



Historic Preservation Commission Agenda

Monday, December 23, 2024 at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

1. **Call Meeting to Order**
2. **Roll Call**
3. **Approval of Minutes**
 - a. Approval of 12/11/24 HP Minutes
4. **Voucher Approvals**
 - a. HP Operating Vouchers - 2024
 - b. HP Operating Vouchers - 2025
 - c. HP Grant Vouchers
 - d. HP Revolving Vouchers
5. **HP Programs and Revolving Loan Program**
 - a. Historic Preservation Loan Requests
 - Emrick Real Estate Group, LLC - 9 Shine St. - Request for loan extension
 - Danika McFarland - 37 Lincoln - Request for loan extension
 - Alan & Phyllis Wright - 822 Main - Request to forgive loan
6. **Old or General Business**
 - a. Consider renewal of the Agreement for Administration of Deadwood Historic Preservation's Revolving Loan Program with Neighborhood Housing-Dakota Home Resources in an amount not to exceed \$60,000.00.
7. **New Matters Before the Deadwood Historic District Commission**
8. **New Matters Before the Deadwood Historic Preservation Commission**
 - a. PA 240256 - Peter Pantazopoulos - 38 Burnham Ave. - Changes to roof pitch and square footage (previously approved on October 9, 2024)
9. **Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)
10. **Staff Report**

(Items considered but no action will be taken at this time.)
11. **Committee Reports**

(Items considered but no action will be taken at this time.)
12. **Adjournment**

Note: All Applications *MUST* arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.



Historic Preservation Commission Minutes

Wednesday, December 11, 2024, at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

1. Call Meeting to Order

A quorum present, Commission Chair Diede called the Deadwood Historic Preservation Commission meeting to order on December 11, 2024, at 4:00 p.m.

2. Roll Call

PRESENT

HP Commission Chair Leo Diede
 HP Commission Vice Chair Vicki Dar
 HP Commissioner 2nd Vice Chair Trevor Santochi
 HP Commissioner Molly Brown
 HP Commissioner Jesse Allen
 HP Commissioner Tony Williams

ABSENT

HP Commissioner Anita Knipper
 City Commissioner Blake Joseph

STAFF PRESENT

Kevin Kuchenbecker, Historic Preservation Officer
 Bonny Anfinson, Historic Preservation Coordinator
 Amy Greba, Administrative Assistant

Susan Trucano, Neighborworks

3. Approval of Minutes

- a. HPC Minutes of 11/26/24 Meeting

It was motioned by Commissioner Williams and seconded by Commissioner Brown to approve minutes of the November 26, 2024, meeting. Voting Yea: Williams, Santochi, Diede, Brown, Allen, Dar.

4. Voucher Approvals

- a. HP Operating Vouchers

It was motioned by Commissioner Williams and seconded by Commissioner Santochi to approve HP Operating Vouchers in the amount of \$128,403.91. Voting Yea: Williams, Santochi, Diede, Brown, Allen, Dar.

- b. HP Revolving Vouchers

It was motioned by Commissioner Brown and seconded by Commissioner Dar to approve HP Revolving Vouchers in the amount of \$3,317.89. Voting Yea: Williams, Santochi, Diede, Brown, Allen, Dar.

5. HP Programs and Revolving Loan Program

Mrs. Trucano stated there are no loans to approve. There is one delinquency which should be taken care of within the next 10 days.

6. Old or General Business

7. New Matters Before the Deadwood Historic District Commission

- a. COA 240247 - 175 Sherman Street - John Beck - Install Phillips 66 sign

This project was continued from the last meeting to discover more information on the possibility that the location used to be a Phillips 66 station. Mike Runge, City Archivist, did more research and found no evidence to support the claim that there once was a Phillips 66 station at this location. City staff have been in contact with the property owner and have informed him of these findings.

Staff investigated and thoroughly researched historical photographs and newspaper reports on the history of this property. Based on this information, it is staff's opinion this site was not Phillips 66 station reportedly located at this address as indicated in Boots on Bricks.

Based on this information, the proposed sign does not meet the criteria set forth in Article 15.32 – VI Historic Landmark Signs. Staff has shared our research and will schedule a meeting with the owner to discuss options available to this project.

It was motioned by Commissioner Allen and seconded by Commissioner Dar based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness. Voting Yea: Williams, Santochi, Diede, Brown, Allen, Dar.

8. New Matters Before the Deadwood Historic Preservation Commission

9. Items from Citizens not on Agenda

(Items considered but no action will be taken at this time.)

10. Staff Report

(Items considered but no action will be taken at this time.)

- a. Next HP Commission meeting will be Monday, December 23, 2024, 4:00 p.m.

Mr. Kuchenbecker stated he will be presenting the HP Budget to SD State Historical Society on Friday, December 13, in Pierre. Commissioners Blake Joseph, Sharon Martinisko, and Leo Diede will also be attending.

SD Governor's Tourism Conference is in January. Staff thanked Commissioner Dar for putting together a draft handout and Mrs. Anfinson for her work on the presentation. Commission Brown expressed interest in attending the Tourism Conference, also.

11. Committee Reports

(Items considered but no action will be taken at this time.)

Commissioner Dar – Ho Ho Horseshoes is down to 30 ornaments. The only place remaining to purchase is The Landmark.

Commissioner Brown – Lead-Deadwood Economic Development Annual meeting is tomorrow morning at The Lodge.

12. Adjournment

The HP Commission meeting adjourned at 4:29 p.m.

ATTEST:

Chairman, Historic Preservation Commission

Minutes by Amy Greba, Administrative Assistant

Historic Preservation Commission

Bill List - 2024

OPERATING ACCOUNT: Historic Preservation	
HP Operating Account Total:	\$ 26,237.19

Approved by _____ on ____/____/____
HP Chairperson

HPC	12/23/24
Batch	01/07/25

PACKET: 06872 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS	P.O. #		
ITEM DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME----- DISTRIBUTION
=====					
01-4711	AMAZON CAPITAL SERVICES				
I-14W7-HN13-1G14		COFFEE SUPPLIES/GRIPPERS	251.37		
12/19/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N	
		FINGER GRIPPERS		215 4573-335	HIST. INTERP. ARCHIVE DE 82.19
		COFFEE CREAMER & SUPPLIES		215 4641-426	SUPPLIES 169.18
		=== VENDOR TOTALS ===	251.37		
=====					
01-4269	BRUNSON, RONDA				
I-1215/24		CHRISTMAS PARTY FOOD/POSTAGE	231.15		
12/15/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N	
		RODEO XMAS PARTY FOOD/POSTGE		215 4576-630	PROFES. SERV. NEIGHBORH. 231.15
		=== VENDOR TOTALS ===	231.15		
=====					
01-0250	GLOVER, SANDY				
I-120824		CHRISTMAS LIGHTS	55.76		
12/08/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N	
		CHRISTMAS LIGHTS		215 4576-630	PROFES. SERV. NEIGHBORH. 55.76
		=== VENDOR TOTALS ===	55.76		
=====					
01-1827	MS MAIL				
I-14958		DECEMBER NEWSLETTER	713.70		
12/11/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: Y	
		DECEMBER NEWSLETTER		215 4641-423	PUBLISHING 713.70
		=== VENDOR TOTALS ===	713.70		
=====					
01-5313	TEMPLE CONSTRUCTION				
I-#03		85 CHARLES 3RD SECTION COMP	24,985.21		
12/18/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N	
		85 CHARLES 3RD SECTION COMP		215 4575-505-04	85 CHARLES ST 24,985.21
		=== VENDOR TOTALS ===	24,985.21		
		=== PACKET TOTALS ===	26,237.19		

PACKET: 06872 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

2024

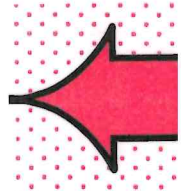
** T O T A L S **

INVOICE TOTALS	26,237.19
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	26,237.19
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** G/L ACCOUNT TOTALS **

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====		=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
2025		215-2020	ACCOUNTS PAYABLE	26,237.19-*				
		215-4573-335	HIST. INTERP. ARCHIVE DE	82.19	48,545	48,462.81		
		215-4575-505-04	85 CHARLES ST	24,985.21	0	24,985.21- Y		
		215-4576-630	PROFES. SERV. NEIGHBORH.	286.91	8,000	7,713.09		
		215-4641-423	PUBLISHING	713.70	24,450	23,736.30		
		215-4641-426	SUPPLIES	169.18	15,000	14,830.82		
		999-1306	DUE FROM FUND 215	26,237.19 *				
			** 2025 YEAR TOTALS	26,237.19				



APPROVED BY _____
 ON _____

12/23/2024 10:33 AM

A/P Regular Open Item Register

Section 4 Item a.

PACKET: 06872 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
215	1/2025	26,237.19

NO ERRORS

NO WARNINGS

** END OF REPORT **

TOTAL ERRORS: 0 TOTAL WARNINGS: 0



#82.19 215-4573-
#169.18 215-4641-426

Invoice

Invoice # 14W7-HN13-1G14 | December 19, 2024

2024

For customer support, visit www.amazon.com/contact-us.

Invoice summary

Payment due by January 18, 2025

Item subtotal before tax	\$ 251.37
Shipping & handling	\$ 6.99
Promos & discounts	(\$ 6.99)
Total before tax	\$ 251.37
Tax	\$ 0.00

Account # A3BPNEY7UQLZ8

Payment terms Net 30

Purchase date 13-Dec-2024

Purchased by Amy Greba

Amount due

\$ 251.37 USD

Registered business name

City of Deadwood Finance

Bill to

City of Deadwood
Jessica
102 Sherman St
Deadwood, SD 57732

Ship to

Amy Greba
108 SHERMAN ST
DEADWOOD, SD 57732-1309

Pay by

Electronic funds transfer (EFT/ACH/Wire)

Account name Amazon Capital Services, Inc
Bank name Wells Fargo Bank
ACH routing # (ABA) 121000248
Bank account # (DDA) 41630410663672221
SWIFT code (wire transfer) WFBIUS6S

Check

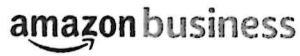
Amazon Capital Services
PO Box 035184
Seattle, WA 98124-5184

Include Amazon invoice number(s) in the descriptive field of your electronic funds transfer payment, or

Email ar-businessinvoicing@amazon.com to submit your remittance detail.

Invoice details

	Description	Qty	Unit price	Item subtotal before tax	Tax
1	Nestle Coffee mate Coffee Creamer, French Vanilla, Liquid Creamer Singles, Non Dairy, No Refrigeration, 0.375 fl oz Tubs (Pack of 180) ASIN: B00451U9Q0 Sold by: Amazon.com Services, Inc Order # 112-8500155-8566641	3	\$13.40	\$40.20	0.000%
2	Birch Wood Coffee/Beverage Stirrers 7" (1000 pack) Eco-Friendly Great For Your Coffee Nook. ASIN: B076TP8D8X Sold by: Gam zu latov inc Order # 112-8500155-8566641	1	\$14.95	\$14.95	0.000%



Invoice

Invoice # 14W7-HN13-1G14

	Description	Qty	Unit price	Item subtotal before tax	Tax
3	nutpods Winter Collection, 3-Pack of Unsweetened Dairy-Free Creamers (Pumpkin Spice, Peppermint Mocha, Holiday Nog) - Whole30, Gluten Free, Vegan ASIN: B086VQ36ZM Sold by: Green Grass Foods Inc. Order # 112-8500155-858841	1	\$14.95	\$14.95	0.000%
4	Nestle Coffee mate Coffee Creamer, Hazelnut, Liquid Creamer Singles, Non Dairy, No Refrigeration, 0.375 fl oz Tubs (Pack of 180) ASIN: B00451W1ZG Sold by: Amazon.com Services, Inc. Order # 112-8500155-858841	3	\$17.58	\$52.74	0.000%
5	Nestle Coffee mate Coffee Creamer, Original, Liquid Creamer Singles, Non Dairy, No Refrigeration, 0.375 fl oz Tubs (Pack of 180) ASIN: B00451S373 Sold by: Amazon.com Services, Inc. Order # 112-8500155-858841	2	\$23.17	\$46.34	0.000%
6	Lasko Oscillating Ceramic Tower Space Heater for Home with Adjustable Thermostat, Timer and Remote Control, 22.5 Inches, Grey/Black, 1500W, 751320 ASIN: B009TTSXN1 Sold by: Amazon.com Services, Inc. Order # 112-8500155-858841	1	\$65.21	\$65.21	0.000%
7	Griply Rubber Finger Tips Hand Grips Rubber Tip Finger Protector Finger Pads (Medium) ASIN: B07GRCW4JH Sold by: Amazon.com Services, Inc. Order # 112-8500155-858841	1	\$7.99	\$7.99	0.000%
8	10 Pieces Rubber Fingers with 1/2 Oz Fingertip Moistener, Non-Slip Fingertips Thick Reusable Finger Protector for Paper Bills Document Counting Collating Sorting Task ASIN: B08BFD9DNV Sold by: SHER ZHEN SHI YU CHENG WANDU/W&E# YOUXIANGONGSI Order # 112-8500155-858841	1	\$8.99	\$8.99	0.000%
9	Promotions & discounts			(\$6.99)	0.000%
10	Shipping & handling			\$6.99	0.000%

Total before tax	\$251.37
Tax	\$0.00

Robles Blackhawk mail invites to Neighbor-hood



DEADWOOD
68 SHERMAN ST
DEADWOOD, SD 57732-9998
(800)275-8777

12/06/2024 09:21 AM

Product	Qty	Unit Price	Price
Sailboats	36	\$0.56	\$20.16

Grand Total: \$20.16

Debit Card Remit \$20.16

Card Name: VISA
Account #: XXXXXXXXXXXX8578
Approval #
Transaction #: 009
Receipt #: 007852
Debit Card Purchase: \$20.16
AID: A0000000980840 Chip
AL: US DEBIT
PIN: Verified

Preview your Mail
Track your Packages
Sign up for FREE @
<https://informedelivery.usps.com>

All sales final on stamps and postage.
Refunds for guaranteed services only.
Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos>
or scan this code with your mobile device,



or call 1-800-410-7420.

UFN: 462214-0732
Receipt #: 840-55700304-2-2064802-1
Clerk: 08

0250

215-4

Section 4 Item a.

2024

You could win a \$1000 Gift Card!
Visit survey.walmart.com#7TP37KJQ1M5
For more details, see back of receipt.



WM Supercenter
605-642-2460 Mgr: COREY
2825 1ST AVE
SPEARFISH SD 57783

ST# 01543 OP# 005669 TE# 10 TR# 03293
ITEMS SOLD 41
TC# 3554 2329 3551 5939 1017 7



Rebo Grounds

4 rope lights

55.74

Gandy Colver

HOLIDAYLIGHT	076487864187	13.94 X
HOLIDAYLIGHT	076487864187	13.94 X
HOLIDAYLIGHT	076487864187	13.94 X
HOLIDAYLIGHT	076487864187	13.94 X
GV BFST TOU	019434620359 F	28.44 X
STICKY RICE	069511912013 F	3.97 X
36OZ CRSPY H	069511913333 F	9.97 X
EGGS 12CT	007874212707 F	3.97 X
LAYS WY REG	002840031046 F	5.41 X
CEREAL RTE	001600027563 F	4.98 X
HNYNTCHEROS	001600016968 F	4.93 X
SHARP CHED	007874215924 F	2.97 X
COLBY JACK	007874215923 F	2.97 X
GV TC 3 MEAT	019434613472 F	4.97 X
MUSHROOMS	007047500045 F	1.34 X
MUSHROOMS	007047500045 F	1.34 X
MUSHROOMS	007047500045 F	1.34 X
MUSHROOMS	007047500045 F	1.34 X
TOM SOUP 4PK	005100012939 F	3.98 X
KRFT DLX 3PK	002100005718 F	7.47 X
BP EVER BUNS	005040074041 F	3.18 X
BAKED BEANS	003940001969 F	2.14 X
CHEEZ WHIZ	002100062679 F	4.96 X
MANWICH	002700044205 F	1.36 X
HUNT TRAD	002700050006 F	1.34 X
PACKAGMEALS	065272971085 F	1.68 X
HLPR DBL MAC	065272971080 F	1.68 X
RITZ	004400003111 F	3.46 X
80 CHK GRBF	007874226954 F	6.93 X
80 CHK GRBF	007874226954 F	6.93 X
PREMIUM	004400000057 F	3.68 X
HOL COOKIES	007874212139 F	3.98 X
HOL COOKIES	007874212334 F	3.98 X
SALAD KIT	068113130515 F	3.48 X
MAND 3 BAG	007224013381 F	2.98 T
WAS 3.97	YOU SAVED 0.99	
BER CKN PAR	003100067067 F	10.77 X
FRMH THN CR	001410004853 F	3.97 X
NRVA 30CT	064786599547	29.67 X
BRDC RICE SC	004100002278 F	1.28 X
AREDS2 7OCT	032420869764H	26.58 X
BL ROAST	026272370868 F	8.68 X
SUBTOTAL		277.89
TAX 1	6.200 %	17.23
TOTAL		295.12
DEBIT TEND		295.12
CHANGE DUE		0.00

EFT DEBIT
295.12 TOTAL PURCHASE
US DEBIT ***** 0664 I O
REF # 434300279622
NETWORK ID. 0056 APPR CODE 002454
US DEBIT
AID A0000000980840
TC E562B5B7D566C08E
*Pin Verified
TERMINAL # SC011050

12/08/24 15:47:58



Get free delivery
from this store
with Walmart+

Scan for 30-day free trial.

Low Prices You Can Trust. Every Day.
12/08/24 15:48:05

1027

\$713.70

215 Section 4 Item a.



2024



PO Box 96
140 SHERMAN STREET
DEADWOOD, SD 57732

Please make check payable to :
M.S.Mail

Date	Invoice #
12/11/2024	14958

Invoice

Phone # 605-578-1429

E-mail: mail@rushmore.com

blackhillsmail.com

TAX ID # 46-5398815

Bill To
The City of Deadwood 102 Sherman St Deadwood SD 57732

P.O. No.	Terms	Order Date	Mail Date	Project
	Due on receipt	12/5/2024	12/9/2024	Print/mail

Description	Quantity	Rate	Amount
Printing #10 window envelopes for water bills, kept at MSMail	5,000	0.15	602-4330-750.00T 426
Printing 11x17 newsletter	720	0.90	713.70 648.00T
Bulk Mail Prep	657	0.10	215-46412 65.70T 427
Postage		394.86	394.86 602-4330-426
Subtotal			\$1,858.56
Sales Tax (0.0%)			\$0.00

Thanks and let's have a Great New Year!	Total	\$1,858.56
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5313

Section 4 Item a.

215 4215-

Temple Construction, LLC
745 N 8th st
Spearfish, SD
57783

85 Charles Invoice

(

For:
City of Deadwood
Historic Preservation
108 Sherman Street
Deadwood, SD 57732

Date: Dec 18, 2024
Balance Due: \$27,761.34

Item	Quantity	Rate	Amount
3rd section of work done, substantial project completion	1	\$27,761.34	\$27,761.34

Subtotal: \$27,761.34
Tax (0%): \$0.00
Total: \$27,761.34

- 10% 2,776.13
24,985.21

Notes:

Invoice assumes 10% of check withheld, and costs from unexpected additional work not included.

Current work completed on/by 12/23/2024 at 85 Charles Street, Deadwood, SD.

All concrete foundation walls and footers poured

All sill plates replaced/installed

All exterior sheathing replacement installed

Expected full project completion 12/27/2024 including: ground re-grading, anchoring bolts set through sill plates into new foundation walls, House set back down on new foundation walls at final level and site cleanup complete.

Historic Preservation Commission

Bill List - 2025

OPERATING ACCOUNT: Historic Preservation	
HP Operating Account Total:	\$ 20,040.00

Approved by _____ on ____/____/____
HP Chairperson

HPC	12/23/24
Batch	01/07/25

PACKET: 06873 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
ITEM DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-5053		TELLINGHUISEN, ROGER A.				

I-120924		2025 LOBBYING FEES	20,040.00			
12/09/2024	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N		
		2025 LOBBYING FEES		215 4572-235	VISITOR MGMT ADVOCATE	20,040.00
		=== VENDOR TOTALS ===	20,040.00			
		=== PACKET TOTALS ===	20,040.00			

5053

215-4

Section 4 Item b.

2025

ROGER A. TELLINGHUISEN

102 PORT NA HAVEN
 FORT PIERRE SD 57532
 TELEPHONE: 605-641-1694

December 9, 2025

DEADWOOD HISTORIC PRESERVATION

Re: 2025 Lobbying Fees

2025 Lobbyist Fee	\$20,000.00
6.2% Sales tax	(tax exempt)
Lobbyist Registration Fee	40.00
TOTAL AMOUNT NOW DUE	<u>\$20,040.00</u>

RAT

THANK YOU!

