

**DAWSON COUNTY BOARD OF COMMISSIONERS
VOTING SESSION AGENDA – THURSDAY, NOVEMBER 18, 2021
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
25 JUSTICE WAY, DAWSONVILLE, GEORGIA 30534
6:00 PM**

A. ROLL CALL

B. INVOCATION

C. PLEDGE OF ALLEGIANCE

D. ANNOUNCEMENTS

E. APPROVAL OF MINUTES

1. Minutes of the Work Session held on November 4, 2021
2. Minutes of the Voting Session held on November 4, 2021

F. APPROVAL OF AGENDA

G. PUBLIC COMMENT

H. PUBLIC HEARING

1. Resolution to Adopt a Greenway and Trail Master Plan

I. ZONINGS

1. ZA 21-19 - Tony Singleton requests to rezone TMP 094-053 from RSR (Residential Sub-Rural) to RSRMM (Residential Sub-Rural Manufactured Moved).

2. ZA 21-21 - Jim King requests to rezone TMP 098-015, 098-016-001 and 098-016-002 from RA (Residential Agriculture) to RS3 (Residential Suburban 3) for the purpose of developing a 379-lot subdivision (Highway 9 South / Goodson Road).
VR 21-08 - Jim King requests a variance to the Dawson County Subdivision Regulations Article X Section 1003.D minimum lot width reduction - TMP 098-015, 098-016-001 and 098-016-002.

(POSTPONEMENT REQUESTED BY THE APPLICANT; PUBLIC HEARING WILL NOT BE CONDUCTED UNTIL DATE TO BE ADVERTISED IN THE FUTURE.)

J. UNFINISHED BUSINESS

1. Proposed FY 2022 Budget (*Tabled from the November 4, 2021, Voting Session*)

K. NEW BUSINESS

1. Consideration of RFP #377-21 - Construction Services-Comprehensive Security System Upgrade for Dawson County
2. Consideration of the Creation of a New Traffic Bureau Division
3. Consideration of Request to Upgrade Part-Time Tax Commissioner's Clerk Position to Full-Time Position
4. Consideration of Request to Update Tax Commissioner's Resolutions

- [5.](#) Consideration of Request to Apply for Georgia Forestry Grant
- [6.](#) Consideration of 2021 Dawson County Surplus List
- [7.](#) Consideration of Rate Adjustments for Recreation Programs
- [8.](#) Consideration to Move Forward to a Public Hearing for a Proposed Short-Term Rental / Bed and Breakfast Establishment Ordinance
- [9.](#) Consideration of RFP #394-21 - Delinquent Debt Collection for EMS Billing
10. Ratification of No Reserve for Parcels Included in IFB #399-21 - Sale of Surplus Real Property Owned by Dawson County Board of Commissioners

L. PUBLIC COMMENT

M. ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 706-344-3666, extension 44514. The county will make reasonable accommodations for those persons.

**DAWSON COUNTY BOARD OF COMMISSIONERS
WORK SESSION MINUTES – NOVEMBER 4, 2021
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
25 JUSTICE WAY, DAWSONVILLE, GEORGIA 30534
4:00 PM**

Those present were Chairman Billy Thurmond; Commissioner Sharon Fausett, District 1; Commissioner Chris Gaines, District 2; Commissioner Tim Satterfield, District 3; Commissioner Emory Dooley, District 4; County Manager David Headley; County Attorney Molly Esswein; County Clerk Kristen Cloud; and interested citizens of Dawson County.

NEW BUSINESS

1. Presentation of RFP #377-21 - Construction Services-Comprehensive Security System Upgrade for Dawson County- Sheriff's Major Greg Rowan / Purchasing Manager Melissa Hawk
This item will be placed on the November 18, 2021, Voting Session Agenda.
2. Presentation of the Creation of a New Traffic Bureau Division- Court Administrator Jason Stephenson
This item, which also was presented by Chief Superior Court Judge Kathlene Gosselin and Clerk of Court Justin Power, will be placed on the November 18, 2021, Voting Session Agenda.
3. Presentation of Request to Upgrade Part-Time Tax Commissioner's Clerk Position to Full-Time Position- Tax Commissioner Nicole Stewart
This item will be placed on the November 18, 2021, Voting Session Agenda.
4. Presentation of Request to Update Tax Commissioner's Resolutions- Tax Commissioner Nicole Stewart
This item will be placed on the November 18, 2021, Voting Session Agenda.
5. Presentation of Request to Apply for Georgia Forestry Grant- Emergency Services Director Danny Thompson
This item will be placed on the November 18, 2021, Voting Session Agenda.
6. Presentation of 2021 Dawson County Surplus List- Fleet Services Director Shannon Harben
This item will be placed on the November 18, 2021, Voting Session Agenda.
7. Presentation of Rate Adjustments for Recreation Programs- Parks & Recreation Director Matt Payne
This item will be placed on the November 18, 2021, Voting Session Agenda.
8. Presentation of a Proposed Short-Term Rental / Bed and Breakfast Establishment Ordinance- Planning & Development Director Sharon Farrell
This item will be placed on the November 18, 2021, Voting Session Agenda for consideration to move forward to a public hearing.

9. Presentation of RFP #394-21 - Delinquent Debt Collection for EMS Billing- Purchasing Manager Melissa Hawk

This item will be placed on the November 18, 2021, Voting Session Agenda.

10. Presentation of a Resolution Authorizing the Disposition of Certain County Property by Sealed Bid in Accordance with O.C.G.A § 36-9-3(a)- County Attorney Angela Davis

This item, presented by County Attorney Molly Esswein, will be added to the November 4, 2021, Voting Session Agenda.

11. County Manager Report

This item was for information only.

12. County Attorney Report

County Attorney Esswein had no information to report and requested an Executive Session.

Motion passed 4-0 to enter into Executive Session to discuss litigation and real estate.
Fausett/Satterfield

APPROVE:

ATTEST:

Billy Thurmond, Chairman

Kristen Cloud, County Clerk

**DAWSON COUNTY BOARD OF COMMISSIONERS
VOTING SESSION MINUTES – NOVEMBER 4, 2021
DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM
25 JUSTICE WAY, DAWSONVILLE, GEORGIA 30534
6:00 PM**

Motion passed 4-0 to come out of Executive Session. Fausett/Dooley

ROLL CALL: Those present were Chairman Billy Thurmond; Commissioner Sharon Fausett, District 1; Commissioner Chris Gaines, District 2; Commissioner Tim Satterfield, District 3; Commissioner Emory Dooley, District 4; County Manager David Headley; County Attorney Molly Esswein; County Clerk Kristen Cloud; and interested citizens of Dawson County.

OPENING PRESENTATIONS:

Broadband Ready Community Presentation- Georgia Department of Community Affairs Region 2 Representative Kathy Papa

Georgia Department of Community Affairs Region 2 Representative Kathy Papa presented Dawson County with a Broadband Ready Community Designation Certificate.

Retired Educators Day Proclamation- Chairman Billy Thurmond

Chairman Thurmond read aloud a Retired Educators Day Proclamation, which was presented to local retired educator Roxanne Howard.

Motion passed 4-0 to approve a Retired Educators Day Proclamation. Fausett/Satterfield

INVOCATION: Chairman Thurmond

PLEDGE OF ALLEGIANCE: Chairman Thurmond

ANNOUNCEMENTS:

Chairman Thurmond announced that a joint meeting of the Board of Commissioners and Long Range Planning Committee would be held at 9 a.m. November 17, 2021, in the Assembly Room.

APPROVAL OF MINUTES:

Motion passed 4-0 to approve the Minutes of the Work Session held on October 21, 2021. Dooley/Fausett

Motion passed 4-0 to approve the Minutes of the Voting Session held on October 21, 2021. Satterfield/Gaines

APPROVAL OF AGENDA:

Motion passed 4-0 to approve the agenda with the following change:

- Removal of No. 3 under New Business: Consideration of Zoning Fee Schedule Update
- Addition of No. 5 under New Business: A Resolution Authorizing the Disposition of Certain County Property by Sealed Bid in Accordance with O.C.G.A § 36-9-3(a)

Fausett/Dooley

PUBLIC COMMENT:

None

PUBLIC HEARING:

Proposed FY 2022 Budget (3rd of 3 hearings; 1st hearing was held at 4 p.m. October 21, 2021, and the 2nd hearing will be held at 6 p.m. October 21, 2021)

Chairman Thurmond reviewed changes to the proposed budget he presented on October 7, 2021; changes concern the Planning & Development department, Tax Commissioner's office and Information Technology and equate to a net change of \$143,232 from the original proposed budget.

Chairman Thurmond opened the hearing by asking if there was anyone present who wished to be heard on a Proposed FY 2022 Budget and, hearing none, closed the hearing.

Motion passed 4-0 to table a Proposed FY 2022 Budget until November 18, 2021. Gaines/Dooley

NEW BUSINESS:

Consideration of Request to Accept Department of Behavioral Health and Developmental Disabilities Funds for Family Connection's Underage Drinking Prevention Program

Motion passed 4-0 to approve a Request to Accept Department of Behavioral Health and Developmental Disabilities Funds for Family Connection's Underage Drinking Prevention Program. Fausett/Dooley

Consideration of 2022 Local Maintenance & Improvement Grant Application Approval Request

Motion passed 4-0 to approve a 2022 Local Maintenance & Improvement Grant Application Approval Request. Satterfield/Gaines

Consideration of Zoning Fee Schedule Update

This item was removed from the agenda.

Ratification of Emergency Purchase of Barracuda Backup System for Information Technology in the Amount of \$175,000

Motion passed 4-0 to approve the Ratification of an Emergency Purchase of a Barracuda Backup System for Information Technology in the Amount of \$175,000; funds will come from Special Purpose Local Option Sales Tax VI. Dooley/Gaines

Consideration of a Resolution Authorizing the Disposition of Certain County Property by Sealed Bid in Accordance with O.C.G.A. § 36-9-3(a)

Motion passed 4-0 to approve a Resolution Authorizing the Disposition of Certain County Property - Tax Parcels 049-191, 049-192 and 049-193 - by Sealed Bid in Accordance with O.C.G.A. § 36-9-3(a). Satterfield/Gaines

PUBLIC COMMENT:

None

ADJOURNMENT:

APPROVE:

ATTEST:

Billy Thurmond, Chairman

Kristen Cloud, County Clerk

DRAFT



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Planning & Development

Work Session: 10/07/2021

Prepared by: Robbie Irvin, Planner

Voting Session: 10/07/2021

Presenter: Robbie Irvin, and Mandy Power of the DADC/Chamber

Public Hearing: Yes No

Agenda Item Title: Request to Approve a Resolution to Adopt a Greenway and Trail Master Plan

Background Information:

In early 2020 the Development Authority of Dawson County initiated a comprehensive economic development plan study, which identified the need for a greenway and trails plan for Dawson County. The Development Authority contracted with Thomas & Hutton to develop the plan.

Current Information:

Thomas & Hutton prepared a Dawson County Greenway and Trail Master Plan dated May 17, 2021, for the Development Authority. It is requested that the BOC pass a resolution to adopt the Greenway and Trail Master Plan, which is attached to this agenda request.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Approve

Department Head Authorization: _____

Date: _____

Finance Dept. Authorization: Vickie Neikirk

Date: 9/29/21

County Manager Authorization: David Headley

Date: 9/29/2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Request to move this item forward to 10/07/2021 Voting Session for consideration to move forward to a public hearing

Resolution to adopt Greenway and Trail Master Plan document



DAWSON COUNTY

GREENWAY AND TRAIL MASTER PLAN

MAY 17, 2021
Prepared for: The Development Authority
of Dawson County
Prepared by: Thomas & Hutton
Funded by: Georgia's Rural Center

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Dawson County Greenway and Trail Master Plan

May 17, 2021

Prepared For:



Prepared By:



Funded By:



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Unlike many communities, Dawson County is planning for trails and greenways ahead of/during booming development and growth, not after the majority of the land is developed. There are easily identified places where trails need to connect and now is the time to start the process of connecting the dots with planned routes. Existing topography and proximity to water adds challenges to the process, but they also create interest and beauty in the system.

Many of the greenways proposed in this plan rely on the acquisition of right-of-ways and easements through privately owned lands. The routes shown in the proposed master plan utilize existing and planned utility easements and/or roadway right-of-ways to the greatest extent practical. For portions shown through undeveloped properties, the route should be refined with detailed design to accommodate future development plans for the property.

This plan identifies approximately 19.6 miles of trails in southern Dawson County, connecting schools, parks, Lake Lanier, Dawson Forest, neighborhoods, employment areas and the Highway 400 retail and service destinations. Future expansion of the trail system should include connections to Russell Creek Reservoir, Downtown Dawsonville, Amicalola Falls State Park and other greenspaces and protected areas.

To be successful, the 19.6 miles of new trails will require significant time and monetary investment. But upon doing so, the County will reap benefits that will be enjoyed for generations to come. These projects should not be looked at as simply addressing a recreational need. Instead, the well connected trail system will address transportation infrastructure, economic growth investment and many other community needs.

01

INTRODUCTION

CHAPTER ONE

1 INTRODUCTION

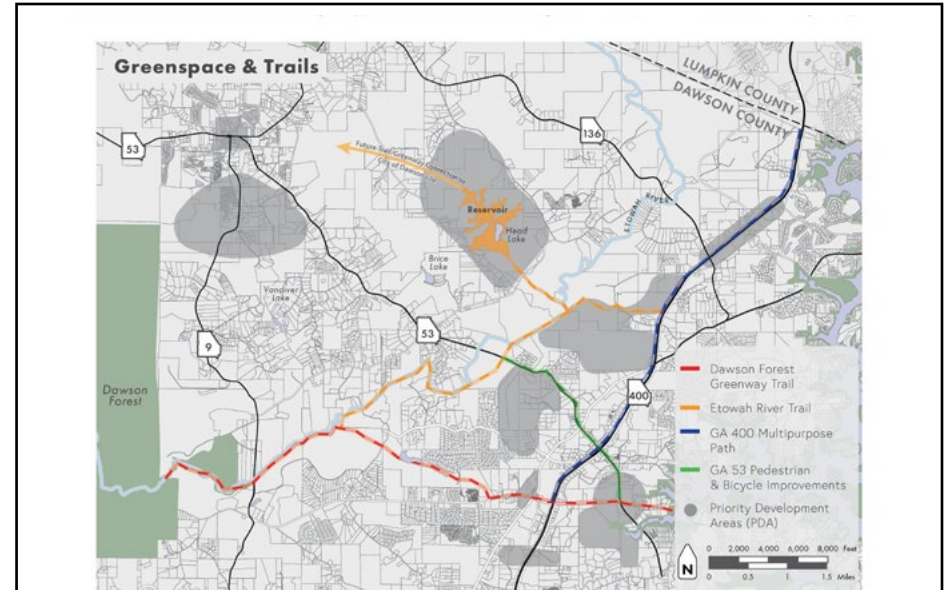
1.1 BACKGROUND

In early 2020, the Development Authority of Dawson County initiated a study for the development of a comprehensive economic development plan. The plan identified five specific vision/goals for the County, which were:

- Build a Resilient Community
- Focus Development Efforts
- Generate Opportunity for Business
- Support Community Residents
- Protect and Conserve Natural and Cultural Resources

The plan further identified the need for specific planning and long term funding for the development of greenspaces and greenways. These two community assets would connect areas of existing and planned growth to the large amount of open spaces and natural resources that are within the County.

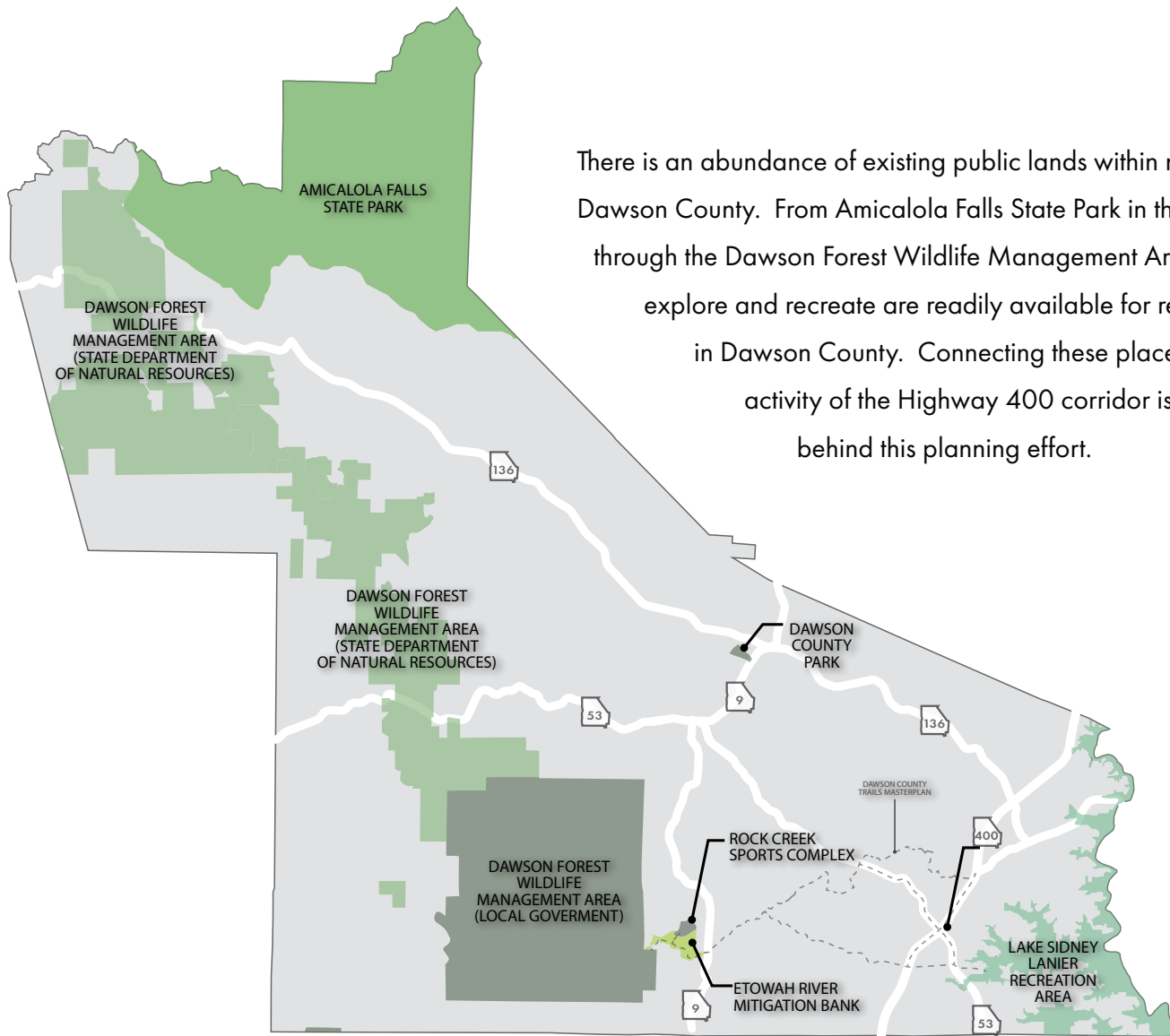
The trail and greenway system would increase “Opportunities for coordination and collaboration between the tourism and retail sectors” with a “Focus on Outdoor Experiences partnering with retailers” to facilitate recruitment of outdoor retailers/manufacturers and allow opportunities for entrepreneurship in nature, cultural and retail tourism.



Greenspace and Trails Map from 2020 Economic Development Plan



Etowah River at Etowah River Water Trail at River Park - Hwy. 9



There is an abundance of existing public lands within northern and western Dawson County. From Amicalola Falls State Park in the north down through the Dawson Forest Wildlife Management Area, opportunities to explore and recreate are readily available for residents and visitors in Dawson County. Connecting these places with the economic activity of the Highway 400 corridor is the driving vision behind this planning effort.

Dawson County Greenspace and Protected Areas Map

1.2 OBJECTIVES



OBJECTIVE A

LEVERAGE THE EXISTING ENERGY THAT IS CREATED BY THE RETAIL/COMMERCIAL GROWTH ON HIGHWAY 400.

OBJECTIVE B

CREATE A TRAIL SYSTEM THAT CONNECTS EXISTING AND BOOMING NEW RESIDENTIAL DEVELOPMENT WITH THE EXISTING AND PLANNED PARKS, GREENSPACES AND SCHOOLS.

OBJECTIVE C

CONNECT LAKE LANIER, ETOWAH RIVER, AND THE DAWSON FOREST WILD LIFE MANAGEMENT AREA (WMA) WITH A LONG TERM VISION TO FURTHER CONNECT TO OTHER PUBLIC OPEN SPACES IN THE COUNTY.

Dawson County is blessed with an abundance of natural resources and open spaces while also having a commercial/retail economic sector that is dramatically higher than is typical for counties of similar demographics and populations within Georgia. Given these factors and its geographic location within the State, there has been a “boom” in residential and mixed use development pressures. With growth comes the need for expansion of infrastructure and public recreation opportunities. Trails and greenways fall into both categories.

The Dawson County Greenway and Trails Master Plan is intended to be a tool for planning and implementation principles to guide short and long term policies, practices, and budget decisions within the County in order to facilitate the creation of a network of trails connecting key points of interest within Dawson County that will “Protect and Connect” the County.

02

PLANNING CONSIDERATIONS

CHAPTER TWO

2 PLANNING PROCESS

2.1 PLANNING PROCESS

As discussed earlier, this master plan has been in the works on a local level prior to the commissioning of this plan. The efforts of these stakeholders made the initiation of the study a quick start because the typical time consuming process of determining critical points of interest and areas of planned growth were already identified and mapped. The remainder of this section is a brief summary of the planning process from the initial kick off meeting in November of 2020 to final plan adoption in May of 2021.

2.2 STAKEHOLDER PARTNERS

Initial in the approach to the development of the master plan was to establish a group of community stakeholder partners that could provide insight and feedback throughout the process. This group met multiple times throughout the duration of planning and provided invaluable insight on community strengths and needs.

A special thanks to the members of the stakeholder committee.

