

**DAWSON COUNTY BOARD OF COMMISSIONERS
VOTING SESSION AGENDA - THURSDAY, APRIL 5, 2018
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
6:00 PM**

A. ROLL CALL

B. OPENING PRESENTATIONS

1. LifeLink National Donate Life Month Proclamation
2. Development Authority of Dawson County (DADC) Update- Brian Trapnell, DADC Chairman

C. INVOCATION

D. PLEDGE OF ALLEGIANCE

E. ANNOUNCEMENTS

F. APPROVAL OF MINUTES

- Minutes of the Voting Session held on March 15, 2018
Minutes of the Work Session held on March 22, 2018

G. APPROVAL OF AGENDA

H. PUBLIC COMMENT

I. ZONING

1. ZA 17-09- Richmond Honan Development & Acquisitions, LLC has made a request to amend an existing 52.42 acres zoned CPCD (Commercial Planned Comprehensive Development) to allow for a mixed-use senior living campus-style development. The properties are located on TMPs 107-319, 107-319-002, 107-319-004 and 107-319-005.

J. PUBLIC HEARING

1. Resolution Transmitting a Draft Capital Improvements Element (CIE) (*1st of 1 hearing*)

K. CONSENT AGENDA

1. Consideration of Blaw-Knox Tracked Paver Purchase- Public Works Director David McKee / Purchasing Manager Melissa Hawk
2. County Attorney Compensation- Chairman Thurmond

L. UNFINISHED BUSINESS

1. Consideration of Text Amendments to the Development and Design Guidelines Georgia 400 Corridor (*tabled from the March 15, 2018, Voting Session*)

M. NEW BUSINESS

1. Consideration of Amendments to 2017 Capital Improvements Element (CIE)
2. Consideration of Application for Parade & Assembly - *Sheriff's Office Ride for Relay*
3. Consideration of Request for Additional School Resource Officers

4. Consideration of Request to Upgrade Part-Time Magistrate Court Clerk Position to Full-Time Position
5. Consideration of Salary Increase Request for Magistrate Court Clerks Earning Georgia Information Crime Center Certification
6. Consideration of IFB #308-18- Emergency Medical Supplies for Emergency Services
7. Ratification of FY 2018 Homeland Security Grant Program Application for Emergency Services' K9 Search & Rescue Team
8. Consideration of Request to Write Off Old Debt for Ambulance Billing
9. Consideration of Board Appointments:
 - a. Tax Assessors Board**
 - i. Jo Ann Overstreet Hause- *replacing Kendy Bennett* (Term: April 2018 through December 2022)
 - b. Tree Preservation Committee**
 - i. George Lyons- *reappointment* (Term: April 2018-December 2021)
 - ii. Bob Speight- *reappointment* (Term: April 2018-December 2021)
 - iii. Judy Baer- *appointment to chair* (Currently Serving: January 2011 December 2018)
10. Consideration of Annexations #C8-00085 through #C8-00089 and #C8-00099 through #C8-00103

N. PUBLIC COMMENT

O. ADJOURNMENT

Backup material for agenda item:

LifeLink National Donate Life Month Proclamation

John D. Whelchel, M.D., F.A.C.S.
Medical Director Emeritus

Thomas C. Pearson, M.D., D.Phil.
Medical Director

Marty Sellers, M.D.
Associate Medical Director

Nicole Turgeon, M.D.
Associate Medical Director



Kathleen T. Lilly
Executive Vice President, OPO Services
Executive Director, LifeLink of Georgia

V. Lee Langley, R.N., C.P.T.C.
Vice President / Associate Executive Director

Dustin T. Diggs, MSNA, BSN, CRNA
Associate Executive Director

March 15, 2018

Chairman Billy Thurmond
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

To the Honorable Chairman Billy Thurmond,

April is National Donate Life Month, an opportunity to share information about the need for organ and tissue donation in your community. LifeLink® of Georgia, the state's non-profit organ and tissue recovery organization recognized by law, seeks a proclamation from your County designating April as "Donate Life Month!"

In Georgia, over 5,000 people are awaiting a transplant. One donor can impact over 75 lives. There are more than 120,000 men, women, and children in the United States on the organ transplant waiting list; twenty-two (22) individuals will die each day because a much-needed organ does not become available in time.

Through public education and efforts to increase organ donation such as this proclamation, thousands of lives can be improved, lives like those whose stories are told in the enclosed LifeLink annual report/2018 calendar.

As a part of your proclamation process, please let us know if your County would be interested in providing donor outreach and registration events during the month of April. We are more than willing to offer input and assistance; however, we understand if you can only provide a proclamation. Our organization would like to accept all proclamations in person, but in the event that's not possible, please submit the declaration to the attention of:

Juette Taylor
LifeLink of Georgia
2875 Northwoods Parkway
Norcross, Georgia, 30071

Thank you for your consideration.

Sincerely,

Cynthia Jenkins, JD
Public Affairs Department
LifeLink of Georgia

Enclosure:

2018 LifeLink of Georgia Calendar



A Donate Life Organization



National Donate Life Month Proclamation

Dawson County, PROCLAMATION

WHEREAS, one of the most meaningful gifts that a human being can bestow upon another is the Gift of Life; and

WHEREAS, more than 121,000 men, women, and children await life-saving or life-enhancing organ transplants, of which over 5,590 reside in Georgia; and

WHEREAS, the need for organ, eye, and tissue donation grows daily as a new patient is added to the national waiting list for an organ transplant every 10 minutes; and

WHEREAS, the critical donor shortage remains a public health crisis as an average of 22 people die daily due to the lack of available organs; and

WHEREAS, organ, eye, and tissue donation can provide families the comfort of knowing the gift of donated organs and tissue endows another person with renewed hope for a healthy life; and

WHEREAS, donating life through organ, eye, and tissue donation is the ultimate act of generosity and kindness we **Dawson County** citizens can perform; and

WHEREAS, more than 4.7 million Georgians have already registered their decision to give the Gift of Life at www.donatelifegeorgia.org or when getting or renewing their driver license or state identification card at a driver license office; and

WHEREAS, LifeLink® of Georgia is the non-profit, community service organization dedicated to the recovery of high quality organs and tissues for transplantation therapy; and

WHEREAS, **Dawson County** supports the life-saving mission of LifeLink® of Georgia; and

NOW, THEREFORE, **the Dawson County Board of Commissioners**, do hereby proclaim April 2018 as

DONATE LIFE MONTH

In **Dawson County**, to honor all those who made the decision to give the gift of life, to focus attention on the extreme need for organ, eye and tissue donation, to encourage all residents to take action and sign up on Georgia's Donor Registry at www.donatelifegeorgia.org, to discuss the miracle of transplantation as a family, and to make a family commitment to organ, eye, and tissue donation

On This day, _____ of April 2018



A Donate Life Organization

Backup material for agenda item:

Minutes of the Voting Session held on March 15, 2018

**DAWSON COUNTY BOARD OF COMMISSIONERS
VOTING SESSION MINUTES – MARCH 15, 2018
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
25 JUSTICE WAY, DAWSONVILLE
6:00PM**

ROLL CALL: Those present were Commissioner Fausett, District 1; Commissioner Gaines, District 2; Commissioner Nix, District 4; County Manager Headley; County Attorney Frey; County Clerk Cloud; and interested citizens of Dawson County. Chairman Thurmond and Commissioner Hamby were not present.

INVOCATION: Vice-Chair Fausett

PLEDGE OF ALLEGIANCE: Boy Scout Troop 109

ANNOUNCEMENTS:

Vice-Chair Fausett announced that the week of March 11-17 was Sunshine Week, reiterating the importance of transparency in government. She noted that, this year, Sunshine Week falls just after qualifying week for Georgia's May Election Primary.

APPROVAL OF MINUTES:

Motion passed unanimously to approve the minutes from the Voting Session held on March 1, 2018. Gaines/Nix

APPROVAL OF THE AGENDA:

Motion passed unanimously to approve the agenda as presented. Nix/Gaines

PUBLIC COMMENT:

None

ALCOHOL LICENSE:

New Alcohol License (Retail Package Sale of Beer, Wine and Distilled Spirits) – 400 Package Store, LLC d/b/a 400 Package Store

Motion passed unanimously to approve the New Alcohol License (Retail Package Sale of Beer, Wine and Distilled Spirits) – 400 Package Store, LLC d/b/a 400 Package Store. Nix/Gaines

ZONING:

ZA 17-09- Richmond Honan Development & Acquisitions, LLC has made a request to amend an existing 52.42 acres zoned CPCD (Commercial Planned Comprehensive Development) to allow for a mixed-use senior living campus-style development. The properties are located on TMPs 107-319, 107-319-002, 107-319-004 and 107-319-005.

County Attorney Frey announced that if anyone had contributed more than \$250 to the commissioners or chairman in the past two years and wished to speak they would have to fill out a disclosure form, which would be made available to them. Under normal program, ten minutes will be given to those who wish to speak in favor of or opposition to with some redirect, time permitting.

Planning & Development Director Jason Streetman said the site originally was zoned for retail and office development. He said plans for a mixed-use senior living development like the one being proposed would require an amendment to the current zoning. Streetman said that ZA 17-09 was heard by the Dawson County Planning Commission in February 2018. Streetman said the Planning Commission recommended approval of the application with the following stipulations:

1. The project shall be developed to the standards set forth in the applicant/owner-provided letter of intent and master-designed site plan. Pertinent square footage maximums shall include:
 - a. Commercial/Medical Office
 - i. 130,000 square feet of office space
 - ii. 31,500 square feet of retail space
 - iii. 141,000 square feet of assisted living space
 - iv. 70,000 square feet of hotel space
 - b. Residential-Maximum
 - i. 200 independent living dwelling units
 - ii. 60 senior duplex dwelling units
 - iii. 40 residential loft dwelling units over retail space
 - c. Design Standards
 - i. Front setbacks off of Highway 400 shall be 75 feet
 - ii. Two multi-tenant pylon signs to be located along Highway 400 not to exceed 35 feet in height
2. Any deviation of intent or plans as set forth in this amendment shall be subject to review by the director of Planning & Development to include approval, denial or requiring further amendment of the CPCD zoning.
3. All stipulations of zoning shall be made a part of any plats, plans or permits associated with this development.

Doug Shaw of Jericho Design Group, representing the applicant, said that site work would begin on the entire property, and construction of buildings on the property would come in phases. He said the development would be an integrated senior medical community, to include senior living facilities, retail and a hotel. Shaw estimated that the development would be completed in five to six years. Shaw said the developer would be open to including a conference area within the planned hotel. He said the developer is not one who “builds and flips” but instead “builds and holds,” and ownership likely would stay with Richmond Honan. The developer would likely partner with a third-party management company.

County Attorney Frey opened the hearing by asking if there was anyone present who wished to speak either for or against the application.

None spoke in favor of the application.

The following spoke against the application:

- Hugh Stowers Jr., Dawsonville

County Attorney Frey asked if there was anyone else present who wished to speak on ZA 17-09 and, hearing none, closed the hearing.

Motion passed unanimously to hold an additional public hearing for ZA 17-09 on April 5, 2018, and, therefore, table a decision. Gaines/Nix

PUBLIC HEARINGS:

Text Amendments to the Land Use Resolution of Dawson County (2nd of 2 hearings. First hearing was held on February 15, 2018)

County Attorney Frey opened the hearing by asking if there was anyone present who wished to speak either for or against the Text Amendments to the Land Use Resolution of Dawson County and, hearing none, closed the hearing.

Motion passed unanimously to approve the Text Amendments to the Land Use Resolution of Dawson County. Gaines/Nix

Text Amendments to the Development and Design Guidelines Georgia 400 Corridor (2nd of 2 hearings. First hearing was held on February 15, 2018)

County Attorney Frey opened the hearing by asking if there was anyone present who wished to speak either for or against the Text Amendments to the Development and Design Guidelines Georgia 400 Corridor.

None spoke in favor or against the Text Amendments to the Development and Design Guidelines Georgia 400 Corridor.

Motion passed unanimously to close the public hearing and table the Text Amendments to the Development and Design Guidelines Georgia 400 Corridor until April 5, 2018, to allow time for additional language to be added to Section 6.3 E. Gaines/Nix

UNFINISHED BUSINESS:

Consideration of Impact Fee Methodology Report Final Draft (tabled from the February 15, 2018, Voting Session)

Motion passed unanimously to approve the Impact Fee Methodology Report Final Draft and send to the Georgia Department of Community Affairs. Nix/Gaines

NEW BUSINESS:

Consideration of Supplemental Grant Application for Emergency Funds for Treatment Court

Motion passed unanimously to approve the Supplemental Grant Application for Emergency Funds for Treatment Court. Nix/Gaines

Consideration of Grant Application for FY 2019 Enhancement Funding for Treatment Court

Motion passed unanimously to approve the Grant Application for FY 2019 Enhancement Funding for Treatment Court. Gaines/Nix

Consideration of Application for Parade and Assembly - 4-H Rabies Clinic

Motion passed unanimously to approve the Application for Parade and Assembly - 4-H Rabies Clinic, to be held from 10 a.m.-1 p.m. Saturday, April 21, in the parking lot of the Dawson County Government Center (Courthouse). Nix/Gaines

Consideration of IFB #309-18- 2018 Vehicles for Sheriff's Office

Motion passed unanimously to accept the \$349,022 bid received from Wade Ford for IFB #309-18- 2018 Vehicles for Sheriff's Office. Total funds will come from Special Purpose Local Option Sales Tax (SPLOST) VI in accordance with SPLOST VI Resolution. Nix/Gaines

Ratification of Veterans Memorial Park and Senior Services Revitalization Concept

Motion passed unanimously to ratify the Veterans Memorial Park and Senior Services Revitalization Concept. Gaines/Nix

Ratification of RFP #306-18- Architectural and Engineering Services for the Senior Services Center Award Recommendation

Motion passed unanimously to ratify RFP #306-18- Architectural and Engineering Services for the Senior Services Center Award Recommendation, awarding the contract, not to exceed \$204,000, to Wakefield Beasley & Associates. Nix/Gaines

Consideration of 2018 Surplus Sales List

Motion passed unanimously to approve the 2018 Surplus Sales List. Nix/Gaines

Consideration of Proposed Salary Increases for County Employees

Motion passed unanimously to approve two percent Salary Increases for County Employees. Gaines/Nix

Consideration of Board Appointments:

- *Development Authority of Dawson County*
 - *Joel Hanner- replacing Brian Sticker (Term: March 2018 through December 2019)*
- *Tax Assessors Board*
 - *Andrea McKenzie- replacing Joe Bosworth (Term: March 2018 through December 2021)*

Motion passed unanimously to appoint Joel Hanner to the Development Authority of Dawson County with a term of March 2018 through December 2021 and Andrea McKenzie to the Dawson County Tax Assessors Board with a term of March 2018 through December 2021. Nix/Gaines

Consideration of Annexations #C8-00017, #C8-00078 through C8-00081 and #C8-00071 through #C8-00074

Motion passed unanimously to take no further action on the agenda item. Nix/Gaines

PUBLIC COMMENT:

None

ADJOURNMENT:

APPROVE:

ATTEST:

Billy Thurmond, Chairman

Kristen Cloud, County Clerk

DRAFT

Backup material for agenda item:

Minutes of the Work Session held on March 22, 2018

**DAWSON COUNTY BOARD OF COMMISSIONERS
WORK SESSION AGENDA - THURSDAY, MARCH 22, 2018
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
4:00 PM**

NEW BUSINESS

1. Presentation of Amendments to 2017 Capital Improvements Element (CIE)- Planning & Development Director Jason Streetman / Bill Ross, Ross & Associates
This item will be placed on the April 5, 2018, Voting Session Agenda.
2. Presentation of Application for Parade & Assembly - *Sheriff's Office Ride for Relay* - Jason Streetman, Planning & Development Director
This item will be placed on the April 5, 2018, Voting Session Agenda.
3. Presentation of Request for Additional School Resource Officers- Sheriff Jeff Johnson
This item will be placed on the April 5, 2018, Voting Session Agenda.
4. Presentation of Request to Upgrade Part-Time Magistrate Court Clerk Position to Full-Time Position- Lisa Poss-Thurmond, Chief Magistrate Judge
This item will be placed on the April 5, 2018, Voting Session Agenda.
5. Presentation of Salary Increase Request for Magistrate Court Clerks Earning Georgia Information Crime Center Certification- Lisa Poss-Thurmond, Chief Magistrate Judge
This item will be placed on the April 5, 2018, Voting Session Agenda.
6. Presentation of IFB #308-18- Emergency Medical Supplies for Emergency Services- Fire Chief Lanier Swafford / Purchasing Manager Melissa Hawk
This item will be placed on the April 5, 2018, Voting Session Agenda.
7. Presentation of FY 2018 Homeland Security Grant Program Application for Emergency Services' K9 Search & Rescue Team- Lanier Swafford, Fire Chief
Chief Swafford requested the board ratify this item. This item will be placed on the April 5, 2018, Voting Session Agenda for ratification.
8. Presentation of Resolution for Senior Center 2018 Community Development Block Grant- Dawn Pruett, Senior Services Director
Motion passed unanimously to approve the Resolution for Senior Center 2018 Community Development Block Grant. Nix/Hamby
9. Presentation of Request to Write Off Old Debt for Ambulance Billing- Vickie Neikirk, Chief Financial Officer
This item will be placed on the April 5, 2018, Voting Session Agenda.
10. Presentation of Revised Alcohol Ordinance- Lynn Frey, County Attorney
This item will be placed on the April 12, 2018, Work Session Agenda.

11. Presentation of Board Appointments:

a. Tax Assessors Board

- i. Jo Ann Overstreet Hause- *replacing Kendy Bennett* (Term: April 2018 through December 2022)

b. Tree Preservation Committee

- i. George Lyons- *reappointment* (Term: April 2018-December 2021)
- ii. Bob Speight- *reappointment* (Term: April 2018-December 2021)
- iii. Judy Baer- *appointment to chair* (Currently Serving: January 2011-December 2018)

This item will be placed on the April 5, 2018, Voting Session Agenda.

12. County Manager Report

This item was for information only.

13. County Attorney Report

This item was for information only.

EXECUTIVE SESSION

Motion passed unanimously to enter into Executive Session to discuss personnel and litigation. Gaines/Fausett

Motion passed unanimously to come out of Executive Session. Hamby/Gaines

APPROVE:

ATTEST:

Billy Thurmond, Chairman

Kristen Cloud, County Clerk

Backup material for agenda item:

1. ZA 17-09- Richmond Honan Development & Acquisitions, LLC has made a request to amend an existing 52.42 acres zoned CPCD (Commercial Planned Comprehensive Development) to allow for a mixed-use senior living campus-style development. The properties are located on TMPs 107-319, 107-319-002, 107-319-004 and 107-319-005.

DAWSON COUNTY REZONING APPLICATION

This portion to be completed by Zoning Administrator

ZA 17-09 Tax Map & Parcel # (TMP): 107-319-005
107-319-004
Submittal Date: 12/12/17 Time: 3:45 am/pm Received by: [Signature] (staff initials)
Fees Assessed: \$2900.00 Paid: check Commission District: _____
Planning Commission Meeting Date: 1/16/18 2-20-18
Board of Commissioners Meeting Date: 2/15/18 3-15-18

APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Richmond Honan Development & Acquisitions, LLC

Address: 3330 Preston Ridge Rd, Suite 380, Alpharetta, GA 30005

Phone: [Listed] 404-255-6358 Email: [Business] scotth@richmondhonan.com
Unlisted _____ Personal _____

Status: [] Owner [x] Authorized Agent [] Lessee [] Option to purchase

Notice: If applicant is other than owner, enclosed Property Owner Authorization form must be completed.

I have X /have not _____ participated in a Pre-application meeting with Planning Staff.

If not, I agree _____ /disagree _____ to schedule a meeting the week following the submittal deadline.

Meeting Date: 12-06-2017 Applicant Signature: [Signature]

PROPERTY OWNER/PROPERTY INFORMATION

Name: Tri Mark 400, LLC

Street Address of Property being rezoned: Four Vacant lots corner of Hwy 400
and Lee Castleberry Road - Land Lots: 498, 499, 542, 543

Rezoning from: C-PCD to: _____ Total acreage being rezoned: 52.42

Directions to Property: From Dawsonville, head East on Hwy 53 for approximately 8.5
8.5 miles. Head South on Hwy 400 for approximately 11 miles. Property
is located East of Hwy 400

Subdivision Name (if applicable): _____ Lot(s) #: 498, 499, 542, 543

Current Use of Property: vacant _____

Any prior rezoning requests for property? _____ if yes, please provide rezoning case #: ZA 03-02

*****Please refer to Dawson County's Georgia 400 Corridor Guidelines and Maps to answer the following:**

Does the plan lie within the Georgia 400 Corridor? yes (yes/no)

If yes, what section? 1st Section _____

SURROUNDING PROPERTY ZONING CLASSIFICATION:

North C-HB South C-HB East RA & C-PCD West Hwy 400

Future Land Use Map Designation: Commerical Highway _____

Access to the development will be provided from:

Road Name: Hwy 400 Type of Surface: Asphalt _____

REQUESTED ACTION & DETAILS OF PROPOSED USE

[] Rezoning to: _____ [] Special Use Permit for: _____

Proposed Use: _____

Existing Utilities: [] Water [] Sewer [] Gas [] Electric

Proposed Utilities: [] Water [] Sewer [] Gas [] Electric

RESIDENTIAL

No. of Lots: _____ Minimum Lot Size: _____ (acres) No. of Units: _____

Minimum Heated Floor Area: _____ sq. ft. Density/Acre: _____

Type: [] Apartments [] Condominiums [] Townhomes [] Single-family [] Other

Is an Amenity Area proposed: _____; if yes, what? _____

COMMERCIAL & INDUSTRIAL

Building area: _____ No. of Parking Spaces: _____

APPLICANT CERTIFICATION

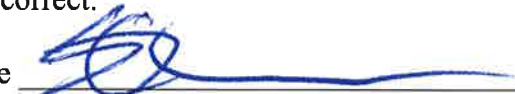
I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and the Board of Commissioners to make an informed determination on my request. I will seek the advice of an attorney if I am not familiar with the zoning and land use requirements.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioner hearings and that I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my rezoning of special use application. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

Signature 

Date 12-8-2017

Witness Sharon Holcal

Date 12.8.2017

WITHDRAWAL

Notice: This section only to be completed if application is being withdrawn.

I hereby withdraw application # _____

Signature _____

Date _____

Withdrawal of Application:

Withdrawals of any application may be accommodated within the Planning & Development Department if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following the written request and publication the Planning Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Planning Commission. Further, the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal. Please note that no refund of application fees may be made unless directed by the Board of Commissioners.

PROPERTY OWNER AUTHORIZATION

I/we Tri Mark 400, LLC hereby swear that I / we own the property located at (fill in address and / or tax map & parcel #):

107-319 and 107-319.001

as shown in the tax maps and / or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the variance requested on this property. I understand that any variance granted, and / or conditions placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action by the Board of Commissioners.

Printed name of applicant or agent: Richmond Honan Development & Acquisition, LLC

Signature of applicant or agent: [Signature] Date: 12.8.2017

Printed Name of Owner(s): Tri Mark 400, LLC

Signature of Owner(s): [Signature] Date 12-4-2017

Sworn and subscribed before me this 4 day of December, 2017.

[Signature]
Notary Public

My Commission Expires: 03.30.2020

(Seal)



(The complete names of all owners must be listed, if the owner is a partnership, the names of all partners must be listed, if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

ZA _____

TMP#: _____

List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and mailing address of anyone who has property touching your property or who has property directly across the street from your property.

****Please note this information should be obtained using the Tax Map & Parcel (TMP) listing for any parcel(s) adjoining or adjacent to the parcel where a variance or rezone is being requested.**

Name

Address

- TMP 107 078 002 1. Sewell Holdings Company, LLC 4575 Webb Bridge Rd, #5543, Alpharetta, GA 30023
- TMP 115 004 2. Carisle Patsy, 9101 Greenwood way, Canton, GA 30115-2827
- TMP 115 008 3. Bojarski Janie Marie, 6444 Carisle Rd, Dawsonville, GA 30534
- TMP 115 009 4. Abbasi Rashid Khan & Robina Rashid, 535 Kearny Ct, Alpharetta, GA 30022
- TMP 115 011 5. Highland Pointe Neighborhood Assoc Inc, 1260 Old Alpharetta, GA 30005
- TMP 115 010 6. 105 Post Oak Trail, Athens, GA 30606
Maxine H Burton as Trustee of the 1998 Robert Burton Family Trust,
- TMP 107 319 003 7. 105 Post Oak Trail, Athens, GA 30606
Maxine H Burton as Trustee of the 1998 Robert Burton Family Trust,
- TMP 107 319 006 8. Cotter & Davidson Investments, Inc, 46 Blue Ridge Pkwy, Dawsonville, GA 30534
- TMP 107 319 007 9. Turner Charles M III, 4600 Browns Bridge Rd, Cumming, GA 30041
Whitmire Amy Hardin & Et al c/o Dawson Whitmire, 908 Perimeter Rd,
- TMP 115 003 10. Dawsonville, GA 30534
- TMP _____ 11. _____
- TMP _____ 12. _____
- TMP _____ 13. _____
- TMP _____ 14. _____
- TMP _____ 15. _____

Use additional sheets if necessary.

NOTICE OF RESIDENTIAL EXURBAN/AGRICULTURAL DISTRICT (R-A) ADJACENCY

Agricultural districts include uses of land primarily for active farming activities and result in odors, noise, dust and other effects, which may not be compatible with adjacent development. Future abutting developers in non RA land use districts shall be provided with this "Notice of RA Adjacency" prior to administrative action on either the land use district or the issuance of a building or occupancy permit.

Prior to administrative action the applicant shall be required to sign this waiver which indicates that the applicant understands that a use is ongoing adjacent to his use which will produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent RA use, the applicant agrees by executing this form to waive any objection to those effects and understands that his district change and/or his permits are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the RA district constitute a nuisance) against local governments and adjoining landowners whose property is located in an RA district.

This notice and acknowledgement shall be public record.

Applicant Signature: _____

Applicant Printed Name: _____

Application Number: _____

Date Signed: _____

Sworn and subscribed before me

this 8 day of December, 2017.

Notary Public

My Commission Expires: _____



Owner Information

TRI MARK 400 LLC
131 PROMINENCE CT
STE 230
DAWSONVILLE, GA 30534

Payment Information

Status	Paid
Last Payment Date	11/13/2017
Amount Paid	\$26,168.68

Property Information

Parcel Number	107 319
District	1 DAWSON COUNTY UNINCORPORATED
Acres	30.31
Description	LL 498,499,542,543 LD 13-S
Assessed Value	\$1,094,191
Appraised Value	\$2,735,478

Bill Information

Record Type	Property
Tax Year	2017
Bill Number	13573
Account Number	38297
Due Date	12/01/2017

Taxes

Base Taxes	\$26,168.68
Penalty	\$0.00
Interest	\$0.00
Total Due	\$0.00



October 20, 2017

John Treadway
Pencor Construction
3330 Preston Ridge Road, Ste 380
Alpharetta, GA 30005

Re: Potable Water & Sanitary Sewer Availability
TMP: 107.319
Proposed Medical Campus, Phase I

Dear Mr. Treadway,

Regarding the property referenced above, capacity is available for potable water and sanitary sewer service. Water and sewer capacity must be purchased for the property based on the Authority's standards and formulas for the planned property use at the prevailing rate. The property developer and/or owner must fund all costs associated with extending and/or upgrading the existing infrastructure to service the property and future development. All infrastructure extensions and upgrades must be designed and built in accordance with the Authority's most recent specifications.

Please feel free to contact me at your convenience if any further information is needed.

Sincerely,

A handwritten signature in black ink that reads "John V. Cronan".

John V. Cronan
Systems Coordinator

Trip Generation Memo:

RE: Proposed Development in the NE quadrant of GA 400 and Blueridge Pkwy, Dawson County, GA

Project Description:

A trip generation was performed for a proposed development in Dawson County, GA. The proposed development will be located at the intersection of GA 400 and Blue Ridge Parkway/ Lee Castleberry Road. The development is anticipated to consist of the following land uses:

- Specialty Retail – 31,000 SF
- Medical Office Bldg. – 130,000 SF
- Hotel – 128 rooms
- Assisted Living – 130 rooms/ beds
- Independent Living (Senior Adult Housing-Attached) – 180 units
- Senior Duplexes (Senior Adult Housing-Detached) – 46 units

The proposed site is anticipated to have two right-in right-out (RIRO) accesses off of GA 400 and one full access onto Oakmont Drive. A vicinity map is shown in Figure 1 and an aerial image of the site location in Figure 2. The site plan is attached to this memo.

Figure 1: Vicinity Map

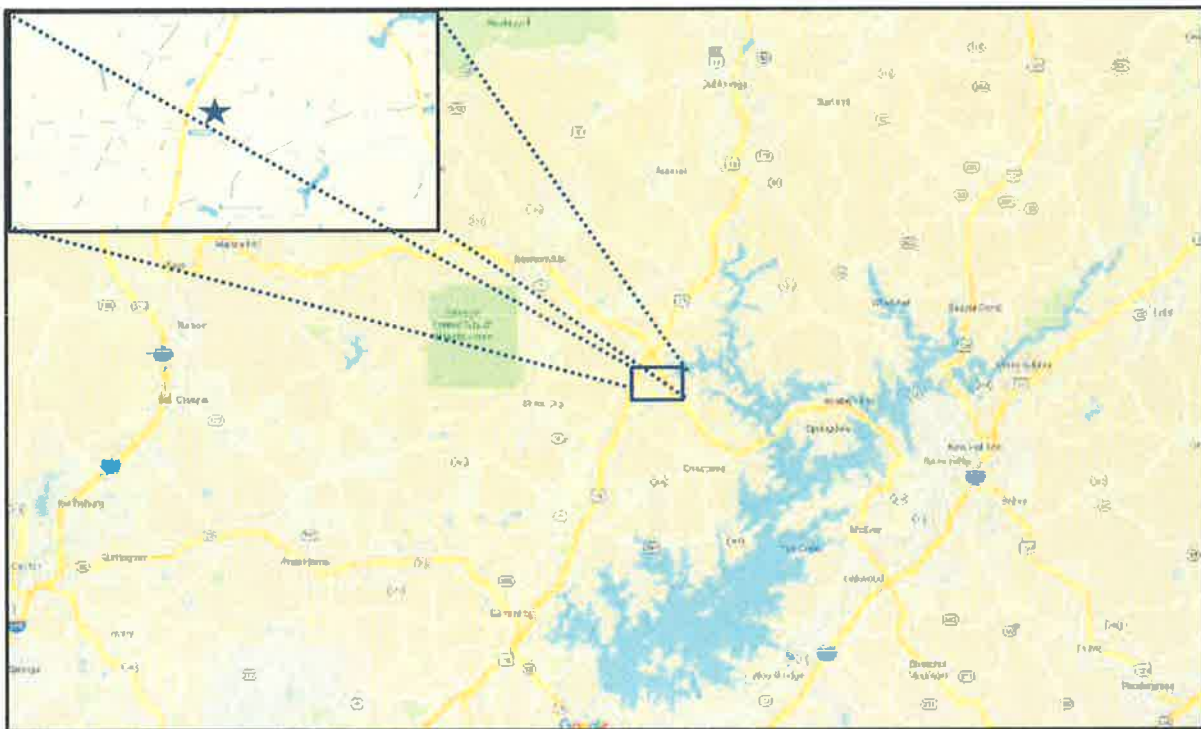


Figure 2: Site Plan



Trip Generation and Distribution:

A trip generation was performed using Institute of Transportation Engineers' (ITE's) Trip Generation Manual, 9th Edition (2012). The tabulated data including equations used are shown in Table 1 below. Trip Distribution will be prepared after all the project related data collection is complete.

Internal Capture:

Mixed-use developments that contain residential and retail land uses will generate some trips that satisfy the total development's trip generation but will not access the site via the external road network. Internal trip capture for morning and afternoon peak hours as well as daily internal trip capture were calculated to account for the portion of trips generated in the site that both begin and end within the development.

Internal capture was calculated following the standard procedure and rates as specified in the Trip Generation Handbook, 2nd Edition, 2004. Daily rates were used for weekday calculations, as well as weekday AM and PM rates for peak hour calculations. The overall internal capture reduction percentages and trip reductions are shown in Table 1.

Data Collection:

A 24-hour tube count was collected on Oakmont Drive on December 19, 2017, to capture the traffic volumes accessing the Highland Pointe subdivision. The data showed a total of 1,353 veh/ day (676 inbound and 677 outbound). The raw counts are attached to this memo.

Table 1: Trip Generation



Trip Generation -

Calculation of Anticipated Project Trips

Based upon methodology from ITE's Trip Generation Manual, 9th Edition (2011)

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Project Land Use	Project Density	Project Trips			ITE Code	Variable	Equation Used ¹	In/Dist Distribution
		Total	Inbound	Outbound				
Medical/Dental Office	1,000 S.F.				730	1,000 S.F.		
	Daily	4,897	2,349	2,348			T = 36.13(X)	50% / 50%
	AM Peak Hour	311	146	65			T = 2.39(X)	79% / 21%
	PM Peak Hour	668	130	334			T = 3.57(X)	28% / 72%
Reductions for Internal Capture								
Daily	7%	75	20	55				
AM Peak Hour	1%	3	0	2				
PM Peak Hour	1%	9	2	3				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		4,822	2,329	2,293				
AM Peak Hour		309	146	63				
PM Peak Hour		459	128	331				
Assisted Living	130 Beds				254	Beds		
	Daily	828	165	164			Ln(T) = 0.56 Ln(X) + 3.07	50% / 50%
	AM Peak Hour	18	12	6			T = 0.14(X)	65% / 35%
	PM Peak Hour	29	13	16			T = 0.27(X)	44% / 56%
Reductions for Internal Capture								
Daily	9%	29	18	11				
AM Peak Hour	0%	0	0	0				
PM Peak Hour	7%	2	1	1				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		900	147	153				
AM Peak Hour		18	12	6				
PM Peak Hour		27	12	15				
Hotel	128 Rooms				330	Rooms		
	Daily	772	306	386			T = 6.95(X) - 373.16	50% / 50%
	AM Peak Hour	68	40	28			T = 0.53(X)	59% / 41%
	PM Peak Hour	77	39	38			T = 0.60(X)	51% / 49%
Reductions for Internal Capture								
Daily	9%	87	42	25				
AM Peak Hour	1%	1	1	0				
PM Peak Hour	6%	5	3	2				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		705	244	261				
AM Peak Hour		87	39	28				
PM Peak Hour		72	36	36				
Senior Adult Housing - Attached	180 DU				220	Dwelling Units		
	Daily	337	278	228			T = 2.98(X) - 21.25	50% / 50%
	AM Peak Hour	36	12	24			T = 0.20(X) - 0.13	34% / 66%
	PM Peak Hour	45	24	21			T = 0.24(X) + 1.64	54% / 46%
Reductions for Internal Capture								
Daily	9%	46	30	18				
AM Peak Hour	0%	0	0	0				
PM Peak Hour	7%	5	2	1				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		509	249	260				
AM Peak Hour		36	12	24				
PM Peak Hour		42	22	20				
Senior Adult Housing - Detached	85 DU				220	Dwelling Units		
	Daily	237	119	118			Ln(T) = 0.89 Ln(X) - 2.06	50% / 50%
	AM Peak Hour	36	13	25			T = 0.17(X) - 19.95	34% / 66%
	PM Peak Hour	25	14	11			Ln(T) = 0.75 Ln(X) + 0.15	54% / 46%
Reductions for Internal Capture								
Daily	9%	21	13	8				
AM Peak Hour	0%	0	0	0				
PM Peak Hour	8%	2	1	1				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		216	106	110				
AM Peak Hour		38	13	25				
PM Peak Hour		25	13	10				
Specialty Retail Center	31,000 S.F.				826	1,000 S.F.		
	Daily	1,964	682	682			T = 42.78(X) + 37.66	50% / 50%
	AM Peak Hour	20	14	6			*T = (Daily In / Out) * Bishel	7% / 93%
	PM Road Peak	86	42	54			T = 2.40(X) + 21.48	44% / 56%
Reductions for Internal Capture								
Daily	13%	189	88	95				
AM Peak Hour	15%	8	2	1				
PM Peak Hour	14%	18	5	8				
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		1,775	594	587				
AM Peak Hour		17	12	5				
PM Peak Hour		88	37	46				
TOTAL GROUP TRIPS								
Daily		7,956	3,980	3,976	720	Medical/Dental Office		
AM Peak Hour		481	337	154	254	Assisted Living		
PM Peak Hour		786	262	474	310	Hotel		
TOTAL INTERNAL CAPTURE TRIPS								
Daily		428	211	212	220	Senior Adult Housing - Attached		
AM Peak Hour		8	3	3	220	Senior Adult Housing - Detached		
PM Peak Hour		30	14	16	826	Specialty Retail Center		
NET NEW EXTERNAL VEHICULAR TRIPS								
Daily		7,528	3,769	3,764				
AM Peak Hour		485	334	151				
PM Peak Hour		706	248	458				

Note: ¹ Where T = Trips, X = Density by variable

Conclusions:

Based on the trip generation analysis, the site is anticipated to generate 7,533 (3,769 inbound and 3,764 outbound) net new trips with 485 (334 inbound and 151 outbound) AM peak hour trips and 706 (248 inbound and 458 outbound) PM peak hour trips. In addition to the anticipated trips on Blue Ridge Parkway, 1,353 veh/ day are expected to use Blue Ridge Parkway to access GA 400 from the Highland Pointe subdivision. Based on the type of retail on site, the pass-by trips and internal capture trip numbers could change.

VOLUME

Blue Ridge Pkwy E/O US 19

Day: Tuesday
Date: 12/19/2017

City: Dawsonville
Project #: GA17_9669_001

DAILY TOTALS						NB	SB	EB	WB	Total	
						0	0	676	677	1,353	
AM Period	NB	SB	EB	WB	TOTAL	PM Period	NB	SB	EB	WB	TOTAL
00:00			3	1	4	12:00			7	6	13
00:15			1	1	2	12:15			17	8	25
00:30			2	1	3	12:30			7	14	21
00:45			0	6	1	12:45			11	42	20
01:00			0	1	1	13:00			19	20	39
01:15			0	0	0	13:15			9	13	22
01:30			1	0	1	13:30			16	10	26
01:45			1	2	0	13:45			7	51	17
02:00			0	0	0	14:00			14	13	27
02:15			2	0	2	14:15			22	11	33
02:30			0	0	0	14:30			12	11	23
02:45			0	2	0	14:45			16	64	13
03:00			1	0	1	15:00			10	16	26
03:15			0	0	0	15:15			11	4	15
03:30			0	0	0	15:30			8	12	20
03:45			0	1	0	15:45			15	44	10
04:00			0	0	0	16:00			14	11	25
04:15			0	0	0	16:15			16	15	31
04:30			0	2	2	16:30			20	17	37
04:45			0	2	2	16:45			18	68	13
05:00			0	0	0	17:00			16	12	28
05:15			1	2	3	17:15			24	18	42
05:30			0	9	9	17:30			23	14	37
05:45			1	2	7	17:45			21	84	14
06:00			0	5	5	18:00			24	13	37
06:15			0	3	3	18:15			17	14	31
06:30			0	7	7	18:30			16	8	24
06:45			1	1	3	18:45			15	72	13
07:00			0	12	12	19:00			18	7	25
07:15			1	13	14	19:15			17	9	26
07:30			1	15	16	19:30			16	15	31
07:45			2	4	9	19:45			11	62	6
08:00			1	12	13	20:00			9	4	13
08:15			2	7	9	20:15			6	4	10
08:30			4	11	15	20:30			10	0	10
08:45			5	12	11	20:45			10	35	5
09:00			2	5	7	21:00			3	4	7
09:15			6	11	17	21:15			8	3	11
09:30			1	12	13	21:30			7	10	17
09:45			11	20	8	21:45			7	25	3
10:00			11	11	22	22:00			5	3	8
10:15			10	13	23	22:15			3	3	6
10:30			4	12	16	22:30			7	1	8
10:45			6	31	7	22:45			0	15	0
11:00			8	13	21	23:00			2	1	3
11:15			3	6	9	23:15			3	0	3
11:30			6	4	10	23:30			2	0	2
11:45			8	25	13	23:45			1	8	0
TOTALS			106	250	356	TOTALS			570	427	997
SPLIT %			29.8%	70.2%	26.3%	SPLIT %			57.2%	42.8%	73.7%

DAILY TOTALS						NB	SB	EB	WB	Total	
						0	0	676	677	1,353	
AM Peak Hour			11:45	07:00	09:45	PM Peak Hour			17:15	13:00	17:15
AM Pk Volume			39	49	80	PM Pk Volume			92	60	151
Pk Hr Factor			0.574	0.817	0.870	Pk Hr Factor			0.958	0.750	0.899
7 - 9 Volume			16	90	106	4 - 6 Volume			152	114	266
7 - 9 Peak Hour			08:00	07:00	07:15	4 - 6 Peak Hour			17:00	16:30	17:00
7 - 9 Pk Volume			12	49	54	4 - 6 Pk Volume			84	60	142
Pk Hr Factor			0.600	0.817	0.844	Pk Hr Factor			0.875	0.833	0.845

Traffic Impact Analysis Memo:

RE: LifeHope Senior Village aka Oakmont – Traffic Impact Analysis – January 18, 2018

Project Description:

A traffic impact analysis was performed for a proposed development in Dawson County, Ga. The proposed development will be located at the intersection of GA 400 and Blue Ridge Parkway/ Lee Castleberry Road. The development is anticipated to consist of the following land uses:

- Medical Office – 130,000 SF (square feet)
- Assisted Living – 130 Beds
- Hotel – 130 Rooms
- Senior Adult Housing – Attached – 240 Units
- Senior Adult Housing – Detached – 60 Units
- Specialty Retail Center – 31,500 SF

Site Access:

The proposed development will access the external roadway network via driveways on Blue Ridge Pkwy and the existing right-in / right-out (RIRO) curb cut access on SR 400. A vicinity map is shown in Figure 1 and an aerial image of the site location in Figure 2. The site plan is attached to this memo.

Figure 1: Vicinity Map

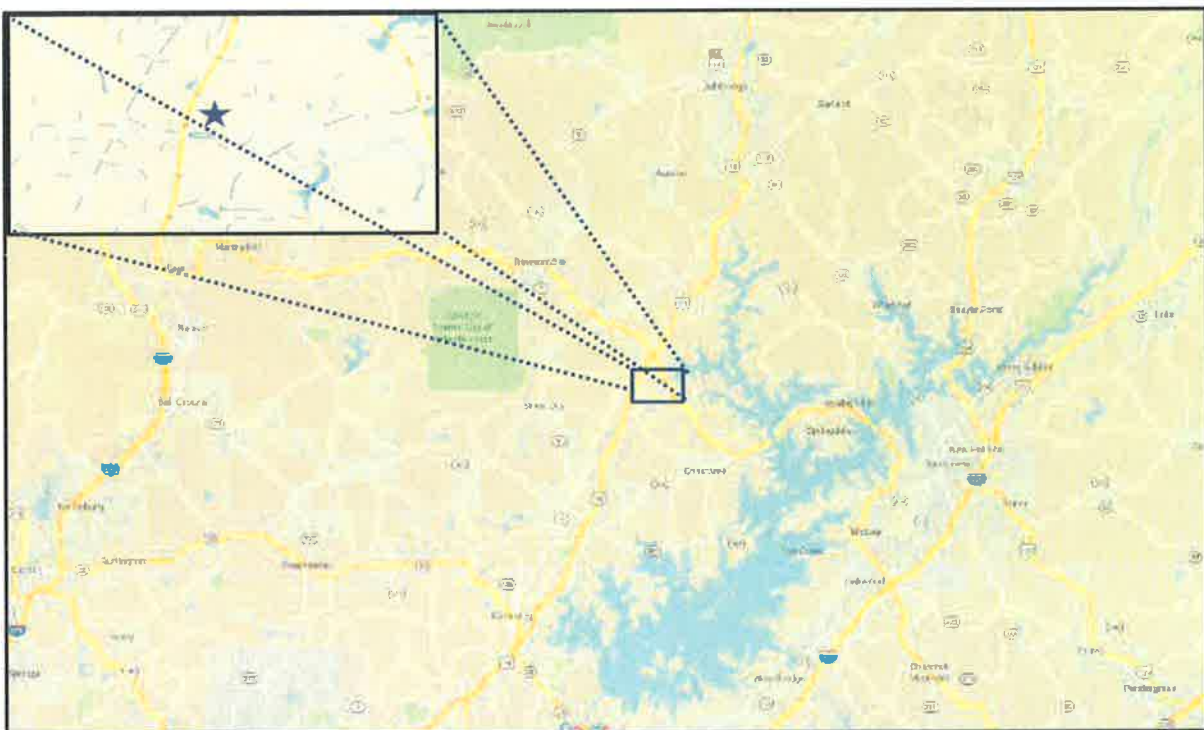


Figure 2: Aerial



Traffic Data Collection:

Existing traffic volume counts were collected on January 11th, 2018 at the following locations:

- Peak Hour Turning Movement Counts
 - SR 400 at Whitmire Rd / Carlisle Rd
 - SR 400 @ Blue Ridge Pkwy / Lee Castleberry Rd
 - SR 400 @ Jot Em Down Rd
 - Oakmont Dr @ Carlisle Rd
- 24-Hour Bi-directional tube count
 - SR 400 north of Blue Ridge Pkwy
 - Oakmont Drive (December 19th, 2017)

Traffic volumes are shown graphically in Figure 3. Existing lane geometry is shown in Figure 4.

Figure 3: Existing Traffic Volumes

##(##) → AM (PM) Peak Hour Traffic Volume

▬▬▬▬▬ Proposed Driveway

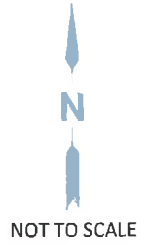
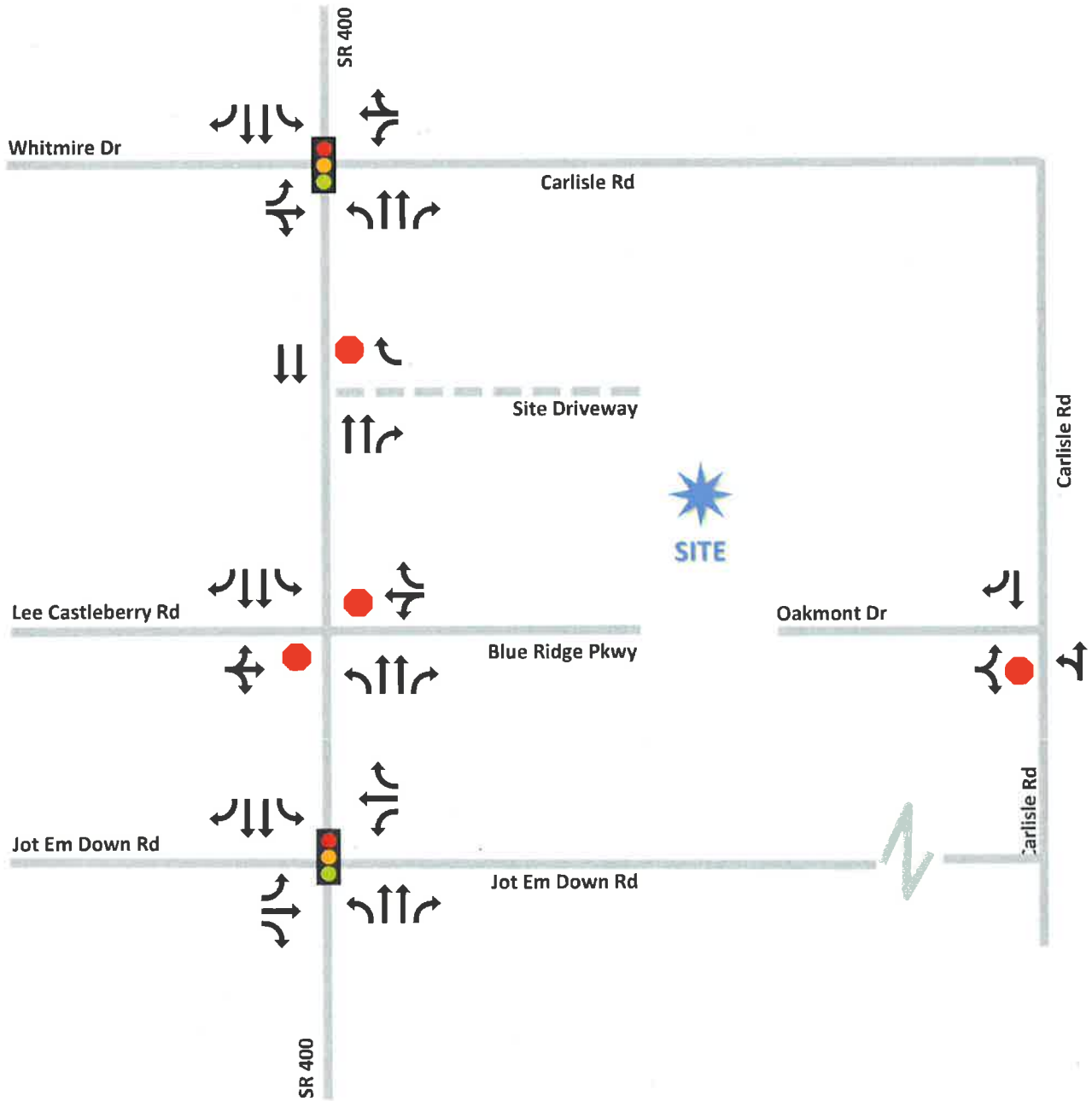


Figure 4: Existing Lane Geometry

	Existing Lane Geometry
	Stop Control
	Yield Control
	Signalized Control


 N
 NOT TO SCALE



Trip Generation:

A trip generation was performed using Institute of Transportation Engineers’ (ITE’s) Trip Generation Manual, 9th Edition (2012). A summary of the proposed sites trip generation is shown in Table 1/

Table 1: Trip Generation

Project Land Use	Density	Daily			AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out	Total	In	Out
Medical/Dental Office	130,000 S.F.	4,697	2,349	2,348	311	246	65	464	130	334
Assisted Living	130 Beds	329	165	164	18	12	6	29	13	16
Hotel	128 Rooms	772	386	386	68	40	28	77	39	38
Senior Adult Housing - Attached	240 DU	736	368	368	48	16	32	59	32	27
Senior Adult Housing - Detached	60 DU	300	150	150	40	14	26	31	19	12
Specialty Retail Center	31,500 S.F.	1,385	693	692	0	14	6	97	43	54
Total Trips		8,219	4,111	4,108	505	342	163	757	276	481
Reductions for Internal Capture		438	219	219	6	3	3	30	14	16
Total Net New Project Trips		7,781	3,892	3,889	499	339	160	727	262	465

Mixed-use developments that contain residential and retail land uses will generate some trips that satisfy the total development’s trip generation but will not access the site via the external road network. Internal trip capture for morning and afternoon peak hours as well as daily internal trip capture were calculated to account for the portion of trips generated in the site that both begin and end within the development.

Internal capture was calculated following the standard procedure and rates as specified in the Trip Generation Handbook, 2nd Edition, 2004. Daily rates were used for weekday calculations, as well as weekday AM and PM rates for peak hour calculations. A full trip generation and internal capture calculation including equations used and assumptions made is provided attached.

Specialty retail (ITE 826) does not have a trip generation rate for the AM peak hour of adjacent roadway facility, to calculate the generated vehicle trips the daily distribution of traffic for Land Use 820- Shopping Center was used to calculate a rate of 2% of the daily inbound traffic and 0.9% of the daily outbound traffic.

The site is anticipated to generate 7,781 net new daily vehicle trips (3,892 inbound and 3,889 outbound) with the peak hour being the PM peak with 727 new vehicle trips (262 inbound and 465 outbound) the AM peak hour will generate 499 new vehicle trips (339 inbound and 160 outbound).

Trip Distribution:

The project trips were distributed to the existing roadway network by examining existing traffic conditions, site access, and destination / origination centers. Due to the unsignalized nature of the intersection of SR 400 at Blue Ridge Pkwy that vehicles will avoid making left-turns at the intersection and will instead utilize the rear access to the development via Oakmont Dr / Carlisle Rd.

Trip distribution is shown graphically in Figure 5. Project trips are shown in Figure 6, and build volumes are shown in Figure 7.

Capacity Analysis:

Existing and Build traffic volumes were entered into a Synchro 10 model to perform capacity analysis of existing conditions for the AM and PM peak periods. The results of the capacity analysis are shown by lane group movement in Table 2 for existing conditions and Table 3 for build conditions. Average vehicular delays and level-of service, as defined by the Highway Capacity Manual (HCM) 6th Edition are presented, and 95th percentile queues from SimTraffic 10 are shown. Full Synchro output reports are included attached to this memo. Signal timings were optimized using a 130 second cycle length and field conditions may vary.

Figure 5: Trip Distribution

- IN (OUT) Daily Traffic Distribution %
- IN (OUT) Traffic Assignment %
- Proposed Driveway

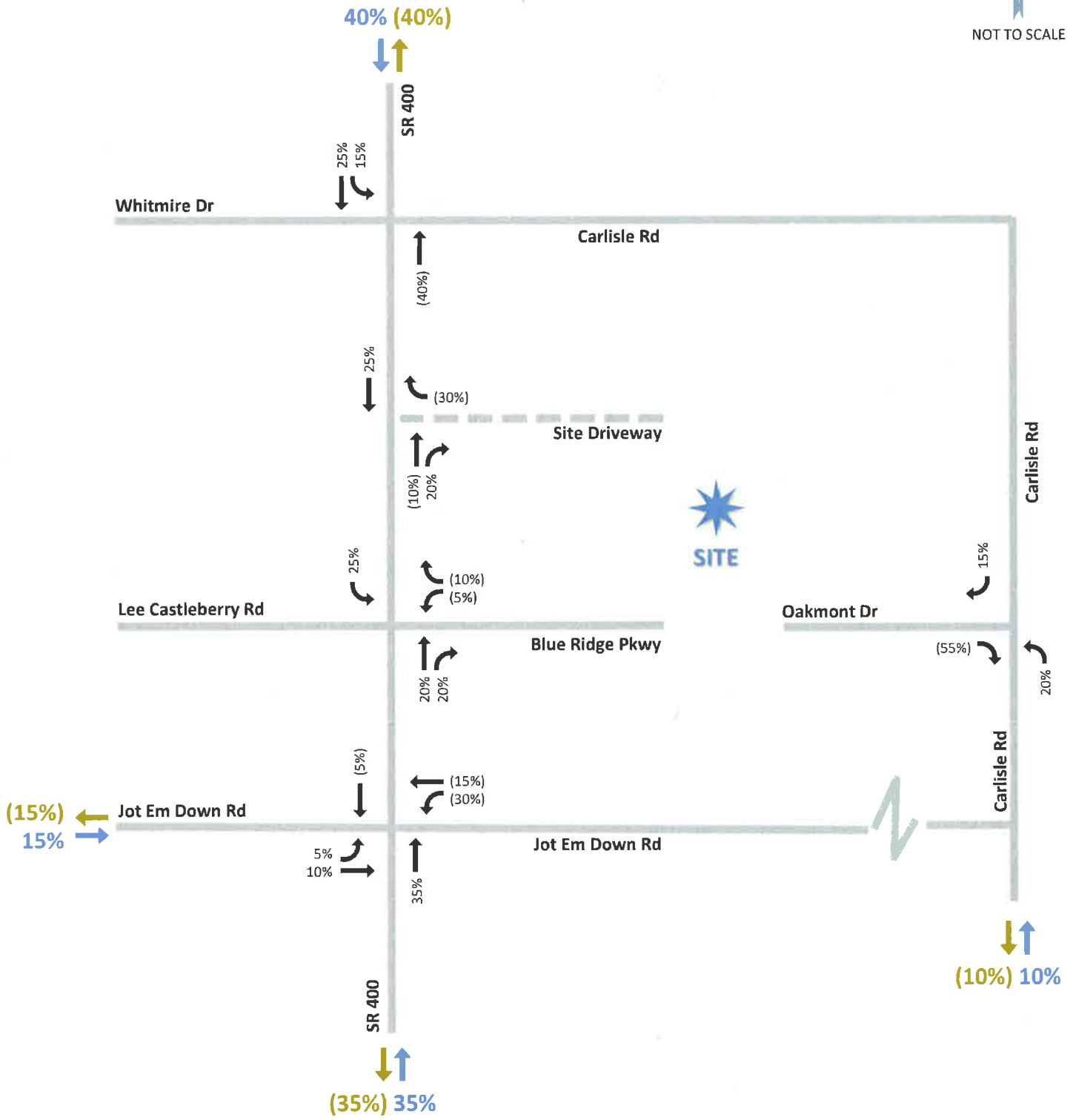
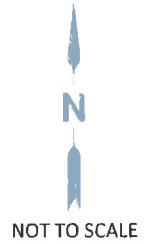


Figure 6: Project Trips

##(##) → AM (PM) Peak Hour Traffic Volume

▬▬▬▬▬▬ Proposed Driveway

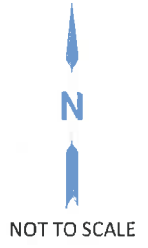


Figure 7: Build Traffic Volumes

##(##) → AM (PM) Peak Hour Traffic Volume

■ ■ ■ ■ ■ Proposed Driveway

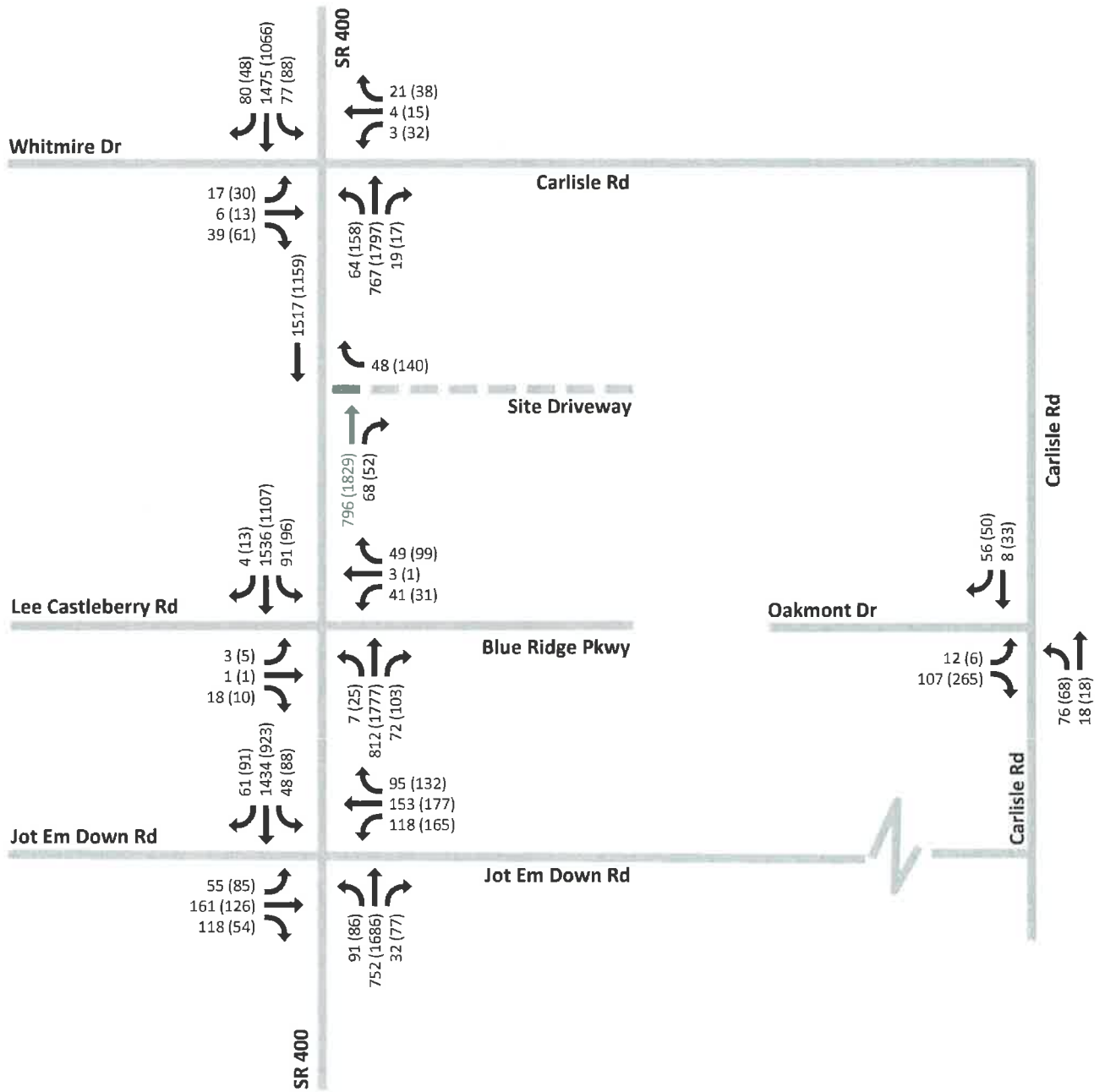


Table 2: Existing Conditions Capacity Analysis

Intersection	Control	Lane Group Movement	AM Peak Hour			PM Peak Hour		
			Delay (s)	LOS	95 th Queue (ft)	Delay (s)	LOS	95 th Queue (ft)
SR 400 @ Whitmire Rd / Carlisle Rd	Signal Control	EBL	61.3	E	64	61.8	E	82
		EBT	60.1	E	32	58.4	E	47
		EBR	0.0	A	-	0.0	A	11
		WBL	60.1	E	16	62.4	E	61
		WBT	59.9	E	32	58.9	E	45
		WBR	0.0	A	-	0.0	A	-
		NBL	5.4	A	77	5.9	A	94
		NBT	0.3	A	103	9.4	A	189
		NBR	3.1	A	-	4.0	A	-
		SBL	3.0	A	22	8.9	A	68
		SBT	6.9	A	180	6.9	A	158
		SBR	3.7	A	9	4.3	A	9
		Intersection	6.6	A	-	10.1	A	-
SR 400 @ Blue Ridge Pkwy / Lee Castleberry Rd	Side-Street Stop Control	NBL	14.2	B	13	11.9	B	35
		NBT	0.0	A	-	0.0	A	-
		NBR	0.0	A	-	0.0	A	-
		EB	53.7	F	39	316.1	F	43
		WBT/L	246.8	F	56	1164.1	F	33
		WBR	11.8	B	-	24.0	C	-
		SBL	9.7	A	11	19.2	C	56
		SBT	0.0	A	-	0.0	A	-
		SBR	0.0	A	-	0.0	A	-
		Intersection	4.9	-	-	5.7	A	-
SR 400 @ Jot Em Down Rd	Signal Control	EBL	57.8	E	55	60.9	E	113
		EBT	51.7	D	124	51.9	D	110
		EBR	0.0	A	48	0.0	A	-
		WBL	60.7	E	110	55.8	E	66
		WBT	52.1	D	172	52.4	D	133
		WBR	0.0	A	-	0.0	A	87
		NBL	14.0	B	64	7.6	A	49
		NBT	9.4	A	149	16.6	B	440
		NBR	7.5	A	6	7.6	A	126
		SBL	6.8	A	39	19.8	B	122
		SBT	14.8	B	350	10.5	B	259
		SBR	8.0	A	13	7.7	A	6
		Intersection	18.7	B	-	18.0	B	-
Carlisle Rd @ Oakmont Dr	Side-Street Stop Control	NBT/L	7.3	A	-	7.3	A	9
		EB	8.8	A	37	8.8	A	30
		SBT	0.0	A	-	0.0	A	-
		SBR	0.0	A	-	0.0	A	-
		Intersection	5.2	-	-	2.9	-	-

Table 3: Build Conditions Capacity Analysis

Intersection	Control	Lane Group Movement	AM Peak Hour			PM Peak Hour		
			Delay (s)	LOS	95 th Queue (ft)	Delay (s)	LOS	95 th Queue (ft)
SR 400 @ Whitmire Rd / Carlisle Rd	Signal Control	EBL	61.3	E	52	61.8	E	48
		EBT	60.1	E	33	58.4	E	31
		EBR	0.0	A	37	0.0	A	-
		WBL	60.1	E	13	62.4	E	66
		WBT	59.9	E	16	58.9	E	60
		WBR	0.0	A	-	0.0	A	25
		NBL	6.1	A	58	6.5	A	84
		NBT	5.0	A	167	11.5	B	251
		NBR	3.5	A	-	4.1	A	3
		SBL	3.2	A	41	18.8	B	131
		SBT	7.3	A	162	7.2	A	149
SBR	3.7	A	1	4.3	A	13		
Intersection		6.9	A	-	11.5	B	-	
SR 400 @ Blue Ridge Pkwy / Lee Castleberry Rd	Side-Street Stop Control	NBL	14.2	B	15	11.9	B	32
		NBT	0.0	A	-	0.0	A	-
		NBR	0.0	A	-	0.0	A	-
		EB	942.1	F	45	***	***	121
		WBT/L	771.1	F	81	***	***	281
		WBR	12.6	B	-	32.4	D	119
		SBL	10.8	B	61	26.8	D	109
		SBT	0.0	A	-	0.0	A	-
SBR	0.0	A	-	0.0	A	-		
Intersection		15.8	-	-	0.9	-	-	
SR 400 @ Jot Em Down Rd	Signal Control	EBL	52.2	D	76	53.0	D	105
		EBT	45.1	D	211	42.4	D	155
		EBR	0.0	A	-	0.0	A	-
		WBL	58.5	E	167	58.9	E	223
		WBT	45.0	D	201	43.9	D	190
		WBR	0.0	A	-	0.0	A	81
		NBL	22.7	C	73	12.5	B	51
		NBT	14.1	B	125	31.1	C	502
		NBR	14.1	B	-	11.8	B	222
		SBL	10.6	B	33	35.1	C	134
		SBT	22.6	C	416	16.5	B	297
SBR	11.1	B	16	12.0	B	42		
Intersection		24.5	C	-	28.8	C	-	
Carlisle Rd @ Oakmont Dr	Side-Street Stop Control	NBT/L	7.5	A	21	7.5	A	35
		EB	9.0	A	50	9.7	A	63
		SBT	0.0	A	-	0.0	A	-
		SBR	0.0	A	-	0.0	A	-
		Intersection		5.9	-	-	7.0	-
SR 400 @ Site Driveway	Side-Street Stop Control	NBT	0.0	A	-	0.0	A	-
		NBR	0.0	A	-	0.0	A	-
		WBR	12.2	B	-	44.3	E	-
		SBT	0.0	A	-	0.0	A	-
		Intersection		0.2	-	-	1.9	-

*** delay maxes out and returns 0 in error

SR 400 at Whitmire / Carlisle Rd

- Existing Conditions
 - Side-street movements operate with some delay due to the 130 second cycle length, however they experience minimal queueing
 - Intersection operates at LOS A for both peak hours
- Build Conditions
 - Additional project volume increases delay slightly in the PM peak hour and the intersection drops from LOS A to LOS B, queueing remains minimal

SR 400 at Blue Ridge Pkwy / Lee Castleberry Rd

- Existing Conditions
 - Synchro modeling has trouble with side-street stop controlled intersection on major roads which have a median opening. Synchro will not model vehicle entering the median to stage their movements and thus returns a LOS which may be worse than existing conditions
 - Side-street movements wishing to turn left or travel straight through the intersection operate at LOS F due to lack of available gaps
- Build Conditions
 - Due to Synchro's difficulty modeling side-street stop controlled intersections, the side-street movements, which fail in existing conditions, continue to fail in build conditions and will have exponential issues in synchro causing an error in calculating delay.
 - As drivers learn the area they will likely change routes to avoid the trouble movements

SR 400 at Jot Em Down Rd

- Existing Conditions
 - Under existing conditions, the side-street movements operate with some delay due to the 130 second cycle length used in analysis
 - The intersection operates at an LOS of B during both peak hours
- Build Conditions
 - The intersection sees an increase in delay during both peak hours due to the increase in volume due to the proposed development. The intersection drops from LOS B to LOS C during both peak hours.

Carlisle Rd at Oakmont Dr

- Existing Conditions
 - The intersection operates at LOS A for all movements and minimal queueing during both peak hours
- Build Conditions
 - The intersection continues to operate at a LOS of A for both peak periods with minimal queueing.

SR 400 at Site Driveway

- **Build Conditions**
 - The intersection operates with minimal queueing and delay during the AM peak hour
 - During the PM peak hour, the WBR movements operates at an LOS of E with minimal queueing

Conclusions:

The proposed mixed-use development will be located at the intersection of GA 400 and Blue Ridge Parkway/ Lee Castleberry Road, and access the external roadway network via driveways on Blue Ridge Pkwy and the existing right-in / right-out (RIRO) curb cut access on SR 400.

The existing roadway network and geometry will sufficiently accommodate the proposed development, and no improvements to the roadway network are anticipated.



1200 Peachtree Street, NE, Suite 300
 Atlanta, GA 30305



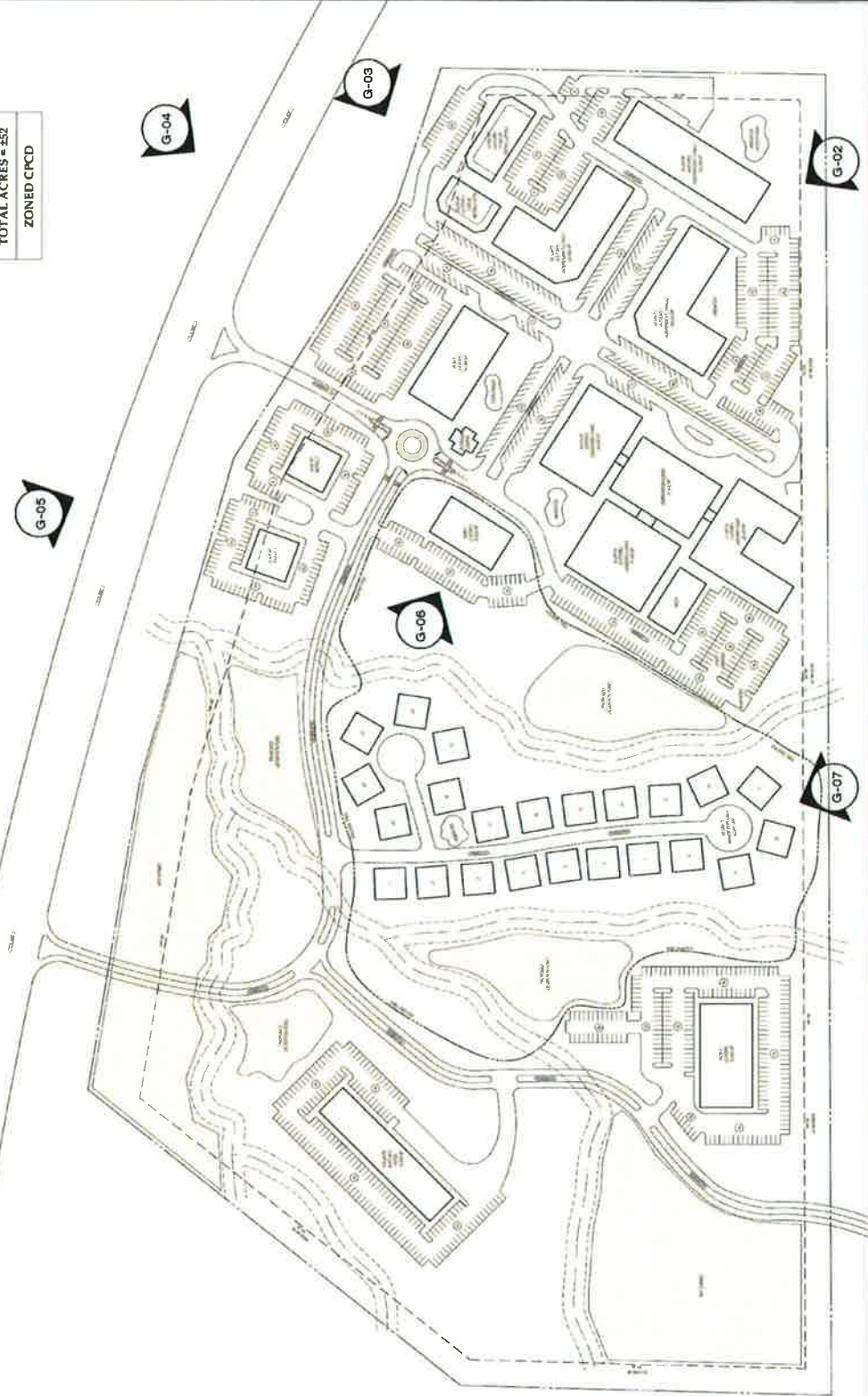
Richmond Homan

LIFEHOPE SENIOR CAMPUS

Drawn By	Checked By
Date	Job No.
Sheet Title	SITE PLAN
Sheet No.	G-01

NOT RELEASED FOR CONSTRUCTION

TOTAL ACRES = 452
 ZONED CPZCD



NET PLAN AREA	
Site Area	1,100,000 sq. ft.
Building Area	1,100,000 sq. ft.
Site Area	1,100,000 sq. ft.
Building Area	1,100,000 sq. ft.

COMMERCIAL CONSTRUCTION PERMITS	
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000

COMMERCIAL SERVICES	
Service	12-000000000000000000
Service	12-000000000000000000
Service	12-000000000000000000

SHEET PERMITS	
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000

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SHEET PERMITS	
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000
Permit No.	12-000000000000000000

Trip Generation - Life Hope Senior Village

Calculation of Anticipated Project Trips

Based upon methodology from ITE's Trip Generation Manual, 9th Edition (2012)



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Project Land Use	Project Density	Project Trips			ITE Code	Variable	Equation Used ¹	In/Out Distribution
		Total	Inbound	Outbound				
Medical/Dental Office	130,000 S.F.	4,697	2,349	2,348	720	1,000 S.F.	T = 36.13(X) T = 2.39(X) T = 3.57(X)	50% / 50% 79% / 21% 28% / 72%
	Daily	311	246	65				
	AM Peak Hour	464	130	334				
Reductions for Internal Capture								
	Daily	81	21	60				
	AM Peak Hour	2	0	2				
	PM Peak Hour	5	2	3				
NET NEW EXTERNAL VEHICULAR TRIPS								
	Daily	4,616	2,328	2,288				
	AM Peak Hour	309	246	63				
	PM Peak Hour	459	128	331				
Assisted Living	130 Beds	329	165	164	254	Beds	Ln(T) = 0.56 Ln(X) + 3.07 T = 0.14(X) T = 0.22(X)	50% / 50% 65% / 35% 44% / 56%
	Daily	18	12	6				
	AM Peak Hour	29	13	16				
	PM Peak Hour							
Reductions for Internal Capture								
	Daily	27	17	10				
	AM Peak Hour	0	0	0				
	PM Peak Hour	2	1	1				
NET NEW EXTERNAL VEHICULAR TRIPS								
	Daily	302	148	154				
	AM Peak Hour	18	12	6				
	PM Peak Hour	27	12	15				
Hotel	128 Rooms	772	386	386	310	Rooms	T = 8.95(X) - 373.16 T = 0.53(X) T = 0.60(X)	50% / 50% 59% / 41% 51% / 49%
	Daily	68	40	28				
	AM Peak Hour	77	39	38				
	PM Peak Hour							
Reductions for Internal Capture								
	Daily	61	39	22				
	AM Peak Hour	1	1	0				
	PM Peak Hour	5	3	2				
NET NEW EXTERNAL VEHICULAR TRIPS								
	Daily	711	347	364				
	AM Peak Hour	67	39	28				
	PM Peak Hour	72	36	36				
Senior Adult Housing - Attached	240 DU	736	368	368	252	Dwelling Units	T = 2.98(X) + 21.05 T = 0.20(X) - 0.13 T = 0.24(X) + 1.64	50% / 50% 34% / 66% 54% / 46%
	Daily	48	16	32				
	AM Peak Hour	59	32	27				
	PM Peak Hour							
Reductions for Internal Capture								
	Daily	58	37	21				
	AM Peak Hour	0	0	0				
	PM Peak Hour	3	2	1				
NET NEW EXTERNAL VEHICULAR TRIPS								
	Daily	678	331	347				
	AM Peak Hour	48	16	32				
	PM Peak Hour	56	30	26				

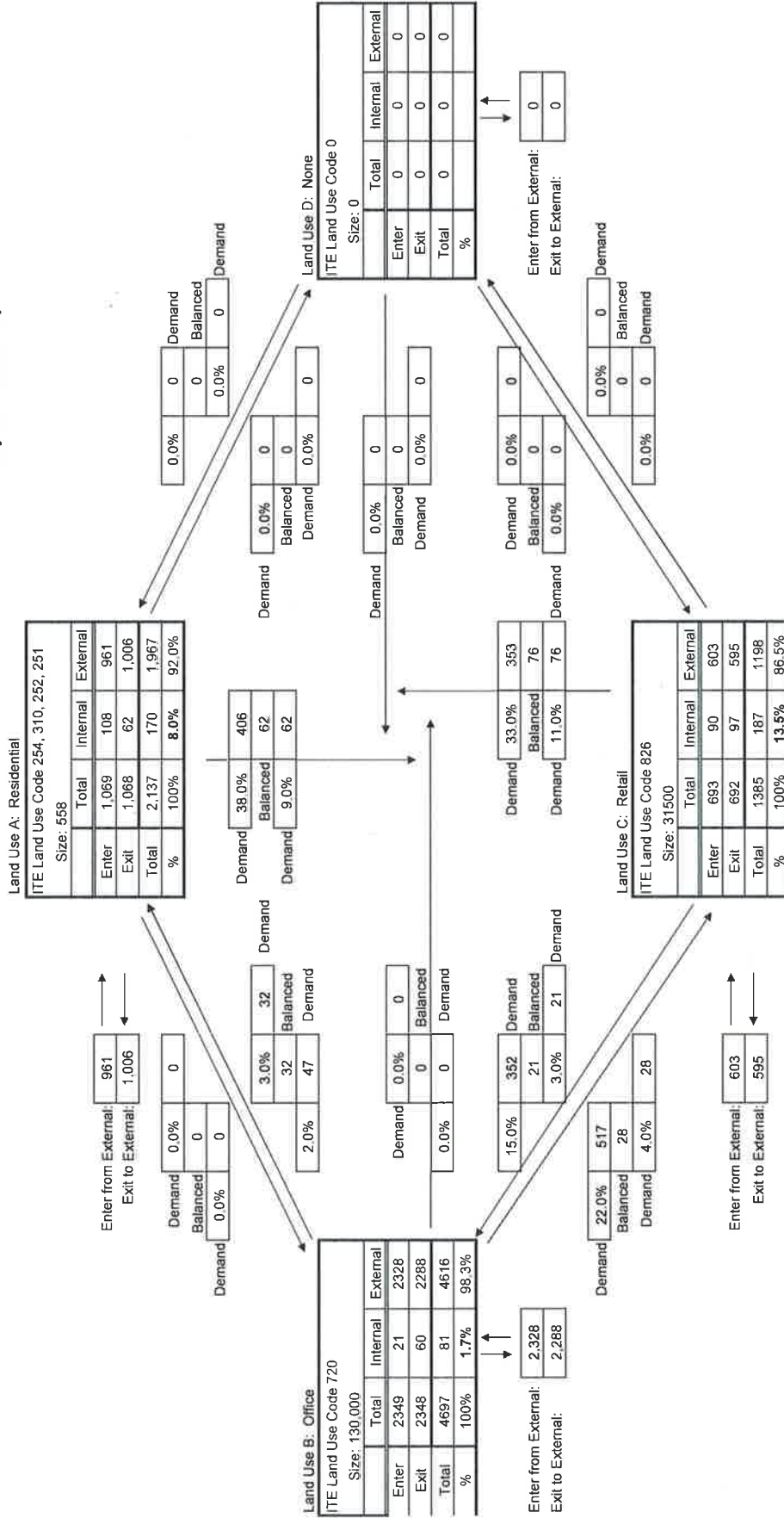
Senior Adult Housing - Detached		60 DU				251	Dwelling Units	$\ln(T)=0.89\ln(X)+2.06$	50% / 50%
	Daily		300	150	150			$T = 0.17(X) + 29.95$	35% / 65%
	AM Peak Hour		40	14	26			$\ln(T)=0.75\ln(X)+0.35$	61% / 39%
	PM Peak Hour		31	19	12				
Reductions for Internal Capture									
	Daily	8%	24	15	9				
	AM Peak Hour	0%	0	0	0				
	PM Peak Hour	6%	2	1	1				
NET NEW EXTERNAL VEHICULAR TRIPS									
	Daily		276	135	141				
	AM Peak Hour		40	14	26				
	PM Peak Hour		29	18	11				
Specialty Retail Center		31,500 S.F.				826	1,000 S.F.	$T = 42.78(X) + 37.66$	50% / 50%
	Daily		1,385	693	692			* $T = (\text{Daily In} / \text{Out}) * \text{Distribu}$	2% / 0.9%
	AM Peak Hour		20	14	6			$T = 2.40(X) + 21.48$	44% / 56%
	PM Road Peak		97	43	54				
Reductions for Internal Capture									
	Daily	14%	187	90	97				
	AM Peak Hour	15%	3	2	1				
	PM Peak Hour	13%	13	5	8				
NET NEW EXTERNAL VEHICULAR TRIPS									
	Daily		1,198	603	595				
	AM Peak Hour		17	12	5				
	PM Peak Hour		84	38	46				
TOTAL GROUP TRIPS						720	Medical/Dental Office		
	Daily		8,219	4,111	4,108	254	Assisted Living		
	AM Peak Hour		505	342	163	310	Hotel		
	PM Peak Hour		757	276	481	252	Senior Adult Housing - Attached		
TOTAL INTERNAL CAPTURE TRIPS						251	Senior Adult Housing - Detached		
	Daily		438	219	219	826	Specialty Retail Center		
	AM Peak Hour		6	3	3				
	PM Peak Hour		30	14	16				
NET NEW EXTERNAL VEHICULAR TRIPS									
	Daily		7,781	3,892	3,889				
	AM Peak Hour		499	339	160				
	PM Peak Hour		727	262	465				

Note: * Where: T = Trips; X = Density by Variable

*Specialty retail (ITE 826) does not have a trip generation rate for the AM peak hour of adjacent roadway facility, to calculate the generated vehicle trips the daily distribution of traffic for Land Use 820-Shopping Center was used to calculate a rate of 2% of the daily inbound traffic and 0.9% of the daily outbound traffic.

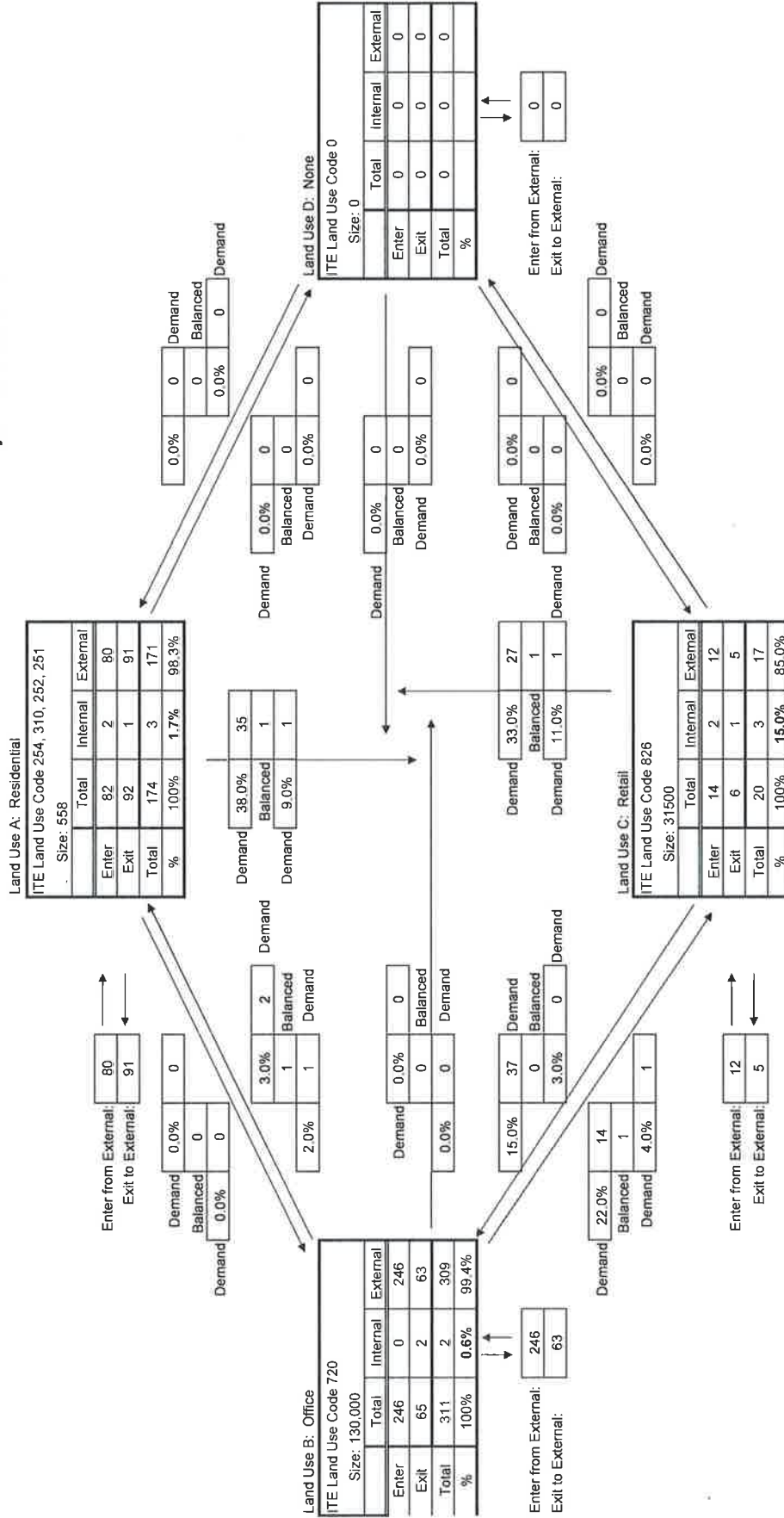
ITE MULTI-USE PROJECT INTERNAL CAPTURE WORKSHEET
(Source: ITE Trip Generation Handbook, Second Edition, June 2004)

Project Number: xxx.xxx
Project Name: LifeHope
Scenario: Build
Analysis Period: Daily



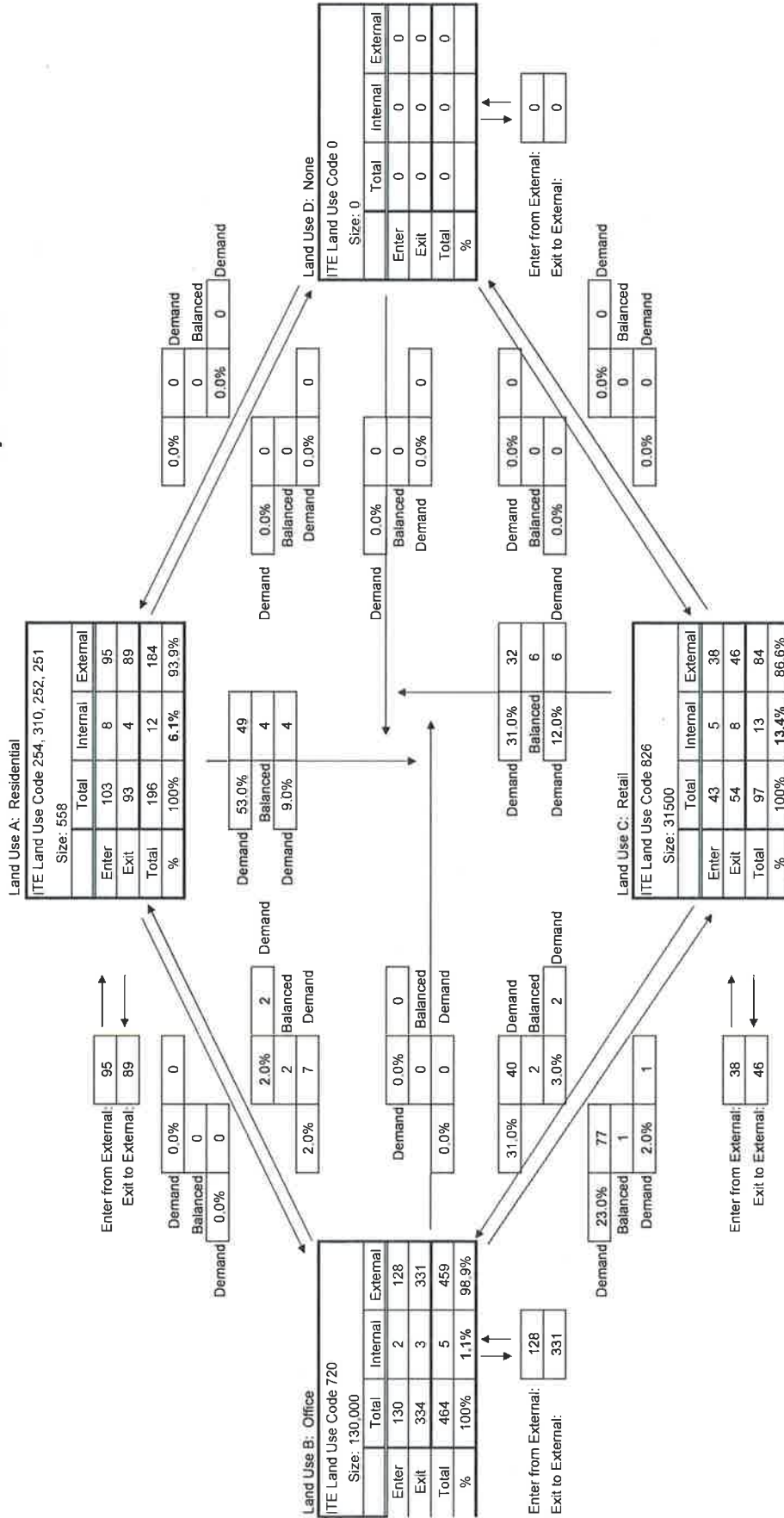
ITE MULTI-USE PROJECT INTERNAL CAPTURE WORKSHEET
(Source: ITE Trip Generation Handbook, Second Edition, June 2004)

Project Number: xxx.xxx
Project Name: LifeHope
Scenario: Build
Analysis Period: AM Peak



ITE MULTI-USE PROJECT INTERNAL CAPTURE WORKSHEET
(Source: ITE Trip Generation Handbook, Second Edition, June 2004)

Project Number: xxx.xxx
Project Name: LifeHope
Scenario: Build
Analysis Period: PM Peak



HCM 6th Signalized Intersection Summary
 1: SR 400 & Whitmire Rd/Carlisle Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗	↘	↖	↗	↘	↖	↗	↘	↖	↗	↘
Traffic Volume (veh/h)	17	6	39	3	4	21	64	703	19	26	1390	80
Future Volume (veh/h)	17	6	39	3	4	21	64	703	19	26	1390	80
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00		1.00	1.00		1.00	1.00		1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1767	1870	1870	1767	1870
Adj Flow Rate, veh/h	19	7	0	3	5	0	73	799	22	27	1448	83
Peak Hour Factor	0.91	0.91	0.91	0.88	0.88	0.88	0.88	0.88	0.88	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	9	2	2	9	2
Cap, veh/h	113	81		112	81		322	2627	1240	574	2587	1222
Arrive On Green	0.04	0.04	0.00	0.04	0.04	0.00	0.04	0.78	0.78	0.02	0.77	0.77
Sat Flow, veh/h	1411	1870	1585	1409	1870	1585	1781	3357	1585	1781	3357	1585
Grp Volume(v), veh/h	19	7	0	3	5	0	73	799	22	27	1448	83
Grp Sat Flow(s),veh/h/ln	1411	1870	1585	1409	1870	1585	1781	1678	1585	1781	1678	1585
Q Serve(g_s), s	1.7	0.5	0.0	0.3	0.3	0.0	1.1	8.8	0.4	0.4	22.6	1.6
Cycle Q Clear(g_c), s	2.0	0.5	0.0	0.7	0.3	0.0	1.1	8.8	0.4	0.4	22.6	1.6
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	113	81		112	81		322	2627	1240	574	2587	1222
V/C Ratio(X)	0.17	0.09		0.03	0.06		0.23	0.30	0.02	0.05	0.56	0.07
Avail Cap(c_a), veh/h	421	489		419	489		409	2627	1240	682	2587	1222
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	60.6	59.7	0.0	60.0	59.6	0.0	5.0	4.0	3.1	3.0	6.0	3.6
Incr Delay (d2), s/veh	0.7	0.4	0.0	0.1	0.3	0.0	0.4	0.3	0.0	0.0	0.9	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.6	0.2	0.0	0.1	0.2	0.0	0.3	2.1	0.1	0.1	5.7	0.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	61.3	60.1	0.0	60.1	59.9	0.0	5.4	4.3	3.1	3.0	6.9	3.7
LnGrp LOS	E	E		E	E		A	A	A	A	A	A
Approach Vol, veh/h		26	A		8	A		894			1558	
Approach Delay, s/veh		61.0			60.0			4.4			6.7	
Approach LOS		E			E			A			A	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	9.1	109.2		11.7	10.6	107.7		11.7				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+11), s	2.4	10.8		4.0	3.1	24.6		2.7				
Green Ext Time (p_c), s	0.0	5.6		0.0	0.1	13.4		0.0				

Intersection Summary

HCM 6th Ctrl Delay	6.6
HCM 6th LOS	A

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

01/18/2018

Intersection												
Int Delay, s/veh	4.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕	↕	↕	↕↕	↕	↕	↕↕	↕
Traffic Vol, veh/h	3	1	18	33	3	33	7	744	4	6	1536	4
Future Vol, veh/h	3	1	18	33	3	33	7	744	4	6	1536	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	Yield	-	-	Yield	-	-	Yield
Storage Length	-	-	-	-	-	225	580	-	355	625	-	225
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	79	79	79	82	82	82	85	85	85	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2	2	9	2	2	9	2
Mvmt Flow	4	1	23	40	4	40	8	875	5	6	1617	4

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	2085	2520	809	1712	2520	438	1617	0	0	875	0	0
Stage 1	1629	1629	-	891	891	-	-	-	-	-	-	-
Stage 2	456	891	-	821	1629	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	4.14	-	-	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.22	-	-	2.22	-	-
Pot Cap-1 Maneuver	30	28	323	58	28	567	399	-	-	767	-	-
Stage 1	106	159	-	304	359	-	-	-	-	-	-	-
Stage 2	554	359	-	335	159	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	24	27	323	51	27	567	399	-	-	767	-	-
Mov Cap-2 Maneuver	24	27	-	51	27	-	-	-	-	-	-	-
Stage 1	104	158	-	298	352	-	-	-	-	-	-	-
Stage 2	499	352	-	306	158	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	53.7	134.4	0.1	0
HCM LOS	F	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	399	-	-	101	47	567	767	-	-
HCM Lane V/C Ratio	0.021	-	-	0.276	0.934	0.071	0.008	-	-
HCM Control Delay (s)	14.2	-	-	53.7	246.8	11.8	9.7	-	-
HCM Lane LOS	B	-	-	F	F	B	A	-	-
HCM 95th %tile Q(veh)	0.1	-	-	1	3.9	0.2	0	-	-

HCM 6th Signalized Intersection Summary

3: SR 400 & Jot Em Down Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	38	127	118	70	129	95	91	633	32	48	1426	61
Future Volume (veh/h)	38	127	118	70	129	95	91	633	32	48	1426	61
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00		1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	42	141	0	80	148	0	99	688	35	52	1550	66
Peak Hour Factor	0.90	0.90	0.90	0.87	0.87	0.87	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	155	286		160	286		246	2361	1053	540	2344	1045
Arrive On Green	0.15	0.15	0.00	0.15	0.15	0.00	0.04	0.66	0.66	0.03	0.66	0.66
Sat Flow, veh/h	1240	1870	1585	1248	1870	1585	1781	3554	1585	1781	3554	1585
Grp Volume(v), veh/h	42	141	0	80	148	0	99	688	35	52	1550	66
Grp Sat Flow(s),veh/h/ln	1240	1870	1585	1248	1870	1585	1781	1777	1585	1781	1777	1585
Q Serve(g_s), s	4.2	9.0	0.0	8.2	9.5	0.0	2.3	10.5	1.0	1.2	34.2	1.9
Cycle Q Clear(g_c), s	13.7	9.0	0.0	17.1	9.5	0.0	2.3	10.5	1.0	1.2	34.2	1.9
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	155	286		160	286		246	2361	1053	540	2344	1045
V/C Ratio(X)	0.27	0.49		0.50	0.52		0.40	0.29	0.03	0.10	0.66	0.06
Avail Cap(c_a), veh/h	289	489		296	489		330	2361	1053	632	2344	1045
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	56.9	50.4	0.0	58.3	50.6	0.0	12.9	9.1	7.5	6.7	13.4	7.9
Incr Delay (d2), s/veh	0.9	1.3	0.0	2.4	1.4	0.0	1.1	0.3	0.1	0.1	1.5	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.3	4.2	0.0	2.6	4.4	0.0	0.9	3.6	0.3	0.4	11.9	0.6
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	57.8	51.7	0.0	60.7	52.1	0.0	14.0	9.4	7.5	6.8	14.8	8.0
LnGrp LOS	E	D		E	D		B	A	A	A	B	A
Approach Vol, veh/h		183	A		228	A		822			1668	
Approach Delay, s/veh		53.1			55.1			9.9			14.3	
Approach LOS		D			E			A			B	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.2	93.9		25.9	10.9	93.2		25.9				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+I1), s	3.2	12.5		15.7	4.3	36.2		19.1				
Green Ext Time (p_c), s	0.0	4.6		0.7	0.1	13.0		0.8				

Intersection Summary

HCM 6th Ctrl Delay	18.7
HCM 6th LOS	B

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
4: Carlisle Rd & Oakmont Dr

01/18/2018

Intersection							
Int Delay, s/veh	5.2						
Movement	EBL	EBR	NBL	NBT	SBT	SBR	
Lane Configurations	W			↑	↑	↑	
Traffic Vol, veh/h	12	19	8	18	8	5	
Future Vol, veh/h	12	19	8	18	8	5	
Conflicting Peds, #/hr	0	0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	-	-	-	-	90	
Veh in Median Storage, #	0	-	-	0	0	-	
Grade, %	0	-	-	0	0	-	
Peak Hour Factor	52	52	72	72	65	65	
Heavy Vehicles, %	2	2	2	2	2	2	
Mvmt Flow	23	37	11	25	12	8	
Major/Minor	Minor2	Major1			Major2		
Conflicting Flow All	59	12	20	0	-	0	
Stage 1	12	-	-	-	-	-	
Stage 2	47	-	-	-	-	-	
Critical Hdwy	6.42	6.22	4.12	-	-	-	
Critical Hdwy Stg 1	5.42	-	-	-	-	-	
Critical Hdwy Stg 2	5.42	-	-	-	-	-	
Follow-up Hdwy	3.518	3.318	2.218	-	-	-	
Pot Cap-1 Maneuver	948	1069	1596	-	-	-	
Stage 1	1011	-	-	-	-	-	
Stage 2	975	-	-	-	-	-	
Platoon blocked, %	-	-	-	-	-	-	
Mov Cap-1 Maneuver	941	1069	1596	-	-	-	
Mov Cap-2 Maneuver	941	-	-	-	-	-	
Stage 1	1004	-	-	-	-	-	
Stage 2	975	-	-	-	-	-	
Approach	EB	NB			SB		
HCM Control Delay, s	8.8	2.2			0		
HCM LOS	A						
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR		
Capacity (veh/h)	1596	-	1016	-	-		
HCM Lane V/C Ratio	0.007	-	0.059	-	-		
HCM Control Delay (s)	7.3	0	8.8	-	-		
HCM Lane LOS	A	A	A	-	-		
HCM 95th %tile Q(veh)	0	-	0.2	-	-		

Queuing and Blocking Report
Existing

01/18/2018

Intersection: 1: SR 400 & Whitmire Rd/Carlisle Rd

Movement	EB	EB	WB	WB	NB	NB	NB	SB	SB	SB	SB
Directions Served	L	T	L	T	L	T	T	L	T	T	R
Maximum Queue (ft)	92	52	26	52	135	154	162	36	203	245	26
Average Queue (ft)	25	8	3	9	31	29	35	7	72	36	1
95th Queue (ft)	64	32	16	32	77	93	103	22	180	128	9
Link Distance (ft)		769		1692		2000	2000		1200	1200	
Upstream Blk Time (%)											
Queuing Penalty (veh)											
Storage Bay Dist (ft)	170		90		585			520			230
Storage Blk Time (%)										0	
Queuing Penalty (veh)										0	

Intersection: 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

Movement	EB	WB	NB	SB
Directions Served	LTR	LT	L	L
Maximum Queue (ft)	52	75	22	23
Average Queue (ft)	13	27	2	2
95th Queue (ft)	39	56	13	11
Link Distance (ft)	1558	1228		
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)			580	625
Storage Blk Time (%)				
Queuing Penalty (veh)				

Queuing and Blocking Report
Existing

01/18/2018

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	EB	EB	EB	WB	WB	NB	NB	NB	NB	SB	SB	SB	
Directions Served	L	T	R	L	T	L	T	T	R	L	T	T	
Maximum Queue (ft)	69	135	140	156	183	82	142	195	17	61	377	374	
Average Queue (ft)	24	81	5	62	97	30	76	45	1	15	190	201	
95th Queue (ft)	55	124	48	110	172	64	149	122	6	39	346	350	
Link Distance (ft)	1900			1273			847		847		3094		3094
Upstream Blk Time (%)													
Queuing Penalty (veh)													
Storage Bay Dist (ft)	285	225		285	650					200	600		
Storage Blk Time (%)									0				
Queuing Penalty (veh)									0				

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	SB
Directions Served	R
Maximum Queue (ft)	31
Average Queue (ft)	3
95th Queue (ft)	13
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	410
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 4: Carlisle Rd & Oakmont Dr

Movement	EB
Directions Served	LR
Maximum Queue (ft)	26
Average Queue (ft)	18
95th Queue (ft)	37
Link Distance (ft)	931
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Zone Summary

Zone wide Queuing Penalty: 0

HCM 6th Signalized Intersection Summary
 1: SR 400 & Whitmire Rd/Carlisle Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	30	13	61	32	15	38	158	1611	17	49	1000	48
Future Volume (veh/h)	30	13	61	32	15	38	158	1611	17	49	1000	48
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1841	1870	1870	1811	1870
Adj Flow Rate, veh/h	38	16	0	50	23	0	176	1790	19	58	1190	57
Peak Hour Factor	0.79	0.79	0.79	0.64	0.64	0.64	0.90	0.90	0.90	0.84	0.84	0.84
Percent Heavy Veh, %	2	2	2	2	2	2	2	4	2	2	6	2
Cap, veh/h	124	114		129	114		401	2642	1197	245	2578	1187
Arrive On Green	0.06	0.06	0.00	0.06	0.06	0.00	0.04	0.76	0.76	0.03	0.75	0.75
Sat Flow, veh/h	1388	1870	1585	1397	1870	1585	1781	3497	1585	1781	3441	1585
Grp Volume(v), veh/h	38	16	0	50	23	0	176	1790	19	58	1190	57
Grp Sat Flow(s),veh/h/ln	1388	1870	1585	1397	1870	1585	1781	1749	1585	1781	1721	1585
Q Serve(g_s), s	3.5	1.1	0.0	4.6	1.5	0.0	3.0	33.3	0.4	1.0	17.2	1.2
Cycle Q Clear(g_c), s	5.0	1.1	0.0	5.6	1.5	0.0	3.0	33.3	0.4	1.0	17.2	1.2
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	124	114		129	114		401	2642	1197	245	2578	1187
V/C Ratio(X)	0.31	0.14		0.39	0.20		0.44	0.68	0.02	0.24	0.46	0.05
Avail Cap(c_a), veh/h	402	489		409	489		481	2642	1197	336	2578	1187
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	60.4	57.8	0.0	60.5	58.0	0.0	5.1	8.0	3.9	8.4	6.3	4.2
Incr Delay (d2), s/veh	1.4	0.6	0.0	1.9	0.9	0.0	0.8	1.4	0.0	0.5	0.6	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.3	0.5	0.0	1.7	0.7	0.0	0.8	9.4	0.1	0.4	4.8	0.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	61.8	58.4	0.0	62.4	58.9	0.0	5.9	9.4	4.0	8.9	6.9	4.3
LnGrp LOS	E	E		E	E		A	A	A	A	A	A
Approach Vol, veh/h		54	A		73	A		1985			1305	
Approach Delay, s/veh		60.8			61.3			9.0			6.8	
Approach LOS		E			E			A			A	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.4	105.7		13.9	11.2	104.9		13.9				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+l1), s	3.0	35.3		7.0	5.0	19.2		7.6				
Green Ext Time (p_c), s	0.0	16.0		0.1	0.2	9.9		0.2				

Intersection Summary

HCM 6th Ctrl Delay	10.1
HCM 6th LOS	B

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

01/18/2018

Intersection													
Int Delay, s/veh	5.7												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations		↕			↕	↕	↕	↕↕	↕	↕	↕↕	↕	
Traffic Vol, veh/h	5	1	10	8	1	52	25	1725	51	30	1107	13	
Future Vol, veh/h	5	1	10	8	1	52	25	1725	51	30	1107	13	
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	
RT Channelized	-	-	None	-	-	Yield	-	-	Yield	-	-	Yield	
Storage Length	-	-	-	-	-	225	580	-	355	625	-	225	
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-	
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-	
Peak Hour Factor	80	80	80	95	95	95	87	87	87	88	88	88	
Heavy Vehicles, %	2	2	2	2	2	2	2	4	2	2	6	2	
Mvmt Flow	6	1	13	8	1	55	29	1983	59	34	1258	15	

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	2376	3367	629	2739	3367	992	1258	0	0	1983	0	0
Stage 1	1326	1326	-	2041	2041	-	-	-	-	-	-	-
Stage 2	1050	2041	-	698	1326	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	4.14	-	-	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.22	-	-	2.22	-	-
Pot Cap-1 Maneuver	18	8	425	9	8	244	549	-	-	287	-	-
Stage 1	164	223	-	58	98	-	-	-	-	-	-	-
Stage 2	243	98	-	397	223	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	11	7	425	~ 7	7	244	549	-	-	287	-	-
Mov Cap-2 Maneuver	11	7	-	~ 7	7	-	-	-	-	-	-	-
Stage 1	155	197	-	55	93	-	-	-	-	-	-	-
Stage 2	177	93	-	338	197	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	\$ 316.5	192.2	0.2	0.5
HCM LOS	F	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	549	-	-	26	7	244	287	-	-
HCM Lane V/C Ratio	0.052	-	-	0.769	1.353	0.224	0.119	-	-
HCM Control Delay (s)	11.9	-	-	\$ 316.5	\$ 1164.1	24	19.2	-	-
HCM Lane LOS	B	-	-	F	F	C	C	-	-
HCM 95th %tile Q(veh)	0.2	-	-	2.4	2	0.8	0.4	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