NOTICE: All accounts not paid within

PACKET: 06873 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

2025

** T O T A L S **

INVOICE TOTALS	20,040.00
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	20,040.00
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** G/L ACCOUNT TOTALS **

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
	2025	215-2020	ACCOUNTS PAYABLE	20,040.00-*					
		215-4572-235	VISITOR MGMT ADVOCATE	20,040.00	197,500	177,460.00		732,500	712,460.00
		999-1306	DUE FROM FUND 215	20,040.00 *					
			** 2025 YEAR TOTALS	20,040.00					

APPROVED BY _____
 ON _____



12/23/2024 10:33 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 06873 1/7/25 - HP OPERATING 202

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
215	1/2025	20,040.00

NO ERRORS

NO WARNINGS

** END OF REPORT **

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

Historic Preservation Commission

2024 Grant Funds

HP GRANT ACCOUNT: Historic Preservation	
HP Grant Account Total:	\$ 101,980.65

Approved by _____ on ___/___/___
HP Chairperson

Approved by _____ on ___/___/___
HP Officer

HPC	12/26/24
Batch	01/07/25

PACKET: 06871 01/07/25 - HP GRANTS - BA
VENDOR SET: 01 CITY OF DEADWOOD
SEQUENCE : ALPHABETIC
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-5362	EMILY COSTOPOULOS LLC					

I-121924		745 MAIN FACADE PROGRAM	101,950.65			
1/07/2025	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N		
		745 MAIN FACADE PROGRAM		216 4653-962-05	FACADE EASEMENT EXPENSE	101,950.65
		=== VENDOR TOTALS ===	101,950.65			
=====						
01-1496	LAWRENCE CO. REGISTER OF DEEDS					

I-121924		REC FEE 745 MAIN COSTOPOULOS	30.00			
1/07/2025	FNBAP	DUE: 1/07/2025 DISC: 1/07/2025		1099: N		
		REC FEE 745 MAIN COSTOPOULOS		216 4653-962-05	FACADE EASEMENT EXPENSE	30.00
		=== VENDOR TOTALS ===	30.00			
		=== PACKET TOTALS ===	101,980.65			

12/20/2024 8:34am

HP REVOLVING LOAN FUND
 A/P Invoices Report
 12/1/2024 - 12/31/2024
 Batch = 2

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Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
12/2024								
The Handyman - 2040 - 12/23/2024 - 4,234.75 - Batch: 2 - Header Memo: Work Done-9 Shine St-Emrick								
Work Done-9 Shine St-Emrick	100	1201				NOTES RECEIVABLE	4,234.75	
Work Done-9 Shine St-Emrick	100	2000				ACCOUNTS PAYABLE		4,234.75
Total:							<u>4,234.75</u>	<u>4,234.75</u>
The Handyman - 2047 - 12/23/2024 - 5,673.92 - Batch: 2 - Header Memo: Work Done-9 Shine St-Emrick								
Work Done-9 Shine St-Emrick	100	1201				NOTES RECEIVABLE	5,673.92	
Work Done-9 Shine St-Emrick	100	2000				ACCOUNTS PAYABLE		5,673.92
Total:							<u>5,673.92</u>	<u>5,673.92</u>
TWIN CITY HARDWARE - VARIOUS FAIRBURN 12 - 12/23/2024 - 4,993.95 - Batch: 2 - Header Memo: Materials-57 Forest-Fairburn								
Materials-57 Forest-Fairburn	100	1201				NOTES RECEIVABLE	4,993.95	
Materials-57 Forest-Fairburn	100	2000				ACCOUNTS PAYABLE		4,993.95
Total:							<u>4,993.95</u>	<u>4,993.95</u>
Total:							<u>14,902.62</u>	<u>14,902.62</u>
Report Total:							<u>14,902.62</u>	<u>14,902.62</u>

Deadwood HP Total Loans	
11/29/2024	
Accounting Balance (Fund EZ)	This Month
Loans per Balance Sheet - Acct 100-1201	\$2,323,445.11
TOTAL	\$ 2,323,445.11
Loan Base:	This Month
Investor Trial Balance Report	\$ 2,310,129.69
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
11/26/2024 Meeting Packet	\$1,970.70 Greenlee
	\$844.72 Fariburn
TOTAL	\$ 2,323,445.11
	Difference \$ -

Deadwood HP Total Loans	
11/29/2024	
Accounting Balance (Fund EZ)	
Loans per Balance Sheet	\$2,323,445.11
TOTAL	\$ 2,323,445.11
Loan Base:	
Pool Trial Balance Report	\$ 2,310,129.69
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
11/26/2024 Meeting Packet	\$1,970.70 Greenlee
	\$844.72 Fariburn
TOTAL	\$ 2,323,445.11
	Difference \$ -

12/5/2024 1:13pm

HP REVOLVING LOAN FUND
Balance Sheet
As of Date: 11/30/2024

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	Current Year	Prior Year
Assets		
Current Assets		
CASH-SAVINGS	935,678.54	1,822,595.55
CASH-INVESTED	794,785.67	775,014.09
ACCRUED INTEREST RECEIVABLE	1,536.42	1,536.42
LATE FEES RECEIVABLE	3,986.87	3,986.87
Total Current Assets	<u>1,735,987.50</u>	<u>2,603,132.93</u>
Other Assets		
NOTES RECEIVABLE	2,323,445.11	2,263,977.95
Total Other Assets	<u>2,323,445.11</u>	<u>2,263,977.95</u>
Total Assets	<u><u>4,059,432.61</u></u>	<u><u>4,867,110.88</u></u>
Liabilities & Net Assets		
Liabilities		
Current Liabilities		
Allowance for Uncollected	(39,698.34)	(19,698.34)
ACCOUNTS PAYABLE	(1,449.34)	(1,449.34)
YE Accounts Payable	1,449.34	1,449.34
Total Current Liabilities	<u>(39,698.34)</u>	<u>(19,698.34)</u>
Total Liabilities	<u>(39,698.34)</u>	<u>(19,698.34)</u>
Net Assets		
NET ASSETS	4,608,323.95	4,608,323.95
Fund Balance	56,035.78	56,035.78
NET EARNINGS(LOSS)	(2,442,958.87)	(1,655,280.60)
PRIOR YEAR EARNINGS (LOSS)	116,204.47	116,204.47
HP BUDGET	(13,474.38)	(13,474.38)
PRIOR YEAR HP BUDGET	1,775,000.00	1,775,000.00
Total Net Assets	<u>4,099,130.95</u>	<u>4,886,809.22</u>
Total Liabilities & Net Assets	<u><u>4,059,432.61</u></u>	<u><u>4,867,110.88</u></u>

12/5/2024 1:14pm

HP REVOLVING LOAN FUND
Statement of Revenue and Expense
Current Period: 11/1/2024 - 11/30/2024
Year-to-Date: 1/1/2024 - 11/30/2024

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	Current Year Current Period	Current Year Year-to-Date	Prior Year Current Period	Prior Year Year-to-Date
Revenue				
PERM LOAN INTEREST	1,971.53	23,443.74	1,343.68	10,925.05
SAVINGS INTEREST	3,660.37	60,326.84	3,671.46	24,520.96
SERVICE FEES	185.00	2,354.30	300.00	2,885.00
LATE FEES	25.00	460.35	109.12	801.93
APPLICATION FEES	998.00	15,557.66	2,658.30	21,603.09
CLOSING COSTS	394.39	4,664.27	285.96	5,485.10
Total Revenue	7,234.29	106,807.16	8,368.52	66,221.13
Expenses				
PROF & ADMIN FEES	3,000.00	31,859.50	3,000.00	39,109.75
CLOSING COSTS DISBURSE	120.00	3,980.93	150.00	4,460.20
Ghost Mural Grant Expense	0.00	0.00	0.00	16,028.44
Foundation Grant Expense	620.00	30,310.00	3,887.69	13,887.69
Windows Grant Expense	0.00	38,344.67	13,870.42	26,711.74
Elderly Grant Expense	0.00	32,385.15	8,426.61	36,753.91
Siding Grant Expense	0.00	46,174.46	188.60	31,255.50
Facade Grant Expense	60.00	633,990.00	0.00	0.00
Loss on asset	0.00	0.00	0.00	5,897.08
Total Expenses	3,800.00	817,044.71	29,523.32	174,104.31
Excess or (Deficiency) of Revenue Over Expenses	3,434.29	(710,237.55)	(21,154.80)	(107,883.18)

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Date: 11/30/2023

TRIAL BALANCE: POOLS

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Range Of Investors
All Pools
NHS of Black Hills
Version: 3.1.22

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HP POOL #: C0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPC0DWDH	HPC0DWDH	Deadwood Histor	2	0	10/01/23	11/01/23	10/04/23	0.0000	No	0.0000	Curr	0.0000	416.67	19180.00	0.00	0.00
LIFE SAFTY	HPLSNGT07	Nugget Saloon L	2	0	12/01/23	01/01/24	11/27/23	0.0000	No	0.0000	Curr	0.0000	165.72	28238.07	0.00	0.00
Group Totals:													582.39	47418.07	0.00	0.00
>>> INVESTOR #: HP POOL #: C5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPCRLNUGC	HPCRLNUGG	Nugget Saloon,	2	0	11/27/23	01/01/24	11/29/23	5.0000	No	5.0000	Curr	0.0000	1212.84	225930.26	0.00	0.00
Group Totals:													1212.84	225930.26	0.00	0.00
>>> INVESTOR #: HP POOL #: CUFR DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPCUPFLA	HPCUPFLAL	Deadwood Main,	2	0	11/01/23	12/01/23	11/03/23	0.0000	No	0.0000	Curr	0.0000	1041.67	231249.94	0.00	0.00
Group Totals:													1041.67	231249.94	0.00	0.00
>>> INVESTOR #: HP POOL #: R0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPLSKIR	HPLSKIR	Kirkpatrick,Eli	2	0	12/01/23	01/01/24	11/08/23	0.0000	No	0.0000	Curr	0.0000	104.17	8805.00	0.00	0.00
HPLSRLPON	HPLSRLPON	Pontius,James	2	0	11/01/23	12/01/23	11/15/23	0.0000	No	0.0000	Curr	0.0000	113.04	1660.64	0.00	0.00
HPR0SJOM	HPR0SJOM	Sjomeling,Danie	2	0	11/01/23	12/01/23	11/20/23	0.0000	No	0.0000	Curr	0.0000	136.43	13642.85	0.00	0.00
HPRLFKN1	HPRLFKN1	Knipper,Anita	2	0	12/01/23	01/01/24	11/27/23	0.0000	No	0.0000	Curr	0.0000	208.33	15833.48	0.00	0.00
HPRLF5K5	HPRLF5K5	Knox,Shanna	2	0	11/01/23	12/01/23	11/15/23	0.0000	No	0.0000	Curr	0.0000	104.17	19062.31	0.00	0.00
HPRLLSWES	HPRLLSWES	Westendorf,Rand	2	0	11/01/23	12/01/23	11/01/23	0.0000	No	0.0000	Curr	0.0000	166.67	11420.00	0.00	0.00
LIFE SAFTY	HPRLSBLOO	Bloom,Kevin	2	0	12/01/23	01/01/24	11/28/23	0.0000	No	0.0000	Curr	0.0000	104.17	21944.80	0.00	0.00
LIFE SFTY	HPRLSBRE	Breland,Philip	2	0	12/01/23	01/01/24	11/21/22	0.0000	No	0.0000	Curr	0.0000	416.67	19999.96	0.00	0.00
HPRLSCOUF	HPRLSCOUP	Paha Sapa Holdi	2	0	11/01/23	12/01/23	11/13/23	0.0000	No	0.0000	Curr	0.0000	138.89	24305.55	0.00	0.00
HPRLSFAS	HPRLSFAS	Fasnacht,Glenn	2	0	11/01/23	12/01/23	11/02/23	0.0000	No	0.0000	Curr	0.0000	160.55	16055.16	0.00	0.00
LIFE SFTY	HPRLSGREE	Greenlee,Benjam	2	0	11/01/23	12/01/23	11/03/23	0.0000	No	0.0000	Curr	0.0000	416.67	24583.33	0.00	0.00
HPRLSHERT	HPRLSHERT	Herd,David	2	0	11/01/23	12/01/23	11/01/23	0.0000	No	0.0000	Curr	0.0000	208.33	17708.45	0.00	0.00
LIFE SAFTY	HPRLSJNWM	Johnson,Michael	2	0	12/01/23	01/01/24	11/29/23	0.0000	No	0.0000	Curr	0.0000	138.89	23333.32	0.00	0.00
Life Sfty	HPRLSJHON	Johnson,Joette	2	0	11/01/23	12/01/23	11/02/23	0.0000	No	0.0000	Curr	0.0000	138.89	45951.10	0.00	0.00
LIFE SAFTY	HPRLSPOTT	Cara Mia Llc,Ca	2	0	12/01/23	01/01/24	11/29/23	0.0000	No	0.0000	Curr	0.0000	208.33	23958.35	0.00	0.00
HPRLSRICH	HPRLSRICH	Richerson,Jacqu	2	0	12/01/23	01/01/24	11/08/23	0.0000	No	0.0000	Curr	0.0000	364.40	20406.48	0.00	0.00
HPRLSRITZ	HPRLSRITZ	Ritz,Jody	2	0	12/01/23	01/01/24	11/27/23	0.0000	No	0.0000	Curr	0.0000	51.77	4839.55	0.00	0.00
HPRLSSMIT	HPRLSSMIT	Smith,Gordon	2	0	01/01/24	02/01/24	11/17/23	0.0000	No	0.0000	Curr	0.0000	145.68	8449.64	0.00	0.00
LIFE SAFTY	HPRLSTHOM	Thompson li,Mar	2	0	12/01/23	01/01/24	11/13/23	0.0000	No	0.0000	Curr	0.0000	104.17	24166.64	0.00	0.00

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TRIAL BALANCE: POOLS

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Range Of Investors
All Pools

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Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
HPRLSTHOF	HPRLSTHOR	Thoresen,Skylar	2	0	11/01/23	12/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	31.12	1350.88	0.00	0.00
HPRLSTREN	HPRLSTREN	Trentz,Sylvia	2	0	11/01/23	12/01/23	11/08/23	0.0000	No	0.0000	Curr	0.0000	96.47	21320.50	0.00	0.00
Life SFTY	HPRLSUNDE	Underhill,Ronal	2	0	11/01/23	12/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	104.17	21731.15	0.00	0.00
HPRLSWEB	HPRLSWEB	Weber,Todd	2	0	12/01/23	01/01/24	11/08/23	0.0000	No	0.0000	Curr	0.0000	66.43	14548.00	0.00	0.00
HPRRLBUS	HPRRLBUS	Bussiere,Erica	2	0	10/01/23	11/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	60.78	5213.76	0.00	0.00
LS	HPRRLFGRI	Griffith,Nyla	2	0	11/01/23	12/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	293.98	17344.91	0.00	0.00
LIFE SAFEY	HPSLRUNG	Runge,Michael	2	0	12/01/23	01/01/24	11/20/23	0.0000	No	0.0000	Curr	0.0000	208.33	9400.00	0.00	0.00
Group Totals:													4291.50	437035.81	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRRPVCOI	HPRRPVCOU	Paha Sapa Holdi	2	0	11/03/23	12/01/23	11/09/23	3.0000	No	3.0000	Curr	0.0000	111.88	16201.39	0.00	0.00
PRESERVAT	HPRPRVJOH	Johnson,Michael	2	0	12/01/23	01/01/24	11/29/23	3.0000	No	3.0000	Curr	0.0000	172.65	23659.88	0.00	0.00
Preservatn	HPRRPVPOT	Cara Mia Llc,Ca	2	0	12/01/23	01/01/24	11/29/23	3.0000	No	3.0000	Curr	0.0000	241.40	23898.21	0.00	0.00
HPRPRVRIC	HPRPRVRIC	Richerson,Jacqu	2	0	12/01/23	01/01/24	11/08/23	3.0000	No	3.0000	Curr	0.0000	329.96	23897.70	0.00	0.00
HPRPSVHOI	HPRPSVHOH	Hohn,John	2	0	12/01/23	01/01/24	11/13/23	3.0000	No	3.0000	Curr	0.0000	126.97	8251.00	0.00	0.00
PRESV 3	HPRPVUND3	Underhill,Ronal	2	0	11/01/23	12/01/23	11/06/23	3.0000	No	3.0000	Curr	0.0000	138.65	24073.53	0.00	0.00
HPRREFALL	HPRREFALL	Allen,Jesse	2	0	11/01/23	12/01/23	11/29/23	3.0000	No	3.0000	Curr	0.0000	103.56	17431.39	0.00	0.00
HPRREFGAT	HPRREFGAT	Gathmann,Naomi	2	0	11/01/23	12/01/23	11/09/23	3.0000	No	3.0000	Curr	0.0000	139.02	12027.12	0.00	0.00
Group Totals:													1364.09	149440.22	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRPRSCH	HPRPRSCH	Schramm,Steven	2	0	12/01/23	01/01/24	11/06/23	3.5000	No	3.5000	Curr	0.0000	60.83	5616.23	0.00	0.00
Prsv 1	HPRPRSUN1	Underhill,Ronal	2	0	11/01/23	12/01/23	11/06/23	3.5000	No	3.5000	Curr	0.0000	144.99	22626.76	0.00	0.00
HPRPRVSJC	HPRPRVSJO	Sjomeling,Danie	2	0	11/01/23	12/01/23	11/20/23	3.5000	No	3.5000	Curr	0.0000	131.85	21386.05	0.00	0.00
Prsv 2	HPRPVUN2	Underhill,Ronal	2	0	11/01/23	12/01/23	11/06/23	3.5000	No	3.5000	Curr	0.0000	144.99	23056.17	0.00	0.00
Group Totals:													482.66	72685.21	0.00	0.00
>>> INVESTOR #: HP POOL #: R4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
REFI LS	HPLSLEWIS	Lewis,Tracy	2	0	11/01/23	12/01/23	11/13/23	4.0000	No	4.0000	Curr	0.0000	113.24	20966.82	0.00	0.00
HPRLFFS47	HPRLFFS47	Fosso,Bonnie R	2	0	11/01/23	12/01/23	11/15/23	4.0000	No	4.0000	Curr	0.0000	119.29	21895.07	0.00	0.00
HPRLFLWS4	HPRLFLWS4	Lewis,Tracy	2	0	11/01/23	12/01/23	11/13/23	4.0000	No	4.0000	Curr	0.0000	26.88	4661.41	0.00	0.00
PRESV	HPRPRLFJO	Johnson,Joette	2	0	11/01/23	12/01/23	11/02/23	4.0000	No	4.0000	Curr	0.0000	119.35	23892.20	0.00	0.00
HPRRLMOR	HPRRLMORG	Morgan,Richard	2	0	11/01/23	12/01/23	11/03/23	4.0000	No	4.0000	Curr	0.0000	247.95	16107.21	0.00	0.00
HPRRLOLSN	HPRRLOLSN	Olson,Steven	2	0	11/01/23	12/01/23	11/09/23	4.0000	No	4.0000	Curr	0.0000	110.89	7846.30	0.00	0.00
HPRRLTHOM	HPRRLTHOM	Thompson,Lee	2	0	11/01/23	12/01/23	11/08/23	4.0000	No	4.0000	Curr	0.0000	268.84	18850.80	0.00	0.00

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TRIAL BALANCE: POOLS

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Range Of Investors
All Pools