Jameson Kinley, Dawson County Planning Director
Dustin Heard, Dawson County Chamber of Commerce Tourism Director
Tony Passarello, Chairman, Development Authority of Dawson County
Janet Cochran, Project Manager, Georgia's Rural Center
Robbie Irvin, Planner, Dawson County Planning & Development
Mandy Power, Chairman, Dawson County Chamber of Commerce
Brooke Anderson, General Manager, Etowah Water & Sewer Authority
Eric Graves, Executive Director, Len Foote Hike Inn
Betsy McGriff, Director of Economic Development, Dawson County Chamber of Commerce

2.3 DATA COLLECTION

Thomas and Hutton prepared mapping and performed data collection while reviewing other available information provided by the stakeholders. This information was then organized into an analysis study and was reviewed with the stakeholder partners. The process involved on-site inventory and analysis by use of traditional hand notes, GIS data, aerial photography, planning grade topographic information and other readily available information.

As appropriate for this high level master planning effort; no field surveys for boundaries, topography wetlands, streams, cultural resources, threaten and endangered species studies, etc. have been performed. Such studies will be performed during future phased implementation of the plan.



Dawson Forest Trailhead

2.4 MASTER PLAN DEVELOPMENT

Upon developing the base information that was used for study and plan creation, the team of stakeholder partners met to review and define the critical components of the master plan to start identifying them on the maps.

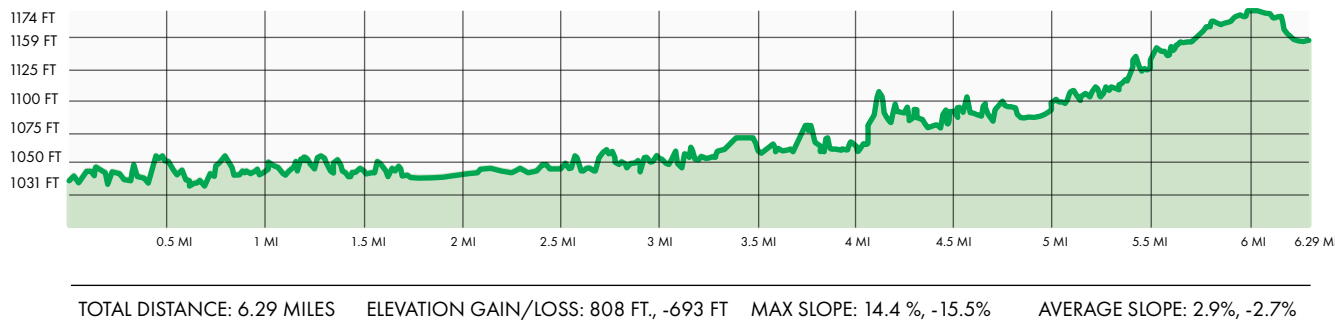
Opportunities and constraints were discussed and the project program was defined. A major constraint that was identified was the lack of off-road cycling opportunities that exist in the County. The chart below represents industry accepted percentages of the feelings of the population towards cycling and is based on a paper released by ¹Roger Geller, the Bicycle Coordinator for Portland, Oregon in 2006 and additional research by Jennifer Dill and Nathan McNeil in the 2010s. Put simply, a majority of our population is interested in cycling, but very concerned to do so without safe and well designed opportunities to do so.

Four types of cyclist	Geller Estimate(2006)	Dill/Mcneil (2015)
Strong and Fearless	<1%	7%
Enthusied and Confident	7%	5%
Interested but Concerned	60%	51%
No Way, No How	33%	37%

Specific desired minimum trail connections were identified as:

- Connecting GA-400 commercial corridor to Dawson Forest (City of Atlanta Tract) and Rock Creek Park.
- Connecting existing and new/planned residential development areas to GA-400, Dawson Forest (City of Atlanta Tract) and Rock Creek Park.
- Connecting Rock Creek Park along a route that follows the Etowah River to Russel Creek Reservoir

Natural constraints and the challenges they pose were also discussed. Specifically the challenge that topography will present during the implementation of some of the trail routes. For this reason, a line graphic is provided for each of the trail segments to show approximate change in existing elevation along the proposed routes. The total distance, elevation gain/loss, max slopes and average slopes are also provided for each. See example below.



Example Trail Segment Summary

¹"Types of Cyclists." Jennifer Dill, Ph.D., 6 July 2020, jenniferdill.net/types-of-cyclists/.

2.5 POINTS OF INTEREST

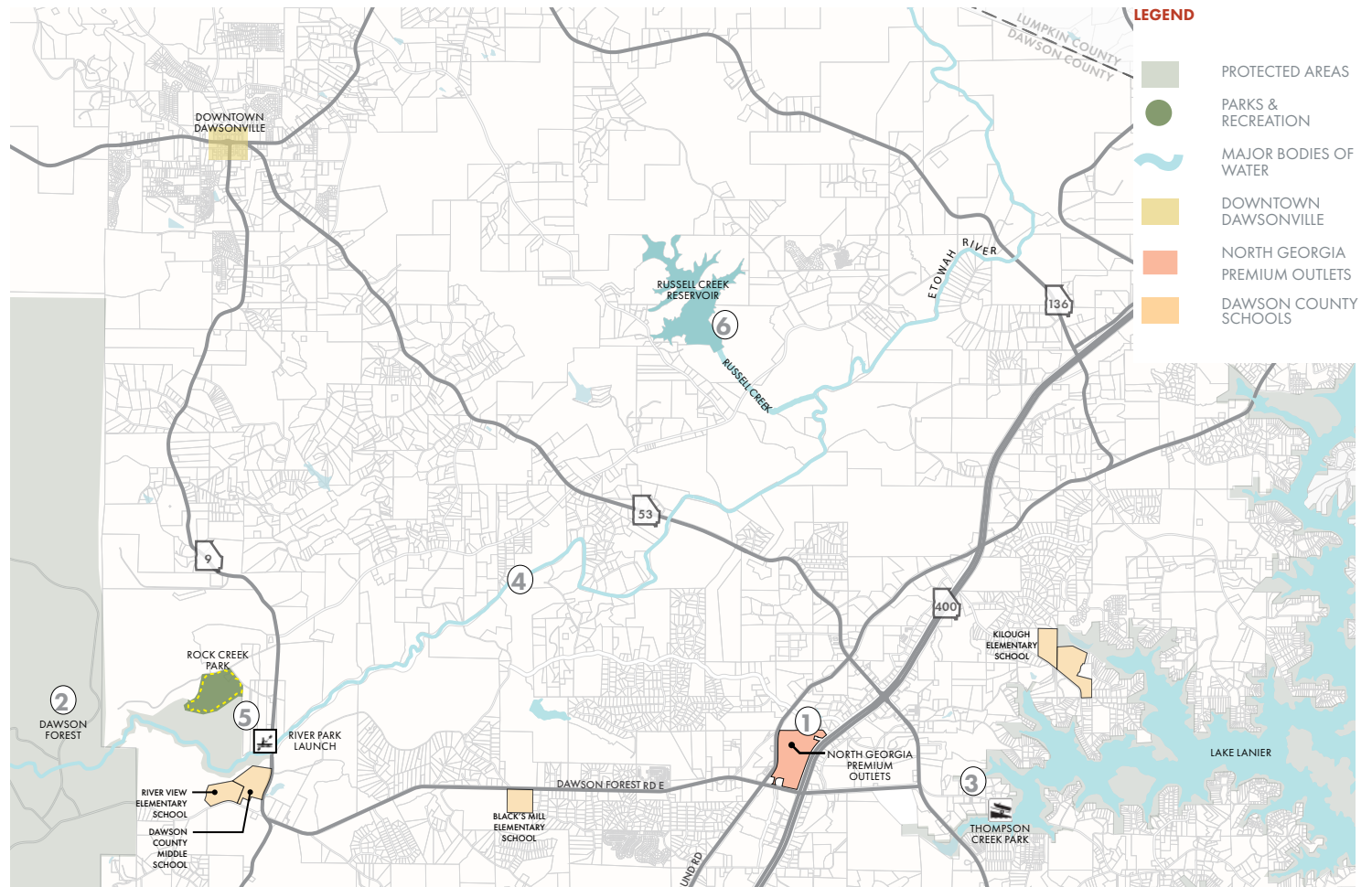
Overview

As discussed previously, Dawson County has many unique points of interest within its borders. From publicly controlled forests and Wildlife Management Areas (WMAs) in the north and west, to Lake Lanier in the east, and the retail/commerce in the central and southern portions, options for things to do and places to go are bountiful in the County. Unfortunately, in order to travel between them currently one must have access to a vehicle. Upon implementation of this master plan this will no longer be the case. There will now be bicycle and pedestrian connections between the majority.

1 NORTH GEORGIA PREMIUM OUTLETS Based on the 2020 economic development plan data, the North Georgia Premium has an “estimated 3.2 million annual visits, most coming from less than 50 miles.”



2 DAWSON FOREST The Dawson Forest, City of Atlanta Tract, is a 10,000 acre property that contains existing trails, hunting, fishing and picnic sites. This property makes up the southern portion of the 25,500 acre Dawson Forest Wildlife Management Area (WMA) which is managed by GA DNR.



3 **THOMPSON CREEK PARK & BOAT LANDING AT LAKE LANIER** Thompson Creek Park is an existing facility that is on the northwest side of Lake Sidney Lanier which is operated by the U.S. Army Corps of Engineers. The park includes parking, restrooms, picnicking and boat ramps. Lake Lanier is visited by approximately 11.8 million people each year.



4 **ETOWAH RIVER** The Etowah River is a 163 mile waterway of which approximately 24 miles runs within Dawson County. The river has an established water trail system known as the Etowah River Water Trail. The water trail system is broken up into 16 segments running from east to west. Dawson County is included in all or portions of four segments. These are Tunneling for Gold, Big Savannah, Dawson Forest and Eagles Beak.



5 **ROCK CREEK PARK** Rock Creek Park Sports Complex is a Dawson County operated facility that is home to the Parks and Recreation Administrative Complex. The facilities provided at the park include baseball/softball/t-ball fields, soccer fields, tennis courts, gymnasiums, indoor meeting rooms, a paved walking trail, outdoor basketball courts, outdoor covered pavilions and the Rotary Island Splash Pad.



6 **RUSSEL CREEK RESERVOIR** The Russell Creek Reservoir will be a 137 acre drinking water supply reservoir operated by the Etowah Water & Sewer Authority. The current plans for the facility are to include boating and fishing opportunities.



03

GREENWAY AND TRAIL MASTER

CHAPTER THREE

3 DAWSON COUNTY GREENWAY AND TRAILS MASTER PLAN

3.1 MASTER PLAN OVERVIEW

From the planning considerations in Chapter 2, the planning partners have identified approximately 20 miles of multi-use trail routes, which upon construction, will link key points of interest within Southern Dawson County. This trail system will connect existing regional shopping destinations, existing and planned residential neighborhoods to schools, parks, lakes, rivers, forests and other “wild” areas in the County.

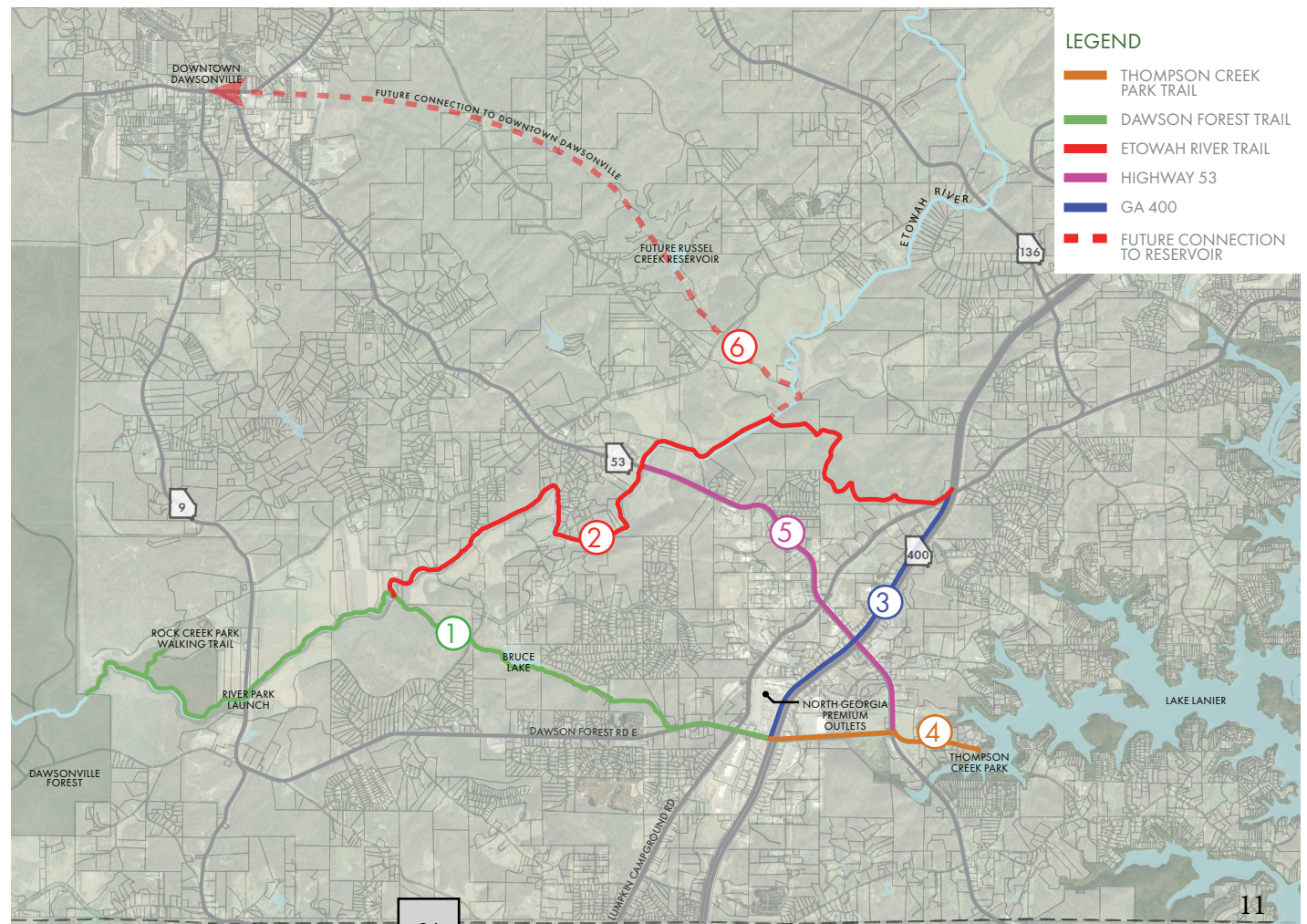
The overall plan is broken in six trail segments that connect to the different points of interest within the County discussed in the previous chapter.

Dawson County Trail Segments:

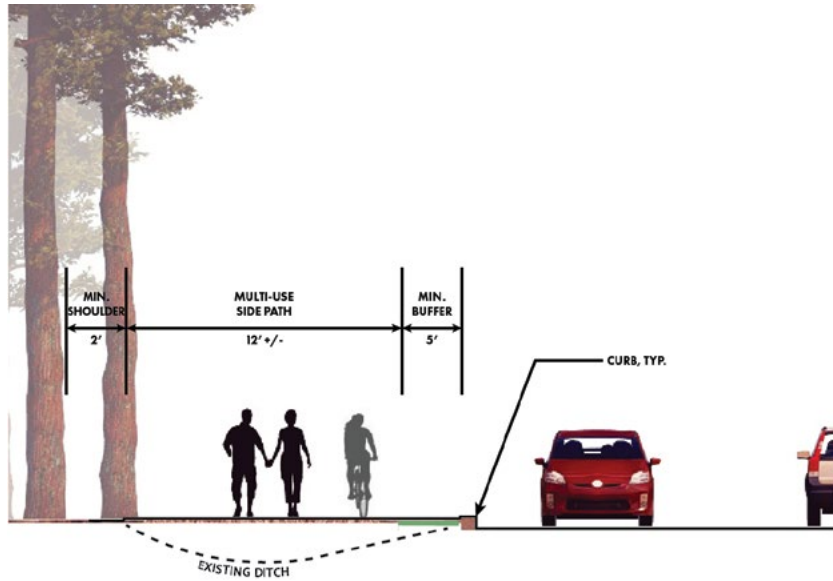
- 1 | Dawson Forest Trail
- 2 | Etowah River Trail
- 3 | GA 400
- 4 | Thompson Creek Park Trail
- 5 | Highway 53
- 6 | Future Connection to Russel Creek Reservoir and the City of Dawsonville (Route to be determined.)

The remaining pages within this Chapter provide a general description of the typical trail types proposed as well as a break down of the trail segments into further study segments based on the specific type of trail within that sub-segment.

Cost Estimates on a per mile basis are provide within each sub-segment. It should be acknowledged that these estimates are very preliminary and are provided simply as a basis to start future budgeting exercises. More detailed cost estimation will be done upon initiation of any detailed design or construction budgeting.



3.2 TRAIL TYPES

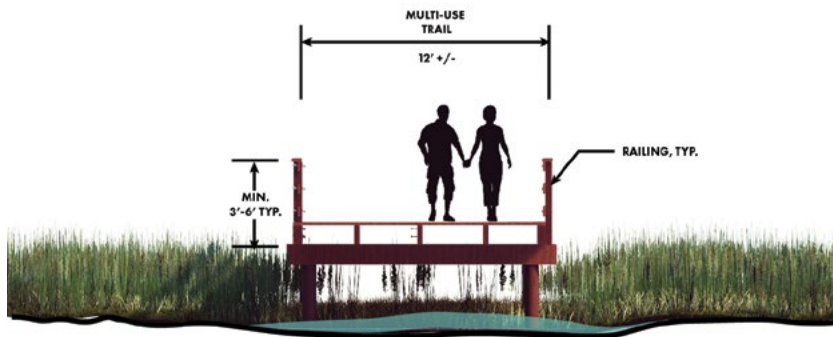


SIDE PATH
TYPICAL SECTION

SIDE PATHS:

As defined by ¹Small Town and Rural Design Guide, a side path is “a bidirectional shared use path located immediately adjacent and parallel to a roadway. Side paths can offer a high-quality experience for users of all ages and abilities as compared to on-roadway facilities in heavy traffic environments, allow for reduced roadway crossing distances, and maintain rural and small town community character.”

For the purposes of cost estimation, all side paths are assumed to have either an existing or constructed adjacent curb and to include necessary roadway drainage to accommodate such. The path material is assumed to be 6 inch thick concrete on a graded aggregate base. The buffer area between the path and adjacent vehicular travel ways should be as wide as practical in order to create physical distance and separation from the user and adjacent traffic.



BOARDWALK
TYPICAL SECTION

BOARDWALK SECTION:

A boardwalk section is necessary in areas of wetlands, streams, floodplains and where typical earth grading practices may not be feasible. Simply put, it is a pathway constructed out of “boards”.

Conventional construction often utilizes pressure treated lumber. However, due to the life cycle cost and ongoing maintenance associated with wood construction, many communities are now utilizing precast concrete boardwalk systems.

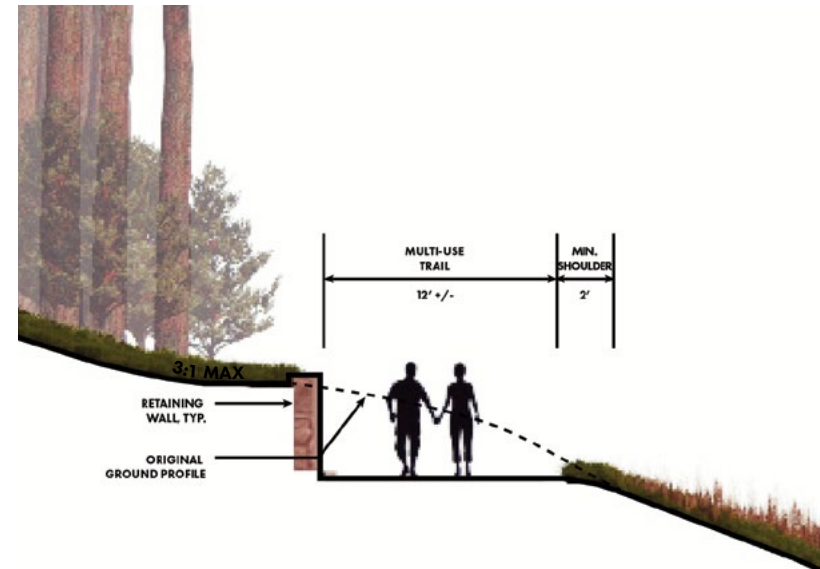
For purposes of cost estimation, a precast concrete boardwalk system has been considered for all boardwalks and bridges.

OFF ROAD GREENWAY:

Off road greenways are trails that are constructed exclusive of an adjacent roadway. They are also known as shared use paths, which, as defined by ¹Small Town and Rural Design Guide, are used to provide “a travel area separate from motorized traffic for bicyclists, pedestrians, skaters, wheelchair users, joggers, and other users. Shared use paths can provide a low-stress experience for a variety of users using the network for transportation or recreation.”

To the greatest extent practical, the trail will be constructed by balancing the cut and fill that is needed. In areas of extremely steep grade, creek or wetland crossings; boardwalks, retaining walls and bridges will be needed.

For the purposes of cost estimation, all on grade path material is assumed to be 6 inch thick concrete on a graded aggregate base and boardwalks and bridges as described above.



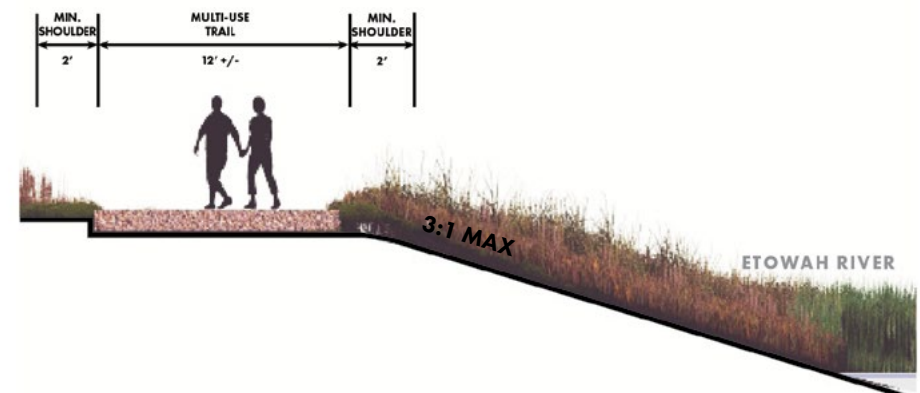
OFF ROAD GREENWAY
TYPICAL SECTION

RIVER TRAIL:

The River Trail type is a version of the greenway trail type with just a few additional considerations needed because of the sensitivity of the natural river system that is adjacent.

