING  
FLOOR 3/4" T&G, 40/20 MIN. SPAN RATING 0.131" DIAMETER AT 6" AT ALL SUPPORTED PANEL EDGES,  
0.131" DIAM AT 12" AT INTERMEDIATE SUPPORTS,  
GLUE AND NAIL TO SUPPORTING FRAMING  
ROOF 3/2" 32/16 SPAN RATING 0.131" DIAM AT 6" AT ALL SUPPORTED PANEL EDGES,  
0.131" DIAM AT 12" AT INTERMEDIATE SUPPORTS,  
GLUE AND NAIL TO SUPPORTING FRAMING
  - ALL LAG BOLTS SHALL HAVE LEAD HOLES DRILLED THE SAME DIAMETER FOR THE SHANK AND 50% OF THE SHANK DIAMETER OF THE THREADED PORTION. LUBRICATE THREADS BEFORE INSTALLATION.
  - STAGGER ALL END JOINTS 32" MINIMUM. FASTEN PANELS TO SUPPORTING FRAMING AND BLOCKING AS INDICATED. (SEE SHEAR WALL SCHEDULE AND FRAMING PLANS FOR CRITICAL NAILING.)
  - NO PANELS LESS THAN 12 INCHES WIDE SHALL BE USED.
  - FASTENERS SHALL NOT BE LESS THAN 3/4" FROM PANEL EDGES.
  - NAIL HEADS SHALL NOT PENETRATE BEYOND A FLUSH CONDITION WITH FACE OF SHEATHING.
  - NAILING REQUIREMENTS NOT SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE IN TABLE 2304.9.1 IN THE IBC.
  - FASTEN BUILT UP OR 2 PLY + MEMBERS TOGETHER PER IBC TABLE OR MANUFACTURER'S RECOMMENDATIONS.



- G. SPECIAL INSPECTIONS**
- SPECIAL INSPECTIONS DESCRIBED BELOW WILL BE PERFORMED UNDER SEPARATE CONTRACT BY AGENCIES RETAINED BY THE PROJECT OWNER. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER APPRISED OF WORK PROGRESS AS IT PERTAINS TO SPECIAL INSPECTIONS AND ENSURING THAT NO WORK REQUIRING SPECIAL INSPECTIONS IS CONCEALED BEFORE SPECIAL INSPECTIONS OCCUR. SEE PROJECT SPECIFICATIONS FOR OTHER INSPECTIONS AND MATERIALS TESTING REQUIREMENTS.
- | REINFORCING STEEL: | INSPECT BEFORE CONCRETE OR GROUT PLACEMENT. (INCLUDES SLABS-ON-GRADE AND ELEVATED SLABS) |
|--------------------|------------------------------------------------------------------------------------------|
| ANCHOR RODS:       | INSPECT ALL BEFORE CONCRETE PLACEMENT.                                                   |
| ADHESIVE ANCHORS:  | PERIODIC INSPECTION DURING OR AFTER INSTALLATION.                                        |
- H. ABBREVIATIONS LIST - (SOME OF THE LISTED ABBREVIATIONS MAY NOT APPEAR ON THE DRAWINGS)**
- |       |                             |
|-------|-----------------------------|
| ANC   | ANCHOR                      |
| ALT   | ALTERNATE                   |
| BRG   | BEARING                     |
| CL    | CENTERLINE                  |
| CLR   | CLEAR                       |
| COL   | COLUMN                      |
| CONN  | CONNECTION / CONNECTOR      |
| CONT  | CONTINUE / CONTINUOUS       |
| PROJ  | PROJECTION                  |
| REINF | REINFORCEMENT / REINFORCING |
| REQD  | REQUIRED                    |
| THK   | THICK/THICKNESS             |
| TYP   | TYPICAL                     |
| UND   | UNLESS NOTED OTHERWISE      |
| VERT  | VERTICAL                    |
- I. MISCELLANEOUS**
- REFERENCE CIVIL DRAWINGS FOR BUILDING LOCATION AND ORIENTATION ON THE SITE. DRAWING ELEVATIONS REFERENCE CIVIL DATUM.
  - DETAIL MARKS ANNOTATED ON PLANS ARE INTENDED TO INDICATE SPECIFIC CONFIGURATIONS AND INFORMATION - FOR PLAN CLARITY, EVERY LOCATION WHERE A SPECIFIC DETAIL MAY APPLY IS NOT ANNOTATED. CONTACT THE ENGINEER IF CLARIFICATION IS NEEDED.
  - COORDINATE OPENINGS AND EMBEDDED ITEMS IN CONCRETE AND MASONRY WORK WITH ALL TRADES.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES DISCOVERED WITH OTHER TRADES.
  - CONSTRUCTION LOADS SHALL NOT BE GREATER THAN THE DESIGN LOADS INDICATED IN SECTION B.1 UNLESS REVIEWED AND APPROVED BY THE ENGINEER.
  - EQUIPMENT OPENINGS INDICATED ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATIONS, DIMENSIONS AND DETAILS WITH EQUIPMENT MANUFACTURERS AND TRADES.
  - TEMPORARILY BRACE THE STRUCTURE TO RESIST ALL LOADS OR COMBINATIONS OF LOADS UNTIL ALL PERMANENT ELEMENTS ARE IN PLACE AND ALL CONNECTIONS ARE COMPLETE AS SHOWN.
  - COST ASSOCIATED WITH STRUCTURAL DRAWING CHANGES RESULTING FROM USE OF ALTERNATES OR SUBSTITUTIONS, INCLUDING MECHANICAL EQUIPMENT, ARE THE CONTRACTOR'S RESPONSIBILITY.



**2 ROOF FRAMING PLAN**  
SCALE = 1/4"=1'-0"



**1 FOUNDATION PLAN**  
SCALE = 1/4"=1'-0"

MARK	SIZE (WxDxL)	REINFORCING
△	4'-0"x4'-0"x12"	(4) - #5 EA WAY ON BOT

REVISIONS

NO.	DESCRIPTION

DAYS OF 76 CANOPY ADDITION  
 FAIRGROUNDS  
 DEADWOOD, SOUTH DAKOTA

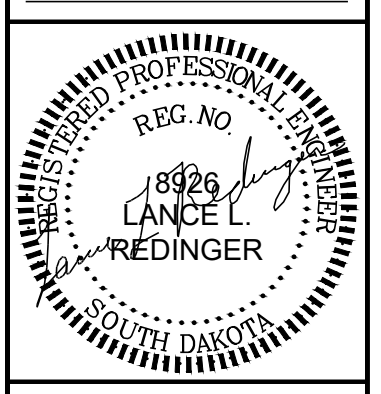
**PRECISION DESIGN**

LANCE ENGINEERING  
605-642-3680  
19751 ST. ONGE RD  
ST. ONGE, SD 57779

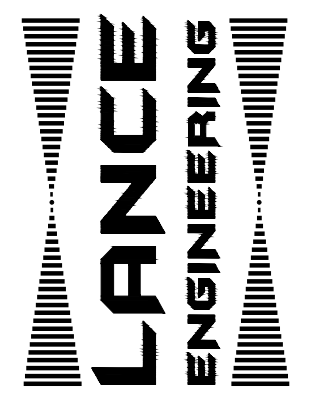
THESE DOCUMENTS ARE THE PROPERTY OF LANCE ENGINEERING AND SHALL NOT BE USED FOR ANY OTHER PROJECT.

Drawn By: LLR  
Checked By: LLR  
Date: 5/7/21  
LE #: DAYS76  
Cad File: DAYS76 S201.DWG  
SHEET TITLE:  
**PLANS & NOTES**  
SHEET#  
**S101**

REVISIONS



DAYS OF 76 CANOPY ADDITION  
FAIRGROUNDS  
DEADWOOD, SOUTH DAKOTA



PRECISION DESIGN

LANCE ENGINEERING  
605-642-3680  
19751 ST. ONGE RD  
ST. ONGE, SD 57779

THESE DOCUMENTS ARE THE PROPERTY OF LANCE ENGINEERING AND SHALL NOT BE USED FOR ANY OTHER PROJECT.

Drawn By LLR

Checked By LLR

Date 5/7/21

LE # DAYS76

Cad File DAYS76 S201.DWG

SHEET TITLE: DETAILS

SHEET#  
S201

MINIMUM FASTENERS REQUIREMENTS  
(UNLESS SHOWN OTHERWISE ON PLANS OR DETAILS) WOOD TO WOOD, WOOD TO LIGHT GAGE

CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1"x6" (25MMx152MM) SUBFLOOR TO EACH JOIST FACE NAIL	2-8d
4. WIDER THAN 1"x6" (25MMx152MM) SUBFLOOR TO EACH JOIST FACE NAIL	3-8d
5. 2" (51MM) SUBFLOOR TO JOIST OR GIRDER BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d @ 16" (406MM) O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d PER 16" (406MM)
7. TOP PLATE TO STUD, END WALL	3-16d
8. STUD TO SOLE PLATE	4-8d TOENAIL OR 2-16d, END WALL
9. DOUBLE STUDS, FACE NAIL	16d @ 24" (610MM) O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d @ 16" (406MM) O.C. TOP PLATE SPLICE LAP SPLICE 30-16d
11. BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOENAIL	10d @ 4" 1 SIDE OR 2-10d @ 8" BOTH SIDES
12. RIM JOIST TO TOP PLATE, TOENAIL	10d @ 4" (152MM) O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	WOOD TO WOOD 2-16d, 3-8d
14. CONTINUOUS HEADER, TWO PLATES	16d @ 16" (406MM) O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	4-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. TRUSS TO PLATE, TOENAIL	4-#10, 4-10d
20. 1" (25MMx203MM) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1"x8" (25MMx203MM) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1"x8" (25MMx203MM) SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	#8 @ 4"
24. BUILT-UP GIRDER AND BEAMS	20d @ 32" (813MM) O.C. AT TOP AND BOTTOM AND STAGGERED AT ENDS AND AT EACH SPLICE
25. 2" (51MM) PLANKS	2-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD: SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING) (1-INCH = 25.4 MM) 1/2" AND LESS 17/32"-3/4" 7/8"-1" 1 1/8"-1 1/4" COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING) (1-INCH = 25.4 MM) 3/4" AND LESS 7/8"-1" 1 1/8"-1 1/4"	#8 OR 8d 3 #30 OR 10d 3 #10 OR 10d 3 #10 OR 10d OR 8d 3 6d 5 8d 5 10d OR 8d 5
27. PANEL SIDING (TO FRAMING): 1/2" (13MM) OR LESS 5/8" (16MM)	6d 6 8d 6
28. FIBERBOARD SHEATHING: 1/2" (13MM)  25/32" (20MM)	NO. 11GA 8 16d 4 NO. 16GA 9 NO. 11GA 8 8d 4 NO. 16GA 9
29. INTERIOR PANELING 1/4" 3/8"	4d 0 6d 11

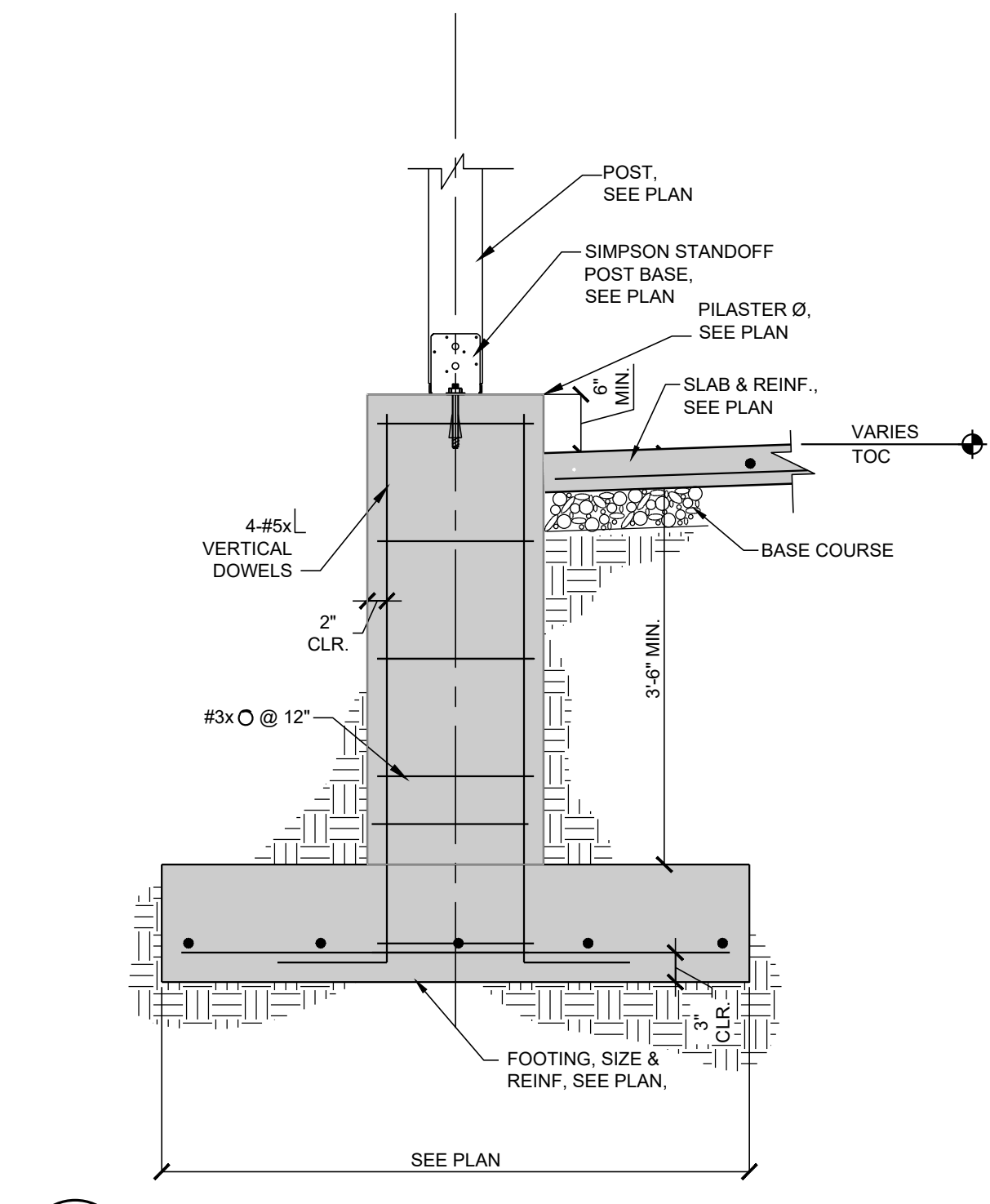
- COMMON OR BOX NAILS MAY BE USED EXCEPT WHEREVER OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES (152MM) ON CENTER AT EDGES, 12 INCHES (305MM) AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES (152MM) AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES (1219MM) OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS. REFER TO SECTION 2315.3 AND 22315.4 NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- COMMON OR DEFORMED SHANK.
- COMMON.
- DEFORMED SHANK
- CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- FASTENERS SPACED 3 INCHES (76MM) ON CENTER AT EXTERIOR EDGES AND 6 INCHES (152MM) ON CENTER AT INTERMEDIATE SUPPORTS
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16" INCH DIAMETER (11MM) HEAD AND 1 1/2 INCH (38MM) LENGTH FOR 1/2 INCH (13MM) SHEATHING AND 1 3/4 INCH (44MM) LENGTH FOR 25/32 INCH (20MM) SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3
- CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16 INCH (11MM) CROWN AND 1 7/8 INCH (29MM) LENGTH FOR 1/2 INCH (13MM) SHEATHING AND 1 1/2 INCH (38MM) LENGTH FOR 25/32 INCH (20MM) SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- PANEL SUPPORTS AT 16 INCHES (406MM) 20 INCHES (508MM) IF STRENGTH AXIS IS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED. CASING OR FINISH NAILS SPACED 6 INCHES (152MM) ON PANEL EDGES, 12 INCHES (305MM) AT INTERMEDIATE SUPPORTS.
- PANEL SUPPORTS AT 24 INCHES (610MM), CASING OR FINISH NAILS SPACED 6 INCHES (152MM) ON PANEL EDGES, 12 INCHES (305MM) AT INTERMEDIATE SUPPORTS.

SOLID SAWN LUMBER			
JOIST	PLYS	FACE MOUNT	TOP MOUNT
2x6	1	LUS26	LB26
	2	LUS26-2	HUS26-2TF
2x8	1	LUS28	LB28
	2	LUS28-2	HUS28-2TF
2x10	1	LUS28-3	LB210
	2	LU210-2	HUS210-2TF
2x12	1	LU210-3	HUS210-3TF
	2	LUS210-2	HUS212-2TS
2x12	1	LUS210-3	HUS212-3TF
	3	HU212-3	HU212-3TF

REBAR SIZE	LAP LENGTH 60 KSI REBAR		MASONRY
	VERT & HORZ	TOP BAR	ALL
#3	1'-2"	1'-6"	
#4	2'-0"	2'-6"	2'-0"
#5	2'-8"	3'-4"	2'-6"
#6	3'-2"	4'-2"	3'-0"
#7	3'-6"	4'-6"	3'-6"
#8	4'-0"	5'-2"	4'-2"
#9	5'-0"	6'-4"	
#10	6'-2"	8'-2"	
#11	8'-2"	9'-6"	

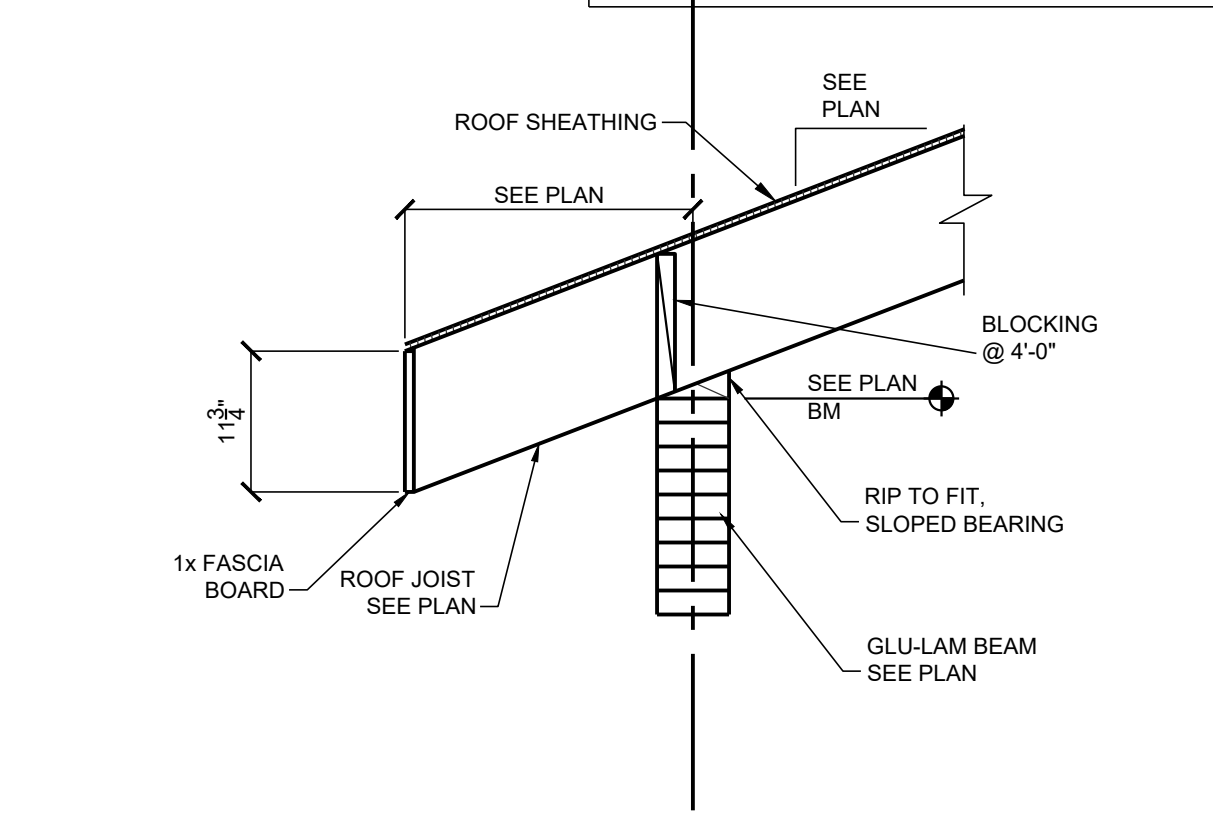
- REINFORCING NOTES:
- CONCRETE LAP LENGTHS ARE CLASS 'B' BASED ON FC=4000 PSI WITH COVER REQUIREMENTS INDICATED AND BAR SPACING AT LEAST THREE BAR DIAMETERS.
  - TOP BAR LAPS ARE HORIZONTAL LAPS WHERE MORE THAN 12" OF FRESH CONCRETE IS PLACED BELOW THE BARS.
  - TOP BAR LAP LENGTHS MAY BE USED AT ALL LOCATIONS IN CONCRETE AT THE CONTRACTOR'S DISCRETION.
  - MASONRY LAP LENGTHS ARE BASED ON FM=1500 PSI WITH COVER REQUIREMENTS AND SPACING INDICATED.

REINFORCING LAP SCHEDULE  
SCALE: NONE

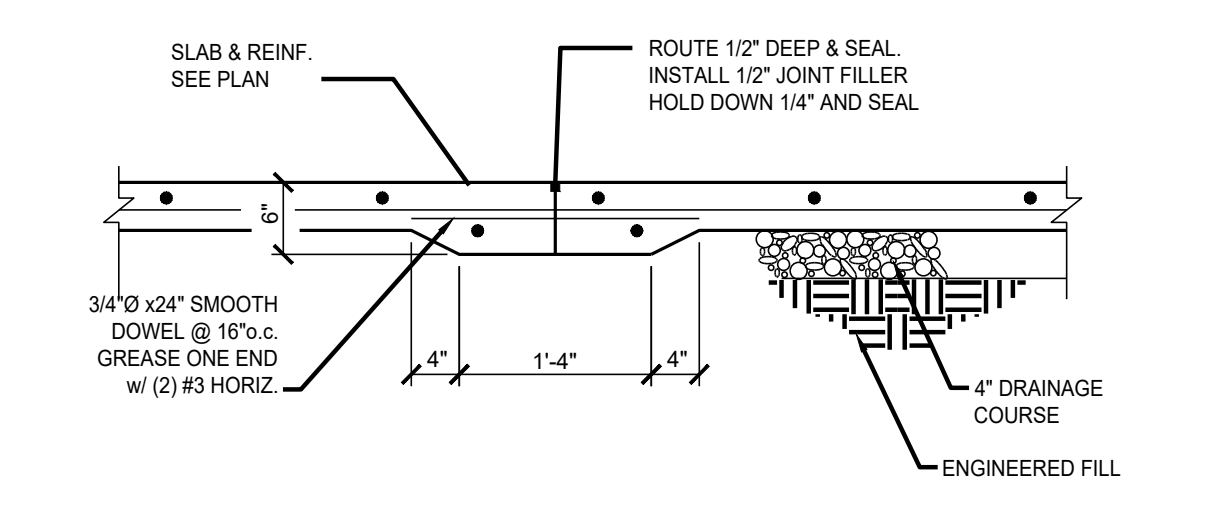


15 S202 SCALE = 3/4"=1'-0"

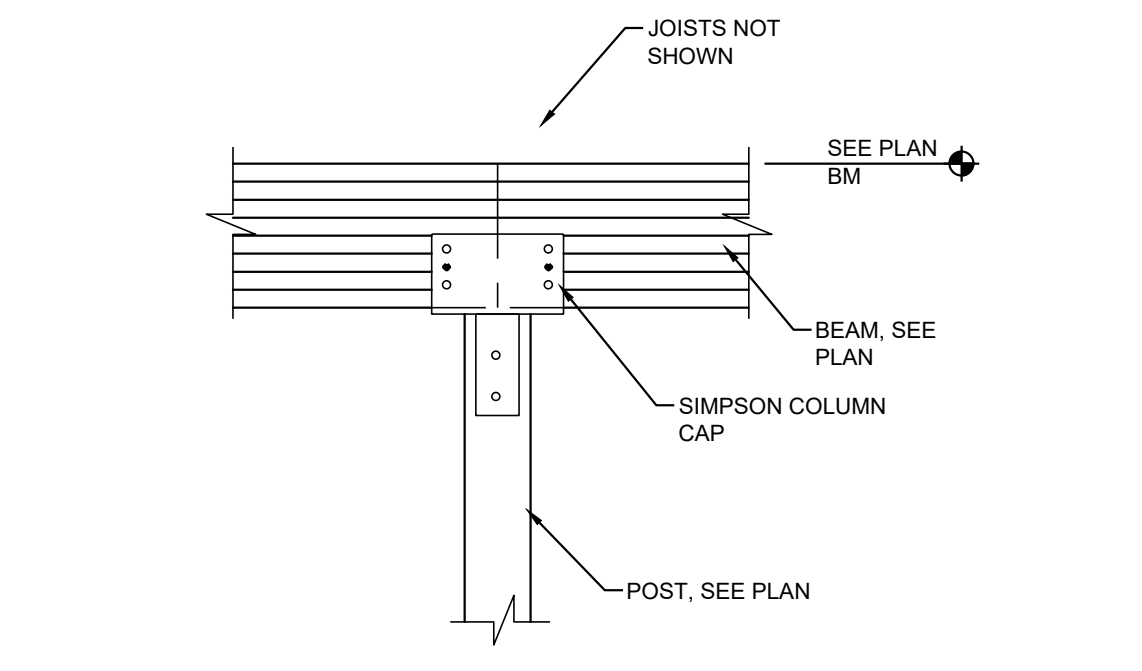
MATCH EXISTING SHINGLE ROOF COLOR, SOFFIT MATERIAL, STAIN, AND WATERPROOFING, INSTALL STAIN AND WATERPROOFING ON COLUMNS, INSTALL MATCHING FASCIA MATERIAL AND COLOR, AS EXISTING CANOPY.



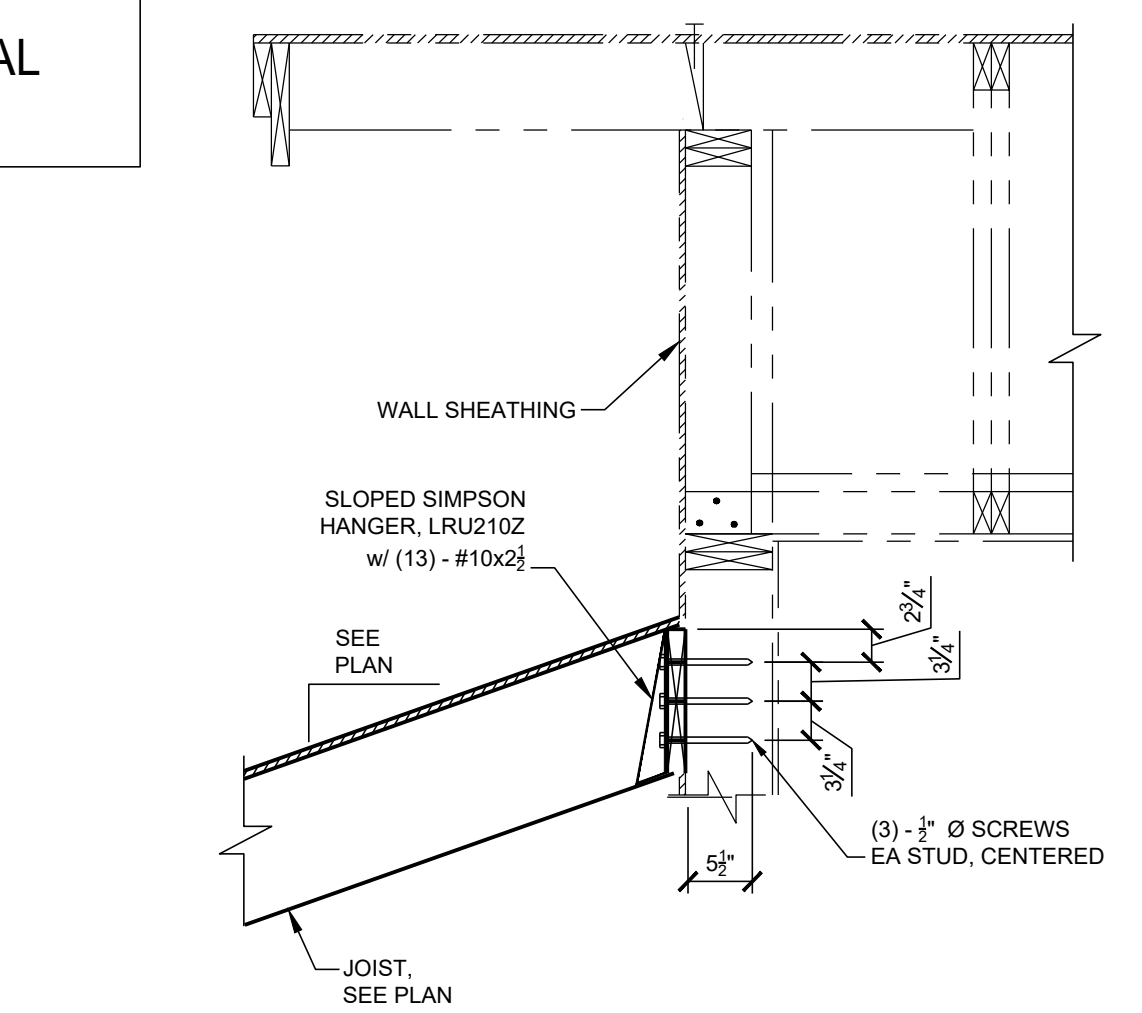
5 S202 SCALE = 3/4"=1'-0"



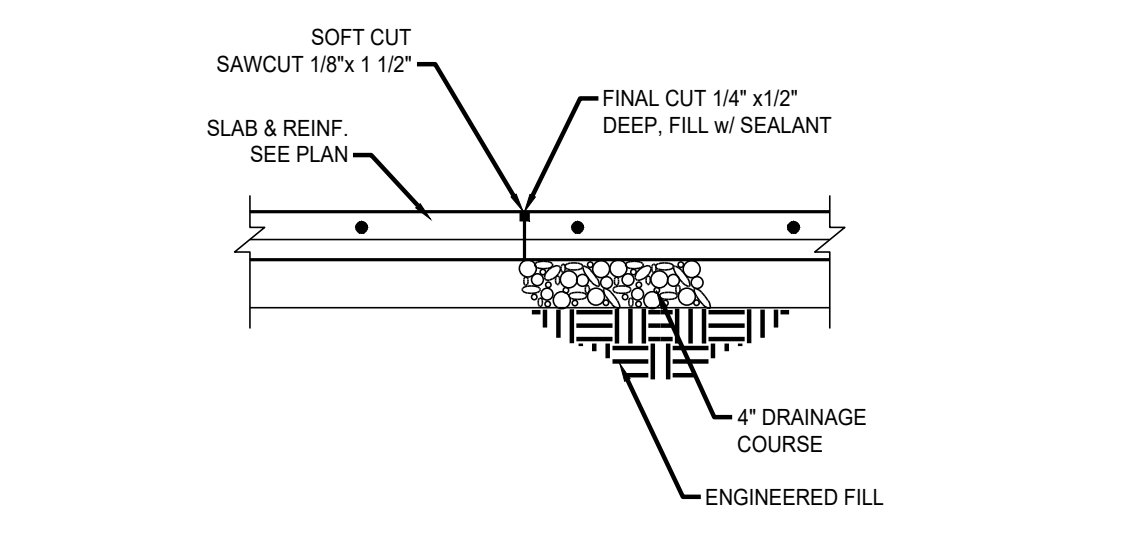
TYPICAL CONSTRUCTION JOINT DETAIL (CJ)  
SCALE: NONE PLACE IN LIEU OF CONTRACTION JOINT AT CONTRACTORS OPTION



15 S202 SCALE = 3/4"=1'-0"



15 S202 SCALE = 3/4"=1'-0"



TYPICAL CONTRACTION JOINT DETAIL (CJ)  
SCALE: NONE

Date: May 20, 2021

Case No. 210085  
Address: 15 Seventy Six Drive

### Staff Report

The applicant has submitted an application for Project Approval for work at 15 Seventy Six Drive, contributing structure located in the First Ward Planning Unit in the City of Deadwood.

Applicant: City of Deadwood  
Owner:  
Constructed: 1937

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

**The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:**

#### General Factors:

##### 1. Historic significance of the resource:

This structure is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the growth and economic activity which took place in Deadwood and the northern Black Hills from the late 1920s until World War II. Constructed by the Works Progress Administration, it is a good example of the types of public works construction which benefitted local communities.

##### 2. Architectural design of the resource and proposed alterations:

Applicant is requesting permission to construct a deck above the chutes to allow for more seating for special events. This deck will consist of two stairway accesses and a wheel chair lift for handicap access. This will be constructed of wood.

**Attachments: Yes**

**Plans: Yes**

**Photos: No**

#### Staff Opinion:

The crows nest and area above the chutes has changed several times over the decades including seating. (See attached sampling of photos) With the centennial of the Days of 76 Celebration and Rodeo coming up, the City is desiring to make enhancements and increase seating to the arena. This event complex has seen tremendous increase in usage over the past five years with activities such as SnoCross, Pro Bull Riding, Back When They Bucked, Motorcross and other events. This proposed deck and seating above the chutes will provide prime seating for several of these events.

The proposed work and changes does not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

Section 8 Item c.



MIKE FINNEY | Seneca, Neb.

Spain Korkow







<b>FOR OFFICIAL USE</b>	<i>Section 8 Item c.</i>
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: 15 Seventy Dix Drive
Historic Name of Property (if known): Days of 76 Rodeo Grounds

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>City of Deadwood</u>
Address: <u>108 Sherman Street</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-578-2082</u> Fax: <u>605-578-2084</u>
E-mail: <u>bobjr@cityofdeadwood.com</u>

Architect's Name: _____
Address: _____
City: _____   State: _____   Zip: _____
Telephone: _____   Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____   State: _____   Zip: _____
Telephone: _____   Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____   State: _____   Zip: _____
Telephone: _____   Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT
<input checked="" type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Wood Repair <input type="checkbox"/> Exterior Painting <input type="checkbox"/> General Maintenance <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Porch/Deck <input type="checkbox"/> Other _____ <input type="checkbox"/> Awning <input type="checkbox"/> Sign <input type="checkbox"/> Fencing

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: _____		Project Completion Date (anticipated): _____		
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input checked="" type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Other	Crows Nest Addition _____	
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____				
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
	Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments				

<b>DESCRIPTION OF ACTIVITY</b>
--------------------------------

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

With the increased use and attendance of the Days of 76 Rodeo Grounds along with the centennial

celebration of the Days event, the City is desiring to increase the seating capacity for the complex.

Based on some historic photos which showed a platform above the chutes, the City has designed

a compatible deck area to match the aesthetics and will include a wheel chair lift for handicap

access. (See attached plans for complete overview of the project.)

<b>FOR OFFICE USE ONLY</b>
Case No. _____

**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

05/20/2021

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

#### PAINTING, SIDING:

- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

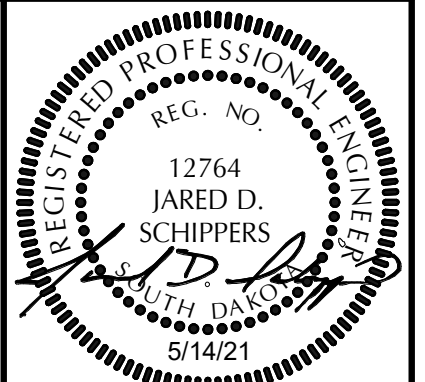
#### NEW CONSTRUCTION:

- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.

# DAYS OF '76 CROW'S NEST ADDITION

## DEADWOOD, SOUTH DAKOTA

### 100% CD SUBMITTAL



3202 W. MAIN, SUITE C  
 RAPID CITY, SOUTH DAKOTA 57702  
 605.343.9606

**Albertson Engineering Inc.**  
 CONSULTANT

PROJECT IDEN:  
 DAYS OF '76 CROW'S  
 NEST ADDITION



ISSUE BLOCK:		
NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

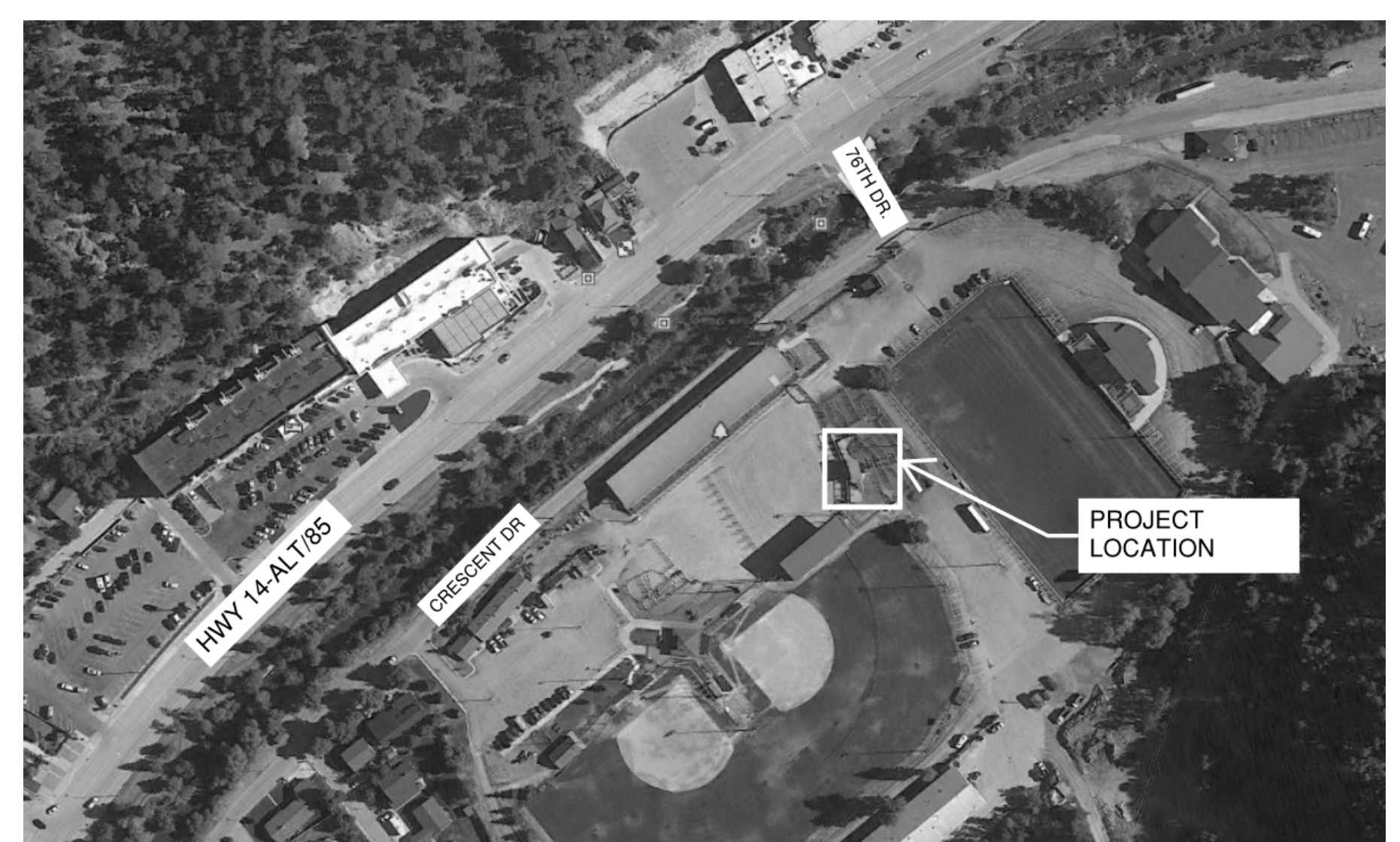
MANAGEMENT:	
PROJECT NO:	17-356
DRAWN BY:	MDR
CHECKED BY:	JDS

SHEET TITLE:  
 COVER SHEET

SHEET IDENTIFICATION:

**G001**

### VICINITY MAPS



### PROJECT TEAM

OWNER  
 CITY OF DEADWOOD  
 108 SHERMAN ST  
 DEADWOOD, SD 57732  
 605-578-2082

STRUCTURAL ENGINEER  
 ALBERTSON ENGINEERING INC.  
 3202 W. MAIN ST SUITE C  
 RAPID CITY, SD 57701

ARCHITECT  
 CHAMBERLIN  
 725 ST. JOSEPH ST, SUITE B1  
 RAPID CITY, SD 57701  
 605-355-6804

ELECTRICAL ENGINEER  
 SKYLINE ENGINEERING LLC  
 615 12TH STREET  
 RAPID CITY, SD 57701  
 605-737-3800

### SHEET INDEX

SHEET	GENERAL	COVER SHEET
1	G001	COVER SHEET

SHEET	STRUCTURAL	
2	S001	STRUCTURAL GENERAL NOTES
3	S002	IBC INSPECTION TABLES
4	S003	3D REPRESENTATIONS
5	S004	STANDARD DETAILS / SCHEDULES
6	SB101	FOUNDATION PLAN - OVERALL
7	SB102	FOUNDATION PLAN - ZONE 1
8	SB103	FOUNDATION PLAN - ZONE 2
9	SB501	DETAILS
10	SF104	DECK FRAMING PLAN - OVERALL
11	SF105	DECK FRAMING PLAN - ZONE 1
12	SF106	DECK FRAMING PLAN - ZONE 2
13	SF107	VERTICAL LIFT ROOF FRAMING PLAN
14	SF501	DETAILS

SHEET	ARCHITECTURAL	
15	A001	NOTE, SYMBOLS, ABBREVIATIONS AND WALL TYPES
16	A002	CODE CHECKLIST AND LIFE SAFETY PLAN
17	A101	LOWER LEVEL - FLOOR PLAN
18	A102	UPPER LEVEL - FLOOR PLAN
19	A121	REFLECTED CEILING PLAN
20	A201	EXTERIOR ELEVATIONS
21	A301	ENLARGED STAIR PLANS & DETAILS
22	A302	ENLARGED STAIR PLAND & DETAILS
23	A501	BUILDING SECTIONS
24	A611	ARCHITECTURAL DETAILS - EXTERIORS

SHEET	ELECTRICAL	
25	E000	ELECTRICAL LEGEND AND SHEET INDEX
26	E001	ELECTRICAL SPECIFICATIONS
27	E101	LOWER LEVEL - LIGHTING PLAN
28	E102	UPPER LEVEL - LIGHTING PLAN
29	E201	LOWER LEVEL - POWER AND SYSTEMS PLAN
30	E202	UPPER LEVEL - POWER AND SYSTEMS PLAN
31	E400	ELECTRICAL SCHEDULES
32	E500	ELECTRICAL RISER, PANEL SCHEDULE AND DETAILS

C

B

A

# GENERAL STRUCTURAL NOTES

## GENERAL NOTES:

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING (AND ACCOMPANYING FOOTINGS), GUYS OR TIE-DOWNS.
- ADDITIONAL OBSERVATIONS AS A RESULT OF REJECTION OF WORK COMPLETED AND/OR ADDITIONAL OBSERVATIONS DUE TO THE DEFICIENCIES IN WORK OBSERVED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
- ALL STRUCTURAL SHOP DRAWINGS TO BE REVIEWED BY JOB SUPERINTENDENT IN ADDITION TO ALL PERSONNEL DEEMED NECESSARY BY CONTRACTOR PRIOR TO SUBMITTAL TO ENGINEER FOR APPROVAL.
- ALL SHOP DRAWINGS TO BE REVIEWED BY ALBERTSON ENGINEERING INC. SHALL HAVE ELECTRONIC COPIES PROVIDED TO ALBERTSON ENGINEERING INC. FOR REVIEW. AN ELECTRONIC MARKED SET OF THOSE DRAWINGS WILL BE RETURNED TO THE CONTRACTOR. NO ADDITIONAL HARD COPIES OF THE SHOP DRAWINGS NEED TO BE PROVIDED TO ALBERTSON ENGINEERING INC. ALTHOUGH OTHER PARTIES MAY REQUIRE HARD COPIES OF THE MARKED UP DRAWINGS. THESE REQUIREMENTS ARE IN ADDITION TO THE TYPICAL PROJECT SHOP DRAWING SUBMITTAL REQUIREMENTS STATED IN THE PROJECT SPECIFICATIONS.
- THE DESIGN OF THE STRUCTURE SHOWN IN THESE CONSTRUCTION DOCUMENTS IS FOR THE ONE-TIME USE AT THE SPECIFIC SITE REFERENCED IN THE GEOTECHNICAL REPORT.

## DESIGN CODES:

- 2018 INTERNATIONAL BUILDING CODE.
- ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY.
- AISC 360-16 SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS.
- ASCE 7-16 MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES.
- NDS 2018 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.

## DESIGN LOADS:

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED WITH THE FOLLOWING SUPERIMPOSED LOADINGS:

ROOF:	
SNOW LOAD	30 PSF + DRIFT + SLIDING
GROUND SNOW LOAD	42 PSF
DEAD LOAD	15 PSF
DECKS & STAIRS:	
LIVE LOAD (VERTICAL)	100 PSF
DEAD LOAD (VERTICAL)	20 PSF
LIVE LOAD (HORIZONTAL)	12 PSF
SNOW LOAD	50 PSF
WIND:	
ULTIMATE WIND SPEED	115 MPH
EXPOSURE CATEGORY	C
IMPORTANCE FACTOR	1.0
SEISMIC:	
SEISMIC GROUP	I
SEISMIC DESIGN CATEGORY	B
SITE CLASSIFICATION	D

## FOUNDATIONS:

- FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 3,000 PSF. ON EXISTING CONDITIONS. BEFORE CONSTRUCTION COMMENCES, SOIL BEARING CAPACITY SHALL BE VERIFIED BY A SUBSURFACE INVESTIGATION, A CERTIFIED TESTING LABORATORY, WHOSE REPORT SHALL INCLUDE ANALYSIS AND RECOMMENDATIONS FOR SITE PREPARATION IN ORDER TO BEAR THE FOUNDATION LOADS. ABOVE REPORT SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW BEFORE FOUNDATION CONSTRUCTION BEGINS. COST OF REPORT SHALL BE PAID DIRECTLY BY THE CITY OF DEADWOOD. CONTRACTOR IS RESPONSIBLE FOR SCHEDULE COORDINATION.
- BASE BID TO ASSUME ADEQUATE SUBGRADE SOILS EXIST AND MINIMAL (12" MAX DEPTH), IF ANY, SCARIFICATION, MOISTURE CONDITIONING, AND RECOMPACTION OF EXISTING SOILS BELOW FOOTINGS.

## PLUMBING SLEEVES:

MINIMUM SLEEVE SPACING SHALL BE TWO DIAMETERS CENTER TO CENTER TO THE LARGER SLEEVE OR 6" CLEAR BETWEEN SLEEVES, WHICHEVER IS GREATER. PRIOR TO CONSTRUCTION SLEEVE LOCATIONS AND SIZES SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD.

## PENETRATIONS:

NO PENETRATIONS SHALL BE MADE IN ANY STRUCTURAL MEMBERS OTHER THAN THOSE LOCATED ON THESE DRAWINGS WITHOUT PREVIOUS APPROVAL OF THE ENGINEER.

## FORMWORK AND SHORING:

NO STRUCTURAL CONCRETE SHALL BE STRIPPED UNTIL IT HAS REACHED AT LEAST TWO-THIRDS OF THE 28 DAY DESIGN STRENGTH. DESIGN, ERECTION AND REMOVAL OF ALL FORMWORK, SHORES AND RESHORES SHALL MEET THE REQUIREMENTS SET FORTH IN ACI STANDARDS 301 AND 347.

## CONCRETE MIX DESIGN:

- SHALL BE MIX DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A STRENGTH AT 28 DAYS AS LISTED BELOW WITH A PLASTIC AND WORKABLE MIX.
  - 4,000 PSI - ALL CONCRETE

## CONCRETE MIX DESIGN CONTINUED:

- SUBMIT PROPOSED MIX DESIGN WITH RECENT FIELD CYLINDER OR LAB TESTS FOR REVIEW PRIOR TO USE. MIX SHALL BE UNIQUELY IDENTIFIED BY MIX NUMBER OR OTHER POSITIVE IDENTIFICATION. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN STATED ABOVE, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LAB TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ALL SLABS SHALL BE CURED USING CURING COMPOUND MEETING ASTM STANDARD C309 TYPE 1 AND SHALL HAVE A FUGITIVE DYE. THE COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCUFFED OR BROKEN AREAS IN THE CURING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED; OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
- CONCRETE SHALL UTILIZE TYPE III CEMENT W/ MINIMUM 20% FLY-ASH CONTENT BY WEIGHT.
- THE CONCRETE STRENGTHS SHOWN IN THE SECTION ABOVE AND IN THE SPECIFICATIONS ARE MINIMUM COMPRESSIVE STRENGTHS. THE ENGINEER SHALL DETERMINE IF THE CONCRETE IS ACCEPTABLE, OR TO BE REMOVED, OR TO RECEIVE SPECIAL CURING IF THE COMPRESSIVE STRENGTHS ARE LESS THAN SPECIFIED.
- ALL CONCRETE SHALL BE AIR ENTRAINED TO 5% TO 7%.
- WATER REDUCING AGENTS MAY BE USED IN THE CONCRETE MIX. PLASTICIZERS AND SUPER-PLASTICIZERS MAY BE USED ONLY WHEN WRITTEN PERMISSION OF THE ENGINEER IS GIVEN.
- NO SALTS OF ANY KIND MAY BE USED IN CONCRETE BEFORE OBTAINING THE ENGINEER'S WRITTEN PERMISSION FOR THEIR USE.
- MAXIMUM WATER TO CEMENT/ITIOS MATERIAL FOR ALL CONCRETE SHALL NOT EXCEED 0.5 UNLESS NOTED OTHERWISE.
- MAXIMUM SLUMP LIMITS:
 

SLAB ON GRADE	3" ±1"
FOOTINGS	4" ±1"
ALL OTHER CONCRETE	4" ±1"

## CONCRETE AND REINFORCING PLACEMENT:

- ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 301 AND ACI 117 EXCEPT AS MODIFIED BELOW:
  - ACI 117 ITEM 4.3.1 ELEVATIONS OF SLABS-ON-GRADE TOP OF SLAB ELEVATION SHALL BE WITHIN A 3/8" ENVELOPE EITHER SIDE OF THE THEORETICAL DESIGN SURFACE.
  - ACI 117 ITEM 4.5.7 FLOOR FINISH TOLERANCES AS MEASURED BY PLACING A FREESTANDING (UNLEVELLED) 10 FT. STRAIGHTEDGE ANYWHERE ON THE SLAB AND ALLOWING IT TO REST UPON TWO HIGH SPOTS WITHIN 28 DAYS AFTER SLAB CONCRETE PLACEMENT. THE GAP AT ANY POINT BETWEEN THE STRAIGHT EDGE AND THE FLOOR SHALL NOT EXCEED 1/4".
- ALL REINFORCING STEEL TO BE ASTM A615, GRADE 60 (#4 AND LARGER), EXCEPT WHERE NOTED OTHERWISE. REINFORCING SHALL NOT BE WELDED
- ALL REINFORCING STEEL BARS TO BE DETAILED AND PLACED IN ACCORDANCE WITH THE LATEST ACI MANUALS.
- LAP ALL REINFORCING SPLICES IN CONCRETE A MINIMUM OF 48 BAR DIAMETERS OR 24 INCHES, WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE ON DRAWINGS (CLASS B SPLICE).
- PROVIDE FOUNDATION DOWELS AS SHOWN. MINIMUM SIZE DOWELS TO BE #4, UNLESS OTHERWISE NOTED. ALL VERTICAL REINFORCING STEEL IN COLUMNS AND PIERS, OR VERTICAL REINFORCING IN WALLS, SHALL BE DOWELED INTO THE FOOTINGS WITH SAME SIZE AND QUANTITY DOWEL AS THE VERTICAL REINFORCING.
- WHERE SHOWN ON THE DRAWINGS, PROVIDE WELD PLATES, WELDMENTS, OR CONCRETE INSERTS FOR FASTENING AND SECURING OTHER COMPONENTS. CONCRETE INSERTS SHALL BE FURNISHED BY THE CONTRACTOR REQUIRING THEM AND INSTALLED BY THE CONTRACTOR CASTING THE CONCRETE AROUND THEM. CLIP ANGLES SHALL BE FURNISHED BY THE CONTRACTOR REQUIRING THEM.
- REINFORCING STEEL SHALL RECEIVE CONCRETE COVER AS FOLLOWS:
 

DESCRIPTION	MINIMUM COVER
CAST AGAINST & PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER #6 THROUGH #18 BARS	2"
#5 BARS OR SMALLER	1 1/2"
NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH THE GROUND, SLABS AND WALLS #11 BARS OR SMALLER	3/4"
#14 AND #18	1 1/2"
BEAMS AND COLUMNS	1 1/2"
SHELLS, FOLDED PLATE MEMBERS: NO. 6 BAR AND LARGER	3/4"
NO. 5 BAR, W31 OR D31 WIRE AND SMALLER	1/2"
COLD WEATHER AND HOT WEATHER PROVISIONS OF ACI 306 AND 305 (CURRENT EDITIONS), RESPECTIVELY, SHALL BE MAINTAINED.	

