



Historic Preservation Commission Special Meeting Agenda

Monday, July 08, 2024 at 3:00 PM

20845 Majestic Heights Road - Boot Hill Development

1. **Call Meeting to Order**
2. **Roll Call**
3. **Old or General Business**
 - a. PA 240108 - Kim Tschetter - 20845 Majestic Heights Road - Allow reclamation and construction of a building site at Boot Hill Estates
4. **Adjournment**

Date: July 03, 2024

Case No. 240108

Address: 20845 Majestic Heights Rd.

Staff Report

The applicant has submitted an application for Project Approval for work at 20845 Majestic Heights Rd., located within the National Historic Landmark District.

Applicant: Kim Tschetter

Owner: BOOT HILL ESTATES LLC0

Constructed:

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:**1. Historic significance of the resource:**

This undeveloped property is located within the National Historic Landmark District.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to build a road from bottom of property to the top. Level area at bottom of property for parking lot or grass flat. The road will be widened utilizing dirt from bottom lot by hauling up the road. Install culverts, build slopes, and perform reclamation, including topsoil to disturbed areas and hydroseeding. Install Rock checks and armor outfalls of culverts. Please reference the landscape architect's plans for more details.

Attachments: Yes**Plans:** Yes**Photos:** No

Staff Opinion: The City of Deadwood has received an application for a permit to allow "reclamation" and construction of a parking lot on the parcel of land identified as Boot Hill Estates. Plans were submitted after the application had been submitted. To date, no permit has been issued by the City of Deadwood.

At a previous site visit, it was stated that the City would need confirmation that the DANR approval must be obtained for a SWPPP, a set of plans would be submitted for staff review, and an application and permit issued prior to additional work.

After receiving the plans, staff began the review process including establishing the fee based upon the verbal description given from previous site visit and the plans submitted. After staff review of the plans, additional requirements are required under Deadwood Codified Ordinances.

The plans include work outside the "reclamation" project of the road which was the primary purpose of the explained project originally, along with a potential future parking area. Due to the sizeable hillside cut within the National Historic Landmark District, the project requires Project Approval from the Deadwood Historic Preservation Commission for the additional work beyond the "reclamation".

Typically, "reclamation" is the process of restoring or reclaiming land that has been previously used for industrial, commercial, or residential purposes. This appears to be a continuation and completion of the construction of the road pioneered by the previous contractor with a small section now

verbalized as reclamation. This includes adjusting the grades, horizontal and vertical alignments, road width and erosion control. Staff recognizes this portion of the project is positive and will “clean-up” previous work which began a couple years ago but never finalized. The hillsides surrounding the private road will be hydroseeded to expedite the vegetation of the property.

Upon consideration and possible approval from the Deadwood Historic Preservation Commission, a performance bond shall be required from the developer in the amount of the project to secure the completion of improvements. In this case, a minimum of a \$500,000 bond will be required from the developer prior to any work completed.

The plans as submitted include a future parking area which the contractor stated could be utilized as overflow parking if interested by the City of Deadwood. After the most recent site visit, it has been stated the developer is attempting to create a building site as a demonstration of how the land can be altered to allow for future development and market the property for sale. This portion of the project should be considered as a grading project outside of the scope of the “reclamation”.

The plans show 67,040 cubic yards of excavation, it would appear a larger portion of the proposed excavation is to fill the draw and create the future building site. The project does begin to repair and clean-up the scars made under the previous grading done. It is important for the environs to minimize the cuts and alterations of the landscape. While the work previously completed was beyond any scope of work approved by the City, this will begin to vegetate the hillsides making it less obvious.

In the staff’s opinion, the work proposed is beyond staff’s original understanding of the intended scope of work under this project as conveyed in a previous site visit. A Project Approval has been now submitted by the developer and staff has indicated a willingness of the City to hold a special meeting of the Deadwood Historic Preservation Commission to expedite a decision and allow work to continue after the stop work order was verbally given last week.

Staff have conducted site visits with the contractor and owner to review the proposed project to garner a better understanding of the scope of work. Attached are the plans submitted; however, based on last week’s visit, there are changes being made to the plans with the road alignment which are not shown.

The proposed work and changes begin to correct some of the damage and encroachment of previous work completed and does not have more damage or destruction of the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District already done except for the creation of the building site.

Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
**PLANNING, ZONING AND
 HISTORIC PRESERVATION**
 108 Sherman Street
 Telephone (605) 578-2082
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	<u>240108</u>
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	<u>7/3/24</u>
Date of Hearing	<u>7/8/24</u>

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
 Deadwood Historic Preservation Office
 108 Sherman Street
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 20845 Majestic Heights Road, Deadwood, SD 57732

Historic Name of Property (if known): _____

APPLICANT INFORMATION

Applicant is: owner contractor architect consultant other _____

Owner's Name: Kim R. Tschetter

Address: 1920 Valley View Ct

City: Huron State: SD Zip: 57350

Telephone: 605-350-4020 Fax: _____

E-mail: kim@lankota.com

Architect's Name: Chris Wehrle, Wyss Associates

Address: 728 Sixth Street

City: Rapid City State: SD Zip: 57701

Telephone: 605-348-2268 Fax: _____

E-mail: chrisw@wyssassociates.com

Contractor's Name: Rogers Construction Inc

Address: 722 14th Street

City: Sturgis State: SD Zip: 57785

Telephone: 605-722-4080 Fax: _____

E-mail: rogersconstruction2@rushmore.com

Agent's Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ Fax: _____

E-mail: _____

TYPE OF IMPROVEMENT

<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Porch/Deck
<input checked="" type="checkbox"/> Other <u>Grading</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

Updated October 9, 2019

FOR OFFICE USE ONLY
Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)					
Project Start Date: <u>07/01/2024</u>		Project Completion Date (anticipated): <u>09/30/2024</u>			
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input type="checkbox"/> Other _____			
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	<input type="checkbox"/> Material		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	<input type="checkbox"/> Alteration to roof	
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement			
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Material _____ Style/type _____ Dimensions _____					
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS		
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New	
		<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____					
<input type="checkbox"/> PORCH/DECK	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement		<input type="checkbox"/> New	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear		
Note: Please provide detailed plans/drawings					
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement		
	Material _____ Style/type _____ Dimensions _____				
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments					

DESCRIPTION OF ACTIVITY

Describe in detail, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. Information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request. Describe in detail below (add pages as necessary).

Build road from bottom of property to the top. Level area at bottom of property for parking lot or grass
flat. Road will be widened utilizing dirt from bottom lot by hauling up the road. Install culverts, build
slopes, and perform reclamation, including topsoil to disturbed areas and hydroseeding. Install rock
checks and armor outfalls of culverts. Please reference architech's plans for more details.

FOR OFFICE USE ONLY	
Case No.	_____

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Kim Tschetter 7/2/2024

 SIGNATURE OF OWNER(S) DATE

 SIGNATURE OF AGENT(S) DATE

 SIGNATURE OF OWNER(S) DATE

 SIGNATURE OF AGENT(S) DATE

 SIGNATURE OF OWNER(S) DATE

 SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Criteria Checklist for Project Approval OR Certificate of Appropriateness

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. ***Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.***

ALL WORK:

- Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- Exterior material description.
- Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- Photograph of existing conditions from all elevations.
- Color samples and placement on the structure.
- Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- Written description of area involved.
- Color photographs or slides of areas involved and surrounding structures if applicable.
- Sample or photo of materials involved.

PAINTING, SIDING:

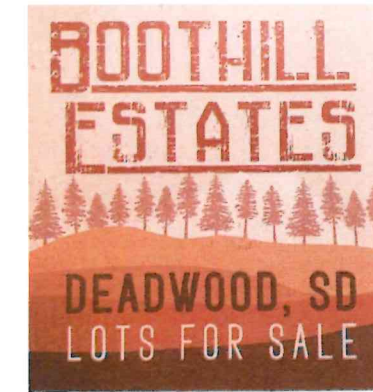
- Color photographs of all areas involved and surrounding structures if applicable.
- Samples of colors and/or materials to be used.
- Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