Materials within the floodplain will need to be closely studied and may require higher interval of regular maintenance due to natural river flooding events. A higher ratio of boardwalk to on-grade trail will be needed when compared to a typical off road greenway trail. A minimum of one pedestrian bridge crossing will be needed. Water quality protections may require special permitting or buffers to the river.

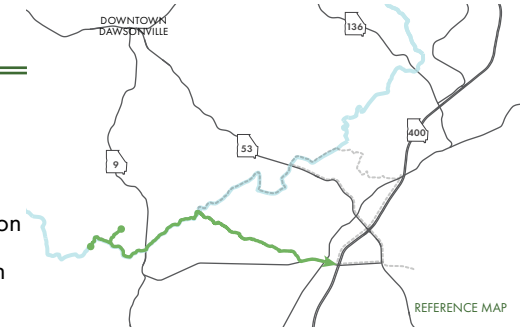
For the purposes of cost estimation, all on grade path material is assumed to be 6 inch thick concrete on a graded aggregate base and boardwalks and bridges as described above.



TRAIL ALONG RIVER FRONT
TYPICAL SECTION

¹Design, Alta Planning +. “Facility Types.” Home - Rural Design Guide, ruraldesignguide.com/.

SEGMENT 1 DAWSON FOREST



Overview:

Connecting points of interest: North Georgia Premium Outlets, Etowah River, Dawson Forest, Rock Creek Park
Begins/Ends: GA 400/Dawson Forest
Distance: +/- 6.4 miles

Benefits:

- Connects commercial hub to existing natural areas, river, and parks
- Adjacent to existing and planned residential
- Connects existing trail heads

Challenges:

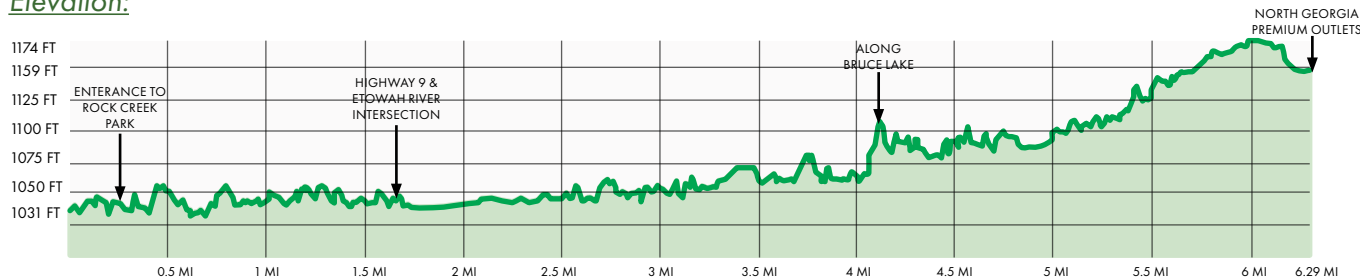
- Requires drainage improvements on Dawson Forest Road
- Right-of-way acquisition through upland areas

LEGEND

- ROAD CROSSINGS
- BRIDGE CROSSINGS
- ROAD ON SHOULDER SEGMENT
- ETOWAH RIVER SOUTH SEGMENT
- THROUGH UPLAND SEGMENT
- ROCK CREEK PARK ACCESS SEGMENT



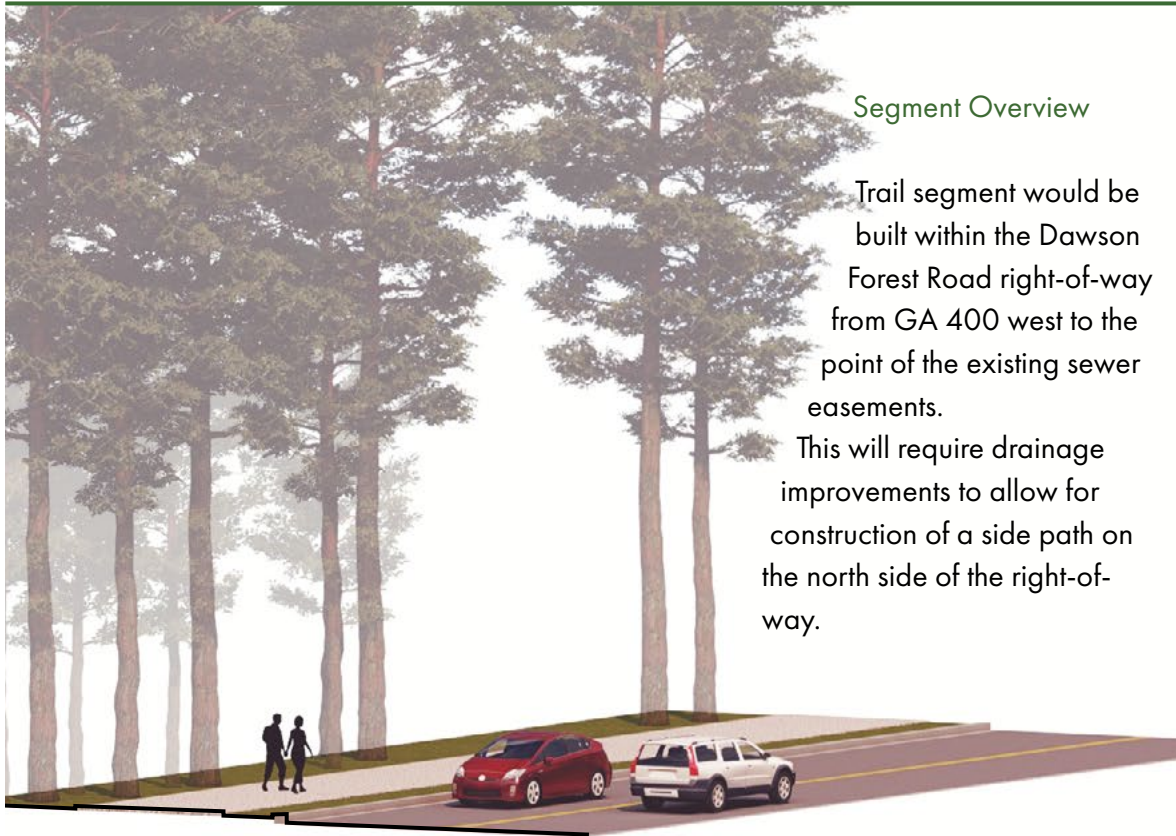
Elevation:



MINIMUM ELEVATION | 1031 FT
AVERAGE ELEVATION | 1074 FT
MAX ELEVATION | 1174 FT

TOTAL DISTANCE: 6.29 MILES ELEVATION GAIN/LOSS: 808 FT., -693 FT MAX SLOPE: 4%, -15.5% AVERAGE SLOPE: 2.9%, -2.7%

SEGMENT 1-A DAWSON FOREST ROAD

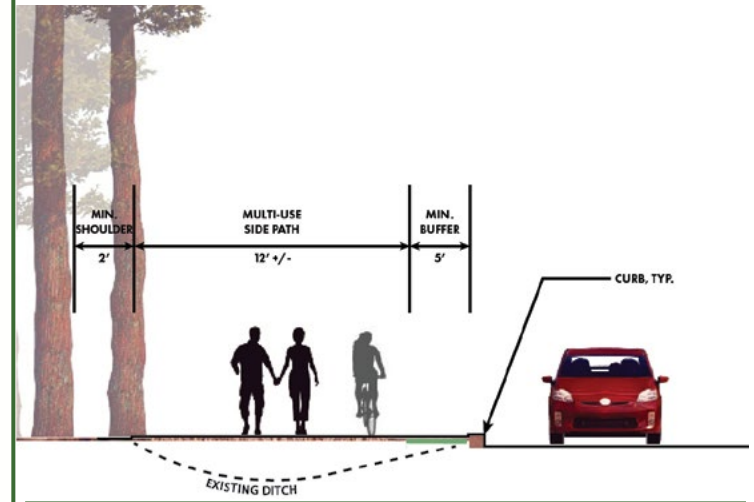


Segment Overview

Trail segment would be built within the Dawson Forest Road right-of-way from GA 400 west to the point of the existing sewer easements.

This will require drainage improvements to allow for construction of a side path on the north side of the right-of-way.

TRAIL TYPE: SIDE PATH



SUMMARY

Distance: +/- 0.7 MILES

Cost Est.: +/- \$1.7 M

Estimated cost for 12' wide concrete trail with conversion of ditch to curb and gutter (no R/W acquisition cost included)

SEGMENT 1-B THROUGH UPLAND



SUMMARY

Distance: +/- 2.4 MILES

Cost Est.: +/- \$7.3 M

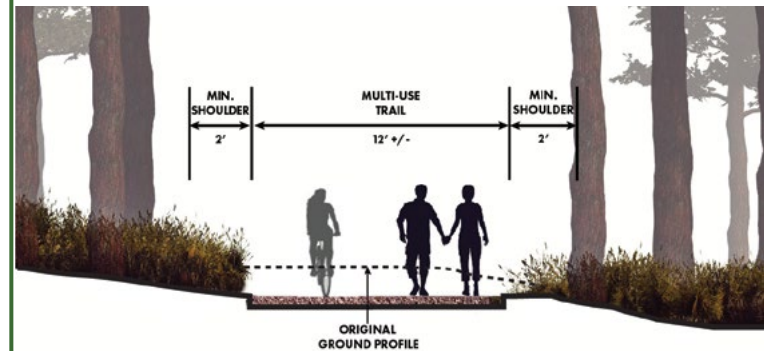
Estimated cost for 12' wide concrete surface
(no R/W acquisition cost included)



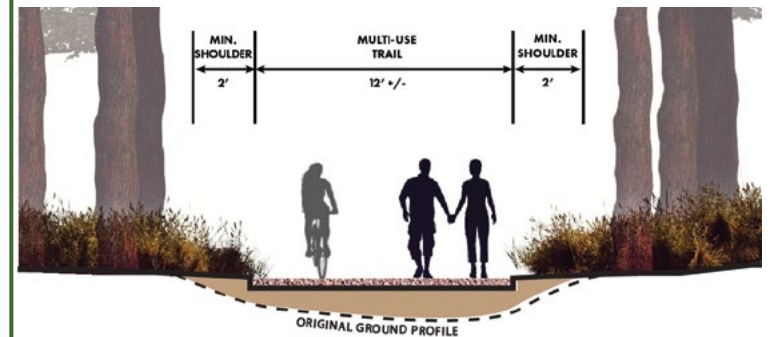
Segment Overview

Trail segment would follow the route of the existing sanitary sewer easement to the greatest extent practical. Key challenges to address during design will be grade changes, property acquisitions, and road crossings.

TRAIL TYPE: OFF ROAD GREENWAY

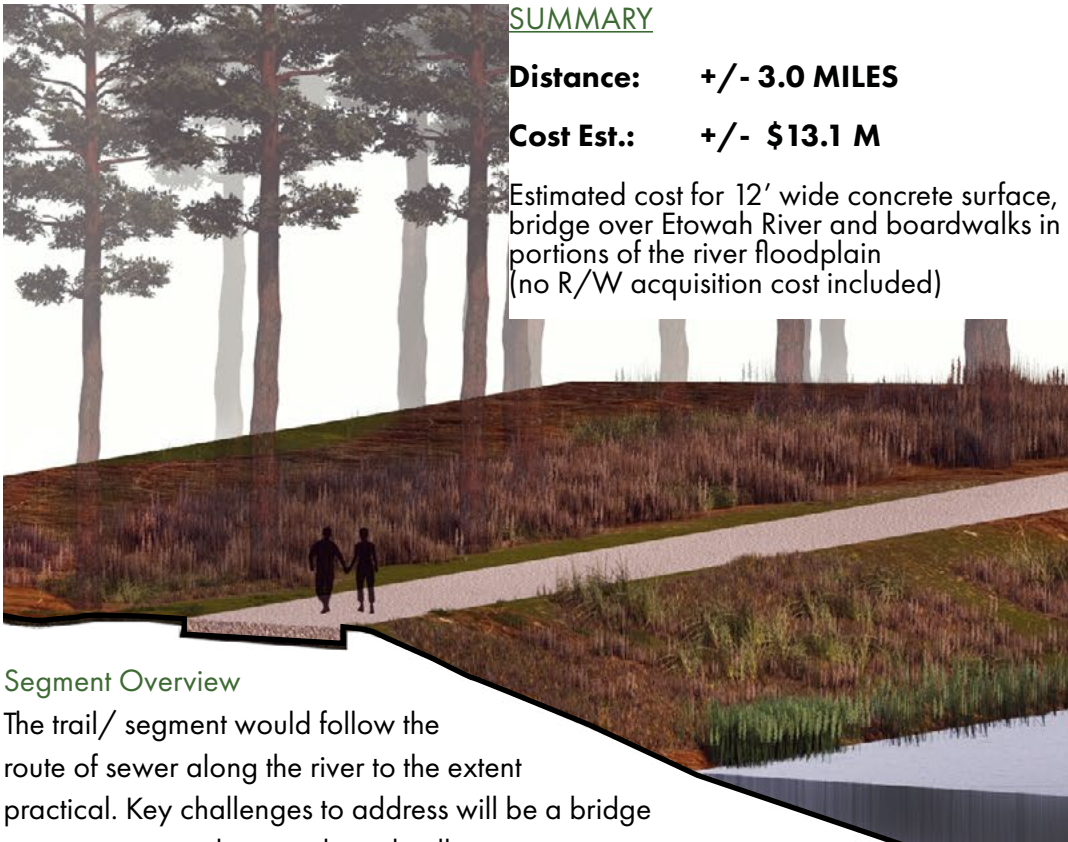
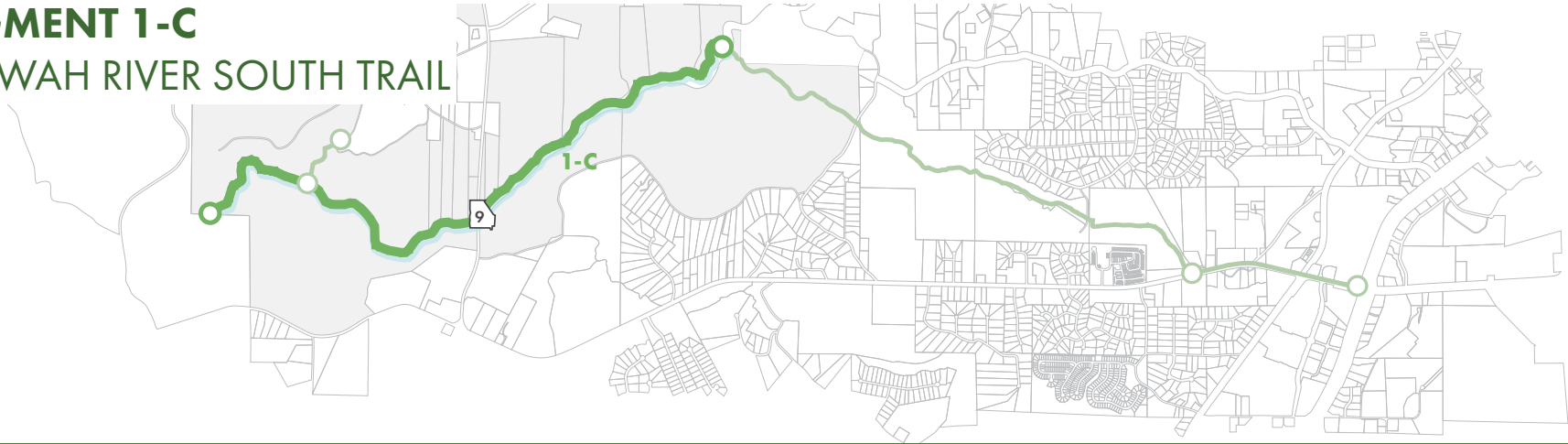


CUT SECTION, TYP.



FILL SECTION, TYP.

SEGMENT 1-C ETOWAH RIVER SOUTH TRAIL



SUMMARY

Distance: +/- 3.0 MILES

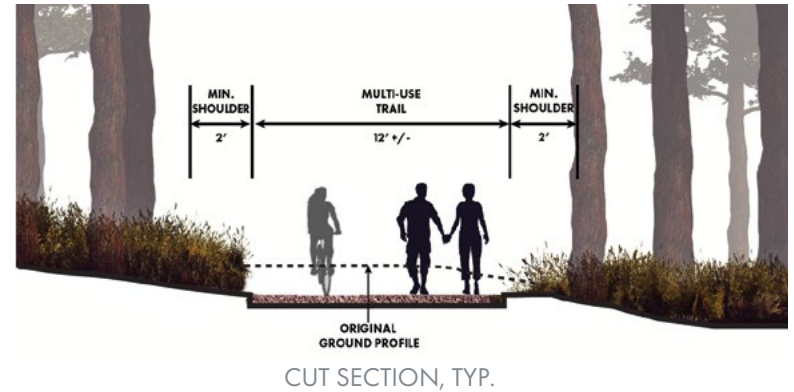
Cost Est.: +/- \$13.1 M

Estimated cost for 12' wide concrete surface, bridge over Etowah River and boardwalks in portions of the river floodplain (no R/W acquisition cost included)

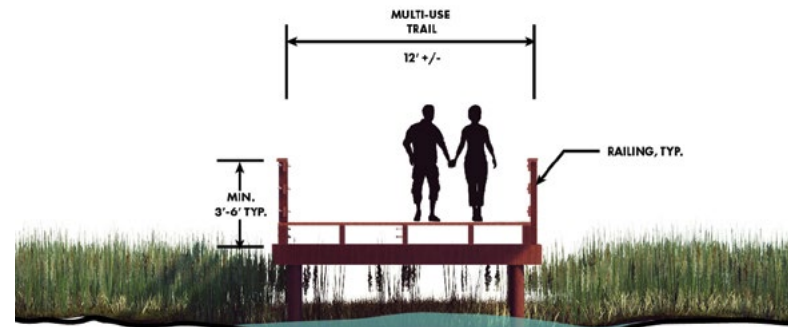
Segment Overview

The trail/ segment would follow the route of sewer along the river to the extent practical. Key challenges to address will be a bridge connection over the river, boardwalks, property acquisitions, and road crossings.

TRAIL TYPE: OFF ROAD GREENWAY



TRAIL TYPE: BOARDWALK



SEGMENT 1-D ROCK CREEK PARK ACCESS



EXISTING TRAIL AT
ROCK CREEK PARK

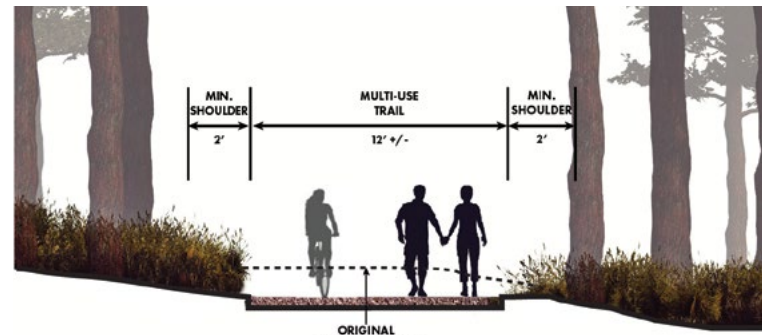
SUMMARY

Distance: +/- 0.3 MILES

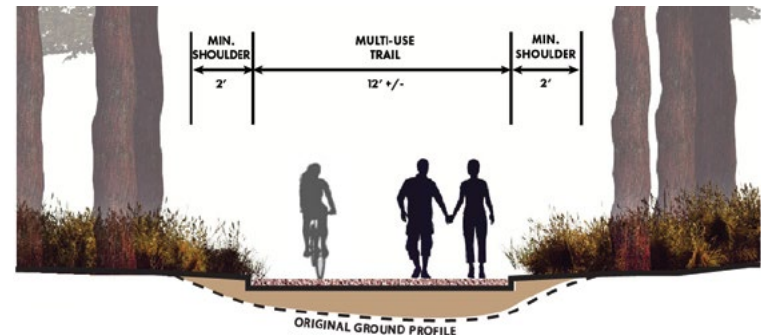
Cost Est.: +/- \$1.0 M

Estimated cost for 12' wide concrete surface and boardwalks in portions (no R/W acquisition cost included)

TRAIL TYPE: OFF ROAD GREENWAY



CUT SECTION, TYP.



FILL SECTION, TYP.



Segment Overview

Trail segment would connect the existing Rock Creek Park trails and other amenities to Etowah River. The use of boardwalks will be crucial in connecting Rock Creek Park due to the surrounding creeks and wetlands.

