



# Historic Preservation Commission Meeting Agenda

Wednesday, June 14, 2023 at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

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1. **Call Meeting to Order**

- a. Welcome Molly Brown - Historic Preservation Commissioner
- b. Oath of Office for Molly Brown, Historic Preservation Commissioner
- c. Election of Historic Preservation Commission Officers for the term of June 2023 to May 2024
  - a. Chair
  - b. Vice Chair
  - c. 2nd Vice Chair

2. **Roll Call**

3. **Approval of Minutes**

- [a.](#) Minutes of May 24, 2023 Meeting

4. **Voucher Approvals**

- [a.](#) HP Operating Vouchers
- [b.](#) HP Grant Vouchers
- [c.](#) HP Revolving Vouchers

5. **HP Programs and Revolving Loan Program**

- a. Historic Preservation loan Requests
  - Lee Thompson - 47 Forest Ave. - Loan Refinance Request
  - Steve & Jill Olson - 53 Lincoln - Extension Request
- [b.](#) Historic Preservation Grant Program Applications
  - Raul Ponce de Leon - 10 Denver - Foundation Program
  - Tessa and Jesse Allen - 160 Charles Street - Wood Windows and Doors Program
  - Eugene Hunter - 38 Van Buren - Elderly Resident Program
  - Larry Shama - 51 Van Buren - Elderly Resident Program

6. **Old or General Business**

- a. Deadwood Chamber of Commerce Yearly Report - Dory Hanson, Interim Executive Director
- [b.](#) 2023-2024 Historic Preservation Commission and Committee Assignments

- c. Approve request for sponsorship in the amount of \$10,000.00 for the South Dakota Festival of Books to be held in Deadwood September 22-24, 2023 to be paid from the HP Public Education line item as budgeted.
- d. Permission to pay Black Hills Pioneer invoice in the amount of \$20,250.00 for annual renewal of Welcome Center kiosks and mobile app content management to be paid from HP Public Education line item.

7. **New Matters Before the Deadwood Historic District Commission**

- a. COA 230063 Joel Livengood and Kristine Villafuerte - 732 Main - Construct deck on back side of structure

8. **New Matters Before the Deadwood Historic Preservation Commission**

- a. PA 230047 - Dale Berg - 874 Main - Demolish garage and construct new garage - continued from 5/24/23 Meeting
- b. PA 230058 - Jackie Fisher/Bryan Duffy - 53 Washington - Construct structure on empty lot
- c. PA 230060 - Rick Ensminger - 130 Charles - Replace rear deck

9. **Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

10. **Staff Report**

(Items considered but no action will be taken at this time.)

11. **Committee Reports**

(Items considered but no action will be taken at this time.)

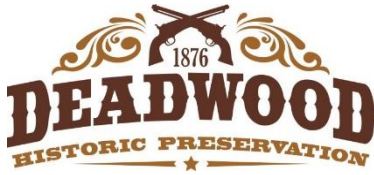
12. **Adjournment**

- a. Executive Session for Legal Matters per SDCL1-25-2 (3) w/ possible action

**Note:** All Applications *MUST* arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next regularly scheduled Historic Preservation Commission Meeting.

Please practice the CDC's social distancing recommendations





# Historic Preservation Commission Meeting Minutes

Wednesday, May 24, 2023 at 4:00 PM

City Hall, 102 Sherman Street, Deadwood, SD 57732

## 1. Call Meeting to Order

A quorum present, Commission Chair Posey called the Deadwood Historic Preservation Commission meeting to order on May 24, 2023 at 4:00 p.m.

## 2. Roll Call

PRESENT

HP Commission Chair Bev Posey  
 HP Commission Vice Chair Leo Diede  
 HP Commissioner Trevor Santochi  
 HP Commissioner Jill Weber  
 HP Commissioner Tony Williams  
 HP Commissioner Vicki Dar

ABSENT

HP Commission 2nd Vice Chair Robin Carmody

STAFF PRESENT

Kevin Kuchenbecker, Historic Preservation Officer  
 Bonny Anfinson, Program Coordinator  
 Mike Walker, Director, Neighborworks

## 3. Approval of Minutes

a. HPC Minutes 5/10/23

***It was moved by Commissioner Santochi and seconded by Commissioner Williams to approve the minutes of the May 10, 2023 meeting. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## 4. Voucher Approvals

a. HP Operating Vouchers

***It was moved by Commissioner Williams and seconded by Commissioner Weber to approve the HP Operating Vouchers in the amount of \$185,184.17. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

b. HP Revolving Vouchers

***It was moved by Commissioner Weber and seconded by Commissioner Williams to approve the HP Revolving Vouchers in the amount of \$6,150.00. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## 5. HP Programs and Revolving Loan Program

- a. Approve satisfaction of grant(s) for Bonnie Fosso at 170 Pleasant

Ms. Anfinson stated Bonnie Fosso, 170 Pleasant, has participated in the Foundation, Siding, Elderly Resident and Wood Windows and Doors Programs. The applicant is refinancing this property and the lender is requesting a Satisfaction of Grants. The Loan Committee reviewed this and recommends approval. ***It was moved by Commissioner Santochi and seconded by Commission Williams to approve the Satisfaction of Grant for Bonnie Fosso, 170 Pleasant. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

- b. Historic Preservation Loan Request

Nancy Fairbairn - 57 Forest - Multiple Loan Requests

***It was moved by Commissioner Weber and seconded by Commissioner Williams to deny the loan requests. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## 6. Old or General Business

- a. Lee Thompson - 47 Forest - Discussion of Retaining Wall Constructed in 2009

Lee Thompson discussed the retaining wall that was constructed at 47 Forest through the retaining wall program. The wall was constructed in 2009 and there wasn't a cap installed like the wall right next to it. Rocks keep popping out of the wall. Mr. Kuchenbecker stated the wall was constructed per the plans. Mr. Kuchenbecker believes this is on-going maintenance and a cosmetic issue not structural matter. Staff will check the catch basin. Staff will also set up a site visit with the owner and HP Commissioners.

- b. Renew grant software subscription with Foundant Technologies 2023/2024 in the amount of \$10,800.00 to be paid out of the Professional Services Revolving Loan line item.

Mr. Kuchenbecker stated the City of Deadwood entered into an agreement with Foundant Technologies in June 2017 for use of the web-based grant program for all of the Historic Preservation grants. This program has been very successful in keeping track of all the grant recipients and providing reports for meetings, budgets, and grant numbers. The software license is renewed every two years. The current subscription is up in June 2023 and therefore the license subscription will need to be renewed. The previous software license was \$10,000.00 for a two-year period. The 2023 and 2024 subscription will total \$10,800.00 with \$5,400.00 being paid each year. Funds will be paid out of the Professional Services Revolving Loan line item. Staff is recommending to the Historic Preservation Commission to approve the purchase of a two-year licensing subscription from Foundant Technologies in the amount of \$10,800.00 with half being paid in 2023 and the other half in 2024. The funds will come out of the Professional Services Revolving Loan line item. ***It was moved by Commissioner Weber and seconded by Commissioner Dar to recommend to the City Commission to enter into an agreement with Foundant Technologies for a two year licensing subscription for services in the amount of \$10,800.00 with half***

***(\$5,400.00) being paid in 2023 and the other half (\$5,400.00) in 2024 to come out of the Professional Services Revolving Loan line item. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## **7. New Matters Before the Deadwood Historic District Commission**

- a. COA 230041 - Todd Weber - 621 Main - Make adjustment to height of store front

***Commissioner Weber recused herself from the meeting.***

Mr. Kuchenbecker stated the applicant has submitted an application for Certificate of Appropriateness for work at 621 Main Street, a non-contributing structure located in the Deadwood City Historic Planning Unit. The applicant is requesting permission to build up of façade to meet sign ordinance requirements to bring store front up to height of sign. When sign was designed applicant did not know this was part of the ordinance. Instead of removing and rebuilding the entire sign, an easier and cheaper fix will be to raise the portion of the facade. On July 20, 2018, the applicant applied for and received approval to construct a temporary vending structure to be used during the Sturgis Motorcycle Rally in 2018. It has been in existence since the approval of a temporary structure. In November of 2020, the applicant was granted permission to install windows and a door to allow for winter usage. On January 8, 2020, the applicant was given permission to construct a re-creation of a store from 1880's with 12x19 frame (post-beam) with rough sawn lumber similar to the temporary building put up in 2018. In May 2022, the applicant was granted permission to install a new projecting sign by the Deadwood Sign Review Commission. The applicant finally installed the new sign this spring, however, due to the size and height of the sign it is no longer in compliance with the sign ordinance due to it rising above the front parapet on the false front of the temporary structure. In an effort to come in compliance on the sign, the applicant is now requesting to raise the height of the building with an addition to the false front and adding an arched top pediment to the parapet. While this will bring the sign into compliance with the sign ordinance, staff is concerned the increase in height of the façade, as well as the size of the sign, will begin to be out of proportion to the structure and the openings. The proposed work and changes do not encroach upon, damage or destroy a historic resource but may have an adverse effect on the character of the building and the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Santochi and seconded by Commissioner Williams based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and move to deny Certification of Appropriateness. Voting Yea: Williams, Santochi, Posey, Diede, Dar. Recused: Weber***

***Commissioner Weber returned to the meeting.***

- b. COA 230044 - Optima, LLC - 372 Main - Install Trash Chute on Building Exterior

Mr. Kuchenbecker stated the applicant has submitted an application for Certificate of Appropriateness for work at 372 Main Street, a non-contributing structure located in the Fountain City Planning Unit. The applicant is requesting permission to

add an exterior trash chute on the south side of the Tru by Hilton property that extends from 4<sup>th</sup> floor to the trash enclosure/compactor. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Diede and seconded by Commissioner Dar based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and move to grant Certification of Appropriateness. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

- c. COA 230045 - Joel Livengood - 732 Main - Replace fence and construct boardwalk
- Mr. Kuchenbecker stated the applicant has submitted an application for Certificate of Appropriateness for work at 732 Main Street, a contributing structure located in the Deadwood City Planning Unit. The applicant is requesting permission to replace the chain-link fence with a wooden post and rail fence. Construct a boardwalk mimicking the original boardwalk at the east side of the building. It will provide access to door at the rear of the structure to meet code. A railing will be constructed to match the existing porch. The applicant began work on both the fence and the "boardwalk" without a building permit or Certificate of Appropriateness. Furthermore, the structure was entered into the façade program in September of 2020 and has violated the conservation easement for work done without permission of the Historic Preservation Commission. With regards to the fence, while it is an improvement to the previous chain link fence which was removed, it is not compatible to the resource. A picket or iron fence would appear to be more appropriate to the building and lot. The "boardwalk", while shown in a line drawing or etching of this section of early Deadwood, there is no evidence that once the resource was moved to the new location that such boardwalk was present. The original boardwalk on the resource shown in the drawing was related to the structure and the terrain associated with the site and setting associated with this particular location and not the current site and setting. Staff's research through the Sanborn Fire Insurance maps do not indicate a "boardwalk" associated with this building in this location. It is staff's opinion that this also does not meet the requirements associated with the Conservation Easement. The proposed work and changes do encroach upon and damage the historic resource and has an adverse effect on the character of the building and the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Diede and seconded by Commissioner Dar based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and move to deny Certification of Appropriateness. Voting Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***
- d. COA 230046 - Joel Livingood - 732 Main - Garage Facade

Mr. Kuchenbecker stated the applicant has submitted an application for Certificate of Appropriateness for work at 732 Main Street, a non-contributing structure located in the Deadwood City Planning Unit. The applicant is requesting permission to mimic the garage façade to replicate a structure that once stood in the same location. Currently it is a garage built in the 1970's. The plan is to use the salvaged 1" wood sheathing planks that were original to the main house adjacent to the garage. While there is photographic evidence of a false front structure at this location or near this site, as proposed, the false front façade does not truly mimic the previous building(s) due to the single door or entrance and without additional fenestration. It appears the previous structure had much more of a transparent store front. Furthermore, since this garage is outside the period of significance it has no historical context and is an intrusion to the fabric of the district. Creating a false front façade may be appropriate if it more closely matches earlier structures within the area of this project as shown in the photographic documentation provided in the application. The proposed work and changes do not encroach upon, damage or destroy a historic resource but as proposed would have an adverse effect on the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District by recreating a false sense of history and not meeting the intended standards of the district. Staff would recommend denying the application as submitted and have the applicant present a proposed design which follows the guidelines and standards set forth by the commission. ***It was moved by Commissioner Dar and Commissioner Santochi to continue this application until the June 14, 2023 meeting so the applicant can present a design which follows the guidelines and standards set forth by the commission. Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## **8. New Matters Before the Deadwood Historic Preservation Commission**

- a. PA 230040 - Pete Curry/Teresa Hamilton - 458 Williams - Install Fencing

Mr. Kuchenbecker stated the applicant has submitted an application for Project Approval for work at 458 Williams, a contributing structure located in the City Creek Planning Unit. The applicant is requesting permission to install fencing in the front, side and rear of structure. The front yard will be a two-foot fence and the side yard will be a three-foot fence, both will either be a picket or iron fencing. The back yard fence will be a six-foot wooden privacy fence. Gates will be installed at front entrance and access gate on left side of house in front. Gates to back yard on each side of house to match privacy fence. The proposed work and changes will not have an adverse effect on the historic character of the building and the historic character of the Deadwood National Landmark Historic District; however, staff recommends sketch with location and size of the window be submitted for future reference. ***It was moved by Commissioner Weber and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

- b. PA 230042 - Raul Ponce de Leon - 10 Denver - Repair Foundation

Mr. Kuchenbecker stated the applicant has submitted an application for work at 10 Denver Ave, a contributing structure located in the City Creek Planning Unit. The applicant is requesting permission to repair the foundation of the structure. The applicant is applying for the foundation grant program. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Weber and seconded by Commissioner Diede based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

- c. PA 230043 - Tessa Allen - 160 Charles - Replace front porch windows and laundry room windows

Mr. Kuchenbecker stated the applicant has submitted an application for work at 160 Charles, a contributing structure located in the Cleveland Planning Unit. The applicant is requesting permission to replace the existing front porch windows and the laundry room window with wood windows. The applicant has applied for the window program and provided specifications on the windows. The proposed work and changes encroach upon but does not damage or destroy a historic resource. It may have an adverse effect on the character of the building but will not have an overall adverse effect on the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Commissioner Dar and seconded by Commissioner Santochi based upon all the evidence presented, I find that this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

- d. PA 230047 - Dale Berg - 874 Main - Demolish garage and construct new garage

Mr. Kuchenbecker stated the applicant has submitted an application for work at 874 Main, a contributing structure located in the Upper Main Planning Unit. The applicant is requesting permission to demolish the current garage. The structure does not match the historic house across the street. The current garage has dry rot in the rafters, it is off the foundation, the doors and windows are broken and/or missing. Currently no vehicles can be parked in it. The applicant would like to construct a new garage in its place. The design would match the applicant's Victorian home across the street by design and color. The siding will be five-inch reveal cedar siding and painted same color as the house. Plans are to also install a small garage door at the rear of the structure to accommodate a side by side. In

June of 2021, the applicant submitted a project approval to sell, remove or demolish this particular garage. After the HP Commission conducted a site visit and made recommendations, the applicant withdrew the application. The applicant is now submitting a new project approval to demolish the garage and construct and new garage which accommodates today's uses and vehicles. A similar design garage was constructed by the Gibbs at 850 Main Street. The proposed garage attached to the application is compatible to the historic district with appropriate siding, windows, and roof lines. The proposed height could be much greater than the neighboring garage at 21 to 22 feet to the ridge. While this fits within the zoning regulations for height it may appear larger than the existing garage by 8 feet and the neighboring garages in this area. This should be verified prior to any action to determine the impact to the site and setting of this part of the historic districts. The proposed work and changes does destroy a historic resource and will have an adverse effect on the character of the building and may also have an adverse effect on the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. Commissioner Santochi expressed concerns of the proposed structure being a two story with a living space. ***It was moved by Commissioner Santochi and seconded by Commissioner Weber to continue this item to the June 14, 2023 meeting at which time the applicant can show scale in comparison of neighboring garages. Yea: Williams, Santochi, Posey, Weber, Diede, Dar.***

## **9. Items from Citizens not on Agenda**

(Items considered but no action will be taken at this time.)

## **10. Staff Report**

(Items considered but no action will be taken at this time.)

Mr. Kuchenbecker stated, in your packet you have the first quarter Fassbender newsletter. Mike Runge is busy, he has two job corps students, Sam Hamman is back, a police officer on light work duty and Mr. Santochi helping him out. Fifty cubic feet of the Four Points Project left. We are advertising for a Zoning Coordinator. We are out for bid on the FEMA project. Ted Spencer's retirement party is June 2, 2023.

## **11. Committee Reports**

(Items considered but no action will be taken at this time.)

Commissioner Dar stated the Plant Swap is tomorrow, there will be pet vaccinations and licensing.

Commissioner Santochi stated he is working with Mike Runge.

Commission Williams stated there are businesses flying drones downtown.

Commissioner Posey stated we did a check presentation in Vale, SD. SHPO was also there and presented their grant. Butt patrol was today.

City Commissioner Charlie Struble-Mook presented a plaque to Commissioner Weber for her dedication and service to the Historic Preservation Commission.

## **12. Adjournment**

- a. Executive Session for Legal Matters per SDCL1-25-2 (3) w/ possible action

***The Commission adjourned into executive session at 5:19 p.m. to discuss legal matters per SDCL 1-25-2 (3) with possible action.***

***The Commission came out of executive session at 5:29 p.m.***

The Historic Preservation Commission Meeting adjourned at 5:30 p.m.

ATTEST:

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Chairman, Historic Preservation Commission

*Minutes by Bonny Anfinson, Program Coordinator*



# Historic Preservation Commission

## Bill List - 2023

OPERATING ACCOUNT: Historic Preservation	
<b>HP Operating Account Total:</b>	<b>\$ 41,066.04</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

HPC	06/14/23
Batch	06/20/23

PACKET: 06207 06/20/23 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-0776		ALBERTSON ENGINEERING, INC.				
=====						
I-18992		458 WILLIAMS RETAINING WALL	100.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		458 WILLIAMS RETAINING WALL		215 4575-515	GRANT/LOAN RETAINING WAL	100.00
=====						
I-18993		10 DENVER RETAINING WALL	325.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		10 DENVER RETAINING WALL		215 4575-515	GRANT/LOAN RETAINING WAL	325.00
		=== VENDOR TOTALS ===	425.00			
=====						
01-4711		AMAZON CAPITAL SERVICES				
=====						
I-14CF-MT4F-6D3Y		ACRYLIC CARD HOLDER RACK	38.99			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		ACRYLIC CARD HOLDER RACK		215 4641-426	SUPPLIES	38.99
=====						
I-14CL-L3K3-99KY		HGHLGHTRS STPLR TPE DSP FLG H	99.74			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		HGHLGHTRS STPLR TPE DSP FLG HP		215 4641-426	SUPPLIES	49.87
		HGHLGHTRS STPLR TPE DSP FLG PZ		101 4640-426	SUPPLIES	49.87
		=== VENDOR TOTALS ===	138.73			
=====						
01-4588		ANFINSON, JOHN MARK				
=====						
I-060723		CLEAN DIORAMA INTERIOR GLASS	265.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: Y		
		CLEAN DIORAMA INTERIOR GLASS		215 4641-422	PROFESSIONAL SERVICES	265.00
		=== VENDOR TOTALS ===	265.00			
=====						
01-5052		AVID4 ENGINEERING				
=====						
I-J23-123.1		GIS TECHNICAL SERVICE RETAINE	4,420.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		GIS TECHNICAL SERVICE RETAINER		215 4641-422	PROFESSIONAL SERVICES	736.66
		GIS TECHNICAL SERVICE RETAINER		101 4640-422	PROFESSIONAL SERVICES	736.66
		GIS TECHNICAL SERVICE RETAINER		101 4520-422	PROFESSIONAL SERVICES	736.67
		GIS TECHNICAL SERVICE RETAINER		602 4330-422	PROFESSIONAL SERVICES	736.67
		GIS TECHNICAL SERVICE RETAINER		607 4580-422	PROFESSIONAL SERVICES	736.67
		GIS TECHNICAL SERVICE RETAINER		610 4360-422	PROFESSIONAL SERVICES	736.67
		=== VENDOR TOTALS ===	4,420.00			

PACKET: 06207 06/20/23 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-3667		BERBERICH DESIGN				
I-002		VEHICULAR WAYFINDING PRJCT UP	965.76			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		VEHICULAR WAYFINDING PRJCT UPD		215 4576-600	PROFES. SERV. CURRENT EX	965.76
=== VENDOR TOTALS ===			965.76			
=====						
01-5038		BRITE IDEAS LLP				
I-20237		40 - 14" GLOBES WHITE	2,495.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		40 - 14" GLOBES WHITE		215 4577-760	CAPITAL ASSETS GLOBE REP	2,495.00
I-20238		40 - 14" GLOBES WHITE	2,495.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		40 - 14" GLOBES WHITE		215 4577-760	CAPITAL ASSETS GLOBE REP	2,495.00
=== VENDOR TOTALS ===			4,990.00			
=====						
01-3314		CENTURY BUSINESS PRODUCTS, INC				
I-679808		ARCHIVE CONTRACT 5/9/23-6/8/2	38.60			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		ARCHIVE CONTRACT 5/9/23-6/8/23		215 4573-335	HIST. INTERP. ARCHIVE DE	38.60
I-679809		HP/PZ CONTRACT 5/9/23-6/8/23	150.61			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		HP/PZ CONTRACT 5/9/23-6/8/23		215 4641-426	SUPPLIES	50.20
		HP/PZ CONTRACT 5/9/23-6/8/23		101 4640-426	SUPPLIES	50.20
		HP/PZ CONTRACT 5/9/23-6/8/23		602 4330-426	SUPPLIES	50.21
=== VENDOR TOTALS ===			189.21			
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01-0951		DEADWOOD ALIVE				
I-1500-23		June 2023	20,000.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		June 2023		215 4573-345	HIST. INTERP. LIVING HIS	20,000.00
=== VENDOR TOTALS ===			20,000.00			
=====						
01-1584		FETERL, RONDA				
I-060923		PECK GARDENS BC REIMBURSEMENT	101.18			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		ZEEB'S FLOWERS FOR BARRELS		215 4576-630	PROFES. SERV. NEIGHBORH.	101.18
=== VENDOR TOTALS ===			101.18			

