



CITY OF DAHLONEGA

HISTORIC PRESERVATION COMMISSION

ZOOM MEETING AGENDA

MONDAY, JUNE 22, 2020 AT 6:00 PM

ZOOM MEETING

In compliance with the Americans with Disabilities Act, those requiring accommodation for the Historic Preservation Commission meetings please contact Kevin Herrit at the Community Development Department.

Call to Order

Minutes for Approval:

- [1.](#) February 24, 2020 Meeting Minutes

OLD BUSINESS

COA Cases for Appropriateness:

NEW BUSINESS

COA Cases for Appropriateness:

- [2.](#) COA-03-20-0001 - Jay Krowicki of 270 Apple Ridge 2, Dawsonville, GA is requesting to make material alterations of applying a top-coat of roofing membrane and remove and replace 170 linear feet of coping to the structure located at 40 Public Square South.
- [3.](#) COA-03-20-0003 - Marcia Clemmons & Doby McCluskey of 5817 Grant Ford Road Gainesville, GA is requesting to make material alterations of the front canopy to remove and replace with a new canopy that will consist of a wooden frame and ribbed steel metal roofing. Support columns will be wood and electrical lights and outlets will be located on the underside of the roof area. The structure is located at 34 Public Square South.
- [4.](#) COA-20-1 - Lance Bagley of 65 South Park Street Dahlonega, GA is requesting to make a material alteration to the structure located at 65 South Park Street. The material alteration will consist of enclosing the side porch of the structure to create a larger kitchen. Some of the materials used will consist of concrete siding or Masonite siding and three new windows that will be of the same design as the current kitchen window.
- [5.](#) COA-20-2 - Zack Tumlin of 19 East Main Street Suite G, Dahlonega, GA is requesting to make a landscape alteration to the yard at 83 Choice Avenue. The landscape alteration will consist of a stone staircase on the corner of Choice Avenue and Meaders Street. The proposed staircase will have 21 steps at six inches thick and 18 inches deep with 24 inches of width on each step.
- [6.](#) COA-20-3 - Jay Stone of 24 Public Square South Dahlonega, GA is requesting to make a material alteration to the structure located at 53 West Main Street. The request is to erect and install 36 linear feet of 36-inch-high black iron railing across the front stone patio as safety railing.

Design and Review of Projects:

TRAINING AND INFORMATION

Adjournment

The public is invited to attend.

Date:	February 24th 2020
Time:	6:00 P.M.
Place:	Dahlonega City Hall - Mayor McCullough Council Chamber
Commission Present:	Sharon Thomason, Joe Henderson, Steve Ratzel, Karl Goellner and Mary Owens (Noah Steinberg, Ellen Mirakovits were Absent)
Staff Present:	Kevin L. Herrit, AICP, EDFP, Community Development Director
Other Attendees:	Johnny Ariemma

Call to Order

Chairman Ratzel called the meeting to order at 6:00 P.M.

Approval of Minutes

January 14, 2020 Special Called Meeting and January 24, 2020 Regular Meeting Minutes were brought forward for approval. A motion was made to accept these minutes with minor corrections to spaces and added keystrokes. The motion passed unanimously.

Old Business

1. COA-02-20-0001 – 36 Choice Avenue

Johnny Ariemma has requested alterations to the structures located at 36 Choice Avenue Dahlonega, Georgia, Parcel # D11-062. This alteration will be to enclose the two second floor porches and convert them into Bathrooms.

Chairman Ratzel asked for the representative to come forward and plead their case. Mr. Ariemma came forward and requested to enclose the two back porches on the second floor of the building he has located at 36 Choice Avenue. Chairman Ratzel then asked staff to read their report and findings. Staff read their report and found that they were in favor of the enclosure with the condition that the current windows be kept and positioned over the back doors of the attached dwellings. Commissioner Goellner asked Mr. Ariemma if he would be amenable to staggering the horizontal hardy board to decrease the appearance of a seam on the enclosed sections. Mr. Ariemma said he would be willing to move the windows and stagger the board seams as requested. After a brief discussion on how this would affect the view from all visible angles the Commission was prepared to make a motion.

Motion

Commissioner Henderson moved that the proposed alterations of enclosing the back porches of the structures located at 36 Choice Avenue be approved with the conditions proposed in staff's report and the condition of staggering the board seams as proposed by Commissioner Goellner. Commissioner Goellner seconded the motion. The motion passed unanimously.

Adjournment

The meeting was adjourned at approximately 6:25 PM.



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:
 A \$50 non-refundable fee;
 A completed application and any required support materials listed on page 3.
 Incomplete application will not be forwarded to HPC for review.

Application Deadline:
 Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

Application Presentation:
 The applicant or other representative must attend the public hearing to present the application.

Building Permit:
 If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information
 Only fill out the second Page if applicable

Office use only:

Date: _____
 Project #: _____
 Fee paid: _____
 Hearing date: _____

CONTACT	Applicant*: <u>Jay Krowiecki</u> Phone #: <u>678-617-6033</u> Mailing Address: <u>270 Apple Ridge 2</u> <u>Dawsonville, GA 30534</u>
PROPERTY AND PROJECT	Property Address: <u>40 Public Square S.</u> <u>Dahlonega, GA 30533</u> Zoning: _____ Tax Parcel: _____ Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input checked="" type="checkbox"/> alteration <input type="checkbox"/> deck <input type="checkbox"/> outbuilding Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other Proposed starting date: <u>First or second week of March 2020</u>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p>Signature: <u>Jay Krowiecki</u> Date: <u>2-27-2020</u></p>



Owner Permission Letter for Alterations to Building

Date: 2-27-2020

Regarding: 40 Public Square S., Dahlonega, GA 30533
Name and property address of business

I, Jay Krawicki, hereby grant permission to Jay Krawicki
Owners name Name of renter

To do alterations to the facade and or landscape of the building and property being discussed.

If you have any questions regarding this correspondence, please feel free to contact me at:

Name of property owner: Jay Krawicki

Mailing address: 270 Apple Ridge 2
Dawsonville, GA 30533

E mail address: OctoberGlory@me.com

Phone number: 678-617-6033

Jay Krawicki
Signature of property owner

The Guidelines are available at City Hall and on the City's website. These guidelines also contain The Secretary of the Interior's standards for the rehabilitation of Historic Buildings.

Describe the proposed project attach additional sheets if necessary. If the project will involve more than one type of project please include and overall scope of work an include the description of all proposed materials. Please attach photos of materials. See attached application checklist.

Roof Project:

- Power clean roof
- Seal all seams
- Install a top coat of white elastomeric coating
- Remove and replace 170 LF of coping
 - New coping is steel and painted with a black vapor barrier
 - Coping to extend no more than 5" down side of building

A complete application requires support materials. Please include this completed form as part of the application along with the following :

For new building or an addition to an existing building or addition of a new porch, deck, outbuilding, patio etc...

Site plan with footprint of building including contour lines, location of all buildings, parking, fences, walls, porches, decks, etc. to be added

Architectural plans/building design including:

- Interior floor layout indicating exterior door and window locations
- Drawings of all building elevations – all sides of the building
- Location and description including photos of all exterior lights
- Description of design and materials for all exterior features including roof, doors, siding, windows, trim, porch pickets and handrails, foundation, cornices, handicap ramps, etc.

Include photos or drawings of each i.e. of doors, windows, trim, cornice, pickets etc.... Photos of proposed site and adjoining properties/buildings

Landscape plan including all hardscapes, walls, and fencing. Landscape plan should also include:

- List including names and types of all trees and plants over 36" high
- planting schedule
- Elevation drawings of all new facades and walls showing trees and plantings when grown to mature height
- List of all existing trees on the property noting any to be removed

Alterations to Building Exterior i.e. change in window or door, foundation, roof, siding, exterior lighting, porches, awnings or storefront, etc...

- Photo of existing building Photos of adjoining properties Photo of earlier historic appearance
- Sketches or drawings and description of proposed changes
- Description or picture of the type of material proposed for use in the alteration
- Photos or drawing of the building element to be altered i.e. doors, windows, trim, cornice, pickets etc....

Site changes including parking areas, drives, walks, addition of fences, walls or outbuildings major landscape elements and including removal of large trees or shrubs

- Photo of site
- Photo of adjoining properties
- Site plan or sketch of site indicating location of changes
- Description of materials to be used
- Landscape plan (as described above)

**City of Dahlonega Historic Preservation Commission (HPC)
Certificate of Appropriateness (COA) Review
March 23, 2020 HPC Meeting**

Applicant: Jay Krowicki
Property Address: 40 Public Square South
Property Zoning: B-3 Historical Business District
Property Type: Commercial

Project Summary:

The referenced application proposes work to repair the roof and parapet wall at 40 Public Square South. According to a Proposal and Scope of Work from Edge Roofing LLC, included with the referenced application, the proposed project includes (1) cleaning all existing roof surfaces with pressure washer to prepare surface for installation of an elastomeric protective coating, (2) sealing all existing seams and penetrations with a silicone sealant as needed, (3) installing AldoCoat elastomeric protective roof coating, and (4) replacing approximately 170 linear feet of parapet wall coping along building edges.

Architectural description and distinguishing features of 40 Public Square South:

The referenced property is in the heart of Dahlonega's Historical Business District, in the southeast portion of the historic town square. There are two buildings on the property. The proposed work is to occur on the historic, two-story masonry building that occupies the north end of the property. The building measures approximately 30' wide and 50' deep and has a flat roof and parapet wall. Its prominent front (north) façade faces the square and is visible from all portions of the square. Only the second story of the rear (south) façade is visible from the public right-of-way, specifically the east end of the portion of Choice Ave between S Chestatee Street and S Park Street.

A one-story, non-historic, frame building occupies the south end of the property. The rear (south) end of the one-story building is visible from the east end of the portion of Choice Ave between S Chestatee Street and S Park Street.

As described in *Historic Building Types and Styles (2.2)* of the *Dahlonega Historic District Design Guidelines (DDG)*, the historic building at 40 Public Square South is an excellent example of a Simple Two-Part Commercial Block building. Character defining features of the building include its:

- Two-story configuration with clear reflection of interior division of space on the exterior;
- Single-story lower zone demarking public space and an upper zone of private or semi-private space;
- Principal façade divided into repetitive elements including window and door bays;
- Vertical emphasis achieved by proportions of elements of the front façade;
- Simplicity of storefront;
- Textured and painted masonry of front and side façades;
- Flat roof with parapet and simple cornice;
- Minimal façade articulation (horizontal cornice above first story);
- Window configuration—storefront windows on first story and grouped windows on second story.

Analysis of proposed work based on applicable Dahlonga Historic District Design Guidelines (DDG):

1.0 Introduction:

- *Certificate of Appropriateness (1.1)* – If the proposed roof work only requires cleaning, minor repair, and recoating of the existing roofing material and no structural changes are required, that aspect of the project falls under the heading of routine maintenance and, therefore, will not require a Certificate of Appropriateness (COA). The proposed replacement of coping atop the parapet wall constitutes “repair or replacement of exterior details” and, therefore, requires a COA.

2.0 Dahlonga’s Historic Districts:

- 40 Public Square South is a contributing property in the *Commercial Core* (DDG p.19) of the Historical Business District.
- The potentially-affected building is a contributing resource of the Simple Two-Part Commercial Block type.

4.0 Building Exterior:

- *Roofs (4.5)* – The proposed work does not constitute a change in the form, functionality, or stylistic elements of the existing roof; however, **the referenced application does not include sufficient information regarding the existing roofing material and/or stylistic aspects of the proposed change to the coping along the parapet wall.**
 - o If the existing roof includes an elastomeric protective coating, the proposed cleaning and recoating is an appropriate maintenance task. If the proposed work will involve a change in roofing material, refer to the following DDGs when determining appropriateness:
 - 4.5.1 *Retain and preserve roofs* and roof elements such as chimneys that contribute to the style and character of the building. Such elements include the roof’s shape; decorative features such as cupolas, chimneys, and weathervanes; and *roofing materials* such as slate, wood clay tile, and metal, as well as *size, color, and patterning*.
 - 4.5.2 When replacing a roof, the replacement roof should replicate the original roof as closely as possible. *Also, the materials of the new roofs should match that of the original as closely as possible.* The primary roof material used in the residential neighborhood is asphalt shingles. When the exact material is not available, the pattern, color, and size of the shingles must be matched as closely as possible.
 - o Regarding the coping along the parapet wall: **The referenced application does not provide a description of the profile or color of the existing coping along the parapet wall, nor does it give enough information about the proposed replacement coping.** Because at least some of the replacement coping will be visible from the public right-of-way, it should match the existing as close as possible in terms of material, profile, and color. It is also important to ensure that the replacement coping does not alter the existing cornice. Refer to the following DDG when determining the appropriateness of the coping:
 - 4.5.5 Retain architectural elements such as finials, *cornices*, rakes, shingles, and dormer windows, etc.
- *Exterior Walls and Trim (4.6)* – As mentioned above, the replacement of the coping atop the parapet wall may constitute a significant alteration to the appearance of the building’s cornice. Refer to the following applicable DDGs to determine the appropriateness of the proposed work associated with the coping:
 - 4.6.2 Retain and preserve all architectural features that are character-defining elements of exterior walls, such as bays, *cornices*, quoins, corner boards, and brackets.

4.6.4 If replacement of a wall element or detail is necessary, replace only the deteriorated element, matching the original in size, scale, proportion, material, texture, and detail.

Recommendation:

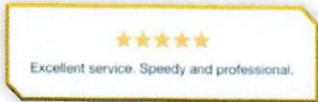
If approved, the proposed project may result in alteration of existing roof material, coping atop the parapet wall, and the building's simple masonry cornice. While the referenced application does not provide enough information to approve the proposed work, **issuance of a COA is recommended with the following stipulations:**

- (1) Applicant to provide clarification regarding the existing roofing material and structural system to ensure that the proposed work involves only a recoating of the existing roof and that no alteration of the roof's form and/or structure will occur; and
- (2) Applicant to provide clarification regarding the size, profile, and color of existing and replacement coping to ensure that the proposed work does not result in alteration of, or damage to, the building's cornice.