SEGMENT 2 ETOWAH RIVER TRAIL

Overview:

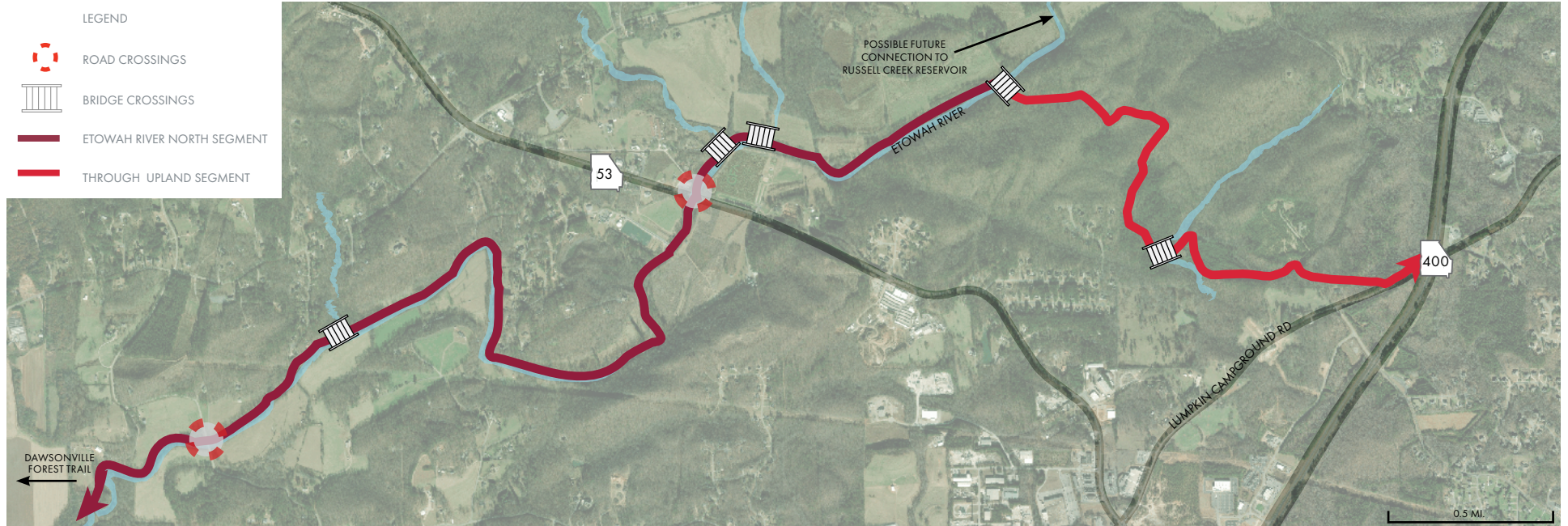
Connecting points of interest: Highway 53, future connection to Head Lake reservoir, GA 400
Begins/Ends: Etowah River/GA 400
Distance: +/- 6.6 miles

Benefits:

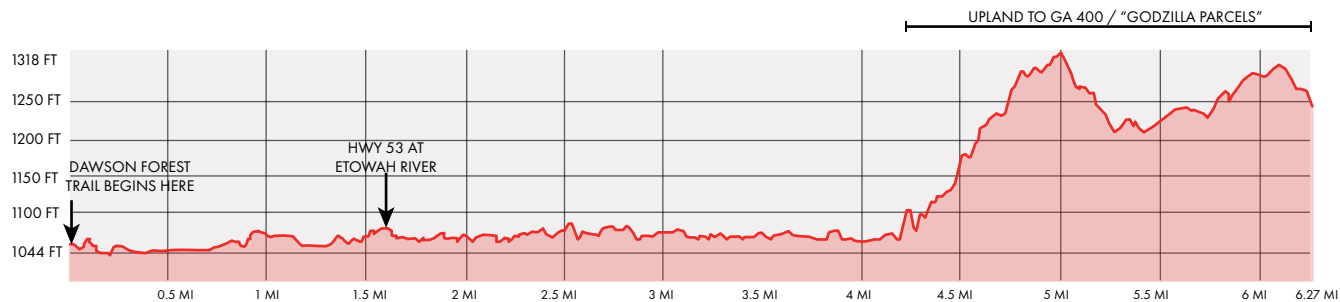
- Continues trail along Etowah River to connect Hwy 53 and Hwy 9
- Connects areas of planned growth in the County

Challenges:

- Expense of bridges and boardwalks
- Requires a large amount of property acquisition for a proper right-of-way

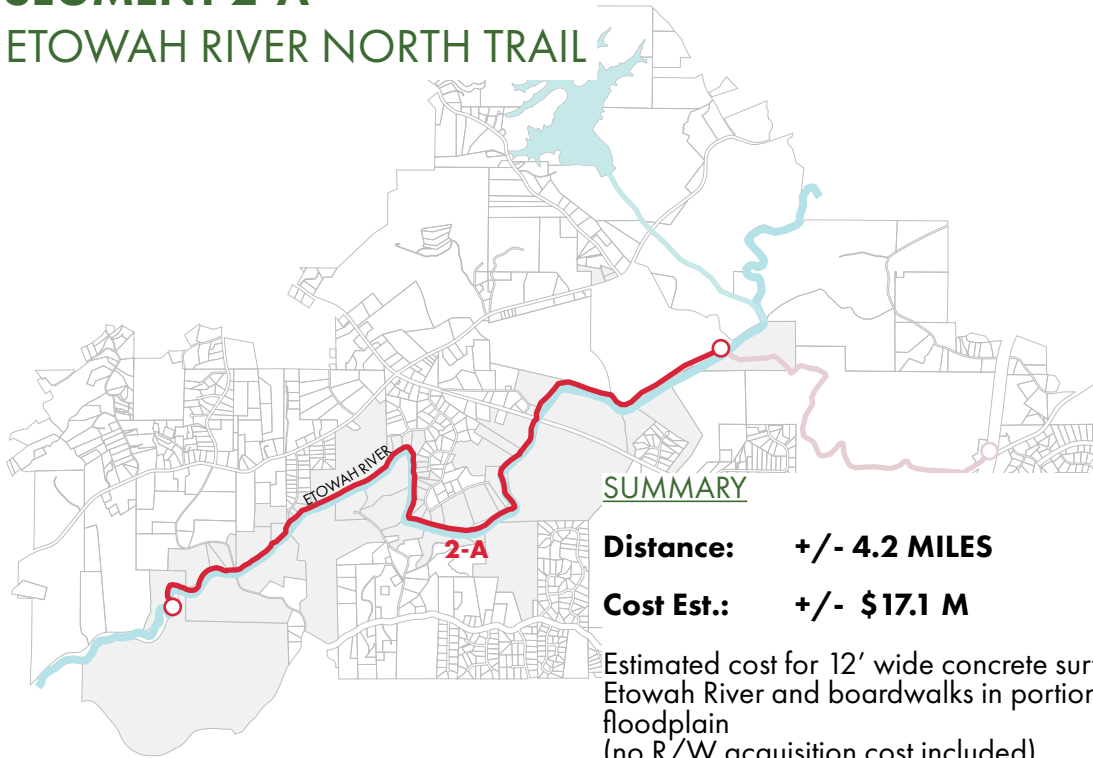


Elevation:



MINIMUM ELEVATION | 1044 FT
AVERAGE ELEVATION | 1121 FT
MAX ELEVATION | 1318 FT

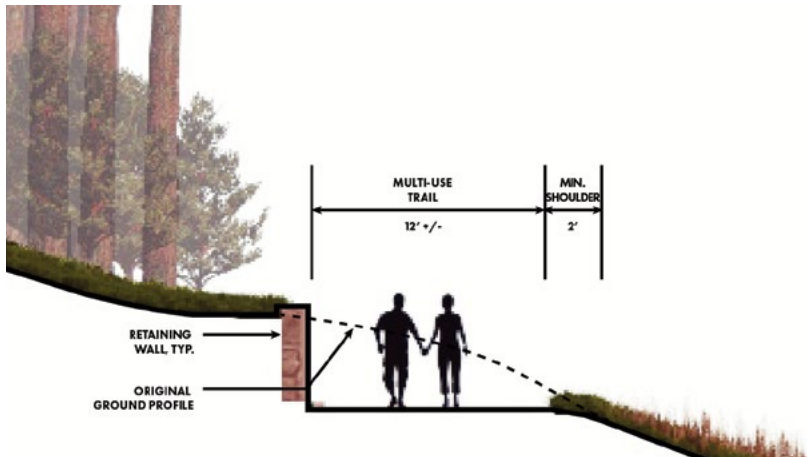
SEGMENT 2-A ETOWAH RIVER NORTH TRAIL



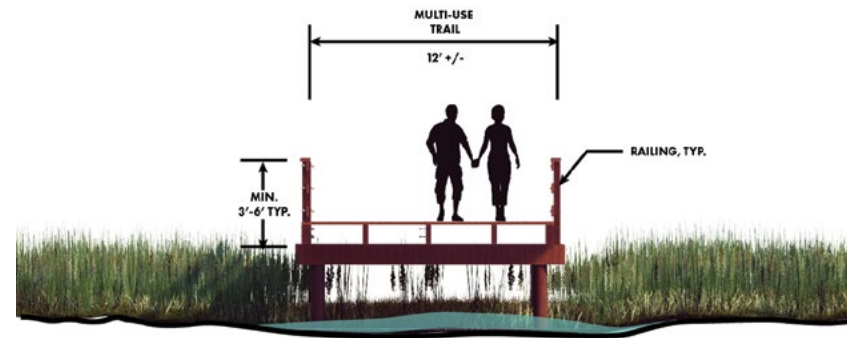
Segment Overview

The trail/ segment would follow the planned route of sewer along the river to the extent practical. Key challenges to address will be a bridge connection over the river, boardwalks, property acquisitions, and road crossings.

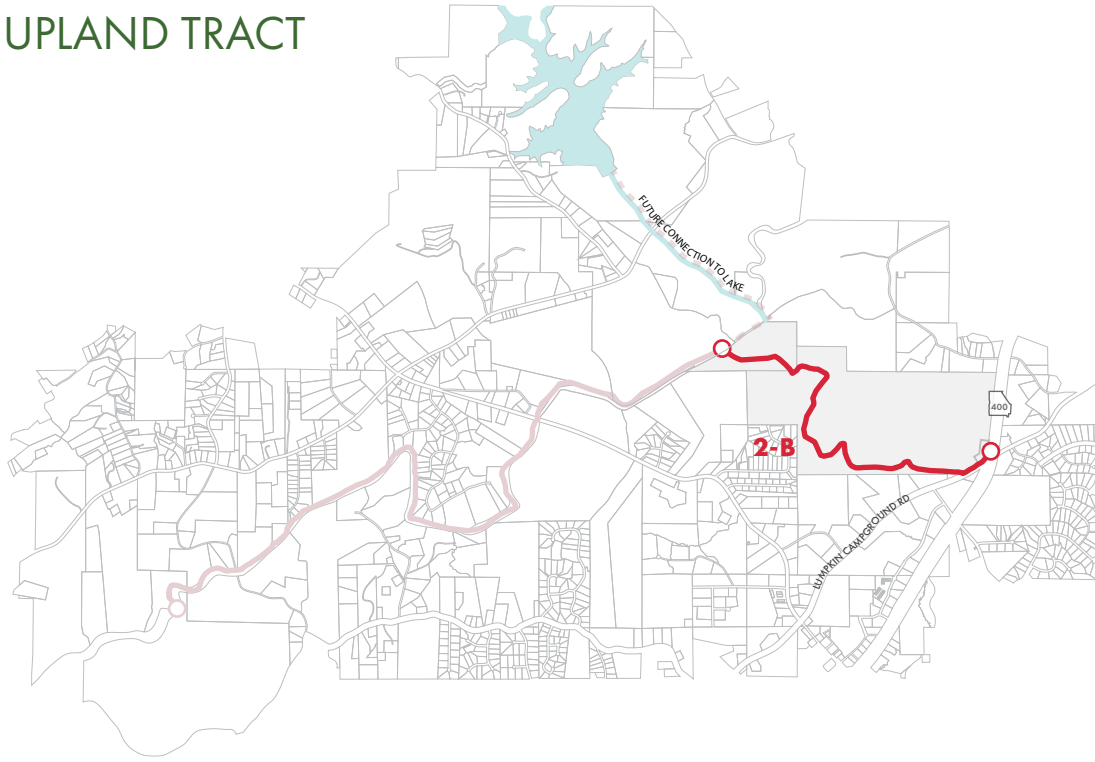
TRAIL TYPE: OFF ROAD GREENWAY



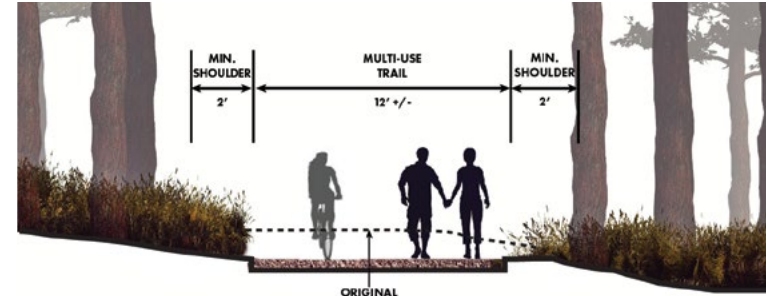
TRAIL TYPE: BOARDWALK



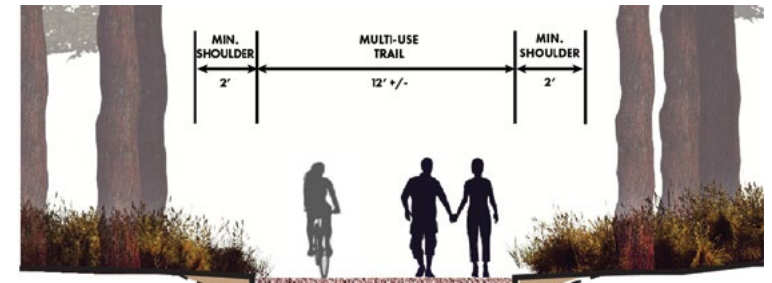
SEGMENT 2-B UPLAND TRACT



TRAIL TYPE: OFF ROAD GREENWAY



ORIGINAL
GROUND PROFILE
CUT SECTION, TYP.



ORIGINAL GROUND PROFILE
FILL SECTION, TYP.



Segment
Overview

Trail segment would follow the route of the future sanitary sewer easement and planned developments to the greatest extent practical. Key challenges to address during design will be grade change, property acquisitions, and road crossings.

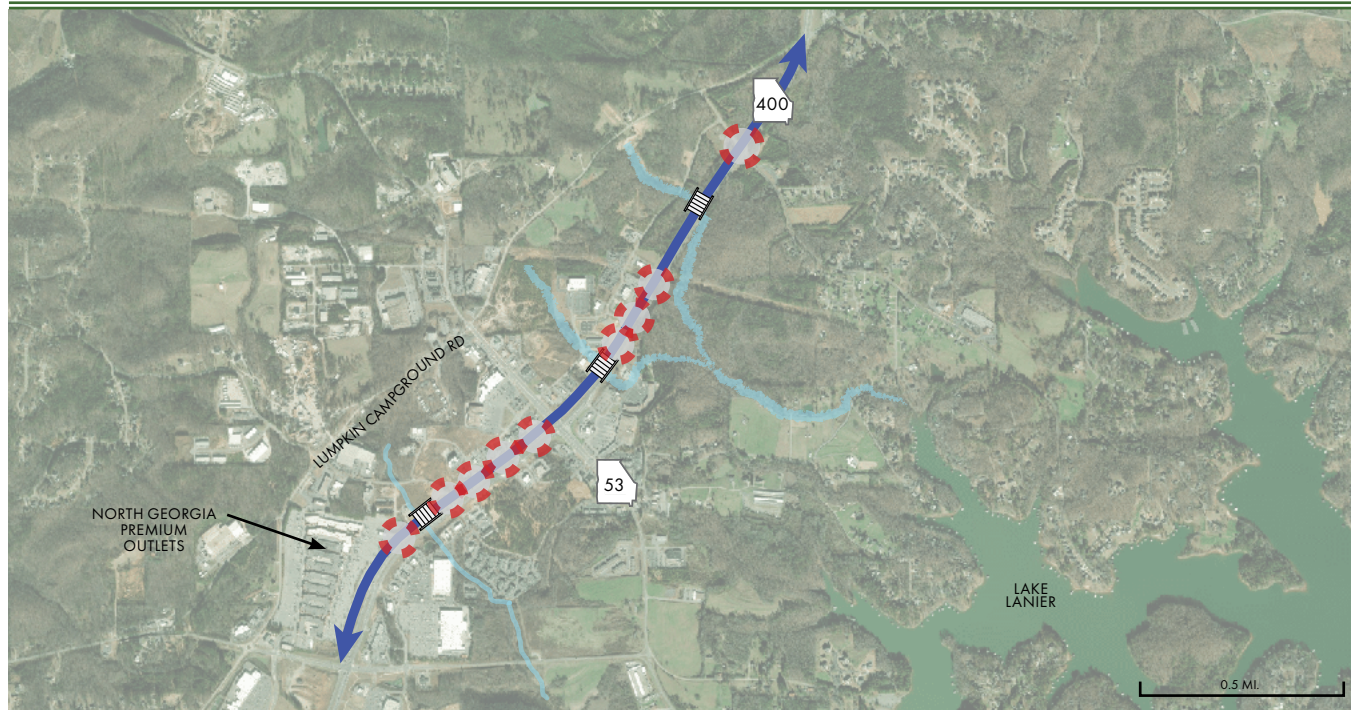
SUMMARY




Distance: +/- 2.4 MILES

Cost Est.: +/- \$6.3 M

Estimated cost for 12' wide concrete surface
(no R/W acquisition cost included)

SEGMENT 3 GA 400



- LEGEND
-  ROAD CROSSINGS
 -  BRIDGE CROSSINGS
 -  GA 400 TRAIL

Overview:

Connecting points of interest: Commercial and business areas along GA 400

Begins/Ends: Lumpkin Campground Rd North/ Dawson Forest Rd.

Distance: 2.2 miles

Trail section will provide connectivity along GA 400 from Lumpkin Campground Road to the north to Dawson Forest Rd to the south. Provides an opportunity for alternative to vehicular only transportation that currently exists.

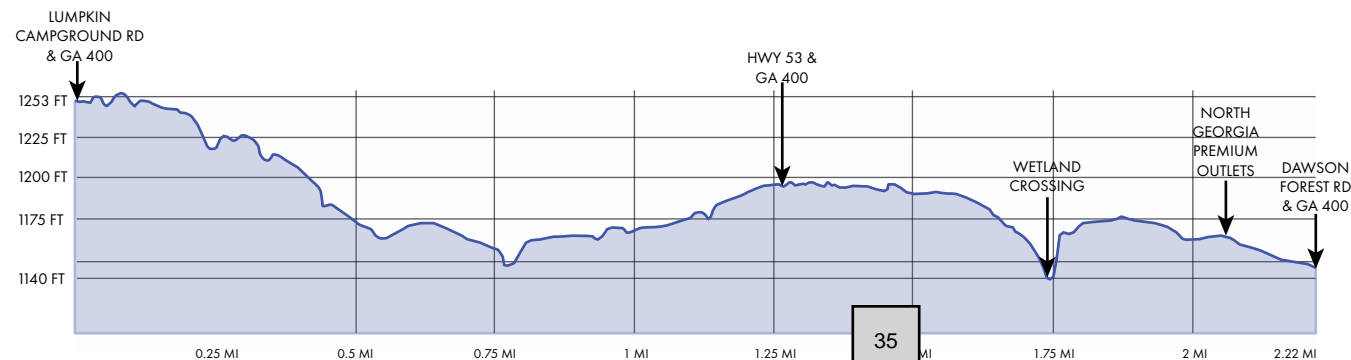
Benefits:

- Increased alternative transportation to businesses along 400
- Follows existing GA 400 right-of-way

Challenges:

- Existing open drainage
- Many points of road/driveway crossings
- Crossing 400 (future pedestrian bridge)

Elevation:



MINIMUM ELEVATION | 1140 FT
AVERAGE ELEVATION | 1185 FT
MAX ELEVATION | 1253 FT

SEGMENT 3-A GA 400



BOSCHERT GREENWAY TRAIL (EXAMPLE STUDY)

The Boschert Greenway Trail is 4.25 miles long and connects to the overall Missouri Greenway. Portions of the trail run along major Highway 370.

Like GA 400, the topography dramatically changes along the roadside, therefore the path is benched into the hillside. This trail typology relates to the proposed side path along 400.



SUMMARY

Distance: +/- 2.2 MILES

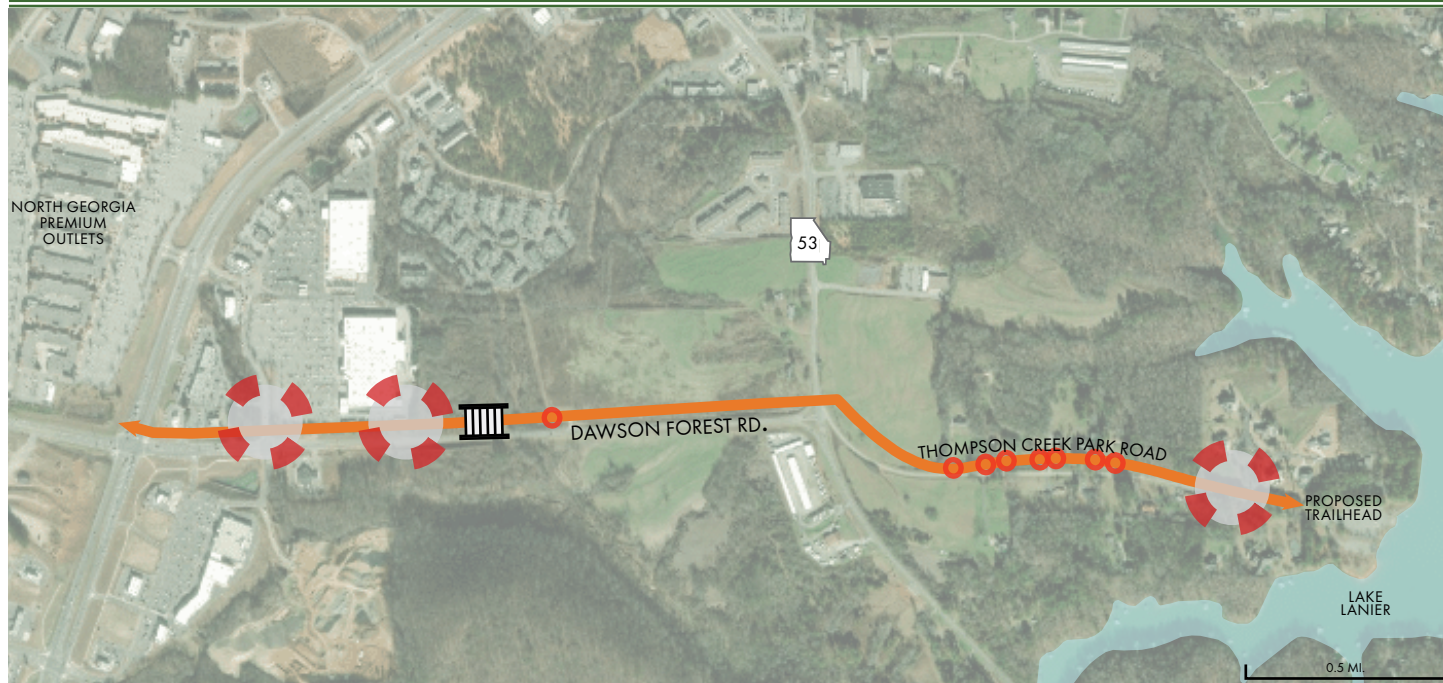
Cost Est.: +/- \$6.6 M

Estimated cost for 12' wide concrete surface, crossing improvements
(No R/W acquisition cost included)



Trail segment would be along one side of the GA 400 right of way. Key challenges to address will be road/driveway crossings, crossing of GA 400, steep slopes of existing grade, and utility and drainage conflicts.

