



# Dallas Planning Commission

Thursday, June 01, 2023

6:00 PM

City Hall, 129 E Memorial Dr, Dallas GA 30132

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*Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of a meeting or the facilities, are required to promptly contact the City's ADA Coordinator at 770-443-8110 ext. 1604 or e-mail [rbruce@dallasga.gov](mailto:rbruce@dallasga.gov) to allow the city to make reasonable accommodations for those persons.*

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## AGENDA

### CALL TO ORDER

### MINUTES APPROVAL

- [1.](#) Minutes from the March 30th, 2023 meeting.

### RECOGNITION OF VISITORS

### REPORTS

### OLD BUSINESS

### NEW BUSINESS

- [2.](#) Application Z-2023-02

Zoning Application Z-2023-02 Blue River Development Acquisitions, LLC to rezone a portion of Land Lot(s) 205 & 206 in the 2nd District and 3rd Section of Paulding County, located at 250 Polk Avenue, Dallas, Georgia, from a zoning District of R-1 Residential to a Zoning District of R-2C Residential.

- [3.](#) Application Z-2023-03

Zoning Application Z-2023-03 City of Dallas and Helping Hands of Paulding County, Inc., to rezone a portion of Land Lot(s) 281 in the 2nd District and 3rd Section of Paulding County, located at Dallas Industrial Drive and George T. Bagby Drive, Dallas, Georgia, from a Zoning District of H-1 Heavy Industrial to a Zoning District of G General Industrial.

- [4.](#) DEV-2023-01

Cadillac Parkway Self-Storage Facility Development Approval

### ADJOURNMENT



# Dallas Planning Commission

Thursday, March 30, 2023

6:00 PM

City Hall, 129 E Memorial Dr, Dallas GA 30132

## MINUTES

### CALL TO ORDER

### MINUTES APPROVAL

1. Motion to adopt the minutes from the April 29th, 2022 meeting.

Motion made by Holt, Seconded by Johnson.  
 Voting Yea: Holt, Johnson, Ewing, Ayers, Nesbit

### RECOGNITION OF VISITORS

Sunshine Coult

### REPORTS

None

### OLD BUSINESS

None

### NEW BUSINESS

2. Zoning Application Z-2023-01, Special Use Permit- West Dallas LLC

Public hearing was held for Zoning Application Z-2023-01, Special Use Permit - West Dallas LLC (Applicant) and Harbin Engineering (Representative) have applied for a special use permit for all or portions of Land Lots 208, 209, 224, 225, 226, 279, and 280 in the 2nd District, 3rd Section of Paulding County, located at West Paulding Industrial Parkway, Dallas, GA 30132.

David Henry, G. Curtis Reynolds, and Brian Stover spoke in favor of the application. No one spoke in opposition.

Motion to approve Zoning Application Z-2023-01 with the following conditions.

1. Install flock camera at entrance to complex.
2. Add 50ft undisturbed buffer adjacent to all residential properties.
3. Shall comply with GRTA recommendations.



4. Add fire hydrant located with 500' hoselay to proposed building.

Motion made by Johnson, Seconded by Ayers.  
Voting Yea: Holt, Johnson, Ewing, Ayers, Nesbit

3. Public hearing was held for proposed Chapter 44 zoning amendments as presented.

Chapter 44 - Zoning Article III. District Regulation Division 1. Generally - Section 44-117, Division 2. Residential Districts - Section 44-138 & 44-139, Division 4. New Town Overlay District - Section 44-207, Division 5. Corridor Overlay District - Section 44-222, Article IV. Supplemental Regulations - Section 44-241(A)(2) & 44-241(A)(3).

4. Motion to approve city staff to initiate rezoning of the new location for Helping Hands from H-1 Heavy Industrial District to G- General Industrial District.

Motion made by Ayers, Seconded by Nesbit.  
Voting Yea: Holt, Johnson, Ewing, Ayers, Nesbit

5. Motion to approve David Holt as Chairman, Terry Johnson as Vice Chairman, and Ryan Ayers as Secretary.

Motion made by Ayers, Seconded by Ewing.  
Voting Yea: Holt, Johnson, Ewing, Ayers, Nesbit

**ADJOURNMENT**

Motion to adjourn.

Motion made by Ayers, Seconded by Ewing.  
Voting Yea: Holt, Johnson, Ewing, Ayers, Nesbit

\_\_\_\_\_  
**Board Secretary**

\_\_\_\_\_  
**Date**



# City of Dallas

## Planning & Zoning Commission

June 1, 2023

6:00PM

DALLAS CITY HALL

129 E. Memorial Dr

Dallas, GA 30132

# **Z-2023-02**

**Z-2023-02**

**STAFF COMMENTS:**

The applicant (Blue River Development Acquisitions, LLC) is proposing to rezone 9.23 acres from R-1 to R-2C. The property is located at 250 Polk Avenue.

Properties that border the site to the North, East, South, and West are currently inside City limits.

**A. Existing land use and zoning classification of nearby property:**

**ADJACENT ZONING**

**ADJACENT DEVELOPMENT**

**NORTH:** Dallas R-1

**NORTH:** Undeveloped

**EAST:** Dallas R-1

**EAST:** Residential, single family

**SOUTH:** Dallas R-1

**SOUTH:** Residential, single family

**EAST:** Dallas R-2

**EAST:** Residential, single family

**B. Permitted Use impact on adjacent properties.**

*All surrounding properties are single family residential.*

**C. Adverse effect on the usability of adjacent or nearby property?**

*None*

**D. Proposal cause excessive or burdensome use of streets, transportation facilities, utilities, schools**

*Increased traffic on City streets. May increase student population of nearby schools.*

**E. Supported by current conditions**

*Water and Sewer are available.*

**F. 2022 Comp Plan**

*Matches the 2022 Comp Plan Future Land use map as Residential.*

**DEPARTMENT COMMENTS:**

Administration:

None.

Business Development:

None received.

Community Development:

Development plan conforms with new R-2C zoning district requirements.

Police:

None received.

Public Works:

- 1- Public water and sewer are available and supplied by the City of Dallas
- 2- Off-site sewer infrastructure is required; Owner/developer is responsible for connection to existing gravity sewer located in West Wood Development.
- 3- West Dallas Special Utility District: Owner/developer is responsible for a \$1,843.00 per lot utility fee payment required at time of final plat approval. This fee is in addition to the standard water and sewer tap fees imposed on each lot.
- 4- Zoning Plan shall be constructed in general conformity to the site plan provided in zoning application. Staff having the ability to grant up to 5% modification to the lots and plan.
- 5- Buffer requirement of 20-foot planted or natural (where possible) buffer shall be included around the entire site perimeter.
- 6- Owner/developer is responsible: Providing a professionally landscaped entrance.
- 7- Owner/developer is responsible: Required Polk Ave. roadway and development entrance improvements, per city's development regulations.
- 8- Owner/ developer is responsible: Flock camera to be install at development entrance compatible with the City of Dallas Police Department system.
- 9- H.O.A mandatory with mandatory membership.
- 10- The architectural style, composition and design of the proposed single-family homes shall be constructed consistent with blended building material that may include the application of stone, brick, hardi-plank, shake, and board and batten. No vinyl materials shall be used on the exterior of the proposed homes. Owner/ developer shall supply for City of Dallas approval,

detailed architectural elevation design plans for front, left side, right side, and rear of homes for each home to be constructed.

Recreation:  
None.

**Based on the preceding analysis, staff recommends approval with the following stipulations:**

1. Off-site sewer infrastructure is required. Owner/developer is responsible for connection to existing gravity sewer located in West Wood Development.
2. West Dallas Special Utility District: Owner/developer is responsible for a \$1,843.00 per lot utility fee payment required at time of final plat approval. This fee is in addition to the standard water and sewer tap fees imposed on each lot.
3. Development shall be constructed in general conformity to the site plan provided in zoning application. Staff having the ability to grant up to 5% modification to the lots and plan.
4. Buffer requirement of 20-foot planted or natural (where possible) buffer shall be included around the entire site perimeter.
5. Owner/developer is responsible for providing a professionally landscaped entrance.
6. Owner/developer is responsible for providing required Polk Avenue roadway and development entrance improvements, per City's development regulations.
7. Owner/developer is responsible for providing and installing Flock camera at development entrance compatible with the City of Dallas Police Department system.
8. Home Owners Association with mandatory membership required.
9. Owner/developer shall supply for City of Dallas approval, detailed architectural elevation design plans for front, left side, right side, and rear of homes for each home to be constructed. No vinyl materials shall be used on the exterior of the proposed homes.

**Unless explicitly stated herein, all other lot development standards shall comply with the R-2C zoning district as written in the City of Dallas Code of Ordinances.**

*The findings made herein are the opinions of the City of Dallas, Ga Development staff and do not constitute a final decision. The City of Dallas, Ga Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications.*

## **City of Dallas, Ga Planning and Zoning Commission Decision**

Application # **Z-2023-02**

The City of Dallas, Ga Planning and Zoning Commission **APPROVES / DENIES** application # **Z-2023-02** on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 with city recommended stipulations as referenced below.

1. Off-site sewer infrastructure is required. Owner/developer is responsible for connection to existing gravity sewer located in West Wood Development.
2. West Dallas Special Utility District: Owner/developer is responsible for a \$1,843.00 per lot utility fee payment required at time of final plat approval. This fee is in addition to the standard water and sewer tap fees imposed on each lot.
3. Development shall be constructed in general conformity to the site plan provided in zoning application. Staff having the ability to grant up to 5% modification to the lots and plan.
4. Buffer requirement of 20-foot planted or natural (where possible) buffer shall be included around the entire site perimeter.
5. Owner/developer is responsible for providing a professionally landscaped entrance.
6. Owner/developer is responsible for providing required Polk Avenue roadway and development entrance improvements, per City's development regulations.
7. Owner/developer is responsible for providing and installing Flock camera at development entrance compatible with the City of Dallas Police Department system.
8. Home Owners Association with mandatory membership required.
9. Owner/developer shall supply for City of Dallas approval, detailed architectural elevation design plans for front, left side, right side, and rear of homes for each home to be constructed. No vinyl materials shall be used on the exterior of the proposed homes.

10. .

11. .

12. .

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Planning and Zoning Commissioner

**Unless explicitly stated herein, all other lot development standards shall comply with the R-2C zoning district as written in the City of Dallas Code of Ordinances.**

*The decision regarding this application made herein is the decision of the City of Dallas, Ga Planning and Zoning Commission and do not constitute a final decision. The City of Dallas, Ga Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications.*



## **City of Dallas, Ga Mayor and Council Final Application Decision**

Application # Z-2023-02

The City of Dallas, GA Mayor and Council **APPROVES / DENIES** application # Z-2023-02 on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 with city recommended stipulations as referenced below.

1. Off-site sewer infrastructure is required. Owner/developer is responsible for connection to existing gravity sewer located in West Wood Development.
2. West Dallas Special Utility District: Owner/developer is responsible for a \$1,843.00 per lot utility fee payment required at time of final plat approval. This fee is in addition to the standard water and sewer tap fees imposed on each lot.
3. Development shall be constructed in general conformity to the site plan provided in zoning application. Staff having the ability to grant up to 5% modification to the lots and plan.
4. Buffer requirement of 20-foot planted or natural (where possible) buffer shall be included around the entire site perimeter.
5. Owner/developer is responsible for providing a professionally landscaped entrance.
6. Owner/developer is responsible for providing required Polk Avenue roadway and development entrance improvements, per City's development regulations.
7. Owner/developer is responsible for providing and installing Flock camera at development entrance compatible with the City of Dallas Police Department system.
8. Home Owners Association with mandatory membership required.
9. Owner/developer shall supply for City of Dallas approval, detailed architectural elevation design plans for front, left side, right side, and rear of homes for each home to be constructed. No vinyl materials shall be used on the exterior of the proposed homes.

10. .

11. .

12. .

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**Unless explicitly stated herein, all other lot development standards shall comply with the R-2C zoning district as written in the City of Dallas Code of Ordinances.**

*The decision regarding this application made herein is the decision of the City of Dallas, Ga Mayor and Councils **final decision**. The City of Dallas Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications. The above parties agree to decision and stipulations if applicable. Upon final annexation recording, recorded documents will be added to this packet.*



**ZONING / REZONING APPLICATION**  
City of Dallas, Georgia

Application # \_\_\_\_\_ - \_\_\_\_\_  
Hearing Dates: PC: \_\_\_\_\_ CC: \_\_\_\_\_

DATE FILED  
TIME OF DAY

Item 2.

(PLEASE PRINT OR TYPE ALL INFORMATION)

**Applicant:** Blue River Development Acquisitions, LLC Business phone: 678-618-2695 Cell: 678-618-2695

Address: 3810 Windermere Parkway, Suite 504 Home phone: N/A

City: Cumming State: GA Zip: 30041 Fax phone: N/A

E-mail address: bcooper@blueriverdevelopment.com

Applicant's Signature

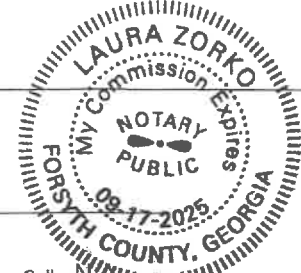
Brad Cooper

Printed Name of Signatory

Signed, sealed and delivered in the presence of:

[Signature]  
Notary Public

9-17-25  
Date Notary Commission Expires



**Representative:** Bloom Parham, LLP Phone: 404-577-7710 Cell: N/A

Address: 977 Ponce de Leon Ave., NE City: Atlanta State: GA Zip: 30306

E-mail address: apearson@bloom-law.com Fax phone: 404-577-7715

Representative's Signature

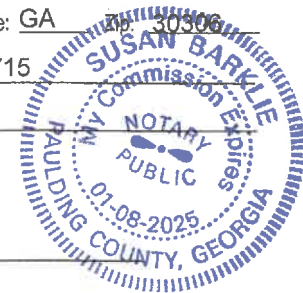
Andrea Pearson

Printed Name of Signatory

Signed, sealed and delivered in the presence of:

[Signature]  
Notary Public

01-08-2025  
Date Notary Commission Expires



**Titleholder:** Sharon B. Daniels f/k/a Sharron Bullock Business phone: N/A Home phone: N/A

(Each Titleholder must have a separate, complete form with notarized signatures)

Address: 225 Hart Circle City: Dallas State: GA Zip: 30132

Signature

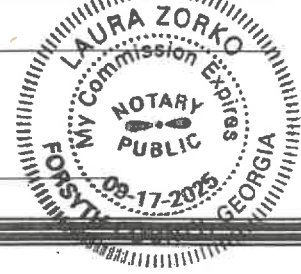
Sharon B. Daniels

Printed Name of Signatory

Signed, sealed and delivered in the presence of:

[Signature]  
Notary Public

9-17-25  
Date Notary Commission Expires



**Property Information**

Present Zoning Classification: R-1 Requested Zoning Classification: R-2C

Total Acreage of Zoning/Rezoning Application: 9.23 Acreage of Titleholder: 9.23

Land Lot(s): 205 & 206 District(s): 2 Section(s): 3 Tax Parcel I.D. Number(s): 116.4.1.070.0000

Location of Property: 250 Polk Ave., Dallas, GA 30132  
Physical address, if available, and nearest intersections (i.e. east/west side of given road, and north/south of given road)

Detailed description of proposed development (including maximum number of lots, if residential, or number of units):  
Single Family Detached Residential, 2.92 UPA, 27 Units

Filed with City: \_\_\_\_\_ (Date) \_\_\_\_\_ (Signature)

City of Dallas Planning Commission Recommendation:  Approve  Disapprove  No recommendation

Conditions, reasons, stipulations: \_\_\_\_\_

City Council Decision:  Approve  Approve as different classification  Disapprove

Conditions, reasons, stipulations: \_\_\_\_\_

For City Use



# CITY OF DALLAS ZONING/ REZONING REQUEST DISPOSITION FORM

A PUBLIC HEARING WAS HELD ON AN APPLICATION FOR ZONING/REZONING REQUESTED BY \_\_\_\_\_ AT THE DALLAS COUNCIL ROOM. SAID HEARING WAS HELD ON \_\_\_\_\_.

THE CITY OF DALLAS PLANNING COMMISSION RECOMMENDS TO THE DALLAS CITY COUNCIL THAT THE ABOVE APPLICATION BE:

- APPROVED
- DISAPPROVED

PLEASE INDICATE BELOW ANY COMMENTS, REASONS FOR DISAPPROVAL, OPPOSITION TO THE REQUEST AND/OR ANY CONDITIONS THAT SHOULD BE MADE A PART OF THE ZONING AMENDMENT.

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\_\_\_\_\_  
DATE

\_\_\_\_\_  
SECRETARY TO THE PLANNING  
COMMISSION

\_\_\_\_\_  
PRINTED NAME

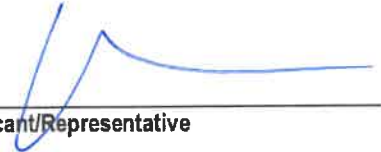


### Applicant / Representative Attendance Required

**Applicant or representative must be present at the public hearings before the Dallas Planning Commission and the Mayor and City Council. Failure to attend may result in dismissal with prejudice, rejection of the application, or continuance of the hearing at the Commission or Council's sole discretion.**

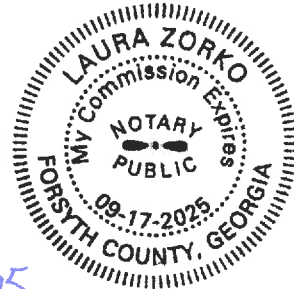
~~+/ We~~ (Cross Out One) have investigated the site as to the existence of archeological and/or architectural landmarks.  
~~+/ We~~ (Cross Out One) hereby certify there ~~are~~ / are not (Cross Out One) any such assets. If any exist, documentation must be provided with the application.

~~+/ We~~ (Cross Out One) have investigated the site as to the existence of any cemetery located on the property. ~~+/ We~~ (Cross Out One) hereby certify there ~~is~~ / is not (Cross Out One) such a cemetery. If any exist, documentation must be provided with the application, including notice to the Paulding County Cemetery Commission.