PACKET: 06207 06/20/23 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-4625	FIB CREDIT CARDS					
I-053123HP		CREDIT CARD CHARGES - MAY 202	1,345.26			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		DMG GIS TRAINING LUNCH		215 4641-427	TRAVEL	35.10
		EBAY 1907 PC CLIFF DWD-HP COLL		215 4573-330	HIST. INTERP. HISTORIC C	31.99
		FUEL CODE ENFORCE TRNG PIERRE		215 4641-427	TRAVEL	42.50
		CHAMBER PORTION FOR SEATS		209 4980-422	PROFESSIONAL SERVICES	617.84
		CITY PORTION FOR SEATS		215 4641-426	SUPPLIES	617.83
		=== VENDOR TOTALS ===	1,345.26			
=====						
01-4174	FOUNDANT TECHNOLOGIES INC.					
I-C-INV27535		GRNT SFTWR RNWL 2023 1ST INST	5,400.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		GRNT SFTWR RNWL 2023 1ST INSTL		215 4575-505	GRANT/LOAN REVOLVING RES	5,400.00
		=== VENDOR TOTALS ===	5,400.00			
=====						
01-4106	GADGETS TECHNOLOGY					
I-10007515		EXT HARD DRIVE ADAPTER-ARCHIV	59.99			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		EXT HARD DRIVE ADAPTER-ARCHIVE		215 4573-335	HIST. INTERP. ARCHIVE DE	59.99
		=== VENDOR TOTALS ===	59.99			
=====						
01-1495	GAYLORD BROS.					
I-2819582		10 ARTFCT BOX2 10 ARTFCT BOX3	565.98			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		10 ARTFCT BOX2 10 ARTFCT BOX3		215 4573-335	HIST. INTERP. ARCHIVE DE	565.98
		=== VENDOR TOTALS ===	565.98			
=====						
01-0510	GOLDEN WEST TECHNOLOGIES, INC.					
I-411704		GIS SCHEMA ISSUE	87.50			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		GIS SCHEMA ISSUE		215 4641-422	PROFESSIONAL SERVICES	87.50
		=== VENDOR TOTALS ===	87.50			

PACKET: 06207 06/20/23 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-5069	MICROSOFT					
I-G024061557		AZURE SUPPORT 5/1/23-5/31/23	753.38			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		AZURE SUPPORT 5/1/23-5/31/23		607 4580-422	PROFESSIONAL SERVICES	251.13
		AZURE SUPPORT 5/1/23-5/31/23		610 4361-422	PROFESSIONAL SERVICES	251.13
		AZURE SUPPORT 5/1/23-5/31/23		215 4641-422	PROFESSIONAL SERVICES	251.12
		=== VENDOR TOTALS ===	753.38			
=====						
01-2266	MONTANA HISTORICAL SOCIETY					
I-061223		2023 MEMEBERSHIP RENEWAL	55.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		2023 MEMEBERSHIP RENEWAL		215 4573-325	HIST. INTERP. DUES AND S	55.00
		=== VENDOR TOTALS ===	55.00			
=====						
01-3060	QUIK SIGNS					
I-39512		14-11X17 COLOR PHOTOCOPIES-AR	12.60			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		14-11X17 COLOR PHOTOCOPIES-ARC		215 4573-335	HIST. INTERP. ARCHIVE DE	12.60
		=== VENDOR TOTALS ===	12.60			
=====						
01-0451	RUNGE, MIKE					
I-053123		ARCHIVES REIMBURSEMENT	53.22			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		WALMART EXTERNAL HARD DRIVE		215 4573-335	HIST. INTERP. ARCHIVE DE	53.22
		=== VENDOR TOTALS ===	53.22			
=====						
01-0039	SD STATE HISTORICAL SOCIETY					
I-061223		2023 SDSHS MEMBERSHIP RENEWAL	125.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		2023 SDSHS MEMBERSHIP RENEWAL		215 4573-325	HIST. INTERP. DUES AND S	125.00
		=== VENDOR TOTALS ===	125.00			
=====						
01-4345	ULINE					
I-163877346		2 36X24X72 BLACK CABINETS - H	1,038.23			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		2 36X24X72 BLACK CABINETS - HP		215 4641-426	SUPPLIES	1,038.23
		=== VENDOR TOTALS ===	1,038.23			

PACKET: 06207 06/20/23 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS		P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-2698	WWHA / WILD WEST HISTORY ASSOC					
<hr/>						
I-061323		2023 MEMBERSHIP	75.00			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		2023 MEMBERSHIP		215 4573-325	HIST. INTERP. DUES AND S	75.00
=== VENDOR TOTALS ===			75.00			
=== PACKET TOTALS ===			41,066.04			

PACKET: 06207 06/20/23 - HP OPERATING -

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\*\* T O T A L S \*\*\*

INVOICE TOTALS	41,066.04
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00

BATCH TOTALS	41,066.04
--------------	-----------

\*\*\* G/L ACCOUNT TOTALS \*\*\*

					=====LINE ITEM=====				=====GROUP BUDGET=====			
BANK	YEAR	ACCOUNT	NAME	AMOUNT	ANNUAL			OVER	ANNUAL			OVER
					BUDGET	AVAILABLE	BUDG		BUDGET	AVAILABLE	BUDG	
2023		101-2020	ACCOUNTS PAYABLE	1,573.40-*								
		101-4520-422	PROFESSIONAL SERVICES	736.67	35,000	28,101.75						
		101-4640-422	PROFESSIONAL SERVICES	736.66	21,000	13,497.47						
		101-4640-426	SUPPLIES	100.07	3,000	2,531.01						
		209-2020	ACCOUNTS PAYABLE	617.84-*								
		209-4980-422	PROFESSIONAL SERVICES	617.84	255,525	168,885.54						
		215-2020	ACCOUNTS PAYABLE	36,112.32-*								
		215-4573-325	HIST. INTERP. DUES AND S	255.00	2,500	826.14						
		215-4573-330	HIST. INTERP. HISTORIC C	31.99	25,000	2,327.10						
		215-4573-335	HIST. INTERP. ARCHIVE DE	730.39	43,300	33,625.35						
		215-4573-345	HIST. INTERP. LIVING HIS	20,000.00	148,000	74,000.00						
		215-4575-505	GRANT/LOAN REVOLVING RES	5,400.00	0	5,400.00- Y						
		215-4575-515	GRANT/LOAN RETAINING WAL	425.00	575,000	563,780.00						
		215-4576-600	PROFES. SERV. CURRENT EX	965.76	75,000	63,134.32						
		215-4576-630	PROFES. SERV. NEIGHBORH.	101.18	8,000	7,811.16						
		215-4577-760	CAPITAL ASSETS GLOBE REP	4,990.00	10,000	610.00						
		215-4641-422	PROFESSIONAL SERVICES	1,340.28	50,000	36,895.60						
		215-4641-426	SUPPLIES	1,795.12	15,000	10,512.01						
		215-4641-427	TRAVEL	77.60	10,000	3,528.65						
		602-2020	ACCOUNTS PAYABLE	786.88-*								
		602-4330-422	PROFESSIONAL SERVICES	736.67	450,000	295,459.22						
		602-4330-426	SUPPLIES	50.21	30,000	9,063.17						
		607-2020	ACCOUNTS PAYABLE	987.80-*								
		607-4580-422	PROFESSIONAL SERVICES	987.80	10,000	4,334.03- Y						
		610-2020	ACCOUNTS PAYABLE	987.80-*								
		610-4360-422	PROFESSIONAL SERVICES	736.67	100,000	40,765.56						
		610-4361-422	PROFESSIONAL SERVICES	251.13	26,000	9,616.02						
		999-1301	DUE FROM FUND 101	1,573.40 *								
		999-1303	DUE FROM FUND 209	617.84 *								
		999-1306	DUE FROM FUND 215	36,112.32 *								
		999-1342	DUE FROM FUND 602	786.88 *								

PACKET: 06207 06/20/23 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	ANNUAL	BUDGET	OVER	ANNUAL	BUDGET	OVER
					BUDGET	AVAILABLE	BUDG	BUDGET	AVAILABLE	BUDG
		999-1344	DUE FROM FUND 607	987.80 *						
		999-1345	DUE FROM FUND 610	987.80 *						
			** 2023 YEAR TOTALS	41,066.04						



6/14/2023 11:15 AM

A/P Regular Open Item Register

Section 4 Item a.

PACKET: 06207 06/20/23 - HP OPERATING -  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
101	6/2023	1,573.40
209	6/2023	617.84
215	6/2023	36,112.32
602	6/2023	786.88
607	6/2023	987.80
610	6/2023	987.80

NO ERRORS NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

# Historic Preservation Commission

## 2023 Grant Funds

HP GRANT ACCOUNT: Historic Preservation	
<b>HP Grant Account Total:</b>	<b>\$ 3,750.98</b>

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Chairperson

Approved by \_\_\_\_\_ on \_\_\_\_/\_\_\_\_/\_\_\_\_  
HP Officer

HPC	06/14/23
Batch	06/20/23

6/14/2023 8:15 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 06218 06/20/23 - HP GRANTS - BA

VENDOR SET: 01 CITY OF DEADWOOD

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-4707		MERCHANT, ERICA				
-----						
I-063023		CLEAN MURAL INTERIOR ADAMS BL	3,750.98			
6/20/2023	FNBAP	DUE: 6/20/2023 DISC: 6/20/2023		1099: N		
		ADAMS BLOCK INTERIOR MURAL CLE		216 4653-962-09	GHOST MURAL GRANT EXPENS	3,750.98
=== VENDOR TOTALS ===			3,750.98			
=== PACKET TOTALS ===			3,750.98			

PACKET: 06218 06/20/23 - HP GRANTS - BA  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* T O T A L S \*\*

INVOICE TOTALS	3,750.98
DEBIT MEMO TOTALS	0.00
CREDIT MEMO TOTALS	0.00
<hr/>	
BATCH TOTALS	3,750.98

\*\* G/L ACCOUNT TOTALS \*\*

					=====LINE ITEM=====			=====GROUP BUDGET=====		
					ANNUAL	BUDGET	OVER	ANNUAL	BUDGET	OVER
BANK	YEAR	ACCOUNT	NAME	AMOUNT	BUDGET	AVAILABLE	BUDG	BUDGET	AVAILABLE	BUDG
	2023	216-2020	ACCOUNTS PAYABLE	3,750.98-*						
		216-4653-962-09	GHOST MURAL GRANT EXPENS	3,750.98	20,000	16,249.02				
		999-1307	DUE FROM FUND 216	3,750.98 *						
			** 2023 YEAR TOTALS	3,750.98						

6/14/2023 8:15 AM

A/P Regular Open Item Register

Section 4 Item b.

PACKET: 06218 06/20/23 - HP GRANTS - BA  
VENDOR SET: 01 CITY OF DEADWOOD  
SEQUENCE : ALPHABETIC  
DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
216	6/2023	3,750.98

NO ERRORS NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

6/14/2023 9:03am

## HP REVOLVING LOAN FUND

Page 1 of 2

A/P Invoices Report

6/1/2023 - 6/30/2023

Batch = 1

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
06/2023								
Cara Mia, LLC - VARIOUS - 6/14/2023 - 18,960.00 - Batch: 1 - Header Memo: Work Done-152 Charles-Cara Mia, LLC (Potter)								
Work Done-152 Charles-Cara Mia, LLC (Potter)	100	1201				NOTES RECEIVABLE	18,960.00	
Work Done-152 Charles-Cara Mia, LLC (Potter)	100	2000				ACCOUNTS PAYABLE		18,960.00
Total:							18,960.00	18,960.00
Creative Ironworks - 17435 - 6/14/2023 - 3,510.21 - Batch: 1 - Header Memo: Work Done-66 Taylor-Richerson								
Work Done-66 Taylor-Richerson	100	1201				NOTES RECEIVABLE	3,510.21	
Work Done-66 Taylor-Richerson	100	2000				ACCOUNTS PAYABLE		3,510.21
Total:							3,510.21	3,510.21
LAWRENCE COUNTY REGISTER OF DEEDS - REC SAT STEINLICHT - 6/14/2023 - 30.00 - Batch: 1 - Header Memo: Record Satisfaction-42 WASHINGTON-Steinlicht								
Record Satisfaction-42 WASHINGTON-Steinlicht	100	5200				CLOSING COSTS DISBURSED	30.00	
Record Satisfaction-42 WASHINGTON-Steinlicht	100	2000				ACCOUNTS PAYABLE		30.00
Total:							30.00	30.00
NHS OF THE BLACK HILLS - 2023-5 - 6/14/2023 - 3,687.75 - Batch: 1 - Header Memo: Servicing Contract-May 2023								
Servicing Contract-May 2023	100	5000				PROF & ADMIN FEES	3,687.75	
Servicing Contract-May 2023	100	2000				ACCOUNTS PAYABLE		3,687.75
Total:							3,687.75	3,687.75
Odd Jobs - 1191 - 6/14/2023 - 7,448.99 - Batch: 1 - Header Memo: Work Done-66 Taylor-Richerson								
Work Done-66 Taylor-Richerson	100	1201				NOTES RECEIVABLE	7,448.99	
Work Done-66 Taylor-Richerson	100	2000				ACCOUNTS PAYABLE		7,448.99
Total:							7,448.99	7,448.99
Schlosser Construction, LLC - RW STERNHAGEN - 6/14/2023 - 8,670.00 - Batch: 1 - Header Memo: Work Done-318 Williams-Sternhagen								

6/14/2023 9:03am

HP REVOLVING LOAN FUND  
A/P Invoices Report  
6/1/2023 - 6/30/2023  
Batch = 1

Page 2 of 2

Detail Memo	Fund	Acct	Cc1	Cc2	Cc3	Acct Description	Debit	Credit
06/2023 (cont'd from page 1)								
Schlosser Construction, LLC	RW STERNHAGEN - 6/14/2023 - 8,670.00 - Batch: 1 - Header Memo: Work Done-318 Williams-Sternhagen (cont'd from page 1)							
Work Done-318 Williams-Sternhagen	100	1201				NOTES RECEIVABLE	8,670.00	
Work Done-318 Williams-Sternhagen	100	2000				ACCOUNTS PAYABLE		8,670.00
Total:							8,670.00	8,670.00
SoDak Title - OE-0087-23 - 6/14/2023 - 120.00 - Batch: 1 - Header Memo: OE Report-17 Lincoln-Schmidt								
OE Report-17 Lincoln-Schmidt	100	5200				CLOSING COSTS	120.00	
OE Report-17 Lincoln-Schmidt	100	2000				ACCOUNTS PAYABLE		120.00
Total:							120.00	120.00
SoDak Title - OE-0264-23 - 6/14/2023 - 120.00 - Batch: 1 - Header Memo: OE Report-47 Forest-Thompson								
OE Report-47 Forest-Thompson	100	5200				CLOSING COSTS	120.00	
OE Report-47 Forest-Thompson	100	2000				ACCOUNTS PAYABLE		120.00
Total:							120.00	120.00
Total:							42,546.95	42,546.95
Report Total:							42,546.95	42,546.95

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 722-0786



**Kevin Kuchenbecker**  
Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** June 9, 2023  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
Bonny Anfinson, Program Coordinator  
**Re:** Historic Preservation Program Application

---

The following Historic Preservation Program application was submitted for approval. The Loan Committee reviewed this request and recommended approval.

- **Raul Ponce de Leon – 10 Denver - Foundation Programs**  
*This property is owner occupied, contributing. The applicant has submitted the required project approval form and quote from Mr. Lifters. Staff as well as the Loan Committee has determined the proposed project and the applicant meets the criteria for the Programs. Staff will coordinate with the applicant during the proposed project.*
- **Tessa and Jesse Allen – 160 Charles Street – Wood Windows and Doors Program**  
*This property is owner occupied, contributing. The applicant has submitted the required project approval form and quotes for the project. Staff as well as the Loan Committee has determined the proposed project and the applicant meets the criteria for the Program. Staff will coordinate with the applicant during the proposed project.*
- **Eugene Hunter – 38 Van Buren – Elderly Resident Program**  
*This property is owner occupied, contributing. The applicant has submitted a quote from One Way Service Pros. Staff as well as the Loan Committee has determined the proposed project and the applicant meets the criteria for the Programs. Staff will coordinate with the applicant during the proposed project.*
- **Larry Shama – 51 Van Buren – Elderly Resident Program**  
*This property is owner occupied, contributing. The applicant has submitted the required project approval form and quote from Sabo Construction. Staff as well as the Loan Committee has determined the proposed project and the applicant meets the criteria for the Programs. Staff will coordinate with the applicant during the proposed project.*



## 2023-2024 Historic Preservation Commission and Revitalization Committee Assignments

### **HPC OFFICERS**

- \_\_\_\_\_ Chairperson
- \_\_\_\_\_ Vice Chair
- \_\_\_\_\_ 2<sup>nd</sup> Vice Chair

### **HISTORIC PRESERVATION COMMITTEES**

#### **Projects Committee** Meets as needed

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

#### **Loan & Grant Programs Committee** Meets 1<sup>st</sup> and 3<sup>rd</sup> Tuesday of each month – 10:30 a.m. – City Hall

- \_\_\_\_\_ Chairperson
- \_\_\_\_\_ Vice Chair
- \_\_\_\_\_ 2<sup>nd</sup> Vice Chair

### **HISTORIC PRESERVATION COMMUNITY BOARD REPRESENTATIVES**

#### **Chamber of Commerce** Meets 2<sup>nd</sup> Tuesday of the month 9:00 a.m. at Welcome Center – except August

- \_\_\_\_\_
- \_\_\_\_\_

#### **Deadwood Alive**

- \_\_\_\_\_

### **DEADWOOD REVITALIZATION AND MAIN STREET INITIATIVE**

#### **Organization (Steering) Committee(MSI)** 3<sup>rd</sup> Wednesday of each month – 12:00 p.m. Welcome Center

- \_\_\_\_\_ Chairperson
- \_\_\_\_\_ Vice Chair
- \_\_\_\_\_ 2<sup>nd</sup> Vice Chair

#### **Economic Restructuring** Meets Tuesday before **MSI** Meeting of each month 9:00 a.m. at City Hall (location may vary)

- \_\_\_\_\_
- \_\_\_\_\_

#### **Design Committee** Meets 2<sup>nd</sup> Tuesday of each month 3:30 p.m. at City Hall

- \_\_\_\_\_
- \_\_\_\_\_

#### **Promotion Committee** Meets 1<sup>st</sup> Tuesday of each month at 1:00 p.m. at Welcome Center

- \_\_\_\_\_
- \_\_\_\_\_

#### **Trails & Recreation Committee** Meets 1<sup>st</sup> Wednesday of each month at 3:00 p.m. at City Hall

- \_\_\_\_\_
- \_\_\_\_\_

OFFICE OF  
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Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** June 9, 2023  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** South Dakota Humanities Council 2023 Festival of Books – Sponsorship Request

---

The South Dakota Humanities Council is requesting sponsorship funds of \$10,000 for the 2023 Festival of Books. This year's festival is scheduled for September 22-24, 2023 in Deadwood. This will be a great opportunity for readers to meet their favorite writers as well as welcome authors and booklovers alike to our unique town. The festival, held mainly within downtown Deadwood, is family-friendly, and sure to appeal to a wide range of interests and ages.

Staff recommends approval of this request. The Historic Preservation Commission did include this item as a budgeted item to come out of Public Education/Advocacy.

**Recommend Motion:** *Move to recommend to the City Commission to approve the sponsorship request of \$10,000 to the South Dakota Humanities Council for the 2023 Festival of Books to be paid out of Public Education/Advocacy.*

November 14, 2022

Mayor David Ruth, Jr  
City of Deadwood  
102 Sherman Street  
Deadwood, SD 57732

Dear Mayor Ruth,

Thank you for your sponsorship of the 2023 South Dakota Festival of Books. Please accept this letter as our request for payment of the \$10,000 budget award from the City of Deadwood and the \$10,000 budget award from the Deadwood Historic Preservation Commission.

Because of your generosity, thousands of South Dakotans and other visitors will converge on Deadwood to enjoy free literary events at our 21<sup>st</sup> annual event September 22-24, 2023. We are grateful for the City of Deadwood and Deadwood Historic Preservation Commission's continued support of the state's premier literary event.

This partnership provides opportunity for strong community participation and a valuable experience for readers and writers alike. Please contact me if you have any questions.

Sincerely,

Ann Volin, Executive Director  
(605) 688-6114

CC: Kevin Kuchenbecker, Historic Preservation Officer  
CC: Ronda Morrison, Asst. Finance Officer

OFFICE OF  
PLANNING, ZONING AND  
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Kevin Kuchenbecker  
Planning, Zoning and  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

## MEMORANDUM

---

**Date:** June 9, 2023  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Planning and Zoning Administrator  
**Re:** Permission to Pay Black Hills Pioneer Invoice

---

Staff is requesting permission to pay Black Hills Pioneer (Seaton Publishing) invoice in the amount of \$20,250.00 for the annual renewal fee for the Deadwood Welcome Center kiosks and mobile app content management to be paid from the HP Public Education line item.

During the April 19, 2021, the City Commission approved to renew the four-year contract with Seaton Publishing for maintaining kiosks at the Deadwood Welcome Center, History and Information Center, South Gateway, and the Deadwood portion of the Explore Black Hills mobile app at a cost of \$20,250.00 annually from 2021-2024.

Recommend the City Commission approve permission to pay Black Hills Pioneer invoice in the amount of \$20,250.00 for the annual renewal fee for the Deadwood Welcome Center kiosks and mobile app content management to be paid from the HP Public Education line item.

### **Recommended Motion:**

*Recommend the City Commission approve permission to pay Black Hills Pioneer invoice in the amount of \$20,250.00 for the annual renewal fee for the Deadwood Welcome Center kiosks and mobile app content management to be paid from the HP Public Education line item.*



The Weekly Prospector | Nation's Center News

P.O. Box 7 • 315 Seaton Circle  
Spearfish, South Dakota 57783  
Telephone: 605-642-2761

# INVOICE

**BILL TO**DEADWOOD HISTORIC  
PRESERVATION  
KEVIN KUCHENBECKER  
108 SHERMAN STREET  
DEADWOOD, SD 57732**INVOICE #** 102035  
**DATE** 05/26/2023

DATE	DESCRIPTION	AMOUNT
	ANNUAL RENEWAL FEE FOR DEADWOOD WELCOME CENTER KIOSKS & MOBILE APP CONTENT MANAGEMENT, 1 @ \$20,250.00	20,250.00

---

BALANCE DUE	<b>\$20,250.00</b>
-------------	--------------------

A Service charge of 1.5% will be added to balances not paid within 30 days from the statement date.