SEGMENT 4 THOMPSON CREEK



LEGEND

- NEIGHBORHOOD CROSSING
- RESIDENTIAL DRIVEWAY CROSSINGS
- THOMPSON CREEK TRAIL

Overview:

Connecting points of interest: Thompson Creek Park to Commercial/Business areas and the network of trails.

Begins/Ends: Thompson Creek Park/GA 400

Distance: 1.5 miles

Trail segment will provide connecting from GA 400 to the existing park and boat landing at Thompson Creek Park to become a trail-head.

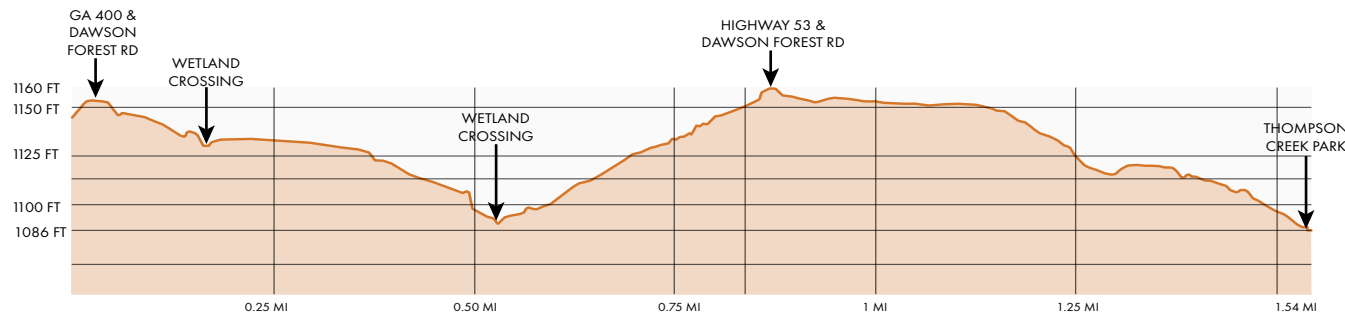
Benefits:

- Utilize existing park as trail-head access
- Directly accessible by the growth occurring in the area

Challenges:

- Lack of right-of-way width from Highway 53 to Thompson Creek Park
- Intersection crossing at Highway 53 and Dawson Forest Rd. (Planned roundabout)

Elevation:

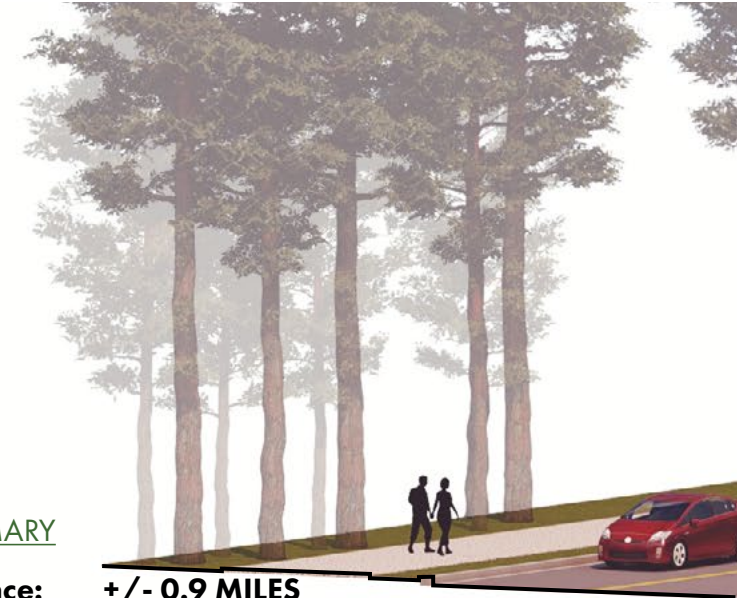


MINIMUM ELEVATION | 1086 FT
AVERAGE ELEVATION | 1129 FT
MAX ELEVATION | 1160 FT

TOTAL DISTANCE: 1.54 MILES ELEVATION GAIN/LOSS: 187 FT., -126 FT MAX SLOPE: 2.4% AVERAGE SLOPE: 3.1%, -3.3%

SEGMENT 4-A

THOMPSON CREEK PARK WEST



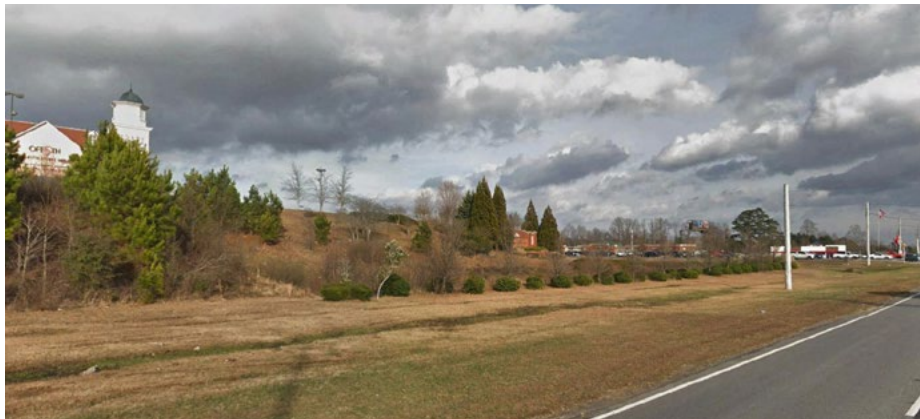
SUMMARY

Distance: +/- 0.9 MILES

Cost Est.: +/- \$2.2 M

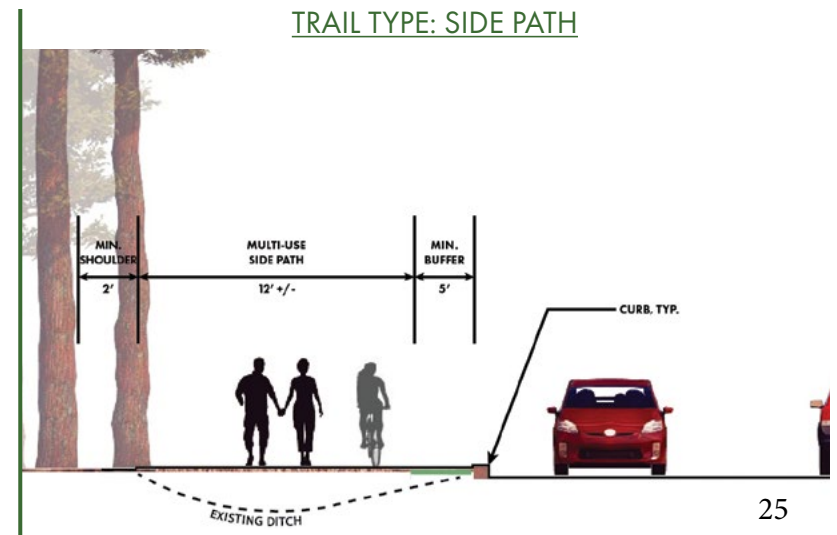
Estimated cost for 12' wide concrete trail with conversion of ditch to curb and gutter (no R/W acquisition cost included)

Trail segment would follow along one side of Dawson Forest Rd. from GA 400 to the east side of Highway 53.



Existing right-of-way along Dawson Forest Rd. Adjacent to North Georgia Premium Outlets

TRAIL TYPE: SIDE PATH



SEGMENT 4-B

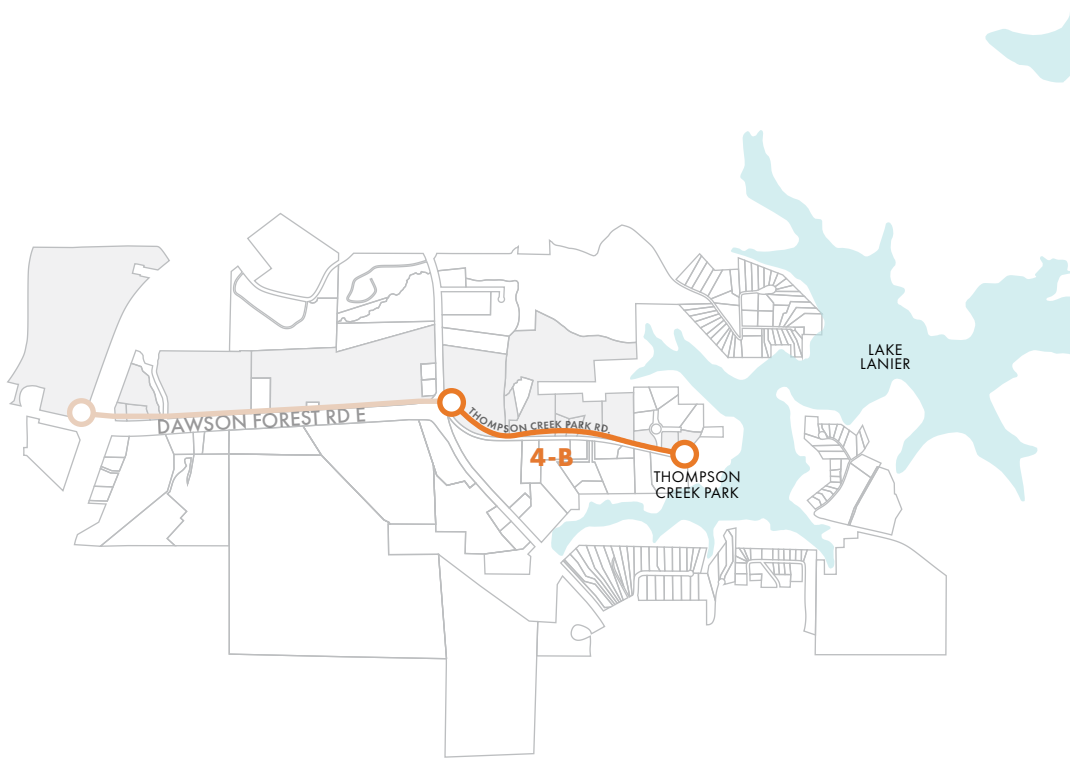
THOMPSON CREEK PARK EAST

SUMMARY

Distance: +/- 0.6 MILES

Cost Est.: +/- \$1.1 M

Estimated cost for share lane striping and a 6' wide concrete sidewalk (no R/W acquisition cost included)



TRAIL TYPE: SHARED USE LANE WITH ADJACENT SIDEWALK



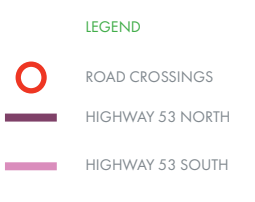
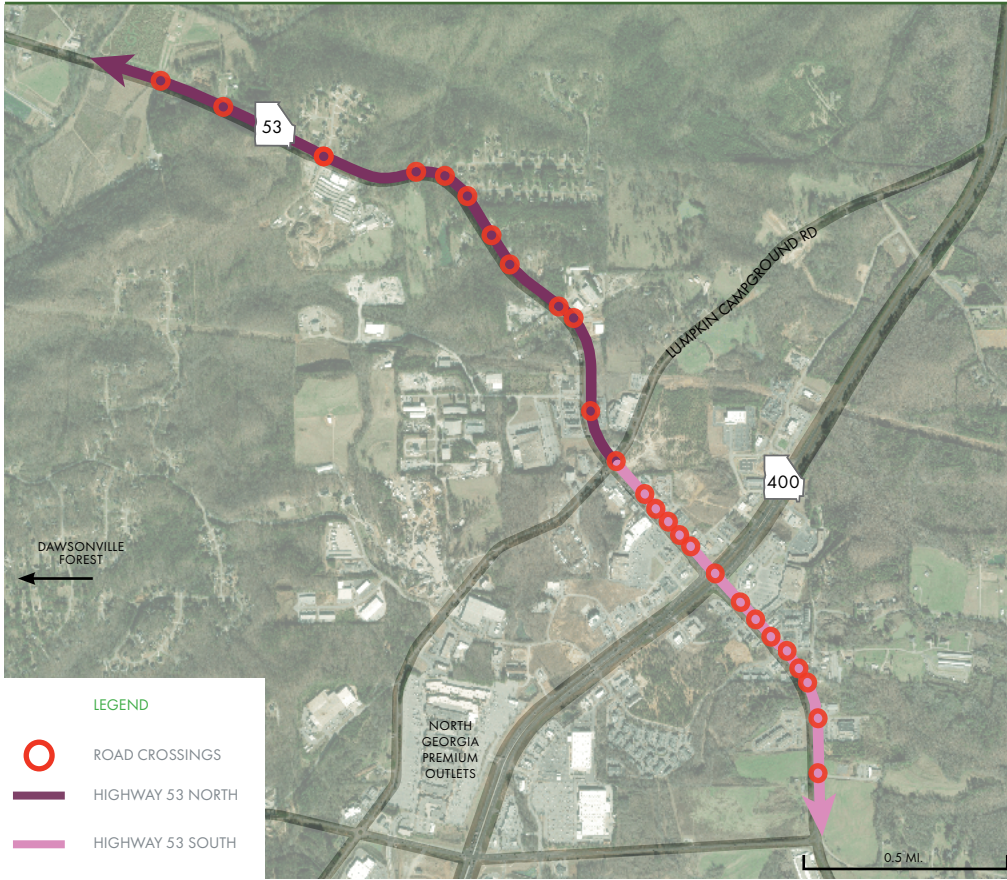
Shared Use Lanes in Sisters, OR



Existing Thompson Creek Park Rd

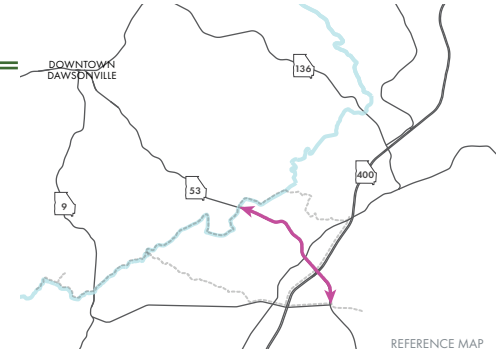
Thompson Creek Road may lack the vehicular traffic volume to justify the cost of a separate 12' paved side path scenario. Due to the low volume street, new striping would allow bikers and vehicles to share the existing road and a smaller pedestrian only sidewalk could be built on one side.

SEGMENT 5 HIGHWAY 53



Overview:

Connecting points of interest:
Thompson Creek Park/GA 400/
Etowah River
Begins/Ends: Etowah River/
Dawson Forest Road
Distance: +/- 2.9 miles



Trail segment will provide a connecting/alternate route option from Thompson Creek Park/trail-head to Etowah River.

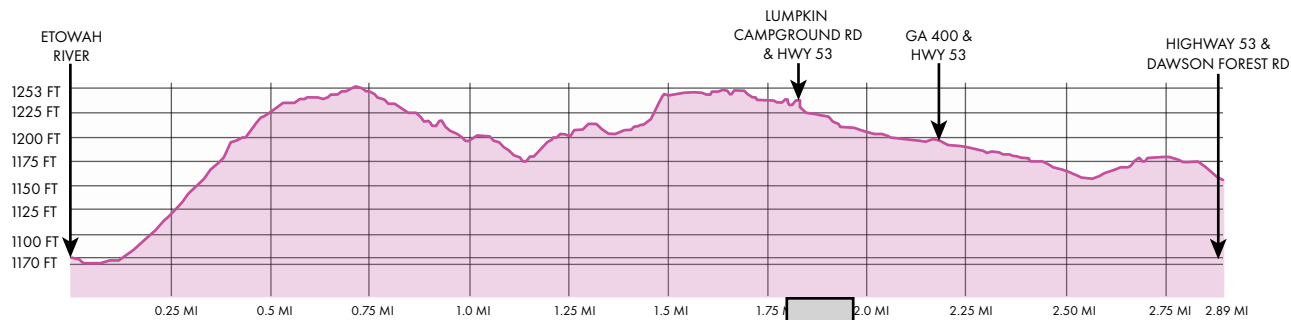
Challenges:

- Existing driveways and utilities along southern portion
- Lack of right-of-way width available for northern section
- Grade changes along route

Benefits:

- Provides an alternate transportation option to new/existing developments between Lumpkin Campground Rd. and Dawson Forest Road
- Loop connection to the north end of Etowah River Trail

Elevation:



MINIMUM ELEVATION | 1070 FT
AVERAGE ELEVATION | 1193 FT
MAX ELEVATION | 1153 FT

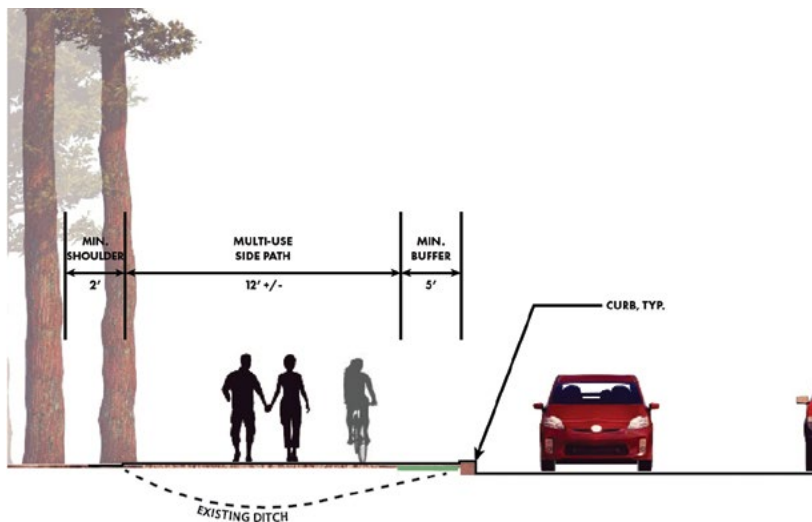
SEGMENT 5-A HIGHWAY 53 NORTH



EXISTING HIGHWAY 53 NORTH



TRAIL TYPE: SIDE PATH



SUMMARY

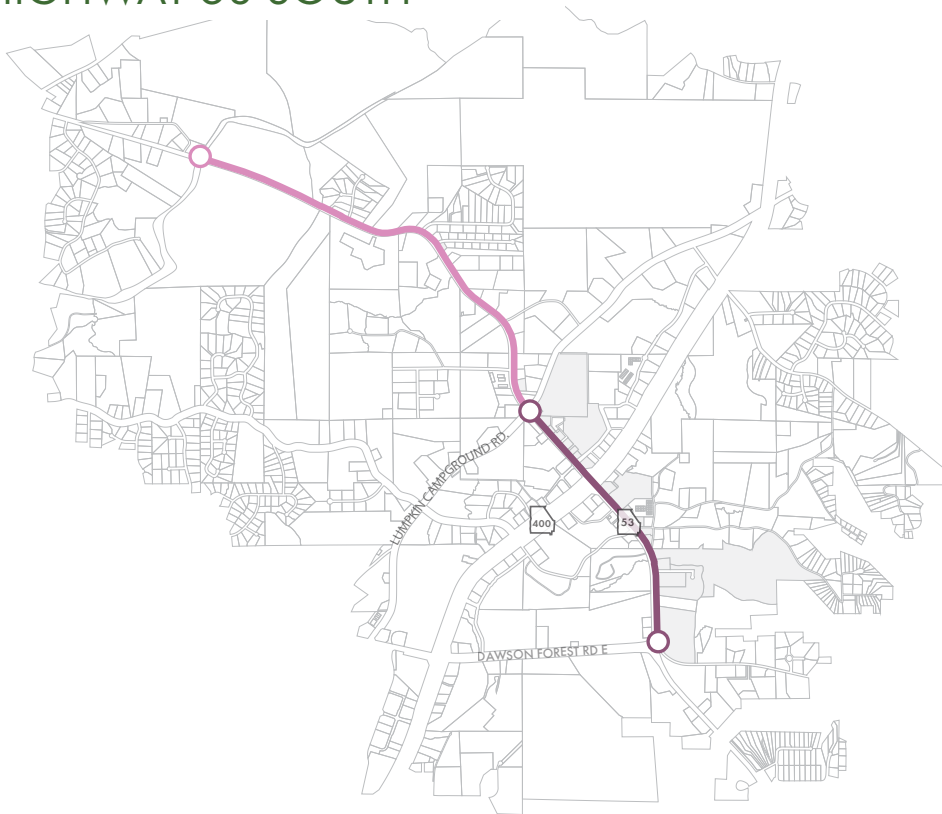
Distance: +/- 1.8 MILES

Cost Est.: +/- \$4.4 M

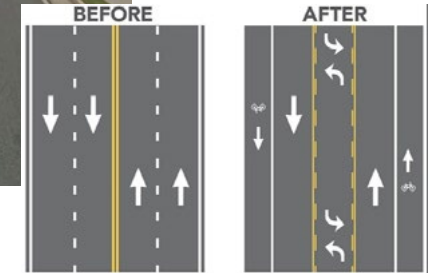
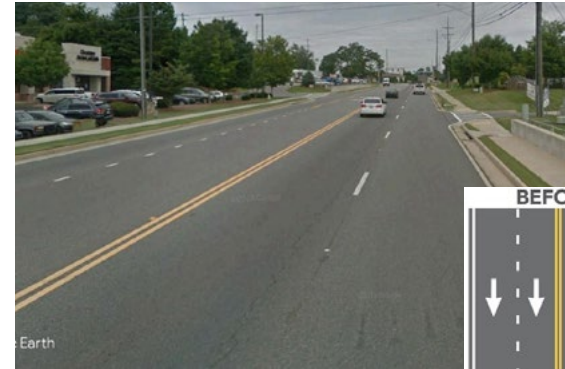
Estimated cost for 12' wide concrete trail with conversion of ditch to curb and gutter (no R/W acquisition cost included)

This trail segment will follow along the existing Highway 53 right-of-way. Long term, a buffered roadside trail section is preferred, but a short term solution may include an improved shoulder to accommodate confident bicyclist.