  
Signature of Applicant/Representative

4/27/23  
Date

Brad Cooper  
Printed Name of Applicant/Representative



Signed, sealed and delivered in the presence of:

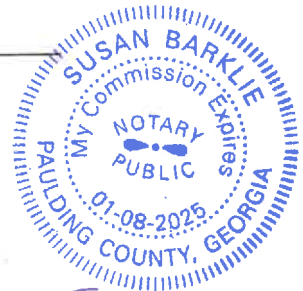
  
Notary Public Signature

9-17-25  
Commission Expiration

  
Signature of Applicant/Representative

4/27/23  
Date

Andrea Pearson  
Printed Name of Applicant/Representative



Signed, sealed and delivered in the presence of:

  
Notary Public Signature

01-08-2025  
Commission Expiration

# Disclosure Statement (Required by O.C.G.A. 36-67A)



I (we), Bloom Parham, LLP, do hereby certify that, to the best of my (our) knowledge, no elected official of the City of Dallas, Georgia has a property interest, a financial interest nor does any family member of an elected official of the City of Dallas, Georgia have a property interest or financial interest in this property or in this application for rezoning except as follows:

N/A

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I (we), Bloom Parham, LLP, do further certify that we, nor the property owner, have not contributed any monies and/or gifts totaling over \$250.00 within the last two years to any elected official of the City of Dallas, Georgia except for the following (Give the names of officials, dates and amounts of contribution):

N/A

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4/27/23  
Date

Audrey Pearson  
Applicant Representative

# Disclosure Statement

(Required by O.C.G.A. 36-67A)



I (we), Brad Cooper, Blue River Development Acquisitions, LLC, do hereby certify that, to the best of my (our) knowledge, no elected official of the City of Dallas, Georgia has a property interest, a financial interest nor does any family member of an elected official of the City of Dallas, Georgia have a property interest or financial interest in this property or in this application for rezoning except as follows:

N/A

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I (we), Brad Cooper, Blue River Development Acquisitions, LLC, do further certify that we, nor the property owner, have not contributed any monies and/or gifts totaling over \$250.00 within the last two years to any elected official of the City of Dallas, Georgia except for the following (Give the names of officials, dates and amounts of contribution):

N/A

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5/1/2023  
Date

  
Applicant



# Disclosure Statement (Required by O.C.G.A. 36-67A)



I (we), Sharon B. Daniels f/k/a Sharron Bullock, do hereby certify that, to the best of my (our) knowledge, no elected official of the City of Dallas, Georgia has a property interest, a financial interest nor does any family member of an elected official of the City of Dallas, Georgia have a property interest or financial interest in this property or in this application for rezoning except as follows:

N/A

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I (we), Sharon B. Daniels f/k/a Sharron Bullock, do further certify that we, nor the property owner, have not contributed any monies and/or gifts totaling over \$250.00 within the last two years to any elected official of the City of Dallas, Georgia except for the following (Give the names of officials, dates and amounts of contribution):

N/A

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5/1/2023  
Date

  
Applicant



**CITY OF DALLAS  
LEGAL NOTICE  
ZONING / REZONING**



I / ~~WE~~ (Choose one), Blue River Development Acquisitions, LLC  
HAVE APPLIED TO ZONE/REZONE A PORTION OF LAND LOT(S) 205 & 206  
IN THE 2 DISTRICT AND 3 SECTION OF PAULDING COUNTY, LOCATED  
AT 250 Polk Ave., Dallas, GA 30132 WITHIN THE CITY OF DALLAS, GEORGIA,  
FROM A ZONING DISTRICT OF R-1 TO A ZONING DISTRICT OF  
R-2C SUBJECT TO PUBLIC HEARING TO BE HELD AT  
7:00 PM AT THE DALLAS CITY COUNCIL ROOM, 129 EAST MEMORIAL DRIVE, DALLAS, GEORGIA.

SAID PUBLIC HEARING WILL BE HELD ON June 1, 2023 BEFORE THE  
CITY OF DALLAS PLANNING COMMISSION AND ON June 5, 2023 BEFORE THE  
MAYOR AND COUNCIL OF THE CITY OF DALLAS.

THIS, THE 1<sup>st</sup> DAY OF May, 2023.

Blue River Development Acquisitions, LLC  
APPLICANT(S) NAME

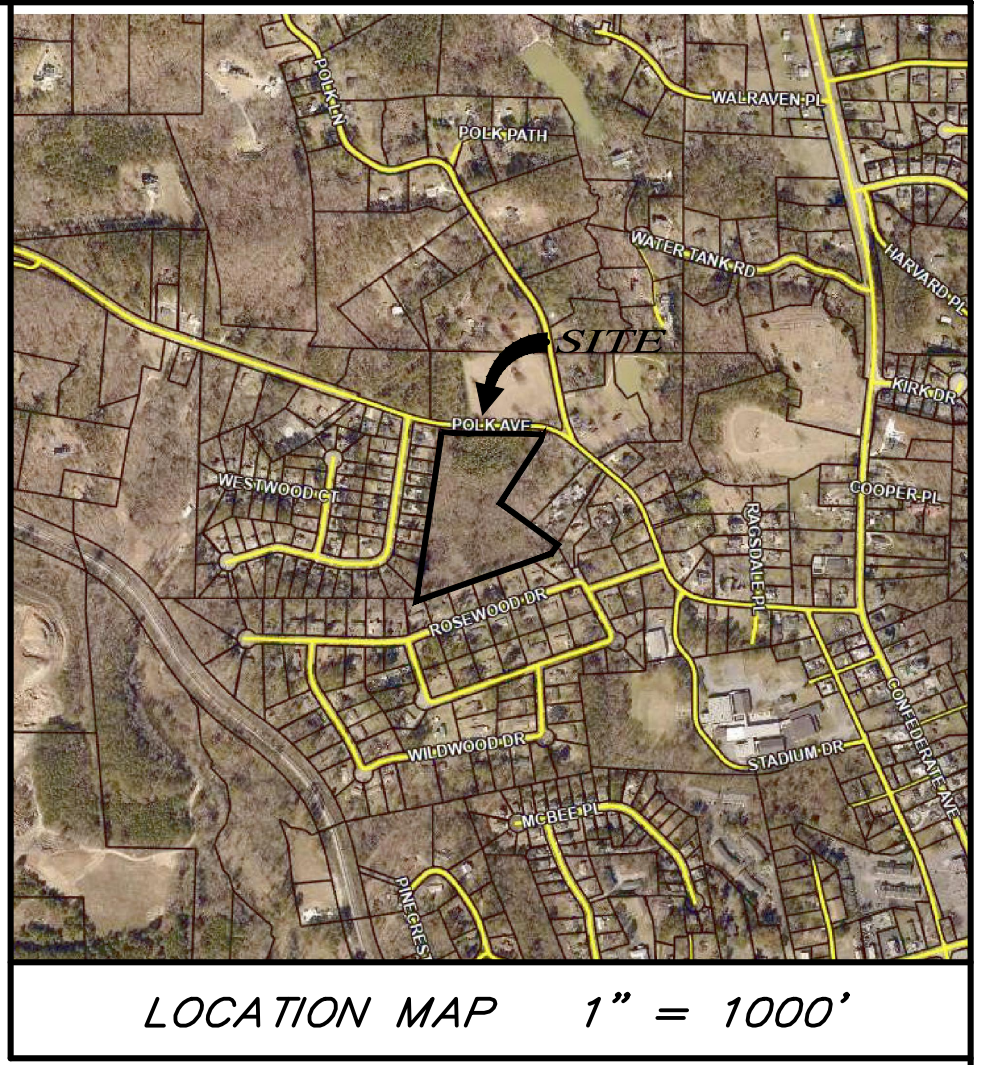
For City Use

NOTICE WILL RUN WEEKS OF: \_\_\_\_\_  
AND THE WEEK OF: \_\_\_\_\_  
AND THE WEEK OF: \_\_\_\_\_





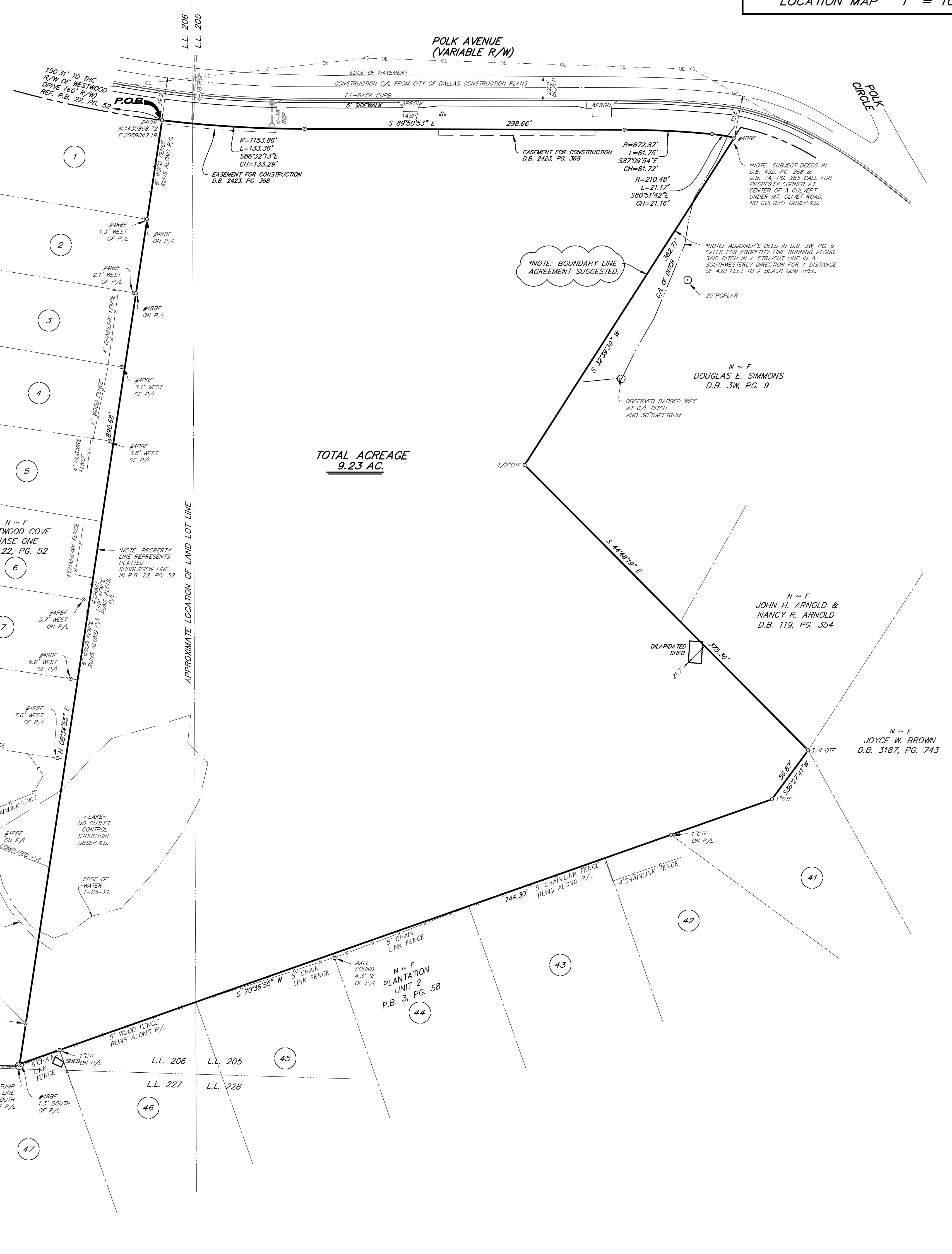




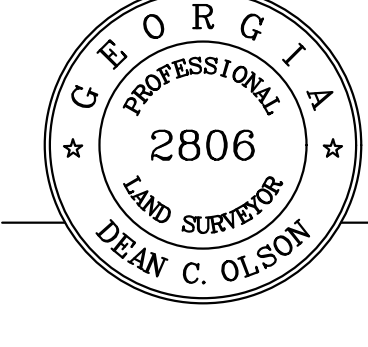
CLERK OF THE SUPERIOR COURT  
RECORDING INFORMATION

**LEGEND**

⊠	P.P. - POWER POLE
⊠	L.P. - LIGHT POLE
⊠	F.H. - FIRE HYDRANT
⊠	M.H. - SANITARY SEWER MANHOLE
⊠	W.M. - WATER METER
⊠	G.M. - GAS METER
⊠	R.B.S. - REINFORCING BAR SET
⊠	R.B.F. - REINFORCING BAR FOUND
⊠	C.T.F. - CRIMP TOP PIPE FOUND
⊠	O.T.F. - OPEN TOP PIPE FOUND
⊠	R/W MON. - RIGHT-OF-WAY MONUMENT
⊠	X - TYPE OF FENCE
⊠	J.B. - JUNCTION BOX
⊠	D.I. - DROP INLET / YARD INLET
⊠	C.B. - CATCH BASIN
⊠	R.C.P. - REINFORCED CONCRETE PIPE
⊠	C.M.P. - CORRUGATED METAL PIPE
⊠	F.F.E. - FINISHED FLOOR ELEVATION
⊠	WATER VALVE
⊠	C.O. - SEWER CLEAN OUT
⊠	TELEPHONE MANHOLE
⊠	OVERHEAD POWER LINES
⊠	HW - HEADWALL
⊠	P.B.X. - POWERBOX
⊠	STREET ADDRESS
⊠	W - WATER LINE
⊠	T - UNDERGROUND TELEPHONE LINE
⊠	G - GAS LINE
⊠	E - UNDERGROUND ELECTRICAL LINE



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



**Dean C. Olson** 10-24-22  
 DEAN C. OLSON, RLS  
 GA RLS NO. 2806  
 email: dolsan@gsurvey.com

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 130372 MAP NUMBER # 13223 C 0136 D DATED JUNE 7, 2019

THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE: 1/18,680. ANGULAR ERROR: 2" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/589,414. MATTERS OF TITLE ARE EXCEPTED. THE 95% CONFIDENCE LEVEL.

GPS NOTES:  
 1.) HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88.  
 2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 5800 GPS RECEIVER WITH A TRIMBLE TSC2 DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A CELL PHONE FROM THE EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

CURRENT OWNER:  
 SHARON B. DANIELS  
 D.B. 492, PG. 288  
 D.B. 7A, PG. 285  
 D.B. 791, PG. 207  
 P.B. 20, PG. 6  
 (TRACT TWO)

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

DRAWN BY: MAN  
 CHECKED BY: DCO  
 FILE: POLK AVE BND  
 FIELD DATE: 1-28-21  
 OFFICE DATE: 2-1-21  
 SCALE: 1"=50'

REVISIONS  
 #1: OFFICE DATE 10-24-22  
 NO FIELD WORK: ADD  
 VICINITY MAP TO SURVEY.

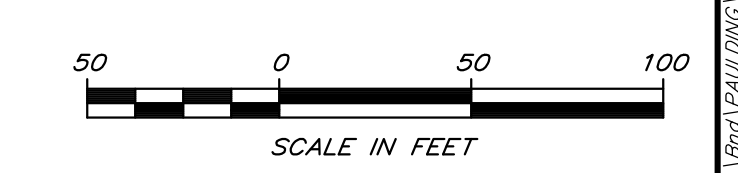
**Gaskins**  
 ENGINEERING • SURVEYING • PLANNING • CONSULTING • CONSTRUCTION MGMT

Marioneta Office  
 1266 Powder Springs Rd  
 Marietta, GA 30064  
 Phone: (770) 424-1168

Lawrenceville Office  
 558 Old Norcross Rd. Ste. 204  
 Lawrenceville, GA 30046  
 Phone: (770) 299-1003

Canton Office  
 147 Reinhardt College Pkwy  
 Ste. 3 Canton, GA 30114  
 Phone: (770) 476-9698

Newnan Office  
 4046 Ga. Hwy. 154, Ste. 109  
 Newnan, GA 30265  
 Phone: (770) 423-7168



BOUNDARY RETRACEMENT SURVEY FOR:  
**BLUE RIVER DEVELOPMENT**  
 "250 POLK AVENUE"  
 LOCATED IN L.L. 205 & 206  
 2nd DISTRICT, 3rd SECTION  
 CITY OF DALLAS  
 PAULDING COUNTY, GA.



**LEGAL DESCRIPTION**

**PROPERTY LINE DESCRIPTION FOR 250 POLK AVENUE**

**ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 205 & 206 OF THE 2ND DISTRICT, 3RD SECTION, PAULDING COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**BEGINNING AT A #4 REBAR FOUND ON THE SOUTHERLY RIGHT OF WAY LINE OF POLK AVENUE (VARIABLE R/W) HAVING GEORGIA STATE PLAIN COORDINATES OF (NAD83, GEORGIA WEST ZONE) N.1430868.72 & E.2089042.19, SAID POINT 150.31' ALONG THE RIGHT OF WAY LINE OF POLK AVENUE IN A SOUTHEASTERLY DIRECTION FROM THE RIGHT OF WAY LINE OF WESTWOOD DRIVE (60' R/W, PLAT BOOK 22, PAGE 52) AND BEING THE POINT OF BEGINNING.**

**THENCE FOLLOWING ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF POLK AVENUE THE FOLLOWING COURSES AND DISTANCES:**

**ALONG A CURVE TO THE LEFT AN ARC LENGTH OF 133.36 FEET, SAID CURVE HAVING A RADIUS OF 1153.86 FEET, AND BEING SUBTENDED BY A CHORD OF 133.29 FEET, AT SOUTH 86 DEGREES 32 MINUTES 13 SECONDS EAST TO A POINT;**

**THENCE SOUTH 89 DEGREES 50 MINUTES 53 SECONDS EAST 298.66 FEET TO A POINT;**

**THENCE ALONG A CURVE TO THE RIGHT AN ARC LENGTH OF 81.75 FEET, SAID CURVE HAVING A RADIUS OF 872.87 FEET, AND BEING SUBTENDED BY A CHORD OF 81.72 FEET, AT SOUTH 87 DEGREES 09 MINUTES 54 SECONDS EAST TO A POINT;**

**THENCE WITH A COMPOUND CURVE TO THE RIGHT AN ARC LENGTH OF 21.17 FEET, SAID CURVE HAVING A RADIUS OF 210.48 FEET, AND BEING SUBTENDED BY A CHORD OF 21.16 FEET, AT SOUTH 80 DEGREES 51 MINUTES 42 SECONDS EAST TO A #4 REBAR FOUND;**

**THENCE LEAVNG SAID SOUTHERLY RIGHT OF WAY LINE OF POLK STREET AND ALONG THE PROPERTY OF DOUGLAS E. SIMMONS SOUTH 32 DEGREES 39 MINUTES 39 SECONDS WEST 362.71 FEET TO A 1/2" OPEN TOP PIPE FOUND;**

**THENCE CONTINUING ALONG THE PROPERTY OF DOUGLAS E. SIMMONS AND ALONG THE PROPERTY OF JOHN H. ARNOLD & NANCY R. ARNOLD SOUTH 44 DEGREES 48 MINUTES 19 SECONDS EAST 375.36 FEET TO A 3/4" OPEN TOP PIPE FOUND;**

**THENCE ALONG THE PROPERTY OF PLANTATION SUBDIVISION, UNIT 2, LOT 41 SOUTH 36 DEGREES 27 MINUTES 41 SECONDS WEST 56.87 FEET TO A 1" OPEN TOP PIPE FOUND;**

**THENCE ALONG THE PROPERTY OF PLANTATION SUBDIVISION, UNIT 2, LOTS 41-47 SOUTH 70 DEGREES 36 MINUTES 55 SECONDS WEST 744.30 FEET TO A POINT (STUMP FOUND 1.62 FEET SOUTH);**

**THENCE ALONG THE PROPERTY OF WESTWOOD COVE SUBDIVISION, PHASE ONE, LOTS 1-11 NORTH 08 DEGREES 34 MINUTES 55 SECONDS EAST 890.68 FEET TO A #4 REBAR FOUND ON THE SOUTHERLY RIGHT OF WAY LINE OF POLK AVENUE, SAID POINT BEING THE POINT OF BEGINNING.**

**SAID TRACT OR PARCEL CONTAINS 9.23 ACRES MORE OR LESS.**

COMMUNITY TRUST BANK  
ATTN: AMANDA SWEATMAN  
P.O. BOX 1700  
HIRAM, GEORGIA 30141

RETURN TO:  
JUDITH F. BAGBY  
BAGBY LAW OFFICE, P.C.  
ATTORNEYS AT LAW  
P.O. BOX 85, 100 W. GRIFFIN ST.  
DALLAS, GA 30132

STATE OF GEORGIA  
COUNTY OF PAULDING

IN RE: Property of SHARON  
BULLOCK  
Deed Book 7-A, Page 285,  
Paulding County, GA Deed  
Records

NAME AFFIDAVIT

Personally appeared before me, the undersigned officer  
duly authorized to administer oaths, SHARON DANIELS, who  
having first been duly sworn, deposes and says that she is the  
same person as SHARON VAUGHN AND SHARON BULLOCK.