Date: June 8, 2023

Case No. 230063  
Address: 732 Main Street

### Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 732 Main Street, a contributing structure located in the Deadwood City Planning Unit in the City of Deadwood.

Applicant: Joel Livengood  
Owner: Villagood Properties LLC  
Constructed: c 1900

### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

**The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:**

#### General Factors:

- 1. Historic significance of the resource:** Lawrence County records indicate this structure dates from 1917. Additional research is needed to verify the history of this resource as it appears to be moved from a location down the street and is older than indicated in the county records. It is listed as a contributing resource to the local historic district, the State and National Register of Historic Places and the National Historic Landmark District.
- 2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission to reconstruct the deck on the back side of the structure.

**Attachments:** Yes

**Plans:** Yes

**Photos:** Yes

**Staff Opinion:** The applicant applied and was approved in May of 2017 to replace/alter the entrance of the deck at the rear of the structure. The applicant did not complete this project and is reapplying for a Certificate of Appropriateness.

The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

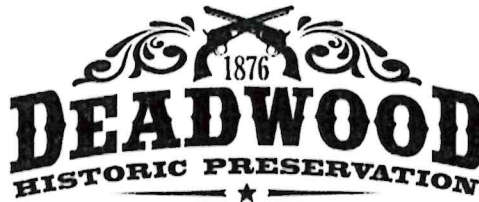
#### Motions available for commission action:

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICE

Section 7 Item a.

Case No. 236000  
☐ Project Approval  
☒ Certificate of Appropriateness  
Date Received 6/17/23  
Date of Hearing 6/14/23

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: 732 MAIN ST

Historic Name of Property (if known):

### APPLICANT INFORMATION

Applicant is: ☒ owner ☒ contractor ☒ architect ☐ consultant ☐ other \_\_\_\_\_

Owner's Name: DEL LIVENGOOD & KRISTINE VILLARRIE  
Address: 508 CROWN ST  
City: LEAD State: SD Zip: 57734  
Telephone: 605-920-9376 Fax: \_\_\_\_\_  
E-mail: livengood19@yahoo

Architect's Name: SAME  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Contractor's Name: SAME  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Agent's Name: N/A  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

### TYPE OF IMPROVEMENT

- |  |                                       |                                      |  |
|--|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition    | <input type="checkbox"/> Accessory Structure   |
| <input type="checkbox"/> New Construction                | <input type="checkbox"/> Re-Roofing   | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting     |
| <input type="checkbox"/> General Maintenance             | <input type="checkbox"/> Siding       | <input type="checkbox"/> Windows     | <input checked="" type="checkbox"/> Porch/Deck |
| <input type="checkbox"/> Other _____                     | <input type="checkbox"/> Awning       | <input type="checkbox"/> Sign        | <input type="checkbox"/> Fencing               |



## FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>					
Project Start Date: <u>6/20/23</u>		Project Completion Date (anticipated): <u>6/30/23</u>			
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____				
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> <b>GARAGE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>		
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____					
<input checked="" type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement			
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments					

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

REPLACED REAR ENTRANCE DECK STRUCTURE (ALREADY REMOVED)  
W/ CODE COMPLIANT & FIRE EXIT DECK STRUCTURE  
THAT ACCOMODATES TWO REAR EXIT DOORS...  
MATERIALS WILL BE IDENTICAL TO EXISTING FRONT  
PORCH & VERANDA



FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

## SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

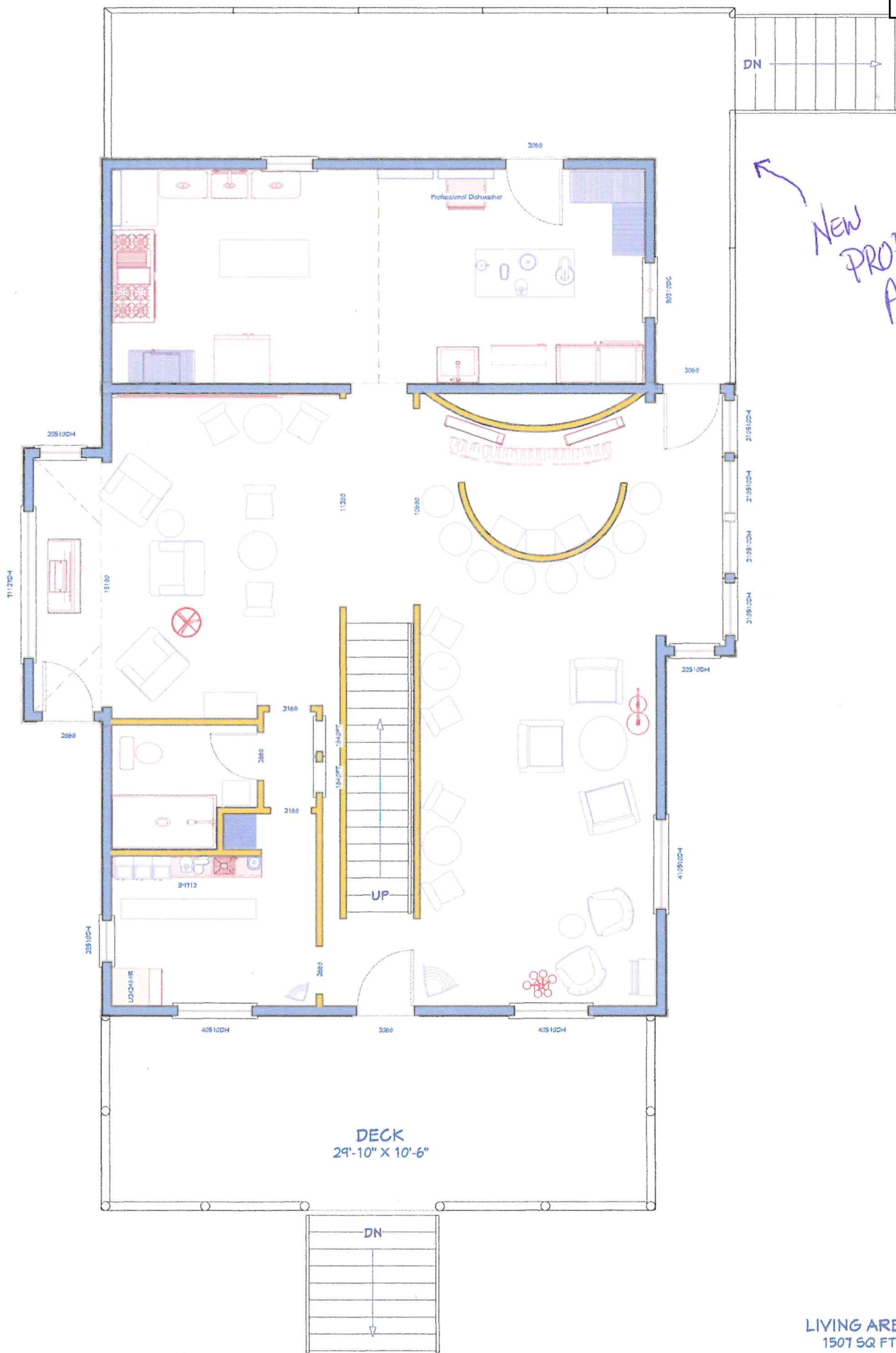
DATE

## APPLICATION DEADLINE

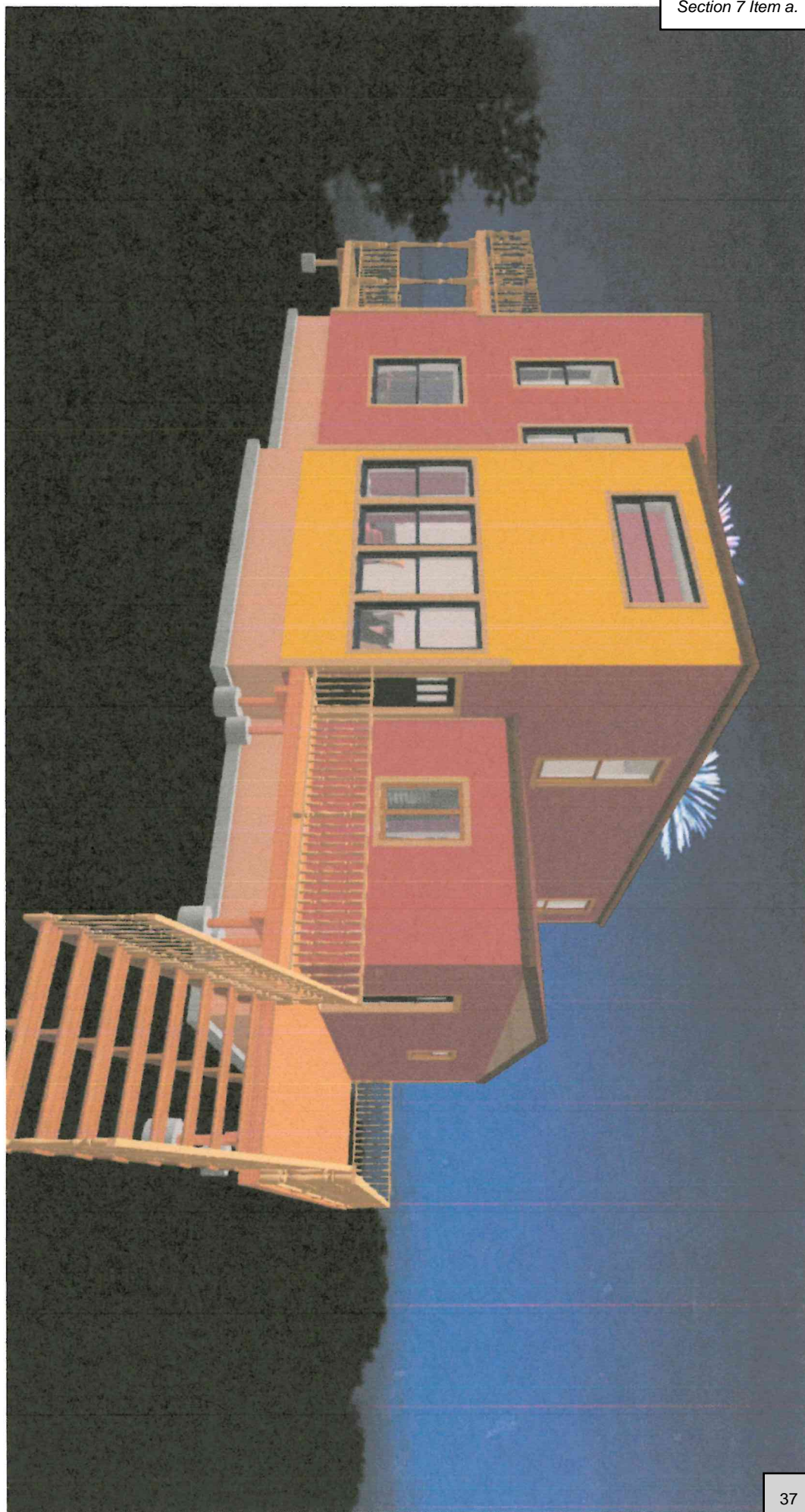
This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

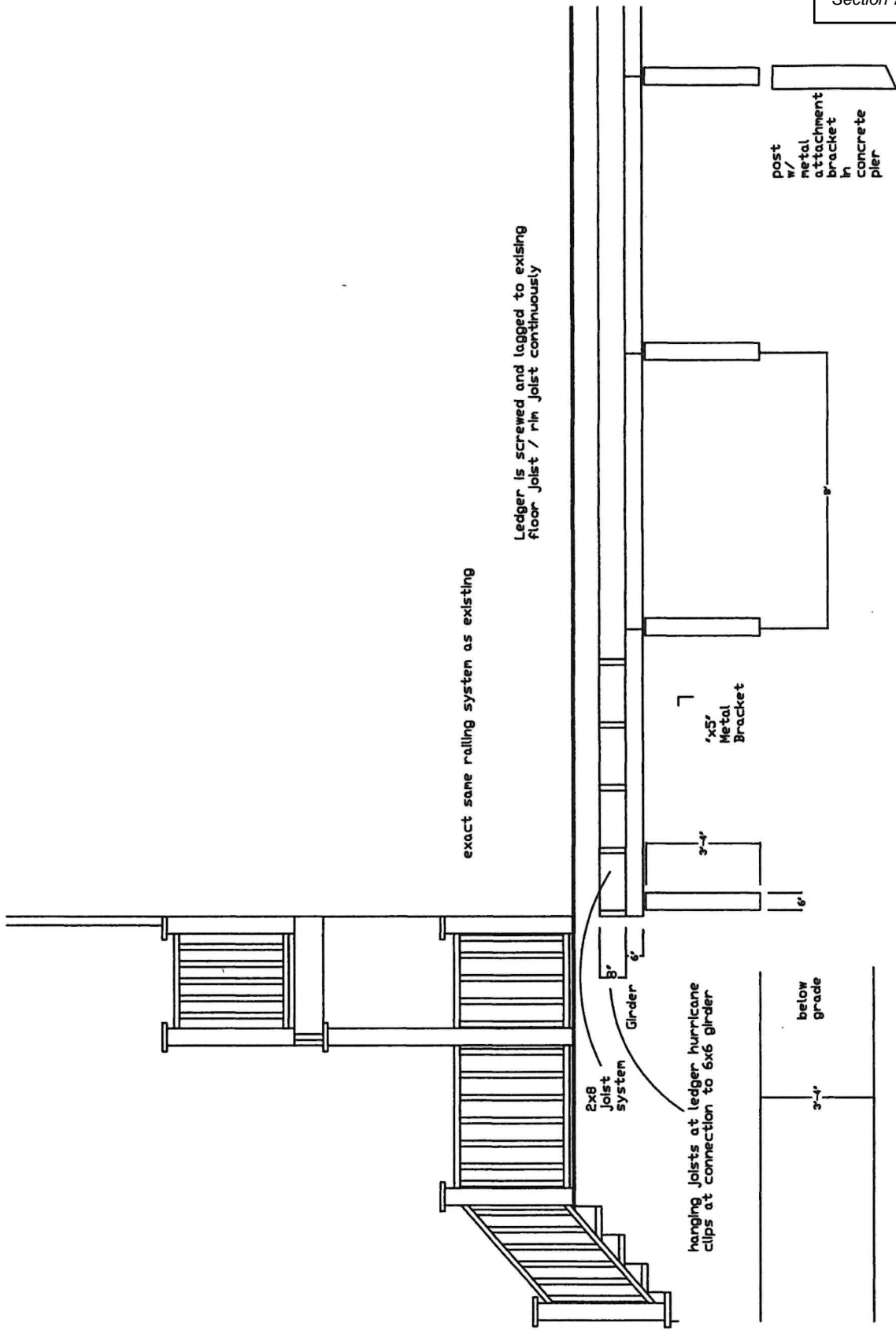
**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



LIVING AREA  
1507 SQ FT







Date: May 18, 2023

Case No. 230047  
Address: 874 Main

### Staff Report

The applicant has submitted an application for work at 874 Main, a contributing structure located in the Upper Main Planning Unit in the City of Deadwood.

Applicant: Dale Berg  
Owner: BERG, DALE N & SUSAN R  
Constructed: c 1935

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This area of the National Historic Landmark District does not show up in the Sanborn Fire Insurance Maps. This is a contributing structure built circa 1935 as the garage for the residence across the street at 872 Main.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to demolish the current garage. The structure does not match the historic house across the street. The current garage has dry rot in the rafters, it is off the foundation, the doors and windows are broken and/or missing. Currently no vehicles can be parked in it. The applicant would like to construct a new garage in its place. The design would match the applicant's Victorian home across the street by design and color. The siding will be five-inch reveal cedar siding and painted same color as the house. Plans are to also install a small garage door at the rear of the structure to accommodate a side by side.

**Attachments: Yes**

**Plans: Yes**

**Photos: Yes**

**Staff Opinion:**

In June of 2021, the applicant submitted a project approval to sell, remove or demolish this particular garage. After the HP Commission conducted a site visit and made recommendations, the applicant withdrew the application. The applicant is now submitting a new project approval to demolish the garage and construct a new garage which accommodates today's uses and vehicles. A similar design garage was constructed by the Gibbs at 850 Main Street.

The proposed garage attached to the application is compatible to the historic district with appropriate siding, windows, and roof lines. The proposed height could be much greater than the neighboring garage at 21 to 22 feet to the ridge. While this fits within the zoning regulations for height it may appear larger than the existing garage by 8 feet and the neighboring garages in this area. This should be verified prior to any action to determine the impact to the site and setting of this part of the historic districts.

The proposed work and changes does destroy a historic resource and will have an adverse effect on the character of the building and may also have an adverse effect on the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

### Motions available for commission action:

#### **A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

#### **If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

##### **B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

##### **C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

**REVISED CONSTRUCTION PLANS FOR HISTORIC PRESERVATION APPROVAL****874 MAIN – DEMOLISH STRUCTURE AND CONSTRUCT NEW GARAGE**

The proposed structure will be a 24 x 30 one story garage. The current garage is 14' 2" with 7' side walls, the garage on the left is 15' high at the peak and the garage on the right is 16' high. New construction will be cedar siding with same reveal as house.

**NEIGHBORING GARAGES**

Date: 6/08/2023 - 1:50 PM

Design ID: 313358023524

Estimate ID: 75568

Estimated Price: \$17,965.20

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS

# Design & Buy™

## GARAGE

### How to recall and purchase your design at home:



OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 313358023524
4. Follow the on-screen purchasing instructions

### How to purchase your design at the store:

1. Enter Design ID: 313358023524 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.



Date: 6/08/2023 - 1:50 PM

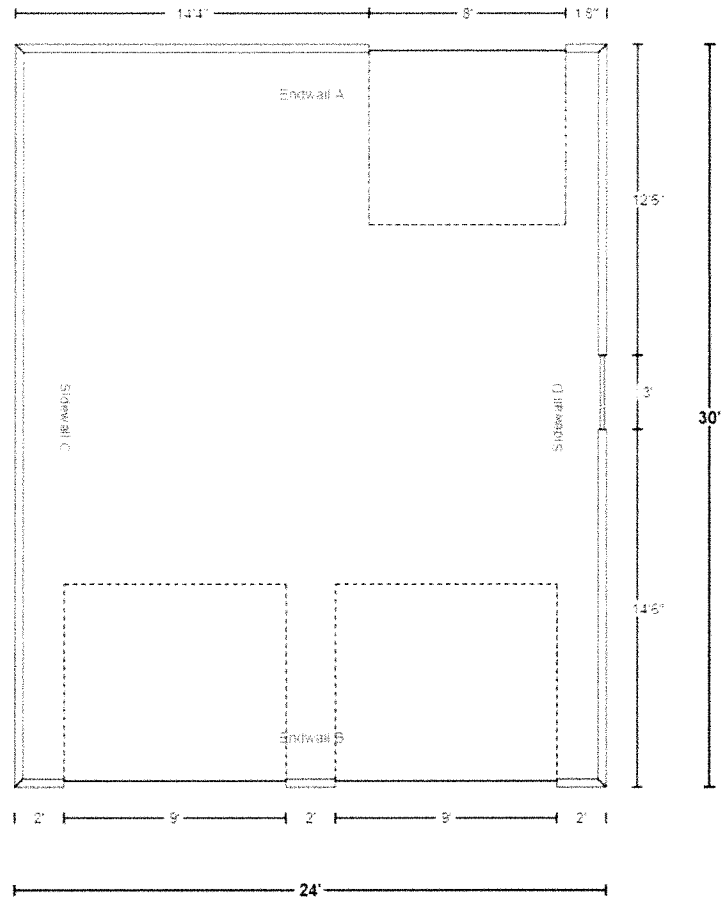
Design ID: 313358023524

Estimate ID: 75568

Estimated Price: \$17,965.20

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

# Design & Buy™ GARAGE



Date: 6/08/2023 - 1:50 PM

Design ID: 313358023524

Estimate ID: 75568

Estimated Price: \$17,965.20

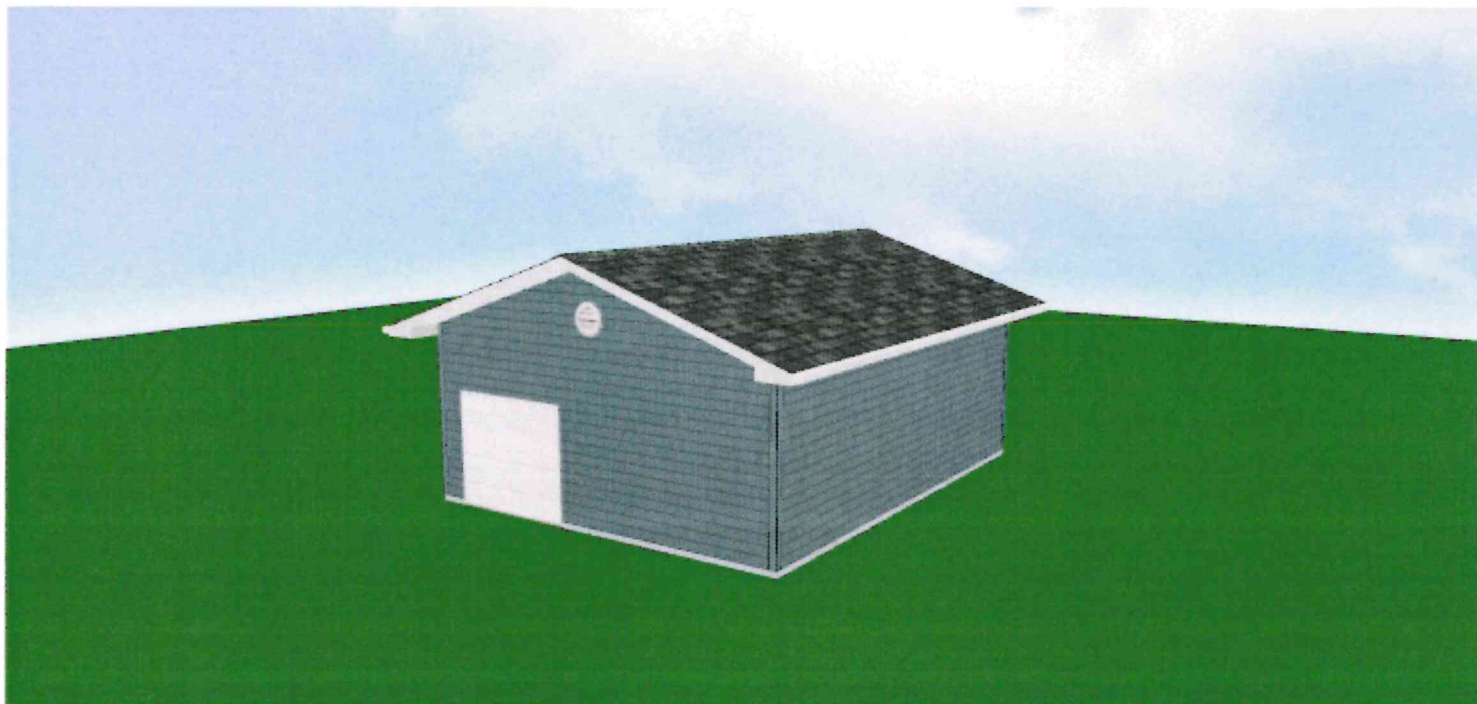
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MENARD

Section 8 Item a.

