



# Historic Preservation Commission Meeting Agenda

Wednesday, October 26, 2022 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

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1. **Call Meeting to Order**

2. **Roll Call**

3. **Approval of Minutes**

- [a.](#) Approve minutes of 10/12/22 Meeting

4. **Voucher Approvals**

- [a.](#) HP Operating Vouchers

- [b.](#) HP Grant Vouchers

- [c.](#) HP Revolving Vouchers

5. **HP Programs and Revolving Loan Program**

- [a.](#) Historic Preservation Loan Requests

Les Karas - 784 Main St. - Request to Forgive

Masonic Center - 715 Main St. - Loan Extension Requests

Cara Potter - 152 Charles - Loan Extension Requests

- [b.](#) Rapid City Masonic Building Association – Outside of Deadwood Grant - Request for Extension

- [c.](#) Update Application for Historic Preservation Programs and Policy Guidelines

6. **Old or General Business**

- [a.](#) 2022 Deadwood Fire History Project and Contract

7. **New Matters Before the Deadwood Historic District Commission**

- [a.](#) COA 220170 - Jordan Dahl - 566 Main - Install flat roof on axe throwing structure

- [b.](#) COA 220171 - First Gold Hotel and Gaming - 270 Main - Construct awning to cover mechanical/electrical equipment

8. **New Matters Before the Deadwood Historic Preservation Commission**

9. **Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

10. **Staff Report**

(Items considered but no action will be taken at this time.)

- [a.](#) Fassbender Collection Newsletter 2022 Third Quarter

- [b.](#) South Dakota Municipal League - Public Meetings and Electronic Communication policies

11. **Committee Reports**

(Items considered but no action will be taken at this time.)

12. **Adjournment**

***Note:*** All Applications ***MUST*** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.

Please practice the CDC's social distancing recommendations



# Historic Preservation Commission Meeting Minutes

Wednesday, October 12, 2022 at 5:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

## 1. Call Meeting to Order

A quorum present, Commission Chair Posey called the Deadwood Historic Preservation Commission meeting to order on October 12, 2022 at 5:00 p.m.

## 2. Roll Call

### PRESENT

HP Commission Chair Bev Posey  
 HP Commission Vice Chair Leo Diede  
 HP Commissioner Trevor Santochi  
 HP Commissioner Jill Weber  
 HP Commissioner Tony Williams  
 HP Commissioner Vicki Dar

City Commissioner Charlie Struble

### ABSENT

HP Commission 2nd Vice Chair Robin Carmody

### STAFF PRESENT

Kevin Kuchenbecker, Historic Preservation Officer  
 Bonny Anfinson, Program Coordinator  
 Mike Walker, NeighborWorks Director

## 3. Approval of Minutes

- a. Approval of 9/28/22 Meeting Minutes

***It was moved by Commissioner Santochi and seconded by Commissioner Diede to approve the Minutes of September 28, 2022. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

## 4. Voucher Approvals

- a. HP Operating Vouchers

***It was moved by Commissioner Williams and seconded by Commissioner Weber to approve the HP Operating Vouchers in the amount of \$72,685.47. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

- b. HP Grant Voucher Approval 10/18/2022

***It was moved by Commissioner Williams and seconded by Commissioner Santochi to approve the HP Grant Vouchers in the amount of \$22,234.31. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

- c. HP Revolving Voucher Approval 10/18/22

***It was moved by Commissioner Santochi and seconded by Commissioner Weber to approve the HP Revolving Vouchers in the amount of \$53,790.33. Voting Yea: Posey, Weber, Diede, Santochi, Dar, Williams.***

## 5. HP Programs and Revolving Loan Program

- a. Historic Preservation Loan Requests

Jackie Richerson - 66 Taylor - Preservation Loan Request  
Garvin & Ruth Smith - 66 Lincoln - Foundation & Life Safety Loan Requests  
Joette Johnson - 78 Williams - Deferment Request

***It was moved by Commissioner Weber and seconded by Commissioner Santochi to approve the requests for Jackie Richerson, 66 Taylor, Preservation Loan Request; Garvin and Ruth Smith, 66 Lincoln, Foundation and Life Safety Loan Requests; Joette Johnson, 78 Williams, Deferment Request. Voting Yea: Posey, Weber, Diede, Santochi, Dar, Williams.***

- b. Historic Preservation Grant Program Applications

Steve Schramm - 7 Stewart St. - Siding and Windows and Doors Program  
Randi Coddington - 21 Guy St. - Windows Program  
Brad and Laurel Ann Butturff - 32 Jackson Ave. - Elderly Resident Program

***It was moved by Commissioner Diede and seconded by Commissioner Santochi to accept Steve Schramm, 7 Stewart Street, Siding and Wood Windows and Doors Program; Randi Coddington, 21 Guy Street, Wood Windows and Doors Program; Brad and Laurel Ann Butturff, 32 Jackson Avenue, Elderly Resident Program. Voting Yea: Posey, Weber, Diede, Santochi, Dar, Williams.***

## 6. Old or General Business

- a. Invitation from MSI Economic Restructuring Committee to participate in a Main Street Initiative work group for City Ordinance review.

Mr. Wagner stated the Economic Restructuring Committee, a sub-committee of the Main Street Initiative Committee, is requesting acceptance of an invitation to participate in a city ordinance working group to address growing concerns with national food chain restaurants and signage within the Core Historic District of Main Street. This group will draft an ordinance prohibiting national food chain restaurants in the Core Historic District and bring it to the Planning and Zoning Commission for consideration. This group would also review and suggest changes to the sign ordinances that better align with the Deadwood brand. Mr. Gienger stated due to the increased purchasing of buildings by out-of-state individuals and groups, this committee is necessary to protect the integrity of the Core Historic District moving forward. Mr. Gienger further stated, "A perfect example is the Fairmont Hotel." This will also help the issue of businesses on Main Street closing in the off season. Mr. Kuchenbecker stated no more than two members would be appropriate for the committee if the entire body approves participation. ***It was moved by***



***Commissioner Diede and seconded by Commissioner Santochi to support the request to participate in a city ordinance working group to address growing concerns with national food chain restaurants and signage within the Core Historic District of Main Street. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

***It was moved by Commissioner Diede and seconded by Commissioner Santochi to appoint Commissioner Weber and Commissioner Williams to the City Ordinance Working Group Committee. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

b. Gregory County Outside of Deadwood Grant Extension Request

Mr. Kuchenbecker stated Gregory County received an Outside of Deadwood Grant in the 2021 funding cycle to make needed repairs to the exterior of the historic courthouse. The contractor is having issues of hiring staff and delays in getting necessary materials for the tuck pointing and brick cleaning project. Because of this delay they are requesting an extension on their grant. The Projects Committee has reviewed this issue and recommend granting the extension until June 1, 2023. ***It was moved by Commission Weber and seconded by Commissioner Santochi to grant an extension to Gregory County for the restoration of the historic courthouse until June 1, 2023. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

c. Plankinton Preservation Society – Emergency Outside of Deadwood Grant Request - \$4,300.00

Mr. Kuchenbecker stated the Plankinton Preservation Society has submitted an emergency grant request for repairs to the roof of the Sweep Van Dyke Hotel's unique veranda. Repairs do need to be completed before winter as snowpack on the veranda will be detrimental to the structure if not repaired this fall. The cost to stabilize the veranda is \$8,600.00. The applicant is requesting \$4,300.00. This is the first time Plankinton has requested any Outside of Deadwood Grant funds. The Projects Committee has reviewed this issue and recommend granting an emergency grant to Plankinton Preservation Society for stabilization of the veranda on the historic Sweep Van Dyke Hotel. Mrs. Anfinson stated there is a concern regarding the material being used on the veranda and will it affect the historic status. In checking with Chris Nelson at the SHPO office he stated this work will impact material integrity but the overall integrity of the building is still good. ***It was moved by Commissioner Weber and seconded by Commissioner Dar to grant an emergency grant to Plankinton Preservation Society for stabilization of the veranda on the historic Sweep Van Dyke Hotel in the amount of \$4,300.00. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

**7. New Matters Before the Deadwood Historic District Commission**

**8. New Matters Before the Deadwood Historic Preservation Commission**

- a. PA 220165 - Peter Pantazopoulos - 38 Burnham Ave. - Construct addition onto current structure

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 38 Burnham, a noncontributing structure located in the Highland Park Planning Unit. This is his second request. The applicant is requesting permission to construct a 12'x28' slant roof addition to an existing structure and will consist of one new walk-through door with one half lite window with one double hung window facing the front and two patio doors on 28 ft. side. New addition will be sided with Smart siding with five-inch reveal on all new sides with corner boards and 1x4 trim around openings and corner boards. Staff appreciates the applicant working with the Commission to address the concerns from the previous application. The proposed work and changes does not encroach upon, damage or destroy a historic resource but does not have an adverse effect on the character of the building and the overall historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

Commissioner Diede stated thank you for working with the Historic Preservation Commission. ***It was moved by Commissioner Diede and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project DOES NOT encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

- b. PA 220166 - Randi Coddington - 21 Guy St. - Replace garage windows and doors

Mr. Kuchenbecker stated the applicant submitted an application for Project Approval for work at 21 Guy St., a contributing structure located in the Forest Hill Planning Unit. The applicant is requesting permission to replace eight historic windows with Marvin wood windows and two garage doors with a wood look garage door made by Glenmoor. Staff conducted a site visit of the project to determine if the windows should be restored or replaced. The applicant will be entering into the windows grant program for the windows only. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Santochi and seconded by Commissioner Weber based upon all the evidence presented, I find that this project DOES NOT encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

- c. PA 220167 - John & Jamie Hohn - 402 Williams - Replace windows and doors

Mr. Kuchenbecker stated the applicant has submitted an application for work at 402 Williams St., a contributing structure located in the Forest Hill Planning Unit. The applicant is requesting permission to replace six inappropriate vinyl windows with wood windows and replace four old windows with wood windows. Replace four exterior doors that do not function properly with wood doors. Staff conducted a site visit with the applicant to review the windows. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect

on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Weber and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Voting Yea: Posey, Diede, Santochi, Weber, Dar, Williams.***

**9. Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

**10. Staff Report**

(Items considered but no action will be taken at this time.)

Mr. Kuchenbecker stated they have been conducting interviews for the Public Works Director position. Lornie Stalder has been hired as the Building Superintendent. The Mt. Moriah cemetery work will be finishing up and staffing will end October 15, 2022. City staff held an on-site meeting with FEMA for the Whitewood Creek Bank Stabilization project. Commissioners Carmody and Dar along with Mr. Kuchenbecker attended the West River History Conference was last week at Custer State Park.

**11. Committee Reports**

(Items considered but no action will be taken at this time.)

Commissioner Dar stated she enjoyed the West River History Conference and Mr. Kuchenbecker did an amazing job on his presentation. The Main Street Initiative's event entitled Hops and Hogs sold 561 tickets.

**12. Adjournment**

The Historic Preservation Commission Meeting adjourned at 5:38 p.m.

ATTEST:

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Chairman, Historic Preservation Commission

*Minutes by Bonny Anfinson, Program Coordinator*

# Historic Preservation Commission

## Bill List - 2022

OPERATING ACCOUNT: Historic Preservation	
<b>HP Operating Account Total:</b>	<b>\$ 330,756.35</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

HPC	10/26/22
Batch	11/08/22

PACKET: 05933 11/08/22 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0186	ALPINE IMPRESSIONS					
I-22584		EMBROIDR PRK ENFRC BCKT HAT-T	15.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		EMBROIDR PRK ENFRC BCKT HAT-TR		610 4360-426	SUPPLIES	15.00
		=== VENDOR TOTALS ===	15.00			
=====						
01-4711	AMAZON CAPITAL SERVICES					
I-17JK-1YXK-FRWW		MAGNETS WOODEN RACK-HP/PZ	65.90			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		MAGNETS WOODEN RACK-PZ		101 4640-426	SUPPLIES	59.42
		MAGNETS - HP		215 4641-426	SUPPLIES	6.48
I-1XND-1JTL-WFHX		REPLACEMENT HEADSET - CINDY	164.95			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		REPLACEMENT HEADSET - CINDY		215 4641-426	SUPPLIES	82.48
		REPLACEMENT HEADSET - CINDY		101 4640-426	SUPPLIES	82.47
		=== VENDOR TOTALS ===	230.85			
=====						
01-0429	BLACK HILLS ENERGY					
I-DS# 156577		INSTL TEMP 3PHASE RISER-LIB R	18,828.86			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		INSTL TEMP 3PHASE RISER-LIB RW		215 4577-755	CAPITAL ASSETS RETAINING	18,828.86
I-DS# 159124		REMOVE POLE & OVERHEAD-LIB RW	41,772.72			
11/08/2022	FNBAP	DUE: 10/18/2022 DISC: 10/18/2022		1099: N		
		REMOVE POLE & OVERHEAD-LIB RW		215 4577-755	CAPITAL ASSETS RETAINING	41,772.72
		=== VENDOR TOTALS ===	60,601.58			
=====						
01-3838	BLUEPEAK					
I-101622MM-GS		MT MORIAH GS 10/20/22-11/19/2	138.19			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		MT MORIAH GS 10/20/22-11/19/22		607 4580-428	UTILITIES	138.19
		=== VENDOR TOTALS ===	138.19			
=====						
01-4204	COMPLETE CONCRETE, INC.					
I-1		MT MORIAH 2022 IMPROVEMENTS	63,766.57			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		MT MORIAH 2022 IMPROVEMENTS		607 4580-433	IMPROVEMENTS	63,766.57
		=== VENDOR TOTALS ===	63,766.57			

PACKET: 05933 11/08/22 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0475		DEADWOOD CHAMBER & VISITORS BU				
I-101422HP-1		BILL LIST FOR OCTOBER 26, 202	1,158.13			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		HPC MARKETING		215 4572-210	VISITOR MGMT MARKETING	1,158.13
I-101422HP-2		BILL LIST FOR OCTOBER 26, 202	69,147.92			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		4TH QUARTER H&IC		215 4572-215	VISITOR MGMT HISTORY/INF	17,500.00
		HPC MARKETING		215 4572-210	VISITOR MGMT MARKETING	51,647.92
		=== VENDOR TOTALS ===	70,306.05			
=====						
01-3558		DEADWOOD HISTORY, INC.				
I-102522-AH		2022 GEN OPERATING SUPPORT-AH	75,000.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		2022 GEN OPERATING SUPPORT-AH		215 4573-310	HIST. INTERP. AH COLLECT	75,000.00
I-102522-HARCC		2022 OPERATING SUPPORT - HARC	38,000.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		2022 OPERATING SUPPORT - HARCC		215 4573-390	HIST. INTERP. HARCC	38,000.00
		=== VENDOR TOTALS ===	113,000.00			
=====						
01-3044		LAWRENCE CO. EQUALIZATION				
I-101422		TREE MAP (TR PROJ)- ARCHIVES	10.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		TREE MAP (TR PROJ)- ARCHIVES		215 4573-335	HIST. INTERP. ARCHIVE DE	10.00
		=== VENDOR TOTALS ===	10.00			
=====						
01-3295		PANNIER				
I-167133		BOY SCOUT RPLCMNT PANEL-PUB E	264.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		BOY SCOUT RPLCMNT PANEL-PUB ED		215 4572-235	VISITOR MGMT ADVOCATE	264.00
		=== VENDOR TOTALS ===	264.00			
=====						
01-5013		STATE GAME LODGE				
I-177630		ATTEND WRHC CUSTER - V DAR	186.30			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		ATTEND WRHC CUSTER - V DAR		215 4641-427	TRAVEL	186.30
		=== VENDOR TOTALS ===	186.30			

PACKET: 05933 11/08/22 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-2014	TOMS, DON					
=====						
I-LEDGER PROJECT 1020		1906 TAX RECORDS BOOK 2 OF 3	600.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: Y		
		1906 TAX RECORDS BOOK 2 OF 3		215 4573-335	HIST. INTERP. ARCHIVE DE	600.00
=== VENDOR TOTALS ===			600.00			
=====						
01-0578	TWIN CITY HARDWARE & LUMBER					
=====						
I-2210-216464		BLUE BOARD 1" R5 - ARCHIVES	27.99			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		BLUE BOARD 1" R5 - ARCHIVES		215 4573-335	HIST. INTERP. ARCHIVE DE	27.99
=== VENDOR TOTALS ===			27.99			
=====						
01-4739	TWIN CITY HARDWARE-HP PAINT PR					
=====						
I-2210-215014		PAINT GRANT - 24 JEFFERSON	26.53			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 24 JEFFERSON		215 4575-525	GRANT/LOAN PAINT PROGRAM	26.53
=====						
I-2210-215152		PAINT GRANT - 56 TAYLOR	249.99			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 56 TAYLOR		215 4575-525	GRANT/LOAN PAINT PROGRAM	249.99
=====						
I-2210-215175		PAINT GRANT - 56 TAYLOR	78.98			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 56 TAYLOR		215 4575-525	GRANT/LOAN PAINT PROGRAM	78.98
=====						
I-2210-215676		PAINT GRANT - 21 GUY	149.93			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 21 GUY		215 4575-525	GRANT/LOAN PAINT PROGRAM	149.93
=====						
I-2210-217611		PAINT GRANT - 21 GUY	20.97			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 21 GUY		215 4575-525	GRANT/LOAN PAINT PROGRAM	20.97
=====						
I-2210-217895		PAINT GRANT - 21 GUY	54.98			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 21 GUY		215 4575-525	GRANT/LOAN PAINT PROGRAM	54.98
=====						
I-2210-217964		PAINT GRANT - 21 GUY	60.97			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		PAINT GRANT - 21 GUY		215 4575-525	GRANT/LOAN PAINT PROGRAM	60.97
=== VENDOR TOTALS ===			642.35			

PACKET: 05933 11/08/22 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-1325		VFW BLACK HILLS POST 5969				
=====						
I-102522		2022 NOT FOR PROFIT GRANT	20,842.47			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		2022 NOT FOR PROFIT GRANT		215 4575-510	GRANT/LOAN NON-PROFIT IN	20,842.47
=== VENDOR TOTALS ===			20,842.47			
=====						
01-2728		WEST RIVER HISTORY CONFERENCE				
=====						
I-101422		2022 WRHC REGISTRATION - KK	125.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		2022 WRHC REGISTRATION - KK		215 4641-427	TRAVEL	125.00
=== VENDOR TOTALS ===			125.00			
=== PACKET TOTALS ===			330,756.35			



PACKET: 05933 11/08/22 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

## \*\* T O T A L S \*\*

INVOICE TOTALS	330,756.35
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

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BATCH TOTALS	330,756.35
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## \*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====		
					ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG	ANNUAL BUDGET	BUDGET AVAILABLE	OVER BUDG
2022		101-2020	ACCOUNTS PAYABLE	141.89-*						
		101-4640-426	SUPPLIES	141.89	3,000	886.16				
		215-2020	ACCOUNTS PAYABLE	266,694.70-*						
		215-4572-210	VISITOR MGMT MARKETING	52,806.05	414,000	99,586.15		799,000	244,191.62	
		215-4572-215	VISITOR MGMT HISTORY/INF	17,500.00	70,000	0.00		799,000	279,497.67	
		215-4572-235	VISITOR MGMT ADVOCATE	264.00	200,000	76,841.47		799,000	296,733.67	
		215-4573-310	HIST. INTERP. AH COLLECT	75,000.00	75,000	0.00				
		215-4573-335	HIST. INTERP. ARCHIVE DE	637.99	40,600	12,695.32				
		215-4573-390	HIST. INTERP. HARCC	38,000.00	38,000	0.00				
		215-4575-510	GRANT/LOAN NON-PROFIT IN	20,842.47	40,000	2,892.47- Y				
		215-4575-525	GRANT/LOAN PAINT PROGRAM	642.35	20,000	12,899.36				
		215-4577-755	CAPITAL ASSETS RETAINING	60,601.58	400,000	232,832.48				
		215-4641-426	SUPPLIES	88.96	15,000	9,027.09				
		215-4641-427	TRAVEL	311.30	7,500	3,144.22				
		607-2020	ACCOUNTS PAYABLE	63,904.76-*						
		607-4580-428	UTILITIES	138.19	1,700	3,067.68- Y				
		607-4580-433	IMPROVEMENTS	63,766.57	1,500	62,266.57- Y				
		610-2020	ACCOUNTS PAYABLE	15.00-*						
		610-4360-426	SUPPLIES	15.00	20,000	14,473.66				
		999-1301	DUE FROM FUND 101	141.89 *						
		999-1306	DUE FROM FUND 215	266,694.70 *						
		999-1344	DUE FROM FUND 607	63,904.76 *						
		999-1345	DUE FROM FUND 610	15.00 *						
		** 2022 YEAR TOTALS		330,756.35						

10/26/2022 11:57 AM  
PACKET: 05933 11/08/22 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

A/P Regular Open Item Register

Section 4 Item a.

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
101	11/2022	141.89
215	11/2022	266,694.70
607	11/2022	63,904.76
610	11/2022	15.00

NO ERRORS NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

# Historic Preservation Commission

## 2022 Grant Funds

HP GRANT ACCOUNT: Historic Preservation	
<b>HP Grant Account Total:</b>	<b>\$ 19,267.07</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Officer

HPC	10/26/22
Batch	11/08/22

10/26/2022 10:42 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 05934 11/08/22 - HP GRANTS - BA

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-4726	KNECHT HOME CNTR-GRANTS					
I-8342163		18 DENVER SIDING RESTORATION	7.67			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER SIDING RESTORATION		216 4653-962-04	SIDING GRANT EXPENSE	7.67
I-8355214		18 DENVER WINDOW RESTORATION	30.86			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER WINDOW RESTORATION		216 4653-962-03	WINDOWS GRANT EXPENSE	30.86
=== VENDOR TOTALS ===			38.53			
=====						
01-5012	PELLA WINDOWS & DOORS					
I-107728		15 WASHINGTON WINDOWS	12,600.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		15 WASHINGTON WINDOWS		216 4653-962-03	WINDOWS GRANT EXPENSE	12,600.00
I-109909		15 WASHINGTON WINDOWS	6,400.00			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		15 WASHINGTON WINDOWS		216 4653-962-03	WINDOWS GRANT EXPENSE	6,400.00
=== VENDOR TOTALS ===			19,000.00			
=====						
01-4739	TWIN CITY HARDWARE-HP PAINT PR					
I-2210-217271		18 DENVER WINDOW RESTORATION	69.13			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER WINDOW RESTORATION		216 4653-962-03	WINDOWS GRANT EXPENSE	69.13
I-2210-217346		18 DENVER SIDING RESTORATION	39.99			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER SIDING RESTORATION		216 4653-962-04	SIDING GRANT EXPENSE	39.99
I-2210-218128		18 DENVER WINDOW RESTORATION	36.46			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER WINDOW RESTORATION		216 4653-962-03	WINDOWS GRANT EXPENSE	36.46
I-2210217722		18 DENVER SIDING RESTORATION	82.96			
11/08/2022	FNBAP	DUE: 11/08/2022 DISC: 11/08/2022		1099: N		
		18 DENVER SIDING RESTORATION		216 4653-962-04	SIDING GRANT EXPENSE	82.96
=== VENDOR TOTALS ===			228.54			
=== PACKET TOTALS ===			19,267.07			

** T O T A L S **		
INVOICE TOTALS	19,267.07	
DEBIT MEMO TOTALS	0.00	
CREDIT MEMO TOTALS	0.00	
<hr/>		
BATCH TOTALS	19,267.07	
<hr/>		

** G/L ACCOUNT TOTALS **										
					=====LINE ITEM===== ~~~~~GROUP BUDGET=====					
					ANNUAL	BUDGET	OVER	ANNUAL	BUDGET	OVER
BANK	YEAR	ACCOUNT	NAME	AMOUNT	BUDGET	AVAILABLE	BUDG	BUDGET	AVAILABLE	BUDG
	2022	216-2020	ACCOUNTS PAYABLE	19,267.07-*						
		216-4653-962-03	WINDOWS GRANT EXPENSE	19,136.45	80,000	28,925.32				
		216-4653-962-04	SIDING GRANT EXPENSE	130.62	60,000	38,713.09				
		999-1307	DUE FROM FUND 216	19,267.07 *						
			** 2022 YEAR TOTALS	19,267.07						

10/26/2022 10:42 AM  
PACKET: 05934 11/08/22 - HP GRANTS - BA  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

A/P Regular Open Item Register

Section 4 Item b.