HCM 6th Signalized Intersection Summary
 3: SR 400 & Jot Em Down Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↑	↘	↔	↑	↘	↔	↑↑	↘	↔	↑↑	↘
Traffic Volume (veh/h)	72	100	54	25	107	132	86	1594	77	88	900	91
Future Volume (veh/h)	72	100	54	25	107	132	86	1594	77	88	900	91
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1841	1870	1870	1811	1870
Adj Flow Rate, veh/h	80	111	0	29	123	0	96	1771	86	97	989	100
Peak Hour Factor	0.90	0.90	0.90	0.87	0.87	0.87	0.90	0.90	0.90	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	4	2	2	6	2
Cap, veh/h	159	266		168	266		400	2345	1063	204	2307	1063
Arrive On Green	0.14	0.14	0.00	0.14	0.14	0.00	0.04	0.67	0.67	0.04	0.67	0.67
Sat Flow, veh/h	1268	1870	1585	1282	1870	1585	1781	3497	1585	1781	3441	1585
Grp Volume(v), veh/h	80	111	0	29	123	0	96	1771	86	97	989	100
Grp Sat Flow(s),veh/h/ln	1268	1870	1585	1282	1870	1585	1781	1749	1585	1781	1721	1585
Q Serve(g_s), s	8.0	7.0	0.0	2.7	7.8	0.0	2.2	44.0	2.5	2.2	17.3	2.9
Cycle Q Clear(g_c), s	15.9	7.0	0.0	9.8	7.8	0.0	2.2	44.0	2.5	2.2	17.3	2.9
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	159	266		168	266		400	2345	1063	204	2307	1063
V/C Ratio(X)	0.50	0.42		0.17	0.46		0.24	0.76	0.08	0.48	0.43	0.09
Avail Cap(c_a), veh/h	310	489		321	489		485	2345	1063	288	2307	1063
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	58.5	50.8	0.0	55.3	51.2	0.0	7.3	14.3	7.5	18.1	9.9	7.5
Incr Delay (d2), s/veh	2.4	1.0	0.0	0.5	1.2	0.0	0.3	2.3	0.1	1.7	0.6	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.6	3.3	0.0	0.9	3.7	0.0	0.7	14.9	0.8	1.4	5.7	0.9
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	60.9	51.9	0.0	55.8	52.4	0.0	7.6	16.6	7.6	19.8	10.5	7.7
LnGrp LOS	E	D		E	D		A	B	A	B	B	A
Approach Vol, veh/h		191	A		152	A		1953			1186	
Approach Delay, s/veh		55.7			53.1			15.8			11.0	
Approach LOS		E			D			B			B	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.8	94.7		24.5	10.8	94.7		24.5				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+I1), s	4.2	46.0		17.9	4.2	19.3		11.8				
Green Ext Time (p_c), s	0.1	12.4		0.6	0.1	7.7		0.6				

Intersection Summary												
HCM 6th Ctrl Delay				18.0								
HCM 6th LOS				B								

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
4: Carlisle Rd & Oakmont Dr

01/18/2018

Intersection							
Int Delay, s/veh	2.9						
Movement	EBL	EBR	NBL	NBT	SBT	SBR	
Lane Configurations	W			↑	↑	↑	
Traffic Vol, veh/h	6	9	16	18	33	11	
Future Vol, veh/h	6	9	16	18	33	11	
Conflicting Peds, #/hr	0	0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	-	-	-	-	90	
Veh in Median Storage, #	0	-	-	0	0	-	
Grade, %	0	-	-	0	0	-	
Peak Hour Factor	75	75	80	80	87	87	
Heavy Vehicles, %	2	2	2	2	2	2	
Mvmt Flow	8	12	20	23	38	13	
Major/Minor	Minor2	Major1		Major2			
Conflicting Flow All	101	38	51	0	-	0	
Stage 1	38	-	-	-	-	-	
Stage 2	63	-	-	-	-	-	
Critical Hdwy	6.42	6.22	4.12	-	-	-	
Critical Hdwy Stg 1	5.42	-	-	-	-	-	
Critical Hdwy Stg 2	5.42	-	-	-	-	-	
Follow-up Hdwy	3.518	3.318	2.218	-	-	-	
Pot Cap-1 Maneuver	898	1034	1555	-	-	-	
Stage 1	984	-	-	-	-	-	
Stage 2	960	-	-	-	-	-	
Platoon blocked, %	-	-	-	-	-	-	
Mov Cap-1 Maneuver	886	1034	1555	-	-	-	
Mov Cap-2 Maneuver	886	-	-	-	-	-	
Stage 1	971	-	-	-	-	-	
Stage 2	960	-	-	-	-	-	
Approach	EB	NB		SB			
HCM Control Delay, s	8.8	3.5		0			
HCM LOS	A						
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR		
Capacity (veh/h)	1555	-	969	-	-		
HCM Lane V/C Ratio	0.013	-	0.021	-	-		
HCM Control Delay (s)	7.3	0	8.8	-	-		
HCM Lane LOS	A	A	A	-	-		
HCM 95th %tile Q(veh)	0	-	0.1	-	-		

Intersection: 1: SR 400 & Whitmire Rd/Carlisle Rd

Movement	EB	EB	EB	WB	WB	NB	NB	NB	SB	SB	SB	SB
Directions Served	L	T	R	L	T	L	T	T	L	T	T	R
Maximum Queue (ft)	92	52	33	68	69	107	256	237	105	160	165	27
Average Queue (ft)	38	15	1	26	16	50	78	87	28	77	46	1
95th Queue (ft)	82	47	11	61	45	94	185	189	68	158	120	9
Link Distance (ft)		769			1692		2000	2000		1200	1200	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	170		80	90		585			520			230
Storage Blk Time (%)					0							
Queuing Penalty (veh)					0							

Intersection: 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

Movement	EB	WB	NB	SB
Directions Served	LTR	LT	L	L
Maximum Queue (ft)	75	52	51	96
Average Queue (ft)	12	9	13	20
95th Queue (ft)	43	33	35	56
Link Distance (ft)	1558	1228		
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)			580	625
Storage Blk Time (%)				
Queuing Penalty (veh)				

Queuing and Blocking Report
Existing

01/18/2018

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	EB	EB	WB	WB	WB	NB	NB	NB	NB	SB	SB	SB
Directions Served	L	T	L	T	R	L	T	T	R	L	T	T
Maximum Queue (ft)	134	129	72	158	212	60	516	482	250	195	294	302
Average Queue (ft)	71	60	30	78	12	21	276	241	21	53	142	156
95th Queue (ft)	113	110	66	133	87	49	440	420	126	122	248	259
Link Distance (ft)	1900		1273			847		847		3094		3094
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	285		285		225		650		200		600	
Storage Blk Time (%)						0		9				
Queuing Penalty (veh)						0		7				

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	SB
Directions Served	R
Maximum Queue (ft)	31
Average Queue (ft)	6
95th Queue (ft)	22
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	410
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 4: Carlisle Rd & Oakmont Dr

Movement	EB	NB
Directions Served	LR	LT
Maximum Queue (ft)	26	28
Average Queue (ft)	10	1
95th Queue (ft)	30	9
Link Distance (ft)	931	568
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 7

HCM 6th Signalized Intersection Summary
 1: SR 400 & Whitmire Rd/Carlisle Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↔	↑	↘	↔	↑	↘	↔	↑↑	↘	↔	↑↑	↘
Traffic Volume (veh/h)	17	6	39	3	4	21	64	767	19	77	1475	80
Future Volume (veh/h)	17	6	39	3	4	21	64	767	19	77	1475	80
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1767	1870	1870	1767	1870
Adj Flow Rate, veh/h	19	7	0	3	5	0	73	872	22	80	1536	83
Peak Hour Factor	0.91	0.91	0.91	0.88	0.88	0.88	0.88	0.88	0.88	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	9	2	2	9	2
Cap, veh/h	113	81		112	81		299	2585	1221	549	2587	1222
Arrive On Green	0.04	0.04	0.00	0.04	0.04	0.00	0.04	0.77	0.77	0.04	0.77	0.77
Sat Flow, veh/h	1411	1870	1585	1409	1870	1585	1781	3357	1585	1781	3357	1585
Grp Volume(v), veh/h	19	7	0	3	5	0	73	872	22	80	1536	83
Grp Sat Flow(s),veh/h/ln	1411	1870	1585	1409	1870	1585	1781	1678	1585	1781	1678	1585
Q Serve(g_s), s	1.7	0.5	0.0	0.3	0.3	0.0	1.1	10.5	0.4	1.2	25.1	1.6
Cycle Q Clear(g_c), s	2.0	0.5	0.0	0.7	0.3	0.0	1.1	10.5	0.4	1.2	25.1	1.6
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	113	81		112	81		299	2585	1221	549	2587	1222
V/C Ratio(X)	0.17	0.09		0.03	0.06		0.24	0.34	0.02	0.15	0.59	0.07
Avail Cap(c_a), veh/h	421	489		419	489		386	2585	1221	635	2587	1222
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	60.6	59.7	0.0	60.0	59.6	0.0	5.7	4.6	3.5	3.0	6.3	3.6
Incr Delay (d2), s/veh	0.7	0.4	0.0	0.1	0.3	0.0	0.4	0.4	0.0	0.1	1.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.6	0.2	0.0	0.1	0.2	0.0	0.3	2.6	0.1	0.3	6.4	0.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	61.3	60.1	0.0	60.1	59.9	0.0	6.1	5.0	3.5	3.2	7.3	3.7
LnGrp LOS	E	E		E	E		A	A	A	A	A	A
Approach Vol, veh/h		26	A		8	A		967			1699	
Approach Delay, s/veh		61.0			60.0			5.0			6.9	
Approach LOS		E			E			A			A	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.7	107.6		11.7	10.6	107.7		11.7				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+I1), s	3.2	12.5		4.0	3.1	27.1		2.7				
Green Ext Time (p_c), s	0.1	6.3		0.0	0.1	14.5		0.0				

Intersection Summary

HCM 6th Ctrl Delay	6.9
HCM 6th LOS	A

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

01/18/2018

Intersection													
Int Delay, s/veh	15.8												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations		↕			↕	↕	↕	↕↕	↕	↕	↕↕	↕	
Traffic Vol, veh/h	3	1	18	41	3	49	7	812	72	91	1536	4	
Future Vol, veh/h	3	1	18	41	3	49	7	812	72	91	1536	4	
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	
RT Channelized	-	-	None	-	-	Yield	-	-	Yield	-	-	Yield	
Storage Length	-	-	-	-	-	225	580	-	355	625	-	225	
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-	
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-	
Peak Hour Factor	79	79	79	82	82	82	85	85	85	95	95	95	
Heavy Vehicles, %	2	2	2	2	2	2	2	9	2	2	9	2	
Mvmt Flow	4	1	23	50	4	60	8	955	85	96	1617	4	

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	2305	2780	809	1972	2780	478	1617	0	0	955	0	0
Stage 1	1809	1809	-	971	971	-	-	-	-	-	-	-
Stage 2	496	971	-	1001	1809	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	4.14	-	-	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.22	-	-	2.22	-	-
Pot Cap-1 Maneuver	21	19	323	~37	19	534	399	-	-	715	-	-
Stage 1	82	129	-	271	329	-	-	-	-	-	-	-
Stage 2	524	329	-	260	129	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	14	16	323	~29	16	534	399	-	-	715	-	-
Mov Cap-2 Maneuver	14	16	-	~29	16	-	-	-	-	-	-	-
Stage 1	80	112	-	266	322	-	-	-	-	-	-	-
Stage 2	451	322	-	207	112	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	94.6	\$ 371.5	0.1	0.6
HCM LOS	F	F		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	399	-	-	66	27	534	715	-	-
HCM Lane V/C Ratio	0.021	-	-	0.422	1.987	0.112	0.134	-	-
HCM Control Delay (s)	14.2	-	-	94.6	\$ 771.1	12.6	10.8	-	-
HCM Lane LOS	B	-	-	F	F	B	B	-	-
HCM 95th %tile Q(veh)	0.1	-	-	1.6	6.5	0.4	0.5	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

HCM 6th Signalized Intersection Summary

3: SR 400 & Jot Em Down Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations													
Traffic Volume (veh/h)	55	161	118	118	153	95	91	752	32	48	1434	61	
Future Volume (veh/h)	55	161	118	118	153	95	91	752	32	48	1434	61	
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0	
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00	
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
Work Zone On Approach		No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1767	1870	1870	1767	1870	
Adj Flow Rate, veh/h	61	179	0	136	176	0	99	817	35	52	1559	66	
Peak Hour Factor	0.90	0.90	0.90	0.87	0.87	0.87	0.92	0.92	0.92	0.92	0.92	0.92	
Percent Heavy Veh, %	2	2	2	2	2	2	2	9	2	2	9	2	
Cap, veh/h	216	401		214	401		199	2024	956	421	2008	948	
Arrive On Green	0.21	0.21	0.00	0.21	0.21	0.00	0.04	0.60	0.60	0.03	0.60	0.60	
Sat Flow, veh/h	1209	1870	1585	1205	1870	1585	1781	3357	1585	1781	3357	1585	
Grp Volume(v), veh/h	61	179	0	136	176	0	99	817	35	52	1559	66	
Grp Sat Flow(s),veh/h/ln	1209	1870	1585	1205	1870	1585	1781	1678	1585	1781	1678	1585	
Q Serve(g_s), s	6.0	10.8	0.0	14.4	10.6	0.0	2.8	16.6	1.2	1.4	45.3	2.3	
Cycle Q Clear(g_c), s	16.6	10.8	0.0	25.2	10.6	0.0	2.8	16.6	1.2	1.4	45.3	2.3	
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00	
Lane Grp Cap(c), veh/h	216	401		214	401		199	2024	956	421	2008	948	
V/C Ratio(X)	0.28	0.45		0.64	0.44		0.50	0.40	0.04	0.12	0.78	0.07	
Avail Cap(c_a), veh/h	273	489		270	489		284	2024	956	514	2008	948	
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	
Uniform Delay (d), s/veh	51.5	44.3	0.0	55.3	44.3	0.0	20.7	13.5	10.5	10.2	19.6	11.0	
Incr Delay (d2), s/veh	0.7	0.8	0.0	3.2	0.8	0.0	1.9	0.6	0.1	0.1	3.0	0.1	
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
%ile BackOfQ(50%),veh/ln	1.8	5.0	0.0	4.4	4.9	0.0	1.4	5.8	0.4	0.5	16.1	0.8	
Unsig. Movement Delay, s/veh													
LnGrp Delay(d),s/veh	52.2	45.1	0.0	58.5	45.0	0.0	22.7	14.1	10.6	10.3	22.6	11.1	
LnGrp LOS	D	D		E	D		C	B	B	B	C	B	
Approach Vol, veh/h		240	A		312	A		951			1677		
Approach Delay, s/veh		46.9			50.9			14.9			21.8		
Approach LOS		D			D			B			C		
Timer - Assigned Phs	1	2		4	5	6		8					
Phs Duration (G+Y+Rc), s	10.2	85.9		33.9	10.9	85.3		33.9					
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0					
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0					
Max Q Clear Time (g_c+l1), s	3.4	18.6		18.6	4.8	47.3		27.2					
Green Ext Time (p_c), s	0.0	5.8		0.9	0.1	10.2		0.7					

Intersection Summary

HCM 6th Ctrl Delay	24.5
HCM 6th LOS	C

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
4: Carlisle Rd & Oakmont Dr

01/18/2018

Intersection							
Int Delay, s/veh	5.9						
Movement	EBL	EBR	NBL	NBT	SBT	SBR	
Lane Configurations	↔			↕	↑	↗	
Traffic Vol, veh/h	12	107	76	18	8	56	
Future Vol, veh/h	12	107	76	18	8	56	
Conflicting Peds, #/hr	0	0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	-	-	-	-	90	
Veh in Median Storage, #	0	-	-	0	0	-	
Grade, %	0	-	-	0	0	-	
Peak Hour Factor	92	92	92	92	92	92	
Heavy Vehicles, %	2	2	2	2	2	2	
Mvmt Flow	13	116	83	20	9	61	
Major/Minor	Minor2	Major1		Major2			
Conflicting Flow All	195	9	70	0	-	0	
Stage 1	9	-	-	-	-	-	
Stage 2	186	-	-	-	-	-	
Critical Hdwy	6.42	6.22	4.12	-	-	-	
Critical Hdwy Stg 1	5.42	-	-	-	-	-	
Critical Hdwy Stg 2	5.42	-	-	-	-	-	
Follow-up Hdwy	3.518	3.318	2.218	-	-	-	
Pot Cap-1 Maneuver	794	1073	1531	-	-	-	
Stage 1	1014	-	-	-	-	-	
Stage 2	846	-	-	-	-	-	
Platoon blocked, %	-	-	-	-	-	-	
Mov Cap-1 Maneuver	750	1073	1531	-	-	-	
Mov Cap-2 Maneuver	750	-	-	-	-	-	
Stage 1	958	-	-	-	-	-	
Stage 2	846	-	-	-	-	-	
Approach	EB	NB		SB			
HCM Control Delay, s	9	6.1		0			
HCM LOS	A						
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR		
Capacity (veh/h)	1531	-	1028	-	-		
HCM Lane V/C Ratio	0.054	-	0.126	-	-		
HCM Control Delay (s)	7.5	0	9	-	-		
HCM Lane LOS	A	A	A	-	-		
HCM 95th %tile Q(veh)	0.2	-	0.4	-	-		

HCM 6th TWSC
5: SR 400 & Site Driveway

01/18/2018

Intersection

Int Delay, s/veh 0.2

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations		↗	↗↗	↗		↗↗
Traffic Vol, veh/h	0	48	796	68	0	1517
Future Vol, veh/h	0	48	796	68	0	1517
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Yield	-	Free	-	None
Storage Length	-	0	-	350	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	88	92	92	95
Heavy Vehicles, %	2	2	9	2	2	9
Mvmt Flow	0	52	905	74	0	1597

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	-	453	0
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	6.94	-
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	3.32	-
Pot Cap-1 Maneuver	0	554	0
Stage 1	0	-	0
Stage 2	0	-	0
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	554	-
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12.2	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 554	-
HCM Lane V/C Ratio	- 0.094	-
HCM Control Delay (s)	- 12.2	-
HCM Lane LOS	- B	-
HCM 95th %tile Q(veh)	- 0.3	-

Intersection: 1: SR 400 & Whitmire Rd/Carlisle Rd

Movement	EB	EB	EB	WB	WB	NB	NB	NB	SB	SB	SB	SB
Directions Served	L	T	R	L	T	L	T	T	L	T	T	R
Maximum Queue (ft)	70	49	99	26	30	62	247	194	62	205	212	2
Average Queue (ft)	19	10	5	2	3	26	41	60	18	70	50	0
95th Queue (ft)	52	33	37	13	16	58	133	167	41	162	149	1
Link Distance (ft)	769				1692		2000		2000		1200	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	170		80		90		585		520		230	
Storage Blk Time (%)			0								0	
Queuing Penalty (veh)			0								0	

Intersection: 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

Movement	EB	WB	NB	SB
Directions Served	LTR	LT	L	L
Maximum Queue (ft)	53	74	23	74
Average Queue (ft)	18	42	3	31
95th Queue (ft)	45	81	15	61
Link Distance (ft)	1558	1228		
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)			580	625
Storage Blk Time (%)				
Queuing Penalty (veh)				

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	EB	EB	WB	WB	NB	NB	NB	SB	SB	SB	SB	
Directions Served	L	T	L	T	L	T	T	L	T	T	R	
Maximum Queue (ft)	89	277	182	228	101	139	126	43	497	461	31	
Average Queue (ft)	42	112	96	119	34	69	47	12	270	269	4	
95th Queue (ft)	76	211	167	201	73	125	119	33	416	413	16	
Link Distance (ft)	1900		1273		847		847		3094		3094	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	285		285		650		600				410	
Storage Blk Time (%)			2		1						1	
Queuing Penalty (veh)			3		1						1	

Intersection: 4: Carlisle Rd & Oakmont Dr

Movement	EB	NB
Directions Served	LR	LT
Maximum Queue (ft)	70	46
Average Queue (ft)	30	4
95th Queue (ft)	50	21
Link Distance (ft)	931	568
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Intersection: 5: SR 400 & Site Driveway

Movement
Directions Served
Maximum Queue (ft)
Average Queue (ft)
95th Queue (ft)
Link Distance (ft)
Upstream Blk Time (%)
Queuing Penalty (veh)
Storage Bay Dist (ft)
Storage Blk Time (%)
Queuing Penalty (veh)

Network Summary

Network wide Queuing Penalty: 5

HCM 6th Signalized Intersection Summary
 1: SR 400 & Whitmire Rd/Carlisle Rd

01/18/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗	↘	↖	↗	↘	↖	↗	↘	↖	↗	↘
Traffic Volume (veh/h)	30	13	61	32	15	38	158	1797	17	88	1066	48
Future Volume (veh/h)	30	13	61	32	15	38	158	1797	17	88	1066	48
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1841	1870	1870	1811	1870
Adj Flow Rate, veh/h	38	16	0	50	23	0	176	1997	19	105	1269	57
Peak Hour Factor	0.79	0.79	0.79	0.64	0.64	0.64	0.90	0.90	0.90	0.84	0.84	0.84
Percent Heavy Veh, %	2	2	2	2	2	2	2	4	2	2	6	2
Cap, veh/h	124	114		129	114		376	2628	1191	212	2578	1187
Arrive On Green	0.06	0.06	0.00	0.06	0.06	0.00	0.04	0.75	0.75	0.04	0.75	0.75
Sat Flow, veh/h	1388	1870	1585	1397	1870	1585	1781	3497	1585	1781	3441	1585
Grp Volume(v), veh/h	38	16	0	50	23	0	176	1997	19	105	1269	57
Grp Sat Flow(s),veh/h/ln	1388	1870	1585	1397	1870	1585	1781	1749	1585	1781	1721	1585
Q Serve(g_s), s	3.5	1.1	0.0	4.6	1.5	0.0	3.0	43.0	0.4	1.7	19.1	1.2
Cycle Q Clear(g_c), s	5.0	1.1	0.0	5.6	1.5	0.0	3.0	43.0	0.4	1.7	19.1	1.2
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	124	114		129	114		376	2628	1191	212	2578	1187
V/C Ratio(X)	0.31	0.14		0.39	0.20		0.47	0.76	0.02	0.50	0.49	0.05
Avail Cap(c_a), veh/h	402	489		409	489		455	2628	1191	295	2578	1187
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	60.4	57.8	0.0	60.5	58.0	0.0	5.6	9.4	4.1	17.0	6.5	4.2
Incr Delay (d2), s/veh	1.4	0.6	0.0	1.9	0.9	0.0	0.9	2.1	0.0	1.8	0.7	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.3	0.5	0.0	1.7	0.7	0.0	0.8	12.4	0.1	1.7	5.3	0.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	61.8	58.4	0.0	62.4	58.9	0.0	6.5	11.5	4.1	18.8	7.2	4.3
LnGrp LOS	E	E		E	E		A	B	A	B	A	A
Approach Vol, veh/h		54	A		73	A		2192			1431	
Approach Delay, s/veh		60.8			61.3			11.0			7.9	
Approach LOS		E			E			B			A	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.9	105.2		13.9	11.2	104.9		13.9				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+I1), s	3.7	45.0		7.0	5.0	21.1		7.6				
Green Ext Time (p_c), s	0.1	14.3		0.1	0.2	10.9		0.2				

Intersection Summary

HCM 6th Ctrl Delay	11.5
HCM 6th LOS	B

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

01/18/2018

Intersection												
Int Delay, s/veh	0.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕	↕	↕	↕↕	↕	↕	↕↕	↕
Traffic Vol, veh/h	5	14	10	31	24	99	25	1777	103	96	1107	13
Future Vol, veh/h	5	14	10	31	24	99	25	1777	103	96	1107	13
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	Yield	-	-	Yield	-	-	Yield
Storage Length	-	-	-	-	-	225	580	-	355	625	-	225
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	80	80	80	95	95	95	87	87	87	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2	2	4	2	2	6	2
Mvmt Flow	6	18	13	33	25	104	29	2043	118	109	1258	15

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	2568	3577	629	2957	3577	1022	1258	0	0	2043	0	0
Stage 1	1476	1476	-	2101	2101	-	-	-	-	-	-	-
Stage 2	1092	2101	-	856	1476	-	-	-	-	-	-	-
Critical Hdwy	7.54	6.54	6.94	7.54	6.54	6.94	4.14	-	-	4.14	-	-
Critical Hdwy Stg 1	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.54	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.52	4.02	3.32	3.52	4.02	3.32	2.22	-	-	2.22	-	-
Pot Cap-1 Maneuver	13	~ 5	425	~ 6	~ 5	233	549	-	-	272	-	-
Stage 1	132	189	-	53	92	-	-	-	-	-	-	-
Stage 2	229	92	-	319	189	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	~ 3	425	-	~ 3	233	549	-	-	272	-	-
Mov Cap-2 Maneuver	-	~ 3	-	-	~ 3	-	-	-	-	-	-	-
Stage 1	125	113	-	50	87	-	-	-	-	-	-	-
Stage 2	85	87	-	157	113	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s			0.2	2.1
HCM LOS	-	-	-	-

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	549	-	-	-	-	233	272	-	-
HCM Lane V/C Ratio	0.052	-	-	-	-	0.447	0.401	-	-
HCM Control Delay (s)	11.9	-	-	-	-	32.4	26.8	-	-
HCM Lane LOS	B	-	-	-	-	D	D	-	-
HCM 95th %tile Q(veh)	0.2	-	-	-	-	2.1	1.8	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

HCM 6th Signalized Intersection Summary

3: SR 400 & Jot Em Down Rd

01/18/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	85	113	54	165	154	132	86	1686	77	88	923	91
Future Volume (veh/h)	85	113	54	165	154	132	86	1686	77	88	923	91
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1841	1870	1870	1811	1870
Adj Flow Rate, veh/h	94	126	0	190	177	0	96	1873	86	97	1014	100
Peak Hour Factor	0.90	0.90	0.90	0.87	0.87	0.87	0.90	0.90	0.90	0.91	0.91	0.91
Percent Heavy Veh, %	2	2	2	2	2	2	2	4	2	2	6	2
Cap, veh/h	228	419		268	419		333	2059	933	147	2026	933
Arrive On Green	0.22	0.22	0.00	0.22	0.22	0.00	0.04	0.59	0.59	0.04	0.59	0.59
Sat Flow, veh/h	1207	1870	1585	1265	1870	1585	1781	3497	1585	1781	3441	1585
Grp Volume(v), veh/h	94	126	0	190	177	0	96	1873	86	97	1014	100
Grp Sat Flow(s),veh/h/ln	1207	1870	1585	1265	1870	1585	1781	1749	1585	1781	1721	1585
Q Serve(g_s), s	9.4	7.3	0.0	19.1	10.5	0.0	2.8	61.7	3.1	2.8	22.3	3.6
Cycle Q Clear(g_c), s	19.9	7.3	0.0	26.4	10.5	0.0	2.8	61.7	3.1	2.8	22.3	3.6
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	228	419		268	419		333	2059	933	147	2026	933
V/C Ratio(X)	0.41	0.30		0.71	0.42		0.29	0.91	0.09	0.66	0.50	0.11
Avail Cap(c_a), veh/h	273	489		315	489		417	2059	933	232	2026	933
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	51.8	42.0	0.0	52.9	43.2	0.0	12.0	23.7	11.6	30.2	15.6	11.7
Incr Delay (d2), s/veh	1.2	0.4	0.0	5.9	0.7	0.0	0.5	7.5	0.2	4.9	0.9	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.8	3.3	0.0	6.3	4.8	0.0	1.0	24.0	1.0	1.9	8.0	1.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	53.0	42.4	0.0	58.9	43.9	0.0	12.5	31.1	11.8	35.1	16.5	12.0
LnGrp LOS	D	D		E	D		B	C	B	D	B	B
Approach Vol, veh/h		220	A		367	A		2055			1211	
Approach Delay, s/veh		46.9			51.6			29.5			17.6	
Approach LOS		D			D			C			B	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	10.8	84.0		35.1	10.8	84.0		35.1				
Change Period (Y+Rc), s	6.0	7.5		6.0	6.0	7.5		6.0				
Max Green Setting (Gmax), s	11.0	65.5		34.0	11.0	65.5		34.0				
Max Q Clear Time (g_c+11), s	4.8	63.7		21.9	4.8	24.3		28.4				
Green Ext Time (p_c), s	0.1	1.6		0.7	0.1	7.9		0.7				

Intersection Summary

HCM 6th Ctrl Delay	28.8
HCM 6th LOS	C

Notes

Unsignalized Delay for [EBR, WBR] is excluded from calculations of the approach delay and intersection delay.

HCM 6th TWSC
4: Carlisle Rd & Oakmont Dr

01/18/2018

Intersection							
Int Delay, s/veh	7						
Movement	EBL	EBR	NBL	NBT	SBT	SBR	
Lane Configurations	W				↑	↑	
Traffic Vol, veh/h	6	242	55	18	33	50	
Future Vol, veh/h	6	242	55	18	33	50	
Conflicting Peds, #/hr	0	0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	-	-	-	-	90	
Veh in Median Storage, #	0	-	-	0	0	-	
Grade, %	0	-	-	0	0	-	
Peak Hour Factor	92	92	92	92	92	92	
Heavy Vehicles, %	2	2	2	2	2	2	
Mvmt Flow	7	263	60	20	36	54	
Major/Minor	Minor2		Major1		Major2		
Conflicting Flow All	176	36	90	0	-	0	
Stage 1	36	-	-	-	-	-	
Stage 2	140	-	-	-	-	-	
Critical Hdwy	6.42	6.22	4.12	-	-	-	
Critical Hdwy Stg 1	5.42	-	-	-	-	-	
Critical Hdwy Stg 2	5.42	-	-	-	-	-	
Follow-up Hdwy	3.518	3.318	2.218	-	-	-	
Pot Cap-1 Maneuver	814	1037	1505	-	-	-	
Stage 1	986	-	-	-	-	-	
Stage 2	887	-	-	-	-	-	
Platoon blocked, %	-	-	-	-	-	-	
Mov Cap-1 Maneuver	781	1037	1505	-	-	-	
Mov Cap-2 Maneuver	781	-	-	-	-	-	
Stage 1	947	-	-	-	-	-	
Stage 2	887	-	-	-	-	-	
Approach	EB		NB		SB		
HCM Control Delay, s	9.7		5.6		0		
HCM LOS	A						
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR		
Capacity (veh/h)	1505	-	1029	-	-		
HCM Lane V/C Ratio	0.04	-	0.262	-	-		
HCM Control Delay (s)	7.5	0	9.7	-	-		
HCM Lane LOS	A	A	A	-	-		
HCM 95th %tile Q(veh)	0.1	-	1.1	-	-		

HCM 6th TWSC
5: SR 400 & Site Driveway

01/18/2018

Intersection						
Int Delay, s/veh	1.9					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations			↑↑	↑		↑↑
Traffic Vol, veh/h	0	140	1829	52	0	1159
Future Vol, veh/h	0	140	1829	52	0	1159
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Yield	-	Free	-	None
Storage Length	-	0	-	350	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	90	92	92	88
Heavy Vehicles, %	2	2	4	2	2	6
Mvmt Flow	0	152	2032	57	0	1317
Major/Minor	Minor1		Major1		Major2	
Conflicting Flow All	-	1016	0	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	6.94	-	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	3.32	-	-	-	-
Pot Cap-1 Maneuver	0	236	-	0	0	-
Stage 1	0	-	-	0	0	-
Stage 2	0	-	-	0	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	236	-	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Approach	WB		NB		SB	
HCM Control Delay, s	44.3		0		0	
HCM LOS	E					
Minor Lane/Major Mvmt	NBTWBLn1	SBT				
Capacity (veh/h)	- 236	-				
HCM Lane V/C Ratio	- 0.645	-				
HCM Control Delay (s)	- 44.3	-				
HCM Lane LOS	- E	-				
HCM 95th %tile Q(veh)	- 4	-				

Intersection: 1: SR 400 & Whitmire Rd/Carlisle Rd

Movement	EB	EB	WB	WB	WB	NB	NB	NB	NB	SB	SB	SB
Directions Served	L	T	L	T	R	L	T	T	R	L	T	T
Maximum Queue (ft)	52	31	96	128	74	108	260	303	6	170	198	162
Average Queue (ft)	18	10	29	18	3	46	100	112	1	60	66	42
95th Queue (ft)	48	31	66	60	25	84	246	251	3	131	149	123
Link Distance (ft)		769		1692			2000	2000			1200	1200
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	170		90		80	585			320	520		
Storage Blk Time (%)			1		0			0				
Queuing Penalty (veh)			1		0			0				

Intersection: 1: SR 400 & Whitmire Rd/Carlisle Rd

Movement	SB
Directions Served	R
Maximum Queue (ft)	27
Average Queue (ft)	2
95th Queue (ft)	13
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	230
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 2: SR 400 & Lee Castleberry Rd/Blue Ridge Pkwy

Movement	EB	WB	WB	NB	SB
Directions Served	LTR	LT	R	L	L
Maximum Queue (ft)	138	505	270	60	117
Average Queue (ft)	54	151	29	9	60
95th Queue (ft)	121	281	119	32	109
Link Distance (ft)	1558	1228			
Upstream Blk Time (%)					
Queuing Penalty (veh)					
Storage Bay Dist (ft)			225	580	625
Storage Blk Time (%)		14			
Queuing Penalty (veh)		14			

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	EB	EB	WB	WB	WB	NB	NB	NB	NB	SB	SB	SB
Directions Served	L	T	L	T	R	L	T	T	R	L	T	T
Maximum Queue (ft)	112	205	244	202	134	83	488	459	250	175	314	376
Average Queue (ft)	69	80	141	114	14	19	351	316	55	60	163	176
95th Queue (ft)	105	155	223	190	81	51	502	473	222	134	274	297
Link Distance (ft)	1900		1273			847		847		3094		3094
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	285		285		225		650		200		600	
Storage Blk Time (%)									18			
Queuing Penalty (veh)									14			

Intersection: 3: SR 400 & Jot Em Down Rd

Movement	SB
Directions Served	R
Maximum Queue (ft)	84
Average Queue (ft)	13
95th Queue (ft)	42
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	410
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 4: Carlisle Rd & Oakmont Dr

Movement	EB	NB
Directions Served	LR	LT
Maximum Queue (ft)	74	50
Average Queue (ft)	43	9
95th Queue (ft)	63	35
Link Distance (ft)	931	568
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Intersection: 5: SR 400 & Site Driveway

Movement

Directions Served

Maximum Queue (ft)

Average Queue (ft)

95th Queue (ft)

Link Distance (ft)

Upstream Blk Time (%)

Queuing Penalty (veh)

Storage Bay Dist (ft)

Storage Blk Time (%)

Queuing Penalty (veh)

Network Summary

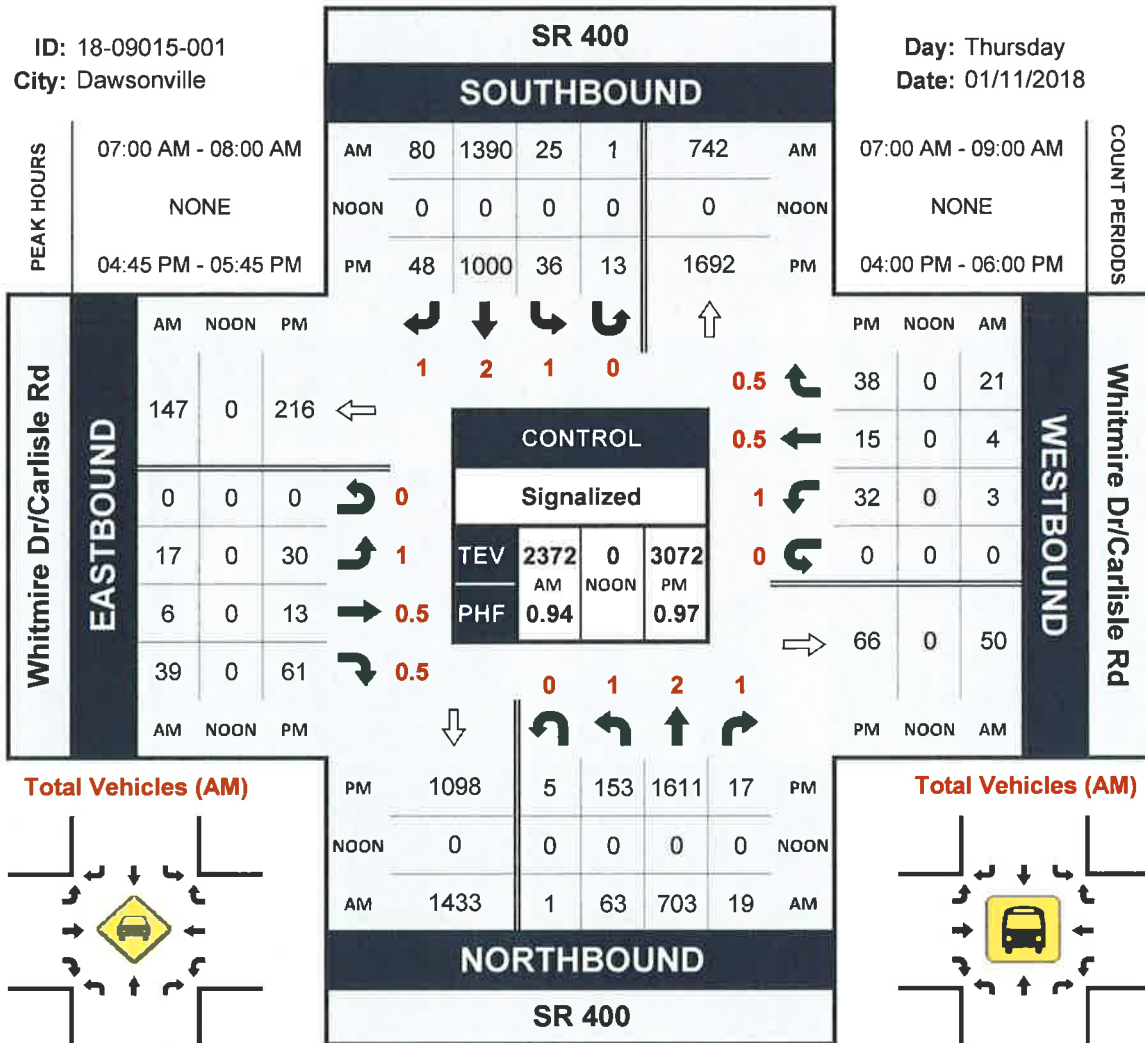
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SR 400 & Whitmire Dr/Carlisle Rd

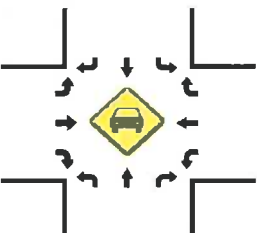
Peak Hour Turning Movement Count

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City: Dawsonville

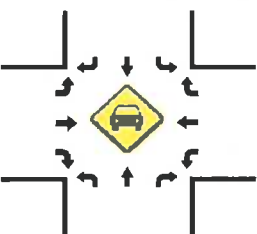
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Date: 01/11/2018



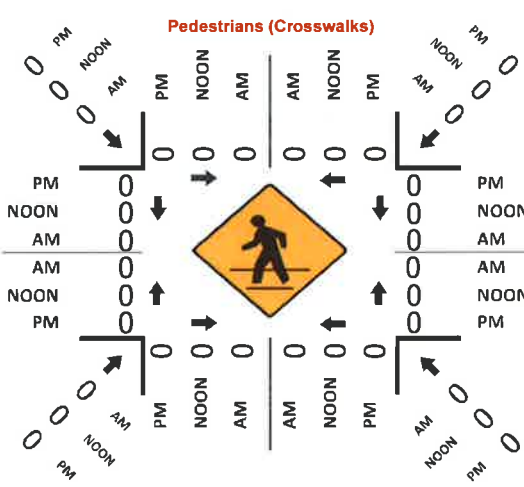
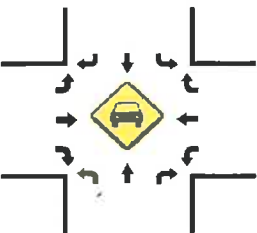
Total Vehicles (AM)



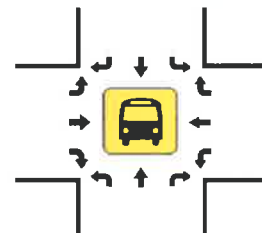
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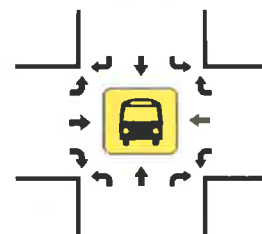
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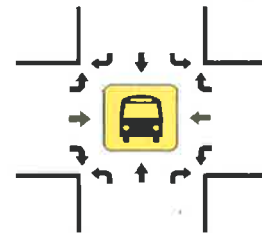
Total Vehicles (AM)



Total Vehicles (NOON)



Total Vehicles (PM)

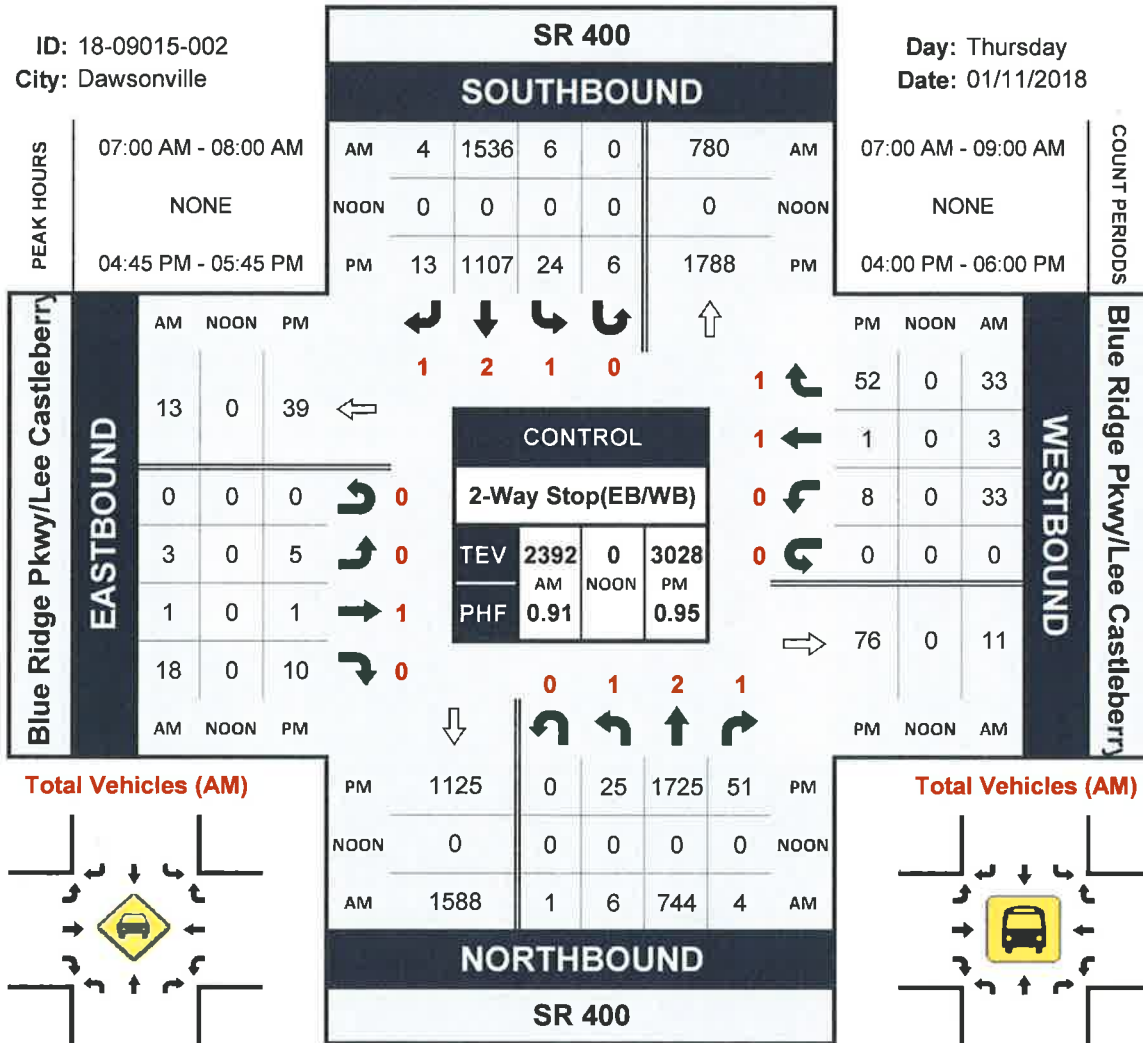


SR 400 & Blue Ridge Pkwy/Lee Castleberry Rd

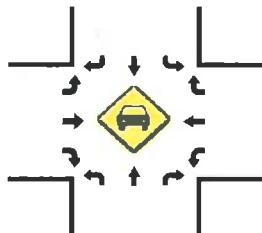
Peak Hour Turning Movement Count

ID: 18-09015-002
City: Dawsonville

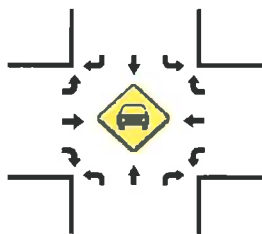
Day: Thursday
Date: 01/11/2018



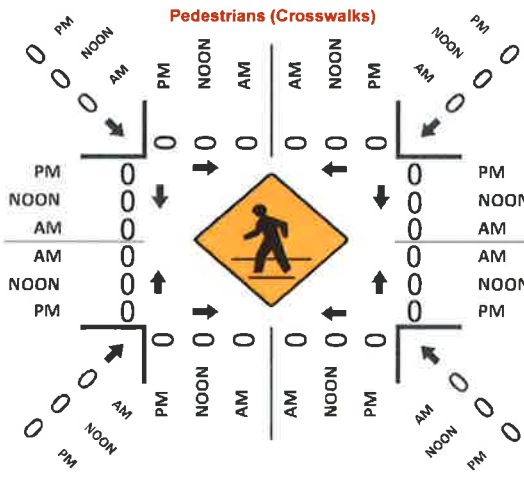
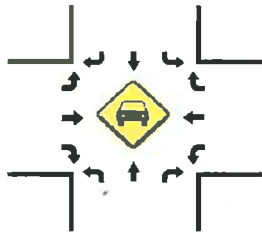
Total Vehicles (AM)



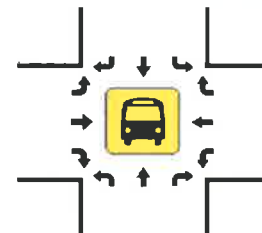
Total Vehicles (NOON)



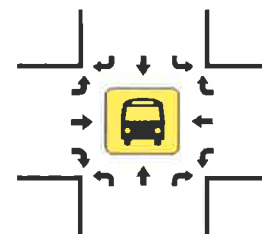
Total Vehicles (PM)



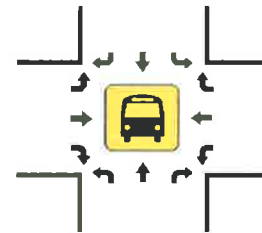
Total Vehicles (AM)



Total Vehicles (NOON)



Total Vehicles (PM)

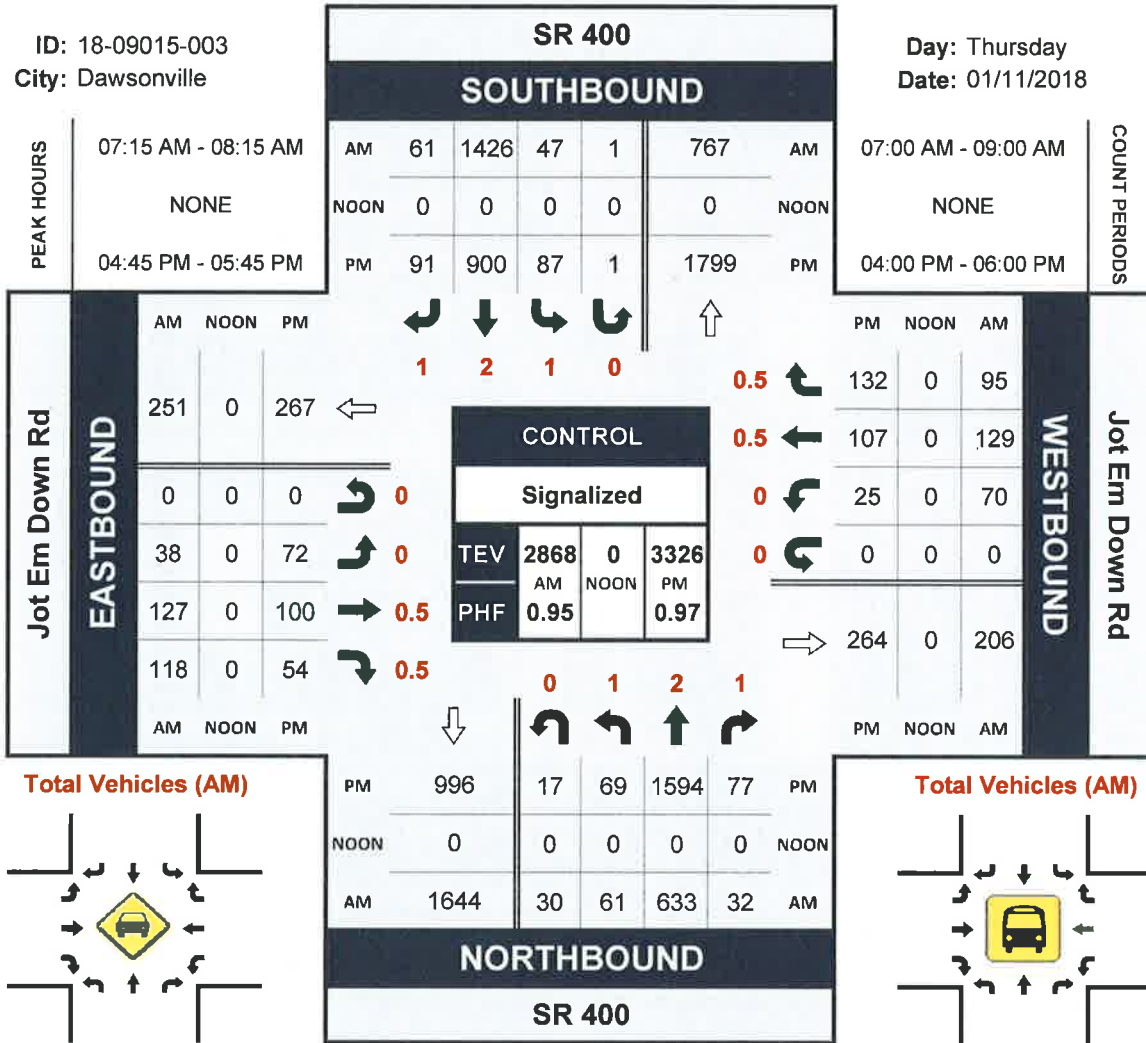


SR 400 & Jot Em Down Rd

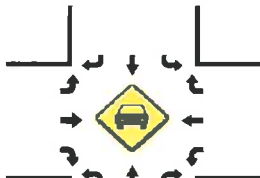
Peak Hour Turning Movement Count

ID: 18-09015-003
City: Dawsonville

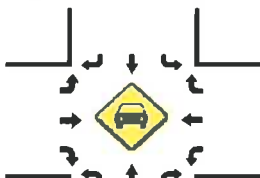
Day: Thursday
Date: 01/11/2018



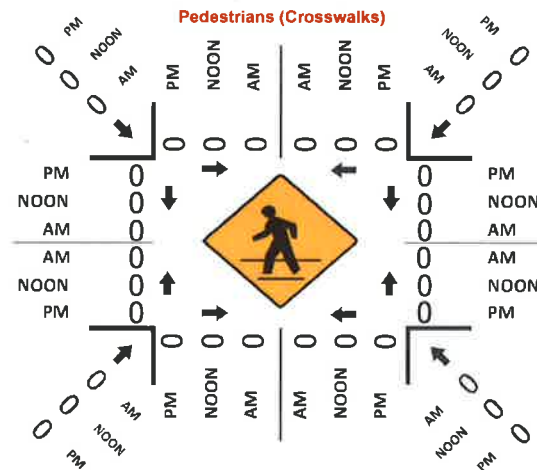
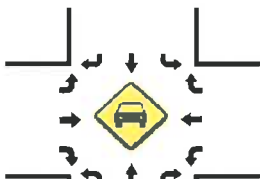
Total Vehicles (AM)



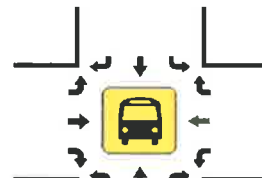
Total Vehicles (NOON)



Total Vehicles (PM)



Total Vehicles (AM)



Total Vehicles (NOON)



Total Vehicles (PM)

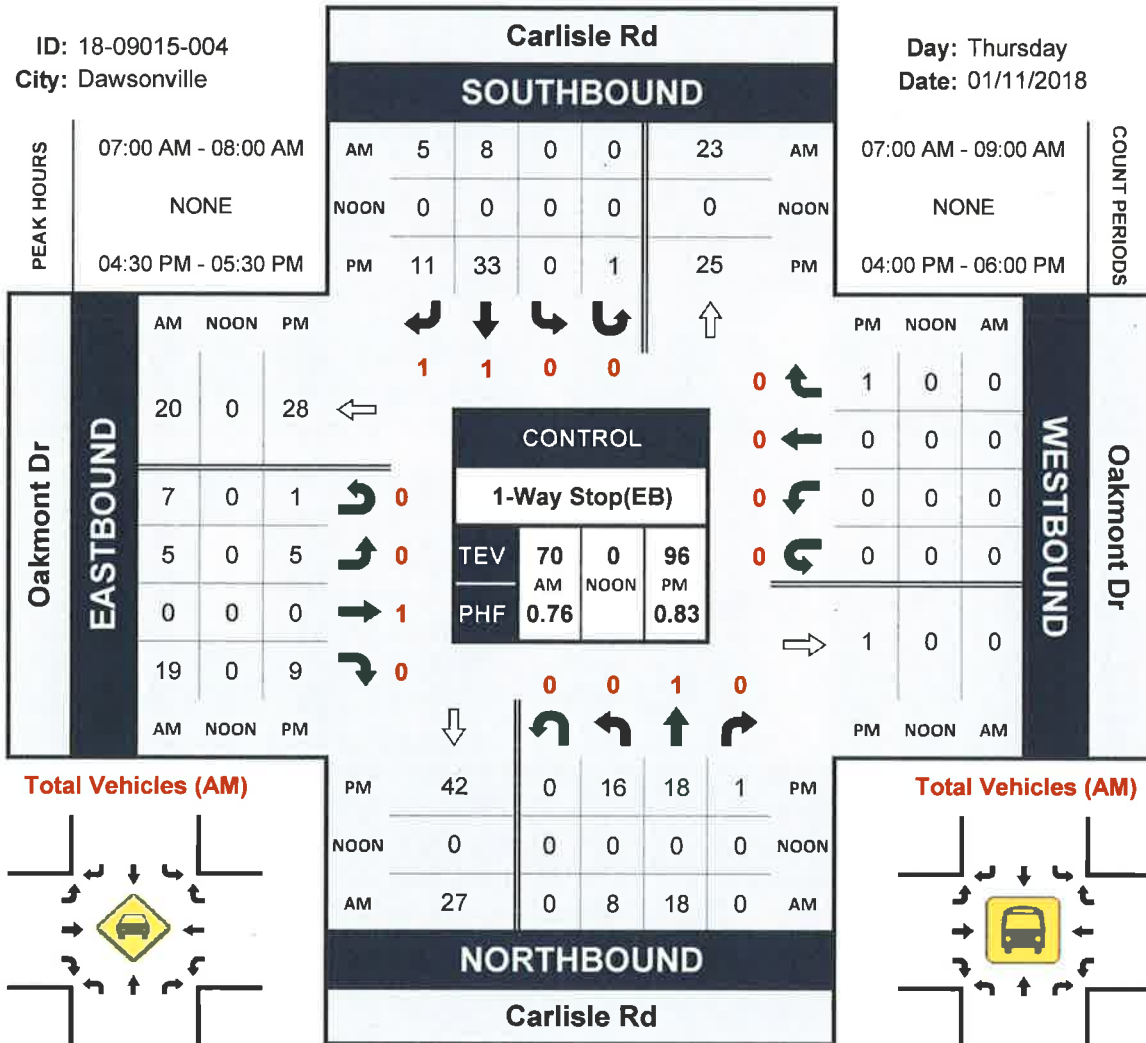


Carlisle Rd & Oakmont Dr

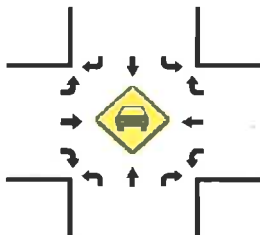
Peak Hour Turning Movement Count

ID: 18-09015-004
City: Dawsonville

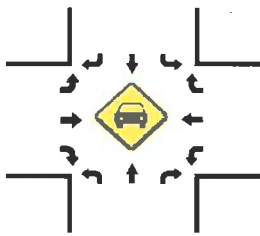
Day: Thursday
Date: 01/11/2018



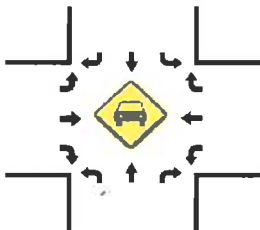
Total Vehicles (AM)



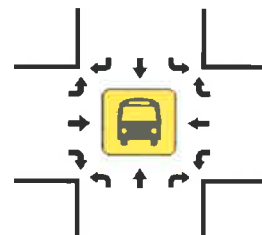
Total Vehicles (NOON)



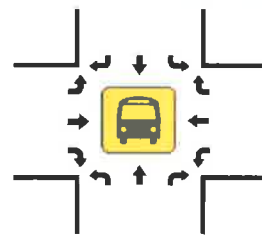
Total Vehicles (PM)



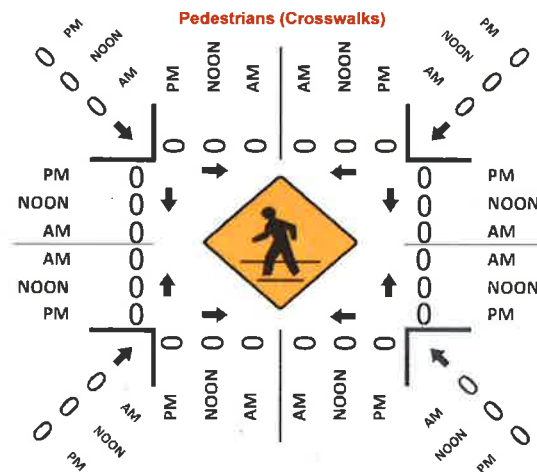
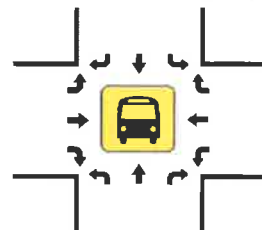
Total Vehicles (AM)



Total Vehicles (NOON)



Total Vehicles (PM)



CLASSIFICATION

SR 400 Bet. Lee Castleberry Rd/Blue Ridge Pkwy & Whitmire Dr/Carlisle Rd

Day: Thursday
Date: 1/11/2018

City: Dawsonville
Project #: GA18_9016_001n

North Bound

Time	#1	#2	#3	#4	#5	#6	#7	#8	#9	#10	#11	#12	#13	Total
00:00 AM	0	71	16	0	5	0	0	1	0	0	0	0	0	93
01:00	0	41	6	0	3	0	0	5	0	0	0	0	0	55
02:00	0	14	1	0	0	0	0	0	0	0	0	0	0	16
03:00	0	21	2	0	3	0	0	3	0	0	0	0	0	29
04:00	0	38	8	2	5	0	0	3	0	0	0	0	0	56
05:00	0	101	23	2	10	0	0	10	2	0	0	0	0	148
06:00	1	309	47	3	19	0	1	8	0	0	0	0	0	388
07:00	2	615	108	5	41	5	0	11	3	0	1	0	0	791
08:00	4	583	121	5	59	4	1	4	0	0	1	0	0	782
09:00	1	522	111	5	73	5	1	4	0	0	1	0	0	723
10:00	2	670	142	3	61	2	0	16	1	1	3	0	0	901
11:00	1	750	152	0	92	2	1	13	2	0	0	0	0	1013
12:00 PM	4	872	174	3	64	4	0	11	2	0	2	0	0	1136
13:00	4	871	163	5	64	3	0	10	1	0	2	0	0	1123
14:00	2	933	216	3	49	4	1	7	1	0	2	0	0	1218
15:00	3	1126	222	3	40	3	4	4	0	0	2	0	0	1403
16:00	7	1360	248	1	52	5	2	2	1	1	4	0	0	1683
17:00	3	1410	219	2	44	5	0	0	0	0	2	0	0	1685
18:00	3	1101	163	0	34	2	0	7	0	0	1	0	0	1311
19:00	1	675	93	0	31	2	0	2	0	0	0	0	0	804
20:00	1	513	92	1	15	1	0	3	1	0	0	0	0	627
21:00	1	355	67	0	13	0	0	2	0	0	0	0	0	438
22:00	0	240	35	0	5	0	0	1	0	0	0	0	0	281
23:00	0	139	16	0	4	0	0	0	0	0	0	0	0	159
Totals	40	13330	2445	43	787	47	7	127	14	2	21	21	0	16863
% of Totals	0%	79%	14%	0%	5%	0%	0%	1%	0%	0%	0%	0%	0%	100%

Directional / Peak Periods	All Classes		AM 7-9		NOON 12-2		PM 4-6		Off Peak Volumes	
	Volume	%	Volume	%	Volume	%	Volume	%	Volume	%
AM Volumes	11	3735	737	25	18	4	8	1	6	0
% AM	0%	22%	4%	0%	0%	0%	0%	0%	0%	0
AM Peak Hour	08:00	11:00	11:00	07:00	07:00	06:00	07:00	10:00	10:00	10:00
Volume	4	750	152	5	92	1	16	3	3	1013
PM Volumes	29	9595	1708	18	415	29	49	6	15	0
% PM	0%	57%	10%	0%	2%	0%	0%	0%	0%	0
PM Peak Hour	16:00	17:00	16:00	13:00	12:00	16:00	12:00	16:00	16:00	17:00
Volume	7	1410	248	5	64	5	11	2	4	1685

Classification Definitions	
1 Motorcycles	4 Buses
2 Passenger Cars	5 2-Axle, 6-Tire Single Units
3 2-Axle, 4-Tire Single Units	6 3-Axle Single Units
	7 >=4-Axle Single Units
	8 <=4-Axle Single Trailers
	9 5-Axle Single Trailers
	10 >=6-Axle Single Trailers
	11 <=5-Axle Multi-Trailers
	12 6-Axle Multi-Trailers
	13 >=7-Axle Multi-Trailers

CLASSIFICATION

SR 400 Bet. Lee Castleberry Rd/Blue Ridge Pkwy & Whitmire Dr/Carlisle Rd

Day: Thursday
Date: 1/11/2018

City: Dawsonville
Project #: GA18_9016_001

Summary

Time	#1	#2	#3	#4	#5	#6	#7	#8	#9	#10	#11	#12	#13	Total
00:00 AM	0	109	23	0	8	0	0	2	0	0	0	0	0	142
01:00	0	72	10	0	4	0	0	6	2	0	0	0	0	94
02:00	0	35	6	0	2	0	0	1	0	0	0	0	0	44
03:00	0	76	6	0	6	1	0	6	0	0	0	0	0	95
04:00	0	202	48	2	14	0	0	6	2	0	0	0	0	274
05:00	0	702	150	2	53	5	0	15	3	0	0	0	0	930
06:00	2	1211	249	5	82	1	1	21	1	0	0	0	0	1573
07:00	5	1794	341	10	127	13	0	32	8	0	1	0	0	2331
08:00	8	1431	291	6	125	10	1	21	2	0	1	0	0	1896
09:00	5	1258	264	8	133	6	1	22	1	0	1	0	0	1699
10:00	6	1369	281	6	105	5	0	27	3	1	3	0	0	1806
11:00	3	1460	292	3	143	4	1	17	2	0	0	0	0	1925
12:00 PM	6	1645	357	5	123	10	0	21	5	0	2	0	0	2174
13:00	6	1659	301	15	129	7	0	23	1	0	2	0	0	2143
14:00	3	1807	377	6	105	14	1	13	2	0	2	0	0	2330
15:00	6	1968	388	8	91	7	0	5	2	0	2	0	0	2477
16:00	10	2134	400	3	108	7	2	13	2	1	4	0	0	2684
17:00	6	2307	372	4	88	12	0	7	1	0	2	0	0	2799
18:00	5	1769	298	3	78	5	0	14	1	0	1	0	0	2174
19:00	3	1194	184	3	56	4	0	5	1	0	0	0	0	1450
20:00	2	880	160	2	41	4	0	9	1	0	0	0	0	1099
21:00	1	631	117	0	29	1	0	7	2	0	0	0	0	788
22:00	0	398	64	0	15	0	0	3	0	0	0	0	0	480
23:00	0	224	30	1	8	0	0	1	1	0	0	0	0	265
Totals	77	26335	5009	92	1673	116	7	297	43	2	21	2	21	33672
% of Totals	0%	78%	15%	0%	5%	0%	0%	1%	0%	0%	0%	0%	0%	100%

Directional Peak Periods	AM 7-9		NOON 12-2		PM 4-6		Off Peak Volumes	
	Volume	%	Volume	%	Volume	%	Volume	%
AM Volumes	1961	7%	45	0%	24	0%	6	0%
% AM	6%	2%	0%	0%	0%	0%	0%	0%
AM Peak Hour	07:00	07:00	07:00	06:00	07:00	10:00	10:00	10:00
Volume	341	143	13	1	8	1	3	2331
PM Volumes	3048	11%	71	0%	19	0%	15	0%
% PM	9%	3%	0%	0%	0%	0%	0%	0%
PM Peak Hour	16:00	13:00	14:00	16:00	12:00	16:00	16:00	17:00
Volume	400	129	14	2	5	1	4	2799
All Classes	4227	13%	4317	13%	5483	16%	19645	58%

Classification Definitions

1	Motorcycles	4	Buses	10	>=6-Axle Single Trailers	13	>=7-Axle Multi-Trailers
2	Passenger Cars	5	2-Axle, 6-Tire Single Units	7	> 4-Axle Single Units	11	<=5-Axle Multi-Trailers
3	2-Axle, 4-Tire Single Units	6	3-Axle Single Units	8	<=4-Axle Single Trailers	12	6-Axle Multi-Trailers

VOLUME

Blue Ridge Pkwy E/O US 19

Day: Tuesday
Date: 12/19/2017

City: Dawsonville
Project #: GA17_9669_001

DAILY TOTALS					NB	SB	EB	WB	Total		
					0	0	676	677	1,353		
AM Period	NB	SB	EB	WB	TOTAL	PM Period	NB	SB	EB	WB	TOTAL
00:00			3	1	4	12:00			7	6	13
00:15			1	1	2	12:15			17	8	25
00:30			2	1	3	12:30			7	14	21
00:45			0	6	1	12:45			11	42	20
01:00			0	1	1	13:00			19	20	39
01:15			0	0	0	13:15			9	13	22
01:30			1	0	1	13:30			16	10	26
01:45			1	2	0	13:45			7	51	17
02:00			0	0	0	14:00			14	13	27
02:15			2	0	2	14:15			22	11	33
02:30			0	0	0	14:30			12	11	23
02:45			0	2	0	14:45			16	64	13
03:00			1	0	1	15:00			10	16	26
03:15			0	0	0	15:15			11	4	15
03:30			0	0	0	15:30			8	12	20
03:45			0	1	0	15:45			15	44	10
04:00			0	0	0	16:00			14	11	25
04:15			0	0	0	16:15			16	15	31
04:30			0	2	2	16:30			20	17	37
04:45			0	2	2	16:45			18	68	13
05:00			0	0	0	17:00			16	12	28
05:15			1	2	3	17:15			24	18	42
05:30			0	9	9	17:30			23	14	37
05:45			1	2	7	17:45			21	84	14
06:00			0	5	5	18:00			24	13	37
06:15			0	3	3	18:15			17	14	31
06:30			0	7	7	18:30			16	8	24
06:45			1	1	3	18:45			15	72	13
07:00			0	12	12	19:00			18	7	25
07:15			1	13	14	19:15			17	9	26
07:30			1	15	16	19:30			16	15	31
07:45			2	4	9	19:45			11	62	6
08:00			1	12	13	20:00			9	4	13
08:15			2	7	9	20:15			6	4	10
08:30			4	11	15	20:30			10	0	10
08:45			5	12	11	20:45			10	35	5
09:00			2	5	7	21:00			3	4	7
09:15			6	11	17	21:15			8	3	11
09:30			1	12	13	21:30			7	10	17
09:45			11	20	8	21:45			7	25	3
10:00			11	11	22	22:00			5	3	8
10:15			10	13	23	22:15			3	3	6
10:30			4	12	16	22:30			7	1	8
10:45			6	31	7	22:45			0	15	0
11:00			8	13	21	23:00			2	1	3
11:15			3	6	9	23:15			3	0	3
11:30			6	4	10	23:30			2	0	2
11:45			8	25	13	23:45			1	8	0
TOTALS			106	250	356	TOTALS			570	427	997
SPLIT %			29.8%	70.2%	26.3%	SPLIT %			57.2%	42.8%	73.7%

DAILY TOTALS					NB	SB	EB	WB	Total
					0	0	676	677	1,353

AM Peak Hour	11:45	07:00	09:45	PM Peak Hour	17:15	13:00	17:15
AM Pk Volume	39	49	80	PM Pk Volume	92	60	151
Pk Hr Factor	0.574	0.817	0.870	Pk Hr Factor	0.958	0.750	0.899
7 - 9 Volume	16	90	106	4 - 6 Volume	152	114	266
7 - 9 Peak Hour	08:00	07:00	07:15	4 - 6 Peak Hour	17:00	16:30	17:00
7 - 9 Pk Volume	12	49	54	4 - 6 Pk Volume	84	60	142
Pk Hr Factor	0.600	0.817	0.844	Pk Hr Factor	0.875	0.833	0.845



3330 Preston Ridge RD, Suite 380
Alphretta, GA 30005



LIFEHOPE SENIOR CAMPUS

Drawn By _____ Checked By _____

Date 12/12/17 Job No. 17014

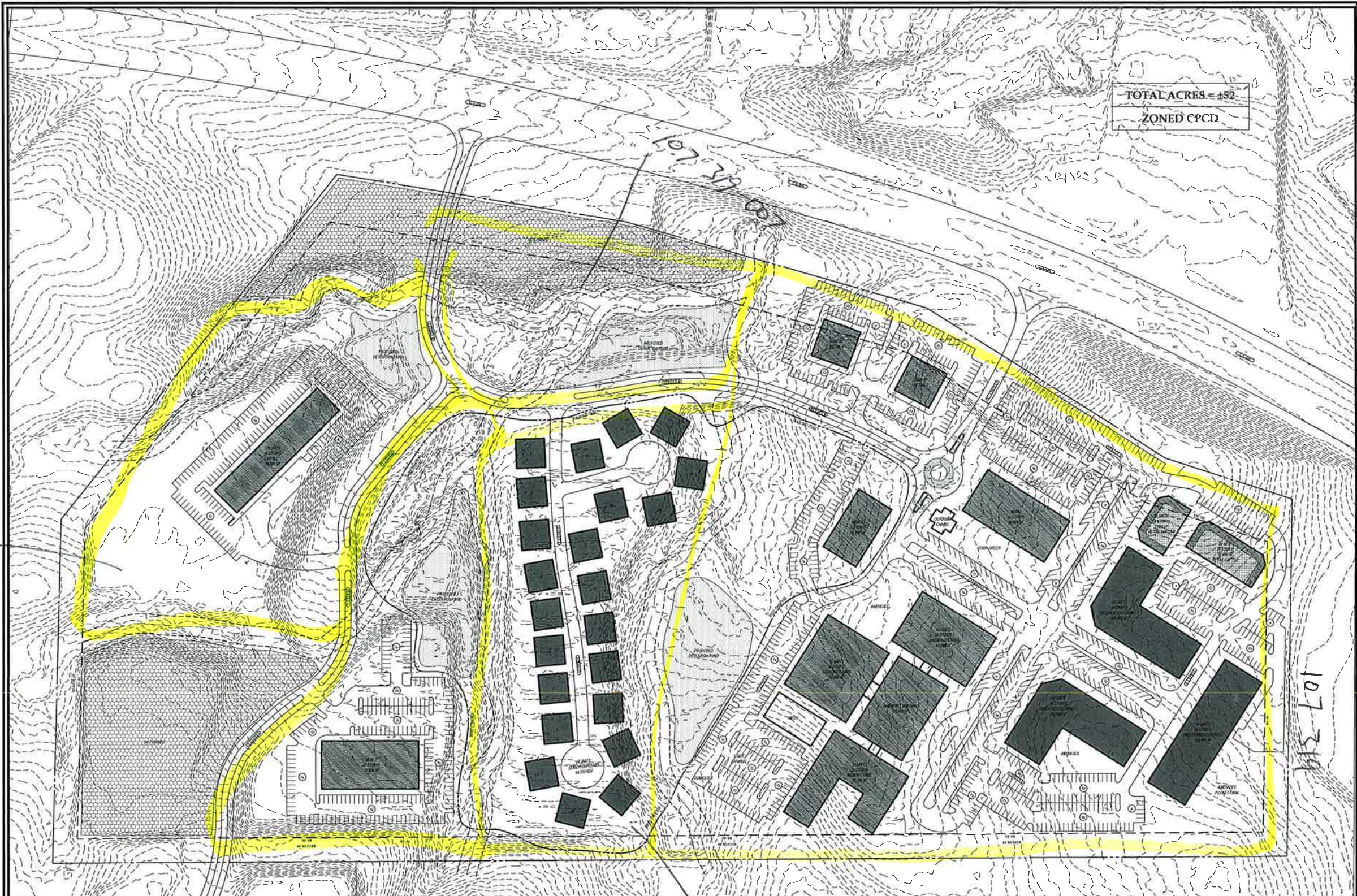
Sheet Title

SITE PLAN

Sheet No.

G-01

NOT RELEASED FOR CONSTRUCTION



TOTAL ACRES = 152
ZONED CPCD

107 319 002

107 319

COMMERCIAL USE		
BUILDING	SF	ROOMS/UNITS
MEDICAL OFFICE	130,000 SF	-
RETAIL	31,000 SF	-
ASSISTED LIVING	141,000 SF	136 ROOMS
HOTEL	70,000 SF	128 ROOMS
SUM	372,000 CSF	256 ROOMS
RESIDENTIAL USE		
INDEPENDENT LIVING	324,000 SF	168 UNITS
SENIOR DUPLEXES	65,000 SF	45 UNITS
SUM	389,000 SF	214 UNITS
RESIDENTIAL USE		
RETAIL LOFTS	57,000 SF	37 UNITS
TOTAL UNITS	-	251 UNITS

PARKING COUNT				
BUILDING	PARKING RATIO	SF OR UNITS	REQUIRED	ACTUAL
INDEPENDENT LIVING	1.50 / UNIT	168 ROOMS	252 SPACES	-
ASSISTED LIVING	1.00 / UNIT	136 ROOMS	136 SPACES	-
MEDICAL OFFICE	4 / 1,000 SF	130,000 SF	520 SPACES	-
RETAIL OUTPARCELS	5 / 1,000 SF	13,000 SF	65 SPACES	-
LOFT-RETAIL	5 / 1,000 SF	18,500 SF	93 SPACES	-
UNITS ABOVE RETAIL	2.00 / UNIT	37 ROOMS	74 SPACES	-
HOTEL	1.25 / UNIT	128 ROOMS	160 SPACES	-
SUM	-	-	1,278 SPACES	1,316 SPACES

HEIGHT INCREASES			
BUILDING	FROM	TO	
MOB-1	35'	60'	
RETAIL_LOFTS-1	35'	60'	
RETAIL_LOFTS-2	35'	60'	
INDEPENDENT LIVING-1	35'	60'	
INDEPENDENT LIVING-2	35'	60'	
INDEPENDENT LIVING-3	35'	60'	
HOTEL	35'	60'	
GA-400 SETBACK REDUCTIONS			
RETAIL-1	100'	60'	
RETAIL-2	100'	90'	
RETAIL_LOFTS-1	100'	75'	
RETAIL_LOFTS-2	100'	60'	

COMMERCIAL SETBACKS	
25' SIDE	
60' FRONT	
100' ALONG GA-400	
50' ALONG EXTERIOR PROPERTY LINES	
35' NEAR ALONG INTERIOR PROPERTY LINES	
DUPLEX SETBACKS	
20' SID BETWEEN BUILDINGS	
20' FRONT	
50' REAR	

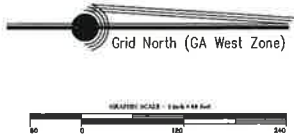
COMMERCIAL CONSTRUCTION SCHEDULE
APPROXIMATELY 45,000 SF PER YEAR OVER A 6 YEAR PERIOD. APPROXIMATE CONSTRUCTION START DATE IS SUMMER 2019.

RESIDENTIAL CONSTRUCTION SCHEDULE
251 UNITS WILL BE BUILT OVER A 6 YEAR PERIOD. APPROXIMATE CONSTRUCTION START DATE IS SUMMER 2019.

RESIDENTIAL UNITS ALLOWED PER CPCD ZONING
6 UNITS PER ACRE / (83 ACRES) = 518 UNITS MAX
REQUESTED NUMBER OF UNITS IS 251

PAVING & UNLOADING SERVICES ARE LOCATED AT THE REAR OF EACH FACILITY.

SITE PLAN LEGEND	
[Symbol]	SITE BOUNDARY
[Symbol]	SET BACK
[Symbol]	CREEK CENTER LINE
[Symbol]	CREEK BUFFER (20')
[Symbol]	NATURAL TRAIL
[Symbol]	COMMERCIAL USE
[Symbol]	RESIDENTIAL USE
[Symbol]	RESIDENTIAL BONUS USE
[Symbol]	PROPOSED DETENTION POND
[Symbol]	UNIMPROVED PROPERTY
[Symbol]	GREEN SPACE



107 319 005

SURVEYOR CERTIFICATION
 IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THIS PROPERTY BY ME OR PERSONS UNDER MY SUPERVISION. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL SURVEYING REQUIREMENTS OF THE DAWSON COUNTY COMMERCIAL REGULATIONS HAVE BEEN MET.

RICHARD J. WEBB, REG. GEORGIA LAND SURVEYOR NO. 2507 DATE 9.26.07

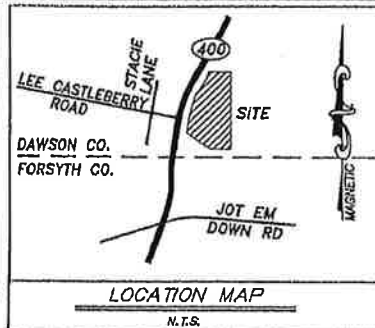
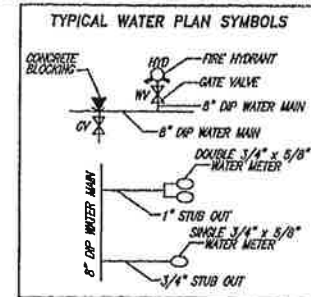
OWNERS CERTIFICATION
 THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND THAT ALL STATE AND LOCAL TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID. SAID OWNER DONATES AND DEDICATES TO THE PUBLIC FOR USE FOREVER THE STREET RIGHT-OF-WAY AS SHOWN ON THIS PLAT.

OWNER: *[Signature]*
 PURSUANT TO THE UNIFIED DEVELOPMENT CODE OF DAWSON COUNTY, GEORGIA, AND ALL REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN FINAL APPROVAL BY ALL REVIEWING DEPARTMENTS OR AGENCIES AND THE AUTHORIZED REPRESENTATIVE FROM THE DAWSON COUNTY PLANNING COMMISSION ON 20 AND IT IS ENTITLED TO RECORDATION IN THE CLERK'S OFFICE, DAWSON COUNTY SUPERIOR COURT.

PLANNING COMMISSION REPRESENTATIVE

FINAL PLAT FOR BLUERIDGE 400, LLC PHASE I

LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007



THE AS-BUILT STORM DRAINAGE SYSTEM WILL FUNCTION AS DESIGNED/ENGINEERED IN THE APPROVED CONSTRUCTION DRAWINGS.
[Signature]

THE AS-BUILT DETENTION/WATER QUALITY SYSTEM WILL FUNCTION AS DESIGNED/ENGINEERED IN THE APPROVED CONSTRUCTION DRAWINGS.
[Signature]

DATE OF ORIGINAL SURVEY
 7/1/02 THRU 7/12/02

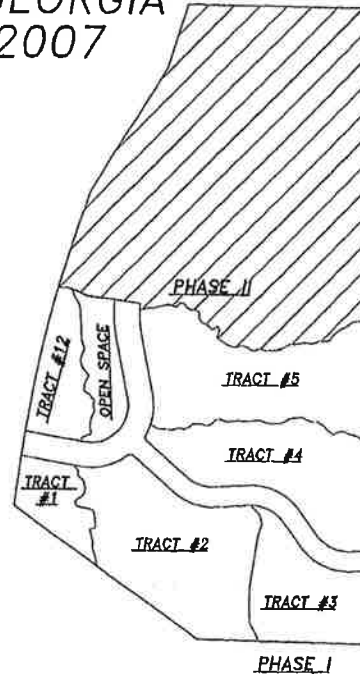
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11,718 FEET AND AN ANGULAR ERROR OF 0.3 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 733,044 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS NIKON TOP GUN

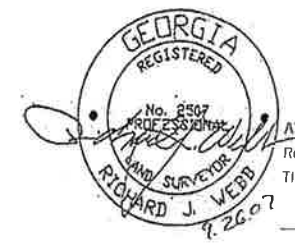
THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 130304 0125 A DECEMBER 15, 1990

I CERTIFY THAT THE WATER DISTRIBUTION SYSTEM AND/OR SANITARY SEWER SYSTEM DEPICTED BY THIS AS-BUILT DRAWING WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY FCDWS. THE INFORMATION SUBMITTED ON THIS AS-BUILT DRAWING IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE.
[Signature]



ZONING CONDITIONS FOR ZA# 03-02
 ZONED: CPCD

- THIS APPROVAL IS SUBJECT TO THE FOLLOWING STIPULATIONS:
1. THE PROPERTY ABUTTING CARLISLE ROAD (LAND LOT 141) SHALL BE DEVELOPED AS A SINGLE FAMILY ATTACHED TYPE DEVELOPMENT. NO COMMERCIAL DEVELOPMENT WILL BE PERMITTED IN THIS AREA. THE DWELLING UNITS SHALL BE TOWNHOMES SOLD IN FEE SIMPLE OWNERSHIP. TO AVOID A MONOCOINOUS APPEARANCE FOR ANY GIVEN BUILDING, NO MORE THAN SIX (6) UNITS MAY HAVE COMMON WALLS. ANY BUILDING CONTAINING MORE THAN THREE (3) UNITS WITH COMMON WALLS MUST HAVE THE ROOF OF EACH ATTACHED UNIT DISTINCT FROM THE OTHERS THROUGH SEPARATION OR OFFSETS IN ROOF DESIGN. UNITS SHALL BE A MINIMUM OF 1,200 SQUARE FEET. FRONT AND SIDES OF THE STRUCTURES SHALL BE PREDOMINANTLY BRICK OR STACKED STONE. THERE SHALL BE A MINIMUM OF TWO PARKING SPACES FOR EACH UNIT AND ALL UNITS MUST HAVE A GARAGE.
 2. THE ENTRANCE ON CARLISLE ROAD SHALL BE LANDSCAPED AND THE ENTRANCE PLAN SHALL BE PREPARED BY A LICENSED LANDSCAPE ARCHITECT AND SUBMITTED TO DAWSON COUNTY PLANNING & DEVELOPMENT FOR THEIR REVIEW PRIOR TO THE ISSUANCE OF ANY PERMITS FOR THE RESIDENTIAL PART OF THE DEVELOPMENT. THE ENTRANCE ON CARLISLE ROAD SHALL NOT BE ALIGNED WITH ANY DRIVEWAY OR EXISTING RESIDENCE ON THE OPPOSITE SIDE OF CARLISLE ROAD.
 3. THERE SHALL BE A 40' BUFFER ALONG THE NORTHERN AND SOUTHERN BOUNDARIES OF THE ENTIRE PROPERTY. THE BUFFER SHALL BE PLANTED WITH EVERGREEN TREES WHERE SPARSELY VEGETATED TWO (2) ROWS 5'-8" TALL 10'-12' ON CENTER.
 4. ALL PARKING LOT LIGHTING INCLUDING OUT PARCEL LOTS, WILL BE DESIGNED TO BE COMPATIBLE WITH THE OVERALL DEVELOPMENT ARCHITECTURE. ALL SUCH LIGHTING SHALL BE LIMITED IN HEIGHT NOT TO EXCEED THE HEIGHT OF THE TALLEST BUILDING IN THE PROJECT AND SHALL BE OF THE BOX TYPE FIXTURE. ALL OVERHEAD LIGHTS MUST BE LOCATED ONLY IN DEVELOPED AREAS. OVERHEAD LIGHTS SHALL BE DESIGNED TO AVOID ISSUES OF LIGHT POLLUTION, ESPECIALLY AFTER OPERATING HOURS OF THE BUSINESS IN THE DEVELOPMENT. FOOT CANDLE LIGHTING SHALL BE USED WHERE POSSIBLE.
 5. THE TOWNHOMES DEVELOPMENT SHALL BE DEVELOPED AT NO MORE THAN 6 (SIX) UNITS PER ACRES.
 6. DEVELOPER SHALL IMPROVE CARLISLE ROAD TO DAWSON COUNTY STANDARDS ALONG THE FRONT OF THIS DEVELOPMENT AND OUT TO BLUE RIDGE OVERLOOK.
 7. THERE SHALL BE A 4'-8" BERM AND A 30' PLANTED BUFFER PLACED ALONG CARLISLE ROAD THE LENGTH OF THE ENTIRE FRONTAGE OF CARLISLE ROAD. THE BERM WILL BE DESIGNED BY A LICENSED LANDSCAPE ARCHITECT AND SUBMITTED WITH THE ENTRANCE PLAN.
 8. THERE SHALL BE A TRUST INDENTURE AGREEMENT WITH THE ETOWAH WATER & SEWER AUTHORITY AS TRUSTEE TO ENSURE PROPER MAINTENANCE AND CONTINUAL OPERATION OF THE SEWAGE TREATMENT PLANT.
 9. SIGNAGE FOR THE RESIDENTIAL DEVELOPMENT ON CARLISLE ROAD SHALL BE OF THE MONUMENT TYPE AND GROUND MOUNTED. THE SIGNAGE SHALL BE INCLUDED ON THE LANDSCAPE PLAN FOR THE ENTRANCE.
 10. ALL GREENSPACE AS INDICATED ON THE PLANS SHALL BE UNDISTURBED OR PLANTED TO BUFFER STANDARDS.
 11. APPROVAL IS CONTINGENT UPON A SUCCESSFUL AGREEMENT BEING REACHED FOR FUNDING CONSTRUCTION OF AN OFFSITE 1 MILLION GALLON A DAY SEWAGE TREATMENT PLANT WITH DAWSON COUNTY AND ETOWAH WATER & SEWER AUTHORITY.
 12. APPLICANT TO DESIGN THE SITE WITH SPECIAL ATTENTION TO THE REQUIREMENTS OF THE GEORGIA 400 GUIDE LINES.
 13. A COMPREHENSIVE STORM WATER PLAN SHOULD BE PROVIDED PRIOR TO DEVELOPMENT. THIS PLAN SHOULD INCLUDE DESIGN SUCH THAT 10% OF THE PARKING AREA HAS POROUS FEATURES, AND REMAINING AREAS INCLUDE BIO-RETENTION FEATURES. LONG TERM MAINTENANCE OF THE STORM WATER SYSTEM SHOULD BE PLANNED FOR. A BOND IS TO BE REQUIRED ON THE DEVELOPER FOR CONSTRUCTION ACTIVITIES THROUGH BUILD OUT.
 14. DEVELOPMENT SHOULD BE PHASED TO MINIMIZE LAND DISTURBANCE.
 15. DEVELOPER SHOULD ADDRESS ALL CONCERNS OF THE FISH & WILDLIFE SERVICE PRIOR TO ISSUANCE OF DEVELOPMENT PERMITS.
 16. DEVELOPER TO REVISE THE TRAFFIC ANALYSIS TO INCLUDE THE CHANGES TO THE ORIGINAL PLAN AS PER GMRDC TRANSPORTATION PLANNING COMMENTS.
 17. THE GMRDC FURTHER RECOMMENDS THE COUNTY WORK WITH GEORGIA DOT TO PREPARE A CORRIDOR MANAGEMENT PLAN TO COORDINATE ACCESS ALONG GA. 400 WITH REGARDS TO DOT'S FUTURE PLANS FOR LIMITED ACCESS AND IMPROVEMENTS TO THE HIGHWAY. FURTHER CONSIDERATION SHOULD BE GIVEN TO A MORE COMPREHENSIVE CONSTRUCTION PLAN FOR THE REQUIRED FRONTAGE ROADS.
 18. ADHERE TO DAWSON COUNTY TREE & LANDSCAPING ORDINANCE.
 19. CONSTRUCT SIDEWALKS WITHIN DEVELOPMENT IN BOTH COMMERCIAL AND RESIDENTIAL SECTIONS AND ADJOINING COMMERCIAL TO RESIDENTIAL.
 20. PROVIDE AND FOLLOW A LOW LEVEL LIGHTING PLAN.



GEORGIA, DAWSON COUNTY
 CLERK'S OFFICE, SUPERIOR COURT
 FILED FOR RECORD
 10:15 AM 10-22-07
 Recorded in Plat Book 74 Page 121
 This 22 day of October 2007
[Signature]

APPROVED
 OCT 16 2007
 FOR RECORDING

- NOTES AND REFERENCES (CONT'D):**
- 17.) NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE, ACCESS OR SEWER EASEMENT WITHOUT PRIOR APPROVAL BY THE ETOWAH WSA.
 - 18.) ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODE'S HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
 - 19.) SITE DOES CONTAIN WETLANDS. SITE DOES CONTAIN STATE WATERS REQUIRING UNDISTURBED BUFFERS.

- NOTES AND REFERENCES:**
- 1.) PROPERTY ZONED CPCD
 37.239 ACRES - PHASE I
 - 2.) BUILDING SETBACKS:
 FRONT = 60'
 SIDE = 25'
 REAR (ALONG EXTERIOR P.L.'S) = 50'
 REAR (ALONG INTERIOR P.L.'S) = 35'
 ALONG PARKWAY = 100'
 - 3.) ROADWAYS AND ASPHALT VARY: (36'-75.50' BC-BC)
 100' & 80' RIGHT-OF-WAYS.
 - 4.) UTILITIES: ETOWAH WSA (WATER), UNDERGROUND POWER, ETOWAH WSA (SEWER).
 - 5.) NO. 4 REBAR SET AT ALL LOT CORNERS UNLESS OTHERWISE NOTED
 - 6.) DAWSON COUNTY WILL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY PIPES, DITCHES, DETENTION PONDS, OR OTHER STRUCTURES WITHIN ANY DRAINAGE EASEMENT BEYOND THE COUNTY RIGHT-OF-WAY.
 - 7.) LOTS REQUIRING SITE PLANS WILL BE REVIEWED FOR APPROVAL AS SUBMITTED.
 - 8.) 20' DRAINAGE EASEMENTS CENTERED OVER ALL PIPES
 - 9.) BUILDER SHALL COORDINATE ALL BURIAL PIT LOCATIONS WITH DAWSON COUNTY ENVIRONMENTAL HEALTH DEPT. OR HAUL MATERIAL TO AN APPROVED LANDFILL
 - 10.) TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF EACH SITE.
 - 11.) IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED DAWSON COUNTY RIGHT-OF-WAYS AND CONSIDERED TO BE A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UNPERMITTED RIGHT-OF-WAY ENCRoACHMENTS.
 - 12.) DEVELOPMENTS REQUESTING WATER SERVICE AT ELEVATIONS IN EXCESS OF 1,280 FEET MSL WILL BE RESPONSIBLE FOR DESIGNING AND CONSTRUCTING A PUMPING SYSTEM WHICH MEETS THE APPROVAL OF THE DAWSON COUNTY ENGINEER.
 - 13.) DAWSON COUNTY WILL NOT BE RESPONSIBLE FOR THE REPLACEMENT OF IMPROVEMENTS SUCH AS STRUCTURES, FENCES, SIGNS, LANDSCAPING, SPRINKLER SYSTEMS OR OTHER IMPROVEMENTS THAT HAVE BEEN INSTALLED WITHIN THE RIGHT OF WAY OR WITHIN SANITARY SEWER EASEMENTS OR UTILITY EASEMENTS IF THE IMPROVEMENTS ARE DAMAGED OR HAVE TO BE REMOVED TO PERFORM MAINTENANCE OR MAKE REPAIRS TO THE WATER OR SANITARY SEWER SYSTEMS. THE OBSTRUCTION OF ANY UTILITY EASEMENT IS PROHIBITED.
 - 14.) SIDEWALKS CANNOT BE INSTALLED ON TOP OF THE WATER MAINS OR METERS.
 - 15.) BUILDERS: DRIVEWAYS OR PARKING PADS CAN NOT BE INSTALLED OVER THE WATER METERS OR SANITARY SEWER LATERALS. THE DEVELOPER WILL BE RESPONSIBLE FOR RESOLVING THESE CONFLICTS AND OBTAINING APPROVAL FOR ANY UTILITY RELOCATION FROM THE ETOWAH WSA.
 - 16.) THE DEVELOPER IS RESPONSIBLE FOR MAINTAINING THE WATER AND SEWER LINES AND THEIR APPURTENANCES FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PLAT APPROVAL BY THE ETOWAH WSA.

TOILET FACILITIES AVAILABLE FOR CONSTRUCTION WORKERS WITHIN 300' OF EACH SITE

ANY GRADING, FILLING, OR OTHER LANDSCAPING OR CONSTRUCTION ACTIVITIES ON THE LOT SUBJECT TO FINAL INSPECTION BY THE COUNTY BOARD OF HEALTH APPROVAL. UNLAWFUL ACTIVITIES THAT INTERFERE WITH THE ON-SITE SEWAGE MANAGEMENT SHALL RENDER THE APPROVAL VOID.

WELLS CAN ONLY BE DRILLED BY A LICENSED WELL DRILLER IN ACCORDANCE TO EPD AND EPD REGULATIONS. SEE HEALTH DEPARTMENT FOR COPY OF AFFIDAVIT TO BE SUBMITTED.