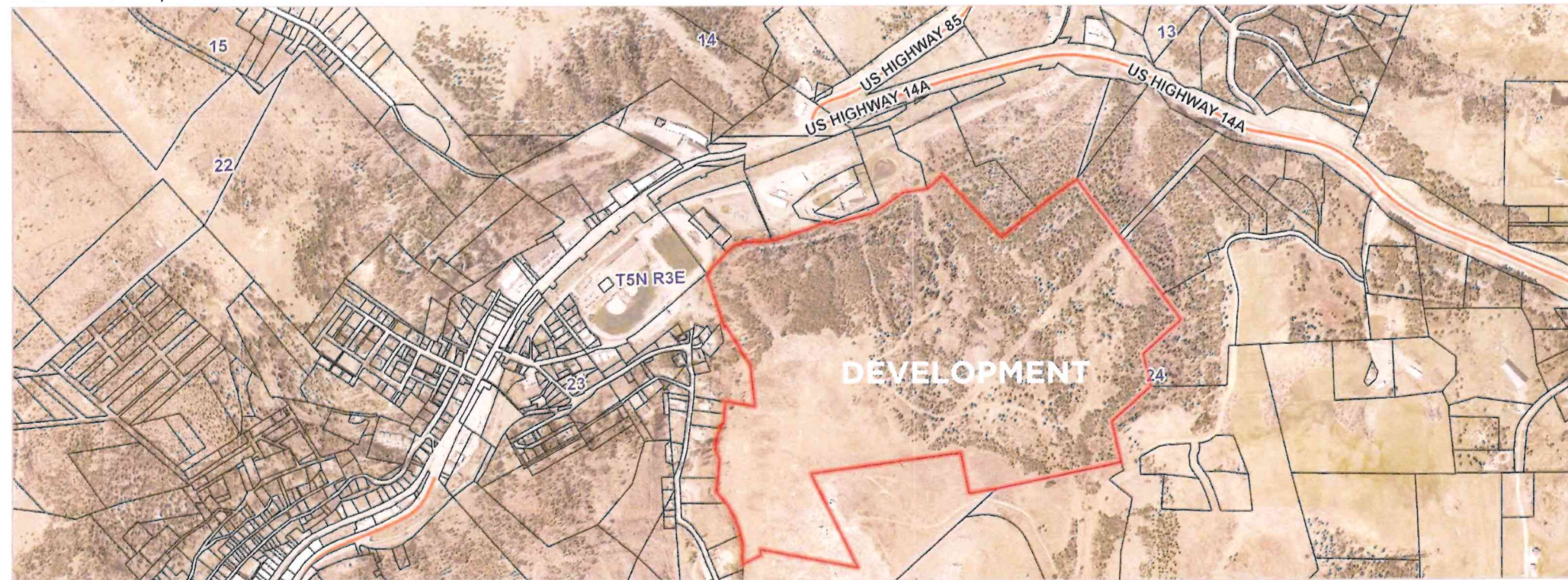
- Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- Photograph of proposed site and adjacent buildings on adjoining properties.
- Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- Material list including door and window styles, colors and texture samples.
- Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- Color photographs of proposed site and structures within vicinity of new building.

BOOT HILL DEVELOPMENT - PHASE 1

JUNE 18, 2024



DEADWOOD, SOUTH DAKOTA



VICINITY MAP

LEGAL DESCRIPTION: M.S. 840 BUENA VISTA TRACT
BEING A PORTION OF M.S. 343, 681, 685, 686, 788, 840,
920 & 1208 SECTIONS 23 & 24-005-03 PLAT 1993-05668
ALL IN TOWNSHIP 5 NORTH, RANGE 3 EAST, BHM,
LAWRENCE COUNTY, SD. 160.53 ACRES



**Know what's below.
Call before you dig.**

The locations of all existing utilities are shown in an approximate location. The Contractor is responsible for coordination and location of all existing utilities. Contractor is fully responsible for any and all damages resulting from the Contractor's failure to exactly locate and preserve any and all existing utilities.

City of Deadwood Public Works Department
108 Sherman Street Deadwood, SD 57732
Phone: (605) 578-3082

I, Christopher M. Wehrle, certify that I have read and understand the provisions contained in the City of Rapid City Standard Specifications for Public Works Construction, current edition and the City of Rapid City's adopted Design Criteria Manuals. The drawings and specifications contained here within, to the best of my knowledge, were prepared in accordance with these documents, or a properly executed Exception to the Design Standards has been obtained.

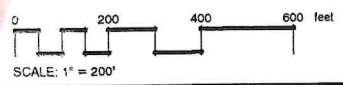
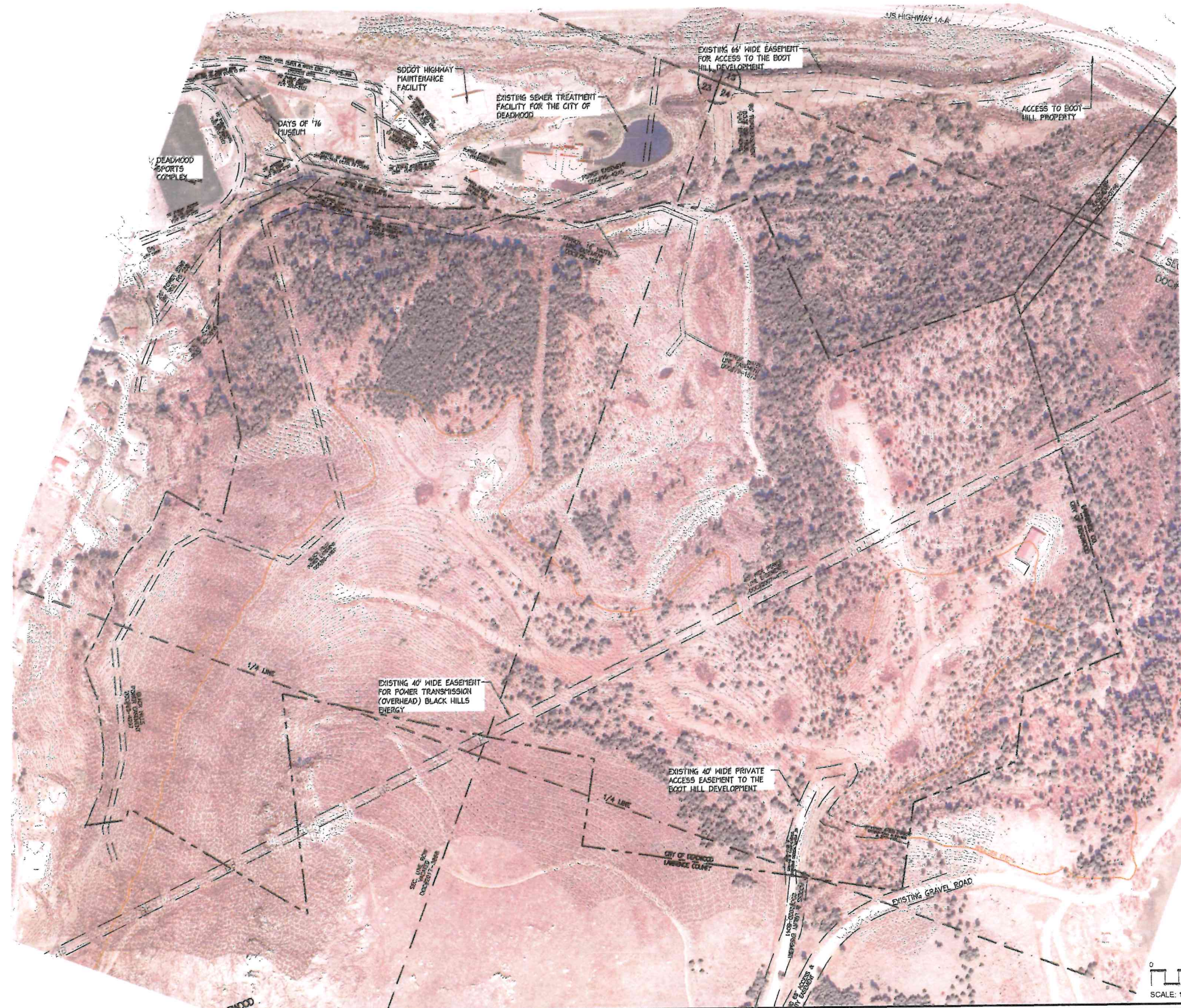
Christopher Wehrle, Landscape Architect Date

INDEX OF SHEETS

- C-1 COVER SHEET
- E-1 EXISTING CONDITIONS PLAN
- LA-1 ESTIMATE OF QUANTITIES & GENERAL NOTES
- LA-2 TYPICAL SECTIONS & DETAILS
- ER-1 EROSION CONTROL NARRATIVE
- ER-2 EROSION CONTROL NOTES
- ER-3 EROSION CONTROL PLAN
- C-1 LAYOUT PLAN
- C-2 GRADING PLAN



Landscape Architecture Land Planning
Golf Course Architecture Historic Preservation
Parks & Recreation Design Corridor and Streetscape
728 Sixth Street - Rapid City, South Dakota 57701-3670
Ph. 605.348.2268 www.wyssassociates.com



Sub Sheet E-1 Sheet _____ OF _____	DESIGNED BY: CMW	NO. REVISION DATE _____ _____ _____ _____ _____	Sheet Title	Project Name		
	DRAWN BY: CAD		Existing Conditions Plan	Boot Hill Estates Phase 1		
	APPROVED BY: CMW					
	PROJECT NO. 231201					
	DATE: JUNE 18, 2024					


Wyss Associates, Inc.
 Landscape Architecture | Land Planning | Streetscape Design
 728 Sixth Street - Rapid City, South Dakota 57701-3670
 Ph. 605.348.2268 | admin@wyssassociates.com www.wyssassociates.com
 Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design

Ownership of Instruments of Service: All reports, plans, specifications, computer files, field data, notes and instruments prepared by the design professional as instruments of service shall remain the property of the design professional. All common law, statutory and other reserved rights including the copyright thereto.