# Design & Buy™

## GARAGE



Date: 6/08/2023 - 1:50 PM

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MENARD

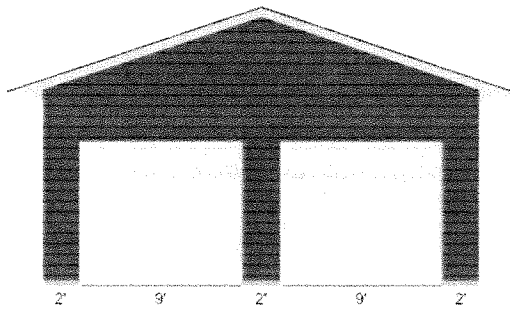
Section 8 Item a.

# Design & Buy™ GARAGE

## Dimensions

### Wall Configurations

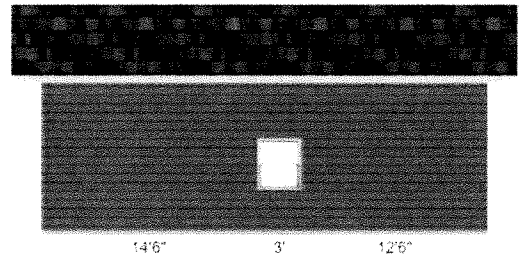
\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



**ENDWALL B**

Ideal Door®; 4-Star 9' x 8' White Select Value Insulated

Ideal Door®; 4-Star 9' x 8' White Select Value Insulated



**SIDEWALL D**

36"W x 42"H JELD-WEN® Vinyl Single Hung

Date: 6/08/2023 - 1:50 PM

Design ID: 313358023524

Estimate ID: 75568

Estimated Price: \$17,965.20

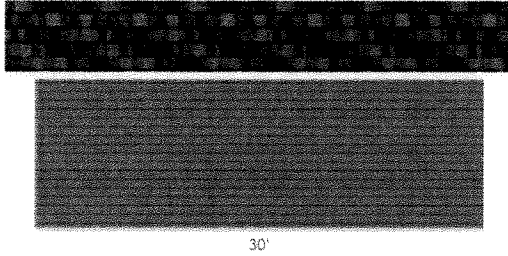
*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARD

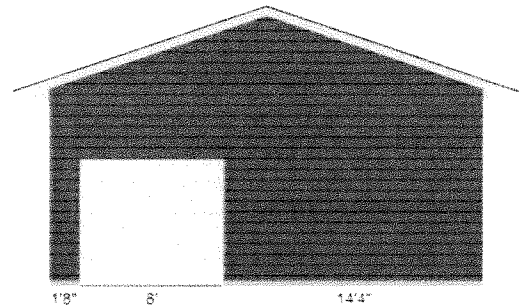
Section 8 Item a.

# Design & Buy™

## GARAGE



**SIDEWALL C**



**ENDWALL A**

Ideal Door®; 4-Star 8' x 7' White Select Value Insulated

**Date: 6/08/2023 - 1:50 PM**  
**Design ID: 313358023524**  
**Estimate ID: 75568**  
**Estimated Price: \$17,965.20**

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARD

Section 8 Item a.

# Design & Buy™ GARAGE

## Materials

### Building Info

Building Location Zip Code:	57732
Building Width:	24'
Building Length:	30'
Building Height:	10'
Curb:	Poured Curb
Curb Height:	4"
Foundation Type:	Thickened Slab
Wall Framing Stud:	2 x 6
Roof Framing:	Truss Construction
Truss Type:	Common
Roof Pitch:	4/12 Pitch
Eave Overhang:	24"
Gable Overhang:	24"
Custom Garage Plan:	No I do not need a custom building plan

### Wall Info

Siding Material Types:	LP Engineered Wood
LP Engineered Wood Siding:	Sherwin-Williams Premium Prefinished 3/8 x 8 x 16' Textured Lap Siding(30 Yr Paint Warranty), Color: Biscayne Blue
Engineered Wood Corner Trim Color:	Biscayne Blue
Accent Material Type:	None
Wainscot Material Type:	None
Wall Sheathing:	7/16 x 4 x 8 OSB(Oriented Strand Board)
House Wrap:	Kimberly-Clark BLOCK-IT® 9'x75'House Wrap
Gable Vents:	Novik® 22" Round Gable Vent, Color: White, QTY: 2

**Date: 6/08/2023 - 1:50 PM**

**Design ID: 313358023524**

**Estimate ID: 75568**

**Estimated Price: \$17,965.20**

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included*

MENARDS

Section 8 Item a.

# Design & Buy™

## GARAGE

### Roof Info

Roof Sheathing:	1/2 x 4 x 8 OSB(Oriented Strand Board)
Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.), Color: Estate Gray
Roof Underlayment:	Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)
Ice and Water Barrier:	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7'(200sq.ft)
Fascia Material Type:	Textured Aluminum Fascia
Fascia:	6" x 12' Aluminum Rustic Fascia, Color: White
Soffit Material Type:	Aluminum Soffit
Soffit:	16" x 12' Aluminum Vented Soffit, Color: White
Gutter Material Type:	Steel
Gutter:	Pro-Steel 6"x12' K- Style Steel Gutter
Ridge Vent:	None
Roof Vents:	Air Vent Galvanized Slant-Back Static Roof Vent, Color: Black, QTY: 1

### Openings

Overhead Door:	Ideal Door® 4-Star 8' x 7' White Select Value Insulated
Overhead Door:	Ideal Door® 4-Star 9' x 8' White Select Value Insulated
Overhead Door:	Ideal Door® 4-Star 9' x 8' White Select Value Insulated
Overhead Door Trim Type:	Vinyl
Vinyl Trim Color:	White
Windows:	36"W x 42"H JELD-WEN® Vinyl Single Hung

### Additional Options

Ceiling Insulation:	Fiberglass batts
Ceiling Insulation R Value:	R19 Kraft Faced Roll
Wall Insulation:	R-19 Kraft Faced Fiberglass Insulation 6-1/4" x 15" x 39.2' - 48.96 sq ft
Ceiling Finish:	5/8 x 4 x 8 Type X Fire-Rated Drywall
Wall Finish:	1/2 x 4 x 8 Lightweight Drywall
Mounting Blocks:	No
Hydronic Radiant Heat:	None
Anchor bolt:	Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer
Framing Fasteners:	Grip Fast® 3-1/4 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Sheathing Fasteners:	Grip Fast® 2-1/2 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Roofing/Shingle Fasteners:	Grip Fast® 1-1/4 Electro-Galvanized Coil Roofing Nails - 7,200 Count
Truss Fastener:	FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex Head Timber Screw - 50 Count
For other design systems search "Design & Buy" on Menards.com	No
Overhead Opening Hardware:	

Date: 6/08/2023 - 1:50 PM

Design ID: 313358023524

Estimate ID: 75568

Estimated Price: \$17,965.20

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Section 8 Item a.

# Design & Buy™

## GARAGE

<b>Midwest Manufacturing</b> Address 1 Address 2 City, State Zip							Truss: C11024 JobName: RES STOCK Date: 02/22/17 09:25:42 Page: 1 of 1		
SPAN 24 0-0	PITCH 4/12	QTY 1	OHL 2 0-0	OHR 2 0-0	CANT L 0 0-0	CANT R 0 0-0	PLYS 1	SPACING 24 in	WGT/PLY 73 lbs

All plates shown to be Eagle 20 unless otherwise noted.

<b>Loading (psf)</b> TULL: 42 Snow(Ps/Pg): 42/60 TCCL: 10 BCCL: 0 BCCL: 10	<b>General</b> Bldg Code: IRC 2015 TPI 1-2007 Rep Mbr Increase: Yes Lumber D.O.L.: 115 %	<b>CSI Summary</b> TC: 0.79 (1-2) BC: 0.93 (8-1) Web: 0.90 (3-8)	<b>Deflection</b> Vert TL: 0.43 in Vert LL: 0.28 in Horiz TL: 0.11 in	<b>L/ (loc)</b> L/651 L/992 S	<b>Allowed</b> L/180 L/340
---	--	---	--	--	----------------------------------

Reaction Summary								
JT	Brig Combo	Brig Width	Rod Brig Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift
1	1	3.5 in	2.66 in	1,696 lbs	-	-	-276 lbs	-276 lbs
5	1	3.5 in	2.66 in	1,696 lbs	-	-	-276 lbs	-276 lbs

Material Summary		Bracing Summary	
TC	SPF #2 2 x 4	TC Bracing	Sheathed or Purlins at 3'-6"-0", Purlin design by Others.
BC	SPF #2 2 x 4	BC Bracing	Sheathed or Purlins at 10'-0"-0", Purlin design by Others.
Webs	SPF Stud 2 x 3		

**Loads Summary**

1) This truss has been designed for the effects of balanced and unbalanced snow loads for hip/gables in accordance with ASCE7 - 10 with the following user defined input: 60 psf ground snow load, Terrain Category B, Exposure Category Fully Exposed (Ce = 0.9), Risk Category II (I = 1.00), Thermal Condition Cold ventilated (Ct = 1.1), DOL = 1.15. Unventilated. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads

2) This truss has been designed to account for the effects of ice dams forming at the eaves

3) This truss has been designed for the effects of wind loads in accordance with ASCE7 - 10 with the following user defined input: 115 mph (Factored), Exposure B, Enclosed, Gable/Hip, Risk Category II, Overall Bldg Dims 25 ft x 60 ft, h = 15 ft, End Zone Truss, Both end webs considered DOL = 1.60

4) Minimum storage attic loading has been applied in accordance with IRC 301.5

Member Forces Summary									
Table indicates: Member ID, max CSI max axial force, (max comp), (max tens), (max diff from max axial force). Only forces greater than 300 lbs are shown in this table.									
TC	1-2	0.788	-3,414 lbs	3-4	0.777	-2,950 lbs			
BC	2-3	0.777	-2,950 lbs	4-5	0.768	-3,414 lbs			
Web	3-6	0.930	-1,141 lbs	6-8	0.874	-2,160 lbs	(-121 lbs)	8-9	0.930
	2-8	0.304	-799 lbs	3-6	0.598	993 lbs	(-26 lbs)		
	3-8	0.598	993 lbs	4-6	0.304	-799 lbs			

**JSI Summary**

1 = 0.85, 2 = 0.59, 3 = 0.88, 4 = 0.59, 5 = 0.85, 6 = 0.72, 7 = 0.97, and 8 = 0.72

**Notes**

1) Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer

2) When this truss has been chosen for quality assurance inspection, the Double Polygon Method per TPI 1-2007/Chapter 3 shall be used.

3) The fabrication tolerance for this roof truss is 0.4% (C<sub>g</sub> = 1.00).

4) Brace bottom chord with approved sheathing or purlins per Bracing Summary

5) Creep has been considered in the analysis of this truss.

6) Lined wind uplift reactions based on MWFRS & C&C loading.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING ANY TRUSS BASED UPON THIS TRUSS DESIGN DRAWING ARE INSTRUCTED TO REFER TO ALL OF THE INSTRUCTIONS, LIMITATIONS AND QUALIFICATIONS SET FORTH IN THE EAGLE METAL PRODUCTS DESIGN NOTES ISSUED WITH THIS DESIGN AND AVAILABLE FROM EAGLE UPON REQUEST. DESIGN VALID ONLY WHEN EAGLE METAL CONNECTORS ARE USED.	TrueBuild® Software v5.5.2.240 Eagle Metal Products Dallas, TX 75234
---	--

Date: 6/08/2023 - 1:50 PM

Design ID: 313358023524

Estimate ID: 75568


Estimated Price: \$17,965.20

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

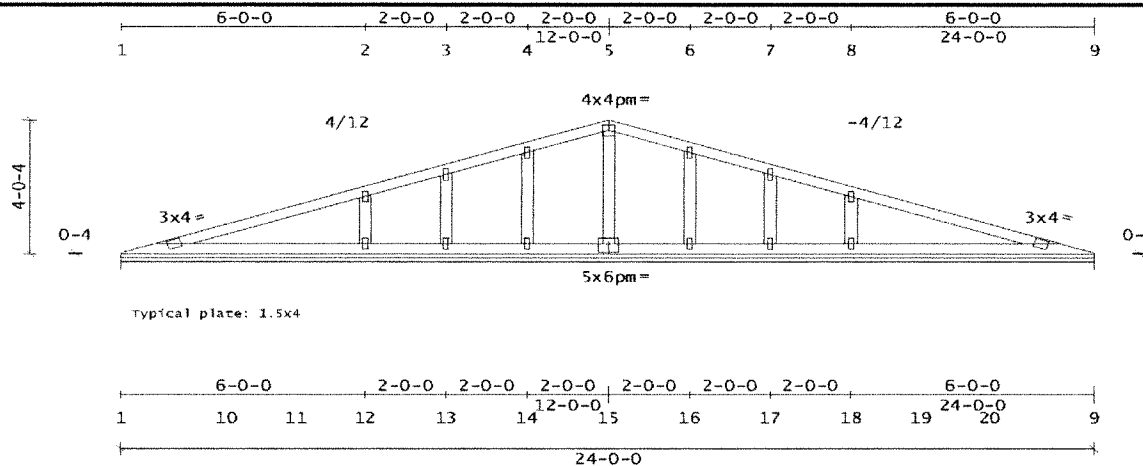
MENARD

# Design & Buy™

## GARAGE

<b>Project Name:</b> QTREC0630284		<b>Qty:</b> 2	<b>Truss:</b> T1DE
<b>Customer:</b> Walk-In		 <b>MIDWEST</b> MANUFACTURING	
		SID: TID: Date: 05/13/20 Page: 1 of 1	




typical plate: 1.5x4

<b>Code/Design:</b> IRC-2015/TPI-2014 <b>PSF:</b> Live: 80.0, Dead: 10.0, Dur: Factors <b>TC:</b> 80.0, 10.0, Live: Wind: Snow <b>SC:</b> 0.0, 10.0, Lum: 1.15, 1.60, 1.15 <b>Total:</b> 100.0, Plt: 1.15, 1.60, 1.15 <b>Spacing:</b> 2'-00"-00" o.c., Girts: 1 <b>Repetitive Member Increase:</b> Yes <b>Green Lumber:</b> No, Wet Service: No <b>Fab. Tolerance:</b> 15% Creep (Kcr) = 2.0 <b>OH Soffit Load:</b> 1.0 psf	<b>Snow Load Specs:</b> ASCE7-10 Ground Snow (Pg) = 100.0 psf Risk Cat: II, Terrain Cat: B Roof Exposure: Fully Exposed Thermal Condition: Cold Ventilated (1.1) Unobstructed Slippery Roof: No Low-Slope Minimums (P <sub>min</sub> ): No Unbalanced Snow Loads: Yes Rain Surcharge: No Ice Dam Chk: Yes	<b>Wind Load Specs:</b> ASCE7-10 Wind Speed (V) = 115 mph Risk Cat: II, Exposure Cat: B Bldg Dims: L = 0.0 ft, S = 0.0 ft M.R.N(h) = 15.0 ft, K <sub>zt</sub> = 1.0 Bldg Enclosure: Enclosed Wind Dir (psf): TC = 5.0, SC = 5.0 End Vertical Exposed: L = Yes, R = Yes Wind Uplift Reporting: ASCE7 MWFRS C&C End Zone: 4'-00"-00"
--	--	---

<b>Material Summary</b> TC 2x4 SPF #2 SC 2x4 SPF #2 Webs 2x4 SPF Stud  <b>Member Forces Summary</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Mem.</th> <th>Ten</th> <th>Comp</th> <th>CSI</th> </tr> </thead> <tbody> <tr><td>TC 1-5</td><td>76</td><td>238</td><td>0.59</td></tr> <tr><td>5-9</td><td>76</td><td>238</td><td>0.59</td></tr> <tr><td>BC 1-15</td><td>95</td><td>4</td><td>0.43</td></tr> <tr><td>9-15</td><td>95</td><td>4</td><td>0.43</td></tr> <tr><td>Web 2-12</td><td>110</td><td>890</td><td>0.20</td></tr> <tr><td>3-17</td><td>50</td><td>289</td><td>0.07</td></tr> <tr><td>4-14</td><td>101</td><td>519</td><td>0.14</td></tr> <tr><td>5-15</td><td>0</td><td>261</td><td>0.09</td></tr> <tr><td>6-16</td><td>101</td><td>519</td><td>0.14</td></tr> <tr><td>7-17</td><td>52</td><td>289</td><td>0.07</td></tr> <tr><td>8-18</td><td>118</td><td>890</td><td>0.20</td></tr> </tbody> </table>	Mem.	Ten	Comp	CSI	TC 1-5	76	238	0.59	5-9	76	238	0.59	BC 1-15	95	4	0.43	9-15	95	4	0.43	Web 2-12	110	890	0.20	3-17	50	289	0.07	4-14	101	519	0.14	5-15	0	261	0.09	6-16	101	519	0.14	7-17	52	289	0.07	8-18	118	890	0.20	<b>Reaction Summary</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Jnt</th> <th>--K-Load</th> <th>React</th> <th>--Width--</th> <th>--Reqd--</th> <th>--Mat</th> <th>PSI</th> </tr> </thead> <tbody> <tr><td>1</td><td>1-03-04</td><td>587</td><td>0</td><td>24-00-00</td><td></td><td></td></tr> <tr><td>12</td><td>6-00-00</td><td>934</td><td>19</td><td>24-00-00</td><td></td><td></td></tr> <tr><td>14</td><td>10-00-00</td><td>559</td><td>0</td><td>24-00-00</td><td></td><td></td></tr> <tr><td>16</td><td>14-00-00</td><td>559</td><td>0</td><td>24-00-00</td><td></td><td></td></tr> <tr><td>18</td><td>18-00-00</td><td>934</td><td>19</td><td>24-00-00</td><td></td><td></td></tr> <tr><td>9</td><td>22-08-12</td><td>587</td><td>0</td><td>24-00-00</td><td></td><td></td></tr> </tbody> </table> <p>Reactions not shown: down &lt; 400 and up &lt; 150</p> <p>---- Reaction Summary (plf) ----</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Jnt-Jnt</th> <th>React</th> <th>--Width--</th> </tr> </thead> <tbody> <tr><td>1-9</td><td>25</td><td>0 24-00-00 (reduced)</td></tr> </tbody> </table> <p>Max Horiz = -29 / +29 at Joint 1</p>	Jnt	--K-Load	React	--Width--	--Reqd--	--Mat	PSI	1	1-03-04	587	0	24-00-00			12	6-00-00	934	19	24-00-00			14	10-00-00	559	0	24-00-00			16	14-00-00	559	0	24-00-00			18	18-00-00	934	19	24-00-00			9	22-08-12	587	0	24-00-00			Jnt-Jnt	React	--Width--	1-9	25	0 24-00-00 (reduced)	<b>Deflection Summary</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>TrussSpan</th> <th>Limit</th> <th>Actual (in)</th> <th>Location</th> </tr> </thead> <tbody> <tr><td>Vert LL</td><td>L/240</td><td>L/999 (-0.00)</td><td>17-18</td></tr> <tr><td>Vert DL</td><td>L/90</td><td>L/999 (-0.00)</td><td>17-18</td></tr> <tr><td>Vert CR</td><td>L/180</td><td>L/999 (-0.00)</td><td>17-18</td></tr> <tr><td>Horz LL</td><td>0.75in</td><td>(0.01)</td><td>8Jt 1</td></tr> <tr><td>Horz CR</td><td>1.25in</td><td>(0.01)</td><td>8Jt 1</td></tr> </tbody> </table> <p>Vert CR and Horz CR are the vertical and horizontal deflections due to live load plus the creep component of deflection due to dead load, computed as Def<sub>LL</sub> + (Kcr - 1) x Def<sub>LL</sub> in accordance with AISI/TPI 1.</p>	TrussSpan	Limit	Actual (in)	Location	Vert LL	L/240	L/999 (-0.00)	17-18	Vert DL	L/90	L/999 (-0.00)	17-18	Vert CR	L/180	L/999 (-0.00)	17-18	Horz LL	0.75in	(0.01)	8Jt 1	Horz CR	1.25in	(0.01)	8Jt 1
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<b>Loads Summary</b> This truss has been designed for the effects of an unbalanced top chord live load occurring at [12-00-00] using a 1.00 Full and 0.90 Reduced load factor. See Loadcase Report for loading combinations and additional details. Dead Loads may be slope adjusted: > 0.0/12	<b>Notes</b> Gable webs are attached with min. 1x3 20 ga. plates. The max. rake overhang = 1/2 the truss spacing. If this truss is exposed to wind loads perpendicular to the plane of the truss, it must be braced according to a standard detail matching the wind criteria shown, or according to the Construction Documents and/or BCSI - B3. Plates designed for Cq at 0.85 and Rotational Tolerance of 10.0 degrees. Plates located at TC pitch breaks meet the prescriptive minimum size requirement to transfer unblocked diaphragm loads across those joints. A "pm" next to the plate size indicates that the plate has been user modified: see Plate Offsets for any special positioning requirements.	<b>Bracing Data Summary</b> ---Bracing Data--- Chords: continuous except where shown Web Bracing -- None  <b>Plate offsets (X, Y):</b> (None unless indicated below) Jnt15(0, -00-08)  <b>Joint Stress Index (JSI):</b> Jnt1(0.55), Jnt2(0.65), Jnt3(0.65), Jnt4(0.65), Jnt5(0.49), Jnt6(0.65), Jnt7(0.65), Jnt8(0.65), Jnt9(0.55), Jnt12(0.65), Jnt13(0.65), Jnt14(0.65), Jnt15(0.49), Jnt16(0.65), Jnt17(0.65), Jnt18(0.65)
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NOTICE A copy of this design shall be furnished to the erection contractor. The design of this individual truss is based on design criteria and requirements supplied by the Truss Manufacturer and relies upon the accuracy and completeness of the information set forth by the Building Designer. A seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. See the cover page and the "Important Information & General Notes" page for additional information. All connector plates shall be manufactured by Simpson Strong-Tie Company, Inc. in accordance with ESP-2752. All connector plates are 20 gauge, unless the specified plate size is followed by a "-18" which indicates an 18 gauge plate, or "S# 18", which indicates a high tension 18 gauge plate.



