



# REGULAR MEETING OF THE CITY COMMISSION AGENDA

Tuesday, November 19, 2024 at 4:30 PM  
City Hall – 38 1st Street West Dickinson, ND 58601

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## Commissioners:

**President:** Scott Decker  
**Vice President:** Robert Baer  
Jason Fridrich  
John Odermann  
Joe Ridl

## CALL TO ORDER

## ROLL CALL

## OPENING CEREMONIES: PLEDGE OF ALLEGIANCE

### 1. ORDER OF BUSINESS: CONSIDERATION FOR APPROVAL

A. Resolution No: 46-2024

Ordinance No: 1812

### 2. CONSENT AGENDA

**A.** Approval of Meeting Minutes dated November 5, 2024 (Enc.)

Presented by: President Decker

*Consideration to approve*

**B.** Approval of Accounts Payable, Commerce Bank and Checkbook (Enc.)

Presented by: President Decker

*Consideration to approve*

### 3. ADMINISTRATION / FINANCE

**A.** Monthly Financial Report (Enc.)

Presented by: Deputy City Administrator Carlson

*Consideration to approve*

**B.** HR Monthly Report (Enc.)

Presented by: HR Director Nameniuk

### 4. PUBLIC WORKS

**A.** Public Works Quarterly Report (Enc.)

Presented by: PW Director Praus

**5. PUBLIC SAFETY - FIRE**

**6. PUBLIC SAFETY - POLICE**

**A. Tobacco/Alcohol Compliance Update**

Presented by: Chief Gianni

**7. COMMUNITY DEVELOPMENT**

**A. SRF Consulting Contract Amendment (Enc.)**

Presented by: Senior Engineer Keller

*Consideration to approve contract*

**B. 2025 Road Maintenance Project SID 202501-1(Enc.)**

Presented by: Engineer and Community Development Director Skluzacek

*Consideration to approve Resolution*

**C. 2025 Watermain Project SID 202503-1 (Enc.)**

Presented by: Engineer and Community Development Director Skluzacek

*Consideration to approve Resolution*

**D. Final Plat - West Ridge 4th Subdivision (Enc.)**

Presented by: City Planner Birchak

*Consideration to approve Resolution*

**E. Final Plat - Dvirnak Subdivision (Enc.)**

Presented by: City Planner Birchak

*Consideration to approve Resolution*

**F. Pavement Management Plan Update Contract Amendment to MDST**

Presented by: Senior Engineer Keller

*Consideration to approve Amendment*

**8. PUBLIC HEARING AND PUBLIC COMMENTS NOT ON AGENDA – 5:00 PM**

**A. Seth Helgeson Discussion**

**B. Swearing in of Officers**

Presented by: President Decker

**C. Transportation Master Plan and Comprehensive Plan Update Presentation by  
KLJ Engineering**

Presented by: City Planner Birchak

**D. Public Comments not on Agenda**

Presented by: President Decker

**9. COMMISSION**

**10. ADJOURNMENT**

**Link for viewing City Commission Meeting:**

<https://www.dickinsongov.com/meetings>

**This link will not be live until approximately 4:30 am on November 19, 2024.**

**Teams Meeting:** <https://tinyurl.com/CCM-11-19-2024-Teams>

**Teams Meeting ID:** 280 653 201 620

**Meeting Passcode:** jEH9zs

**Teams Phone #:** 1-701-506-0320

**Phone Conference ID:** 786 087 592#

**Local Phone #:** 701-456-7006

**Persons who desire to be heard under Section 8 "Public Comments not on Agenda" may call in at (701) 456-7006 at 5:00 PM MT.**

***Persons desiring to attend the meeting who require special accommodations are asked to contact the City Administrator by the Friday preceding the meeting.***

REGULAR MEETING

DICKINSON CITY COMMISSION

NOVEMBER 5, 2024

**I. CALL TO ORDER**

President Scott Decker called the meeting to order at 4:30 PM

**II. ROLL CALL**

Present were: President Scott Decker, Vice President Robert Baer  
Commissioners Jason Fridrich and Joe Ridl

Telephone: None

Absent: Commissioner John Odermann

**1. PLEDGE OF ALLEGIANCE****2. ORDER OF BUSINESS**

MOTION BY: Robert Baer SECONDED BY: Joe Ridl  
To approve the November 5, 2024 meeting as presented.

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

**3. CONSENT AGENDA**

A. MOTION BY: Jason Fridrich SECONDED BY: Joe Ridl

**B. Approval of Meeting Minutes dated October 15, 2024****C. Approval of Accounts Payable, Commerce Bank and Checkbook**

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

**4. ADMINISTRATION/FINANCE****A. Water Reclamation Supervisor Job Description**

HR Director Shelly Nameniuk presents a Water Reclamation Supervisor Job Description for review. She states this a new position for the WRF division of Public Works. This position will oversee the operation and maintenance of the Water Reclamation Facility. The position requires an Associate's degree, three years of directly related experience, or the equivalent combination of experience and education sufficient to successfully perform the essential duties of this job. The position is in Grade 17 and is a non-exempt position. This position was approved with the 2025 budget and City staff recommend approval.

MOTION BY: Jason Fridrich SECONDED BY: Joe Ridl  
To approve the Water Reclamation Supervisor Job Description.

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

MOTION BY: Joe Ridl SECONDED BY: Robert Baer  
To approve the Water Reclamation Supervisor Job be advertised and hired in 2024.

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

**B. Recall Petition Update**

City Administrator Dustin Dassinger presents a recall that was submitted for President Scott Decker, Commissioner John Odermann and Commission Jason Fridrich. The deadline was October 30, 2024.

City Attorney Christian Wenko states the home rule status has arisen. She states her office did ask for a formal opinion. The question asked if the City should use home rule or the century code. She said the City did request immediate guidance from ND attorney general

office. Opinion requested after multiple communications Attorney General's office applicability of home rule charter. She states at 11:00 a.m. today, Tuesday, November 5, 2024 the City received formal opinion from ND Attorney General office. A person states that I did not request that information. I did receive a mail from AG's office last Wednesday. Document discussed from October 15, 2025. She states the AG's Office process for opinion records not followed. Their office sends apologies and confusion created. Attorney Wenko states the City received a formal opinion from AG's office today. A copy of opinion is for public. In the Attorney General's opinion, the City shall follow the ND Century Code and the number of signatures required for the recall is 25% of number of votes in the year the person was voted into office.

Administrator Dustin Dassinger states that Mr. Helgeson was informed that the City would follow the Century Code upon the Attorney General's office opinion. Therefore, President Scott Decker and Commissioner John Odermann would need to have 724 signatures and Commissioner Jason Fridrich would need 424 signatures. Administrator Dassinger states that unofficially President Decker received 547; Commissioner Odermann 520 and Commissioner Fridrich ended up with 478 and he needed 424. The deadline to review the signatures would be November 29, 2024. Administrator Dassinger states if the City finds Commissioner Friedrich's the signatures valid officially he will automatically be on ballot; other candidates and shall 64<sup>th</sup> day of recall election; reviews the election process. A formal determination of the validity and sufficiency on the recall petitions will be made by the end of the week.

City Christina Wenko and the City of Dickinson is very grateful to the Attorney General's office on the timely manner as much as possible as they had had multiple other opinions ahead of ours. Grateful for the AG's office for the work on this opinion.

## 5. **PUBLIC WORKS**

### **A. Southwest Water Land Lease Agreement**

Public Works Director Aaron Praus presents a Land Lease Agreement between the North Dakota State Water Commission and the City of Dickinson to lease property from the City of Dickinson through the duration of the expansion of the Southwest Water Treatment Facility. The property will be used to stage equipment and materials for the expansion. The lease commences on January 1, 2025 and terminates on December 31, 2027. The land to the southwest of our Building and Grounds Facility on West Broadway and the area to the north of West Broadway commonly known as the City snow dump site. The rent of the property will be a sum of \$15,000.00 per year and any unused amount for each full month remaining in the term for which the rent has been paid will be paid back to the State Water Commission. The Tenant will install a gate at the property access point between the two building on West Broadway in which construction traffic will be directed. Upon completion of the project, the gate will remain intact and become property of the City of Dickinson. Attorney Wenko has reviewed the agreement and Public Works staff recommends approval.

MOTION BY: Robert Baer

SECONDED BY: Joe Ridl

To approve the Southwest Water Land Agreement

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

### **B. Heinen Sewer Connection Contract**

Public Works Director Aaron Praus presents an amendment to a wastewater agreement between Andrew and Keanna Heinen and the City of Dickinson dated October 7, 2020. This amendment is to allow the Heinen's to connect multiple structures to the City's wastewater infrastructure at a location determine by the City. A connection fee shall be paid for each structure connected along with a base and usage rate as determined by Dickinson's annual fee schedule. This amendment includes testing requirements as needed

to determine any applicable surcharges required to treat the sewage. Attorney Wenko has reviewed the amendment and Public Works staff recommends approval

MOTION BY: Jason Fridrich

SECONDED BY: Joe Ridl

To approve the Heinen Sewer Connection Contract

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

## **6. PUBLIC SAFETY**

### **A. Fire**

#### **1. Medical Director Approval**

Fire Chief Jeremy Presnell presents a Medical Director agreement with Dr. David Kuylen. Chief Presnell would like for Dr. Kuylen to be the Medical Director agreement for the Fire Department as this helps with review and development of review of protocol. The City does have a Medical Director and Dr. Kuylen would be the ER Physician.

MOTION BY: Joe Ridl

SECONDED BY: Jason Fridrich

To approve the Water Reclamation Supervisor Job Description.

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

#### **2. Purchase of Ambulance**

Fire Chief Jeremy Presnell states the City would like to purchase two Type I ambulances for \$393,750.00 overage of what initially budgeted and this is due to the extreme cold weather package. He states the ambulance would be delivered next fall. Chief Presnell states the Macqueen was earliest delivery date for the ambulances. The City would be using group purchasing through Soucewell.

Deputy City Administrator Linda Carlson states Sourcewell is specific for ambulance purchases. She states Chief Presnell looked at the time line and that is why we went with MacQueen. Sourcewell is more of a State bid.

Chief Presnell states a lot of bids will go through Sourcewell and best price is already produced. Ability to add cold weather package. The City will then have in the fleet without getting rid of anything it would put us at 6 ambulances. Intention is to get rid of old ambulances, pass onto smaller facilities or put to auction. He states the life expectancy is about 3 years and then look at a remount. These would be diesel engines.

MOTION BY: Robert Baer

SECONDED BY: Joe Ridl

To purchase two Type I Ambulances from MacQueen.

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

#### **3. EMS Update**

Division Chief Tyler Kientopf discusses the personal to include an EMD Educator was hired and that is Sarah Rhode; a Firefighter EMT – there were 25 applicants and 6 offer letters were send and all have accepted; Paramedics – there were 9 applicants and 4 accepted position and 2 additional officers. Chief Kientopf states this leaves 3-5 positions still open. He reviews the equipment with the Commission and states they have been working with the current owners on the equipment transfer. He states there is ALS Licensure required by the Department of Human Services. The application has been submitted and they are working with Dept of Health. The City is waiting for official licensure with affective date of 7/1/2025. At this time Chief Kientopf does not see any issues in getting the license. He states with the City buying diesel, he feels diesels will last

longer in over the road trips; 3 years is a very conservative but may last longer; doing the City's best and being mindful with the current budget. If they can make them last longer, they will.

**B. Police**

None

Commissioner Joe Ridl left the meeting.

**7. COMMUNITY DEVELOPMENT SERVICES**

**A. CMAR Contract – Library, Museum and Baler Building**

Senior Engineer Kris Keller presents a Master Service Agreement contract to perform Construction Manager At-Risk services for the Library, Museum, and Baler Building Expansions. Currently the CMAR – JE Dunn, will perform pre-construction activities at no cost to the City. When each projects design team generates the construction documentation, JE Dunn will go out for bids and generate a guaranteed maximum price for individual project completion. After a GMP for a specific project is submitted, a work order will then be presented to the City for approval to proceed. This additional step keeps each project independent during design and construction progress. He states the City Attorney has reviewed the contract. The City Engineering staff recommend approving this contract.

MOTION BY: Jason Fridrich

SECONDED BY: Joe Ridl

To approve the CMA Contract for the Library, Museum and Baler Building with JE Dunn.

DISPOSITION: Roll call vote...Aye 3, Nay 0, Absent 2  
Motion declared duly passed

**B. State Avenue Bridge Erosion Repairs Bid Award**

Senior Engineer Kris Keller presents for consideration is a construction contract to perform repairs on the State Ave. Bridge spanning the Heart River. The sole bidder on the project is BEK Consulting. The project bid includes rip-rap salvage and placement, additional Grade III rip-rap, geo fabric, and concrete end section installation. These contract for the material and services is for **\$164,469** on a Lump Sum basis. The project is the 2024 budget and the revenue is from the Gross Production Tax. The City Attorney has reviewed the contract. The City Engineering staff recommend approving this contract.

MOTION BY: Robert Baer

SECONDED BY: Jason Fridrich

To approve the State Avenue Bridge Erosion Repairs bid with BEK Consulting.

DISPOSITION: Roll call vote...Aye 3, Nay 0, Absent 2  
Motion declared duly passed

**C. 10<sup>th</sup> Avenue East Contract Amendment to SRF Consulting**

Engineer and Community Development Director Joshua Skluzacek presents a contract amendment with SRF Consulting Group, Inc. to perform engineering services for the 10<sup>th</sup> Ave. E. – Museum Drive to 21<sup>st</sup> Street East project for a cost-plus fixed fee not to exceed amount as specified in the contract of \$13,534.26. The City Attorney has reviewed this contract, and has no comments. The project was approved with the 2024 capital improvement project budget, and it is to be paid for using Gross Production Tax.

MOTION BY: Jason Fridrich

SECONDED BY: Robert Baer

To approve 10<sup>th</sup> Avenue East Contract Amendment to SRF Consulting.

DISPOSITION: Roll call vote...Aye 3, Nay 0, Absent 2  
Motion declared duly passed

**D. Demolition of Buildings - 348 E Broadway, 119 7<sup>th</sup> Avenue W, 219 5<sup>th</sup> Street East**

Code Enforcement Officer Tiffany Stewart presents three properties for demolition. She states this request is to set a hearing for the demolitions. After discussion it was decided to have this hearing on December 18, 2024 at 9:00 a.m.

**8. PUBLIC HEARING AND PUBLIC COMMENTS NOT ON AGENDA – 5:00 P.M.**

**A. Swearing in of Youth Commission**

President Scott Decker swore in the following Youth Commission: Beth Dobitz, Sofia Contreras, Dilcia Contreras, Ariel Hecker and Amethyst Britton.

**B. Public Hearing – 2025 Road Improvement Project SID 202501-1**

Engineer and Community Development Director Joshua Skluzacek presents for consideration is a Resolution determining the protests of the 2025 Road Maintenance Special Improvement District 202501-1. This district was established at the September 17, 2024 Commission Meeting with approval by this board of Resolution 38-2024. The protest period for the project, as required by the North Dakota Century Code, ended on October 25, 2024. A total number and overall percental of the protests are provided below. These protests did not meet the statutory requirement to bar the City from proceeding with the special improvement project. The area percentage was 45%. The project benefits are listed below: The streets, curb and gutter, and sidewalks need repairs. Several of the sidewalks are not ADA compliant. These improvements will ensure safe pedestrian walkability and access throughout the neighborhood. The street improvements will extend the life expectancy of the roadways and will reduce maintenance costs for the City. The total project construction cost is estimated to be \$7.62 million, which will be funded through a combination of special assessments and City funds. The total assessment estimate for the project is \$1,910,680.10 as per the engineering report. The assessment amount will be included in property taxes and paid back over 10 years at an interest rate of 5.4%. Those who pay their assessments in full by October 1, 2026, will not be charged interest or penalties.

Joel and April Gregg who live at 809 Shinagle Drive state their house flooded from inaccurate pipes in home. School tax bond has increased taxes, made their home unaffordable and is pushing me out of my home. This special would crippling me. This is money going to drainage this would be good. Sidewalks slightly cracked. We are literally being pushed out.

President Scott Decker has visited with staff about 6” pipe to carry all those homes. There are 60 homes in the area that drain into home.

City Engineer Josh Skluzacek states they are looking specifically at pipe carrying out to 10<sup>th</sup> Avenue East. The City could look at surface drainage improvements in those lots. They are looking at pipe going to 10<sup>th</sup> Avenue East and if no additional drainage opportunity we could look at trunk main 10<sup>th</sup> Avenue E.

Commissioner Jason Fridrich states the capacity in the system that we have, does that need to be upgraded into a bigger pipe? Doesn’t pay to fix roads and then have storm water drainage issues.

Alissa Mack who lives at 1254 7<sup>th</sup> Street E states residents did request be part of opening of protest ballot didn’t not feel this would be fair. She visits about discarded protest ballot, of 115 how many did the City actually get in. She states no one is going to walk near a farmstead. Yes, roads need to be repaired but too much tax. It is not always easy to sell properties with leans and taxes against it. She asks the Commission to reconsider approval. She also questions the .25 cent tax that was sunset.

President Scott Decker states the City is bound by ND century code. He asks Ms. Mack to bring paper forward about sun set. Bound by century code. If you want to change it, bring it forward. Assessments we are bound by the state to perform and evaluations in a certain way because of state law. The City does what we can to try and take care of our citizens. Other cities do assess the street but Dickinson does not.

Commissioner Jason Fridrich states the City does not fix curb and gutter without fixing the street. Some point the sidewalks need repair. We pay for mill and overlay 100%. It comes back one way or another.

David Steinbach who lives at 1192 11<sup>th</sup> Avenue East questions why would the residents have to pay special assessments twice. The city is overseeing the work, it should last more than 45 years. He states 10<sup>th</sup> Avenue East was done in 2021 and it looks pathetic. The cracks go from the street to curb and gutter and to the sidewalk. What is the use of causing all this physical and financial hardship when it is going to do it again in a couple of years? The City might as well go over there and put hot tar. If you are not going to take care of the city properties, why come around and ask us to take care of the sidewalks. I have waited six months to have my concrete.

Commissioner Jason Fridrich states the City has completed \$2.5 million on our road construction. He states the State came and looked at the City's streets and the State told the City if the City was not going to spend \$6-8 million dollars on our streets, they would not last. Commissioner Fridrich completed a tour through Shinagle and the curb and gutter are in terrible condition.

James Kiedrowski from KLJ told Mr. Steinbach it is a simple calculation, deeded acreage divided by sum of all parcels in district. City right away is not calculated in the parcels.

Tom and Joann Sahr who live at 1177 10<sup>th</sup> Street East. He states west of them are 2 vacant lots and wheat field. The 2 vacant lots that they own the City is requesting that they put sidewalk in. This ends up against fence and it is a gravel road past our house. The assessment \$45,000 to perhaps \$63,000. That is mortgage on our house. He states they are retired and this would probably force us to sell those lots or sell our home and move elsewhere. We would be in our mid 80s until we have those paid off. They have spoken to Kris Keller prior today. This would be 507' of sidewalk in and that is quite expensive.

President Scott Decker states the Sahrs would have the option to do the concrete themselves.

Commissioner Jason Fridrich questions if they have had staff review the sidewalks. Once neighborhoods are 80% built out and then there is sidewalk/no sidewalk/sidewalk and we have to put sidewalks in as it is not continuous. When neighborhoods are built out, I feel it should be completed.

Paul Bartholomew asks what is the criteria for replacing curb and gutter. He lives at 1116 Garfield Street. He has 75' replaced of curb and gutter. Probably 10' that he can say that needs attention. The next-door neighbor filled her cracks with tar, none of her curb is slated for replacement. He asks if I fill my cracks with sealant and then won't need it replaced? Trying to find contractors and the closet to the cost \$2,000 less money. Curious about criteria. He states an intern from Fargo was out to inspect the concrete and states what needs to be replaced and not replaced. Possible that this needs a second look.

Commissioner Jason Fridrich questions if the City has to put these projects on bids. The City gets one bid each year. The City uses professional engineers and they know what they do.

Cole Boespflug who lives at 1315 8<sup>th</sup> Street East feels this project probably should not go through because of the cost to the residents. If this does go through may consideration of 40% over estimated cost. If this does go through, when do they find out if that increase is going to be occurred. Will the residents be notified by mail to see if my cost is going to be increased? He states he lives in an area where during heavy rain falls there is a collection of water. There was no talk about anything being done in the inlet. If this does happen get something looked at there. single inlet.

Engineer Skluzacek states when we put the project out to bid, that specific statement has to be in the letter. Historically we have not sent the bid results out. Those items that Mr. Boespflug mentions need to be looked at.

Commissioner Jason Fridrich states the soil type is super clay and tough and he knows that a lot of areas have settled. He states the crowing has been patched over the year. The City is going to mill it all off with this project.

Glenda Schatz who lives at 832 Shinagle states her basement floods with a lot of rain in a short time, every time it rains a lot that corner builds up fast. Fire hydrant was almost covered. She is concerned that if they pay this dollar amount to fix the roads and then 2 years down the road they are going to worry about the drainage. We need to worry about the drainage prior to doing any work with the roads and sidewalk.

Commissioner Jason Fridrich states they are unable to use this type of curb that is used there and they don't allow that anymore.

Brett Messel who lives at 1233 8<sup>th</sup> Str. East states when you drive down that road it is like a sponge. Too many undetermined factors that have not been looked at yet. He suggests to maybe table the item. He is concerned that the City is going to have issues if the City doesn't look at core samples will be same situation on Baker 5 years from now. Maybe just bad timing. Maybe do another evaluation. Too many undetermined questions out there. Interest that the city is charging us on the money that we are already paid.

Commissioner Jason Fridrich states the only thing the City is doing tonight is approving special improving district. We know that the curb and sidewalk need to be replaced. Street repair portion could go way up from total. We are just approving of what we think the curb and sidewalk are going to cost today.

President Scott Decker states the City has to do with the street and storm. The only thing you are responsible are for are curb, sidewalk and gutter.

Commissioner Robert Baer states possibly give the residents some more time to hire contracts to do the work and then to get in and follow-up. Time is an issue here. Is it possible to get a letter out to the residents as they would have an entire year to get the work done and then have the city do the work?

City Engineer Skluzacek states there have been a number of people that we have met with.

Commissioner Jason Fridrich states there is a lot of subgrade issues obviously causing curbs and sidewalks being lifted, cracked or sunk and this is unfortunate. This area needs this for a long time. Time for reconstruction.

City Attorney Christina Wenko states the City is to charge an annual rate not exceeding 1.5 over net annual interest rate.

President Scott Decker states the complete amount of property tax as a city is \$4.8 million dollars across the whole city. Individuals pay in property tax we don't even pay for the Police Department. The City needs to find ways to pay for these projects. The City could switch the way we collect property tax. Property tax has not moved we have been there the same at 8 years. Reality of the world we have to find the way to do it. We are trying to do it in the most equitable manner as possible.

President Scott Decker closes the public hearing at 6:42 p.m.

Commissioner Joe Ridl states it looks like some things can be hashed out and give a little bit extra time for these folks.

MOTION BY: Joe Ridl  
To table the 2025 Watermain Project SID 202501-1 until the next meeting.

SECONDED BY: Robert Baer

DISPOSITION: Roll call vote...Aye 4, Nay 0, Absent 1  
Motion declared duly passed

**C. Public Hearing – 2025 Road Improvement Project SID 202501-2**

Engineer and Community Development Director Joshua Skluzacek presents 2025 Road Improvement Project SID. He states this project would determine concrete replacement to include sidewalk panels, pedestrian ramps, driveway, settling of concrete due to lack of drainage, curb, sidewalk and gutter. HE states the total cost of this project is \$381,000 and the total assessment would be \$31,747.

President Scott Decker opens the public hearing at 6:56 p.m. Hearing no public comments, the public hearing was closed at 6:58 and the following motion was made.

MOTION BY: Robert Baer  
Adopt Resolution No. 46-2024.

SECONDED BY: Jason Fridrich

**RESOLUTION NO. 46 - 2024**

**A RESOLUTION DETERMINING WRITTEN PROTESTS TO THE 2025 ROAD MAINTENANCE PROJECT SPECIAL IMPROVEMENT DISTRICT NO. 202501-2 DIRECTING THE FILING OF AN ENGINEER’S REPORT REGARDING THE SAME, AND DECLARING THAT IT IS NECESSARY TO MAKE THE IMPROVEMENTS DESCRIBED THEREIN.**

DISPOSITION: Roll call vote...Aye 3, Nay 0, Absent 2  
Motion declared duly passed

**D. Public Hearing – 2025 Watermain Project SID 202503-1**

Engineer and Community Development Director Joshua Skluzacek for consideration a Resolution determining the protests of the 2025 Watermain and Lead Service Line Replacement Special Improvement District 202503-1. This district was established at the September 17, 2024 Commission Meeting with approval by this board of Resolution 40-2024. The protest period for the project ended on October 25, 2024. A total number and overall percental of the protests 8%. These protests did not meet the statutory requirement to bar the City from proceeding with the special improvement project. This project would have benefits such as streets, curb and gutter, and sidewalks need repairs. Several of the sidewalks are not ADA compliant. These improvements will ensure safe pedestrian walkability and access throughout the neighborhood. The street improvements will extend the life expectancy of the roadways and will reduce maintenance costs for the City. The watermains are 6-inch cast iron. These mains are the most frequent material to break. The mains are often corroded, filled with mineral deposits, cause water color issues, and lack sufficient flow to meet fire flow requirements. There are multiple lead services lines that will be replaced from the watermain all the way to the meter in the building and will be paid for 100% by the City of Dickinson. The lead service lines replacements will ensure safe drinking water. The total project construction cost is estimated to be \$4.69 million, which will be funded through a combination of special assessments, a possible State Water Commission grant, State Revolving Fund Loan, and City funds. The total assessment estimate for the project is \$911,242.60 as per the engineering report. The assessment amount will be included in property taxes and paid back over 10 years at an interest rate of 5.4%. Those who pay their assessments in full by October 1, 2026, will not be charged interest or penalties.

President Scott Decker opens the public hearing at 7:00 p.m.

Resident Shane Bennett who lives at 1312 1<sup>st</sup> Street West does not agree with the City going up his driving and replacing his driveway for a cost to him. He feels this is unnecessary



Motion declared duly passed.

OFFICIAL MINUTES PREPARED BY:

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Rita Binstock, Assistant to City Administrator

APPROVED BY:

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Dustin Dassinger, City Administrator

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Scott Decker, President  
Board of City Commissioners

Date: November 19, 2024



### AGED TRIAL BALANCE WITH OPTIONS - DETAIL

City of Dickinson  
 Payables Management

Section 2. Item B.

**Ranges:**  
 Vendor ID: First - Last  
 Class ID: First - Last  
 Payment Priority: First - Last  
 Vendor Name: First - Last

**FED TAX CLAS:** First - Last  
**Posting Date:** First - Last  
**Document Number:** First - Last

**Print Option:** DETAIL  
**Age By:** Document Date  
**Aging Date:** 11/13/2024

**Exclude:** Credit Balance, Zero Balance, No Activity, Unposted Applied Credit Documents, Multicurrency Info  
**Sorted By:** Vendor Name  
 Due Date

\* - Indicates an unposted credit document that has been applied.

<b>Vendor ID:</b> 4977		<b>Name:</b> ADVANTAGE CREDIT BUREAU					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
<b>Payment No.</b>	63251	INV	11/1/2024	11/1/2024	\$332.50	CREDIT BUREAU CHECKS		\$332.50				
							<b>Due</b>					
<b>Voucher(s):</b>	1	<b>Aged Totals:</b>						\$332.50	\$332.50	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 5458		<b>Name:</b> AFFORDABLE TREE SERVICE LLC					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b> SOLE PROP			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
<b>Payment No.</b>	1302	INV	11/6/2024	11/6/2024	\$4,500.00	REMOVAL OF TREES, CLEAN		\$4,500.00				
							<b>Due</b>					
<b>Voucher(s):</b>	1	<b>Aged Totals:</b>						\$4,500.00	\$4,500.00	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 5115		<b>Name:</b> ALLSTATE PETERBILT OF DICKINSON					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
<b>Payment No.</b>	4603111831	INV	10/30/2024	10/30/2024	\$644.28	PERFORM PETERBILT INSPEC		\$644.28				
	4604197671	INV	11/5/2024	11/5/2024	\$348.80	ELEMENT FILTER AIR DISPOS		\$348.80				
							<b>Due</b>					
<b>Voucher(s):</b>	2	<b>Aged Totals:</b>						\$993.08	\$993.08	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 9771		<b>Name:</b> AMAZON CAPITAL SERVICES					<b>Class ID:</b>		<b>FED TAX CLAS:</b> C CORP		
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>	1HJKQK7V7DTT	INV	10/19/2024	10/19/2024	\$24.29	DIP CH		\$24.29			
	1XTLDDYHFVDM	INV	10/22/2024	10/22/2024	\$44.95	TEA REX PARTY		\$44.95			
	1W1T63KCRLPN	INV	10/27/2024	10/27/2024	\$210.76	OPERATING		\$210.76			
	1YXHG3GDTQP9	INV	10/27/2024	10/27/2024	\$21.86	PROGRAM SUPPLIES		\$21.86			
	1KPLCCWV6QGK	INV	10/28/2024	10/28/2024	\$271.98	DEWALT 20B MAX WET/DRY V		\$271.98			
	19QHGWXRNKYX	INV	10/30/2024	10/30/2024	\$23.99	STOCK CASE FOR IPAD PRO		\$23.99			
	1QLV79PQ93RR	INV	11/1/2024	11/1/2024	\$6.59	SUMVIBE 120" SOFTR TAPE M		\$6.59			
	1WW7CQL1TTKG	INV	11/1/2024	11/1/2024	\$244.51	PRINTER PAPER, COFFEE, MI		\$244.51			
	1D7PHWWR67FG	INV	11/5/2024	11/5/2024	\$23.82	DIP CH		\$23.82			

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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<b>Voucher(s):</b> 9	<b>Aged Totals:</b>	<b>Due</b>								
		\$872.75	\$872.75	\$0.00	\$0.00	\$0.00				

**Vendor ID:** 4557      **Name:** AMERICAN ENGINEERING TESTING INC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	224436	INV	11/6/2024	11/6/2024	\$13,171.90	202104 2024 SIMS STREET		\$13,171.90			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$13,171.90	\$13,171.90	\$0.00	\$0.00	\$0.00				

**Vendor ID:** 4278      **Name:** APEX      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	19103	INV	6/30/2024	6/30/2024	\$368.00	PROFESSIONAL SERVICES					\$368.00

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$368.00	\$0.00	\$0.00	\$0.00	\$0.00				\$368.00

**Vendor ID:** 5932      **Name:** AXON ENTERPRISE, INC      **Class ID:**      **FED TAX CLAS:** C- CORP

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	INUS294550	INV	11/1/2024	11/1/2024	\$11,579.98	FLEET 3 BASIC		\$11,579.98			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$11,579.98	\$11,579.98	\$0.00	\$0.00	\$0.00				\$0.00

**Vendor ID:** 68      **Name:** B & K ELECTRIC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	200781	INV	11/7/2024	11/7/2024	\$1,391.44	LED ST LIGHT, WIRE, FUSE		\$1,391.44			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$1,391.44	\$1,391.44	\$0.00	\$0.00	\$0.00				\$0.00

**Vendor ID:** 49      **Name:** BAKER & TAYLOR CO (GA)      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	2038643253	INV	10/18/2024	10/18/2024	\$87.40	TEEN		\$87.40			
	2038647677	INV	10/22/2024	10/22/2024	\$114.71	BCSD		\$114.71			
	2038650521	INV	10/22/2024	10/22/2024	\$186.21	BC		\$186.21			
	2038650562	INV	10/23/2024	10/23/2024	\$234.47	DIP		\$234.47			
	2038662352	INV	10/28/2024	10/28/2024	\$160.71	DIP CH		\$160.71			
	2038663537	INV	10/29/2024	10/29/2024	\$1,126.49	DIP TEEN		\$1,126.49			
	2038663589	INV	10/29/2024	10/29/2024	\$533.12	DIP CH		\$533.12			
	2038672821	INV	11/1/2024	11/1/2024	\$405.46	DIP		\$405.46			
	2038672830	INV	11/1/2024	11/1/2024	\$262.22	BC		\$262.22			

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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2038674817	INV	11/1/2024	11/1/2024	\$46.48	BCSD	\$46.48
2038675027	INV	11/1/2024	11/1/2024	\$14.15	DIP CH	\$14.15
2038676862	INV	11/2/2024	11/2/2024	\$37.60	DIP CH	\$37.60

<b>Voucher(s):</b> 12	<b>Aged Totals:</b>	<u>Due</u>	\$3,209.02	\$3,209.02	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 6203      **Name:** BALCO UNIFORM - POLICE ACCOUNT      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	81358-1	INV	11/1/2024	11/1/2024	\$475.75	EMBLEMS, CLOTHING FOR PC		\$475.75			
	81365-1	INV	11/1/2024	11/1/2024	\$203.50	MISC CLOTHING EMBLEMS FC		\$203.50			
	81536-1	INV	11/1/2024	11/1/2024	\$82.75	CLOTHING & EMBLEMS FOR F		\$82.75			
	81376	INV	11/7/2024	11/7/2024	\$188.79	F.T.O. PINS		\$188.79			

<b>Voucher(s):</b> 4	<b>Aged Totals:</b>	<u>Due</u>	\$950.79	\$950.79	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 6096      **Name:** BARTLETT & WEST, INC      **Class ID:**      **FED TAX CLAS:** S CORP

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	00730100143	INV	11/8/2024	11/8/2024	\$9,456.15	202215 DICKINSON PUBLIC LIE		\$9,456.15			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$9,456.15	\$9,456.15	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 817      **Name:** BECKER, DANA      **Class ID:**      **FED TAX CLAS:** EMPLOYEE

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	HEALTH INS PREMIU	INV	11/10/2024	11/10/2024	\$1,021.26	OPEB HLTH BENEFIT		\$1,021.26			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$1,021.26	\$1,021.26	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 773      **Name:** BERGER ELECTRIC INC      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	88052	INV	10/31/2024	10/31/2024	\$560.00	TROUBLESHOOT POWER ISS		\$560.00			
	88054	INV	10/31/2024	10/31/2024	\$306.62	TROUBLESHOOT STREET LIG		\$306.62			
	88055	INV	10/31/2024	10/31/2024	\$13,683.95	TROUBLESHOOT VFD		\$13,683.95			
	88056	INV	10/31/2024	10/31/2024	\$372.60	MOVE 2 DATA		\$372.60			
	88057	INV	10/31/2024	10/31/2024	\$209.10	TROUBLESHOOT & REPAIR S		\$209.10			
	88058	INV	10/31/2024	10/31/2024	\$120.36	TROUBLESHOOT STREET LIG		\$120.36			
	88059	INV	10/31/2024	10/31/2024	\$2,896.24	ORDER 10KW ELEC HEATER		\$2,896.24			

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 City of Dickinson

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<b>Voucher(s):</b> 7	<b>Aged Totals:</b>	<b>Due</b>				
		\$18,148.87	\$18,148.87	\$0.00	\$0.00	\$0.00

**Vendor ID:** 951      **Name:** BORDER STATES ELECTRIC SUPPLY      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	929333844	INV	10/31/2024	10/31/2024	\$47.40	HID LMP HPS ET 18		\$47.40			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>				
		\$47.40	\$47.40	\$0.00	\$0.00	\$0.00

**Vendor ID:** 6272      **Name:** BOSS OFFICE PRODUCTS      **Class ID:**      **FED TAX CLAS:** S CORP

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	659822-0	INV	11/1/2024	11/1/2024	\$27.98	ENVELOPES, PAPER, NOTE P		\$27.98			
	659822-1	INV	11/1/2024	11/1/2024	\$69.95	PAPER, NOTE, POST ITS		\$69.95			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>				
		\$97.93	\$97.93	\$0.00	\$0.00	\$0.00

**Vendor ID:** 4390      **Name:** BRAUN DISTRIBUTING      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	37645	INV	10/31/2024	10/31/2024	\$29.85	3 5 GAL SPRING WATERS		\$29.85			
	376132	INV	11/7/2024	11/7/2024	\$102.52	PLATES & CUTLERY KIT		\$102.52			
	37021	INV	11/8/2024	11/8/2024	\$45.80	4 5 GAL SPRING WATERS		\$45.80			

<b>Voucher(s):</b> 3	<b>Aged Totals:</b>	<b>Due</b>				
		\$178.17	\$178.17	\$0.00	\$0.00	\$0.00

**Vendor ID:** 3527      **Name:** BRAUN INTERTEC CORPORATION      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	B406568	INV	10/30/2024	10/30/2024	\$17,600.50	201601 NORTH INDUSTRIES		\$17,600.50			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>				
		\$17,600.50	\$17,600.50	\$0.00	\$0.00	\$0.00

**Vendor ID:** 592      **Name:** BRAVERA INSURANCE      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	16969	INV	10/3/2024	10/3/2024	\$34.00	ENDT INCR FOR BLANKET B			\$34.00		
	16970	INV	10/3/2024	10/3/2024	\$1,605.00	ENDT 3 2025 FORD EXP. 2 24 ,			\$1,605.00		
	17025	INV	10/24/2024	10/24/2024	\$321.00	ADD 2025 FORD EXPLORERS		\$321.00			
	17026	INV	10/24/2024	10/24/2024	\$1,212.00	ENDT ADD 2024 FREIGHTLINE		\$1,212.00			
	17032	INV	10/29/2024	10/29/2024	\$195.61	ADD 20 LOCATIONS TO POLIC		\$195.61			

<b>Voucher(s):</b> 5	<b>Aged Totals:</b>	<b>Due</b>				
		\$3,367.61	\$1,728.61	\$1,639.00	\$0.00	

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 City of Dickinson

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<b>Vendor ID:</b> 1432	<b>Name:</b> BROWN, DAN	<b>Class ID:</b>	<b>FED TAX CLAS:</b>	EMPLOY							
<b>Voucher/</b>											
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	HEALTH INS PREMIU	INV	11/14/2024	11/14/2024	\$368.97	OPEB HLTH BENEFIT		\$368.97			

<b>Voucher(s):</b> 1		<b>Aged Totals:</b>					
			<b>Due</b>				
			\$368.97	\$368.97	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 96	<b>Name:</b> BUTLER MACHINERY CO	<b>Class ID:</b>	<b>FED TAX CLAS:</b>								
<b>Voucher/</b>											
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	09PS0368707	INV	10/31/2024	10/31/2024	\$17.96	2 ADAPTERS		\$17.96			
	09PS0368708	INV	10/31/2024	10/31/2024	\$211.19	ELEK KT AFTM		\$211.19			
	09PS0368794	INV	11/2/2024	11/2/2024	\$116.01	SWITCH		\$116.01			
	09PS0368858	INV	11/5/2024	11/5/2024	\$159.84	SWITCH		\$159.84			
	09PS0368977	INV	11/7/2024	11/7/2024	\$45.88	CLAMP HOSE		\$45.88			
	09PS0369024	INV	11/8/2024	11/8/2024	\$487.46	BATTERY		\$487.46			
	09PS0369025	INV	11/8/2024	11/8/2024	\$31.52	ELEMENT		\$31.52			

<b>Voucher(s):</b> 7		<b>Aged Totals:</b>					
			<b>Due</b>				
			\$1,069.86	\$1,069.86	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 610	<b>Name:</b> CARQUEST AUTO PARTS STORES	<b>Class ID:</b>	<b>FED TAX CLAS:</b>								
<b>Voucher/</b>											
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	2781-423601	INV	10/29/2024	10/29/2024	\$187.50	BATTERY AND CORE RETURN		\$187.50			
	2781-423784	INV	11/1/2024	11/1/2024	\$120.00	BRAKLEEN LOW VOC		\$120.00			
	2781-423974	INV	11/6/2024	11/6/2024	\$187.50	BATTERY & CORE RETURN		\$187.50			

<b>Voucher(s):</b> 3		<b>Aged Totals:</b>					
			<b>Due</b>				
			\$495.00	\$495.00	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 9577	<b>Name:</b> CASE ELECTRIC LLC	<b>Class ID:</b> 1099	<b>FED TAX CLAS:</b>	LLC							
<b>Voucher/</b>											
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	2251	INV	10/29/2024	10/29/2024	\$4,972.05	WORK DONE AT CITY SHOP C		\$4,972.05			

<b>Voucher(s):</b> 1		<b>Aged Totals:</b>					
			<b>Due</b>				
			\$4,972.05	\$4,972.05	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 3431	<b>Name:</b> CENGAGE LEARNING	<b>Class ID:</b>	<b>FED TAX CLAS:</b>								
<b>Voucher/</b>											
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	85928585	INV	11/5/2024	11/5/2024	\$173.19	DIP		\$173.19			
	85934455	INV	11/6/2024	11/6/2024	\$105.71	DIP		\$105.71			
	85935173	INV	11/6/2024	11/6/2024	\$51.73	DIP		\$51.73			

### AGED TRIAL BALANCE WITH OPTIONS - DETAIL

City of Dickinson

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85935586      INV      11/6/2024    11/6/2024      \$107.21    DIP      \$107.21

<b>Voucher(s):</b> 4	<b>Aged Totals:</b>	<u>Due</u>	\$437.84	\$437.84	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 116      **Name:** CITY OF DICKINSON      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	EMMET REIS CK	INV	11/6/2024	11/6/2024	\$89.57	CHECK FROM FD EMET REIS		\$89.57			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$89.57	\$89.57	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 5916      **Name:** CITY OF MEDORA      **Class ID:** 1099      **FED TAX CLAS:** GOVERNMENT

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	'24 GRANT FUNDS	INV	11/12/2024	11/12/2024	\$10,000.00	2024 GRANT FUNDS		\$10,000.00			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 9641      **Name:** CIVICPLUS LLC      **Class ID:**      **FED TAX CLAS:** LLC-P

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	323495	INV	11/1/2024	11/1/2024	\$4,600.01	RECODICATION, MUNICODE E		\$4,600.01			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$4,600.01	\$4,600.01	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 128      **Name:** CONSOLIDATED COMM CORP      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	2716800 110124	INV	11/1/2024	11/1/2024	\$4,431.56	MONTHLY PHONE BILLING		\$4,431.56			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$4,431.56	\$4,431.56	\$0.00	\$0.00	\$0.00
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**Vendor ID:** 6157      **Name:** CORE & MAIN LP      **Class ID:** 1099      **FED TAX CLAS:** PARTNERSHIP

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	V772379	INV	10/11/2024	10/11/2024	\$2,480.00	DEETER 2501 FRAME & GRAT		\$2,480.00			
	V823600	INV	10/15/2024	10/15/2024	\$2,389.86	PVC WEDGE RESTRN RED IM		\$2,389.86			
	V829926	INV	10/22/2024	10/22/2024	\$1,106.74	HYD EXT KIT		\$1,106.74			

<b>Voucher(s):</b> 3	<b>Aged Totals:</b>	<u>Due</u>	\$5,976.60	\$3,496.60	\$2,480.00	\$0.00	\$0.00
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**Vendor ID:** 9936      **Name:** CUDA CLEANING SYSTEMS      **Class ID:** 1099      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	4945	INV	10/21/2024	10/21/2024	\$17,516.75	CUDG AUTOMATIC PARTS W/		\$17,516.75			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>	\$17,516.75	\$17,516.75	\$0.00	\$0.00	\$0.00
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**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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<b>Vendor ID:</b> 3986		<b>Name:</b> CUMMINS SALES AND SERVICE					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	CG-241019354	INV	10/25/2024	10/25/2024	\$642.54	GEN SETS		\$642.54				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						\$642.54	\$642.54	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 142		<b>Name:</b> DACOTAH PAPER CO					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	17607	INV	10/28/2024	10/28/2024	\$213.48	CLEANING SUPPLIES		\$213.48				
	24403	INV	11/11/2024	11/11/2024	\$56.56	CLEANING SUPPLIES		\$56.56				
							<b>Due</b>					
<b>Voucher(s):</b> 2		<b>Aged Totals:</b>						\$270.04	\$270.04	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 5999		<b>Name:</b> DAKOTA BUSINESS SOLUTIONS					<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	1368	INV	11/4/2024	11/4/2024	\$652.31	FALL/WINTER 2024 LETTER IN		\$652.31				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						\$652.31	\$652.31	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 5548		<b>Name:</b> DAKOTA POWER HYDRAULICS					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b> LLC AS PARTNERSHIP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	3407	INV	11/6/2024	11/6/2024	\$4,986.87	CAST IRON PISTON SEAL KIT		\$4,986.87				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						\$4,986.87	\$4,986.87	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 5826		<b>Name:</b> DAKOTA PRAIRIE REFINNING, LLC					<b>Class ID:</b>		<b>FED TAX CLAS:</b> C CORP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	110524	INV	11/5/2024	11/5/2024	\$5,065.65	CONVEYANDE FEE		\$5,065.65				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						\$5,065.65	\$5,065.65	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 9647		<b>Name:</b> DATA443 RISK MITIGATION INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b> C CORP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	39879	INV	10/29/2024	10/29/2024	\$292.56	RANSONWARE RECOVERY M		\$292.56				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						\$292.56	\$292.56	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 5166		<b>Name:</b> DICKINSON PARKS & REC (MEMBERS)					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	3190198	INV	11/12/2024	11/12/2024	\$2,230.55	EMPLOYEE MEMBERSHIPS		\$2,230.55				

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<b>Voucher(s):</b> 1		<b>Due</b>			
	<b>Aged Totals:</b>	\$2,230.55	\$2,230.55	\$0.00	\$0.00

<b>Vendor ID:</b> 182		<b>Name:</b> DICKINSON TIRE INC				<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>											
	1-GS186204	INV	10/29/2024	10/29/2024	\$771.00	EAGLE ENFORCER AW		\$771.00			
	1-186397	INV	11/7/2024	11/7/2024	\$20.00	AIRLOCK TUBE		\$20.00			

<b>Voucher(s):</b> 2		<b>Due</b>			
	<b>Aged Totals:</b>	\$791.00	\$791.00	\$0.00	\$0.00

<b>Vendor ID:</b> 192		<b>Name:</b> DONS FILTER & FURNACES UNLIMITED				<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>											
	055984	INV	11/6/2024	11/6/2024	\$1,037.64	MISC FILTERS		\$1,037.64			
	055987	INV	11/6/2024	11/6/2024	\$142.44	12 FILTERS		\$142.44			

<b>Voucher(s):</b> 2		<b>Due</b>			
	<b>Aged Totals:</b>	\$1,180.08	\$1,180.08	\$0.00	\$0.00

<b>Vendor ID:</b> 203		<b>Name:</b> EAST END AUTO (POLICE)				<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>											
	18388	INV	10/4/2024	10/4/2024	\$50.00	IMPOUNDED 1992 CHEVY			\$50.00		
	18456	INV	10/31/2024	10/31/2024	\$50.00	TOWING OF 1994 CHEVY PICK		\$50.00			
	18457	INV	10/31/2024	10/31/2024	\$50.00	TOWING 1992 HONDA ACCOR		\$50.00			
	18458	INV	10/31/2024	10/31/2024	\$50.00	TOWING 2003 CHEVY IMPALA		\$50.00			
	18459	INV	10/31/2024	10/31/2024	\$50.00	TOWING 1996 GMC YUKON		\$50.00			
	18460	INV	10/31/2024	10/31/2024	\$50.00	TOWING 2014 CHEVY EQUINC		\$50.00			

<b>Voucher(s):</b> 6		<b>Due</b>			
	<b>Aged Totals:</b>	\$300.00	\$250.00	\$50.00	\$0.00

<b>Vendor ID:</b> 1039		<b>Name:</b> ELDER CARE				<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>											
	6186	INV	10/28/2024	10/28/2024	\$929.12	MONTHLY BILLING		\$929.12			

<b>Voucher(s):</b> 1		<b>Due</b>			
	<b>Aged Totals:</b>	\$929.12	\$929.12	\$0.00	\$0.00

<b>Vendor ID:</b> 2535		<b>Name:</b> ELECTRIC PUMP				<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
<b>Payment No.</b>											
	027222	INV	11/4/2024	11/4/2024	\$272.79	PUMP PARTS FOR CP3127-48:		\$272.79			
	027223	INV	11/4/2024	11/4/2024	\$342.79	WEAR RINGS		\$342.79			

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 City of Dickinson

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							Due				
Voucher(s): 2		<b>Aged Totals:</b>					\$615.58	\$615.58	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 2981		<b>Name:</b> ELECTRIC SALES & SERVICE INC			<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	29013	INV	9/27/2024	9/27/2024	\$90.00	REPAIR LIGHT FIXTURE @ MA			\$90.00		
Voucher(s): 1		<b>Aged Totals:</b>					\$90.00	\$0.00	\$90.00	\$0.00	\$0.00
<b>Vendor ID:</b> 9772		<b>Name:</b> ESO SOLUTIONS, INC.			<b>Class ID:</b>		<b>FED TAX CLAS:</b> C CORP				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	152882	INV	10/31/2024	10/31/2024	\$19,507.80	FIRE SET UP & TRAINING		\$19,507.80			
Voucher(s): 1		<b>Aged Totals:</b>					\$19,507.80	\$19,507.80	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 6237		<b>Name:</b> EVOQUA WATER TECHNOLOGIES LLC			<b>Class ID:</b>		<b>FED TAX CLAS:</b> C CORP				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	906729282	INV	10/31/2024	10/31/2024	\$20,436.00	CHEMICAL		\$20,436.00			
Voucher(s): 1		<b>Aged Totals:</b>					\$20,436.00	\$20,436.00	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 181		<b>Name:</b> FACTORY MOTOR PARTS			<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	206-020882	CRM	10/31/2024		(\$18.00)	RETURN BATTERY CORE		(\$18.00)			
	206-020811	INV	10/29/2024	10/29/2024	\$151.43	MTC BXT94RH7730		\$151.43			
Voucher(s): 2		<b>Aged Totals:</b>					\$133.43	\$133.43	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 2606		<b>Name:</b> FERGUSON ENTERPRISES INC			<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	1059871	INV	10/30/2024	10/30/2024	\$90.95	NEOP SHT MATERIAL		\$90.95			
Voucher(s): 1		<b>Aged Totals:</b>					\$90.95	\$90.95	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 4084		<b>Name:</b> FERGUSON WATERWORKS #2516			<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	W1008496	INV	10/14/2024	10/14/2024	\$422.26	CURB BX ECC REP TOP WTR,		\$422.26			
	W1008506	INV	11/4/2024	11/4/2024	\$91.79	CURB BX REP TOP COUP		\$91.79			
Voucher(s): 2		<b>Aged Totals:</b>					\$514.05	\$514.05	\$0.00	\$0.00	\$0.00

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<b>Vendor ID:</b> 6113		<b>Name:</b> FLEETMIND SOLUTIONS INC.					<b>Class ID:</b>		<b>FED TAX CLAS:</b> CORPOR		
<b>Voucher/</b>							<b>Writeoff</b>				
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	11679	INV	11/6/2024	11/6/2024	\$1,015.00	NOV MO DATA PLAN W/VERIZ		\$1,015.00			
	11680	INV	11/6/2024	11/6/2024	\$435.03	NOV MO DATA PLAN W/VERIZ		\$435.03			
							<b>Due</b>				
<b>Voucher(s):</b> 2		<b>Aged Totals:</b>					\$1,450.03	\$1,450.03	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 5859		<b>Name:</b> FORUM COMMUNICATIONS CO.					<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP		
<b>Voucher/</b>							<b>Writeoff</b>				
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	I2024.00037309	INV	6/30/2024	6/30/2024	\$330.00	VISITOR & RELOCATION GUID					\$330.00
	I2024.00037310	INV	6/30/2024	6/30/2024	\$240.00	LEGACY SQUARE FULL SERIE					\$240.00
	I2024.00037311	INV	6/30/2024	6/30/2024	\$120.00	WEEKLY CONCERT					\$120.00
	I2024.00037312	INV	6/30/2024	6/30/2024	\$500.00	LEGACY SQUARE DIGITAL					\$500.00
	I2024.00041579	INV	10/31/2024	10/31/2024	\$399.00	DICKINSON CITY MAP-LEGAC'		\$399.00			
	I2024.00041580	INV	10/31/2024	10/31/2024	\$399.00	DICKINSON CITY MAP CITY H/		\$399.00			
	I2024.00041581	INV	10/31/2024	10/31/2024	\$120.00	CHRISTMAS EVENTS -PRINT		\$120.00			
	I2024.00041582	INV	10/31/2024	10/31/2024	\$200.00	CHRISTMAS EVENTS-DIGITAL		\$200.00			
	MP119154 103124	INV	10/31/2024	10/31/2024	\$132.00	ADVERTISING -MUSEUM		\$132.00			
	MP148685 103124	INV	10/31/2024	10/31/2024	\$145.00	ADVERTISING -LIBRARY		\$145.00			
							<b>Due</b>				
<b>Voucher(s):</b> 10		<b>Aged Totals:</b>					\$2,585.00	\$1,395.00	\$0.00	\$0.00	\$1,190.00

<b>Vendor ID:</b> 6287		<b>Name:</b> FRIES JOEL/ TRACKER MANAGEMENT					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b> SOLE PROP/SINGLE LLC		
<b>Voucher/</b>							<b>Writeoff</b>				
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	18147	INV	10/25/2024	10/25/2024	\$2,402.22	10/24/24 DICKINSON-SHAKOPI		\$2,402.22			
	18232	INV	11/5/2024	11/5/2024	\$2,406.54	10/31/24 DICKINSON-SHAKOPI		\$2,406.54			
							<b>Due</b>				
<b>Voucher(s):</b> 2		<b>Aged Totals:</b>					\$4,808.76	\$4,808.76	\$0.00	\$0.00	\$0.00

<b>Vendor ID:</b> 668		<b>Name:</b> GALLS INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>		
<b>Voucher/</b>							<b>Writeoff</b>				
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	029419480	INV	10/22/2024	10/22/2024	\$154.32	CROSS FR WOMENS CLASS A		\$154.32			
	029421868	INV	10/22/2024	10/22/2024	\$133.18	THOROGOOD 6 BLACK QUICK		\$133.18			
	029456819	INV	10/25/2024	10/25/2024	\$899.80	SIDE ZIP JUMP BOOT		\$899.80			

### AGED TRIAL BALANCE WITH OPTIONS - DETAIL

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<b>Voucher(s):</b> 3		<b>Due</b>			
	<b>Aged Totals:</b>	\$1,187.30	\$1,187.30	\$0.00	\$0.00

**Vendor ID:** 241      **Name:** GENERAL STEEL & SUPPLY      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	28016	INV	11/6/2024	11/6/2024	\$39.30	GRINDING WHEELS FOR BALI		\$39.30			

<b>Voucher(s):</b> 1		<b>Due</b>			
	<b>Aged Totals:</b>	\$39.30	\$39.30	\$0.00	\$0.00

**Vendor ID:** 243      **Name:** GEORGES TIRE SHOP INC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	184321	INV	10/21/2024	10/21/2024	\$6,120.00	17 318 80R225 BDM		\$6,120.00			
	184350	INV	10/21/2024	10/21/2024	\$55.00	FIX FLAT		\$55.00			
	185703	INV	10/24/2024	10/24/2024	\$40.00	FIX FLAT R64		\$40.00			
	182819	INV	10/28/2024	10/28/2024	\$115.00	CHANGE R-8		\$115.00			
	185229	INV	10/29/2024	10/29/2024	\$4,241.80	8 11R 225 ROADMASTER		\$4,241.80			
	185373	INV	11/1/2024	11/1/2024	\$1,620.00	50 CAPS & 5 11R225 BDM		\$1,620.00			

<b>Voucher(s):</b> 6		<b>Due</b>			
	<b>Aged Totals:</b>	\$12,191.80	\$12,191.80	\$0.00	\$0.00

**Vendor ID:** 6082      **Name:** GOOSENECK IMPLEMENT      **Class ID:**      **FED TAX CLAS:** S CORP

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	11178756	INV	10/3/2024	10/3/2024	\$51.34	FILTER ELEMENT, FILTER			\$51.34		
	11195904	INV	11/4/2024	11/4/2024	\$115.63	2 SPEC WATER RESIS GREAS		\$115.63			

<b>Voucher(s):</b> 2		<b>Due</b>			
	<b>Aged Totals:</b>	\$166.97	\$115.63	\$51.34	\$0.00

**Vendor ID:** 248      **Name:** GRAND FORKS FIRE EQUIPMENT      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	42148	INV	11/7/2024	11/7/2024	\$3,939.35	22 CREW BOSS PANTS FOR F		\$3,939.35			
	42181	INV	11/11/2024	11/11/2024	\$1,184.80	14" PULL ON ARCTIC GRIPS		\$1,184.80			

<b>Voucher(s):</b> 2		<b>Due</b>			
	<b>Aged Totals:</b>	\$5,124.15	\$5,124.15	\$0.00	\$0.00

**Vendor ID:** 9747      **Name:** GREEN LANDON      **Class ID:**      **FED TAX CLAS:** EMPLOYEE REIMBURSE

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	MILEAGE OCT 2024	INV	11/4/2024	11/4/2024	\$158.25	MILEAGE FOR OCTOBER 2024		\$158.25			

<b>Voucher(s):</b> 1		<b>Due</b>			
	<b>Aged Totals:</b>	\$158.25	\$158.25	\$0.00	\$0.00

### AGED TRIAL BALANCE WITH OPTIONS - DETAIL

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Vendor ID: 5217		Name: HALEY STRATEGIC PARTNERS, LLC.					Class ID:		FED TAX CLAS:			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	000509338	INV	10/31/2024	10/31/2024	\$4,490.31	RANGER, MED MAG, VERTICA		\$4,490.31				
							Due					
Voucher(s): 1							<b>Aged Totals:</b>	\$4,490.31	\$4,490.31	\$0.00	\$0.00	\$0.00
Vendor ID: 686		Name: HARRIS WASTE MGT GROUP/CORDELE					Class ID:		FED TAX CLAS:			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	303854	INV	10/31/2024	10/31/2024	\$772.16	ELEMENT, FILTER 5 MICRON		\$772.16				
							Due					
Voucher(s): 1							<b>Aged Totals:</b>	\$772.16	\$772.16	\$0.00	\$0.00	\$0.00
Vendor ID: 6210		Name: HEART RIVER VOICE					Class ID:		FED TAX CLAS: S CORP			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	1097	INV	10/21/2024	10/21/2024	\$500.00	ADVERTISING -LEGACY SQUA		\$500.00				
	1092	INV	11/3/2024	11/3/2024	\$140.00	ADVERTISING -LIBRARY		\$140.00				
							Due					
Voucher(s): 2							<b>Aged Totals:</b>	\$640.00	\$640.00	\$0.00	\$0.00	\$0.00
Vendor ID: 2572		Name: HOTSY EQUIPMENT COMPANY					Class ID:		FED TAX CLAS:			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	SI033609	INV	11/5/2024	11/5/2024	\$1,083.00	55 GAL BREAKOUT		\$1,083.00				
							Due					
Voucher(s): 1							<b>Aged Totals:</b>	\$1,083.00	\$1,083.00	\$0.00	\$0.00	\$0.00
Vendor ID: 6401		Name: IMPACT PHOTOGRAPHICS, INC					Class ID:		FED TAX CLAS: S CORP			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	INV086436	INV	11/7/2024	11/7/2024	\$1,063.49	GIFT SHOP STOCK		\$1,063.49				
							Due					
Voucher(s): 1							<b>Aged Totals:</b>	\$1,063.49	\$1,063.49	\$0.00	\$0.00	\$0.00
Vendor ID: 2255		Name: INFORMATION TECHNOLOGY DEPT					Class ID:		FED TAX CLAS:			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	DP102024.945.0	INV	10/31/2024	10/31/2024	\$657.90	SSL VPN CLIENT, AZURE AD F		\$657.90				
	TC102024.945.0	INV	10/31/2024	10/31/2024	\$16.75	PEXIP VIRTUAL MEETING ROC		\$16.75				
							Due					
Voucher(s): 2							<b>Aged Totals:</b>	\$674.65	\$674.65	\$0.00	\$0.00	\$0.00
Vendor ID: 5788		Name: INNOVATIVE OFFICE SOLUTIONS LLC					Class ID: 1099		FED TAX CLAS: LLC-P			
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over	
	4678368	INV	10/28/2024	10/28/2024	\$30.18	COCOA, REG		\$30.18				

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 City of Dickinson

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							Due					
<b>Voucher(s):</b> 1							<b>Aged Totals:</b>	\$30.18	\$30.18	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 4381	<b>Name:</b> J & J OPERATING LLC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	S216825	INV	11/7/2024	11/7/2024	\$42.67	LICENSE LIGHT KIT BLACK LE		\$42.67				
							Due					
<b>Voucher(s):</b> 1							<b>Aged Totals:</b>	\$42.67	\$42.67	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 293	<b>Name:</b> JEROMES DISTRIBUTING INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	2053198	INV	10/31/2024	10/31/2024	\$82.80	8 KANDIYOHI WATERS, RETUI		\$82.80				
	2053215	INV	10/31/2024	10/31/2024	\$12.75	WATER RENTAL		\$12.75				
							Due					
<b>Voucher(s):</b> 2							<b>Aged Totals:</b>	\$95.55	\$95.55	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 298	<b>Name:</b> JP FRAME SHOP					<b>Class ID:</b>		<b>FED TAX CLAS:</b>				
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	1-44696	INV	10/15/2024	10/15/2024	\$279.58	SWITCH PHOTOS, NEW PLATI		\$279.58				
							Due					
<b>Voucher(s):</b> 1							<b>Aged Totals:</b>	\$279.58	\$279.58	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 9879	<b>Name:</b> KBJM 1400 AM					<b>Class ID:</b>		<b>FED TAX CLAS:</b>	S CORP			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	7706 103124	INV	10/31/2024	10/31/2024	\$37.60	ADVERTISING -LEGACY SQUA		\$37.60				
							Due					
<b>Voucher(s):</b> 1							<b>Aged Totals:</b>	\$37.60	\$37.60	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 301	<b>Name:</b> KLJ ENGINEERING LLC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>	S CORP			
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	10216147	INV	10/24/2024	10/24/2024	\$9,805.50	202216 BALER/REC CTR BLDG		\$9,805.50				
	10216216	INV	10/24/2024	10/24/2024	\$7,613.96	202110 STATE AVE HEART RI		\$7,613.96				
	10216217	INV	10/24/2024	10/24/2024	\$19,928.00	202501 2025 ROAD MAINTENA		\$19,928.00				
	10216269	INV	10/24/2024	10/24/2024	\$22,321.00	202401 2024 ROAD MAINTENA		\$22,321.00				
							Due					
<b>Voucher(s):</b> 4							<b>Aged Totals:</b>	\$59,668.46	\$59,668.46	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 9938	<b>Name:</b> LENNICK DAVE					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b>				
<b>Voucher/</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	928703	INV	11/12/2024	11/12/2024	\$659.00	INSTALL TILE, GLUE & TILE		\$659.00				

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<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>			
		\$659.00	\$659.00	\$0.00	\$0.00

<b>Vendor ID:</b> 9510	<b>Name:</b> LINDE GAS & EQUIPMENT INC	<b>Class ID:</b>	<b>FED TAX CLAS:</b> C CORP
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<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	45949888	INV	10/23/2024	10/23/2024	\$35.56	OXYGEN USP AD		\$35.56			
	45968062	INV	10/24/2024	10/24/2024	\$45.92	GLOVES		\$45.92			
	46244286	INV	11/7/2024	11/7/2024	\$35.56	OXYGEN USP AD		\$35.56			

<b>Voucher(s):</b> 3	<b>Aged Totals:</b>	<b>Due</b>			
		\$117.04	\$117.04	\$0.00	\$0.00

<b>Vendor ID:</b> 1218	<b>Name:</b> LOGO MAGIC INC	<b>Class ID:</b>	<b>FED TAX CLAS:</b>
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<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	146820	INV	10/30/2024	10/30/2024	\$295.00	CLOTHING ORDERED-B GRIN:		\$295.00			
	147092	INV	11/7/2024	11/7/2024	\$150.00	CLOTHING ORDERED-C TORN		\$150.00			
	147119	INV	11/8/2024	11/8/2024	\$96.00	CLOTHING ORDERED-C WOLF		\$96.00			
	147123	INV	11/8/2024	11/8/2024	\$16.00	LOGO, NAME FOR B RAMSEY		\$16.00			

<b>Voucher(s):</b> 4	<b>Aged Totals:</b>	<b>Due</b>			
		\$557.00	\$557.00	\$0.00	\$0.00

<b>Vendor ID:</b> 6192	<b>Name:</b> MAC'S HARDWARE	<b>Class ID:</b>	<b>FED TAX CLAS:</b> C CORP
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<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	C57885/D	INV	11/5/2024	11/5/2024	\$9.19	ROPE, NYLON SOLID BRAID		\$9.19			
	C58181/D	INV	11/8/2024	11/8/2024	\$91.06	NUTS, LOCK NYLON INSERT, I		\$91.06			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>			
		\$100.25	\$100.25	\$0.00	\$0.00

<b>Vendor ID:</b> 352	<b>Name:</b> MACKOFF KELLOGG LAW FIRM	<b>Class ID:</b> 1099	<b>FED TAX CLAS:</b> ATTORNEY
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<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	55000-000C 103124	INV	10/31/2024	10/31/2024	\$17,000.00	PROSECUTION		\$17,000.00			
	56000-000C 103124	INV	10/31/2024	10/31/2024	\$15,000.00	CITY ATTORNEY CONTRACT		\$15,000.00			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>			
		\$32,000.00	\$32,000.00	\$0.00	\$0.00

<b>Vendor ID:</b> 4828	<b>Name:</b> MENARDS	<b>Class ID:</b>	<b>FED TAX CLAS:</b>
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<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	55851	INV	10/17/2024	10/17/2024	\$139.36	GLADE SCENTS, BLACE ICE, I		\$139.36			
	56124	INV	10/23/2024	10/23/2024	\$36.96	HOSE SAVER FITS, UNIV LEA		\$36.96			
	56130	INV	10/23/2024	10/23/2024	\$85.95	DRIVE SOCKET, DRILL BIT SE		\$85.95			

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56359	INV	10/28/2024	10/28/2024	\$26.76	CASTER 3" TPR SWIVEL	\$26.76
56448	INV	10/30/2024	10/30/2024	\$199.96	4 RESINS 4 SHELF	\$199.96
56462	INV	10/30/2024	10/30/2024	\$317.58	CORDS, STRAINER, BAR KEEI	\$317.58
56505	INV	10/31/2024	10/31/2024	\$11.88	CLEANOUT ADAPTER, FLUSH	\$11.88
56525	INV	10/31/2024	10/31/2024	\$312.19	STORAGE CABINET, 2.5 GAL I	\$312.19
56745	INV	11/5/2024	11/5/2024	\$6.32	LAG SCREW EYE	\$6.32
56753	INV	11/5/2024	11/5/2024	\$179.67	FILTER BAGS, DRYWALL BAG	\$179.67
56771	INV	11/5/2024	11/5/2024	\$54.98	POURABLE CONCRETE PATC	\$54.98
56916 110824	INV	11/8/2024	11/8/2024	\$1.97	4 PK MOUSE TRAPS	\$1.97

<b>Voucher(s):</b> 12	<b>Aged Totals:</b>	<b>Due</b>			
		<b>\$1,373.58</b>	<b>\$1,373.58</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Vendor ID:** 6400      **Name:** MIDCONTINENT COMMUNICATIONS      **Class ID:** 1099      **FED TAX CLAS:** PARTNERSHIP

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	22239950114342	INV	10/20/2024	10/20/2024	\$236.78	MIDCO BUSINESS INTERNET		\$236.78			
	22267580114353	INV	10/27/2024	10/27/2024	\$236.78	MIDCO BUSINESS INTERNET		\$236.78			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>			
		<b>\$473.56</b>	<b>\$473.56</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Vendor ID:** 370      **Name:** MIDWEST DOORS INC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	96762	INV	10/25/2024	10/25/2024	\$1,929.58	LABOR TO REPLACE SPRING		\$1,929.58			
	96782	INV	10/29/2024	10/29/2024	\$150.00	LABOR TO RESET BOARD		\$150.00			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>			
		<b>\$2,079.58</b>	<b>\$2,079.58</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Vendor ID:** 1732      **Name:** MIDWEST TAPE      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	506273698	INV	10/31/2024	10/31/2024	\$3,264.07	DIGITAL AUDIOBOOK, MOVIE,		\$3,264.07			
	506265114	INV	11/1/2024	11/1/2024	\$101.21	DIP CH AV		\$101.21			
	506265115	INV	11/1/2024	11/1/2024	\$65.98	DIP AV		\$65.98			
	506265117	INV	11/1/2024	11/1/2024	\$104.95	SLOPE CH AV		\$104.95			
	506303780	INV	11/7/2024	11/7/2024	\$98.93	DIP CH AV		\$98.93			
	506303781	INV	11/7/2024	11/7/2024	\$374.88	DIP AV		\$374.88			

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506303782	INV	11/7/2024	11/7/2024	\$19.49	DIP AV	\$19.49
506303783	INV	11/7/2024	11/7/2024	\$354.61	BC AV	\$354.61
506303785	INV	11/7/2024	11/7/2024	\$44.99	BC AV	\$44.99
506303786	INV	11/7/2024	11/7/2024	\$97.45	SLOPE CH AV	\$97.45

<b>Voucher(s):</b> 10	<b>Aged Totals:</b>	<b>Due</b>			
		<b>\$4,526.56</b>	<b>\$4,526.56</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Vendor ID:** 984      **Name:** MINNESOTA VALLEY TESTING LAB INC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	1278798	INV	10/31/2024	10/31/2024	\$196.30	CHEMICALS		\$196.30			
	1278988	INV	11/1/2024	11/1/2024	\$145.00	CHEMICALS		\$145.00			
	1279000	INV	11/1/2024	11/1/2024	\$293.50	CHEMICALS		\$293.50			
	1279008	INV	11/1/2024	11/1/2024	\$161.20	CHEMICALS		\$161.20			
	1279009	INV	11/1/2024	11/1/2024	\$145.00	CHEMICALS		\$145.00			
	1279966	INV	11/7/2024	11/7/2024	\$145.00	CHEMICALS		\$145.00			
	1279967	INV	11/7/2024	11/7/2024	\$49.00	CHEMICALS		\$49.00			
	1279971	INV	11/7/2024	11/7/2024	\$293.50	CHEMICALS		\$293.50			
	1279977	INV	11/7/2024	11/7/2024	\$145.00	CHEMICALS		\$145.00			

<b>Voucher(s):</b> 9	<b>Aged Totals:</b>	<b>Due</b>			
		<b>\$1,573.50</b>	<b>\$1,573.50</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Vendor ID:** 380      **Name:** MONTANA-DAKOTA UTILITY      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	55604	INV	10/16/2024	10/16/2024	\$269.37	REPAIR STREET LIGHT		\$269.37			
	292 122 1000 8	INV	10/30/2024	10/30/2024	\$51.11	W 2ND ST W 3RD AVE		\$51.11			
	303 122 1000 5	INV	10/30/2024	10/30/2024	\$32.59	W 3RD AVE STOP LITE BLINK		\$32.59			
	351 043 1000 4	INV	10/30/2024	10/30/2024	\$40.03	EMERGENCY MGMT 530 FAIR		\$40.03			
	39212210007 103024	INV	10/30/2024	10/30/2024	\$0.13	240 1/2 W 2ND ST CHRISTMAS		\$0.13			
	505 122 1000 1	INV	10/30/2024	10/30/2024	\$43.40	W 4TH AVE DICKINSON ALLEY		\$43.40			
	547 122 1000 1	INV	10/30/2024	10/30/2024	\$46.95	ROCKY BUTTE PK PARK TANP		\$46.95			
	578 063 0720 3	INV	10/30/2024	10/30/2024	\$15.71	222 2ND ST W		\$15.71			
	60522210008	INV	10/30/2024	10/30/2024	\$33.54	W VILLARD ST BLK LIGHTS		\$33.54			
	993 122 1000 0	INV	10/30/2024	10/30/2024	\$44.94	DICKINSON SIGNAL LITES W 9		\$44.94			

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236 829 4289 3	INV	11/1/2024	11/1/2024	\$72.12	1150 STATE AVE STREET LIGI	\$72.12
40432210009	INV	11/1/2024	11/1/2024	\$377.37	W 14TH ST LIFT STATION SIMI	\$377.37
411 633 3532 0	INV	11/1/2024	11/1/2024	\$124.48	1340 1/2 W VILLARD ST	\$124.48
41432210007	INV	11/1/2024	11/1/2024	\$55.31	2100 3RD ST W HIGHWAY 22 S	\$55.31
83243529704	INV	11/1/2024	11/1/2024	\$54.17	1400 3RD AVE E TRAFFIC SIGI	\$54.17
89112210003 110124	INV	11/1/2024	11/1/2024	\$4,406.56	139 3RD ST W DKN PUBLIC LIF	\$4,406.56
05295310006	INV	11/5/2024	11/5/2024	\$35.71	1587 GRASSLANDS DR	\$35.71
106 127 1790 9	INV	11/5/2024	11/5/2024	\$567.16	2475 STATE AVE N MAIN BUILI	\$567.16
115 654 8615 3	INV	11/5/2024	11/5/2024	\$236.89	1685 1/2 W 19TH ST	\$236.89
15658310006	INV	11/5/2024	11/5/2024	\$62.31	1201 W 3RD AV SPRINKLER S	\$62.31
192 439 3720 8	INV	11/5/2024	11/5/2024	\$58.12	1791 21ST ST E	\$58.12
195 422 1000 0	INV	11/5/2024	11/5/2024	\$37.91	W 20TH ST W 19TH ST SIREN	\$37.91
241 900 7363 5	INV	11/5/2024	11/5/2024	\$272.34	2015 1/2 WAHL ST	\$272.34
42732210002	INV	11/5/2024	11/5/2024	\$1,923.72	989 15TH ST W LIFT 12 STATI	\$1,923.72
49532210009	INV	11/5/2024	11/5/2024	\$129.15	W 13TH ST	\$129.15
53524310009	INV	11/5/2024	11/5/2024	\$123.82	STREET LIGHT CONTROL 133	\$123.82
677 807 9292 4	INV	11/5/2024	11/5/2024	\$160.53	1520 STATE AVE	\$160.53
75612251993	INV	11/5/2024	11/5/2024	\$67.35	2999 W 21ST ST TRAFFIC SIGI	\$67.35
81932210008	INV	11/5/2024	11/5/2024	\$48.93	W 3RD AVE W 15TH ST LIGHT	\$48.93
824 718 6909 7	INV	11/5/2024	11/5/2024	\$90.70	676 12TH ST W	\$90.70
849 981 1089 8	INV	11/5/2024	11/5/2024	\$21.65	1851 15TH ST W	\$21.65
92800947225	INV	11/5/2024	11/5/2024	\$546.81	2475 STATE AVE N GENERATO	\$546.81
982 386 9285 3	INV	11/5/2024	11/5/2024	\$163.93	2300 W 21ST ST	\$163.93
006 522 1000 6	INV	11/6/2024	11/6/2024	\$95.92	620 W BROADWAY WATER VE	\$95.92
011 522 1000 9	INV	11/6/2024	11/6/2024	\$477.09	615 W BROADWAY ST ST DEF	\$477.09
034 433 6592 3	INV	11/6/2024	11/6/2024	\$106.41	38 1/2S STATE A	\$106.41
076 608 6751 1	INV	11/6/2024	11/6/2024	\$182.89	2ND ST SW & STATE AVE FEE	\$182.89
080 727 4399 3	INV	11/6/2024	11/6/2024	\$70.36	481 1/2 RIVER DR	\$70.36
111 522 1000 8	INV	11/6/2024	11/6/2024	\$70.60	635 W BROADWAY WHSE	\$70.60

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163 633 4305 0	INV	11/6/2024	11/6/2024	\$222.98	500 EAST BROADWAY (GEN)	\$222.98
190 522 1000 2	INV	11/6/2024	11/6/2024	\$161.04	387 S STATE AVE LIFT STATIC	\$161.04
224 153 1000 6	INV	11/6/2024	11/6/2024	\$58.62	2103 W VILLARD ST ST LITES	\$58.62
253 522 1000 6	INV	11/6/2024	11/6/2024	\$193.22	103 3RD ST SE LIFT STATION	\$193.22
341 522 1000 0	INV	11/6/2024	11/6/2024	\$1,106.86	500 E BROADWAY LIFT STATI	\$1,106.86
36581428533 110624	INV	11/6/2024	11/6/2024	\$127.71	11470 HIGHWAY 10	\$127.71
400 523 8047 0	INV	11/6/2024	11/6/2024	\$370.45	140 6TH AVE SE	\$370.45
402 622 1000 4	INV	11/6/2024	11/6/2024	\$234.91	300 5TH ST SW 5 LIFT STATIO	\$234.91
421 622 1000 1	INV	11/6/2024	11/6/2024	\$243.33	S MAIN LIFT STATION	\$243.33
474 349 8466 3	INV	11/6/2024	11/6/2024	\$44.95	122 1ST ST W DECORATIVE LI	\$44.95
499 653 0566 4	INV	11/6/2024	11/6/2024	\$1,510.15	2486 W VILLARD ST	\$1,510.15
511 522 1000 4	INV	11/6/2024	11/6/2024	\$239.77	W BROADWAY #7 SEWER LIF	\$239.77
528 381 4575 4	INV	11/6/2024	11/6/2024	\$220.13	615 W BROADWAY (GEN)	\$220.13
542 688 9300 2	INV	11/6/2024	11/6/2024	\$5,453.41	811 W BROADWAY BLDG A	\$5,453.41
582 795 8573 9	INV	11/6/2024	11/6/2024	\$46.21	103 SE 3RD ST (GEN)	\$46.21
63519672388	INV	11/6/2024	11/6/2024	\$46.43	W BROADWAY #7 (GEN)	\$46.43
656 522 1000 9	INV	11/6/2024	11/6/2024	\$156.40	DICKINSON 2ND AV L STA 3 S'	\$156.40
675 522 1000 6	INV	11/6/2024	11/6/2024	\$33.15	DICKINSON SIGNAL LITES SO	\$33.15
711 522 1000 2	INV	11/6/2024	11/6/2024	\$41.19	W 3RD AVE STORM PUMP TM	\$41.19
742 043 1000 2	INV	11/6/2024	11/6/2024	\$130.79	1099 W BROADWAY	\$130.79
842 043 1000 1	INV	11/6/2024	11/6/2024	\$162.62	458 E BROADWAY ST	\$162.62
87599896864	INV	11/6/2024	11/6/2024	\$177.10	625 W BROADWAY (GEN)	\$177.10
901 522 1000 2	INV	11/6/2024	11/6/2024	\$204.93	625 W BROADWAY ST	\$204.93
946 088 8119 2	INV	11/6/2024	11/6/2024	\$152.22	811 W BROADWAY BLG B WA'	\$152.22
024 722 1000 0	INV	11/8/2024	11/8/2024	\$186.10	901 LIVESTOCK LN	\$186.10
253 968 2546 2	INV	11/8/2024	11/8/2024	\$2,935.97	485 10TH AVE SE	\$2,935.97
254 588 3855 1	INV	11/8/2024	11/8/2024	\$18,736.56	10816 38TH ST SW	\$18,736.56
585 822 1000 9	INV	11/8/2024	11/8/2024	\$214.58	1795 E VILLARD ST	\$214.58
634 715 6883 0 09/19	INV	11/8/2024	11/8/2024	\$82.90	366 1/2 SE 8TH ST	\$82.90

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690 913 1000 8	INV	11/8/2024	11/8/2024	\$52.26	1591 SW 8TH ST	\$52.26
860 043 1000 8	INV	11/8/2024	11/8/2024	\$37.71	611 6TH AVE SE	\$37.71
913 822 1000 2	INV	11/8/2024	11/8/2024	\$189.04	6 LIFT STAT	\$189.04
960 043 1000 7	INV	11/8/2024	11/8/2024	\$35.71	SW 8TH ST	\$35.71

<b>Voucher(s):</b> 72	<b>Aged Totals:</b>	<b>Due</b>				
		\$45,027.48	\$45,027.48	\$0.00	\$0.00	\$0.00

**Vendor ID:** 6168      **Name:** MOTION PICTURE LICENSING CORPORATION      **Class ID:**      **FED TAX CLAS:** C CORP

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	504446428	INV	9/30/2024	9/30/2024	\$341.49	MPLC BLANKET LICENSE			\$341.49		

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>				
		\$341.49	\$0.00	\$341.49	\$0.00	\$0.00

**Vendor ID:** 6254      **Name:** ND DEPT OF ENVIROMENTAL QUALITY      **Class ID:**      **FED TAX CLAS:** STATE GOVERNMENT

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	OPCERT 4157	INV	11/12/2024	11/12/2024	\$50.00	ND OPERATOR EXAM FEES-		\$50.00			
	OPCERT 4158	INV	11/12/2024	11/12/2024	\$50.00	ND OPERATOR EXAM FEES		\$50.00			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>				
		\$100.00	\$100.00	\$0.00	\$0.00	\$0.00

**Vendor ID:** 4722      **Name:** ND DEPT OF TRANSPORTATION-BISMARCK      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	103024	INV	10/30/2024	10/30/2024	\$1,595.08	202232 10TH AVE EAST TO I-9		\$1,595.08			
	202311 103024	INV	10/30/2024	10/30/2024	\$6,842.91	202311 PLANNING STUDY		\$6,842.91			

<b>Voucher(s):</b> 2	<b>Aged Totals:</b>	<b>Due</b>				
		\$8,437.99	\$8,437.99	\$0.00	\$0.00	\$0.00

**Vendor ID:** 752      **Name:** ND FIRE CHIEF'S ASSOCIATION      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	DUES 2025	INV	11/5/2024	11/5/2024	\$100.00	ND FIRE CHIEF'S ASSOC DUE		\$100.00			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>				
		\$100.00	\$100.00	\$0.00	\$0.00	\$0.00

**Vendor ID:** 680      **Name:** ND FIREFIGHTERS ASSOCIATION      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	2024092602	INV	9/26/2024	9/26/2024	\$82.53	ACCESS CODES FOR LIVE FIF			\$82.53		

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>				
		\$82.53	\$0.00	\$82.53	\$0.00	\$0.00

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<b>Vendor ID:</b> 758		<b>Name:</b> ND WATER USERS ASSOCIATION					<b>Class ID:</b>		<b>FED TAX CLAS:</b>		
<b>Voucher/</b>						<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	6214	INV	11/5/2024	11/5/2024	\$1,200.00	2025 NDWUA PUBLIC MEMBEI		\$1,200.00			
							<b>Due</b>				
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>					<b>\$1,200.00</b>	<b>\$1,200.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 405		<b>Name:</b> NEWBY'S ACE HARDWARE					<b>Class ID:</b>		<b>FED TAX CLAS:</b>		
<b>Voucher/</b>						<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	394678/1	INV	10/7/2024	10/7/2024	\$6.29	SCRPR W/BLADE GLASS			\$6.29		
	394865/1	INV	10/15/2024	10/15/2024	\$26.09	WOOD SCREWS		\$26.09			
	395045/1	INV	10/24/2024	10/24/2024	\$10.59	MASKING TAPE		\$10.59			
	395133/1	INV	10/29/2024	10/29/2024	\$8.95	CAP, SLIP, COUPLES, TEES		\$8.95			
	395149/1	INV	10/29/2024	10/29/2024	\$5.37	3 ELBOW 90		\$5.37			
	395160/1	INV	10/29/2024	10/29/2024	\$95.88	FASTENER BY UNIT		\$95.88			
	395208/1	INV	10/31/2024	10/31/2024	\$39.58	FILM POLY, METAL REPAIR TA		\$39.58			
	395330/1	INV	11/6/2024	11/6/2024	\$149.99	AGED BRZ KEYPAD DEADBOL		\$149.99			
	395334/1	INV	11/6/2024	11/6/2024	\$16.87	PAPER KY TGS, KEY SCHLAG		\$16.87			
	395343/1	INV	11/6/2024	11/6/2024	\$19.78	DUCT TAPE 60 YDS, GORILLA		\$19.78			
							<b>Due</b>				
<b>Voucher(s):</b> 10		<b>Aged Totals:</b>					<b>\$379.39</b>	<b>\$373.10</b>	<b>\$6.29</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 406		<b>Name:</b> NEWMAN SIGNS INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>		
<b>Voucher/</b>						<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	TRFINV057434	INV	11/5/2024	11/5/2024	\$148.40	MISC SIGNS FOR CITY OF DKT		\$148.40			
							<b>Due</b>				
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>					<b>\$148.40</b>	<b>\$148.40</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 6247		<b>Name:</b> ONYX + IVORY LLC					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b> LLC		
<b>Voucher/</b>						<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	1043	INV	11/1/2024	11/1/2024	\$40.00	CHASE NUTTING, PATCHES D		\$40.00			
							<b>Due</b>				
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>					<b>\$40.00</b>	<b>\$40.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 5965		<b>Name:</b> PARADISE DRY CLEANERS, LLC					<b>Class ID:</b> 1099		<b>FED TAX CLAS:</b> LLC-P		
<b>Voucher/</b>						<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	202410-BUS45	INV	11/1/2024	11/1/2024	\$21.75	CLOTHING CLEANED FOR PD		\$21.75			

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>			
		\$21.75	\$21.75	\$0.00	\$0.00

<b>Vendor ID:</b> 2159	<b>Name:</b> PENWORTHY COMPANY	<b>Class ID:</b>	<b>FED TAX CLAS:</b>							
<b>Voucher/</b>		<b>Writeoff</b>								
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	0603341	CRM	11/4/2024		(\$254.98)	RETURN SRP GRANT 2024	(\$254.98)			
	0602107	INV	9/16/2024	9/16/2024	\$716.36	SRP GRANT 2024		\$716.36		
	0603404	INV	11/5/2024	11/5/2024	\$254.65	DIP CH BKS	\$254.65			
<b>Voucher(s):</b> 3	<b>Aged Totals:</b>	<b>Due</b>								
		\$716.03	(\$0.33)	\$716.36	\$0.00					

<b>Vendor ID:</b> 9711	<b>Name:</b> PLAYAWAY PRODUCTS LLC	<b>Class ID:</b>	<b>FED TAX CLAS:</b>	C CORP						
<b>Voucher/</b>		<b>Writeoff</b>								
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	475530	INV	9/19/2024	9/19/2024	\$151.86	AC POWER ADAPTER, CORDL		\$151.86		
<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$151.86	\$0.00	\$151.86	\$0.00					

<b>Vendor ID:</b> 2280	<b>Name:</b> POWERPLAN OIB	<b>Class ID:</b>	<b>FED TAX CLAS:</b>							
<b>Voucher/</b>		<b>Writeoff</b>								
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	P3561508	INV	11/6/2024	11/6/2024	\$171.44	KNIFE CUTT-F7	\$171.44			
<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<b>Due</b>								
		\$171.44	\$171.44	\$0.00	\$0.00					

<b>Vendor ID:</b> 3491	<b>Name:</b> PRAIRIE AUTO PARTS INC	<b>Class ID:</b>	<b>FED TAX CLAS:</b>							
<b>Voucher/</b>		<b>Writeoff</b>								
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	036633	CRM	11/1/2024		(\$57.30)	RETURN THIN LINE LED CM	(\$57.30)			
	036282	INV	10/31/2024	10/31/2024	\$57.30	THIN LINE LED CM	\$57.30			
	036283	INV	10/31/2024	10/31/2024	\$32.56	ASTRO RUBBER ERASER, MC	\$32.56			
	036294	INV	10/31/2024	10/31/2024	\$87.96	ORANGE NITRILE 8M XL	\$87.96			
	036460	INV	11/1/2024	11/1/2024	\$34.28	LED M C LAMP	\$34.28			
	036461	INV	11/1/2024	11/1/2024	\$39.88	HOSE CUTTER, TEE CONNEC	\$39.88			
	036751	INV	11/4/2024	11/4/2024	\$11.98	MONSTER TRHEAD	\$11.98			
	036959	INV	11/5/2024	11/5/2024	\$12.34	HEAT HOSE CONNECT -R09	\$12.34			
	037108	INV	11/5/2024	11/5/2024	\$83.94	ZEREX COOLING SYSTEM	\$83.94			
	037311	INV	11/7/2024	11/7/2024	\$83.94	ZEROX COOLING SYSTEM	\$83.94			
<b>Voucher(s):</b> 10	<b>Aged Totals:</b>	<b>Due</b>								
		\$386.88	\$386.88	\$0.00	\$0.00					