ESTIMATE OF QUANTITIES

Item No.	DESCRIPTION OF ITEM	Unit	Quantity (EST)
1	MOBILIZATION	LS	1.0
2	INCIDENTALS	LS	1.0
3	CLEAR AND GRUB	LS	1.0
4	SURVEYING, STAKING & ASBULTS	LS	1.0
5	EROSION CONTROL	EA	1.0
6	UNCLASSIFIED EXCAVATION	CY	67,040.0
7	18" HDPE PIPE	LF	336.0
8	18" METAL END SECTIONS	EA	4.0
9	36" HDPE PIPE	LF	580.0
10	36" METAL END SECTIONS	EA	4.0
11	36"x18" TEE	EA	2.0
12	CLASS B RIP-RAP	CY	10.0
13	PLACING TOPSOIL (4" MIN)	CY	1,000.0
14	2" RECYCLED ASPHALT SURFACING (OPTIONAL, PER OWNER)	TON	136.0
15	5" COMPACTED BASE COURSE	TON	7,700.0
16	SEEDING & MULCHING	LS	1.0

GRADING CALCULATION

Boot Hill Development - Lower Staging Area Grading Calc

Net Cut	51762	CY
Net Fill	18030	CY
Waste Material (on-site)	33732	CY

notes:

- no shrink factor has been applied to these quantities
- material needed to establish subgrade will be from on-site soils best determined onsite by General Contractor
- earthwork calculations are approximate. Contractor is responsible for calculating their own earthwork quantities.
- all disturbed grades are to be re-seeded with specified seed mix
- borrow areas shall not have any grades that exceed 2:1 slopes
- fill quantity includes 4" of topsoil for all disturbed un paved areas

GENERAL NOTES:

ALL WORK REQUIREMENTS SHOWN ON THESE DRAWINGS AND NOT OTHERWISE DETAILED SHALL BE ACCOMPLISHED AS SPECIFIED IN THE LATEST SPECIFICATIONS FROM THE CITY OF RAPID CITY. CONTRACTOR WILL CONDUCT HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, DEPT OF LABOR PART 1926.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES AND PROTECT THEM FROM DAMAGE. THE LOCATION OF ALL AERIAL AND UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SOME ITEMS MAY NOT BE INDICATED IN THE PLANS. UNDERGROUND UTILITIES, WHETHER INDICATED OR NOT, WILL BE LOCATED AND FLAGGED BY THE UTILITIES AT THE REQUEST OF THE CONTRACTOR. THE CONTRACTOR SHALL NOT BEGIN EXCAVATION IN THE AREA OF UNDERGROUND UTILITIES UNTIL ALL SUCH UTILITIES HAVE BEEN LOCATED AND IDENTIFIED AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGE TO THE UTILITY FACILITY. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE OF REPAIR OR REPLACEMENT OF SAID UTILITIES DAMAGED BY OPERATION IN CONNECTION WITH EXECUTION OF THE WORK. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION EFFORTS WITH ALL LOCAL UTILITY COMPANIES PERTINENT TO PROSECUTION OF THE WORK.
- THE INFORMATION ON THESE DRAWINGS CONCERNING THE TYPE, SIZE AND LOCATION OF UTILITIES HAS BEEN BASED UPON THE INFORMATION AVAILABLE DURING TOPOGRAPHIC SURVEYS. SIZE AND TYPE OF UTILITIES WAS PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES IN PLACE UNLESS THEY ARE SCHEDULED FOR RELOCATION. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE UTILITY COMPANIES. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK.
- THE CONTRACTOR SHALL UTILIZE THE SOUTH DAKOTA ONE CALL NOTIFICATION PROCESS TO PROVIDE ADVANCE NOTICE OF AT LEAST 48 HRS, EXCLUDING WEEKENDS & HOLIDAYS, TO INFORM ALL SOUTH DAKOTA UNDERGROUND FACILITY OPERATORS OF INTENDED EXCAVATION. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES BEFORE WORK IS COMMENCED.
- THE CONTRACTOR IS REQUIRED TO OBTAIN COVERAGE UNDER THE DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES GENERAL STORM WATER CONSTRUCTION PERMIT. CONTACT SD DENR AT 1.800.438.3367. COST OF SWPPP SHALL BE INCIDENTAL TO THE PROJECT. CONTRACTOR SHALL MAINTAIN THE SWPPP THROUGHOUT THE PROJECT UNTIL THE SITE OBTAINS 70% VEGETATION GROWTH.
- AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY & AT THE EXPENSE OF THE CONTRACTOR TO A CONDITION EQUAL OR BETTER THAN EXISTING, AS APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT A PLAN FOR STORAGE, PARKING AND SERVICE AREA(S) FOR REVIEW AND APPROVAL. THE PLAN MUST BE SUBMITTED AND APPROVED ONE WEEK PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AND LICENSES AND SHALL COMPLY WITH ANY AND ALL FEDERAL, STATE AND LOCAL ORDINANCES, LAWS OR REGULATIONS APPLICABLE TO PERFORM THE WORK.
- ALL MATERIAL TO BE REMOVED FOR DISPOSAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL & STATE REGULATIONS.
- ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SAW CUTTING IS INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR WILL PROVIDE CONSTRUCTION STAKING & MATERIAL TESTING.
- ALL ASPHALT BINDERS SHALL BE CONSIDERED INCIDENTAL.

SHOP DRAWINGS

THE CONTRACTOR SHALL SUBMIT ELECTRONIC PDF COPIES OF ALL SUBMITTALS FOR REVIEW TO:
 Chris Wehrle (chrisw@wyssassociates.com)
 Wyss Associates, Inc - 728 6th Street - Rapid City, SD 57701
 AFTER REVIEW, COPIES WILL BE RETURNED TO THE CONTRACTOR WITH ANY REVISIONS NOTED.

GRADING OPERATIONS

PRIOR TO ANY WORK, THE CONTRACTOR (OWNER) SHALL ENGAGE A GEOTECHNICAL ENGINEER FOR PROJECT SITE ANAYSIS. SEE SHEET LA-2 FOR GEOTEHCNICAL ENGINEER REQUIREMENTS AND FURTHER COORDINATION REQUIRED BY CONTRACTOR.

WATER FOR GRADING OPERATIONS (INCLUDING EMBANKMENT CONSTRUCTION & SUBGRADE PREPARATION) SHALL BE INCIDENTAL TO THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR LOADING, HAULING, & APPLICATION OF THE WATER.

CERTIFICATION AND TESTING

SUBMITTALS & CERTIFICATION DOCUMENTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR ALL MATERIALS DELIVERED TO THE SITE. APPROPRIATE SAMPLING & TESTING IN COMPLIANCE WITH THE CITY OF RAPID CITY STANDARD SPECIFICATIONS SHALL APPLY. ADDITIONAL RANDOM DENSITIES, AGGREGATE TESTING, DEPTH MEASUREMENTS, ETC. MAY BE REQUESTED AND SHALL BE PROVIDED AT THE OWNER'S EXPENSE. ANY RETESTING DUE TO FAILED INITIAL TESTS WILL BE PROVIDED AT THE CONTRACTOR'S EXPENSE.

STORM WATER

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS PROJECT. CONSTRUCTION ACTIVITIES CONSTITUTE ARE MORE THAN 1 ACRE OF DISTURBANCE.

ACTION TAKEN/REQUIRED:

AT A MINIMUM AND REGARDLESS OF PROJECT SIZE, APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED TO CONTROL THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.

BASE COURSE

AGGREGATES FOR BASE COURSE SHALL BE 3/4" LIMESTONE LEDGE ROCK AND SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS. ESTIMATED QUANTITIES WERE BASED UPON AN ASSUMED IN PLACE DENSITY OF 1.9 TON/CY. CONTRACTOR SHALL NOT FURNISH BASE COURSE PRIOR TO ENGINEER'S SUBGRADE APPROVAL.

UNCLASSIFIED EXCAVATION, DIGOUTS

CONTRACTOR SHALL OVER EXCAVATE AREAS DEEMED TO BE UNACCEPTABLE FOR PAVING BY THE LANDSCAPE ARCHITECT

WASTE DISPOSAL SITE

CONSTRUCTION AND/OR DEMOLITION DEBRIS MAY NOT BE DISPOSED OF WITHIN THE ROW. THE WASTE DISPOSAL SITE(S) SHALL NOT BE LOCATED IN A WETLAND, WITHIN 200 FEET OR SURFACE WATER, OR IN AN AREA THAT ADVERSELY AFFECTS WLDLIFE, RECREATION, AESTHETIC VALUE OF AN AREA, OR ANY THREATENED OR ENDANGERED SPECIES, AS APPROVED BY THE LANDSCAPE ARCHITECT.

IF THE WASTE DISPOSAL SITE(S) IS LOCATED SUCH THAT IT IS WITHIN VIEW OF ANY ROW, THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL APPLY:

THE ABOVE REQUIREMENTS WILL NOT APPLY TO WASTE DISPOSAL SITES THAT ARE COVERED BY AN INDIVIDUAL SOLID WASTE PERMIT AS SPECIFIED IN SDCL 34A-6-58, SDCL 34A-6-1.13, AND ARSD 74:27:10-06.

FAILURE TO COMPLY WITH THE REQUIREMENTS STATED ABOVE MAY RESULT IN CIVIL PENALTIES IN ACCORDANCE WITH SOUTH DAKOTA SOLID WASTE LAW, SDCL 34A-6-1.31.

ALL COSTS ASSOCIATED WITH DISPOSING OF WASTE, MAINTAINING CONTROL OF ACCESS (FENCE, GATES, AND SIGNS), AND RECLAMATION OF THE WASTE DISPOSAL SITE(S) SHALL BE INCIDENTAL TO THE VARIOUS CONTRACT ITEMS.

TRENCH EXCAVATION AND BACKFILL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE EXCAVATION COMPLYING WITH APPLICABLE STATE AND FEDERAL REGULATIONS. IT IS POSSIBLE THAT IN SOME AREAS SPECIAL FOUNDATIONS MAY BE REQUIRED TO PROVIDE ADEQUATE SUPPORT FOR THE PIPE. SUCH FOUNDATIONS WILL CONSIST OF SUB-EXCAVATION TO A DEPTH AS REQUIRED BY THE ENGINEER AND PLACEMENT OF FOUNDATION MATERIAL.