OWNER/DEVELOPER
 BLUERIDGE 400, LLC
 212 DAHLONEGA STREET
 CUMMING, GA 30040

24-HOUR CONTACT
 MR. RANDY SAMPLES
 WORK: (770) 886-0916

TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
 Land Surveying Consultants
 P.O. BOX 561 CUMMING GA. 30028 (770)-889-6103
 101 WOODLAND DRIVE CUMMING GA. 30040

DATE OF ORIGINAL SURVEY
7/1/02 THRU 7/12/02

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LEGEND

- 1. BC = BACK OF CURB
- 2. BSL = BUILDING SETBACK LINE
- 3. C.L. = CENTER LINE
- 4. CMF = CONC. MONUMENT FOUND
- 5. CMP = CORRUGATED METAL PIPE
- 6. CT = CRIMP TOP
- 7. EL = ELEVATION (FT)
- 8. EP = EDGE OF PAVEMENT
- 9. FFEL = FINISHED FLOOR ELEV.
- 10. FH = FIRE HYDRANT
- 11. IFF = IRON PIN FOUND
- 12. IPS = IRON PIN SET
- 13. LL = LAND LOT
- 14. LLL = LAND LOT LINE
- 15. N/F = NOW OR FORMERLY
- 16. NTS = NOT TO SCALE
- 17. OT = OPEN TOP
- 18. P.L. = PROPERTY LINE
- 19. POB = POINT OF BEGINNING
- 20. PP = POWER POLE
- 21. R/B = REBAR
- 22. RCP = REINFORCED CONC. PIPE
- 23. R/W = RIGHT OF WAY
- 24. G = GAS LINE
- 25. P = POWER LINE
- 26. S = SEWER LINE
- 27. T = TELEPHONE LINE
- 28. W = WATER LINE
- 29. X = FENCE
- 30. X = STREET ADDRESS
- 31. = POWER BOX
- 32. = WATER METER
- 33. = FIRE HYDRANT
- 34. = WATER LINE
- 35. = SINGLE WING CATCH BASIN
- 36. = DOUBLE WING CATCH BASIN
- 37. = HEADWALL
- 38. = SOIL BOUNDARY

**CREEK CALLS
(TRACT #12)**

NUMBER	DIRECTION	DISTANCE
L209	S 47°08'46" E	14.54'
L210	S 28°27'36" W	37.80'
L211	S 10°43'21" W	9.55'
L212	S 00°00'00" W	14.20'
L213	S 08°32'18" E	5.13'
L214	S 45°01'36" E	11.48'
L215	S 62°56'58" E	12.83'
L216	S 38°02'41" E	17.71'
L217	S 48°23'35" E	12.22'
L218	S 23°13'04" E	5.80'
L219	S 12°10'45" W	15.50'
L220	S 05°57'09" W	12.24'
L221	S 19°40'15" E	3.77'
L222	S 37°43'11" E	7.05'
L223	S 15°26'09" W	7.63'
L224	S 27°19'17" W	17.70'
L225	S 22°42'46" W	15.12'
L226	S 07°56'03" W	20.23'
L227	S 03°19'12" W	17.41'
L228	S 23°58'57" E	12.49'
L229	S 03°49'04" E	3.81'
L230	S 26°35'11" W	6.81'
L231	S 70°24'17" W	23.44'
L232	S 65°50'26" W	13.63'
L233	S 10°47'39" W	15.11'

**CREEK CALLS
(BETWEEN TRACT #1 & TRACT #2)**

NUMBER	DIRECTION	DISTANCE
L23	N 14°32'52" W	6.13'
L24	N 14°34'24" W	13.53'
L25	N 15°57'33" W	16.09'
L26	N 15°32'48" W	20.96'
L27	N 19°35'24" W	16.24'
L28	N 06°09'09" E	22.23'
L29	N 14°09'14" W	33.42'
L30	N 17°43'31" W	21.24'
L31	N 05°42'56" E	1.71'
L32	N 76°05'30" E	20.52'
L33	N 38°28'47" E	7.39'
L34	N 05°25'29" E	7.26'
L35	N 08°17'04" W	48.75'
L36	N 23°13'03" W	6.48'
L37	N 56°00'18" W	8.21'
L38	N 65°55'03" W	7.08'
L39	N 75°23'33" W	12.14'
L40	N 76°34'25" W	19.77'
L41	N 81°05'03" W	20.85'
L42	N 48°56'41" W	8.80'
L43	N 19°22'34" W	6.67'
L44	N 07°15'01" W	8.14'
L45	N 47°08'51" E	13.00'
L46	N 51°58'44" E	9.94'
L47	N 60°30'41" E	10.36'
L48	N 37°07'47" E	16.64'
L49	N 07°58'27" E	20.85'
L50	N 11°46'44" W	29.18'
L51	N 18°22'41" W	5.72'
L52	N 58°45'36" W	16.72'
L53	N 34°38'56" W	8.68'
L54	N 18°27'05" W	4.30'
L55	N 07°44'26" E	13.90'
L56	N 22°19'28" W	7.17'
L57	N 49°06'43" W	6.75'
L58	N 57°49'42" W	5.43'
L59	N 13°00'24" W	4.54'
L60	N 07°18'46" E	4.04'

(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C15	N 08°22'14" E	5549.56	151.48	151.47

RIGHT-OF-WAY CALLS

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C2	N 76°45'33" E	250.00	203.57	197.99
C15	S 09°40'07" W	5549.56	100.00	100.00

BOUNDARY CALLS

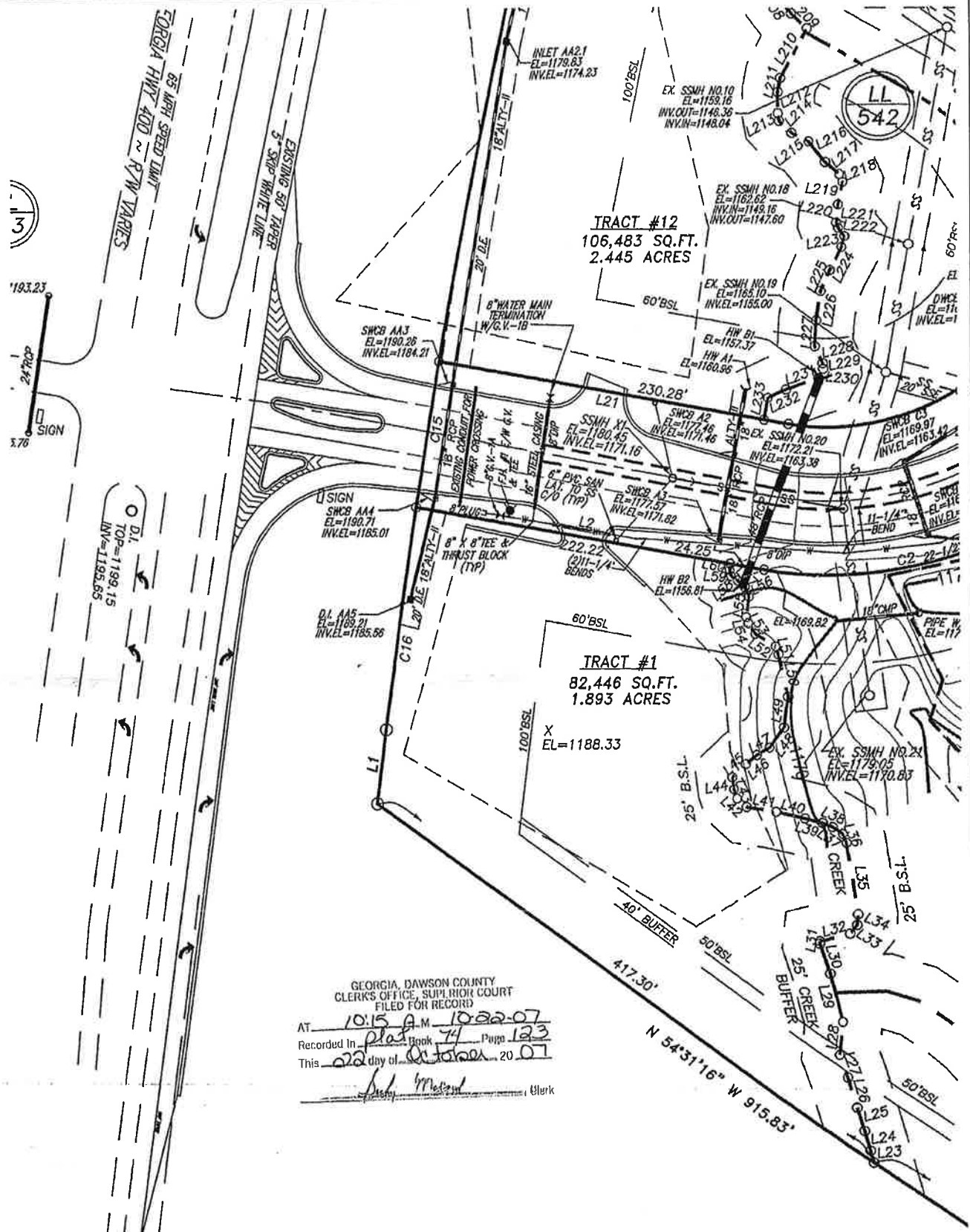
NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	N 14°01'46" E	5549.56	1247.70	1245.07

NUMBER	DIRECTION	DISTANCE
L1	N 07°36'31" E	50.31'

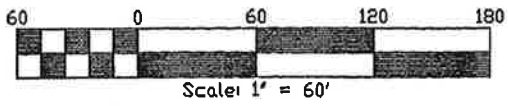
RIGHT-OF-WAY CALLS

NUMBER	DIRECTION	DISTANCE
L2	S 79°54'49" E	246.47'
L21	N 79°54'49" W	247.20'

FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007



GEORGIA, DAWSON COUNTY
CLERKS OFFICE, SUPERIOR COURT
FILED FOR RECORD
AT 10:15 A.M. 10-22-07
Recorded In Plat Book 74 Page 123
This 22 day of October 20 07
Suey McNeal Clerk



TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
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L40	N 76°34'25" W	19.77'
L41	N 81°05'03" W	20.85'
L42	N 48°56'41" W	8.80'
L43	N 19°22'34" W	6.67'
L44	N 07°15'01" W	8.14'
L45	N 47°08'51" E	13.00'
L46	N 51°58'44" E	9.94'
L47	N 60°30'41" E	10.36'
L48	N 37°07'47" E	16.64'
L49	N 07°58'27" E	20.85'
L50	N 11°46'44" W	29.18'
L51	N 19°22'41" W	5.72'
L52	N 58°45'36" W	16.72'
L53	N 34°38'56" W	8.68'
L54	N 18°27'05" W	4.30'
L55	N 07°44'26" E	13.90'
L56	N 22°19'28" W	7.17'
L57	N 49°06'43" W	6.75'
L58	N 57°49'42" W	5.43'
L59	N 13°00'24" W	4.54'
L60	N 07°18'46" E	4.04'

**CREEK CALLS
(BETWEEN TRACT #2 & TRACT #3)**

NUMBER	DIRECTION	DISTANCE
L61	S 40°36'06" E	6.87'
L62	S 42°30'45" E	43.13'
L63	S 22°51'32" E	15.20'
L64	S 07°21'41" E	25.84'
L65	S 18°44'00" W	37.40'
L66	S 09°10'42" W	209.09'
L67	S 04°39'32" W	19.00'
L68	S 01°51'00" W	76.33'
L69	S 03°52'13" E	60.85'
L70	S 31°30'30" E	47.15'
L71	S 17°28'03" E	30.48'

RIGHT-OF-WAY CALLS

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C2	N 76°45'33" E	250.00	203.57	197.99
C3	S 87°33'26" E	15.00	20.43	18.88
C4	S 71°00'38" E	240.00	188.19	183.41

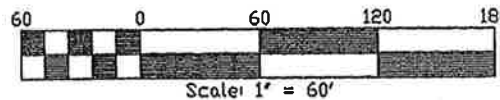
(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C17	N 88°13'17" E	160.00	9.47	9.47

RIGHT-OF-WAY CALLS

NUMBER	DIRECTION	DISTANCE
L3	S 48°32'48" E	217.41'
L4	N 86°31'32" E	131.23'

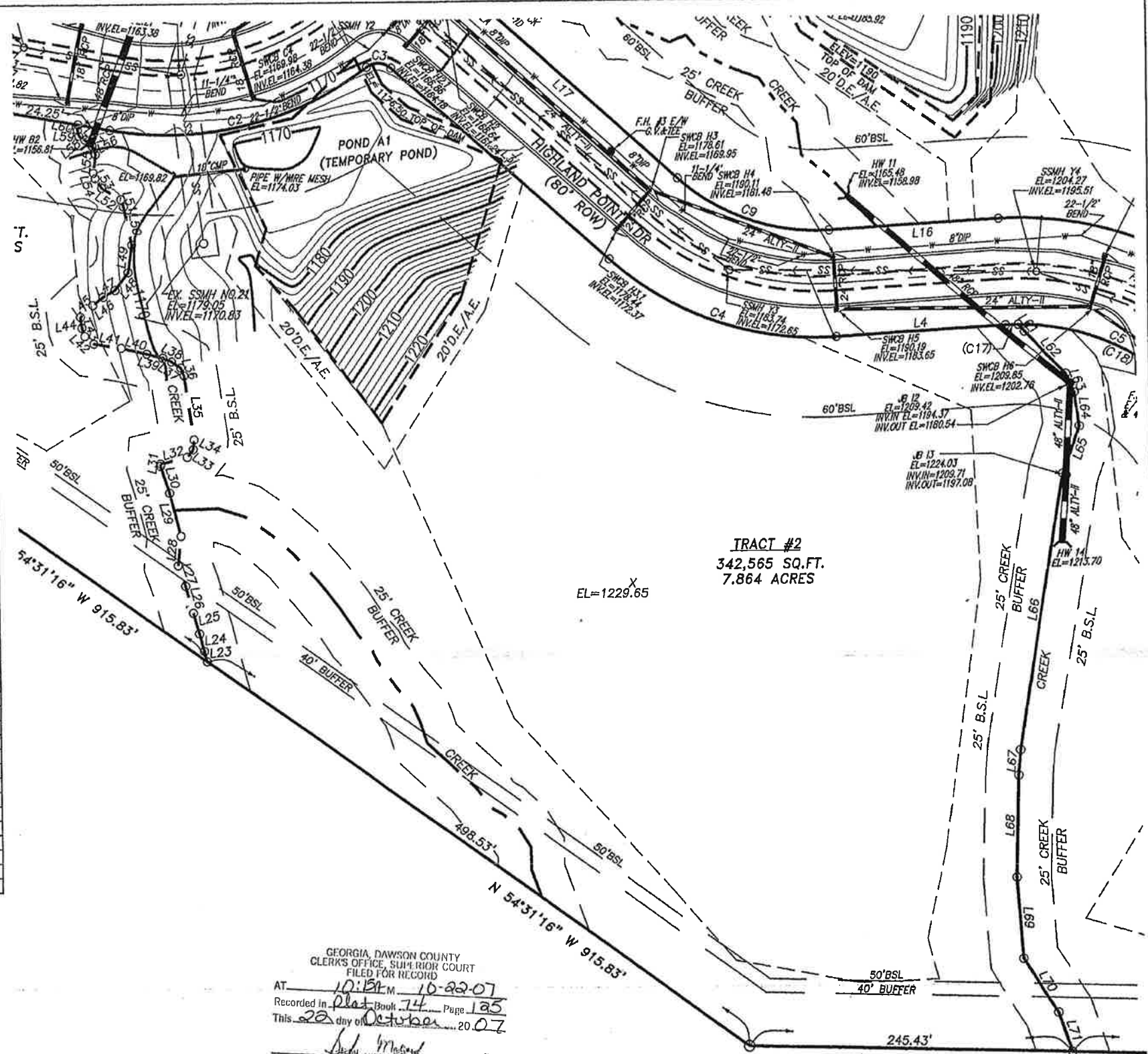
FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007



TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
Land Surveying Consultants
P.O. BOX 561 CUMMING GA. 30028 (770)-889-6103
101 WOODLAND DRIVE CUMMING GA. 30040

SHEET 3 OF 17

JOB NO. 02012



GEORGIA, DAWSON COUNTY
CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD
AT 10:21 AM 10-22-07
Recorded in Plat Book 74 Page 125
This 22 day of October 2007
Sandy McDaniel, Clerk

DATE OF ORIGINAL SURVEY
7/1/02 THRU 7/12/02

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11,718 FEET AND AN ANGULAR ERROR OF 0.3 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 733,044 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS NIKON TOP GUN

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 130304 0125 A DECEMBER 15,1990

LEGEND

- 1. BC = BACK OF CURB
- 2. BSL = BUILDING SETBACK LINE
- 3. C.L. = CENTER LINE
- 4. CMF = CONC. MONUMENT FOUND
- 5. CMP = CORRUGATED METAL PIPE
- 6. CT = CRIMP TOP
- 7. EL = ELEVATION (FT)
- 8. EP = EDGE OF PAVEMENT
- 9. FFEL = FINISHED FLOOR ELEV.
- 10. FH = FIRE HYDRANT
- 11. IPE = IRON PIN FOUND
- 12. IPS = IRON PIN SET
- 13. LL = LAND LOT
- 14. LLL = LAND LOT LINE
- 15. N/F = NOW OR FORMERLY
- 16. NTS = NOT TO SCALE
- 17. OT = OPEN TOP
- 18. P.L. = PROPERTY LINE
- 19. POB = POINT OF BEGINNING
- 20. PP = POWER POLE
- 21. R/B = REBAR
- 22. RCP = REINFORCED CONC. PIPE
- 23. R/W = RIGHT OF WAY
- 24. G = GAS LINE
- 25. P = POWER LINE
- 26. S = SEWER LINE
- 27. T = TELEPHONE LINE
- 28. W = WATER LINE
- 29. F = FENCE
- 30. SA = STREET ADDRESS
- 31. PB = POWER BOX
- 32. WM = WATER METER
- 33. FH = FIRE HYDRANT
- 34. WL = WATER LINE
- 35. SWCB = SINGLE WING CATCH BASIN
- 36. DWCB = DOUBLE WING CATCH BASIN
- 37. H = HEADWALL
- 38. S.B. = SOIL BOUNDARY

**CREEK CALLS
(BETWEEN TRACT #2 & TRACT #3)**

NUMBER	DIRECTION	DISTANCE
L61	S 40°36'06" E	6.87'
L62	S 42°30'45" E	43.13'
L63	S 22°51'32" E	15.20'
L64	S 07°21'41" E	25.64'
L65	S 18°44'00" W	37.40'
L66	S 09°10'42" W	209.09'
L67	S 04°39'32" W	19.00'
L68	S 01°51'00" W	76.33'
L69	S 03°52'13" E	60.85'
L70	S 31°30'30" E	47.15'
L71	S 17°28'03" E	30.48'

RIGHT-OF-WAY CALLS

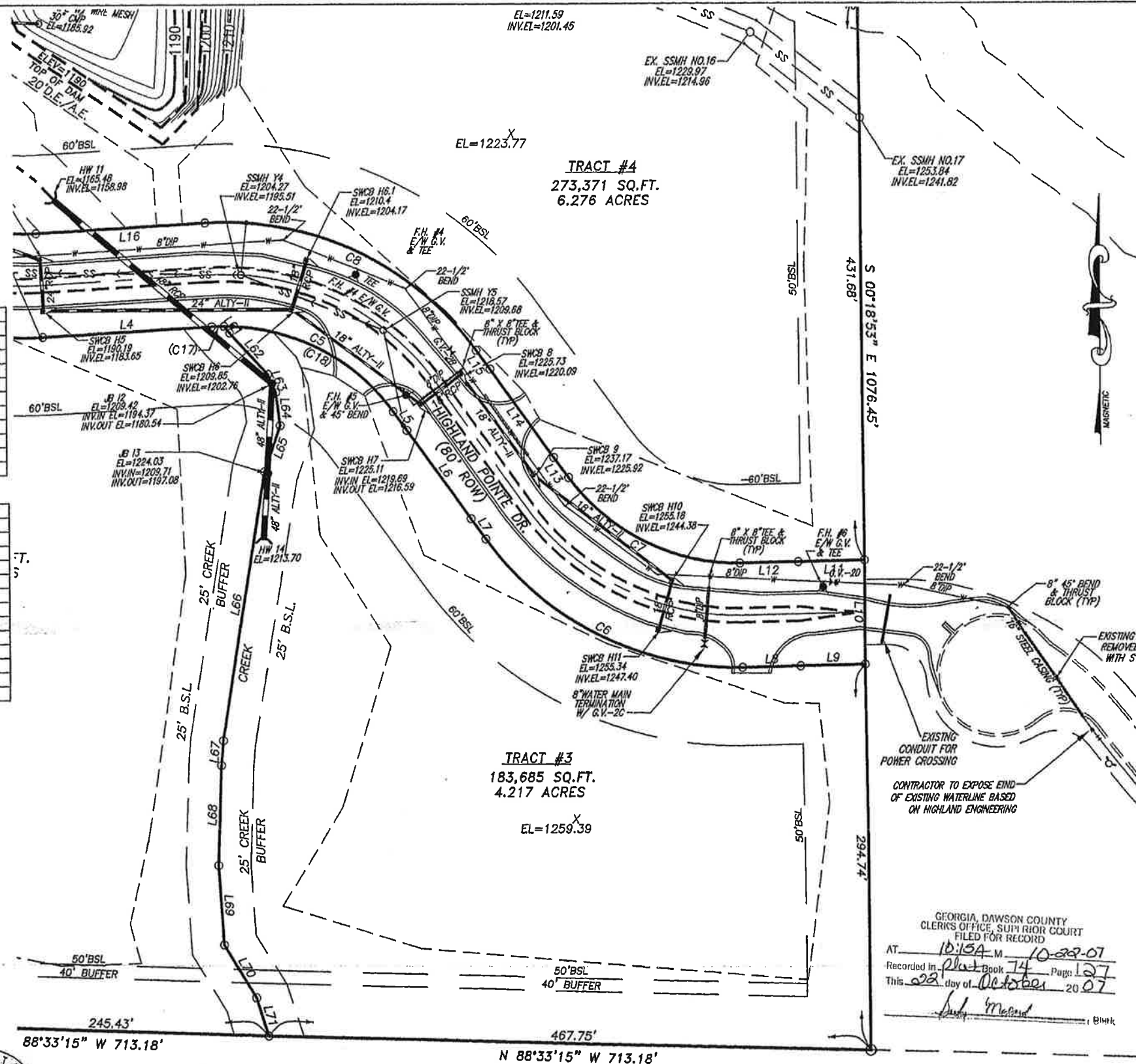
NUMBER	DIRECTION	DISTANCE
L4	N 86°31'32" E	131.23'
L5	S 36°01'41" E	17.93'
L6	S 36°01'41" E	84.00'
L7	S 36°01'41" E	19.20'
L8	N 88°45'36" E	46.10'
L9	N 88°47'19" E	51.08'
L10	N 00°18'53" W	80.01'
L11	S 88°47'19" W	52.37'
L12	S 88°45'36" W	46.10'
L13	N 36°01'41" W	19.20'
L14	N 36°01'41" W	84.00'
L15	N 36°01'41" W	17.93'
L16	S 86°31'32" W	131.23'

RIGHT-OF-WAY CALLS

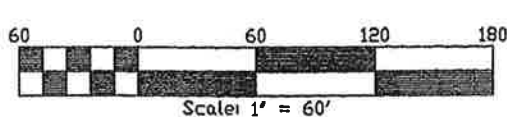
NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C4	S 71°00'38" E	240.00	188.19	183.41
C5	S 64°45'05" E	160.00	160.42	153.79
C6	S 63°38'03" E	240.00	231.27	222.43
C7	N 63°38'03" W	160.00	154.18	148.28
C8	N 64°45'05" W	240.00	240.63	230.68
C9	N 71°00'38" W	160.00	125.46	122.27

(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C17	N 88°13'17" E	160.00	9.47	9.47



FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007



GEORGIA, DAWSON COUNTY
CLERKS OFFICE, SUPERIOR COURT
FILED FOR RECORD
AT 10:59 AM 10-22-07
Recorded in Plat Book 74 Page 127
This 22 day of October 2007
Judy Medford

TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
Land Surveying Consultants
P.O. BOX 561 CUMMING GA. 30028 (770)-889-6103
101 WOODLAND DRIVE CUMMING GA. 30040
SHEET 4 OF 17 JOB NO. 02012

DATE OF ORIGINAL SURVEY
7/1/02 THRU 7/12/02

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11,718 FEET AND AN ANGULAR ERROR OF 0.3 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 733,044 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS NIKON TOP GUN

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 150304 0125 A DECEMBER 15, 1990

CREEK CALLS
(BETWEEN TRACT #5 & PHASE II)

NUMBER	DIRECTION	DISTANCE
L120	N 77°31'39" E	15.42'
L121	N 76°18'06" E	14.60'
L122	N 87°04'12" E	13.26'
L123	N 83°29'32" E	12.88'
L124	N 71°25'31" E	14.66'
L125	N 84°35'44" E	14.12'
L126	N 81°34'30" E	18.46'
L127	N 73°45'54" E	17.15'
L128	S 83°08'09" E	15.11'
L129	S 65°30'24" E	13.95'
L130	N 74°54'35" E	11.64'
L131	N 41°45'38" E	14.79'
L132	S 76°58'59" E	19.21'
L133	S 32°20'63" E	14.67'
L134	S 61°11'11" E	14.59'
L135	S 81°33'20" E	18.15'
L136	S 74°03'15" E	18.24'
L137	S 20°31'13" E	15.18'
L138	S 06°10'35" W	15.99'
L139	S 35°31'49" E	16.95'
L140	S 62°17'11" E	16.82'
L141	S 64°06'32" E	16.46'
L142	S 36°48'01" E	15.47'
L143	N 89°53'54" E	12.39'
L144	N 53°26'37" E	16.99'
L145	S 38°35'55" E	15.53'
L146	S 15°41'18" W	19.05'
L147	S 23°25'05" W	15.98'
L148	S 55°30'36" E	17.36'
L149	S 57°22'04" E	20.01'
L150	S 57°09'11" E	18.68'
L151	S 70°13'51" E	18.59'
L152	S 86°06'34" E	15.28'
L153	N 60°01'31" E	13.30'
L154	S 83°32'39" E	19.00'
L155	S 67°32'35" E	15.71'
L156	S 50°22'05" E	15.42'
L157	S 83°38'50" E	17.44'
L158	N 61°12'25" E	16.60'
L159	S 80°36'35" E	14.35'
L160	S 71°28'13" E	16.82'
L161	N 89°22'46" E	19.30'
L162	N 84°39'09" E	20.25'
L163	N 71°11'18" E	21.20'
L164	N 65°17'58" E	20.26'
L165	N 59°26'55" E	15.68'
L166	N 89°03'36" E	15.54'
L167	N 81°33'08" E	20.02'
L168	N 79°16'16" E	18.54'
L169	S 89°55'01" E	20.66'
L170	S 81°32'51" E	15.01'
L171	N 81°33'46" E	18.76'

CREEK CALLS
(BETWEEN TRACT #4 & TRACT #5)

NUMBER	DIRECTION	DISTANCE
L72	S 69°27'41" E	7.39'
L73	S 68°13'01" E	13.26'
L74	S 57°01'41" E	12.91'
L75	S 84°03'49" E	25.32'
L76	N 86°38'13" E	9.34'
L77	S 84°27'11" E	19.84'
L78	N 78°27'08" E	29.95'
L79	N 86°51'42" E	8.44'
L80	S 65°17'48" E	11.47'
L81	N 71°42'37" E	19.64'
L82	N 68°46'16" E	2.65'
L83	N 47°41'39" E	16.68'
L84	N 76°15'14" E	6.92'
L85	N 83°29'38" E	17.03'
L86	S 83°08'36" E	17.12'
L87	S 79°46'01" E	23.13'
L88	N 76°52'00" E	11.47'
L89	N 73°52'21" E	5.42'
L90	N 48°39'10" E	23.01'
L91	N 70°20'14" E	17.53'
L92	S 76°20'35" E	5.22'
L93	S 74°21'38" E	22.35'

CREEK CALLS
(BETWEEN TRACT #5 & PHASE II)

NUMBER	DIRECTION	DISTANCE
L94	S 86°07'03" E	19.72'
L95	N 82°45'38" E	13.16'
L96	N 84°30'23" E	15.20'
L97	S 86°51'46" E	42.22'
L98	N 84°24'31" E	47.39'
L99	S 70°15'59" E	38.78'
L100	N 88°50'27" E	39.49'
L101	N 79°10'22" E	12.30'
L102	N 65°36'47" E	39.80'
L103	N 77°49'51" E	23.14'
L104	N 87°42'44" E	25.73'
L105	S 58°46'03" E	16.83'
L106	S 69°47'53" E	20.82'
L107	S 87°41'44" E	15.11'
L108	S 84°17'47" E	15.50'
L109	S 55°39'09" E	11.83'
L110	S 54°07'28" E	18.40'
L111	S 38°33'52" E	17.73'
L112	S 53°24'45" E	29.45'
L113	N 71°26'18" E	34.17'
L114	S 89°57'57" E	14.59'
L115	S 66°29'28" E	18.19'
L116	S 72°16'33" E	40.48'
L117	S 61°09'45" E	22.89'
L118	S 68°24'36" E	35.27'
L119	S 83°11'38" E	7.05'

RIGHT-OF-WAY CALLS

NUMBER	DIRECTION	DISTANCE
C10	N 09°32'09" W	15.00
C11	N 09°22'31" E	250.00

NUMBER	DIRECTION	DISTANCE
L18	N 10°43'28" W	239.56'

RIGHT-OF-WAY CALLS

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C10	N 09°32'09" W	15.00	20.43	18.88
C11	N 09°22'31" E	250.00	175.40	171.83

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C19	N 23°54'04" E	250.00	48.64	48.56
C20	N 03°48'06" E	250.00	126.76	125.41
C21	N 13°13'51" E	5549.76	590.06	589.78
C22	N 04°24'09" W	450.00	99.30	99.10
C23	N 03°38'21" E	450.00	27.01	27.01

(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C19	N 23°54'04" E	250.00	48.64	48.56
C20	N 03°48'06" E	250.00	126.76	125.41
C21	N 13°13'51" E	5549.76	590.06	589.78
C22	N 04°24'09" W	450.00	99.30	99.10
C23	N 03°38'21" E	450.00	27.01	27.01

LEGEND

- 1. CL = CENTER LINE
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- 50. CL = CENTER LINE

FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499, 542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007



Scale: 1" = 60'

TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
Land Surveying Consultants
P.O. BOX 561 CUMMING GA. 30028 (770)-888-6103
101 WOODLAND DRIVE CUMMING GA. 30040

DATE OF ORIGINAL SURVEY
7/1/02 THRU 7/12/02

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11,718 FEET AND AN ANGULAR ERROR OF 0.3 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 733,044 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS NIKON TOP GUN

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 130304 0125 A DECEMBER 15, 1990

- LEGEND**
- 1. BC = BACK OF CURB
 - 2. BSL = BUILDING SETBACK LINE
 - 3. CL = CENTER LINE
 - 4. CMF = CONCD. MONUMENT FOUND
 - 5. CMP = CORRUGATED METAL PIPE
 - 6. CT = CURB TOP
 - 7. EL = ELEVATION (FT)
 - 8. E = EDGE OF PAVEMENT
 - 9. FEL = FINISHED FLOOR ELEV.
 - 10. FH = FIRE HYDRANT
 - 11. IFF = IRON PIN FOUND
 - 12. IPS = IRON PIN SET
 - 13. LL = LAND LOT
 - 14. LLL = LAND LOT LINE
 - 15. H/F = NOW OR FORMERLY
 - 16. NTS = NOT TO SCALE
 - 17. OT = OPEN TOP
 - 18. PL = PROPERTY LINE
 - 19. POB = POINT OF BEGINNING
 - 20. PP = POWER POLE
 - 21. R/B = REBAR
 - 22. RCP = REINFORCED CONG. PIPE
 - 23. R/W = RIGHT OF WAY
 - 24. S = GAS LINE
 - 25. P = POWER LINE
 - 26. S = SEWER LINE
 - 27. T = TELEPHONE LINE
 - 28. W = WATER LINE
 - 29. F = FENCE
 - 30. S.A. = STREET ADDRESS
 - 31. P.B. = POWER BOX
 - 32. W.M. = WATER METER
 - 33. F.H. = FIRE HYDRANT
 - 34. W.L. = WATER LINE
 - 35. S.W.C.B. = SINGLE WHIG CATCH BASIN
 - 36. D.W.C.B. = DOUBLE WHIG CATCH BASIN
 - 37. H.W. = HEADWALL
 - 38. S.B. = SOIL BOUNDARY

**CREEK CALLS
(TRACT #12)**

NUMBER	DIRECTION	DISTANCE
L188	N 82°41'21" E	7.74'
L189	N 88°38'20" E	14.06'
L190	S 84°43'06" E	15.38'
L191	S 73°49'23" E	15.87'
L192	S 25°51'11" E	15.19'
L193	S 17°33'11" E	18.02'
L194	S 34°08'21" E	18.21'
L195	S 28°17'10" E	17.12'
L196	S 10°54'55" E	24.04'
L197	S 03°00'04" E	34.08'
L198	S 04°51'49" E	26.77'
L199	S 00°41'09" E	40.29'
L200	S 02°48'33" E	16.55'
L201	S 16°27'41" E	39.49'
L202	S 11°41'59" W	4.80'
L203	S 24°51'47" W	9.65'
L204	S 21°03'19" W	11.29'
L205	S 17°20'21" W	18.51'
L206	S 05°29'45" E	18.84'
L207	S 18°46'30" E	18.14'
L208	S 39°20'32" E	24.31'
L209	S 47°08'46" E	14.54'
L210	S 28°27'36" W	37.80'
L211	S 10°43'21" W	9.55'
L212	S 00°00'00" W	14.20'
L213	S 08°32'18" E	5.13'
L214	S 45°01'36" E	11.48'
L215	S 62°56'58" E	12.83'
L216	S 38°02'41" E	17.71'
L217	S 48°23'35" E	12.22'
L218	S 23°13'04" E	5.80'
L219	S 12°10'45" W	15.50'
L220	S 05°57'09" W	12.24'
L221	S 19°40'15" E	3.77'
L222	S 37°43'11" E	7.05'
L223	S 15°26'09" W	7.63'
L224	S 27°19'17" W	17.70'
L225	S 22°42'46" W	15.12'
L226	S 07°56'03" W	20.23'
L227	S 03°19'12" W	17.41'
L228	S 23°58'57" E	12.49'
L229	S 03°49'04" E	3.81'
L230	S 26°35'11" W	6.81'
L231	S 70°24'17" W	23.44'
L232	S 65°50'26" W	13.63'
L233	S 10°47'39" W	15.11'

RIGHT-OF-WAY CALLS

NUMBER	DIRECTION	DISTANCE
L2	S 79°54'49" E	246.47'
L3	S 48°32'48" E	217.41'
L19	N 81°27'12" W	100.13'
L20	S 10°43'28" E	239.56'
L21	N 79°54'49" W	247.20'

**CREEK CALLS
(BETWEEN TRACT #4 & TRACT #5)**

NUMBER	DIRECTION	DISTANCE
L72	S 69°27'41" E	7.39'
L73	S 68°13'01" E	13.26'
L74	S 57°01'41" E	12.91'
L75	S 84°03'49" E	25.32'

**CREEK CALLS
(BETWEEN TRACT #5 & PHASE II)**

NUMBER	DIRECTION	DISTANCE
L120	N 77°31'39" E	15.42'
L121	N 76°18'06" E	14.60'
L122	N 87°04'12" E	13.26'
L123	N 83°29'32" E	12.68'
L124	N 71°25'31" E	14.66'
L125	N 84°35'44" E	14.12'

GEORGIA, DAWSON COUNTY
CLERKS OFFICE, SUPERIOR COURT
FILED FOR RECORD
AT 10:58 AM 10-22-07
Recorded in Book 74 Page 133
This is the 22 day of October 20 07
Clerk



(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C16	N 08°22'14" E	5549.56	151.48	151.47
C17	N 88°13'17" E	160.00	9.47	9.47
C18	S 63°03'19" E	160.00	150.95	145.41
C19	N 23°54'04" E	250.00	48.64	48.56

**FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I**
LAND LOTS 499, 542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007

RIGHT-OF-WAY CALLS

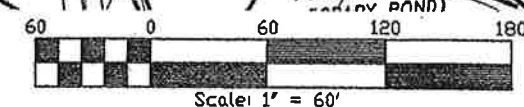
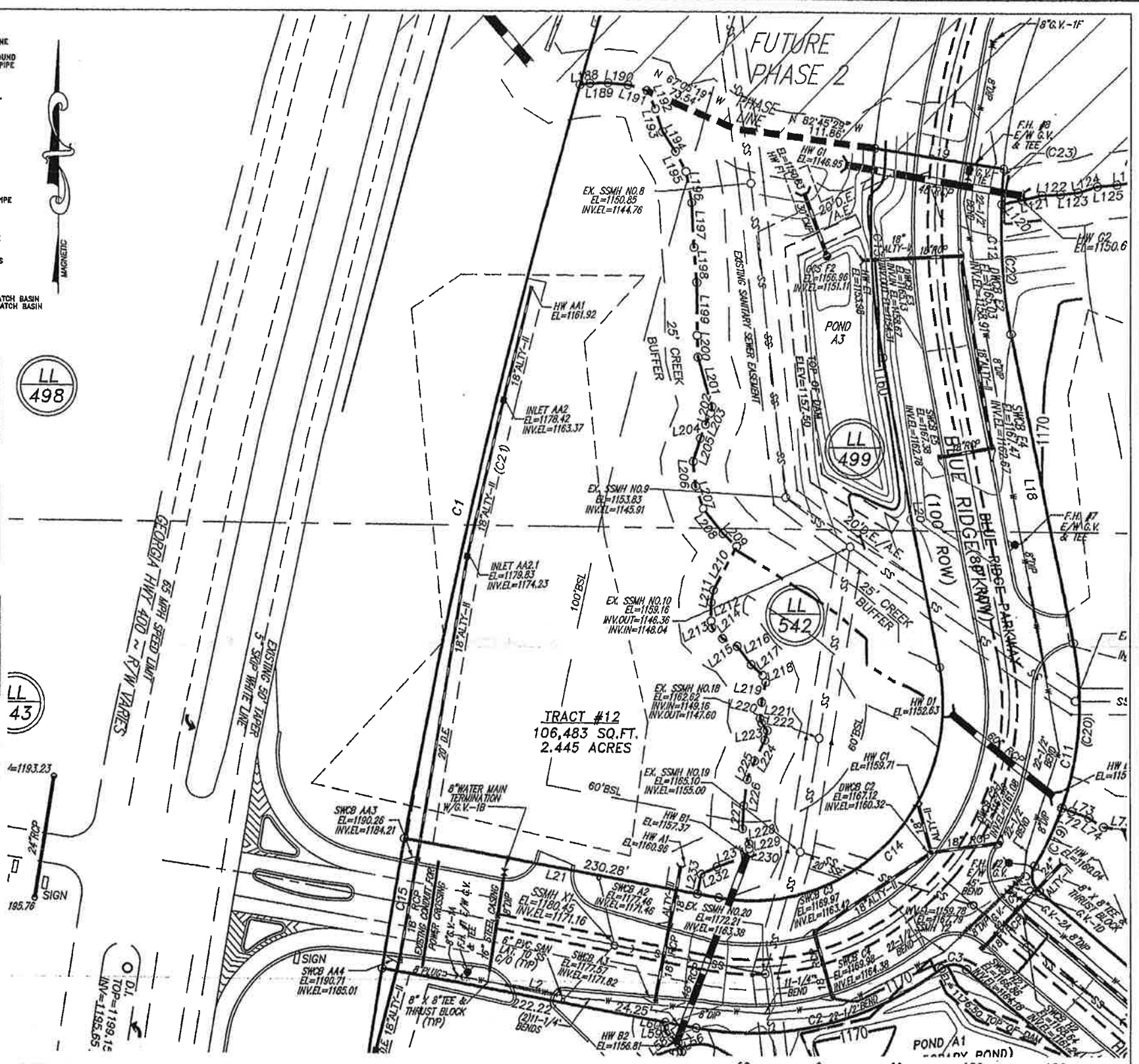
NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C2	N 76°45'33" E	250.00	203.57	197.99
C3	S 87°33'26" E	15.00	20.43	18.88
C10	N 09°32'09" W	15.00	20.43	18.88
C11	N 09°22'31" E	250.00	175.40	171.83
C12	N 02°40'58" W	450.00	126.32	125.90
C13	S 02°23'34" E	550.00	159.96	159.39
C14	S 44°40'52" W	150.00	290.10	246.96
C15	S 09°40'07" W	5549.56	100.00	100.00

(LOT CALLS)

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C21	N 13°13'51" E	5549.76	590.08	589.78
C22	N 04°24'09" W	450.00	99.30	99.10
C23	N 03°38'21" E	450.00	27.01	27.01

BOUNDARY CALLS

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	N 14°01'46" E	5549.56	1247.70	1245.07



TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
Land Surveying Consultants
P.O. BOX 561 CUMMING GA. 30028 (770)-889-8103
101 WOODLAND DRIVE CUMMING GA. 30040
SHEET 7 OF 17 JOB NO. 02012

DATE OF ORIGINAL SURVEY
7/1/02 THRU 7/12/02

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 11,718 FEET AND AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 733,044 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

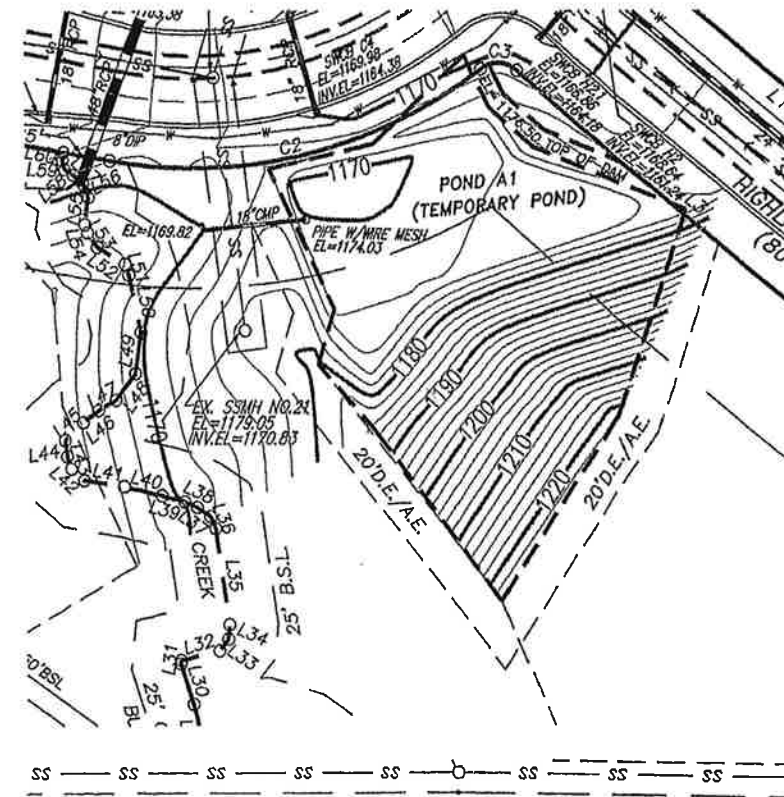
THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS NIKON TOP GUN

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 130304 0125 A DECEMBER 15, 1990

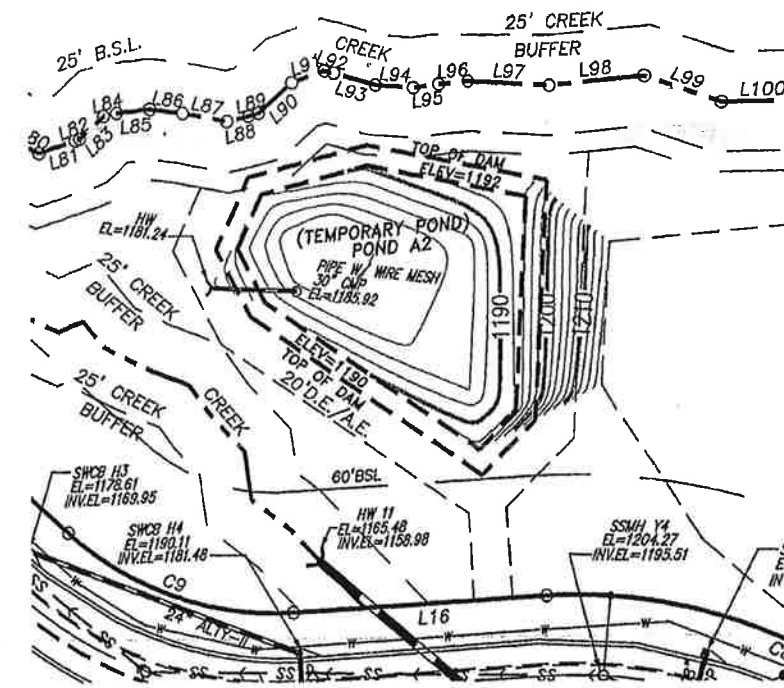
LEGEND

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2. BSL	=	BUILDING SETBACK LINE
3. C.L.	=	CENTER LINE
4. CMP	=	CONC. MONUMENT FOUND
5. CMP	=	CORRODATED METAL PIPE
6. CT	=	CURB TOP
7. EL	=	ELEVATION (FT)
8. EP	=	EDGE OF PAVEMENT
9. FFEL	=	FINISHED FLOOR ELEV.
10. FH	=	FIRE HYDRANT
11. I.P.F.	=	IRON PIN FOUND
12. I.P.S.	=	IRON PIN SET
13. LL	=	LAND LOT
14. LLL	=	LAND LOT LINE
15. N/F	=	NOW OR FORMERLY
16. NTS	=	NOT TO SCALE
17. OT	=	OPEN TOP
18. P.L.	=	PROPERTY LINE
19. POB	=	POINT OF BEGINNING
20. PP	=	POWER POLE
21. R/B	=	REBAR
22. RCP	=	REINFORCED CONO. PIPE
23. R/W	=	RIGHT OF WAY
24. G	=	GAS LINE
25. P	=	POWER LINE
26. S	=	SEWER LINE
27. T	=	TELEPHONE LINE
28. W	=	WATER LINE
29. X	=	FENCE
30. SA	=	STREET ADDRESS
31. MB	=	METER BOX
32. WM	=	WATER METER
33. A	=	FIRE HYDRANT
34. W	=	WATER LINE
35. HW	=	SINGLE WHIO CATCH BASIN
36. HW	=	DOUBLE WHIO CATCH BASIN
37. H	=	HEADWALL
38. S	=	SOIL BOUNDARY

TEMPORARY POND - POND A1
OUTLET STRUCTURE NO REQUIRED



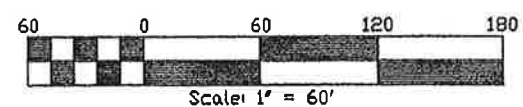
TEMPORARY POND - POND A2
OUTLET STRUCTURE NO REQUIRED



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FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007



TECHNICAL LAND SERVICES INC. d/b/a
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101 WOODLAND DRIVE CUMMING GA. 30040
SHEET 8 OF 17 JOB NO. 02012

DATE OF ORIGINAL SURVEY
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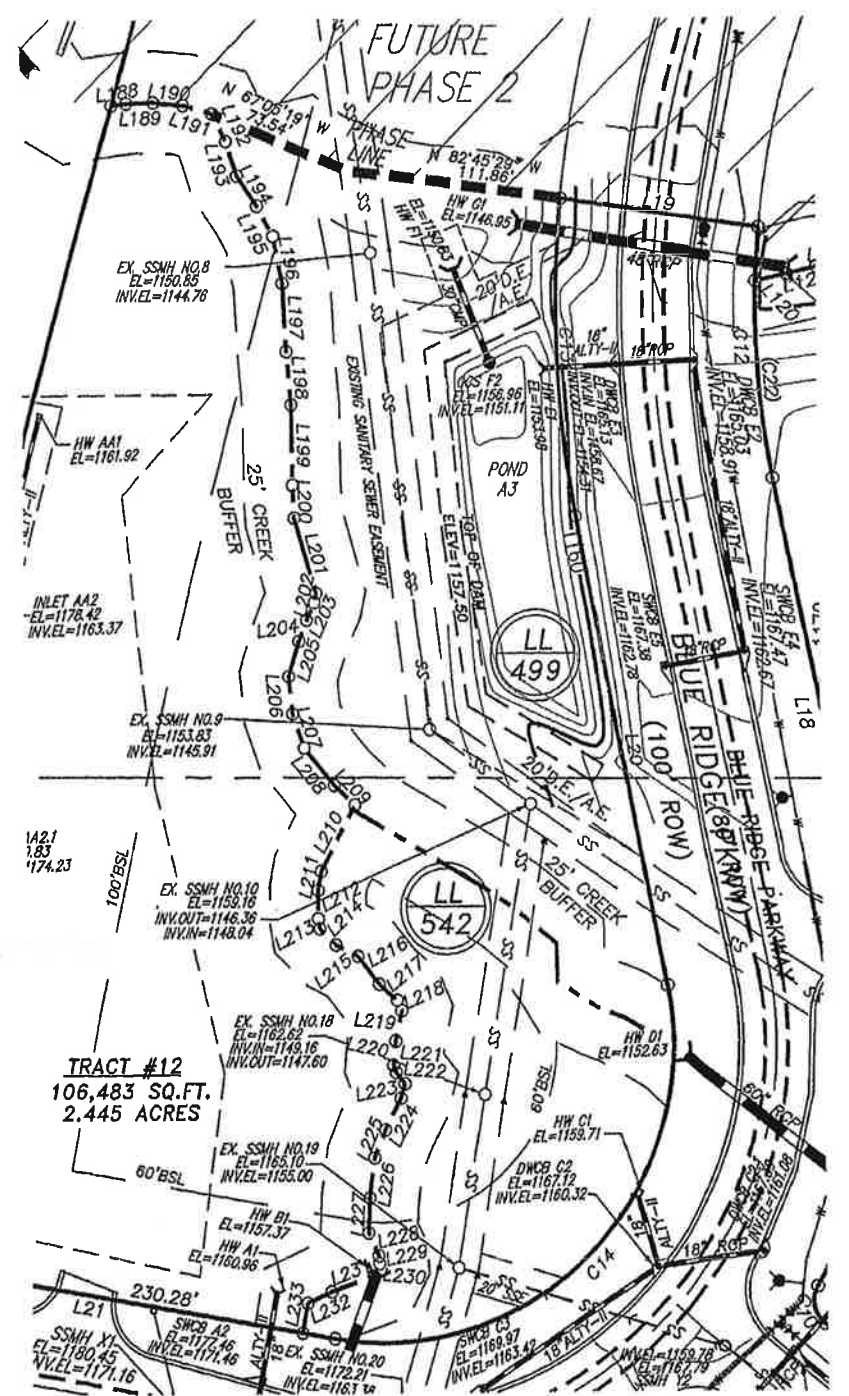
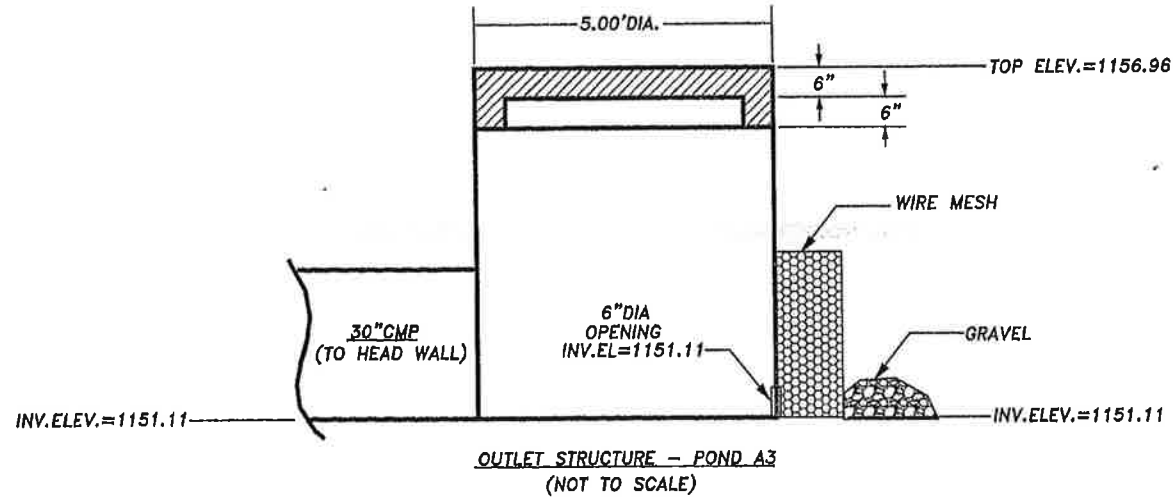
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THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE 130304 0125 A DECEMBER 15, 1990

- LEGEND**
- 1. BO = BACK OF CURB
 - 2. BSL = BUILDING SETBACK LINE
 - 3. C.L. = CENTER LINE
 - 4. CNP = CONC. MONUMENT FOUND
 - 5. CMP = CORRUGATED METAL PIPE
 - 6. CT = CRAMP TOP
 - 7. EL = ELEVATION (FT)
 - 8. EP = EDGE OF PAVEMENT
 - 9. FFEL = FINISHED FLOOR ELEV.
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 - 28. W = WATER LINE
 - 29. X = FENCE
 - 30. Y = STREET ADDRESS
 - 31. Z = POWER BOX
 - 32. W = WATER METER
 - 33. F = FIRE HYDRANT
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 - 36. D = DOUBLE WING CATCH BASIN
 - 37. H = HEADWALL
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Richard J. Webb

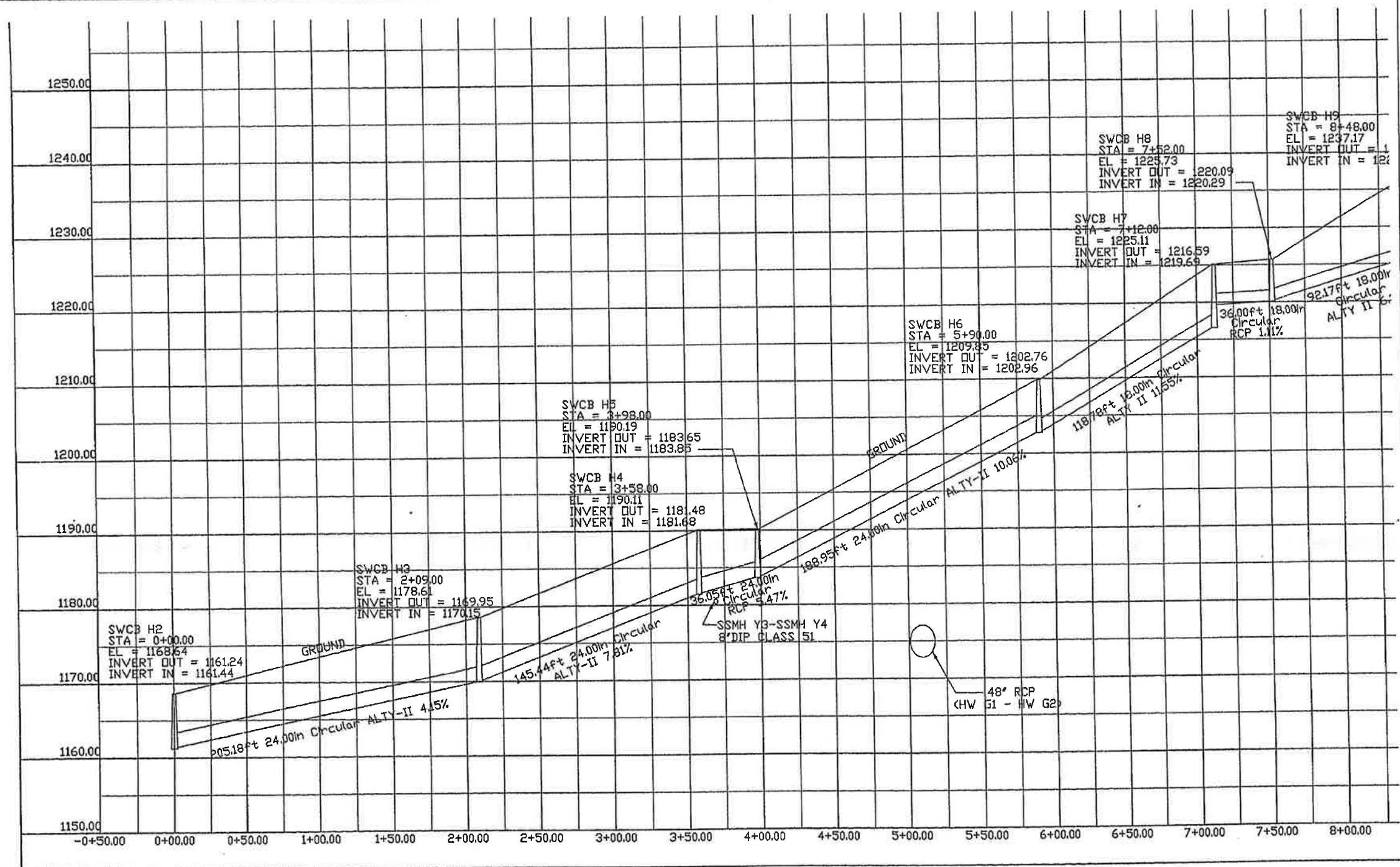


FINAL PLAT FOR
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499, 542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007

60 0 60 120 180
Scale 1" = 60'

TECHNICAL LAND SERVICES INC. d/b/a
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SHEET 9 OF 17



STORM PROFILES FOR:
BLUERIDGE 400, LLC
 PHASE I
 LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
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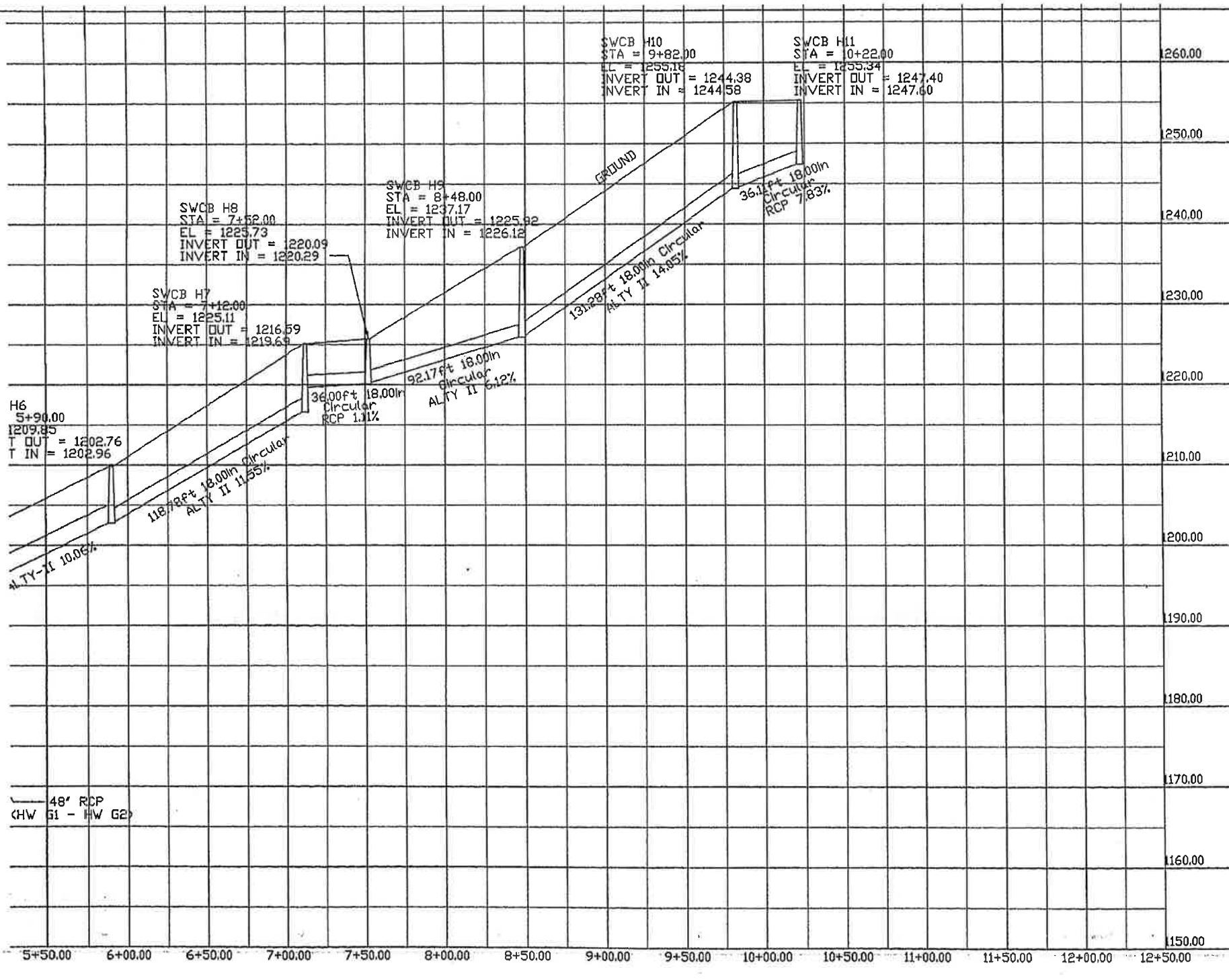
GEORGIA, DAWSON COUNTY
 CLERKS OFFICE, SUPERIOR COURT
 FILED FOR RECORD
 AT 10:15 AM 10-22-07
 Recorded in Book 74 Page 139
 This 22 day of October 2007
 [Signature]

HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



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SHEET 10 OF 17 JOB NO. 02012



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Sudh Mond, Clerk

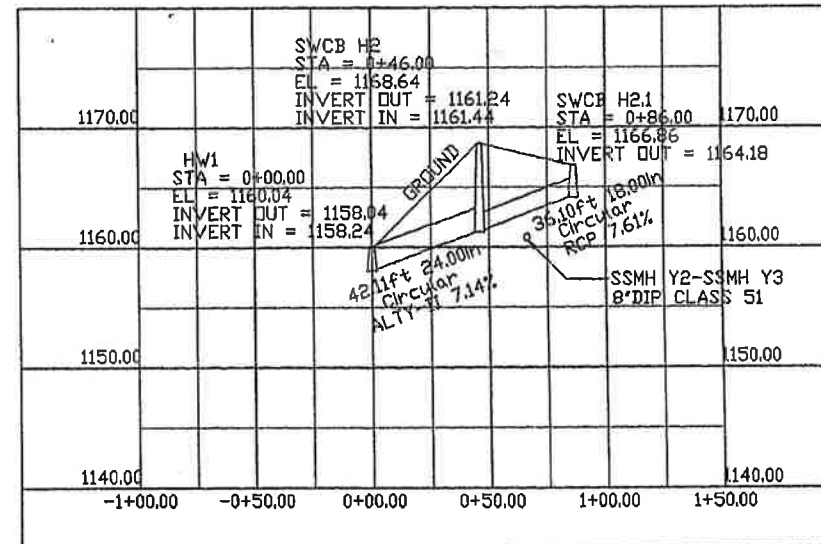
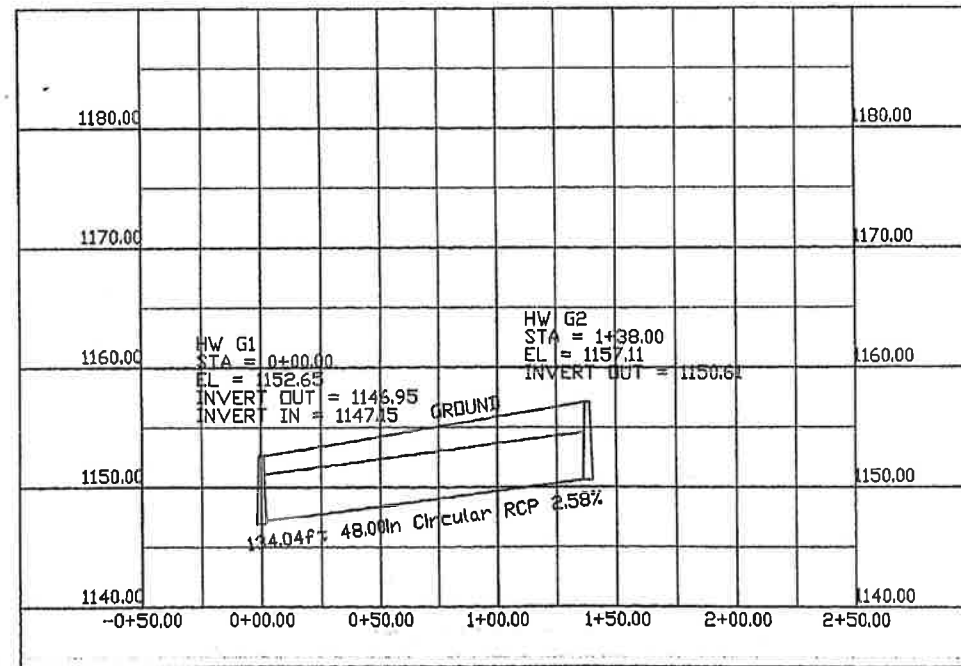
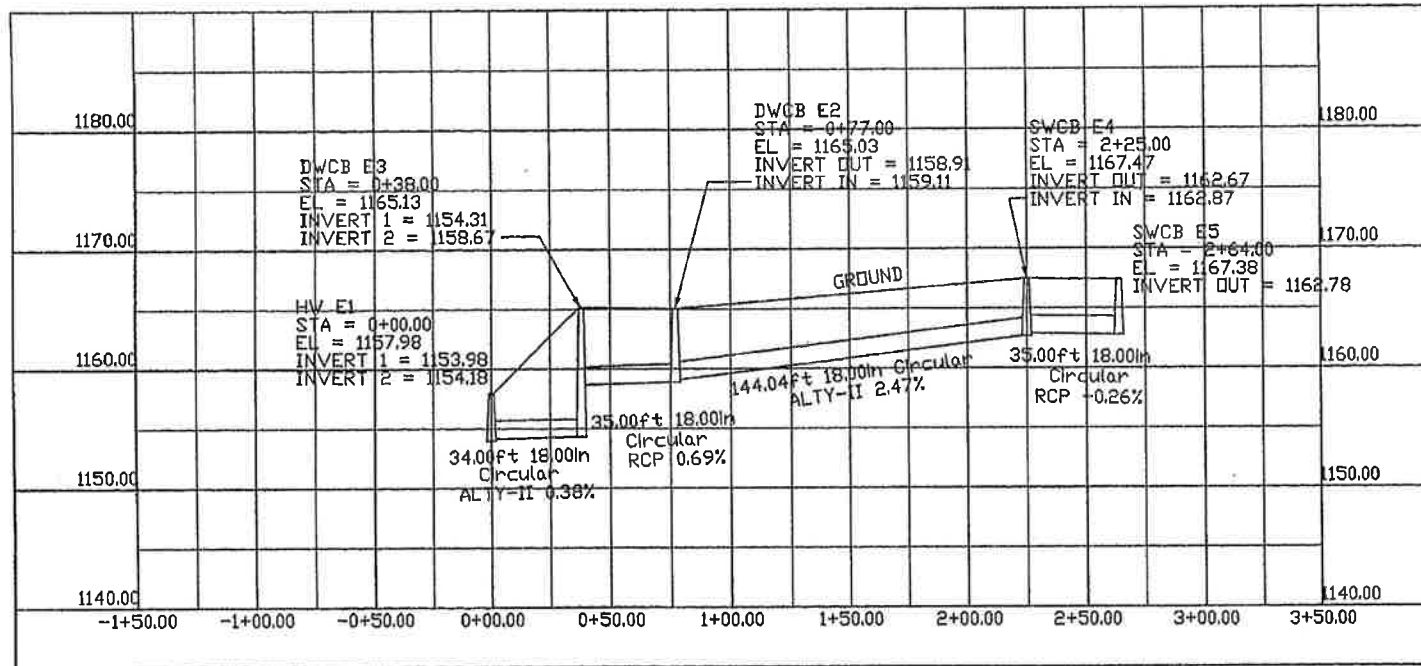


STORM PROFILES FOR:
BLUERIDGE 400, LLC
PHASE I
 LAND LOTS 499,542, & 543

13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'

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 P.O. BOX 561 CUMMING GA. 30028 (770)-889-6103
 101 WOODLAND DRIVE CUMMING GA. 30040
 SHEET 11 OF 17 JOB NO. 02012



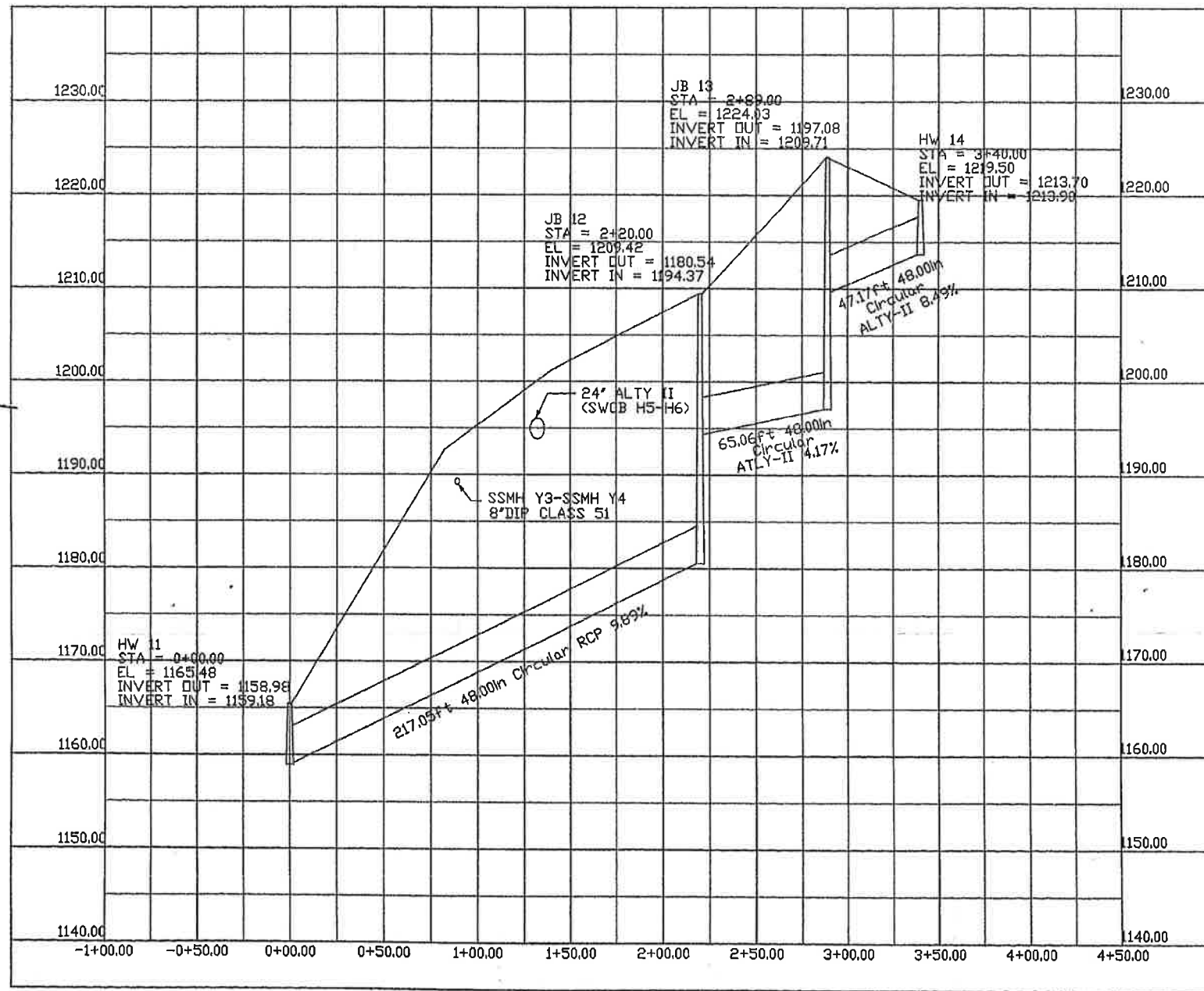
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CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD
AT 10:15 A.M. 10-22-07
Recorded in Plat Book 74 Page 143
This 22 day of October 2007
Dusty McLeod

STORM PROFILES FOR:
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'



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101 WOODLAND DRIVE CUMMING GA. 30040
SHEET 12 OF 17
JOB NO. 02012



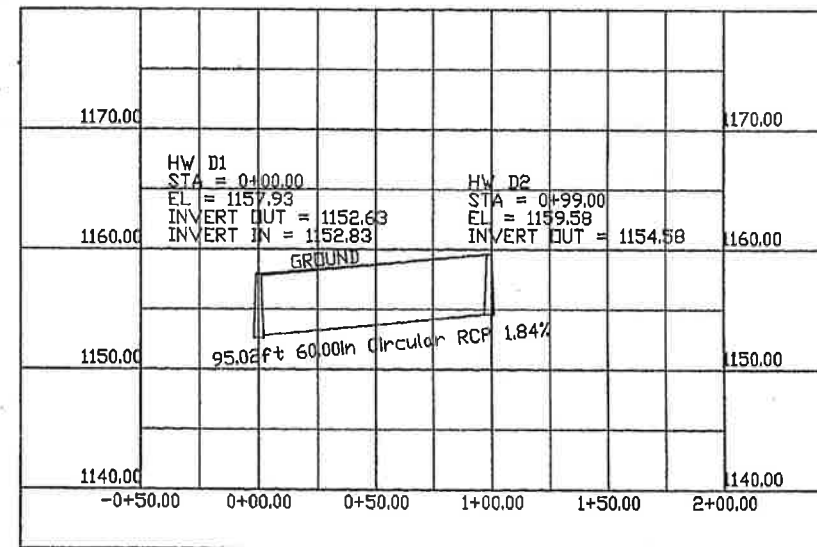
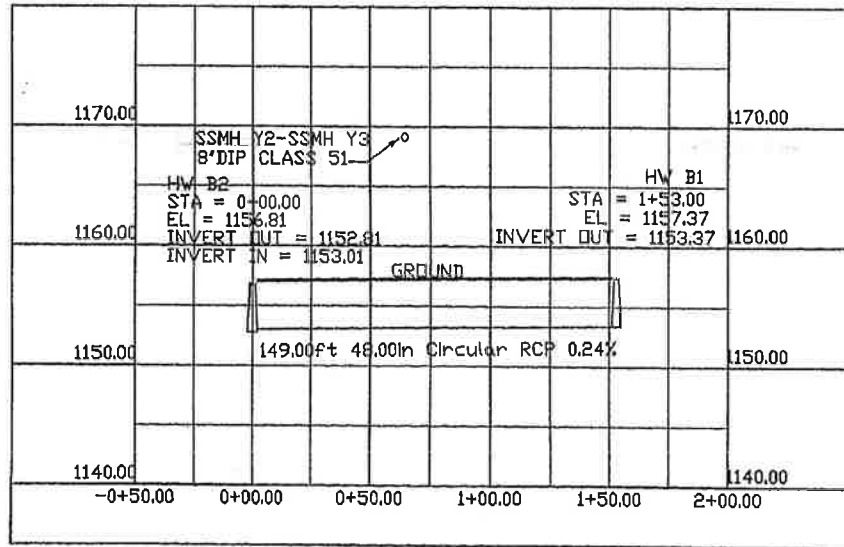
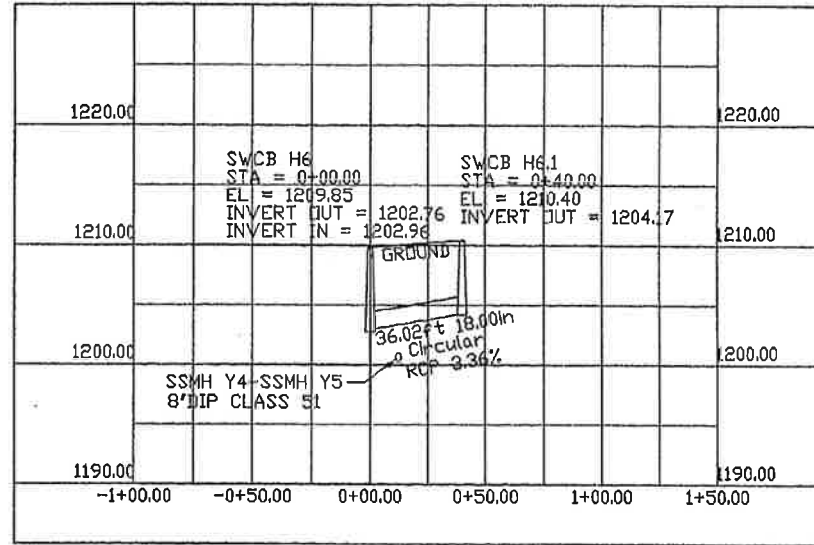
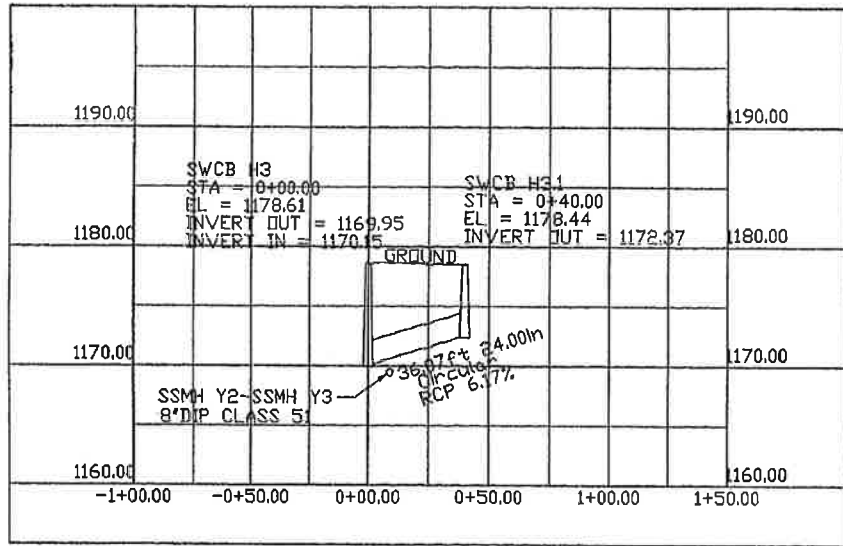
GEORGIA, DAWSON COUNTY
 CLERK'S OFFICE, SUPERIOR COURT
 FILED FOR RECORD
 AT 10:15 AM 10-22-07
 Recorded In Plat Book 74 Page 145
 This 22 day of October 20 07
 Judy McLeod, Clerk

STORM PROFILES FOR:
BLUERIDGE 400, LLC
 PHASE I
 LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



TECHNICAL LAND SERVICES INC. d/b/a
RICHARD WEBB & ASSOCIATES
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 101 WOODLAND DRIVE CUMMING GA, 30040
 SHEET 13 OF 17
 JOB NO. 02012



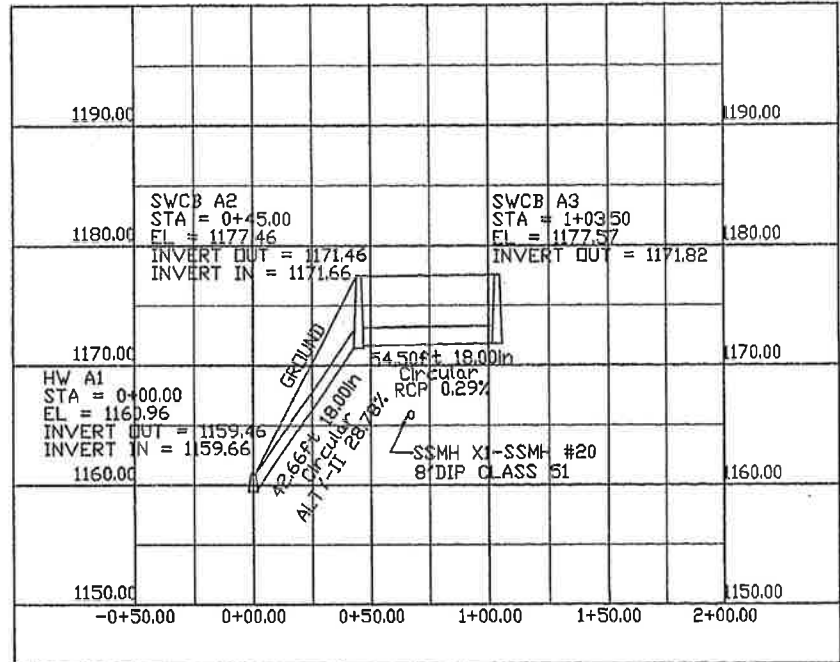
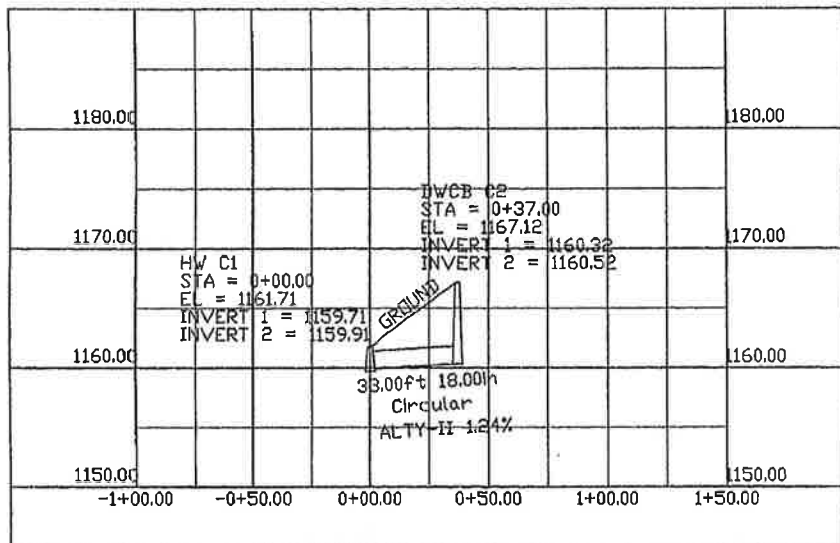
GEORGIA, DAWSON COUNTY
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 Recorded in Plat Book 17 Page 147
 This 22 day of October 20 07
 Clerk

STORM PROFILES FOR:
BLUERIDGE 400, LLC
PHASE I
 LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007

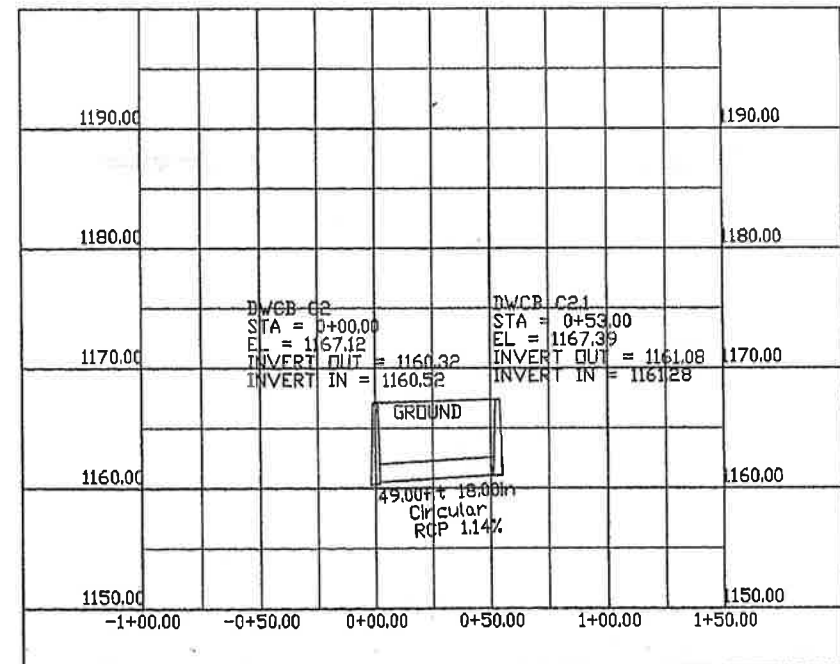
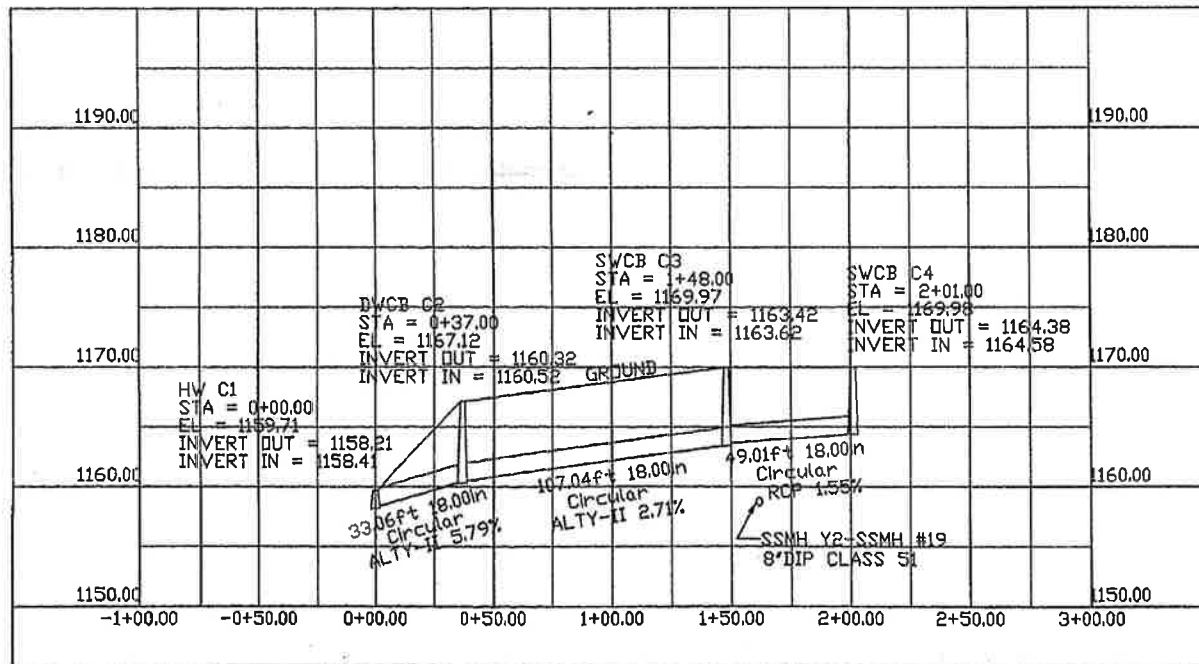
HORIZONTAL SCALE: 1"=50'
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AT 10:15 AM 10-22-07
Recorded in Plat Book 74 Page 149
This 22 day of October 2007
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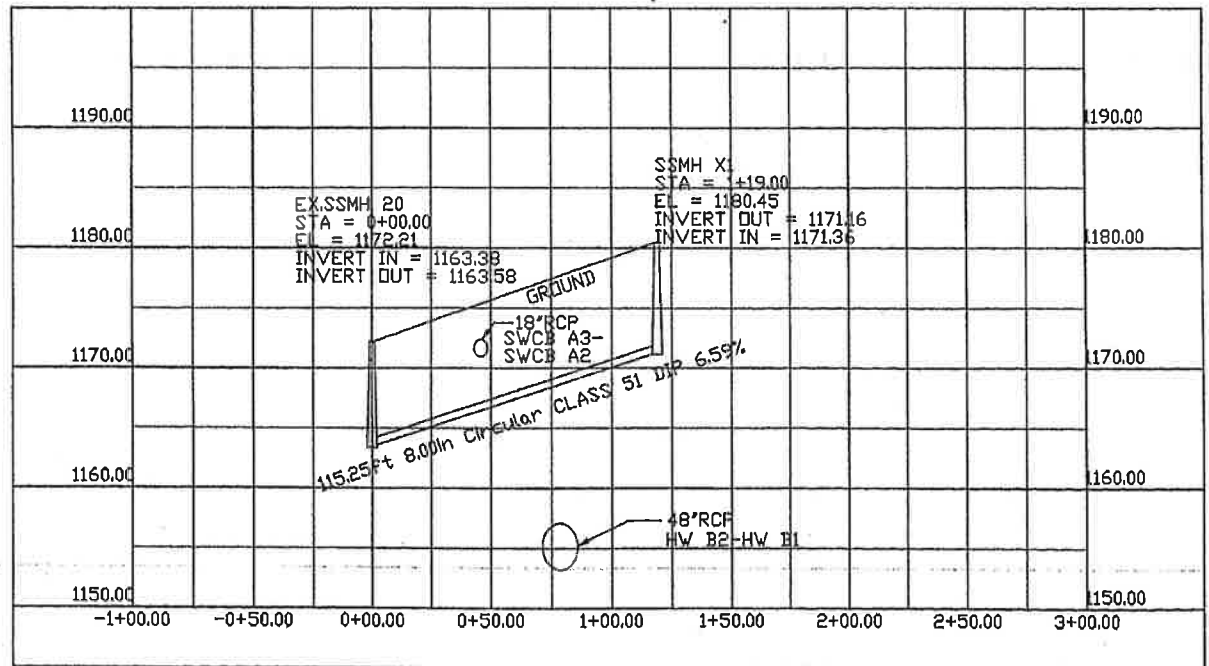
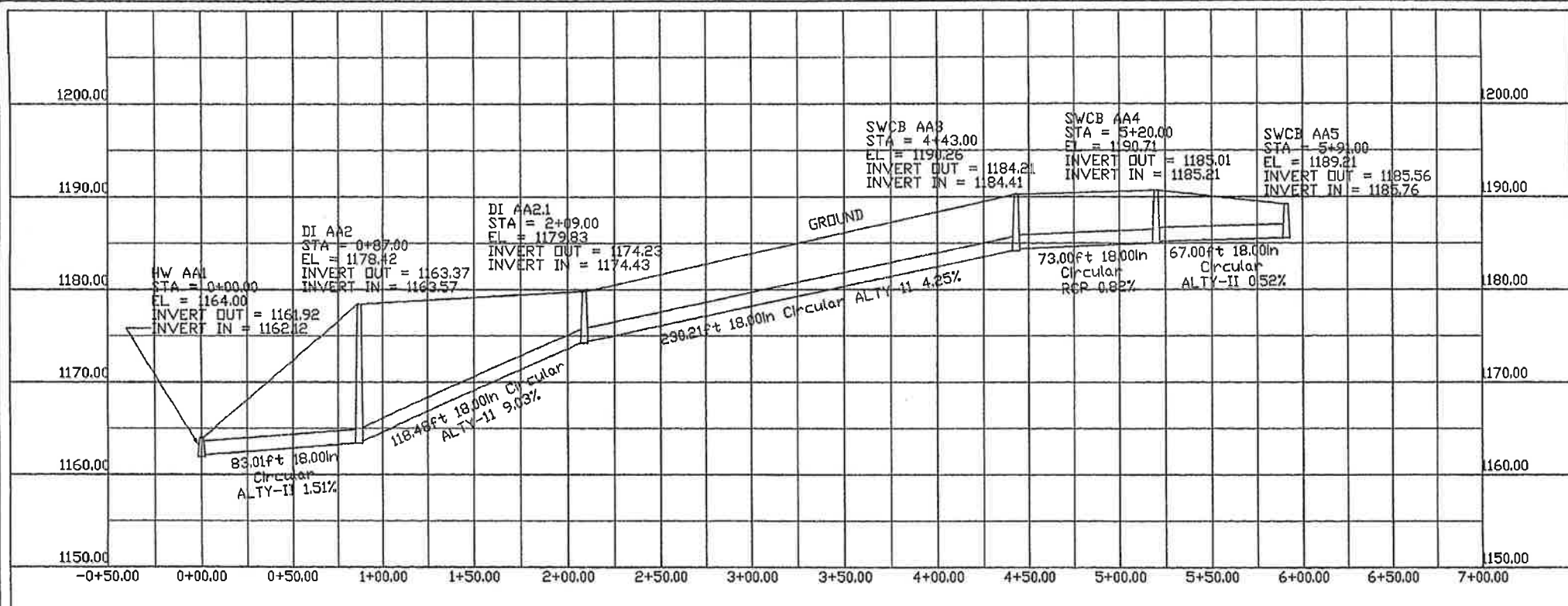


STORM PROFILES FOR:
BLUERIDGE 400, LLC
PHASE I
LAND LOTS 499,542, & 543
13TH DISTRICT - 1ST SECTION
400 CORRIDOR SOUTH
DAWSON COUNTY, GEORGIA
SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
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SHEET 15 OF 17
JOB NO. 02012



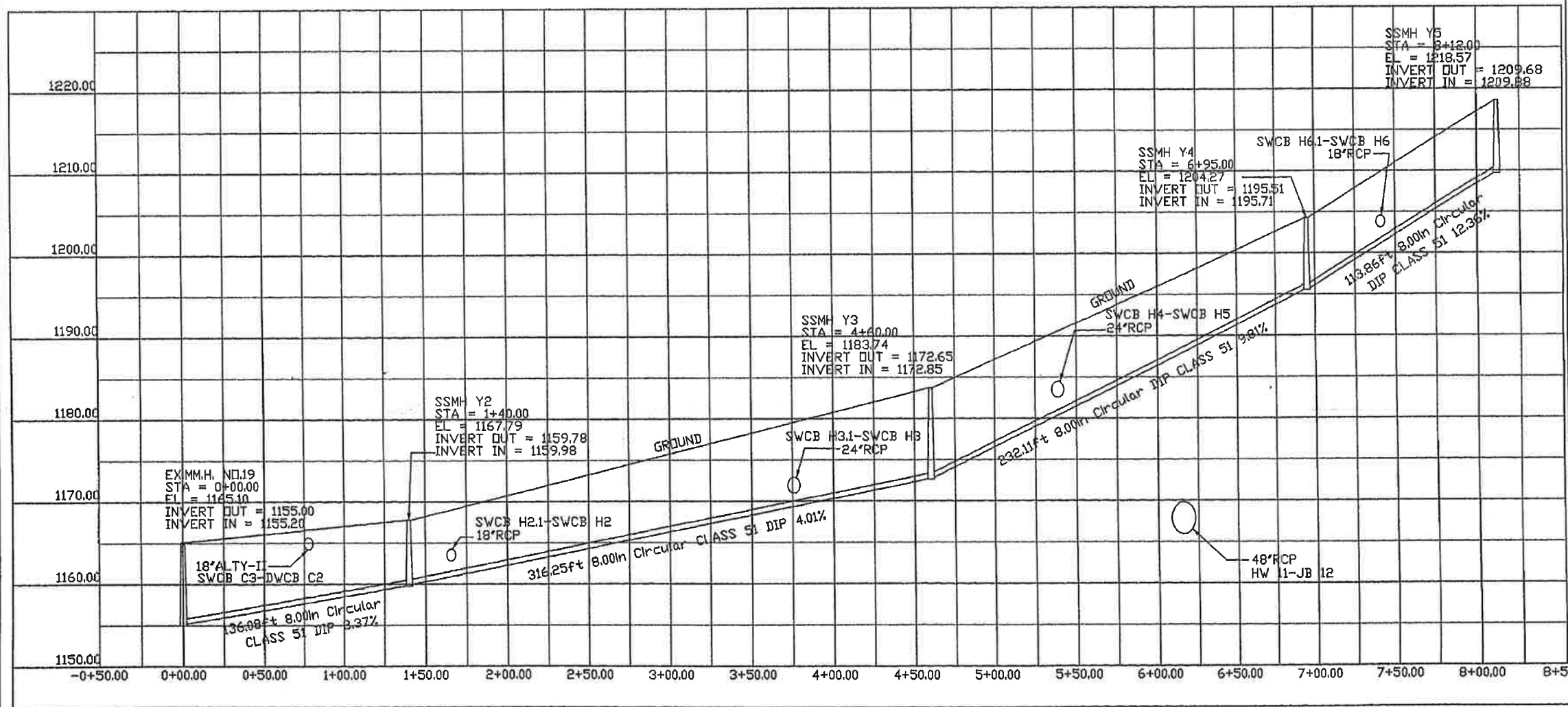
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 Clerk



STORM PROFILES FOR:
BLUERIDGE 400, LLC
 PHASE I
 LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
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 SHEET 16 OF 17 JOB NO. 02012



SANITARY SEWER PROFILES FOR:
BLUERIDGE 400, LLC
 PHASE I
 LAND LOTS 499,542, & 543
 13TH DISTRICT - 1ST SECTION
 400 CORRIDOR SOUTH
 DAWSON COUNTY, GEORGIA
 SEPTEMBER 15, 2007

HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



GEORGIA, DAWSON COUNTY
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 101 WOODLAND DRIVE CUMMING GA. 30040

SHEET 17 OF 17 JOB NO. 02012

**DAWSON COUNTY PLANNING COMMISSION
PLANNING STAFF REPORT AND RECOMMENDATION**

Applicant.....Richmond Honan Development & Acquisitions, LLC

Amendment #ZA-17-09

Request.....Amend existing CPCD

Proposed UseMixed Use Campus Style Senior Living Development

Current Zoning.....CPCD (Commercial Planned Comprehensive Development)

Size.....52.42± acres

LocationEast side of GA400, 600± north of its intersection with Blue Ridge Parkway

Tax Parcel.....107-319, 107-319-002, 107-319-004, & 107-319-005

Planning Commission DateFebruary 20, 2018

Staff RecommendationApproval- with stipulations

Applicant Proposal

The applicant is seeking to amend several existing CPCD zoned properties to develop a master planned mixed use senior living residential development interwoven with commercial, residential, and medical office uses. According to the applicant, as a full service community, residences will be able to receive a wide range of medical services as well as enjoy onsite shopping and dining. Furthermore, as a senior living campus, residences will be able to transition from limited care to full time care as their ability to look out for themselves decreases. The subject property is just north of the Dawson/Forsyth County line with direct SR 400 access.

History and Existing Land Uses

The subject property was originally zoned to CPCD years ago and has been amended numerous times (ZA03-02, ZA04-10, & ZA 05-07) as part of the Oakmont Subdivision. Oakmont is at the rear of the subject property and back toward Carlisle Road. The original CPCD zoning as it applies to the subject property in question was planned for a big box retail store, office space and various retail/restaurant outparcels (see original site plan on the next page with red/green delineation). Being a CPCD zoning, it is site specific and any change or deviation from original approval requires Board of Commissioners approval.

Below is a copy of the original CPCD which was approved years ago. The **green** highlighted parcels are what are being considered for amendment. The **red** delineated parcels are not under consideration for amendment.



The subject property is fairly wooded with adjacent properties to the North, South, and West zoned C-HB (Highway Business Commercial). Properties to the east are zoned RA (Residential Agriculture) and CPCD.

Adjacent Land Uses	Existing zoning	Existing Use
North	C-HB	Retail
South	C-HB	Vacant
East	RA & CPCD	Vacant & Single family Res.
West	C-HB	Retail

Development Support and Constraints

As currently zoned and planned, the applicant is limited to the preexisting CPCD parameters.

This CPCD revision is an extensive overhaul of what was originally approved to the point it is a completely new project and requires recommendation by the Planning Commission and final approval by the Board of Commissioners. The subject property has direct access via GA 400. At 52.42 acres, the site contains a total of 2,283,415 sq. ft. of area.

As part of the applicants provided master designed site specific plan, the request is as follows:

Commercial Uses:

Square Footage	Type Use	% of total Com.	% of total acreage
130,000 sq. ft.	Medical Offices	34.9%	5.7%
31,500 sq. ft.	Retail	8.45%	1.38%
141,000 sq. ft.	Assisted living	37.85%	6.18%
70,000 sq. ft.	Hotel	18.8%	3.07%
372,500 sq. ft. total	All above	100% of total/372.5K	16.33% of total ac,

Residential Uses: All units will be ADA (American with Disabilities Act) compliant.

Square Footage	Type Use	% of total Res.	% of total acreage
378,000 sq. ft.	200 units/Ind. Living	71.32%	16.55%
90,000 sq. ft.	60 units/duplexes	16.98%	3.9%
62,000 sq. ft.	40 units/Res. * retail	11.7%	2.72%
530,000 sq. ft. total	300 units total	100 of total/530k	23.21% of total ac.

* Residential lofts over retail.

The combined square footage of commercial and residential structures planned is 902,500 sq. ft. or 20.72± acres. This equates to 39.54% of the total 52.42± acres being occupied with roof top development i.e. “structures”

Sq. Ft./Com. & Res. total	Type Use	Total % of total acreage
902,500 sq. ft.	Commercial & Residential	39.54% of total acreage

Design Standards:

The site specific development plan details buildings with a maximum height of 60’. Furthermore, the structural setbacks proposed off of GA 400 are at 75’ instead of 100’ as required by the land use resolution.

Also, the site specific development plan request two (2) multi-tenant pylon signs to be located at each curb cut along GA 400 with a maximum height for each sign not to exceed 35’.

Relationship to the Comprehensive Plan and FLUP (Future Land Use Plan)

According to the 2013-2033 comprehensive plan and accompanying FLUP (Future Land Use Plan), the subject property is designated with the Mixed Use Corridor Character area and

identified as Commercial Highway on the Future Land Use Map (FLUM). The Mixed Use Corridor Character area designates larger parcels along GA 400 for campus style, mixed use activity centers. Additionally, the Commercial Highway FLUM is identified in areas of the County that is intended for non-industrial business uses.

With the Mixed Use Corridor Character Area designation and Commercial Highway FLUM identification, this request to rezone to CPCD for a mixed use campus style senior living development is both consistent with and aligns with the policies and intent of the Dawson County Comprehensive Plan.

Public Facilities/Impacts

- a) **Engineering Department** – See GDOT comments below.
- a) **Environmental Health Department** – No comments.
- b) **Emergency Services** – No comments.
- c) **Etowah Water & Sewer Authority** – Must meet EWSA standards.
- d) **Dawson County Sheriff’s Office** – No comments.
- e) **Board of Education** – No major impact to school system.
- f) **Georgia Department of Transportation** – This development will require improvements at the following intersections:
 - } SR 400 @ Blue Ridge Pkwy
 - } SR 400 @ the Right-in/Right-out driveway
 - } SR 400 @ Jot Em Down

An ICE (Intersection Control Evaluation) evaluation is required for the SR 400 @ Blue Ridge Pkwy intersection and an ICE waiver is required for the SR 400 @ Right-in/Right-out driveway.

Analysis/Factors to consider

- This is an existing CPCD zoned property; site specific and never built. Since the applicant/owner does not desire to develop the property as originally approved, they must come back before the BOC for plan amendment.
- Pertinent elements of the Comprehensive Plan anticipates this area of the County to be utilized as mixed use and the project as proposed, appears to be consistent with the plan.
- Per the applicant provided traffic study, the conclusion finds that the existing roadway network and geometry will sufficiently accommodate the proposed development, and no improvements to the roadway network are anticipated.

The following observations should be noted with respect to this request:

A. The existing uses and classification of nearby property.

Adjacent properties to the North, South, and West are commercially zoned with residentially zoned properties to the East; overall, consistent with the request as proposed.

B. The extent to which property values are diminished by the particular land use classification.

As currently zoned- CPCD, the original plan as approved is deemed unmarketable; which could potentially equate to a diminished property value. If amended, the CPCD could be developed into a project that should benefit the County as a whole.

C. The extent to which the destruction of property values of the applicant promotes the health, safety, morals, or general welfare of the public.

This rezoning should not be a destruction of property values or affect the general welfare of the public.

D. The relative gain to the public, as compared to the hardship imposed upon the individual property owner.

The relative gain to the public will be more medical office, commercial, and residential choices; particularly for the emerging 55+ demographic. If denied, the hardship will be an unutilized parcel in a very visible area of the County.

E. The suitability of the subject property for the proposed land use classification.

This request as proposed should be seen as suitable to the proposed land use classification.

F. The length of time the property has been vacant under the present classification, considered in the context of land development in the area in the vicinity of the property.

As currently zoned and according to the applicant/owner, the site specifics of the original CPCD limit/prohibit the ability to develop the property to growth and development trends currently seen. This area of the County has the available infrastructure to serve the site to include, road systems, public water, and sanitary sewer.

G. The specific, unusual, or unique facts of each case, which give rise to special hardships, incurred by the applicant and/or surrounding property owners.

Granting the rezoning should not harm the surrounding area.

Staff Recommendation

Staff has reviewed the application to amend the existing CPCD zoned properties. Based on the above analysis and information provided, the planning department recommends **APPROVAL** of the rezoning with the following stipulations.

- (1) The project shall be developed to the standards set forth in the applicant/owner provided letter of intent and master designed site plan. Pertinent sq. ft. maximums shall include:

Commercial/Medical Office

- 130,000 sq. ft. of office space
- 31,500 sq. ft. of retail space
- 141,000 sq. ft. of assisted living space
- 70,000 sq. ft. hotel space

Residential-Maximum

- 200 independent living dwelling units
- 60 senior duplex dwelling units
- 40 residential loft dwelling units over retail space

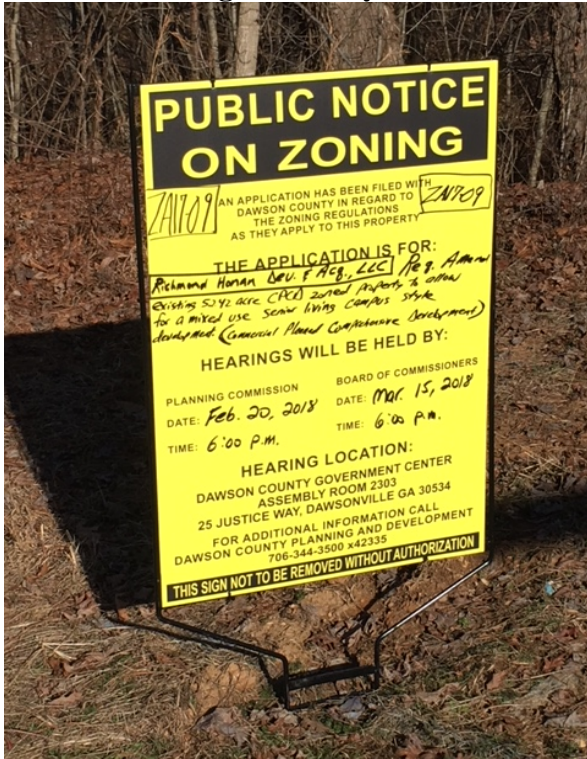
Design Standards

- Front setbacks off of GA 400 shall be 75'.
- Two (2) multi-tenant pylon signs to be located along GA 400 not to exceed 35' in height.

- (2) Any deviation of intent or plans as set forth in this amendment shall be subject to review by the Director of Planning and Development to include approval, denial, or requiring further amendment of the CPCD zoning.

- (3) All stipulations of zoning shall be made a part of any plats, plans, or permits associated with this development.

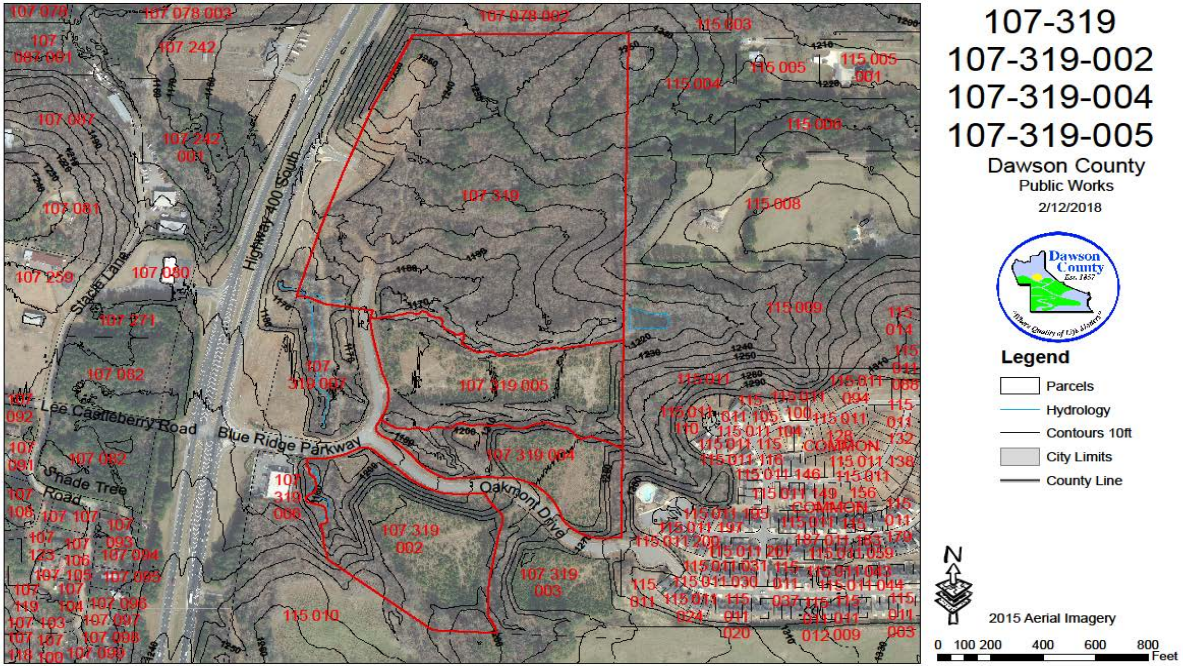
Pictures of zoning signs placed on property:
 @ Blue Ridge Parkway



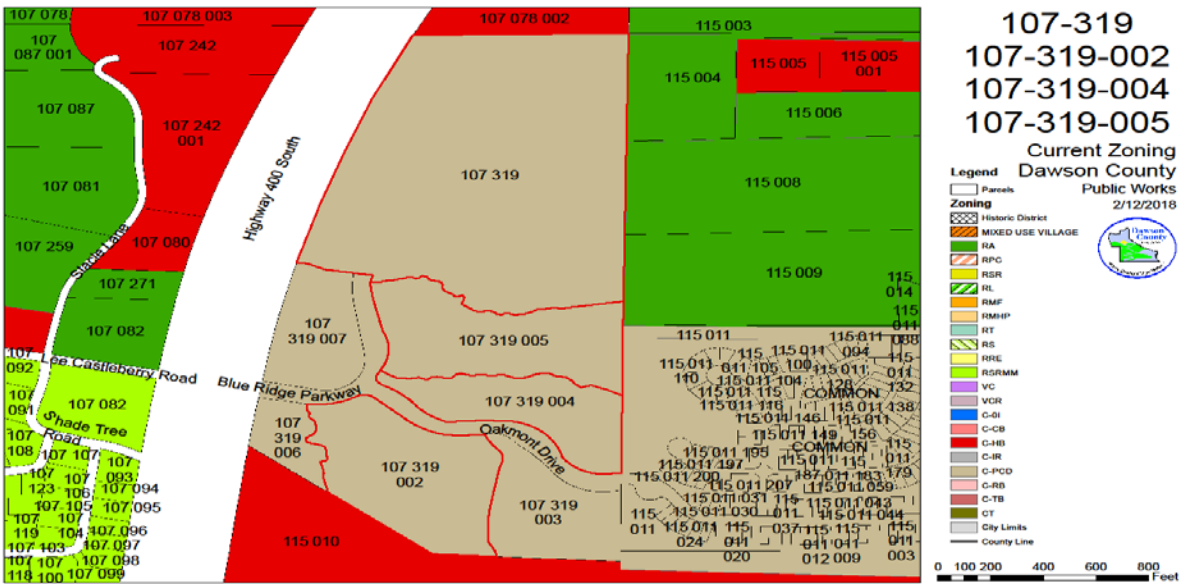
@ GA 400



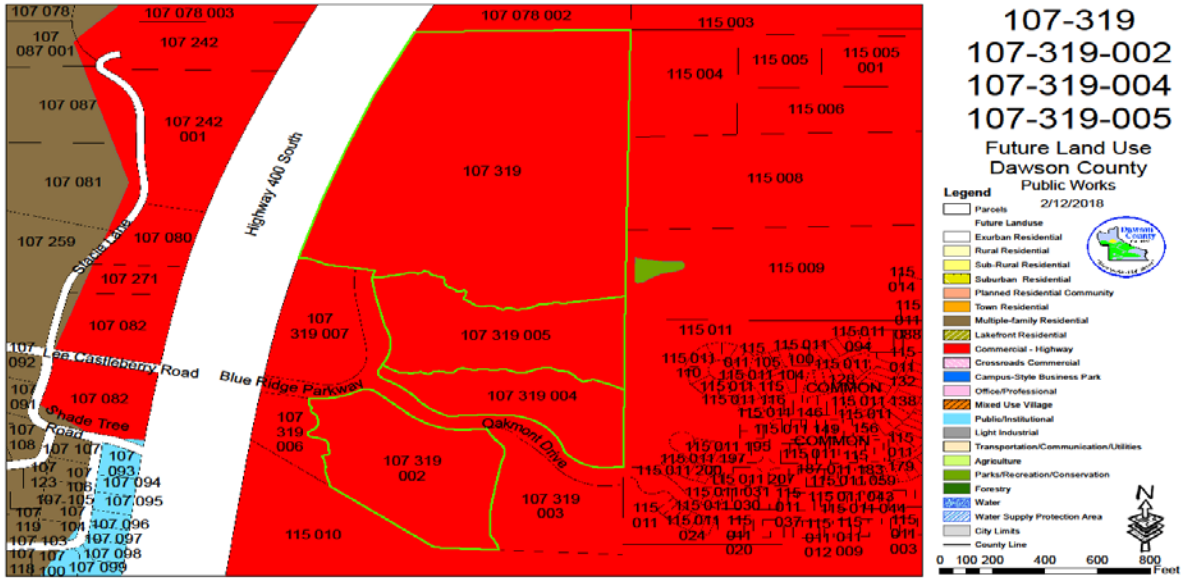
Map: Topography



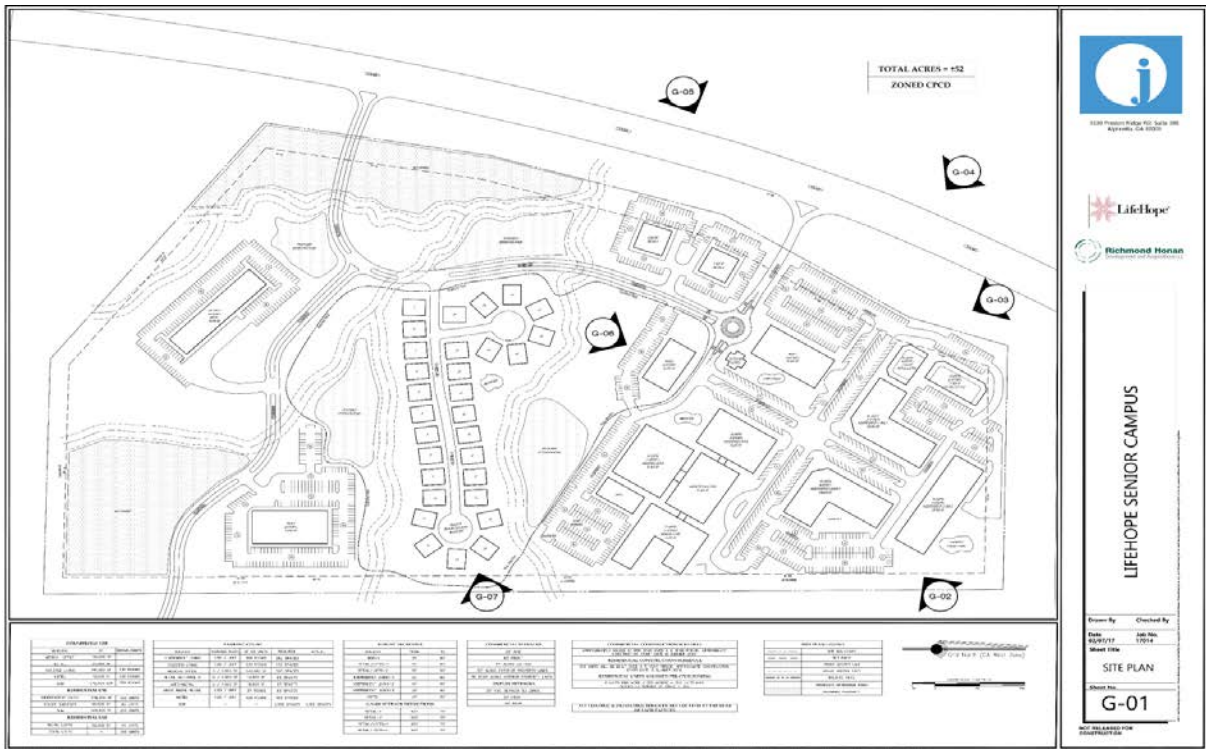
Map: Zoning



Map: FLUM (Future Land Use Map)



Master Designed Site Plan:



Proposed exterior elevations of buildings with GA 400 to the right and looking in a Southwesterly direction. Forsyth County would be just above the tree line.



Proposed exterior elevations of buildings with GA 400 to the right and looking in a Southeasterly direction. Again, Forsyth County would be just above the tree line.



Proposed exterior elevations of buildings with GA 400 below (unseen) and looking in a due East direction.



Proposed exterior elevations of buildings with GA 400 at the bottom with a due East view. The **gold** colored structures at the rear represent the existing Oakmont S/D back toward Carlisle Road.



Proposed exterior elevation of buildings with GA 400 to the left and a Northerly view.



Proposed exterior elevations with GA400 at the top and looking in a Westerly direction.



Backup material for agenda item:

1. Resolution Transmitting a Draft Capital Improvements Element (CIE) (*1st of 1 hearing*)



DAWSON COUNTY ANNOUNCEMENT AND ADVERTISEMENT REQUEST

Submitting Department:	Planning & Development	Department contact name:	Jason Streetman
Submittal Date:	03-07-18	Run Dates:	03/14/18 & 03/21/2018
AD Description :	Notice of Public Hearing for CIE Transmittal	Section of Paper:	Public Notice
Name of Paper:	Dawson County News	Do you want your ad online:	As Available

Notice of Public Hearing

Notice is hereby given that a public hearing shall be held at the Dawson County Government Center, 25 Justice Way, Assembly Room 2302, Dawsonville, GA, on Thursday, April 5, 2018, at 6:00 p.m. before the Dawson County Board of Commissioners to consider a resolution transmitting a draft Capital Improvements Element relating to the County's consideration of an impact fee program, to the Georgia Mountains Regional Commission for regional and State review pursuant to the Georgia Planning Act of 1989. Said public hearing will be held in accordance with Section (10)(a)1 of Chapter 110-12-2-.04 of the State's Development Impact Fee Compliance Requirements. Any persons wishing to be heard on the draft Capital Improvements Element amendment are invited to attend.

O.C.G.A. § #

Department Head Approval:

DRAFT

Transmittal Resolution
Capital Improvements Element
Dawson County, Georgia

WHEREAS, Dawson County has prepared a draft Capital Improvements Element, which will be incorporated into and update the *Dawson County Comprehensive Plan*; and

WHEREAS, the draft Capital Improvements Element was prepared in accordance with the “Development Impact Fee Compliance Requirements” and the “Minimum Standards and Procedures for Local Comprehensive Planning” adopted by the Board of Community Affairs pursuant to the Georgia Planning Act of 1989; and,

WHEREAS, a duly advertised Public Hearing was held by the Dawson County Board of Commissioners on Thursday April 5, 2018, at 6:00 P.M. in the Dawson County Courthouse in accordance with Section (10)(a)1 of Chapter 110-12-2-.04 of the Development Impact Fee Compliance Requirements;

BE IT THEREFORE RESOLVED, that the Board of Commissioners of Dawson County, Georgia, does hereby submit the draft Capital Improvements Element to the Georgia Mountains Regional Commission for Regional and State review, as per the requirements of the Development Impact Fee Compliance Requirements.

Adopted this 5th day of April, 2018.

BY: _____
Chairman, Billy Thurmond

ATTEST: _____
County Clerk, Kristen Cloud

Backup material for agenda item:

1. Consideration of Blaw-Knox Tracked Paver Purchase- Public Works Director David McKee / Purchasing Manager Melissa Hawk



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Public Works

Work Session: N/A

Prepared By: Melissa Hawk

Voting Session: 04/05/18

Presenter: David McKee/Melissa Hawk

Public Hearing: Yes No

Agenda Item Title: Blaw-Knox Tracked Paver Presentation

Background Information:

The Public Works – Roads Department was approved to purchase equipment with SPLOST VI funds. This department is in need of replacing the currently owned paver, which was approved on March 15, 2018, to be surplused.