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<b>Vendor ID:</b> 466		<b>Name:</b> PUMP SYSTEMS LLC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	00411942	INV	11/1/2024	11/1/2024	\$791.16	UNLOADER VLV GREEN SPRII		\$791.16				
	00412137	INV	11/7/2024	11/7/2024	\$372.62	BOLT CLAMPS, PLUGS, VALVE		\$372.62				
	00412253	INV	11/12/2024	11/12/2024	\$14.01	BUSH, POLY		\$14.01				
							<b>Due</b>					
<b>Voucher(s):</b> 3		<b>Aged Totals:</b>						<b>\$1,177.79</b>	<b>\$1,177.79</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 469		<b>Name:</b> QUALITY QUICK PRINT INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	PC-22440	INV	11/1/2024	11/1/2024	\$80.00	UNIT 14 TAG		\$80.00				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						<b>\$80.00</b>	<b>\$80.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 5037		<b>Name:</b> RIEKES EQUIPMENT CO					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	PSO065051-1	INV	10/18/2024	10/18/2024	\$25.50	FREIGHT PARTS		\$25.50				
	PSO65051-2	INV	10/18/2024	10/18/2024	\$42.80	CYLINDER ASSY WHEEL		\$42.80				
							<b>Due</b>					
<b>Voucher(s):</b> 2		<b>Aged Totals:</b>						<b>\$68.30</b>	<b>\$68.30</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 9635		<b>Name:</b> ROBERTS, WINTON					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	MILEAGE OCT 2024	INV	11/4/2024	11/4/2024	\$136.75	MILEAGE FOR OCTOBER 2024		\$136.75				
							<b>Due</b>					
<b>Voucher(s):</b> 1		<b>Aged Totals:</b>						<b>\$136.75</b>	<b>\$136.75</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

<b>Vendor ID:</b> 609		<b>Name:</b> ROUGHRIDER ELECTRIC COOPERATIVE					<b>Class ID:</b>		<b>FED TAX CLAS:</b>		
<b>Voucher/</b>							<b>Writeoff</b>				
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
	103699000	INV	11/1/2024	11/1/2024	\$107.00	WEST 94 LIGHTS		\$107.00			
	103699001	INV	11/1/2024	11/1/2024	\$809.00	10 EAST PUMP STN		\$809.00			
	103699002	INV	11/1/2024	11/1/2024	\$33.00	ST PAT'S CEMETARY		\$33.00			
	103699003	INV	11/1/2024	11/1/2024	\$666.00	150W SODIUM LT		\$666.00			
	103699004	INV	11/1/2024	11/1/2024	\$760.00	250W SODIUM LT		\$760.00			
	103699005	INV	11/1/2024	11/1/2024	\$104.00	NORTH TOWER		\$104.00			
	103699007	INV	11/1/2024	11/1/2024	\$136.00	HWY 22 ST LITE		\$136.00			
	103699015	INV	11/1/2024	11/1/2024	\$75.00	LAGOON PUMP CELL #4		\$75.00			

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103699017	INV	11/1/2024	11/1/2024	\$87.00	LIFT STN #16	\$87.00
103699018	INV	11/1/2024	11/1/2024	\$104.00	LIFT STN #17	\$104.00
103699020	INV	11/1/2024	11/1/2024	\$36.00	E 94 LIGHTS	\$36.00
103699029	INV	11/1/2024	11/1/2024	\$155.00	NEW LANDFILL	\$155.00
103699030	INV	11/1/2024	11/1/2024	\$225.00	LIFT STN #14	\$225.00
103699031	INV	11/1/2024	11/1/2024	\$54.00	FLASHING BECN HYW 22	\$54.00
103699032	INV	11/1/2024	11/1/2024	\$279.00	MAUSOLEUM	\$279.00
103699035	INV	11/1/2024	11/1/2024	\$4,546.00	BALER BLDG	\$4,546.00
103699036	INV	11/1/2024	11/1/2024	\$30.00	CEMETARY	\$30.00
103699038	INV	11/1/2024	11/1/2024	\$19.00	DICKINSON PLC ST LITE	\$19.00
103699039	INV	11/1/2024	11/1/2024	\$62.00	WALMART TRFC CTRL DV	\$62.00
103699040	INV	11/1/2024	11/1/2024	\$81.00	STATE AVE WATER PUMP	\$81.00
103699044	INV	11/1/2024	11/1/2024	\$30.00	TRAFFIC LTS-HWY 22 & 34TH	\$30.00
103699045	INV	11/1/2024	11/1/2024	\$88.00	ND 22 & 34TH ST SW	\$88.00
103699046	INV	11/1/2024	11/1/2024	\$322.00	CITY ANIMAL SHELTER	\$322.00
103699047	INV	11/1/2024	11/1/2024	\$4,070.00	PUBLIC WORKS BLDG	\$4,070.00
103699048	INV	11/1/2024	11/1/2024	\$91.00	FRENCH DRAIN LFT STN-LAGI	\$91.00
103699049	INV	11/1/2024	11/1/2024	\$271.00	STLT CIRCUIT	\$271.00
103699050	INV	11/1/2024	11/1/2024	\$142.06	BYPASS LIGHTS	\$142.06
103699051	INV	11/1/2024	11/1/2024	\$166.50	BYPASS LIGHTS	\$166.50
103699052	INV	11/1/2024	11/1/2024	\$200.69	BYPASS LIGHTS	\$200.69
103699053	INV	11/1/2024	11/1/2024	\$333.32	BYPASS LIGHTS	\$333.32
103699055	INV	11/1/2024	11/1/2024	\$152.00	ST LT SERVICE	\$152.00
103699056	INV	11/1/2024	11/1/2024	\$1,788.00	HWY 10 PUMP STN	\$1,788.00
103699057	INV	11/1/2024	11/1/2024	\$53.60	NORTHWEST TOWER	\$53.60
103699058	INV	11/1/2024	11/1/2024	\$184.00	15TH ST & 30TH AVE W	\$184.00
103699059	INV	11/1/2024	11/1/2024	\$37.31	BRAUN SUB DIVISION LIGHTS	\$37.31
103699060	INV	11/1/2024	11/1/2024	\$5,505.48	PUBLIC SAFETY CENTER	\$5,505.48
103699061	INV	11/1/2024	11/1/2024	\$161.00	LIGHTS STATES & 21ST ST	\$161.00

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103699062	INV	11/1/2024	11/1/2024	\$172.00	40TH ST LIGHTS	\$172.00
103699063	INV	11/1/2024	11/1/2024	\$33.00	LIGHTS EAST OF DPSB	\$33.00
103699064	INV	11/1/2024	11/1/2024	\$180.00	LIGHTS STATES ST & WAHL	\$180.00
103699065	INV	11/1/2024	11/1/2024	\$644.00	STATE BOOSTER PUMP STAT	\$644.00
103699067	INV	11/1/2024	11/1/2024	\$214.97	STREET LIGHTS IN WESTRICK	\$214.97
103699068	INV	11/1/2024	11/1/2024	\$134.00	STEPHANIE DR & WAHL ST	\$134.00
103699069	INV	11/1/2024	11/1/2024	\$120.00	STREET LIGHTS 12TH AVE W	\$120.00
103699070	INV	11/1/2024	11/1/2024	\$107.00	STREET LIGHTS 11TH AVE W	\$107.00
103699071	INV	11/1/2024	11/1/2024	\$118.00	ST LIGHTS CALVIN DR & KOCI	\$118.00
103699072	INV	11/1/2024	11/1/2024	\$38.82	ALERT SIREN	\$38.82
103699073	INV	11/1/2024	11/1/2024	\$42.26	5TH AVE EAST STREET LIGHT	\$42.26
103699074	INV	11/1/2024	11/1/2024	\$47.14	ST LIGHTS SIMS AND 24TH ST	\$47.14
103699075	INV	11/1/2024	11/1/2024	\$30.00	4TH AVE E & 21ST ST E	\$30.00
103699076	INV	11/1/2024	11/1/2024	\$204.18	PHASE 3 LANDFILL	\$204.18
103699078	INV	11/1/2024	11/1/2024	\$84.18	ST LIGHTS 4TH AVE AND 26TH	\$84.18
105963000	INV	11/1/2024	11/1/2024	\$324.00	NRIDGE ST LITE	\$324.00
105963001	INV	11/1/2024	11/1/2024	\$32.00	SEWER VAULT HYW 10 116TH	\$32.00
105963002	INV	11/1/2024	11/1/2024	\$57.64	4TH AVE EAST & 37TH ST EAST	\$57.64
105963003	INV	11/1/2024	11/1/2024	\$37.64	STREET LIGHTS 10TH AVE SW	\$37.64
105963004	INV	11/1/2024	11/1/2024	\$55.37	STREET LIGHTS PRAIRIE OAK	\$55.37
105963005	INV	11/1/2024	11/1/2024	\$32.02	STREET LIGHTS 23RD ST SW	\$32.02
105963006	INV	11/1/2024	11/1/2024	\$30.00	HWY 10 & 116TH AVE SW	\$30.00
105963007	INV	11/1/2024	11/1/2024	\$123.16	2494 I-94 BUSINESS LOOP E	\$123.16
105963008	INV	11/1/2024	11/1/2024	\$218.75	2495 I-94 BUSINESS LOOP E	\$218.75

<b>Voucher(s):</b> 61					<b>Due</b>			
				<b>Agged Totals:</b>				
				\$25,044.09	\$25,044.09	\$0.00	\$0.00	\$0.00

**Vendor ID:** 42      **Name:** RUNNINGS SUPPLY INC      **Class ID:**      **FED TAX CLAS:**

<b>Voucher/ Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	<b>Description</b>	<b>Writeoff Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>
8102210	INV	10/30/2024	10/30/2024	\$55.92	8 COUPLING GALV	\$55.92					
8102228	INV	10/30/2024	10/30/2024	\$20.17	ABS 2" MALE ADAPTER, DEG :	\$20.17					

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8102888	INV	10/31/2024	10/31/2024	\$10.47	COMPRESSION SLEEVE, INSE	\$10.47
8103058	INV	10/31/2024	10/31/2024	\$32.97	3 SIMPLE GREEN	\$32.97
8103727	INV	11/1/2024	11/1/2024	\$229.63	MISC ITEMS FOR SOLID WAST	\$229.63
8107354	INV	11/5/2024	11/5/2024	\$27.47	GLOVES, SCREWDRIVERS	\$27.47
8107590	INV	11/5/2024	11/5/2024	\$4.98	SANDING 1/4 SHEET PSA 60 5	\$4.98
8108344	INV	11/6/2024	11/6/2024	\$5.30	BOLTS CARRIAGE BULK	\$5.30
8108872	INV	11/7/2024	11/7/2024	\$16.34	PURPLE POWER WASHER, A.	\$16.34

<b>Voucher(s):</b> 9	<b>Due</b>
	<b>Agged Totals:</b>
	\$403.25    \$403.25    \$0.00    \$0.00    \$0.00

**Vendor ID:** 4512      **Name:** SANFORD HEALTH OCCUPATIONAL MEDICINE D      **Class ID:** 1099      **FED TAX CLAS:** MEDICAL

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	795841	INV	8/30/2024	8/30/2024	\$40.00	BLS HCP				\$40.00	
	802860	INV	10/31/2024	10/31/2024	\$2,081.00	DRUG ADM DOT, COLLECTION		\$2,081.00			

<b>Voucher(s):</b> 2	<b>Due</b>
	<b>Agged Totals:</b>
	\$2,121.00    \$2,081.00    \$0.00    \$40.00    \$0.00

**Vendor ID:** 6349      **Name:** SCHLABSZ DOROTHY      **Class ID:**      **FED TAX CLAS:** OPEB HEALTH INSURANC

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	HEALTH INS PREM	INV	11/14/2024	11/14/2024	\$256.45	OPEB HLTH BENEFIT		\$256.45			

<b>Voucher(s):</b> 1	<b>Due</b>
	<b>Agged Totals:</b>
	\$256.45    \$256.45    \$0.00    \$0.00    \$0.00

**Vendor ID:** 641      **Name:** SCHMIDT REPAIR INC      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	10851	INV	11/6/2024	11/6/2024	\$600.10	UNIT 9069, LABOR, REMOVE S		\$600.10			
	10855	INV	11/6/2024	11/6/2024	\$752.16	LABOR E1		\$752.16			

<b>Voucher(s):</b> 2	<b>Due</b>
	<b>Agged Totals:</b>
	\$1,352.26    \$1,352.26    \$0.00    \$0.00    \$0.00

**Vendor ID:** 517      **Name:** SERVICE PRINTERS      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	70267	INV	10/31/2024	10/31/2024	\$26.40	NAME PLATE-BREN		\$26.40			
	70313	INV	10/31/2024	10/31/2024	\$597.35	500 EA #10 REG ENVELOPES,		\$597.35			
	70341	INV	10/31/2024	10/31/2024	\$1,803.60	12,500 #10 ENVELOPES, 2500		\$1,803.60			

<b>Voucher(s):</b> 3	<b>Due</b>
	<b>Agged Totals:</b>
	\$2,427.35    \$2,427.35    \$0.00    \$0.00    \$0.00

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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<b>Vendor ID:</b> 6476		<b>Name:</b> SOLO TEK, INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	2174	INV	10/14/2024	10/14/2024	\$690.70	TROUBLESHOOT 8" EFFLUEN		\$690.70				
							<b>Due</b>					
<b>Voucher(s): 1</b>							<b>Aged Totals:</b>	\$690.70	\$690.70	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 2250		<b>Name:</b> SOUTHWEST AREA SAFETY ASSOCIATION					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	11012024	INV	11/1/2024	11/1/2024	\$130.00	2025 DUES FOR GREG BECK		\$130.00				
							<b>Due</b>					
<b>Voucher(s): 1</b>							<b>Aged Totals:</b>	\$130.00	\$130.00	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 2580		<b>Name:</b> SOUTHWEST GRAIN(BULK)					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	SC1 IH6217	INV	10/30/2024	10/30/2024	\$67.00	GRASS LAWN NORTHERN MD		\$67.00				
	SX9 IJ3316	INV	10/31/2024	10/31/2024	\$26,400.00	UNLEADED AND WINTERMAS		\$26,400.00				
	SX9 IJ3389	INV	11/7/2024	11/7/2024	\$168.00	40 MOLYPLEX #2 GREASE		\$168.00				
							<b>Due</b>					
<b>Voucher(s): 3</b>							<b>Aged Totals:</b>	\$26,635.00	\$26,635.00	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 1041		<b>Name:</b> SOUTHWEST WATER AUTHORITY					<b>Class ID:</b>		<b>FED TAX CLAS:</b>			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	00608.00 103124	INV	10/31/2024	10/31/2024	\$237.56	MONTHLY CONSUMPTION		\$237.56				
	04578.00 103124	INV	10/31/2024	10/31/2024	\$67.63	MONTHLY CONSUMPTION		\$67.63				
	04923.00 103124	INV	10/31/2024	10/31/2024	\$63.08	MONTHLY CONSUMPTION		\$63.08				
	INV13924	INV	10/31/2024	10/31/2024	\$1,887.93	ELECTRICAL COSTS-SEPT, CI		\$1,887.93				
							<b>Due</b>					
<b>Voucher(s): 4</b>							<b>Aged Totals:</b>	\$2,256.20	\$2,256.20	\$0.00	\$0.00	\$0.00
<b>Vendor ID:</b> 5631		<b>Name:</b> SPEE DEE DELIVERY SERVICE, INC					<b>Class ID:</b>		<b>FED TAX CLAS:</b> S CORP			
<b>Voucher/</b>							<b>Writeoff</b>					
<b>Payment No.</b>	<b>Doc Number</b>	<b>Type</b>	<b>Doc Date</b>	<b>Due Date</b>	<b>Doc Amount</b>	Description	<b>Amount</b>	<b>Current Period</b>	<b>31 - 60 Days</b>	<b>61 - 90 Days</b>	<b>91 and Over</b>	
	1118639	INV	10/12/2024	10/12/2024	\$46.68	STANDARD SHIPMENT			\$46.68			
	1121609	INV	10/19/2024	10/19/2024	\$46.68	STANDARD SHIPMENT		\$46.68				
	1125133	INV	10/26/2024	10/26/2024	\$56.25	STANDARD SHIPMENT		\$56.25				
	1127746	INV	11/2/2024	11/2/2024	\$204.23	STANDARD SHIPMENT		\$204.23				
							<b>Due</b>					
<b>Voucher(s): 4</b>							<b>Aged Totals:</b>	\$353.84	\$307.16	\$46.68	\$0.00	\$0.00

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
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Vendor ID: 4081		Name: SRF CONSULTING GROUP INC					Class ID:		FED TAX CLAS:		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	17220.01-7	INV	10/31/2024	10/31/2024	\$1,287.98	202418 9TH ST W & 5TH AVE V		\$1,287.98			
	17220.02-8	INV	10/31/2024	10/31/2024	\$17,296.79	202415 10TH AVE E-MUSEUM		\$17,296.79			
							<b>Due</b>				
Voucher(s): 2		<b>Aged Totals:</b>					\$18,584.77	\$18,584.77	\$0.00	\$0.00	\$0.00
Vendor ID: 2232		Name: STARK COUNTY AUDITOR					Class ID:		FED TAX CLAS:		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	110424	INV	11/4/2024	11/4/2024	\$11,001.15	STARK CO PERMIT REMITT O		\$11,001.15			
							<b>Due</b>				
Voucher(s): 1		<b>Aged Totals:</b>					\$11,001.15	\$11,001.15	\$0.00	\$0.00	\$0.00
Vendor ID: 3048		Name: SURE SIGN, ROBINSON, KURT					Class ID: 1099		FED TAX CLAS: SOLE PROP		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	16304	INV	10/31/2024	10/31/2024	\$480.00	LETTER POLICE CAR #12 REF		\$480.00			
	16317	INV	11/6/2024	11/6/2024	\$480.00	LETTER INTERCEPTOR #42 P		\$480.00			
							<b>Due</b>				
Voucher(s): 2		<b>Aged Totals:</b>					\$960.00	\$960.00	\$0.00	\$0.00	\$0.00
Vendor ID: 538		Name: SW DISTRICT HEALTH UNIT/ WATER SAMPLES					Class ID: 1099		FED TAX CLAS: MEDICAL		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	007033	INV	10/29/2024	10/29/2024	\$400.00	WATER ANALYSIS		\$400.00			
							<b>Due</b>				
Voucher(s): 1		<b>Aged Totals:</b>					\$400.00	\$400.00	\$0.00	\$0.00	\$0.00
Vendor ID: 551		Name: SWANSTON EQUIPMENT					Class ID:		FED TAX CLAS:		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	W45178	INV	10/28/2024	10/28/2024	\$10,716.56	WORK DONE ON JOHNSON V		\$10,716.56			
							<b>Due</b>				
Voucher(s): 1		<b>Aged Totals:</b>					\$10,716.56	\$10,716.56	\$0.00	\$0.00	\$0.00
Vendor ID: 9661		Name: THE WRAP by SAFE RESTRAINTS					Class ID:		FED TAX CLAS: S CORP		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	PP11082024DPD	INV	11/8/2024	11/8/2024	\$3,214.24	2 WRAP RESTRAINT W/HELMI		\$3,214.24			
							<b>Due</b>				
Voucher(s): 1		<b>Aged Totals:</b>					\$3,214.24	\$3,214.24	\$0.00	\$0.00	\$0.00
Vendor ID: 3940		Name: TITAN MACHINERY					Class ID:		FED TAX CLAS:		
Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	PS0496231-1	INV	10/23/2024	10/23/2024	\$451.10	BATTERY SWITCH, AIR FILTE		\$451.10			

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PS0515037-1	INV	10/23/2024	10/23/2024	\$215.10	HEADLAMP RH 221 F LOADER	\$215.10
RS0005632-1	INV	10/25/2024	10/25/2024	\$1,691.50	RENTAL TELEHANDLER, SKY.	\$1,691.50
SO0128664-1	INV	10/29/2024	10/29/2024	\$6,485.20	BUCKET CURL INOP	\$6,485.20
PS0527708-1	INV	11/5/2024	11/5/2024	\$124.00	WIPER ARM-S74	\$124.00

<b>Voucher(s):</b> 5	<b>Aged Totals:</b>	<u>Due</u>				
		\$8,966.90	\$8,966.90	\$0.00	\$0.00	\$0.00

**Vendor ID:** 3978      **Name:** TOTAL SAFETY US INC      **Class ID:**      **FED TAX CLAS:**

<u>Voucher/</u>	<u>Doc Number</u>	<u>Type</u>	<u>Doc Date</u>	<u>Due Date</u>	<u>Doc Amount</u>	<u>Description</u>	<u>Writeoff</u>	<u>Current Period</u>	<u>31 - 60 Days</u>	<u>61 - 90 Days</u>	<u>91 and Over</u>
Payment No.							Amount				
	7057509-0001	INV	10/23/2024	10/23/2024	\$31.00	TECHICIAN REPAIR, RING PIN		\$31.00			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>				
		\$31.00	\$31.00	\$0.00	\$0.00	\$0.00

**Vendor ID:** 3532      **Name:** USABLUBOOK      **Class ID:**      **FED TAX CLAS:** C CORP

<u>Voucher/</u>	<u>Doc Number</u>	<u>Type</u>	<u>Doc Date</u>	<u>Due Date</u>	<u>Doc Amount</u>	<u>Description</u>	<u>Writeoff</u>	<u>Current Period</u>	<u>31 - 60 Days</u>	<u>61 - 90 Days</u>	<u>91 and Over</u>
Payment No.							Amount				
	INV00520087	INV	10/22/2024	10/22/2024	\$414.43	SERVICE BOX EXT		\$414.43			
	INV00528975	INV	10/30/2024	10/30/2024	\$1,054.68	MANHOLE COVER LIFTER, HC		\$1,054.68			
	INV00530685	INV	11/1/2024	11/1/2024	\$78.95	HYDRANT OPERATING WREN		\$78.95			

<b>Voucher(s):</b> 3	<b>Aged Totals:</b>	<u>Due</u>				
		\$1,548.06	\$1,548.06	\$0.00	\$0.00	\$0.00

**Vendor ID:** 127      **Name:** VERIZON WIRELESS      **Class ID:**      **FED TAX CLAS:**

<u>Voucher/</u>	<u>Doc Number</u>	<u>Type</u>	<u>Doc Date</u>	<u>Due Date</u>	<u>Doc Amount</u>	<u>Description</u>	<u>Writeoff</u>	<u>Current Period</u>	<u>31 - 60 Days</u>	<u>61 - 90 Days</u>	<u>91 and Over</u>
Payment No.							Amount				
	586846039-00001	INV	11/21/2024	11/21/2024	\$5,912.89	MONTHLY PHONE BILLING		\$5,912.89			

<b>Voucher(s):</b> 1	<b>Aged Totals:</b>	<u>Due</u>				
		\$5,912.89	\$5,912.89	\$0.00	\$0.00	\$0.00

**Vendor ID:** 4418      **Name:** VESTIS      **Class ID:**      **FED TAX CLAS:** C CORP

<u>Voucher/</u>	<u>Doc Number</u>	<u>Type</u>	<u>Doc Date</u>	<u>Due Date</u>	<u>Doc Amount</u>	<u>Description</u>	<u>Writeoff</u>	<u>Current Period</u>	<u>31 - 60 Days</u>	<u>61 - 90 Days</u>	<u>91 and Over</u>
Payment No.							Amount				
	2550389168	INV	10/16/2024	10/16/2024	\$170.78	MATS		\$170.78			
	2550392103	INV	10/23/2024	10/23/2024	\$115.33	MATS		\$115.33			
	2550395122	INV	10/30/2024	10/30/2024	\$86.31	UNIFORM CLEANING		\$86.31			
	2550395124	INV	10/30/2024	10/30/2024	\$37.67	MATS		\$37.67			
	2550397965	INV	11/6/2024	11/6/2024	\$25.85	MATS		\$25.85			
	2550398009	INV	11/6/2024	11/6/2024	\$47.75	MATS		\$47.75			
	2550398028	INV	11/6/2024	11/6/2024	\$32.60	MATS		\$32.60			
	2550398043	INV	11/6/2024	11/6/2024	\$86.31	UNIFORM CLEANING		\$86.31			

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**  
 City of Dickinson

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2550398044	INV	11/6/2024	11/6/2024	\$61.25	MATS	\$61.25
2550398046	INV	11/6/2024	11/6/2024	\$37.67	MATS	\$37.67
2550398515	INV	11/7/2024	11/7/2024	\$17.30	MATS	\$17.30
2550398547	INV	11/7/2024	11/7/2024	\$60.95	MATS	\$60.95

Voucher(s): 12 **Aged Totals:** Due  
 \$779.77 \$779.77 \$0.00 \$0.00 \$0.00

**Vendor ID:** 9815 **Name:** WAGEWORKS, INC. **Class ID:** **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	1024-TR116172	INV	10/31/2024	10/31/2024	\$128.40	COBRA/DIRECT BILL		\$128.40			

Voucher(s): 1 **Aged Totals:** Due  
 \$128.40 \$128.40 \$0.00 \$0.00 \$0.00

**Vendor ID:** 605 **Name:** WEHNER, DARRYL **Class ID:** **FED TAX CLAS:** EMPLOYEE

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	HEALTH INS PREMI	INV	9/15/2024	9/15/2024	\$362.91	OPEB INSURANCE PREMIUM			\$362.91		

Voucher(s): 1 **Aged Totals:** Due  
 \$362.91 \$0.00 \$362.91 \$0.00 \$0.00

**Vendor ID:** 607 **Name:** WEST DAKOTA OIL INC **Class ID:** **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	15990	INV	10/31/2024	10/31/2024	\$400.00	TANK RENTAL		\$400.00			
	16033	INV	10/31/2024	10/31/2024	\$75.00	TANK RENTAL		\$75.00			
	347553	INV	10/31/2024	10/31/2024	\$422.50	PROPANE FOR LANDFILL		\$422.50			

Voucher(s): 3 **Aged Totals:** Due  
 \$897.50 \$897.50 \$0.00 \$0.00 \$0.00

**Vendor ID:** 9842 **Name:** WESTERN HOSE LLC **Class ID:** 1099 **FED TAX CLAS:** LLC

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	189	INV	10/29/2024	10/29/2024	\$32.70	FS6400-08-10/FF08-12M-ORB		\$32.70			

Voucher(s): 1 **Aged Totals:** Due  
 \$32.70 \$32.70 \$0.00 \$0.00 \$0.00

**Vendor ID:** 4299 **Name:** WESTLIE TRUCK CENTER OF DICKINSON **Class ID:** **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	625750	INV	11/1/2024	11/1/2024	\$26.37	CAP PROTEC		\$26.37			

Voucher(s): 1 **Aged Totals:** Due  
 \$26.37 \$26.37 \$0.00 \$0.00 \$0.00

**AGED TRIAL BALANCE WITH OPTIONS - DETAIL**

City of Dickinson

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**Vendor ID:** TEMP000547      **Name:** WINTER, SHARON      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	UTPAY531	INV	11/8/2024	11/8/2024	\$7.76	Utility Account: 1052700.008		\$7.76			

							<u>Due</u>					
<b>Voucher(s):</b>	1						<b>Aged Totals:</b>	\$7.76	\$7.76	\$0.00	\$0.00	\$0.00

**Vendor ID:** 3138      **Name:** WITMER PUBLIC SAFETY GROUP INC      **Class ID:**      **FED TAX CLAS:**

Voucher/ Payment No.	Doc Number	Type	Doc Date	Due Date	Doc Amount	Description	Writeoff Amount	Current Period	31 - 60 Days	61 - 90 Days	91 and Over
	571558	INV	11/11/2024	11/11/2024	\$123.04	4 POCKET UNIFORM TROUSEI		\$123.04			

							<u>Due</u>					
<b>Voucher(s):</b>	1						<b>Aged Totals:</b>	\$123.04	\$123.04	\$0.00	\$0.00	\$0.00

	<u>Vendors</u>	<u>Due</u>	<u>Current Period</u>	<u>31 - 60 Days</u>	<u>61 - 90 Days</u>	<u>91 and Over</u>
<b>Vendor Totals:</b>	126	\$520,155.61	\$512,539.15	\$6,018.46	\$40.00	\$1,558.00



Challenge Accepted.

Section 2. Item B.

Visa Purchasing

Billing Period: 10/26/2024 - 11/11/2024
Account Number:

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Account Summary

Table with 2 columns: Description and Amount. Rows include Previous Balance, Purchases & Other Charges, Cash Advances, Cash Advance Fees, Late Charges, Finance Charges, Credits, Payments, New Balance, Credit Limit, Cash Limit, Available Credit, Disputed Amount, Statement Closing Date, Days in Billing Cycle.

Payment Information

Table with 2 columns: Description and Amount. Rows include New Balance, Minimum Payment Due, Payment Due Date.

Contact Us

Table with 2 columns: Description and Contact Info. Rows include For Customer Service Call, Outside The U.S. Call, Send Billing Inquiries To.

Important Messages

AS A REMINDER, YOUR NEXT AUTOPAY WILL BE PROCESSED ON YOUR PAYMENT DUE DATE. IF YOU HAVE ANY QUESTIONS, PLEASE GIVE US A CALL AT 1-800-892-7104.

Corporate Account Activity

Table with 5 columns: Tran Date, Post Date, Reference Number, Transaction Description, Amount. Row 1: 11/01, 11/01, AUTO PAYMENT - THANK YOU!, \$24,789.79 CR

PLEASE DETACH COUPON AND RETURN WITH YOUR PAYMENT.

Account ID:
Account Number:
Payment Due Date: November 18, 2024
New Balance: \$33,149.12
Minimum Payment Due: \$33,149.12

COMMERCE BANK - COMMERCIAL CARDS
PO BOX 414084
KANSAS CITY MO 64141-4084

AMOUNT ENCLOSED [ ]

Use enclosed envelope and make check payable to:
COMMERCE BANK

COMMERCE BANK - COMMERCIAL CARDS
PO BOX 846451
KANSAS CITY MO 64184-6451

CITY OF DICKINSON
LINDA CARLSON
38 1ST ST W
DICKINSON ND 58601-5106



**Cardholder Account Activity**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
<b>LEONARD SCHWINDT 0000</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$3,500.00			\$289.68	\$0.00
				Total Activity
				\$289.68
10/29	10/30	24011344304500001299891	COLUMN PUBLIC NOTICE COLUMN.US DC	\$24.32
10/29	10/30	24011344304500001297689	COLUMN PUBLIC NOTICE COLUMN.US DC	\$21.28
10/31	11/01	24943004305084016017269	ORLEANS HOTEL & CASINO 7023657111 NV CHECK IN DATE: 02-22-25 NUMBER OF NIGHTS: 1 CONFIRMATION #: 29159807023657111	\$122.04
10/31	11/01	24943004305084016017285	ORLEANS HOTEL & CASINO 7023657111 NV CHECK IN DATE: 02-22-25 NUMBER OF NIGHTS: 1 CONFIRMATION #: 29159817023657111	\$122.04
<b>FIRE DEPARTMENT 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$10,000.00			\$9.68	\$0.00
				Total Activity
				\$9.68
11/04	11/05	24137464310001467049786	USPS PO 3724000905 DICKINSON ND	\$9.68
<b>SHELLY NAMENIUK 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$5,000.00			\$374.00	\$0.00
				Total Activity
				\$374.00
11/03	11/04	24492164308000024523191	NEOGOV HTTPSWWW.NEOGCA	\$249.00
11/08	11/11	24492164314500004630223	NEOGOV NEOGOV.COM CA	\$125.00
<b>FIRE DEPARTMENT 2 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$2,500.00			\$300.89	\$0.00
				Total Activity
				\$300.89
10/25	10/28	24239004299900016614196	BANNER FIRE ECOMMERCE 618-2514200 IL	\$44.89
11/04	11/06	24202984310030033157622	IAAI 410-451-3473 MD	\$128.00
11/05	11/07	24202984311030035359555	IAAI 410-451-3473 MD	\$128.00
<b>FINANCE DEPARTMENT 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$25,000.00			\$296.55	\$0.00
				Total Activity
				\$296.55
11/04	11/05	24027624309140822168967	PAYFLOW/PAYPAL 888-883-9770 NE	\$296.55
<b>JADE PRAUS 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$3,000.00			\$904.51	\$0.00
				Total Activity
				\$904.51
10/28	10/30	24445004303300536506093	WALMART.COM 8009256278 800-966-6546 AR	\$30.37
10/29	10/30	24445004303300536505913	WALMART.COM 8009256278 800-966-6546 AR	\$271.60
11/06	11/07	24226384312003723290410	WAL-MART #1567 DICKINSON ND	\$117.96
11/07	11/08	24692164312106271760139	AMAZON MKTPL*4U9NY2KL3 Amzn.com/billWA	\$122.95
11/07	11/08	24692164312106267981731	AMAZON MKTPL*K05HK24Q3 Amzn.com/billWA	\$61.63
11/07	11/08	24011344312000050947854	AMAZON RETA* WV2DI3VZ3 WWW.AMAZON.COWA	\$300.00
<b>GRANT CARLSON 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$3,000.00			\$671.28	\$0.00
				Total Activity
				\$671.28
10/26	10/28	24692164300105689713593	AMAZON MKTPL*HR6EP5243 Amzn.com/billWA	\$263.31
10/26	10/28	24692164300105701021629	Amazon.com*I71W84493 Amzn.com/billWA	\$39.99
10/28	10/29	24692164302107629799201	AMAZON MKTPL*KS7RA3463 Amzn.com/billWA	\$8.95
10/28	10/29	24011344302000081999876	AMAZON RETA* SI06B73A3 WWW.AMAZON.COWA	\$359.03
<b>LINDA CARLSON 0000-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$5,000.00			\$200.99	\$0.00
				Total Activity
				\$200.99
11/04	11/05	74423434309444320709374	PAYPAL *WEBCON60 4029357733	\$199.00
11/05	11/05	74423434309444320709374	INTERNATIONAL SERVICE FEE	\$1.99
<b>MICHAEL HANEL 0001-</b>				
XXXX-XXXX-XXXX-			Purchases & Other Charges	Payments & Other Credits
Credit Limit: \$2,500.00			\$879.30	\$0.00
				Total Activity
				\$879.30
10/28	10/29	24116414302067190132322	FIREPENNY 708-995-1241 IL	\$322.30
11/04	11/04	24011344309500009507381	BUZZSPROUT* INVOICE 68 BUZZSPROUT.COFL	\$12.00

**Cardholder Account Activity (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount	
11/07	11/11	24721934313900016033939	APCO INTERNATIONAL INC 386-9442422 FL	\$545.00	
<b>TRAVIS HOLDING EAGLE 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$5,000.00					
			Purchases & Other Charges \$20.00	Payments & Other Credits \$0.00	Total Activity \$20.00
11/02	11/04	24692164307101723842327	NDDOT - MOTOR VEHICLE 701-328-2725 ND	\$12.00	
11/02	11/04	24692164307101723842335	NDDOT - MOTOR VEHICLE 701-328-2725 ND	\$8.00	
<b>ANIMAL SHELTER 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00					
			Purchases & Other Charges \$1,336.30	Payments & Other Credits \$0.00	Total Activity \$1,336.30
11/07	11/08	24692164312106149579687	CHEWY.COM 800-672-4399 FL	\$1,336.30	
<b>MUSEUM 0000-</b>					
XXXX-XXXX-XXXX- Credit Limit: \$8,000.00					
			Purchases & Other Charges \$1,172.05	Payments & Other Credits \$0.00	Total Activity \$1,172.05
10/28	10/30	24896304303023227886099	GEO 513-3363100 OH	\$751.60	
10/31	11/01	24000774305000014494654	LS THE SWEET MELANGE 186-69321801 ND	\$126.95	
11/05	11/06	24275394310900010775899	KEEN COMMUNICATIONS 205-3220439 AL	\$293.50	
<b>ROBERT FUHRMAN 0000-</b>					
XXXX-XXXX-XXXX- Credit Limit: \$5,000.00					
			Purchases & Other Charges \$194.80	Payments & Other Credits \$0.00	Total Activity \$194.80
10/28	10/29	24011344303000015965760	COLUMN PUBLIC NOTICE HTTPSCOLUMN.UDC	\$17.48	
10/31	11/01	24692164305109628462150	Kindle Svcs*AB49B7EP3 888-802-3080 WA	\$3.99	
11/02	11/04	24692164307101831675825	AMAZON MKTPL*534DF5ZT3 Amzn.com/billWA	\$47.47	
11/03	11/04	24011344308000049849670	SHOPIFY* 291631961 HTTPSSHOPIFY.IL	\$118.46	
11/05	11/06	24231684310747002679978	CONSOLIDATED TELCOM 701-483-4000 ND	\$7.40	
<b>PURCHASING DEPARTMENT 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$10,000.00					
			Purchases & Other Charges \$2,469.36	Payments & Other Credits \$0.00	Total Activity \$2,469.36
10/25	10/28	24692164300105173584468	AMZN Mktpl US*AG0SY69N3 Amzn.com/billWA	\$42.35	
10/28	10/29	2469216430210757777555	AMAZON MKTPL*A28DD47G3 Amzn.com/billWA	\$374.61	
10/28	10/29	24445004302200138324708	WALMART.COM 8009256278 800-966-6546 AR	\$40.75	
10/28	10/29	24692164302107335813833	AMZN Mktpl US*7M5AJ23L3 Amzn.com/billWA	\$105.00	
10/31	11/01	24692164305109752668176	AMAZON MKTPL*IX4UK9JO3 Amzn.com/billWA	\$514.22	
11/01	11/04	24108384307007204002756	SHOPLET.COM clover.com FL	\$115.56	
11/04	11/05	24692164309103448234721	AMAZON MKTPL*HR9W44OR3 Amzn.com/billWA	\$75.05	
11/04	11/05	24692164309103686829125	AMAZON MKTPL*6C5KD6DQ3 Amzn.com/billWA	\$361.49	
11/07	11/08	24692164312106097215060	Amazon.com*DI02T8263 Amzn.com/billWA	\$472.46	
11/08	11/11	24692164314107358674308	AMAZON MKTPL*NT5YH1LL3 Amzn.com/billWA	\$5.86	
11/08	11/11	24692164313107302531621	AMZN Mktpl US*KC0488FV3 Amzn.com/billWA	\$88.10	
11/08	11/11	24108384314007558003203	SHOPLET.COM clover.com FL	\$109.20	
11/10	11/11	24692164315108841655341	Amazon.com*IK6I12QO3 Amzn.com/billWA	\$164.71	
<b>DUANE ZASTOUPIL 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$5,000.00					
			Purchases & Other Charges \$51.25	Payments & Other Credits \$0.00	Total Activity \$51.25
11/06	11/07	24692164311105523320297	ND DEPT OF ENVIR QUAL 701-328-5150 ND	\$50.00	
11/06	11/07	24692164311105523204251	PAYMENTUS CORPORATION 800-420-1663 NC	\$1.25	
<b>STREET DEPARTMENT 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00					
			Purchases & Other Charges \$73.50	Payments & Other Credits \$0.00	Total Activity \$73.50
11/05	11/06	24427334310730261966456	CASH WISE #3044 DICKINSON ND	\$73.50	
<b>MATT HANSON 000</b>					
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00					
			Purchases & Other Charges \$1,590.00	Payments & Other Credits \$0.00	Total Activity \$1,590.00
11/05	11/07	24559304311900019105838	FBI LEEDA INC 877-7727712 PA	\$795.00	
11/05	11/07	24559304311900019105846	FBI LEEDA INC 877-7727712 PA	\$795.00	

**Cardholder Account Activity (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
<b>PD TRAVEL 3 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$51.68	\$0.00
			Total Activity	
			\$51.68	
11/03	11/05	24316054309140376653968	SHELL OIL10083966019 BISMARCK ND	\$51.68
<b>TRAVIS LEINTZ 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$1,391.84	\$0.00
			Total Activity	
			\$1,391.84	
10/29	10/30	24055234304135166214136	RUNNINGS OF DICKINSON DICKINSON ND	\$119.99
10/31	11/01	24692164305109965157512	APPLE.COM/BILL 866-712-7753 CA	\$42.59
11/01	11/04	24492154307047661174749	TLO TRANSUNION 561-988-4200 FL	\$181.40
11/07	11/08	24492164313500003025111	B2G, LLC* O #89796 BLUETOGOLD.COWA	\$225.00
11/08	11/11	24435654314036039020478	TRITECH FORENSICS 910-457-6600 NC	\$822.86
<b>YOUTH COMMISSION 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$186.94	\$0.00
			Total Activity	
			\$186.94	
10/31	11/01	24755424305273059601728	BRAUN DISTRIBUTING DICKINSON ND	\$186.94
<b>POLICE DEPARTMENT 0000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$30,000.00				
			Purchases & Other Charges	Payments & Other Credits
			\$1,172.50	\$0.00
			Total Activity	
			\$1,172.50	
10/28	10/30	24137464303100333756183	MENARDS DICKINSON ND 715-876-6378 ND	\$21.47
11/07	11/11	24000974313643602449295	ALLEGIANT AIL3M 702-5058888 NV NM: HANSON MATTHEW J TKT: L3M OARP: BIS SVC: E DARP: AZA DEP: 12-06-24 OARP: BIS SVC: E DARP: AZA DEP: 12-06-24	\$1,086.88
11/07	11/08	24692164312106378153295	IN *GUARDIAN ALLIANCE TEC415-6552240 CA	\$40.00
11/08	11/11	24692164313106747316929	AMAZON MKTPL*HR2VB0L83 Amzn.com/billWA	\$24.15
<b>RACHEL SHUMAKER 00C</b>				
XXXX-XXXX-XXXX- Credit Limit: \$7,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$2,613.58	\$0.00
			Total Activity	
			\$2,613.58	
10/24	10/28	24034544299005342572589	ARCO INTERSTATE JAMESTOWN ND	\$50.94
10/24	10/29	24755424302173028023421	HILTON GARDEN INN 605-2318815 ND CHECK IN DATE: 10-21-24 CONFIRMATION #: 416602	\$427.65
10/24	10/29	24755424302173028023496	HILTON GARDEN INN 605-2318815 ND CHECK IN DATE: 10-21-24 CONFIRMATION #: 416601	\$427.65
10/24	10/29	24755424302173028023520	HILTON GARDEN INN 605-2318815 ND CHECK IN DATE: 10-21-24 CONFIRMATION #: 416599	\$427.65
10/24	10/29	24755424302173028023710	HILTON GARDEN INN 605-2318815 ND CHECK IN DATE: 10-21-24 CONFIRMATION #: 416600	\$427.65
11/06	11/07	74208474311500009854477	SP FILTERFINDER NOTTINGHAM	\$843.60
11/07	11/07	74208474311500009854477	INTERNATIONAL SERVICE FEE	\$8.44
<b>JOSH OLHEISER 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$144.44	\$0.00
			Total Activity	
			\$144.44	
10/29	10/30	24445004304400247695604	WM SUPERCENTER #1567 DICKINSON ND	\$40.02
11/04	11/05	24445004310400205571757	WM SUPERCENTER #1567 DICKINSON ND	\$104.42
<b>ADRIAN KREBS 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,500.00				
			Purchases & Other Charges	Payments & Other Credits
			\$0.00	\$1,489.94
			Total Activity	
			\$1,489.94	
10/25	10/28	74906414299212417640251	DRM*ID.MYCOMMERCE.COM myord.com MN	\$1,489.94 CR
<b>RACHEL WALDO 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$3,000.00				
			Purchases & Other Charges	Payments & Other Credits
			\$137.33	\$0.00
			Total Activity	
			\$137.33	
10/26	10/28	24943004300080769929143	PIZZA HUT 033427 DICKINSON ND	\$125.05
11/04	11/05	24445004310400205573811	WM SUPERCENTER #1567 DICKINSON ND	\$12.28

**Cardholder Account Activity (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
<b>AARON MEYER 0000-I</b>				
XXXX-XXXX-XXXX- Credit Limit: \$40,000.00				
			Purchases & Other Charges \$11,079.05	Payments & Other Credits \$819.88
				Total Activity \$10,259.17
10/28	10/29	24164074302105441207585	STAPLES INC 00209908 staples.com MA	\$289.46
10/30	10/31	24692164304109015666422	AMAZON MKTPL*SO31A5GN3 Amzn.com/billWA	\$206.78
11/01	11/04	24692164306101043730435	AMAZON MKTPL*ZH2T34QO3 Amzn.com/billWA	\$95.85
11/02	11/04	24164074308105441194654	STAPLES INC 00209908 staples.com MA	\$114.69
11/03	11/04	24692164308102780732442	AMAZON MKTPL*1D0WC0Y63 Amzn.com/billWA	\$6,334.00
11/04	11/05	24011344309000072034363	WWW.UI.COM WWW.UI.COM NY	\$2,011.00
11/04	11/04	24011344309000022320243	WASABI TECHNOLOGIES WWW.WASABI.COMA	\$658.09
11/05	11/06	74692164310104659461237	Amazon.com Amzn.com/billWA	\$472.46 CR
11/06	11/07	24692164311105384298905	AMAZON MKTPL*KG6JY93C3 Amzn.com/billWA	\$228.76
11/06	11/07	74692164311105299141609	AMZN Mktpl US Amzn.com/billWA	\$347.42 CR
11/06	11/07	24692164311105156130302	Amazon.com*3N6SB78A3 Amzn.com/billWA	\$154.99
11/06	11/07	24692164311105151476817	AMZN Mktpl US*Q433D1TU3 Amzn.com/billWA	\$347.42
11/08	11/11	24692164313107316881145	AMAZON MKTPL*NG98B5LJ3 Amzn.com/billWA	\$15.98
11/08	11/11	24692164314107357880476	AMAZON MKTPL*AS70L1Z13 Amzn.com/billWA	\$21.24
11/09	11/11	24164074315105441209230	STAPLES INC 00209908 staples.com MA	\$240.79
11/09	11/11	24692164314107721927532	AMAZON MKTPL*MJ8U65U13 Amzn.com/billWA	\$360.00
<b>MIKHAYLA BLISS 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$1,500.00				
			Purchases & Other Charges \$149.85	Payments & Other Credits \$0.00
				Total Activity \$149.85
10/29	10/30	24445004304400247711864	WM SUPERCENTER #1567 DICKINSON ND	\$149.85
<b>JAYDA BORAH 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$2,000.00				
			Purchases & Other Charges \$18.12	Payments & Other Credits \$0.00
				Total Activity \$18.12
10/26	10/28	24793384300000708320052	FACEBK *2ME6UBC762 305-2154008 CA	\$16.49
10/26	10/28	24793384300000808426064	FACEBK *K7F2KC8762 305-2154008 CA	\$1.63
<b>RITA BINSTOCK 0000-</b>				
XXXX-XXXX-XXXX- Credit Limit: \$4,000.00				
			Purchases & Other Charges \$2,778.61	Payments & Other Credits \$0.00
				Total Activity \$2,778.61
10/25	10/28	24906414299212415748358	At-A-Glance US 800-6439923 IL	\$19.60
10/28	10/29	24011344302000108753983	GR NO DAKOTA CHAMBER WWW.NDCHAMBERND	\$250.00
10/28	10/29	24011344303000021998805	COLUMN PUBLIC NOTICE HTTPSCOLUMN.UDC	\$342.76
10/28	10/29	24011344303000022087699	COLUMN PUBLIC NOTICE HTTPSCOLUMN.UDC	\$471.96
11/04	11/05	24906414309213262622082	At-A-Glance US 800-6439923 IL	\$63.05
11/05	11/06	24906414310213353752506	At-A-Glance US 800-6439923 IL	\$40.04
11/07	11/07	24138294312049431020548	LANDS END BUS OUTFITTERS 8003324700 WI	\$1,561.20
11/10	11/11	24692164315109078302540	NDRIN-ND LAND RECORDS 701-364-1280 ND	\$30.00
<b>STEVEN CLAWSON 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$3,000.00				
			Purchases & Other Charges \$1,773.03	Payments & Other Credits \$0.00
				Total Activity \$1,773.03
11/08	11/11	24073144315900014800402	REYNOLDS ADVANCED MATERIA610-2525800 IL	\$1,773.03
<b>CITY LIBRARY 0000-0</b>				
XXXX-XXXX-XXXX- Credit Limit: \$10,000.00				
			Purchases & Other Charges \$379.87	Payments & Other Credits \$0.00
				Total Activity \$379.87
11/07	11/08	24755424312293121819844	ZORO TOOLS INC 855-2899676 IL	\$280.95
11/09	11/11	24692164314107707217254	AMAZON MKTPL*YJ39D7LK3 Amzn.com/billWA	\$98.92
<b>BRANDI AARON 000</b>				
XXXX-XXXX-XXXX- Credit Limit: \$1,000.00				
			Purchases & Other Charges \$44.10	Payments & Other Credits \$0.00
				Total Activity \$44.10
10/28	10/29	24137464303001500298258	USPS PO 3724000905 DICKINSON ND	\$24.80
11/08	11/11	24137464314001630387143	USPS PO 3724000905 DICKINSON ND	\$19.30

**Cardholder Account Activity (continued)**

Tran Date	Post Date	Reference Number	Transaction Description	Amount
<b>SYLVIA MILLER 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$750.00			Purchases & Other Charges \$184.28	Payments & Other Credits \$0.00
				Total Activity \$184.28
10/30	10/31	24011344304000075799967	GR NO DAKOTA CHAMBER WWW.NDCHAMBERND	\$125.00
11/07	11/08	24011344313500005173141	COLUMN PUBLIC NOTICE COLUMN.US DC	\$59.28
<b>FIRE DEPARTMENT FMS 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$10,000.00			Purchases & Other Charges \$262.25	Payments & Other Credits \$0.00
				Total Activity \$262.25
10/28	10/29	24559304302900012820798	NATIONAL EMS MANAGEMENT A816-4316806 MO	\$135.00
11/04	11/05	24559304309900010967313	NATL ASSOC OF EMS EDUCATO412-3434775 PA	\$95.00
11/07	11/08	24036294312716776811532	JONES & BARTLETT LEARNING800-832-0034 MA	\$32.25
<b>CHAD TORMASCHY 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$10,000.00			Purchases & Other Charges \$1,551.49	Payments & Other Credits \$0.00
				Total Activity \$1,551.49
10/28	10/29	24906414302212687906424	FS *www.mtcpro.com 877-3278914 CA	\$1,399.00
10/31	11/01	24692164305100205895904	AMZN Mktp US*3U1932M23 Amzn.com/billWA	\$103.49
11/01	11/04	24801974307138838307317	DICKINSON MOTOR VEHICLE DICKINSON ND	\$46.00
11/01	11/04	24801974307138841759975	MUNICIPAY(M3)*SERVICE FE SCARBOROUGH ME	\$3.00
<b>JOEL WALTERS 000:</b>				
XXXX-XXXX-XXXX- Credit Limit: \$30,000.00			Purchases & Other Charges \$705.84	Payments & Other Credits \$0.00
				Total Activity \$705.84
11/01	11/04	24113434306200269557551	THE WEBSTAIRANT STORE INC717-392-7472 PA	\$469.93
11/08	11/11	24692164313107174302945	AMZN Mktp US*9F5QP0053 Amzn.com/billWA	\$30.99
11/09	11/11	24692164314107749121829	AMZN Mktp US*JN9784WE3 Amzn.com/billWA	\$36.90
11/09	11/11	24692164314108222370404	AMAZON MKTPL*VT6NW6DK3 Amzn.com/billWA	\$168.02

**Finance Charge Summary**

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Type of Balance	Average Daily Balance	Daily Periodic Rate	Corresponding Annual Percentage Rate	Periodic Finance Charge
PURCHASES	\$0.00	0.0000%	0.00%	\$0.00
CASH ADVANCES	\$0.00	0.0360%	12.90%	\$0.00





**Financial Report**  
**For the Period Ending**  
**October 31<sup>st</sup>, 2024**

*From: Samantha Buzalsky, Accountant*

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State Tax/Intergovernmental Revenue by Month.....	3
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**Note:** State Tax Revenue numbers are based on when they were received from the ND State Treasurer’s Office

**2024 Budget Recap**

10/31/2024

	<b>2024 Budget</b>	<b>2024 Actual</b>	<b>Variance</b>	<b>% Expended</b>
<b><u>General Fund</u></b>	\$ 27,025,495	\$ 20,158,149	\$ 6,867,346	74.59%
<b><u>Special Revenue Funds</u></b>				
1% Sales Tax	\$ 10,884,500	\$ 6,066,018	\$ 4,818,482	55.73%
1/2% Sales Tax	\$ 5,225,000	\$ 4,566,667	\$ 658,333	87.40%
Legacy Square Fund	\$ 563,250	\$ 463,460	\$ 99,790	82.28%
Cemetery Fund	\$ 149,000	\$ 104,563	\$ 44,437	70.18%
Future Fund	\$ 300,000	\$ 248,818	\$ 51,182	82.94%
Oil Impact Fund	\$ 29,254,976	\$ 28,224,677	\$ 1,030,299	96.48%
Hospitality Tax	\$ 1,084,000	\$ 981,945	\$ 102,055	90.59%
Highway Tax	\$ 1,300,000	\$ 1,083,333	\$ 216,667	83.33%
Urban Forestry/Downtown Streetscape	\$ 50,000	\$ -	\$ 50,000	0.00%
Ambulance		\$ 96,645		
Library	\$ 1,695,743	\$ 1,050,145	\$ 645,598	61.93%
Interest Revenue Fund	\$ 1,100,000	\$ 811,183	\$ 288,817	73.74%
<b><u>Debt Service Funds</u></b>				
WRCC Revenue Bond	\$ 1,435,000	\$ 1,425,695	\$ 9,305	99.35%
General Capital Lease Fund	\$ 400,000	\$ 359,776	\$ 40,224	89.94%
<b><u>Enterprise/Proprietary Funds</u></b>				
Water	\$ 7,956,317	\$ 6,912,350	\$ 1,043,967	86.88%
Sewer	\$ 9,575,755	\$ 3,635,476	\$ 5,940,279	37.97%
Solid Waste	\$ 5,892,753	\$ 3,799,431	\$ 2,093,322	64.48%
Storm Water	\$ 114,230	\$ 121,195	\$ (6,965)	106.10%
Wastewater Plant	\$ 1,128,381	\$ 1,091,798	\$ 36,583	96.76%
Fleet (Internal Service)	\$ 1,270,831	\$ 792,826	\$ 478,005	62.39%
<b><u>Totals</u></b>	<b>106,405,231</b>	<b>81,994,148</b>	<b>24,507,728</b>	<b>77.06%</b>

**Oil Impact Fund Revenue**

10/31/2024

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
<b>January</b>	860,742	1,088,021	1,173,219	906,718	1,299,165	1,379,453	1,582,335	202,882
<b>February</b>	882,817	938,136	1,221,034	974,729	1,181,038	1,192,840	1,396,215	203,375
<b>March</b>	949,318	1,061,228	1,143,847	999,254	1,314,748	1,246,296	1,369,677	123,381
<b>April</b>	805,930	1,047,392	1,016,645	991,918	1,290,101	1,230,965	1,304,302	73,336
<b>May</b>	876,208	1,120,384	792,116	1,086,395	1,582,042	1,254,441	1,513,616	259,175
<b>June</b>	1,099,144	1,212,734	622,710	1,071,391	1,321,182	1,223,107	1,486,384	263,277
<b>July</b>	1,243,935	1,182,092	623,428	1,106,206	1,423,884	1,244,544	1,379,645	135,101
<b>August</b>	1,198,710	1,112,773	739,585	1,119,185	1,648,644	1,202,366	1,431,833	229,467
<b>September</b>	1,656,623	1,559,227	1,219,797	1,590,051	1,932,473	1,783,432	1,853,803	70,370
<b>October</b>	1,263,925	1,191,095	907,805	1,174,502	1,498,774	1,509,862	1,490,675	(19,187)
<b>November</b>	1,362,972	1,152,480	896,826	1,205,340	1,407,431	1,669,712		
<b>December</b>	1,356,298	1,168,313	890,316	1,291,108	1,403,773	1,628,239		
<b>Totals</b>	<b>13,556,623</b>	<b>13,833,874</b>	<b>11,247,328</b>	<b>13,516,796</b>	<b>17,303,256</b>	<b>16,565,258</b>	<b>14,808,485</b>	<b>1,541,178</b>

**Hospitality Tax**

10/31/2024

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
<b>January</b>	62,202	81,122	82,427	69,011	69,822	80,993	88,784	7,791
<b>February</b>	92,503	80,320	84,166	49,803	87,549	81,937	99,849	17,912
<b>March</b>	65,519	71,329	63,859	60,667	67,154	77,037	93,600	16,564
<b>April</b>	50,319	59,212	78,972	70,912	67,428	75,191	72,256	(2,935)
<b>May</b>	84,613	92,634	63,745	72,352	52,278	78,429	96,639	18,209
<b>June</b>	91,483	76,960	41,043	52,463	93,769	98,201	95,785	(2,416)
<b>July</b>	65,073	70,675	82,172	96,721	84,616	82,918	95,858	12,939
<b>August</b>	106,837	104,979	88,496	86,150	83,828	105,902	128,769	22,867
<b>September</b>	99,110	91,084	77,004	110,621	116,475	132,380	119,075	(13,305)
<b>October</b>	81,064	106,436	92,454	91,040	110,248	95,499	118,060	22,561
<b>November</b>	108,769	99,662	76,605	72,803	68,209	135,220		
<b>December</b>	93,749	72,367	82,554	92,104	90,254	100,718		
<b>Totals</b>	<b>1,001,241</b>	<b>1,006,781</b>	<b>913,497</b>	<b>924,646</b>	<b>991,630</b>	<b>1,144,425</b>	<b>1,008,674</b>	<b>100,187</b>

**Occupancy Tax**

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
<b>January</b>	14,504	23,827	23,209	19,645	22,427	25,873	24,170	(1,703)
<b>February</b>	25,752	19,796	22,931	14,115	20,959	22,081	25,243	3,162
<b>March</b>	12,234	20,971	11,847	9,806	14,433	16,097	22,895	6,797
<b>April</b>	14,283	24,396	22,041	14,038	18,074	20,706	15,177	(5,529)
<b>May</b>	24,654	23,073	19,237	16,205	17,314	27,617	23,675	(3,942)
<b>June</b>	30,921	25,315	12,864	12,547	21,977	27,036	25,171	(1,865)
<b>July</b>	19,871	37,101	12,496	26,474	26,169	26,015	37,477	11,463
<b>August</b>	40,414	37,844	27,268	50,105	44,182	46,969	54,476	7,507
<b>September</b>	48,211	44,207	28,500	43,337	49,032	80,411	59,112	(21,299)
<b>October</b>	41,598	63,262	33,627	37,659	61,186	40,325	60,919	20,594
<b>November</b>	50,014	47,438	29,306	52,810	41,071	69,271		
<b>December</b>	41,713	24,498	22,353	27,311	31,290	35,647		
<b>Totals</b>	<b>364,167</b>	<b>391,727</b>	<b>265,679</b>	<b>324,053</b>	<b>368,116</b>	<b>438,047</b>	<b>348,315</b>	<b>15,187</b>

**City of Dickinson**

10/31/2024	Occupancy Tax Total Collections (Paid to CVB)		Sales Tax Revenue Monthly Breakdown					
	Occupancy Tax		1% Sales Tax		1/2% Sales Tax		Hospitality Tax	
	2023	2024	2023	2024	2023	2024	2023	2024
January	25,873	24,170	597,446	490,171	298,723	245,085	80,993	88,784
February	22,081	25,243	757,033	900,175	378,517	450,088	81,937	99,849
March	16,097	22,895	576,217	466,764	288,109	233,382	77,037	93,600
April	20,706	15,177	551,078	327,069	275,539	163,534	75,191	72,256
May	27,617	23,675	464,675	758,666	232,338	379,333	78,429	96,639
June	27,036	25,171	686,093	568,198	343,047	284,099	98,201	95,785
July	26,015	37,477	602,935	402,293	301,468	201,147	82,918	95,858
August	46,969	54,476	707,353	905,929	353,676	452,964	105,902	128,769
September	80,411	59,112	627,308	577,910	313,654	288,955	132,380	119,075
October	40,325	60,919	439,305	677,393	219,652	338,696	95,499	118,060
November	69,271	-	858,479	-	429,239	-	135,220	-
December	35,647	-	589,994	-	294,997	-	100,718	-
<b>Total</b>	<b>438,047</b>	<b>348,315</b>	<b>7,457,917</b>	<b>6,074,569</b>	<b>3,728,959</b>	<b>3,037,284</b>	<b>1,144,425</b>	<b>1,008,674</b>

	Intergovernmental Revenues							
	State Aid Distribution		Highway Distribution Tax		Oil Impact Revenue		Other Misc. Revenue Intergovernmental	
	2023	2024	2023	2024	2023	2024	2023	2024
January	189,768	173,974	123,168	120,921	1,379,453	1,582,335	-	-
February	226,505	262,961	111,303	108,532	1,192,840	1,396,215	-	-
March	184,004	181,844	86,510	93,317	1,246,296	1,369,677	4,332	-
April	176,214	127,143	105,233	94,096	1,230,965	1,304,302	-	-
May	180,327	245,132	99,875	97,576	1,254,441	1,513,616	4,424	-
June	223,438	205,687	96,104	93,719	1,223,107	1,486,384	25,651	19,030
July	217,702	164,498	113,233	116,419	1,244,544	1,379,645	5,114	-
August	239,196	266,684	74,660	88,616	1,202,366	1,431,833	-	-
September	234,047	213,864	101,199	95,845	1,783,432	1,853,803	-	-
October	197,963	224,734	111,324	110,575	1,509,862	1,490,675	-	-
November	258,158	-	100,894	-	1,669,712	-	-	-
December	218,608	-	518,354	-	1,628,239	-	24,381	-
<b>Total</b>	<b>2,545,930</b>	<b>2,066,520</b>	<b>1,641,858</b>	<b>1,019,615</b>	<b>16,565,258</b>	<b>14,808,485</b>	<b>63,902</b>	<b>19,030</b>

## 1% Sales Tax

10/31/2024

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
January	369,381	503,405	576,989	443,415	479,035	597,446	490,171	(107,275)
February	629,177	590,900	615,580	393,184	675,922	757,033	900,175	143,142
March	417,722	417,702	345,175	449,633	433,558	576,217	466,764	(109,453)
April	324,713	394,368	505,251	485,343	419,590	551,078	327,069	(224,010)
May	549,810	543,423	505,989	514,562	428,195	464,675	758,666	293,991
June	455,476	487,623	324,748	353,963	583,886	686,093	568,198	(117,895)
July	401,647	425,959	584,979	607,274	581,266	602,935	402,293	(200,642)
August	664,241	765,145	527,075	568,420	569,164	707,353	905,929	198,576
September	517,500	517,822	494,819	523,865	751,171	627,308	577,910	(49,398)
October	473,116	568,820	490,122	512,572	677,176	439,305	677,393	238,088
November	609,032	600,086	472,033	447,706	553,059	858,479		
December	556,185	438,099	491,566	634,101	597,838	589,994		
<b>Totals</b>	<b>5,967,998</b>	<b>6,253,353</b>	<b>5,934,326</b>	<b>5,934,039</b>	<b>6,749,860</b>	<b>7,457,917</b>	<b>6,074,569</b>	<b>65,125</b>

## 1/2% Sales Tax

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
January	184,690	251,703	288,495	221,707	239,517	298,723	245,085	(53,638)
February	314,588	295,450	307,790	196,592	337,961	378,517	450,088	71,571
March	208,861	208,851	172,588	224,817	216,779	288,109	233,382	(54,727)
April	162,356	197,184	252,626	242,671	209,795	275,539	163,534	(112,005)
May	274,905	271,711	252,994	257,281	214,097	232,338	379,333	146,996
June	227,738	243,812	162,374	176,981	291,943	343,047	284,099	(58,947)
July	200,823	212,980	292,490	303,637	290,633	301,468	201,147	(100,321)
August	332,120	382,573	263,538	284,210	284,582	353,676	452,964	99,288
September	258,750	258,911	247,409	261,933	375,585	313,654	288,955	(24,699)
October	236,558	284,410	245,061	256,286	338,588	219,652	338,696	119,044
November	304,516	300,043	236,016	223,853	276,530	429,239		
December	278,092	219,050	245,783	317,051	298,919	294,997		
<b>Totals</b>	<b>2,983,999</b>	<b>3,126,677</b>	<b>2,967,163</b>	<b>2,967,019</b>	<b>3,374,930</b>	<b>3,728,959</b>	<b>3,037,284</b>	<b>32,561</b>

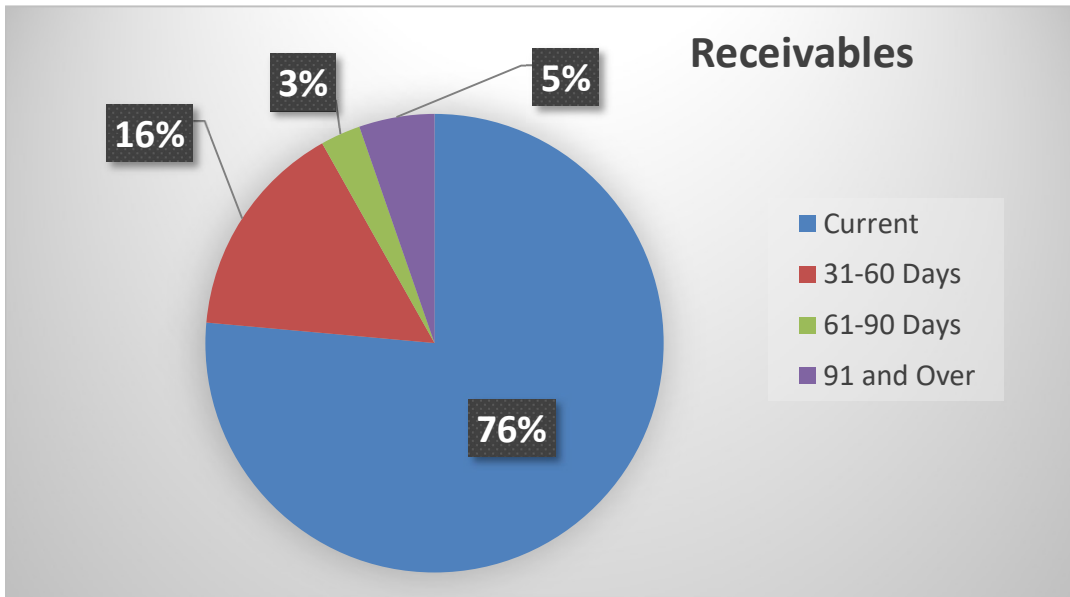
## Total 1.5% Sales Tax

	2018	2019	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
January	554,071	755,108	865,484	665,122	718,552	896,169	735,256	(160,913)
February	943,765	886,350	923,369	589,775	1,013,883	1,135,550	1,350,263	214,713
March	626,583	626,552	517,763	674,450	650,337	864,326	700,146	(164,180)
April	487,069	591,552	757,877	728,014	629,384	826,618	490,603	(336,014)
May	824,715	815,134	758,983	771,843	642,292	697,013	1,138,000	440,987
June	683,214	731,435	487,122	530,944	875,829	1,029,140	852,297	(176,842)
July	602,470	638,939	877,469	910,911	871,899	904,403	603,440	(300,963)
August	996,361	1,147,718	790,613	852,630	853,747	1,061,029	1,358,893	297,864
September	776,250	776,733	742,228	785,798	1,126,756	940,962	866,865	(74,097)
October	709,674	853,230	735,183	768,859	1,015,764	658,957	1,016,089	357,132
November	913,547	900,130	708,049	671,559	829,589	1,287,718		
December	834,277	657,149	737,349	951,152	896,757	884,991		
<b>Totals</b>	<b>8,951,997</b>	<b>9,380,030</b>	<b>8,901,489</b>	<b>8,901,058</b>	<b>10,124,790</b>	<b>11,186,876</b>	<b>9,111,853</b>	<b>97,686</b>

# Aged Trial Balance Summary 10/31/2024

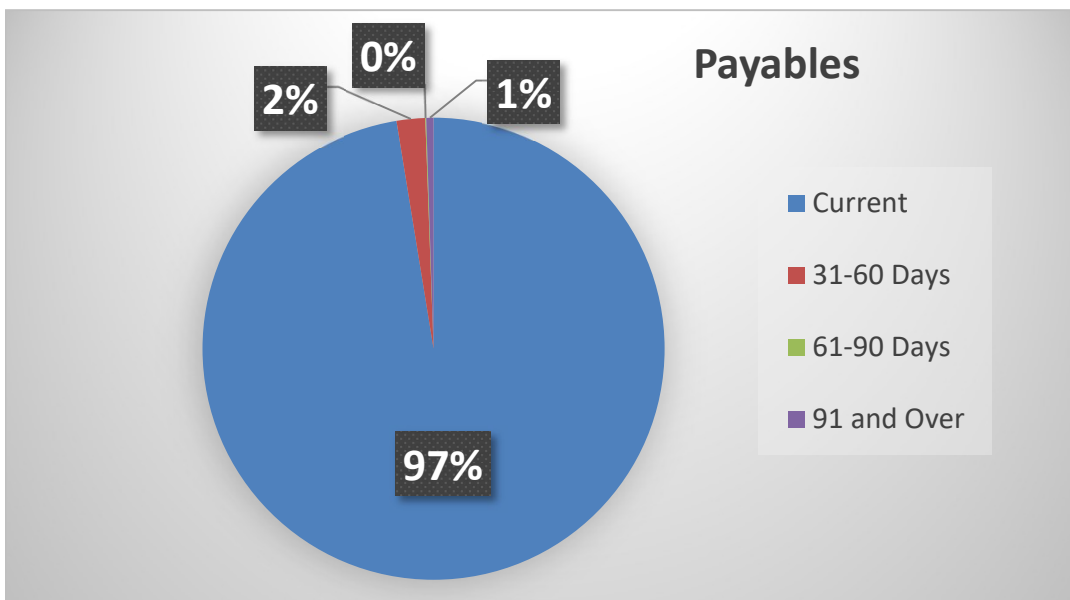
## Accounts Receivable Aged Report Summary

Current	31-60 Days	61-90 Days	91 and Over	Total
\$409,015	\$82,563	\$15,163	\$28,428	\$535,169



## Accounts Payable Aged Report Summary

Current	31-60 Days	61-90 Days	91 and Over	Total
\$464,579	\$9,464	\$403	\$2,383	\$476,829



Utility Revenue Summary  
10/31/2024

	2020	2021	2022	2023	2024	Increase (Decrease) over prior year
<b><u>Water</u></b>						
Consumption	\$ 5,736,440	\$ 6,082,613	\$ 5,357,972	\$ 5,346,827	\$ 5,189,366	\$ (157,461)
Meter Charges	\$ 1,138,511	\$ 1,146,953	\$ 1,154,095	\$ 1,142,569	\$ 954,706	\$ (187,863)
Flat Rate Wells	\$ 1,140	\$ 1,141	\$ 1,080	\$ 1,070	\$ 890	\$ (180)
Labor Sales & Service	\$ 405	\$ 360	\$ 360	\$ 510	\$ 645	\$ 135
Connection Fees	\$ 149,035	\$ 172,079	\$ 158,153	\$ 187,700	\$ 185,400	\$ (2,300)
Bad Debts Recovered	\$ -	\$ -	\$ 9,078	\$ 18,333	\$ 13,562	\$ (4,771)
Water Vendor	\$ -	\$ -	\$ 30,621	\$ 23,386	\$ 21,391	\$ (1,996)
Other Misc Reveue	\$ -	\$ -	\$ 41,581	\$ 26,855	\$ 21,672	\$ (5,183)
<b><u>Sewer</u></b>						
Consumption	\$ 1,462,721	\$ 1,433,404	\$ 1,348,383	\$ 1,329,525	\$ 1,218,122	\$ (111,403)
Meter Charges	\$ 1,525,480	\$ 1,534,287	\$ 1,543,413	\$ 1,527,970	\$ 1,276,057	\$ (251,913)
Flat Rate Wells	\$ 5,400	\$ 5,400	\$ 5,400	\$ 5,352	\$ 4,452	\$ (900)
Septage Receiving Station	\$ -	\$ -	\$ 31,992	\$ 64,116	\$ 58,268	\$ (5,849)
Connection Fees	\$ 99,450	\$ 91,550	\$ 81,800	\$ 236,750	\$ 90,787	\$ (145,963)
Other Misc Reveue	\$ -	\$ -	\$ 836,442	\$ 827,031	\$ 746,427	\$ (80,604)
<b><u>Solid Waste</u></b>						
Utility Billing	\$ 1,533,977	\$ 1,569,909	\$ 1,576,222	\$ 1,585,175	\$ 1,592,061	\$ 6,886
Commercial Landfill	\$ 934,278	\$ 812,800	\$ 1,007,974	\$ 848,730	\$ 783,801	\$ (64,929)
Gate Receipts	\$ 421,411	\$ 448,321	\$ 539,687	\$ 684,955	\$ 595,161	\$ (89,794)
UB Commercial Service	\$ 1,474,946	\$ 1,462,181	\$ 1,484,111	\$ 1,646,760	\$ 1,680,985	\$ 34,225
Commercial Container Rent	\$ 182,735	\$ 220,795	\$ 177,291	\$ 220,416	\$ 177,155	\$ (43,261)
Recycle Income	\$ -	\$ -	\$ 136,052	\$ 71,322	\$ 81,988	\$ 10,666
Other Misc Reveue	\$ -	\$ -	\$ 175,707	\$ 175,758	\$ 155,115	\$ (20,643)
<b><u>General Fund</u></b>						
Street Light Utility	\$ 355,910	\$ 391,843	\$ 394,167	\$ 389,410	\$ 325,085	\$ (64,325)
<b><u>Storm Water</u></b>						
Utility Billing	\$ 314,276	\$ 316,190	\$ 317,917	\$ 314,553	\$ 262,887	\$ (51,667)
Other Misc Reveue				\$ 14,154	\$ 9,498	\$ (4,656)
<b><u>Waste Water Treatment Plant</u></b>						
Wastewater Reuse	\$ 108,071	\$ 305,141	\$ 257,474	\$ 240,795	\$ 335,643	\$ 94,847
<b>Total</b>	<b>\$ 15,336,115</b>	<b>\$ 15,689,825</b>	<b>\$ 16,409,499</b>	<b>\$ 16,689,227</b>	<b>\$ 15,445,480</b>	<b>\$ (1,243,747)</b>

Note: A portion of January billing gets moved back to December of prior year based on audit requirements  
2/3 of consumption and 1/3 of base charges billed on January 20th get moved back to prior year  
2/3 of consumption, but none of the base charges billed on January 30th get moved back to prior year

# Monthly Financial Report

Presented by: Deputy City Administrator Carlson

Consideration to Approve



## Treasurer's Report as of October 31<sup>st</sup>, 2024

➤ General Checking	\$ 133,593
➤ Demand Deposit	\$ 35,000,000
➤ Money Market	\$ 18,196,510
➤ <u>Certificate of Deposit's</u>	<u>\$ 5,900,000</u>
➤ Cash Total	\$ 59,230,103

➤ This includes Restricted and Committed funds.

➤ Current Interest Rate on Cash Accounts      3.40% APY

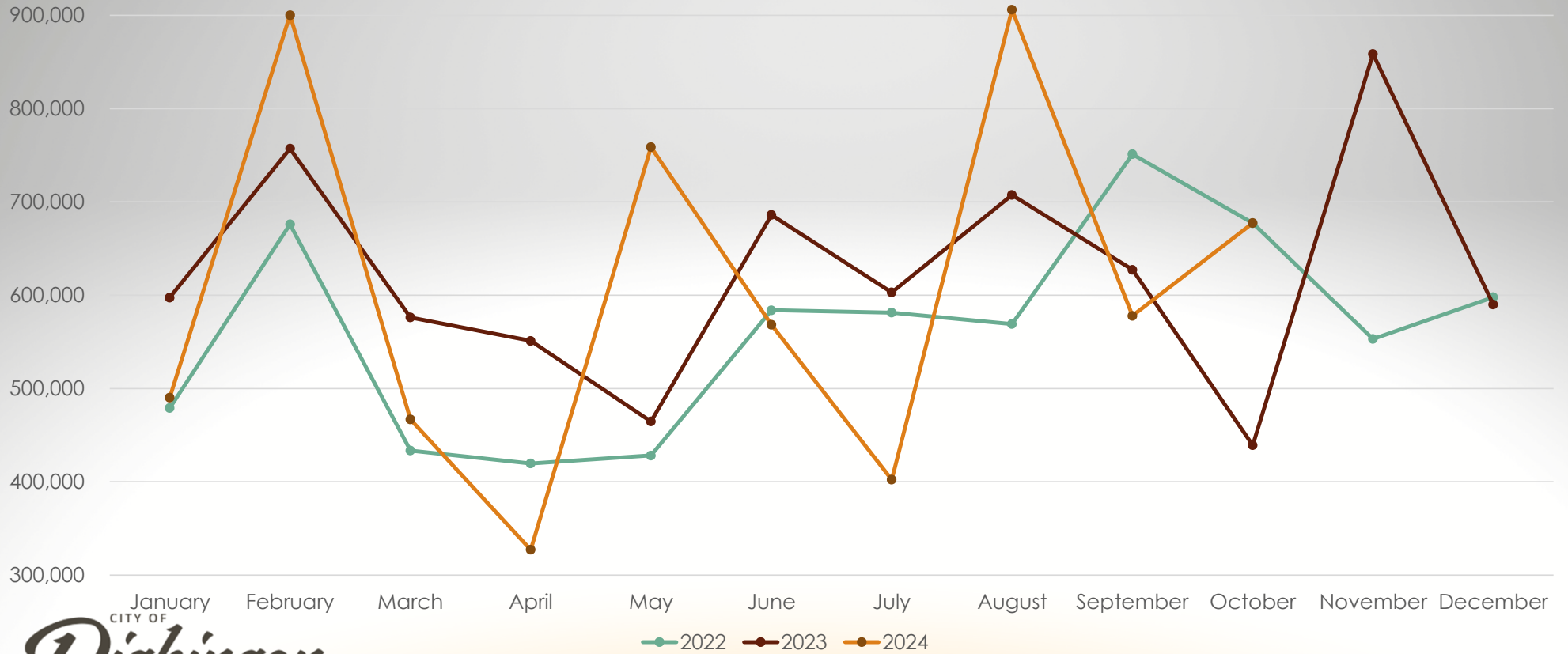


## Investments as of October 31<sup>st</sup>, 2024

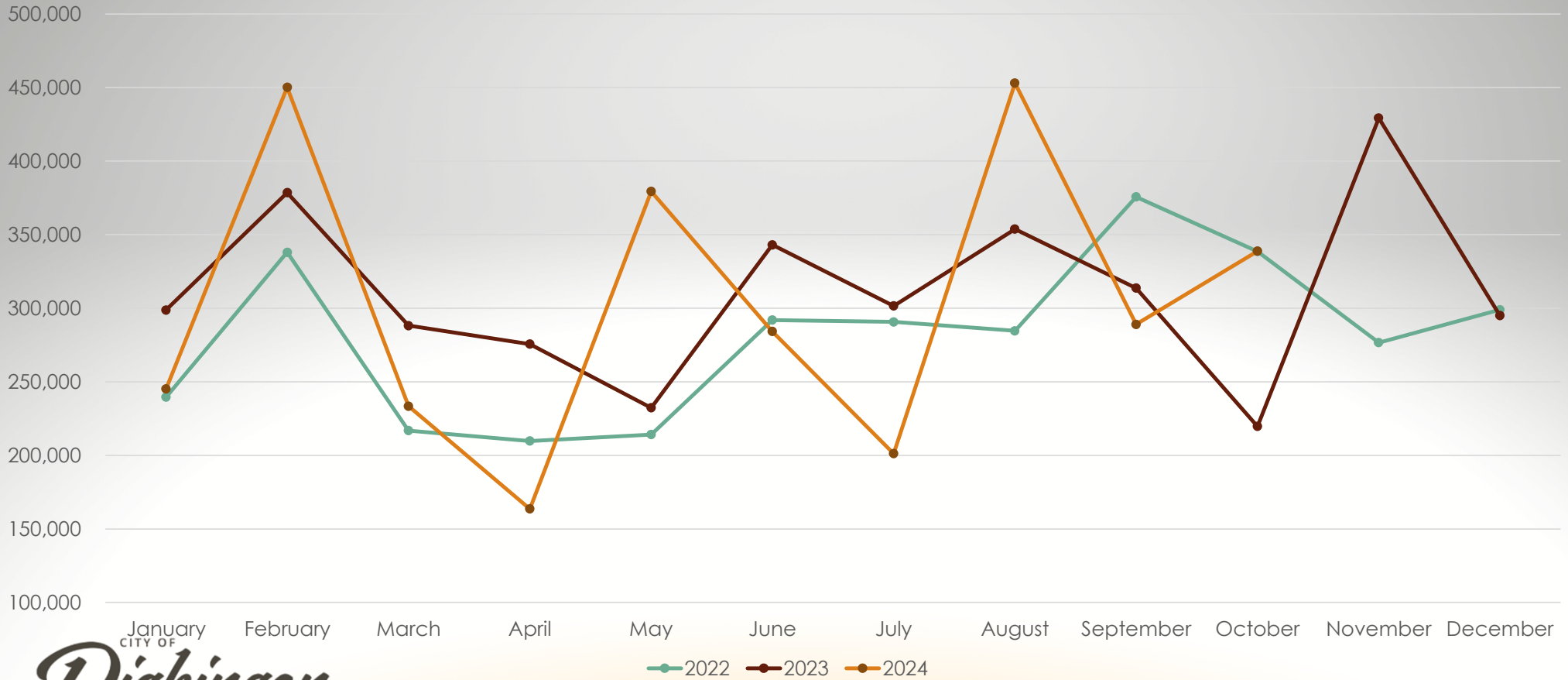
➤ Future Fund	\$ 7,106,881
➤ CMA	\$ 14,667,837
➤ City Pension	\$ 7,574,936
➤ Police Pension	\$ 7,641,298
➤ Volunteer Fire Pension	\$ 427,613
➤ OPEB	<u>\$ 216,740</u>
➤ Total	\$ 37,632,506