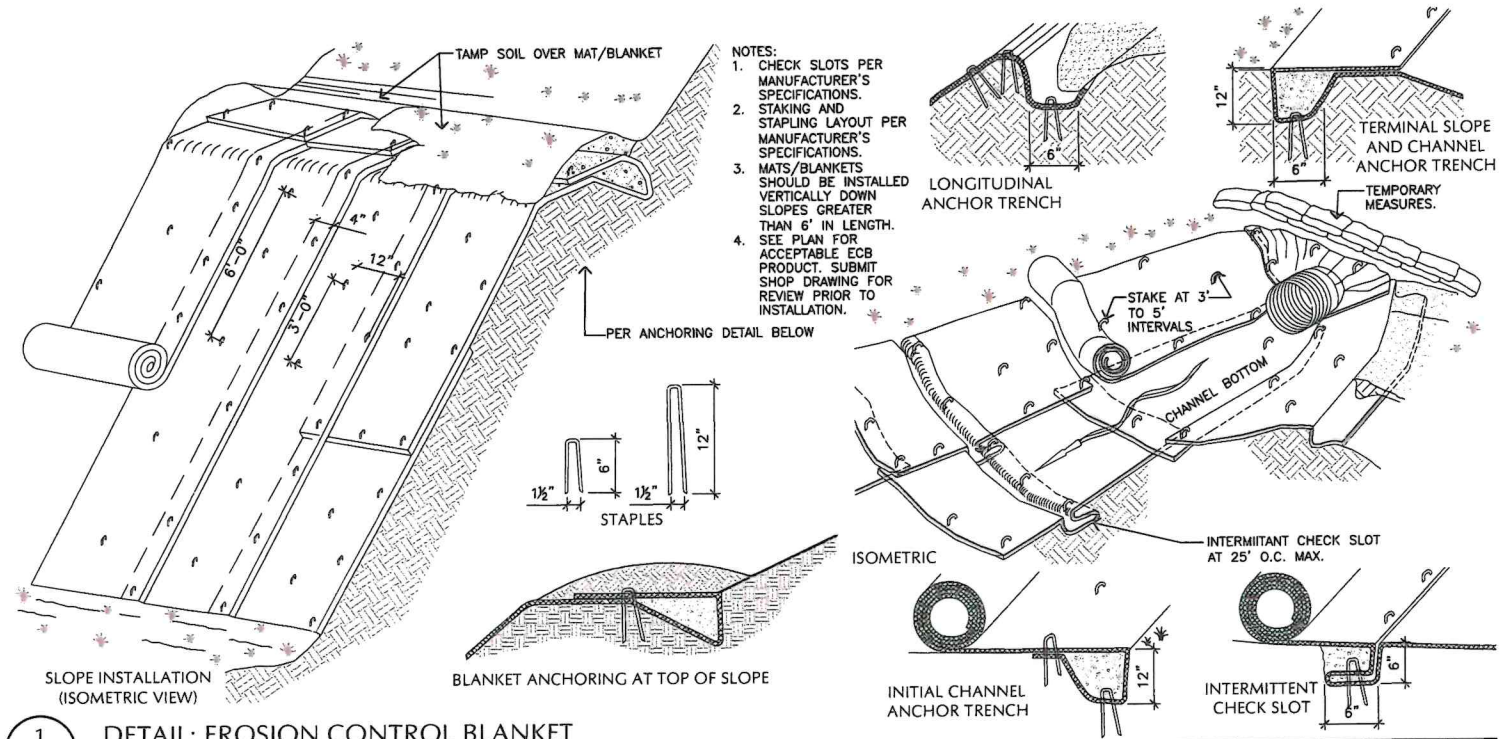
COMPACTION

BACKFILL AND EXCAVATION SHALL BE COMPACTED TO 95% MAXIMUM PROCTOR DENSITY AND 98% TOP 1-FOOT. CONDITION OPTIMUM MOISTURE TO -1% TO +3%.

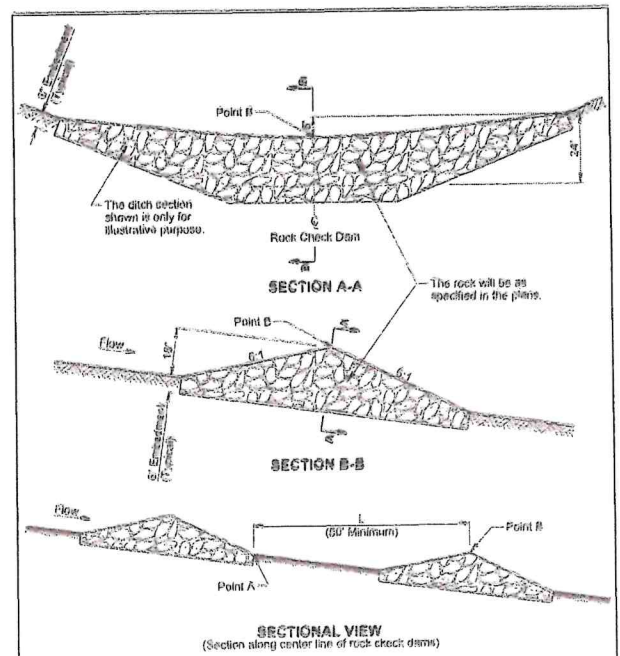
DEWATERING

DEWATERING IS NOT ANTICIPATED PER GEOTECHNICAL REPORT AND IS CONSIDERED INCIDENTAL. DEWATERING ACTIVITIES SHALL BE CONDUCTED IN COMPLIANCE WITH THE "GENERAL PERMIT TO DISCHARGE UNDER THE SURFACE WATER DISCHARGE SYSTEM FOR TEMPORARY DEWATERING ACTIVITIES IN SOUTH DAKOTA", SDDENR PERMIT NO. SDG 070000. A COPY OF THE PERMIT IS AVAILABLE THROUGH SDDENR. THE CONTRACTOR IS REQUIRED TO FURNISH THE "REQUEST FOR AUTHORIZATION" TO DENR REQUIRED UNDER THE PERMIT AND FOR EACH SCHEDULE. OBTAIN DENR AUTHORIZATION, AND FURNISH A SEPARATE COPY OF AUTHORIZATION TO THE RESPECTIVE OWNER AT THE PRECONSTRUCTION CONFERENCE. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING SELF-MONITORING ACTIVITIES INCLUDING SAMPLING, TESTING AND REPORTING AS MAY BE DETERMINED TO BE REQUIRED UNDER THE AUTHORIZATION TO DISCHARGE. PAYMENT FOR OBTAINING THE NECESSARY AUTHORIZATION TO DISCHARGE, AND FOR ALL COMPLIANCE ACTIVITIES AND OBLIGATIONS BY THE CONTRACTOR SHALL BE ABSORBED INTO THE ITEM TO WHICH IT RELATES. NO ADDITIONAL PAYMENT WILL BE MADE.

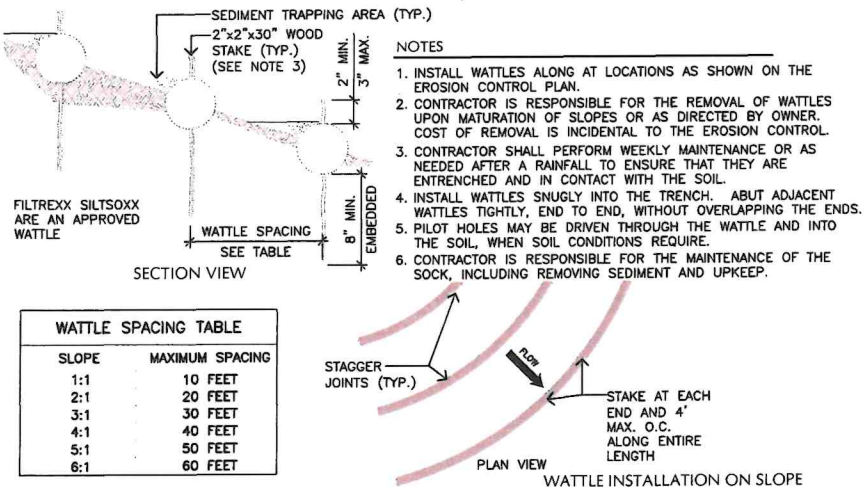
Sub Sheet LA-1 Sheet _____ OF _____	DESIGNED BY: CMW DRAWN BY: CAD APPROVED BY: CMW PROJECT NO. 231201 DATE: JUNE 18, 2024	NO. _____ REVISION _____ DATE _____	Sheet Title <h2 style="text-align: center;">Estimate of Quantities & General Notes</h2>	Project Name <h2 style="text-align: center;">Boot Hill Estates Phase 1</h2> <p style="text-align: center;">Deadwood, SD</p>	Wyss Associates, Inc. Landscape Architecture Land Planning Streetscape Design <small>728 Sixth Street - Rapid City, South Dakota 57701-3670 Ph. 605.348.2268 admin@wyssassociates.com www.wyssassociates.com Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design</small>
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1 **DETAIL: EROSION CONTROL BLANKET**
 LA-2 SCALE: 1/2" = 1'-0"

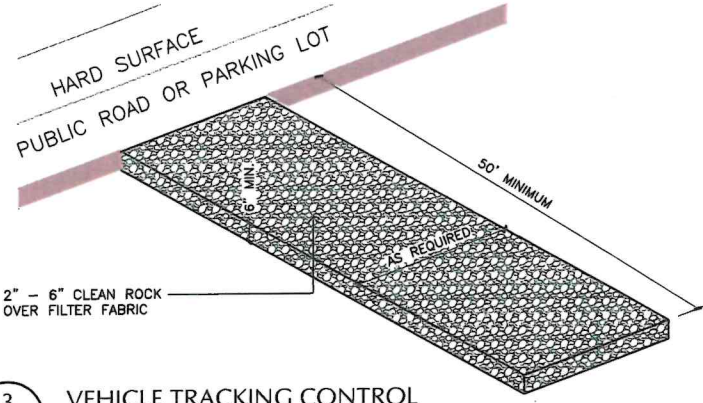


4 **DETAIL: ROCK CHECK DAM**
 LA-2 SCALE: 1" = 10'-0"