Current Information:

Volvo is available on the Georgia Department of Administrative Services Statewide contract #99999-01-SPD0000102. Pricing was compared between the two vendors contracted to sale paver equipment. ASC Construction Equipment USA, Inc. (Volvo) has the best price and the best discount off of MSRP.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: To accept, issuing a purchase order to ASC Construction Equipment USA, Inc (Volvo) for a total of \$397,051.00 from approved SPLOST VI funds to purchase a Volvo P7110B paver with 10' electric Wedge-Lock screed from the DOAS contract #99999-01-SPD-0000102.

Department Head Authorization: David McKee

Date: 03/23/2018

Finance Dept. Authorization: _____

Date: _____

County Manager Authorization: _____

Date: _____

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Presentation

BLAW-KNOX TRACKED PAVER

VOTING SESSION APRIL 5, 2018



Background

- ▶ SPLOST VI funds have been approved to procure Public Works equipment.
- ▶ Very similar to the current paver, was purchased used and is approximately 10 years old, several safety concerns, costly repairs needed and approved for surplus on March 15, 2018.
- ▶ Purchase would allow the Public Works – Road Department to continue paving services at a significantly reduced cost to the public.
 - ▶ Public works paves projects to account for our match portion of all LMIG or other projects requiring a match from the county.
 - ▶ Qualified staff and crew.

Acquisition Strategy & Outcome

- ▶ Utilized the Purchasing Policy Ordinance for Cooperative Agreement Purchases.
- ▶ Georgia Department of Administrative Services maintains a contract for this equipment with ASC Construction Equipment USA, Inc. (Volvo) and Yancey Brothers Company (Caterpillar)
- ▶ Contract Details:
 - ▶ ASC Construction – 40% off MSRP
 - ▶ Yancey Brothers – 22% off MSRP
- ▶ Equipment chosen:
 - ▶ Volvo P7110B – Channel 1 Machine – final contract cost - \$397,051.00, including freight and paver set up.
 - ▶ 10' Trac Paver equipped with a 10' Electric Wedge-Lock Screed and 12" fixed extension (1 per each side)
 - ▶ Delivery Time – 3 to 4 weeks



Recommendation

Staff respectfully requests the Board to approve issuing a purchase order to ASC Construction Equipment USA, Inc. (Volvo) for a total of \$397,051.00 from approved SPLOST VI funds to purchase a Volvo P7110B paver with 10' electric Wedge-Lock screed from GDOAS contract #99999-01-SPD0000102.



Backup material for agenda item:

1. Consideration of Text Amendments to the Development and Design Guidelines Georgia 400 Corridor (*tabled from the March 15, 2018, Voting Session*)



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Planning

Work Session: 2.8.18

Prepared By: Streetman

Voting Session: 2-15-18

Presenter: Streetman

Public Hearing: Yes No

Agenda Item Title: Text Amendments to Dawson County Land Use Resolution and GA 400 Corridor Overlay Standards

Background Information:

In an effort to clean up outdated, confusing, or improve development regulations for the County, we are asking you to consider and approve the following text amendments to the Dawson County Land Use and GA 400 Corridor Overlay Standards.

Current Information:

Please see separate documents to include: A memo with the specific sections to be amended of both codes and complete land use and GA 400 Corridor overlay regulations with the new amendments added.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Approve

Department Head Authorization: JStreetman

Date: 2.2.18

Finance Dept. Authorization: _____

Date: _____

County Manager Authorization: _____

Date: _____

County Attorney Authorization: _____

Date: _____

Comments/Attachments:



Dawson County Planning & Development Department
Office of Planning & Zoning

25 Justice Way, Suite 2322, Dawsonville, GA 30534 (706) 344-3500 x.42335

Jason Streetman, AICP
Planning Director

MEMORANDUM:

TO: DAWSON COUNTY PLANNING COMMISSION & BOARD OF COMMISSIONERS
FROM: JASON STREETMAN
RE: AMENDMENTS TO LAND USE RESOLUTION & 400 CORRIDOR OVERLAY
DATE: JANUARY 10, 2018

Dear PC/BOC members:

In an effort to improve development standards and better provide for consistent land development within Dawson County, we are asking you to consider and approve the following text amendments to the Dawson County Land Use Resolution and 400 Corridor Overlay.

As you review the requested text changes in a separate document, any proposed additions will be in **red bold text**. Any proposed deletions will have a ~~**bold strikethrough**~~. Unaffected text shall remain unchanged.

Notice to revise/amend certain text of the Land Use Resolution of Dawson County, Georgia:

Section 300 Purpose –campers, travel trailers, busses, utility buildings cannot be used as a dwelling.
Section 305 Manufactured homes, moved in subject to inspection prior to permitting.
Section 306 RMF –height of structures not limited in multi-family dwelling units.
Section 309 RA – wedding venues allowed as ancillary/accessory use with a minimum of 15 acres
Section 404 C-PCD-height of structures not limited in 2 or 3 story buildings.
Section 407 Conditional Use- better define conditional uses in lieu of traditional rezoning
Section 606 Nonconforming Uses.- reduce re-establishing from 1 year to 90 days.
Sections 1301Definitions: Industrialized Building & Manufactured Home- and others

Notice to revise/amend certain text of the Development and Design Guidelines Georgia 400 Corridor Dawson County, Georgia:

Section 5.8 Landscaping, Additional Requirements--see more restrictive landscaping/tree ordinance
Section 6.3 Exterior Materials-replaces should with shall, takes franchise aesthetics into consideration.
Section 7.1 Generally- tightens up requirements for storage areas, transformers, generators etc.
Section 7.2 Trash Enclosures- no longer allows chain link fencing.
Section 8.3 Automobile Sales, Parts, and Service Establishments- removes should for shall
Section 12.9 Signs, Requirements- see more restrictive landscaping/tree ordinance.

400 Corridor Overlay text amendments

CHAPTER FIVE LANDSCAPING

5.8. Landscaping, Additional Requirements

5.8. Landscaping, Additional Requirements

See Dawson County Buffer, Landscape, and Tree Ordinance

CHAPTER SIX ARCHITECTURE OF PRINCIPAL BUILDINGS 48

6.3. Exterior Materials 49

6.3. EXTERIOR MATERIALS

A. All sides of a building may impact on its surroundings and should be considered for treatment with an architectural finish of primary materials (i.e., brick and stone). As a ~~general rule requirement~~, front facades ~~should~~ shall be at least eighty (80) percent brick and/or stone. Side facades ~~should~~ shall be at least fifty (50) percent brick and/or stone. ~~Unless clearly visible from a road way, Rear rear~~ rear facades do not have a minimum requirement for primary materials and can consist entirely of secondary materials (e.g., stucco). Tertiary materials (i.e., wood and metal) should be used for decorative elements and trim only. ~~If the rear façade is visible from the road, it shall be comprised of at least fifty (50) percent brick and/or stone.~~

B. Exterior building materials on the primary structure ~~should~~ shall not include smooth-faced concrete block, tilt-up concrete panels, or prefabricated steel panels.

C. The following types of building materials are ~~highly discouraged~~ prohibited: highly reflective, shiny, or mirror-like materials; mill-finish (non-colored) aluminum metal windows or door frames; exposed, unfinished foundation walls; exposed plywood or particle board; and unplastered, exposed concrete masonry blocks.

D. All exterior facades of a structure located on an outparcel of a larger development ~~should~~ shall be considered ~~primary front and side~~ front and side facades only and ~~should~~ shall employ architectural, site, and landscaping design elements which are integrated with and common to those used on the primary structure on the site. Common design elements should include colors and materials associated with the main structure or structures on the larger development.

E. ~~Buildings that are stylized in an attempt to use the building itself as advertising should generally be discouraged, particularly where the proposed architecture is the result of a "corporate" or franchise style.~~ Buildings that are stylized as part of a required corporate or franchise look that cannot meet the requirements in 6.3.; may make a request in writing to the Planning Director and provide compelling documentation as to why minimal relief to these requirements should be granted. Documentation required shall include but not be limited to: exterior elevations of proposed building(s) with façade material(s), the breakdown in percentages of primary façade materials, photographic and/or simulated images of the proposed structure, and any other applicable documentation showing how the proposed deviation shall not undermine the policies and intent of this ordinance; and if approved, only the minimum amount of relief shall be granted. Any development applicant aggrieved by the interpretation of the Planning Director may appeal to the Board of Commissioners as per Section 509.5.

CHAPTER SEVEN ACCESSORY STRUCTURES AND AREAS 57

7.1. Generally 57

7.1. GENERALLY

A. Unattractive project elements such as storage areas, transformers, generators and similar features ~~should~~ shall be sited in areas ~~which are generally~~ not visible from the street and must also be screened from view. **Any deviation shall be reviewed case by case and subject to the Director of Planning and Development.**

7.2. Trash Enclosures 57

7.2. TRASH ENCLOSURES

A. Trash enclosures shall be **gated and** constructed of sturdy, durable, opaque materials (with trash receptacles screened from view) which are designed to be compatible with the project architecture ~~and should use similar materials.~~ **Chain link fencing is not allowed.**

CHAPTER EIGHT COMMERCIAL DEVELOPMENT 61

8.3. Automobile Sales, Parts, and Service Establishments 65

8.3. AUTOMOBILE SALES, PARTS, AND SERVICE ESTABLISHMENTS

A. The service area and/or service bays ~~should~~ shall be screened ~~or sited so they are not visible as~~ to limit visibility from the street.

CHAPTER TWELVE SIGNAGE 83

12.9 Signs, Requirements

12.9. Signage, Additional Requirements

See Sign Ordinance of the Board of Commissioners of Dawson County, Georgia.

DEVELOPMENT AND DESIGN GUIDELINES GEORGIA 400 CORRIDOR DAWSON COUNTY, GEORGIA



Adopted by the Board of Commissioners
December 18, 2000

Prepared Under Contract By:

*JERRY WEITZ, PH.D., AICP PLANNING &
DEVELOPMENT CONSULTANT ALPHARETTA,
GEORGIA*

In Association With:
Jeff Watkins, AICP
Cumming, Georgia

A RESOLUTION AMENDING THE LAND USE RESOLUTION OF DAWSON COUNTY, GEORGIA, APPROVED AND ADOPTED IN REGULAR SESSION BY THE BOARD OF COMMISSIONERS FEBRUARY 23, 1998, AS AMENDED, TO ADOPT BY REFERENCE THE DEVELOPMENT AND DESIGN GUIDELINES FOR THE GEORGIA 400 CORRIDOR, TO PROVIDE FOR VARIANCES AND APPEALS, TO PROVIDE FOR SEVERABILITY, TO REPEAL CONFLICTING ORDINANCES, AND FOR OTHER PURPOSES

WHEREAS, THE BOARD OF COMMISSIONERS APPOINTED A COMMITTEE OF INTERESTED CITIZENS TO STUDY AND RECOMMEND DEVELOPMENT AND DESIGN GUIDELINES FOR THE GEORGIA 400 CORRIDOR; AND

WHEREAS, THE BOARD HAS COMMISSIONED A CONSULTANT TO PREPARE DEVELOPMENT AND DESIGN GUIDELINES FOR THE GEORGIA 400 CORRIDOR; AND

WHEREAS, THE COMMITTEE HAS REVIEWED AND CONSENTED TO THE ADOPTION OF THE DEVELOPMENT AND DESIGN GUIDELINES PREPARED BY THE CONSULTANT FOR THE GEORGIA 400 CORRIDOR; AND

WHEREAS, THE DAWSON COUNTY PLANNING COMMISSION HAS CONSIDERED THIS MATTER; AND

WHEREAS, THE DEVELOPMENT AND DESIGN GUIDELINES ADDRESS GRADING AND SITE DEVELOPMENT, LANDSCAPING, PEDESTRIAN CIRCULATION, VEHICULAR ACCESS, ARCHITECTURE, SIGNAGE, OUTDOOR LIGHTING, AND OTHER ASPECTS OF SITE DEVELOPMENT;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF DAWSON COUNTY, GEORGIA, AND IT IS HEREBY RESOLVED BY THE AUTHORITY OF THE SAME THAT THE LAND USE RESOLUTION IS AMENDED IN THE FOLLOWING RESPECTS:

I.

ARTICLE V, "GENERAL PROVISIONS" IS AMENDED TO ADD A NEW SECTION 509, "DEVELOPMENT AND DESIGN GUIDELINES FOR THE GEORGIA 400 CORRIDOR" TO READ AS FOLLOWS:

509.1 Adoption by Reference. The "Development and Design Guidelines for the Georgia 400 Corridor, Dawson County, Georgia," pages 1-101, are hereby adopted by reference and made a part of this resolution.

509.2 Applicability. All development applications, except for single-family dwellings on individual lots, on properties lying wholly or partially within the Georgia 400 Corridor, shall be subject to the Development and Design Guidelines for the

Georgia 400 Corridor. The boundaries of the Georgia 400 corridor shall be the north and south portions of the Georgia 400 Overlay District as shown on the Dawson County, Georgia Overlay Districts Plan on file in the office of the Planning Director, and as shown on a map within the Development and Design Guidelines. In the event that questions arise regarding whether a property lies within the Georgia 400 corridor, the Planning Director shall make the determination. In the event that a proposed development lies only partially within the Georgia 400 corridor, the entire development, including lands outside the corridor, shall be subject to the guidelines.

509.3 Interpretation and Administration. The guidelines shall be interpreted by the Planning Director. When the word "shall" is used in a particular provision, that provision shall be mandatory and the development must be consistent with that guideline. When the word "should" is used in a particular provision, that provision is a recommended practice, and development is encouraged to meet that guideline. Although guidelines with the word "should" are not regulations per se, applicants must demonstrate good faith effort to meet said guidelines and provide reasons why deviation from said guidelines is necessary. The Planning Director may approve developments that do not meet all non-mandatory guidelines, but the Planning Director shall not be authorized to approve a development that does not meet all mandatory guidelines. The Planning Director may also withhold development approval where, in his or her judgment, the development applicant has failed to present a good faith effort to meet the guidelines.

509.4 Variances. Variances to the mandatory guidelines may be made upon application to the Planning Director and approved by the Dawson County Board of Commissioners after a public hearing. Variances to the mandatory guidelines are not subject to the provisions of Article VIII of the Land Use Resolution; provided, however that the criteria established in Section 802 of the Land Use Resolution shall be used as a basis for considering variance requests.

509.5 Appeals. Any development applicant aggrieved by an interpretation or administrative action of the Planning Director pursuant to this section may file an appeal with the Dawson County Board of Commissioners on forms prescribed by the Planning Director. The Board may affirm or overturn the decision or interpretation of the Planning Director in the administration and interpretation of this section.

II.

THIS RESOLUTION SHALL TAKE EFFECT IMMEDIATELY UPON ITS ADOPTION BY THE BOARD OF COMMISSIONERS.

III.

ALL RESOLUTIONS AND ORDINANCES IN CONFLICT WITH THIS RESOLUTION
ARE REPEALED.

Adopted, this the 18th day of December, 2000.

Robert L. Wallace, Chairman

Shane Long, Commissioner, District 1

Tracey Phillips, Commissioner, District 2

Jim King, Commissioner, District 3

Julie Hughes Nix, Commissioner, District 4

Attest:

Bill Johnsa, County Manager

Approved as to Form:

Joseph Homans, County Attorney

DEVELOPMENT AND DESIGN GUIDELINES
GEORGIA 400 CORRIDOR
DAWSON COUNTY, GEORGIA

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CHAPTER ONE

INTRODUCTION AND OVERVIEW

1.1. ABOUT URBAN DESIGN

Urban design is a discipline that describes and evaluates the characteristics and interrelationships of all elements of the three-dimensional form of the urban environment. Urban designers use an interdisciplinary approach that combines architecture, landscape architecture, and urban planning. Urban designers interrelate and arrange various elements of the built environment—distance, materials, scales, views, building style, road alignments, vegetation and other items—to form an attractive built environment. In doing so, urban designers are concerned not only with people observing the built environment from fixed points with particular developments, but also with observers moving by and perceiving buildings from further distances.

Careful attention to attractive and pedestrian-friendly urban design is in the economic interests of the county, its citizens, and business owners. Attractive and integrated urban design features tend to improve an area's image, raise overall property values, attract new businesses and residents, and improve the quality of life. Research and experience have shown that there is a positive return on investment for design features, for both government and property owners. For example, the money a community spends on landscaped roadway medians, sidewalks, and street trees is likely to be amply returned in the form of increased tax revenue resulting from the overall increase in property values that accompanies attractive and desirable urban areas.

Design guidelines are a set of criteria, uniformly applied in the planning approval process, to evaluate the appropriateness of proposed changes to individual properties in a designated district. The ultimate goal of design guidelines is to direct physical and visual changes in the district to create an architecturally and physically cohesive area of specified character. Design guidelines are meant to create a strong identity for the area as a distinctive place to shop, visit, work, and live. Design guidelines are a means of bringing together the interests of individual property owners and the general public to achieve mutual benefits.

1.2. PURPOSE AND INTENT

The subject area, the Georgia 400 corridor, contains multiple property owners with differing interests. Developers in the corridor have commissioned or will commission different architects, each with their own unique motivations and styles. As projects are designed and developed in the corridor, designers tend to focus on their own site as a self-contained unit.

Left to its own workings, the real estate market has already shown signs that it will produce development that is dominated by single-function land uses, buildings that are not coordinated with adjacent buildings and isolated from other uses, and circulation systems that serve exclusively the automobile. The intersection of Georgia 400 and State Route 53 has already developed as the equivalent of a city center at a highway

interchange-shopping centers, restaurants, hotels, and apartments-one where buildings do not fully relate to one another and where the only way to get around is by car. The Georgia 400/ State Route 53 interchange development represents at least a partial example where urban design opportunities have been overlooked-a lost opportunity of sorts.

Without guidance from the county, future developments in the Georgia 400 corridor will likely be self-contained, fragmented compartmentalized, without coherence and relationship with other developments. Without guidance, developers are unlikely to interrelate streets, buildings, human uses, and natural systems in a manner that results in a coordinated, pleasing, and sustainable built environment across property lines. Unless additional guidance is provided, the corridor will most likely witness additional development that results in an uncoordinated jumble of box stores, repetitive parking lot entrances, and blank building walls.

The purpose of these guidelines is to help site planners and urban designers look beyond their individual buildings and single parcels of land to shape the physical features of their development in a manner consistent with preferred principles of community design. The guidelines seek to help unify what would otherwise become a disparate and irreconcilable collection of land uses and architectural traditions.

In presenting these guidelines, however, it is not the county's intent to adopt an overall architectural theme for the corridor. The corridor is not envisioned to become one monotonous strip where all shopping centers look the same, or are designed to provide one big festival marketplace. No single checklist can define what is good and bad design. Rather, the county intends to provide general guidance while allowing site designers the flexibility to propose multiple ways of meeting the letter and spirit of the guidelines. Furthermore, it is not the intent of these guidelines to try and convert what is surely an auto-related corridor into purely pedestrian friendly developments. However, elements of human scale and reasonable accommodations for pedestrians are integral components of the guidelines.

1.3. **GEORGIA 400 CORRIDOR**

The development and design guidelines contained in this document shall apply to the Georgia 400 overlay district shown on the following corridor boundary map. All parcels lying wholly or partially within the corridor boundary shall be subject to these guidelines.

1.4. EXISTING CONDITIONS AND VISION FOR THE CORRIDOR

The Dawson County Georgia 400 overlay zone addresses the area adjacent to Georgia 400. The southern part of the corridor is currently (Year 2000) undergoing intense development pressure. Since this area is the main gateway to Dawson County, the development within this zone will have an immediate impact on how residents and travelers view the community. While development is logically suited for this area, it must be done in a quality, well-planned manner.

High quality, mixed use development of commercial, light industrial, office, and residential is highly encouraged in this area. The southern portion of the corridor should have visual and functional designs that will create a pleasing environment for people to shop, conduct business, and reside. The long-term maintenance of this corridor as a place of distinctive character is in the vital interests of Dawson County.

The northern portion of the Georgia 400 corridor is still fairly rural in character. Development within this zone should attempt to retain a rural character through carefully planned site layout, landscaping, and architecture. Mixed use development of commercial, industrial, office, institutional, and residential that is compatible with the visual quality of this portion of the corridor is highly encouraged. Certain guidelines established herein apply only to the northern portion of the Georgia 400 corridor.



GA 400 North, north of commercial center at intersection of SR 53

The northern portion of the Georgia 400 corridor is still quite rural. The guidelines encourage the maintenance of a more rural landscape in the north portion of the corridor, through a buffer requirement along the right-of-way and a higher landscaped coverage ratio.

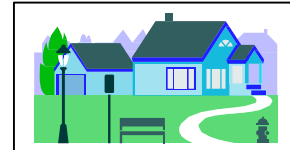
CHAPTER TWO

SITE PLANNING AND GRADING

2.1. SITE PLANNING

2.1.1. Relate Design to Site and Surroundings

A. The site plan, building design and landscaping of new development should achieve high quality and appearance, which will enhance and be compatible with the character of the surrounding area.



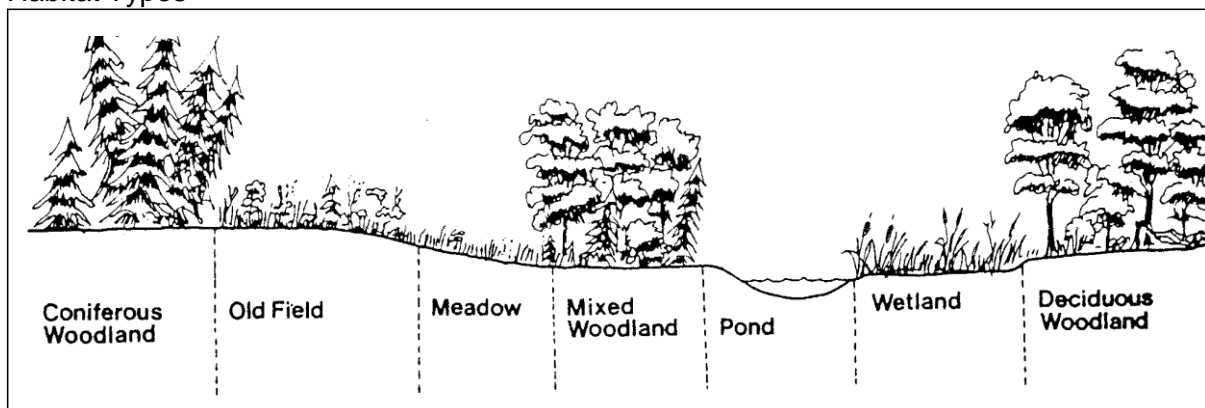
B. Site planning and design of projects proposed adjacent to dissimilar land uses should carefully address the potential undesirable impacts on existing uses. These impacts may include traffic, parking, circulation and safety issues, light and glare, noise, odors, dust control and security concerns.

2.1.2. Evaluate, Retain, and Incorporate Natural Features

A. Evaluate the proposed development's compatibility with the existing environment to determine the limitations and capabilities of the site for development. Development should be limited to a level that does not exceed the capabilities and requirements of a healthy environment.

B. Significant site features such as natural ground forms, large rock outcroppings; water and significant view corridors shall be identified and should be incorporated into development plans.

Habitat Types



Source: DeChiara and Koppelman 1984.

C. Riparian zones, stream corridors, and wetlands should be protected for their wildlife habitat and other values. Development plans for these areas should treat these components as assets. The alteration or improvement of significant natural resource areas may be permitted so long as relevant regulations are followed, potential losses are mitigated, and best management practices are employed to minimize permanent damage.

D. Preserve patches of high-quality habitat, as large and circular as possible, feathered at the edges, and connected by wildlife corridors.

E. The design of outdoor spaces should recognize and incorporate views, solar angles, climate, and the nature of outdoor activities which could occur in conjunction with the project.



2.1.3. Protect Environmentally Sensitive Areas

A. Conserve and protect natural resources, including air quality, trees, natural vegetation, existing topography, streams, creeks, wetlands, watersheds, water quality, and wildlife habitat.

B. Limit development in environmentally sensitive areas such as severe topography and areas with drainage problems. This guideline is considered particularly applicable in the northern portion of the Georgia 400 corridor.

C. Major considerations concerning water quality should include: organic pollution from infiltration and surface runoff; erosion and sedimentation; water temperature elevation; nutrients such as nitrogen and phosphorous; and toxic materials.

D. Flood plain storage should not be decreased from its present state. Utilize areas of flood plain for open space and recreational purpose, whenever possible.

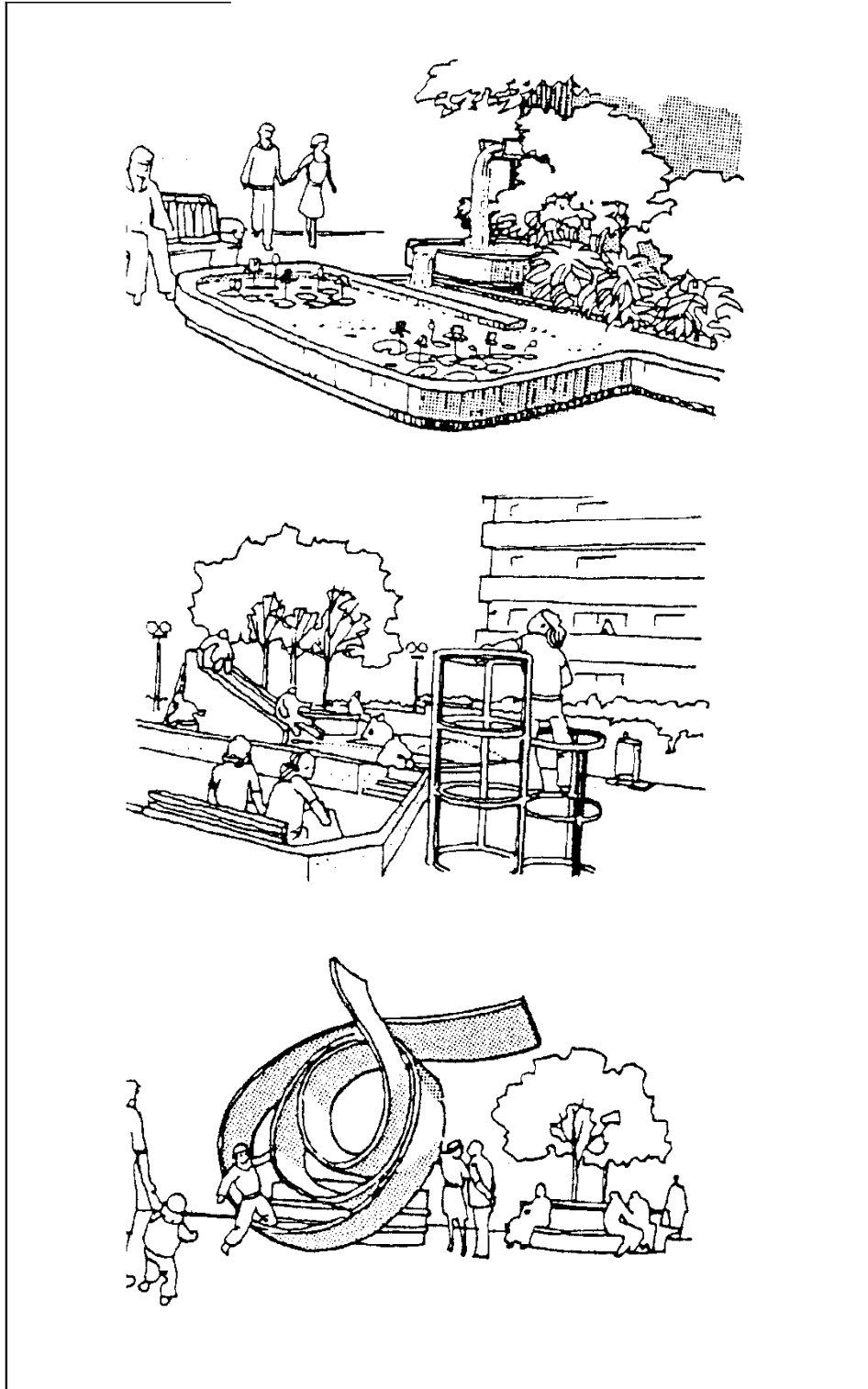
E. Restore and enhance environmental functions damaged by prior site activities.

2.1.4. Create Public Spaces and Amenity Areas

A. Development should include public plazas, courtyards, and similar amenities or public assembly areas that are visible from the street and accessible from the business or other use. Such amenities should be scaled appropriately to the size and location of the project.

B. Outdoor spaces, which are particularly encouraged, include courtyards, patios, plazas, covered walkways (arcades and colonnades), passages, gardens, and trellised areas.

Outdoor Spaces. Fountains, play equipment, and artwork add visual interest and functions to amenit areas.



Source: DeChiara and Koppelman 1984.



Play area at North Georgia Premium Outlets



Pedestrian Corridor at North Georgia Premium Outlets



Public Space and Pedestrian Amenities at North Georgia Premium Outlets



Close up of Pedestrian Features at North Georgia Premium Outlets



Trellises at North Georgia Premium Outlets



Dawson 400 shopping center

This clock tower at Century South Bank is an excellent amenity feature that adds visual interest to the shopping center. It is also well landscaped at the base (recommended practice).

2.2. GRADING

2.2.1. Site Preparation, Filling, and Grading

A. Abrupt or unnatural-appearing grading design is not allowed. Grading on new project sites should blend with the contours of adjacent properties with minimum alteration of the natural topography necessary to accomplish the development.

B. The area under the drip line of all existing trees to be retained should be fenced prior to construction with orange plastic tree fencing material. Grading under the drip line of trees to be retained on site is prohibited so as to prevent soil compaction and significant root damage.



C. Proposed cut and fill slopes should be rounded off both horizontally and vertically.

D. Balancing the cut and fill is highly encouraged.

E. No fill, removal, or modification of a riparian area should be approved unless there is no reasonable and feasible alternative, as determined by the county.

F. Preserve smooth flowing planes in the ground form; minimize steep slopes and avoid harsh, easily eroded banks.



Graded site adjacent to Kroger Shopping Center

This site has been graded level for development. Trees that may have contributed to the character of the development have not been saved. Grading should retain certain features of the natural topography, where possible.



Remax at Henry Grady Highway

- Grading practices on this site left a scarred, exposed cut adjacent to the site.
- Slopes should meet good engineering specifications (e.g., 2:1) and the exposed earth should be stabilized and covered to prevent erosion.

2.2.2. Drainage and Erosion Control

- A. All onsite drainage shall be collected and conveyed to an approved storm drainage system.
- B. Consider minimizing runoff by clustering development on the least porous soils. Consider using infiltration devices. Evaluate and if appropriate install permeable pavements for overflow and employee parking areas where possible.
- C. Natural on-site drainage patterns should be used where practicable. Detain runoff with open, natural drainage systems where possible.
- D. Design man-made lakes and storm water ponds for maximum habitat value.
- E. Best erosion control practices should be followed.

2.2.3. Retaining Walls

- A. The height and length of retaining walls should be minimized and screened with appropriate landscaping. Tall, smooth faced concrete retaining walls are discouraged—walls visible from the right-of-way should be faced with brick, stone, or other architectural treatment.
- B. Terracing should be considered as an alternative to the use of tall or prominent retaining walls, particularly in highly visible areas on hillsides.



Industrial Area, Dawson County

A highly visible, long, smooth, concrete retaining wall that should be finished with brick, stone, or other architectural finish, or otherwise screened from view from the public right-of-way.

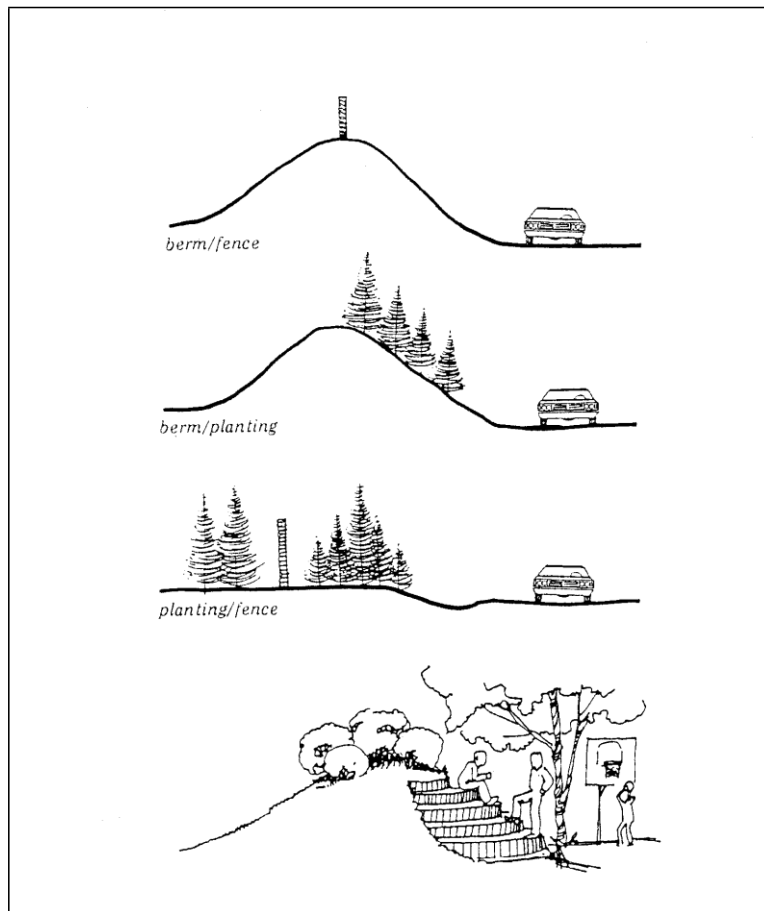
2.2.4. Utilities

- A. Any utility installation proposed should be carefully assessed to insure against physical and visual damage to the landscape.
- B. Utility easements should be coordinated and combined to minimize the number of additional easements and stream and road crossings needed.
- C. All individual utilities serving developments shall be installed underground.

2.2.5. Berms

Berms should be used to provide visual and acoustical separation from vehicle traffic and incompatible land uses. The height and slope of a berm should vary to provide for visual interest and a more natural effect.

When used for screening, berms can be combined with a fence or planting. Berms should be constructed of good quality soil (for planting) on top of landfill, separated by an impervious layer of clay. Berms can be used for other purposes, besides screening, too, like recreational seating.



Source: DeChiara and Koppelman 1984.

CHAPTER THREE

PEDESTRIAN CIRCULATION

PEDESTRIAN SYSTEMS MUST BE PROVIDED

A. All likely pedestrian routes should be identified in the design phase and provided for in the design process. These include linkages to individual buildings, neighboring properties, and access ways along public roads. Identifying pedestrian routes in advance will eliminate poor selection of landscape areas that become damaged due to pedestrian "short cuts."



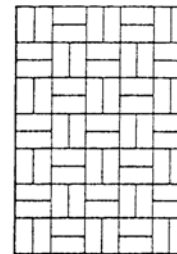
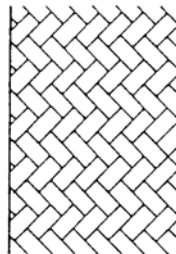
B. All site facilities and amenities shall be accessible to people with disabilities in accordance with the applicable federal and state codes.



C. Pedestrian circulation should take precedence over vehicular circulation.

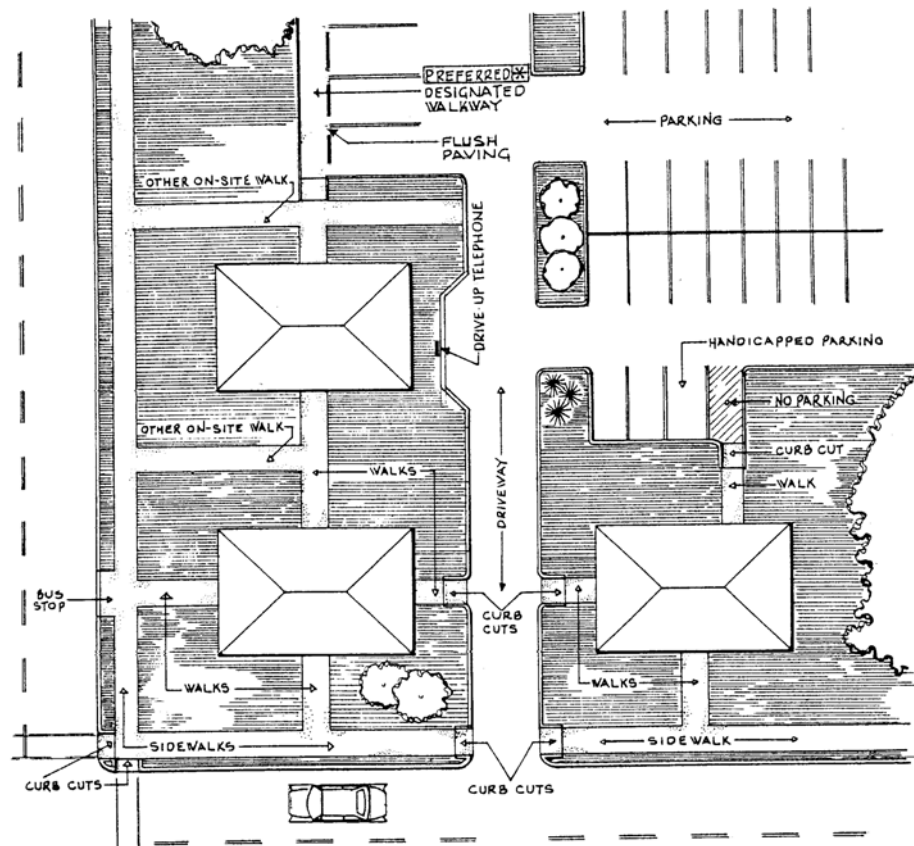
D. Where pedestrian circulation crosses vehicular routes, a change in grade, materials, textures or colors should be provided to emphasize the conflict point and improve its visibility and safety. Brick pavers and other special paving materials and overhead features are encouraged to distinguish pedestrian walkway surfaces and areas.

Herringbone and basket weave patterns are preferred.



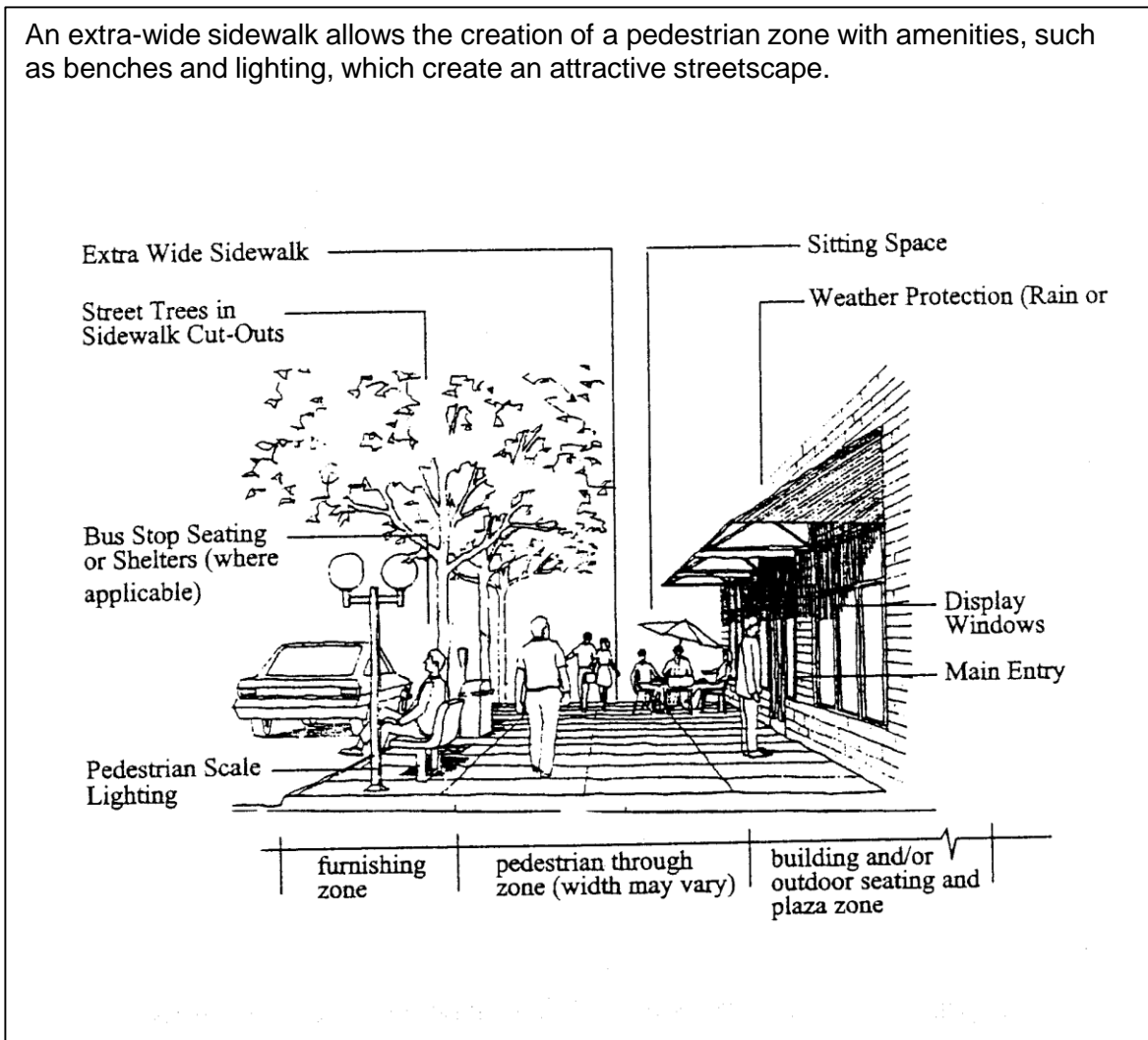
Source: DeChiara and Koppelman 1984.

Pedestrian Access. Multiple buildings should be linked with on-site and off-site walkways. Handicapped access shall be provided with curb ramps and designated handicapped parking.



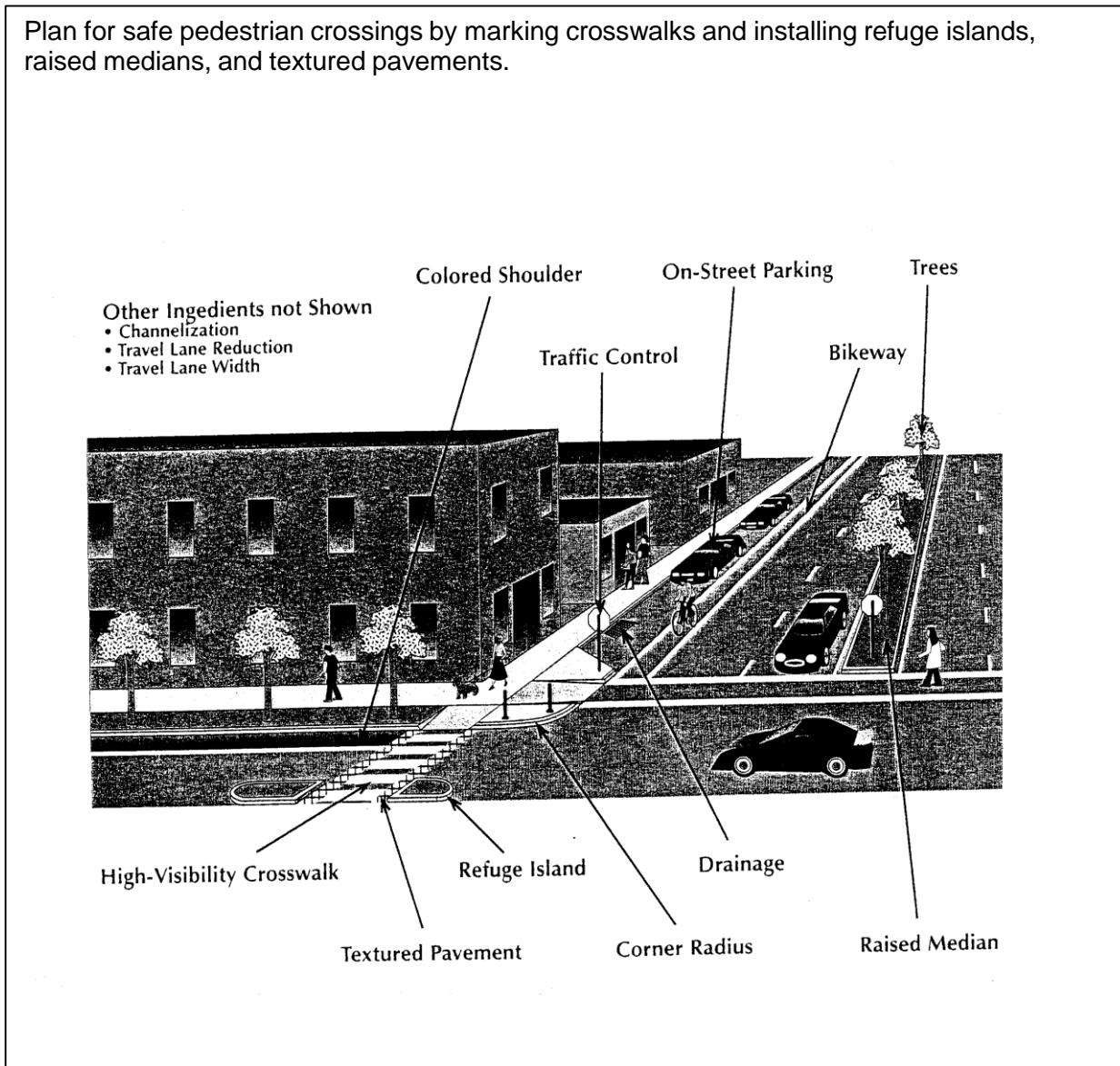
Source: DeChiara and Koppelman 1984.

An extra-wide sidewalk allows the creation of a pedestrian zone with amenities, such as benches and lighting, which create an attractive streetscape.



Source: Oregon Transportation and Growth Management Program. 1999c.

Plan for safe pedestrian crossings by marking crosswalks and installing refuge islands, raised medians, and textured pavements.



Source: Oregon Transportation and Growth Management Program. 1999a.

CHAPTER 4

VEHICLE ACCESS AND CIRCULATION

4.1. PRINCIPAL SITE ACCESS

A. The entire parcel, rather than simply a particular project, should be considered in formulating and approving access plans.



B. A public frontage road shall be required parallel to Georgia 400.

C. Parcels should not be subdivided such that they each require individual access to a state highway. If the parcel has frontage on a secondary or frontage road, access points shall occur there and not on a highway.

D. The number of driveways shall be minimized, consistent with appropriate principles of highway and road access management and traffic engineering. Curb cuts (driveway accesses) will generally be restricted in number to one entrance and exit drive per development, if no other access is available.

E. Inter-parcel site access should be provided to adjacent properties.

F. Shared driveways between two parcels, at the property line, may be required.

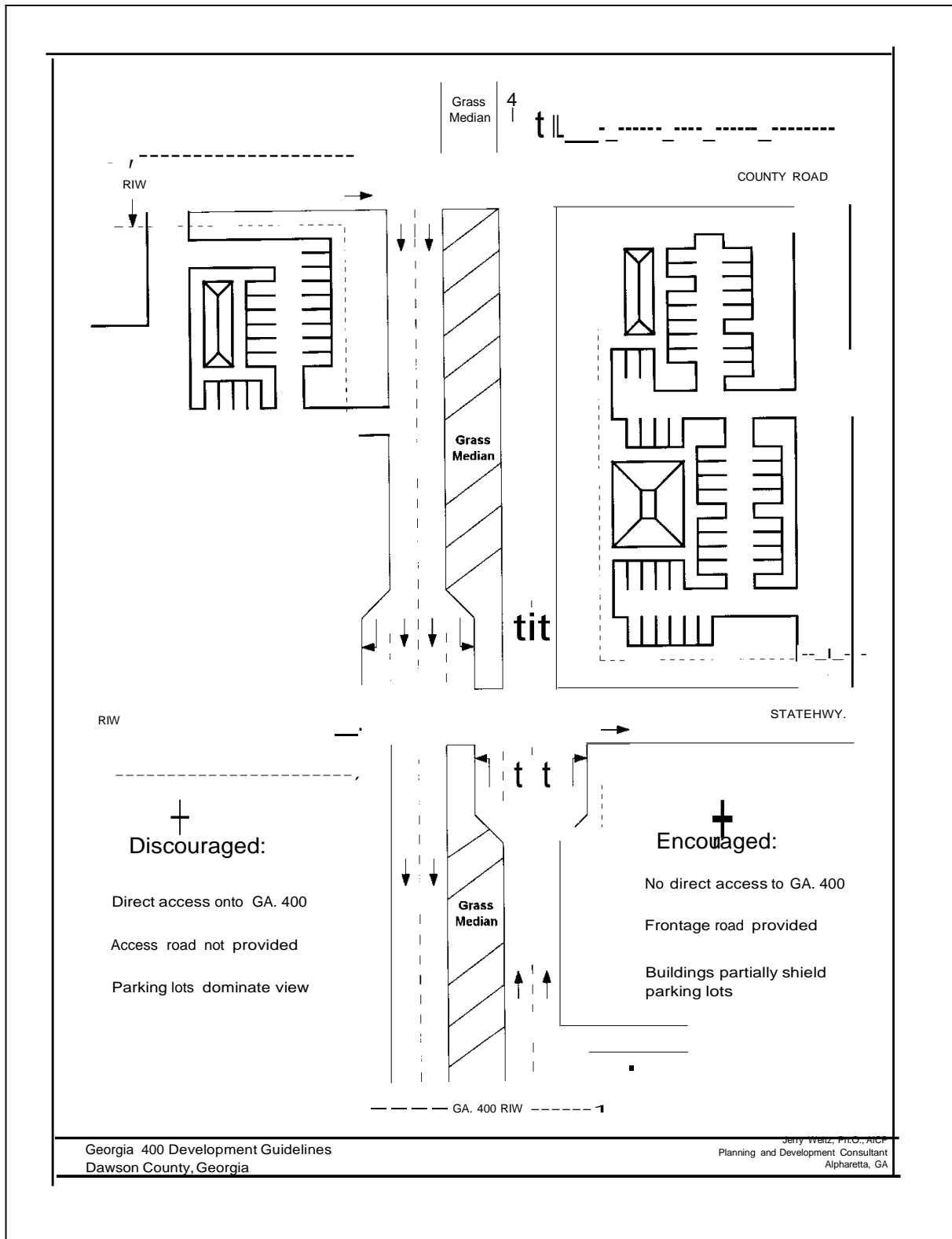
G. New driveways should be sited away from or immediately opposite street intersections.

H. Provide adequate driveway length. Driveways should be long enough to allow adequate space for vehicles pulling off the road and stacking to enter the road.

I. The width of curb cuts shall be minimized, but shall always meet the requirements of emergency service vehicles. A wider curb cut may be required on a higher speed highway.

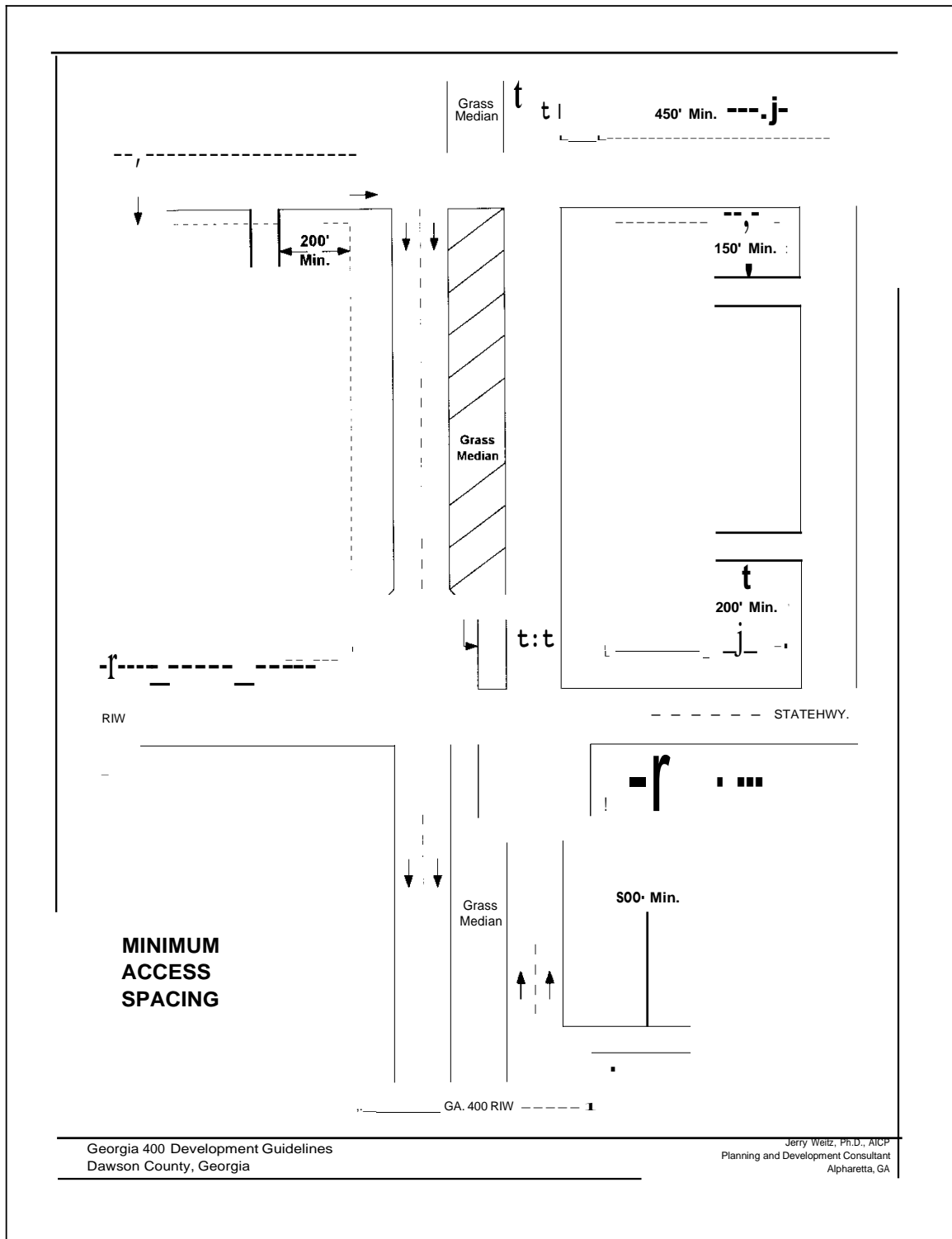
J. All elements of the site design shall accommodate access requirements of emergency vehicles and services.

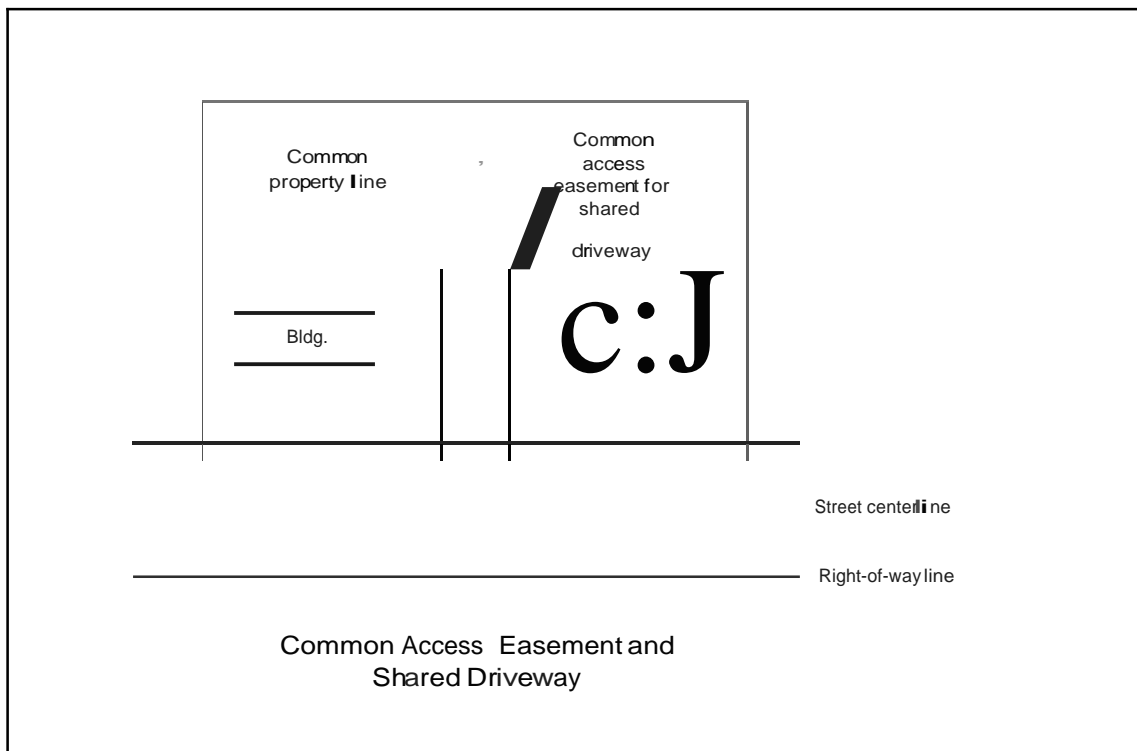
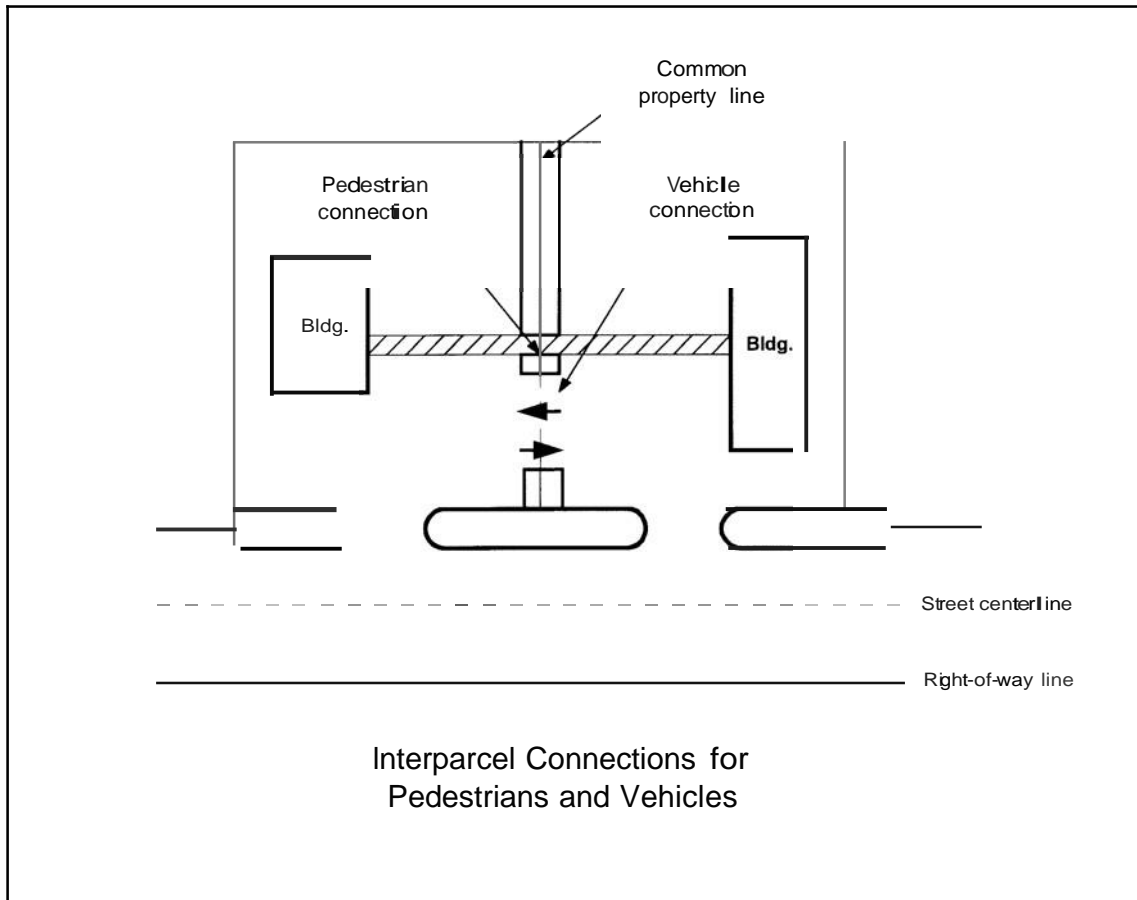
K. All access points and curb cuts shall meet minimum rules and regulations for driveway and encroachment control of the Georgia Department of Transportation, the Dawson County Engineer, and the specifications provided in these guidelines.



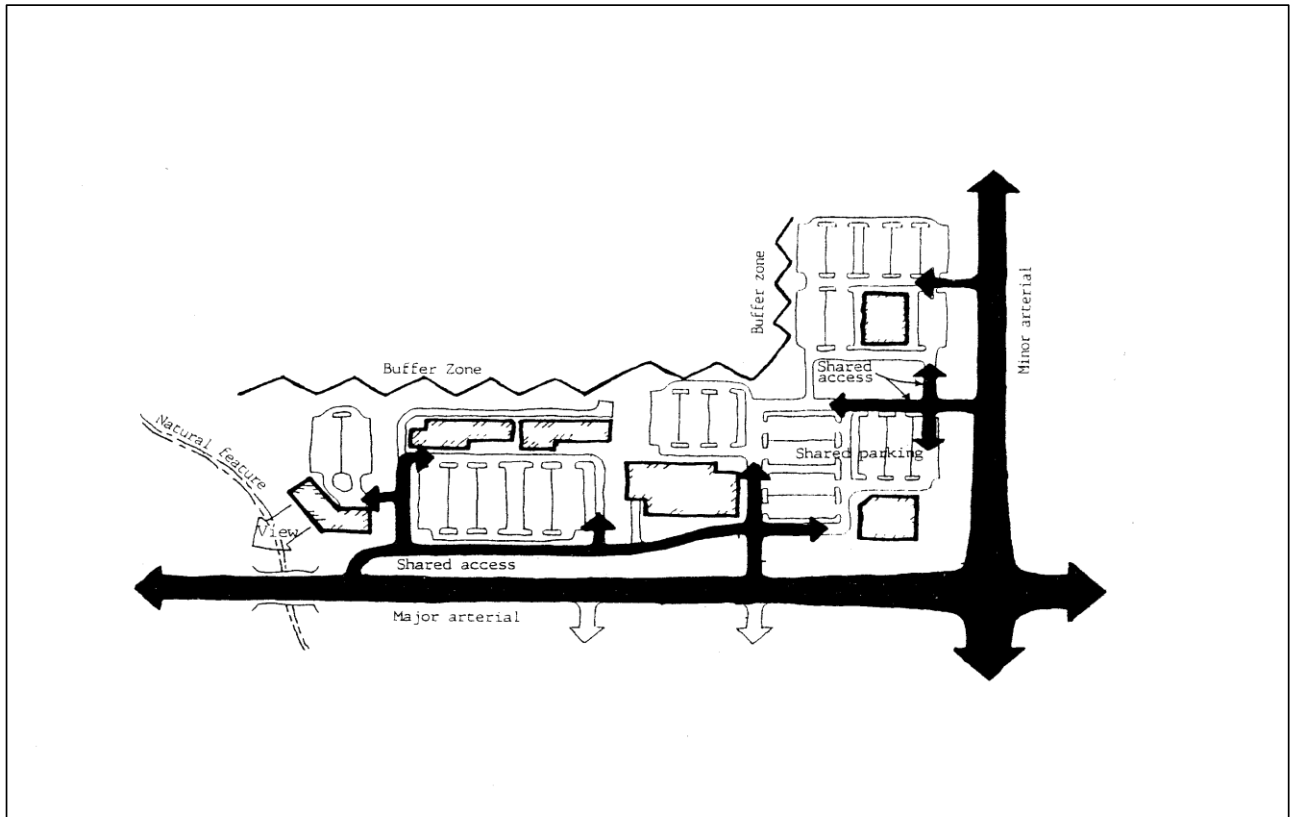
Georgia 400 Development Guidelines
 Dawson County, Georgia

Jerry Weitz, Ph.D., AICP
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 Alpharetta, GA

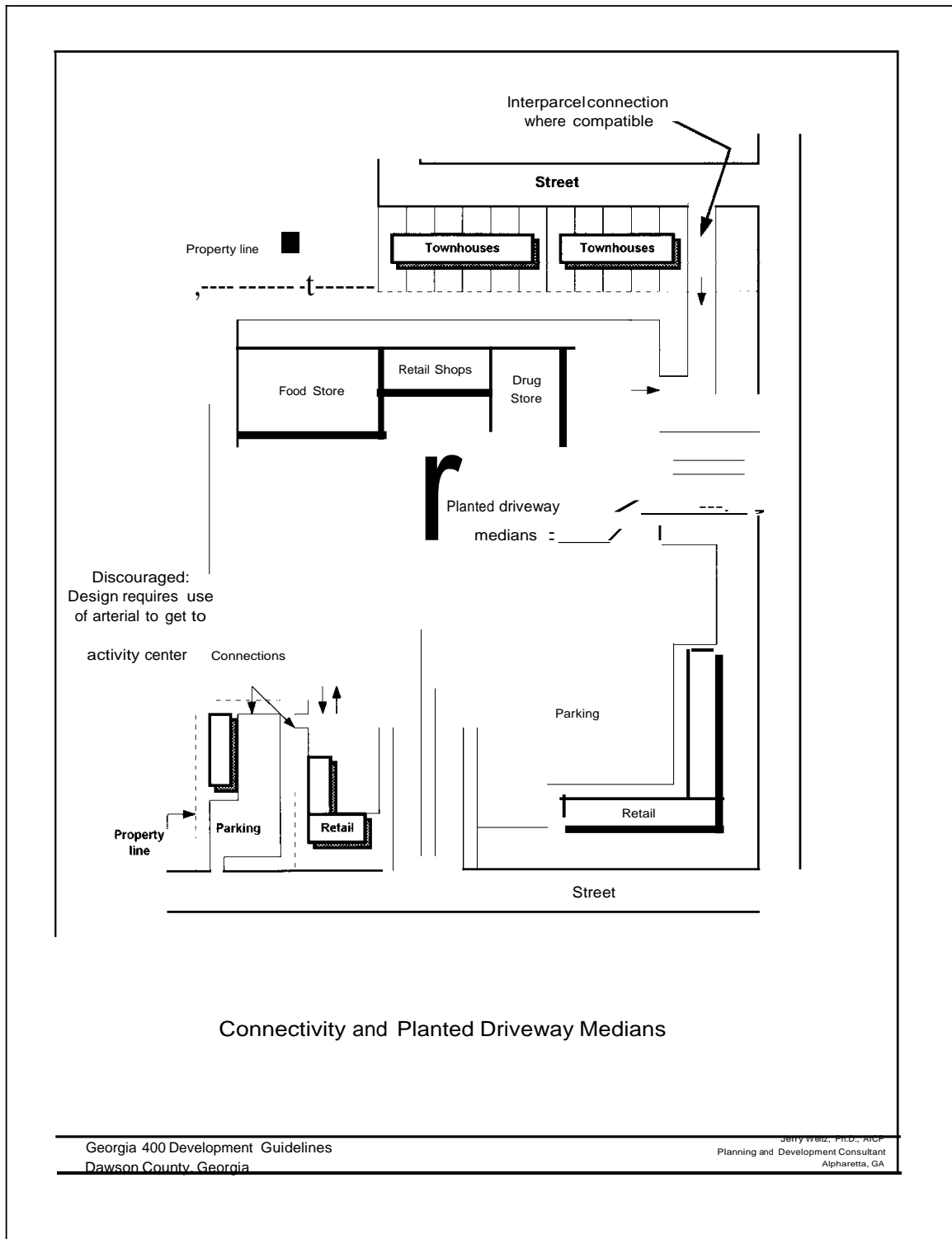




Interparcel Access. Properties within the district must provide shared access with adjoining properties to facilitate frontage roads and connections between parcels. Shared parking arrangements are also encouraged.



Source: Stover and Koepke 1988.





The Dawson 400 shopping center's frontage on the west side of Ga. 400

- This driveway entrance to Dawson 400 shopping center has a narrow but landscaped center median to separate traffic flows (recommended).
- Note that it stops shorter than it should-although a median break may be needed to cross between the outlots shown in this photo, the median should have been extended another 150-200 feet to add landscaping, reduce impervious surface, and provide better access control.
- The McDonalds uses low-lying groundcover at the entrance (acceptable).
- To the right side of the photo, the shrubs are growing to a height that may impair visibility (though that is a minor consideration in this case of one way traffic).
- Ideally, a pedestrian crossing would be striped on the pavement to alert drivers to the possibility of pedestrians crossing the driveway.

4.2. SERVICE FUNCTIONS

A. Service functions (e.g., deliveries, maintenance activities) should be integrated into the circulation pattern in a manner which minimizes conflicts with vehicles and pedestrians.

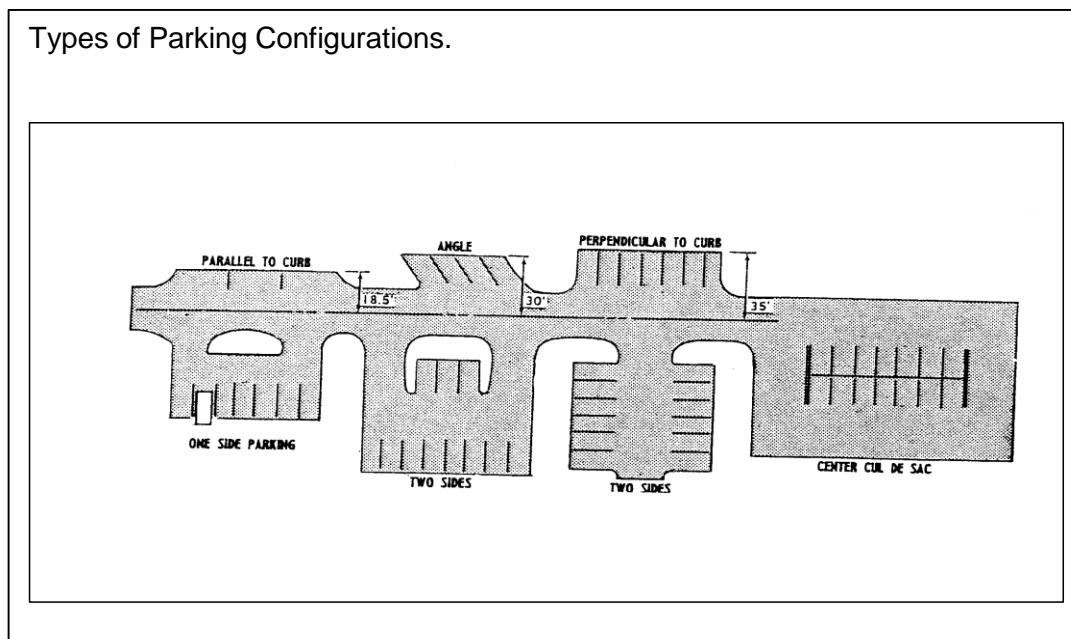


B. Access for service vehicles, trash collection and storage areas should be located on alleys where alleys exist. When no alley exists, access should be provided to the rear or sides of buildings being served.

C. Larger commercial developments should have service and loading areas separate from main circulation and parking areas.

4.3. OFF-STREET PARKING

A. Any type of off-street parking configuration may be appropriate in the district, depending on site-specific development circumstances and objectives.



Source: DeChiara and Koppelman 1984.

B. Driveway entrances should provide a 100 foot deep clear zone between the pavement of Georgia 400 and the first parking space. On any other state highway or county road, the clear zone should be at least 60 feet.

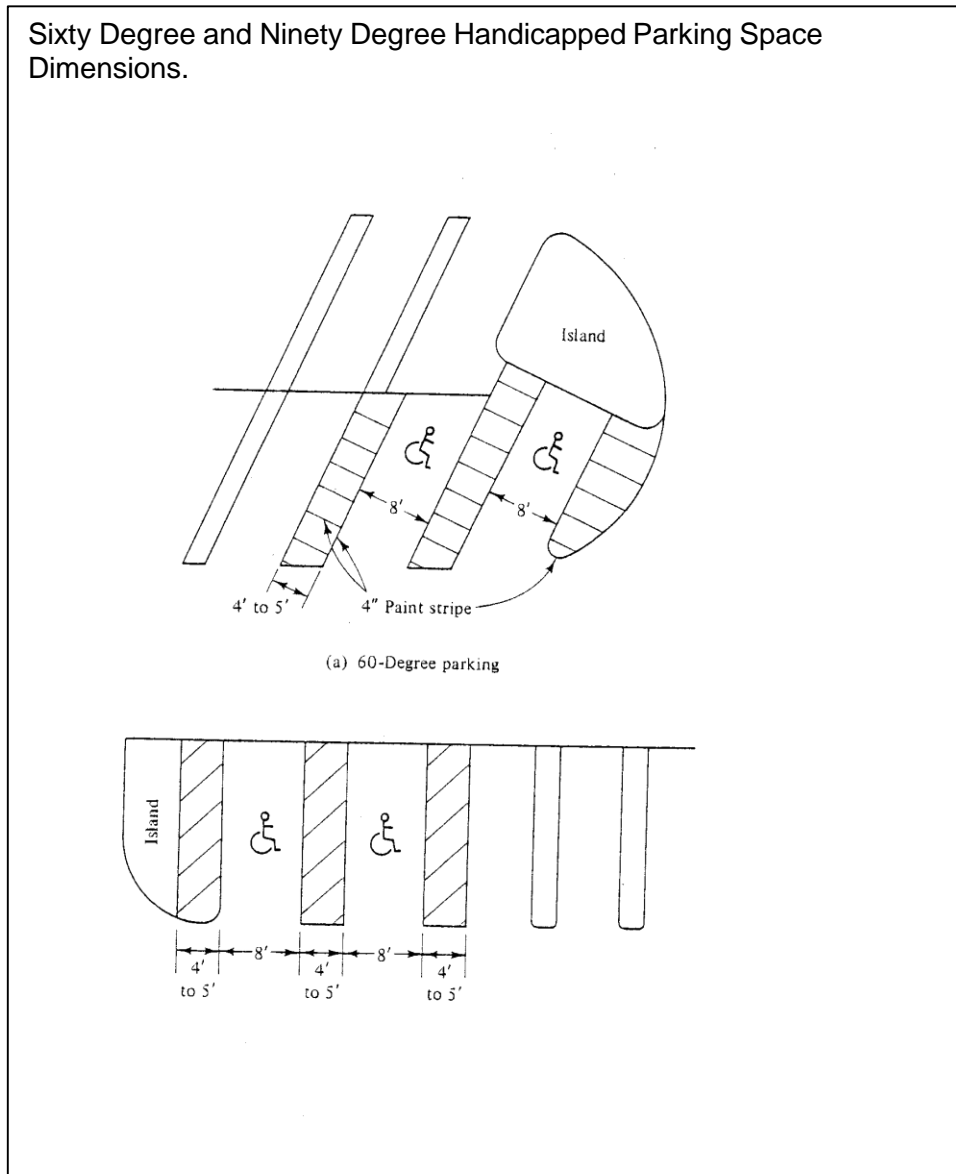
C. The driveway entry "throat" of large shopping center parking areas shall provide at least forty feet of clear zone before a turning movement occurs to provide sufficient queuing room for cars entering off the street.

D. The visual impact and presence of vehicles should be minimized, preferably by siting parking areas to the rear or side of the property rather than along the principal street

frontage, or if siting options are limited, screening parking areas with vegetation and berms from views exterior to the site.

E. Where a parking area fronts directly on a public street, a continuous opaque screen should be provided. Said screen should be a minimum height of two feet.

F. Parking for the handicapped shall be provided in accordance with applicable codes.



CHAPTER FIVE

LANDSCAPE

5.1. GENERALLY

A. Landscaped areas should be maximized within the viewshed of the highway and major streets.



B. All landscaping shall be continually maintained in a healthy and weed-free condition.

C. Tree and shrub planting should be grouped together to create strong accent points within the site plan unless circumstances dictate otherwise.

D. All plant materials should be sized so that the landscaping has an attractive appearance at the time of installation and a mature appearance within three years of planting.

E. Landscaping of the site upon completion of the development shall be consistent, in terms of plant location, species, and size, with the landscape plan for the development as approved by the Planning and Zoning Director.

F. In certain prominent public areas, trees larger than the minimum may be required to create a strong design element.

G. All proposed shrubs except accent, color or ground cover planting should be a minimum of three (3) gallon size. Shrubs and ground cover plants should be spaced close enough together to ensure an attractive and mature planting effect.

H. Landscaping should consider potential benefits of conserving energy in buildings. This can be done by recognizing the sun exposure on the site and providing appropriate tree species in advantageous locations: deciduous trees on the southern exposure, coniferous and broadleaf evergreen trees along the eastern and western exposures, and evergreens along the northern exposure.

I. Trees should be carefully selected and located where they will complement the building elevation and should not block all retail storefront signage from view.

J. Tree species should be selected with root growth habits that will not cause damage to sidewalks, or such tree species should be sited away from such hardscape areas.

K. Utility easements should be landscaped.

L. Dense landscaping and/or architectural treatments should be provided to screen unattractive views and features such as storage areas, trash enclosures, transformers, generators, and other similar appurtenances.

M. Standards for transplanting should be in keeping with those established in the International Society of Arboriculture publication, "Tree and Shrub Transplanting Manual" or similar publication. Reference the American Association of Nurserymen publication "American Standard for Nursery Stock" (ANSI Z60, 1973) for plant material quality specifications. Reference the "Manual for Woody Landscape Plants" (Michael Dirr, 1983, Castle Books) or similar publication for information on tree species site requirements.

N. Properties in the south portion of the Georgia 400 corridor shall require a minimum landscaped coverage ratio of twenty (20) percent. Properties in the north portion of the Georgia 400 corridor shall require a minimum landscaped coverage ratio of thirty (30) percent.



Chestatee State Bank, SR 53 east of Georgia 400

- Excellent landscaped area with variety of color and materials.
- Areas between the right-of-way and the parking area and/or building should be attractively landscaped.
- This is a very good example of a recommended practice for landscaping.

5.2. BUFFERS

5.2.1. Buffers Abutting Residential Districts

Where commercial, industrial, office, or institutional development abuts an existing residential zoning district along a side or rear property line, minimum building setbacks and buffers shall be established according to the following table:

Zoning District	Minimum Building Setback Along Side or Rear Yard Abutting a Residential Zoning District	Minimum Buffer Along Side or Rear Yard Abutting a Residential Zoning District
Office or institutional	40 feet	30 feet
Commercial	50 feet	40 feet
Industrial	60 feet	50 feet

Buffers required by this section shall be planted and maintained with sufficient density and vegetative material to effectively screen the adjacent residential use from the subject activities. Existing vegetation may be considered sufficient in meeting this requirement if the area is delineated on the landscape or development plan as a tree save area, is protected by the tree protection devices as prescribed by these guidelines, and provides sufficient screening. If an existing tree save area is proposed as a buffer but such area does not provide sufficient screening, said tree save area shall be supplemented with additional plantings until screening is achieved.

This buffer requirement shall not apply to residential development that is developed as a part of a mixed-use development.

5.2.2. Buffers Along Georgia 400 Right-Of-Way In North Portion of Corridor

Where a commercial, industrial, office, or institutional development abuts Georgia 400 in the north portion of the corridor, there shall be a minimum thirty (30) foot wide buffer (natural undisturbed, planted, or both) according to standards provided by these guidelines. The buffer shall provide a visual screen for at least sixty percent (60%) of the length of the property frontage.

5.2.3 Buffer Standards

Tree Type	Height	# of Rows & Spacing	Center to Center Spacing	Notes
Leyland Cypress	5-6 ft.	2 / 10-12' apart	10-12 ft.	Requires pruning after 2 years
Hemlock, White Pine	8-10 ft.	2 / 8-10' apart	8-10 ft.	Border line range
Virginia Pine	5-6 ft.	2 / 8-10' apart	8-10 ft.	
Eleagnus	42 in. min.	2 / 8' apart	8 ft.	Specify fruitland variety
Holly	6-8 ft. full	2 / 6-8' apart	6-8 ft.	Specify Standard Burford, Nellie R Stevens, American or Greenleaf variety
Magnolia	6-8 ft.	2 / 8-10' apart	10-12 ft.	

The above specifications are intended to be illustrative and not intended to be applied rigidly. Furthermore, the number of rows of landscaping needed depends on the required width of the buffer. Vegetative material used in meeting the requirements for buffering should be of a height and mass that meets or exceeds the vegetative material suggested in the buffer standards table above.

5.3. Right-Of-Way Frontage Planting Strips

This section applies to all properties fronting a public street, whether a county road, local public frontage road, or state highway, including Georgia 400; provided, however, that the buffer requirement in the north portion of the Georgia 400 corridor as specified in Section 5.2.2. of these guidelines shall supersede the requirement for a right-of-way frontage-planting strip specified in this section.

A. Provide a planting strip along the entire frontage of all road rights-of-ways with a minimum depth from the street right-of-way line into the interior of the property as follows.

Zoning District	Depth of Strip Adjoining Street Right-Of-Way (feet)
Multi Family Residential	20 Feet
Commercial	10 Feet
Industrial	10 Feet

B. Trees equivalent to at least one three inch caliper tree for every thirty (30) linear feet of length shall be saved or planted in such strips (trees may be planted in groups rather than in a single line). Any trees placed between the right-of-way line and the construction area (the buildings, accessory uses, and parking area) may be considered to be in the planting strips. (See Detail 1 – Frontage Planting Strips)



The Dawson 400 shopping center's frontage on the west side of Ga. 400

Some of the area shown is right-of-way. The grassed area is planted with a few trees, but the landscaping should be more dense and varied in high visibility areas of the corridor.

5.4. TREE PROTECTION

A. When a choice is available as to which existing trees to save, emphasis should be given to the preservation of significant trees, even isolated individual trees, over the retention of other trees. Non-significant trees, however, should be saved in stands rather than as individual trees scattered over a site.

B. All tree save areas must be delineated on the landscape plan.



Chestatee State Bank, SR 53 east of Georgia 400

- The developer of this site made a conscious effort to save two trees. Tree save areas should be identified for significant trees, and such areas should be integrated into the development (i.e., the parking lot and building are designed around the tree save area).
- The tree save area on this site is another very good example of a recommended practice.

C. All buffers with existing trees should be delineated on plans as tree save areas, unless the applicant clearly demonstrates the need for disturbance.

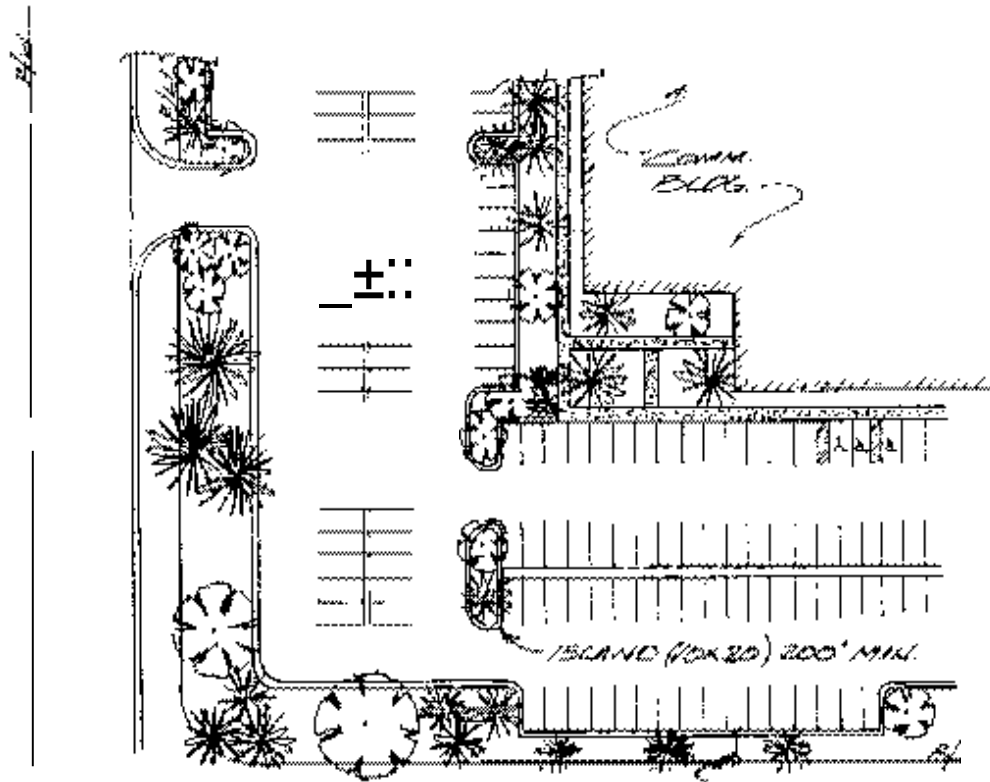
D. Tree protection devices are necessary to eliminate activities detrimental to trees and are strongly recommended to guard against: soil compaction in the critical root zone resulting from heavy equipment, vehicular or excessive pedestrian traffic, or storage of equipment or materials; root disturbance due to cuts, fills or trenching; wounds to exposed roots, trunks or limbs by mechanical equipment; and other activities such as chemical storage, etc. Tree protection devices should be installed as shown on the

landscape plan or otherwise completely surrounding the critical root zone of all trees to be preserved. The location and installation of all tree protection devices should be installed prior to or concurrent with the issuance of the construction permit for clearing and/or grading.

E. Active tree protection should consist of chain link, orange laminated plastic, wooden post and rail fencing or other equivalent restraining material (See Details 2 & 3-- Active Tree Protection & Active Tree Protection/CRZ). Passive protection should consist of heavy mil plastic flagging of a bright color or equivalent signage on a continuous, durable restraint sufficient to delineate the bounds of any tree protection or save areas.

F. All tree protection devices should be installed prior to or concurrent with any clearing, grubbing or grading. Tree protection devices need to remain in functioning condition throughout all phases of development and may be subject to inspection by the county.

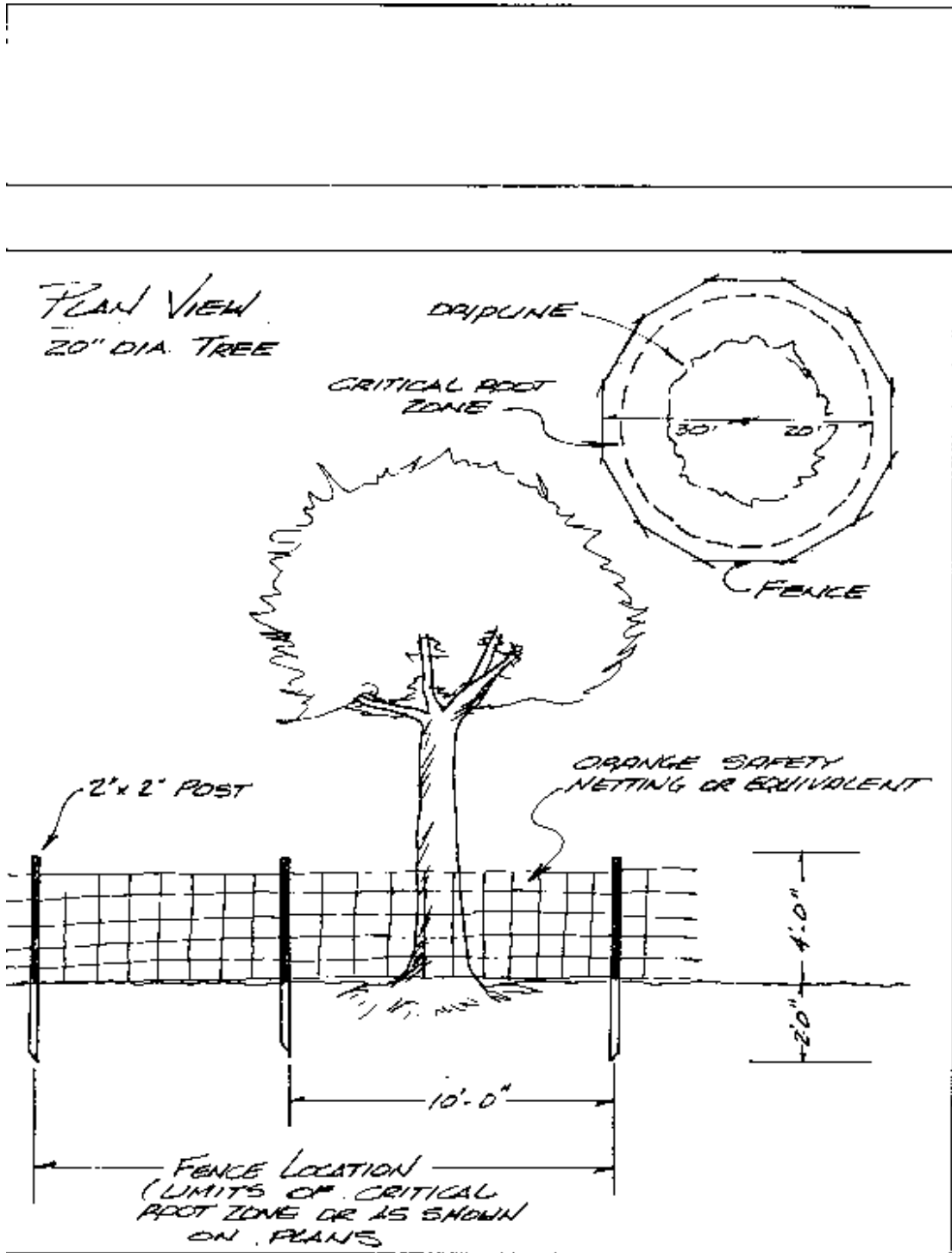
G. All tree protection zones should be designated as such with "Tree Protection Area" signs posted visibly on all sides of the fenced-in area. These signs are intended to inform subcontractors of the tree protection process. Signs requesting subcontractor cooperation and compliance with the tree protection standards are recommended for site entrances (See Detail 4, Tree Protection Area Signage).



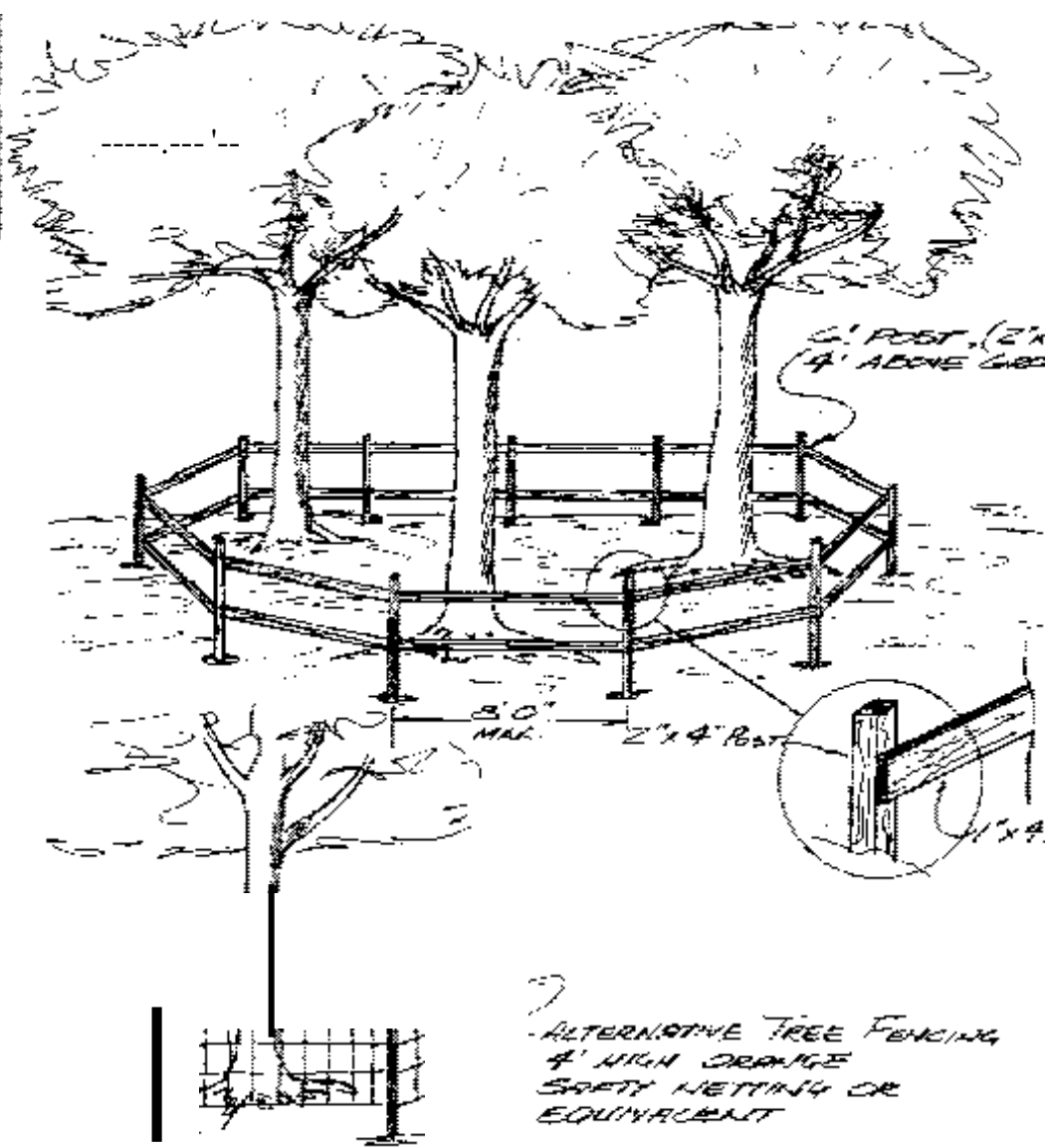
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Dawson County GA 400 Corridor Tree Preservation Standards Detail No. 3 Active Tree Protection



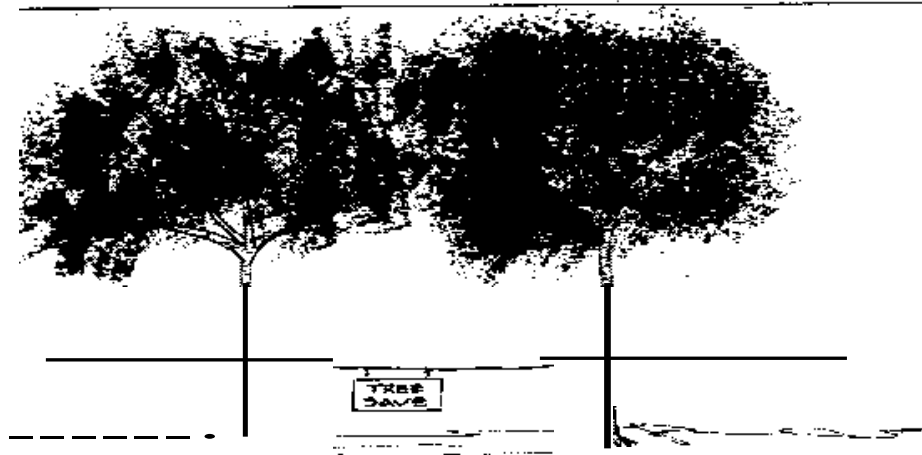
Dawson County GA 400 Corridor
Tree Preservation Standards Detail No. 4
Tree Protection Area Signage



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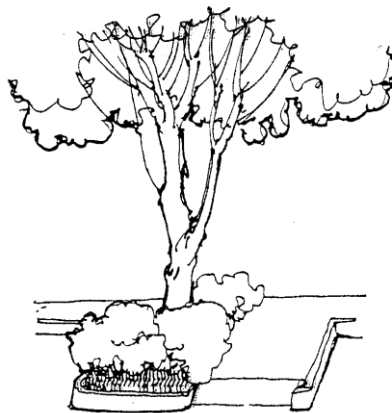
TYPE 'B'

5.5. PARKING LOT LANDSCAPING

A. Parking lots that face a street should be partially screened from the street by a low fence, wall, hedge, berm, or vegetated buffer. If a parking lot fronts an arterial or major collector street, and is of such a size that it dominates views from the fronting arterial/collector street and detracts from the overall streetscape and community appearance, then the parking lot should be screened or buffered with vegetation in its entirety from view along the fronting roadway(s) within the required right-of-way frontage planting strip (see section 5.3).

B. Landscape islands containing at least one overstory tree or two understory trees planted in each landscape island, shall be provided within parking areas with ten (10) or more spaces and located in such a manner so as to divide and break up the expanse of parking area. Where required, one landscape island shall be located at the end of each row of parking spaces in the interior of the parking lot. In addition, one parking lot landscape island shall also be provided for every 150 linear feet of parking spaces, whether at the periphery or in the interior of the parking lot. Each landscape island shall be of sufficient shape and size so that one overstory tree or two understory trees will fit within the island. No portion of an island shall be less than three feet in width.

Each landscaped parking lot end island should have at least one overstory shade tree (shown), or two understory trees.



Source: DeChiara and Koppelman 1984.

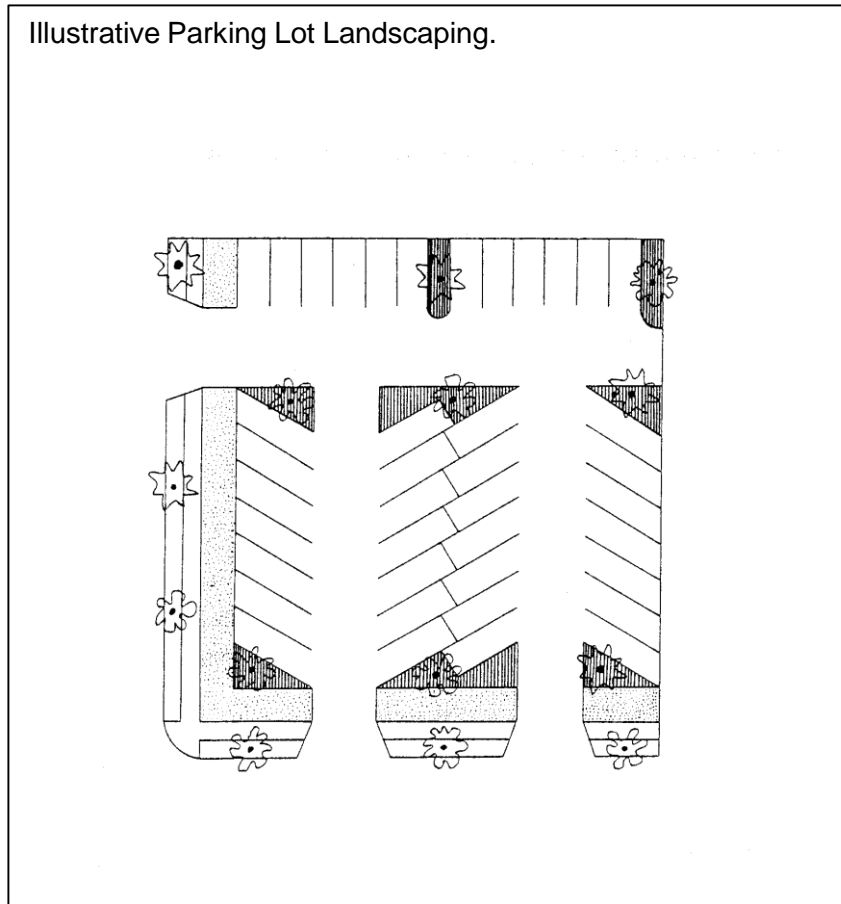


North Fulton Hospital, Roswell

An excellent example of a mature, evergreen screen between the highway and the front parking lot. Cars parked in this lot are not visible from the highway, a recommended practice.

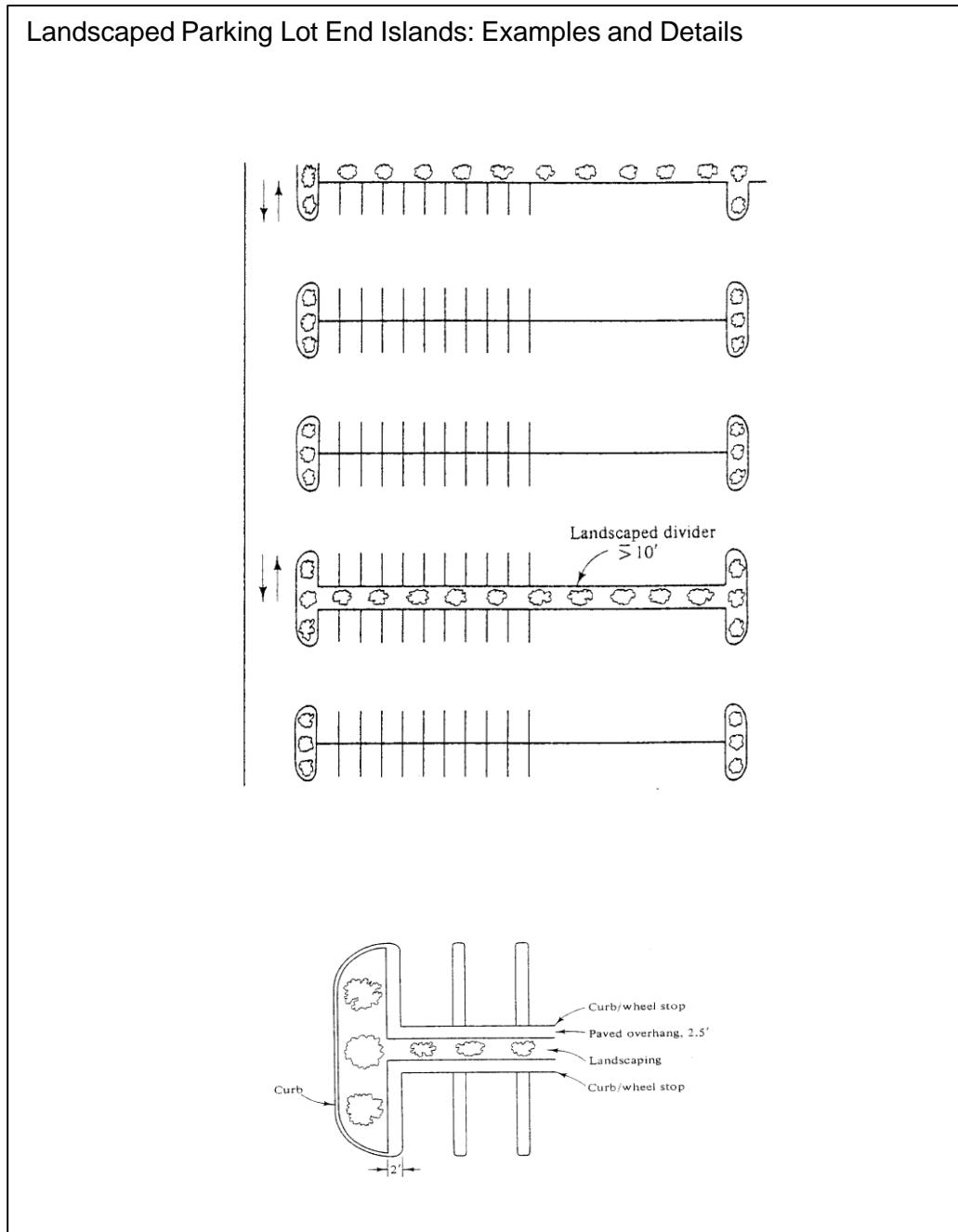


A second perspective on the mature, evergreen hedge that screens the front parking lot of the hospital.



C. Landscaping should permit adequate sight distance for motorists and pedestrians entering and exiting a site and should not interfere with circulation patterns.

D. Curbing should be used at the edges of all planters and paving surfaces adjacent to vehicle circulation or parking areas. Vehicle overhang above or into landscape areas should be avoided unless wider or larger planting areas are provided to accommodate such instances. Landscaping should not be installed in areas of potential vehicle overhang.



Source: Stover and Koepke 1988.



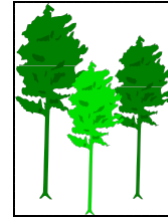
Kroger Shopping Center at GA 400 and SR 53

A close look at the stripe-painted parking stall end island. This area should have been curbed and planted with a street tree and shrubs to soften the impervious environment. Also note that a painted end island serves little if any purpose of access direction. Motorists will drive across painted end islands and also park in them if the lot is full, thereby restricting the vision of motorists.



Shopping center, Alpharetta Highway, Roswell

Contrast this shopping center parking lot with those typically found in Dawson County. Rather than being simply painted, the parking lot end islands are curbed, striped, and filled with low-lying shrubs and some shade trees (recommended practices).

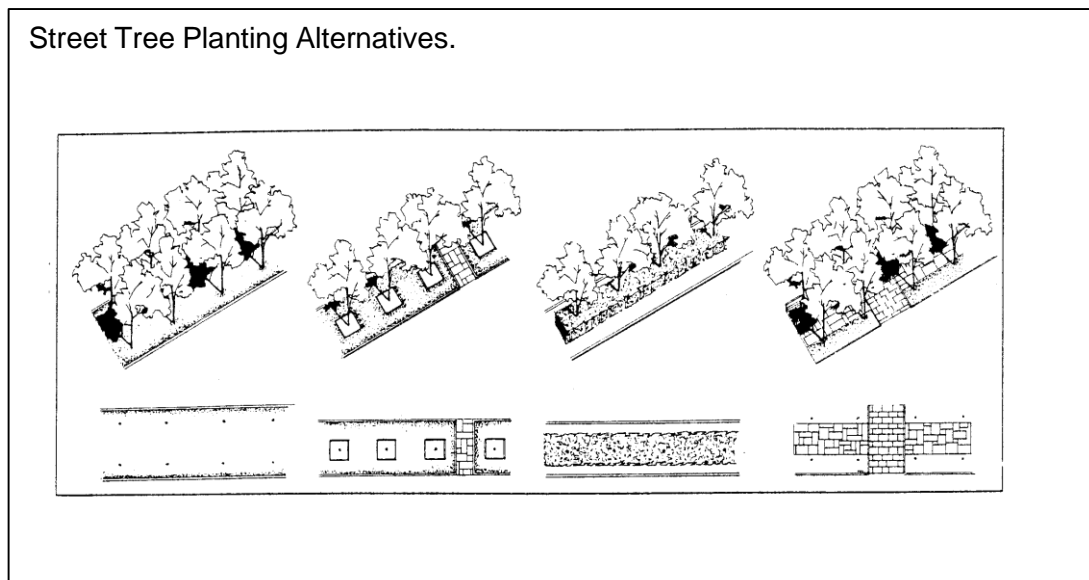


5.6. STREET TREES

A. In the north portion of the Georgia 400 corridor, street trees shall be installed in the public right-of-way of local streets for all development within non-residential districts, subject to the approval of the County Engineer.

B. Unless unusual circumstances prevail, all street trees or parking lot trees should be a minimum 15-gallon size. Street trees should normally be overstory, non-ornamental, with a minimum three-inch caliper planted at 75-foot intervals. Sugar maple is the preferred street tree. In the south portion of the Georgia 400 corridor, street tree planting should strive to achieve the look of a manicured landscape by planting; toward this end, street trees may be grouped rather than spaced at regular intervals.

C. In lieu of street trees in the south portion of the Georgia 400 corridor, a right-of-way planting strip as required by these regulations should contain landscaping with a minimum caliper of three inches planted thirty feet on center.



Source: Bishop 1989.

D. In commercial areas, street trees along driveways and other access roads should be provided in addition to any proposed on-site landscaping to provide shading, visual enhancement, and continuity for the streetscape.

E. Street tree placement should include consideration for vehicle line of sight, entrance and exit curb cuts, street light and traffic control devices, and other site specific conditions. Street trees should be planted in a manner so that when they reach maturity they will not conflict with the visibility of signs.