SEGMENT 5-B HIGHWAY 53 SOUTH



EXISTING HIGHWAY 53 SOUTH

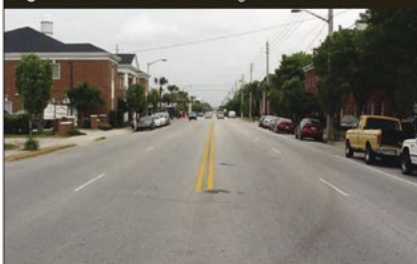


This segment will be within the Highway 53 corridor where there a large amount existing development. Coordination with utilities and drainage will be crucial. Due to the presence of sidewalks on the majority of this segment, the best solution may be consideration of lane reductions, re-striping, etc. in order to allow for at a minimum shared bike lanes and preferably dedicated bike lanes in each direction.

Image from Road Diet: Common Questions and Answers, US

EXAMPLE "ROAD DIET" - 4 LANE TO 3 LANE

Figure 1. Photo. Four-lane configuration before road diet.



Source: Pedestrian Bike Information Center, "Road Diets" training module, 2009.

Figure 2. Photo. Three-lane configuration after road diet.



Source: Pedestrian Bike Information Center, "Road Diets" training module, 2009.

SUMMARY

Distance: +/- 1.1 MILES

Cost Est.: TBD

Cost will depend on the striping solution and could be done next time the road is repaved at no additional cost.

04

IMPLEMENTATION STRATEGIES

CHAPTER FOUR

4 IMPLEMENTATION

This chapter will summarize a recommended approach to encourage a timely implementation of this plan and will include a discussion of trail funding, route/segment summary and next steps.

4.1 FUNDING

While the cost projected in this plan may seem daunting, public support of such projects has grown exponentially in the past decades. The amount, quality and cohesiveness of a communities trails systems are one the highest priorities for people when considering moving into an area.

Trails also should be considered an investment with a definite return on investment. The benefits listed below represent a huge economic return on the money invested into trail projects. The economic benefits generated by trails dwarf the cost of land acquisition, construction and maintenance. ¹key economic benefits of trails are:

- Increase the value of nearby properties.
- Boost spending at local businesses.
- Trails make communities more attractive places to live.
- Trails influence business location and relocation decisions.
- Trails reduce medical costs by encouraging exercise and other healthy outdoor activities.
- Trails revitalize depressed areas, creating a demand for space in what were once vacant buildings.
- Trails provide transportation options and cut fuel expenses.
- Trails provide low or no-cost recreation to families
- Trails increase tax revenues in the communities in which they are located.

All sources of funding should be considered. These range from local level funding sources and community projects (to include private development inclusion of trails into new projects) to large state and federal funding opportunities.

A brief summary of funding sources to consider are:

Local

- General fund allocations
- SPLOST
- Required incorporation of trails within new construction projects
- Payment in lieu of options to build a fund
- Community foundations
- Non-profit collaborators
- Corporate foundations: grants and volunteers
- Small businesses or business partnerships: co-branding, events and sponsorship

State

- GDOT Transportation Alternatives Program (TAP)
- GADNR Recreational Trails Program

Federal

- USDOT Better Utilizing Investment to Leverage Development (BUILD) Grants
- FHWA Federal Recreational Trails Program Grants
- PeopleForBikes Community Grants <https://www.peopleforbikes.org/>
- The Conservation Alliance Grants
- American Hiking Society's National Trails Fund
- Doppelt Family Trail Development Fund

¹"Economic Benefits of Trails." ConservationTools, conservationtools.org/guides/97-economic-benefits-of-trails.

4.2 ROUTE/SEGMENT SUMMARY

Dawson County should utilize this study to identify priority routes/segments and bite of the construction one segment or sub-segment at a time. Consider elements such as existing areas that could act as short term temporary trailheads or logical temporary termini when funding is not available for the entire route/segment. The chart to the right provides a summary of the length (total, on road and off road) and estimated cost.

ROUTE/ SEGMENT NAME	TOTAL DISTANCE (IN MILES)	ON ROAD (IN MILES)	OFF ROAD (IN MILES)	ESTIMATED COST	ESTIMATED COST PER MILE
DAWSON FOREST	6.4	0.7	5.7	\$23.1 MIL	\$3.6 MIL
ETOWAH RIVER	6.6	0.0	6.6	\$23.4 MIL	\$3.5 MIL
GA 400	2.2	2.2	0.0	\$6.6 MIL	\$3.0 MIL
THOMPSON CREEK	1.5	1.5	0.0	\$3.3 MIL	\$2.2 MIL
HIGHWAY 53	2.9	2.9	0.0	\$4.4 MIL	\$1.5 MIL
TOTAL	19.6	7.3	12.3	\$60.8 MIL	\$3.1 MIL

4.3 NEXT STEPS AND RESOURCES

Next Steps

- Acceptance of the Master Plan by the Development Authority of Dawson County
- Adoption by the County Commission
- Establish an Implementation Committee
- Advance local ordinances (require trail construction or payment in lieu and land uses adjacent to trail.
- Identify funding for acquisition of key parcels in plan.
- Acquire key parcels.
- Apply for grants and pursue inclusion of funding into local project incentives

Web Resources

Existing Trail Maps and Route information

- www.georgiawildlife.com/dawson-forest-wma
- www.alltrails.com/trail/us/georgia/dawson-forest-wildlife-management-area-trails

Trail Funding Sources

- www.gadnrle.org/RTP
- www.headwaterseconomics.org/wp-content/uploads/Trails_Funding_Resources_2018.pdf
- www.permatrak.com/news-events/bid/99853/6-grants-for-trails-and-greenway-funding

Trail Planning and Design

- www.ruraldesignguide.com
- www.fs.usda.gov/sites/default/files/Accessibility-Guide-Book.pdf
- www.access-board.gov/aba/guides/chapter-10-outdoor
- www.adainfo.org/sites/default/files/Accessible-Trail-Resources.pdf
- www.conservationtools.org/guides/97-economic-benefits-of-trails

Trail Plans in neighboring counties

- www.ghmpo.org/wp-content/uploads/2019/11/South-Hall-Trail-Study.pdf
- <https://parks.forsythco.com/Parks-and-Facilities/Big-Creek-Greenway>
- <http://path400greenway.org/about-us>

**AN RESOLUTION TO ADOPT A GREENWAY AND TRAIL MASTER
PLAN FOR DAWSON COUNTY**

WHEREAS, the Constitution of the State of Georgia, approved by the voters of the State in November of 1982, and effective July 1, 1983, provides in Article IX, Section II, Paragraph I thereof, that the governing authority of the county may adopt clearly reasonable ordinances, resolutions and regulations; and

WHEREAS; Dawson County is blessed with an abundance of natural resources and open spaces while also having a commercial/retail economic sector that is dramatically higher than is typical for counties of similar demographics and populations within Georgia; and

WHEREAS; in early 2020, the Development Authority of Dawson County (“Development Authority”) initiated a study for the development of a comprehensive economic development plan; and

WHEREAS; the study identified the need for specific planning and long term funding for the development of greenspaces and greenways; and

WHEREAS; a stakeholder committee held a kickoff meeting in November of 2020 as part of the planning process for the development of a trail master plan for Dawson County, and

WHEREAS; Thomas & Hutton prepared a Dawson County Greenway and Trail Master Plan dated May 17, 2021 for the Development Authority (a copy of which is attached hereto as Exhibit “A”), and

WHEREAS; the Plan represents the prioritization for the implementation of trail segments in Dawson County, and

WHEREAS, the Board of Commissioners now finds that it is in the public interest to adopt the Dawson County Greenway and Trail Master Plan as prepared for the Development Authority of Dawson County attached hereto as Exhibit A.

NOW THEREFORE BE IT RESOLVED by the Board of Commissioners of Dawson County, Georgia pursuant to the authority of same as follows:

1. The Dawson County Greenway and Trail Master Plan attached hereto as Exhibit “A” and by this reference incorporated herein is hereby approved and accepted.

SO RESOLVED this _____ day of _____, 2021.

DAWSON COUNTY BOARD OF COMMISSIONERS

By: _____
Billy Thurmond, Chairman

Attest:

[COUNTY SEAL]

By: _____
Kristen Cloud, County Clerk

Vote: Yes: _____
No: _____

Exhibit A:



DAWSON COUNTY

GREENWAY AND TRAIL MASTER PLAN

MAY 17, 2021
Prepared for: The Development Authority
of Dawson County
Prepared by: Thomas & Hutton
Funded by: Georgia's Rural Center

DAWSON COUNTY REZONING APPLICATION

This portion to be completed by Zoning Administrator

ZA 21-19 Tax Map & Parcel # (TMP): 094-053
Submittal Date: 8/25/21 Time: 1:11pm am/pm Received by: mbh (staff initials)
Fees Assessed: 300.00 Paid: check Commission District: 2
Planning Commission Meeting Date: October 19, 2021
Board of Commissioners Meeting Date: November 18, 2021

APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Tony Singleton
Address: _____

Phone: Unlisted mail: Business
Unlisted Personal

Status: Owner Authorized Agent Lessee Option to purchase

Notice: If applicant is other than owner, enclosed Property Owner Authorization form must be completed.

I have /have not _____ participated in a Pre-application meeting with Planning Staff.

If not, I agree _____ /disagree _____ to schedule a meeting the week following the submittal deadline.

Meeting Date: _____ Applicant Signature: Tony Singleton

PROPERTY OWNER/PROPERTY INFORMATION

Name: Tony Singleton

Street Address of Property being rezoned: 529 Reeves Road Dawsonville GA 30534

Rezoning from: RSR to: RSRMM Total acreage being rezoned: 7.26 Acres
Directions to Property (if no address): 529 Reeves Road Dawsonville GA

21 AUG 25 12:38 PM

Subdivision Name (if applicable): _____ Lot(s) #: _____

Current Use of Property: Single Family Residences

Any prior rezoning requests for property? n/a if yes, please provide rezoning case #: ZA

*****Please refer to Dawson County's Georgia 400 Corridor Guidelines and Maps to answer the following:**

Does the plan lie within the Georgia 400 Corridor? no (yes/no)

If yes, what section? North _____ South _____

SURROUNDING PROPERTY ZONING CLASSIFICATION:

North RSR South R-A & RSR East RSR West R-A

Future Land Use Map Designation: RSR

Access to the development will be provided from:

Road Name: Reeves Rd. Type of Surface: Asphalt

REQUESTED ACTION & DETAILS OF PROPOSED USE

Rezoning to: RSRMM Special Use Permit for: _____

Proposed Use:

Existing Utilities: Water Sewer Gas Electric

Proposed Utilities: Water Sewer Gas Electric

RESIDENTIAL

No. of Lots: _____ Minimum Lot Size: _____ (acres) No. of Units: _____

Minimum Heated Floor Area: _____ sq. ft. Density/Acre: _____

Type: Apartments Condominiums Townhomes Single-family Other

Is an Amenity Area proposed: _____; if yes, what? _____

COMMERCIAL & INDUSTRIAL

Building area: _____ No. of Parking Spaces: _____

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APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and the Board of Commissioners to make an informed determination on my request. I will seek the advice of an attorney if I am not familiar with the zoning and land use requirements.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioner hearings and that I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my rezoning of special use application. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

Signature Jay Taylor

Date 8-25-21

Witness Margaret A. Stearn

Date 8-25-21

WITHDRAWAL

Notice: This section only to be completed if application is being withdrawn.

I hereby withdraw application # _____

Signature _____

Date _____

Withdrawal of Application:

Withdrawals of any application may be accommodated within the Planning & Development Department if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following the written request and publication the Planning Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Planning Commission. Further, the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal. Please note that no refund of application fees may be made unless directed by the Board of Commissioners.

2021 AUG 25 10:53 AM

ZA _____

TMP#: _____

List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and mailing address of anyone who has property touching your property or who has property directly across the street from your property.

****Please note this information should be obtained using the Tax Map & Parcel (TMP) listing for any parcel(s) adjoining or adjacent to the parcel where a variance or rezone is being requested.**

	<u>Name</u>	<u>Address</u>
TMP <u>091141</u>	1. Bobby Joe & Kevin Corcoran	
TMP <u>094054</u>	2. Mark Byrd	
TMP <u>0941070</u>	3. Marcus C Byrd	
TMP <u>094053004</u>	4. Susan & Michael Wright	
TMP _____	5. James Reeves (Across the street)	
TMP _____	6.	
TMP _____	7.	
TMP _____	8.	
TMP _____	9.	
TMP _____	10.	
TMP _____	11.	
TMP _____	12.	
TMP _____	13.	
TMP _____	14.	
TMP _____	15.	

Use additional sheets if necessary.

Use additional sheets if necessary.

NOTICE OF RESIDENTIAL EXURBAN/AGRICULTURAL DISTRICT (R-A) ADJACENCY

Agricultural districts include uses of land primarily for active farming activities and result in odors, noise, dust and other effects, which may not be compatible with adjacent development. Future abutting developers in non RA land use districts shall be provided with this "Notice of RA Adjacency" prior to administrative action on either the land use district or the issuance of a building or occupancy permit.

Prior to administrative action the applicant shall be required to sign this waiver which indicates that the applicant understands that a use is ongoing adjacent to his use which will produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent RA use, the applicant agrees by executing this form to waive any objection to those effects and understands that his district change and/or his permits are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the RA district constitute a nuisance) against local governments and adjoining landowners whose property is located in an RA district.

This notice and acknowledgement shall be public record.

Applicant Signature: Tony Singleton

Applicant Printed Name: Tony Singleton

Application Number: _____

Date Signed: 8-25-21

Sworn and subscribed before me

this 25th day of August, 2021.

Margaret A Honn
Notary Public

My Commission Expires: _____



{
Notary Public Seal
}

2021 AUG 25 11:24 AM

PROPERTY OWNER AUTHORIZATION

I/we, Tony Singleton, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #):

529 Reeves Road Dawsonville GA 30534.

Parcel # 094053 - Legal Description LL 646 647 LD4.
as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Tony Singleton

Signature of applicant or agent: Tony Singleton Date: 8-25-21

Printed Name of Owner(s): Tony Singleton

Signature of Owner(s): Tony Singleton Date: 8-25-21

Mailing address: _____

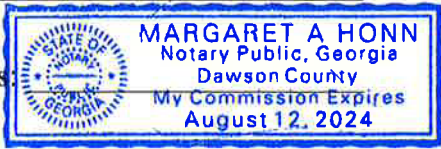
City, State, Zip: _____

Telephone Number: Listed _____
 Unlisted _____

Sworn and subscribed before me this 25th day of August, 2021.

Margaret A Honn
Notary Public

My Commission Expires:



{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

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DRI INFORMATION

IF YOUR DEVELOPMENT FALLS WITHIN ANY OF THE FOLLOWING THRESHOLDS,
PLEASE ASK PLANNING STAFF FOR DRI REVIEW CHECKLISTS.

**Table 1: Developments of Regional Impact - Tiers and Development Thresholds
Effective January 1, 2005**

Type of Development	Non-metropolitan Regions (Dawson County status eff. 1/2005)
(1) Office	Greater than 125,000 gross square feet
(2) Commercial	Greater than 175,000 gross square feet
(3) Wholesale & Distribution	Greater than 175,000 gross square feet
(4) Hospitals and Health Care Facilities	Greater than 200 new beds; or generating more than 250 peak hour vehicle trips per day
(5) Housing	Greater than 125 new lots or units
(6) Industrial	Greater than 175,000 gross square feet; or employing more than 500 workers; or covering more than 125 acres
(7) Hotels	Greater than 250 rooms
(8) Mixed Use	Gross square feet greater than 125,000 (with residential units calculated at 1800 square feet per unit toward the total gross square footage); or covering more than 40 acres; or if any of the individual uses meets or exceeds a threshold as identified herein
(9) Airports	Any new airport with a paved runway; or runway additions of more than 25% of existing runway length
(10) Attractions & Recreational Facilities	Greater than 1,500 parking spaces or a seating capacity of more than 6,000
(11) Post-Secondary School	New school with a capacity of more than 750 students, or expansion by at least 25 percent of capacity
(12) Waste Handling Facilities	New facility or expansion of use of an existing facility by 50 percent or more
(13) Quarries, Asphalt & Cement Plants	New facility or expansion of existing facility by more than 50 percent
(14) Wastewater Treatment Facilities	New facility or expansion of existing facility by more than 50 percent
(15) Petroleum Storage Facilities	Storage greater than 50,000 barrels if within 1,000 feet of any water supply; otherwise, storage capacity greater than 200,000 barrels
(16) Water Supply Intakes/Reservoirs	New Facilities
(17) Intermodal Terminals	New Facilities
(18) Truck Stops	A new facility with more than three diesel fuel pumps; or containing a half acre of truck parking or 10 truck parking spaces.
(19) Any other development types not identified above (includes parking facilities)	1000 parking spaces

Dawson County, Georgia Board of Commissioners
Affidavit for Issuance of a Public Benefit
As Required by the Georgia Illegal Immigration Reform and Enforcement Act of 2011

By executing this affidavit under oath, as an applicant for a Dawson County Business License, Out of County Business Registration, Alcohol License, or other public benefit as referenced in the Georgia Illegal Immigration Reform and Enforcement Act of 2011 [O.C.G.A. § 50-36-1(e)(2)], I am stating the following with respect to my application for such Dawson County public benefit.

✓ I am a United States citizen.

_____ I am a legal permanent resident of the United States. (FOR NON-CITIZENS)

_____ I am a qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency. (FOR NON-CITIZENS)

My alien number issued by the Department of Homeland Security or other federal immigration agency is:

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. (See reverse side of this affidavit for a list of secure and verifiable documents.)

The secure and verifiable document provided with this affidavit can best be classified as:

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Executed in Dawsonville (city), GA (state)

Tony Singleton
Signature of Applicant

8-25-21
Date

Tony Singleton
Printed Name

TONY SINGLETON
Name of Business

SUBSCRIBED AND SWORN BEFORE ME ON
THIS 25th DAY OF August, 2021

Margaret A Honn Notary Public

My Commission Expires EMERSON
EMERSON
Notary Public, Georgia
Dawson County
My Commission Expires
August 12, 2024

This affidavit is a State of Georgia requirement that must be completed for initial applications and renewal applications for public benefits as referenced in O.C.G.A § 50-36-1(a)(3). The person who has made application for access to public benefits on behalf of an individual, business, corporation, partnership or other private entity must complete and sign the affidavit and provide a secure and verifiable document.

Secure and Verifiable Documents Under O.C.G.A. § 50-36-2

The following list of secure and verifiable documents, published under the authority of O.C.G.A. § 50-36-2, contains documents that are verifiable for identification purposes, and documents on this list may not necessarily be indicative of residency or immigration status.

- A **United States Passport or Passport Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Military Identification card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Driver's License** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Identification Card** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Tribal Identification Card** of a federally recognized Native American tribe, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer. A listing of federally recognized Native American tribes may be found at:
<http://www.bia.gov/WhoWeAre/BIA/OIS/TribalGovernmentServices/TribalDirectory/index.htm>
[O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Permanent Resident Card or Alien Registration Receipt Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Employment Authorization Document** that contains a photograph of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Passport Issued by a Foreign Government** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Merchant Mariner Document or Merchant Mariner Credential** issued by the United States Coast Guard [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Free and Secure Trade (FAST) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **NEXUS Card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Secure Electronic Network for Travelers Rapid Inspection (SENTRI) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Driver's License issued by a Canadian Government Authority** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Certificate of Citizenship** issued by the United States Department of Citizenship and Immigration Services (USCIS) (Form N-560 or Form N-561) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]
- A **Certificate of Naturalization** issued by the United States Department of Citizenship and Immigration Services (USCIS) (Form N-550 or Form N-570) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]

2025

APPROVED FOR RECORDING
 7-11-85
 DAVID TURNER & GRADY W. TURNER
 DB 1205, PG 74
 ZONED RSR

SURVEYOR'S CERTIFICATION
 I, DAVID TURNER, being duly sworn, depose and say that I am a duly licensed Surveyor in the State of Georgia and that I am the author of the foregoing plat and that the same is a true and correct copy of the original plat as shown to me by the parties thereto and that I am not aware of any fraud or illegality in the execution of the same.

GENERAL NOTES
 1. THIS SURVEY WAS MADE BY MEASUREMENTS AND CALCULATIONS FROM THE CORNER STAKES AND MONUMENTS SHOWN ON THE PLAT AND FROM THE ORIGINAL RECORDS OF THE SURVEY.
 2. THE BOUNDARY LINES ARE SHOWN BY DASHED LINES AND THE CORNER STAKES ARE SHOWN BY SOLID LINES.
 3. THE AREA OF THIS SURVEY IS 13.186 ACRES.
 4. THE TOTAL AREA OF THIS SURVEY IS 574,384 SQ. FT.
 5. THE AREA OF THIS SURVEY IS 12.929 ACRES.
 6. THE TOTAL AREA OF THIS SURVEY IS 9,202 SQ. FT.
 7. THE AREA OF THIS SURVEY IS 1,996 SQ. FT.
 8. THE TOTAL AREA OF THIS SURVEY IS 574,384 SQ. FT.
 9. THE AREA OF THIS SURVEY IS 13.186 ACRES.