NHS of Black Hills

Version: 3.1.22

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
Group Totals:													1006.24	114219.81	0.00	0.00
>>> INVESTOR #: HP POOL #: R5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRLSCHMI	HPRLSCHMI	Schmidt, Mike	2	0	11/01/23	12/01/23	11/06/23	5.0000	No	5.0000	Curr	0.0000	506.82	23590.27	0.00	0.00
PRSV	HPRPSVGRE	Greenlee, Benjam	2	0	11/01/23	12/01/23	11/03/23	5.0000	No	5.0000	Curr	0.0000	353.35	24750.88	0.00	0.00
Group Totals:													860.17	48341.15	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP POOL INFORMATION NOT SET UP																
FOUNDATIOI	CHPRFNDBY	Byrne, Tiffany	11	1	10/17/23	02/01/24	10/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
Life Safty	CHPRLSBOB	The Fht Company	11	1	03/04/22	12/01/23	05/02/23	0.0000	No	0.0000	Curr	0.0000	0.01	5852.74	0.00	0.00
LIFE SFTY	CHPRLSBY	Byrne, Tiffany	11	1	11/07/23	02/01/24	11/07/23	0.0000	No	0.0000	Curr	0.0000	0.01	1143.23	0.00	0.00
PRESERVN	CHPRPRV7E	The Fht Company	11	1	01/01/23	12/01/23	05/02/23	0.0000	No	0.0000	Curr	0.0000	0.01	15037.56	0.00	0.00
PRESERVAT	CHPRPVBYR	Byrne, Tiffany	11	1	02/07/22	02/01/24	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	2300.67	0.00	0.00
RW Payable	CHPRRW0ER	Emrick Real Est	11	1	08/22/22	01/01/24	08/22/22	0.0000	No	0.0000	Curr	0.0000	0.01	2368.69	0.00	0.00
SIDING	CHPRSIDBY	Byrne, Tiffany	11	1	01/26/22	02/01/24	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
VACANT HM	CHPRVACBY	Byrne, Tiffany	11	1	04/19/22	02/01/24	11/07/23	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
WINDOWS	CHPRWIN7E	The Fht Company	11	1	03/02/22	12/01/23	03/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WINDOWS	CHPRWINBL	Blair, Christoph	11	1	10/03/23	05/01/24	10/03/23	0.0000	No	0.0000	Curr	0.0000	0.01	2134.49	0.00	0.00
WINDOWS	CHPRWINBY	Byrne, Tiffany	11	1	01/26/22	02/01/24	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Windows	CHPRWINBRE	Breland, Philip	11	1	11/21/23	04/01/24	11/21/23	0.0000	No	0.0000	Curr	0.0000	0.01	7000.00	0.00	0.00
LIFE SAFTY	HPRLSDRAG	Dragon Belly, L	11	1	12/02/22	05/01/24	12/21/22	0.0000	No	0.0000	Curr	0.0000	0.01	2806.84	0.00	0.00
Group Totals:													0.13	58644.22	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP-R DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
FOUNDATIOI	CHPFNDMCF	Mcfarland, Danik	11	1	07/10/23	07/01/24	07/10/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
FND	CHPRFNDF	Fairbairn, Nancy	11	1	08/23/23	09/01/24	08/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
FND	CHPRFNDHE	Heckman, Kyle	11	1	08/28/23	08/01/24	08/29/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
LS RIP	CHPRLSDRU	Drummond, Nichol	11	1	09/20/23	10/01/24	11/07/23	0.0000	No	0.0000	Curr	0.0000	0.01	10975.78	0.00	0.00
LIFE SFTY	CHPRLSEMA	Emanuel, Karl	11	1	09/26/23	09/01/24	09/26/23	0.0000	No	0.0000	Curr	0.0000	0.01	859.00	0.00	0.00
LF SFTY	CHPRLSFAI	Fairbairn, Nancy	11	1	08/22/23	09/01/24	08/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
LIFE SFTY	CHPRLSHE	Heckman, Kyle	11	1	08/28/23	08/01/24	08/29/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
LIFE SFTY	CHPRLSPAR	Parham, Michael	11	1	09/20/23	10/01/24	09/20/23	0.0000	No	0.0000	Curr	0.0000	0.01	1523.96	0.00	0.00
PRSV	CHPRPRVFA	Fairbairn, Nancy	11	1	08/23/23	09/01/24	08/23/23	0.0000	No	0.0000	Curr	0.0000	0.01	4205.92	0.00	0.00
PRSV	CHPRPRVHE	Heckman, Kyle	11	1	08/30/23	08/01/24	08/30/23	0.0000	No	0.0000	Curr	0.0000	0.01	2651.96	0.00	0.00
RW PAYABLE	CHPRRWPSH	Shama, Larry	11	1	05/19/23	06/01/24	05/19/23	0.0000	No	0.0000	Curr	0.0000	0.01	3616.29	0.00	0.00

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SIDING	CHPRSIDFA	Fairbairn,Nancy	11	1	08/23/23	09/01/24	08/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
SIDING	CHPRSIDHE	Heckman,Kyle	11	1	08/28/23	08/01/24	08/29/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
VACANT	CHPRVACFA	Fairbairn,Nancy	11	1	08/23/23	09/01/24	08/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
VAC HOME	CHPRVACMC	Mcfarland,Danik	11	1	10/17/23	07/01/24	10/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
VAC	CHPRVACPA	Parham,Michael	11	1	09/01/23	10/01/24	09/20/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WIN 770	CHPRWI770	Dragon Belly, L	11	1	03/08/23	02/01/24	05/02/23	0.0000	No	0.0000	Curr	0.0000	0.01	1507.96	0.00	0.00
WIN 772	CHPRWI772	Dragon Belly, L	11	1	05/02/23	02/01/24	05/16/23	0.0000	No	0.0000	Curr	0.0000	0.01	1769.70	0.00	0.00
WIN	CHPRWINFA	Fairbairn,Nancy	11	1	08/23/23	09/01/24	08/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.19	37110.57	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRRWOMIK	HPRRWOMIK	Mikla,Christine	2	0	12/01/23	01/01/24	11/29/23	0.0000	No	0.0000	Curr	0.0000	164.59	32969.17	0.00	0.00
RW PAYABLE	HPRRW0OWE	Owens,Tracy	2	0	11/01/23	12/01/23	11/08/23	0.0000	No	0.0000	Curr	0.0000	118.98	27245.82	0.00	0.00
HPRRW PSTI	HPRRW PSTE	Sternhagen,Aaro	2	0	11/01/23	12/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	167.48	9546.39	0.00	0.00
HPRWCOOV	HPRWCOOM0	Coomes,Tim	2	0	11/01/23	12/01/23	11/01/23	0.0000	No	0.0000	Curr	0.0000	146.44	9371.78	0.00	0.00
RW Payable	HPRWOREAU	Reausaw,Bernie	2	0	01/01/24	02/01/24	11/13/23	0.0000	No	0.0000	Curr	0.0000	740.68	15554.45	0.00	0.00
RW PAYABLE	HPRWPGASR	Gaspar Iii,Jose	2	0	12/01/23	01/01/24	11/29/23	0.0000	No	0.0000	Curr	0.0000	252.24	15386.65	0.00	0.00
RW PAYABLE	HPRWPPWEB	Weber,Todd	2	0	11/01/23	12/01/23	11/06/23	0.0000	No	0.0000	Curr	0.0000	161.58	13088.29	0.00	0.00
Group Totals:													1751.99	123162.55	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRWSWAN	HPRWSWAN2	Swaney,David	2	0	11/01/23	12/01/23	11/08/23	4.0000	No	4.0000	Curr	0.0000	60.22	11242.59	0.00	0.00
Group Totals:													60.22	11242.59	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CLIENT RW	HPRWBOB05	Bobolz,Lance	2	0	11/01/23	12/01/23	11/13/23	5.0000	No	5.0000	Curr	0.0000	116.04	13673.97	0.00	0.00
Group Totals:													116.04	13673.97	0.00	0.00
>>> INVESTOR #: HP POOL #: RSFND DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPCFNDKNI	HPCFNDKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	9970.52	0.00	0.00
HPFND771	HPFND770	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9461.50	0.00	0.00
HPFND772	HPFND772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9817.75	0.00	0.00
HPFNDHILL	HPFNDHILL	Hills Partnersh	2	0	12/30/19	11/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	8250.95	0.00	0.00
Foundation	HPFNDPOT	Cara Mia, Lic,C	2	0	10/24/22	10/01/32	10/27/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FND	HPFND7EM	The Fht Company	2	0	05/09/23	05/01/33	05/10/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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FOUNDATIO	HPRFNDBOB	The Fhe Company	2	0	11/30/32	12/01/32	12/02/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIO	HPRFNDBRE	Breland,Philip	2	0	11/11/22	11/01/32	11/11/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIO	HPRFNDBUS	Bussiere,Erica	2	0	12/24/20	01/01/31	12/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FND	HPRFNDGRE	Greenlee,Benjam	2	0	09/29/23	10/01/33	10/03/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRFNDOH	HPRFNDOH	Hohn,John	2	0	10/23/22	11/01/32	10/24/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIO	HPRFNDJOH	Johnson,Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Foundation	HPRFNDMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRFNDSMI	HPRFNDSMI	Smith,Gordon	2	0	10/23/23	10/01/33	10/26/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATIO	HPRFNDDUND	Underhill,Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	147500.72	0.00	0.00
>>> INVESTOR #: HP POOL #: RSPE DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPSNEBR	CHPSNEBRG	Berg,Tim	11	1	11/18/15	11/12/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	5691.42	0.00	0.00
CHPSNEWO	CHPSNEWOO	Wood,George F.	11	1	02/06/14	01/30/24	04/01/14	0.0000	No	0.0000	Curr	0.0000	0.01	7155.88	0.00	0.00
CHPSPEJO	CHPSPEJO	Sjomeling,Rober	11	1	06/19/14	03/21/24	07/24/14	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SNE	HPSNEWHTD	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.03	32847.30	0.00	0.00
>>> INVESTOR #: HP POOL #: RSSID DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPSIDCOO	CHPSIDCOO	Coomes,Tim	11	1	03/13/14	02/24/24	05/04/21	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
CHPSIDJLS	CHPSIDJLS	Julius,Thomas	11	1	08/16/16	09/09/25	01/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2937.88	0.00	0.00
CHPSIDLW0	CHPSIDLW0	Lewis,Tracy	2	0	03/20/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDSHP	CHPSIDSHP	Shepherd,Lanny	11	1	11/18/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6997.50	0.00	0.00
CHPSIDWRT	CHPSIDWRT	Wright,Alan	11	1	04/08/15	09/17/24	08/06/15	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
SIDING	HPRSID106	Oberlander,Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRSIDANT	HPRSIDANT	Antrim,James	2	0	07/02/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDBL0	Bloom,Kevin	2	0	10/23/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	5834.70	0.00	0.00
HPRSIDBRE	HPRSIDBRE	Breland,Philip	2	0	11/30/23	12/01/33	11/30/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDCOU	Paha Sapa Holdi	2	0	03/07/23	04/01/33	03/21/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDJOH	Johnson,Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDUND	Underhill,Ronal	2	0	10/17/22	11/01/32	10/24/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPSID770	HPSID700	Dragon Belly, L	2	0	03/24/20	03/01/30	03/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3331.80	0.00	0.00
HPSIDKNI	HPSIDKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPSIDMT0	HPSIDMT0	Smith,Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SIDING	HPSIDWHT0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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Group Totals:													0.05	139101.88	0.00	0.00
>>> INVESTOR #: HP POOL #: RSWIN DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPWINJL2	CHPWINJL2	Julius,Thomas	11	1	08/02/16	04/27/26	09/28/17	0.0000	No	0.0000	Curr	0.0000	0.01	15066.88	0.00	0.00
CHPWINLW0	CHPWINLW0	Lewis,Tracy	2	0	03/17/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	8268.42	0.00	0.00
CHPWINMRS	CHPWINMRS	Morris,Wayne	11	1	08/26/15	08/26/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	4536.00	0.00	0.00
CHPWINSHF	CHPWINSHF	Shepherd,Lanny	11	1	12/23/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2940.00	0.00	0.00
HPCWINKNI	HPCWINKNI	Knipper,Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WINDOW	HPRWIN106	Oberlander,Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3200.00	0.00	0.00
HPRWINANT	HPRWINANT	Antrim,James	2	0	07/01/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
HPRWINCOL	HPRWINCOU	Paha Sapa Holdi	2	0	04/01/32	05/01/33	05/05/23	0.0000	No	0.0000	Curr	0.0000	0.00	11400.00	0.00	0.00
HPRWINHOF	HPRWINHOH	Hohn,John	2	0	11/08/23	12/01/33	11/15/23	0.0000	No	0.0000	Curr	0.0000	0.00	9500.00	0.00	0.00
WINDOWS	HPRWINJOH	Johnson,Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	16800.00	0.00	0.00
Windows	HPRWINMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/28/20	0.0000	No	0.0000	Curr	0.0000	0.00	19850.00	0.00	0.00
WINDOWS	HPRWINPOT	Cara Mia Lic,Ca	2	0	06/23/23	06/01/33	07/03/23	0.0000	No	0.0000	Curr	0.0000	0.00	7237.90	0.00	0.00
Windows	HPRWINUND	Underhill,Ronal	2	0	11/22/23	11/01/33	11/22/23	0.0000	No	0.0000	Curr	0.0000	0.00	2271.93	0.00	0.00
HPWIN772	HPWIN772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	6660.40	0.00	0.00
HPWINBOB0	HPWINBOB0	The Fhe Company	2	0	05/14/20	05/01/30	05/14/20	0.0000	No	0.0000	Curr	0.0000	0.00	18000.00	0.00	0.00
HPWINHILL	HPWINHILL	Hills Partnersh	2	0	12/30/19	12/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	751.56	0.00	0.00
HPWINKIN	HPWINKIN	Kinkler,Brian	2	0	01/17/20	02/01/30	01/17/20	0.0000	No	0.0000	Curr	0.0000	0.00	1600.00	0.00	0.00
HPWINPET	HPWINPET	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	13718.64	0.00	0.00
HP WIN	HPWINREA0	Reausaw,Bernie	2	0	11/01/18	11/01/28	12/18/18	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WIN FORG	HPWINSHAM	Shama,Larry	2	0	10/01/17	09/01/27	11/10/17	0.0000	No	0.0000	Curr	0.0000	0.00	16793.63	0.00	0.00
HPWINSMT0	HPWINSMT0	Smith,Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	3200.00	0.00	0.00
HP WINDOW	HPWINWHT0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.04	231795.36	0.00	0.00
>>> INVESTOR #: HP POOL #: RVAC DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPVBLOOM	CHPVBLOOM	Bloom,Kevin D.	11	1	09/19/14	12/01/23	10/31/13	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
VAC HOME	HPRVACBO	The Fht Company	2	0	05/09/23	05/01/33	05/10/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HOME	HPRVACJOH	Johnson,Michael	2	0	11/18/22	11/01/32	11/18/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT	HPRVACPOT	Cara Mia Lic,Ca	2	0	10/24/22	10/01/32	10/27/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT	HPRVACTHO	Thompson II,Mar	2	0	02/13/23	02/01/33	02/13/23	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VAC HM	HPRVACUND	Underhill,Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRVACWEB	HPRVACWEB	Weber,Todd	2	0	07/02/21	07/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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VACANT LN	HPVACBIAL	Bialas,Kurt	2	0	03/01/18	03/01/28	03/05/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVANCMJN	HPVANCMJ0	Johnson,Michael	2	0	12/01/18	12/01/28	12/12/18	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVCNTBLV	HPVCNTBLM	Bloom,Christoph	2	1	08/18/16	08/18/26	10/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP VACANT	HPVCNWH0	White,V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.01	110000.00	0.00	0.00
Investor Totals:													12770.26	2231399.63	0.00	0.00

>>> INVESTOR #: HPRW POOL #: PERM DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual Payrr

CITY RW	CONRWBOB0	Bobolz,Lance	11	1	12/01/17	12/01/27	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	18042.61	0.00	0.00
CONRWCOB	CONRWCOOM	Coomes,Tim	11	1	02/11/19	03/01/29	02/11/19	0.0000	No	0.0000	Curr	0.0000	0.01	67491.73	0.00	0.00
CONRWFEN	CONRWFEN0	Fenton,Kris	11	1	06/13/18	06/01/28	07/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	17584.40	0.00	0.00
CONRWMIKL	CONRWMIKL	Mikla,Christine	2	0	03/08/21	04/01/26	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.00	91445.00	0.00	0.00
RW GRANT	CONRWOLS	Olson,Steven	11	1	12/21/17	12/01/23	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	91133.36	0.00	0.00
RW Forgiv	CONRWREAU	Reausaw,Bernie	2	0	09/24/20	10/01/30	09/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	105468.23	0.00	0.00
CONRWWWH	CONRWWWHI	White,V. Caroly	11	1	09/20/16	09/20/26	09/26/16	0.0000	No	0.0000	Curr	0.0000	0.01	90073.00	0.00	0.00
CRW GRANT	CONRWWHT2	White,V. Caroly	11	1	10/18/17	11/01/27	11/08/17	0.0000	No	0.0000	Curr	0.0000	0.01	8699.04	0.00	0.00
CITY RW	HPCONBOBO	Bobolz,Lance	11	1	01/01/18	01/01/28	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	199815.00	0.00	0.00
RW FORG	HPRRWCOWE	Owens,Tracy	2	0	11/16/22	11/01/27	11/16/22	0.0000	No	0.0000	Curr	0.0000	0.00	103803.20	0.00	0.00
HPRRWFTE	HPRRWFTE	Sternhagen,Aaro	2	0	08/02/23	08/01/33	08/02/23	0.0000	No	0.0000	Curr	0.0000	0.00	8670.00	0.00	0.00
RW CITY	HPRWCSHEP	Shepherd,Lanny	2	0	11/13/20	10/01/30	11/13/20	0.0000	No	0.0000	Curr	0.0000	0.00	18616.85	0.00	0.00
RW FORG	HPRWFGASR	Gaspar Iii,Jose	2	0	12/20/21	01/01/27	12/20/21	0.0000	No	0.0000	Curr	0.0000	0.00	48928.95	0.00	0.00
RW Forgiv	HPRWFWEB	Weber,Todd	2	0	08/05/20	08/01/30	08/06/20	0.0000	No	0.0000	Curr	0.0000	0.00	82607.50	0.00	0.00
Group Totals:													0.07	952378.87	0.00	0.00

>>> INVESTOR #: HPRW POOL #: RIP DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual Paymer

RW CITY	CHPRRWCEM	Emrick Real Est	11	1	08/23/22	01/01/24	10/13/23	0.0000	No	0.0000	Curr	0.0000	0.01	45082.88	0.00	0.00
RW FORGIV	CHPRRWFSH	Shama,Larry	11	1	05/19/23	06/01/24	05/17/23	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.02	45082.88	0.00	0.00
Investor Totals:													0.09	997461.75	0.00	0.00
Report Totals:													12770.35	3228861.38	0.00	0.00

**Deadwood Historic Preservation
Revolving Loan Fund**

Investor # HP = DHP Revolving Loan Fund

Loan # Code	Pool Code	Loan Type	Interest Rate	Program
-------------	-----------	-----------	---------------	---------

11	R 0	Residential	0.00%	Revolving Loan Fund
11	R 3.0	Residential	3.00%	Revolving Loan Fund
11	R 3.5	Residential	3.50%	Revolving Loan Fund
11	R 4	Residential	4.00%	Revolving Loan Fund
11	R 4.5	Residential	4.50%	Revolving Loan Fund
11	R 5.0	Residential	5.00%	Revolving Loan Fund

21	RSFND	Residential	0.00%	Foundation Program
22	RSSID	Residential	0.00%	Siding Program
23	RSWIN	Residential	0.00%	Window Program
24	RSPE	Residential	0.00%	Special Needs Elderly
25	RSVAC	Residential	0.00%	Vacant Home Program

31	RRW0	Residential	0.00%	Retaining Wall- Owner
31	RRW4	Residential	4.00%	Retaining Wall- Owner
31	RRW5	Residential	5.00%	Retaining Wall- Owner

OO	RIP-R	Residential	0.00%	RW Owner- In Construction
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Investor #HPRW = City of Deadwood Portion of Retaining Wall- Forgivable

32	Perm	Residential	0.00%	Retaining Wall- City Portion
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OO	CRW-Pe	Residential	0.00%	RW City- In Construction
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Loan # Code	Pool Code	Loan Type	Interest Rate	Program
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41	C0	Commercial	0.00%	Revolving Loan Fund
41	C1	Commercial	1.00%	Revolving Loan Fund
41	C2	Commercial	2.00%	Revolving Loan Fund
41	C3	Commercial	3.00%	Revolving Loan Fund
41	C4	Commercial	4.00%	Revolving Loan Fund
41	C5	Commercial	5.00%	Revolving Loan Fund
41	C6	Commercial	6.00%	Revolving Loan Fund
41	C7	Commercial	7.00%	Revolving Loan Fund
42	CFAC	Commercial	0.00%	Façade Easement Loan
43	CUFR	Commercial	0.00%	Upper Floor Revital Loan

OO	RIP-C	Commercial	0.00%	Const. Projects in Process
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OFFICE OF
 PLANNING, ZONING AND
 HISTORIC PRESERVATION
 108 Sherman Street
 Telephone (605) 578-2082
 Fax (605) 722-0786



Kevin Kuchenbecker
 Planning, Zoning and
 Historic Preservation Officer
 Telephone (605) 578-2082
 kevin@cityofdeadwood.com

MEMORANDUM

Date: December 20, 2024
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Re: Renewal of Neighborhood Housing Revolving Loan Agreement

Historic Preservation has an established Revolving Loan Fund for a variety of related programs for the purpose of making commercial and residential loans and grants for the rehabilitation of residences, buildings, structures, improvements, and retaining walls located within the City of Deadwood. NeighborWorks has provided administrative services in connection with the Revolving Loan Program.