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
216	11/2022	19,267.07

NO ERRORS NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

10/26/2022 9:25am

## HP REVOLVING LOAN FUND

Page 1 of 2

A/P Invoices Report

10/1/2022 - 10/31/2022

Batch = 2

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
10/2022								
Johnson, Michael - VARIOUS 102622 - 10/26/2022 - 32,047.76 - Batch: 2 - Header Memo: Work Done-227 Williams-M Johnson								
Work Done-227 Williams-M Johnson	100	1201				NOTES RECEIVABLE	32,047.76	
Work Done-227 Williams-M Johnson	100	2000				ACCOUNTS PAYABLE		32,047.76
Total:							32,047.76	32,047.76
LAWRENCE COUNTY REGISTER OF DEEDS - MOD MORT THORESEN - 10/26/2022 - 30.00 - Batch: 2 - Header Memo: Modify Mortgage-39 Washington-Thoresen								
Modify Mortgage-39 Washington-Thoresen	100	5200				CLOSING COSTS DISBURSED	30.00	
Modify Mortgage-39 Washington-Thoresen	100	2000				ACCOUNTS PAYABLE		30.00
Total:							30.00	30.00
LAWRENCE COUNTY REGISTER OF DEEDS - MOD MORT UNDERHILL - 10/26/2022 - 30.00 - Batch: 2 - Header Memo: Modify Mortgage-33 Taylor-Underhill								
Modify Mortgage-33 Taylor-Underhill	100	5200				CLOSING COSTS DISBURSED	30.00	
Modify Mortgage-33 Taylor-Underhill	100	2000				ACCOUNTS PAYABLE		30.00
Total:							30.00	30.00
Ohayon, Georgette - 10122022 - 10/26/2022 - 10,125.18 - Batch: 2 - Header Memo: Work Done-58 Washington-Breland/Ohayon								
Work Done-58 Washington-Breland/Ohayon	100	1201				NOTES RECEIVABLE	10,125.18	
Work Done-58 Washington-Breland/Ohayon	100	2000				ACCOUNTS PAYABLE		10,125.18
Total:							10,125.18	10,125.18
Ohayon, Georgette - 10122022-2 - 10/26/2022 - 5,361.82 - Batch: 2 - Header Memo: Work Done-58 Washington-Breland/Ohayon								
Work Done-58 Washington-Breland/Ohayon	100	1201				NOTES RECEIVABLE	5,361.82	
Work Done-58 Washington-Breland/Ohayon	100	2000				ACCOUNTS PAYABLE		5,361.82
Total:							5,361.82	5,361.82
Ohayon, Georgette - 927831 - 10/26/2022 - 18,000.00 - Batch: 2 - Header Memo: Work Done-58 Washington-Breland/Ohayon								

10/26/2022 9:25am

HP REVOLVING LOAN FUND  
A/P Invoices Report  
10/1/2022 - 10/31/2022  
Batch = 2

Page 2 of 2

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
10/2022 (cont'd from page 1)								
Ohayon, Georgette - 927831 - 10/26/2022 - 18,000.00 - Batch: 2 - Header Memo: Work Done-58 Washington-Breland/Ohayon (cont'd from page 1)								
Work Done-58 Washington-Breland/Ohayon	100	1201				NOTES RECEIVABLE	18,000.00	
Work Done-58 Washington-Breland/Ohayon	100	2000				ACCOUNTS PAYABLE		18,000.00
Total:							18,000.00	18,000.00
Total:							65,594.76	65,594.76
Report Total:							65,594.76	65,594.76



With Cut Off Days From 30 Through 999  
NHS of Black Hills

Loan #	Interest Paid To	Next Due	Scheduled Payment	Late Fees Accrued	NSF Fees Accrued	Past Due Interest	Past Due Principal	Total Due	Current Balance	Suspense Impound Balance	Aging Days
<b>&gt;&gt;&gt; Investor: HP NHS Revolving Loan,</b>											
HPRLBUS	08/01/2022	09/01/2022	60.78	18.24	0.00	0.00	121.56	139.80	6137.62	0.00	55

Last Worked: / / By: / /  
 Flags: Action Date: / / Work Date: / /  
 Home Telephone: (303) 883-1733 Collector Code: Loan Officer:  
 Borrower: Bussiere, Erica Work Telephone: (303) 883-1733 Last Transaction: 09/15/2022

Totals:	Scheduled Payment	Late Fees Accrued	NSF Fees Accrued	Past Due Interest	Past Due Principal	Total Due	Current Balance	Suspense Impound Balance
60.78	18.24	0.00	0.00	0.00	121.56	139.80	6137.62	0.00

Range Of Days:	11 Through 29	30 Through 59	60 Through 89	90 Plus	Total
Number Of Accounts	0.00	1.00	0.00	0.00	1.00
Late Charge Due	0.00	18.24	0.00	0.00	18.24
NSF Charge Due	0.00	0.00	0.00	0.00	0.00
Interest Due	0.00	0.00	0.00	0.00	0.00
Principal Due	0.00	121.56	0.00	0.00	121.56
Total Amount Due	0.00	139.80	0.00	0.00	139.80
Balances Due	0.00	6137.62	0.00	0.00	6137.62
Suspense/Partial Balance	0.00	0.00	0.00	0.00	0.00
Impound Balances	0.00	0.00	0.00	0.00	0.00
Percent Delinquent (\$)	0.0000	0.3026	0.0000	0.0000	0.3026
Percent Delinquent (#)	0.0000	0.6803	0.0000	0.0000	0.6803
Number Of Active Loans	147	Total Active Loan Balance	2028487.86		

Deadwood HP Total Loans 9/30/2022	
Accounting Balance (Fund EZ)	This Month
Loans per Balance Sheet - Acct 100-1201	\$2,001,447.44
TOTAL	\$ 2,001,447.44
Loan Base:	This Month
Investor Trial Balance Report	\$ 1,980,693.39
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
9/28/2022 Meeting Packet	
	\$4,235.19 Underhill
	\$6,018.86 Underhill
TOTAL	\$ 2,001,447.44
	Difference \$ -

Deadwood HP Total Loans 9/30/2022	
Accounting Balance (Fund EZ)	
Loans per Balance Sheet	\$2,001,447.44
TOTAL	\$ 2,001,447.44
Loan Base:	
Pool Trial Balance Report	\$ 1,980,693.39
	\$1,920.00 Baucom
	\$ 4,100.00 Baucom
	\$ 4,480.00 Baucom
9/28/2022 Meeting Packet	
	\$4,235.19 Underhill
	\$6,018.86 Underhill
TOTAL	\$ 2,001,447.44
	Difference \$ -

10/11/2022 11:50am

HP REVOLVING LOAN FUND  
Balance Sheet  
As of Date: 9/30/2022

Page 1 of 1

	Current Year	Prior Year
<b>Assets</b>		
Current Assets		
CASH-SAVINGS	122,498.48	(654,938.97)
CASH-INVESTED	771,165.24	769,246.19
ACCRUED INTEREST RECEIVABLE	1,536.42	1,536.42
LATE FEES RECEIVABLE	3,986.87	3,986.87
Accounts Receivable-Haverberg	1,359,645.49	1,423,117.63
Total Current Assets	2,258,832.50	1,542,948.14
Other Assets		
NOTES RECEIVABLE	2,001,447.44	1,822,661.05
Total Other Assets	2,001,447.44	1,822,661.05
Total Assets	4,260,279.94	3,365,609.19
<b>Liabilities &amp; Net Assets</b>		
Liabilities		
Current Liabilities		
Allowance for Uncollected	14,330.94	19,716.14
ACCOUNTS PAYABLE	(1,449.34)	(1,449.34)
YE Accounts Payable	1,449.34	1,449.34
Total Current Liabilities	14,330.94	19,716.14
Total Liabilities	14,330.94	19,716.14
Net Assets		
NET ASSETS	4,608,323.95	4,608,323.95
Fund Balance	56,035.78	56,035.78
NET EARNINGS(LOSS)	(2,296,140.82)	(3,196,196.77)
PRIOR YEAR EARNINGS (LOSS)	116,204.47	116,204.47
HP BUDGET	(13,474.38)	(13,474.38)
PRIOR YEAR HP BUDGET	1,775,000.00	1,775,000.00
Total Net Assets	4,245,949.00	3,345,893.05
Total Liabilities & Net Assets	4,260,279.94	3,365,609.19

10/11/2022 11:51am

Page 1 of 1

HP REVOLVING LOAN FUND  
Statement of Revenue and Expense  
Current Period: 9/1/2022 - 9/30/2022  
Year-to-Date: 1/1/2022 - 9/30/2022

	Current Year Current Period	Current Year Year-to-Date	Prior Year Current Period	Prior Year Year-to-Date
Revenue				
PERM LOAN INTEREST	805.13	6,750.32	554.33	8,144.22
SAVINGS INTEREST	298.18	4,629.71	12,825.36	15,786.81
SERVICE FEES	245.00	2,385.00	220.00	2,180.00
LATE FEES	50.00	1,075.00	8.23	484.01
APPLICATION FEES	0.00	10,071.19	698.00	10,131.47
CLOSING COSTS	0.00	4,617.01	341.56	2,429.60
Interest Income Settlement	4,550.11	41,590.26	4,760.98	43,463.06
Total Revenue	5,948.42	71,118.49	19,408.46	82,619.17
Expenses				
PROF & ADMIN FEES	3,062.50	33,135.15	3,000.00	30,181.25
CLOSING COSTS DISBURSE	0.00	3,384.12	210.00	2,276.72
Ghost Mural Grant Expense	0.00	16,401.00	0.00	15,018.47
Foundation Grant Expense	10,000.00	24,286.00	0.00	(753.49)
Windows Grant Expense	4,234.58	29,100.51	0.00	22,338.55
Elderly Grant Expense	1,500.00	19,141.76	0.00	778.88
Siding Grant Expense	1,269.42	21,156.29	0.00	10,000.00
Facade Grant Expense	0.00	0.00	0.00	94,919.00
Total Expenses	20,066.50	146,604.83	3,210.00	174,759.38
Excess or (Deficiency) of Revenue Over Expenses	(14,118.08)	(75,486.34)	16,198.46	(92,140.21)

Time: 08:13:30  
Date: 10/03/2022

# TRIAL BALANCE: POOLS

Page: 1  
Run By: SUSAN17

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HP POOL #: 3.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRPRSCH	HPRPRSCH	Schramm, Steven	2	0	10/01/22	11/01/22	09/30/22	3.5000	No	3.5000	Curr	0.0000	60.83	7377.81	0.00	0.00
Group Totals:													60.83	7377.81	0.00	0.00
>>> INVESTOR #: HP POOL #: C0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPC0DWDH	HPC0DWDH	Deadwood Histor	2	0	09/01/22	10/01/22	09/02/22	0.0000	No	0.0000	Curr	0.0000	416.67	27115.00	0.00	0.00
HPC0UFNUG	HPC0UFNUG	Nugget Saloon,	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	694.44	232698.44	0.00	0.00
HPCUPFLAL	HPCUPFLAL	Deadwood Main,	2	0	09/01/22	10/01/22	09/02/22	0.0000	No	0.0000	Curr	0.0000	1041.67	245833.32	0.00	0.00
LIFE SAFTY	HPLSNGT07	Nugget Saloon L	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	165.72	30723.87	0.00	0.00
Group Totals:													2318.50	536370.63	0.00	0.00
>>> INVESTOR #: HP POOL #: R0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPLSFOSSC	HPLSFOSSO	Fosso, Bonnie R	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	69.45	21288.10	0.00	0.00
HPLSKIR	HPLSKIR	Kirkpatrick, Eli	2	0	10/01/22	11/01/22	09/13/22	0.0000	No	0.0000	Curr	0.0000	104.17	14335.00	0.00	0.00
HPLSRLPON	HPLSRLPON	Pontius, James	2	0	09/01/22	10/01/22	09/15/22	0.0000	No	0.0000	Curr	0.0000	113.04	3253.43	0.00	0.00
LIFE SAFTY	HPLSSCHD5	Schmidt, Mike	2	0	09/01/22	10/01/22	09/02/22	0.0000	No	0.0000	Curr	0.0000	423.74	27966.79	0.00	0.00
HPLSSULE5	HPLSSULE5	Sulentio, Margar	2	0	10/01/22	11/01/22	09/15/22	0.0000	No	0.0000	Curr	0.0000	166.67	2666.52	0.00	0.00
HPLSTHOM5	HPLSTHOM5	Thompson, Lee	2	0	10/01/22	11/01/22	09/15/22	0.0000	No	0.0000	Curr	0.0000	103.54	19381.20	0.00	0.00
HPR0SJOM	HPR0SJOM	Sjomelling, Danie	2	0	09/01/22	10/01/22	09/06/22	0.0000	No	0.0000	Curr	0.0000	136.43	15552.87	0.00	0.00
RLF LOAN	HPRLFBIAS	Bialas, Kurt	2	0	09/01/22	10/01/22	09/13/22	0.0000	No	0.0000	Curr	0.0000	416.67	2499.82	0.00	0.00
HP RLF	HPRLFBOB5	Bobolz, Lance	2	0	09/01/22	10/01/22	09/13/22	0.0000	No	0.0000	Curr	0.0000	416.67	1666.46	0.00	0.00
HPRLFKN1	HPRLFKN1	Knipper, Anita	2	0	10/01/22	11/01/22	09/23/22	0.0000	No	0.0000	Curr	0.0000	208.33	18750.10	0.00	0.00
HPRLFSLK5	HPRLFSLK5	Knox, Shanna	2	0	09/01/22	10/01/22	09/13/22	0.0000	No	0.0000	Curr	0.0000	104.17	20520.69	0.00	0.00
HPRLFSHA5	HPRLFSHA5	Shama, Larry	2	0	09/01/22	10/01/22	09/05/22	0.0000	No	0.0000	Curr	0.0000	250.00	3500.00	0.00	0.00
HP RLF	HPRLFSOR5	Sorenson, Donald	2	0	10/01/22	11/01/22	09/12/22	0.0000	No	0.0000	Curr	0.0000	250.00	750.00	0.00	0.00
HPRLSWEE	HPRLSWES	Westendorf, Rand	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	166.67	14150.00	0.00	0.00
LIFE SAFTY	HPRLSBLOO	Bloom, Kevin	2	0	10/01/22	11/01/22	09/30/22	0.0000	No	0.0000	Curr	0.0000	104.17	23403.18	0.00	0.00
HPRLSFAS	HPRLSFAS	Fasnacht, Glenn	2	0	09/01/22	10/01/22	08/30/22	0.0000	No	0.0000	Curr	0.0000	160.55	18302.86	0.00	0.00
HPRLSHERT	HPRLSHERT	Herd, David	2	0	09/01/22	10/01/22	09/02/22	0.0000	No	0.0000	Curr	0.0000	208.33	20625.07	0.00	0.00
Life Sfty	HPRLSJOHN	Johnson, Joette	2	0	09/01/22	10/01/22	09/08/22	0.0000	No	0.0000	Curr	0.0000	138.89	47351.10	0.00	0.00
HPRLSRITZ	HPRLSRITZ	Ritz, Jody	2	0	10/01/22	11/01/22	09/27/22	0.0000	No	0.0000	Curr	0.0000	51.77	7709.55	0.00	0.00
HPRLSTREN	HPRLSTREN	Trentz, Sylvia	2	0	08/01/22	09/01/22	09/19/22	0.0000	No	0.0000	Curr	0.0000	96.47	22574.61	0.00	0.00
Life SFTY	HPRLSUNDE	Underhill, Ronal	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	104.17	23189.53	0.00	0.00

Time: 08:13:30  
Date: 10/03/2022

# TRIAL BALANCE: POOLS

Page: 2  
Run By: SUSAN17

Range Of Investors  
All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
HPRLSWEB	HPRLSWEB	Weber, Todd	2	0	10/01/22	11/01/22	09/07/22	0.0000	No	0.0000	Curr	0.0000	66.43	15478.02	0.00	0.00
HPRLRBUS	HPRLRBUS	Bussiere, Erica	2	0	08/01/22	09/01/22	09/15/22	0.0000	No	0.0000	Curr	0.0000	60.78	6137.62	0.00	0.00
LIFE SAFEY	HPSLRUNG	Runge, Michael	2	0	10/01/22	11/01/22	09/19/22	0.0000	No	0.0000	Curr	0.0000	208.33	15000.00	0.00	0.00
Group Totals:													4129.44	366052.54	0.00	0.00
>>> INVESTOR #: HP POOL #: R0C DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
Siding	CHPSIDEUN	Underhill, Ronal	11	1	08/19/20	11/01/22	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WIN DOOR	CHPWINUN	Underhill, Ronal	11	1	08/19/20	11/01/22	08/20/20	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Group Totals:													0.02	0.00	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRREFALL	HPRREFALL	Allen, Jesse	2	0	10/01/22	11/01/22	09/28/22	3.0000	No	3.0000	Curr	0.0000	103.56	18213.35	0.00	0.00
HPRREFGAT	HPRREFGAT	Gathmann, Naomi	2	0	09/01/22	10/01/22	09/12/22	3.0000	No	3.0000	Curr	0.0000	139.02	13524.37	0.00	0.00
Group Totals:													242.58	31737.72	0.00	0.00
>>> INVESTOR #: HP POOL #: R3.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
Prsv 1	HPRPRSUN1	Underhill, Ronal	2	0	09/01/22	10/01/22	09/01/22	3.5000	No	3.5000	Curr	0.0000	144.99	23708.88	0.00	0.00
HPRPRVSJO	HPRPRVSJO	Sjomeling, Danie	2	0	09/01/22	10/01/22	09/06/22	3.5000	No	3.5000	Curr	0.0000	131.85	22337.73	0.00	0.00
Prsv 2	HPRPVUN2	Underhill, Ronal	2	0	09/01/22	10/01/22	09/01/22	3.5000	No	3.5000	Curr	0.0000	144.99	24121.12	0.00	0.00
Group Totals:													421.83	70167.73	0.00	0.00
>>> INVESTOR #: HP POOL #: R4 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPBAUDH47	HPBAUDH47	Baudhuin, Mary	2	1	09/13/22	10/01/22	09/13/22	4.0000	No	4.0000	Curr	0.0000	307.17	17222.18	0.00	0.00
HPLSFLOYD	HPLSFLOYD	Floyd, Dustin	2	1	09/15/22	10/01/22	09/15/22	4.0000	No	4.0000	Fixed \$	25.0000	93.46	5626.32	0.00	0.00
REFI LS	HPLSLEWIS	Lewis, Tracy	2	0	09/01/22	10/01/22	09/06/22	4.0000	No	4.0000	Curr	0.0000	113.24	21558.82	0.00	0.00
HPRLFFS47	HPRLFFS47	Fosso, Bonnie R	2	0	09/01/22	10/01/22	09/01/22	4.0000	No	4.0000	Curr	0.0000	119.29	22829.93	0.00	0.00
HPRLFLWS4	HPRLFLWS4	Lewis, Tracy	2	0	09/01/22	10/01/22	09/06/22	4.0000	No	4.0000	Curr	0.0000	26.88	4816.29	0.00	0.00
PRESV	HPRPRLFJO	Johnson, Joette	2	0	09/01/22	10/01/22	09/08/22	4.0000	No	4.0000	Curr	0.0000	119.35	24288.50	0.00	0.00
Group Totals:													779.39	96342.04	0.00	0.00
>>> INVESTOR #: HP POOL #: R4.5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPBAUND60	HPBAUND60	Baudhuin, Mary	2	0	09/01/22	10/01/22	09/13/22	4.5000	No	4.5000	Curr	0.0000	68.99	963.02	0.00	0.00
Group Totals:													68.99	963.02	0.00	0.00
>>> INVESTOR #: HP POOL #: RIP DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																