PLAT REFERENCE
 1. PLAT FOR REEVESSON SUBDIVISION, BY APPALACHIAN SURVEYING CO., INC., 1964, AS RECORDED IN PLAT BOOK NO. 1167, PG. 504.
 2. PLAT FOR DAVID TURNER & GRADY W. TURNER, DB 1205, PG. 74.
 3. PLAT FOR DAVID TURNER & GRADY W. TURNER, DB 1205, PG. 74.
 4. PLAT FOR DAVID TURNER & GRADY W. TURNER, DB 1205, PG. 74.
 5. PLAT FOR DAVID TURNER & GRADY W. TURNER, DB 1205, PG. 74.



N/F
 MICHAEL TURNER,
 DAVID TURNER &
 GRADY W. TURNER
 DB 1205, PG 74
 ZONED RSR

N/F
 EDNA SHELTON REEVES
 DB 1167, PG 504
 ZONED RSR

N/F
 JAMES C. REEVES
 DB 60, PG 789
 ZONED R-A

N/F
 JOHNNY SINGLETON
 & LARKINE SINGLETON
 DB 703, PG 602
 PG 57, PG 89
 ZONED RSR

N/F
 MARK BYRD
 DB 1922, PG 593
 PG 81, PG 89
 ZONED RSR

N/F
 KEVIN CORCORAN
 & BOB CORCORAN
 DB 271, PG 58
 ZONED RSR

TRACT 1A CALL TABLE

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TRACT 1A CALL TABLE

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41	100.00	N 00° 00' 00" W	0.0000
42	100.00	S 00° 00' 00" E	0.0000
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93	100.00	N 00° 00' 00" W	0.0000
94	100.00	S 00° 00' 00" E	0.0000
95	100.00	S 00° 00' 00" W	0.0000
96	100.00	N 00° 00' 00" E	0.0000
97	100.00	N 00° 00' 00" W	0.0000
98	100.00	S 00° 00' 00" E	0.0000
99	100.00	S 00° 00' 00" W	0.0000
100	100.00	N 00° 00' 00" E	0.0000

TRACT 1A CALL TABLE

Line	Length	Bearing	Area
1	100.00	N 00° 00' 00" W	0.0000
2	100.00	S 00° 00' 00" E	0.0000
3	100.00	S 00° 00' 00" W	0.0000
4	100.00	N 00° 00' 00" E	0.0000
5	100.00	N 00° 00' 00" W	0.0000
6	100.00	S 00° 00' 00" E	0.0000
7			

2020 Property Tax Statement

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way
 Suite 1222
 Dawsonville, GA 30534

MAKE CHECK OR MONEY ORDER PAYABLE TO:
 Dawson County Tax Commissioner

SINGLETON JOHNNY
 529 REEVES RD
 DAWSONVILLE, GA 30534

RETURN THIS PORTION WITH PAYMENT

(Interest will be added per month if not paid by due date)

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way
 Suite 1222
 Dawsonville, GA 30534

Tax Payer: SINGLETON JOHNNY
Map Code: 094 053 REAL
Description: LL 646 647 LD 4
Location: 475 REEVES RD
Bill No: 2020-12815
District: 001 DAWSON COUNTY UNINCORPORATE

Phone: (706) 344-3520 Fax: (706) 344-3522

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good Through	Exemptions	
43,719	71,500	7.2600	115,219				X11 X11 S4	
Entity	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	115,219	46,088	46,088.00		.0000			.00
COUNTY M&O	115,219	46,088	36,260.00	9,828	12.3770	121.64		77.49
SALES TAX ROLLBACK				9,828	-4.4920		-44.15	
SCHOOL M&O	115,219	46,088	46,088.00		15.7780			.00
TOTALS					23.6630	121.64	-44.15	77.49

This gradual reduction and elimination of the state property tax millage rate is the result of property tax relief passed by the Governor and the House of Representatives and the Georgia State Senate.

Bill No.	Due Date	TOTAL DUE
2020-12815		.00

Map : 094 053
 Last payment made on: 10/08/2020
 Location: 475 REEVES RD
 Printed: 08/18/2021

Dear Taxpayer,
 This is your current year Ad Valorem Property Tax Statement. This bill must be paid in full by December 1st in order to avoid interest and penalty charges. If payment is made after the due date, please call the office for the current amount due. State law requires all bills to be mailed to the owner of record as of January 1st of the tax year. If you have sold this property, please forward this bill to the NEW OWNER and notify our office.
 Thank you for the privilege of serving you as your Tax Commissioner.
 Nicole Stewart



You can pay your bill in person, by mail, by phone (706-701-2576), online at www.dawsoncountytax.com, or at the drop box in front of the courthouse at the crosswalk. If Postmarked after December 1st, interest at a rate prescribed by law will be added monthly. An additional penalty as prescribed by law will be added every 120 days. If the bill is marked appealed, then this bill is only 85% of the total bill pending.

NO PAYMENT CONTRACTS WILL BE ALLOWED. \$35.00 FEE FOR RETURNED CHECKS

Current Due	77.49
Penalty	0.00
Interest	0.00
Other Fees	0.00
Previous Payments	77.49
Back taxes	0.00
TOTAL DUE	.00

Printed: 08/18/2021

25 Justice Way Suite 1222
Dawsonville, GA 30534

Trans No	Property ID/District Description	Original Due	Interest & Penalty	Prev Paid	Amount Due	Amount Paid	Transaction Balance
7362 Year-Bill No 2020 12816	094 053 / 001 LL 646 647 LD 4 FMV: \$115,219.00	77.49	0.00 Fees 0.00	0.00	77.49	77.49	0.00
						Paid Date 10/8/2020 14:06:04	Current Due 0.00
Transactions:	7362 - 7362 Totals	77.49	0.00	0.00	77.49	77.49	0.00

Paid By :

SINGLETON JOHNNY
529 REEVES RD
DAWSONVILLE, GA 30534

Paid by Johnny Singleton from
web. Ref No:
4C593806F9194383R Auth
Code:7E4A8FEE8494D49C434

Cash Amt: 0.00
Check Amt: 0.00
Charge Amt: 77.49
Change Amt: 0.00
Refund Amt: 0.00
Overpay Amt: 0.00

Check No
Charge Acct 0

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qPublic.net™ Dawson County, GA

Summary

Parcel Number 094 053
 Location Address 529 REEVES RD
 Legal Description LL 646 647 LD 4
 (Note: Not to be used on legal documents)
 Class A4-Agricultural
 (Note: This is for tax purposes only. Not to be used for zoning.)
 Tax District UNINCORPORATED (District 01)
 Millage Rate 23.663
 Acres 7.26
 Neighborhood RL-ST - Dawsonville (311000)
 Homestead Exemption Yes (X11)
 Landlot/District 646 / 4

[View Map](#)



Owner

SINGLETON JOHNNY
 529 REEVES RD
 DAWSONVILLE, GA 30534

Rural Land

Type	Description	Calculation Method	Soil Productivity	Acres
RUR	Small Parcels	Rural	5	0.09
RUR	Small Parcels	Rural	6	2
RUR	Small Parcels	Rural	7	5.14
RUR	Small Parcels	Rural	8	0.03

Mobile Homes

Style	Manufacturer	Model	Year Built	Width Length	Serial Number	Condition	Value
Mobile Homes	SOUTHERN ENERGY HOMES	SOUTHERN ELITE	1996	28 x 60		Average	\$22,858
Mobile Homes	HORTON	* AV	1999	16 x 76		Average	\$12,310

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
Pole Shed: no Slab	2017	0x0 / 1	0	\$0
Carpport: Pre-Fab No Slab	2010	18x20 / 0	0	\$470
Homesite Imp: 3 Avg	2005	1x0 / 1	0	\$5,000
Storage Building: Frame	2000	10x10 / 0	0	\$510
Lean-To: W/Slab	2000	8x10 / 0	0	\$200
Pole Shed: no Slab	2000	20x24 / 0	0	\$1,000
Pole Shed:Semi Enclosed	2000	8x14 / 0	0	\$330
Storage Building: Frame	1988	12x18 / 0	0	\$410
Storage Building: Frame	1950	20x20 / 0	0	\$570
Pole Shed:Semi Enclosed	1950	20x30 / 0	0	\$670

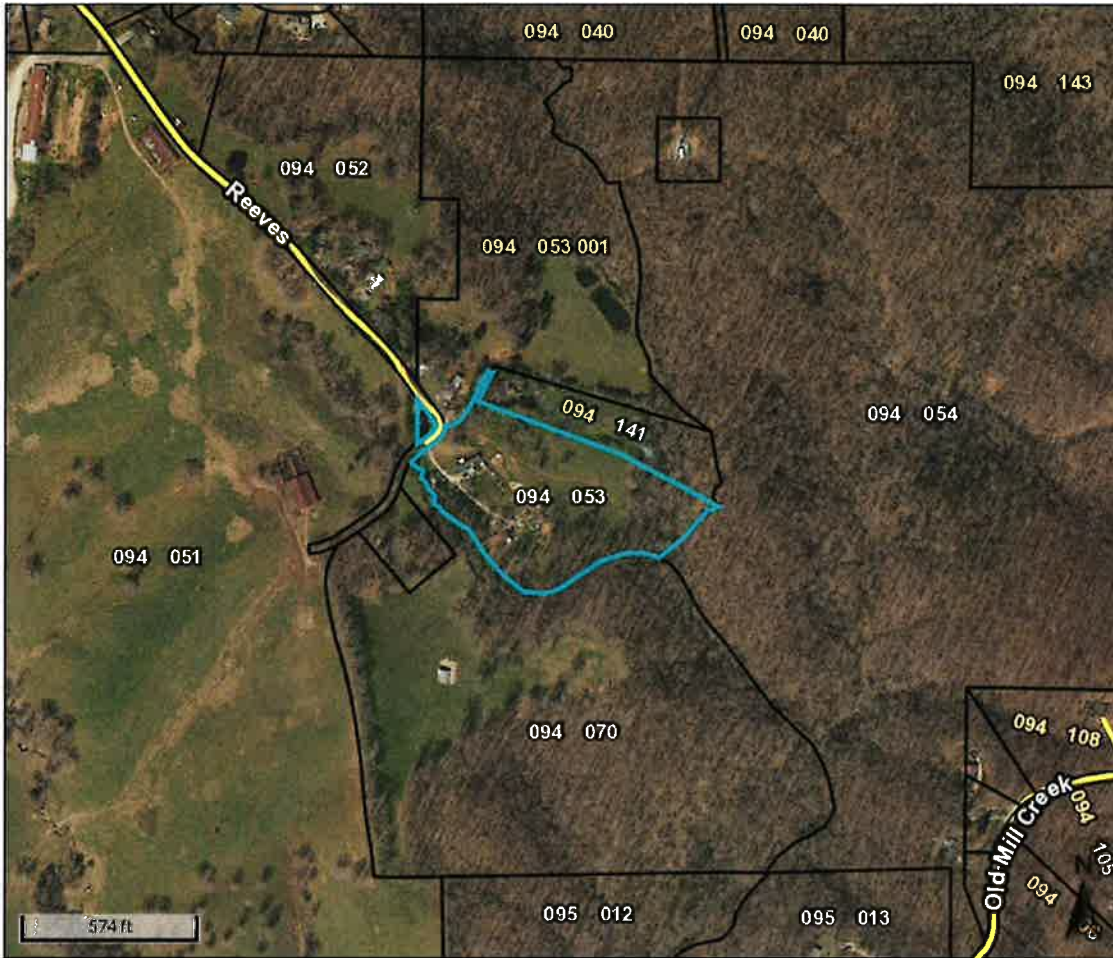
Permits

Permit Date	Permit Number	Type
12/19/2019	14010	DEMOLITION

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
11/16/2005	703 602	57 89	\$0	Gift	SINGLETON JESSIE L	SINGLETON JOHNNY & J LAMERLE
6/3/2005	672 77		\$0	Gift	FOUTS LYNN S	SINGLETON JOHNNY & J LAMERLE
3/31/2003	504 288	57 89	\$8,500	Kin/Related	SINGLETON JESSIE L	VILLADROUIN SHANNA
3/31/2003	504 287	57 89	\$0	Gift	FOUTS LYNN S	SINGLETON JESSIE L
6/6/1994	185 121		\$2,000	Fair Market Sale (Improved)		FOUTS LYNN S

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Overview



Legend

 Parcels

Parcel ID: 094 053
Alt ID: 6447
Owner: SINGLETON JOHNNY
Acres: 7.26
Assessed Value: \$128728

Date created: 7/8/2021
Last Data Uploaded: 7/7/2021 10:56:06 PM

Developed by 

'21AUG25 1:11PM

August 20, 2021

Dawson County Planning
Dawsonville, GA 30534

Letter of Intent:

Parcel Number 094 053
Location Address 529 REEVES RD
Legal Description LL 646 647 LD 4
Class A4-Agricultural/RSRMM

To Whom It May Concern:

Property owners Tony Singleton and Lynn Fouts are requesting rezoning or variance of above reference property for an additional manufactured/mobile home. The additional manufactured/mobile home will be for private residence. This request is for three manufactured/mobile homes on 7.26 acres of land. In the past there was three manufacture/mobile homes on this parcel and one was demolished.

We hope our submission meets the minimum requirements for this development as we look forward to your favorable consideration.

Sincerely,



Tony Singleton



Lynn Singleton

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APPLICATION PROCESSING: STAFF USE ONLY

ZA _____ **Applicant Name:** _____

Application Fee: \$ _____

IF APPLICABLE:

- | | |
|--|-------------|
| <input type="checkbox"/> Legal Advertisement Submitted to Newspaper | Date: _____ |
| <input type="checkbox"/> Planning Commission & Board of Commissioners Packets Delivered | Date: _____ |
| <input type="checkbox"/> Application Posted on County Website | Date: _____ |
| <input type="checkbox"/> Adjacent Property Owner Notices Mailed | Date: _____ |
| <input type="checkbox"/> Interdepartmental Forms Submitted for Review | Date: _____ |
| <input type="checkbox"/> Department of Transportation Notified | Date: _____ |
| <input type="checkbox"/> Georgia Mountains Notified (DRI) | Date: _____ |
| <input type="checkbox"/> Public Notice Signs on Property Verified | Date: _____ |
| <input type="checkbox"/> Approval or Denial Form placed in folder | Date: _____ |
| <input type="checkbox"/> Applicant Notified of Final Action | Date: _____ |
| <input type="checkbox"/> Approval or Denial Form to Office Manager/Building Official/Marshal | Date: _____ |
| <input type="checkbox"/> Rezoning Change Form to Director | Date: _____ |
| <input type="checkbox"/> Zoning Map Amended | Date: _____ |
| <input type="checkbox"/> Change Zoning in EnerGov by Parcel | Date: _____ |
| <input type="checkbox"/> Planning Commission Meeting Minutes placed in folder | Date: _____ |
| <input type="checkbox"/> Board of Commission Meeting Minutes placed in folder | Date: _____ |

Planning Commission & Board of Commissioners Actions

PC Recommendation Date: _____ Approval Approval w/stipulations Denial

BOC Decision Date: _____ Approval Approval w/stipulations Denial

Dawson County, Georgia Board of Commissioners

Affidavit for Issuance of a Public Benefit

As Required by the Georgia Illegal Immigration Reform and Enforcement Act of 2011

By executing this affidavit under oath, as an applicant for a Dawson County Business License, Out of County Business Registration, Alcohol License, or other public benefit as referenced in the Georgia Illegal Immigration Reform and Enforcement Act of 2011 [O.C.G.A. § 50-36-1(e)(2)], I am stating the following with respect to my application for such Dawson County public benefit.

X

I am a United States citizen.

I am a legal permanent resident of the United States. (FOR NON-CITIZENS)

I am a qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency. (FOR NON-CITIZENS)

My alien number issued by the Department of Homeland Security or other federal immigration agency is:

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one **secure and verifiable document**, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. *(See reverse side of this affidavit for a list of secure and verifiable documents.)*

The secure and verifiable document provided with this affidavit can best be classified as:

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Executed in _____ (city), _____ (state)

Signature of Applicant

Date

Printed Name

Name of Business

SUBSCRIBED AND SWORN BEFORE ME ON

THIS _____ DAY OF _____, 20_____

Notary Public

My Commission Expires: _____

{Notary Seal}



DAWSON COUNTY PLANNING COMMISSION PLANNING STAFF REPORT

Applicant..... Tony Singleton

Amendment #..... ZA 21-19

Request..... Rezone Property from RSR (Residential Sub Rural) to RSRMM (Residential Sub-Rural Manufactured Moved)

Proposed Use..... Rezone property for the purpose of bringing the parcel into zoning compliance and moving an additional mobile home onto the property for his daughter's primary residence

Current Zoning..... RSR (Residential Sub Rural)

Size..... 7.26± acres

Location Reeves Road

Tax Parcel..... 094 053

Planning Commission Date October 19, 2021

Board of Commission Date..... November 18, 2021

Applicant Proposal

The applicant is seeking to rezone the property from RSR (Residential Sub Rural) to RSRMM (Residential Sub Rural Manufactured Moved) for the purpose of bringing the parcel into zoning compliance. Applicant intends to then subdivide the parcel to bring the property into compliance regarding the number of units allowed per parcel. The applicant intends on subdividing the property to place an additional manufactured home on one of the subdivided parcels, and residence on another.

History and Existing Land Uses

Mr. Singleton's family has owned the parcel and had their primary residences on the parcel for 20+ years. There are two (2) existing manufactured homes on the parcel at this time that were permitted in the 1990's. A third manufactured home was once located on the property and has since been demolished.

Adjacent Land Uses	Existing zoning	Existing Use
North	RSR	Residential
South	RSR	Residential/Vacant
East	RSR	Vacant
West	R-A	Vacant

Development Support and Constraints

Having the land zoned for a Residential Sub-Rural Manufactured Moved bring the existing non-conforming use on the parcel into compliance; and would allow the owner to either build/move a permanent residence on a smaller parcel. The minimum lot size of RSMM is one acre if served by public water.

Relationship to the Comprehensive Plan and FLUP (Future Land Use Plan)

According to the Comprehensive Plan and accompanying FLUP (Future Land Use Plan), the subject property is identified as Sub-Rural Residential. RSRMM is not called out specifically within the Comprehensive Plan, it is a sub-category of RSR, it does fall in with the general character of the area.

Public Facilities/Impacts

Engineering Department – No comments returned as of 10/14/2021

Environmental Health Department – No comments returned as 10/14/2021

Emergency Services – No comment necessary for this rezoning request.

Etowah Water & Sewer Authority – “529 Reeves Road is served by Etowah Water off of an existing water main.”

Dawson County Sheriff’s Office – No comments returned as of 10/14/2021.

STAFF ANALYSIS

This parcel historically had multiple manufactured homes located on it. The proposed rezoning and subsequent splitting of the parcel to bring it into conformance with the Land Use Resolution, and should not be detrimental to the surrounding residential properties.

The following observations should be noted with respect to this request:

A. The existing uses and classification of nearby property.

Properties surrounding the parcel are zoned residential sub-rural (RSR) with homes dating back to the 1960's along with newer residential stick-built homes.

B. The extent to which property values are diminished by the particular land use classification.

There should be no diminishment of property values.

C. The extent to which the destruction of property values of the applicant promotes the health, safety, morals, or general welfare of the public.

There should be no destruction of property values. The use of the land will remain residential.

D. The relative gain to the public, as compared to the hardship imposed upon the individual property owner.

There is no gain to the public if approved.

E. The suitability of the subject property for the proposed land use classification.

The property is suitable for the purposed land use classification and it falls within the general character of the area.

F. The length of time the property has been vacant under the present classification, considered in the context of land development in the area in the vicinity of the property.

It is not vacant; a portion of the parcel is occupied by the applicant's sister and another family member.

G. The specific, unusual, or unique facts of each case, which give rise to special hardships, incurred by the applicant and/or surrounding property owners.

The applicant is looking to gift his daughter a parcel of property so that she can raise her children on the family land.

Pictures of Property:





Aerial View

094
052

094 053 001

Reeves Road

094 051

094 141

094 054

094 053

094 071

094 070



DAWSON COUNTY DISCLAIMS ANY RESPONSIBILITIES, LIABILITIES OR DAMAGES FROM THE USE OF THIS MAP. THIS MAP IS ONLY FOR DISPLAY PURPOSES.