The Historic Preservation Office does not have the expertise to process the loans, therefore, continues to recommend the hiring of Neighborhood Housing Services of the Black Hills Inc. to administer the revolving loan programs. This request is to provide an agreement for services from January 1, 2025 to December 31, 2025 at a cost not to exceed \$60,000.00.

RECOMMENDED MOTION:

Move to recommend to the City Commission to renew the agreement with Neighborhood Housing Services of the Black Hills Inc. at a cost not to exceed \$60,000.00 to be paid out of the 2025 Revolving Loan Professional Services line item.

**AGREEMENT FOR ADMINISTRATION OF DEADWOOD
HISTORIC PRESERVATION REVOLVING LOAN AND GRANT FUNDS**

This Agreement is made between the DEADWOOD HISTORIC PRESERVATION COMMISSION, hereinafter referred to as “HPC.” and NEIGHBORHOOD HOUSING SERVICES OF THE BLACK HILLS INC. DBA NEIGHBORWORKS DAKOTA HOME RESOURCES, hereinafter referred to as “NHS”.

The parties acknowledge that HPC has previously established a Revolving Loan Fund and related programs for the purpose of making commercial and residential loans and grants for the rehabilitation of residences, buildings, structures, improvements, and retaining walls located within the City of Deadwood. The parties further acknowledge that they have previously entered into Agreements in which NHS has contracted with HPC to provide administrative services in connection with the Revolving Loan Fund Program. HPC wishes to contract with NHS for providing administrative services for the period from January 1, 2025 through December 31, 2025, and therefore mutually agree as follows:

I.

NHS shall provide administrative services required in connection with the administration of HPC Revolving Loan Funds, Forgivable Loan Funds, and Retaining Wall Program funds as set forth and according to written policy guidelines and administrative procedures established and adopted by the Historic Preservation Commission.

II.

HPC agrees to reimburse NHS for ELIGIBLE COSTS incurred by NHS pursuant to this Agreement, subject to a maximum of Sixty Thousand Dollars (\$60,000) for the period beginning January 1, 2025 and ending on December 31, 2025. Furthermore, this Agreement is subject to a minimum monthly charge of \$3,500 (\$42,000 annually) for the period beginning January 1, 2025 and ending on December 31, 2025. The purpose of the minimum monthly charge is to cover fixed costs associated with administration of the Deadwood Historic Preservation Revolving Loan Fund. The amount of such reimbursement shall be at hourly rates included on the attached Rate Sheet, with total amounts to be paid during this time period under this agreement not to exceed \$60,000, without prior express written approval and consent by HPC. For the purposes of this Agreement, ELIGIBLE COSTS shall mean costs to NHS of salaries, wages, and fringe

benefits, office expense, worker's compensation insurance, liability insurance including officers and directors' liability insurance, utilities, software service and licensing fees, credit report fees, title company report fees and other necessary expenses. The parties acknowledge that NHS has other duties and functions and that HPC will only pay that portion of ELIGIBLE COSTS determined to be related to services performed for HPC by NHS pursuant to this Agreement. Request for reimbursement shall be made no more frequently than monthly and shall be accompanied by a voucher to be approved by the Historic Preservation Commission and the City Commission. All such reimbursements for ELIGIBLE COSTS will be paid solely from HPC Revolving Loan Fund.

III.

The term of this Agreement shall commence on the 1st day of January, 2025 and continue through the 31st day of December, 2025, unless terminated earlier or re-negotiated earlier, as provided herein.

IV.

NHS agrees that it shall prepare and submit to HPC such reports and information as required by HPC. In addition, NHS shall promptly furnish to the City any and all financial statements, financial reports, audits, and monthly, quarterly, semi-annual, or annual statements prepared by or on behalf of NHS in the ordinary course of its business, which relates, directly or indirectly, to the providing of services under this Agreement. Such reports and information shall include reporting of HPC Loan Fund income at the end of each period as requested by HPC. NHS shall continue to provide monthly loan and delinquency reports as it has been doing in the past. NHS shall provide Annual Activities reports, sorted by program, with summary overview explanation of disbursements and receipts of all funds such that HPC can properly evaluate each.

V.

The purchase of any real or personal property shall not be an allowable cost under the provisions of this Agreement except as approved or allowed in advance by HPC.

VI.

NHS shall perform services under this Agreement as an independent contractor. It is agreed that nothing herein contained or intended shall be construed in any manner as creating or establishing a relationship or co-partners between the parties hereto or of constituting NHS or any of its officers, agents, servants, or employees as an agent, representative, or employee of HPC for any purpose or in any manner whatsoever. NHS's officers, agents, servants, and

employees shall not be considered employees of HPC, for any claims, which might arise under the Workman's Compensation Acts of the State of South Dakota. Furthermore, NHS agrees to defend, indemnify, and save harmless HPC and its officers, commissioners, agents, servants, and employees from any liability or judgments of any kind whatsoever arising out of the performance or non-performance of NHS and its officers, agents, servants, and employees of the work specified in this Agreement.

VII.

This Agreement may terminate or re-negotiated by either party upon thirty (30) days written notice to the other party. In the event of such termination, all property acquired with funds furnished by HPC and all finished or unfinished documents, data, studies, financial records, loan files, and reports purchased or prepared by NHS pursuant to this Agreement shall be returned to HPC. In the event terms are re-negotiated, the parties shall ascertain what property, data, or files shall remain with NHS. NHS shall be entitled to compensation for performance of any un-reimbursed services satisfactorily performed prior to the date of termination of this Agreement. Notwithstanding the above, NHS shall not be relieved of liability to HPC for damages sustained to HPC by virtue of any breach of this Agreement by NHS.

VIII.

NHS may not assign or transfer any interest in this Agreement without the prior written approval of HPC.

IX.

NHS agrees that it will have and maintain at all times, during the term of this Agreement, qualified, competent, trained, and experienced personnel with loan and administrative experience and training comparable to the current staff of NHS, which personnel will perform the duties required to be performed by NHS pursuant to this Agreement.

X.

NHS especially acknowledges and agrees that their authority is limited as set forth in this Agreement and as set forth in the attached policies and procedures set forth in paragraph I, above, that HPC retains sole authority to approve all loans and actions taken with respect to delinquent loan payments. Further, NHS acknowledges that it does not have authority to contract for HPC or the City of Deadwood.

XI.

NHS agrees to observe and comply with all Federal, State, and local laws, ordinances, rules, and regulations, which are now or may later become applicable to its activities or services performed pursuant to this Agreement.

XII.

This Agreement, together with all paragraphs, terms, and provisions is made in the State of South Dakota and shall be construed and interpreted in accordance with the laws of the State of South Dakota.

XIII.

It is understood and agreed that this is the entire Agreement of the parties and that this Agreement supersedes all oral agreements and negotiations between the parties relating to the subject matter hereof. Any amendment to this Agreement shall be in writing.

Dated this _____ day of _____, 20__.

NEIGHBORHOOD HOUSING SERVICES OF THE
BLACK HILLS INC, DBA NEIGHBORWORKS DHR

By: _____
William Michael Walker aka Mike Walker
Its: Executive Director

STATE OF SOUTH DAKOTA)
) SS.
COUNTY OF LAWRENCE)

On this _____ day of _____, 20__, before me, the undersigned officer, personally appeared **William Michael Walker, aka Mike Walker**, known to me or satisfactorily proven to be the **Executive Director** of Neighborhood Housing Services of the Black Hills Inc DBA NeighborWorks DHR, and that as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public
My Commission Expires:

Dated this this _____ day of _____ 20__.

DEADWOOD HISTORIC PRESERVATION
COMMISSION

By: _____
Leo Diede
Its: Chairman

CITY OF DEADWOOD

By: _____
David R. Ruth Jr.
Its: Mayor

STATE OF SOUTH DAKOTA)
 SS)
COUNTY OF LAWRENCE)

On this _____ day of _____, in the year _____, before me personally appeared Leo Diede, Chairman, Deadwood Historic Preservation Commission and David R. Ruth Jr., Mayor, City of Deadwood to be the persons who are described in, and who executed the within instrument and acknowledge to me that they executed the same.

ATTEST

Jessicca McKeown
Finance Officer



12/23/2025

RE: Hourly Rates for DHP/NWDHR loan servicing contract for 2025

The following is a list of hourly rates for NeighborWorks staff that are involved in servicing Deadwood Historic Preservation loans in 2025:

Staff Name	Title	Task Performed	Hourly Rate
Mike Walker	Executive Director	Loan Origination & Underwriting	\$60.00
Katie Burnham	Accountant	Accounting	\$52.00
Susan Trucano	Lending Director	Loan Origination & Underwriting	\$58.00
Denese Emanuel	Loan Officer	Assists with new loan applications	\$36.00
Kris Romero	Admin Assistant	Loan Servicing, insurance etc.	\$35.00

The above rates will go into effect in January 2025 and will be included as an attachment to the annual contract. Should you have any questions, please contact me or Susan Trucano at (605) 578-1401.

Sincerely,

Mike Walker

Executive Director
 795 Main St., Deadwood, SD 57732
 (605) 578-1401

THIS INSTITUTION IS AN EQUAL OPPORTUNITY PROVIDER, AND EMPLOYER



Date: December 19, 2024

Case No. 240256
Address: 38 Burnham

Staff Report

The applicant has submitted an application for Project Approval for work at 38 Burnham Ave., a non-contributing structure located in the Highland Planning Unit in the City of Deadwood.

Applicant: Peter Pantazopoulos
Owner: PANTAZOPOULOS, PETERROBINSON, LYNNETTE
Constructed: c 1980

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This is a modern building which serves as a garage and workspace. Because it is less than 50 years old, it cannot contribute to the Deadwood National Historic Landmark District at this time. The location of this structure is addressed at 180 Pleasant Street.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting footprint modification to original design. Now 30' x 20' but still 600 sq. ft. or less. Modification to original truss design from a standard 4/12 pitch to new design as seen in attached drawings and pictures. Exhibit A is neighbors auxiliary building. Exhibit B represents the original accepted 4/12 pitch truss and 30 degree change I thought is in pink, 60-degree truss in purple is what was delivered with no return option. Exhibit C is a spec sheet for delivered trusses. Also included is a copy of Deadwood Residential Guidelines less the reference photos and glossary. Please see highlighted suggestions and recommendations throughout.

Attachments: Yes

Plans: Yes

Photos: Yes

Staff Opinion:

The car port was originally approved at the October 9, 2024 meeting. The approval was for a 28' x 22' x 8' height, gable ended, 4/12 pitch, with asphalt shingled roof. A stop work order was issued December 9, 2024, after staff witnessed a different roof style and pitch than what was approved by the Historic Preservation Commission. The square footage is also slightly larger than originally presented.

The stop work order along with the staff report and application from the October 9 approval is attached to this report.

The footprint of the building has changed slightly, and it is staff's opinion this change to the original project approval is insignificant and more than likely would have been approved administratively through the Historic Preservation Office. The challenge is the change of the roof line and pitch.

The applicant uses the guidelines to highlight areas he has deemed appropriate for your consideration. The auxiliary structure identified in comparison, while seen from Burnham Avenue from different vantage points, is still at the rear of the property and does not read as a primary structure on the property.

The fact the structure is a carport causes the building to read as a new structure not a contributing structure and does not create a false sense of history. It is staff's opinion; the previously approved gable roof is more appropriate in this particular location of the neighborhood and overall historic district. The traditional roof lines all along Burnham Avenue should be maintained. While most gable roofs in the neighborhood are much steeper than the previously approved 4/12 roof, it still had a representation of the design but of more modern pitch. If the applicant submitted the current roof line he is requesting to be considered, it would have been staff's opinion that it was inappropriate and encroached upon and damaged the historic districts. Almost all other carports recently approved have been of modern design due to the concept of the carport yet have been compatible with the historic districts. This is due to the roof line being similar to roof lines in the neighborhood. The construction of carports are mainly posts and the roof.

While the applicant has referenced the design guidelines, it is still staff's opinion the proposed changes to the previously approved project does encroach upon and damage the historic districts; therefore, as proposed will have an adverse effect to the historic character of the resources in the district and the historic districts.

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules

promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
 PLANNING, ZONING AND
 HISTORIC PRESERVATION
 108 Sherman Street
 Telephone (605) 578-2082
 Fax (605) 722-0786



Kevin Kuchenbecker
 Planning, Zoning and
 Historic Preservation Officer
 Telephone (605) 578-2082
 kevin@cityofdeadwood.com

STOP WORK ORDER

Date: December 9, 2024

Time: 2:30 p.m.

Address: 38 Burnham Avenue, Deadwood, SD 57732

Violation(s): Change of scope of work not approved by
 Deadwood Historic Preservation Commission

Project Approval was issued on October 9, 2024, for the construction of a carport based on the submitted plans (attached). This was for a 28' x 22' x 8' height with a 4/12 pitch gable roof including an asphalt shingled roof. This included 6x6 brown-treated posts and manufactured trusses with appropriate LVL beams, as necessary, as per the contractor's preference.

Condition(s):

1. Today, staff witnessed a different roof style and pitch than submitted and approved. This change was not approved by the Deadwood Historic Preservation Commission. Any change requires review and approval as stated in the approval letter dated October 10, 2024. (attached)

Any person who shall continue any work after having been served with a Stop Work Order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be subject to the penalties described in Chapter 1.12 of the Ordinances of the City of Deadwood.

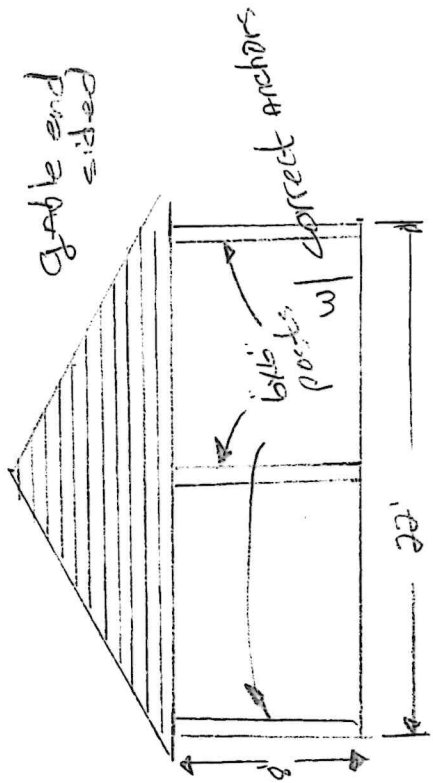
Please contact our office at (605) 578-2082 to confirm you will be removing the trusses and installing what was previously approved or submitting a new project approval for consideration by the Deadwood Historic Preservation Commission.

Thank you,

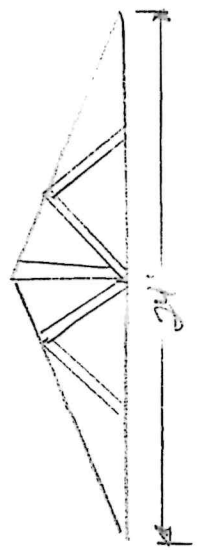
Kevin Kuchenbecker
 Planning, Zoning and Historic Preservation Officer

Cc: Deadwood Historic Preservation Commission
 Trent Mohr, Building Official
 Quentin Riggins, City Attorney
 File

side view 4/12 pitch roof

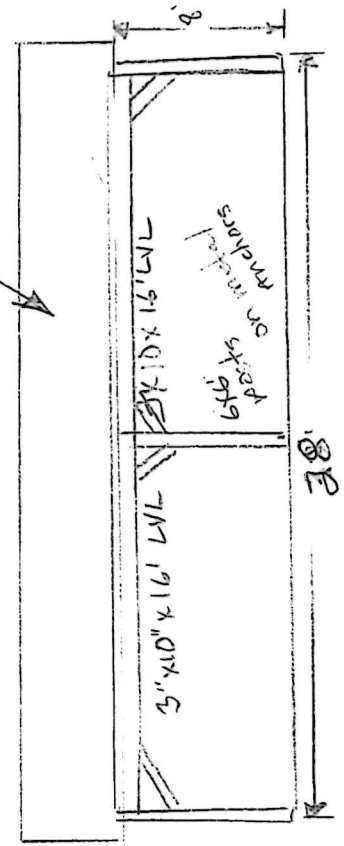


4/12 pitch roof
roof joists

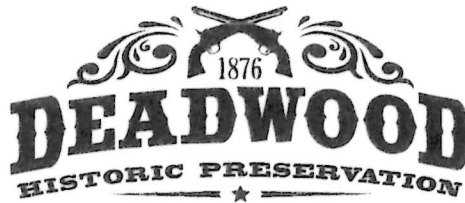


ROOF - shingles or brown metal

Front view



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



Kevin Kuchenbecker
Historic Preservation Officer
Telephone (605) 578-2082
kevin@cityofdeadwood.com

October 10, 2024

Peter Pantazapulos
38 Burnham Avenue
Deadwood, SD 57732

RE: Case No. PA 240195- 38 Burnham Avenue

Dear Mr. Pantazapulos;

On Wednesday, October 9, 2024, the Deadwood Historic Preservation Commission reviewed your application for Project Approval for work at 38 Burnham Avenue, a non-contributing structure located in the City Creek Planning Unit in the City of Deadwood. The application was for permission to construct carport: 28x22 8' height, gable ended, 4/12 pitch, with asphalt shingled roof. 6x6 brown, treated upright posts, manufactured trusses. Appropriate LVL beams, as necessary, as per contractor's preference.

The Deadwood Historic Preservation Commission has determined the proposed work and changes do not encroach upon, damage, or destroy a historic resource nor do they have an adverse effect on the character of the building, listed as a non-contributing resource(s), nor in the State and National Register of Historic Places and therefore granted project approval for your application.

A building permit must be issued prior to commencement of work on the resource. To request a building permit and pay the fees due regarding this project, please contact the City Building Inspector, Trent Mohr, at the Public Works Dept. at (605) 578-2082. Any changes to the scope of work must be approved by the Historic Preservation Commission.

Thank you for your support in preserving, protecting and promoting the rich and unique heritage of Deadwood – A National Historic Landmark Community. If you have any questions or need further information, please do not hesitate to contact our office at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Kuchenbecker', written over a horizontal line.

