



CITY OF DAHLONEGA

Historic Preservation Commission Agenda

August 26, 2024, 6:00 PM

City Hall - Mayor McCullough Council Chamber

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 706-864-6133.

Vision – Dahlonega will be the most welcoming, thriving, and inspiring community in North Georgia

Mission Statement - Dahlonega, a City of Excellence, will provide quality services through ethical leadership and fiscal stability, in full partnership with the people who choose to live, work, and visit. Through this commitment, we respect and uphold our rural Appalachian setting to honor our thriving community of historical significance, academic excellence, and military renown.

CALL TO ORDER

MINUTES FOR APPROVAL

1. Historic Preservation Commission Work Session Minutes - June 12, 2024
Assistant City Clerk, Sarah Waters

OLD BUSINESS

1. COA CASES FOR APPROPRIATENESS

NEW BUSINESS

1. COA - CASES FOR APPROPRIATENESS
2. (COA-24-3) Steven Scales, on behalf of Tandra J. Scales, has applied for a Certificate of Appropriateness to reconstruct and expand upon an existing outdoor deck at 19 North Chestatee Street, Dahlonega, GA 30533 (D11-004).
Zachary Lloyd, CPL
3. (COA-24-4) J. Allen Head has applied for a Certificate of Appropriateness to paint the exterior walls and roof of the principal building at 75 Grove Street North, Dahlonega, GA 30533 (D11-044).
Zachary Lloyd, CPL
4. (COA-24-5) Freida Welch-Bafile, on behalf of Fred Welch, has applied for a Certificate of Appropriateness to structurally cover a deck and enclose a veranda at 84 South Chestatee Street, Dahlonega, GA 30533 (D11-100).
Zachary Lloyd, CPL
5. (COA-24-6) Freida Welch-Bafile, on behalf of Fred Welch, has applied for a Certificate of Appropriateness for demolitions, material changes in appearance, and a structural addition at 200 Grove Street North, Dahlonega, GA 30533 (D10-030).
Zachary Lloyd, CPL

6. DESIGN AND REVIEW OF PROJECTS
ADJOURNMENT

Guideline Principles - The City of Dahlonega will be an open, honest, and responsive city that balances preservation and growth and delivers quality services fairly and equitably by being good stewards of its resources. To ensure the vibrancy of our community, Dahlonega commits to Transparency and Honesty, Dedication and Responsibility, Preservation and Sustainability, Safety and Welfare ...for ALL!



CITY OF DAHLONEGA

Historic Preservation Commission Work Session Minutes

June 12, 2024, 6:00 PM

Gary McCullough Chambers, Dahlonega City Hall

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 706-864-6133.

Vision – Dahlonega will be the most welcoming, thriving, and inspiring community in North Georgia

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CALL TO ORDER

City Manager Martin asked the clerk to record no quorum present for the work session. City Manager Martin then stated that the members present for the work session decided to hear the Carriage House Conceptual Plan to provide feedback as the owner plans to apply for a grant. The members also agreed to review the Sunrise Rotary Clock Donation as they are both time sensitive. No action will be taken at this meeting, and the other items will roll over to the regular meeting. The meeting started at 6:00 P.M.

PRESENT

Commission Member Ivana Pelnar-Zaiko
Commission Member Jim Bergen

ABSENT

Chairperson Ellen Mirakovits
Commission Member Janet Barger

MINUTES FOR APPROVAL

OLD BUSINESS

1. COA - CASES FOR APPROPRIATENESS
There was no old business.

NEW BUSINESS

2. COA - CASES FOR APPROPRIATENESS
There was nothing discussed.
3. DESIGN AND REVIEW OF PROJECTS
There was nothing discussed.
4. COA-24-2 - MBVMGO, LLC DBA UNDERGROUND
Zachary Lloyd, CPL
Strategic Priority - Communication

There was nothing discussed. This item will be moved to the regular meeting agenda for review, discussion, and potential decision by the HPC.

5. Dahlonge Sunrise Rotary Clock Donation

Allison Martin, City Manager

Strategic Priority - Communication

City Manager Martin reviewed the details of the Dahlonge Sunrise Rotary Clock Donation.

There was discussion over this topic regarding the look of the clock. It was explained that the spire on top of the clock was necessary to keep birds from roosting. The fancy scroll work on the clock was debated as we are not a Victorian based town. It was explained that most of the detail work will be covered by plaques which will have the city's name, year of incorporation, and the Rotary name/logo.

6. Carriage House Conceptual Plan and Grant Opportunity

Allison Martin and Property Owner

Strategic Priority - Communication

City Manager Martin informed the group that the Carriage House has a new owner who intends to apply for a small business loan. As part of this application, they require a letter of support from the Mayor. Downtown Development Authority Director Alexander and Mrs. Martin have already discussed this matter with the Mayor. The Mayor wanted the Historic Preservation Committee to review the project first to ensure its compliance with preservation guidelines. Tonight, they are presenting this information for review.

City Manager Martin then invited the owner of the Carriage House to address the meeting. There was discussion that this is just a courtesy review to provide feedback prior to the grant application. Nothing said in this meeting is binding on either the HPC, City, or property owner. The owner stated she understood that she would be required to submit a formal application to the HPC before any work could begin on the exterior of the structure.

The Carriage House owner presented the detailed plans to the Commission Members.

Commission Members raised questions regarding property lines.

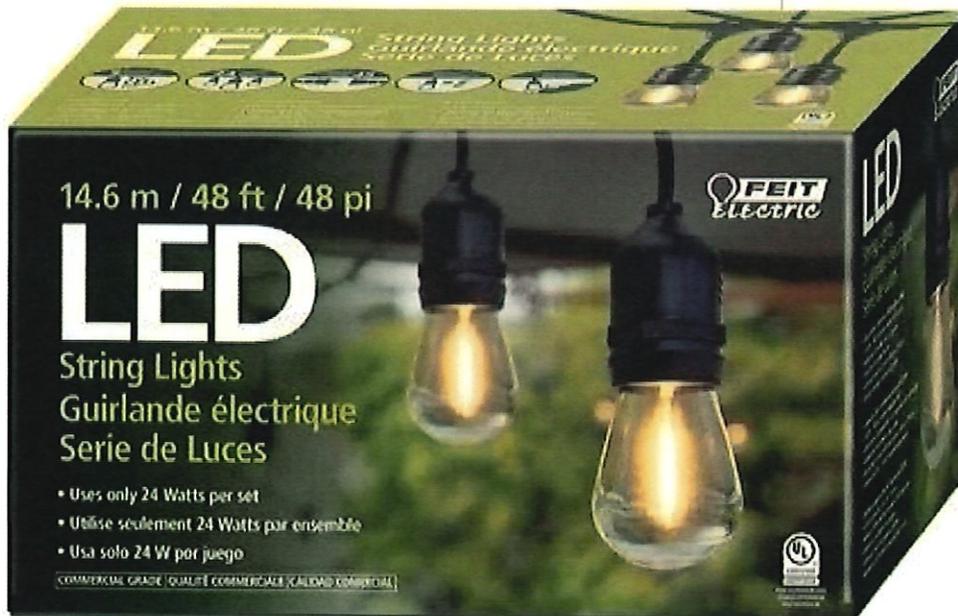
Commission Member Bergen recommended installing a sidewalk railing for safety.

Commission Member Zaiko inquired about the parking logistics and the required spaces for a restaurant.

ADJOURNMENT

City Manager Martin stated that the meeting ended at 6:57 P.M.

Guideline Principles - The City of Dahlonge will be an open, honest, and responsive city that balances preservation and growth and delivers quality services fairly and equitably by being good stewards of its resources. To ensure the vibrancy of our community, Dahlonge commits to Transparency and Honesty, Dedication and Responsibility, Preservation and Sustainability, Safety and Welfare ...for ALL!



Property Owner's Certification

I hereby request the action contained with this application relative to the property indicated herein be placed on the Historic Preservation Commission agenda(s) for consideration. I understand that the Planning and Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented. I understand that I have the obligation to present all data necessary and required by statute to enable the Historic Preservation Commission to make an informed determination on my request. I will seek the advice of an attorney if I am not familiar with the requirements. I understand that my request will be acted upon at the Historic Preservation Commission meeting(s) and that I am required to be present or to be represented by someone able to present all the facts. I understand that failure to appear at the meeting may result in the postponement or denial of my application. I further understand that it is my responsibility to be aware of relevant meeting dates and times regardless of notification from the City of Dahlonega. I hereby certify that I have read the above and that the above information as well as the attached information is true and accurate. I certify that I am the owner of the property described in the attached legal description, that all information contained in this application is true and correct to the best of my knowledge, and that the applicant and/or agent listed above is authorized to act as the applicant and/or agent in the pursuit of rezoning of this property.

Signature of Property Owner: Tamara Johnson Seales

Printed name of Property Owner: TAMARA Johnson Seales

Date of Signature: July 13, 2024

The property owner must sign and date this document in the presence of a notary public.

Notary Public

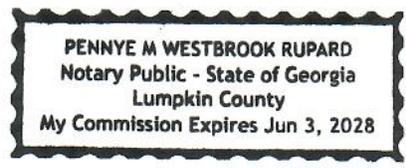
STATE OF GEORGIA, COUNTY OF Lumpkin.

Sworn and subscribed before me this 13 day of July, 2024.

Printed Name of Notary Public: Penny M. Westbrook Rupard

Signature and Seal of Notary Public: Penny Westbrook Rupard

Notary Public Commission Expiration Date: _____





Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:

A \$100 non-refundable fee;
A completed application and any required support materials listed on page 3.
Incomplete application will not be forwarded to HPC for review.

Plus \$50.00 sign fee

Application Deadline:

Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

Application Presentation:

The applicant or other representative must attend the public hearing to present the application.

Building Permit:

If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information

Only fill out the second Page if applicable

Office use only:
Date: _____
Project #: _____
Fee paid: _____
Hearing date: _____

CONTACT	Applicant*: <u>STEVE SCALES</u> Phone #: <u>813 624 4772</u> Mailing Address: <u>16 AIWU CT</u> <u>DAHLONEGA, GA, 30533</u>
PROPERTY AND PROJECT	Property Address: <u>19 NORTH CHESTNUT ST</u> Zoning: _____ Tax Parcel: <u>D11004</u> Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input type="checkbox"/> alteration <input checked="" type="checkbox"/> deck <input type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other Proposed starting date: <u>1 AUGUST</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to hereby indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/ or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p>Signature: <u>[Signature]</u> Date: <u>8/7/2024</u></p>



The Guidelines are available at City Hall and on the City's website. These guidelines also contain The Secretary of the Interior's standards for the rehabilitation of Historic Buildings.

Describe the proposed project attach additional sheets if necessary. If the project will involve more than one type of project please include and overall scope of work an include the description of all proposed materials. Please attach photos of materials. See attached application checklist.

REPLACE CURRENT DECK W/ NEW MATERIAL
* SEE PICTURES ATTACHED
REMOVE OLD DECKING
EXTEND DECK TO CHAIN LINK FENCE
REMOVE OVER GROWTH
COLORS WILL REMAIN THE SAME



APPLICATION CHECKLIST

A complete application requires support materials. Please include this completed form as part of the application along with the following :

For new building or an addition to an existing building or addition of a new porch, deck, outbuilding, patio etc...

Site plan with footprint of building including contour lines, location of all buildings, parking, fences, walls, porches, decks, etc. to be added

Architectural plans/building design including:

- Interior floor layout indicating exterior door and window locations
- Drawings of all building elevations – all sides of the building
- Location and description including photos of all exterior lights
- Description of design and materials for all exterior features including roof, doors, siding, windows, trim, porch pickets and handrails, foundation, cornices, handicap ramps, etc.

N/A

Include photos or drawings of each i.e. of doors, windows, trim, cornice, pickets etc.... Photos of proposed site and adjoining properties/buildings

Landscape plan including all hardscapes, walls, and fencing. Landscape plan should also include:

- List including names and types of all trees and plants over 36" high
- planting schedule
- Elevation drawings of all new facades and walls showing trees and plantings when grown to mature height
- List of all existing trees on the property noting any to be removed

Alterations to Building Exterior i.e. change in window or door, foundation, roof, siding, exterior lighting, porches, awnings or storefront, etc...

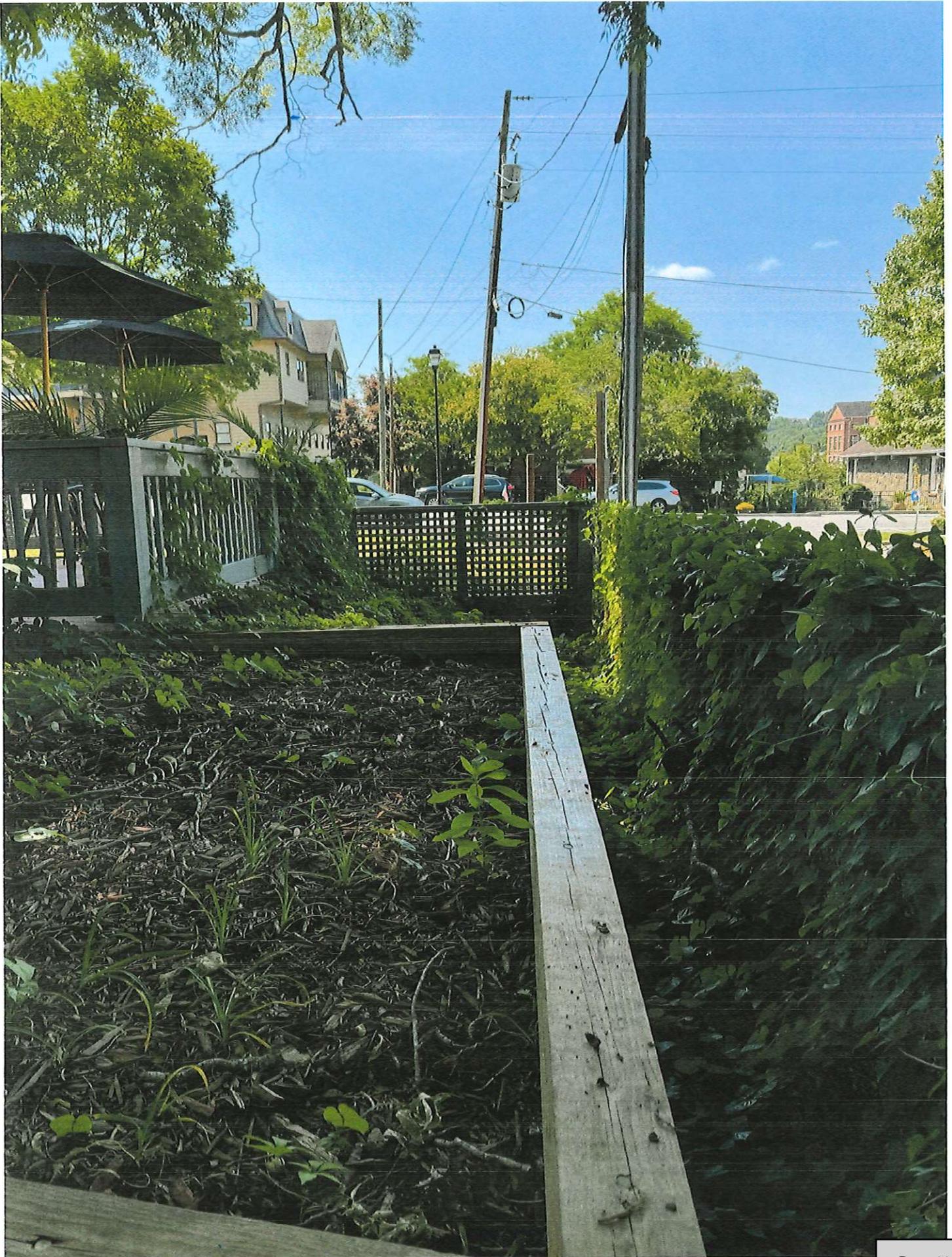
- Photo of existing building Photos of adjoining properties Photo of earlier historic appearance
- Sketches or drawings and description of proposed changes
- Description or picture of the type of material proposed for use in the alteration
- Photos or drawing of the building element to be altered i.e. doors, windows, trim, cornice, pickets etc....

SEE ATTACHED PHOTO

Site changes including parking areas, drives, walks, addition of fences, walls or outbuildings major landscape elements and including removal of large trees or shrubs

- Photo of site
- Photo of adjoining properties
- Site plan or sketch of site indicating location of changes
- Description of materials to be used
- Landscape plan (as described above)