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LIFE SFTY	CHPCLSMAS	Masonic Center	11	1	08/01/21	10/01/22	06/28/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
PRESERV LN	CHPCPRVMA	Masonic Center	11	1	05/01/22	10/01/22	07/06/22	0.0000	No	0.0000	Curr	0.0000	0.01	-725.81	0.00	0.00
FOUNDATION	CHPRFNDBO	The Fht Company	11	1	05/04/22	03/01/23	05/17/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
FOUNDATION	CHPRFNDBY	Byrne,Tiffany	11	1	01/26/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
FOUNDATION	CHPRFNDHO	Hohn,John	11	1	09/21/22	12/01/22	09/21/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
FOUNDATION	CHPRFNDJO	Johnson,Michael	11	1	01/04/22	12/01/22	01/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
FOUNDATION	CHPRFNDPO	Cara Mia, Llc,C	11	1	04/19/22	02/01/23	04/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
Life Sfty	CHPRLSBOB	The Fht Company	11	1	03/04/22	03/01/23	03/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	1017.00	0.00	0.00
LIFE SFTY	CHPRLSBY	Byrne,Tiffany	11	1	01/26/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
Life Sfty	CHPRLSJOH	Johnson,Michael	11	1	01/04/22	12/01/22	07/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	25000.00	0.00	0.00
RIP-LS	CHPRLSPOT	Cara Mia Llc,Ca	11	1	09/09/21	10/01/22	09/27/21	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
RLF	CHPRLSRIH	Richerson,Jacqu	11	1	06/22/22	08/01/23	06/22/22	0.0000	No	0.0000	Curr	0.0000	0.01	602.00	0.00	0.00
LIFE SFTY	CHPRLSTHM	Thompson li,Mar	11	1	07/28/22	07/01/23	09/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	891.00	0.00	0.00
CHPRLSTHC	CHPRLSTHO	Thoresen,Skylar	11	1	05/10/22	05/01/23	08/02/22	0.0000	No	0.0000	Curr	0.0000	0.01	1867.00	0.00	0.00
FOUNDATION	CHPRND7EM	The Fht Company	11	1	05/04/22	03/01/23	05/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	9250.00	0.00	0.00
PRESERVN	CHPRPRV7E	The Fht Company	11	1	01/01/23	02/01/23	05/17/22	0.0000	No	0.0000	Curr	0.0000	0.01	10350.99	0.00	0.00
PRESERVAT	CHPRPRVCO	Paha Sapa Holdi	11	1	02/04/22	02/01/23	02/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	1632.99	0.00	0.00
Perservaln	CHPRPRVJO	Johnson,Michael	11	1	11/09/21	12/01/22	07/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	2952.24	0.00	0.00
RIP- Presv	CHPRPSVP	Cara Mia Llc,Ca	11	1	09/28/21	10/01/22	04/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	16039.58	0.00	0.00
PRESERVAT	CHPRPVBYR	Byrne,Tiffany	11	1	02/07/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	2300.67	0.00	0.00
PRESERV	CHPRPVHOH	Hohn,John	11	1	11/24/21	12/01/22	09/21/22	0.0000	No	0.0000	Curr	0.0000	0.01	9609.56	0.00	0.00
Presv #3	CHPRPVUN3	Underhill,Ronal	11	1	08/17/21	11/01/22	02/23/22	0.0001	No	0.0001	Curr	0.0000	0.01	24745.95	0.00	0.00
RW Payable	CHPRRW0ER	Emrick Real Est	11	1	08/22/22	03/01/23	08/22/22	0.0000	No	0.0000	Curr	0.0000	0.01	2368.69	0.00	0.00
Payable	CHPRRW0OW	Owens,Tracy	11	1	07/28/22	07/01/23	07/28/22	0.0000	No	0.0000	Curr	0.0000	0.01	1979.80	0.00	0.00
SIDING	CHPRSIDBY	Byrne,Tiffany	11	1	01/26/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
SIDING	CHPRSIDCO	Paha Sapa Holdi	11	1	07/06/22	02/01/23	09/21/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
SIDING	CHPRSIDJO	Johnson,Michael	11	1	11/04/21	12/01/22	11/09/21	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
VAC HOME	CHPRVACBO	The Fht Company	11	1	05/17/22	03/01/23	05/17/22	0.0000	No	0.0000	Curr	0.0000	0.01	5120.00	0.00	0.00
VACANT HM	CHPRVACBY	Byrne,Tiffany	11	1	04/19/22	02/01/23	04/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	2958.80	0.00	0.00
VACANT HM	CHPRVACJO	Johnson,Michael	11	1	01/04/22	12/01/22	01/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
WINDOWS	CHPRWIN7E	The Fht Company	11	1	03/02/22	03/01/23	03/04/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WINDOWS	CHPRWINBL	Blair,Christoph	11	1	01/20/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WINDOWS	CHPRWINBY	Byrne,Tiffany	11	1	01/26/22	02/01/23	02/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	0.00	0.00	0.00
WINDOWS	CHPRWINCO	Paha Sapa Holdi	11	1	07/06/22	02/01/23	07/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	5842.35	0.00	0.00

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WINDOW	CHPRWINJO	Johnson,Michael	11	1	07/19/22	12/01/22	07/19/22	0.0000	No	0.0000	Curr	0.0000	0.01	16800.00	0.00	0.00
WINDOWS	CHPRWINPO	Cara Mia Llc,Ca	11	1	07/19/22	02/01/23	08/18/22	0.0000	No	0.0000	Curr	0.0000	0.01	6637.90	0.00	0.00
VAC	CHPVACTHM	Thompson II,Mar	11	1	09/07/22	07/01/23	09/07/22	0.0000	No	0.0000	Curr	0.0000	0.01	4900.87	0.00	0.00
LIFE SAFETY	HCHPLSCOU	Paha Sapa Holdi	11	1	09/21/22	02/01/23	09/21/22	0.0000	No	0.0000	Curr	0.0000	0.01	1857.20	0.00	0.00
VAC HOME	HPRVACPO	Cara Mia Llc,Ca	11	1	04/19/22	02/01/23	04/19/22	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.38	22398.76	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW0 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRRW0MIK	HPRRW0MIK	Mikla,Christine	2	0	10/01/22	11/01/22	09/28/22	0.0000	No	0.0000	Curr	0.0000	164.59	35899.17	0.00	0.00
HPRWCOOM	HPRWCOOM0	Coomes,Tim	2	0	09/01/22	10/01/22	08/31/22	0.0000	No	0.0000	Curr	0.0000	146.44	11421.94	0.00	0.00
RW LOAN	HPRWMART5	Martinisko,John	2	0	10/01/22	11/01/22	09/30/22	0.0000	No	0.0000	Curr	0.0000	187.60	374.99	0.00	0.00
HPRWOLSN	HPRWOLSN5	Olson,Steven	2	0	09/01/22	10/01/22	09/15/22	0.0000	No	0.0000	Curr	0.0000	41.37	7794.61	0.00	0.00
RW Payable	HPRWOREAU	Reausaw,Bernie	2	0	11/01/22	12/01/22	09/13/22	0.0000	No	0.0000	Curr	0.0000	740.68	25923.97	0.00	0.00
RW PAYABLE	HPRWPGASR	Gasper Iii,Jose	2	0	10/01/22	11/01/22	09/28/22	0.0000	No	0.0000	Curr	0.0000	252.24	18918.01	0.00	0.00
RW PAYABLE	HPRWPPWEB	Weber,Todd	2	0	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	161.58	15350.41	0.00	0.00
Group Totals:													1694.50	115483.10	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW4C DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPRWSWAN	HPRWSWAN2	Swaney,David	2	0	09/01/22	10/01/22	09/07/22	4.0000	No	4.0000	Curr	0.0000	60.22	11553.19	0.00	0.00
Group Totals:													60.22	11553.19	0.00	0.00
>>> INVESTOR #: HP POOL #: RRW5 DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CLIENT RW	HPRWBOB05	Bobolz,Lance	2	0	09/01/22	10/01/22	09/13/22	5.0000	No	5.0000	Curr	0.0000	116.04	14890.52	0.00	0.00
HPRWMOR5	HPRWMOR57	Morgan,Richard	2	1	09/01/22	10/01/22	09/01/22	0.0000	No	0.0000	Curr	0.0000	120.09	17691.62	0.00	0.00
Group Totals:													236.13	32582.14	0.00	0.00
>>> INVESTOR #: HP POOL #: RSFND DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
HPFND771	HPFND770	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9461.50	0.00	0.00
HPFND772	HPFND772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	9817.75	0.00	0.00
HPFNDHILL	HPFNDHILL	Hillis Partnersh	2	0	12/30/19	11/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	8250.95	0.00	0.00
FOUNDATION	HPRFNDBUS	Bussiere,Erica	2	0	12/24/20	01/01/31	12/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Foundation	HPRFNDMUN	Munce,Jeffrey	2	0	12/28/20	12/01/30	12/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
FOUNDATION	HPRFNDUND	Underhill,Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	57530.20	0.00	0.00



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>>> INVESTOR #: HP			POOL #: RSPE		DISTRIBUTION RATE: 0.0000		COMPUTATION: Actual/Actual									
CHPSNEBR	CHPSNEBRG	Berg, Tim	11	1	11/18/15	11/12/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	5691.42	0.00	0.00
CHPSNEKAF	CHPSNEKAR	Karas, Lester M.	11	1	10/31/12	10/31/22	09/03/14	0.0000	No	0.0000	Fixed \$	5.0000	0.00	8468.05	0.00	0.00
CHPSNEMIT	CHPSNEMIT	Mitchell, George	11	1	04/22/13	04/22/23	09/19/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSNEWO	CHPSNEWOO	Wood, George F.	11	1	02/06/14	01/30/24	04/01/14	0.0000	No	0.0000	Fixed \$	5.0000	0.01	7155.88	0.00	0.00
CHPSNSTEO	CHPSNSTEO	Steinlicht, Dore	11	1	06/17/13	06/17/23	06/12/13	0.0000	No	0.0000	Curr	0.0000	0.00	5561.23	0.00	0.00
CHPSPEJO	CHPSPEJO	Sjomeling, Rober	11	1	06/19/14	03/21/24	07/24/14	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SNE	HPSNEWHTO	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.03	56876.58	0.00	0.00
>>> INVESTOR #: HP			POOL #: RSPV		DISTRIBUTION RATE: 0.0000		COMPUTATION: Actual/Actual									
HPRVACWEI	HPRVACWEB	Weber, Todd	2	0	07/02/21	07/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
VACANT LN	HPVACBIAL	Bialas, Kurt	2	0	03/01/16	03/01/26	03/05/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVCNTBLM	HPVCNTBLM	Bloom, Christoph	2	1	08/18/16	08/18/26	10/01/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HP VACANT	HPVCNWHTO	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.00	40000.00	0.00	0.00
>>> INVESTOR #: HP			POOL #: RSPVC		DISTRIBUTION RATE: 0.0000		COMPUTATION: Actual/Actual									
CHPVBLOOM	CHPVBLOOM	Bloom, Kevin D.	11	1	09/19/14	07/01/23	10/31/13	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
VAC HM	HPRVACUND	Underhill, Ronal	2	0	03/09/21	03/01/31	03/09/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPVANCMIJN	HPVANCMIJO	Johnson, Michael	2	0	12/01/16	12/01/26	12/12/16	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.01	30000.00	0.00	0.00
>>> INVESTOR #: HP			POOL #: RSSID		DISTRIBUTION RATE: 0.0000		COMPUTATION: Actual/Actual									
CHPSIDCOO	CHPSIDCOO	Coomes, Tim	11	1	03/13/14	02/24/24	05/04/21	0.0000	No	-5.0000	Curr	5.0000	0.01	10000.00	0.00	0.00
CHPSIDENG	CHPSIDENG	Ensinger, Rick	11	1	05/24/13	05/24/23	06/20/13	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDJLS	CHPSIDJLS	Julius, Thomas	11	1	08/16/16	09/09/25	01/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2937.88	0.00	0.00
CHPSIDLW0	CHPSIDLW0	Lewis, Tracy	2	0	03/20/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
CHPSIDSHP	CHPSIDSHP	Shepherd, Lanny	11	1	11/18/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	6997.50	0.00	0.00
CHPSIDWRT	CHPSIDWRT	Wright, Alan	11	1	04/08/15	09/17/24	08/06/15	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
SIDING	HPRSID106	Oberlander, Bruc	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
HPRSIDANT	HPRSIDANT	Antrim, James	2	0	07/02/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
SIDING	HPRSIDBL0	Bloom, Kevin	2	0	10/23/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	5834.70	0.00	0.00
HPSID770	HPSID700	Dragon Belly, L	2	0	03/24/20	03/01/30	03/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3331.80	0.00	0.00
HPSIDKNI	HPSIDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00

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Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
HPSIDSMTO	HPSIDSMTO	Smith, Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	10000.00	0.00	0.00
HP SIDING	HPSIDWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.05	109101.88	0.00	0.00
>>> INVESTOR #: HP POOL #: RSWIN DISTRIBUTION RATE: 0.0000 COMPUTATION: Actual/Actual																
CHPWINJL2	CHPWINJL2	Julius, Thomas	11	1	08/02/16	04/27/26	09/28/17	0.0000	No	0.0000	Curr	0.0000	0.01	15066.88	0.00	0.00
CHPWINLW0	CHPWINLW0	Lewis, Tracy	2	0	03/17/17	03/01/27	04/01/17	0.0000	No	0.0000	Curr	0.0000	0.00	8266.42	0.00	0.00
CHPWINMRS	CHPWINMRS	Morris, Wayne	11	1	08/26/15	08/26/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	4536.00	0.00	0.00
CHPWINSHP	CHPWINSHP	Shepherd, Lanny	11	1	12/23/15	10/30/25	12/31/18	0.0000	No	0.0000	Curr	0.0000	0.01	2940.00	0.00	0.00
HPCFNDKNI	HPCFNDKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	9970.52	0.00	0.00
HPCWINKNI	HPCWINKNI	Knipper, Anita	2	0	11/07/19	11/07/29	11/07/19	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WINDOW	HPRWIN106	Oberlander, Bruce	2	0	10/22/20	10/01/30	10/23/20	0.0000	No	0.0000	Curr	0.0000	0.00	3200.00	0.00	0.00
HPWINANT	HPWINANT	Antrim, James	2	0	07/01/21	06/01/31	07/02/21	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
Windows	HPRWINMUN	Munce, Jeffrey	2	0	12/28/20	12/01/30	12/28/20	0.0000	No	0.0000	Curr	0.0000	0.00	19850.00	0.00	0.00
HPWIN772	HPWIN772	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	6660.40	0.00	0.00
HPWINBOB0	HPWINBOB0	The Fhe Company	2	0	05/14/20	05/01/30	05/14/20	0.0000	No	0.0000	Curr	0.0000	0.00	18000.00	0.00	0.00
HPWINHILL	HPWINHILL	Hills Partnersh	2	0	12/30/19	12/30/29	01/29/20	0.0000	No	0.0000	Curr	0.0000	0.00	751.56	0.00	0.00
HPWINKIN	HPWINKIN	Kinkler, Brian	2	0	01/17/20	02/01/30	01/17/20	0.0000	No	0.0000	Curr	0.0000	0.00	1600.00	0.00	0.00
HPWINPET	HPWINPET	Dragon Belly LI	2	0	03/17/20	03/01/30	03/18/20	0.0000	No	0.0000	Curr	0.0000	0.00	13718.64	0.00	0.00
HP WIN	HPWINREA0	Reausaw, Bernie	2	0	11/01/18	11/01/28	12/18/18	0.0000	No	0.0000	Curr	0.0000	0.00	20000.00	0.00	0.00
WIN FORG	HPWINSHAM	Shama, Larry	2	0	10/01/17	09/01/27	11/10/17	0.0000	No	0.0000	Curr	0.0000	0.00	16793.63	0.00	0.00
HPWINSMT0	HPWINSMT0	Smith, Edwin	11	1	11/25/16	12/01/26	12/20/16	0.0000	No	0.0000	Curr	0.0000	0.01	3200.00	0.00	0.00
HP WINDOW	HPWINWHT0	White, V. Caroly	2	0	07/01/17	06/01/27	06/15/17	0.0000	No	0.0000	Curr	0.0000	0.00	10000.00	0.00	0.00
Group Totals:													0.04	194556.05	0.00	0.00
Investor Totals:													10012.94	1980693.39	0.00	0.00

>>> INVESTOR #: HPRW POOL #: N/A POOL INFORMATION NOT SET UP

HP CITY RW	CONRWMT5	Martinisko, John	11	1	11/16/17	11/01/22	11/16/17	0.0000	No	0.0000	Curr	0.0000	0.01	61543.00	0.00	0.00
RW GRANT	CONRWOLSN	Oison, Steven	11	1	12/21/17	06/01/23	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	91133.36	0.00	0.00
CRW GRANT	CONRWWHIT2	White, V. Caroly	11	1	10/18/17	11/01/27	11/08/17	0.0000	No	0.0000	Curr	0.0000	0.01	8699.04	0.00	0.00
RW Forgiv	HPRWFWEB	Weber, Todd	2	0	08/05/20	08/01/30	08/06/20	0.0001	No	0.0001	Curr	0.0000	0.01	82607.50	0.00	0.00
Group Totals:													0.04	243982.90	0.00	0.00

Time: 08:13:30  
Date: 10/03/2022

# TRIAL BALANCE: POOLS

Page: 7  
Run By: SUSAN17

Range Of Investors

All Pools

NHS of Black Hills

Version: 3.0.10

Investor Loan #	Loan #	Borrower	Ln Tp	Bs Cd	Int Paid To Date	Due Date	Last Tran Date	Borrower Rate	Split Rate	Investor Rate	Service Code	Service Fee	Payment Amount	Current Pool Balance	Impound Balance	Suspense Balance
>>> INVESTOR #: HPRW POOL #: PERM			DISTRIBUTION RATE:		0.0000	COMPUTATION: Actual/Actual		Payr								
CITY RW	CONRWBOB0	Bobolz,Lance	11	1	12/01/17	12/01/27	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	18042.61	0.00	0.00
CONRWCOB	CONRWCOOM	Coomes,Tim	11	1	02/11/19	03/01/29	02/11/19	0.0000	No	0.0000	Curr	0.0000	0.01	67491.73	0.00	0.00
CONRWFEN	CONRWFEN0	Fenton,Kris	11	1	06/13/18	06/01/28	07/01/18	0.0001	No	0.0001	Curr	0.0000	0.01	17584.40	0.00	0.00
CONRWGOR	CONRWGORZ	Gorzalka,Amy	11	1	11/01/17	11/01/22	08/01/16	0.0000	No	0.0000	Curr	0.0000	0.01	121112.03	0.00	0.00
CONRWMIKL	CONRWMIKL	Mikla,Christine	2	0	03/08/21	04/01/26	03/08/21	0.0000	No	0.0000	Curr	0.0000	0.00	91445.00	0.00	0.00
RW Forgiv	CONRWREAU	Reausaw,Bernie	2	0	09/24/20	10/01/30	09/24/20	0.0000	No	0.0000	Curr	0.0000	0.00	105468.23	0.00	0.00
CONRWVWH	CONRWVWHI	White,V. Caroly	11	1	09/20/16	09/20/26	09/26/16	0.0000	No	0.0000	Curr	0.0000	0.01	90073.00	0.00	0.00
CITY RW	HPCONBOBO	Bobolz,Lance	11	1	01/01/18	01/01/28	01/01/18	0.0000	No	0.0000	Curr	0.0000	0.01	199815.00	0.00	0.00
RW CITY	HPRWCSHEP	Shepherd,Lanny	2	0	11/13/20	10/01/30	11/13/20	0.0000	No	0.0000	Curr	0.0000	0.00	18616.85	0.00	0.00
RW FORG	HPRWFGASR	Gaspar Ili,Jose	2	0	12/20/21	01/01/27	12/20/21	0.0000	No	0.0000	Curr	0.0000	0.00	48928.95	0.00	0.00
Group Totals:													0.06	778577.80	0.00	0.00
>>> INVESTOR #: HPRW POOL #: RIP			DISTRIBUTION RATE:		0.0000	COMPUTATION: Actual/Actual		Paymer								
RW CITY	CHPRRWCEM	Emrick Real Est	11	1	08/23/22	03/01/23	08/23/22	0.0000	No	0.0000	Curr	0.0000	0.01	3675.38	0.00	0.00
City Prin	CHPRRWOW	Owens,Tracy	11	1	08/17/22	07/01/23	09/06/22	0.0000	No	0.0000	Curr	0.0000	0.01	82798.20	0.00	0.00
Group Totals:													0.02	86473.58	0.00	0.00
Investor Totals:													0.12	1109034.28	0.00	0.00
Report Totals:													10013.06	3089727.67	0.00	0.00

**DEADWOOD HISTORIC PRESERVATION****TRIAL BALANCE POOL CODES**

<b>COMMERCIAL</b>		
<b>POOL CODE</b>	<b>INTEREST RATE</b>	<b>PROGRAM</b>
C0	0%	0% LOAN
C1	0%	
C2	2%	2% LOAN
C3	3%	3% LOAN
C4	4%	4% LOAN
C5C	5%	4% -IN CONSTRUCTION
C6	6%	6% LOAN
C7	7%	7% LOAN
C7C	7%	7% -IN CONSTRUCTION
C8.25	8.25%	8.25% LOAN
C8.5	8.50%	8.5% LOAN
C9	9%	8% LOAN
C9.5	9.50%	9.5% LOAN
CSI	0.00%	COMMERCIAL SIDING

<b>RESIDENTIAL</b>		
<b>POOL CODE</b>	<b>INTEREST RATE</b>	<b>PROGRAM</b>
R0	0%	0% LOAN
R0C	0%	0% - IN CONSTRUCTION
R4	4%	4% LOAN
R4C	4%	4% - IN CONSTRUCTION
R5	5%	5% LOAN
R5C	5%	5% - IN CONSTRUCTION
R8.5	8.50%	8.5% LOAN
R9	9%	9% LOAN
R9.5	9.50%	9.5% LOAN
RSPE	0%	SPECIAL NEEDS ELDERLY
RSPV	0%	SPECIAL NEEDS VACANT
RSSID	0%	SIDING
RSWIN	0%	WINDOWS
SNE10%	0%	ELDERLY- 10 % FORGIVEN/YEAR
SID10%	0%	SIDING- 10% FORGIVEN/YEAR
WIN10%	0%	WINDOWS-10% FORGIVEN/YEAR
VAC10%	0%	VACANT -10% FORGIVEN/YEAR
RRW0	0%	0% RESIDENTIAL RW LOAN
RRW0C	0%	0% RW LOAN IN CONSTRUCTION
RRW4	4%	4% RESIDENTIAL RW LOAN
RRW4C	4%	4% RW LOAN IN CONSTRUCTION
RRW5	5%	5% RESIDENTIAL RW LOAN
RRW5C	5%	5% RW LOAN IN CONSTRUCTION
CONRW		CITY PORTION RW

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



**Kevin Kuchenbecker**  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

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**Date:** October 21, 2022  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
Bonny Anfinson, Program Coordinator  
**Re:** Rapid City Masonic Building Association –Outside of Deadwood Grant  
Request for Extension

---

The Rapid City Masonic Temple received a grant in 2021 to replace three non-historic windows on the front elevation of the building with replicas of the original windows.

Since then, the company hired to do the work sold and the new owners did not want to take on the work. The applicant did have communication with the HP Office when this happened. In discussion with them, direction was given to try to find another contractor who could fabricate the windows. They have been unable to do so. They are wanting to extend the grant and use the funds for other items.

The Projects Committee has reviewed these matters and recommends denying the request. The applicant can reapply in the next funding cycle for their new request or for the restoration of the windows.