Kevin Kuchenbecker
Historic Preservation Officer

cc: Trent Mohr, City Building Inspector
File

OFFICE OF
 PLANNING, ZONING AND
 HISTORIC PRESERVATION
 108 Sherman Street
 Telephone (605) 578-2082
 Fax (605) 578-2084



FOR OFFICE	Section 8 Item a.
Case No. <u>240256</u>	
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received <u>12/18/24</u>	
Date of Hearing <u>12/23/24</u>	

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
 Deadwood Historic Preservation Office
 108 Sherman Street
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>38 Burnham Ave, Deadwood, SD, 57732</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Peter Pantazopoulos</u>
Address: <u>38 Burnham Ave.</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-491-0936</u> Fax: _____
E-mail: <u>hdcp@le11@gmail.com</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>DAN VonMOOS</u>
Address: <u>152 Charles St.</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-474-0121</u> Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

FOR OFFICE USE ONLY
Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>12/3/24</u>		Project Completion Date (anticipated): <u>4/1/24</u>	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear <input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS		<input type="checkbox"/> DOORS
	<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement
<input type="checkbox"/> Front		<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____		Style/type _____	
<input type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Note: Please provide detailed plans/drawings			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
	Material _____ Style/type _____ Dimensions _____		
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Foot print modification to original design
NOW 30' x 20' but still 600 sq. ft. or less
Modification to original truss design from a
standard 4/12 pitch to new design as seen in Attachments,
Drawings and pictures. Exhibit A, is neighbors Aux building
Exhibit B represents original accepted 4/12 pitch truss and
30° change I thought I made in Pink
60° truss, in Purple is what was delivered with NO RET
60° truss, in Purple is what was delivered with NO RET

FOR OFFICE USE ONLY

Case No. _____

SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Peter Pantazopoulos 12/18/24

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

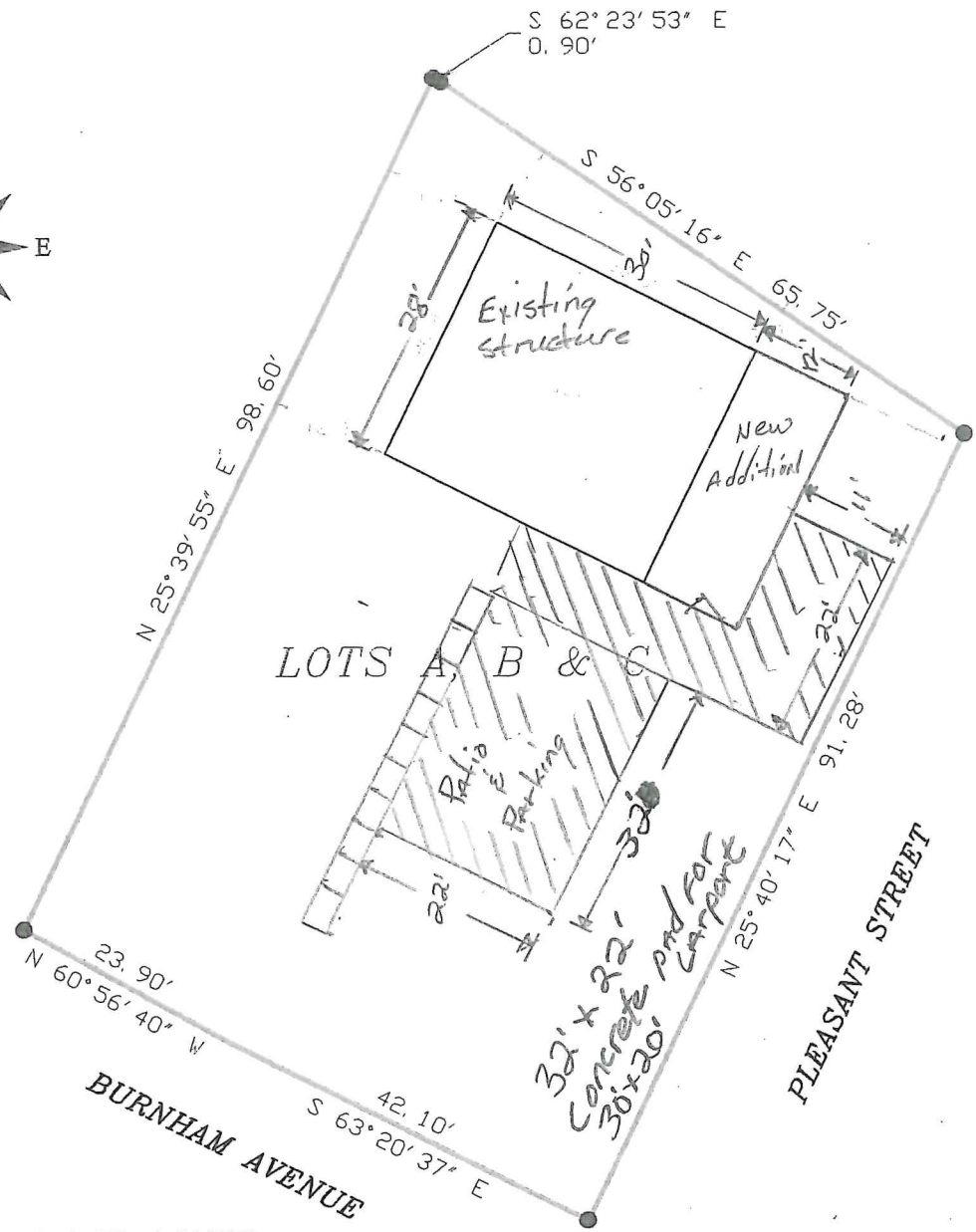
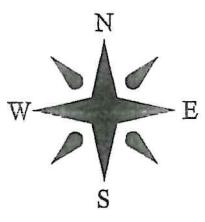
This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Enclosed is also included a copy of Deadwood Residential Guidelines less the reference photos, and Glossary. Please see highlighted suggestions and recommendations throughout.

LOTS A, B & C IN BLOCK 9 OF HIGHLAND
 PARK ADDITION TO THE CITY OF DEADWOOD,
 LAWRENCE COUNTY, SOUTH DAKOTA

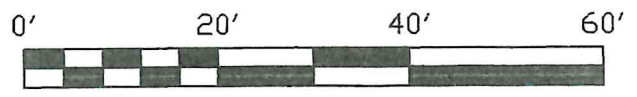


● REBAR & CAP (VREM LS6977)

SURVEYOR'S CERTIFICATE

I, LOREN D. VREM R.L.S. 6577, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS SURVEYED UNDER MY SUPERVISION AND THAT ALL DIMENSIONS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

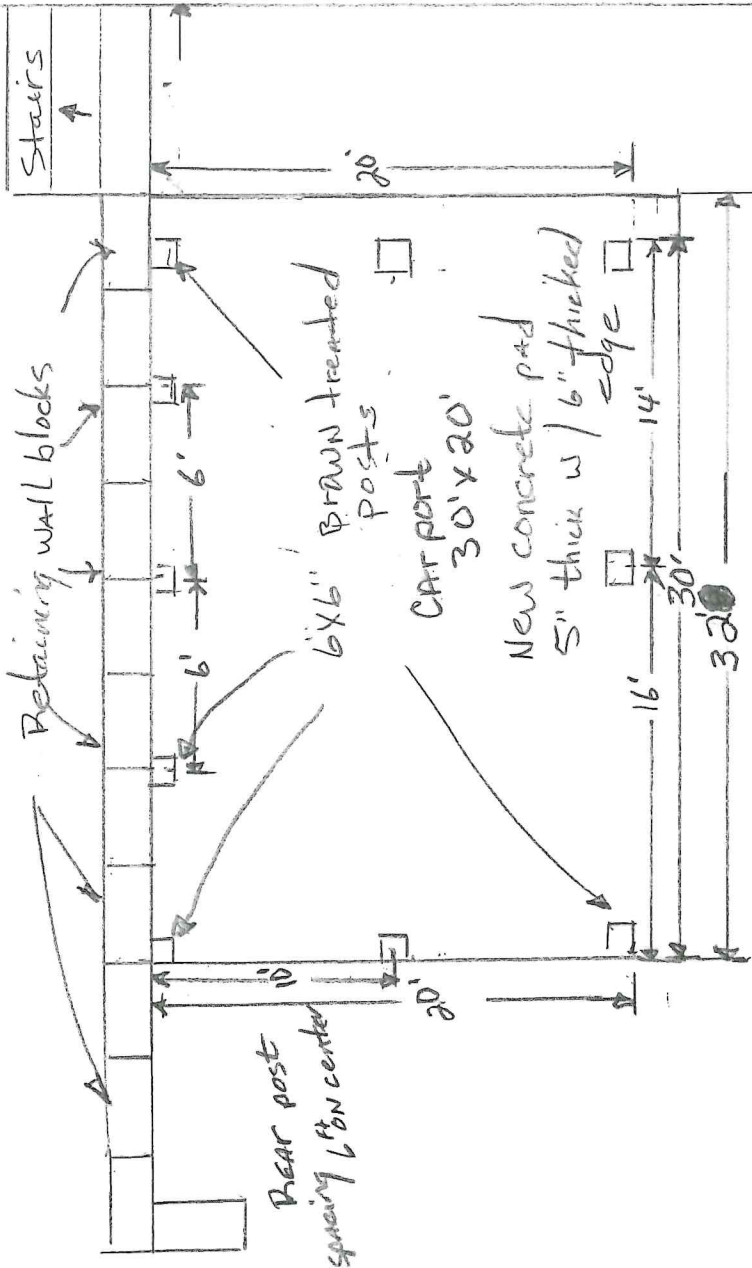
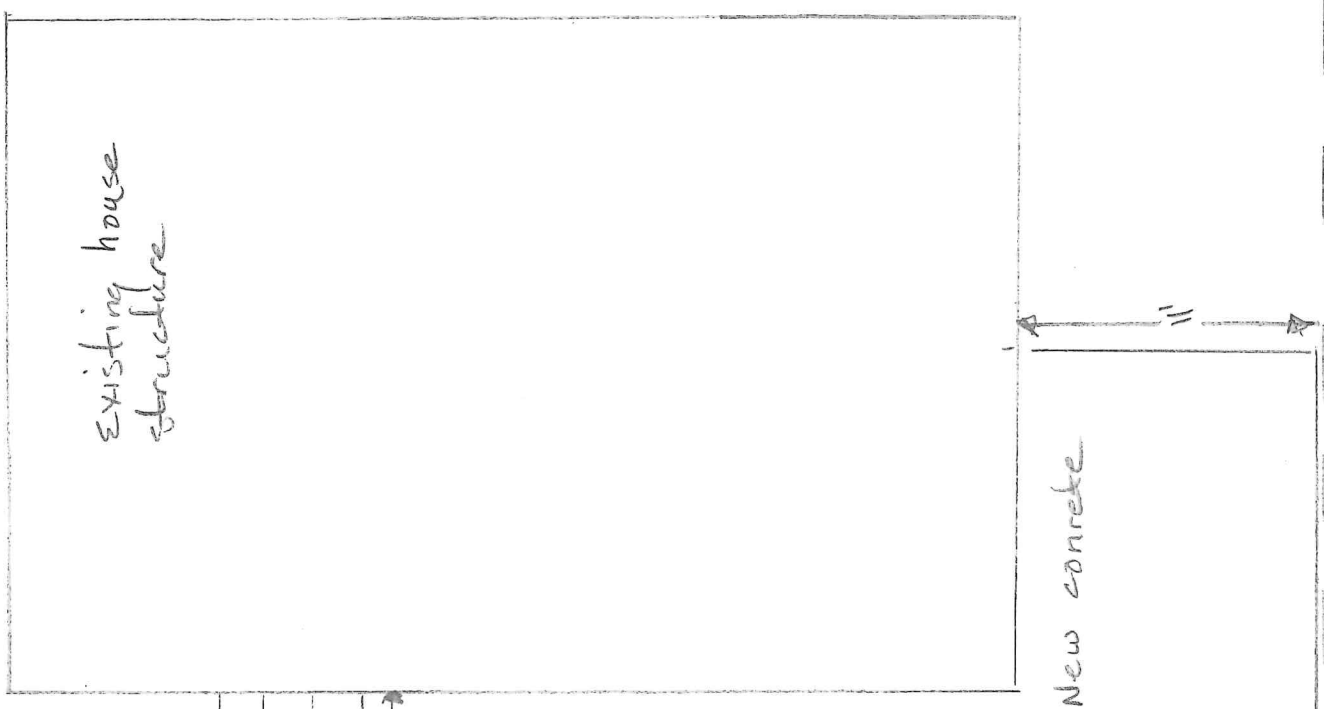
[Signature]
 LOREN D. VREM R.L.S. 6577
 DATE 10/2/17



Prepared By:
PONDEROSA LAND SURVEYS, L.L.C.
 332A WEST MAIN ST.
 LEAD, SD 57754
 (605) 722-3840

Date:	10/02/2017
Drawn By:	L. D. Vrem
Project No.:	16-303
Dwg. No.:	16-303.dwg

38 Burnham Ave
site for revised
30' x 20' carport & patio



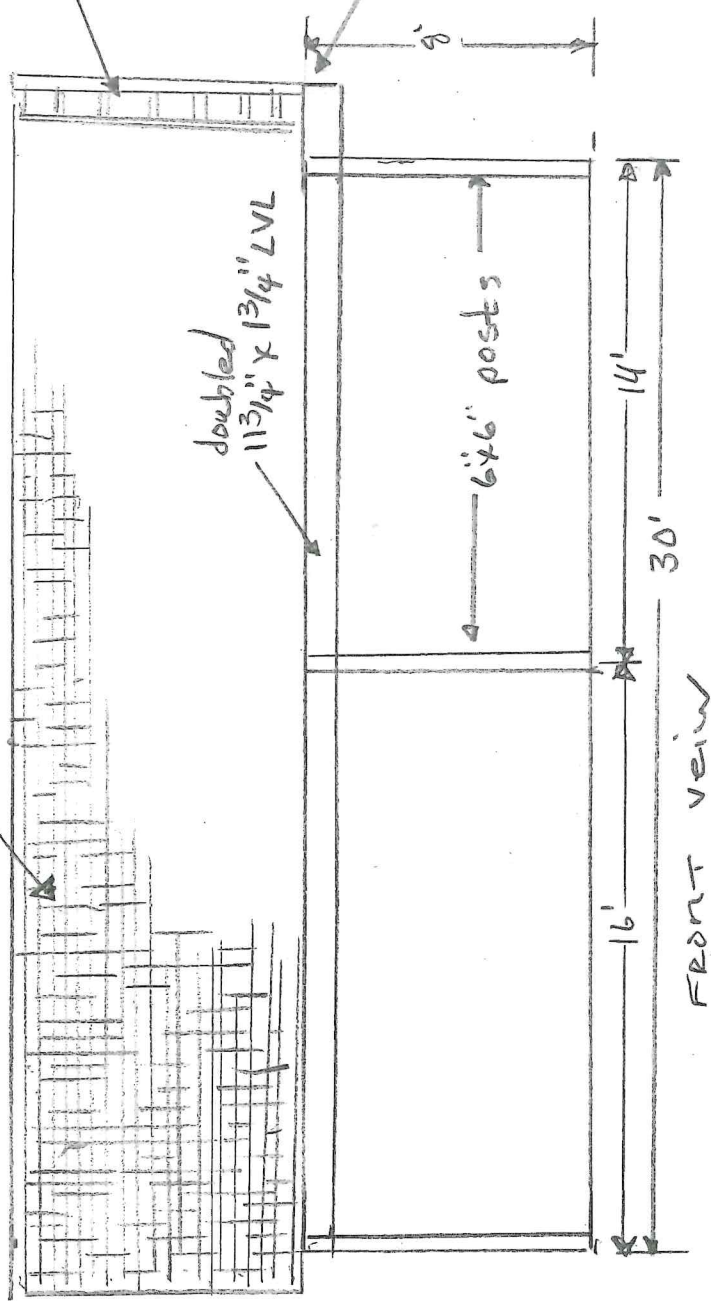
concrete pad size
APPRX 32' x 22'
New carport
Foot print is
30' x 20'
600 sq. ft.

Scale 1/8" = 1 Ft.

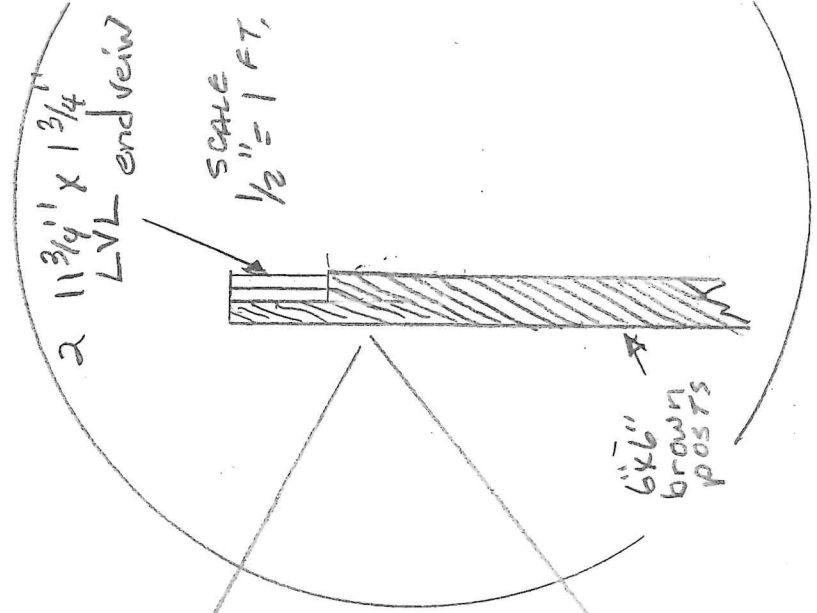
Property lines

Roof to be finished w/ architectural shingles

1' overhang rake



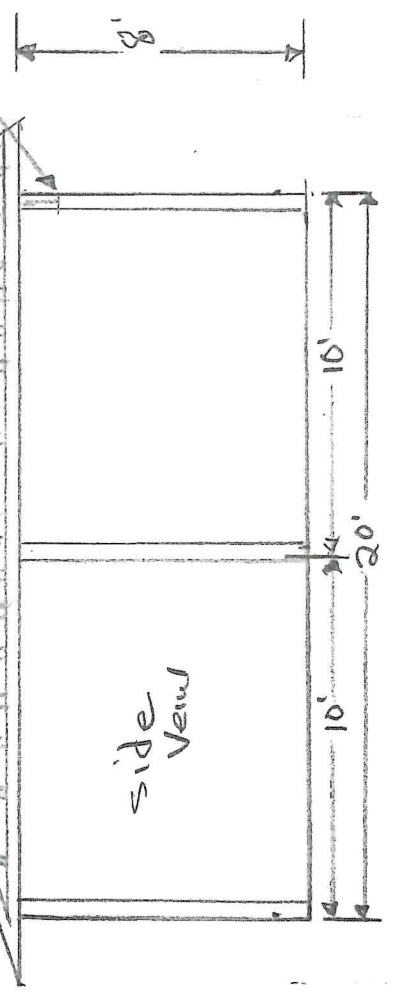
FRONT view



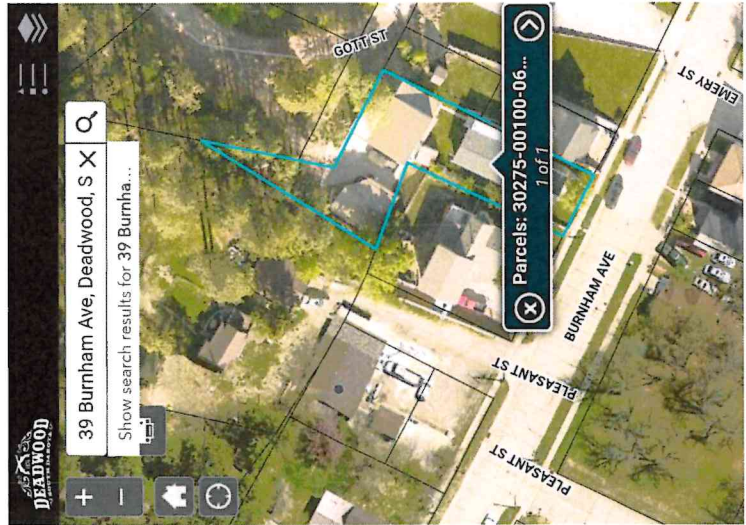
6x6" brown posts

Proposed revision specs for GARport at 38 Burnham Ave

scale 3/16" = 1 FT



side View



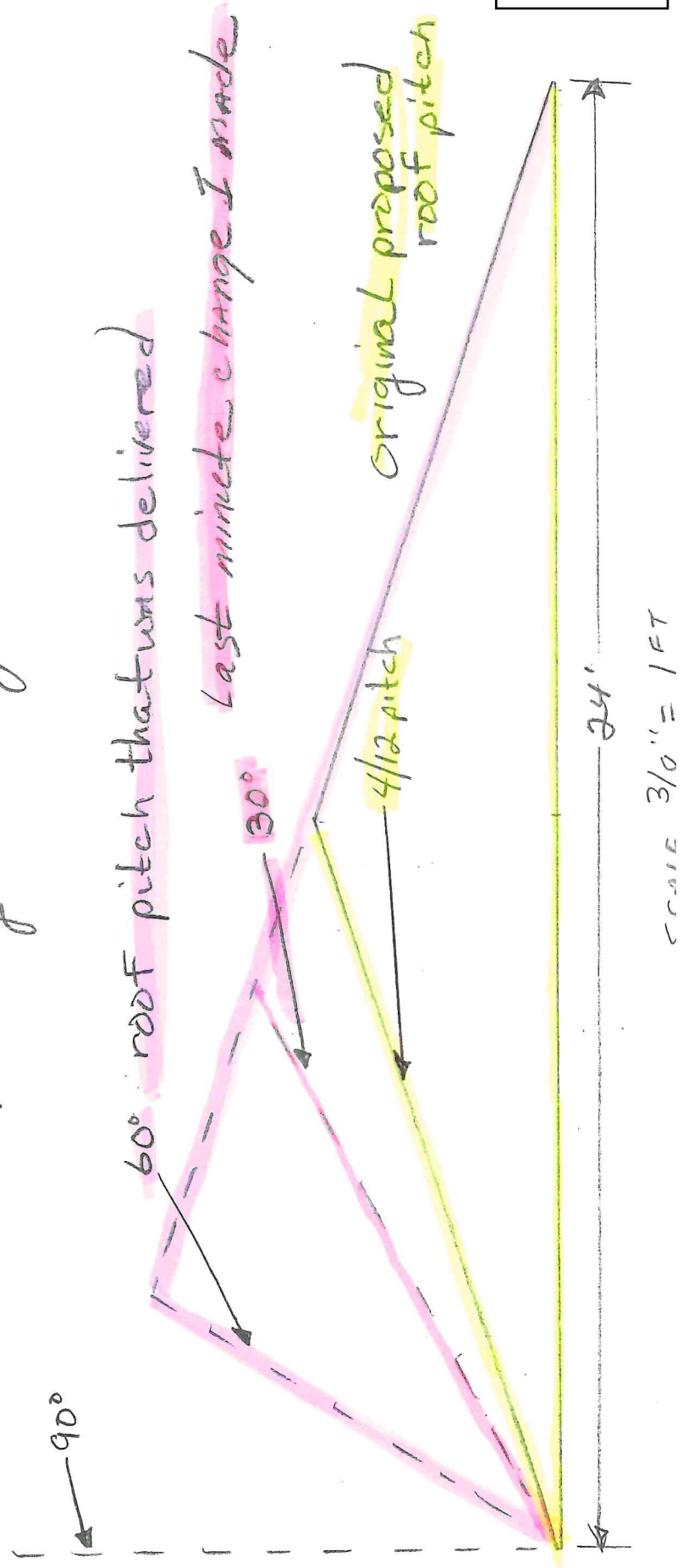
Parcels: 30275-00100-060-00

PARCEL_ID	30275-00100-060-00
PLAT	1994-5222
CURRENT_OW	SORENSON, DONALD G & LILA M
Owner2	0
MAIL_ADD	26 BURNHAM AVE DEADWOOD, SD 57732
LEGAL	Fargo Addition Tract S Plat 1994-05222
SITUS	26 BURNHAM AVE, DEADWOOD, SD 57732
Acres	0.00
S_T_R	--
NBHD	51,000
TaxingUnit	40-1_DE-L-DW
SCHOOL_DIS	40-1
FIRE_DIST	DE
ROAD_DIST	0
SAN	L
STATE	NA
CLASS	D-S
WARD	05
CITY_WARD	0
EXTENT	7,890.03

(Exhibit A)
 Design idea found in
 existing accessory
 building located nearby.
 At 26 Burnham Ave.,
 owned by
 Lila Sorenson
 Very similar roof
 design shown in these
 photos.