This 17<sup>th</sup> day of January, 1996.

*[Signature]*  
SHARON DANIELS

Sworn to and subscribed  
before me this 17<sup>th</sup> day  
of January, 1996.



*[Signature]*  
AMANDA D. SWEATMAN  
NOTARY PUBLIC

AMANDA D. SWEATMAN,  
N.P.

Notary Public, Paulding County, Georgia  
My Commission Expires April 16, 1998

RECORDED 1-23 1996  
SYLVIA G. STRICKLAND, CLERK  
SUPERIOR COURT, PAULDING CO.

RECORDED  
CLERK  
09:15 AM 01/23/96

BAGBY  
LAW OFFICE, P.C.  
ATTORNEYS AT LAW  
100 W. GRIFFIN ST.  
P.O. BOX 85  
DALLAS, GEORGIA 30132  
(404) 445-2727  
FAX: (404) 443-9203

BOOK 492 PAGE 288

PAULDING COUNTY, GA.  
REAL ESTATE TRANSFER TAX  
PAID \$ 10.00  
DATE 6-15-99  
Sylvia G. Strickland  
CLERK SUPERIOR COURT

FILED IN OFFICE  
PAULDING COUNTY, GA  
99 JUN 15 AM 9:51  
SYLVIA G. STRICKLAND  
CLERK  
PAULDING COUNTY COURTS

**WARRANTY DEED**

VINSON, TALLEY RICHARDSON & CABLE, P.A.  
P.O. BOX 197  
DALLAS, GEORGIA 30132

**STATE OF GEORGIA, Paulding County**

THIS INDENTURE, made this 10th day of JUNE in the year of our Lord One Thousand Nine Hundred and ninety ~~nine~~ between E. PHIL DANIELL and KENNETH F DANIELL as co-executors of the last will and testament of L F DANIELL of the State of GEORGIA and County of COBB of the first part and SHARON B DANIELS of the State of GEORGIA and County of PAULDING of the second part.

WITNESSETH: That the said parties of the first part, for and in consideration of the sum of Ten and NO/100 (\$10.00) DOLLARS, in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold and conveyed and by these presents do grant, bargain, sell and convey unto the said party of the second part, her heirs and assigns, all that tract or parcel of land lying and being in land lot 206 of the 2nd District, 3rd Section of Paulding County Georgia and being more particularly described in Exhibit "A" attached hereto. TO HAVE AND TO HOLD the said bargained premises, together with all and singular the right, members and appurtenances thereof, to the same being, belonging or in any wise appertaining, to the only proper use, benefit and behoof of her the said party of the second part, her heirs and assigns forever, IN FEE SIMPLE.

And, the said parties of the first part, for their heirs, executors and administrators will warrant and forever defend the right and title to the above described property unto the said party of the second part, her heirs and assigns, against the lawful claims of all persons whomsoever.

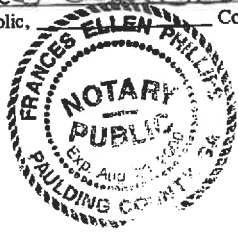
IN WITNESS WHEREOF, The said parties of the first part have hereunto set their hand and affixed their seal, the day and year above written.

Signed, sealed and delivered in the presence of:

[Signature]  
Witness

E. Phil Daniell (Seal)  
E PHIL DANIELL, as executor of the last will and testament of L F DANIELL  
Kenneth F Daniell (Seal)  
KENNETH F DANIELL, as executor of the last will and testament of L F DANIELL

Frances Egan  
Notary Public, Paulding County, Georgia



BOOK 791 PAGE 207

EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 206 of the 2<sup>nd</sup> District, 3<sup>rd</sup> Section of Paulding County, Georgia and being Tract Two (1.953 acres) and being more particularly described on a plat of survey for Gordon McTyre by Etowah Engineering and Surveying, RLS #1781, dated January 30, 1990 and recorded in Plat Book 20, Page 6 of the Paulding County Plat Records.

BOOK 791 PAGE 208

QUITCLAIM DEED -- Rev. 1962

(Box 642-2)

RECORDS & REVENUE DIVISION

State of Georgia, PAULDING County

This Indenture, Made and entered into on the 10th day of Sept, 1973, between R. J. BULLOCK, SR. ... SHARON BULLOCK -- ... WITNESSETH: That for and in consideration of the sum of ONE (\$1.00) and other valuable considerations -- and division of property ...

All that tract or parcel of land lying and being in the Second District and Third Section of Paulding County, Georgia, and being a part of original Land Lot No. 205, described as follows:

BEGINNING at a point where the South side of the right of way of Mt. Olivet Road intersects with the West original line of Land Lot No. 205; thence running East along the South side of the right of way of Mt. Olivet Road a distance of 554 feet to the center of a culvert under the said road; thence South 12 degrees, 30 minutes West 133 feet; thence South 18 degrees, 30 minutes West 44 feet; thence South 32 degrees West 100 feet; thence South 74 degrees West 44 feet; thence South 37 degrees, 30 minutes West 102 feet to an iron pin; thence South 46 degrees East a distance of 378 feet to an iron pin; thence South 32 degrees 30 minutes West 59 feet to an iron pin; thence South 70 degrees West along a fence 627 feet to the West original line of Land Lot No. 205; thence North 1 degree, 30 minutes East along the West original line of Land Lot No. 205 a distance of 865 feet to the point of beginning.

Said tract of land containing 10 acres with a frame dwelling house located thereon.

Paulding Co. unty, Georgia Real Estate Transfer Tax Paid \$ None Date 9-14-73 C.M. Turner Clerk of Superior Court

See Name Affidavit, Book 86 492, pg. 288

together with all the rights, members, and appurtenances thereto in any manner belonging, in Fee Simple. The said party of the first part do not warrant the title to said premises herein conveyed, except against himself and against those claiming under him In Testimony Whereof the said party of the first part herunto set his hand and affixed his seal the day and year first above written.

Signed, sealed and delivered in the presence of: R.J. Bullock, Sr. (Seal.) R.J. Bullock, Sr. (Seal.) Witness Donald B. ... Notary Public Marian J. Heath, N.P. (Seal.) No Seal Affixed (Seal.)

Filed Sept. 14, 1973, 8:40 a.m.

Recorded Sept. 14, 1973 C.M. Turner, Clerk



17,000.00

WARRANTY DEED

NEW ERA PRINT, DALLAS, GA.

STATE OF GEORGIA, PAULDING County.

THIS INDENTURE, made this 31st day of December in the year of our Lord One Thousand Nine Hundred and Sixty Eight between Tom Strickland

of the State of Georgia and County of Paulding of the first part and R. J. Bullock, Sr. and Sharon Bullock

of the State of Georgia and County of Paulding of the second part.

WITNESSETH: That the said part Y of the first part, for and in consideration of the sum of Seven Thousand DOLLARS

in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold and conveyed and by these presents do grant, bargain, sell and convey unto the said part Yes of the second part, Their heirs and assigns, all that tract or parcel of land lying and being in The Second District and Third Section of Paulding County, Georgia, and being a part of Original Land Lot No. 205, described as follows:

BEGINNING at a point where the South side of the right-of-way of Mt. Olivet Road intersects with the West original line of Land Lot No. 205; thence running East along the South side of the right of way of Mt. Olivet Road a distance of 554 feet to the center of a culvert under the said road; Thence South 12 degrees, 30 minutes west 133 feet; thence South 18 degrees, 30 minutes west 44 feet; thence South 32 degrees west 100 feet; thence South 74 degrees west 44 feet; thence South 37 degrees, 30 minutes west 102 feet to an Iron Pin; thence South 46 degrees east a distance of 378 feet to an Iron Pin; thence South 32 degrees, 30 minutes west 59 feet to an Iron Pin; thence South 70 degrees west along a fence 627 feet to the west original line of Land Lot No. 205; thence North 1 degree, 30 minutes east along the west original line of Land Lot No. 205 a distance of 865 feet to the point of beginning.

Said tract of land containing 10 acres with a frame dwelling house located thereon.

Paulding County, Georgia
Real Estate Transfer Tax
Paid \$ 700
Date April 2, 1969
Clerk of Superior Court

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in any wise appertaining, to the only proper use, benefit and behoof of them the said parties of the second part, their heirs and assigns forever, IN FEE SIMPLE.

And the said part Y of the first part, for himself, his heirs, executors and administrators will warrant and forever defend the right and title to the above described property unto the said parties of the second part, their heirs and assigns, against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, The said party of the first part has hereunto set his hand and affixed his seal, the day and year above written.

Signed, sealed and delivered in the presence of
Thomas C. Sanders
John T. Perren, N.P.
Seal Affixed

Tom Strickland (Seal)
Tom Strickland (Seal)
(Seal)
(Seal)
(Seal)

Form No. 23

Filed April 2, 1969, 9:20AM, Recorded April 2, 1969, W.O. Green Clerk

**250 POLK AVE REZONING: LIST OF ADJOINING PROPERTY OWNERS**

Item 2.

<b>Tax Parcel ID Number</b>	<b>Name</b>	<b>Mailing Address</b>
116.1.4.007.0000	Jason J. Betti, Dana Cable	67 Polk Ln, Dallas, GA 30132
116.4.1.001.0000	Daniel R. Alvarada	115 Westwood Dr, Dallas, GA 30132
116.4.1.004.0000	Wayne D. Howell, Heris of Patricia Ann Howell	113 Westwood Dr, Dallas, GA 30132
116.4.1.010.0000	Elmont White, Geraldine M. White	3410 MT Olivet Rd, Dallas, GA 30132
116.4.1.017.0000	Jessica J. Thompson, Timothy S. Thompson	111 Westwood Dr, Dallas, GA 30132
116.4.1.020.0000	Michael H. Mack, Maureen Mack	109 Wetswood Dr, Dallas, GA 30132
116.4.1.027.0000	Carol Giammarco	107 Westwood Dr, Dallas, GA 30132
116.4.1.028.0000	Deidra Greer	105 Westwood Dr, Dallas, GA 30132
116.4.1.030.0000	Frances Elizabeth Sexton	103 Westwood Dr, Dallas, GA 30132
116.4.1.035.0000	Kristopher R. Anderson	119 Westwood Dr, Dallas, GA 30132
116.4.1.037.0000	Sunfire 3 LLC	5001 Plaza On The Lake, Ste 200, Austin, TX 78746
116.4.1.055.0000	Alexander G. Carmona, Danay Lasoncel	126 Rosewood Dr, Dallas, GA 30132
116.4.1.073.0000	Clifford Hatcher	101 Westwood Dr, Dallas, GA 30132
116.4.1.087.0000	Lehner Family Trust c/o Melvin E and Ruth A Lehner	1100 W Chadwick Rd, Dewitt, MI 48820
116.4.1.087.0000	Mary Kate Burt	1193 Cartersville Hwy, Dallas, GA 30132
116.4.1.087.0000	William Chase Anderson	124 Rosewood Dr, Dallas, GA 30132
116.4.1.092.0000	Alba Lucia Kanwisher	121 Westwood Dr, Dallas, GA 30132
116.4.2.005.0000	SFR XII ATL Owner 5 LP	9200 Hampton Dr, Capitol Heights, MD 20743
116.4.2.009.0000	Joyve W. Brown	105 Rosewood Dr, Dallas, GA 30132
116.4.2.013.0000	Ceneva Bullard, Robert Bullard	114 Rosewood Dr, Dallas, GA 30132
116.4.2.033.0000	John H. Arnold, Nancy R. Arnold	PO Box 345, Dallas, GA 30132
116.4.2.035.0000	Douglas E. Simmons	34 Rovings Hills, Cartersville, GA 30121

Simon H. Bloom  
Andrea J. Pearson  
Jacob L. Loken  
sbloom@bloom-law.com  
apearson@bloom-law.com  
jloken@bloom-law.com  
404.577.7710

April 27, 2023

**VIA HAND DELIVERY**

City Council  
129 East Memorial Drive  
Dallas, Georgia 30132

Re: Statement of Intent for Rezoning Application of Blue River Development Acquisitions, LLC for +/- 9.23 Acres of Land located at 250 Polk Avenue, Land Lots 205 and 206, 2nd District, City of Dallas, Paulding County, Georgia (the “Property”) from R-1 to R-2C Single-Family Residential District - Conservation (the “Application”)

Dear City Council:

This firm represents Blue River Development Acquisitions, LLC (“Blue River”) with respect to the above-referenced rezoning Application. As City Council is aware, Blue River previously requested that the Property be rezoned from R-1 to R-3, for 61 attached single-family units, at 6.6 units per acre. City Council denied that request. That denial was subject to litigation in the Superior Court of Paulding County, resulting in an Order from the Court requiring that the application be reheard. Following that decision, Blue River has worked diligently with the City to find a compromise plan.<sup>1</sup>

**I. Background**

The Application seeks to rezone the Property from R-1 to R-2C to develop 27 single-family detached residences, for a density of 2.925 units per acre. The proposed development includes 1.37 acres of open space, as well as a 20-foot landscaped buffer along all exterior property lines. The open space and buffers will serve to screen the development from adjacent properties, which are used as residential properties having single-family detached homes. The single-family homes to be built as part of this development will be detached and include a two-car garage for each unit.

<sup>1</sup> This Application is submitted for purposes of trying to reach a compromise and is not intended to, and does not, waive Blue River’s rights under the Court’s Order to have the original application reheard. Blue River expressly reserves all rights to pursue the original application in the event this Application is denied.

## II. The Rezoning Standards Support Approval of the Application

When reviewing the Application, City Council must consider the following factors:

- (1) Existing land use and zoning classification of nearby and adjacent properties;
- (2) Whether the zoning proposed will permit a use that is suitable in view of the use and development of nearby and adjacent properties;
- (3) Whether the zoning proposed will adversely affect the existing use or usability of nearby or adjacent properties;
- (4) Whether the property to be affected by the zoning proposed has a reasonable economic use as currently zoned;
- (5) Whether the zoning proposed will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools;
- (6) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposed;
- (7) The relative gain to the public, as compared to the hardship imposed upon individual property owners;
- (8) The extent to which property values are diminished by existing zoning classification, as compared to the health, safety, morals or general welfare of the public; and
- (9) Whether the zoning proposed conforms with the policy and intent of an adopted land use plan.

(Zoning Ordinance § 44-93). The following analysis demonstrates that each of these standards supports the rezoning.

A. Existing Land Use and Zoning Classification of Nearby and Adjacent Properties

The proposed zoning and use of R-2C for single-family detached residences is entirely consistent with the zoning and use of nearby and adjacent properties. The Property is bordered on the west by the R-2 zoned Westwood Cove subdivision. To the east and south, the properties are zoned R-1 and used for single family residences. Rezoning the Property for R-2C will be a harmonious use and density with the surrounding land uses.

B. Whether the Zoning Proposed will Permit a Use that is Suitable in View of the Use and Development of Nearby and Adjacent Properties

The R-2C use is suitable in view of the surrounding land uses of R-2 and R-1 zoning. The City has already permitted R-2 zoning for the Westwood Cove subdivision immediately adjacent to the Property. In addition, R-2C is consistent with the R-1 adjacent parcels, particularly in light of the buffering and open spaces provided by the proposed site plan. The surrounding properties are used for single-family detached residences, which is exactly what is proposed by the Application.

C. Whether the Zoning Proposed will Adversely Affect the Existing Use or Usability of the Nearby or Adjacent Properties

The proposed use of single-family detached homes will not adversely affect the existing use or usability of the nearby or adjacent properties. The use proposed here as single-family detached homes is the same use as adjacent parcels, so the rezoning will not have a negative impact on the values of neighboring properties. The rezoning will have no negative impact on the ability of neighbors to continue to use and enjoy their homes. In fact, providing for new development of attractive, single-family homes could boost property values of the surrounding single-family homes.

D. Whether the Property to be Affected by the Zoning Proposed has a Reasonable Economic Use as Currently Zoned

The Property does not have a reasonable economic use as currently zoned. The Property has been marketed for seven years, since April 2016, and the only offers for purchase have been contingent upon the rezoning of the Property. Given the current economic climate with construction costs, interest rates, etc., it is not economically feasible to develop the Property for R-1 zoning. The current R-1 zoning is a substantial detriment to the Property. R-1 zoning requires 15,000 square foot lots, which is not suitable given the shape and layout of the Property. The Property's eastern boundary has an oddly shaped jog that prevents the efficient layout of larger single-family residential lots.