Midwest Manufacturing  
5311 Kane Road  
Eau Claire, WI 54603  
(715) 876-5555  
midwestmanufacturing.com



1805 E GUN STREET  
RAPID CITY, SD 57703  
(605) 399-3922  
(605) 399-9945

## Design & Buy GARAGE DOORS

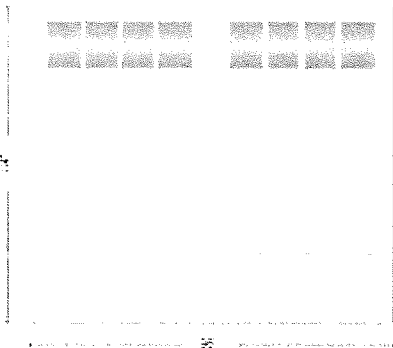
Design #: 313358023656  
Estimated Price: \$6,351.43

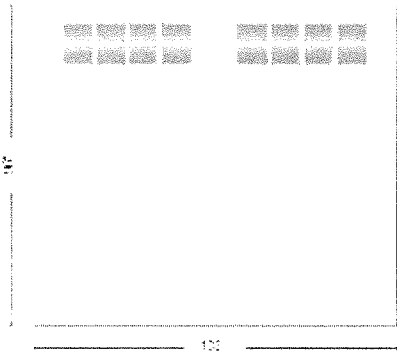
### How to purchase at the store:

1. Take this packet to any Menards store.
2. Have a Menards Team Member enter the Design ID into the Garage Door Designer Program.
3. Have a Menards Team Member print purchasing documents.
4. Take the Special Order Contract to the register and pay.

### How to recall and purchase a saved design at home:

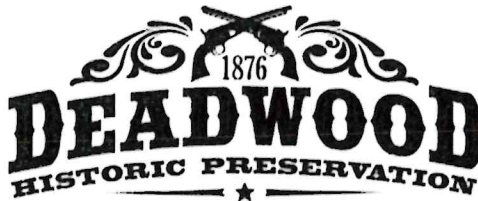
1. Go to Menards.com
2. Login to your account.
3. Go to the Garage Door Designer from the Project Center and select Search Saved Designs.
4. Enter the Design ID or select from your open projects to load into the Patio Door Designer.
5. Add your design to the cart and purchase.

Line Item	Quantity	Product Description	Unit Price	Total Price
100-1	1	Designer Steel Panel - Best Garage Door Garage Door Width = 8 Ft 0 In Garage Door Height = 7 Ft 0 In Assembly Type = Complete Door WindCode Rating = W0 - Most locations Panel Design = Long Designer Panel Color = White Insulation R-Value = 18.4 R-Value 2" Thick Intellicore Door Model = MR2LU Window Type = Designer - Long Windows = SQ24 Glass Style = Clear Glass Glass Type = Insulated Opener Ready = Yes Headroom Available = Typical (12" - 32") Track Size - Mount = 2" Bracket Mount Track Track Lift = Standard Lift Track Radius = 12" Spring = EZ-SET Torsion Headroom Required = 12" Lock = No Lock Type of Reinforcement Strut = 2-1/4" Strut Standard Struts - number = 0 Standard Reinforcement Struts = 0 Struts Additional Reinforcement Struts = 1 Hinge and Roller Hardware = Heavy Hardware Upgrade Automatic Opener Reinforcement Bracket = Included Bracket Decorative Hardware = Yes Decorative Hardware Collection = See All Lift Handles = 1 Set Dummy L-Handles Escutcheon Plates = 2 Escutcheon Plates Step Plate = 1 Spear Step Plate Decorative Hinges = 4 Spear Strap Hinges	\$1,868.99	\$1,868.99
Actual Size: 96" x 84"				
Room: None Assigned				
Unit is viewed from the outside looking in.				
				

Line Item	Quantity	Product Description	Unit Price	Total Price
200-1	2	Designer Steel Panel - Best Garage Door Garage Door Width = 9 Ft 0 In Garage Door Height = 8 Ft 0 In Assembly Type = Complete Door WindCode Rating = W0 - Most locations Panel Design = Long Designer Panel Color = White Insulation R-Value = 18.4 R-Value 2" Thick Intellicore Door Model = MR21U Window Type = Designer Long Windows = SQ24 Glass Style = Clear Glass Glass Type = Insulated Opener Ready = Yes Headroom Available = Typical (12" - 32") Track Size - Mount = 2" Bracket Mount Track Track Lift = Standard Lift Track Radius = 12" Spring = EZ-SET Torsion Headroom Required = 12" Lock = No Lock Type of Reinforcement Strut = 2-1/4" Strut Standard Struts - number = 0 Standard Reinforcement Struts = 0 Struts Additional Reinforcement Struts = 1 Hinge and Roller Hardware = Heavy Hardware Upgrade Automatic Opener Reinforcement Bracket = Included Bracket Decorative Hardware = Yes Decorative Hardware Collection = See All Lift Handles = 1 Set Dummy L-Handles Escutcheon Plates = 2 Escutcheon Plates Step Plate = 1 Spear Step Plate Decorative Hinges = 4 Spear Strap Hinges	\$2,241.22	\$4,482.44
<b>Actual Size:</b>		108" x 96"		
<b>Room:</b>		None Assigned		
		Unit is viewed from the outside looking in.		
				

**Total: \$6,351.43**

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICE	Section 8 Item a.
Case No. <u>230047</u>	
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received <u>5/16/23</u>	
Date of Hearing <u>5/24/23</u>	

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>874 main Street Deadwood SD 57732</u>
Historic Name of Property (if known): <u>S/D M.S. 109 AKA Hansons Addition</u>

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Dale Berg</u>
Address: <u>874 main</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-381-1855</u> Fax: _____
E-mail: <u>dale@bergjewelers.com</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior) <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> General Maintenance <input type="checkbox"/> Other _____	<input type="checkbox"/> New Building <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Siding <input type="checkbox"/> Awning	<input type="checkbox"/> Addition <input type="checkbox"/> Wood Repair <input type="checkbox"/> Windows <input type="checkbox"/> Sign	<input type="checkbox"/> Accessory Structure <input type="checkbox"/> Exterior Painting <input type="checkbox"/> Porch/Deck <input type="checkbox"/> Fencing
<u>Garage would match our Victorian Home</u>			

Updated October 9, 2019

**FOR OFFICE USE ONLY**  
Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: _____		Project Completion Date (anticipated): _____		
<input type="checkbox"/> <b>ALTERATION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>ADDITION</b>	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>NEW CONSTRUCTION</b>	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> <b>ROOF</b>	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input checked="" type="checkbox"/> <b>GARAGE</b>	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> <b>FENCE/GATE</b>	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>WINDOWS</b>	<input type="checkbox"/> <b>STORM WINDOWS</b>	<input type="checkbox"/> <b>DOORS</b>	<input type="checkbox"/> <b>STORM DOORS</b>	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____				
<input type="checkbox"/> <b>PORCH/DECK</b>	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> <b>SIGN/AWNING</b>	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement		
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> <b>OTHER</b> – Describe in detail below or use attachments				

### DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Tear down Garage It does not match our Historic  
Have across the street 20X20 structure dry  
rot in Rafter it is off the foundation doors  
& window broken & missing we can not park  
any car in it.

FOR OFFICE USE ONLY

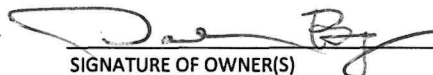
Case No. \_\_\_\_\_

## SIGNATURES

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 5/18/23

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

## APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

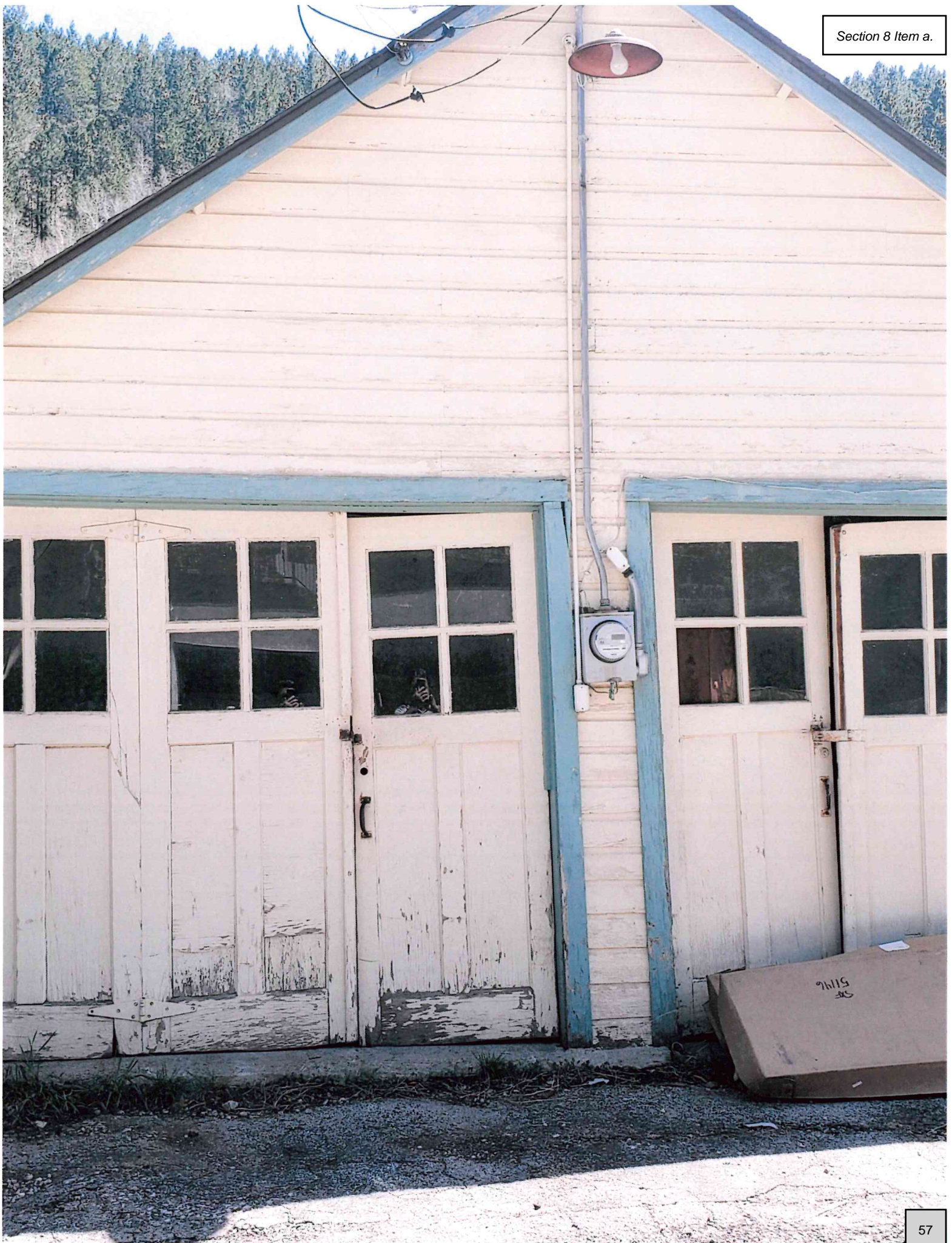
#### PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.



















GENERAL NOTES

1. The owner shall be responsible for obtaining all necessary permits from the local, state and federal authorities. The owner shall also be responsible for obtaining all necessary approvals from the local, state and federal authorities. The owner shall also be responsible for obtaining all necessary approvals from the local, state and federal authorities.
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10. The owner shall be responsible for obtaining all necessary permits from the local, state and federal authorities. The owner shall also be responsible for obtaining all necessary approvals from the local, state and federal authorities. The owner shall also be responsible for obtaining all necessary approvals from the local, state and federal authorities.

STAPLETON

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SCAN TO RECEIVE  
OUR LATEST DESIGNS

SCAN TO VISIT  
OUR WEBSITE



PROJECT
DATE
REVISION

STAPLETON

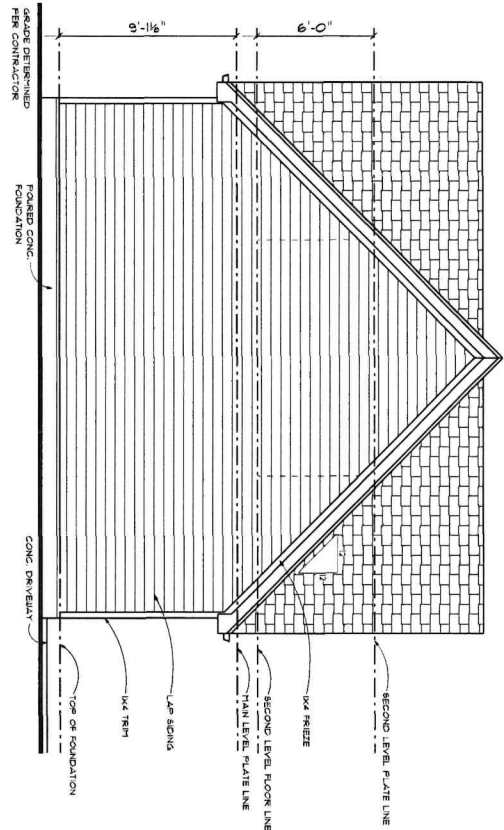
18 THIS IS NOT A  
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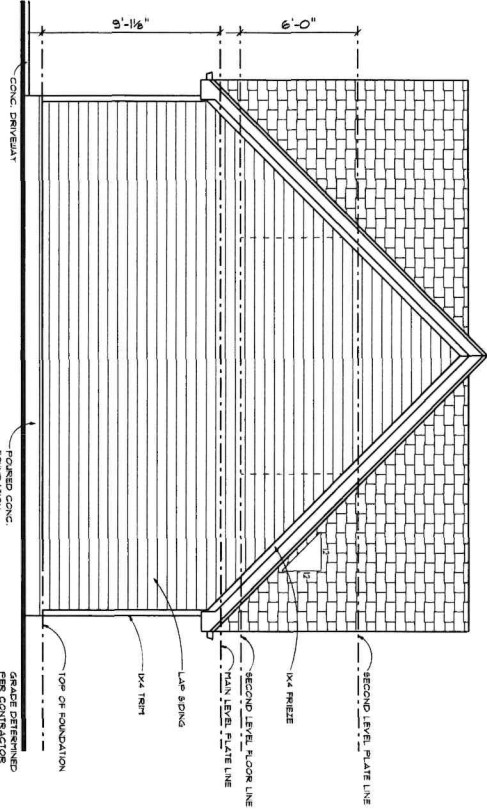
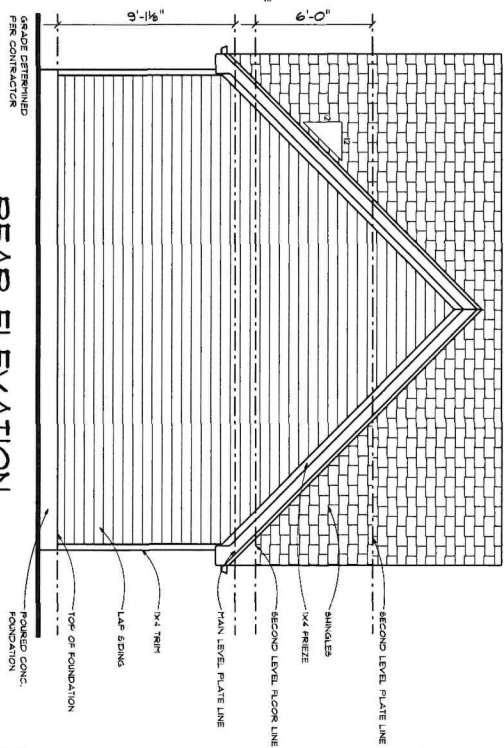
2022

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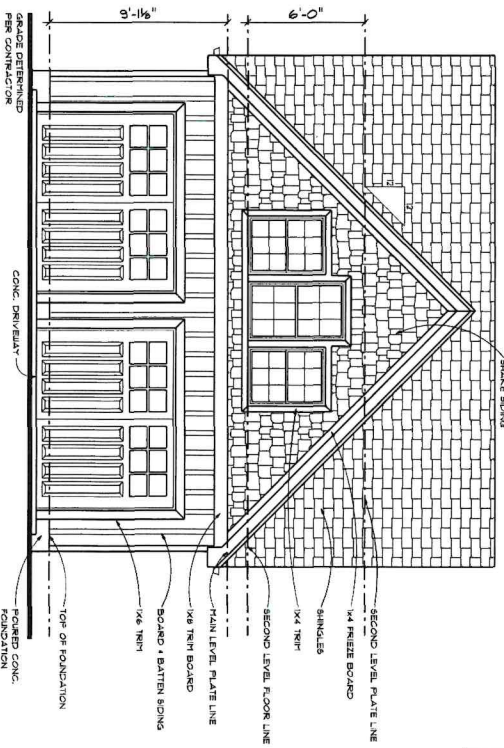


LEFT ELEVATION

REAR ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

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FINAL
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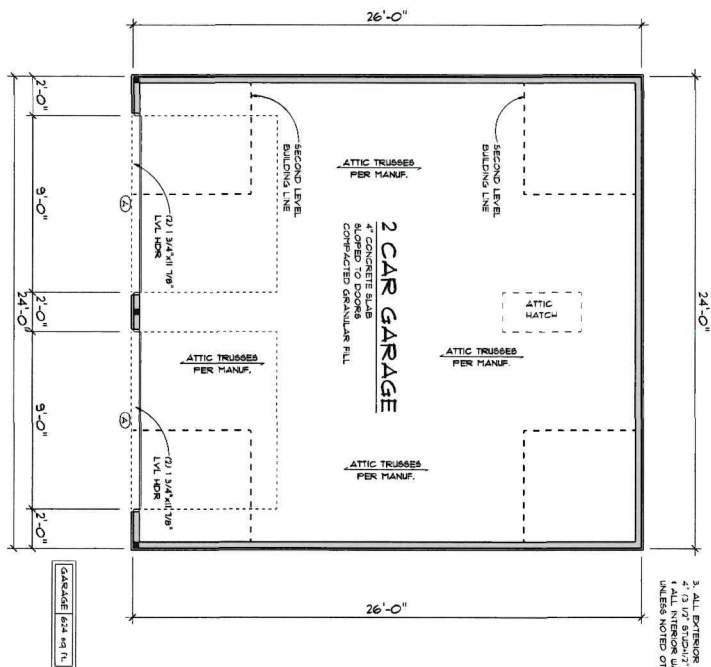
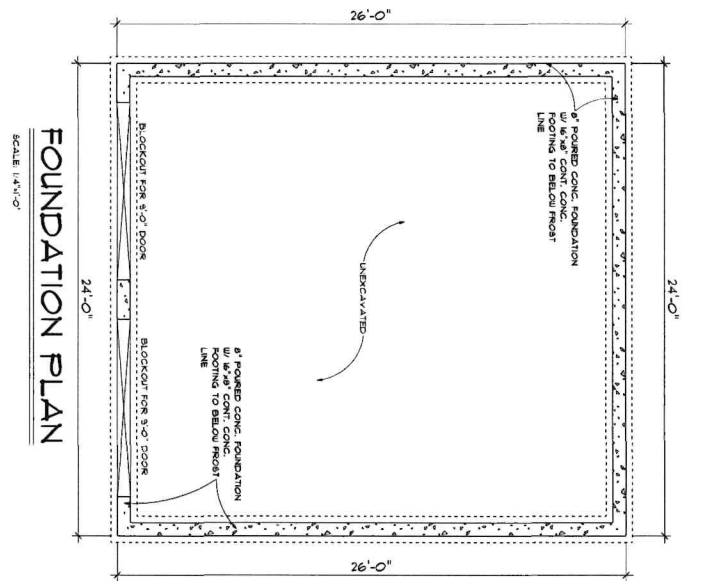
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2





**GENERAL NOTE:**  
 1. ALL MAIN LEVEL, SECOND LEVEL, ATTIC, AND GARAGE FLOOR FINISHES ARE AS NOTED, UNLESS NOTED OTHERWISE.  
 2. ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE.  
 3. ALL EXTERIOR WALLS ARE 4\"/>

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
A	GARAGE	100004	8'-0" x 7'-0"	2

**MAIN LEVEL FLOOR PLAN**  
 SCALE: 1/4\"/>

GARAGE 604 sq ft

SHEET  
 3  
 OF  
 5

29252

© 2022  
 ADVANCED HOUSEPLANS, INC. IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM  
 PROVIDING PLANS TO RESIDENTS FOR THEIR HOME. THESE PLANS ARE NOT TO BE  
 REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR  
 MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION  
 STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF  
 ADVANCED HOUSEPLANS, INC. ANY VIOLATION OF THIS POLICY WILL BE  
 PROSECUTED TO THE FULL EXTENT OF THE LAW. ADVANCED HOUSEPLANS, INC.  
 100004 100004 100004 100004 100004 100004 100004 100004 100004 100004

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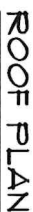


STAPLETON

PRELIM
FINAL
REVISION

GENERATED: 11/16/2022

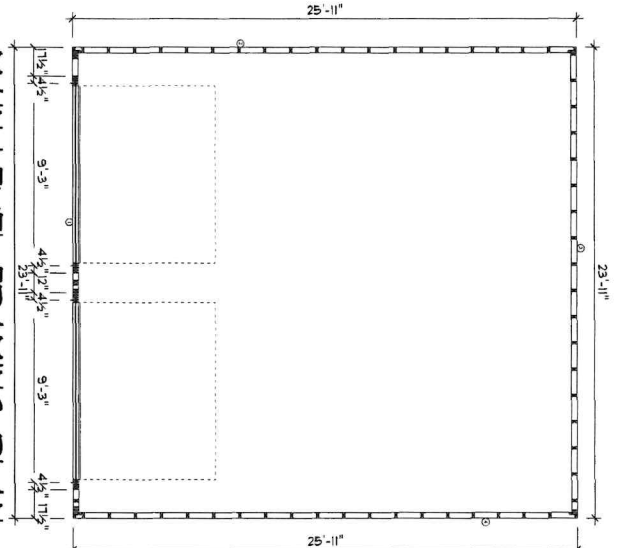
The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.



OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X60 DOUBLE HUNG I	3'-0" x 5'-0"	1
2	WINDOW	36X48 DOUBLE HUNG I	3'-0" x 4'-0"	2

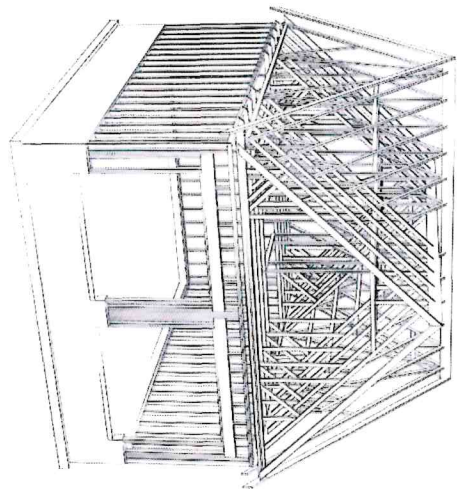
# MAIN LEVEL FRAMING PLAN

SCALE 1/4" = 1'-0"



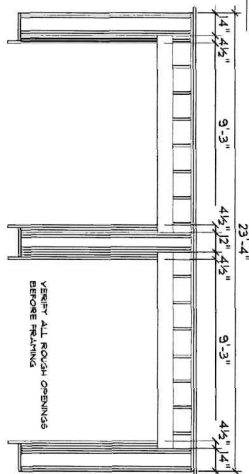
# FRAMING DIAGRAM

NOT TO SCALE



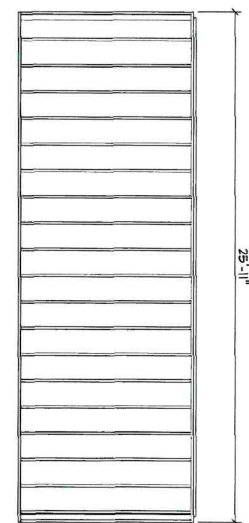
## 2x4 WALL NO. 1 MAIN

23'-4"

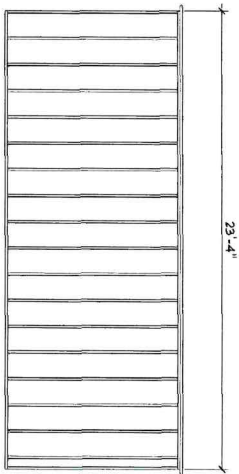


## 2x4 WALL NO. 2 MAIN

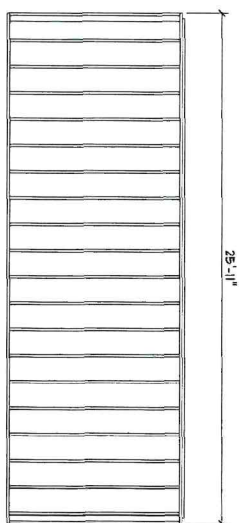
25'-11"



## 2x4 WALL NO. 3 MAIN



## 2x4 WALL NO. 4 MAIN



# WALL PANELS

SCALE 1/4" = 1'-0"

PROJECT
NO.
DATE
REVISION

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5
5

GENERATED 1/6/2022

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Date: June 07, 2023

Case No. 230058  
Address: 53 Washington

### Staff Report

The applicant has submitted an application for Project Approval for work at 53 Washington, an open lot located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Jackie Fisher & Bryan Duffy  
Owner: CUROTOLO, LEWIS, Jr  
Constructed: NA

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

**The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:**

#### General Factors:

##### 1. Historic significance of the resource:

There is no historic information as this is an empty lot. Based on the Sanborn Fire Insurance Maps, there has been no structure on this property.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to construct a three-story house per the submitted plans and specifications.

**Attachments:** Yes

**Plans:** Yes

**Photos:** No

**Staff Opinion:** The applicant and the design team has worked closely with our office in preparing the submittal in front of the Historic Preservation Commission. The plans, elevations and site plan appear to be compatible with the historic districts.

As per the Secretary of the Interior's Standards for Rehabilitation, new additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. [In this case, the district itself.] The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

24:52:07:04. Standards for new construction and additions in historic districts. New construction or additions within a historic district must comply with The Secretary of the Interior's Standards for the Treatment of Historic Properties as incorporated by reference in § 24:52:07:02. In addition the following standards apply:

(1) Compatibility of design. Massing, size, and scale of new construction must be compatible with surrounding historic buildings. Overall architectural features of new construction must be of contemporary design which does not directly mimic historic buildings. Architectural elements such as windows, doors, and cornices must be similar in rhythm, pattern, and scale to comparable elements in adjacent historic buildings. The overall visual appearance of new construction may not dominate or be distracting to the surrounding historic landscape;



(2) Height. The height of new buildings or additions to existing buildings may not exceed a standard variance of ten percent of the average height of historic buildings on both sides of the street where proposed new construction is to be located;

(3) Width. The width of new buildings or additions to existing buildings must be similar to adjacent historic buildings;

(4) Proportion. The relationship between the height and width of new buildings or additions to existing buildings must be similar in proportion to existing historic buildings. The proportion of openings in the facades of new construction or additions must be compatible with similar openings in adjacent historic buildings;

(5) Rhythm and scale. The rhythm, placement, and scale of openings, prominent vertical and horizontal members, and separation of buildings which are present in adjacent historic buildings must be incorporated into the design of new buildings or additions to existing buildings;

(6) Materials. Materials which make up new buildings or additions to existing buildings must complement materials present in nearby historic properties. New materials must be of similar color, texture, reflective qualities, and scale as historical materials present in the historic district;

(7) Color. The colors of materials, trim, ornament, and details used in new construction must be similar to those colors on existing historic buildings or must match colors used in previous historical periods for identical features within the historic district;

(8) Details and ornament. The details and ornament on new buildings or additions to existing buildings must be of contemporary design that is complementary to those features of similar physical or decorative function on adjacent historic buildings;

(9) Roof shape and skyline. The roof shape and skyline of new construction must be similar to that of existing historic buildings;

(10) Setting. The relationship of new buildings or additions to existing buildings must maintain the traditional placement of historic buildings in relation to streets, sidewalks, natural topography, and lot lines; and

(11) Landscaping and ground cover. Retaining walls, fences, plants, and other landscaping elements that are part of new construction may not introduce elements which are out of character with the setting of the historic district.

Any approvals would also be contingent upon acceptance and action from the Deadwood Planning & Zoning Commission for variances required for this project.

This neighborhood has a few large Victorian style residential structures. This project would be reminiscent of these types of homes. Staff's only concern is the overall massing in comparison to the adjacent property uphill on Washington.

It is staff's opinion, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

**Motions available for commission action:**

**A:** If you, as a commissioner, have determined the Project **DOES NOT** Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

---

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	230058
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	1/1
Date of Hearing	6/14/23

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: Tract C, Block 53 Washington Street Deadwood SD, 57732
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

<i>Jackie Diana Fisher and Bryan James Duffy</i>	
Owner's Name: <u>Revocable Trust</u> Address: <u>353 E Bonneville Ave, Unit 637</u> City: <u>Las Vegas</u> State: <u>NV</u> Zip: <u>89101</u> Telephone: <u>928-533-7111</u> Fax: _____ E-mail: <u>jackiefisher365@gmail.com</u>	Architect's Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____

Contractor's Name: <u>Legacy Enterprises</u> Address: <u>3525 E Colorado Blvd.</u> City: <u>Spearfish</u> State: <u>SD</u> Zip: <u>57783</u> Telephone: <u>605-580-0438</u> Fax: _____ E-mail: <u>ryan@legacyenterprises.net</u>	Agent's Name: <u>Ryan Olsen</u> Address: <u>3525 E Colorado Blvd</u> City: <u>Spearfish</u> State: <u>SD</u> Zip: <u>57783</u> Telephone: <u>605-580-043</u> Fax: _____ E-mail: <u>ryan@legacyenterprises.net</u>
--	---

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

Updated October 9, 2019

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

ACTIVITY: (CHECK AS APPLICABLE)				
Project Start Date: _____		Project Completion Date (anticipated): _____		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> ROOF	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	No Garage - Carport	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	Per Plan
<input type="checkbox"/> FENCE/GATE	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Replacement		
	Painted Ext <input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
	Material <u>grade Lumber</u>	Style/type <u>Per Plan</u>	Dimensions <u>Per Plan</u>	
<input checked="" type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input checked="" type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> New	
	White Fibrex Composite	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
	Material _____	Style/type <u>Per Plan</u>		
<input type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
	Material _____	Style/type _____	Dimensions _____	
<input type="checkbox"/> OTHER	Describe in detail below or use attachments			Text

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Please see detailed spec sheet provided by Ryan.

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## FOR OFFICE USE ONLY

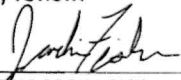
Case No. \_\_\_\_\_

## SIGNATURES


I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 4/28/2023  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

 4/28/2023  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S) DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S) DATE

## APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

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The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



**Custom Homes  
& Design**

# Specification Sheet

## **Fisher Project**

Washington St Tract 53, Lot C, Deadwood, SD 57732

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### **1.1 Project Specs**

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#### **1101 Lot**

Home to be built on owners lot. Cost of lot not included.

---

#### **1102.2 Crawlspace**

Crawlspace foundation-

Unfinished Crawlspace w/ utility and cold storage per plan.

Approximately 773 SF of unfinished space.

---

#### **1103 2nd Floor**

Square Feet - 762 SF

Ceiling Height - 8'

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#### **1103.25 3rd Floor**

Square Feet - 457 SF

Ceiling Height - 8'

---

#### **1104 Main Floor**

Square Feet - 773 SF

Ceiling Height - 8'

---

### **1.2 Preparation Preliminaries**

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### **1200 Permits and Fees**

Builder shall complete permit applications and make submissions to municipality for all building and mechanical permits required. Standard permits have been included in this agreement for the permit fees. Unexpected fees will be billed to the client as needed.

Owner is responsible for any HOA approvals and utility meter fees, if required.

---

### **1201 Financial**

Construction Loan and Title Company.  
Homeowner is responsible for any bank or loan fees and carrying the construction loan.  
Title & Closing fees not included or covered by builder.

---

### **1202 Architectural and Engineering**

Provide location survey for layout of foundation and building setbacks as required.  
If additional engineering is needed it may be added.

---

### **1203 Builders Risk Insurance**

Builder will carry Builders Risk Insurance on the home during the course of construction.  
It will be the Homeowners responsibility to obtain Insurance at the time of closing upon completion of the home.

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## 1204 Utility Connections

### ELECTRIC:

Connection to public electric service is included. Line from public service to home service panel is included. No converter if needed, lines to be provided by utility companies.

Electric service is assumed to be in road right of way adjacent to property line. Trenching required beyond area of road adjacent to property line is not included. Hookup fees and any required deposit for normal residential use account setup is not included. House electrical service to be 200 Ampere (one 200 Ampere panel). Location of panel to be determined in conjunction with exterior meter placement.

### NATURAL GAS:

Connection to natural gas service is included where available. Line from public service to home service meter is included.

Natural gas service is assumed to be in road right of way adjacent to property line. Trenching required beyond area of road adjacent to property line is not included. Hookup fees and any required deposit for normal residential use account setup is not included.

### PROPANE:

Propane tank is not included and must be provided by homeowner through Propane Company. Legacy will prepare area for tank to be set and connect propane to home.

### CABLE, PHONE, INTERNET PROVIDER:

It is the homeowner's responsibility to coordinate the installation of preferred providers. It is the homeowners responsibility to arrange the respective hook up after they take possession of the home.

Cable, phone, and internet provider service is assumed to be in road right of way adjacent to property line. Trenching required beyond area of road adjacent to property line is not included.

### WATER:

Connection to public water service is included. Private well or drilling NOT included.

Water service is assumed to be in road right of way adjacent to property line. Trenching required beyond area of road right of way adjacent to property line is not included. Hookup fees and any required deposit for normal residential use & account setup is not included.

### SEWER:

Connection to public sewer service is included. Private Septic System not included unless specified.



---

**1205 Site Work**

Property clearing includes removal of trees/brush from property within limits of disturbance and as defined for removal on site development plans. Stumps to be ground or removed per Builder discretion and debris removed from property. Live trees that are not called out for removal shall remain. Dead trees outside of limit of disturbance can not be removed by builder. Builder to use discretion in winter months regarding live/dead trees within limit of disturbance.

---

**1.4 Excavation & Foundation**

---

**1401 Excavation**

Strip topsoil and stockpile on property, if applicable. Excavate for foundation to plan bottom per architectural drawings and all excavated soils to be stockpiled for use during back fill. Unsuitable soil conditions at or above plan bottom are unknowns and can not be budgeted for prior to excavation. ie. Rock, soft clays, sinkholes, etc.

Builder will back fill foundation with existing excavated soils. Excess soils shall be graded out on property.

Contractor shall spread existing topsoil on disturbed areas if applicable. Yard will be finished to rough grade, further landscaping will be homeowners responsibility. Additional topsoil required due to lack of existing topsoil generated on-site is not included in agreement.

Exclusions from Agreement:

Rock

De-watering

Unsuitable or unstable soil conditions

Hidden/Undisclosed wells, tanks, pits, etc.

Hauling expenses except as related to demolition.

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**1402 Concrete**

Poured concrete per plans, including if applicable:

- Concrete Formwork
- Structural Slabs
- Structural Frame
- Garage Slab
- Garage Apron
- Concrete Walkways
- Concrete Patios
- No Retaining Walls Included
- No Exterior Flat Work Sealed

**\*\*If any concrete is stained and stamped, stain is surface stain and not through stained (unless specified and agreed upon by Home Owner and Contractor). Stamped pattern needs to be specified. Stained and stamped concrete is slippery when wet.**

**\*\*If concrete is poured during months that there is concern with freezing then concrete will be blanketed. This can often result in discoloration due to uneven curing conditions and moisture.**

Excavate as necessary, form and pour poured concrete footings per architectural plans and IRC (International Residential Construction Code).

8" rebar reinforced poured concrete walls, 4" rebar & fiber mesh reinforced poured concrete floors, commercial grade mix, minimum of 4" crushed base course underneath all interior and exterior flat concrete.

Install minimum 4" clean stone and perimeter drain system connected to sump pit or day lighted if grade allows.

---

**1403 Damp-proofing**

Deco sprayed Damp-proofing Membrane on exterior walls below grade where exterior grade exceeds interior grade (excluding exterior garage walls).

---

**1.5 Rough Structure**

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**1500 Framing**

All lumber and framing materials sized and spaced per approved construction drawings. Materials, where applicable, to be kiln dried.

The first piece of wood installed on the foundation (sill plate) is installed with foam barrier sealer to help with air infiltration at the foundation level, and the 1st piece of wood is typically a chemically treated lumber to minimize the risk of decay where in contact with the foundation. Walls are typically 2x6 dimensional lumber. Floor and roof systems are designed and sized depending upon the distance between supports.

The floor sheathing or subfloor is the material that is put down to hold the final flooring materials.

Floor sheathing to be 3/4" structural tongue and groove Oriented Strand Board installed per code.

Wall and roof sheathing to be 1/2" nom. (7/16) oriented strand board installed per code using H clips where applicable.

Floor framing to be Engineered Floor Truss system or as called out on approved plans.

Floor sheathing (subfloor) materials installed per plans and drawings.

Roof Trusses or Rafters to be per construction Drawings, and sized for appropriate spans between supports.

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**1.6 Roof**

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**1600 Roofing Specifications**

30 year Architectural Asphalt shingles, Titanium felt paper with ice and water shield at eaves, and valleys per code with drip edge. Ridge venting to be cobra or equivalent venting. No Snow-breaks will be installed by Legacy.

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**1.7 Exterior Finishes**

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**1700 Exterior Design Board**

Exterior Design Board

---

**1700.1 Exterior Siding & Trim**

LP SmartSide siding is installed according to the construction drawings. 6" Lapsiding w/ 4" reveal to meet Deadwood Historic Preservation Requirements.

LP SmartSide Exterior Trim per construction drawings.

Rollex metal soffits and fascia on all overhangs and eaves.

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**1704 Rain Gutters**

5" Seamless Custom metal gutters and downspouts. Color coordinated with soffit color.

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**1.8 Exterior Structures**

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**1804 Decks**

Decking per plan - Exterior Grade Lumber finished and painted white per plan for decking and railing. Customer selection TBD

No deck is engineered or built to carry a Hot Tub or any size of pool, the builder will not be held liable for any damage or injury caused by placement of these on any deck. Any & all rough cut lumber is not kiln dried which means natural Wood characteristics may possibly become present. These characteristics are as follows but not limited to:

- Shrinking
  - Twisting
  - Cracking/ splinting
  - Pitch/sap possible as product dries
  - Takes stain/ paint differently than kiln dried materials
  - Small burrowing insects may present in any live edge materials. Insects are typically eliminated once product is stained and lacquered.
- 

**2.0 Electrical**

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**2000 Electrical Specifications**

Home lighting plan is to be developed by builder and approved by owners prior to construction. Types and locations of lights for interior and exterior of home will be determined at that time.

When framing is complete, homeowner may walk house with electrician and decide final lighting locations before electrical pre-wire. A lighting fixture list will be developed from this walk through.

An allowance is included for homeowner to select lights based upon the fixture list that is compiled.

---

**2000.55 Low Voltage Electronics Perceived Upgrades**

Allowance for cable and ethernet, audio system wiring, security system wiring, surround system, and any other low voltage electronics customer upgrades

---

**2.1 Plumbing & Gas Lines**

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**2100 Plumbing Specifications**

Color of Fiberglass: White  
Color of Faucets: Black  
Toilets: Comfort Height, Elongated, White

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**2101 Kitchen**

Kitchen-

Type of Countertop: Granite

Sink: Double bowl undermount composite

Faucet: Moen Genta single handle faucet Black

Disposal: yes

Kitchen strainer & disposal ring: match faucet color

---

**2102 Master Bathroom**

Master Bathroom:

Type of Countertop: Granite

Sink: Oval white undermount porcelain

Faucet: Moen Single Handle Genta Black

Valve for shower: 1 Moen Single Handle Genta Black

Shower: 5' Fiberglass Tub Shower with tiled surround.

---

**2103 2nd Bathroom**

2nd Bathroom-

Type of Countertop: Granite

Sink: Oval white undermount porcelain

Faucet: Moen single handle Genta Black

Valve for tub/shower: 2 Moen Genta Black

Shower: Walk-In Tiled Shower per plan w/ glass shower door.

Tub: Freestanding tub per plan w/ tiled surround.

---

**2104 3rd Bathroom**

3rd Bathroom-

Type of Countertop: Granite

Sink: Oval or rectangle white undermount porcelain

Faucet: Moen Genta Black

Valve for tub/shower: 1 Moen Genta Black

Fiberglass or Custom: 5' Fiberglass tub shower w/ tiled surround.

---

**2104.5 4th Bathroom**

4th Bathroom-

Type of Countertop: Granite

Sink: Oval or rectangle white undermount porcelain

Faucet: Moen Genta Black

Valve for tub/shower: 1 Moen Genta Black

Fiberglass or Custom: 5' Fiberglass tub shower w/ tiled surround.

---

**2107 Laundry Room**

Laundry Room-

Stacked W/D Unit Per Plan.

Shelf w/ closet rod per plan.

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**2108 Water Heater**

Water Heater

Dual gas tankless on-demand water heater units.

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**2108.5 Recirculating**

Recirculating Pump and Lines

**2109 Hose Bibs**

2 Exterior frost-free Hose Bibs

**2110 Softener Loop**

Water Softener Loop for future softener

**2111 Sprinkler Stub-out**

Sprinkler Stub-out for future sprinkler system

**2112 Sump Pump and Piping**

Sump Pump and piping to exterior

**2113 Water Heater Gas Line**

Gas Line to Water Heater

**2114 Furnace Gas Line**

Gas Line to Gas Furnace

**2115 Range Gas Line**

Range Gas Line

**2116 Fireplace Gas Line**

Fireplace Gas Line

**2117 Garage Heater Gas Line**

Garage Heater Gas Line

**2118 BBQ Gas Line**

BBQ Gas Line

**2.2 HVAC****2200 HVAC**

System locations to be set at best location for system performance.

+95% efficiency Gas Furnace with A/C &amp; Custom Metal Ductwork

One traditional, forced-air HVAC system on main floor.

One traditional, forced air HVAC system on second floor.

Ductless mini-split heating and cooling system on third floor.

**2201 Range Hood - vented outside**

Range hood (provided by Owner) vented outside of wall or roof

**2.3 Insulation**

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**2300 Insulation**

R-23 Blown-in Fiberglass BIB system insulation in exterior 2x6 above grade walls.

R-52 Blown Fiberglass insulation in attic/roof spaces.

R-19 insulation as needed where there is no access for blown insulation.

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**2.4 Drywall**

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**2400 Drywall**

All drywall to be 1/2" installed with screws in field, perimeter nails, taped and textured.

Knockdown texture on walls and ceilings. All corners rounded.

Wet areas to include moisture resistant drywall. All tile areas to be cement board or Shluter System.