(Exhibit B)

the last minute modification I made was to 30° thinking that it would actually be near the angle of the original 4/12 pitch but ended up being 60° by their mistake or mine.



Top chord 2x4 SPF 1650f-1.5E
 Bot chord 2x4 SPF 1650f-1.5E
 Webs 2x4 SPF #1/#2
 LWedge, 2x4 SPF #1/#2;

Left and right cantilevers are exposed to wind

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 2.00.

(Exhibit C)

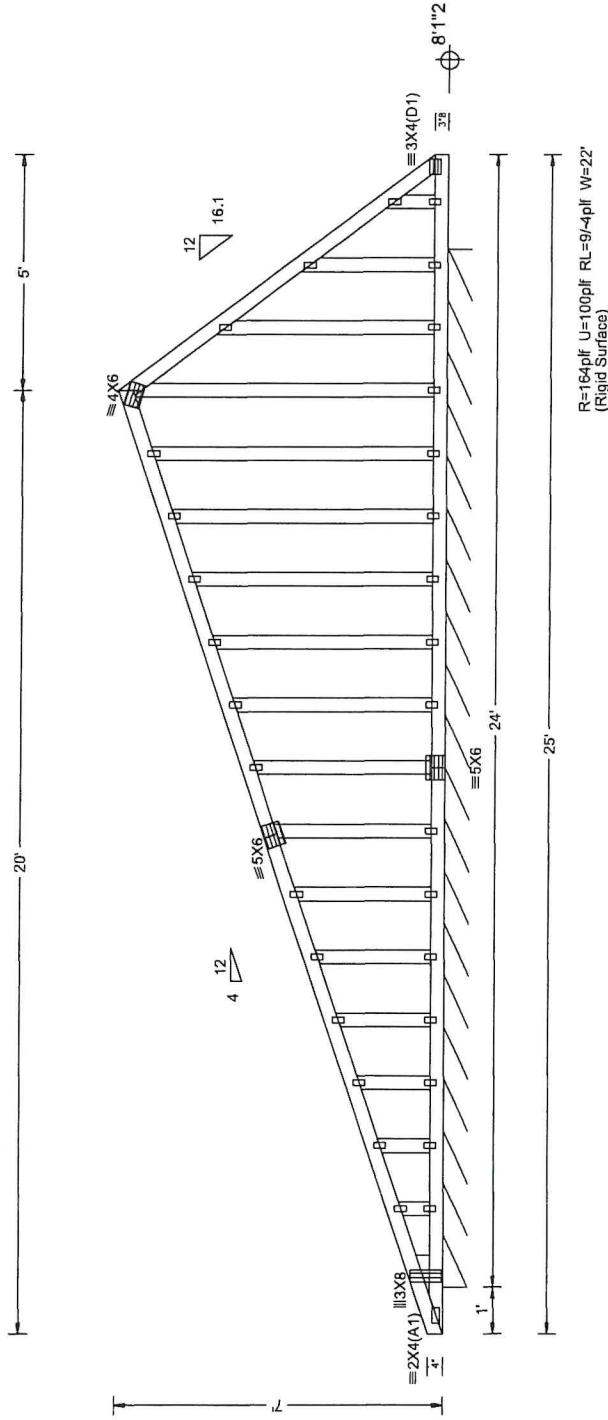
All plates are 1.5X3 except as noted.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=6.0 psf, wind BC DL=6.0 psf.

Wind loads and reactions based on MWFRS with additional C&C member design.

See DWGS A12015ENC101014, GBLLET1N0118, & GABRST101014 for gable wind bracing and other requirements.

Truss designed for unbalanced snow load based on P_g=65.00 psf, C_e=1.10, C_e=1.00, CAT II (I_s=1.00) & P_f=50.05 psf.



PLT. TYP.-WAVE

QTY= 2 TOTAL= 2

REV. 22.01.01B.0530.21

SEQ = 496926
 SCALE = 0.2500

DESIGN CRIT=IBC2015(TPI-2014) FTRF=10%(0.5)/10(0)
****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
 IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.**

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) information, by TPI and WTCA for safety information regarding erection and bracing. Installers shall provide temporary bracing per BCSI and shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise.
 TPI Building Components Group, Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSITPI 1, or for handling, shipping, installation & bracing of trusses.
 The designer or cover page being this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The liability and use of this drawing for any structure is the responsibility of the Building Designer per ANSITPI 1 Sec. 2.

For more information see this job's general notes page and these web sites:
 ITWBCSI: www.itwbcsi.com; TPI: www.tpi.net; WTCA: www.abcdindustry.com; ICC: www.iccsafe.org



Section 8 Item a.	
DATE	09-27-2024
DRWG	SH
O/A LEN.	25
JOB #:	A24-18387
TYPE	GABL

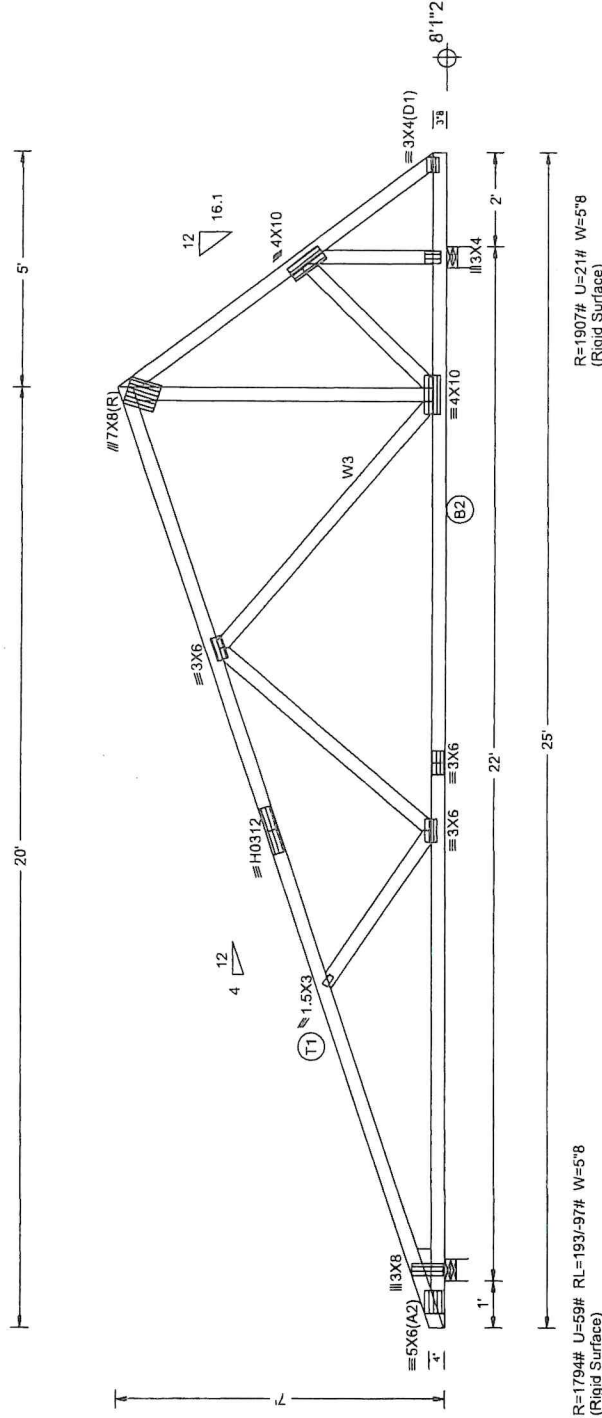
TC LL	50.0psf
TC DL	10.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.I.D.	70.0psf
DUR.FAC.	1.15
SPACING	24.0"

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=6.0 psf, wind BC DL=6.0 psf.
 Wind loads and reactions based on MWFRS with additional C&C member design.
 Left and right cantilevers are exposed to wind

Truss designed for unbalanced snow load based on $P_g=65.00$ psf, $C_t=1.10$, $C_e=1.00$, CAT II ($I_s=1.00$) & $P_f=50.05$ psf.

Top chord 2x4 SPF 1650f-1.5E T1 2x4 SPF 2100f-1.8E;
 Bot chord 2x4 SPF 2100f-1.8E B2 2x4 SPF 1650f-1.5E;
 Webs 2x4 SPF #1#2 W3 2x4 SPF 2400f-2.0E;
 L Wedge: 2x4 SPF #1#2.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 2.00.



REV. 22.01.01B.0530.21	TC LL	50.0psf	REF
	TC DL	10.0psf	DATE
	BC DL	10.0psf	DRWG
	BC LL	0.0psf	SH
	TOT.LD.	70.0psf	O/A LEN.
	DUR.FAC.	1.15	JOB #:
	SPACING	24.0"	TYPE

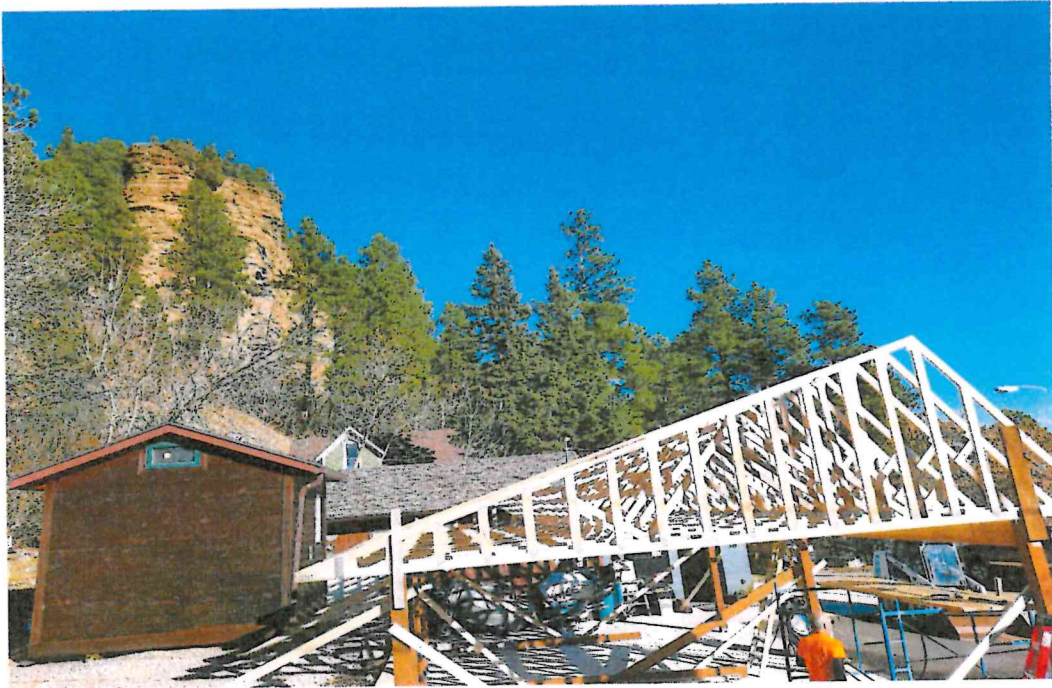
SEQ = 496923
 SCALE = 0.2500

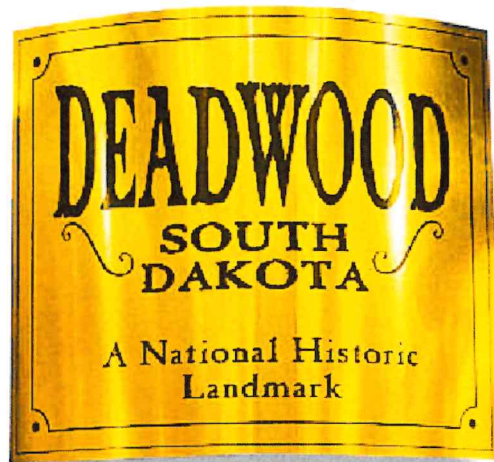
QTY = 15 TOTAL = 15

DESIGN CRT=IBC2015/TP1-2014 FTRT=10%(0%/100)
****WARNING** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
 IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLER.**
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCS (Building Component Safety) information by TPI and WTCA for safety and installation details. Trusses shall be installed in accordance with the manufacturer's instructions. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have bracing installed per BCS sections B3, B7 or B10, as applicable. Apply plates to each face of all members. Refer to drawings 160A-Z for standard plate positions.
 Refer to drawings 160A-Z for standard plate positions.
 TPI Building Components Group, Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANS/PTP 1, or for handling, shipping, installation & bracing of trusses.
 The manufacturer of the truss, TPI Building Components Group, Inc. shall not be responsible for any failure to build the truss in conformance with ANS/PTP 1, or for handling, shipping, installation & bracing of trusses.
 The manufacturer of the truss, TPI Building Components Group, Inc. shall not be responsible for any failure to build the truss in conformance with ANS/PTP 1, or for handling, shipping, installation & bracing of trusses.
 The manufacturer of the truss, TPI Building Components Group, Inc. shall not be responsible for any failure to build the truss in conformance with ANS/PTP 1, or for handling, shipping, installation & bracing of trusses.
 The manufacturer of the truss, TPI Building Components Group, Inc. shall not be responsible for any failure to build the truss in conformance with ANS/PTP 1, or for handling, shipping, installation & bracing of trusses.
 For more information see this job's general notes page and these web sites:
 www.tbcs.com, TPI: www.tpinet.org, WTCA: www.abndustry.com, ICC: www.iccsa.org

ALPINE
 U.S.S. LLC

59





DEADWOOD

Residential Neighborhood Design Guidelines

Historic Preservation Officer
108 Sherman Street
Deadwood, SD 57732
(605) 578-2082

jim@cityofdeadwood.com

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INTRODUCTION

The City of Deadwood is a designated National Historic Landmark District. Design Guidelines have been developed for the Downtown Historic District. It is necessary to adopt Design Guidelines for the residential neighborhoods which need to be recognized and protected as a community resource, because of their unique character and because their history is an important part of our heritage. It is the intent of these guidelines to assure that the residential neighborhoods within Deadwood are preserved for future generations.

The design guidelines are for the use of the public when planning changes within the historic district, and for the Deadwood Historic Preservation Commission and City staff to use to remind themselves of issues they should consider in reviewing each project. The guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

Any exterior alteration to a building that requires a building permit and is located outside of the Downtown Historic District requires Project Approval. Building permits are required for the replacement of doors, windows, storm windows and storm doors. A Project Approval request must be submitted for review to the Deadwood Historic Preservation Commission before a building permit may be issued. The Project Approval request is reviewed by city staff and presented to the Deadwood Historic Preservation Commission for their review. The Commission approves a particular set of plans presented at the meeting. Any changes to those plans made subsequent to the approval must be presented to the Commission for their review. The Commission consists of seven members appointed by the Mayor and conducts regularly scheduled meetings on the 2nd and 4th Wednesdays of each month.

The Deadwood Residential Neighborhood Design Guidelines are based on visual characteristics of the historic district as it exists today. The scale of buildings, their materials, and their site relationships are examples of the specific characteristics that were analyzed and from which the guidelines were developed.

ARCHITECTURE AND ENVIRONMENT

The architecture and environment of the residential neighborhoods in Deadwood is unique and varied, ranging from the large stately houses found in the Ingleside neighborhood to the smaller, more closely packed houses in the Forest Avenue area. The wide variety of homes and architectural styles reflects the western tradition of "rugged individualism". It is this variety, which also characterizes the heritage of Deadwood and western settlement that is significant in the various neighborhoods. The heterogeneous nature of the neighborhoods represents Deadwood's growth over several periods. The architecture demonstrates a wide combination of elements, styles, and motifs that harmonize to create a lively environment and an animated, fresh fabric. The variety in lot sizes, front yards, architectural styles, scale, and building materials add texture to the neighborhood fabric.

Of significance to the unique style of Deadwood is the architectural variety and blending of an assortment of designs. Preserved in the historic districts are representations of virtually every late nineteenth and early twentieth century architectural revival style. No one style predominates and many buildings are combinations of elements from a variety of historical sources. The period during which the majority of houses in Deadwood were built was characterized by a preoccupation with past styles as well as technological advancements in building techniques.

BUILDING PERMITS

The City of Deadwood requires building permits for all work that is not normal maintenance. This is determined by the City Building Inspector. Owners and contractors should check with the building regarding all interior work.

No building or structure regulated by the Uniform Building Code shall be erected, constructed, enlarged, altered, repaired, moved, improved, removed, converted or demolished unless a building permit is obtained.

Exterior work requiring a building permit includes:

- Replacement of windows

- Installation or replacement of storm windows

- Alteration of window and door openings

- Replacement of exterior doors

- Replacement and installation of garage doors

- Changes of siding material

- All fences on the perimeter of the property or within five feet of a property line or interior fences taller than 6'

- Reroofing

- Construction or rehabilitation of porches

- Construction or rehabilitation decks more than 30" above grade

- Replacement or construction of porch and deck railings

- Construction and placement of accessory buildings whose area exceeds 120 square feet

- Construction and placement of temporary structures whose area exceeds 120 square feet

- Additions to existing buildings

It is incumbent upon owners and contractors to contact the Office of Preservation and Planning to determine if their project requires a building permit or Project Approval. Although the owner may delegate this responsibility to the contractor, the owner is the responsible party. Every contractor should confirm with an owner that a building permit has been obtained for the project in question.

DESIGN GUIDELINES

A Project Approval is required for alterations to the exterior of buildings within Deadwood, outside of the Downtown Historic District.

The Deadwood Design Guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance. Its purpose is to create awareness of the character of the residential neighborhoods within the National Landmark Historic District before property owners propose alterations to their properties. *It is recognized that there is great variety in the architecture of Deadwood and that not all guidelines will be appropriate to all properties.* These guidelines identify the design elements deemed important in reviewing proposed alterations for appropriateness and are the basis for decisions made by the Deadwood Historic Preservation Commission in its review of Project Approval applications.

STREETSCAPES

Many elements make up the streetscape.

1. Alignment: blockfaces generally reflect uniform alignments.
2. Spacing: the distance between houses is usually rhythmic.
3. Openness: the area between the street and the house is open, usually lawn. There are few fences or heavy landscaping, and where these elements exist they are recent additions.
4. Size: the buildings are generally of a variety of sizes within the streetscape of each block; whereas certain blockfaces contain buildings of similar size.

Guidelines

1. Preserve the general alignment along the street. Porches, if appropriate to the house and designed according to the appropriate guidelines, are encouraged even if they encroach into the existing alignment.
2. Maintain the same spacing between houses. Additions to existing houses should be set back from the front facade so the visual quality of spacing is preserved.
3. Maintain the openness between the street and the house. Front yard fences are not traditional and if used should be open in character and appropriate in material. Wrought iron and wood pickets are traditional fence materials.

BUILDING ALIGNMENT

Traditionally, regular-sized building lots were laid out along rectilinear streets where possible, and houses were generally built the same distance back from the street. Houses on most blocks in Deadwood reflect this pattern, and the regular alignment is one of the strongest visual elements of each neighborhood. While the actual dimension of the setback varies from street to street, within their own area the alignment appears uniform.