- (1) We are not making any changes to the existing roof material or the structural system. There will be no alteration to the roof's form and/or structure. An elastomeric coating will be applied to the roof and coping (black) installed on building edges.
- (2) A sample of the black coping has been given to Kevin Hermit for approval.

Jay & Krowicki
4-16-20

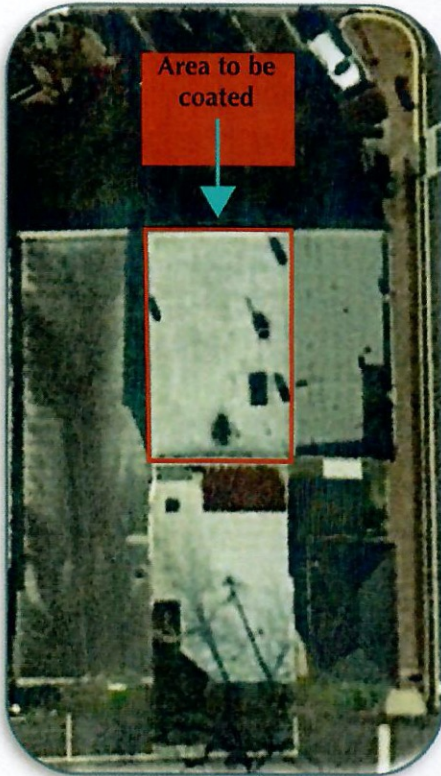
Note: See attached quote.



Roof Proposal

40 Public Sq. South
Dahlonega, GA 30533
1/2/20

Prepared for:
Mr. Jay Krowicki



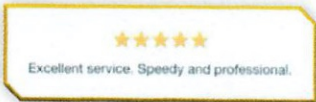
Edge Roofing

6805 Keith Bridge Rd.,
Gainesville, GA 30506

Website: www.roofsbyedge.com

Edge Representative:
Casey Crannell
706-344-7393





January 2, 2020

The following is our recommendation for a permanent solution to address the current and potentially long-term roof issues at your 40 Public Sq. South, Dahlonega, GA 30533

PROPOSAL

Scope of work

Total size of project: 1,600 square feet approx. (surface area – including all penetrations to be coated)

- 1) Power clean all roof and penetration surfaces as needed for coating preparation
- 2) Seal all seams and penetrations with Aldo Butter Grade Silicone Sealant as needed
- 3) Install top coat of elastomeric coating to meet manufacturer specs.
 - • Install AldoCoat 397 Bright White
- 4) Remove and replace 170 LF of coping as needed on building edges

20-year Coating System _____ \$7,200

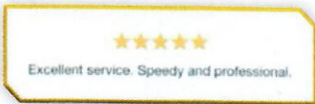
→ Install 170 LF of new coping _____ \$2,400

**Includes 20-year Edge Roofing Labor and Workmanship Warranty*

TERMS:

- 100% of total payment will be due upon day of project completion
- Building Owner/ General Contractor is responsible for pulling all their own permits need to complete the job. Edge Roofing is *not* responsible regarding permitting for this job.
- Photography of completed work will be provided to owner in lieu of physical walk-thru on the building's roof, if requested.





TERMS: (continued)

- Edge Roofing, LLC will provide the labor and workmanship warranty if applicable upon completion of work and receipt of final payment. Note: 100% of the contract price MUST be paid upon completion of this work. No warranties will be issued until all invoices have been paid.
- A 3% convenience fee will be charged if payment is done using a credit/debit card. All major credit cards are accepted. There is NO fee associated with check or cash forms of payment.
- Edge Roofing, LLC will require a 110-volt power outlet and a clean-water source for pressure washing equipment for the duration of this project.
- Edge Roofing, LLC will be granted access to the jobsite Monday through Saturday between the hours of 8:00 am to 6:30 pm.
- Edge Roofing, LLC will be granted sufficient access for staging of equipment and materials.
- Owner must work with Edge Roofing, LLC to control parking around active work areas to avoid possible damage to vehicles.
- This proposal is being submitted without prior knowledge of asbestos or lead containing materials. If incurred during the project, or at any time in the future, all cost of inspection and/or abatement will remain the sole responsibility of the owner.
- Upon completion of work, the job site will be cleaned of any job-related materials and left in an "as-found" condition.
- Edge Roofing, LLC will honor this pricing for a period of thirty (30) days from the issue date of this proposal.
- Contractor warrants to business owner/s that all roofing materials they apply to the above-described roof will be applied in accordance with (a) the written specifications of Roofing Materials Manufacturer and (b) commercial roofing industry best practices. Contractor will, warrant, for a period of no less than five (5) years, at its expense, repair or cause to be repaired any leaks in said roof which are the result of defects in manufacturer materials and/or Contractor's workmanship.

PLEASE SIGN & DATE BELOW
TO AGREE TO TERMS LISTED ABOVE

By _____ Date: _____
Edge Roofing, LLC Representative

By _____ Date: _____
Authorized Representative



May 20, 2020

Dear HPC,

Attached is our updated COA application regarding the roof changes at 34 Public Square.

We have tried to address all your concerns. At least I hope we have!

Appalachian Contractors has the sketches and will go over my specs to be sure they are up to code.

My apologies for taking so long in getting this back to you. Time simply has a different meaning these days!

Thank you,



Doby McCluskey



Application for a Certificate of Appropriateness (COA)

To the Historic Preservation Commission (HPC) for a proposed change to structures or properties located in the designated historic district which includes the B3 or CBD zone.

Application Requirements:

A \$50 non-refundable fee;
A completed application and any required support materials listed on page 3.
Incomplete application will not be forwarded to HPC for review.

Application Deadline:

Application and support material must be submitted to the Community Development Dept. 30 days prior to the regular HPC meeting which is held the fourth Mon. of the month at 6:00pm

Application Presentation:

The applicant or other representative must attend the public hearing to present the application.

Building Permit:

If a building permit is required the permit cannot be issued less than 15 days from the date of the date of issuance of determination.

Additional Information

Only fill out the second Page if applicable.

Office use only:

Date: _____
Project #: _____
Fee paid: _____
Hearing date: _____

CONTACT	<p>Applicant*: <u>Marcia Clemmons & Doby McCluskey</u></p> <p>Phone #: <u>Marcia: 770-540-6046 / Doby: 706-974-3880</u></p> <p>Mailing Address: <u>5817 Grant Ford Rd.</u> <u>Gainesville, GA 30506</u></p>
PROPERTY AND PROJECT	<p>Property Address: <u>34 Public Square South</u> <u>Dahlonega, GA</u></p> <p>Zoning: <u>B-3</u> Tax Parcel: <u>D11 094</u></p> <p>Type of project (check all that apply): New construction <input type="checkbox"/> new building <input type="checkbox"/> addition <input checked="" type="checkbox"/> alteration <input type="checkbox"/> deck <input type="checkbox"/> outbuilding</p> <p>Site changes <input type="checkbox"/> fence <input type="checkbox"/> wall <input type="checkbox"/> driveway <input type="checkbox"/> walkway <input type="checkbox"/> parking <input type="checkbox"/> demolition <input type="checkbox"/> relocation <input checked="" type="checkbox"/> other</p> <p>Proposed starting date: <u>5/15/2020</u></p>
AUTHORIZATION	<p>In consideration for the City of Dahlonega's review of this Application, the applicant hereby agrees to hereby indemnify and hold harmless the City and its agents and employees from and against any and all claims, damages, and/ or liability arising from or related to this application or any issuance of a permit. Any and all exterior alterations, improvements, additions, repairs or other changes to any structure or site in the Historical District must be approved by the Historic Commission for compliance with the Historical Commission guidelines. Furthermore, none of the above activities may commence without on site review by the City's building inspector. The owner/ contractor understand and agree to the above and is responsible for compliance with these requirements. The undersigned has read and understands the requirements and agrees that the above constitutes the construction or alteration to be undertaken at the time and that any changes or additions will require another application.</p> <p><u>Marcia Clemmons</u> <u>4-16-2020</u> Signature Date <u>Doby McCluskey</u> <u>4-16-2020</u></p>

34 Public Square – Proposed PorchRoof Changes (Whitmire Building)



We feel that the front canopy/roof, as it exists, needs to be replaced.

We realize that the existing roof is a “character-defining feature of the building”. It’s been there a long time. The roof structure in the photo from July, 1982 still exist. (See Pic 3 below) It has been wrapped with different materials, over the years, from Cedar to the existing Hardie Plank. But, there are problems with the existing structure.

We think that the original frame had an internal drainage channel for rainwater run-off, that has long since been clogged and no longer functions. There is not enough slope to allow rainwater to drain properly and the roof leaks around the entire perimeter. As the tree in front of the building grows larger, the roof becomes a leaf catcher. The existing metal roofing will support very little weight and has been damaged over the years by people trying to walk on it, either to clean, paint or to work on the sign that is attached to the building, above the roof.

The existing roof appears to be attached directly to the metal window frame, and this seems to be causing stress cracks in a few sections of the transom windows, located above the roof. (Pic. 1) It is possible that anything that we do may cause more damage to the frame and it is not clear, without removing the existing roof, if or to what extent, the window frame has been compromised.

We feel that replacing the existing flat roof with a sloped shed roof is our best option. The top edge of the new roof will be located just above the existing transom windows, with each side edge being located approximately 6" inside the breaks between the adjacent buildings. This would stop the water damage that is occurring in those areas. (Pic. 2) The shed roof would also prevent more damage to the windows and allow any possible restoration work to be performed without weather issues.



Pic 1



Pic 2



Pic 3

General Specification Overview for Proposed Shed Roof

Roof Frame:

- Yellow Pine 2x4s at 24" o.c. rafters.
- 2x6pt ledger board at the top. Ledger to be attached to building, at the second course of the brick lintel, with ½" anchor bolts at 36" o.c. (See diagram 1.) Anchor bolts are to be set into mortar joints to avoid damage to the existing brick face.
- Double 2x6 Yellow Pine beam at the lower edge.

Roof Decking:

- 1x4 pine tongue & groove. (This has a traditional look.)
- Covered with 30lb felt.

Roof Ceiling:

- All rafters and decking will be exposed and painted.
- There will not be a separate ceiling.

Roofing Material:

- Metal – Classic Ribbed Steel – Color: Slate/Charcoal. (see attached spec sheet for roofing)
We feel that the slate/charcoal color will best match historically and coordinate with the surrounding buildings.

Gutter:

- Because of the small roof area, we do not think that gutters will be needed.

Paint:

- All exposed wood will be painted.
- Color to be a cream or light beige, similar to the existing paint. This will lessen the visual effect of the structure change.

Transom Windows:

- These windows will be underneath the proposed shed roof and will be fully visible from below.
- The interior ceiling of the building is located below the transom windows, and therefore, the windows do not allow any light into the occupied area of the building.
- Two of the six transom window panels are cracked and need to be repaired. Currently, we think repair the best option. It does not appear that the windows can be replaced, as the roof exist now, without causing more damage to window frame.
- Our goal is to restore the original transom window frame and glass to its original appearance, as much as possible, *after the new roof is in place.*
- We will not know the condition of the windows and window frame until the existing roof is removed.

Columns:

- Existing columns would be replaced with a column style that is more historically correct and matches other columns in the area, rather than the existing type of box column. (Pics. 4 & 5)



Pic. 4
Columns - Crimson Moon



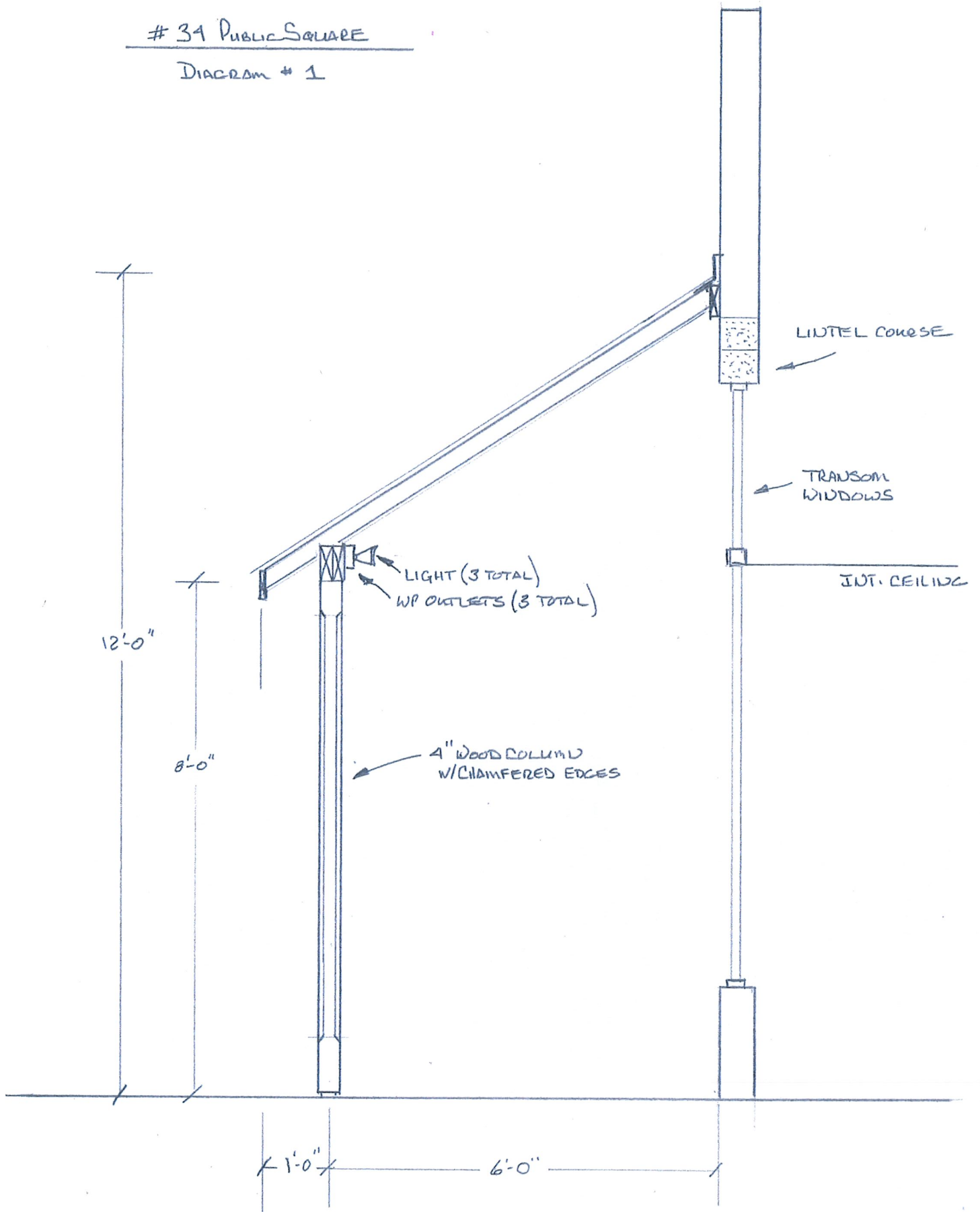
Pic. 5
Columns - General Store

Electrical:

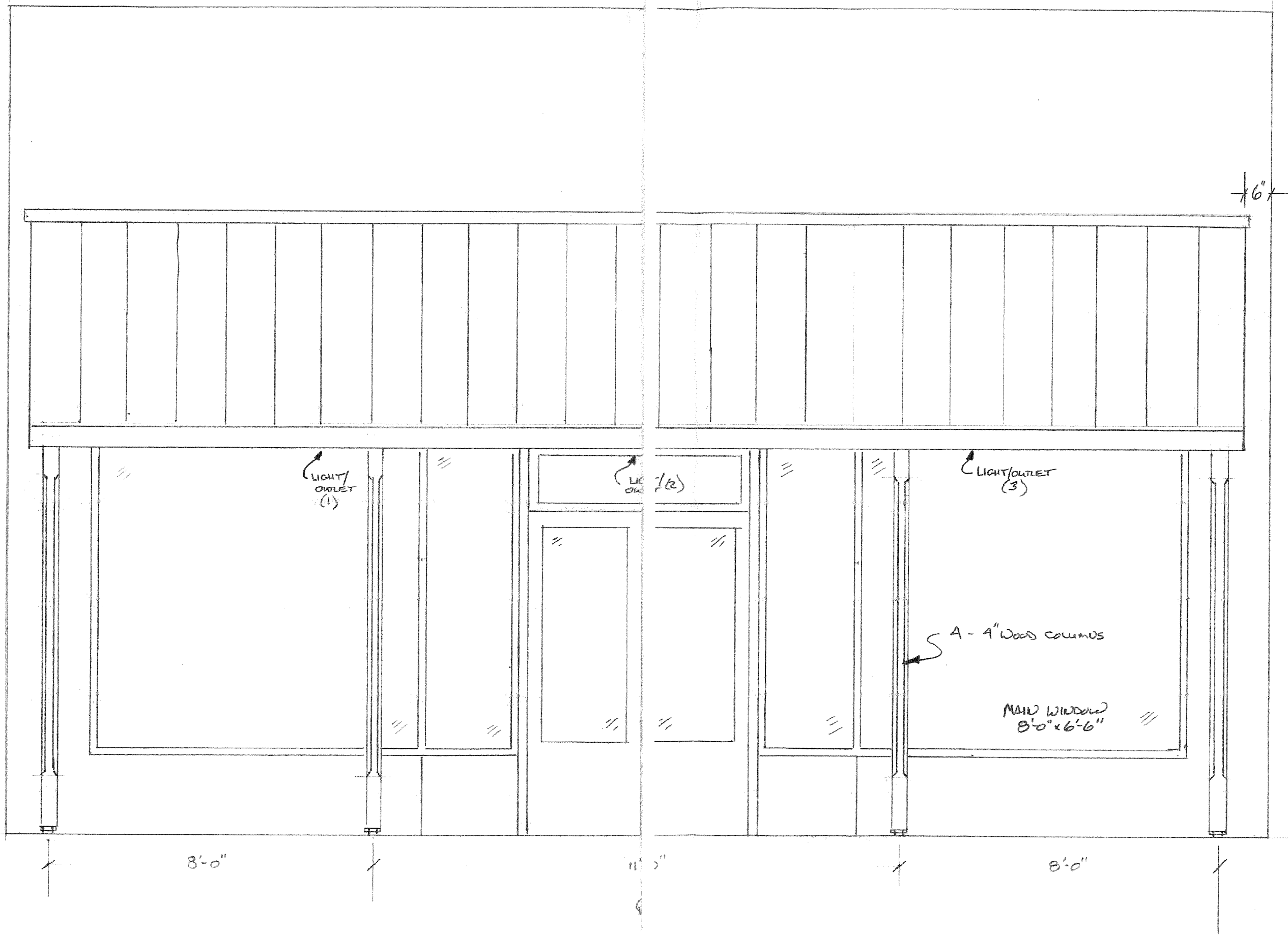
- There will be three exterior dual-bulb light fixtures for flood lights to light the front of the building; one for each storefront and one for the entry alcove. The fixtures will be located on the underside of the roof, on the inside of the lower roof beam. These will replace the four existing light fixtures.
- 40 Watt flood bulbs will be used.
- Light switches will be located inside the building.
- There will be three WP duplex outlet boxes located adjacent to each light fixture. These will replace all the existing electrical outlets.
- Existing wiring and conduit will be used where possible. If it is not possible to use any of the existing wiring, both the wiring and the conduit will be replaced. Conduit will be located along the roof rafters to be as inconspicuous as possible. Conduit will be painted the same color as the rafters and decking.
- See Diagrams 1 & 2 for light and outlet locations.

34 PUBLIC SQUARE

DIAGRAM # 1



34 Public Sq.
Diagram 2



**City of Dahlonega Historic Preservation Commission (HPC)
Certificate of Appropriateness (COA) Review
June 22, 2020 HPC Meeting**

Applicant: Marcia Clemmons and Doby McCluskey
Property Address: 34 Public Square South
Property Zoning: B-3 Historical Business District
Property Type: Commercial

Project Summary:

The referenced application proposes replacement of the front (north) canopy of the one-and-a-half-story brick commercial building at 34 Public Square South, also known as “Mary’s Mini-Mart” or the “Whitmire Building.” The proposed project involves removal of the existing canopy that is attached to the front of the building and replacement with a new, wood-framed canopy. The proposed new canopy is to be of a similar size as the existing canopy: extending across nearly the entire front façade of the building and approximately 7’-0” out from the façade. Like the existing canopy, the proposed replacement is to be supported by four wooden posts. The design for the replacement has a forward-pitched metal shed roof rather than a flat metal roof as existing. The height of the proposed new canopy’s lower edge is to be the same as the existing canopy, approximately 8’-0”. The metal roofing material is to be “Slate/Charcoal” and in a “classic ribbed” profile. Roof trim is to be a beige or cream color. No ceiling is proposed—all rafters and roof decking will be exposed and painted. The canopy’s posts are to 4”x4” timbers with a vertical decorative chamfer. The application also seeks approval for new electrical wiring to provide three outlets and overhead lights in the canopy.

Architectural description and distinguishing features of 34 Public Square South:

The referenced property is in the heart of Dahlonega’s Historical Business District, in the southeast portion of the historic town square. The proposed work is to occur on the Whitmire Building, which is a one-and-a-half-story, masonry commercial building that fronts the south side of the square. The building’s front (north) façade is symmetrical with a central entry vestibule and continuous flanking storefront windows. There is a horizontal transom window across the entire storefront below the building’s signboard. The front façade is of painted, running-bond brick. A full-width, one-story, wood-framed canopy extends approximately six feet from the building’s front. The canopy has a hidden, flat metal roof and is supported by four bulky masonry posts. The building’s prominent front façade and the canopy faces the square and is visible from nearly all portions of the square.

As described in *Historic Building Types and Styles (2.2)* of the *Dahlonega Historic District Design Guidelines (DDG)*, the Whitmire Building is an excellent example of a One-Part Commercial Block type. Character defining features of the building include its:

- Simple massing with its large storefront window modules across the principal façade;
- Running-bond brick façade;
- Flat roof with tall parapet wall on the front.

Analysis of proposed work based on applicable Dahlonega Historic District Design Guidelines (DDG):

1.0 Introduction:

- *Certificate of Appropriateness* (1.1) – The proposed replacement of the existing canopy at the front of the building constitutes “repair or replacement of exterior details” and, therefore, requires a Certificate of Appropriateness (COA).
- **Perhaps the most important question regarding the appropriateness of the proposed new canopy design is if the existing canopy, which is to be demolished and replaced with a new canopy, is a historic character-defining feature of the building.** According to the DDGs and the *Secretary of the Interior’s Standards*, any rehabilitation and/or preservation project should seek to repair rather than replace deteriorated historic features when possible; however, **when a historic feature cannot be retained in its original form and composition, whether because of structural failure or concerns of functionality, replacement with new, compatible materials and designs may be appropriate.**
- While the canopy at the Whitmire Building is a character-defining feature of the building and the public square, it may not be a historic feature. The following historic images have been analyzed for discussion of the referenced canopy (see photos at end of this report):
 - o **Figure 1:** The photograph dated “Approx. 1978” on page 5 of the “Proposed Repairs” document (attached to a previous application for COA, submitted to HPC in February 2020) is likely misdated. In the photo, the streetscape is of brick and there is a retaining wall adjacent to the building, indicating that the photo was taken since the renovation of downtown Dahlonega’s streetscape, which occurred in the mid-2010s. **The frame structure with flat roof in that mid-2010s image may have been replaced or may be the same structure as exists today—now with trim on the cornice, decorative brackets, wrapped posts, and paint.**
 - o **Figure 2:** A photograph taken in 1982, during the development of Dahlonega’s Nation Register nomination, shows an entirely different canopy attached to the Whitmire Building’s front façade. In that image, the **canopy is entirely metal with a flat roof supported by thin aluminum-tube posts.**
 - o **Figure 3:** The 1958 photograph shows the Whitmire Building with **no attached canopy.**
- **The analysis of the photos suggests that the existing canopy is not a historic feature; however, its removal and replacement with a canopy with a different roof form will constitute an alteration in the appearance of the Whitmire Building and the historic district, requiring a COA.**

2.0 Dahlonega’s Historic Districts:

- The Whitmire Building is a contributing property in the *Commercial Core* (DDG p.19) of the Historical Business District.
- The potentially-affected building is a contributing resource of the One-Part Commercial Block type.
- The existing canopy on the Whitmire Building is a character-defining feature in the historic district.

3.0 Setting and Site Features:

- The DDGs for *Outbuildings, Mechanical Systems, & Accessory Structures* (3.4) describe the importance of maintaining a cohesive architectural character within the historic district by retaining historic materials and forms whenever possible. The following guidelines should be considered:
 - 3.4.1 Retain existing outbuildings and accessory structures that contribute to the overall character of the historic district.
 - 3.4.3 Design of new outbuildings and accessory structures should blend with the materials and style of the major buildings on the site. The design of the roof shape is of great importance in creating a compatible new structure.

- *Exterior Lighting* (3.6) – The proposed project involves installing electrical power for exterior outlets and new light fixtures that are to be integrated into the new canopy. **The proposed lighting includes three exterior dual-bulb fixtures to be attached on the inside of the canopy’s outer header. The fixtures will include flood lights (with 40 Watt-equivalent bulbs) pointed toward the building’s front façade, one for each storefront and one for the centered entry. The electrical wiring will be housed in conduit attached to the canopy’s rafters and painted to match.** When determining the appropriateness of lighting, consider the following DDGs:
 - 3.6.4 Introduce new site and street lighting that is compatible with the scale and the historic character of the district. Consider the location, design, material, size, color, finish, scale, and brightness of a proposed fixture in determining its compatibility.
 - 3.6.5 Lighting may be used to illuminate entrances and/or signs or to highlight ornamentation. Ornamentation should not be obscured by mounted fixture.
 - 3.6.6 **Lighting fixtures should not be simple in form such as exposed bare bulbs.**
 - 3.6.10 Exposed fluorescent lights are not appropriate.
 - 3.6.11 Fixtures that predate Dahlonga’s history, such as colonial light fixtures, are not appropriate.
 - 3.6.12 Exterior lights should be limited to 40 watt equivalent bulbs and below.

4.0 Building Exterior:

- *Awnings and Canopies* (4.3) – the DDGs describe awnings and canopies as distinctive features of the historic district. **A variety of styles and types of canopies are represented in the district’s commercial core, and there are multiple examples of canopies within the district that are similar in form and style to both the Whitmire Building’s existing canopy as well as the proposed new canopy.** The following specific DDGs are applicable to the evaluation of the proposed wood-framed canopy:
 - 4.3.1 Awnings and canopies should be placed in the appropriate area, not to extend the width of the façade. Awnings should be installed without damage to the historic appearance of the building.
 - 4.3.3 The wood and post style awnings and canopies are acceptable for the commercial area because they have historic precedent.
- **The proposed new canopy includes a shed roof that will attach to the building above the transom window across nearly the entire storefront. Because this configuration will entirely block the view of that strip of windows, and subsequently the interior light provided, the following DDGs should be considered:**
 - 4.3.2 Awnings and canopies should complement the scale of the building. **The installation of awnings should not obscure significant architectural features** of the building and should be reversible.
 - 4.3.7 The awning or canopy should fit within the storefront, window, or door to which it is being attached. If an awning is used, all storefront openings (display windows and doors) should be covered.
 - 4.3.9 **Shed style awnings are traditional for most historic window, door, and storefront installations.**
- *Roofs* (4.5) – As stated above, there are examples in the historic district’s commercial core of both the Whitmire Building’s existing canopy and the proposed canopy. Shed-roof canopies in the district feature a variety of materials and forms, including some with metal roofs, wood-shingle roofs, and asphalt-shingle roofs. The following DDGs are applicable:

4.5.1 **Retain and preserve roofs and roof elements** such as chimneys that contribute to the style and character of the building. **Such elements include the roof's shape;** decorative features such as cupolas, chimneys, and weathervanes; and **roofing materials** such as slate, wood, clay tile, and metal, as well as size, color, and patterning.