F. Street trees should be pruned from grade to a minimum height of seven feet, six inches to allow visibility of buildings and sufficient vertical clearance.



Northmeadow Office Park, Roswell

Recommended practices for business parks and access roads. An attractive, heavily landscaped road median in a business/industrial park. Trees planted some 15 years ago now have matured to provide an inviting canopy.

5.7. IRRIGATION

A. Water-intensive landscaping, such as turf grass, should be concentrated in areas of high visibility and use. The combined square footage of turf grass and decorative water (e.g. fountains, ponds, etc.) should be minimized to reduce water use and evapotranspiration.

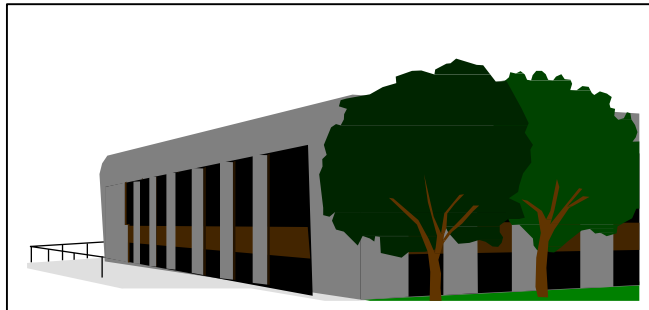
B. Plant materials should be chosen which grow well in the localized climate and the given soil conditions without requiring excessive irrigation.

C. A plan for an automatic irrigation system should be provided as appropriate to insure that all plants receive adequate water for healthy growth. Irrigation systems should be provided for all planted areas that are under roof overhangs.

5.8. Landscaping, Additional Requirements

See Dawson County Buffer, Landscape, and Tree Ordinance.

CHAPTER SIX ARCHITECTURE OF PRINCIPAL BUILDINGS



6.1. GENERALLY

A. Architectural design should be compatible with the developing character of the neighboring area. Design compatibility includes complementary building style, form, size, color, materials, and detailing.

B. The relationship of a building to its site, the public right-of-way and adjacent buildings is one of the most important components of successful urban design. The appearance of a building with respect to the street and other surroundings should be considered. If the building is much different in elevation from adjacent buildings and improvements, it will look out of place.

C. The designer should consider each of the following contexts as part of the design process:

1. Size (the relationship of the project to its site)
2. Scale (the relationship of the building to those around it)
3. Massing (the relationship of the building's various parts to each other)
4. Fenestration (the placement of windows and doors)
5. Rhythm (the relationship of fenestration, recesses and projections)
6. Setback (in relation to setback of immediate surroundings)
7. Materials (their compatibility with the historic district)
8. Context (the overall relationship of the project to its surroundings)

6.2. STYLE

A. Diversity of architectural design should be encouraged. "Theme" or stylized architecture which is characteristic of a particular historic period or trend is not encouraged, unless the existing building or site is historically important to the district or necessary for architectural harmony.

B. Multiple buildings on the same site should be designed to create a cohesive visual relationship between the buildings.

6.3. EXTERIOR MATERIALS

A. All sides of a building may impact on its surroundings and should be considered for treatment with an architectural finish of primary materials (i.e., brick and stone). As a ~~general rule~~ **requirement**, front facades ~~should~~ **shall** be at least **eighty (80)** percent brick and/or stone. Side facades ~~should~~ **shall** be at least **fifty (50)** percent brick and/or stone. **Unless clearly visible from a road way, Rear rear** facades do not have a minimum requirement for primary materials and can consist entirely of secondary materials (e.g., stucco). Tertiary materials (i.e., wood and metal) should be used for decorative elements and trim only. **If the rear façade is visible from the road, it shall be comprised of at least fifty (50) percent brick and/or stone.**

B. Exterior building materials on the primary structure ~~should~~ **shall** not include smooth-faced concrete block, tilt-up concrete panels, or prefabricated steel panels.

C. The following types of building materials are ~~highly discouraged~~ **prohibited**: highly reflective, shiny, or mirror-like materials; mill-finish (non-colored) aluminum metal windows or door frames; exposed, unfinished foundation walls; exposed plywood or particle board; and unplastered, exposed concrete masonry blocks.

D. All exterior facades of a structure located on an outparcel of a larger development ~~should~~ **shall** be considered ~~primary~~ **front and side** facades ~~only~~ and ~~should~~ **shall** employ architectural, site, and landscaping design elements which are integrated with and common to those used on the primary structure on the site. Common design elements should include colors and materials associated with the main structure or structures on the larger development.

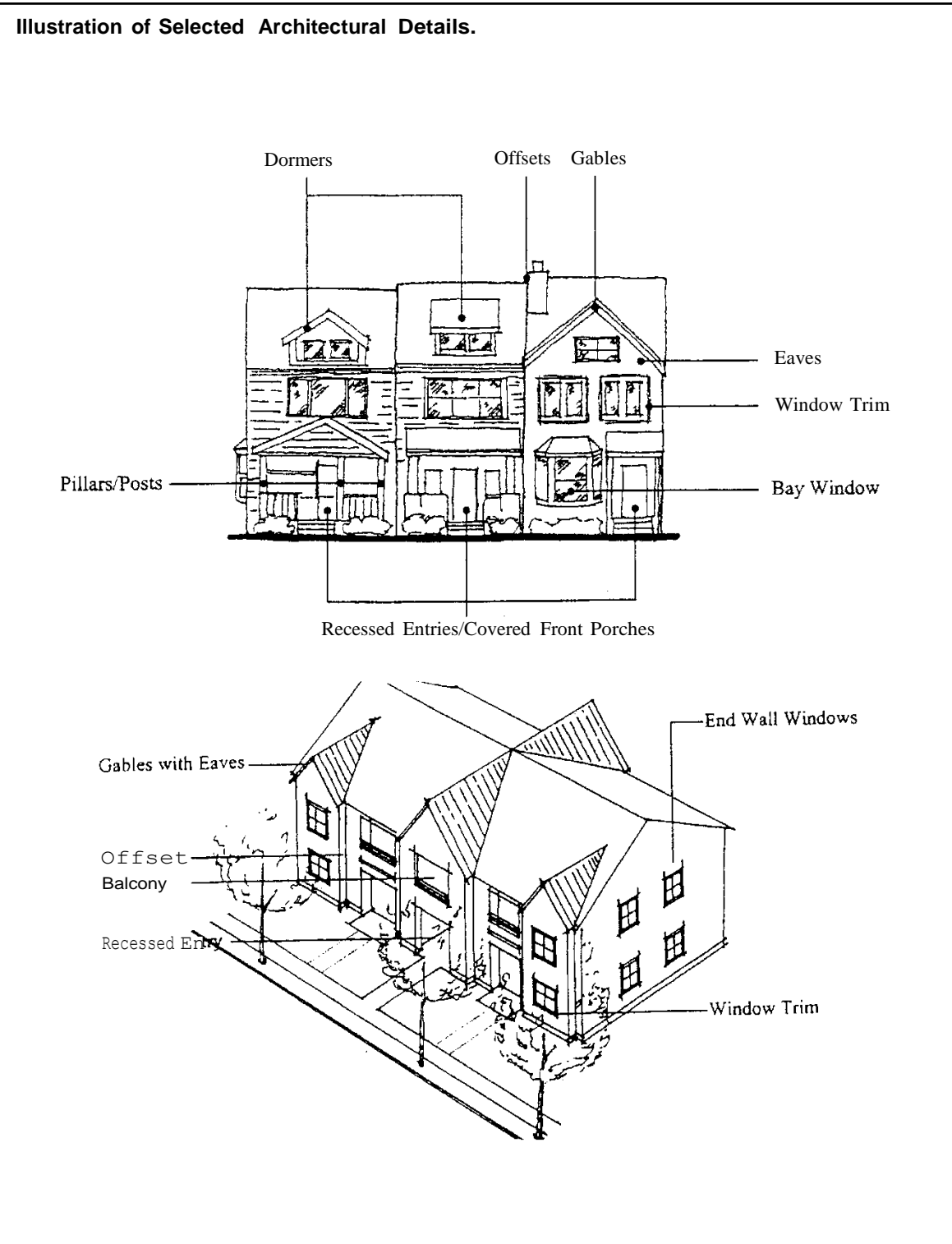
E. ~~Buildings that are stylized in an attempt to use the building itself as advertising should generally be discouraged, particularly where the proposed architecture is the result of a "corporate" or franchise style.~~ **Buildings that are stylized as part of a required corporate or franchise look that cannot meet the requirements in 6.3.; may appeal to the Planning Director in writing and provide compelling documentation as to why relief to these requirements should be granted. Documentation required shall include but not be limited to: proposed exterior elevations of proposed building(s) with material(s) breakdown in percentages; images and documentation showing how the proposed deviation shall not undermine the policies and intent of this ordinance; and if approved, only the minimum amount of relief shall be granted.**

F. All vents, gutters, downspouts, flashing, electrical conduits, etc., should be painted to match the color of the adjacent surface, unless being used expressly as a trim or accent element.

G. Soffits and other architectural elements visible to the public but not detailed on the plans should be finished in a material compatible with other exterior materials.

H. Material or color changes generally should occur at a change of plane. Piecemeal embellishment and frequent changes in material should be avoided.

I. Approved address numbers should be provided so that they are legible to the public from the street fronting the property.



Source: Oregon Transportation and Growth management Program 1999b.



Kroger Shopping Center at GA 400 and SR 53

- The rear side of the shopping center consists of a finished but monotonous wall. Although not visible to the general public unless they drive around to the rear of the shopping center, because of the lack of visual screening, adjacent residents will be able to view this wall.
- A horizontal accent stripe (a 4-6 foot wide stripe of different color) could help to reduce the monotonous color and even give an appearance of breaking up the continuous nature of the building wall.



Former Sam's Club big box, Alpharetta Highway, Roswell

Recommended practice. An excellent example of a line of mature trees that almost entirely screen what would otherwise be a large, imposing side wall of a big box.



Chestatee State Bank, SR 53 east of Ga. 400

This building is well articulated. The façade varies in its setback and there are a variety of pitched rooflines. The columns help to define a welcoming entrance to the building.



Dawson 400 shopping center

Close up view of an attractive brick façade. Benches are strongly recommended to provide comfort to pedestrians. However, advertising on benches is strongly discouraged if not prohibited.

6.4. COLORS

A. Facade colors should be low reflectance, subtle, neutral, or earth tone colors. High-intensity colors, metallic colors, black, or fluorescent colors should not be used. Building trim and accent areas may feature brighter colors, including primary colors, provided that the width of the trim should not exceed four (4) feet.

B. Building colors should be carefully chosen so that each building complements that of its neighbors. Colors can be classified as the "base" color (used on the majority of the building surface), "trim" color (used on the window trim, fascia, balustrades, and posts), and "accent" color (used on signs, awnings, and doors). The base color should consist of more subdued earth tones or brick shades. Trim colors should have contrasting lighter or darker shade than the base color. If natural brick is used, it should not be painted.

6.5. AWNINGS AND CANOPIES

A. The use of awnings on buildings are recommend so as to provide much needed protection from sun, wind, and rain, and to improve aesthetics of the building exterior.

B. Awnings are recommended to be constructed with a durable frame covered by a canvas material. Awnings that are backlit through translucent materials may be acceptable but are not particularly encouraged. Aluminum and other metal canopies are acceptable in most instances, particularly when integrated into shopping center designs. Flameproof vinyl, canvas or metal awnings and canopies may be used.

C. Solid colors are preferred over striped awnings, but striping is permitted if colors compliment the character of the structure or group of buildings.

D. Awnings are encouraged for first floor retail uses to provide architectural interest and to encourage pedestrian activity. Where awnings are used, they should be designed to coordinate with the design of the building and any other awnings along the same block face.

6.6. PARAPETS

Parapets should not be unbroken on any given side of a building for more than one hundred feet. Parapets with greater distances should be articulated by indentations and modulations or by the additions of elements such as ballustrades or other exterior members.

6.7. CORNICES

Cornice lines should be provided at the appropriate story of multi-story buildings, with architectural detailing compatible with the building design.



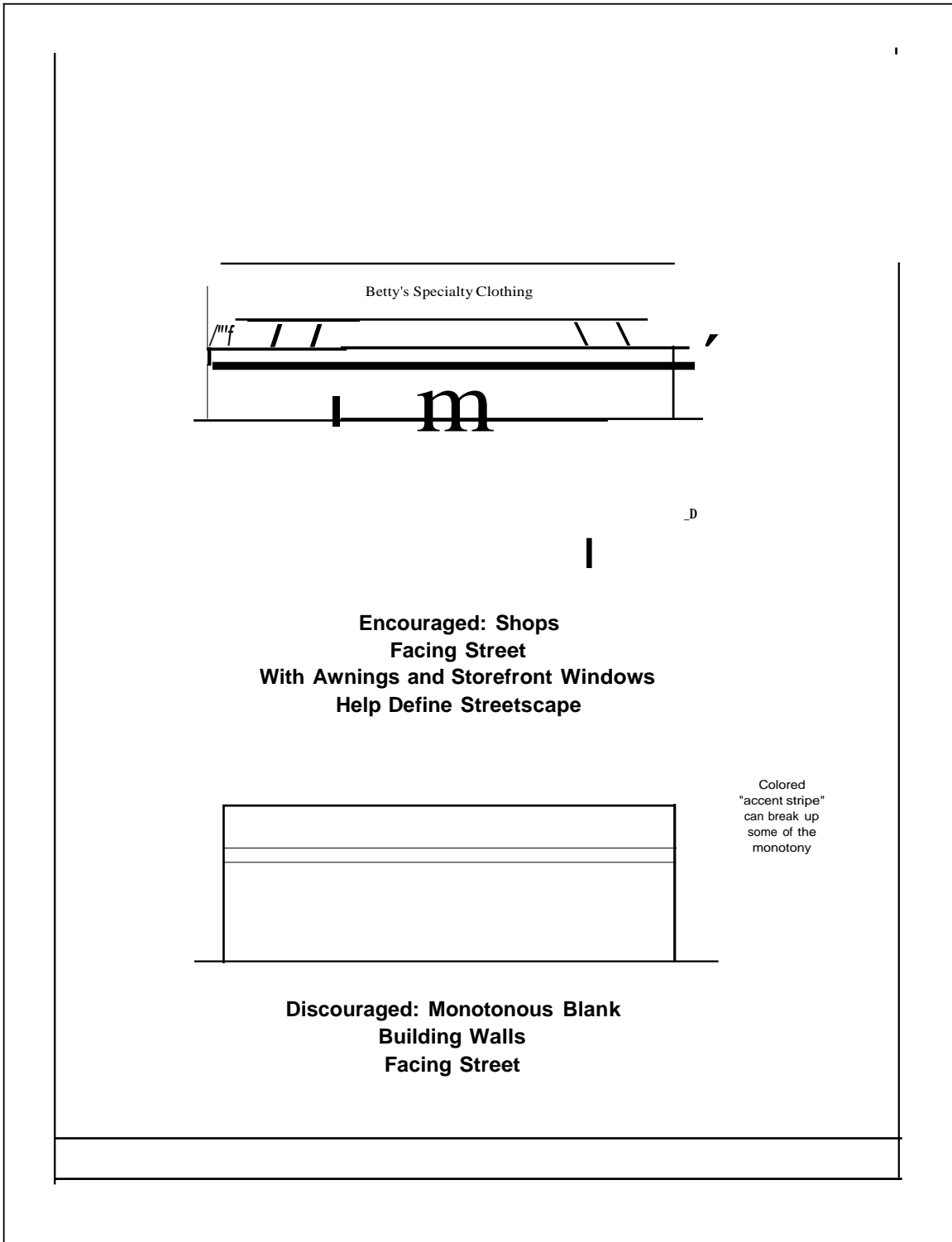
Dawson 400 shopping center at Ga. 400 and SR 53 (southwest quadrant)

- Attractive two story structure with an effective awning.
- Brick planter boxes in the front add attractiveness to the streetscape.
- Ground level windows in pedestrian retail districts should normally be larger than the windows for the second story use.



Shopping center northbound on Ga. 400 north of SR 136

- The gabled (pitched) roof of the canopy structure and the embellishment at the top of the structure add architectural interest, but the support beams are exposed.
- Canopy overlighting should be recessed into the roof structure rather than protruding below the plane of the canopy ceiling.





Kroger Shopping Center at GA 400 and SR 53

The continuous building façade is broken up by varying the façade setback. While the awning does not necessarily need to be continuous, the same type of awning found in the left side of the picture could have been extended along the portion of the façade that houses the shopping carts and coke machines (the section of building to the left of the Kroger sign).



An attractive and well articulated façade at the Dawson 400 shopping center

- The entrance to Dollar General is a distinct architectural feature.
- Pitched metal colored roof with cornice and brick façade are appropriate (recommended practices).
- Use of gables adds further architectural interest. However, the gabled façade on the Ace Hardware tenant space is "false" in the sense that it is not fully integrated into the pitched roof (note the exposed support pole, discouraged practice).

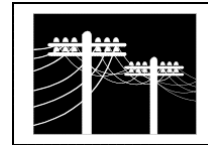
CHAPTER SEVEN

ACCESSORY STRUCTURES, USES, AND AREAS

7.1. GENERALLY

A. Unattractive project elements such as storage areas, transformers, generators and similar features ~~should~~ **shall** be sited in areas ~~which are generally~~ not visible from the street and must ~~also~~ be screened from view. **Any deviation shall be reviewed case by case and subject to the Director of Planning and Development.**

B. Electrical transformers which are installed as part of a new project shall be located to the rear of the site or other remote area, or placed underground. Existing transformers located at the front of the site shall be screened by substantial landscaping and/or an architectural barrier.



C. Utility lines are required to be undergrounded.

7.2. TRASH ENCLOSURES

A. Trash enclosures shall be **gated and** constructed of sturdy, durable, opaque materials (with trash receptacles screened from view) which are designed to be compatible with the project architecture ~~and should use similar materials.~~ **Chain link fencing is not allowed.**

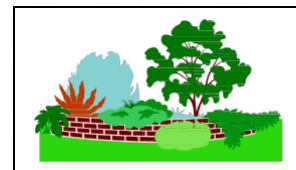
B. Trash enclosures should include adequate, accessible and convenient areas for collecting and loading recyclable materials.

7.3. MECHANICAL EQUIPMENT

Rooftop mechanical and electrical equipment shall be screened from public view by building elements that are designed as an integral part of the building architecture.

7.4. FENCES AND WALLS

A. All walls or fences fifty feet in length or longer, and four feet in height or taller, should be designed to minimize visual monotony through changes in plane, height, material or material texture or significant landscape massing.



B. Chain link fencing is discouraged. Use of special fencing design or materials should be discussed in cases where site security is paramount. If used, it should be vinyl coated (black or green colored vinyl encouraged).

C. Wooden fences should be painted or stained in an appropriate fashion and should not normally exceed a height of six feet.

D. The design of fences and walls should be compatible with the architecture of the main building(s) and should use similar materials.



Shopping center northbound on Ga. 400 north of SR 136

Dumpster is screened with a solid wooden fence. Although screening of dumpsters is a recommended practice, its disrepair has resulted in the trash enclosure becoming an eyesore. The mesh screen over the top adds to the unkempt appearance. Trash collection areas must be kept clean from debris.



Northmeadow Office Park, Roswell

Recommended practice for screening dumpsters. The dumpster is enclosed on three sides with a solid decorative block wall, approximately eight feet high, that matches the primary building on the site. Doors allow for the complete enclosure of the receptacle area. The dumpster area is kept free from debris.



CVS pharmacy on north side of SR 53 west of Ga. 400

- Dumpster area is screened with chain link fence containing inserts for partial screening. While it is well maintained, this type of enclosure does not provide 100 percent screening and is therefore not a recommended practice.
- The utility structure is not screened (discouraged practice) and should be located in a more remote portion of the site and screened.



Kroger Shopping Center at GA 400 and SR 53

Newspaper and magazine recycling collection boxes intrude on parking area. Recycling collection areas should be anticipated and better integrated into shopping center developments. Areas selected for recycling collection must have adequate truck access.



Dawson 400 shopping center

Utility structure is not screened (discouraged practice)



Shopping Center, Alpharetta Highway, Roswell

Recommended practice. The utility cabinet is barely visible, painted a dark green color to blend in with surroundings, and tucked into a remote location of a dense natural area.

CHAPTER EIGHT

COMMERCIAL DEVELOPMENT

8.1. GENERALLY

A. Commercial buildings should be compatible in scale, mass, and form with adjacent structures and the pattern of the surrounding area.

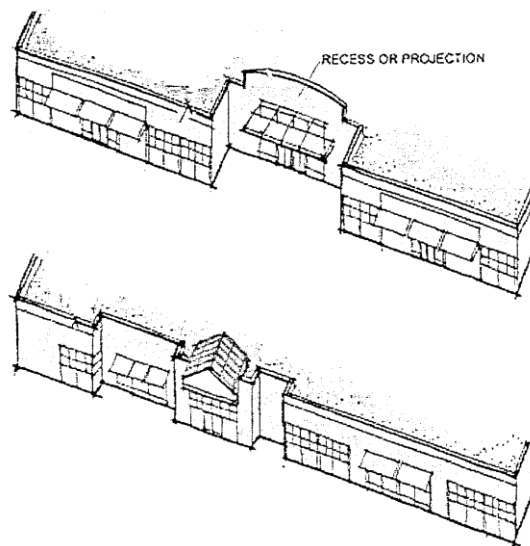
B. Efforts to coordinate the height of buildings and adjacent structures are encouraged. This is especially applicable where buildings are located very close to each other. It is often possible to adjust the height of a wall, cornice or parapet line to match that of an adjacent building. Similar design linkages such as window lines should be placed in a pattern that reflects the same elements on neighboring buildings.

C. Long or continuous wall planes should be avoided, particularly in the pedestrian activity areas, where buildings should exhibit more detail and elements appropriate for close range pedestrian view.

D. Outside of pedestrian retail districts, building surfaces over two stories high or fifty feet in length should be relieved with changes of wall plane that provide strong shadow or visual interest.



Recesses and Projections.



8.2. PEDESTRIAN RETAIL DISTRICTS

A. The urban design objective of pedestrian retail districts is to create a high quality, pedestrian scale, and walkable areas with a traditional downtown atmosphere. Site and building design should address pedestrian needs and develop creative approaches to improving pedestrian interest, access and enjoyment.



Residential uses when mixed with commercial shops provide for active neighborhoods.



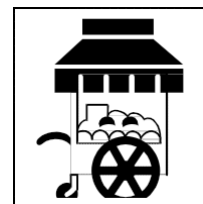
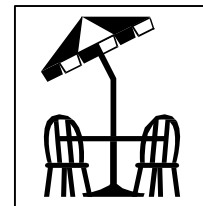
Source: Oregon Transportation and Growth Management Program 1999b.

B. Frontage design and signage locations should be coordinated with streetscape landscaping and street trees.

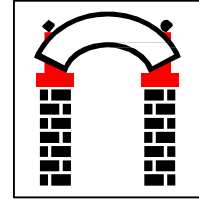
C. Building frontages should be active, with large nonreflective minimally tinted window openings at ground level.

D. The ground level front elevation of the building, outdoor eating, and activity areas should be placed on or near the front property line to maintain the continuity of the street edge, or in alignment with adjacent property frontage. Outdoor seating and dining areas that face onto the street are encouraged.

E. Street vendors are encouraged to add activity and interest to pedestrian areas.



F. Pedestrian open spaces such as covered walkways, courtyards and plazas are encouraged, as well as the development of open and attractive passageways between buildings and blocks.

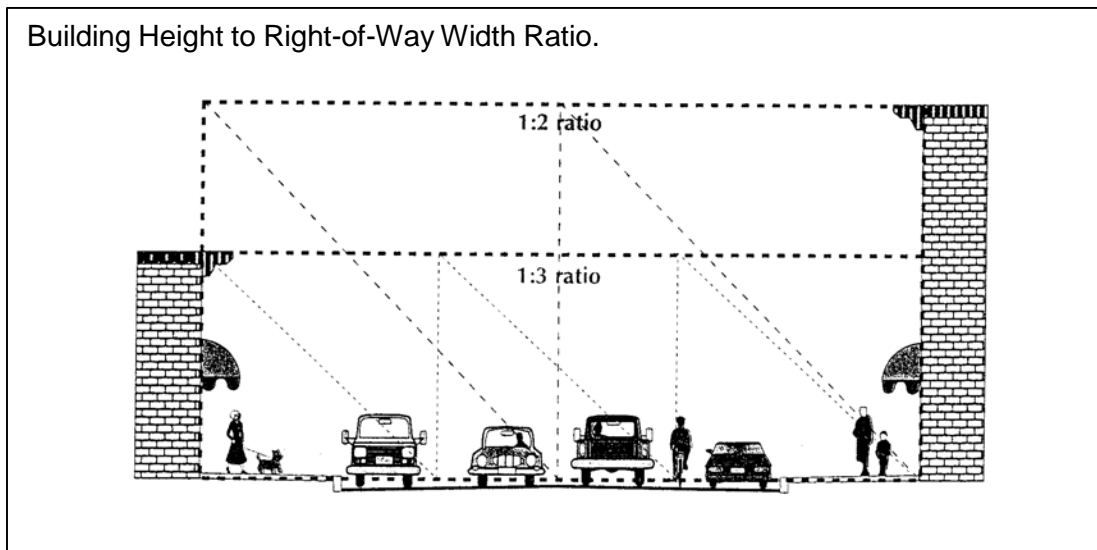


G. Gaps created in the street wall by parking or other breaks in buildings should be minimized or eliminated.

H. The sequence of continuous pedestrian activity should not be interrupted. Blank walls and other "dead" or dull spaces at the street level should be avoided. Visually interesting activities at the sidewalk edge should be maintained and/or established to engage pedestrian interest.

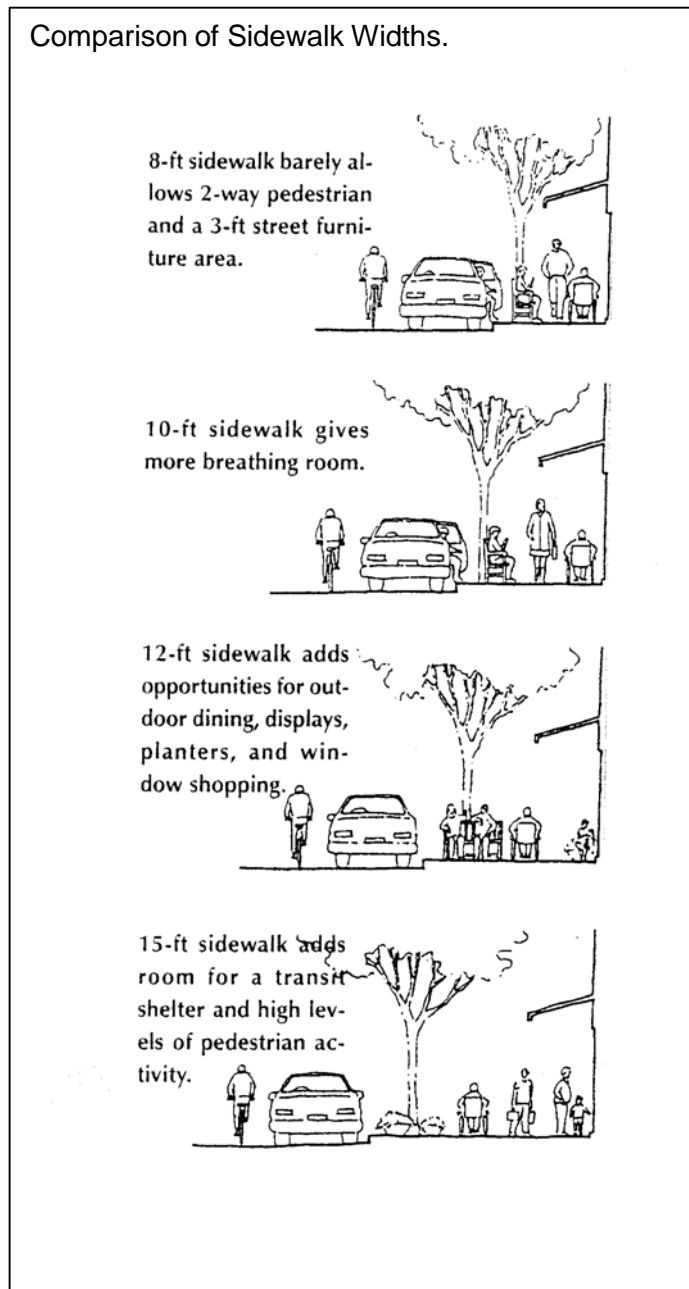
I. When alley access is not possible, driveway openings along public streets should be minimized and should be located on the street with the least traffic volume.

J. Large structures should be designed to reduce their perceived height and bulk by dividing the building mass into smaller-scale components. The ratio of building height to right-of-way width should not exceed 1:3.



Source: Oregon Transportation and Growth Management Program 1999a.

K. Sidewalk space should be at least ten feet in width, with street trees planted in a rhythmic pattern.



Source: Oregon Transportation and Growth Management Program 1999b.

L. All developed sites should provide at least one continuous, on-site intra-parcel walkway of at least five feet in width to connect sidewalks adjoining rights-of-way to the main entrance(s) of that property's building(s), in compliance with the Americans with Disabilities Act (ADA).

M. The rear of existing buildings should be enhanced, where appropriate, to improve public access from parking lots and service alleys.

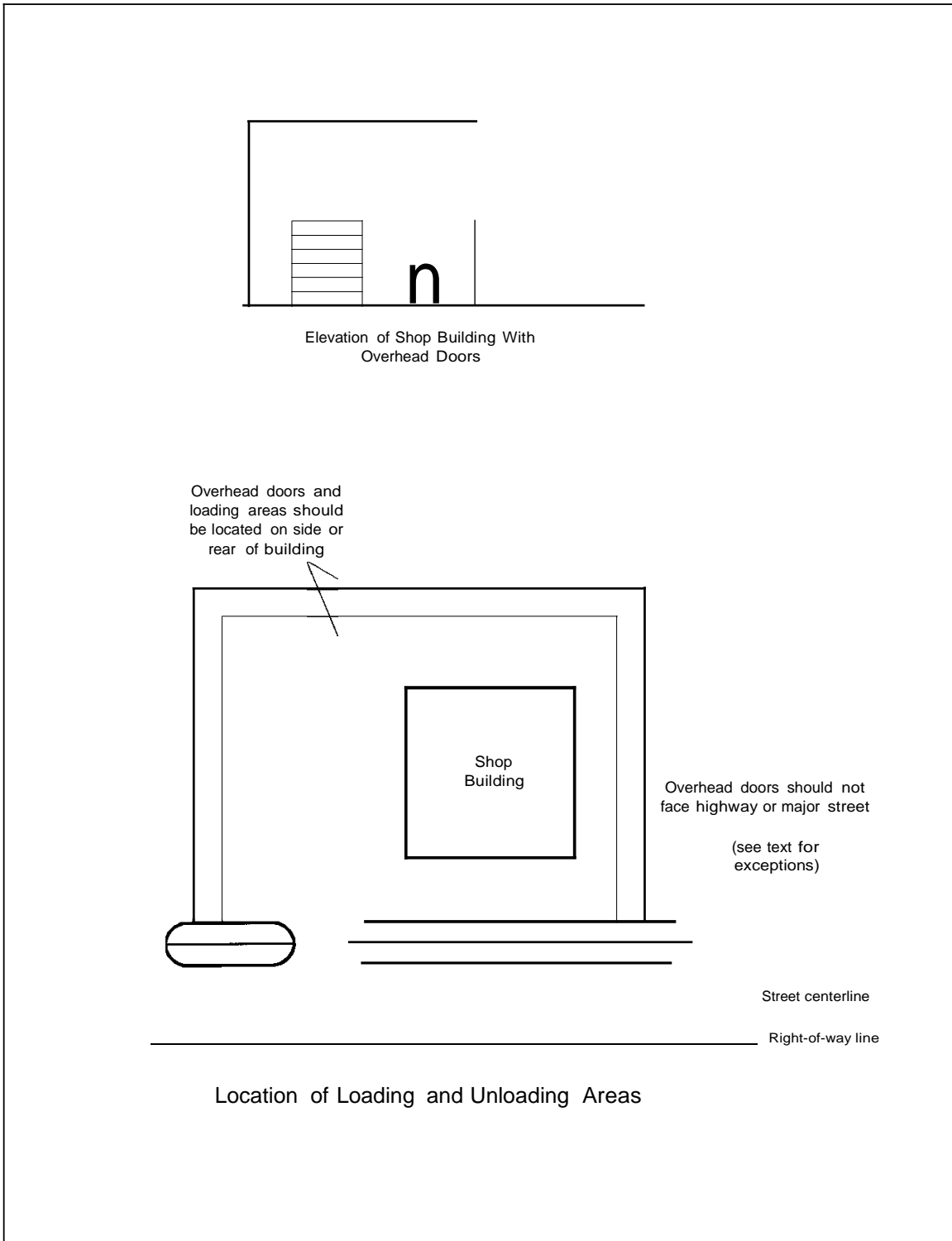
8.3. AUTOMOBILE SALES, PARTS, AND SERVICE ESTABLISHMENTS

- A. The service area and/or service bays ~~should~~ **shall** be screened or sited so they ~~are not visible~~ **as to limit visibility** from the street.
- B. Vehicles under repair shall be kept either inside a structure or in an area which is screened from views from the street.
- C. Service areas shall provide adequate queuing space that does not impede vehicle circulation through the site or result in vehicles stacking into the street.
- D. Perimeter fencing, security fencing, or gateways shall be constructed of attractive materials which are compatible with the design and materials used throughout the project. Razor wire or electric fencing should not be allowed and chain link fencing is strongly discouraged.



Express Lube, Alpharetta Highway, Roswell

Discouraged practice. Auto service facilities should not have their service bays facing street, and parking for all uses should be located to the side or rear of the building rather than in the front yard.





NAPA auto parts store on the south side of SR 53 east of Ga. 400

The architecture fits the company's logo and design specifications, but the small awning adds very little articulation and interest to the building facade. The all-metal building should be broken up and treated with some different materials, such as a partial brick base.



NAPA Auto Parts Store, Mansell Road, Alpharetta

This NAPA store's building exterior has a more finished appearance (textured block as opposed to metal siding), the sign is monument style rather than erected on a pole, and the front yard is landscaped with shrubs and street trees.

8.4. CONVENIENCE STORES

A. The on-site circulation pattern should include adequate driving space to maneuver vehicles around cars parked at the pumps, with special attention to the circulation of vehicles not involved in the purchase of fuel.

B. The amount of unrelieved pavement or asphalt area on the site should be limited through the use of landscaping, contrasting colors and banding or pathways of alternate paver material. Extensive expanses of single color concrete pavement should be avoided.

C. Building architecture should be designed to provide an attractive appearance which is compatible with the surrounding area. All architectural details should be related to an overall architectural theme.

D. Separate structures (canopy, carwash, cashiers booth, etc.) on the site should have consistent architectural detail and design elements to provide a cohesive project site. If a car wash is incorporated into the project, it should be well integrated into the design. The car wash opening should be sited so that it is not directly visible as the primary view from the street into the project site.



Exxon convenience store with gas pumps and
car wash, Alpharetta Highway, Roswell

Recommended practices for building character into a convenience stores. The canopy over the gas pumps has brick support columns, a pitched, shingled roof and architectural detailing at the top of the structure. The car wash, located in the right part of the picture, has a brick facade and a pitched, shingled roof. Note that the materials for the canopy and car wash match the primary building on the site (convenience store). The developers have further softened the car wash building with second story windows.

8.5. COMMERCIAL DISPLAY LOTS

A. Where permitted, the outside storage or display of vehicles, equipment, and merchandise to be rented, leased, or sold, including manufactured home sales, should be visible along no more than thirty percent (30%) of the frontage of the property abutting the highway or major street, excluding approved driveway entrances and exits. Screening may be accomplished by a natural vegetative buffer, by a building, by an earthen berm, by a 100 percent opaque, solid wooden fence or wall, or combination of these screening methods. The use of low-lying landscaping that does not screen the display areas from view from the public right-of-way would not comply with this guideline.

B. Outdoor sales for department stores should be limited to a small percentage of the total area of the site, and if extensive in area, should be partially screened from view.



Fleetwood Homes site on GA 400 North

The view to this site, which displays and sells manufactured homes, needs to be mostly screened. Recommended practice is to screen approximately 70 percent of the frontage with landscaping, leaving a significant view corridor on part of the frontage.

8.6. FAST FOOD RESTAURANTS

A. Franchise or corporate style architecture and/or highly contrasting color schemes are discouraged. If the restaurant will occupy a pad within a shopping center, the building should be designed to be consistent with the "theme" or design of the center.

B. Where drive-through elements are appropriate, they should be architecturally integrated into the building. Drive-through elements should not be located on the street side of the building or else should be heavily screened from view.

C. The site design should accommodate a logical and safe vehicle and pedestrian circulation pattern through the site. Circulation needs to allow for adequate length of queuing lines for drive-through elements which do not interfere with the on-site parking for patrons entering the restaurant, nor result in traffic queuing into the street.

D. Free-standing restaurant buildings should be designed and detailed consistently on all sides, including the rear and side elevations.

E. Outdoor seating areas, play equipment, and perimeter fencing should be of compatible and attractive design that is integrated with the main building architecture.



Waffle House under construction on the south side of SR 53 east of Georgia 400

The building façade is broken up with regard to color and is composed of attractive materials. However, a pitched roof would have helped this building avoid a look of "shoebox" architecture. It has now been completed with awnings.



Arby's at Dawson Forest Rd. and GA 400



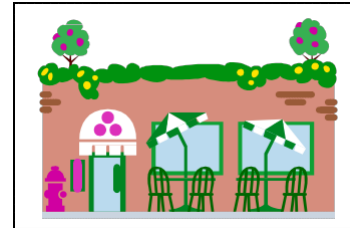
Arby's, Alpharetta Highway, Roswell

The shorter side of the building faces the street with all parking and the drive-through facility located in the side and rear yards. The front yard is landscaped with grass and shrubs (recommended practices). The neon banding is not recommended.

8.7. SHOPPING CENTERS

A. A unified architectural design should be incorporated into each commercial center, including freestanding pad buildings. However, this should not discourage variations in the facades of multi-tenant facilities to enhance the perception of individual places of business. Any such variations should be achieved without creating an uncoordinated appearance or disrupting the harmony of architecture created for the entire development.

B. Outdoor gathering areas and public eating areas are encouraged.



C. On larger commercial sites, a portion of the total building area should be located at the street perimeter, preferably on a corner location. Such siting, together with substantial landscape treatment, reinforces and strengthens the streetscape and helps to screen off-street parking areas.

D. Shopping cart storage areas should be incorporated into the building design to provide a visual screen of carts from the parking area.

E. Recycling collection boxes should be relocated in remote parts of the site and screened.



Kroger Shopping Center at GA 400 and SR 53

The parking lot lacks landscape islands. Box type lighting is appropriate and not too tall. No landscape strip exists along the side lot line. Most shopping centers are designed with parking to meet peak demands that rarely occur.



Kroger Shopping Center at GA 400 and SR 53

A grass strip separates the convenience store from the main shopping center. From the human scale, the signs oriented to capture the interests of motorists on Ga. 400 are tall and large. Note the Taco Bell restaurant in the left of the picture has multiple franchise flags flying from the roof. Flags used for advertising purposes add unnecessary visual clutter to the landscape. Notice the painted parking end island in the foreground; this area should have been curbed and landscaped with a street tree and shrubs to soften the impervious environment.



Shopping center northbound on Ga. 400 north of SR 136

Pitched roofs and use of brick in front building facades are recommended practices. However, architectural features lack harmony in the shopping center. Use of columns is appropriate. Note on the roof the metal protrusion that appears to have little if any practical function (it may be an extended fire wall) but unnecessarily introduces a distracting feature to the façade.

CHAPTER NINE

INDUSTRIAL USES

9.1. INDUSTRIAL DISTRICTS

Industrial districts are typically laid out in a gridiron of large blocks 1000 to 2000 feet long and 400 to 1000 feet deep. Road rights-of-ways should be 80-100 feet for major roads and 60 feet for secondary roads. Curves and radii must be large enough to accommodate large trailer trucks.

9.2 SCREENING OF INDUSTRIAL AND STORAGE YARDS

All areas devoted to the outside storage of vehicles, merchandise, and/or equipment not intended for display for public rent, lease, or sale, shall be screened from view from the right-of-way of the highway or county road along the entire property frontage, except in areas where access crossings have been approved. Screening may be accomplished by a natural vegetative buffer, by a building, by an earthen berm, by a 100 percent opaque, solid wooden fence or wall, or combination of these screening methods. The use of low-lying landscaping that does not screen the display areas from view from the public right-of-way shall not be deemed to comply with this requirement.



J & M Laboratories building

The rear side of J & M Laboratories provides a visible view of the loading and storage area (discouraged). This view should be at least partially screened with landscaping and/or a fence/wall.



J & M Laboratories building

The J & M Laboratories building is attractive architecture with appropriate use of columns and vertical articulation (generally good practice for business and industrial parks). However, the building is large enough that the building walls should also be broken vertically with recesses or projections to interrupt the continuous plan of the facade. Notice the reflection of the trees in the windows-while the windows are attractive they should not be too reflective.



Gainesville Welding and Maintenance, Henry Grady Highway

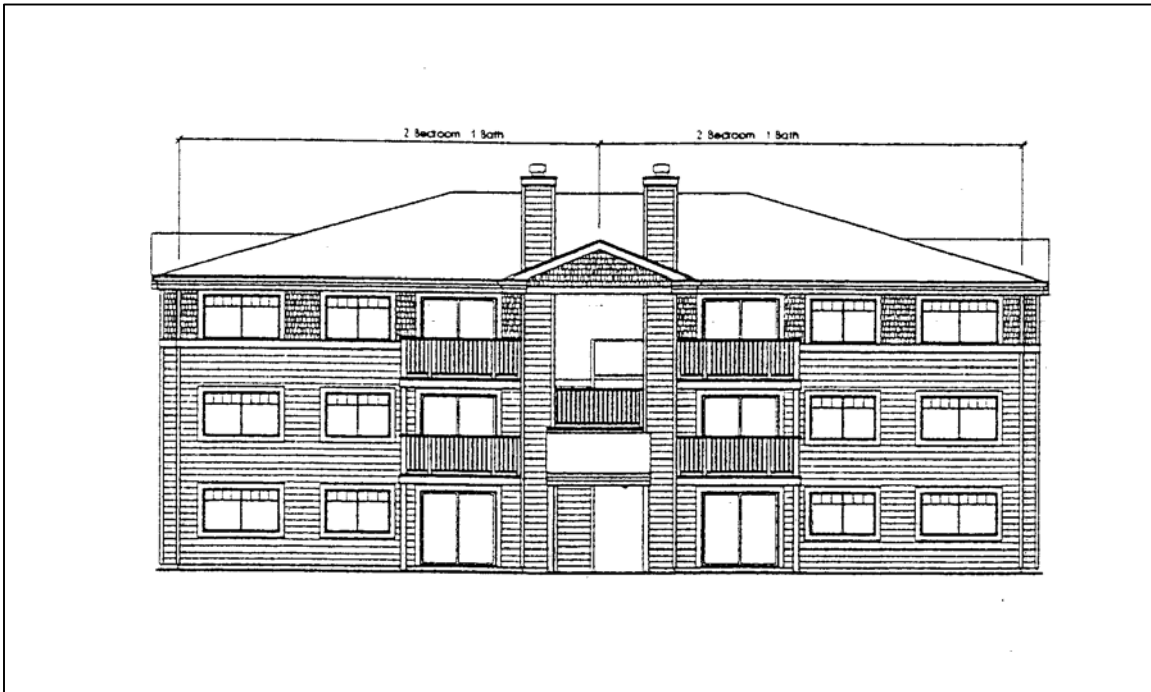
Chain link fencing with barbed wire top strands may be necessary for security purposes in light industrial zoning districts. If so, it should be coated with vinyl. The vehicle storage area is not screened (discouraged practice). Solid wooden fencing without barbed wire, with vegetated landscaping to soften the fencing, is a recommended practice. Inserting plastic or metal slats into the chain links for screening is not recommended because the inserts bend and break and are typically not very well maintained. The storage tank should be buried underground or at least screened.

CHAPTER TEN

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

A. New multiple family residential developments should respect the scale and character of the adjacent residential neighborhood through attention to views, building scale and orientation, proximity to adjacent uses, location of driveways, noise, lighting and landscape.

B. Building facades should be articulated by using color, arrangement, or change in materials to emphasize the facade elements. The planes of the exterior walls may be varied in height, depth or direction. Long facades should be designed with sufficient building articulation and landscaping to avoid a monotonous or overpowering institutional appearance.



C. Exterior site design and landscaping should provide functional recreational spaces and/or community site amenities. Exterior spaces should be designed to enhance the overall appearance and compatibility of such development by providing privacy, buffering and daylight, and to provide a pleasant transition to the street.



Dawson Forest Apartments

Pitched roofs and good use of Recesses and Projections



Split rail fence is acceptable. Sidewalks and street trees would be a good addition.

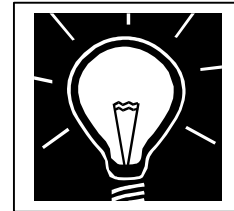
CHAPTER ELEVEN

EXTERIOR LIGHTING

11.1. GENERALLY

A. Exterior lighting should be architecturally compatible with the building style, material and colors.

B. Exterior lighting of the building and site should be designed so that light is not directed off the site and the light source is shielded from direct offsite viewing. All outdoor light fixtures shall be fully shielded or be designed or provided with light angle cut-offs, so as to eliminate uplighting, spill light, and glare.

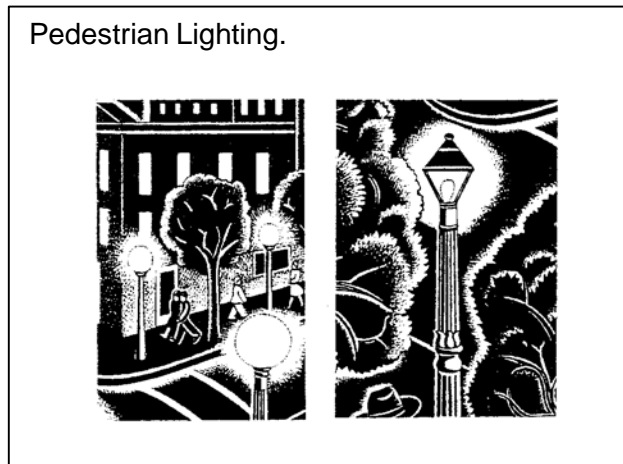


C. Excessive illumination of signage, building or site should be avoided. Roof lighting, down-lighting washing the building walls, and illuminated awnings are all strongly discouraged.

11.2. MOUNTING POLES AND HEIGHT

A. Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3-4 feet in height, are encouraged as pedestrian area lighting.

B. The mounting height of fixtures in smaller parking lots or service areas should not exceed twenty feet, with lower mounting heights encouraged, particularly where adjacent to residential areas or other sensitive land uses.



Source: Prouse 1992.

C. The placement of light poles within raised curb planter areas is encouraged, but conflicts with parking lot trees which can obscure the lighting should be avoided.



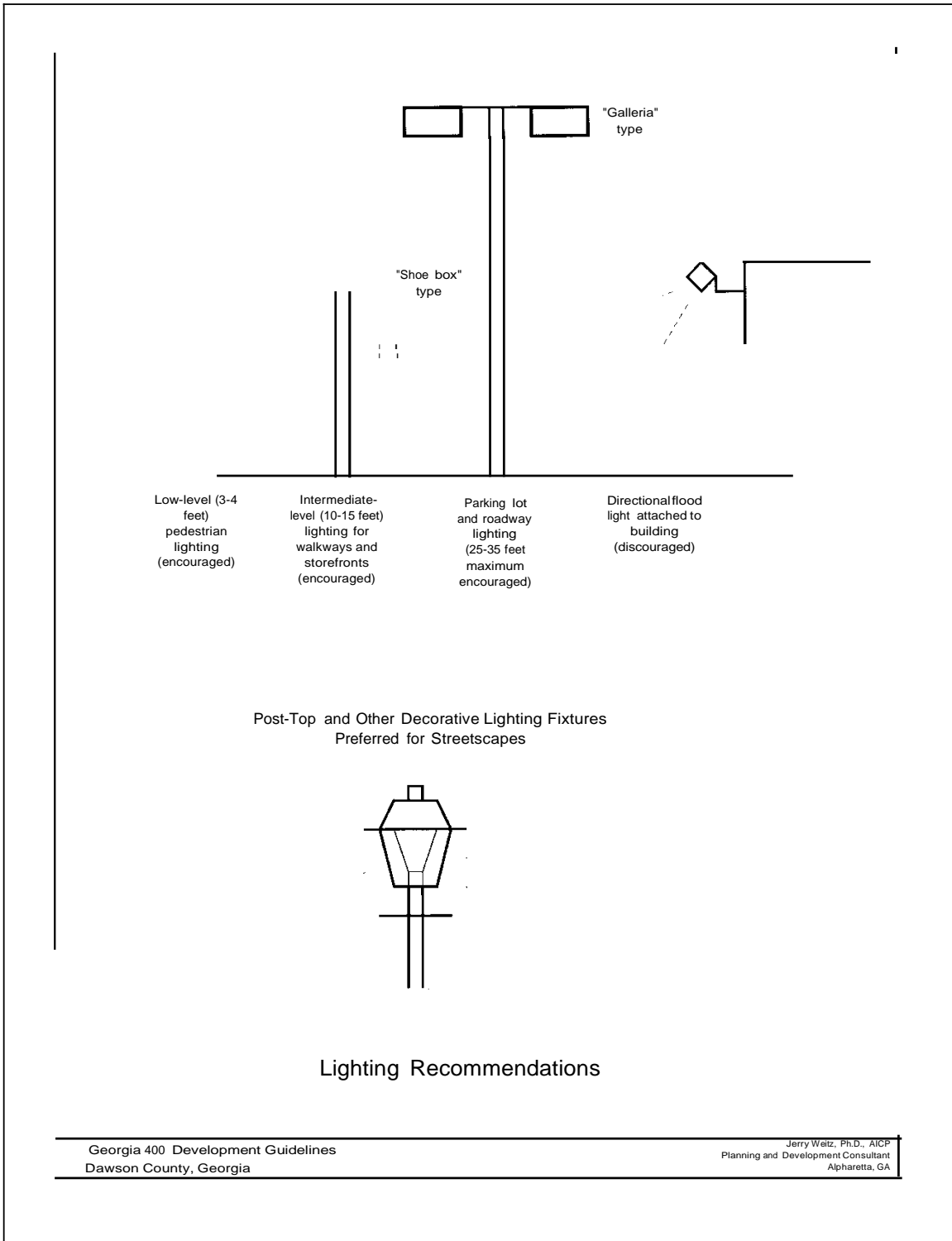
Dawson 400 shopping center

- The shoebox style lighting appears appropriate, although the light poles are of two different colors because the phased addition of the shopping center was not consistent with an earlier design theme.
- The Ingles in the background is an excellent example of architectural articulation with gables and pitched roofs, unique second story window treatments, and effective awnings along the façade. Note also the strong variation in the roof line (all recommended architectural practices for shopping centers).



Mattress King, Alpharetta Highway, Roswell

Discouraged lighting practice. Flood lights installed at the roof line on the building are pointed toward the highway. At nightfall, motorists are likely to experience glare from these lights.



D. Luminaries should be rugged for the application, adapted to the environment, and designed to give years of trouble-free service. Quality luminaries should be selected because, even though there is a higher initial cost, they will be paid back quickly in reduced maintenance costs and increased reliability. Pole mounted "lantern style" or post-top" luminaries are preferred.

11.3. TYPES OF LIGHTING

- A. Light fixtures that provide canopy overlighting should be recessed into the canopy.
- B. Yard lights shall be oriented downward; uplighting is not permitted.
- C. Roof top lighting is strongly discouraged.
- D. The use of excessive night-time security lighting is discouraged. Other security measures should instead be considered.
- E. The use of laser source light for outdoor advertising or entertainment is prohibited.
- F. High pressure sodium lighting is preferred over metal halide or other types of lighting for outdoor parking lots.

11.4. ARCHITECTURAL LIGHTING

- A. Well-designed and distinctive lighting of building facades is one of the best ways to attract attention and make a favorable impression with a minimal investment. Building façade lighting can help enhance the intrinsic charm, beauty, and utility of any given setting. Architectural lighting may include outlining, floodlighting, spotlighting, or any applicable combination of these techniques.
- B. The discrete lighting of a few key architectural features or details is preferred over uniform floodlighting of the entire building façade. Focal points can also be established through careful floodlighting of major buildings, with the lighting of secondary buildings keyed in turn to these focal points.
- C. Highly polished surfaces such as glass, marble, glazed tile, glazed brick, porcelain enamel, and various metals can reflect the image of the light source. Designers should avoid lighting these reflective surfaces directly. Glass buildings usually cannot be lighted for nighttime viewing.

11.5. ILLUMINANCE LEVELS

Illuminance levels for outdoor lighting fixtures should comply with the following standards, measured at three feet above the ground or finished grade.

At Property Lines Including Rights-of-Ways	Minimum Footcandles		Maximum Footcandles
At property line abutting a residential zoning district	None.		0.5
At property line abutting an office-professional zoning district	None		1.0
At property line abutting a commercial or light industrial zoning district	None		1.5
Off-Street Parking Lots	Minimum Footcandles	Average Footcandles	Maximum Footcandles
Residential districts	0.5	2	4
Office-professional districts	1.0	3	6
Commercial districts	2.0	6	12
Light industrial districts	1.0	4	8

Source: Derived from Illuminating Engineering Society of North America 1999.

CHAPTER TWELVE

SIGNAGE

12.1. GENERALLY

A. All signs should be architecturally integrated with their surroundings in terms of size, shape, color, texture, and lighting so that they are complementary to the overall design of the building and are not in visual competition with other signs in the area.

B. All signs should complement their surroundings without competing with each other, and shall convey their message clearly and legibly. If illuminated, signs should not be overly bright for their surroundings.

12.2. SIGN PLACEMENT

A. Signs should be proportionate to the dimensions of their location.

B. Wall-mounted signs should be framed to create a clearly defined edge, provide shadow relief and a substantial appearance.

12.3. SIGN TYPE

A. The use of roof signs is highly discouraged.

B. Rims of neon or use of neon in signs are highly discouraged.

C. Freestanding monument signs are appropriate for office, retail, and industrial uses. Freestanding signs should be a low height wherever site conditions allow for visibility. Monument sign materials should reflect the character of the use and the building(s) the sign identifies.

D. Freestanding sign bases should be made of permanent, durable materials such as concrete or brick. Bases made of texture-coated sheet metal are discouraged.

E. Pole-mounted freestanding signs are discouraged.



F. Driveway directional signs should only be used for projects where circulation is complex and traffic must proceed through the site along a specific path for service. Where the layout of the parking lot and driveways are obvious and clearly apparent to the driver entering from the street, directional signage is not appropriate. When not appropriate or needed, such signage can visually clutter the site and are discouraged.

12.4. SIGN DESIGN AND MATERIALS

- A. Dark colored backgrounds on signs are generally encouraged. Stark white or extremely bright background colors such as bright red, orange or yellow are discouraged.
- B. Where the design of the sign results in a large field of illuminated background, the use of white or off-white as a background color should be avoided in favor of a more suitable color.
- C. Exposed supports or guy wires to stabilize signs are strongly discouraged.
- D. Flat sheet signs (such as plywood) should have a trimmed edge or frame to improve the finished appearance of the sign.

12.5. SIGN LIGHTING

- A. External spot or flood lighting, if needed, shall be arranged so that the light source is screened from direct view by passersby, and so that the light is directed against the sign and does not shine into adjacent property or blind motorists and pedestrians.
- B. Illumination of individual letter signs by shining light upon them is discouraged for both skyline signs and signs placed high on building walls.

12.6. SIGN PROGRAMS

Sign programs that show how signs will complement the style, color and materials of the building are encouraged.

12.7. DIRECTIONAL SIGNS

Development applicants should provide, and the county may require, a program for off-premise directional signage to serve all businesses which do not directly access Georgia 400. These guidelines envision a system of "logo" directional signs, similar to the blue logo signs used on interstate highways, placed at corners of intersections, within or immediately outside public right-of-ways, to guide customers and patrons from the highway and along public frontage roads to their destinations.

12.8. FLAGS

The use of flags should be limited to the flying of one flag of the United States and one flag of the State of Georgia. Business logo flags or the use of multiple U.S. flags for purposes of advertising are strongly discouraged.



North Lanier Court, Ga. 400 northbound of SR 53

- This site has a uniquely shaped monument style identification sign that is appropriately sited and sized with regard to area and height.
- The size and height of the monument sign is a recommended practice. However, the real estate sign gives a billboard type of appearance to the site.
- The real estate sign does not need to be sized for Ga. 400 motorists, as appears to be the case here. Real estate signs should be considerably smaller in size.



Shopping center northbound on Ga. 400 north of SR 136

- Sign blight—a discouraged practice that sets a dangerous precedent and visually degrades the visual character of the corridor.
- Signs that pertain to businesses no longer operating in the shopping center must be removed.
- Portable signs are strongly discouraged if not prohibited.



Shopping center northbound on Ga. 400 north of SR 136

Another example of sign blight (discouraged practice) on the same site. Sign structures that used to provide signage for business that are no longer operating must be removed.



Shopping center northbound on Ga. 400 north of SR 136

Signs for the center should consist of one monument sign, not individual pole signs for multiple businesses as shown here (discouraged if not prohibited practice).



Dawson 400 shopping center at Ga. 400 and SR 53

The brick monument shopping center sign at Dawson 400, while massive in size, is attractive and landscaped around the base (a recommended practice). However, the top of the sign is not integrated into the masonry (a discouraged practice), and the changeable copy area is not appropriately scaled. The shopping center sign provides smaller areas for other retail tenants (e.g., Ace Hardware) (recommended practice). Notice the tall pole signs and billboards in the background contribute to the interchange's "strip" commercial appearance.



Dawson Forest Apartments

This monument entrance sign, with landscaping, is a recommended practice.

12.9. Signage, Additional Requirements

See Sign Ordinance of the Board of Commissioners of Dawson County, Georgia.

CHAPTER THIRTEEN

APPLICATION REQUIREMENTS

13.1. GENERALLY

A written design concept statement should be submitted as part of the design review application which identifies the significant site features, supports the reasoning behind the architecture and site plan proposed, and explains how important site features are incorporated into the project design. Among the elements that should be discussed include but are not limited to, the following: soils, vegetation, hydrology, climate, topography, aesthetics, historical significance, and existing land use.

13.2. SITE PLAN REQUIREMENTS AND SPECIFICATIONS

A site plan is required. It must be drawn to an engineering scale usually on a sheet or sheets no greater than 24 by 36 inches. It shall include surrounding streets (including rights-of-ways), driveways, parking, building locations, and surrounding property lines and uses within 100 feet of the subject site.

13.3. LANDSCAPING PLAN

Landscape plans shall be reviewed and approved by staff prior to the issuance of a building permit.

13.4. LIGHTING PLAN

Lighting plans shall be required for shopping centers, convenience stores, auto dealerships, and lighted commercial display lots of one acre or more in size. When required, lighting plans shall illustrate proposed lighting. The plan shall show areas of night illumination and the amount of light at various places measured in footcandles. When required, the lighting plan shall consist of either isofotocandles (connecting points of equal light illumination levels, similar to a topographic contour) or a photometric grid with individual spot readings. The lighting plan shall also indicate light pole height, type, and number of fixtures per pole, along with fixture type and style.

13.5. DEVELOPMENT AND CONSTRUCTION IN ACCORDANCE WITH APPROVED PLANS

All site development, landscaping, and improvements shall be carried out in accordance with approved plans. All building construction shall be carried out in accordance with approved elevations.

GLOSSARY

Amenity. Aesthetic or other characteristics that increase a development's desirability to a community or its marketability to the public. Amenities may differ from development to development but may include such things as recreational facilities, pedestrian plazas, views, streetscape improvements, special landscaping, or attractive site design.

Anchor tenant. The major store or stores within a shopping center.

Appearance. The outward aspect that is visible to the public.

Appropriate. Fitting to the context of a site, neighborhood or community.

Arcade, entry. An arcade that provides public access to a building entrance, retail space, and/or public space.

Architectural concept. The basic aesthetic idea of a structure, or group of structures, including the site, signs, buildings and landscape development that produces the architectural character.

Architectural features. Ornamental or decorative features attached to or protruding from an exterior wall, including cornices, eaves, gutters, belt courses, sills, lintels, bay windows, chimneys, and decorative ornaments.

Architectural recesses. Portions of a building wall at street level which are set back from the street line so as to create articulation of the building wall and/or to provide space for windows or doors.

Architecture. The art and science of designing and constructing buildings adapted to their purposes, one of which is beauty.

Attractive. Having qualities that arouse satisfaction and pleasure in numerous, but not necessarily all, observers.

Awning. A hood or cover that forms a roof-like structure, often of fabric, metal, or glass, designed and intended for the protection from the weather or as a decorative embellishment, and which projects from the wall or roof of a structure over a window, walk, door, or the like. Awnings may be retractable but are most often fixed with a rigid frame.

Awning, internally illuminated. A fixed awning covered with a translucent membrane that is, in whole or part, illuminated by light passing through the membrane from within the structure.

Balustrade. A railing consisting of a handrail or balusters.

Bollards. Luminaries having the appearance of a short, thick post, used for walkway and grounds lighting. The optical components are usually top mounted.

Brightness. The subjective sensation to measured luminance's. Brightness is affected by the environment in which the luminaire resides and is also a function of average luminance, luminous intensity, mounting height, beam angle, and background luminance. As the background luminance of a scene gets higher, the apparent brightness of a luminaire becomes lower. Brightness is difficult if not impossible to measure. However, higher luminous intensities generally mean higher brightness.

Buffer. A strip of land along a property, lease line, or other border, never less than 15 feet, between one use and another or between an environmentally sensitive area and another use, to screen, separate and shield one use area from another and obstruct noise, illumination, visual, and other incompatibilities or nuisances. A buffer may be a natural, undisturbed area of trees and undergrowth that provides opaque or near opaque screening. A buffer, where sparsely vegetated, is replanted with trees and shrubs to enhance its screening functions to opaque or near opaque conditions. A fence or wall can be included within a buffer but a fence or wall in itself does not constitute a buffer.

Build-to line. An alignment established a certain distance from the curb or right-of-way line to a line along which a building or buildings shall be built.

Building bulk. The visual and physical mass of a building.

Built environment. The elements of the environment that are generally built or made by people as contrasted with natural processes.

Caliper. A forest standard of tree trunk measurement for understory or replacement trees.

Canopy. A roof-like structure, supported by a building and/or columns, poles, or braces extending from the ground, including an awning, that projects from the wall of a building over a sidewalk, driveway, entry, window, or similar area, or which may be freestanding.

Character. The nature of a building.

Cohesiveness. Unity of composition among elements of a structure or among structures, and their landscape development.

Common area. Land within a development, not individually owned or dedicated to the public, and designed for the common usage of the development. These areas include green open spaces and yards and may include pedestrian walkways and complimentary structures and improvements for the enjoyment of residents of the development. Maintenance of such areas is the responsibility of a private association, not the public.

Compatibility. With regard to development, the characteristics of different land uses or activities that permit them to be located near each other in harmony and without conflict. With regard to buildings, harmony in appearance of architectural features in the same vicinity.

Continuity. The flow of elements or ideas in a non-interrupted manner.

Cornice. A horizontal element member, structural or nonstructural (i.e., molding), at the top of the exterior wall or projecting outward from an exterior wall at the roof line, including eaves and other roof overhang.

Curb cut. The providing of vehicular ingress and/or egress between property and an abutting street or road. Where a curb exists, curb cut means an opening along the road curb for an access driveway.

Design guideline. A standard of appropriate activity that will preserve or enhance the architectural character and site design and function of a building, structure, or development.

Detail. A small feature or element that gives character to a building.

Detention area. An area that is designed to capture specific quantities of stormwater and to gradually release the stormwater at a sufficiently slow rate to avert flooding or erosion.

Dormer. A window projecting from a roof.

Drainage. (1) the outflow of water from a site; and (2) the removal of surface water from land by drains, grading, or other means that include runoff controls to minimize erosion and sedimentation.

Driveway. A private roadway providing access for vehicles to a parking or loading area, dwelling, or other structure.

Driveway, common. A privately owned and maintained driveway shared by adjacent property owners.

Drip line. An imaginary vertical line of a tree's outermost branch tips down to the ground. The circular area of land surrounding the tree from the trunk to the outermost branches.

Earthen berm. A continuous mound of earth, normally landscaped, used to shield site objects from view and to provide visual interest.

Eave. The projecting lower edges of a roof overhanging the wall of a building.

Eave line. The extension of a roof line beyond the vertical wall of a building.

External design feature. The general arrangement of any portion of structures or landscaping, including the type, and texture of the materials, the type of roof, windows, doors, lights, signs, and fixtures of portions which are open to the public view.

Façade. Typically the front of a building; however, any building square on view is considered a façade (see definitions below).

Façade, front. Any façade with a main public entrance which faces one of the primary streets.

Facade, rear. Any facade without a public entry that does not face a public road.

Facade, side. Any facade without a public entry but facing a public street.

Fenestration. The organization of windows on a building wall.

Flag. Any fabric or other flexible material attached to or designed to be flown from a flagpole or similar device.

Flag, business. A flag displaying the name, insignia, emblem, or logo of a profit-making entity.

Footcandle. A unit of illuminance on a surface that is everywhere one foot from a uniform point source of light of one candle and equal to one lumen per square foot. One footcandle (FC) is the equivalent of 10.76 Lux (1 Lux = 0.0929 FC).

Footprint. The horizontal area as seen in plan, measured from the outside of all exterior walls and supporting columns. It includes garages, covered carports, and accessory structures.

Gable. The triangular upper portion of an end wall, underneath a peaked roof.

Glare. The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted to cause annoyance, discomfort, or loss in visual performance and visibility.

Grade, natural. The existing grade or elevation of the ground surface that exists or existed prior to man-made alterations, such as grading, grubbing, filling, or excavating.

Habitat. The physical location or type of environment in which an organism or biological population lives or occurs.

Harmony. A quality that represents an attractive arrangement and agreement of parts of a composition, as in architectural elements.

Hedge. A row of closely planted shrubs, bushes, or any kind of plant forming a boundary.

Illuminance. The area density of the luminous flux incident at a point on the surface. It is a measure of light incident on a surface, expressed in lux or footcandles.

Impervious surface. Any hard-surfaced, man-made area that does not readily absorb water, including but not limited to building roofs, parking and driveway areas, graveled areas, sidewalks, and paved recreation areas.

Irrigation. The methods of supply and application of water other than natural rainfall.

Irrigation system. A permanent, artificial watering system designed to transport and distribute water to plants.

Isofootcandle Plan: A site plan of a proposed development showing proposed outdoor illuminance with a series of isofootcandle lines that join points on a surface where the illuminance is the same.

Landscaped coverage ratio. The area of a property devoted to landscaping, including natural buffers, divided by the total area of the property.

Landscaping. The area within the boundaries of a given lot that consists of planting materials, including but not limited to, trees, shrubs, ground covers, grass, flowers, decorative rock, bark, mulch, and other similar materials.

Lighting, neon outline. Outline lighting formed in whole or part with neon.

Lighting, outline. An arrangement of lighting that outlines or calls attention to certain features of a building, such as its shape or the decoration of a window.

Lighting, pedestrian-scale. Light standards or placements no greater than 15 feet in height located along walkways.

Luminaire (light fixture). A complete lighting unit consisting of a lamp or lamps and ballasting (when applicable) together with the parts designed to distribute the light, to position and protect the lamps, and to connect the lamps to the power supply. This term shall be interpreted broadly as applying to all outdoor electrically powered illuminating devices, outdoor lighting or reflective surfaces, lamps and similar devices, permanently installed or portable, used for illumination or advertisement. Such devices shall include, but are not limited to, building façade and canopy lighting, recreational area lighting; parking lot lighting; landscape lighting; billboards and other sign (advertising or other) lighting; driveway and street lighting; and product display area lighting.

Luminaire, cutoff. A luminaire that provides a light distribution where the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

Luminaire, full cutoff. A luminaire the provides a light distribution where zero candela intensity occurs at an angle of 90 degrees above nadir, and at all greater angles from nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

Luminance. Within the context of outdoor lighting, the quantity of light reflected or emitted toward an observer.

Massing. The overall visual impact of a structure's volume; a combination of height and width and the relationship of the heights and widths of the building's components.

Modularity. Design composition comprised of a rhythmic organization of parts.

Modulation. A measured setback or offset.

Natural drainage. Channels formed in the existing surface topography of the earth prior to changes made by unnatural causes.

Natural features. Components and processes present or produced by nature, including soil types, geology, slopes, vegetation, surface water, drainage patterns, aquifers, climate, floodplains, aquatic life, and wildlife.

Outdoor storage. The keeping of personal or business property or motor vehicles in an area outside of a building for a period of time greater than 24 hours, including items for sale, lease, processing, and repair.

Parapet. A low retaining wall at the edge of or along a roof.

Pedestrian-oriented development. Development designed with an emphasis primarily on the street sidewalk and on pedestrian access to the site and building, rather than auto access and parking areas. The building is generally placed close to the street and the main entrance is oriented to the street sidewalk. There are generally windows or display cases along building facades which face the street.

Portico. An exterior appendage to a building, normally at the entry, usually roofed.

Proportion. Balanced relationship of parts of a building, signs and other structures, and landscape to each other and to the whole.

Recessed Canopy Fixture. An outdoor lighting fixture recessed into a canopy ceiling so that the bottom of the fixture is flush with the ceiling.

Retaining wall. A wall or similar structure used at a grade change to hold soil on the up-hillside from slumping, sliding, or falling.

Retention pond. A basin to hold storm water runoff and to provide a gradual release of it through drainage facilities.

Ridge. The peak of a roof. Also, the horizontal member at the peak into which the rafters join.

Roof. The cover of a building, including the eaves and similar projections.

Roof, flat. A roof having no pitch or a pitch of not more than 2:12.

Roof, pitched. A shed, gabled, or hipped roof having a slope or pitch of at least one foot rise for each four feet of horizontal distance.

Safety lighting. Exterior lighting that involves ensuring proper levels of illumination to provide safe working conditions, safe passage, and the identification of outdoor hazards.

Scale. Proportional relationships of the size of parts to one another and to humans.

Scenic vista. A visual panorama with particular scenic value.

Security Lighting. Exterior lighting installed solely to enhance the security of people and property.

Sheet flow. Flow of liquid moving evenly over an area without being concentrated in swales.

Sign, abandoned. A sign or sign structure on a site where all buildings have been demolished or removed, or a sign or signs pertaining to a business or other use that has not operated on the site for a period of ninety days or more.

Sign, freestanding. Any sign supported wholly or in part by some structure other than the building or buildings housing the business to which the sign pertains, usually supported by a pole, mast, frame or other structure that is not itself an integral part of the sign.

Sign, monument. A freestanding sign supported primarily by an internal structural framework or integrated into landscaping or other solid structure features other than support poles.

Sign, pole. A sign that is mounted on a freestanding pole or other support that is not itself an integral part of the sign.

Sign, roof. A sign erected on a roof or any sign that projects above the highest point of the roof line, parapet, or fascia of the building.

Sign, wall. A sign mounted flat against and projecting no more than 12 inches from the wall of a building or structure.

Sign, window. A sign affixed to the interior or exterior of a window or placed immediately behind a window pane so as to attract the attention of persons outside the building.

Sky glow. Atmospheric or astronomical light pollution that deprives urban residents of the opportunity to stargaze and hampers astronomers' attempts to view the night sky through telescopes.

Spill light. Light emitted by an outdoor light fixture that falls outside the boundaries of the property on which the installation is sited.

Street furniture. Those features associated with a street that are intended to enhance the street's physical character and use by pedestrians, such as benches, trash receptacles, planting containers, pedestrian lighting, kiosks, etc.

Street hardware. Objects other than buildings or street furniture that are part of the streetscape. Examples are: non-pedestrian street light fixtures, utility poles, traffic lights and their fixtures, fire hydrants, etc.

Streetscape. The appearance and organization along a street of buildings, paving, plantings, street hardware, street furniture, and miscellaneous structures.

Trash enclosure. An accessory use of a site where trash and/or recyclable material containers, or any other type of waste or refuse container is stored.

Tree. Any self-supporting, woody perennial plant usually having a single trunk diameter of three inches or more which normally attains a mature height of at least fifteen feet.

Tree, overstory. A tree that composes the top layer or canopy of vegetation and that will generally reach a mature height of greater than forty (40) feet.

Tree, significant. Any tree deemed by a qualified arborist, registered forester or landscape architect to be of a rare or unusual species.

Tree cover. An area characterized by a dense vegetation canopy and limited views through woodlands.

Tree save area. An area composed of closely grouped trees designated for preservation.

Undergrounding. The placement of utility lines below ground, with the removal of above-ground poles, wires and structures as applicable.

Uplighting. Any light source that distributes illumination above a 90-degree horizontal plane of the light source.

View corridor. The line of sight identified as to height, width, and distance of an observer looking toward an object.

Viewshed. The area within view from a defined observation point.

Xeriscaping. Landscaping characterized by the use of vegetation that is drought-tolerant or a low water use in character.

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APPENDIX

APPLICATION REVIEW CHECKLIST

PROJECT NAME:

LOCATION:

NAME OF PERSON
 COMPLETING THIS FORM:

This checklist is intended for use by the designer as a summary of the development and design guidelines established in this document. It is not intended to serve as a substitute for a reading and application of these guidelines. This checklist will also be used by the county planning and zoning department as a means of determining compliance with specific guidelines. For more information, consult the actual text of these guidelines. The designer must demonstrate how the recommended guidelines are met or why they cannot be met.

GUIDELINE (reference)	YES	NO	COMMENTS
Does the proposed development relate to the site and its surroundings? (2.1.1)			
Does the project evaluate, retain, and incorporate natural features, where appropriate? (2.1.2)			
Are significant site features identified and incorporated into development plans? (2.1.2)			
Are riparian zones, wetlands, flood plains, etc. and other environmentally sensitive areas protected? (2.1.2, 2.1.3)			
Are amenity features incorporated into the development? (2.1.4)			
Does the grading plan avoid an unnatural site appearance, and are cuts and fills more or less balanced on the site? (2.2.1)			
Is grading prohibited underneath trees to be retained? (2.2.1)			
Does the plan avoid the filling of riparian areas? (2.2.1)			
Do plans reflect adherence to best erosion control practices? (2.2.2)			
Have permeable pavements been considered for parking lot overflow and employee parking areas? (2.2.2)			
Does the proposed development use the natural, on-site drainage system to the extent it is possible? (2.2.2)			

GUIDELINE	YES	NO	COMMENTS
Are stormwater ponds and lakes designed for maximum habitat value? (2.2.2)			
If retaining walls are visible from the public right-of-way, have they been faced with brick, stone, or some other architectural treatment, and/or screened with landscaping? (2.2.3)			
Are all utility installations serving the development installed underground? (2.2.4)			
Are utility easements combined where possible? (2.2.4)			
Are berms used to provide separation from vehicle traffic and incompatible land uses? (2.2.5)			
Has an analysis been made of the likely and necessary pedestrian routes, including linkages to individual buildings, neighboring properties, and access ways along public roads? (Chapter 3)			
Does the access plan meet state requirements and these guidelines, including interparcel access, driveway separation, and shared driveways? (4.1)			
Is a public frontage road incorporated into the site development plan and provided? (4.1)			
Is access provided only to the frontage road, or in cases where no other access is available, is access limited to one entrance/exit per development? (4.1)			
Is inter-parcel site access provided? (4.1)			
Do all driveway openings meet minimum access spacing requirements? (4.1)			
Are service functions separated from main circulation areas, or at least integrated into the circulation pattern in a manner that minimizes conflicts with vehicles and pedestrians? (4.2)			
Do off-street parking areas meet specifications? (4.3)			
Are clear zones and driveway entry throat distances sufficient to allow safe turning movements after exiting from the highway? (4.3)			
Is a continuous, opaque screen provided where parking areas directly front on a public street? (4.3)			
Does the plan provided for handicapped parking? (4.3)			
Is landscaping maximized within the viewshed of the highway and major streets? (5.1)			
Are all shrubs proposed to be at least three gallon size? (5.1)			
Are trees that are proposed to be planted located away from hardscape areas to avoid damage? (5.1)			
Are landscaping or architectural treatments used to screen unattractive views and features? (5.1)			

GUIDELINE (reference)	YES	NO	COMMENTS
Does the development provide for required buffers when abutting existing residential zoning districts? (5.2.1)			
In the north portion of the Georgia 400 corridor, does the plan provide for the required thirty-foot wide buffer along the highway right-of-way? (5.2.2)			
Are the right-of-way frontage planting strips provided according to specifications? (5.3)			
Are all significant trees protected as recommended, and are tree save areas delineated on plans? (5.4)			
Are tree protection devices provided? (5.4)			
Does the parking lot landscaping meet requirements? (5.5)			
Is curbing used at the edges of all paving surfaces to protect landscaped areas from vehicle encroachment? (5.5)			
Are street trees installed within the public right-of-way of local streets for all development within non-residential districts? (5.6)			
Is a plan for an irrigation system provided, where appropriate? (5.7)			
Does the landscaping plan integrate water conservation measures or reduce water use? (5.7)			
Does the application reflect and acknowledge the architecture of the neighboring area, as appropriate, and if so, is the architecture compatible? (6.1)			
Has the designer evaluated the proposed architecture with regard to size, scale, massing, fenestration, rhythm, setback, materials, and context? (6.1)			
Do the exterior materials of principal buildings include appropriate and recommended architectural finishes? (6.3)			
Are the following material types avoided: smooth-faced concrete block, tilt-up concrete panels, and prefabricated steel panels? (6.3)			
Do material and color changes occur at changes of plane? (6.3)			
Are address numbers provided and legible from the public street? (6.3)			
Do the building colors follow the recommendations with regard to base, trim, and accents part of the building? (6.4)			
Are awnings and canopies provided, as appropriate, and if so, do they meet the recommended guidelines? (6.5)			
Are parapets and cornices incorporated into the building design, as appropriate? (6.6, 6.7)			

GUIDELINE (reference)	YES	NO	COMMENTS
Are electric transformers located to the rear of the site or screened from view? (7.1)			
Do dumpsters/trash enclosures meet specifications for screening? (7.2)			
If located on the roof, is mechanical equipment screened from public view? (7.3)			
Do long fences or walls incorporate changes in plane, height, material, or texture to minimize visual monotony? (7.4)			
Do fences meet the recommended guidelines? (7.4)			
Are recesses and projections used appropriately to break up monotonous building facades? (8.1)			
If a shopping center or commercial development, does the site plan reflect consistency with guidelines established in Chapter 8?			
Are vehicle bays and service areas screened? (8.3)			
Are all loading areas and overhead doors on the side or rear of the building, or otherwise completely screened from view from the road? (8.4)			
Are accessory structures consistent in architectural detail and design elements to provide a cohesive architectural site design? (8.4)			
If a commercial display lot, does the site layout provide screening along the majority of the frontage abutting public rights-of-ways? (8.5)			
If a restaurant, does the plan meet all recommendations for architecture, color, drive-through circulation, etc.? (8.6)			
For shopping centers, is a unified architectural design provided? (8.7)			
For shopping centers, is a portion of the total building area located at the street perimeter, such as at a corner location? (8.7)			
For shopping centers, are cart storage areas an integrated part of the design? (8.7)			
For shopping centers, are recycling collection boxes located in remote areas and screened? (8.7)			
For industrial uses, are storage areas substantially screened from view of the right-of-way? (9.2)			
Is the location and type of lighting identified on plans, and does the lighting meet the guidelines for pole height, types of fixtures, and illuminance levels? (Chapter 11)			
Is architectural lighting, if provided, consistent with the recommended guidelines? (11.4)			
Is a lighting plan required? (13.4)			

**A RESOLUTION TO AMEND THE LAND USE RESOLUTION OF
DAWSON COUNTY, GEORGIA, SO AS TO AMEND THE
DEVELOPMENT AND DESIGN GUIDELINES FOR THE GEORGIA 400
CORRIDOR, TO PROVIDE FOR SEVERABILITY, TO REPEAL
CONFLICTING ORDINANCES AND RESOLUTIONS AND FOR OTHER
PURPOSES**

WHEREAS, the Dawson County Planning and Development Department staff has prepared amendments to the existing Development and Design Guidelines (“Guidelines”) for the Georgia 400 Corridor as previously incorporated into the Dawson County Land Use Resolution as amended; and

WHEREAS, the proposed amendments to the Guidelines have been presented to and approved by the Dawson County Planning Commission and have been presented to the Dawson County Board of Commissioners; and

WHEREAS, a public hearing has been held with respect to said Guideline amendments; and

WHEREAS, the Board of Commissioners desires to adopt the said amendments to the Corridor 400 Guidelines so as to revise the provisions dealing with landscaping; exterior materials; franchise appearance/materials requirements; trash enclosures; storage areas; generators; automobile sales, parts and service establishments; chain link fencing; signs; and coordination with tree ordinance provisions.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF DAWSON COUNTY, GEORGIA, THAT the proposed amendments to Sections “5.8 Additional Requirements,” “6.3 Exterior Materials,” “7.1 Generally,” “7.2 trash Enclosures,” “8.3 Automobile Sales, Parts, and Service Establishments,” and “12.9 Signs, Requirements” of the said Corridor 400 Development and Design Guidelines be and are adopted and approved hereby and are incorporated into and made a part of the Land Use Resolution of Dawson County, Georgia. A true and accurate copy of said amended Land Use Resolution, including the Corridor 400 Development and Design Guidelines as amended, shall be kept and maintained of record in the Planning and Development Department of Dawson County.

BE IT FURTHER RESOLVED THAT, if any clause or part of this Resolution or the amendments adopted hereby should be declared invalid or unenforceable by any Court of competent jurisdiction, then it is intended by this Board of Commissioners that all other provisions contained in the Dawson County Land Use Resolution, including the Corridor 400

Development and Design Guidelines, shall still be enforced and given effect to the extent reasonable.

BE IT FURTHER RESOLVED THAT all provisions of any ordinance or resolution heretofore adopted by the Dawson County Board of Commissioners are hereby repealed to the extent that such provisions are in conflict with the amendments adopted herein.

SO RESOLVED, effective this 5th day of April, 2018, upon motion duly made and approved at the regular public meeting of the Board of Commissioners held on April 5, 2018.

Billy Thurmond, Chairman

Attest: _____

Kristen Cloud, County Clerk

Backup material for agenda item:

1. Consideration of Amendments to 2017 Capital Improvements Element (CIE)



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Planning & Development

Work Session: 3/22/18

Prepared By: JStreetman

Voting Session: 04/05/18

Presenter: JStreetman

Public Hearing: Yes No

Agenda Item Title: Capital Improvements Element, Consideration of impact fee program

Background Information:

Annual/amended update to the 2017 Capital Improvements Element as part of the County's consideration of an impact fee program.

Current Information:

This is amended/updated information as part of the Bill Ross Impact Fee methodology information and required by GA law.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Approval

Department Head Authorization: JStreetman

Date: 03/07/18

Finance Dept. Authorization: Vickie Neikirk

Date: 3/14/18

County Manager Authorization: DH

Date: 3/14/2018

County Attorney Authorization:

Date:

Comments/Attachments:

Memorandum

TO: Dawson County
FROM: Bill Ross
DATE: March 19, 2018
RE: Impact Fee Exemptions

Once the CIE is transmitted to the Georgia Mountains for Regional and DCA review, it would be timely to consider the adoption of exemptions from the impact fees, if the Commission wishes to pursue them.

The State law allows exemptions (at the County Commission's option) as follows:

O.C.G.A. § 36-71-4. Calculation of fees, Section (l), reads as follows:

“A municipal or county development impact fee ordinance may exempt all or part of particular development projects from development impact fees if:

- (1) Such projects are determined to create extraordinary economic development and employment growth or affordable housing;
- (2) The public policy which supports the exemption is contained in the municipality's or county's comprehensive plan; and
- (3) The exempt development project's proportionate share of the system improvement is funded through a revenue source other than development impact fees.”

Dawson County's CIE (which is adopted as an amendment to the Comprehensive Plan), satisfies Paragraphs (2) and (3), and reads as follows:

“Dawson County recognizes that certain office, retail trade, lodging, service and industrial development projects provide extraordinary benefit in support of the economic advancement of the county and its citizens over and above the access to jobs, goods and services that such uses offer in general.

To encourage such development projects, the board of commissioners may consider granting a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to Dawson County **in accordance with adopted exemption criteria.** (Emphasis added.)

It is also recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees.”

The County has not adopted any exemption criteria so far, so it does not currently approve exemptions.

The basics are:

Exemption Criteria need to be adopted if exemptions are to be considered.

1. The criteria must be specific as to the land uses or types of development projects to which they apply.
2. The Criteria must allow all such land uses or types of development projects to be considered, although the amount or percentage of the exemption can be based on factors included in the criteria.
3. These factors should bear a relationship proportional to the amount of public benefit to be received.
4. The Exemption Criteria can be included in the Impact Fee Ordinance or adopted as a separate Resolution.

If the Commission wishes to include institutions (religious and non-profit organizations) and/or affordable housing for exemptions, the Exemption Statement in the CIE and the Impact Fee Ordinance can be amended prior to adoption of the Exemption Criteria.

Examples:

Exemptions adopted by a number of other jurisdictions are attached as examples of what others have done. While there are some commonalities, they also run a wide gamut in their application and show the flexibility that is possible in complying with the State law. (Many jurisdiction, like Dawson County, have not adopted exemption criteria and do not grant exemptions.)

Particularly take a look at:

- Coweta County for their exemption of religious and non-profit institutions.
- Newton County for business exemptions.
- Henry County relies on the recommendations of their Development Authority.
- Several of the cities adopted land use criterial for both citywide application and separately with a focus on a specific area (downtown). Ie., Dawson’s GA 400 corridor?
- No one has adopted an exemption for “affordable housing” except Sandy Springs.

I anticipate than eligible land uses and Exemption Criteria for Dawson County will be unique.

Impact Fee Exemption Policy & Criteria Examples

**Drawn from Impact Fee Studies
Prepared by ROSS+associates**

ROSS+associates

urban planning & plan implementation

Coweta County

(Their exemptions include businesses as well as nonprofit and religious organizations that meet the criteria. Some approvals are automatically granted administratively.)

EXEMPTION POLICY

Coweta County recognizes that certain institutional, educational, office, retail trade and industrial development projects provide extraordinary benefit in support of the economic advancement of the county's citizens over and above the access to jobs, goods and services that such uses offer in general.

1. To encourage such development projects, the Board of Commissioners has determined that churches, church schools and accredited private schools are always exempt, and that industrial buildings within a planned industrial park of at least 500 acres are also exempt, all in accordance with the County's adopted exemption criteria, without the necessity of individual approval by the Board of Commissioners otherwise required under Section 6.02, below. These administrative exemptions are based on the determination of the Board of Commissioners that the above uses always provide "extraordinary benefit" as set out above.
2. The Board of Commissioners may consider granting a reduction in the impact fee for other such development projects upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to Coweta County, in accordance with adopted exemption criteria.
3. It is also recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees.

COWETA COUNTY IMPACT FEE EXEMPTION CRITERIA

In furtherance of the Coweta County Impact Fee Ordinance adopted on April 4, 2006, and as such ordinance may be amended from time to time, the Board of Commissioners do hereby amend and readopt the following criteria to guide the granting of an exemption, in whole or in part, from the impact fees applicable to a particular development project in accordance with the Exemption Policy set forth under Section 6.01 of said Impact Fee Ordinance.

Findings

The Board of Commissioners of Coweta County finds that certain non-profit institutions foster and support extraordinary economic development and employment growth of public benefit to Coweta County through the provision of a stable and socially beneficent religious environment that will attract and support a highly qualified labor force, which in turn cultivates business development and expansion in the county.

The Board of Commissioners of Coweta County finds that certain non-profit, accredited educational institutions foster and support extraordinary economic development and employment growth of public benefit to Coweta County in an equal manner to public schools, and are instrumental in creating and attracting a highly qualified labor force in the county that will cultivate business development and expansion.

The Board of Commissioners of Coweta County finds that certain office, retail trade or industrial uses that create unusually high investment, economic or job creation benefits represent extraordinary economic development and employment growth of public benefit to Coweta County in proportion to the creation of such benefits.

Exemption Criteria

Institutions

An institution shall be granted a 100% exemption by the Impact Fee Program Administrator from all applicable impact fees upon the determination that the new construction or expansion project meets all of the following criteria:

The institution that will own and occupy the new construction or expansion project is protected as a 'religious institution' under the federal Religious Land Use and Institutionalized Persons Act of 2000, 42 U.S.C.A. §§ 2000cc to—5 (West Supp. 2001).

1. The institution that will own and occupy the new construction or expansion project has been recognized as tax-exempt by the U.S. Internal Revenue Service as an organization operated exclusively for religious purposes under Section 501(c)(3) of the Internal Revenue Code.
2. The new construction or expansion project is clearly designed to accommodate the institution's unique or individual occupancy and operational characteristics that are related to the religious exercise or assembly of the institution.

Private Schools

A private school shall be granted a 100% exemption by the Impact Fee Program Administrator from all applicable impact fees upon the determination that the new construction or expansion project meets all of the following criteria:

1. The corporation or other entity that will own and occupy the new construction or expansion project has adopted articles of organization (as defined by and acceptable to the U.S. Internal Revenue Service) that limits it exclusively to education purpose, and to the primary purpose of educating children or young adults on its premises, and its tax-exempt status has been recognized by the U.S. Internal Revenue Service under Section 501(c)(3) of the of the Internal Code.
2. The new construction or expansion project is clearly designed to accommodate the private school's unique or individual occupancy and operational characteristics, such as classroom space, congregate dining facilities, student residence/dormitory facilities and/or sports/recreational activities.
3. The private school is an accredited school under rules of the State of Georgia, as follows:
 - a. For grades K-12, an accredited school shall mean one whose students are recognized and approved by the Georgia Department of Education for purposes of transferring credits to public schools on the same basis as students from one public school to another under Rule 160-5-1-.15 of the Department of Education, and/or whose graduates are recognized by the Georgia Board of Regents for college entrance to any institution of the University System of Georgia on the same basis as graduates from public schools.
 - b. For private collegiate institutions, an accredited school shall mean one that is accredited by the Southern Association of Colleges and Schools on the same basis as a public college or university in Georgia.

Businesses

A. Prequalified Industrial Uses.

An industrial use (as defined as such in the Coweta County Zoning Ordinance) shall be granted a 100% exemption by the Impact Fee Program Administrator from all applicable

impact fees upon the determination that the industrial building or use is located within an industrial park that contains at least 500 acres and said industrial park was required to be reviewed as a Development of Regional Impact (DRI) under the requirements and procedures adopted by the Georgia Department of Community Affairs, and such review has been completed.

B. Office, Retail Trade or Other Industrial Uses.

A new construction or expansion project for an office, retail trade or nonqualified industrial use may be granted an exemption from applicable impact fees, in whole or in part, by the Board of Commissioners. The extent of the grant of exemption shall be based on the extent to which the development project represents extraordinary economic development and employment growth of public benefit to Coweta County, over and above the access to jobs, goods and services that such uses offer in general, considering the following factors, among others:

1. Use: Preference will be given to the construction or expansion of national or regional corporate office facilities and to construction or expansion projects related to industries primarily involved in research and development, assembly or manufacturing.
2. Investment: The total amount of new private capital investment in land, buildings and equipment related to the project; and the total capital investment in current facilities if the project expands an existing business in the county.
3. Annual Economic Impact: The total annual amount of new wages, purchases and other expenditures that will be generated as a result of the project; and the total annual economic impact of current facilities if the project expands an existing business in the county.
4. Job Creation:
 - a. The total number of jobs created and/or retained as a result of the project.
 - b. The number of jobs created and/or retained paying at least 100% of the average wage for the county as established by the Georgia Department of Labor.
 - c. The number of jobs created or retained that are exempt managerial and/or professional and/or senior executive jobs.

Reimbursement to Impact Fee Fund

It is recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees. As part of the annual budgeting process, adequate funds shall be identified and transferred to the Impact Fee Fund Accounts equal to the amount of all exemptions granted by the Board of Commissioners during the preceding year.

Henry County

(Criteria based on input from the Development Authority) –

Henry County recognizes that certain development projects provide extraordinary benefit in support of the economic advancement of the county's citizens over and above the access to jobs, goods and services that such uses offer in general. Henry County therefore intends to encourage extraordinary economic development and employment growth of public benefit, as more fully defined and incorporated in the **County's adopted Economic Incentives Program**. The Board of Commissioners will favorably consider waiving the development impact fee in whole or in part for such a business or development project **upon the recommendation of the Henry County Development Authority** that the business or project represents extraordinary economic development and employment growth. It is also recognized that the cost of system improvements otherwise foregone through waiver of any impact fee must be funded through revenue sources other than impact fees.

The Development Authority's Criteria were (in a nutshell):

The following are characteristics of **preferred projects** which will merit the most favorable consideration [by the Development Authority] under this economic incentives program (order of listing does not indicate priority).

- Corporate activities including national and/ or regional headquarters and operations or support facilities
- Information and technology-intensive services
- Improved employment opportunities for local residents
- High environmental quality, with full regulatory compliance and disclosure
- High capital investment in buildings and equipment
- High investment in human resources and/ or skills training
- Low demand on public services and infrastructure
- High compatibility with existing businesses
- Positive record of corporate citizenship
- Positive record or corporate intent to substantially invest in the community
- High levels of taxable inventory

Preferred Projects may be considered for impact exemption under the following criteria:

- Include at least \$5 million in private capital investment in land, buildings, or equipment; and
- Will create or retain at least 50 full time jobs paying at least 100% of the average wage for the county as established by the Georgia Department of Labor during the period of investment assistance; and
- Will create or retain at least 10 exempt managerial and/ or professional and/or senior executive jobs during the period of investment assistance; and
- Will include a number of the characteristics outlined in the Preferred Projects Guidelines in Section 4 and are anticipated to make a very significant contribution to the Henry County community.

Walton County

(Criteria based on land use and economic benefit) –

Walton County recognizes that certain office, retail trade and industrial development projects provide extraordinary benefit in support of the economic advancement of the county's citizens over and above the access to jobs, goods and services that such uses offer in general. To encourage such development projects, the Board of Commissioners may grant a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to the Walton County.

Evaluation Criteria

The following factors, among others, will be considered in determining the extent to which a development project represents extraordinary economic development and employment growth of public benefit to the Walton County:

1. Use: Preference will be given to the construction or expansion of national or regional corporate office facilities and to construction or expansion projects related to industries primarily involved in research and development, assembly, manufacturing or distribution.
2. Investment: The total amount of new private capital investment in land, buildings and equipment related to the project; and the total capital investment in current facilities if the project expands an existing business in the county.
3. Annual Economic Impact: The total annual amount of new wages, purchases and other expenditures that will be generated as a result of the project; and the total annual economic impact of current facilities if the project expands an existing business in the county.
4. Job Creation:
 - a. The total number of jobs created and/or retained as a result of the project.
 - b. The number of jobs created and/or retained paying at least 100% of the average wage for Walton County as established by the Georgia Department of Labor.
 - c. The number of jobs created or retained that are exempt managerial and/or professional and/or senior executive jobs.

Impact Fee Exemption Guidelines

Any applicant for an exemption must present a written request for such an exemption to the Impact Fee Program Administrator (as defined in the Walton County Impact Fee Ordinance). The request must include such data of relevance to the evaluation criteria (above) and may include any relevant documents in support of the request. The Administrator shall then prepare a report for the Board of Commissioners with a recommendation on whether the exemption should be granted, and if so, what amount should be exempted. The amount of the exemption will be related to the public benefit, as determined under the evaluation criteria above, and such other factors as the Administrator may consider relevant. Acting upon the recommendation of the Administrator, but not bound by that recommendation, an impact fee exemption may then be granted by the Board of Commissioners for a development or expansion project that is determined to represent extraordinary economic development and employment growth of public benefit to the Walton County.

Newton County

(Criteria based on land use and economic benefit) –

Newton County recognizes that certain office, retail trade and industrial development projects provide extraordinary benefit in support of the economic advancement of the county's citizens over and above the access to jobs, goods and services that such uses offer in general. To encourage such development projects, the Board of Commissioners may grant a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to Newton County.

Evaluation Criteria

The following factors, among others, will be considered in determining the extent to which a development project represents extraordinary economic development and employment growth of public benefit to Newton County:

1. Use: Preference will be given to the construction or expansion of national or regional corporate office facilities and to construction or expansion projects related to industries primarily involved in research and development, assembly, manufacturing or distribution.
2. Investment: The total amount of new private capital investment in land, buildings and equipment related to the project; and the total capital investment in current facilities if the project expands an existing business in the county.
3. Annual Economic Impact: The total annual amount of new wages, purchases and other expenditures that will be generated as a result of the project; and the total annual economic impact of current facilities if the project expands an existing business in the county.
4. Job Creation:
 - a. The total number of jobs created and/or retained as a result of the project.
 - b. The number of jobs created and/or retained paying at least 100% of the average wage for the county as established by the Georgia Department of Labor.
 - c. The number of jobs created or retained that are exempt managerial and/or professional and/or senior executive jobs.

Impact Fee Exemption Guidelines

An impact fee exemption may be granted by the Board of Commissioners for an office, retail trade or industrial development or expansion project that is determined to represent extraordinary economic development and employment growth of public benefit to Newton County. The amount of the exemption will be related to the public benefit, as determined under the evaluation criteria above, and such other factors as the Board of Commissioners may consider relevant, within the following guidelines:

1. Business-related development and expansion projects may be considered for an impact fee exemption of up to 50% of the fee otherwise due, reflecting the extent to which the project represents extraordinary economic development and employment growth under the evaluation criteria above.

-
2. An additional impact fee exemption of up to 25% may be considered for such a project that is or is proposed to be located within one of the County's industrial parks (I-20/GA 142 or Stanton Springs).
 3. An additional impact fee exemption of up to 25% may be considered if such a project represents an expansion of an existing business already located within the county.

Reimbursement to Impact Fee Fund

It is recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees. As part of the annual budgeting process adequate funds shall be identified and transferred to the Impact Fee Fund Accounts equal to the amount of all exemptions granted during the preceding year.

Sandy Springs

(Business criteria are simple; housing criteria are unique to Sandy Springs.)

Exemption policy.

1. The City of Sandy Springs recognizes that certain office, retail trade, hospitality and other business development projects provide extraordinary benefit in support of the economic advancement of the city's citizens over and above the access to jobs, goods and services that such uses offer in general. In addition, the City recognizes that fees, in some circumstances, can negatively affect the affordability of housing, particularly "workforce" housing. To encourage such development projects of public benefit to Sandy Springs, the city council may consider granting a reduction in the impact fee for a business development project upon the determination and relative to the extent that the project represents extraordinary economic development and employment growth, or that the affordability of a housing project may be increased, in accordance with exemption criteria adopted in this section.
2. It is also recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees.

Process for exemption approval.

An application for exemption shall be considered under the following procedures:

1. An application for exemption approval must be made prior to or along with an application for the first building permit or other qualifying permit. Any exemptions not so applied for shall be deemed waived.
2. A building permit may be issued upon approval of an exemption, or may be issued without payment of applicable impact fees following receipt of a complete exemption application and pending its approval, but a certificate of occupancy shall not be issued until a decision regarding the exemption has been made, or until such time that the application for exemption is otherwise withdrawn by the applicant and payment of impact fees has been made.
3. Documentation must be provided that demonstrates the applicant's eligibility for an exemption. This documentation shall address, but need not be limited to, all applicable exemption criteria adopted herein.
4. The administrator in his or her reasonable discretion shall determine whether an application for exemption addresses the exemption criteria adopted herein and is complete.
 - a. The administrator may request additional information or documentation from the applicant in making this determination. Such determination shall be made within 5 working days of receipt of a complete application.
 - b. Upon a positive determination as to compliance with the exemption criteria and the appropriate amount of the exemption, the administrator will thereupon forward the application to the city council for consideration and action.
 - c. A negative determination by the administrator as to compliance with the exemption criteria may be appealed to the city council in accordance with the administrative appeals section of this ordinance.
5. The city council shall determine the eligibility for and extent of exemption, in accordance with the applicable exemption criteria adopted herein. The application for

exemption shall be placed on the agenda at the next regularly scheduled meeting of the city council that falls at least two weeks after a complete application for exemption has been received from the city manager.

Exemption criteria—extraordinary economic development and employment growth.

The following nonresidential projects may be considered for exemption, in whole or in part, from the payment of impact fees otherwise required by this ordinance:

1. Major construction project: Any nonresidential construction project involving the construction of new floor area, the expansion of an existing building or the renovation of existing floor space that will result in all of the following:
 - a. the creation of 100 or more new jobs occupying said space that meet or exceed the average wage level within the city; and,
 - b. a capital investment in the creation or renovation of the space of more than \$5 million; and,
 - c. a written commitment to remain in the new or renovated space for at least 10 years.
2. Minor construction project: Any nonresidential construction project involving the construction of new floor area, the expansion of an existing building or the renovation of existing floor space that will result in all of the following:
 - a. the creation of no fewer than 22 new jobs occupying said space that meet or exceed the average wage level within the city; and,
 - b. a capital investment in the creation or renovation of the space of more than \$1 million; and,
 - c. a written commitment to remain in the new or renovated space for at least 7 years.
3. The average wage level within the city shall be determined by the administrator from time to time based in credible data, such as reports from the US Bureau of the Census or the US Department of Commerce.

Exemption criteria—affordable housing.

The following residential projects may be considered for exemption, in whole or in part, from the payment of impact fees otherwise required by this ordinance:

1. Any housing project that proposes to create at least 150 new or replacement housing units and at least 20% of the units will be made available to individuals or families with annual incomes of no more than 120% of the annual median income of all households in Sandy Springs (as determined by the administrator from time to time based in credible data, such as reports from the US Bureau of the Census).
2. Any housing project of at least 150 housing units that proposes to replace at least 150 existing rental housing units with no less than 75% of the units intended for home ownership.

Reimbursement to impact fee fund.

As part of the annual budgeting process, adequate funds shall be identified and transferred to the impact fee fund accounts equal to the amount of all exemptions granted by the city council during the preceding year.

Fayetteville

(Criteria based on land use and location, tied to *Comprehensive Plan*. Note that Fayetteville no longer grants exemptions.)

The City's Economic Development Committee has determined that the City's best opportunity, taking into account the City's infrastructure and services, for extraordinary economic development and employment growth is through the **encouragement of businesses specializing in scientific research and development, business parks and tourism emphasizing the historical district of the City, called "Main Street," and businesses which support tourism, such as restaurants**. The City, pursuant to the public policies contained in the Fayetteville Comprehensive Plan, has determined that the encouragement of the development of the Main Street area of the City and businesses related to tourism of the Main Street area, and business specializing in research and development and business parks, will tend to create extraordinary economic development and employment growth within the City.

The following development projects shall be **partially exempt** from the payment of developmental impact fees that would otherwise be assessed, as follows:

1. Any non-residential use within the Main Street District, as geographically defined in the City's Architectural Control Ordinance, shall be granted a forty percent (40%) partial exemption from developmental impact fees.
2. The following uses developed within the City of Fayetteville shall be granted a forty percent (40%) partial exemption from developmental impact fees:

Quality Restaurants, Institute of Traffic Engineers (ITE) Land Use Code 831, as defined in the ITE publication entitled *Trip Generation*, 5th Edition, incorporated herein by this reference.

Research and Development Building, Institute of Traffic Engineers (ITE) Land Use Code 760, as defined in the ITE publication entitled *Trip Generation*, 5th Edition, incorporated herein by this reference.

Business Park Building, Institute of Traffic Engineers (ITE) Land Use Code 770, as defined in the ITE publication entitled *Trip Generation*, 5th Edition, incorporated herein by this reference.

3. Uses described in Paragraph 2 above, when developed within the Main Street District, shall be granted an eighty percent (80%) partial exemption from developmental impact fees.

Jefferson

(Criteria based on land use and location, tied to *Comprehensive Plan*.)

The City of Jefferson has structured its exemption policy to recognize two separate and distinct possible exemption situations: city-wide exemptions that may occur at any location within the City Limits, and downtown district exemptions which may occur in a certain prescribed district of the city.

City-Wide Exemptions

The City of Jefferson recognizes that certain office, retail trade and industrial development projects provide extraordinary benefit in support of the economic advancement of the city's citizens over and above the access to jobs, goods and services that such uses offer in general. To encourage such development projects, the Mayor and Council may grant a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to the City of Jefferson.

Evaluation Criteria

The following factors, among others, will be considered in determining the extent to which a development project represents extraordinary economic development and employment growth of public benefit to the City of Jefferson:

1. Use: Preference will be given to the construction or expansion of national or regional corporate office facilities and to construction or expansion projects related to industries primarily involved in research and development, assembly, manufacturing or distribution.
2. Investment: The total amount of new private capital investment in land, buildings and equipment related to the project; and the total capital investment in current facilities if the project expands an existing business in the city.
3. Annual Economic Impact: The total annual amount of new wages, purchases and other expenditures that will be generated as a result of the project; and the total annual economic impact of current facilities if the project expands an existing business in the city.
4. Job Creation:
 - a. The total number of jobs created and/or retained as a result of the project.
 - b. The number of jobs created and/or retained paying at least 100% of the average wage for Jackson County as established by the Georgia Department of Labor.
 - c. The number of jobs created or retained that are exempt managerial and/or professional and/or senior executive jobs.

Downtown District Exemptions

The City of Jefferson recognizes that certain development projects provide extraordinary benefit in support of the economic advancement of the city's citizens over and above the access to jobs, goods and services that such uses offer in general. The City has determined that the encouragement of certain types of development in several specific areas of the City will tend to create extraordinary economic development and employment growth within the City. In order to be eligible for Downtown District exemption the proposed development must be in one of the following Historic Districts (as defined on the attached map):

1. The Downtown Historic District;
2. The Martin-Cooley Historic District;
3. The Oak Avenue Historic District;
4. The Washington-Lawrenceville Historic District;

Or, the development must be located in the Central Business District, as defined by the *Official Zoning Map of the City of Jefferson*.

Within the specified Districts, the following types of development projects shall be eligible to seek an exemption from the payment of developmental impact fees that would otherwise be assessed:

1. Adaptive reuse of a detached single-family dwelling for an office;
2. Adaptive reuse of a detached single-family dwelling for an enclosed retail establishment;
3. Bed and breakfast inn;
4. Business service establishment, less than 2,500 square feet of gross floor area;
5. Commercial recreational facility, indoor;
6. Day care center serving no more than 17 persons;
7. Finance, insurance, or real estate establishment, including banks, less than 2,500 square feet of gross floor area;
8. Museum;
9. Restaurant without drive through services;
10. Retail trade establishment, enclosed; or,
11. Special event facility.

The latest edition of the North American Industry Classification System (NAICS) manual may be consulted by the Administrator in order to define and determine the eligibility of any project purporting to be one of the above listed land uses.

Reimbursement to Impact Fee Fund

It is recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees. As part of the annual budgeting process adequate funds shall be identified and transferred to the Impact Fee Fund Accounts equal to the amount of all exemptions granted during the preceding year.