Guidelines

1. The general pattern of alignment should be preserved. Decks, solid fences, or other additions should be located where they will not intrude into this space. *Open front porches are elements which are encouraged, if appropriate to the style of the house, even if they encroach into the existing alignment.*
2. New buildings should maintain the same alignment where it is a strong visual characteristic of the streetscape.

MASSING

While the specific details of the historic architectural styles of Deadwood vary considerably, the most significant and identifiable feature of a building is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary; however, the form which defines the building should be respected.

Guidelines

1. Any addition to a building should preserve the existing symmetry or asymmetry.
2. The vertical or horizontal proportion of a building's mass should be preserved.
3. The impact of the massing of large additions should be reduced by using one story elements or minimum plate heights instead of introducing a full second story or additions may be unobtrusively sited at the rear of historic buildings.

ROOF LINES, SKYLIGHTS AND DORMERS

The variety of roof forms in Deadwood are an important visual element. The most usual of the roof forms are steeply-pitched hipped or gable roofs, but most other types are represented.

Guidelines

1. Any alterations to roof lines should be sensitive to the form, pitch and symmetry of the existing roof. The existing roof form, pitch, and material should be used for any additions.
2. Rooflines on additions should generally be lower than and secondary to the roofline of the original house.
3. Roof lines interrupted by solar panels, skylights, and roof decks demand sensitivity in design to be appropriate.
4. On the historic portion of structures, skylights should be in unobtrusive locations; bubble type skylights are inappropriate in all areas of the historic district. Flat skylights are more appropriate.
5. Roof appurtenances should be situated so that they are not visible from the street.
6. Dormers are intended to be elements of secondary importance to the main roof form. Any expansion of existing dormers or additions of new dormers should preserve this relationship.
7. Generally dormer ridgelines should be lower than the main roof ridge.
8. The size and scale of dormer(s) should be compatible with the size and scale of the existing building. Notwithstanding the fact that one large dormer may give the greatest usable space within the roof form, smaller dormers may be the most appropriate.
9. The roof form of dormer(s) should be compatible with the main roof form.

ROOFING MATERIALS

Although historical accuracy in roofing materials is not required, it will generally be most appropriate to preserve the type and unit scale of original roofing. In some circumstances, the roofing material is an important architectural feature which should be preserved. For example, shingled roofs should remain shingled, tiled roofs should remain tiled, if possible. Appropriate roofing colors include a broad range. However, the color should be subtle rather than bright. The use of non-flammable materials should be encouraged if they provide an historic appearance.

WINDOWS

Windows original to buildings in Deadwood are generally strongly vertical in proportion, and double-hung in type. These characteristics are two very important visual elements in the district, whether used on the grandest home or the smallest. Window openings traditionally occurred at floor levels, not as clerestories or between floor levels except at stairwells. Building permits are required for the replacement of doors, windows, storm windows and storm doors.

Guidelines

1. The window opening itself should be carefully preserved. It should not be made larger or smaller to accommodate a different sized window. Every effort should be made to preserve existing windows by repairing deteriorated sashes and frames. There are methods to consolidate rotted wood members with epoxy saturation.
2. If repair is not feasible, and the window must be replaced, match the existing windows as closely as possible. Elements that should be carefully considered are; size, frame material, method of operation, single or double glazing, and divided or single lights or panes. The use of non-wood windows on historic buildings is appropriate only if the window is appropriately colored, sized to match the original opening, and provides an historic appearance in terms of depth and shadow lines.
3. When replacing deteriorated windows or adding new windows to existing buildings, a vertically-proportioned, double-hung window which matches the existing window should be used.
4. Openings should be vertical in proportion.
5. Horizontal sliding windows are generally inappropriate except in certain 1920's or 1930's buildings where they exist as part of the original design.
6. Metal window frames should not be left bright, but should be anodized or painted as recommended by the manufacturer.
7. Storm windows and screens should match the existing windows as nearly as possible. Wooden storms and screens are most appropriate on an historic building. The use of non-wood storms and screens on historic buildings is appropriate only if storm and screen are appropriately colored, sized to match the original opening, and provide an historic appearance in terms of dept and shadow lines. Bright aluminum frames are inappropriate.
8. New construction, whether a completely new building or an addition, should reflect the window patterns of the district. Openings should indicate floor levels, and should not occur between floors. Symmetry or asymmetry of openings should be maintained.
9. "Picture windows" are generally not appropriate.

10. Where a pattern of smaller scale windows in attic and accessory spaces near the roofline exists, it should be maintained.

11. Snap-in mullions or other unauthentic architectural details are generally not appropriate in the historic district.

12. Casement windows are generally inappropriate in the historic district. When used, casements should be of similar proportions to historic windows.

13. New window openings in historic building facades are no appropriate on any façade readily visible from a public thoroughfare.

DOORS

When replacing doors, use designs similar to those found in the district. Panel doors are typical, as are those with a vertical pane of glass. Most have single, rectilinear motifs in the decoration of the panels. Storm doors and screen doors must be selected with equal care. Painted wooden storm doors or screen doors are most appropriate. The original size and proportion of a door and door opening and the detail of design of the door itself contribute to the character of the historic building and should be preserved when possible. Building permits are required for the replacement of doors, windows, storm windows and storm doors.

EXTERIOR MATERIALS

While the materials used for the exteriors of houses have not changed substantially over the years, the scale of the materials has. Narrower lap siding, smaller brick and shingles, used alone or in various combinations, distinguish older homes from newer. The use of the smaller-scale materials creates a texture which characterizes historic buildings.

Guidelines

1. Existing walls, windows and exterior features, including siding, should be repaired wherever possible, rather than removed and replaced.

2. For additions or repairs, use materials similar in type and scale to those of the existing building.

3. When repairing, patching, or replacing brick or stone work, attempt to recreate joint size and color of the existing historic surface.

4. If matching materials is impossible, simplify. Generally, the simpler, the more successful.

5. Where modern materials and technologies are used, historic proportions and finishes should be matched or emulated.

6. Finish new materials to match the existing ones.

7. For additions, do not replicate historic elements; this practice creates a false image of what is historic. Rather, respect the historic context.

8. When cleaning exterior surfaces, do not sandblast exterior masonry or wood.

PORCHES AND RAILINGS

Porches are the predominant visual element of houses. In all parts of Deadwood, different kinds of porches accompany various styles of buildings, but there are few examples of houses without porches. The porch may have a roof supported by free-standing columns, by columns resting on masonry knee wall or masonry piers or wooden balustrades. Whatever the method of construction, the porch is open, although it may have been filled in, and because of this transparency, the facade of the house is plainly visible. The impression given by this is that the porch is an appurtenance to the house, rather than an integral part of the structure.

Guidelines

1. Porches in need of repair should be repaired, not demolished. Repairs to the structure of a porch should be done in such a way that the visual character of the porch is not changed.
2. Enclosing porches has a significant impact on the visual character of both the individual house and the streetscape. The greatest care needs to be taken in the design of the enclosure to maintain the sense of transparency and separation from the structure of the house.
3. Solid walls should not be added onto porches where none exist. The design and materials should be kept as simple as possible rather than trying to match the building facade. This approach will be more effective at maintaining the transparency and original character of the porch.
4. Columns and railings in need of repair should be repaired; if repair is not feasible, replace to match the existing ones as closely as possible. Vinyl replacement materials are not allowed.
5. If replacing railings or adding railings in new locations, an attempt should be made to continue the line, spacing, and height of the historic railing.
6. Wherever open areas exist below porch floors, they should be skirted with open lattice, dense shrubbery, or the like.

DECKS/BALCONIES

Decks are a modern expression of porches, but do not have a visual counterpart in historic buildings. Great care needs to be taken with their design to make them fit into the historic character of the house. Areas where visual conflicts arise are: size and coverage; railings; intrusion into spaces between buildings; and materials.

Guidelines

1. Where possible, keep decks low to the ground.
2. Decks should be as unobtrusive as possible.
3. Railings should continue the line and spacing of existing balustrades.
4. Unpainted redwood is a material of modern use and is inappropriate for use in the district. Decks should be painted or stained to match the existing building.

FIRE ESCAPE STAIRS

Fire stairs should be incorporated into the interior of the building if possible. If they must be on the exterior, locate them on rear or side walls, whichever is least visible from the street. Stairways should be designed as unobtrusively as possible.

FENCES

Traditionally, the appearance of a house has been more important than privacy from the street, so fences were open, for example, made of wrought iron or wood pickets. Solid wood fences are not traditional and were not used at the fronts of houses, and the present-day addition of such a fence interrupts the strong visual element created by uniform building alignment. Project approval is required for the construction or alteration of all fences.

Guidelines

1. Low fences are, encouraged.
2. A front yard fence should be a durable material in an open design. Painted iron or steel, or painted wood pickets are appropriate and might be used in conjunction with low masonry walls. There are types of wire fencing which are historic and would be encouraged. Low shrub hedges are appropriate. Vertical board, stockade, chainlink fences and heavy brick posts are generally inappropriate.
3. In front yards fences without spaces between slats can alter the character of a building site and of the streetscape because the historic architectural elements that contribute to the pattern of spacing, setbacks, scale, details, and materials of the historic district are blocked from view.
4. Solid or tight fences are not appropriate on any public right-of-way.
5. Fences across the front of a house should be low (36" or less).
6. Raw wood (unfinished or unpainted) fences are inappropriate in the historic district. Fences should be either painted or coated with an opaque stain.
7. The finished side of the fence should face toward the street or sidewalk.
8. Fences should have a regular pattern.

GARAGES, CARPORTS AND ACCESSORY STRUCTURES

Due to the limited space in Deadwood it is extremely difficult to construct new garages.

Guidelines

1. New structures should be visually separate from existing buildings.
2. If a new structure is to be constructed, design ideas might be found in existing historic accessory buildings located nearby. *AS LILA SORENSON Aux. structure. SEE (Exhibit A)
26 Burnham Ave. Nearly next door to me,*
3. The new structure should be secondary in nature to the main house and smaller in scale.
4. Accessory buildings should be small in scale and mass, and constructed in a manner which is complimentary to the character of the house and alley. They are clearly secondary in importance to the primary structure. Typically, prefabricated sheds are not allowed if visible from the street.

MISCELLANEOUS

In any area of the heterogeneity and complexity of Deadwood there are bound to be properties which do not fit any of the traditional patterns of the area. In such cases, preservation of the character of the individual property could be more important than trying to make alterations fit into the more typical character of the neighborhood.

Guidelines

Carefully study the building and determine which elements contribute to its character. These elements should be preserved and used as individualized design guidelines for alterations.

MAJOR EXTERIOR RENOVATION, ADDITIONS AND SECOND STORIES

Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.

One-and-a-half story structures that were built prior to World War I present the most challenge. Additional stories, using non-traditionally sized dormers, and raising the existing roof are not appropriate unless the character of the structure is not compromised. Additions to the rear, or in some situations, to the side of the building, are more likely to preserve the original character of the structure and may be the most appropriate design response. Every attempt should be made to address the existing fabric of the Deadwood National Landmark Historic District.

Guidelines

1. Major renovation or the addition of a full or partial story that affects the character of a historic structure is not allowed. An addition to the rear, or in some cases to the side, of a historic structure is generally more appropriate than raising the height of the building.
2. New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation.
3. New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.

NEW CONSTRUCTION

While new construction should fit into the character of Deadwood and the neighborhood, there is no intent to require historic imitation. It is appropriate that new designs incorporate the elements that contribute to the character of the neighborhood, such as overall mass, rooflines, windows, porches, front entries, etc. However, innovative ways of incorporating such elements and modern expressions of detailing are strongly encouraged.

New construction in Deadwood should be in the character of the buildings surrounding it. Because streetscapes vary in Deadwood, new buildings facing the street should respect and be consistent with the existing block pattern. Traditional site layout, porch size and placement, front entry location, roof type, and door and window sizes and patterns should be considered when proposing new in-fill construction.

Guidelines

1. New construction should incorporate the elements contributing to the historic character of the Deadwood National Landmark Historic District.
2. Building elevations visible from streets and alleys need the greatest sensitivity. Front porches are an important visual element and should be incorporated into new construction except in unusual situations.
3. New construction should not imitate historic buildings, but should be an expression of its own time. Contemporary expression of traditional architectural elements is encouraged. Simplicity is an important aspect of creating compatible new construction.
4. The mass and scale of new construction should respect neighboring buildings and the streetscape as a whole. Site layout, porch size and placement, entry level and location, roof line, and door and window sizes and patterns should harmonize with the historic context rather than compete with or copy it.
5. New construction should utilize a roof form found in the district.
6. Use building materials that are familiar in their dimensions and that can be repeated. This helps to establish a sense of scale for new buildings. Whenever possible, use familiar building components in traditional sizes.

NON CONTRIBUTING BUILDINGS

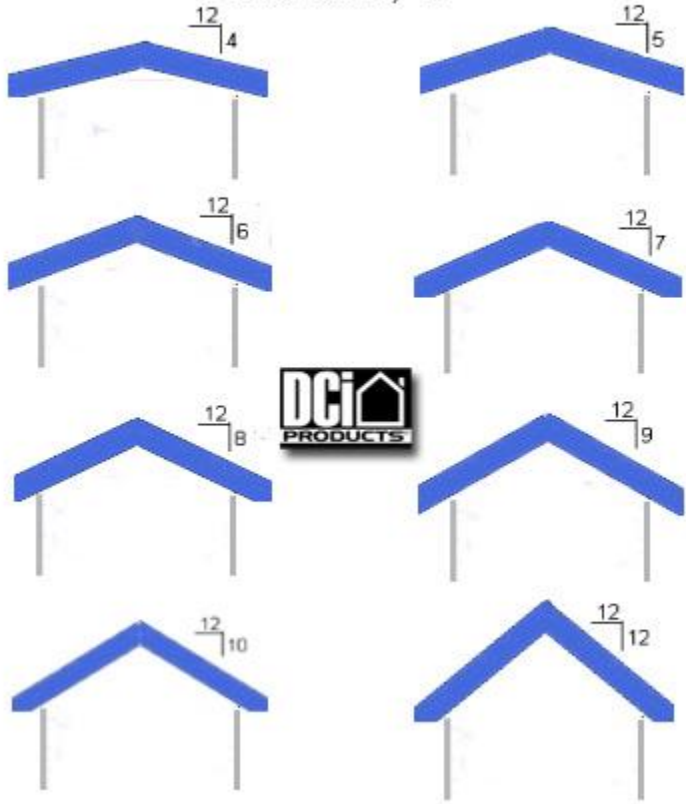
Non contributing buildings within the Deadwood National Landmark District generally conform to the size, scale, form and mass of the surrounding historic buildings.

Guidelines

1. The rehabilitation or renovation of non contributing buildings should retain the original materials if at all possible. The introduction of new materials is appropriate if they are similar in dimension, style and appearance to historic materials found in the Deadwood National Landmark Historic District.

Examples of Roof Pitches

From 4 to 12/12



Date: September 30, 2024

Case No. 240195
Address: 38 Burnham

Staff Report

The applicant has submitted an application for Project Approval for work at 38 Burnham, a noncontributing structure located in the Highland Park Planning Unit in the City of Deadwood.

Applicant: Peter Pantazopoulos
Owner: PANTAZOPULOS, PETERROBINSON, LYNNETTE
Constructed: c 1980

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This is a modern building which serves as a garage and workspace. Because it is less than 50 years old, it cannot contribute to the Deadwood National Historic Landmark District at this time. The location of this structure is addressed at 180 Pleasant Street.

2. Architectural design of the resource and proposed alterations:

Applicant is requesting permission to construct carport: 28x22 8' height, gable ended, 4/12 pitch, with asphalt shingled roof. 6x6 brown, treated upright posts, manufactured trusses. Appropriate LVL beams, as necessary, as per contractor's preference.

Attachments: Yes

Plans: Yes

Photos: No

Staff Opinion:

The proposed work and changes do not encroach upon, damage, or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

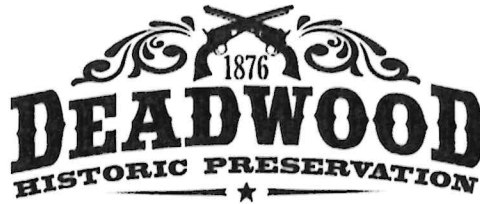
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
**PLANNING, ZONING AND
 HISTORIC PRESERVATION**
 108 Sherman Street
 Telephone (605) 578-2082
 Fax (605) 578-2084



FOR OFFICE	Section 8 Item a.
Case No. _____	
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received ____/____/____	
Date of Hearing ____/____/____	

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:
 City of Deadwood
 Deadwood Historic Preservation Office
 108 Sherman Street
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>38 Burnham Ave.</u>
Historic Name of Property (if known): _____

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Peter Pantazopoulos</u>
Address: <u>38 Burnham Ave</u>
City: <u>Dead</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-491-0936</u> Fax: _____
E-mail: <u>rallyheadquarters3@gmail</u>

Architect's Name: <u>Self</u>
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>Dan Von Meers</u>
Address: <u>152 Charles St.</u>
City: <u>Dead</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>608-474-0121</u> Fax: _____
E-mail: <u>hondedan50@gmail</u>

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other <u>car port</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

FOR OFFICE USE ONLY
Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)	
Project Start Date: _____	Project Completion Date (anticipated): _____
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____
<input type="checkbox"/> ROOF	<input type="checkbox"/> New <input type="checkbox"/> Re-roofing <input type="checkbox"/> Material <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear <input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear Material _____ Style/type _____ Dimensions _____
<input type="checkbox"/> WINDOWS <input type="checkbox"/> STORM WINDOWS <input type="checkbox"/> DOORS <input type="checkbox"/> STORM DOORS	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement <input type="checkbox"/> New <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear Material _____ Style/type _____
<input type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement <input type="checkbox"/> New <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear Note: Please provide detailed plans/drawings
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New <input type="checkbox"/> Restoration <input type="checkbox"/> Replacement Material _____ Style/type _____ Dimensions _____
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments <i>see submitted car port plans</i>	

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Asphalt
20x22 8' height, gable end, 4/12 pitch shingled roof. 6x6 brown treated upright posts, manufactured trusses. Appropriate LVL beams as necessary as per contractor's preference.