## CONCRETE TESTING:

- CONCRETE TESTING SHALL BE PAID FOR BY THE OWNER. TESTING LABORATORY SHALL PERFORM THE FOLLOWING TEST ON CAST-IN-PLACE CONCRETE:
  - ASTM C143 - "STANDARD TEST METHOD FOR SLUMP OF PORTLAND CEMENT CONCRETE."
  - ASTM C39 - "STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF CYLINDRICAL CONCRETE SPECIMENS. A SEPARATE TEST SHALL BE CONDUCTED ON EACH CLASS, FOR EVERY 50 CUBIC YARDS OR FRACTION THEREOF), PLACED PER DAY. REQUIRED CYLINDER(S) QUANTITIES AND TEST AGE AS FOLLOWS:
    - AT 7 DAYS
    - AT 28 DAYS
  - PROVIDE ONE ADDITIONAL RESERVE CYLINDER TO BE TESTED UNDER THE DIRECTION OF THE ENGINEER, IF REQUIRED. IF 28 DAY STRENGTH IS ACHIEVED, THE ADDITIONAL CYLINDER(S) MAY BE DISCARDED.
  - TESTING SHALL BE BASED UPON CONCRETE TAKEN AT POINT OF PLACEMENT.
  - IN ADDITION TO TYPICAL TESTING REQUIREMENTS, SLUMP AND AIR CONTENT SAMPLES SHALL BE TAKEN AT BEGINNING OF FIRST TRUCK PRIOR TO ANY PLACEMENT AND REPEATED AT THE MIDDLE OF FIRST TRUCK. CONCRETE PLACEMENT SHALL NOT START IF INITIAL TEST(S) FAIL AND SHALL NOT CONTINUE OF TEST TAKEN AT MIDDLE OF FIRST LOAD FALLS.
  - IF ANY SLUMP OR AIR CONTENT FAILS DURING PLACEMENT, TESTS SHALL BE IMMEDIATELY REPORTED AND RETAKEN. IF RETAKEN TESTS FAIL THEN ALL SUBSEQUENT LOADS MUST BE TESTED AT ARRIVAL AND TEST MUST SHOW COMPLIANCE PRIOR TO THE CONCRETE IN THAT TRUCK BEING ALLOWED STRUCK USE ON PROJECT. ALL COSTS FOR ADDITIONAL TESTING SHALL BE CREDITED TO THE OWNER.

## CHEMICAL ANCHORS:

SHALL BE A POLYMER INJECTION SYSTEM SUCH AS HILTI HY-200, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLERS SHALL BE TRAINED BY THE MANUFACTURER'S REPRESENTATIVE.

## ANCHOR BOLTS:

- SHALL BE A36 THREADED ROD. PROVIDE HOT DIP GALVANIZE FINISH ON ALL ANCHOR BOLTS PERMANENTLY EXPOSED TO EXTERIOR OR IN CONTACT WITH PRESSURE TREATED LUMBER.
- THREADED ROD EMBEDMENT DEPTH SPECIFIED IN THE DRAWINGS SHALL BE FROM TOP OF CONCRETE TO TOP OF DOUBLE NUT.

## STRUCTURAL STEEL:

- STEEL SHALL CONFORM TO ASTM A992 (Fy=50 KSI) FOR ALL W-SHAPES, AND ASTM A36 (Fy=36 KSI) FOR ALL OTHER MISCELLANEOUS SHAPES AND PLATES. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B (Fy=46 KSI). STRUCTURAL PIPE SHALL CONFORM TO ASTM A53, GRADE B, TYPE "E" OR "S" (Fy=35 KSI).
  - WHERE INDICATED IN DRAWINGS, "CORTEN" STEEL SHALL BE ASTM A588 OR A242.
- STEEL SHALL CONFORM TO THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS.
- ALL SHOP CONNECTIONS TO BE WELDED (UTILIZING E70XX ELECTRODES) AND FIELD CONNECTIONS TO BE BOLTED, UNLESS OTHERWISE NOTED. STEEL TO RECEIVE ONE SHOP COAT AND ONE FIELD TOUCH UP COAT OF APPROVED PAINT, EXCEPT WHERE GALVANIZED IS INDICATED ON THE DRAWINGS.
- WELDS FOR ALL EXPOSED STRUCTURAL STEEL SHALL BE GROUND SMOOTH UNLESS NOTED OTHERWISE.
- ALL BOLTED CONNECTIONS SHALL CONSIST OF 3/4" DIA. (MIN.) F1852 HIGH STRENGTH BOLTS, UNLESS NOTED OTHERWISE.
  - FAILURE OF A BOLT OR NUT DURING INSTALLATION PROCESS RESULTING IN A CRACK IN THE BOLT OR NUT SHALL BE GROUNDS FOR REJECTION OF ALL THE FAILED BOLTS OR NUTS COMING FROM THE SAME LOT. IF THE DOCUMENTATION OF THE LOT OF ORIGIN FOR THE FAILED NUT(S) OR BOLT(S) DOES NOT EXIST, OR IS NOT PROVIDED, THEN ALL OF THE BOLT(S) OR NUT(S) SHALL BE ASSUMED TO COME FROM THE LOT CONTAINING THE FAILED NUT(S) OR BOLT(S).
- CONTRACTOR SHALL MAINTAIN ERECTION TOLERANCES OF STRUCTURAL STEEL AND ARCHITECTURALLY EXPOSED STRUCTURAL STEEL WITHIN AISC'S CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- ANCHOR BOLT HOLES IN STRUCTURAL STEEL SHALL BE OVERSIZED NO MORE THAN 1/8" MAX, UNLESS NOTED OTHERWISE.

## WOOD:

- STRUCTURAL WOOD COMPONENTS HAVE BEEN DESIGNED AS ROUGH SAWN DOUGLAS FIR #1 OR BETTER AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES AND PROPERTIES:
 

MODULUS OF ELASTICITY (E)	1,700,000 PSI
BENDING (Fb)	1,150 PSI
SHEAR (Fv)	180 PSI
- ALL WOOD SHALL BE TREATED WITH COPPER NAPHTHENATE, 0.075 PCF PER AWPA UC4B.
- MEMBER SIZES SHOWN ARE ROUGH SAWN UNLESS NOTED OTHERWISE.
- BOLTS IN WOOD ARE MACHINE BOLTS, UNLESS OTHERWISE NOTED. MACHINE BOLTS SHALL HAVE A SHANK DIAMETER WITHIN 1/16" OF THAT SPECIFIED. BOLTS ARE ASTM 307 STEEL. BOLT HOLES IN WOOD SHALL BE 1/32" OVERSIZE. WHERE STEEL IS CONNECTED TO WOOD, HOLES IN STEEL SHALL BE 1/16" OVERSIZE. PROVIDE STANDARD CUT WASHERS UNDER HEAD AND NUT WHERE BEARING IS AGAINST WOOD. WHERE STEEL SIDE PLATES ARE USED FOR CONNECTION, THE PLATE SHALL BE USED AS A TEMPLATE.

## WOOD DECKING:

- MATERIAL GRADE SHALL BE PER "WOOD" SECTION ABOVE AND SHALL BE S1S1E WITH ROUGH SIDE INSTALLED UP.
- SCREW EACH COURSE OF DECKING WITH (2) EXTERIOR GRADE #10x4 1/2" SCREW INTO EACH SUPPORTING MEMBER.
- ALL DECKING SHALL END ABOVE A SUPPORTING FRAMING MEMBER.
- PROVIDE 1/8" MAX SPACE BETWEEN ADJACENT, PARALLEL WOOD DECKING PLANKS.

## SPECIAL INSPECTION AND TESTING:

- SEE DETAILED INSPECTION AND TESTING REQUIREMENTS AS INDICATED ON SHEET S002.

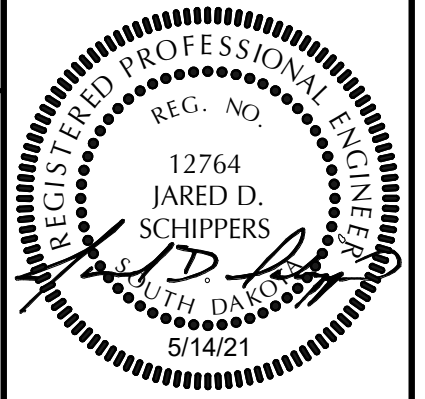
# SYMBOLS LEGEND

<b>DETAIL/SECTION/PLAN BLOCK TITLE INDICATOR</b>			

# STRUCTURAL HATCH PATTERNS


# INDEX TO STRUCTURAL SHEETS

SHT NO	SHEET NAME
G001	COVER SHEET
S001	STRUCTURAL GENERAL NOTES
S002	IBC INSPECTION TABLES
S003	3D REPRESENTATIONS
S004	STANDARD DETAILS / SCHEDULES
SB101	FOUNDATION PLAN - OVERALL
SB102	FOUNDATION PLAN - ZONE 1
SB103	FOUNDATION PLAN - ZONE 2
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SF501	DETAILS



Albertson Engineering Inc. CONSULTANT

PROJECT IDEN:  
DAYS OF '76 CROW'S NEST ADDITION

DEADWOOD, SOUTH DAKOTA

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

MANAGEMENT:  
PROJECT NO: 17-356  
DRAWN BY: MDR  
CHECKED BY: JDS

SHEET TITLE:  
STRUCTURAL GENERAL NOTES

SHEET IDENTIFICATION:  
**S001**  
2 OF 32

22X34 TITLE BLOCK

IBC 2018 TABLE 1705.3 REQUIRED SPECIAL INSPECTION AND TESTS OF CONCRETE CONSTRUCTION

Table with 6 columns: TYPE, CONTINUOUS SPECIAL INSPECTION, PERIODIC SPECIAL INSPECTION, REFERENCED STANDARD, IBC REFERENCE, REQUIRED ON PROJECT. Contains 12 rows of inspection requirements for concrete construction.

a. WHERE APPLICABLE, SEE SECTION 1705.12, SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE.

b. SPECIFIC REQUIREMENTS FOR SPECIAL INSPECTION SHALL BE INCLUDED IN THE RESEARCH REPORT FOR THE ANCHOR ISSUED BY AN APPROVED SOURCE IN ACCORDANCE WITH 17.8.2 IN ACI 318, OR OTHER QUALIFICATION PROCEDURES. WHERE SPECIFIC REQUIREMENTS ARE NOT PROVIDED, SPECIAL INSPECTION REQUIREMENTS SHALL BE SPECIFIED BY THE REGISTERED DESIGN PROFESSIONAL AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF THE WORK.

WELDING OR REINFORCING BARS. SPECIAL INSPECTIONS OF WELDING AND QUALIFICATIONS OF SPECIAL INSPECTORS FOR REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AWS D1.4 FOR SPECIAL INSPECTION AND AWS D1.4 FOR SPECIAL INSPECTOR QUALIFICATION.

MATERIAL TESTS. IN THE ABSENCE OF SUFFICIENT DATA OR DOCUMENTATION PROVIDING EVIDENCE OF CONFORMANCE TO QUALITY STANDARDS FOR MATERIALS IN CHAPTERS 19 AND 20 OF ACI 318, THE BUILDING OFFICIAL SHALL REQUIRE TESTING OF MATERIALS IN ACCORDANCE WITH THE APPROPRIATE STANDARDS AND CRITERIA FOR THE MATERIAL IN CHAPTERS 19 AND 20 OF ACI 318.

SPECIAL INSPECTION AND TESTING:

- 1. SPECIAL INSPECTION AND MINIMUM TESTING SHALL BE PERFORMED IN ACCORDANCE WITH 2006 IBC TABLES 1704.3 (STEEL), 1704.4 (CONCRETE).
2. INSPECTION SHALL BE PROVIDED BY AN INDEPENDENT TESTING AGENCY HIRED AT THE OWNER'S EXPENSE. AGENCY INSPECTION PERSONNEL SHALL MEET THE INSPECTOR QUALIFICATIONS FOR EACH MATERIAL ITEM AS INDICATED IN THE SPECIFICATIONS.
3. ANY MATERIAL OR PLACEMENT DEVIATIONS FROM MINIMUMS SHOWN ON THE DRAWINGS OR IN SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
4. IN ADDITION TO THE IBC INSPECTION TABLES, THE INSPECTOR SHALL VERIFY THAT ALL STEEL MAINTAIN ERECTION TOLERANCES OF STRUCTURAL STEEL AND ARCHITECTURALLY EXPOSED STRUCTURAL STEEL WITHIN AISC'S CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
5. IN ADDITION TO THE CONCRETE IBC INSPECTION TABLE, THE INSPECTOR SHALL VERIFY THAT ALL CONCRETE MAINTAIN TOLERANCES SPECIFIED IN ACI 117-90 STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS.

STEEL CONSTRUCTION

TABLE N5.4-1 INSPECTION TASKS PRIOR TO WELDING

Table with 3 columns: INSPECTION TASKS PRIOR TO WELDING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists tasks like welder qualification, WPS availability, material identification, etc.

(a) THE FABRICATOR OR ERECTOR, AS APPLICABLE, SHALL MAINTAIN A SYSTEM BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBER CAN BE IDENTIFIED. STAMPS, IF USED, SHALL BE THE LOW-STRESS TYPE.

TABLE N5.4-2 INSPECTION TASKS DURING WELDING

Table with 3 columns: INSPECTION TASKS DURING WELDING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists tasks like use of qualified welders, control of consumables, environmental conditions, etc.

AISC 360-16 TABLE N5.4-3 INSPECTION TASKS AFTER WELDING

Table with 3 columns: INSPECTION TASKS AFTER WELDING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists tasks like welds cleaned, size and location of welds, weld access holes, etc.

(a) WHEN WELDING OF DOUBLE PLATES, CONTINUITY PLATES OR STIFFENERS HAS BEEN PERFORMED IN THE k-AREA, VISUALLY INSPECT THE WEB k-AREA FOR CRACKS WITHIN 3" (75 mm) OF THE WELD.

(b) AFTER ROLLED HEAVY SHAPES (SEE SECTION A3.1c) AND BUILT-UP HEAVY SHAPES (SEE SECTION A3.1d) ARE WELDED, VISUALLY INSPECT THE WELD ACCESS HOLE FOR CRACKS.

AISC 360-16 TABLE N5.6-1 INSPECTION TASKS PRIOR TO BOLTING

Table with 3 columns: INSPECTION TASKS PRIOR TO BOLTING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists tasks like manufacturer's certifications, correct fasteners, correct bolting procedure, etc.

AISC 360-16 TABLE N5.6-2 INSPECTION TASKS DURING BOLTING

Table with 3 columns: INSPECTION TASKS DURING BOLTING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists tasks like fastener assemblies, joint brought to snug-tight, fastener component not turned, etc.

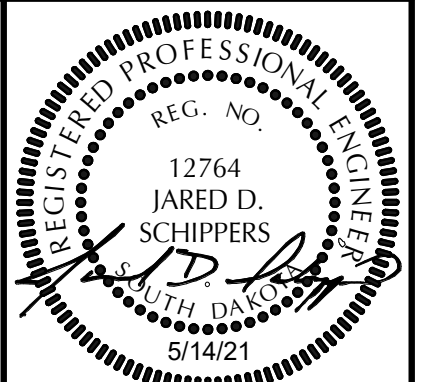
AISC 360-16 TABLE N5.6-3 INSPECTION TASKS AFTER BOLTING

Table with 3 columns: INSPECTION TASKS AFTER BOLTING, INSPECTION INTERVAL, REQUIRED ON PROJECT. Lists task: document acceptance or rejection of bolted connections.

- O-OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS. P-PERFORM THESE TASKS FOR EACH WELDED JOINT OR MEMBER.
OBSERVATION OF WELDING OPERATIONS AND VISUAL INSPECTION OF IN-PROCESS AND COMPLETED WELDS SHALL BE THE PRIMARY METHOD TO CONFIRM THAT THE MATERIALS, PROCEDURES AND WORKMANSHIP ARE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
FOR STRUCTURES IN RISK CATEGORY III/IV (ASCE/SEI 7, TABLE 1.5-1), ULTRASONIC TESTING SHALL BE PERFORMED ON ALL COMPLETE JOINT-PENETRATION GROOVE WELDS SUBJECT TO TRANSVERSELY APPLIED TENSION LOADING IN BUTT, T- AND CORNER JOINTS, IN MATERIALS 5/16" (8 MM) THICK OR GREATER.
FOR STRUCTURES IN RISK CATEGORY II (ASCE/SEI 7, TABLE 1.5-1), ULTRASONIC TESTING SHALL BE PERFORMED ON 10% OF COMPLETE JOINT-PENETRATION GROOVE WELDS SUBJECT TO TRANSVERSELY APPLIED TENSION LOADING IN BUTT, T- AND CORNER JOINTS, IN MATERIALS 5/16" (8 MM) THICK OR GREATER.
ALL NONDESTRUCTIVE TESTING OF WELDED JOINTS SHALL BE DOCUMENTED.
SEE AISC360-16 CHAPTER N FOR ADDITIONAL WELD INSPECTION REQUIREMENTS.
SEE AISC360-16 CHAPTER N FOR ADDITIONAL BOLT INSPECTION REQUIREMENTS.
EXPOSED CUT SURFACES OF GALVANIZED STRUCTURAL STEEL MAIN MEMBERS AND EXPOSED CORNERS OF RECTANGULAR HSS SHALL BE VISUALLY INSPECTED FOR CRACKS SUBSEQUENT TO GALVANIZING.
INSPECTION SHALL OCCUR DURING THE PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, INCLUDING DIAMETER, GRADE, TYPE AND LENGTH OF THE ANCHOR ROD OR EMBEDDED ITEM, AND THE EXTENT OR DEPTH OF EMBEDMENT INTO THE CONCRETE.
FABRICATED STEEL AND ERECTED STEEL FRAMES, AS APPROPRIATE, SHALL BE INSPECTED FOR COMPLIANCE WITH THE DETAILS SHOWN ON THE CONSTRUCTION DOCUMENTS, INCLUDING BRACES, STIFFENERS, MEMBER LOCATIONS AND PROPER JOINT DETAIL APPLICATION.

IBC 2018 TABLE 1705.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

Table with 4 columns: VERIFICATION AND INSPECTION TASKS, CONTINUOUS SPECIAL INSPECTION, PERIODIC SPECIAL INSPECTION, REQUIRED ON PROJECT. Lists tasks like verify materials below foundations, verify excavations, verify soil classification, etc.



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PROJECT IDEN: DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

ISSUE BLOCK: NO. ISSUE TYPE. ISSUE DATE. CD 100% CD 05/14/21

MANAGEMENT: PROJECT NO: 17-356. DRAWN BY: MDR. CHECKED BY: JDS

SHEET TITLE: IBC INSPECTION TABLES

SHEET IDENTIFICATION: S002

3 OF 32

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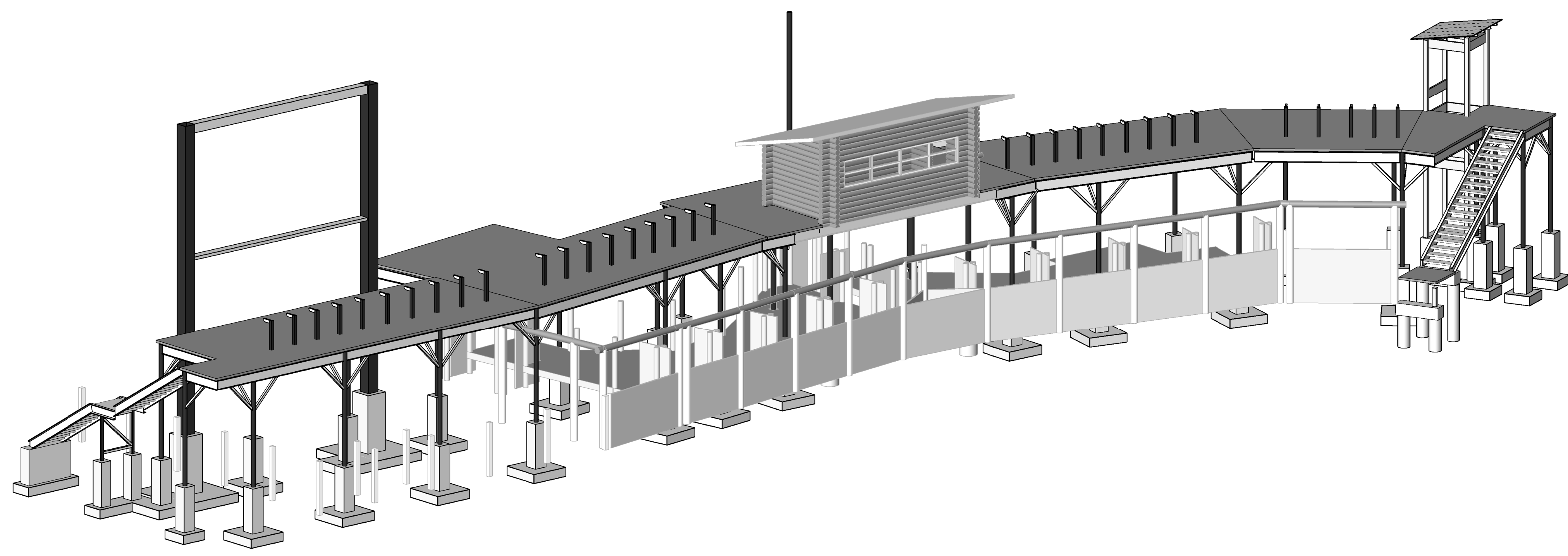
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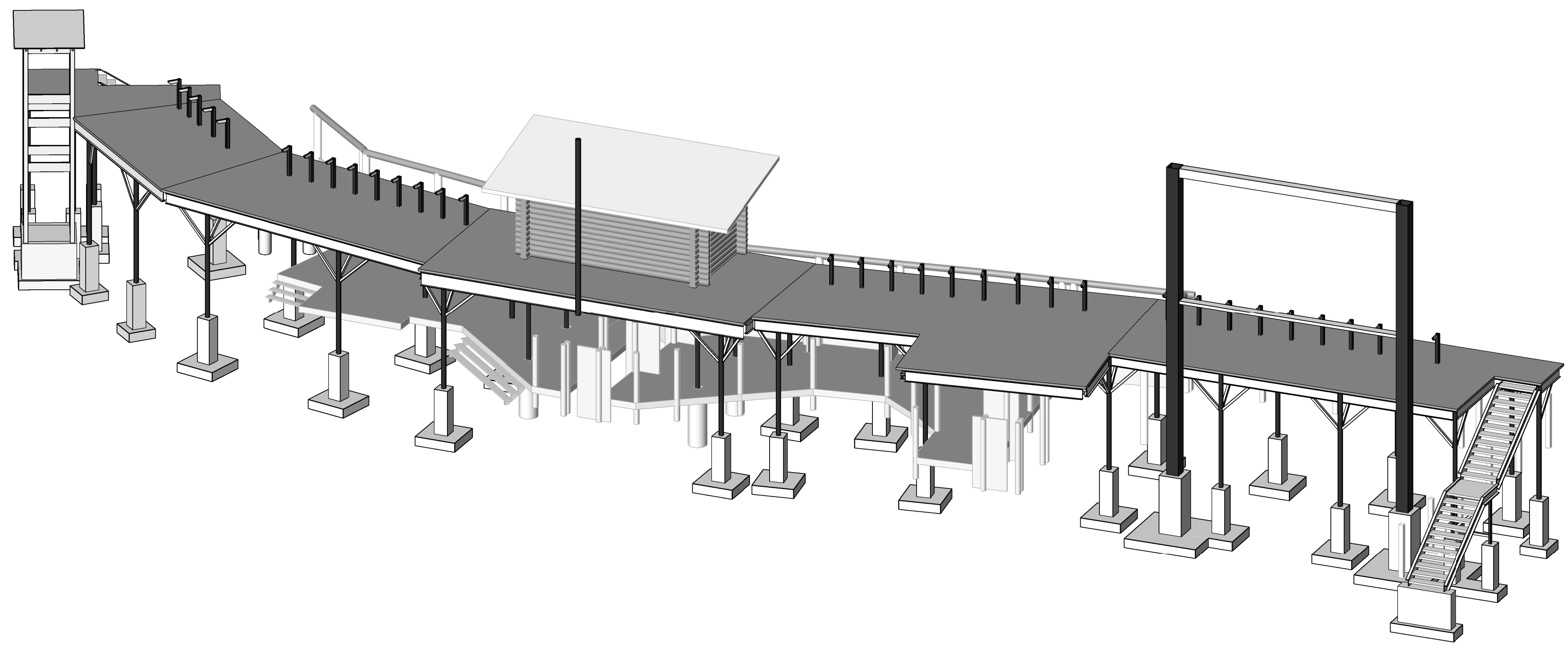
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3D VIEW

SCALE: NTS

B



3D VIEW

SCALE: NTS

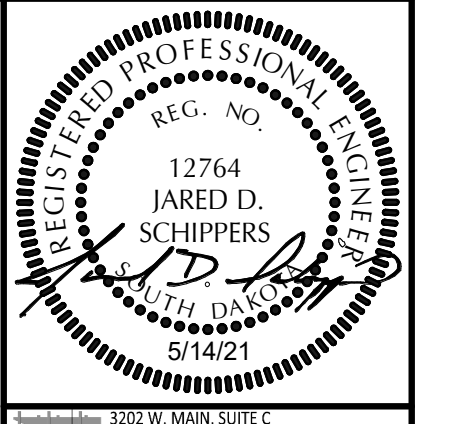
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 NEST ADDITION



DEADWOOD, SOUTH DAKOTA

ISSUE BLOCK:

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

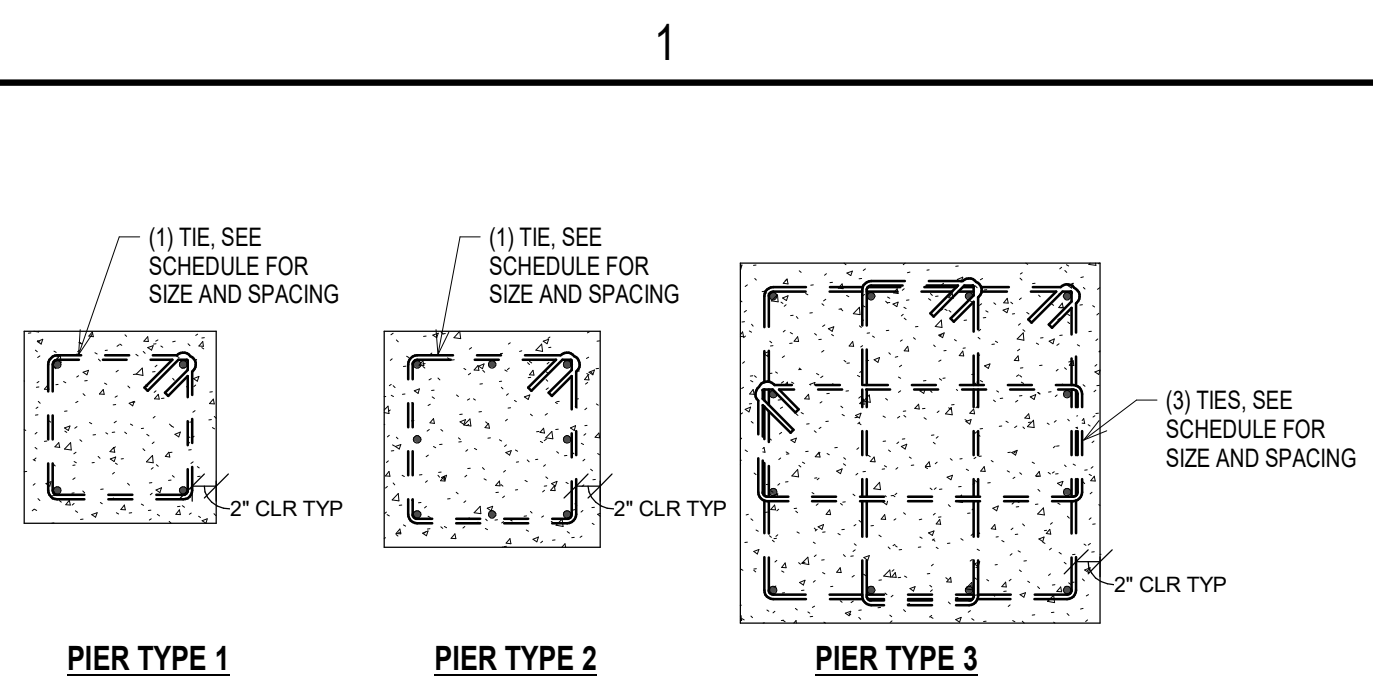
MANAGEMENT:  
 PROJECT NO: 17-356  
 DRAWN BY: MDR  
 CHECKED BY: JDS

SHEET TITLE:  
 3D  
 REPRESENTATIONS

SHEET IDENTIFICATION:

S003





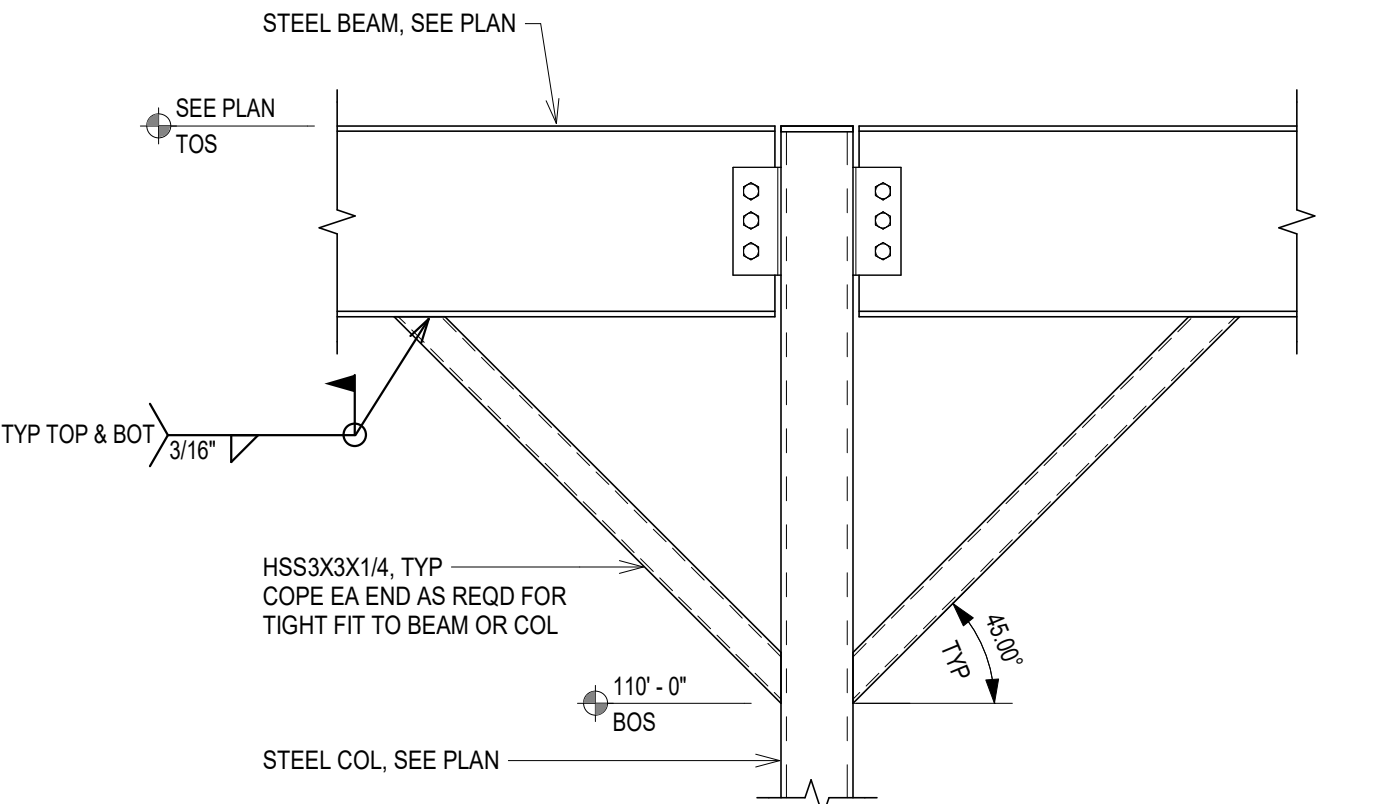
### CONCRETE PIER SCHEDULE

SIZE	REINFORCEMENT		REMARKS
	VERT REINF	TIE SIZE & SPACING	
16" x 16"	(4) #6	#4 @ 10" C.C.	PIER TYPE 1
18" x 18"	(8) #6	#4 @ 10" C.C.	PIER TYPE 2
30" x 30"	(12) #7	(3) #4 @ 10" C.C.	PIER TYPE 3

ADDITIONAL REMARKS:  
 • PROVIDE (3) #3 TIES WITHIN TOP 5" OF CONCRETE PIERS THAT RECEIVE THREADED ROD ANCHORS.

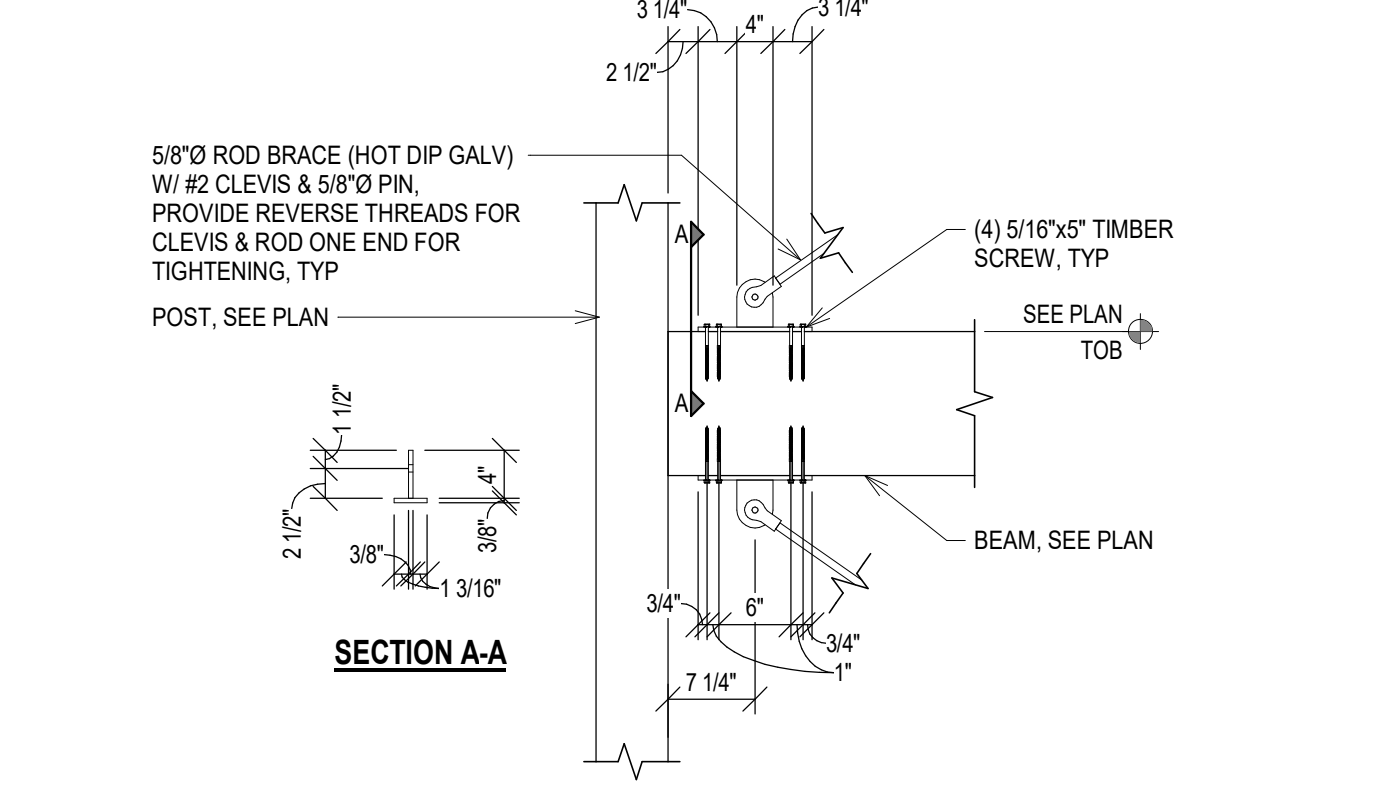
### SCHEDULE - CONCRETE PIER & DIAGRAMS

SCALE: NTS



### TYP DIAGONAL BRACE

SCALE: NTS



### TYP X-BRACE TO BEAM DETAIL

SCALE: NTS

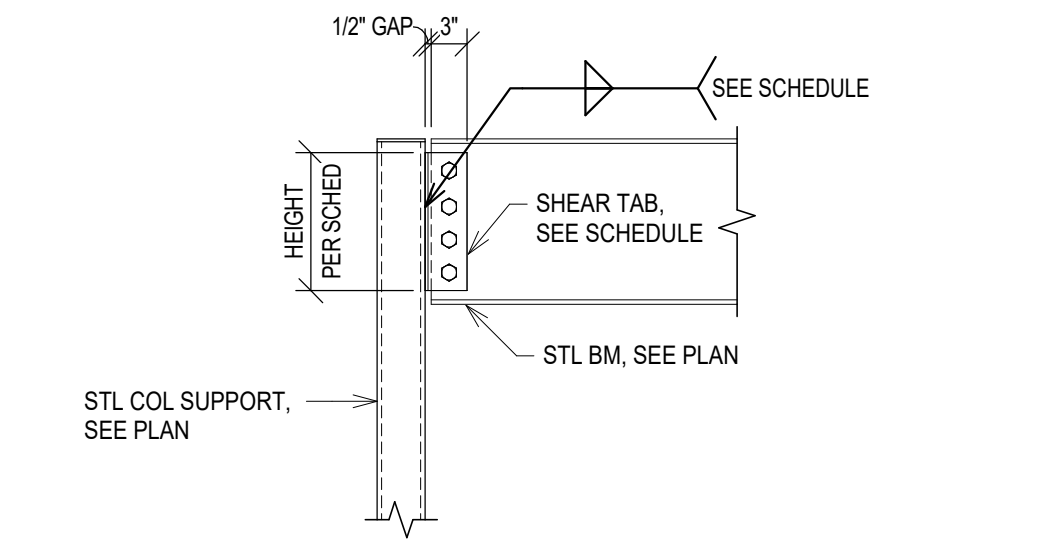
### BASE PLATE SCHEDULE

MARK	BASE PLATE	ANCHORS
BP1	12"x12"x3/4" BASE PL	(8) 3/4"Ø HOT DIPPED GALV THREADED ROD ANCHOR BOLTS (GR 36KSI) W/ 36" MIN EMBED
BP2	12"x12"x3/4" BASE PL	(4) 3/4"Ø HOT DIPPED GALV THREADED ROD ANCHOR BOLTS (GR 36KSI) W/ 18" MIN EMBED
BP3	24"x24"x1 1/2" BASE PL	(12) 1"Ø HOT DIPPED GALV THREADED ROD ANCHOR BOLTS (GR 55KSI) W/ 48" MIN EMBED

ADDITIONAL REMARKS:  
 • PROVIDE 1 1/2" NON-SHRINK GROUT BELOW BASE PLATES.  
 • PROVIDE DOUBLE NUT TOP AND BOTTOM OF THREADED ROD.

### SCHEDULE - BASE PLATE SCHEDULE & DIAGRAMS

SCALE: NTS

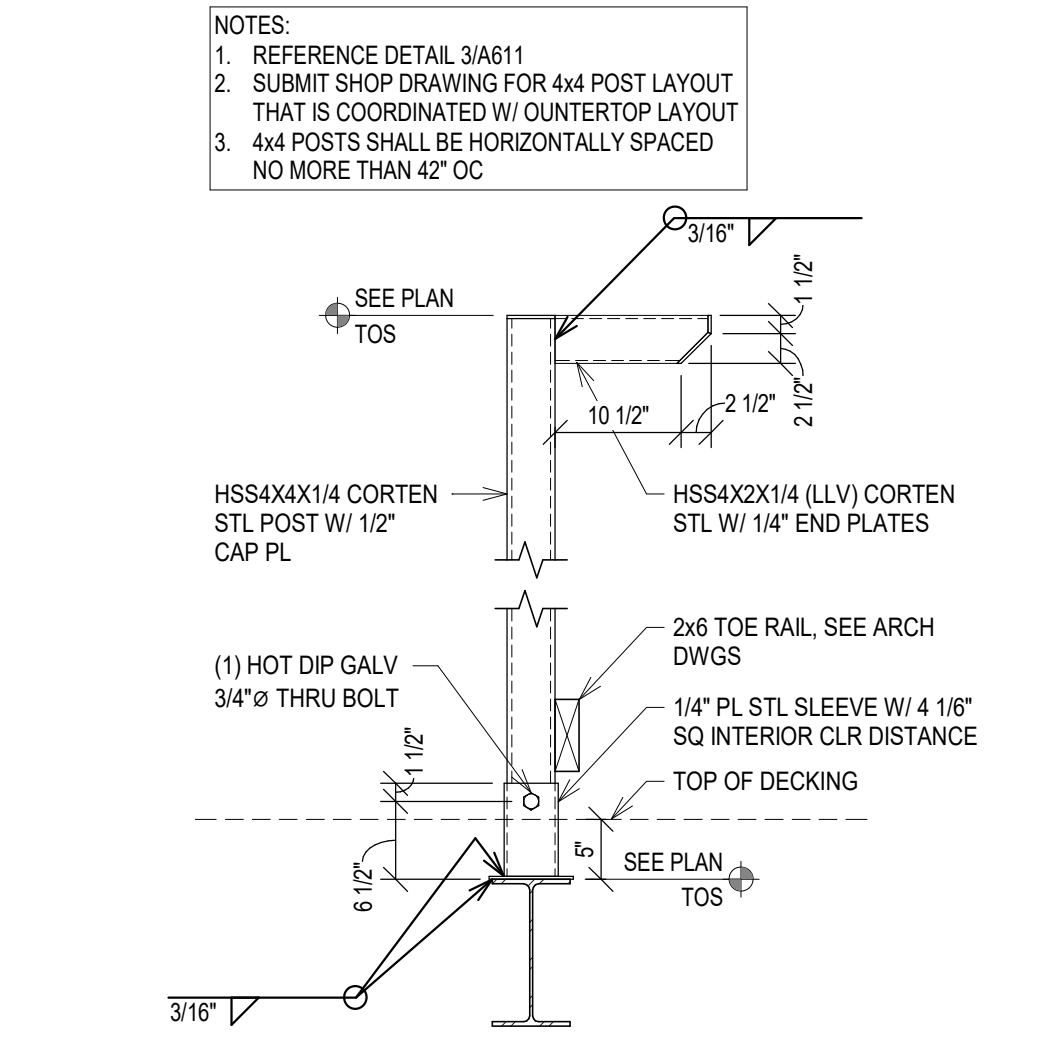


### SHEAR TAB CONNECTION SCHEDULE

BEAM	HEIGHT	THICKNESS	3/4"Ø A325N BOLTS	WELD SIZE TO COL
W8	5 1/2"	3/8"	2	5/16" FILLET
W12 & 14	8 1/2"	3/8"	3	5/16" FILLET
W16	11 1/2"	3/8"	4	5/16" FILLET
W18	14 1/2"	3/8"	5	5/16" FILLET
W21	17 1/2"	3/8"	6	5/16" FILLET
W24	20 1/2"	3/8"	7	3/8" FILLET
W27	23 1/2"	3/8"	8	3/8" FILLET
W30	26 1/2"	3/8"	9	3/8" FILLET

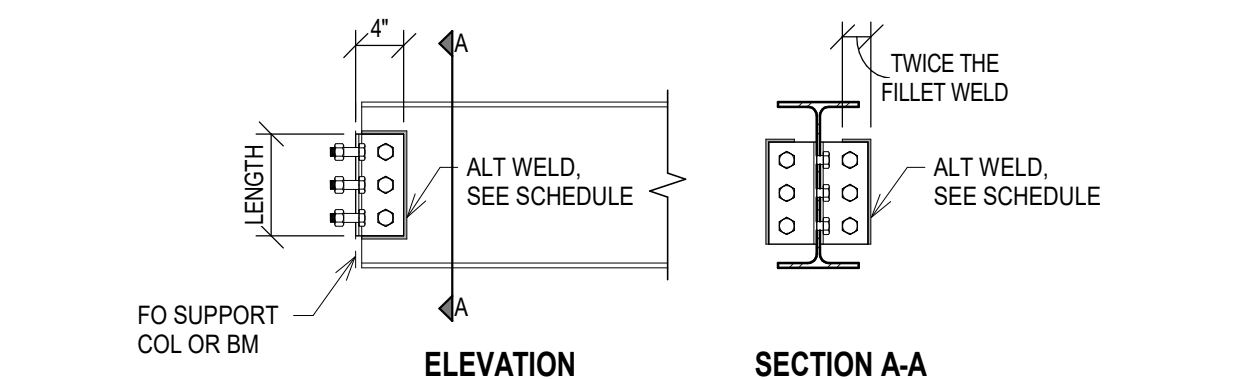
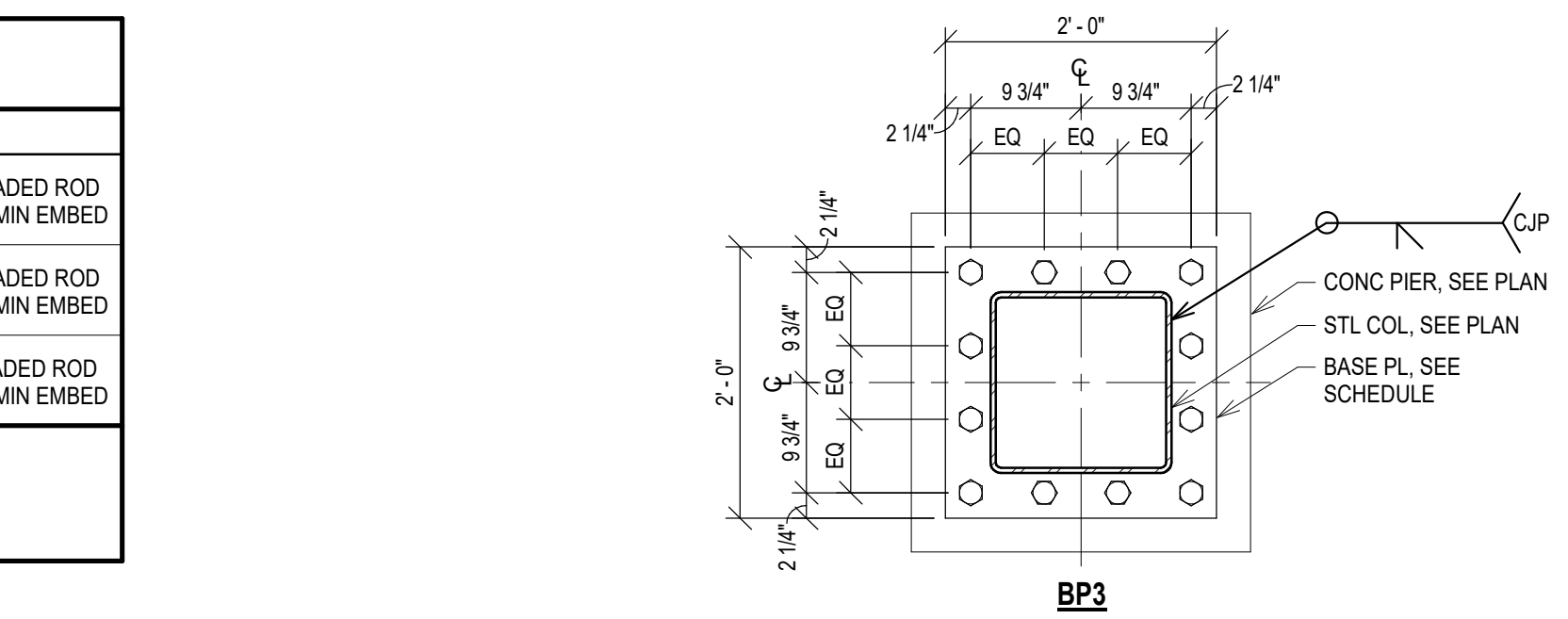
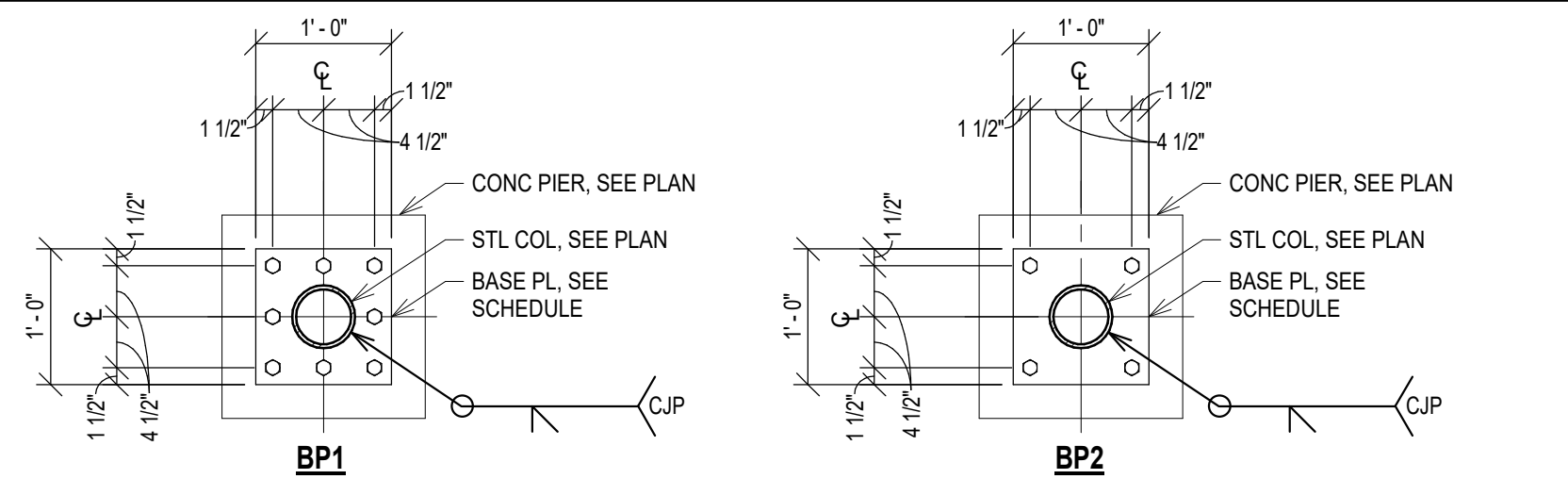
### SCHEDULE - SHEAR TAB CONNECTION

SCALE: NTS



### TYP BAR TOP POST DETAIL

SCALE: NTS



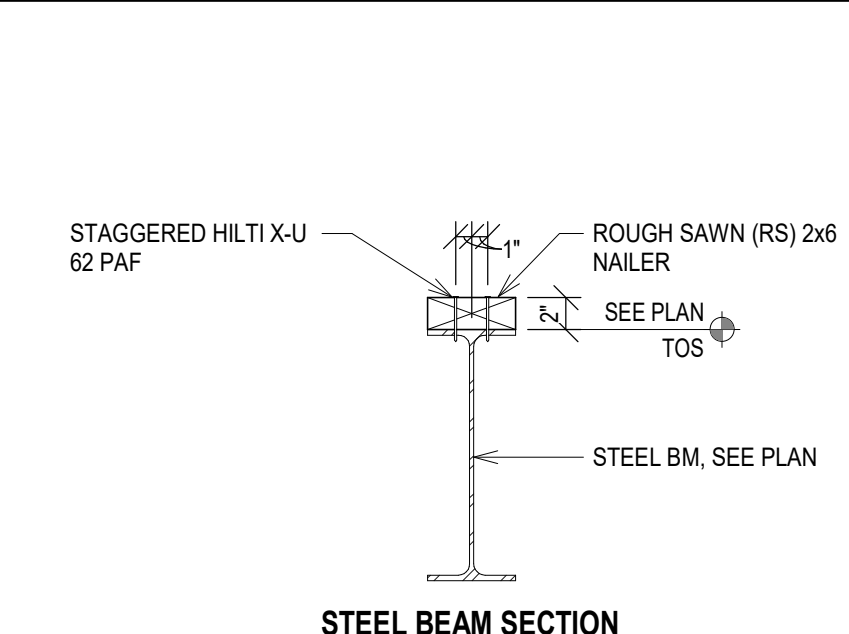
### DOUBLE ANGLE CONNECTION SCHEDULE

BEAM	3/4"Ø A325N BOLTS	CONNECTION ANGLES		ALTERNATE WELD TO BM SIZE (SHOP WELD ONLY)
		LENGTH	THICKNESS	
W8	2	5 1/2"	5/16"	5/16" FILLET
W12 & 14	3	8 1/2"	5/16"	5/16" FILLET
W16	4	11 1/2"	5/16"	5/16" FILLET
W18	5	14 1/2"	5/16"	5/16" FILLET
W21	6	17 1/2"	5/16"	5/16" FILLET
W24	7	20 1/2"	5/16"	5/16" FILLET
W27	8	23 1/2"	5/16"	5/16" FILLET
W30	9	26 1/2"	5/16"	5/16" FILLET

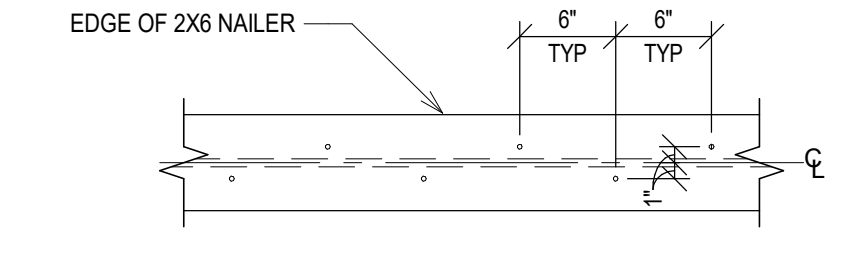
ADDITIONAL REMARKS:  
 1. USE E70XX ELECTRODES.  
 2. SIZE & NUMBER OF BOLTS INTO SUPPORTING MEMBER TO BE TWICE THE NUMBER OF BOLTS INTO THE BEAM & OF THE SAME SIZE.