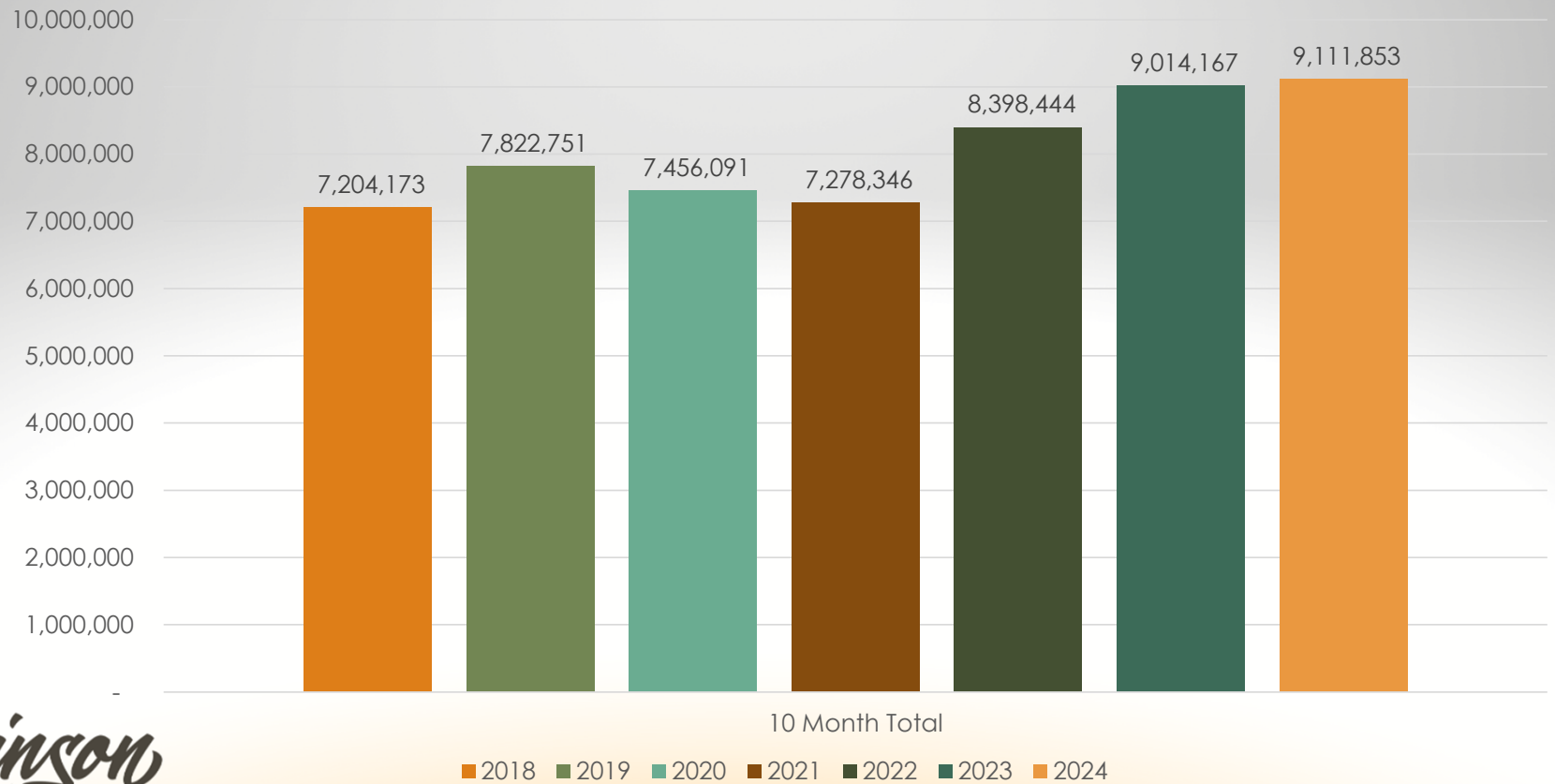
# 1% Sales Tax Monthly Breakdown



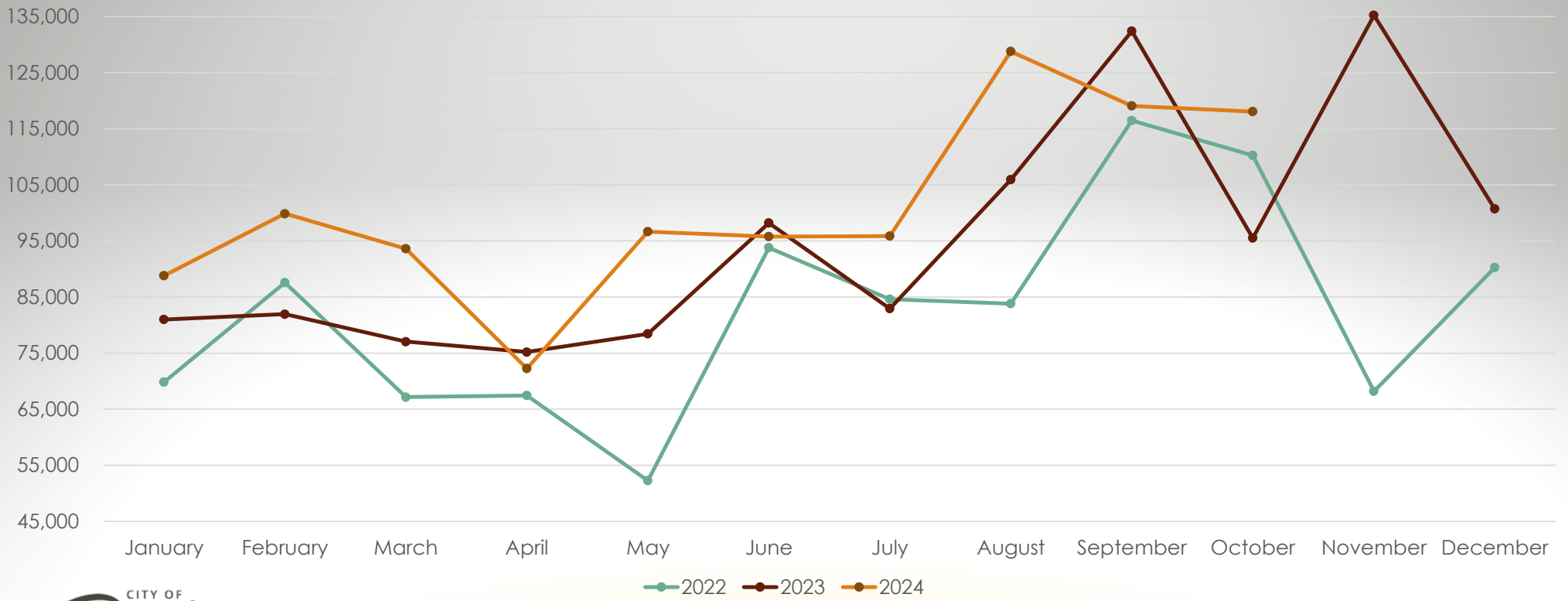
# 1/2% Sales Tax Monthly Breakdown



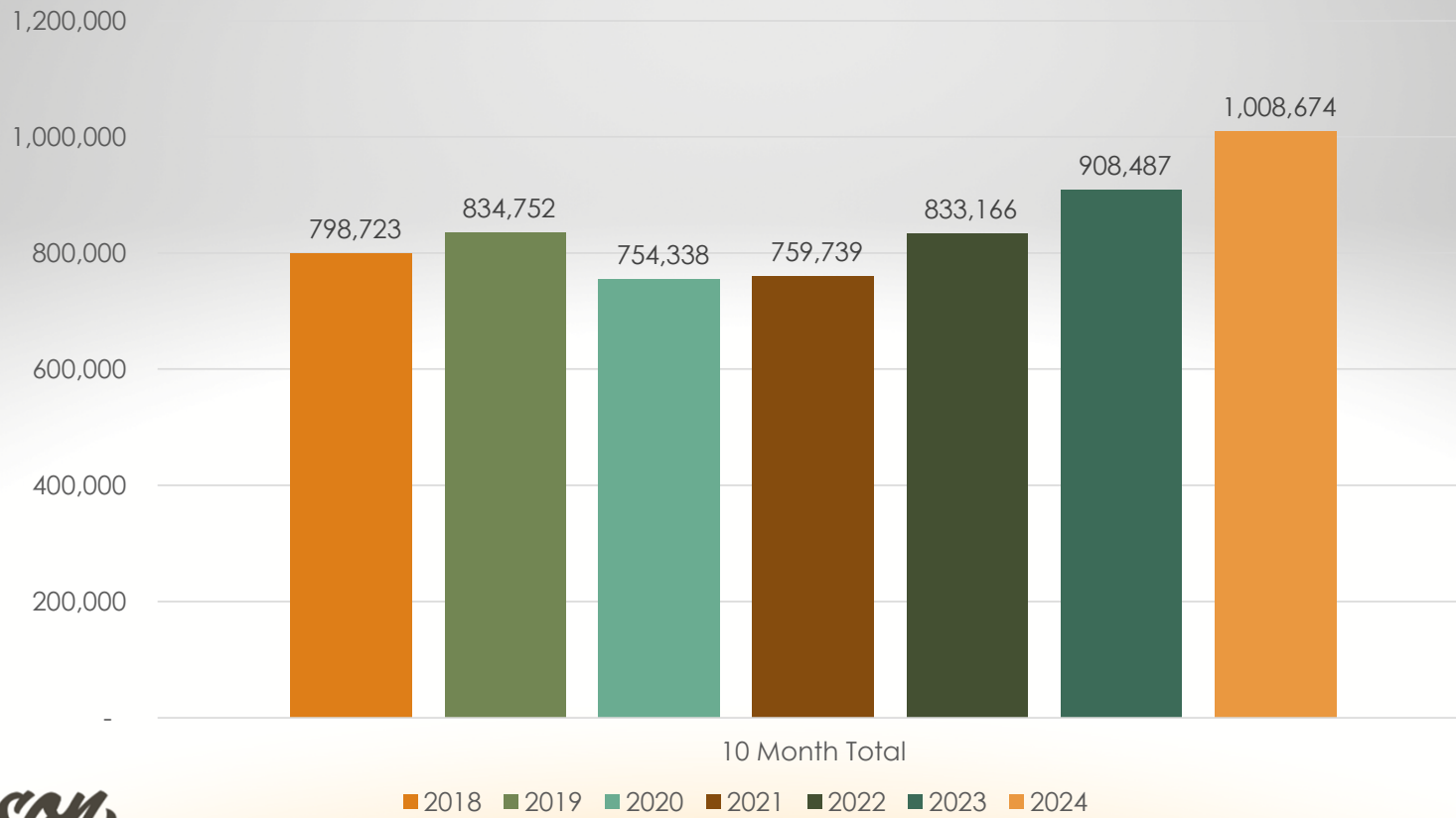
# Sales Tax Comparison



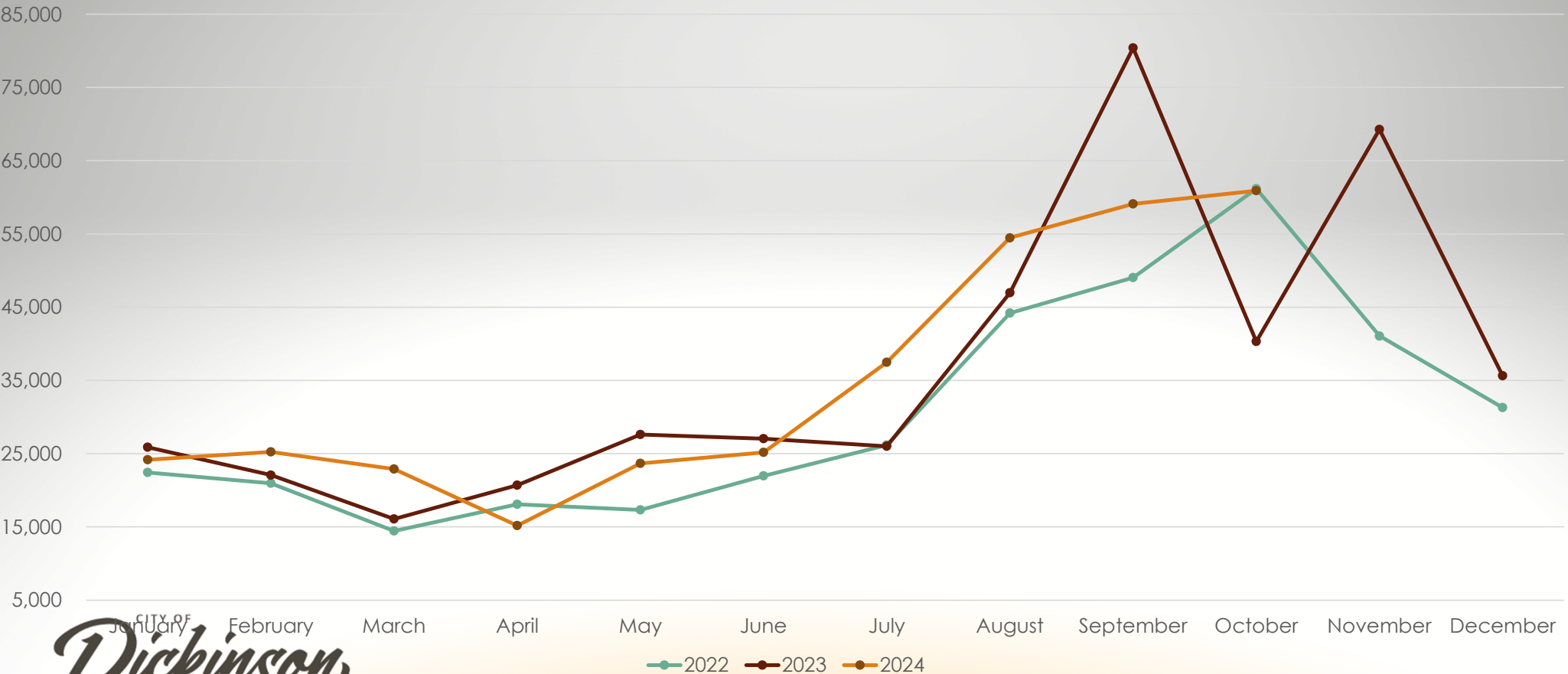
# Hospitality Tax Monthly Breakdown



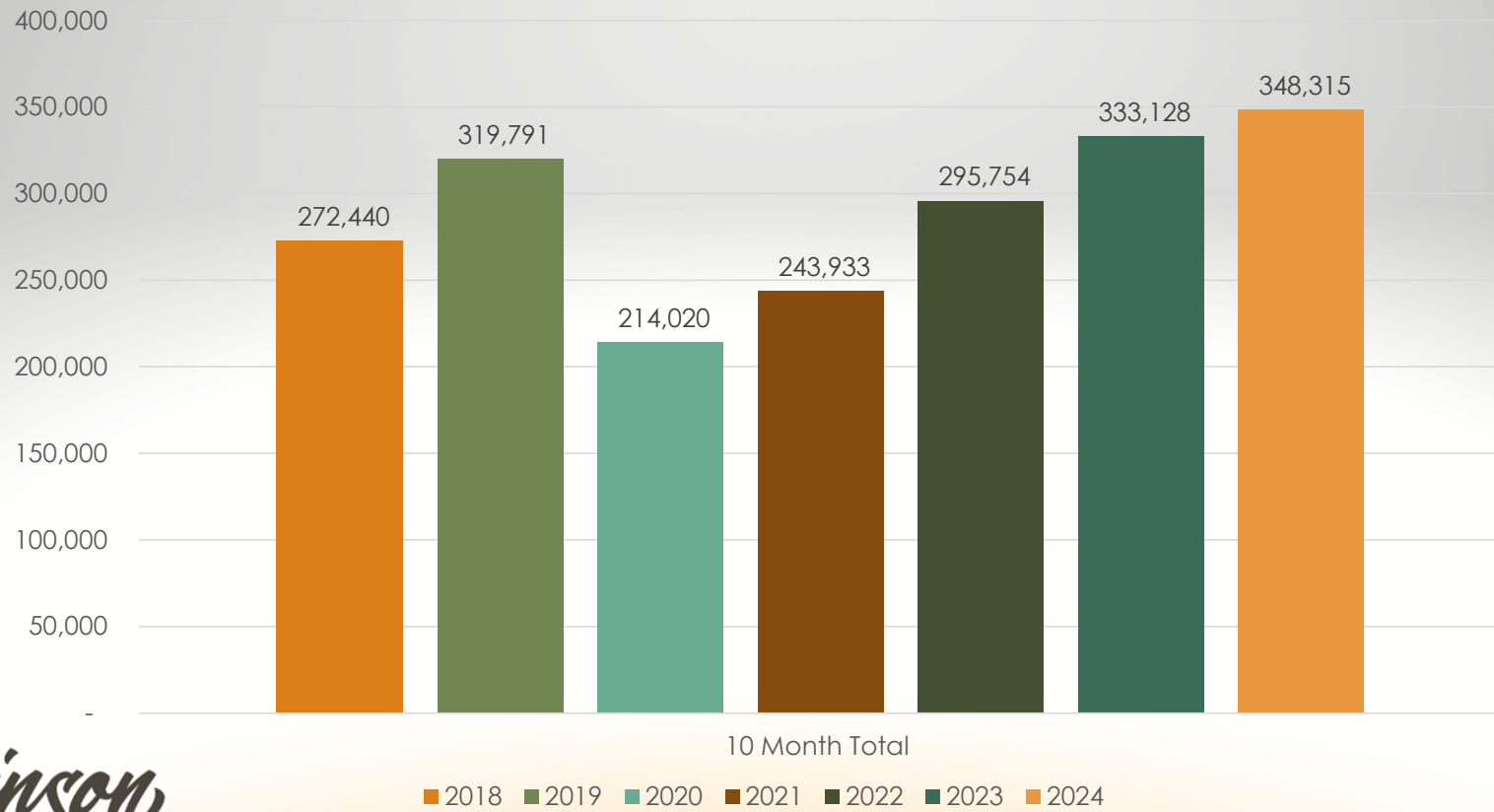
# Hospitality Tax Comparison



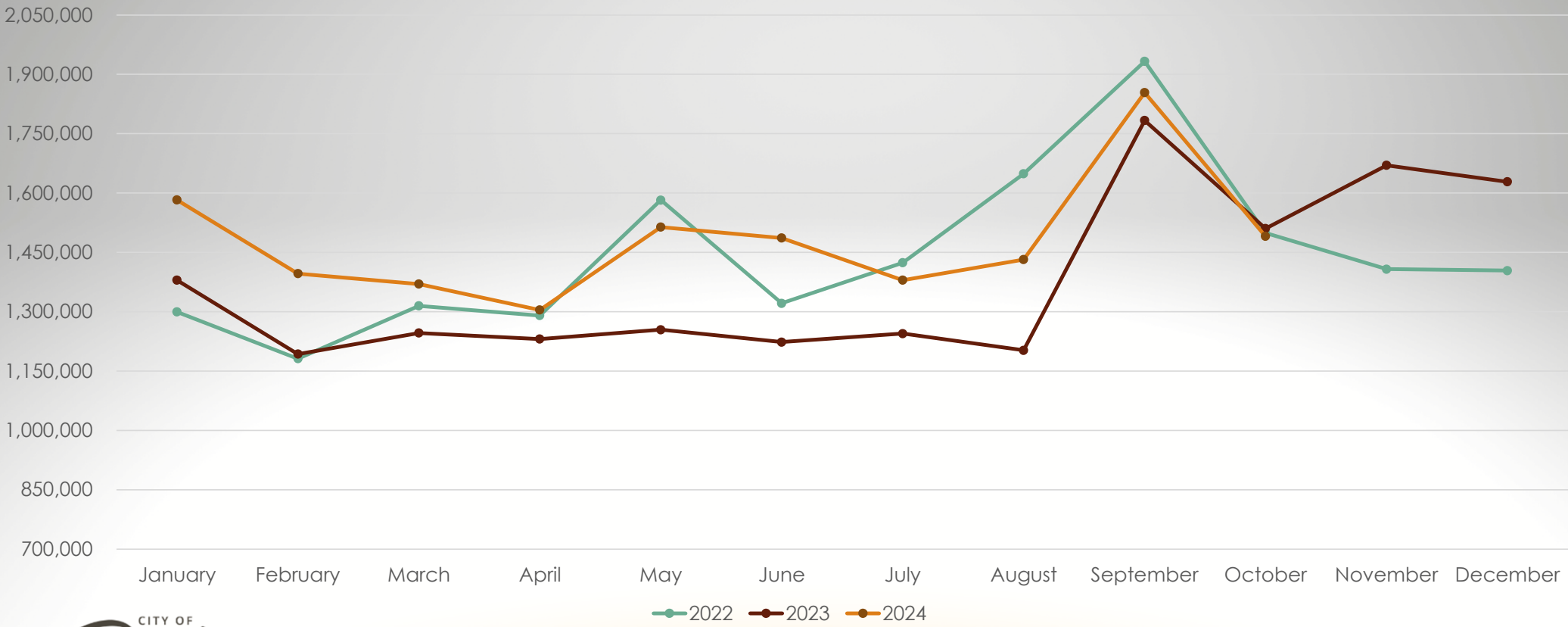
# Occupancy Tax Monthly Breakdown



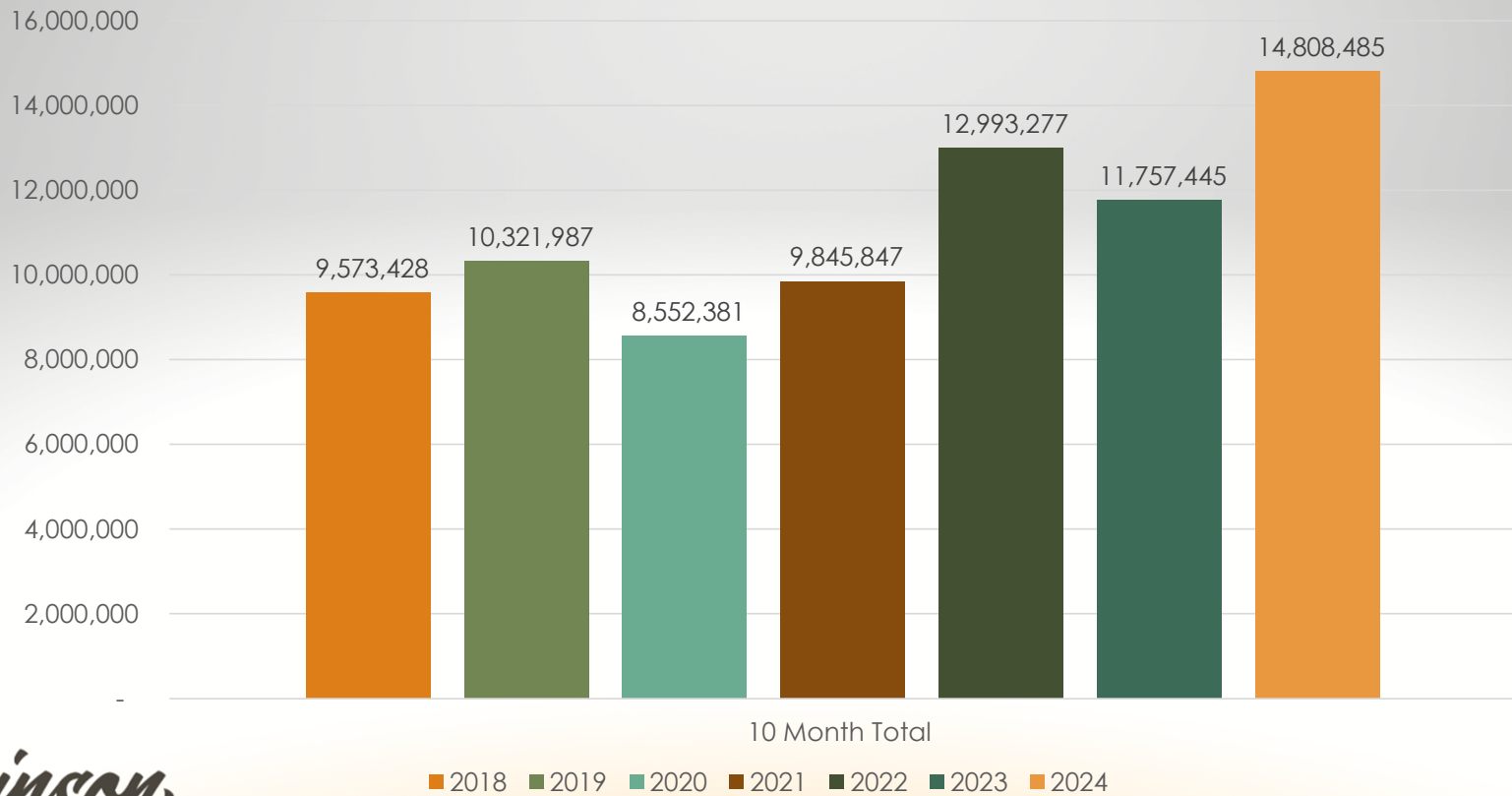
# Occupancy Tax Comparison



# Oil Impact Revenue Monthly Breakdown

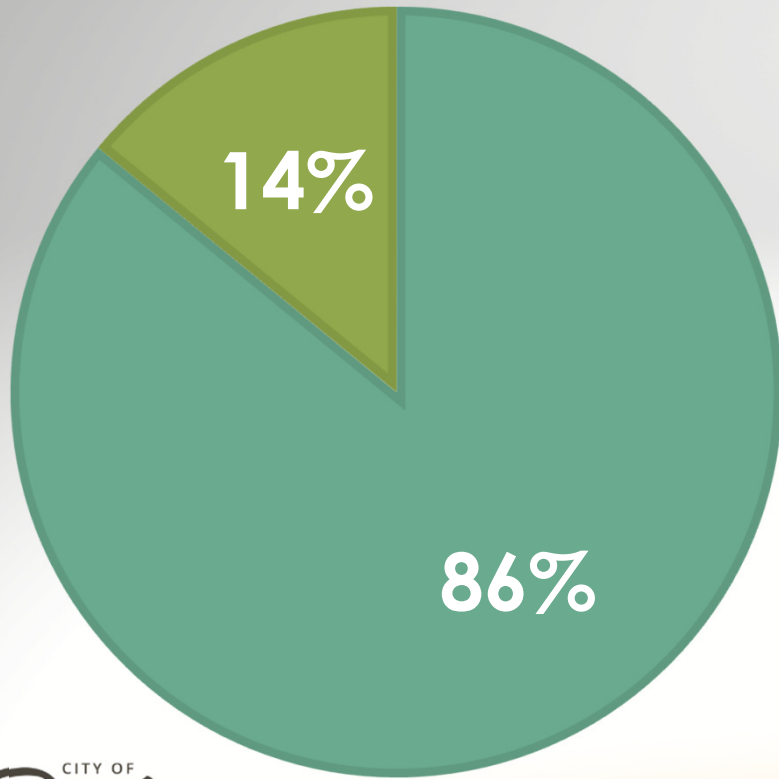


# Oil Impact Comparison



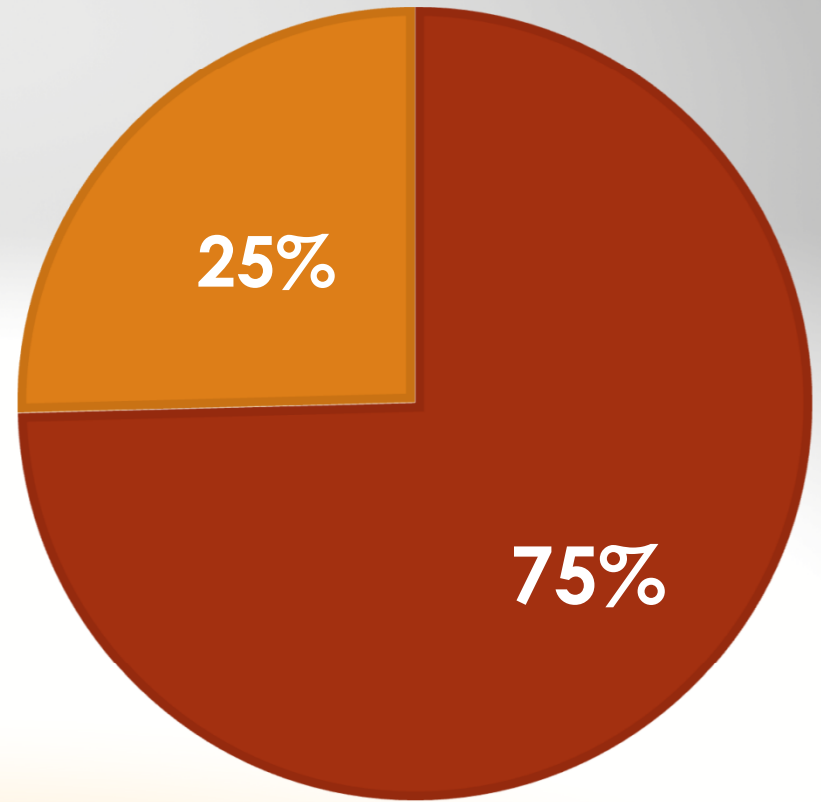
### GENERAL FUND REVENUE

■ Collected    ■ Remaining



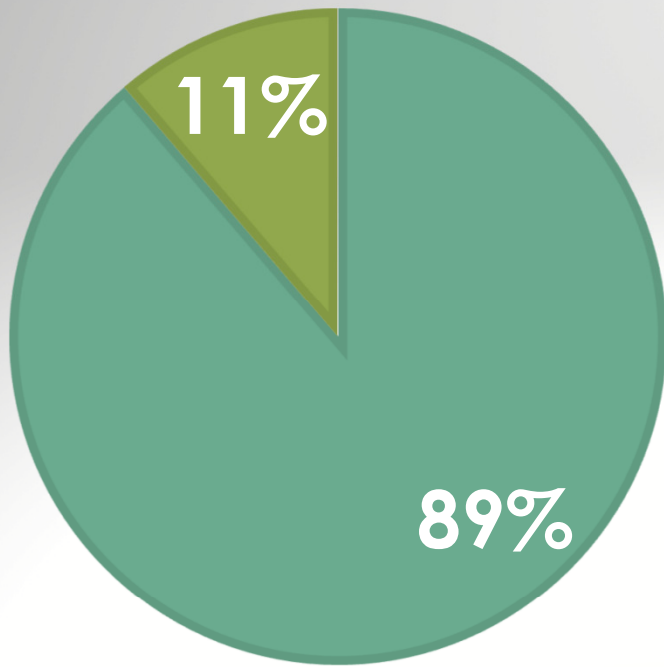
### GENERAL FUND EXPENSES

■ Expended    ■ Remaining



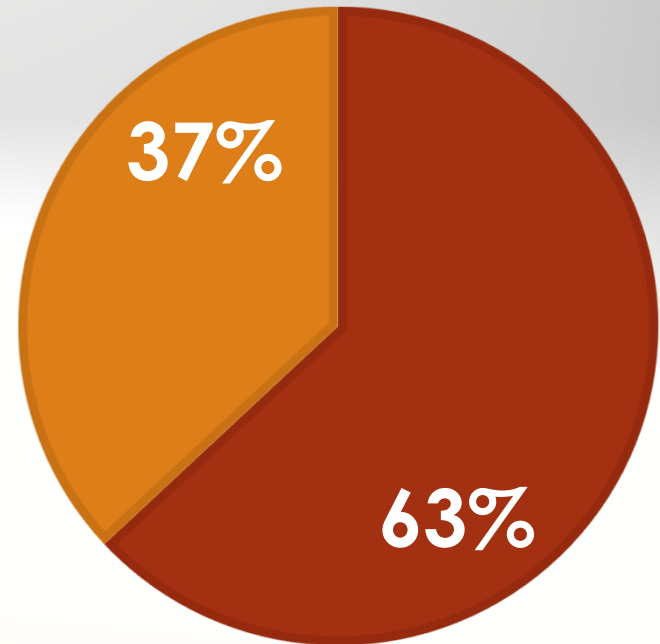
## UTILITY REVENUE

■ Collected ■ Remaining



## ENTERPRISE FUND EXPENSES

■ Expended ■ Remaining



Req #	Hiring Journal - November										Updated on 11/13/2024
	Position	Date opened:	Date closed:	# of days position is/was open	total applicants:	# of disqualified apps:	# withdrawn apps:	# of interviews:	# of declined offers:	Hired:	
397	Police Officer (4 Openings)	8/22/2024	10/6/2024	45	19		5	14	0	Hired Jaden Schmitz	
413	Police Officer	10/28/2024	11/11/2024	14							
410	Lateral Police Officer (4 Openings)	10/4/2024	Until Filled		2					Interview Stage	
405	Animal Control Officer	9/11/2024	9/25/2024	14	12	1	7	4		Hired Abigail Haller	
409	Public Safety Telecommunicator I (2 Openings)	10/1/2024	10/15/2024	14	26					Interview Stage	
393	Solid Waste Manager	7/17/2024	8/7/2024	21	7	4		3		Hired Daniel Locke	
408	Solid Waste Operator	9/25/2024	10/9/2024	14		1			1	re-open	
412	Solid Waste Operator (2 Openings)	10/30/2024	11/13/2024	14						Interview Stage	
411	Utility Operator	10/24/2024	11/7/2024	14	6					Interview Stage	
415	Water Reclamation Facility Supervisor	11/8/2024	11/29/2024	21							
347	Museum Center Volunteer - GENERAL	1/29/2024	Until Filled		2						
346	Museum Center Volunteer - HISTORY	1/29/2024	Until Filled		2		1	1			
360	Museum Center Volunteer - Paleo Collections	3/20/2024	Until Filled		4	1		2			
406	Fire Fighter/EMT (7 Openings)	9/18/2024	Until Filled		20	1	2	17	0	6 - Offer/Background Stage, Hired Bennett Ferris	
404	Fire Figher Paramedic (9 Openings)	9/10/2024	Until Filled		5	2	0	3	1	6 - Offer/Background Stage	
407	Part-Time Fire Fighter (5 Openings)	9/19/2024	10/19/2024	30	6	2	3	1	0	1 in Background - extending opening	
401	Librarian - Bookmobile & School Services	8/28/2024	10/9/2024	42	11	6	0	2	1	Hired Rebecca Needham	
402	Construction Project Manager	8/29/2024	9/28/2024	30	7	3	1	3	0	No offers - re-open	
414	Construction Project Manager	11/8/2024	12/8/2024	30							
416	Project Engineer	11/8/2024	12/8/2024	30							

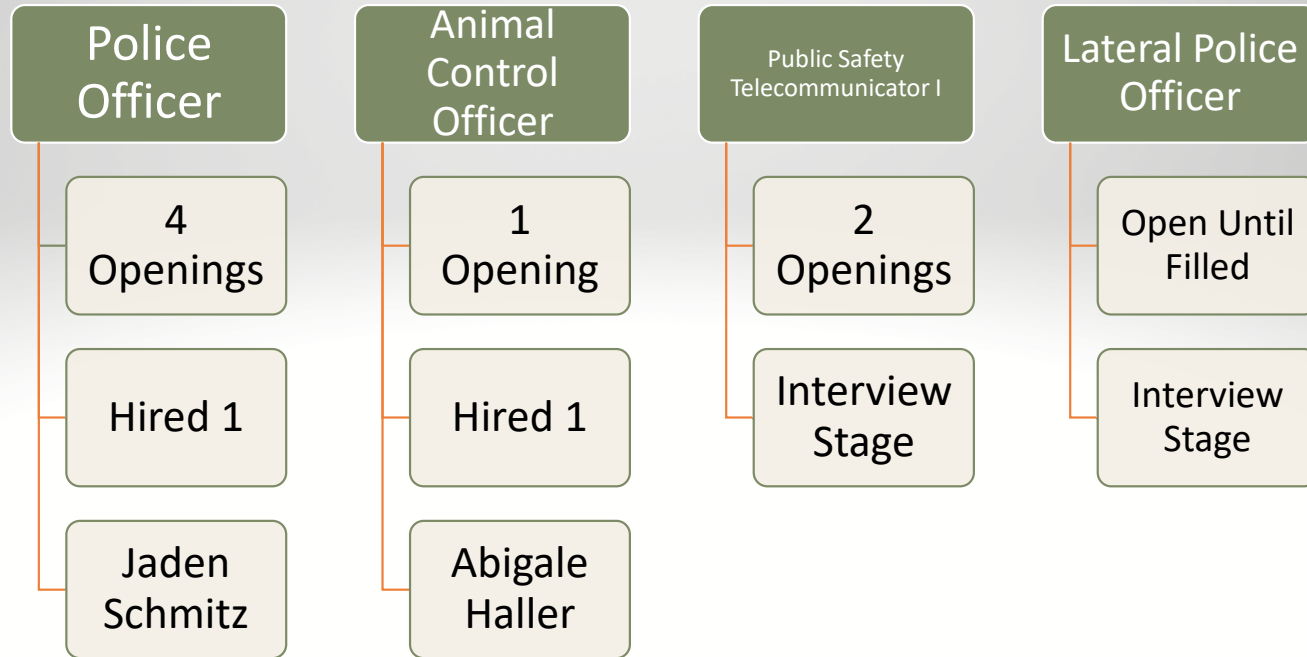
# Human Resources

## Hiring Journal

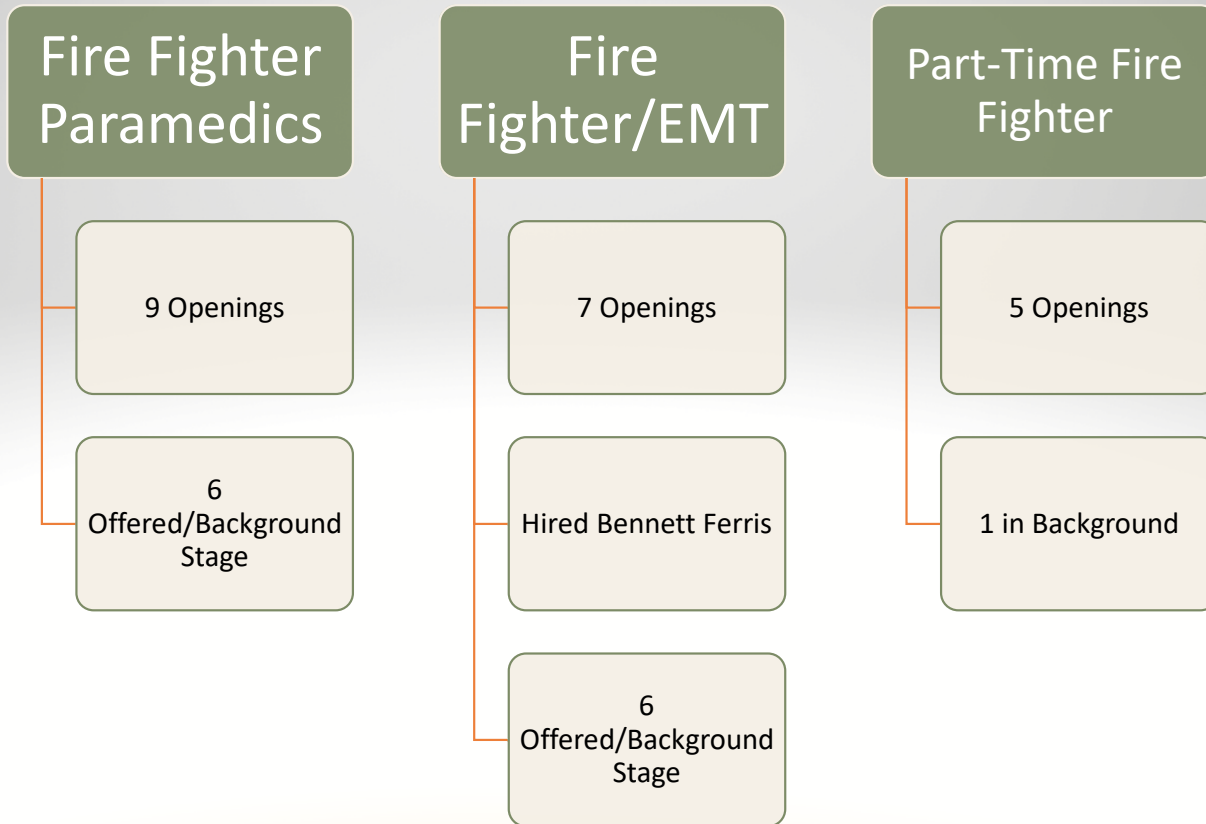
Presented by: HR Director



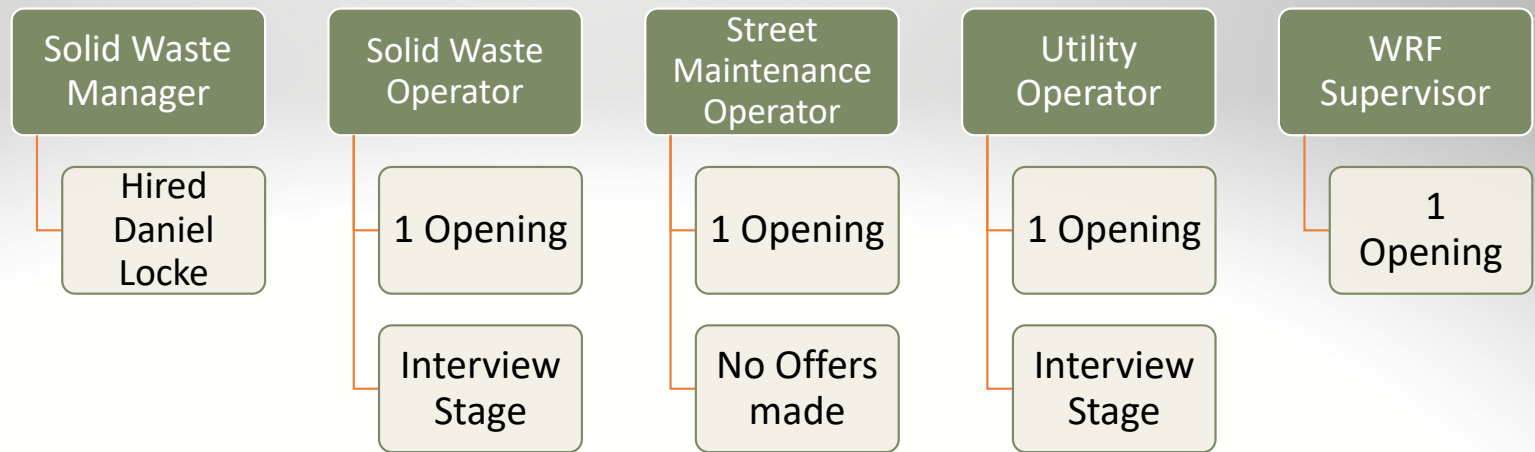
# Police Department



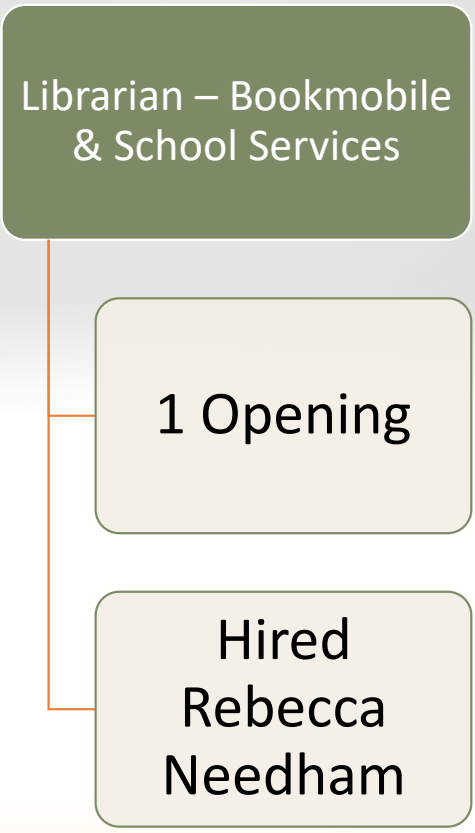
# Fire Department



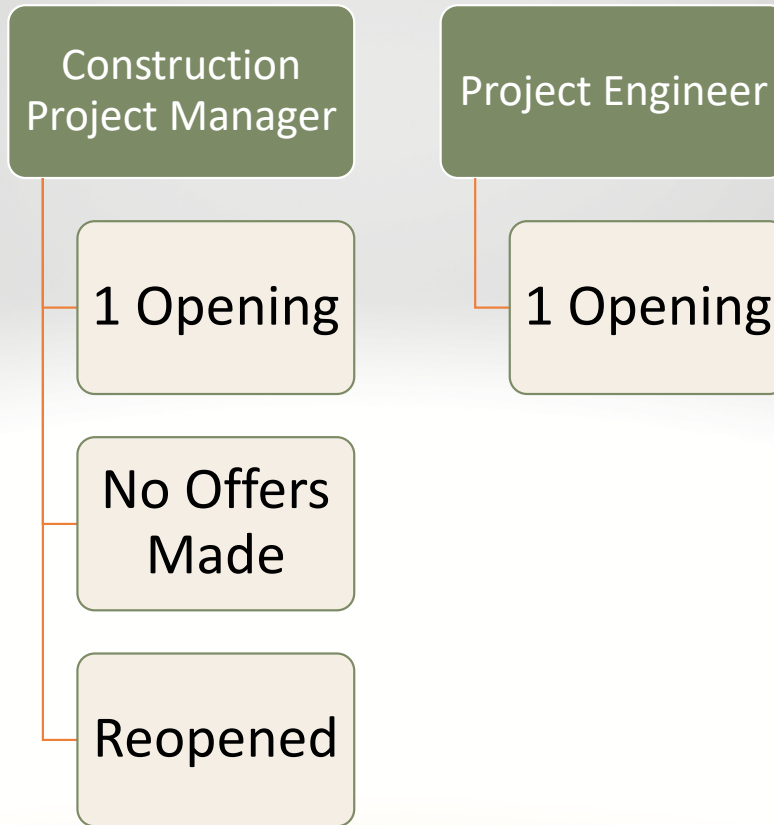
# Public Works



# Library



# Community Development /Engineering



# Questions?



# Works

2024 3<sup>rd</sup> QUARTER REPORT

# OUR SERVICES



Sewer & Stormwater



Street Maintenance



Fleet Maintenance



Buildings & Grounds



Drinking Water



Wastewater  
Treatment/Reuse  
Water



Garbage/Recycling  
Collection



Forestry



Regional Landfill

# DICKINSONWORKS July August September

**102,298**

NOTIFICATIONS  
SENT

**16,082**

SCHEDULE  
VIEWS

**19,401**

TOTAL  
REMINDERS  
CREATED

There was a surge of reminders & notifications created in September due to a technical issue

**999**

MATERIALS  
SEARCHED

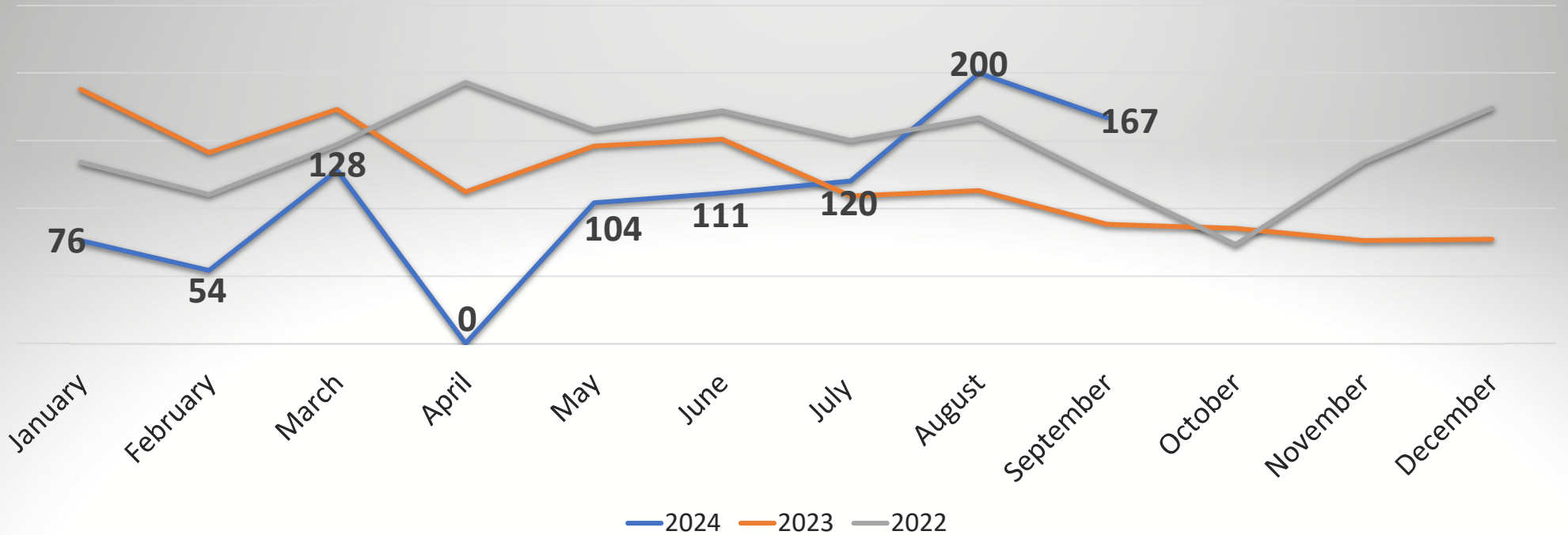
**388**

NEW REMINDERS  
CREATED



# Overview – Work Requests

## SERVICE REQUESTS BY MONTH



# Forestry – July-August-September



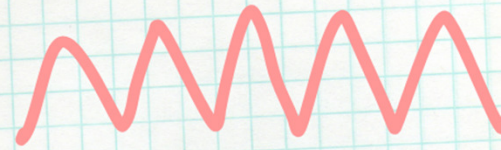
DED elm tree getting injections in an attempt to save it.



## 3RD QUARTER

- 32 PRIVATE RESIDENT'S VISITS—REMOVED 16 DED TREES
- REMOVED 25 CITY TREES & 30 STUMPS
- PLANTED 19 TREES
- TRIMMED 80 TREES IN CITY PARKS
- PARTICIPATED IN PW KID'S CAMP
- LANDSCAPE MAINTENANCE PROJECTS AT PSC, LEC, MUSEUM & LEGACY SQUARE
- RESPONDED TO 3 FALLEN TREES DUE TO WEATHER INCIDENTS
- PRESERVATION OF 2 ICONIC ELM TREES

# 3rd Quarter Buildings & Grounds



**Mowing**

Right-of-ways,  
cemeteries, drainage  
ditches & other city  
properties

1

**Weeds**

Sprayed all weeds along city  
sidewalks, and other city  
property

3

**Cemetery**

Prepped cement slabs,  
installed nameplates on  
cement slabs

5

**Reburials**

Prepped for 70 reburials  
this summer

2

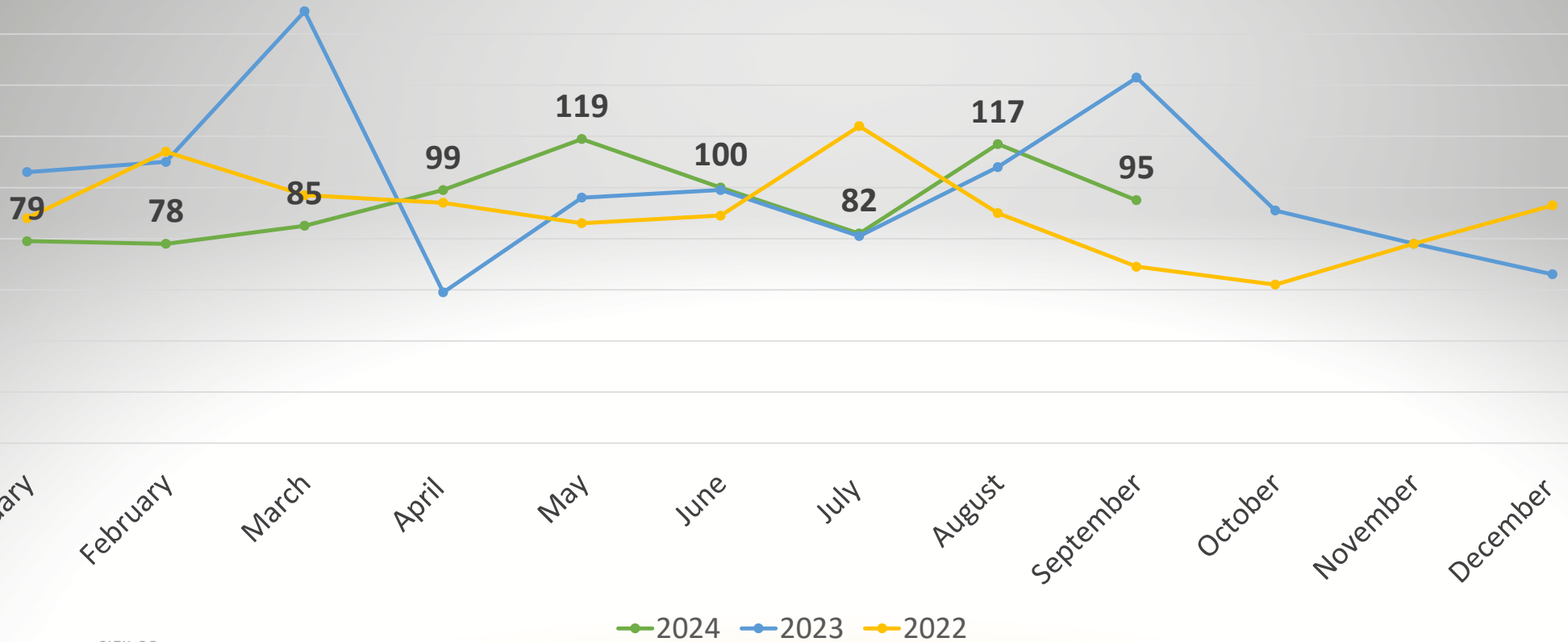
**Grass**

Prepped the reburial  
ground for grass  
seeding

4



# Fleet Work Orders



3<sup>rd</sup> Quarter total: 294

# Overview – Fleet Work Orders

SOLID WASTE

**89**

POLICE

**55**

STREET

**53**

WATER UTILITIES

**29**

B&G

**21**

FLEET

**18**

IT

**1**

MUSEUM

**7**

ENGINEERING

**3**

FORESTRY

**9**

FIRE

**7**

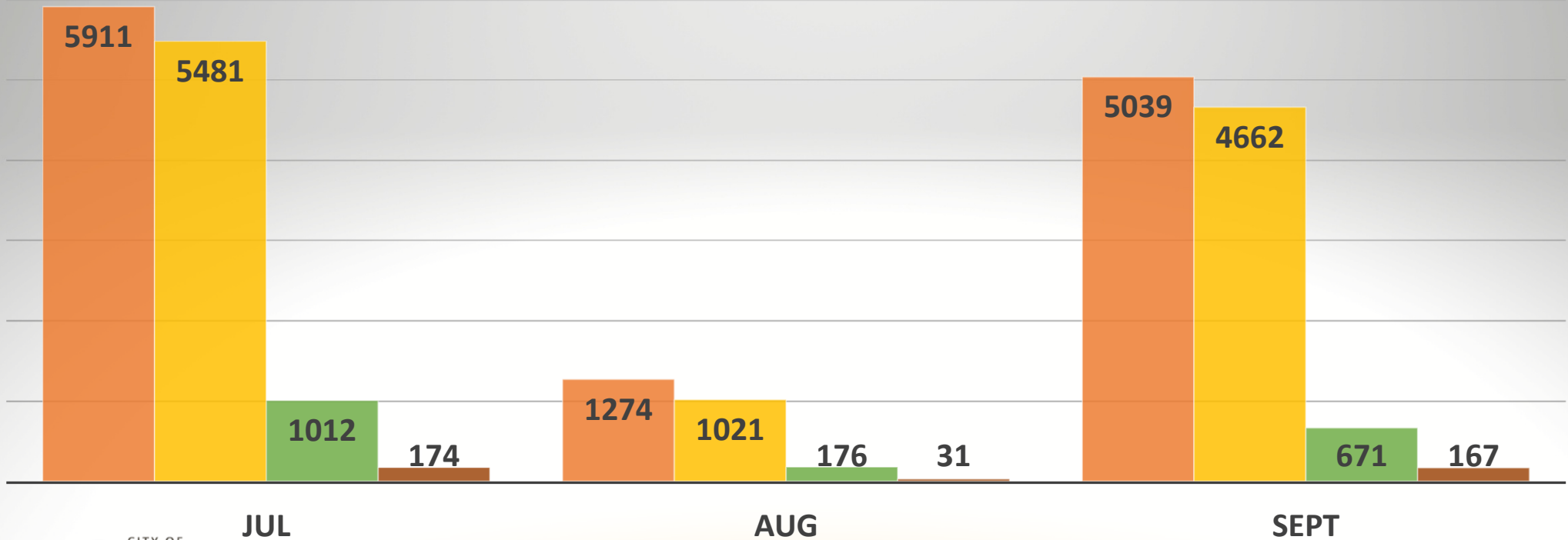
INSPECTIONS

**2**

LIBRARY

**0**

# Fuel Gallons JUL-AUG-SEP



Unleaded Diesel Dyed Diesel DEF

# Solid Waste

Pre-construction



Placing sand



New gate



1<sup>st</sup> layer on Cell



# Solid Waste

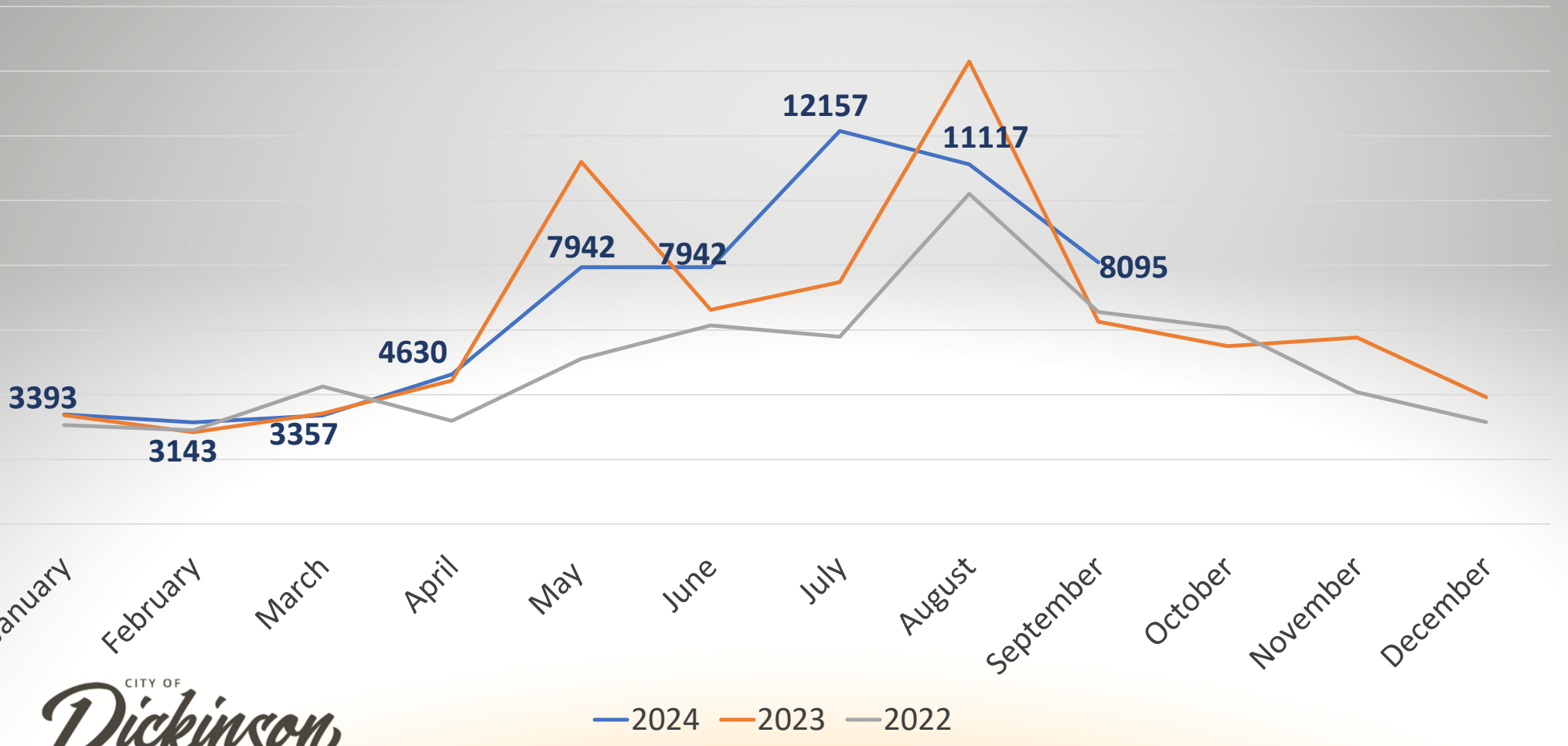


Above: Water truck spraying water on site

## QUARTER 3

- TOTAL LEACHATE  
176,200 GAL.
- STORMWATER  
USED ONSITE DURING  
CONSTRUCTION

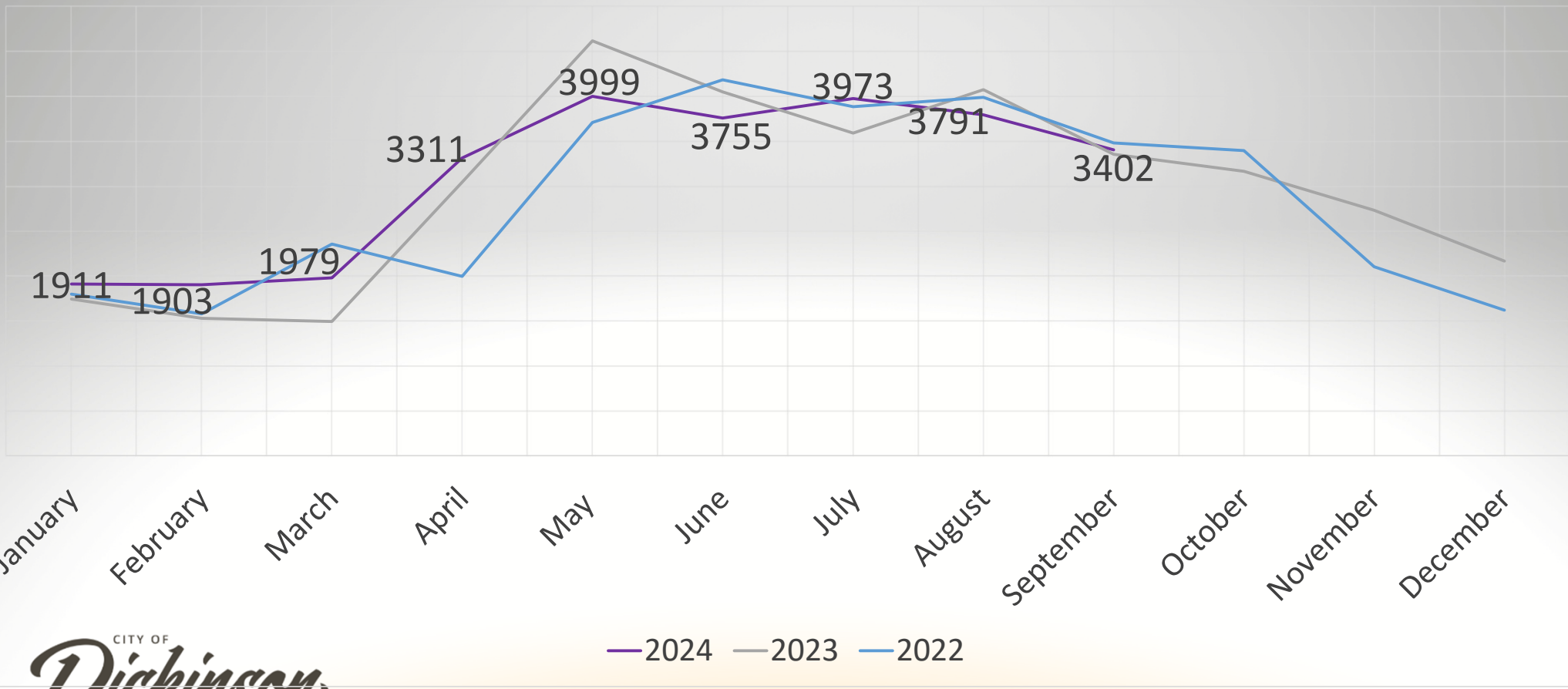
# JUL-AUG-SEP TONNAGES



— 2024 — 2023 — 2022

Total To Date: 61,776

# JUL-AUG-SEP Scale Transactions



Total To Date: 28,024

# Solid Waste



Waiting in line



Baler fire in Sept.  
FD was needed to  
extinguish the fire

# Street Dept.

JUL-AUG-SEP

ROCK	438.58 TONS
OIL	24,428.95 GALLONS
SWEEPINGS	1,470.3 YARDS



Maintenance on the  
Dura-patcher

# Water Utilities

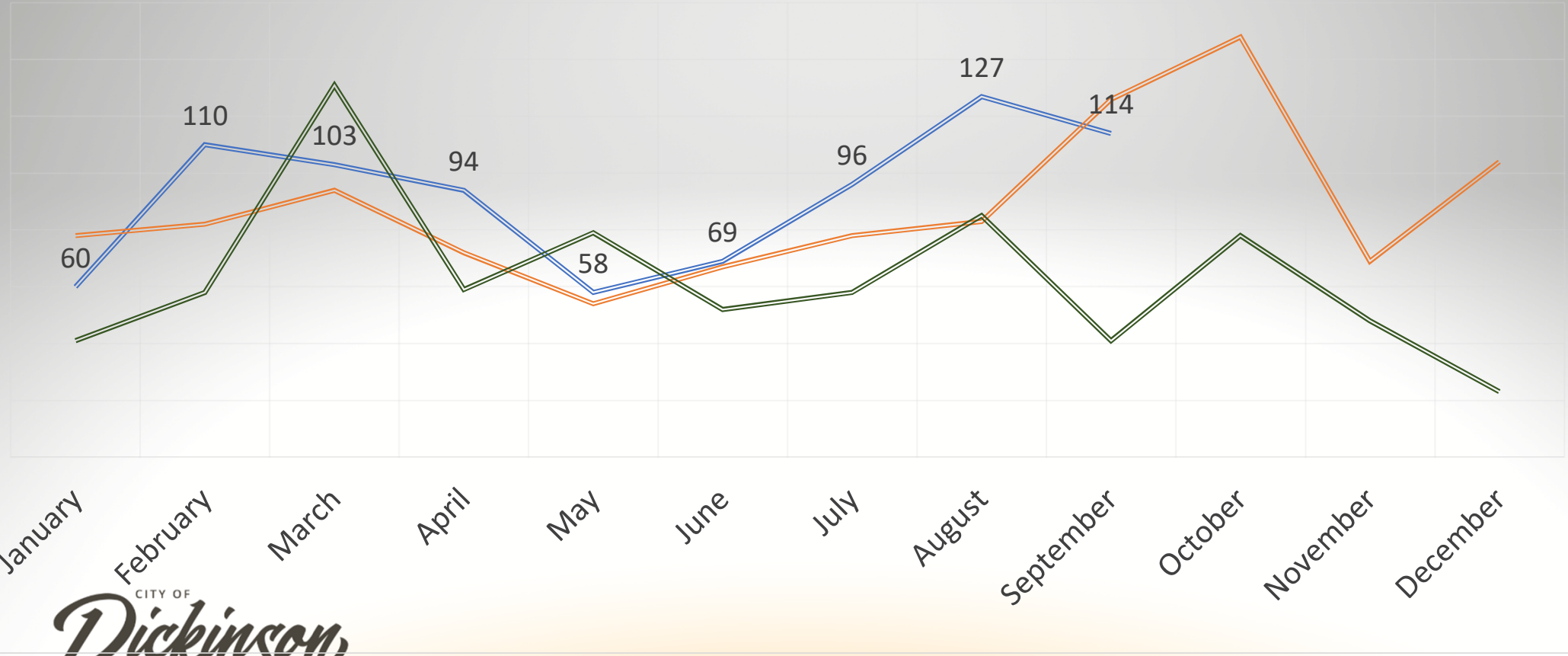


## 3rd Quarter

- UPGRADED 147 REGISTERS
- UPGRADED 27 LARGE METERS
- 3 PUMP PULLS
- INSTALLED 385 HP PUMP AT INFLUENT PUMPING STATION

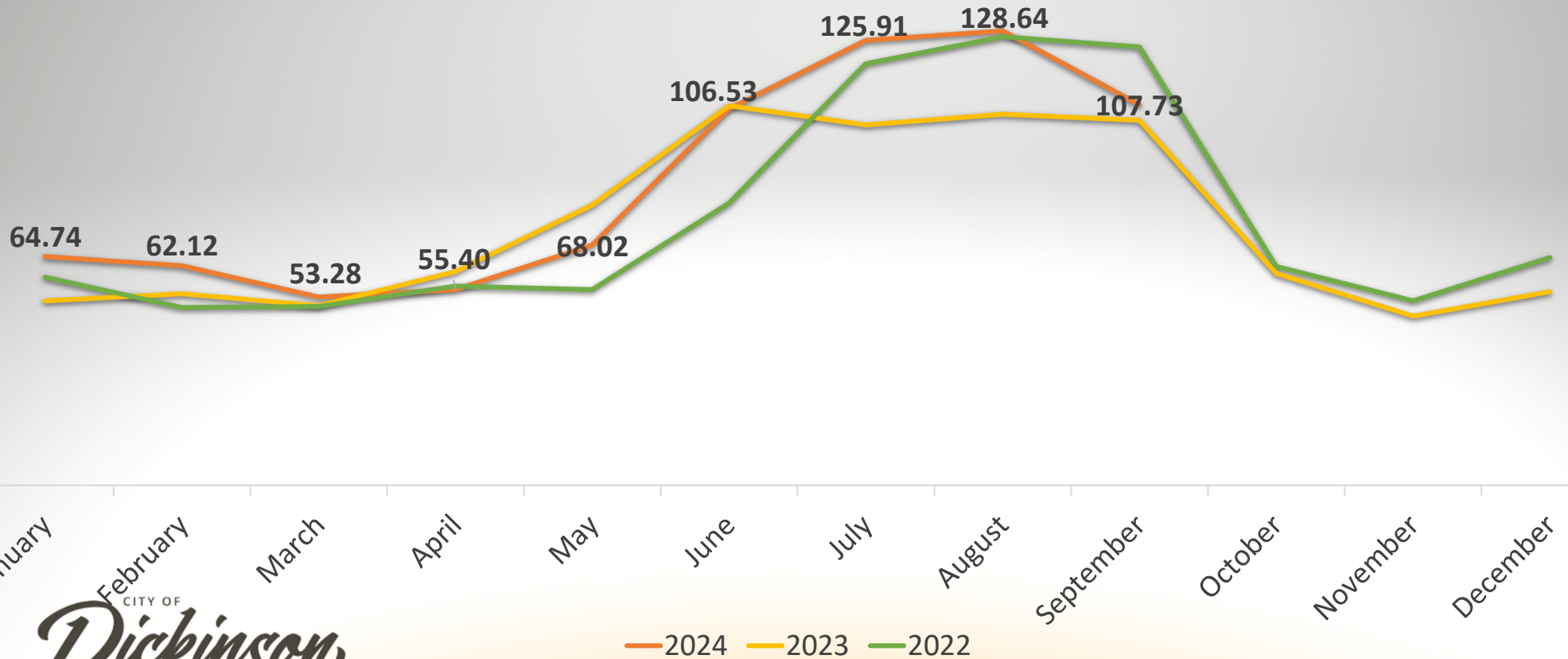
# UTILITY BILLING WORK ORDERS

— 2024 — 2023 — 2022



Year to Date Total: 831

# SOUTHWEST WATER AUTHORITY



— 2024 — 2023 — 2022

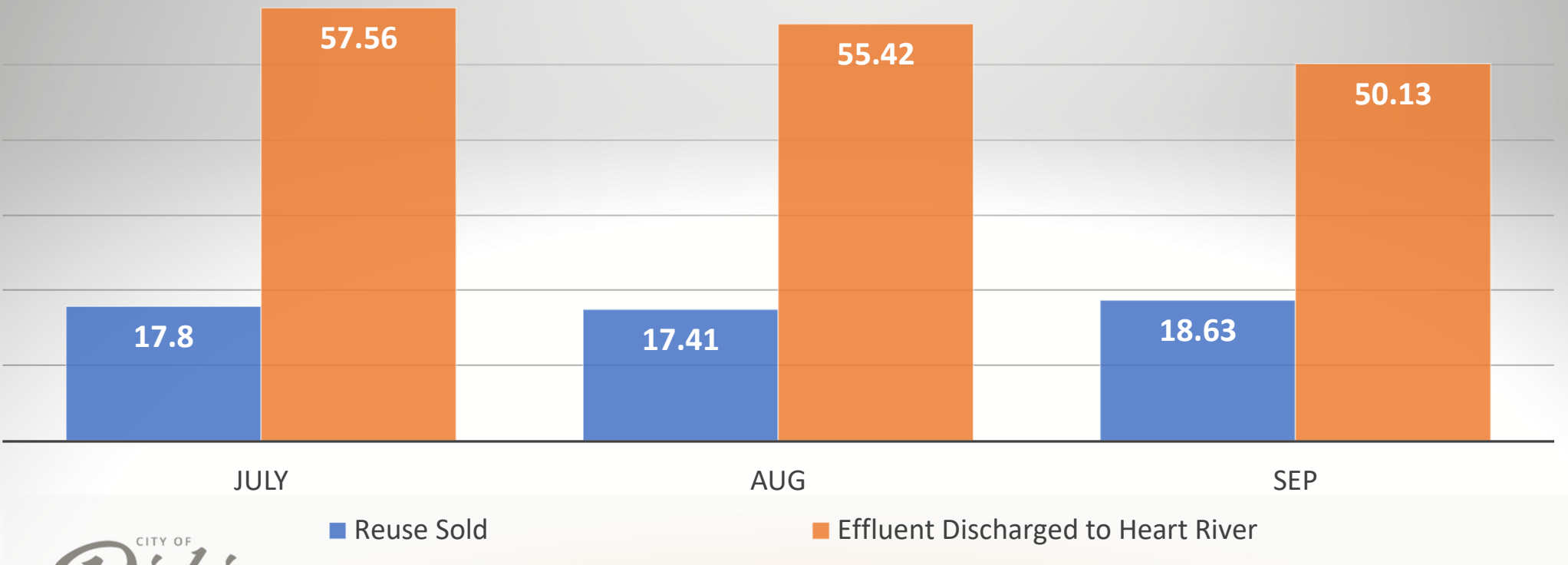
Year to date: 772.37

# Stormwater maintenance

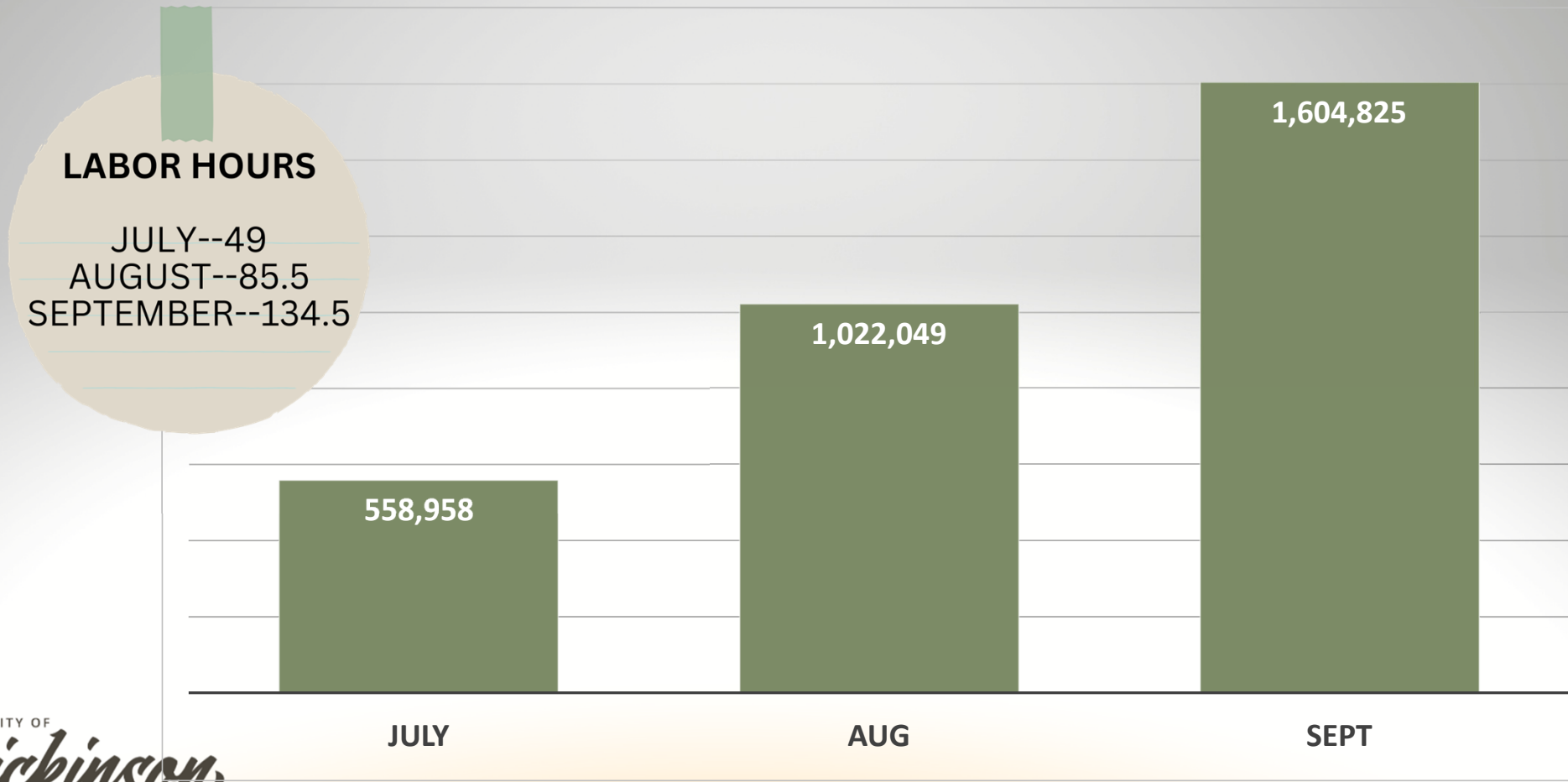


Drainage ditch debris was removal on 8<sup>th</sup> Ave. E.

# Water Reclamation Facility (MG)



# LAND APPLIED SLUDGE (GAL)



# Water Reclamation Facility

Full rebuild of membrane thickener (MBT) which thickens biosolids for storage and removal.



Careers in Government toured the  
Water Reclamation Facility on September 9<sup>th</sup>.



# Water Service Line Inventory

- U.S. EPA Lead and Copper Rules required a comprehensive service line inventory submitted by October 16, 2024.
  - Out of 8289 service lines, 160 lead service lines, 2 unknown
- Notification of confirmed lead service line required within 30 days of submittal of initial service line inventory.
  - Notification mailed on November 8, 2024. Multi-business/family units were hand-delivered.
- U.S. EPA announced on October 8, 2024 that all lead service lines must be replaced within 10 years.
  - The City of Dickinson has a replacement plan for years 2025-2029.



# Notification of Confirmed Lead Service Line

Direct all inquiries to:  
Public Works  
(701) 456-7979  
Leah Upchurch  
Environmental Compliance Specialist



# New Faces at Public Works

Jake Waldo  
Deputy Public Works Director



Chad Tormaschy  
Fleet Supervisor



Daniel Locke  
Solid Waste Manager



Erica Garcia  
SW Scale



Collin Pietrowski  
Street Operator



Jordan Struck  
SW Operator



Dustin Schmidt  
SW Operator



# Public Outreach

PUBLIC WORKS KID'S  
CAMP  
AUGUST 12TH-16TH



COMPOST WORKSHOP  
W/BLAKE JOHNSON  
AUGUST 24TH



COMPOST WORKSHOP  
W/PENNY NESTER  
SEPTEMBER 14TH



CAREERS IN  
GOVERNMENT  
SEPTEMBER 16TH



BAC ELEMENTARY  
CAREER DAY  
SEPTEMBER 27TH



**QUESTIONS?**



# DICKINSON POLICE DEPARTMENT

Chief Joseph R. Cianni

Section 6. Item A.

2475 State Avenue North  
Dickinson, ND 58601

701.456.7759

www.dickinsonpd.com

November 14h, 2024

Ref: Alcohol/Tobacco Compliance Checks

President Decker and Commissioners,

## Tobacco Compliance Checks

On October 29th tobacco compliance checks of 15 businesses were conducted utilizing a 17yoa female volunteer. The following business failed the compliance check and sold tobacco products to the minor volunteer:

- **VAPES** (927 W. Villard)- **2nd Violation**, \$1k+(2) Days Suspension
  - Previous Compliance Check Failures: 03/2022; 07/22/2023
- **THE PIT STOP** (386 21st St. West)- **2nd Violation**, \$1k+(2) Days Suspension
  - Previous Compliance Check Failures: 12/19/2023
- **LUCKY'S XPRESS** (450 12th ST. West)- **1st Violation**, \$500
- **THE HUB/WEST DAKOTA OIL** (450 E. Villard)- **1st Violation**, \$500
- **LOAF N JUG** (797 S. Main)- **1st Violation**, \$500

\*In accordance with Dickinson Municipal Code Section 25.06.040-2(B), following a 2-year violation matrix, the violation occurring on October 29th at VAPES and THE PIT STOP constitutes their second tobacco violation. A second violation of this nature dictates a fine of \$1,000 and suspension of their tobacco license for a minimum of (2) Days be imposed. This failure by the remaining business constitutes a first violation dictating a \$500 fine be imposed.

*25..06.040-2(B): For a violation of Section 25.06.030 by a Retail tobacco dealer: 1) First offense, a fine of \$500.00 2) Second offense within two years, a fine of \$1,000.00 and suspension of license of no less than two (2) days. 3) Third and subsequent offenses within two years, a fine of \$2,000.00 and suspension of license for no less than four (4) days or revocation of license.*

## Alcohol Compliance Checks

On November 6th alcohol compliance checks of 10 businesses were conducted utilizing a 17yoa female volunteer. The following businesses failed the compliance check and served the minor volunteer:

- **BLUE 42** (36 W. Villard)- **1st Violation**
  - Previous Compliance Check Failures: 02/28/2022
- **NEIGHBORS** (745 N. State Ave)- **1st Violation**
- **SOUTHSIDE SALOON** (43 E. Broadway)- **1st Violation**

\*In accordance with Dickinson Municipal Code Section 4.08.240-C(1), following the 18-month matrix, the violations occurring on November 6th constituted a first alcohol offense for all the involved businesses. A first offense dictates a written warning or a written warning and a \$1,000 fine depending on the server training status of the involved employee.

*4.08.240: 1) First Offense: (i) If the agent or employee of the licensee possesses a server training certificate card, or is within the 90-day grace period referenced in subsection (b), above, at the time of the violation by said agent or employee, the licensee will receive a written warning. (ii) If the agent or employee of the licensee does not possess a server training certificate card at the time of the violation by said agent or employee, the licensee will receive a written warning and a \$1,000.00 administrative penalty. 2) Second Offense: \$2,000 administrative penalty. 3) Third Offense: \$5,000 administrative penalty. 4) Fourth Offense: Upon a fourth offense, the License Holder shall appear before the Commission for a determination of penalty which may include monetary fines of at least \$5,000, suspension of the license for a period of days to be determined by the Commission, or revocation of license. The level of offenses shall be determined by reference to an 18-month period from the first offense by the licensee. By way of illustration, a second offense occurring more than 18 months after a first offense would then be deemed a first offense. Any offenses occurring prior to the effective date of this ordinance (April 18, 2005 - Ordinance No. 1296) shall not be considered an offense for purposes of this Section.*

Notice of violation letters describing sanctions/fines will be sent out to all businesses who failed compliance checks following the November 19th commission meeting.

Thank You!



Chief Joe Cianni



## Engineering Memorandum

November 14, 2024

RE: November 9, 2024 Commission Meeting

### **9<sup>th</sup> St W & 5<sup>th</sup> Ave W Intersection Design Amendment - 202418 – SRF Consulting**

For your consideration is a contract to perform design services for the intersection located at 9<sup>th</sup> St W & 5<sup>th</sup> Ave W. The project bid includes developing a final design and plans. Activity includes public involvement, environmental documentation, ROW validation, with additional services. A modified intersection will improve safety and mobility for vehicular and pedestrian traffic. The service contract for the amendment is for **\$215,223** on a Time & Material, Not-to-Exceed basis. The project is the 2024/2025 budget and the revenue is from the Gross Production Tax (GPT). Full project buildout budget is anticipated to be from the Federal Highway Safety Improvement Program.

The City Attorney is reviewing the contract.

The City Engineering staff recommend approving this contract pending legal review.





LETTER PROPOSAL AMENDMENT NO. 1

This Amendment No. 1 ("Amendment"), effective as of November \_\_\_\_, 2024 ("Effective Date"), is made and entered into by and between the City of Dickinson ("Client") and SRF Consulting Group, Inc. ("SRF"). The Client and SRF are each a "Party" and are collectively the "Parties."

RECITALS

Client and SRF entered into a letter proposal dated February 27, 2024 ("Letter Proposal") for the primary purpose of providing professional services for the Project #202418: 9th St. W & 5th Ave W Intersection Project (the "Project").

Client and SRF now desire to amend the Letter Proposal to add additional Services.

Therefore, for the consideration hereinafter set forth and other good and valuable consideration, the receipt and sufficiency of which the Parties hereto by their signatures below affirm, the Parties do mutually agree as follows:

- 1. All Services provided by SRF prior to or on the Effective Date of this Amendment remain subject to the provisions of the Letter Proposal including but not limited to Attachment A, Standard Terms and Conditions.
2. All Services provided by SRF after the Effective Date of this Amendment are not subject to the Letter Proposal including but not limited to Attachment A, Standard Terms and Conditions, but instead, shall be subject to this Amendment and the Terms and Conditions set forth in Attachment C.
3. The total obligation of the Client for all compensation and reimbursement to SRF under the Letter Proposal is \$42,985.23, in accordance with Attachment A. The total obligation of the Client for all compensation and reimbursement to SRF under this Amendment is \$215,222.68, in accordance with Attachment E. Reimbursement of costs under this Agreement will be based on actual costs.
4. The following documents are attached and incorporated herein by this reference:

Table with 3 columns: Attachment, Title, Applies to. Rows include Attachment A (Standard Terms and Conditions), Attachment B (Scope of Services), Attachment C (Terms and Conditions), Attachment D (Title VI Assurances), Attachment E (Scope of Services - 2), and Attachment F (Client's Invoicing Policy).

- 5. Each Party agrees that the electronic signature of the Parties included in this Agreement are intended to authenticate this writing and to have the same force and effect as wet ink signatures.

In Witness Whereof, the Parties hereto have caused this Agreement to be executed in their behalf.

The City of Dickinson

SRF Consulting Group, Inc.

Signed:

Signed: [Signature]

Title:

Title: Chief Financial Officer

Date:

Date: 11-14-2024

**STANDARD TERMS AND CONDITIONS**

The Standard Terms and Conditions together with the attached Proposal for Professional Services constitute the entire Agreement between the CLIENT and SRF Consulting Group, Inc. ("SRF") and supersede all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

**1. STANDARD OF CARE**

- a. The standard of care for all professional services performed or furnished by SRF under this Agreement will be the care and skill ordinarily used in the profession practicing under similar circumstances. SRF makes no warranties, expressed or implied, under the Agreement or otherwise, in connection with SRF's service.
- b. The CLIENT shall be responsible for, and SRF may rely upon, the accuracy and completeness of all requirements, programs, instructions, reports, data, and other information furnished by CLIENT to SRF pursuant to this Agreement. SRF may use such requirements, reports, data, and information in performing or furnishing services under this Agreement.

**2. INDEPENDENT CONTRACTOR**

All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of the CLIENT and SRF and not for the benefit of any other party. Nothing contained in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party against either the CLIENT or SRF. SRF's services under this Agreement are being performed solely for the CLIENT's benefit, and no other entity shall have any claims against SRF because of this Agreement or the performance or nonperformance of services hereunder.

**3. PAYMENT TO SRF**

Invoices will be prepared in accordance with SRF's standard invoicing practices and will be submitted to the CLIENT by SRF monthly, unless otherwise agreed. Invoices are due and payable within thirty-five (35) days of receipt. If the CLIENT fails to make any payment due SRF for services and expenses within forty-five (45) days after receipt of SRF's invoice thereafter, the amounts due SRF will be increased at the rate of 1-1/2% per month (or the maximum rate of interest permitted by law, if less). In addition, SRF may, after giving seven days written notice to the CLIENT, suspend services under this Agreement until SRF has been paid in full of amounts due for services, expenses, and other related charges.

**4. OPINION OF PROBABLE CONSTRUCTION COST**

Any opinions of costs prepared by SRF represent its judgment as a design professional and are furnished for the general guidance of the CLIENT. Since SRF has no control over the cost of labor, materials, market condition, or competitive bidding, SRF does not guarantee the accuracy of such cost opinions as compared to contractor or supplier bids or actual cost to the CLIENT.

**5. INSURANCE**

SRF will maintain insurance coverage for Workers' Compensation, General Liability, Automobile Liability and Professional Liability and will provide certificates of insurance to the CLIENT upon request.

**6. INDEMNIFICATION AND ALLOCATION OF RISK**

To the fullest extent permitted by law, SRF agrees to indemnify and hold harmless the CLIENT, their officers, directors and employees against all damages, liabilities or costs (including reasonable attorneys' fees and defense costs) to the extent caused by SRF's negligent acts under this Agreement and that of its subconsultants or anyone for whom SRF is legally liable.

**7. TERMINATION OF AGREEMENT**

Either party may at any time, upon seven days prior written notice to the other party, terminate this Agreement. Upon such termination, the CLIENT shall pay to SRF all amounts owing to SRF under this Agreement, for all work performed up to the effective date of termination.

**8. OWNERSHIP AND REUSE OF DOCUMENTS**

All documents prepared or furnished by SRF pursuant to this Agreement are instruments of service, and SRF shall retain an ownership and property interest therein. Reuse of any such documents by the CLIENT shall be at CLIENT's sole risk; and the CLIENT agrees to indemnify, and hold SRF harmless from all claims, damages, and expenses including attorney's fees arising out of such reuse of documents by the CLIENT or by others acting through the CLIENT.

**9. FORCE MAJEURE**

SRF shall not be liable for any loss or damage due to failure or delay in rendering any service called for under this Agreement resulting from any cause beyond SRF's reasonable control.

**10. ASSIGNMENT**

Neither party shall assign its rights, interests or obligations under this Agreement without the express written consent of the other party.

11. BINDING EFFECT

This Agreement shall bind, and the benefits thereof shall inure to the respective parties hereto, their legal representatives, executors, administrators, successors, and assigns.

12. SEVERABILITY AND WAIVER OF PROVISIONS

Any provisions or part of the Agreement held to be void or unenforceable under any laws or regulations shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon the CLIENT and SRF, who agree that the Agreement shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision. Non-enforcement of any provision by either party shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.

13. SURVIVAL

All provisions of this Agreement regarding Ownership of Documents and Reuse of Documents, Electronic Media provisions, Indemnification and Allocation of Risk, and Dispute Resolution shall remain in effect.

14. DISPUTE RESOLUTION

CLIENT and SRF agree to use their best efforts to resolve amicably any dispute. In the event that a dispute cannot be resolved, the parties may seek any available remedies under North Dakota law.

15. CONTROLLING LAW

The laws of the state of North Dakota govern this Agreement. Legal proceedings, if any, shall be brought in a court of competent jurisdiction in the county where the Project is located.

16. SITE SAFETY

SRF shall not at any time supervise, direct, control or have authority over or charge of, nor be responsible for, the construction means, methods, techniques, sequences or procedures, or for safety and security precautions and programs in connection with the work performed by any Contractor for the Project, nor for any failure of any Contractor to comply with laws and regulations applicable to such Contractor's work, since these are solely the Contractor's rights and responsibilities. SRF shall not be responsible for the acts or omissions of any Contractor or Owner, or any of their agents or employees, or of any other persons (except SRF's own employees and consultants), furnishing or performing any work for the Project, except as specifically outlined in SRF's scope of services.

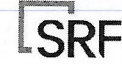
# ATTACHMENT B

SRF Consulting Group, Inc.

Work Tasks and Person-Hour Estimates

Client: City of Dickinson

Project: Project # 202418 9th Street West & 5th Avenue West Intersection



17220,PP

Subconsultants:

TASK NO.	SUMMARY OF TASKS
1.0	Project Management
2.0	Preliminary Design
3.0	Public Involvement
4.0	Traffic Operations

Project Overview:

9th St. W. and 5th Ave. W. Intersection is an offset intersection with none of the legs aligning which making it difficult to navigate during slippery conditions. This project consists of concept alternatives and a traffic operations report to determine corrective measures to improve safety and mobility to all users.

SRF Consulting Group, Inc.

Work Tasks and Person-Hour Estimates

Client: City of Dickinson  
 Project: Project # 202418 9th Street West & 5th Avenue West Intersection



17220.PP

Subconsultants: 0

TASK NO.	TASK DESCRIPTION	PROF. VIII/VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
1.0	<b>Project Management</b> <u>Assumptions:</u> All meetings will be conducted virtually											
1.1	Project Setup	-	10	-	-	-	-	-	-	10	20	\$3,349.04
1.2	Task 1 - General Day-to-Day Project Management and Administration (24 Weeks)	2	36	-	-	-	-	-	-	6	44	\$8,226.45
1.3	Meetings (1 half hour meeting per month with half hour of prep)	-	6	-	6	-	-	-	-	-	12	\$2,119.03
	<b>SUBTOTAL - TASK 1</b>	<b>2</b>	<b>52</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>16</b>	<b>76</b>	<b>\$13,694.52</b>
2.0	<b>Preliminary Design</b> <u>Assumptions:</u> Assumes 3 concept alternatives at 9th and 5th with concept level estimates											
2.1	Preliminary Concepts	-	12	-	48	-	-	-	6	-	66	\$10,942.22
	<b>SUBTOTAL - TASK 2</b>	<b>0</b>	<b>12</b>	<b>0</b>	<b>48</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>66</b>	<b>\$10,942.22</b>
3.0	<b>Public Involvement</b> <u>Assumptions:</u> Field walk would include Jerad D and Ryan S Public Involvement would include up to 2 landowner discussion on the proposed alternatives											
3.1	Field Walk	-	8	-	8	-	-	-	-	-	16	\$2,825.37
3.2	Public Involvement (2 separate meetings)	-	16	-	16	-	-	-	-	-	32	\$5,650.74
	<b>SUBTOTAL - TASK 3</b>	<b>0</b>	<b>24</b>	<b>0</b>	<b>24</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>48</b>	<b>\$8,476.11</b>
4.0	<b>Traffic Operations</b> <u>Assumptions:</u> Utilize Synchro/SimTraffic											
4.1	Collect 13 hour intersection turning movement counts on a weekday at the intersection.	-	-	-	-	-	12	-	-	-	12	\$1,534.47
4.2	Complete a crash analysis at the intersection for the last 5 years	-	1	-	-	-	4	-	-	-	5	\$703.30
4.3	Complete an intersection capacity analysis for the existing conditions using Synchro/SimTraffic	-	1	-	-	-	3	-	-	-	4	\$575.43
4.4	Identify a background growth rate based on future traffic forecasts and historical background growth.	-	1	-	-	-	1	-	-	-	2	\$319.68
4.5	Develop alternatives for the intersection to address driver behavior, pedestrian crossing, and other safety issues.	-	4	-	-	-	4	-	-	-	8	\$1,278.72
4.6	Complete a future build year analysis for up to 3 intersection configuration scenarios	-	2	-	-	-	5	-	-	-	7	\$1,022.98
4.7	Develop a traffic operations report summarizing the results of the study.	-	6	-	-	-	16	-	-	-	22	\$3,196.81
	<b>SUBTOTAL - TASK 4</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>45</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>60</b>	<b>\$8,631.38</b>

SRF Consulting Group, Inc.