E. Whether the Zoning Proposed will Result in a Use Which Will or Could Cause an Excessive or Burdensome Use of Existing Streets, Transportation Facilities, Utilities or Schools

Blue River does not anticipate any significant impact to vehicular traffic from the minor amount of trips the development will generate. The Institute of Traffic Engineers (ITE) Trip Generation Manual (9<sup>th</sup> Edition), calculates the proposed development will generate a modest +/- 257 weekday trips, +/- 21 trips in the morning and +/- 28 trips in the evenings. This minor amount of traffic will not negatively impact adjacent roadways. According to the Paulding County School District Capital Improvements Update from April 26, 2022, for 2025, Northside Elementary and Hershel Jones Middle School are anticipated to be under capacity, with Paulding County High School at capacity. The proposed development is not anticipated to create an undue burden on these schools, given its scale of only 27 homes. For utilities, the Property will have access to water and sewer services from Paulding County.

F. Whether There are Other Existing Or Changing Conditions Affecting the Use and Development of The Property Which Give Supporting Grounds for Either Approval or Disapproval of The Zoning Proposed

As set forth above, the current economic climate makes development of this Property as R-1 unfeasible, and supports approval of the rezoning. Moreover, this Application counsels towards approval as a compromise position of the parties in pending litigation.

G. The Relative Gain to the Public, as Compared to the Hardship Imposed Upon Individual Property Owners

The public will be well served by approval of the Application, as the development will provide needed single-family housing in the area, as well as boost neighboring home values. In addition, the current zoning of the Property as R-1 imposes a hardship on the current owner of the Property. Rezoning the Property to R-2C will not create a hardship on adjoining property owners, as the proposed use of single-family residences is consistent with the current zoning and uses of surrounding properties.

H. The Extent to Which Property Values are Diminished by Existing Zoning Classification, as Compared to the Health, Safety, Morals or General Welfare of The Public

As set forth above, the current R-1 zoning is a significant detriment to the Property, and if the R-1 zoning is not changed, the Property is likely to remain vacant. The proposed development will not harm the health, safety, morals, or general welfare

of the public, as it is consistent with the neighboring properties and infrastructure supporting same.

I. Whether the Zoning Proposed Conforms With the Policy and Intent of an Adopted Land Use Plan

The proposed use fits squarely within the uses designated by the Paulding County 2017 Comprehensive Plan.<sup>2</sup> The Future Land Use Map for the City designates the Property as “Residential” in the Comprehensive Plan.<sup>3</sup> The Residential category provides that “[t]he predominant use of land within the residential category is for single-family and multi-family dwelling units organized into general categories of net densities,” which is exactly what is proposed by the Application.

III. Constitutional Notice

Failure to grant the Application would unreasonably impair and destroy the Property owner’s property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section I, Paragraph I of the Constitution of the State of Georgia, Article I, Section III, Paragraph I of the Constitution of the State of Georgia, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

Failure to grant the Application would be unconstitutional, illegal, null and void, constituting a taking of the Property owner’s property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States.

Failure to grant the Application would unconstitutionally discriminate, in an arbitrary, capricious, and unreasonable manner, between Blue River and the Property owner and other similarly situated entities and property owners in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States.

Failure to grant the Application would also constitute an unreasonable and extreme hardship upon Blue River and the Property owner without remotely advancing the public health, safety and welfare and would constitute an arbitrary and capricious act without any rational basis therefore, constituting an abuse of discretion in violation

<sup>2</sup> 2017 Paulding County Comprehensive Plan, available at [https://www.paulding.gov/DocumentCenter/View/5657/2022-Comp-Plan---Book-1\\_101122?bidId=](https://www.paulding.gov/DocumentCenter/View/5657/2022-Comp-Plan---Book-1_101122?bidId=)

<sup>3</sup> Id. at 99.

of Article I, Section I, Paragraph I of the Constitution of the State of Georgia, Article I, Section III, Paragraph I of the Constitution of the State of Georgia, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

Failure to grant Application would violate Article I, Section I, Paragraph X of the Constitution of the State of Georgia.

Sincerely,

BLOOM PARHAM, LLP



Simon H. Bloom  
Andrea J. Pearson  
Jacob W. Loken

Enclosures

cc: Kelley Reilly  
Brad Cooper





City of Dallas, GA  
 200 Main St  
 Dallas, GA 30132  
 (770) 443-8108

Tax ID #:2079

Item 2.

# 2022 Property Tax Bill

Parcel ID	Tax District		Bill #						
116410700000	02 - CITY OF DALLAS		000094						
Property Owner/Location/Description			Fair Market Value	Taxable Value					
DANIELS SHARON B 250 POLK AVE			97,100	38,840					
Levies	Taxable Value	-	Exemptions	=	Net Assessment	×	Tax Rate	=	Net Tax
CITY TAX	38,840		0		38,840		9.9400000000		\$386.07
Sales Tax Rollback	38,840		0		38,840		(5.7700000000)		(\$224.11)

Exemptions:

Current Year Tax	\$161.96
Interest	\$0.00
Penalty	\$0.00
Other Fees	\$0.00
Payments Received	\$161.96
Other Amounts Due	\$0.00
<b>Total Due</b>	<b>\$0.00</b>
Due Date	12/20/2022

City of Dallas GA- The law requires payment in full by December 20, 2022.  
 If your bill is to be paid by you mortgage company through an escrow account please forward a copy of this bill to them.

Bills are sent to the owner of a property as of January 1st. If you sold a property listed on this notice please send a copy to the new owner and call the County Tax Assessor.

All monies will be applied to past due taxes first if applicable.

Your check will be used as your paid receipt. If you desire a paid receipt, please enclose a self addressed stamped envelope.

Failure to receive a bill does not exempt penalties or interest.  
 Penalty and interest will apply as stated by state law and City of Dallas ordinance.



**City of Dallas, GA**  
 200 Main St  
 Dallas, GA 30132

*We accept Cash, Checks, Visa, MasterCard and Discover. For cash payments please see us in person.*

Parcel ID: 116410700000  
 Amount Due: \$0.00  
 Bill#: 000094  
 Due Date: 12/20/2022

AMOUNT PAID

DANIELS SHARON B  
 225 HART CIR  
 DALLAS, GA 30132

**City of Dallas, GA**  
 200 Main St  
 Dallas, GA 30132



Official Tax Receipt  
Paulding County, GA  
240 Constitution Blvd  
Dallas, 30132  
--Online Receipt--

Phone: 770-443-7581

Trans No	Map Code	Property ID & District Description	Original Due	Interest & Penalty	Amount Due	Amount Paid	Transaction Balance
2022-016347	R0020 79	250 POLK AVE	\$1,012.55	\$0.00 Fees: \$0.00	\$0.00	\$1,012.55	\$0.00
<b>Totals:</b>			<b>\$1,012.55</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$1,012.55</b>	<b>\$0.00</b>

Paid Date: 09/16/2022

Charge Amount: \$1,012.55

DANIELS SHARON B  
225 HART CIR  
DALLAS, GA 30132

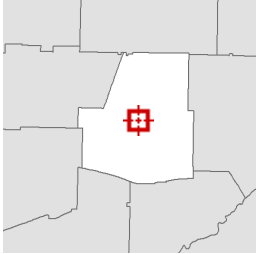


Scan this code with your mobile phone to view this bill





Overview



Legend

- Parcels
- Subdivision Names
- Roads



**CITY OF DALLAS  
LEGAL NOTICE  
REZONING**

Blue River Development Acquisitions, LLC (Applicant), Bloom Parham, LLP (Representative), and Sharon B. Daniels (Titleholder), have applied to rezone a portion of Land Lots 205 & 206 in the 2<sup>nd</sup> District and 3<sup>rd</sup> Section of Paulding County, located at 250 Polk Avenue, Dallas, Georgia, from a Zoning District of R-1 Residential to a Zoning District of R-2C Residential, subject to public hearings to be held on June 1, 2023, at 6:00 pm before the Dallas Planning & Zoning Commission; and June 5, 2023, at 5:15 pm before the Mayor and Council of the City of Dallas; public hearings will be held in Council Chambers of Dallas City Hall, 129 E. Memorial Drive, Dallas, GA. 30132. (Z-2023-02)

This the 5th day of May, 2023

Brad Cooper, Blue River Development Acquisitions, LLC (Applicant)  
Andrea Pearson, Bloom Parham, LLP (Representative)  
Sharon B. Daniels (Titleholder)



















# City of Dallas

## Planning & Zoning Commission

June 1, 2023

6:00PM

DALLAS CITY HALL

129 E. Memorial Dr

Dallas, GA 30132

# Z-2023-03

**Z-2023-03**

**STAFF COMMENTS:**

The applicant (City of Dallas) is proposing to rezone 1.73 acres from H-1 to G. The property is located at the southeast corner of Dallas Industrial Drive and George T. Bagby Drive.

Properties that border the site to the North, East, and West are currently inside City limits. Property to the South is in County

**A. Existing land use and zoning classification of nearby property:**

**ADJACENT ZONING**

**ADJACENT DEVELOPMENT**

**NORTH:** Dallas H-1

**NORTH:** Heavy Industrial

**EAST:** Dallas H-1

**EAST:** Undeveloped

**SOUTH:** County R-2

**SOUTH:** Residential

**WEST:** Dallas H-1

**WEST:** Undeveloped

**B. Permitted Use impact on adjacent properties.**  
*Site is located within an industrial park..*

**C. Adverse effect on the usability of adjacent or nearby property?**  
*None*

**D. Proposal cause excessive or burdensome use of streets, transportation facilities, utilities, schools**  
*Increased traffic on City streets. Will not increase student population of nearby schools.*

**E. Supported by current conditions**  
*Water and Sewer are currently available on site.*

**F. 2022 Comp Plan**  
*Matches with the 2022 Comp Plan Future Land use map as Industrial.*

**Based on the preceding analysis, staff recommends approval with the following stipulations:**

1. None.

**Unless explicitly stated herein, all other lot development standards shall comply with the G zoning district as written in the City of Dallas Code of Ordinances.**

*The findings made herein are the opinions of the City of Dallas, Ga Development staff and do not constitute a final decision. The City of Dallas, Ga Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications.*

**City of Dallas, Ga Planning and Zoning Commission Decision**

Application # Z-2023-03

The City of Dallas, Ga Planning and Zoning Commission APPROVES / DENIES application # Z-2023-03 on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 with city recommended stipulations as referenced below.

- 1.
- 2.
- 3.
- 4.
- 5.

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Planning and Zoning Commissioner

**Unless explicitly stated herein, all other lot development standards shall comply with the G zoning district as written in the City of Dallas Code of Ordinances.**

*The decision regarding this application made herein is the decision of the City of Dallas, Ga Planning and Zoning Commission and do not constitute a final decision. The City of Dallas, Ga Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications.*

**City of Dallas, Ga Mayor and Council Final Application Decision**

Application # Z-2023-03

The City of Dallas, GA Mayor and Council APPROVES / DENIES application # Z-2023-03 on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 with city recommended stipulations as referenced below.

- 1.
- 2.
- 3.
- 4.
- 5.

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**Unless explicitly stated herein, all other lot development standards shall comply with the G zoning district as written in the City of Dallas Code of Ordinances.**

*The decision regarding this application made herein is the decision of the City of Dallas, Ga Mayor and Councils **final decision**. The City of Dallas Mayor and Council makes the final decision on all Zoning/Rezoning, Land Use Permit, Special Use Permit, and Medical Hardship Applications. The above parties agree to decision and stipulations if applicable. Upon final annexation recording, recorded documents will be added to this packet.*



# ZONING / REZONING APPLICATION

City of Dallas, Georgia

Application # \_\_\_\_\_ - \_\_\_\_\_

Hearing Dates: PC: \_\_\_\_\_ CC: \_\_\_\_\_

OFFICE USE

Item 3.

Time/Date Stamp

(PLEASE PRINT OR TYPE ALL INFORMATION)

Applicant: City of Dallas Business phone: (770) 443-8110 Cell: NA

Address: 129 East Memorial Drive Home phone: NA

City: Dallas State: GA Zip: 30132 Fax phone: NA

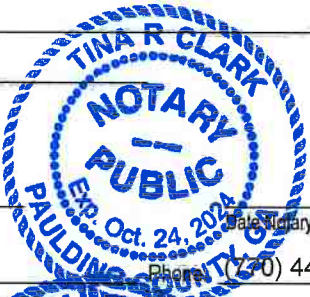
E-mail address: tclark@dallas-ga.gov

Applicant's Signature

Printed Name of Signatory L. James Kelly

Signed, sealed and delivered in the presence of:

Notary Public



Date Notary Commission Expires \_\_\_\_\_

Representative: Preston Kilgore Phone: (770) 443-8110 x1408 Cell: NA

Address: 320 East Foster Avenue City: Dallas State: GA Zip: 30132

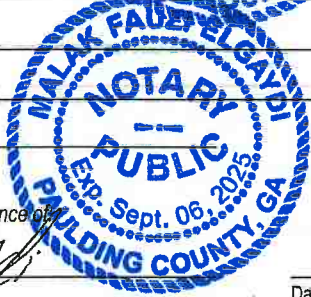
E-mail address: pkilgore@dallas-ga.gov Fax phone: NA

Representative's Signature

Printed Name of Signatory Preston Kilgore

Signed, sealed and delivered in the presence of:

Notary Public



Date Notary Commission Expires 9-6-2025

Titleholder: Helping Hands of Paulling County, Inc. Business phone: (770) 443-1230 Home phone: NA

(Each Titleholder must have a separate, complete form with notarized signatures)

Address: P.O. Box 1130 City: Dallas State: GA Zip: 30132

Signature

Printed Name of Signatory Reva M. Burks

Signed, sealed and delivered in the presence of:

Notary Public

Date Notary Commission Expires 9-6-2025



## Property Information

Present Zoning Classification: H-1 Heavy Industrial Requested Zoning Classification: G General Industrial

Total Acreage of Zoning/Rezoning Application: 1.73 Acreage of Titleholder: 1.73

Land Lot(s): 281 District(s): 2nd Section(s): 3rd Tax Parcel I.D. Number(s): 136.1.2.005.0000 part

Location of Property: SE corner of Dallas Industrial Dr & George T Bagby Dr

Physical address, if available, and nearest intersections (i.e. east/west side of given road, and north/south of given road)

Detailed description of proposed development (including maximum number of lots, if residential, or number of units): \_\_\_\_\_

Non-profit office and food pantry

Filed with City: \_\_\_\_\_ (Date) \_\_\_\_\_ (Signature)

City of Dallas Planning Commission Recommendation:  Approve  Disapprove  No recommendation

Conditions, reasons, stipulations: \_\_\_\_\_

City Council Decision:  Approve  Approve as different classification  Disapprove

Conditions, reasons, stipulations: \_\_\_\_\_



### Applicant / Representative Attendance Required

**Applicant or representative must be present at the public hearings before the Dallas Planning Commission and the Mayor and City Council. Failure to attend may result in dismissal with prejudice, rejection of the application, or continuance of the hearing at the Commission or Council's sole discretion.**

~~I / We~~ (Cross Out One) have investigated the site as to the existence of archeological and/or architectural landmarks. ~~I / We~~ (Cross Out One) hereby certify there ~~are~~ / are not (Cross Out One) any such assets. If any exist, documentation must be provided with the application.

~~I / We~~ (Cross Out One) have investigated the site as to the existence of any cemetery located on the property. ~~I / We~~ (Cross Out One) hereby certify there ~~is~~ / is not (Cross Out One) such a cemetery. If any exist, documentation must be provided with the application, including notice to the Paulding County Cemetery Commission.

*Preston Kilgore*  
Signature of Applicant/Representative

5-5-2023  
Date

Preston Kilgore  
Printed Name of Applicant/Representative



Signed, sealed and delivered in the presence of:

*Malak Fauzi Elgaydi*  
Notary Public Signature

1-6-2025  
Commission Expiration

\_\_\_\_\_  
Signature of Applicant/Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name of Applicant/Representative

Signed, sealed and delivered in the presence of:

\_\_\_\_\_  
Notary Public Signature

\_\_\_\_\_  
Commission Expiration



EQUIPMENT USED:  
THEODOLITE READING TO 05 SECONDS;  
ELECTRONIC DISTANCE METER READING  
TO .005 FEET.

THE FIELD DATA UPON WHICH THIS PLAT  
IS BASED HAS A HORIZONTAL CLOSURE  
OF 1 IN 30,664.

DATE OF FIELD WORK: DEC 20, 2022

TRAVERSE IS ADJUSTED USING THE LEAST  
SQUARES METHOD.