**Recommend Motion:** *Move to deny the request for extension and change of scope for the grant.*



*Rapid City Masonic Building Association, Inc*  
*618 Kansas City Street*  
*Rapid City, South Dakota 57701*

October 4, 2022

Deadwood Historic Preservation Commission  
 City of Deadwood  
 108 Sherman Street  
 Deadwood, South Dakota 57732

Ladies and Gentlemen,

In July and August of 2021, the Rapid City Masonic Temple Board of Trustees and I signed papers attesting to our intent to accept and utilize an "Out of Deadwood Grant" for replacing non-historic windows with replicas on the South front of the Rapid City Historic Masonic Temple.

Prior to submission of the grant request, we had a proposal for fabrication and installation of the replicas. When the grant was approved, we requested the proposer to begin construction and plan for installation of same. There was a long lapse between request and subsequent response. Essentially, the company had undergone personnel changes and there was no longer any interest on the part of the "new" deciders at the company to provide materials, artistic services, construction or installation.

I immediately began to contact alternative providers. I will not recount the details of the adventures of interacting with over-worked, under-supplied, out-scheduled providers. The reprehensible impacts of the COVID pandemic all came home to roost.

At this juncture, the Grant has expired. I am deeply sorry that the windows have not been restored and, as of this date, I do not expect such will even be possible in the near future. We are continuing to seek a dependable, qualified provider. Accordingly, the Trustees and historic advisors have suggested that we request transfer of the grant, which expired on August 31 of this year, to deeds of interior restoration. Accordingly, I have requested pricing for original woodwork refinishing (doors, windows, picture rails, in two (2) rooms, plastering a wall where a drinking fountain was removed, painting the walls. We would like to refinish flooring in the area. We are concerned about bare-wooden flooring being a safety hazard and are considering carpeting...which is not, of course, original to the building.

a drinking fountain was removed, painting the walls. We would like to refinish flooring in the area. We are concerned about bare-wooden flooring being a safety hazard and are considering carpeting...which is not, of course, original to the building.

Before beginning the work, outlining the details, I am directed to inquire as to whether the Grant, about which this letter refers, could be reallocated to the specifics listed above.


If the answer from the Commission is "no", then we will respond with appreciation for the award and, when the window situation is again viable, we will make a grant request.

If the answer from the Commission is a qualified "yes", we will continue our pursuit of options, costs, outcomes and submit such for possible approval by you.

Of course, I eagerly await the Commission's response, sincerely thank you for your very kind consideration and especially thank Bonnie for her patience and counsel on this matter.

Our sincere thanks for all the Deadwood Historic Preservation Commission does to save and restore our historic edifices.

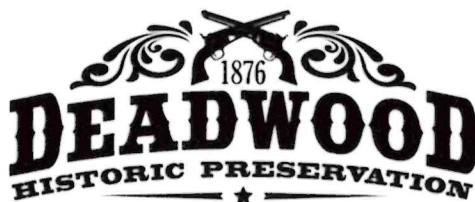
Sincerely,

A handwritten signature in cursive script, appearing to read "George E. Bauder".

George E. Bauder  
President

Rapid City Masonic Building Association, Inc.





## For Office Use Only:

- ☐ Owner Occupied  
☐ Application Fee Received if owner occupied  
☐ Non-owner Occupied  
 Assessed Value of Property \_\_\_\_\_  
 Verified Lawrence County Dept. of Equalization

Date: \_\_\_/\_\_\_/\_\_\_ Initials: \_\_\_\_\_

## Application for Historic Preservation Programs Residential Properties

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.  
Application fee may apply to this submittal.

## 1. Address of Property:

\_\_\_\_\_  
Please attach the legal description of the property.

## 2. Applicant's name &amp; mailing address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

E-mail: \_\_\_\_\_

## 3. Owner of property--(if different from applicant):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

E-mail \_\_\_\_\_

## 4. Historic Preservation Programs – Please check all that apply

- ☐ Foundation Program  
☐ Siding Program  
☐ Wood Windows and Doors Program  
☐ Elderly Resident Program  
 What year were you born: \_\_\_\_\_  
☐ Vacant Home Program (must be vacant for 2 years and apply within first three months of new ownership)  
☐ Revolving Loan Program  
☐ Retaining Wall Program

## 5. Contractor

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

E-mail: \_\_\_\_\_

All Contractors and Sub-Contractors are required to be licensed in the City of Deadwood.

When the application and Project Approval are approved it is advisable the owner and contractor enter into a contract and provide a copy to the Historic Preservation Office.

Project completion date is one year from owner's date of signature, grant agreement and/or loan documents.

6. As per Historic Preservation guidelines, any work being performed on the exterior of a structure must go before the Historic Preservation Commission for approval. Programs may be amended to reflect the availability of funding and/or the completion of high priority projects. Along with this application please complete and submit a City of Deadwood Application for Project Approval/Certificate of Appropriateness and attach to this document. All documentation must arrive by 5:00 p.m. on the 1<sup>st</sup> and 3<sup>rd</sup> Wednesdays of every month to be considered at the next Historic Preservation Commission Meeting.



7. The scope of work is a brief description of the planned project being done to the structure as well as the materials proposed to be used. Please fill out the form listed below describing your plans. Additional Information may be attached including any quotes from contractors.

Residential Scope of Work		
Program	Estimated Cost	Description of Work
Foundation		
Siding		
Wood Windows & Doors.		
Elderly Resident		
Vacant Home		
Revolving Loan		
Retaining Wall		

8. Wood Windows and Doors Program worksheet. To help determine the amount to be allocated please fill out the worksheet below to determine how many windows and doors there are on each side of the structure and clarify if the initial intent is to repair or replace the windows.

Grant total will not exceed \$20,000	Repair/Replace Existing Window(s) \$800 each	Repair/Replace Wood Storm/Screen Window(s) \$350 each	Repair/Replace Existing Primary Door \$600	Repair/Replace additional Wood Door(s) Up to \$300 each	Repair/Replace Wood Storm Door(s) \$600 each
Front View					
Right Side View					
Left Side View					
Rear View					
Total Windows/Doors					
Office Use Only					
<b>TOTAL FUNDS ALLOWED</b>					

## 9. Application Submittal

- a. All Applications must include a copy of quotes for materials and/or contractor quote with the Application for Historic Preservation Program Residential Properties and the Project Approval/Certificate of Appropriateness. The application will not be reviewed until all documents are received.
- b. Programs may be amended to reflect the availability of funding and the completion of high priority projects.
- c. For owner occupied properties (primary residence) an application fee of \$199.00 will be required upon submittal. If applying for the Elderly Resident Grant only the application fee is \$99.00. Payment will be made out to the City of Deadwood. This fee is non-refundable.
- d. Project completion date is one year from owner's date of signature on the grant agreement and/or loan documents.

## 10. Required Supporting Documents

- Application for Project Approval/Certificate of Appropriateness
- Contractor and/or material specifications and/or quotes
- Legal description of property
- Contract between owner and contractor (if applicable)

## 11.. Acknowledgement

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan is true and complete to the best of my knowledge and belief. I acknowledge I have read and understand the policy guidelines for the loan or grant programs included with and for this application and agree to a conservation easement and all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely providing funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant or loan. By signing this document it affirms I have read, understand and agree to this acknowledgement and will complete the conservation easement documentation and recordation upon completion of the project.

**Applicant's signature:** \_\_\_\_\_

**Date submitted:** \_\_\_\_/\_\_\_\_/\_\_\_\_

**Owner's signature:** \_\_\_\_\_

**Date submitted:** \_\_\_\_/\_\_\_\_/\_\_\_\_



# Historic Preservation Programs

## Policy Guidelines

### 1. Statement of Purpose:

The restoration and protection of Deadwood's historic buildings and structures are a primary part of the City's goal to preserve and maintain Deadwood's historic integrity. The expense of such restoration and protection projects may discourage property owners from having the work completed or may result in a lower quality of craftsmanship. The purpose of this program is to assist and encourage property owners to use quality materials and craftsmanship by repairing first, where possible, and replacing, only if necessary.

### 2. Objective:

The City of Deadwood is a National Historic Landmark and is listed on the National and South Dakota State Registers of Historic Places. Maintaining these designations is critical to the economic success of the City and quality of life of its residents. The objective of the program is to stimulate the quality restoration and protection of buildings and structures that contribute to the historic integrity of the City of Deadwood.

### 3. Eligibility for all Programs:

To be eligible for the Historic Preservation Programs, all projects must meet the following criteria:

- a. The project must exist as part of a residential property within the Deadwood City Limits. Mobile homes and manufactured structures are not eligible for this program.
- b. The project must affect a property listed on the Historic Preservation's City of Deadwood's 1993 Historic Sites Inventory as an historic property in the Deadwood National Historic Landmark District. Properties not listed on the inventory must be eligible for the National Register of Historic Places as defined in the National Park Service's National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
- c. The project must exist as part of a residential property of not more than four dwelling units as defined by Deadwood Planning and Zoning Department within the Deadwood City Limits. Mobile homes and manufactured structures are not eligible for these programs.
- d. **Project completion date is one year from owner's date of signature on the /grant and/or loan documents.**
- e. The property will be subject to a conservation easement upon completion of the project.

### 4. Eligibility Specifics:

To be eligible for the Elderly Resident Program, the applicant and project must also meet the following criteria:

- i. Applicant must be 65 years of age or older and have owned and occupied the property for one year prior to the application.
- ii. If the applicant does not fall under item 3 b. the project must affect individual life safety and structural deficiencies as determined by the City of Deadwood's Building Inspector and applicable life safety codes. Determination of individual life safety issues and structural deficiencies is based upon the codes adopted by the City of Deadwood under Chapter 15.01.010 and by additional verification obtained through other means available to the City.



- d. To be eligible for the **Vacant Home Program**, the applicant and project must also meet the following criteria:
  - i. The property must be vacant two (2) years prior to the date of purchase by Owner. The Owner must apply for funding from this program within three (3) months of purchase.
- e. To be eligible for the **Retaining Wall Program** the applicant and project must also meet the following criteria:
  - i. The retaining wall must be determined to be a historic or contributing feature in the Deadwood National Historic Landmark District. To obtain this status, the retaining wall must possess an age of fifty years or older, and must be eligible for listing in the National Register of Historic Places as defined in the National Park Service's National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
  - ii. The physical condition of the retaining wall must threaten the integrity of a historic or contributing building or structure in the Deadwood National Historic Landmark District. Historic buildings and structures contributing to the National Historic Landmark District are listed in the city's 1993 Historic Sites Inventory. Any property not present in these listings must be eligible for listing on the National Register of Historic Places as defined in the National Park Service's National Register Criteria for Evaluation. Determination of a retaining wall's threat to a historic or contributing building or property will be done by the Deadwood Building Inspector in accordance with the Building Codes adopted by the City of Deadwood.
  - iii. The physical condition of a retaining wall must threaten individual life safety. The City of Deadwood Building Inspector will determine a retaining wall's threat to individual life safety based upon applicable definitions under the Building Codes adopted by the City of Deadwood.

The City of Deadwood's Historic Preservation Officer determines a project's eligibility. All eligible applications are subject to the review by the Deadwood Historic Preservation Commission. **Loans for projects must be in place before project can start. Siding materials and windows/doors specifications must be reviewed and approved by the Historic Preservation Officer before ordering.**

## 5. Program Requirements:

- a. The funds are to be used for the repair of historic structures, when possible; the replacement of original materials, when necessary; or the removal and replacement of inappropriate materials. Examples of acceptable expenses are: house wrap under siding, scraping existing painted surfaces, disposal of inappropriate siding, etc. Residential structures with exterior masonry construction can use the program for repairs for repointing stone/brick/masonry, concrete reinforcement, curbing, sill plates, positive drainage and other associated approved work.
- b. Owner self-funding of construction can be permitted for reimbursement of material and contractor costs at the end of the project. Also, progressive payments may be made subject to payment withholding to ensure project completion is accomplished. However, reimbursement to owner for materials is approved when materials are on site.
- c. All final or progressive payments are to be for materials and/or contractor's costs only supported by verifiable invoices. Owner's time is not reimbursable. No prepayments for materials are permitted.

### Construction and Permanent Loans:

- i. Persons receiving financing must conform to applicable federal and local regulations governing the use of specific loan funds.

- ii. All loan applicants must present evidence of their ability to repay the loan and provide adequate collateral.
  - iii. Loan approval is contingent upon approval of the project by the Deadwood Historic Preservation Commission.
- d. All projects will be performed pursuant to the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings. Specifications for materials are available from Deadwood Historic Preservation Office or can be found on City of Deadwood Website.
- e. Windows and door requirements are as follows:

**Wood Windows** – New and/or replacement windows must be all wood framed windows including exterior materials in style appropriate to the original character of the resource and window opening(s) as determined by the Deadwood Historic Preservation Commission to meet the program requirements.

- i. The program provides a forgivable loan or grant of \$800 per window for the restoration of an existing wood window or \$800 per window for the removal of an inappropriate window alteration and installation of a window appropriate in material and style of operation for a particular house.
- ii. The program provides a forgivable loan or grant of \$800 per window opening for the purchase and installation of new wood windows if restoration of the existing windows is not an option or is not possible.

**Wood Storm Windows** – New and/or replacement storm windows must be all wood framed including exterior materials in style appropriate to the original character of the resource and window opening(s) as determined by the Deadwood Historic Preservation Commission to meet the program requirements.

- i. The program provides a forgivable loan or grant of \$350 per window opening for the restoration of existing wooden storms and screens or for the purchase and installation of approved wooden storms and screens, if restoration is not an option or is not possible.

**Wood Primary Door** – Door originally intended as the primary access to the resource and must be made of wood appropriate to the original character of the resource and opening as determined by the Deadwood Historic Preservation Commission to meet the program requirements.

- i. The program provides a forgivable loan or grant of \$600 for the restoration of the primary wood door, OR a forgivable loan or grant of \$600 for the removal of an inappropriate primary door and installation of a new wood door appropriate in material and style for a particular resource.

**Additional Exterior Wood Door(s)** – Additional exterior door(s) originally intended as an access to the resource and must be made of wood appropriate to the original character of the resource and opening as determined by the Deadwood Historic Preservation Commission to meet the program requirements.

- i. The program provides a forgivable loan or grant in the amount of \$300 to repair the other exterior wood door(s), OR a forgivable loan or grant of \$300 for the removal of other inappropriate door(s) and installation of a new wood door appropriate in material and style for a particular resource, if restoration is not an option or is not possible.



**Wood Storm Doors** – New and/or replacement storm doors must be all wood framed including exterior materials in style appropriate to the original character of the resource as determined by the Deadwood Historic Preservation Commission to meet the program requirements.

- i. The program provides a forgivable loan or grant of \$600 per storm door for the restoration of existing storm door for the purchase and installation of approved wooden storm doors, if restoration is not an option or is
- f. **Elderly Resident Requirements:**

**Life Safety Project** – Projects which are intended to protect people based on a facility's construction, protection, and occupancy features that minimize the effects of health, fire and related hazards.

- i. All projects will be performed pursuant to the requirements of the codes adopted by the City of Deadwood under Chapter 15.01.010.
- ii. All projects will be performed pursuant to the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings.
- iii. The property must meet Property Maintenance Code as adopted by the City of Deadwood; therefore, the City Historic Preservation Office Building Inspector may inspect the property every two years to insure compliance. Multiple qualified projects are allowed up to \$10,000 maximum. Once the maximum is met the applicant may apply for funding ten (10) years after the last project completion date.

**Examples of Life Safety Projects (must be pre-approved by Historic Preservation)**

- |   |  |
|---|--|
| • Upgrade substandard electrical systems          | • Replace substandard heating system               |
| • Substandard plumbing repairs or upgrades        | • Asbestos removal                                 |
| • Install access ramps, and doors                 | • Mold removal                                     |
| • Grading to protect structures from water damage | • Repair/replace damaged sidewalks, steps, railing |
| • Repair building foundation                      | • Repair / replace retaining walls                 |
| • Remove tree hazards to historic structures      | • Repair damaged roofing                           |
| • Structural deficiencies                         |  |

- g. **Vacant Home Definition and Requirements:**

**Historic Preservation Project Definition** – Projects which are intended to preserve or protect historic properties or properties eligible for historic status.

**Examples of Historic Preservation Projects(must be pre-approved by Historic Preservation)**

- |                                    |  |
|------------------------------------|--|
| • Repair building foundation       | • Repair damaged roofing                       |
| • Repair / replace retaining walls | • Remove tree hazards to historic structures   |
| • Repair / replace building siding | • Repair / replace doors and windows           |
|                                    | • Grading protect structures from water damage |

**Life Safety Project Definition** – Projects which are intended to protect people based on a facility's construction, protection, and occupancy features that minimize the effects of health, fire and related hazards.

**Examples of Life Safety Projects(must be pre-approved by Historic Preservation)**

- |  |  |
|--|--|
| • Upgrade substandard electrical systems                 | • Replace substandard heating system                     |
| • Lead based paint abatement                             | • Asbestos removal                                       |
| • Install access ramps and doors                         | • Mold removal   |
| • Installation of building insulation / weather proofing | • Repair / replace damaged sidewalks / steps / handrails |

**Vacant Home Program Requirements:**

- i. All properties must meet the Revolving Loan Fund's eligibility requirements.
- ii. All persons receiving financing must conform to applicable federal and local regulations governing the use of specific loan funds.
- iii. All loan applicants must present evidence of their ability to repay the loan and provide adequate collateral.
- iv. Loan approval is contingent upon approval of the project by the Deadwood Historic Preservation Commission.
- v. All projects will be performed pursuant to the requirements of the codes adopted by the City of Deadwood under Chapter 15.01.010.
- vi. All projects will be performed pursuant to the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings.
- vii. The property must meet Property Maintenance Code as adopted by the City of Deadwood; therefore, the City Historic Preservation Office Building Inspector may inspect the property every two years to insure compliance. If the property is not within compliance, the City Building Inspector will notify the homeowner of the deficiency and will provide a reasonable time frame to correct the deficiency. If the deficiency has not been corrected after three notifications the loan will be considered to be in default and the Deadwood Historic Preservation Commission will take legal action.

#### -h. Residential Revolving Loan Fund

Historic Preservation Project Definition – Projects which are intended to preserve or protect historic properties or properties eligible for historic status.

##### Examples of Historic Preservation Projects

- Repair building foundation
- Repair / replace retaining walls
- Repair / replace building siding
- Repair damaged roofing
- Remove trees that are hazards to historic structures
- Repair / replace doors and windows
- Grading protect structures from water damage

Life Safety Project Definition – Projects which are intended to protect people based on a facility's construction, protection, and occupancy features that minimize the effects of health, fire and related hazards.

##### Examples of Life Safety Projects

- Upgrade substandard electrical systems
- Repair fencing
- Install access ramps, and doors
- Installation of building insulation / weather proofing
- Replace substandard heating system
- Asbestos removal
- Mold removal
- Repair / replace damaged sidewalks / steps / handrails

#### Revolving Loan Priority Schedule:

Due to the limited availability of funds and the extensive need for quality craftsmanship a priority schedule will be referred to in processing applications for revolving loan funds. These priorities may be amended to reflect the availability of funding and completion of projects currently considered "high priority."

- i. **Life Safety** - First priority projects are those required by the City of Deadwood's Building Inspector and necessary to comply with the applicable Life Safety Codes.

Revised October 26, 2022

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- ii. **Historic Preservation (Listed Properties)** - Second priority projects are those affecting the preservation and protection of properties listed on the city's 1993 Historic Sites Inventory as historic, or contributing, in the Deadwood National Historic Landmark District.
- iii. **Historic Preservation (Value Adding Properties)** - Third priority projects are those affecting structures which in the opinions of the Deadwood Historic Preservation Commission, add to the historical integrity of the City of Deadwood as defined in Chapter 24:52:00:01 (4) of the administrative rules of the South Dakota State Office of History.

**Revolving Loan Program Requirements:**

- i. All properties must meet the Revolving Loan Fund's eligibility requirements.
- ii. All persons receiving financing must conform to applicable federal and local regulations governing the use of specific loan funds.
- iii. All loan applicants must present evidence of their ability to repay the loan and provide adequate collateral.
- iv. Loan approval is contingent upon approval of the project by the Deadwood Historic Preservation Commission.
- v. All projects will be performed pursuant to the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings.
- vi. The property must meet Property Standards Maintenance Code adopted by the City of Deadwood; therefore, the City Historic Preservation Office Building Inspector may inspect the property every two years to insure compliance. If the property is not within compliance, the City Building Inspector will notify the homeowner of the deficiency and will provide a reasonable time frame to correct the deficiency. If the deficiency has not been corrected after three notifications the loan will be considered to be in default and the Deadwood Historic Preservation Commission will take legal action.
- vii. If the owner/applicant desires to sell the property before the end of the loan term, the remaining unforgiven portion of the loan will be due in full.
- viii. The owner/applicant must have addressed any additional preservation issues beyond the original work, meet Deadwood Minimum Maintenance Standards, and satisfy all loan conditions before loan can be transferred or forgiven.

**i. Retaining Wall Considerations and Conditions:**

**Additional loan considerations:**

- i. If the Owner desires to sell the property before the end of the loan term, the amount remaining on the loan must be paid in full.
- ii. The Owner must have addressed any additional preservation issues beyond the original work, meet Deadwood Minimum Maintenance Standards, and satisfy all loan conditions before loan can be satisfied.
- iii. The Owner, through acts or omissions, may jeopardize the value of the property and bring the amount of the loan due and payable in full, if the Owner does not remain in compliance with the terms of the mortgage:



- i. in regards to the payment of property taxes and assessments against the mortgaged property,
- ii. in regards to maintenance of property insurance coverage on the mortgage property;

#### Retaining Wall Conditions:

- i. The City of Deadwood's Historic Preservation Officer and Building Inspector will monitor all project construction work to ensure compliance with the requirements of the Building Codes adopted by the City of Deadwood.
- ii. Reconstructed retaining walls greater than four (4) feet high must be engineered, as required by the Building Codes adopted by the City of Deadwood. The Historic Preservation Commission will obtain engineering and pay for the cost of engineering services.
- iii. All retaining wall projects will be put out to public bid. The bid process will follow the City of Deadwood's procurement procedures per South Dakota Codified Laws.
- iv. The Historic Preservation Officer must approve all retaining wall designs to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Failure to meet this requirement will terminate the program commitment.
- v. The Historic Preservation Commission will disburse all program funds directly to the project's contractors and/or suppliers of materials based on the City of Deadwood's administrative procedures.
- vi. A project must be completed, or under construction, within one (1) year of the Historic Preservation Commission's allocation of funds. Failure to meet this requirement may terminate the program commitment.