Work Tasks and Person-Hour Estimates

Client: City of Dickinson  
 Project: Project # 202418 9th Street West & 5th Avenue West Intersection



17220.PP

Subconsultants: 0

TASK NO.	TASK DESCRIPTION	PROF. VIII/VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
	TOTAL ESTIMATED PERSON-HOURS	2	103	0	78	0	45	0	6	16	250	
	AVERAGE HOURLY PAYROLL RATE	\$76.00	\$63.00	\$56.00	\$53.00	\$51.00	\$42.00	\$37.00	\$49.00	\$47.00		
	ESTIMATED LABOR	\$152.00	\$6,489.00	\$0.00	\$4,134.00	\$0.00	\$1,890.00	\$0.00	\$294.00	\$752.00		\$13,711.00
	ESTIMATED OVERHEAD COST										173.89%	\$23,842.06
	FACILITIES CAPITAL COST OF MONEY										0.44%	\$60.33
	ESTIMATED LABOR, OVERHEAD, AND FCCM											\$37,613.39
	FIXED FEE										11.00%	\$4,130.84
	SRF ESTIMATED DIRECT NON-SALARY EXPENSES											\$1,241.00
												SUBTOTAL: (SRF Labor and Expenses) \$42,985.23
												SUBCONSULTANTS: \$0.00
	<b>TOTAL ESTIMATED FEE (SRF and Subconsultants combined)</b>											<b>\$42,985.23</b>

SRF ESTIMATE OF DIRECT NON-SALARY EXPENSES:

MILEAGE:	Personal Vehicles	400	Miles @	\$0.655	\$262.00
	Rental Vehicles/Fuel	3	Per Day	\$130.000	\$390.00
PER DIEM (\$45/DAY MAX.)		10	Per Diem	\$45.00	\$450.00
LODGING:	Hotel	0	Nights @	\$200.00	\$0.00
REPRODUCTION:	Copy Duplication	20	Copies @	\$0.10	\$2.00
	Color Copies	20	Copies @	\$0.35	\$7.00
	Bond Prints	0	Prints @	\$6.00	\$0.00
	Mylar Prints	0	Prints @	\$12.00	\$0.00
COURTHOUSE COPIES:		0	Copies @	\$1.00	\$0.00
PRINTING:					\$0.00
SUPPLIES:	Letter, Certified	0	Letters @	\$15.00 ea	\$0.00
COMMUNICATIONS:	Mail, Express, Etc.				\$0.00
	Cell Phone Charges	0	Minutes @	\$0.30	\$0.00
TRAFFIC COUNTS	Counts	13	Hours @	\$10.00	\$130.00
					SRF EXPENSES: \$1,241.00

**Attachment C**  
**Terms and Conditions**

**Article 1: Scope of Services.**

- (a) SRF shall perform, consistent with the Standard of Care stipulated herein and other terms and conditions of this Agreement, those Services set forth in **Attachment E** (the “Services”). Except as already noted in **Attachment E**, SRF shall not subcontract any portion of the work to be performed under this Agreement without the prior written approval of the Client’s authorized representative.
- (b) SRF will not perform Services that are not included in the scope of services in **Attachment E** of this Agreement. No terms and conditions or other documents shall be binding on SRF unless a copy of any such terms and conditions or documents has been made part of this Agreement.
- (c) SRF will perform its Services consistent with the professional skill and care ordinarily provided by firms practicing in the same or similar locality under the same or similar circumstances (“Standard of Care”). The full extent of SRF responsibility with respect to the Services shall be to perform in accordance with the above standards and to remedy any material deficiencies or defects in the Deliverables at SRF’s own expense, provided that SRF is notified by Client, in writing, of any such deficiency or defect within a reasonable period after discovery thereof. **SRF MAKES NO OTHER REPRESENTATIONS OR WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE, MERCHANTABILITY, INFORMATIONAL CONTENT OR OTHERWISE.**
- (d) SRF shall be responsible for its performance and that of SRF’s lower-tier subcontractors or vendors. However, SRF shall not be responsible for health or safety programs or precautions related to Client’s activities or operations or those of Client’s other contractors and consultants or their respective subcontractors and vendors.
- (e) SRF will not proceed with performance of any Services in addition to that stipulated in **Attachment E** (“Additional Services”) prior to a written amendment signed by both Parties describing the Services to be performed, the schedule for performance, and the compensation to be paid.

**Article 2: Contract Requirements.**

- (a) The Client may inspect project records, documents and accounting procedures and practices of SRF, solely to verify SRF’s performance and all expenses submitted pursuant to the terms of this Agreement. All such items will be retained by SRF during the term of this Agreement and for a period of six (6) years after final payment has been made. Any items relating to a claim arising out of the performance of this Agreement will be retained by SRF and its subcontractor(s), if any, until the claim has been resolved.
- (b) The Client and SRF expressly agree that SRF is an independent contractor and not an employee, agent, or partner of the Client. Nothing in this Agreement shall be interpreted or construed as creating or establishing the relationship of employer and employee between the Client and SRF or any employee or agent of SRF. Both parties acknowledge that SRF is not an employee for state or federal tax purposes.

**Article 3: Client Obligations.**

In addition to other responsibilities of the Client as set forth in this Agreement, the Client shall: (1) provide full information as to the requirements for the Services; (2) assist SRF by placing at SRF’s disposal, information in possession of the Client which it believes is pertinent to the Services, and SRF may rely on the accuracy and completeness of this information; (3) give prompt written or verbal notice to SRF whenever the Client observes or otherwise becomes aware of any development that affects the scope or timing of SRF’s Services, observes or otherwise becomes aware of the presence at the Project site of any constituent of concern, or of any defect or nonconformance in SRF’s Services, the work, or in the performance of any contractor; and (4) provide SRF in writing any and all policies and procedures of the Client applicable to SRF’s performance of Services under this Agreement. SRF will comply with such policies and procedures pursuant to the Standard of Care set forth in Article 1(c) and to the extent compliance is not inconsistent with professional practice requirements (the “Client’s Duties”).

**Article 4: Term of Agreement: Performance Schedule.**

- (a) This Agreement shall be in effect from the latter of the two signature dates set forth below (the “Effective Date”) and will expire on the date all services are completed and final payment has been issued, unless terminated pursuant to Article 8.
- (b) SRF shall perform its Services to meet the schedule as expeditiously as is consistent with the exercise of professional skill and care and the orderly progress of the Project. Notwithstanding the foregoing, in no event will SRF be responsible for damages due to delays beyond SRF’s reasonable control.

**Article 5: Key Personnel.**

With respect to this Agreement, SRF and the Client shall designate specific individuals to act as SRF’s and the Client’s representatives with respect to the Services to be performed or furnished by SRF and responsibilities of the Client under this Agreement. Such an individual shall have authority to transmit instructions, receive information, and render decisions related to the Project on behalf of the respective Party whom the individual represents.

SRF:

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701.354.2405  
[sharmstead@srfconsulting.com](mailto:sharmstead@srfconsulting.com)

Client:

Joshua Skluzacek  
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Dickinson, ND 58601  
507-934-7723  
[joshua.skluzacek@dickinsongov.com](mailto:joshua.skluzacek@dickinsongov.com)

**Article 6: Invoices and Payment.**

- (a) Invoices shall be submitted and paid pursuant to Client’s invoicing policy attached hereto and incorporated herein as **Attachment F**.
- (b) Intentionally Omitted.
- (c) Client will make progress payments, based on invoices from SRF. Client’s payment shall be made within thirty-five (35) days of receiving SRF’s invoices for Services performed. If the Client objects to any portion of an invoice, the Client shall notify SRF within five (5) business days of invoice date. In the event of a disputed billing, only the disputed portion will be withheld from payment, and the Client shall pay the undisputed portion.
- (d) SRF shall pay any subcontractor involved in the performance of this Agreement within ten (10) days of SRF’s receipt of payment by the Client for undisputed Services provided by the subcontractor.

**Article 7: General Compliance.**

- (a) SRF will materially comply with all federal, state and local laws or ordinances, applicable rules, regulations and standards insofar as they relate to SRF’s performance of the provisions of this Agreement.
- (b) SRF shall procure all licenses, permits, or other rights necessary to fulfill its obligations under this Agreement in compliance with applicable federal and state laws. SRF shall not be responsible for procuring permits and licenses required for construction.
- (c) **Title VI/Non-discrimination Assurances.** During the performance of this Agreement, SRF agrees to comply with all applicable US DOT Standard Title VI/Non-Discrimination Assurances contained in DOT Order No. 1050.2A, which can be found at: <https://www.dot.nd.gov/about-nddot/civil-rights/title-vinondiscrimination-and-ada>, and in particular Appendices A and E (hereinafter in Appendices A and E referred to as “Contractor”), attached as **Attachment D**. SRF will ensure the appendices and solicitation language within the assurances are inserted into subcontracts as required.

- (d) SRF shall maintain all business records relating to this Agreement in such a manner as will readily conform to the terms of this Agreement and to make such materials available at its office at all reasonable times during this Agreement period and for six (6) years commencing after the later of the date of the final payment under the Agreement or resolution of all audit findings, for audit or inspection by the Client, appropriate federal agency or agencies, the Auditor of the State of North Dakota, or other duly authorized representative.

**Article 8: Termination and Suspension.**

- (a) Client may terminate this Agreement at any time, with or without cause. Upon termination, SRF will be entitled to payment, determined on a pro rata basis, for Services satisfactorily performed.
- (b) If the Client fails to make payments to SRF in accordance with this Agreement, and said payments are not otherwise disputed by the Client, then SRF may suspend its Services under this Agreement. If SRF elects to suspend Services, it shall give ten (10) days' written notice to the Client before doing so. SRF shall have no liability to the Client for delay or damage caused by such suspension of Services. Before resuming Services, SRF shall be paid all undisputed sums due prior to suspension and any undisputed expenses incurred in the interruption and resumption of the SRF's Services.

**Article 9: Ownership and Use of Documents.**

- (a) All Deliverables created and prepared by SRF under this Agreement shall become the property of the Client upon proper payment for the Services. Client understands that the Deliverables are applicable only to this project and that they should not be reused or modified by anyone other than SRF. As a result, SRF shall bear no liability or responsibility for reuse of the Deliverables or for Deliverables that have been modified post-delivery or used for a purpose other than that for which it was prepared under this Agreement.
- (b) SRF proprietary information, including without limitation, work papers, drawings, specifications, processes, procedures, software, interim or draft documents, methodologies, know-how, software and other instruments of service belonging to or licensed by SRF and used to develop the Work Product ("SRF Data"), shall remain the sole property of SRF. To the extent the Deliverables contain or require the use of SRF Data, SRF hereby grants to Client, upon proper payment for the Services, a non-exclusive, non-transferable and royalty-free license to use such SRF Data solely for the purposes for which the Deliverables were developed.

**Article 10: Notices.**

Any notice required under this Agreement shall be in writing and addressed to the primary point of contact ("POC") as designated by both Parties at the address provided by both primary POC's. All notices shall be delivered via certified mail and effective upon the certified mail return date of receipt.

**Article 11: Legal Relations.**

- (a) This Agreement, interpretation, and performance, and any disputes between the parties arising out of or relating to this Agreement, shall be governed by and construed in accordance with the laws in which the Project is located, without regard to conflict of laws principles. Legal proceedings, if any, shall be brought in a court of competent jurisdiction in the county where the Project is located.
- (b) The Parties may exercise legal remedies as may be available to them in connection with any unresolved issue, dispute, or controversy arising out of this Agreement which cannot be settled by the Parties.

**Article 12: Liability and Indemnification.**

- (a) To the fullest extent permitted by law, SRF hereby agrees to indemnify and hold harmless the Client, from liability, loss or damage including reasonable attorneys' fees incurred ("Claims") to the extent caused the negligent or wrongful acts, errors, or omissions of SRF or anyone acting under its control in its provision of Services under this Agreement.
- (b) Nothing in this Agreement shall constitute a waiver or limitation of any immunity or limitation on liability to which the Client is entitled.

- (c) Each Party may exercise any legal remedy as may be available to it in connection with any unresolved issue, dispute, or controversy arising out of this Agreement which cannot be settled by the Parties.
- (d) Neither Party shall be held liable or responsible to the other party nor be deemed to have defaulted under or breached this Agreement for failure or delay in fulfilling or performing any obligation under this Agreement when such failure or delay is caused by or results from causes beyond the reasonable control of the affected Party, including but not limited to fire, floods, natural disasters or other adverse weather conditions not reasonable foreseeable, riots, acts of war or terrorism, acts of God, or acts, omissions or delays in acting by any governmental authority, delays in transportation or supply, unavoidable casualties, diseases, pandemics/epidemics, outbreaks of infectious disease or any other public health crisis, including quarantine or other employee restrictions, strikes, or other labor disturbances or any other cause, whether similar or dissimilar to any of the foregoing, which could not have been prevented by such Party with reasonable care (each, a "Force Majeure Event"). Either Party shall provide the other Party with prompt written notice of any delay or failure to perform that occurs by reason of force majeure. The time for performance required of the affected Party shall be extended by the period of such delay provided the Party is exercising diligent efforts to overcome the cause of such delay.
- (e) The Parties agree to waive all consequential or special damages, including, but not limited to, loss of use, profits, revenue, business opportunity, or production, for claims, disputes, or other matters arising out of or relating to the Agreement or the Services provided by SRF, regardless of whether such claim or dispute is based upon breach of contract, willful misconduct or negligent act or omission of either of them or their employees, agents, subconsultants, or other legal theory, even if the affected party has knowledge of the possibility of such damages. This mutual waiver shall survive termination or completion of this Agreement.
- (f) The duties and obligations imposed by this Agreement and the rights and remedies available thereunder shall be in addition to and not a limitation of duties, obligations, rights, and remedies otherwise imposed or available by law.

**Article 13: Contractual Relationship.**

No contractual relationship will be recognized under the Agreement other than the contractual relationship between SRF and Client.

**Article 14: Insurance.**

- (a) SRF shall procure and maintain with a company or companies lawfully authorized to do business in the jurisdiction in which the project is located, the types of insurance and policy limits as follows:

Worker's Compensation:	Statutory
Employer's Liability:	\$1,000,000 Each Accident \$1,000,000 Disease (Policy Limit) \$1,000,000 Disease (EA Employee)
Commercial General Liability:	\$1,000,000 Each Occurrence \$1,000,000 Annual Aggregate Including Premises and Operations Bodily Injury and Property Damage, Independent Contractors, Products and Completed Operations Liability, Personal and Advertising Injury and Contractual Liability.
Business Automobile Liability:	\$2,000,000 Combined single limit each occurrence coverage or the equivalent covering owned, non-owned and hired automobiles.
Professional Liability:	Covering damages caused by SRF's negligent act, error, or omission arising out the performance of professional services under this Agreement to which this Policy applies. \$2,000,000 Each Claim \$2,000,000 Annual Aggregate
Umbrella/Excess Liability	Umbrella or Excess Liability insurance policy may be used to supplement SRF's policy limits to satisfy the full policy limits required under this Agreement.

- (b) Policies shall name the Client as an Additional Insured limited to General Liability and Automobile Liability.
- (c) SRF shall require all subcontractors, and any other subcontractors to which the Parties agree in writing are subcontractors of SRF, to carry and maintain insurance against the risks set forth above, in the amounts and under terms as determined to be appropriate by SRF to fulfill its obligations of this Agreement. SRF shall not allow its subcontractors to commence work until the insurance required has been obtained and the corresponding certificate(s) of insurance have been approved by SRF with copies of each corresponding certificate provided to the Client upon request.

**Article 15: Prohibition Against Assignment.**

This is a bilateral Professional Services Agreement. Neither Party shall have the power to or will assign any of the duties or rights or any claim arising out of or related to this Agreement, whether arising in tort, contract, or otherwise, without the written consent of the other Party. Any unauthorized assignment is void and unenforceable.

**Article 16: Other.**

- (a) The headings contained in this Agreement have been inserted for convenience of reference only and shall in no way define, limit, or affect the scope and intent of this Agreement.
- (b) This Agreement, including any Attachments or Exhibits hereto, constitutes the entire and exclusive agreement of the Parties and supersedes any prior agreements whether oral or written, concerning the subject matter hereof.
- (c) The invalidity or partial invalidity of any portion of this Agreement shall not invalidate the remainder thereof, and the remainder shall be construed as if the invalidated portion shall have never been part of this Agreement.
- (d) Nothing in this Agreement confers or purports to confer on any third party any benefits or any right to enforce any terms of this Agreement.

**Article 17: Interpretation.**

This Agreement has been drafted through a cooperative effort of SRF and Client and both Parties have had an opportunity to have the Agreement reviewed and revised by legal counsel. No Party shall be considered the drafter of this Agreement, and no presumption or rule that an ambiguity shall be construed against the Party drafting the clause shall apply to the interpretation or enforcement of this Agreement.

**Article 18: Signatures.**

Either individual signing this Agreement represents and warrants that each has the power and authority to enter into this Agreement and bind the Party for whom each signs. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original but all of which together shall constitute a single Agreement.

**Article 19: Electronic Signatures.**

Each Party agrees that the electronic signature of the Party included in this Agreement are intended to authenticate this writing and to have the same force and effect as wet ink signatures.

**NORTH DAKOTA DEPARTMENT OF TRANSPORTATION  
APPENDIX A OF THE TITLE VI ASSURANCES**

During the performance of this contract, the Contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the Contractor) agrees as follows:

1. **Compliance with Regulations:** The Contractor (hereinafter includes consultants) will comply with the Acts and the Regulations relative to Non-discrimination in Federally-assisted programs of the U.S. Department of Transportation, the Federal Highway Administration, as they may be amended from time to time, which are herein incorporated by reference and made a part of this contract.
2. **Non-discrimination:** The Contractor, with regard to the work performed by it during the contract, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The Contractor will not participate directly or indirectly in the discrimination prohibited by the Acts and the Regulations, including employment practices when the contract covers any activity, project, or program set forth in Appendix B of 49 CFR Part 21.
3. **Solicitations for Subcontracts, Including Procurements of Materials and Equipment:** In all solicitations, either by competitive bidding, or negotiation made by the Contractor for work to be performed under a subcontract, including procurements of materials, or leases of equipment, each potential subcontractor or supplier will be notified by the Contractor of the Contractor's obligations under this contract and the Acts and the Regulations relative to Non-discrimination on the grounds of race, color, or national origin.
4. **Information and Reports:** The Contractor will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto and will permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the Recipient or the Federal Highway Administration to be pertinent to ascertain compliance with such Acts, Regulations, and instructions. Where any information required of a Contractor is in the exclusive possession of another who fails or refuses to furnish the information, the Contractor will so certify to the Recipient or the Federal Highway Administration as appropriate, and will set forth what efforts it has made to obtain the information.
5. **Sanctions for Noncompliance:** In the event of a contractor's noncompliance with the Nondiscrimination provisions of this contract, the Recipient will impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to:
  - a. withholding payments to the Contractor under the contract until the Contractor complies; and/or
  - b. cancelling, terminating, or suspending a contract, in whole or in part.
6. **Incorporation of Provisions:** The Contractor will include the provisions of paragraphs one through six in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Acts, the Regulations and directives issued pursuant thereto. The Contractor will take action with respect to any subcontract or procurement as the Recipient or the Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the Contractor becomes involved in, or is threatened with litigation by a subcontractor, or supplier because of such direction, the Contractor may request the Recipient to enter into any litigation to protect the interests of the Recipient. In addition, the Contractor may request the United States to enter into the litigation to protect the interests of the United States.

## NORTH DAKOTA DEPARTMENT OF TRANSPORTATION APPENDIX E OF THE TITLE VI ASSURANCES

During the performance of this contract, the contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the Contractor) agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:


### Pertinent Non-Discrimination Authorities:

- Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d *et seq.*, 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin); and 49 CFR Part 21.
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 U.S.C. §4601), (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Federal-Aid Highway Act of 1973, (23 U.S.C. § 324 *et seq.*), (prohibits discrimination on the basis of sex);
- Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794 *et seq.*), as amended, (prohibits discrimination on the basis of disability); and 49 CFR Part 27;
- The Age Discrimination Act of 1975, as amended, (42 U.S.C. § 6101 *et seq.*), (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982, (49 USC § 471, Section 47123), as amended, (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987, (PL 100-209), (Broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, The Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms "programs or activities" to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 U.S.C. §§ **12131-12189**) as implemented by Department of Transportation regulations at 49 C.F.R. parts 37 and 38;
- The Federal Aviation Administration's Non-discrimination statute (49 U.S.C. § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);
- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures no n-discrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);
- Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 U.S.C. 1681 *et seq.*).

SRF Consulting Group, Inc. Work Tasks and Person-Hour Estimates

Client: City of Dickinson  
Project: 9th St & 5th Ave Intersection Improvement

Subconsultants:



17220.01

<u>TASK NO.</u>	<u>SUMMARY OF TASKS</u>
1.0	Project Management
2.0	Survey
3.0	Environmental Document
4.0	Public Involvement
5.0	Final Roadway Design
6.0	Right of Way
7.0	Traffic Operations
8.0	Structures

Project Overview:  
City of Dickinson is looking to improve the safety along 9th St at the intersection of 5th Ave. The City would like SRF to extend their contract to move this concept through the environmental process and through final design and plans.

TASK NO.	TASK DESCRIPTION	PROF. VIII-VI	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
<b>1.0</b>	<b>Project Management</b>											
	<u>Assumptions:</u>											
	Monthly project meetings via Microsoft TEAMS											
	Project duration from January '25 to March '26											
1.1	Project Setup and Monthly Invoicing	4	-	-	-	-	-	-	-	25	29	\$5,186.76
1.2	General day-to-day project management and administration (January '25 to March '26)	40	-	-	-	-	-	-	-	-	40	\$10,420.89
1.3	Work-planning schedule and coordination of tasks (15 months)	8	-	-	-	-	-	-	-	-	8	\$2,084.18
1.4	Establish ongoing project coordination with City of Dickinson. Coordinate project activities as necessary.	8	-	-	-	-	-	-	-	-	8	\$2,084.18
1.5	Monthly project meetings via Teams. Assumes 2 SRF attendees (.5 hour meeting)	8	-	-	-	-	8	-	-	-	16	\$3,173.64
1.6	Prepare bi-weekly progress reports (15 months - 30 reports).	15	-	-	-	-	-	-	-	-	15	\$3,907.83
	<u>SRF Deliverables:</u>											
	Progress Reports, Meeting Agendas, Meeting Minutes, Invoices											
	<b>SUBTOTAL - TASK 1</b>	<b>83</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>8</b>	<b>0</b>	<b>0</b>	<b>25</b>	<b>116</b>	<b>\$26,857.48</b>
<b>2.0</b>	<b>Survey</b>											
	<u>Assumptions:</u>											
	Establish primary control points at the beginning and end of the project area. All primary control will be established with horizontal and vertical accuracy matching what is required in Chapter 19 of the Survey Manual. The collection session information for the primary control will be sent to the National Geodetic Survey Online Positioning User Service (OPUS) to establish the latitude, longitude (NAD 83), vertical height using GEOID 2012, and true state plane coordinates for each control point. In addition to the primary control, secondary control will be established in areas of the site where detailed topographic surveying will be required.											
	Assumes no review from NDDOT survey division											
	<u>Client Deliverables:</u>											
	GIS City owned utilities											
	Existing plats											
2.1	Ground Topo Survey. Includes using 30'x30' grid for ground topo. Utility survey of existing utilities identified on maps and OneCall. Culvert pipe sizes, inverts, and surrounding topo of any above ground features.	-	-	-	-	-	-	-	20	-	20	\$3,671.00
2.2	Primary and Secondary Control	-	-	-	-	-	-	-	10	-	10	\$1,835.50
2.3	Survey platted property corners, alignment points and ROW Monuments, Survey PLSS	-	-	-	-	-	-	-	20	-	20	\$3,671.00
2.4	Sign Survey, sign inventory book	-	-	-	-	-	-	-	4	-	4	\$734.20
2.5	Control.dgn file, RW_Bndry File, Topog.dgn, 81CD	-	2	-	-	-	4	-	16	-	22	\$3,901.91
2.6	DTM and Surface model	-	2	-	-	-	4	-	-	-	6	\$965.12
2.7	Compile and prepare survey	-	2	-	-	-	4	-	4	-	10	\$1,699.32
2.8	Landowner Notifications	-	-	-	-	-	4	-	-	-	4	\$544.73
	<u>SRF Deliverables:</u>											
	Survey transmittal including applicable 90-1 forms											
	Landowner Notification											
	<b>SUBTOTAL - TASK 2</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>16</b>	<b>0</b>	<b>74</b>	<b>0</b>	<b>96</b>	<b>\$17,022.77</b>

TASK NO.	TASK DESCRIPTION	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
<b>3.0</b>	<b>Environmental Document</b> <u>Assumptions:</u> Assumes preparation of Documented Categorical Exclusion (DCE) Assumes office wetland delineation Assumes project is exempt from Section106 review											
3.1	Prpeare Level I (Office) Wetland Delineation	-	-	4	-	-	20	-	-	-	24	\$3,481.53
3.2	Prpared Section 106 Form	-	-	-	-	2	-	-	-	-	2	\$301.97
3.3	Prepare Draft Documented CATEX Package.	-	-	14	-	100	-	-	-	-	114	\$17,751.04
3.4	Prepare Final Documented CATEX Package.	-	-	4	-	14	-	-	-	-	18	\$2,871.67
3.5	Section 7 Determination	-	-	2	-	12	-	-	-	-	14	\$2,190.76
3.6	EJ Analysis	-	-	2	-	12	-	-	-	-	14	\$2,190.76
3.7	QA/QC of PCE	2	-	2	-	-	-	-	-	-	4	\$899.99
3.8	SOV letters, emails and mailing list will be prepared and provided to NDDOT for review. SOV letters and emails will be sent to the appropriate parties. Responses to SOV notifications will be compiled and reviewed.	1	-	2	-	-	16	-	-	-	19	\$2,818.38
	<u>SRF Deliverables:</u> Draft and final documented categorical exclusion document											
	<b>SUBTOTAL - TASK 3</b>	<b>3</b>	<b>0</b>	<b>30</b>	<b>0</b>	<b>140</b>	<b>36</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>209</b>	<b>\$32,506.08</b>
<b>4.0</b>	<b>Public Involvement</b> <u>Assumptions:</u> In person public meeting											
4.1	Public input meeting materials, preparation	2	-	4	-	-	24	-	-	-	30	\$4,547.30
4.2	Public involvement report	2	-	2	-	14	-	-	-	-	18	\$3,013.77
4.3	Meeting	14	-	-	-	8	-	-	-	-	22	\$4,855.19
	<u>SRF Deliverables:</u> Public involvement report SOV letters (letters and responses)											
	<b>SUBTOTAL - TASK 4</b>	<b>18</b>	<b>0</b>	<b>6</b>	<b>0</b>	<b>22</b>	<b>24</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>70</b>	<b>\$17,271.45</b>

TASK NO.	TASK DESCRIPTION	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
<b>5.0</b>	<b>Final Roadway Design</b> <u>Assumptions:</u> Assumes final design Open Roads Designer 2022 R2 Model and Earthwork will consist of minimal updates (preliminary model for environmental should be refined). Changes to the profile, typical sections, road widths, and ditch grading will affect corridor modeling and earthwork and are NOT accounted for in this scope. Final Design Plan Preparation Sections: Title, Scope of Work, Notes, Estimate, Basis of Estimate, Earthwork Tabulations, Details, Typical Sections, Removals, Plan and Profile, Wetland impacts, Temporary Erosion Control, Permanent Erosion Control, Survey Data, Alignment Data, Traffic Control, Signing, Striping, and Cross Sections. Final sections required may vary. QA/QC at each submittal											
5.1	Preliminary Design & Prepare Graphics for Open House	2	-	-	-	-	20	-	-	-	22	\$3,244.69
5.2	Final design (Geometrics, Typical Sections, Mainline and Side Street Tie ins, Modeling)	8	-	-	-	16	60	-	-	-	84	\$12,670.86
5.3	Final Design Plan Preparation Sections: Title, Scope of Work, Notes, Estimate, Basis of Estimate, Earthwork Tabulations, Details, Typical Sections, Removals, Plan and Profile, Wetland impacts, Temporary Erosion Control, Permanent Erosion Control, Survey Data, Alignment Data, Traffic Control, Signing, Striping, and Cross Sections. Standard Drawings and Special provisions to be included as well.	8	-	-	-	16	100	-	40	-	164	\$25,460.14
5.4	Watermain Plans	2	-	-	-	4	32	-	4	-	42	\$6,217.01
5.5	Utility Coordination	-	-	-	-	2	40	-	-	-	42	\$5,749.25
5.6	Assemble 90% construction plans and revise per comments	8	-	-	-	8	24	-	-	-	40	\$6,560.43
5.7	Assemble 100% final construction plans	8	-	-	-	8	16	-	-	-	32	\$5,470.97
5.8	Assemble Supplemental Design Data	2	-	-	-	8	16	-	-	-	26	\$3,907.83
5.9	Assemble certifications (ROW, Utility, Design)	4	-	-	-	-	-	-	-	-	4	\$1,042.09
	<u>SRF Deliverables:</u> 90% plans, specs and estimate; Final plans, specs and estimate											
	<b>SUBTOTAL - TASK 5</b>	<b>42</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>62</b>	<b>308</b>	<b>0</b>	<b>44</b>	<b>0</b>	<b>456</b>	<b>\$70,323.27</b>

TASK NO.	TASK DESCRIPTION	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
<b>6.0</b>	<b>Right of Way</b> <u>Assumptions:</u> All acquisition activities will comply with the Uniform Relocation and Real Property Acquisition Policies Act of 1970, as amended; as well as all State and Federal guidelines. Assumes acquisition for 3 parcels (1- fee and TCE, 2- TCE only). Assumes SRF provide a title commitments for the one fee parcel and will provide Surface Ower Reports for the TCE parcels. Assume 3 trips Assumes all procls will be of such a value that Waiver Valuations will be used  Assumes 1 lender subordinations. These should not be necessary for TCE parcels SRF to develop Right of Way Parcel Sketches or Plats to be used with discussions with property owners and any final plat recording documents.											
6.1	General Day to day project management, administration and general coordination of activities between all affected parties.	6	-	-	-	5	-	-	-	-	11	\$2,318.06
6.2	Prepare and Close Purchase Packages and related documentation	3	-	-	-	10	-	-	-	-	13	\$2,291.41
6.3	Acting on behalf of the City, present offers and negotiate with property owners as required for acquisition of 3 easement parcels. Includes submission of Negotiator's Reports within 5 days of each property execution.	8	-	-	-	84	-	-	-	-	92	\$14,766.88
6.4	Apprasial and R/W Kick off meetngs (Teams)	3	-	-	-	3	-	-	-	-	6	\$1,234.52
6.5	Right of Way Parcel Sketches or Plats	-	-	-	-	-	16	-	16	-	32	\$5,115.71
6.6	Waiver Valuations	-	-	-	-	9	-	-	-	-	9	\$1,358.86
	<u>SRF Deliverables:</u> Title, SOR, Waiver Valuations, Completed Files											
	<b>SUBTOTAL - TASK 6</b>	<b>20</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>111</b>	<b>16</b>	<b>0</b>	<b>16</b>	<b>0</b>	<b>163</b>	<b>\$27,085.44</b>

TASK NO.	TASK DESCRIPTION	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE
<b>7.0</b>	<b>Traffic Operations</b> <u>Assumptions:</u> Utilize Synchro SimTraffic											
7.1	Utilize previously collected intersection turning movement counts from 2024.	-	-	-	-	-	2	-	-	-	2	\$272.36
7.2	Perform an existing intersection capacity analysis at the a.m. and p.m. peak hours at the study intersections.	-	1	-	-	-	3	-	-	-	4	\$618.74
7.3	Perform a crash analysis for the previous 5 years of crash data at the intersection to understand crash patterns and behaviors.	-	1	-	-	-	4	-	-	-	5	\$754.92
7.4	Develop a background traffic growth rate for the area traffic volumes based on any available transportation planning data and historical growth.	-	1	-	-	-	2	-	-	-	3	\$482.56
7.5	Review the proposed concept layout and modify the area traffic counts or model calibration as needed	-	1	-	-	-	2	-	-	-	3	\$482.56
7.6	Perform a year 2027 and 2045 intersection capacity analysis at the a.m. and p.m. peak hours at the study intersections.	-	1	-	-	-	4	-	-	-	5	\$754.92
7.7	Identify any improvements from a geometric or traffic control perspective that are needed for safe and efficient future operations	-	2	-	-	-	2	-	-	-	4	\$692.75
7.8	Review the proposed pedestrian and bicycle accommodations and provide any additional enhancements following NDDOT guidance for pedestrian crossings.	-	2	-	-	-	6	-	-	-	8	\$1,237.48
7.9	Develop a traffic operations study following NDDOT guidelines and make 1 round of client edits.	-	4	-	-	-	16	-	-	-	20	\$3,019.69
7.10		-	-	-	-	-	-	-	-	-	0	\$0.00
	<u>SRF Deliverables:</u> Traffic Ops Report											
	<b>SUBTOTAL - TASK 7</b>	<b>0</b>	<b>13</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>41</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>54</b>	<b>\$8,315.99</b>
<b>8.0</b>	<b>Structures</b> <u>Assumptions:</u> - Assume one shallow boring will be completed near sites to supplement the design - 2 separate walls totaling approximately 400' will be needed - Assume soil conditions will be conducive to using a modular block for a wall structure type at these sites. - A shallow frost protected footing will need to be designed to prevent movement and avoid having to embed wall 4.5'											
8.1	Structural Plans: Estimated 3 sheets to include Typical Wall Section and wall Plan & Profile sheets.	1	8	-	-	-	16	-	16	-	41	\$7,057.79
8.2	Foundation Design: Design frost-protected shallow foundation for all per SEI/ASCE 32-01	1	8	-	-	-	16	-	-	-	25	\$4,120.99
8.3	Wall Special Provision	4	12	-	-	-	-	-	-	-	16	\$3,564.42
8.4	Engineer's Estimate	-	1	-	-	-	-	-	-	-	1	\$210.19
	<u>SRF Deliverables:</u> 90% plans, specs and estimate; Final plans, specs and estimate											
	<b>SUBTOTAL - TASK 8</b>	<b>6</b>	<b>29</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>32</b>	<b>0</b>	<b>16</b>	<b>0</b>	<b>83</b>	<b>\$14,953.39</b>

TASK NO.	TASK DESCRIPTION	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS	EST. FEE	
	<b>TOTAL ESTIMATED PERSON-HOURS</b>	<b>172</b>	<b>48</b>	<b>36</b>	<b>0</b>	<b>335</b>	<b>481</b>	<b>0</b>	<b>150</b>	<b>25</b>	<b>1,247</b>		
	AVERAGE HOURLY PAYROLL RATE	\$88.00	\$71.00	\$64.00	\$57.00	\$51.00	\$46.00	\$38.00	\$62.00	\$56.00			
	ESTIMATED LABOR	\$15,136.00	\$3,408.00	\$2,304.00	\$0.00	\$17,085.00	\$22,126.00	\$0.00	\$9,300.00	\$1,400.00		\$70,759.00	
	ESTIMATED OVERHEAD COST										166.71%	\$117,962.33	
	ESTIMATED LABOR AND OVERHEAD											\$188,721.33	
	FIXED FEE										11.00%	\$20,759.35	
	SRF ESTIMATED DIRECT NON-SALARY EXPENSES											\$5,742.00	
													SUBTOTAL: (SRF Labor and Expenses) <u>\$215,222.68</u>
													SUBCONSULTANTS: \$0.00
<b>TOTAL ESTIMATED FEE (SRF and Subconsultants combined)</b>											<b>\$215,222.68</b>		

SRF ESTIMATE OF DIRECT NON-SALARY EXPENSES:

MILEAGE:	Personal Vehicles	3600	Miles @	\$0.670	\$2,412.00
PER DIEM (\$45/DAY MAX.)		14	Per Diem	\$45.00	\$630.00
LODGING:	Hotel	7	Nights @	\$200.00	\$1,400.00
REPRODUCTION:	Copy Duplication	50	Copies @	\$1.00	\$50.00
	Color Copies	50	Copies @	\$1.00	\$50.00
	Bond Prints	0	Prints @	\$6.00	\$0.00
	Mylar Prints	0	Prints @	\$12.00	\$0.00
COURTHOUSE COPIES:		0	Copies @	\$1.00	\$0.00
TITLE VENDOR	The Title Team	1	Title @	\$1,200.00	\$1,200.00
<b>SRF EXPENSES:</b>					<b>\$5,742.00</b>

SUBCONSULTANTS:

N/A					\$0.00
<b>SUBCONSULTANTS:</b>					<b>\$0.00</b>

SUMMARY OF COSTS:

	PROF. VIII-VII	PROF. VI	PROF. V	PROF. IV	PROF. III	PROF. II	PROF. I	TECH.	SUPPORT	TOTALS
1 Project Management	\$ 21,623.35	\$ -	\$ -	\$ -	\$ -	\$ 1,089.46	\$ -	\$ -	\$ 4,144.67	\$26,857.48
2 Survey	\$ -	\$ 1,261.16	\$ -	\$ -	\$ -	\$ 2,178.91	\$ -	\$ 13,582.69	\$ -	\$17,022.77
3 Environmental Document	\$ 781.57	\$ -	\$ 5,684.12	\$ -	\$ 21,137.83	\$ 4,902.56	\$ -	\$ -	\$ -	\$32,506.08
4 Public Involvement	\$ 4,689.40	\$ -	\$ 1,136.82	\$ -	\$ 3,321.66	\$ 3,268.37	\$ -	\$ -	\$ -	\$12,416.26
5 Final Roadway Design	\$ 10,941.94	\$ -	\$ -	\$ -	\$ 9,361.04	\$ 41,944.09	\$ -	\$ 8,076.19	\$ -	\$70,323.27
6 Right of Way	\$ 5,210.45	\$ -	\$ -	\$ -	\$ 16,759.28	\$ 2,178.91	\$ -	\$ 2,936.80	\$ -	\$27,085.44
7 Traffic Operations	\$ -	\$ 2,732.52	\$ -	\$ -	\$ -	\$ 5,583.47	\$ -	\$ -	\$ -	\$8,315.99
8 Structures	\$ 1,563.13	\$ 6,095.63	\$ -	\$ -	\$ -	\$ 4,357.83	\$ -	\$ 2,936.80	\$ -	\$14,953.39
<b>TOTALS</b>	<b>\$44,809.84</b>	<b>\$10,089.32</b>	<b>\$6,820.95</b>	<b>\$0.00</b>	<b>\$50,579.82</b>	<b>\$65,503.60</b>	<b>\$0.00</b>	<b>\$27,532.47</b>	<b>\$4,144.67</b>	<b>\$209,480.68</b>



## ENGINEERING & COMMUNITY DEVELOPMENT

### Invoicing Policy:

Consultants/Contractors are required to submit invoices on a monthly basis as progress payments. All invoices shall be emailed to [accounts.payable@dickinsongov.com](mailto:accounts.payable@dickinsongov.com) & [sylvia.miller@dickinsongov.com](mailto:sylvia.miller@dickinsongov.com). **ONLY** electronic submittals will be allowed; please do not mail. The following information shall be included on the face of all invoices:

- Invoice period start and end dates
- City of Dickinson Project Manager [Josh Skluzacek](#)
- City of Dickinson Project Number [202418](#)
- City of Dickinson Project Name [9TH ST W & 5TH AVE W INTERSECTION](#)
- City of Dickinson Accounting Code (to be provided by the City as soon as possible) [219-0000-519-07-30](#)
- City of Dickinson Cost Code (**700** for consultants/**800** for contractors)
- Address of work done (if applicable)

Failure to include all of the above information on the face of the invoice(s) will result in the rejection of the invoice. The City of Dickinson will not be responsible for any additional costs incurred due to delayed payment. Please direct any invoicing questions to the City of Dickinson Project Manager or [sylvia.miller@dickinsongov.com](mailto:sylvia.miller@dickinsongov.com).

# 9<sup>th</sup> St W & 5<sup>th</sup> Ave W Intersection Safety

Section 7. Item A.

Presented by: Senior Engineer, Kris Keller

Consideration to Approve



# Project Vicinity



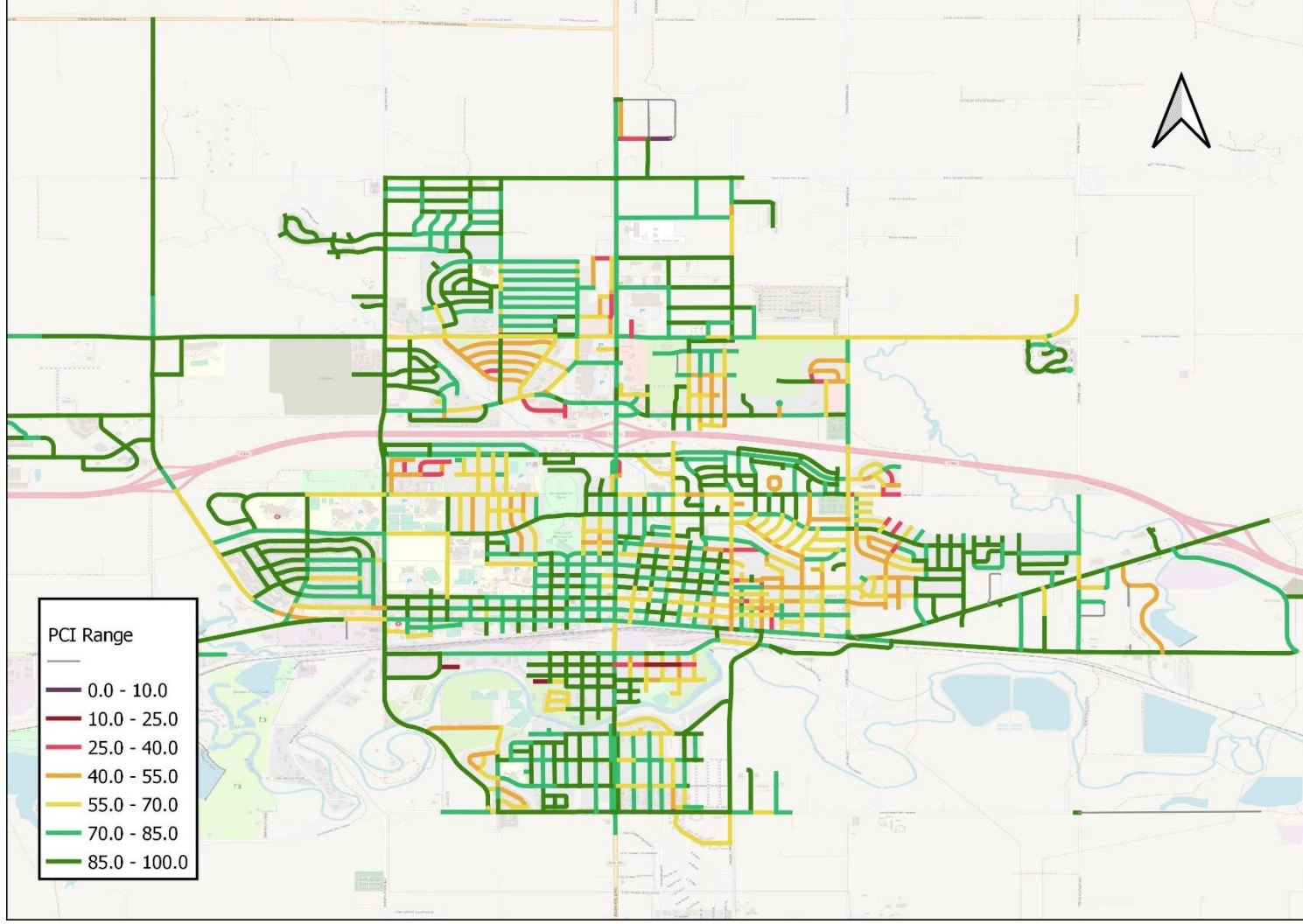
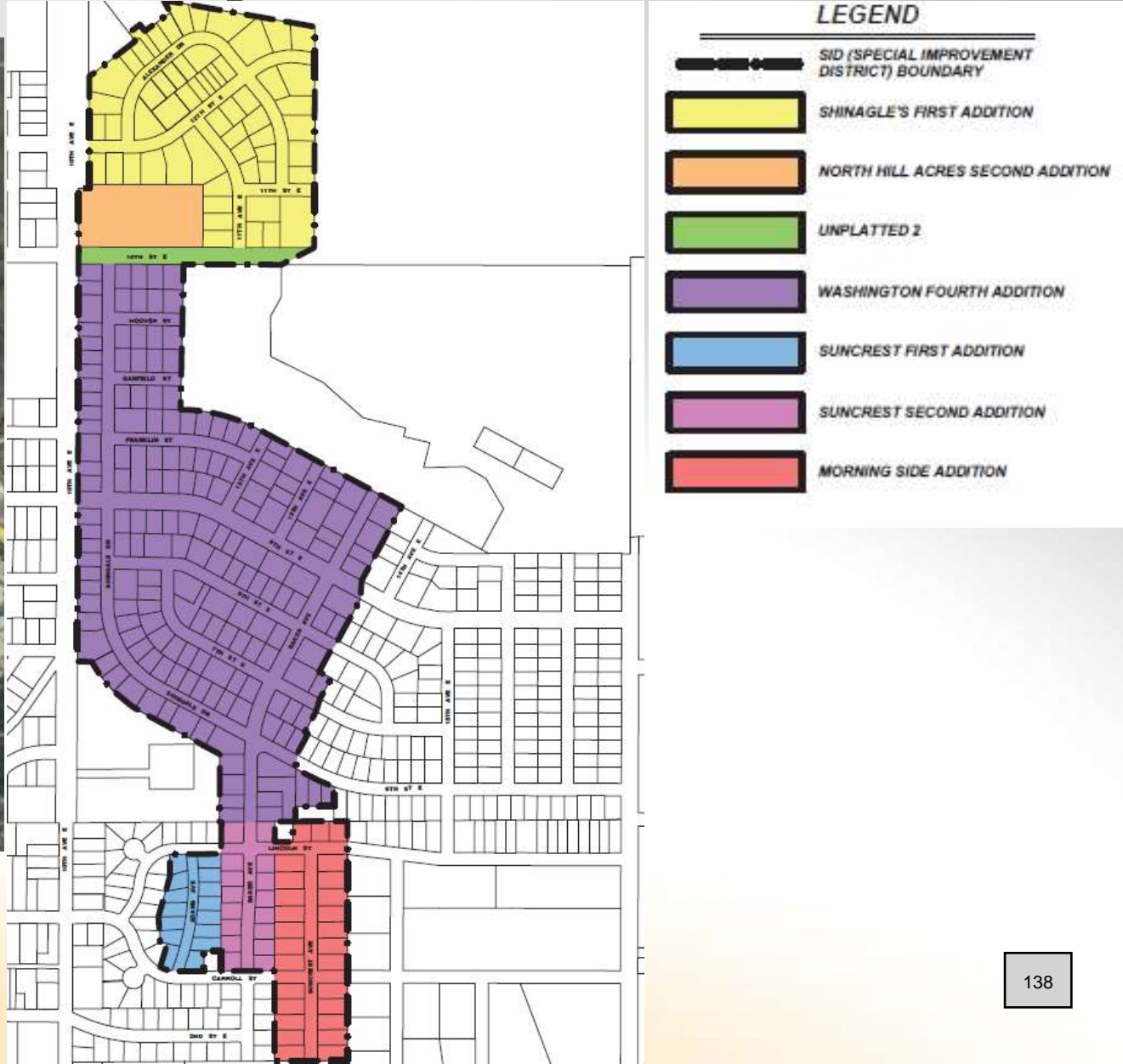


Figure 2: 2023 PCI Scores by Range

# 2025 Road Maintenance Project (SID 202501-T)



# 2025 Road Maintenance Project (SID 202501-1)

Section 7. Item B.



# 2025 Road Maintenance Project (SID 202501-1)

- Special Improvement District Benefits:
  - The streets, curb and gutter, and sidewalks need repairs. Several of the sidewalks are not ADA compliant. These improvements will ensure safe pedestrian walkability and access throughout the neighborhood. The street improvements will extend the life expectancy of the roadways and will reduce maintenance costs for the City.

# Memorandum

**Date:** 6/5/2024  
**Author:** Josh Skluzacek

**RE:** Concrete Removal Standard Operating Procedure for Projects

## Remarks

The following guidelines are used for determining concrete replacements in projects where concrete improvements are assessed back to the adjacent landowner. Concrete meeting any of the following conditions is to be marked for replacement. These standards are intended to follow ASTM D6433 when determining the types and severity of distresses

- Distress Types Requiring Replacement
  - Cracking
    - Uncontrolled cracks that have separated or are offset. Many cracks are starting to experience chipping along the length of the cracks.
    - Concrete has multiple cracks, including a single \_separating crack.
    - Concrete with a single hairline crack is typically left in place unless adjacent to other panels designated for removal.
    - A minimum of 2 five-foot-long panels may left in place between panels that are designated for removal
  - Spalling and Popouts
    - Concrete with 25% or more spalling/scaling.
    - Popouts that cover more than 20% of the surface and result in an uneven surface or are extremely unsightly.
  - Damaged (Blow up, Corner Break, Divided Slab, Faulting, )
    - Damaged concrete that has any deficiencies listed above shall be removed.
    - Use engineering judgement to determine if curb and gutter with minor snowplow damage without drainage concerns may be left in place. In general curb and gutter Having a “snow plow chip greater than .5” deep or over 18 square inches in area shall be replaced.
- ADA Compliance
  - Sidewalk panels with greater than 0.25-inch vertical edge is considered a tripping hazard; typically, the panel that has settled is replaced.



- If pedestrian ramp is not present at an intersection, ADA ramps shall be installed. Two sidewalk panels are typically removed for the ramp on a relatively flat grade. Use engineering judgment and follow ADA guidelines in areas with steep grades.
- If pedestrian ramps are present, ramps are left in place if in good condition and do not otherwise warrant replacement.
- If the sidewalk or driveway has more than a 2% cross slope section should be replaced. This may not be economically possible or require going off the Right of Way. Use judgement to validity.
- Drainage Issues
  - Concrete that is settled and holding water or causing a lack of drainage flow on the pavement.
  - Curb and gutter radii where new valley gutters are proposed.
  - Sidewalk and curb & gutter where trench drains are required.
  - Concrete that has had elevations impacted by tree roots.
- Concrete Patches
  - Concrete patches in asphalt pavement roadway.

Note: In some instances, there may be longer stretches of concrete replacement with one sidewalk panel or curb section that is questionable. In these cases, use engineering judgement to determine if the entire length should be replaced. i.e. saving segments of 5-feet or less should be considered from a constructability standpoint.



ENGINEERING, REIMAGINED

# PRELIMINARY ENGINEERING REPORT

City of Dickinson 2025 Road Maintenance  
Special Improvement District

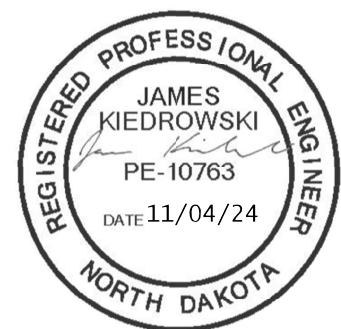
SID No. 202501-1

SID No. 202501-2

November 4, 2024

Prepared for:

City of Dickinson Engineering Department



City Project No. 202501  
KLJ Project No. 2404-00273

### ***Background, Proposed Improvements and Project Areas***

The two proposed Special Improvement Districts (SID) are part of the 2025 Road Maintenance project, identified as City of Dickinson project number 202501. The project is included in the City's 2025 budget and is based on results of a 2023 Pavement Management Report (PMR), which was an extensive assessment of all City streets that included a pavement condition rating and recommended priority street improvements.

The improvements associated with the 2025 Road Maintenance project were vetted by City staff with assistance by KLJ. The primary objective is street asphalt pavement rehabilitation and full-depth reconstruction in accordance with PMR recommendations. In addition, the project will include concrete pavement consisting of curb, gutter, sidewalk, driveway, and accessibility ramp construction adjacent to the asphalt streets being re-paved.

Through a series of field visits, preliminary estimates and management discussions there were five different zones identified throughout the City as potential project areas. These areas primarily include pavement ratings varying from satisfactory to very poor after conducting engineering evaluations. After reviewing these recommended zones, the City's engineering staff informed KLJ of the discussion to proceed with zone 4 based on available budget. Later revisions added 5<sup>th</sup> St SW between State Ave and 8<sup>th</sup> Ave SW as a second SID.

### ***Justification***

The primary objective of project 202501 is to repair deteriorated streets, particularly asphalt pavement, as well as related work to fix adjacent curb, gutter, driveway approaches, sidewalk, and accessibility ramps. Street repairs will include mill and overlay along with full-depth repairs where the road section has failed. Existing road widths will be retained. The design criteria meet the City's objectives for typical pavement repair as well as correcting pedestrian accessibility deficiencies where practical.

The Creation of each SID is in accordance with the City's Special Assessment Policy (see Appendix 1) approved by the City Commission on December 17, 2019. The Policy gives the City authority to assess cost for constructing sidewalks, curb and gutter, and driveway aprons in conjunction with street maintenance projects. As such, the SIDs will include removal and replacement of concrete as shown in the appendices.

### ***Schedule and Opinion of Cost***

Construction is scheduled for summer of 2025, with the bid opening anticipated for January 2025.

The preliminary opinion of probable construction cost for the road maintenance work within the two SIDs are summarized in Appendix 2, while specific assessments to individual parcels are shown in Appendices 3 and 4.

### ***Benefits to the Public***

Roadway pavement is essential to ensuring safe and efficient transportation within urban communities. A well-maintained paved road network improves vehicle and pedestrian safety by providing a smooth, stable surface that reduces the risk of accidents and vehicle damage caused by uneven or unpaved roads. Proper pavement also improves traffic flow, reducing congestion and travel time for residents and businesses, thereby enhancing overall quality of life. Additionally, paved roads are more durable and resilient to weather conditions, preventing issues like erosion, dust, and water pooling, which can degrade unpaved surfaces over time and lead to costly repairs.

Unpaved roads, while potentially less costly to install initially, are impractical in urban environments due to their high long-term maintenance costs, susceptibility to weather damage, and poor durability under heavy traffic. Unpaved roads require frequent grading to remain passable, and they deteriorate quickly in adverse weather, leading to erosion, dust, and potholes. These factors not only increase ongoing maintenance costs but also result in poor road conditions that can negatively impact property values, vehicle repair costs, and public safety. While unpaved roads are not a practical solution for urban areas, they serve as the only feasible alternative for comparison in evaluating the costs and benefits of paved road improvements within urban improvement districts. Unpaved roadways do not meet the International Fire Code within urban areas.

Unpaved roads require significant ongoing maintenance to keep them functional. Over a 25-year period, the costs of maintaining an unpaved roadway include regular grading, dust control, erosion management, and resurfacing.

Below is a breakdown of key expenses:

- Initial Installation Costs
- Routine Maintenance: Grading, Dust Control, Resurfacing
- Vehicle Damage and Safety Implications
- Additional costs to consider are related to delay time to the average use

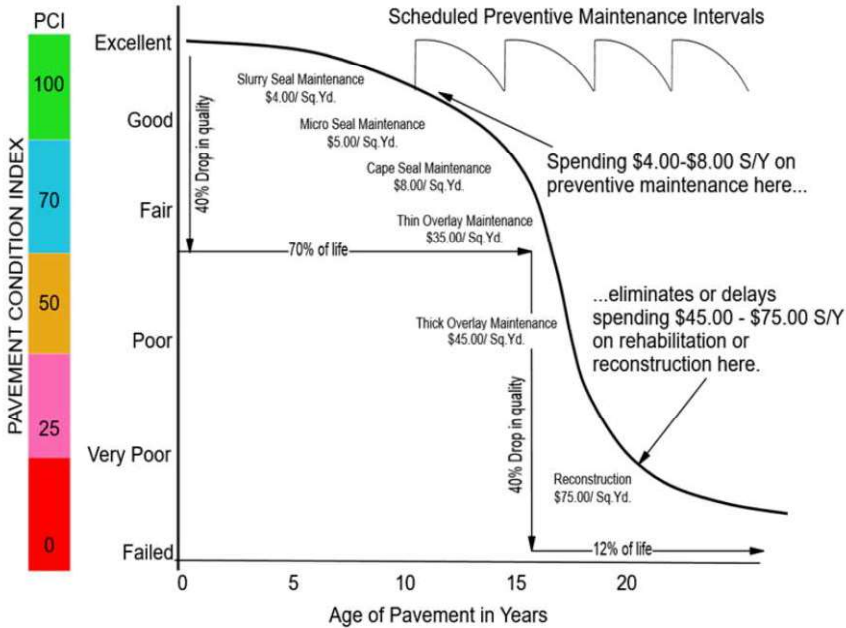
The capital and maintenance costs of a typical paved collector or local roadway system costs between \$4,500,000 and \$5,500,000 per mile.

Pavement preservation is a proactive approach that involves a series of low-cost, preventative maintenance treatments aimed at protecting our roadway network, extending pavement life, and meeting the needs of our citizens. While no pavement lasts forever, the timely application of these treatments can significantly extend the lifespan of the pavement, resulting in substantial cost savings.

The following pavement rehabilitation strategy is from the City of Dickinson’s 2023 Pavement Management Report (MDS Technologies, Inc., February 1, 2024):

**8 Rehabilitation Programs and Budget Analysis**

Effective management of a pavement network involves understanding how pavements deteriorate over time and applying appropriate maintenance and rehabilitation treatments at critical times in the life of a pavement to minimize the long term cost of maintaining the network at a desirable condition level. The concept of pavement management is illustrated in Figure 4 below.



**Figure 4: Pavement Management Concept and Effect of Timely Maintenance**

Figure 4 shows that pavements typically do not deteriorate linearly. A pavement may experience only a 40 percent drop in quality over the first 70 percent of its life. During this time the life of a pavement may be extended significantly through the percent drop in quality over the first 70 percent of its life. During this

*time the life of a pavement may be extended significantly through the periodic application of relatively low cost maintenance treatments. This is represented by the “shark-fin” shaped curve in the upper-right of the figure.*

A failed roadway system not only requires costly repairs but also lead to indirect expenses for road users, including vehicle damage, increased fuel consumption, and more frequent maintenance needs. By implementing timely pavement preservation projects, smoother road surfaces are maintained, reducing these additional costs for the adjacent landowners. The pavement within the Special Improvement District existed prior to this project. However, the improvements are necessary to improve the pavement condition to a point that will prevent deterioration that would lead to complete reconstruction. It is important to note that the asphalt surface costs within the Special Improvement District are not being assessed to property owners which further increases the benefits to the property owners.

According to City of Dickinson policy, the only assessment cost applied to landowners within special improvement districts is the cost to maintain sidewalk and curb & gutter. In an effort to improve walkability, connectivity and accessibility of pedestrians in these neighborhoods, the City is also filling in gaps in sidewalk present in the district. While costs to install the gaps in the sidewalk will be assessed, ADA accessible ramps at intersections will be completely covered by the City. Historically, this assessed portion of the work in the City’s Road Maintenance projects has accounted for between 15% to 40% of the total work in the special improvement districts. In comparison, many other municipalities will assess up to 100% of the cost of these types of projects.

### ***SID Maps and Assessment Tables***

Information pertaining to each SID is shown in Appendices 3 and 4. Each appendix includes an overall layout showing the related subdivisions and adjacent streets, plan view drawings showing proposed improvements on each parcel, as well as assessment tables for each parcel in the SID.

### ***List of Appendices***

1. City of Dickinson Special Assessment Policy
2. Engineer’s Opinion of Probable Construction Cost
3. SID No. 202401-1 Packet: District Map, Plan Drawings and Assessment Table
4. SID No. 202401-2 Packet: District Map, Plan Drawings and Assessment Table

# APPENDIX 1

## City of Dickinson Special Assessment Policy

**RESOLUTION NO. 39 - 2019**

**A RESOLUTION DECLARING A SPECIAL ASSESSMENT POLICY FOR COSTS FOR SIDEWALKS, CURB AND GUTTER IMPROVEMENTS**

WHEREAS, the City of Dickinson intends to perform routine maintenance projects on asphalt and concrete streets, and

WHEREAS, the City of Dickinson has a limited amount of funding available to perform maintenance projects, and

WHEREAS the City of Dickinson has the legal authority to assess costs for sidewalks and curb and gutter improvements to properties within the City Of Dickinson pursuant to N.D.C.C. Section 40-31-06 and Municipal Code Section 33.04.180.

NOW, THEREFORE, it is hereby resolved by the Board of City Commissioners, as follows:

1. There is hereby created a special assessment policy for street maintenance projects.
2. Sidewalk and curb and gutter improvements made in conjunction with the street maintenance projects will be assessed to the adjacent landowners except in the following conditions:
  - a. On corner lots, through the entirety of the radius around the corner.
  - b. Where otherwise satisfactory curb and gutter or sidewalk need to be replaced because of work being done on the street project, including lighting and signing.
  - c. Where curb and gutter or sidewalk about the back lot line of a property
  - d. Where at the discretion of the City Engineer, sidewalk installation is not feasible.
3. Of the eligible costs in Section 2, one hundred percent (100%) will be assessed to the benefitting properties.
4. The costs of assessments shall be paid by the benefitting properties over a ten (10) year term at a rate of 1.5% over the then current market interest rate at the time of construction.

NOW, THEREFORE, BE IT RESOLVED that the Board of City Commissioners of the City of Dickinson, North Dakota creates a special assessment policy for street maintenance projects.

Dated this 17th day of December 2019.

Scott Decker, President  
Board of City Commissioners

ATTEST:

  
Joseph Gaa, Dickinson City Administrator

# APPENDIX 2

## Engineer's Opinion of Probable Construction Cost

## ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST

**DICKINSON 2025 ROAD MAINTENANCE (CITY PROJECT NO. 202501)  
CITY OF DICKINSON, NORTH DAKOTA**

Item No.	Description	Unit	Total Quantity	Unit Cost	Total Sum
1	MOBILIZATION & CONTRACT BOND	LS	1	\$ 711,359.00	\$ 711,359.00
2	REMOVAL OF CURB & GUTTER	LF	17,440	\$ 8.00	\$ 139,520.00
3	REMOVAL OF CONCRETE	ST	5,471	\$ 30.00	\$ 164,130.00
4	REMOVAL OF BITUMINOUS SURFACING	SY	16,745	\$ 13.00	\$ 217,685.00
5	SUBGRADE PREPARATION	SY	-	\$ 7.00	\$ -
6	SUBGRADE PREPARATION - ASPHALT REPAIR	SY	17,120	\$ 13.00	\$ 222,560.00
7	GEOSYNTHETIC MATERIAL TYPE R1	SY	17,120	\$ 9.00	\$ 154,080.00
8	AGGREGATE BASE COURSE - CL. 5	CY	4,091	\$ 110.00	\$ 450,010.00
9	CURB & GUTTER	LF	17,440	\$ 65.00	\$ 1,133,600.00
10	CONCRETE SIDEWALK	SY	5,341	\$ 130.00	\$ 694,330.00
11	CONCRETE DRIVEWAY 6IN	SY	1,031	\$ 180.00	\$ 185,580.00
12	CONCRETE VALLEY GUTTER	SY	558	\$ 215.00	\$ 119,970.00
13	DETECTABLE WARNING PANEL	SF	650	\$ 40.00	\$ 26,000.00
14	DETECTABLE WARNING PANEL - SURFACE APPLIED	SF	20	\$ 40.00	\$ 800.00
15	SIDEWALK - TRENCH DRAIN	EA	1	\$ 5,500.00	\$ 5,500.00
16	MILLING PAVEMENT SURFACE	SY	42,970	\$ 7.00	\$ 300,790.00
17	ADJUST MANHOLE	EA	57	\$ 2,000.00	\$ 114,000.00
18	ADJUST GATE VALVE BOX	EA	47	\$ 1,500.00	\$ 70,500.00
19	ADJUST INLET	EA	21	\$ 500.00	\$ 10,500.00
20	ASPHALT REPAIR	TON	3,812	\$ 270.00	\$ 1,029,240.00
21	ASPHALT PAVEMENT	TON	5,951	\$ 220.00	\$ 1,309,220.00
22	FLAGGING	MH	985	\$ 80.00	\$ 78,800.00
23	TRAFFIC CONTROL	LS	1	\$ 120,000.00	\$ 120,000.00
Construction Subtotal					\$ 7,258,174.00

5% Contingency	\$ 362,908.70
<b>Opinion of Construction Cost</b>	<b>\$ 7,621,082.70</b>

September 11, 2024  
KLJ Project No. 2304-01041


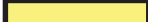








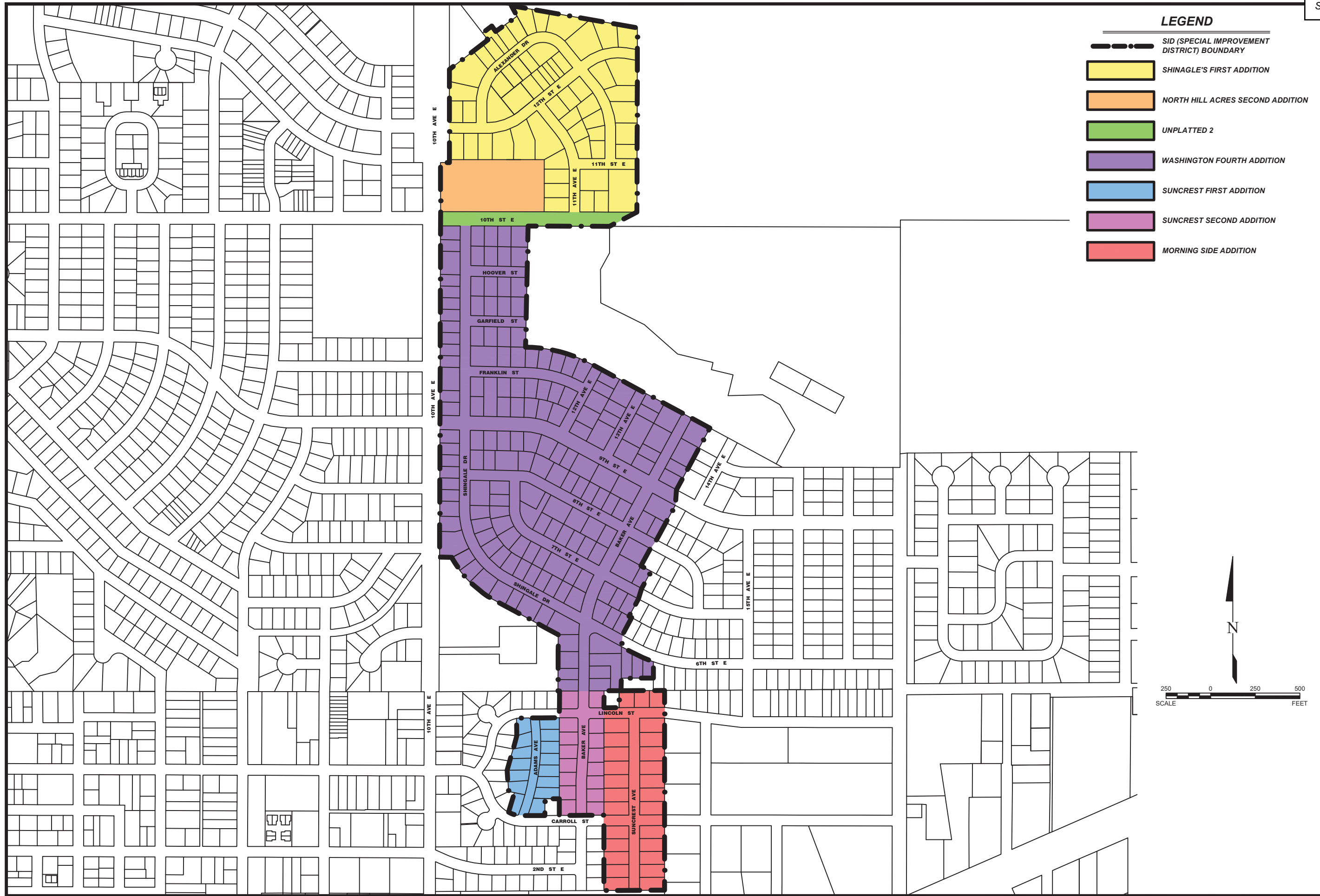
# APPENDIX 3

SID No. 202501-1 Packet:  
District Map, Plan Drawings and  
Assessment Table



**LEGEND**

-  SID (SPECIAL IMPROVEMENT DISTRICT) BOUNDARY
-  SHINAGLE'S FIRST ADDITION
-  NORTH HILL ACRES SECOND ADDITION
-  UNPLATTED 2
-  WASHINGTON FOURTH ADDITION
-  SUNCREST FIRST ADDITION
-  SUNCREST SECOND ADDITION
-  MORNING SIDE ADDITION

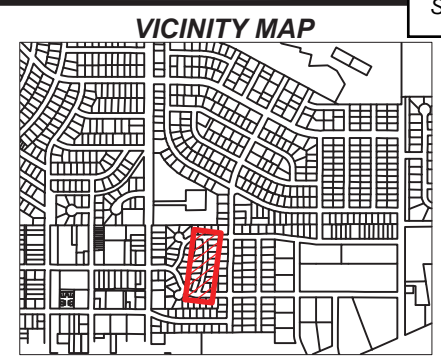


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MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - DISTRICT MAP

SHEET  
1



**LEGEND**

- MATCH LINE
- SID CONCRETE SIDEWALK
- SID CONCRETE DRIVEWAY 6"
- SID CURB & GUTTER
- NON-SID CONCRETE
- EXISTING GATE VALVE
- EXISTING MANHOLE
- EXISTING INLET

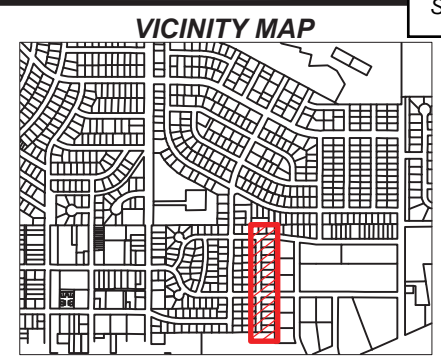
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ISSUE DATE	9/11/2024



**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
**SID NO. 202501-1 - ADAMS AVENUE**

SHEET  
**60-1**

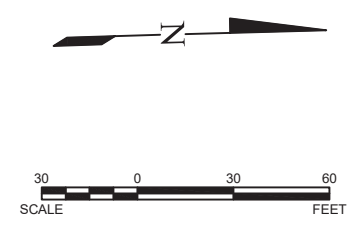
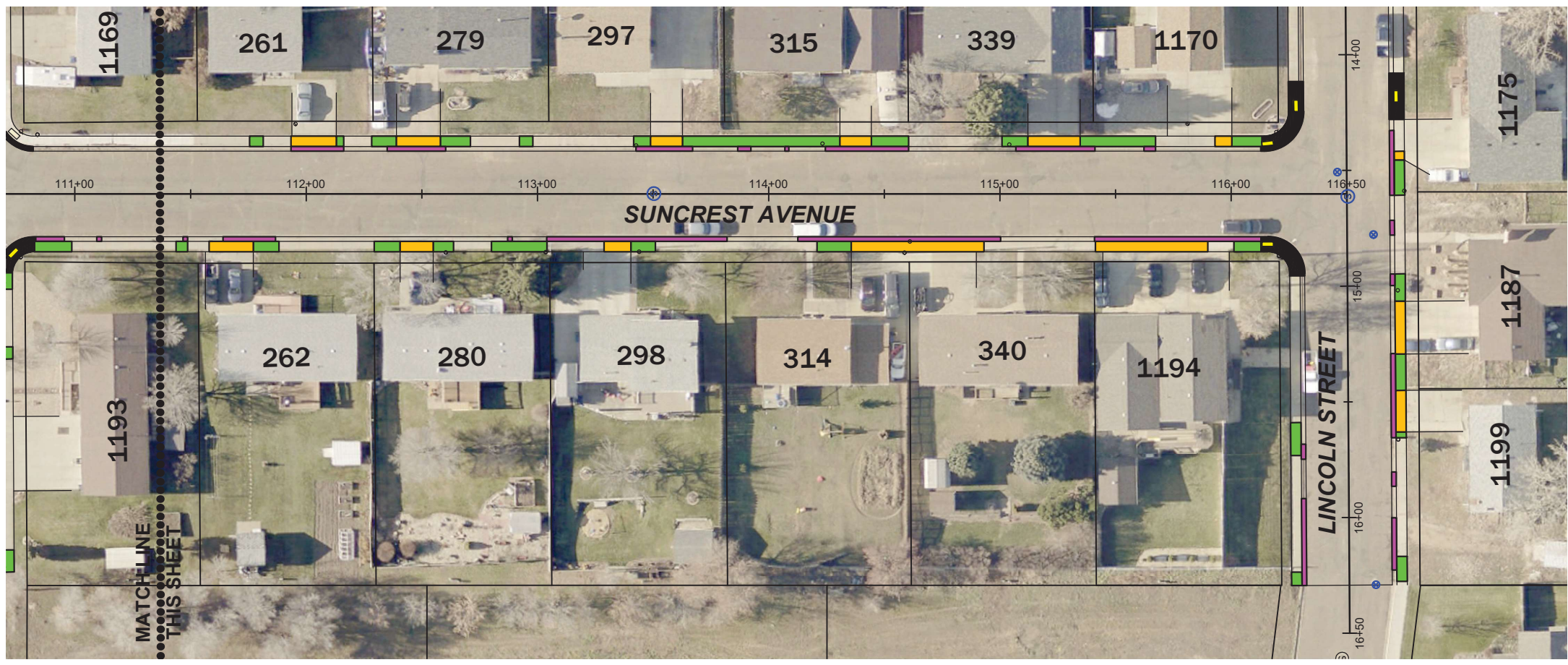
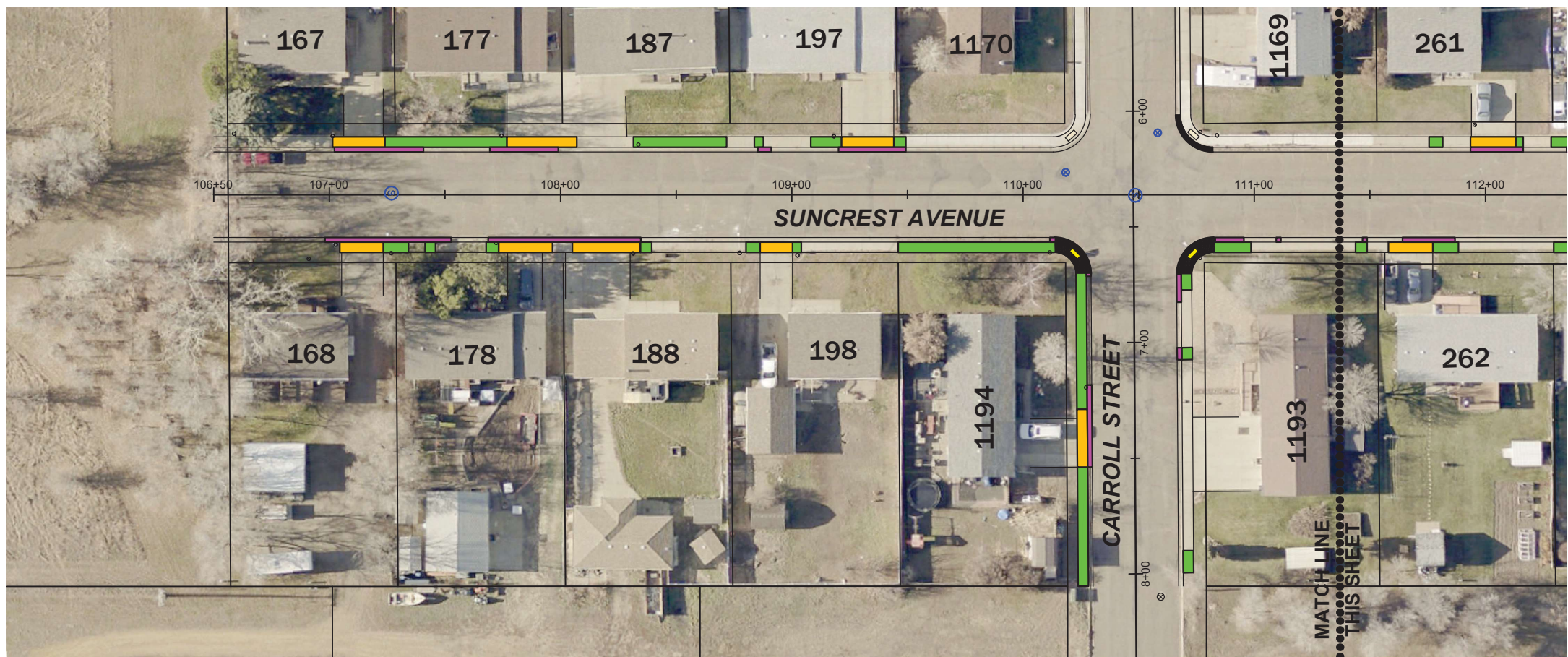


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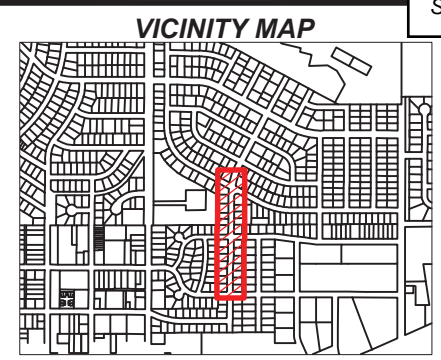
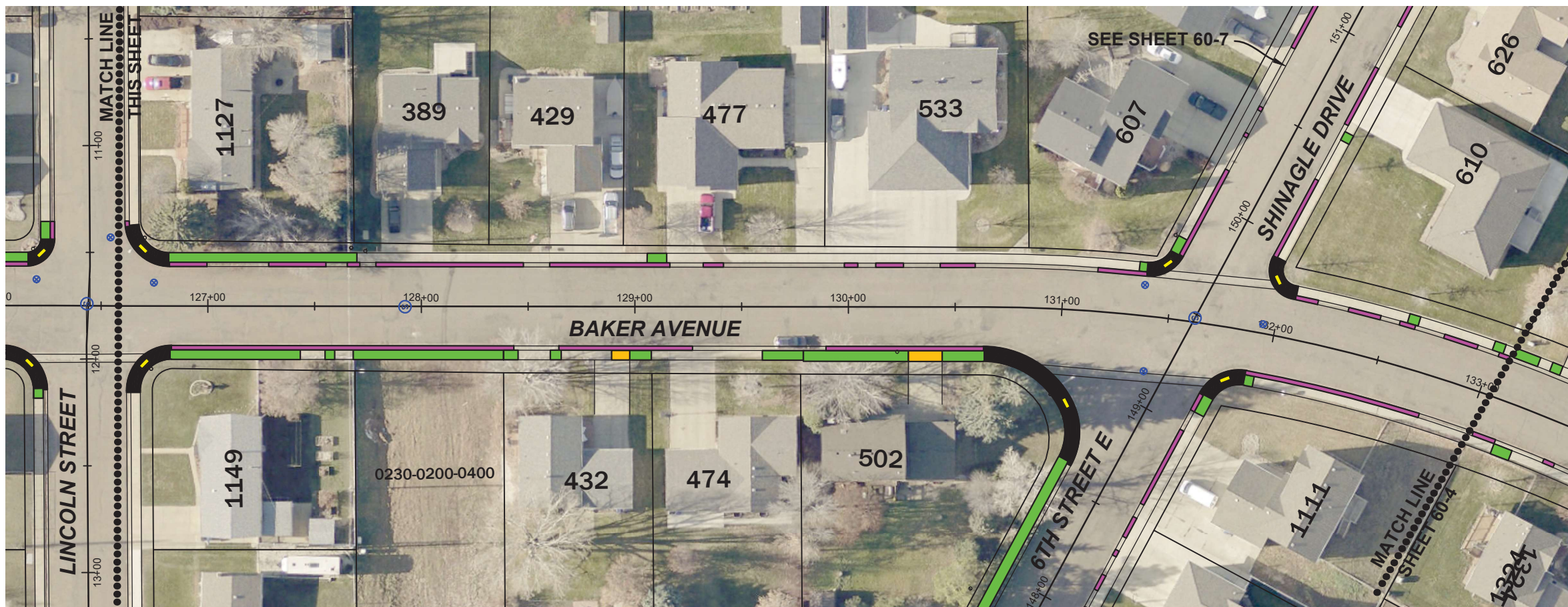
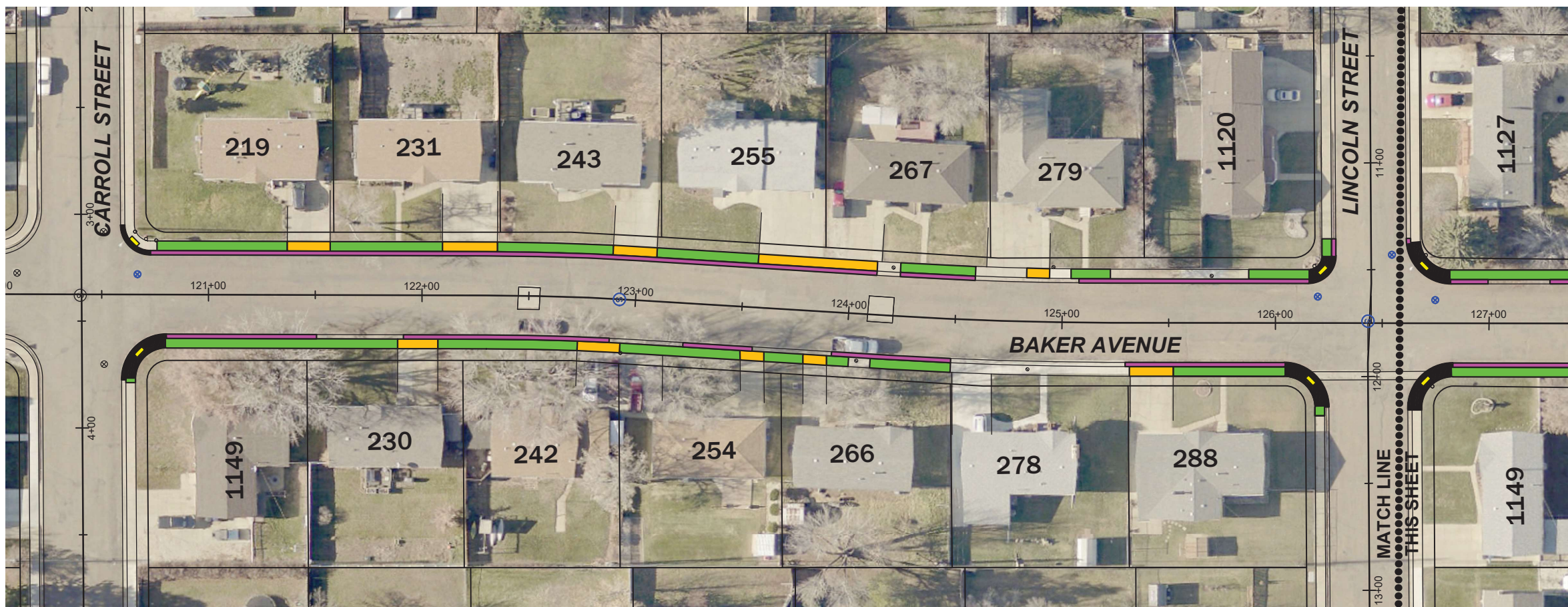
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- █ NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓛ EXISTING INLET

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ISSUE DATE	9/11/2024

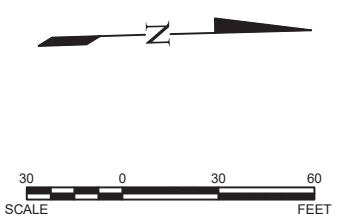


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 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - SUNCREST AVENUE



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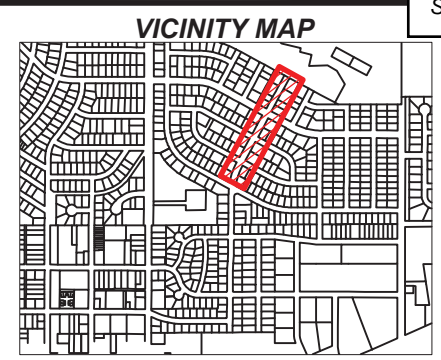
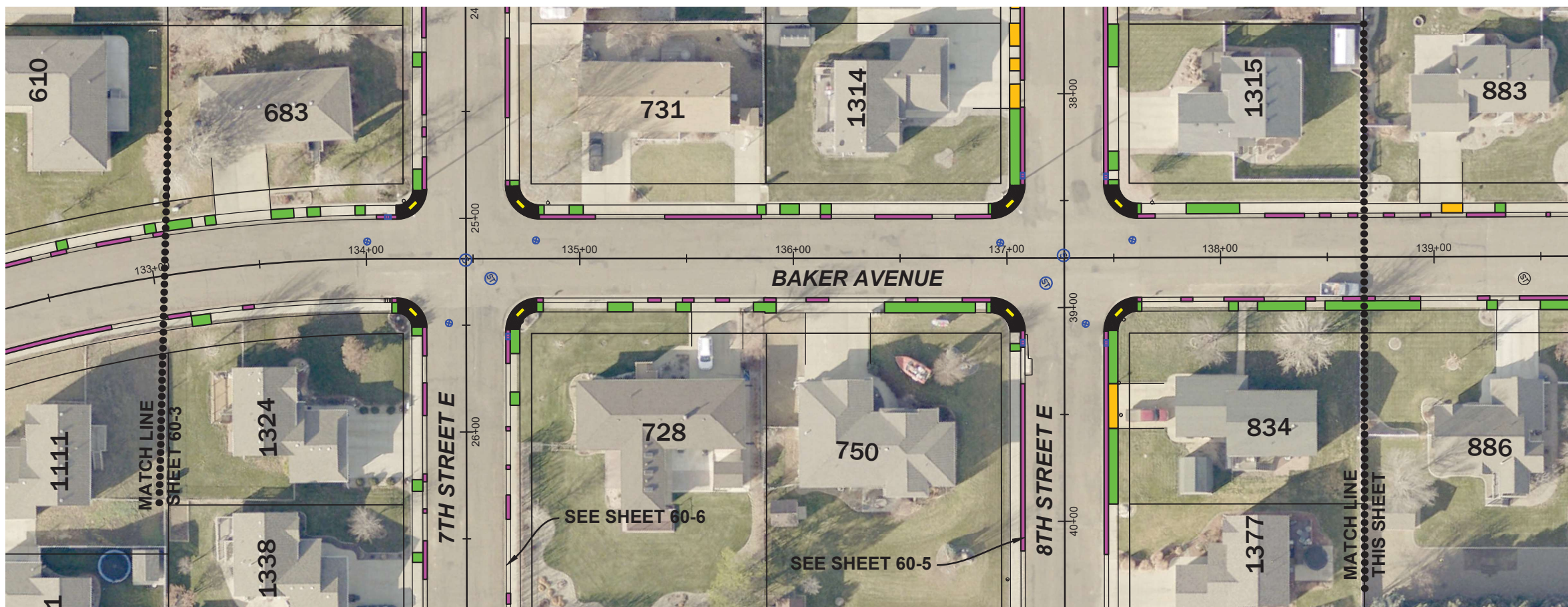
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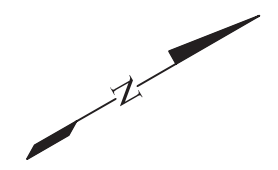
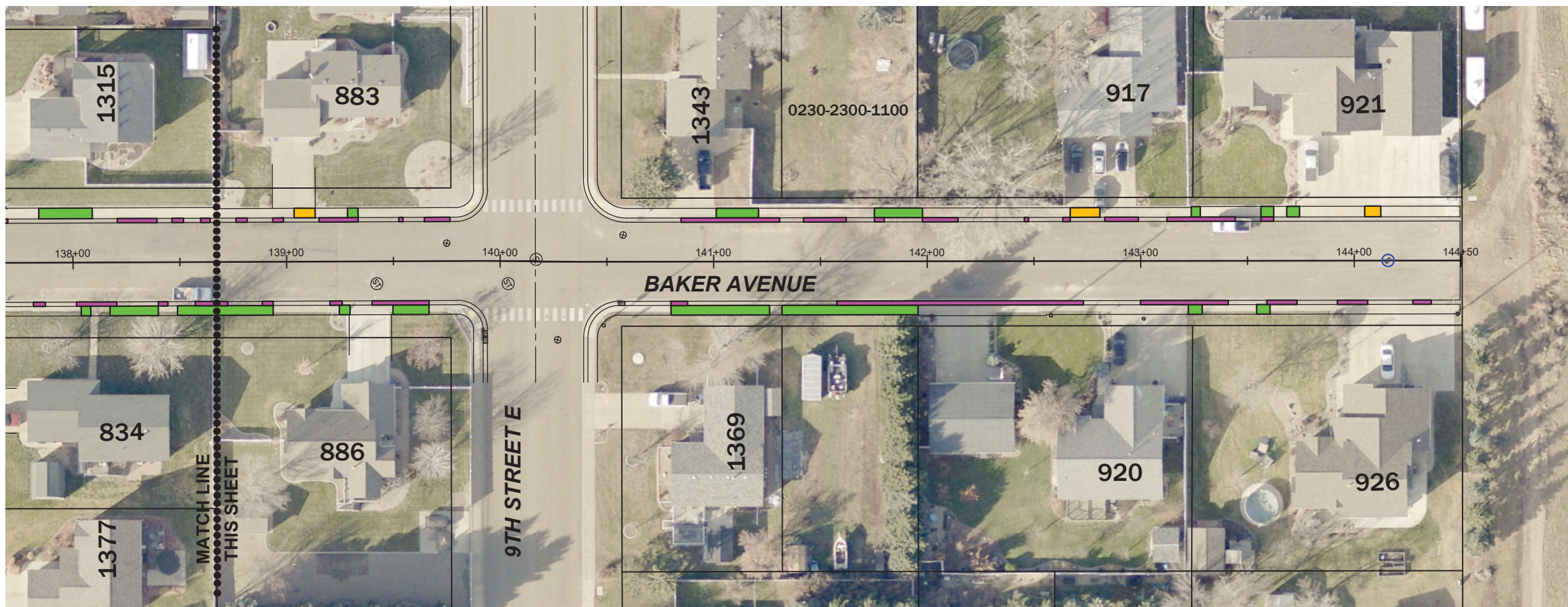
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 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - BAKER AVE (1)