FOR OFFICE USE ONLY

Case No. _____

SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Peter Pantazopoulos 9/25/24
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

Yvonne Johnson 9/25/24
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Criteria Checklist for Project Approval OR Certificate of Appropriateness

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

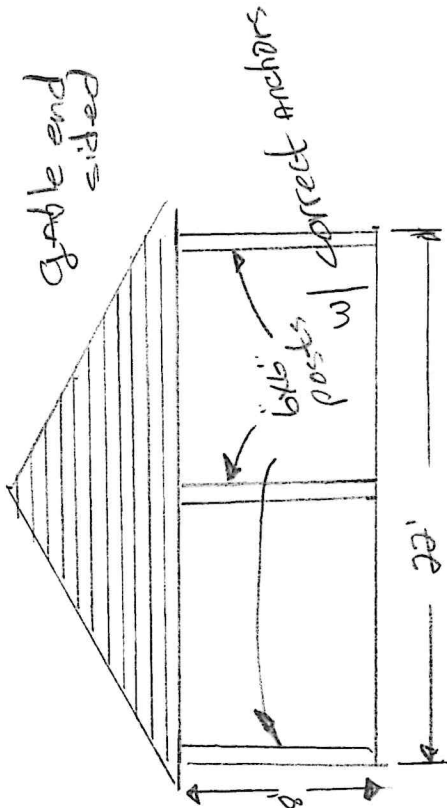
PAINTING, SIDING:

- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

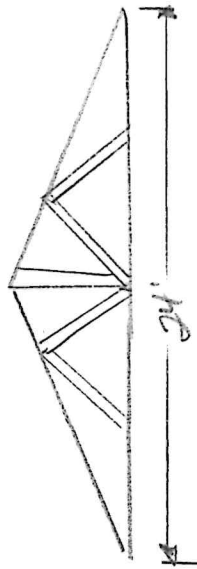
NEW CONSTRUCTION:

- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.

side view 4/12 pitch roof

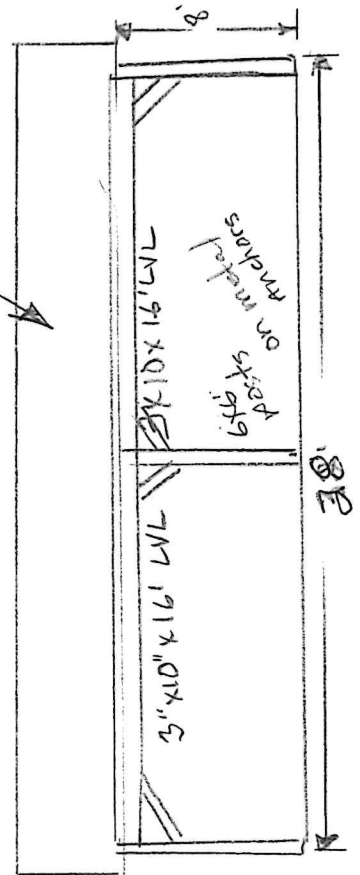


4/12 pitch roof trusses

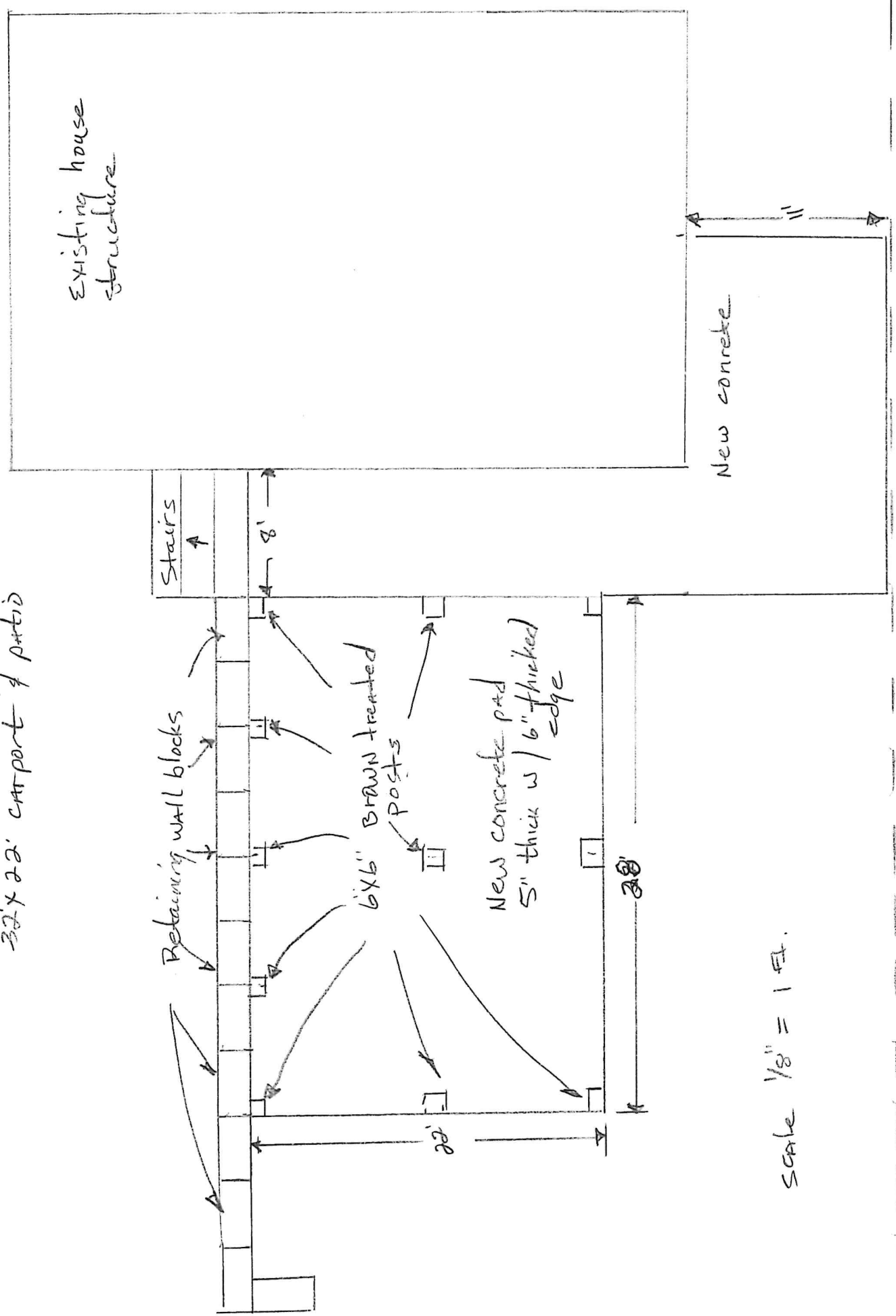


ROOF - shingles or brown metal

Front view



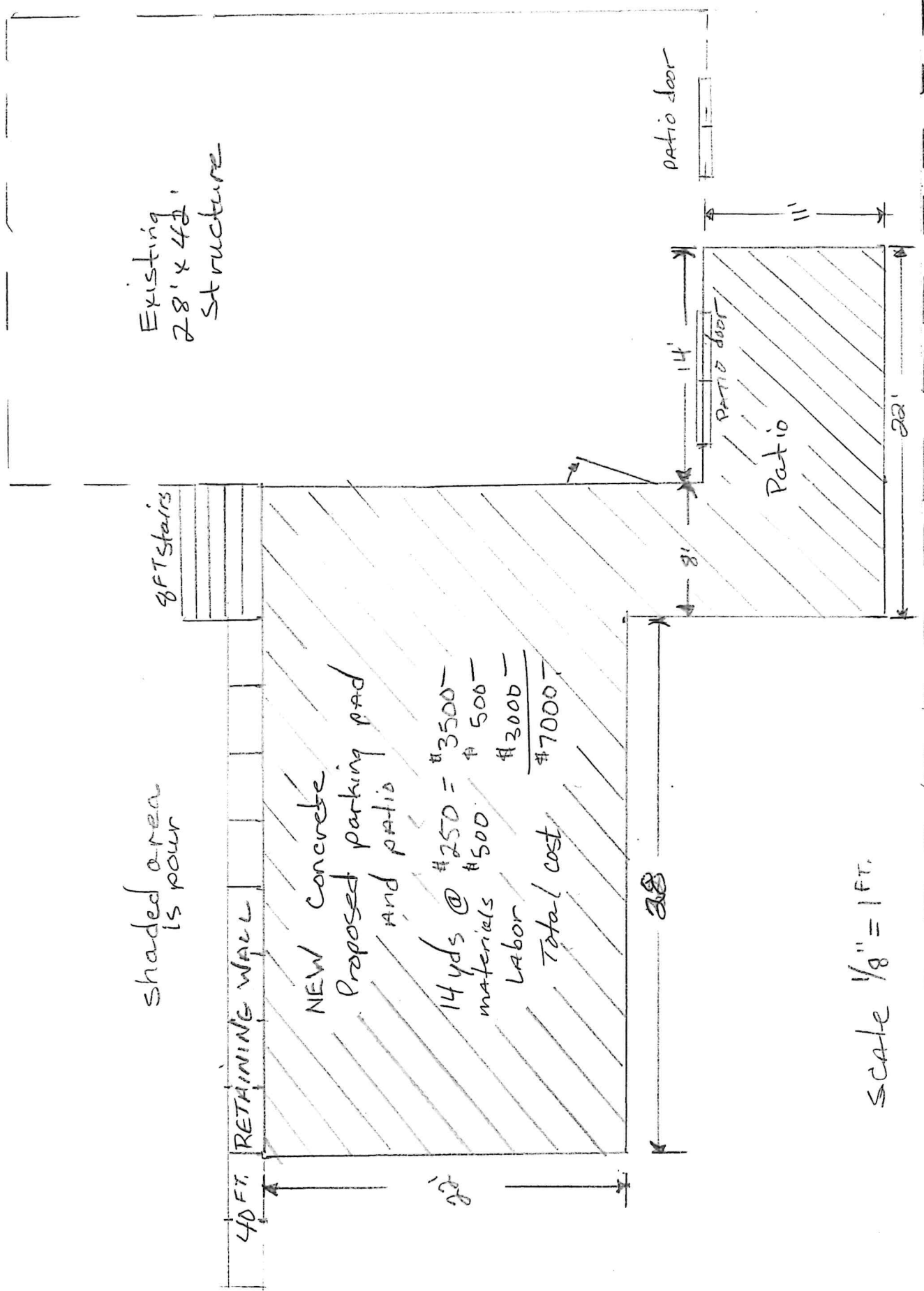
38 Burnham Ave
site for proposed
32' x 22' carport & patio



Scale 1/8" = 1 FT.

Property lines

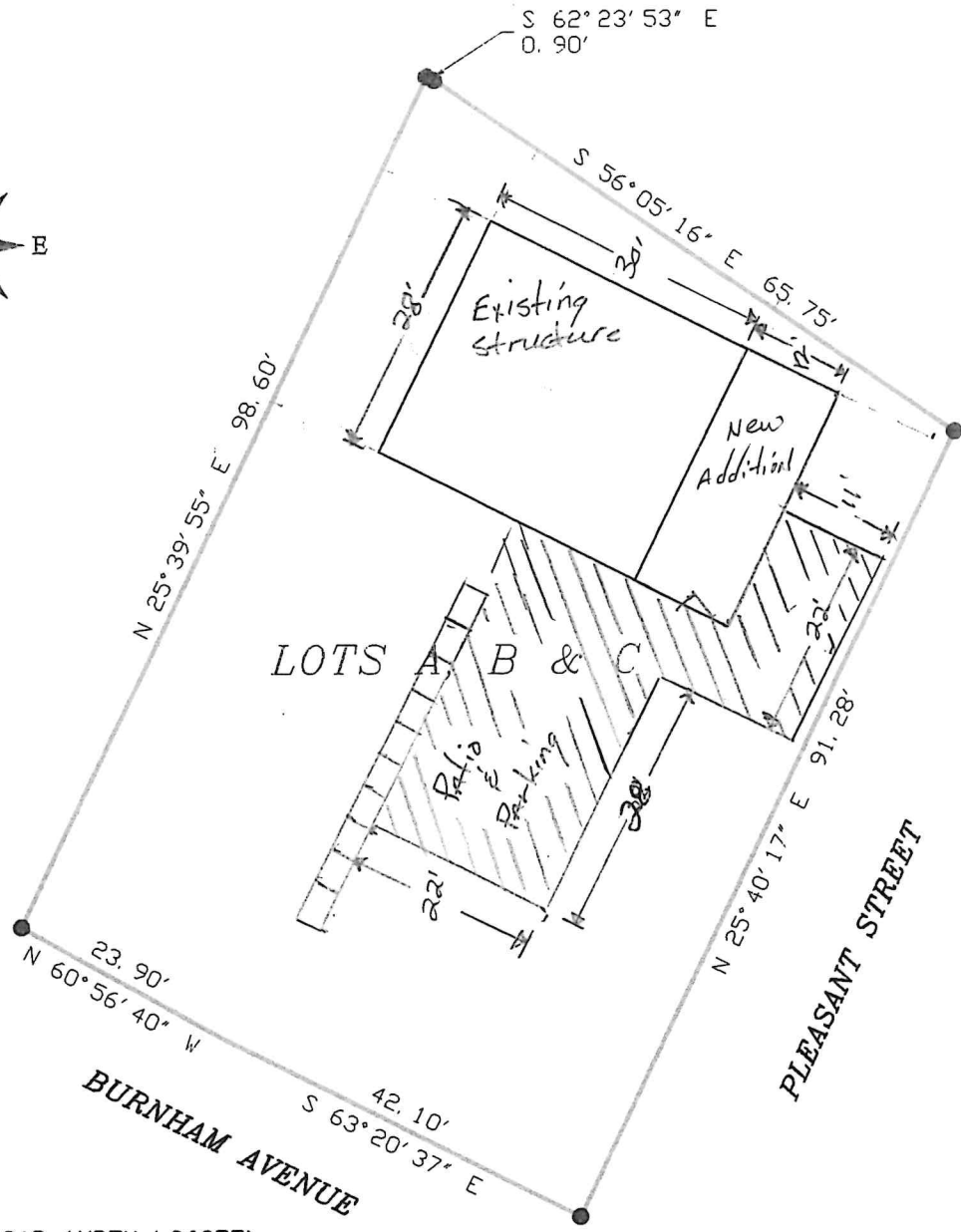
38 BURNHAM AVE,
 Peter Pmtzopoulos
 651-491-0936



scale 1/8" = 1 FT.

Property lines

**LOTS A, B & C IN BLOCK 9 OF HIGHLAND
PARK ADDITION TO THE CITY OF DEADWOOD,
LAWRENCE COUNTY, SOUTH DAKOTA**



● REBAR & CAP (VREM LS6977)

SURVEYOR'S CERTIFICATE

I, LOREN D. VREM R.L.S. 6577, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS SURVEYED UNDER MY SUPERVISION AND THAT ALL DIMENSIONS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



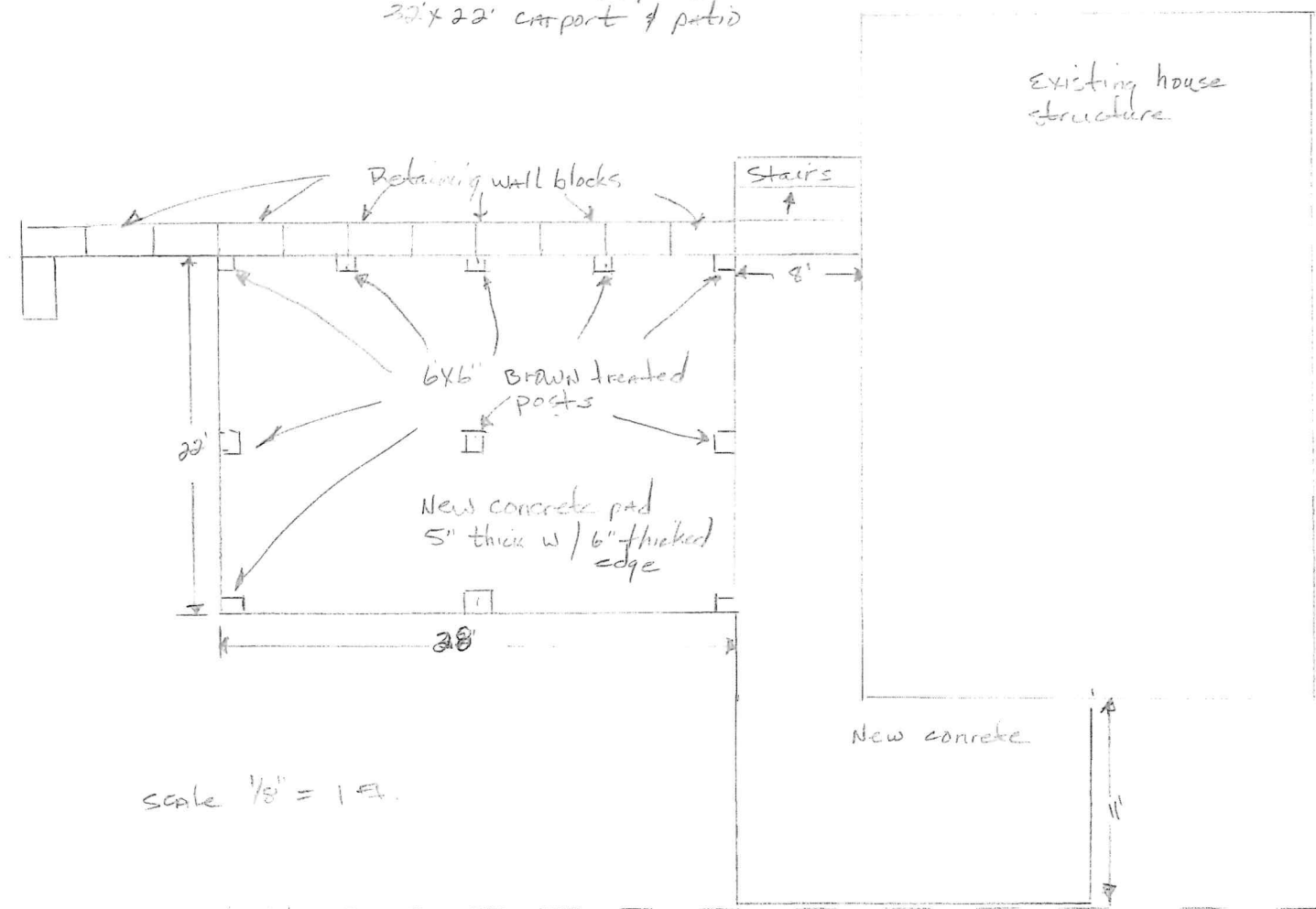
[Signature] 10/2/17
 LOREN D. VREM R.L.S. 6577 DATE



Prepared By:
PONDEROSA LAND SURVEYS, L.L.C.
 332A WEST MAIN ST.
 LEAD, SD 57754
 (605) 722-3840

Date:	10/02/2017
Drawn By:	L. D. Vrem
Project No.:	16-303
Dwg. No.:	16-303.dwg

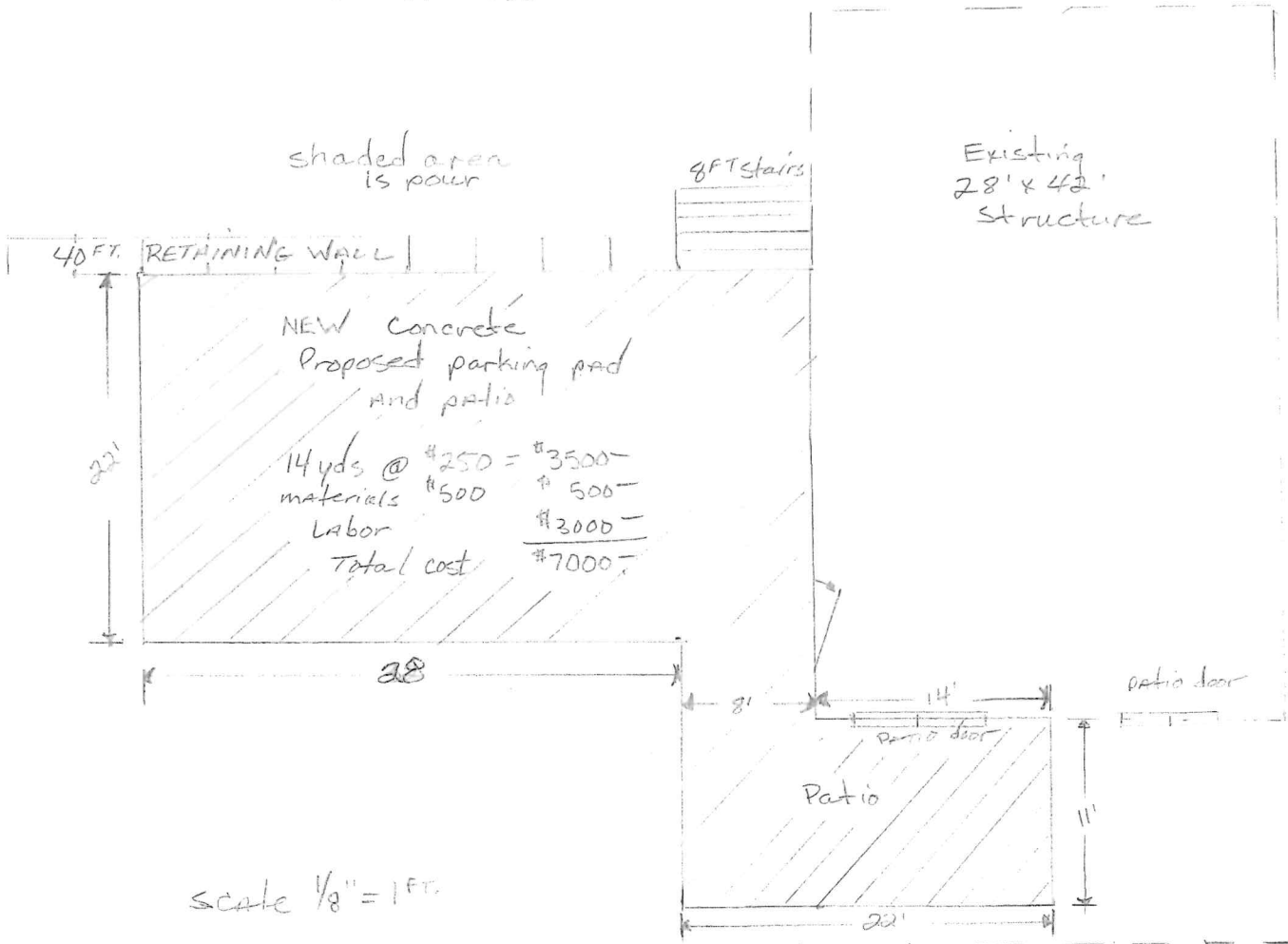
38 Burnham Ave
site for proposed
22' x 22' carport & patio



scale 1/8" = 1 ft.

Property lines

38 Burnham Ave,
Peter Pantazopoulos
651-491-0936



Property lines