#### Retaining Wall Selection Process Based on Priorities:

Due to the limited availability of program funds and quality craftsmanship, a priority schedule will be referred to in processing applications for the Retaining Wall Program. These priorities may be amended to reflect the availability of funding and completion of "high priority" projects. The Deadwood Historic Preservation Commission will evaluate each application received and will take into consideration the needs and priorities. Priorities are set as follows:

- i. First priority - Projects determined by the City of Deadwood's Building Inspector affecting applicable Life Safety Codes.
- ii. Second priority - projects affecting the preservation and protection of properties listed on the City of Deadwood's 1993 Historic Sites Inventory as contributing to the Deadwood National Historic Landmark District.
- iii. Third priority - projects affecting structures, which in the sole opinion of the Deadwood Historic Preservation Office, contribute to the historical integrity of the City of Deadwood as defined in Chapter 24:52:00:01 (4) of the administrative rules of the South Dakota State Office of History.

#### Retaining Wall Owner's Financial Obligations:

- i. Project costs are divided into two (2) portions: the **Owner's portion** and the **forgivable portion**.
- ii. The **Owner's portion** is the sum of the following:
  - 10% of the project costs (excluding the cost of engineering), plus
  - 10% of the property value based on the most recent real estate assessment shown on the Lawrence County Equalization records for both land and structures plus,
  - Any loan fees relating to Owner's portion loan, if applicable.

- iii. The **forgivable portion** is written as a loan to the owner. This loan is a zero interest, no payment loan but any loan fees associated with the forgivable portion of the loan are the responsibility of the owner.
- iv. The Owner may finance the Owner's portion of the project costs themselves. In this case, the Owner pays the City of Deadwood in advance and the City will process all payments to contractor(s).
- v. The Owner may choose to finance the Owner's portion of the project costs through the Historic Preservation Revolving Loan Fund if they demonstrate the ability to repay both principle and interest. Terms will be adjusted with a balloon payment determined. The Owner may be eligible for refinancing the balloon payment at the end of loan period but the new loan will be subject to new loan conditions and at market rates.
- vi. Failure to maintain property up to City of Deadwood's Minimum Maintenance Standards may cause loan(s) to be payable in full.

#### Retaining Wall Inspections and Changes of Ownership

- i. A satisfactory inspection by the City Building Inspector at completion of project is required.
- ii. The property owner must meet minimum maintenance requirements. A satisfactory inspection by the City Building Inspector at the maturity of the loan is required. This inspection must be passed prior to any of the forgivable portion loan to be forgiven.
- iii. In the event of a title transfer such as the sale of the home or cash out refinance, occur prior to the maturity of the loans, including the forgivable portion loan, the balance of the loans will be due and payable in full.

## 6. Conservation Easement and Loan Conditions:

### Qualified Owner Occupied (Grant):

GRANT AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
<b>\$10,000 Maximum</b> Foundation Siding <b>Multiple Projects \$10,000</b> Elderly every 10 years <b>Up to \$20,000 Maximum</b> Wood Windows/Doors	Not applicable	Not applicable	Conservation Easement	Conservation Easement Recorded with County

Owner Occupied status is verified with the Lawrence County Equalization Office and by additional verification obtained through other means available to the City. A Grant Agreement with the City of Deadwood must be signed by all parties.

### Qualified Non-Owner Occupied Property (Forgivable Loan)

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
<b>\$10,000 Maximum</b> Foundation Siding Vacant <b>Up to \$20,000 Maximum</b> Wood Windows/Doors	0%	Up to 10 years	10% of Loan amount will be forgiven each calendar year	Note & Mortgage

**Qualified Revolving Loan****Life Safety**

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
Up to \$25,000 maximum	0%	5 years	Monthly payments due. Possible balloon payment due at end of term	Note & Mortgage

**Historic Preservation**

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
Varies by Project	Market Rate	7 years	Monthly payments due. Possible balloon payment due at end of term	Note & Mortgage

**Qualified Retaining Wall Program****Owner's Portion (Life Safety) Loans**

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
10% of project <u>plus</u> 10% of assessed value	Borrower Loan 0%	5 years	Monthly payments due. Possible balloon payment due at end of term	Note & Mortgage

**Owner's Portion (non-Life Safety) Loans**

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
10% of project <u>plus</u> 10% of assessed value	Borrower Loan Market Rate <sup>1</sup>	7 years	Monthly payments due. Possible balloon payment due at end of term	Note & Mortgage

**Forgivable Portion Loans**

LOAN AMOUNT	INTEREST RATE	TERM	PAYMENT AMOUNT	SECURITY
Project costs less Owner's Portion	Borrower Loan 0%	5 years Owner Occupied  10 years for all others	No payments	Note & Mortgage

All Deadwood Historic Preservation loan programs will include the following fees: Credit Report, Recording Fee, 1% Loan Origination Fee, Settlement Fee, Title Report Fee **and a \$200 Underwriting fee**. These fees are collected from applicant/owner at loan closing. All loan fees will be disclosed on a Loan Estimate by NeighborWorks in accordance with the Real Estate Settlement and Procedures Act.



Failure to complete work as approved in a timely fashion and/or failure to maintain property up to City of Deadwood's Minimum Maintenance Standards may cause loan to be payable in full at that time and not forgiven.

Market Rate will be periodically determined by the Historic Preservation Commission from recommendations of the Loan Committee. The Deadwood Historic Preservation Commission reserves the right to modify, amend, or forgive the loan payment or to change or modify this program for any reason.

Owners applying for construction loans must provide proof of ability to repay loan. Various documents will be requested by NeighborWorks to complete a loan application.

The Deadwood Historic Preservation Commission reserves the right to modify, amend, or forgive the loan payment or to change or modify this program for any reason.

Additional Forgivable Loan considerations:

- a. At the end of each full calendar year, 10% of the loan amount will be forgiven.
- b. If the owner/applicant desires to sell the property before the end of the loan term, the remaining unforgiven portion of the loan will be due in full.
- c. The owner/applicant must have addressed any additional preservation issues beyond the original work, meet Deadwood Minimum Maintenance Standards, and satisfy all loan conditions before loan can be transferred or forgiven.

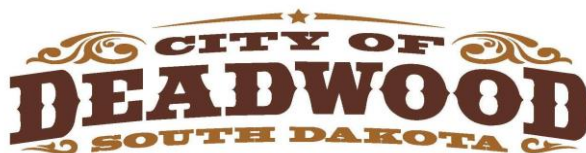
## 7. Forms and Technical Assistance:

- a. **Loans** - Loan application forms and loan technical assistance are available at the NeighborWorks Office, 795 Upper Main Street in Deadwood. Telephone: (605) 578-1401.
- b. **Project Approval or Certificate of Appropriateness** – The applications are available at the Historic Preservation Office located at Deadwood City Hall, 108 Sherman Street in Deadwood. (605) 578-2082. This form is also available online at: <http://www.cityofdeadwood.com> , under **Permits, Licenses & Forms** tab, then under Historic Preservation heading.

This form must be completed and given to the Historic Preservation Officer who will present it to the Historic Preservation Commission for consideration. *[No work can start until Historic Preservation Commission approval and the owner/applicant has an approved City of Deadwood Building Permit.]*

**City of Deadwood Building Permit** – A City of Deadwood (Residential or Commercial) Building Permit must be acquired from the City of Deadwood Building Inspector located at 108 Sherman Street, in Deadwood. Telephone: (605) 578-2082. This permit application form is also available online at: <http://www.cityofdeadwood.com> , under **Permits, Licenses & Forms** tab, then under Building Inspector heading.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



Mike Runge  
Archivist  
Telephone (605) 578-2082

## MEMORANDUM

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**Date:** October 19, 2022  
**To:** Deadwood Historic Preservation Commission  
**From:** Mike Runge, City Archivist  
**Re:** **2022 Deadwood Fire History Project and Contract**

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The City Archives is requesting permission to enter into a contract with Dr. Peter Brown of the Rocky Mountain Tree-Ring Research in Fort Collins, Colorado to identify, sample and date historic wood stumps within and just outside the Deadwood city limits. The outcome of this project will be to develop a fire chronology and historic narrative of Deadwood Gulch's fire district. The data extracted from this project will add new historic data on how fire shaped Deadwood's built environment before the gold rush era (pre-1876) and during the settlement of Deadwood Gulch and the northern Black Hills (1883 to present). This project will also identify and interpret fire behavior patterns, the date the forest within and surrounding Deadwood, and provide detailed analysis of Deadwood's climate variables.

Dr. Brown has worked on several other projects for Historic Preservation including dating archaeological features unearthed in Deadwood and preparing and dating tree samples from St. Ambrose Catholic Cemetery.

### RECOMMENDATION:

Allow the City Archives to enter a contract with Dr. Peter Brown of the Rocky Mountain Tree-Ring Research in Fort Collins, Colorado to identify, sample and date historic wood stumps within and just outside the Deadwood city limits and prepare a final report. Funding for this project will not exceed \$12,000.00 and will come out of the 2022 City Archives budget.



OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



Mike Runge  
 Archivist  
 ephone (605) 578-2082

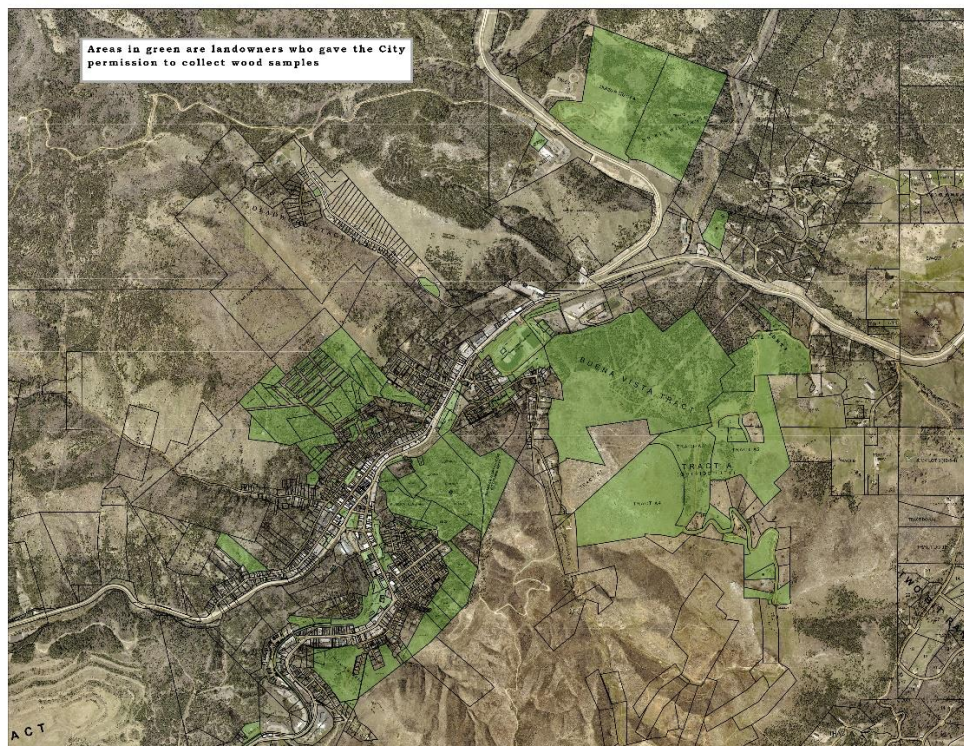


Image #01 Map of landowners who have given the city permission to harvest wood stumps.



Image #02 Close up of weathered stump and wood "cookie" with fire scars.

**CONTRACT FOR DEADWOOD FIRE HISTORY PROJECT**  
**AND REPORT**

This AGREEMENT is made by and between the Deadwood Historic Preservation Commission, a department of the City of Deadwood (hereinafter referred to as “**CITY**”) and Dr. Peter Brown of the Rocky Mountain Tree-Ring Research located at 2901 Moore Lane, Fort Collins, CO. 80526, hereinafter referred to as Independent Contractor or “**IC**”).

WHEREAS, **IC** has agreed to travel to and from Deadwood, South Dakota, locate and sample historic tree stumps in areas prearranged by city staff, prepare said collected wood samples as part of the analysis portion of the project and submit a final report on the results of the project as related to the fire chronology and historic narrative of Deadwood Gulch’s fire district.

WHEREAS, the **CITY** has agreed to compensate **IC** for their services in the total sum of Twelve Thousand Dollars (\$12,000.00).

Under this agreement, the parties agree that it will be **IC’S** responsibility to provide their own office space and equipment and pay their own social security and insurance.

All original specimens associated with this project will be returned to Michael Runge, Collections Manager at the City of Deadwood, 108 Sherman Street, Deadwood, SD 57732 no later than December 31, 2022.

The final report and any associated paperwork relating to this project will be sent to the City of Deadwood Archives, 108 Sherman Street, Deadwood, South Dakota upon completion of the project.

It is anticipated by the parties that **IC** shall submit all wood samples collected in Deadwood, South Dakota during the project and submit their findings in a final written report, which includes geographical locations of collected specimens, a fire chronology and historic narrative of Deadwood Gulch's fire district as related to the Black Hills fire chronology and history compiled by the IC, and submit said findings to the online database for the Black Hills fire district.

**IC** may not subcontract any portion of this contract or any portion of the work. The **CITY** may terminate this contract for cause upon a five (5) day written notice. **IC** may terminate this contract for any reason upon thirty (30) day written notice.

In performance of this work hereunder, **IC** is an independent contractor and shall not be construed as creating a relationship of principal and agent, or employer and employee between **CITY** and **IC**.

**IC** shall not have any authority to hire any person on behalf of **CITY** or to charge any amounts to **CITY**.

WHEREFORE, **CITY** and **IC** wish to provide the following agreement:

1. **IC** shall travel to and from Deadwood, South Dakota, locate and sample historic tree stumps in prearranged locations provided by city staff, prepare collected wood samples as part of the analysis portion of the project and



submit a final report on the results of the project as related to the fire chronology and historic narrative of Deadwood Gulch's fire district.

2. The parties agree that it is **IC'S** responsibility to comply with all local and state laws relating to workmen's compensation, register, report, and pay all necessary taxes and insurance including, but not limited to Social Security, FICA, Unemployment Insurance, comply with the Equal Employment Opportunities Act;
3. **IC** shall provide their own office space, equipment and materials to meet the requirements of this agreement;
4. **IC** may not subcontract any portion of this contract or any portion of the work;
5. **IC** shall submit the prepared wood cuts and final report by December 31, 2022 for the total sum of Twelve Thousand Dollars (\$12,000.00).
6. **IC** is an independent contractor and this contract shall not be construed as creating any type of relationship including but not limited to, principal and agent or employer and employee between **CITY** and **IC**. **IC** does not have authority to hire any person on behalf of **CITY**;

7. **IC** shall indemnify, defend and hold harmless **CITY**, its employees and authorized representatives from and against any and all suits, claims, actions, legal and administrative proceedings, demands, damages, liabilities, costs and expense including attorney's fees arising out of or in connection with any conduct or work of **IC** as set forth in this agreement;
8. Upon **IC** traveling to and from Deadwood, South Dakota and providing the finished wood samples, **CITY** shall pay the total sum of Six-Thousand Dollars (\$6,000.00) to **IC** for their services;
9. Upon **IC** providing a finished report as related to the tree project, the **CITY** shall pay the remaining sum of Six-Thousand Dollars (\$6,000.00) to **IC** not to exceed Twelve Thousand Dollars (\$12,000.00).
10. This agreement and the rights and obligations of the parties shall be interpreted, construed and enforced in accordance with the laws of the State of South Dakota; and
11. This Agreement constitutes the entire agreement of the parties on its subject. There are no other terms, conditions or understandings of any kind, expressed or implied.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2022.

CITY OF DEADWOOD

By \_\_\_\_\_  
David R. Ruth, Jr., Mayor

ATTEST:

Jessica McKeown  
City Finance Officer

Dated this \_\_\_\_ day of \_\_\_\_\_, 2022.

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PETER BROWN

## INDEPENDENT CONTRACTORS

State of South Dakota )  
 ) SS  
County of \_\_\_\_\_ )

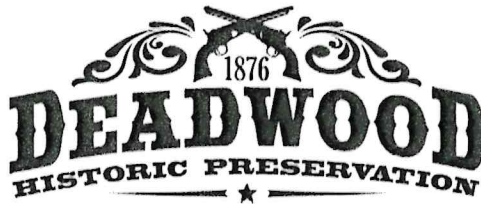
On this \_\_\_\_ day of \_\_\_\_\_, 2022, before me, the undersigned officer, personally appeared Angie IC, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have set my hand and official seal.

(SEAL)

Notary Public  
My Commission Expires: \_\_\_\_\_

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICIAL USE Section 7 Item a.

Case No. 220710  
☐ Project Approval  
☒ Certificate of Appropriateness  
Date Received 10/17/22  
Date of Hearing 10/26/22

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: Dahl's Chainsaw Art 566 Main Deadwood, SD 57732

Historic Name of Property (if known): 566 Main

### APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other \_\_\_\_\_

Owner's Name: Jordan Dahl

Address: 6521 Pendo Rd

City: Speersfish State: SD Zip: 57783

Telephone: (320) 226-3581 Fax: \_\_\_\_\_

E-mail: dahlschainsawart@outlook.com

Architect's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contractor's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

### TYPE OF IMPROVEMENT

- |   |                                       |                                      |  |
|---|---------------------------------------|--------------------------------------|--|
| <input checked="" type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition    | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction                           | <input type="checkbox"/> Re-Roofing   | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting   |
| <input type="checkbox"/> General Maintenance                        | <input type="checkbox"/> Siding       | <input type="checkbox"/> Windows     | <input type="checkbox"/> Porch/Deck          |
| <input checked="" type="checkbox"/> Other <u>Roof</u>               | <input type="checkbox"/> Awning       | <input type="checkbox"/> Sign        | <input type="checkbox"/> Fencing             |

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: _____		Project Completion Date (anticipated): _____		
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input checked="" type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____				
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments				

### DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Put roof on current structure - see pictures

Flat Roof Metal

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FOR OFFICE USE ONLY

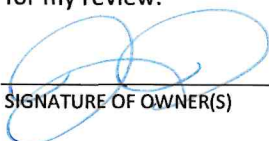
Case No. \_\_\_\_\_

## SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 10/6/22  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

## APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

#### ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

#### PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

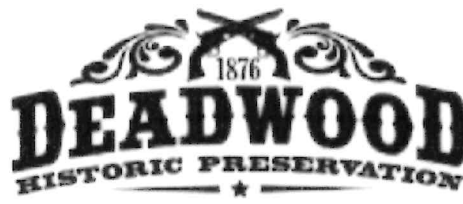
#### NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.









## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

<b>PROPERTY INFORMATION</b>
Property Address: <u>270 Main St</u>
Historic Name of Property (if known): <u>First Gold Hotel</u>

<b>APPLICANT INFORMATION</b>
Applicant is: <input type="checkbox"/> owner <input checked="" type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name: <u>First Gold Hotel and Gaming</u>
Address: <u>270 Main</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-578-9777</u> Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>High Plains Remodel</u>
Address: <u>103 Hidden Gulch</u>
City: <u>Central City</u> State: <u>SD</u> Zip: <u>57754</u>
Telephone: <u>307-871-7571</u> Fax: _____
E-mail: <u>highplainsrr@gmail.com</u>

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

<b>TYPE OF IMPROVEMENT</b>			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

Updated October 9, 2019

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>					
Project Start Date: <u>11-1-22</u>		Project Completion Date (anticipated): <u>1-1-23</u>			
<input checked="" type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____				
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>		
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
		<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____					
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement		<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement		
Material _____ Style/type _____ Dimensions _____					
<input checked="" type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments					

### DESCRIPTION OF ACTIVITY

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Construct awning/cover over mechanical/electrical equipment on east side of existing structure. Cover is necessary to protect equipment from elements and to increase longevity. Plans and drawings have been submitted to building inspector for review.