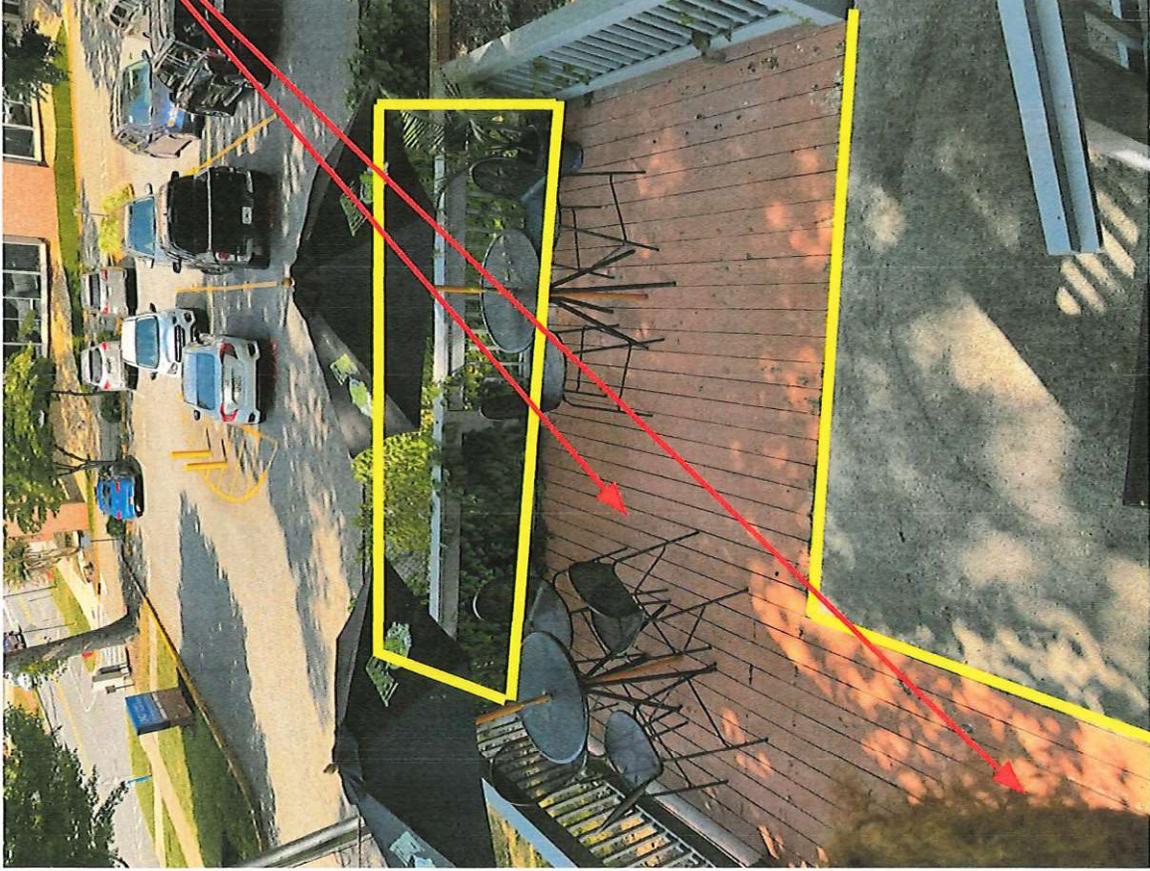
-Demolition will take 1-2 days

-Once complete, trucks will be utilized to remove debris

-Foundation will be poured and deck construction will begin

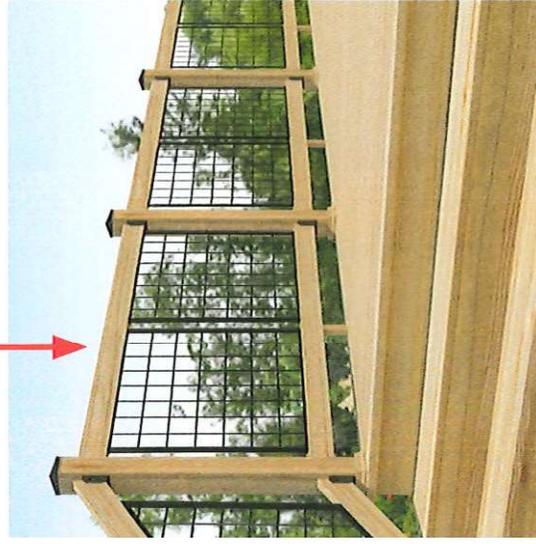
-Estimated 5-10 days to complete

-Will increase seating by 4-6 tables of (4) Same tables pictured



Replace Current wood portion of porch with New wood planks

Replace railings with below image



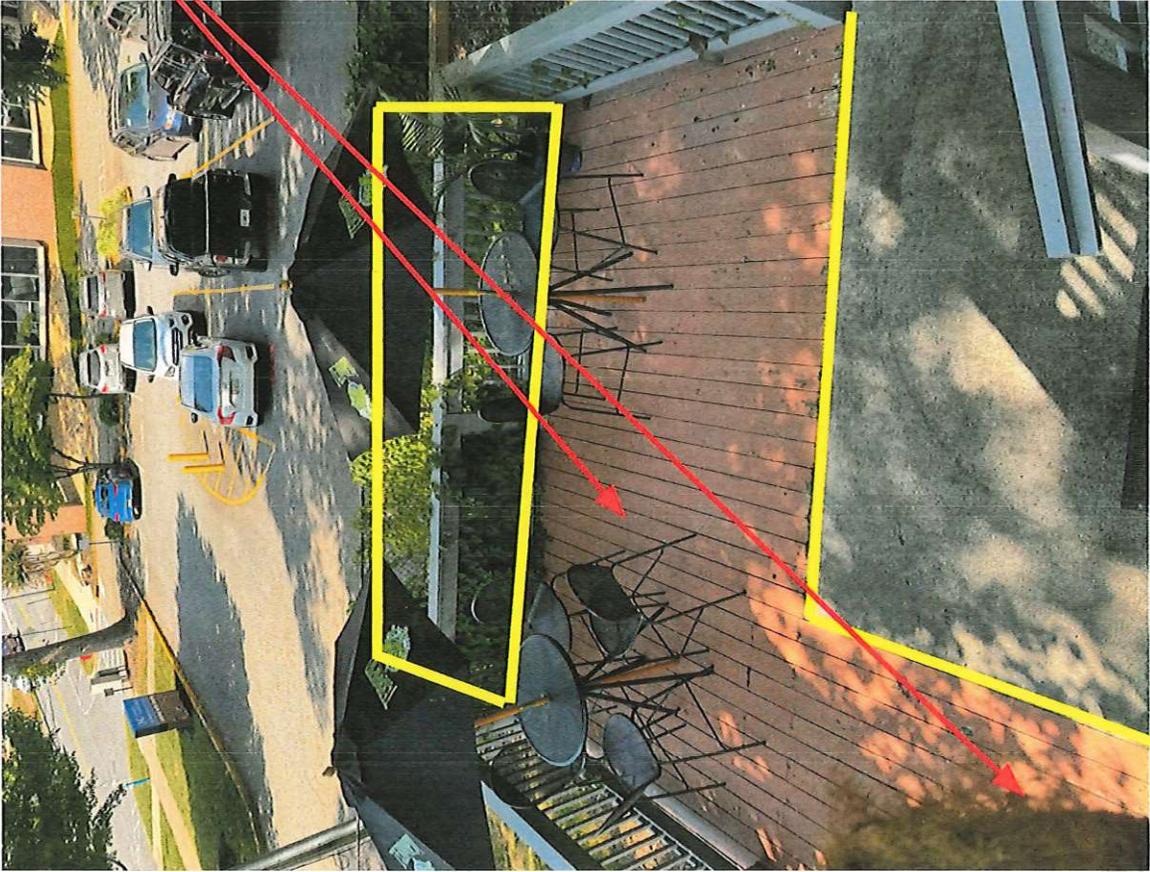
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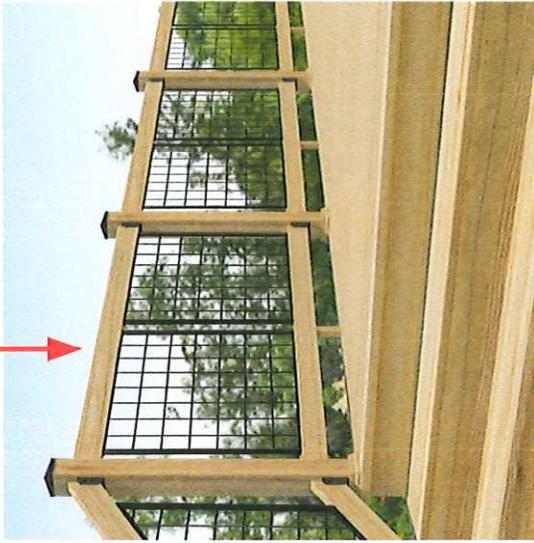
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Replace Current wood portion of porch with New wood planks

Replace railings with below image

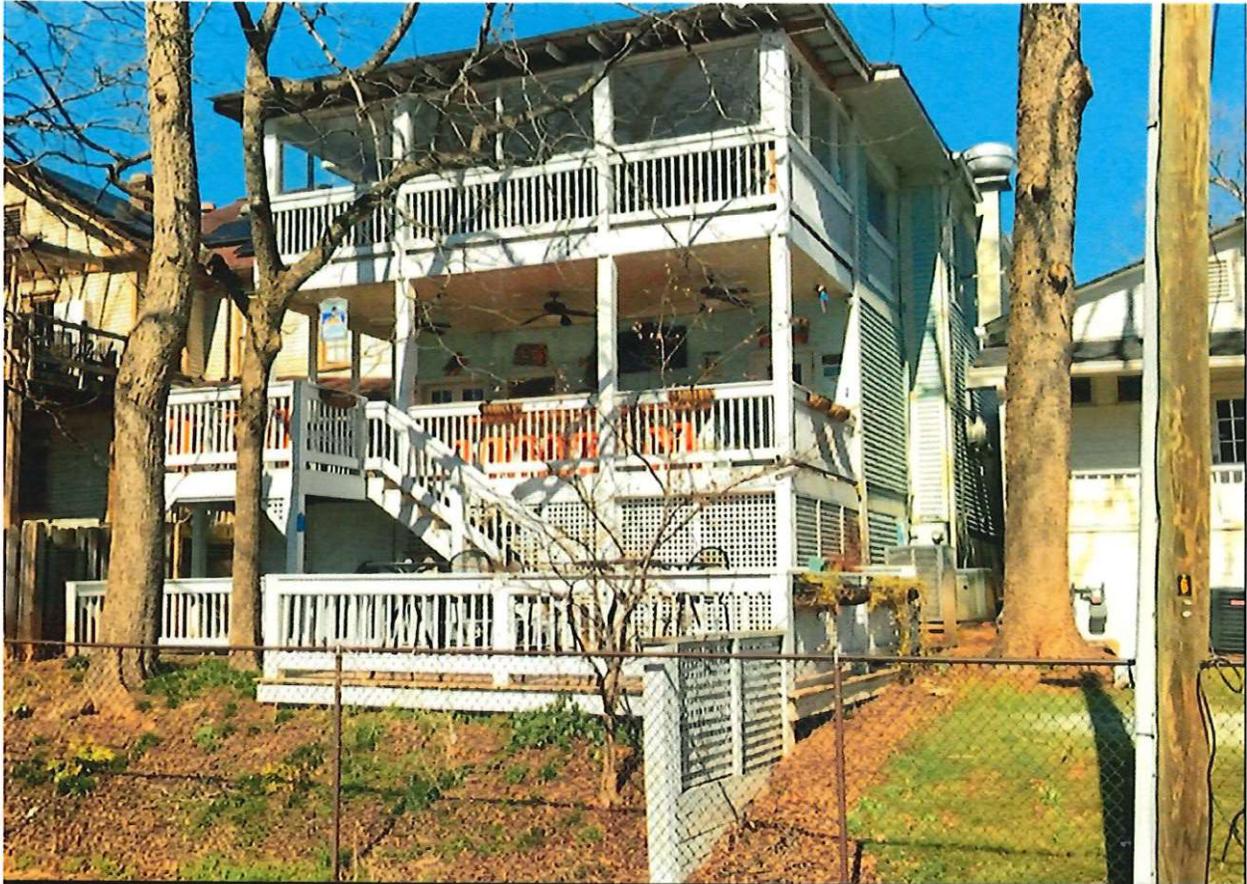


- Extend deck to current fence line
- Remove overgrown vegetation
- Current colors will be used (Grey's)



- Extend deck to current fence line
- Remove overgrown vegetation
- Current colors will be used (Grey's)





3/2/22, 2:49:01 PM

8774

DOCH 000228
FILED IN OFFICE
01/23/2014 10:30 AM
BK:1268 PG:11-18
RITA HARKINS
CLERK OF COURTS
LUMPKIN COUNTY

REAL ESTATE TRANSFER TAX
PAID: \$500.00

093-2014-000049

Prepared by/return to
Shelly Townley Martin
133 Prominence Court
Suite 110
Dawsonville, GA 30534

WARRANTY DEED

GEORGIA, DAWSON COUNTY

THIS INDENTURE, made this 15th day of January, 2014, between BACK PORCH LLC, Grantor, and J & J ESTABLISHMENTS, INC., Grantee,

WITNESSETH:

That the said Grantor, for and in consideration of TEN (\$10.00) DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid at and before the sealing and delivery of these presents, the receipt and sufficiency whereof is hereby acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell and convey unto the said Grantee the following described real property, to-wit:

All that tract or parcel of land lying and being in Land Lot 950 of the 12th District, 1st Section of Lumpkin County, Georgia, and being in the City of Dahlonega, consisting of Tract 1, which is more particularly described and delineated according to a plat of survey prepared by Michael S. Kelley, Ga., Reg. Surveyor 2313, dated May 5, 1993, which has been approved by the Dahlonega City Council, which is recorded in Plat Book 26, Page 3, Lumpkin County records, and which is incorporated by reference herein for a more full and complete description, and being a portion of the property which was conveyed to Glenn D. Conner under a Warranty Deed dated November 18, 1981, from Frank R. Tiller, Jr., which is recorded in Deed Book G-4, Page 7, Lumpkin County records.

Subject to the permitted exceptions set forth in Exhibit "A" attached hereto and incorporated herein by reference.

No merger of the fee estate conveyed hereby with the estate, title and security interest granted by that Deed to Secure Debt from Back Porch, LLC to James M. Adam, as Executor U/W Mary Lou Conner shall occur (notwithstanding the fact that title to all such interests may be vested in the same person or entity) until and unless the holder of all such interests shall execute an appropriate instrument effecting such merger and shall duly file the same in the records of Lumpkin County, Georgia.

This Warranty Deed is being executed in compliance the Order Authorizing Sale of Property Free and Clear of Liens and Interests, With Liens and Interests to Attach to Proceeds and Approving Compromise and Settlement of Claims of George E. Butler, II, which is attached hereto as Exhibit "B".

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of the Grantees, as joint tenants with right of survivorship as defined above, the heirs, executors and assigns of the survivorship, forever, in Fee Simple.

AND, SUBJECT TO the title matters expressly set forth herein, the Grantor will warrant and forever defend the right and title to the above described tract or parcel of land unto the Grantee against the claims of all persons whomever.

IN WITNESS WHEREOF, Grantor has signed and sealed this Deed the day and year first above written.

Signed, sealed and delivered
in the presence of:

Back Porch LLC

[Signature]
Unofficial Witness

By: [Signature] (SEAL)
Lester Lee Creef, Managing Member

[Signature]
Notary Public

My commission expires:
(SEAL)

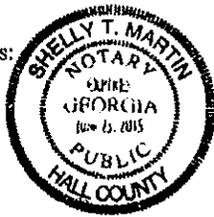


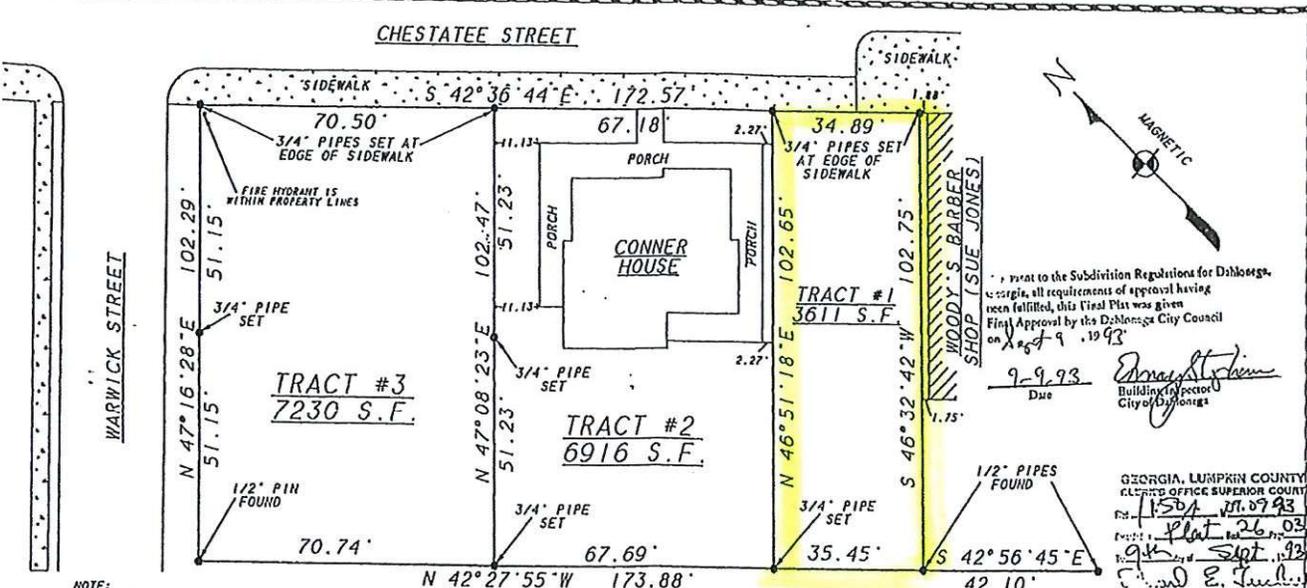
EXHIBIT "A"

PERMITTED EXCEPTIONS



- a. Deed to Secure Debt from Back Porch, LLC to James M. Adam, dated October 29, 2010, filed November 24, 2010, recorded in Deed Book 1175, page 286, in the amount of \$357,500.00; as affected by Subordination Agreement from George E. Butler, II to Back Porch, LLC, dated November 1, 2012, filed December 8, 2011, recorded in Deed Book 1200, page 750, Lumpkin County, Georgia records (NOTE: The date of the document shows 2012 when it should read 2011); As Assigned to J & J Establishments, Inc., a Georgia Corporation, dated January 7, 2013.
- b. Easement from Glenn D. Conner to Glenn D. Conner, dated May 3, 1004, filed May 4, 1994, recorded in Deed Book J13, page 275, aforesaid records.
- c. All matters shown on recorded plat filed in Plat Book 26, page 3, aforesaid records.

CHESTATEE STREET



In compliance with the Subdivision Regulations for Dahlonega, Georgia, all requirements of approval having been fulfilled, this First Plat was given Final Approval by the Dahlonega City Council on Sept 9, 1993

9-9-93
Date

Michael S. Kelley
Building Inspector
City of Dahlonega

GEORGIA, LUMPKIN COUNTY
CLERK OF SUPERIOR COURT
FILED 1504 27.09.93
Plat 26, 03
9th Sept 93
S. AND E. TUCKER, CLERK

NOTE:
THIS SURVEYOR DOES NOT GUARANTEE THAT ALL EASEMENTS THAT MAY AFFECT THIS PROPERTY ARE SHOWN.

IN MY OPINION THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. REFERENCE MAP FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER: 130129 0001 B, DATED SEPTEMBER 18, 1991.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN N/A FEET, AND WAS ADJUSTED USING THE N/A RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN FEET.

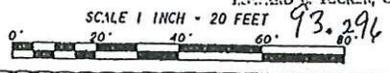
EQUIPMENT USED: NIKON D-50 TOTAL STATION

REFERENCE PLATS:
1) COL. FRANK R. TILLER, JR. BY U. C. WICHT DATED 6 OCT. 1973. PLAT BOOK 3 PAGE 258.
2) JAMES LEON MOORE PROPERTY SURVEY BY U. C. WICHT, DATED 21 NOV. 1977. P.B. 5, P. 494.

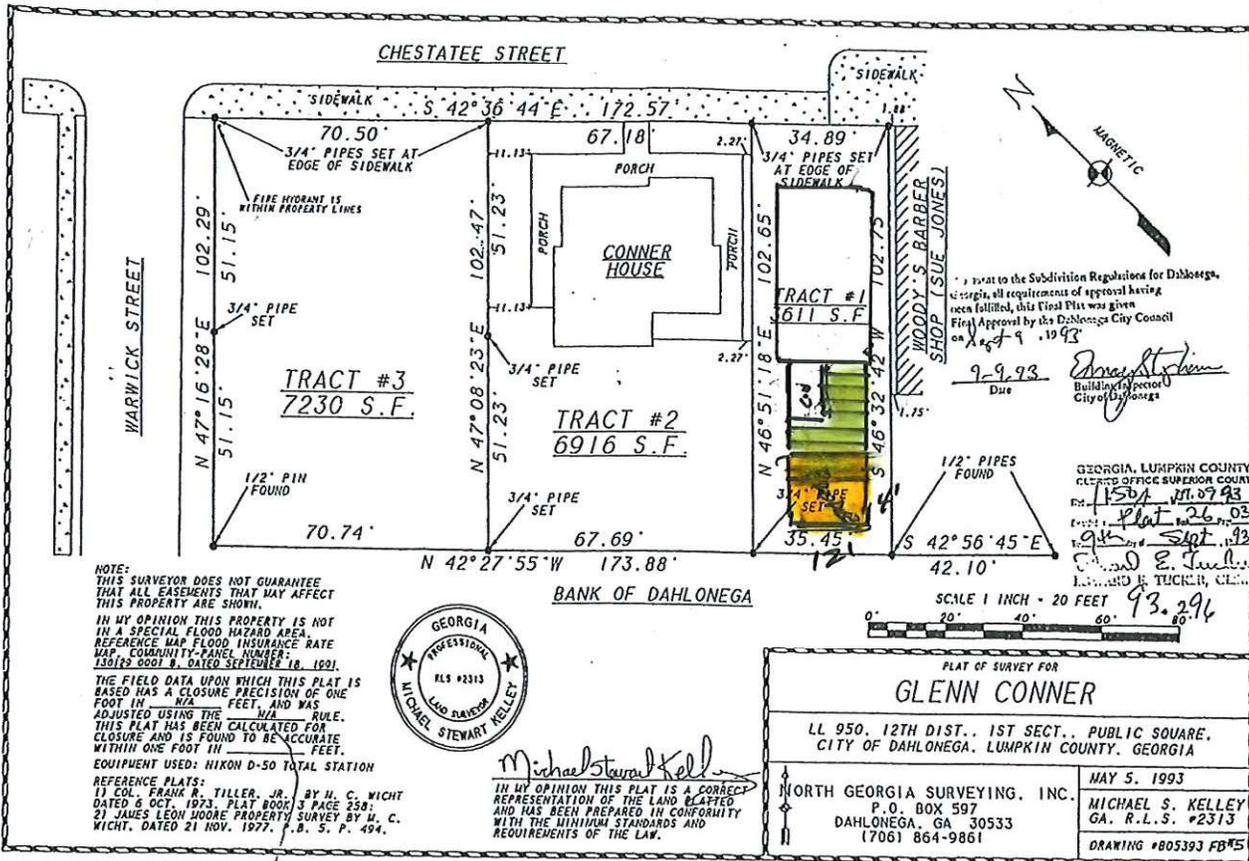


Michael Stewart Kelley

IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW.



PLAT OF SURVEY FOR GLENN CONNER	
LL 950, 12TH DIST., 1ST SECT., PUBLIC SQUARE, CITY OF DAHLONEGA, LUMPKIN COUNTY, GEORGIA	
NORTH GEORGIA SURVEYING, INC. P.O. BOX 597 DAHLONEGA, GA 30533 (706) 864-9861	MAY 5, 1993 MICHAEL S. KELLEY GA. R.L.S. #2313 DRAWING #805393 FB#5



EXISTING, OPEN, UNCOVERED

PROPOSED DECK - (OPEN, UNCOVERED)

12' FEET WIDE X 4' FEET

From: [Steve Scales](#)
To: [CPL](#)
Subject: Re: COA-24-3: Questions from HPC
Date: Thursday, August 15, 2024 3:46:25 PM
Attachments: [image001.png](#)

NOTICE: The message below was generated outside of your organization. Please proceed with caution.