Locust Grove

(Criteria based on land use, location and economic benefit; tied to *Comprehensive Plan*) –

The City of Locust Grove has structured its exemption policy to recognize two separate and distinct possible exemption situations: city-wide exemptions that may occur at any location within the City Limits, and a downtown district exemption which may occur in a certain prescribed district of the city.

City-Wide Exemptions

The City of Locust Grove recognizes that certain educational, office, retail trade and industrial development projects provide extraordinary benefit in support of the economic advancement of the city's citizens over and above the access to jobs, goods and services that such uses offer in general. To encourage such development projects, the Mayor and Council may grant a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to the City of Locust Grove.

Evaluation Criteria

The following factors, among others, will be considered in determining the extent to which a development project represents extraordinary economic development and employment growth of public benefit to the City of Locust Grove:

1. Use: Preference will be given to the construction or expansion of national or regional corporate office facilities, institutions of higher education, and to construction or expansion projects related to industries primarily involved in research and development, assembly, manufacturing or distribution.
2. Investment: The total amount of new capital investment in land, buildings and equipment related to the project; and the total capital investment in current facilities if the project expands an existing business in the city.
3. Annual Economic Impact: The total annual amount of new wages, purchases and other expenditures that will be generated as a result of the project; and the total annual economic impact of current facilities if the project expands an existing business in the city.
4. Job Creation:
 - a. The total number of jobs created and/or retained as a result of the project.
 - b. The number of jobs created and/or retained paying at least 100% of the average wage for Henry County as established by the Georgia Department of Labor.
 - c. The number of jobs created or retained that are exempt managerial and/or professional and/or senior executive jobs.

Downtown District Exemptions

The City of Locust Grove recognizes that certain development projects provide extraordinary benefit in support of the economic advancement of the city's citizens over and above the access to jobs, goods and services that such uses offer in general. The City has determined that the encouragement of certain types of development in the downtown area of the City will tend to create extraordinary economic development and employment growth within the City. In order to be eligible for Downtown District exemption the proposed development must be located within the boundary of the Downtown Development Area, as shown on the attached map.

Evaluation Criteria

The following factors, among others, will be considered in determining the extent to which a development project in the Downtown District represents extraordinary economic development and employment growth of public benefit to the City of Locust Grove:

1. Use: Preference will be given to the following types of development projects:
 - a. Adaptive reuse of a detached single-family dwelling for an office;
 - b. Adaptive reuse of a detached single-family dwelling for an enclosed retail establishment;
 - c. Bed and breakfast inn;
 - d. Business service establishment, less than 2,500 square feet of gross floor area;
 - e. Finance, insurance, or real estate establishment, including banks, less than 2,500 square feet of gross floor area;
 - f. Museum, Art Gallery or Artist's Studio;
 - g. Restaurant without drive through services;
 - h. Retail trade establishment, enclosed; or,
 - i. Special event facility.

The latest edition of the North American Industry Classification System (NAICS) manual may be consulted by the Impact Fee Program Administrator in order to define and determine the eligibility of any project purporting to be one of the above listed land uses.

2. Tenure: Number of years in operation at the present location in the District, or the number of years of operation at another location outside the District.
3. Vacancy: Number of years that the premises or parcel has been vacant.
4. Expansion: The project is an expansion of an existing business.

Impact Fee Exemption Guidelines

Any applicant for an exemption must present a written request for such an exemption to the Impact Fee Program Administrator (as defined in the City of Locust Grove Impact Fee Ordinance). The request must include such data of relevance to the evaluation criteria (above) and may include any relevant documents in support of the request. The Administrator shall then prepare a report for the Mayor and Council with a recommendation on whether the exemption should be granted, and if so, what amount should be exempted. The amount of the exemption will be related to the public benefit, as determined under the evaluation criteria above, and such other factors as the Administrator may consider relevant. Acting upon the recommendation of the Administrator, but not bound by that recommendation, an impact fee exemption may then be granted by the Mayor and Council for a development or expansion project that is determined to represent extraordinary economic development and employment growth of public benefit to the City of Locust Grove.

It is recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees. As part of the annual budgeting process, funds shall be identified and transferred to the Impact Fee Fund Accounts equal to the amount of all exemptions granted during the preceding year.



Capital Improvements Element



Dawson County Impact Fee Program

Including the following
public facility categories:

Library Services
Parks and Recreation
Fire Protection
Law Enforcement
Road Improvements

DRAFT: April 5, 2018

ROSS+associates

urban planning & plan implementation

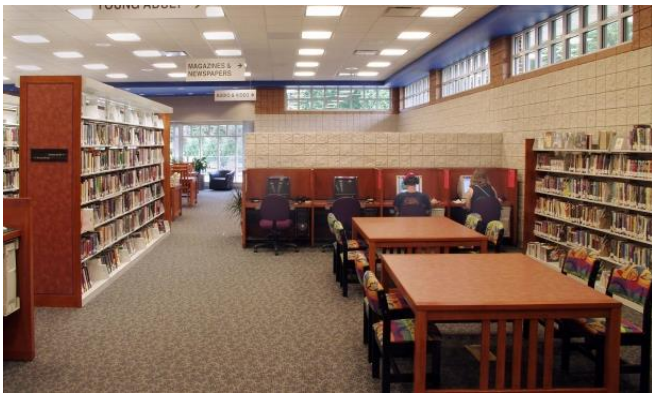


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Introduction

■ Looking Ahead

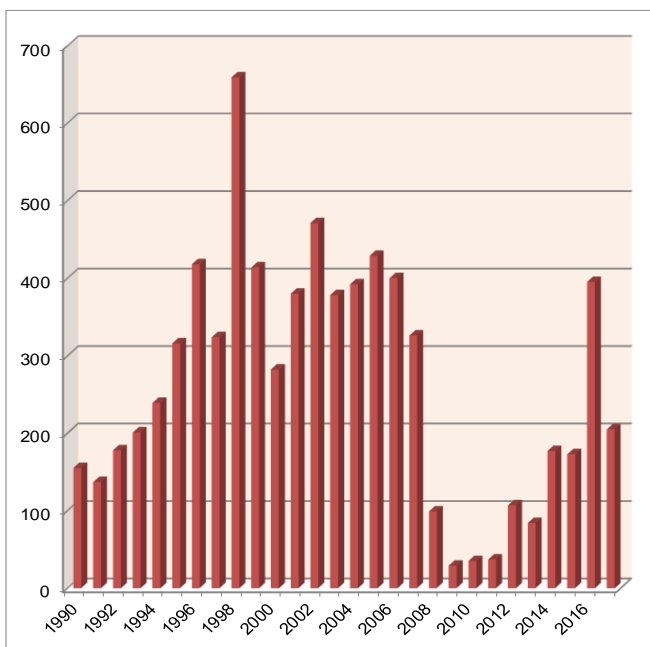
Forecasts indicate major growth ahead for Dawson County as people continue to move up the GA 400 corridor, propelled by growth in the Atlanta Metro Area, and attracted to favorable housing prices, a great school system, and avoiding the increasingly crowded, traffic congested Forsyth County. Over the next 22 years to 2040, it is expected that about one-half of the people that will be living in Dawson County and the housing they occupy are not here today. This equates to a doubling of the population and housing supply over 2017—2.04 times as many people and 1.95 times as many housing units as today (accompanied with an increase in average household size).

This is not as unprecedented as it seems. Looking back over the past 22 years, since 1995 the county's population has more than doubled, from 11,888 to 24,517—a 52% increase—in spite of the housing market crash of 2008 and the ensuing Great Recession.

Building permit data tell the story. Going back to 1990, the county was on a clear upswing in development, trending higher and higher overall, slipping a bit in 2006, and then plummeting with the nationwide housing market crash.

Calendar Year	New Housing Units Permitted
1990	155
1991	137
1992	178
1993	201
1994	239
1995	316
1996	418
1997	324
1998	659
1999	414
2000	282
2001	380
2002	471
2003	378
2004	392
2005	429
2006	400
2007	326
2008	99
2009	29
2010	35
2011	37
2012	107
2013	84
2014	177
2015	173
2016	395
2017	205

Residential Building Permit Activity - Dawson County



Source: US Bureau of the Census, annual building permit data, 1990-2015; Dawson County 2016-2017.

Recovery from the crash was slow but steady—even outpacing the rebound in Gainesville-Hall County and the Atlanta Metro Area on an annual percent increase basis. Most recently, the county's housing industry has regained its footing and permits are clearly on the rise.

Though not as robust as population growth, nonresidential growth forecasts indicate an almost doubling in the number of private-sector jobs with a 41% growth and a 1.7 multiplier. (These numbers exclude government, construction and agricultural workers, since they are not assessed impact fees.) According to Woods & Poole Economics, Inc., the county will see its greatest

increase in retail trade, followed by service industries, insurance/finance and real estate, and health care.

What this means is that Dawson County will be called upon to expand its services and infrastructure if it is to maintain the quality of life and business environment enjoyed by its residents and workers today. Failing to keep up will bring an erosion of the lifestyles and employment opportunities that attracts new growth and investment tomorrow and that the population enjoys today.

■ Impact Fees

Impact fees present a potential revenue source in the on-going search for public facilities funding, which this report examines.

We identify the current levels of service provided throughout the county and the desired levels of service for the future in order to quantify the capital facilities needed to achieve the Dawson County's goals for the future. Based on that analysis, calculations have been carried out in order to identify what portion of future capital facilities could be funded through impact fee collections.

In this report capital costs have been examined for six public facility categories: library services, parks & recreation, public safety (including fire protection, emergency management/911 communications, and law enforcement), and road improvements. Based on plans of the County and projections of future capital investment needs, the portion of future capital costs that could be met through impact fees has been calculated. In short, impact fees could be used to fund a large portion of the capital costs in these public facility categories, and at the desired Level of Service standards, over the next 22 years to 2040.

Impact Fees Authorized

Under State law, the County can collect money from new development based on that development's proportionate share—the 'fair share'—of the cost to provide the facilities it needs. The State law allows impact fees to be collected in the categories of libraries, public safety, parks, and roads, among others. Ultimately, and importantly, the services provided in the public facility categories for which impact fees are being charged must be the same for both the existing community and future growth.

Impact fees are authorized in Georgia under Code Section 37-71, the *Georgia Development Impact Fee Act* (DIFA), and are administered by the Georgia Department of Community Affairs (DCA) under Chapter 110-12-2, *Development Impact Fee Compliance Requirements*. Impact fees are a form of revenue authorized by the State, and strictly defined and regulated through State law. The provisions of the DIFA are extensive, in order to assure that new development pays no more than its fair share of the costs and that impact fees are not used to solve existing service deficiencies.

Impact Fee Documentation

One document required for the collection of impact fees is called the Capital Improvements Element (CIE), and is adopted as a chapter, or 'element', of the County's Comprehensive Plan. As defined by the Georgia Development Impact Fee Act (DIFA), the CIE must include certain calculations and information, and those are included in this report along with additional information regarding the amount that could be charged in an impact fee program. The calculations and information, repeated (as applicable) for each public facility category for which an impact fee will be charged, are:

- a **projection of needs** for the planning period of the adopted Comprehensive Plan;
- the designation of **service areas** - the geographic area in which a defined set of public facilities provide service to development within the area;
- the designation of **levels of service** (LOS) - the service level that will be provided;
- a **schedule of improvements** listing impact fee related projects and costs for the planning period of the adopted Comprehensive Plan;
- a description of **funding sources** for the planning period of the adopted Comprehensive Plan;

■ Updating the Impact Fee Program

Dawson County adopted its impact fee program in 2006, including its initial Capital Improvements Element, Impact Fee Ordinance and Impact Fee Schedule. Impact fee collections were suspended in 2009 in response to the worsening economic conditions brought on by the Great Recession. This Methodology Report updates the County's documentation, including the recognition of current prices and costs for capital equipment and facilities, and extends the horizon of the program to 2040.

Adoption of a new CIE would therefore update the County's program that has been in place for many years.

The following table shows the facility categories that are eligible for impact fee funding under Georgia law and that are included in the County's current impact fee program. The service area for each public facility category—that is, the geographical area served by the facility category—is also given, along with the basis for the standard adopted as the Level of Service to be delivered for each facility category. All the listed categories are considered in this report.

Table 1: Overview of Impact Fee Program - Facilities

	Eligible Facilities	Service Area	Level of Service Standard Based on ...	Historic Funding Sources
Library Services	Library facilities including collection materials	Countywide	Square footage and number of collection materials per dwelling unit	General Fund, State Grants, impact fees
Parks and Recreation	Park acres, recreation components	Countywide	Number of acres and recreation components per dwelling unit	General Fund, SPLOST and impact fees
Fire Protection	Fire stations, fire trucks & auxiliary vehicles	Countywide	Square footage and number of vehicles per day-night population	General Fund, SPLOST and impact fees
Law Enforcement	Sheriff's administration space and inmate detention	Countywide	Square footage of facilities per day-night population	General Fund, SPLOST and impact fees
Road Improvements	Road projects providing new trip capacity	Countywide	LOS "D" for entire road network	General Fund, SPLOST and impact fees

Terms used in Table 1:

Eligible Facilities under the State Act are limited to capital items having a life expectancy of at least 10 years, such as land, buildings and other facilities, and major rolling stock (such as fire trucks). Impact fees cannot be used for the maintenance, supplies, personnel salaries, or other operational costs, or for short-term capital items such as computers, furniture or automobiles. None of these costs are included in the impact fee system.

Service Areas are the geographic areas that the facilities serve, and the areas within which the impact fee can be collected. Monies collected in a service area for a particular type of facility may only be spent for that purpose, and only for projects that serve that service area.

Level of Service Standards are critical to determining new development's fair share of the costs. The same standards must be applied to existing development as well as new to assure that each is paying only for the facilities that serve it. New development cannot be required to pay for facilities at a higher standard than that available to existing residents and businesses, nor to subsidize existing facility deficiencies.

■ Editorial Conventions

This report observes the following conventions:

- The capitalized word 'County' applies to the government of Dawson County, the Board of Commissioners or any of its departments or officials, as appropriate to the context. An example is "the County has adopted an impact fee ordinance".
- The lower case word 'county' refers to the geographical area of Dawson County, as in "the population of the county has grown".
- The same conventions are applied to the words 'City' and 'city', 'State' and 'state'.
- Single quote marks (' and ') are used to highlight a word or phrase that has a particular meaning or refers to a heading in a table.
- Double quote marks (" and ") are used to set off a word or phrase that is a direct quote taken from another source, such as a passage or requirement copied directly from a law or report.
- Numbers shown on tables are often rounded from the actual calculation of the figures for clarity, but the actual calculated number of decimal points is retained within the table for accuracy and further calculations.



Forecasts

Extensive growth and development is forecast for Dawson County over the coming 22 years to 2040 as expansion of the Atlanta Metro Area washes over Forsyth County into Dawson—a process that has already begun.



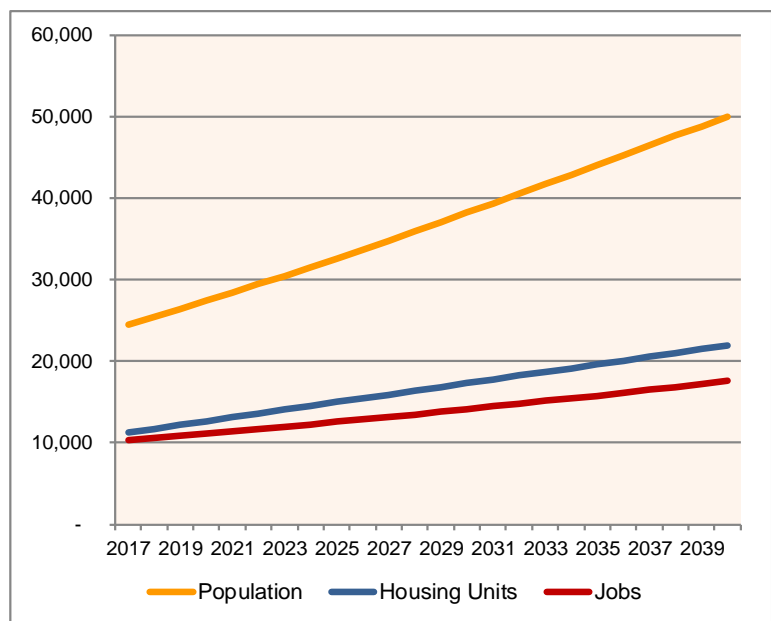
Forecasts

Population projections reflect this massive growth which is expected over the next 22 years. Based on the county’s rebound from the Great Recession and anticipated continuing growth in the housing market, the ultimate population forecast for 2040 is 50,000 people—a doubling of the number of people in the county today.

The numbers in the ‘jobs’ column are private sector, building occupying employment figures and exclude what are referred to as ‘non-building related’ jobs. ‘Non-building related’ jobs are those that do not normally require issuance of a building permit, and thus would not be assessed an impact fee. Such jobs include any employment that is considered to be transitory in nature, such as those working on construction sites, or are strictly land-based such as farming and other agricultural workers. In addition, the number of workers employed by governmental entities (city, county, state and federal) is excluded because governments are exempt from impact fees.

Table 2: Forecasts of Future Growth

	Population	Housing Units	Jobs
2017	24,517	11,262	10,290
2018	25,453	11,726	10,578
2019	26,412	12,190	10,857
2020	27,394	12,658	11,136
2021	28,396	13,127	11,414
2022	29,418	13,592	11,697
2023	30,459	14,052	11,981
2024	31,519	14,514	12,270
2025	32,595	14,975	12,567
2026	33,687	15,439	12,868
2027	34,794	15,905	13,175
2028	35,915	16,372	13,485
2029	37,048	16,838	13,802
2030	38,193	17,300	14,119
2031	39,348	17,763	14,442
2032	40,512	18,224	14,774
2033	41,684	18,683	15,106
2034	42,863	19,141	15,441
2035	44,047	19,597	15,780
2036	45,235	20,058	16,128
2037	46,425	20,526	16,478
2038	47,617	21,004	16,831
2039	48,809	21,490	17,196
2040	50,000	21,981	17,560



	Population	Housing Units	Jobs
2017	24,517	11,262	10,290
2040	50,000	21,981	17,560
Increase	25,483	10,719	7,270
Percent	51.0%	48.8%	41.4%

By 2040, about a half (51%) of the population in the county will have been generated by new growth; virtually the same is true for the number of housing units at 49%. In other words, population and housing units in 2040 will be about 2 times the numbers today (2.04 and 1.95 times, respectively). Growth in private sector jobs will comprise over 40% of all such jobs in the county today (somewhat less than doubling at 1.7 times 2017).

A much more extensive socioeconomic analysis and description of the growth projections is contained in the Appendix: Future Growth.

Library Services

■ Introduction

The Dawson County Library System provides library services through a central library facility in Dawsonville and a small satellite branch on Liberty Drive (east of Ga 400). Together, the two facilities contain a total of 14,700 square feet and have a current collection of almost 43,000 materials.



The Dawson County Library is part of the Chestatee Regional Library System and is maintained by financial contributions from Dawson County. The library provides services to all residents of Dawson County through a variety of information and materials, facilities and programs. The library system serves all persons on an equal basis in meeting their educational, recreational, civic, economic and spiritual needs.

Demand for library services is almost exclusively related to the county's resident population. Businesses make some use of public libraries for research purposes, but the use is incidental compared to that of the families and individuals who live in the county. Thus, a library services system impact fee is limited to future residential growth.

■ Service Area

Materials, facilities and services of the Dawson County library system are equally available to the county's population. The entire county is therefore considered a single service district for library services. An improvement in any part of the county increases service to all parts of the county to some extent.

■ Level of Service

The year 2017 Level of Service (LOS) is determined by an inventory of the existing library facilities and collection materials, as shown in Table 3.

Table 3: Inventory of Library Facilities

Facility	Gross Floor Area in Square Feet	Collection Materials
Dawson County Library*	14,700	42,908

*Includes the main branch and the satellite facility.

Level of service calculations, shown in Table 4 below, determine that the facilities provide slightly more than 3.8 collection materials and 1.3 square feet of library space per dwelling unit to serve the current population.

Table 4: Current Level of Service Calculation

Facility	Current Service Population	Current Level of Service
Existing Square Feet	Number of Housing Units (2017)	Square Feet of Floor Area per Housing Unit
14,700	11,262	1.3053
Existing Collection Materials	Number of Housing Units (2017)	Collection Materials per Housing Unit
42,908	11,262	3.8100

■ **Forecasts for Service Area**

Future Demand

The County adopted a Level of Service for library facilities based on the current floor area of facility space, and the current number of collection materials, per dwelling unit. In Table 5, the Level of Service figures are used to calculate future demand in square feet and collection materials between 2017 and 2040. The additional number of forecasted dwelling units to the year 2040 is multiplied by the Level of Service to produce the future demand figures. Future growth will demand almost 14,000 additional square feet of library space by the year 2040 in order to maintain the current Level of Service for all county residents, both existing and future. In the same way, a net increase of almost 41,000 collection materials will need to be added.

Table 5: Future Demand Calculation

Current Level of Service	Service Population Growth	New Growth Demand
Square Feet of Floor Area per Housing Unit	Number of New Housing Units (2017-40)	Square Feet of New Floor Area Needed
1.3053	10,719	13,991
Collection Materials per Housing Unit	Number of New Housing Units (2017-40)	Collection Materials Needed
3.8100	10,719	40,839

Table 6 presents the expected facility demand in an annual format. The table shows a future project roughly in pace with the anticipated growth in dwelling units (assuming that construction of a new library branch should begin when about one-half the service demand is reached). Alternately, an expansion of the current main library could be considered, and/or several smaller new branch libraries in various locations around the county. In whatever future configuration, it is the addition of 13,991 square feet that is impact fee eligible.

Table 6: Future Library Facility Projects

Year	New Dwelling Units	Running Total: SF Demanded	Project	Square Footage
2017	0			
2018	464	606		
2019	464	1,212		
2020	468	1,823		
2021	469	2,435		
2022	465	3,042		
2023	460	3,642		
2024	462	4,245		
2025	461	4,847		
2026	464	5,453	New Branch Library	13,991
2027	466	6,061		
2028	467	6,671		
2029	466	7,279		
2030	462	7,882		
2031	463	8,486		
2032	461	9,088		
2033	459	9,687		
2034	458	10,285		
2035	456	10,880		
2036	461	11,482		
2037	468	12,093		
2038	478	12,717		
2039	486	13,351		
2040	491	13,992		
Total	10,719			13,991

Table 7 presents the figures for collection material demand. Materials demanded by new growth are calculated in the first columns by multiplying the Level of Service standard (from Table 5) times the net new dwelling units each year (from Table 2). Thus the 'New Materials Needed (annual)' column represents the number of materials that must be purchased in order to meet new growth's demand in each year. The 'Running Total' column shows the accumulated number of new collection materials that will meet the needs of future residential growth in the county.

However, the Library System discards a few of its collection materials each year as they become worn out, disfigured, broken or out of date. To maintain the collection, these materials need to be replaced with new materials. Since these materials replenish the overall collection, the responsibility for these replacements falls to the current residents and not to new growth.

Library Services

Over the past several years the discard rate has averaged 0.524% of all materials in the collection. As the collection grows in the future, this discard rate will continue relative to the new materials being acquired. By including the discarded materials for replacement each year, the resulting 'total materials needed (annual)' column reflects the total number of volumes required annually to maintain the LOS once these non-impact fee eligible volumes are discarded. Thus, the new materials that will be needed each year will meet both the demand of new growth and the replenishment of the current collection. A total of 41,048 collection materials will need to be purchased to maintain the Level of Service for new and existing development and to account for discarded volumes.



Table 7: Future Collection Materials Needed

Year	New Growth Demand			Plus Discarded Materials	Total Materials Needed (annual)
	New Dwelling Units	New Materials Needed (annual)	Running Total		
2017	0	0			
2018	464	1,768	1,768	9	1,777
2019	464	1,768	3,536	9	1,777
2020	468	1,783	5,319	9	1,792
2021	469	1,787	7,106	9	1,796
2022	465	1,772	8,878	9	1,781
2023	460	1,753	10,631	9	1,762
2024	462	1,760	12,391	9	1,769
2025	461	1,756	14,147	9	1,765
2026	464	1,768	15,915	9	1,777
2027	466	1,775	17,690	9	1,784
2028	467	1,779	19,469	9	1,788
2029	466	1,775	21,244	9	1,784
2030	462	1,760	23,004	9	1,769
2031	463	1,764	24,768	9	1,773
2032	461	1,756	26,524	9	1,765
2033	459	1,749	28,273	9	1,758
2034	458	1,745	30,018	9	1,754
2035	456	1,737	31,755	9	1,746
2036	461	1,756	33,511	9	1,765
2037	468	1,783	35,294	9	1,792
2038	478	1,821	37,115	10	1,831
2039	486	1,852	38,967	10	1,862
2040	491	1,871	40,838	10	1,881
Total	10,719	40,838		210	41,048

Note: Discard rate = 0.524%

■ Future Costs

New Library Space

The building floor area needed to serve new growth identified in Table 6 is used to calculate the future cost to meet service demand, as shown in Table 8. The costs are shown in current dollars, and then adjusted to reflect the Net Present Value based on the year in which the expenditure is anticipated. For facility construction, the estimated current cost of construction is adjusted using the BCI (building construction cost index), and then reduced by the Discount Rate to determine the Net Present Value.¹

Table 8: Facility Costs to Meet Future Demand

Year	Project	Square Footage	Cost (2017 Dollars)*	% for New Growth	Total New Growth Cost (NPV)**
2026	New Branch Library	13,991	\$ 4,365,192	100%	\$ 4,716,121
Total		13,991	\$ 4,365,192	100%	\$ 4,716,121

* Project cost based on \$312 per square foot, *Green Building Square Foot Costbook*, 2017 Edition, published by BNI Building News.

** Net Present Value = 2017 cost estimate inflated to target year using the Building Cost Index (BCI), reduced to NPV using the Discount Rate.

New Collection Materials

The new collection materials needed to serve new growth and to offset the discard rate, identified on Table 7, are used to calculate the future cost to meet service demand, as shown in Table 10.

The average cost of a collection material is based on the overall value of all of the materials in the current collection. The inventory of the current collection is shown on Table 9 by type of material, number of materials, the average cost to acquire a volume in each category, and the total value of all materials in each category. Overall, the system's collection of 42,908 materials has a current (replacement) value of almost \$940,200. Dividing one by the other, and assuming the relative ratios will persist into the future, the average material in the collection is almost \$22.



¹ For more information on the cost inflator factor and net present value, see the 'Cost Adjustments and Credits' chapter of this report.

Table 9: Value of Collection Materials - 2017

Collection Materials	Number of Volumes	Avg Value per Volume	Total Value
Adult fiction books	1,220	\$ 23.33	\$ 28,462.60
Adult nonfiction books	10,431	\$ 24.09	\$ 251,282.79
Juvenile books	9,376	\$ 16.49	\$ 154,610.24
Easy books	7,638	\$ 15.73	\$ 120,145.74
EZ books	916	\$ 13.03	\$ 11,935.48
Magazines	1,108	\$ 22.00	\$ 24,376.00
Realia items	98	\$ 41.05	\$ 4,022.90
Large print books	1,616	\$ 27.17	\$ 43,906.72
Young adult books	2,585	\$ 16.17	\$ 41,799.45
Videogames	148	\$ 24.83	\$ 3,674.84
Music CDs	334	\$ 13.95	\$ 4,659.30
DVDs	3,129	\$ 22.84	\$ 71,466.36
Audiobooks	2,481	\$ 36.62	\$ 90,854.22
Ref/Georgianna	1,828	\$ 48.67	\$ 88,968.76
Total	42,908		\$ 940,165.40
	Overall Average per Volume		\$ 21.91

This average cost-per-material from Table 9 is used in Table 10 to calculate the total cost each year to acquire the needed number of materials (from Table 7). The costs are shown in current dollars, and then adjusted to reflect the Net Present Value based on the year in which the expenditure is anticipated. For the acquisition of collection materials, the current cost is adjusted to reflect the CPI (consumer price index) inflation factor, and then reduced by the Net Discount Rate to determine the Net Present Value.



In Table 10, the number of books needed each year is taken from Table 7. The total cost each year (in current 2017 dollars) is produced by multiplying the number of collection materials times the average per-volume cost calculated in Table 9. The percentage of the cost attributable to new growth in each year is based on the percentage of total volumes demanded that are attributable to new growth's demand (i.e., excluding the volumes needed to replace the discarded volumes).

This 'New Growth Cost (2017 \$)' is converted to Net Present Value as described above, using the CPI inflation rate to the future year indicated, and then reducing that figure using the Net Discount Rate back to present value of the future cost.

Table 10: Collection Material Costs to Meet Future Demand

Year	Total Materials Needed (annual)	Total Cost (2017 Dollars)	% for New Growth	New Growth Cost (2017 \$)	Net Present Value
2018	1,777	\$ 38,934.07	99.49%	\$ 38,736.88	\$ 39,114.61
2019	1,777	\$ 38,934.07	99.49%	\$ 38,736.88	\$ 39,496.02
2020	1,792	\$ 39,262.72	99.50%	\$ 39,065.53	\$ 40,219.50
2021	1,796	\$ 39,350.36	99.50%	\$ 39,153.17	\$ 40,702.80
2022	1,781	\$ 39,021.71	99.49%	\$ 38,824.52	\$ 40,754.71
2023	1,762	\$ 38,605.42	99.49%	\$ 38,408.23	\$ 40,710.86
2024	1,769	\$ 38,758.79	99.49%	\$ 38,561.60	\$ 41,271.99
2025	1,765	\$ 38,671.15	99.49%	\$ 38,473.96	\$ 41,579.72
2026	1,777	\$ 38,934.07	99.49%	\$ 38,736.88	\$ 42,272.08
2027	1,784	\$ 39,087.44	99.50%	\$ 38,890.25	\$ 42,853.28
2028	1,788	\$ 39,175.08	99.50%	\$ 38,977.89	\$ 43,368.66
2029	1,784	\$ 39,087.44	99.50%	\$ 38,890.25	\$ 43,693.09
2030	1,769	\$ 38,758.79	99.49%	\$ 38,561.60	\$ 43,746.30
2031	1,773	\$ 38,846.43	99.49%	\$ 38,649.24	\$ 44,273.27
2032	1,765	\$ 38,671.15	99.49%	\$ 38,473.96	\$ 44,502.24
2033	1,758	\$ 38,517.78	99.49%	\$ 38,320.59	\$ 44,757.06
2034	1,754	\$ 38,430.14	99.49%	\$ 38,232.95	\$ 45,090.13
2035	1,746	\$ 38,254.86	99.48%	\$ 38,057.67	\$ 45,321.07
2036	1,765	\$ 38,671.15	99.49%	\$ 38,473.96	\$ 46,263.58
2037	1,792	\$ 39,262.72	99.50%	\$ 39,065.53	\$ 47,432.98
2038	1,831	\$ 40,117.21	99.45%	\$ 39,898.11	\$ 48,916.27
2039	1,862	\$ 40,796.42	99.46%	\$ 40,577.32	\$ 50,234.11
2040	1,881	\$ 41,212.71	99.47%	\$ 40,993.61	\$ 51,244.33
Total	41,048	\$ 899,361.68		\$ 894,760.58	\$ 1,007,818.63

Parks and Recreation Facilities

■ Introduction

Public recreational opportunities are available in Dawson County through a number of parks facilities and programs operated by the County. Demand for recreational facilities is almost exclusively related to the county's resident population. Businesses make some incidental use of public parks for office events, company softball leagues, etc., but the use is minimal compared to that of the families and individuals who live in the county. Thus, the parks and recreation impact fee is limited to future residential growth. The County maintains and operates four parks.

Rock Creek Sports Complex



River Park



Veterans Memorial Park



War Hill Park



■ Service Area

Parks and recreational facilities are made available to the county's population without regard to the political jurisdiction within which the resident lives. In addition, the facilities are provided equally to all residents, and often used on the basis of the programs available, as opposed to proximity of the facility. For instance, children active in the little leagues play games at various locations throughout the county, based on scheduling rather than geography. Other programs are located only at certain centralized facilities, to which any Dawson County resident can come. As a general rule, parks facilities are located throughout the county, and future facilities will continue to be located around the county so that all residents will have recreational opportunities available on an equal basis. Thus, the entire county is considered a single service area for parks & recreation.

■ Level of Service

The Level of Service (LOS) that the County’s parks and recreation components provide is viewed from two perspectives: the LOS that is provided by the current facilities to the current population, and the LOS adopted as part of the County’s Recreation Master Plan.

Table 11: Current Inventory of Parks and Recreation Components

Facility	Park Acreage	Recreation Component	Current Inventory
Rock Creek Park	50.8	Total Park Acres	202.9
Veterans Memorial Park	40.8	Baseball/Softball Fields	15
River Park	3.3	Basketball Courts (outdoor)	2
War Hill Park	108.0	Multi-Purpose Fields	4
Total Acres	202.9	Picnic Pavilions	4
		Playgrounds	3
		Restroom/Concession	3
		Swimming Pools	1
		Tennis Courts	6
		Buildings:*	
		Gymnasium	17,000
		Maintenance Sheds	4,200
		Office/Concession	2,500
		Recreation Center	36,000
		Senior Rec Center	5,000
		Maintenance Yards**	0.25
		Walking Trails***	1.90
		Parking Spaces	1,255

Footnotes:

* Floor area in square feet. Includes 1 indoor regulation basketball court at the Veterans Memorial Park gym and 2 at the Rock Creek Recreation Center.

** Total acres for 2 yards.

*** Trail miles.

Current Level of Service

Table 12 below provides the current Level of Service in park acreage and facilities per population, converts this to the Level of Service per the number of housing units occupied by that population, and then expresses the Level of Service per housing unit (since impact fees are assessed per housing unit when building permits are issued, not population).

For all facilities, the current Level of Service standards are expressed in terms of the number of people each recreation component serves.

To determine the current LOS, the number of people served by each component is calculated using the current inventory for the component divided into the current population. These LOS 'per population' standards are then re-calculated as the number of housing units served by each component based on the county's number of people living in an average household (the average household size). Since impact fees are assessed at the time a building permit is issued (and the impact fee will be applied only to residential uses), the LOS then must be converted to a 'per housing unit' basis.

Table 12 shows how the current Level of Service for each recreation component is converted to a 'per housing unit' basis. To do this, the current LOS shown in the middle columns of 1 per a 'certain number of' housing units for each component is converted to the LOS per housing unit by dividing the number into '1', which produces the number of components serving one housing unit'.

Table 12: Current Level of Service Calculations

Component Type	Current Level of Service*	Level of Service per "X" Housing Units**	Level of Service per Each Housing Unit***
Total Park Acres	1 per 121 population =	1 per 55 Housing Units =	0.018182 for each Housing Unit
Baseball/Softball Fields	1 per 1,634 population =	1 per 751 Housing Units =	0.001332 for each Housing Unit
Basketball Courts (outdoor)	1 per 12,259 population =	1 per 5,631 Housing Units =	0.000178 for each Housing Unit
Multi-Purpose Fields	1 per 6,129 population =	1 per 2,816 Housing Units =	0.000355 for each Housing Unit
Picnic Pavilions	1 per 6,129 population =	1 per 2,816 Housing Units =	0.000355 for each Housing Unit
Playgrounds	1 per 8,172 population =	1 per 3,754 Housing Units =	0.000266 for each Housing Unit
Swimming Pools	1 per 24,517 population =	1 per 11,262 Housing Units =	0.000089 for each Housing Unit
Tennis Courts	1 per 4,086 population =	1 per 1,877 Housing Units =	0.000533 for each Housing Unit
Buildings:			
Gymnasium	1 sq ft per 1,442 population =	1 sq ft per 0.662 Housing Units =	1.509501 for each Housing Unit
Maintenance Sheds	1 sq ft per 5,837 population =	1 sq ft per 2.681 Housing Units =	0.372936 for each Housing Unit
Office/Concession	1 sq ft per 9,807 population =	1 sq ft per 4.505 Housing Units =	0.221985 for each Housing Unit
Recreation Center	1 sq ft per 0,681 population =	1 sq ft per 0.313 Housing Units =	3.196590 for each Housing Unit
Restroom/Concession	1 per 8,172 population =	1 per 3,754 Housing Units =	0.000266 for each Housing Unit
Senior Rec Center	1 sq ft per 4,903 population =	1 sq ft per 2.252 Housing Units =	0.443971 for each Housing Unit
Maintenance Yard acres	1 acre per 98,068 population =	1 acre per 45,048 Housing Units =	0.000022 for each Housing Unit
Walking Trail miles	1 mile per 12,904 population =	1 mile per 5,927 Housing Units =	0.000169 for each Housing Unit
Parking Spaces	1 space per 19,535 population =	1 space per 8,974 Housing Units =	0.111437 for each Housing Unit

* LOS is based on the current inventory divided by the current population.

** Converted using average population per housing unit in 2017.

*** "1" divided by the number of housing units for each component under 'Level of Service per "X" Housing Units' column.

By way of example, the current LOS for basketball courts is 1 court per 12,259 people. That number—12,259—is divided by the 2017 average household size to convert 'people' into 'housing units'. The result is the converted standard of 1 court per 5,631 housing units. By dividing the component (1) by the number of housing units it serves results in the portion of a basketball court that serves 1 housing unit (0.000178).

Master Plan Level of Service

In 2012 the County adopted a Master Plan for all recreation facilities operated by the County. Those LOS standards are shown in Table 13. By-and-large, the current LOS standards compare generally well to the adopted LOS standards, with some exceptions (such as baseball and softball fields, which far outnumber the adopted standard). In many cases, types of recreation components are not the same between the current inventory and the Master Plan facilities. In particular, adopted standards for various building types cannot be compared to the current LOS standards.

Table 13: Adopted Level of Service Calculations

Component Type	Adopted Level of Service*	Level of Service per "X" Housing Units	Level of Service per Each Housing Unit
Total Park Acres	1 per 100 population =	1 per 46 Housing Units =	0.021739 for each Housing Unit
Baseball/Softball Fields	1 per 5,000 population =	1 per 2,297 Housing Units =	0.000435 for each Housing Unit
Basketball Courts (outdoor)	1 per 8,000 population =	1 per 3,675 Housing Units =	0.000272 for each Housing Unit
Football Fields	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Picnic Pavilions	1 per 5,000 population =	1 per 2,297 Housing Units =	0.000435 for each Housing Unit
Playgrounds	1 per 5,000 population =	1 per 2,297 Housing Units =	0.000435 for each Housing Unit
Soccer Fields	1 per 5,000 population =	1 per 2,297 Housing Units =	0.000435 for each Housing Unit
Spraygrounds	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Swimming Pools	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Tennis Courts	1 per 3,500 population =	1 per 1,608 Housing Units =	0.000622 for each Housing Unit
Volleyball Courts	1 per 8,000 population =	1 per 3,675 Housing Units =	0.000272 for each Housing Unit
Buildings:			
Community/Cultural Ctrs	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Maintenance Facilities	1 per park =	1 per 2,816 Housing Units =	0.000355 for each Housing Unit
Restroom/Concession	1 per 4 fields =	1 per 2,371 Housing Units =	0.000422 for each Housing Unit
Recreation Center	1 per 10,000 population =	1 per 4,594 Housing Units =	0.000218 for each Housing Unit
Senior Rec Center	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Walking/jogging Trails	1 per park =	1 per 2,816 Housing Units =	0.000355 for each Housing Unit
Multi-Purpose Trail System	1 per 20,000 population =	1 per 9,187 Housing Units =	0.000109 for each Housing Unit
Parking	75 per field =	1 per 8 Housing Units =	0.126532 for each Housing Unit

* Dawson County System-Wide Recreation Master Plan: 2012-2017. Adopted February 2012.

Impact Fee LOS Standards

As will be seen below, the impact fee calculations use a combination of LOS standards reflecting current conditions and Master Plan standards where applicable, relevant and useful to the calculations.

First priority is given to the LOS standards adopted in the Master Plan, where those standards relate to actual facilities in the inventory and are based on population. Where an existing category (such as multi-purpose fields) has no comparable component in the Master Plan, the LOS for the current facilities is used. In the case of buildings, the categories between the Plan and actual facilities do not match, and/or the LOS standard differs as to its basis (floor area per population versus number per park). The same is true for maintenance sheds and maintenance yards versus 'maintenance facilities', and parking spaces. Lastly, the LOS for a 'multi-purpose trail system' is not quantified in terms of actual length; establishing an appropriate LOS in the future awaits a trail plan that will quantify this quantifiably.

The standards used in this Methodology Report provide greater clarity to future parks and recreation component development in terms of the County's current activities and planned improvements.

■ **Forecasts for Service Area**

Future Demand

As discussed above, the Level of Service standards used in this Report are an amalgam of standards established in the County’s *Systemwide Recreation Master Plan* (by preference) and current LOS standards in those cases where the Master Plan does not quantify future improvements in a useful way. The relevant LOS standards are shown on Table 14.

The table below applies the relevant Level of Service calculations to determine the facilities needed to meet the demand created by the existing residents of the county as well as the future demand for park lands and recreation components that will be generated by new growth and development.

Table 14: Existing and Future Demand (Parks)

Component Type	LOS per Housing Unit*	Existing Demand (2017)*	New Growth Demand (2017-40)**
Total Park Acres	0.021739	244.83	233.02
Baseball/Softball Fields	0.000435	4.90	4.67
Basketball Courts (outdoor)	0.000272	3.06	2.92
<i>Multi-Purpose Fields</i>	0.000355	4.00	3.81
Picnic Pavilions	0.000435	4.90	4.67
Playgrounds	0.000435	4.90	4.67
Swimming Pools	0.000109	1.23	1.17
Tennis Courts	0.000622	7.00	6.67
Buildings:			
<i>Gymnasium (sf)</i>	1.509501	17,000	16,180
<i>Maintenance Sheds (sf)</i>	0.372936	4,200	3,997
<i>Office/Concession (sf)</i>	0.221985	2,500	2,379
<i>Recreation Center (sf)</i>	3.196590	36,000	34,264
<i>Restroom/Concession (#)</i>	0.000266	3.00	2.86
<i>Senior Rec Center (sf)</i>	0.443971	5,000	4,759
<i>Maintenance Yard (acres)</i>	0.000022	0.25	0.24
<i>Walking Trails (miles)</i>	0.000169	1.90	1.81
<i>Parking (spaces)</i>	0.111437	1,255	1,194

* 2017 Housing Units = 11,262
 ** New Units (2017-2040) = 10,719

Notes:

All LOS figures from *Systemwide Recreation Master Plan* except those in italics, which are current LOS figures.
 Multi-Purpose fields serve as football and soccer fields. Basketball courts double as volleyball courts.
 Multi-Purpose Trail System not quantified, pending preparation of a trail system plan.

The current number of housing units (11,202) is multiplied by the LOS standard to determine the existing demand of today’s population. Since existing demand is used in the calculation of a few of

Parks and Recreation Facilities

the LOS standards, some of the existing demand figures on Table 14 are the same as the 'current inventory' figures on Table 11; these facilities are those shown on Table 14 in italics.

The increase in housing units between 2017 and 2040 (10,719 - see Table 2) is multiplied by the same LOS to produce the future demand created by future growth.

Impact Fee Eligibility

New recreation components are eligible for impact fee funding only to the extent that the improvements are needed to specifically serve new growth and development, and only at the Level of Service applicable countywide. Table 15 shows the number of new recreation components that are needed to satisfy needs of the county's future residents, and the extent to which fulfillment of those needs will serve future growth demand.

The table begins with the current inventory of recreation components, and the 'existing demand' for those components to meet the needs of the current (2017) population based on the applicable Level of Service standards (shown on Table 14).

Table 15: Future Park Facility Impact Fee Eligibility

Component Type	Current Inventory	Existing Demand	Excess or (Shortfall)	New Growth Demand	Net Total Needed	Total Needed*	% Impact Fee Eligible
Total Park Acres	202.94	244.83	(41.89)	233.02	274.91	274.91	84.76%
Baseball/Softball Fields	15	4.90	10.10	4.67	(5.43)	-	
Basketball Courts (outdoor)	2	3.06	(1.06)	2.92	3.98	4.00	99.53%
Multi-Purpose Fields	4	4.00	0.00	3.81	3.81	4.00	95.16%
Picnic Pavilions	4	4.90	(0.90)	4.67	5.57	6.00	77.78%
Playgrounds	3	4.90	(1.90)	4.67	6.57	7.00	66.66%
Swimming Pools	1	1.23	(0.23)	1.17	1.39	2.00	58.34%
Tennis Courts	6	7.00	(1.00)	6.67	7.67	8.00	83.33%
Buildings:							
Gymnasium (sf)	17,000	17,000	0	16,180	16,180	16,180	100.00%
Maintenance Sheds (sf)	4,200	4,200	0	3,997	3,997	3,997	100.00%
Office/Concession (sf)	2,500	2,500	0	2,379	2,379	2,379	100.00%
Recreation Center (sf)	36,000	36,000	0	34,264	34,264	34,264	100.00%
Restroom/Concession (#)	3	3	0	2.86	2.86	3.00	95.18%
Senior Rec Center (sf)	5,000	5,000	0	4,759	4,759	4,759	100.00%
Maintenance Yard (acres)	0.25	0	0	0.24	0.24	0.24	100.00%
Walking Trails (miles)	1.9	1.9	0	1.81	1.81	1.81	100.00%
Parking (spaces)	1,255	1,255	0	1,194	1,194	1,194	100.00%

* For recreation components that can only be built in whole numbers: 'Net Total Needed' rounded up to next whole number. For park acres, building floor areas, maintenance yard acres, walking trails, and parking spaces, actual number shown.

The 'Excess or (Shortfall)' column compares the existing demand to the current inventory for each recreation component. If an 'excess' were to exist, that would mean that more components (or portions of components) exist than are needed to meet the demands of the current population, and those 'excesses' would create capacity to meet the recreational needs of future growth. This is the case for one component in Dawson County—baseball/softball fields.

Conversely, a 'shortfall' indicates that there are not enough components (or portions of components) to meet the recreational needs of the current population based on the Level of Service standard (e.g., park acres, basketball courts and playgrounds, etc.).

The column on Table 15, labeled 'New Growth Demand', shows the total demand for recreation components specifically to meet future growth needs (from Table 14), and the 'Net Total Needed' column shows all existing and future needs combined. The current 'shortfall' in park acres, playgrounds and several other components, is added to new growth's facility needs to bring the current population up to the current Level of Service required to be available to all—both current and future residents.

For many components, the 'Total Needed' column is rounded up to whole numbers. This is simply because the County cannot build a portion of a facility; it must build an entire facility. As a result, the '% Impact Fee Eligible' column may reflect a percentage less than 100%.

For example, existing residents suffer a 'shortfall' in playgrounds based on the LOS standard. New growth mathematically demands 4.67 new playgrounds; together, 6.57 playgrounds are needed to bring the current residents and future residents up to the same Level of Service. The County cannot build a portion of a playground; it must build an entire playground for it to be usable. Thus 7 playgrounds need to be added, and the portion of the 7 new playgrounds that is impact fee eligible (4.67) results in the percentage that is impact fee eligible (66.66%); 27.18% of the total goes to satisfy existing demand, and the remainder (6.15%) is excess capacity available to serve new growth beyond the current planning horizon. As such, the excess capacity could be recouped through impact fees at that time, but cannot be charged to new growth between now and 2040.

The outlier is baseball/softball fields. The 15 existing fields in the inventory provides an 'excess capacity' of about ten fields using the LOS standard adopted in the Master Plan. This 'excess capacity' exceeds the 'raw' demand created by new growth (4.67 fields). As a result, no additional fields will be needed in the foreseeable future.

Future Costs

Table 16 is a listing of the future capital project costs to provide the additional recreation components needed to attain or address the applicable Level of Service standards.

Costs are based on cost estimates provided in the *Systemwide Recreation Master Plan* for all recreation components except buildings. For new building construction, the actual amount spent by the County on each such facility in the past was raised to 2012 dollars using the Building Construction Index (BCI) from the actual year of each expenditure. All of these 2012 figures in the 'Net Cost per Unit' column are then increased to the gross cost to account for a contingency (10%) and professional services (7%)—a figure also taken from the Master Plan.

The cost estimates provided in the Master Plan were developed for the 2012 report; these are increased to current (2017) figures using the CPI inflation rate. In similar fashion, the building construction costs calculated in 2012 equivalent dollars are increased to 2017 values using the BCI inflation rate.

The 2017 figures in the 'Total Needed' column are drawn from the 'Total Needed' column in Table 15. These totals, multiplied by the 2017 per unit costs, establish the total cost in current dollars for each recreation component. These 'Total Cost (2017)' figures on the Table are converted to 'New Growth Share' dollars based on the percentage that each improvement is impact fee eligible (also from Table 15).

Amounts in the 'New Growth Share' column are reduced to the extent that certain projects are deferred from impact fee funding, as follows: The number of acres of park land and the number of parking spaces are deferred from impact fee parking to the extent of 50% of the impact fee eligible amount; while the total cost of the Aquatic Center is deferred in favor of alternate funding sources.

The calculation of Net Present Value is explained following the table.

Table 16: Future Costs to Meet Future Demand for Parks and Recreation

Component Type	2012 Cost Estimates		Current (2017) Cost Estimates			Percent Impact Fee Eligible	New Growth Share	2030 Net Present Value***
	Net Cost per Unit*	Gross Cost per Unit**	Per Unit Cost (2017)	Total Needed	Total Cost (2017)			
Park Acres****	\$ 18,000	\$ 21,060	\$ 22,665	274.91	\$ 6,230,786	84.76%	\$ 2,640,719	\$ 2,995,770
Baseball/Softball Fields	\$ 250,000	\$ 292,500	\$ 345,044	-	\$ -		\$ -	\$ -
Basketball Courts (outdoor)	\$ 50,000	\$ 58,500	\$ 69,009	4	\$ 276,036	99.53%	\$ 274,740	\$ 395,649
Multi-Purpose Fields	\$ 150,000	\$ 175,500	\$ 207,026	4	\$ 828,104	95.16%	\$ 788,037	\$ 1,134,839
Picnic Pavilions	\$ 50,000	\$ 58,500	\$ 69,009	6	\$ 414,054	77.78%	\$ 322,032	\$ 463,753
Playgrounds	\$ 75,000	\$ 87,750	\$ 103,513	7	\$ 724,591	66.66%	\$ 483,046	\$ 695,626
Aquatic Center (deferred)	\$ 11,000,000	\$ 12,870,000	\$ 13,774,166	1	\$ 13,774,166	58.34%	\$ -	\$ -
Tennis Courts	\$ 75,000	\$ 87,750	\$ 103,513	8	\$ 828,104	83.33%	\$ 690,022	\$ 993,690
Buildings:								
Gymnasium (sf)	\$ 113	\$ 132	\$ 141	16,180	\$ 2,281,380	100.00%	\$ 2,281,380	\$ 2,550,964
Maintenance Sheds (sf)	\$ 75	\$ 87	\$ 93	3,997	\$ 371,721	100.00%	\$ 371,721	\$ 415,646
Office/Concession (sf)	\$ 147	\$ 172	\$ 184	2,379	\$ 437,736	100.00%	\$ 437,736	\$ 489,462
Recreation Center (sf)	\$ 113	\$ 132	\$ 141	34,264	\$ 4,831,224	100.00%	\$ 4,831,224	\$ 5,402,116
Restroom/Concession (#)	\$ 200,000	\$ 234,000	\$ 250,439	3	\$ 751,317	95.18%	\$ 715,092	\$ 799,593
Senior Rec Center	\$ 186	\$ 218	\$ 233	4,759	\$ 1,108,847	100.00%	\$ 358,847	\$ 401,251
Maintenance Yard (acres)	\$ 18,000	\$ 21,060	\$ 22,665	0.24	\$ 5,393	100.00%	\$ 5,393	\$ 6,118
Walking Trails (miles)	\$ 158,400	\$ 185,328	\$ 218,620	1.81	\$ 395,375	100.00%	\$ 395,375	\$ 569,373
Parking (spaces)****	\$ 1,600	\$ 1,872	\$ 2,208	1,194	\$ 2,636,352	100.00%	\$ 1,318,176	\$ 1,898,284
				Total	\$ 35,895,186		\$ 15,913,540	\$ 19,212,136

* Cost figures drawn from *Systemwide Recreation Master Plan* (2012 estimates) for all component types except buildings. Per square foot costs for buildings derived from actual costs from the Fixed Assets listing, raised to 2012 equivalent costs.

** Includes contingency at 10% and planning/architectural/engineering/legal services at 7%.

*** Actual construction dates will vary. NPV based on CPI, CCI or BCI as appropriate, in an average construction year of 2030. New Growth Share for the Senior Rec Center reflects a reduction for a \$750,000 grant.

**** Cost per park or maintenance yard acre includes land acquisition and site preparation. Impact fee funding for park land acquisition and new parking spaces partially deferred at 50%.

Note: All cost figures shown rounded to nearest whole dollar.

The Net Present Value of new growth’s share of the cost for each component is calculated as follows:

Since the annual ‘pace’ of component construction over the 2017-2040 period is not known, an ‘average’ year of 2030 is used for Net Present Value calculations—some improvements will occur earlier for less money, and some later at greater cost. All will average out.

To calculate the Net Present Value (NPV) of the impact fee eligible cost estimate for the construction of the recreation components, the NPVs are calculated by increasing the current (2017) estimated costs using Engineering News Record’s (ENR) 10-year average building cost inflation (BCI) rate for buildings (such as gymnasiums) and the 10-year average CPI rate for all other projects. All project costs are then reduced to current NPV dollars using the Net Discount Rate.

Fire Protection

■ Introduction

Fire protection services are provided to the entire county through the Dawson County Emergency Services Department. The capital value of the department's services is based upon fire stations, administrative office space, and apparatus having a life of 10 years or more.

The Emergency Services department provides service throughout Dawson County, including the City of Dawsonville, which overall totals 211 square miles of coverage area and 50 miles of shoreline on Lake Sydney Lanier. Services are provided through three operating divisions: Fire/Rescue, the Emergency Management Agency, and Emergency Medical Services. Much of the data in this chapter is drawn from the *Fire Services Assessment* prepared by the Georgia Mountains Regional Commission published in November, 2016. As a convention, the term 'fire protection services' is used in this chapter to apply to all fire and EMS services provided by the Emergency Services Department.



■ Service Area

Fire protection operates as a coordinated system, with each station backing up the other stations in the system. The backing up of another station is not a rare event; it is the essence of good fire protection planning. All stations do not serve the same types of land uses, nor do they all have the same apparatus. It is the strategic placement of personnel and equipment that is the backbone of good fire protection. Any new station would relieve some of the demand on the other stations. Since the stations would continue to operate as 'backups' to the other stations, everyone in the county would benefit by the construction of the new station since it would reduce the 'backup' times the station nearest to them would be less available. For these reasons the entire county is considered a single service area for the provision of fire protection and EMS services because all residents and employees within the county have equal access to the benefits of the program.

■ Level of Service

Current Inventory

Fire protection and emergency medical services are provided currently by 8 stations with a combined square footage of 26,016, comprising 25 bays and utilizing a total of 29 heavy vehicles. In addition, the department maintains a facility, which includes a burn building,

Fire Protection

for training. Table 17 presents the 2017 inventory of facilities and impact fee eligible apparatus in the county.

Table 17: Current Capital Improvements

Stations			Vehicles*							
Facility	Floor Area (Sq Ft)	Bays	Engine	Tender	Tanker	Brush	Battalion	Medic	Squad	Total
Station 1 - Memory Lane	7,632	3	1	1		1	1	1		5
Station 2 - Liberty Drive	3,900	4	1	1				1	1	4
Station 3 - Harmony Church Rd	2,784	3	1	1				1		3
Station 4 - Emma Terrace	2,100	3	1	1						2
Station 5 - Kelly Bridge Road	1,800	3	1	1	1					3
Station 6 - Hubbard Road	3,800	4	1	1		1		1	1	5
Station 7 - Dawson Forest Road	2,000	3	2	1				1	1	5
Station 8 - Monument Road	2,000	2	1	1						2
Total Existing System**	26,016	25	9	8	1	2	1	5	3	29

* Vehicles having a service life of 10 years or more.

** In addition to the stations, the department operates a fire training facility, which includes a burn building.

The current capital improvements from Table 17 are translated into the current Level of Service (LOS) for fire protection and emergency medical services in Dawson County on Table 18.

Table 18: Level of Service Calculations - 2017

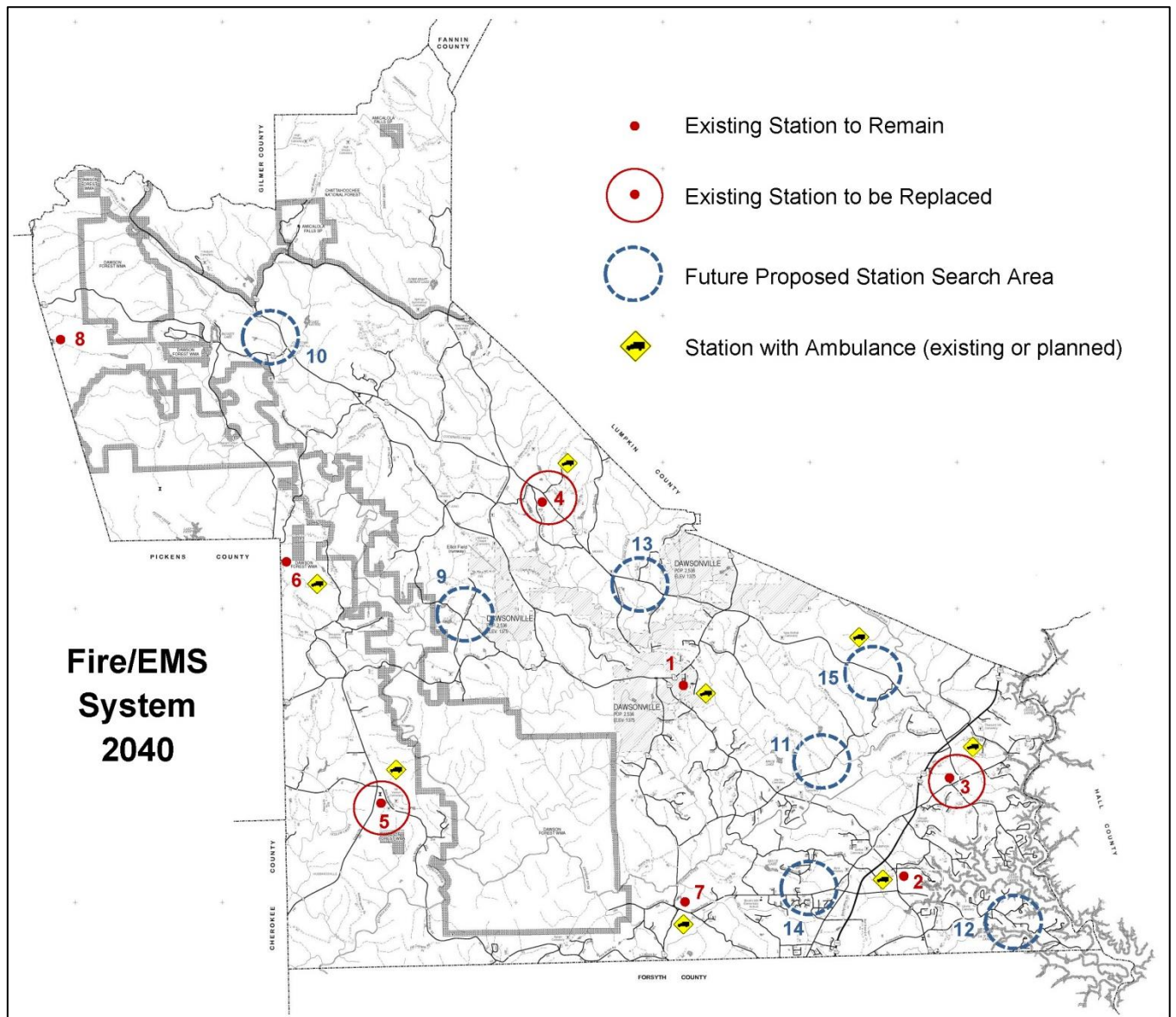
Facility	Current Service Population	Level of Service
Total Existing Floor Area	2017 Day-Night Population	Square Feet per 2017 Day-Night Population
26,016	34,807	0.747436
Total Existing Station Bays	2017 Day-Night Population	Bays per 2017 Day-Night Population
25	34,807	0.000718
Total Existing Vehicles	2017 Day-Night Population	Vehicles per 2017 Day-Night Population
29	34,807	0.000833

The current LOS is measured in terms of the number of vehicles (engines, tankers, medic units, etc.), and the number of square feet and vehicle bays in the fire stations, per day-night population in the service area. Day-night population is used as a measure in that fire protection services are available on a 24-hour basis, provided continuously to both residences and businesses throughout the county.

Future System

In order to adequately serve future growth and development in the county to 2040, a number of stations will need to be built and new vehicles purchased. Overall, future plans call for the replacement (and enlargement) of three aging and obsolete stations and the construction of ultimately seven new stations (four by 2040) strategically located throughout the county. Importantly, the current Fire/EMS system of facilities has capacity available to accommodate a portion of future growth, which reduces the overall need for new facilities.

The map below conceptualizes the future planned Fire/EMS system as currently envisioned. It is important to bear in mind that future growth patterns could produce changes in the location of some stations or the order in which construction would need to occur. Three stations (11, 13 and 14) will not be built before 2040, but land will be acquired for them before 2040.



Fire Protection

A key factor in determining future station locations is consideration of achieving ISO standards with regard to response times and road miles to be travelled within each fire service district. As the county grows, population concentrations will increase in high-growth areas, new commercial buildings and multi-family complexes will be built, and inevitably traffic congestion will mount on major roads. As a result, 'densification' of fire service districts in the growing areas of the county—primarily the GA 400/Lake Area and the area extending from there to Dawsonville and beyond (as shown on the County's Comprehensive Plan map)—will be needed to maintain and possibly increase service and decrease response times. This would have the added benefit of potentially reducing fire insurance premiums as a result.

Future System Improvements

The future system to be achieved by 2040, as currently envisioned, is summarized on the table below. The table excludes the construction of Stations 11, 13 and 14, and the acquisition of vehicles for those stations, which will be deferred until after 2040.

Table 19: Future Fire/EMS System - 2040

Stations			New Bays Added**	Vehicles Added*				Year of Addition
Facility	Existing Bays	Existing Vehicles		Engine	Tender	Medic	Ladder	
Station 1 - Memory Lane	3	5					1	2020
Station 2 - Liberty Drive	4	4					1	2023
Replace Station 3 - Harmony Church Rd	3	3	1	1				2023
Replace Station 4 - Emma Terrace	3	2	1	1		1		2022
Replace Station 5 - Kelly Bridge Road	3	3	1			1		2020
Station 6 - Hubbard Road	4	5						
Station 7 - Dawson Forest Road	3	5						
Station 8 - Monument Road	2	2						
New Stations:								
Station 9 - Sweetwater Juno Road			3	2	1			2019
Station 10 - SR 183 Area			2	1	1			2021
Station 11 - Etowah River Road Area			0	0	0			2025
Station 12 - War Hill Park Rd Area			1	1				2028
Station 13 - SR 136 at Shoal Creek Area			0	0	0			2031
Station 14 - Dawson Forest at Red Rider Area			0	0	0			2034
Station 15 - SR 136 at Cothran Road Area			4	2	1	1		2037
Total Future System (2040)***			13	8	3	3	2	

* Excludes vehicles relocated from Stations 3, 4 and 5 when the stations are replaced. Impact fee funding for equipment for Stations 11, 13 and 14 deferred. For all stations, types of vehicles may vary from the "standard complement" depending on the individual needs of each service area.

** Excludes replacement of 3 bays each at existing Stations 3, 4 and 5 when replacement stations built. Impact fee funding for construction of Stations 11, 13 and 14 deferred, except for land acquisition.

*** In addition to the stations, expansion of the training facility and burn building is proposed in 2024.

Note: New station search areas are approximate; specific station locations will reflect growth patterns and land availability, which may also affect the order of construction.

In summary, the future system is planned to include 15 existing and new stations (a net increase of 4 by 2040 and 7 eventually) and an expansion of the fire training center.

In addition, a net increase of 25 vehicles (16 by 2040 and 9 thereafter for a total of 54), including 2 new ladder trucks and an increase of 3 new ambulances are planned. As part of the program, three 3-bay existing but obsolete stations are proposed to be replaced with modern, 4-bay facilities.

Using the figures from Table 19 for both the existing facilities and planned improvements, Table 20 shows the resulting LOS calculations for the system as of 2040.

As can be seen on the table, the LOS standards for the future system are lower than for the current system, which is a result of taking advantage of the residual capacity in the existing system to provide service to at least a portion of anticipated growth. Applying the current LOS factors from Table 18 to all future growth, for instance, would have projected a future need for as many as 12 or 14 new stations, instead of 7, and as many as 56 more vehicles, not 25.

Table 20: Future Level of Service Calculations - 2040

Facility	Future Service Population	Level of Service
Total Future Floor Area	2040 Day-Night Population	Square Feet per 2040 Day-Night Population
34,090	67,560	0.504589
Total Future Station Bays	2040 Day-Night Population	Bays per 2040 Day-Night Population
38	67,560	0.000562
Total Future Vehicles	2040 Day-Night Population	Vehicles per 2017 Day-Night Population
45	67,560	0.000666



■ Future Costs

There are three categories of future costs: those for facilities (new station construction and the training center), those for new vehicle purchases, and those for the Fire Hydrant Extension program.

Table 21: Timing of Future Fire/EMS Facility Projects

Year	Day-Night Pop Increase over 2017	Incremental Demand		
		Station Number	New Bays Added *	New Vehicles
2017	34,807			
2018	1,224			
2019	2,462	9	3	3
2020	3,723	5**	1	2
2021	5,003	10	2	2
2022	6,308	4	1	2
2023	7,633	3***	1	2
2024	8,982			
2025	10,355	11****	0	0
2026	11,748			
2027	13,162			
2028	14,593	12	1	1
2029	16,043			
2030	17,505			
2031	18,983	13****	0	0
2032	20,479			
2033	21,983			
2034	23,497	14****	0	0
2035	25,020			
2036	26,556			
2037	28,096	15	4	4
2038	29,641			
2039	31,198			
2040	32,753			
Totals	32,753		13	16

* Excludes replacement of 3 bays each at existing Stations 3, 4 and 5 when replacement stations built.

** Includes one ladder truck for Station 1.

*** Includes one ladder truck for Station 2.

**** Impact fee funding for station construction (except land acquisition) and equipment deferred.

As a prologue to the **facility and system improvements**, Table 21 shows the anticipated timing of the projects and expenditures. Timing for near-term system improvements has been determined using two factors: first, immediate needs identified from the County’s Capital Improvements Program (CIP) and to meet growing service demands in areas experiencing much of the recent increases in development; and second, to extend service to the far northern portion of the county not currently well-served.

Once the immediate needs of the system are addressed, additional project are related to future increases in the day-night population—correlating increases in service to the growing demands of future growth and development—as well as increasing service into pockets of areas less served than others.

As to the **Fire Hydrant Extension Program**, the schedule of hydrant installations is closely coordinated with the extension of and upgrades to major water lines in high-growth areas by the Etowah Water and Sewer Authority.

The three categories—facility costs, vehicle costs, and the fire hydrant extension program—are discussed separately below.

Facility Costs

The estimated costs of the facility projects scheduled on Table 21 for the stations are shown on Table 22. Costs shown in the 'Current (2017) Dollars' columns are based on the current gross per-bay cost of a standard three-bay fire station (\$460,000 in total impact fee eligible capital cost per bay), drawn from the *Fire Services Assessment* report prepared by the Georgia Mountains Regional Commission (GMRC) in 2016. Since the 'per bay' costs are determined by dividing the total cost of construction of a standard station by the number of resulting bays, the gross cost per bay therefore includes a portion of the cost of administrative and other space in a standard station.

For Stations 11, 13 and 14, only land acquisition costs are considered for impact fee funding in the current program. These costs (\$125,000 per station in current dollars) are also drawn from the *Fire Services Assessment* report prepared by the GMRC in 2016. Four stations listed on the table (4, 5, 9 and 10) are needed to meet LOS standards but will be funded with SPLOST revenue instead of impact fees.

The 2017 total dollar amounts for impact fee funded projects are then converted to Net Present Value using ENR's 10-year average Building Construction Index (BCI) for the appropriate years. (NPV calculations are discussed fully in the Adjustments and Credits chapter).

The 'percent impact fee eligible' figure on Table 22 for Station 3 reflects the 3-bays that are not impact fee eligible because they will be replaced by the new 4-bay stations. Stations 11, 13 and 14 are 100% impact fee eligible and, thus, so are the land acquisition costs.

Table 22: Impact Fee Costs - Facilities

Facility	Current (2017) Dollars			Future Cost		Impact Fee Eligible	
	Replaced Bays	New Bays Added*	Total Cost	Year	Net Present Value**	Percent Eligible	Eligible Cost
Station 9		\$ 1,380,000	\$ 1,380,000	2019	n/a ***	n/a ***	\$ -
New Station 5	\$ 1,380,000	\$ 460,000	\$ 1,840,000	2020	n/a ***	n/a ***	\$ -
Station 10		\$ 920,000	\$ 920,000	2021	n/a ***	n/a ***	\$ -
New Station 4	\$ 1,380,000	\$ 460,000	\$ 1,840,000	2022	n/a ***	n/a ***	\$ -
New Station 3	\$ 1,380,000	\$ 460,000	\$ 1,840,000	2023	\$ 1,937,339	25%	\$ 484,335
Station 11****		\$ -	\$ 125,000	2025	\$ 133,894	100%	\$ 133,894
Station 12		\$ 460,000	\$ 460,000	2028	\$ 505,594	100%	\$ 505,594
Station 13****		\$ -	\$ 125,000	2031	\$ 140,977	100%	\$ 140,977
Station 14****		\$ -	\$ 125,000	2034	\$ 144,658	100%	\$ 144,658
Station 15		\$ 1,840,000	\$ 1,840,000	2037	\$ 2,184,961	100%	\$ 2,184,961
Training Center		\$ 207,919	\$ 207,919	2024	\$ 220,807	100%	\$ 220,807
	\$ 4,140,000	\$ 6,187,919	\$ 10,702,919		\$ 5,268,229		\$ 3,815,226

* Based on an average cost per bay for a three-bay station of \$460,000.

** Net Present Value = 2017 cost estimate per fire station bay inflated to target year using the ENR Building Cost Index (BCI), reduced to NPV using Discount Rate.

*** Funded with SPLOST revenue.

**** Impact fee funding for station construction and equipment deferred; land acquisition estimated at \$125,000 in current (2017) dollars.

Fire Protection

Vehicle Costs

Vehicle costs are calculated in much the same way as the facility costs. The 2017 costs for a new engine, tender and medic vehicle (ambulance) are drawn from the *Fire Services Assessment* report. The current cost for a ladder truck is drawn from recent purchase history of other jurisdictions.

The vehicles to be purchased for Station 9, and one ladder truck, are scheduled to be purchased with SPLOST revenue. All other vehicles are 100% impact fee eligible in that they add new capacity to serve future growth and development.

The Net Present Value calculation, in this case, is based on the 10-year average CPI (as discussed in the Adjustments and Credits chapter).

Table 23: Impact Fee Costs - Vehicles

Facility	Engine	Tender	Medic	Ladder	Total Cost (2017)	Year	Net Present Value*
Station 9	n/a **	n/a **	\$ -	\$ -	\$ -	2019	\$ -
New Station 5	\$ -	\$ -	\$ 250,000	\$ -	\$ 250,000	2020	\$ 257,385
Station 1	\$ -	\$ -	\$ -	n/a **	\$ -	2020	\$ -
Station 10	\$ 400,000	\$ 300,000	\$ -	\$ -	\$ 700,000	2021	\$ 727,705
New Station 4	\$ 400,000	\$ -	\$ 250,000	\$ -	\$ 650,000	2022	\$ 682,315
New Station 3	\$ 400,000	\$ -	\$ -	\$ -	\$ 400,000	2023	\$ 423,981
Station 2	\$ -	\$ -	\$ -	\$ 1,100,000	\$ 1,100,000	2023	\$ 1,165,947
Station 11***	\$ -	\$ -	\$ -	\$ -	\$ -	2025	\$ -
Station 12	\$ 400,000	\$ -	\$ -	\$ -	\$ 400,000	2028	\$ 445,059
Station 13***	\$ -	\$ -	\$ -	\$ -	\$ -	2031	\$ -
Station 14***	\$ -	\$ -	\$ -	\$ -	\$ -	2034	\$ -
Station 15	\$ 800,000	\$ 300,000	\$ 250,000	\$ -	\$ 1,350,000	2037	\$ 1,639,157
					\$ 4,850,000		\$ 5,341,548

* Net Present Value = 2017 cost estimate for vehicles inflated to target year using the Consumer Price Index (CPI), reduced to NPV using Discount Rate.

** Equipment funded with SPLOST revenue.

*** Impact fee funding for vehicle costs for Stations 11, 13 and 14 deferred.



Fire Hydrant Extensions

The Etowah Water and Sewer Authority is in the process of executing a program of extending new major water mains and replacing some undersized distribution water mains in various parts of the county. All of these mains will provide increased pressures and flows that will now support fire hydrants. The County has undertaken a cooperative program of funding fire hydrants to be placed as these new mains are installed, thus bringing a considerable increase in firefighting capability to these currently unserved areas. Since these extensions will increase capacity for all properties in the water service areas, thus promoting new growth and development, the expenditures are 100% impact fee eligible.

The 15-year program is detailed on Table 24 as to the number of hydrants to be installed on an annual basis in coordination with the Authority’s scheduled extension and upgrade efforts.

Table 24: Fire Hydrant Extension Program

Year	Number of Hydrants	Cost (2017 \$)	Cost (NPV)
2017	3	\$ 11,895	\$ 11,895
2018	14	\$ 55,510	\$ 57,089
2019	11	\$ 43,615	\$ 46,132
2020	12	\$ 47,580	\$ 51,758
2021	11	\$ 43,615	\$ 48,794
2022	12	\$ 47,580	\$ 54,745
2023	18	\$ 71,370	\$ 84,454
2024	37	\$ 146,705	\$ 178,538
2025	22	\$ 87,230	\$ 109,178
2026	8	\$ 31,720	\$ 40,831
2027	10	\$ 39,650	\$ 52,490
2028		\$ -	\$ -
2029	18	\$ 71,370	\$ 99,936
2030		\$ -	\$ -
2031	12	\$ 47,580	\$ 70,469
2032	21	\$ 83,265	\$ 126,829
Total	209	\$ 828,685	\$ 1,033,137

The 2017 cost shown on the table is the average cost to add an elbow connection and a standard hydrant to a main as it is installed. The Net Present Value is the current cost inflated to each future year using the ENR’s Construction Cost Index (CCI), reduced by the discount rate to 2017 equivalent dollars.

Average Hydrant Cost = \$ 3,965.00

Law Enforcement

■ Introduction

The Dawson County Sheriff's Office provides law enforcement services throughout Dawson County, which includes operation of the County detention facilities. The detention facilities and all law enforcement activities are administered from the Law Enforcement Center in Dawsonville; a precinct station is located in a different location than the Law Enforcement Center, but contains no detention facilities.

The Sheriff's Office provides 24-hour countywide land and marine patrol; serves arrest warrants and civil papers issued by the court; detains suspects and those sentenced to the county detention center; transports inmates locally and throughout the state; provides security to the courts and the governmental center, and during county government meetings; investigates crimes; and operates the 911 emergency communications center.

■ Service Area

The entire county is considered a single service area for the provision of the law enforcement services because all residents and employees in the county have equal access to the benefits of the program.



■ Level of Service

For impact fee purposes, this chapter focuses on the Law Enforcement Center and the operations contained within it. The current year (2017) Level of Service is based on the inventory of the number of inmate beds in the facility and the overall floor area of the Law Enforcement Center. Statistics for the facility are shown in Table 25.

Impact fees are based on increases in capacity to serve new growth and development in the county. Thus, utilization of the detention facility to specifically serve county residents and businesses is related directly to persons that have committed a crime in Dawson County punishable under County laws, and that are held in the jail at least overnight. Other detention activities, such as prisoners awaiting transfer to a State or federal facility, or housed under contract, while a legitimate law enforcement activity, are not occasioned by service directly provided to serve county residents and businesses.

Current utilization limited to Dawson County growth demands only is estimated at 50% of the beds on an average daily basis. This percentage is applied to the Center’s existing 192 beds and shown on Table 25.

Table 25: Inventory of Sheriff's Facilities

Facility	Square Feet	Beds*
County Sheriff's Headquarters and Jail	68,480	96

* Of the Detention Center's 192 beds, utilization by persons arrested, convicted or serving time for crimes committed in Dawson County is estimated at 50% on an average daily basis.

As noted, the Level of Service for law enforcement services in Dawson County is measured in terms of beds per day-night population. Day-night population is used as a measure in that the Sheriff’s Office provides its services on a 24-hour basis.

Table 26: Level of Service Calculation

Applicable Number of Beds	Current Day/Night Population	Beds per Day-Night Population
96	34,807	0.0028

The current LOS, shown in Table 26 is 0.0028 beds per day-night population, based on the Dawson County utilization of all beds available as discussed above.

■ **Forecasts for Service Area**

Future Demand

Table 27 presents the calculations carried out in order to determine the future service demand for detention facility beds in Dawson County. In this Table the current Level of Service from Table 26 is applied to future growth. The 'Day-Night Population Increase' figure is taken from the Day-Night Population table in the Future Growth appendix attached to this Report. The additional number of forecasted day-night population to the year 2040 is multiplied by the Level of Service to produce the future demand figure.

As discussed above, Dawson County utilization specifically for its residents and businesses leaves 96 beds available for non-county driven purposes. In effect, these beds represent a resource for increases in future county-driven utilization as the number of county residents and employees grows, along with the inevitable increase in crimes perpetrated within the county. While new growth will

Law Enforcement

generate a total need for 90 beds to serve the needs of growth and development in Dawson County, the 'residual' 96 beds currently available for non-county use today are available to meet county-driven needs in the future.

As can be seen on Table 27, only 90 beds are needed to meet future demand created by new growth and development. Since this is fewer than the beds available, no additional beds are specifically needed for Dawson County inmates, and no expansion of the jail for county-specific needs is proposed.



Table 27: Future Demand Calculation

Beds per Day-Night Population	Day-Night Pop Increase (2017-40)	New Beds Needed
0.0028	32,753	90
Less: Residual capacity in existing facility		(96)
Net new beds needed		-6

As noted above, an expansion of the Law Enforcement Center (or a stand-alone facility) would be justified and probable to cover all functions of the Sheriff's Office, including beds available for non-county specific incarcerations. However, whatever final form and size a new project might take, none of the cost of a new, larger facility could be funded with impact fees.

Road Improvements

■ Introduction

The information in this chapter is derived from road project information reflecting currently on-going and proposed road projects.

■ Service Area

The service area for these road projects is defined as the entire county, in that these road projects are recognized as providing primary access to all properties within the county as part of the county-wide network of principal streets and thoroughfares. All new development within the county will be served by this countywide network, such that improvements to any part of this network to relieve congestion or to otherwise improve capacity will positively affect capacity and reduce congestion throughout the county.

■ Level of Service Standards

Level of Service (LOS) for roadways and intersections is measured on a 'letter grade' system that rates a road within a range of service from A to F. Level of Service A is the best rating, representing unencumbered travel; Level of Service F is the worst rating, representing heavy congestion and long delays. This system is a means of relating the connection between speed and travel time, freedom to maneuver, traffic interruption, comfort, convenience and safety to the capacity that exists in a roadway. This refers to both a quantitative measure expressed as a service flow rate and an assigned qualitative measure describing parameters. *The Highway Capacity Manual, Special Report 209*, Transportation Research Board (1985), defines Level of Service A through F as having the following characteristics:

1. LOS A: free flow, excellent level of freedom and comfort;
2. LOS B: stable flow, decline in freedom to maneuver, desired speed is relatively unaffected;
3. LOS C: stable flow, but marks the beginning of users becoming affected by others, selection of speed and maneuvering becomes difficult, comfort declines at this level;
4. LOS D: high density, but stable flow, speed and freedom to maneuver are severely restricted, poor level of comfort, small increases in traffic flow will cause operational problems;
5. LOS E: at or near capacity level, speeds reduced to low but uniform level, maneuvering is extremely difficult, comfort level poor, frustration high, level unstable; and
6. LOS F: forced/breakdown of flow. The amount of traffic approaching a point exceeds the amount that can transverse the point. Queues form, stop & go. Arrival flow exceeds discharge flow.

The traffic volume that produces different Level of Service grades differs according to road type, size, signalization, topography, condition and access.

■ Level of Service

The County has set its Level of Service for road improvements at LOS 'D', a level to which it will strive ultimately. However, interim road improvement projects that do not result in a LOS of 'D' will still provide traffic relief to current and future traffic alike, and are thus eligible for impact fee funding.

Road Improvements

All road improvement projects benefit existing and future traffic proportionally to the extent that relief from over-capacity conditions eases traffic problems for everyone. For example, since new growth by 2040 will represent a certain portion of all 2040 traffic, new growth would be responsible for that portions' cost of the road improvements.

It is noted that the cost-impact of non-Dawson County generated traffic on the roads traversing the county (cross commutes) is off-set by state and federal assistance. The net cost of the road projects that accrues to Dawson County reasonably represents (i.e., is 'roughly proportional' to) the impact on the roads by Dawson County residents and businesses.

The basis for the road impact fee would therefore be Dawson County's cost for the improvements divided by all traffic in 2040 (existing today plus new growth)—i.e., the cost per trip—times the traffic generated by new growth alone. For an individual land use, the cost per trip (above) would be applied to the number of trips that will be generated by the new development when a building permit is issued, assuring that new growth would only pay its 'fair share' of the road improvements that serve it.

■ Forecasts for Service Area

Projects that provide road capacity that will serve new growth have been identified by the County and are shown on Table 28. This is not a list of all County road projects. These projects were selected for inclusion in the County's impact fee program because the specific improvements proposed will increase traffic capacity and reduce congestion to some extent, whether through road widening, improved intersection operations or upgraded signalization.

Table 28: Road Projects and Estimated Costs

Project Description	Total County Cost*	Year of Completion	Net Present Value**
Kelly Bridge Road	\$ 2,200,000.00	2018	\$ 2,262,592.57
Lumpkin Campground Road	\$ 4,000,000.00	2019	\$ 4,230,847.21
Red Rider Road	\$ 1,200,000.00	2019	\$ 1,269,254.16
Sweetwater Juno Road	\$ 1,300,000.00	2019	\$ 1,375,025.34
Couch Road	\$ 3,500,000.00	2020	\$ 3,807,317.28
Grant Road East	\$ 800,000.00	2020	\$ 870,243.95
Shoal Creek - Shoal Creek Road Bridge	\$ 2,500,000.00	2020	\$ 2,719,512.35
Amicalola River - Goshen Church Bridge	\$ 1,500,000.00	2021	\$ 1,678,131.39
Whitmire Drive West	\$ 800,000.00	2021	\$ 895,003.41
Total	\$ 17,000,000.00		\$ 18,212,924.26

* Total cost of project less grants or other non-County assistance.

** Net Present Value = current cost inflated to target year using the ENR Construction Cost Index, (CCI) reduced to NPV using the Discount Rate.

The cost figures shown in the 'Total County Cost' column of Table 28 are the current project cost figures. These figures are then calculated in Net Present Value (as discussed in the Cost Adjustments and Credits chapter) and shown in the last column, based on the year of project expenditure.

■ Eligible Costs

As discussed thoroughly in the *Trip Generation* section of the Appendix, new residential and nonresidential growth and development will represent 44.68% of the traffic on Dawson County's road network in 2040. To that extent, new growth's fair share of the road project costs that are attributed to new growth are shown on the following table.

Table 29: Eligible Cost Calculations

Project*	Net Present Value	% Impact Fee Eligible*	New Growth Cost (NPV)
Kelly Bridge Road	\$ 2,262,592.57	44.67786%	\$ 1,010,877.84
Lumpkin Campground Road	\$ 4,230,847.21	44.67786%	\$ 1,890,251.81
Red Rider Road	\$ 1,269,254.16	44.67786%	\$ 567,075.54
Sweetwater Juno Road	\$ 1,375,025.34	44.67786%	\$ 614,331.84
Couch Road	\$ 3,807,317.28	44.67786%	\$ 1,701,027.72
Grant Road East	\$ 870,243.95	44.67786%	\$ 388,806.34
Shoal Creek - Shoal Creek Road Bridge	\$ 2,719,512.35	44.67786%	\$ 1,215,019.80
Amicalola River - Goshen Church Bridge	\$ 1,678,131.39	44.67786%	\$ 749,753.12
Whitmire Drive West	\$ 895,003.41	44.67786%	\$ 399,868.33
Total	\$ 18,212,924.26		\$ 8,137,144.01

* See the *Trip Generation* section in the Appendix. Actual % of trips: 44.6778557%

Exemption Policy

The Dawson County Board of Commissioners adopted its initial statement on Exemptions in its Impact Fee Ordinance. The following updates that statement as part of the Capital Improvements Program:

Dawson County recognizes that certain office, retail trade, lodging, service and industrial development projects provide extraordinary benefit in support of the economic advancement of the county and its citizens over and above the access to jobs, goods and services that such uses offer in general.

To encourage such development projects, the board of commissioners may consider granting a reduction in the impact fee for such a development project upon the determination and relative to the extent that the business or project represents extraordinary economic development and employment growth of public benefit to Dawson County in accordance with adopted exemption criteria.

It is also recognized that the cost of system improvements otherwise foregone through exemption of any impact fee must be funded through revenue sources other than impact fees.

Community Work Program

In 2018, a new and complete Community Work Program within the Comprehensive Plan update will be prepared for all project activities, including the specific impact fee eligible projects below.

5-Year Work Program: Impact Fee Eligible Projects

Project Description	2018	2019	2020	2021	2022	Responsible Party	Cost Estimate	Funding Source	Notes/ Explanation
Library Services									
Purchase collection materials	x	x	x	x	x	Dawson Co. Library	\$195,503	99.5% impact fees; SPLOST	On-going annual purchases
Parks & Recreation									
Acquire park land			x			Parks & Recreation Dept.	\$800,000	84.76% impact fees; SPLOST	140 acres
Senior Rec Center		x	x			Senior Services	\$401,251	100% impact fees	Cost excludes \$750,000 grant
Law Enforcement									
New Jail	x					Sherriff's Office	\$45,715.05	100% impact fees	Wrap-up to previous new jail project identified in the 2006 CIE
Fire Protection									
Purchase fire engine for Station 4					x	Emergency Services	\$400,000	100% impact fees	
Purchase medic vehicle for Station 4					x	Emergency Services	\$250,000	100% impact fees	
Purchase medic vehicle for Station 5			x			Emergency Services	\$250,000	100% impact fees	
Purchase fire engine for Station 10				x		Emergency Services	\$400,000	100% impact fees	
Purchase tender for Station 10				x		Emergency Services	\$300,000	100% impact fees	
Install fire hydrants	x	x	x	x	x	Etowah Water and	\$237,900	100% impact fees	Annual installation in accordance

Community Work Program

Project Description	2018	2019	2020	2021	2022	Responsible Party	Cost Estimate	Funding Source	Notes/ Explanation
						Sewer Authority			with the Authority's schedule
Road Improvements									
Kelly Bridge Road	x					Public Works	\$2,200,000	44.68% impact fees; SPLOST	
Lumpkin Campground Road		x				Public Works	\$4,000,000	44.68% impact fees; SPLOST	
Red Rider Road		x				Public Works	\$1,200,000	44.68% impact fees; SPLOST	
Sweetwater Juno Road		x				Public Works	\$1,300,000	44.68% impact fees; SPLOST	
Couch Road			x			Public Works	\$3,500,000	44.68% impact fees; SPLOST	
Grant Road East			x			Public Works	\$800,000	44.68% impact fees; SPLOST	
Shoal Creek – Shoal Creek Road Bridge			x			Public Works	\$2,500,000	44.68% impact fees; SPLOST	
Amicalola River – Goshen Church Bridge				x		Public Works	\$1,500,000	44.68% impact fees; SPLOST	
Whitmire Drive West				x		Public Works	\$800,000	44.68% impact fees; SPLOST	

Appendix: Glossary

The following terms are used in this Report. Where possible, the definitions are taken directly from the Georgia Development Impact Fee Act.

Capital improvement: an improvement with a useful life of 10 years or more, by new construction or other action, which increases the service capacity of a public facility.

Capital improvements element: a component of a comprehensive plan adopted pursuant to Chapter 70 of the Development Impact Fee Act which sets out projected needs for system improvements during a planning horizon established in the comprehensive plan, a schedule of capital improvements that will meet the anticipated need for system improvements, and a description of anticipated funding sources for each required improvement.

Development: any construction or expansion of a building, structure, or use, any change in use of a building or structure, or any change in the use of land, any of which creates additional demand and need for public facilities.

Development impact fee: a payment of money imposed upon development as a condition of development approval to pay for a proportionate share of the cost of system improvements needed to serve new growth and development.

Eligible facilities: capital improvements in one of the following categories:

- (A) Water supply production, treatment, and distribution facilities;
- (B) Waste-water collection, treatment, and disposal facilities;
- (C) Roads, streets, and bridges, including rights of way, traffic signals, landscaping, and any local components of state or federal highways;
- (D) Storm-water collection, retention, detention, treatment, and disposal facilities, flood control facilities, and bank and shore protection and enhancement improvements;
- (E) Parks, open space, and recreation areas and related facilities;
- (F) Public safety facilities, including police, fire, emergency medical, and rescue facilities; and
- (G) Libraries and related facilities.

Impact Cost: the proportionate share of capital improvements costs to provide service to new growth, less any applicable credits.

Impact Fee: the impact cost plus surcharges for program administration and recoupment of the cost to prepare the Capital Improvements Element.

Level of service: a measure of the relationship between service capacity and service demand for public facilities in terms of demand to capacity ratios or the comfort and convenience of use or service of public facilities or both.

Project improvements: site improvements and facilities that are planned and designed to provide service for a particular development project and that are necessary for the use and convenience of the occupants or users of the project and are not system improvements. The character of the improvement shall control a determination of whether an improvement is a project improvement or system improvement and the physical location of the improvement on site or off site shall not be considered determinative of whether an improvement is a project improvement or a system improvement. If an improvement or facility provides or will provide more than incidental service or facilities

capacity to persons other than users or occupants of a particular project, the improvement or facility is a system improvement and shall not be considered a project improvement. No improvement or facility included in a plan for public facilities approved by the governing body of the municipality or county shall be considered a project improvement.

Proportionate share: means that portion of the cost of system improvements which is reasonably related to the service demands and needs of the project.

Rational Nexus: the clear and fair relationship between fees charged and services provided.

Service area: a geographic area defined by a municipality, county, or intergovernmental agreement in which a defined set of public facilities provide service to development within the area. Service areas in Dawson may be designated on the basis of sound planning or engineering principles or both.

System improvement costs: costs incurred to provide additional public facilities capacity needed to serve new growth and development for planning, design and engineering related thereto, including the cost of constructing or reconstructing system improvements or facility expansions, including but not limited to the construction contract price, surveying and engineering fees, related land acquisition costs (including land purchases, court awards and costs, attorneys' fees, and expert witness fees), and expenses incurred for qualified staff or any qualified engineer, planner, architect, landscape architect, or financial consultant for preparing or updating the capital improvement element, and administrative costs, provided that such administrative costs shall not exceed 3 percent of the total amount of the costs. Projected interest charges and other finance costs may be included if the impact fees are to be used for the payment of principal and interest on bonds, notes, or other financial obligations issued by or on behalf of the municipality or county to finance the capital improvements element but such costs do not include routine and periodic maintenance expenditures, personnel training, and other operating costs.

System improvements: capital improvements that are public facilities and are designed to provide service to the community at large, in contrast to "project improvements."

Appendix: Future Growth

In order to accurately calculate the demand for future services for Dawson County, new growth and development must be quantified in future projections. These projections include forecasts for population, households, housing units, and employment to the year 2040. These projections provide the base-line conditions from which the current (2017) Level of Service calculations are produced.

■ Types of Projections

Accurate projections of population, households, housing units, and employment are important in that:

- Population data and forecasts are used to establish current and future demand for services where the Level of Service (LOS) standards are per capita based.
- Household data and forecasts are used to forecast future growth in the number of housing units.
- Housing unit data and forecasts relate to certain service demands that are household based, such as parks, and are used to calculate impact costs when the cost is assessed when a building permit is issued. The number of households—defined as *occupied* housing units—is always smaller than the supply of available housing units. Over time, however, each housing unit is expected to become occupied by a household, even though the unit may become vacant during future re-sales or turnovers.
- Employment forecasts are refined to reflect 'value added' employment figures. This reflects an exclusion of jobs considered to be transitory or non-site specific in nature, and thus, not requiring building permits to operate (i.e., are not assessed impact fees).

'Value added' employment data is combined with population data to produce what is known as the 'day-night population.' These figures represent the total number of persons receiving services, both in their homes and in their businesses, to produce an accurate picture of the total number of persons that rely on certain 24-hour services, such as fire protection.

The projections used for each public facility category are specified in each public facility chapter.

■ Population and Housing Unit Forecasts

Population projections reflect the growth that is expected over the next 22 years. Based on the county’s rebound from the Great Recession and anticipated continuing growth in the housing market, the ultimate population forecast for 2040 is estimated at 50,000 people—basically a doubling of the number of people in the county today.

The most recent the population estimate for Dawson County published by the Census Bureau was published for 2016. This figure is used as the ‘starting point’ for the projections.

Between 2016 and the total population figure for 2040, the average annual increase is 0.9416%. This annual increase over each preceding year is applied to each year to calculate the intervening years throughout the forecast period.

The following table presents the forecast for population for each year from 2017 to 2040² and also provides a forecast for housing units over the same period. The figures shown are, in essence, mid-year estimates reflecting Census Bureau practice. In other words, the increase in population between 2017 and 2040 would actually be from July 1, 2017 to July 1, 2040.

Population and Housing Projections

	Total Population	Avg. Household Size	Occupied Housing Units	Occupancy Rate	Total Housing Units
2016	23,604	2.423	9,740	89.4%	10,897
2017	24,517	2.436	10,066	89.4%	11,262
2018	25,453	2.428	10,481	89.4%	11,726
2019	26,412	2.424	10,896	89.4%	12,190
2020	27,394	2.421	11,314	89.4%	12,658
2021	28,396	2.420	11,733	89.4%	13,127
2022	29,418	2.421	12,149	89.4%	13,592
2023	30,459	2.425	12,560	89.4%	14,052
2024	31,519	2.430	12,973	89.4%	14,514
2025	32,595	2.435	13,385	89.4%	14,975
2026	33,687	2.441	13,800	89.4%	15,439
2027	34,794	2.448	14,216	89.4%	15,905
2028	35,915	2.454	14,634	89.4%	16,372
2029	37,048	2.462	15,050	89.4%	16,838
2030	38,193	2.470	15,463	89.4%	17,300
2031	39,348	2.478	15,877	89.4%	17,763
2032	40,512	2.487	16,289	89.4%	18,224
2033	41,684	2.496	16,699	89.4%	18,683
2034	42,863	2.505	17,109	89.4%	19,141
2035	44,047	2.515	17,516	89.4%	19,597
2036	45,235	2.523	17,928	89.4%	20,058
2037	46,425	2.530	18,347	89.4%	20,526
2038	47,617	2.536	18,774	89.4%	21,004
2039	48,809	2.541	19,208	89.4%	21,490
2040	50,000	2.545	19,647	89.4%	21,981
Increase 2017-2040	25,483		9,581		10,719

To estimate the number of housing units each year, the number of occupied housing units is first determined. This is calculated by dividing the population each year by the average household size. For household sizes, estimates published this year by Woods & Poole Economics (a nationally recognized source also accepted by the State) were relied upon.

To find the total number of housing units, vacant units must be added in. This was determined by using an ‘occupancy rate’ based on the proportion of occupied units to vacant units for the last data point available—the American Community Survey published in 2015 by the Census Bureau. Dividing the number of occupied units by the occupancy rate produces the total number of housing units.

² 2016 is shown on the table for consistency with the Census Bureau’s estimate.

■ Employment Forecasts

The table below shows the forecasts for employment growth countywide in Dawson County, from 2017 to 2040. The employment figures for Dawson County are based on forecasts published by Woods & Poole Economics in their latest (2017) *Georgia Profile* for Dawson County. Woods & Poole counts jobs, not just employed people, which captures people holding two or more jobs, self-employed sole proprietors and part-time workers. This gives a more complete picture than Census figures (the number of people with jobs).

In the table below the total employment figures are refined to show what is referred to as 'non-building related' jobs. 'Non-building related' jobs are those that do not normally require issuance of a building permit, and thus would not be assessed an impact fee. Such jobs include any employment that is considered to be transitory in nature, such as those working on construction sites or are strictly land-based such as farming and other agricultural workers.

This is done to better measure the services being provided by the County, which in this report will be measured and, ultimately, assessed based on structures.

Employment Projections

	Total Employment	Non-Building Related*	Government	Private Sector Employment
2016	12,328	1,127	1,202	9,999
2017	12,652	1,144	1,218	10,290
2018	12,974	1,162	1,234	10,578
2019	13,283	1,176	1,250	10,857
2020	13,594	1,192	1,266	11,136
2021	13,903	1,208	1,281	11,414
2022	14,217	1,222	1,298	11,697
2023	14,531	1,237	1,313	11,981
2024	14,850	1,252	1,328	12,270
2025	15,172	1,263	1,342	12,567
2026	15,500	1,275	1,357	12,868
2027	15,832	1,286	1,371	13,175
2028	16,165	1,295	1,385	13,485
2029	16,505	1,305	1,398	13,802
2030	16,845	1,314	1,412	14,119
2031	17,189	1,322	1,425	14,442
2032	17,543	1,330	1,439	14,774
2033	17,895	1,337	1,452	15,106
2034	18,249	1,344	1,464	15,441
2035	18,607	1,350	1,477	15,780
2036	18,974	1,357	1,489	16,128
2037	19,342	1,363	1,501	16,478
2038	19,713	1,370	1,512	16,831
2039	20,095	1,375	1,524	17,196
2040	20,477	1,382	1,535	17,560
Increase 2017-2040	7,825	238	317	7,270

The table also shows the number of workers employed by governmental entities (county, state and federal) as estimated by Woods & Poole for each year. Governments are exempt from impact fees, whether a building is to be constructed or not.

The last column on the table shows what is called 'private sector employment', although it also includes nonprofits and institutions. The numbers are derived by subtracting the 'non-building related' workers and the 'government' workers from the total employment figures. Businesses employing these 'private sector' workers are the ones that would be most likely to be assessed an impact fee.

* Includes farm, forestry, mining and construction workers.

Source: 2017 Georgia Profile, Woods & Poole, Economists.

■ Service Area Projections

The entire county is a single service area because all Dawson County services being considered for impact fee funding serve all residents and business in the county, whether in the unincorporated area or within the City of Dawsonville.

As explained in the text of this report, impact fees for the library services and the parks & recreation facilities are paid exclusively by residential uses. Thus, the housing unit count and projections presented earlier form the basis for those impact fee calculations.

For the fire protection and law enforcement categories, the 24-hour service population—called the day-night population—is used for overall Level of Service calculations. Impact fees in these categories are assessed on a per-housing unit basis or on a per-nonresidential square foot basis, depending on the use.

The day-night population calculation is a combination of the population projections and future (‘private sector’) employment projections discussed earlier in this Appendix. The use of day-night population in impact fee calculations is based upon the clear rational nexus between persons and services demanded on a 24-hour basis.

Day-Night Population

	Total Population	Private Sector Employment	Total Day-Night Population
2016	23,604	9,999	33,603
2017	24,517	10,290	34,807
2018	25,453	10,578	36,031
2019	26,412	10,857	37,269
2020	27,394	11,136	38,530
2021	28,396	11,414	39,810
2022	29,418	11,697	41,115
2023	30,459	11,981	42,440
2024	31,519	12,270	43,789
2025	32,595	12,567	45,162
2026	33,687	12,868	46,555
2027	34,794	13,175	47,969
2028	35,915	13,485	49,400
2029	37,048	13,802	50,850
2030	38,193	14,119	52,312
2031	39,348	14,442	53,790
2032	40,512	14,774	55,286
2033	41,684	15,106	56,790
2034	42,863	15,441	58,304
2035	44,047	15,780	59,827
2036	45,235	16,128	61,363
2037	46,425	16,478	62,903
2038	47,617	16,831	64,448
2039	48,809	17,196	66,005
2040	50,000	17,560	67,560
Increase 2017-2040	25,483	7,270	32,753

The day-night population is used to determine Level of Service standards for facilities that serve both the resident population and business employment. The fire department, for instance, protects one’s house from fire whether or not they are at home, and protects stores and offices whether or not they are open for business. Thus, this ‘day-night’ population is a measure of the total services demanded of a 24-hour service provider facility and a fair way to allocate the costs of such a facility among all of the beneficiaries.

Impact fee calculations for road improvements, on the other hand, are based on the number of vehicle trips generated by homes and businesses onto the county’s road system. These trip generation figures are translated into per-housing unit and per-nonresidential floor area fees using the different trip rates specific to each type of land use.

This is discussed more thoroughly in the next Appendix Section.

Appendix: Trip Generation

In order to calculate new growth and development's fair share of the cost of road improvements, it is necessary to establish how much of the future traffic on Dawson County's roads will be generated by new growth, over and above the traffic generated by the county's residents and businesses today. This Appendix Section describes the process through which this determination is made.

■ Summary

A Level of Service must be established for road improvements in order to assure that, ultimately, existing development and new growth are served equally. This Section also presents the process through which new growth and development's 'fair share' of road improvement costs is calculated, and tables summarizing the technical portions of this methodology are included.

Level of Service

The County has set its Level of Service for road improvements at LOS "D", a level below which most roads in the county operate. Using this LOS maximizes roadway capacity before traffic conditions actually break down (LOS "F").

All road improvement projects benefit existing and future traffic proportionally to the extent that relief from over-capacity conditions eases traffic problems for everyone. For example, since new growth by 2040 will represent a certain portion of all 2040 traffic, new growth would be responsible for that portions' cost of the road improvements.

It is noted that the cost-impact of non-Dawson County generated traffic on the roads traversing the county (cross commutes) is off-set by state and federal assistance. The net cost of the road projects that accrues to Dawson County reasonably represents (i.e., is 'roughly proportional' to) the impact on the roads by Dawson County residents driving to and from their homes, and commuters that come in to work in the county.

The basis for the road impact fee would therefore be Dawson County's cost for the improvements divided by all traffic generated within the county in 2040 (existing today plus new growth)—i.e., the cost per trip—times the traffic generated by new growth alone. For an individual land use, when a building permit is issued, the cost per trip would be applied to the number of trips that will be generated by the new development, assuring that new growth would only pay its 'fair share' of the road improvements that serve it.

Approach

This methodology proceeds along the following lines:

- Total traffic currently generated by Dawson County residents and businesses in 2017 on the road system within the county is calculated from trip generation and commuting data. Various data sources are relied upon to determine current conditions, as explained in each appropriate section, below.
- Future Dawson County-generated traffic from new growth in the county is calculated from housing unit and employment forecasts to 2040.
- The portion of total 2040 traffic that is generated by new housing units and employment in the county establishes the percentage of Dawson County's cost of the future road improvements that can be included in an impact fee.

Summary Table

The table below shows how the portion of 2040 traffic generated by new growth is calculated. The figures represent all trips generated by land use, including pass-by and diverted trips.

Average Daily Trip Ends Generated by New Growth

	2017	2040	Increase	Percent New Growth Trip Ends
Residential Trips	105,056	205,046	99,990	↓
Nonresidential Trips	242,393	413,650	171,257	
Less: Internal Commutes*	(9,080)	(15,496)	(6,416)	
Net New Trip Ends	338,369	603,200	264,831	43.9%

* Residents who work in Dawson County. These trips to and from work are included in the residential trips, above.

The next table, below, calculates the Primary Trip Ends generated by existing and future traffic by deleting pass-by and diverted trips, as discussed below.

Primary Daily Trip Ends Generated by New Growth

	Percent Primary Trip Ends*	Primary Trip Ends			Percent New Growth Primary Trip Ends
		2017	2040	Increase	
Residential Trips	80%	83,619	163,207	79,587	↓
Commercial	51%	117,129	199,885	82,756	
Industrial+Utility	92%	11,222	19,148	7,926	
Less: Internal Commutes	100%	(9,080)	(15,496)	(6,416)	
Net New Primary Trip Ends		202,890	366,743	163,853	44.7%

* Derived from 'Trip Generation Handbook' chapter, *Trip Generation*, 9th Edition, Institute of Transportation Engineers.

Overall, new residents and businesses located within Dawson County will generate 53% (more accurately, 44.6778557%) of all Dawson County vehicles on its roads. Thus, new growth's 'fair share' of the cost to the County to provide road improvements to serve current and future traffic cannot exceed this figure.

■ Pass-by and Diverted Trips

The impact of new growth and development on Dawson County's road network is the increased traffic added to the system, expressed by transportation engineers as 'trips'. Every 'trip' has two ends—a beginning at its origin and an end at its destination (known as 'trip ends'). There are three types of trips, defined as:

A **Primary Trip** (and its trip ends)—a vehicle travelling from its original beginning to its intended final destination. Driving from one's home to one's place of work is an example of a primary trip.

A **Pass-by Trip**—a vehicle travelling along its usual route from its origin to its final destination that stops off at an intermediate location for any reason. A trip from home to work that stops along the way for gas, dropping off a child at daycare, picking up coffee or dinner, or for any other reason, represents a 'pass-by' trip at the intermediate location.

A **Diverted Trip** (previously called a diverted 'link' trip)—a vehicle that diverts from its normal primary route between its origin to its final destination, and takes a different route to stop off at an intermediate location for any reason. While a pass-by trip remains on its normal route, a diverted trip changes its route to other streets to arrive at the intermediate stop.

New primary trips add vehicles to the road network. Pass-by and diverted trips involve the same vehicles stopping off between their original beginnings and their final destinations, and therefore do not add new vehicles to the road network—the vehicles were already there on their way to their final destinations.

These different types of trips result in different types of 'trip ends'. On a home-to-daycare-to-work trip, for instance, there are two primary trip ends (home and work) and two pass-by or diverted trip ends: arriving at the daycare center and leaving from there to drive to work, for instance. The net impact on the road network, however, is created by the one vehicle and its two primary trip ends.

Impact fee calculations take note of these pass-by and diverted trip ends as not adding to the overall traffic on the road network, and deletes them from the total trip ends reported in ITE's *Trip Generation* manual. While the table above uses overall average percentages of primary trip ends derived from ITE for broad land use categories, the actual percentage for each land use listed on the impact fee schedule for roads is applied to the total trip ends to determine the primary trip ends attributed to that land use.

Although both summary tables above reflect about the same percentage of 2040 traffic that will be generated by new growth, the increase in primary trip ends from the second table will play an important role in calculating the per-trip road impact fee.

■ Residential Trip Generation

Average trip generation rates published by the Institute of Transportation Engineers (ITE) differentiate between ‘single-family detached housing’ and ‘apartments’. The closest correlations with the US Census definitions are ‘single-family units’ and ‘multi-family units’, which are shown on the following table.

Residential Units by Type: 2017 and 2040

	2015*	Percent**	Total in 2017***	Increase 2017-2040	Total in 2040
Single-Family Units	9,837	93.3%	10,510	10,003	20,513
Multi-Family Units	704	6.7%	752	716	1,468
Total	10,541	100.0%	11,262	10,719	21,981

* Based on American Community Survey report (Census Bureau).