Case No. \_\_\_\_\_

### SIGNATURES

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SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

*M. J. [Signature]* - High Plains Remodel  
10-15-22

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

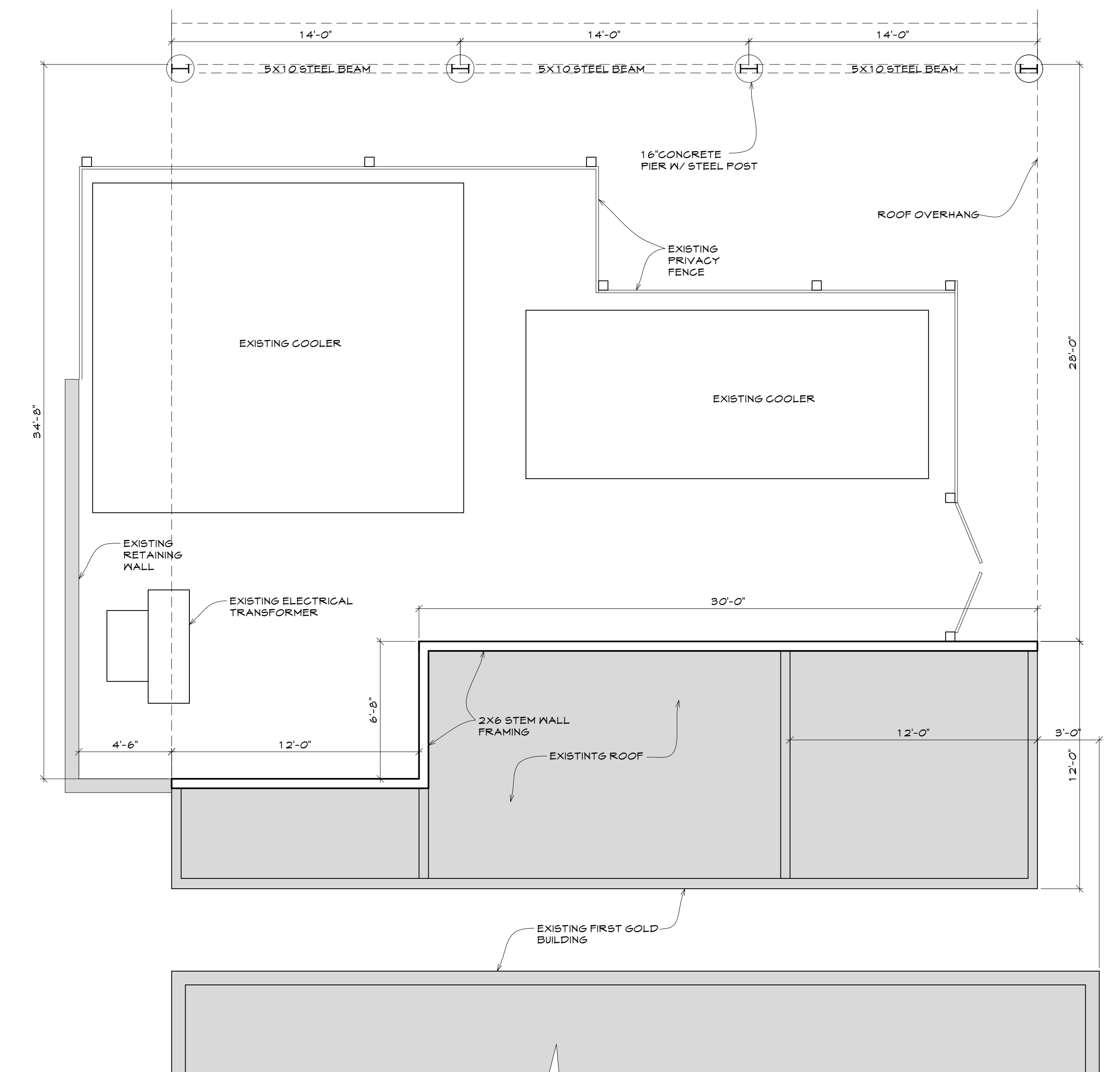
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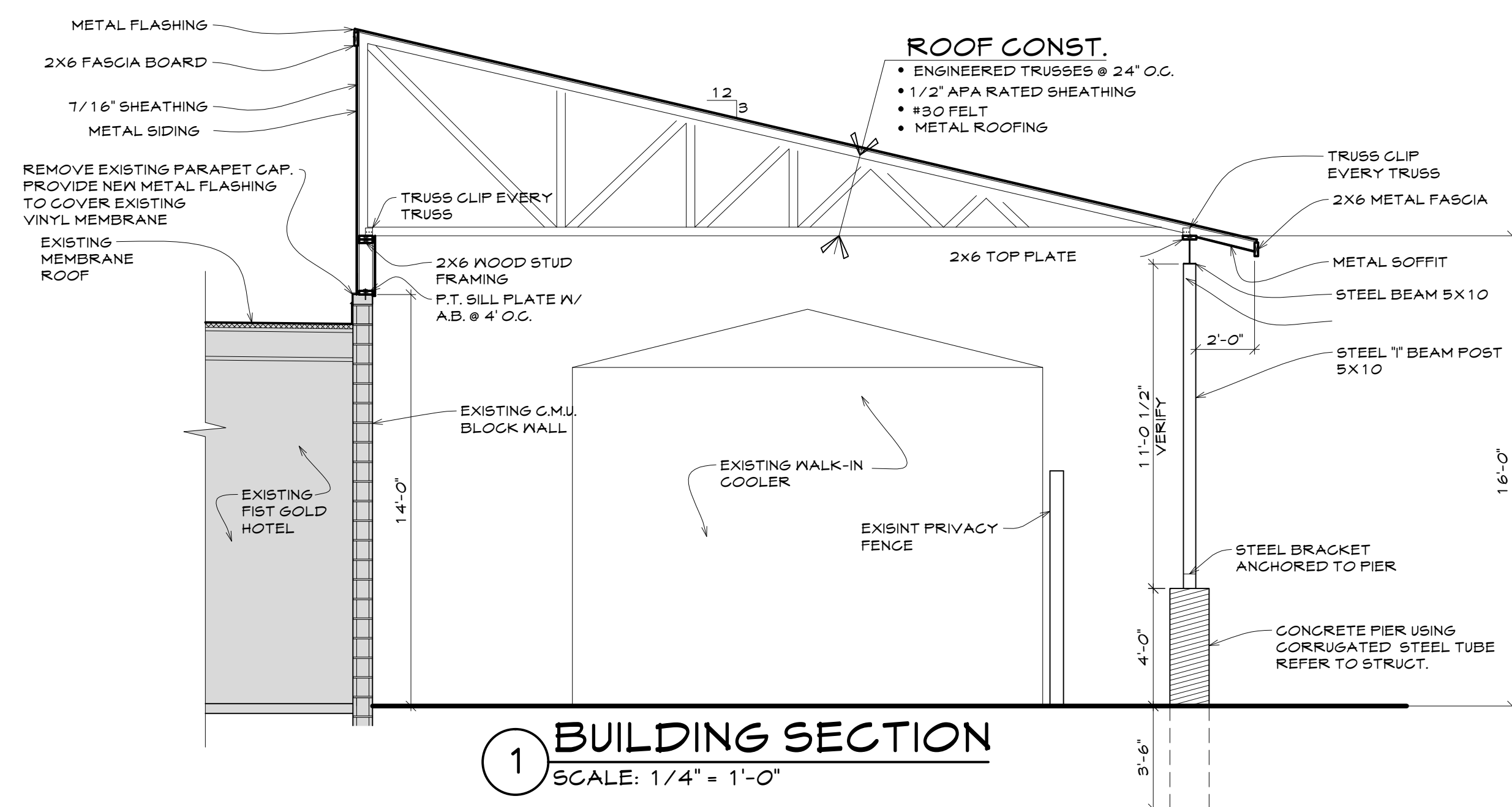
### LEGEND

SHADED AREAS INDICATE EXISTING WALLS

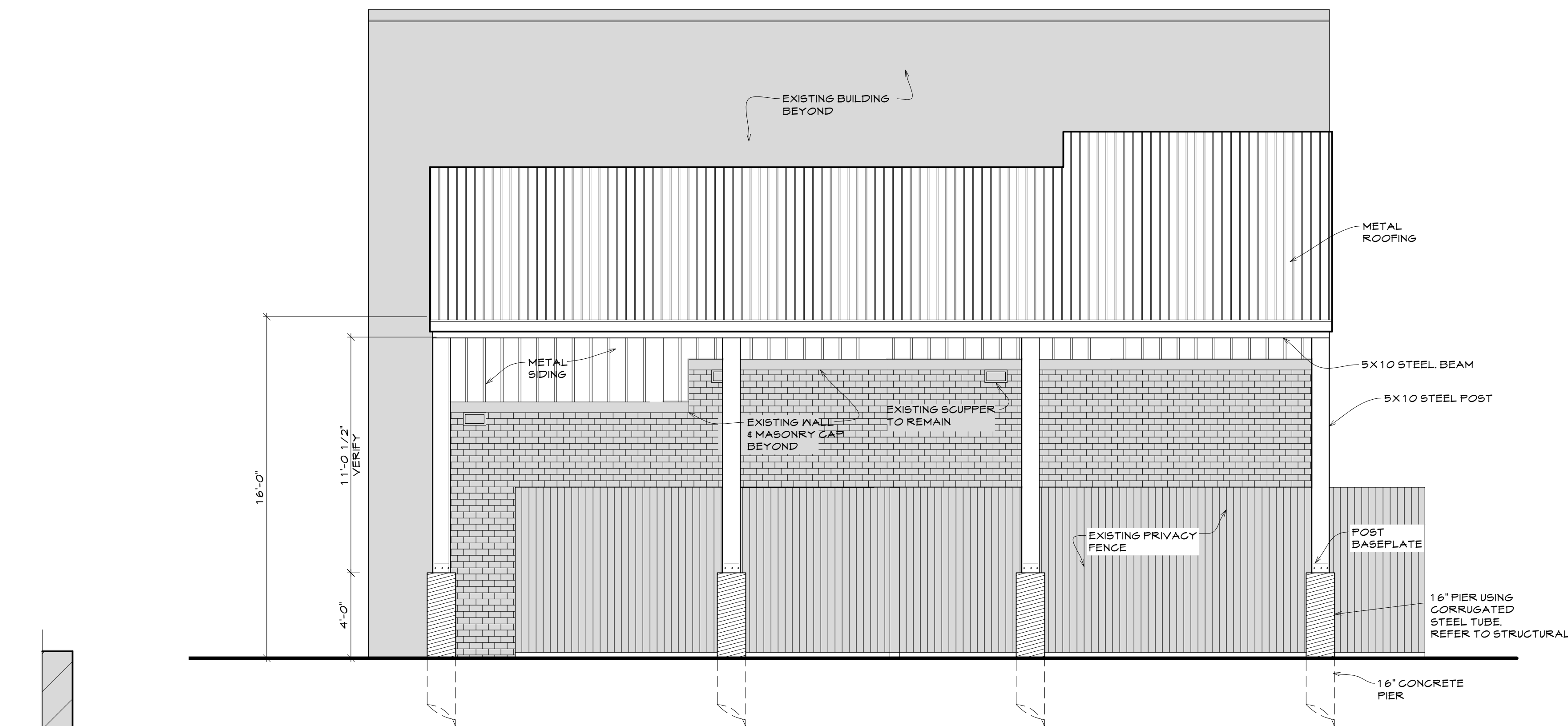
INDICATE NEW WALL CONSTRUCTION

## CANOPY PLAN

SCALE 1/4" = 1'-0"

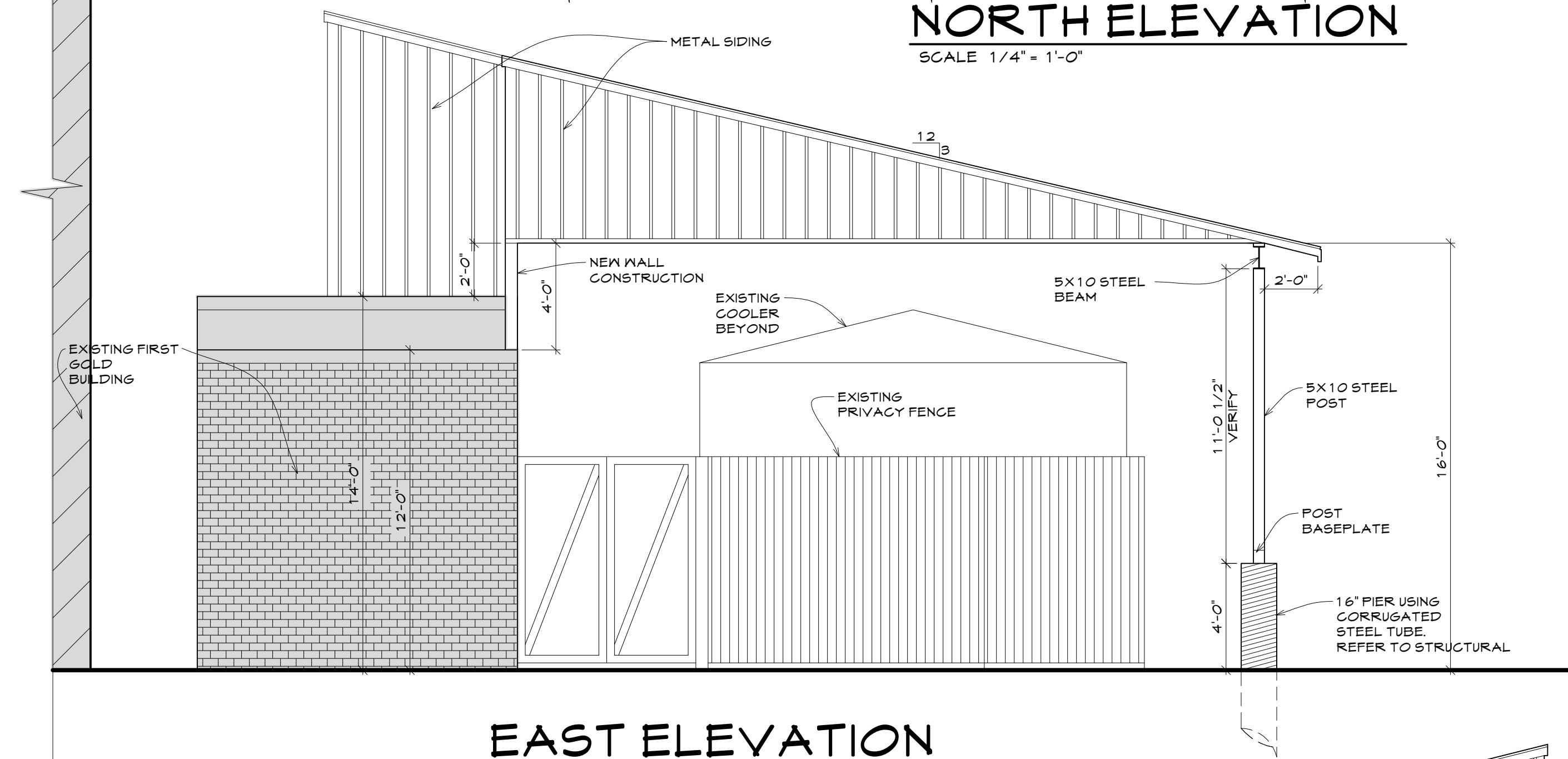


**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

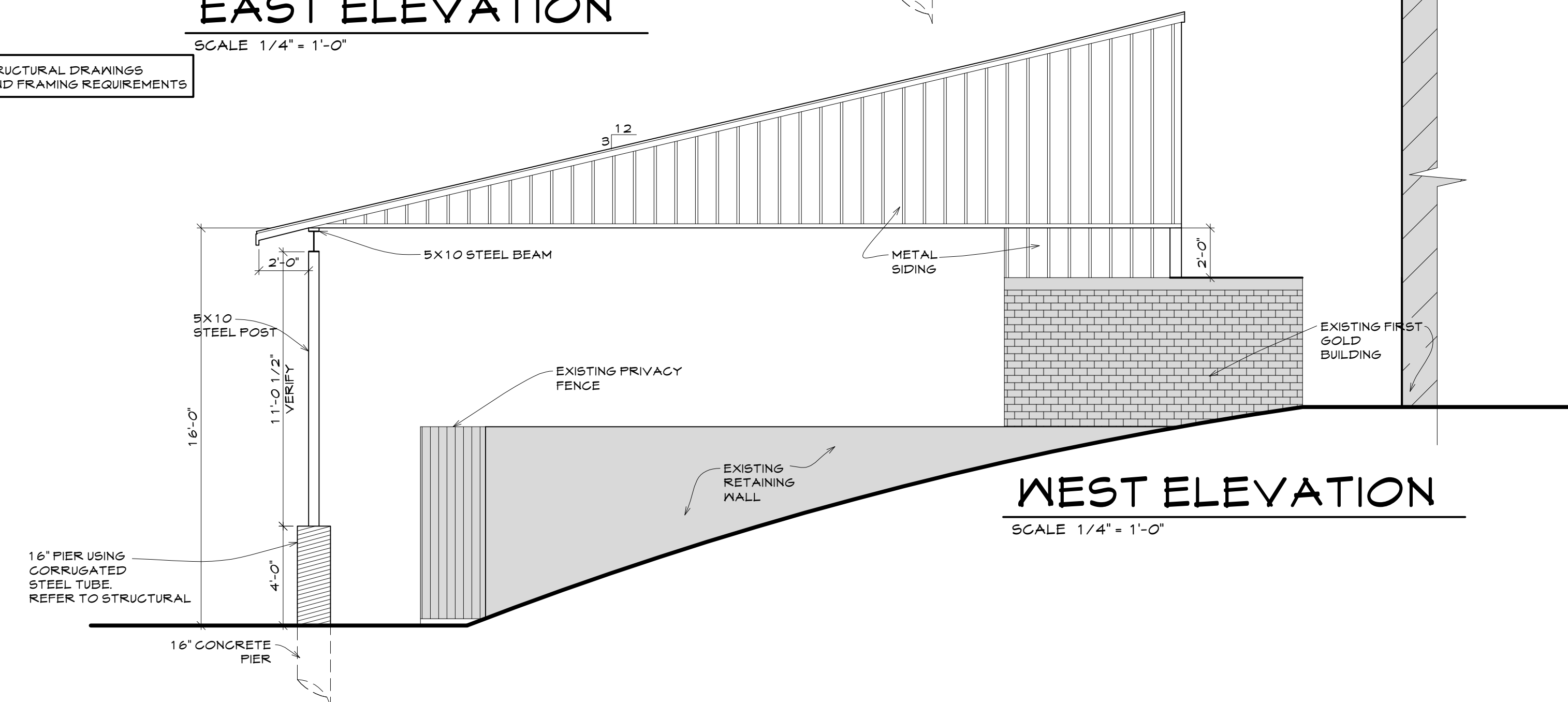
SCALE 1/4" = 1'-0"



## EAST ELEVATION

SCALE 1/4" = 1'-0"

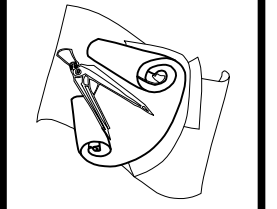
NOTE: REFER TO STRUCTURAL DRAWINGS  
FOR FOUNDATION AND FRAMING REQUIREMENTS



## WEST ELEVATION

SCALE 1/4" = 1'-0"

**PLANS IN ACTION**  
**Drafting & Design**  
3103 Fairgrounds Loop #2, Spearfish, SD 57783  
(605) 645-7981 [plansinaction@hotmail.com](mailto:plansinaction@hotmail.com)  
[www.plansinaction.com](http://www.plansinaction.com)



**DISCLAIMER:**  
THE INFORMATION IN THESE PLANS ARE A GRAPHIC ILLUSTRATION OF THE WORK REQUIRED TO COMPLETE THE PROJECT. ALL ASPECTS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE COORDINATED PRIOR TO CONSTRUCTION. THE PURCHASER OF THESE DOCUMENTS RELEASES PLANS IN ACTION DRAFTING & DESIGN AND BRUCE DRAPEAUX FROM ANY CLAIMS OF JUDGEMENTS.