WATTLE SPACING TABLE	
SLOPE	MAXIMUM SPACING
1:1	10 FEET
2:1	20 FEET
3:1	30 FEET
4:1	40 FEET
5:1	50 FEET
6:1	60 FEET

2 **DETAIL: WATTLE INSTALLATION (EROSION CONTROL)**
 LA-2 SCALE: 3/4" = 1'-0"



3 **VEHICLE TRACKING CONTROL**
 LA-2 SCALE: 1" = 10'-0"

Sub Sheet <h1 style="margin: 0;">LA-2</h1> Sheet _____ OF _____	DESIGNED BY: CMW DRAWN BY: CAD APPROVED BY: CMW PROJECT NO. 231201 DATE: JUNE 18, 2024	NO. REVISION DATE	Sheet Title <h2 style="text-align: center; margin: 0;">Typical Sections and Standard Details</h2>	Project Name <h2 style="text-align: center; margin: 0;">Boot Hill Estates Phase 1</h2> Deadwood, SD	Wyss Associates, Inc. Landscape Architecture Land Planning Streetscape Design 728 Sixth Street - Rapid City, South Dakota 57701-3670 Ph. 605.348.2268 admin@wyssassociates.com www.wyssassociates.com Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design
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EROSION AND SEDIMENT CONTROL MEASURES

INSTALLATION OF TEMPORARY EROSION CONTROL MEASURES

THE CONTRACTOR SHALL NOT BEGIN THE REMOVAL OF SURFACING OR TOPSOIL WITHIN THE APPLICABLE WORK AREA UNTIL ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES ARE PLACED. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY AS CONSTRUCTION PROGRESSES AND THESE TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN 24 HOURS AT LOCATIONS IDENTIFIED ON THE ESCP.

SURFACE ROUGHENING (SR)

SURFACE ROUGHENING SHALL BE DONE AFTER TOPSOIL PLACEMENT AND BEFORE PERMANENT SEEDING, FERTILIZING, AND MULCHING APPLICATIONS. REFER TO DETAILS. THE EQUIPMENT USED FOR SURFACE ROUGHENING SHALL BE EQUIPPED WITH TRACKS THAT ARE CAPABLE OF CREATING RIDGES IN THE SOIL THAT ARE PERPENDICULAR TO THE SLOPE. THE FINAL CONDITION OF THE SURFACE ROUGHENING SHALL BE APPROVED BY THE ENGINEER.

ALL COSTS ASSOCIATED WITH SURFACE ROUGHENING INCLUDING LABOR, EQUIPMENT, AND MATERIALS SHALL BE INCIDENTAL.

PERIMETER PROTECTION

PERIMETER PROTECTION SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, TO RETAIN SEDIMENT FROM BEING TRANSPORTED OFF THE PROJECT SITE. PERIMETER PROTECTION MAY BE CONSTRUCTED WITH SILT FENCE OR SEDIMENT CONTROL WATTLES. PERIMETER PROTECTION SHALL BE INSPECTED IN ACCORDANCE WITH THE SWPPP AND/OR EROSION SEDIMENT CONTROL PERMIT.

PAYMENT FOR PERIMETER PROTECTION WILL BE PER LINEAR FOOT FOR THE VARIOUS ITEMS USED FOR PERIMETER PROTECTION SUCH AS "SILT FENCE" AND "SEDIMENT CONTROL WATTLE".

SEDIMENT CONTROL WATTLES (SCW)

SEDIMENT CONTROL WATTLES CAN BE USED FOR PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, SLOPE PROTECTION, ETC. AND SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON THE DRAWINGS AND AT LOCATIONS DETERMINED BY THE ENGINEER DURING CONSTRUCTION. REFER TO DETAILS.

THE CONTRACTOR SHALL PROVIDE CERTIFICATION THAT THE SEDIMENT CONTROL WATTLES DO NOT CONTAIN NOXIOUS WEED SEEDS. FOR COMPOST SOCKS THE CONTRACTOR SHALL ALSO PROVIDE CERTIFICATION THAT THE COMPOST USED IS FREE FROM NOXIOUS WEED SEEDS.

THE CONTRACTOR SHALL REMOVE SEDIMENT TRAPPED BY THE WATTLE WHEN THE SURFACE OF THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED WATTLE. DAMAGED AREAS SHOULD BE REPAIRED IMMEDIATELY UNTIL THE VEGETATION IS ESTABLISHED AND GROWING THROUGH THE MATERIAL.

THE SEDIMENT CONTROL WATTLE SHALL BE THE DIAMETER SHOWN ON THE DRAWINGS AND SELECTED FROM THE MANUFACTURERS LISTED BELOW: OR APPROVED EQUAL:

MANUFACTURER PRODUCT NAME

AMERICAN EXCELSIOR COMPANY CURLEX SEDIMENT LOG AND AEC PREMIER STRAW WATTLE ARLINGTON, TX
PHONE: 1-800-777-7645
WWW.AMEREXCEL.COM

FLAXTECH LLC BIOLOG FLAX STRAW WATTLE ROCKLAKE, ND
PHONE: 701-266-5417
WWW.FLAXTECH.NET

DIOTEN ENGINEERING, INC. COMPOST FILTER SOCK RAPID CITY, SD
WWW.DIOTEN.COM

ASPEN RIDGE SILT SOCK
RAPID CITY, SD PHONE 605-415-0695
WWW.SILT SOCKSD.COM

THE CONTRACTOR SHALL INSTALL EROSION CONTROL WATTLES ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SEDIMENT CONTROL WATTLES SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR "SEDIMENT CONTROL WATTLE". PAYMENT FOR ALL MATERIALS, LABOR AND EQUIPMENT NECESSARY TO INSTALL, MAINTAIN, REPAIR, AND REMOVE THE SEDIMENT CONTROL WATTLES SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER LINEAL FOOT.

REMOVE AND RESET SEDIMENT CONTROL WATTLE

SEDIMENT CONTROL WATTLES MAY BE REMOVED AND RESET AS NECESSARY AS WORK PROGRESSES. THE SEDIMENT CONTROL WATTLES REMOVED AND RESET SHALL BE IN USEABLE CONDITION. ALL COSTS FOR REMOVING AND RESETTING THE SEDIMENT CONTROL WATTLES SHALL BE INCIDENTAL.

REMOVE SEDIMENT CONTROL WATTLE

SEDIMENT CONTROL WATTLE SHALL BE REMOVED WHEN VEGETATION IS ESTABLISHED. SOME OR ALL OF THE SEDIMENT CONTROL WATTLE MAY BE LEFT ON THE PROJECT UNTIL VEGETATION IS ESTABLISHED.

EROSION CONTROL BLANKET (ECB)

EROSION CONTROL BLANKET SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON THE DRAWINGS AND AT LOCATIONS DETERMINED BY THE ENGINEER DURING CONSTRUCTION. REFER TO DETAIL.

EROSION CONTROL BLANKETS ARE PLACED INTO THE FOLLOWING CATEGORIES:

- TYPE 1 - USED FOR TEMPORARY STABILIZATION OF SLOPES OF LESS THAN 10H:1V, NOT ALLOWED IN CHANNEL APPLICATIONS;
- TYPE 2 - USED FOR TEMPORARY STABILIZATION OF SLOPES OF 3H:1V OR LESS, CAN BE USED IN LOW GRADIENT DITCHES AND CHANNELS;
- TYPE 3 - USED FOR TEMPORARY STABILIZATION OF SLOPES OF 2H:1V OR LESS, USED IN DITCHES AND CHANNELS; AND
- TYPE 4 - USED FOR TEMPORARY STABILIZATION OF SLOPES OF 1H:1V OR LESS, USED IN DITCHES AND CHANNELS.

THE EROSION CONTROL BLANKET SHALL BE SELECTED FROM THE MANUFACTURES LISTED BELOW; OR APPROVED EQUAL:

MANUFACTURER PRODUCT NAME

AMERICAN EXCELSIOR CO TYPE 1: CURLEX NETFREE, CURLEX I; AEC PREMIER STRAW S ARLINGTON, TX
TYPE 2: CURLEX II; AEC PREMIER STRAW 2
PHONE: 1-800-777-7645 TYPE 3: CURLEX III; AEC PREMIER STRAW/COCONUT 2
WWW.AMEREXCEL.COM TYPE 4: AEC PREMIER COCONUT 2/NET

WESTERN EXCELSIOR TYPE 1 -SS2 RG
MANCOS, CO TYPE 2 - SS2
PHONE: 1-800-833-8573 TYPE 3 - S2 WWW.WESTERNEXCELSIOR.COM TYPE 4 - CC4

THE CONTRACTOR SHALL INSTALL EROSION CONTROL BLANKET ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

EROSION CONTROL BLANKET WILL BE MEASURED TO THE NEAREST SQUARE YARD. MEASUREMENT OF THE OVERLAP AND TOP AND BOTTOM FOLDS WILL NOT BE MADE. EROSION CONTROL BLANKET DAMAGED FROM CAUSES BEYOND THE CONTROL OF THE CONTRACTOR SHALL BE REPLACED AND THE REPLACEMENT QUANTITY ADDED TO THE ORIGINAL QUANTITIES USED.