IRON PINS PLACED ARE 1/2" REBAR

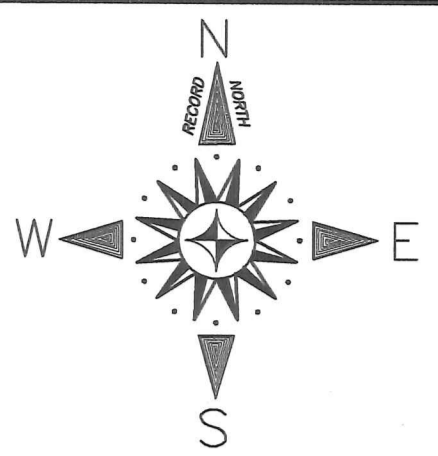
THIS SURVEY HAS BEEN CALCULATED FOR  
CLOSURE BY LATITUDE AND DEPARTURE  
AND IS FOUND TO BE ACCURATE WITHIN  
ONE FOOT IN 404208 FEET

- NOTES
- STRUCTURES VISIBLE ON THE DATE OF SURVEY ARE SHOWN HEREON.
  - LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
  - THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
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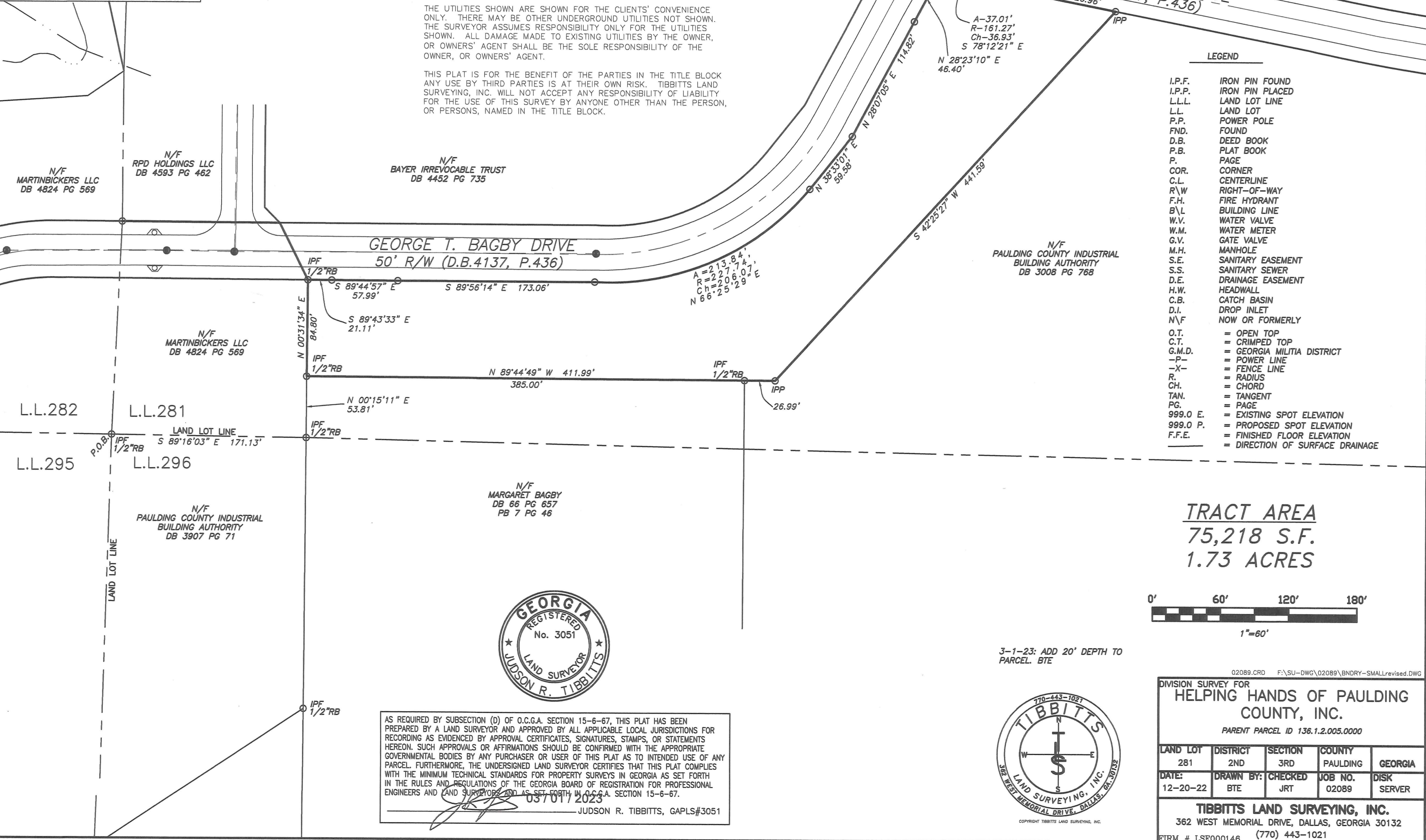
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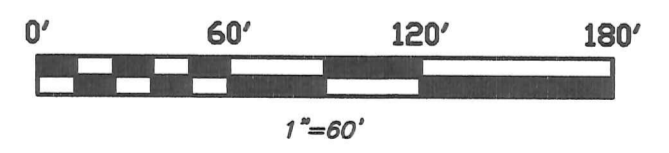
THIS BLOCK RESERVED FOR CLERK OF SUPERIOR COURT



LEGEND

I.P.F.	IRON PIN FOUND
I.P.P.	IRON PIN PLACED
L.L.L.	LAND LOT LINE
L.L.	LAND LOT
P.P.	POWER POLE
FND.	FOUND
D.B.	DEED BOOK
P.B.	PLAT BOOK
P.	PAGE
COR.	CORNER
C.L.	CENTERLINE
R\W	RIGHT-OF-WAY
F.H.	FIRE HYDRANT
B\L	BUILDING LINE
W.V.	WATER VALVE
W.M.	WATER METER
G.V.	GATE VALVE
M.H.	MANHOLE
S.E.	SANITARY EASEMENT
S.S.	SANITARY SEWER
D.E.	DRAINAGE EASEMENT
H.W.	HEADWALL
C.B.	CATCH BASIN
D.I.	DROP INLET
N\F	NOW OR FORMERLY
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G.M.D.	= GEORGIA MILITIA DISTRICT
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R.	= RADIUS
CH.	= CHORD
TAN.	= TANGENT
PG.	= PAGE
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F.F.E.	= FINISHED FLOOR ELEVATION
	= DIRECTION OF SURFACE DRAINAGE

TRACT AREA  
75,218 S.F.  
1.73 ACRES

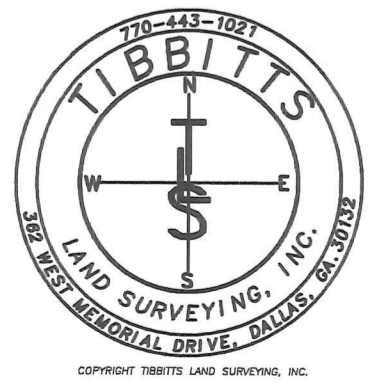


3-1-23: ADD 20' DEPTH TO PARCEL. BTE



AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

03/01/2023  
JUDSON R. TIBBITTS, GAPLS#3051



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DIVISION SURVEY FOR  
**HELPING HANDS OF PAULDING COUNTY, INC.**  
PARENT PARCEL ID 136.1.2.005.0000

LAND LOT	DISTRICT	SECTION	COUNTY	GEORGIA
281	2ND	3RD	PAULDING	GEORGIA

DATE:	DRAWN BY:	CHECKED	JOB NO.	DISK
12-20-22	BTE	JRT	02089	SERVER

**TIBBITTS LAND SURVEYING, INC.**  
362 WEST MEMORIAL DRIVE, DALLAS, GEORGIA 30132  
FIRM # LSF000146 (770) 443-1021



EQUIPMENT USED:  
 THEODOLITE READING TO 05 SECONDS;  
 ELECTRONIC DISTANCE METER READING  
 TO .005 FEET.

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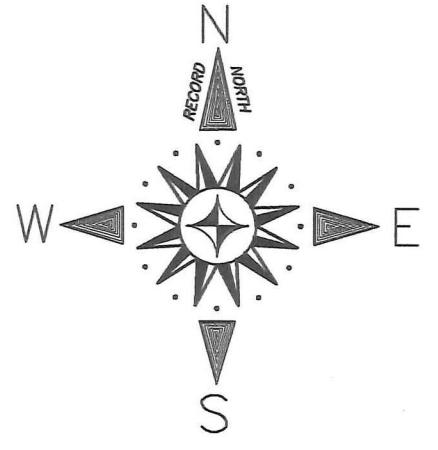
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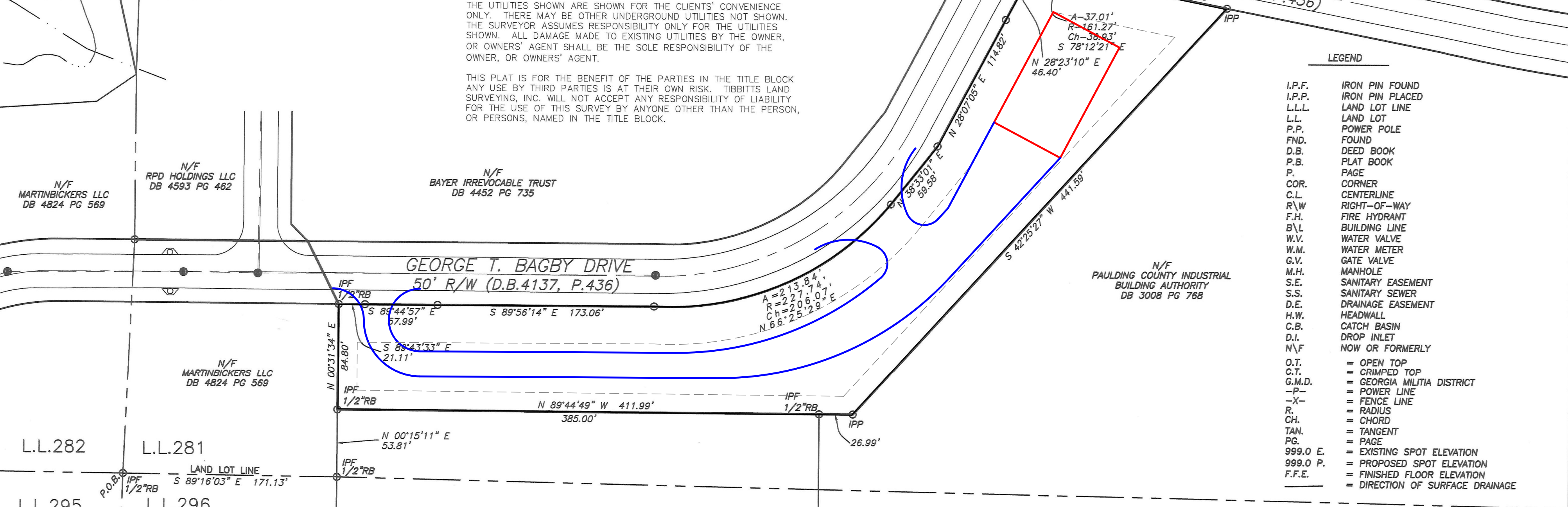
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F.F.E.	= FINISHED FLOOR ELEVATION
	= DIRECTION OF SURFACE DRAINAGE

N\F MARTINBICKERS LLC  
DB 4824 PG 569

N\F RPD HOLDINGS LLC  
DB 4593 PG 462

N\F MARTINBICKERS LLC  
DB 4824 PG 569

L.L.282

L.L.281

L.L.295

L.L.296

N\F PAULDING COUNTY INDUSTRIAL BUILDING AUTHORITY  
DB 3907 PG 71

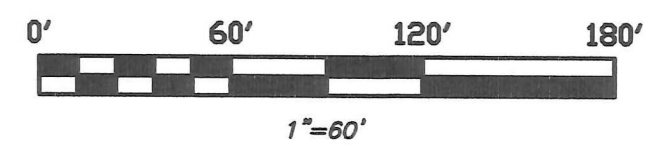
N\F BAYER IRREVOCABLE TRUST  
DB 4452 PG 735

GEORGE T. BAGBY DRIVE  
50' R/W (D.B.4137, P.436)

N\F MARGARET BAGBY  
DB 66 PG 657  
PB 7 PG 46

N\F PAULDING COUNTY INDUSTRIAL BUILDING AUTHORITY  
DB 3008 PG 768

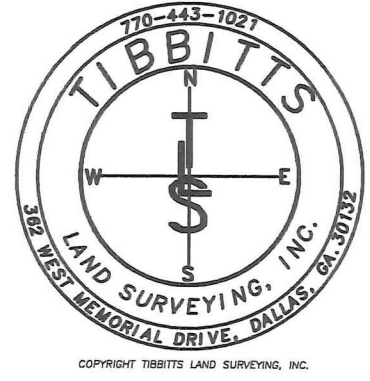
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JUDSON R. TIBBITTS, GAPLS#3051

3-1-23: ADD 20' DEPTH TO PARCEL. BTE



02089.CRD F:\SU-DWG\02089\BNDRY-SMALLrevised.DWG

DIVISION SURVEY FOR  
**HELPING HANDS OF PAULDING COUNTY, INC.**  
 PARENT PARCEL ID 136.1.2.005.0000

LAND LOT	DISTRICT	SECTION	COUNTY	GEORGIA
281	2ND	3RD	PAULDING	GEORGIA
DATE:	DRAWN BY:	CHECKED	JOB NO.	DISK
12-20-22	BTE	JRT	02089	SERVER

**TIBBITTS LAND SURVEYING, INC.**  
 362 WEST MEMORIAL DRIVE, DALLAS, GEORGIA 30132  
 (770) 443-1021

FORM # LSP000146



RECORDED: 03/03/2023 4:03 PM  
WARRANTY DEED  
DEED BOOK 4904 PAGES 933 - 935  
FILING FEES: \$25.00  
TRANSFER TAX: \$2.00  
PT61: 110-2023-001148  
Sheila Butler, Superior Court Clerk  
Paulding County, GA

Return Recorded Document to:  
TALLEY, RICHARDSON & CABLE, PA  
367 WEST MEMORIAL DRIVE  
DALLAS, GA 30132

**LIMITED  
WARRANTY DEED**

STATE OF GEORGIA  
COUNTY OF PAULDING

FILE #: 23-0063

THIS INDENTURE made this 2nd day of March, 2023, between PAULDING COUNTY INDUSTRIAL BUILDING AUTHORITY, as party or parties of the first part, hereinafter called Grantor, and HELPING HANDS OF PAULDING COUNTY, INC. , as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations in hand paid, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee.

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

This Deed is given subject to all easements and restrictions of record.

TO HAVE AND TO HOLD the said tract or parcel of land, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in FEE SIMPLE.

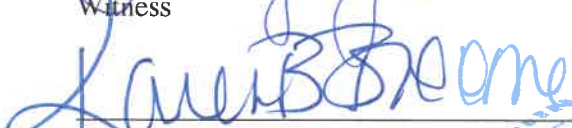
AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons by, through and under the above named grantor.

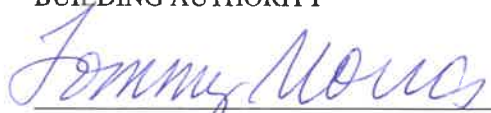
IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

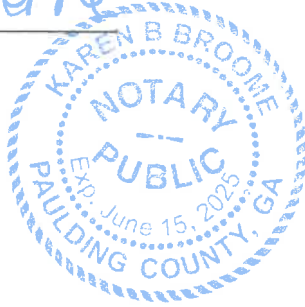
Signed, sealed and delivered in presence of:

PAULDING COUNTY INDUSTRIAL  
BUILDING AUTHORITY

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Notary Public  
My Commission Expires:

  
\_\_\_\_\_  
BY: TOMMY MORRIS, AS  
CHAIRMAN



## EXHIBIT "A"

ALL THAT TRACT or parcel of land lying and being in Land Lot 281 of the 2<sup>nd</sup> District, 3<sup>rd</sup> Section, Paulding County, Georgia and being more fully described as follows:

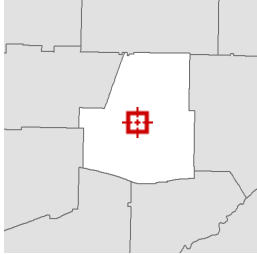
To find the TRUE POINT OF BEGINNING, begin at the common land lot corner of Land Lots 281, 282, 295 & 296; thence running south 89 degrees 16 minutes 03 seconds east along the south land lot line of Land Lot 281 a distance of 171.13 feet to an iron pin; thence running north 00 degrees 15 minutes 11 seconds east a distance of 53.81 feet to an iron pin and the TRUE POINT OF BEGINNING; thence running north 00 degrees 31 minutes 34 seconds east a distance of 84.80 feet to an iron pin located on the southerly right of way of George T. Bagby Drive (a 50 foot right of way); thence running south 89 degrees 43 minutes 33 seconds east along said right of way a distance of 21.11 feet to a point; thence running south 89 degrees 44 minutes 57 seconds east along said right of way a distance of 57.99 feet to a point; thence running south 89 degrees 56 minutes 14 seconds east along said right of way a distance of 173.06 feet to a point; thence running northeasterly in an arc along said right of way a distance of 213.84 feet to a point (said arc being subtended by a chord line running north 66 degrees 25 minutes 29 seconds east a distance of 206.07 feet); thence running north 38 degrees 33 minutes 01 second east along said right of way a distance of 59.58 feet to a point; thence running north 28 degrees 07 minutes 05 seconds east along said right of way a distance of 114.82 feet to a point; thence running north 28 degrees 23 minutes 10 seconds east along said right of way a distance of 46.40 feet to a point located at the intersection of the southeasterly right of way of George T. Bagby Drive (a 50 foot right of way) and the southwesterly right of way of Dallas Industrial Drive (a 50 foot right of way); thence running southeasterly in an arc along the southwesterly right of way of Dallas Industrial Drive a distance of 37.01 feet to a point (said arc being subtended by a chord line running south 78 degrees 12 minutes 21 seconds east a distance of 36.93 feet); thence running south 78 degrees 43 minutes 20 seconds east along said right of way a distance of 120.96 feet to an iron pin; thence running south 42 degrees 25 minutes 27 seconds west a distance of 441.59 feet to an iron pin; thence running north 89 degrees 44 minutes 49 seconds west a distance of 411.99 feet to an iron pin, said point being the TRUE POINT OF BEGINNING.

Said tract being 1.73 acres as shown on a plat prepared for Helping Hands of Paulding County, Inc. by Tibbitts Land Surveying, Inc., dated December 20, 2022, certified by Judson R. Tibbitts, RLS #3051, said plat being incorporated herein and made a part of this description by reference.





Overview



Legend

- Parcels
- Subdivision Names
- Roads



**CITY OF DALLAS  
LEGAL NOTICE  
REZONING**

City of Dallas (Applicant) and Helping Hands of Paulding County, Inc. (Titleholder), have applied to rezone a portion of Land Lot(s) 281 in the 2<sup>nd</sup> District and 3<sup>rd</sup> Section of Paulding County, located at Dallas Industrial Drive and George T. Bagby Drive, Dallas, Georgia, from a Zoning District of H-1 Heavy Industrial to a Zoning District of G General Industrial, subject to public hearings to be held on June 1, 2023, at 6:00 pm before the Dallas Planning & Zoning Commission; and June 5, 2023, at 5:15 pm before the Mayor and Council of the City of Dallas; public hearings will be held in Council Chambers of Dallas City Hall, 129 E. Memorial Drive, Dallas, GA. 30132. (Z-2023-03)

This the 5th day of May, 2023

City of Dallas (Applicant)  
Helping Hands of Paulding County, Inc. (Titleholder)













# City of Dallas

## Planning & Zoning Commission

June 1, 2023

6:00PM

DALLAS CITY HALL

129 E. Memorial Dr

Dallas, GA 30132

# DEV-2023-01

**DEV-2023-01**

**STAFF COMMENTS:**

The applicant has submitted development plans for property located within the Corridor Overlay District. Per Section 44-214 of the City of Dallas Zoning Ordinance, approval by the Planning Commission is required for any proposed development plan in the Corridor Overlay District.

The property is 4.39 acres located at 100 Cadillac Parkway. The property is zoned G General Industrial. The proposed use of self-storage is permitted by the zoning district.

Properties that border the site to the North, East, South, and West are currently inside City limits.

**A. Existing land use and zoning classification of nearby property:**

**ADJACENT ZONING**

**ADJACENT DEVELOPMENT**

**NORTH:** G

**NORTH:** General Industrial

**EAST:** G

**EAST:** Commercial

**SOUTH:** G

**SOUTH:** General Industrial

**WEST:** R-3

**WEST:** Multi-family, beyond railroad

**DEPARTMENT COMMENTS:**

Community Development and Public Works have reviewed the plans multiple times, made comments, and reviewed revisions.

Public Works has met with the Transportation Committee of City Council regarding approval of the site entrance.