### SCHEDULE - DBL ANGLE CONNECTION

SCALE: NTS



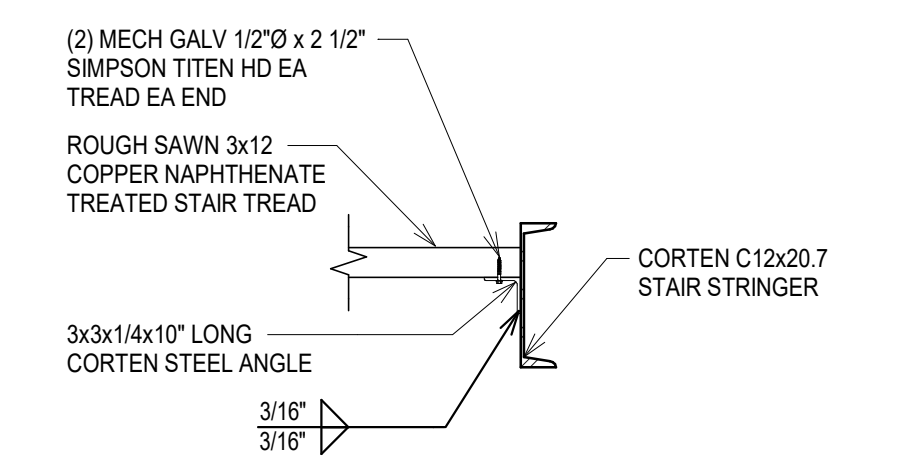
### STEEL BEAM SECTION



### WOOD NAILER PLAN VIEW

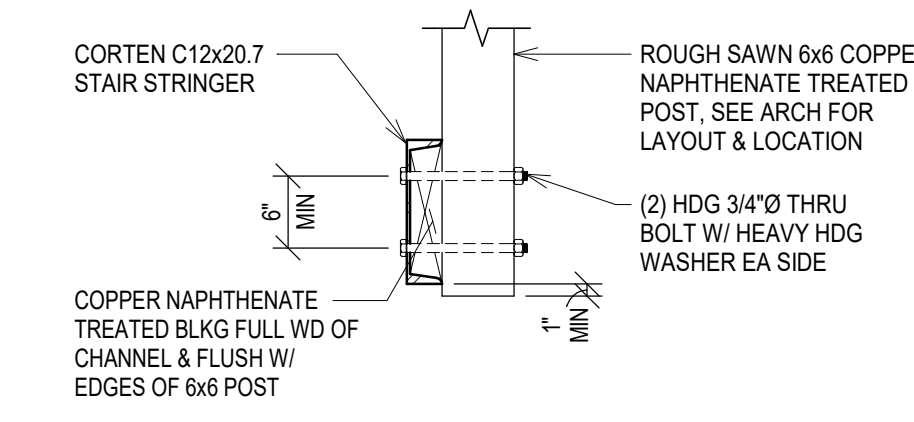
### TYP WD NAILER ATOP STL BM

SCALE: NTS



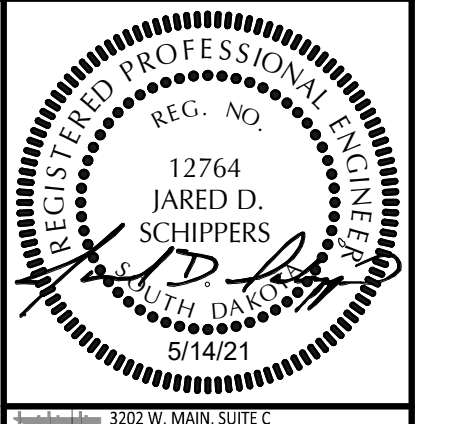
### TYP STAIR TREAD

SCALE: NTS



### TYP STAIR POST

SCALE: NTS



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 PROJECT NO: 17-356  
 DRAWN BY: MDR  
 CHECKED BY: JDS

SHEET TITLE:  
 STANDARD DETAILS / SCHEDULES

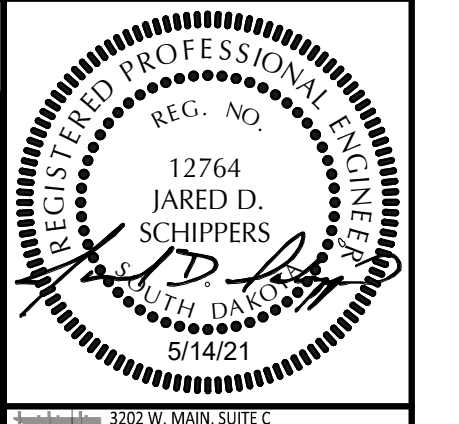
SHEET IDENTIFICATION:  
**S004**

# STRUCTURAL SHEET NOTES

- FOUNDATION & FLOOR SLAB PLAN NOTES**
- SEE SHEET SERIES S001 FOR STRUCTURAL NOTES.
  - VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS BEFORE CONSTRUCTION COMMENCES.
  - ELEVATIONS ON THE STRUCTURAL DRAWINGS REFER TO THE TOP OF EXISTING STEEL REFERENCE ELEVATION SET AT 113'-9 1/2".
  - SLAB ON GRADE CONTROL JOINTS SHALL BE TOOLED OR SAWCUT. THE JOINT PATTERN SHALL BE APPROXIMATELY SQUARE AND LIMITED TO AN AREA NOT TO EXCEED 225 S.F. JOINTS SHALL BE CUT WITHIN 8 HRS OF POURING THE SLAB.
  - CENTERLINE OF FOOTING SHALL COINCIDE WITH THE FOUNDATION WALL & COLUMN CENTERLINE, UNLESS SHOWN OTHERWISE.

# SCHEDULES

FOOTING SCHEDULE			
MARK	FOOTING SIZE	REINFORCING	REMARKS
A	3'-0" x 3'-0" x 1'-0"	(4) #5 EA WAY	CENTERED
B	4'-6" x 4'-6" x 1'-0"	(5) #5 EA WAY	TOP & BOTTOM
C	8'-0" x 8'-0" x 1'-0"	(8) #6 EA WAY	TOP & BOTTOM
D	2'-6" x 1'-0" x CONT	(3) #5 LONG WAY (6) #5 SHORT WAY	BOTTOM
E	1'-4" x 1'-0" x CONT	(3) #5 LONG WAY	BOTTOM



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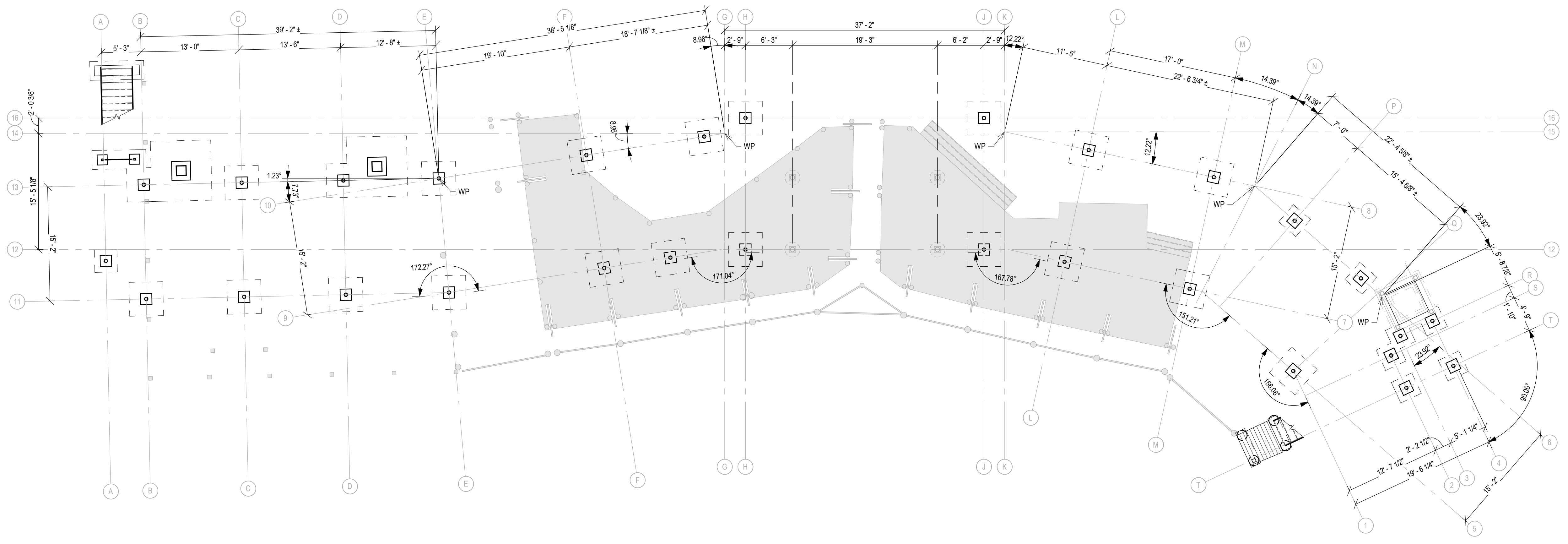
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DRAWN BY: MDR  
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SHEET TITLE:  
FOUNDATION PLAN - OVERALL

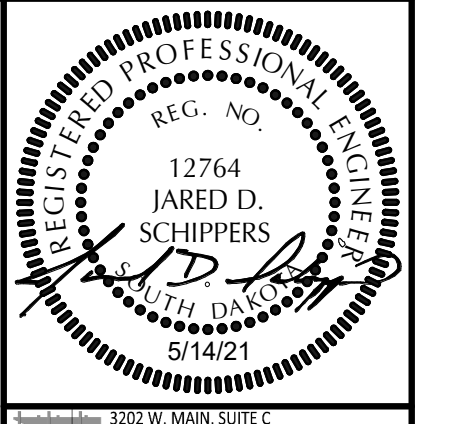
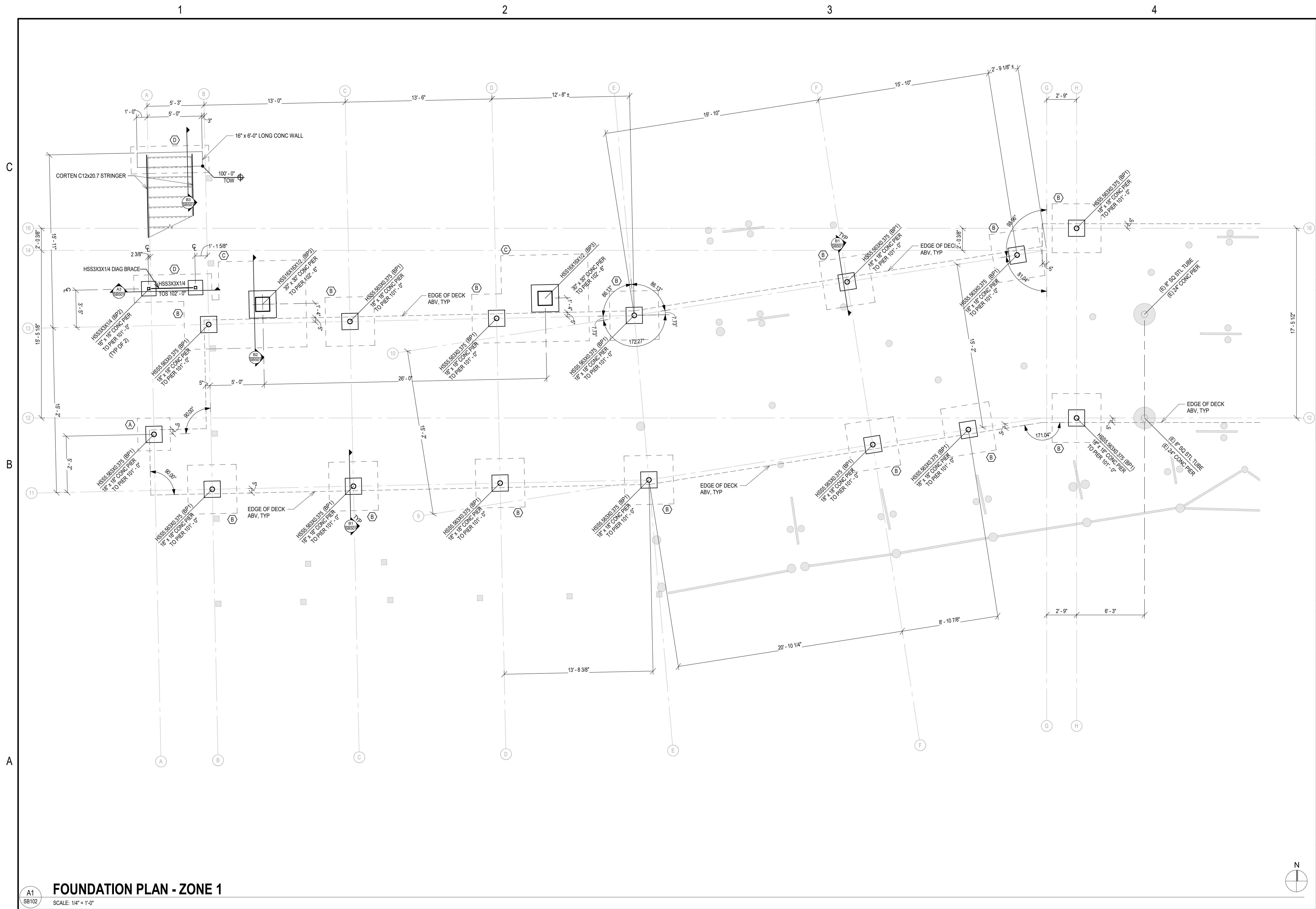
SHEET IDENTIFICATION:

**SB101**



**FOUNDATION PLAN - OVERALL**  
SCALE: 1/8" = 1'-0"

22X34 TITLE BLOCK



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ISSUE BLOCK:

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CD	100% CD	05/14/21

MANAGEMENT:

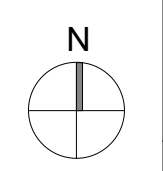
PROJECT NO: 17-356  
 DRAWN BY: MDR  
 CHECKED BY: JDS

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**FOUNDATION PLAN - ZONE 1**

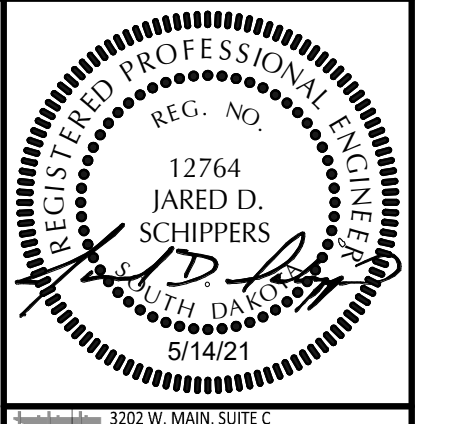
SHEET IDENTIFICATION:  
**SB102**

7 OF 32

**FOUNDATION PLAN - ZONE 1**  
 SCALE: 1/4" = 1'-0"



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ISSUE BLOCK:

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CD	100% CD	05/14/21

MANAGEMENT:  
 PROJECT NO: 17-356  
 DRAWN BY: MDR  
 CHECKED BY: JDS

SHEET TITLE:  
**FOUNDATION PLAN - ZONE 2**

SHEET IDENTIFICATION:

**SB103**

**FOUNDATION PLAN - ZONE 2**  
 SCALE: 1/4" = 1'-0"

22X34 TITLE BLOCK

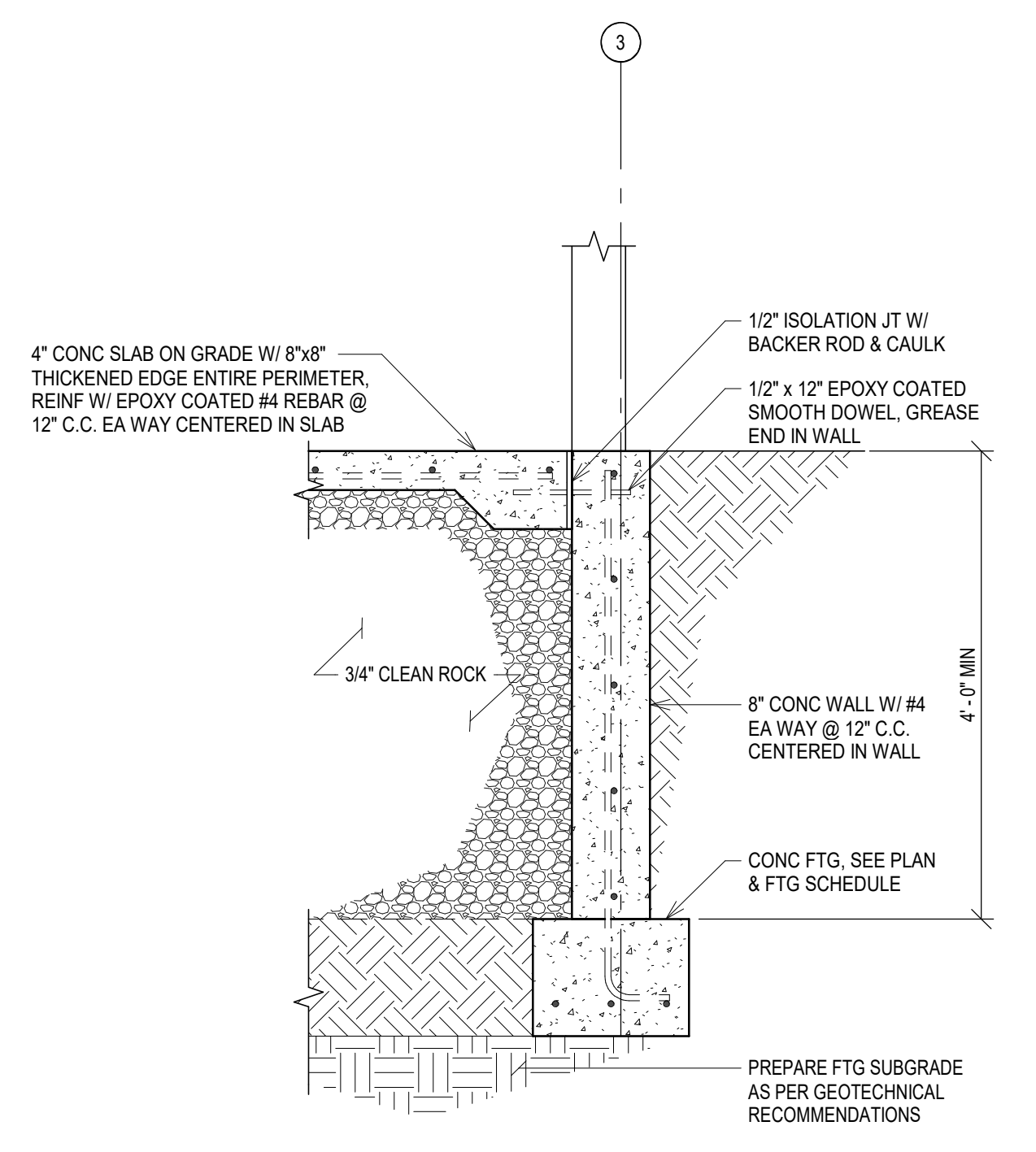
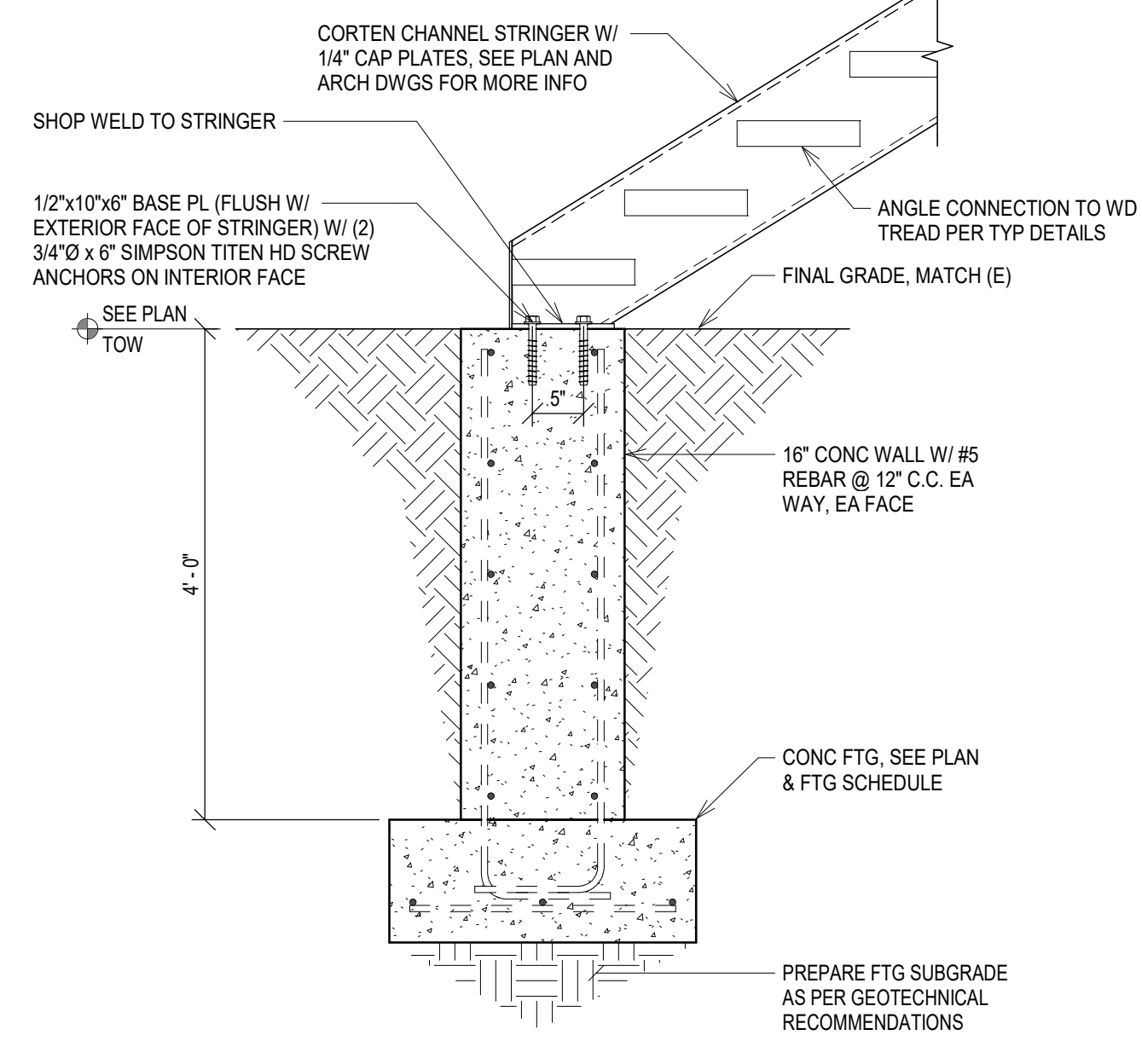
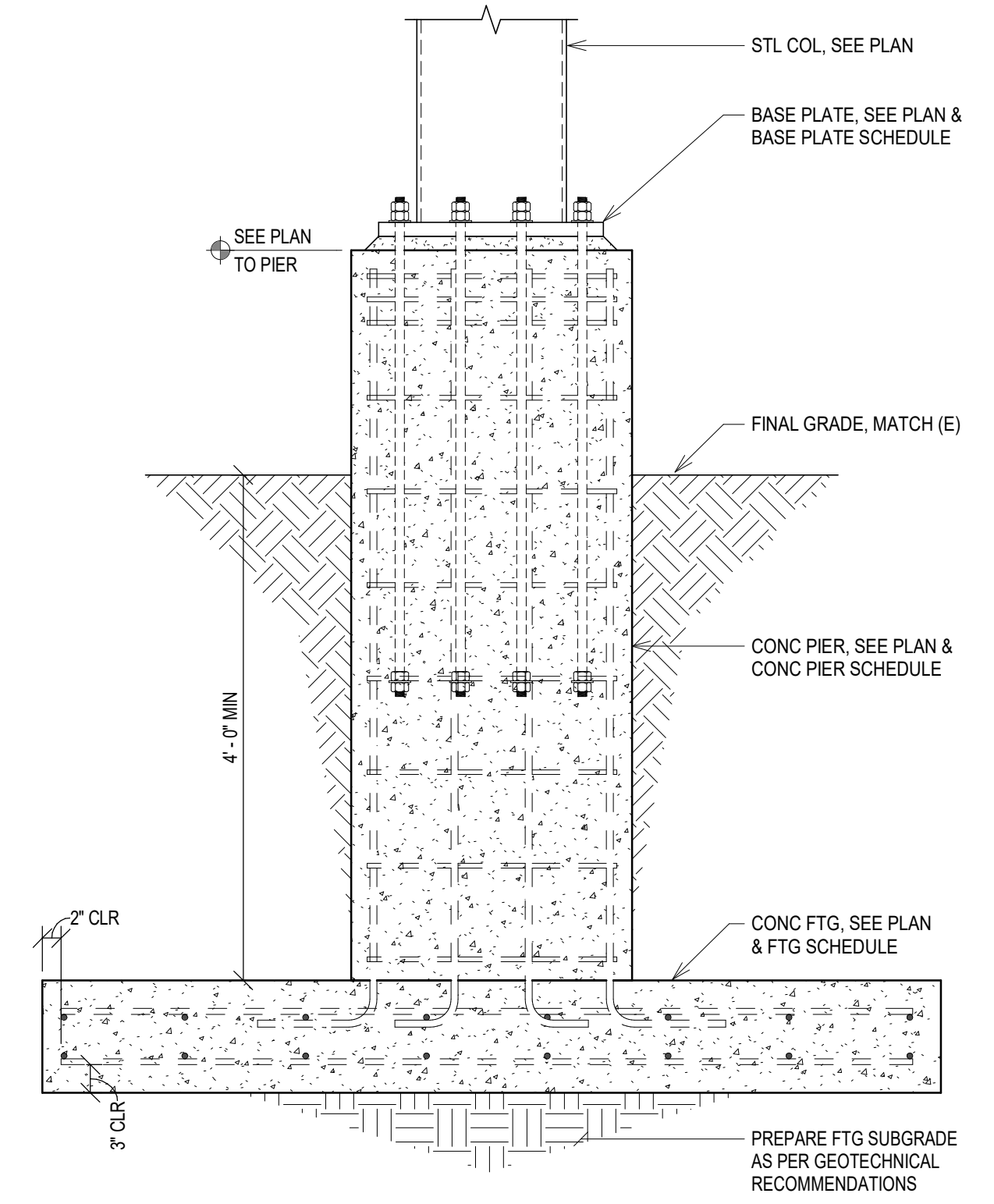
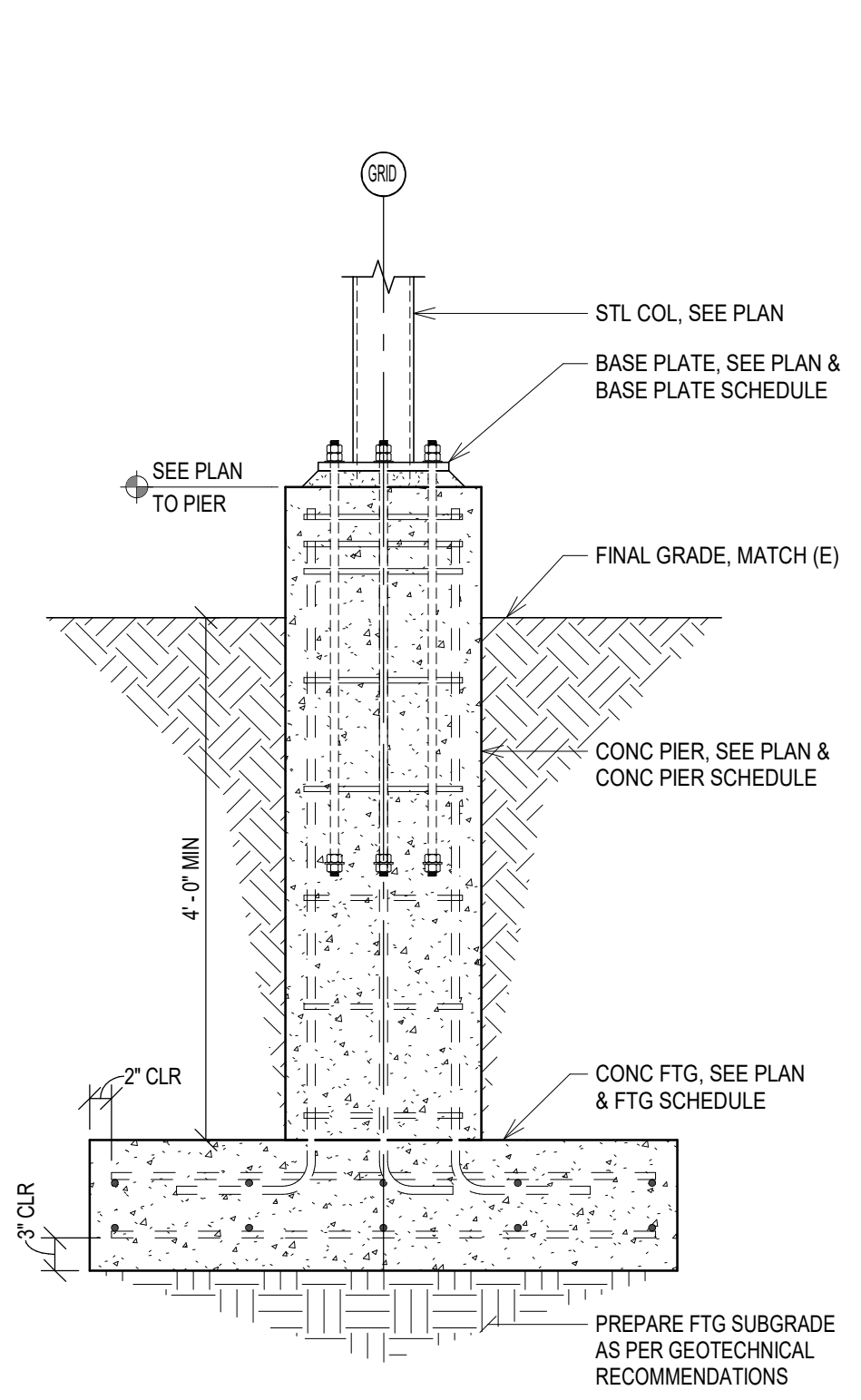
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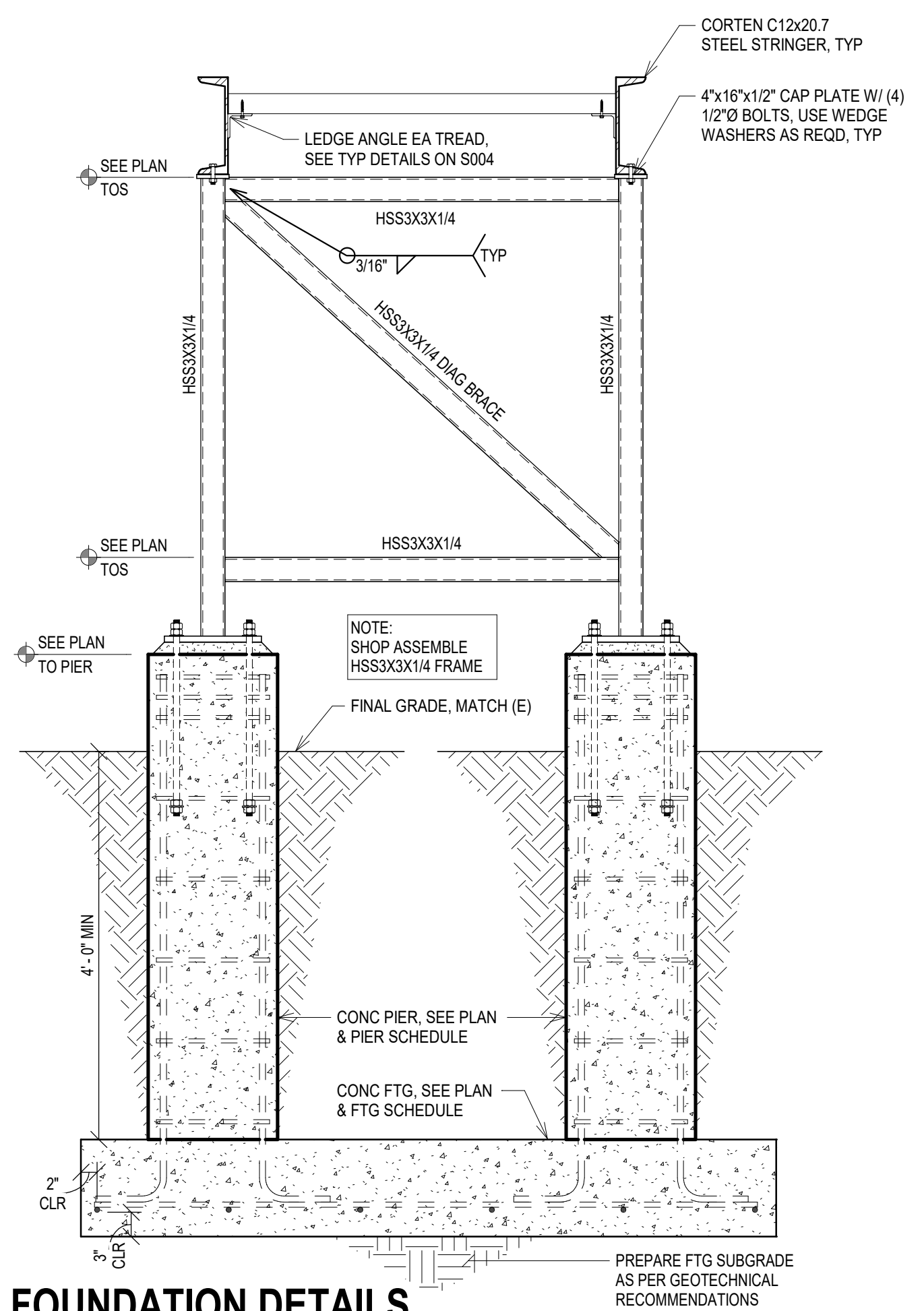
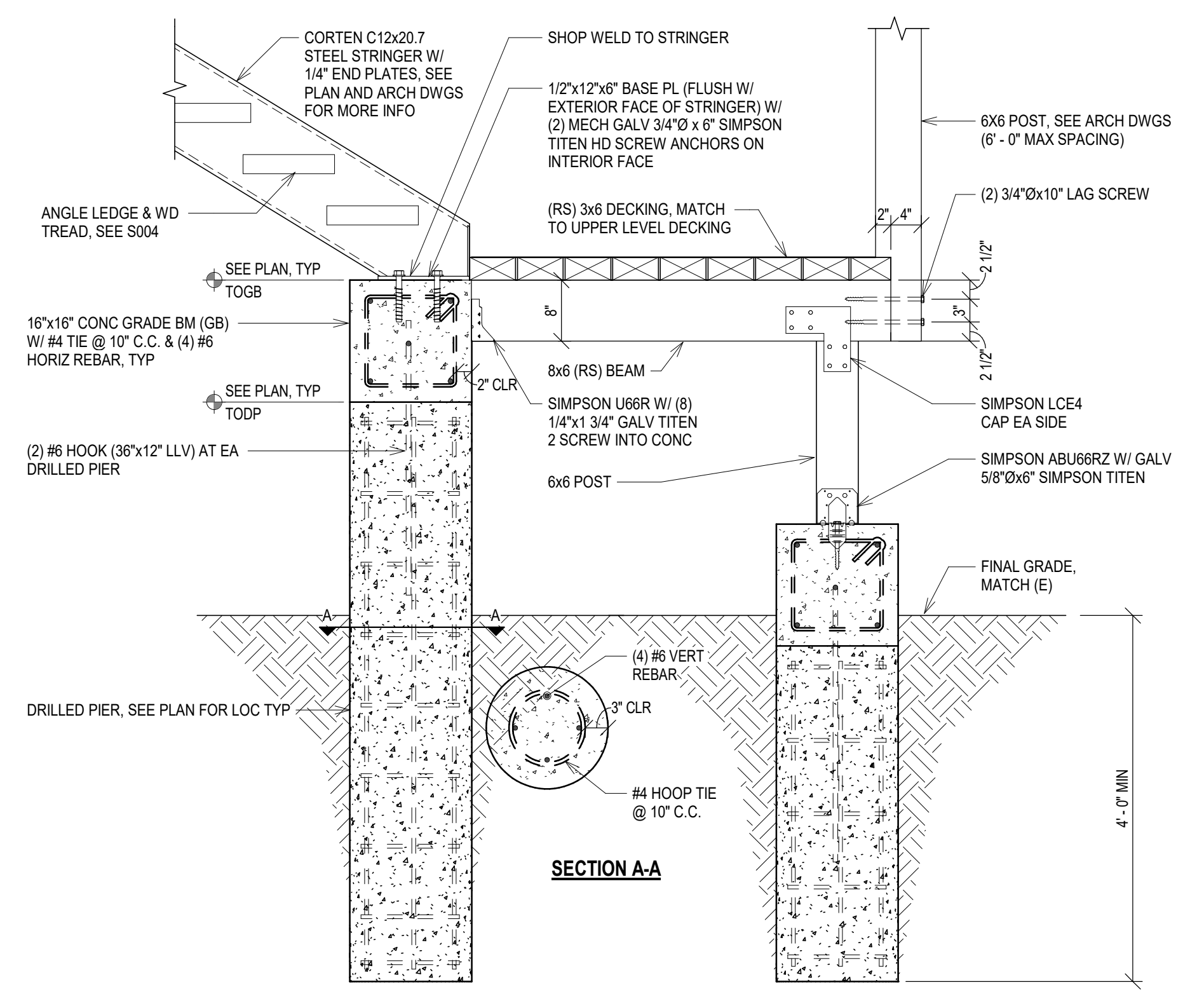
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B2 FOUNDATION DETAILS SCALE: 3/4" = 1'-0"

B3 FOUNDATION DETAILS SCALE: 3/4" = 1'-0"

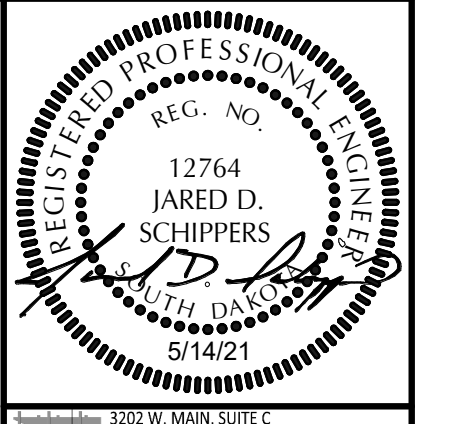
B4 FOUNDATION DETAILS SCALE: 3/4" = 1'-0"

B



A1 FOUNDATION DETAILS SCALE: 3/4" = 1'-0"

A3 FOUNDATION DETAILS SCALE: 3/4" = 1'-0"



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CD	100% CD	05/14/21

MANAGEMENT:

PROJECT NO:	17-356
DRAWN BY:	MDR
CHECKED BY:	JDS

SHEET TITLE:  
DETAILS

SHEET IDENTIFICATION:  
**SB501**

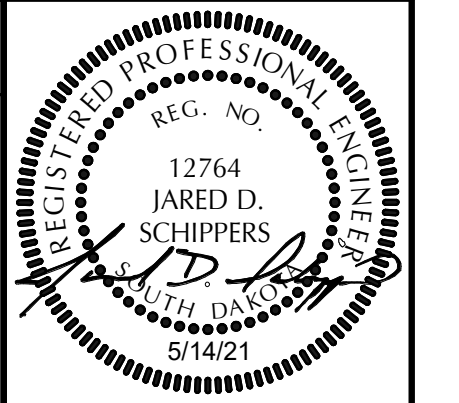
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# STRUCTURAL SHEET NOTES

## FLOOR FRAMING PLAN NOTES

- SEE SHEET SERIES S001 FOR STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS ON THE STRUCTURAL DRAWINGS REFER TO THE TOP OF EXISTING STEEL REFERENCE ELEVATION SET AT 113' - 9 1/2".
- ALL DECKING SHALL BE ROUGH SAWN DOUGLAS FIR NO 1 OR BETTER 3x6 (ACTUAL DIMENSIONS = 3" x 6")
- EACH STEEL BEAM SHALL HAVE A ROUGH SAWN 2x6" NAILER FASTENED TO TOP OF BEAM. FASTEN W/ HILTI X-U 62 PAF @ 12" C.C., STAGGER FASTENERS OPPOSITE SIDE OF BEAM WEB.
- INDICATES HSS2X2X1/4 DIAGONAL BRACE. SEE TYPICAL DETAILS FOR MORE INFORMATION
- ▷ DENOTES MOMENT CONNECTION

# SCHEDULES



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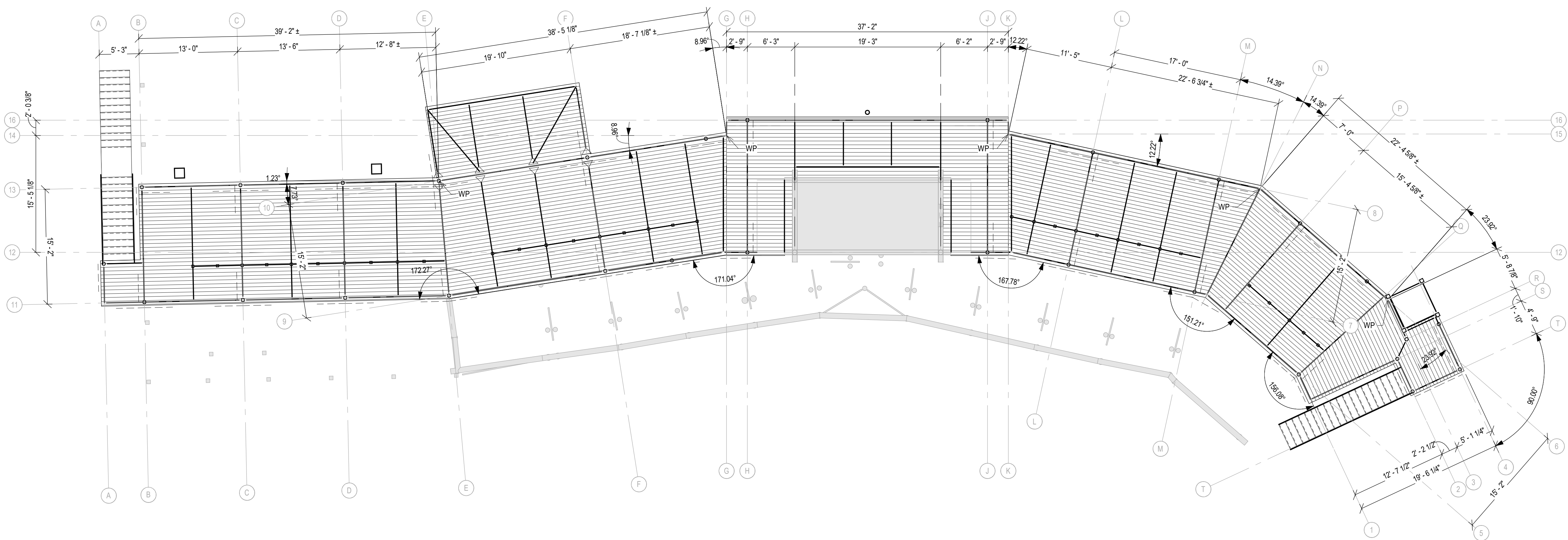
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DRAWN BY:	MDR
CHECKED BY:	JDS

SHEET TITLE:  
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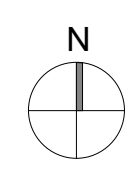
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SF104

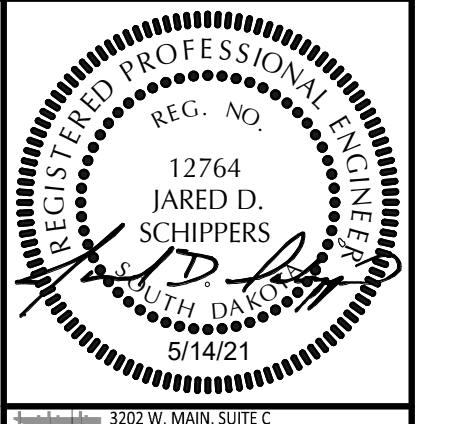
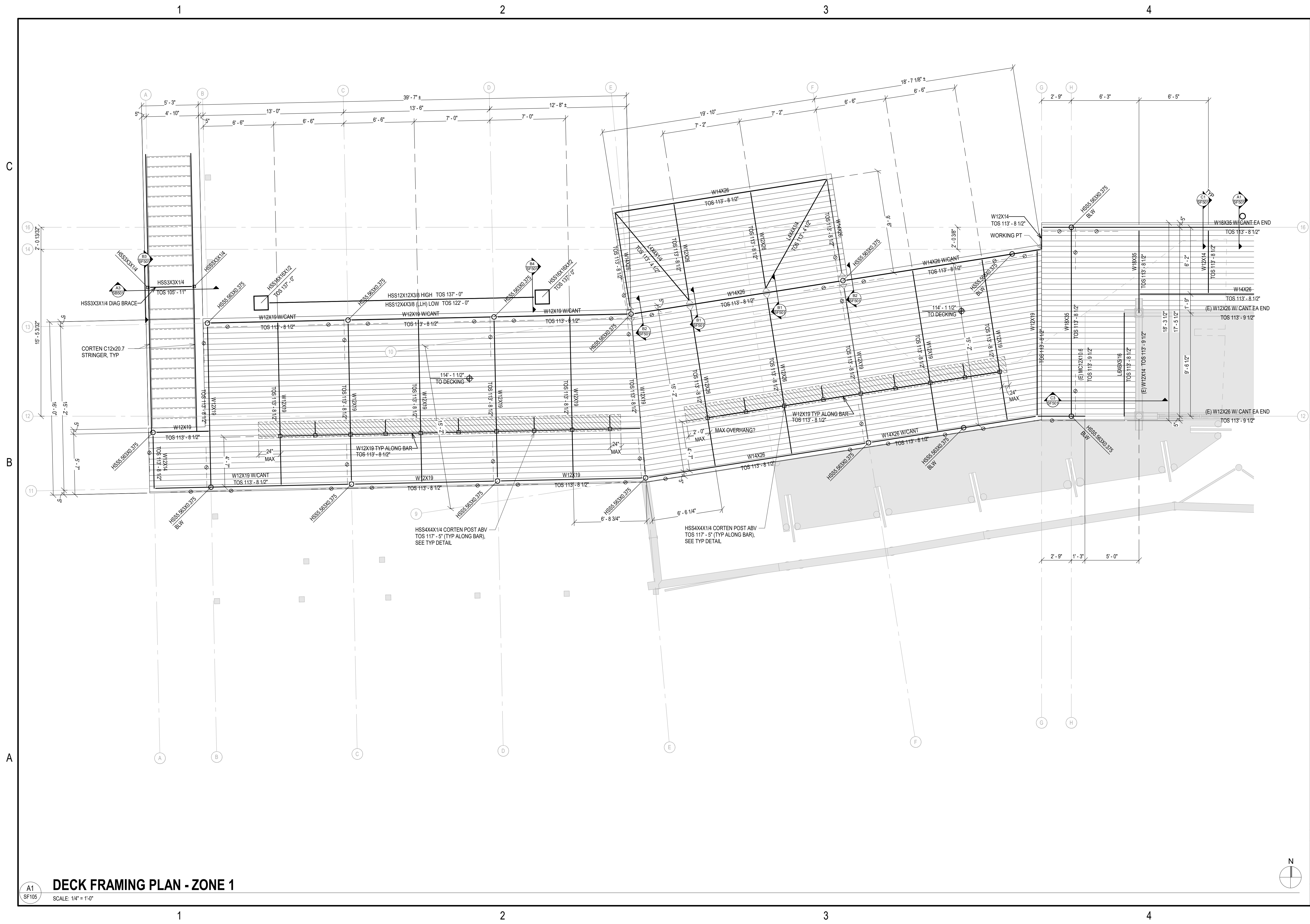


**DECK FRAMING PLAN - OVERALL**

SCALE: 1/8" = 1'-0"



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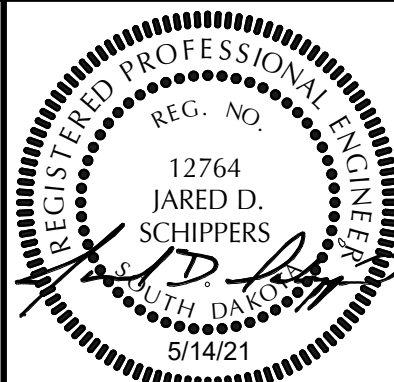
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PROJECT NO: 17-356  
DRAWN BY: MDR  
CHECKED BY: JDS

SHEET TITLE:  
**DECK FRAMING PLAN - ZONE 1**

SHEET IDENTIFICATION:  
**SF105**

**DECK FRAMING PLAN - ZONE 1**  
SCALE: 1/4" = 1'-0"

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PROJECT IDEN:  
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ISSUE BLOCK:

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CD	100% CD	05/14/21

MANAGEMENT:

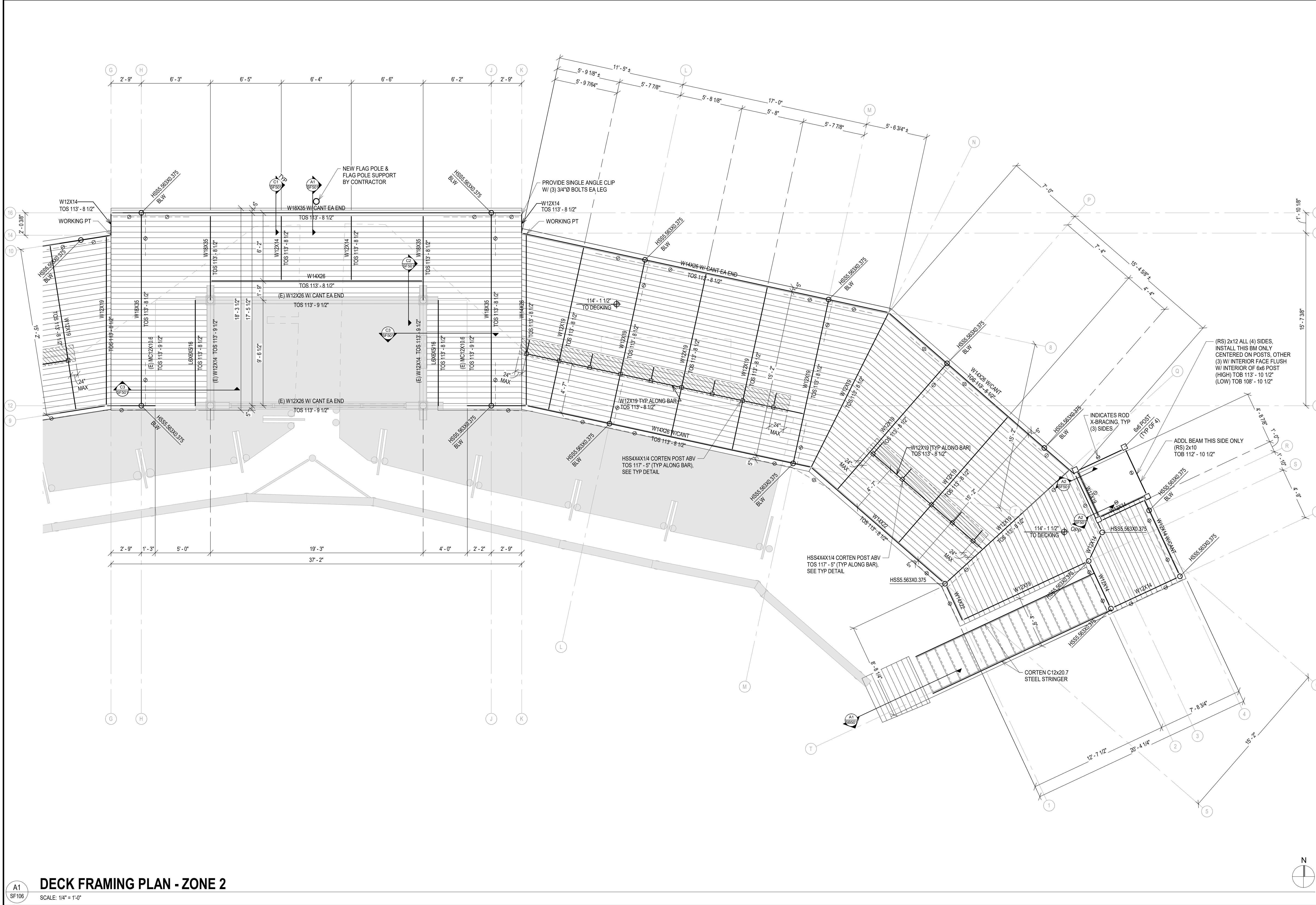
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DRAWN BY:	MDR
CHECKED BY:	JDS