PAYMENT WILL BE FULL COMPENSATION FOR SHAPING AND FINISHING CHANNEL, INSTALLING MATERIAL AND FURNISHING OF LABOR, EQUIPMENT, STAPLES, MATERIAL, AND INCIDENTALS NECESSARY. PAYMENT WILL BE MADE AT THE CONTRACT UNIT PRICE PER SQUARE YARD FOR "EROSION CONTROL BLANKET".

SHAPING FOR EROSION CONTROL BLANKET

THE AREAS RECEIVING EROSION CONTROL BLANKET SHALL BE SHAPED AS SPECIFIED IN MANUFACTURER'S RECOMMENDATIONS. ALL COSTS FOR SHAPING THE FOR EROSION CONTROL BLANKET INCLUDING LABOR AND EQUIPMENT SHALL BE INCIDENTAL TO THE CONTRACT UNIT PRICE FOR EROSION CONTROL BLANKET .

INLET PROTECTION DEVICE (IPD)

INLET PROTECTION DEVICES SHALL BE INSTALLED TO TEMPORARILY PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING STORM SEWERS AND/OR INLET PROTECTION DEVICES SHALL BE INSTALLED PROMPTLY AFTER CONSTRUCTION OF INLETS OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). THE TYPE OF INLET PROTECTION DEVICE TO BE USED (SEDIMENT CONTROL WATTLES, SILT FENCE, PROPRIETY INLET PROTECTION DEVICES, ETC.) IS DIFFERENTIATED ON THE DRAWINGS AND SHALL BE CONSTRUCTED AT LOCATIONS SHOWN ON THE DRAWINGS. REFER TO DETAILS. PROPRIETY INLET PROTECTION DEVICES SHOULD BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

THE CONTRACTOR SHALL REMOVE SEDIMENT TRAPPED BY THE INLET PROTECTION DEVICE WHEN THE SURFACE OF THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE PROTECTION DEVICE OR IF PROPRIETARY INLET INSERT DEVICES ARE USED, SEDIMENT SHOULD BE REMOVED IN A TIMELY MANNER TO PREVENT DEVICES FROM BREAKING AND SPILLING SEDIMENT INTO THE STORM DRAIN PER THE MANUFACTURERS RECOMMENDATIONS.

INLET PROTECTION DEVICES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THE DRAINAGE AREA FOR THE INLET HAS REACHED FINAL STABILIZATION.

INLET PROTECTION DEVICES WILL BE MEASURED PER EACH TYPE INSTALLED. ADDITIONAL MEASUREMENT WILL BE MADE WHEN A DIFFERENT TYPE OF INLET PROTECTION IS INSTALLED AT EACH LOCATION. NO ADDITIONAL MEASUREMENT WILL BE MADE WHEN THE SAME TYPE OF INLET PROTECTION DEVICE IS REMOVED AND REINSTALLED AT THE SAME LOCATION. INLET PROTECTION DEVICES WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH. PAYMENT SHALL BE FULL COMPENSATION FOR ALL MATERIALS, LABOR, EQUIPMENT, AND INCIDENTALS REQUIRED TO INSTALL, MAINTAIN, AND REMOVE THE INLET PROTECTION DEVICE.

VEHICLE TRACKING CONTROL (VTC)

THE CONTRACTOR SHALL INSTALL VEHICLE TRACKING CONTROL MEASURES AT LOCATIONS AS SHOWN ON THE DRAWINGS. REFER TO DETAILS.

THE CONTRACTOR SHALL MAINTAIN THE VEHICLE TRACKING CONTROL SUCH THAT MUD TRACKING AND SEDIMENT FLOW WILL NOT ENTER THE ROADWAY OR ADJACENT DRAINAGE AREAS. THE VEHICLE TRACKING CONTROL SHALL BE ROUTINELY INSPECTED AND THE CONTRACTOR SHALL REPAIR OR REPLACE MATERIAL AS DEEMED NECESSARY BY THE ENGINEER.

PAYMENT TO CONSTRUCT, MAINTAIN, AND REMOVE THE CONSTRUCTION ENTRANCE WILL BE PAID FOR UNDER THE LUMP SUM BID FOR "VEHICLE TRACKING CONTROL".

GRANULAR MATERIAL FOR VEHICLE TRACKING CONTROL

GRANULAR MATERIAL SHALL BE PLACED IN 6 INCH MAXIMUM LIFTS.

AGGREGATE FOR GRANULAR MATERIAL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZE PERCENT PASSING 3" 100% 2 1/2" 90-100% 1 1/2" 25-60% 3/4" 0-10% 1/2" 0-5%
GRANULAR MATERIAL WILL BE PAID FOR UNDER THE LUMP SUM BID FOR "VEHICLE TRACKING CONTROL". PAYMENT SHALL BE FULL COMPENSATION FOR FURNISHING AND PLACING MATERIALS, LABOR, AND EQUIPMENT.

CONCRETE WASHOUT AREA (CWA)

CONCRETE WASHOUT AREA SHALL BE PROVIDED FOR CONCRETE TRUCKS AS NECESSARY. REFER TO DETAILS.

PAYMENT FOR CONSTRUCTION AND MAINTENANCE OF CONCRETE WASHOUT AREAS SHALL BE INCIDENTAL.

STREET SWEEPING

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE SHALL BE MINIMIZED. STREET SWEEPING, AS DEEMED NECESSARY BY THE ENGINEER, SHALL BE USED IF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET.

THE CONTRACTOR SHALL USE A PICKUP BROOM HAVING INTEGRAL SELF-CONTAINED STORAGE TO CLEAN THE ROADWAY.

ALL COSTS FOR CLEANING THE ROADWAY WITH A PICKUP BROOM SHALL BE INCIDENTAL.

PERMANENT SEEDING

THE AREA TO BE SEEDED CONSIST OF ALL NEWLY GRADED AREAS WITHIN THE PROJECT LIMITS EXCEPT FOR THE TOP OF ROADWAYS, TEMPORARY EASEMENTS UNDER CULTIVATION, AND AREAS DESIGNATED TO BE SOD. PERMANENT SEED MIXTURE: QUICK-2-GRO SEED MIX AVAILABLE FROM WARNE CHEMICAL IN RAPID CITY SD.
25% KENTUCKY BLUEGRASS (LXQ 110 BRAND)
25% PERENNIAL RYEGRASS (LXQ 220 BRAND)
25% CREEPING RED FESCUE (LXQ 330 BRAND)
25% ANNUAL RYEGRASS
SEED AT A RATE OF 5 LBS PER 1,000 SF

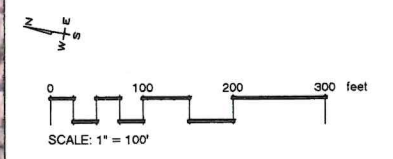
SEED MIX SHALL HAVE A SEALED DATE ON THE SEED TAG WITHIN THE PAST 4 YEARS.

FIBER MULCHING

FIBER MULCH WILL BE APPLIED IN A SEPARATE OPERATION FOLLOWING PERMANENT SEEDING. AN ADDITIONAL 2% BY WEIGHT OF TACKIFIER WILL BE ADDED TO THE FIBER MULCH PRODUCT SELECTED FROM THE APPROVED PRODUCT LIST. IF THE PRODUCT SELECTED HAS GUAR GUM TACKIFIER INCLUDED, THEN THE ADDITIONAL 2% OF TACKIFIER WILL BE GUAR GUM. IF THE PRODUCT SELECTED HAS SYNTHETIC TACKIFIER INCLUDED, THEN THE ADDITIONAL 2% OF TACKIFIER WILL BE SYNTHETIC. THE CONTRACTOR WILL ALLOW THE FIBER MULCH TO CURE A MINIMUM OF 18 HOURS PRIOR TO WATERING OR ANY STORM EVENT TO ENSURE PROPER COHESION BETWEEN THE SOIL AND FIBER PARTICLES. ALL COSTS FOR THE ADDITIONAL TACKIFIER ADDED TO THE FIBER MULCH INCLUDING LABOR, EQUIPMENT, AND MATERIALS WILL BE INCIDENTAL TO THE CONTRACT UNIT PRICE PER POUND FOR "FIBER MULCHING". THE FIBER MULCH PROVIDED WILL BE FROM THE APPROVED PRODUCT LIST. THE APPROVED PRODUCT LIST FOR FIBER MULCH MAY BE VIEWED AT THE FOLLOWING INTERNET SITE:
HTTP://APPS.SD.GOV/HC60APPROVEDPRODUCTS/MAIN.ASPX

Sub Sheet	DESIGNED BY: CMW DRAWN BY: CAD APPROVED BY: CMW PROJECT NO. 231201 DATE: JUNE 18, 2024	NO.	REVISION	DATE	Sheet Title	Project Name		
ER-2					Erosion Control Notes	Boot Hill Estates Phase 1 Deadwood, SD		
Sheet	OF							