Georgia EPD made a state waters determination for the stream on the site.



City of Dallas will not provide sewer service. Paulding County will determine if the site is either on septic system or tied into Paulding County sewer.

**Staff recommends approval with NO stipulations.**

*The findings made herein are the opinions of the City of Dallas, Ga Development staff and do not constitute a final decision.*

**City of Dallas, Ga Planning and Zoning Commission Decision**

Application # DEV-2023-01

The City of Dallas, Ga Planning and Zoning Commission APPROVES / DENIES application # DEV-2023-01 on this \_\_\_\_\_ day of \_\_\_\_\_, 2023 with city recommended stipulations as referenced below.

- 1.
- 2.
- 3.
- 4.
- 5.

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Planning and Zoning Commissioner

*The decision regarding this application made herein is the decision of the City of Dallas, Ga Planning and Zoning Commission.*



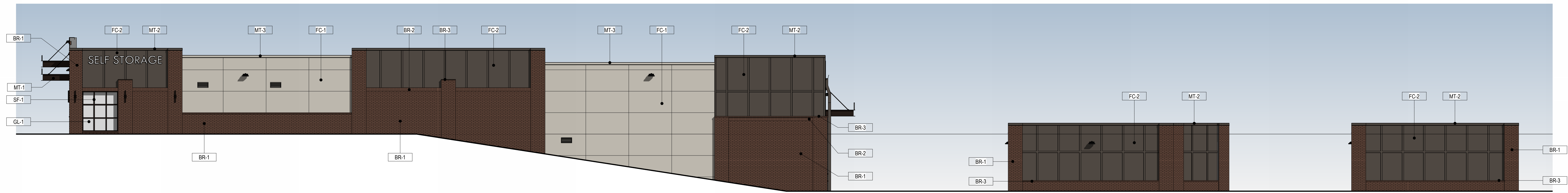
Overview



Legend

- Parcels
- Subdivision Names
- Roads





3 HWY 278 ELEVATION  
Scale: 1/8" = 1'-0"



2 HWY 278 PERSPECTIVE B  
Scale:



1 HWY 278 PERSPECTIVE A  
Scale:





3 HWY 278 PERSPECTIVE AERIAL  
Scale



2 CADILLAC PKWY AERIAL  
NOT TO SCALE



1 CADILLAC PKWY PERSPECTIVE  
NOT TO SCALE



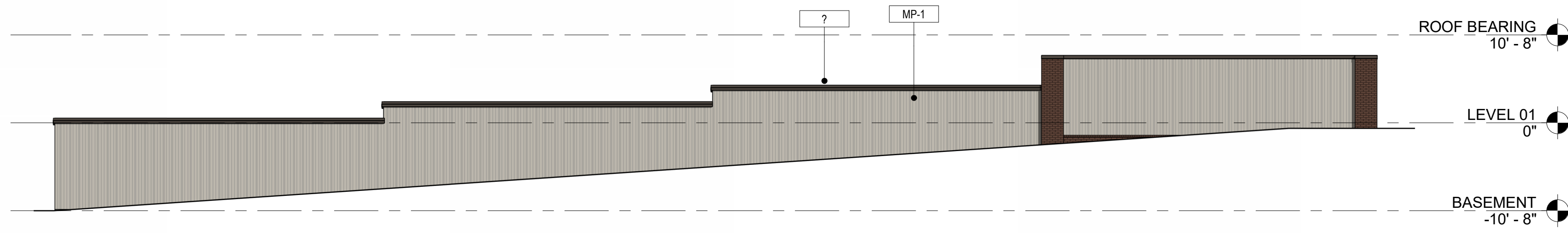




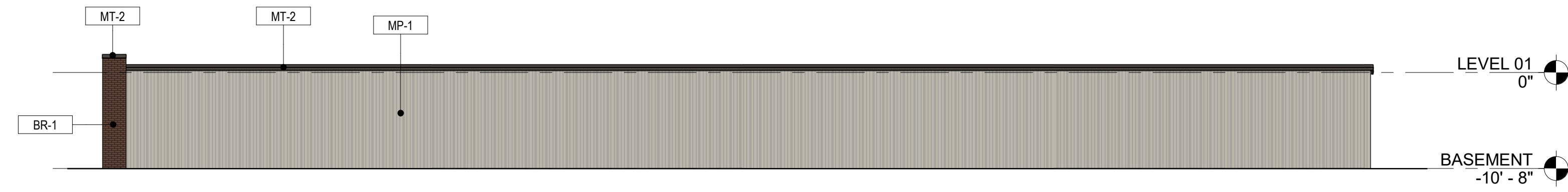
KEYED NOTES

- POTENTIAL SIGNAGE AREA - PROVIDE 5/8" PLYWOOD SHEATHING IN LIEU OF FIBERGLASS THIS AREA. SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.
- EXTERIOR WALL PACK - SEE LIGHTING SCHEDULE
- EXTERIOR WALL SCOURCE - SEE LIGHTING SCHEDULE
- PROVIDE CONTROL JOINTS PER THE BRICK INDUSTRY ASSOCIATION TECHNICAL BULLETIN ON BRICK CONSTRUCTION TO ACCOMMODATE EXPANSION OF BRICKWORK, SEE DETAIL B/A450
- ROOF SLOPE BEYOND

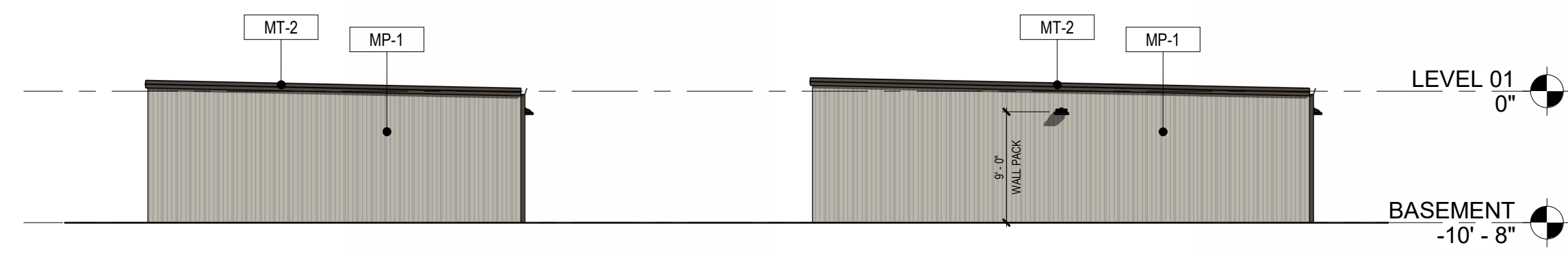
EXTERIOR MATERIAL LEGEND		
TAG ID	DESCRIPTION	SPECIFICATIONS
BR-1	BRICK RUNNING BOND - QUEEN SIZE (2 3/4" TALL X 7 5/8" LONG X 2 3/4" DEPTH)	FIELD COLOR 1 - CHEROKEE BRICK - VELOUR BROWN - ARGOS SAVANNAH IVORY MORTAR
BR-2	BRICK RUNNING BOND - QUEEN SIZE (2 3/4" TALL X 7 5/8" LONG X 2 3/4" DEPTH)	FIELD COLOR 1 - OLD MISSISSIPPI - CHEROKEE - LIGHT BEIGE MORTAR
BR-3	BRICK RUNNING BOND - QUEEN SIZE (2 3/4" TALL X 7 5/8" LONG X 2 3/4" DEPTH)	FIELD COLOR 1 - OLD MISSISSIPPI - CHEROKEE - LIGHT BEIGE MORTAR
FC-1	HORIZONTAL FIBER CEMENT BOARD AND REVEAL SYSTEM	ALLURA, JAMES HARDIE OR EQUAL - COLOR TO MATCH SW 7016 MINDFUL GRAY
FC-2	VERTICAL FIBER CEMENT BOARD AND BATTEN SYSTEM	ALLURA, JAMES HARDIE OR EQUAL - COLOR TO MATCH SW 7020 BLACK FOX
GL-1	1" INSULATED GLAZING UNIT	CLEAR GLASS
MP-1	METAL PANEL	COLOR TO MATCH SW 7016 MINDFUL GRAY
MT-1	METAL CANOPY & DOORS	PRE-FINISHED METAL CANOPY - DARK BRONZE COLOR
MT-2	PREFINISHED COPING	PRE-FINISHED METAL COPING - COLOR TO MATCH SW 7020 BLACK FOX
MT-3	PREFINISHED COPING	PRE-FINISHED METAL COPING - COLOR TO MATCH SW 7016 - MINDFUL GRAY



8 BUILDING D - SOUTH ELEVATION COLOR  
Scale: 3/32" = 1'-0"



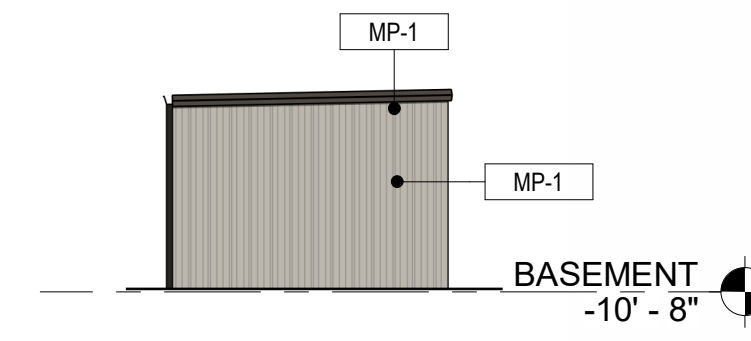
6 BUILDING C - WEST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



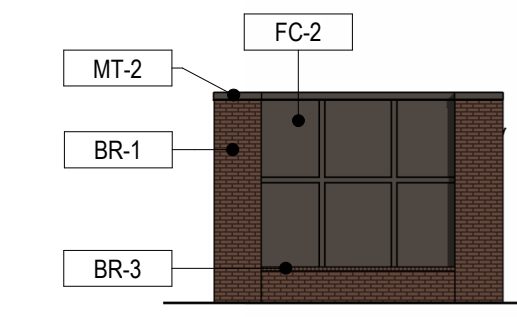
4 BUILDINGS B & C - SOUTH ELEVATION COLOR  
Scale: 3/32" = 1'-0"



3 BUILDING C - EAST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



10 BUILDING D - WEST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



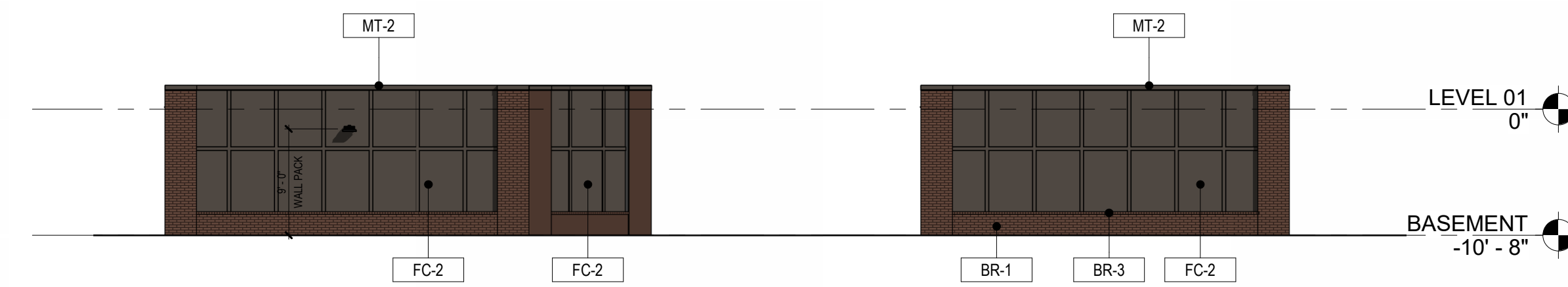
9 BUILDING D - EAST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



7 BUILDING D - NORTH ELEVATION COLOR  
Scale: 3/32" = 1'-0"



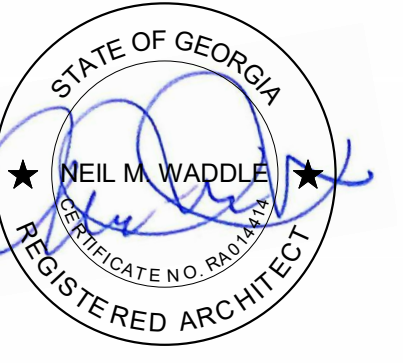
5 BUILDING B - WEST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



2 BUILDINGS B & C - NORTH ELEVATION COLOR  
Scale: 3/32" = 1'-0"



1 BUILDING B - EAST ELEVATION COLOR  
Scale: 3/32" = 1'-0"



issue	date	revision #	description
ISSUED FOR CONSTRUCTION SET	03/31/23		

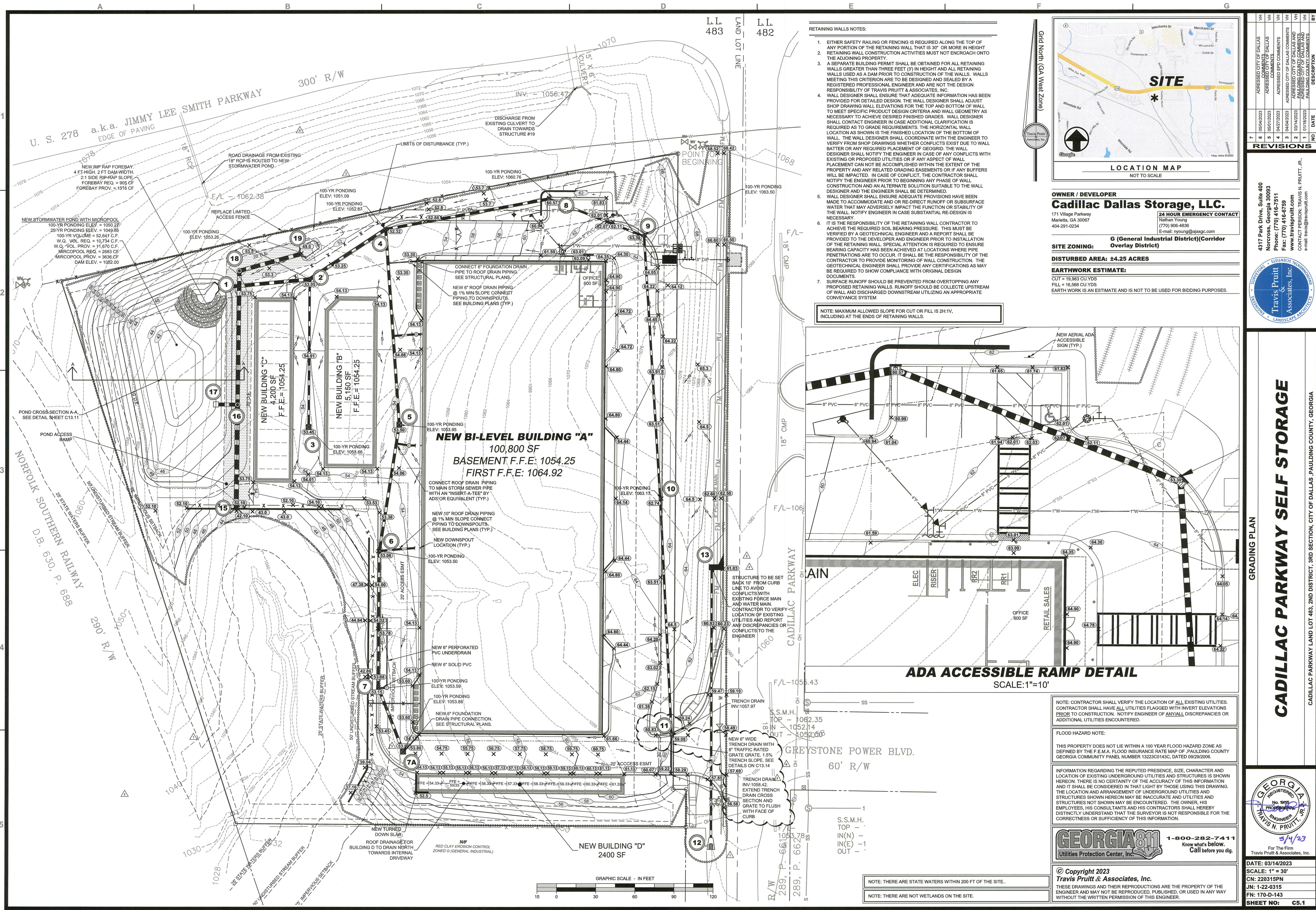
date: 03/31/23

scale: As indicated

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drawing no.





- RETAINING WALLS NOTES:**
1. EITHER SAFETY RAILING OR FENCING IS REQUIRED ALONG THE TOP OF ANY PORTION OF THE RETAINING WALL THAT IS 30" OR MORE IN HEIGHT. RETAINING WALL CONSTRUCTION ACTIVITIES MUST NOT ENCROACH ONTO THE ADJOINING PROPERTY.
  2. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN THREE FEET (3') IN HEIGHT AND ALL RETAINING WALLS USED AS A DAM PRIOR TO CONSTRUCTION OF THE WALLS. WALLS MEETING THIS CRITERION ARE TO BE DESIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER AND ARE NOT THE DESIGN RESPONSIBILITY OF TRAVIS PRUITT & ASSOCIATES, INC.
  3. WALL DESIGNER SHALL ENSURE THAT ADEQUATE INFORMATION HAS BEEN PROVIDED FOR DETAILED DESIGN. THE WALL DESIGNER SHALL ADJUST SHOP DRAWING WALL ELEVATIONS FOR THE TOP AND BOTTOM OF WALL TO MEET SPECIFIC PRODUCT DESIGN CRITERIA AND WALL GEOMETRY AS NECESSARY TO ACHIEVE DESIRED FINISHED GRADES. WALL DESIGNER SHALL CONTACT ENGINEER IN CASE ADDITIONAL CLARIFICATION IS REQUIRED AS TO GRADE REQUIREMENTS. THE HORIZONTAL WALL LOCATION AS SHOWN IS THE FINISHED LOCATION OF THE BOTTOM OF WALL. THE WALL DESIGNER SHALL COORDINATE WITH THE ENGINEER TO VERIFY FROM SHOP DRAWINGS WHETHER CONFLICTS EXIST DUE TO WALL BATTER OR ANY REQUIRED PLACEMENT OF GEOTRID. THE WALL DESIGNER SHALL NOTIFY THE ENGINEER IN CASE OF ANY CONFLICTS WITH EXISTING OR PROPOSED UTILITIES OR IF ANY ASPECT OF WALL PLACEMENT CAN NOT BE ACCOMPLISHED WITHIN THE EXTENT OF THE PROPERTY AND ANY RELATED GRADING EASEMENTS OR IF ANY BUFFERS WILL BE IMPACTED. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO BEGINNING ANY PHASE OF WALL CONSTRUCTION AND AN ALTERNATE SOLUTION SUITABLE TO THE WALL DESIGNER AND THE ENGINEER SHALL BE DETERMINED.
  4. WALL DESIGNER SHALL ENSURE ADEQUATE PROVISIONS HAVE BEEN MADE TO ACCOMMODATE AND/OR RE-DIRECT RUNOFF OR SUBSURFACE WATER THAT MAY ADVERSELY IMPACT THE FUNCTION OR STABILITY OF THE WALL. NOTIFY ENGINEER IN CASE SUBSTANTIAL RE-DESIGN IS NECESSARY.
  5. IT IS THE RESPONSIBILITY OF THE RETAINING WALL CONTRACTOR TO ACHIEVE THE REQUIRED SOIL BEARING PRESSURE. THIS MUST BE VERIFIED BY A GEOTECHNICAL ENGINEER AND A REPORT SHALL BE PROVIDED TO THE DEVELOPER AND ENGINEER PRIOR TO INSTALLATION OF THE RETAINING WALL. SPECIAL ATTENTION IS REQUIRED TO ENSURE BEARING CAPACITY HAS BEEN ACHIEVED AT LOCATIONS WHERE PIPE PENETRATIONS ARE TO OCCUR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE MONITORING OF WALL CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHALL PROVIDE ANY CERTIFICATIONS AS MAY BE REQUIRED TO SHOW COMPLIANCE WITH ORIGINAL DESIGN DOCUMENTS.
  6. SURFACE RUNOFF SHOULD BE PREVENTED FROM OVERTOPPING ANY PROPOSED RETAINING WALLS. RUNOFF SHOULD BE COLLECTED UPSTREAM OF WALL AND DISCHARGED DOWNSTREAM UTILIZING AN APPROPRIATE CONVEYANCE SYSTEM.