SHEET TITLE:  
**DECK FRAMING PLAN - ZONE 2**

SHEET IDENTIFICATION:

**SF106**

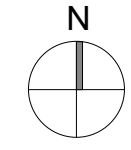
12 OF 32



**DECK FRAMING PLAN - ZONE 2**

SCALE: 1/4" = 1'-0"

A1  
SF106



22X34 TITLE BLOCK



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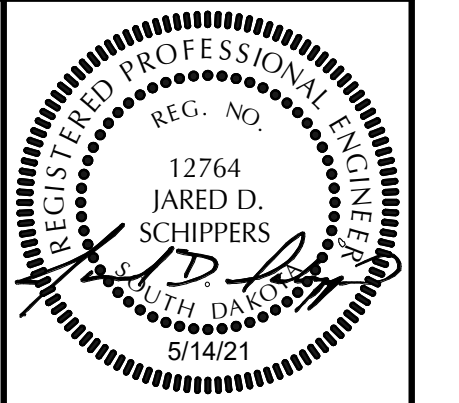
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NEST ADDITION



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ISSUE BLOCK:		
NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

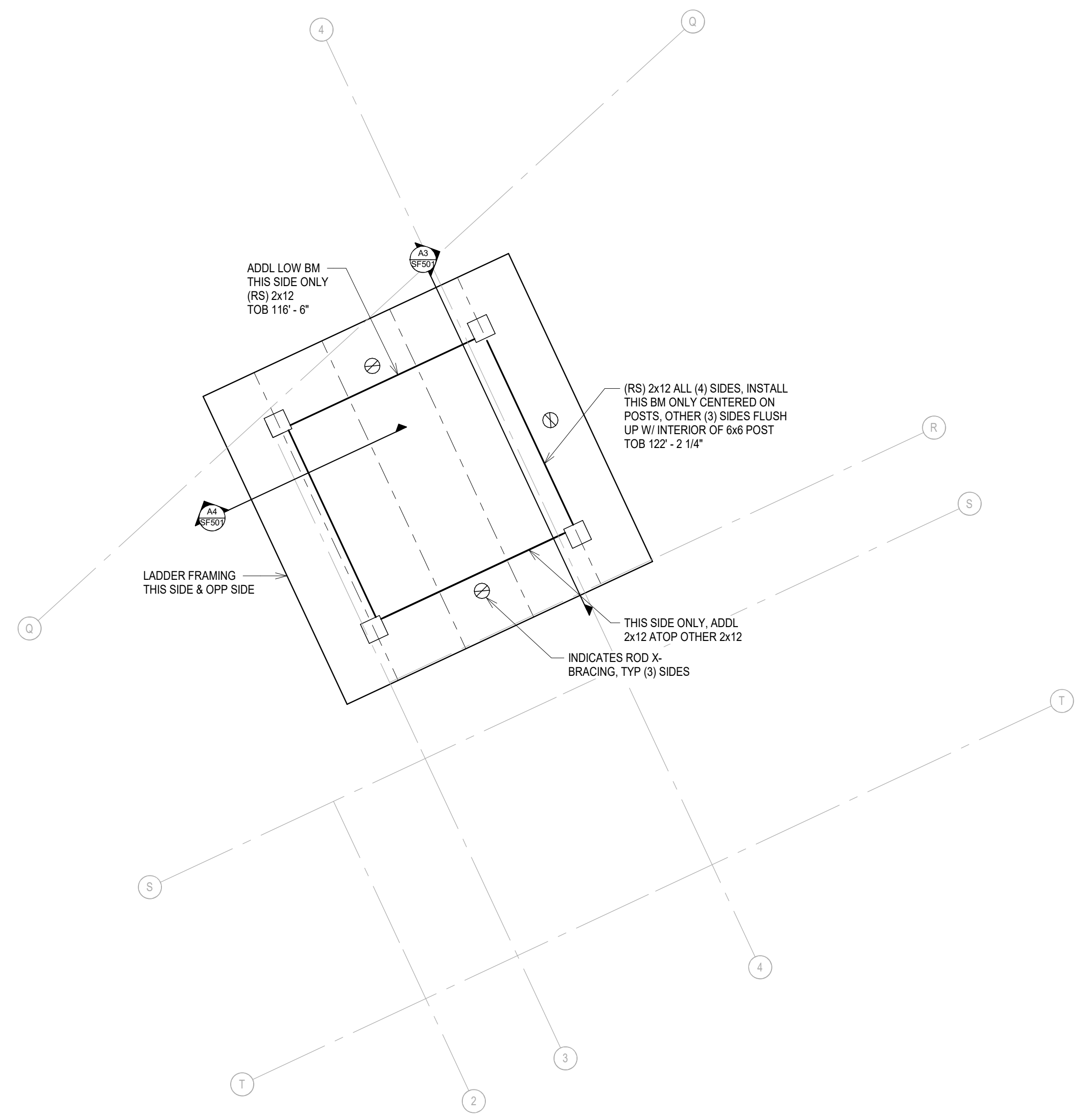
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SHEET TITLE:  
VERTICAL LIFT ROOF  
FRAMING PLAN

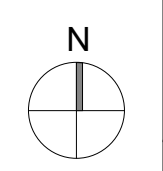
SHEET IDENTIFICATION:

SF107

13 OF 32



**VERTICAL LIFT ROOF FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



1

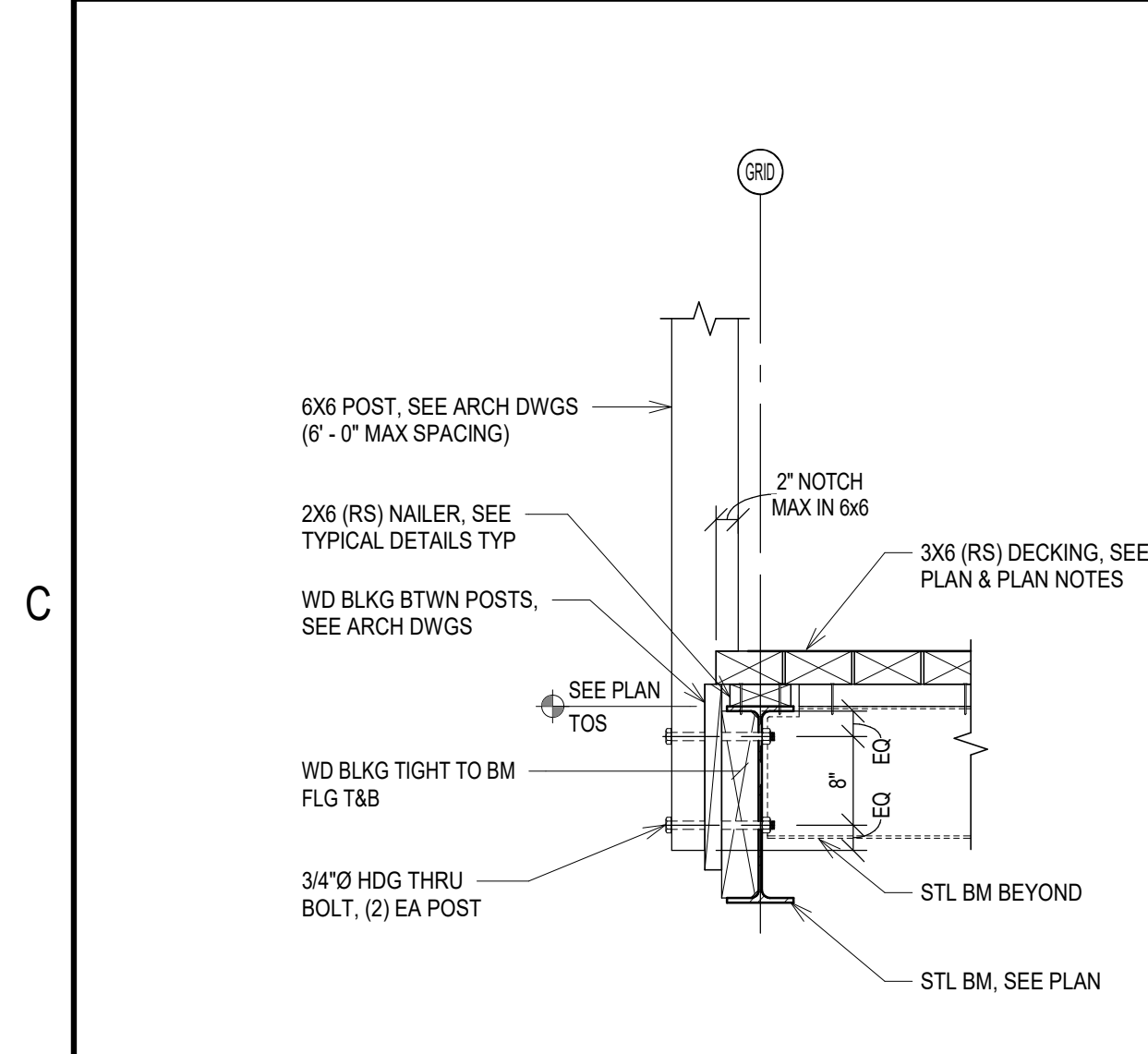
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3

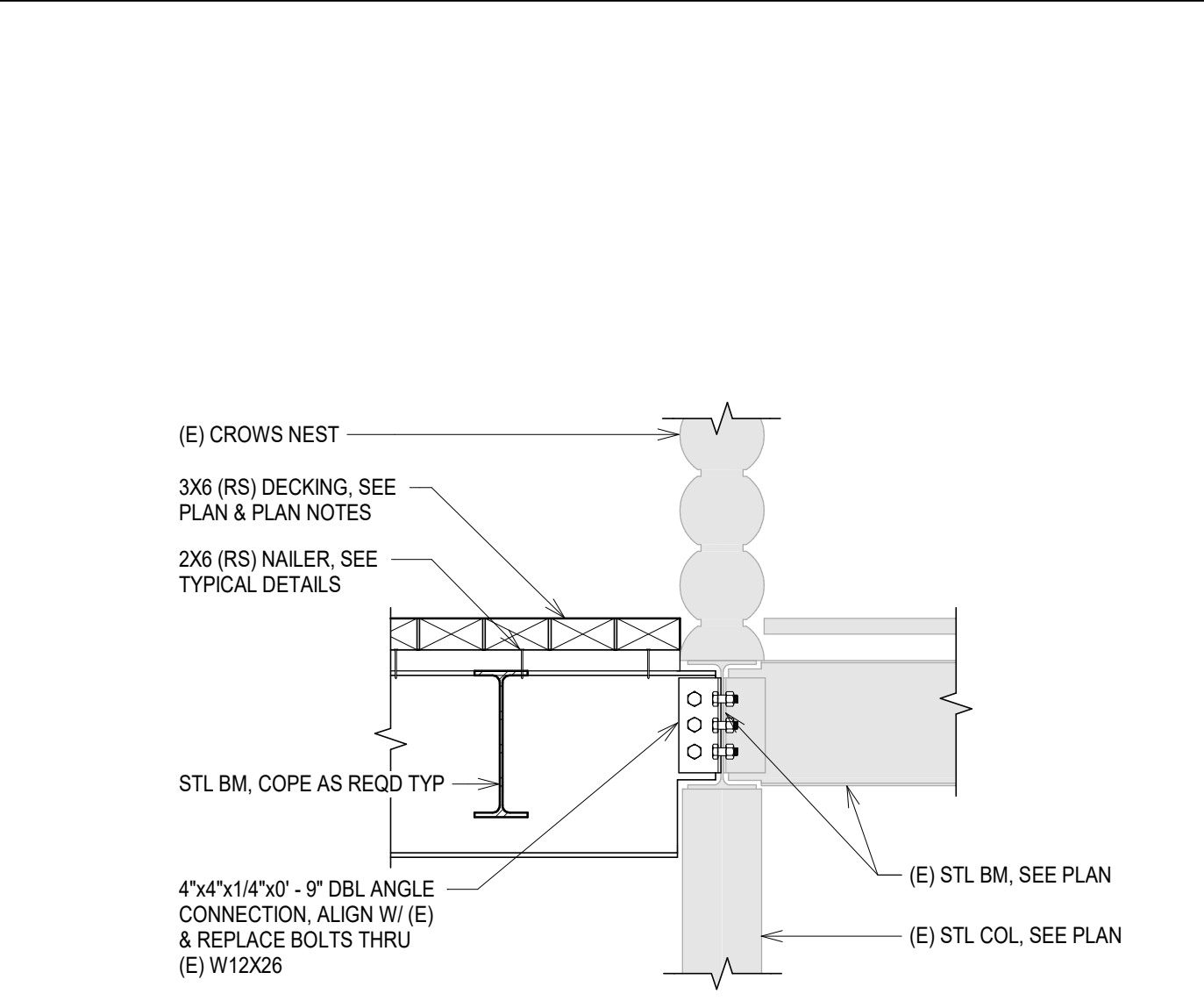
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22X34 TITLE BLOCK

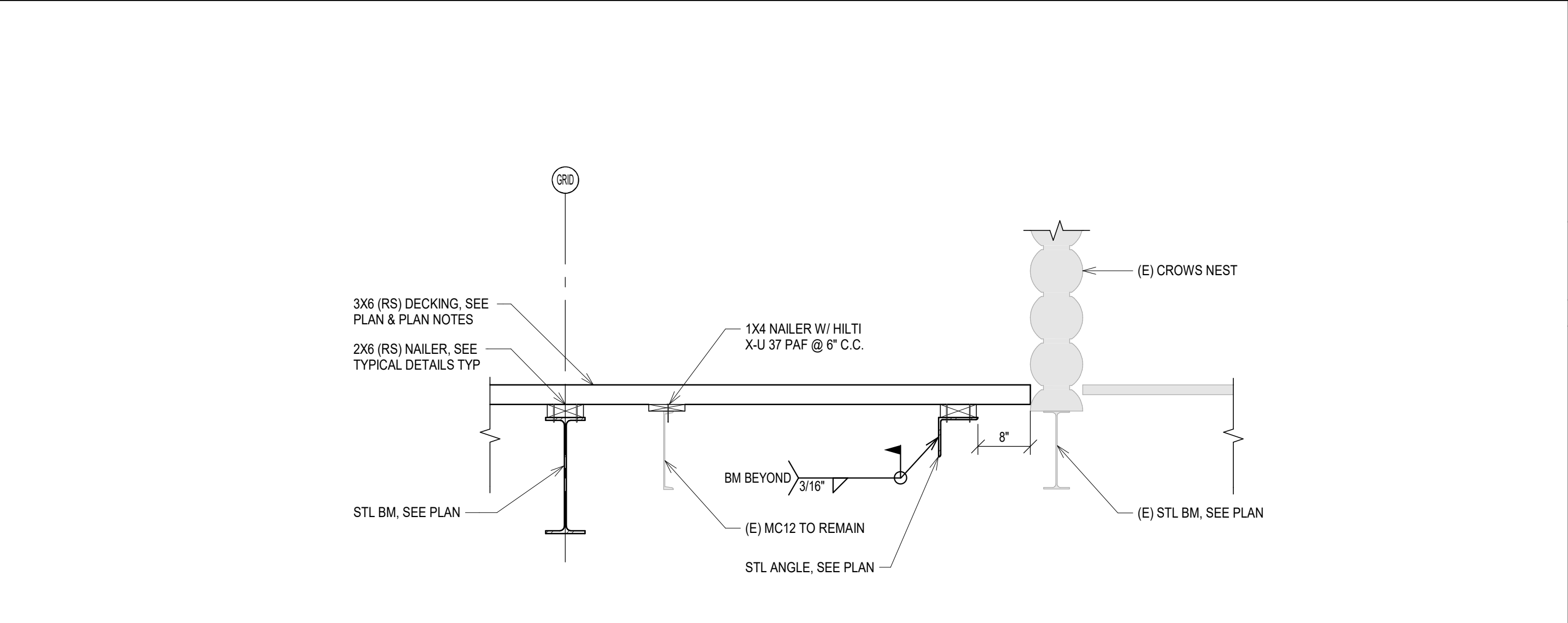
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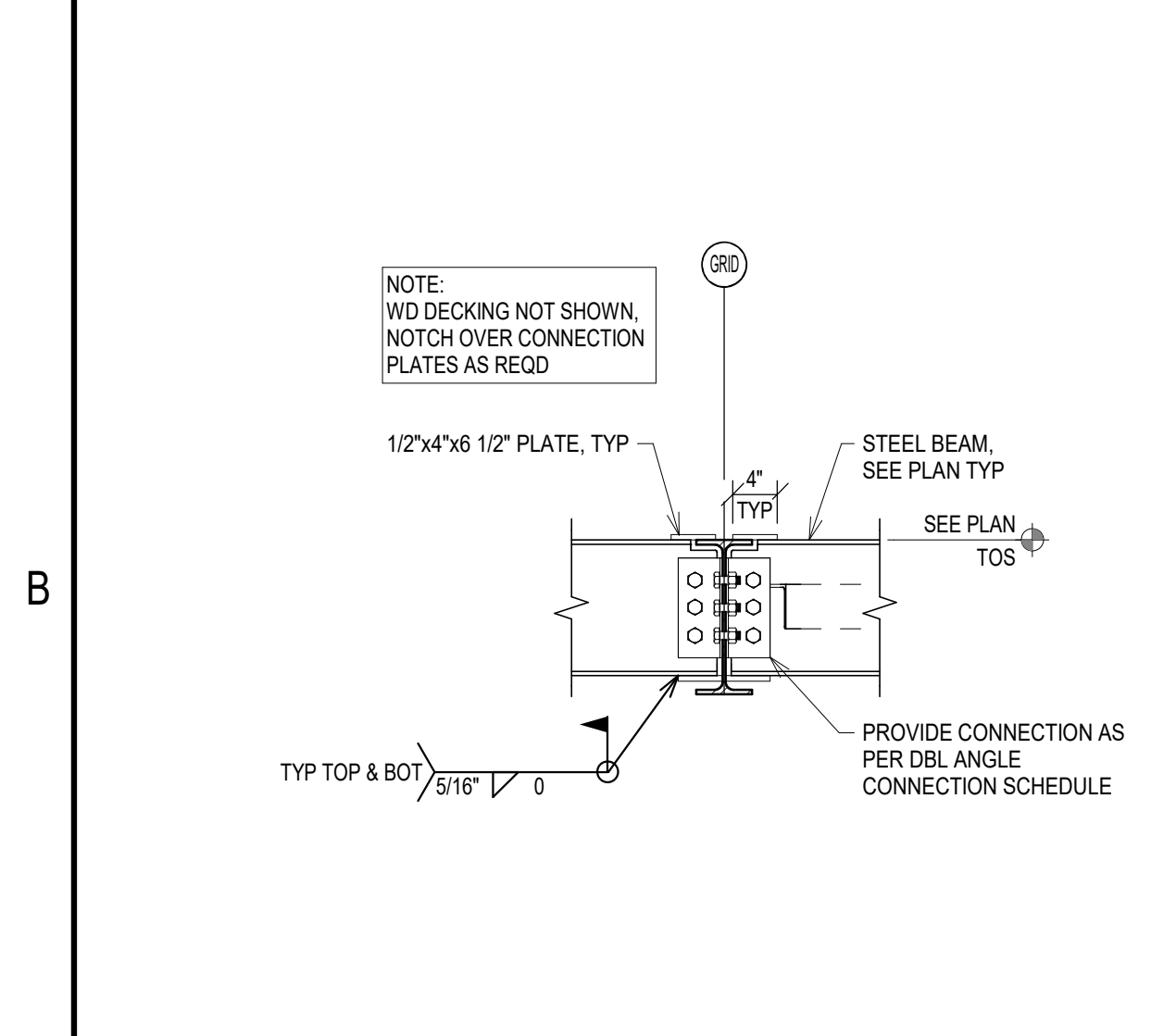
**C1 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



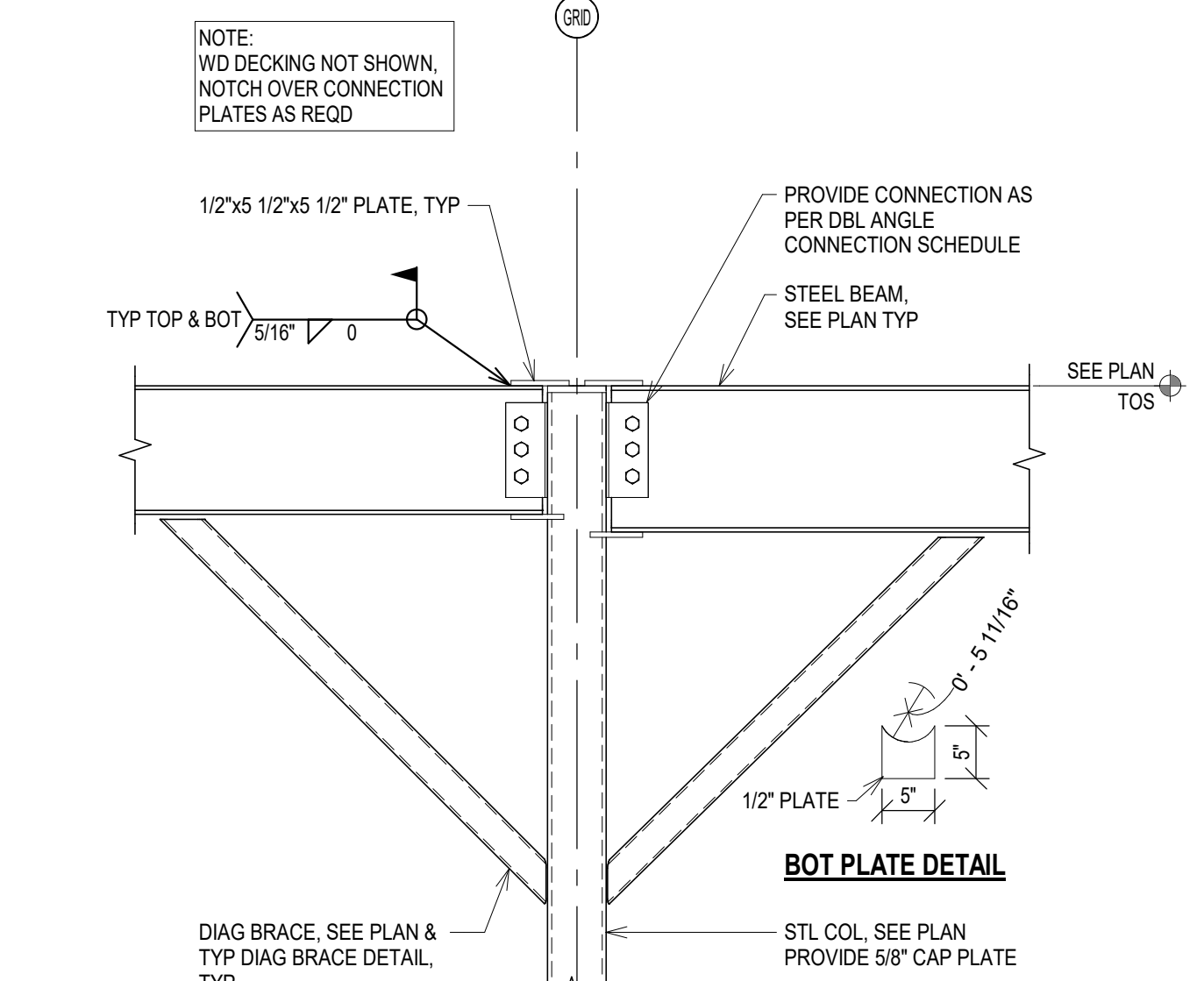
**C2 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



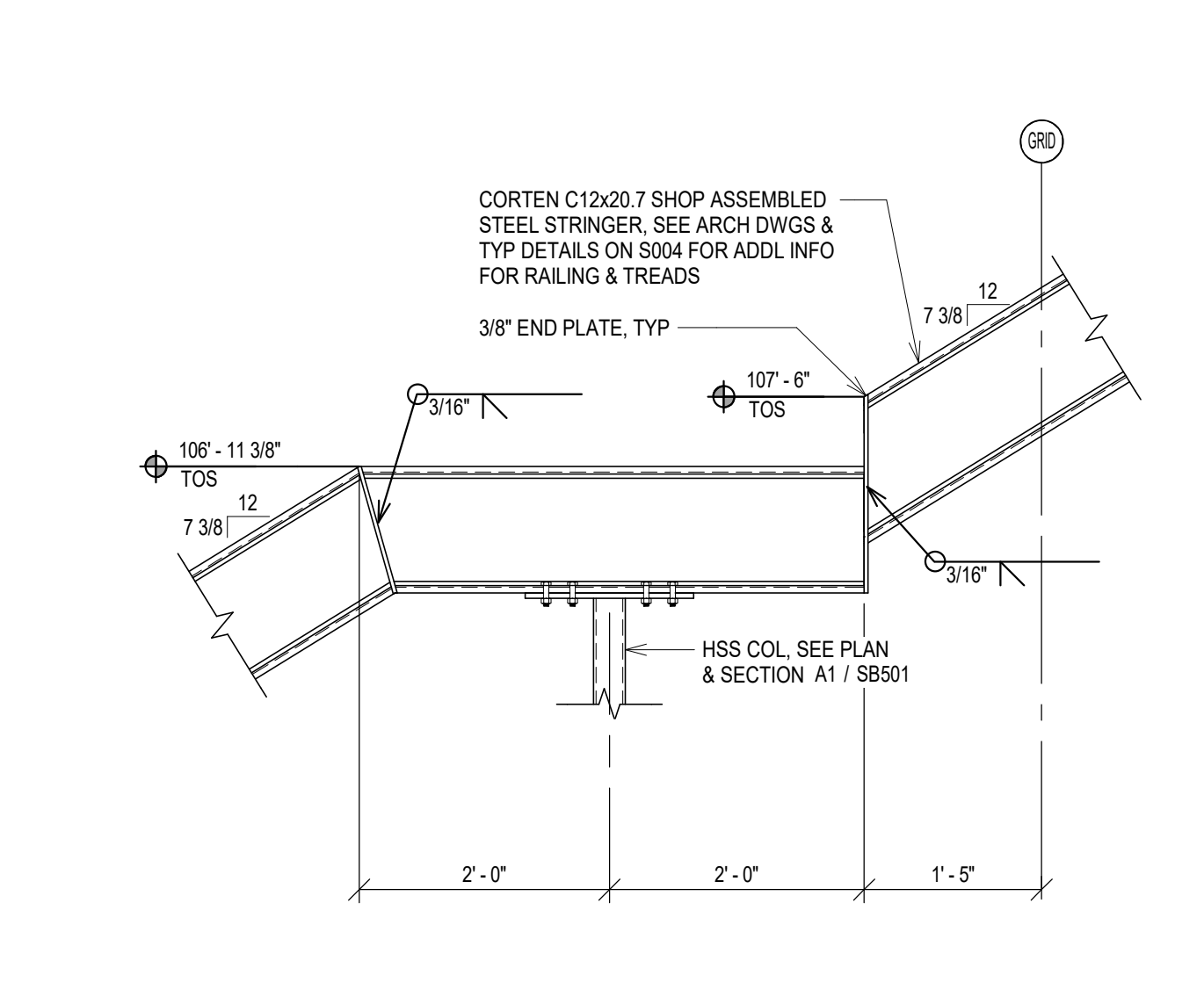
**C3 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



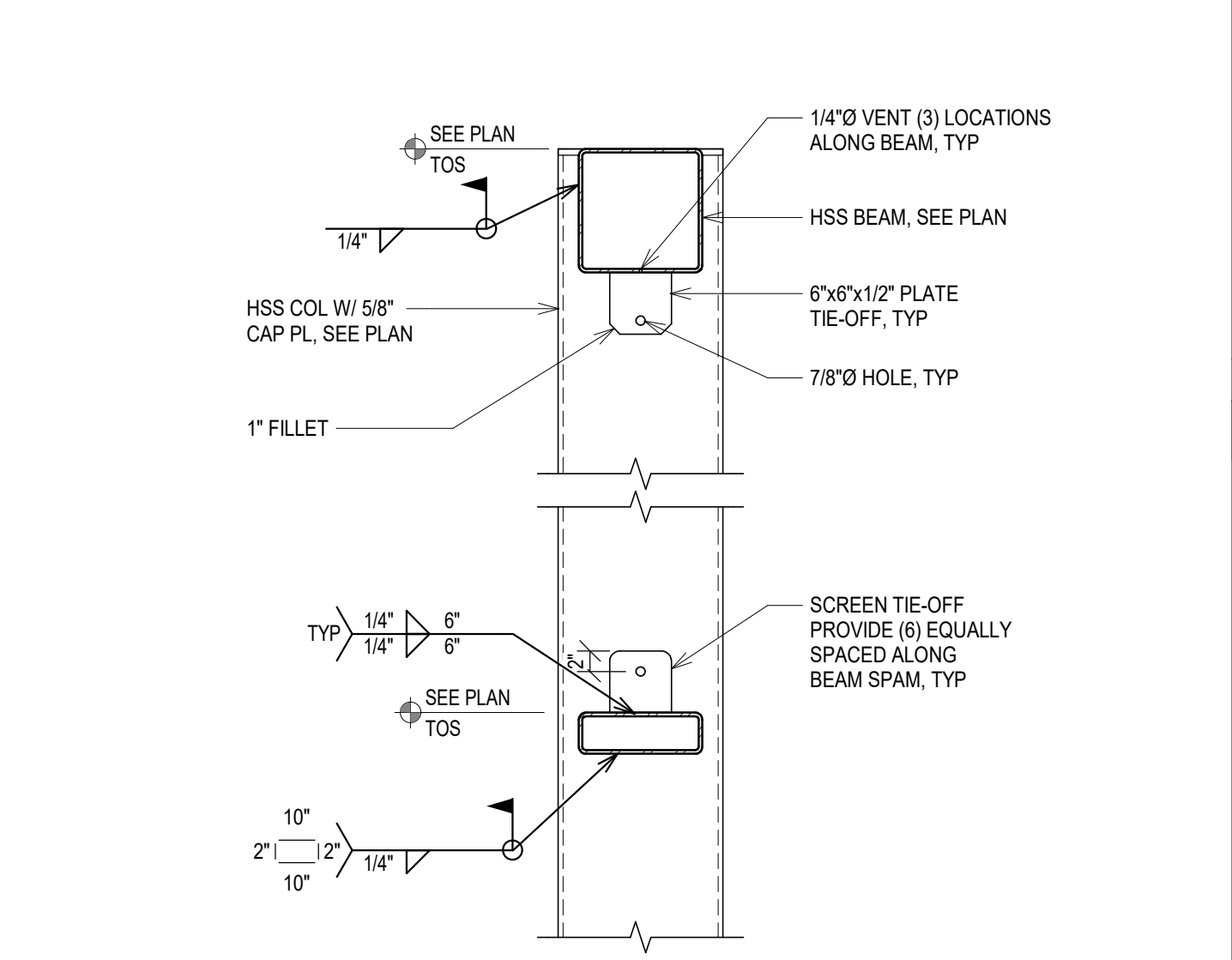
**B1 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



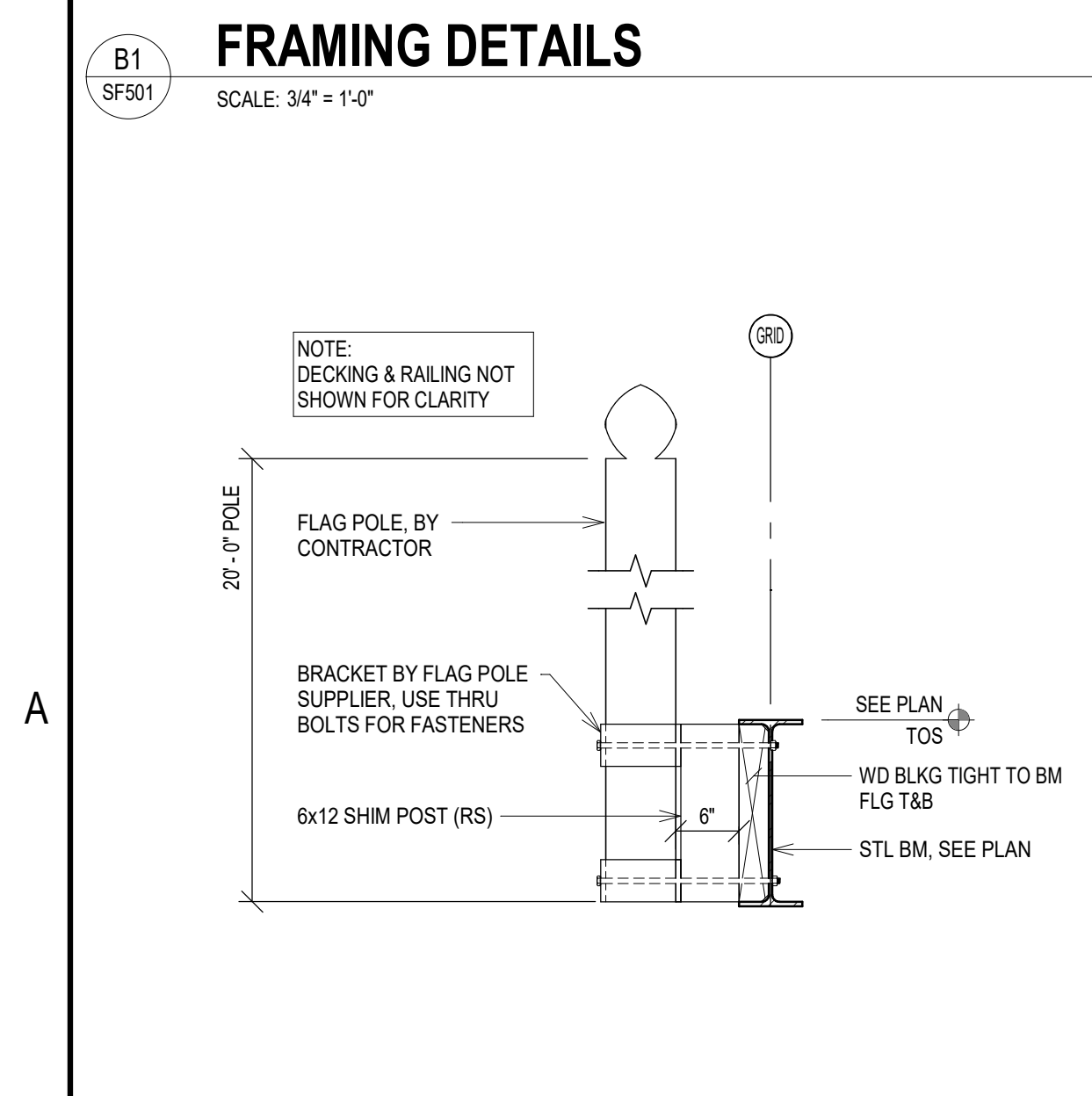
**B2 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



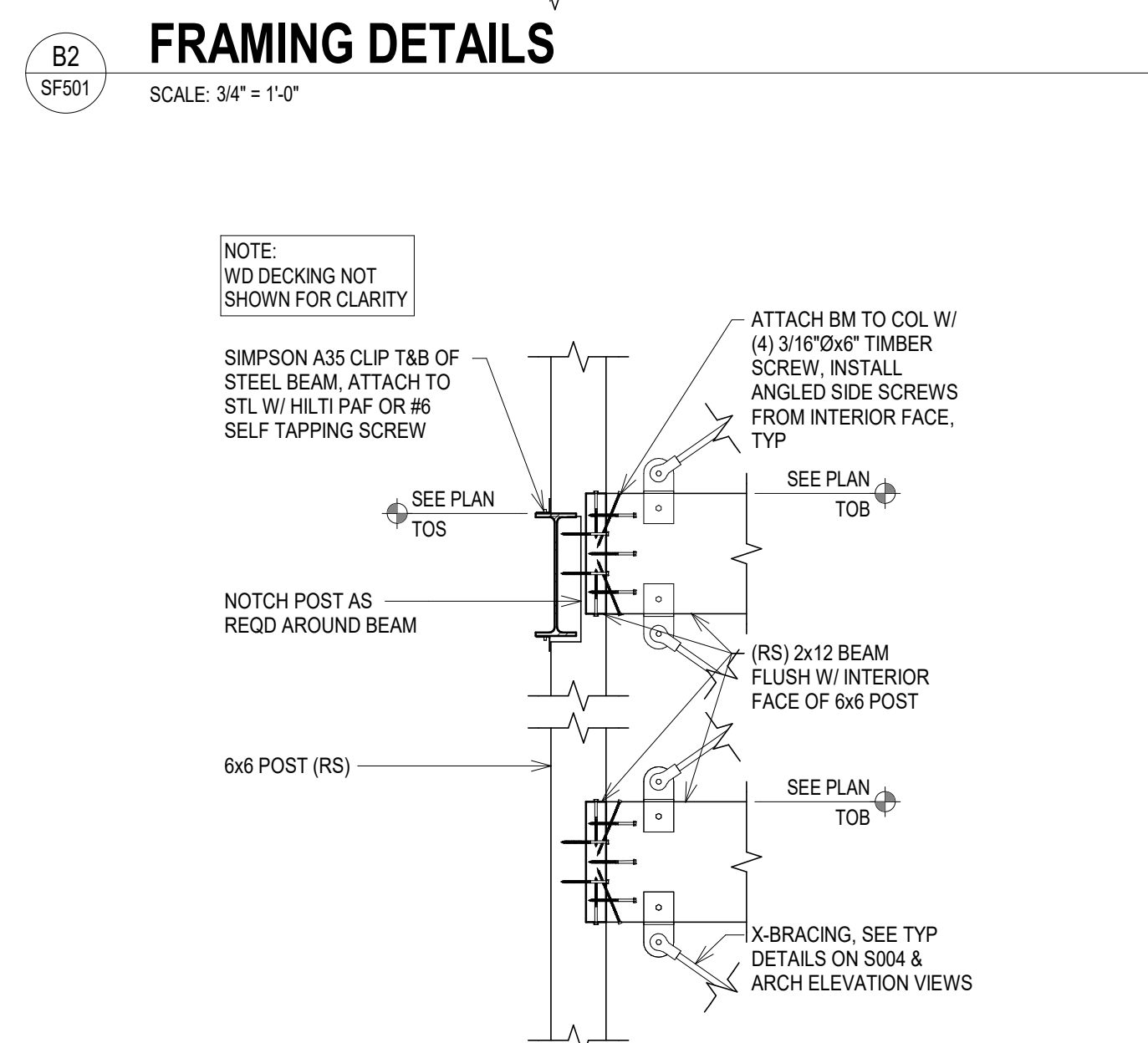
**B3 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



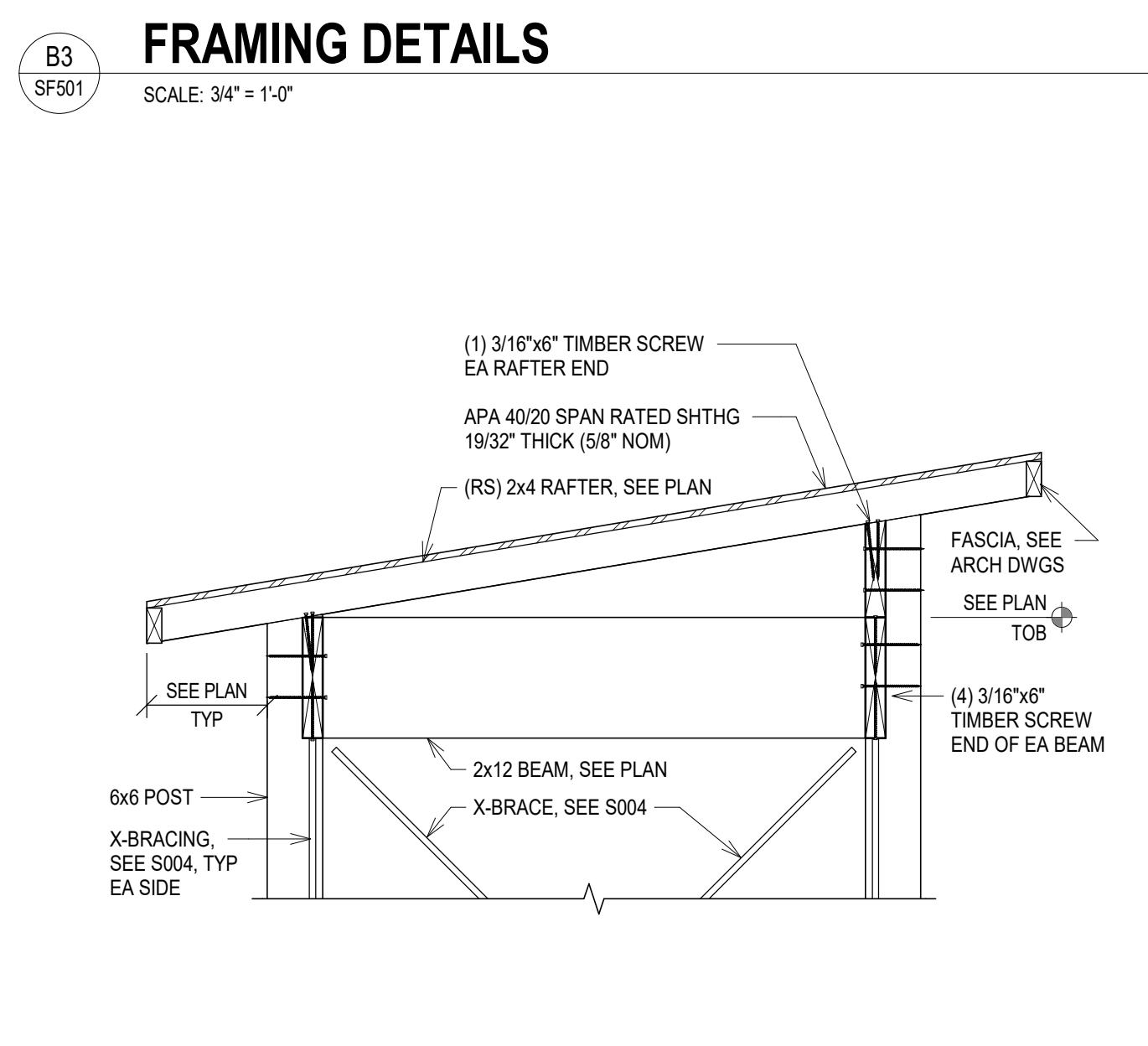
**B4 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



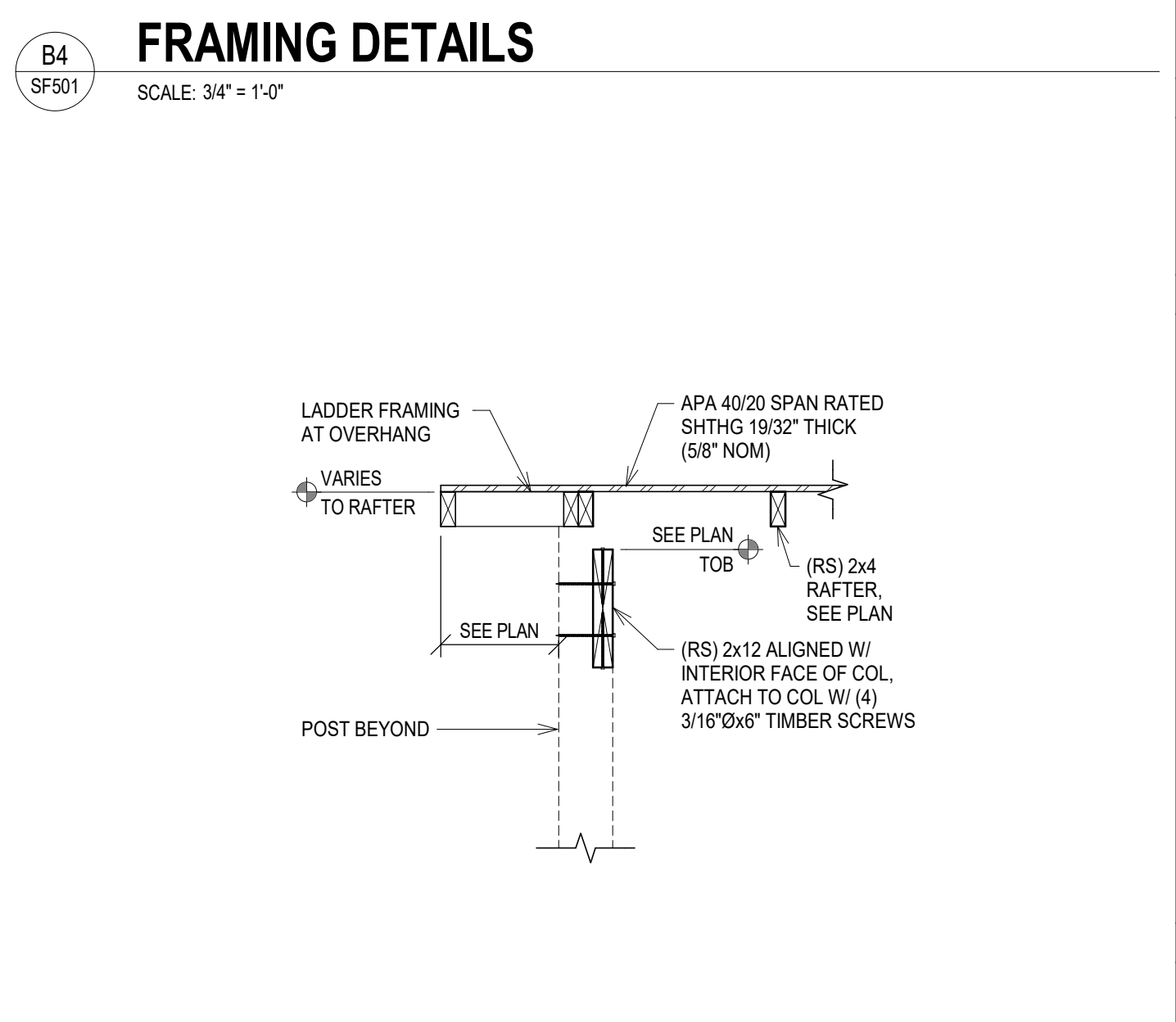
**A1 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



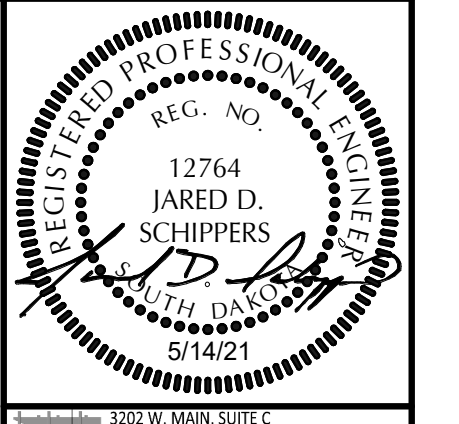
**A2 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



**A3 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



**A4 FRAMING DETAILS**  
SCALE: 3/4" = 1'-0"



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RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

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PROJECT IDEN:  
**DAYS OF '76 CROW'S NEST ADDITION**



ISSUE BLOCK:

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

MANAGEMENT:  
PROJECT NO: 17-356  
DRAWN BY: MDR  
CHECKED BY: JDS

SHEET TITLE:  
**DETAILS**

SHEET IDENTIFICATION:  
**SF501**

22X34 TITLE BLOCK

ARCHITECTURAL ABBREVIATIONS

ABV above	EIFS exterior insul finish sys	INCL include (d) (ing)	OPG opening	SHT sheet
ACC accessories	EJ expansion joint	INSUL insulate (d) (ing)	OPH opposite hand	SHTG sheathing
AFF above finished floor	EL elevation	INT interior	OPP opposite	SIM similar
ALT alternate	ELEC electric (al)	INV invert	SND sanitary napkin disposal	SNV sanitary napkin vendor
AL aluminum	EMER emergency	JST joist	SPEC specification	SO square
APC acoustical panel ceiling	EWIC electric water cooler	JT joint	SS solid surface	SST stainless steel
ARCH architect (ural)	EWG end wall corner guard	L length, angle	PLAM plastic laminate	STD standard
ASPH asphalt	EQ equal	LAM laminate (d)	PLT plate	STL steel
A/C air conditioning	EXG existing	LAV lavatory	PNL panel	STOR storage
B/C baby changing station	EXH exhaust	LF lineal foot	PNT paint (ed)	STR structural
BD board	EXP exposed	LG laminated glass, glazing	PR pair	SUSP suspended
BLDG building	EXT exterior	LT light	PROJ projector, projection	T tread
BLKG blocking	FBO furnished by owner	L match	PSF pounds per square foot	TB towel bar
BO bottom of	FD floor drain	MAS masonry	PTD paper towel dispenser	TD travel distance
BRG bearing	FDN foundation	MATL material	PTN partition	TEL telephone
BTW between	FE fire extinguisher	MAX maximum	PVC polyvinyl chloride	TOC top of
CBU cementitious backer unit	FEC fire extinguisher cabinet	MB marker board	PVT pavement	TOS top of steel
CG corner guard	FEP finished end panel	MECH mechanic (al)	PWD plywood	TOW top of wall
CJ control joint	FFE finished floor elevation	MFR manufacture (r) (d)	QT quarry tile	TPD toilet paper dispenser
CLG ceiling	FLG flashing	MH manhole	R riser, radius	TS tube steel
CLR clear (ance)	FLR floor (ing)	MISC miscellaneous	RB rubber base	TYP typical
CMU concrete masonry unit	FLUR fluorescent	MLD molding, moulding	REC recycling	T&G tongue and groove
COL column	FO face of	MO masonry opening	RCMD recommend (ed) (ations)	UNO unless noted otherwise
CONC concrete	FRMG framing	MT mount (ed) (ing)	RE reference	VB vapor barrier
CONT continuous or continue	FRP fiber reinforced plastic	MTL metal	REF refrigerator	VCT vinyl composition tile
CORR corridor	FT foot (feet)	N north	REQ required	VERT vertical
CPET common path of egress travel	FTG footing	N/A not applicable	REV revision (s), revised	VIF verify in field
CPT carpet (ed)	GA gage, gauge	OD outside diameter	RD roof drain	VM vending machine
CSMT cassment	GAL gallon	OC on center (s)	RFG roofing	VNL vinyl sheet
CT ceramic tile	GALV galvanized	OD outside diameter	RH robe hook	VTR vent through roof
CTR center	GB grab bar	OFI owner furnished, contractor installed	RM room	W west, wide, width
CWOG center wall on grid	GC general contractor	OFCI owner furnished, contractor installed	RO rough opening	W/ with
DBL double	GL glass, glazing	OFD overflow drain	RS restroom	WB wood base
DEMO demolish / demolition	GWB gypsum wallboard	OFOI owner furnished, owner installed	RTU roof top unit	WC watercloset
DF drinking fountain	GYP gypsum	OH overhead	RUB rubber	WD wood
DIM dimension (s)	HAS headed anchor stud	OL occupant load	S south	WDW window
DIR direction	HB hose bibb	OLF occupant load factor	SAG susp acoustic grid	WF wide flange
DISP dispenser	HCP handicap (ed)	OL occupant load factor	SC shower curtain rod & hooks	WG wire glass
DN down	HDR header	OL occupant load factor	SCH schedule	W/O without
DR door	HDW hardware	OL occupant load factor	SD soap dispenser	WP waterproof (ing)
DS downspout	HM hollow metal	OL occupant load factor		WR waste receptacle
DTL detail	HOR horizontal	OL occupant load factor		WRB weather resistive barrier
DWG drawing	HSS hollow structural sections	OL occupant load factor		WWM welded wire mesh
DWR drawer	HT height	OL occupant load factor		
E east	HVAC heating /ventilation / air conditioning	OL occupant load factor		
EA each	HWD hardwood	OL occupant load factor		
EC evaporative cooler		OL occupant load factor		
EG etched glass/glazing		OL occupant load factor		

SYMBOLS

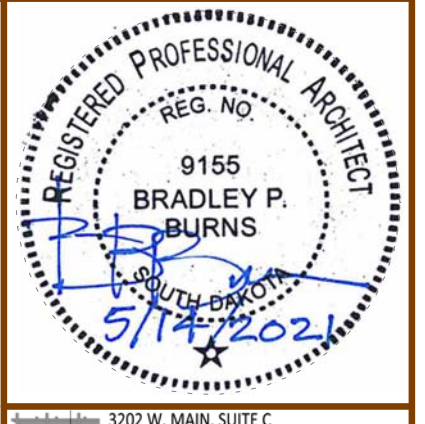
	REVISION		ANGLE
	ELEVATION		DIAMETER
	COLUMN GRID LOCATION		PERPENDICULAR
	DOOR NUMBER		PLATE
	WINDOW TYPE		PLUS OR MINUS
	CENTER LINE		FLOOR DRAIN
	LINE OF WALL ABOVE OR HIDDEN LINE		FIRE EXTINGUISHER
	BREAK LINE		
	MATCH LINE		
	ROOM NAME ROOM NUMBER		
	INTERIOR WALL ELEVATION REFERENCE DRAWING		
	REFERENCED SECTION NUMBER SHEET NUMBER		
	BASIC WALL TYPE		
	WALL TYPE AND PROPERTIES, SEE "WALL DESIGNATION KEY" BELOW		
	REFERENCED DETAIL NUMBER SHEET NUMBER		

GENERAL NOTES

1. COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN.
2. ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.
3. ALL ALIGNMENTS ARE FACE OF FINISH UNO.
4. FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR INSTALLATION.