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 Landscape Architecture | Land Planning | Streetscape Design
 728 Sixth Street - Rapid City, South Dakota 57701-3670
 Ph. 605.348.2268 | admin@wyssassociates.com www.wyssassociates.com
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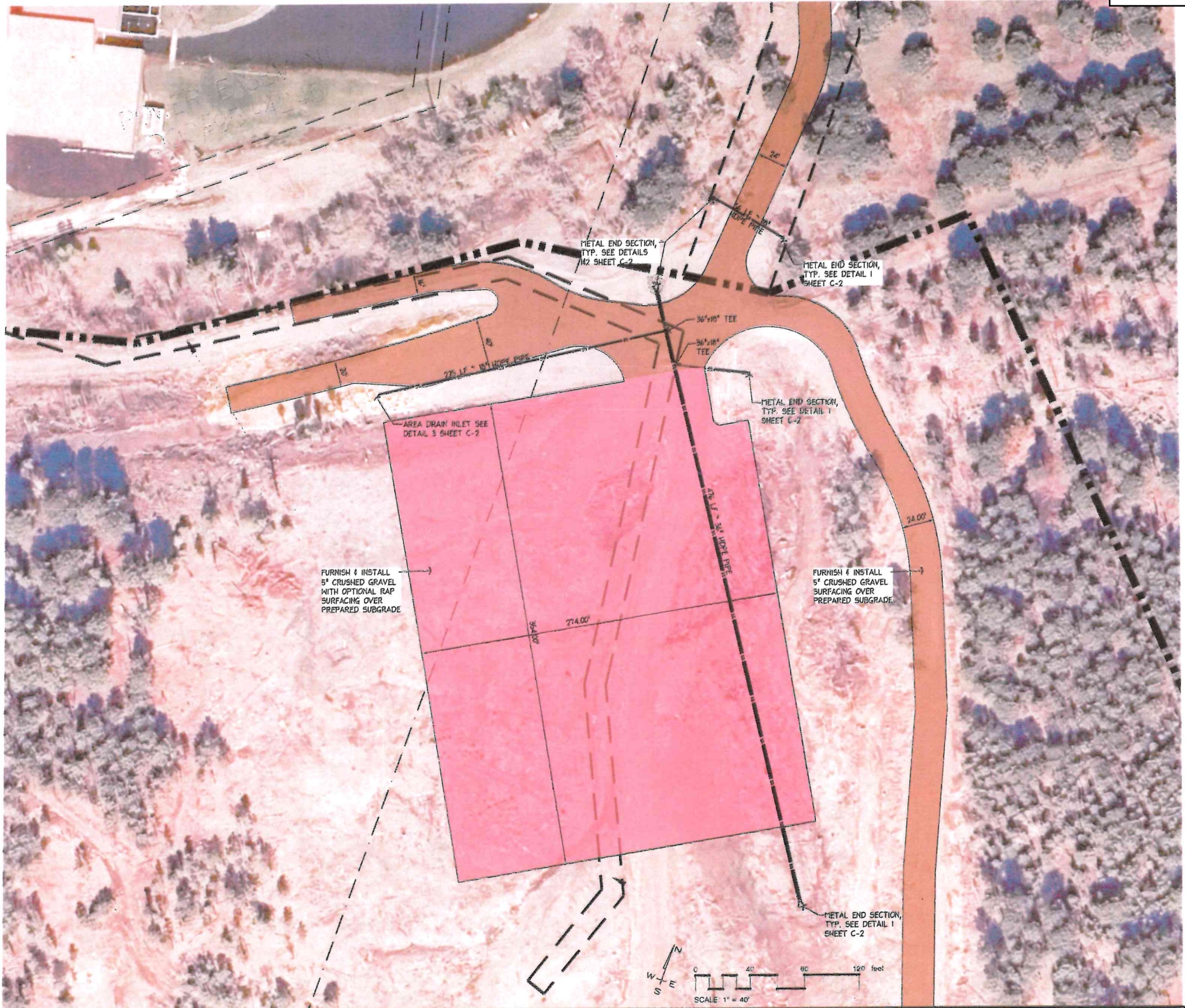
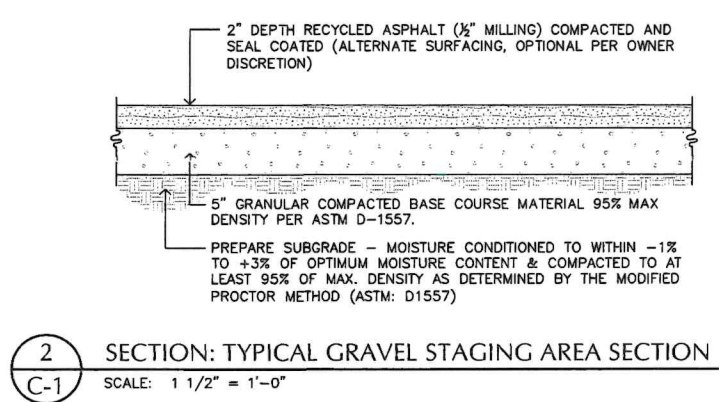
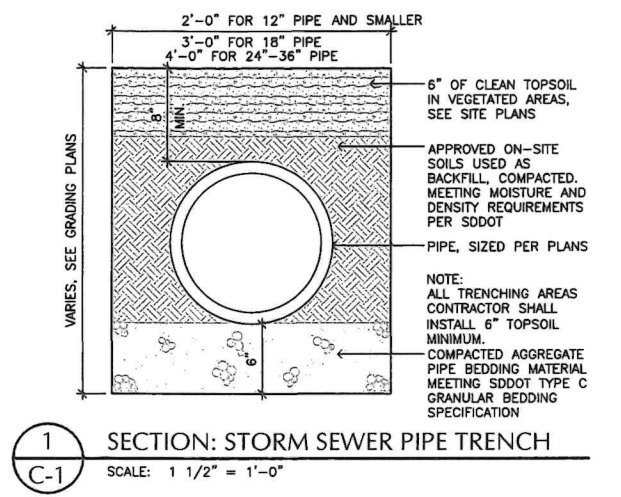


LEGEND:

VTC VEHICLE TRACKING CONTROL SEE

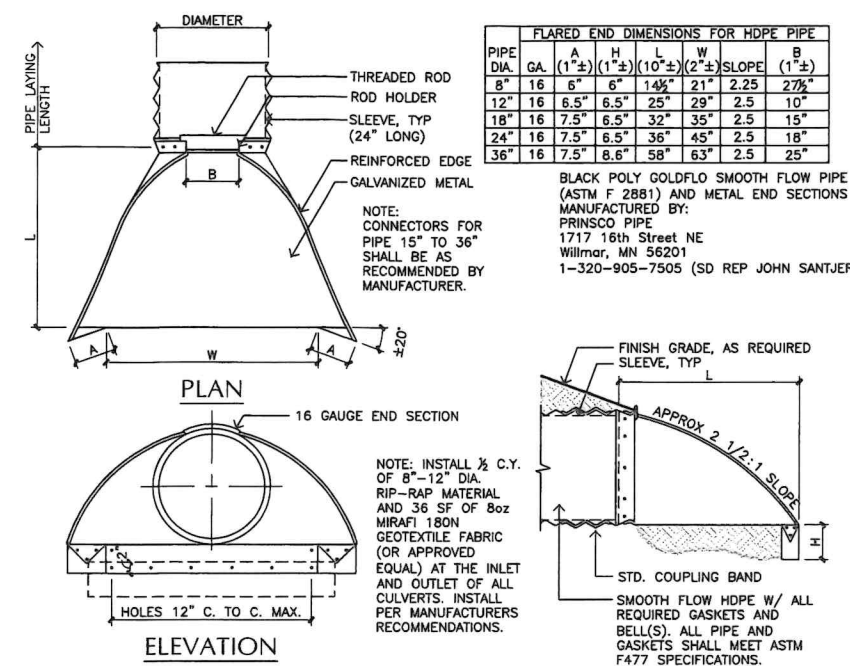
Sub Sheet ER-3 Sheet _____ OF _____	DESIGNED BY: CMW	NO. REVISION DATE _____ _____ _____ _____ _____	Sheet Title	Project Name	Wyss Associates, Inc. Landscape Architecture Land Planning Streetscape Design 728 Sixth Street - Rapid City, South Dakota 57701-3670 Ph. 605.348.2268 admin@wyssassociates.com www.wyssassociates.com Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design
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	APPROVED BY: CMW				
	PROJECT NO. 231201				
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Sub Sheet C-1 Sheet OF	DESIGNED BY: CMW	NO.	REVISION	DATE	Sheet Title Layout Plan	Project Name Boot Hill Estates Phase 1 Deadwood, SD	Wyss Associates, Inc. Landscape Architecture Land Planning Streetscape Design 728 Sixth Street - Rapid City, South Dakota 57701-3670 Ph. 605.348.2268 admin@wyssassociates.com www.wyssassociates.com Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design
	DRAWN BY: CAD						
	APPROVED BY: CMW						
	PROJECT NO. 231201						
	DATE: JUNE 18, 2024						

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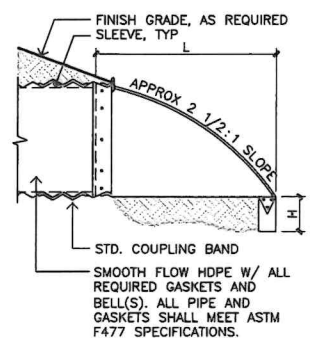


FLARED END DIMENSIONS FOR HDPE PIPE							
PIPE DIA.	GA.	A (1"±)	H (1"±)	L (10"±)	W (2"±)	SLOPE	B (1"±)
8"	16	6"	6"	14"	21"	2.25	27"
12"	16	6.5"	6.5"	25"	29"	2.5	10"
18"	16	7.5"	6.5"	32"	35"	2.5	15"
24"	16	7.5"	6.5"	36"	45"	2.5	18"
36"	16	7.5"	8.6"	58"	63"	2.5	25"