SHEET 60-3



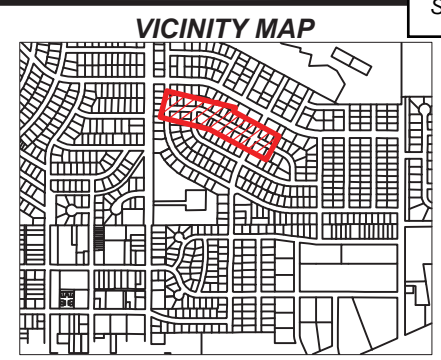
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- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓛ EXISTING INLET



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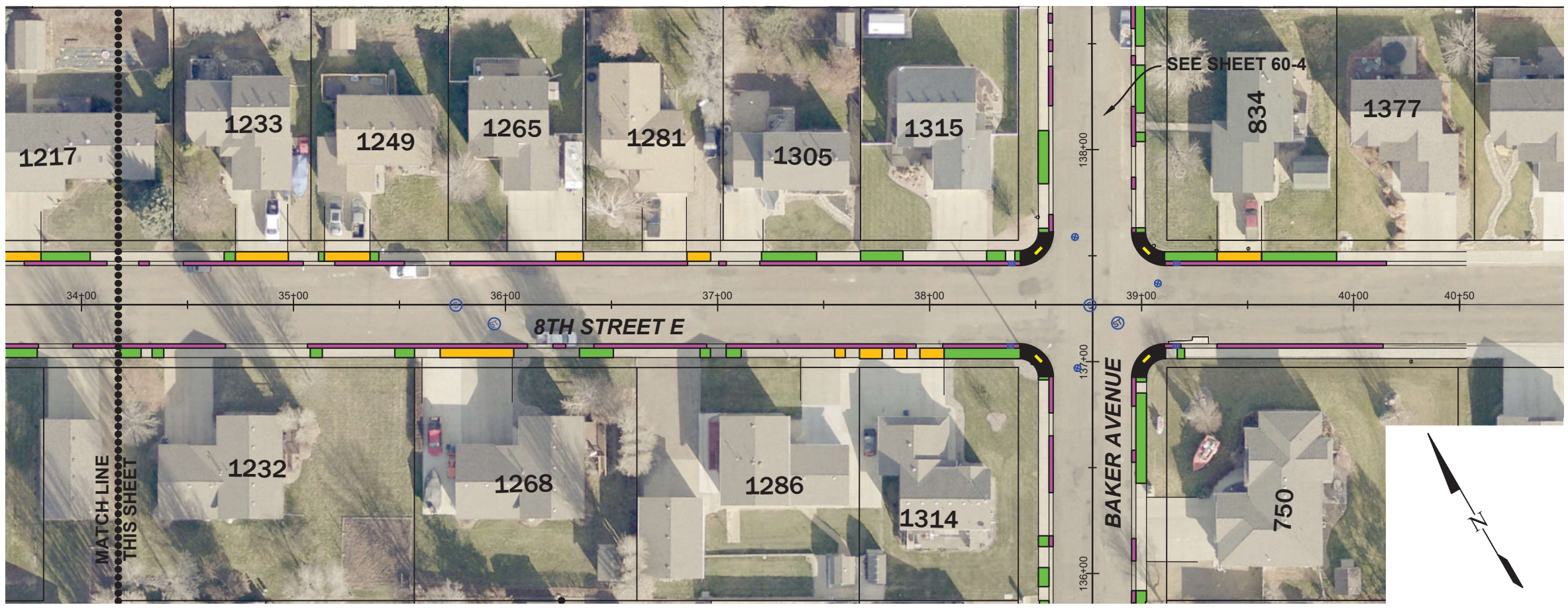
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 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - BAKER AVE (2)



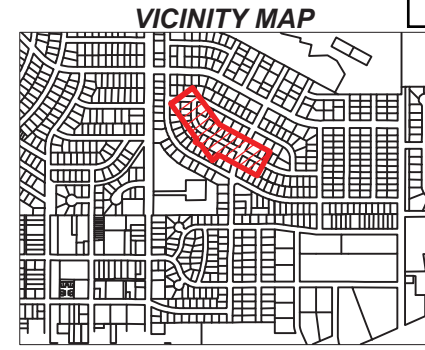
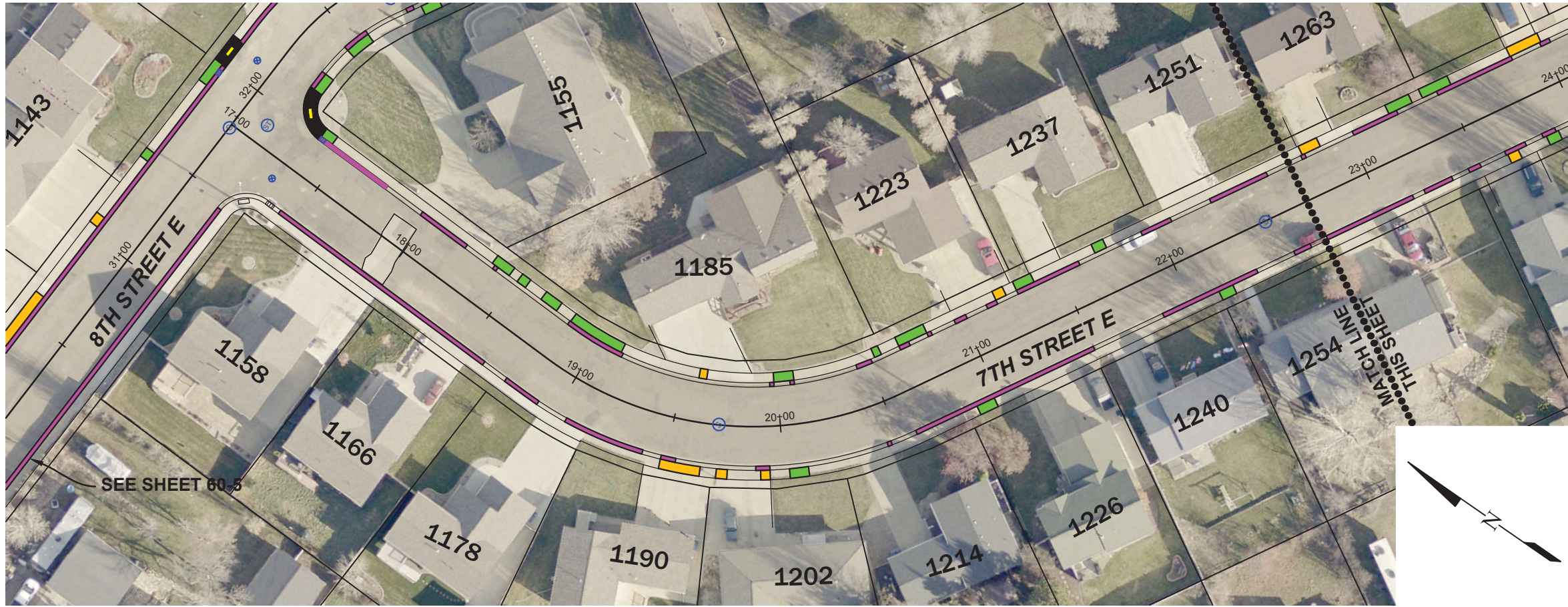
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- Ⓛ EXISTING INLET

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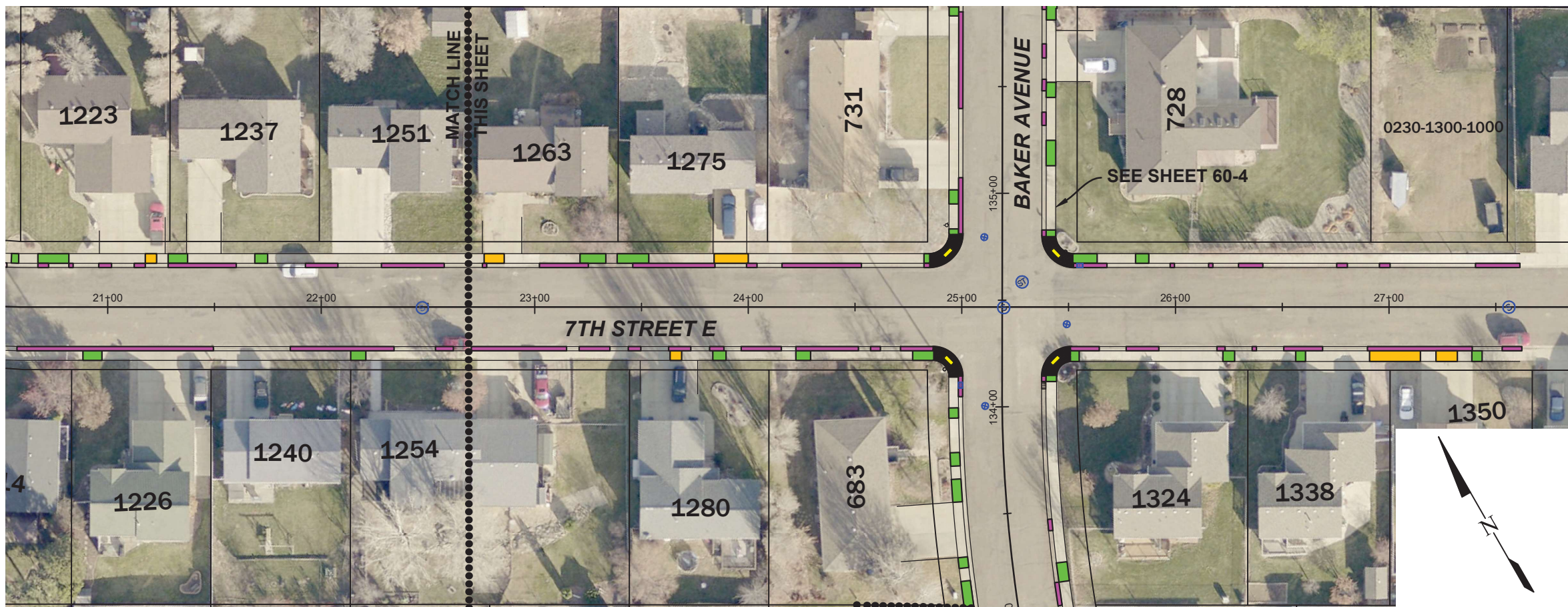


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 DICKINSON, NORTH DAKOTA  
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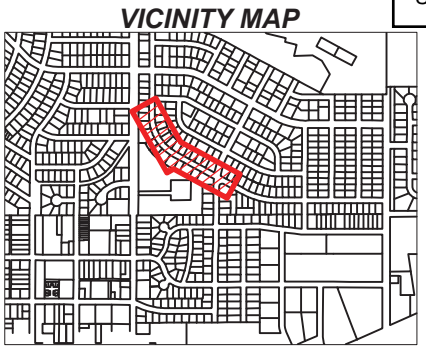
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- EXISTING MANHOLE
- EXISTING INLET



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		ISSUE DATE 9/11/2024

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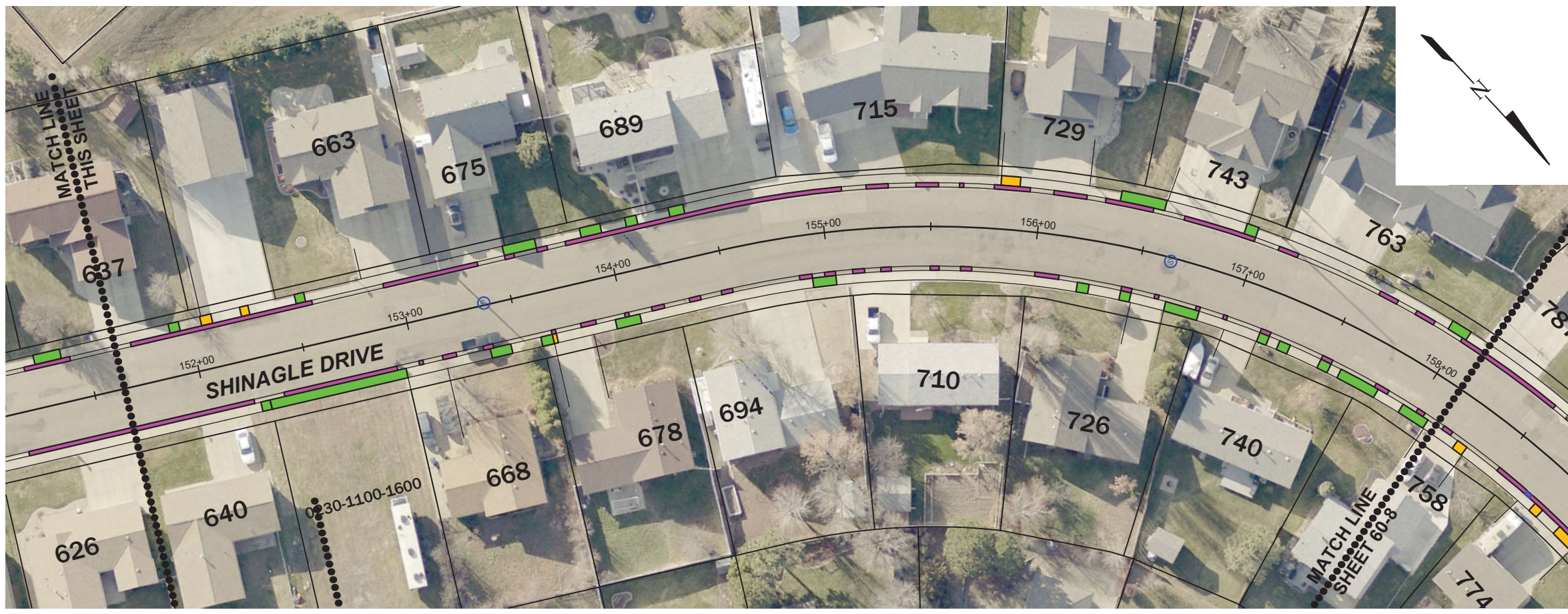
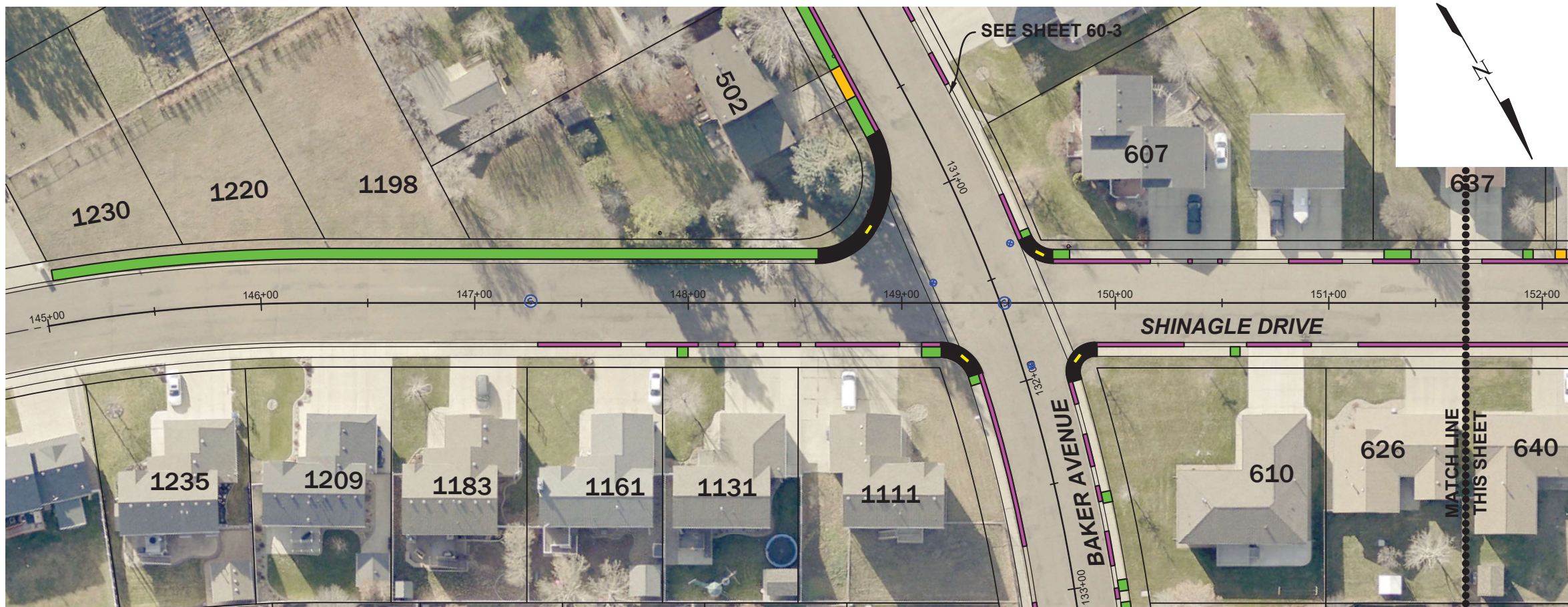
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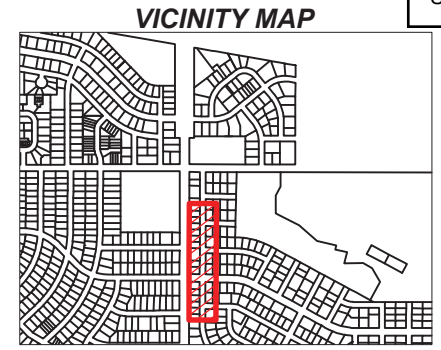
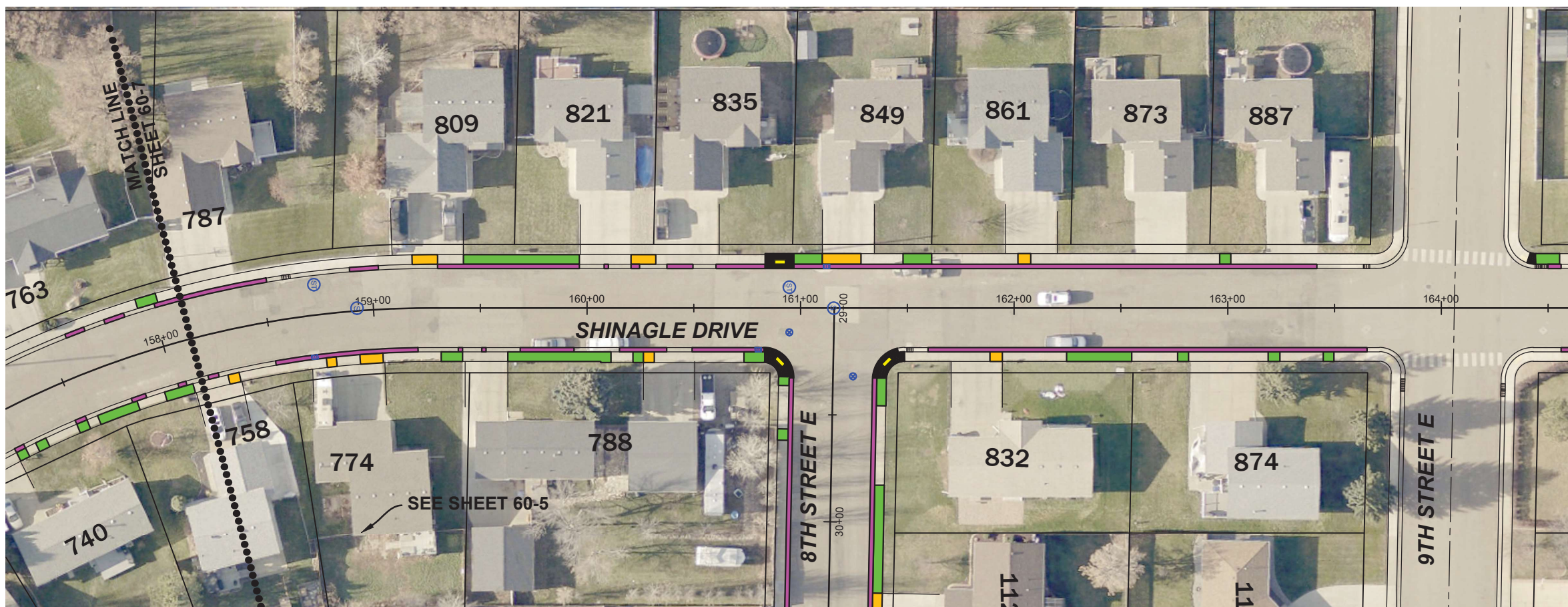
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PROJECT NUMBER	2404-00273	
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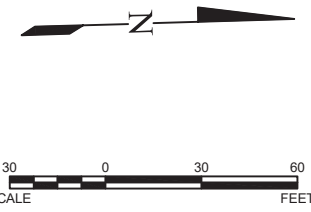
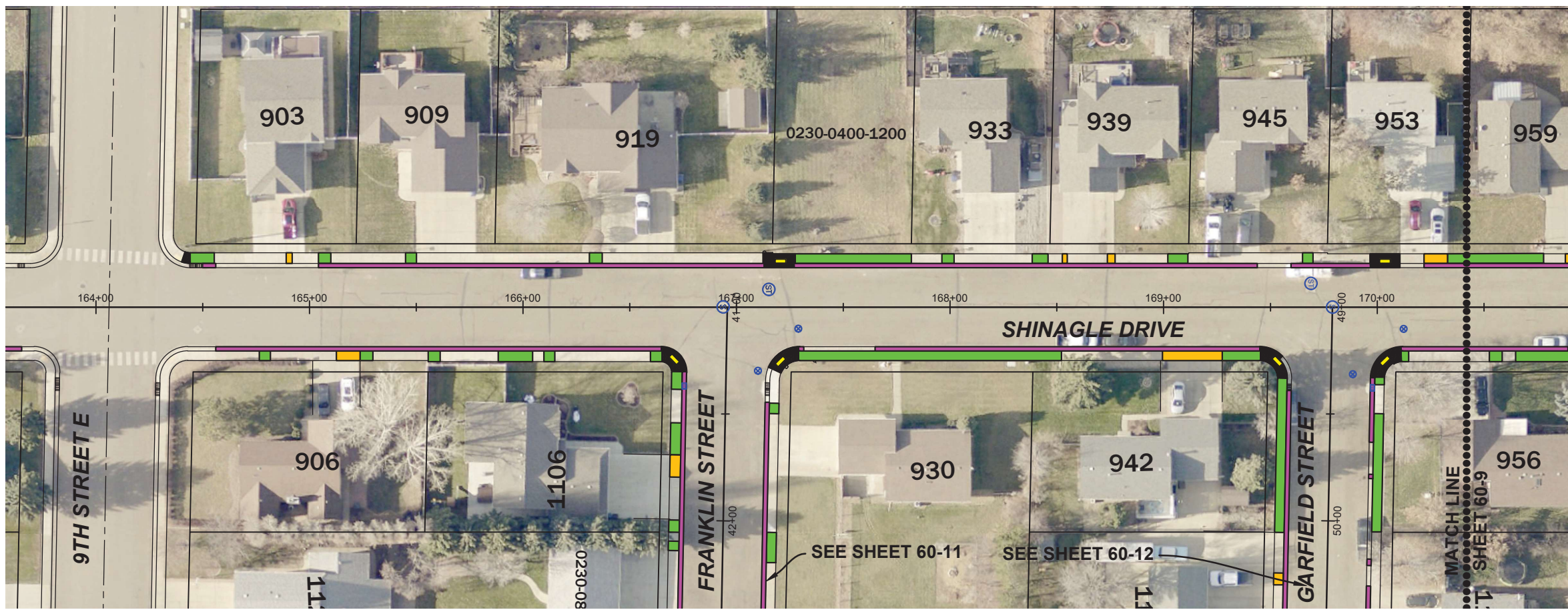


**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - SHINAGLE DRIVE (1)



LEGEND

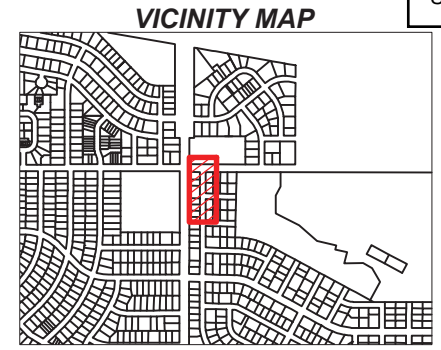
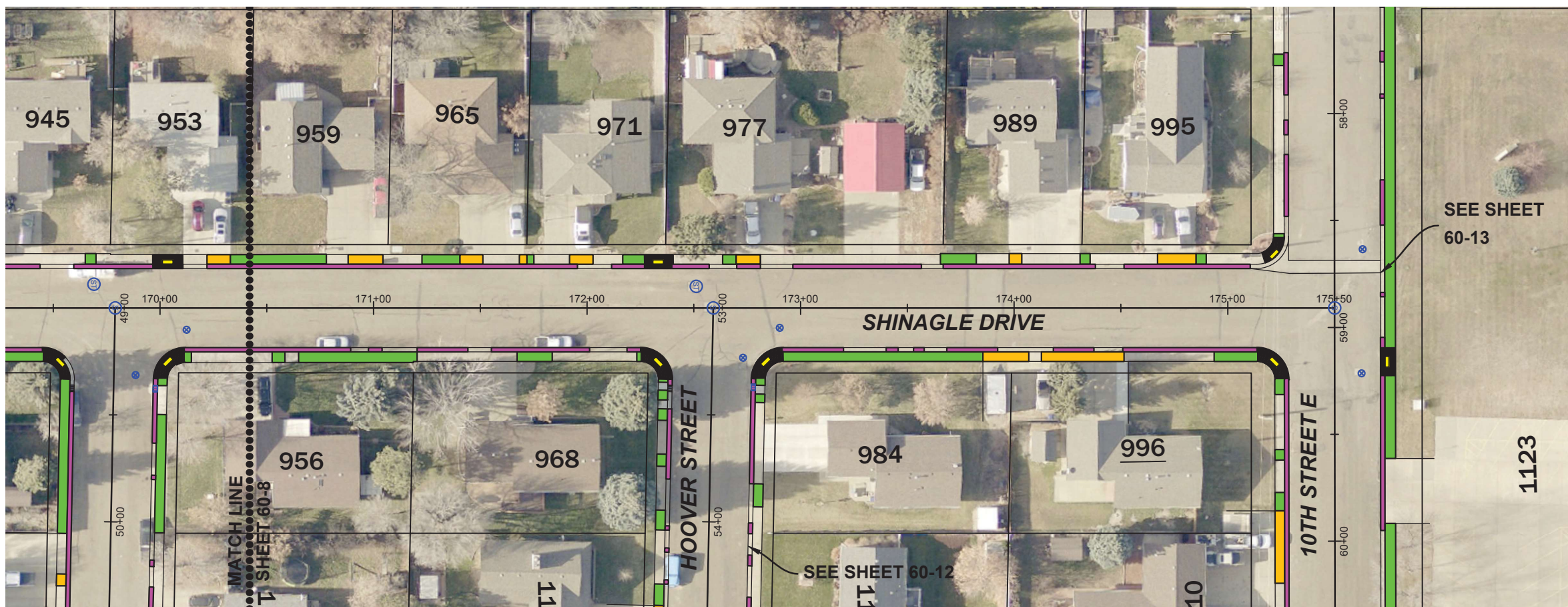
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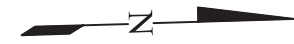
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DRAFTED	MJS	
REVIEWED	JSK	
PROJECT NUMBER	2404-00273	
ISSUE DATE	9/11/2024	

**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - SHINAGLE DRIVE (2)

SHEET  
 60-8



- LEGEND**
- MATCH LINE
  - [Green Box] SID CONCRETE SIDEWALK
  - [Yellow Box] SID CONCRETE DRIVEWAY 6"
  - [Purple Box] SID CURB & GUTTER
  - [Black Box] NON-SID CONCRETE
  - ⊗ EXISTING GATE VALVE
  - (S) (ST) EXISTING MANHOLE
  - [Blue Box] EXISTING INLET

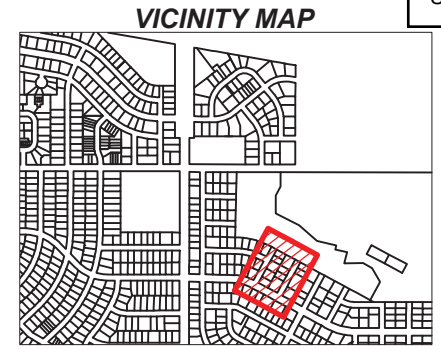
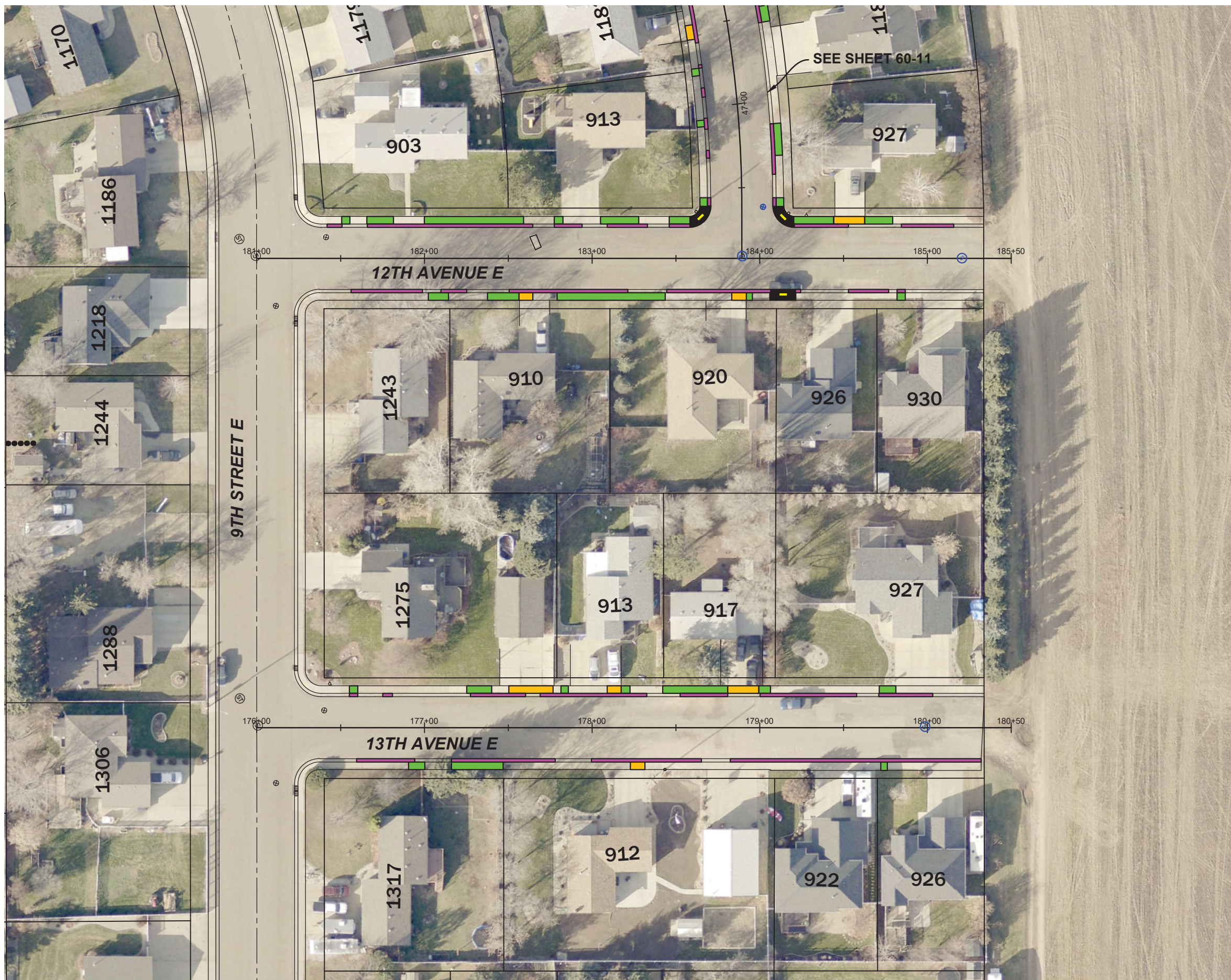


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MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

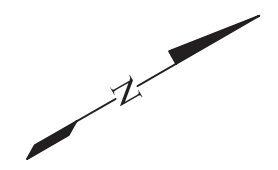
**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - SHINAGLE DRIVE (3)

SHEET  
60-9



LEGEND

- MATCH LINE
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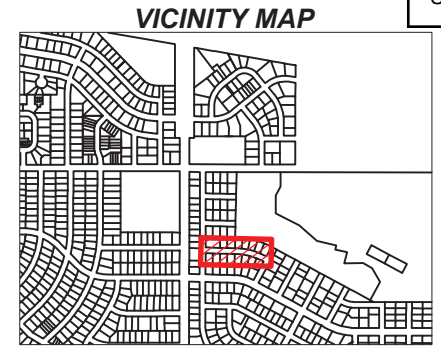
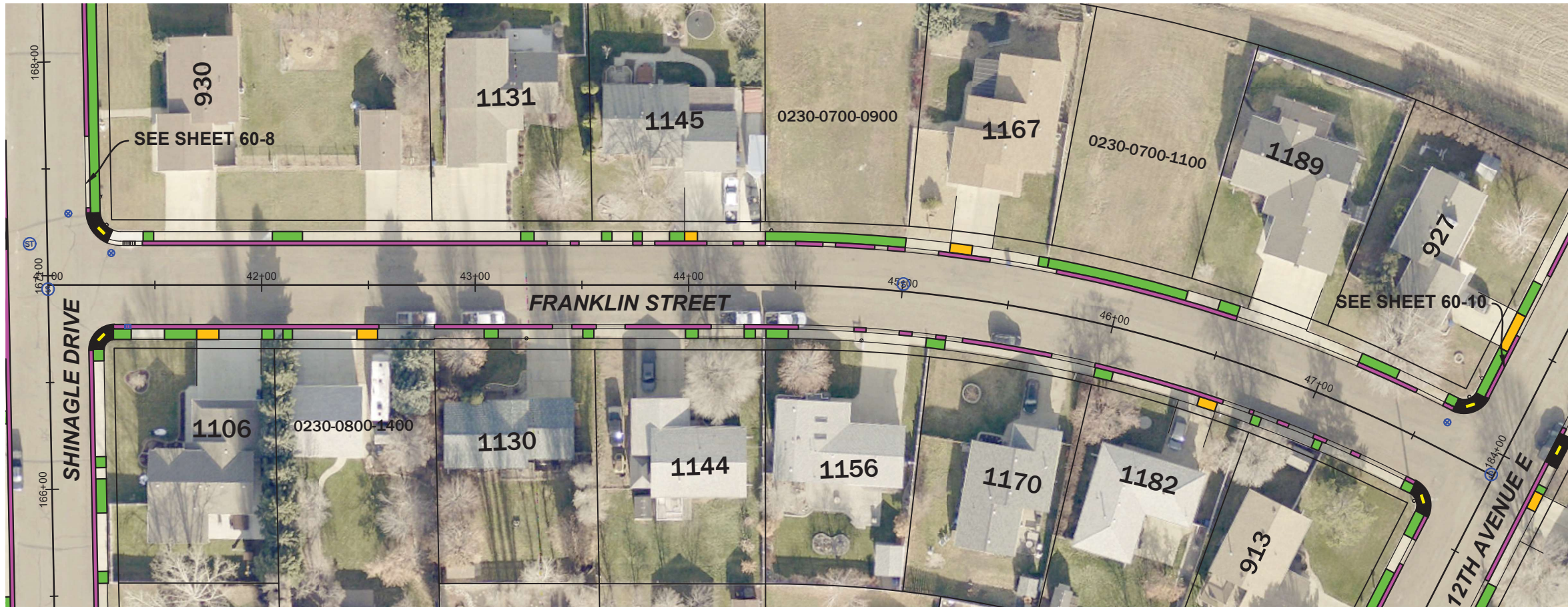


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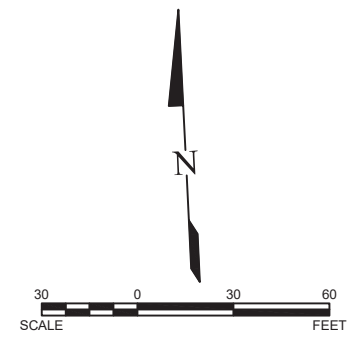
**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - 12TH AVENUE E & 13TH AVENUE E

SHEET  
60-10



**LEGEND**

- MATCH LINE
- █ SID CONCRETE SIDEWALK
- █ SID CONCRETE DRIVEWAY 6"
- █ SID CURB & GUTTER
- █ NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓛ EXISTING INLET

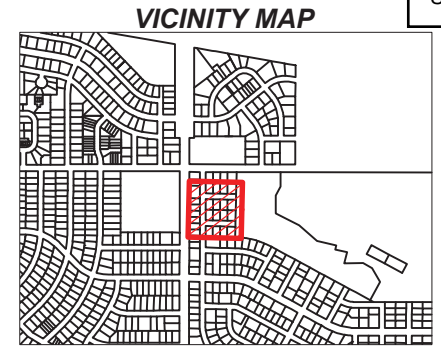


NO.	DATE	REVISION

DRAFTED  
MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

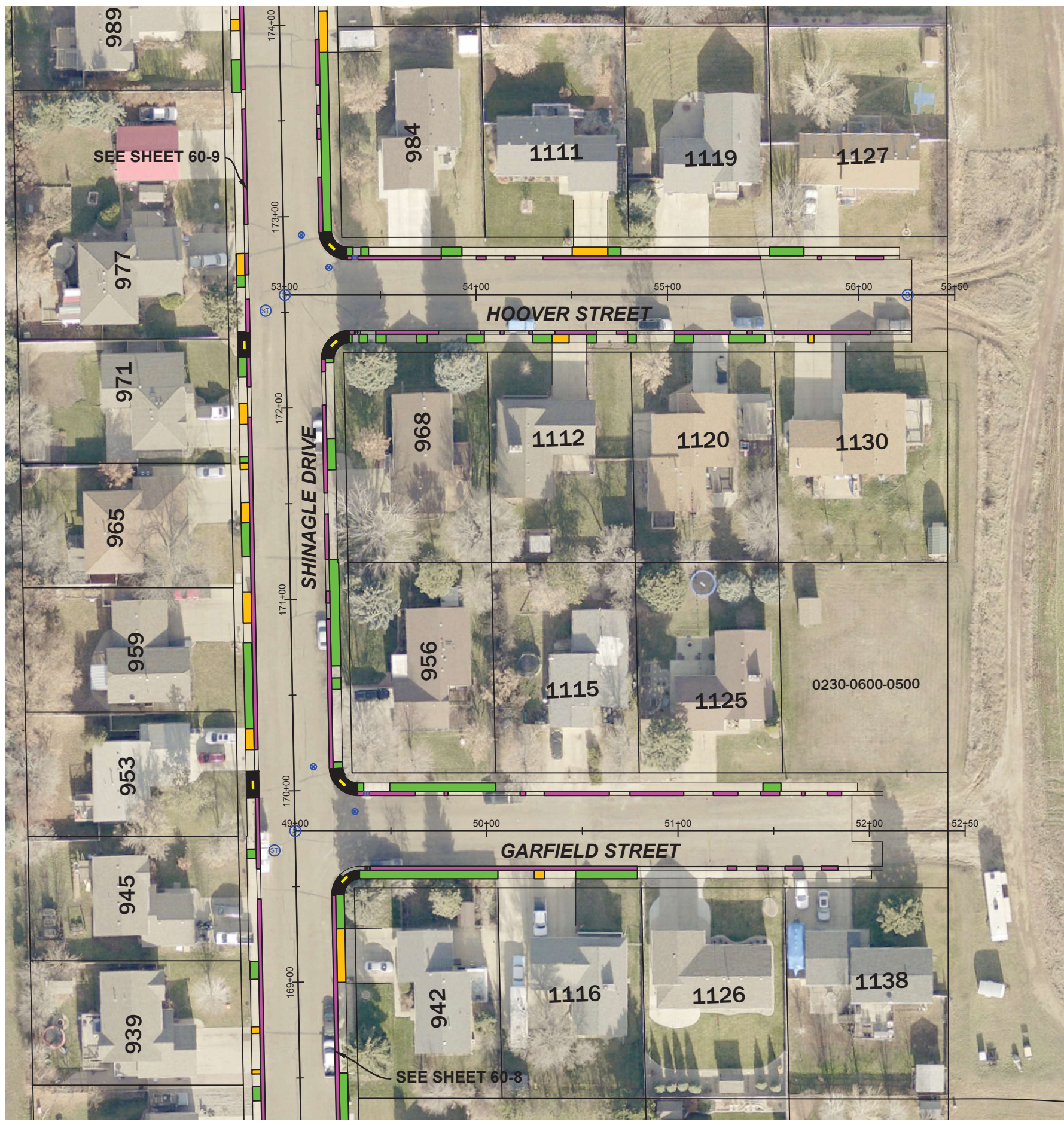
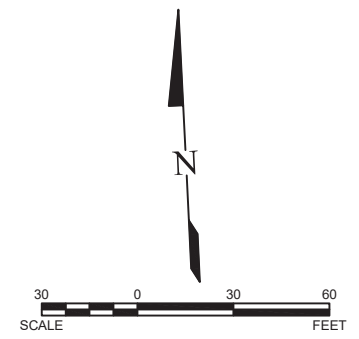
**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - FRANKLIN STREET

SHEET  
60-11



**LEGEND**

- MATCH LINE
- SID CONCRETE SIDEWALK
- SID CONCRETE DRIVEWAY 6"
- SID CURB & GUTTER
- NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- EXISTING INLET



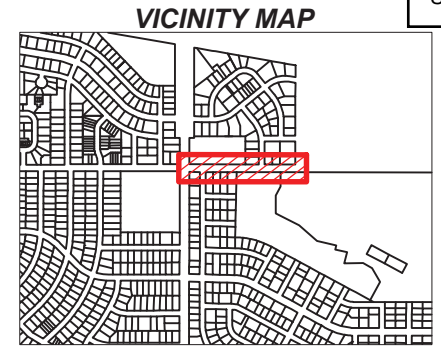
NO.	DATE	REVISION

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MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA

SID NO. 202501-1 - GARFIELD STREET & HOOVER STREET

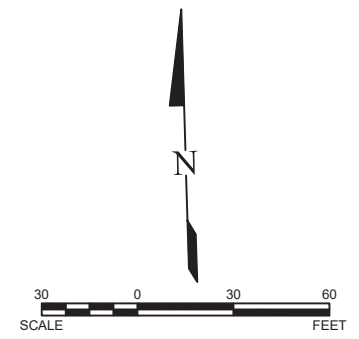
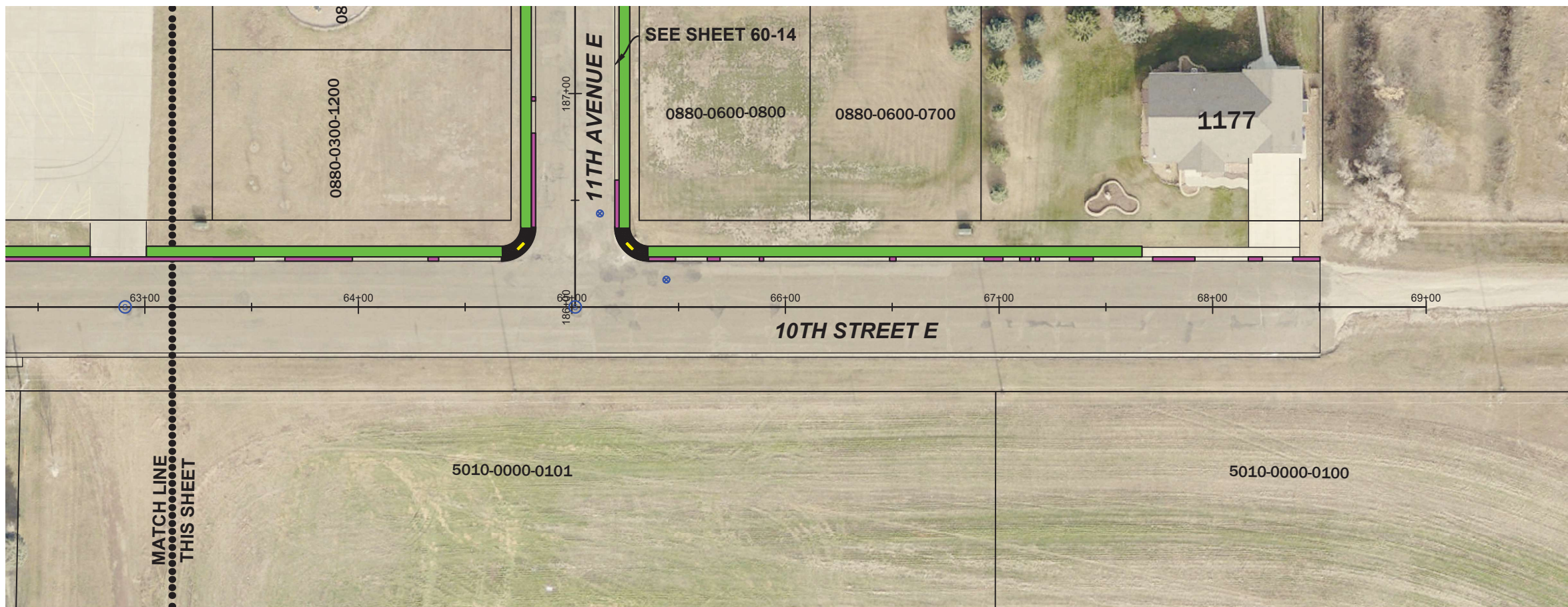
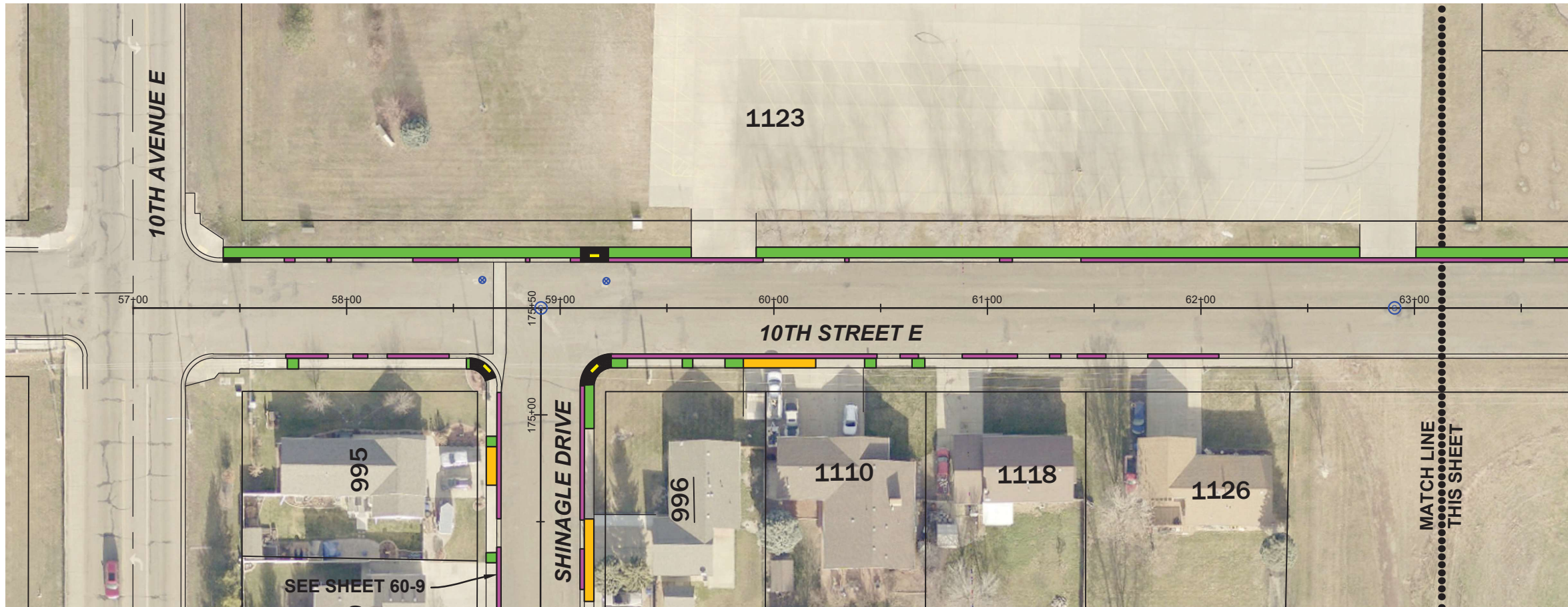
SHEET  
60-12



**LEGEND**

- MATCH LINE
- █ SID CONCRETE SIDEWALK
- █ SID CONCRETE DRIVEWAY 6"
- █ SID CURB & GUTTER
- █ NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓛ EXISTING INLET

NO.	DATE	REVISION
		DRAFTED MJS
		REVIEWED JSK
		PROJECT NUMBER 2404-00273
		ISSUE DATE 9/11/2024

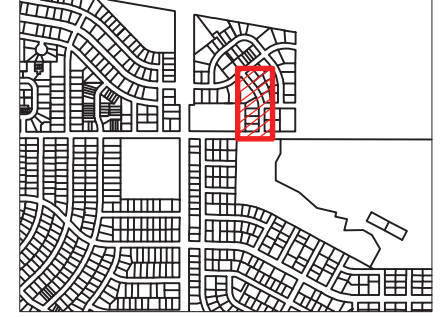


**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - 10TH STREET E

SHEET  
**60-12**

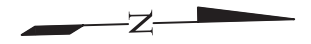


VICINITY MAP



LEGEND

- MATCH LINE
- █ SID CONCRETE SIDEWALK
- █ SID CONCRETE DRIVEWAY 6"
- █ SID CURB & GUTTER
- █ NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓜ EXISTING INLET



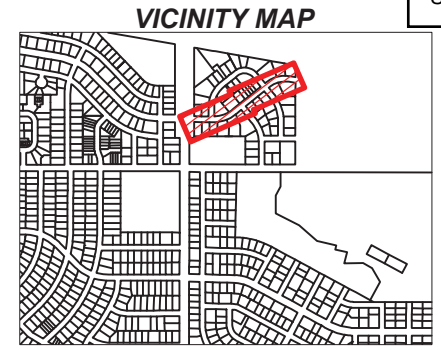
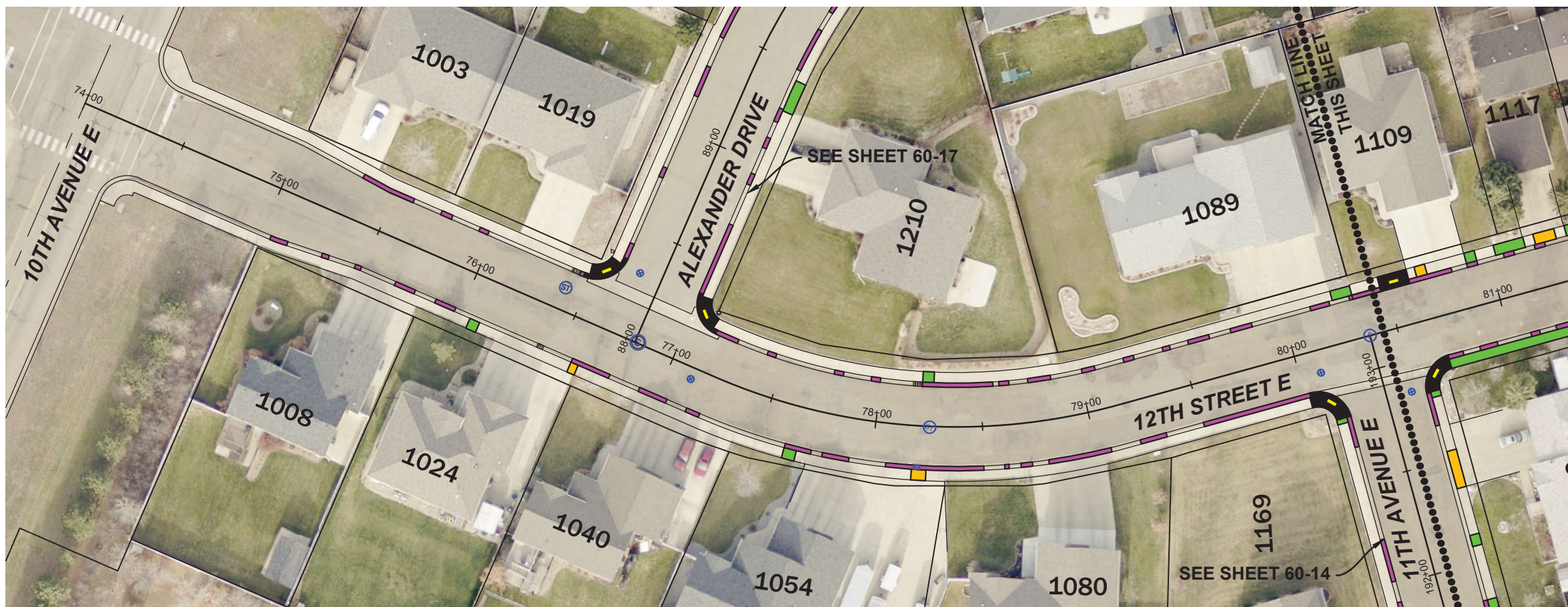
NO.	DATE	REVISION

DRAFTED  
MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - 11TH AVENUE E

SHEET  
60-14



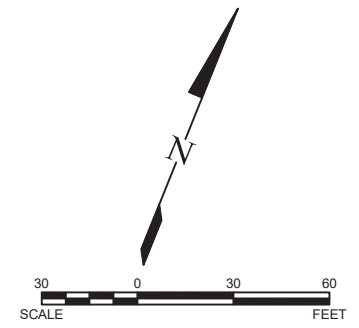
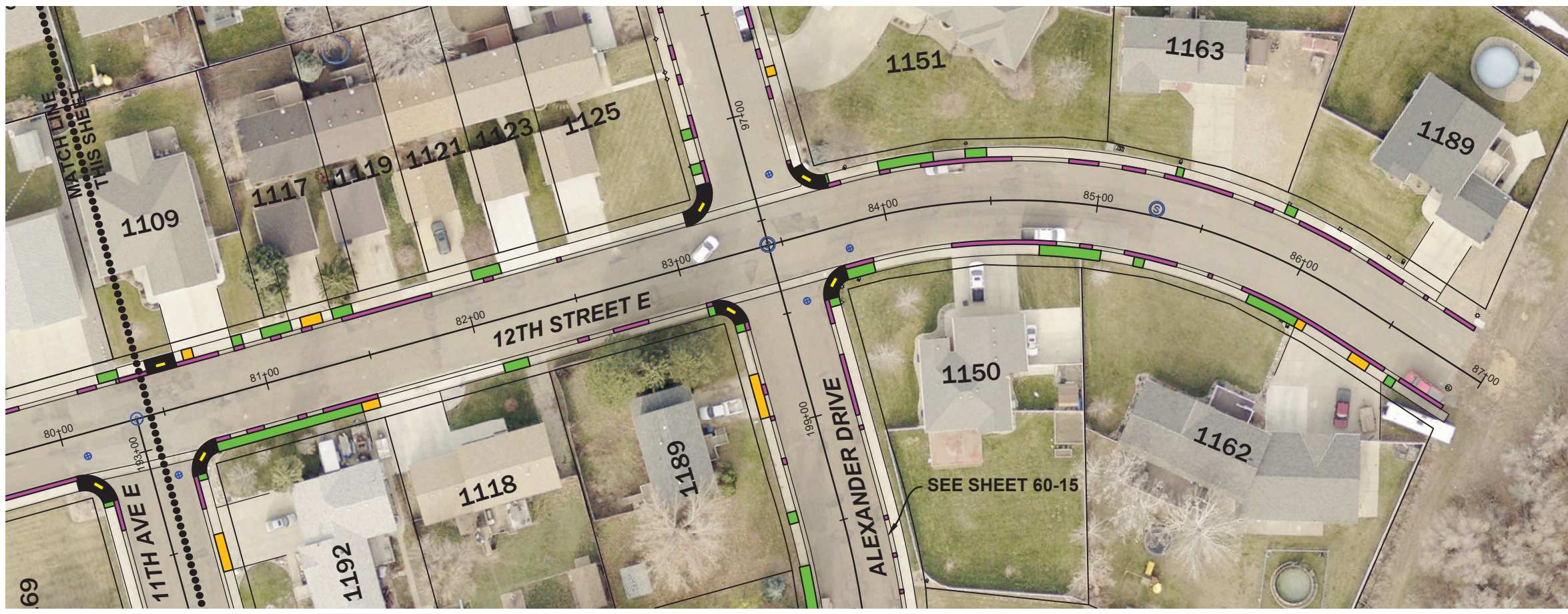


**LEGEND**

- MATCH LINE
- █ SID CONCRETE SIDEWALK
- █ SID CONCRETE DRIVEWAY 6"
- █ SID CURB & GUTTER
- █ NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- Ⓛ EXISTING INLET

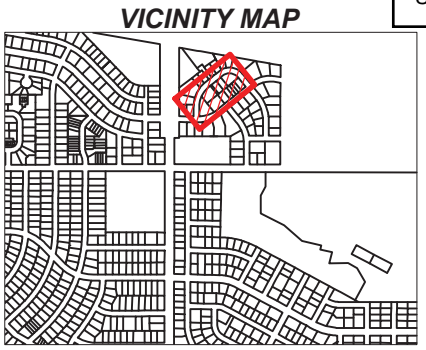
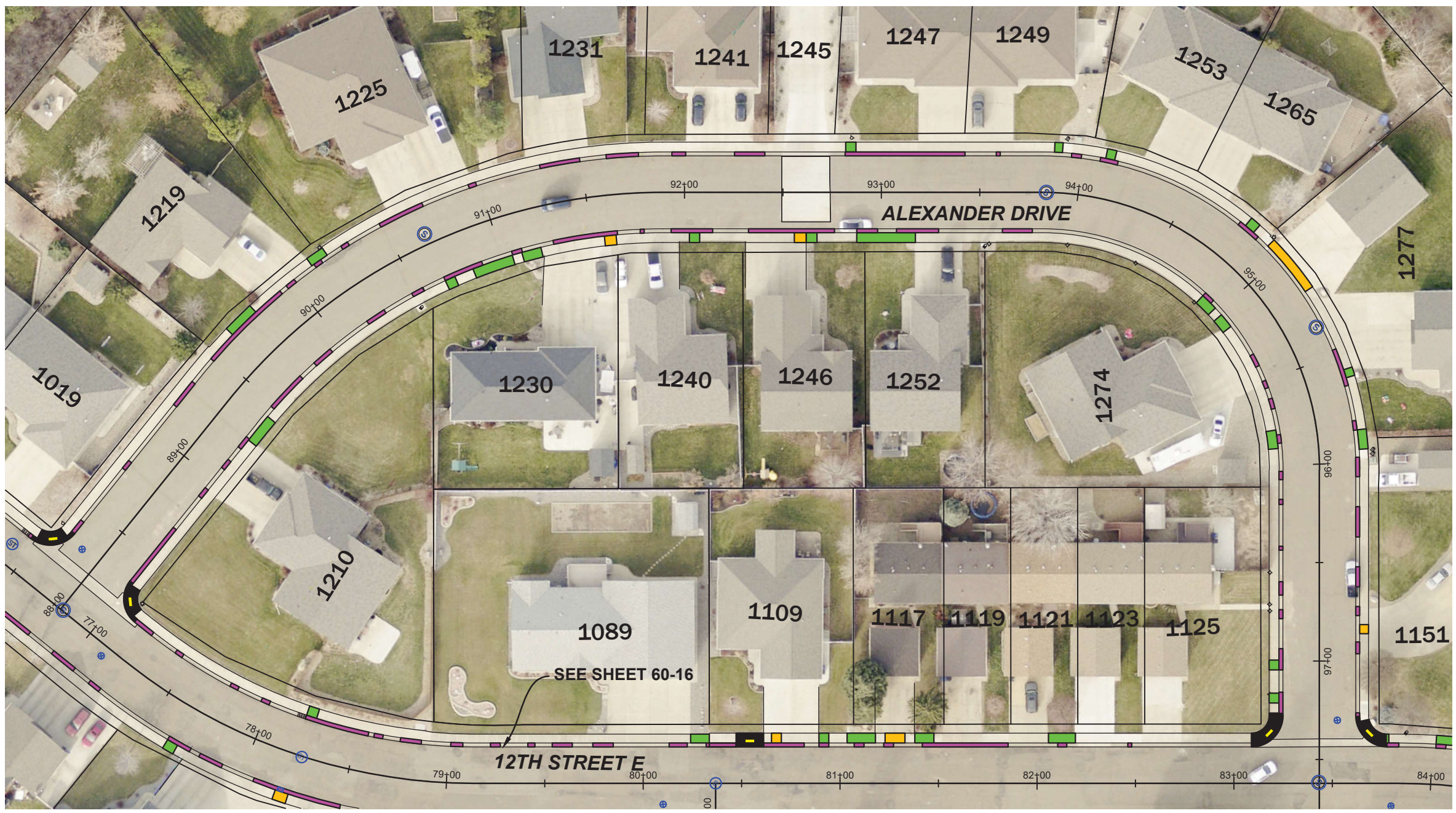
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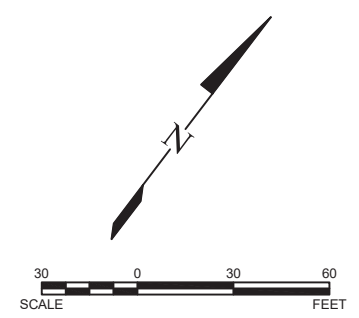
**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - 12TH STREET E

SHEET  
60-16



**LEGEND**

- MATCH LINE
- SID CONCRETE SIDEWALK
- SID CONCRETE DRIVEWAY 6"
- SID CURB & GUTTER
- NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- EXISTING INLET



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MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - ALEXANDER DRIVE

SHEET  
60-17

DICKINSON 2025 ROAD MAINTENANCE (202501)

SID NO. 202501

COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY

PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
0260-0200-0700	1	OWEN, WALTER L.	221	ADAMS AVENUE	LOT 7, BLOCK 2, SUNCREST ADDITION	57.8	0.0	119.5	119.5	46.0	11.8	\$ 17,502.80
0260-0200-0600	1	JOHNSON, BRAD L. & DARIANNE	233	ADAMS AVENUE	LOT 6, BLOCK 2, SUNCREST ADDITION	36.9	0.0	83.0	83.0	29.0	7.9	\$ 11,650.40
0260-0200-0500	1	BROVOLD, JAY & JACQUELINE	243	ADAMS AVENUE	LOT 5, BLOCK 2, SUNCREST ADDITION	30.2	0.0	60.5	60.5	21.3	8.9	\$ 9,163.70
0260-0200-0400	1	SYKORA, LORRAINE (LE)	253	ADAMS AVENUE	LOT 4, BLOCK 2, SUNCREST ADDITION	33.4	0.0	67.0	67.0	23.9	9.6	\$ 10,139.40
0260-0200-0300	1	MARTINES, JUSTIN & CHARID	263	ADAMS AVENUE	LOT 3, BLOCK 2, SUNCREST ADDITION	35.3	0.0	70.5	70.5	25.2	10.1	\$ 10,679.80
0260-0200-0200	1	FULTON, SHEILA	275	ADAMS AVENUE	LOT 2, BLOCK 2, SUNCREST ADDITION	40.3	0.0	81.0	81.0	23.7	16.7	\$ 12,523.80
0260-0200-0100	1	NA PROPERTIES, INC.	289	ADAMS AVENUE	LOT 1, BLOCK 2, SUNCREST ADDITION	32.7	0.0	65.5	65.5	23.4	9.2	\$ 9,885.70
0260-0300-0900	1	BREN, DONALD J. & KATHLEEN	1101	CARROLL STREET	LOT 9, BLOCK 3, SUNCREST ADDITION	45.7	0.0	91.0	91.0	45.7	0.0	\$ 13,088.70
0260-0300-0700	1	HEIDT, PAUL G. & BETTY	230	ADAMS AVENUE	LOT 7, BLOCK 3, SUNCREST ADDITION	17.3	0.0	49.5	49.5	11.4	5.9	\$ 6,302.80
0260-0300-0600	1	KAINZ, WILLIAM A. & KIMBERLY G.	240	ADAMS AVENUE	LOT 6, BLOCK 3, SUNCREST ADDITION	0.0	0.0	39.0	39.0	0.0	0.0	\$ 2,652.00
0260-0300-0500	1	YPPARILA, ALYSSA MARIE	250	ADAMS AVENUE	LOT 5, BLOCK 3, SUNCREST ADDITION	30.2	0.0	64.0	64.0	19.0	11.2	\$ 9,528.20
0260-0300-0400	1	BALLOCH, STEPHEN A.	260	ADAMS AVENUE	LOT 4, BLOCK 3, SUNCREST ADDITION	32.6	0.0	65.0	65.0	24.2	8.3	\$ 9,787.10
0260-0300-0300	1	LEUENBERGER, WHITNEY L.	270	ADAMS AVENUE	LOT 3, BLOCK 3, SUNCREST ADDITION	34.0	0.0	68.0	68.0	29.2	4.8	\$ 10,022.00
0260-0300-0200	1	KONTZ, GREGORY R. & SUSAN E.	280	ADAMS AVENUE	LOT 2, BLOCK 3, SUNCREST ADDITION	33.3	0.0	66.5	66.5	28.0	5.3	\$ 9,841.80
0260-0300-0100	1	KUNTZ, GREGORY R.	1110	LINCOLN STREET	LOT 1, BLOCK 3, SUNCREST ADDITION	24.3	0.0	48.5	48.5	24.3	0.0	\$ 6,967.30
0270-0300-0500	1	HUGELN, DANIEL J. & CHRISTA R.	167	SUNCREST AVENUE	LOT 5, BLOCK 3, MORNINGSIDE ADDITION	13.6	0.0	26.5	26.5	2.2	11.3	\$ 4,465.10
0270-0300-0400	1	BREEN, MARK A. & ROXANNE G.	177	SUNCREST AVENUE	LOT 4, BLOCK 3, MORNINGSIDE ADDITION	36.2	0.0	42.0	42.0	24.2	12.0	\$ 8,982.20
0270-0300-0300	1	MENDIETA, SARAH & ISAAC GONZALEZ	187	SUNCREST AVENUE	LOT 3, BLOCK 3, MORNINGSIDE ADDITION	23.3	0.0	0.0	0.0	20.2	3.1	\$ 3,688.80
0270-0300-0200	1	DVORAK, LORIE L.	197	SUNCREST AVENUE	LOT 2, BLOCK 3, MORNINGSIDE ADDITION	20.7	0.0	31.5	31.5	9.3	11.3	\$ 5,877.20
0270-0300-0100	1	PROPERTY OWNER	1170	CARROLL STREET	LOT 1, BLOCK 3, MORNINGSIDE ADDITION	2.8	0.0	3.5	3.5	1.9	0.9	\$ 710.30
0270-0200-0700	1	BREN, MARK A. & ULLMAN, KAYLA N.	1169	CARROLL STREET	LOT 7, BLOCK 2, MORNINGSIDE ADDITION	0.0	0.0	0.0	0.0	0.0	0.0	\$ -
0270-0200-0600	1	COLLETTE, JEAN MARY	261	SUNCREST AVENUE	LOT 6, BLOCK 2, MORNINGSIDE ADDITION	14.8	0.0	23.0	23.0	4.9	9.9	\$ 4,343.30
0270-0200-0500	1	ERICKSON, JESS D. & KAY A.	279	SUNCREST AVENUE	LOT 5, BLOCK 2, MORNINGSIDE ADDITION	24.1	0.0	25.5	25.5	14.6	9.6	\$ 5,913.10
0270-0200-0400	1	HELGESON, BOBBI JO & ANDREW E.	297	SUNCREST AVENUE	LOT 4, BLOCK 2, MORNINGSIDE ADDITION	19.8	0.0	25.0	25.0	12.8	7.0	\$ 5,074.80
0270-0200-0300	1	DAVENPORT, ARNOLD & JOANNE	315	SUNCREST AVENUE	LOT 3, BLOCK 2, MORNINGSIDE ADDITION	40.0	0.0	43.5	43.5	33.1	6.9	\$ 9,377.50
0270-0200-0200	1	KUNTZ, CODY & KRESTEN ORCUTT	339	SUNCREST AVENUE	LOT 2, BLOCK 2, MORNINGSIDE ADDITION	19.8	0.0	33.5	33.5	8.4	11.3	\$ 5,877.30
0270-0200-0100	1	WIPF, ROGER L. & LUELLA	1170	LINCOLN STREET	LOT 1, BLOCK 2, MORNINGSIDE ADDITION	23.3	0.0	6.0	6.0	19.7	3.7	\$ 4,141.80
0270-0300-0600	1	EHRMANTROUT, RANDELL GEORGE	168	SUNCREST AVENUE	LOT 6, BLOCK 3, MORNINGSIDE ADDITION	12.2	0.0	31.0	31.0	2.8	9.4	\$ 4,467.20
0270-0300-0700	1	GAPPERT, LEVI G. & JESSICA L.	178	SUNCREST AVENUE	LOT 7, BLOCK 3, MORNINGSIDE ADDITION	19.3	0.0	56.5	56.5	7.7	11.7	\$ 7,411.80
0270-0300-0800	1	SCHMIDT, REMINGTON SHELBY	188	SUNCREST AVENUE	LOT 8, BLOCK 3, MORNINGSIDE ADDITION	17.3	0.0	34.0	34.0	2.6	14.8	\$ 5,750.30
0270-0300-0900	1	BERRETH, GENE	198	SUNCREST AVENUE	LOT 9, BLOCK 3, MORNINGSIDE ADDITION	12.0	0.0	0.0	0.0	5.0	7.0	\$ 2,197.00
0270-0300-1000	1	YEVSEYEV, MAKSIM VASILYEVICH	1194	CARROLL STREET	LOT 10, BLOCK 3, MORNINGSIDE ADDITION	12.6	0.0	38.5	38.5	88.7	12.6	\$ 15,857.60
0270-0200-0800	1	SCHMIDT, DIANE T.	1193	CARROLL STREET	LOT 8, BLOCK 2, MORNINGSIDE ADDITION	20.9	0.0	33.5	33.5	20.9	0.0	\$ 5,433.90
0270-0200-0900	1	ROLLER, THOMAS B.	262	SUNCREST AVENUE	LOT 9, BLOCK 2, MORNINGSIDE ADDITION	15.2	0.0	23.0	23.0	5.6	9.7	\$ 4,404.70
0270-0200-1000	1	HINTZ, FRANK D. & ANDREA J.	280	SUNCREST AVENUE	LOT 10, BLOCK 2, MORNINGSIDE ADDITION	29.2	0.0	3.5	3.5	22.0	7.2	\$ 5,043.20
0270-0200-1100	1	MEDUNA, BARRY A. & LAURA A.	298	SUNCREST AVENUE	LOT 11, BLOCK 2, MORNINGSIDE ADDITION	11.1	0.0	76.0	76.0	5.3	5.8	\$ 7,163.10
0270-0200-1200	1	HELLINGER, JESSE & CASEY	314	SUNCREST AVENUE	LOT 12, BLOCK 2, MORNINGSIDE ADDITION	20.0	0.0	49.0	49.0	7.4	12.6	\$ 7,045.00
0270-0200-1300	1	HEGEL, ADAM	340	SUNCREST AVENUE	LOT 13, BLOCK 2, MORNINGSIDE ADDITION	16.2	0.0	39.5	39.5	0.0	16.2	\$ 6,023.20
0270-0200-1400	1	SCHWINDT, SHARI L. & BRYAN M.	1194	LINCOLN STREET	LOT 14, BLOCK 2, MORNINGSIDE ADDITION	40.0	0.0	115.5	115.5	15.7	24.3	\$ 15,230.50
0270-0100-0200	1	STEINBACH, TASHA L.	1175	LINCOLN STREET	LOT 2, BLOCK 1, MORNINGSIDE ADDITION	8.8	0.0	26.5	26.5	6.9	1.9	\$ 3,235.30
0270-0100-0300	1	RAMSEY, GARY D. & MARY	1187	LINCOLN STREET	LOT 3, BLOCK 1, MORNINGSIDE ADDITION	25.7	0.0	28.0	28.0	14.2	11.4	\$ 6,399.70
0270-0100-0400	1	WILSON, JUSTIN & AMY	1199	LINCOLN STREET	LOT 4, BLOCK 1, MORNINGSIDE ADDITION	16.0	0.0	50.0	50.0	7.0	9.0	\$ 6,311.00
0260-0300-1000	1	VENTURE COMMERCIAL LLC	219	BAKER AVENUE	LOT 10, BLOCK 3, SUNCREST 2ND ADDITION	41.6	0.0	86.0	86.0	31.4	10.1	\$ 12,673.10
0260-0300-1100	1	IMATONG, CYNTHIA	231	BAKER AVENUE	LOT 11, BLOCK 3, SUNCREST 2ND ADDITION	39.1	0.0	78.0	78.0	26.2	12.9	\$ 11,917.60
0260-0300-1200	1	PROPERTY OWNER	243	BAKER AVENUE	LOT 12, BLOCK 3, SUNCREST 2ND ADDITION	37.7	0.0	75.0	75.0	27.3	10.3	\$ 11,347.20
0260-0300-1300	1	STOLTZ, CHAD M. & NANCY M.	255	BAKER AVENUE	LOT 13, BLOCK 3, SUNCREST 2ND ADDITION	38.7	0.0	77.5	77.5	23.0	15.7	\$ 11,977.20
0260-0300-1400	1	NEUROHR PALUCK, CARRIE, ET AL	267	BAKER AVENUE	LOT 14, BLOCK 3, SUNCREST 2ND ADDITION	29.9	0.0	60.0	60.0	17.6	12.3	\$ 9,271.40
0260-0300-1500	1	PLUMMER ENTERPRISES LLC	279	BAKER AVENUE	LOT 15, BLOCK 3, SUNCREST 2ND ADDITION	14.6	0.0	30.5	30.5	9.2	5.3	\$ 4,558.10
0260-0300-1600	1	HENDRICKSON, CHRISTOPHER	1120	LINCOLN STREET	LOT 16, BLOCK 3, SUNCREST 2ND ADDITION	17.9	0.0	84.5	84.5	17.9	0.0	\$ 8,448.90
0260-0100-1400	1	GRINSTEINER, BRUCE J.	1127	LINCOLN STREET	LOTS 14 & 15, BLOCK 1, SUNCREST 2ND ADDITION	43.1	0.0	49.5	49.5	43.1	0.0	\$ 9,874.10
0230-0300-2600	1	FITTERER, SHAWN & CAMI	389	BAKER AVENUE	LOT 26, BLOCK 3, WASHINGTON 4TH ADDITION	0.7	0.0	56.0	56.0	0.7	0.0	\$ 3,913.70
0230-0300-2500	1	SCHNEIDER, RICHARD WAYNE & THERESA	429	BAKER AVENUE	LOT 25, BLOCK 3, WASHINGTON 4TH ADDITION	0.0	0.0	51.0	51.0	0.0	0.0	\$ 3,468.00
0230-0300-2300	1	DVORAK, RICHARD R. & LUELLA (LE)	477	BAKER AVENUE	S1/2 LOT 23, ALL LOT 24, BLOCK 3, WASHINGTON 4TH ADDITION	4.6	0.0	31.5	31.5	4.6	0.0	\$ 2,836.60
0230-0300-2200	1	BEAUDOIN, RYAN T. & ALYSSA A.	533	BAKER AVENUE	LOT 22, N1/2 LOT 23, BLOCK 3, WASHINGTON 4TH ADDITION	0.0	0.0	36.0	36.0	0.0	0.0	\$ 2,448.00
0230-0300-2100	1	BROWN, MILO R. & INA S.	607	SHINAGLE DRIVE	LOTS 20 & 21, BLOCK 3, WASHINGTON 4TH ADDITION	5.4	0.0	97.5	97.5	5.4	0.0	\$ 7,445.40
0230-1100-1300	1	SABROSKY, DELRY D. & CYNTHIA M.	610	SHINAGLE DRIVE	LOT 13, BLOCK 11, WASHINGTON 4TH ADDITION	7.8	0.0	126.0	126.0	7.8	0.0	\$ 9,745.80
0230-1100-1200	1	KINNISCHTZE, RUSSELL W. & BEVERLY G.	683	BAKER AVENUE	LOT 12, BLOCK 11, WASHINGTON 4TH ADDITION	27.3	0.0	64.5	64.5	27.3	0.0	\$ 8,508.30
0230-1000-0900	1	VERMEESCH, SHANE T.	731	BAKER AVENUE	LOT 9, BLOCK 10, WASHINGTON 4TH ADDITION	7.6	0.0	111.0	111.0	7.6	0.0	\$ 8,695.60
0230-1000-0800	1	GOLDSBERRY, BONNIE SAND	1314	8TH STREET E	LOT 8, BLOCK 10, WASHINGTON 4TH ADDITION	43.9	0.0	111.5	111.5	28.2	15.7	\$ 15,074.40
0230-0900-1500	1	BOESPLUG, COLE & KAYLA	1315	8TH STREET E	LOT 15, BLOCK 9, WASHINGTON 4TH ADDITION	32.1	0.0	111.5	111.5	32.1	0.0	\$ 12,429.10
0230-0900-1400	1	HAGA, WILLIAM & TAMI	883	BAKER AVENUE	LOT 13 & 14, BLOCK 9, WASHINGTON 4TH ADDITION	7.6	0.0	42.5	42.5	2.6	5.0	\$ 4,312.60
0230-2300-1200	1	SONDHEIMER, D & T & JAMES HAYES	1343	9TH STREET E	LOT 12, BLOCK 23, WASHINGTON 4TH ADDITION	10.0	0.0	46.5	46.5	10.0	0.0	\$ 4,672.00
0230-2300-1100	1	SONDHEIMER, D & T & JAMES HAYES	-	BAKER AVENUE	LOT 11, BLOCK 23, WASHINGTON 4TH ADDITION	10.2	0.0	25.0	25.0	10.2	0.0	\$ 3,240.20
0230-2300-0900	1	KESSEL, TROY J. & ANGEL D.	917	BAKER AVENUE	LOT 9 & LOT 10, BLOCK 23, WASHINGTON 4TH ADDITION	8.6	0.0	50.0	50.0	1.6	7.0	\$ 5,083.60
0230-2300-0700	1	PROPERTY OWNER	921	BAKER AVENUE	LOT 7 & 8, BLOCK 23, WASHINGTON 4TH ADDITION	12.8	0.0	26.0	26.0	8.6	4.2	\$ 3,931.80
0260-0700-0700	1	MCCRARY, BENJAMIN & EMILY	1149	CARROLL STREET	LOT 7, BLOCK 7, SUNCREST 2ND ADDITION	33.8	0.0	66.0	66.0	33.8	0.0	\$ 9,591.80

DICKINSON 2025 ROAD MAINTENANCE (202501)  
SID NO. 202501  
COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY

PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
0260-0700-0600	1	KLEIN, CONNIE MARIE (LE)	230	BAKER AVENUE	LOT 6, BLOCK 7, SUNCREST 2ND ADDITION	36.6	0.0	32.5	32.5	27.1	9.4	\$ 8,241.60
0260-0700-0500	1	HAALAND, TRAVIS J.	242	BAKER AVENUE	LOT 5, BLOCK 7, SUNCREST 2ND ADDITION	36.8	0.0	68.5	68.5	26.8	10.0	\$ 10,764.80
0260-0700-0400	1	DEGELE, TERRENCE L. & MARGARET A. (LE)	254	BAKER AVENUE	LOT 4, BLOCK 7, SUNCREST 2ND ADDITION	38.2	0.0	33.0	33.0	32.6	5.7	\$ 8,337.70
0260-0700-0300	1	HARD, EVAN	266	BAKER AVENUE	LOT 3, BLOCK 7, SUNCREST 2ND ADDITION	34.6	0.0	56.0	56.0	29.0	5.6	\$ 9,340.60
0260-0700-0200	1	RUMMEL, DEAN ET-AL	278	BAKER AVENUE	LOT 2, BLOCK 7, SUNCREST 2ND ADDITION	0.0	0.0	1.5	1.5	0.0	0.0	\$ 102.00
0260-0700-0100	1	MARQUART, MARTHA	288	BAKER AVENUE	LOT 1, BLOCK 7, SUNCREST 2ND ADDITION	38.3	0.0	73.0	73.0	28.0	10.3	\$ 11,313.80
0260-0800-0200	1	KLUG, GLORIA M. (LE)VICKI J. KLUG, TIMOTHY G. KLUG, WILLIAM A. KLU	1149	LINCOLN STREET	LOTS 1 & 2, BLOCK 8, SUNCREST 2ND ADDITION	32.9	0.0	86.5	86.5	32.9	0.0	\$ 10,849.90
0230-0200-0400	1	HEISER CONSTRUCTION, LLC	-	BAKER AVENUE	LOT 4, BLOCK 2, WASHINGTON 4TH ADDITION	0.0	0.0	70.0	70.0	35.2	0.0	\$ 8,984.00
0230-0200-0300	1	KRISTIANSON, LEON A. & KAREN L.	432	BAKER AVENUE	LOT 3, BLOCK 2, WASHINGTON 4TH ADDITION	15.4	0.0	48.5	48.5	11.1	4.3	\$ 5,859.90
0230-0200-0201	1	PAUS, ANTHONY A. & STEPHANIE B.	474	BAKER AVENUE	LOT 2 & S210' LOT 5, BLOCK 2, WASHINGTON 4TH ADDITION	9.0	0.0	19.0	19.0	9.0	0.0	\$ 2,651.00
0230-0200-0100	1	WIESER, JAMES	502	BAKER AVENUE	LOT 1, PORTION LOT 5, BLOCK 2, WASHINGTON 4TH ADDITION	9.6	0.0	73.5	73.5	129.7	8.9	\$ 22,417.10
0230-1200-2500	1	KOSTELECKY, ANTHONY & DEVANY	1111	6TH STREET E	LOT 25, BLOCK 12, WASHINGTON 4TH ADDITION	7.0	0.0	132.5	132.5	7.0	0.0	\$ 10,067.00
0230-1200-0100	1	SAND, LARRY J. & BRENDA L.	1324	7TH STREET E	LOT 1, BLOCK 12, WASHINGTON 4TH ADDITION	11.4	0.0	51.0	51.0	11.4	0.0	\$ 5,189.40
0230-1300-1101	1	TSCHACHER, PARTICK A. & KAREN L.	728	BAKER AVENUE	LOTS 11 & 12, BLOCK 13, WASHINGTON 4TH ADDITION	22.4	0.0	58.0	58.0	22.4	0.0	\$ 7,326.40
0230-1300-0100	1	LAWREY, DALLAS D. & SARA A.	750	BAKER AVENUE	LOTS 1 & 2, BLOCK 13, WASHINGTON 4TH ADDITION	29.3	0.0	120.0	120.0	29.3	0.0	\$ 12,584.30
0230-1400-2300	1	ROHDE, CARL W.	834	BAKER AVENUE	LOT 23, BLOCK 14, WASHINGTON 4TH ADDITION	64.0	0.0	121.5	121.5	53.4	10.6	\$ 18,509.00
0230-1400-0100	1	DOWHANIUK, COLE W.	886	BAKER AVENUE	LOT 1 & 2, BLOCK 14, WASHINGTON 4TH ADDITION	24.3	0.0	43.0	43.0	24.3	0.0	\$ 6,593.30
0230-2200-0100	1	MEAD, SCOTT R.	1369	9TH STREET E	LOT 1, BLOCK 22, WASHINGTON 4TH ADDITION	23.1	0.0	46.0	46.0	55.0	0.0	\$ 10,444.10
0230-2200-0300	1	BERRY, CHARLES D.	920	BAKER AVENUE	LOTS 3 & 4, BLOCK 22, WASHINGTON 4TH ADDITION	1.0	0.0	102.0	102.0	1.0	0.0	\$ 7,087.00
0230-2200-0500	1	OPP, JOSH & DANA	926	BAKER AVENUE	LOTS 5 & 6, BLOCK 22, WASHINGTON 4TH ADDITION	5.4	0.0	54.0	54.0	5.4	0.0	\$ 4,487.40
0230-1100-2500	1	DECKER, MARK J. & VALERIE	788	SHINAGLE DRIVE	LOTS 25 & 26, BLOCK 11, WASHINGTON 4TH ADDITION	40.2	0.0	190.5	190.5	37.3	2.9	\$ 19,183.70
0230-1100-0100	1	STEGMILLER, SHANE M.	1158	7TH STREET E	LOT 1, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	167.0	167.0	0.0	0.0	\$ 11,356.00
0230-1000-0100	1	HAACKENSON, BLAKE ALAN	1155	7TH STREET E	LOT 1 & W1/2 LOT 2, BLOCK 10, WASHINGTON 4TH ADDITION	33.4	0.0	152.0	152.0	33.4	0.0	\$ 15,379.40
0230-1000-0300	1	ADAMS, JEFFERY C. & DENISE A.	1232	8TH STREET E	LOTS 3 & 4, BLOCK 10, WASHINGTON 4TH ADDITION	15.2	0.0	101.5	101.5	15.2	0.0	\$ 9,197.20
0230-1000-0500	1	KRANK, TOM	1268	8TH STREET E	LOT 5, W1/2 LOT 6, BLOCK 10, WASHINGTON 4TH ADDITION	25.4	0.0	80.0	80.0	8.1	17.3	\$ 10,226.90
0230-1000-0700	1	FICHTER, ANTON S.	1286	8TH STREET E	E1/2 LOT 6, ALL LOT 7, BLOCK 10, WASHINGTON 4TH ADDITION	8.7	0.0	96.0	96.0	6.1	2.6	\$ 7,984.70
0230-0900-2800	1	SCHATZ, SCOTT A. & GLENDA A.	832	SHINAGLE DRIVE	LOT 28, BLOCK 9, WASHINGTON 4TH ADDITION	35.6	0.0	168.0	168.0	32.7	2.9	\$ 16,959.10
0230-0900-2700	1	MARTIN, LYNNE M.	1127	8TH STREET E	LOT 27, BLOCK 9, WASHINGTON 4TH ADDITION	29.0	0.0	65.0	65.0	14.2	14.8	\$ 9,613.00
0230-0900-2500	1	BRAEGELMANN, MITCHELL P. & HOFLAND, E. C.	1143	8TH STREET E	LOTS 25 & 26, BLOCK 9, WASHINGTON 4TH ADDITION	11.1	0.0	130.0	130.0	8.3	2.8	\$ 10,670.10
0230-0900-2400	1	PETERS, MICHAEL	1169	8TH STREET E	LOT 24, BLOCK 9, WASHINGTON 4TH ADDITION	2.6	0.0	47.5	47.5	2.6	0.0	\$ 3,622.60
0230-0900-2300	1	HOYT, DALE & NADINE	1185	8TH STREET E	W1/2 LOT 22 & ALL LOT 23, BLOCK 9, WASHINGTON 4TH ADDITION	18.7	0.0	94.5	94.5	4.4	14.2	\$ 10,018.70
0230-0900-2100	1	SCHAFER, JUSTIN	1217	8TH STREET E	LOT 21, E1/2 LOT 22, BLOCK 9, WASHINGTON 4TH ADDITION	20.2	0.0	51.5	51.5	11.7	8.6	\$ 7,037.20
0230-0900-2000	1	MESSALL, BRETT G. & KAYLA M.	1233	8TH STREET E	LOT 20, BLOCK 9, WASHINGTON 4TH ADDITION	15.3	0.0	57.0	57.0	2.8	12.6	\$ 6,891.30
0230-0900-1900	1	WILLIAMS II, JEFFREY SCOTT	1249	8TH STREET E	LOT 19, BLOCK 9, WASHINGTON 4TH ADDITION	14.3	0.0	33.0	33.0	3.6	10.8	\$ 5,009.30
0230-0900-1800	1	KUNTZ, COREY C. & PRAUS, MYA L.	1265	8TH STREET E	LOT 18, BLOCK 9, WASHINGTON 4TH ADDITION	6.6	0.0	64.0	64.0	0.0	6.6	\$ 5,711.60
0230-0900-1700	1	LOHER, GERALD A. JR.	1281	8TH STREET E	LOT 17, BLOCK 9, WASHINGTON 4TH ADDITION	5.7	0.0	50.5	50.5	0.0	5.7	\$ 4,608.20
0230-0900-1600	1	GRINSTEINER, ALYSON N.	1305	8TH STREET E	LOT 16, BLOCK 9, WASHINGTON 4TH ADDITION	13.0	0.0	49.5	49.5	13.0	0.0	\$ 5,329.00
0230-1400-2200	1	BIRBIRSA, ASHENAFI & BELAYNESH WOLDE	1377	8TH STREET E	LOT 22, BLOCK 14, WASHINGTON 4TH ADDITION	0.0	0.0	24.0	24.0	0.0	0.0	\$ 1,632.00
0230-1100-0200	1	DAHMS, DANIEL E.	1166	7TH STREET E	LOT 2, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	57.0	57.0	0.0	0.0	\$ 3,876.00
0230-1100-0300	1	PITTSLEY, MARK	1178	7TH STREET E	LOT 3, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	29.5	29.5	0.0	0.0	\$ 2,006.00
0230-1100-0400	1	KUNTZ, KENDALL L.	1190	7TH STREET E	LOT 4, BLOCK 11, WASHINGTON 4TH ADDITION	9.7	0.0	36.0	36.0	0.0	9.7	\$ 4,446.20
0230-1100-0500	1	STEGMILLER, JAMES	1202	7TH STREET E	LOT 5, BLOCK 11, WASHINGTON 4TH ADDITION	9.4	0.0	7.0	7.0	4.6	4.9	\$ 2,176.90
0230-1100-0600	1	DYKEMA, LESLIE R. & LAURAE S.	1214	7TH STREET E	LOT 6, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	27.5	27.5	0.0	0.0	\$ 1,870.00
0230-1100-0700	1	TUHY, JASON	1226	7TH STREET E	LOT 7, BLOCK 11, WASHINGTON 4TH ADDITION	4.6	0.0	66.0	66.0	4.6	0.0	\$ 5,182.60
0230-1100-0800	1	HAGER, BRANDON L.	1240	7TH STREET E	LOT 8, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	29.5	29.5	0.0	0.0	\$ 2,006.00
0230-1100-0901	1	MACK, JOHN L. & ALISSA R.	1254	7TH STREET E	LOTS 9 & 10, BLOCK 11, WASHINGTON 4TH ADDITION	3.7	0.0	88.5	88.5	3.7	0.0	\$ 6,576.70
0230-1100-1100	1	PROPERTY OWNER	1280	7TH STREET E	LOT 11, BLOCK 11, WASHINGTON 4TH ADDITION	5.9	0.0	35.5	35.5	3.1	2.8	\$ 3,458.90
0230-1200-0200	1	LEE, COREY	1338	7TH STREET E	LOT 2, BLOCK 12, WASHINGTON 4TH ADDITION	8.0	0.0	31.0	31.0	2.6	5.4	\$ 3,613.00
0230-1200-0300	1	KLEIN, KYLE J. & DENAY K.	1350	7TH STREET E	LOT 3, BLOCK 12, WASHINGTON 4TH ADDITION	16.1	0.0	48.0	48.0	2.7	13.4	\$ 6,432.10
0230-1000-1500	1	HERAUF, BLAINE F. & BARBARA L.	1185	7TH STREET E	E1/2 LOT 2, LOT 15, BLOCK 10, WASHINGTON 4TH ADDITION	33.1	0.0	64.5	64.5	31.2	1.9	\$ 9,488.60
0230-1000-1400	1	MARTINOVICH, BRICE C. K. & TAYLAR M.	1223	7TH STREET E	LOT 14, BLOCK 10, WASHINGTON 4TH ADDITION	10.3	0.0	18.5	18.5	7.7	2.7	\$ 2,973.80
0230-1000-1300	1	HEROLD, DANIEL J. & MARY ELLEN	1237	7TH STREET E	LOT 13, BLOCK 10, WASHINGTON 4TH ADDITION	7.2	0.0	38.0	38.0	7.2	0.0	\$ 3,671.20
0230-1000-1200	1	STIEG, NATHAN M.	1251	7TH STREET E	LOT 12, BLOCK 10, WASHINGTON 4TH ADDITION	0.0	0.0	38.5	38.5	0.0	0.0	\$ 2,618.00
0230-1000-1100	1	STRODE, MICHAEL S. & DIANE S.	1263	7TH STREET E	LOT 11, BLOCK 10, WASHINGTON 4TH ADDITION	11.1	0.0	25.0	25.0	6.3	4.8	\$ 3,640.10
0230-1000-1000	1	ALLER, COLE	1275	7TH STREET E	LOT 10, BLOCK 10, WASHINGTON 4TH ADDITION	15.3	0.0	43.5	43.5	7.2	8.1	\$ 5,713.80
0230-1300-1000	1	TSCHACHER, PATRICK A. & KAREN L.	-	7TH STREET E	LOT 10, BLOCK 13, WASHINGTON 4TH ADDITION	0.0	0.0	26.0	26.0	0.0	0.0	\$ 1,768.00
0230-0200-0800	1	RAMSEY, GARY D. & MARY	-	6TH STREET E	LOT 8 LESS S70', BLOCK 2, WASHINGTON 4TH ADDITION	0.0	0.0	0.0	0.0	34.6	0.0	\$ 4,152.00
0230-0200-0700	1	RAMSEY, GARY D. & MARY	-	6TH STREET E	LOT 7 LESS S70', BLOCK 2, WASHINGTON 4TH ADDITION	0.0	0.0	0.0	0.0	36.7	0.0	\$ 4,404.00
0230-0200-0600	1	RAMSEY, GARY D. & MARY	-	6TH STREET E	LOT 6 LESS S70', BLOCK 2, WASHINGTON 4TH ADDITION	0.0	0.0	0.0	0.0	37.8	0.0	\$ 4,536.00
0230-0300-1801	1	HAUSCHILD, DARCY ELLIS	637	SHINAGLE DRIVE	E15' LOT 18, ALL LOT 19, BLOCK 3, WASHINGTON 4TH ADDITION	8.8	0.0	51.5	51.5	8.8	0.0	\$ 4,830.80
0230-0300-1701	1	DIEDE, KEVIN M. & SARAH L.	663	SHINAGLE DRIVE	LOT 17, W50' LOT 18, BLOCK 3, WASHINGTON 4TH ADDITION	7.1	0.0	82.5	82.5	2.3	4.8	\$ 6,946.10
0230-0300-1600	1	JACOBSON, JOSHUA & LACEY	675	SHINAGLE DRIVE	LOT 16, BLOCK 3, WASHINGTON 4TH ADDITION	7.8	0.0	33.0	33.0	7.8	0.0	\$ 3,421.80
0230-0300-1500	1	SCHILLING, ROBERT P. & VALORIE JO	689	SHINAGLE DRIVE	E1/2 LOT 14, ALL LOT 15, BLOCK 3, WASHINGTON 4TH ADDITION	11.2	0.0	100.0	100.0	11.2	0.0	\$ 8,491.20
0230-0300-1300	1	HAIDER, BRUCE D. & SUSAN M.	715	SHINAGLE DRIVE	LOT 13, W1/2 LOT 14, BLOCK 3, WASHINGTON 4TH ADDITION	0.0	0.0	53.5	53.5	0.0	0.0	\$ 3,638.00
0230-0300-1200	1	MEDUNA, MICHAEL & STEPHANIE	729	SHINAGLE DRIVE	LOT 12, BLOCK 3, WASHINGTON 4TH ADDITION	10.1	0.0	48.0	48.0	5.6	4.6	\$ 5,054.10
0230-0300-1100	1	BINSTOCK, RANDY & JULIE	743	SHINAGLE DRIVE	LOT 11, BLOCK 3, WASHINGTON 4TH ADDITION	9.7	0.0	41.0	41.0	9.7	0.0	\$ 4,252.70