4.5.2 **When replacing a roof, the replacement roof should replicate the original roof as closely as possible.** Also, the materials of the new roofs should match that of the original as closely as possible. The primary roof material used in the residential neighborhood is asphalt shingles. When the exact material is not available, the pattern, color, and size of the shingles must be matched as closely as possible.

4.5.7 Metal roofs, when appropriate to the architectural style of the building, may be permitted. Historic documentation of appropriateness is useful; the color of roof (metal & non-metal) must be reviewed by the Commission.

4.5.8 It is not appropriate to remove a roof feature that is important in defining the overall historic character of a building, rather than repairing or replacing it.

- The DDGs for *Roofs* (4.5) also highlight the importance of gutters, both in terms of their functionality as well as aesthetic qualities. To avoid unnecessary damage to the Whitmire Building and adjacent features due to improper roof runoff, it is critical to determine how storm water will shed from the canopy roof, onto the adjacent sidewalk, and into local stormwater runoff features. **The referenced application proposes no gutters or downspouts.** The following DDG applies:

4.5.9 If new gutters and downspouts are needed, they should be installed so that no architectural features are lost or damaged. New gutters and downspouts should match trim color, unless they are copper. The original shape of traditional half-round gutters and downspouts should be retained.

- **While the paint color of the proposed canopy is not reviewable by the Historic Preservation Commission (HPC) per the DDGs for *Paint and Paint Color* (4.9), the color of the metal roof requires a COA prior to installation based on the DDGs for *Roofs* (4.5):**

4.5.7 Metal roofs, when appropriate to the architectural style of the building, may be permitted. Historic documentation of appropriateness is useful; **the color of roof (metal & non-metal) must be reviewed by the Commission.**

NOTE: The proposed color for the metal roof is "Slate/Charcoal"; however, the application does not provide a sample of the exact proposed color.

- Because the proposed canopy is to cover the transom windows above the Whitmire Building's storefront, the following DDGs for *Storefronts* (4.11) should be considered:

4.11.1 Retain and preserve store fronts that contribute to the overall historic character of a building, including such functional and decorative features as transoms, display windows, doors, entablatures, pilasters, recessed entries, and signs.

4.11.2 The number, arrangement, size, style, shape, and proportions of original storefront windows and their surrounds should be retained or restored when possible.

4.11.5 If replacement of a deteriorated detail or element of a storefront feature is necessary, replace only the deteriorated detail or element in-kind rather than the entire feature. Match the original detail or element in design, dimension, and material. Consider using a compatible substitute material only if using the original material is not feasible.

Recommendation:

The variety of canopy forms and materials found in downtown Dahlonega help define the appearance and architectural character of the historic district. **There is clearly precedent in the district for both the existing canopy and the proposed new canopy design. The DDGs and the *Secretary of the Interior's Standards for Rehabilitation*, however, clearly prefer retention of existing architectural features over replacement. When replacement is necessary, the preferred method is to do so with in-kind form, functionality, materials, and color.**

Based on my review of the referenced application, **I recommend that the HPC and applicant consider the option to retain the existing canopy;** however, if the HPC determines that alteration or removal of the existing canopy is required (perhaps to meet functional needs or to prevent further damage to the Whitmire Building), the proposed canopy design generally adheres to the DDGs and I would recommend approval.



Chris Jackson

Historic Preservation Specialist, WLA Studio, Athens, GA

June 18, 2020

Historic Images of the Whitmire Building:

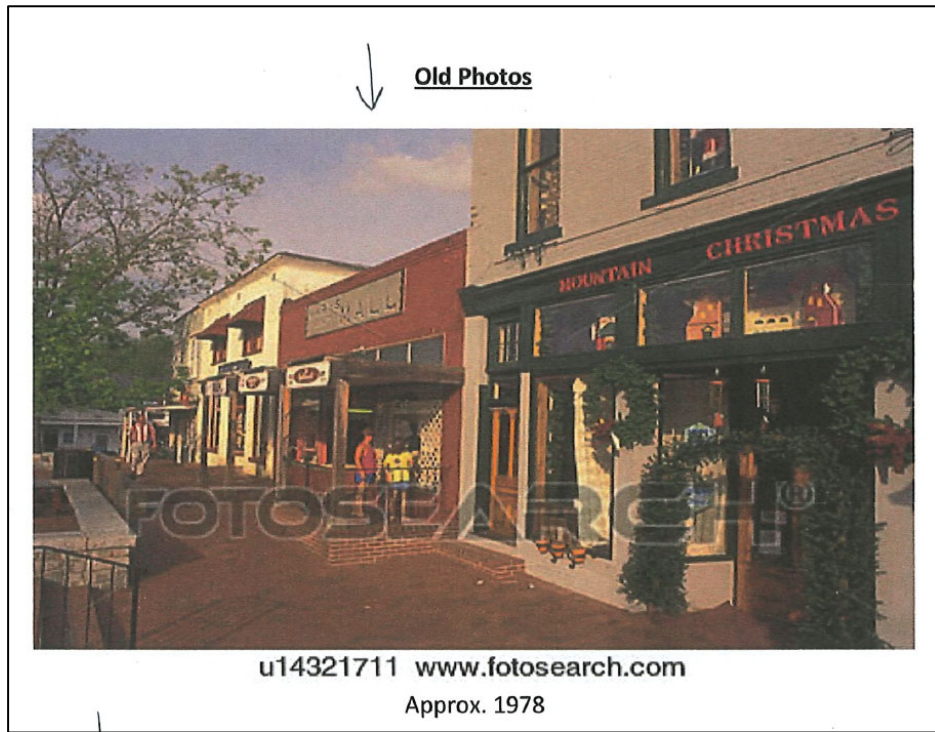


Figure 1: The Whitmire Building is in the center of this misdated photograph – image was taken after Dahlonega’s streetscape renovations in the 2010s (from page 5 of the “Proposed Repairs” document attached to a COA Application for the referenced project submitted in February 2020).



Figure 2: Whitmire building on far right, July, 1982 (Dahlonega Commercial Historic District National Register Nomination Form).



Figure 3: Whitmire Building on far left of this photograph taken in August 1958. Notice there is no canopy attached to the building's front (image from page 5 of the "Proposed Repairs" document attached with the referenced application).

NEW KITCHEN ADDITION
AT
ONE OFF MAIN
LANCE AND FIONA BAGLEY
65 S. PARK STREET
DAHLONEGA GEORGIA
(LUMPKIN COUTNY)

OWNER

LANCE AND FIONA BAGLEY
S. PARK ST.
DAHLONEGA , GEORGIA

ARCHITECTURAL DESIGN

QUINN DESIGN CONCEPTS INC.
526 FIRESIDE RIDGE DRIVE
DAHLONEGA GEORGIA 30533
(706) 348-8516

BUILDING AREAS

AREA OF NEW CONSTRUCTION 123/SF
OCCUPANCY GROUP: RESIDENTIAL GROUP R1
SINGLE FAMILY RESIDENCE

CONSTRUCTION TYPE;

CONSTRUCTION TYPE V B UNSPRINKLED
UNPROTECTED.

SCOPE OF WORK:

NEW KITCHEN EXPANSION.
PLUMBING WORK- YES
MECHANICAL WORK- YES
ELECTRICAL WORK- YES

STATE CODES AND STANDARDS

(WITH STATE FIRE MARSHAL'S OFFICE AMMENDMENTS)

IBC. RESIDENTIAL BUILDING CODE, 2018 EDITION WITH GEORGIA AMMENDMENTS

IFC. FIRE CODE, 2018 EDITION WITH GEORGIA AMMENDMENTS

IPC PLUMBING 2018 EDITION WITH GEORGIA AMMENDMENTS

IMC MECHANICAL 2018 EDITION WITH GEORGIA AMMENDMENTS

NEC, ELECTRICAL CODE, 2014 EDITION WITH GEORGIA AMMENDMENTS.

INTERNATIONAL FUEL GAS CODE 2012 EDITION WITH GEORGIA
AMMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION, WITH
GEORGIA SUPPLIMENTS AND AMMENDMENTS.

GEORGIA 120-3-3 STATE MINIMUM FIRE SAFETY STANDARDS
(EFFECTIVE 01-30-2014)

INDEX OF DRAWINGS

C1 COVER SHEET

A1 ARCHITECTURAL SITE PLAN

A2 EXISTING FLOOR PLAN

A3 PARTIAL DEMOLITION PLAN

A4 NEW KITCHEN LAYOUT AND APPLIANCES

A5 BUILDING SECTION/ CONSTRUCTION DETAILS

A6 EXTERIOR ELEVATIONS.

QUINN DESIGN CONCEPTS INC.
526 FIRESIDE RIDGE DR.
DAHLONEGA GEORGIA
(706) 348-8516

Rev: Date By Description

Rev:	Date	By	Description

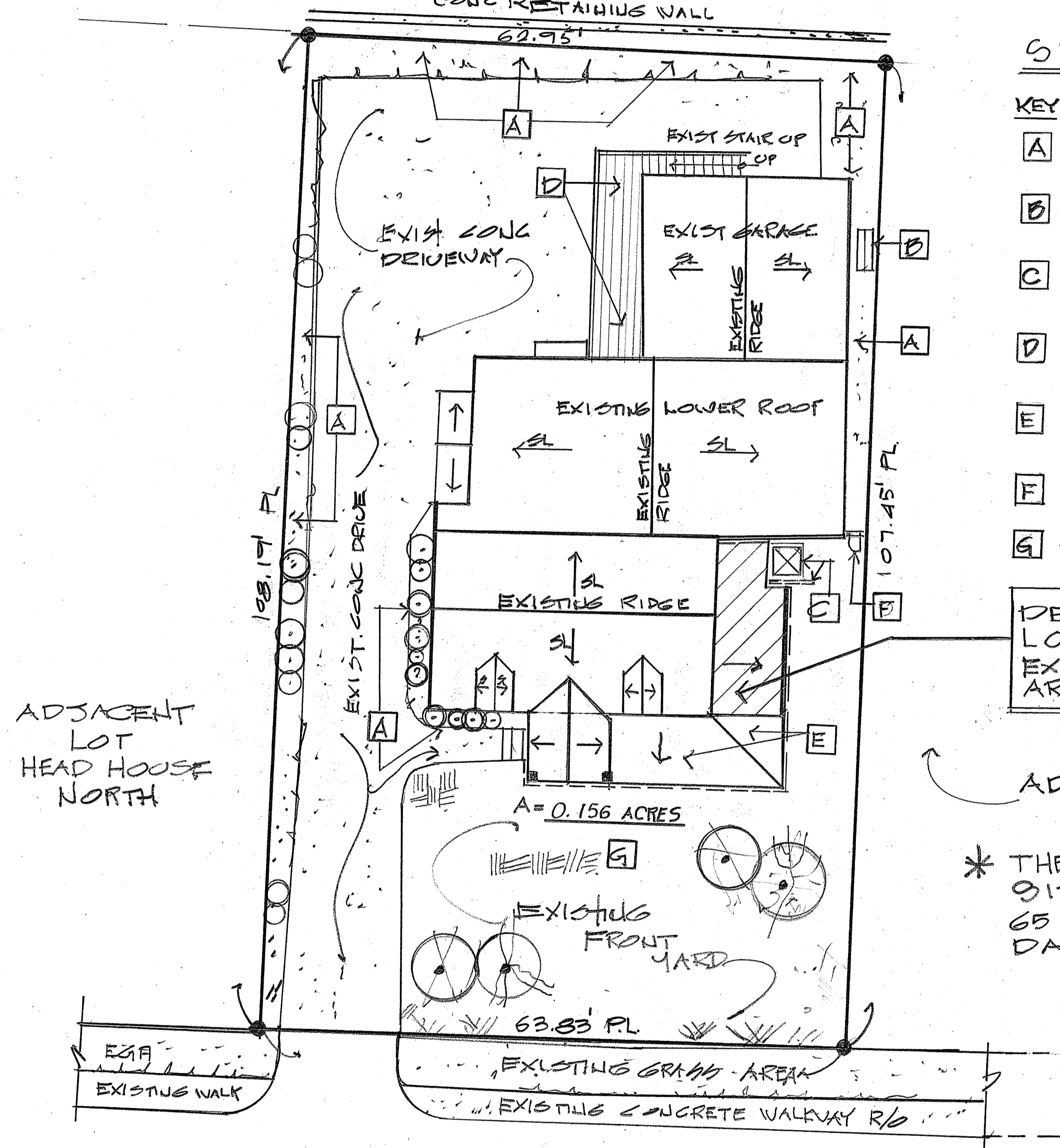
LANCE AND FIONA BAGLEY
65 S. PARK STREET
DAHLONEGA, GEORGIA

4-14-20
DRAWN J.Q

C1

EXISTING ADJACENT
PUBLIC CAR PARK.
CITY OF DAHLONEGA

HIGHER ELEVATION
CONC RETAINING WALL



SITE PLAN LEGEND

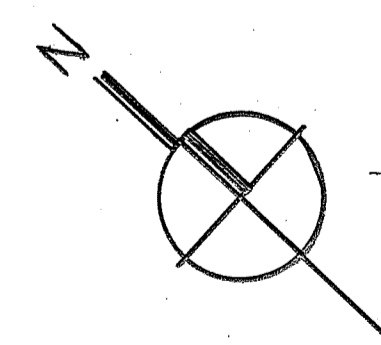
KEY DESCRIPTION

- A EXISTING GRASS AREAS.
- B EXISTING WOOD GARDEN SHED.
- C EXISTING A/C UNIT WITH WOOD PICKET SCREEN FENCE.
- D EXTERIOR WOOD BALCONY ABOVE.
- E EXISTING DECK HIP ROOF.
- F EXISTING SIDEYARD ACCESS AND PRIVACY FENCE.
- G EXISTING FRONT YARD