DRAWING LIST

ARCHITECTURAL	
A002	CODE CHECKLIST & LIFE SAFETY PLAN
A001	NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES
A101	LOWER LEVEL - FLOOR PLAN
A102	UPPER LEVEL - FLOOR PLAN
A121	REFLECTED CEILING PLAN
A201	EXTERIOR ELEVATIONS
A301	ENLARGED STAIR PLANS & DETAILS
A302	ENLARGED STAIR PLANS & DETAILS
A501	BUILDING SECTIONS
A611	ARCHITECTURAL DETAILS - EXTERIORS



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
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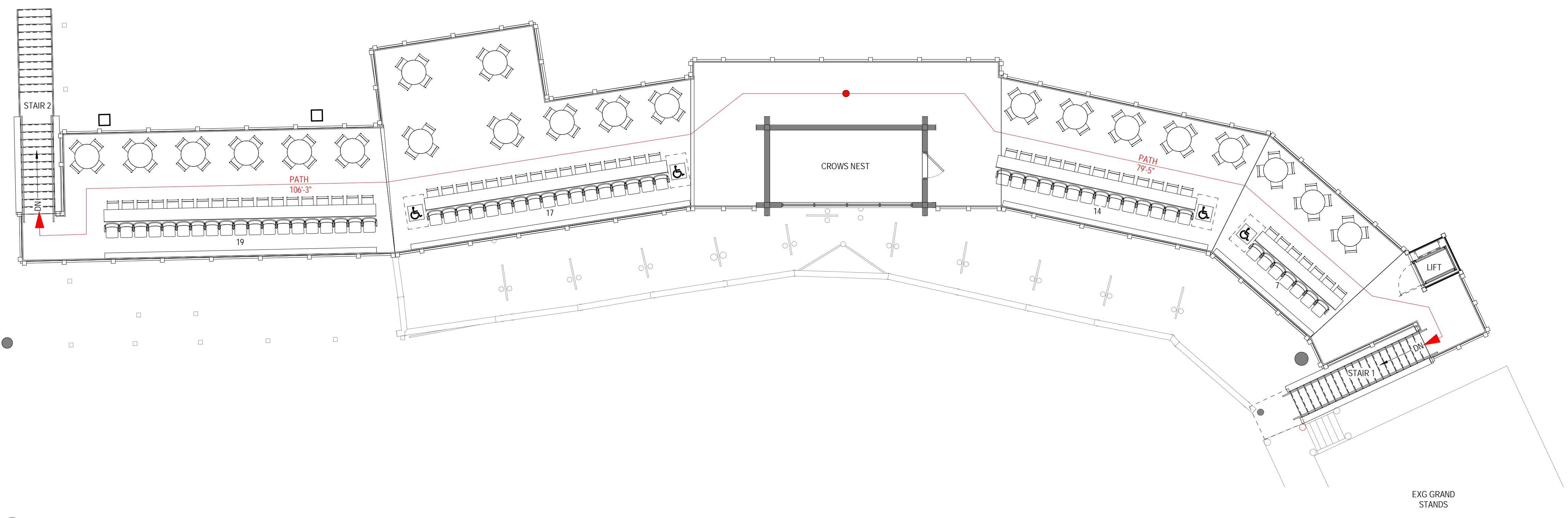
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NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

SHEET TITLE:  
NOTES, SYMBOLS,  
ABBREVIATIONS AND  
WALL TYPES

SHEET IDENTIFICATION:

A001



2 UPPER LEVEL - LIFE SAFETY PLAN  
A002 1/8" = 1'-0"

CODE CHECKLIST

TOTAL OCCUPANT LOAD:

NUMBER OF EXITS REQUIRED FOR BUILDING (TABLE 1006.3.2):	2
OCCUPANT LOAD: UPPER LEVEL PATIO (ASSEMBLY) 2,735 SF	2,735/15 = 183
TOTAL TRIBUTARY OCCUPANT LOAD (TOL)	<b>183</b>
EXIT ACCESS TRAVEL DISTANCE (1017.2):	200 FEET

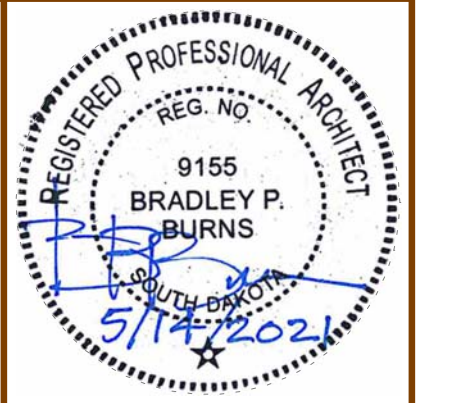
ALLOWABLE AREA INCREASES

AUTOMATIC SPRINKLER SYSTEM: (SECTION 506.3)	NO
ALLOWABLE NUMBER OF STORIES: (504.4)	UNLIMITED
ALLOWABLE BUILDING HEIGHT: (504.3)	40 FEET
ALLOWABLE NUMBER OF STORIES: (504.4)	UNLIMITED

CODE IN USE:

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2019 INTERNATIONAL PLUMBING CODE (IPC)
- 2017 NATIONAL ELECTRICAL CODE (NEC)
- 2018 INTERNATIONAL FIRE CODE (IFC)

TYPE OF OCCUPANCY:	GROUP A-5
TYPE OF CONSTRUCTION:	TYPE V-B
BUILDING AREA FIRST FLOOR GSF:	2,735 SQ FT
TOTAL BUILDING AREA GSF:	<b>2,735 SQ FT</b>
TOTAL NUMBER OF STORIES:	1
BASIC ALLOWABLE FLOOR AREA (A) (TABLE 506.2)	UNLIMITED



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ISSUE BLOCK:

NO.	ISSUE TYPE	ISSUE DATE
CD		

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: Author  
CHECKED BY: Checker

SHEET TITLE:  
**CODE CHECKLIST & LIFE SAFETY PLAN**

SHEET IDENTIFICATION:

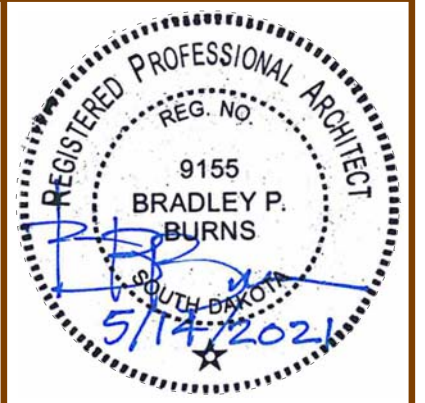
**A002**

GENERAL NEW CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.

NEW CONSTRUCTION KEYED NOTES

- VERTICAL LIFT: BRUNO INDEPENDENT LIVING AIDS, INC. VPL-3300B SERIES, 36"X48" PLATFORM; MODEL VPL-3314B. MATCH EXISTING LIFT ON GRANDSTAND FOR CONTROLS AND ACCESSORIES
- STADIUM SEATING: MATCH EXG AT FACILITY GRANDSTANDS



3302 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

Albertson Engineering Inc.  
CONSULTANT

**CA**  
chamberlin  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

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DAYS OF '76 CROW'S  
NEST ADDITION



ISSUE BLOCK:

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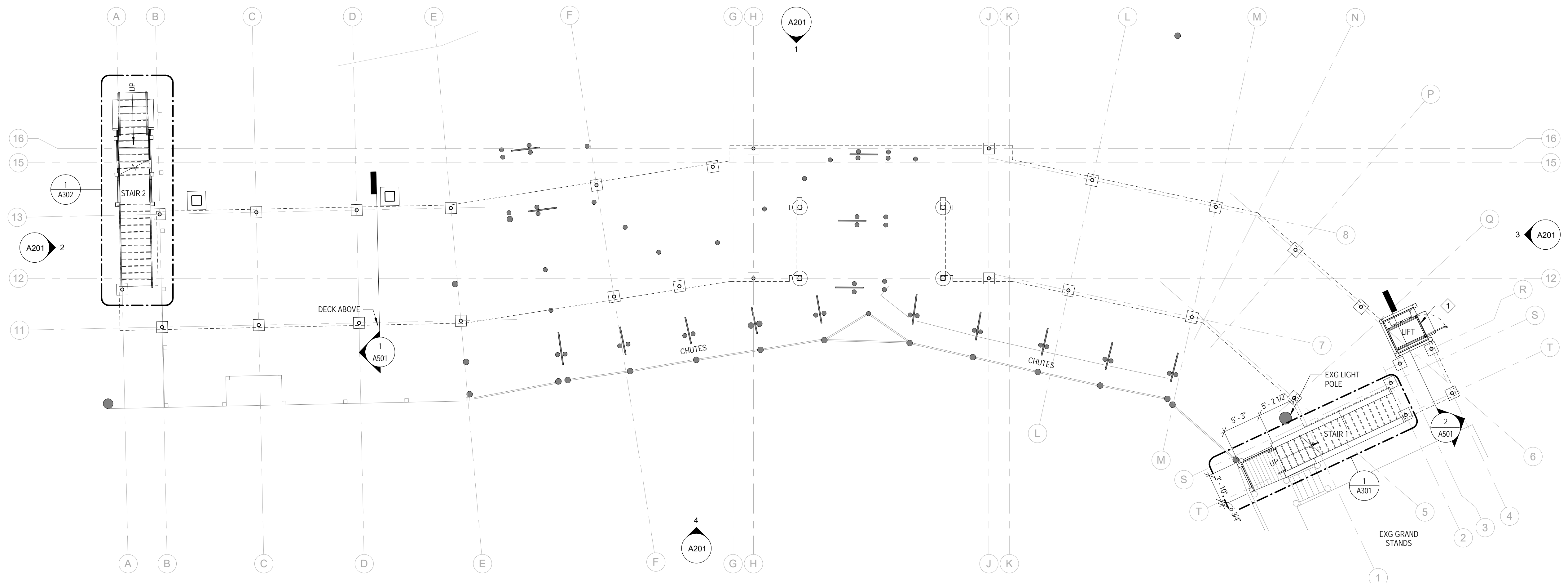
MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

SHEET TITLE:  
LOWER LEVEL -  
FLOOR PLAN

SHEET IDENTIFICATION:

A101

17 OF 32



1 LOWER LEVEL PLAN  
A101  
1/8" = 1'-0"

LEGEND

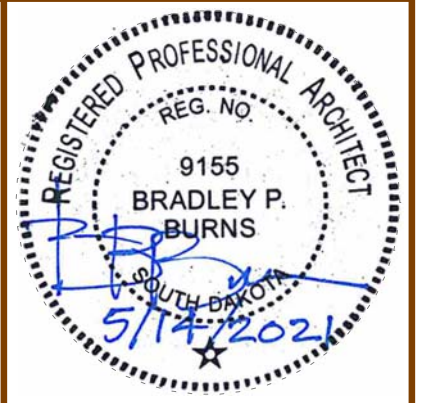
	EXISTING WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	NEW WALL
	NEW ITEM

GENERAL NEW CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.

NEW CONSTRUCTION KEYED NOTES

- VERTICAL LIFT: BRUNO INDEPENDENT LIVING AIDS, INC. VPL-3300B SERIES, 36"X48" PLATFORM, MODEL VPL-3314B. MATCH EXISTING LIFT ON GRANDSTAND FOR CONTROLS AND ACCESSORIES.
- STADIUM SEATING: MATCH EXG AT FACILITY GRANDSTANDS



3302 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

Albertson Engineering Inc.  
CONSULTANT

**CA**  
chamberlin  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

PROJECT IDEN:  
DAYS OF '76 CROWS' NEST ADDITION



ISSUE BLOCK:

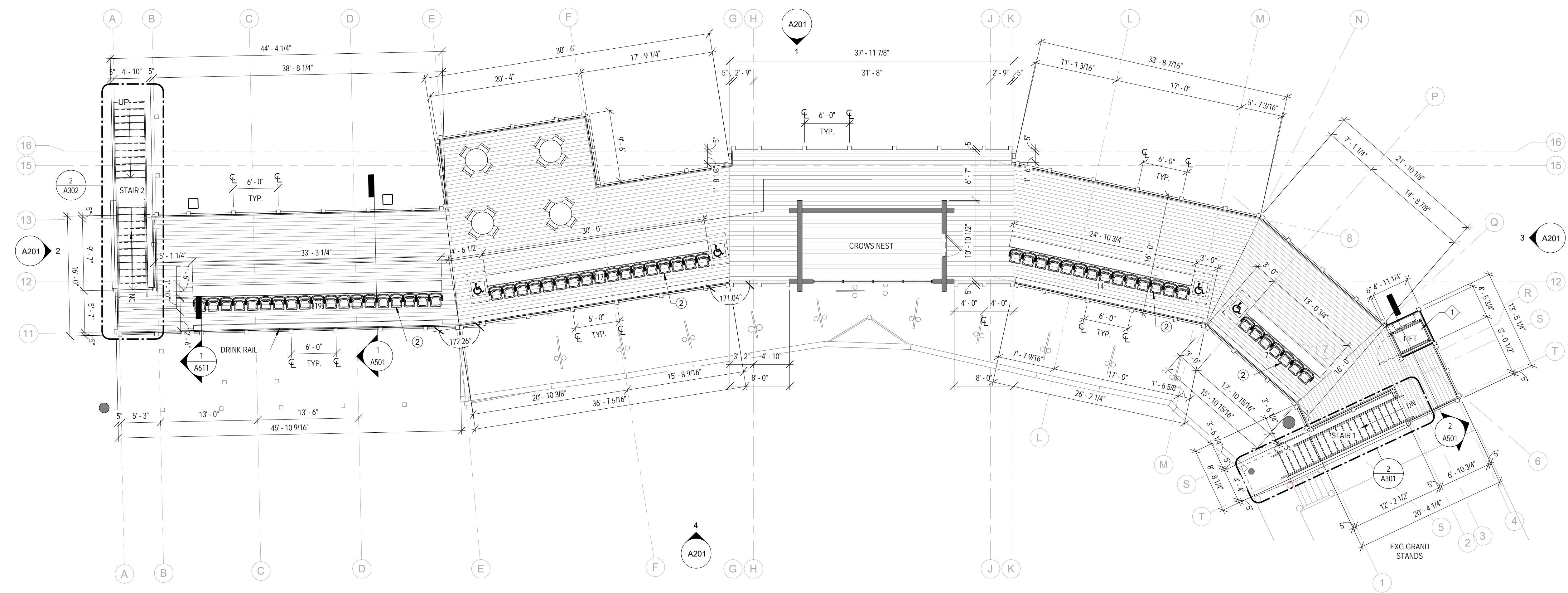
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CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

SHEET TITLE:  
UPPER LEVEL - FLOOR PLAN

SHEET IDENTIFICATION:  
**A102**

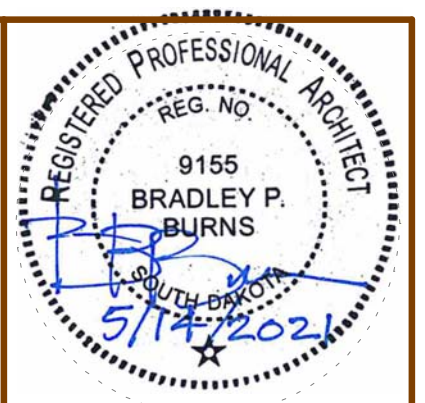
18 OF 32



**1** UPPER LEVEL PLAN  
A102  
1/8" = 1'-0"

LEGEND

	EXISTING WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	NEW WALL
	NEW ITEM



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PROJECT IDEN:  
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NEST ADDITION



ISSUE BLOCK:

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

MANAGEMENT:

PROJECT NO: 1810

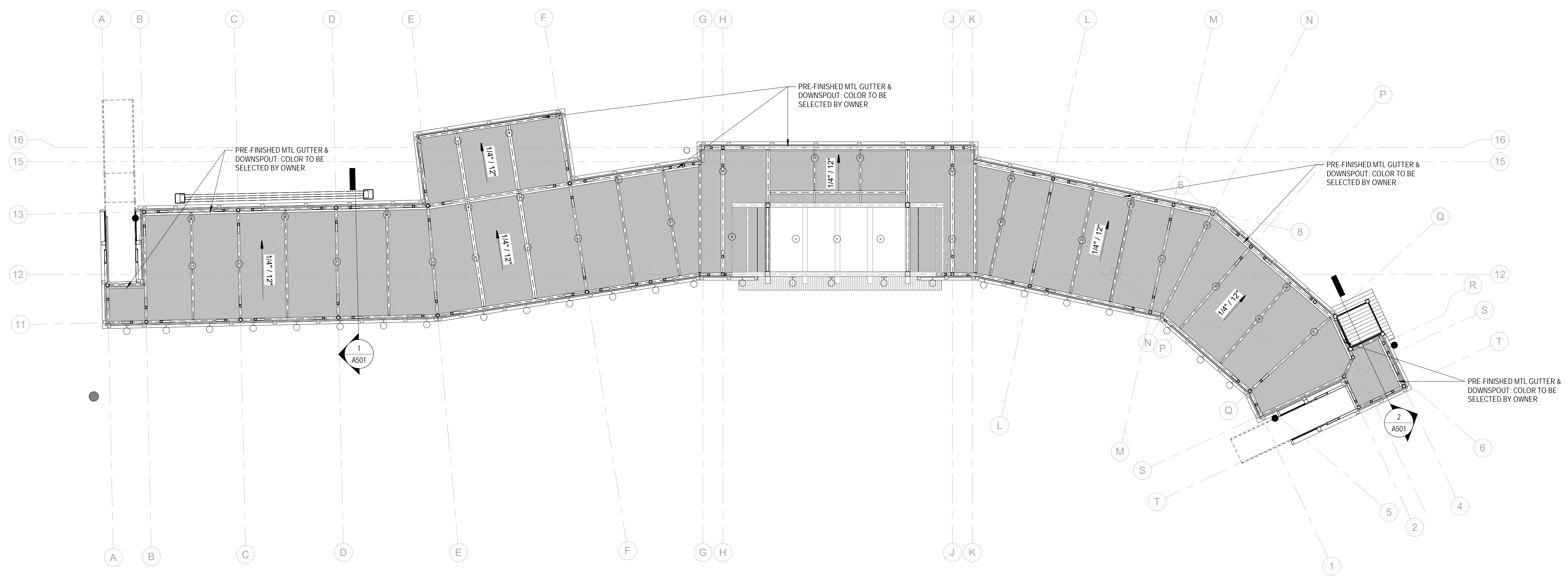
DRAWN BY: JL

CHECKED BY: --

SHEET TITLE:  
REFLECTED CEILING PLAN

SHEET IDENTIFICATION:  
A121

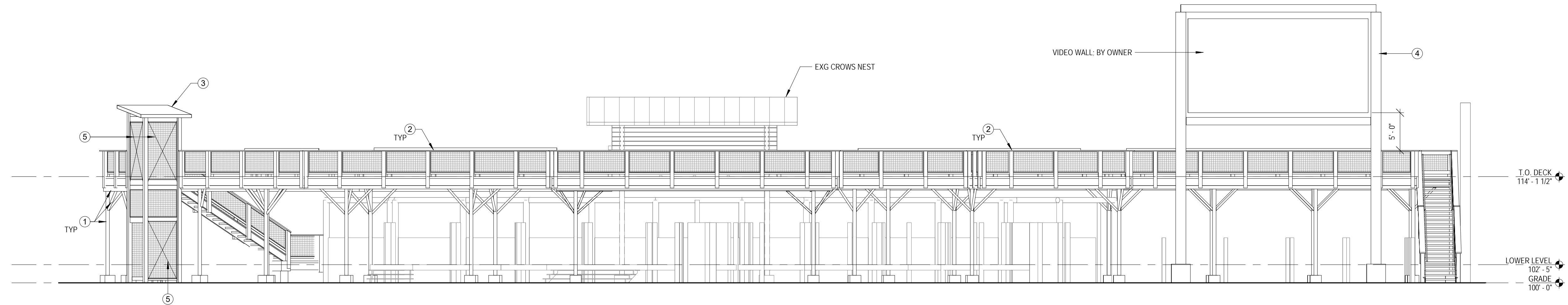
19 OF 32



1 REFLECTED CEILING PLAN  
A121  
1/8" = 1'-0"

LEGEND

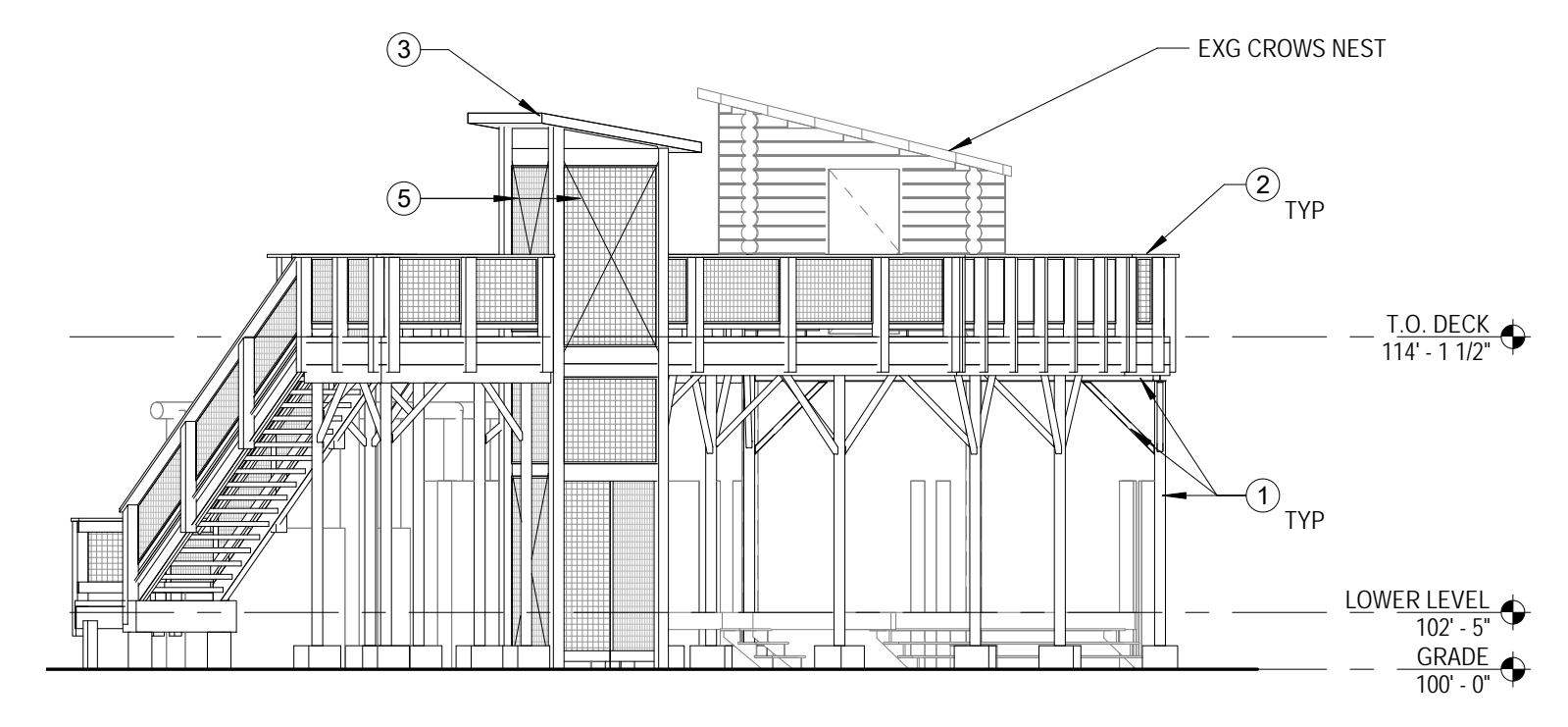
	7/8" CORRUGATED METAL PANEL: COLOR TO BE SELECTED BY OWNER	<b>NOTE:</b> CENTER LIGHT FIXTURES IN SPACE AS SHOWN ON REFLECTED CEILING PLANS WHEN LIGHT FIXTURES ARE NOT DIMENSIONED. (TYP)
	PENDANT, RE: ELEC	
	WALL SCONCE, RE: ELEC	



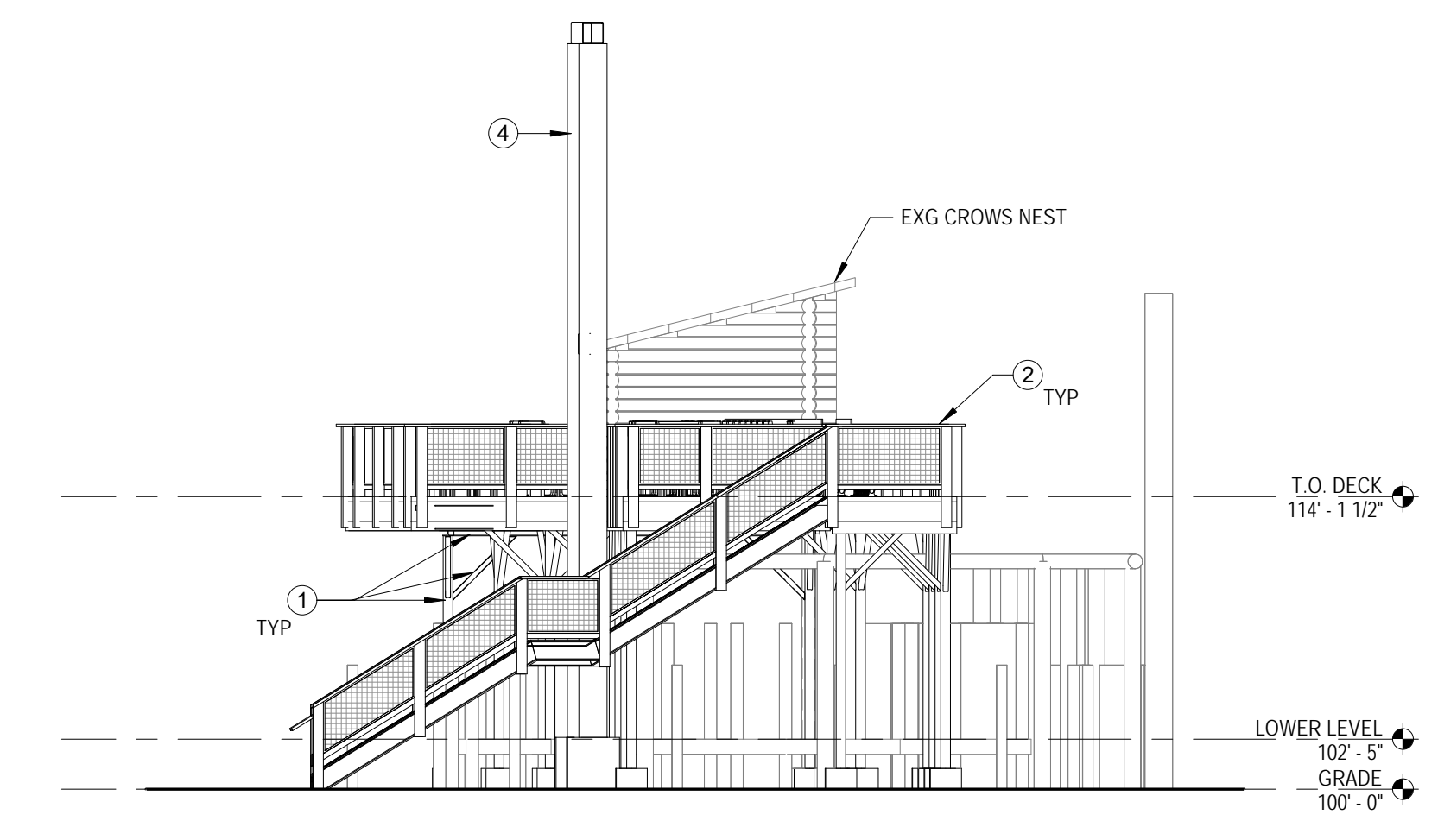
1 EAST EXTERIOR ELEVATION  
A201 1/8" = 1'-0"

# EXTERIOR ELEVATION KEYED NOTES

1. STL COLUMN; RE: STR; PNT (MATCH EXG STL AT CROWS NEST).
2. GUARDRAIL; RE: DETAIL 2/A611
3. STANDING SEAM MTL ROOF; MATCH CROWS NEST FOR COLOR & PROFILE.
4. VIDEO WALL STRUCTURE; RE: STR; PNT(MATCH EXG STL AT CROWS NEST).
5. CORTEN STL CROSS BRACING; RE: STR; WEATHERED FINISH.



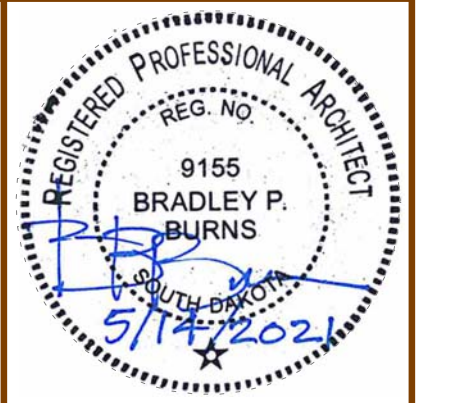
3 SOUTH EXTERIOR ELEVATION  
A201 1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
A201 1/8" = 1'-0"



4 WEST EXTERIOR ELEVATION  
A201 1/8" = 1'-0"



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
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PROJECT IDEN:  
DAYS OF '76 CROWS NEST ADDITION



ISSUE BLOCK:

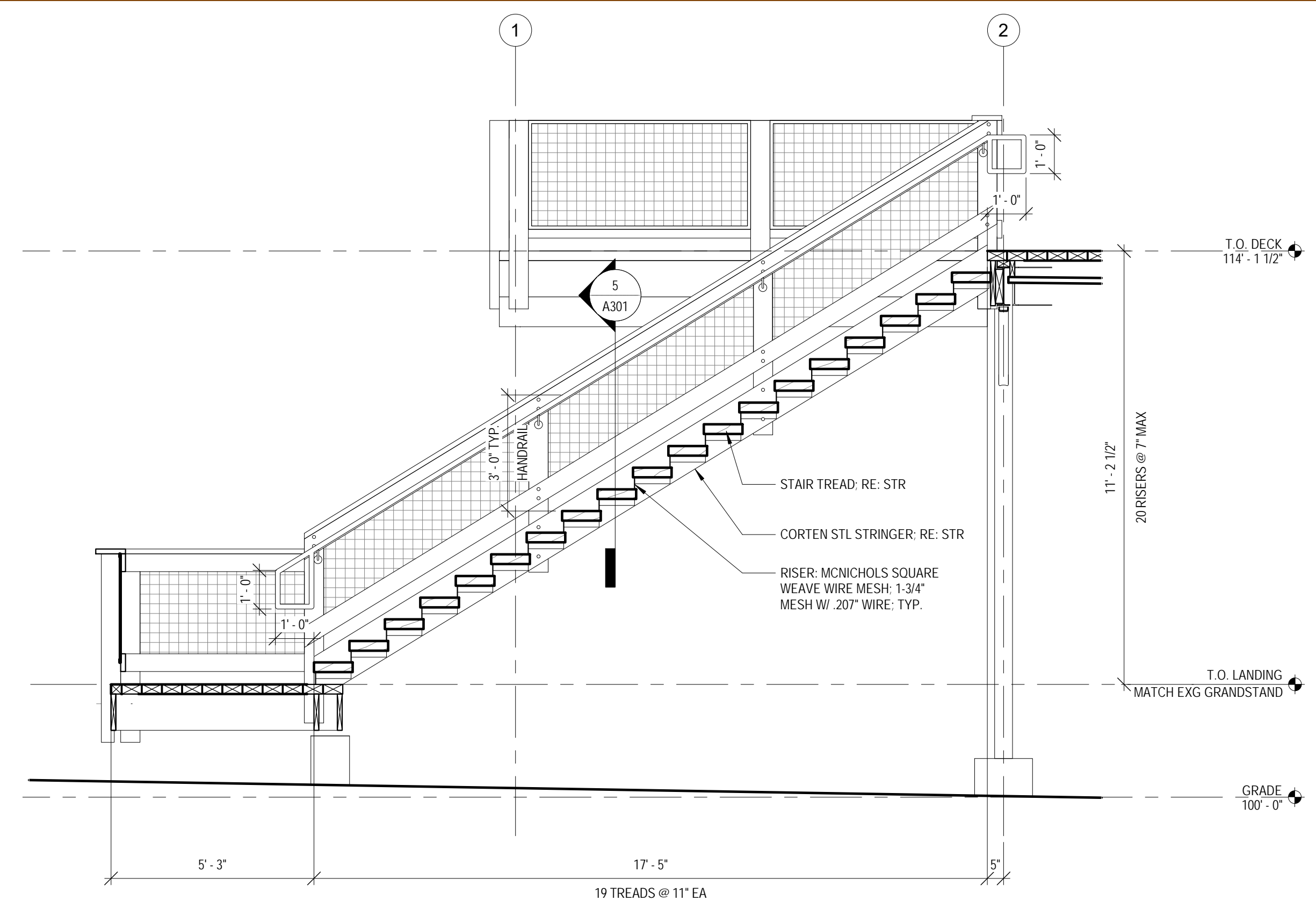
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CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

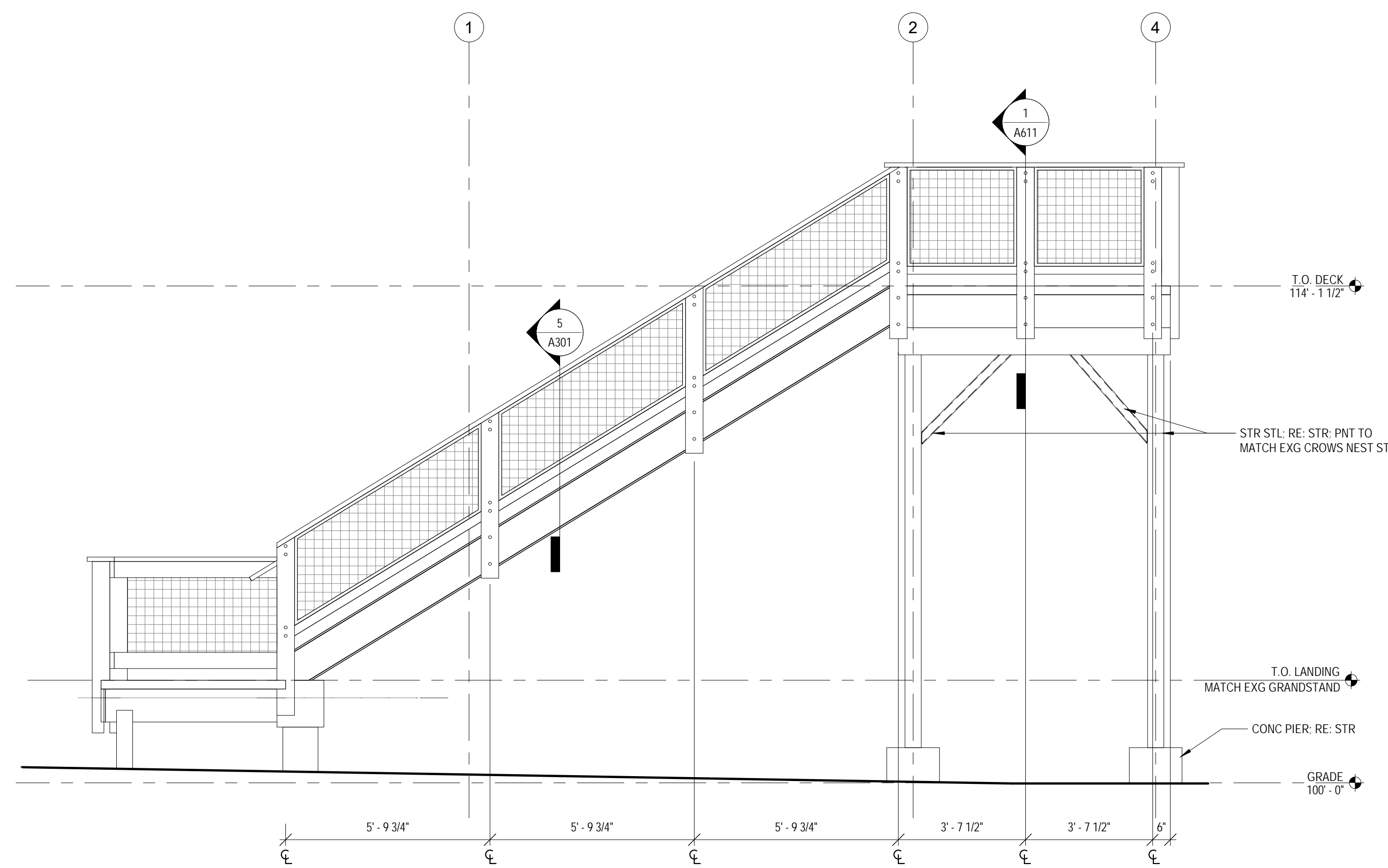
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EXTERIOR ELEVATIONS

SHEET IDENTIFICATION:  
**A201**

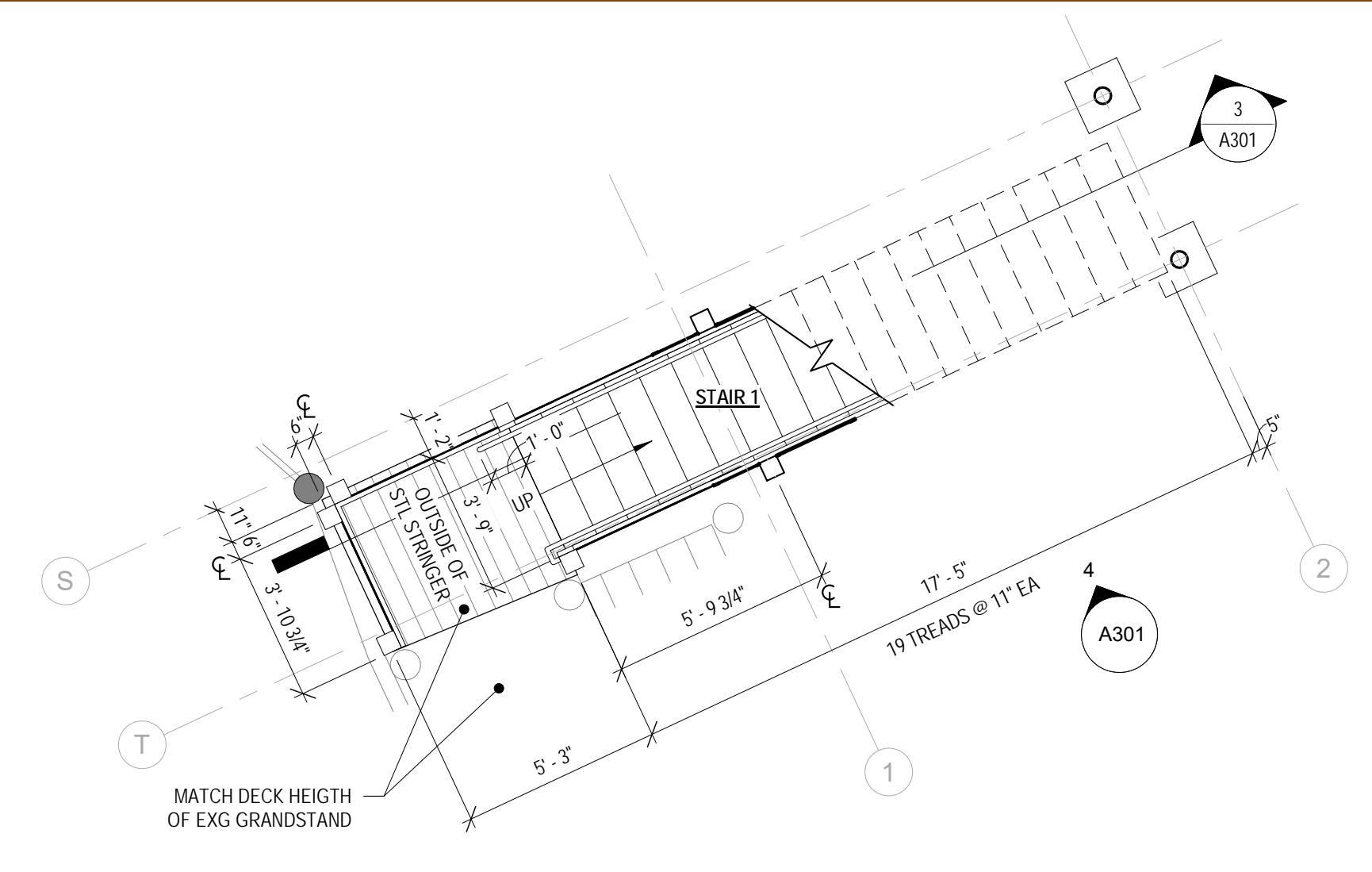




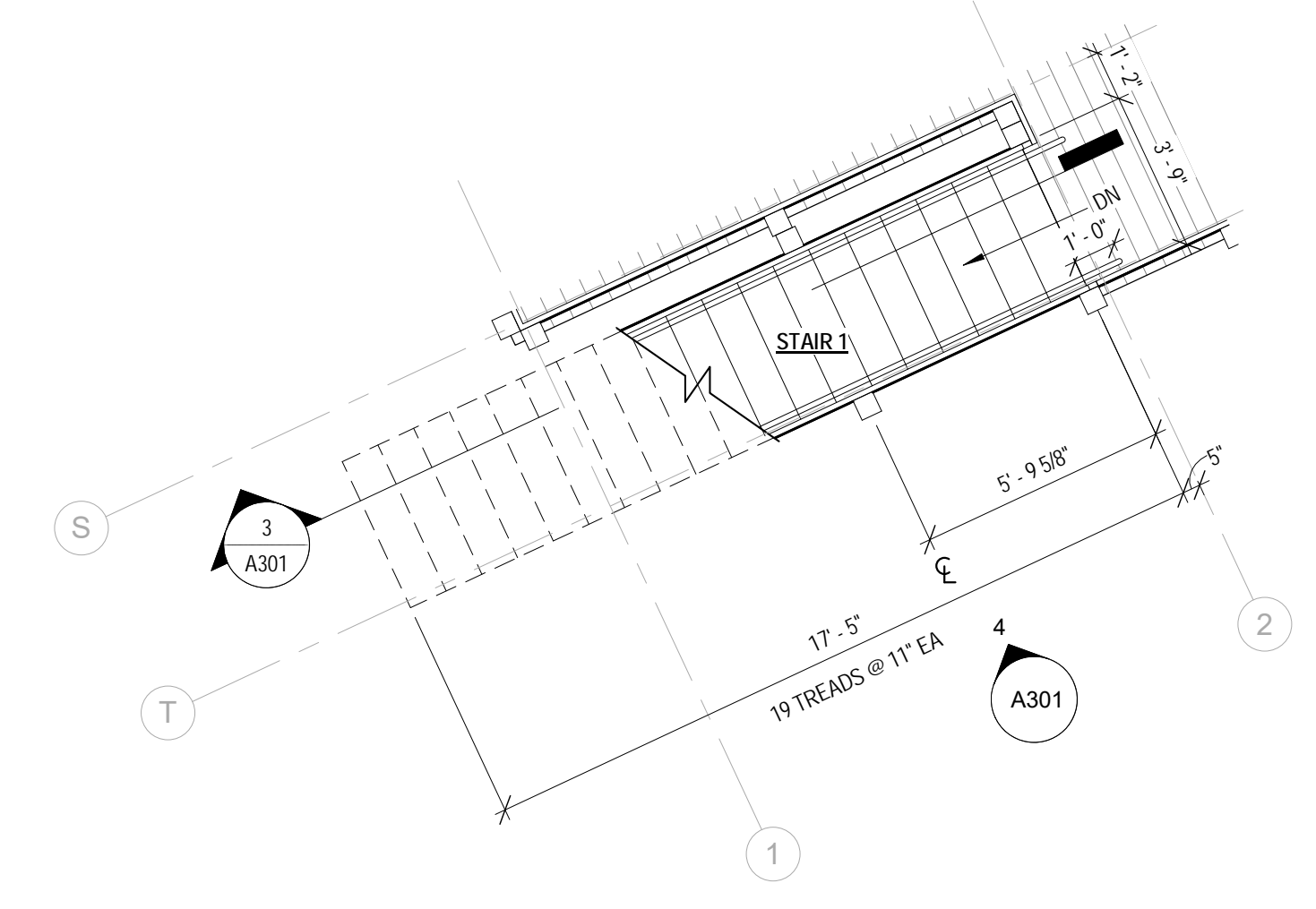
3 STAIR 1 SECTION  
A301 3/8" = 1'-0"



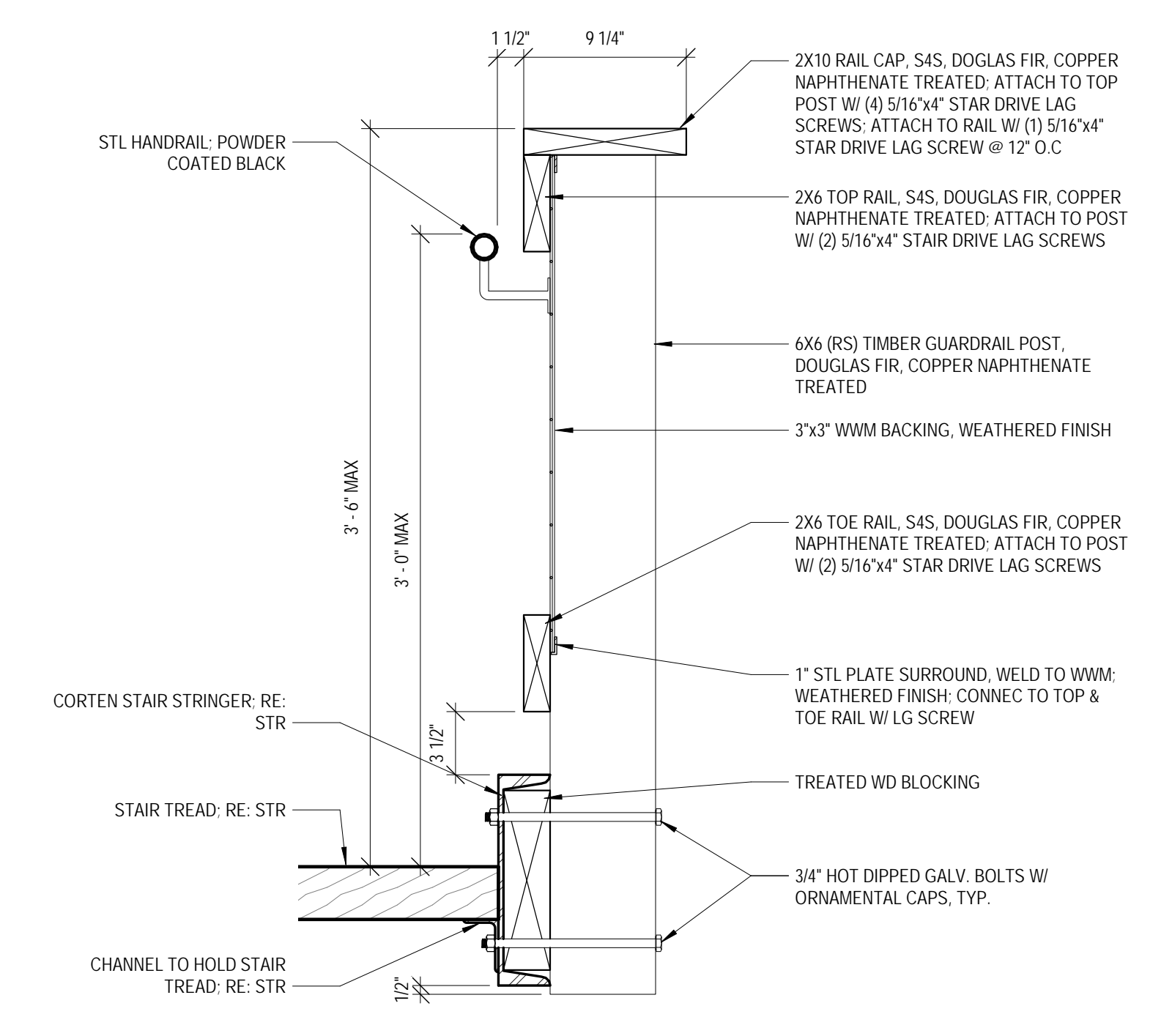
4 STAIR 1 ELEVATION  
A301 3/8" = 1'-0"



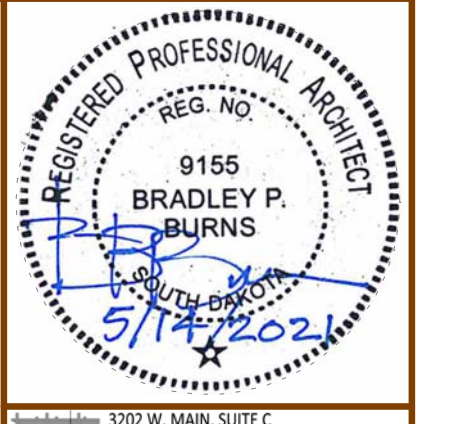
1 LOWER LEVEL - STAIR 1 - ENLARGED PLAN  
A301 1/4" = 1'-0"



2 UPPER LEVEL - STAIR 1 - ENLARGED PLAN  
A301 1/4" = 1'-0"



5 TYP. STAIR GUARDRAIL DETAIL  
A301 1 1/2" = 1'-0"



3302 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

**Albertson Engineering Inc.**  
CONSULTANT

**CA**  
**chamberlin**  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

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**DAYS OF '76 CROWS' NEST ADDITION**



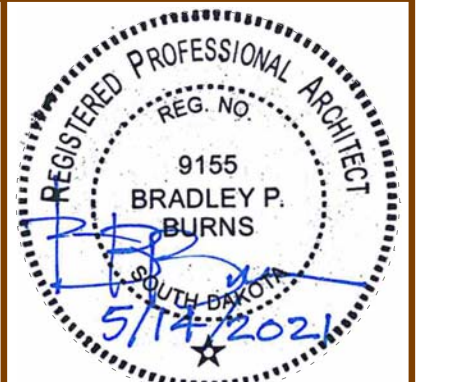
ISSUE BLOCK:

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: -

SHEET TITLE:  
**ENLARGED STAIR PLANS & DETAILS**

SHEET IDENTIFICATION:  
**A301**



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RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