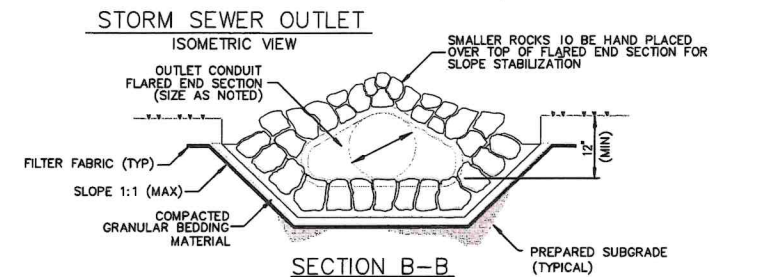
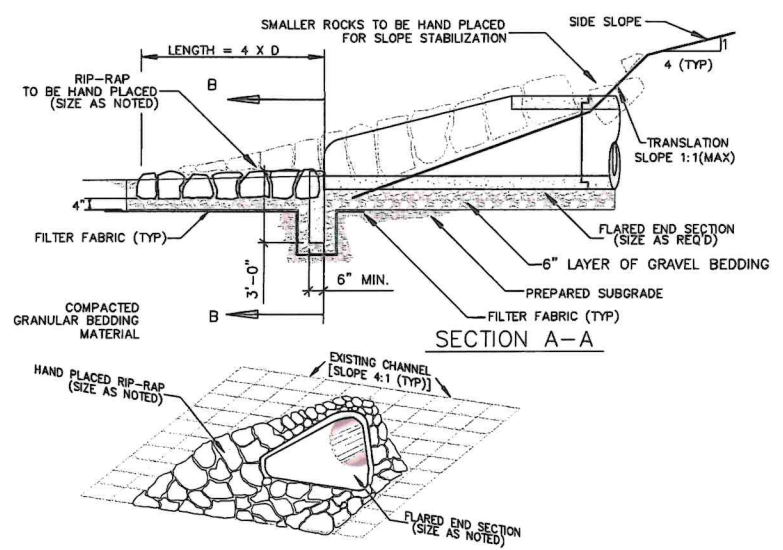
BLACK POLY GOLDFLO SMOOTH FLOW PIPE (ASTM F 2881) AND METAL END SECTIONS MANUFACTURED BY: PRINSCO PIPE 1717 16th Street NE Willmar, MN 56201 1-320-905-7505 (SD REP JOHN SANTJER)

NOTE: CONNECTORS FOR PIPE 15" TO 36" SHALL BE AS RECOMMENDED BY MANUFACTURER.

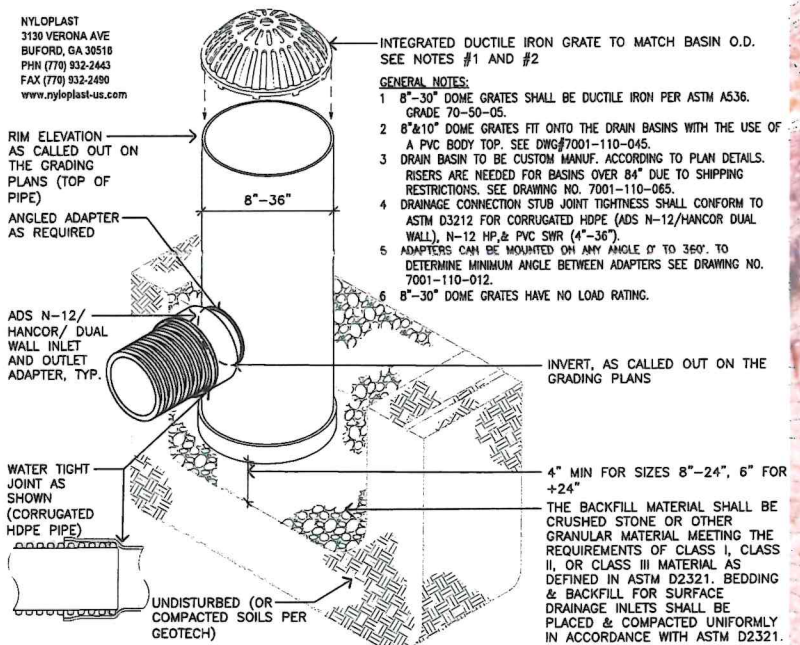
NOTE: INSTALL 1/2 C.Y. OF 8"-12" DIA. RIP-RAP MATERIAL AND 36 SF OF 8oz MIRAFI 180N GEOTEXTILE FABRIC (OR APPROVED EQUAL) AT THE INLET AND OUTLET OF ALL CULVERTS. INSTALL PER MANUFACTURERS RECOMMENDATIONS.



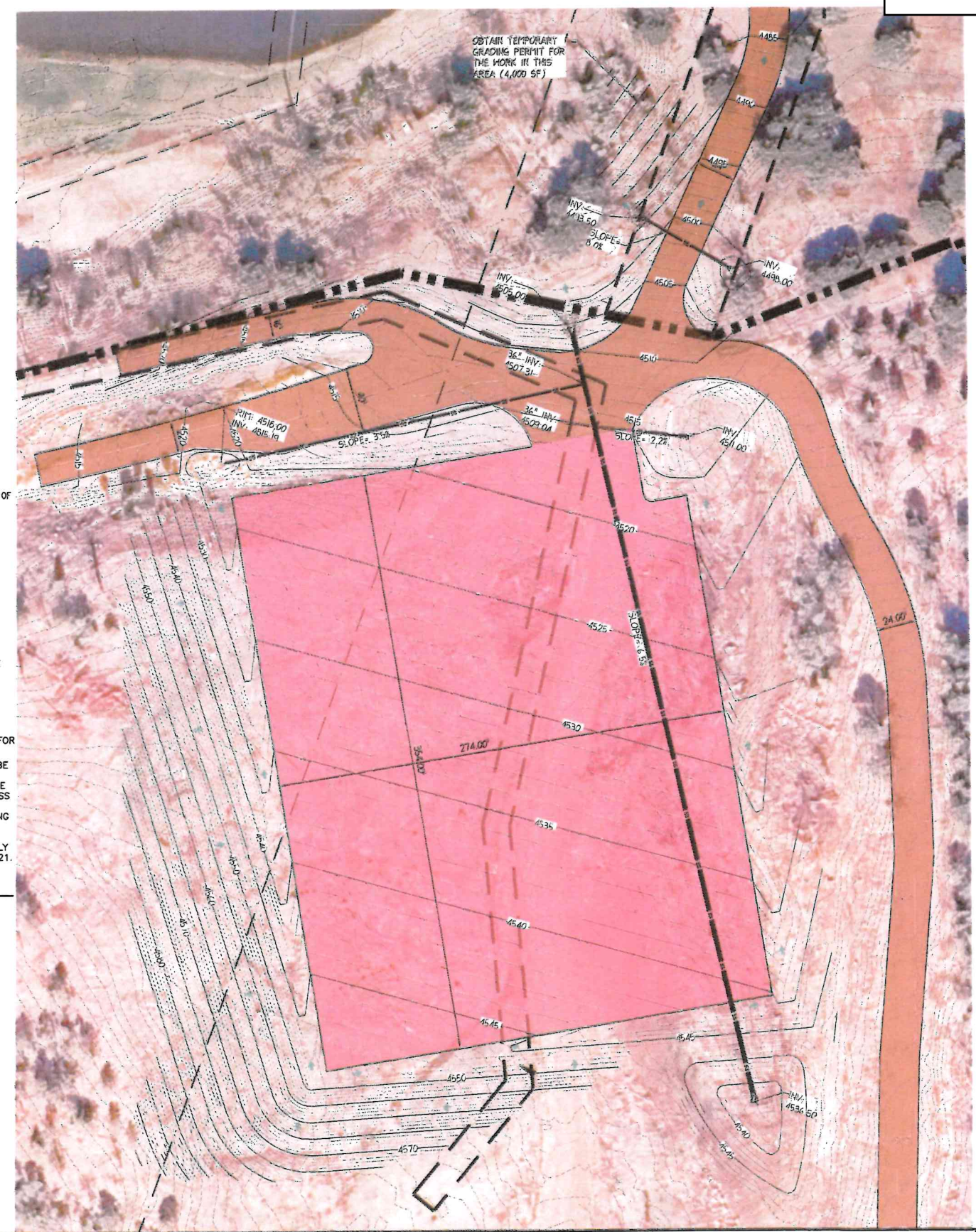
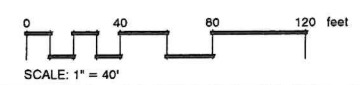
1 C-2 DETAIL: HDPE DRAIN PIPE & METAL CULVERT END SECTION NOT TO SCALE



2 C-2 DETAIL: FLARED END OUTLET PROTECTION SCALE: 1/2" = 1'-0"



3 C-2 SECTION: NYLOPLAST DRAIN BASIN WITH DOME GRATE SCALE: 1 1/2" = 1'-0"



Sub Sheet <h1 style="font-size: 2em; margin: 0;">C-2</h1> Sheet OF	DESIGNED BY: CMW DRAWN BY: CAD APPROVED BY: CMW PROJECT NO. 231201 DATE: JUNE 18, 2024	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	REVISION	DATE										Sheet Title <h2 style="text-align: center; margin: 0;">Grading Plan</h2>	Project Name <h2 style="text-align: center; margin: 0;">Boot Hill Estates Phase 1</h2> <p style="text-align: center;">Deadwood, SD</p>	Wyss Associates, Inc. Landscape Architecture Land Planning Streetscape Design 728 Sixth Street - Rapid City, South Dakota 57701-3670 Ph. 605.348.2268 admin@wyssassociates.com www.wyssassociates.com Est. 1981 - Celebrating Over 40 Years of Award Winning Landscape Design
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