NOTE: MAXIMUM ALLOWED SLOPE FOR CUT OR FILL IS 2H:1V, INCLUDING AT THE ENDS OF RETAINING WALLS.



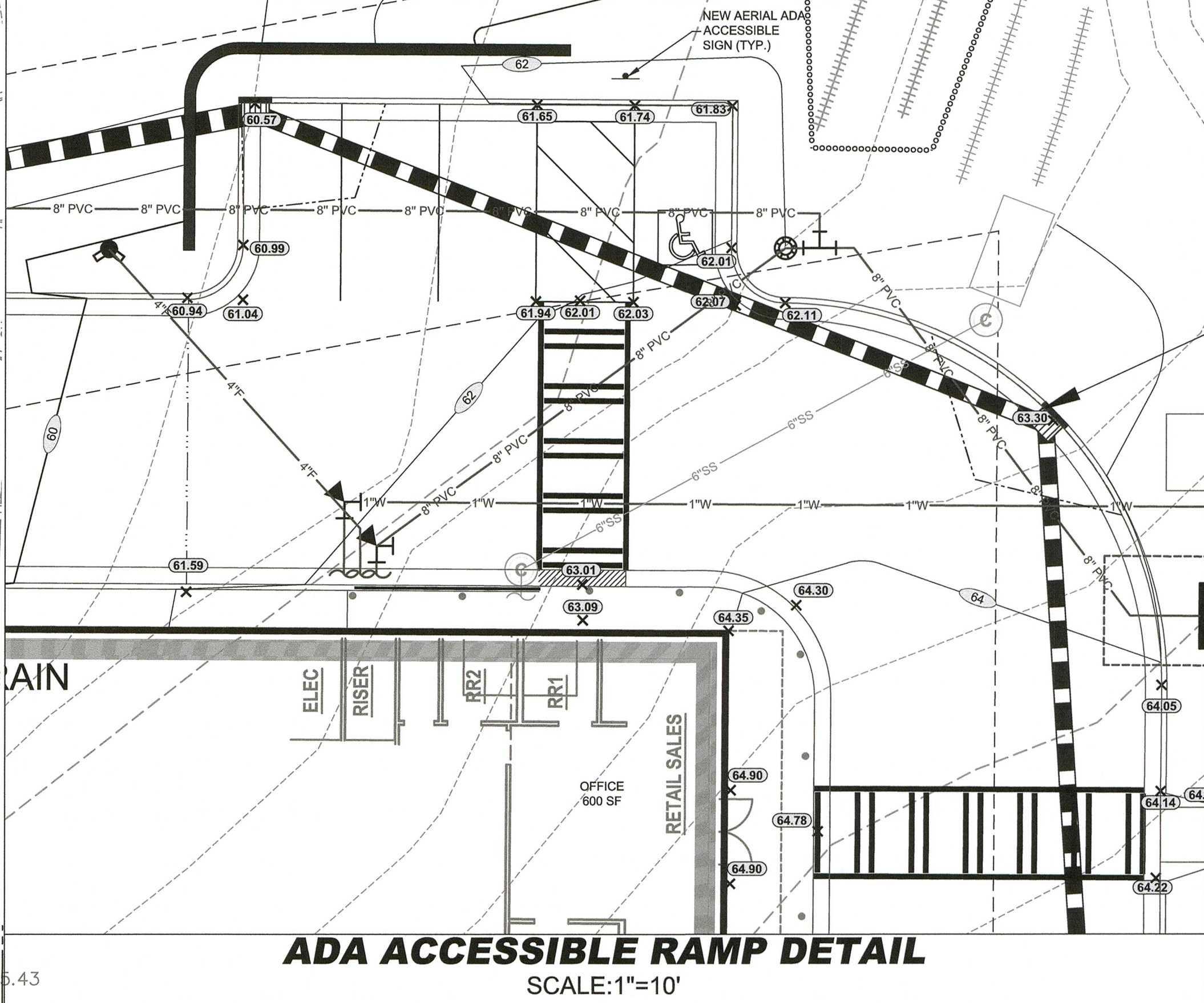
**OWNER / DEVELOPER**  
**Cadillac Dallas Storage, LLC.**  
 Nathan Young  
 171 Village Parkway  
 Marietta, GA 30067  
 404-291-0234  
 24 HOUR EMERGENCY CONTACT  
 Nathan Young  
 (770) 906-4836  
 E-mail: nryoung@ajaxgc.com

**SITE ZONING:** G (General Industrial District)(Corridor Overlay District)  
**DISTURBED AREA: 24.25 ACRES**  
**EARTHWORK ESTIMATE:**  
 CUT = 19,983 CU YDS  
 FILL = 16,588 CU YDS  
 EARTH WORK IS AN ESTIMATE AND IS NOT TO BE USED FOR BIDDING PURPOSES.

NO.	DATE	DESCRIPTION
1	03/14/2023	ISSUED FOR PERMIT
2	03/14/2023	ADDED COMMENTS
3	03/14/2023	ADDED COMMENTS
4	03/14/2023	ADDED COMMENTS
5	03/14/2023	ADDED COMMENTS
6	03/14/2023	ADDED COMMENTS
7	03/14/2023	ADDED COMMENTS

4317 Park Drive, Suite 400  
 Norcross, Georgia 30093  
 Phone: (770) 416-2511  
 Fax: (770) 416-6759  
 www.travisprutt.com  
 CONTACT PERSON: TRAVIS N. PRUITT, JR.  
 Email: tnprutt@travisprutt.com

**Travis Pruitt & Associates, Inc.**  
 ENGINEER  
 LANDSCAPE ARCHITECT



NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

**FLOOD HAZARD NOTE:**  
 THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF PAULDING COUNTY GEORGIA COMMUNITY PANEL NUMBER 1322C0143C, DATED 09/29/2006.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

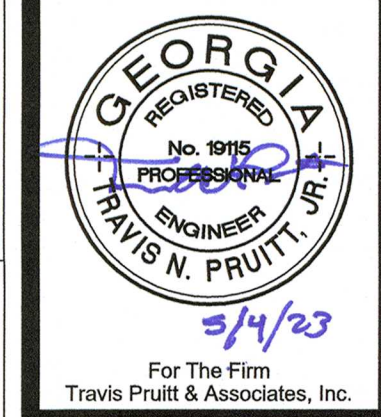
**GEORGIA811**  
 Utilities Protection Center, Inc.  
 1-800-282-7111  
 Know what's below. Call before you dig.

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GRADING PLAN

**CADILLAC PARKWAY SELF STORAGE**

CADILLAC PARKWAY LAND LOT 483, 2ND DISTRICT, 3RD SECTION, CITY OF DALLAS, PAULDING COUNTY, GEORGIA



DATE: 03/14/2023  
 SCALE: 1" = 30'  
 CN: 220315PN  
 JN: 1-22-0315  
 FN: 170-D-143  
**SHEET NO: C5.1**



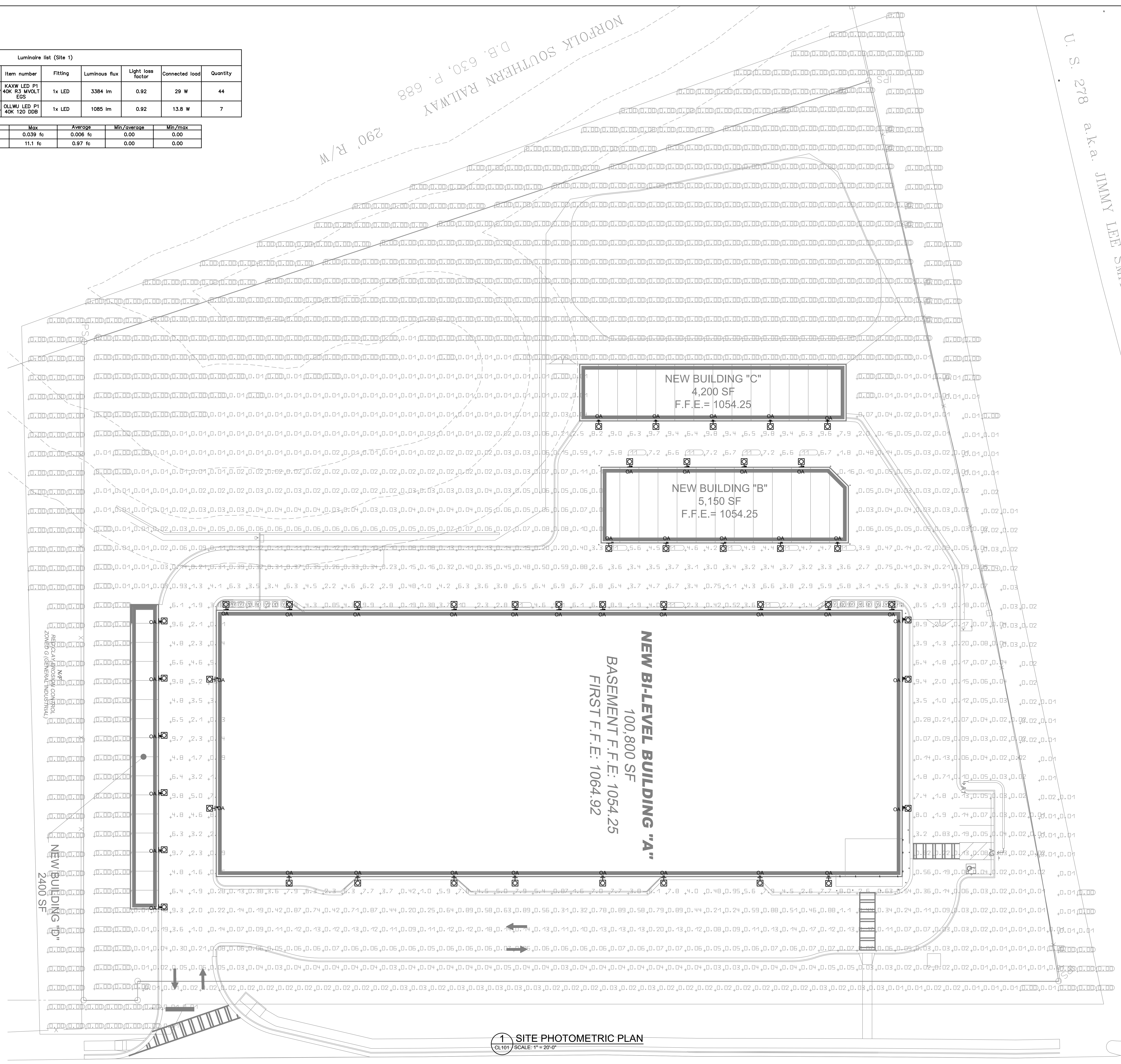
Luminaire list (Site 1)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
0A	Lithonia Lighting	KAXW LED PERFORMANCE PACKAGE 1, 4000K, TYPE 3, 120-277V, HOUSE-SIDE SHELL	KAXW LED P1 40K R3 MVOLT ESS	1x LED	3384 lm	0.92	29 W	44
0B	Lithonia Lighting	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	QLLWJ LED P1 40K 120 DDB	1x LED	1085 lm	0.92	13.8 W	7

#	Name	Parameter	Min	Max	Average	Min/Average	Min/Max
1	Off Property	Perpendicular Illuminance	0.00 fc	0.039 fc	0.006 fc	0.00	0.00
2	On Property	Perpendicular Illuminance	0.00 fc	11.1 fc	0.97 fc	0.00	0.00

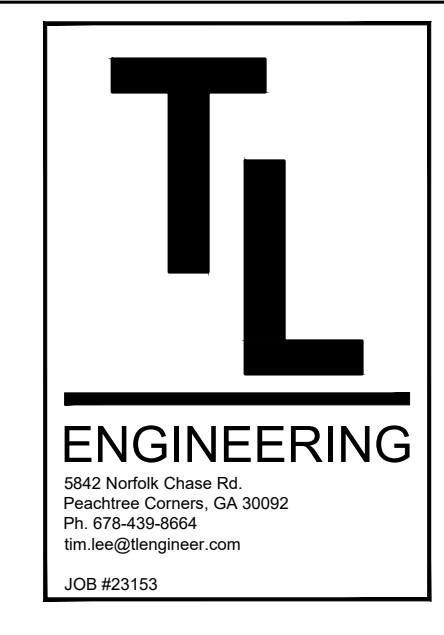
**PHOTOMETRICS NOTES**

1. THE PHOTOMETRIC VALUES SHOWN ON THIS PLAN HAVE BEEN CALCULATED USING DIALux evo 9.1 (VERSION 5.9.1.51180). ACTUAL PERFORMANCE OF LUMINAIRES MAY DIFFER DUE TO VARIATIONS OF VOLTAGE, TOLERANCES IN LAMPS, ELEVATION CHANGES, TREES, OBSTRUCTIONS, AND OTHER FIELD CONDITIONS.

2. DUE TO LIMITED AVAILABILITY OF .IES FILES FROM MOST LIGHTING MANUFACTURERS, THE LUMINAIRE MODEL NUMBER(S) USED FOR PHOTOMETRIC CALCULATIONS MAY DIFFER FROM ACTUAL MODEL NUMBERS. SEE LIGHT FIXTURE SCHEDULE FOR ACTUAL MODEL NUMBERS.



1 SITE PHOTOMETRIC PLAN  
CL101 SCALE: 1" = 20'-0"



SELF STORAGE - CADILLAC PKWY  
140 CADILLAC PKWY  
DALLAS, GA 30157  
Issue: ISSUED FOR PERMIT  
date: 03.24.23

SITE PHOTOMETRIC PLAN

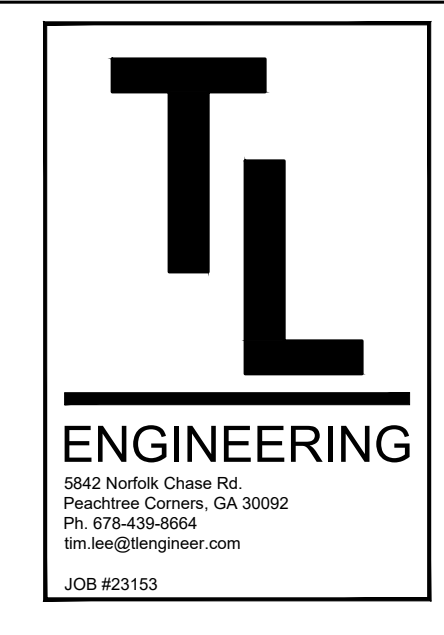
date: 03/24/23  
scale: As indicated

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drawing no.

CL101





TERMINUS DESIGN GROUP, LLC
135 ALBURN AVE NE
SUITE 205
ATLANTA, GA 30303
w: terminusdesigngroup.com | p: (770) 799-6552
e: info@terminusdesigngroup.com | ig: @terminusdesigngroup



Specifications
Length: 14" (354mm)
Width: 12" (304mm)
Height: 5" (127mm)
Weight (max): 19.7 lbs (896g)

Category Number
Notes
Type

Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability
This luminaire is part of an A+ Certified solution for RCM or XPoint Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background
To learn more about A+ visit www.acuitybrands.com/a+.
1. See ordering tree for details.

Ordering Information EXAMPLE: KAXW LED P3 40K R3 MWOLT DDBXD
Series LED Performance Package Color Temperature Distribution Voltage Mounting Control options Fixture options Finish options
KAXW LED P1 P2 P3 30K 4000K 5000K R1 R2 R3 Type 1 Type 2 Type 3 Type 4 MWOLT 120V 277V 480V Shipped installed Shipped installed Shipped installed
Notes: 1. MFCCT driver operates on any line voltage from 120-277V (50/60 Hz). 2. Not available in any T11 performance package. 3. Not available with RCM/AM. See PERS or PERF option. 4. Physical cabinet and shipped as a separate line item from Acuity Brands Controls. See Accessories Information. 5. RCM/AM code required. It must be ordered and shipped as a separate line item from Acuity Brands Controls. 6. Specify line driver details (MFCCT, DCOP, control) see Outdoor Control Information for details. Shipping class depends. Not available with PERS or PERF. Must specify 120V or 277V. Requires PER or PERF option. 7. Not available with PERS or PERF system. 8. Must specify 120, 277, or 480V option. 9. Must specify 20, 240, or 480V option. 10. Also available as a separate accessory, see Accessories Information. 11. Requires a controller supplied by OEM or compatible listing. 12. Requires luminaire to be specified with PERL, PERS, or PERF option. Colored and shipped as a separate line item from Acuity Brands Controls.
Accessories
BUSSER 13300 - Neutral (100 base ball 120-277V)
BUSSER 13300-0 - Neutral (100 base ball 120-277V)
BUSSER 13300-1 - Neutral (100 base ball 120-277V)
BUSSER 13300-2 - Neutral (100 base ball 120-277V)
DDBXD 080 - Downlight
DDBXD 081 - Downlight
DDBXD 082 - Downlight
DDBXD 083 - Downlight

Performance Data

Lumen Output
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configuration shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.
Table with columns: Performance Package, Color Temp, Fix Type, CCT, CRI, Beam Angle, Lumens, etc.