1. **Raised Flower Bed:** They inquired whether a raised flower bed is part of your project. **NO NEW RAISED FLOWER BEDS**
2. **Deck Extension:** The HPC is generally supportive of extending the deck. However, there is concern about the proposed railing design. They mentioned that it doesn't align with the historic character of the building. We suggest maintaining the regular fence instead. **We will use the same model of railings that are currently in place**
3. **Lighting Details:** Please provide more specific information about where the lights will be hung as part of the project. **Standard rope lights along the railings, nothing pointing up, low voltage**

On Thu, Aug 15, 2024 at 1:05 PM CPL <CPL@dahlonga.gov> wrote:

Mr. Scales,

The Historic Preservation Commission (HPC) conducted a non-voting Work Session on August 14th, and had a few questions and comments regarding your project:

1. **Raised Flower Bed:** They inquired whether a raised flower bed is part of your project.
2. **Deck Extension:** The HPC is generally supportive of extending the deck. However, there is concern about the proposed railing design. They mentioned that it doesn't align with the historic character of the building. We suggest maintaining the regular fence instead.
3. **Lighting Details:** Please provide more specific information about where the lights will be hung as part of the project.

We appreciate your attention to these points as we prepare for the August 26th meeting.

Best,

Zachary Lloyd

Planner

Mobile: 404-205-1818

Email: cpl@dahlonega.gov



The information contained in this electronic transmission (including any accompanying attachments) is intended solely for its authorized recipient(s), and may be confidential or legally privileged. If you are not an intended recipient, please do not read, copy, use or disclose this message or its attachments. This communication represents the originator's personal views and opinions, which do not necessarily reflect those of The City of Dahlonega. If you have received this e-mail in error, please immediately notify me at the number listed above. In addition, be advised that Georgia has a very broad open records law and that your email communications with the City may be subject to public disclosure.



CITY OF DAHLONEGA
465 Riley Road
Dahlonega, Georgia 30533
Phone: 706-864-6133

**STAFF REPORT FOR HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATENESS (COA)**

Case: COA-24-3

Parcel I.D.: D11-004

Address: 19 North Chestatee Street

Petitioner: Steven Scales, J & J Establishment Inc.

Work Session Date: August 14, 2024

Voting Session Date: August 26, 2024

Zoning District: B-3: Historical Business District

The Historical Business District is intended to protect and promote the educational, cultural, economic, and general welfare of the public through the preservation and protection of worthy structures in historic areas which exhibit a distinct aspect of the community, and which serve as visible reminders of history and cultural heritage. The district aims to assure that new structures and uses will be architecturally in keeping with the character to be preserved or enhanced.

Request:

Reconstruct and expand an existing outdoor deck.

- All decking will be reconstructed with wood planks consistent with the current material appearance.
- Removal of vegetation in the rear yard to accommodate deck expansion.
- The proposal represents an additional 48 square feet of decking.

Findings and Analysis:

Section 109-20(d) of the City of Dahlonega Historic Preservation Ordinance authorizes the Dahlonega Historic Preservation Commission to review applications for Certificate of Appropriateness (COA). Section 2502 of the Dahlonega Zoning Ordinance requires the

approval of a COA prior to new construction and material changes in appearance (including painting) for any building within a designated Historic District.

The applicant proposes the demolition of the existing wooden deck located in the rear yard of the subject site. Immediately following this demolition, the deck would be rebuilt in a larger configuration, using materials similar to the existing structure. The existing deck railings will also be replaced and expanded, as conceptualized in the application.

The Lumpkin County Board of Assessors indicates that the subject building was originally constructed in 1904. However, the building was extensively reconstructed around 40 years ago after sustaining severe damage. The structure has two stories and an attic, with porches and covered outdoor space attached. However, this request pertains to an uncovered deck area which is structurally separate from the building. The proposed expansion of the deck does not involve joining it to the building; it will expand towards the rear property line.

The site has a history of restaurant and retail use. Additionally, the rear property line directly abuts a private street which serves the institutional building on that site.

Pursuant to the Dahlonega Historic District Design Guidelines, staff has identified the following to be brought to the attention of the Commission:

3.6 Exterior Lighting:

The applicant proposes the installation of LED string lighting in the deck areas.

5.3 Decks:

The reconstruction and expansion of the deck will require the removal of existing vegetation; however, this largely consists of weeds/overgrowth. New railings are also to be installed.

6.2 Demolition:

The applicant proposes to demolish the existing, standalone decking, with no impact to the historic building on the site.

Staff Recommendation:

Staff recommends approval of the requested COA. Details of the construction proposal should be considered prior to any official decision.



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

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A \$100 non-refundable fee;
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Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

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The applicant or other representative must attend the public hearing to present the application.

Building Permit:

If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information

Only fill out the second Page if applicable

Office use only:

Date: _____

Project #: _____

Fee paid: _____

Hearing date: _____

CONTACT	Applicant*: <u>J. Allen Head</u> Phone #: <u>706-344-9611</u> Mailing Address: <u>TheDuallydude@gmail.com</u>
PROPERTY AND PROJECT	Property Address: <u>75 North Grove St</u> Zoning: <u>CBD</u> Tax Parcel: _____ Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input checked="" type="checkbox"/> alteration <input type="checkbox"/> deck <input type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other Proposed starting date: <u>ASAP</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to hereby indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p>Signature <u>J. Allen Head</u> Date <u>7/9/2024</u></p>



Owner Permission Letter for Alterations to Building

Date: 7/9/2024

Regarding: Rose of Sharon 75 N Grove St Dahlonega
Name and property address of business
Bu: 12045

I, J. Allen Head, hereby grant permission to _____
Owners name Name of renter

To do alterations to the facade and or landscape of the building and property being discussed.

If you have any questions regarding this correspondence, please feel free to contact me at:

Name of property owner: J. Allen Head

Mailing address: P.O. Box 1007
Dahlonega, Ga 30533

E mail address: TheDuallydude@gmail.com

Phone number: 706-344-9611

J. Allen Head
Signature of property owner



The Guidelines are available at City Hall and on the City's website. These guidelines also contain The Secretary of the Interior's standards for the rehabilitation of Historic Buildings.

Describe the proposed project attach additional sheets if necessary. If the project will involve more than one type of project please include and overall scope of work an include the description of all proposed materials. Please attach photos of materials. See attached application checklist.

going to paint top of building and
building itself



APPLICATION CHECKLIST

A complete application requires support materials. Please include this completed form as part of the application along with the following :

For new building or an addition to an existing building or addition of a new porch, deck, outbuilding, patio etc...

Site plan with footprint of building including contour lines, location of all buildings, parking, fences, walls, porches, decks, etc. to be added

Architectural plans/building design including:

- Interior floor layout indicating exterior door and window locations
- Drawings of all building elevations – all sides of the building
- Location and description including photos of all exterior lights
- Description of design and materials for all exterior features including roof, doors, siding, windows, trim, porch pickets and handrails, foundation, cornices, handicap ramps, etc.

Include photos or drawings of each i.e. of doors, windows, trim, cornice, pickets etc.... Photos of proposed site and adjoining properties/buildings

Landscape plan including all hardscapes, walls, and fencing. Landscape plan should also include:

- List including names and types of all trees and plants over 36" high
- planting schedule
- Elevation drawings of all new facades and walls showing trees and plantings when grown to mature height
- List of all existing trees on the property noting any to be removed

Alterations to Building Exterior i.e. change in window or door, foundation, roof, siding, exterior lighting, porches, awnings or storefront, etc...

- Photo of existing building Photos of adjoining properties Photo of earlier historic appearance
- Sketches or drawings and description of proposed changes
- Description or picture of the type of material proposed for use in the alteration
- Photos or drawing of the building element to be altered i.e. doors, windows, trim, cornice, pickets etc....

PAINTING EXTERIOR OF BUILDING.

Site changes including parking areas, drives, walks, addition of fences, walls or outbuildings major landscape elements and including removal of large trees or shrubs

- Photo of site
- Photo of adjoining properties
- Site plan or sketch of site indicating location of changes
- Description of materials to be used
- Landscape plan (as described above)

Tim Martin

From: J. Allen Head <theduallydude@gmail.com>
Sent: Tuesday, July 9, 2024 8:38 PM
To: Tim Martin
Subject: COA application
Attachments: attachment 1.pdf

NOTICE: The message below was generated outside of your organization. Please proceed with caution.









Lumpkin County, GA

Summary

Parcel Number D11044
 Location Address 75 GROVE STREET NORTH
 Legal Description LOT GROVE ST LL 951 LD 12-1
 (Note: Not to be used on legal documents)
 Class C3-Commercial
 (Note: This is for tax purposes only. Not to be used for zoning.)
 Character Area CBD
 Tax District Dahlonega (District 02)
 Millage Rate 28.825
 Acres 0.32
 Neighborhood *CITY@1250/FF (00344)
 Homestead Exemption No (S0)
 Landlot/District 951 / 12

[View Map](#)



Map



Owner

HEAD JAMES A SR TRUSTEE
 P O BOX 838
 DAHLONEGA, GA 30533

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	*CITY@1250/FF	Front Feet	13,900	139	100	0.32	0

Commercial Improvement Information

Description Retail Stores-3
 Value \$162,777
 Actual Year Built 1976
 Effective Year Built 1995
 Square Feet 2688
 Wall Height 10
 Wall Frames Reinforced Concrete
 Exterior Wall 50% Brick
 50% Concrete Block
 Roof Cover Tar & Gravel
 Interior Walls Painted Masonry
 Floor Construction Reinforced Concrete
 Floor Finish 50% Concrete
 50% Carpet
 Ceiling Finish Sheetrock
 Lighting Standard F.F.
 Heating Cent. Htg. & A.C.
 Number of Buildings 1

Accessory Information

Description	Dimensions/Units	Identical Units	Value
Paving-Conc.(N) 4" 3001-10000	0x0 / 7000	0	\$5,198

Permits

Permit Date	Permit Number	Type	Description
02/09/2018	3116	COMMERCIAL	New Business occupant. C/O inspection. Re-connection of plumbing.

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/29/2005	P36 409		\$0	Gift	HEAD JAMES A	HEAD JAMES A SR TRUSTEE

Area Sales Report

Sale date range:

From: To:

Valuation

	2024	2023	2022	2021	2020
Previous Value	\$312,761	\$245,204	\$218,984	\$218,984	\$218,984
Land Value	\$144,786	\$144,786	\$144,786	\$144,786	\$144,786
+ Improvement Value	\$162,777	\$162,777	\$95,220	\$69,000	\$69,000
+ Accessory Value	\$5,198	\$5,198	\$5,198	\$5,198	\$5,198
= Current Value	\$312,761	\$312,761	\$245,204	\$218,984	\$218,984

Tax Collector

Photos





Sketches

From: [J. Allen Head](#)
To: [CPL](#)
Subject: Re: COA-24-4: Questions from HPC
Date: Thursday, August 15, 2024 11:13:20 PM

NOTICE: The message below was generated outside of your organization. Please proceed with caution.

We have repaved gravel area and plan on repainting lines for now, We plan on repaving completely at a later date to be determined.

Paint swatch colors were sent with COA application all from historical colors by sherwin-Williams.

Outer space gray on roof and alabaster white on building

Sent from J. Allen Head's iPhone

On Aug 15, 2024, at 1:07 PM, CPL <CPL@dahlonga.gov> wrote:

Mr. Head,

The Historic Preservation Commission (HPC) conducted a non-voting Work Session on August 14th, and had a couple points of feedback and questions regarding your project:

1. **Parking Area:** Please provide details on the planned repairs or improvements to the parking area.
2. **Color Specifications:** They also requested that you provide the specific colors you intend to use on the sides of the building and the roof.

We look forward to the August 26th meeting.

Best,

Zachary Lloyd
Planner
Mobile: 404-205-1818
Email: cpl@dahlonga.gov

<image001.png>



CITY OF DAHLONEGA
465 Riley Road
Dahlonega, Georgia 30533
Phone: 706-864-6133

**STAFF REPORT FOR HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATENESS (COA)**

Case: COA-24-4

Parcel I.D.: D11-044

Address: 75 Grove Street North

Petitioner: J. Allen Head

Work Session Date: August 14, 2024

Voting Session Date: August 26, 2024

Zoning District: CBD: Central Business District

The Central Business District is intended to establish and preserve a compact central business district convenient and attractive for a wide range of retail uses, business transactions, government and professional offices, places of amusement, employment activities, and services to the public designed primarily to meet the day-to-day retail and service needs of residents of the City of Dahlonega.

Request:

Paint the exterior walls of a previously unpainted building, which consist of masonry.

Paint the top/roof of building.

Findings and Analysis:

Section 109-20(d) of the City of Dahlonega Historic Preservation Ordinance authorizes the Dahlonega Historic Preservation Commission to review applications for Certificate of Appropriateness (COA). Section 2502 of the Dahlonega Zoning Ordinance requires the approval of a COA prior to new construction and material changes (including painting) in appearance for any building within a designated Historic District.

The applicant proposes the painting of the existing, unpainted building located at 75 Grove Street North. This will include both the exterior walls and the roof of the building. The exterior walls consist of unpainted brick and concrete block masonry. The Lumpkin

County Board of Assessors indicates that the subject building was constructed in 1976. The site has a history of personal service, financial, retail, and gasoline sale uses.

Pursuant to the Dahlonga Historic District Design Guidelines, staff has identified the following to be brought to the attention of the Commission:

4.6 Exterior Walls and Trim, 4.7 Brick and Masonry, 4.9 Paint and Paint Colors:

The applicant proposes to paint the exterior walls of the subject building, which have not previously been painted. The walls are composed of brick and concrete block masonry. The painting of previously unpainted masonry is discouraged by the Design Guidelines.

Recommendation:

Staff recommends denial of the requested COA, because the painting of originally unpainted masonry, as proposed by the applicant, is not consistent with historic district design guidelines.

However, if the HPC members see fit, approval with modifications may be an appropriate reaction to this request, with the following *modification*:

1. No exterior surfaces that are currently unpainted or composed of masonry may be painted.



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:
 A \$100 non-refundable fee;
 A completed application and any required support materials listed on page 3.
 Incomplete application will not be forwarded to HPC for review.

Application Deadline:
 Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

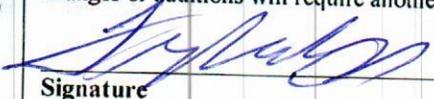
Application Presentation:
 The applicant or other representative must attend the public hearing to present the application.

Building Permit:
 If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information
 Only fill out the second Page if applicable

Office use only:

Date: _____
 Project #: _____
 Fee paid: _____
 Hearing date: _____

CONTACT	Applicant*: <u>The Smith House Management Company</u> Phone #: <u>706-867-7000</u> Mailing Address: <u>84 South Chestnut Street</u> <u>Dahlonega, GA 30533</u>
PROPERTY AND PROJECT	Property Address: <u>Same</u> Zoning: <u>CBD</u> Tax Parcel: <u>D11 100</u> <u>LOT 22950LD12-1</u> Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input checked="" type="checkbox"/> alteration <input type="checkbox"/> deck <input type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other Proposed starting date: <u>ASAP</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p style="text-align: center;">  Signature _____ Date <u>3/20/28</u> </p>



Owner Permission Letter for Alterations to Building

Date: March 20, 2024

Regarding: The Smith House Management Company
Name and property address of business

I, Fred Welch, hereby grant permission to The Smith House Mgmt Co
Owners name Name of renter

To do alterations to the facade and or landscape of the building and property being discussed.

If you have any questions regarding this correspondence, please feel free to contact me at:

Name of property owner: Fred Welch

Mailing address: 1229 Dawsonville Hwy
Dahlonega, GA 30533

E mail address: Freddy@Smithhouse.com

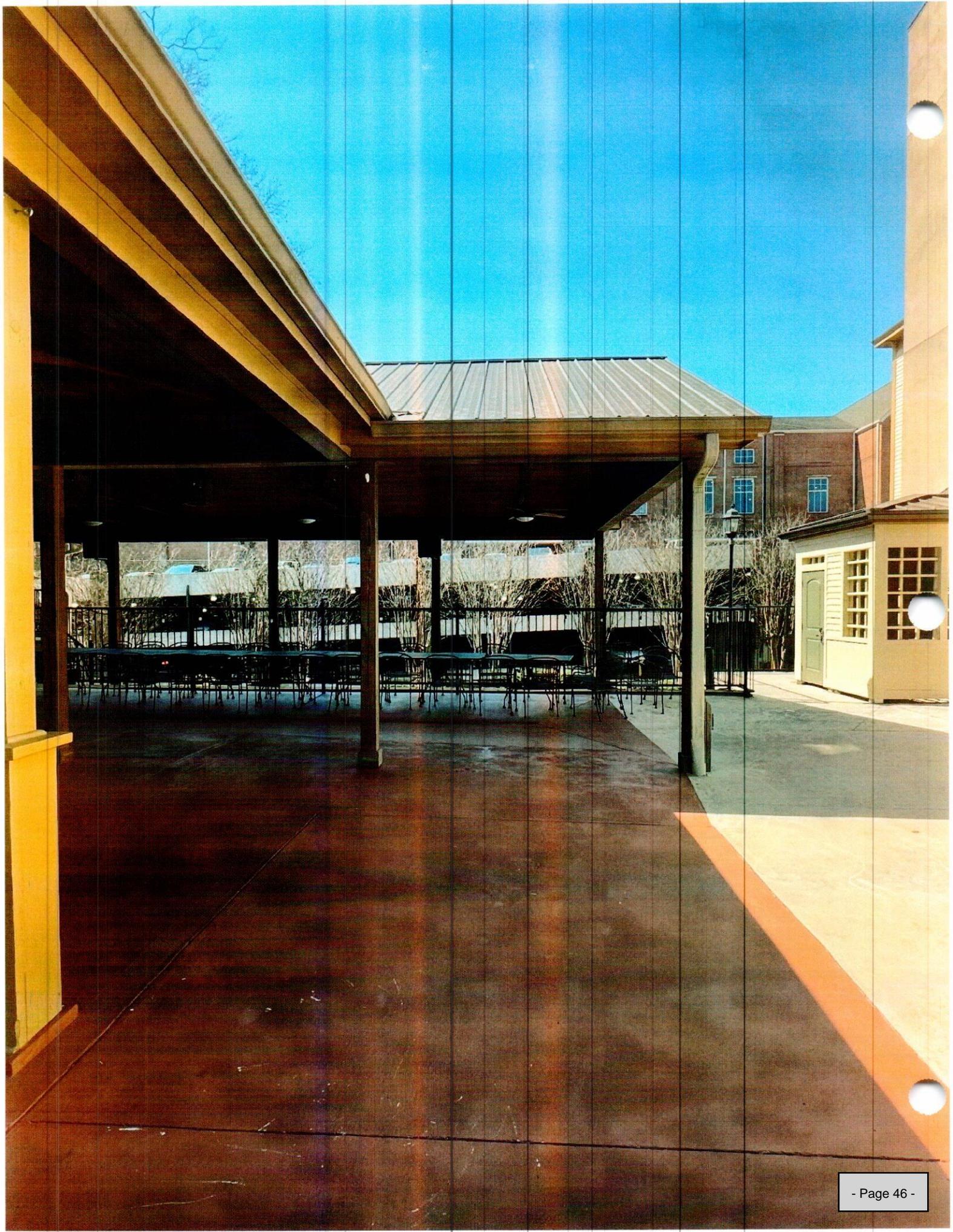
Phone number: 706-265-5600

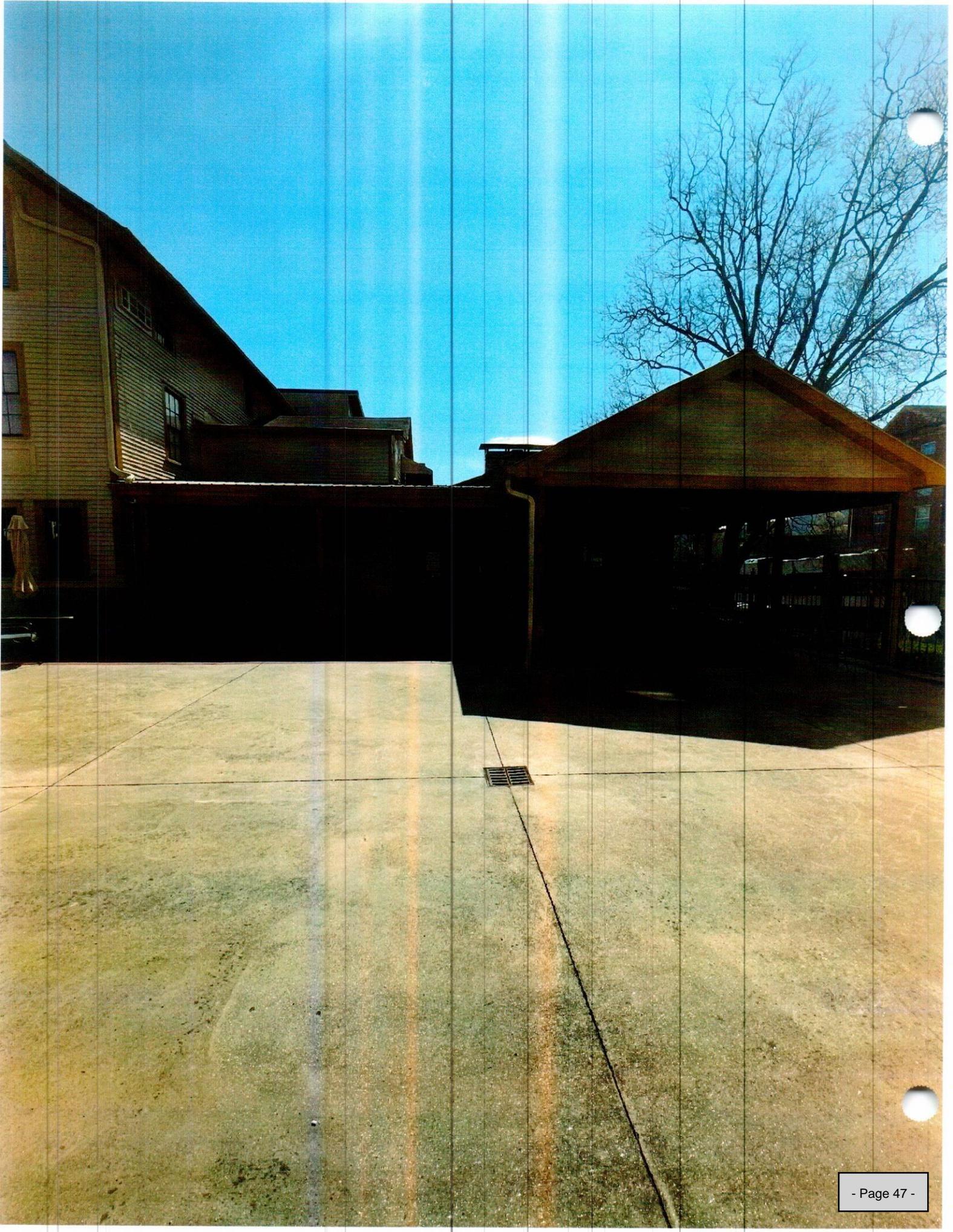
[Signature]
Signature of property owner

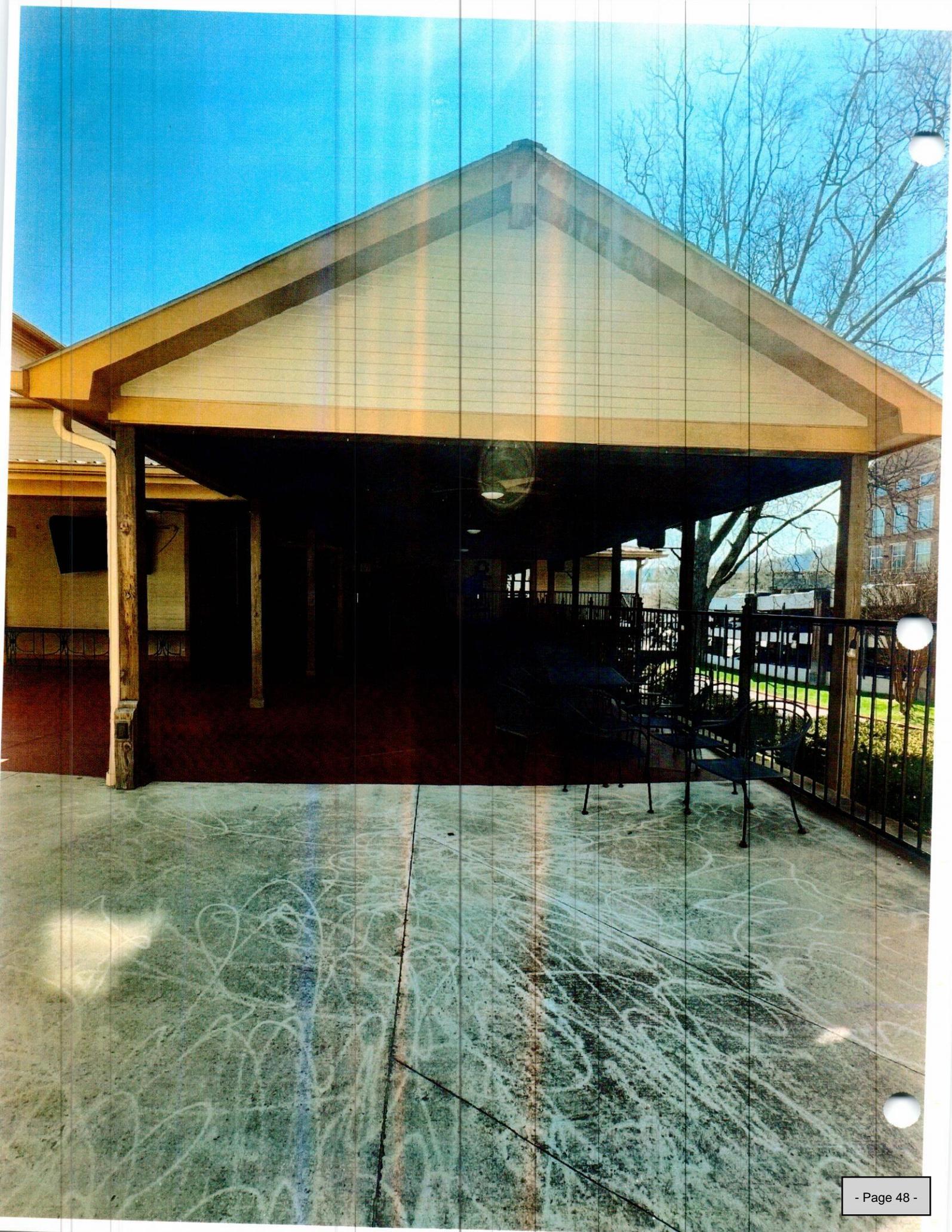




































The Guidelines are available at City Hall and on the City's website. These guidelines also contain The Secretary of the Interior's standards for the rehabilitation of Historic Buildings.

Describe the proposed project attach additional sheets if necessary. If the project will involve more than one type of project please include and overall scope of work an include the description of all proposed materials. Please attach photos of materials. See attached application checklist.

The Smith House Veranda 84 South Chestnut St Dahlonega

The Scope of our Project

(1) The top roof to be put over our Carriage House deck is to prevent the rain from coming in to our existing dining room (Carriage Room) below. We have been having major problems during heavy rain of flooding of the dining room. We feel this will fix the problem

(2) The other roof we want to attach to the existing Veranda roof. This roof will prevent rain from coming in during our private events. on Water Street location (in front of our parking deck). We want to enclose the veranda with siding and windows. Existing colors will be used from other buildings. The side facing the new hotel (The Lodge) we want to install metal pull-up doors on one side and on the other vinyl siding doors

A list of materials and colors are included



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:

A \$100 non-refundable fee;
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Application Presentation:

The applicant or other representative must attend the public hearing to present the application.

Building Permit:

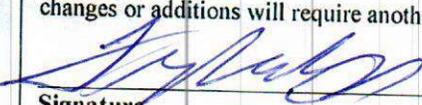
If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information

Only fill out the second Page if applicable

Office use only:

Date: _____
 Project #: _____
 Fee paid: _____
 Hearing date: _____

CONTACT	Applicant*: <u>The Smith House Management Company</u> Phone #: <u>706-867-7000</u> Mailing Address: <u>84 South Chestnut Street</u> <u>Dahlonega, GA 30533</u>
PROPERTY AND PROJECT	Property Address: <u>Same</u> Zoning: <u>CBP</u> Tax Parcel: <u>D11 100</u> <u>LOT 22950LD12-1</u> Type of project (check all that apply): <input type="checkbox"/> New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input checked="" type="checkbox"/> alteration <input type="checkbox"/> deck <input type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other Proposed starting date: <u>ASAP</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/ or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p style="text-align: center;">  Signature _____ Date <u>3/20/28</u> </p>



Owner Permission Letter for Alterations to Building

Date: March 20, 2024

Regarding: The Smith House Management Company
Name and property address of business

I, Fred Welch, hereby grant permission to The Smith House Mgmt Co
Owners name Name of renter

To do alterations to the facade and or landscape of the building and property being discussed.

If you have any questions regarding this correspondence, please feel free to contact me at:

Name of property owner: Fred Welch

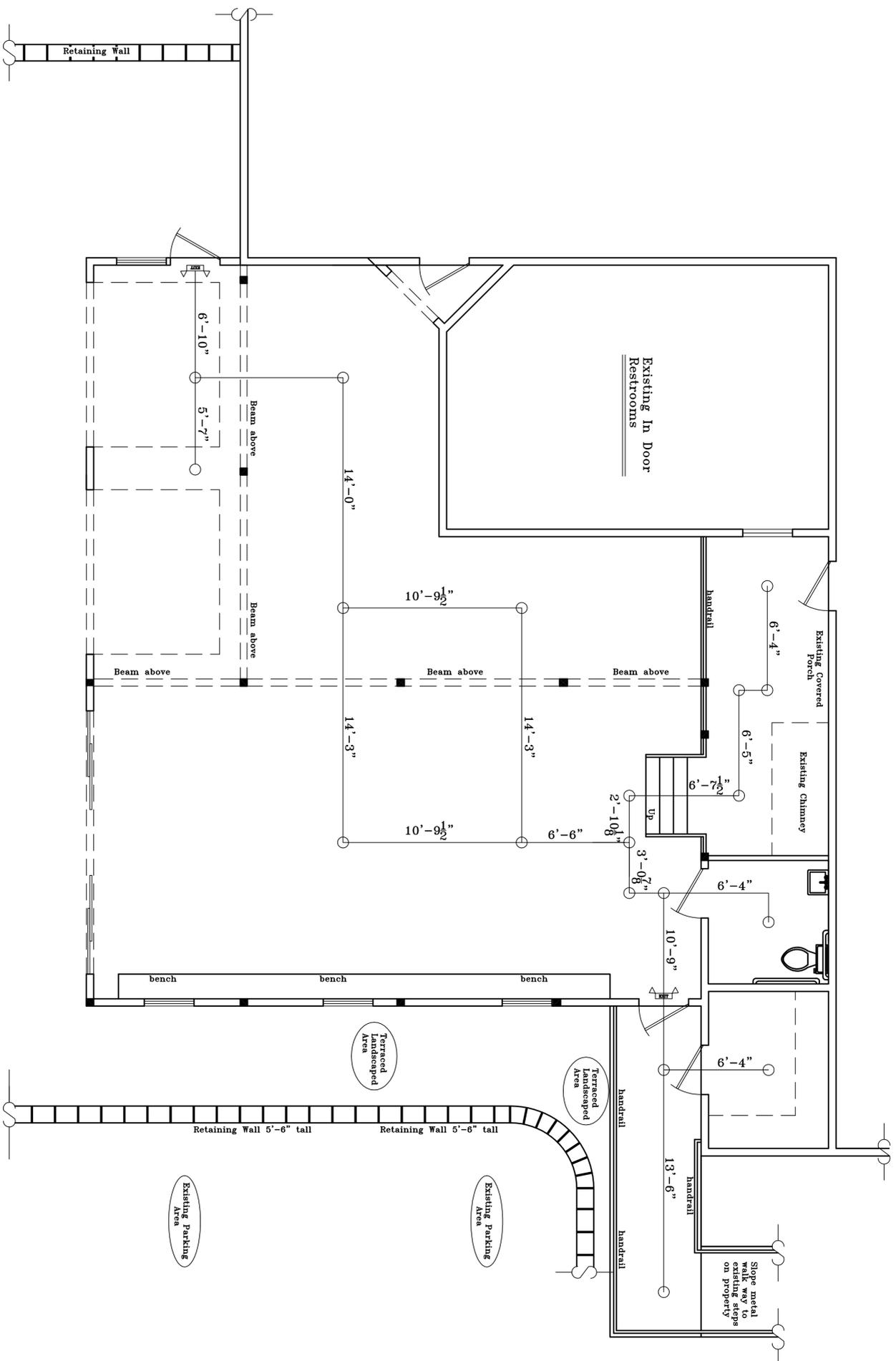
Mailing address: 1229 Dawsonville Hwy
Dahlonega, GA 30533

E mail address: Freddy@Smithhouse.com

Phone number: 706-265-5600

[Signature]
Signature of property owner

Note:
Builder to Verify
all dimensions



NOTE:
ANY PRINTING OR REPRODUCTION
OF THESE PLANS IS ILLEGAL.

Sheet	REVISED:	DATE:	BY:	DATE: 11/01/2023
EX 1				
OF: 1				

THE SMITH HOUSE
- DAHLONEGA, GEORGIA -
Exit Plan

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

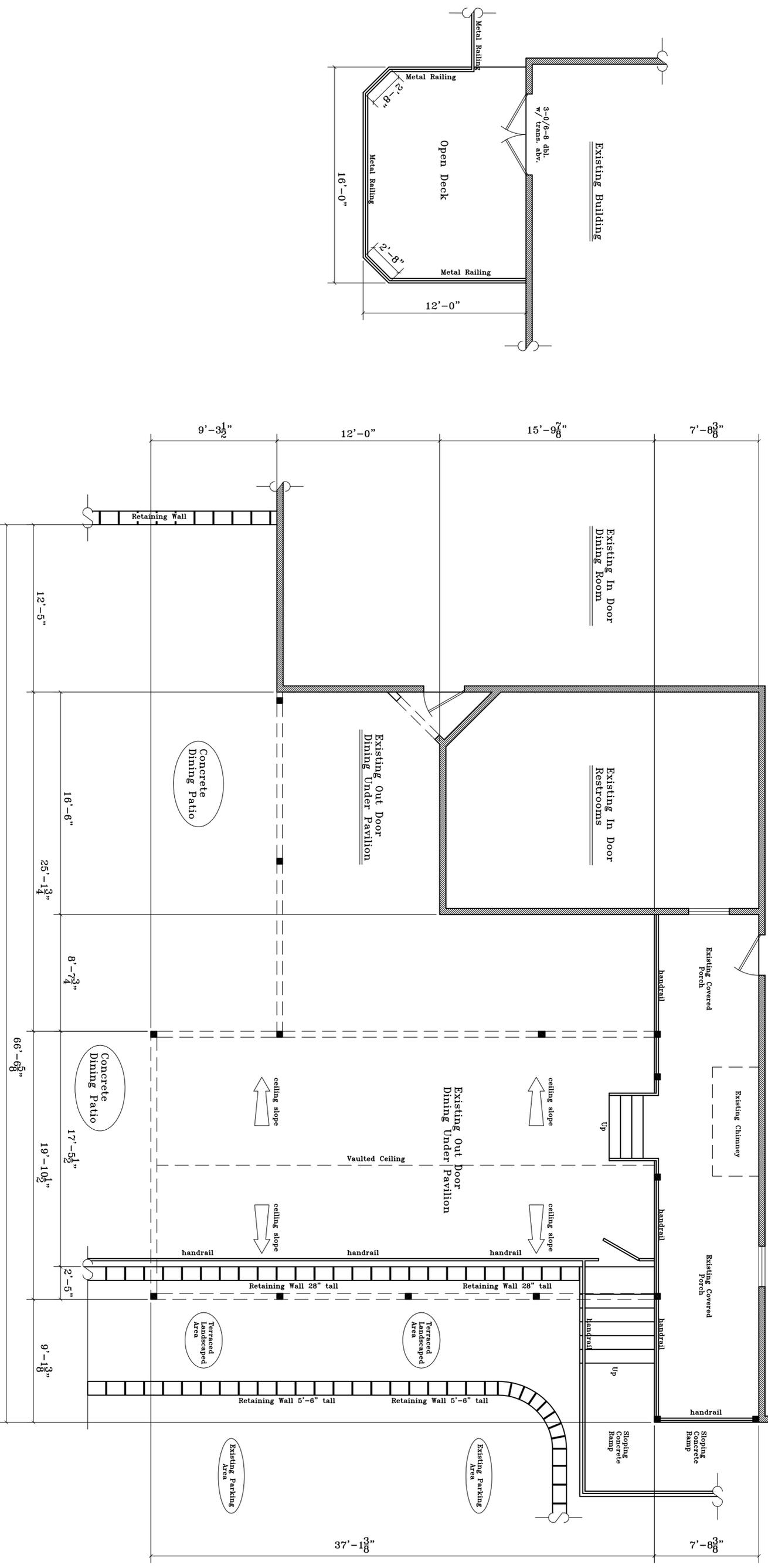
THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501

Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

OUT DOOR DINING SQ.FT.
EQUALS-1,368

Existing In Door
Dining Room

Note:
Builder to Verify
all dimensions



NOTE:
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OF THESE PLANS IS ILLEGAL.

Sheet
A2
OF:3

REVISED:	DATE:	BY:	DATE:11/01/2023

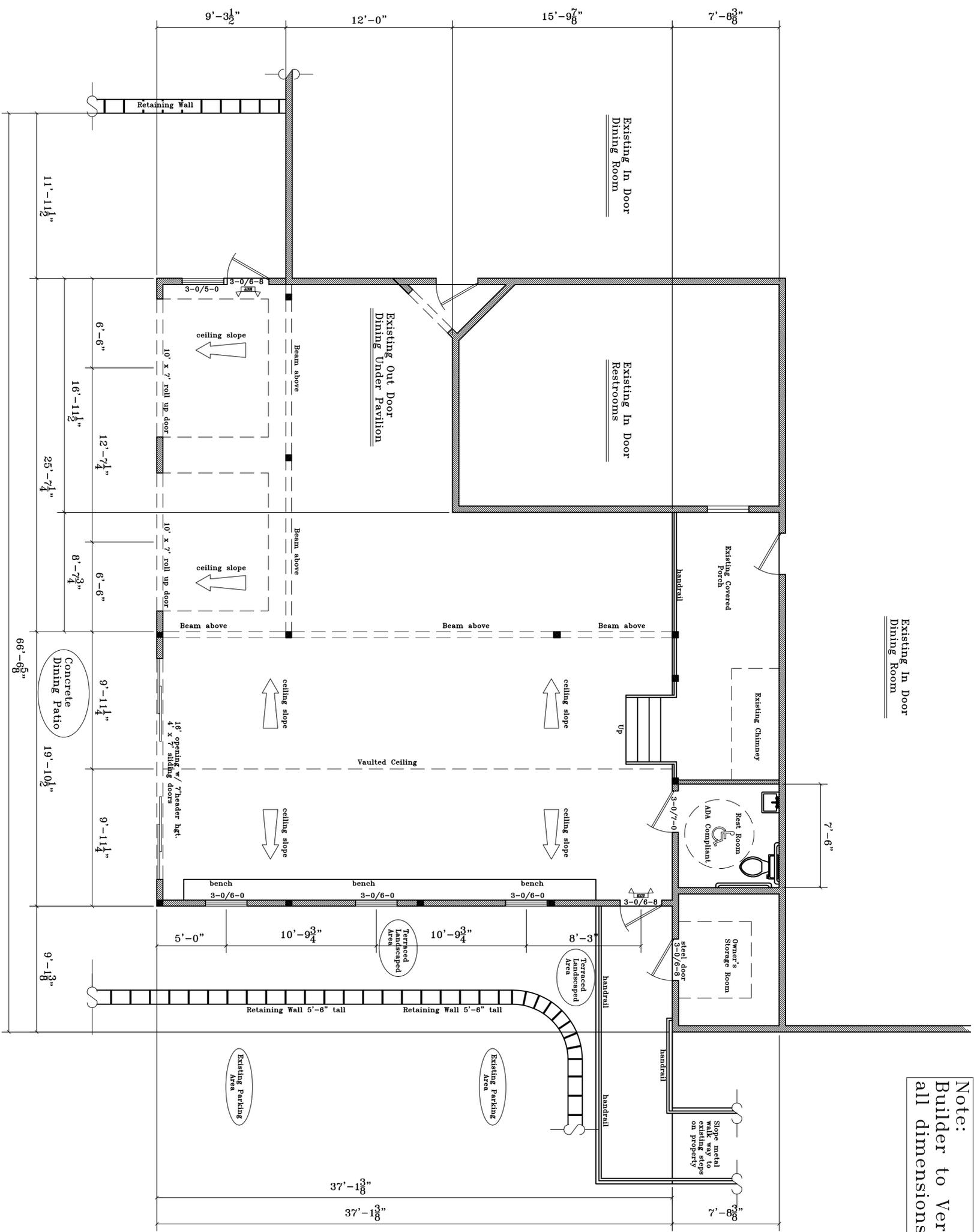
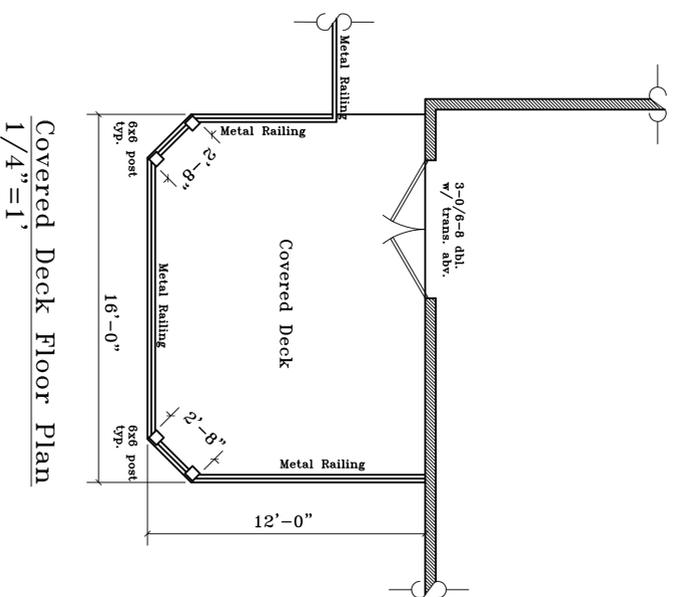
THE SMITH HOUSE
-DAHLONEGA, GEORGIA-
Existing Floor Plan

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501
Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

**REMODELED DINING SQ.FT.
EQUALS-1,680**

Scope of Work:
Contractor to enclose Covered Dining area as shown on Remodeled Floor Plan with shed roof as shown below.