DICKINSON 2025 ROAD MAINTENANCE (202501)												
SID NO. 202501												
COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY												
PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
0230-0300-0900	1	WEIDNER, RYAN C. & LEAH	763	SHINAGLE DRIVE	LOT 9 LESS N20' & ALL LOT 10, BLOCK 3, WASHINGTON 4TH ADDITION	5.0	0.0	41.5	41.5	5.0	0.0	\$ 3,577.00
0230-0300-0800	1	BECHTOLD, DOUGLAS J. & MICHELLE M.	787	SHINAGLE DRIVE	LOT 8 & N20' LOT 9, BLOCK 3, WASHINGTON 4TH ADDITION	0.0	0.0	41.5	41.5	0.0	0.0	\$ 2,822.00
0230-0300-0700	1	GREGG, JOEL M. & APRIL	809	SHINAGLE DRIVE	LOT 7, BLOCK 3, WASHINGTON 4TH ADDITION	18.0	0.0	50.0	50.0	12.0	6.0	\$ 6,448.00
0230-0300-0600	1	VANCE, LESLIE & WILLIAM	821	SHINAGLE DRIVE	LOT 6, BLOCK 3, WASHINGTON 4TH ADDITION	20.6	0.0	36.5	36.5	15.2	5.3	\$ 5,872.10
0230-0300-0500	1	CZAJKA, CHRISTOPHER	835	SHINAGLE DRIVE	LOT 5, BLOCK 3, WASHINGTON 4TH ADDITION	0.6	0.0	35.5	35.5	0.0	0.6	\$ 2,537.60
0230-0300-0400	1	MILLER, KANE M. & ADRIANE DOE	849	SHINAGLE DRIVE	LOT 4, BLOCK 3, WASHINGTON 4TH ADDITION	24.8	0.0	64.0	64.0	14.7	10.1	\$ 8,652.30
0230-0300-0300	1	COSTALEZ, JAMES J. & SUZANNE M.	861	SHINAGLE DRIVE	LOT 3, BLOCK 3, WASHINGTON 4TH ADDITION	3.4	0.0	65.0	65.0	0.0	3.4	\$ 5,120.40
0230-0300-0200	1	DRAKE, CORY S. & ROSE E.	873	SHINAGLE DRIVE	LOT 2, BLOCK 3, WASHINGTON 4TH ADDITION	0.0	0.0	65.0	65.0	0.0	0.0	\$ 4,420.00
0230-0300-0100	1	BRUNT, SCOTT CRAIG	887	SHINAGLE DRIVE	LOT 1, BLOCK 3, WASHINGTON 4TH ADDITION	2.9	0.0	50.0	50.0	2.9	0.0	\$ 3,837.90
0230-0400-1600	1	MCWITHEY, RANDY	903	SHINAGLE DRIVE	LOT 16, BLOCK 4, WASHINGTON 4TH ADDITION	11.0	0.0	24.0	24.0	9.4	1.6	\$ 3,381.00
0230-0400-1500	1	BROWN, EUGENE L.	909	SHINAGLE DRIVE	LOT 15, BLOCK 4, WASHINGTON 4TH ADDITION	2.9	0.0	65.0	65.0	2.9	0.0	\$ 4,857.90
0230-0400-1300	1	DOLYNIUK, DOUG J. & BRENDA K.	919	SHINAGLE DRIVE	LOT 13 & 14, BLOCK 4, WASHINGTON 4TH ADDITION	3.3	0.0	125.5	125.5	3.3	0.0	\$ 9,032.30
0230-0400-1200	1	CDB CONSTRUCTION, INC.	-	SHINAGLE DRIVE	LOT 12, BLOCK 4, WASHINGTON 4TH ADDITION	0.0	0.0	54.5	54.5	27.1	0.0	\$ 6,958.00
0230-0400-1100	1	COX, BRENDAN & SARA	933	SHINAGLE DRIVE	LOT 11, BLOCK 4, WASHINGTON 4TH ADDITION	6.7	0.0	65.0	65.0	6.7	0.0	\$ 5,431.70
0230-0400-1000	1	PRUITT, JR, RONNIE	939	SHINAGLE DRIVE	LOT 10, BLOCK 4, WASHINGTON 4TH ADDITION	7.8	0.0	65.0	65.0	4.8	3.0	\$ 5,762.80
0230-0400-0900	1	ROBERTS, BENJAMIN D. & AMY	945	SHINAGLE DRIVE	LOT 9, BLOCK 4, WASHINGTON 4TH ADDITION	2.8	0.0	49.5	49.5	2.8	0.0	\$ 3,788.80
0230-0400-0800	1	SIMEK, JORDAN	953	SHINAGLE DRIVE	LOT 8, BLOCK 4, WASHINGTON 4TH ADDITION	10.0	0.0	40.0	40.0	4.4	5.6	\$ 4,538.00
0230-0400-0700	1	REED, JOSHUA E. & AUSTYN E.	959	SHINAGLE DRIVE	LOT 7, BLOCK 4, WASHINGTON 4TH ADDITION	26.3	0.0	65.0	65.0	18.1	8.2	\$ 8,842.30
0230-0400-0600	1	MAGSTADT, LEE A. & JOLYNN K.	965	SHINAGLE DRIVE	LOT 6, BLOCK 4, WASHINGTON 4TH ADDITION	16.0	0.0	65.0	65.0	8.9	7.1	\$ 7,226.50
0230-0400-0500	1	AMAN, CONNIE & DALE	971	SHINAGLE DRIVE	LOT 5, BLOCK 4, WASHINGTON 4TH ADDITION	12.1	0.0	39.0	39.0	6.6	5.6	\$ 4,799.10
0230-0400-0400	1	MORTON, ROBERT C. & JESSAMYN E.	977	SHINAGLE DRIVE	LOTS 3 & 4, BLOCK 4, WASHINGTON 4TH ADDITION	9.7	0.0	88.5	88.5	3.9	5.8	\$ 7,801.70
0230-0400-0200	1	LIPETZKY, CARSEN	989	SHINAGLE DRIVE	LOT 2, BLOCK 4, WASHINGTON 4TH ADDITION	12.6	0.0	65.0	65.0	9.2	3.3	\$ 6,492.10
0230-0400-0100	1	NAY, RAY W. & DENISE A.	995	SHINAGLE DRIVE	LOT 1, BLOCK 4, WASHINGTON 4TH ADDITION	18.6	0.0	121.5	121.5	8.6	10.0	\$ 11,620.60
0230-1200-2300	1	BUZALSKY, TREVOR & SAMANTHA	1161	6TH STREET E	LOT 23, BLOCK 12, WASHINGTON 4TH ADDITION	0.0	0.0	47.0	47.0	0.0	0.0	\$ 3,196.00
0230-1200-2400	1	FRANK, TAREN L.	1131	6TH STREET E	LOT 24, BLOCK 12, WASHINGTON 4TH ADDITION	2.9	0.0	37.5	37.5	2.9	0.0	\$ 2,987.90
0230-1100-1400	1	JASSEK, DALE S. & SHARMON G.	626	SHINAGLE DRIVE	LOT 14, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	50.5	50.5	0.0	0.0	\$ 3,434.00
0230-1100-1500	1	STAFFORD, ALEX	640	SHINAGLE DRIVE	LOT 15, BLOCK 11, WASHINGTON 4TH ADDITION	2.3	0.0	58.5	58.5	2.3	0.0	\$ 4,325.30
0230-1100-1600	1	URLACHER, RONALD	-	SHINAGLE DRIVE	LOT 16, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	54.5	54.5	32.7	0.0	\$ 7,630.00
0230-1100-1700	1	MOORMANN, ERIC & KRISTINE	668	SHINAGLE DRIVE	LOT 17, BLOCK 11, WASHINGTON 4TH ADDITION	5.2	0.0	13.5	13.5	5.2	0.0	\$ 1,703.20
0230-1100-1800	1	ANDERSON, DANIEL	678	SHINAGLE DRIVE	LOT 18, BLOCK 11, WASHINGTON 4TH ADDITION	9.6	0.0	17.5	17.5	8.6	1.0	\$ 2,694.60
0230-1100-1900	1	HENDRICKS, RONALD L. & ALETA M.	694	SHINAGLE DRIVE	LOT 19, BLOCK 11, WASHINGTON 4TH ADDITION	5.6	0.0	22.0	22.0	5.6	0.0	\$ 2,341.60
0230-1100-2000	1	DVORAK, DONALD D. & ELAINE M.	710	SHINAGLE DRIVE	LOT 20, BLOCK 11, WASHINGTON 4TH ADDITION	0.0	0.0	20.0	20.0	0.0	0.0	\$ 1,360.00
0230-1100-2100	1	KOVASH, ROCK	726	SHINAGLE DRIVE	LOT 21, BLOCK 11, WASHINGTON 4TH ADDITION	13.4	0.0	21.0	21.0	13.4	0.0	\$ 3,451.40
0230-1100-2200	1	BENTZ, STACEY	740	SHINAGLE DRIVE	LOT 22, BLOCK 11, WASHINGTON 4TH ADDITION	13.1	0.0	12.0	12.0	13.1	0.0	\$ 2,794.10
0230-1100-2300	1	URAN, ANJULI J. & DEREK L.	758	SHINAGLE DRIVE	LOT 23, BLOCK 11, WASHINGTON 4TH ADDITION	13.9	0.0	22.5	22.5	11.2	2.7	\$ 3,777.40
0230-1100-2400	1	WARD, HEIDI	774	SHINAGLE DRIVE	LOT 24, BLOCK 11, WASHINGTON 4TH ADDITION	22.8	0.0	63.5	63.5	5.1	17.7	\$ 8,734.30
0230-0900-0100	1	GLASSER, JAMES W. & TERRY J.	874	SHINAGLE DRIVE	LOT 1, BLOCK 9, WASHINGTON 4TH ADDITION	7.9	0.0	110.0	110.0	7.9	0.0	\$ 8,672.90
0230-0800-1500	1	GETZ, JOHN & TRISHA	906	SHINAGLE DRIVE	LOT 15, BLOCK 8, WASHINGTON 4TH ADDITION	11.1	0.0	99.5	99.5	5.6	5.6	\$ 8,762.10
0230-0800-0100	1	BOOKE, TRAVIS M. & SARA J.	1106	FRANKLIN STREET	LOT 1, BLOCK 8, WASHINGTON 4TH ADDITION	39.3	0.0	184.0	184.0	33.4	5.9	\$ 18,770.80
0230-0700-0500	1	BEEN, JEFFERSON LEE JR. & KAYLA J.	930	SHINAGLE DRIVE	LOTS 5 & 6, BLOCK 7, WASHINGTON 4TH ADDITION	64.2	0.0	211.5	211.5	64.2	0.0	\$ 24,076.20
0230-0700-0100	1	STILLINGS, BRUCE & KRISTI T.	942	SHINAGLE DRIVE	LOT 1, BLOCK 7, WASHINGTON 4TH ADDITION	65.3	0.0	172.5	172.5	51.3	14.0	\$ 22,360.30
0230-0600-0800	1	ALPERT, ROXY J.	956	SHINAGLE DRIVE	LOT 8, BLOCK 6, WASHINGTON 4TH ADDITION	64.0	0.0	116.0	116.0	64.0	0.0	\$ 17,552.00
0230-0600-0100	1	OBRIGEWITSCH, JERRY & CARI	968	SHINAGLE DRIVE	LOT 1, BLOCK 6, WASHINGTON 4TH ADDITION	23.0	0.0	113.5	113.5	23.0	0.0	\$ 11,191.00
0230-0500-0800	1	HAAS, JARED J.	984	SHINAGLE DRIVE	LOT 8, BLOCK 5, WASHINGTON 4TH ADDITION	62.3	0.0	116.0	116.0	55.6	6.8	\$ 17,681.30
0230-0500-0100	1	BRINSTER, MICHAEL JAMES	996	SHINAGLE DRIVE	LOT 1, BLOCK 5, WASHINGTON 4TH ADDITION	48.9	0.0	153.5	153.5	20.2	28.7	\$ 19,400.40
0230-2400-1200	1	AUER, AARON & LORI	1275	9TH STREET E	LOTS 11 & 12, BLOCK 24, WASHINGTON 4TH ADDITION	23.3	0.0	54.0	54.0	10.0	13.3	\$ 7,921.80
0230-2400-1000	1	HOLDING EAGLE, TRAVIS & LISA	913	13TH AVENUE E	LOT 10, BLOCK 24, WASHINGTON 4TH ADDITION	9.4	0.0	54.0	54.0	5.2	4.2	\$ 5,322.40
0230-2400-0900	1	FOSTER, DOUGLAS & ALESHA	917	13TH AVENUE E	LOT 9, BLOCK 24, WASHINGTON 4TH ADDITION	32.0	0.0	37.5	37.5	22.7	9.3	\$ 7,893.50
0230-2400-0700	1	KLAMAN, CHRIS & TAMMY	927	13TH AVENUE E	LOTS 7 & 8, BLOCK 24, WASHINGTON 4TH ADDITION	5.0	0.0	81.0	81.0	5.0	0.0	\$ 6,263.00
0230-2300-0100	1	HOGG, JERALD L.	1317	9TH STREET E	LOT 1, S1/2 LOT 2, BLOCK 23, WASHINGTON 4TH ADDITION	20.2	0.0	66.0	66.0	20.3	0.0	\$ 7,550.20
0230-2300-0300	1	KUNTZ, ALVIN L. & DOROTHY	912	13TH AVENUE E	N1/2 LOT 2, LOTS 3 & 4, BLOCK 23, WASHINGTON 4TH ADDITION	4.4	0.0	123.0	123.0	0.0	4.4	\$ 9,270.40
0230-2300-0500	1	HOESSEL, DAVID F. & SUSAN M.	922	13TH AVENUE E	LOT 5, BLOCK 23, WASHINGTON 4TH ADDITION	0.0	0.0	61.5	61.5	0.0	0.0	\$ 4,182.00
0230-2300-0600	1	COPENHAVER, LEE P.	926	13TH AVENUE E	LOT 6, BLOCK 23, WASHINGTON 4TH ADDITION	2.2	0.0	62.0	62.0	2.2	0.0	\$ 4,548.20
0230-0800-0900	1	MARGIE KOPPINGER FAMILY TRUST	903	12TH AVENUE E	LOT 9, BLOCK 8, WASHINGTON 4TH ADDITION	35.4	0.0	93.0	93.0	35.4	0.0	\$ 11,669.40
0230-0800-0800	1	BURGARD, CALEB J. & CANDICE K.	913	12TH AVENUE E	LOT 8, BLOCK 8, WASHINGTON 4TH ADDITION	30.4	0.0	89.0	89.0	30.4	0.0	\$ 10,642.40
0230-0700-1300	1	HARTMAN, LYNN E.	927	12TH AVENUE E	LOT 13, BLOCK 7, WASHINGTON 4TH ADDITION	41.1	0.0	98.0	98.0	31.9	9.2	\$ 13,376.10
0230-2400-0100	1	WEBER, DAVID F. & MAES, JULIE A.	1243	9TH STREET E	LOT 1, BLOCK 24, WASHINGTON 4TH ADDITION	6.1	0.0	48.0	48.0	6.1	0.0	\$ 4,185.10
0230-2400-0200	1	CLARK, SHELBY L.	910	12TH AVENUE E	LOT 2, S1/2 LOT 3, BLOCK 24, WASHINGTON 4TH ADDITION	13.6	0.0	70.5	70.5	25.2	4.1	\$ 8,957.10
0230-2400-0400	1	BLANKENSHIP, JAMIE L.	920	12TH AVENUE E	N1/2 LOT 3, ALL LOT 4, BLOCK 24, WASHINGTON 4TH ADDITION	6.2	0.0	72.5	72.5	18.2	4.4	\$ 8,076.20
0230-2400-0500	1	JENKIN, KEVIN & BOBBIE J. THAYER	926	12TH AVENUE E	LOT 5, BLOCK 24, WASHINGTON 4TH ADDITION	0.0	0.0	20.0	20.0	0.0	0.0	\$ 1,360.00
0230-2400-0600	1	RECKARD, PAMELA	930	12TH AVENUE E	LOT 6, BLOCK 24, WASHINGTON 4TH ADDITION	2.6	0.0	12.0	12.0	2.6	0.0	\$ 1,208.60
0230-0800-1400	1	KREBS, MATHIAS A. & KERRY ANN	1123	9TH STREET E	LOTS 2 & 14, BLOCK 8, WASHINGTON 4TH ADDITION	8.0	0.0	49.0	49.0	2.6	5.4	\$ 4,837.00
0230-0800-0300	1	ARMSTRONG, ANTHONY WILLIAM	1130	FRANKLIN STREET	LOT 3, BLOCK 8, WASHINGTON 4TH ADDITION	6.0	0.0	66.0	66.0	6.0	0.0	\$ 5,394.00
0230-0800-0400	1	SAUVAGEAU, RYAN & MELODY	1144	FRANKLIN STREET	LOT 4, BLOCK 8, WASHINGTON 4TH ADDITION	5.7	0.0	50.0	50.0	5.7	0.0	\$ 4,260.70
0230-0800-0500	1	KOHLER, GARY A. & CHERYL A.	1156	FRANKLIN STREET	LOT 5, BLOCK 8, WASHINGTON 4TH ADDITION	6.4	0.0	27.5	27.5	6.4	0.0	\$ 2,836.40
0230-0800-0600	1	ROQUET, NOEL W. & MICHELLE L.	1170	FRANKLIN STREET	LOT 6, BLOCK 8, WASHINGTON 4TH ADDITION	3.3	0.0	48.0	48.0	3.3	0.0	\$ 3,762.30

DICKINSON 2025 ROAD MAINTENANCE (202501)

SID NO. 202501

COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY

PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
0230-0800-0700	1	TAECKER, JADE & JESSICA	1182	FRANKLIN STREET	LOT 7, BLOCK 8, WASHINGTON 4TH ADDITION	9.3	0.0	64.0	64.0	4.9	4.4	\$ 5,998.30
0230-0700-0700	1	WOLF, RUSSELL & SUSAN F.	1131	FRANKLIN STREET	LOT 7, BLOCK 7, WASHINGTON 4TH ADDITION	3.2	0.0	58.0	58.0	3.2	0.0	\$ 4,427.20
0230-0700-0800	1	VENEMA, MORRIS AUSTYN & KAITLYN	1145	FRANKLIN STREET	LOT 8, BLOCK 7, WASHINGTON 4TH ADDITION	11.4	0.0	37.5	37.5	8.3	3.1	\$ 4,441.90
0230-0700-0900	1	LD HOLDINGS, LLC	-	FRANKLIN STREET	LOT 9, BLOCK 7, WASHINGTON 4TH ADDITION	0.0	0.0	39.5	39.5	33.0	0.0	\$ 6,646.00
0230-0700-1000	1	JOHNSON, DAN, CLINT & GARTH	1167	FRANKLIN STREET	LOT 10, BLOCK 7, WASHINGTON 4TH ADDITION	7.6	0.0	24.5	24.5	2.3	5.2	\$ 3,087.60
0230-0700-1100	1	JOHNSON, DAN, CLINT & GARTH	-	FRANKLIN STREET	LOT 11, BLOCK 7, WASHINGTON 4TH ADDITION	0.0	0.0	62.0	62.0	33.3	0.0	\$ 8,212.00
0230-0700-1200	1	STOLTZ, LORRI	1189	FRANKLIN STREET	LOT 12, BLOCK 7, WASHINGTON 4TH ADDITION	5.4	0.0	25.5	25.5	5.4	0.0	\$ 2,549.40
0230-0700-0200	1	BARTHOLOMEW, PAUL & SANDRA	1116	GARFIELD STREET	LOT 2, BLOCK 7, WASHINGTON 4TH ADDITION	19.0	0.0	73.0	73.0	16.2	2.8	\$ 7,987.00
0230-0700-0300	1	BERGER, EILEEN M.	1126	GARFIELD STREET	LOT 3, BLOCK 7, WASHINGTON 4TH ADDITION	0.0	0.0	11.0	11.0	0.0	0.0	\$ 748.00
0230-0700-0400	1	SICKLER, SHANNON & CRYSTAL L.	1138	GARFIELD STREET	LOT 4, BLOCK 7, WASHINGTON 4TH ADDITION	0.0	0.0	18.5	18.5	0.0	0.0	\$ 1,258.00
0230-0600-0700	1	THEURER, KEVIN L.	1115	GARFIELD STREET	LOT 7, BLOCK 6, WASHINGTON 4TH ADDITION	0.0	0.0	42.0	42.0	0.0	0.0	\$ 2,856.00
0230-0600-0600	1	TORMASCHY, KATIE L.	1125	GARFIELD STREET	LOT 6, BLOCK 6, WASHINGTON 4TH ADDITION	4.8	0.0	46.0	46.0	4.8	0.0	\$ 3,852.80
0230-0600-0500	1	TORMASCHY, KATIE L.	-	GARFIELD STREET	LOT 5, BLOCK 6, WASHINGTON 4TH ADDITION	0.0	0.0	10.0	10.0	0.0	0.0	\$ 680.00
0230-0600-0200	1	ROHR, JENNIFER	1112	HOOVER STREET	LOT 2, BLOCK 6, WASHINGTON 4TH ADDITION	13.1	0.0	31.5	31.5	8.6	4.6	\$ 4,385.10
0230-0600-0300	1	SANCHEZ, TARA & JARED	1120	HOOVER STREET	LOT 3, BLOCK 6, WASHINGTON 4TH ADDITION	15.9	0.0	32.0	32.0	15.9	0.0	\$ 4,576.90
0230-0600-0400	1	KNUTSON, L. & M. ANDERSON	1130	HOOVER STREET	LOT 4, BLOCK 6, WASHINGTON 4TH ADDITION	1.6	0.0	50.0	50.0	0.0	1.6	\$ 3,729.60
0230-0500-0700	1	RAU, WAYNE & GLORIA L. FICHTER	1111	HOOVER STREET	LOT 7, BLOCK 5, WASHINGTON 4TH ADDITION	12.9	0.0	50.0	50.0	3.6	9.3	\$ 5,859.40
0230-0500-0600	1	MILLER, MOLLY N. & BEAU D.	1119	HOOVER STREET	LOT 6, BLOCK 5, WASHINGTON 4TH ADDITION	0.7	0.0	69.5	69.5	0.7	0.0	\$ 4,831.70
0230-0500-0500	1	PROPERTY OWNER	1127	HOOVER STREET	LOT 5, BLOCK 5, WASHINGTON 4TH ADDITION	8.3	0.0	16.5	16.5	8.3	0.0	\$ 2,375.30
0230-0500-0200	1	SENGER, CHRIS V. & KRISTI K.	1110	10TH STREET E	LOT 2, BLOCK 5, WASHINGTON 4TH ADDITION	17.6	0.0	77.0	77.0	5.8	11.8	\$ 8,542.60
0230-0500-0300	1	FISCHER, CHARLES & ELIZABETH A.	1118	10TH STREET E	LOT 3, BLOCK 5, WASHINGTON 4TH ADDITION	0.0	0.0	35.5	35.5	0.0	0.0	\$ 2,414.00
0230-0500-0400	1	KILWEIN, RAYMOND J. & PAMELA J.	1126	10TH STREET E	LOT 4, BLOCK 5, WASHINGTON 4TH ADDITION	0.0	0.0	43.0	43.0	0.0	0.0	\$ 2,924.00
0850-1400-0000	1	HILLSIDE BAPTIST CHURCH	1123	10TH STREET E	BLOCK 14, REPLAT NORTH HILL ACRES 2ND	0.0	0.0	345.0	345.0	298.4	0.0	\$ 59,268.00
0880-0300-1200	1	HILLSIDE BAPTIST CHURCH	-	10TH STREET E	LOT 12, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	102.5	102.5	121.2	0.0	\$ 21,514.00
0880-0600-0800	1	SAHR, T. D. & J. JOHNSON-SAHR	-	10TH STREET E	LOT 8, BLOCK 6, SHINAGLE'S 1ST	0.0	0.0	42.5	42.5	110.2	0.0	\$ 16,114.00
0880-0600-0700	1	SAHR, T. D. & J. JOHNSON-SAHR	-	10TH STREET E	LOT 7, BLOCK 6, SHINAGLE'S 1ST	0.0	0.0	3.0	3.0	44.6	0.0	\$ 5,556.00
0880-0600-0300	1	SAHR, T. D. & J. JOHNSON-SAHR	1177	10TH STREET E	LOTS 3-6, BLOCK 6, SHINAGLE'S 1ST	0.0	0.0	144.5	144.5	106.0	0.0	\$ 22,546.00
0880-0300-1100	1	HILLSIDE BAPTIST CHURCH	-	11TH AVENUE E	LOT 11, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	6.0	6.0	44.6	0.0	\$ 5,760.00
0880-0300-1000	1	HILLSIDE BAPTIST CHURCH	-	11TH AVENUE E	LOT 10, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	12.0	12.0	42.9	0.0	\$ 5,964.00
0880-0300-0900	1	HILLSIDE BAPTIST CHURCH	-	11TH AVENUE E	LOT 9, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	6.5	6.5	62.6	0.0	\$ 7,954.00
0880-0300-0700	1	KOSTELECKY, KENNETH D. & CHERYL R.	1169	11TH AVENUE E	LOTS 7 & 8, BLOCK 3, SHINAGLE'S 1ST	1.0	0.0	152.0	152.0	31.0	0.0	\$ 14,087.00
0880-0600-0100	1	NEVILLE, WEST & RACHEL	1070	11TH AVENUE E	LOTS 1 & 2, BLOCK 6, SHINAGLE'S 1ST	0.0	0.0	111.0	111.0	0.0	0.0	\$ 7,548.00
0880-0400-0700	1	GOODRICH, SHELLY M.	1126	11TH AVENUE E	LOT 7, BLOCK 4, SHINAGLE'S 1ST	24.6	0.0	49.0	49.0	24.6	0.0	\$ 7,046.60
0880-0400-0800	1	AXTMANN, ABRAHAM J.	1148	11TH AVENUE E	LOT 8, BLOCK 4, SHINAGLE'S 1ST	8.2	0.0	43.5	43.5	8.2	0.0	\$ 4,196.20
0880-0400-0900	1	DORVAL, LARRY J.	1168	11TH AVENUE E	LOT 9, BLOCK 4, SHINAGLE'S 1ST	4.8	0.0	17.5	17.5	4.8	0.0	\$ 1,914.80
0880-0400-0100	1	JENSEN, TASHA	1192	11TH AVENUE E	LOT 1, BLOCK 4, SHINAGLE'S 1ST	54.4	0.0	66.5	66.5	41.2	13.2	\$ 13,462.40
0880-0400-0602	1	NIKKEL, JONATHAN KEIL	1111	ALEXANDER DRIVE	S101' LOT 6, BLOCK 4, SHINAGLE'S 1ST	30.1	0.0	109.5	109.5	18.0	12.1	\$ 12,656.60
0880-0500-0100	1	HAVELKA, DONALD J. & BERNICE	1163	11TH STREET E	LOT 1, BLOCK 5, SHINAGLE'S 1ST	42.7	0.0	86.0	86.0	39.7	3.0	\$ 12,460.70
0880-0400-0601	1	SHEPARD, CODY	1129	ALEXANDER DRIVE	N85.71' LOT 6, BLOCK 4, SHINAGLE'S 1ST	3.1	0.0	16.0	16.0	3.1	0.0	\$ 1,556.10
0880-0400-0500	1	BITTNER, CORY J. & ANDREA D.	1147	ALEXANDER DRIVE	LOT 5, BLOCK 4, SHINAGLE'S 1ST	12.9	0.0	49.0	49.0	4.1	8.8	\$ 5,763.90
0880-0400-0400	1	DORVAL, LARRY L.	-	ALEXANDER DRIVE	LOT 4, BLOCK 4, SHINAGLE'S 1ST	0.0	0.0	12.0	12.0	57.3	0.0	\$ 7,692.00
0880-0400-0300	1	KEITH, JOSHUA D. & JAMIE L.	1189	ALEXANDER DRIVE	LOT 3, BLOCK 4, SHINAGLE'S 1ST	16.4	0.0	39.0	39.0	5.9	10.6	\$ 5,723.40
0880-0500-0200	1	JENSON, JIM V. & DORA F.	1132	ALEXANDER DRIVE	LOT 2 PLUS S1/2 LOT 3, BLOCK 5, SHINAGLE'S 1ST	10.1	0.0	25.0	25.0	5.9	4.2	\$ 3,456.10
0880-0500-0400	1	GALSTER, SHELDON L.	1148	ALEXANDER DRIVE	N1/2 LOT 3 PLUS ALL LOT 4, BLOCK 5, SHINAGLE'S 1ST	1.0	0.0	16.0	16.0	1.0	0.0	\$ 1,239.00
0880-0500-0500	1	BRENTUP, GREGORY J. & PRAUS, JOYCE	1160	ALEXANDER DRIVE	LOT 5, BLOCK 5, SHINAGLE'S 1ST	12.6	0.0	36.0	36.0	12.6	0.0	\$ 4,350.60
0880-0500-0600	1	FAIMAN, SHAYDIN J. & HOPE	1150	12TH STREET E	LOT 6, BLOCK 5, SHINAGLE'S 1ST	20.4	0.0	111.0	111.0	20.4	0.0	\$ 10,628.40
0880-0200-0100	1	SCHATZ, SHEA & MICHELLE	1210	ALEXANDER DRIVE	LOT 1, BLOCK 2, SHINAGLE'S 1ST	11.6	0.0	173.0	173.0	11.6	0.0	\$ 13,515.60
0880-0200-0200	1	STOLTZ, AARON & MELISSA	1230	ALEXANDER DRIVE	W94' LOT 2, BLOCK 2, SHINAGLE'S 1ST	23.3	0.0	59.0	59.0	20.0	3.3	\$ 7,711.80
0880-0200-0300	1	STOLTZ, AARON & MELISSA	1240	ALEXANDER DRIVE	E46' LOT 2 PLUS W17' LOT 3, BLOCK 2, SHINAGLE'S 1ST	2.9	0.0	23.0	23.0	2.9	0.0	\$ 2,001.90
0880-0200-0301	1	STEFFAN, TANNER & MELANIE	1246	ALEXANDER DRIVE	MIDDLE 62' LOT 3, BLOCK 2, SHINAGLE'S 1ST	8.7	0.0	48.0	48.0	5.3	3.3	\$ 4,747.20
0880-0200-0302	1	FRIDLEY, GUY & AMBER	1252	ALEXANDER DRIVE	E61' LOT 3, BLOCK 2, SHINAGLE'S 1ST	14.3	0.0	28.0	28.0	14.3	0.0	\$ 4,063.30
0880-0200-0400	1	HOFER, DUSTIN A. & WHITNEY J.	1274	ALEXANDER DRIVE	LOT 4, BLOCK 2, SHINAGLE'S 1ST	14.2	0.0	45.5	45.5	14.2	0.0	\$ 5,238.20
0880-0200-0501	1	MELCHIOR, LARRY V. & PAMELA J.	1125	12TH STREET E	N59.9' LOT 5, BLOCK 2, SHINAGLE'S 1ST	5.7	0.0	37.5	37.5	5.7	0.0	\$ 3,410.70
0880-0100-0102	1	SEILER, MARY ANN TRUST	1019	12TH STREET E	TRACT 1D LOT 1, BLOCK 1, SHINAGLE'S 1ST ADDITION	0.0	0.0	40.5	40.5	0.0	0.0	\$ 2,754.00
0880-0100-0100	1	ROSS, SCOTT & RACHELLE	1219	ALEXANDER DRIVE	NORTH PART OF LOT 1, BLOCK 1, SHINAGLE'S 1ST ADDITION	11.2	0.0	54.5	54.5	11.2	0.0	\$ 5,397.20
0880-0100-0200	1	KUNTZ, LARRY F. & DARLA J.	1225	ALEXANDER DRIVE	SOUTH PART LOT 2, BLOCK 1, SHINAGLE'S 1ST, TRACT #5	2.0	0.0	32.5	32.5	2.0	0.0	\$ 2,512.00
0880-0100-0300	1	GLASSER, DANIEL J. & DANA M.	1231	ALEXANDER DRIVE	W62.51' S127.97' LOT 3, BLOCK 1, SHINAGLE'S 1ST, TRACT #4	0.0	0.0	37.5	37.5	0.0	0.0	\$ 2,550.00
0880-0100-0301	1	MONGER, KURT D. & CARRON D.	1241	ALEXANDER DRIVE	E37.58' S120.09' LOT 3 & W25' S120' LOT 4, BLOCK 1, SHINAGLE'S 1ST, TRACT #3	0.0	0.0	22.5	22.5	0.0	0.0	\$ 1,530.00
0880-0100-0400	1	HUGHES, LANCE & CELESTIAL	-	ALEXANDER DRIVE	ACCESS EASEMENT LOT 4, BLOCK 1, SHINAGLE'S 1ST	0.0	0.0	0.0	0.0	0.0	0.0	\$ -
0880-0100-0402	1	LEE, KEITH F. & STELLA J.	1247	ALEXANDER DRIVE	E41.24' S120' LOT 4 & W24.81' S120' LOT 5, BLOCK 1, SHINAGLE'S 1ST, TRACT #2	2.9	0.0	61.0	61.0	2.9	0.0	\$ 4,585.90
0880-0100-0500	1	ARTHAUD FAMILY IRREVOC TR 2016	1249	ALEXANDER DRIVE	E63.81' W88.62' S119.99' LOT 5, BLOCK 1, SHINAGLE'S 1ST, TRACT #1	2.3	0.0	7.5	7.5	2.3	0.0	\$ 857.30
0880-0100-0501	1	BASIC, JOYCE M.	1253	ALEXANDER DRIVE	MIDDLE PORTION LOT 5, BLOCK 1, SHINAGLE'S 1ST	2.7	0.0	9.5	9.5	2.7	0.0	\$ 1,053.70
0880-0100-0502	1	BREN, PATRICK J. & GAYLE	1265	ALEXANDER DRIVE	EAST PORTION LOT 5, BLOCK 1, SHINAGLE'S 1ST	3.1	0.0	12.0	12.0	3.1	0.0	\$ 1,284.10
0880-0100-0600	1	MEIER, SARAH ET-AL	1277	ALEXANDER DRIVE	LOT 6, BLOCK 1, SHINAGLE'S 1ST ADDITION	20.0	0.0	24.5	24.5	4.8	15.2	\$ 5,522.00
0880-0100-0700	1	ELKIN, RYAN & BOBBI	1151	12TH STREET E	LOT 7, BLOCK 1, SHINAGLE'S 1ST	23.4	0.0	115.5	115.5	21.1	2.3	\$ 11,513.90
0880-0300-0100	1	KEITHLEY, MARK	1008	12TH STREET E	LOT 1, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	25.0	25.0	0.0	0.0	\$ 1,700.00

DICKINSON 2025 ROAD MAINTENANCE (202501)  
SID NO. 202501

COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY




PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
0880-0300-0200	1	BUI, KOBE & THU THI HUYNH	1024	12TH STREET E	LOT 2, BLOCK 3, SHINAGLE'S 1ST	4.9	0.0	14.5	14.5	2.8	2.1	\$ 1,841.40
0880-0300-0300	1	MILLER, CHAD A. & KENDRA	1040	12TH STREET E	LOT 3, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	35.5	35.5	0.0	0.0	\$ 2,414.00
0880-0300-0400	1	PRAUS, WAYNE & JONNA J.	1054	12TH STREET E	LOT 4, AND THE WEST PART OF LOT 5, BLOCK 3, SHINAGLE'S 1ST	7.2	0.0	53.0	53.0	3.3	3.9	\$ 4,905.70
0880-0300-0600	1	FONG, CARTER J. & STEPHANIE J.	1080	12TH STREET E	LOT 6, AND A TRACT IN LOT 5, BLOCK 3, SHINAGLE'S 1ST	0.0	0.0	67.5	67.5	0.0	0.0	\$ 4,590.00
0880-0400-0200	1	HILL, PARIS J. & COLTON J.	1118	12TH STREET E	LOT 2, BLOCK 4, SHINAGLE'S 1ST	6.0	0.0	0.0	0.0	6.0	0.0	\$ 906.00
0880-0500-0700	1	MOE, KATRINA & BRYAN	1162	12TH STREET E	LOTS 7 & 8, BLOCK 5, SHINAGLE'S 1ST ADDITION	29.1	0.0	132.0	132.0	21.9	7.2	\$ 13,766.10
0880-0100-0101	1	STOLTZ, AARON & MELISSA	1003	12TH STREET E	TRACT 1C LOT 1, BLOCK 1, SHINAGLE'S 1ST ADDITION	0.0	0.0	29.0	29.0	0.0	0.0	\$ 1,972.00
0880-0200-0700	1	GPV LLC	1089	12TH STREET E	LOT 7, BLOCK 2, SHINAGLE'S 1ST	4.8	0.0	46.5	46.5	4.8	0.0	\$ 3,886.80
0880-0200-0601	1	RAMBUR, DENISE	1109	12TH STREET E	S73.25' LOT 6, BLOCK 2, SHINAGLE'S 1ST	7.4	0.0	39.5	39.5	4.7	2.8	\$ 3,969.40
0880-0200-0505	1	TURNER, SAMUEL E. & HOLLY A.	1117	12TH STREET E	S44' N65' LOT 6, BLOCK 2, SHINAGLE'S 1ST	17.2	0.0	21.0	21.0	11.6	5.7	\$ 4,350.70
0880-0200-0504	1	WOODRUFF, GEORGE L.	1119	12TH STREET E	S13' LOT 5, N21' LOT 6, BLOCK 2, SHINAGLE'S 1ST	0.0	0.0	33.0	33.0	0.0	0.0	\$ 2,244.00
0880-0200-0503	1	EBERHARDT, ELISE K.	1121	12TH STREET E	S34' N127.9' LOT 5, BLOCK 2, SHINAGLE'S 1ST	7.7	0.0	5.0	5.0	7.7	0.0	\$ 1,502.70
0880-0200-0502	1	ROLES, KARI & JEFFREY BINSTOCK	1123	12TH STREET E	S34' N93.9' LOT 5, BLOCK 2, SHINAGLE'S 1ST	0.0	0.0	2.0	2.0	0.0	0.0	\$ 136.00
0880-0100-0800	1	WANNER, BRIAN J. & JOLENE	1163	12TH STREET E	LOT 8 LESS EAST PORTION, BLOCK 1, SHINAGLE'S 1ST	1.7	0.0	53.5	53.5	1.7	0.0	\$ 3,894.70
0880-0100-0900	1	JUNG, TYSON P. & CARRI R.	1189	12TH STREET E	EAST PORTION LOT 8, ALL LOT 9, BLOCK 1, SHINAGLE'S 1ST	2.7	0.0	65.0	65.0	2.7	0.0	\$ 4,827.70
<b>ZONE TOTALS:</b>						<b>3,958.6</b>	<b>0.0</b>	<b>15,878.5</b>	<b>15,878.5</b>	<b>4,397.9</b>	<b>1,031.3</b>	<b>\$ 1,910,680.10</b>

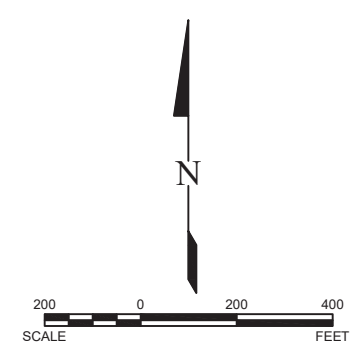
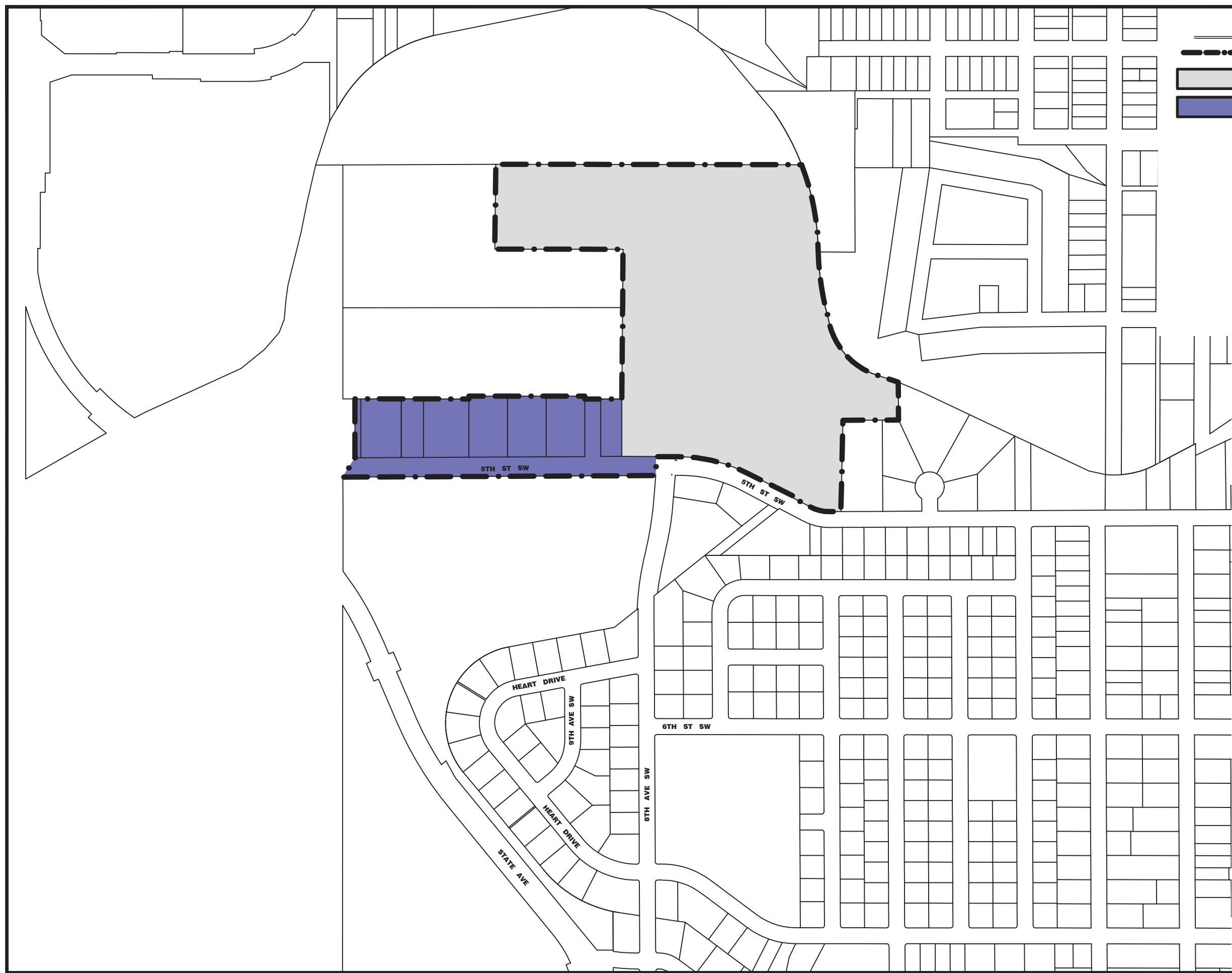
# APPENDIX 4

SID No. 202501-2 Packet:  
District Map, Plan Drawings and  
Assessment Table



**LEGEND**

-  SID (SPECIAL IMPROVEMENT DISTRICT) BOUNDARY
-  UNPLATTED 9
-  LEWIS ADDITION

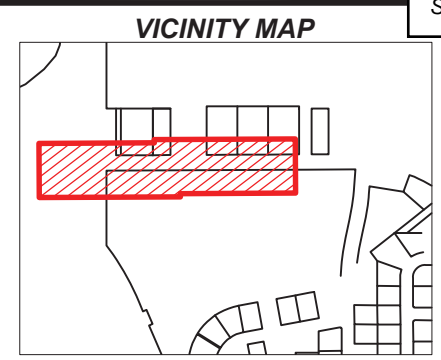
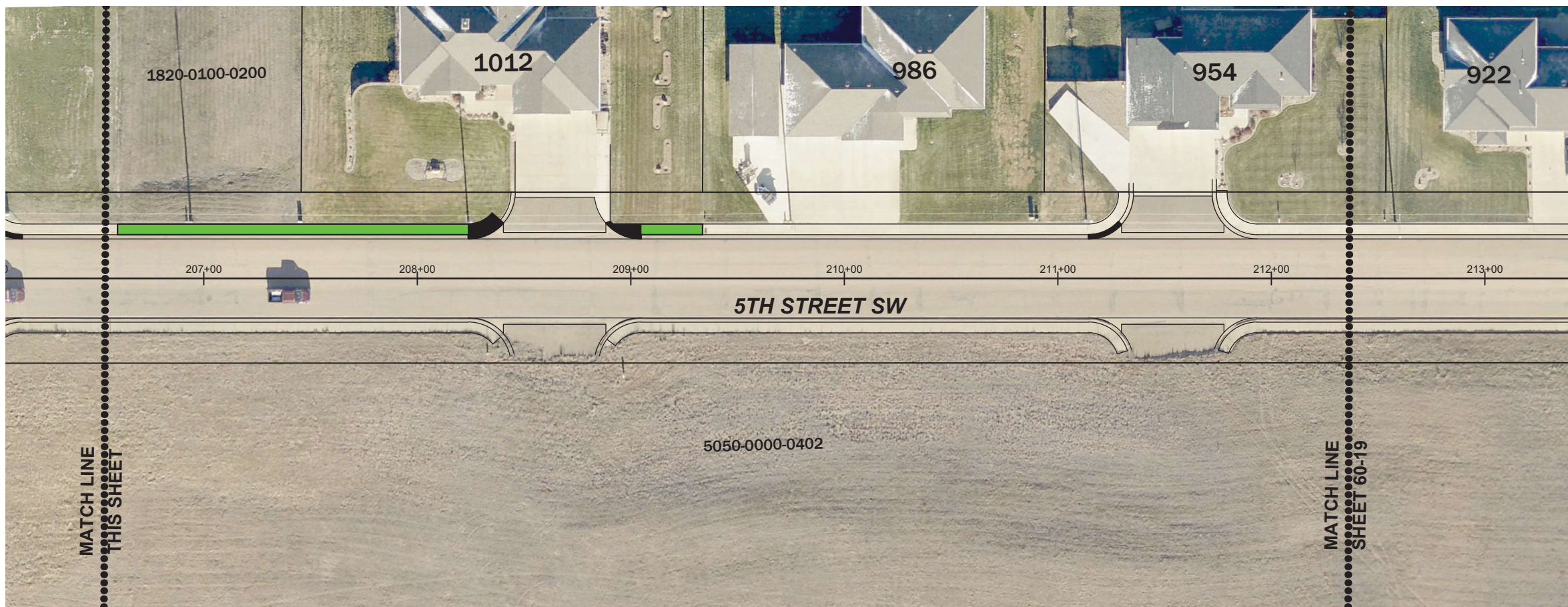


NO.	DATE	REVISION

DRAFTED	MJS
REVIEWED	JSK
PROJECT NUMBER	2404-00273
ISSUE DATE	9/11/2024

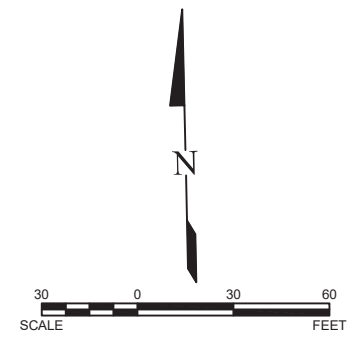
**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-2 - DISTRICT MAP

SHEET  
 1



**LEGEND**

- ..... MATCH LINE
- SID CONCRETE SIDEWALK
- SID CONCRETE DRIVEWAY 6"
- SID CURB & GUTTER
- NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- EXISTING INLET

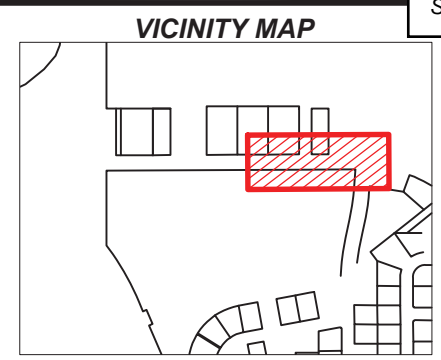
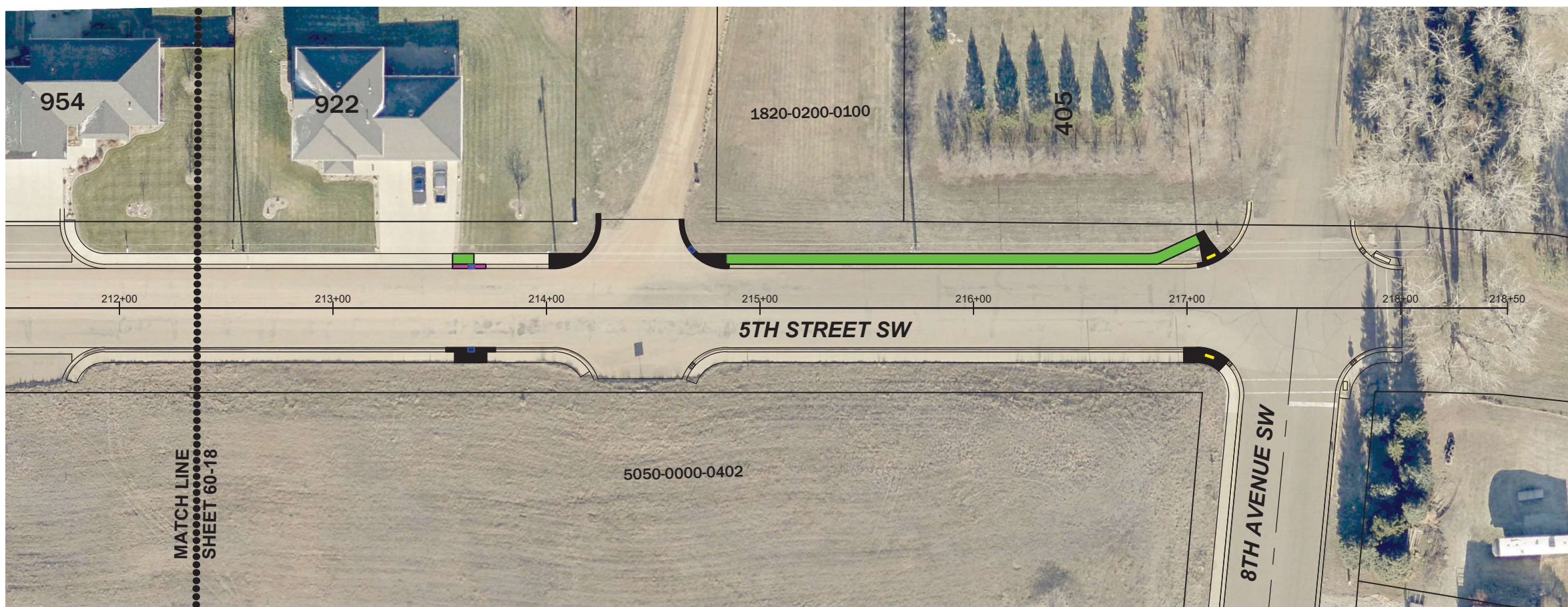


NO.	DATE	REVISION

DRAFTED  
MJS  
REVIEWED  
JSK  
PROJECT NUMBER  
2404-00273  
ISSUE DATE  
9/11/2024

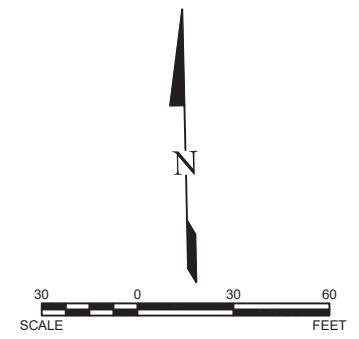
**2025 ROAD MAINTENANCE**  
CITY OF DICKINSON  
DICKINSON, NORTH DAKOTA  
SID NO. 202501-1 - 5TH STREET SW (1)

SHEET  
60-19



**LEGEND**

- MATCH LINE
- SID CONCRETE SIDEWALK
- SID CONCRETE DRIVEWAY 6"
- SID CURB & GUTTER
- NON-SID CONCRETE
- ⊗ EXISTING GATE VALVE
- Ⓢ Ⓣ EXISTING MANHOLE
- EXISTING INLET



NO.	DATE	REVISION

DRAFTED	MJS
REVIEWED	JSK
PROJECT NUMBER	2404-00273
ISSUE DATE	9/11/2024

**2025 ROAD MAINTENANCE**  
 CITY OF DICKINSON  
 DICKINSON, NORTH DAKOTA  
 SID NO. 202501-1 - 5TH STREET SW (2)

SHEET  
 60-10

DICKINSON 2025 ROAD MAINTENANCE (202501)  
SID NO. 202501

COST PER LOT BY CONCRETE IMPROVEMENTS ADJACENT TO PROPERTY

PARCEL ID	Zone	OWNER	HOUSE #	STREET	LEGAL	REMOVAL OF CONCRETE (SY)	REMOVAL OF ASPHALT PAVEMENT (SY)	REMOVAL OF CURB & GUTTER (LF)	CURB & GUTTER (LF)	CONCRETE SIDEWALK (SY)	CONCRETE DRIVEWAY 6IN (SY)	TOTAL ASSESSMENT BY PARCEL
1820-0100-0100	2	SELINGER, BRUCE A. & BRENDA L.	-	5TH STREET SW	W25' LOT 1, BLOCK 1, LEWIS ADDITION	0.0	0.0	5.0	5.0	14.4	0.0	\$ 2,068.00
1820-0100-0101	2	OLHEISER, KELLY L.	1066	5TH STREET SW	E117' LOT 1, W50' LOT 2, BLOCK 1, LEWIS ADDITION	0.0	0.0	0.0	0.0	0.6	0.0	\$ 72.00
1820-0100-0200	2	LEWIS, RON L.	-	5TH STREET SW	E92' LOT 2, BLOCK 1, LEWIS ADDITION	0.0	0.0	0.0	0.0	47.8	0.0	\$ 5,736.00
1820-0100-0300	2	LEWIS, RONALD L.	1012	5TH STREET SW	LOT 3, BLOCK 1, LEWIS ADDITION	0.0	0.0	0.0	0.0	59.4	0.0	\$ 7,128.00
1820-0100-0400	2	HAUCK, CLARENCE W. & DEBORAH A.	986	5TH STREET SW	LOT 4, BLOCK 1, LEWIS ADDITION plus 12' x 160' of a Tract in NW 1/4 9-139-96	0.0	0.0	0.0	0.0	0.0	0.0	\$ -
1820-0100-0500	2	BINSTOCK, ALYSON A. & NATHAN J.	954	5TH STREET SW	LOT 5, BLOCK 1, LEWIS ADDITION plus 12' x 160' of a Tract in NW1/4 9-139-96	0.0	0.0	0.0	0.0	0.0	0.0	\$ -
1820-0100-0600	2	HAAG, JONATHAN & MELISSA	922	5TH STREET SW	LOT 6, BLOCK 1, LEWIS ADDITION plus 12'x160' of a TRACT IN NW1/4 9-139-96	5.6	0.0	15.5	15.5	5.6	0.0	\$ 1,899.60
1820-0200-0100	2	LEWIS, RON L.	-	5TH STREET SW	LOT 1, BLOCK 2, LEWIS ADDITION	0.0	0.0	0.0	0.0	46.1	0.0	\$ 5,532.00
5050-0000-0501	2	DICKINSON PARK DISTRICT	405	8TH AVENUE SW	20.98 A, 5.82A, 4A TRACTS, UNPLATTED 9-139-96	0.0	0.0	0.0	0.0	77.6	0.0	\$ 9,312.00
<b>ZONE TOTALS:</b>						<b>5.6</b>	<b>0.0</b>	<b>20.5</b>	<b>20.5</b>	<b>251.5</b>	<b>0.0</b>	<b>\$ 31,747.60</b>

**RESOLUTION NO. \_\_\_\_\_ - 2024**

A RESOLUTION DETERMINING WRITTEN PROTESTS TO THE 2025 ROAD MAINTENANCE PROJECT SPECIAL IMPROVEMENT DISTRICT NO. 202501-1 DIRECTING THE FILING OF AN ENGINEER’S REPORT REGARDING THE SAME, AND DECLARING THAT IT IS NECESSARY TO MAKE THE IMPROVEMENTS DESCRIBED THEREIN.

WHEREAS, on the 19th day of November, 2024, the Board of City Commissioners of the City of Dickinson adopted Resolution No. 38-2024, creating the 2025 Road Maintenance Project Special Improvement District No. 202501-1; and

NOW, THEREFORE, BE IT RESOLVED by the Board of City Commissioners of the City of Dickinson, North Dakota, as follows:

1. The City of Dickinson hereby creates the 2025 Road Maintenance Project Special Improvement District No. 202501-1. Such special assessment improvement district shall include the following:

- LOTS 1-7, BLOCK 2, SUNCREST ADDITION
- LOTS 1-9, BLOCK 3, SUNCREST ADDITION
- LOTS 2-4, BLOCK 1, MORNINGSIDE ADDITION
- LOTS 1-14, BLOCK 2, MORNINGSIDE ADDITION
- LOTS 1-10, BLOCK 3, MORNINGSIDE ADDITION
- LOTS 14-15, BLOCK 1, SUNCREST 2<sup>ND</sup> ADDITION
- LOTS 10-16, BLOCK 3, SUNCREST 2<sup>ND</sup> ADDITION
- LOTS 1-7, BLOCK 7, SUNCREST 2<sup>ND</sup> ADDITION
- LOTS 1-2, BLOCK 8, SUNCREST 2<sup>ND</sup> ADDITION
- LOTS 1-5, BLOCK 2, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-26, BLOCK 3, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-16, BLOCK 4, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-8, BLOCK 5, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-8, BLOCK 6, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-13, BLOCK 7, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-9 AND 14-15, BLOCK 8, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1 AND 13-28, BLOCK 9, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-15, BLOCK 10, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-26, BLOCK 11, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-3 AND 23-25, BLOCK 12, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-2 AND 10-12, BLOCK 13, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1, 2, AND 22-23, BLOCK 14, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-6, BLOCK 22, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-12, BLOCK 23, WASHINGTON 4<sup>TH</sup> ADDITION
- LOTS 1-12, BLOCK 24, WASHINGTON 4<sup>TH</sup> ADDITION
- BLOCK 14, REPLAT NORTH HILLS ACRES 2<sup>ND</sup>
- LOTS 1-9, BLOCK 1, SHINAGLES’S 1<sup>ST</sup> ADDITION
- LOT 1-7, BLOCK 2, SHINAGLES’S 1<sup>ST</sup> ADDITION
- LOTS 1-12, BLOCK 3, SHINAGLES’S 1<sup>ST</sup> ADDITION
- LOTS 1-9, AND 12, BLOCK 4, SHINAGLES’S 1<sup>ST</sup> ADDITION
- LOTS 1-8, BLOCK 5, SHINAGLES’S 1<sup>ST</sup> ADDITION
- LOTS 1-8, BLOCK 6, SHINAGLES’S 1<sup>ST</sup> ADDITION

2. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners hereby directs the advertisement of bids for the 2025 Road Maintenance Project.

3. Pursuant to NDCC 40-22-10, the Board of City Commissioners hereby directs its municipal engineering consultant to prepare a report as to the general nature, purpose, and feasibility of the proposed improvement and an estimate of the probable cost of the improvement, including: (1) a separate statement of the estimated cost of the work for which proposals must be advertised under NDCC Section 40-22-19; and (2) a separate statement of all other items of estimated cost not included under subsection (1) which are anticipated to be included in the cost of the improvement under NDCC

Sections 40-23-05 and 40-23.1-04. Such engineer’s report has been received by the City and is hereby approved.

4. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners also hereby finds that total of the present and likely future benefits of the project exceed the total cost of the project. The portion of the benefits of the project received by the City and the general public at large is 74% and the portion that specifically benefits the property in the district is 26%.

5. Pursuant to N.D.C.C. § 40-22-18, the City of Dickinson received 115 protests for a total of 45% of the total area within the special improvement district being protested.

6. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners also hereby finds the proposed assessments for each lot and parcel are necessary to pay that parcel’s just proportion of the total cost of such work, finding that such proposed assessments do not exceed the benefits to each lot, and recommending said assessments to the City Commission for approval.

7. The Board of City Commissioners hereby declares that it is necessary to make the improvements described in the engineer’s report. The engineer’s report and a map of the City showing the proposed improvement district is attached hereto and incorporated herein by reference.

8. The Board of City Commissioners hereby declares the interest rate for this proposed improvement district to be \_\_\_\_%, and the term of the proposed improvement district to be \_\_\_\_ years.

Dated this \_\_\_\_ day of November, 2024.

\_\_\_\_\_  
Scott Decker, President  
Board of City Commissioners

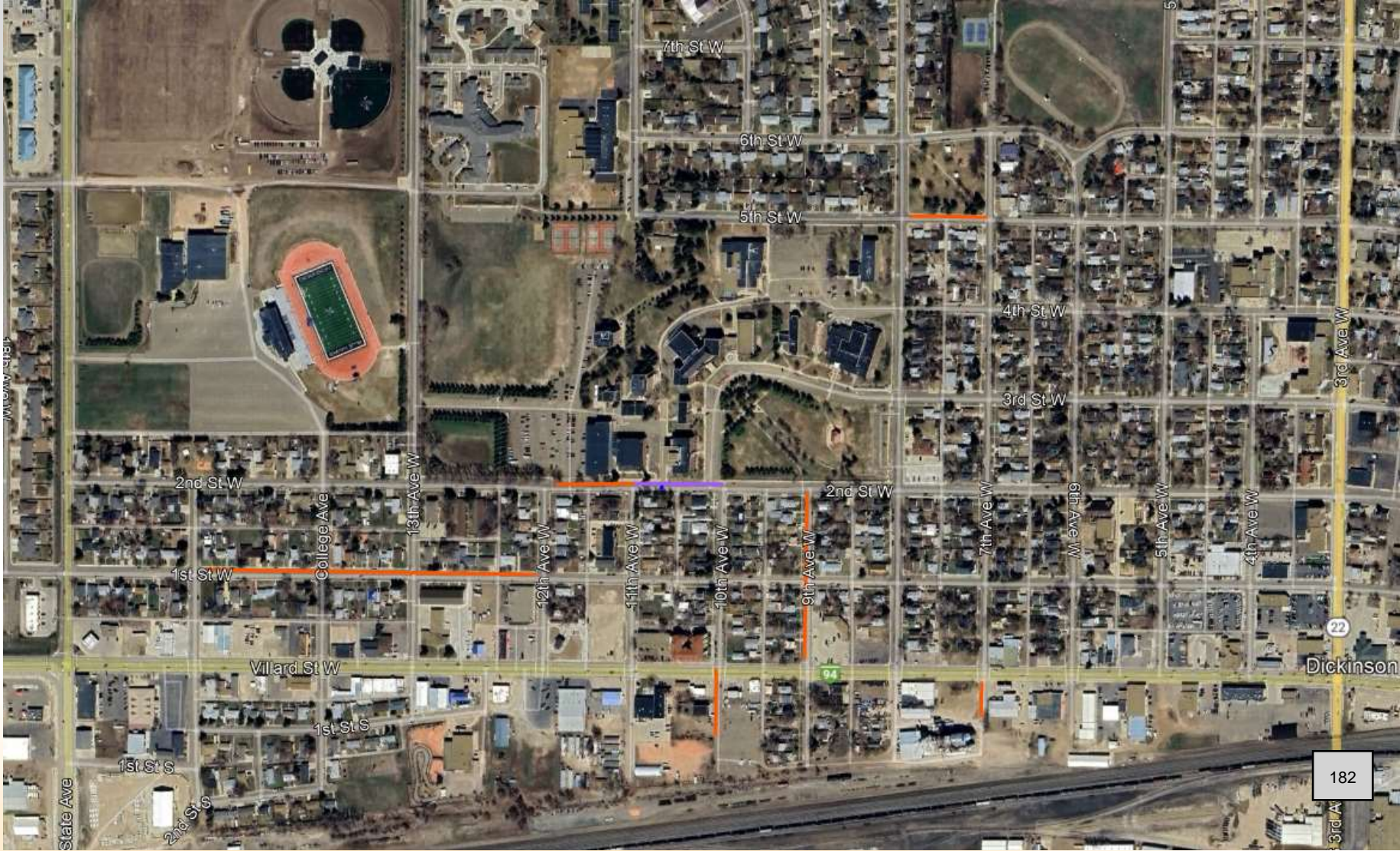
ATTEST:

\_\_\_\_\_  
Dustin Dassinger  
Dickinson City Administrator

# 2025 Watermain & Lead Service Line Replacement Project

**ORANGE** = 6-INCH CAST IRON MAIN TO BE REPLACED WITH 8-INCH PVC

**PURPLE** = 6-INCH CAST IRON MAIN TO BE ABANDONED IN PLACE



# 2025 Watermain & Lead Service Line Replacement Project



- > Special Improvement District Benefits:
  - > The streets, curb and gutter, and sidewalks need repairs. Several of the sidewalks are not ADA compliant. These improvements will ensure safe pedestrian walkability and access throughout the neighborhood. The street improvements will extend the life expectancy of the roadways and will reduce maintenance costs for the City.
  - > The watermains are 6-inch cast iron. These mains are the most frequent material to break. The mains are often corroded, filled with mineral deposits, cause water color issues, and lack sufficient flow to meet fire flow requirements.
  - > There are multiple lead services lines that will be replaced from the watermain all the way to the meter in the building and will be paid for 100% by the City of Dickinson. The lead service lines replacements will ensure safe drinking water.



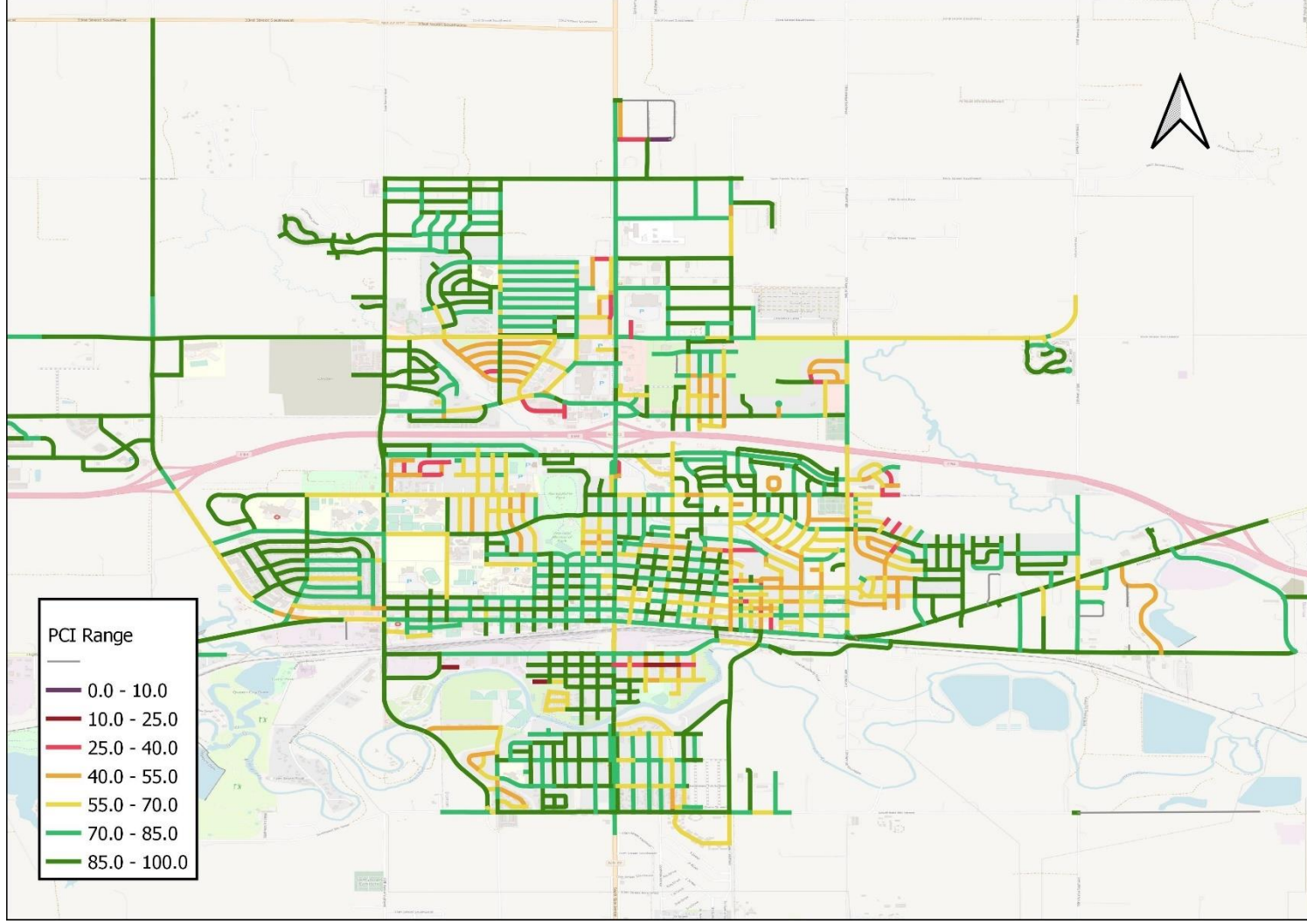


Figure 2: 2023 PCI Scores by Range

# Memorandum

**Date:** 6/5/2024  
**Author:** Josh Skluzacek

**RE:** Concrete Removal Standard Operating Procedure for Projects

## Remarks

The following guidelines are used for determining concrete replacements in projects where concrete improvements are assessed back to the adjacent landowner. Concrete meeting any of the following conditions is to be marked for replacement. These standards are intended to follow ASTM D6433 when determining the types and severity of distresses

- Distress Types Requiring Replacement
  - Cracking
    - Uncontrolled cracks that have separated or are offset. Many cracks are starting to experience chipping along the length of the cracks.
    - Concrete has multiple cracks, including a single \_separating crack.
    - Concrete with a single hairline crack is typically left in place unless adjacent to other panels designated for removal.
    - A minimum of 2 five-foot-long panels may left in place between panels that are designated for removal
  - Spalling and Popouts
    - Concrete with 25% or more spalling/scaling.
    - Popouts that cover more than 20% of the surface and result in an uneven surface or are extremely unsightly.
  - Damaged (Blow up, Corner Break, Divided Slab, Faulting, )
    - Damaged concrete that has any deficiencies listed above shall be removed.
    - Use engineering judgement to determine if curb and gutter with minor snowplow damage without drainage concerns may be left in place. In general curb and gutter Having a "snow plow chip greater than .5" deep or over 18 square inches in area shall be replaced.
- ADA Compliance
  - Sidewalk panels with greater than 0.25-inch vertical edge is considered a tripping hazard; typically, the panel that has settled is replaced.



- If pedestrian ramp is not present at an intersection, ADA ramps shall be installed. Two sidewalk panels are typically removed for the ramp on a relatively flat grade. Use engineering judgment and follow ADA guidelines in areas with steep grades.
- If pedestrian ramps are present, ramps are left in place if in good condition and do not otherwise warrant replacement.
- If the sidewalk or driveway has more than a 2% cross slope section should be replaced. This may not be economically possible or require going off the Right of Way. Use judgement to validity.
- Drainage Issues
  - Concrete that is settled and holding water or causing a lack of drainage flow on the pavement.
  - Curb and gutter radii where new valley gutters are proposed.
  - Sidewalk and curb & gutter where trench drains are required.
  - Concrete that has had elevations impacted by tree roots.
- Concrete Patches
  - Concrete patches in asphalt pavement roadway.

Note: In some instances, there may be longer stretches of concrete replacement with one sidewalk panel or curb section that is questionable. In these cases, use engineering judgement to determine if the entire length should be replaced. i.e. saving segments of 5-feet or less should be considered from a constructability standpoint.



Water | Transportation | Municipal | Facilities

# Preliminary Engineering Report

**2025 WATERMAIN AND LEAD SERVICE LINE REPLACEMENT PROJECT**

**SPECIAL IMPROVEMENT DISTRICT No. 202503-01**



# Preliminary Engineering Report

## 2025 WATERMAIN AND LEAD SERVICE LINE REPLACEMENT PROJECT

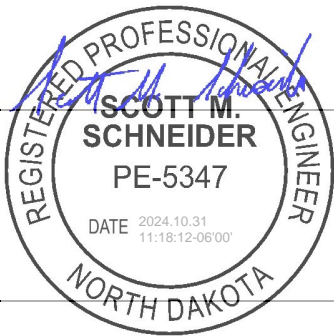
### SPECIAL IMPROVEMENT DISTRICT 202503-01

City of Dickinson Project No. CIP 202503  
Apex Project Number 24.107.0026

#### CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of North Dakota.

Signature \_\_\_\_\_  
Date \_\_\_\_\_



\_\_\_\_\_  
Scott M. Schneider  
Typed or Printed Name

\_\_\_\_\_  
PE-5347  
License Number

October 2024  
Apex Engineering Group, Inc.  
204 Sims St. – Suite 201  
Dickinson, ND 58601

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1.03 PROJECT JUSTIFICATION ..... Page 1

1.04 SCHEDULE AND OPINION OF COST ..... Page 5

1.05 SID MAPS AND ESTIMATED SPECIAL ASSESSMENTS ..... Page 5

APPENDICES ..... Page 6

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APPENDIX B - OPINION OF PROBABLE CONSTRUCTION COST

APPENDIX C - SID NO. 202503-01 DISTRICT MAP, PLAN DRAWINGS AND ASSESSMENT TABLE

### 1.01 PROJECT BACKGROUND

This Special Improvement District (SID) 202503-01 is proposed to be constructed as part of the 2025 Watermain and Lead Service Line Replacement Project identified as City of Dickinson Project Number 202503. The project is included in the City's 2025 budget.

### 1.02 PROPOSED PROJECT IMPROVEMENTS AND PROJECT LIMITS

The 2025 Watermain and Lead Service Line Replacement Project will be constructed on the following streets:

- 1<sup>st</sup> Street West: Hollywood Blvd to 12<sup>th</sup> Ave West
- 2<sup>nd</sup> Street West: 12<sup>th</sup> Ave West to 10<sup>th</sup> Ave West
- 5<sup>th</sup> Street West: 7<sup>th</sup> to 8<sup>th</sup> Ave West
- 9<sup>th</sup> Avenue West: Villard St. to 2<sup>nd</sup> St West
- South 7<sup>th</sup> Ave West: Villard St, to the South extent of existing roadway
- South 10<sup>th</sup> Ave West: Villard St. to the South extent of existing roadway

As part of the watermain project, street improvements were also identified. The project will include concrete replacement consisting of curb, gutter, sidewalk and accessibility ramp construction where the watermain project affects ramps and an asphalt mill and overlay.

### 1.03 PROJECT JUSTIFICATION

The proposed SID will correct poor drainage along curb and gutter sections that have settled and deteriorated. The SID will also replace deteriorating driveways and sidewalks as well as correct deficiencies on pedestrian facilities where practical.

Creating the SID is in accordance with the City's Special Assessment Policy (see Appendix 1). The policy was approved (Resolution 39-2019) by the City Commission on December 17, 2019. The Policy gives the City authority to assess for constructing sidewalks, curb and gutter, and driveway aprons in conjunction with street maintenance projects. As such, the proposed SID will include removal and replacement of concrete as shown on the drawings in Appendix 3.

#### 1.03.1 WATER SYSTEM IMPROVEMENTS

There are many benefits to a publicly operated water system for an urban community. The water treatment and distribution system ensures a consistent, reliable supply of potable water to residential, commercial, and industrial properties, meeting the diverse needs of the population. The system is centrally maintained by municipal authorities, who are responsible for inspections, repairs, and upgrades, ensuring water quality and reducing the burden on individual property owners. Water distribution systems are designed to handle varying demand levels, making them scalable to accommodate population growth and future urban development. Additionally, they enhance public health and safety by providing a clean and safe water supply, crucial for drinking, sanitation, and fire protection services. A water distribution system thus increases property values and supports the economic growth of a community by offering dependable and long-term access to clean water, which is essential for both daily life and business operations.

The alternative to a municipal water distribution system is the use of individual wells. However, individual wells pose several challenges, particularly in urban areas. Wells require significant space for installation, making them impractical in densely populated neighborhoods. Moreover, the quality and quantity of water from individual wells can vary depending on local groundwater conditions, often requiring additional filtration systems or treatment to ensure safe drinking water. Wells also place the maintenance responsibility entirely on property owners, including costs related to water testing, pump maintenance, and potential repairs. Given these limitations, individual wells are not a practical solution within city limits, but they can be used as a cost benchmark for quantifying the expenses property owners would face in the absence of a water distribution system.

Owning and maintaining a well system over 25 years comes with a variety of expenses. These include:

- Installation Costs
- Pumping and Routine Maintenance
- Repairs and Component Replacement
- Electricity Costs
- System Failure or Well Replacement

The capital and maintenance costs of a well system would cost at least \$30,000 and upwards to \$100,000 depending on many variables.

A failed water main system can cause significant damage to properties, potentially resulting in structural damage and loss of personal belongings. It is important to note that the water distribution system costs within the Special Improvement District are not being assessed to property owners which further increases the benefits to the property owners.

### 1.03.2 ROADWAY PAVING AND INCIDENTALS

Roadway pavement is essential to ensuring safe and efficient transportation within urban communities. A well-maintained paved road network improves vehicle and pedestrian safety by providing a smooth, stable surface that reduces the risk of accidents and vehicle damage caused by uneven or unpaved roads. Proper pavement also improves traffic flow, reducing congestion and travel time for residents and businesses, thereby enhancing overall quality of life. Additionally, paved roads are more durable and resilient to weather conditions, preventing issues like erosion, dust, and water pooling, which can degrade unpaved surfaces over time and lead to costly repairs.

Unpaved roads, while potentially less costly to install initially, are impractical in urban environments due to their high long-term maintenance costs, susceptibility to weather damage, and poor durability under heavy traffic. Unpaved roads require frequent grading to remain passable, and they deteriorate quickly in adverse weather, leading to erosion, dust, and potholes. These factors not only increase ongoing maintenance costs but also result in poor road conditions that can negatively impact property values, vehicle repair costs, and public safety. While unpaved roads are not a practical solution for urban areas, they serve as the only feasible alternative for comparison in evaluating the costs and benefits of paved road improvements

within urban improvement districts. Unpaved roadways do not meet the International Fire Code within urban areas.

Unpaved roads require significant ongoing maintenance to keep them functional. Over a 25-year period, the costs of maintaining an unpaved roadway include regular grading, dust control, erosion management, and resurfacing. Below is a breakdown of key expenses:

- Initial Installation Costs
- Routine Maintenance
  - Grading
  - Dust Control
  - Resurfacing
- Vehicle Damage and Safety Implications
- Additional costs to consider are related to delay time to the average use

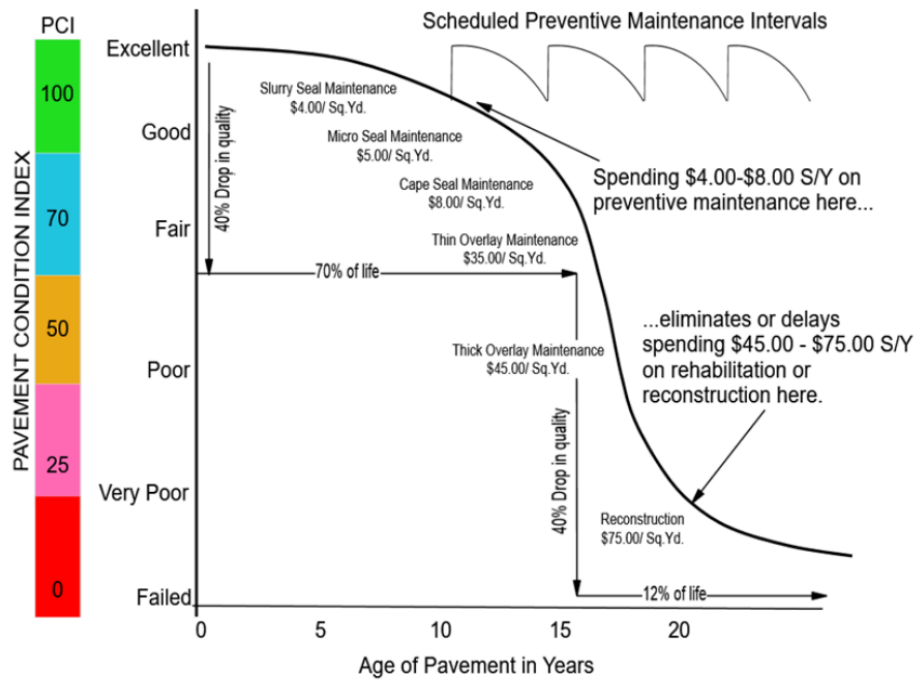
The capital costs of a typical local roadway system is between \$4,500,000 and \$5,500,000 per mile.

Pavement preservation is a proactive approach that involves a series of low-cost, preventative maintenance treatments aimed at protecting our roadway network, extending pavement life, and meeting the needs of our citizens. While no pavement lasts forever, the timely application of these treatments can significantly extend the lifespan of the pavement, resulting in substantial cost savings.