DENOTES:
LOCATION OF NEW KITCHEN
EXPANSION UNDER EXISTING ROOF
AREA= 123/FT²

ADJACENT LOT
SOUTH
* THERE WILL BE NO EXISTING
SITE CHANGES
65 SOUTH PARK ST.
DAHLONEGA GA

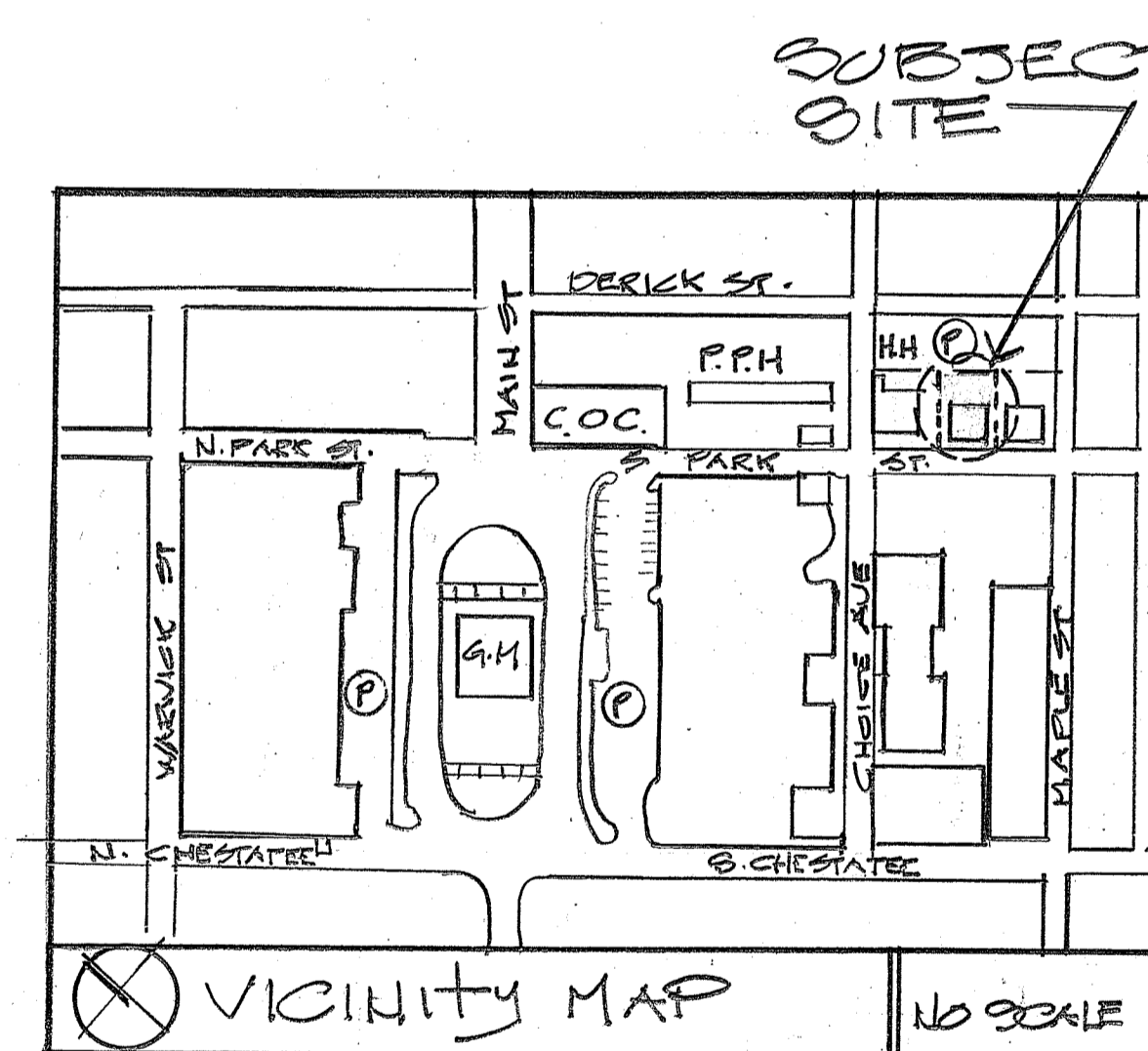
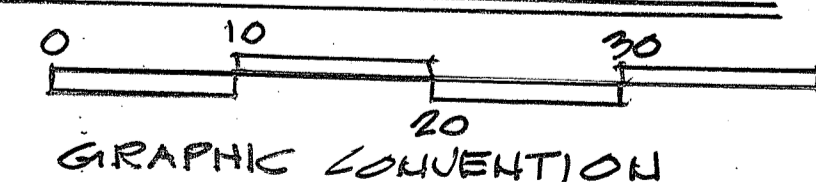
ADJACENT
LOT
HEAD HOUSE
NORTH



SOUTH PARK STREET S.E.

ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'



REVISIONS	BY

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quindesign@gmail.com

KITCHEN RENOVATION FOR:
LANCE AND FIONA BAGLEY
65 S. PARK STREET.
DAHLONEGA, 30533

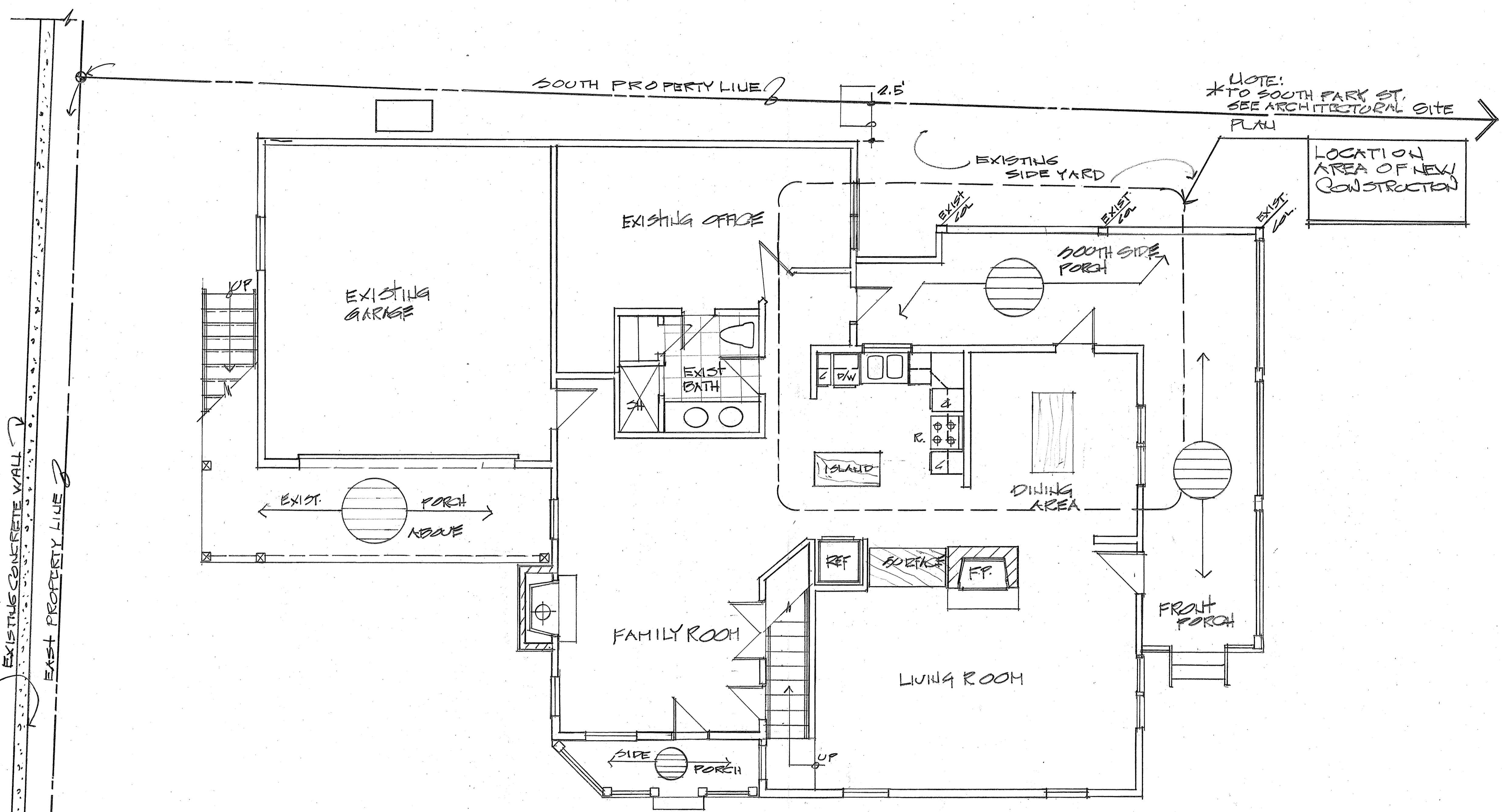
DRAWN J. QUINN
CHECKED JQR
DATE 4-12-2010
SCALE AS SHOWN
JOB NO.
SHEET A-1
OF SHEETS

REVISIONS	BY

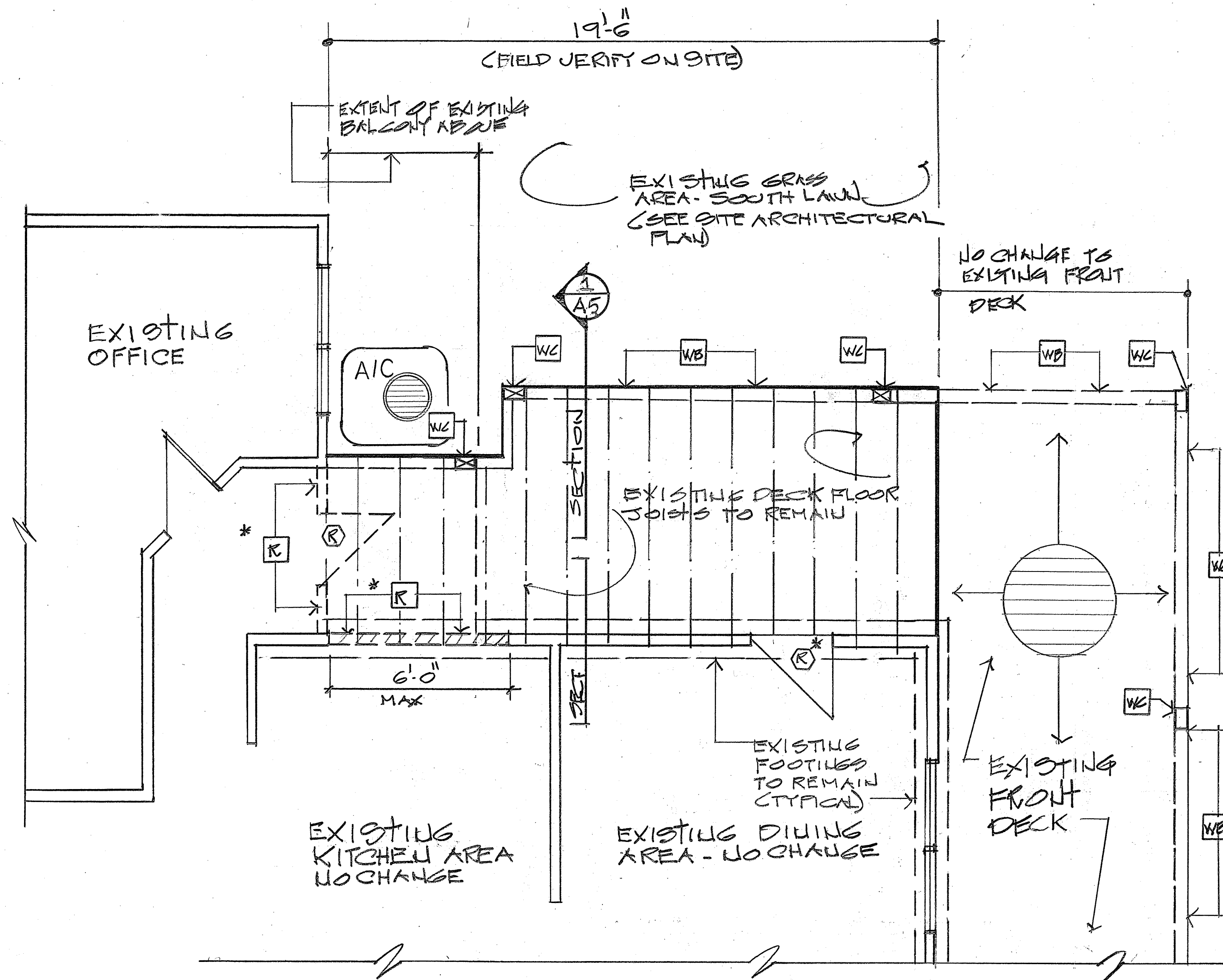
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 quinn@quindesign.com

KITCHEN RENOVATION FOR:
 LANCE AND FIONA BAGLEY
 65 S. PARK STREET.
 DAHLONEGA, 30533

DRAWN J. QUINN
CHECKED JQ
DATE 4-14-2020
SCALE AS SHOWN
JOB NO.
SHEET A-2



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



LEGEND - KEY

MARK	DESCRIPTION	NOTATIONS
WC	WOOD EXTERIOR COLUMN TO REMAIN	
WB	EXISTING WOOD BEAMS TO REMAIN	
R	REMOVE EXISTING WALL PORTIONS	
R	REMOVE EXISTING EXTERIOR DOOR	
R	EXISTING EXTERIOR DOOR SWING TO BE REVERSED TO SWING INWARD	

REMARKS: ||||| DENOTES EXISTING KITCHEN EXTERIOR PORTION OF WALL TO BE REMOVED - TEMPORARY SHORE AS REQUIRED

KEY PLAN - REFER TO SHEET A1
SCALE: 3/8" = 1'-0"

NORTH

REVISIONS	BY

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quindesign@gmail.com

KITCHEN RENOVATION FOR:
LANCE AND FIONA BAGLEY
65 S. PARK STREET.
DAHLONEGA, 30533

DRAWN: J. BROWN
CHECKED: JB
DATE: 4-14-2020
SCALE: AS SHOWN
JOB NO.

SHEET
A-3
OF SHEETS

BEAM AND HEADERS

- (WB1) 2x10 SYP WOOD BEAMS W/1/2 FLITCH PLATE
- (WB2) 2x6 WINDOW HEADERS (TYP)

- DENOTES: [diagonal lines] NEW EXTERIOR WALLS
 DENOTES: [solid line] EXISTING WALLS TO REMAIN
 DENOTES: [hatched] NEW INTERIOR INFILL WALLS
 DENOTES: [dashed] SEE SHEET A3 WHERE WALL IS REMOVED.