Note:
Builder to Verify all dimensions

Sheet **A3** OF:3

REVISED:	DATE:	BY:	DATE:11/01/2023

**THE SMITH HOUSE
-DAHLONEGA, GEORGIA-
Floor Plan Remodel**

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501

Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

NOTE:
ANY PRINTING OR REPRODUCTION OF THESE PLANS IS ILLEGAL.



Historical Preservation Society

Re: continuation of the proposed plan for the Veranda at the back side of the Smith House

Proposed Material & Colors

The exterior walls of the proposed area will be in Hardy Plank with the colors and trim of the original building. Siding Color 6142 Macadamia and Trim 2814 Rockwood Antique Gold by Sherman Williams.

(2) 10X7 Metal Roll-up Garage Doors

(2 sets) 4X7 Vinyl Sliding Doors

(3) 60X72 Exterior Windows

2x4 exterior siding hardie plank walls

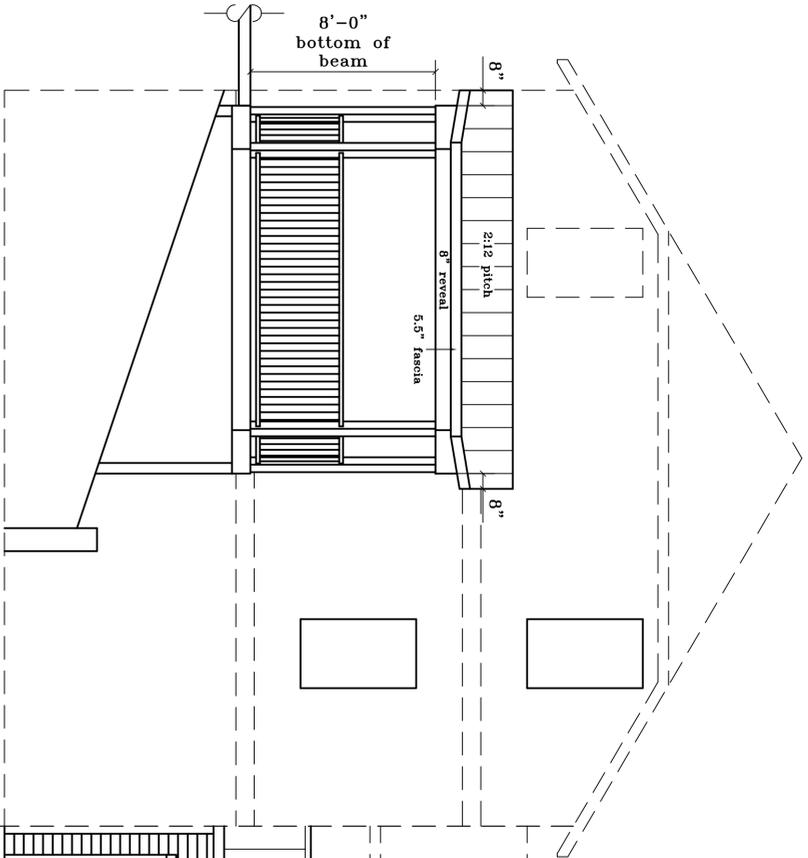
Treated 2X6 Rafters

Tongue & Groove White Pine ceiling matching existing ceiling on the Veranda

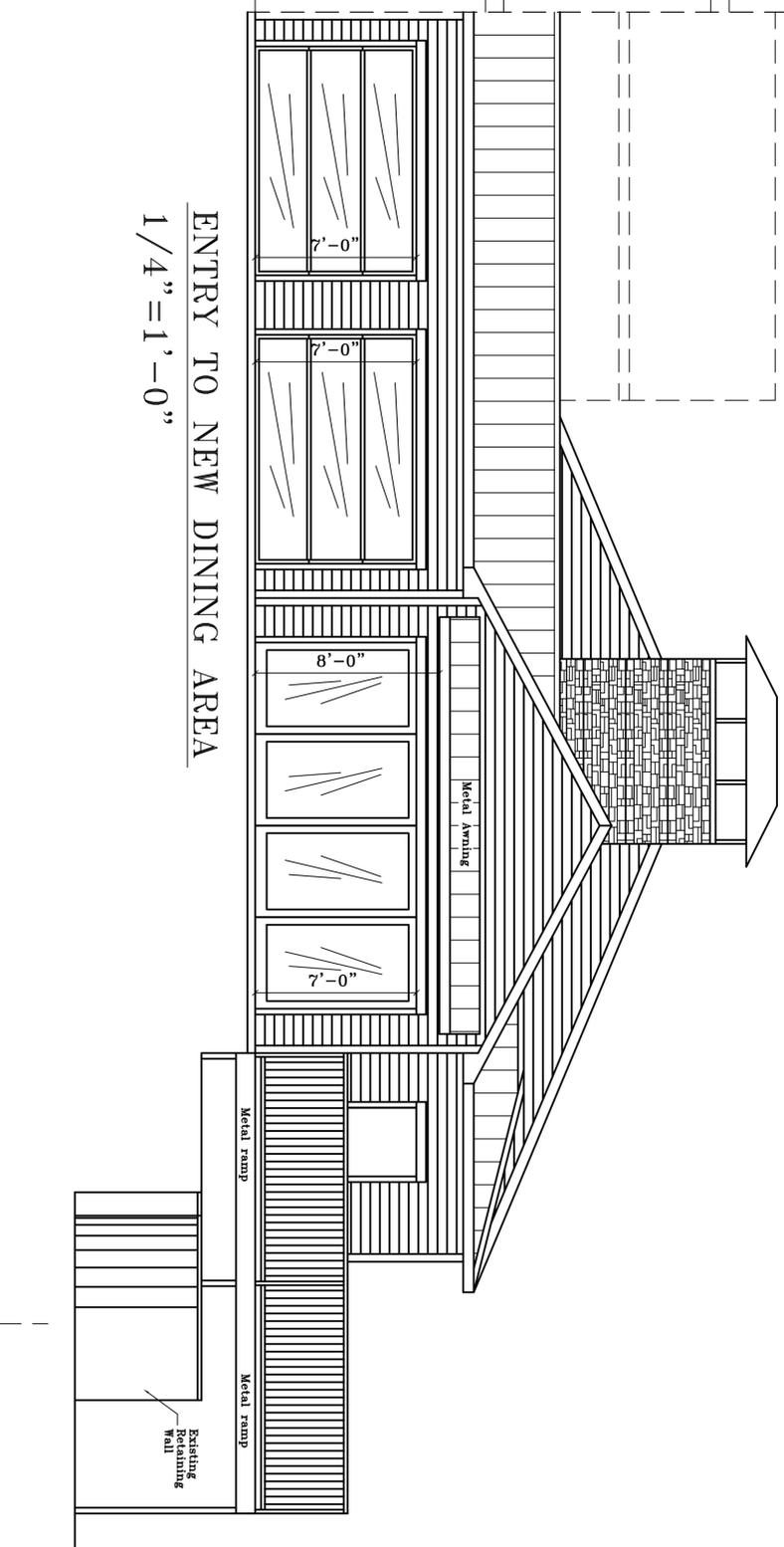
Desking OSB boards

The Metal Roof standing seam that matches the original metal roof and color.

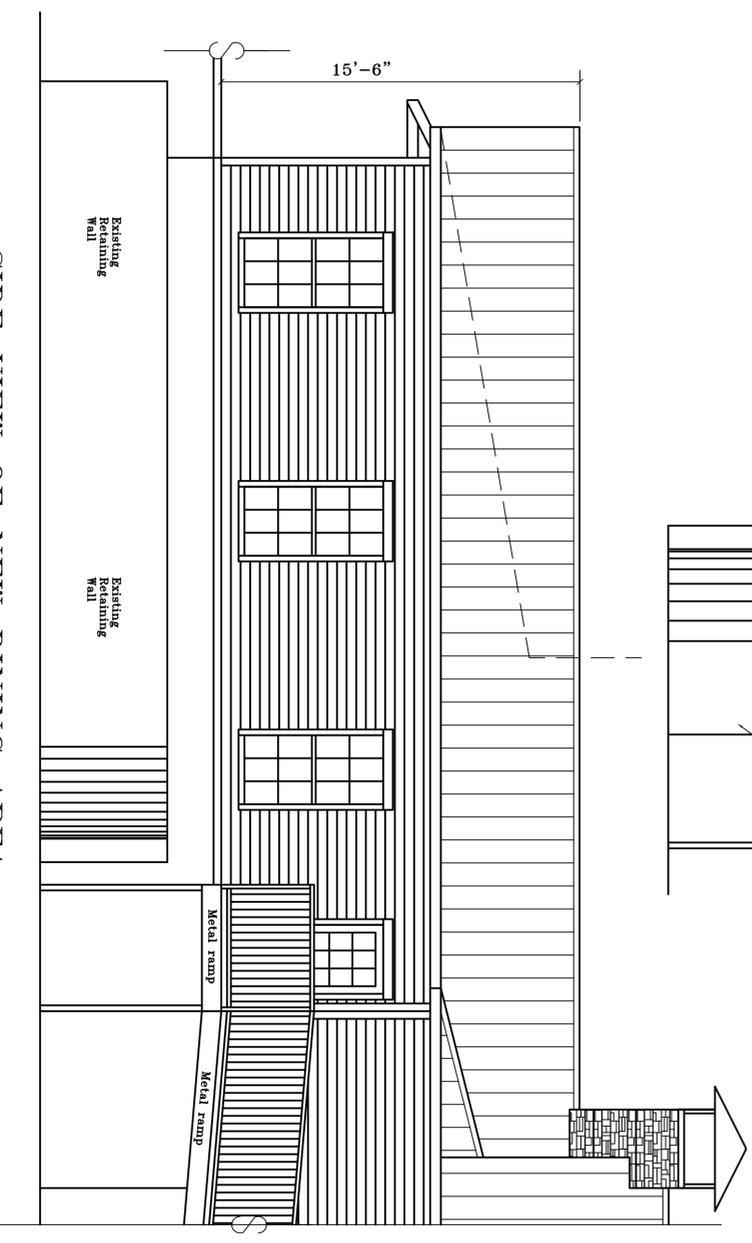
Note:
Builder to Verify
all dimensions



ENTRY TO NEW DINING AREA
1/4" = 1'-0"



SIDE VIEW OF NEW DINING AREA
1/4" = 1'-0"



NOTE:
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OF THESE PLANS IS ILLEGAL.

Sheet
A1
OF:3

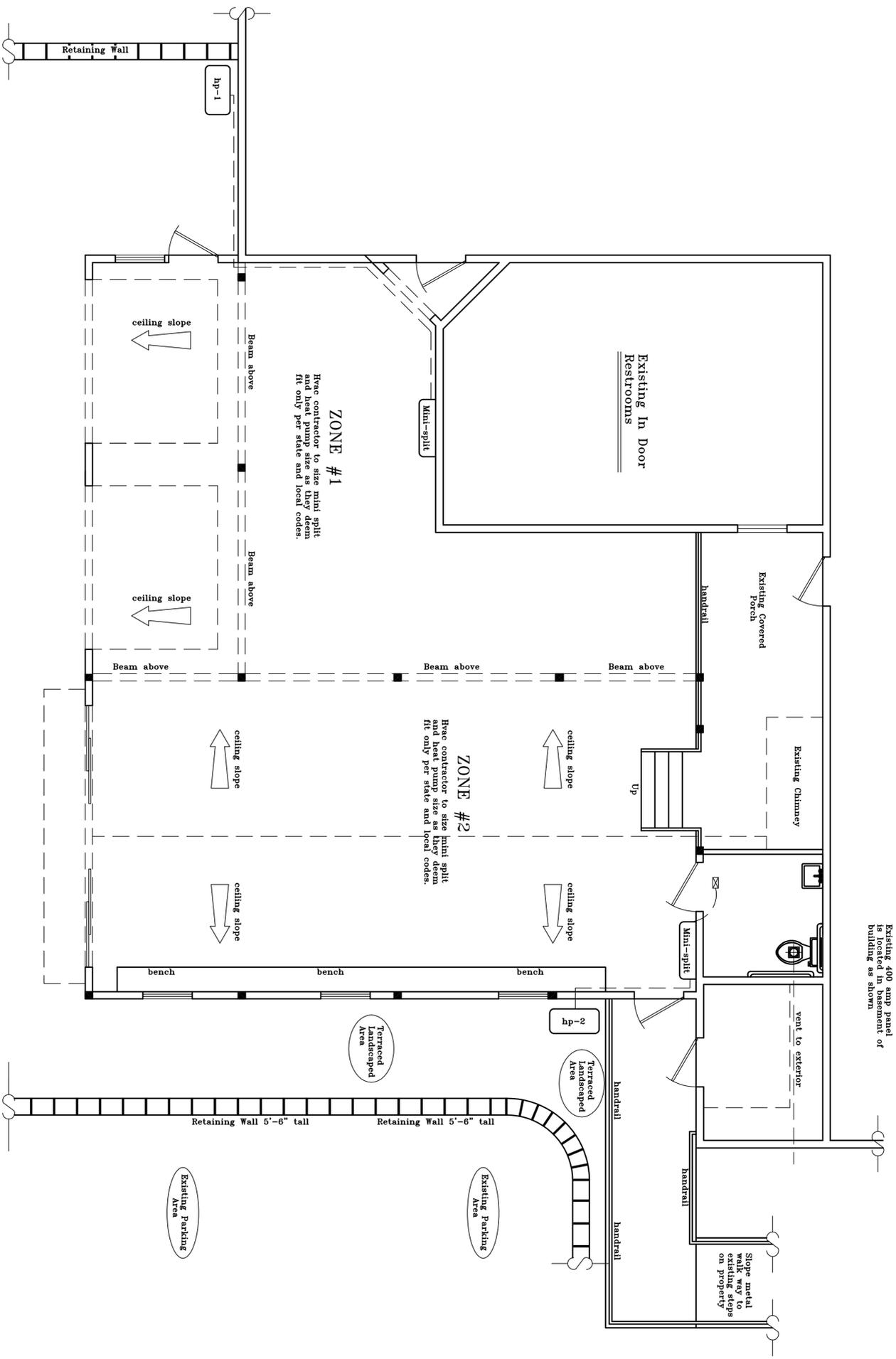
REVISED: DATE: BY: DATE: 11/01/2023

THE SMITH HOUSE
- DAHLONEGA, GEORGIA -
Elevation's A

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501
Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

Note:
Builder to Verify
all dimensions



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Sheet	REVISED:	DATE:	BY:	DATE: 11/01/2023
OF: 1				

THE SMITH HOUSE
- DAHLONEGA, GEORGIA -
Mechanical Plan

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501

Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

— THE SMITH HOUSE —
 SCOPE OF WORK: REMODEL/ADDITION
 LOCATION SITE:

84 SOUTH CHESTATEE STREET
 DAHLONEGA, GEORGIA 30533

CONTRACTOR: BOBBY SELF (SELF & SELF CONSTRUCTION) DAHLONEGA, GEORGIA -706-265-0165
 THOMAS RANDOLPH GRIFFIN-2380 ISLAND DRIVE, GAINESVILLE, GEORGIA 30501-770-827-9949
 LANCE FULLER DESIGNS -P.O. BOX 2082-DAHLONEGA, GEORGIA -770-366-1036

INDEX OF DRAWINGS

ARCHITECTURAL ELECTRICAL MECHANICAL PLUMBING EXIT

CS COVER SHEET				
A1 OF 4 ELEVATIONS	EL.1	ELECTRICAL PLAN	M.1	MECHANICAL PLAN
A2 OF 4 EXISTING FLOOR PLAN	EL.1	PANEL DIAGRAM		
A3 OF 4 FLOOR PLAN REMODEL			PL.1	PLUMBING PLAN
				EX.1
				EXIT FLOOR PLAN

CODES

INTERNATIONAL BUILDING CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020,2022)
 INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL PLUMBING CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020, 2022, 2023)
 INTERNATIONAL MECHANICAL CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020, 2022)
 INTERNATIONAL FIRE CODE 2018 EDITION WITH GEORGIA AMENDMENTS(CONTACT STATE FIRE MARSHALL)
 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2022)
 INTERNATIONAL PROPERTY MAINTENANCE CODE 2018 EDITION WITH GEORGIA AMENDMENTS
 LIFE SAFETY CODE (NFPA 101) 2020 EDITION WITH GEORGIA AMENDMENTS (2020)
 NATIONAL ELECTRIC CODE 2020 EDITION WITH GEORGIA AMENDMENTS (2021)
 INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION WITH GEORGIA AMENDMENTS (2020, 2022, 2023)

PROJECT CRITERIA

A. OCCUPANCY CLASSIFICATION	BUSINESS/COMMERCIAL
B. TYPE OF CONSTRUCTION	TYPE VB(TYPE FIVE-B) ADDITION-REMODEL
C. SPRINKLERS	NO
D. ONE HOUR PROTECTED AREA IN SQUARE FEET:	NO (HEATED SPACE) 1,680
F. NUMBER OF STORIES	ONE
G. HEIGHT:	15'-6"
H. OCCUPANT LOAD:	1,680 SQ. FT. DIVIDED BY 100 = 168
TOTAL:	68 PERSONS ALLOWED IN STRUCTURE

ARCHITECTURAL DESIGNER THOMAS RANDOLPH GRIFFIN-2380 ISLAND DRIVE, GAINESVILLE, GEORGIA 30501-770-827-9949
 LANCE FULLER DESIGNS P.O. BOX 2082 DAHLONEGA, GA 30533 770-366-1036

MAINS: 400A MLO
 VOLTAGE: 208/120 V
 PHASE/WIRE 3PH 4W
 MIN. AIC RATING: 65,000

PANEL SCHEDULE #1

MAIN BUS: COPPER
 MOUNTING: SURFACE
 LOCATION: HALL WAY

AMPS TRIP	POLES	DESCRIPTION	#	PHASE LOAD (K.V.A.)			#	DESCRIPTION	POLES	AMPS TRIP
				A	B	C				
50	1		1				2		1	20
	2		3				4		1	20
60	5		5				6		1	20
	2		7				8		1	20
30	9		9				10		1	20
	2		11				12		1	20
20	1		13				14		1	20
20	1		15				16		1	20
20	1		17				18		1	20
20	1		19				20		1	20
	2		21				22		1	20
20	1		23				24		1	20
20	1		25				26		1	20
20	1		27				28		1	20
20	1		29				30		1	20
30	31		31				32		1	20
	1		33				34		1	20
20	1		35				36		1	20
20	1		37				38		1	20
20	1		39				40		1	20
20	1		41				42		1	20
NOTES:			TOTALS							
CONNECTED LOAD: 189 AMPS							DEMAND LOAD: 137 AMPS			

NOTE:
 ANY PRINTING OR REPRODUCTION
 OF THESE PLANS IS ILLEGAL.