The following pavement rehabilitation strategy is from the City of Dickinson’s *2023 Pavement Management Report (MDS Technologies, Inc., February 1, 2024)*:

**8 Rehabilitation Programs and Budget Analysis**

*Effective management of a pavement network involves understanding how pavements deteriorate over time and applying appropriate maintenance and rehabilitation treatments at critical times in the life of a pavement to minimize the long term cost of maintaining the network at a desirable condition level. The concept of pavement management is illustrated in Figure 4 below.*



**Figure 4: Pavement Management Concept and Effect of Timely Maintenance**

*Figure 4 shows that pavements typically do not deteriorate linearly. A pavement may experience only a 40 percent drop in quality over the first 70 percent of its life. During this time the life of a pavement may be extended significantly through the periodic application of relatively low cost maintenance treatments. This is represented by the “shark-fin” shaped curve in the upper-right of the figure.*

A failed roadway system not only requires costly repairs but also leads to indirect expenses for road users, including vehicle damage, increased fuel consumption, and more frequent maintenance needs. By implementing timely pavement preservation projects, smoother road surfaces are maintained, reducing these additional costs for the adjacent landowners. The pavement within the Special Improvement District existed prior to this project. However, the improvements are necessary due to required water system improvements. It is important to note that the asphalt surface costs within the Special Improvement District are not being assessed to property owners which further increases the benefits to the property owners. According to City of Dickinson policy, the only assessment cost applied to landowners within special improvement districts is the cost to maintain sidewalk and curb & gutter. Historically, this assessed portion of the work in the City’s Road Maintenance projects has accounted for between 15% to 40% of the total work in the special improvement districts.

1.04 SCHEDULE AND OPINION OF COST

Construction is scheduled for summer of 2025, with the bid opening anticipated for January 2025. The preliminary opinion of construction cost for the street improvement portion of the project that will be included in the Special Improvement District is shown in Appendix 2, while specific parcel assessments for the SID are shown in Appendix 3.

1.05 SID MAPS AND ESTIMATED SPECIAL ASSESSMENTS

The proposed SID boundary is shown in Appendix C. The detailed SID information is also shown in Appendix 3 and includes an overall layout showing the related subdivisions and adjacent streets. Detailed plan view preliminary drawings showing proposed improvements on each parcel based on field observations are included in Appendix 3. Preliminary SID assessment tables showing improvements and estimated costs for each parcel are also included in Appendix 3.

APPENDIX A  
CITY OF DICKINSON SPECIAL ASSESSMENT POLICY

---

**RESOLUTION NO. 39 - 2019**

**A RESOLUTION DECLARING A SPECIAL ASSESSMENT POLICY FOR COSTS FOR SIDEWALKS, CURB AND GUTTER IMPROVEMENTS**

WHEREAS, the City of Dickinson intends to perform routine maintenance projects on asphalt and concrete streets, and

WHEREAS, the City of Dickinson has a limited amount of funding available to perform maintenance projects, and

WHEREAS the City of Dickinson has the legal authority to assess costs for sidewalks and curb and gutter improvements to properties within the City Of Dickinson pursuant to N.D.C.C. Section 40-31-06 and Municipal Code Section 33.04.180.

NOW, THEREFORE, it is hereby resolved by the Board of City Commissioners, as follows:

1. There is hereby created a special assessment policy for street maintenance projects.
2. Sidewalk and curb and gutter improvements made in conjunction with the street maintenance projects will be assessed to the adjacent landowners except in the following conditions:
  - a. On corner lots, through the entirety of the radius around the corner.
  - b. Where otherwise satisfactory curb and gutter or sidewalk need to be replaced because of work being done on the street project, including lighting and signing.
  - c. Where curb and gutter or sidewalk about the back lot line of a property
  - d. Where at the discretion of the City Engineer, sidewalk installation is not feasible.
3. Of the eligible costs in Section 2, one hundred percent (100%) will be assessed to the benefitting properties.
4. The costs of assessments shall be paid by the benefitting properties over a ten (10) year term at a rate of 1.5% over the then current market interest rate at the time of construction.

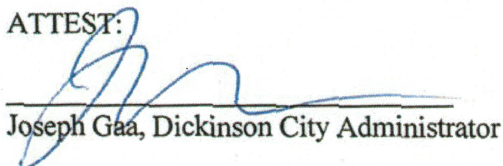
NOW, THEREFORE, BE IT RESOLVED that the Board of City Commissioners of the City of Dickinson, North Dakota creates a special assessment policy for street maintenance projects.

Dated this 17th day of December 2019.



Scott Decker, President  
Board of City Commissioners

ATTEST:

  
Joseph Gaa, Dickinson City Administrator

APPENDIX B  
TOTAL PROJECT OPINION OF PROBABLE CONSTRUCTION COST

---



**OPINION OF PROBABLE COSTS**

Project: 2025 Watermain and Lead Service Replacement Project Special Improvement District No. 202503-01	Basis for Estimate	Sheet 1 of 1
Location: Dickinson, North Dakota	___ No Design Completed	
Date Prep: September 10, 2024	<input checked="" type="checkbox"/> Preliminary Design	
Project No. CIP 202503	___ Final Design	

Item No.	Description	Unit Measurement	No. Units	SURFACE IMPROVEMENTS		WATERMAIN IMPROVEMENTS	
				Per Unit	Total	Per Unit	Total
1	General Conditions(Contract Bond)	LS	1.00	\$ 120,000.00	\$ 120,000.00	\$ -	\$ -
2	Mobilization	LS	1.00	\$ 150,000.00	\$ 150,000.00	\$ -	\$ -
3	Traffic Control	LS	1.00	\$ 40,000.00	\$ 40,000.00	\$ -	\$ -
4	Traffic Flagging	MHR	200.00	\$ 60.00	\$ 12,000.00	\$ -	\$ -
5	Erosion Control	LS	1.00	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -
6	<b>*Remove Concrete Curb and Gutter</b>	<b>LF</b>	<b>3,100</b>	<b>\$ 9.00</b>	<b>\$ 27,900.00</b>	\$ -	\$ -
7	<b>*Remove Concrete</b>	<b>SY</b>	<b>2,700</b>	<b>\$ 16.00</b>	<b>\$ 43,200.00</b>	\$ -	\$ -
8	Remove Bituminous Pavement	SY	4,600	\$ 20.00	\$ 92,000.00	\$ -	\$ -
9	Milling Pavement Surface	SY	16,993	\$ 4.50	\$ 76,466.50	\$ -	\$ -
10	<b>*Concrete Curb and Gutter</b>	<b>LF</b>	<b>3,100</b>	<b>\$ 100.00</b>	<b>\$ 310,000.00</b>	\$ -	\$ -
11	<b>*Concrete Sidewalk</b>	<b>SY</b>	<b>1,900</b>	<b>\$ 196.00</b>	<b>\$ 372,400.00</b>	\$ -	\$ -
12	<b>*Concrete Driveway</b>	<b>SY</b>	<b>880</b>	<b>\$ 259.00</b>	<b>\$ 227,920.00</b>	\$ -	\$ -
13	Concrete Valley Gutter	SY	80	\$ 325.00	\$ 26,000.00	\$ -	\$ -
14	Detectable Warning Panel	SF	100	\$ 50.00	\$ 5,000.00	\$ -	\$ -
15	Aggregate Base Course CL5	TON	1,430	\$ 95.00	\$ 135,850.00	\$ -	\$ -
16	Hot Bituminous Pavement - Milled Area (1.5")	TON	1,416	\$ 250.00	\$ 354,000.00	\$ -	\$ -
17	Asphalt Pavement Patching (3.5")	TON	890	\$ 360.00	\$ 320,400.00	\$ -	\$ -
18	Manhole Casting to Grade	EA	17	\$ 2,400.00	\$ 40,800.00	\$ -	\$ -
19	Gate Valve Box to Grade	EA	31	\$ 1,500.00	\$ 46,500.00	\$ -	\$ -
20	Removal of All Pipes Types & Sizes	LF	3,280	\$ -	\$ -	\$ 6.50	\$ 21,320.00
21	Abandon/Remove Hydrant/Gate Valve Box	EA	7	\$ -	\$ -	\$ 1,050.00	\$ 7,350.00
22	Watermain 6"	LF	565	\$ -	\$ -	\$ 140.00	\$ 79,100.00
23	Watermain 8"	LF	2,655	\$ -	\$ -	\$ 160.00	\$ 424,800.00
24	Watermain 16"	LF	60	\$ -	\$ -	\$ 320.00	\$ 19,200.00
25	Water Service Lines	LF	1,555	\$ -	\$ -	\$ 100.00	\$ 155,500.00
26	Lead Service Line Replacement	EA	30	\$ -	\$ -	\$ 10,000.00	\$ 300,000.00
27	Water Service Valves	EA	65	\$ -	\$ -	\$ 1,100.00	\$ 71,500.00
28	Valves	EA	25	\$ -	\$ -	\$ 7,000.00	\$ 175,000.00
29	Hydrants	EA	8	\$ -	\$ -	\$ 10,500.00	\$ 84,000.00
30	Fittings	LS	1	\$ -	\$ -	\$ 37,000.00	\$ 37,000.00
31	Connections/Sleeve	LS	1	\$ -	\$ -	\$ 56,000.00	\$ 56,000.00
32	Temporary Water	LS	1	\$ -	\$ -	\$ 180,000.00	\$ 180,000.00
33	Sanitary Sewer Service Crossing	EA	31	\$ -	\$ -	\$ 1,600.00	\$ 49,600.00
34	Storm Sewer Crossing	EA	3	\$ -	\$ -	\$ 5,000.00	\$ 15,000.00



	Subtotal	\$ 2,405,436.50	\$ 1,675,370.00
	Contingencies (15%)	\$ 360,800.00	\$ 251,300.00
	<b>Total</b>	<b>\$ 2,766,200.00</b>	<b>\$ 1,926,670.00</b>
	<b>Construction Total</b>		<b>\$4,692,870.00</b>

**\* Special Improvement District eligible item**





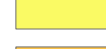




APPENDIX C  
SID NO. 202503-01: DISTRICT MAP,  
PLAN DRAWINGS AND ASSESSMENT TABLE

---

# Legend

-  Division\_Boundary
-  Dickinson\_Tax\_parcel

## SUBDIVISION NAME

-  AUDITOR'S PLAT NO. 4
-  AUDITOR'S PLAT NO. 4 (REPLAT L4 B3)
-  COLLEGE
-  FRYE'S
-  GOLF COURSE NO. 1
-  UNPLATTED 4
-  YOUNG'S FIFTH
-  YOUNG'S SEVENTH
-  YOUNG'S SIXTH

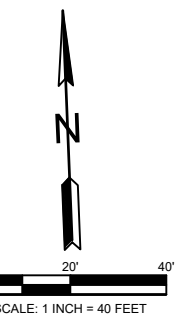
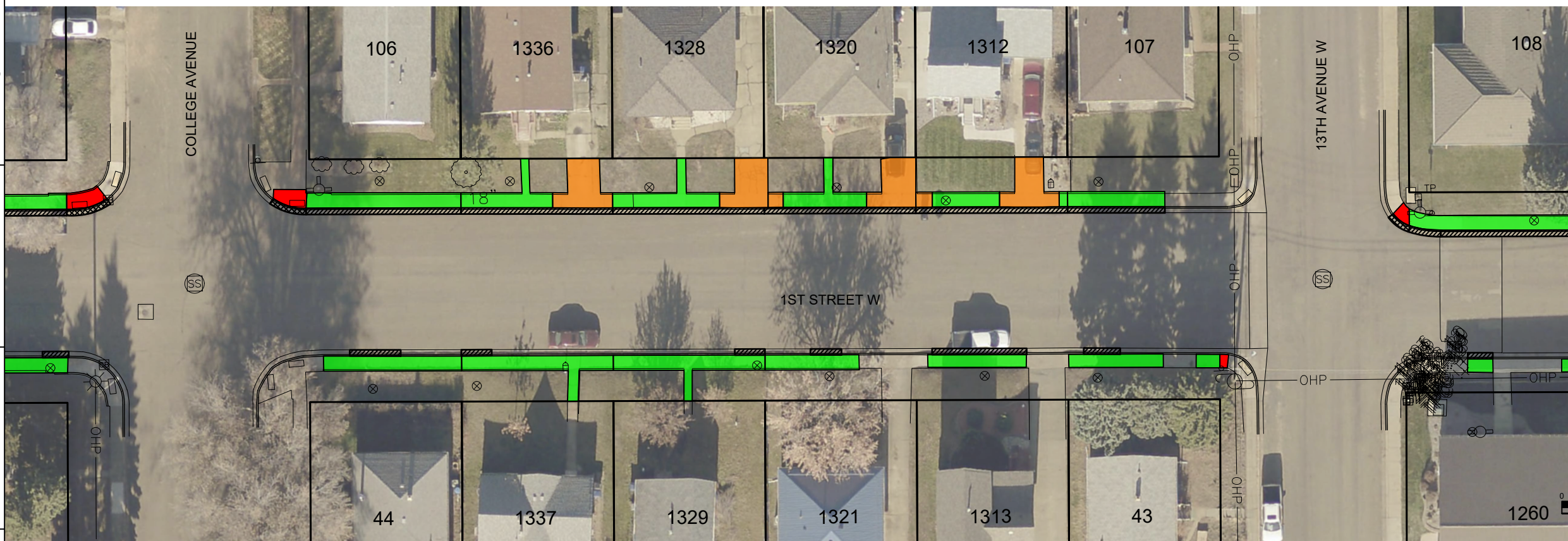
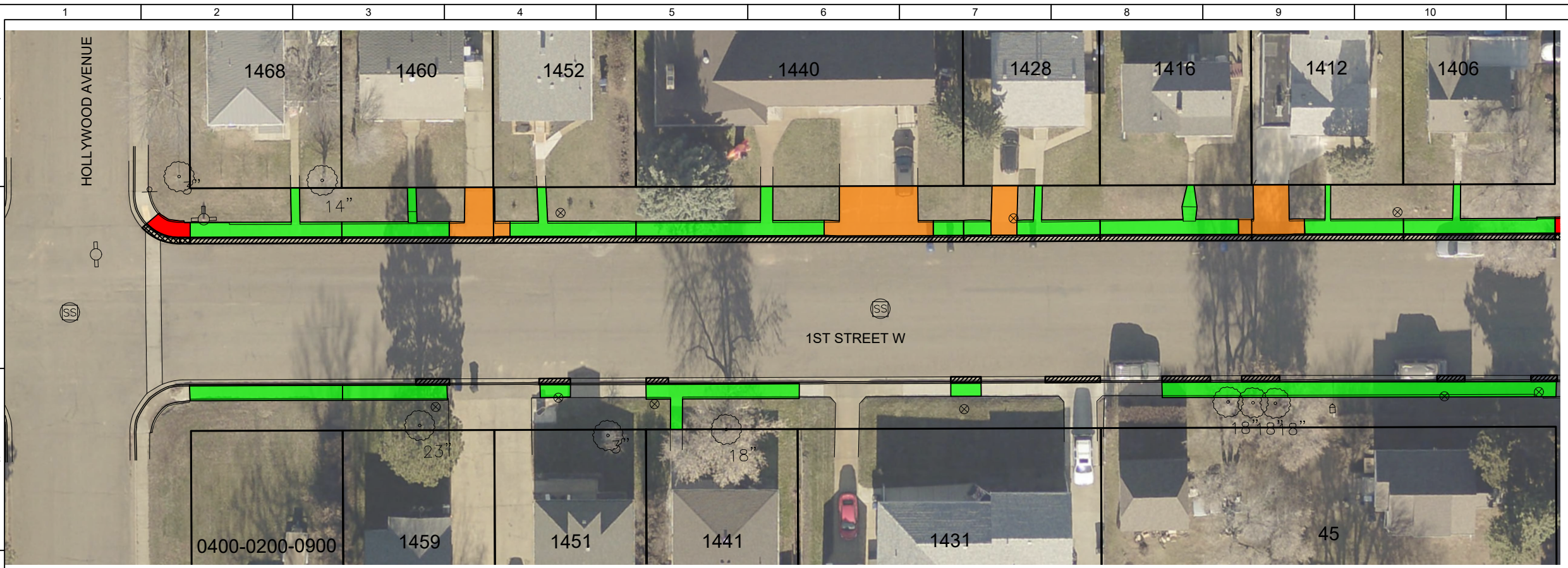
## Special Improvement District 202503-01

9, 10, 11 INCL.	8	7	6	5	4	3	2	1	5 LESS 185' 4"	4	185' 4"	3	1 & 2
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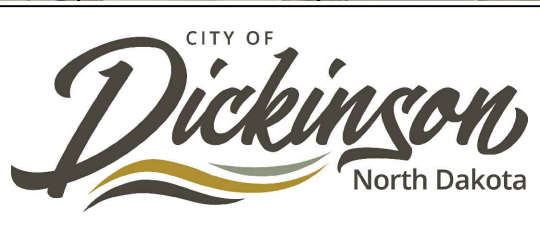
Section 7. Item C.

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  - NON-SID DRIVEWAY (8")
  - SID-CURB & GUTTER
  - NON-SID-CURB & GUTTER



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
SET

REVISIONS		
Issue #	Description	Date



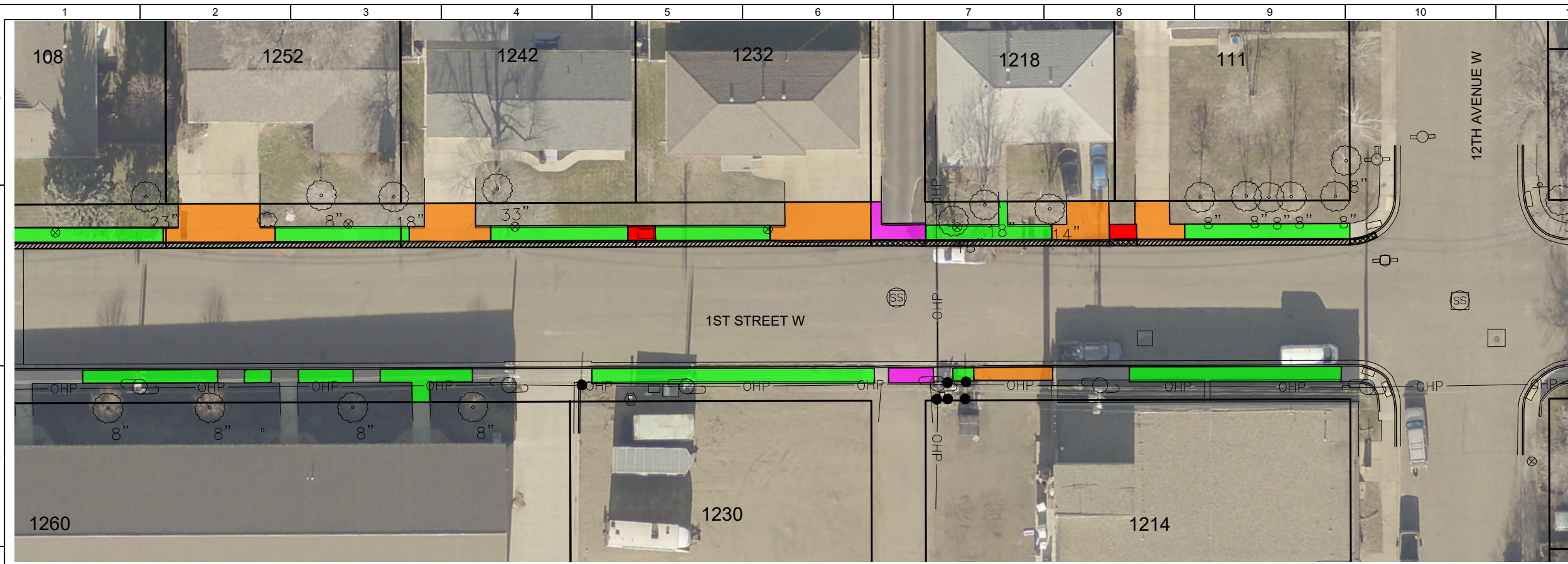
2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA A



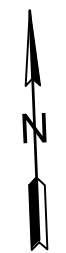
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Dickinson - Fargo - St. Cloud  
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Dickinson, North Dakota 58601  
Office: 701-264-3939  
www.apexenggroup.com

Project #: 24.107.0026  
Date: April 2024  
Drawn By: TMS  
Checked By: JKW  
Approved By: SMS

Sheet:  
**SID-A.1**  
202



- LEGEND**
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  - NON-SID DRIVEWAY (8")
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  - NON-SID-CURB & GUTTER



SCALE: 1 INCH = 40 FEET

PRELIMINARY  
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CONSTRUCTION  
SET

REVISIONS		
Issue #	Description	Date



**2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA A**

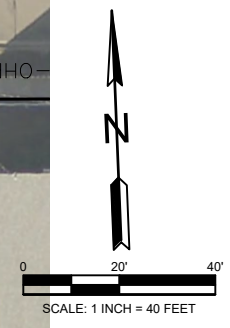
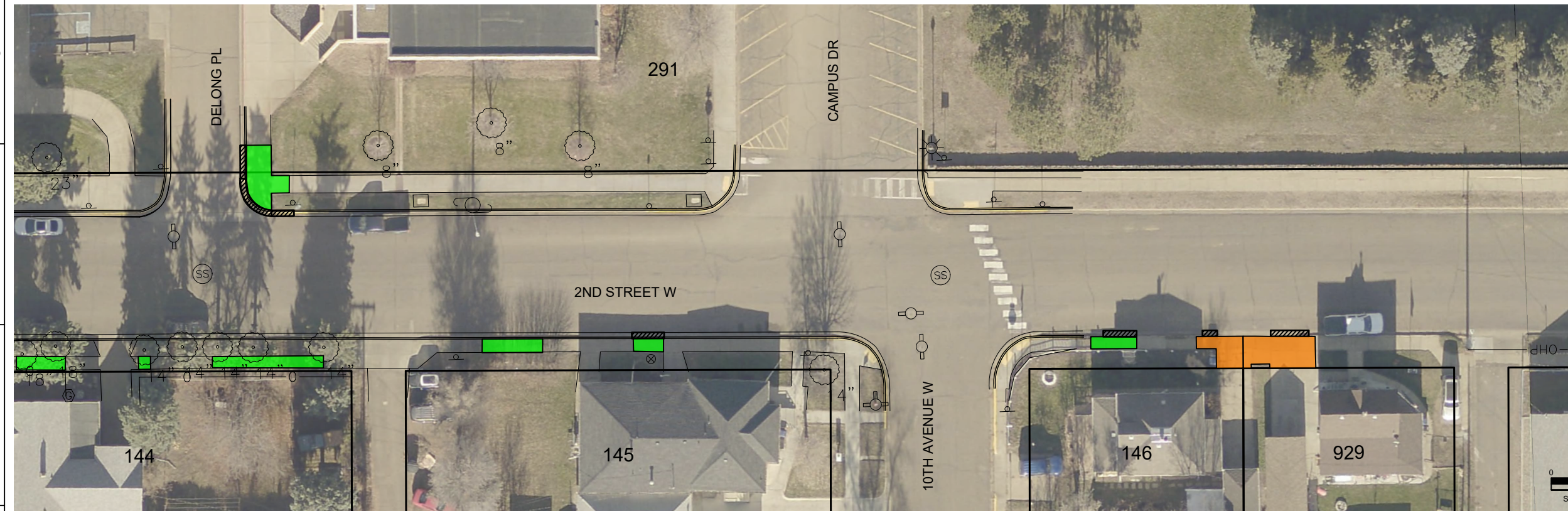
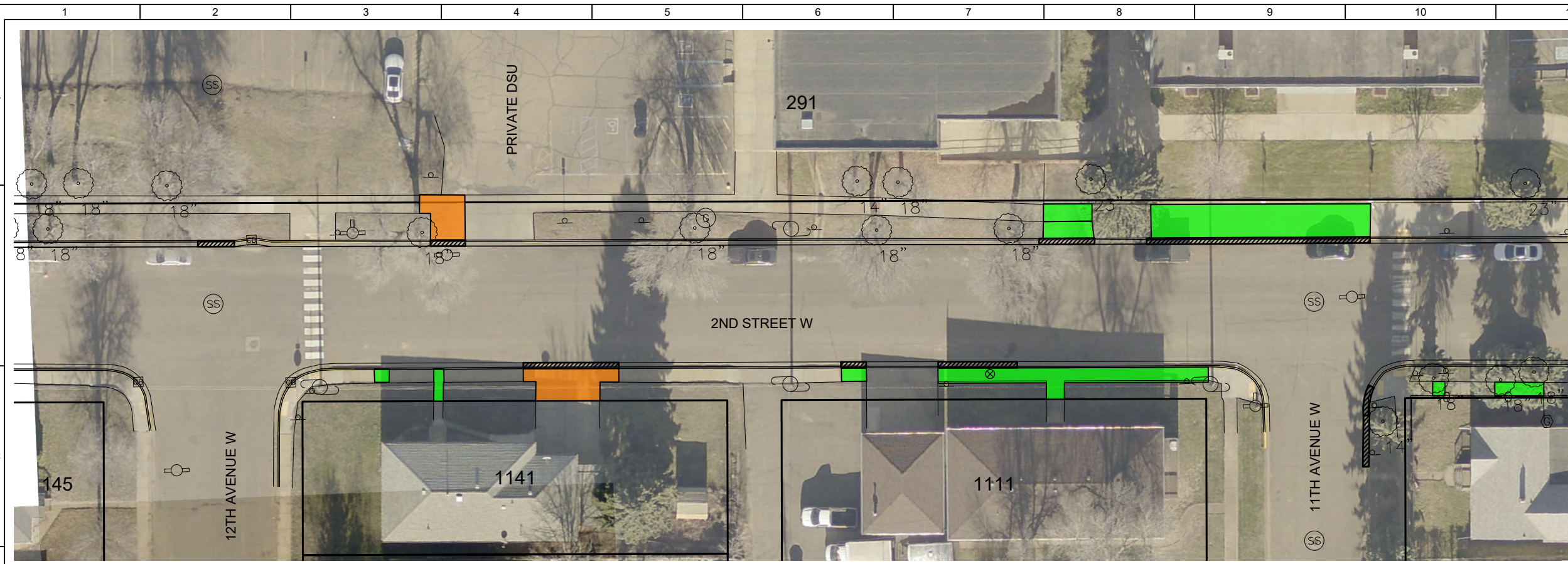


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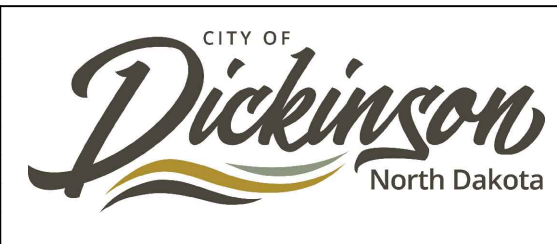
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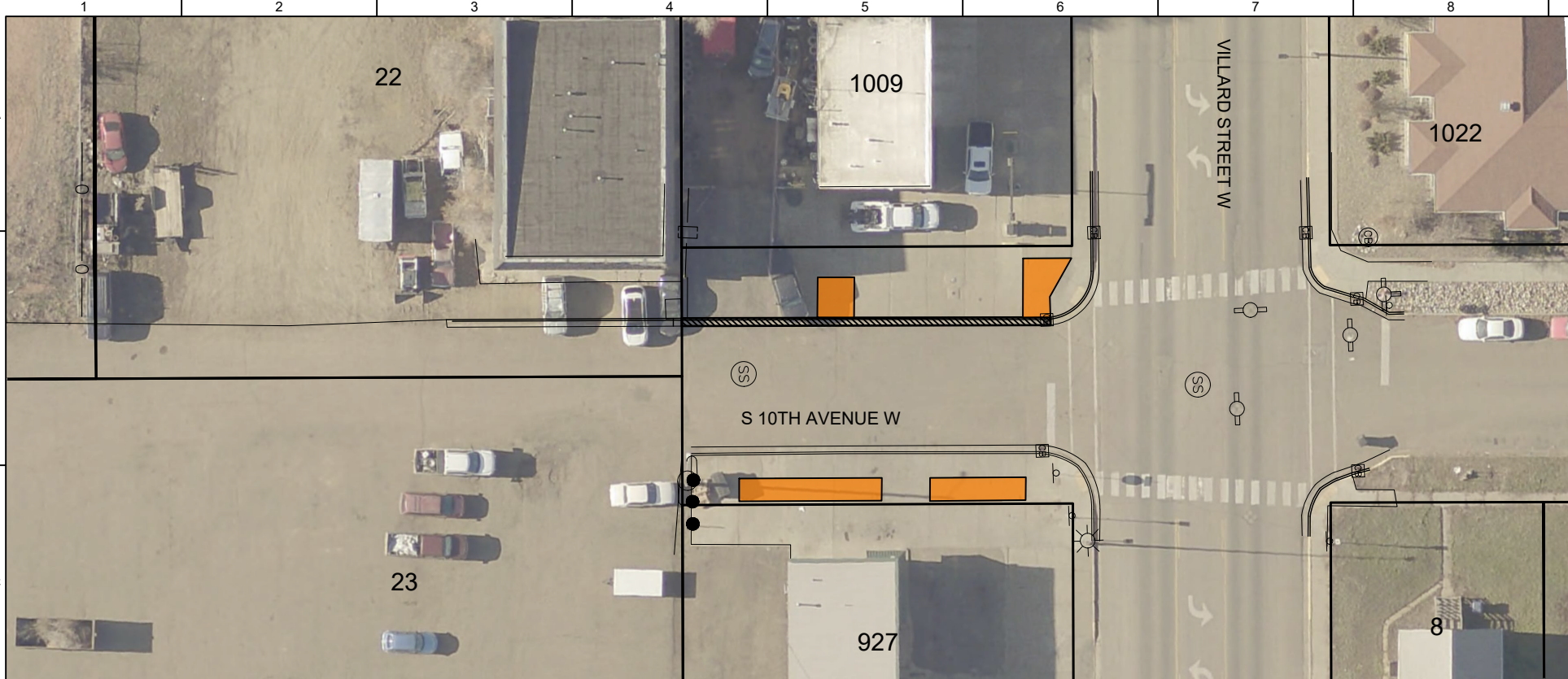
2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA B



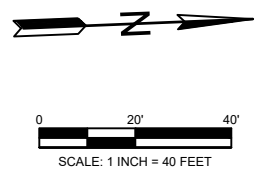
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204

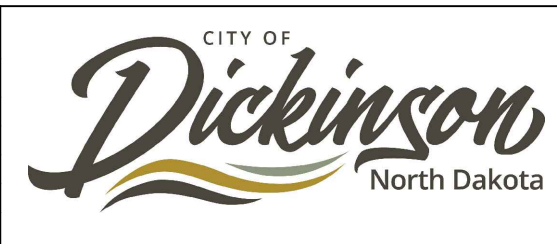


- LEGEND**
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  - NON-SID DRIVEWAY (8")
  - SID-CURB & GUTTER
  - NON-SID-CURB & GUTTER



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
SET

REVISIONS		
Issue #	Description	Date



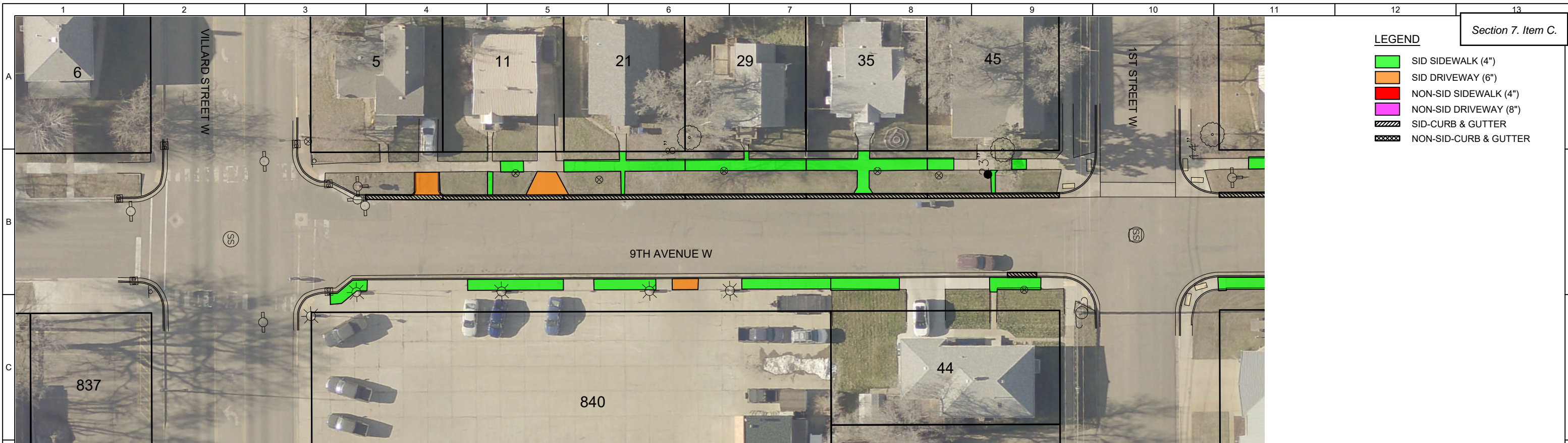
2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA C



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Date: April 2024  
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Approved By: SMS

Sheet:  
**SID-C**  
205



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
SET

REVISIONS		
Issue #	Description	Date



2025 WATERMAIN REPLACEMENT  
 PROJECT  
 SPECIAL IMPROVEMENT  
 DISTRICT 202503-01  
 MAP AREA D

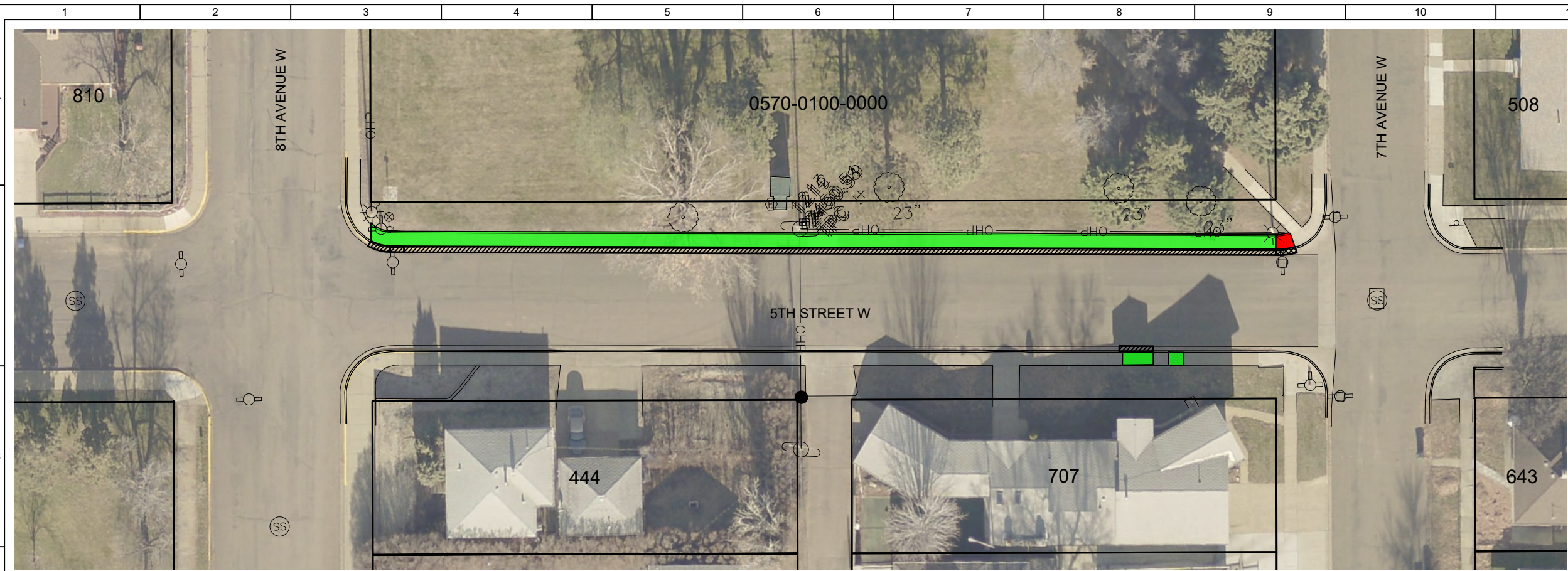


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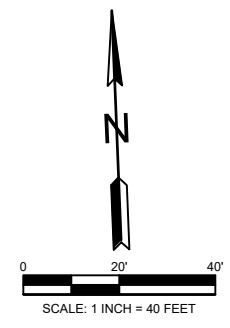
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 Date: \_\_\_\_\_ April 2024  
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 Checked By: \_\_\_\_\_ JKW  
 Approved By: \_\_\_\_\_ SMS

Sheet:  
 SID-D  
 206

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  - NON-SID-CURB & GUTTER



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
SET



REVISIONS		
Issue #	Description	Date



**2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA E**

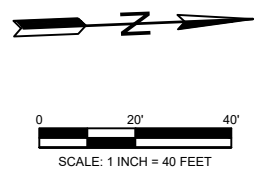
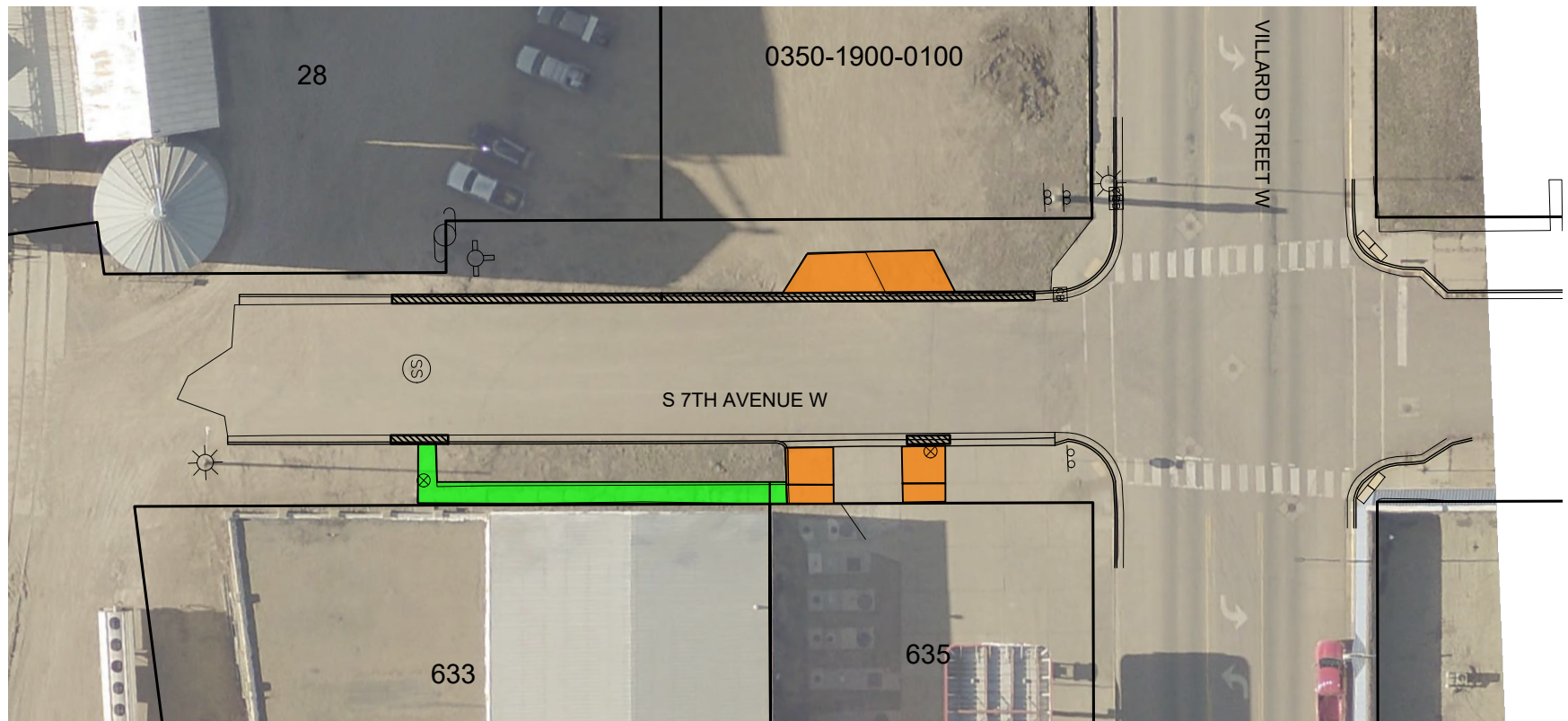


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Project #: 24.107.0026  
 Date: April 2024  
 Drawn By: TMS  
 Checked By: JKW  
 Approved By: SMS

Sheet:  
**SID-E**  
207

- LEGEND**
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  - SID-CURB & GUTTER
  - NON-SID-CURB & GUTTER



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
SET

REVISIONS		
Issue #	Description	Date



2025 WATERMAIN REPLACEMENT  
PROJECT  
SPECIAL IMPROVEMENT  
DISTRICT 202503-01  
MAP AREA F



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Project #: 24.107.0026  
Date: April 2024  
Drawn By: TMS  
Checked By: JKW  
Approved By: SMS

Sheet:  
**SID-F**  
208

City of Dickinson - 2025 Watermain and Lead Service Line Replacement Project											
SID No. 202503-01											
Parcel ID	House #	Street	LOT	BLOCK	Legal Description	Removal of Concrete (SY)	Removal of Curb & Gutter (LF)	Curb & Gutter (LF)	Concrete Sidewalk 4" (SY)	Concrete Driveway 6" (SY)	Total Assessment
0400-0200-0900	-	-	9	2	LOT 9, BLOCK 2, COLLEGE ADDITION	27.9	-	-	27.9	-	\$ 5,914.80
0350-2800-0100	145	10TH AVENUE W	1	28	LOT 1, BLOCK 28, YOUNG'S 5TH ADDITION	15.0	11.0	11.0	15.0	-	\$ 4,379.00
0350-2300-1202	146	10TH AVENUE W	W71' 12	23	W71' LOT 12, BLOCK 23, YOUNG'S 5TH ADDITION	20.2	16.5	16.5	6.7	13.5	\$ 6,931.40
0570-0100-0000	-	10TH AVENUE W	-	1	BLOCK 1, GOLF COURSE SUBDIVISION #1	167.1	302.0	302.0	167.1	-	\$ 68,343.20
0350-2800-1200	144	11TH AVENUE W	12	28	LOT 12, BLOCK 28, YOUNG'S 5TH ADDITION	28.1	27.5	27.5	28.1	-	\$ 8,954.70
0610-0300-0301	111	12TH AVENUE W	E78' S106' 3	3	E78' S106' LOT 3, BLOCK 3, AUDITOR'S PLAT #4	49.0	71.0	71.0	30.4	18.6	\$ 19,298.80
0400-0100-0100	43	13TH AVENUE W	1	1	LOT 1, BLOCK 1, COLLEGE ADDITION	18.9	12.5	12.5	18.9	-	\$ 5,369.30
0400-0400-1200	107	13TH AVENUE W	12	4	LOT 12, BLOCK 4, COLLEGE ADDITION	17.8	32.5	32.5	17.8	-	\$ 7,316.10
0610-0300-0900	108	13TH AVENUE W	9	3	LOT 9, BLOCK 3, AUDITOR'S PLAT #4, SUBDIVISION LOT 4, BLOCK 3	43.0	78.5	78.5	42.5	0.5	\$ 17,704.00
0350-2100-1101	827	1ST STREET W	E47' N40' 11.....	21	E47' N40' LOT 11, E47' LOT 12, BLOCK 21, YOUNG'S 5TH ADDITION	-	-	-	-	-	\$ -
0350-2100-1103	835	1ST STREET W	M47' X 40' 11.....	21	M47' X 40' LOT 11, M47' X 54.5' LOT 12, BLOCK 21, YOUNG'S 5TH ADDITION	-	-	-	-	-	\$ -
0350-2200-0700	836	1ST STREET W	7	22	LOT 7, BLOCK 22, YOUNG'S 5TH ADDITION	23.0	15.5	15.5	23.0	-	\$ 6,565.50
0350-2400-0102	923	1ST STREET W	W65' 1	24	W65' LOT 1, BLOCK 24, YOUNG'S 5TH ADDITION	-	-	-	-	-	\$ -
0610-0300-0302	1218	1ST STREET W	W63' S106' 3	3	W63' S106' LOT 3, BLOCK 3, AUDITOR'S PLAT #4	48.8	61.5	61.5	25.8	23.0	\$ 18,498.10
0610-0300-0600	1232	1ST STREET W	6	3	LOT 6, BLOCK 3, AUDITOR'S PLAT #4, SUBDIVISION LOT 4, BLOCK 3	64.6	78.0	78.0	21.2	43.4	\$ 24,931.40
0610-0300-0700	1242	1ST STREET W	7	3	LOT 7, BLOCK 3, AUDITOR'S PLAT #4, SUBDIVISION LOT 4, BLOCK 3	56.3	78.0	78.0	26.8	29.5	\$ 22,296.10
0610-0300-0800	1252	1ST STREET W	8	3	LOT 8, BLOCK 3, AUDITOR'S PLAT #4, SUBDIVISION LOT 4, BLOCK 3	66.7	78.0	78.0	23.2	43.5	\$ 25,382.90
0400-0400-1100	1312	1ST STREET W	11	4	LOT 11, BLOCK 4, COLLEGE ADDITION	39.9	50.5	50.5	13.8	26.1	\$ 15,607.60
0400-0100-0200	1313	1ST STREET W	2	1	LOT 2, BLOCK 1, COLLEGE ADDITION	15.1	31.5	31.5	15.1	-	\$ 6,634.70
0400-0400-1000	1320	1ST STREET W	10	4	LOT 10, BLOCK 4, COLLEGE ADDITION	45.4	50.0	50.0	19.1	26.3	\$ 16,731.70
0400-0100-0300	1321	1ST STREET W	3	1	LOT 3, BLOCK 1, COLLEGE ADDITION	17.3	10.5	10.5	17.3	-	\$ 4,812.10
0400-0400-0900	1328	1ST STREET W	9	4	LOT 9, BLOCK 4, COLLEGE ADDITION	46.1	50.0	50.0	23.3	22.8	\$ 16,659.60
0400-0100-0400	1329	1ST STREET W	4	1	LOT 4, BLOCK 1, COLLEGE ADDITION	30.8	10.0	10.0	30.8	-	\$ 7,619.60
0400-0400-0800	1336	1ST STREET W	8	4	LOT 8, BLOCK 4, COLLEGE ADDITION	44.6	50.0	50.0	20.1	24.5	\$ 16,448.70
0400-0100-0500	1337	1ST STREET W	5	1	LOT 5, BLOCK 1, COLLEGE ADDITION	31.3	10.5	10.5	31.3	-	\$ 7,780.10
0400-0500-1800	1406	1ST STREET W	18	5	LOT 18, BLOCK 5, COLLEGE ADDITION	31.1	50.0	50.0	31.1	-	\$ 12,043.20
0400-0500-1700	1412	1ST STREET W	17	5	LOT 17, BLOCK 5, COLLEGE ADDITION	44.8	50.5	50.5	20.3	24.5	\$ 16,545.60
0400-0500-1600	1416	1ST STREET W	16	5	LOT 16, BLOCK 5, COLLEGE ADDITION	32.7	50.0	50.0	30.3	2.4	\$ 12,533.60
0400-0500-1500	1428	1ST STREET W	15 LESS W5'	5	LOT 15 LESS W5', BLOCK 5, COLLEGE ADDITION	39.0	45.5	45.5	23.5	15.5	\$ 14,204.00
0400-0200-0500	1431	1ST STREET W	4 & 5	2	LOTS 4 & 5, BLOCK 2, COLLEGE ADDITION	4.9	28.5	28.5	4.9	-	\$ 4,145.30
0400-0500-1300	1440	1ST STREET W	E3' 12, 13, 14, W5' 15	5	E3' LOT 12, ALL LOTS 13 & 14, W5' LOT 15, BLOCK 5, COLLEGE ADDITION	97.8	108.0	108.0	45.0	52.8	\$ 35,832.00
0400-0200-0600	1441	1ST STREET W	6	2	LOT 6, BLOCK 2, COLLEGE ADDITION	32.4	7.5	7.5	32.4	-	\$ 7,686.30
0400-0200-0700	1451	1ST STREET W	7	2	LOT 7, BLOCK 2, COLLEGE ADDITION	4.7	10.5	10.5	4.7	-	\$ 2,140.90
0400-0500-1200	1452	1ST STREET W	W47' 12	5	W47' LOT 12, BLOCK 5, COLLEGE ADDITION	30.4	47.0	47.0	26.8	3.6	\$ 11,794.60
0400-0200-0800	1459	1ST STREET W	8	2	LOT 8, BLOCK 2, COLLEGE ADDITION	19.1	11.5	11.5	19.1	-	\$ 5,302.70
0400-0500-1100	1460	1ST STREET W	11	5	LOT 11, BLOCK 5, COLLEGE ADDITION	43.4	50.0	50.0	23.3	20.1	\$ 15,917.10
0400-0500-1000	1468	1ST STREET W	10	5	LOT 10, BLOCK 5, COLLEGE ADDITION	31.4	50.0	50.0	31.4	-	\$ 12,106.80
0350-2200-1101	831	2ND STREET W	E70' 11 & 12	22	E70' LOTS 11 & 12, BLOCK 22, YOUNG'S 5TH ADDITION	4.9	10.5	10.5	4.9	-	\$ 2,183.30
0350-2300-1201	929	2ND STREET W	E70' 12	23	E70' LOT 12, BLOCK 23, YOUNG'S 5TH ADDITION	27.2	13.0	13.0	-	27.2	\$ 8,897.00
0610-0400-0101	1111	2ND STREET W	N56' 1	4	N56' LOT 1, BLOCK 4, AUDITOR'S PLAT #4	57.4	35.0	35.0	57.4	-	\$ 15,983.80
0610-0400-0601	1141	2ND STREET W	N51' 6	4	N51' LOT 6, BLOCK 4, AUDITOR'S PLAT #4	36.5	32.0	32.0	6.2	30.3	\$ 13,134.90
0370-3900-0100	707	5TH STREET W	1	39	LOT 1, BLOCK 39, YOUNG'S 7TH ADDITION	7.2	11.5	11.5	7.2	-	\$ 2,779.90
0370-3900-1200	444	8TH AVENUE W	12	39	LOT 12, BLOCK 39, YOUNG'S 7TH ADDITION	-	-	-	-	-	\$ -
0350-2400-0600	5	9TH AVENUE W	6	24	LOT 6, BLOCK 24, YOUNG'S 5TH ADDITION	11.0	32.5	32.5	-	11.0	\$ 6,567.50
0350-2400-0500	11	9TH AVENUE W	5	24	LOT 5, BLOCK 24, YOUNG'S 5TH ADDITION	20.7	50.0	50.0	7.2	13.5	\$ 10,688.90
0350-2400-0400	21	9TH AVENUE W	4	24	LOT 4, BLOCK 24, YOUNG'S 5TH ADDITION	29.7	50.0	50.0	29.7	-	\$ 11,746.40
0350-2400-0300	29	9TH AVENUE W	3	24	LOT 3, BLOCK 24, YOUNG'S 5TH ADDITION	27.3	50.0	50.0	27.3	-	\$ 11,237.60
0350-2400-0200	35	9TH AVENUE W	2	24	LOT 2, BLOCK 24, YOUNG'S 5TH ADDITION	34.9	50.0	50.0	34.9	-	\$ 12,848.80
0350-2100-1102	44	9TH AVENUE W	W47' N40' 11	21	W47' N40' LOT 11, W47' LOT 12, BLOCK 21, YOUNG'S 5TH ADDITION	27.8	12.5	12.5	27.8	-	\$ 7,256.10

City of Dickinson - 2025 Watermain and Lead Service Line Replacement Project  
SID No. 202503-01

Parcel ID	House #	Street	LOT	BLOCK	Legal Description	Removal of Concrete (SY)	Removal of Curb & Gutter (LF)	Curb & Gutter (LF)	Concrete Sidewalk 4" (SY)	Concrete Driveway 6" (SY)	Total Assessment
0350-2400-0101	45	9TH AVENUE W	E76' 1	24	E76' LOT 1, BLOCK 24, YOUNG'S 5TH ADDITION	10.9	54.5	54.5	10.9	-	\$ 8,251.30
0350-2300-0600	105	9TH AVENUE W	6	23	LOT 6, BLOCK 23, YOUNG'S 5TH ADDITION	31.6	56.0	56.0	31.6	-	\$ 12,803.20
0350-2200-0800	112	9TH AVENUE W	8	22	LOT 8, BLOCK 22, YOUNG'S 5TH ADDITION	29.6	17.0	17.0	29.6	-	\$ 8,128.20
0350-2300-0500	113	9TH AVENUE W	5	23	LOT 5, BLOCK 23, YOUNG'S 5TH ADDITION	42.0	50.0	50.0	30.9	-	\$ 12,178.40
0350-2300-0400	121	9TH AVENUE W	4	23	LOT 4, BLOCK 23, YOUNG'S 5TH ADDITION	22.3	50.0	50.0	9.5	12.8	\$ 10,984.00
0350-2200-0900	122	9TH AVENUE W	9	22	LOT 9, BLOCK 22, YOUNG'S 5TH ADDITION	22.0	13.5	13.5	22.0	-	\$ 6,135.50
0350-2300-0300	127	9TH AVENUE W	3	23	LOT 3, BLOCK 23, YOUNG'S 5TH ADDITION	26.0	50.5	50.5	8.9	17.1	\$ 12,093.80
0350-2200-1000	130	9TH AVENUE W	10	22	LOT 10, BLOCK 22, YOUNG'S 5TH ADDITION	17.5	12.0	12.0	17.5	-	\$ 5,018.00
0350-2300-0200	137	9TH AVENUE W	2	23	LOT 2, BLOCK 23, YOUNG'S 5TH ADDITION	35.8	50.0	50.0	15.9	19.9	\$ 14,293.30
0350-2200-1100	138	9TH AVENUE W	W71' 11	22	W71' LOT 11, BLOCK 22, YOUNG'S 5TH ADDITION	5.6	12.0	12.0	5.6	-	\$ 2,495.20
0350-2300-0100	143	9TH AVENUE W	1	23	LOT 1, BLOCK 23, YOUNG'S 5TH ADDITION	10.3	56.5	56.5	10.3	-	\$ 8,342.10
0350-2200-1200	144	9TH AVENUE W	W71' 12	22	W71' LOT 12, BLOCK 22, YOUNG'S 5TH ADDITION	21.6	10.5	10.5	21.6	-	\$ 5,723.70
5030-0000-0200	291	CAMPUS DRIVE	-	-	UNPLATTED COLLEGE GROUNDS, 4-139-96	153.6	153.5	153.5	132.0	21.6	\$ 50,655.50
0400-0200-0101	35	COLLEGE AVENUE	S70' 1, 2 & 3	2	S70' LOTS 1-3, BLOCK 2, COLLEGE ADDITION	-	-	-	-	-	
0400-0100-0600	44	COLLEGE AVENUE	6	1	LOT 6, BLOCK 1, COLLEGE ADDITION	24.9	17.0	17.0	24.9	-	\$ 7,131.80
0400-0200-0102	45	COLLEGE AVENUE	N70' 1, 2 & 3	2	N70' LOTS 1-3, BLOCK 2, COLLEGE ADDITION	72.5	47.0	47.0	72.5	-	\$ 20,493.00
0400-0400-0700	106	COLLEGE AVENUE	7	4	LOT 7, BLOCK 4, COLLEGE ADDITION	28.5	51.5	51.5	28.5	-	\$ 11,655.50
0350-2600-0300	22	S 10TH AVENUE W	3 - 5	26	LOTS 3-5, BLOCK 26, YOUNG'S 5TH ADDITION PLUS PORTION VACATED STREET	-	-	-	-	-	
0350-2500-0700	23	S 10TH AVENUE W	7 - 10	25	LOTS 7-10, BLOCK 25, YOUNG'S 5TH ADDITION PLUS PORTION VACATED STREET	-	-	-	-	-	
0350-1900-0400	28	S 7TH AVENUE W	3-7	19	LOTS 3-7 PLUS 12' VACATED 7TH AVENUE WEST ADJACENT TO LOT 4 PLUS 8' VACATED 8TH AVENUE WEST ADJACENT TO LOT 5, BLOCK 19, YOUNG'S 5TH ADDITION PLUS FORMER BN LEASE SITE #243674	-	63.0	63.0	-	-	\$ 6,867.00
0350-1900-0100	-	S 7TH AVENUE W	1-2	19	LOTS 1 & 2, BLOCK 19, YOUNG'S 5TH ADDITION	36.3	87.0	87.0		36.3	\$ 19,465.50
0030-0100-0500	633	WEST VILLARD	6, S25' 7	A	LOTS 5, 6, S25' LOT 7, PLUS 9' VACATED ALLEY, BLOCK A, FRYE'S ADDITION PLUS A PORTION OF FORMER BN LEASE SITE #230097	49.6	13.5	13.5	49.6	-	\$ 11,986.70
0030-0100-0800	635	WEST VILLARD	N25' 7, ALL 8.....	A	N25' LOT 7, ALL LOT 8, N75' W9' VACATED ALLEY, BLOCK A, FRYE'S ADDITION	32.6	10.0	10.0	2.2	30.4	\$ 9,916.40
0350-2100-0500	840	WEST VILLARD	5 - 10, S10' 11	21	LOTS 5-10, S10' LOT 11, BLOCK 21, YOUNG'S 5TH ADDITION	64.0	-	-	58.6	5.4	\$ 13,908.20
0350-2500-1101	927	WEST VILLARD	W1/2 11 & 12	25	W1/2 LOTS 11 & 12, BLOCK 25, YOUNG'S 5TH ADDITION	39.8	-	-	-	39.8	\$ 10,945.00
0350-2600-0101	1009	WEST VILLARD	E84' 1 & 2	26	E84' LOTS 1 & 2, BLOCK 26, YOUNG'S 5TH ADDITION	25.3	94.5	94.5	-	25.3	\$ 17,258.00
0610-0200-0100	1214	WEST VILLARD	PORTION 1	2	PORTION LOT 1, BLOCK 2, AUDITOR'S PLAT #4	54.8	-	-	42.3	12.5	\$ 12,405.10
0610-0200-0201	1230	WEST VILLARD	E100' 2	2	E100' LOT 2, BLOCK 2, AUDITOR'S PLAT #4	52.3	-	-	52.3	-	\$ 11,087.60
0610-0200-0200	1260	WEST VILLARD	W213' 2	2	W213' LOT 2, BLOCK 2, AUDITOR'S PLAT #4	58.2	8.5	8.5	58.2	-	\$ 13,264.90
<b>Total Assessment Items:</b>						<b>2580.8</b>	<b>2959.5</b>	<b>2959.5</b>	<b>1876.0</b>	<b>693.7</b>	<b>\$ 911,242.60</b>

**RESOLUTION NO. \_\_\_\_\_ – 2024**

A RESOLUTION DETERMINING WRITTEN PROTESTS TO THE 2025 WATERMAIN AND LEAD SERVICE LINE REPLACEMENT PROJECT SPECIAL IMPROVEMENT DISTRICT NO. 202503-1 DIRECTING THE FILING OF AN ENGINEER'S REPORT REGARDING THE SAME, AND DECLARING THAT IT IS NECESSARY TO MAKE THE IMPROVEMENTS DESCRIBED THEREIN.

WHEREAS, on the 19th day of November, 2024, the Board of City Commissioners of the City of Dickinson adopted Resolution No. 40-2024, creating the 2025 Watermain and Lead Service Line Replacement Project Special Improvement District No. 202503-1; and

NOW, THEREFORE, BE IT RESOLVED by the Board of City Commissioners of the City of Dickinson, North Dakota, as follows:

1. The City of Dickinson hereby creates the 2025 Watermain and Lead Service Line Replacement Project Special Improvement District No. 202503-1. Such special assessment improvement district shall include the following:

LOTS 1-6, BLOCK 1, COLLEGE ADDITION  
 LOTS 1-9, BLOCK 2, COLLEGE ADDITION  
 LOTS 7-12, BLOCK 4, COLLEGE ADDITION  
 LOTS 10-18, BLOCK 5, COLLEGE ADDITION  
 LOTS 1-2, BLOCK 19, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 3-7 PLUS 12' VACATED 7TH AVENUE WEST ADJACENT TO LOT 4 PLUS 8'  
 VACATED 8TH AVENUE WEST ADJACENT TO LOT 5, BLOCK 19,  
 YOUNG'S 5<sup>TH</sup> ADDITION PLUS FORMER BN LEASE SITE #243674  
 LOTS 5-12, BLOCK 21, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 7-12, BLOCK 22, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 1-6 AND 12, BLOCK 23, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 1-6, BLOCK 24, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 7-10, BLOCK 25, YOUNG'S 5<sup>TH</sup> ADDITION PLUS A PORTION OF VACATED STREET  
 WEST ½ LOTS 11-12, BLOCK 25, YOUNG'S 5<sup>TH</sup>  
 EAST 84-FEET OF LOTS 1-2, AND LOTS 3-5, BLOCK 26, YOUNG'S 5<sup>TH</sup> ADDITION PLUS A  
 PORTION OF VACATED STREET  
 LOTS 1 AND 12, BLOCK 28, YOUNG'S 5<sup>TH</sup> ADDITION  
 LOTS 1 AND 12, BLOCK 39, YOUNG'S 7<sup>TH</sup> ADDITION  
 BLOCK 1, GOLF COURSE SUBDIVISION #1  
 A PORTION OF LOT 1, ALL OF LOT 2, BLOCK 2, AUDITOR'S PLAT #4  
 EAST 78-FEET AND SOUTH 106-FEET OF LOT 3 AND LOT 9, BLOCK 3,  
 AUDITOR'S PLAT #4  
 WEST 63-FEET AND SOUTH 106-FEET OF LOT 3 AND LOTS 6-8, BLOCK 3,  
 AUDITOR'S PLAT #4  
 NORTH 56-FEET LOT 6 AND NORTH 51-FEET OF LOT 6, BLOCK 4, AUDITOR'S PLAT #4  
 UNPLATTED COLLEGE GROUNDS IN SECTION 4, TOWNSHIP 139 NORTH,  
 RANGE 96 WEST  
 NORTH 25-FEET OF LOT 7, ALL OF LOT 8, NORTH 75-FEET AND WEST 9-FEET VACATED  
 ALLEY, BLOCK 1, FRYE'S ADDITION  
 LOTS 5, 6, SOUTH 25-FEET LOT 7, PLUS 9-FEET VACATED ALLEY, BLOCK A,  
 FRYE'S ADDITION PLUS A PORTION OF FORMER BN LEASE SITE #230097

2. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners hereby directs the advertisement of bids for the 2025 Watermain and Lead Service Line Replacement Project.

3. Pursuant to NDCC 40-22-10, the Board of City Commissioners hereby directs its municipal engineering consultant to prepare a report as to the general nature, purpose, and feasibility of the proposed improvement and an estimate of the probable cost of the improvement, including: (1) a separate statement of the estimated cost of the work for which proposals must be advertised under NDCC Section 40-22-19; and (2) a separate statement of all other items of estimated cost not included under subsection (1) which are anticipated to be included in the cost of the improvement under NDCC

Sections 40-23-05 and 40-23.1-04. Such engineer’s report has been received by the City and is hereby approved.

4. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners also hereby finds that total of the present and likely future benefits of the project exceed the total cost of the project. The portion of the benefits of the project received by the City and the general public at large is 80% and the portion that specifically benefits the property in the district is 20%.

5. Pursuant to N.D.C.C. § 40-22-18, the City of Dickinson received 6 protests for a total of 8% of the total area within the special improvement district being protested.

6. Pursuant to N.D.C.C. § 40-22-19, the Board of City Commissioners also hereby finds the proposed assessments for each lot and parcel are necessary to pay that parcel’s just proportion of the total cost of such work, finding that such proposed assessments do not exceed the benefits to each lot, and recommending said assessments to the City Commission for approval.

7. The Board of City Commissioners hereby declares that it is necessary to make the improvements described in the engineer’s report. The engineer’s report and a map of the City showing the proposed improvement district is attached hereto and incorporated herein by reference.

8. The Board of City Commissioners hereby declares the interest rate for this proposed improvement district to be \_\_\_\_%, and the term of the proposed improvement district to be \_\_\_\_ years.

Dated this \_\_\_\_ day of November, 2024.

\_\_\_\_\_  
Scott Decker, President  
Board of City Commissioners

ATTEST:

\_\_\_\_\_  
Dustin Dassinger  
Dickinson City Administrator



West Ridge 4<sup>th</sup> Addition  
Major Plat staff report

**To:** City of Dickinson Planning and Zoning Commission  
**From:** City of Dickinson Community Development  
**Date:** November 6, 2024  
**Re:** **FLP-018-2024 West Ridge 4<sup>th</sup> Addition Major Plat**

**OWNER/APPLICANT**

Aaron Grinsteinner/Venture Homes  
 PO Box 1316  
 Dickinson, ND, 58602  
 Venturehomesnd.aaron@gmail.com  
 (701) 290-1298

**APPLICANT'S REPRESENTATIVE**

Andrew Schrank/Highlands Engineering  
 319 24<sup>th</sup> Street East  
 Dickinson, ND 58601  
 schrank@highlandseng.com  
 (701) 483-2444

<b>Public Hearing</b>	November 13, 2024	Planning and Zoning Commission
<b>Final Action</b>	November 19, 2024	City Commission

**EXECUTIVE SUMMARY**

The applicant is requesting the approval of the West Ridge 4<sup>th</sup> Addition Subdivision being the Replat of Lots 13-15, Block 6 of the Replat of West Ridge 1st Addition, Block 1, Lots 1 & 17-21, located in the SW1/4 of Section 31, Township 140 North, Range 96 West, of the 5<sup>th</sup> Principal Meridian, City of Dickinson, Stark County, North Dakota. According to the applicant, the purpose of the proposed subdivision is to construct nine units, with seven townhomes on individual lots and two units on one duplex lot. The seven townhome units on individual lots will be sold to the occupants, and the duplex units will be rented out by the developer. The site is currently zoned Medium-Density Residential (R-2), and the proposed subdivision is +/- 1.51 acres.

Staff Recommendation: Staff recommends approval of the final major plat of the West Ridge 4<sup>th</sup> Addition Major Plat.

**LOCATION**

The property is located in the SW ¼ of Section 31, Township 140 North, Range 96 West in the City of Dickinson. There are single-family attached residences on the adjacent property to the west. The other adjacent lots, including the R-3 zoned property to the west on the other side of 12<sup>th</sup> Street West, is also currently undeveloped.

<b>CURRENT ZONING</b>	<b>R-2</b>
<b>FUTURE LAND USE MAP DESIGNATION</b>	<b>RESIDENTIAL</b>
<b>GROSS SITE ACREAGE</b>	<b>+/- 1.51</b>
<b>LOTS PROPOSED</b>	<b>8</b>

<b>NEARBY ZONING &amp; LAND USE</b>		
<b>Direction</b>	<b>Zoning</b>	<b>Land Use</b>
North	P	Undeveloped
East	P	Undeveloped
South	R-2 & R-3	Undeveloped residential
West	R-2	Single-family attached residences

**STAFF ANALYSIS**

A major subdivision plat is defined in Municipal Code Section 34.030 as any subdivision that does NOT meet the following criteria:

- a. Does not require the dedication of public rights-of-way or the construction of new public streets or public infrastructure;*
- b. Does not land-lock or otherwise impair convenient ingress and egress to or from the rear or side of the subject tract or any adjacent property;*
- c. Does not violate any local, state or federally-adopted law, ordinance, regulation, plan or policy;*
- d. Consists of four lots or less (Ord No. 1545 § 1)*

This proposed subdivision consists of eight total lots, greater than the four lots permitted by a minor subdivision. Therefore, this project is defined as a major subdivision.

The proposed development matches the definition of a townhouse as defined in Section 39.03.004c as “The use of a site for three or more attached dwelling units, each occupied by one family and separated by vertical side walls extending from foundation through roof without openings. Each townhouse Community development unit must have at least two exposed exterior walls.”

A townhouse development requires 7,000 square foot lots for the first unit, with 3,000 additional square feet per additional unit. Three-unit townhouses, as proposed by the applicant, would require a total of 13,000 square feet per building, with each unit on a lot greater than or equal to 3,000 square feet. The proposed development meets these requirements.

### **PUBLIC COMMENT AND STAFF RECOMMENDATION**

**Public Input:** Staff has not received any public input as of the date of this report.

**Staff Recommendation:** The Community Development staff recommends **approval** of this development project.

**MOTIONS:**

**\*\*\*Approval\*\*\***

*"I move the City of Dickinson Planning and Zoning Commission recommend approval of **FLP-018-2024 West Ridge 4<sup>th</sup> Addition Major Plat** as meeting all the requirements of the Dickinson Municipal Code and also being in the interest of the public health, safety and welfare "*

*(AND) the following additional requirements (IF THE PLANNING AND ZONING COMMISSION RECOMMENDS ANY ADDITIONS AND/OR DELETIONS TO THE PROPOSED MOTION LANGUAGE):*

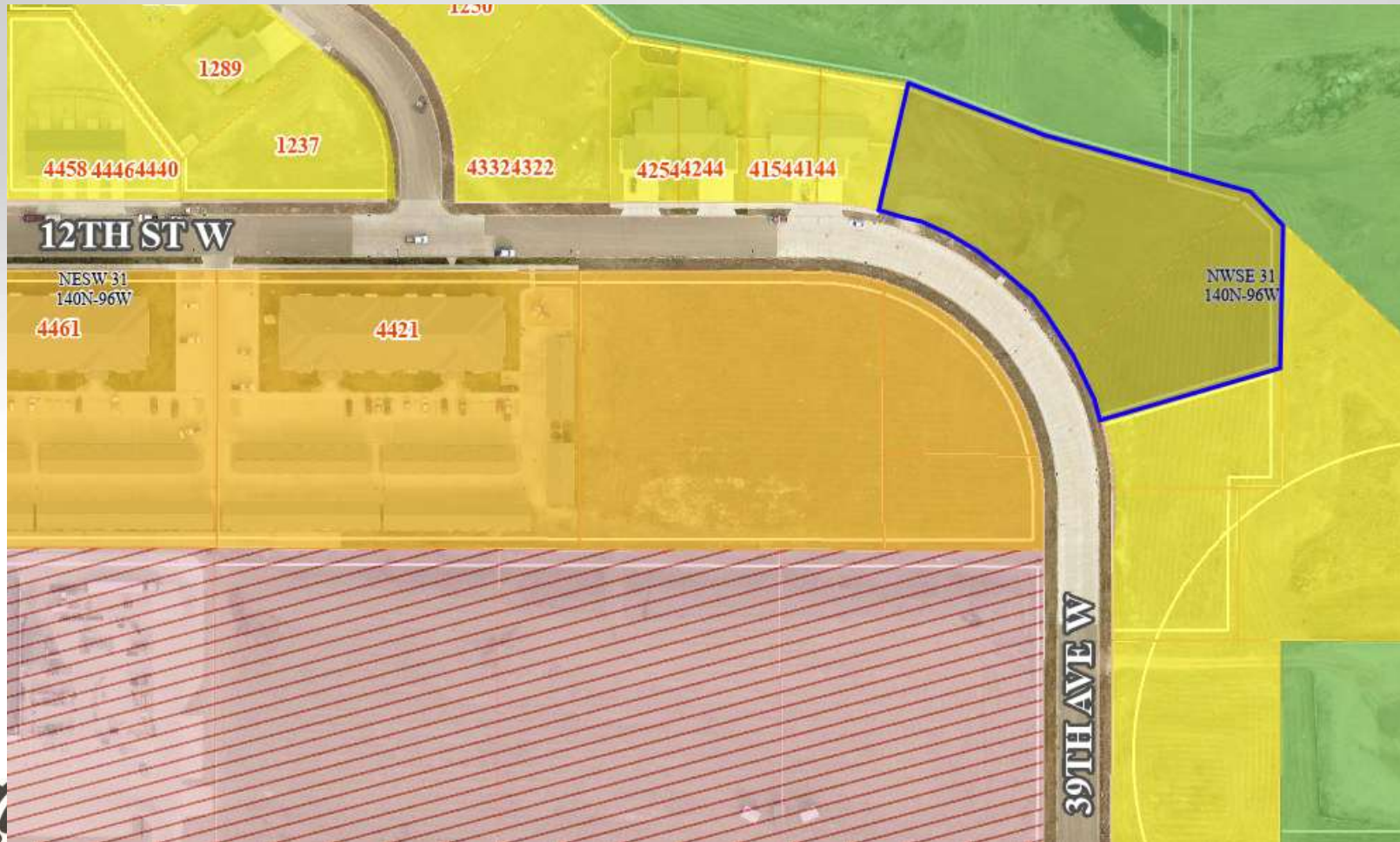
1. \_\_\_\_\_;
2. \_\_\_\_\_.

**\*\*\*Denial\*\*\***

*"I move the Dickinson Planning and Zoning Commission recommend denial of **FLP-018-2024 West Ridge 4<sup>th</sup> Addition Major Plat** as NOT meeting all the requirements of the Dickinson Municipal Code and as being contrary to interest of the public health, safety and welfare."*

# WEST RIDGE 4<sup>th</sup> ADDITION MAJOR SUBDIVISION (FLP-018-2024)

Section 7. Item D.



**RESOLUTION NO: \_\_\_\_\_ - 2024****A RESOLUTION APPROVING FINAL PLAT ENTITLED  
WEST RIDGE 4<sup>TH</sup> ADDITION  
STARK COUNTY, NORTH DAKOTA**

WHEREAS, application has been made to the Board of City Commissioners for the approval of a final plat of **WEST RIDGE 4<sup>TH</sup> ADDITION**

**PROPERTY BOUNDARY DESCRIPTION:**

A PARCEL OF LAND LOCATED IN LOTS THIRTEEN (13), FOURTEEN (14), AND FIFTEEN (15), BLOCK SIX (6) OF THE REPLAT OF WEST RIDGE 1ST ADDITION, BLOCK ONE (1), LOTS 1 AND 17-21 LOCATED IN THE SOUTHWEST QUARTER (SW1 4) OF SECTION THIRTY-ONE, TOWNSHIP ONE HUNDRED FORTY NORTH (T140N), RANGE NINETY-SIX WEST (R96W) OF THE FIFTH PRINCIPAL MERIDIAN (5TH P.M.), CITY OF DICKINSON, STARK COUNTY, NORTH DAKOTA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT THIRTEEN (13) BEING A FOUND REBAR AND CAP LS-1225; THENCE S 69°12'10" E ALONG THE NORTH LINE OF SAID LOT THIRTEEN (13), A DISTANCE OF 139.93 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE NORTH EAST CORNER OF SAID LOT THIRTEEN (13); THENCE S 74°34'45" E ALONG THE NORTH LINE OF SAID LOT FOURTEEN (14), A DISTANCE OF 133.19 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE SOUTHEAST CORNER OF TRACT ONE (1) OF SAID REPLAT OF WEST RIDGE 1ST ADDITION, BLOCK ONE (1), LOTS 1 AND 17-21; THENCE S 74°35'36" E ALONG SAID NORTH LINE OF SAID LOT FOURTEEN (14), A DISTANCE OF 70.63 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE NORTHEAST CORNER OF SAID LOT FOURTEEN (14); THENCE S 46°59'22" E ALONG THE NORTH LINE OF SAID LOT FIFTEEN (15), A DISTANCE OF 40.39 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE NORTHEAST CORNER OF SAID LOT FIFTEEN (15); THENCE S 00°10'48" W ALONG THE EAST LINE OF SAID LOT FIFTEEN (15), A DISTANCE OF 137.48 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE SOUTHEAST CORNER OF SAID LOT FIFTEEN (15); THENCE S 73°36'32" W ALONG THE SOUTH LINE OF SAID LOT FIFTEEN (15), A DISTANCE OF 178.61 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE SOUTHWEST CORNER OF SAID LOT FIFTEEN (15) BEING THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 283.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 13°37'48" AN ARC LENGTH OF 67.32 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE NORTHWEST CORNER OF SAID LOT FIFTEEN (15) BEING THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 283.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°24'30" AN ARC LENGTH OF 105.74 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE SOUTHWEST CORNER OF SAID LOT FOURTEEN (14) BEING THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 283.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26°46'46" AN ARC LENGTH OF 132.27 FEET TO A FOUND REBAR AND CAP LS-1225 AT THE SOUTHWEST CORNER OF SAID LOT THIRTEEN (13); THENCE N 12°24'32"E ALONG THE WEST LINE OF SAID SECTION THIRTEEN (13), A DISTANCE OF

122.71 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1.51 ACRES, MORE OR LESS,  
AND IS SUBJECT TO ANY PREVIOUS EASEMENTS,  
AGREEMENTS, CONVEYANCES AND SURVEYS.

WHEREAS, the Planning Commission held a public hearing on said plat in compliance with State Statute, at which time the final plat was given final approval and recommended to the Board of City Commissioners.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the property known as the **WEST RIDGE 4<sup>TH</sup> ADDITION** Stark County, North Dakota, be and the same is hereby approved upon condition that the proposed streets, water and sewage and other utility facilities be in accordance with the City of Dickinson and Stark County regulation codes and as indicated on the final plat, and procedures acceptable to the Board of City Commissioners.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 2024.

\_\_\_\_\_  
Scott Decker, President  
Board of City Commission

ATTEST:

\_\_\_\_\_  
Dustin Dassinger, City Administrator



# Dvirnak FINAL MINOR PLAT STAFF REPORT

**To:** City of Dickinson Planning and Zoning Commission  
**From:** City of Dickinson Community Development  
**Date:** November 6, 2024  
**Re:** **FLP-019-2024 Dvirnak Final Minor Plat**

### OWNER/APPLICANT

Dwight Dvirnak/Gaye Dvirnak  
 2233 Country Oak Drive  
 Dickinson, ND 58601  
 Cleanright360@gmail.com  
 (701) 580-2919

### APPLICANT'S REPRESENTATIVE

Northern Plains Engineering/Jeremy Wood  
 441 23<sup>rd</sup> Street West  
 Dickinson, ND 58601  
 jwood@nplainseng.com  
 (701) 483-1858

<b>Public Hearing</b>	November 13, 2024	Planning and Zoning Commission
<b>Final Action</b>	November 19, 2024	City Commission

## EXECUTIVE SUMMARY

The applicant is requesting approval of a Minor Subdivision Plat for the Dvirnak Subdivision, being a replat of Lots 5A, 5B, and 6 in Block 3 of the Country Oaks Estates Second Addition, located within the SW1/4 of Section 28, Township 140 North, Range 96 West, of the 5<sup>th</sup> Principal Meridian, in the City of Dickinson, Stark County, North Dakota. According to the applicant, the purpose of the proposed subdivision is to divide Lot 5B and combine the south 58 feet with Lot 6 to construct a detached garage. The lot is currently zoned Medium-Density Residential (R-2), and the proposed subdivision is +/- 0.72 acres.

Staff Recommendation: Staff recommends approval of the Dvirnak Subdivision.

## LOCATION

The property is a replat of Lots 5A, 5B, and 6 in Block 3 of the Country Oaks Estates Second Addition, located within the SW1/4 of Section 28, Township 140 North, Range 96 West, of the 5<sup>th</sup> Principal Meridian, in the City of Dickinson, Stark County, North Dakota. This subdivision

contains the existing residence at 2233 Country Oaks Drive as well as two currently-undeveloped lots.

<b>CURRENT ZONING</b>	<b>R-2</b>
<b>FUTURE LAND USE MAP DESIGNATION</b>	<b>Residential</b>
<b>GROSS SITE ACREAGE</b>	<b>+/- 0.72</b>
<b>LOTS PROPOSED</b>	<b>2</b>

<b>NEARBY ZONING &amp; LAND USE</b>		
<b>Direction</b>	<b>Zoning</b>	<b>Land Use</b>
North	R-2	Single-family residence
East	R-2 & R-3	Single-family residence; Townhouses
South	R-2	Undeveloped; Multi-family residence
West	R-2	Single-family residence; Duplex

**STAFF ANALYSIS**

**CURRENT ORDINANCE REVIEW**

Lots 5A and 5B were previously created through an administrative lot modification. As such, the reconfiguration of the lots requires City Commission approval of a minor subdivision plat, as stated in Section 34. of the City of Dickinson’s Municipal Code.

According to Section 34.030 of the Municipal Code, a minor subdivision shall meet the following criteria:

- Does not require the dedication of public rights-of-way or the construction of new public streets or public infrastructure; and
- Does not land-lock or otherwise impair convenient ingress and egress to or from the rear side of the subject tract or any adjacent property; and
- Does not violate any local, state, or federally-adopted law, ordinance, regulation, plan or policy; and
- Consists of four lots or less.

Staff finds the proposed Dvirnak Subdivision meets those criteria.

According to Section 39.04 of the Municipal Code, the minimum R-2 lot size is 7,000 square feet. Both of the proposed lots meet that requirement and therefore would be legally conforming.

## **PUBLIC COMMENT AND STAFF RECOMMENDATION**

**Public Input:** Staff has not received any public input as of the date of this report.

**Staff Recommendation:** The Community Development staff recommends **approval** of this development project.

**MOTIONS:**

**\*\*\*Approval\*\*\***

*"I move the City of Dickinson Planning and Zoning Commission recommend approval of **FLP-019-2024 Dvirnak Final Minor Plat** as meeting all the requirements of the Dickinson Municipal Code and also being in the interest of the public health, safety and welfare "*

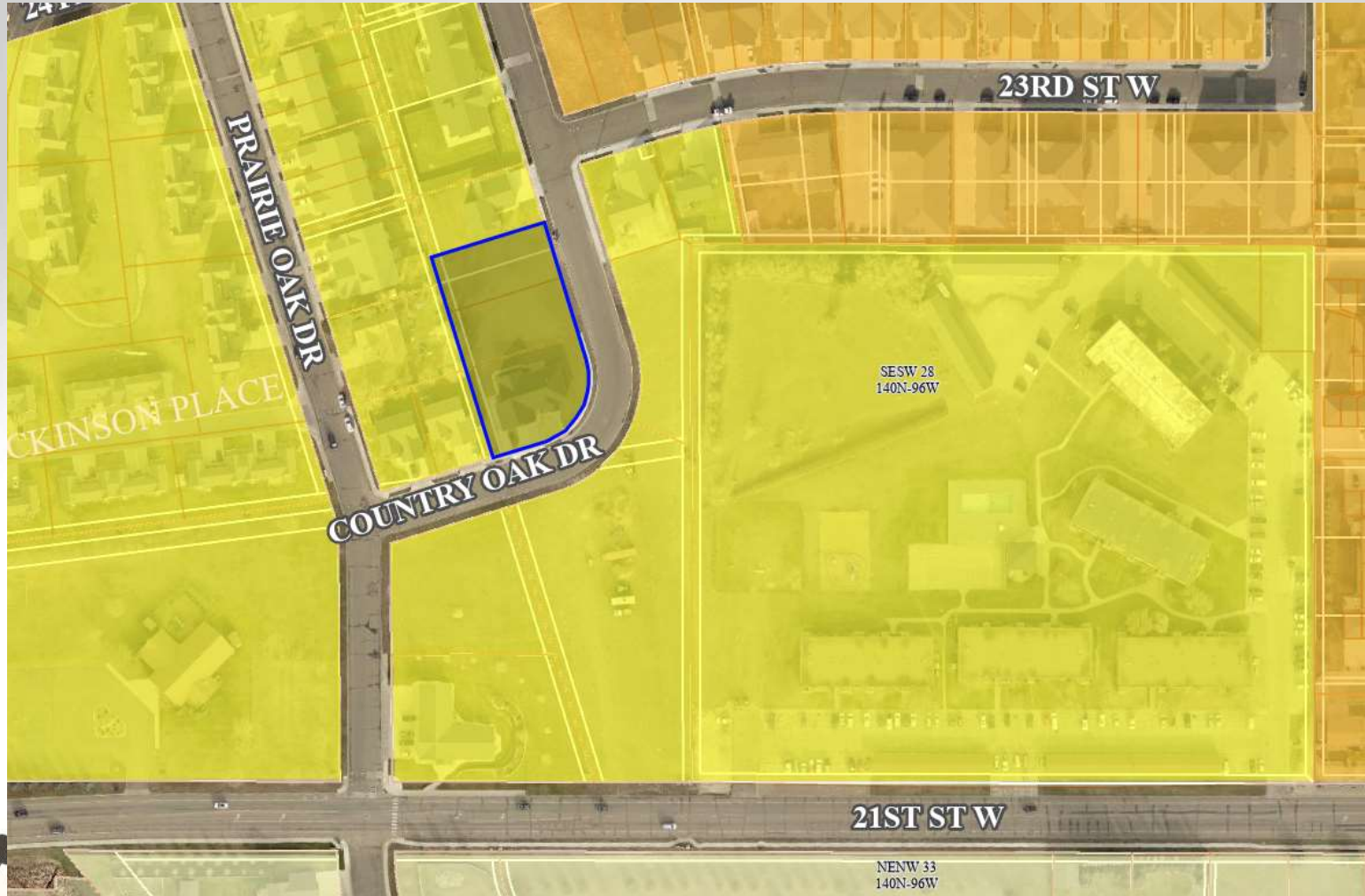
*(AND) the following additional requirements (IF THE PLANNING AND ZONING COMMISSION RECOMMENDS ANY ADDITIONS AND/OR DELETIONS TO THE PROPOSED MOTION LANGUAGE):*

1. \_\_\_\_\_;
2. \_\_\_\_\_.

**\*\*\*Denial\*\*\***

*"I move the Dickinson Planning and Zoning Commission recommend denial of **FLP-019-2024 Dvirnak Final Minor Plat** as NOT meeting all the requirements of the Dickinson Municipal Code and as being contrary to interest of the public health, safety and welfare."*

# DVIRNAK MINOR SUBDIVISION (FLP-019-2024)



**RESOLUTION NO: \_\_\_\_\_ - 2024**

**A RESOLUTION APPROVING FINAL PLAT ENTITLED  
DVIRNAK FIRST ADDITION  
STARK COUNTY, NORTH DAKOTA**

WHEREAS, application has been made to the Board of City Commissioners for the approval of a final plat of **DVIRNAK FIRST ADDITION**

**PROPERTY BOUNDARY DESCRIPTION:**

A TRACT OF LAND LYING WITHIN THE SW1/4 OF SECTION 28, TOWNSHIP 140 NORTH RANGE 96 WEST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF DICKINSON, NORTH DAKOTA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOTS 6, 5B & 5A BLOCK 3, COUNTRY OAKS ESTATES SECOND ADDITION WHICH IS A TRACT OF LAND LYING IN LOTS 4, 5 AND 6, BLOCK 3 OF COUNTRY OAKS ESTATES SECOND ADDITION TO THE CITY OF DICKINSON, STARK COUNTY, NORTH DAKOTA. SAID TRACT CONTAINS 31,358 SQ. FT., MORE OR LESS AND IS SUBJECT TO ANY PREVIOUS EASEMENTS, AGREEMENTS, CONVEYANCES, AND SURVEYS.

WHEREAS, the Planning Commission held a public hearing on said plat in compliance with State Statute, at which time the final plat was given final approval and recommended to the Board of City Commissioners.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the property known as the **DVIRNAK FIRST ADDITION** Stark County, North Dakota, be and the same is hereby approved upon condition that the proposed streets, water and sewage and other utility facilities be in accordance with the City of Dickinson and Stark County regulation codes and as indicated on the final plat, and procedures acceptable to the Board of City Commissioners.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 2024.

\_\_\_\_\_  
Scott Decker, President  
Board of City Commission

ATTEST:

\_\_\_\_\_  
Dustin Dassinger, City Administrator



November 1, 2024

City of Dickinson  
Engineering Department  
99 2<sup>nd</sup> Street East  
Dickinson, ND 58601

Attention: Joshua Skluzacek  
Engineer – Community Development Director

**Re: Pavement Management Study Additional Services - Amendment No. 1**

Dear Joshua;

As per our recent correspondence, the following documents the scope of additional work requested by the City related to the pavement management study recently performed by our firm.

Update Work History

The City will supply a list of segments or a map showing the pavement maintenance and/or rehabilitation work that was completed during the 2024 construction season. MDST will update the Work History data in the City's PAVER system based on this information. The type of work performed, the date the work was completed, and the cost of the work (if available) will be entered for each affected segment.

We assume that there are no new road segments that need to be added to the PAVER database or to the GIS Shape file within the PAVER system that is linked to the PAVER database. If there is, additional effort would be required to create these segments in the PAVER system.

Update PCI Map

MDST will re-calculate the PCI scores to account for the updated work history and provide an updated PCI map to the City.

Update the 5-Year Rehabilitation Plan

MDST will update the Five Year Rehabilitation Plan to account for work done in 2024. We will update the PAVER system with any revisions to the unit costs that may be required based on information provided by the City. The plan will be provided in GIS, Excel spreadsheet and PDF format.

Report Results

The results of the above analysis will be documented in letter or technical memorandum style report. The report will be provided electronically in PDF format.

General Consultation

This task provides for up to eight (8) hours of time for Mr. Triffo (MDST's Project Manager) to assist City staff with questions, analysis, reporting, training, etc. related to pavement condition evaluation and use of the PAVER system.

Fee Schedule

MDST will provide these services on a time and materials basis. The Work History update is primarily a data entry which will be performed by a Pavement/GIS Technician under the direction of our Project Manager. The other Tasks will be performed directly by our Project Manager. The project personnel and maximum required time expected for each task are shown in the Table below.