**Albertson Engineering Inc.**  
CONSULTANT

**CA**  
**chamberlin**  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

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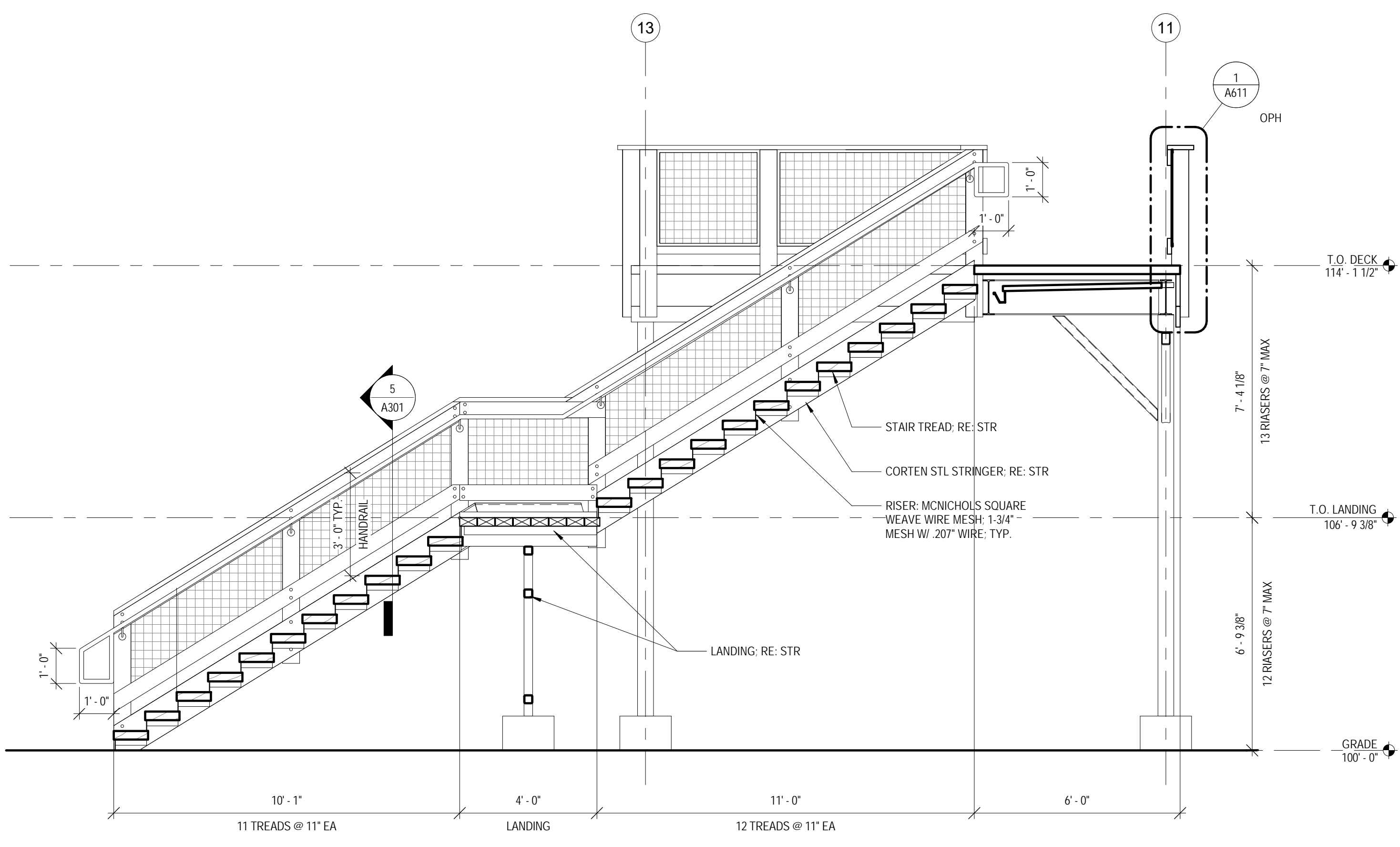
ISSUE BLOCK:

NO.	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

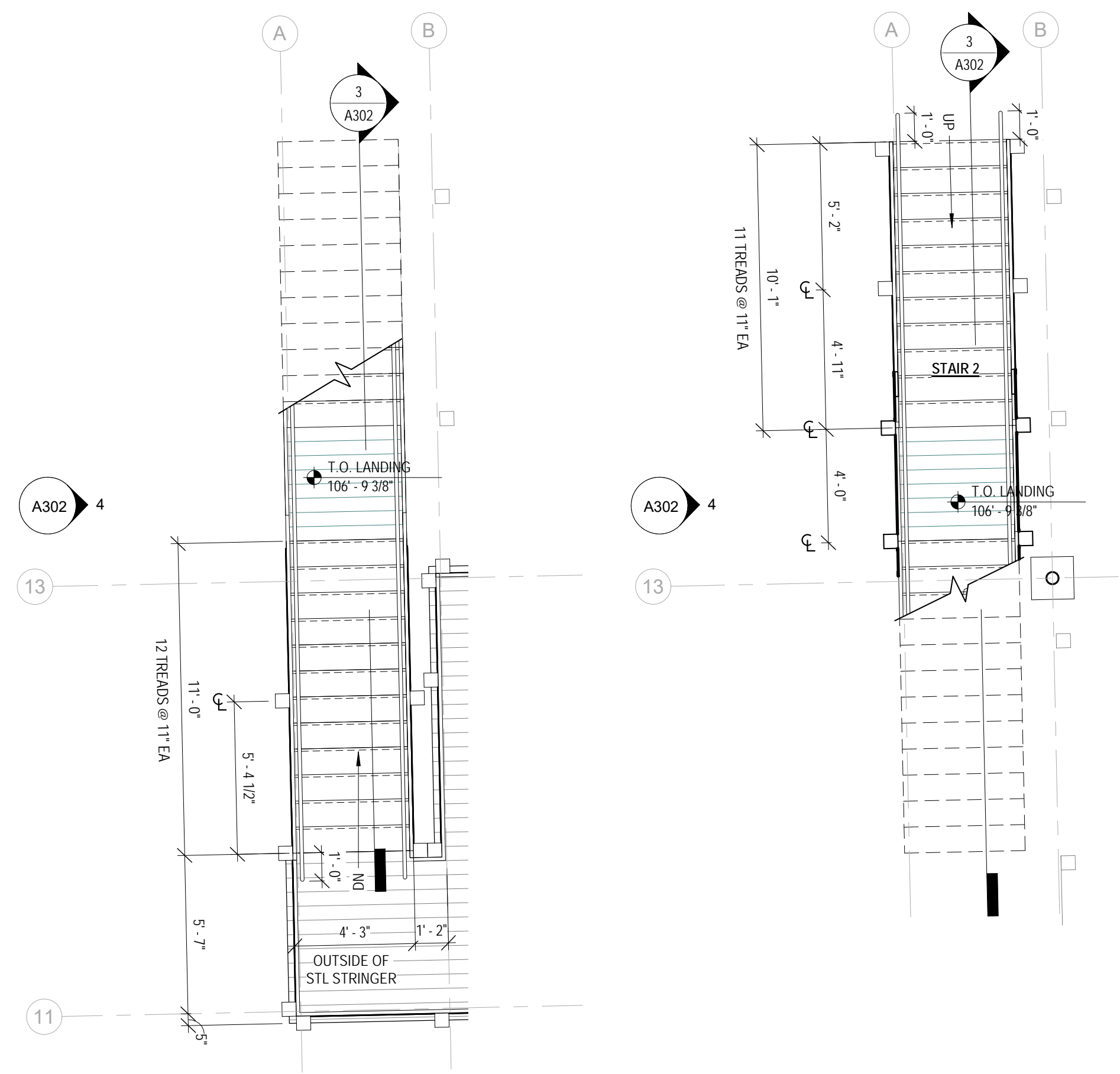
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PROJECT NO: 1810  
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CHECKED BY: -

SHEET TITLE:  
**ENLARGED STAIR PLANS & DETAILS**

SHEET IDENTIFICATION:  
**A302**

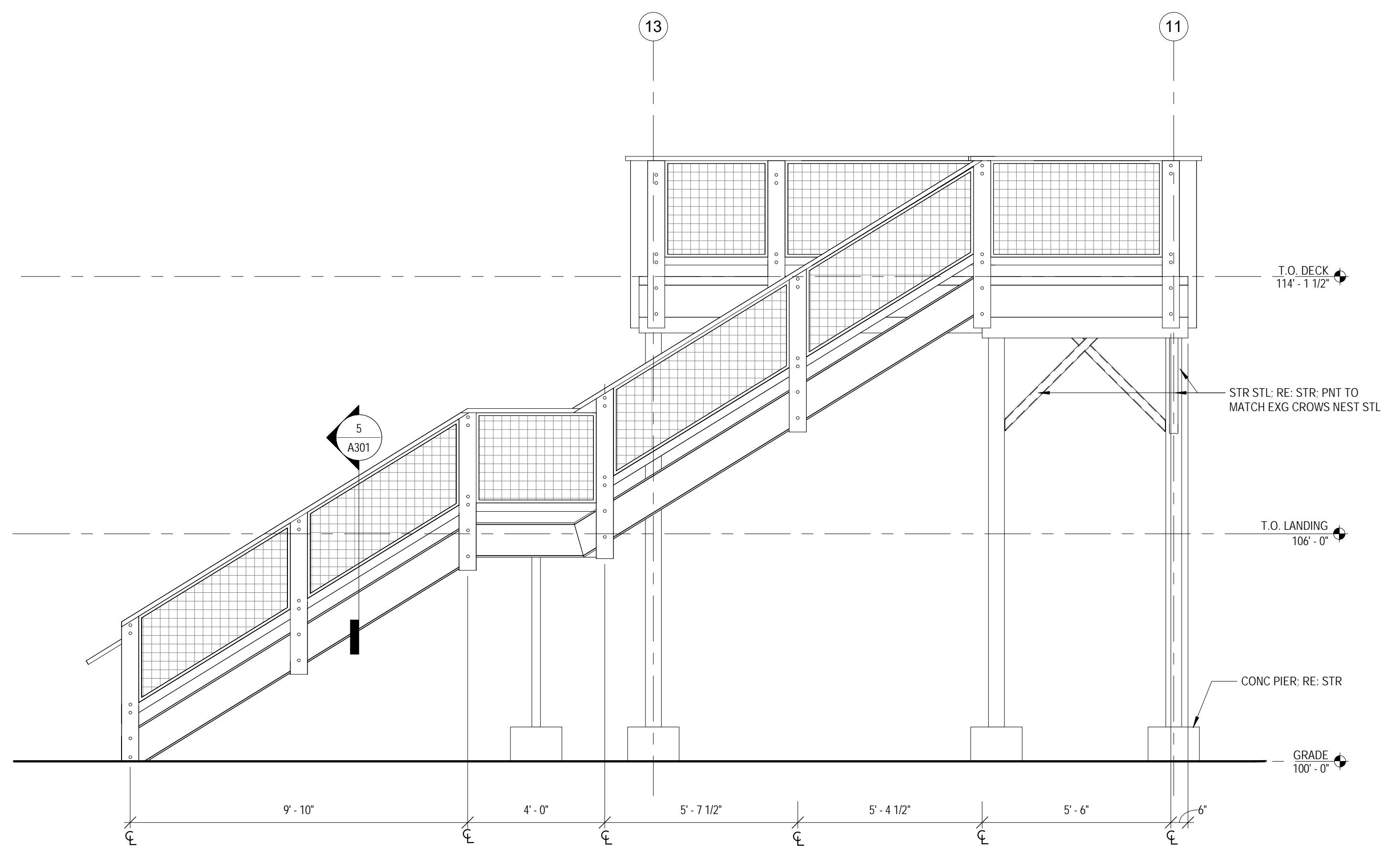


**3 STAIR 2 SECTION**  
3/8" = 1'-0"

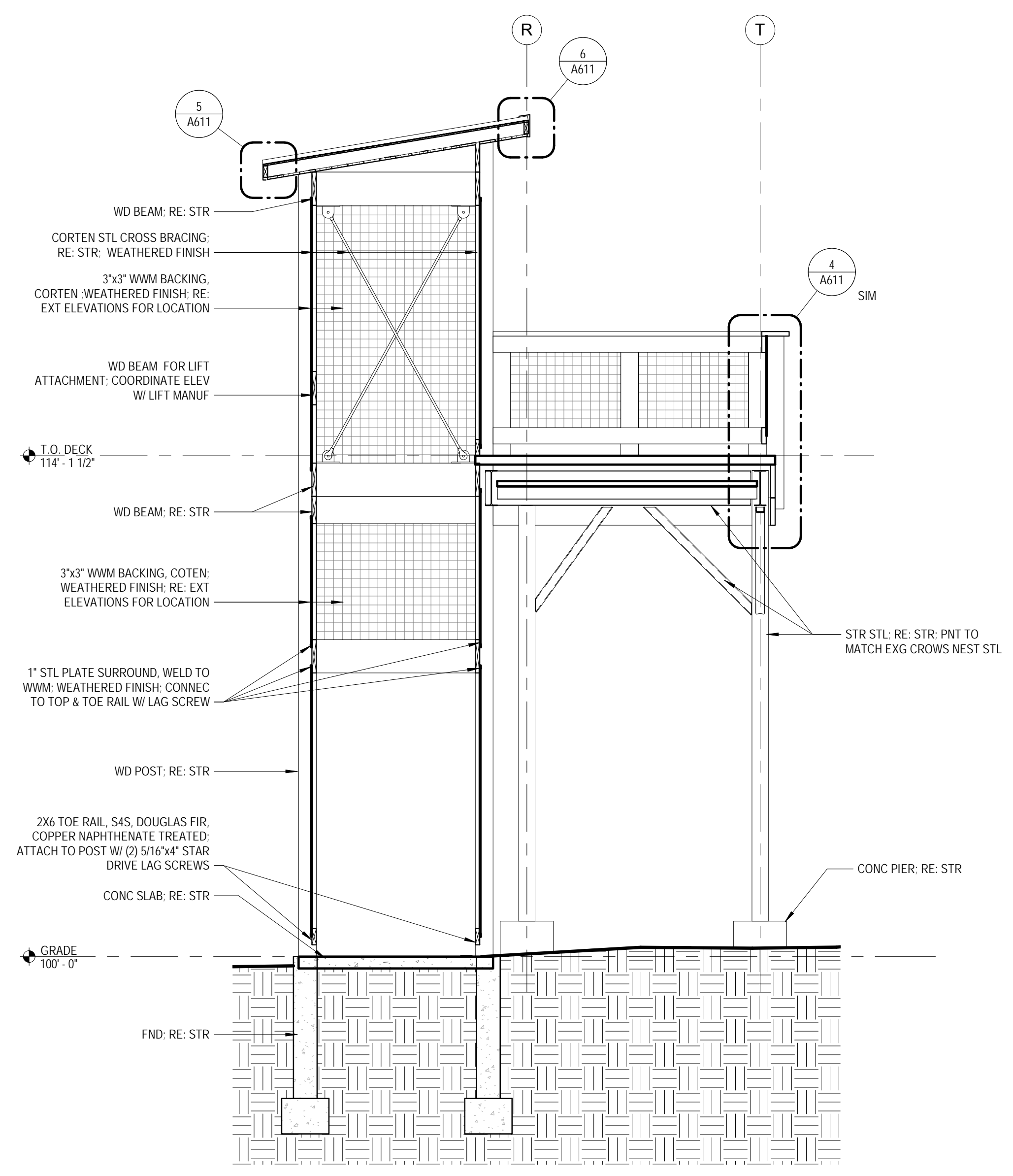


**2 UPPER LEVEL - STAIR 2 - ENLARGED PLAN**  
1/4" = 1'-0"

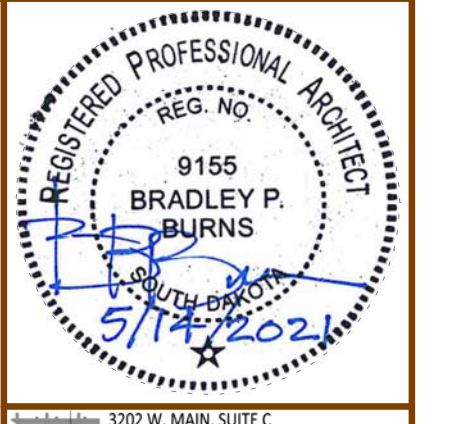
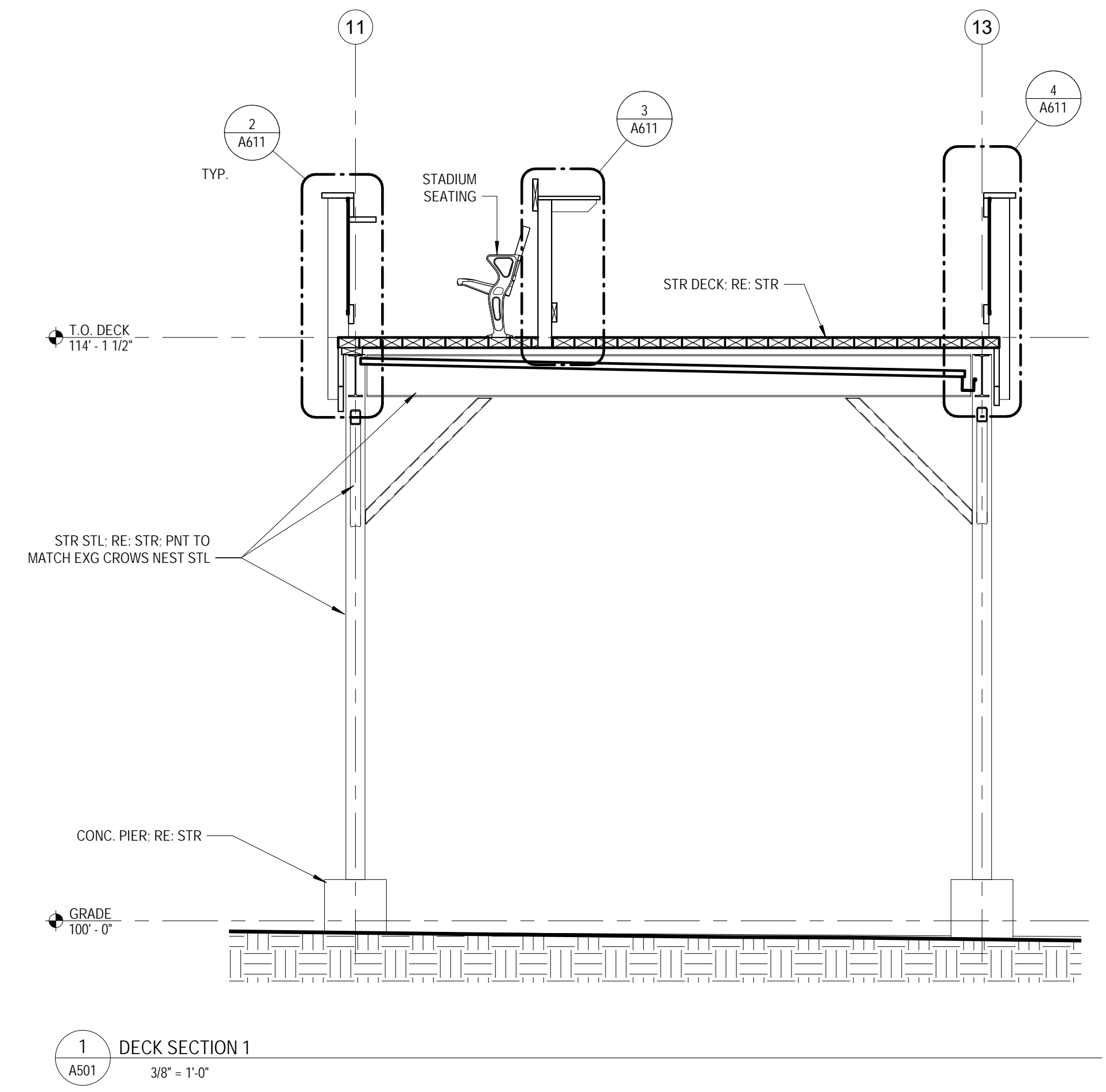
**1 LOWER LEVEL - STAIR 2 - ENLARGED PLAN**  
1/4" = 1'-0"



**4 STAIR 2 ELEVATION**  
3/8" = 1'-0"



2 DECK SECTION 2  
A501 3/8" = 1'-0"



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

Albertson Engineering Inc.  
CONSULTANT



PROJECT IDEN:  
DAYS OF '76 CROWS' NEST ADDITION



ISSUE BLOCK:

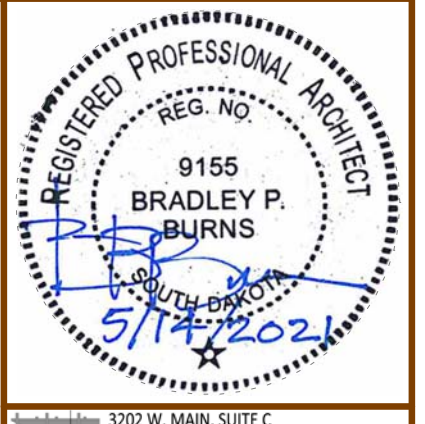
NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

SHEET TITLE:  
BUILDING SECTIONS

SHEET IDENTIFICATION:

A501



3302 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

Albertson Engineering Inc.  
CONSULTANT

**CA**  
**chamberlin**  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

PROJECT IDEN:  
**DAYS OF '76 CROWS' NEST ADDITION**



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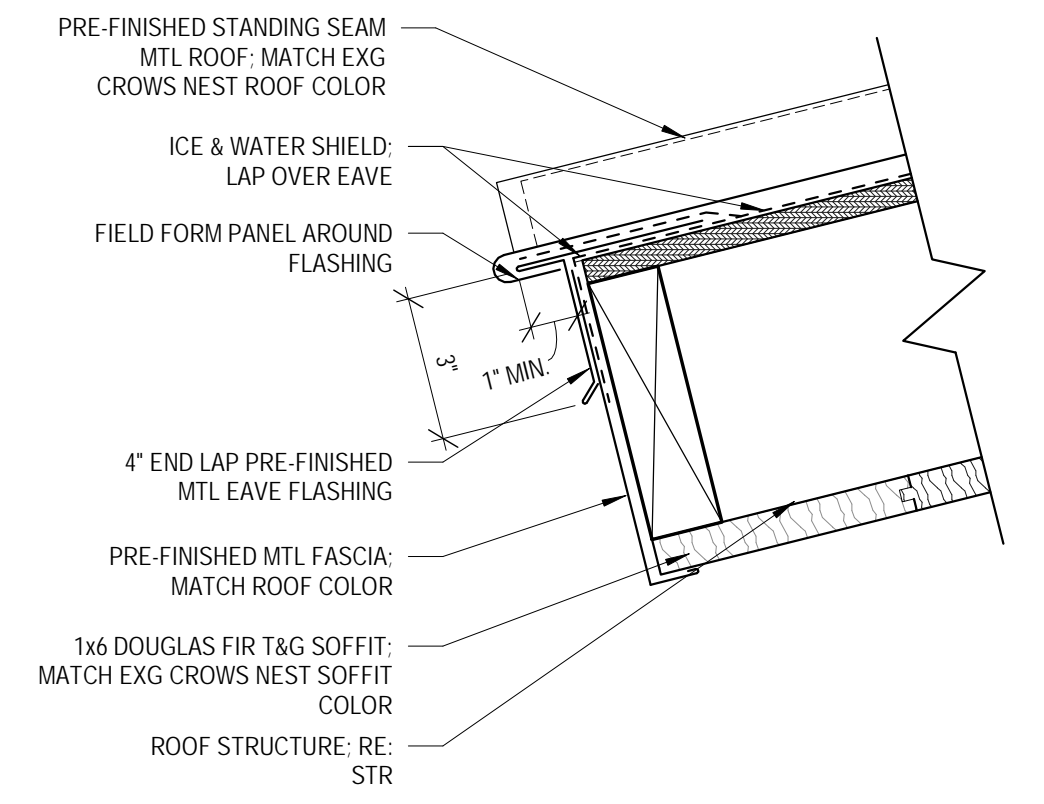
NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	5.14.21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: JL  
CHECKED BY: --

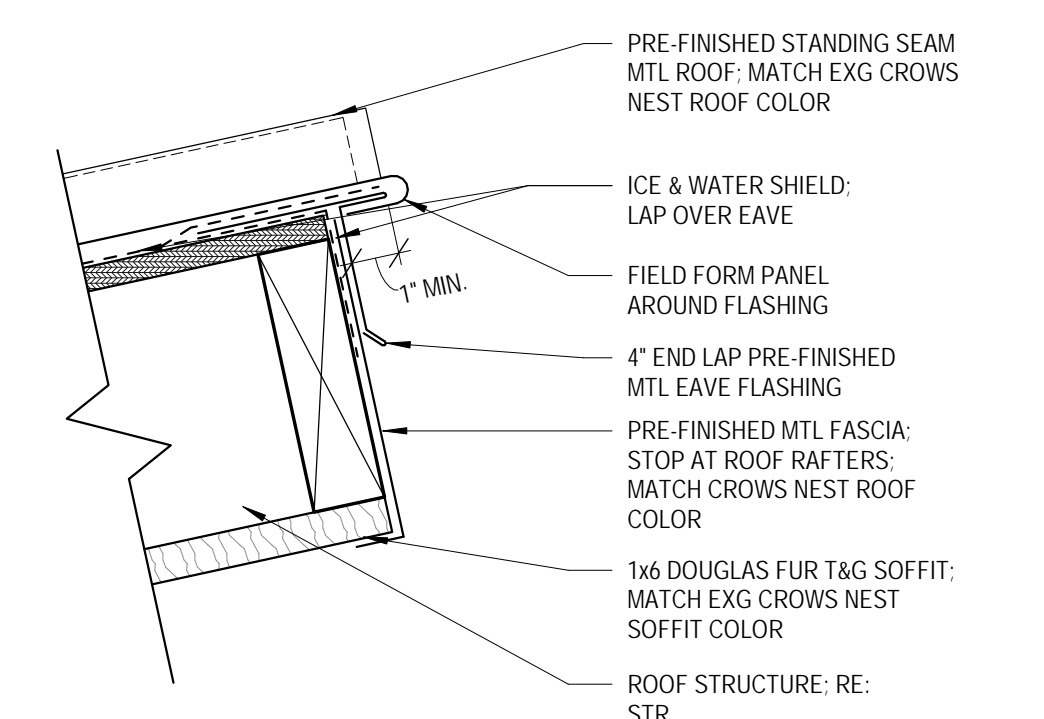
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**ARCHITECTURAL DETAILS - EXTERIORS**

SHEET IDENTIFICATION:  
**A611**

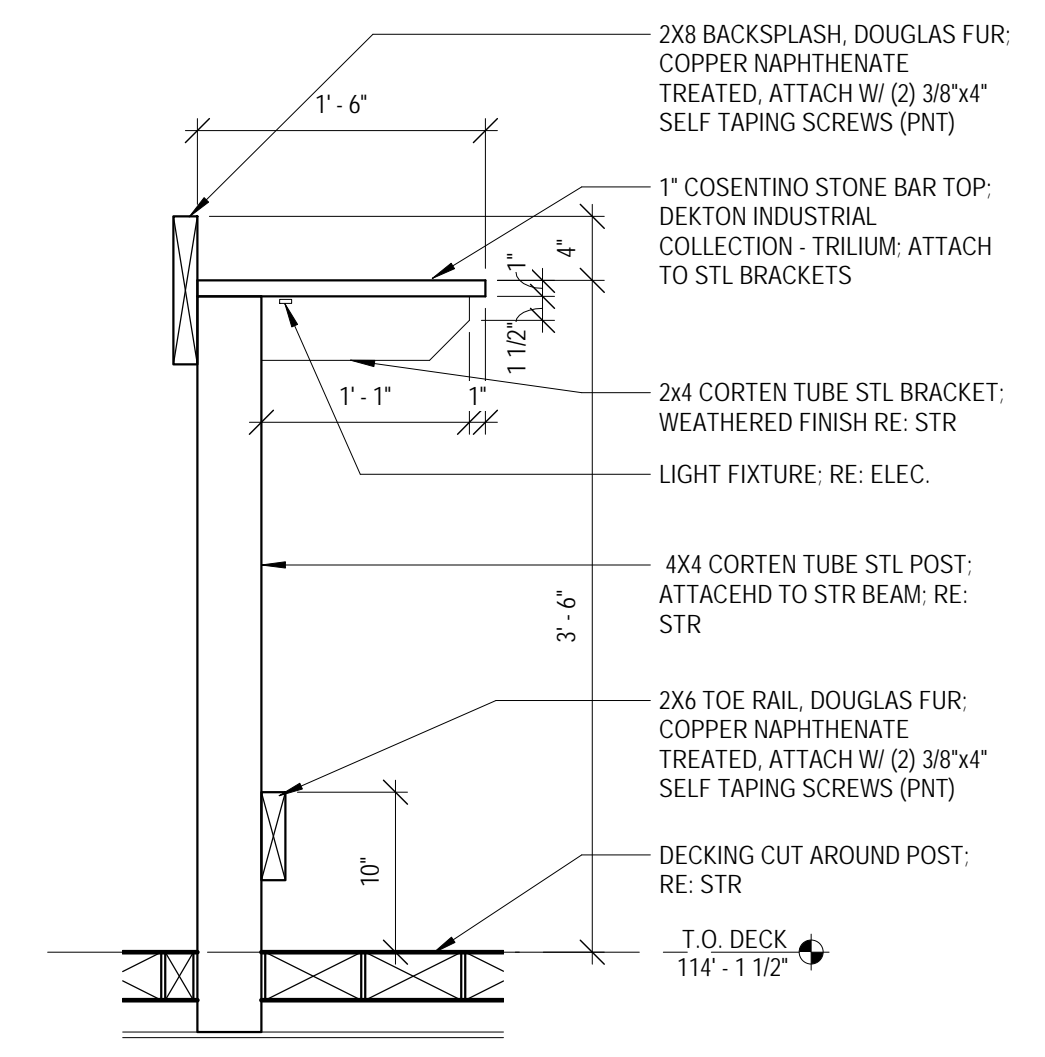
24 OF 32



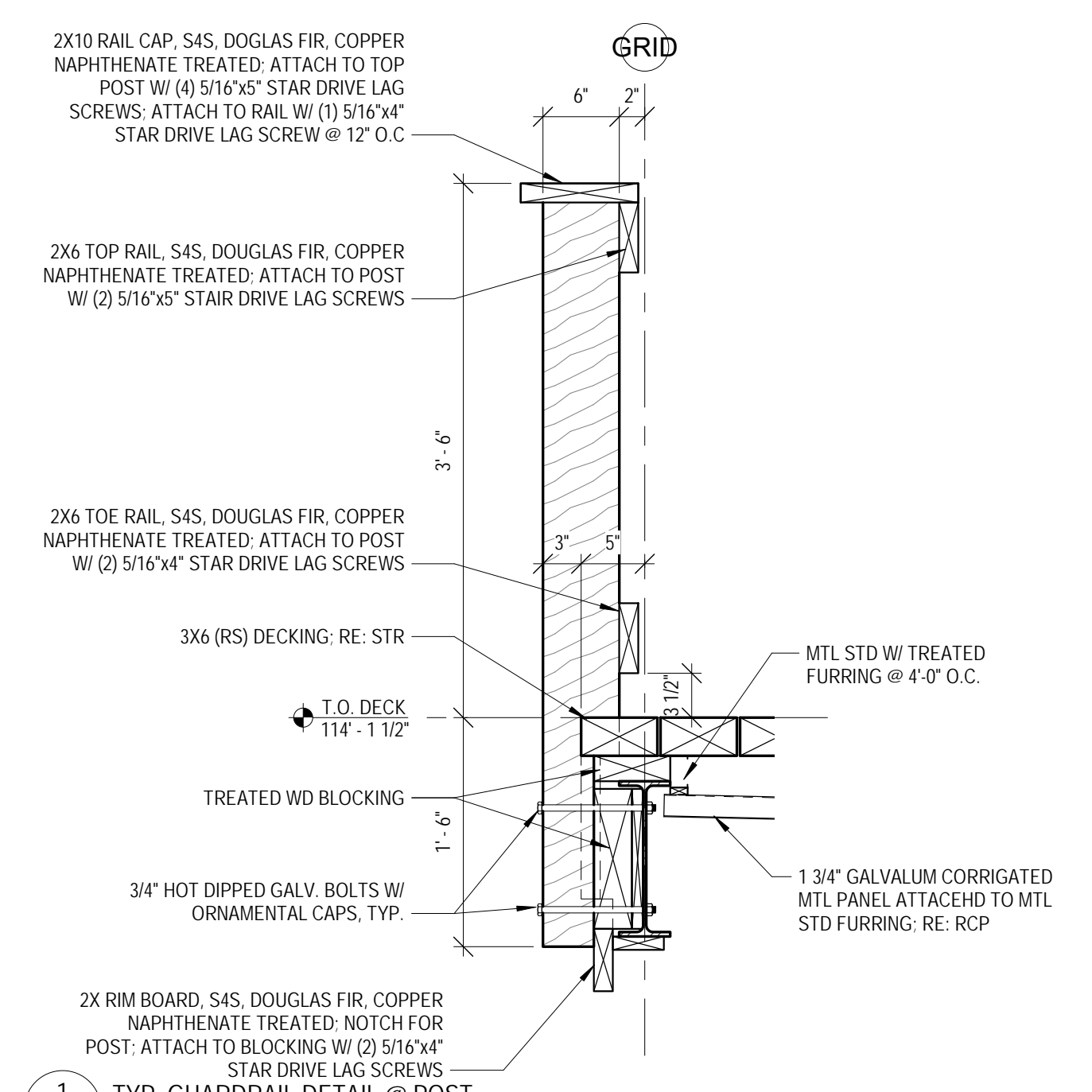
5 EAVE DETAIL  
A611 3" = 1'-0"



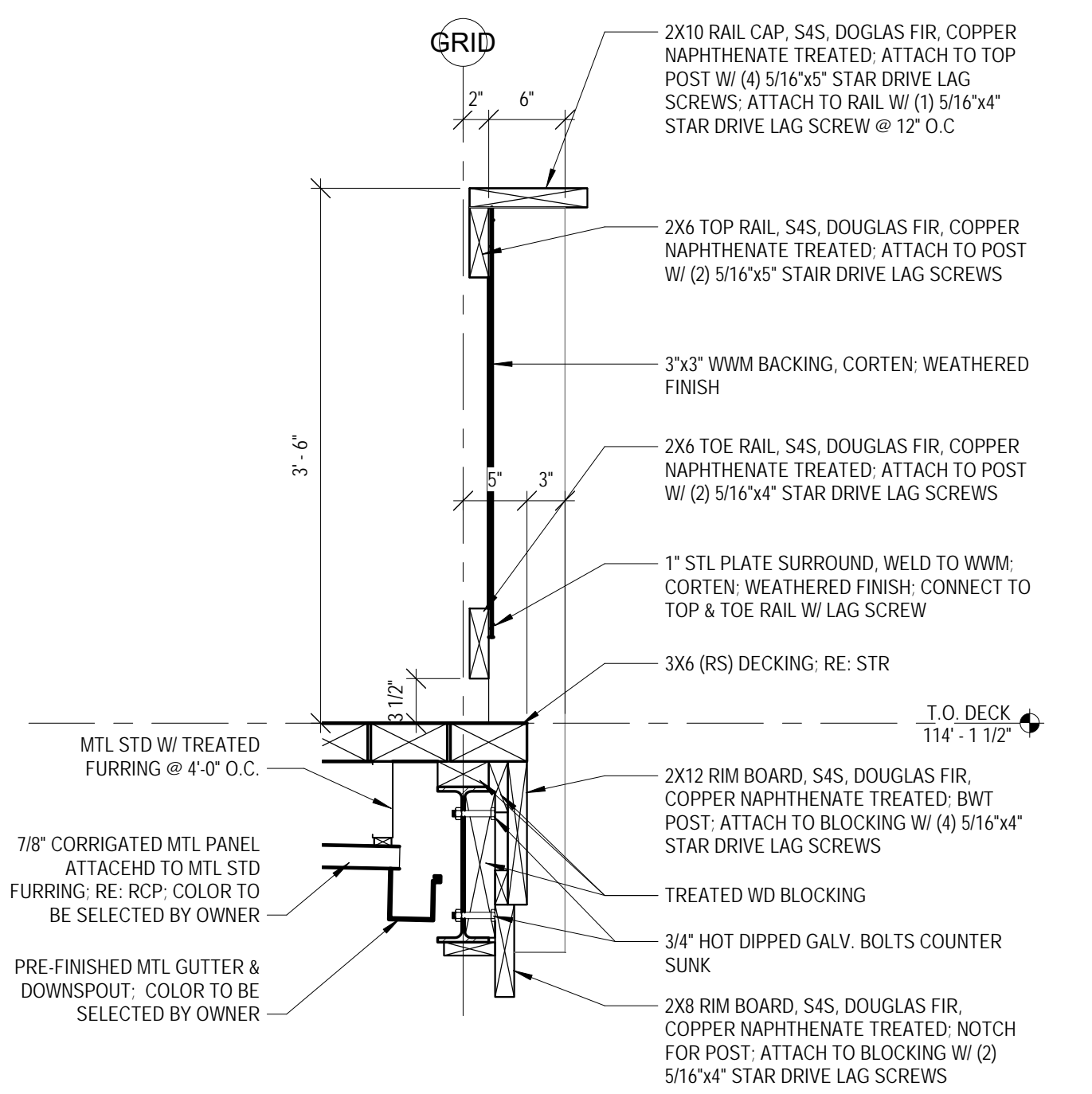
6 EAVE DETAIL 2  
A611 3" = 1'-0"



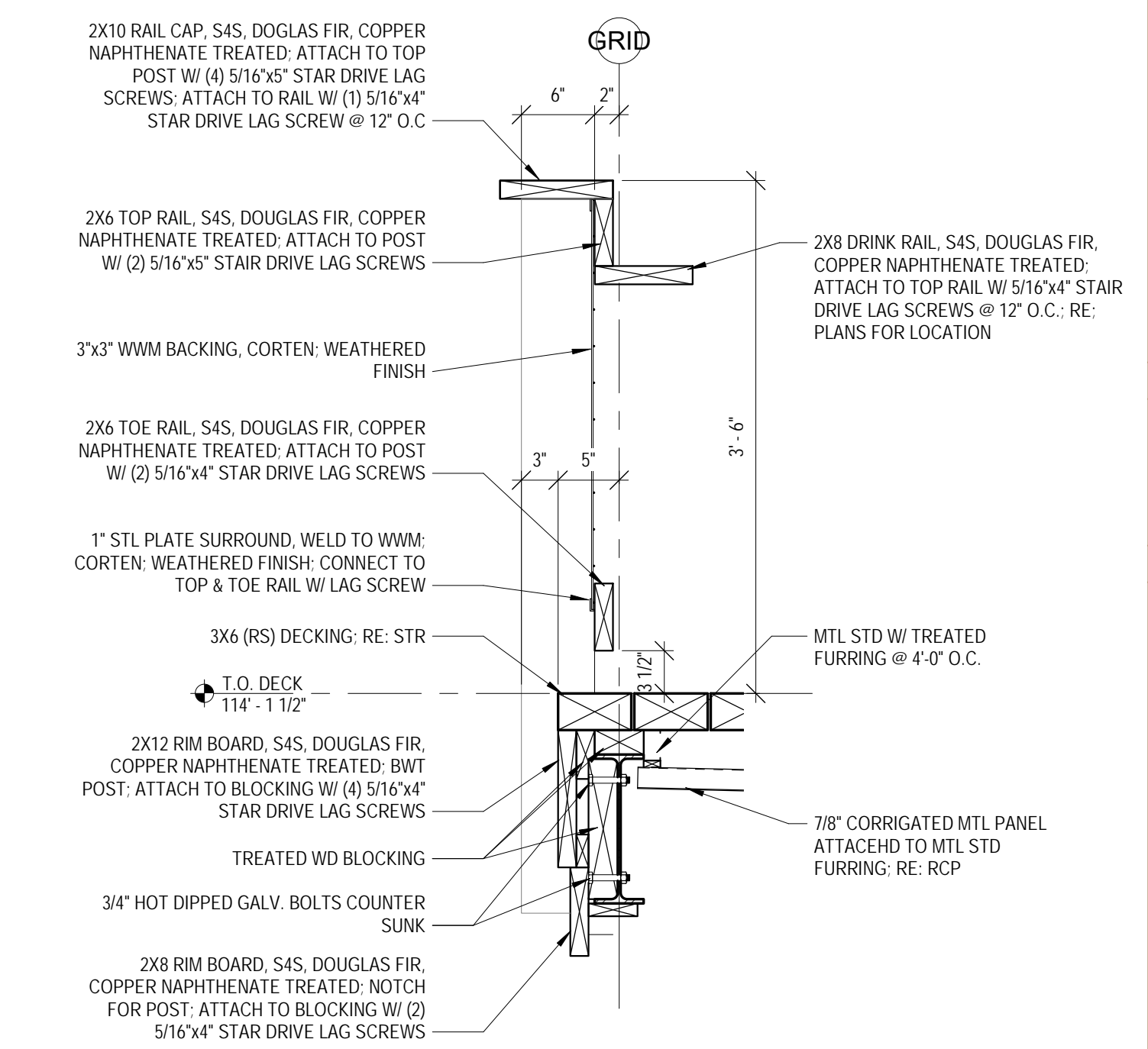
3 BAR TOP DETAIL 1  
A611 1" = 1'-0"



1 TYP. GUARDRAIL DETAIL @ POST  
A611 1" = 1'-0"



4 TYP. GUARDRAIL DETAIL 2  
A611 1" = 1'-0"



2 TYP. GUARDRAIL DETAIL 1  
A611 1" = 1'-0"

ELECTRICAL ABBREVIATIONS			
A OR AMP	AMPERE	MAX	MAXIMUM
AC	ALTERNATING CURRENT	MBJ	MAIN BONDING JUMPER
AC	6" ABOVE COUNTER HEIGHT or 4" ABOVE BACKSPLASH, WHICHEVER IS GREATER	MC	MECHANICAL CONTRACTOR DIV. 23
ADD	ADDENDUM	MCA	MINIMUM CIRCUIT AMPACITY
ADJ	ADJUSTABLE	MCB	MAIN CIRCUIT BREAKER
AFC	AVAILABLE FAULT CURRENT	MCC	MOTOR CONTROL CENTER
AFF	ABOVE FINISHED FLOOR	MDP	MAIN DISTRIBUTION PANEL
AFG	ABOVE FINISHED GRADE	MFR	MANUFACTURER
AFI	ARC FAULT INTERRUPTER	MH	METAL HALIDE
AHU	AIR HANDLING UNIT	MIC	MICROPHONE
AL	ALUMINUM	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ANN	ANNUNCIATOR	MLO	MAIN LUGS ONLY
APPROX	APPROXIMATELY	MMS	MANUAL MOTOR STARTER WITH OVERLOAD
AQUA	AQUASTAT	MOC	MAXIMUM OVERCURRENT PROTECTION
AR	AS REQUIRED	MON	MONITOR
ARCH	ARCHITECT	MRT	MOTOR RATED TOGGLE SWITCH
ATS	AUTOMATIC TRANSFER SWITCH	MSBD	MAIN SWITCHBOARD
AUC	AUX CONTACTS	MSC	MOTORIZED SPEED CONTROLLER
AUTO	AUTOMATIC	MTO	MOUNT(ED)
AUX	AUXILIARY	MTO	MOUNTING
AV	AUDIO VISUAL	MTR	MOTOR
AWG	AMERICAN WIRE GAUGE	N	NORMAL POWER BRANCH
BFG	BELOW FINISHED GRADE	N3R	NEMA 3R ENCLOSURE
C	CONDUIT	NEC	NATIONAL ELECTRICAL CODE
CAB	CABINET	NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
CATV	CABLE TELEVISION	NF	NOT FUSED
CB	CIRCUIT BREAKER	NFDS	NON-FUSED SAFETY DISC. SWITCH
CKT	CIRCUIT	NIC	NOT IN CONTRACT
CCTV	CLOSED CIRCUIT TV	NL	NIGHT LIGHT
CLG	CEILING	NO or #	NUMBER
CM	COMBINATION STARTER	NTS	NOT TO SCALE
CNTL	CONTROL	OC	ON CENTER
COMM	COMMUNICATION(S)	OD	OUTSIDE DIAMETER
COND	CONDUCTOR	OE	OWNER FURNISHED EQUIPMENT
CONN	CONNECT (-ION)	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CONT	CONTINUATION OR CONTINUOUS	OH	OVERHEAD
CONTR	CONTRACTOR	OHC	OVERHEAD COMMUNICATION
CPT	CONTROL POWER TRANSFORMER	OHP	OVERHEAD POWER
CT	CURRENT TRANSFORMER	OL	OVERLOADS
CTR	CENTER	P	POLE
CU	COPPER	PB	PULL BOX, PUSHBUTTON or POWER BASE
CUH	CABINET UNIT HEATER	PC	PHOTOELECTRIC CELL
D	DIMMER	PE	PNEUMATIC ELECTRIC
DC	DIRECT CURRENT	PF	POWER FACTOR
DIA	DIAMETER	PH	PHASE
DISC	DISCONNECT	PV	POST INDICATING VALVE
DIST	DISTRIBUTION	PNL	PANEL
DN	DOWN	PL	PILOT LIGHT
DPDT	DOUBLE POLE, DOUBLE THROW	P&C	CORD-N-PLUG
DS	DISCONNECT SWITCH	PLBG	PLUMBING
DWG	DRAWING	PRI	PRIMARY
E	EQUIP. BRANCH OF EMERGENCY PWR	PROJ	PROJECTION (OR)
EA	EACH	PVC	POLYVINYL CHLORIDE (CONDUIT)
EC	ELECTRICAL CONTRACTOR DIV. 16	PWR	POWER
EF	EXHAUST FAN	QUAN	QUANTITY
EH	ELECTRIC HEAT	REC	RECESSED
EHC	ELECTRIC HEATING COIL	RECEPT	RECEPTACLE
EL	ELEVATION	RECD	REQUIRED
ELEC	ELECTRIC (-AL)	RIP	REPLACE IN PLACE
ELEV	ELEVATOR	RLA	RUNNING LOAD AMPS
EMT	EMERGENCY	RM	ROOM
EMT	ELECTRICAL METALLIC TUBING	RMS	ROOT MEAN SQUARE
ENCL	ENCLOSURE	RMT	REMOTE
EP	ELECTRIC PNEUMATIC	RPM	REVOLUTIONS PER MINUTE
EPO	EMERGENCY POWER OFF	RTU	ROOF TOP UNIT
EQUIP	EQUIPMENT	SC	SELF CONTAINED
EW	ELECTRIC WATER COOLER	SEC	SECURITY
EX	EXISTING	SHT	SHIELD
EXH	EXHAUST	SIM	SIMILAR
EXP	EXPLOSION PROOF	SM	SURFACE MOUNT
F	FUSE	SP	SURGE PROTECTION
F@#	FUSED AT # AMPERES	SPEC	SPECIFICATIONS
FA	FIRE ALARM	SPKR	SPEAKER
FACP	FIRE ALARM ANNUNCIATOR	SPDT	SINGLE POLE DOUBLE THROW
FBCP	FIRE ALARM CONTROL PANEL	SPST	SINGLE POLE SINGLE THROW
FBO	FURNISHED BY OTHERS	MOTOR RATED	
FC	FOOT CANDLE	SQ	SQUARE
FCU	FAN COIL UNIT	SS	STAINLESS STEEL
FD	FIRE DAMPER	STD	STANDARD
FDS	FUSED DISCONNECT SWITCH	SUSP	SUSPENDED
FIN	FINISHED	SW	SWITCH
FL	FLOOR	SWBD	SWITCHBOARD
FLA	FULL LOAD AMPS	SYS	SYSTEM
FLUOR	FLUORESCENT	TC	TEMPERATURE CONTROL CONTRACTOR
FSD	FIRE/SMOKE DAMPER	TDO	TIME DELAY OFF
FT or *	FOOT or FEET	TEL(E)	TELEPHONE
GA	GAUGE	TEMP	TEMPERATURE
GAL	GALLON	TMB	TELEPHONE MOUNTING BOARD
GALV	GALVANIZED	T-STAT	THERMOSTAT
GC	GENERAL CONTRACTOR	TV	TELEVISION
GEN	GENERATOR	Typ	TYPICAL
GFI	GROUND FAULT INTERRUPTER	TR	TAMPER RESISTANT
GND	GROUND	UC	UNDER COUNTER
GYP	GYPSONUM BOARD	UE	UNDERGROUND ELECTRICAL
GRC	GALVANIZED RIGID CONDUIT	UG	UNDERGROUND
H	HEATING EQUIPMENT	UL	UNDERWRITERS LABORATORY
HD	HEAVY DUTY	UH	UNIT HEATER
HID	HIGH INTENSITY DISCHARGE	UNO	UNDERGROUND TEL AND/OR TV
HOA	HAND-OFF AUTO SWITCH	UNO	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	UNSW	UNSWITCHED
HP	HORSEPOWER	UP	UNDERGROUND PRIMARY
HPS	HIGH PRESSURE SODIUM	US	UNDERGROUND SECONDARY
HT	HEIGHT	UV	UNIT VENTILATOR OR ULTRAVIOLET
HTR	HEATER	V	VOLT
HZ	HERTZ	VC	VENTILATION CONTRACTOR
ID	INTEGRAL DISCONNECT	VENT	VENTILAT (-ING-OR-ION)
INCAND	INCANDESCENT	VERT	VERTICAL
IN or "	INCH	VFD	VARIABLE FREQUENCY DRIVE
INTEGRAL	INTEGRAL DEVICE TO EQUIPMENT	VOL	VERIFY
J(-BOX)	JUNCTION BOX	VOL	VOLUME
KEC	KITCHEN EQUIPMENT SUPPLIER	W	WAIT
KV	KILOVOLT	WAP	WIRELESS ACCESS POINT
KVA	KILOVOLT-AMPERE	W/	WITH
KW	KILOWATT	WG	WIREGUARD
KWH	KILOWATT HOUR	WH	WATER HEATER
LCL	LOCAL	W/O	WITHOUT
LS	LIFE SAFETY BRANCH/EMERG. POWER	WP	WEATHERPROOF
LT	LIGHT	WT	WEIGHT
LTG	LIGHTING	XFMR	TRANSFORMER
MAG	MAGNETIC STARTER W/OUT DISC.	ZS	POSITION SWITCH