** Percent of 2015 total housing units.

*** See Forecasts chapter for housing unit projections.

The 2015 breakdown of housing units by type on the table above are taken from the most recent American Community Survey for Dawson County (published by the Census Bureau). The 2015 percentage by housing type (single-family and multi-family) is calculated, and applied to the total number of housing units projected in 2017 (taken from the Future Growth Appendix of this report). It is assumed that these percentages will persist into the future, producing a breakdown of the projected 10,719 new housing units forecast for the 2017-2040 period.

The next table, below, calculates the amount of traffic that is generated by the county’s housing stock today, and the amount that will be generated in 2040.

Residential Trip Generation: 2017-2040 New Growth Increase

	ADT* Trip Ends	2017 Units	2017 ADT Trip Ends	2040 Units	2040 ADT Trip Ends	Increase 2017-2040	Percent New Growth Trip Ends
Single-Family Units	9.52	10,510	100,055	20,513	195,284	95,229	
Multi-Family Units	6.65	752	5,001	1,468	9,762	4,761	
Total		11,262	105,056	21,981	205,046	99,990	48.8%

* Average Daily Traffic (trip ends) on a weekday; Institute of Transportation Engineers *Trip Generation*, 9th Edition. Total includes trips to/from work.

The calculations are made on the basis of ‘average daily traffic’ on a normal weekday, using average trip generation rates derived through multiple traffic studies (350 for single-family and 86 for apartments) and published by ITE. The rates are expressed for ‘trip ends’—that is, traffic both leaving and coming to a housing unit.

Comparing traffic in 2017 to 2040, the future increase in trip ends can be calculated, which will represent 48.8% of all residential trip ends generated in the county.

It should be noted that the traffic generated includes trips to and from work and, more particularly, residents who work at a business within the county.

■ **Nonresidential Trip Generation**

Calculating traffic generated by businesses located in Dawson County is more problematical than residential trips because there is no breakdown of types of businesses in the county that is readily available. In addition, while employment forecasts have been made in terms of the number of jobs, there is no data available for floor areas, much less by detailed type of use.

The alternate is to view nonresidential traffic generation on a broad 'average' basis. For this, there is data available from ITE for a number of individual uses relating to the total number of trips generated per employee. These trips, of course, include not only trips taken by the employees (to/from work, lunch, etc.) but also customers and others that are attracted to the use, serve it or are served by it in some way.

The Average Daily Traffic (ADT) numbers on the following table, therefore, are calculated by dividing all trips to a use—employees, customers, deliveries to or from, etc.—by the number of employees alone. Since there is more data available for the average number of employees per 1,000 square feet of floor area, it enables a determination of the average total trips generated by the use by the same floor area (and thus the number per '1' square foot of floor area for impact fee calculations).

The table on the following page shows the 'trips per employee' per 1,000 square feet of floor area for those uses for which impact fees are commonly collected and for which the data is available.

Overall, the average trip generation rate of all uses shown on the following table is 10.21 trips per employee for 'industrial' uses and 25.31 for all 'commercial' uses. The 'industrial' category includes such uses as manufacturing and assembly, storage and transportation of goods; the 'commercial' category includes all sales and service uses such as stores, offices, motels, banks, amusements and private institutions). The last column shows the average rate for all 'commercial' uses listed, as opposed to the 'industrial' uses shown in the column on its left.

Although the 'overall' averages are useful for projecting total traffic generation, impact fees for particular uses will reflect the actual average trip generation rate for the specific use.

Appendix: Trip Generation

ITE Trips-per-Employee Data

			<u>ADT</u>		<u>Average</u>	<u>Average</u>
	ITE CODE	LAND USE	Trip Ends per Employee		by Category	All Commercial
<i>Port and Terminal (000-099)</i>	30	Intermodal Truck Terminal	6.99	}	10.21	}
<i>Industrial (100-199)</i>	110	General Light Industrial	3.02			
	120	General Heavy Industrial	0.82			
	140	Manufacturing	2.13			
	150	Warehousing	3.89			
	151	Mini-Warehouse	32.47			
	152	High-Cube Warehouse	22.13			
<i>Lodging (300-399)</i>	310	Hotel or Conference Motel	14.34	}	13.58	
	320	Motel	12.81			
<i>Recreational (400-499)</i>	430	Golf Course	20.52	}	34.79	
	443	Movie Theater	53.12			
	460	Arena	10.00			
	480	Amusement Park	8.33			
	490	Tennis Courts	66.67			
	491	Racquet/Tennis Club	45.71			
	492	Health/Fitness Center	46.71			
<i>Institutional (500-599)</i>	495	Recreational Community Center	27.25	}	29.58	
	520	Private Elementary School	15.71			
	530	Private High School	19.74			
	560	Church/Place of Worship	26.24			
	565	Day Care Center	28.13			
<i>Medical (600-699)</i>	566	Cemetery	58.09	}	5.26	
	610	Hospital	4.50			
	620	Nursing Home	3.26			
<i>Office (700-799)</i>	630	Clinic	8.01	}	4.18	
	710	General Office Building	3.32			
	714	Corporate Headquarters Building	2.33			
	715	Single-Tenant Office Building	3.70			
	720	Medical-Dental Office Building	8.91			
	760	Research and Development Center	2.77			
<i>Retail (800-899)</i>	770	Business Park	4.04	}	32.86	
	812	Building Materials and Lumber Store	32.12			
	814	Variety Store	66.70			
	815	Free-Standing Discount Store	28.84			
	816	Hardware/Paint Store	53.21			
	817	Nursery (Garden Center)	21.83			
	818	Nursery (Wholesale)	23.40			
	826	Specialty Retail Center	22.36			
	841	Automobile Sales	21.14			
	850	Supermarket	87.82			
	854	Discount Supermarket	40.36			
	860	Wholesale Market	8.21			
	861	Discount Club	32.21			
875	Department Store	11.56				
<i>Services (900-999)</i>	890	Furniture Store	12.19	}		
	912	Drive-in Bank	30.94			

Source: *Trip Generation*, 9th Edition, Institute of Transportation Engineers, where survey results given for key land uses.

We know from the 2010 Census how many people worked in Dawson County based on commuting patterns. The next table provides a breakdown between commercial and industrial employment in the county and calculates trip ends generated by each.

Tax base valuations give us some clue as to the breakdown. When the County's 'industrial' and 'utility' tax valuations are combined, the figures suggest that a little over 88% of all uses are 'commercial' in nature, while almost 12% are industrial. These percentages, applied to total employment in the county, give us the estimated number of employees in 2010 in each category.

Nonresidential Trip Generation: 2010 Census


	Tax Base		Percent of Total	2010 Employees	Average ADT	Total Nonres Trip Ends	
Commercial	\$ 235,135,994	}	\$ 235,135,994	88.4%	7,049	25.31	178,410
Industrial	\$ 6,269,281		\$ 30,892,635	11.6%	1,581	10.21	16,138
Utility	\$ 24,623,354						
Total Nonresidential	\$ 266,028,629		\$ 266,028,629		7,583		194,548
				Internal Commutes*	3,644	times 2 =	(7,288)
						Net Nonres Trips	187,260

* Residents who work in Dawson County. These trips are included in residential trip generation rate.

The table calculates the total number of trips using the average rates for commercial and industrial from the ITE Trips-per-Employee Data table on the previous page. From the total of all nonresidential trips is deducted the number of trips to/from work generated by county residents, since these trips have already been calculated as part of the residential trip generation rates (i.e., county residents driving to/from work at county establishments).

Lastly, the following table calculates the total number of trip ends that will be generated by new nonresidential growth in future traffic on Dawson County's roads.

Nonresidential Trip Generation: 2017-2040 New Growth Increase

	2017 Employees	2017 Trip Ends	2040 Employees	2040 Trip Ends	2017-2040 Increase	Percent New Growth Trip Ends
Commercial	9,095	230,195	15,521	392,837	162,642	
Industrial+Utility	1,195	12,198	2,039	20,813	8,615	
Total	10,290	242,393	17,560	413,650	171,257	
Less: Internal Commutes at	3.75%	(9,080)		(15,496)	(6,416)	
Net Nonres Trip Ends		233,313		398,154	164,841	

The preceding table shows the number of trip ends currently generated by Dawson County businesses based on 2017 employment. The trip ends by use are distributed using the same percentages calculated on the previous table. The same calculations are made for the year 2040 based on projected employment in the county, and the difference between 2017 and 2040 represents trip ends generated by future growth and development. This totals 41.4% of all nonresidential 2040 trip ends.

The results of the residential and nonresidential trip generation analyses are combined on the Summary table at the beginning of this Appendix Section for an overall calculation of new growth's share of future traffic generated by Dawson County residents and businesses. From these figures, pass-by and diverted trip ends are then deleted to determine primary trip ends, which more closely relates to vehicles on the road and thus contribute to traffic congestion.

■ Terminology

This Methodology uses the term 'average daily traffic' (ADT) for a weekday, which is defined by ITE as the 'average weekday vehicle trip ends', which are "the average 24-hour total of all vehicle trips counted from a study site from Monday through Friday."

Additionally, ITE defines a 'trip or trip end' as "a single or one-direction vehicle movement with either the origin or the destination (exiting or entering) inside a study site. For trip generation purposes, the total trip ends for a land use over a given period of time are the total of all trips entering plus all trips exiting a site during a designated time period".

Lastly, ITE defines 'average trip rate' as "the weighted average of the number of vehicle trips or trip ends per unit of independent variable (for example, trip ends per occupied dwelling unit or employee) using a site's driveway(s). The weighted average rate is calculated by dividing the sum of all independent variable units where paired data is available. The weighted average rate is used rather than the average of the individual rates because of the variance within each data set or generating unit. Data sets with a large variance will over-influence the average rate if they are not weighted.

2017

DAWSON COUNTY	Annual Impact Fee Financial Report - Fiscal Year 2017
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	Libraries	Fire Protection	Detention	Roads	Parks & Recreation	Admin-istration	TOTAL
Service Area	County-wide	County-wide	County-wide	Ga 400 Corridor	County-wide		
Impact Fee Fund Balance January 1, 2017	\$5,361.83	\$3,237.41	\$45,715.05	\$1,215.49	\$68,292.70	(\$11,422.23)	\$112,400.25
Impact Fees Collected (January 1, 2017 through December 31, 2017)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Subtotal: Fee Accounts	\$5,361.83	\$3,237.41	\$45,715.05	\$1,215.49	\$68,292.70	(\$11,422.23)	\$112,400.25
Accrued Interest (Impact Fee Refunds)	\$14.58	\$8.80	\$124.31	\$3.31	\$185.70	(\$31.06)	\$305.64
(FY 2017 Expenditures)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$28,350.00	\$28,350.00
Impact Fee Fund Balance December 31, 2017	\$5,376.41	\$3,246.21	\$45,839.36	\$1,218.80	\$68,478.40	(\$39,803.29)	\$84,355.89
Impact Fees Encumbered	\$5,376.41	\$3,246.21	\$45,839.36	\$1,218.80	\$68,478.40		\$84,355.89

Backup material for agenda item:

2. Consideration of Application for Parade & Assembly - *Sheriff's Office Ride for Relay*



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Planning & Development

Work Session: 3/22/18

Prepared By: Niki M. McCall

Voting Session: 4/5/18

Presenter: Jason Streetman

Public Hearing: Yes No

Agenda Item Title: Parade & Assembly – Sheriff’s Office Ride for Relay

Background Information:

This would be the first; therefore, there is no background for this event.

Current Information:

The Dawson County Sheriff’s Office has made a request to allow for its first Sheriff’s Office Ride for Relay event for Relay for Life, to be held on Saturday, April 14, 2018, from 9 a.m.-noon, with a 51-mile motorcycle ride starting and ending at Dawsonville City Hall.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: _____

Department Head Authorization: _____

Date: _____

Finance Dept. Authorization: Vickie Neikirk

Date: 3/15/18

County Manager Authorization: DH

Date: 3/15/2018

County Attorney Authorization: _____

Date: _____

Comments/Attachments:



Planning and Development

25 Justice Way Suite 2322
 Dawsonville, GA 30534-3450
 Phone: (706)344-3604 Fax: (706)344-3652

Parade/Assembly Permit

Permit Status: Active
 Permit Number: PAR-3-18-11838

Issue Date: 4/14/2018

Expires: 04/14/2018

Issued By: Niki McCall

Owner's Name: Greg Rowan

Phone: _____

Permit Type: Parade/Assembly

Parcel #: D04 020 001

Work Classification: New

Zoning: City

Job Address: 415 Highway 53 East
Dawsonville, GA 30534-

Subdivision: _____

Lot: _____

Contractor(s)	Phone	Primary Contractor
Greg Rowan		Yes
Address: P.O. Box 571 , Dawsonville GA 30534-		

Total Square Feet: 0

Total Valuation: 0

1st Annual Sheriff's Office Ride for Relay

Directions:

Fees Due	Amount
Parade Fee	\$0.00
Total:	\$0.00

Invoice Number	Amt Due	Amt Paid
PAR-3-18-36390	\$0.00	
Total:		

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county.

Building Department File Copy

AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.



**Dawson County
Planning & Development**
25 Justice Way, Suite 2322
Dawsonville, GA 30534
(706) 344-3500

**Permit for
Parades, Public Assemblies,
Demonstrations, and Rallies
In Public Places**

Date Received: 3-14-18

Applicant answers all questions on pages 1-4; attach separate sheet(s) if necessary.
Application must be received a minimum of 30 days prior to event and must be complete and legible.

PARADE RALLY PUBLIC DEMONSTRATION PUBLIC ASSEMBLY ROAD CLOSING OTHER

- Name of Event: 1st Annual Sheriff's Office Ride or Relay
 - Location of Event: Route Through Dawson County TMP # _____
 - Date(s) of Event: Saturday April 14, 2018
- Time of Event: Start: 9:00 a.m. / p.m. End: 12:00 a.m. / p.m.

4. Provide information listed below for the **main contact person** responsible for the organization of this event:

Name: <u>Greg Rowan</u>	Title: <u>Chief Deputy</u>
Organization: <u>Dawson County Sheriff's Office</u>	Telephone #: <u>706-344-3535</u>
Email Address: <u>rowan@dawsoncountysheriff.org</u>	Cell Phone #: <u>706-974-4514</u>
Address: <u>19 Tucker Avenue</u> City: <u>Dawsonville</u> State: <u>GA</u> Zip Code: <u>30534</u>	

5. Provide information listed below for any **key personnel involved in coordinating this event**. Also, provide information listed below on each officer of the club, organization, corporation or partnership requesting this event. Attach a separate sheet if necessary.

Name: <u>Jeff Johnson</u>	Title: <u>Sheriff</u>
Organization: <u>Dawson County Sheriff's Office</u>	Telephone #: <u>706-344-3535</u>
Address: <u>19 Tucker Avenue</u> City: <u>Dawsonville</u> State: <u>GA</u> Zip Code: <u>30534</u>	

Name:	Title:
Organization:	Telephone #:
Address: City: State: Zip Code:	

Name:	Title:
Organization:	Telephone #:
Address: City: State: Zip Code:	

Name:	Title:
Organization:	Telephone #:
Address: City: State: Zip Code:	

- 6. Expected number of participants: 50
- 7. Physical description of materials to be distributed: None
- 8. How do participants expect to interact with public? N/A
- 9. Route of event: (attach a detailed map of the route) see attached

9.a. Number and type of units in parade: 50

9.b. Size of the parade: _____

10. Will any part of this Event take place **within** the City Limits of Dawsonville? Yes
 If YES, do you have a permit for the event from the City? _____ Date Issued: Pending * Attach Copy

11. Do you anticipate any unusual problems concerning either police protection or traffic congestion as a consequence of the event? _____ Yes No If YES, please explain in detail: _____

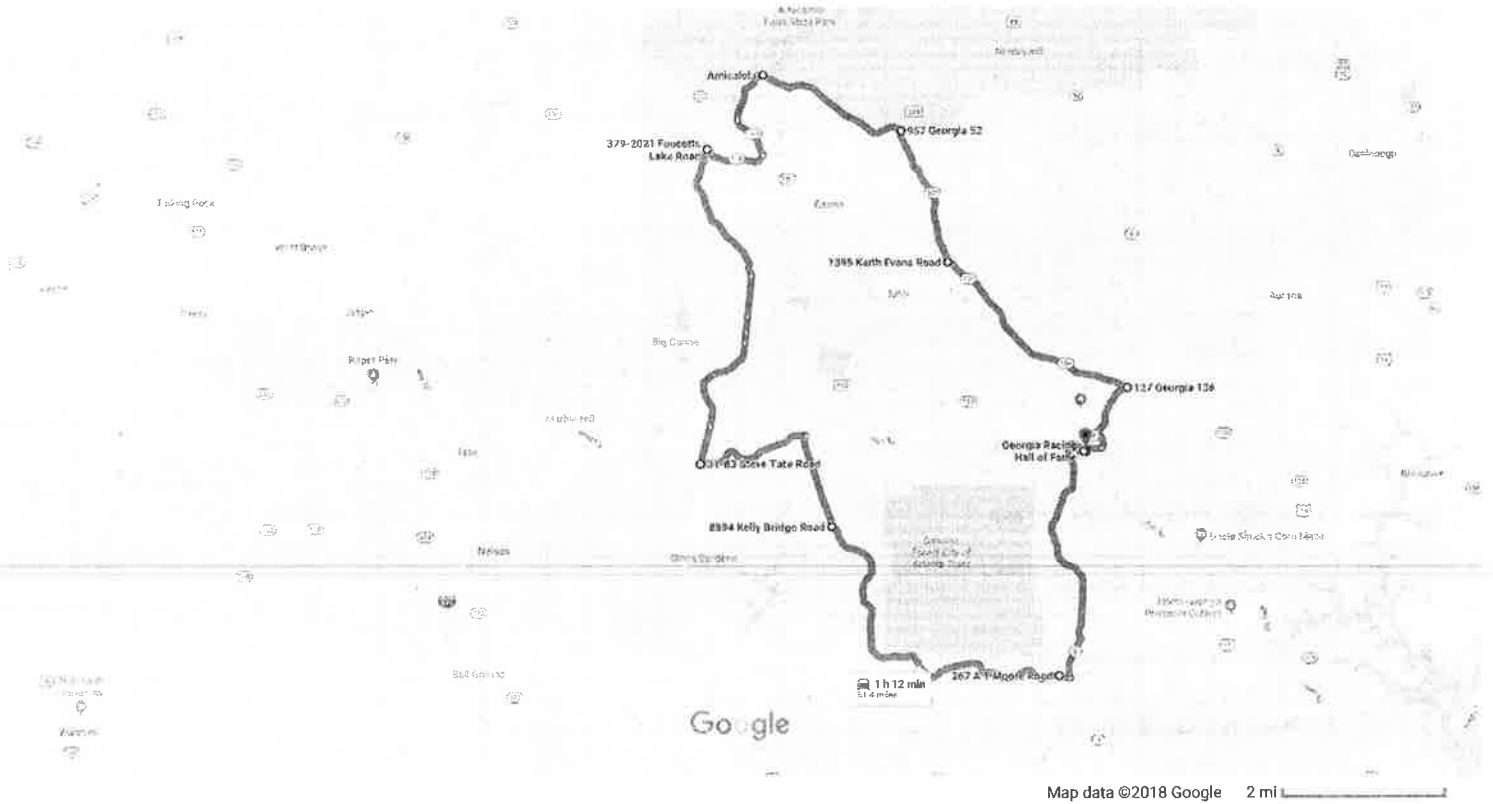
12. List all prior parades or public assemblies, demonstrations or rallies in a public place within Dawson County for which you obtained a permit: (Also include dates – attach separate sheet, if necessary). None

Details: Please outline what your event will involve: (number of people / life safety issues / vendors / cooking / tents / rides / handicap parking / egress) – attach separate sheet if necessary.

This event is a fund raising motorcycle ride to benefit Relay for Life. The starting/ending point is at City Hall in Dawsonville. The ride will be escorted by a deputy. All intersections encountered will be controlled by a deputy for minimal closure times.
004-020-001

Route or Lay Out: (attach a detailed site plan)

see attached



Georgia Racing Hall of Fame

415 Hwy 53 Dawsonville, GA 30554

- ↑ 1. Head north on Hwy 53 W toward Allen St 0.2 mi
- ↶ 2. Turn left onto Academy Ave 0.2 mi
- ↶ 3. Turn left onto E 1st St 413 ft
- ↶ 4. Turn left at the 1st cross street onto GA-9 S 6.5 mi
- ↷ 5. Turn right onto A T Moore Rd 0.3 mi

12 min (7.1 mi)

267 A T Moore Rd

Dawsonville, GA 30534

- ↑ 6. Head west on A T Moore Rd toward Evans Trail 0.5 mi
- ↑ 7. Continue onto Kelly Bridge Rd 8.8 mi
- ↶ 8. Turn left onto Cowart Rd 16 ft
 ⓘ Destination will be on the right

13 min (8.5 mi)

8894 Kelly Bridge Rd

Dawsonville, GA 30534

- ↑ 9. Head north on Cowart Rd toward Kelly Bridge Rd 2.4 mi
- ↶ 10. Turn left onto Hwy 53 W 3.0 mi
- ↷ 11. Turn right onto Steve Tate Rd 328 ft
📍 Destination will be on the left

7 min (5.5 mi)

31-83 Steve Tate Rd

Marble Hill, GA 30143

- ↑ 12. Head north on Steve Tate Rd toward Foothills Pkwy 0.9 mi
- 📍 13. At the traffic circle, take the 1st exit 265 ft
- ↑ 14. Continue onto Steve Tate Rd 2.7 mi
- ↑ 15. Continue onto N Gate Station Dr 0.3 mi
- ↑ 16. Continue onto Steve Tate Rd 0.4 mi
- ↑ 17. Continue onto Tate Hwy 1.0 mi
- ↑ 18. Continue onto Steve Tate Rd 3.8 mi
- ↑ 19. Continue onto Faucetts Lk Rd 79 ft
📍 Destination will be on the right

13 min (9.2 mi)

379-2021 Faucetts Lk Rd

Dawsonville, GA 30534

- ↑ 20. Head south on Faucetts Lk Rd toward GA-136 W 79 ft
- ↶ 21. Turn left onto GA-136 E 1.5 mi
- ↶ 22. Turn left onto GA-183 1.3 mi
- ↷ 23. Slight right toward GA-52 E 322 ft
- 🚶 24. Merge onto GA-52 E 1.4 mi

6 min (4.2 mi)

Amicalola

Georgia 30534

- ↑ 25. Head southeast on GA-52 E toward Amicalola Falls State Park Rd
 ⓘ Destination will be on the right

4.0 mi

5 min (4.2 mi)

957 GA-52

Dawsonville, GA 30534

- ↑ 26. Head southeast on GA-52 E toward Wesley Chapel Rd

36 ft

- ↘ 27. Turn right at the 1st cross street onto State Rte 342

3.6 mi

- ↑ 28. Continue onto Keith Evans Rd
 ⓘ Destination will be on the right

135 ft

5 min (3.6 mi)

1395 Keith Evans Rd

Dawsonville, GA 30534

- ↑ 29. Head north on Keith Evans Rd toward GA-136 W

135 ft

- ↘ 30. Turn right onto GA-136 E

5.8 mi

7 min (5.8 mi)

127 GA-136

Dawsonville, GA 30534

- ↑ 31. Head east on Georgia 9 N toward Georgia 9 N

262 ft

- ↘ 32. Turn right toward GA-136 W

115 ft

- ↘ 33. Turn right onto GA-136 W

246 ft

- ↙ 34. Slight left onto GA-9 S

1.4 mi

- ↙ 35. Turn left onto Perimeter Rd

0.5 mi

- ↘ 36. Turn right onto Allen St

0.4 mi

- ↙ 37. Turn left

361 ft

8 min (3.5 mi)

82-104 Allen St

Dawsonville, GA 30534

These directions are for planning purposes only. You may find that construction projects, accidents, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.



What participation, if any, do you expect from Dawson County Emergency Services? None

What participation, if any, do you expect from the Dawson County Sheriff Department? Provide lead escort. Traffic control at intersections along route.

Insurance Requirements:

In compliance with Ordinance Section VII (C), an applicant for a permit shall obtain liability insurance from an insurer licensed in the State of Georgia for the parade, public assembly, demonstration or rally in a public place, if one or more of the following criteria exists:

- 1. The use, participation, exhibition, or showing of live animals;
- 2. The use, participation, exhibition, or showing of automobiles of any size or description, motorcycles, tractors, bicycles, or similar conveyances;
- 3. The use of a stage, platform, bleachers, or grandstands that will be erected for the event;
- 4. The use of inflatable apparatus used for jumping, bouncing, or similar activities;
- 5. The use of roller coasters, bungee jumping, or similar activities; or
- 6. Vendors or concessions.

Does your parade, non-spontaneous private assembly, demonstration, or rally in a public place meet any of the criteria above? Yes No If yes, which one(s)? Participation of motorcycles.

Any applicant required to provide insurance shall provide Dawson County with a copy of the Certificate of Insurance from an insurer authorized and **licensed by the State of Georgia**. Dawson County shall be added as an additional named insured for the event on the Certificate of Insurance by the carrier. The minimum policy limits shall be **\$1,000,000.00 per incident** and **\$2,000,000.00 aggregate** for the entire event. All costs for insurance and naming Dawson County as an additional named insured shall be borne solely by the applicant. Such insurance shall protect Dawson County from any and all claims for damages to property and/or bodily injury or death.

Is the Certificate of Liability Insurance attached? Yes No Not applicable to this event

Additional information/comments about liability insurance: _____

Additional information/comments about this application: _____

**APPLICANT'S SIGNATURE FOR THE PERMIT APPLICATION; RELEASE & WAIVER OF LIABILITY;
AND AGREEMENT FOR FINANCIAL RESPONSIBILITY.**

APPLICATION:

OATH: I hereby swear and affirm that the information provided with this application for parade, public assembly, demonstration, or rally is true and correct to the best of my knowledge. In addition, I agree to abide by all regulations of the ordinance and to advise all participants of the conditions of the permit.

RELEASE & WAIVER OF LIABILITY:

The permit holder shall indemnify and hold Dawson County harmless from any claim, demand, or cause of action that may arise from activities associated with the event. I acknowledge that I understand this Release, and I hereby agree for myself and on behalf of the Applicant to indemnify and hold harmless Dawson County, Georgia and its agents, officers, and employees, individually and jointly, from and against any claim for injury (including, but not limited to, personal injury and property damage), loss, inconvenience, or damage suffered or sustained by any individual, including but not limited to, business owners, patrons, participants of the parade, public assembly, demonstration, or rally, and spectators participating in and/or occurring during the event, unless the claim for injury is caused by intentional misconduct of an individual, agent, officer, or employee of Dawson County.

AGREEMENT FOR FINANCIAL RESPONSIBILITY:

The undersigned agrees to be solely responsible for cleaning affected areas littered during the activity, providing sufficient parking and storage areas for motor vehicles, providing temporary toilet facilities, and providing other similar special and extraordinary items deemed necessary for the permitted activity by Dawson County to keep the area of the event safe and sanitary. However, Dawson County shall not require individuals, organizations, or groups of persons to provide personnel for normal governmental functions such as traffic control, police protection, or other activities or expenses associated with the maintenance of public order. If additional requirements are placed upon an applicant and if such requirements are not met, then Dawson County may revoke the issued permit and/or deny any subsequent permit requested by the applicant. Dawson County shall be entitled to recover from the applicant any sum expended by Dawson County for extraordinary expenses not provided by the applicant. The additional expense may include, but not be limited to, Dawson County utilizing off-duty personnel or providing equipment or resources from other areas of the county to supplement equipment or resources already present.

Sworn to and subscribed before me
this 13 day of March 2018.

Ann S. Martin
Notary Public, State of Georgia

My Commission Expires: 01/19/2021

Greg Rowan
Applicant's Printed Name

[Signature]
Applicant's Signature

Anne Spivey Martin
Notary Public
Dawson County, Georgia
My Comm. Expires
01/19/2021

Note to Applicant: Once your permit is processed, Planning & Development will notify you of the meeting dates for the Board of Commissioner's work session and voting session. You are required to attend both meetings.



Dawson County
Planning & Development
25 Justice Way, Suite 2322
(706) 344-3500

Permit for
Parades, Public Assemblies,
Demonstrations, and Rallies
In Public Places
(EMERGENCY SERVICES)

EMERGENCY SERVICES: Please complete this sheet and return it to Dawson County Planning and Development. (Please attach additional sheet, if necessary.)

Name of Event: _____ Date(s) of Event: _____

Any anticipated problems with proposed route? _____

Any anticipated problems with the designated location for participants to assemble? _____

How many personnel will be required for this event? _____

Estimated cost for personnel: _____

Number and type of vehicles required: _____

Type of procedures or equipment needed for the health and safety needs of the participants and the viewing public: _____

Estimated cost for equipment: _____

Additional comments/concerns: _____

Emergency Services: APPROVED: YES NO (Please also sign off on page 8 of application.)

By: _____ Date: _____



**Dawson County
Planning & Development**
25 Justice Way, Suite 2322
Dawsonville, GA 30534
(706) 344-3500

**Permit for
Parades, Public Assemblies,
Demonstrations, and Rallies
In Public Places**
(SHERIFF DEPARTMENT)

SHERIFF DEPARTMENT: Please complete this sheet and return it to Dawson County Planning and Development. (Please attach additional sheet, if necessary.)

Name of Event: 1st Annual Sheriff's Office Ride to Red Date(s) of Event: April 14, 2018

Any anticipated problems with proposed route? None

Any anticipated problems with the designated location for participants to assemble? None

How many officers will be required for this event? 5

Estimated cost for officers: _____

Number of vehicles required: 5

Type of procedures and equipment needed for the health and safety needs of the participants and the viewing public: _____

Estimated cost for equipment: _____

Additional comments/concerns/recommendations: _____

Sheriff Department: APPROVED: YES NO (Please also sign off on page 8 of application.)

By: [Signature] Date: 3-12-18

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**Dawson County
 Planning & Development**
 25 Justice Way, Suite 2322
 Dawsonville, GA 30534
 (706) 344-3500

**Permit for
 Parades, Public Assemblies,
 Demonstrations, and Rallies
 In Public Places**
*(Marshal / Public Works / Environmental
 Health / Parks & Recreation)*

**PLEASE PROVIDE COMMENTS AND APPROVALS BELOW (Attach additional sheet if necessary)
 (Please also sign off on page 8 of the application.)**

MARSHAL: _____

APPROVED: YES NO By: _____ Date: _____

PUBLIC WORKS: _____

APPROVED: YES NO By: _____ Date: _____

ENVIRONMENTAL HEALTH: _____

APPROVED: YES NO By: _____ Date: _____

PARKS & RECREATION: _____

APPROVED: YES NO By: _____ Date: _____



**Dawson County
Planning & Development**
25 Justice Way, Suite 2322
Dawsonville, GA 30534
(706) 344-3500

**Permit for
Parades, Public Assemblies,
Demonstrations, and Rallies
In Public Places**
(APPROVALS)

Office Use Only:

If applicable to the event, the following departments have reviewed and approved this event:

Department	Printed Name	Signature for Approval	Date
Sheriff Dept.			
Emergency Services			
Marshal's Office			
Public Works Dept.			
Environmental Health			
Parks and Recreation			
State Park Office			
Georgia Dept. of Transportation			

Dawson County Board of Commissioners:

Work Session Date: 3-22-18

Voting Session Date: 4-5-18

Approved:

Attest:

Billy Thurmond, Chairman
Dawson County Board of Commissioners

~~Danielle Yarbrough, County Clerk~~
Kristen Cloud

cc: (as applicable)

Applicant
County Attorney
Sheriff Dept.
Emergency Services

Marshal Dept.
Environmental Health
Public Works
Parks and Recreation

GA DOT (Brent Cook)
GA State Parks

PERMIT # _____

DATE ISSUED: _____

Backup material for agenda item:

3. Consideration of Request for Additional School Resource Officers



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Sheriff's Office

Work Session: March 22, 2018

Prepared By: Sheriff Jeff Johnson

Voting Session: April 5, 2018

Presenter: Sheriff Jeff Johnson

Public Hearing: Yes No

Agenda Item Title: Request for Additional School Resource Officers

Background Information:

Due to the ever increasing instances of school related violence and the need to better protect and secure our community's children / schools, additional School Resource Officers are being requested.

In order to better utilize our current staff, funds are being sought in order to provide off-duty payment to cover the costs associated with traffic direction responsibilities. Currently, the SROs must vacate their primary duties of securing our schools to handle traffic direction and control. Current staffing levels do not allow for this function to be handled by the Patrol Component.

Current Information:

School Superintendent Dr. Damon Gibbs has indicated that the BOE will support 2 additional SRO positions as well as share the cost of traffic control.

It is our assertion that 3 positions are needed to allow for each school to have an assigned SRO as well as provide a level of relief for officer's absences due to illness, family emergencies, court subpoena, etc.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Approval

Department Head Authorization: Jeff Johnson

Date: March 13, 2018

Finance Dept. Authorization: Vickie Neikirk

Date: 3/14/18

County Manager Authorization: DH

Date: 3/14/2018

County Attorney Authorization:

Date:

Comments/Attachments:

Backup material for agenda item:

4. Consideration of Request to Upgrade Part-Time Magistrate Court Clerk Position to Full-Time Position



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Magistrate Court

Work Session: 3/22/18

Prepared By: Lisa Poss-Thurmond

Voting Session: 4/5/18

Presenter: Lisa Poss-Thurmond

Public Hearing: Yes _____ No X

Agenda Item Title: Part-time to Full-time employee

Background Information:

This position is a part-time position, which is 29 hours per week. The 2018 budget has 21,963.70 for this position, which includes taxes.

Current Information:

The Court is requesting that this position be upgraded to full-time position in 2018. This was requested in the 2018 budget, which was not approved. It is becoming very difficult for the court to operate with two full-time clerks. Magistrate clerks are being approached by other county departments that offer additional salary for the same type position. We have a clerk that is transferring to the District Attorney's Office effective March 16th and was given a 5,000 increase. Upgrading this position will ensure that the court has the necessary employees for the Court to operate.

Budget Information: Applicable: X _____ Not Applicable: _____ Budgeted: Yes _____ No _____

Please see attached spreadsheet for financial numbers.

Recommendation/Motion: _____

Department Head Authorization: Lisa A. Poss-Thurmond

Date: 3/6/18

Finance Dept. Authorization: Nikki Naylor

Date: 3/14/18

County Manager Authorization: David Dingley

Date: 3/14/18

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

		Annual		
	<u>Current PT</u>		<u>Proposed FT</u>	
	<u>Position</u>		<u>Position</u>	
Salary	20,402.95		28,142.40	
FICA/Medicare	1,560.83		2,152.89	
Retirement	-		1,125.70 *	
Health	-		18,200.00 *	
Flex Spending Card	-		54.00 *	
Life Insurance	-		113.00	
	<u>\$ 21,963.78</u>		<u>\$ 49,787.99</u>	\$ 27,824.21 Annual Difference Requested
 2018				
			<u>Proposed FT</u>	
			<u>Position</u>	
Salary			19,483.20	
FICA/Medicare			1,490.46	
Retirement			779.33 *	
Health			8,015.73 *	\$5,634.27 previous employee coverage (remaining 9 months)
Flex Spending Card			40.50 *	
Life Insurance			84.75	
			<u>\$ 29,893.97</u>	\$ 7,930.20 2018 Difference Requested (based on 18 pay periods)

**Proposed amounts are based on 4% County match to retirement and electing Flex Spending and family health coverage*

Current Position Control	\$ 275,196.26
2018 Budget	\$ 275,197.00

Backup material for agenda item:

5. Consideration of Salary Increase Request for Magistrate Court Clerks Earning Georgia Information Crime Center Certification



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Magistrate Court

Work Session: 3/22/18

Prepared By: Lisa Poss-Thurmond

Voting Session: 4/5/18

Presenter: Lisa Poss-Thurmond

Public Hearing: Yes _____ No X

Agenda Item Title: Salary Increase for GCIC certification

Background Information:

Magistrate Court received Georgia Information Crime Center (GCIC) certification in 2017. Krystal Kiker, Chief Clerk became our Terminal Agency Coordinator (TAC). There is only one other TAC in Dawson County. Rachel Janes is currently taking the course to get a GCIC Certified Terminal Operator. This certification is additional to the salary for which they were hired. This also helps to ensure stability in the Magistrate employees. Employees with the GCIC certification are very appealing to other court offices. The court has an employee transferring to the District Attorney's Office on March 16th. This employee was GCIC certified.

The Court is requesting a salary increase of 3000.00 for Krystal Kiker and a 2000.00 increase for Rachel Janes once she receives her certification.

Budget Information: Applicable: X Not Applicable: _____ Budgeted: Yes _____ No X

Requesting:

Krystal Kiker – 3000.00 increase, FICA/Medicare 229.50 - Total: 3229.50

Rachel Janes – 2000.00 increase, FICA/Medicare 153.00 - Total: 2153.00

Total Request: 5,382.50

Recommendation/Motion: _____

Department Head Authorization: Lisa A. Poss-Thurmond

Date: 3/16/18

Finance Dept. Authorization: Victoria Neubert

Date: 3/14/18

County Manager Authorization: Don S. Denny

Date: 3/14/18

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Backup material for agenda item:

6. Consideration of IFB #308-18- Emergency Medical Supplies for Emergency Services



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Emergency Medical Services

Work Session: 03/22/2018

Prepared By: Melissa Hawk

Voting Session: 04/05/2018

Presenter: Lanier Swafford/Melissa Hawk

Public Hearing: Yes No

Agenda Item Title: IFB #308-18 EMS Medical Supplies Presentation

Background Information:

Previous contract with Bound Tree Medical for procuring medical supplies expired on December 31, 2017. In following the Dawson County Purchasing Policy Ordinance, an IFB was released on January 11, 2017, to obtain pricing on 236 items frequently utilized by EMS. 7 offers were received. County entered into an extension on current contract through April 30, 2018, prior to contract expiration.

Current Information:

After careful evaluation of the bids submitted, to include testing samples from the lowest bidder, results geared EMS staff to request to award a contract to National Medical and Bound Tree Medical.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining
100	3630	531100	\$57,000	\$44,457		

Recommendation/Motion: To award #308-18 IFB Emergency Medical Supplies to National Medical & EMS Products for 208 items with the lowest combined pricing and Bound Tree Medical for the 28 items without an offer from National Medical, with the lowest combined pricing and approve the contracts as submitted for one (1) year term with two (2) renewal options.

Department Head Authorization: Lanier Swafford

Date: 03/01/2018

Finance Dept. Authorization: Vickie Neikirk

Date: 3/14/18

County Manager Authorization: DH

Date: 3/14/2018

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Presentation

Emergency Services Medical Supplies Bid #308-18

WORK SESSION MARCH 22, 2018



Background

- ▶ Standard contract for services
 - ▶ Exhausted all renewals
 - ▶ Current contract expired December 31, 2017
 - ▶ Extension until April 30, 2018 to allow for thorough evaluation of responses
 - ▶ Items are purchased on an as-needed basis
 - ▶ No maximum or minimum dollar amount guarantee
- ▶ Annual contract amount:
 - ▶ 2015 - \$27,749.00 2016 - \$36,343.00 2017 - \$42,075.00

Acquisition Strategy & Methodology

- ▶ Advertised in Legal Organ
- ▶ Posted on County Website
- ▶ Posted on GLGA Marketplace
- ▶ Posted on Georgia Procurement Registry
- ▶ Emailed notification through vendor registry
- ▶ Notification through County's Facebook and Twitter accounts
- ▶ Notification through Chamber of Commerce
- ▶ Notified previous bidders
- ▶ 7 bids received

IFB Details

- ▶ 236 items included in the IFB document
 - ▶ Some of these items were Saline, catheters, air way kits, gloves, electrodes, cervical collars, disposal blankets, sharps boxes, hot/cold packs, etc.
- ▶ Pricing received per 1 count for each item due to different vendors packaging varying quantities
- ▶ On-line, email or telephone ordering capability required
- ▶ Delivery fees varied between Bidders, most were submitted as no charge
- ▶ Delivery times ranged between 2 – 5 days
- ▶ Discounts on non-contract items ranged between 10% - 40%

Evaluation Committee

- ▶ Assistant Fire Chief, Danny Speaks
- ▶ Quartermaster Bill Tanner

- ▶ Director Lanier Swafford made final decision

Number of Low Bid Items Per Response

NASHVILLE MEDICAL & EMS PRODUCTS, INC DBA NASHVILLE EMS	MIDWEST MEDICAL SUPPLY CO, LLC	BOUNDTREE MEDICAL	MOORE MEDICAL
107	48	56	28

Boundtree Medical was the only bidder to offer pricing on all line items. Nashville Medical, however, submitted the lowest pricing on 107 out of 236 items and offered the highest percentage discount for non-contracted items.

Pricing and Discount on Non-Contract Items Comparison



NATIONAL MEDICAL SUPPLIES		NASHVILLE MEDICAL & EMS PRODUCTS, INC DBA NASHVILLE EMS		MIDWEST MEDICAL SUPPLY CO, LLC		BOUNDTREE MEDICAL		MOORE MEDICAL		HENRY SCHEIN EMS		MEDCO SUPPLIES	
9 NO BID ITEMS		28 NO BID ITEMS		20 NO BID ITEMS		ZERO NO BID ITEMS		13 NO BID ITEMS		Bid Not Evaluated		Bid Not Evaluated	
COMBINED TOTAL	\$2,045.30	COMBINED TOTAL	\$1,613.66	COMBINED TOTAL	\$2,333.59	COMBINED TOTAL	\$2,853.63	COMBINED TOTAL	\$5,201.84	DID NOT SUBMIT RESPONSE ON THE AMENDED PRICE PROPOSAL FORM - ACKNOWLEDGED ADDENDA AS NONE BUT, THERE WERE TWO RELEASED. FIRST ON 1/16/2018 AND THE SECOND ON 1/23/2018. THE SECOND CONTAINS A NEW PRICE PROPOSAL FORM.		DID NOT SUBMIT RESPONSE ON THE AMENDED PRICE PROPOSAL FORM - DID NOT ACKNOWLEDGE ADDENDA #2 RELEASED ON 1/23/2018.	
AVERAGE COST OF ITEM	\$26.63	AVERAGE COST OF ITEM	\$7.80	AVERAGE COST OF ITEM	\$10.80	AVERAGE COST OF ITEM	\$12.09	AVERAGE COST OF ITEM	\$23.33				
Discount %	10-15%	Discount %	40%	Discount %	28%	Discount %	28%	Discount %	0%				
<div style="border: 1px solid black; padding: 2px 10px; display: inline-block;">345</div>													

Recommendation

Staff respectfully requests the Board to award #308-18 IFB Emergency Medical Supplies to Nashville Medical & EMS Products for 208 items with the lowest combined pricing and Bound Tree Medical for the 28 items without an offer from Nashville Medical, with the lowest combined pricing & approve the contracts as submitted for one (1) year term with two (2) renewal options.

Backup material for agenda item:

7. Ratification of FY 2018 Homeland Security Grant Program Application for Emergency Services' K9 Search & Rescue Team



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Emergency Services

Work Session: 22 March 2018

Prepared By: Lanier Swafford

Voting Session: 5 April 2018

Presenter: Lanier Swafford

Public Hearing: Yes _____ No X

Agenda Item Title: Consideration of the application for the FY 2018 Homeland Security Grant for K9 Operations

Background Information:

The purpose of the FY 2018 grant program is to support state and local efforts to prevent terrorism and other catastrophic events and to prepare Georgia for the threats and hazards that pose the greatest risk to its security. Through receipt of this funding stream over the past few years, the Dawson County K9 Search & Rescue Team has been formed and operated providing both local and statewide support.

Current Information:

DCES has received this grant in the past and it was used to fund the department's K9 Search & Rescue Team. If awarded, this grant would allow us funding to provide training, veterinarian services and food for the K9s and their handlers. This is a 100% funded grant with zero (0) match.

Budget Information: Applicable: _____ Not Applicable: X Budgeted: Yes _____ No X

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Motion to approve DCES to apply for FY 2018 Homeland Security Grant Program to support the K9 Search & Rescue Team.

Department Head Authorization: Lanier Swafford

Date: 13 March 2018

Finance Dept. Authorization: Vickie Neikirk

Date: 3/14/18

County Manager Authorization: DH

Date: 3/14/2018

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

348

GEMA/HS Area (click here for [map](#)):

Agency/Department Responsible:

Type of project: (i.e. Search and Rescue, HazMat, CBRNE, EOD, EOD K9, etc.): x

Total Dollar Amount Requested:



2018 Georgia Homeland Security Grant Program Project Investment Justification (IJ)/Application

THERE ARE CHANGES TO THE FORMS COMPARED TO LAST YEAR!

PLEASE READ INSTRUCTIONS FIRST

The State of Georgia is anticipating guidance from DHS on the form and content for the 2018 Homeland Security Grant Program Investment Justifications (IJs)/application. GEMA/HS is providing you this IJ/application form to use as a basis for collecting information on potential projects for funding in 2018. You may distribute this form to any jurisdictions and agencies that have regional projects to propose so that they can begin the process of collecting the required information. All applicants should:

1. **Fill out the form electronically** and save it as a **Microsoft Word file** with a title that describes the GEMA/HS Area, county/city and project number (for example: “*Area #-XXXCounty1.doc*”). Be sure to include a **Budget Worksheet** with each submittal.
2. Applicants should type answers in the gray-colored blocks that appear when they open this file on a computer or check the required checkboxes. The gray-colored blocks will expand as words are typed into them.
3. **GEMA/HS requires that any 2018 IJ/application be accompanied by a completed Budget Worksheet that is electronically submitted along with this application to the email address listed on the front page of this document. As some projects may only be partially funded, if possible and appropriate, the items on the Budget Worksheet should be listed in the order of descending priority, with the most important item first, then second most important next, and so on. Costs for individual items should be rounded to the nearest even amount.**
4. The **deadline for submittal** of IJ/application is 11:59 p.m. on **March 25, 2018**
5. Completed applications and budgets must be emailed to the following address:

hsgrants@gema.ga.gov

All potential sub-recipients must send in an application!

Eligible applicants under the Fiscal Year (FY) 2018 homeland security grants are local units of government (county, city, town, agency of a local government).

Cost share or match is not currently required for the FY 2018 Homeland Security Grant Program.

If you encounter difficulty in utilizing this form or uploading the document, please contact Lee Brown at 404-272-4347 william.brown@gema.ga.gov , or Ray Doyle at 404-407-7621 ray.doyle@gtri.gatech.edu .

INSTRUCTIONS/OVERVIEW

Summary:

The purpose of the FY 2018 grant program is to support state and local efforts to prevent terrorism and other catastrophic events and to prepare Georgia for the threats and hazards that pose the greatest risk to its security. The FY 2018 grant program provides funding to implement investments that build, sustain, and deliver the 32 core capabilities essential to achieving the National Preparedness Goal of a secure and resilient Nation. The FY 2018 grant program supports the core capabilities across the five mission areas of Prevention, Protection, Mitigation, Response, and Recovery based on allowable costs. The budget narrative must clearly identify and explain how the project will assist the applicant to achieve capability targets related to preventing, preparing for, protecting against, or responding to acts of terrorism.

Homeland security grants fund a range of activities, including planning, equipment purchase, training, and exercises across all core capabilities and mission areas. The Homeland Security Grant Program assists state and local preparedness activities that address high-priority preparedness gaps across all core capabilities where a nexus to terrorism exists. All supported investments must be based on capability targets and gaps identified during the Threat and Hazard Identification and Risk Assessment (THIRA) process.

The program is based on risk-driven, capabilities-based strategic plans that outline high-priority needs relating to terrorism preparedness. For these plans to be effective, government officials and elected leaders, working with the whole community, must consider how to sustain current capability levels, while also addressing potential gaps.

Priorities:

Local Projects that align with the State Priorities will be given first priority. All other projects will be considered only if funds remain after State Priority projects meeting the requirements of the FY 2018 Notice of Funding Opportunity have been allocated.

Note: Not all projects/applicants are guaranteed to receive funding. Sustainment of current programs will be given funding priority.

State Priorities:

- Search and Rescue sustainment and equipment
- Law Enforcement Terrorism Prevention equipment and activities (See definitions)
- Regional, Deployable, Interoperable Communications equipment (P25 compliant)
- CBRNE protective response and mitigation equipment (for qualified teams)
- EOD/IED Detection and Deterrence through FBI-accredited Bomb Squads
- Law Enforcement SRT/SWAT response to acts of terrorism
- HazMat/WMD response to acts of terrorism
- Georgia State Fusion Center/Information Sharing and Analysis
- Active Shooter Preparedness and Response
- Citizen Preparedness/Citizen Corps Program (CCP) sustainment

Equipment:

The 21 allowable prevention, protection, mitigation, response, and recovery equipment categories and equipment standards for HSGP are listed on the Authorized Equipment List (AEL). The AEL can be reviewed by clicking on this [link](#).

Unless otherwise stated, **all equipment must meet all mandatory regulatory and/or DHS/FEMA adopted standards and be listed on the AEL to be eligible for purchase using these funds.** In addition, agencies will be responsible for obtaining and maintaining all necessary certifications and licenses for the requested equipment.

Unallowable Costs/Prohibited Equipment:

Per FEMA policy, **the purchase of weapons and weapons accessories** is not allowable under the Homeland Security Grant Program.

GEMA/HS is not currently accepting projects that include the purchase of drones, UAVs, etc.

Controlled Equipment:

Grant funds may be used for the purchase of Controlled Equipment; however, because of the nature of the equipment and the potential impact on the community, there are additional and specific requirements in order to acquire this equipment. Refer to Grant Programs Directorate IB 407a *Use of Grant Funds for Controlled Equipment: Update for Fiscal Year 2017* for the complete Controlled Equipment List, information regarding the Controlled Equipment Request Form, and a description of the specific requirements for acquiring controlled equipment with DHS/FEMA grant funds.

For a complete list of both **prohibited** and **controlled** equipment found in IB 407a *Use of Grant Funds for Controlled Equipment: Update for Fiscal Year 2017* click [here](#).

Proposed Budgets:

Wherever possible in your budget request, please round the figure to the next even amount. Do not use “cents.” Use, for example, “\$10.00” instead of “\$9.59.”

INSTRUCTIONS FOR COMPLETING THE APPLICATION:

Please complete **all sections** of the following form, also, be sure to fill in the boxes at the top of the cover page, above. The gray boxes will expand to accommodate the words as they are typed in the form. There are several hyperlinks in the form that will connect you to documents and web sites that will provide you with information needed to complete the application.

IMPORTANT: Note that GEMA/HS requires that any 2018 IJ/application be **accompanied by a completed Budget Worksheet that is electronically submitted along with this application to the email address listed on the front page of this document.** As some projects may only be partially funded, if possible and appropriate, the items on the Budget Worksheet should be listed in the order of descending priority, with the most important item first, then second most important next, and so on. Costs for individual items should be rounded to the nearest even amount.

2018 GEORGIA INVESTMENT GRANT APPLICATION

Contact Information

Name and type of Agency applying for funding: Dawson County Emergency Services

GEMA/HS Area (click for [map](#)): 1

Agency DUNS Number: 039486055 (usually obtainable from your Finance section)

Information for chief executive who has authority to sign contracts (Usually the County Commissioner, Mayor, or Sheriff)

Name: Chairman Billy Thurmond

Phone: office 706-344-3501 mobile 706-525-9255

Mailing Address: 25 Justice Way, Dawsonville, Ga.

E-mail: Chairman@dawsoncounty.org

Zip Code: 30534 - (Zip Code + 4 required)

Information for Point of Contact who will manage the grant locally

Name: Danny Speaks

Phone: office 706-344-3666 mobile 706-974-1016

Mailing Address: 393 Memory Lane, Dawsonville, Ga.

E-mail: dspeaks@dawsoncounty.org

Zip Code: 30534 - (Zip Code + 4 required)

Project Information:

Total Project Budget Requested: \$14,400.00

Title of project (example: Search and Rescue, HazMat, CBRNE, EOD, EOD K9, etc.):

GSAR K9

Summarize the proposed project, including its purpose and how it aligns with the state’s funding priorities for 2018 (no more than 250 words):

Training and certification expenses for handlers and K9's. Maintenance for the K9's including food, veterinary and medical expenses. All Type 1 certifications will require out of state travel.

What type of project is this?

Building New Capability Sustaining Existing Capability

Will these funds supplant other funding for this project (example: SPLOST or other local funds already planned for use to do this project)?

Yes No

Check which **two** (2) Core Capabilities are primarily addressed by this proposed project:

- | | |
|--|--|
| <input type="checkbox"/> Access Control and Identity Verification | <input type="checkbox"/> Operational Coordination |
| <input type="checkbox"/> Community Resilience | <input type="checkbox"/> Physical Protective Measures |
| <input type="checkbox"/> Critical Transportation | <input type="checkbox"/> Planning |
| <input type="checkbox"/> Cyber Security | <input type="checkbox"/> Fire Management and Suppression |
| <input type="checkbox"/> Economic Recovery | <input type="checkbox"/> Public Health, Healthcare, and Emerg.Med.Services |
| <input type="checkbox"/> Environmental Response/Health and Safety | <input type="checkbox"/> Public Information and Warning |
| <input type="checkbox"/> Fatality Management Services | <input type="checkbox"/> Risk and Disaster Resilience Assessment |
| <input type="checkbox"/> Forensics and Attribution | <input type="checkbox"/> Risk Management for Protection Programs & Activ. |
| <input type="checkbox"/> Health and Social Services | <input checked="" type="checkbox"/> Screening, Search, and Detection |
| <input type="checkbox"/> Housing | <input type="checkbox"/> Situational Assessment |
| <input type="checkbox"/> Infrastructure Systems | <input type="checkbox"/> Supply Chain Integrity and Security |
| <input type="checkbox"/> Intelligence and Information Sharing | <input type="checkbox"/> Threats and Hazard Identification |
| <input type="checkbox"/> Interdiction and Disruption | |
| <input type="checkbox"/> Long-Term Vulnerability Reduction | |
| <input type="checkbox"/> Logistics and Supply Chain Management | |
| <input type="checkbox"/> Mass Care Services | |
| <input checked="" type="checkbox"/> Mass Search and Rescue Operations | |
| <input type="checkbox"/> Natural and Cultural Resources | |
| <input type="checkbox"/> On-Scene Security, Protection and Law Enforcement | |
| <input type="checkbox"/> Operational Communications | |

Estimate the amount of the funding you are requesting that will be used to strengthen each Core Capability addressed by the project:

Core Capability	Amount of Proposed Funding
Mass Search and Rescue Operations	\$6800.00
Screening, Search and Detection	\$7600.00
Total:	\$14,400.00

Estimate the amount of the funding you are requesting that will be used to strengthen each Solution Area addressed by the project:

Solution Areas (POETE)	Amount of Proposed Funding
Planning	\$3000.00
Organization	\$2400.00
Equipment	\$3600.00
Training	\$4000.00
Exercises	\$1400.00
Total:	\$14,400.00

GEMA/HS requires that any 2018 investment justifications/requests be accompanied by a completed **Budget Worksheet** which can be downloaded by clicking [here](#) and *enabling the macros*. The Budget Worksheet must be completed and electronically submitted along with this application to the email address listed on the front page of this document.

How much of the funding in the proposed project can be associated with Law Enforcement Terrorism Prevention Activities (LETPA)? This could include activities and equipment with a nexus to terrorism that are focused on information sharing and analysis; target hardening; threat recognition; terrorist interdiction; fusion center operation; or training/exercises associated with these activities.

\$0

Briefly explain how this project will support LETPA:

Provide up to four major milestones and their associated completion dates that will be required to complete the project:

- a. To have K9's and Handlers tested to the level of Type 1
- b. Having all teams able to deploy
- c. To keep all teams ready to deploy on a daily basis
- d. To have all teams equipped, trained and ready to deploy and care for Georgia's citizens

Projects that are not classroom training and are not simply (portable) equipment purchases will require an Environmental and Historic Preservation (EHP) Review to be done before work begins. For example, if your proposed project involves modifying buildings, drilling holes, pouring slabs, digging or moving soil, building or modifying communications towers, adding security fences or other physical changes to the environment, have the costs for this EHP review process been included in your estimate above?

Yes No

If you wish to review the EHP screening form or program requirements, they can be found at the FEMA EHP site by clicking [here](#).

If you encounter difficulties using the links embedded in the text above, the information described can be found at the following websites:

GEMA/HS Area Map:

<http://www.gema.ga.gov/PlanPrepare/Documents/Field%20and%20School%20Safety%20Areas%20June%202017%20Without%20Names.pdf>

FEMA/DHS Authorized Equipment List:

<https://www.fema.gov/authorized-equipment-list>

IB 407a: Use of Grant Funds for Controlled Equipment: Update for Fiscal Year 2017

https://www.fema.gov/media-library-data/1485452831667-ab397ce1d370652ec49c25a280419af4/IB_407a_Controlled_Equipment_FY2017_Update_GPD_FINAL_508.pdf

FEMA Environmental and Historic Preservation Information:

<https://www.fema.gov/environmental-and-historic-preservation>

2018 GEMA/HS Budget Worksheet

<http://www.gintraining-files.gatech.edu/files/FY18APPLICATIONBW.xls>

GEORGIA EMERGENCY MANAGEMENT AND HOMELAND SECURITY AGENCY

(SHADED AREAS ARE FOR GEMA/HS USE ONLY)

2018 DETAILED BUDGET REQUEST

For use with HSGP: State Homeland Security Program, Urban Area Security Initiative; Non-Profit Security Grant Program

Law Enforcement Terrorism Prevention Award? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	State on Behalf of Locals: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
---	--

GAN#:	Grant Number:	Revision#:	Area: 1
-------	---------------	------------	---------

DATE:	3/1/2018	SUBRECIPIENT NAME:	Dawson County Emergency Services	FEID:	58-6011882	COUNTY:	Dawson
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CONTRACT CONTACT:	NAME/TITLE	Billy Thurmond/BOC Chairman	ADDRESS:	25 Justice Way, Suite 2313, Dawsonville, Ga. 30534			
	PHONE:	706-344-3501	EMAIL:	chairman@dawsoncounty.org			

PROGRAM CONTACT:	NAME/TITLE	Danny Speaks/ Deputy Chief	ADDRESS:	393 Memory Lane Dawsonville, Ga. 30534			
	PHONE:	706-344-3666	EMAIL:	dspeaks@dawsoncounty.org			

Specify the Investment Justification associated with the project to be funded. **Choose one from the drop-down list below:**

Investment Justification:	5. Sustain, Maintain, and Enhance Public Safety Response Teams Equipment
---------------------------	--

Specify Discipline on this line: Fire, Law Enforcement (LE), EMS, EMA, 911, Other. **Choose one from the drop-down list below:**

Discipline:	Fire
-------------	------

COST ESTIMATE

ITEM	CATEGORY	ITEM	AEL #	QUANTITY	UNIT PRICE	TOTAL COST
001	SAR	K9 Food		4	\$ 750.00	\$ 3,000.00
002	SAR	Veterinary Expense		4	\$ 600.00	\$ 2,400.00
003	SAR	K9 Equipment		4	\$ 350.00	\$ 1,400.00
004	SAR	Training for K9 and Handler		4	\$ 1,000.00	\$ 4,000.00
005	SAR	PPE for Handlers		4	\$ 900.00	\$ 3,600.00
006						\$ -
007						\$ -
008						\$ -
009						\$ -
010						\$ -
011						\$ -
012						\$ -
013						\$ -
014						\$ -
015						\$ -
016						\$ -
017						\$ -
018						\$ -
019						\$ -
020						\$ -

GEMA/HS Program Manager:	Ronnie Register	Program:	GSAR	TOTAL	\$ 14,400.00
Prepared By:	Ronnie Register	Title:	Fire Services Coordinator		

Category - The above chart must indicate a category with each line. Choose one from the drop-down list.

- | | | | |
|--|-------------------------------------|-----------------------------------|-------------------------|
| 1. Personal Protective Equipment (PPE) | 8. Decontamination (DECON) | 15. Inspection and Screening (IS) | 22. Training (TRG) |
| 2. EOD | 9. Medical (MED) | 16. Animal and Plants (A&P) | 23. Exercise (EX) |
| 3. CBRNE Operational & Search & Rescue (SAR) | 10. Power (POW) | 17. Watercraft (WC) | 24. Planning (PLG) |
| 4. Information Technology (IT) | 11. CBRNE Reference Materials (REF) | 18. Aviation (AIR) | 25. Citizen Corps (CCP) |
| 5. Cyber Security (CS) | 12. CBRNE Response Vehicles (VEH) | 19. CBRNE Logistical Support (LS) | |
| 6. Interoperable Communications (IOC) | 13. Terrorism Prevention (TP) | 20. Intervention (INT) | |
| 7. Detection (DET) | 14. Physical Security (PS) | 21. Other Authorized (O) | |

Backup material for agenda item:

8. Consideration of Request to Write Off Old Debt for Ambulance Billing



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Finance

Work Session: 3/22/18

Prepared By: Vickie Neikirk

Voting Session: 3/29/18

Presenter: Vickie Neikirk

Public Hearing: Yes _____ No x

Agenda Item Title: Write-off of old ambulance accounts

Background Information:

In 2017, the county contracted with a new billing company and a collection agency. It was determined this was necessary to attempt to collect outstanding debt owed to the county.

Current Information:

The billing company and collections agency has been working to collect outstanding debts. However, because of the old status of many of these bills, they just need to be written off. For the year ending 2017, the amount of \$557,080.94 needs to be written off. This is a total of 1,437 accounts. These accounts are from 2010-2014. Because we expense money each year for the cost of bad debt, this write off will not be an additional expense on the county's books.

Budget Information: Applicable: _____ Not Applicable: _____ Budgeted: Yes _____ No _____

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining
100	0000	111931	n/a			

Recommendation/Motion: To approve the write off of \$557,080.94

Department Head Authorization: Vickie Neikirk

Date: 3/15/18

Finance Dept. Authorization: _____

Date: _____

County Manager Authorization: DH

Date: 3/15/2018

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Backup material for agenda item:

9. Consideration of Board Appointments:

a. Tax Assessors Board

i. Jo Ann Overstreet Hause- *replacing Kendy Bennett* (Term: April 2018 through December 2022)

b. Tree Preservation Committee

i. George Lyons- *reappointment* (Term: April 2018-December 2021)

ii. Bob Speight- *reappointment* (Term: April 2018-December 2021)

iii. Judy Baer- *appointment to chair* (Currently Serving: January 2011-December 2018)

DAWSON COUNTY BOARD OF COMMISSIONERS
APPLICATION FOR APPOINTMENT TO COUNTY
BOARDS AND AUTHORITIES



The Dawson County Board of Commissioners accepts applications for appointments. Interested parties should submit this form and supporting documentation to the County Clerk.

Board or Authority Applied for: Board of Assessors

Name: Jo Ann Overstreet Hause

Home Address: 301 Thompson Road

City, State, Zip: Dawsonville, Georgia 30534

Mailing Address (if different) _____

City, State, Zip _____

Telephone Number: 706-265-8393 (Home) **Alternate Number:** ,

Fax Telephone Number _____

E-Mail Address: .

Additional information you would like to provide:

I grew up in Dawson County and married a career Air Force officer. Upon his retirement, we moved back to Gainesville, Georgia in 1994 and then to Dawson County in 2003. I am very interested in the growth of the county and appropriate use of our natural resources.

Signature Jo Ann O. Hause **Date** 10 January 2018

Please note: Submission of this application does not guarantee an appointment.

Return to: Dawson County Board of Commissioners
Attn: County Clerk
25 Justice Way, Suite 2313
Dawsonville, GA 30534
(706) 344-3501 FAX: (706) 344-3889

JO ANN OVERSTREET HAUSE
301 Thompson Road
Dawsonville, Georgia 30534
706-265-3170 (Home)

OBJECTIVE: To become an effective and productive member of the Dawson County Tax Assessor Board.

JOB History:

1995-2015: Brenau University, beginning as Administrative Assistant to the Vice President for Academic Affairs and retiring as the Executive Assistant to the Provost.

1992-1994: Air Force Enlisted Widows Foundation, Shalimar, Florida:
Secretary

Education:

Masters of Science in Education, University of Southern California, 1976
Bachelors of Science, College of Charleston, 1972
High School Diploma, Dawson County High School, 1968

Dawson County Activities:

Member of Bethel United Methodist Church; serving as Children's Sunday School Teacher, Secretary of the United Methodist Women, and member of the SPR Committee.

Member and former officer, Heart in Hand Quilt Guild of Dawsonville.

Former Dawson County CASA (Court Appointed Special Advocate)



DAWSON COUNTY BOARD OF COMMISSIONERS

Billy Thurmond
Chairman

Sharon Fausett
Commissioner
District One

Chris Gaines
Commissioner
District Two

Jimmy Hamby
Commissioner
District Three

Julie Hughes Nix
Commissioner
District Four

David Headley
County Manager

Kristen Cloud
County Clerk

April 5, 2018

State of Georgia
Department of Revenue
Local Government Services Division

To Whom It May Concern:

This is to certify that Jo Ann Overstreet Hause resides in Dawson County, is at least 21 years of age and holds a high school diploma or equivalent.

Thank you,

Billy Thurmond, Chairman
Dawson County Board of Commissioners

Dawson County
Government Center
25 Justice Way
Suite 2313
Dawsonville, GA 30534
Phone 706-344-3501
Fax 706-344-3504

RESOLUTION FOR THE APPOINTMENT TO THE
DAWSON COUNTY BOARD OF TAX ASSESSORS

WHEREAS, there is a vacancy on the Board of Assessors; and

WHEREAS, the law requires the County Commission must appoint a successor when a vacancy occurs; and

WHEREAS, the person appointed will serve a term of 5 years;

NOW THEREFORE BE IT RESOLVED, the DAWSON County Board of Commissioners appoints Jo Ann Overstreet Klause to the DAWSON County Board of Tax Assessors with this term of office to begin on April 5, 2018 and expire on December 31, 2022.

ADOPTED this 5th day of April 2018.

DAWSON COUNTY BOARD OF COMMISSIONERS

Chairman

ATTEST:

County Clerk

DAWSON COUNTY BOARD OF COMMISSIONERS
APPLICATION FOR APPOINTMENT TO COUNTY
BOARDS AND AUTHORITIES



The Dawson County Board of Commissioners accepts applications for appointments. Interested parties should submit this form and supporting documentation to the County Clerk.

Board or Authority Applied for Tree Conservation Committee

Name George Lyons

Home Address 2732 Highway 9 S.

City, State, Zip DAWSONVILLE, GA. 30534

Mailing Address (if different) _____

City, State, Zip _____

Telephone Number 706-265-3328 Alternate Number _____

Fax Telephone Number 706-265-3328

E-Mail Address: _____

Additional information you would like to provide:

Signature George H. Lyons Date 3/6/18

Please note: Submission of this application does not guarantee an appointment.

Return to: Dawson County Board of Commissioners
Attn: County Clerk
25 Justice Way, Suite 2335
Dawsonville, GA 30534
(706) 344-3501 FAX: (706) 344-3504

George Lyons

2732 Highway 9 S Dawsonville, GA 30535 |706-265-3328

Objective

To be a member of the Tree Conservation Committee

Education

BS BUSINESS ADMINISTRATION JUNE 1965 NORWICH UNIVERSITY

- Major: Economics

Skills & Abilities

MANAGEMENT

- I supervised sales people, office workers, dock workers and drivers for Roadway Express Inc.

SALES

- While I was the terminal manager in Marietta, I also handled our sales calls. We were able to grow our business, to the point, where we were able to hire a full time sales person.

COMMUNICATION

- I taught the forty- five pistol course for the military police and advanced infantry training at Fort Gordon.

LEADERSHIP

I was past president of the Amicalola Cattlemen's Association. I am presently the secretary of the Chestatee- Chattahoochee R C& D Council and treasure of the Upper Chattahoochee River SWCD and a member of the Dawson County Tree Preservation Committee.

Experience

LIEUTENANT U.S. ARMY FORT GORDON, GA 1965- 1967

- Training officer for a basic training company, instructor and range officer for the 45 pistol and close combat course.

MANAGEMENT ROADWAY EXPRESS INC. OCTOBER 1967 TO MAY 1999

- After completing a one year training program, managed dock workers, drivers, office employees and sales people at ten different locations throughout my career.

DAWSON COUNTY BOARD OF COMMISSIONERS
APPLICATION FOR APPOINTMENT TO COUNTY
BOARDS AND AUTHORITIES



The Dawson County Board of Commissioners accepts applications for appointments. Interested parties should submit this form and supporting documentation to the County Clerk.

Board or Authority Applied for Dawson County Tree Preservation Committee

Name Robert ("Bob") E. Speight

Home Address 135 Sullivan Drive

City, State, Zip Dahlonega, GA 30533

Mailing Address (if different) Same

City, State, Zip Same

Telephone Number 706-867-1293 **Alternate Numbers** (Dawson County) 770-503-1144 (Gainsville)

Fax Telephone Number NA

E-Mail Address _____

Additional information you would like to provide:

While my "Home" mailing address is through the Dahlonega, GA. US Post Office, my home at 135 Sullivan Drive, Dahlonega, GA 30533 is located in Dawson County, GA !

Signature Robert E. Speight **Date** Feb. 23, 2018

Please note: Submission of this application does not guarantee an appointment.

March 2, 2018

RESUME : ROBERT E. SPEIGHT

Born: 12 / 05 /1942, Suffolk, VA.

Education: Suffolk Va. *Public Schools*: **Mason Elementary**, and **Suffolk High School**, Suffolk, VA ,

North Carolina State College, Raleigh, N.C: Freshman Year only;

University of North Carolina, Chapel Hill, N.C: 3 years, graduating with B.A. Degree, with Honors.

Career Overview:

Hired immediately from College by **Foote & Davies Printing Company**, Atlanta, GA, where I worked from 1964 to 2002, seeing the company purchased several times, and growing into **World Color Press**, the 2nd largest printer in the United States. I ended as Vice President of Sales with pre-press, manufacturing, and distribution responsibilities for major United States print customers. I resigned in 2002 after 38 years with the company and its successors.

I then formed a specialty manufacturing company, **WEB INSERTS, INC.**, which produced specialty “printed inserts” and production components for national catalogs and magazines, basing the company in Gainesville, GA. The company succeeded, and World Color Press purchased it from me, and other stock holders, after 5 years. I then truly retired!

While always living in or near Atlanta, my wife and I, and 2 children, enjoyed the outdoors, so we purchased mountain acreage over the years in north Dawson Co., GA. where we initially built our own "log cabin." Around 2000, we had a proper home built, with a lake, where we now spend much of our time! We also maintain a "retirement apartment" in Gainesville, looking forward to the time when we will no longer be able to maintain our independence!

Dawson Co. Address: 135 Sullivan Drive , Dahlonega, GA 30533-3644

Home Phone: 706-867-1293

Cell Phone:

Gainesville Address: 4211 Misty Morning Way, Apt. 2412

Gainesville, GA 30506-4354

Home Phone: 770-503-1144

Cell Phone:

A handwritten signature in blue ink, appearing to read "Robert Springer".

Backup material for agenda item:

10. Consideration of Annexations #C8-00085 through #C8-00089 and #C8-00099 through #C8-00103

The following items are included in this certified mailing 3/12/2018:

ANX #C8-00085	SCARBOROUGH	922 PERIMETER ROAD
ANX #C8-00086	MULBERRY	441 GOLD BULLION DRIVE W
ANX #C8-00087	SMITH-RICHARDSON-1	324 HOWSER MILL ROAD
ANX #C8-00088	SMITH-RICHARDSON-2	372 HOWSER MILL ROAD
ANX #C8-00089	CHANTHAVONG	295 BURT CREEK ROAD

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 8, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Juanita Scarborough: ANX# C8-00085

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Juanita Scarborough. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, which appears to read "Casey Majewski".

Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-00085

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED ?** YES NO

Applicant Name(s): Juanita Scarborough

Mailing Address PO Box 1886 City Dawsonville State GA Zip 30534

E-Mail smokyntndreams@aol.com

Applicant Telephone Number(s): 404-202-6291

Property Owner's Name(s): Juanita Scarborough

Mailing Address Same as above City _____ State _____ Zip _____

E-Mail _____

Property Owner's Telephone Number(s): _____

Address of Property to be Annexed: 922 Perimeter Rd VACANT LOT

Tax Map & Parcel # D05 020 Property Size in Acres: 0.74 Survey Recorded in Plat Book # 8 Page # 120

Land Lot # _____ District # _____ Section # _____ Legal Recorded in Deed Book # 843 Page # 407

Current Use of Property: residential

County Zoning Classification: VCR City Zoning Classification: R2

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 1/2 x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____
2. Number of persons currently residing on the property: 3; VACANT
 Number of persons 18 years or older: 3; Number of persons registered to vote: 0
3. The number of all residents occupying the property:

<input type="checkbox"/> American Indian	<input type="checkbox"/> Alaskan Native
<input type="checkbox"/> Asian	<input type="checkbox"/> Pacific Islander
<input type="checkbox"/> Black, not of Hispanic Origin	<input type="checkbox"/> Hispanic
<input checked="" type="checkbox"/> White, not of Hispanic Origin	<input type="checkbox"/> VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
922 Perimeter Road Dawsonville GA
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
stay the same
- D. Names of affected Subdivision: N/A
- E. Name of affected Multi-Family Complex: N/A
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):
N/A
- G. Names of affected Duplexes: N/A
- H. Names of Mobile Home Parks: N/A



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 922 Perimeter Road (Address/Tax Map Parcel), respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1)	<u>Juanita D. Scarborough</u> Property Owner Signature	<u>Juanita D. Scarborough</u> Property Owner Printed Name
(2)	_____ Property Owner Signature	_____ Property Owner Printed Name
(1)	<u>Juanita D. Scarborough</u> Applicant Signature	<u>Juanita D. Scarborough</u> Applicant Printed Name
(2)	_____ Applicant Signature	_____ Applicant Printed Name

Sworn to and subscribed before me
 this 5 day of March 2018.

Nalita Y. Copeland
 Notary Public, State of Georgia



**Nalita Y. Copeland
 NOTARY PUBLIC
 Dawson County, Georgia
 My Commission Expires
 May 15, 2019**

My Commission Expires: May 15, 2019

Notary Seal

Annexation Application Received Date Stamp:	Rec'd <u>3/5/18</u>	Completed Application with Signatures
	Rec'd _____	Current Boundary Survey
	Rec'd _____	Legal Description
	Rec'd <u>3/5/18</u>	ARC Population Estimate Information
Planning Commission Meeting Date (if rezone):	<u>4/9/18</u>	
Dates Advertised:	<u>3/21/18</u>	<u>3/28/18</u>
1 st City Council Reading Date:	<u>4/23/18</u>	
2 nd City Council Reading Date:	<u>5/7/18</u>	Approved: YES NO
Date Certified Mail to:	_____ County Board of Commissioners & Chairman	_____ County Manager _____ County Attorney
<input type="checkbox"/>	Letter Received from Dawson County	Date: _____

PAID \$ 100.00
DATE 12-6-07
Dee McCard
CLERK OF SUPERIOR COURT

042-07-001946

GEORGIA, DAWSON COUNTY
CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD

AT 11:15A M 12-5-07
Recorded in Deed Book 843 Page 407-408
This 6 day of Dec. 2007

After Recording Return
J. Bristow Anderson, P.C.
925 Sanders Road, Suite A
Cumming, GA 30041

Dee McCard, Clerk

EXECUTOR'S DEED

STATE OF GEORGIA

COUNTY OF FORSYTH

THIS INDENTURE, made this 3rd day of December, 2007, between JAN S. CREEL as Executor of the Last Will and Testament of HOYT WILLIAM SCARBOROUGH (hereinafter referred to as the "Deceased"), late of Dawson County, Georgia (hereinafter referred to as "Grantor") and CHARLES JAMES SIBURT, DAWN M. SIBURT AND JUANITA D. SCARBOROUGH, as Joint Tenants with Right of Survivorship and not as Tenants in Common (hereinafter referred to as "Grantee") ("Grantor" and "Grantee" to include their respective heirs, successors, executors, administrators, legal representatives and assigns where the context requires or permits).

WITNESSETH

GRANTOR (acting under and by virtue of the power and authority contained in the Will of the Deceased having been duly probated and recorded in the Court of Probate of Dawson County, Georgia), for and in consideration of the sum of One Dollar (\$1.00) in hand paid at and before the sealing and delivery of these presents (the receipt of which is hereby acknowledged), has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY REFERENCE.

TO HAVE AND TO HOLD the land with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of Grantee forever, in as full and ample a manner as the same was held, possessed and enjoyed, or might have been held, possessed and enjoyed, by the Deceased.

EXECUTED under seal as of the date above.

GRANTOR:

Signed, sealed and delivered in
the presence of:

[Signature]
Unofficial Witness

[Signature]
Notary Public

J. S. Creel, as Executor
JAN S. CREEL, EXECUTOR of the
Last Will and Testament of HOYT
WILLIAM SCARBOROUGH

J. BRISTOW ANDERSON
NOTARY PUBLIC
Fulton County
State of Georgia
My Comm. Expires Jan. 2008

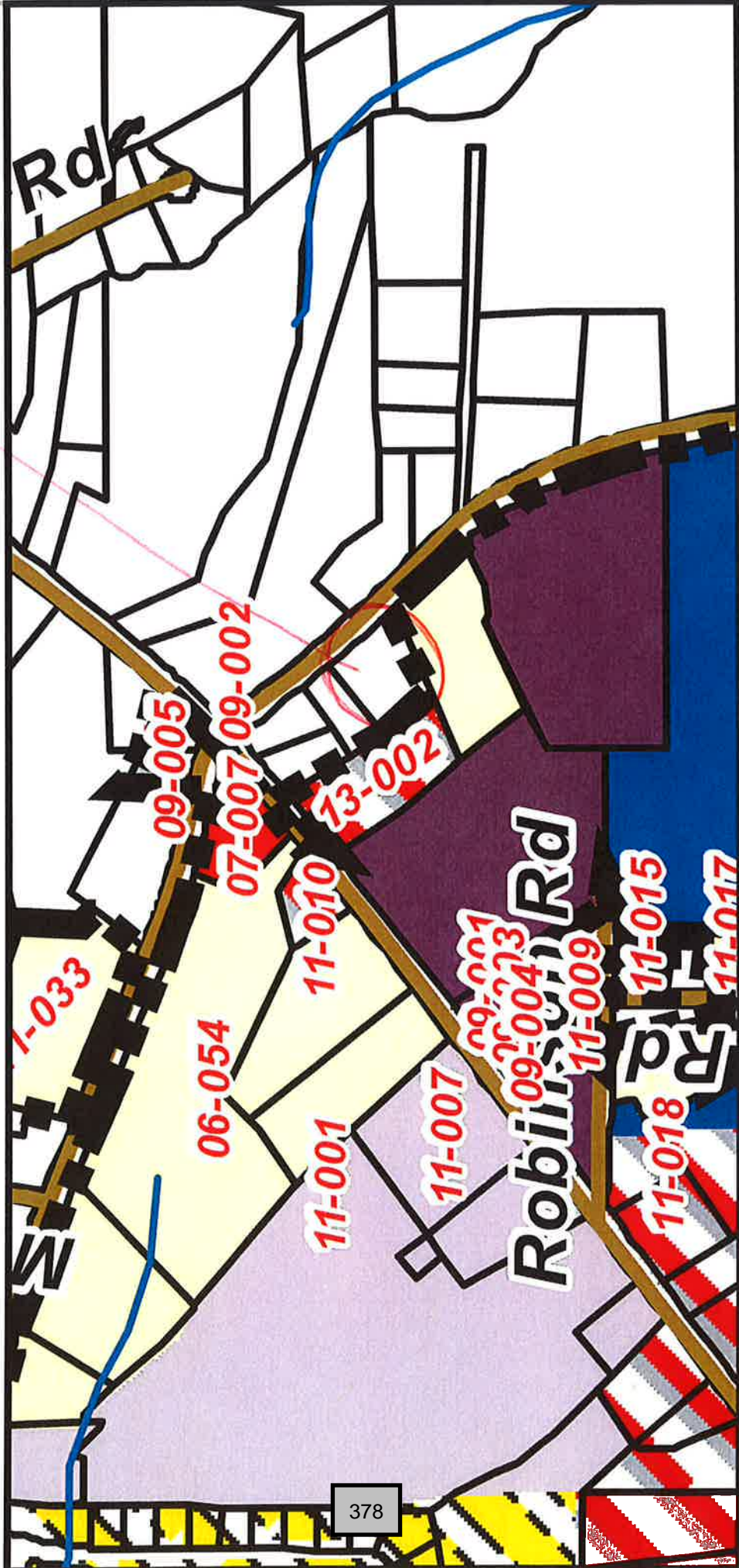
EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 371 of the North half of the 13th District of Dawson County, Georgia, and being more particularly described as follows:

BEGINNING at a point on the South right-of-way of the Dawsonville By-Pass, which point is 259.55 feet East of the intersection of the East right-of-way of Highway #19 with the South right-of-way of the Dawsonville By-Pass, and going thence S 36 degrees 42' E 31.0 feet to an iron pin set; going thence S 40 degrees 47' E 76.58 feet to a point; going thence S 44 degrees 00' 33" E 77.45 feet to an iron pin found; going thence S 64 degrees 42' W 199.03 feet to an iron pin; going thence N 43 degrees 45' 30" W 155.18 feet to an iron pin set; going thence N 64 degrees 57' E 14.76 feet to an iron pin set; going thence N 55 degrees 20' 19" E 181.84 feet to a point on the South right-of-way of the Dawsonville By-Pass, which point is the POINT OF BEGINNING.

Said tract containing 0.74 acres according to plat for James E. Sheffield by Owen Patton, dated February 23, 1979, and recorded in Plat Book 8, Page 120, Dawson County, Georgia Plat Records.

TMP DOS 020



415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 8, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Michael J. and Amy E. Mulberry: ANX# C8-00086

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Michael J. and Amy E. Mulberry. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,


Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-000876

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED ?** YES NO

Applicant Name(s): Michael J. Mulberry Amy E. Mulberry

Mailing Address 441 Gold Bullion Dr. W City Dawsonville State GA Zip 30534

E-Mail m-mulberry@yahoo.com

Applicant Telephone Number(s): 706-974-8482

Property Owner's Name(s): Michael J. Mulberry Amy E. Mulberry

Mailing Address 441 Gold Bullion Dr W City Dawsonville State GA Zip 30534

E-Mail m-mulberry@yahoo.com

Property Owner's Telephone Number(s): 706-974-8482

Address of Property to be Annexed: 441 Gold Bullion Dr. W Dawsonville VACANT LOT

Tax Map & Parcel # 090 091 Property Size in Acres: .92 Survey Recorded in Plat Book # 49 Page # 83

Land Lot # 35 + 102 District # 4 Section # 1 Legal Recorded in Deed Book # 49 Page # 83

Current Use of Property: Residence

County Zoning Classification: RPC City Zoning Classification: PUD / R2

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____
2. Number of persons currently residing on the property: 6; VACANT
 Number of persons 18 years or older: 2; Number of persons registered to vote: 2
3. The number of all residents occupying the property:
 American Indian Alaskan Native
 Asian Pacific Islander
 Black, not of Hispanic Origin Hispanic
 White, not of Hispanic Origin VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
441 Gold Bullion Dr. W
Dawsonville, GA 30534
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Stay the same
- D. Names of affected Subdivision: Gold Creek
- E. Name of affected Multi-Family Complex: _____
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):

- G. Names of affected Duplexes: _____
- H. Names of Mobile Home Parks: _____



City of Dawsonville

P.O. Box 6
415 Highway 53 East, Suite 100
Dawsonville, GA 30534
Phone: (706) 265-3256

Annexation Petition
into the
City of Dawsonville, GA

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as
441 Gold Bullion Dr. Dawsonville, GA (Address/Tax Map Parcel), respectfully
request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the
City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true
and accurate to the best of our knowledge.

(1) [Signature]
Property Owner Signature
(2) [Signature]
Property Owner Signature
(1) [Signature]
Applicant Signature
(2) [Signature]
Applicant Signature

Michael J. Mulberry
Property Owner Printed Name
Amy E. Mulberry
Property Owner Printed Name
Michael J. Mulberry
Applicant Printed Name
Amy E. Mulberry
Applicant Printed Name

Sworn to and subscribed before me
this 23 day of February 20 18.

Kristine M. McGarvey
Notary Public, State of Georgia



My Commission Expires: _____

Notary Seal

Annexation Application Received Date Stamp: Rec'd 3/5/18 Completed Application with Signatures
Rec'd " " Current Boundary Survey
Rec'd " " Legal Description
Rec'd " " ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18

Dates Advertised: 3/21/18 3/28/18

1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18

Approved: YES NO

Date Certified Mail to: _____ County Board of Commissioners & Chairman _____ County Manager _____ County Attorney

Letter Received from Dawson County Date: _____

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 35 AND 102 OF THE 4TH DISTRICT OF DAWSON COUNTY, GEORGIA, AND BEING LOT 7, BLOCK F, UNIT 3, GOLD CREEK GOLF CLUB, AS PER PLAT RECORDED IN PLAT BOOK 49, PAGE 83, DAWSON COUNTY, GEORGIA RECORDS, SAID PLAT BEING INCORPORATED HEREIN BY REFERENCE FOR A MORE COMPLETE DESCRIPTION.

11A11

49-83

HEALTH DEPARTMENT NOTES:

- A. BLOCK F, LOT 1: DENIED.
- B. BLOCK F, LOT 2: DENIED.
- C. BLOCK F, LOT 3: DENIED.
- D. BLOCK F, LOT 4: DENIED.
- E. BLOCK F, LOT 5: DENIED.
- F. BLOCK F, LOT 6: DENIED.
- G. BLOCK F, LOT 7: DENIED.
- H. BLOCK F, LOT 8: DENIED.
- I. BLOCK F, LOT 9: DENIED.
- J. BLOCK F, LOT 10: DENIED.
- K. BLOCK F, LOT 11: DENIED.
- L. BLOCK F, LOT 12: DENIED.
- M. BLOCK F, LOT 13: DENIED.
- N. BLOCK F, LOT 14: DENIED.
- O. BLOCK F, LOT 15: DENIED.
- P. BLOCK F, LOT 16: DENIED.
- Q. BLOCK F, LOT 17: DENIED.
- R. BLOCK F, LOT 18: DENIED.
- S. BLOCK F, LOT 19: DENIED.
- T. BLOCK F, LOT 20: DENIED.
- U. BLOCK F, LOT 21: DENIED.
- V. BLOCK F, LOT 22: DENIED.
- W. BLOCK F, LOT 23: DENIED.
- X. BLOCK F, LOT 24: DENIED.
- Y. BLOCK F, LOT 25: DENIED.
- Z. BLOCK F, LOT 26: DENIED.

IN ACCORDANCE WITH THE COMMISSION REGULATIONS FOR DAVENPORT COUNTY, GEORGIA, ALL PLANS FOR THE SUBDIVISION OF LAND MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION AND THE DAVENPORT COUNTY BOARD OF COMMISSIONERS ON OR BEFORE THE DATE OF THE MEETING OF SAID BOARD OF COMMISSIONERS.

PROFESSIONAL DAVENPORT COUNTY BOARD OF COMMISSIONERS

GEORGIA DAVENPORT COUNTY
CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD

AT 2:30 A.M. 4-13-2000
THE 13th day of April 2000
[Signature]
CLERK



IN ANY CHANCE, THIS PLAN IS A CORRECT REPRESENTATION OF THE LAND PLATTED HEREON AND THE NEIGHBORHOOD AND RECORDS OF THE COUNTY.

A FURTHER COPY OF THIS PLAN, WHICH WAS USED IN THE PREPARATION OF THIS PLAN, IS ON FILE IN THE OFFICE OF THE CLERK OF THE SUPERIOR COURT, DAVENPORT COUNTY, GEORGIA, AND IS AVAILABLE FOR INSPECTION BY ANY PERSON AT ANY TIME.

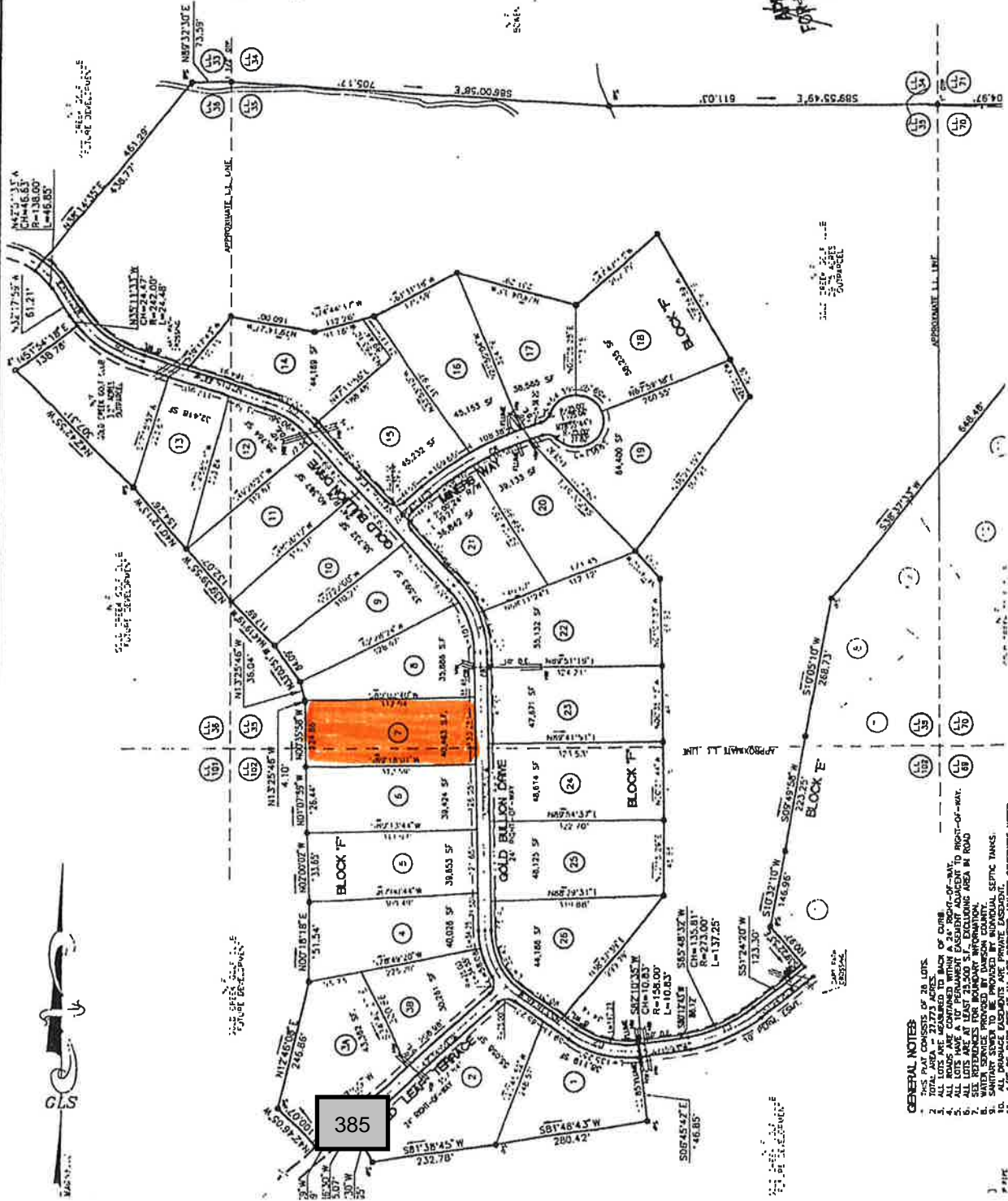
- REFERENCES FOR DAVID B. BOWEN BY COSTIN LAND SURVEYING, INC., DATED MARCH 6, 1985.
- 1) SURVEY FOR DAVID B. BOWEN BY COSTIN LAND SURVEYING, INC., DATED MARCH 6, 1985.
 - 2) PLAN FOR DAVID B. BOWEN BY COSTIN LAND SURVEYING, INC., DATED JAN. 29, 1993.
 - 3) PLAN FOR DAVID B. BOWEN BY COSTIN LAND SURVEYING, INC., DATED FEB. 07, 1991.
 - 4) SURVEY FOR DAVID B. BOWEN BY COSTIN LAND SURVEYING, INC., DATED FEB. 07, 1991.
 - 5) SURVEY FOR DAVID BOWEN BY MORELAND ALDRELLI ASSOCIATES, INC., DATED SEPT. 14, 1990.

THIS PLAN SUPERSEDES PLAT BOOK 31, PAGE 201, AND IS RECORDED IN PLAT BOOK 31, PAGE 303, DATED 11/14/98.

THIS PLAN SUPERSEDES PLAT BOOK 31, PAGE 303, AND IS RECORDED IN PLAT BOOK 37, PAGE 173, DATED 5/16/97.

THIS PLAN SUPERSEDES PLAT BOOK 37, PAGE 173, AND IS RECORDED IN PLAT BOOK 44, PAGE 160, DATED 7/13/99.

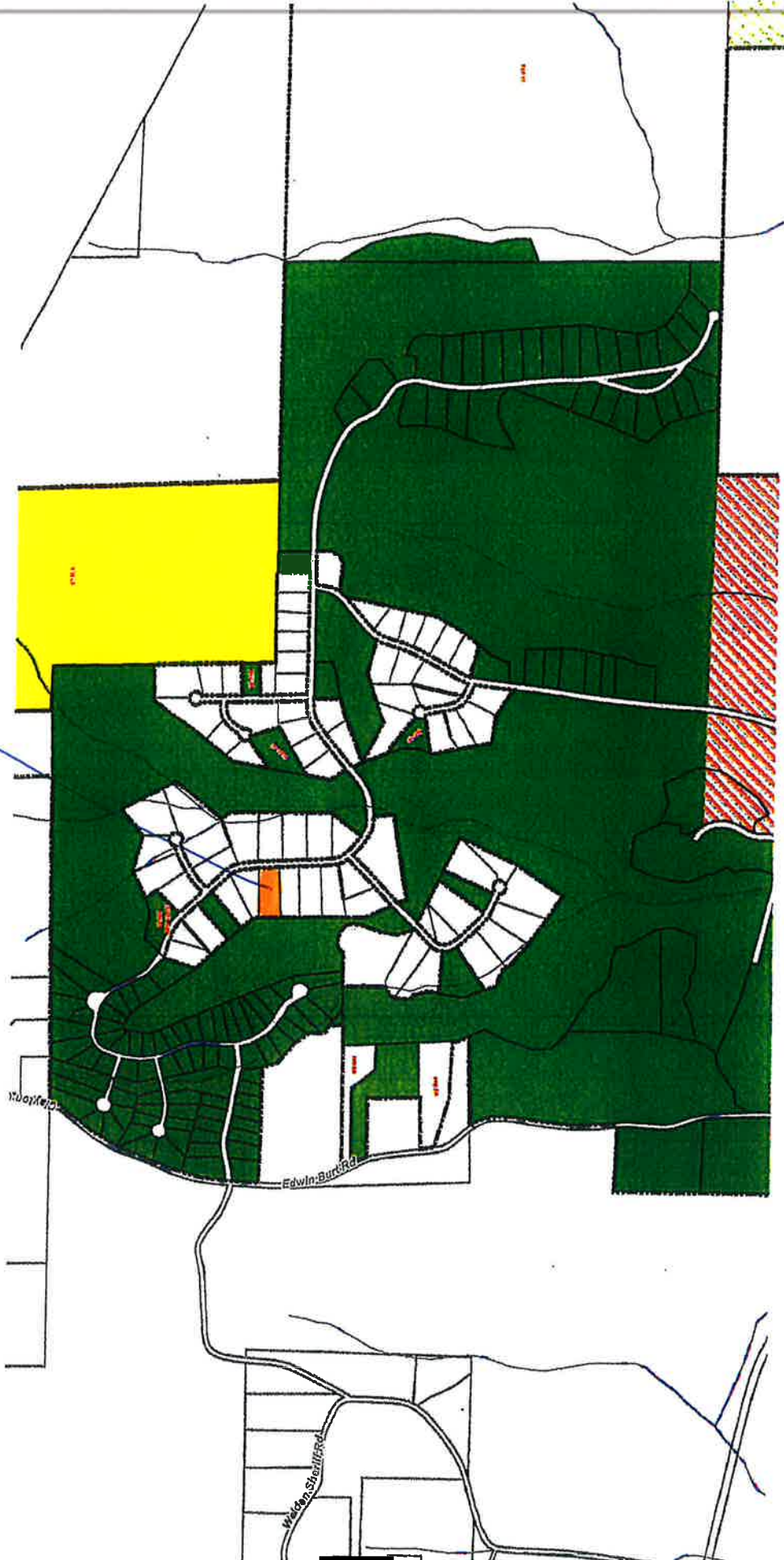
APPROVED FOR RECORDING
[Signature]
4/13/00

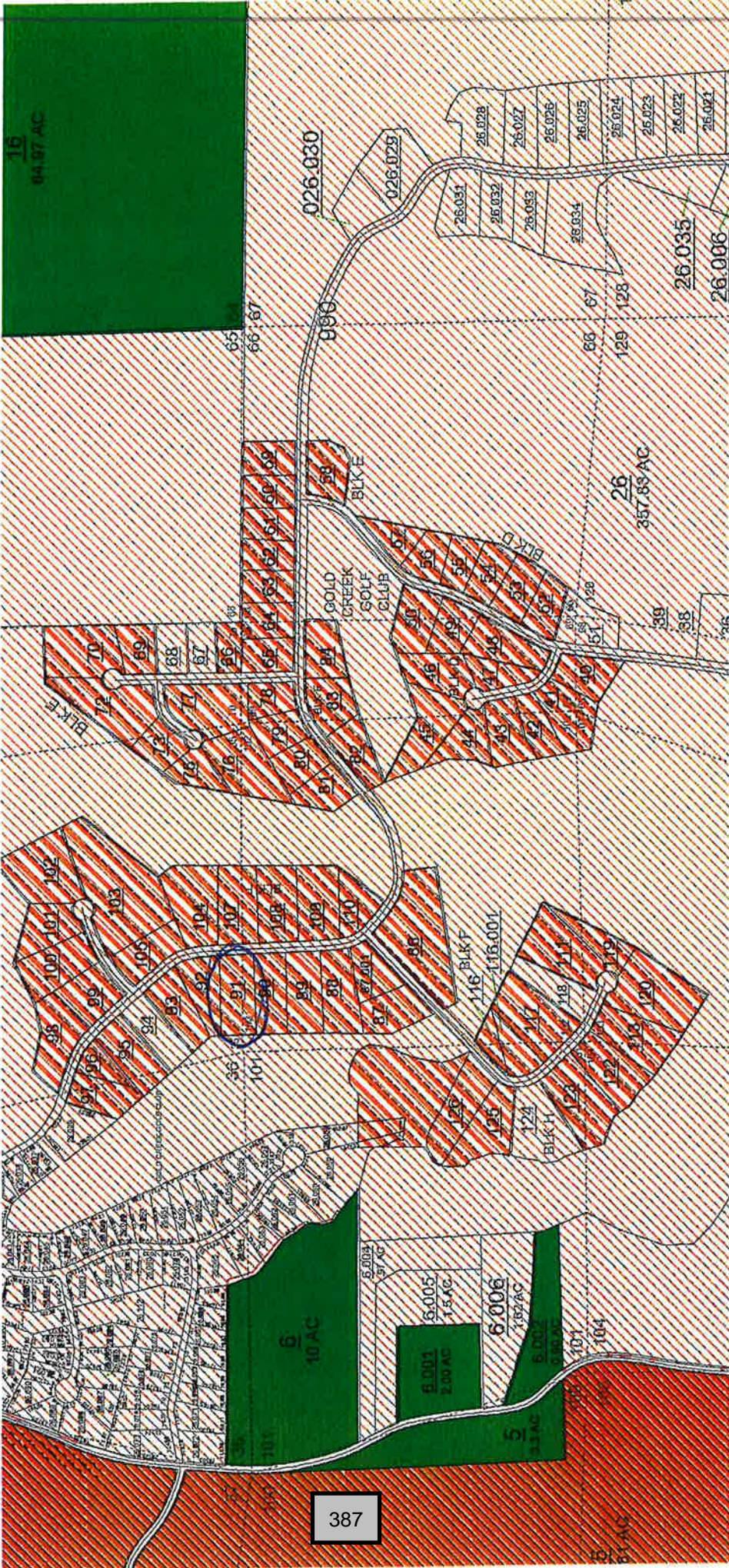


GENERAL NOTES:

- 1. TOTAL AREA = 21.273 ACRES.
- 2. ALL LOTS ARE TO BE BOUND BY CURB OR CONCRETE DRIVEWAY.
- 3. ALL LOTS HAVE A 10' PERMANENT EASEMENT ADJACENT TO RIGHT-OF-WAY.
- 4. ALL LOTS ARE AT LEAST 21.500' FROM EXISTING AREA IN ROAD.
- 5. ALL LOTS ARE TO BE BOUND BY CURB OR CONCRETE DRIVEWAY.
- 6. WHEN SERVICE PROVIDED BY DAVENPORT COUNTY.
- 7. SANITARY SEWER TO BE PROVIDED BY INDIVIDUAL SEPTIC TANKS.
- 8. ALL LOTS ARE TO BE BOUND BY CURB OR CONCRETE DRIVEWAY.

1200000 Tmp 0900





415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 8, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Adam Smith and Matthew Richardson: ANX# C8-00087

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Adam Smith and Matthew Richardson. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville

P.O. Box 6
415 Highway 53 East, Suite 100
Dawsonville, GA 30534
Phone: (706) 265-3256

**Annexation Petition
into the
City of Dawsonville, GA**

Annexation # 08-00087

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED ? YES NO**

Applicant Name(s): Adam Smith Matthew Richardson

Mailing Address 85 East Gate Dr. City Dawsonville State GA Zip 30534

E-Mail asmith1031980@gmail.com

Applicant Telephone Number(s): 706-867-5919 678-776-0284

Property Owner's Name(s): Adam Smith Matthew Richardson

Mailing Address 85 East Gate Dr. City Dawsonville State GA Zip 30534

E-Mail asmith1031980@gmail.com

Property Owner's Telephone Number(s): 706-867-5919 678-776-0284

Address of Property to be Annexed: 324 Howser Mill Rd VACANT LOT

Tax Map & Parcel # 082 017 Property Size in Acres: 5.94 Survey Recorded in Plat Book # 83 Page # 93

Land Lot # 370 389 District # 4 Section # 1 Legal Recorded in Deed Book # 01251 Page # 74

Current Use of Property: mobile home & land

County Zoning Classification: RSR City Zoning Classification: AP

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 1/2 x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

- Intended Use of Land: _____ Residential _____ Commercial
 _____ Existing Structure(s) Vacant
 _____ Other (specify) _____
- Number of persons currently residing on the property: 0; VACANT
 Number of persons 18 years or older: _____; Number of persons registered to vote: _____
- The number of all residents occupying the property:
 _____ American Indian _____ Alaskan Native
 _____ Asian _____ Pacific Islander
 _____ Black, not of Hispanic Origin _____ Hispanic
 _____ White, not of Hispanic Origin VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- Number of existing housing units: 1
- List of Addresses for each housing unit in the annexed area at the time of the annexation:
324 Howser Mill Rd
- Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Moved or Demolished
- Names of affected Subdivision: N/A
- Name of affected Multi-Family Complex: N/A
- Names of Group Quarters (dormitories, nursing homes, jails, etc.):
N/A
- Names of affected Duplexes: N/A
- Names of Mobile Home Parks: N/A



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 324 Houser Mill Rd (Address/Tax Map Parcel) , respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

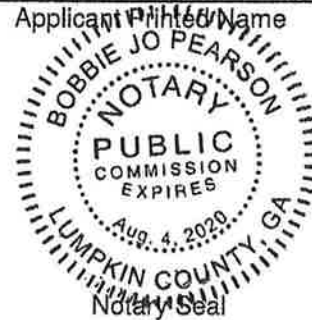
Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1)	<u>[Signature]</u> Property Owner Signature	<u>Adam Smith</u> Property Owner Printed Name
(2)	<u>[Signature]</u> Property Owner Signature	_____ Property Owner Printed Name
(1)	<u>[Signature]</u> Applicant Signature	<u>Adam Smith</u> Applicant Printed Name
(2)	<u>[Signature]</u> Applicant Signature	_____ Applicant Printed Name

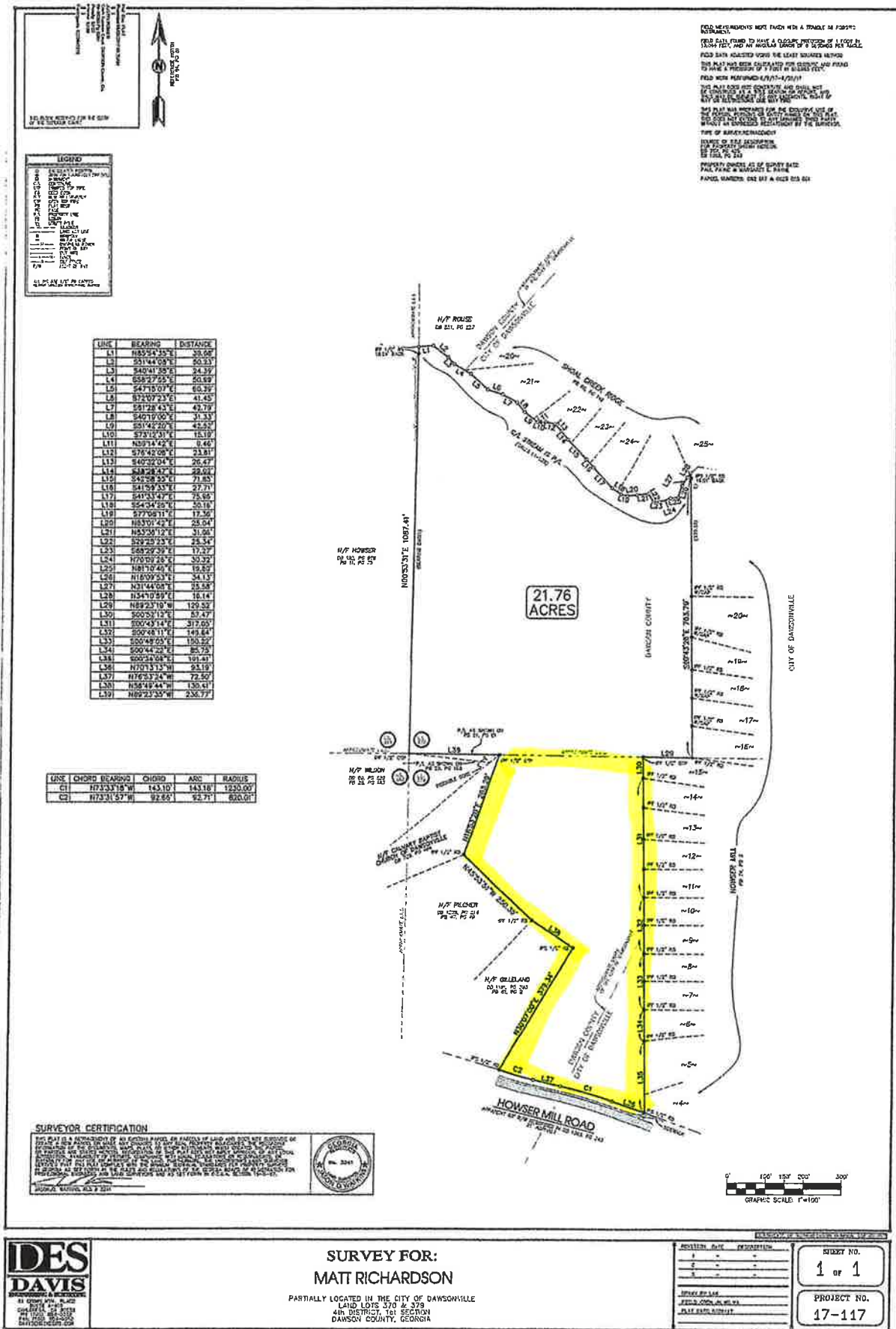
Sworn to and subscribed before me
 this 2 day of March 2018.