LEGEND TO PLAN:

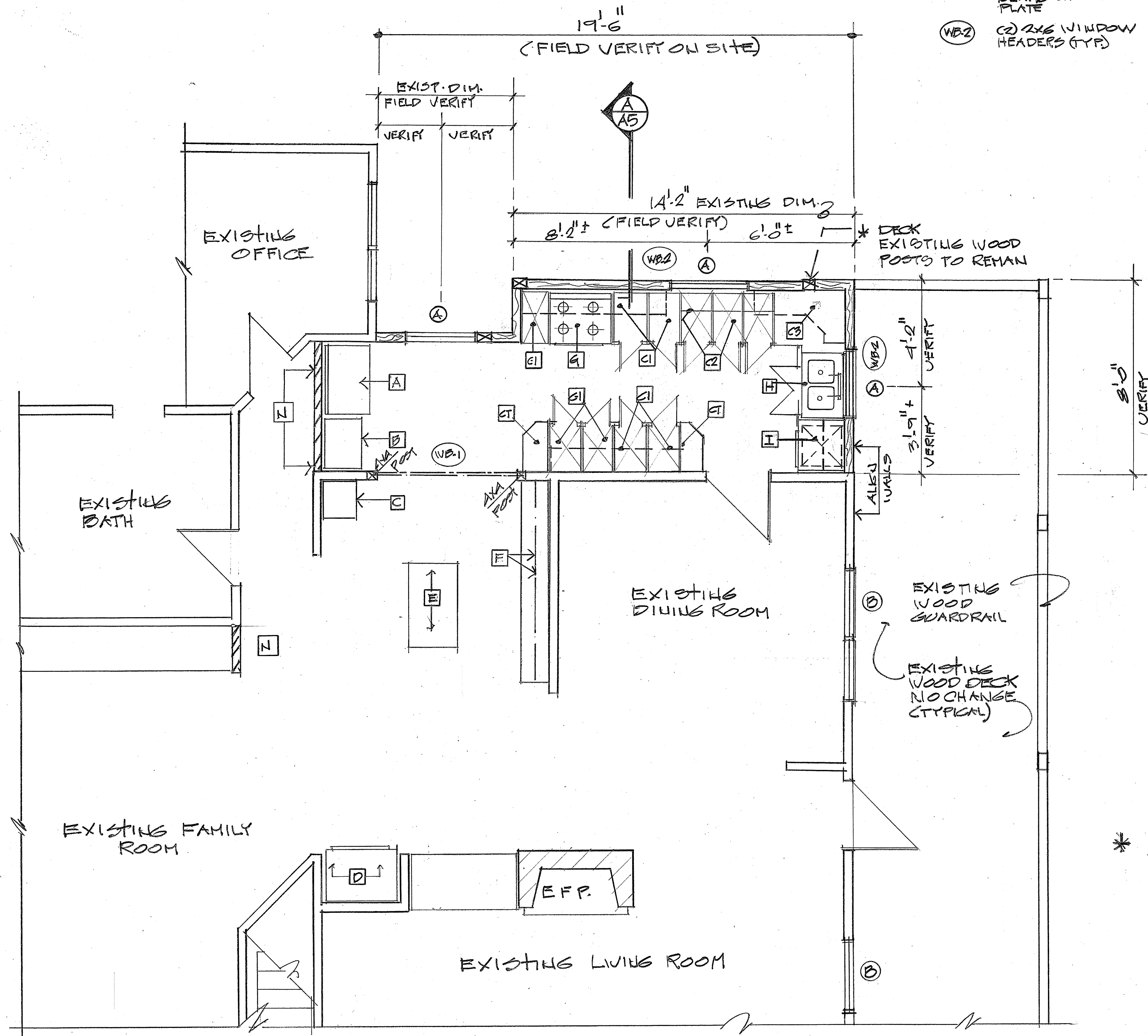
WINDOW SCHEDULE:

- TYPE (A) (B) EXH: NEW KITCHEN 3'-8" WIDE X 7'-0" HIGH WOOD VINYL GLAD SINGLE HUNG (MATCH EXISTING)
 TYPE (B) ALL EXISTING WINDOWS TO REMAIN AS IS IN PLACE

*** KITCHEN LEGEND**

- [A] DOUBLE OVEN
 - [B] COUNTER TOP
 - [C] FUTURE REFRIDGERATOR LOCATION
 - [D] EXISTING REFRIGERATOR LOCATION TO REMAIN
 - [E] KITCHEN ISLAND
 - [F] WALL MOUNTED SHELVING WITH CABINETS BELOW
 - [G] STOVE TOP
 - [H] DOUBLE SINK. CABINETS BELOW.
 - [I] DISH WASHER WITH CABINETS ABOVE
- CABINETS:**
- [C1] BASE AND UPPER CABINETS
 - [C2] BASE CABINETS ONLY
 - [C3] FLAT COUNTER WITH CORNER UPPER CABINET
 - [ET] COUNTER TOP + 42" AFF

*** CABINET NOTES:** NOTE: ALL CABINETS SHALL BE A MINIMUM OF PREMIER GRADE WITH ALL ACCESSORIES. FINAL CABINET SELECTIONS BY THE OWNERS. CABINETS SHALL INCLUDE ALL ACCESSORIES WIRE PULL HANDLES AND SHELVING WITH ADJUSTABLE BRACKETS AND STANDARDS.



RENOVATION FLOOR PLAN
 SCALE: 3/8" = 1'-0" (REFER TO EXISTING FLOOR PLAN)

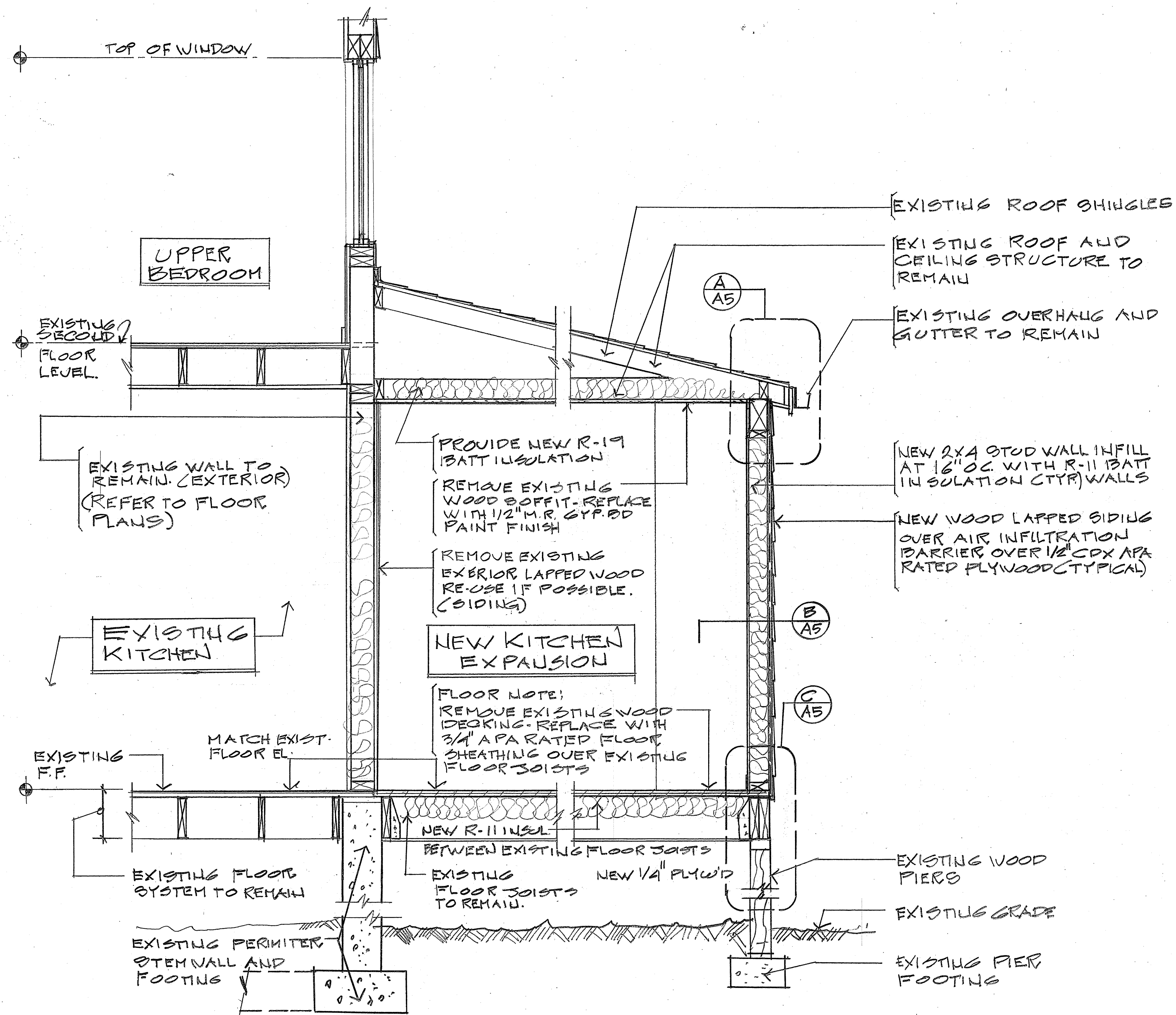
REVISIONS	BY

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 quindesign@gmail.com

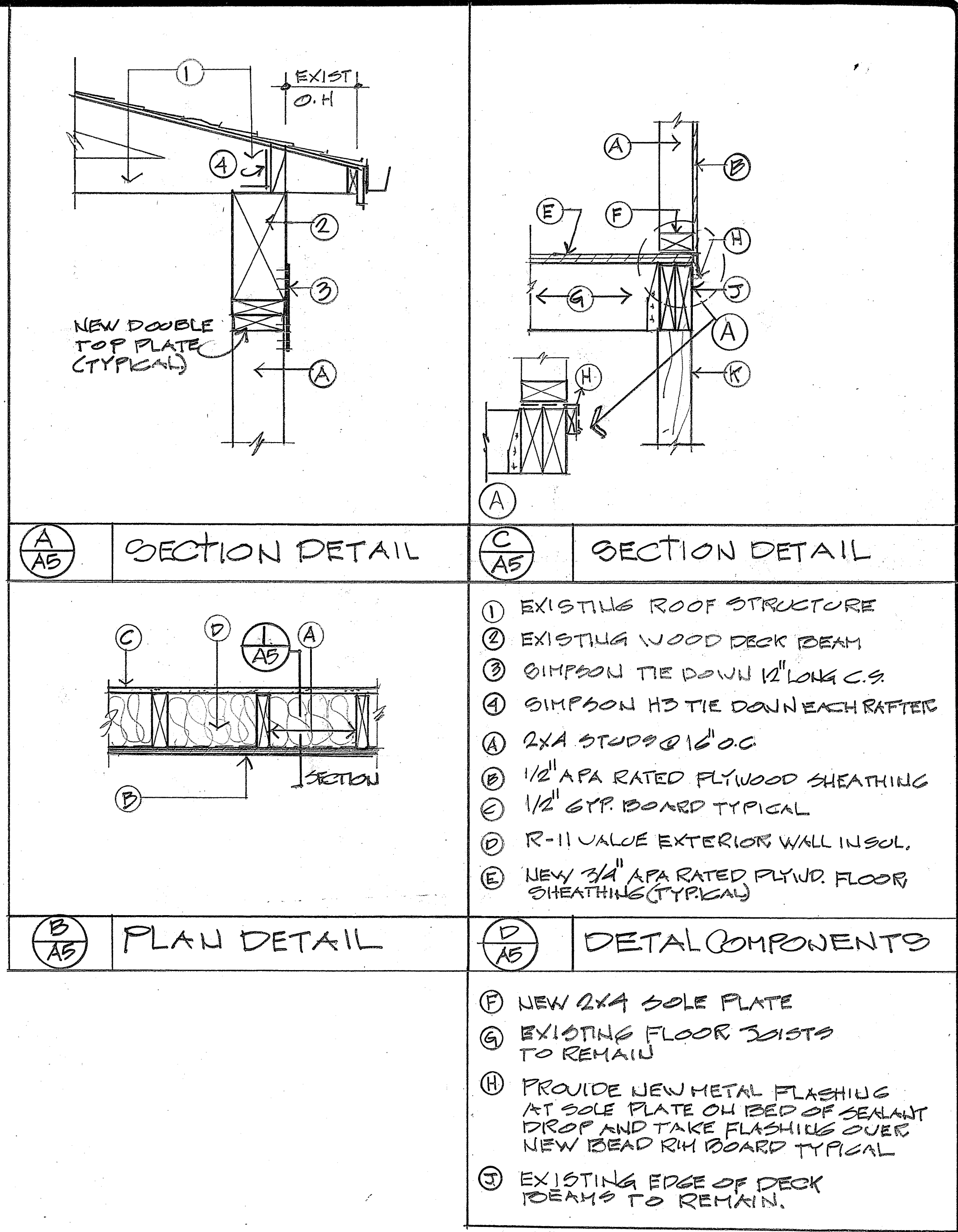
KITCHEN RENOVATION FOR:
 LANCE AND FIONA BAGLEY
 65 S. PARK STREET.
 DAHLONEGA, 30533

DRAWN	J. QUINN
CHECKED	J. QUINN
DATE	1-14-2020
SCALE	AS SHOWN
JOB NO.	