**Estimated Fee**

Task	Project Personnel	Estimated Hours	Rate	Total
Update Work History	Project Manager	1	\$225/hr.	\$225
	Technician	8	\$110/hr.	\$880
Update PCI Map	Project Manager	2	\$225/hr.	\$450
Update 5-Year Plan	Project Manager	8	\$225/hr.	\$1,800
Report Results	Project Manager	3	\$225/hr.	\$675
General Consultation	Project Manager	8	\$225/hr.	\$1,800
Project Total:				\$5,830

Please contact me if you have any questions about this amendment. We look forward to working with the City on this assignment.

Sincerely,

**MDS Technologies, Inc.**



Trevor T. Triffo  
Principal

# Pavement Mgt. Plan

Section 7. Item F.

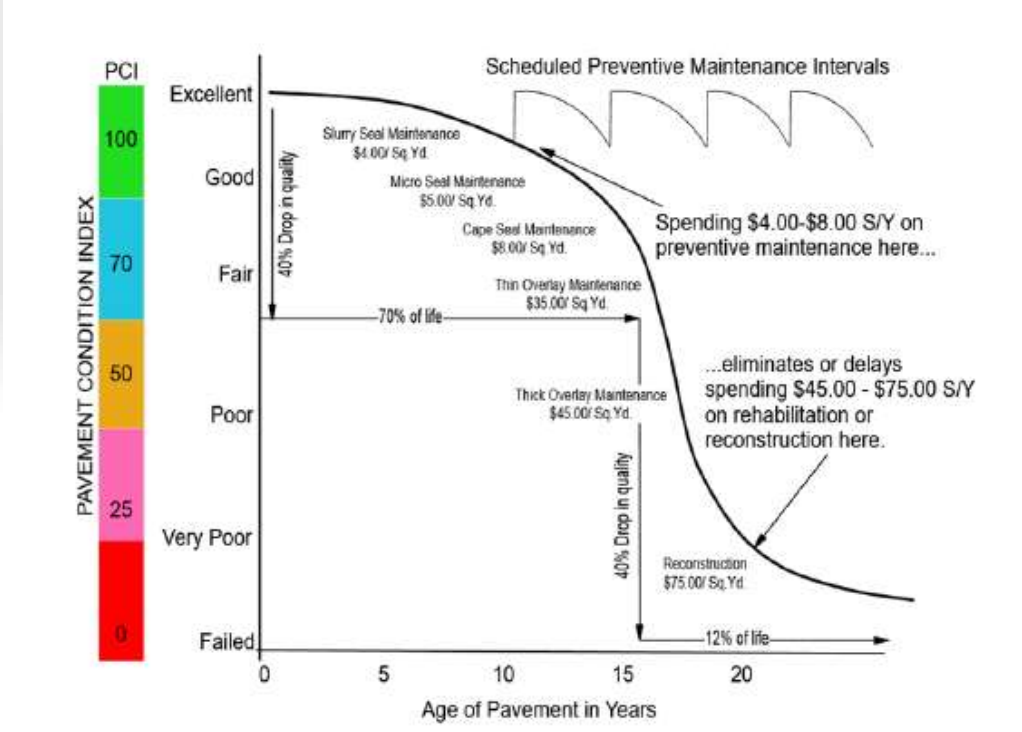
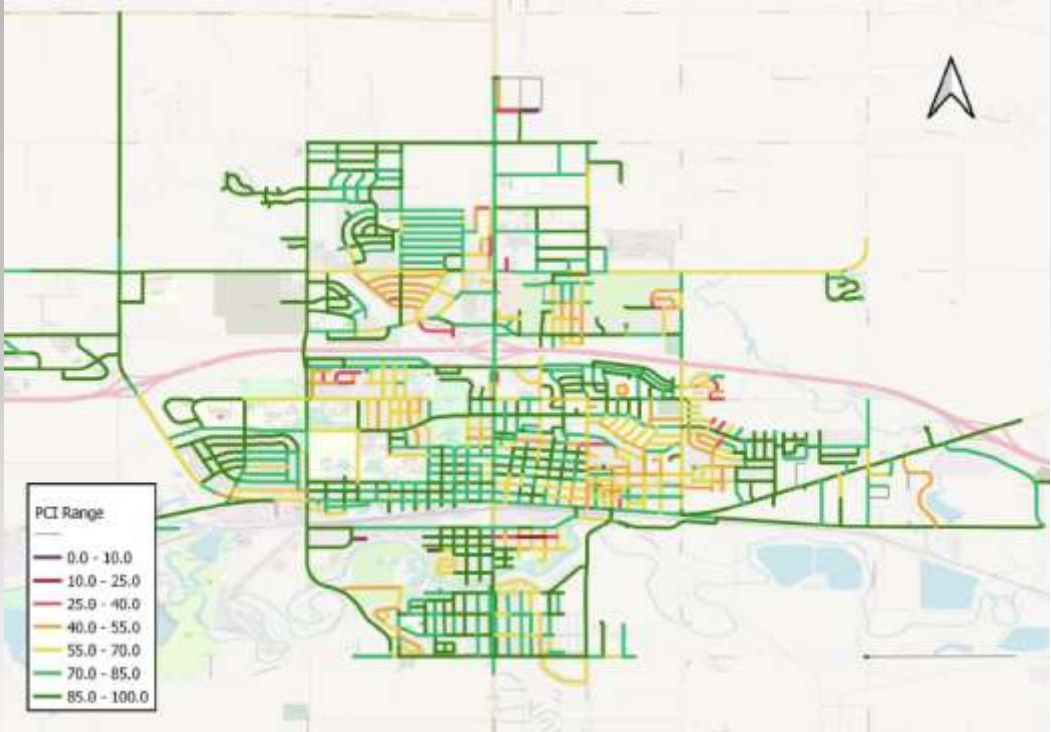
# Contract Amendment

Presented by: Senior Engineer, Kris Keller

202318  
Consideration to Approve



# Project Graphics





## Engineering Memorandum

November 14, 2024

RE: November 9, 2024 Commission Meeting

### **Pavement Management Plan Contract Amendment – 202318 – MDS Technologies, Inc.**

For your consideration is a contract amendment to perform additional pavement management study activities. The activities include: work history update, map update, 5-yr rehabilitation plan update, results report, and general consultation. The intent of the update is to extend the timeframe for completion of a new full Pavement Management Plan. The contract for services is for **\$5,830** on a Time & Material Not-to-Exceed basis. The project is the 2024 budget under the line-item: Contracted Labor – 100-2000-430-03-22.

The City Attorney has reviewed the contract.

The City Engineering staff recommend approving this contract.



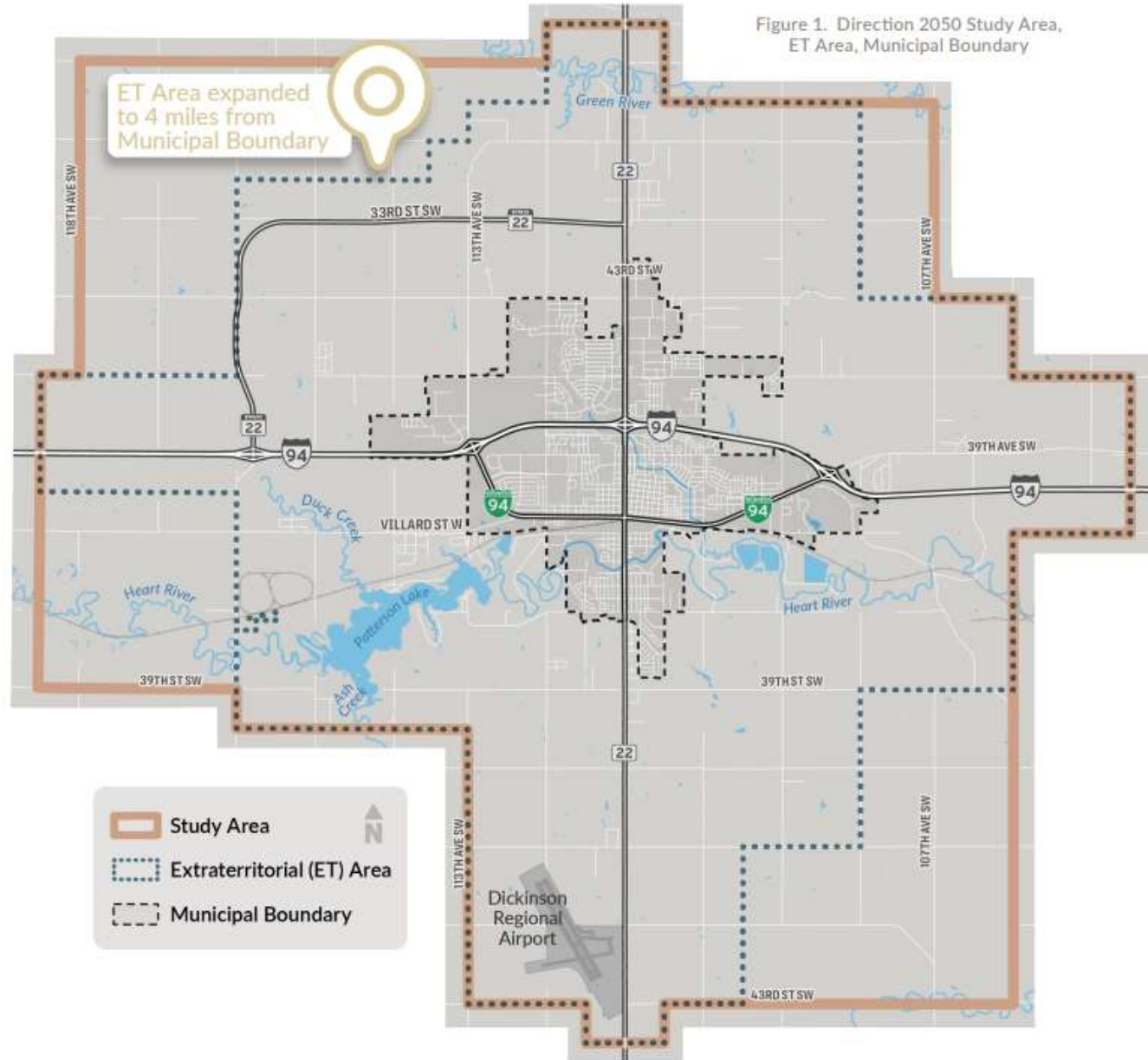
# KLJ PRESENTATION- COMP PLAN/TRANSPORTATIO N PLAN UPDATE

Presented by: City Planner, Natalie Birchak



# Study Area Map

Figure 1. Direction 2050 Study Area, ET Area, Municipal Boundary



## Existing Conditions

Figure 2. Historical Population Trends, 1920-2020

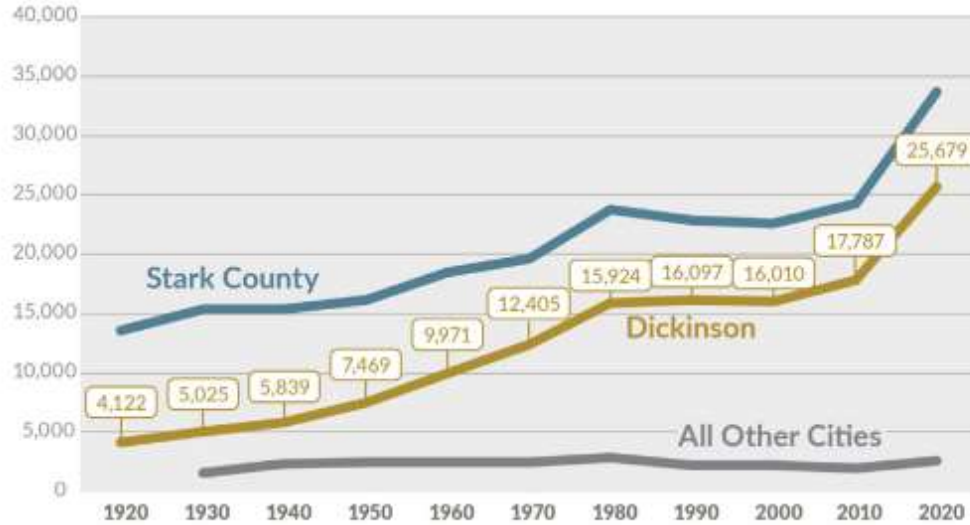


Table 1. Dickinson Decennial Population Change 1930-2020

YEAR	POPULATION	GROWTH/DECADE	AVERAGE ANNUAL GROWTH
1930	5,025		
1940	5,839	16.2%	1.6%
1950	7,469	27.9%	2.8%
1960	9,971	33.5%	3.3%
1970	12,405	24.4%	2.4%
1980	15,924	28.4%	2.8%
1990	16,097	1.1%	0.1%
2000	16,010	-0.5%	-0.1%
2010	17,787	11.1%	1.1%
2020	25,679	44.4%	4.4%

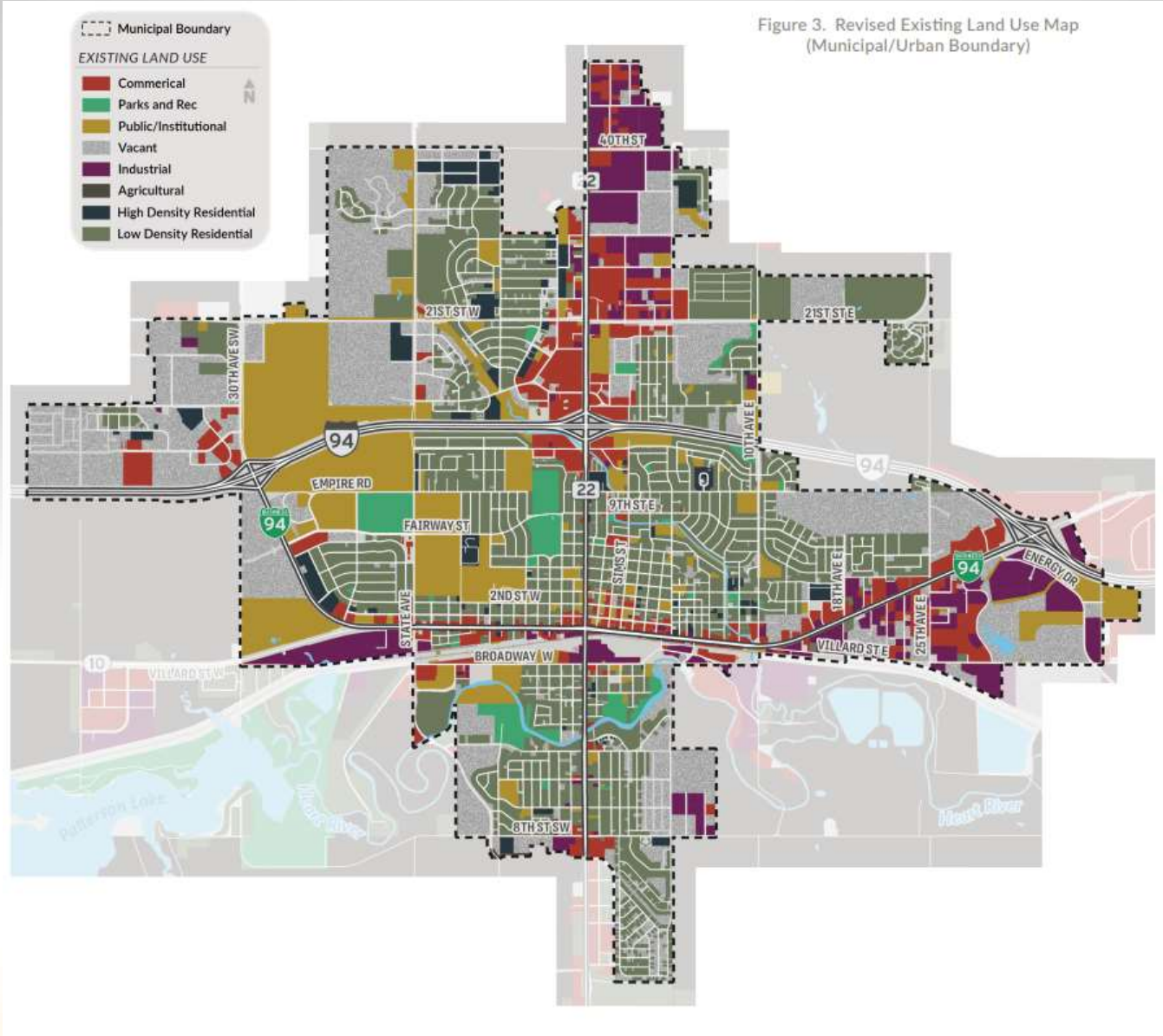
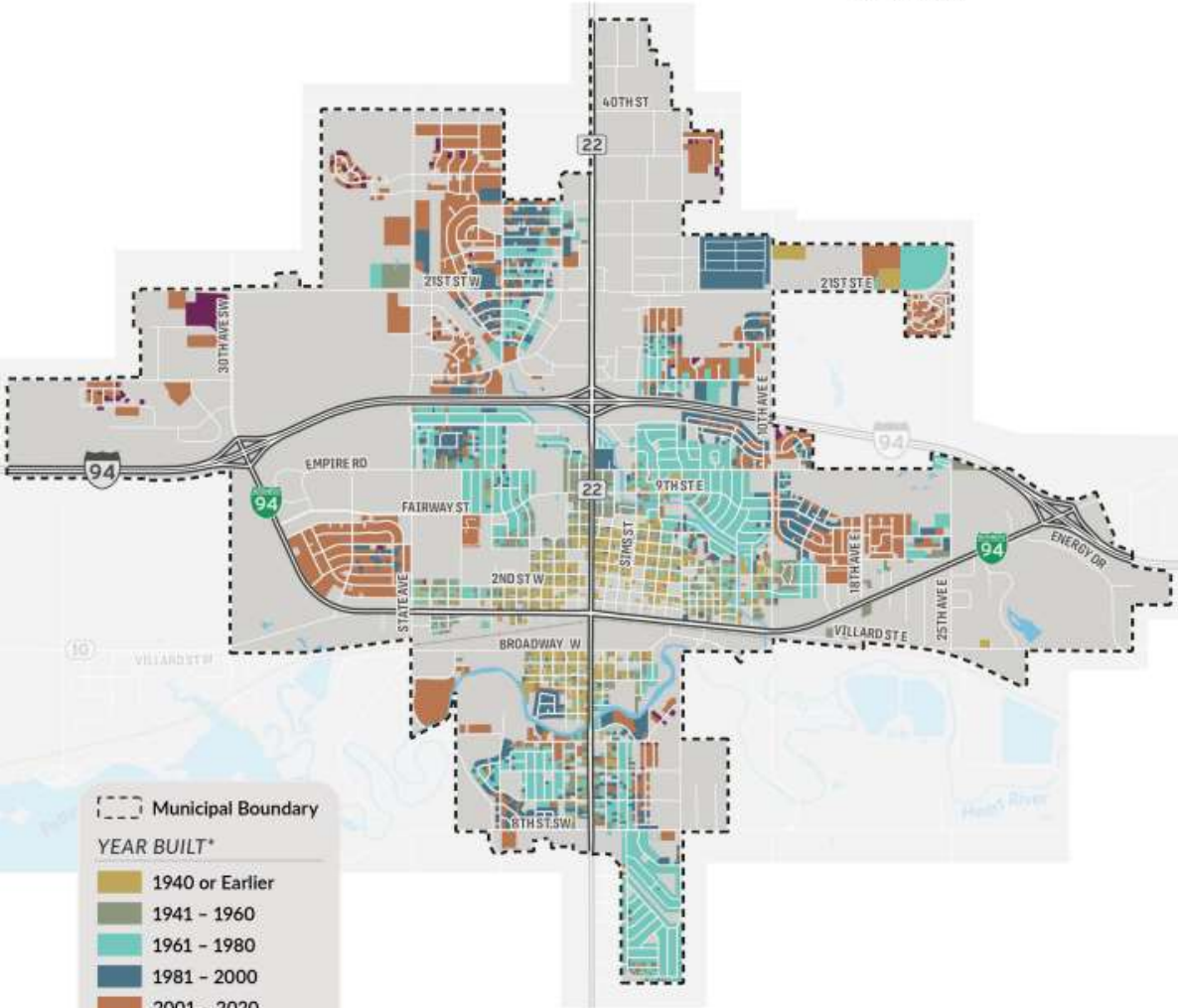


Figure 4. Residential Parcels by Year Built.



Municipal Boundary

**YEAR BUILT\***

- 1940 or Earlier
- 1941 - 1960
- 1961 - 1980
- 1981 - 2000
- 2001 - 2020
- 2021 - 2023

\*For parcels with multiple residential structures, first entry shown



According to ACS statistics for 2020, there were 10,544 occupied housing units in Dickinson, with 58% of Dickinson residents as homeowners. The average home value is \$250,600. For rental properties, monthly rent had an average of \$988.

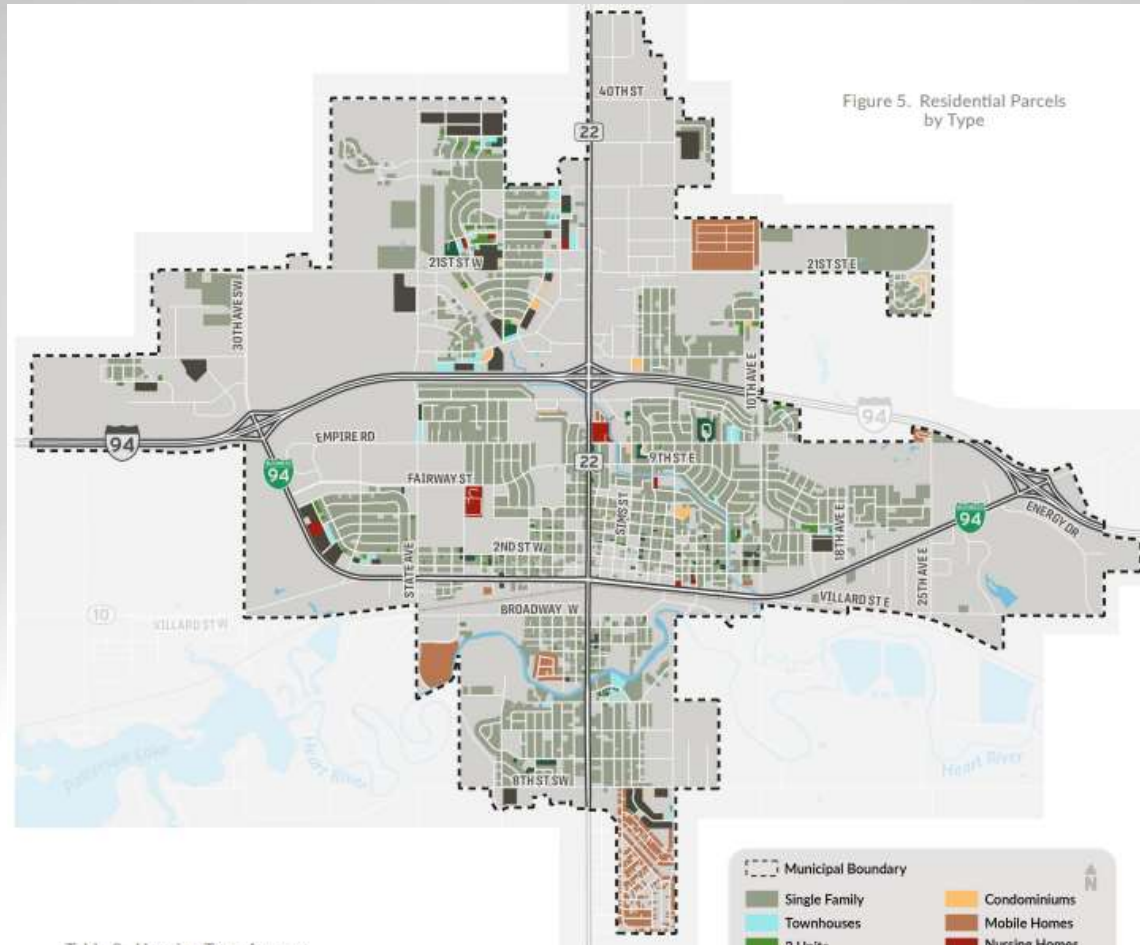


Figure 5. Residential Parcels by Type

Table 2. Housing Type Acreage

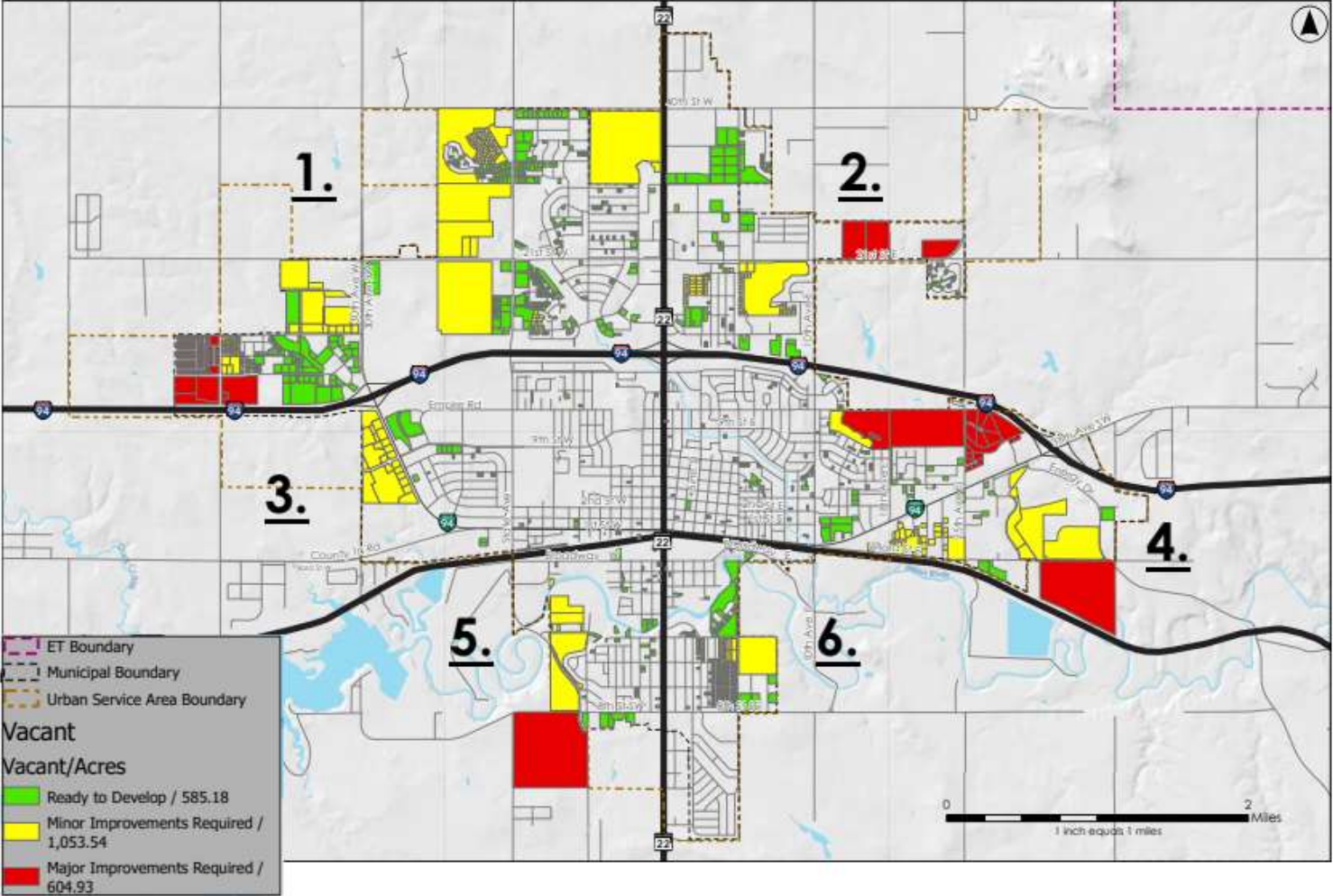
HOUSING TYPE	TOTAL ACRES	DESCRIPTION
Single Family	1,617.4	Single Family includes a few rural residential parcels with significant acreage.
Townhouses	41.6	Townhomes are one townhome per parcel.
2 Units	40.6	Duplexes, 2-unit conversions.
3-10 Unit Apartments	38.9	Some apartment sizes were estimated. Some apartments had number of units listed, these apartments were used to calculate an average unit per sq ft. This number was applied to apartments which had no units listed.
More than 10 Unit Apartments	163.6	
Condominiums	17.0	Condominiums are one condo per parcel, excludes common areas (yard).
Mobile Homes	178.7	Some mobile home parks had individual parcels while others did not.
Nursing Homes, etc.	28.3	Quasi-institutional in some cases.
Grand Total	2,126.1	

Municipal Boundary  
 Single Family  
 Townhouses  
 2 Units  
 3 - 10 Unit Apartments  
 More than 10 Unit Apartments  
 Condominiums  
 Mobile Homes  
 Nursing Homes, Assisted Living Apartments, Independent Living Apartments

\*Some apartment sizes estimated based on building area size



Figure 6. Vacant Land Availability

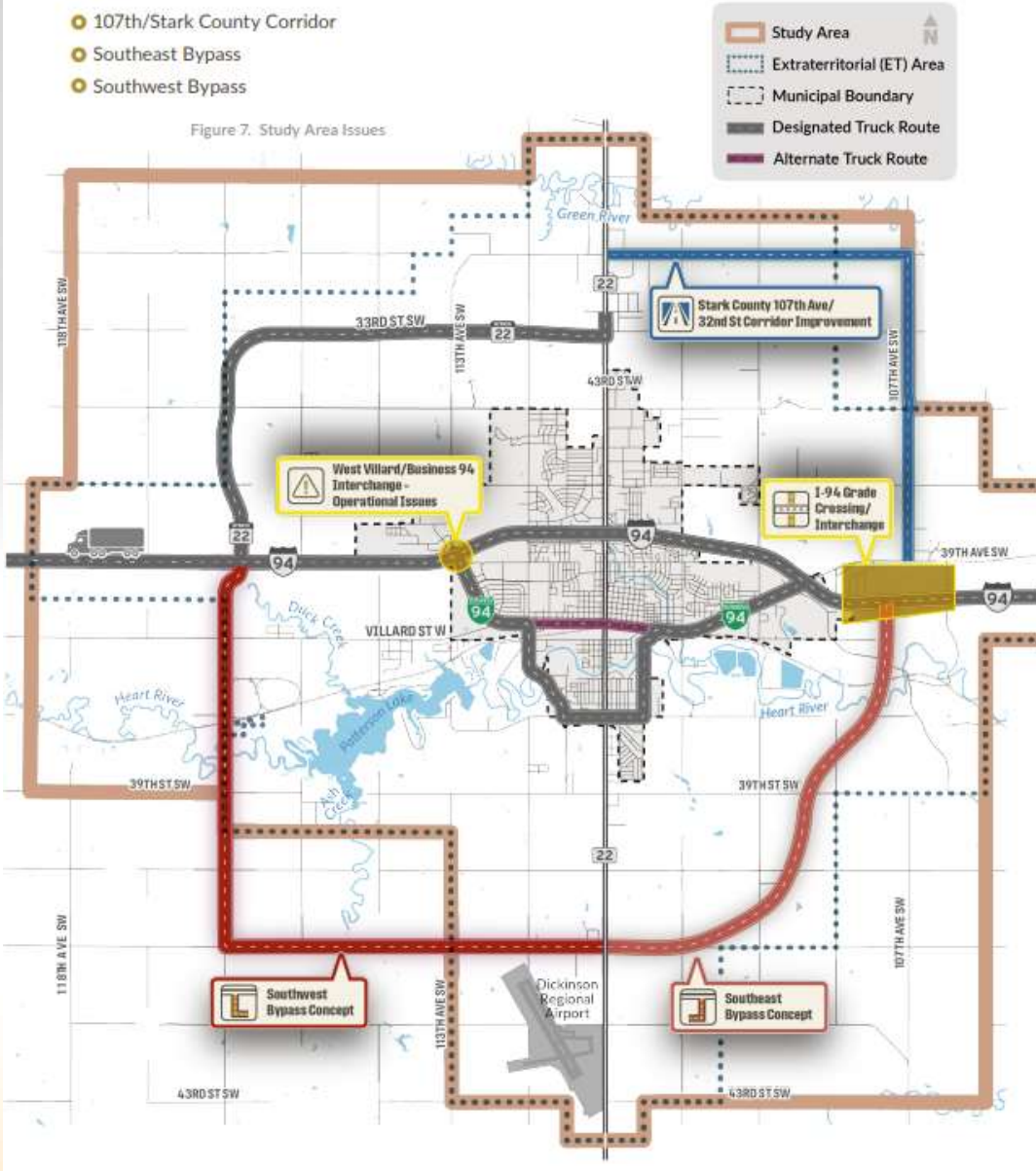


Area-wide Issues & Needs

A series of regionally focused transportation issues were developed as needing further evaluation as part of Direction 2050.

- 107th/Stark County Corridor
- Southeast Bypass
- Southwest Bypass

Figure 7. Study Area Issues



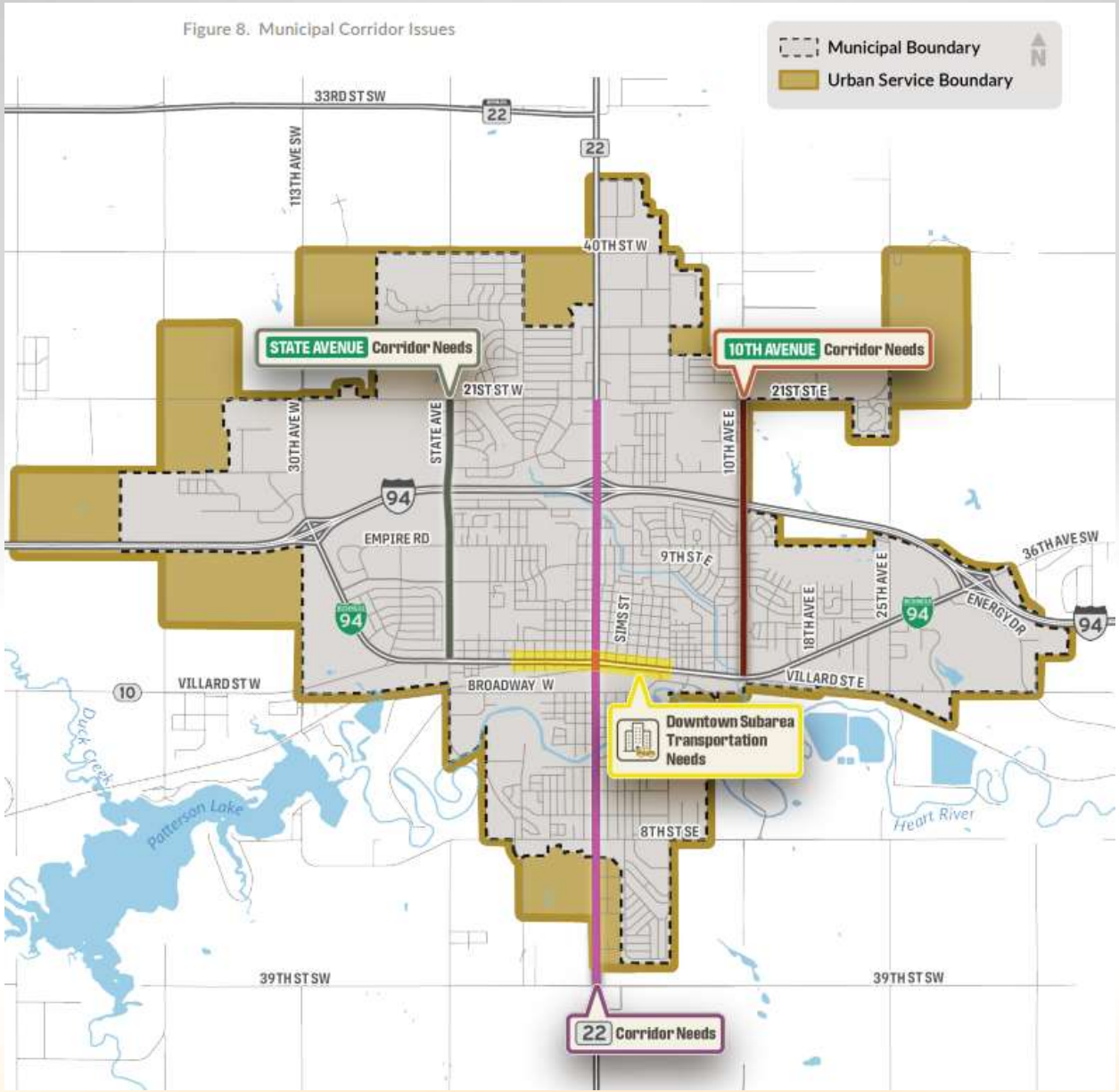
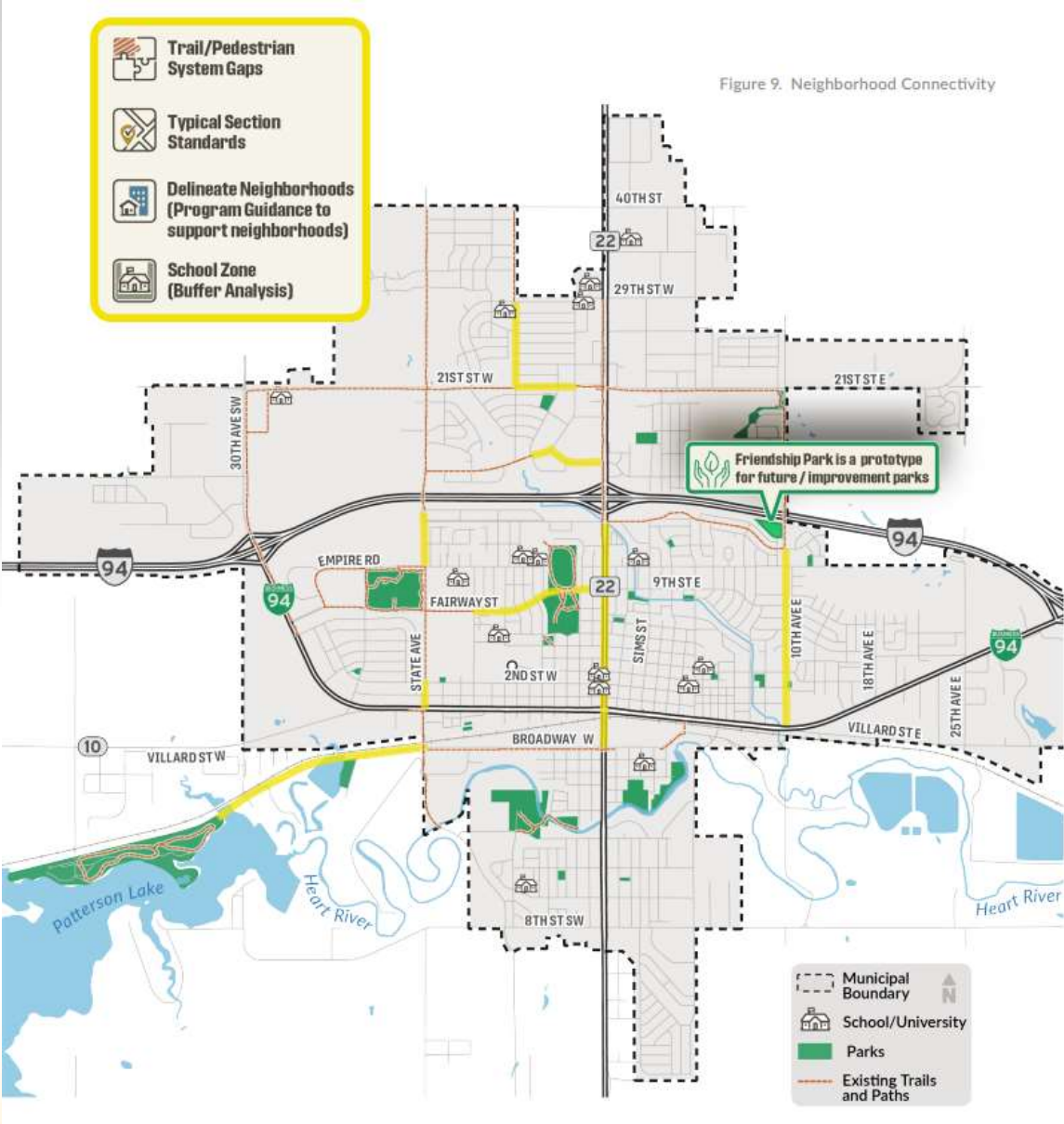


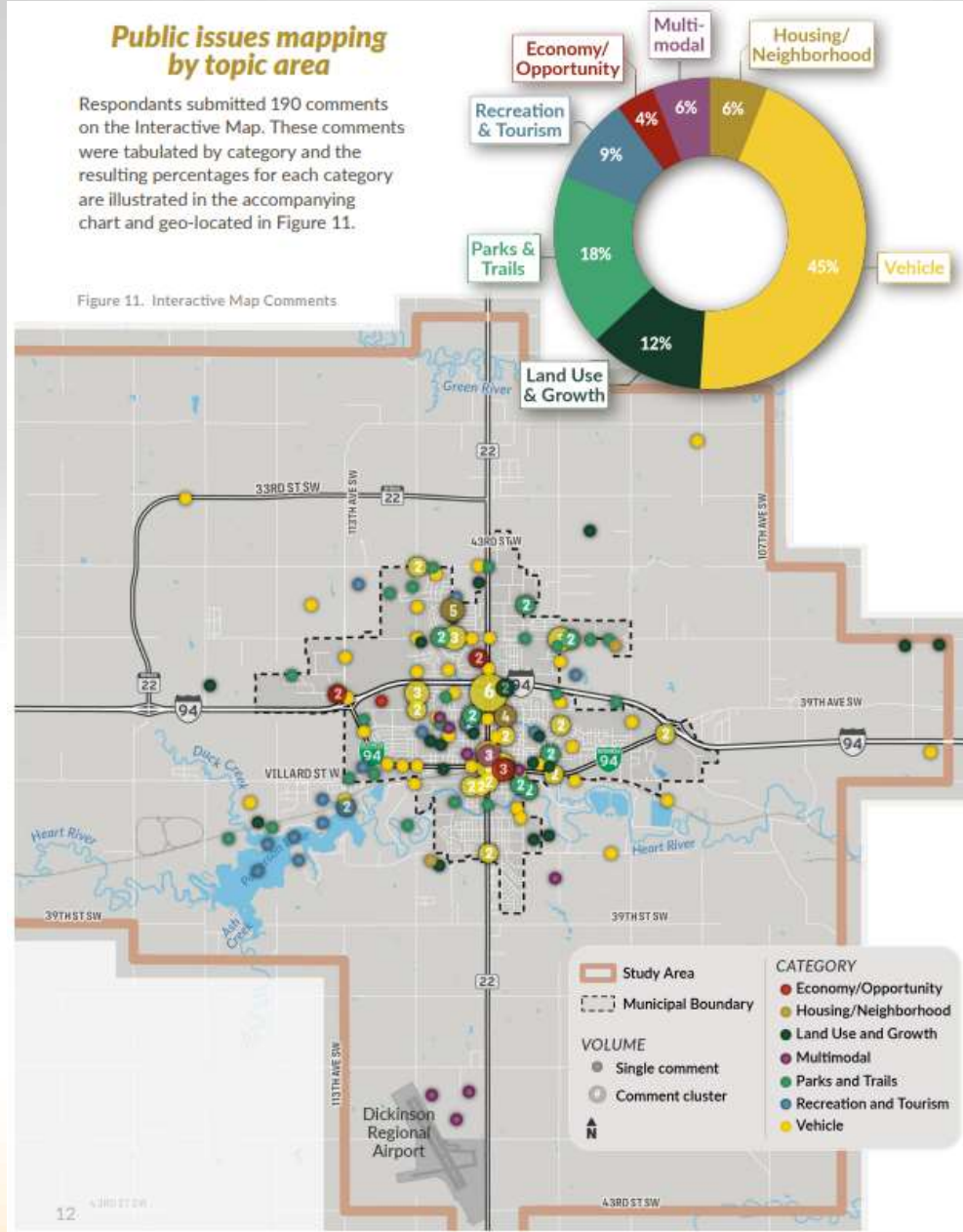
Figure 9. Neighborhood Connectivity



### Public issues mapping by topic area

Respondants submitted 190 comments on the Interactive Map. These comments were tabulated by category and the resulting percentages for each category are illustrated in the accompanying chart and geo-located in Figure 11.

Figure 11. Interactive Map Comments



# Direction

# COMPREHENSIVE PLAN



## 2050

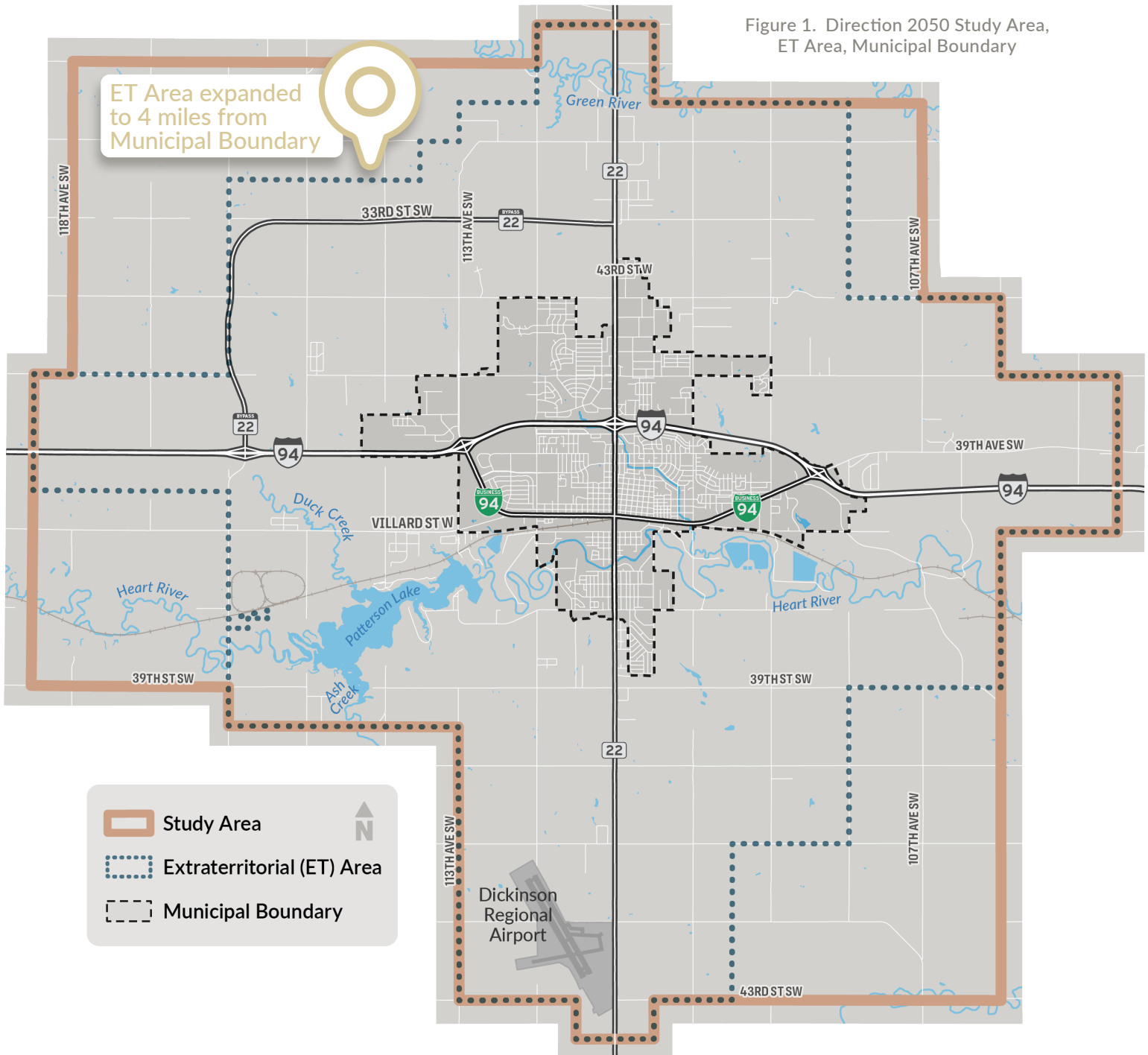


## Summary

SEPT  
2024

### Study Area Map

Figure 1. Direction 2050 Study Area, ET Area, Municipal Boundary

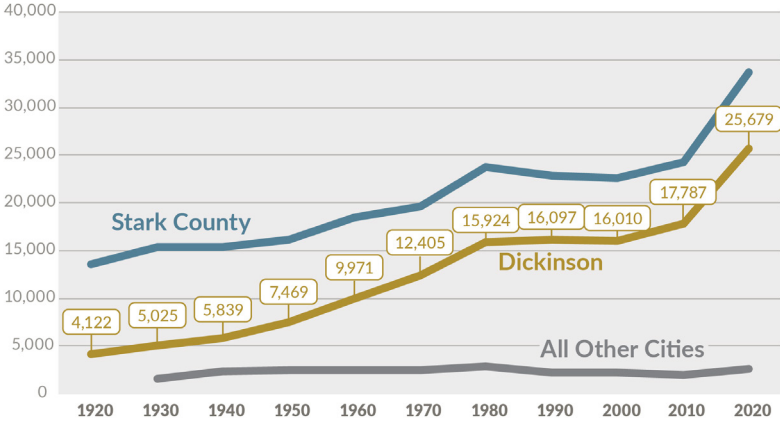


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2010	17,787	11.1%	1.1%
2020	25,679	44.4%	4.4%

Figure 2. Historical Population Trends, 1920–2020



## Existing conditions evaluation consists of...

### Parcel Development

- Parcel Inventory
- Existing Land Use
- Existing Zoning

### Existing Housing Profile

- Housing Values
- Neighborhoods and Growth Patterns

### Key Community Facilities

- Parks
- Schools
- Public & Community Facilities

### Existing Municipal Infrastructure System

- Existing Water & Sanitary Sewer Infrastructure
- Transportation System GIS Database
- Existing Road Jurisdiction
- Functional Classification

### Pavement Conditions

- NDDOT International Roughness Index (IRI)
- City (PCI)
- Bridges/Structures

### Multi-modal Transportation Systems

- Pedestrian & Bicycle Systems
- Existing Trail Systems
- Master Trail Plan
- Dickinson Public Transit
- Air
- Passenger Rail
- Freight
- Existing Level of Service (LOS)
- Existing Traffic Operation & Safety
- Intelligent Transportation Systems (ITS)

Figure 3. Revised Existing Land Use Map (Municipal/Urban Boundary)

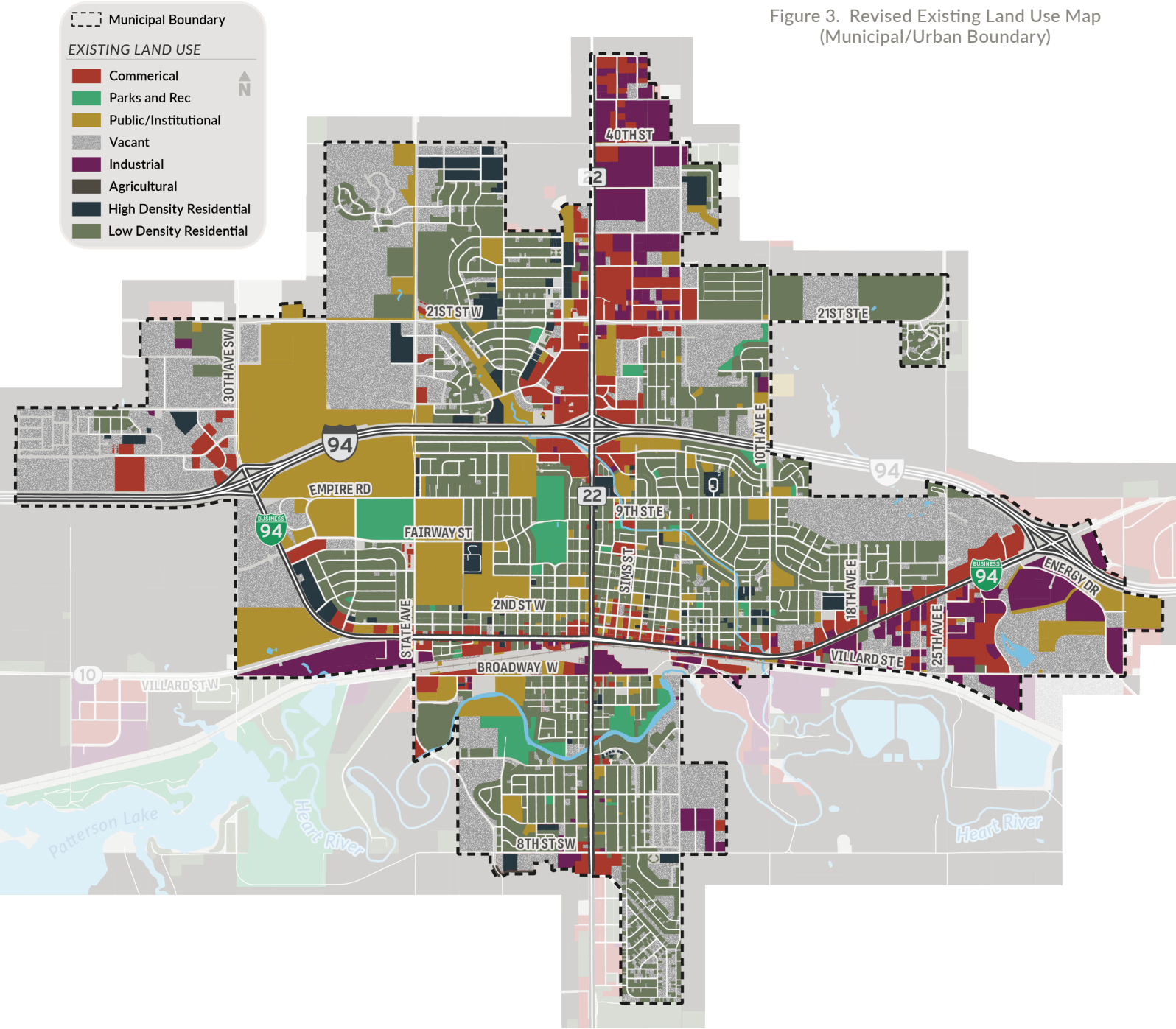
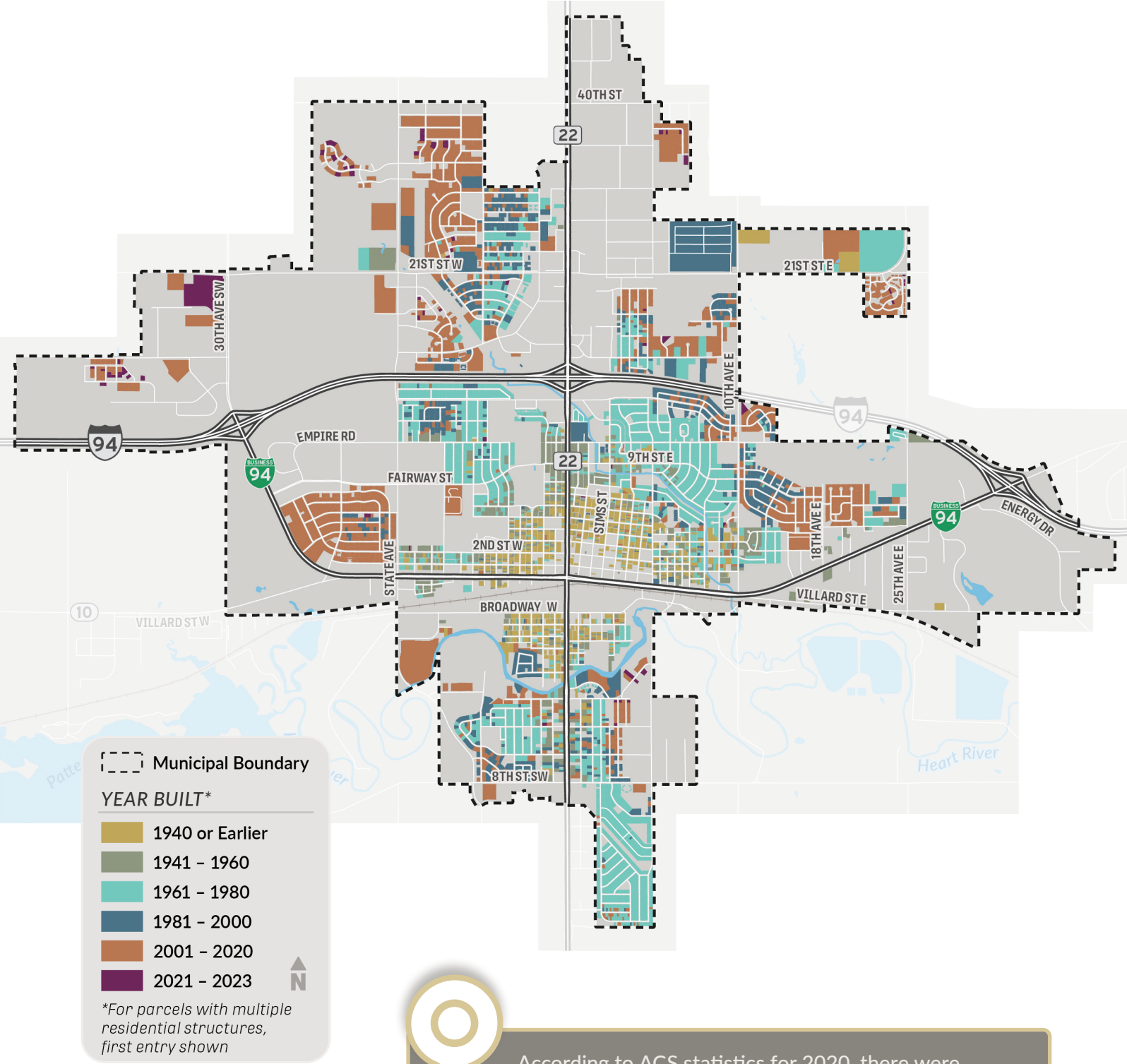


Figure 3 illustrates the proportion of each land use category within city limits. The content of this map facilitates development of a future land use plan map, which along with zoning, will provide guidance for future growth and development.

Figure 4. Residential Parcels by Year Built



According to ACS statistics for 2020, there were 10,544 occupied housing units in Dickinson, with 58% of Dickinson residents as homeowners. The average home value is \$250,600. For rental properties, monthly rent had an average of \$988.

Figure 5. Residential Parcels by Type

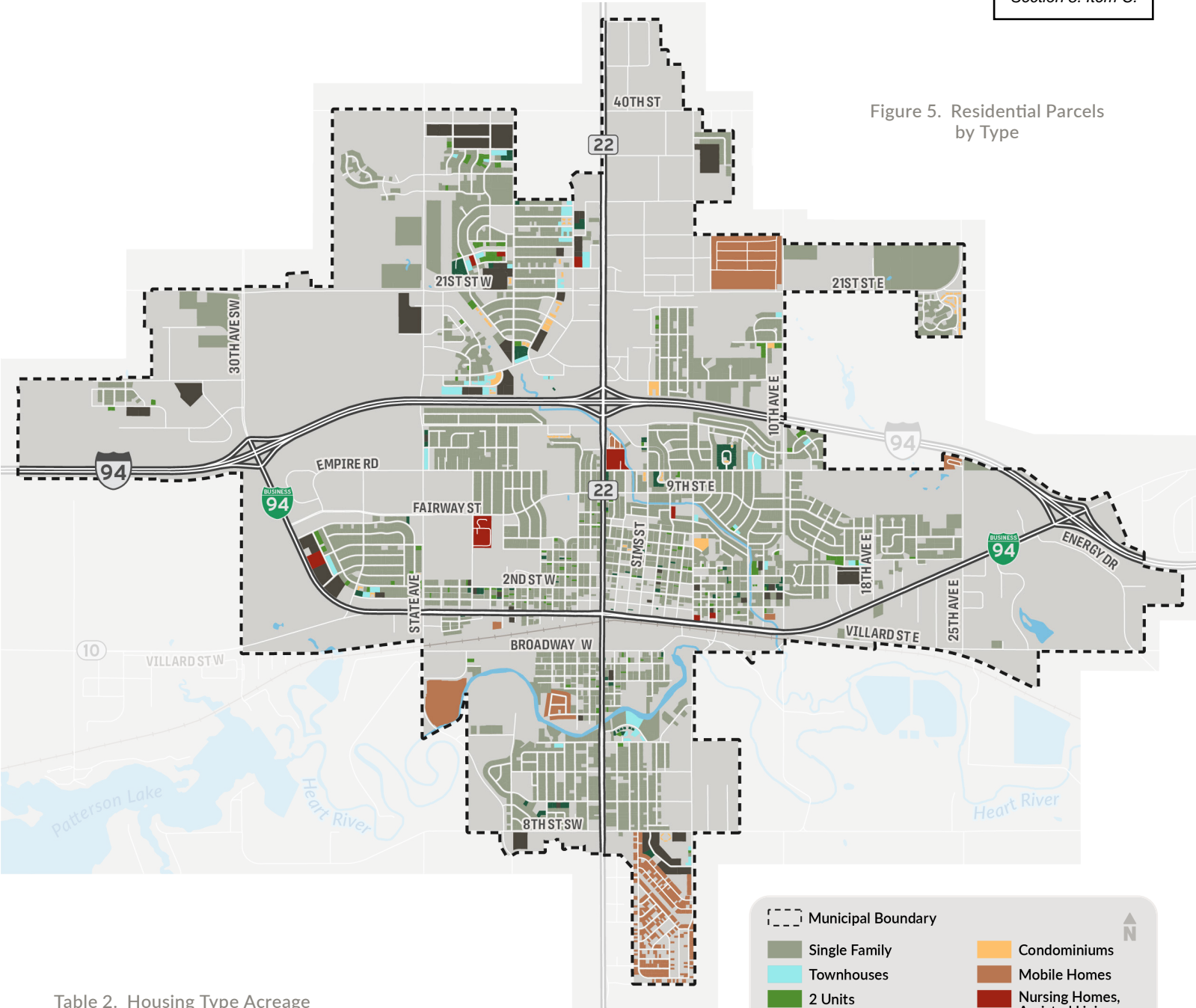


Table 2. Housing Type Acreage

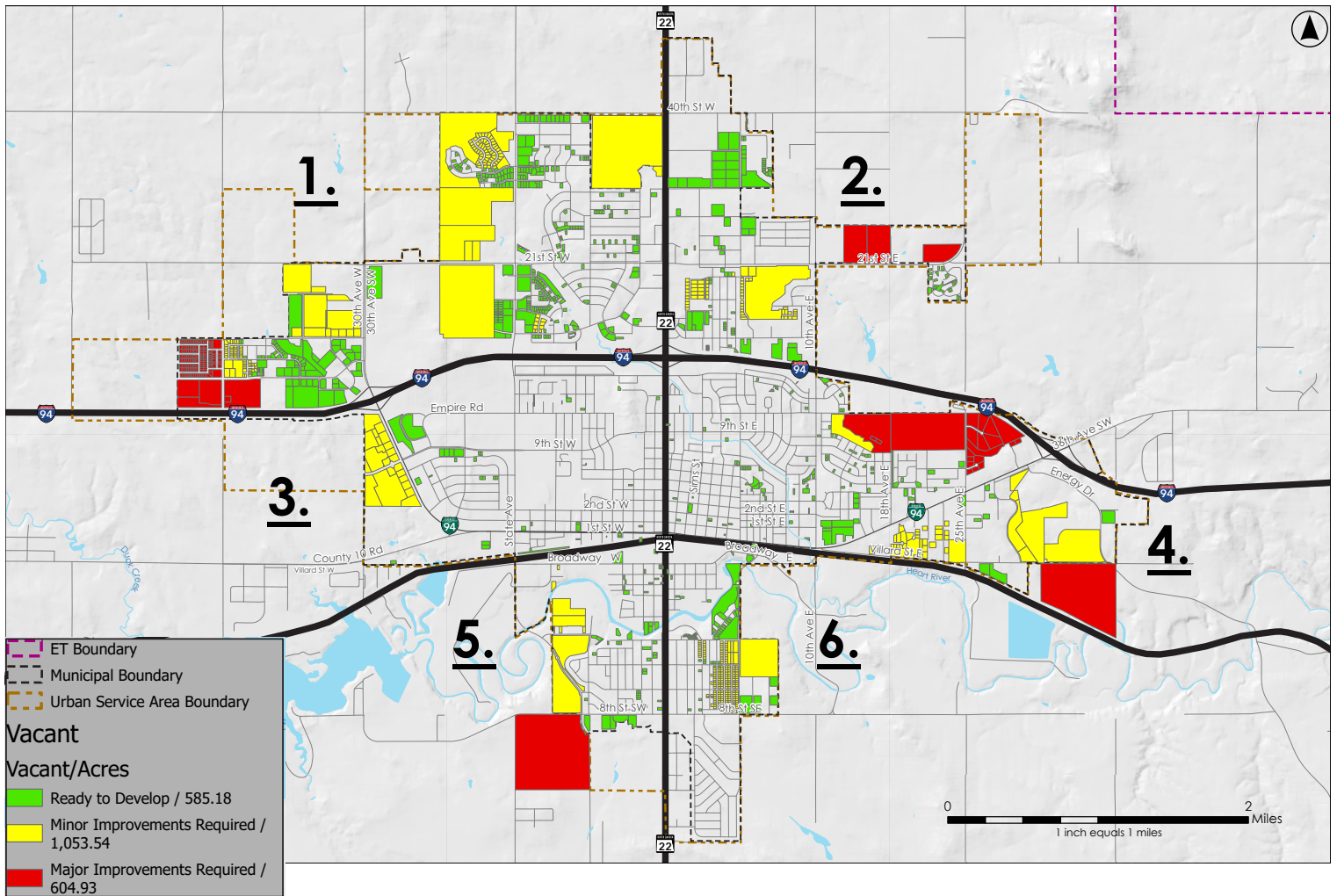
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Townhouses	41.6	Townhomes are one townhome per parcel.
2 Units	40.6	Duplexes, 2-unit conversions.
3-10 Unit Apartments	38.9	Some apartment sizes were estimated. Some apartments had number of units listed, these apartments were used to calculate an average unit per sq ft. This number was applied to apartments which had no units listed.
More than 10 Unit Apartments	163.6	
Condominiums	17.0	Condominiums are one condo per parcel, excludes common areas (yard).
Mobile Homes	178.7	Some mobile home parks had individual parcels while others did not.
Nursing Homes, etc.	28.3	Quasi-institutional in some cases.
Grand Total	2,126.1	

**Municipal Boundary**

- Single Family
- Condominiums
- Townhouses
- Mobile Homes
- 2 Units
- Nursing Homes, Assisted Living Apartments, Independent Living Apartments
- 3 - 10 Unit Apartments
- More than 10 Unit Apartments\*

*\*Some apartment sizes estimated based on building area size*

Figure 6. Vacant Land Availability



**Green:** In general, the property is shovel ready with minor improvements potentially required such as:

- Service lines for water and sewer
- Roadways are constructed

**Yellow:** Relatively minor improvements required with the following conditions:

- Less than ¼ mile from existing infrastructure

- Minor collector roadway improvements
- Water distribution and sewer collection system improvements
- No major adjacent infrastructure requires upgrades/improvements

**Red:** Relatively major improvements required with the following conditions:

- More than ¼ mile from existing infrastructure

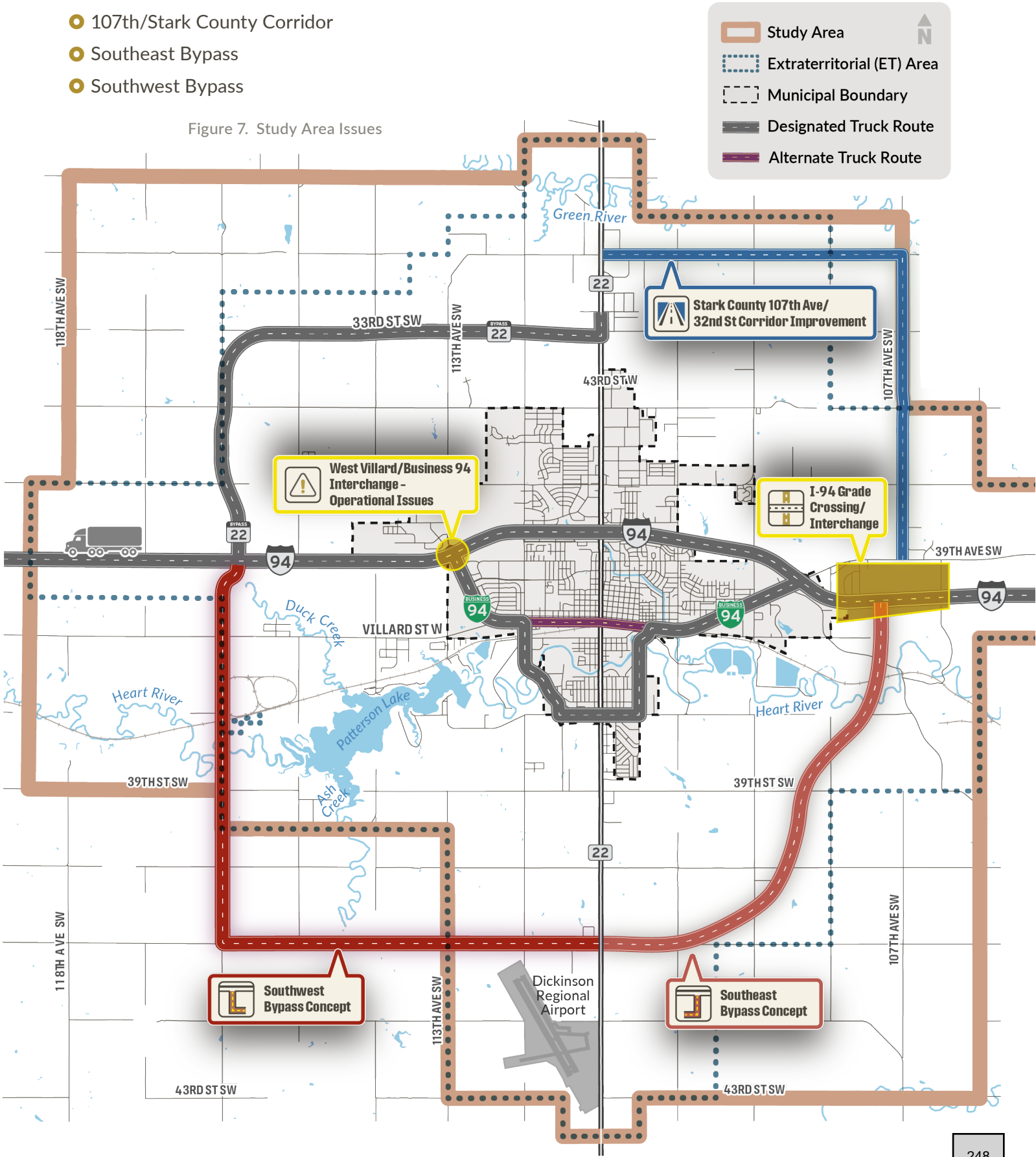
- Major collector roadway improvements
- Arterial roads roadway improvements
- Trunk sewers/trunk line water distribution mains required
- Major components/major upgrades to existing facilities required (lift stations/upsized or existing sewers/booster stations/water towers/upsized existing water lines)

A series of **regionally focused transportation issues** were developed as needing further evaluation as part of Direction 2050.

# Area-wide Issues & Needs

- 107th/Stark County Corridor
- Southeast Bypass
- Southwest Bypass

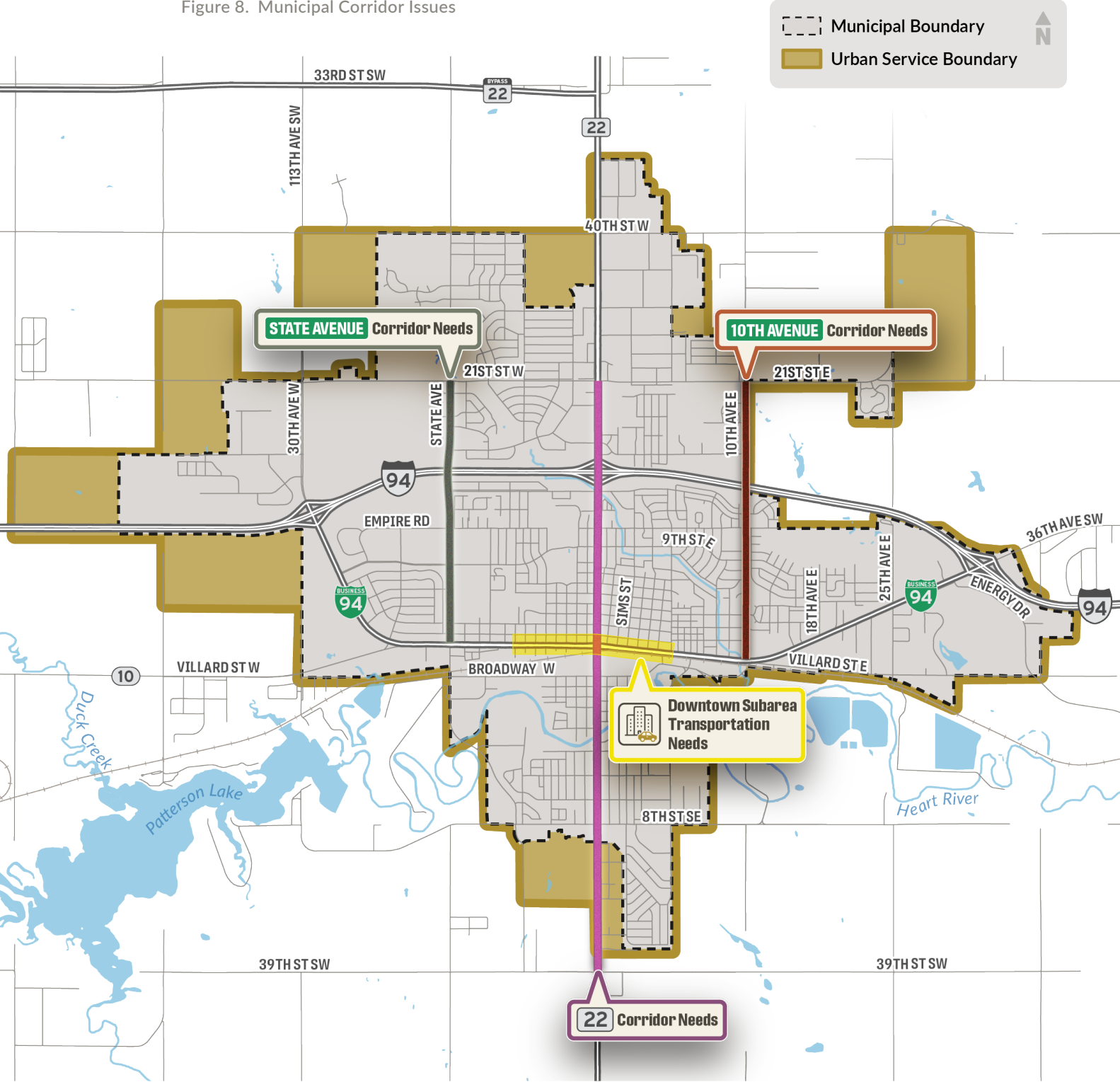
Figure 7. Study Area Issues



Additionally, the following areas were pinpointed for **corridor level analysis**:

- North South Mobility
- State Avenue
- 10th Avenue
- ND 22
- Downtown core
- West and East Villard (specifically through downtown core)

Figure 8. Municipal Corridor Issues



There are also priority areas for **neighborhood connectivity** issues such as implementing revised section standards, trail connectivity, more specific needs analysis adjacent to school areas, and neighborhood cohesiveness.





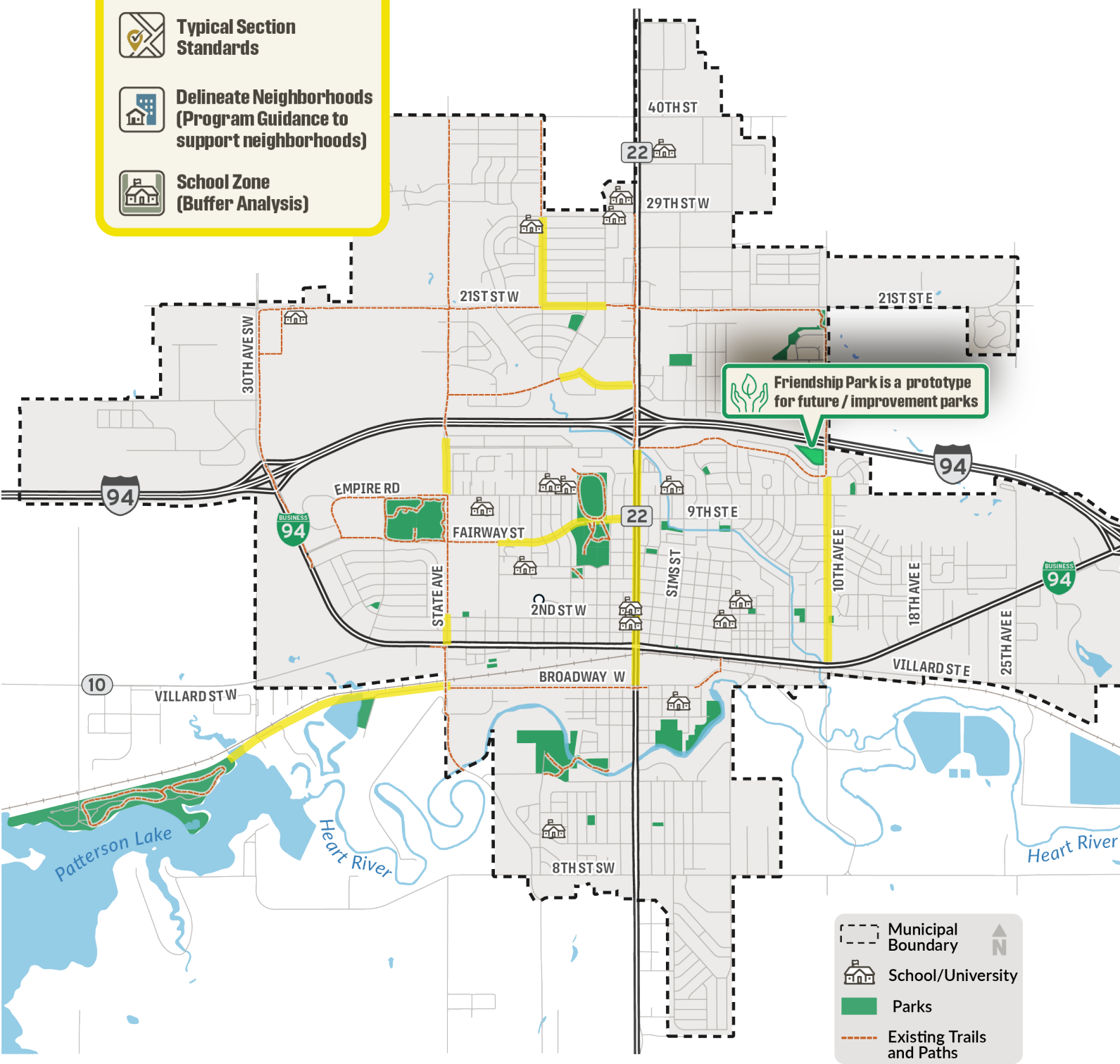




-  **Trail/Pedestrian System Gaps**
-  **Typical Section Standards**
-  **Delineate Neighborhoods (Program Guidance to support neighborhoods)**
-  **School Zone (Buffer Analysis)**

Figure 9. Neighborhood Connectivity



-  Municipal Boundary
-  School/University
-  Parks
-  Existing Trails and Paths

# Outreach during Phase 1 consisted of...

## In-person Meetings



### Stakeholder Roundtable Discussion: **What did we hear?**

- Schools continue to see steady growth and with that the need to **expand facilities** for youth activities.
- Infrastructure needs exist on the south side of the city. Considerations for a **south bypass** for trucking/cargo to provide connectivity from south side of city to the north side.
- Development continues, but at a slower rate than 10 years ago. Consider incentives or plans to **promote housing and business development** in areas previously platted.



### PMT/City Staff Roundtable Discussion: **What did we hear?**

- Traffic safety issues were discussed including **traffic flow** at intersections and schools, along with general morning/afternoon **congestion**. It was noted that many issues discussed are already being addressed in other projects.
- Limited **rail crossings** opportunities can create problems for traffic and emergency response.
- Need and desire for **multi-modal connectivity** throughout city.
- Downtown development, revitalization, incentives for developers. Creating a defined and attractive **downtown**.



### Public Input Meetings: **What did we hear?**

- Discussions surround **traffic safety**, particularly near schools for pedestrians crossing the street
- Trail, **bike/ped connectivity** issues.
- Need for efficient **north/south route**.
- Create more **neighborhoods** with various housing looks.
- Find ways to create the **sense of community** throughout Dickinson.
- Additional **overpass/underpass** considerations at railroad crossings.
- General discussions around **pavement conditions, intersections, traffic signals, traffic flow**.

**APRIL PRESENT**  
Project website  
1,420 views  
(as of 5/30/24)

**APRIL 18**  
PMT and City staff workshop  
15 people attended

**APRIL 24**  
Rotary Meeting  
approx. 7-25 people at each meeting of the 3 community meetings

**APRIL 25**  
Chamber Ambassadors Meeting

**MAY 1**  
3 Public Meetings  
35-40 people attended in total

**MAY 8**  
Chamber Professional Developmt. Meeting

Figure 10. Engagement Activities

**APRIL 18**  
Stakeholder meeting  
17 people attended

**APRIL 23**  
Social media advertising  
Reached 39,779 people in 2 campaigns

**APRIL 25**  
Newspaper advertising & press release  
Article featured in The Dickinson Press

**MAY 20**  
Social media advertising

## Virtual Engagement

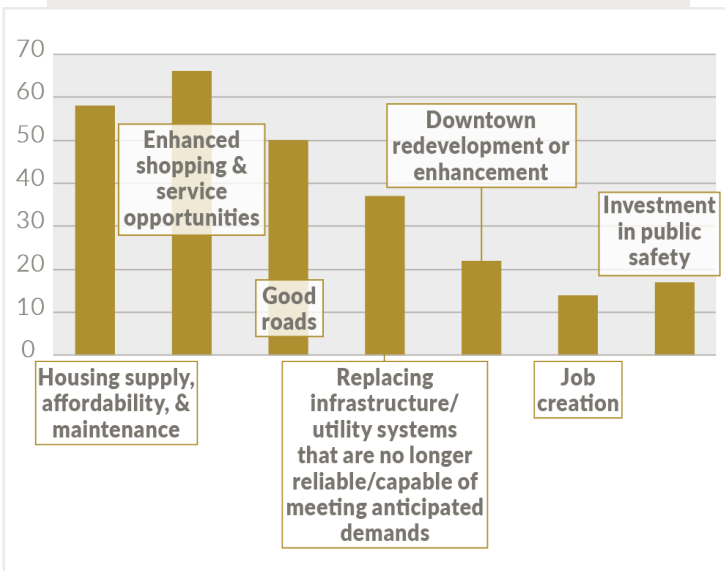
- 1,528 website views
- 328 contributions from the public

### Key findings

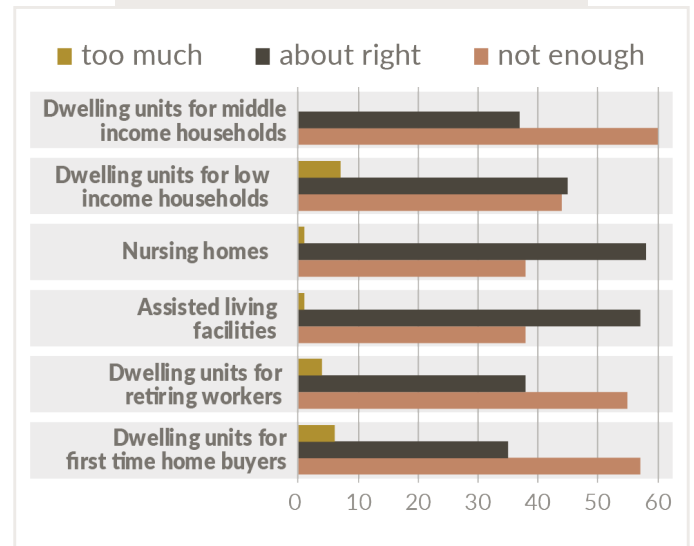


- Over 75% of survey respondents say some or major course correction is needed on the growth the city has experienced in the past 5-10 years
- A good mix of participation from the public with 47% of respondents having children in the home and 53% do not.

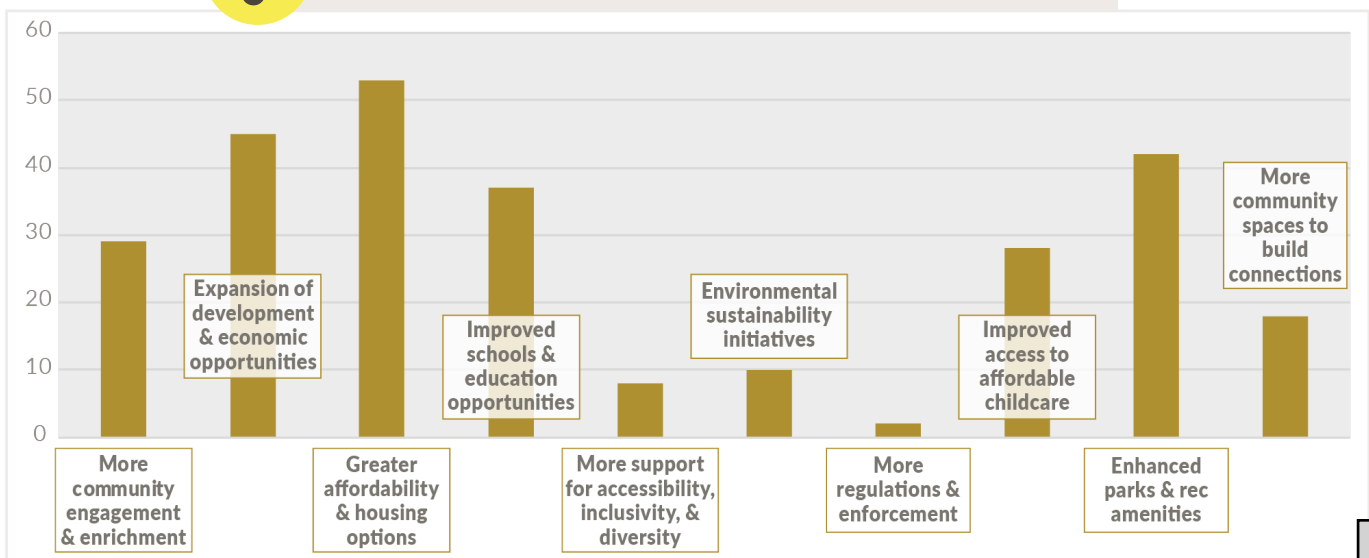
**?** What issues do you think need to be prioritized and received special attention during this planning process?



**?** Please rate the sufficiency of housing supply in Dickinson



**?** What do you think would make the greatest impact on the quality of life in Dickinson?



# Public issues mapping by topic area

Respondants submitted 190 comments on the Interactive Map. These comments were tabulated by category and the resulting percentages for each category are illustrated in the accompanying chart and geo-located in Figure 11.

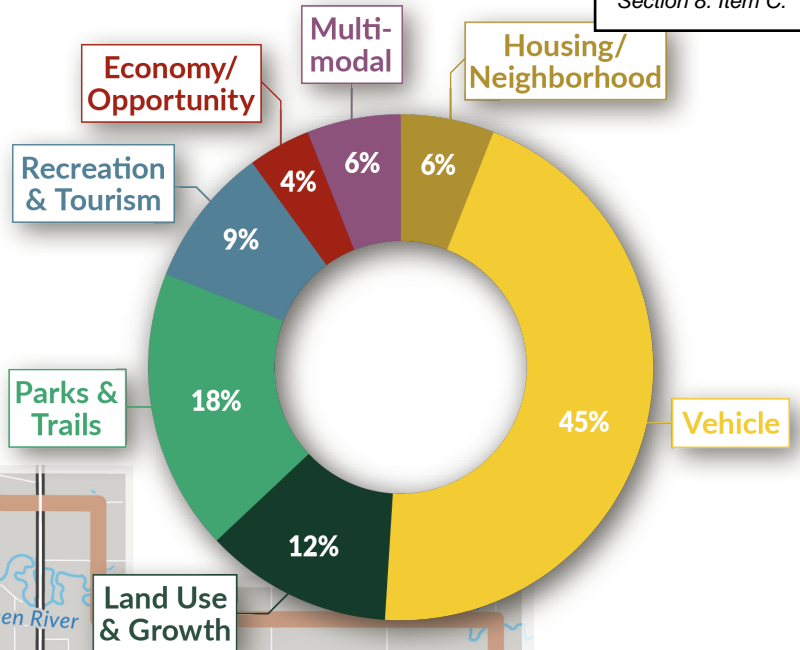


Figure 11. Interactive Map Comments