Sheet
 E1
 OF:2

REVISED: DATE: BY: DATE: 11/01/2023

THE SMITH HOUSE
 -DAHLONEGA, GEORGIA-
 Electrical Panel Plan

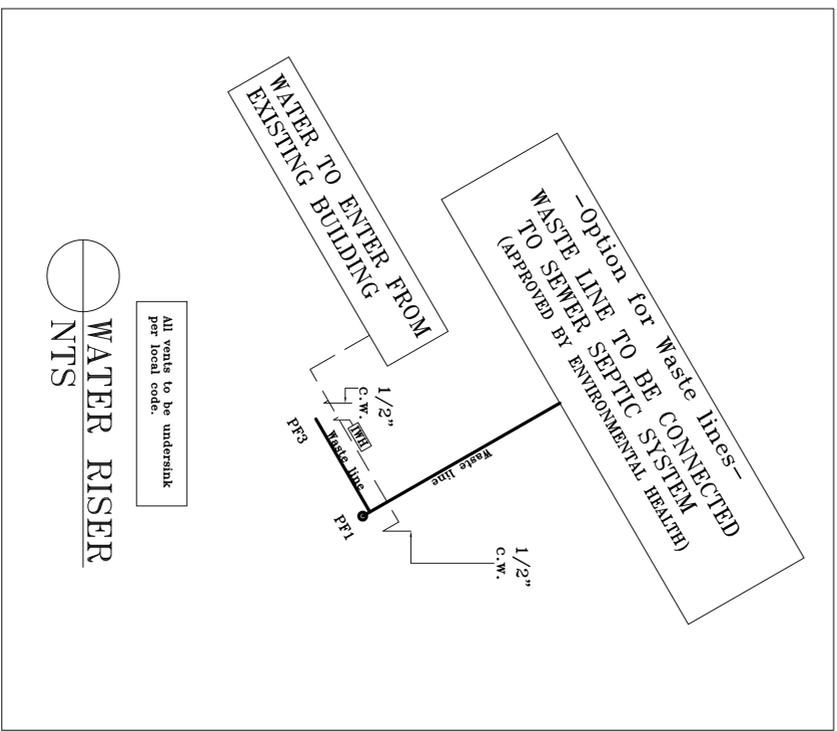
To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

THOMAS RANDOLPH GRIFFEN
 GAINESVILLE, GA 30501
 Drawn By: Lance Fuller
 Lance Fuller Design's
 P.O. Box 2082
 Dahlonega, Ga 30533
 770-366-1036

1/2" HOT WATER
 1/2" COLD WATER
 4" WASTE LINE
 INSTANT WATER HEATER
 WATER HEATER
 IWH

PLUMBING FIXTURE SCHEDULE					
MARK	FIXTURE	DESCRIPTION	WASTE CONN.	C.W. SUPPLY	H.W. SUPPLY
PF1	WATER CLOSET-ADA	HANDICAP-ELONGATED FLUSH TANK TOILET, 1.28 GPF GABRIEL WHITE VITREOUS CHINA TOILET, SIFON ACTION, 16 1/2" HIGH BOWL, WHITE SOLID PLASTIC OPEN FRONT HEAVY DUTY SEAT	4"	1/2"	--
PF3	LAVATORY-WALL HUNG ADA	1/2" O.C. 20"X14" 1/2" HUNG WITH RIFUSER TRIM SINGLE LEVER FAUCET WITH 0.5 GPM AERATOR, LESS DRAIN, 1/2" MALE THREADED CONNECTIONS.	2"	1/2"	1/2"

FIXTURES SPECIFIED AS A BASIS OF DESIGN. SIMILAR PLUMBING FIXTURES SELECTED BY THE CONTRACTOR SHALL BE ACCEPTABLE

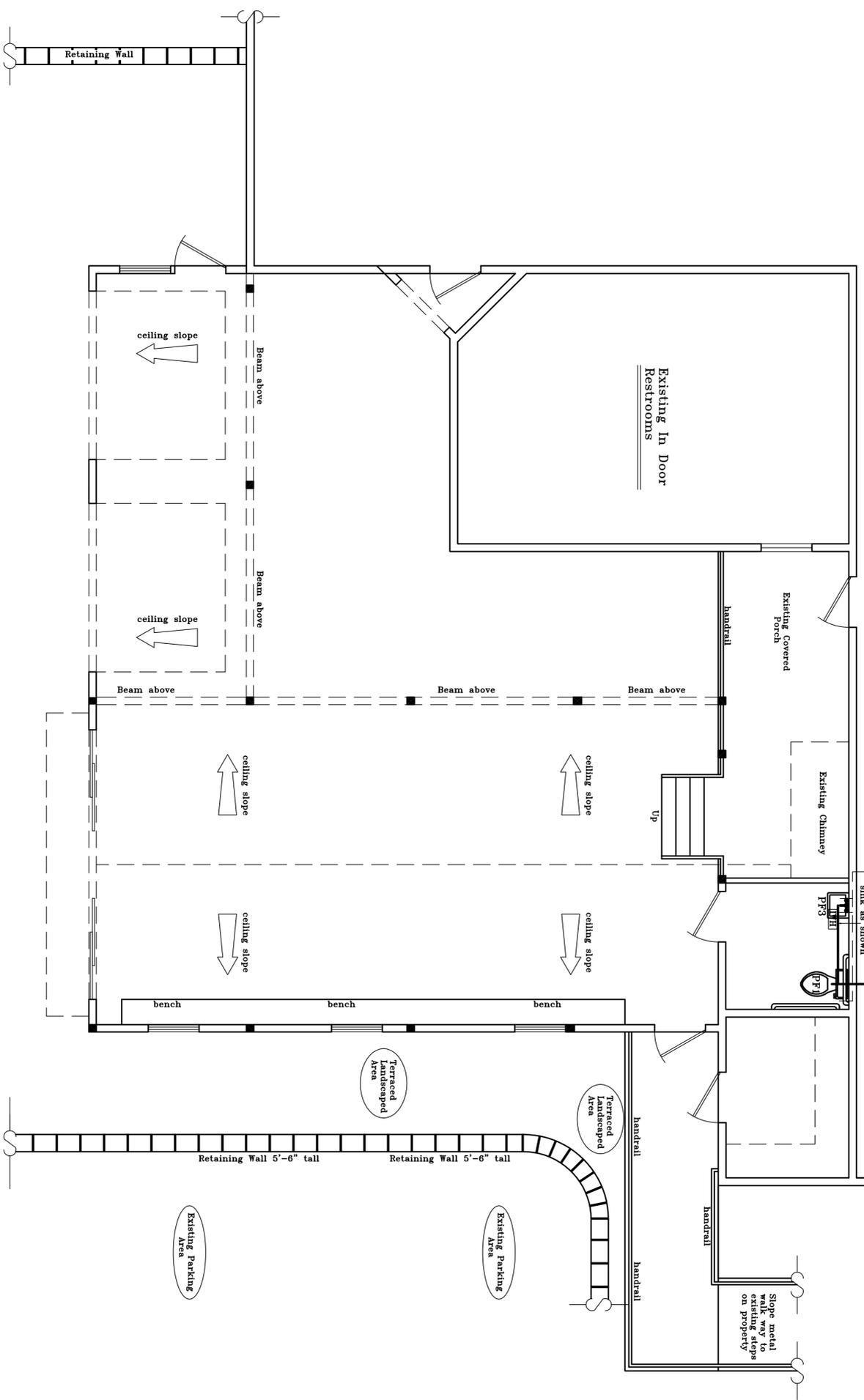


WATER RISER
 NTS

All vents to be undersink per local code.

-Option for Waste Lines-
 WASTE LINE TO BE CONNECTED TO SEWER SEPTIC SYSTEM (APPROVED BY ENVIRONMENTAL HEALTH)

Note:
 Builder to Verify all dimensions



Sheet
P1
 OF:1

REVISED:	DATE:	BY:	DATE:11/01/2023

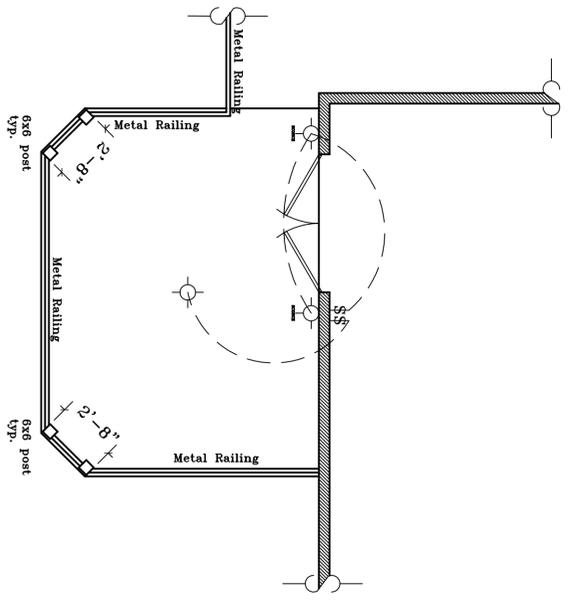
THE SMITH HOUSE
 -DAHLONEGA, GEORGIA-
 Plumbing Plan

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints or made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions of enclosed drawings. Lance Fuller Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

THOMAS RANDOLPH GRIFFEN
 GAINESVILLE, GA 30501
 Drawn By: Lance Fuller
 Lance Fuller Design's
 P.O. Box 2082
 Dahlonega, Ga 30533
 770-366-1036

NOTE:
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Note:
Builder to Verify
all dimensions

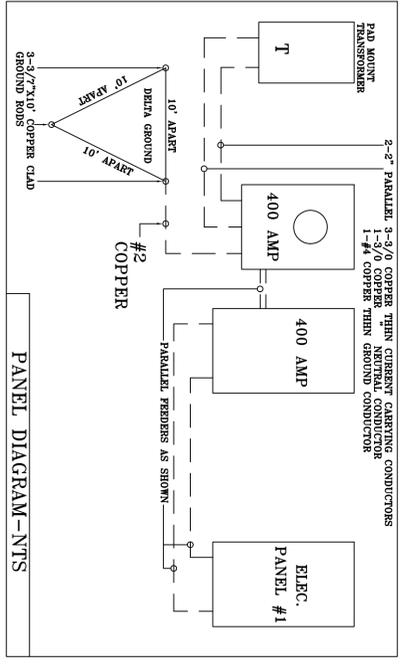
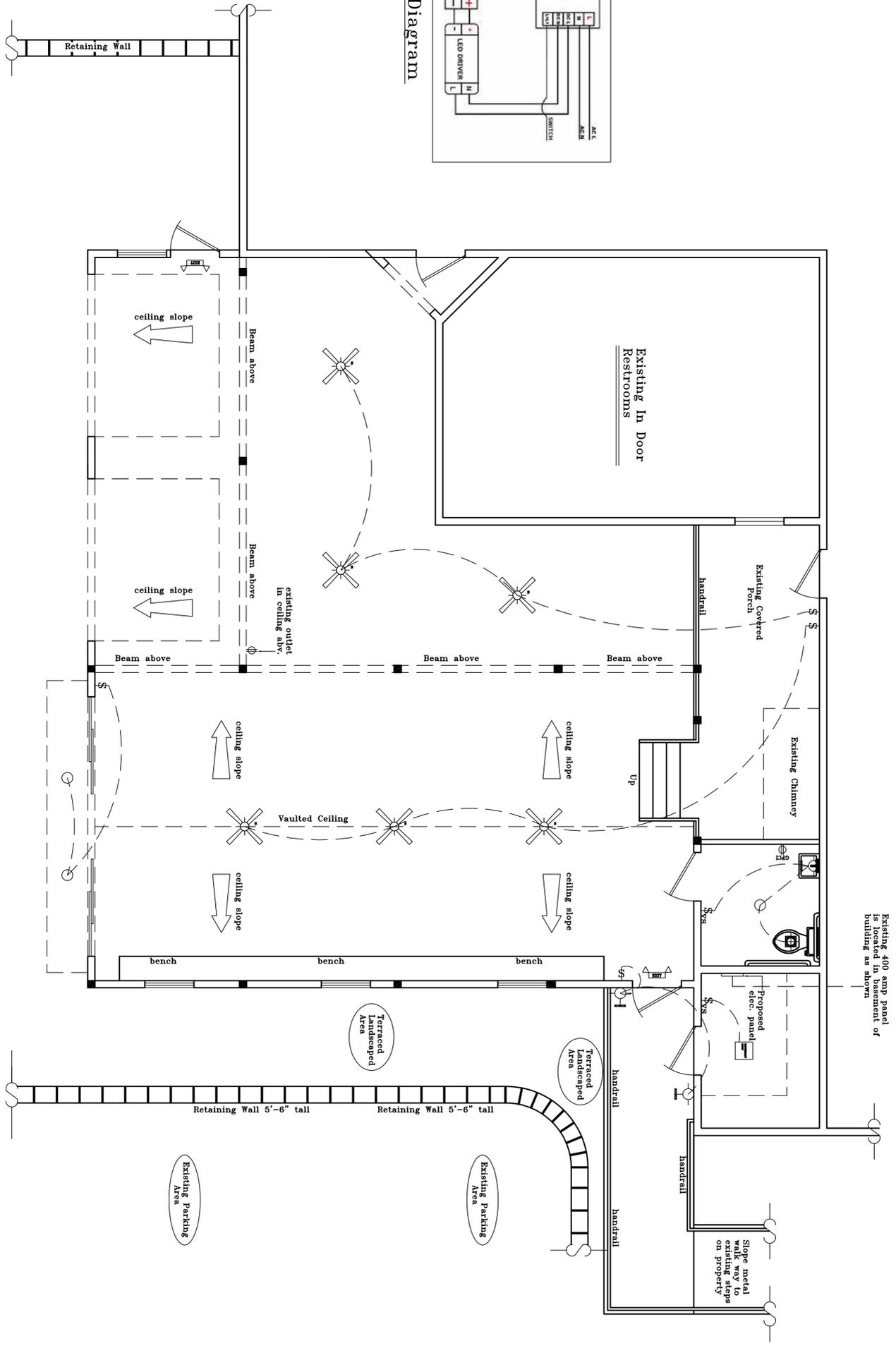
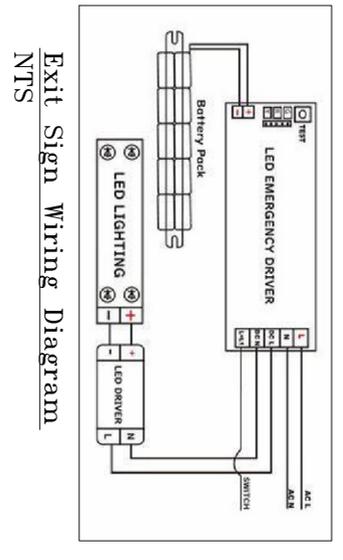


Covered Deck Electrical Plan
1/4"=1'

- ELECTRICAL LEGEND -

	ELECTRICAL OUTLET
	ELECTRICAL OUTLET W/20A/250V/250V
	ELECTRICAL OUTLET WITH GROUND FAULT BREAKER
	VACUAC SENSOR SWITCH - part # Ultravac wks
	LIGHT SWITCH
	RECESSED LIGHT/CAN LIGHT
	SOURCE LIGHT
	LIGHT FIXTURE
	FAN WITH LIGHT FIXTURE
	2 X 3 FLUORESCENT FIXTURE
	EXHAUST FAN WITH LIGHT - vent to exterior
	SMOKE DETECTOR - SEE NOTE BELOW
	EXIT SIGN WITH DUAL LIGHTS
	2 X 4 FLUORESCENT FIXTURE
	4' X 8' FLUORESCENT FIXTURE
	WALL PACK

NOTE:
All smoke detectors to be hard-wired with battery backup and must be interconnected.



Sheet
E1
OF: 2

REVISED:	DATE:	BY:	DATE: 11/01/2023

THE SMITH HOUSE
- DAHLONEGA, GEORGIA -
Electrical Plan

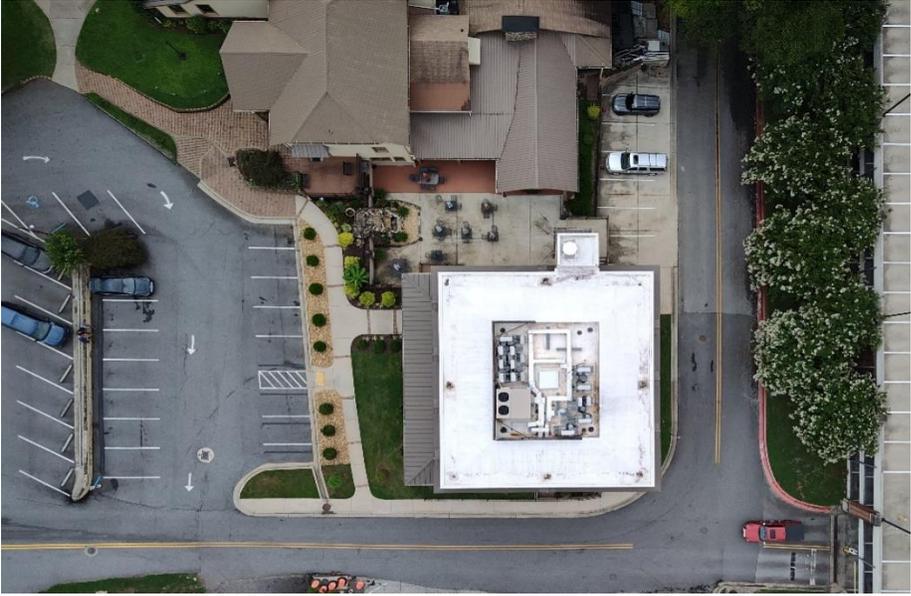
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THOMAS RANDOLPH GRIFFEN
GAINESVILLE, GA 30501

Drawn By: Lance Fuller
Lance Fuller Design's
P.O. Box 2082
Dahlonega, Ga 30533
770-366-1036

NOTE:
ANY PRINTING OR REPRODUCTION
OF THESE PLANS IS ILLEGAL.







CITY OF DAHLONEGA
465 Riley Road
Dahlonega, Georgia 30533
Phone: 706-864-6133

**STAFF REPORT FOR HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATNESS (COA)**

Case: COA-24-5

Parcel I.D.: D11-100

Address: 84 South Chestatee Street

Petitioner: Freida Welch-Bafile

Work Session Date: August 14, 2024

Voting Session Date: August 26, 2024

Zoning District: CBD: Central Business District

The Central Business District is intended to establish and preserve a compact central business district convenient and attractive for a wide range of retail uses, business transactions, government and professional offices, places of amusement, employment activities, and services to the public designed primarily to meet the day-to-day retail and service needs of residents of the City of Dahlonega.

Request:

Exterior Modifications

- Construct a roof structure over an existing deck.
- Enclose an existing veranda with roofing and walls.
- Install metal roll-up doors.
- Install vinyl sliding doors.

Findings and Analysis:

Section 109-20(d) of the City of Dahlonega Historic Preservation Ordinance authorizes the Dahlonega Historic Preservation Commission to review applications for Certificate of Appropriateness (COA). Section 2502 of the Dahlonega Zoning Ordinance requires the

approval of a COA prior to new construction and material changes in appearance (including painting) for any building within a designated Historic District.

The applicant proposes several exterior modifications to the principal structure, known as "The Smith House." The site features an unenclosed, open-air deck structure, which the applicant proposes to cover with a roof structure. Additionally, the applicant wishes to fully enclose an existing veranda on the site by installing roofing and walls. The walls will include windows, and the siding composition is yet to be specified. The applicant has proposed the installation of metal roll-up doors and vinyl sliding doors onto this addition, as depicted in the elevation drawings. The roll-up and sliding doors will all be approximately 7 feet in height.

The applicant has submitted surface level and aerial imagery depicting current conditions at the site. However, staff are not in receipt of a scaled site plan as of the time of writing.

The Lumpkin County Board of Assessors indicates that the subject lodging building was constructed in 1900. The site has a history of hotel and lodging use.

Pursuant to the Dahlonega Historic District Design Guidelines, staff has identified the following to be brought to the attention of the Commission:

4.2 Windows and Doors:

The applicant proposes the installation of both metal roll-up and vinyl sliding doors. These doors will not directly face and street or public right-of-way. Vinyl is generally considered to be a non-traditional exterior material.

4.4 Porches and Entrances:

The applicant proposes to fully enclose an existing veranda. The visibility of this enclosure, relative to the main entrance(s) to the building and site, should be considered.

5.2 New Additions:

The applicant's proposals to construct roofing and walls over open-air features will add to the building mass.

Staff Recommendation:

Staff recommends approval of the requested COA. Details of the construction proposal should be considered prior to any official decision.