SHEET
A-4



1
A5
TYPICAL CROSS SECTION
SCALE: 1/2" = 1'-0"



STRUCTURAL NOTES

1. GENERAL
 - A. ALL WORK SHALL COMPLY WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) WITH STATE OF GEORGIA AMENDMENTS.
 - B. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO FABRICATION OR INSTALLATION.
2. DESIGN LOADS
 - A. ROOF LIVE LOAD = 20 PSF
 - FLOOR LIVE LOAD = 40 PSF
 - B. WIND VELOCITY = 90 MPH
3. CONCRETE
 - A. CONCRETE WORK SHALL CONFORM TO ACI 318.
 - B. CONCRETE SHALL BE NORMAL WEIGHT CONCRETE CONFORMING TO ASTM C33 AND SHALL DEVELOP A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
 - C. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
 - D. WELDED WIRE MESH SHALL CONFORM TO ASTM A185.
 - E. EDGE OF FOUNDATION SLAB ON GRADE TO BE FORMED.
 - F. PROVIDE MINIMUM 3" CONCRETE COVER FOR STEEL REINFORCING WHERE CONCRETE IS PLACED AGAINST EARTH. PROVIDE MINIMUM 1 1/2" COVER WHERE CONCRETE IS PLACED AGAINST FORMS. PROVIDE MINIMUM 3/4" COVER FROM TOP OF FOUNDATION SLAB.
4. WOOD
 - A. ALL WOOD FRAMING CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2012 IBC SECTIONS 2303 AND 2304.
 - B. ALL WOOD FRAMING MATERIAL SHALL BE NO. 2 SOUTHERN YELLOW PINE.
 - C. ORIENTED STRAND BOARD (OSB) OR PLYWOOD WALL SHEATHING SHALL BE MIN 7/16 INCH APA RATED EXPOSURE 1. ROOF SHEATHING SHALL BE MIN 9/16 INCH APA RATED EXPOSURE 1. ROOF AND WALL SHEATHING SHALL BE FASTENED TO SUPPORT FRAMING WITH 10D COMMON WIRE NAILS SPACE 6 IN O.C. AT PANEL EDGES AND 12 IN O.C. AT INTERMEDIATE SUPPORTS.
 - D. METAL WOOD FRAMING CONNECTION HARDWARE, SUCH AS RAFTER HANGERS AND HURRICANE TIES SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE, OR EQUAL.

REVISIONS	BY

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quindesign@gmail.com

KITCHEN RENOVATION FOR:
LANCE AND FIONA BAGLEY
65 S. PARK STREET,
DAHLONEGA, GA 30533

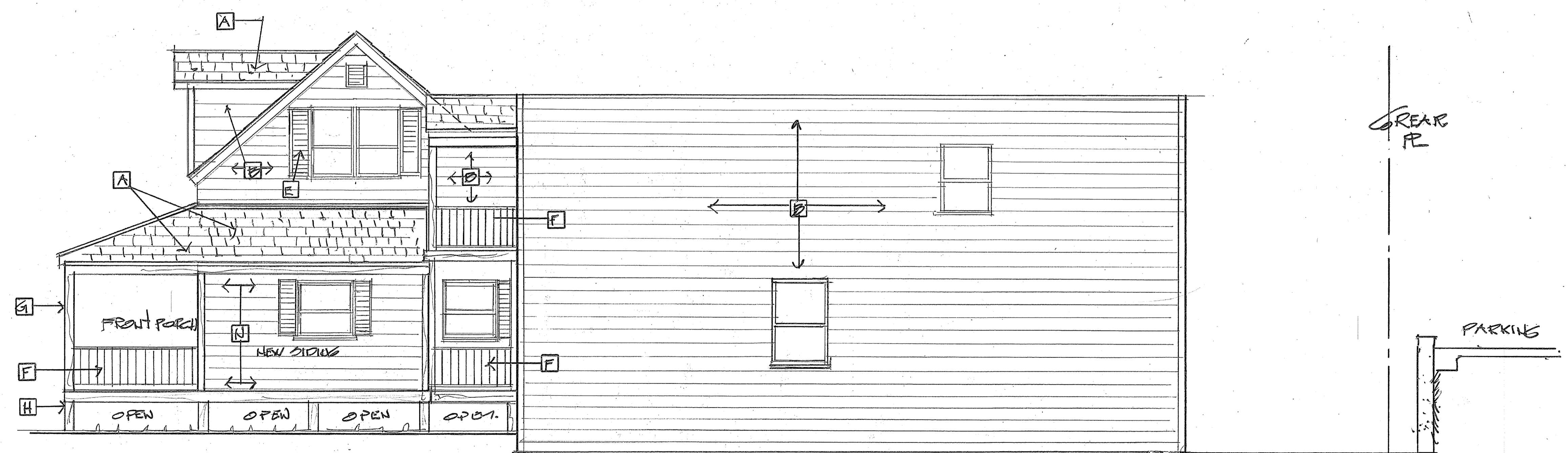
DRAWN J. Quinn
CHECKED J. Quinn
DATE A-12-200
SCALE AS SHOWN
JOB NO.



FRONT ELEVATION SCALE: 1/4" = 1'-0"
PARK STREET.

Exterior Materials Schedule

- A Existing Architectural Shingles
- B Existing Horizontal Lapped Wood Siding
- C Existing Corner Trim
- D Existing Soffit and Fascia
- E Existing Decorative Window Shutters
- F Existing 2x2 Picket Porch Guard Rails
- G Existing Porch Wood Columns
- H Existing Pier Columns to Existing Grade
- I Existing Porch Perimeter Wood Beam



SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY

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KITCHEN RENOVATION FOR:
LANCE AND FIONA BAGLEY
65 S. PARK STREET,
DAHLONEGA, GA 30533
EXISTING FIRST FLOOR PLAN
EXISTING SECOND FLOOR PLAN

DRAWN	J. QUINN
CHECKED	J. QUINN
DATE	4-14-2020
SCALE	AS SHOWN
JOB NO.	
SHEET	A-6

**City of Dahlonega Historic Preservation Commission (HPC)
Certificate of Appropriateness (COA) Review
June 22, 2020 HPC Meeting**

Applicant: Lance Bagley
Property Address: 65 S Park Street
Property Zoning: CBD – Central Business District
Property Type: Commercial

Project Summary:

The referenced application proposes enclosing a portion of the wrap-around porch attached to the front (west) and side (south) of the original portion of the house at 65 South Park Street. The proposed addition is to be used as a kitchen. The enclosure is to extend from the existing southwest corner of the house to the south extent of the porch's shed roof, effectively extending the front façade's first-floor plane approximately 7'-9" to the south. The existing shed roof over the porch as well as the porch's foundation are to be retained and incorporated into the structure for the enclosure. The application proposes no alteration to the roof shape, size, configuration, or material composition. Where exterior walls will be added, the porch supports will be replaced with studs. The proposed enclosure is to include three window openings—one with two double-hung sash windows on the front façade, and two on the side (south) façade. All new exterior walls are to be covered with hardy plank clapboard siding to match the rest of the building. There are no site changes or alterations to vegetation or walkways proposed.

The proposed enclosure will be clearly visible from the public right-of-way within the historic district from points along South Park Street between Maple Street and Choice Street.

Architectural description and distinguishing features of 65 South Park Street:

The subject property is one block southeast of Dahlonega's historic town square in the Historical Business District. The property includes a house first constructed in c. 1938 with a large contemporary addition on the rear. The owners operate a bed and breakfast, known as One Off Main B&B, in the house.

The original Colonial Revival-style, one-and-a-half-story, side-gabled house is located near the center of the lot. It has a symmetrical front (west) façade with centered front door and flanking double-hung windows on the first floor. The second story includes two forward-facing wall dormers symmetrically located on either side of the front facade. The front door is accessed via a covered front porch that wraps around the south side of the house. A forward-projecting gabled roof covers the front door, and a shed roof covers the rest of the wrap-around porch.

There is a large two-story addition attached to the back-right of the original block of the house. The addition includes a garage at the rear. There is a first-floor exterior door on the front (west) façade of the addition that is accessible from the porch that wraps around the south side of the original block.

Both the original block and addition have hardy plank clapboard siding and contemporary double-hung sash windows. All roofs are asphalt shingle.

The subject property is a contributing resource in a residential portion of the historic district. **According to *Historic Building Types and Styles (2.2) of the Dahlonega Historic District Design Guidelines (DDGs)*, the**

following features of the property help define the character of the residential area in which the house is situated:

- Central siting of house on residential lot in the periphery of the commercial core;
- Orientation toward street and setback affording front yard;
- One- to two-story massing that does not overwhelm lot size and adjacent residential properties;
- Clapboard siding; and
- **Prominent front porch that wraps around side façade.**

Analysis of proposed work based on applicable Dahlonga Historic District Design Guidelines (DDGs):

1.0 Introduction:

- *Certificate of Appropriateness* (1.1) – The proposed work constitutes an addition to an existing building in the historic district and, therefore, requires a Certificate of Appropriateness (COA).
- *The Secretary of Interior’s Standards for Rehabilitation* (1.5) – **The existing wrap-around porch on the house at 65 S Park Street is a character-defining feature of the building and the proposed addition will alter it significantly.** The following *Standards* are applicable:
 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
 9. New addition, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. **The new work shall be differentiated from the old** and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

2.0 Dahlonga’s Historic Districts:

- The subject property is a contributing resource in a residential portion of the Central Business District.
- The wrap-around porch is a character-defining feature of the subject house and, subsequently, the historic district.
- The proposed project will result in alteration of the appearance of the wrap-around porch and will be visible from the public right-of-way.
- **Consider the following statement from page 22 of the DDGs: “The importance of porches in Dahlonga cannot be stressed enough and every effort necessary should be undertaken to ensure their proper maintenance and preservation.”**

3.0 Setting and Site Features:

- The proposed work constitutes no alteration to the appearance or functionality of the existing setting and site features and, therefore, adheres to 3.0 of the DDGs.

4.0 Building Exterior:

- *Foundations* (4.1) – The existing porch foundation (frame, post-and-beam structure) is to be retained, and the proposed work will not alter the house’s foundation.
- *Windows and Doors* (4.2) – Two first-floor windows, on the south façade of original portion of the house, and an exterior door, on the west façade of the large rear addition, are to be enclosed. The referenced windows *may* be character-defining but are on a secondary façade. The referenced door is not original or character-defining. The following DDGs apply:
 - 4.2.14 For new additions, windows should be similar in size, scale and proportion, material, and detail to windows on the historic structure. Use of thermal pane windows with simulated divided light (where a muntin grid is glued over a thermal glass “sandwich” and cannot be removed” will be considered on a case-by-case basis.
- *Porches and Entrances* (4.4) – On page 62, the DDGs state that “Front porches are perhaps the most character-defining elements of the historic district. Nearly all buildings within the historic district feature front porches. ... Entrance ways, along with porches, are often the primary focus of a building’s front façade. As such, these features are largely representative of Dahlonga’s visual identity.” **While the proposed work will result in enclosure of a portion of the house’s character-defining, wrap-around porch, there will be no change to the existing front door or the porch’s roofline. The existing balustrade and porch supports will be removed. The proposed enclosure is on the side of the house, but will be clearly visible from the public right-of-way.** The following DDGs are applicable:
 - 4.4.1 Retain, preserve, and maintain character-defining features of porches and entrance ways original to buildings. This includes consideration of any features of the porch or entrance way railings, posts, balusters, floors, foundation supports, stairs, doorways, transoms, and porch roofs. Deteriorated features, such as columns, brackets, spindle work, or balustrades should be replaced in-kind.
 - 4.4.6 Enclosing front porches and entrance ways in any manner disrupts the traditional appearance of a building, and subsequently detracts from the design character of the district. Therefore, enclosing these areas is strongly discouraged.
- *Roofs* (4.5) – All existing roofs are to remain in place and no additional roofs are to be added.
- *Exterior Walls and Trim* (4.6) – On page 69, the DDGs state that “the form, materials, and details of exterior walls can contribute to a building’s historic character. Bays and siding materials contribute to the diversity of wall forms in the district. Pattern, scale, texture, color, and the detail of historic wall materials characterize buildings in the historic district.” **The proposed siding material and profile (hardy plank clapboard) match that of the existing building. Enclosing the porch will, however, alter the symmetry of the 3-bay front façade.**

5.0 New Construction and Additions:

- *New Additions* (5.2) – On page 95, the DDGs state:

To increase the size or functionality of their properties, property owners often construct additions to existing structures. New additions should be designed to be compatible with the existing building in mass, materials, color, and relationship to exterior wall voids. Additions should be discernible from the original. It is inappropriate to make additions appear to be part of the original building. The size and scale of the addition should not diminish or visually overpower the existing building. In historic districts, additions to properties can compromise historic value if they do not correspond to guidelines that are intended to minimize their visual impact in terms of scale, size, building envelope, and massing.

- **NOTE:** *Historic Preservation Brief #14: New Exterior Additions to Historic Buildings*, published by the National Park Service, provides specific guidance to those designing and evaluating new additions to historic resources.

Regarding new additions to historic buildings, the DDGs align directly with the *Secretary of the Interior's Standards for Rehabilitation*. The following DDGs apply, portions in bold are of particular importance to the referenced application:

5.2.1 New additions should be designed to be compatible with the existing building in mass, materials, color, and relationship to exterior wall voids. Additions should be discernible from the original. It is inappropriate to make additions appear to be part of the original building. **The size and scale of the addition should not diminish or visually overpower the existing building.**

5.2.2 All new additions to buildings within the historic district should comply with the Secretary of the Interior's Standards, particularly Preservation Brief No. 14.

5.2.4 The historical character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5.2.5 Each property shall be recognized as a physical record of time, place, and use. **Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

5.2.6 New additions should be constructed with the least possible loss of historic fabric and so that the character defining features of buildings are maintained.

5.2.11 **Locate new additions on inconspicuous elevations such as side elevations that are not visible from the street. Additions should generally be inset from the corners of the historic or original portion of the structure or otherwise joined to the existing building in such a manner that illustrates that is an addition and not part of the earlier construction.**

5.2.12 Limit the size and scale of an addition in relationship to the historic building so that it does not diminish or overpower the historic building. New additions should not visually or physically overwhelm the original building with the location, scale, height, or ornament of the additions.

5.2.13 It is not appropriate to construct an addition if it detracts from the historic character of the building, the site, or the district.

General Comments Regarding Design Details for the Proposed Project:

The referenced application proposes enclosing the side portion of the wrap-around porch—a feature that is clearly visible from the public right-of-way. **The DDGs and the *Secretary of the Interior's Standards* explicitly state that it is not appropriate to alter porches that are character-defining and highly visible.** While the proposed enclosure is to be attached to a secondary façade and no alterations will occur to the existing porch roof, the house's appearance will be altered significantly if the side porch is enclosed.