[Signature]
 Notary Public, State of Georgia

My Commission Expires: _____



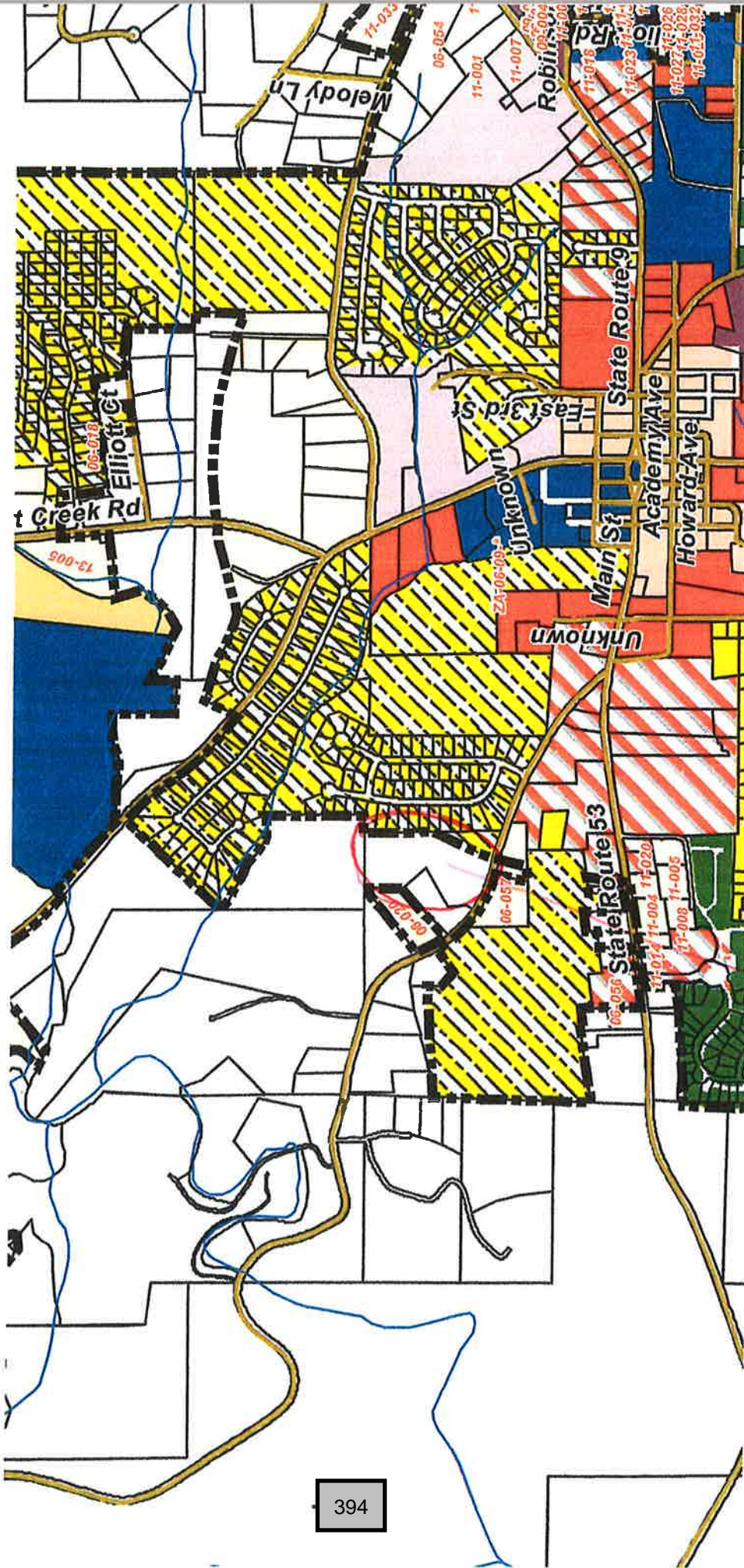
Annexation Application Received Date Stamp:	Rec'd <u>3/5/18</u>	Completed Application with Signatures
	Rec'd <u>✓</u>	Current Boundary Survey
	Rec'd <u>✓</u>	Legal Description
	Rec'd <u>✓</u>	ARC Population Estimate Information
Planning Commission Meeting Date (if rezone):	<u>4/9/18</u>	
Dates Advertised:	<u>3/21/18</u> <u>3/28/18</u>	
1 st City Council Reading Date:	<u>4/23/18</u>	
2 nd City Council Reading Date:	<u>5/7/18</u>	Approved: YES NO
Date Certified Mail to:	_____ County Board of Commissioners & Chairman	_____ County Manager
	_____ County Attorney	
<input type="checkbox"/>	Letter Received from Dawson County	Date: _____



Bk 01256 Pg 0074

EXHIBIT ALEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lots 370 and 379, 4th District, 1st Section, Dawson County, Georgia, being 21.76 acres as shown on a survey for Matt Richardson, dated June 26, 2017, and recorded in Plat Book 83, page 93, Dawson County, Georgia records, said plat being incorporated herein by reference for a more complete description thereof.



Twp 082 017

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 8, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Adam Smith and Matthew Richardson: ANX# C8-00088

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Adam Smith and Matthew Richardson. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Casey Majewski". The signature is fluid and cursive.

Casey Majewski, R.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-00088

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Please Print Clearly

ZONING AMENDMENT APPLICATION AND FEES RECEIVED? YES NO

Fees Waived by CC 1/8/18

Applicant Name(s): Adam Smith

Mailing Address 85 East Gate Dr City Dawsonville State GA Zip 30534

E-Mail asmith1031980@gmail.com

Applicant Telephone Number(s): 706-867-5919

Property Owner's Name(s): Adam Smith Matthew Richardson

Mailing Address 85 East Gate Dr City Dawsonville State GA Zip 30534

E-Mail asmith1031980@gmail.com

Property Owner's Telephone Number(s): 706-867-5919 678-776-0284

Address of Property to be Annexed: 372 Houser Mill Rd VACANT LOT

Tax Map & Parcel # 0928 02508 Property Size in Acres: 14.65 Survey Recorded in Plat Book # 83 Page # 93

Land Lot # 370 379 District # 4 Section # 1 Legal Recorded in Deed Book # 1256 Page # 74

Current Use of Property: Vacant

County Zoning Classification: RA City Zoning Classification: AP

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

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- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

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 Other (specify) _____
- Number of persons currently residing on the property: 0; VACANT
 Number of persons 18 years or older: _____; Number of persons registered to vote: _____
- The number of all residents occupying the property:
 American Indian Alaskan Native
 Asian Pacific Islander
 Black, not of Hispanic Origin Hispanic
 White, not of Hispanic Origin VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- Number of existing housing units: 0
- List of Addresses for each housing unit in the annexed area at the time of the annexation:
N/A
- Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
N/A
- Names of affected Subdivision: N/A
- Name of affected Multi-Family Complex: N/A
- Names of Group Quarters (dormitories, nursing homes, jails, etc.):
N/A
- Names of affected Duplexes: N/A
- Names of Mobile Home Parks: N/A



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 092 B 025 001 (Address/Tax Map Parcel), respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1) [Signature]
 Property Owner Signature

(2) [Signature]
 Property Owner Signature

(1) [Signature]
 Applicant Signature

(2) [Signature]
 Applicant Signature

Adam Smith
 Property Owner Printed Name

Matthew Richardson
 Property Owner Printed Name

Adam Smith
 Applicant Printed Name

Matthew Richardson
 Applicant Printed Name

Sworn to and subscribed before me
 this 2 day of March 2018.
[Signature]
 Notary Public, State of Georgia
 My Commission Expires: 8/4/2020



Annexation Application Received Date Stamp: Rec'd 3/5/18 Completed Application with Signatures
 Rec'd 3/5/18 Current Boundary Survey
 Rec'd 3/5/18 Legal Description
 Rec'd 3/5/18 ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/4/18

Dates Advertised: 3/21/18 3/28/18

1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18 Approved: YES NO

Date Certified Mail to: _____ County Board of Commissioners & Chairman _____ County Manager _____ County Attorney

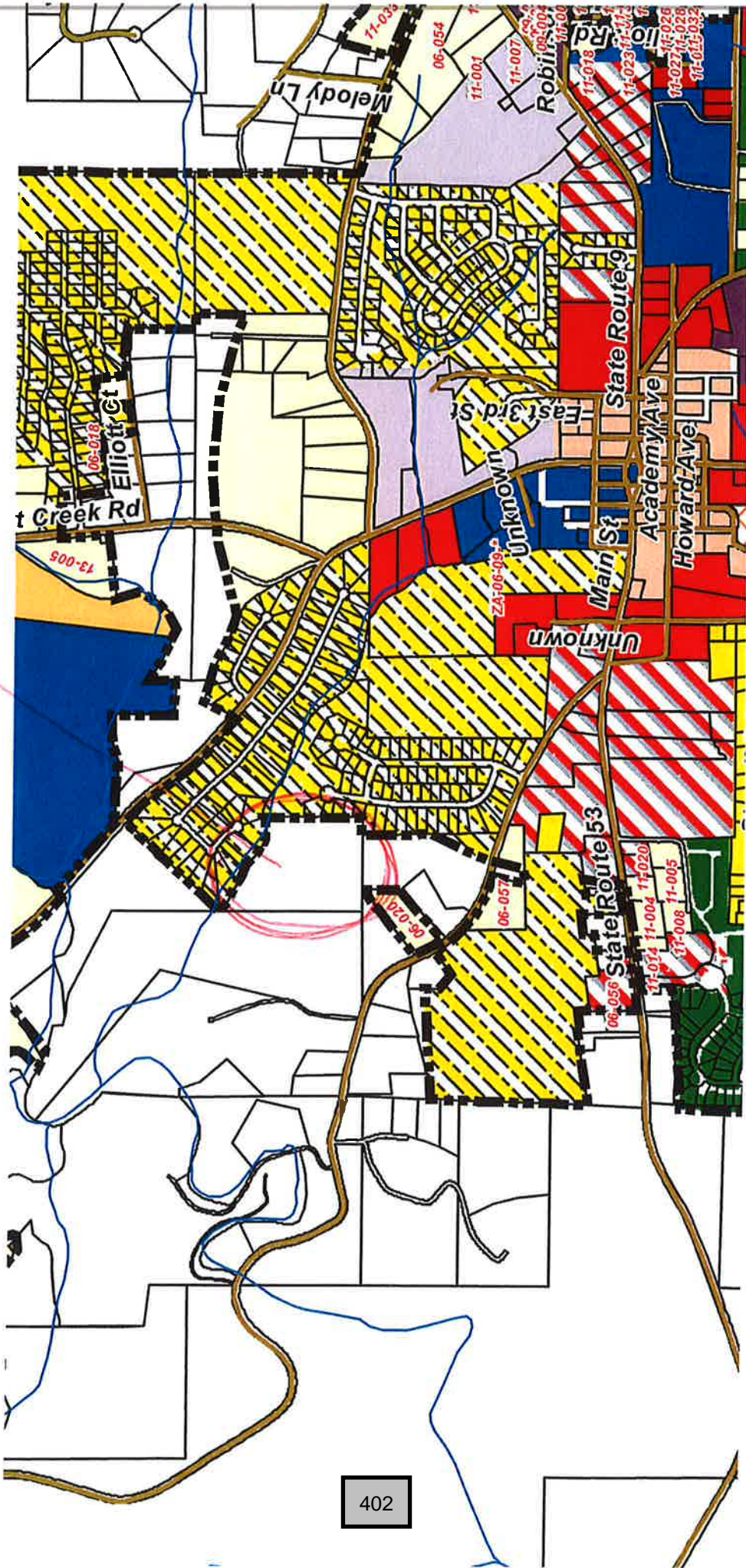
Letter Received from Dawson County Date: _____

EXHIBIT A

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lots 370 and 379, 4th District, 1st Section, Dawson County, Georgia, being 21.76 acres as shown on a survey for Matt Richardson, dated June 26, 2017, and recorded in Plat Book 83, page 93, Dawson County, Georgia records, said plat being incorporated herein by reference for a more complete description thereof.

TMP 092B025001



415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 8, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Voranath Chanthavong: ANX# C8-00089

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Voranath Chanthavong. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,


Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-00089

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED ?** YES NO

Applicant Name(s): VORANATH CHANTHAVONG

Mailing Address 295 BURT CREEK RD City DAWSONVILLE State GA Zip 30534

E-Mail NKDESIGN@BELL SOUTH.NET

Applicant Telephone Number(s): 678-508-1817

Property Owner's Name(s): VORANATH CHANTHAVONG

Mailing Address 295 BURT CREEK RD City DAWSONVILLE State GA Zip 30052

E-Mail NKDESIGN@BELL SOUTH.NET

Property Owner's Telephone Number(s): 678-508-1817

Address of Property to be Annexed: 295 BURT CREEK RD. DAWSONVILLE VACANT LOT
GA - 30052

Tax Map & Parcel # 082005 Property Size in Acres: 8.27 Survey Recorded in Plat Book # 81 Page # 9

Land Lot # _____ District # _____ Section # _____ Legal Recorded in Deed Book # 1048 Page # 12-13

Current Use of Property: _____

County Zoning Classification: RA City Zoning Classification: R-1
 (Residential Exurban Agriculture)

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____
2. Number of persons currently residing on the property: 4; VACANT
 Number of persons 18 years or older: 3; Number of persons registered to vote: _____
3. The number of all residents occupying the property:
- | | |
|--|---|
| <input type="checkbox"/> American Indian | <input type="checkbox"/> Alaskan Native |
| <input checked="" type="checkbox"/> Asian | <input type="checkbox"/> Pacific Islander |
| <input type="checkbox"/> Black, not of Hispanic Origin | <input type="checkbox"/> Hispanic |
| <input type="checkbox"/> White, not of Hispanic Origin | <input type="checkbox"/> VACANT |

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
295 Burt Creek Rd
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Remain Same
- D. Names of affected Subdivision: N/A
- E. Name of affected Multi-Family Complex: N/A
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):
N/A
- G. Names of affected Duplexes: N/A
- H. Names of Mobile Home Parks: N/A



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 295 Burn Creek Rd, Dawsonville/TMP 082005 (Address/Tax Map Parcel) , respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1) Kusum Chanthavong
 Property Owner Signature

KUSUM CHANTHAVONG
 Property Owner Printed Name

(2) Vorath Chanthavong
 Property Owner Signature

VORANATH CHANTHAVONG
 Property Owner Printed Name

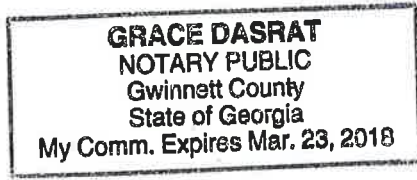
(1) _____
 Applicant Signature

 Applicant Printed Name

(2) _____
 Applicant Signature

 Applicant Printed Name

Sworn to and subscribed before me
 this 3rd day of March 2018.
[Signature]
 Notary Public, State of Georgia
 My Commission Expires: 03/23/2018



Notary Seal

Annexation Application Received Date Stamp: Rec'd 3/6/18 Completed Application with Signatures
 Rec'd 2/27/18 Current Boundary Survey
 Rec'd 2/27/18 Legal Description
 Rec'd 2/27/18 ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18

Dates Advertised: 3/21/18 3/22/18

1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18 Approved: YES NO

Date Certified Mail to: 3/2/18 County Board of Commissioners & Chairman: 3/2/18 County Manager: 3/2/18 County Attorney

Letter Received from Dawson County Date: _____

Notary to complete

THIS PLAT REPRESENTS THAT TRACT OF LAND RECORDED IN DB 1024, PG 206 DAWSON COUNTY RECORDS.

NOTES:
 EXISTING ZONING: RA
 40' FRONT SETBACKS PER ZONING:
 20' SIDE
 35' REAR
 CURRENT OWNER: PEGGY A. GROSSOM
 3815 SANDY CROSS RD.
 ROYSTON, GA. 30662
 TMP: 082-005
 STATE WATERS SHOWN ON PROPERTY.
 PROPERTY SERVED BY ETOWAH WATER AND SEWER AUTHORITY.
 NOTE: 1/2" REBAR SET AT ALL CORNERS UNLESS OTHERWISE SHOWN.

TOTAL AREA: 8.271± AC
 (360,271 S/F)

Filed in Office: 06/24/2014 03:25PM
 Plat Doc: PLAT
 Bk 00081 Pg 0009
 Justin Power Clerk of Court
 Dawson County

- L1 53.57' S83°37'01"E
- L2 67.50' S94°30'03"E
- L3 48.76' N87°12'40"E
- L4 80.87' N67°02'05"E
- L5 44.65' N41°54'34"E
- L6 87.57' N1°40'56"E
- L7 88.02' N29°31'17"E
- L8 63.86' N1°32'33"W

THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS, ETC. OF RECORD, AND NOT OF RECORD, ABOVE OR BELOW GROUND.
 THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY AND ALL DISCLOSURES THAT A TITLE SEARCH MAY PRODUCE.

PEGGY A. GROSSOM
 TMP: 082-004
 DB 1024, PG 206

CITY OF DAINSONVILLE
 TMP: 082-004-001
 PB 84, PG 155

NOTE: 25' UNDISTURBED BUFFER ALONG ALL STATE WATERS, MEASURED FROM TOP OF BANK EACH SIDE.

ACCORDING TO CURRENT FLRA MAP #130850011P DATED 9/28/08 A PORTION OF THIS PROPERTY ALONG CREEK IS IN A FLOOD HAZARD ZONE (ZONE A).
 BOUNDARY TRAVERSERS BY TOPGON TOTAL STATION POSITION CLOSURE: 1/16,000"
 ANGLE ERROR: 2" PER STA
 CRANDALL ADJUSTMENT
 PLAT CLOSURE EXCEEDS 1/50,000"

ASSOCIATION COUNTY COMMISSIONERS
 TMP: 082-006-001
 DB 594, PG 103

PEAKS AND VALLEYS, INC
 TMP: 082-006-006
 DB 337, PG 183

408
 LINES ANGLE ARW
 XES REBAR
 XES OPEN TOP PIPE
 XES OPEN BOTTOM PIPE
 XES CONC. MON.
 XES POWER POLE
 XES RIGHT-OF-WAY
 LLL INDICATES PROPERTY LINE
 LLL INDICATES FENCING LINE
 LLL INDICATES FENCING LINE
 LLL INDICATES CATCH BASIN
 LLL INDICATES WATER METER
 LLL INDICATES FIRE HYDRANT
 LLL INDICATES BACK OF CURB
 LLL INDICATES BACK OF CURB
 LLL INDICATES LAND LOT LINE

JOHN A. VANDIVERE
 TMP: 082-006
 DB 151, PG 211

Planning approval is not approval from the Health Department. Contact that agency for approval.

FIELD DATE: APRIL 17, 2013
 PLAT DATE: NOVEMBER 08, 2013



SEMINATOR'S CERTIFICATE
 It is hereby certified that this plat is true and correct and was prepared from an actual survey of the property by me or persons under my supervision; that all monuments shown hereon actually exist or are marked as 'future,' and that their location, size, type and material are correctly shown.

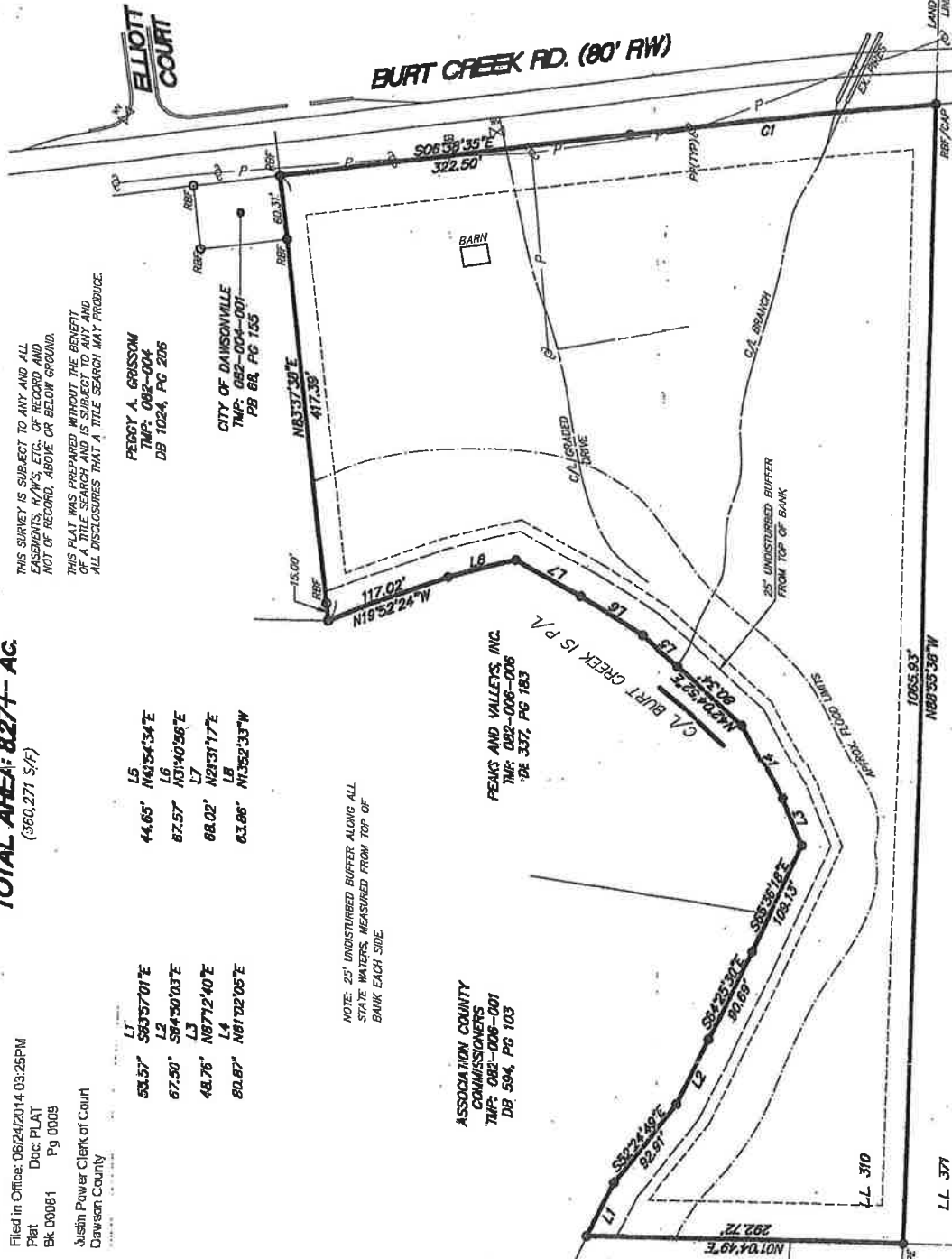
J.A. PAGE, Jr., No. 1894

DAN S. ANDERSON
 TMP: 0829-001
 PB 40, PG 25

APPROVED
 JUN 24 2014 PMS
 FOR RECORDING

CHORD 285.15' SUB 1/2 285'E
 ARC 283.16' - RADIUS 9307.663'

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING OF THE STATE OF GEORGIA, AS SET FORTH IN THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN GEORGIA PLAT ACT O.C.G.A. 15-5-67, AUTHORITY O.C.G.A. SECS 15-5-67, 43-15-4, 43-15-6, 43-15-19 AND 43-15-22.



SURVEY	JAP	NO.	DATE	DESCRIPTION	BY
DRAWN	JAP				
DATE	APRIL 17, 2013				
CHECKED	JAP				
SCALE	1" = 80'	1	6/03/14	COUNTY COMMENTS	
JOB NO.	DR011-23173				

J.A. PAGE AND ASSOCIATES
 5610 CROW ROAD
 CUMMING GEORGIA 30041
 (770) 889-0281
 FAX: (770) 945-0789

BOUNDARY SURVEY FOR
 VORANATH AND KUSUM CHANTHAVONG
 LAND LOT 310, 4TH DIST, 1st SECT.
 DAWSON COUNTY GEORGIA

PROJ. 2313/2315/DWG

M
Return to:
Morris|Hardwick|Schneider, LLC
2170 Satellite Blvd, Suite 425
Duluth, GA 30097
File #: DUL-131100680S

WARRANTY DEED

State of Georgia
County of Dawson

THIS INDENTURE made this 2nd day of December, 2013, between

Peggy A Grissom

as party or parties of the first part, hereinafter called Grantor, and

Voranath Chanthavong and Kusum Chanthavong

as Joint Tenants with Rights of Survivorship and not as Tenants in Common

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property:

All that tract or parcel of land lying and being in Land Lot 310, 4th District, 1st Section, Dawson County, Georgia, containing 4.14 acres, as per plat of survey for Poss Tile and Const., dated March 7, 2003, by J.A. Page, Jr. and Assoc., Georgia Registered Land Surveyors, and being more particularly described as follows:

Begin at a point located at the common corner of Land Lots 311, 310, 370 and 371; thence north 01 degree 04 minutes 49 seconds east a distance of 292.72' to a point; thence south 63 degrees 57 minutes 01 second west a distance of 55.57' to a point; thence south 52 degrees 24 minutes 49 seconds east a distance of 92.91' to a point; thence south 64 degrees 50 minutes 03 seconds west a distance of 67.50' to a point; thence south 64 degrees 25 minutes 30 seconds east a distance of 9069' to a point; thence south 65 degrees 36 minutes 18 seconds east a distance of 109.14' to a point; thence north 67 degrees 12 minutes 41 seconds east a distance of 48.77' to a point; thence north 61 degrees 02 minutes 05 seconds east a distance of 80.87' to a point; thence north 42 degrees 04 minutes 52 seconds east a distance of 80.33' to a point; thence south 63 degrees 42 minutes 45 seconds east a distance of 89.86' to a point; thence south 79 degrees 30 minutes 28 seconds east a distance of 94.63' to a point; thence south 86 degrees 13 minutes 51 seconds east a distance of 86.62' to a point; thence south 75 degrees 14 minutes 27 seconds east a distance of 175.88' to a point; thence south 61 degrees 04 minutes 25 seconds east a distance of 44.80' to a point; thence south 71 degrees 14 minutes 47 seconds east a distance of 49.99' to a point located on the westerly side of the right of way of Burt Creek Road (80' right of way); thence along the westerly side of the 80' right of way of Burt Creek Road, south 05 degrees 07 minutes 08 seconds east a chord distance of 91.40' (arc distance of 91.40 feet and having a radius of 9307.05 feet) to an iron pin set; thence south 88 degrees 55 minutes 36 seconds west a distance of 1065.93' to a point located at the common corner of Land Lots 311, 310, 370 and 371, and the true point of beginning.

ALSO:

A) that tract or parcel of land lying and being in Land Lot 310, 4th District, 1st Section, Dawson County, Georgia, containing 4.13 acres, as per plat of survey for Poss Tile and Coast., dated March 7, 2003, by J.A. Page, Jr. and Assoc., Georgia Registered Land Surveyors, and being more particularly described as follows:

To find the true point of beginning, begin at a point located at the intersection of the land lot line dividing Land Lots 310 and 371, and the westerly side of the right of way of Burt Creek Road (80' right of way); thence along the westerly side of the 80' right of way of Burt Creek Road in a northwesterly direction a distance of 91.40' to a point, which point is the true point of beginning; from the point of beginning, thus established, proceed north 71 degrees 14 minutes 47 seconds west, a distance of 499.99' to a point; thence north 61 degrees 04 minutes 25 seconds west a distance of 44.80' to a point; thence north 75 degrees 14 minutes 27 seconds west a distance of 175.88' to a point; thence north 86 degrees 13 minutes 51 seconds west a distance of 86.62' to a point; thence north 79 degrees 30 minutes 28 seconds west a distance of 94.63' to a point; thence north 63 degrees 42 minutes 45 seconds west a distance of 89.96' to a point located in the centerline of a creek; thence north 42 degrees 54 minutes 34 seconds east a distance of 44.66' to a point; thence north 31 degrees 40 minutes 56 seconds east a distance of 67.57' to a point; thence north 29 degrees 31 minutes 17 seconds east a distance of 66.02' to a point; thence north 13 degrees 52 minutes 33 seconds west a distance of 63.86' to a point; thence north 19 degrees 52 minutes 24 seconds west a distance of 117.02' to a point; thence

Deed, Gs. Warranty Deed J1.rdw
LCK - CM 06/26/2007

DUL-131100680S
11.25.13 @ 05:33-PM

Z
WD / 12.00 06.0077

WARRANTY DEED
(Continued)

Bk 01098 Pg 0013

north 83 degrees 37 minutes 38 seconds east a distance of 416.87' to a rebar located on the westerly side of the right of way of Burt Creek Road (80' right of way); thence along the westerly side of the 80' right of way of Burt Creek Road, south 06 degrees 44 minutes 29 seconds east a distance of 298.40' to a point, and the true point of beginning.

Subject to all easements and restrictions of record.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has herunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

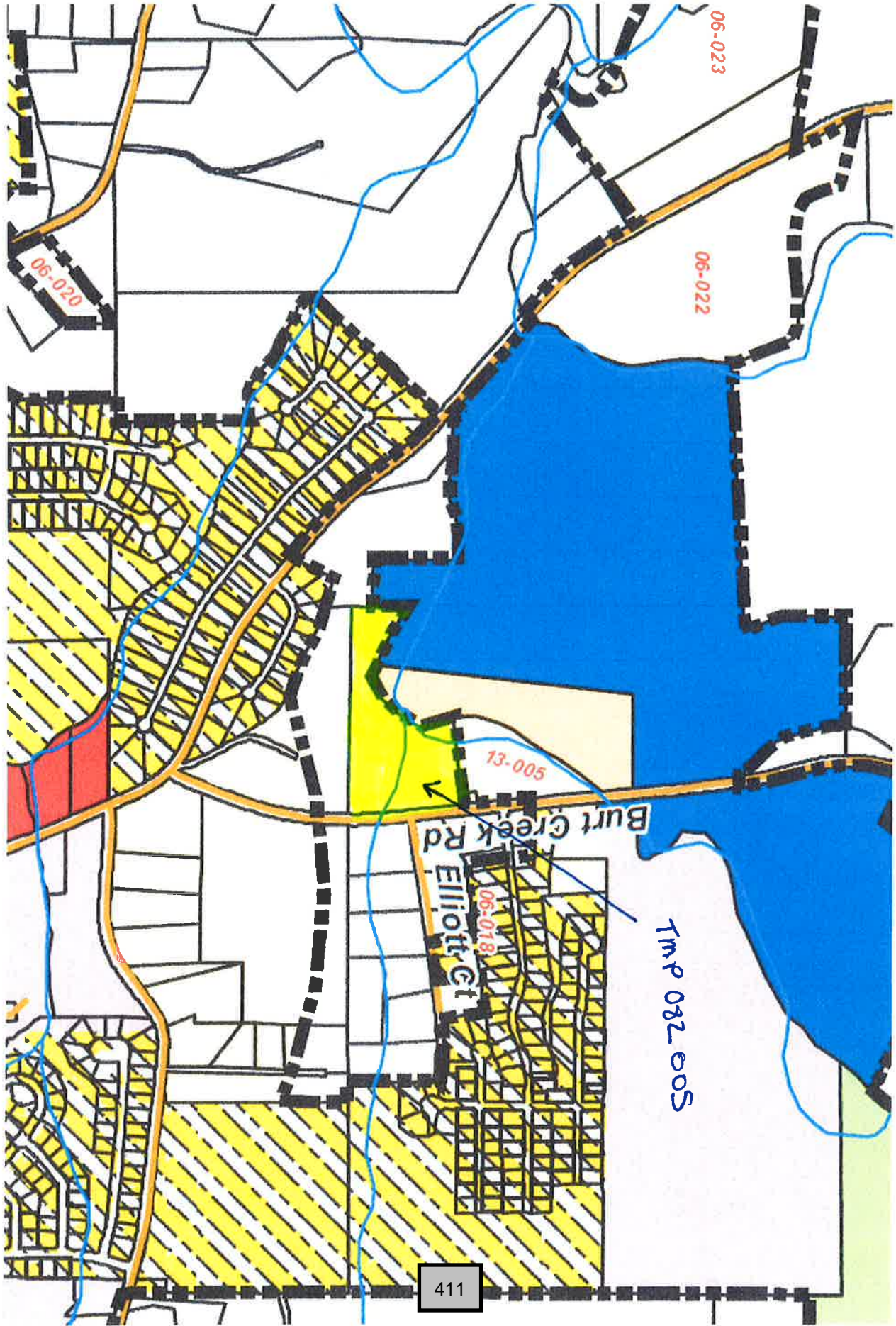
[Signature]
Witness

[Signature] (Seal)
Peggy A. Grissom

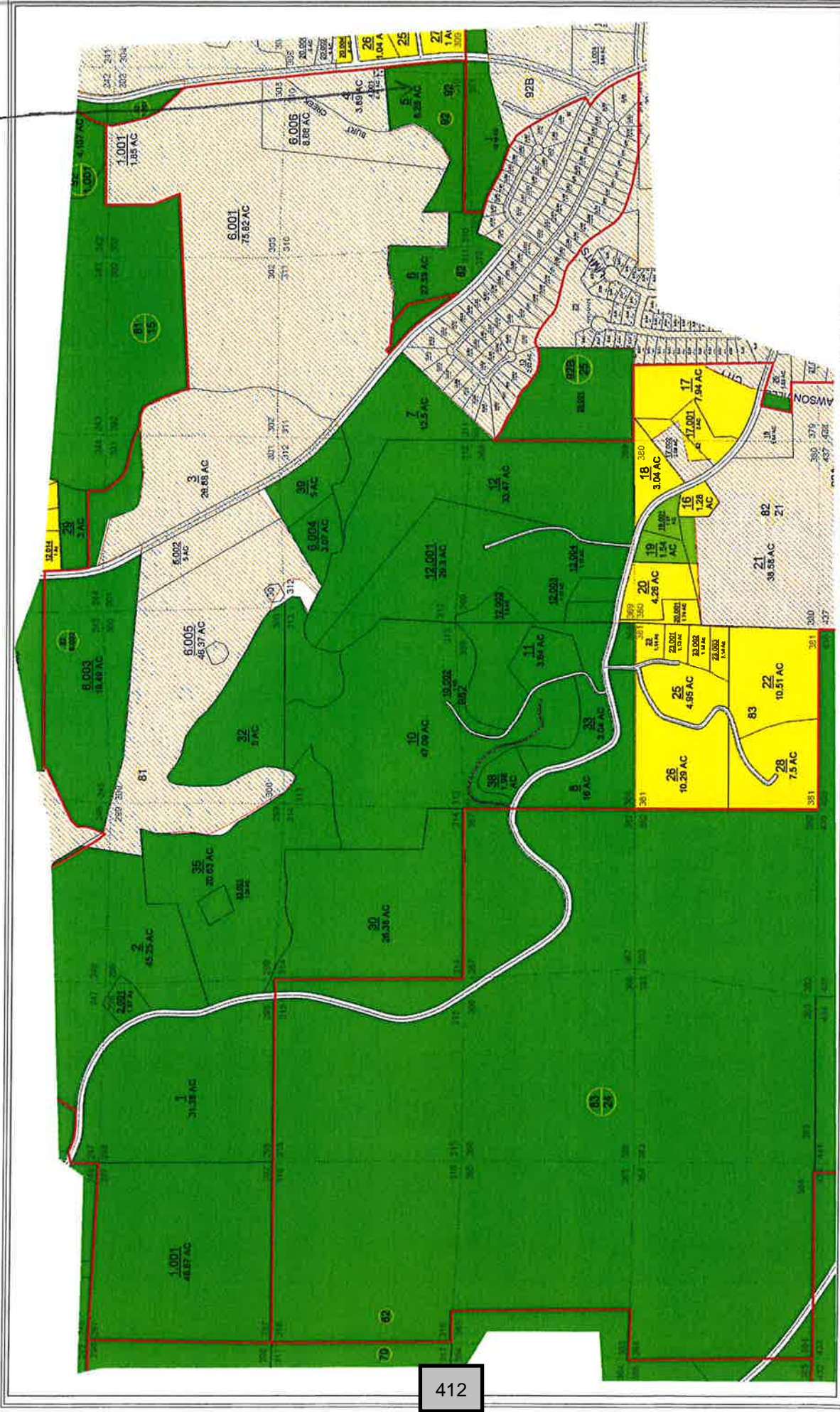
[Signature]
Notary Public
My Commission Expires:

_____ (Seal)





TMP 082.005



Scale: 1"= 400'
Page 91 of 162
MAP 082



DAWSON COUNTY, GEORGIA
082

DAWSON COUNTY, GEORGIA
082

Symbol	Zone	Description
[Green Box]	RA	Residential Exurban Agriculture
[Yellow Box]	RE	Residential Exurban
[Blue Box]	RM	Residential Medium Density
[Red Box]	RS	Residential Single-Family
[Purple Box]	RT	Residential Townhomes
[Orange Box]	RU	Residential Urban
[Light Green Box]	RU-2	Residential Urban Single-Family
[Light Blue Box]	RU-4	Residential Urban Single-Family
[Light Purple Box]	RU-6	Residential Urban Single-Family
[Light Orange Box]	RU-8	Residential Urban Single-Family
[Light Yellow Box]	RU-10	Residential Urban Single-Family
[Light Green Box]	RU-12	Residential Urban Single-Family
[Light Blue Box]	RU-14	Residential Urban Single-Family
[Light Purple Box]	RU-16	Residential Urban Single-Family
[Light Orange Box]	RU-18	Residential Urban Single-Family
[Light Yellow Box]	RU-20	Residential Urban Single-Family
[Light Green Box]	RU-22	Residential Urban Single-Family
[Light Blue Box]	RU-24	Residential Urban Single-Family
[Light Purple Box]	RU-26	Residential Urban Single-Family
[Light Orange Box]	RU-28	Residential Urban Single-Family
[Light Yellow Box]	RU-30	Residential Urban Single-Family
[Light Green Box]	RU-32	Residential Urban Single-Family
[Light Blue Box]	RU-34	Residential Urban Single-Family
[Light Purple Box]	RU-36	Residential Urban Single-Family
[Light Orange Box]	RU-38	Residential Urban Single-Family
[Light Yellow Box]	RU-40	Residential Urban Single-Family
[Light Green Box]	RU-42	Residential Urban Single-Family
[Light Blue Box]	RU-44	Residential Urban Single-Family
[Light Purple Box]	RU-46	Residential Urban Single-Family
[Light Orange Box]	RU-48	Residential Urban Single-Family
[Light Yellow Box]	RU-50	Residential Urban Single-Family
[Light Green Box]	RU-52	Residential Urban Single-Family
[Light Blue Box]	RU-54	Residential Urban Single-Family
[Light Purple Box]	RU-56	Residential Urban Single-Family
[Light Orange Box]	RU-58	Residential Urban Single-Family
[Light Yellow Box]	RU-60	Residential Urban Single-Family
[Light Green Box]	RU-62	Residential Urban Single-Family
[Light Blue Box]	RU-64	Residential Urban Single-Family
[Light Purple Box]	RU-66	Residential Urban Single-Family
[Light Orange Box]	RU-68	Residential Urban Single-Family
[Light Yellow Box]	RU-70	Residential Urban Single-Family
[Light Green Box]	RU-72	Residential Urban Single-Family
[Light Blue Box]	RU-74	Residential Urban Single-Family
[Light Purple Box]	RU-76	Residential Urban Single-Family
[Light Orange Box]	RU-78	Residential Urban Single-Family
[Light Yellow Box]	RU-80	Residential Urban Single-Family
[Light Green Box]	RU-82	Residential Urban Single-Family
[Light Blue Box]	RU-84	Residential Urban Single-Family
[Light Purple Box]	RU-86	Residential Urban Single-Family
[Light Orange Box]	RU-88	Residential Urban Single-Family
[Light Yellow Box]	RU-90	Residential Urban Single-Family
[Light Green Box]	RU-92	Residential Urban Single-Family
[Light Blue Box]	RU-94	Residential Urban Single-Family
[Light Purple Box]	RU-96	Residential Urban Single-Family
[Light Orange Box]	RU-98	Residential Urban Single-Family
[Light Yellow Box]	RU-100	Residential Urban Single-Family

412

RA - Residential Exurban Agriculture

INCLUDED IN THIS MAILING ARE THE FOLLOWING:

ANX #C8-00099	WALLACE	776 HWY 9 NORTH
ANX #C8-00100	HARRIS	125 ROBINSON ROAD
ANX #C8-00101	MOORE	55 GOLD CREEK COURT
ANX #C8-00102	RATASEPP	583 GOLD BULLION DRIVE W
ANX #C8-00103	DASINGER	501 GOLD BULLION DRIVE W

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 16, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Dorsey E. Wallace Sr: ANX# C8-00099

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Dorsey E. Wallace Sr. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Casey Majewski". The signature is fluid and cursive.

Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 18-00099

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Noted per cc 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED?** YES NO

Applicant Name(s): Mr. Dorsey E. Wallace, Sr.

Mailing Address 776 Hwy. 9 North City Dawsonville State GA Zip 30534

E-Mail dosswallace@yahoo.com

Applicant Telephone Number(s): 404.915.3492

Property Owner's Name(s): Mr. Dorsey E. Wallace, Sr.

Mailing Address 776 Hwy. 9 North City Dawsonville State GA Zip 30534

E-Mail dosswallace@yahoo.com

Property Owner's Telephone Number(s): 404.915.3492

Address of Property to be Annexed: 776 Hwy. 9 North; Dawsonville, GA 30534 VACANT LOT

Tax Map & Parcel # 005023 Property Size in Acres: .33 Survey Recorded in Plat Book # 1102 Page # 575-576

Land Lot # 371 District # 13th Section # 1 Legal Recorded in Deed Book # * Page # *

Current Use of Property: Residence

County Zoning Classification: Residential City Zoning Classification: Residential CBD
(VCR Vacation Cottage Restricted) *(Central Business District)*

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed. *Exhibit "A"*
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court

** Per Attached Exhibit "A"*



City of Dawsonville
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**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____
2. Number of persons currently residing on the property: 1; VACANT
 Number of persons 18 years or older: 1; Number of persons registered to vote: 1
3. The number of all residents occupying the property:
- | | |
|---|---|
| <input type="checkbox"/> American Indian | <input type="checkbox"/> Alaskan Native |
| <input type="checkbox"/> Asian | <input type="checkbox"/> Pacific Islander |
| <input type="checkbox"/> Black, not of Hispanic Origin | <input type="checkbox"/> Hispanic |
| <input checked="" type="checkbox"/> White, not of Hispanic Origin | <input type="checkbox"/> VACANT |

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
776 Hwy. 9 North; Dawsonville, GA 30534
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Residence - To remain the same
- D. Names of affected Subdivision: N/A
- E. Name of affected Multi-Family Complex: N/A
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):
N/A
- G. Names of affected Duplexes: N/A
- H. Names of Mobile Home Parks: N/A



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as Dorsey E. Wallace, Sr. (Address/Tax Map Parcel), respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1)	<u>Dorsey E. Wallace Sr.</u> Property Owner Signature	<u>Dorsey E. Wallace, Sr.</u> Property Owner Printed Name
(2)	_____ Property Owner Signature	_____ Property Owner Printed Name
(1)	_____ Applicant Signature	_____ Applicant Printed Name
(2)	_____ Applicant Signature	_____ Applicant Printed Name

Sworn to and subscribed before me
 this 6 day of March 2018.

Crystal Albertson
 Notary Public, State of Georgia

My Commission Expires: 8-17-21



Annexation Application Received Date Stamp:	Rec'd <u>3/8/18</u>	Completed Application with Signatures
	Rec'd <u>3/12/18</u>	Current Boundary Survey
	Rec'd <u>3/12/18</u>	Legal Description
	Rec'd <u>3/8/18</u>	ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18
 Dates Advertised: 3/21/18 3/28/18
 1st City Council Reading Date: 4/23/18
 2nd City Council Reading Date: 5/7/18

Approved: YES NO

Date Certified Mail to: 3/16/18 County Board of Commissioners & Chairman 3/16/18 County Manager 3/16/18 County Attorney

Letter Received from Dawson County Date: _____

SURVEY FOR

DOSS WALLACE
L.L. 371, N/H 13th DIST., 1st. SECT.
DAWSON COUNTY, GEORGIA
CITY OF DAWSONVILLE

THIS PLAT REPRESENTS THAT TRACT RECORDED IN DB 1102,
PG 575-576 DAWSON COUNTY RECORDS.

REFERENCES:

- (1) DB 1036, PG 285
- (2) DB 291, PG 419
- (3) DB 52, PG 289

NOTES:

EXISTING ZONING: VCR
BUILDING SETBACKS PER ZONING:
60' FRONT
20' SIDES
20' REAR
CURRENT OWNER: THE LOWELL GROUP, INC.
701 GREEN VALLEY PKWY.
SUITE 200
HENDERSON, NV 89074
PROJECT ADDRESS: 776 HWY. 9 N
DAWSONVILLE, GA. 30534
TMP: D05-023

NOTE: 1/2" REBAR SET AT ALL CORNERS UNLESS OTHERWISE SHOWN.

BOUNDARY TRAVERSE BY TOPCON TOTAL STATION

POSITION CLOSURE: 1/15,000"

ANGLE ERROR: 2" PER STA

CRANDALL ADJUSTMENT

PLAT CLOSURE EXCEEDS 1/50,000"

- AI INDICATES ANGLE IRON
- RE INDICATES REBAR
- CT INDICATES CRIMPED TOP PIPE
- OT INDICATES OPEN TOP PIPE
- CM INDICATES CONC. MON.
- PP INDICATES POWER POLE
- R/W INDICATES RIGHT-OF-WAY
- P/L INDICATES PROPERTY LINE
- BL INDICATES BUILDING LINE
- FC INDICATES FENCE
- CB INDICATES CATCH BASIN
- WM INDICATES WATER METER
- PH INDICATES FIRE HYDRANT
- EO INDICATES EDGE OF PAVING
- BOC INDICATES BACK OF CURB
- LLL INDICATES LAND LOT LINE

FIELD DATE: MAY 22, 2015
PLAT DATE: MAY 26, 2015

GRAPHIC SCALE



J.A. PAGE, Jr. No. 1854

SURVEYOR'S CERTIFICATE:

"I, is hereby certified that this plat is true and correct and was prepared from an actual survey of the property by me or persons under my supervision; that all monuments shown between actually exist or are marked as "future," and that their location, size, type and material are correctly shown.

MARK SOSEBEE REALTY, LLC
TMP: D05-024

THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, R/W'S, ETC. OF RECORD AND NOT OF RECORD, ABOVE OR BELOW GROUND. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY AND ALL DISCLOSURES THAT A TITLE SEARCH MAY PRODUCE.

TOTAL AREA: 0.33 AC.

S287°10'35"W 120.47' FROM C.A. INTX. S.R. 9 AND PERIMETER RD.

CHORD 100.10' N49°51'18"E
ARC 100.11' - RADIUS 2823.30'

ACCORDING TO CURRENT F.L.R.M. MAP #13085C01118 DATED 9/26/08 THIS PROPERTY IS NOT IN A FLOOD HAZARD ZONE.

BRENDA HATHCOCK
TMP: D05-022

CHARLES D. WHITMIRE
RHON WHITMIRE
TMP: D05-021

J.A. PAGE and ASSOCIATES
5610 CROW ROAD
CUMMING, GEORGIA 30041
PH: (770) 889-0281
FAX: (770) 205-0763
PROJ. 16015/16015.DWG



Magnetic North

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 1607 OF THE RULES OF THE GEORGIA BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN GEORGIA PLAT ACT O.C.G.A. 15-6-87 AUTHORITY O.C.G.A. SECS 15-6-87, 43-15-4, 43-15-6, 43-15-18 AND 43-15-22.

EXHIBIT "A"

Exhibit "B"

All that tract or parcel of land lying and being in Land Lot 371 of half of the 13th District and Land Lot 60 of the 4th District and 1st Section of Dawson County, Georgia, being more particularly described as follows:

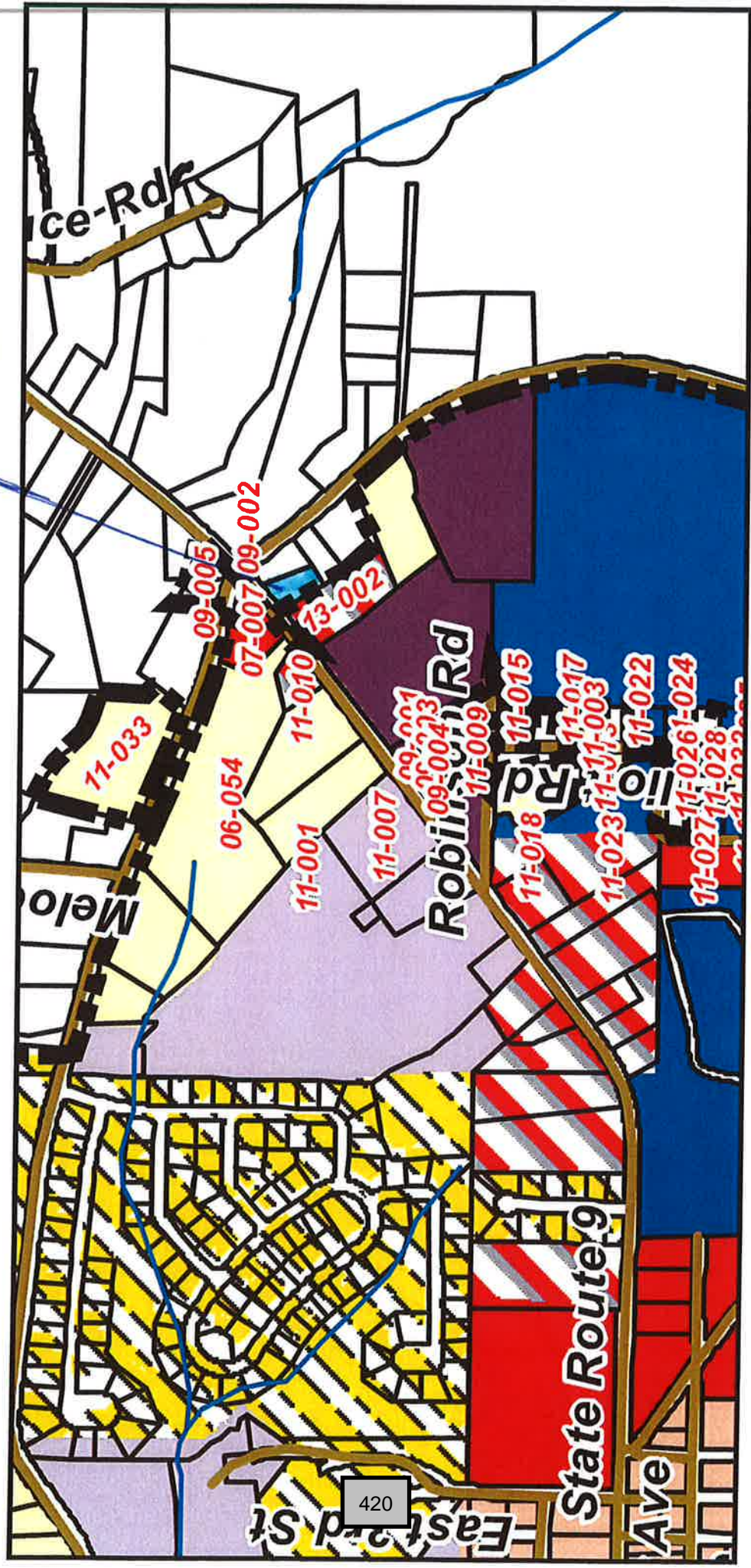
Beginning at an iron pin set on the East right of way of Highway #19, which iron pin set is located 68.44 feet South of the intersection of the South right of way of the Dawsonville Bypass with the East right of way of Highway #19, as measured along the East right of way of Highway #19; going thence South 22 degrees, 28 minutes 30 seconds East 178.56 feet to an iron pin set; going thence South 46 Degrees 28 minutes West 69.50 feet to an iron pin set; going thence North 32 degrees 27 minutes West 176.10 feet to an iron pin found on the East right of way of Highway #19; going thence along the East right of way of Highway #19 North 50 degrees, 10 minutes East 68.78 feet to a point; going thence along the East right of way of Highway #19 North 49 degrees 39 minutes 35 seconds East 31.24 feet to an iron pin set; which iron pin set is the point of beginning. See plat for Holiday Homes by Owen Patton, dated November 26, 1979, which plat is incorporated herein by reference, being revised May 23, 1980.

Subject Property Address: 776 HIGHWAY 9 N., Dawsonville, GA 30534

Parcel ID: 005 023

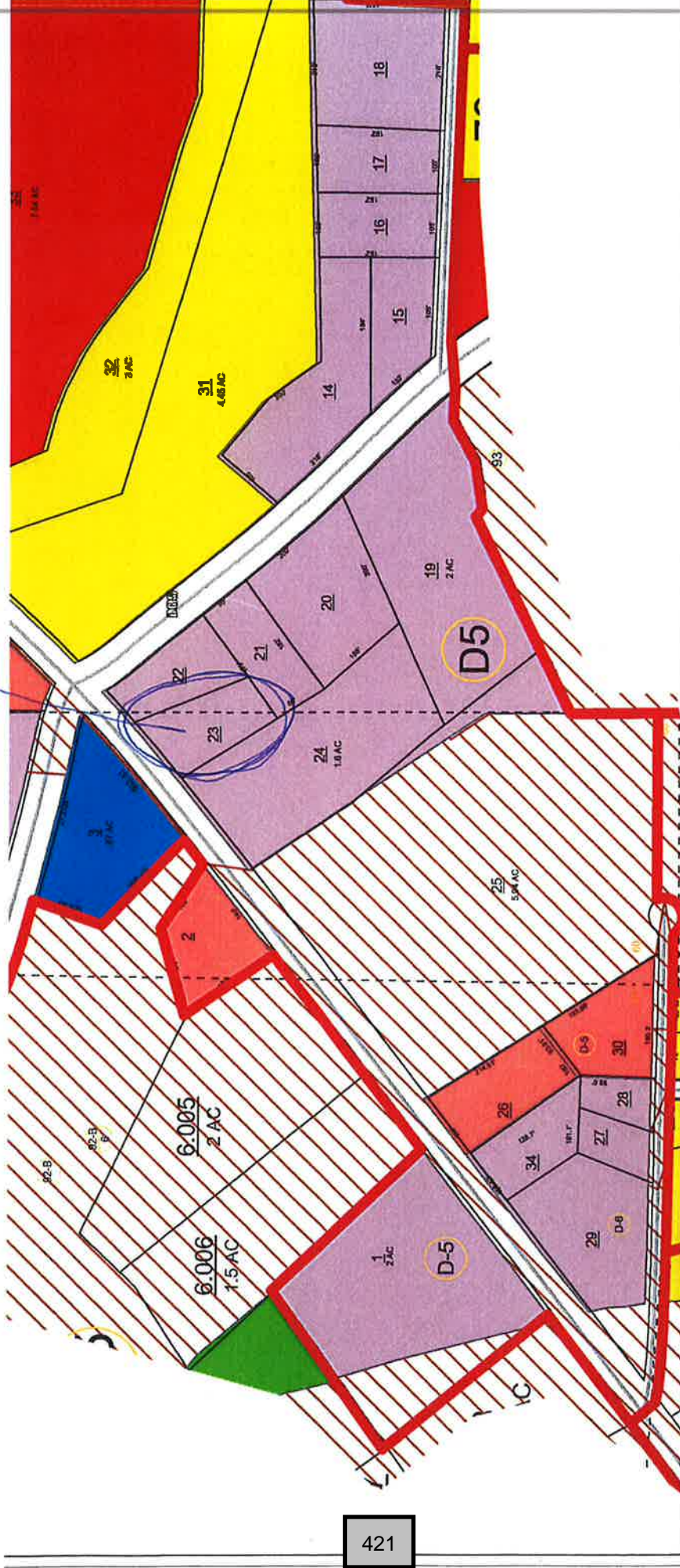
City Map

TM 005 023
M. Wallace



420

County Map
 TMP D05 D03 D02



DAWSON COUNTY, GEORGIA

D05

LEGEND

County Line	City Line	Wetlands	Water	Highway	Road Center Line
ZONING	MIXED-USE VILLAGE	RES	RES	RES	RES
Zoning District	RA	RR	RR	RR	RR
Historic District	RPC	RPC	RPC	RPC	RPC
Other	Other	Other	Other	Other	Other

DAWSON COUNTY COMMISSIONERS OFFICE
 1000 W. GUNN STREET, DAWSON, GA 30157
 (706) 270-1000
 www.dawsoncountyga.com

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 16, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Morris Harris: ANX# C8-00100

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Morris Harris. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-60100

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____
waived by com 1/2/18

Please Print Clearly ZONING AMENDMENT APPLICATION AND FEES RECEIVED ? YES NO

Applicant Name(s): Morris Harris

Mailing Address P.O. Box 28 City Dawsonville State Ga. Zip 30534

E-Mail _____

Applicant Telephone Number(s): 706 265 3141

Property Owner's Name(s): Morris Harris

Mailing Address P.O. Box 28 City Dawsonville State Ga. Zip 30534

E-Mail _____

Property Owner's Telephone Number(s): 706 265 3141

Address of Property to be Annexed: 125 Robinson Road. VACANT LOT

Tax Map & Parcel # D05 030 Property Size in Acres: -.1 Survey Recorded in Plat Book # _____ Page # _____

Land Lot # _____ District # _____ Section # _____ Legal Recorded in Deed Book # _____ Page # _____

Current Use of Property: Auto Repair Shop

County Zoning Classification: Business 55 City Zoning Classification: HB

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:
 Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

- Petition **MUST** include a completed application with signatures and **ALL** attachments.
- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
 - A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
 - Survey **must** be signed and sealed by a Registered Land Surveyor.
 - Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: _____ Residential X Commercial
 _____ Existing Structure(s) _____ Vacant
 _____ Other (specify) _____

2. Number of persons currently residing on the property: _____; VACANT
 Number of persons 18 years or older: _____; Number of persons registered to vote: _____

3. The number of all residents occupying the property:
 _____ American Indian _____ Alaskan Native
 _____ Asian _____ Pacific Islander
 _____ Black, not of Hispanic Origin _____ Hispanic
 _____ White, not of Hispanic Origin _____ VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: N/A

- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:

- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):

- D. Names of affected Subdivision: _____

- E. Name of affected Multi-Family Complex: _____

- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):

- G. Names of affected Duplexes: _____

- H. Names of Mobile Home Parks: _____



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 125 Robinson Rd (TMP DO5 030) (Address/Tax Map Parcel), respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

[Signature]
 Property Owner Signature

Morris Harris
 Property Owner Printed Name

(2) _____
 Property Owner Signature

 Property Owner Printed Name

[Signature]
 Applicant Signature

Morris Harris
 Applicant Printed Name

(2) _____
 Applicant Signature

 Applicant Printed Name

Sworn to and subscribed before me
 this 12 day of March 2018.

[Signature]
 Notary Public, State of Georgia



Nalita Y. Copeland
NOTARY PUBLIC
 Dawson County, Georgia
 My Commission Expires
 May 15, 2019

My Commission Expires: May 15, 2019

Notary Seal

Annexation Application Received Date Stamp:	Rec'd <u>3/12/18</u>	Completed Application with Signatures
	Rec'd " "	Current Boundary Survey
	Rec'd " "	Legal Description
	Rec'd " "	ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18

Dates Advertised: 3/21/18 3/28/18

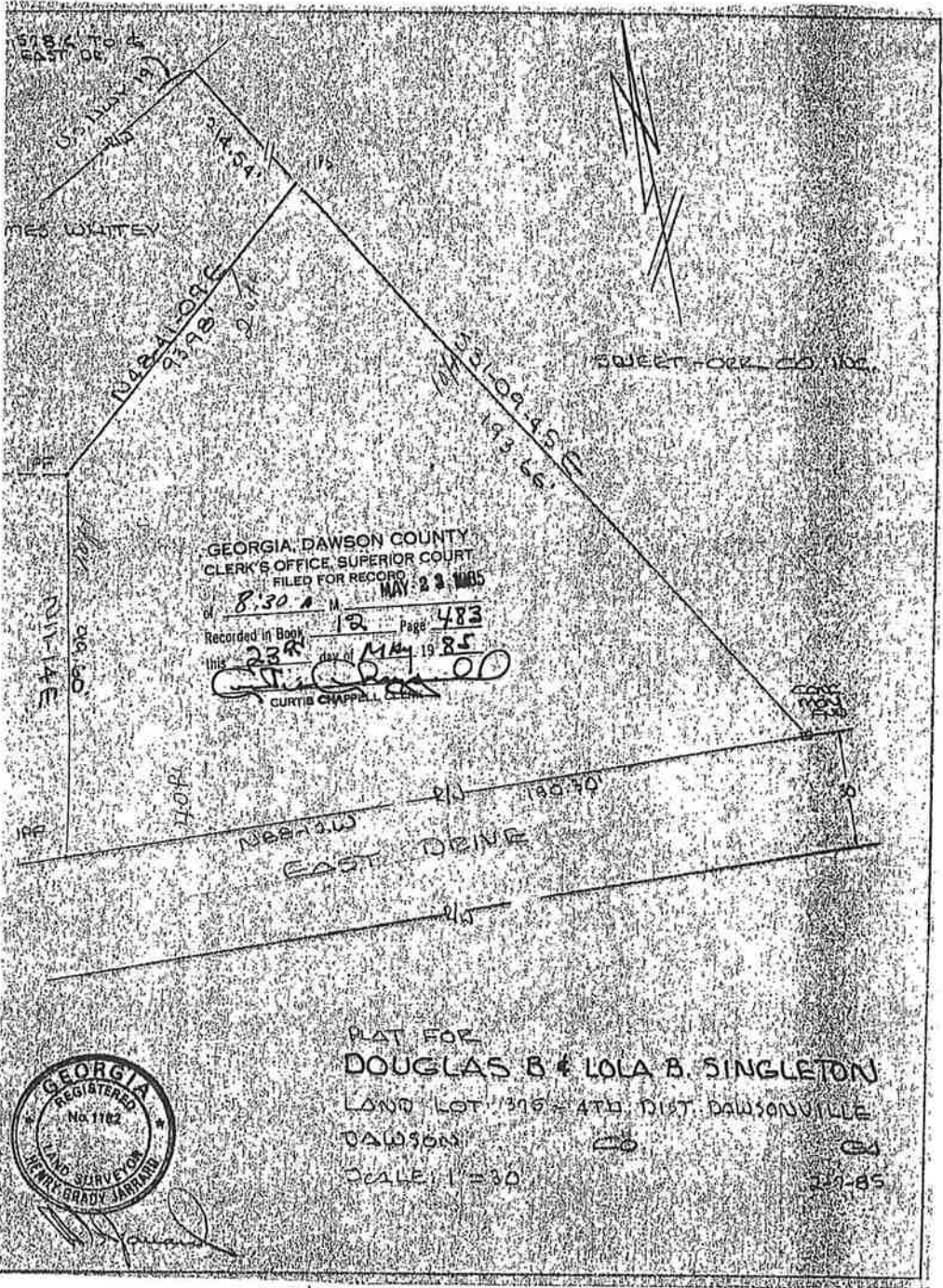
1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18

Approved: YES NO

Date Certified Mail to: 3/14/18 County Board of Commissioners & Chairman 3/14/18 County Manager 3/16/18 County Attorney

Letter Received from Dawson County Date: _____



STATE OF GEORGIA, County of DAWSON

THIS INDENTURE, Made this 28th day of May in the Year of Our Lord One Thousand Nine Hundred and Eighty-five between DOUGLAS B. SINGLETON and LOLA B. SINGLETON

of the State of Georgia and County of Dawson of the first part, and MORRIS HARRIS

of the State of Georgia and County of Dawson of the second part.

WITNESSETH: That the said parties of the first part, for and in consideration of the sum of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION (\$10.00) Dollars, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell and convey unto the said party of the second part, his heirs and assigns, ~~the premises hereinafter described~~

All that tract or parcel of land lying and being in Land Lot 375 of the 4th District, 1st Section of Dawson County, Georgia, shown on a plat prepared for Douglas B. and Lola B. Singleton by Henry Grady Jarrard, Surveyor, dated February 7, 1985, a copy of which is recorded in Plat Book 12, page 483, Dawson County Deed Records, to which recorded plat this reference is made for a more particular description and described according to said plat as follows:

BEGINNING at a concrete monument on the north right-of-way of East Drive at the southwest corner of property of Sweet-Orr Co., Inc. (said monument being located S 31-09-45 E 408.20 feet from a concrete monument on the southeast right-of-way of U. S. Highway 19); thence along the north right-of-way of East Drive N 88-12 W 190.30 feet to an iron pin on said right-of-way; thence N 11-14 E 99.60 feet to an iron pin; thence N 48-41-09 E 93.98 feet to an iron pin on the property line of Sweet-Orr Co., Inc.; thence along said property line S 31-09-45 E 193.66 feet to the point of beginning, being a part of the property described in a deed from Aubrey W. Brown to Douglas B. Singleton, et al, recorded in Deed Book 72, page 39, Dawson County Deed Records.

DAWSON COUNTY, GEORGIA
REAL ESTATE TRANSFER TAX
PAID \$ 13.50
DATE 5-31-85
Curtis Chappell
CURTIS CHAPPELL, CLERK
SUPERIOR COURT

GEORGIA, DAWSON COUNTY
CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD
of 8:30 A. M. MAY 31 1985
Recorded in Book 80 Page 591-592
this 31 day of May 19 85
Curtis Chappell, Clerk
CURTIS CHAPPELL, CLERK

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said part y of the second part, his heirs and assigns, forever, in Fee Simple.

AND THE SAID part ies of the first part, for their heirs, executors and administrators, will, warrant and forever defend the right and title to the above described property, unto the said part y of the second part, his heirs and assigns, against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the said part ies of the first part have hereunto set their hand and seal s, the day and year above written.

Signed, sealed and delivered in presence of:

Nancy Nichol

J. H. Fox



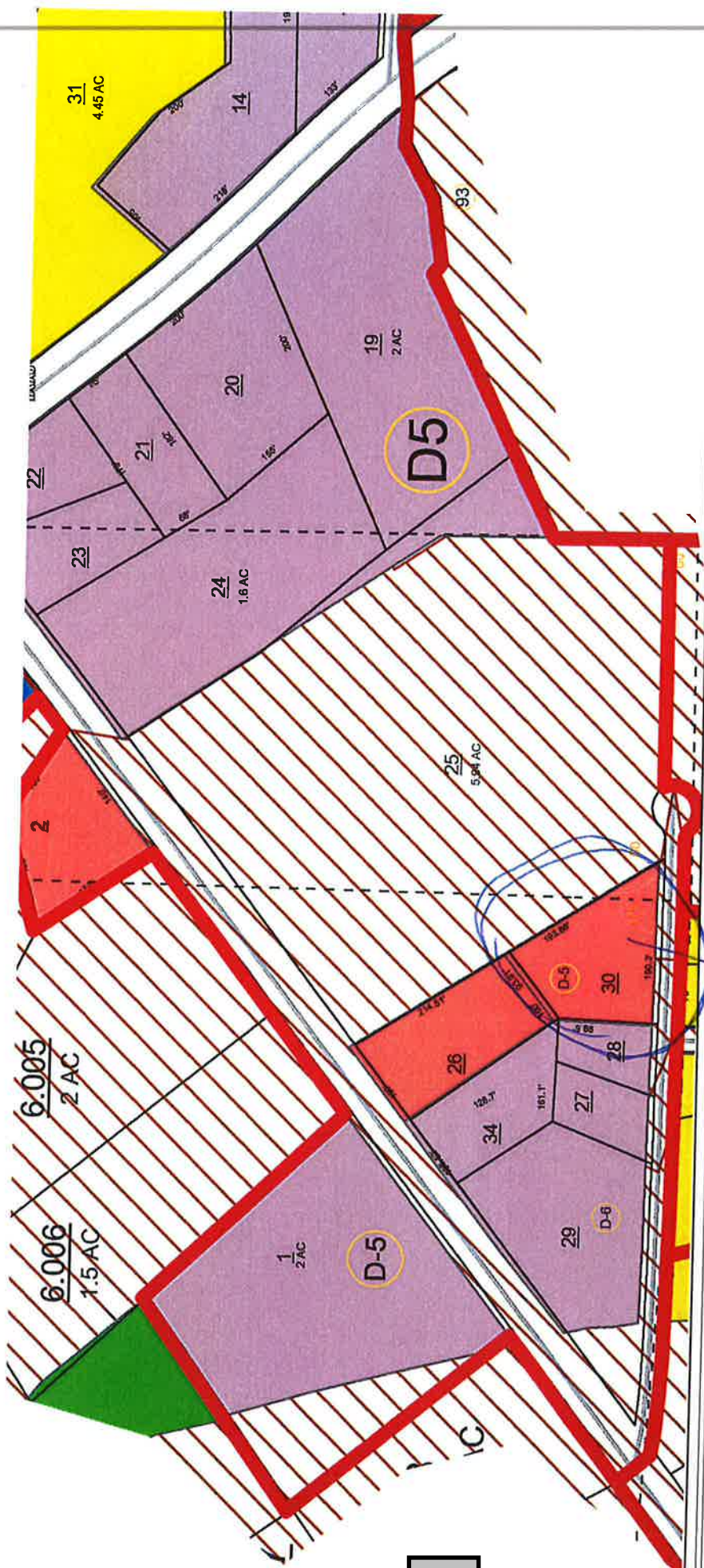
Notary Public
Commission expires: 7-25-86

Douglas B. Singleton (Seal)
Douglas B. Singleton

Lola B. Singleton (Seal)
Lola B. Singleton

WARRANTY DEED (Long Form)	
FROM	DOUGLAS B. SINGLETON, ET AL
TO	MORRIS HARRIS
	GEORGIA, County of _____
	Clerk's Office, Superior Court
Filed for Record at _____ o'clock _____ M.	_____, 19____
Recorded in Deed Book _____ Folio _____	_____, 19____
	_____, Clerk
Robert B. Thompson Attorney at Law P. O. Box 2515 Gainesville, Ga. 30503	

FORM NO. 814 MARK ALLEN CO.



DAWSON COUNTY, GEORGIA

D05

	County Line		ZONING		Dawsonville City Limits
	Map Boundary		Zoning District		Hydro
	Land Use Lines		Historic District		Road Center Line
	Parcel				
	MIXED USE VILLAGE		C-RB		C-TB
	RA		C-PCD		CT
	RPC		VCR		C-CB
	RRE		C-JI		VC
	RMAP		RSRMM		
	RL		RS		
	RMF				

429

TMP D05 030
 County Zoning C-CB
 (Commercial Business)

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 16, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Chris Moore: ANX# C8-00101

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Chris Moore. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,

Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-00101

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 1/8/18

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED?** YES NO

Applicant Name(s): Chris Moore

Mailing Address 55 Gold Creek Ct City Dawsonville State GA Zip 30534

E-Mail chris@blue.martin.logistics.com

Applicant Telephone Number(s): 770-670-8510

Property Owner's Name(s): Chris Moore

Mailing Address 55 Gold Creek Ct City Dawsonville State GA Zip 30534

E-Mail chris@blue.martin.logistics.com

Property Owner's Telephone Number(s): 770-670-8510

Address of Property to be Annexed: 55 Gold Creek Ct Dawsonville GA VACANT LOT

Tax Map & Parcel # 090 043 Property Size in Acres: 0.4-1 Survey Recorded in Plat Book # 1047 Page # 296-299

Land Lot # 69 102 District # 4 Section # 1 Legal Recorded in Deed Book # 31 Page # 247

Current Use of Property: Residential

County Zoning Classification: R3 City Zoning Classification: PUD | R-2

(RPC - Residential Planned Community) (Planned Unit Dev w/ R-2 Use)

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 ½ x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 55 Gold Creek St. Dawsonville GA 30534 (Address/Tax Map Parcel) , respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

(1)	<u>[Signature]</u> Property Owner Signature	<u>Chris H. Moore</u> Property Owner Printed Name
(2)	_____ Property Owner Signature	_____ Property Owner Printed Name
(1)	_____ Applicant Signature	_____ Applicant Printed Name
(2)	_____ Applicant Signature	_____ Applicant Printed Name

Sworn to and subscribed before me
 this 12 day of March 2018.

[Signature]
 Notary Public, State of Georgia



Nalita Y. Copeland
NOTARY PUBLIC
 Dawson County, Georgia
 My Commission Expires
 May 15, 2019

My Commission Expires: May 15, 2018

Notary Seal

Annexation Application Received Date Stamp:	Rec'd <u>3/12/18</u>	Completed Application with Signatures
	Rec'd <u>"</u>	Current Boundary Survey
	Rec'd <u>"</u>	Legal Description
	Rec'd <u>"</u>	ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18

Dates Advertised: 3/21/18 3/28/18

1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18

Approved: YES NO

Date Certified Mail to: 3/16 County Board of Commissioners & Chairman 3/16 County Manager 3/16 County Attorney

Letter Received from Dawson County Date: _____

After recording, return to:
Boling Rice LLC
Attn: Brandon Barron
P. O. Box 244
Cumming, Georgia 30028
#66448

DEED TO SECURE DEBT

STATE OF GEORGIA

COUNTY OF FORSYTH

THIS INDENTURE, made this 24 day of September, 2012,

between CHRIS H. MOORE

of the State of Georgia and County of Dawson,

Grantor, and CHARLES E. HEUSSER AND SYDNEY H. HEUSSER

P.O. BOX 1658, DAWSONVILLE, GA. 30534

of the State of Georgia and County of Dawson,
Grantee,

W I T N E S S E T H: That, WHEREAS, Grantor is justly indebted to Grantee in the sum of TWO HUNDRED SEVENTY FIVE THOUSAND AND 00/100THS Dollars (\$ 275,000.00), in lawful money of the United States, and has agreed to pay the same, with interest thereon, according to the terms of a certain note (the "Note") given by Grantor to Grantee, bearing even date herewith, with final payment being due on August 24, 2015, the Note, by reference, being made a part hereof:

NOW, THEREFORE, in consideration of the premises and of the sum hereinabove set forth, Grantor has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee the following property, to-wit:

All that tract or parcel of land lying and being in Land Lots 69 & 102 of the 4th District, 1st Section of Dawson County, Georgia being Lot 4, Block D, Gold Creek Golf Club, as per plat recorded in Plat Book 31, page 247, Dawson County, Georgia Records, which plat is incorporated herein by reference and made a part hereof.

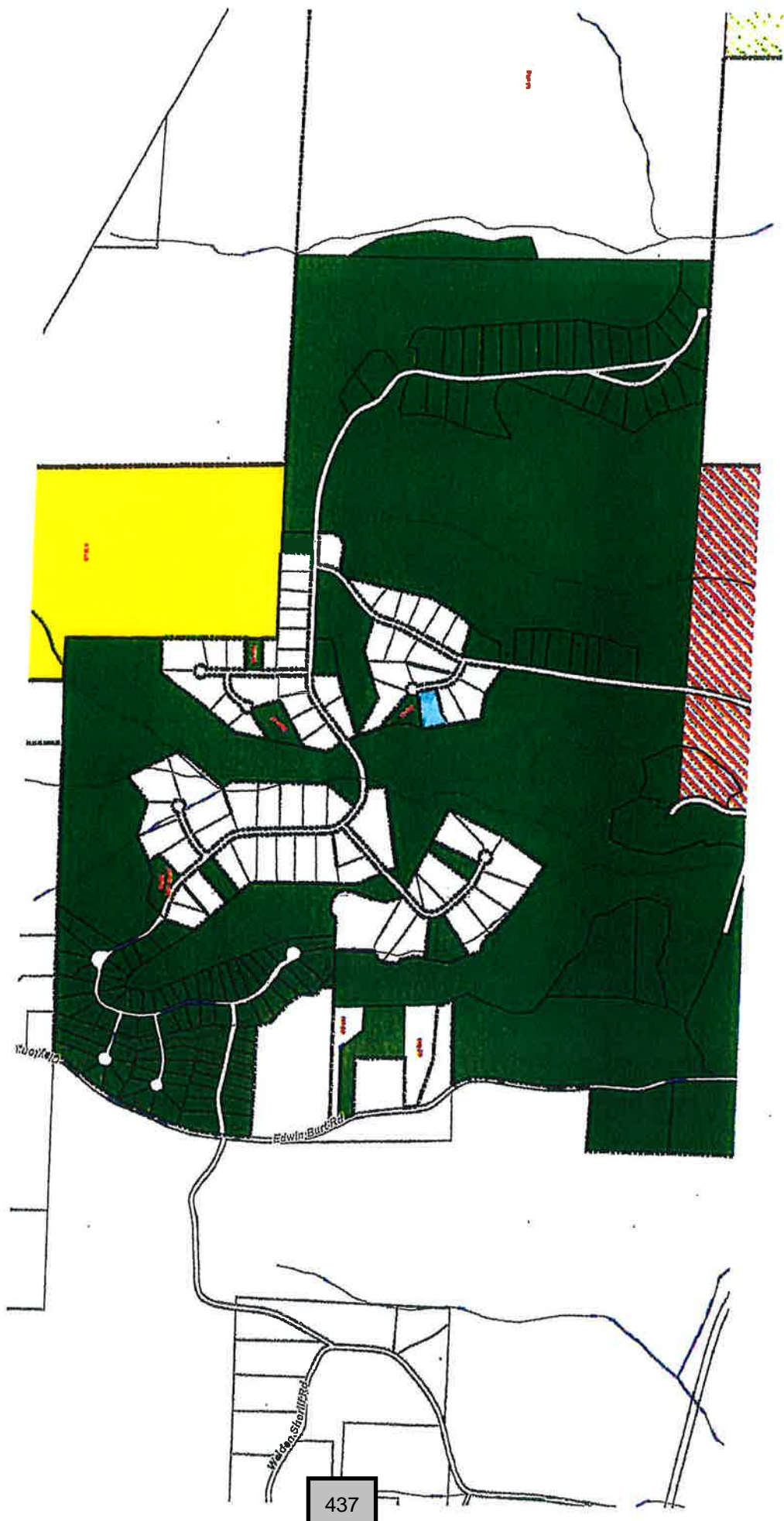
TOGETHER, with all buildings, structures and other improvements now or hereafter located on the property hereinbefore described, or any part and parcel thereof; and

TOGETHER, with all rights, title and interest of Grantor in and to the minerals, flowers, shrubs, crops, trees, timber and other emblements now or hereafter on said property or under or above the same or any part or parcel thereof; and

TOGETHER, with all and singular the tenements, hereditaments, easements and appurtenances thereunto belonging or in any wise appertaining, and the reversion or reversions, remainder and remainders, rents, issues and profits hereof; and also all the estate, right, title, interest claim and demand whatsoever of Grantor of, in and to the same and of, in and to every part and parcel thereof; and

TOGETHER, with all machinery, apparatus, equipment, fittings, fixtures, whether actually or constructively attached to said property and including all trade, domestic and ornamental fixtures, and articles of personal property of every kind and nature whatsoever (hereinafter collectively called "Equipment"), now or hereafter located in, upon or under said property or any part thereof and used or useable in connection with any present or future operation of said property and now owned or hereafter acquired by Grantor, including, but without limiting the generality of the foregoing, all heating, air-conditioning, freezing, lighting, laundry, incinerating and power equipment; engines; pipes; pumps; tanks; motors; conduits; switchboards; plumbing, fitting, cleaning, fire prevention, fire extinguishing, refrigerating, ventilating and communications apparatus; boilers, ranges, furnaces, oil burners or units thereof; appliances; air-cooling and air-conditioning apparatus; vacuum cleaning systems; elevators; escalators; shades; awnings; screens; storm doors and windows; stoves; wall beds; refrigerators, attached cabinets; partitions; ducts and compressors; rugs and carpets; draperies; furniture and furnishings in commercial, institutional and industrial buildings; together with all additions thereto and replacements thereof (Grantor hereby agreeing with respect to all additions and replacements to execute and deliver from time to time such further instruments as may be requested by Grantee to confirm the conveyance, transfer and assignment of any of the foregoing); and

TOGETHER, with any and all rents which are now due or may hereafter become due by reason of the renting, leasing and bailment of property improvements thereon and Equipment; and



437

415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 16, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Toivo and Mary Ratasepp: ANX# C8-00102

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Toivo and Mary Ratasepp. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,


Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 08-00102

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fees Waived by CC 11/8/18

Please Print Clearly ZONING AMENDMENT APPLICATION AND FEES RECEIVED? YES NO

* Applicant Name(s): Toivo A. + Mary L. Ratasepp
 Mailing Address 583 GOLD BULLION DR W. City DAWSONVILLE State GA Zip 30534
 * E-Mail Dolls 031742@MSN.COM or RatsWest108@msn.com
 * Applicant Telephone Number(s): 648-900-9993 352-430-6826

* Property Owner's Name(s): Toivo A. or Mary L. Ratasepp
 * Mailing Address 583 Gold Bullion DR W City Dawsonville State Ga Zip 30534
 * E-Mail Same as above
 * Property Owner's Telephone Number(s): Same as above Same

Address of Property to be Annexed: 583 GOLD BULLION DR W VACANT LOT
 Tax Map & Parcel # 090-096 Property Size in Acres: -1 Survey Recorded in Plat Book # 37 Page # 173
 Land Lot # 35 + 36 District # 4 Section # 1 Legal Recorded in Deed Book # 428 Page # 613
 Current Use of Property: Residential
 County Zoning Classification: RPC City Zoning Classification: PUD/R-2

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 1/2 x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____

X2. Number of persons currently residing on the property: 3; VACANT
 Number of persons 18 years or older: 3; Number of persons registered to vote: _____

X3. The number of all residents occupying the property:
 American Indian Alaskan Native
 Asian Pacific Islander
 Black, not of Hispanic Origin Hispanic
 White, not of Hispanic Origin VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
583 Gold Bullion DR. W
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Stay the same
- D. Names of affected Subdivision: Gold Creek
- E. Name of affected Multi-Family Complex: _____
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):

- G. Names of affected Duplexes: _____
- H. Names of Mobile Home Parks: _____



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 583 Gold Bullion DRW (Address/Tax Map Parcel) , respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

X(1)	<u>Joao C. Ratasepp</u> Property Owner Signature	<u>JOAO A RATASEPP</u> Property Owner Printed Name
X(2)	<u>Mary L. Ratasepp</u> Property Owner Signature	<u>MARY L. Ratasepp</u> Property Owner Printed Name
X(1)	<u>Joao C. Ratasepp</u> Applicant Signature	<u>JOAO A RATASEPP</u> Applicant Printed Name
X(2)	<u>Mary L. Ratasepp</u> Applicant Signature	<u>MARY L. Ratasepp</u> Applicant Printed Name

Sworn to and subscribed before me
 this 4th day of March 2018.

[Signature]
 Notary Public, State of Georgia

My Commission Expires: Aug 16, 2021



Annexation Application Received Date Stamp:	Rec'd <u>3/12/18</u>	Completed Application with Signatures
	Rec'd <u>11/11</u>	Current Boundary Survey
	Rec'd <u>11/11</u>	Legal Description
	Rec'd <u>11/11</u>	ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18

Dates Advertised: 3/21/18 3/28/18

1st City Council Reading Date: 4/23/18

2nd City Council Reading Date: 5/7/18

Approved: YES NO

Date Certified Mail to: 3/16 County Board of Commissioners & Chairman 3/16 County Manager 3/16 County Attorney

Letter Received from Dawson County Date: _____

49-83

HEALTH DEPARTMENT NOTES:

1. BLOCK 1, LOT 1: PLAT PLAN REQUIRED.
2. BLOCK 1, LOT 2: PLAT PLAN REQUIRED.
3. BLOCK 1, LOT 3: PLAT PLAN REQUIRED.
4. BLOCK 1, LOT 4: PLAT PLAN REQUIRED.
5. BLOCK 1, LOT 5: PLAT PLAN REQUIRED.
6. BLOCK 1, LOT 6: PLAT PLAN REQUIRED.
7. BLOCK 1, LOT 7: PLAT PLAN REQUIRED.
8. BLOCK 1, LOT 8: PLAT PLAN REQUIRED.
9. BLOCK 1, LOT 9: PLAT PLAN REQUIRED.
10. BLOCK 1, LOT 10: PLAT PLAN REQUIRED.
11. BLOCK 1, LOT 11: PLAT PLAN REQUIRED.
12. BLOCK 1, LOT 12: PLAT PLAN REQUIRED.
13. BLOCK 1, LOT 13: PLAT PLAN REQUIRED.
14. BLOCK 1, LOT 14: PLAT PLAN REQUIRED.
15. BLOCK 1, LOT 15: PLAT PLAN REQUIRED.
16. BLOCK 1, LOT 16: PLAT PLAN REQUIRED.
17. BLOCK 1, LOT 17: PLAT PLAN REQUIRED.
18. BLOCK 1, LOT 18: PLAT PLAN REQUIRED.
19. BLOCK 1, LOT 19: PLAT PLAN REQUIRED.
20. BLOCK 1, LOT 20: PLAT PLAN REQUIRED.
21. BLOCK 1, LOT 21: PLAT PLAN REQUIRED.
22. BLOCK 1, LOT 22: PLAT PLAN REQUIRED.
23. BLOCK 1, LOT 23: PLAT PLAN REQUIRED.
24. BLOCK 1, LOT 24: PLAT PLAN REQUIRED.
25. BLOCK 1, LOT 25: PLAT PLAN REQUIRED.

IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS FOR DAVENPORT COUNTY, GEORGIA, ALL PLAT PLANS MUST BE APPROVED BY THE DAVENPORT COUNTY BOARD OF COMMISSIONERS ON...

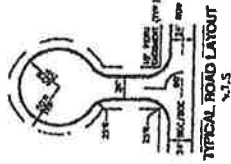
CHRYSTIAN, DAVENPORT COUNTY BOARD OF COMMISSIONERS

DAVENPORT COUNTY
CLERK OFFICE, DAVENPORT COUNTY
PLAT FOR RECORD
AT 2:30 PM ON 4-13-83
RECORDED IN PLAT BOOK 49 PAGE 83
THE 13:35-AG AT 4:11 PM 83
[Signature]

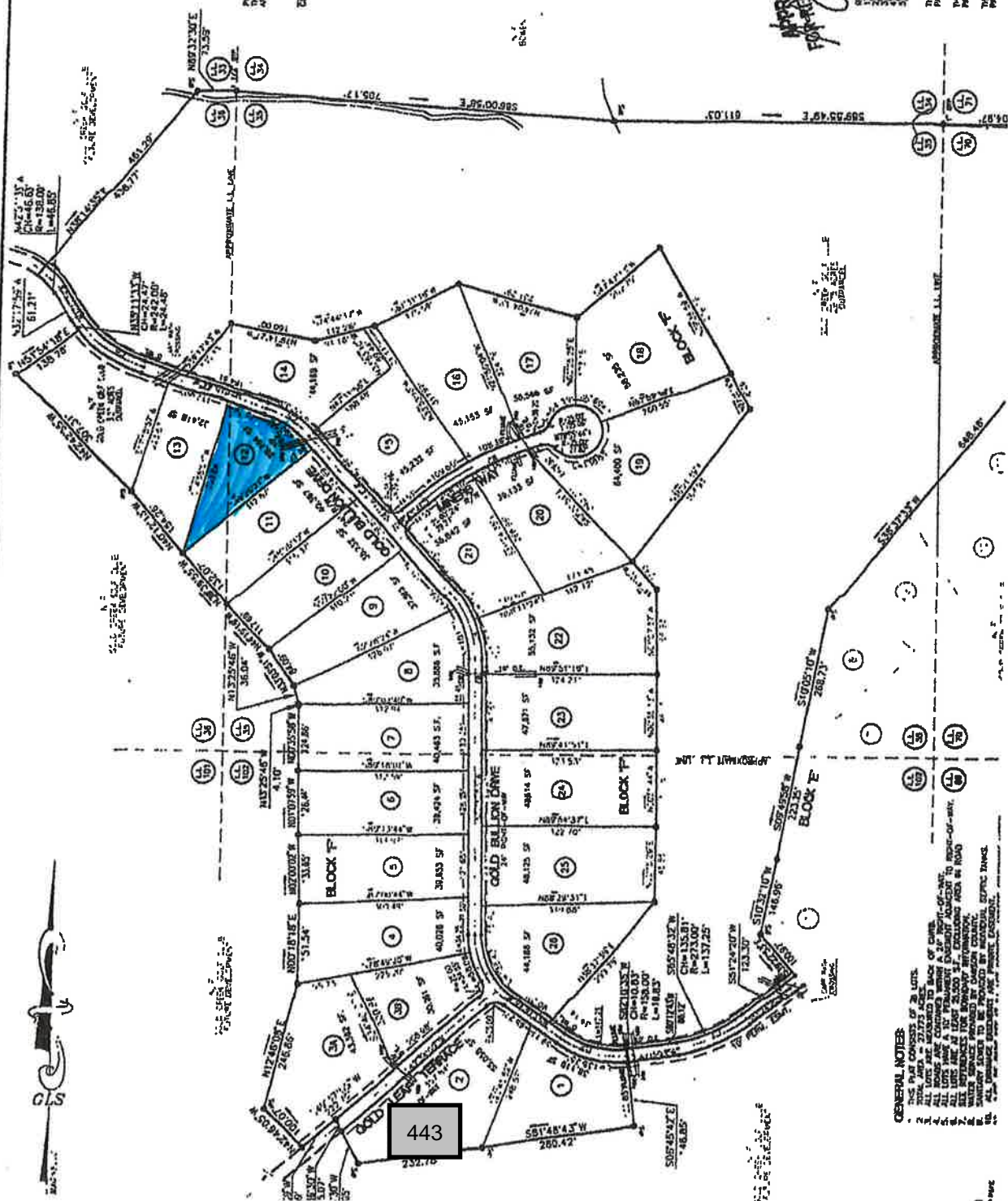


IN MY OPINION, THE PLAT IS A CORRECT REPRESENTATION OF THE SUBDIVISION AND THE LOTS ARE ACCURATELY DESCRIBED AND THE DIMENSIONS ARE CORRECT. I HAVE REVIEWED THE PLAT AND THE RECORDS OF THE DAVENPORT COUNTY BOARD OF COMMISSIONERS.

A PERSON OR PERSONS WHOSE NAME IS LISTED IN THIS PLAT AS THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PLAT AND THE DIMENSIONS THEREOF.



TYPICAL ROAD LAYOUT
S.F.S.



APPROVED FOR RECORDING
4/13/83

- GENERAL NOTES:**
1. THIS PLAT CONSISTS OF 25 LOTS.
 2. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 3. ALL ROADS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 4. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 5. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
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 19. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
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 21. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 22. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 23. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 24. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.
 25. ALL LOTS ARE TO BE CONVEYED TO THE BUYER BY DEED.

443

GEORGIA, DAWSON COUNTY
CLERK'S OFFICE, SUPERIOR COURT
FILED FOR RECORD

AT 12:10 P M 2-22-02
Recorded in Book 428 Page 612-614
This 25 day of Feb 20 02

Becky McCord Clerk

DAWSON COUNTY, GEORGIA
REAL ESTATE TRANSFER TAX
\$ 305.00
2-25-02
Becky McCord
BECKY McCORD, CLERK
SUPERIOR COURT

After recording return to:
North Georgia Title, Inc.
54 Lumpkin Campground Rd. S. Ste 110
Dawsonville, GA 30534

WARRANTY DEED

STATE OF GEORGIA

DAWSON COUNTY

THIS INDENTURE made this 13TH day of FEBRUARY, 2002 between

GOLD CREEK DEVELOPMENT ASSOCIATES, LLC.

hereinafter called " Grantor's", and

HOPE KENT

Hereinafter called "Grantee/s" (the words "Grantor/s" and "Grantee/s" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That Grantor/s, for and in consideration of TEN DOLLARS and other good and valuable considerations--- (\$10.00)----- receipt of which is hereby acknowledged has/have granted, sold, transferred and conveyed, and by these presents does/do grant, sell, transfer and convey an undivided interest unto Grantee(S):
DESCRIPTION

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.

TO HAVE AND TO HOLD, in fee simple. And Grantor/s will warrant and forever defend the right and title to said premises unto Grantee/s against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor's/s' hand and seal have been hereunto affixed, the day and year first above written.

Signed, sealed and delivered GOLD CREEK DEVELOPMENT ASSOCIATES, LLC.

in the presence of:

Connie Bradford
WITNESS

BY: Robert B. Payne (Agent) (SEAL)
Pursuant To Power of Attorney dated 2/7/02

Estelle Smith (SEAL)
NOTARY PUBLIC



EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 35 & 36 OF THE 4TH DISTRICT, 1ST SECTION OF DAWSON COUNTY, GEORGIA, BEING LOT 12, BLOCK F, UNIT 3 OF GOLD CREEK GOLF CLUB SUBDIVISION AS PER PLAT OF SURVEY RECORDED IN PLAT BOOK 37, PAGE 173, DAWSON COUNTY, GEORGIA RECORDS AND SUBSEQUENTLY RE-RECORDED IN PLAT BOOK 49, PAGE 83, DAWSON COUNTY, GEORGIA RECORDS. WHICH PLAT IS INCORPORATED HEREIN AND MADE A PART HEREOF BY REFERENCE.

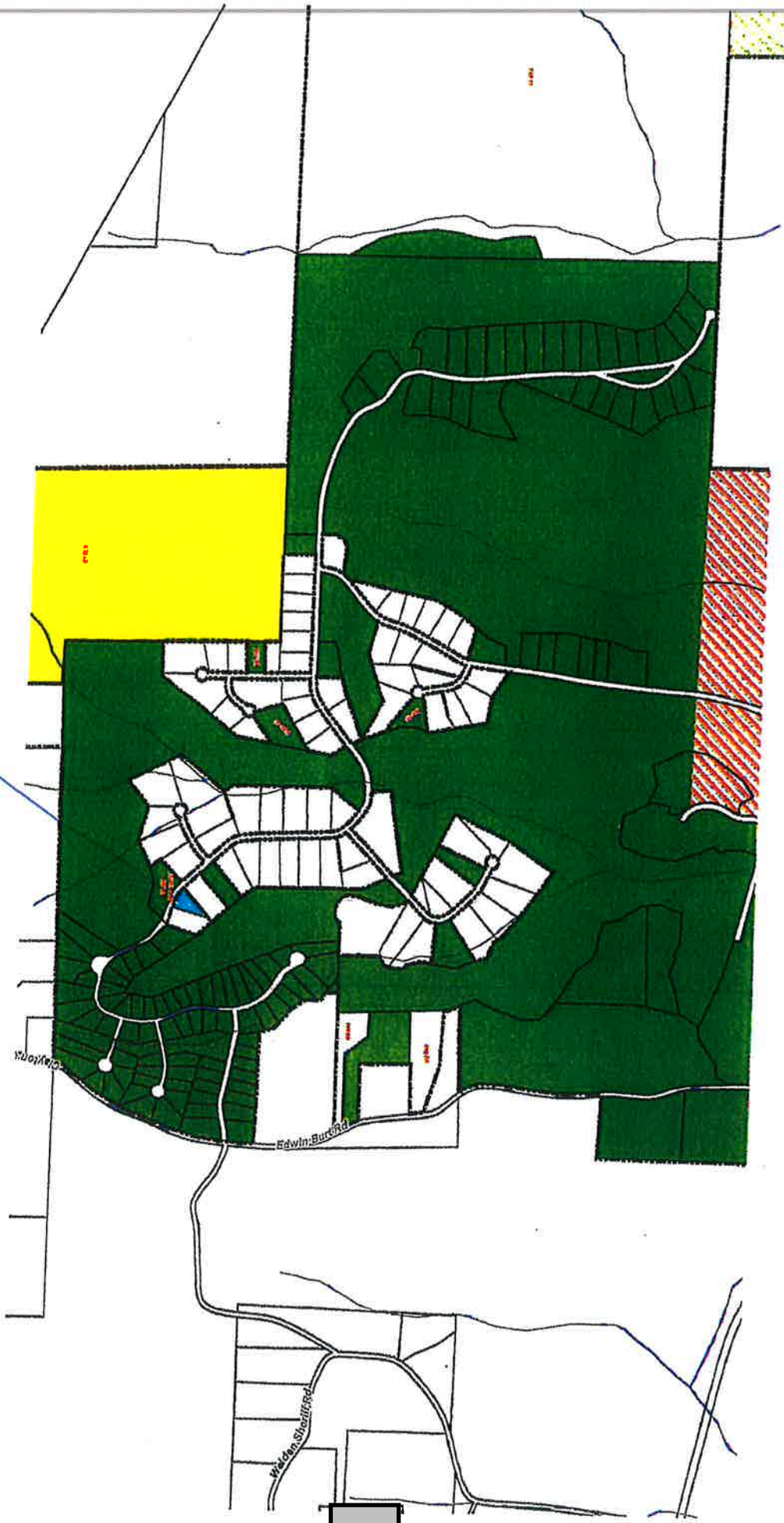
THIS PROPERTY CONVEYED SUBJECT TO RESERVATIONS, RESTRICTIONS, COVENANTS AND CONDITIONS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED 9/22/95 IN DEED BOOK 205, PAGE 484, DAWSON COUNTY, GEORGIA RECORDS.

THIS PROPERTY IS PART OF PLANNED UNIT DEVELOPMENT.

City Map

Ratasepp

TMP 090 DR6



415 Highway 53 E. Suite 100
Dawsonville, Georgia 30534



(706) 265-3256
Fax (706) 265-4214
www.dawsonville-ga.gov

March 16, 2018

CERTIFIED MAIL

Mr. Billy Thurmond
Board of Commissioners
Dawson County
25 Justice Way, Suite 2313
Dawsonville, GA 30534

Re: Annexation of Property of Michael and Kelley Dasinger: ANX# C8-00103

Dear Mr. Thurmond,

Please be advised that the City of Dawsonville, Georgia, pursuant to authority vested in the Mayor and Council of the City of Dawsonville by Article 2, Chapter 36, Title 36 of the Official Code of Georgia Annotated, received a petition to annex the property referenced above. This annexation petition will be heard during the public hearing segment of the following City Council meetings; April 23, 2018 and May 7, 2018.

This letter has been sent to you by certified mail, return receipt requested, upon receipt of the Annexation Petition of Michael and Kelley Dasinger. Said notice is in compliance with O.C.G.A. §§ 36-36-6, and 36-36-111. Please see the attached copy of the annexation petition and map of the site proposed to be annexed, which are included to allow you to identify the subject area, as well as the intended use of the property.

Pursuant to O.C.G.A. § 36-36-113, upon receipt of this notice Dawson County has thirty (30) calendar days to raise an objection to the proposed use of the above referenced land, and to specify the basis therefore.

Finally, in accord with O.C.G.A. § 36-36-7, Dawson County has five (5) business days from the receipt of this notice to notify the City that there are County-owned public facilities within the area proposed for annexation.

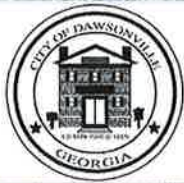
Thank you for your time and attention to this matter, and I look forward to hearing from you regarding this issue. If I may be of assistance in this regard or any other, please do not hesitate to contact me.

Sincerely,


Casey Majewski, P.E.
Planning Director

Enclosures

cc: David Headley, County Manager
M. Lynn Frey III, County Attorney
Bob Bolz, City Manager



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Annexation # 18-00103

FEE \$250.00 (NONREFUNDABLE) Date Paid _____ Cash /Ck # _____

Fee Waived by CC 118118

Please Print Clearly **ZONING AMENDMENT APPLICATION AND FEES RECEIVED?** YES NO

Applicant Name(s): MICHAEL C. DASINGER KELLEY D. DASINGER

Mailing Address 501 GOLD BILLION DR City DAWSONVILLE State GA Zip 30534

+ E-Mail mikey1174@gmail.com

+ Applicant Telephone Number(s): 334-618-0930 770-402-8205

Property Owner's Name(s): MICHAEL C. DASINGER KELLEY D. DASINGER

Mailing Address 501 GOLD BILLION DR City DAWSONVILLE State GA Zip 30534

+ E-Mail mikey1174@gmail.com

+ Property Owner's Telephone Number(s): 334-618-0930 770-402-8205

Address of Property to be Annexed: 501 GOLD BILLION DR VACANT LOT

Tax Map & Parcel # 090-093 Property Size in Acres: -1 Survey Recorded in Plat Book # 49 Page # 83

Land Lot # 35 District # 4 Section # 1 Legal Recorded in Deed Book # 1239 Page # 298

Current Use of Property: Residential

County Zoning Classification: RPC City Zoning Classification: PUD/R2

Land Use & Zoning Ordinance, Article VII. General Provisions Sec. 708. Annexation:

Any land area subsequently added to the incorporated area of Dawsonville shall automatically be classified R-1 (single-family residential district) until or unless otherwise classified by amendment to the official zoning map.

Petition **MUST** include a completed application with signatures and **ALL** attachments.

- An 8 1/2 x 11 copy of the current **RECORDED BOUNDARY SURVEY** of said property showing the contiguity of said property to the existing corporate limits of the City of Dawsonville, GA.
- A copy of the current metes and bounds **LEGAL DESCRIPTION** that matches the boundary survey of the property being annexed.
- Survey **must** be signed and sealed by a Registered Land Surveyor.
- Survey **must** be signed, stamped recorded by Dawson County Clerk's Office, Superior Court



City of Dawsonville
 P.O. Box 6
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**Annexation Petition
 into the
 City of Dawsonville, GA**

Please answer the following questions to meet and comply with the United States Department of Justice, Civil Rights Division, Voting Section, Section 5 of the Voting Rights Act.

1. Intended Use of Land: Residential Commercial
 Existing Structure(s) Vacant
 Other (specify) _____

2. Number of persons currently residing on the property: 4; VACANT
 Number of persons 18 years or older: _____; Number of persons registered to vote: _____

3. The number of all residents occupying the property:
 American Indian Alaskan Native
 Asian Pacific Islander
 Black, not of Hispanic Origin Hispanic
 White, not of Hispanic Origin VACANT

Please answer the following questions to meet and comply with the U. S. Department of Commerce, which requires this information to provide Population Estimates.

ARC Population Estimate Information

- A. Number of existing housing units: 1
- B. List of Addresses for each housing unit in the annexed area at the time of the annexation:
501 Gold Bullion DR
- C. Disposition of existing structures (e.g. to stay the same, be demolished, moved or converted):
Stay the same
- D. Names of affected Subdivision: Gold Creek
- E. Name of affected Multi-Family Complex: _____
- F. Names of Group Quarters (dormitories, nursing homes, jails, etc.):

- G. Names of affected Duplexes: _____
- H. Names of Mobile Home Parks: _____



City of Dawsonville
 P.O. Box 6
 415 Highway 53 East, Suite 100
 Dawsonville, GA 30534
 Phone: (706) 265-3256

**Annexation Petition
 into the
 City of Dawsonville, GA**

Property Owner(s) Authorization

I / We the undersigned, being the owner(s) of real property of the territory described herein as 501 Gold Bullion DR (Address/Tax Map Parcel) , respectfully request that the Mayor and City Council of the City of Dawsonville, Georgia annex this property into the City and extend the City boundaries to include the same.

Upon signature of this document, I / We the undersigned certify that all the information provided is true and accurate to the best of our knowledge.

7 (1) [Signature]
 Property Owner Signature
 + (2) [Signature]
 Property Owner Signature
 + (1) [Signature]
 Applicant Signature
 + (2) [Signature]
 Applicant Signature

MICHAEL C. DASINGER
 Property Owner Printed Name
KELLEY D. DASINGER
 Property Owner Printed Name
MICHAEL C. DASINGER
 Applicant Printed Name
KELLEY D. DASINGER
 Applicant Printed Name

+ Sworn to and subscribed before me
 this 5th day of March 2018.
[Signature]
 Notary Public, State of Georgia
 My Commission Expires: Oct. 10, 2020



Notary Seal

Annexation Application Received Date Stamp: Rec'd 3/12/18 Completed Application with Signatures
 Rec'd 3/12/18 Current Boundary Survey
 Rec'd .. v Legal Description
 Rec'd .. v ARC Population Estimate Information

Planning Commission Meeting Date (if rezone): 4/9/18
 Dates Advertised: 3/21/18 3/28/18
 1st City Council Reading Date: 4/23/18
 2nd City Council Reading Date: 5/7/18 Approved: YES NO
 Date Certified Mail to: 3/16/18 County Board of Commissioners & Chairman 3/16/18 County Manager 3/16/18 County Attorney

Letter Received from Dawson County Date: _____

RETURN TO: ANGELA GRANT CLARK
P.O. BOX 611
DAHLONEGA, GA 30533

SURVIVORSHIP LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF DAWSON

THIS INDENTURE, Made this 21st day of April in the Year of Our Lord Two Thousand Seventeen, between Burl O'Lindy Barker, III and Joanne Marie Barker, State of Georgia, as parties of the first part, and Michael Craig Dasinger and Kelley Davis Dasinger, State of Georgia, as parties of the second part,

WITNESSETH: That the said parties of the first part, for and in consideration of the sum of Ten Dollars and other good and valuable consideration, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said parties of the second part as tenants in common, for and during their joint lives, and, upon the death of either of them, then to the survivor of them, in fee simple, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor, the following described property:

**SEE EXHIBIT A ATTACHED HERETO AND INCORPORATED
HEREIN BY REFERENCE THERETO.**


TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said parties of the second part, as tenants in common, for and during their joint lives, and upon the death of either of them, then to the survivor of them in fee simple, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor.

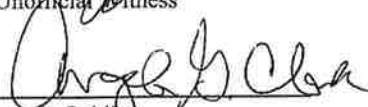
And the said parties of the first part, for their heirs, executors and administrators, will warrant and forever defend the right and title of the above described property unto the said parties of the second part, their heirs and assigns, against the claims of all persons claiming by, through or under parties of the first part, but not otherwise.

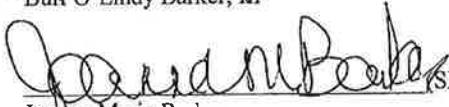
IN WITNESS WHEREOF, the said parties of the first part has hereunto set hand and affixed seal, the day and year first above written.

Signed this 21st day of April, 2017,
in the presence of:


Unofficial Witness


Burl O'Lindy Barker, III (SEAL)


Notary Public


Joanne Marie Barker (SEAL)

State of Georgia
My Commission Expires: Aug. 11, 2019
17re-256



ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING IN LAND LOT 35 OF THE 4TH DISTRICT, 1ST SECTION, OF DAWSON COUNTY, GEORGIA, BEING LOT 9, BLOCK F, UNIT 3, GOLD CREEK GOLF CLUB SUBDIVISION, AS PER PLAT RECORDED IN PLAT BOOK 49, PAGE 83, DAWSON COUNTY, GEORGIA RECORDS, WHICH PLAT IS INCORPORATED HEREIN BY REFERENCE AND MADE A PART OF THIS DESCRIPTION.

SUBJECT TO ALL ZONING ORDINANCES, EASEMENTS AND RESTRICTIONS OF RECORD AFFECTING SAID BARGAINED PREMISES.

17RE-256

A handwritten signature or set of initials, possibly 'JSP', written in black ink.

City Map

TMP 090 093

Dasinger