From: [Freida Bafile](#)
To: [CPL](#)
Cc: [Allison Martin](#); [Sarah Waters](#); [CPL](#); [Tim Martin](#)
Subject: RE: COA-24-5 and COA-24-6: Questions from HPC
Date: Friday, August 16, 2024 8:58:40 PM
Attachments: [image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)

NOTICE: The message below was generated outside of your organization. Please proceed with caution.

I would love to answer any questions they have.

1. As for the roof line please review sheet A1 of 3 as it shows the elevations to the remodel. The side view shows a hidden line drawn to indicate the roof line on the other side of the ridge as to the new shed roof. Also, please review sheet A2 of 3 that shows the existing square footage and layout of the outside dining area with existing roof lines that are above this space. Sheet A3 of 3 is the remodeled square feet of the project. It is very easy to determine the changes as to what we have shown on the design.
2. The water feature is to stay as far as my knowledge and does not affect any part of the design or remodel of the building. A water feature would actually classify as a landscape fixture which is not part of the architectural design we provided.
3. The double doors designed are sliding doors that will match the texture and style of the existing buildings surrounding the remodel of the outdoor dining area.
4. A roof line should not be needed due to the only roof changes that will be done will be an extension of the shed roof over the new dining area. It shows it plainly on sheet A1 of 3.

The simplicity of this project is easy to determine if one looks at the plans provided. Please let me know if you have any more questions or concerns.

Thank you!

Lance Fuller

Lance Fuller Designs

72 Alicia Ln, #2082

Dahlonega, GA 30533

Office: 770.366.1036

E-mail: twindrafting@yahoo.com

Freida Welch-Bafile
The Smith House
84 South Chestatee Street
Dahlonega GA 30533
Freida@Smithhouse.com
706-725-8330
Fax: 706-748-7377

Lumpkin County, GA

Summary

Parcel Number D10 030
 Location Address 200 GROVE STREET NORTH
 Legal Description 2.23 ACR LL 951 LD 12-1
 (Note: Not to be used on legal documents)
 Class C4-Commercial
 (Note: This is for tax purposes only. Not to be used for zoning.)
 Character Area B2
 Tax District Dahlonega (District 02)
 Millage Rate 28.825
 Acres 2.23
 Neighborhood *CITY@750/FF (00259)
 Homestead Exemption No (S0)
 Landlot/District 951 / 12

[View Map](#)



Map



Owner

[F WELCH INVESTMENTS LLC](#)
 P.O. BOX 96
 DAHLONEGA, GA 30533

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	*CITY@750/FF	Front Feet	97,328	308	316	2.23	0

Commercial Improvement Information

Description Multipurpose Bldgs-4
 Value \$73,111
 Actual Year Built 1898
 Effective Year Built 1998
 Square Feet 1559
 Wall Height 10
 Wall Frames
 Exterior Wall
 Roof Cover
 Interior Walls
 Floor Construction
 Floor Finish
 Ceiling Finish
 Lighting
 Heating
 Number of Buildings 1

Description Multipurpose Bldgs-4
 Value \$118,051
 Actual Year Built 1898
 Effective Year Built 1998
 Square Feet 2820
 Wall Height 10
 Wall Frames
 Exterior Wall
 Roof Cover
 Interior Walls
 Floor Construction
 Floor Finish
 Ceiling Finish
 Lighting
 Heating
 Number of Buildings 1

Accessory Information

Description	Dimensions/Units	Identical Units	Value
Paving-Asph.(E) 2" >10000	0x0 / 3000	0	\$940
Garage Detached	12x22 / 0	0	\$2,458
Storage Bldg D-Average	16x24 / 0	0	\$1,267
Shed Average	16x22 / 314	0	\$683

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
1/5/2009	1116 681		\$500,000	Quitclaim	CITY OF DAHLONEGA	F WELCH INVESTMENTS LLC
6/8/2007	1049 659		\$425,000	Deed in lieu of foreclosure	UNITED COMMUNITY BANK	CITY OF DAHLONEGA
4/3/2007	1037 418		\$522,000	Foreclosure	BRADLEY MICKINNEY INC	UNITED COMMUNITY BANK
2/19/2003	V30 504		\$400,000	NF	VICKERS SISK FUNERAL	BRADLEY MCKINNEY INC
8/1/1977	Z3 249		\$0	NF		VICKERS SISK FUNERAL

Area Sales Report

Sale date range:

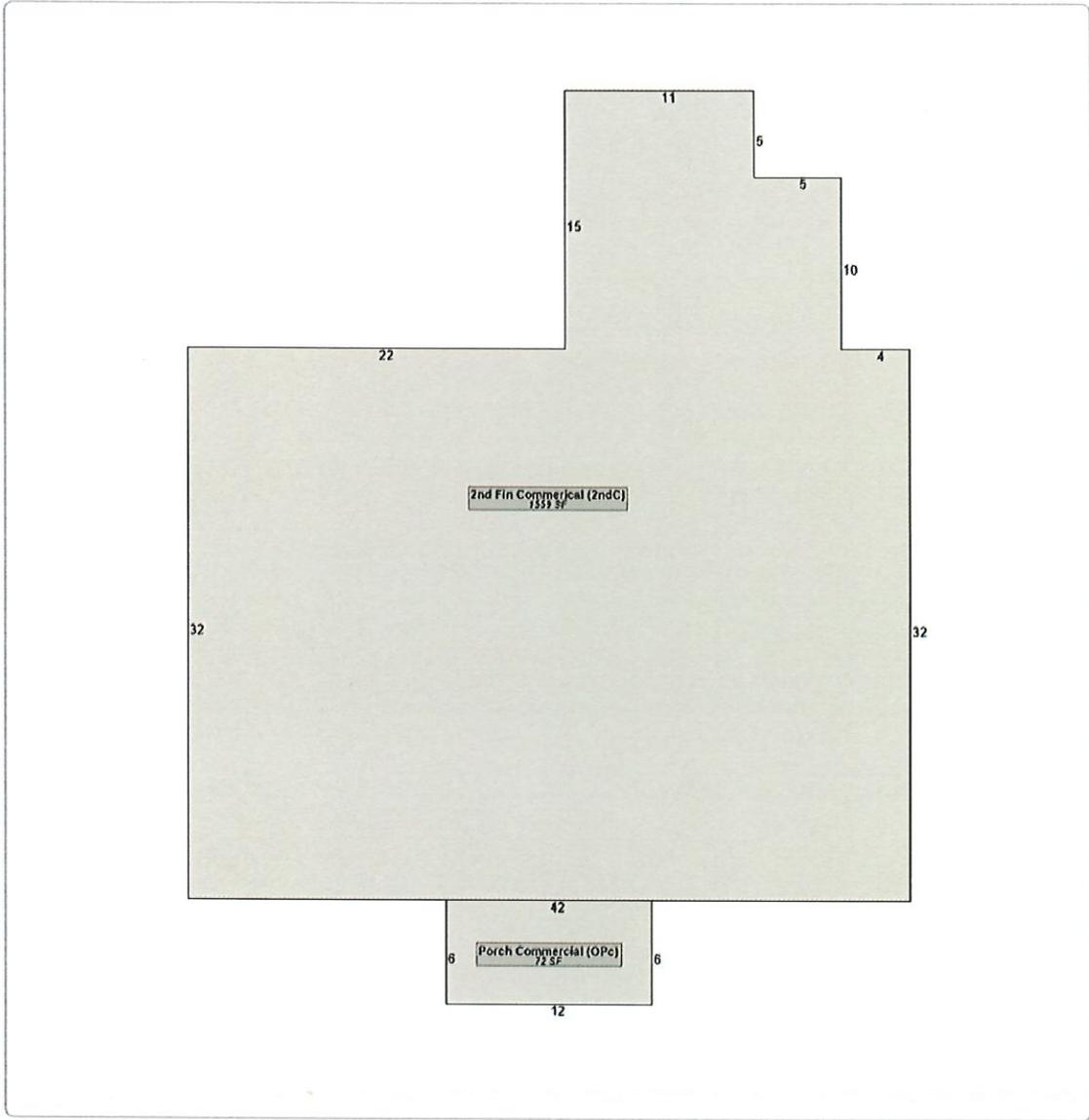
From: To:

Valuation

	2024	2023	2022	2021	2020
Previous Value	\$496,630	\$385,638	\$410,790	\$410,790	\$410,790
Land Value	\$301,039	\$301,039	\$301,039	\$301,039	\$301,039
+ Improvement Value	\$191,162	\$190,243	\$79,251	\$104,144	\$104,144
+ Accessory Value	\$5,348	\$5,348	\$5,348	\$5,607	\$5,607
= Current Value	\$497,549	\$496,630	\$385,638	\$410,790	\$410,790

Tax Collector

Photos



Mailing Labels

Distance:

100 Fee

Use Address From:

Owner Property

Select export file format:

Address labels (5160)

International mailing labels that exceed 5 lines are not supported on the Address labels (5160). For international addresses, please use the xlsx, csv or tab download formats.

Show All Owners

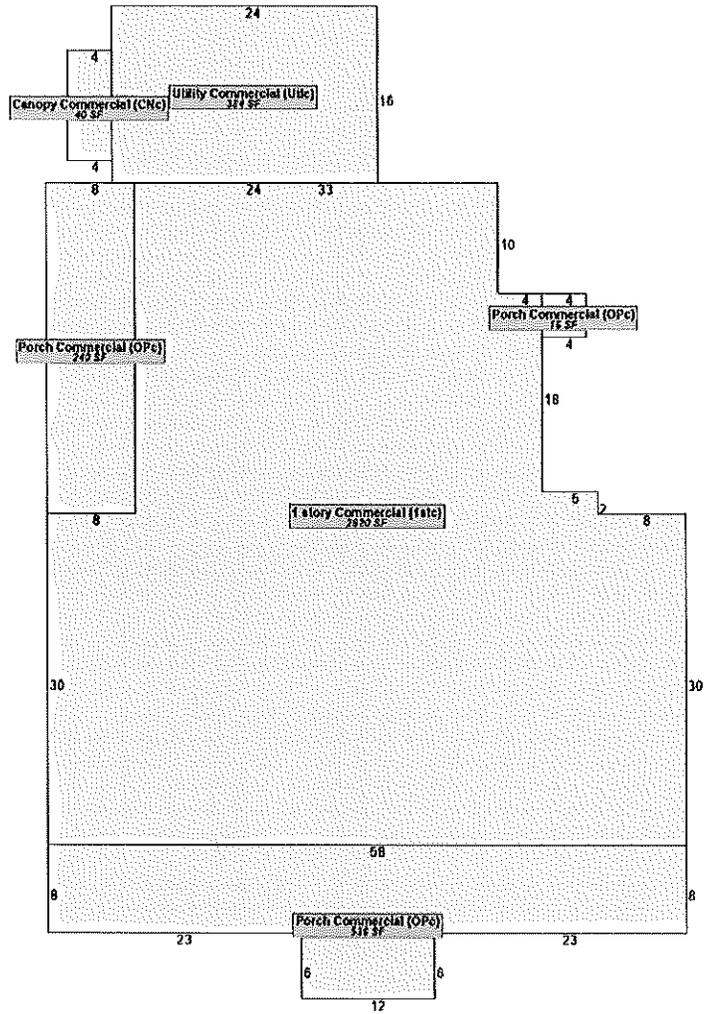
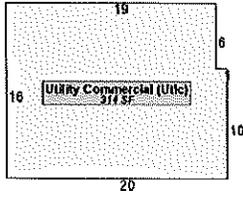
Show Parcel ID on Label

Skip Labels

No data available for the following modules: Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Prebill Mobile Homes, Permits.



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 Last Data Upload: 7/3/2024, 7:57:31 AM



GEORGIA, LUMPKIN COUNTY
CLERK'S OFFICE SUPERIOR COURT
Filed V. O.S.L.M. 02/21/03
Recorded in Real Book 30 Page 504

GEORGIA LUMPKIN COUNTY
REAL ESTATE TRANSFER TAX
PAID \$14.05
DATE 02/21/03
Edward E. Tucker
EDWARD E. TUCKER
CLERK OF SUPERIOR COURT

Edward E. Tucker 505
EDWARD E. TUCKER, CLERK

After recording return to: North Georgia Title, Inc., Henry L. Young, Jr., Attorney at Law
54 Lumpkin Campground Road South, Suite 110, Dawsonville, GA 30534

03-50130-McKinney LIMITED WARRANTY DEED

STATE OF Georgia
COUNTY OF Lumpkin

1956 1957 CHARTERS to the HOME VICKERS Funeral Home

THIS INDENTURE made this 19th day of February, 2003, between

VICKERS-SISK FUNERAL HOME, INC.

A DISSOLVED GEORGIA CORPORATION
of the County of Lumpkin and State of Georgia, hereinafter called "Grantor(s)", and

BRADLEY MCKINNEY, INC.

of the County of LUMPKIN, State of Georgia, hereinafter called "Grantee(s)" (the terms "Grantor(s)" and "Grantee(s)" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That Grantor/s, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable considerations, receipt of which is hereby acknowledged has/have granted, sold, transferred and conveyed, and by these presents does/do grant, sell, transfer and convey unto the said Grantee, the following property to-wit:

Letter 2/20/03
Final Hand

ALL THAT TRACT AND PARCEL OF LAND LYING AND BEING IN THE CITY OF DAHLONEGA, COUNTY OF LUMPKIN, STATE OF GEORGIA, AND BEING A PART OF ORIGINAL LAND LOT 951, IN THE 12TH DISTRICT AND 1ST SECTION, KNOWN AS THE FORMER HOME PLACE OF W.A. CHARTERS; SAID TRACT OF LAND CONTAINING 2.50 ACRES, MORE OR LESS, AND SAID TRACT OF LAND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE COOPER GAP ROAD, NOW US. HIGHWAY #19, AT THE SOUTH CORNER OF SAID FENCE; THENCE RUNNING IN A NORTHWESTERN DIRECTION ALONG THE LINE OF SAID ROAD 317 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 345 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION 317 FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 345 FEET TO THE BEGINNING CORNER. SAID TRACT OF LAND IS FURTHERMORE DESCRIBED IN TWO DEEDS (EACH CONVEYING A PART OF SAID TRACT FROM R.C. THOMSON TO SAID WILLIAM a. CHARTERS); THE FIRST OF SAID DEEDS BEING DATED OCTOBER 5, 1901, AND RECORDED IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF LUMPKIN COUNTY, GEORGIA, BOOK E-1, PAGE 48, AND THE SECOND OF SAID DEEDS BEARING DATE OF OCTOBER 14, 1901, AND RECORDED IN THE LUMPKIN COUNTY, GEORGIA RECORDS IN BOOK E-1, PAGE 57-58, AND BEING THE SAME PROPERTY DESCRIBED IN A DEED BETWEEN HENRY HEYERS AND MAE Q. MEADERS FILED IN LUMPKIN COUNTY, GEORGIA RECORDS, BOOK M-1, PAGES 502-3, ON THE 7TH DAY OF AUGUST, 1920, AND BEING THE SAME LAND AS CONVEYED TO EDISON AND JOE WOODWARD BY A DEED FROM FRANK M., GEORGE EDWARD, BARNEY R. AND JACK Q. MEADERS, IN DEED BOOK Z-1, PAGES 163-4, LUMPKIN COUNTY, GEORGIA RECORDS, AND BY DEED FROM EDISON WOODWARD, WHICH DEED IS OF RECORD, BOOK Z-1, PAGE 165-166 OF THE DEED RECORDS OF LUMPKIN COUNTY, GEORGIA, TOGETHER WITH IMPROVEMENTS THEREON.

Yours
1898

BEING THE SAME PROPERTY DESCRIBED IN A DEED TO FORREST J. SISK, AND JOHN H. VICKERS, JR., EXECUTED OCTOBER 31, 1975, RECORDED IN DEED BOOK J-3, PAGES 766-767 OF THE LUMPKIN COUNTY, GEORGIA RECORDS.

ALSO BEING THE SAME PROPERTY DESCRIBED IN A DEED FROM FORREST J. SISK, AND JOHN H. VICKERS, JR., TO VICKERS-SISK FUNERAL HOME INC., RECORDED IN DEED BOOK 23, PAGE 249, AFORESAID RECORDS.

THIS CONVEYANCE IS FOR THE PURPOSE OF WINDING DOWN AND DISSOLVING THE CORPORATE INTERESTS.

000504

Hillcrest



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Hillcrest 2012



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01/30/2012

In November of 1898 the Dahlonega Consolidated Gold Mining Company was organized by some financiers from Ohio, Michigan and Tennessee. About 7000 acres of land with mineral rights were purchased in and around Dahlonega, and the company began the process of building the largest gold processing mill in the Eastern United States that eventually employed over 600 people. The company not only built the mill, but they also built a Commissary and the Mountain Lodge to house visiting stockholders and dignitaries. Some of the more permanent transplanted officers and managers of the company also built personal homes in Dahlonega. (Colvin 1901, pgs.10-11)

The house was originally built and occupied in 1899/1900 by R. C. Thomson of Delaware, Ohio who was one of the original officers and directors of the Dahlonega Consolidated Gold Mining Company. He bought the desirable land from Esther C. Hall, wife of Frank W. Hall who built the present day Smith House. (Lumpkin County, GA 1897-1899, p. 570) In the prospectus of the company Thomson is listed as being the Editor of the Delaware Gazette, a newspaper in Ohio. (*Announcement of the Dahlonega Consolidated Gold Mining Company, Dahlonega, Georgia, 1899*) He was active in the affairs of Ohio and was a member of the executive committee of Republican League Clubs of Ohio. (McNelley 1901) According to the *Dahlonega Nugget* of January 26, 1900 Thomson is one of the "northern gentlemen" who has located in Dahlonega, and he has "already built and now occupies the prettiest and most convenient dwelling in Dahlonega."

In 1901 Thomson sold the house and property to W. A. Charters for \$2500, and it was then known as the Charters Homeplace. (Lumpkin County, GA 1901-1903, p. 48) Colonel Charters, as he was known, came to Dahlonega from Virginia after graduating from Washington and Lee University Law School in 1883 at the age of 20. He remained in Dahlonega in a highly successful practice until 1907 when he moved to Gainesville, Georgia. While in Dahlonega he served as mayor in 1886 and in the Georgia Legislature from 1892-1893 and from 1896-1897. In 1899 he began a twelve-year term as the solicitor general for the Northeastern Circuit. He was also on the Board of Directors

the Dahlonega Consolidated Gold Mining Company. Charters married Della Price

Legislature and in Congress, and he was the founder of North Georgia Agricultural College (now North Georgia College and State University). (Knight 1917, pgs. 3215-3216) In 1906 Charters moved to Gainesville, Georgia where he built a beautiful home on Green Street. That was the same year that the Consolidated Gold Mining Company went bankrupt. (Amerson 1992, p.136)

In 1908 Charters sold the land and house for \$2250 to Andrew J. Gurley of Hall County, Georgia. (Lumpkin County, GA 1908-1910, p. 166) Andrew was the brother of Hiram D. Gurley, a successful merchant in Dahlonega. The *Dahlonega Nugget* of April 9, 1909 listed the death of Andrew and said, "Last year Mr. Gurley purchased the Charters residence, one of the most substantial buildings in Dahlonega, expecting to locate here at some future time, but death has changed it all."

In 1913 Mrs. Andrew J. Gurley and her daughter, Nellie A. Gurley, sold the house to Henry Hyers of Pierce County, Georgia for \$5800. (Lumpkin County, GA 1912-1915, pgs. 302-303) The *Dahlonega Nugget* of October 17, 1913 states, "Mr. Hyers came up last Friday and after remaining a few hours returned by way of Gainesville where he went to close a trade with Mrs. Gurley of that place for her house here, which was built by Mr. Thomson, of Ohio, during the Consolidated boom. It is located on a high point of the Cooper Gap Road and is one of the most desirable places in Dahlonega..." It was during this time that the house was known as Hillcrest. Hyers was Vice-president of the Bank of Dahlonega when he located here. While living in Dahlonega, Hyers was elected Lumpkin County's representative to the Georgia State Legislature in 1919, and he was a Trustee of Schools in Dahlonega.