ELECTRICAL SYMBOLS LEGEND		
<b>NOTES</b>		
1. THESE SYMBOLS COMPRISE A STANDARD LIST, NOT ALL SYMBOLS MAY APPEAR ON THESE DRAWINGS.		
2. MOUNTING HEIGHTS GIVEN ARE STANDARD, WHERE DIMENSIONAL NUMBER IS SHOWN AT DEVICE, THIS SHALL BE THE MOUNTING HEIGHT. MOUNTING HEIGHTS ARE TO CENTER OF OUTLET UNLESS NOTED OTHERWISE.		
* DISTANCE ABOVE TOP OF DOOR FRAME		
** DISTANCE TO TOP OF EQUIPMENT OR DEVICE		
*** DISTANCE TO HIGHEST OPERABLE PART OF EQUIPMENT		
**** DISTANCE BELOW CEILING		
***** DISTANCE TO BOTTOM OF DEVICE		
3. MOUNTING HEIGHTS INDICATED ARE FOR STUD WALL CONSTRUCTION, WHEN BLOCK OR BRICK CONSTRUCTION IS USED, ADJUST MOUNTING HEIGHTS TO ALIGN DEVICES OR DEVICE PLATES WITH RUNNING JOINT.		
<b>GENERAL</b>		
	INDICATES EXISTING ITEM TO BE REMOVED	MFG HT
	INDICATES EXISTING ITEM TO REMAIN	
	INDICATES NEW ITEM	
<b>LIGHTING SYSTEM</b>		
TYPICAL FIXTURE DESIGNATION		
	MISCELLANEOUS LIGHT FIXTURE	CLG
	SURFACE STRIP FIXTURE	CLG
	TRACK LIGHTING (QUANTITY OF HEADS AS SCHEDULED)	PLAN
	AISLE/STEP LIGHT FIXTURE	PLAN
	WALL MOUNTED FIXTURE DESIGNATION	PLAN
	POLE MOUNTED LIGHT FIXTURES (QUANTITY OF HEADS AS INDICATED)	PLAN
	LIGHT FIXTURE ON LIFE SAFETY BRANCH (TYPE DENOTED)	
	LIGHT FIXTURE ON CRITICAL BRANCH (TYPE DENOTED)	
	LIGHT FIXTURE ON EQUIPMENT BRANCH (TYPE DENOTED)	
	LIGHT FIXTURE WITH EMERGENCY BALLAST (TYPE DENOTED)	
	WALL WASH DIRECTION DESIGNATION	
	RECESSED FIXTURE DESIGNATION	CLG
	FLANGE KIT DESIGNATION	CLG
	WALL MOUNTED EXIT SIGN, ARROW INDICATES EGRESS DIRECTION(S), SHADING DENOTES FACE DIRECTION(S)	80"
	CEILING MOUNTED EXIT SIGN, ARROW INDICATES EGRESS DIRECTION(S), SHADING DENOTES FACE DIRECTION(S)	CLG
	EXIT/EMERGENCY COMBINATION FIXTURE	CLG
	BATTERY POWERED EMERGENCY LIGHTING UNIT	82"
	SINGLE POLE SWITCH	46"
	DOUBLE POLE SWITCH	46"
	THREE WAY SWITCH	46"
	FOUR WAY SWITCH	46"
	SWITCH, "I" INDICATES SWITCH DESIGNATION	46"
	SWITCH WITH ILLUMINATED TOGGLE	46"
	KEY SWITCH	46"
	TIMER SWITCH	46"
	DIMMER SWITCH	46"
	PHOTO CELL	
	TIME CLOCK	
	WALL MOUNTED OCCUPANCY SENSOR, "X" INDICATES TYPE	46"
	OCCUPANCY SENSOR POWER PACK (N J-BOX)	ABOVE CLG
	CEILING MOUNTED OCCUPANCY SENSOR (DIRECTIONAL)	ABOVE CLG
	UNITARY LIGHTING RELAY (3A)	ABOVE CLG
	ROOM LIGHTING RELAY (20A)	ABOVE CLG
	REMOTE BATTERY	ABOVE CLG
	LONG RANGE OCCUPANCY SENSOR	PLAN
<b>PANELBOARD IDENTIFICATION</b>		
VOLTAGE DESIGNATION CODE		
HIGH VOLTAGE 34kV, 277/480 H		
LOW VOLTAGE 34kV, 120/208 L		
SYSTEM DESIGNATION		
NORMAL N		
EMERGENCY LIFE SAFETY E		
UNINTERRUPTIBLE POWER SOURCE UPS		
PANEL NO. SYSTEM DESIGNATION VOLTAGE DESIGNATION		
<b>SIGNAL SYSTEMS</b>		
	BUZZER	MFG HT
	BELL, DOORBELL	80"
	TELEPHONE OUTLET	18"
	TELEPHONE OUTLET - WALL MOUNTED	46"
	DATA OUTLET/DATA OUTLET	18"
	IF MORE THAN (2)- # INDICATES QUANTITY OF CABLES AND JACKS	18"
	DATA OUTLET	18"
	TELEPHONE OUTLET/DATA OUTLET	18"
	IF MORE THAN (2)- # INDICATES QUANTITY OF DATA CABLES AND JACKS	18"
	WIRELESS ACCESS POINT	CLG UNO
	SPEAKER (WALL OR CEILING MOUNTED)	80"
	HORN TYPE SPEAKER (WALL OR CEILING MOUNTED)	80"
	SPEAKER VIA LAN, SPEAKER TO BE POWER-OVER-ETHERNET STYLE. SEE DETAILS.	CLG UNO
	SYSTEM CLOCK - DIAMETER IN INCHES	80"
	COMBINATION CLOCK/SPEAKER	80"
	AUXILIARY OUTLET	
	MICROPHONE OUTLET	18"
	SPEAKER VOLUME CONTROL	46"
	INTERCOM STATION	46"
	EXTRA LARGE 4 SQUARE BOX WITH HDMI CONNECTION	SEE PLAN
	TV ANTENNA OUTLET	VERIFY
	COMMUNICATION BACKBOARD	SPEC
	DATA RACK - FLOOR MOUNTED	
	CLOSED CIRCUIT TV CAMERA	VERIFY
	FLOOR OUTLET (DEVICES AS INDICATED)	VERIFY
<b>SECURITY SYSTEM</b>		
	PHONE/INTERCOM	MFG HT
	CARD READER	46"
	KEYPAD	46"
	KEY SWITCH	46"
	REQUEST TO EXIT	ABOVE CLG
	EXIT PUSHBUTTON	46"
	ELECTRIC STRIKE	
	MAGNETIC LOCK	
	ELECTRIC LOCK	
	POWER TRANSFER HINGE	
	DOOR CONTACT	
	OVERHEAD DOOR CONTACT	
	MONITOR STRIKE	
	MOTION DETECTOR	
	GLASS BREAK DETECTOR	
	PANIC BUTTON	46"
	SECURITY LOCKDOWN NOTIFICATION APPLIANCE	84"
	A-AUDIO AS INDICATED	
<b>POWER SYSTEMS</b>		
	BRANCH CIRCUIT PANEL	MFG HT
	POWER DISTRIBUTION PANEL OR SWITCHBOARD	TOP AT 72"
	EQUIPMENT CABINET	SPEC
	METER	60"
	C/T CABINET - 36"Wx12"Dx28"H	60"
	GENERATOR ANNUNCIATOR (RECESS MOUNTED, SEE SPEC)	SPEC
	TRANSFORMER	
	AUTOMATIC TRANSFER SWITCH	TOP AT 72"
	MOTOR	
	INDICATES EQUIPMENT SCHEDULE IDENTIFICATION NUMBER (SEE EQUIPMENT SCHEDULE)	
	VARIABLE FREQUENCY DRIVE	TOP AT 72"
	CONTROLLER OR STARTER	
	COMBINATION STARTER & DISCONNECT	
	DISCONNECT OR SAFETY SWITCH	
	MOTOR RATED TOGGLE SWITCH	46"
	MANUAL MOTOR STARTER, WITH OVERLOAD PROTECTION	46"
	CONTROL STATION/PUSHBUTTON	46"
	RELAY	
	CONTACTOR	TOP AT 72"
	ADA PUSH PLATE	42"
	LINE VOLTAGE ELECTRIC THERMOSTAT	46"
	SINGLE RECEPTACLE	18"
	DUPLEX RECEPTACLE - XXX, PER ABBREVIATIONS	18"
	CEILING MOUNTED RECEPTACLE	CLG
	DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT	18"
	SPLIT WIRED DUPLEX RECEPTACLE	18"
	DUPLEX RECEPTACLE WITH (2) USB CHARGING PORTS	18"
	RECEPTACLE WITH INTEGRAL SURGE SUPPRESSION	18"
	RECEPTACLE - TAMPER RESISTANT	18"
	DOUBLE DUPLEX RECEPTACLE	18"
	DOUBLE DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT	18"
	SPECIAL PURPOSE OUTLET	18"
	SPECIAL PURPOSE DIRECT CONNECTION	
	FLOOR OUTLET (DEVICES AS INDICATED)	
	POWER POLE	
<b>FIRE ALARM SYSTEM</b>		
	MANUAL STATION	MFG HT
	HEAT DETECTOR - FIXED TEMPERATURE	VERIFY
	HEAT DETECTOR - RATE OF RISE	VERIFY
	RELAY	VERIFY
	HEAT DETECTOR - 135° INDICATES TEMP RATING	VERIFY
	SMOKE DETECTOR - IONIZATION	VERIFY
	SMOKE DETECTOR - PHOTOELECTRIC	VERIFY
	SMOKE DETECTOR WITH SOUNDER BASE	VERIFY
	MULTI-STATION ALARM - PHOTOELECTRIC	
	SINGLE STATION ALARM - PHOTOELECTRIC	
	DUCT MOUNTED SMOKE DETECTOR	
	STATION - REMOTE RESET/TEST STATION FOR DUCT DETECTOR	46"
	REMOTE INDICATOR LAMP	VERIFY
	BEAM DETECTOR TRANSMITTER	
	BEAM DETECTOR RECEIVER	
	FLOW SWITCH MONITOR MODULE	
	TAMPER SWITCH MONITOR MODULE	
	MONITOR MODULE	
	PRESSURE INDICATOR VALVE	
	PRESSURE SWITCH MONITOR MODULE	
	CONTROL MODULE	
	FIRE/SMOKE DAMPER	
	MAGNETIC DOOR HOLDER	VERIFY
	FIREMAN'S STATION	46"
	STROBE - 110 INDICATES CANDELA IN SLEEPING AREAS, TOP OF LENS NOT LESS THAN 24" BELOW CEILING	80"
	FIRE ALARM HORN	80"
	TOP OF DEVICE NOT LESS THAN 90" AFF AND NOT LESS THAN 6" BELOW FINISHED CEILING, IN SLEEPING AREAS, TOP OF LENS NOT LESS THAN 24" BELOW CEILING	80"
	FIRE ALARM HORN AND STROBE - 110 INDICATES CANDELA IN SLEEPING AREAS, TOP OF LENS NOT LESS THAN 24" BELOW CEILING	80"
	FIRE ALARM CHIME AND STROBE - 110 INDICATES CANDELA IN SLEEPING AREAS, TOP OF LENS NOT LESS THAN 24" BELOW CEILING	80"
	FIRE ALARM SPEAKER AND STROBE - 110 INDICATES CANDELA, TOP OF LENS NOT LESS THAN 24" BELOW CEILING	80"
	FIRE ALARM CONTROL PANEL	SPEC
	ANNUNCIATOR (RECESS MOUNTED, SEE SPEC)	SPEC
<b>RACEWAY SYSTEM</b>		
	CONDUIT CONCEALED IN CEILING OR WALLS	MFG HT
	CONDUIT CONCEALED IN FLOOR OR BELOW	
	EXPOSED CONDUIT	
	LIFE SAFETY BRANCH CIRCUIT	
	CRITICAL BRANCH CIRCUIT - PATIENT OR MECHANICAL	
	EQUIPMENT BRANCH CIRCUIT	
	LOW-VOLTAGE CIRCUIT	

## ELECTRICAL SPECIFICATION

**SCOPE**

FURNISH AND INSTALL COMPLETELY WIRED AND OPERATIONAL ELECTRICAL LIGHTING AND POWER SYSTEMS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN. DATA, COMMUNICATIONS, AND SECURITY AS SPECIFIED.

**CODES, REGULATIONS, AND STANDARDS**

THE INSTALLATION SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, WITH THE REGULATIONS OF THE NATIONAL ELECTRIC CODE AND WITH THE REQUIREMENTS OF THE POWER AND TELEPHONE COMPANIES FURNISHING SERVICES TO THIS INSTALLATION.

THE FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS AND CODES ARE MINIMUM REQUIREMENTS USING THE LATEST EDITION OR THAT EDITION WHICH HAS BEEN ADOPTED BY THE AHJ:

1. THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION STANDARDS.
2. THE NATIONAL ELECTRICAL CODE & STATE WIRING RULES.
3. UNDERWRITER LABORATORIES INCORPORATED STANDARDS.
4. AMERICAN STANDARDS ASSOCIATION.
5. INTERNATIONAL BUILDING CODE, INTERNATIONAL FIRE CODE.
6. NATIONAL FIRE PROTECTION (NFPA 72)
7. LOCAL CITY & COUNTY REQUIREMENTS.

**STORAGE AND HANDLING OF MATERIAL**

DELIVER MATERIALS AND EQUIPMENT TO THE PROJECT IN THE MANUFACTURER'S ORIGINAL, UNOPENED, LABELED CONTAINERS. PROTECT AGAINST MOISTURE, TAMPERING, OR DAMAGE FROM IMPROPER HANDLING OR STORAGE. CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR ANY DAMAGE TO WORK OR MATERIALS UNTIL FINAL ACCEPTANCE BY THE OWNER AND SHALL MAKE GOOD WITHOUT COST TO THE OWNER ANY DAMAGE OR LOSS THAT MAY OCCUR DURING THIS PERIOD.

ARRANGE FOR TIMELY DELIVERY OF MATERIALS AND EQUIPMENT TO THE JOB SITE IN ORDER TO MINIMIZE THE LENGTH OF TIME BETWEEN DELIVERY AND INSTALLATION.

COVER AND PROTECT ANY MATERIAL WHICH MAY BE AFFECTED BY THE WEATHER WHILE IN TRANSIT OR STORED AT THE PROJECT SITE. ANY MATERIAL FOUND DEFECTIVE OR NOT INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS MAY BE REJECTED BY THE ENGINEER.

**EQUIPMENT IDENTIFICATION AND CLEAN-UP**

ALL ELECTRICAL EQUIPMENT SHALL BE PROVIDED WITH IDENTIFICATION LABELS INDICATING ITS USE OR FUNCTION. EQUIPMENT TO BE IDENTIFIED SHALL INCLUDE PANELBOARDS, SPECIAL SYSTEMS PANELS, MOTOR STARTERS, CONTROL SWITCHES, DISCONNECTS, JUNCTION BOXES AND EMPTY CONDUITS FOR FUTURE USE. ALL PANELS SHALL HAVE TYPED CIRCUIT DIRECTORIES. ALL ELECTRICAL EQUIPMENT MUST BE KEPT COMPLETELY PROTECTED FROM WEATHER, PAINTING, ETC. DAMAGE FROM RUST, PAINT, SCRATCHES, ETC. SHALL BE CORRECTED.

KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS, OR RUBBISH CAUSED BY THE EMPLOYEES OR WORK UNDER THIS DIVISION OF THE SPECIFICATIONS. AT THE COMPLETION OF THE WORK, REMOVE ALL SURPLUS MATERIALS, TOOLS, ETC.

**DRAWINGS**

THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT AND LOCATIONS OF THE ELECTRICAL WORK. INFORMATION PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS PLANNING CAN DETERMINE, BUT FIELD VERIFICATION OF ALL DIMENSIONS, LOCATIONS, LEVELS, ETC., TO SUIT FIELD CONDITIONS IS REQUIRED. REVIEW ALL ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS AND ADJUST ALL WORK TO MEET THE REQUIREMENTS OF CONDITIONS SHOWN. THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. DISCREPANCIES BETWEEN DIFFERENT PLANS, OR BETWEEN DRAWINGS AND SPECIFICATION, OR REGULATIONS AND CODES GOVERNING THE INSTALLATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD MEASURE AND CONFIRM MOUNTING HEIGHTS AND LOCATIONS OF ELECTRICAL EQUIPMENT WITH RESPECT TO COUNTERS, RADIATION HEATING, ETC. DO NOT SCALE DISTANCES OFF THE ELECTRICAL DRAWINGS, USE ACTUAL BUILDING DIMENSIONS.

**CUTTING AND FITTING**

PERFORM THE CUTTING, FITTING, REPAIRING AND FINISHING OF THE WORK NECESSARY FOR THE INSTALLATION OF THE EQUIPMENT OF THIS SECTION. HOWEVER, NO CUTTING OF THE WORK OF OTHER TRADES OR OF ANY STRUCTURAL MEMBER SHALL BE DONE WITHOUT THE CONSENT OF THE ARCHITECT.

**COOPERATION WITH OTHER CONTRACTORS**

COOPERATE WITH THE OTHER TRADES SO THAT THE INSTALLATION OF THE ELECTRICAL OUTLETS AND EQUIPMENT WILL BE PROPERLY COORDINATED. CONDUIT, FIXTURES, AND OTHER EQUIPMENT LOCATIONS SHALL BE CHECKED WITH THE OTHER TRADES TO AVOID CONFLICT WITH THE PIPING, DUCTWORK, STEEL, PIPING, BEAMS OR OTHER OBSTRUCTIONS. E.C. WILL YIELD TO OTHER TRADES WHENEVER POSSIBLE.

CAREFULLY CHECK THE LOCATIONS OF THE OUTLET BOXES AND DETERMINE THAT THEY HAVE NOT BEEN DISTURBED DURING THE INSTALLATION OF MATERIALS OF OTHER TRADES.

**EXCAVATION AND BACKFILL**

PERFORM ALL EXCAVATION AND BACKFILLING REQUIRED FOR WORK PERFORMED UNDER THIS DIVISION OF THE SPECIFICATIONS. TRENCH BOTTOMS SHALL BE GRADED TRUE AND FREE FROM STONES OR SOFT SPOTS. USE EXCAVATED MATERIALS FOR BACKFILL UNLESS OFF-SITE MATERIALS ARE DEEMED NECESSARY BY THE ARCHITECT, ENGINEER OR THE UTILITY COMPANY. TRENCHING AND BACKFILLING FOR ELECTRICAL AND WORK SHALL BE PROVIDED BY THIS CONTRACTOR. THE EC SHALL PERFORM OR COORDINATE SURFACE REPAIR WITH THE GENERAL CONTRACTOR.

**WORKMANSHIP**

THE INSTALLATION WORK INCLUDED IN THIS SPECIFICATION SHALL BE PERFORMED IN A NEAT WORKMANLIKE MANNER BY PERSONS EXPERIENCED AND SKILLED IN THE ELECTRICAL TRADE. ONLY THE BEST QUALITY WORKMANSHIP WILL BE ACCEPTED. ALL EXPOSED PARTS OF THE ELECTRICAL WIRING SYSTEMS SUCH AS EXPOSED CONDUITS, FLUSH PLATES, CABINET TRIM, FIXTURES, ETC. SHALL BE INSTALLED SQUARE AND TRUE WITH THE BUILDING CONSTRUCTION.

**MATERIALS**

ALL MATERIALS SHALL BE NEW AND OF QUALITY AS SPECIFIED ON THE PLANS OR SPECIFICATIONS AND MUST CARRY THE UNDERWRITER'S LABORATORIES APPROVAL COVERING THE PURPOSE FOR WHICH THEY ARE USED, IN ADDITION TO MEETING ALL REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND REGULATIONS.

**CONDUIT**

ALL ELECTRICAL WIRING SHALL BE INSTALLED IN RACEWAY. RACEWAY SHALL BE UL LISTED AND MAY CONSIST OF RIGID GALVANIZED STEEL (RGS), ELECTRICAL METALLIC TUBING (EMT), FLEXIBLE METAL CONDUIT (FMC), METAL CLAD CABLING (MC), POLYVINYL CHLORIDE (PVC), HIGH DENSITY POLYETHYLENE (HDPE) CABLE IN CONDUIT (CIC) TYPE, OR SURFACE METAL RACEWAY (SMR).

APPLICATIONS – UNLESS NOTED OTHERWISE ON PLANS OR AS REQUIRED BY THE NEC:

- RGS – MAY BE USED IN ALL AREAS.
- EMT – MAY NOT BE USED.
- FMC – SHALL BE USED FOR FINAL CONNECTIONS TO MECHANICAL EQUIPMENT NOT TO EXCEED 36" (LIQUIDTIGHT FOR OUTDOOR CONNECTIONS).
- FMC – MAY NOT BE USED.
- PVC – UNDERGROUND INSTALLATIONS SHALL UTILIZE SCHEDULE 40 PVC CONDUIT.
- MC – MAY NOT BE USED.

WHERE THE CONDUIT ENTERS OUTLET BOXES, OR FIXTURES, FIRMLY FASTEN TO THE ENCLOSURE WITH LOCKNUTS OR OTHER APPROVED CONNECTOR. BUSHINGS MUST BE INSTALLED OR PART OF THE APPROVED CONNECTOR AND STRAP OR OTHERWISE SUPPORT CONDUIT AS REQUIRED. ALL EMPTY CONDUIT SYSTEMS SHALL HAVE 200 LB. TEST PULL CORD WITH OPPOSITE-END MARKINGS TO FACILITATE INSTALLATION OF FUTURE WIRE.

WHERE PVC IS INSTALLED, ALL FITTINGS SHALL BE UL APPROVED AND WITH CEMENTED JOINTS. UNDERGROUND HDPE SHALL BE A CONTINUOUS RUN.

WHERE METALLIC CONDUIT WILL COME IN CONTACT WITH EARTH, COVER WITH POLYETHYLENE TAPE SPIRAL WRAPPED AND OVERLAPPED TO PROVIDE A DOUBLE THICKNESS. TAPE SHALL BE SCOTCH NO. 50 TAPE OR EQUAL. CONDUITS SHALL BE RUN MINIMUM OF 24" BFG.

MINIMUM METALLIC CONDUIT SIZE FOR HOMERUNS SHALL BE 3/4".

MINIMUM CONDUIT SIZE FOR UNDERGROUND PVC RUNS SHALL BE 1", U.N.O.

**OUTLET, PULL AND JUNCTION BOXES**

INSIDE THE CROW'S NEST EACH SWITCH:  
LIGHT, RECEPTACLE OR OTHER OUTLET SHALL BE PROVIDED WITH A CODE GAUGE, GALVANIZED STEEL OUTLET BOX. JUNCTION BOXES SHALL BE CODE GAUGE, GALVANIZED STEEL. OUTLET BOXES SHALL BE OF THE ONE PIECE, KNOCKOUT TYPE, IN GENERAL 4" SQUARE WITH PLASTER RING. PLASTER RINGS SHALL BE SET TO PROVIDE NOT MORE THAN 1/8" FROM WALL SURFACE TO RING. IN NO CASE SHALL PLASTER RING PROJECT BEYOND SURFACE OF WALL. ALL OUTLET BOXES SHALL BE FLUSH EXCEPT WHERE SHOWN OR NOTED OTHERWISE. ALL OUTLET BOXES SHALL BE PROTECTED FROM ENTRANCE OF FOREIGN MATERIALS DURING THE CONSTRUCTION PERIOD.

**OUTDOORS:**

EACH JUNCTION BOX OUTSIDE SHALL BE A FS OR SIMILAR SURFACE PVC OR METALLIC ENCLOSURE WITH GASKETED SEALS. UNDER CANOPY DECK BOXES MAY BE NEMA 3R OR NEMA 4 STEEL GASKETED TO PREVENT PREVENT WATER ENTRY FROM ABOVE.

**CONDUCTORS**

UNLESS OTHERWISE SPECIFIED, ALL WIRE SHALL BE TYPE THWN/THHN AS APPROPRIATE FOR THE APPLICATION. ALL WIRING SHALL BE COPPER UNLESS NOTED OTHERWISE. THE WIRES SHALL BE MARKED WITH COLOR TO SIMPLIFY CIRCUIT IDENTIFICATION. UNLESS OTHERWISE REQUIRED BY LOCAL ORDINANCES, GROUND WIRES SHALL BE GREEN, NEUTRAL SHALL BE WHITE OR GRAY AND HOT SHALL BE BLACK (PHASE A), RED (PHASE B), OR BLUE (PHASE C). NEUTRAL CONDUCTOR SHALL BE WHITE, COLOR CODED TO THE CORRESPONDING HOT CONDUCTOR, AT EVERY JUNCTION, PULL, OR TERMINATION. THE WIRE SHALL BE A MINIMUM OF #12 AWG UNLESS OTHERWISE INDICATED. WIRES SHALL BE SIZED AT THE LARGER OF THE NEC REQUIREMENT OR THAT SPECIFIED BY PLAN. EACH BRANCH CIRCUIT SHALL HAVE A SEPARATE NEUTRAL UNLESS EXPLICITLY SPECIFIED ON PLAN AND FED BY A MULTI-POLE CIRCUIT BREAKER WITH A HANDLE-TIE. ALL CONDUITS TO HAVE A SEPARATE GROUNDING CONDUCTOR.

NO WIRE SHALL BE INSTALLED IN THE CONDUIT SYSTEM UNTIL THE CONDUIT SYSTEM IS COMPLETE.

IN GENERAL, NUMBER OF CONDUCTORS INDICATED ON THE DRAWINGS DOES NOT INCLUDE THE GROUND CONDUCTOR UNLESS SPECIFICALLY NOTED. WHERE GROUND CONDUCTORS ARE SPECIFIED OR REQUIRED, CONDUIT SIZES SHALL BE INCREASED AS NECESSARY TO MEET NEC CONDUIT FILL REQUIREMENTS.

**WIRING DEVICES**

SWITCHES- MANUAL ON/OFF WALL SWITCHES SHALL BE COMMERCIAL GRADE AC SILENT TYPE SWITCHES 20A, 120V, COLOR TO MATCH EXISTING.

DIMMABLE SWITCHES TO BE MATCHED TO SELECTED LAMPING SYSTEM SOURCES. SEE PLANS.

GFCI RECEPTACLES: SHALL BE SPECIFICATION GRADE, DUPLEX TYPE, NEMA 5-20R, 20 AMPERE, 120 VOLT, GROUNDING TYPE, BLACK IN COLOR. SPECIAL APPLICATION RECEPTACLES SHALL BE AS INDICATED ON PLANS.

WEATHERPROOF RECEPTACLES (WP) W/IN-USE COVERS: SHALL BE VERTICAL MOUNT LEVITON 5976-DCY, INTERMATIC WP-1000RC OR EQUAL WITH A WEATHER-RESISTANT GFI RECEPTACLE. WHERE SUBJECT TO DAMAGE, A METALLIC BOX SHALL BE USED.

**LIGHTING FIXTURES**

THE EC SHALL RECEIVE, INSTALL, AND CONNECT LIGHT FIXTURES FURNISHED BY OWNER AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL ALSO COMMISSION THE LIGHT FIXTURES.

VERIFY CONSTRUCTION AND FIXTURE VOLTAGE BEFORE ORDERING OR INSTALLING FIXTURES.

**SAFETY SWITCHES**

SAFETY SWITCHES, UNLESS OTHERWISE INDICATED ON THE DRAWINGS, SHALL BE HEAVY DUTY TYPE, 250 VOLT, QUICK-MAKE, QUICK-BREAK, HORSEPOWER RATED, NEMA-1 ENCLOSURE OF THE NUMBER OF POLES REQUIRED. THE SWITCH SIZE SHALL BE AS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS. WHERE OUTSIDE THE BUILDING, THE SWITCHES SHALL BE RAIN-TIGHT TYPE NEMA 3R ALL SWITCHES SHALL BE LOCKABLE.

**FUSES**

MOTORS SHALL BE PROTECTED BY DUAL-ELEMENT FUSES ABLE TO CARRY 500% OF RATING FOR A MINIMUM OF 10 SECONDS, UNLESS NOTED OTHERWISE. MOTOR FUSING SHALL BE SIZED AT 125% OF NAME PLATE RATINGS. FUSES SHALL BE OF THE TYPE, SIZE, AND RATING AS SCHEDULED ON THE DRAWINGS. ALL FUSES SHALL BE BUSSMAN-FUSETRON, FRN (250V), OR EQUAL. VERIFY FUSE AND SWITCH REQUIREMENTS WITH THE EQUIPMENT SUPPLIER.

**PANELBOARDS**

CIRCUIT BREAKER TYPE PANELBOARDS SHALL HAVE COPPER BUSS AND BE GENERAL ELECTRIC NLTO, SQUARE D TYPE NOO, OR APPROVED EQUAL CUTLER HAMMER/EATON OR SIEMENS EQUIPMENT WITH VOLTAGE, SIZES AND RATINGS AS INDICATED ON DRAWINGS. PANELBOARDS SHALL BE RATED 120/208V, 3 PHASE, AND BE DEAD FRONT CONSTRUCTION, NO KNOCKOUTS WITH KEY LOCKED DOORS. MAIN BREAKERS/BUSS SHALL BE RATED A MINIMUM OF 1.2X THE AVAILABLE FAULT CURRENT OR AS INDICATED ON THE PANEL SCHEDULES/OR RISER DRAWINGS.

THE CIRCUIT BREAKERS SHALL BE OPERABLE IN ANY POSITION AND BE REMOVABLE FROM THE FRONT OF THE PANELBOARD WITHOUT DISTURBING THE ADJACENT UNITS. BRANCH BREAKERS SHALL BE OF SUCH DESIGN THAT COMBINATION OF SINGLE-POLE, DOUBLE-POLE AND THREE-POLE BREAKERS CAN BE ASSEMBLED ON THE SAME PANEL. EACH BRANCH CIRCUIT SHALL BE CLEARLY NUMBERED AND PLACED PER THE PANEL SCHEDULES. BRANCH AND MAIN TERMINALS SHALL BE OF THE SOLDERLESS TYPE. HANDLE TIES TO FORM MULTI-POLE BREAKERS ARE NOT ACCEPTABLE UNLESS UL APPROVED FOR THE ASSOCIATED BREAKERS. CIRCUIT BREAKERS SHALL BE THE BOLT ON TYPE WITH MIN. 12,000 AIC RATING AND MAY BE SERIES RATED PER MANUFACTURER.

PROVIDE A TYPEWRITTEN CIRCUIT INDEX BEHIND CLEAR PLASTIC COVER ON INSIDE OF DOOR. INFORMATION SHALL INCLUDE ROOM AND TYPE OF LOAD SERVED. ALL CIRCUIT BREAKERS SHALL BE IDENTIFIED, INCLUDING SPARES. INDEX CARD FRAME SHALL BE METAL, SECURED TO DOOR. BREAKERS SHALL BE INSTALLED IN THE POSITION INDICATED ON SCHEDULES.

PANELS LOCATED OUTDOORS SHALL BE SURFACE-MOUNTED WITHIN A NEMA 3R ENCLOSURE WITH ALL PENETRATIONS LOCATED ON THE BOTTOM OF THE PANEL.

**MOTOR WIRING**

ALL MOTORS SHALL BE WIRED TO CONFORM WITH MANUFACTURERS' RECOMMENDATIONS AND WITH APPLICABLE CODES. FURNISH NECESSARY MATERIALS, SUCH AS WIRE, CONDUIT, FITTINGS, ETC. REQUIRED BY THE SUPPLIER OF THE DRIVEN EQUIPMENT. VERIFY EQUIPMENT LOCATION AND SIZES WITH THE TRADE SUPPLYING THE MOTOR BEFORE INSTALLING THE CONDUIT OR OUTLETS.

**TELEPHONE/DATA/TV RACEWAY SYSTEM**

TELEPHONE/DATA/TV OUTLETS LOCATED OUTDOORS SHALL CONSIST OF A STANDARD NEMA 3R, 6"x6" BOXES MOUNTED 18" ABOVE THE GROUND. INSTALL A 3/4" PVC/GRC CONDUIT SHALL BE RATED FROM THE EQUIPMENT/OUTLET TO THE CROW'S NEST.

ALL WIRING SHALL BE CONCEALED WITHIN RACEWAYS OR BUILDING CONSTRUCTION, FISHED AS REQUIRED.

**TELEPHONE/DATA WIRING/CONNECTIVITY**

PROVIDE 1,2,3 OR 4 COMM-JACKS AND WIRING FROM OUTLET TO THE CROW'S NEST. EACH DATA/TELEPHONE CABLE/COMPONENT SHALL BE CATEGORY 5, CERTIFIABLE TO 350 MHZ OSP RATED AND RATED FOR DIRECT BURIAL. ALL WIRING SHALL BE CONCEALED WITHIN RACEWAYS OR BUILDING CONSTRUCTION, FISHED AS REQUIRED.

**GUARANTEE**

GUARANTEE ALL MATERIAL FURNISHED AND ALL WORKMANSHIP PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIAL FURNISHED AS A PART OF THIS SECTION OR WORKMANSHIP PERFORMED HERE UNDER, SHALL BE REPLACED, REPAIRED OR ALTERED AT NO EXPENSE TO THE OWNER.

**SHOP DRAWINGS AND APPROVALS**

THE ITEMS SPECIFIED HEREIN AND ON DRAWINGS ARE USED AS A STANDARD OF QUALITY. ANY MATERIALS OF EQUAL QUALITY AND AESTHETIC VALUE WILL BE GIVEN CONSIDERATION AS A SUBSTITUTE FOR THE MATERIALS SPECIFIED. SUBMITTALS FOR PRIOR APPROVAL WILL BE ACCEPTED NO LESS THAN 3 DAYS. THE DECISION OF THE ARCHITECT AND/OR ENGINEER, DETERMINING EQUAL MATERIALS, WILL BE FINAL.

THE CONTRACTOR SHALL SUBMIT TWO (2) IDENTICAL BOUND SETS OF SHOP DRAWINGS. SHOP DRAWING SUBMITTALS SHALL INCLUDE MANUFACTURER'S NAME AND ADDRESS, EQUIPMENT OR MATERIAL DESCRIPTIVE NAMES AND CATALOG NUMBER. SHOP DRAWINGS SHALL INDICATE DIMENSIONS, VOLTAGE, AND CURRENT CHARACTERISTICS, WIRE SIZES, TEST AND CONFORMANCE DATA, CONSTRUCTION AND ROUGH-IN DATA OF ALL MATERIALS TO BE USED. SHOP DRAWINGS SHALL BE PROVIDED FOR, BUT NOT LIMITED TO, THE FOLLOWING LIST OF EQUIPMENT:

- a. WIRING DEVICES
- b. PANELBOARDS
- c. LIGHT FIXTURES

**OPERATING AND MAINTENANCE MANUALS**

AT COMPLETION OF THIS PROJECT, SUBMIT (2) SETS ELECTRICAL EQUIPMENT OPERATING AND MAINTENANCE MANUALS, INCLUDING PARTS LISTS, BOUND IN HARD COVERED MANUALS. MANUALS SHALL BE LABELED WITH LOCAL SUPPLIER'S CONTACT INFORMATION. INFORMATION NOT DEFINITELY APPLYING TO THESE PARTICULAR PIECES OF EQUIPMENT SHALL BE CROSSED OUT.

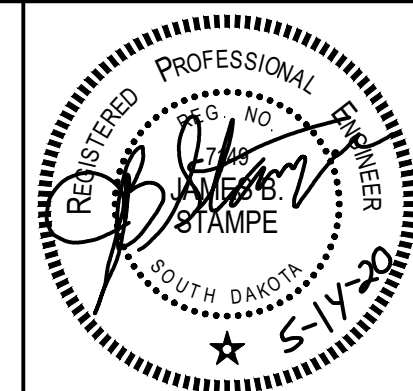
**PROJECT RECORD DRAWINGS**

CONTRACTOR SHALL MAINTAIN A SET OF RECORD AS-BUILT DRAWINGS AT THE JOB SITE, RECORDING ANY CHANGES OR DEVIATIONS FROM THE CONTRACT DRAWINGS AS WORK PROGRESSES AND AVAILABLE FOR INSPECTION BY THE ENGINEER, ARCHITECT OR OWNER AT ANY TIME. UPON COMPLETION OF WORK, UP-TO-DATE AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER.

**CONSTRUCTION TESTING**

UPON COMPLETION, SUBJECT WORK TO SUCH TESTS AS ARE REQUIRED UNDER INDUSTRY STANDARDS AND/OR SPECIFIED HEREIN. PERFORM TESTS TO DEMONSTRATE PROPER FUNCTIONING OF ALL EQUIPMENT AND DEVICES. TESTS SHALL BE RECORDED AND THE REPORTS SUBMITTED TO THE ENGINEER, INCLUDING:

1. APPROVED FINAL INSPECTION REPORTS FROM BUILDING OFFICIALS.



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9006

Albertson Engineering Inc.

CONSULTANT



PROJECT IDEN:

DAYS OF '76 CROW'S  
NEST ADDITION



DEADWOOD, SOUTH DAKOTA

**ISSUE BLOCK:**

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

MANAGEMENT:

PROJECT NO: 1810

DRAWN BY: SMD

CHECKED BY: JBS

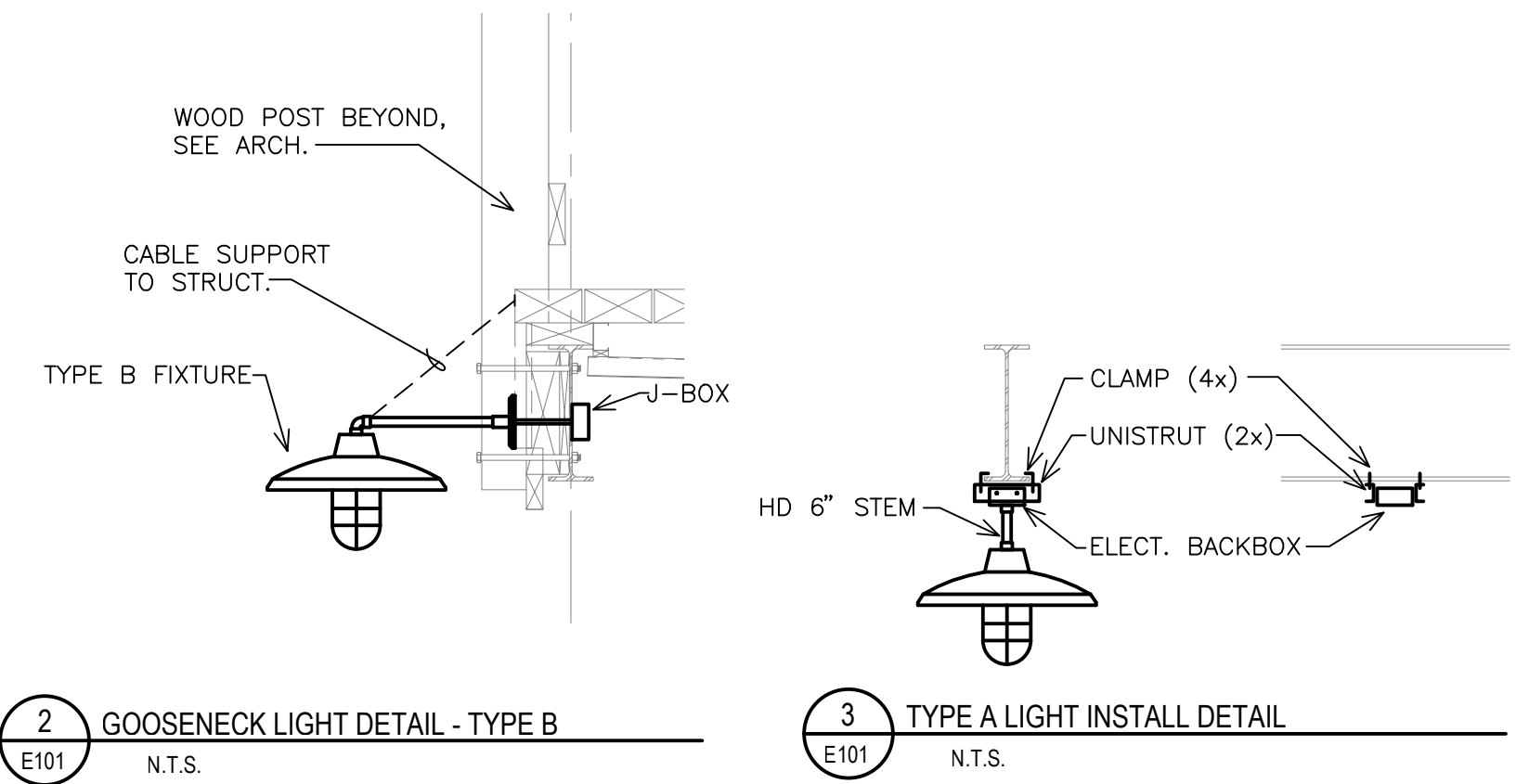
SHEET TITLE:

ELECTRICAL  
SPECIFICATIONS

SHEET IDENTIFICATION:

E001

26 OF 32



**GENERAL NOTES**  
(THIS SHEET ONLY)

- A. COORDINATE LOCATIONS OF LIGHT FIXTURES WITH ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS.
- B. CONTRACTOR TO COORDINATE INSTALLATION WITH EXISTING CONDITIONS AND OTHER TRADES.
- C. NEUTRAL CONDUCTOR REQUIRED TO EACH LIGHT SWITCH BOX - CODE.
- D. EXISTING CIRCUITING OR DEVICES SHOWN IS DERIVED FROM ON-SITE OBSERVATION AND RECORD DRAWINGS. EC SHALL CONFIRM.

**KEYED NOTES**  
(THIS SHEET ONLY)

- 1 LOCATE SWITCH IN CROWS NEST AS DIRECTED BY OWNER. SEE DETAIL.
- 2 DIMMER SWITCHES FOR TAPE LIGHT FIXTURES SHALL BE LUTRON DVEL-300P.
- 3 FENCE TO BE REWORKED TO MAKE PANEL ACCESSIBLE.
- 4 KEYED WP SWITCH AS OVER-RIDE OFF FOR STAIRS 1 AND 2, W15 FIXTURE AND TYPE A FIXTURE OVER THE LIFT. SEE DETAILS.



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9006

**Albertson Engineering Inc.**  
CONSULTANT



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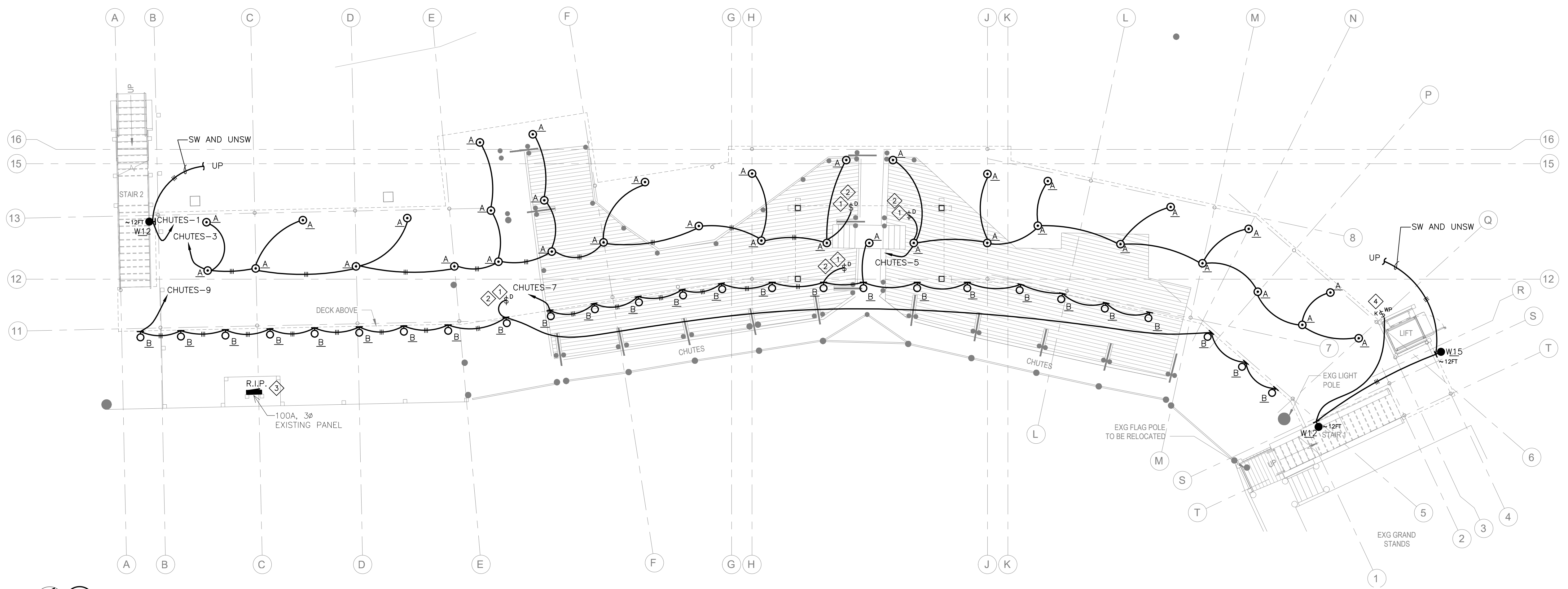
MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: SMD  
CHECKED BY: JBS

SHEET TITLE:  
LOWER LEVEL - LIGHTING PLAN

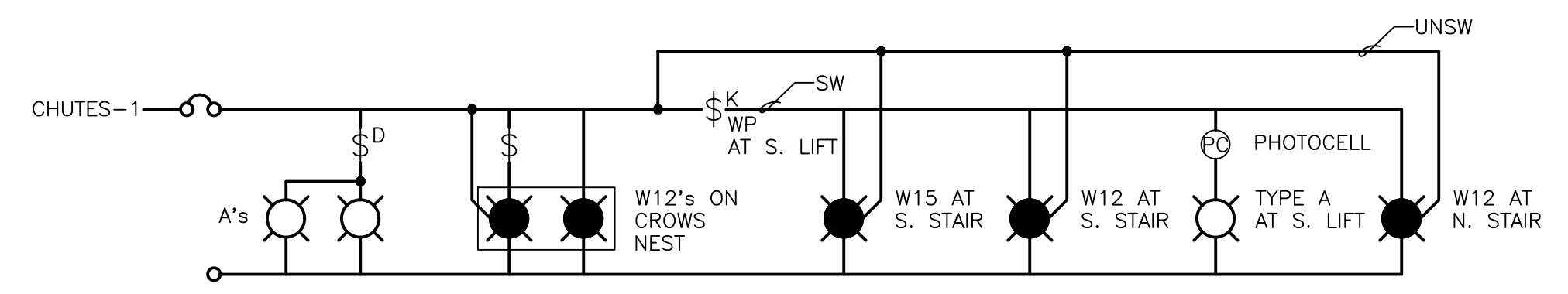
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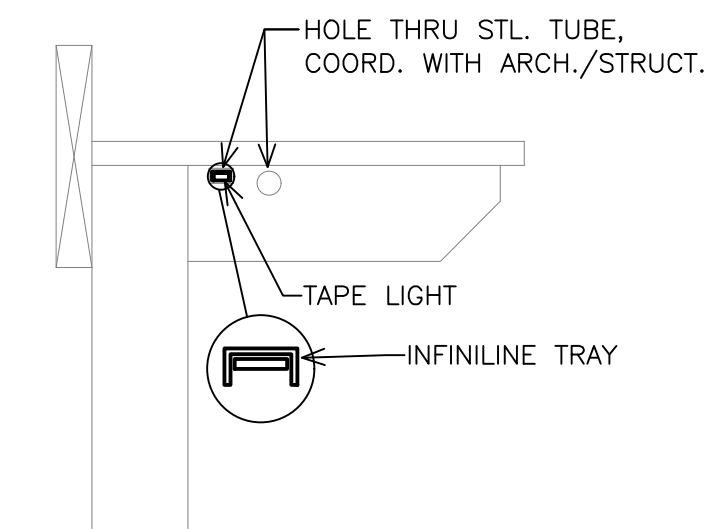
27 OF 32



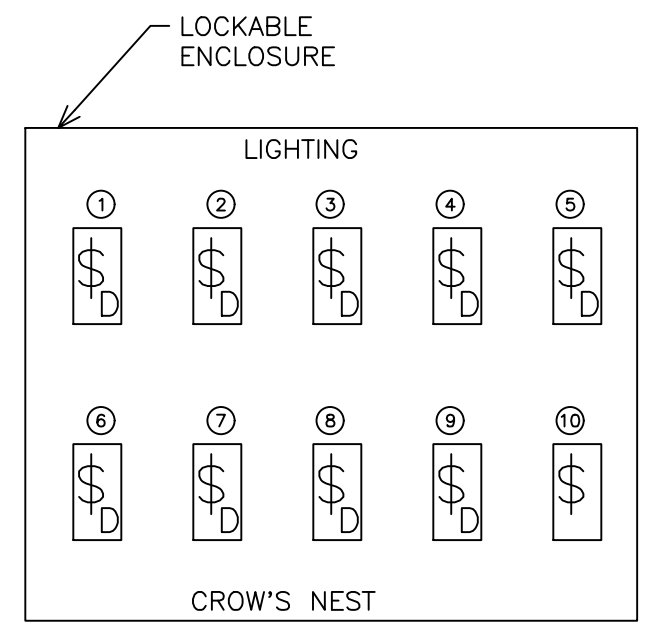
**1 LOWER LEVEL LIGHTING PLAN**  
E101  
1/8" = 1'-0"



**4 CHUTES-1, STAIRS AND LIFT LIGHTING DIAGRAM**  
E101  
N.T.S.



2 TAPE LIGHT DETAIL  
E102 N.T.S.



3 SWITCH BANK DETAIL  
E102 N.T.S.

**SWITCHES LEGEND**

- 1 DECK TOP LIGHTING NORTH OUTSIDE
- 2 DECK TOP LIGHTING NORTH INSIDE
- 3 DECK TOP LIGHTING SOUTH INSIDE
- 4 DECK TOP LIGHTING SOUTH OUTSIDE
- 5 CROW'S NEST OUTSIDE LIGHTS
- 6 CHUTE CENTER LIGHTS
- 7 CHUTE OUTER LIGHTS
- 8 UNDER DECK LIGHTS NORTH
- 9 UNDER DECK LIGHTS SOUTH
- 10 CROW'S NEST EM OUTSIDE LIGHTS, OVER-RIDE OFF.

**NOTE:**

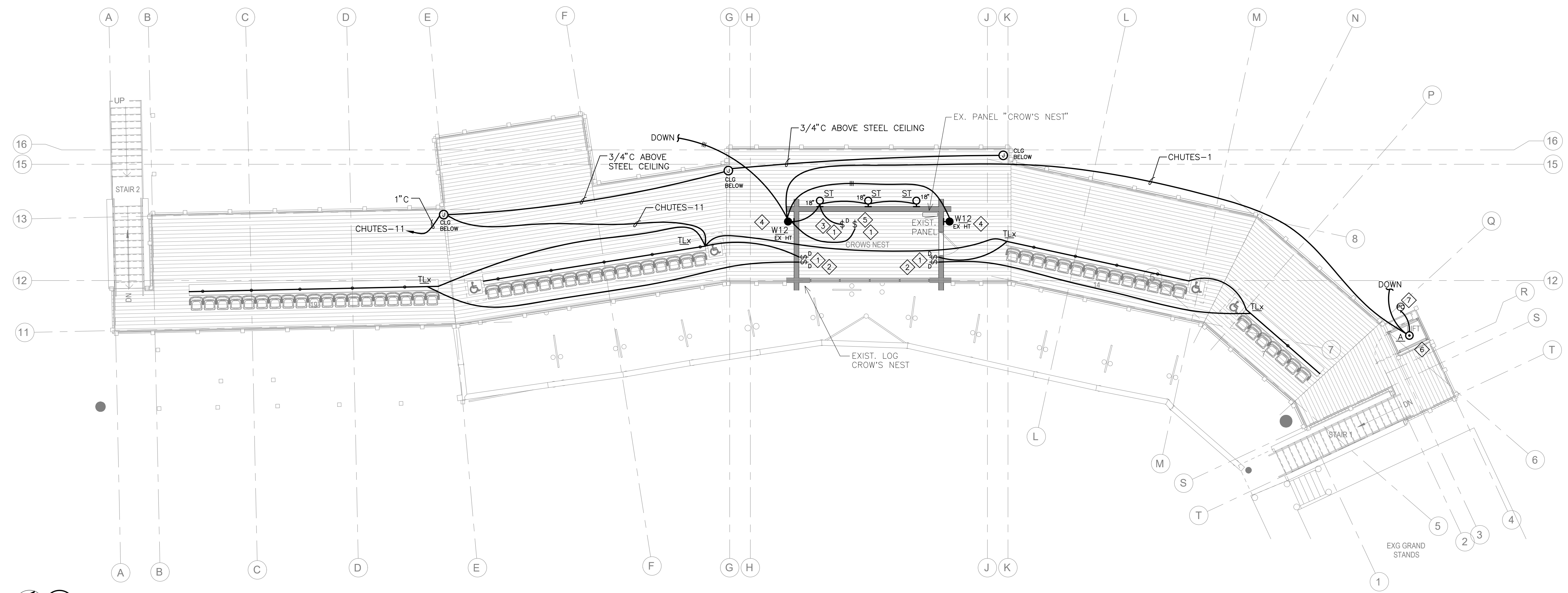
- DIMMING LIGHT SWITCHES ARE ALL 1-POLE, MIN. 250V, LINE-VOLTAGE DIMMING. MOUNT INSIDE 20"x16"x8" LOCKABLE ENCLOSURE. ATTACH PERMANENT LABELS AS SHOWN. SEE KEYNOTES 2, 3

**GENERAL NOTES**  
(THIS SHEET ONLY)

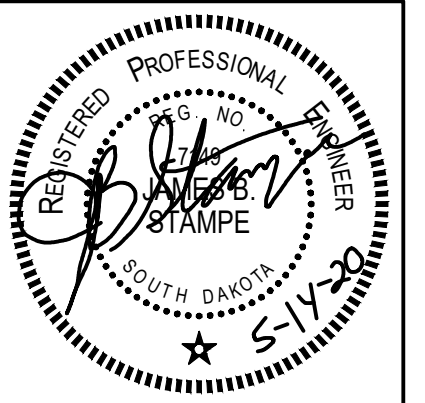
- A. COORDINATE LOCATIONS OF LIGHT FIXTURES WITH ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS.
- B. CONTRACTOR TO COORDINATE INSTALLATION WITH EXISTING CONDITIONS AND OTHER TRADES.
- C. NEUTRAL CONDUCTOR REQUIRED TO EACH LIGHT SWITCH BOX - CODE.
- D. EXISTING CIRCUITING OR DEVICES SHOWN IS DERIVED FROM ON-SITE OBSERVATION AND RECORD DRAWINGS. EC SHALL CONFIRM.