If built as proposed, the front façade of the original portion of the house will be extended to the south, establishing a new front corner on the first floor. Altering the front façade in such a way does not adhere to the guidance outlined in the DDGs for *New Construction* (5.2), specifically 5.2.1, 5.2.2, 5.2.5, and 5.2.11.

The size and scale of the proposed enclosure will not overwhelm the existing building or site; however, as proposed, the enclosure will not be differentiated from the original building. By continuing the plane of the front façade to a new corner, it may no longer be possible to identify the historic portion of the building.

Preservation Brief #14, which is adopted as code in DDG 5.2.2 (quoted above), explains that “a new addition to a historic building should protect those visual qualities that make the building [significant].”¹ It is recommended that the HPC and applicant consider ways in which the proposed addition can be differentiated from the primary façade. This may be done by simply setting the front (west) façade of the addition back a few inches from the existing front plane.

Regarding the proposed window on the addition’s front façade, the use of a set of double-hung sash windows (to match the house’s existing windows) centered on the front of the enclosure will affect the rhythm and symmetry of the existing front façade. The existing first-floor front includes three bays with a centered entry and flanking windows. The proposed enclosure will alter the façade’s symmetry and result in a ‘heavier’ right (south) side. It is recommended that the HPC and applicant consider the use of a smaller window, and/or alternative window types that may visually differentiate the addition from the original façade.

Recommendation:

Based on the DDGs, the proposed addition constitutes a significant alteration to appearance of a prominent façade of the house at 65 South Park Street. **While the size, scale, and material composition of the proposed enclosure is unobtrusive and may be declared appropriate, its location in the front corner of the house and on a character-defining porch may adversely affect the historic character of the property and district.** See DDGs 4.4.1, 4.4.6, and 5.2.1. Furthermore, as proposed, the enclosure will not be differentiated from the historic portion of the house. See DDGs 5.2.2, 5.2.5, and 5.2.11.

Therefore, the proposed work does not adhere to the DDGs and denial of the referenced application is recommended.

Although there may be inappropriate aspects of the proposed project, as identified in this report, *the DDGs “are not intended to restrict or limit construction or reconstruction in terms of use or size, but to offer design guidance to ensure the integrity of Dahlonaga’s historic presence.”*² After reviewing the referenced application, I recommend that the HPC and applicant consider alternative locations for the kitchen addition, such as attached to a rear or other secondary façade. If it is determined that no other location is feasible due to issues related to cost and/or functionality, I recommend considering alternative designs that will differentiate the addition. I suggest the HPC and applicant consider the use of different exterior materials, window location and configuration, and designs that separate the addition from the plane of the existing front façade.



Chris Jackson, Historic Preservation Specialist, WLA Studio, Athens, GA
June 17, 2020

¹ *Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns*, NPS, p. 4.

² *Dahlonaga Historic District Design Guidelines*, p. 7.

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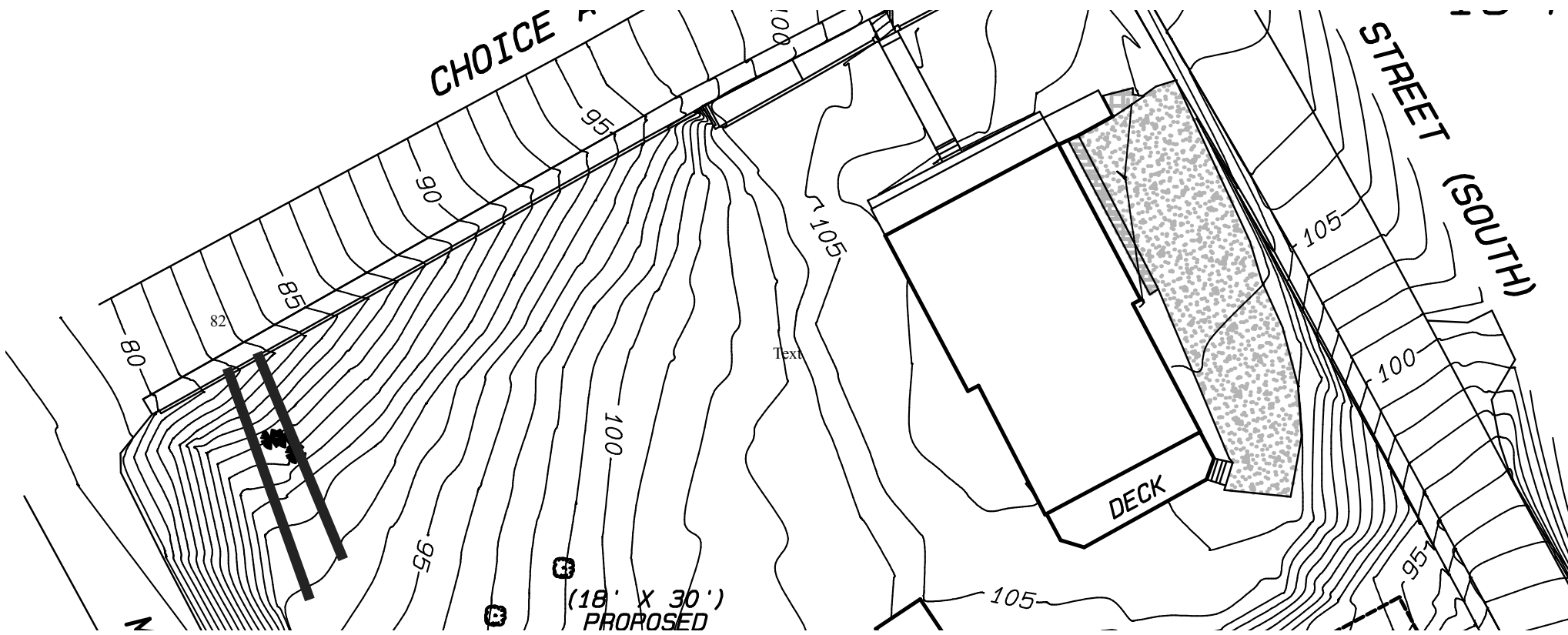
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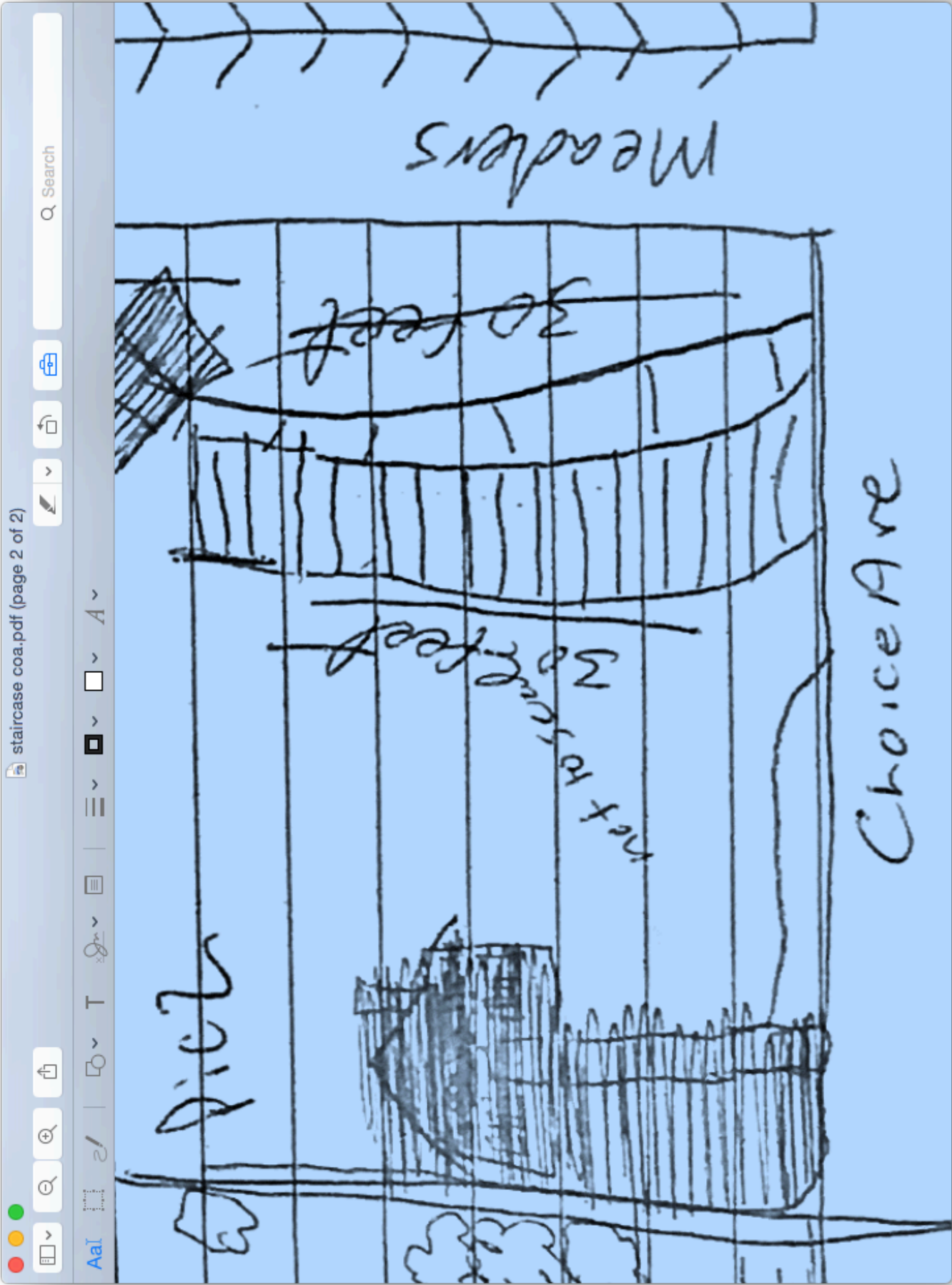


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DATE: June 18, 2020
PETITIONER: Zack Tumlin
ADDRESS: 19 East Main Street
CITY: Dahlonega, GA 30533
TELEPHONE: 706-864-7114
CASE NO: COA-20-2
PROPERTY LOCATION: 83 Choice Avenue

Nature of Request

Zack Tumlin has requested to install a stone staircase on the corner of his property at the confluence points of Choice Avenue and Meaders Street. The stone staircase will consist of 21 steps six inches thick, 18 inches deep and 24 inches wide. These steps will provide access to the rear of the property from Choice Avenue. Lighting will be provided by solar powered pathway lights running parallel to the stone staircase on both sides the full length of the staircase. The zoning district for this property is Central Business District (CBD) and currently operates as a second home and retail property for Mr. Tumlin.

Staff Comments

The staff has reviewed the current HPC Guidelines and find that section 2.1 “Defining Characteristics of the Historic District” describes the use of stone in walls and walkways as a character defining feature in residential sites as well as public spaces. Section 3.3 “Site Features, Landscaping & Plantings” and Section 3.1 Walkways, Driveways & On-Site Parking” speak to use of same material in residential sites as what is currently found on those sites. Section 3.1.5 states “in residential areas, use existing or similar materials in both walks and driveways” shown by the stone walkway that leads to the front entrance of the house an extension of the material for the staircase would be concurrent with section 3.1.5. Lighting will be provided by smaller solar lights running parallel to the staircase fitting the recommendations in 3.6 “Exterior Lighting” to install lighting that is not overpowering and modest.

Finding & Recommendation

Staff finds that the application is concurrent with applicable sections of the Design Guidelines and further addresses the owners intent to keep the house within the historic nature of the District.

Staff recommends approval of the application as submitted.



Community Development Director

Hollow Forge Services LLC
697 John Walden Rd
Dahlonega, Ga 30533
hollowforge@gmail.com
678-410-6785

Quote 20-02

May 5, 2020

To: Jay Stone & Dahlonega City Planning Dept.

For: MugMe LLC
53 W Main St
Dahlonega, Ga 30533

Re: Iron railing fabrication and installation.

The following lists the specifications of iron railing to be fabricated and installed on the front stone patio of Mugme, LLC, located at 53 W Main St in Dahlonega, Ga.

Note two drawings and several photos are included in this quote.

1. Fabricate, paint and install approximately 36' of iron rail. See photos and drawing 2 for style. See drawing 1 for placement of railing about stone patio.

1a. Railing dimensions are:

1½" 11 gage square tubing posts.

½" 16 gage square tubing pickets.

1¾" cap rail.

36" height.

Iron paint is Rustoleum Black Satin.

2. Prior to fabrication and installation, approximately 13 holes will be cored through the stone surface of patio. Holes are cored to 2 ½" diameter and 4 inches deep. Railing posts will be installed in these holes and secured with expanding anchoring cement.

3. Railing will then be fabricated/painted/installed. There will be 5 total pieces that will have to be installed/welded/and joints painted on site.

Rick Woodard

HollowForge





DATE: June 18, 2020
PETITIONER: Jay Stone
ADDRESS: 24 Public Square South
CITY: Dahlonega, GA 30533
TELEPHONE: 706-334-9503
CASE NO: COA-20-3
PROPERTY LOCATION: 53 W. Main Street

Nature of Request

Jay Stone has requested to install an iron railing across the front of the patio for the structure located at 53 W. Main Street. This railing will be painted black to match other railing located around the historic district and will be 36 inches in height and run the length of the patio with an opening at the entrance of the building. This was requested by the insurance company due to tables being moved to the patio for public seating. The zoning district for this property is Central Business District (CBD) and currently operates as a yoga studio and coffee shop.

Staff Comments

The staff has reviewed the current HPC Guidelines and find that section 4.4 Porches and Entrances is the most relevant section to address the request for an iron railing along the front of the patio of 53 W. Main Street. The use of iron is indicative of the character and materials used about the public square of the true center of the historic district. This is an addition to the building and not a replacement, so section 4.4.5 is not relevant to the addition of iron railing along the porch.

Finding & Recommendation

Staff finds that the addition of iron railing along the front porch of 53 West Main Street is concurrent with the Dahlonega Historic District Design Guidelines and particularly concurrent with section 4.4 Porches and Entrances.

Staff recommends that the application be approved as submitted.



Community Development Director