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**2.7 Interior Finishes**

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**2700 Interior Design Board**

Interior Design Board

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**2701 Interior Trim**

Home trim package includes

- 5 1/4" Stained solid wood base boards
- 3 1/2" Stained solid wood casing on doors
- 3 1/2" Stained solid wood casing on windows

All interior doors to be solid wood.

Wood grain print closet shelving in color that coordinates trim color.

Shelving brackets and closet rod coordinating with other hardware.

Stains will exaggerate grains and marking in wood, grain radiation and color change should be expected.

Wood exhibits other defining characteristics such as mineral deposits/streaks, knots, sap runs, and holes.

While every effort will be made to bring the stain as close as possible to the intended color it is a natural material and will vary.

---

**2701.1 Interior Closet Shelving**

Interior Closet Shelving Allowance

- 1 rod and Shelf (12") in bedroom closets
  - 4 shelves in linen and pantry (Depth of shelf depending on size of Room)
  - Complimentary upgrade in Master Closet dependent on size and shape of closet (includes more than one shelf and rod)
-

---

**2705.2 Interior Stairs: Wood Treads & Metal Risers**

Stairway style for:

Crawlspace rising to main floor per plan.

Main Floor rising to second floor per plan.

Second Floor rising to third floor per plan.

Wood Treads & Metal Risers. \*Paint/Stain Color selection TBD\*

---

**2706 Interior Railing**

Interior Railing Style

-Post Style - Selection TBD

-Railing Style - Selection TBD

-Material - Selection TBD

---

**2707 Interior Doors**

Solid Poplar wood Interior Doors stained to coordinate with Cabinetry.

Stains will exaggerate grains and marking in wood, grain radiation and color change should be expected.

Wood exhibits other defining characteristics such as mineral deposits/streaks, knots, sap runs, and holes.

While every effort will be made to bring the stain as close as possible to the intended color it is a natural material and will vary.

---

**3.0 Windows & Exterior Doors**

---

**3001 Windows**

Andersen 100 series Windows according to plan.

Interior trimmed and cased with wood.

Screens included with opening Windows.

---

**3003 Other Exterior Doors**

Bayer-Built smooth Fiberglass painted. No Storm or Screen Doors included.

---

**3007 Door Hardware**

Schlage or Kwikset lever style door handles. All keyed hardware to be keyed alike with the exception of French Doors

Keypad dead bolt on front door with passage lever. Standard dead bolts on all other exterior doors.

Please specify specific areas of home that will require a different hardware than standard to be used:

-Bedroom and Bathrooms - Privacy (locking)

-Closets/Pantry - Passage (non-locking)

-Exterior Doors - Keyed Entrance (locking with keys) \*\*This excludes the front door due to the keypad dead bolt

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**3.2 Landscaping**

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**3200 Landscaping Specifications**

Black dirt set off to side will be replaced to a rough-grade.

Legacy will have drainage at a minimum of 1/4" per foot away from structure. We may accomplish this at our discretion by grading existing soils, drains, gutters, trenches, culverts, etc. to meet local building inspection codes.

The homeowner is responsible for maintaining the drainage after closing.

---

**3.3 Walk Through Inspection**

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**3300 Final Walk Through**

A final walk through inspection with the homeowner will be performed prior to closing.

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**3.4 Appliances**

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**3400 Appliances**

No appliances are included. Legacy does not install any appliances. Specifications and details on appliances are for information purposes only.

The homeowner must provide and verify appliance details and specs before cabinets are ordered so that every effort can be made to accommodate non-standard sizes and specs, otherwise standard sizes will be used.

Legacy has no responsibility or liability for the warranty of any appliances and damage to or by appliances.

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**3.4 Completion**


---

**3400 Building Clean-Up**

Home to be cleaned by a professional cleaning service. Final detailed cleaning to be performed prior to final Orientation with Project Manager.

Dumpsters to be provided as necessary to store and remove debris.

Portable Bathroom Facilities shall be maintained on site in good condition for duration of project.



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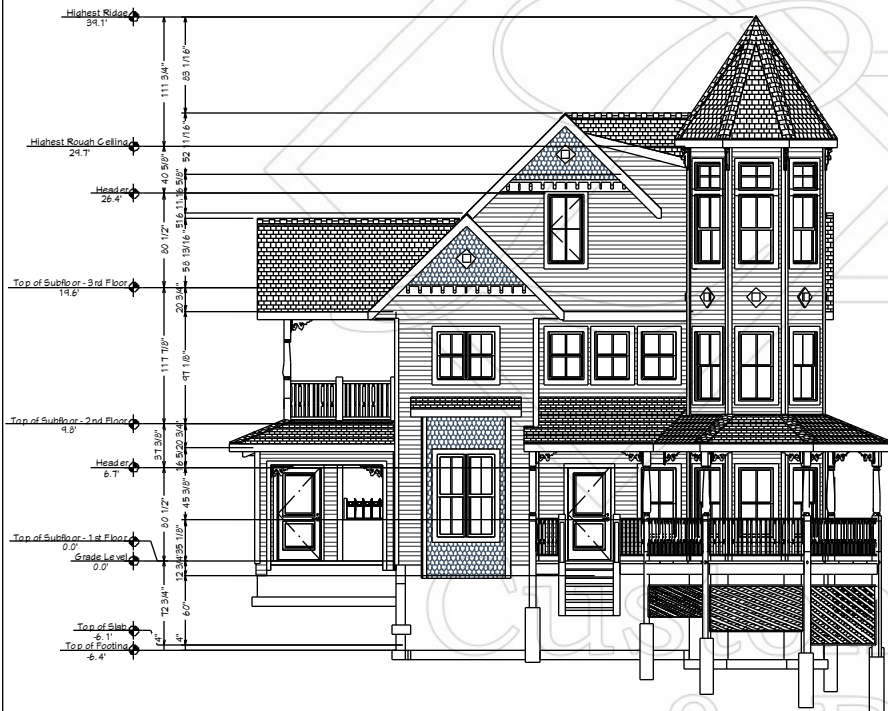
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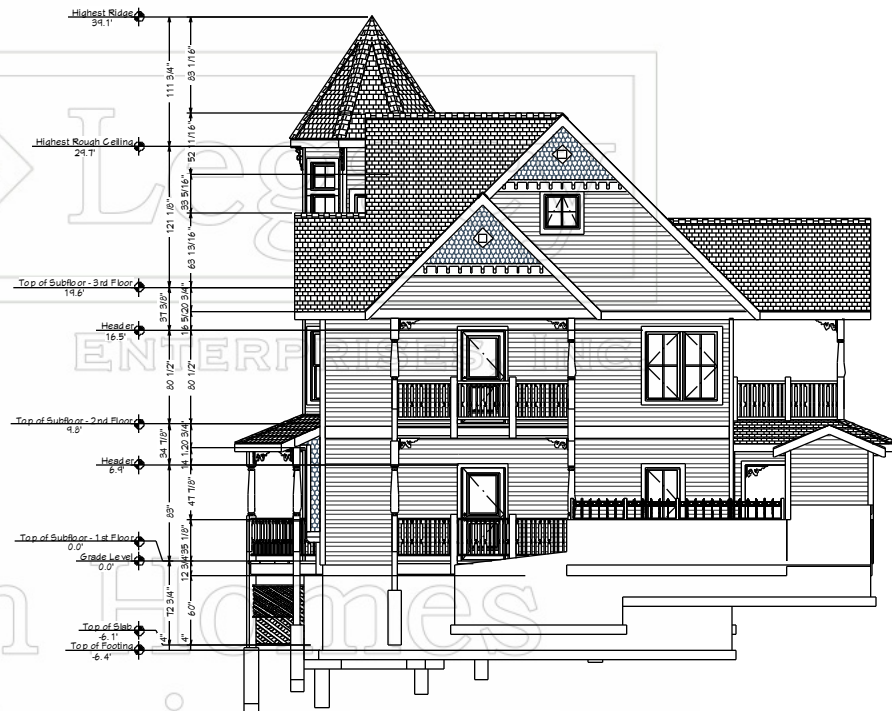
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Exterior Elevation Front



Exterior Elevation Back

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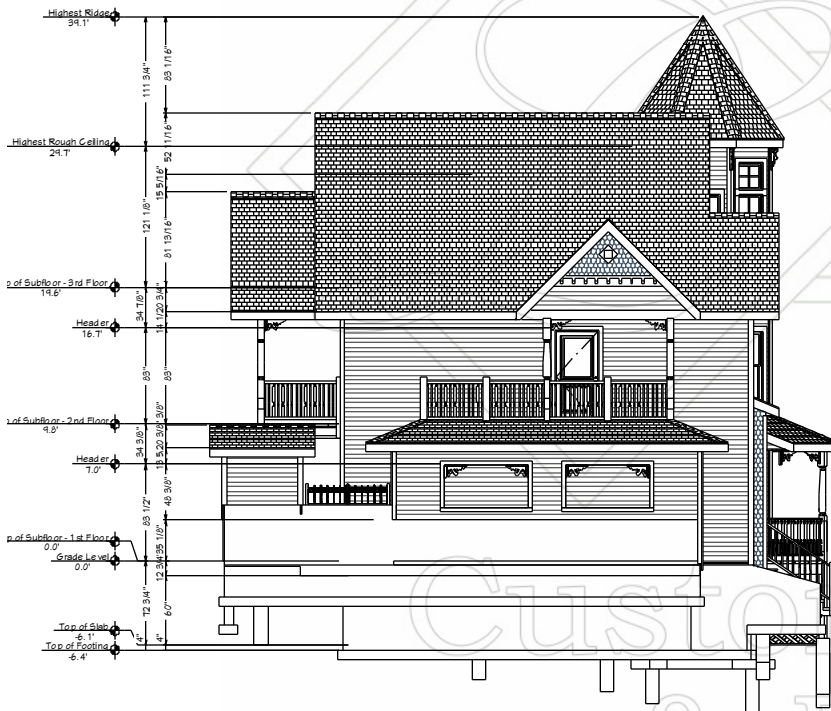
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## Exterior Street Elevations

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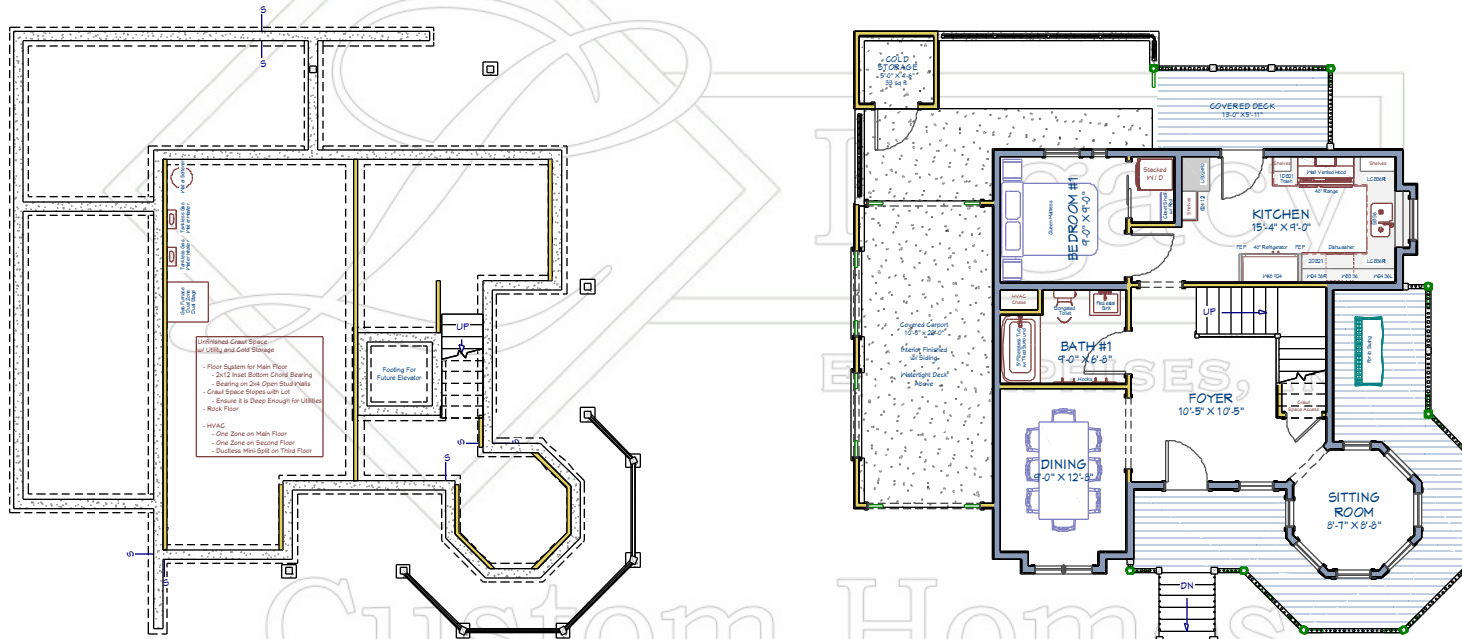
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Crawlspace  
Main Floor 773 sq ft

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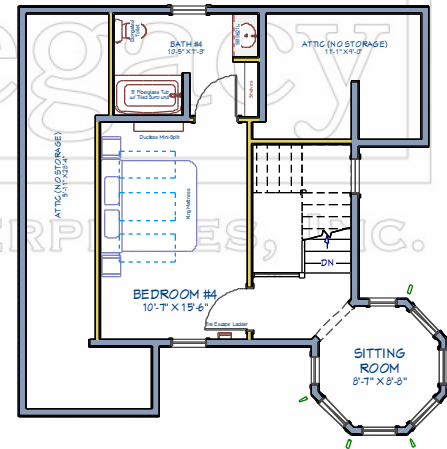
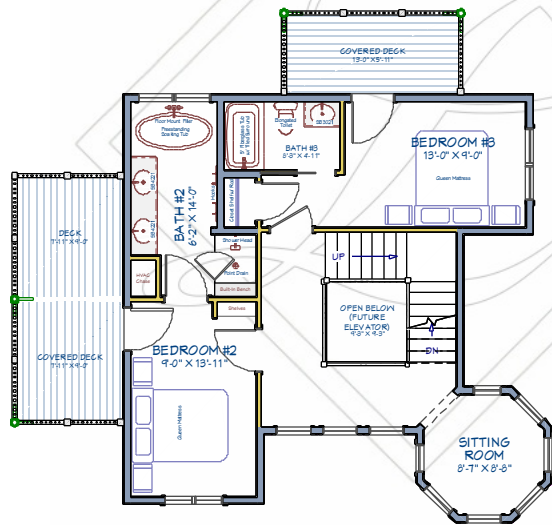
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3rd Floor 457 sq ft

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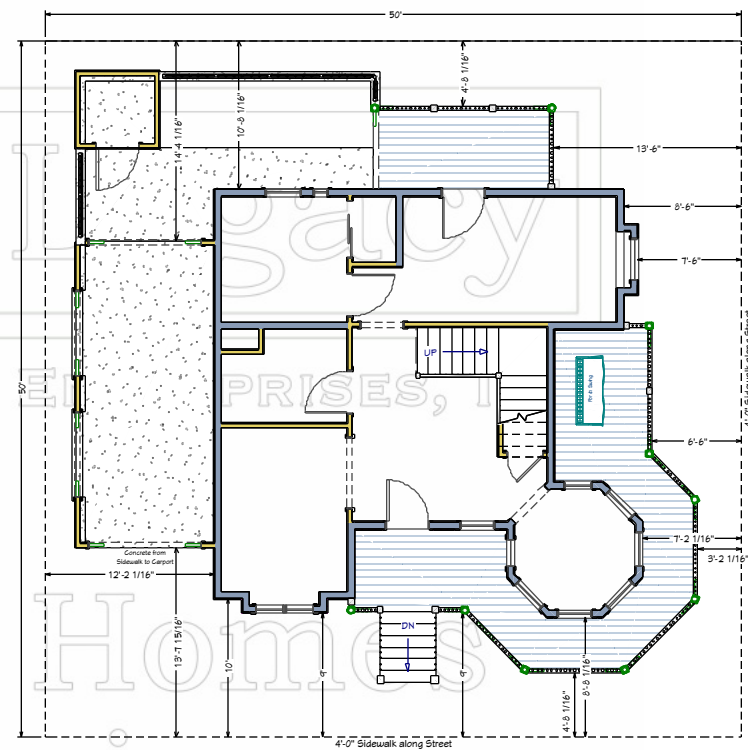
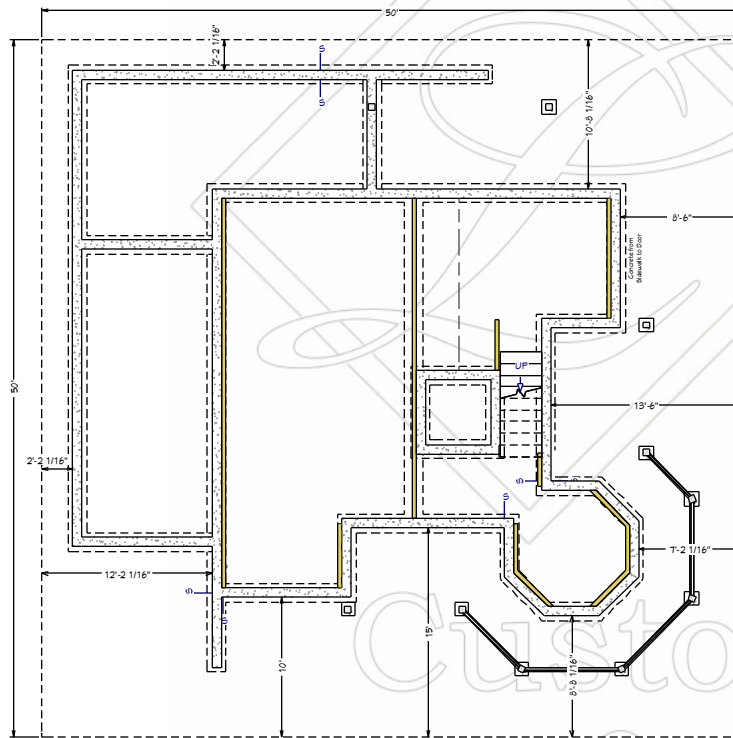
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Preliminary Expanded Site Plans

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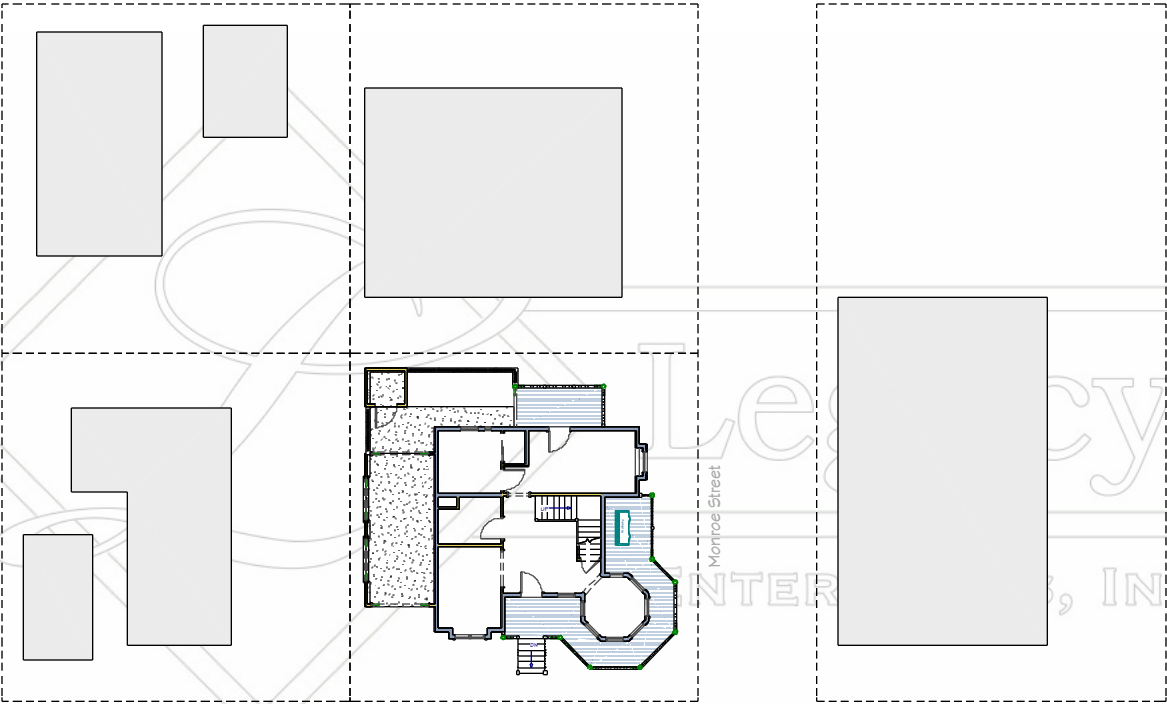
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Washington Street

Monroe Street

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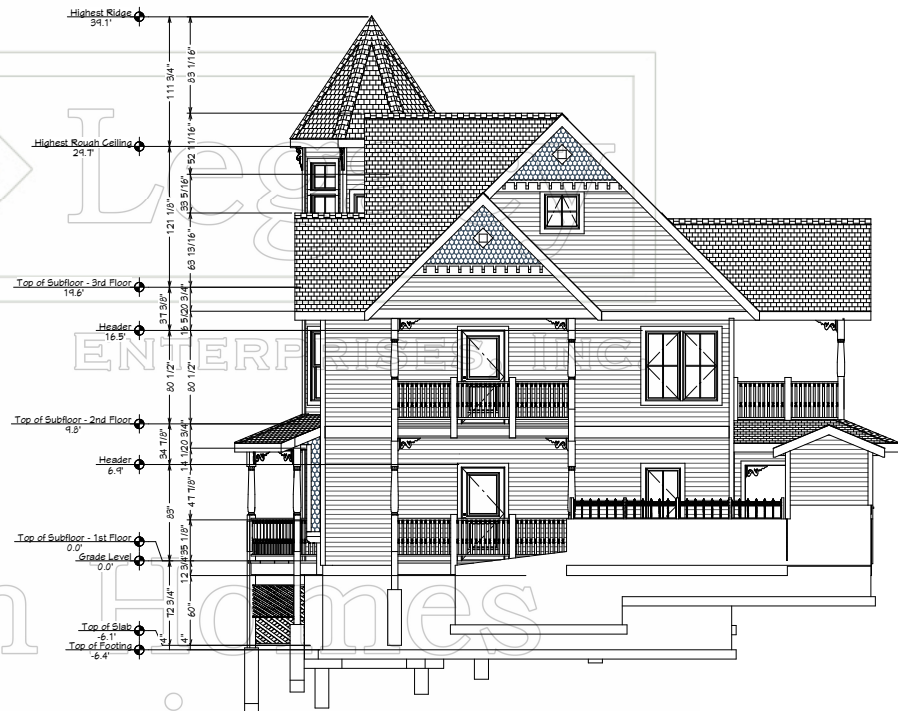
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Exterior Elevation Front



Exterior Elevation Back

Preliminary Drawing-NOT FOR CONSTRUCTION

CONTRACTORS AND CLIENTS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. ALL DIMENSIONS AND SQUARE FOOTAGES ARE ESTIMATED.