FIRST GOLD HOTEL - CANOPY PLAN  
270 MAIN STREET  
DEADWOOD, SOUTH DAKOTA 57732

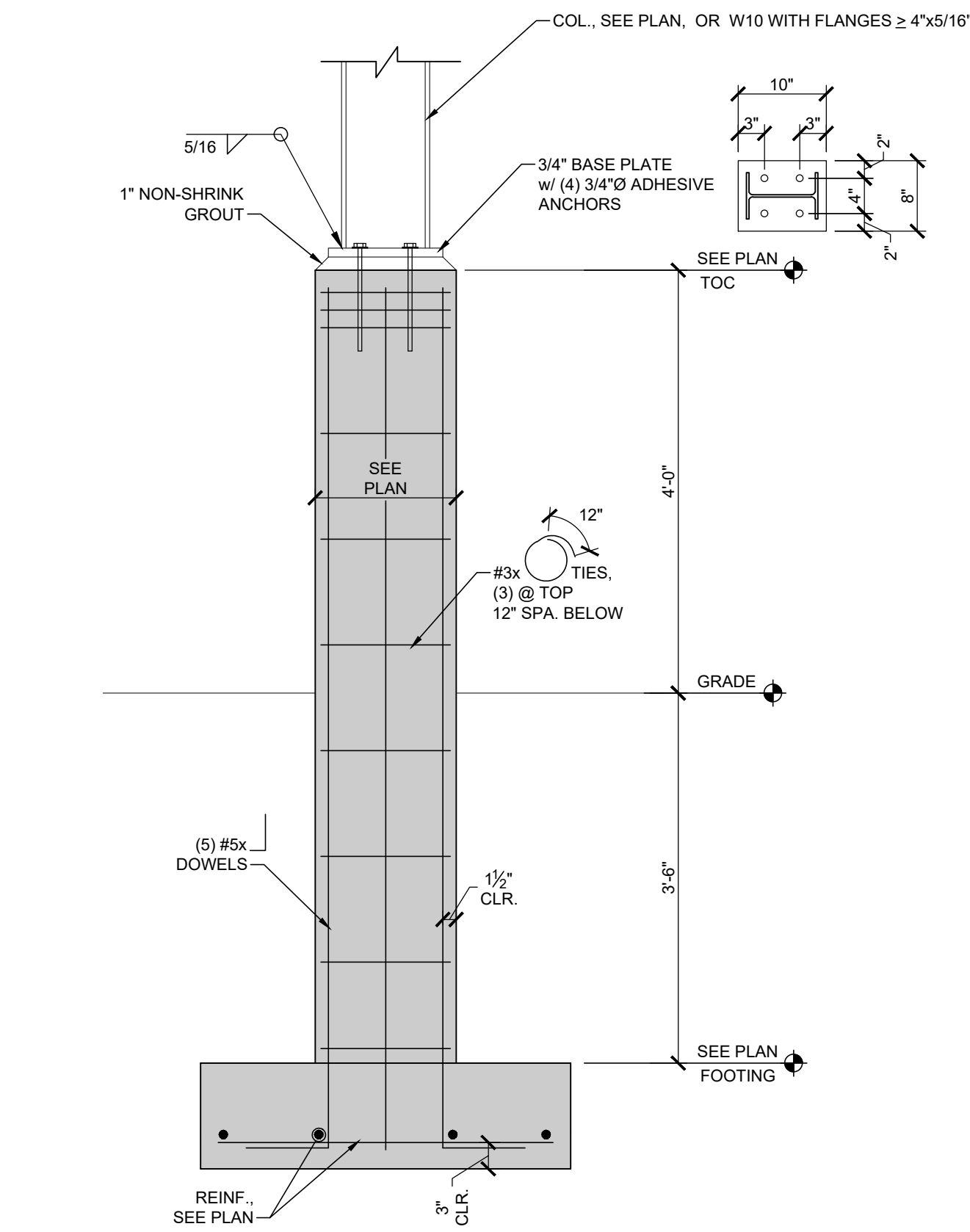
SHEET TITLE:  
CANOPY PLAN

DATE:  
10-3-22

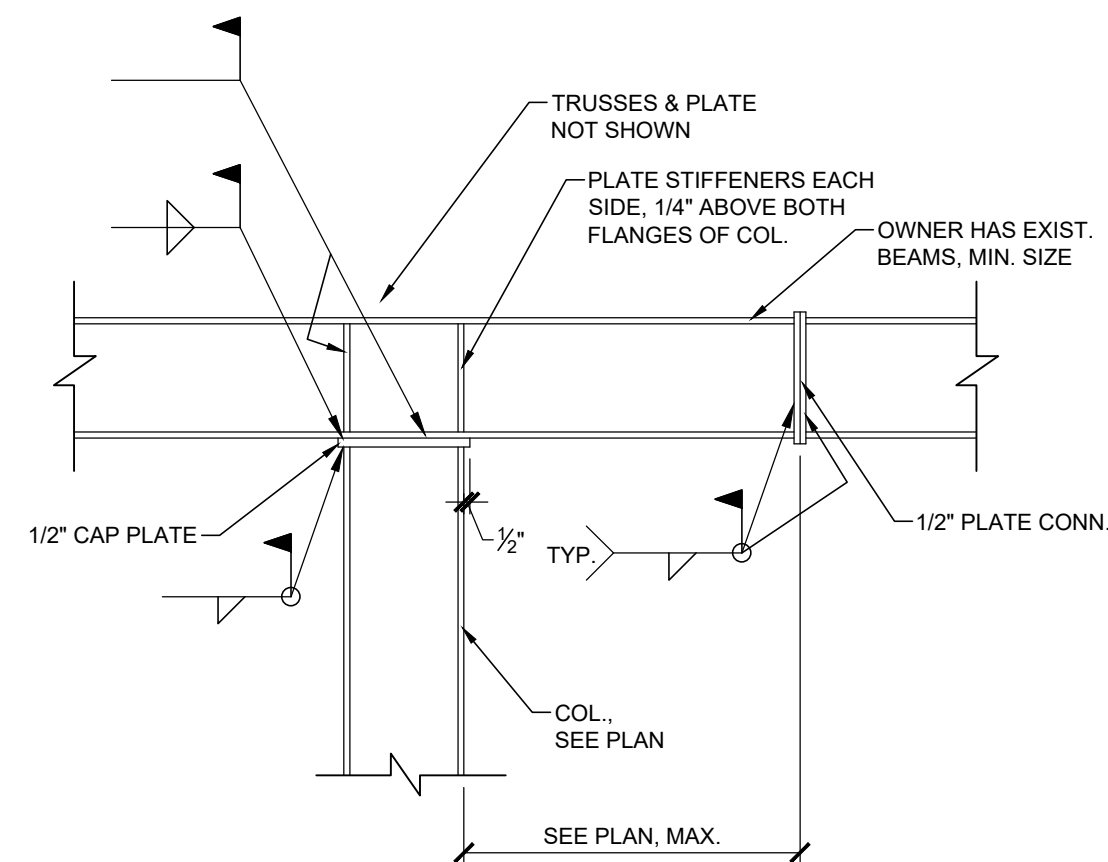
DRAWN BY:  
BRUCE  
DRAPEAUX

SHEET #

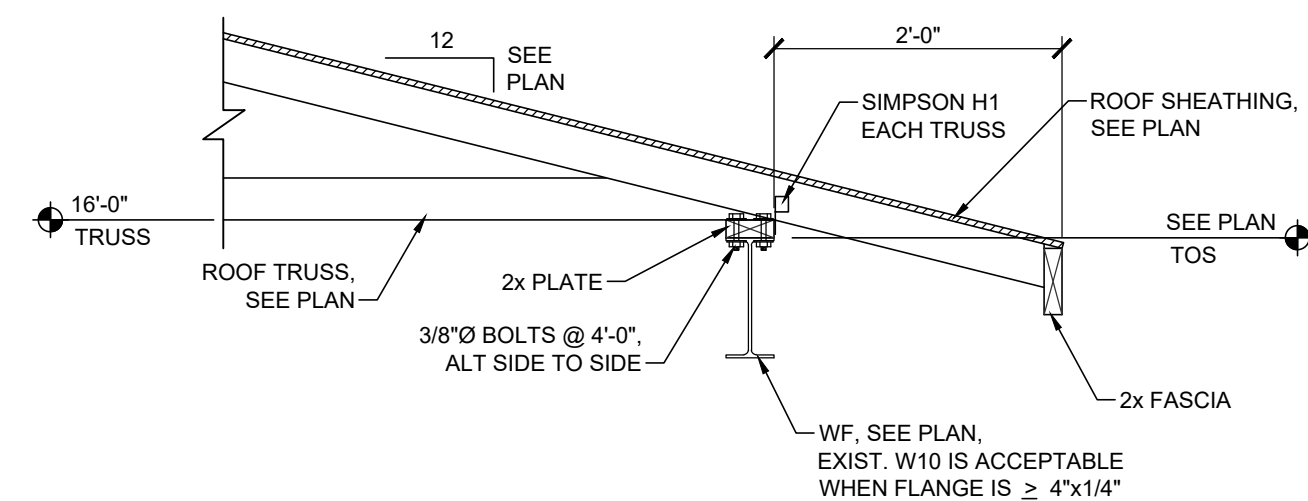
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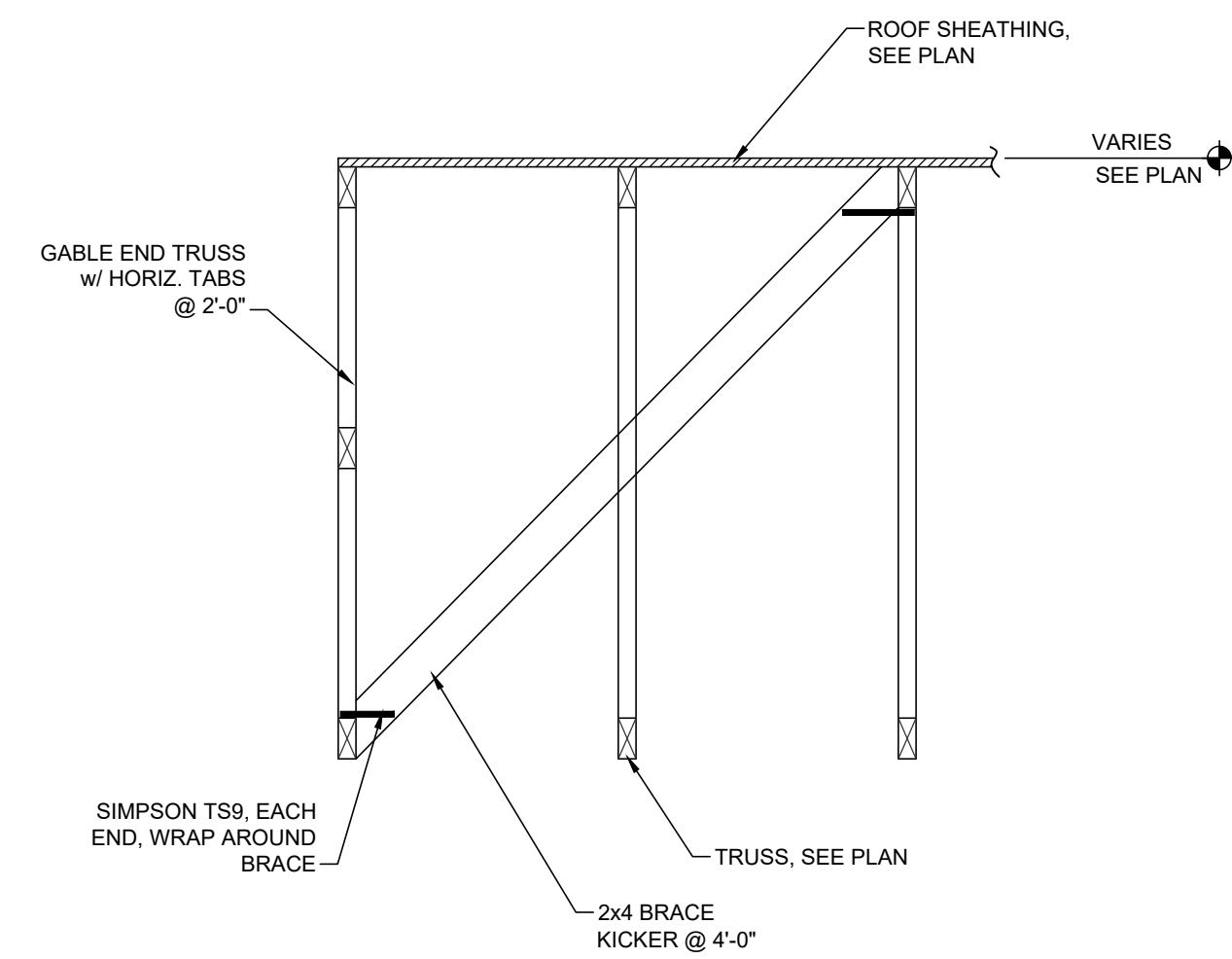
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S201  
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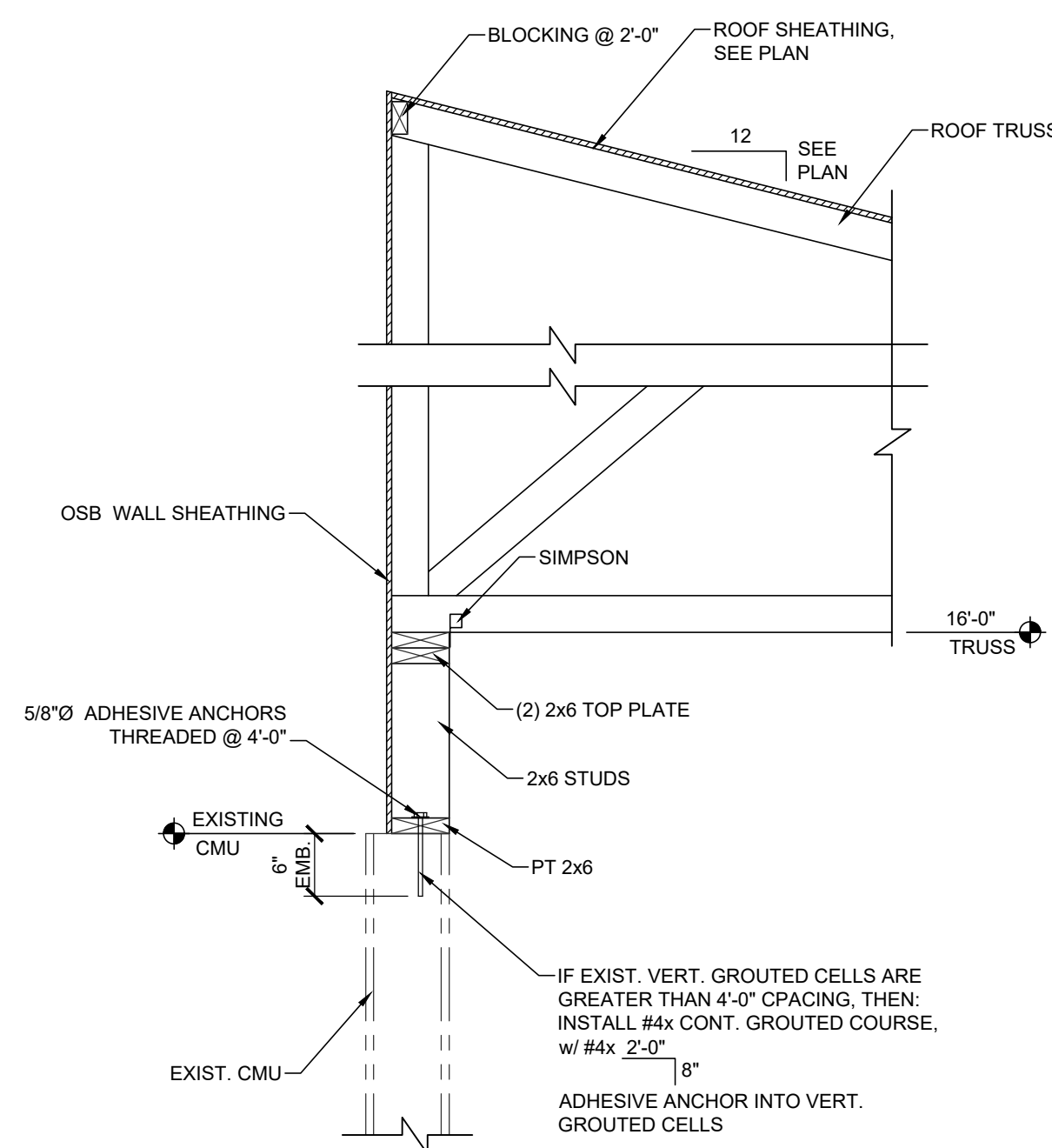
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S201  
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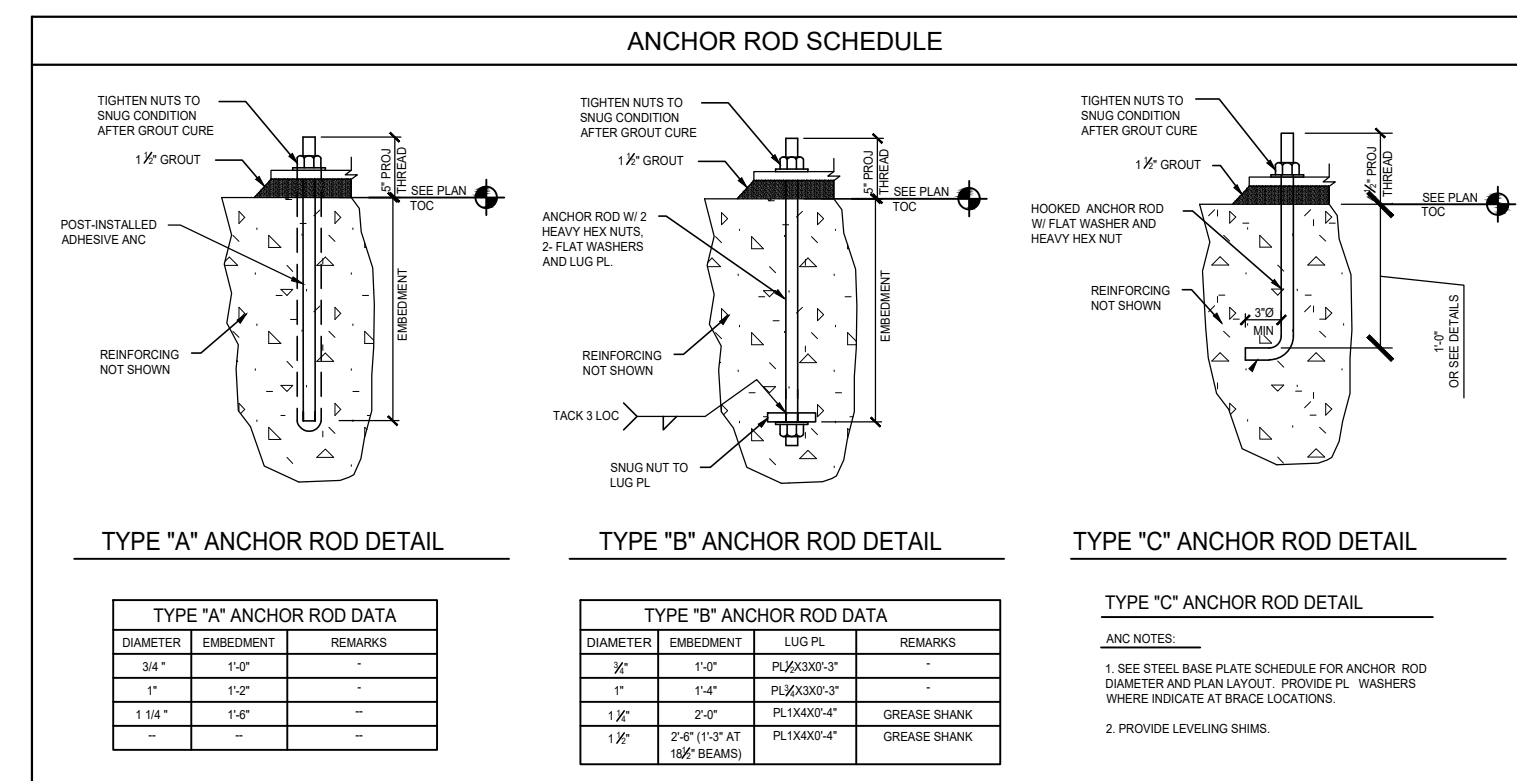
3  
S201  
SCALE = 3/4"=1'-0"



4  
S201  
SCALE = 3/4"=1'-0"



5  
S201  
SCALE = 3/4"=1'-0"

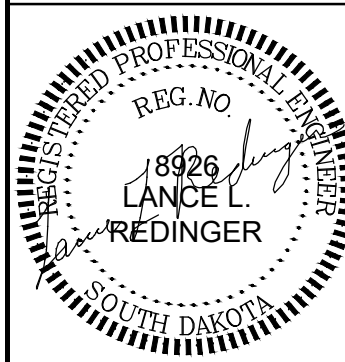


REBAR SIZE	LAP LENGTH 60 KSI REBAR		MASONRY
	VERT & HORZ	TOP BAR	
#3	1'-2"	1'-6"	ALL
#4	2'-0"	2'-6"	2'-0"
#5	2'-6"	3'-4"	2'-6"
#6	3'-2"	4'-2"	3'-0"
#7	3'-6"	4'-6"	3'-6"
#8	4'-0"	5'-2"	4'-2"
#9	5'-0"	6'-4"	
#10	6'-2"	8'-2"	
#11	8'-2"	9'-6"	

## REINFORCING NOTES:

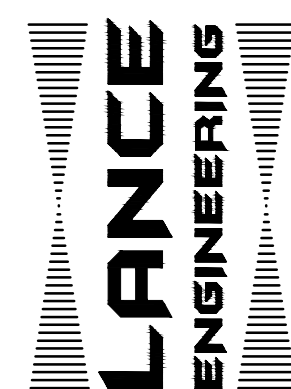
- CONCRETE LAP LENGTHS ARE CLASS 'B' BASED ON FC=4000 PSI WITH COVER REQUIREMENTS INDICATED AND BAR SPACING AT LEAST THREE BAR DIAMETERS.
- TOP BAR LAPS ARE HORIZONTAL LAPS WHERE MORE THAN 12" OF FRESH CONCRETE IS PLACED BELOW THE BARS.
- TOP BAR LAP LENGTHS MAY BE USED AT ALL LOCATIONS IN CONCRETE AT THE CONTRACTOR'S DISCRETION.
- MASONRY LAP LENGTHS ARE BASED ON FM=1500 PSI WITH COVER REQUIREMENTS AND SPACING INDICATED.

## REVISIONS



## FIRST GOLD HOTEL

DEADWOOD, SOUTH DAKOTA



## PRECISION DESIGN

LANCE ENGINEERING  
605-642-3680  
19751 ST. ONGE RD  
ST. ONGE, SD 57779

THESE DOCUMENTS ARE THE  
PROPERTY OF LANCE ENGINEERING  
AND SHALL NOT BE USED FOR ANY  
OTHER PROJECT.

Drawn By RJT

Checked By LLR

Date 4/16/21

LE # 20253

Cad File  
S201.DWG

SHEET TITLE:  
DETAILS

SHEET#  
S201

## STRUCTURAL GENERAL NOTES

## A. GOVERNING CODES

- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION
- MANUAL FOR TIMBER CONSTRUCTION, AISC 4TH EDITION.
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-19.
- MANUAL OF STEEL CONSTRUCTION, AISC 2016 15TH EDITION.
- COLD-FORMED STEEL DESIGN MANUAL, AISI CFS D100-13.

## B. DESIGN LOADS AND CRITERIA

- UNIFORM GRAVITY LOADS (PSF):

LOCATION	DEAD LOAD	LIVE LOAD
ROOF	12	47 (+ UNBALANCED DRIFTING)

SNOW CRITERIA: GROUND SNOW LOAD = 56 PSF,  $I_s = 1.1$   
EXPOSURE FACTOR  $C_e = 0.9$ ,  $C_t = 1.1$

- WIND CRITERIA

3 SEC GUST WIND SPEED = 90 MPH  
OCCUPANCY CATEGORY: II  
 $I_w = 1.0$  / EXPOSURE C  
TOPOGRAPHIC ESCARPMENT  $K_{zt} = 1.28$   
INTERNAL PRESSURE COEFFICIENT:  $0.18 \pm$   
24 PSF MINIMUM FOR EXTERNAL WALL COMPONENTS & CLADDING  
24 PSF MINIMUM NET UPLIFT FOR ROOF JOIST SPANNS LESS THAN 13FT,  
16 PSF MINIMUM NET UPLIFT FOR ALL OTHER ROOF JOISTS

- SEISMIC CRITERIA:

SITE CLASS C  
 $S_s = 0.15$  /  $S_1 = .04$   
 $I = 1.0$  / USE GROUP I  
DESIGN CATEGORY A  
ANALYSIS PROCEDURE: SIMPLIFIED ANALYSIS  
LATERAL FORCE RESISTING SYSTEM:  
STEEL MOMENT FRAMES NOT DETAILED FOR SEISMIC RESISTANCE

- SOIL BEARING PRESSURE:

1,500 PSF ON APPROVED SUBGRADE, SEE SECTION D.2

- SOIL FRICTION COEFFICIENT:

0.35

- LATERAL SOIL PRESSURE:

35 PCF ACTIVE EQUIVALENT FLUID PRESSURE  
200 PCF PASSIVE EQUIVALENT FLUID PRESSURE  
65 PCF AT-REST EQUIVALENT FLUID PRESSURE

- FROST DEPTH:

48 INCHES

## C. MATERIALS

- CLASS A CONCRETE: (USE UNLESS NOTED OTHERWISE)

PORTLAND CEMENT ASTM C150 TYPE I/II  
FLY ASH ASTM C618, 10% - 25% BY WEIGHT  
WATER / CEMENT + FLY ASH = 0.45 MAXIMUM  
28 DAY  $f'_c = 4000$  PSI  
AIR CONTENT 4.5% - 7.0%  
AIR CONTENT 3.0% MAX INTERIOR SLABS  
3/4" MAX NORMAL WEIGHT AGGREGATE

- REINFORCING BARS:

ASTM A615, GRADE 60, EXCEPT  
ASTM A706, GRADE 60, WHERE INDICATED TO BE WELDED.  
ASTM F1554 GRADE 36 OR 55 W/ ASTM A563 HEAVY HEX NUTS  
ASTM C1107, NON-METALLIC NON-SHRINK, 3 DAY  $f'_c = 4000$  PSI  
ASTM C270, TYPE S  
ASTM C476 FINE, SLUMP XX"

- ANCHOR RODS:

ASTM A992,  $F_y = 50$  KSI  
ASTM A36,  $F_y = 36$  KSI  
ASTM A36,  $F_y = 36$  KSI  
ASTM A325 TYPE 1 UNCOATED; STEEL TO STEEL CONNECTIONS  
ASTM A307; WOOD OR WOOD TO STEEL CONNECTIONS OR ERECTION ONLY  
ASTM A108 GRADE 1010 1020, TYPE B,  $F_u = 60$  KSI  
F7X-EXXX OR E70XX OR AS APPROVED

- WELD METAL:

ASTM A 36 ALL-THREAD ROD W/ CHISEL POINT & INJECTABLE ADHESIVE  
SUCH AS HILTI HIT HY-150 FOR CONCRETE & SOLID MASONRY OR  
OR HIT HY-20 W/ SCREEN TUBES FOR HOLLOW MASONRY OR AS APPROVED.  
ASTM B 633, CLASS SC1, TYPE III (SIMPSON TITEN HD'S OR EQUIV)

- ADHESIVE ANCHORS:

2X4-2X10: HF #1 & BETTER,  
POSTS: DFL SELECT STRUCTURAL  
PESTS: AMERICAN PLWOOD ASSOCIATION (APA) RATED  
'STRUCTURAL 1' OR 'SHEATHING' SUITED FOR SPAN & USE

- WOOD FRAMING

- FOUNDATIONS HAVE BEEN DESIGNED BASED ON INFORMATION PRESENTED IN THE IBC. FOLLOW RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE.
- PLACE SLAB ON FIRM UNDISTURBED NATIVE MATERIAL, WITH THE TOP 6" SCARIFIED AND COMPACTED, OR ENGINEERED FILL PLACED OVER FIRM UNDISTURBED NATIVE MATERIAL. REMOVE EXISTING TOPSOIL AND ROOT MASS. ENGINEERED FILL SHALL BE MINUS 3" GRADED GRANULAR, APPROVED BY THE GEOTECHNICAL ENGINEER. PLACE ENGINEERED FILL IN UNIFORM LIFTS AND COMPACT TO 98% STANDARD PROCTOR ACCORDING TO ASTM D698. PLAN LIMITS OF ENGINEERED FILL MUST EXTEND AT LEAST 4'-0" BEYOND ALL FOOTING EDGES. IF ENCOUNTERED, EXISTING FILL SHALL BE REMOVED TO AN APPROVED DEPTH AND REPLACED WITH ENGINEERED FILL AS DESCRIBED ABOVE. PLACED AND COMPACTED AS DESCRIBED ABOVE.
- DO NOT BACKFILL WALLS WITH UNBALANCED SOIL LEVELS UNLESS ADEQUATELY SHORED OR PERMANENT FLOOR PLATES ARE INSTALLED AND CONNECTIONS ARE COMPLETE - THIS DOES NOT INCLUDE RETAINING WALLS. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING DESIGN AND INSTALLATION.
- BACKFILL AND COMPACT BURIED WALLS OR GRADE BEAMS EVENLY ON EACH SIDE TO AVOID UNBALANCED LOADS. COMPACT LAYERS TO 95% STANDARD PROCTOR ACCORDING TO ASTM D698 EXCEPT 92% UNDER NON-PAVED AREAS.
- ALWAYS PROVIDE POSITIVE SURFACE WATER DRAINAGE AWAY FROM THE STRUCTURE.