**KEYED NOTES**  
(THIS SHEET ONLY)

- 1 LOCATE SWITCH IN CROWS NEST AS DIRECTED BY OWNER. SEE DETAIL.
- 2 DIMMER SWITCHES FOR TAPE LIGHT FIXTURES SHALL BE LUTRON DVEL-300P.
- 3 DIMMER SWITCHES FOR A-LAMPS SHALL BE A 450-WATT LED LEVITON DIMMER, MODEL DSM10-ILZ AS LISTED COMPATIBLE WITH SATCO A-21 LED AS LAMP. MODEL S8735. DIMMERS SHALL PROVIDE SMOOTH AND FLICKER-FREE CONTROL FROM 25% TO 100% OF RATED LAMP LUMENS.
- 4 REPLACE EXISTING WALLPACK. RE-USE CIRCUITING TO EXTENT POSSIBLE, PROVIDING WIRING/CONTROLS CAN BE RECONFIGURED PER THIS DESIGN.
- 5 PROVIDE AN OVER-RIDER OFF SWITCH TO SHUT OFF THE CROW'S NEST EM WALLPACKS. LOSS OF UNSWITCHED NORMAL POWER WILL TURN THE FIXTURES BACK ON, POWERED FROM THE INTEGRAL BATTERY.
- 6 INSTALL ON SLOPED STRUCTURE VIA BLACK PAINTED CANOPY.
- 7 INSTALL 20AMP ADJUSTABLE PHOTOCELL UP HIGH TO AUTO CONTROL THIS FIXTURE.



1 UPPER LEVEL LIGHTING PLAN  
E102 1/8" = 1'-0"



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9606

Albertson Engineering Inc.  
CONSULTANT



PROJECT IDEN:  
DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

ISSUE BLOCK:

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MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: SMD  
CHECKED BY: JBS

SHEET TITLE:  
UPPER LEVEL - LIGHTING PLAN

SHEET IDENTIFICATION:

E102



**GENERAL NOTES**  
(THIS SHEET ONLY)

- A. COORDINATE ALL WORK AND DEVICE LOCATION WITH OTHER TRADES, ARCHITECTURAL DRAWINGS, ELEVATIONS AND CASEWORK.
- B. VERIFY EQUIPMENT CONNECTION REQUIREMENTS WITH EQUIPMENT SHOP DRAWINGS.
- C. ALL RECEPTACLES WITHIN PUBLIC AREAS OR ACCESSIBLE TO CHILDREN AGES 6 AND LESS MUST BE TAMPER RESISTANT.
- D. ANY EXISTING CIRCUITING OR DEVICES SHOWN IS DERIVED FROM ON-SITE OBSERVATION AND RECORD DRAWINGS. EC SHALL CONFIRM.

**KEYED NOTES**  
(THIS SHEET ONLY)

- 1 INSTALL DEVICE ON STEEL SUPPORTING STEEL DECK. COORDINATE INSTALL WITH ARCHITECTURAL DETAILS AND ELEVATIONS.
- 2 ROUTE 3" PVC CONDUIT DIRECTLY BELOW GRANDSTAND DECK FOR FIBER OPTICS FROM CROWS NEST TO PORTABLE SCOREBOARD. PROVIDE A 200LB FULL CORD. FIBER BY OTHERS. FINISH SHALL BE BLACK EPOXY PAINT.
- 3 INSTALL AND CAP AT APPROXIMATELY 15FT AFG. CAP, COIL 20FT OF PULL CORD BEHIND CAP.
- 4 60A CAMLOCK, 208V/120V, 3Ø BOX. SEE RISER. LOCATE UNDER STAIR LANDING. SHALL BE BLACK EPOXY PAINT.
- 5 150A, 208V/120V, 3Ø NEMA 3R, PANELBOARD. NAME AS "CHUTES". REPLACE EX. PANEL WIN PLACE. FINISH SHALL BE BLACK EPOXY PAINT. SEE RISER.
- 6 MAKE CONNECTION TO LIFT CONTROLLER. WIRE (1) OSP CAT 5 CABLE FROM LIFT CONTROLLER TO CROW'S NEST.
- 7 ROUTE BRANCH CIRCUIT UNDERGROUND TO BEHIND (EAST) OF EXIST/NEW POST SUPPORTING DECK ABOVE AND THEN UP TO DECK.



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9006

**Albertson Engineering Inc.**  
CONSULTANT

**CA chamberlin**  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.8804

**SKYLINE ENGINEERING LLC**  
616 10th Street  
Rapid City, SD 57701  
Tel: 605.737.3600  
Fax: 605.737.3609  
SE Project 20026

PROJECT IDEN:  
DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

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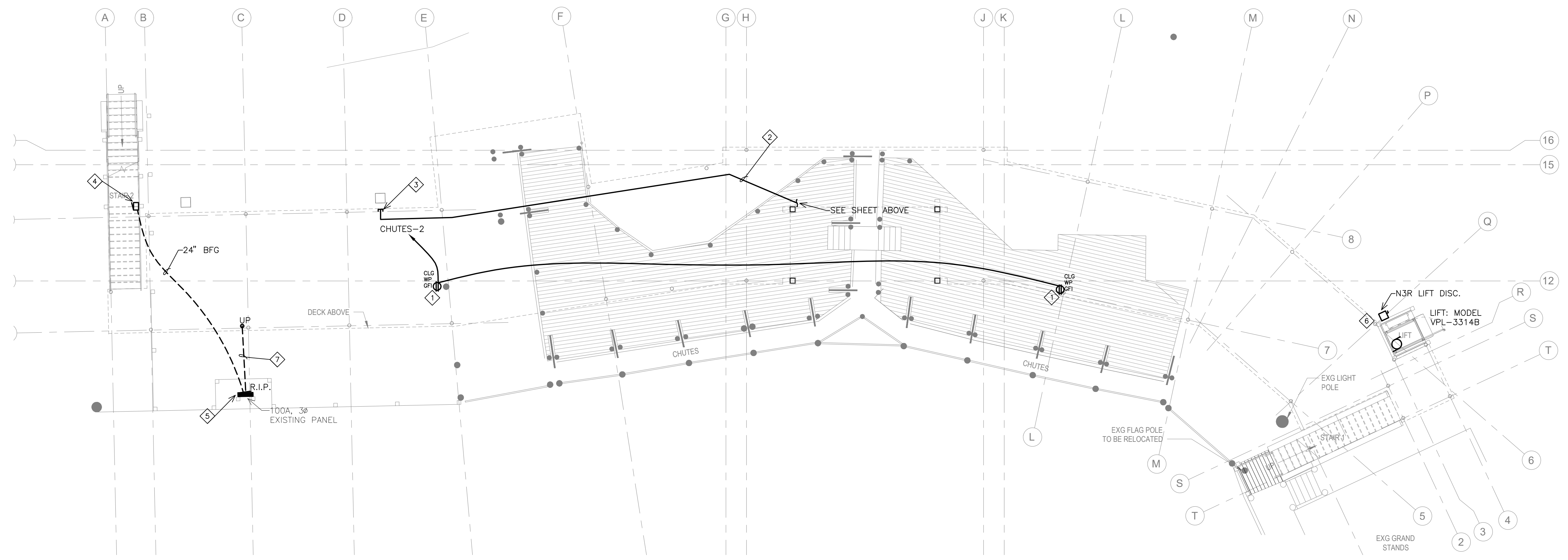
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PROJECT NO: 1810  
DRAWN BY: SMD  
CHECKED BY: JBS

SHEET TITLE:  
LOWER LEVEL - POWER AND SYSTEMS PLAN

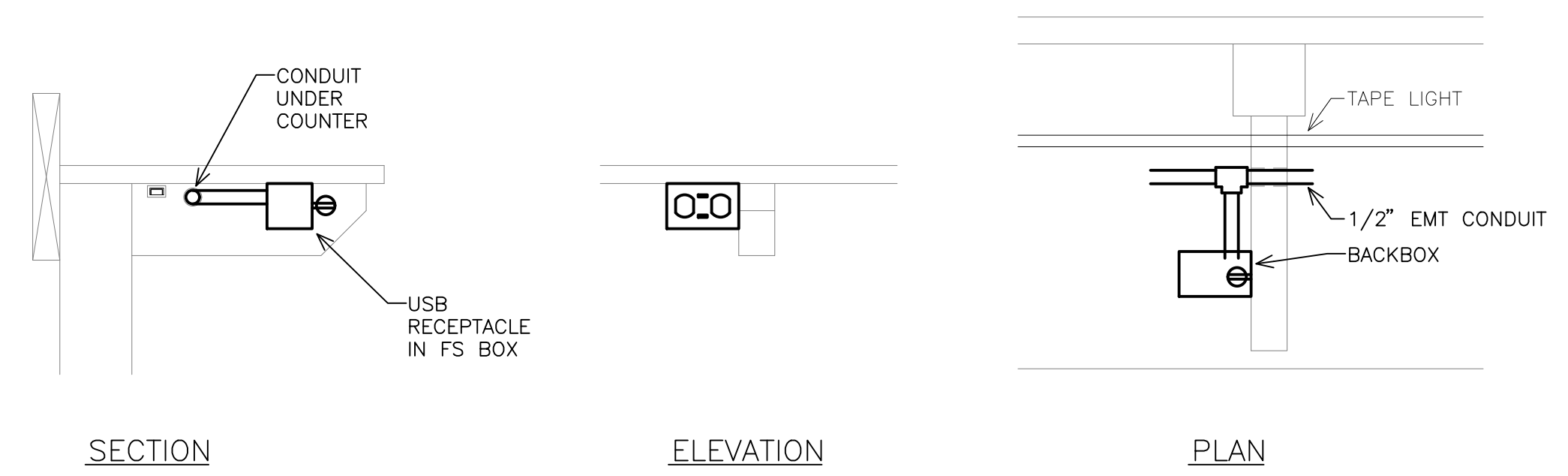
SHEET IDENTIFICATION:

**E201**

29 OF 32



1 LOWER LEVEL POWER AND SYSTEMS PLAN  
E201  
1/8" = 1'-0"



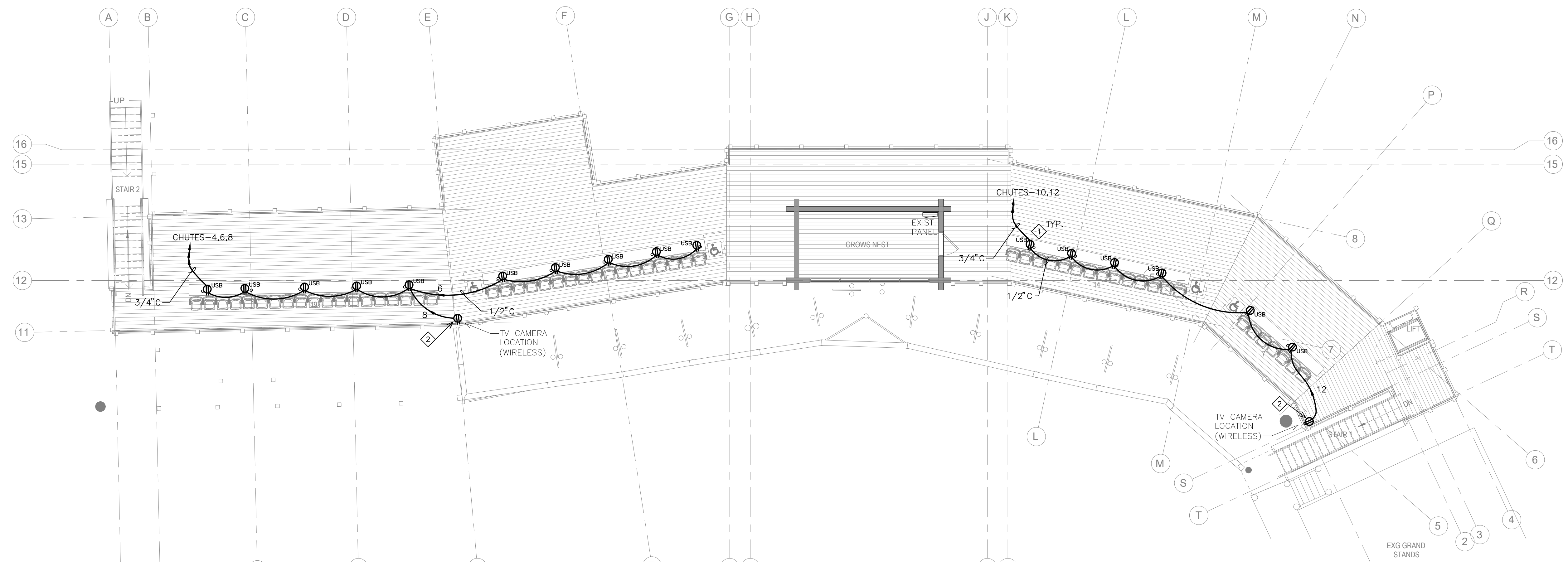
2 RECEPTACLE DETAIL  
E202 N.T.S.

**GENERAL NOTES**  
(THIS SHEET ONLY)

- A. COORDINATE ALL WORK AND DEVICE LOCATION WITH OTHER TRADES, ARCHITECTURAL DRAWINGS, ELEVATIONS AND CASEWORK.
- B. VERIFY EQUIPMENT CONNECTION REQUIREMENTS WITH EQUIPMENT SHOP DRAWINGS.
- C. ALL RECEPTACLES WITHIN PUBLIC AREAS OR ACCESSIBLE TO CHILDREN AGES 6 AND LESS MUST BE TAMPER RESISTANT.
- D. ANY EXISTING CIRCUITING OR DEVICES SHOWN IS DERIVED FROM ON-SITE OBSERVATION AND RECORD DRAWINGS. EC SHALL CONFIRM.

**KEYED NOTES**  
(THIS SHEET ONLY)

- 1 PROVIDE TAMPER-PROOF DUPLEX RECEPTACLE WITH DUPLEX USB CHARGING OUTLET IN AN FS BOX UNDER COUNTER. GFI PROTECTION FOR EQUIPMENT WILL BE IN THE BREAKER.
- 2 PROVIDE A DUPLEX GFCI RECEPTACLE IN A "IN-USE" BOX, SUPPORTED AT 6" AFF ON THE SIDE OF THE RAIL POST.



1 UPPER LEVEL POWER AND SYSTEMS PLAN  
E202 1/8" = 1'-0"



3302 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
605.343.9006

Albertson Engineering Inc.  
CONSULTANT

**CA**  
chamberlin  
725 St. Joseph Street, Suite B1  
Rapid City, SD 57701  
605.355.6804

**SKYLINE**  
ENGINEERING LLC  
616 10th Street  
Rapid City, SD 57701  
Tel: 605.737.3600  
Fax: 605.737.3609  
SE Project 202026

PROJECT IDEN:  
DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

ISSUE BLOCK:

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: SMD  
CHECKED BY: JBS

SHEET TITLE:  
UPPER LEVEL - POWER AND SYSTEMS PLAN

SHEET IDENTIFICATION:

E202

**LIGHT FIXTURE SCHEDULE**

FIXTURE TYPE	FIXTURE DESCRIPTION (FEATURES)	VOLTS	MOUNTING	LAMPS	CONTROL MEDIA: LENS, LOUVERS, ETC.	MFR.	CATALOG NUMBER	FIXTURE COLOR/ FINISH	MIN. FIXTURE CRI	UV LENS OR LAMP COVER	LIGHT LOSS FACTOR (5% TOL.)	DESIGNED FIXTURE EFFICACY	MAX WATTS INTO FIXTURE	MIN. LUMENS OUT OF FIXTURE	MIN. RESULTANT EFFICACY	SPECIFIC NOTES
A	STEM MOUNT PENDANT FIXTURE WITH LED LAMP, E26 BASE	UNIVERSAL	6" STEM, HEAVY DUTY	2700K, DIMMABLE 20W LED LAMP EQUAL TO SATCO S8735	WIRE GUARD AND CLEAR GLASS	BARN LIGHT	MARATHON SERIES: BLE-S-YDM16-100-ST506-100-NA-WGG-100-CLR-HDSMC-E26	POWDER COAT BLACK	84	GLASS	0.95	75	20	2,070	72	1,2,3
B	GOOSENECK MOUNTED WITH LED LAMP, E26 BASE	UNIVERSAL	GOOSENECK BRACKET	2700K, DIMMABLE 20W LED LAMP EQUAL TO SATCO S8735	WIRE GUARD AND CLEAR GLASS	BARN LIGHT	MARATHON SERIES: BLE-G-YDM16-100-G64-100-NA-WGG-100-CLR-DBPC-E26	POWDER COAT BLACK	84	GLASS	0.95	75	20	2,070	72	1,2,3
TLx	LED STRIP LIGHT, VERIFY LENGTH IN FIELD	UNIVERSAL	MOUNTING CHANNEL, SATIN BLACK	INTEGRAL LED, 3000K	DIMMABLE, OUTDOOR/WET LOCATION RATED STRIP LIGHT	DIODE LED	INFINILINE BASICS: DI-120V-INFBC3-30-H-XX-CHA	WHITE	90+	NONE	0.95	80	3.7/FT	270		2,3,4
<b>LED STEP LIGHT FIXTURES</b>																
ST	LED STEP LIGHT, ENCAPSULATED	120V	STANDARD BACKBOX	INTEGRAL LED, 3000K	DIMMABLE, OUTDOOR/WET LOCATION RATED STEP LIGHT	PROGRESS LIGHTING	P6832 - 120V	BLACK	80+	NONE	0.95	21	5	59	20	2
<b>LED WALLPACKS AND SOFFIT FIXTURES</b>																
W12	2000 LUMENS, LOW-PROFILE WALL PACK, FULL CUTOFF, LED, TYPE III DISTRIBUTION, INTEGRAL 4K SURGE PROTECTION, INTEGRAL PHOTO CELL, EM BATTERY PACK	120/277	WALL/SURFACE	INTEGRAL LED, 3000K	DIE-CASE ALUMINUM HOUSING, TYPE 3 DISTRIBUTION, B1-U0-G1 BUG RATING, COMFORT SHIELD, BUTTON TYPE PHOTOCONTROL	ILLUM SYS - MCGRAW EDISON		BLACK	70	NONE	0.90	107	14	1,350	103	2,3
						LUMEN FX - LITHONIA										
						MLAZGAR - HUBBELL	LNC2-12L-3K-035-3-U-BL-PCU-8F-EH-CS									
						WYOMING LTG										
						HOLOPHANE LTG										
W15	4000 LUMENS, LOW-PROFILE WALL PACK, FULL CUTOFF, LED, TYPE II DISTRIBUTION, INTEGRAL 4K SURGE PROTECTION, INTEGRAL PHOTO CELL, EM BATTERY PACK	120/277	WALL/SURFACE	INTEGRAL LED, 3000K	DIE-CASE ALUMINUM HOUSING, TYPE 2 DISTRIBUTION, B1-U0-G1 BUG RATING, BUTTON TYPE PHOTOCONTROL	ILLUM SYS - MCGRAW EDISON		BLACK	70	NONE	0.90	86	43	3,330	83	2,3
						LUMEN FX - LITHONIA										
						MLAZGAR - HUBBELL	LNC2-18L-3K-070-2-U-BL-PCU-20F-EH									
						WYOMING LTG										
						HOLOPHANE LTG										

**GENERAL NOTES:**

A. LAMPS OF THE SAME TYPE MUST BE FROM THE SAME MANUFACTURER.

B. UNLESS A SPECIFIC CATALOG NUMBER OR SERIES IS LISTED, PROPOSED ALTERNATE MANUFACTURERS' FIXTURE CUTSHEETS AND PHOTOMETRIC REPORTS MUST BE SUBMITTED TO THE ENGINEER AT LEAST 10 DAYS PRIOR TO BID DATE. IF THE SUBMITTED FIXTURE IS DETERMINED NOT TO BE EQUAL OR BETTER BY THE ENGINEER IT WILL NOT BE APPROVED BY ADDENDUM.

C. WHEN THE VOLTAGE IS INDICATED AS 120/277, PROVIDE MULTIVOLT BALLASTS CAPABLE OF OPERATING AT 120V OR 277V.

D. ALL FIXTURES TO BE 120/277V UNLESS NOTED AS ONE VOLTAGE. ALL FIXTURES/LAMPS TO BE 2700K OR 3000K +/- 5%. ALL PROPOSED EQUALS MUST HAVE ESSENTIALLY EQUAL OPTICS/PATTERN.

E. THE MANUFACTURER AND CATALOG NUMBER LISTED FOR ALL FIXTURES IS THE BASIS OF DESIGN (BOD). ANY PRIOR APPROVALS MUST BE COMPARED TO THE BOD FIXTURE.

**SPECIFIC NOTES:**

1. LISTED FOR DAMP LOCATION.

2. LISTED FOR WET LOCATION.

3. CONFIRM MOUNTING BRACKET WITH FIXTURE CUTSHEETS/MANUFACTURER PRIOR TO ORDERING.

4. PROVIDE INFINITE MOUNTING CHANNEL TO SUPPORT THE LED TAPE LIGHT. SECURE AT AN INTERVAL OF NOT MORE THAN 12". IF TAPE IS NOT FIELD CUTTABLE, THE EC MUST SCALE AND ORDER PER ANTICIPATED INSTALLATION. LOW-VOLTAGE CONNECTIONS IS SECURED TO TAPE LIGHT FOR EXTERNAL MOUNTING. SECURE.



3202 W. MAIN, SUITE C  
RAPID CITY, SOUTH DAKOTA 57702  
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Rapid City, SD 57701  
605.355.6804

**SKYLINE ENGINEERING LLC**  
616 10th Street  
Rapid City, SD 57701  
Tel: 605.737.3600  
Fax: 605.737.3609  
SE Project 20026

PROJECT IDEN:  
DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

**ISSUE BLOCK:**

NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

MANAGEMENT:  
PROJECT NO: 1810  
DRAWN BY: SMD  
CHECKED BY: JBS

SHEET TITLE:  
ELECTRICAL SCHEDULES

SHEET IDENTIFICATION:

**E400**

### RISER CONDUIT/WIRE FEEDER SCHEDULE-COPPER

60 60A-3P (1) 1 1/4" C WITH (4)#4 AND (1)#10 GND      150S 150A-3P 2" C WITH (4)#1/0 AND (1)#6 GND      XFMR SECONDARY 120/208V 3PH

APPLICATION NOTE:  
 A. FEEDER SCHEDULE DOES NOT REFLECT REQUIRED TEMPERATURE DE-RATINGS OR VOLTAGE DROP.  
 B. WHERE RISER INDICATES A "+" AFTER THE FEEDER AMPACITY WITHIN THE MARK, SUCH AS (400+) THE FEEDER SIZE SHALL BE INCREASED BY ONE WIRE SIZE FOR EACH "+" SYMBOL. INCREASE GROUND AND CONDUIT ACCORDINGLY.  
 C. RISER INDICATES A SERVICE LATERAL WITH AN "S" AFTER THE AMPACITY VALUE. NO GROUND CONDUCTORS REQUIRED WITHIN THE SERVICE LATERAL.



3202 W. MAIN, SUITE C  
 RAPID CITY, SOUTH DAKOTA 57702  
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 725 St. Joseph Street, Suite B1  
 Rapid City, SD 57701  
 605.355.6804

**SKYLINE ENGINEERING LLC**  
 616 12th Street  
 Rapid City, SD 57701  
 Tel: 605.737.3600  
 Fax: 605.737.3609  
 SE Project 20026

PROJECT IDEN:  
 DAYS OF '76 CROW'S NEST ADDITION



DEADWOOD, SOUTH DAKOTA

ISSUE BLOCK:

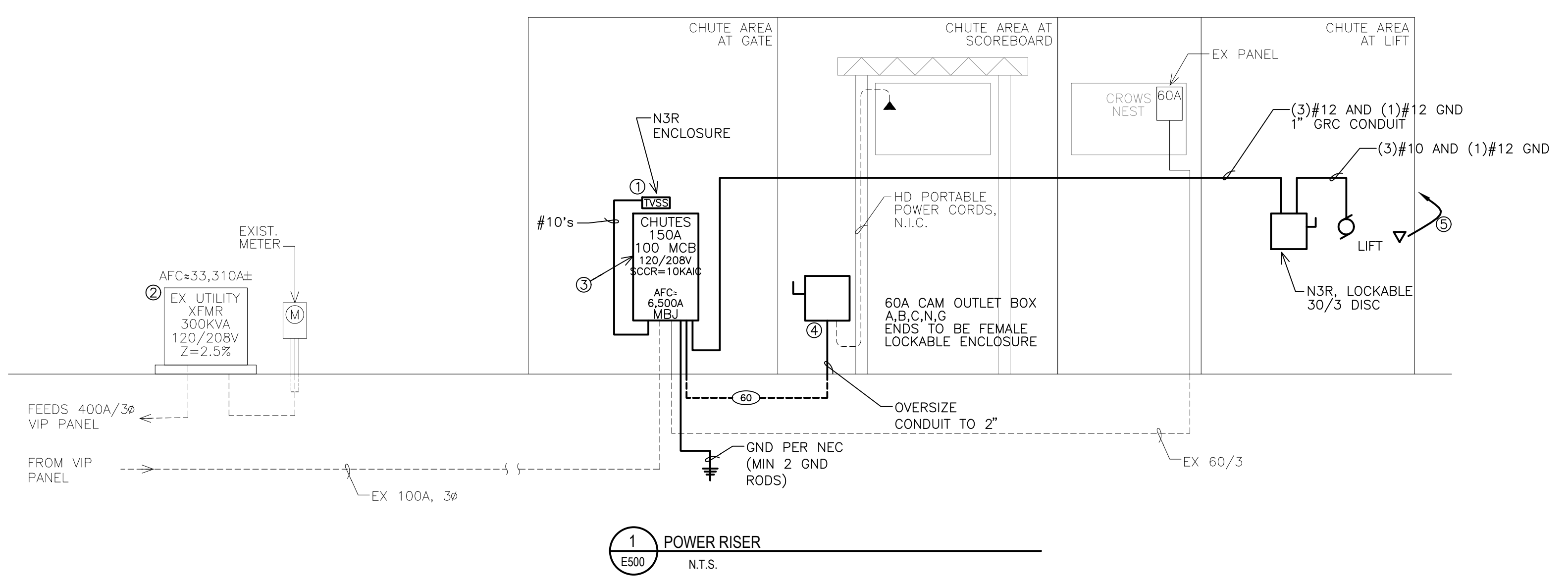
NO	ISSUE TYPE	ISSUE DATE
CD	100% CD	05/14/21

**GENERAL NOTES:**

A. LABEL PER NEC AND OWNER DIRECTIVES.

**SPECIFIC NOTES:**

- ① TVSS UNIT SHALL BE EQUAL TO EATON MODEL 560 WITH SURGE COUNTER AND AUDIBLE ALARM SURGE RATING ON MAIN SHALL BE 200KA/400KA.
- ② TRANSFORMER LOCATED ALONG CRESCENT DRIVE.
- ③ REPLACE EXISTING 100/3 IN PLACE WITH 150/3.
- ④ 60AMP CAM OUTLET BOX EQUAL TO LEX POWERGATE, 10KAIC RATED.
- ⑤ OSP - CAT 5 TO CROW'S NEST.



PANEL CHUTES								
120/208V, 3 PHASE, 4 WIRE, 150 AMP FRAME, 100A M.C.B., SURFACE MOUNTED, N3R, 10KAIC								
LOAD	POLES	AMPS	CCT	PHASE	CCT	AMPS	POLES	LOAD
LTG - STAIR LIGHTS AND BACK OF CROW'S NEST	20	1	1	A	2	20 *	1	REC - UNDER DECK CEILING
LTG - UNDER DECK NORTH	20	1	3	B	4	20 *	1	REC - UNDER BARTOP NORTH
LTG - UNDER DECK - SOUTH	20	1	5	C	6	20 *	1	REC - UNDER BARTOP NORTH
LTG - CHUTE FRONT CENTER	20	1	7	A	8	20	1	REC - TV CAMERA NORTH
LTG - CHUTE FRONT SIDES	20	1	9	B	10	20 *	1	REC - UNDER BARTOP SOUTH
LTG - BAR TOPS	20	1	11	C	12	20	1	REC - TV CAMERA SOUTH
SPARE	20 *	1	13	A	14	20	1	PLATFORM LIFT
SPARE	20 *	1	15	B	16	--	--	SPACE
SPACE	--	--	17	C	18	--	--	SPACE
SPACE	--	--	19	A	20	20	1	EX LOAD
SPACE	--	--	21	B	22	60	2	EX LOAD - CROW'S NEXT PANEL
EX LOAD	50 *	2	23	C	24	--	--	--
--	--	--	25	A	26	60	3	SCOREBOARD CAM OUTLET
EX LOAD	50 *	2	27	B	28	--	--	--
--	--	--	29	C	30	--	--	--

Remarks: SERVICE ENTRANCE RATED  
 \* DENOTES GFCI PROTECTION - 5mA

MANAGEMENT:  
 PROJECT NO: 1810  
 DRAWN BY: SMD  
 CHECKED BY: JBS

SHEET TITLE:  
 ELECTRICAL RISER, PANEL SCHEDULE AND DETAILS

SHEET IDENTIFICATION:

**E500**

Date: May 19, 2021

Case No. 210084  
Address: 374 Williams St.

### Staff Report

The applicant has submitted an application for Project Approval for work at 374 Williams St., a Contributing structure located in the Forest Hill Planning Unit in the City of Deadwood.

Applicant: Charles Eagleson  
Owner: GASPERS, MARTIN E  
Constructed: c 1880

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

**The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:**

#### General Factors:

**1. Historic significance of the resource:**

This residential property is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the City of Deadwood. This is of the Second Empire style.

**2. Architectural design of the resource and proposed alterations:**

The new owners of the structure are making renovations to adapt to their elderly needs. Plans are to expand the bathroom to allow for better access and create a downstairs bedroom. The bedroom currently has a small window that does not meet egress requirements. The applicants are requesting permission to replace the inadequate window with a wood double hung window.

**Attachments: yes**

**Plans: yes**

**Photos: yes**

#### Staff Opinion:

The change on the bathroom is on a later addition and the proposed window is on the side of the structure. Because of the locations, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

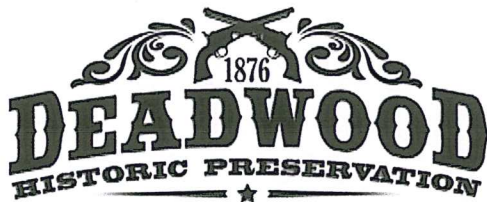
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	210084
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	5/18/21
Date of Hearing	5/26/21

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	374 Williams St; Deadwood SD 57732
Historic Name of Property (if known):	Dr. Flora Stanford Home

APPLICANT INFORMATION	
Applicant is:	<input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: Charles Eagleson  
 Address: 370 Williams St #1  
 City: Deadwood State: SD Zip: 57732  
 Telephone: 509-879-1992 Fax: \_\_\_\_\_  
 E-mail: kwwoman@mac.com

Architect's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

Contractor's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	



**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>ASAP</u>	Project Completion Date (anticipated): <u>July 15, 2021</u>		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material <u>Wood</u> Style/type <u>Double-hung Egress</u>			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Part 1: Expansion of bathroom to allow for aging in place. by adding sq ft for ease of movement and removing shower step hazard.

Part 2: Creating downstairs bedroom requires replacement of window with a wood double-hung egress window.

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

*Charles D. Engel*      *5/18/21*  
\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

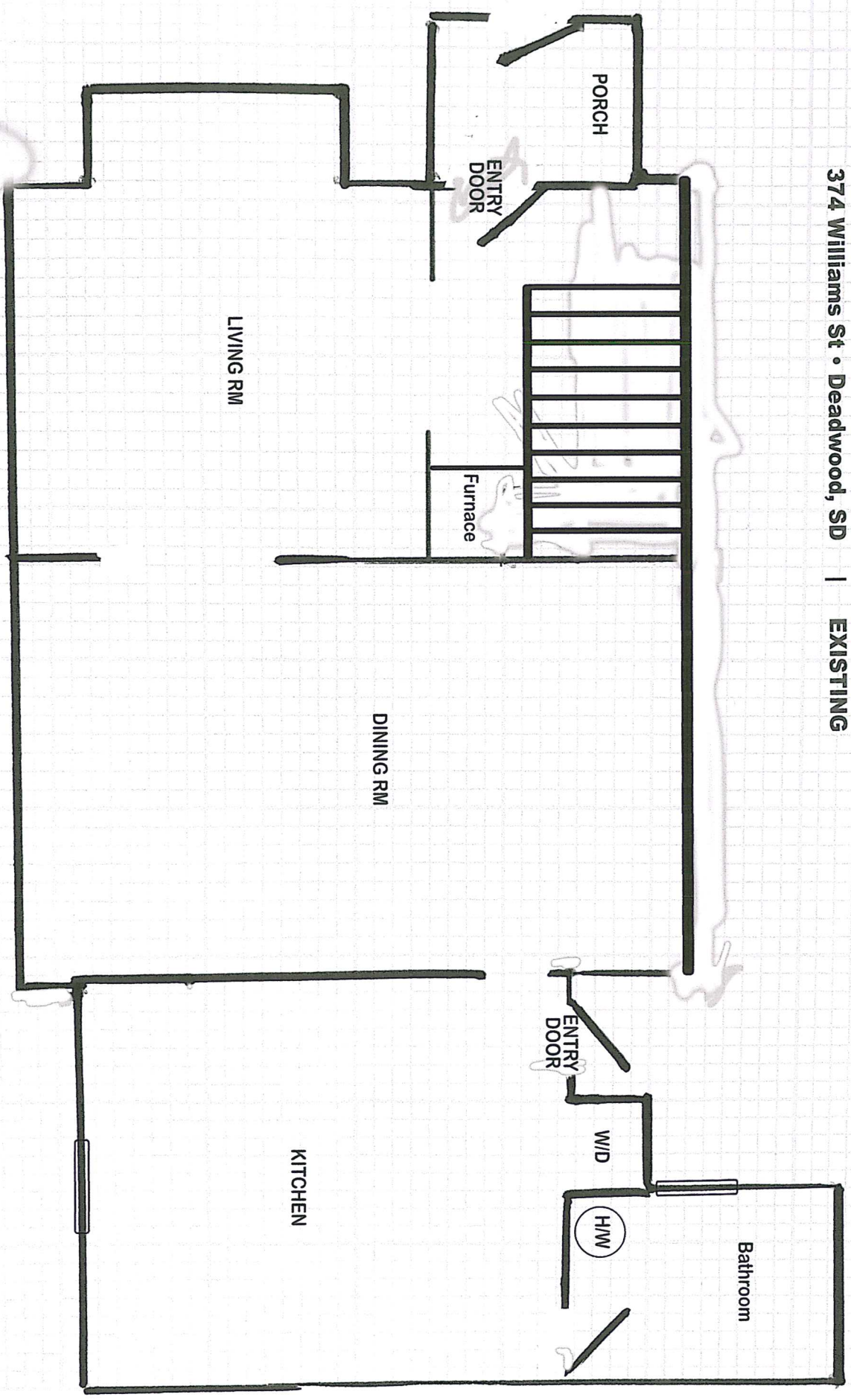
**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

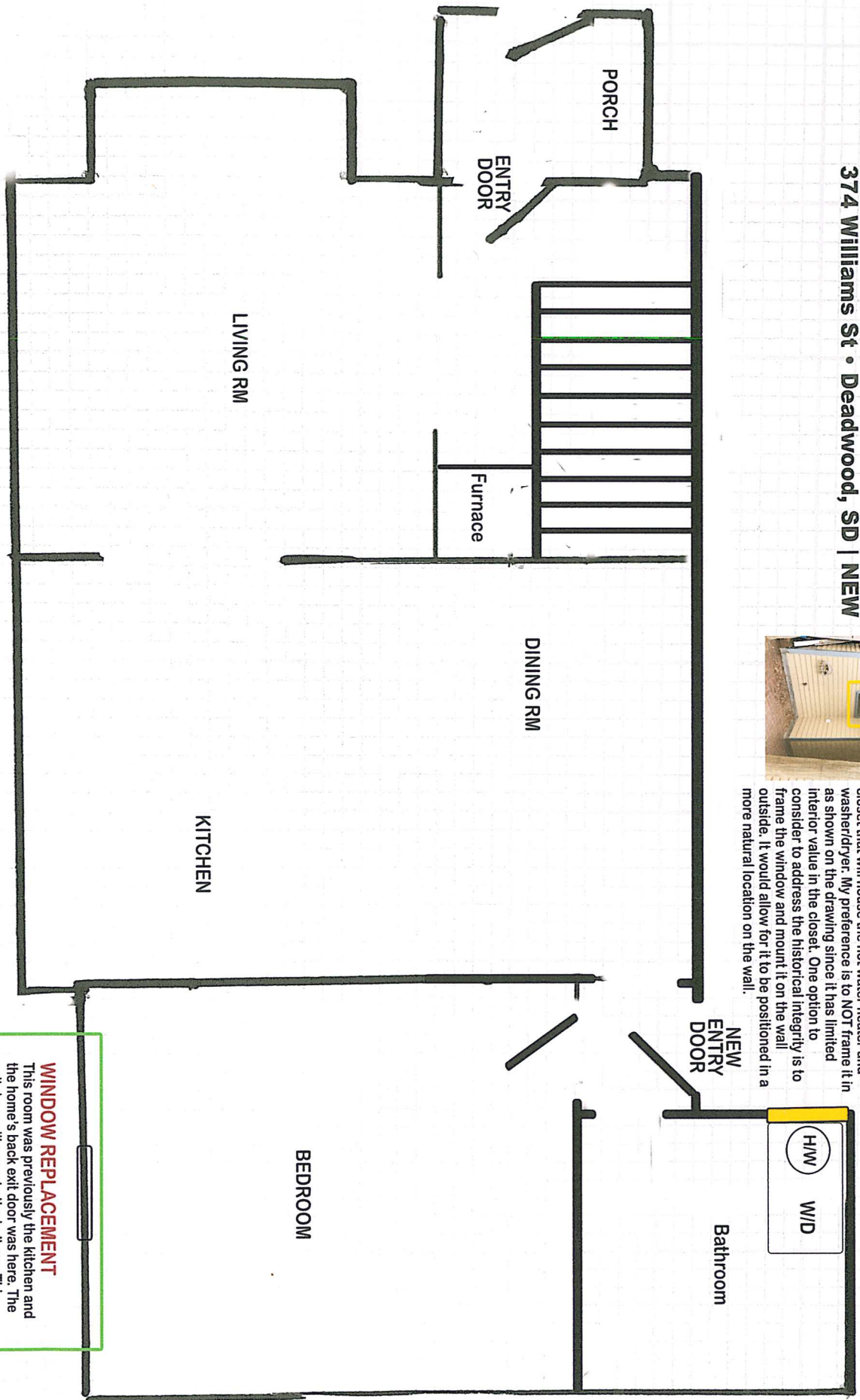
374 Williams St • Deadwood, SD | EXISTING



374 Williams St • Deadwood, SD | NEW



**QUESTION**  
There is currently a leaded non-open window (see photo) in the existing bathroom. The expansion would mean moving or eliminating the window. There would be room to move it to the closet that will house the hot water heater and washer/dryer. My preference is to NOT frame it in as shown on the drawing since it has limited interior value in the closet. One option to consider to address the historical integrity is to frame the window and mount it on the wall outside. It would allow for it to be positioned in a more natural location on the wall.



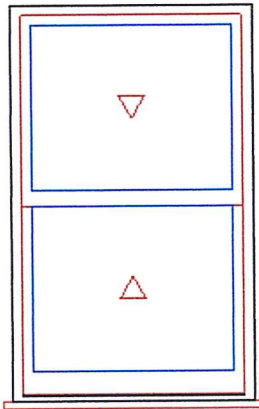
**WINDOW REPLACEMENT**  
This room was previously the kitchen and the home's back exit door was here. The exit door will move to the hallway. This window will need to be replaced with an egress compliant window.

**LINE ITEM QUOTES**

*Proposed bedroom window*

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:	Net Price:	726.94
Qty: 1		Ext. Net Price:	USD 726.94



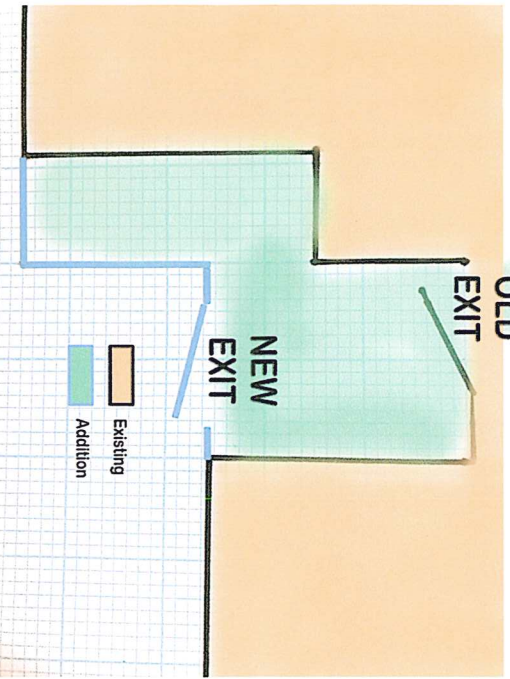
As Viewed From The Exterior

**FS 37 3/8" X 61"**  
**RO 38 3/8" X 61 1/2"**  
**Egress Information**  
 Width: 33 13/16" Height: 24 1/4"  
 Net Clear Opening: 5.69 SqFt  
**Performance Information**  
 U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.29  
 Visible Light Transmittance: 0.51  
 Condensation Resistance: 57  
 CPD Number: MAR-N-68-05547-00001  
 ENERGY STAR: NC

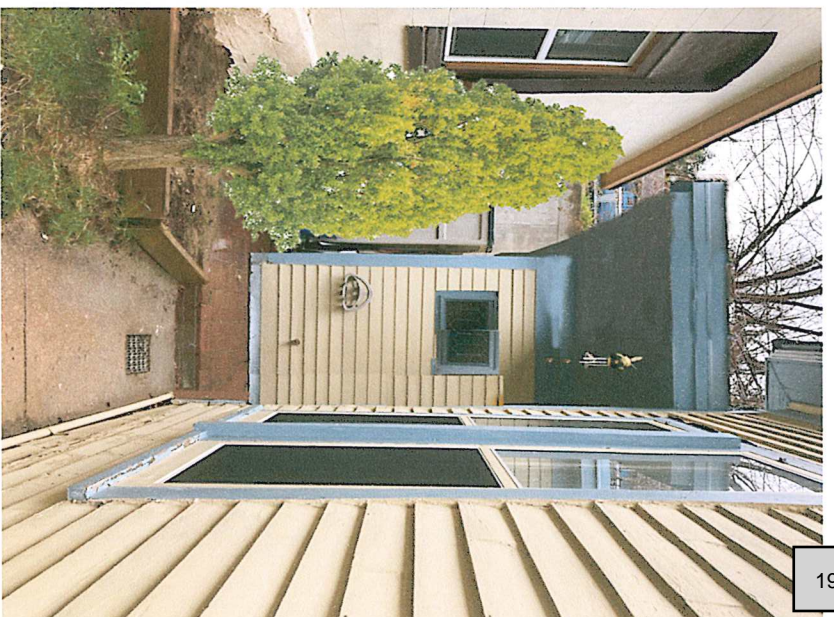
- Primed Pine Exterior
- Bare Pine Interior
- Ultimate Wood Double Hung
- CN 3226
- Rough Opening w/ Subsill
- 38 3/8" X 61 1/2"
- Top Sash
- Primed Pine Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Black Perimeter Bar
- Ovolo Exterior Glazing Profile
- Ovolo Interior Glazing Profile
- Bottom Sash
- Primed Pine Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Black Perimeter Bar
- Ovolo Exterior Glazing Profile
- Ovolo Interior Glazing Profile
- Satin Taupe Sash Lock
- Beige Jamb Hardware
- Aluminum Screen
- Stone White Surround
- Charcoal Fiberglass Mesh
- \*\*\*Screen/Combo Ship Loose
- 4 9/16" Jamb
- Exterior Casing - None
- Primed Pine Standard Subsill
- Non Finger-Jointed Subsill
- Non Finger-Jointed Sill
- No Installation Method
- \*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill.
- Field application may require special sizing.
- \*\*\*Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	726.94
0.000% Sales Tax: USD	0.00
<b>Project Total Net Price: USD</b>	<b>726.94</b>

# 374 Williams St ADDITION PLAN



**EXISTING ROOFLINE**



**ROOFLINE FILLS IN  
WALL MOVES FORWARD**

The new walls will be built on the existing slab as the previous expansion was done. The plan is to build 2x4 wood framed wall atop a pinned down pre-treated base. Although it does not appear to have been used previously, another option would be to pour a 4-6" stem wall bolted down to the pad, pin the pre-treated base to the stem wall and then build the wall from there. Like flashing would be extended at the base of the walls. Siding and roof under and top materials would be sourced to match. The porch light will be able to stay in the same place. Exiting from the door, the pad extends several feet still. The roofline would be sqaured off for both a cleaner look and to provide more weather cover at the door.

The addition will have little impact on the limited view from the street.

Date: May 20, 2021

Case No. 210086  
Address: 152 Charles St

### Staff Report

The applicant has submitted an application for Project Approval for work at 152 Charles St, a Contributing structure located in the Cleveland Planning Unit in the City of Deadwood.

Applicant: Cara Potter  
Owner: SABO, DENNIS L & BRENDA G  
Constructed: c 1890

#### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. This is an early Deadwood house which was remodeled during the pre-World War II years; consequently, it has historic association with both Deadwood's nineteenth-century mining boom and the region's mining revival of the late 1920s and 1930s. This house displays architectural elements which were popular during the latter period. In Deadwood-- as elsewhere in the United States--residential remodels commonly borrowed from the then popular Craftsman Style. Other remodels copy traditional forms seen in the "Picturesque Revival" styles.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to replace the porch with like decorative accents to include the window. Create a seating area in the front of the home. Replace roof with asphalt shingles. Install a fence with gate. Repair and/or replace windows, storm windows, doors and storm doors. Front porch roof will be replaced with same shape and size. The rear porch will be restored and secured. The applicant is also applying for the retaining wall program and will also be applying for the programs when the moratorium is lifted.

**Attachments: Yes**

**Plans: No**

**Photos: Yes**

#### Staff Opinion:

This house has been vacant for over 20 years and is in the process of changing ownership. The buyers desire to rehabilitate this resource. Staff's research could not find any evidence for or against the proposed additions of Victorian detail at this time; however, it is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

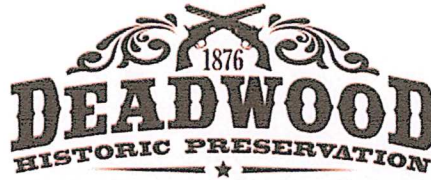
Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY		Section 8 Item e.
Case No.	210086	
<input checked="" type="checkbox"/> Project Approval		
<input type="checkbox"/> Certificate of Appropriateness		
Date Received	5/19/21	
Date of Hearing	5/26/21	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: 152 Charles Street, Deadwood, South Dakota
Historic Name of Property (if known): L.C. Lawton & A.D. Stewart 1898

APPLICANT INFORMATION
Applicant is: <input type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: Cara (Carey) Potter  
 Address: 615 Chestnut Street  
 City: Friend State: NE Zip: 68359  
 Telephone: 4027300276 Fax: \_\_\_\_\_  
 E-mail: cpotsgo@msn.com

Architect's Name: Bruce Drapeaux/Plans in Action  
 Address: www.plansinaction.com  
 City: Spearfish State: SD Zip: \_\_\_\_\_  
 Telephone: 6056457981 Fax: \_\_\_\_\_  
 E-mail: plansinaction@hotmail.com

Contractor's Name: Dan VonMoos/ DellWood Builc  
 Address: 618 1/2 Minter's Avenue  
 City: Lead State: SD Zip: 57754  
 Telephone: 6084740121 Fax: \_\_\_\_\_  
 E-mail: hondadan50@gmail.com

Agent's Name: Tina Hogue, Esq.  
 Address: Monument Law  
 City: Rapid City State: SD Zip: \_\_\_\_\_  
 Telephone: 6053488662 Fax: \_\_\_\_\_  
 E-mail: tina.hogue@monumentlaw.com

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input checked="" type="checkbox"/> Exterior Painting
<input checked="" type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input checked="" type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input checked="" type="checkbox"/> Fencing

*Updated October 9, 2019*

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>	
Project Start Date: <u>June 1, 2021</u> asap      Project Completion Date (anticipated): <u>2</u> years	
<input checked="" type="checkbox"/> <b>ALTERATION</b>	<input checked="" type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input checked="" type="checkbox"/> <b>ADDITION</b>	<input checked="" type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input checked="" type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Other <u>variance for car port</u>
<input checked="" type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New <input checked="" type="checkbox"/> Re-roofing <input type="checkbox"/> Material <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear <input type="checkbox"/> Alteration to roof
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input checked="" type="checkbox"/> <b>FENCE/GATE</b>	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Replacement <input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side(s) <input checked="" type="checkbox"/> Rear Material <u>black metal</u> Style/type <u>victorian</u> Dimensions <u>4" high estimated</u>
<input checked="" type="checkbox"/> <b>WINDOWS</b> <input checked="" type="checkbox"/> <b>STORM WINDOWS</b> <input checked="" type="checkbox"/> <b>DOORS</b> <input checked="" type="checkbox"/> <b>STORM DOORS</b>	<input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Replacement <input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Side(s) <input checked="" type="checkbox"/> Rear Material <u>wooden</u> Style/type <u>as approved</u>
<input checked="" type="checkbox"/> <b>PORCH/DECK</b>	<input checked="" type="checkbox"/> Restoration <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> New <input checked="" type="checkbox"/> Front <input type="checkbox"/> Side(s) <input checked="" type="checkbox"/> Rear Note: Please provide detailed plans/drawings
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New <input type="checkbox"/> Restoration <input type="checkbox"/> Replacement Material _____    Style/type _____    Dimensions _____
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments	

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

please see attachment

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FOR OFFICE USE ONLY  
Case No. \_\_\_\_\_

**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE

SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE

SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

### Description of Activity

1. Alteration Front - replace porch in like symmetry, adding Victorian decorative trim to include corbels and brackets. Additionally, frame the Queen Anne window for additional street appeal (see sketch and example of window trim included)
2. Addition - beneath the front Queen Anne window there is cement. I am proposing to cover this area with decking (Treks or some sort in color to match) creating a seating area in the front of the home.
3. New Construction (future) - discussion with building inspector to construct visually appropriate covered car port to the left of the home. Design will be submitted at later date.
4. Roof - shingles and possibly some roof sheeting needs to be replaced. Shingles will be asphalt, replacing those existing, and will be in the Architectural product line. Color scheme will match new colors of home (see home colors attached).
5. Fence/Gate - portions of original metal wire fencing remains here and there in rear of the home. I propose to replace fencing in a dark metal decorative pattern, at 4ft height to be installed at the front of the home, from canted corner to anticipated car port location, back toward the creek and along the creek side. A gate will be included to allow entry to front door (example is included)
6. Windows/Storm Windows/Doors/Storm Doors - The existing front door is weather damaged and has had no maintenance. Door will be removed and attempted to salvage for some purpose within the home. Rear door needs to be replaced. I will replace with wooden doors, as similar to those on the home currently. Additionally, wooden storm doors will be added for additional efficiency and protection of doors.
7. Porch/Deck - the front porch will be replaced with same shape/size as existing roof. Additional decorative trim will be added for curb appeal. Front deck was mentioned above in "addition" category. Rear porch will be restored and secured.




*Dark Resburgundy Remains  
Changing tan  
& turn*



**< Visual search**



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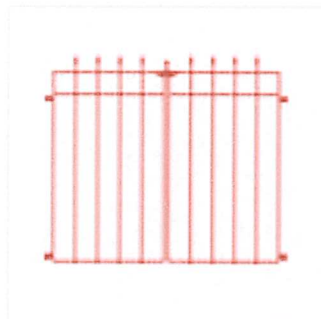
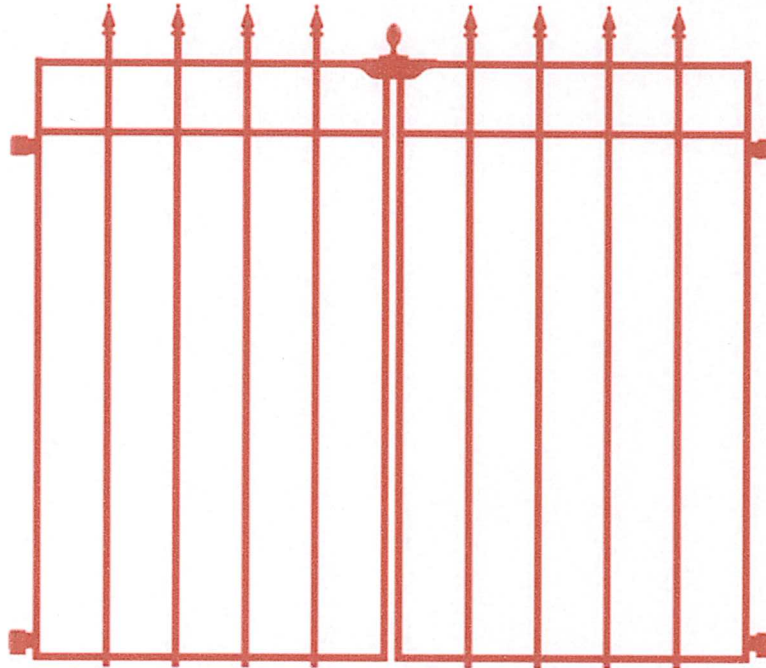
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