In May of 1919 Hyers sold the house and acreage to Mae Q. Meaders. (Lumpkin County, GA 1915-1923, pgs. 502-503) The Meaders family was prominent in Dahlonega serving as postmasters, merchants, and bankers and in other civic endeavors. The *Dahlonega Nugget* of May 30, 1919 states, "Mr. H. Hyers has sold his large beautiful residence to Mr. Frank Meaders and gives possession the first of August. The lot contains many kinds of fruit trees, grapes, etc., and is a most desirable place to live

Q. Meaders. It said that his grandmother, Mae, was very artistic and her art work hung

(Meaders interview, August 10, 2009)

The property remained in the Meaders family until it was sold by the husband and sons of Mae Meaders in January 1945 to Joe W. Woodward and Edison Woodward of Dahlonega. (Lumpkin County, GA 1948-1950, p. 163) In 1948 Edison sold his part of the property to Joe W. Woodward who became the sole owner. (Lumpkin County, GA 1948-1950, pgs. 165-166) Joe and his wife lived in the house and rented rooms to students from North Georgia College. (Palmer interview, July 30, 2009) Joe Woodward served as Mayor of Dahlonega for ten years and was a director of the Dahlonega Water Works. A life long resident of Lumpkin County, he died at age 65 in 1964. (*Daily Times*, November 8, 1964)

In February of 1949 Joe Woodward sold the property to George M. Potter and Helen Jackson Potter. (Lumpkin County, GA 1948-1950, p. 265) The Potters had returned to Dahlonega after his retirement from the Military. He had served on the Military faculty at North Georgia College, and Helen was a native of Dahlonega. Helen Potter taught in the Lumpkin County School system, and some of her students recall visiting in her home. They describe many fruit trees on the property and playing with the three Potter children. (Adams interview, July 15, 2009) (Grindle interview, July 24, 2009)

The property changed hands again in February of 1957 when the Potters sold it to Hubert Vickers of Hall County. (Lumpkin County, GA 1956-1957, p. 526) Vickers was the owner of Vickers Funeral Home of Dahlonega, which had been operating out of the former Littlefield Funeral Home close by. (Anderson interview, August 15, 2009) At that time the house became a mortuary operated by Vickers.

Forrest J. Sisk and John H. Vickers, Jr. bought the property and all the funeral equipment in 1975 from Hubert Vickers. (Lumpkin County, GA 1975, p. 766) Again in 1977 the title was transferred to Vickers-Sisk Funeral Home, Inc at the time of the incorporation of the business. (Lumpkin County, GA 1980, p. 249) During this time (about 1980) a small shed was added behind the Funeral Home, and later the driveway and parking lot were paved with asphalt





CITY OF DAHLONEGA
465 Riley Road
Dahlonega, Georgia 30533
Phone: 706-864-6133

**STAFF REPORT FOR HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATENESS (COA)**

Case: COA-24-6

Parcel I.D.: D10-030

Address: 200 Grove Street North

Petitioner: Freida Welch-Bafile

Work Session Date: August 14, 2024

Voting Session Date: August 26, 2024

Zoning District: CBD: Central Business District

The Central Business District is intended to establish and preserve a compact central business district convenient and attractive for a wide range of retail uses, business transactions, government and professional offices, places of amusement, employment activities, and services to the public designed primarily to meet the day-to-day retail and service needs of residents of the City of Dahlonega.

Request:

Demolitions

- Demolish accessory building at the rear of the site.
- Remove all parts of the structure added since original construction.

Material Changes in Appearance

- Replace all existing vinyl siding with wood siding.

Landscaping

- Removal of overgrown vegetation at the side of the building

Structural Addition

- Construct an exterior staircase against the front façade of the existing building.

Findings and Analysis:

Section 109-20(d) of the City of Dahlonega Historic Preservation Ordinance authorizes the Dahlonega Historic Preservation Commission to review applications for Certificate of Appropriateness (COA). Section 2502 of the Dahlonega Zoning Ordinance requires the approval of a COA prior to new construction and material changes in appearance for any building within a designated Historic District.

The applicant has introduced a multi-faceted proposal to improve this site known as "The Smith House." A series of demolitions have been proposed to remove an accessory building at the rear of the site and all additions made to the principal building since original construction. This will include a porch and access ramp at the rear, and several rooms within the building. The application indicates that the accessory building is severely deteriorated and has been occupied by unhoused people without consent.

Additionally, the applicant plans to remove all vinyl siding and replace it with wooden siding. This siding will be painted white with black trim. Overgrown vegetation located at the side of the building is slated to be removed; the applicant indicates that shrubs will be replanted here in early 2025. Lastly, the applicant proposes the addition of an exterior staircase to the front façade of the building. The staircase will consist of masonry brick and include railings consistent with present design elements.

The Lumpkin County Board of Assessors indicates that the principal building was originally constructed in 1898. The accessory building was constructed later, in 1980. The Assessors does not indicate when the additions to the principal building were constructed. The principal building has historically operated as a funeral parlor.

Pursuant to the Dahlonega Historic District Design Guidelines, staff has identified the following to be brought to the attention of the Commission:

3.3 Site Features, Landscaping, & Plantings:

The applicant proposes the removal of overgrown vegetation by a side wall of the principal building. They anticipate replacing this vegetation with unspecified shrubbery in early 2025.

4.6 Exterior Walls and Trim, 4.8 Wood:

The applicant's proposal to remove a portion of the principal building will reveal exterior walls that are currently on the interior. Furthermore, the applicant proposes the replacement of all existing vinyl siding with wood siding, to be painted white with black trim. The applicant indicates that the siding was historically composed of wood, and that the siding will be replaced with the building's historic appearance in mind.

5.2 New Additions:

An exterior, masonry brick staircase is proposed for the front façade of the principal building. The applicant has not provided any renderings or additional plans for this staircase at the time of writing.

6.2 Demolition:

The applicant proposes to demolish all additions made to the principal building since its original construction. Staff are unaware of when these additions were installed. The applicant also plans to remove an accessory building at the rear of the site.

Staff Recommendation:

Staff recommends approval of the requested COA. Details of the construction proposal, with special regard to exterior modifications, should be considered prior to any official decision.



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:
 A \$100 non-refundable fee;
 A completed application and any required support materials listed on page 3.
 Incomplete application will not be forwarded to HPC for review.

Application Deadline:
 Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

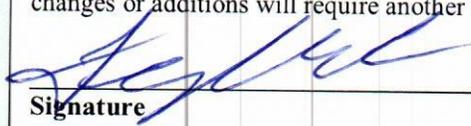
Application Presentation:
 The applicant or other representative must attend the public hearing to present the application.

Building Permit:
 If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information
 Only fill out the second Page if applicable

Office use only:

Date: _____
 Project #: _____
 Fee paid: _____
 Hearing date: _____

CONTACT	Applicant*: <u>Freddy Welch</u> Phone #: <u>706-265-5600</u> Mailing Address: <u>84 South Chestnut St</u> <u>Dahlonega, GA 30533</u>
PROPERTY AND PROJECT	Property Address: <u>200 North Grove Street</u> <u>Dahlonega, GA 30533</u> Zoning: D10 <u>CBD 02</u> Tax Parcel: <u>D10-030</u> Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input type="checkbox"/> alteration <input type="checkbox"/> deck <input checked="" type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input checked="" type="checkbox"/> demolition <input type="checkbox"/> relocation <input type="checkbox"/> other Proposed starting date: <u>ASAP</u> <u>tear off non-historic part of building</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p style="text-align: center;">  Signature _____ Date <u>July 9, 2024</u> </p>



Owner Permission Letter for Alterations to Building

Date: July 9, 2024

Regarding: Hillcrest 200 North Grove St Dahlonega
Name and property address of business

I, Freddy Welch, hereby grant permission to -NA-
Owners name Name of renter

To do alterations to the facade and or landscape of the building and property being discussed.

If you have any questions regarding this correspondence, please feel free to contact me at:

Name of property owner: F Welch Investments

Mailing address: 200 North Grove St
Dahlonega, GA 30533

E mail address: Freddy@Smithhouse.com

Phone number: 706 265-5600

[Signature]
Signature of property owner



The Guidelines are available at City Hall and on the City's website. These guidelines also contain The Secretary of the Interior's standards for the rehabilitation of Historic Buildings.

Describe the proposed project attach additional sheets if necessary. If the project will involve more than one type of project please include and overall scope of work and include the description of all proposed materials. Please attach photos of materials. See attached application checklist.

200 North Grove Street "Hillcrest"

We are asking permission from the HPC to remove non-historical structure attached to the original building. There is also a detached building on the back lawn that is also rotten and homeless people have frequently sleeping in building. The rooms that are attached that we want to remove is the embalming room, porch, office, and basket room.

We are also asking permission to remove all vinyl siding and restoring back to original wood siding. We will paint the original structure (wood siding) to the original color (white) with black trim.

"Now"
We are also asking for permission to remove all overgrown shrubs and replacing with new shrubs this spring.

We are also asking for permission to add a set of stairs to the front of the building.

I have attached pictures of all the scope of this project.

The staircase will be made ^{masonry} ~~concrete blocks~~ masonry block. The rails will match the existing porch.

Exhibit 1 - Rooms to be removed

Exhibit 2 Back side of rooms to be removed

Exhibit 3 Exterior building not attached to house to be removed

Exhibit 4 Picture of existing exterior wall. This is under the existing vinyl (to be removed)

Exhibit 5 Overgrown shrub and trees around house to be removed

Exhibit 6 Opposite side of building of overgrown trees + shrubs



Exhib #1 front side
This section removed

Exhibit 2
Backside
of
Proposed
removal

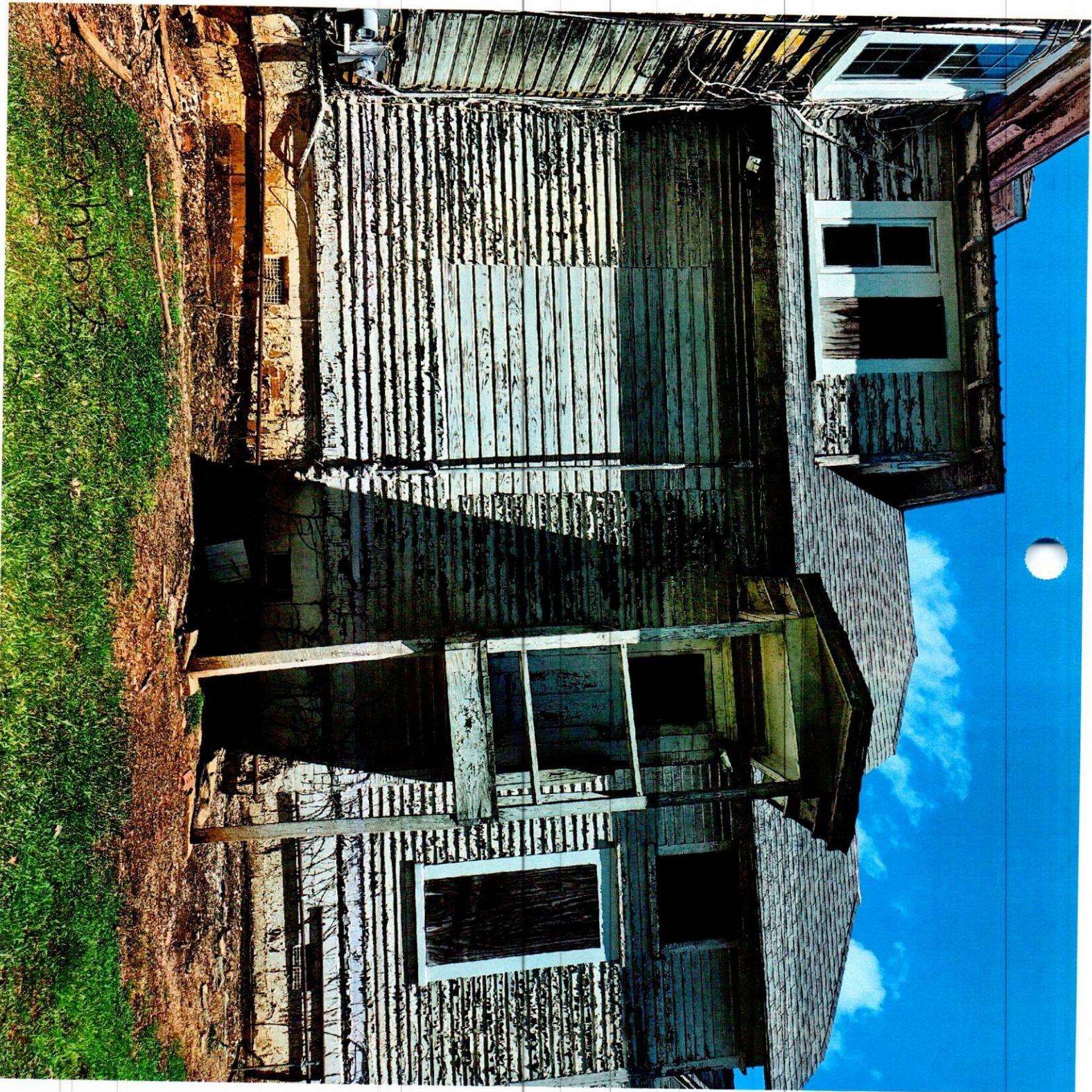
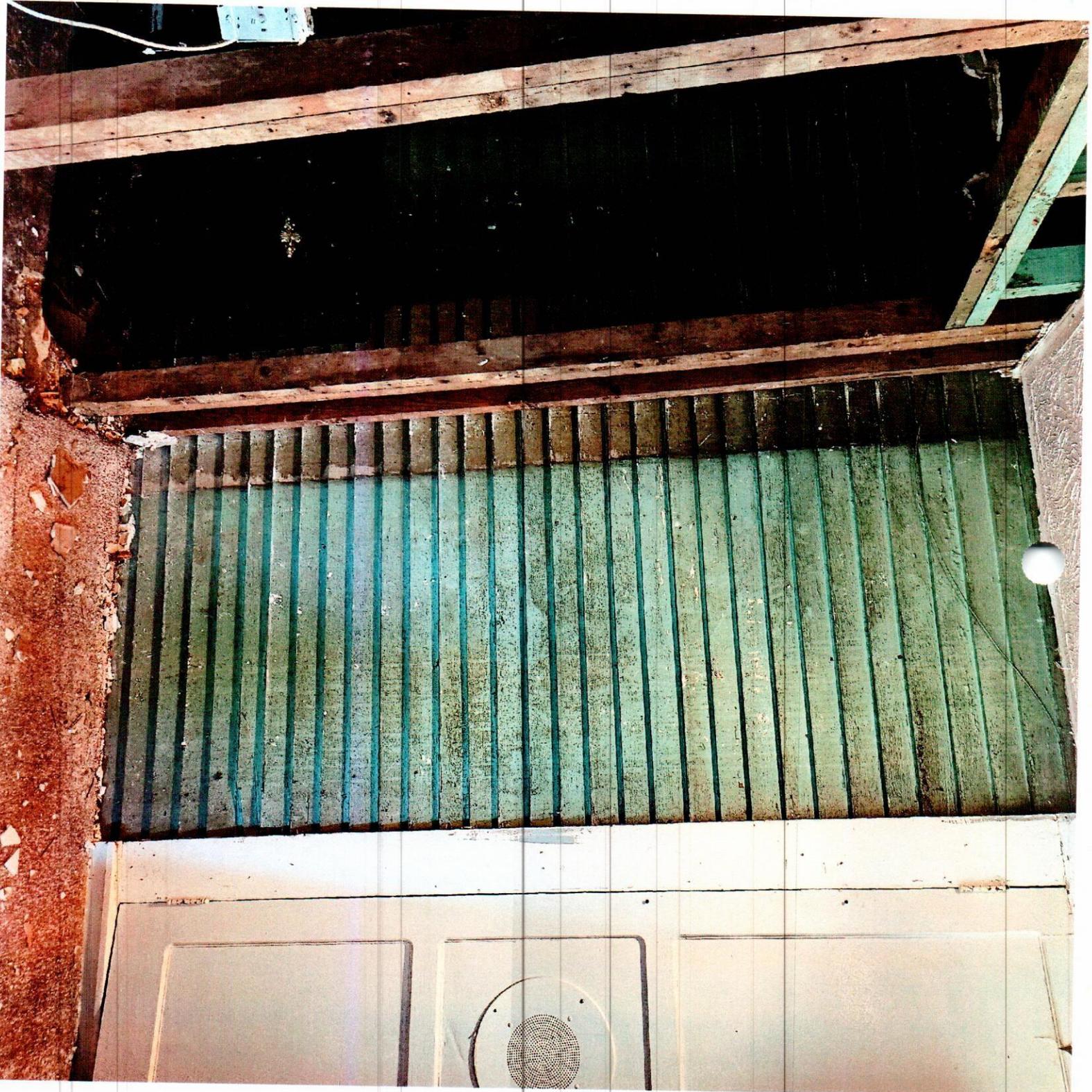


Exhibit 3
Exterior building
not attached
to house to
be removed



Exhibit 4

Existing
walls



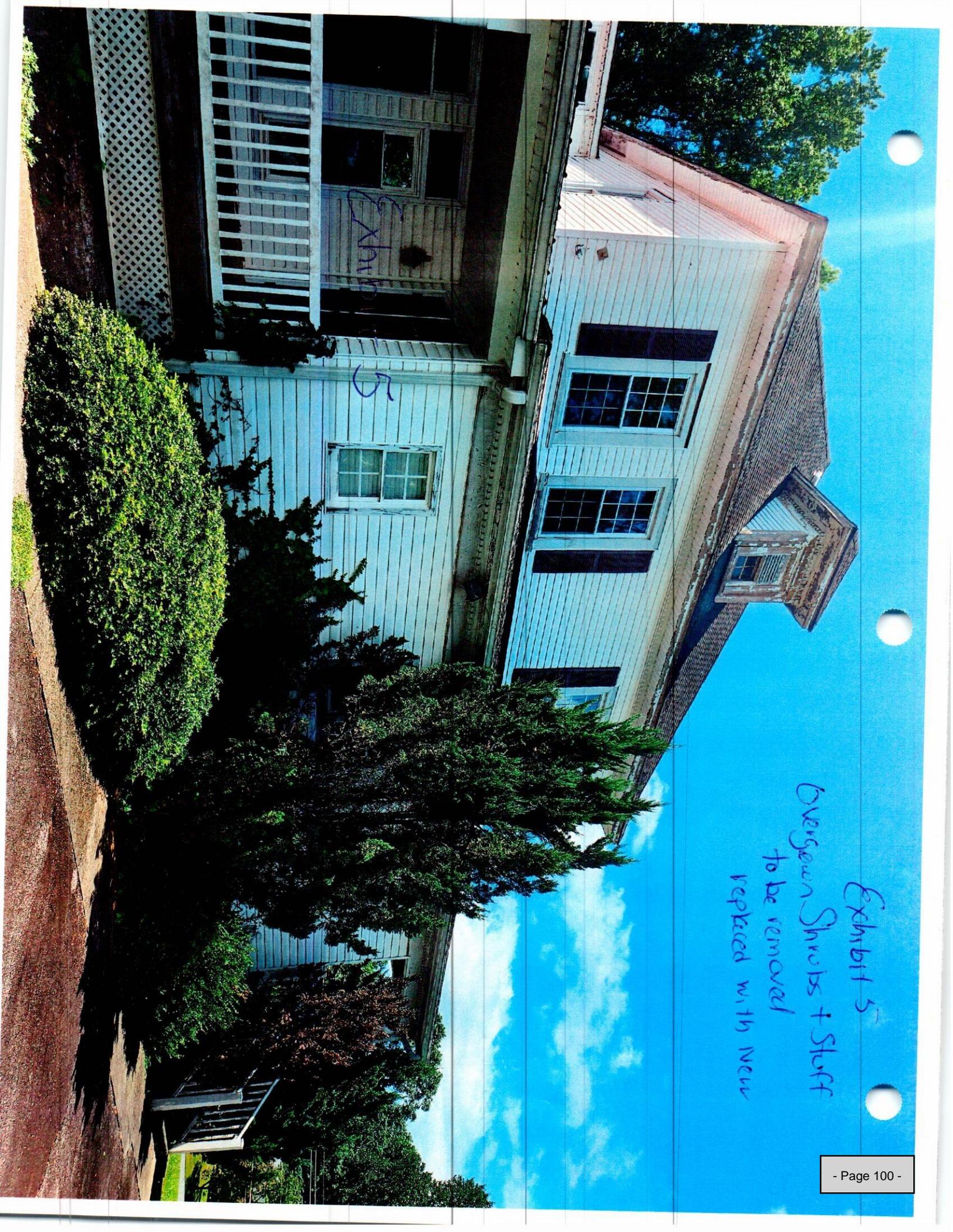


Exhibit 5

5

Exhibit 5
Bergman Shirts + Stuff
to be removed
replaced with new



Example of grass cover



N/F
 ROWELL
 DB: X33, pg 583
 PAR: D10 618

McCOMBS
 PRIVATE ROAD
 IN DB 1119, pg 621
 N 68°08'56" E 167.48'
 N 68°11'13" E 150.43'

~D~
 2.46 ACRES
 PAR: D10-030

GA STATE R.
 US HW.
 A.K.A. GR
 AS 60' F
 SLIDE

PROPOSE DRAWING
 AFTER
 TEAR OFF