## E. CONCRETE

- PERFORM CONCRETE WORK IN ACCORDANCE WITH ACI 301-02 \*STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE\* UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
- MINIMUM REINFORCING BAR COVER:  
3" AT UNFORMED SURFACES EXPOSED TO EARTH  
2" AT FORMED SURFACES EXPOSED TO EARTH OR WEATHER FOR #6 AND LARGER  
1 1/2" AT FORMED SURFACES EXPOSED TO EARTH OR WEATHER FOR #3-#5 AND, NOT EXPOSED TO EARTH OR WEATHER FOR REINFORCEMENT OF BEAMS OR COLUMNS  
1 1/2" AT SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER
- SPLICE REINFORCING BARS BY LAPPING ACCORDING TO THE SCHEDULE INDICATED. SPLICE W/IF SHEETS BY LAPPING AT LEAST ONE (1) LONGITUDINAL BARS IN CONTACT) OR 10 INCHES MINIMUM. PLACE MECHANICAL CONNECTORS WHERE SHOWN.
- ADD #5X6'-0" DIAGONAL EACH FACE AT ALL OPENING CORNERS AND #5X6'-0" DIAGONAL MID-DEPTH AT ALL RE-ENTRANT SLAB CORNERS UNLESS SHOWN OTHERWISE.
- SECURE ALL REINFORCING, INCLUDING W/IF, IN POSITION WITH CHAIRS BEFORE CONCRETE PLACEMENT. CONCRETE DOBIES MAY BE USED TO POSITION SLAB ON GRADE REINFORCEMENT.
- TIE DOWELS IN PLACE BEFORE PLACING CONCRETE. DO NOT STAB OR 'WET-SET' DOWELS.
- INSTALL AND SECURE EMBEDMENTS SUCH AS ANCHOR RODS AND EMBEDMENT PLATES WITHIN SPECIFIED TOLERANCES BEFORE CONCRETE PLACEMENT.
- MECHANICALLY VIBRATE ALL CONCRETE PLACEMENTS EXCEPT SLABS LESS THAN 5" THICK.
- PROTECT AND CURE ALL CONCRETE SURFACES. BEGIN CURING WALLS IMMEDIATELY AFTER STRIPPING FORMS AND FLATWORK IMMEDIATELY AFTER FINISHING.
- CONCRETE SURFACES TO RECEIVE GROUT UNDER COLUMN BASEPLATES MUST BE PREPARED BY LIGHT BUSH HAMMERING (1/4" AMPLITUDE) THE GROUTED AREA AND PRE-SOAKING.

## F. WOOD FRAMING

- TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER TO SUPPORT ALL SUPERIMPOSED LOADS INDICATED IN SECTION B AND LOADS TRANSFERRED BY FRAMING MEMBERS (IE. OVERFRAMING, STRUCTURAL FASCIA, ...) INDICATED ON ROOF FRAMING PLANS) AND ANY ADDITIONAL LOADS REQUIRED. TRUSS DESIGNS MUST BE STAMPED WITH A SOUTH DAKOTA ENGINEERS SEAL ON THE DRAWINGS.
- ENGINEERED WOOD PRODUCTS (WOOD I-JOISTS & LAMINATED VENEER LUMBER) SHOWN ON THE DRAWINGS ARE THE PRODUCTS OF ROSEBURG FOREST PRODUCTS AND ARE INDICATED BY THE MANUFACTURER'S STANDARD PRODUCT NUMBERS. THE INTENT OF THE DESIGN IS FOR THESE ITEMS TO BE ATTACHED TO EACH OTHER AND TO THE SURROUNDING STRUCTURE TO BEHAVE AS A SYSTEM. WHETHER SHOWN OR NOT, PROVIDE ACCESSORY ITEMS (BLOCKING, CLIPS, STIFFENERS, STRAPS, ETC.) DESIGNED BY THE MANUFACTURER FOR A COMPLETE SYSTEM. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION AND USE.
- FRAMING CONNECTORS, ANCHORS, AND HANGERS SHOWN ON THE DRAWINGS ARE THE PRODUCTS OF SIMPSON STRONG-TIE COMPANY, SAN LEANDRO, CALIFORNIA AND ARE DESIGNATED BY THE MANUFACTURERS STANDARD PRODUCT NUMBERS. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION AND USE. PRODUCTS WITH EQUIVALENT CAPACITY AND QUALITY MAY BE SUBSTITUTED AFTER A SUBSTITUTION SUBMITTAL HAS BEEN PROVIDED BY THE GENERAL CONTRACTOR AND FINAL APPROVAL BY THE STRUCTURAL ENGINEER.
- FLOOR AND ROOF SHEATHING:  
LAY PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER ALL END JOINTS AND PLACE AS INDICATED IN 'CASE 1' OF IBC TABLE 2306.3.1.  
LOCATION MATERIAL NAILING  
FLOOR 3/4" T&G, 40/20 MIN. SPAN RATING 0.131" DIAMETER AT 6" AT ALL SUPPORTED PANEL EDGES, 0.131" DIAM AT 12" AT INTERMEDIATE SUPPORTS, GLUE AND NAIL TO SUPPORTING FRAMING  
ROOF 1/2" 32/16 SPAN RATING 0.131" DIAMETER AT 6" AT ALL SUPPORTED PANEL EDGES, 0.131" DIAM AT 12" AT INTERMEDIATE SUPPORTS, GLUE AND NAIL TO SUPPORTING FRAMING
- ALL LAG BOLTS SHALL HAVE LEAD HOLES DRILLED THE SAME DIAMETER FOR THE SHANK AND SOX OF THE SHANK. DIAMETER OF THE THREADED PORTION. LUBRICATE THREADS BEFORE INSTALLATION.
- STAGGER ALL END JOINTS 32" MINIMUM. FASTEN PANELS TO SUPPORTING FRAMING AND BLOCKING AS INDICATED. (SEE SHEAR WALL SCHEDULE AND FRAMING PLANS FOR CRITICAL NAILING.)
- NO PANELS LESS THAN 12 INCHES WIDE SHALL BE USED.
- FASTENERS SHALL NOT BE LESS THAN 3/4" FROM PANEL EDGES.
- NAIL HEADS SHALL NOT PENETRATE BEYOND A FLUSH CONDITION WITH FACE OF SHEATHING.
- NAILING REQUIREMENTS NOT SPECIFIED ON THE CONSTRUCTION DOCUMENTS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE IN TABLE 2304.9.1 IN THE IBC.
- FASTEN BUILT UP OR 2 PLY + MEMBERS TOGETHER PER IBC TABLE OR MANUFACTURERS RECOMMENDATIONS.

## G. STRUCTURAL STEEL

- DETAIL, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE LRFD, 3RD EDITION OF AISC \*MANUAL OF STEEL CONSTRUCTION AND AISC CODE OF STANDARD PRACTICE.\*
- ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL CONFORM TO THE CURRENT RCSC \*SPECIFICATIONS FOR STRUCTURAL JOINTS\* USING ASTM A325 BOLTS AS ENDORSED BY AISC.
- GENERALLY, BEAM CONNECTIONS HAVE BEEN DESIGNED AS BEARING TYPE AND BOLTS MAY BE INSTALLED TO A SNUG-TIGHT CONDITION UNLESS INDICATED TO BE PRE-TENSIONED. BRACE OR MOMENT FRAME AND DRAG / CHORD CONNECTIONS HAVE BEEN DESIGNED AS SLIP CRITICAL AND MUST PRE-TENSIONED. TENSION BOLTS INDICATED AS SUCH BY EMPLOYING ONE OF THE FOLLOWING METHODS:  
TENSION CONTROLLED BOLTS (TWIST-OFF BOLTS) PREFERRED,  
DIRECT TENSION INDICATOR (TENSION INDICATING WASHERS), OR  
TURN-OF-THE-NUT WITH COLOR MATCH-MARKING.
- COORDINATE BOLT TENSIONING WITH ENGINEER / INSPECTOR.
- PERFORM SHOP AND FIELD WELDING IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE. SHOP OR FIELD WELDS AT NON-BOLTED CONNECTIONS THAT ARE NOT SPECIFICALLY DETAILED SHALL BE 3/16" CONTINUOUS FILLETS AT EACH CONTACT EDGE OR SURFACE.
- ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE AWS STANDARD QUALIFICATION TEST FOR THE TYPE OF WORK BEING PERFORMED.
- HEADED ANCHOR STUD WELDING MUST CONFORM TO INSTALLATION SPECIFICATIONS PROVIDED BY THE STEEL MANUFACTURER.
- NON-DESTRUCTIVE WELD TESTS MAY BE PERFORMED. DEFICIENT WELDS WILL BE CORRECTED BY THE CONTRACTOR AND RE-TESTED AT THEIR EXPENSE.
- DO NOT SHOP PAINT FAYING SURFACES OR PRE-TENSIONED BOLTED CONNECTIONS OR SURFACES SCHEDULED TO RECEIVE, SHOP OR FIELD INSTALLED, HEADED ANCHOR STUDS.
- THE ERECTOR SHALL NOT EMPLOY FIT-UP MEANS BEYOND THE USE OF DRIFT PINS OR MINOR HOLE REAMING. CORRECTION OF FIT-UP ERRORS OR MODIFICATIONS, INCLUDING ANCHOR RODS, OF ANY DEGREE SHALL BE DISCUSSED WITH THE FABRICATOR AND ENGINEER AND METHODS APPROVED BY THEM BEFORE ACTIONS ARE TAKEN.
- GROUT UNDER COLUMN BASEPLATES FOR HOLLOW MASONRY OR AS APPROVED.
- PHASEMENT OF ELEVATED SLABS OR ROOFING.

## H. SPECIAL INSPECTIONS

- SPECIAL INSPECTIONS DESCRIBED BELOW WILL BE PERFORMED UNDER SEPARATE CONTRACT BY AGENCIES RETAINED BY THE PROJECT OWNER. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER ADVISED OF WORK PROGRESS AS IT PERTAINS TO SPECIAL INSPECTIONS AND ENSURING THAT NO WORK REQUIRING SPECIAL INSPECTIONS IS COMPLETED BEFORE SPECIAL INSPECTIONS OCCUR. SEE PROJECT SPECIFICATIONS FOR OTHER INSPECTIONS AND MATERIALS TESTING REQUIREMENTS.

REINFORCING STEEL:	INSPECT BEFORE CONCRETE OR GROUT PLACEMENT. (INCLUDES SLABS-ON-GRADE AND ELEVATED SLABS)
REINFORCED CONCRETE:	CONTINUOUS INSPECTION DURING CONCRETE PLACEMENT EXCEPT PERIODIC INSPECTION FOR SLABS-ON-GRADE AND ELEVATED SLABS. (INCLUDES VERIFICATION OF PROPER MIX DESIGN AND CURING METHODS)
ANCHOR RODS:	INSPECT ALL BEFORE CONCRETE PLACEMENT.
ADHESIVE ANCHORS:	PERIODIC INSPECTION DURING OR AFTER INSTALLATION.
EMBEDMENT PLATES:	INSPECT ALL BEFORE CONCRETE PLACEMENT.
STRUCTURAL STEEL:	PERIODIC INSPECTION DURING OR AFTER INSTALLATION.
WELDING:	PERIODIC INSPECTION OF ALL WELDS. (INCLUDES STRUCTURAL STEEL, STEEL JOIST AND DECK, HEADED ANCHOR STUDS, STAIRS & RAILING)

## I. ABBREVIATIONS LIST - (SOME OF THE LISTED ABBREVIATIONS MAY NOT APPEAR ON THE DRAWINGS)

ANC	ANCHOR
ALT	ALTERNATE
BRG	BEARING
BTWN	BETWEEN
CL	CENTERLINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONN	CONNECTION / CONNECTOR
CONT	CONTINUE / CONTINUOUS
HAS	HEADED ANCHOR STUD
PROJ	PROJECTION
REINF	REINFORCEMENT / REINFORCING
REQ	REQUIRED
SIM	SIMILAR
STIFF	STIFFENER
THK	THICK/THICKNESS
TYP	TYPICAL
UND	UNLESS NOTED OTHERWISE
VERT	VERTICAL

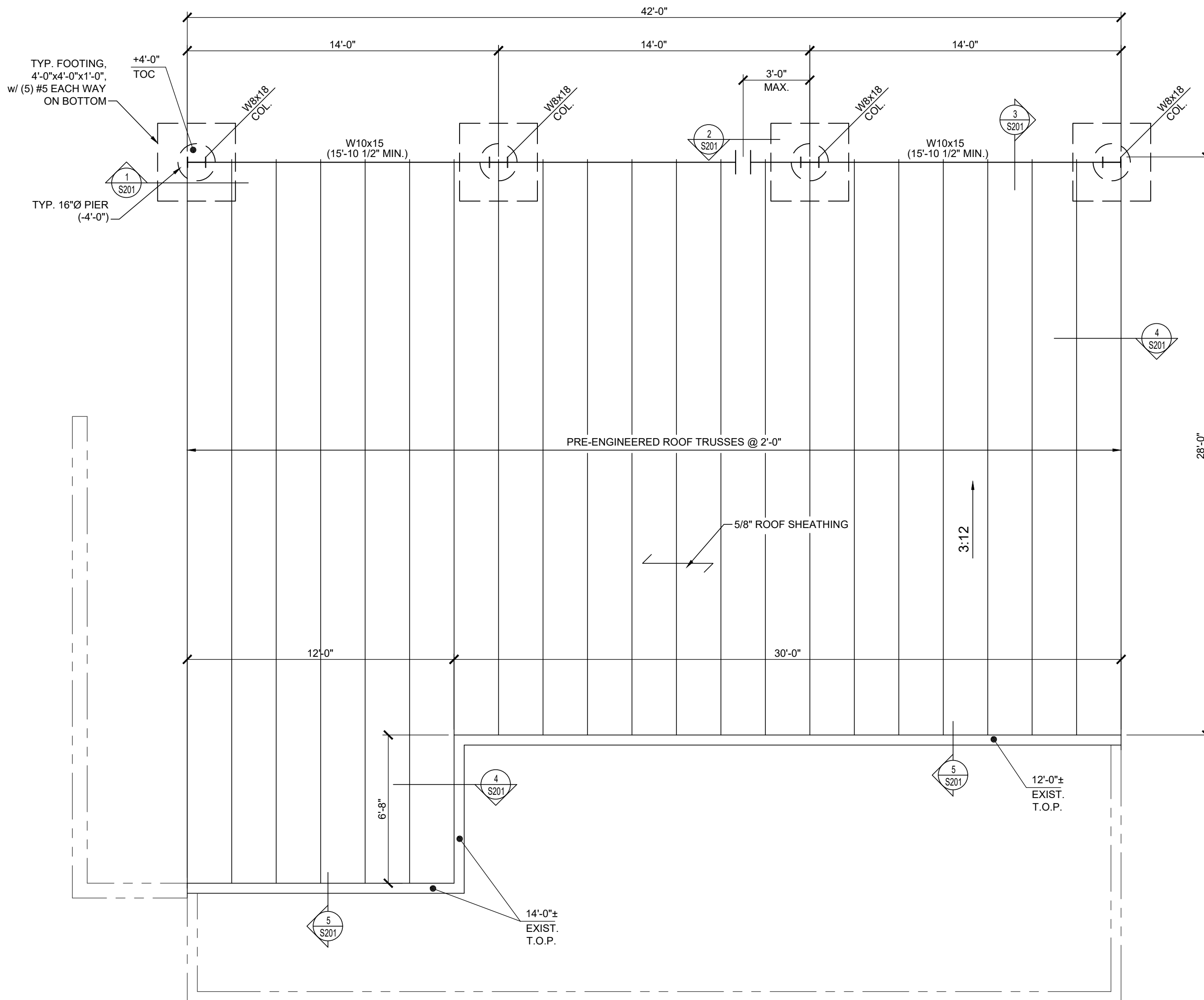
## J. DEFERRED SUBMITTALS

DOCUMENTATION, SUCH AS DETAIL DRAWINGS AND CALCULATIONS, FOR DEFERRED ITEMS WILL BE REVIEWED BY THE ENGINEER WHEN AVAILABLE AND FORWARDED TO THE BUILDING OFFICIAL.

- OPEN WEB TRUSS

## K. MISCELLANEOUS

- REFERENCE CIVIL DRAWINGS FOR BUILDING LOCATION AND ORIENTATION ON THE SITE. DRAWING ELEVATIONS REFERENCE CIVIL DATUM.
- DETAIL MARKS ANNOTATED ON PLANS ARE INTENDED TO INDICATE SPECIFIC CONFIGURATION(S) AND INFORMATION FOR PLAN CLARITY. EVERY LOCATION WHERE A SPECIFIC DETAIL MAY APPLY IS NOT ANNOTATED. CONTACT THE ENGINEER IF CLARIFICATION IS NEEDED.
- COORDINATE OPENINGS AND EMBEDDED ITEMS IN CONCRETE AND MASONRY WORK WITH ALL TRADES.
- NOTIFY ENGINEER OF ANY DISCREPANCIES DISCOVERED WITH OTHER TRADES.
- CONSTRUCTION LOADS SHALL NOT BE GREATER THAN THE DESIGN LOADS INDICATED IN SECTION B.1 UNLESS REVIEWED AND APPROVED BY THE ENGINEER.
- EQUIPMENT OPENINGS INDICATED ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATIONS, DIMENSIONS AND DETAILS WITH EQUIPMENT MANUFACTURERS AND TRADES.
- TEMPORARILY BRACE THE STRUCTURE TO RESIST ALL LOADS OR COMBINATIONS OF LOADS UNTIL ALL PERMANENT ELEMENTS ARE IN PLACE AND ALL CONNECTIONS ARE COMPLETE AS SHOWN.
- COST ASSOCIATED WITH STRUCTURAL DRAWING CHANGES RESULTING FROM USE OF ALTERNATES OR SUBSTITUTIONS, INCLUDING MECHANICAL EQUIPMENT, ARE THE CONTRACTOR'S RESPONSIBILITY.





# HISTORIC BLACK HILLS STUDIOS

HOME OF THE FASSBENDER PHOTOGRAPHIC COLLECTION

## Old Camera Reborn

This Century No. 7 camera was featured in our 2018 Fourth Quarter newsletter.

The Century No. 7 studio outfit is a camera produced between 1900-1907. It was manufactured by the Century Camera Company in Rochester, NY.

This unit has made a number of appearances at chamber mixers and classrooms in the last few years. It can accommodate glass negatives up to 8x10 in size. Film holders are also available to enable use of celluloid films that eventually replaced the glass plates.

(Continued on page 2)



## Photography Quote:

"That frame of mind that you need to make fine pictures of a very wonderful subject; you cannot do it by not being lost yourself."  
- Dorothea Lange



## Exhibit at Matthews Opera House

The Fassbender Photographic Collection is on exhibit at the Matthews Opera House and Art Center in Spearfish. An opening reception was held September 23.

A variety of themes filled the entire gallery space including the images surrounding the George Sitts murders and George Hopkins atop Devils Tower. Historic images of Spearfish Main Street and group photos in need of identification filled out the remaining space at the gallery. Several speakers gave brief presentations about the themes and the collection in general.

All prints in the gallery are available for purchase by bid. The exhibit will be on display until November 4.



**Above:** Attendees at the Matthews Opera House gallery opening reception.



**Left:** Tim Velder talks about the Sitts and Hopkins portions of the exhibit.

**Below:** One hundred sixty five attended the exhibit September 23. The exhibit closes November 4.





## Camera Reborn

(continued from page 1)

The camera features finely crafted swing, tilt and focus features in addition to swappable lens boards and a ground glass focusing screen as part of the negative holder.

The supplied stand has casters that can be locked in position as well as a crank for raising, lowering and tilting the camera platform.

I am currently checking the camera for light leaks and ensuring the proper function of the lens and shutter and will try to make images with the camera this fall. I will be using 5"x 7" sheet film and processing the film in house.

The cost for 25 sheets of film is almost \$100. Slow and deliberate will be important to assure that every picture is carefully planned and executed.

Check the next newsletter for results!

Below are film and chemistry to be used for the project.



## Photography Community

•**Black Hills Focus Group**  
([historicblackhillstudios.org/BHFG](http://historicblackhillstudios.org/BHFG))

•**Black Hills Photography Club**  
([blackhillspartographyclub.com](http://blackhillspartographyclub.com))

•**Black Hills Photo Shootout** and related photography events  
([blackhillspartoshootout.com](http://blackhillspartoshootout.com))

•**Historic Black Hills Studios** on Facebook.

## Black Hills Photo Shootout

The Fassbender Photographic Collection participated in the Black Hills Photo Shootout again this year. Attendees were able to get a hands-on look at a 110 year old camera and see a few historic photos during the event.

Most workshop sessions were held in or near Badlands National Park. Night sky, automotive, old west and Native American themes were among those available for the photography enthusiasts in attendance. An indoor session demonstrating the cyanotype process was also available.



**Above:** Shootout participants gather around an off-road vehicle during a workshop session at the Black Hills Photo Shootout.



**Left:** Participants work with an old photographic process known as a cyanotype and was invented by Sir John Herschel, a brilliant astronomer and scientist, in 1842.