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperature.
Table with columns: Ambient Temp, P1, P2, P3

Electrical Load
Table with columns: Performance Package, Voltage, Watts, Amps, etc.

Projected LED Lumen Maintenance
Table with columns: Operating Hours, 20,000, 50,000, 100,000

PER Table
Table with columns: Control, PERS, PERS (5 wires), PERF (7 wires)

Category Number
Notes
Type

FEATURES & SPECIFICATIONS
INTENDED USE: Provides years of maintenance-free illumination for outdoor use in residential & commercial applications.
CONSTRUCTION: Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish.
OPTICS: 4000K CCT LEDs. Polycarbonate lens protects the LED from moisture, dirt and other contaminants.
ELECTRICAL: MFCCT driver operates on any line voltage from 120-277V. Operating temperature: -30°C to 40°C.
INSTALLATION: Surface mounts to external junction box (provided by others).
LISTINGS: UL Listed to US and Canadian safety standards for wet locations.
WARRANTY: 5-year limited warranty.
Note: Actual performance may differ as a result of end-user environment and application. All values are design typical values, measured under laboratory conditions at 23 °C. Specifications subject to change without notice.

ORDERING INFORMATION
Table with columns: Series, Performance Package, Color temperature (CCT), Voltage, Finish

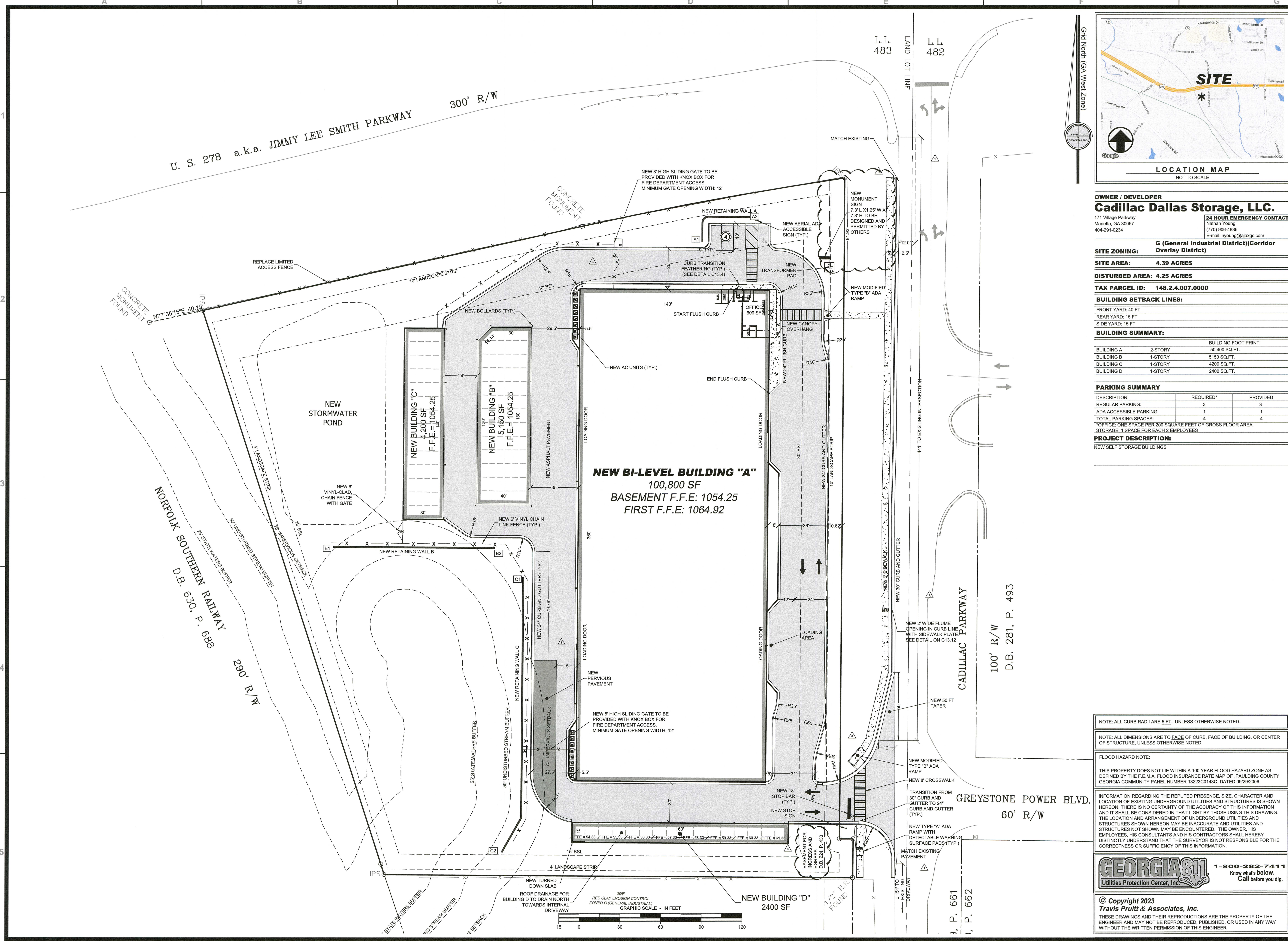
Example: OLLWD LED P1 40K MWOLT DDB
Table with columns: Series, Performance Package, Color temperature (CCT), Voltage, Finish

SELF STORAGE - CADILLAC PKWY
140 CADILLAC PKWY
DALLAS, GA 30157
Issue: ISSUED FOR PERMIT
date: 03/24/23
revision # date description

date: 03/24/23
scale: As indicated
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drawing no. CL102
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**OWNER / DEVELOPER**  
**Cadillac Dallas Storage, LLC.**  
 171 Village Parkway  
 Marietta, GA 30067  
 404-291-0234  
 Nathan Young  
 (770) 906-4836  
 E-mail: nyoung@ajaxgc.com

**SITE ZONING:** G (General Industrial District)(Corridor Overlay District)  
**SITE AREA:** 4.39 ACRES  
**DISTURBED AREA:** 4.25 ACRES  
**TAX PARCEL ID:** 148.2.4.007.0000

**BUILDING SETBACK LINES:**

**BUILDING SUMMARY:**

	BUILDING FOOT PRINT:
BUILDING A	2-STORY 50,400 SQ.FT.
BUILDING B	1-STORY 5150 SQ.FT.
BUILDING C	1-STORY 4200 SQ.FT.
BUILDING D	1-STORY 2400 SQ.FT.

**PARKING SUMMARY**

DESCRIPTION	REQUIRED*	PROVIDED
REGULAR PARKING:	3	3
ADA ACCESSIBLE PARKING:	1	1
TOTAL PARKING SPACES:	4	4

\*OFFICE: ONE SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA.  
 STORAGE: 1 SPACE FOR EACH 2 EMPLOYEES

**PROJECT DESCRIPTION:**  
 NEW SELF STORAGE BUILDINGS

**REVISIONS**

NO	DATE	DESCRIPTION
1	03/14/2023	ISSUED FOR PERMITS
2	03/14/2023	ADDED EASEMENT
3	03/14/2023	ADDED CITY OF DALLAS COMMENTS
4	03/14/2023	ADDED CITY OF DALLAS COMMENTS
5	03/14/2023	ADDED CITY OF DALLAS COMMENTS
6	03/14/2023	ADDED CITY OF DALLAS COMMENTS
7	03/14/2023	ADDED CITY OF DALLAS COMMENTS

4317 Park Drive, Suite 400  
 Norcross, Georgia 30093  
 Phone: (770) 416-7511  
 Fax: (770) 416-6759  
 www.travispruit.com  
 CONTACT PERSON: TRAVIS N. PRUITT, JR.  
 Email: travis@travispruit.com

**SITE PLAN**

**CADILLAC PARKWAY SELF STORAGE**

CADILLAC PARKWAY LAND LOT 483, 2ND DISTRICT, 3RD SECTION, CITY OF DALLAS, PAULDING COUNTY, GEORGIA

**GEORGIA 811**  
 Utilities Protection Center, Inc. 1-800-282-7411  
 Know what's below. Call before you dig.

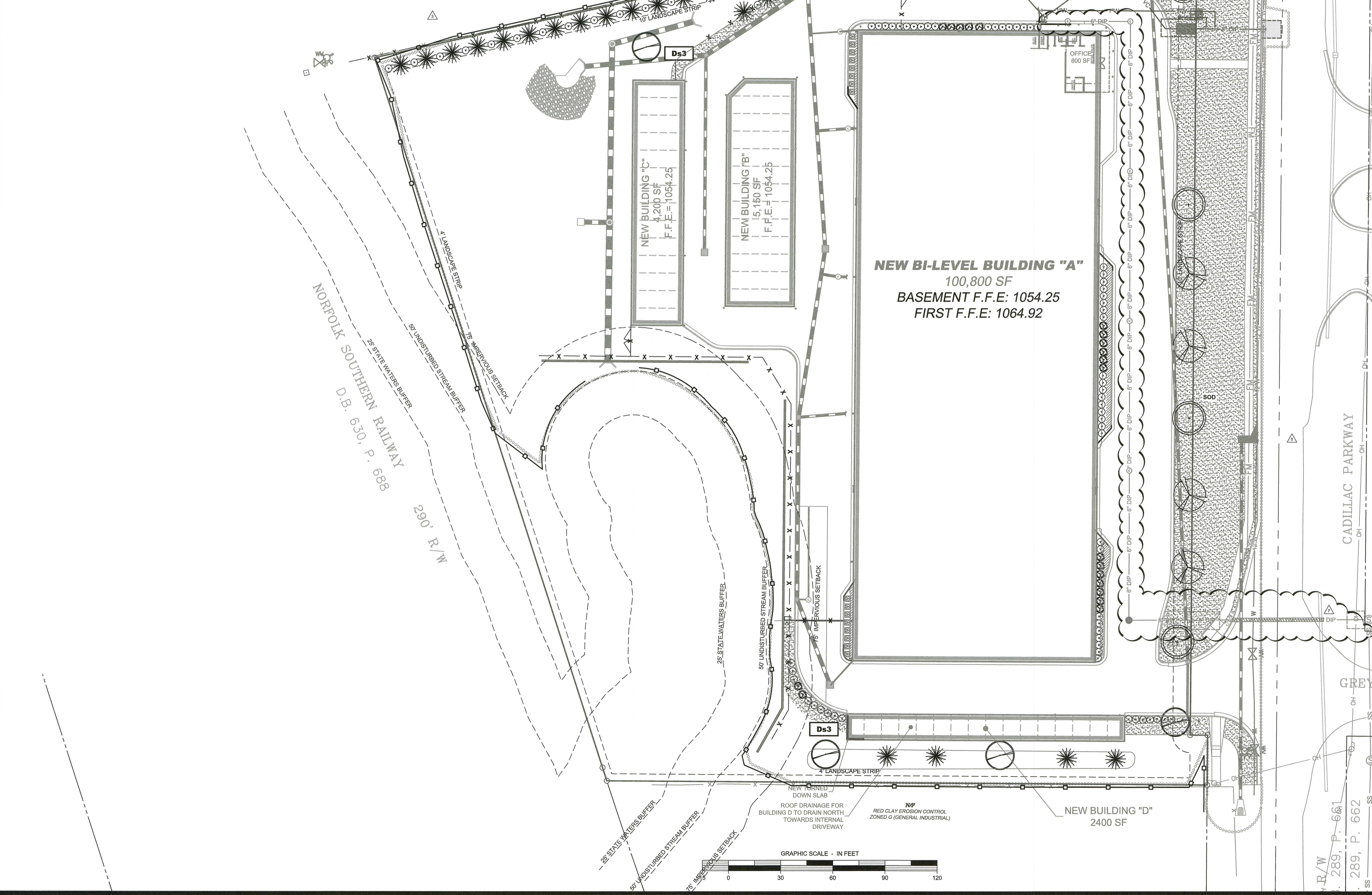
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**DATE:** 03/14/2023  
**SCALE:** 1" = 30'  
**CN:** 220315PN  
**JN:** 1-22-0315  
**FN:** 170-D-143  
**SHEET NO:** C3.1



Plant Schedule							
SYM	Count	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
AE	5	Ulmus parvifolia 'Frontier'	ALLE ELM	8-10' ht 2" cal	b&b	40' oc	Matching
EC	35	Juniperus virginiana	E. RED CEDAR	8-10' ht 2" cal	b&b	20' o.c.	Matching
PO	4	Quercus phellos 'Hightower'	WILLOW OAK	8-10' ht 2" cal	b&b	40' oc	Full to ground
RM	4	Acer rubrum 'Red Vase'	RED MAPLE	8-10' ht 2" cal	b&b	40' oc	Matching
<b>TREES</b>	<b>48</b>						
BH	114	Ilex glabra 'Green Magic'	INKBERRY HOLLY	3 gal	con	4' oc	
HG	31	Juniperus chinensis 'Armstrong'	CHINESE JUNIPER	3 gal	con	5' oc	
<b>SHRUBS</b>	<b>145</b>						

GROUNDCOVERS							
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPAC'G	NOTES
LM	800	Liriope muscarii 'Big Blue' Daffodil jonqll	BIG BLUE LIRIOPE AND DAFFODIL MIX	2.25"	pot	1' oc	MIX DAFFODILS AT A RATE OF 1/6 LIRIOPE

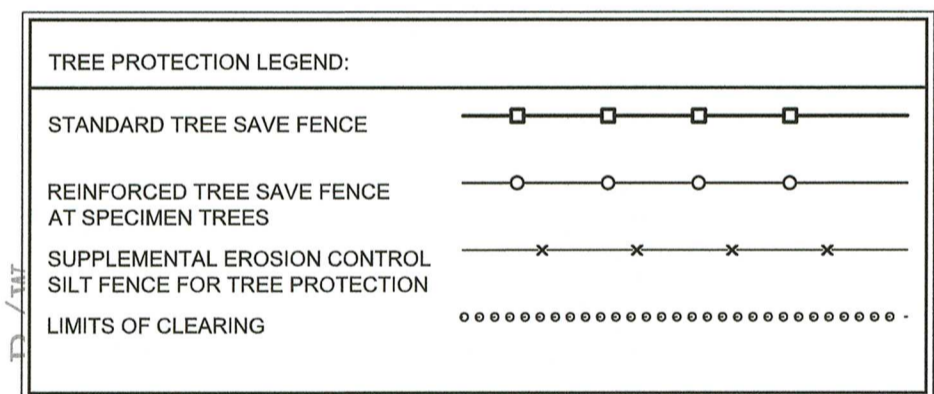


**OWNER / DEVELOPER**  
**Cadillac Dallas Storage, LLC.**  
 Nathan Young  
 Marietta, GA 30067  
 404-291-0234  
 E-mail: nyoung@ajaxgc.com

**24 HOUR EMERGENCY CONTACT**  
 (770) 906-4836

- PLANTING NOTES:**
- Size and grading standards of plant material shall conform to the latest edition of American Standard for Nursery Stock by the American Association of Nurserymen.
  - The landscape contractor must contact the engineer if existing conditions on site differ significantly different from the plan.
  - See Construction Detail sheets for planting details.
  - For new planting areas, contractor shall remove all pavement, gravel sub-base and construction debris. Remove compacted soil, and add 24" of topsoil, or amend the top 24" of existing soil to meet specifications, unless noted otherwise.
  - The planting soil for shrubs will consist of 33% ground pine bark humus, well-mixed with 67% of improved soil, which is excavated soil having rocks, clumps, and debris greater than 2" in diameter removed. No additional soil amendments are required for trees. Groundcover and perennial beds shall be prepared and amended according to specifications.
  - All strapping and top 12" of wire baskets shall be cut away and removed from the root ball by the contractor prior by the contractor to backfill of planting hole. Contractor shall remove top 1/3 of burlap from the root ball.
  - Contractor shall mulch all shrub beds and under trees with 3" (setted depth) of clean pine straw, unless noted otherwise.
  - Minimum (8) sq.ft. planting area provided for each tree.
  - All disturbed areas to be sodded with bermuda unless otherwise noted. All areas designated for sod must be fine-graded. Level any undulations or irregularities, while maintaining positive drainage. Hand rake and smooth, removing all rocks larger than 1" from the surface. Use metal screen or wooden drag on larger surfaces. Contact the landscape architect for an inspection of the fine-graded surface prior to any sod installation.
  - All slopes steeper than 3:1 shall be planted with groundcovers or shrubs.

- IRRIGATION NOTES:**
- The contractor is to provide an irrigation system, if required. Submit a plan for an automatically controlled irrigation system to the owner or the owner's representative for review and approval prior to installation. The system shall be designed to provide full and complete coverage to all landscaped areas of the site indicated on the landscape plan.
  - All materials used in the design, including sprinkler heads, valves, valve boxes, controllers, pumps, backflow preventers, rain and freeze sensors, drip equipment, wire, electrical connections, PVC pipe and fittings, shall meet minimum industry standards. Manufacturer and model must be specified.



NOTE: THERE ARE STATE WATERS WITHIN 200 FT OF THE SITE.

NOTE: THERE ARE NOT WETLANDS ON THE SITE.

NOTE: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL HAVE ALL UTILITIES FLAGGED WITH INVERT ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY/ALL DISCREPANCIES OR ADDITIONAL UTILITIES ENCOUNTERED.

**FLOOD HAZARD NOTE:**  
 THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF PAULDING COUNTY GEORGIA COMMUNITY PANEL NUMBER 13223C0143C, DATED 09/29/2006.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.



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6	03/14/2023	ISSUED FOR PERMIT
7	03/14/2023	ISSUED FOR PERMIT

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 Fax: (770) 416-6729  
 www.travispruitt.com  
 CONTACT PERSON: TRAVIS N. PRUITT, JR.  
 E-mail: travis@travispruitt.com

**LANDSCAPE PLAN**

**CADILLAC PARKWAY SELF STORAGE**

CADILLAC PARKWAY LAND LOT 483, 2ND DISTRICT, 3RD SECTION, CITY OF DALLAS, PAULDING COUNTY, GEORGIA

For The Firm  
 Travis Pruitt & Associates, Inc.  
 DATE: 03/14/2023  
 SCALE: 1" = 30'  
 CN: 220315PN  
 JUN: 1-22-0315  
 FN: 170-D-143  
**SHEET NO: C11.1**