Revision Table		
Date	Description	Revised By

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Exterior Elevations

Fisher

Custom Homes  
& Design  
3024 E. Cornish Blvd., Suite 3  
Bismarck, ND 58103  
(605) 584-0207



DATE:

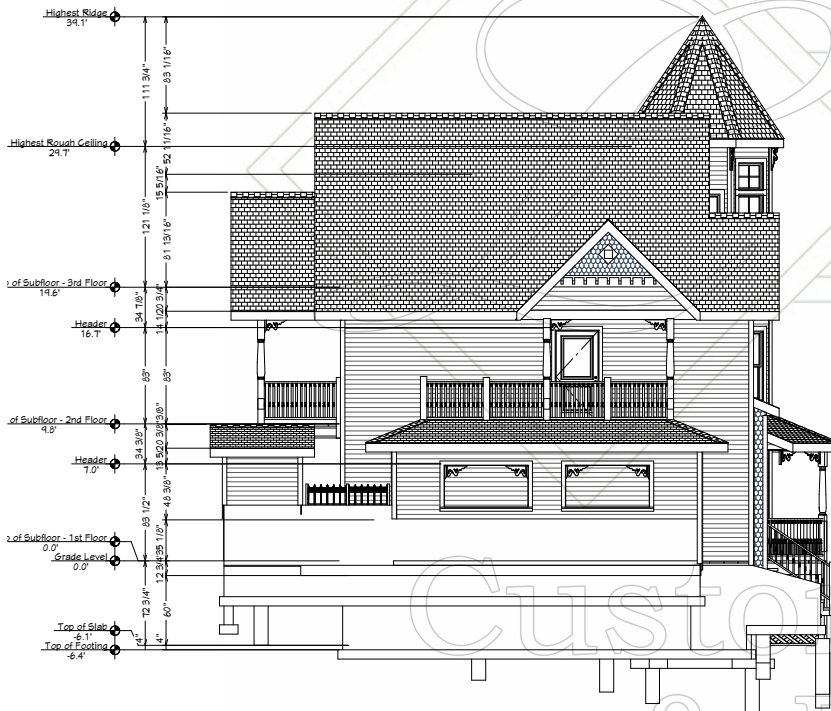
5/30/23

SCALE:

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Page:

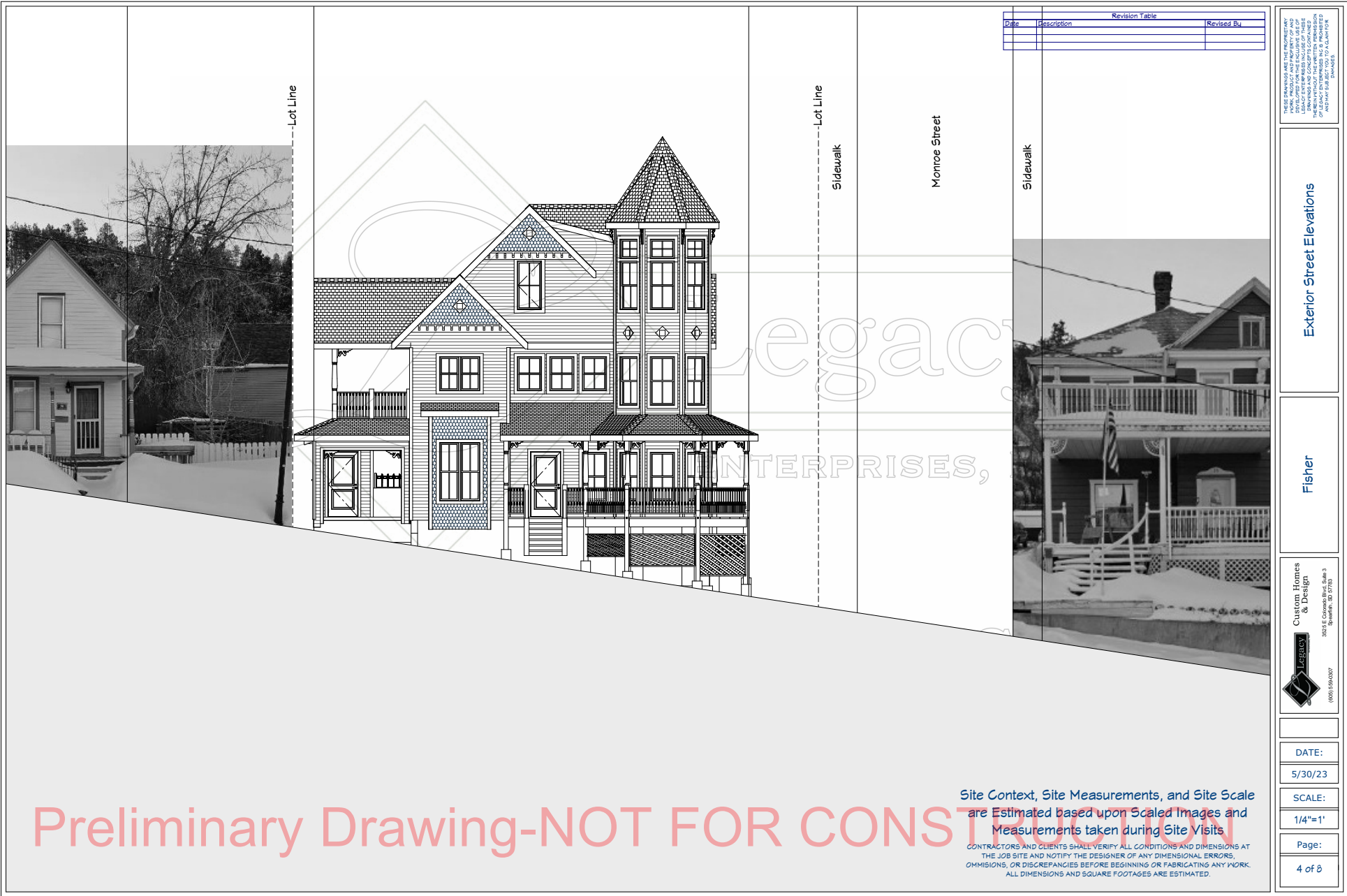
3 of 8

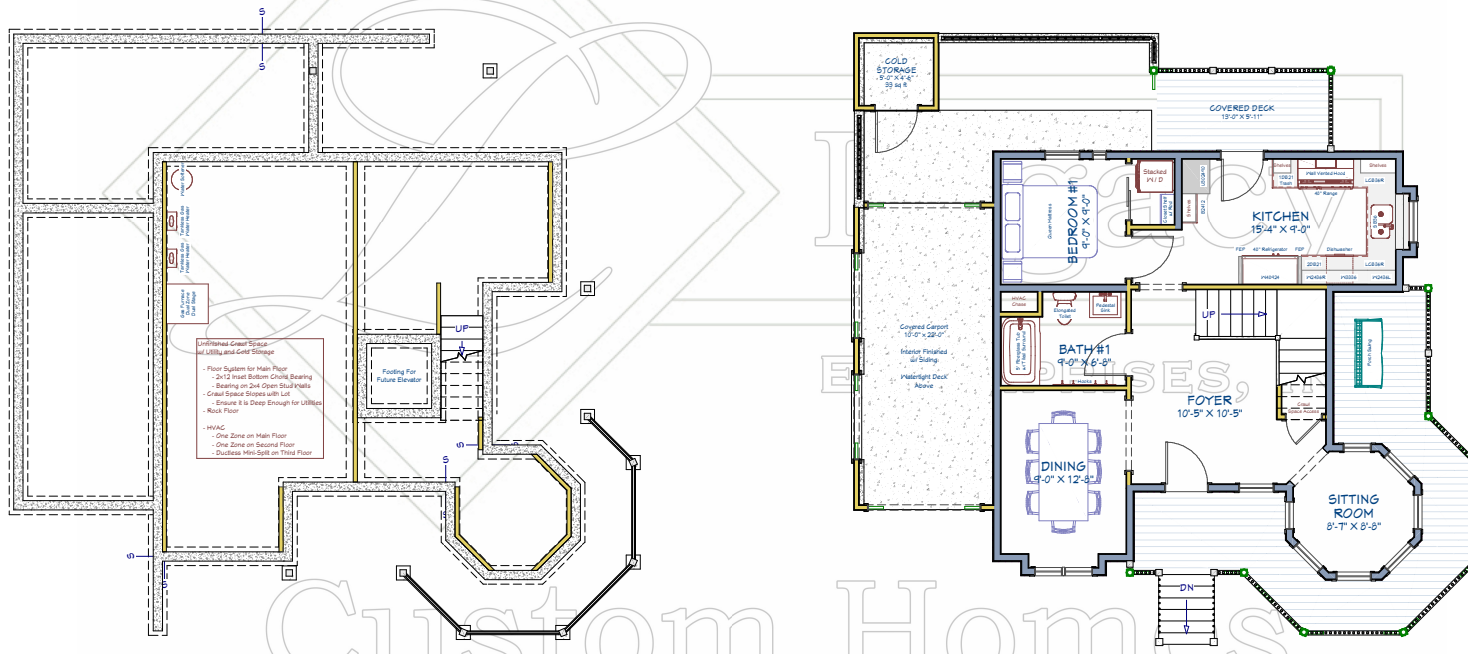


Preliminary Drawing-NOT FOR CONSTRUCTION

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Crawlspace  
Main Floor 773 sq ft

Fisher

Custom Homes  
& Design  
Legacy  
3024 E. Colorado Blvd., Suite 3  
Boulder, CO 80501  
(800) 558-0027

DATE:

5/30/23

SCALE:

1/4"=1'

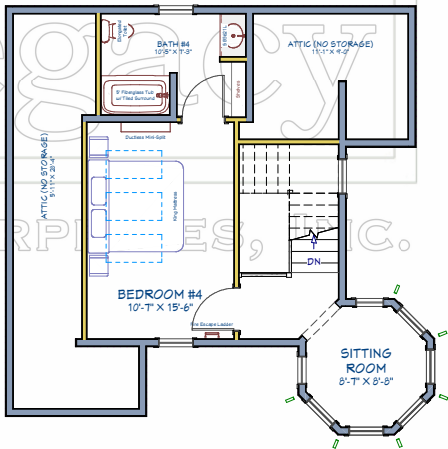
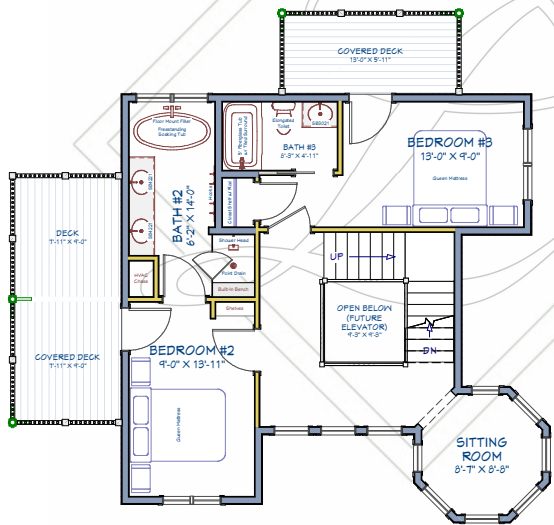
Page:

5 of 8

Preliminary Drawing-NOT FOR CONSTRUCTION

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Revision Table		
Date	Description	Revised By



2nd Floor 762 sq ft  
3rd Floor 457 sq ft

Fisher

Custom Homes  
& Design  
3024 E. Corns Road, Suite 3  
Bismarck, ND 58103  
(605) 588-0207

DATE:  
5/30/23  
SCALE:  
1/4"=1'  
Page:  
6 of 8

Preliminary Drawing-NOT FOR CONSTRUCTION

CONTRACTORS AND CLIENTS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. ALL DIMENSIONS AND SQUARE FOOTAGES ARE ESTIMATED.

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Revision Table			
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Preliminary Site Plans

Fisher

Custom Homes & Design  
3024 E. Colorado Blvd., Suite 3  
Boulder, CO 80501  
(800) 558-0207

DATE:

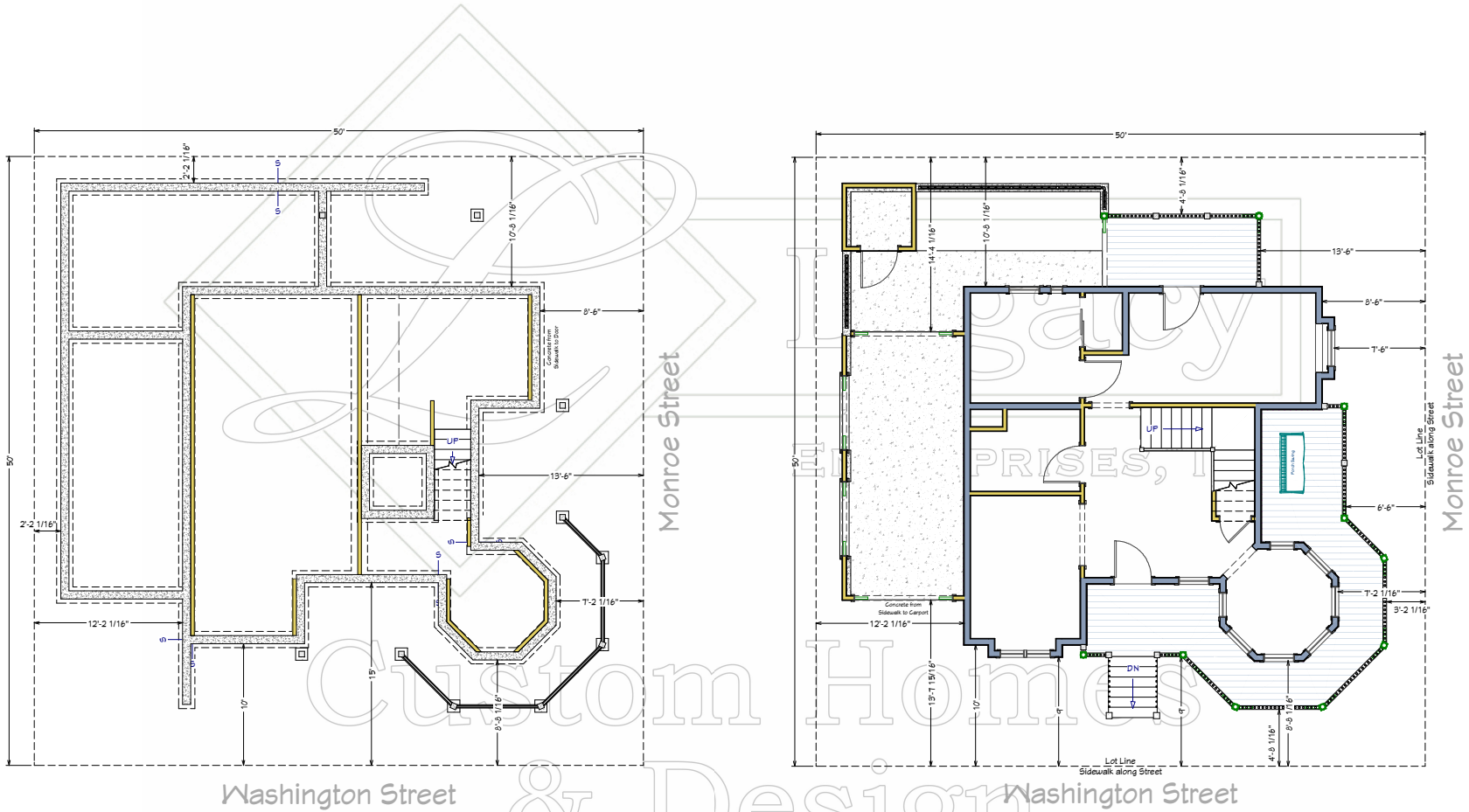
5/30/23

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CONTRACTORS AND CLIENTS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. ALL DIMENSIONS AND SQUARE FOOTAGES ARE ESTIMATED.

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Preliminary Expanded Site Plans

Fisher

Custom Homes  
& Design  
3024 E. Colorado Blvd., Suite 3  
Boulder, CO 80501  
(303) 440-0207

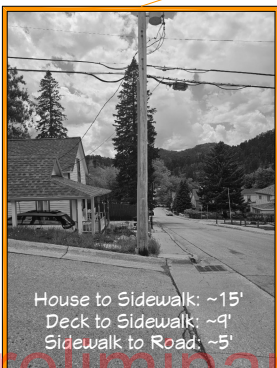
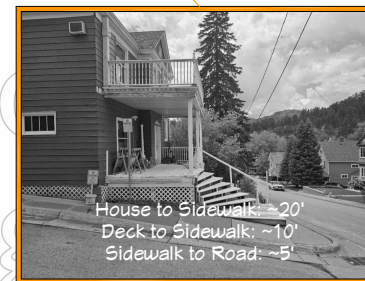
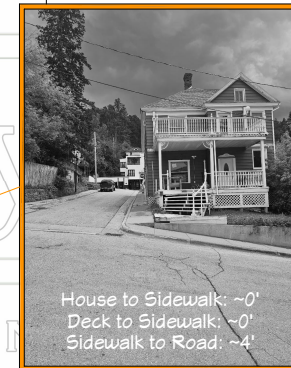
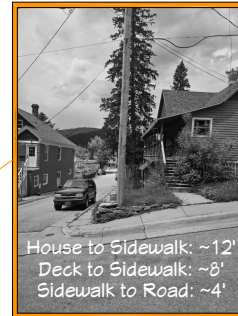
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5/30/23

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Page:

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Site Context, Site Measurements, and Site Scale  
are Estimated based upon Scaled Images and  
Measurements taken during Site Visits

CONTRACTORS AND CLIENTS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT  
THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS,  
OMMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.  
ALL DIMENSIONS AND SQUARE FOOTAGES ARE ESTIMATED.

Date: June 07, 2023

Case No. 230060 Address:  
130 Charles St.

### Staff Report

The applicant has submitted an application for Project Approval for work at 130 Charles St., a contributing structure located in the Cleveland Planning Unit in the City of Deadwood.

Applicant: Rick Ensminger  
Owner: ENSMINGER, RICK L & BARBARA L  
Constructed: c 1938

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

##### 1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the growth and economic activity which took place in Deadwood and the northern Black Hills from the late 1920s until World War II. Spurred by resurgence in local mining activity, Deadwood experienced a period of expansion and new construction during these decades not seen since the nineteenth century. In Deadwood, residential construction from this period commonly borrowed from one or more earlier, traditional forms. These houses could display elements of Tudor, Colonial, or Cape Cod design.

##### 2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to remove the existing deck on the back of the structure. Replace with new deck of same dimensions and design. Plan to use a composite material of matching color of house.

**Attachments:** Yes

**Plans:** Yes

**Photos:** Yes

#### Staff Opinion:

The proposed changes is a replacement of deteriorated materials on the existing deck on the rear of the resource, the deck was approved previously by the Deadwood Historic Preservation Commission. The proposed work and changes does not encroach upon, damage or destroy a historic resource nor does it have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.





**Motions available for commission action:****A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

---

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:****B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



FOR OFFICE

Section 8 Item c.

Case No. 23 6000

☒ Project Approval

☐ Certificate of Appropriateness

Date Received 6/5/23

Date of Hearing 6/14/23

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
Deadwood Historic Preservation Office  
108 Sherman Street  
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

### PROPERTY INFORMATION

Property Address: 130 CHARLES

Historic Name of Property (if known):

### APPLICANT INFORMATION

Applicant is: ☒ Owner ☐ contractor ☐ architect ☐ consultant ☐ other \_\_\_\_\_

Owner's Name: RICK ENSMINGER

Address: Box 276

City: HAYTUN State: CO Zip: 80731

Telephone: 970-520-0705 Fax: \_\_\_\_\_

E-mail: ENSMINGER@HAYHUTEL.NET

Architect's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contractor's Name: DAN VON MOOS

Address: \_\_\_\_\_

City: DEADWOOD State: SD Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Agent's Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

### TYPE OF IMPROVEMENT

- |  |                                       |                                      |   |
|--|---------------------------------------|--------------------------------------|---|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition    | <input checked="" type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction                | <input type="checkbox"/> Re-Roofing   | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting              |
| <input type="checkbox"/> General Maintenance             | <input type="checkbox"/> Siding       | <input type="checkbox"/> Windows     | <input type="checkbox"/> Porch/Deck                     |
| <input type="checkbox"/> Other _____                     | <input type="checkbox"/> Awning       | <input type="checkbox"/> Sign        | <input type="checkbox"/> Fencing                        |



FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>				
Project Start Date: <u>JUNE 23</u> - Project Completion Date (anticipated): <u>JULY 23</u>				
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear	
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input type="checkbox"/> Other <u>REPLACE DECK</u>		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____				
<input checked="" type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Note: Please provide detailed plans/drawings				
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> OTHER – Describe in detail below or use attachments				

**DESCRIPTION OF ACTIVITY**

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

REMOVE EXISTING DECK. REPLACE WITH NEW  
DECK OF SAME DIMENSIONS. PLAN TO USE  
A COMPOSITE MATERIAL OF MATCHING COLOR  
OF HOUSE.

FOR OFFICE USE ONLY

Case No. \_\_\_\_\_

## SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

*Bob Ensmeyer* 6-5-23

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

## APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

## Criteria Checklist for Project Approval OR Certificate of Appropriateness

### SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

#### ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

#### RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

#### MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

#### PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

#### NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