N



Scale: 1:1,646

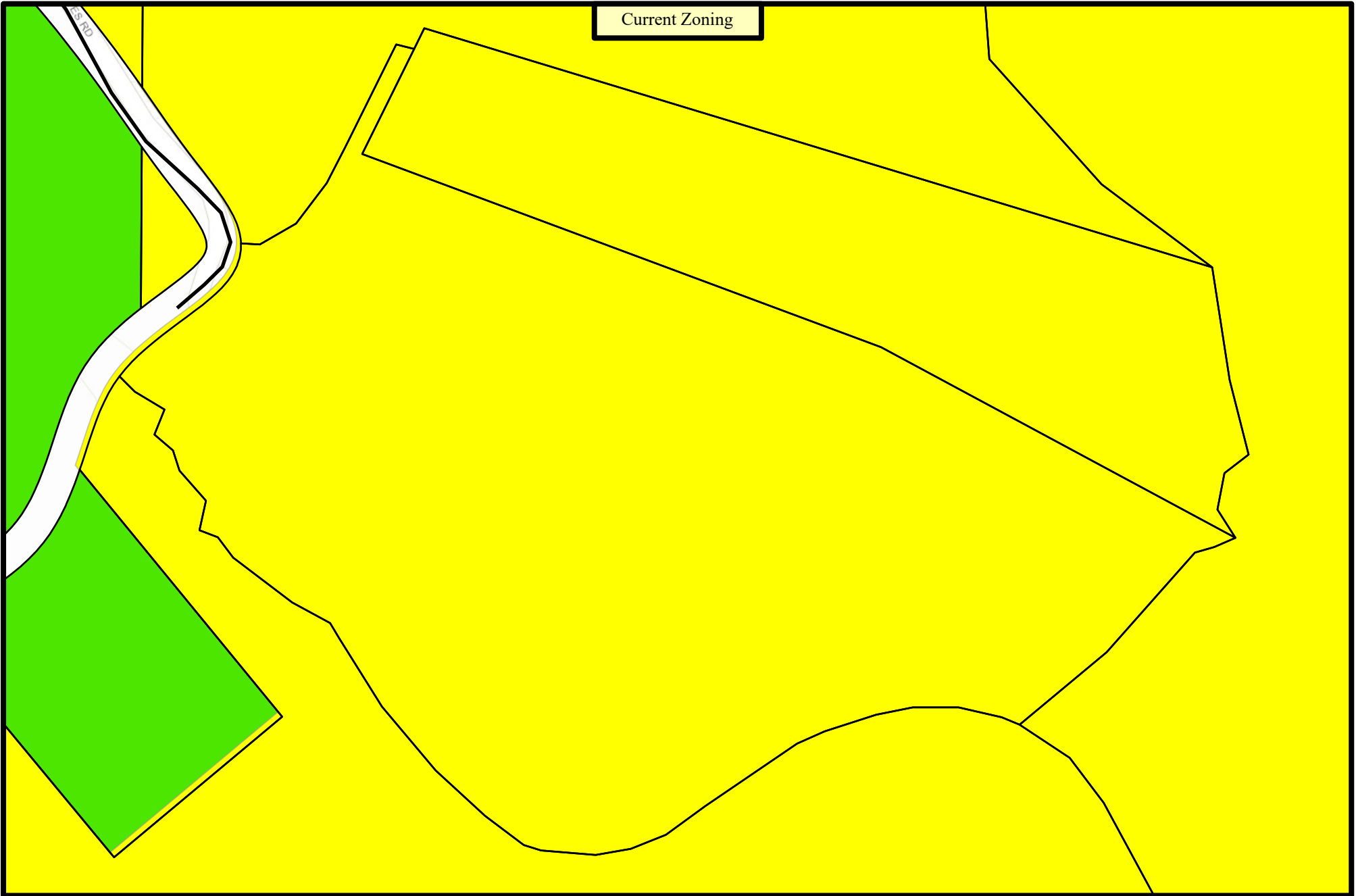
Dawson County

Planning and Development

75

Site Report

Parcel #: 094-053
 Current Zoning: RSR
 FLU: SRR
 Application #: ZA 21-19



Current Zoning



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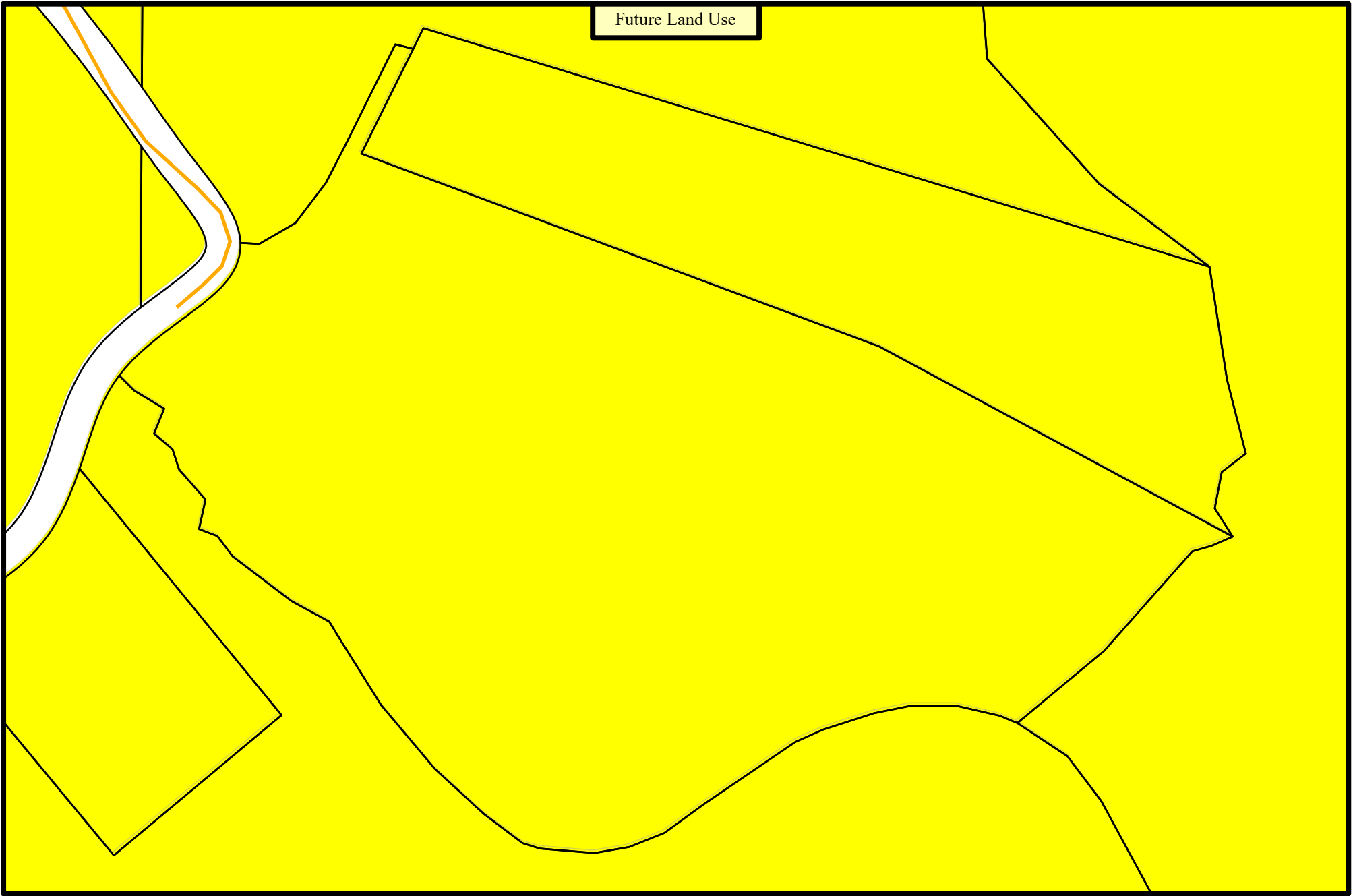
Dawson County

Planning and Development

76

Site Report

Parcel #: 094-053
Current Zoning: RSR
FLU: SRR
Application #: ZA 21-19



Future Land Use



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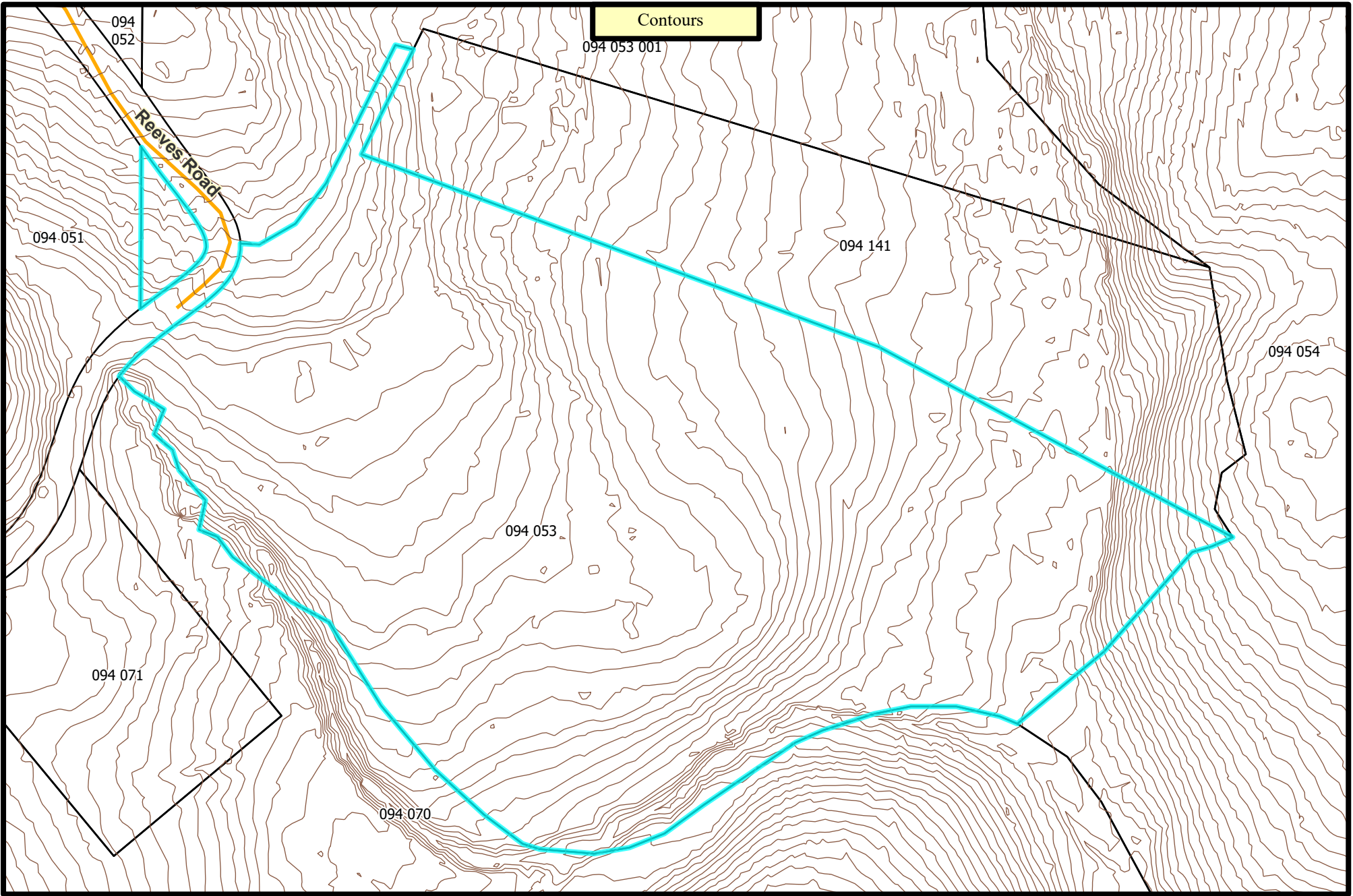
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Dawson County

Planning and Development

77
Site Report

Parcel #: 094-053
Current Zoning: RSR
FLU: SRR
Application #: ZA 21-19



DAWSON COUNTY DISCLAIMS ANY RESPONSIBILITIES, LIABILITIES OR DAMAGES FROM THE USE OF THIS MAP. THIS MAP IS ONLY FOR DISPLAY PURPOSES.

N

 Scale: 1:1,646

Dawson County
 Planning and Development
 78
 Staff Report

Parcel #: 094-053
 Current Zoning: RSR
 FLU: SRR
 Application #: ZA 21-19

APPROVAL

PUBLIC HEARING OF REZONING REQUEST

We, the Dawson County Planning Commission, do hereby recommend approval the following rezoning request:

ZA #: 21-19 DATE OF HEARING: 10-19-21

Applicant's Name: Tony Singleton

Address: 8604 Hwy 136 W Dawsonville, GA 30534

Tax Map Parcel & Parcel Number: 094-053 Parcel Currently Zoned: RSP

Rezoning Requested: RSPmm

This recommendation for approval is based upon the following which we feel will/will not:

- A. Affect the property values of surrounding property.
- B. Affect the health, safety or general welfare of the public.
- C. Impose any special hardships on the surrounding property owners.
- D. The subject property is suited for the proposed land use.

This recommendation for approval is, however, subject to the following stipulations and/or modifications:

Jason Hamby
Chairman Jason Hamby
Dawson County Planning Commissioner

10-19-21
Date

DAWSON COUNTY REZONING APPLICATION

This portion to be completed by Zoning Administrator

ZA 21. 21 Tax Map & Parcel # (TMP): _____
Submittal Date: 9.10.21 Time: _____ am/pm Received by: hge (staff initials)
Fees Assessed: _____ Paid: _____ Commission District: 4
Planning Commission Meeting Date: Oct.
Board of Commissioners Meeting Date: Nov.

APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Jim King
Address: _____

Phone: Listed / Unlisted Email: _____ Business / Personal _____
Status: [] Owner Authorized Agent [] Lessee [] Option to purchase

Notice: If applicant is other than owner, enclosed Property Owner Authorization form must be completed.

I have / have not _____ participated in a Pre-application meeting with Planning Staff.
If not, I agree _____ / disagree _____ to schedule a meeting the week following the submittal deadline.
Meeting Date: _____ Applicant Signature: _____

PROPERTY OWNER/PROPERTY INFORMATION

Tract 1 - Parcel 098 015, n/f LeBLANC FAMILY PARTNERS LLLP ETAL
Name: Tract 2 - Parcel 098 016 001, n/f William P & June M Green
Tract 3 - Parcel 098 016 002, n/f Patricia Yearwood
Street Address of Property being rezoned: _____
Tract 1 - no address, Tract 2 - 326 Goodson Rd, Tract 3 - 174 Goodson Rd, Dawsonville, GA 30534

Rezoning from: RA to: RS-3 (Conservation) Total acreage being rezoned: 160.63 ac
Directions to Property (if no address): From Dawsonville, SR 9 S to Dawson Forest Rd., left on Dawson Forest Rd

Tract is on the right. Take right on Goodson Rd., additional portions of the tract is on the right past the first residence at the corner.

SEP 10 2021

Subdivision Name (if applicable): _____ Lot(s) #: _____

Current Use of Property: Wooded with two residences

Any prior rezoning requests for property? n/a if yes, please provide rezoning case #: ZA _____

*****Please refer to Dawson County's Georgia 400 Corridor Guidelines and Maps to answer the following:**

Does the plan lie within the Georgia 400 Corridor? no (yes/no)

If yes, what section? North N/A South N/A

SURROUNDING PROPERTY ZONING CLASSIFICATION:

North RA South RA East RA West RSR, RA, C-CB, C-HB

Future Land Use Map Designation: Light Industrial & Mixed Use Village

Access to the development will be provided from:

Road Name: Dawson Forest Rd Type of Surface: 24' Asphalt

REQUESTED ACTION & DETAILS OF PROPOSED USE

Rezoning to: RS-3 (Conservation) [] Special Use Permit for: _____

Proposed Use: _____

Existing Utilities: Water [] Sewer Gas Electric

Proposed Utilities: [] Water Sewer [] Gas [] Electric

RESIDENTIAL

No. of Lots: 379 Minimum Lot Size: 6,000 SF (acres) No. of Units: N/A

Minimum Heated Floor Area: _____ sq. ft. Density/Acre: 2.36

Type: [] Apartments [] Condominiums [] Townhomes Single-family [] Other

Is an Amenity Area proposed: _____; if yes, what? _____

COMMERCIAL & INDUSTRIAL

Building area: N/A No. of Parking Spaces: N/A

21 SEP 10 10:04 AM

ZA _____

TMP#: _____

List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and mailing address of anyone who has property touching your property or who has property directly across the street from your property.

****Please note this information should be obtained using the Tax Map & Parcel (TMP) listing for any parcel(s) adjoining or adjacent to the parcel where a variance or rezone is being requested.**

Name

Address

	<u>Name</u>	<u>Address</u>
TMP <u>098 005</u>	1. <u>Herr, Robert R & Mary E</u>	<u>6175 Highway 9 S</u>
TMP <u>098 013 001</u>	2. <u>Jai Ze & Wukuan Jia & Ziue Yan</u>	<u>6980 Alan Thomas Road</u>
TMP <u>098 013 002</u>	3. <u>Jai Ze & Wukuan Jia & Ziue Yan</u>	<u>7040 Alan Thomas Road</u>
TMP <u>098 014</u>	4. <u>Yarbrough, Kevin</u>	<u>6750 Hannah Drive</u>
TMP <u>098 018</u>	5. <u>Harper, Jason T & Jamie W</u>	<u>Grace Drive</u>
TMP <u>098 026</u>	6. <u>Garrett, Larry J & Margie</u>	<u>734 Goodson Road</u>
TMP <u>098 060 001</u>	7. <u>Goodson, Aimee</u>	
TMP <u>098 060</u>	8. <u>Gomes, Leonard Cornell & Rebecca</u>	<u>434 Goodson Road</u>
TMP <u>098 016</u>	9. <u>Rogers, William Z & Mary J</u>	<u>312 Dawson Forest Road, E</u>
TMP _____	10. _____	
TMP _____	11. _____	
TMP _____	12. _____	
TMP _____	13. _____	
TMP _____	14. _____	
TMP _____	15. _____	

Use additional sheets if necessary.

2025

APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and the Board of Commissioners to make an informed determination on my request. I will seek the advice of an attorney if I am not familiar with the zoning and land use requirements.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioner hearings and that I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my rezoning of special use application. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

Signature _____

Date 8/27/2021

Witness _____

Date 8-27-2021

WITHDRAWAL

Notice: *This section only to be completed if application is being withdrawn.*

I hereby withdraw application # _____

Signature _____

Date _____

Withdrawal of Application:

Withdrawals of any application may be accommodated within the Planning & Development Department if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following the written request and publication the Planning Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Planning Commission. Further, the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal. Please note that no refund of application fees may be made unless directed by the Board of Commissioners.

21 SEP 10 10:04 AM

NOTICE OF RESIDENTIAL EXURBAN/AGRICULTURAL DISTRICT (R-A) ADJACENCY

Agricultural districts include uses of land primarily for active farming activities and result in odors, noise, dust and other effects, which may not be compatible with adjacent development. Future abutting developers in non RA land use districts shall be provided with this "Notice of RA Adjacency" prior to administrative action on either the land use district or the issuance of a building or occupancy permit.

Prior to administrative action the applicant shall be required to sign this waiver which indicates that the applicant understands that a use is ongoing adjacent to his use which will produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent RA use, the applicant agrees by executing this form to waive any objection to those effects and understands that his district change and/or his permits are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the RA district constitute a nuisance) against local governments and adjoining landowners whose property is located in an RA district.

This notice and acknowledgement shall be public record.

Applicant Signature: 


Applicant Printed Name: Jim King

Application Number: _____

Date Signed: 27 August 2021

Sworn and subscribed before me

this 27 day of August, 2021.


Notary Public

My Commission Expires: 6/18/2022



21 SEP 10 10:04 AM

Dawson County, Georgia Board of Commissioners

Affidavit for Issuance of a Public Benefit

As Required by the Georgia Illegal Immigration Reform and Enforcement Act of 2011

By executing this affidavit under oath, as an applicant for a Dawson County Business License, Out of County Business Registration, Alcohol License, or other public benefit as referenced in the Georgia Illegal Immigration Reform and Enforcement Act of 2011 [O.C.G.A. § 50-36-1(e)(2)], I am stating the following with respect to my application for such Dawson County public benefit.

I am a United States citizen.

I am a legal permanent resident of the United States. (FOR NON-CITIZENS)

I am a qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency. (FOR NON-CITIZENS)

My alien number issued by the Department of Homeland Security or other federal immigration agency is:

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. (See reverse side of this affidavit for a list of secure and verifiable documents.)

The secure and verifiable document provided with this affidavit can best be classified as:

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Executed in _____ (city), _____ (state)

Jim King
Signature of Applicant

27 AUGUST 2021
Date

Jim King
Printed Name

Name of Business

SUBSCRIBED AND SWORN BEFORE ME ON

THIS 27th DAY OF August, 2021

Alaina S. Wells Notary Public

My Commission Expires: 6/18/2022



21 SEP 10 10:04 AM

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(APPLICANT(S) AND REPRESENTATIVE(S) OF REZONING)

Pursuant to O.C.G.A. Section 36-67 A-3.A, the following disclosure is mandatory when an applicant or any representation of application for rezoning has been made within two (2) years immediately preceding the filing of the applicant's request for rezoning, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application for rezoning.

It shall be the duty of the applicant and the attorney representing the applicant to file a disclosure with the governing authority of the respective local government showing the following:

1. Name of local official to whom campaign contribution was made:

2. The dollar amount and description of each campaign contribution made by the opponent to the local government official during the two (2) years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.

Amount \$ _____ Date: _____

Enumeration and description of each gift when the total value of all gifts is \$250.00 or more made to the local government official during the two (2) years immediately preceding the filing of application for rezoning:

Signature of Applicant/Representative of Applicant:

_____ Date: _____

**BY NOT COMPLETING THIS FORM YOU ARE MAKING A STATEMENT THAT NO
DISCLOSURE IS REQUIRED**

This form may be copied for each applicant. Please attach additional sheets if needed.

21 SEP 10 10:54 AM

DRI INFORMATION

IF YOUR DEVELOPMENT FALLS WITHIN ANY OF THE FOLLOWING THRESHOLDS,
PLEASE ASK PLANNING STAFF FOR DRI REVIEW CHECKLISTS.

**Table 1: Developments of Regional Impact - Tiers and Development Thresholds
Effective January 1, 2005**

Type of Development	Non-metropolitan Regions (Dawson County status eff. 1/2005)
(1) Office	Greater than 125,000 gross square feet
(2) Commercial	Greater than 175,000 gross square feet
(3) Wholesale & Distribution	Greater than 175,000 gross square feet
(4) Hospitals and Health Care Facilities	Greater than 200 new beds; or generating more than 250 peak hour vehicle trips per day
(5) Housing	Greater than 125 new lots or units
(6) Industrial	Greater than 175,000 gross square feet; or employing more than 500 workers; or covering more than 125 acres
(7) Hotels	Greater than 250 rooms
(8) Mixed Use	Gross square feet greater than 125,000 (with residential units calculated at 1800 square feet per unit toward the total gross square footage); or covering more than 40 acres; or if any of the individual uses meets or exceeds a threshold as identified herein
(9) Airports	Any new airport with a paved runway; or runway additions of more than 25% of existing runway length
(10) Attractions & Recreational Facilities	Greater than 1,500 parking spaces or a seating capacity of more than 6,000
(11) Post-Secondary School	New school with a capacity of more than 750 students, or expansion by at least 25 percent of capacity
(12) Waste Handling Facilities	New facility or expansion of use of an existing facility by 50 percent or more
(13) Quarries, Asphalt & Cement Plants	New facility or expansion of existing facility by more than 50 percent
(14) Wastewater Treatment Facilities	New facility or expansion of existing facility by more than 50 percent
(15) Petroleum Storage Facilities	Storage greater than 50,000 barrels if within 1,000 feet of any water supply; otherwise, storage capacity greater than 200,000 barrels
(16) Water Supply Intakes/Reservoirs	New Facilities
(17) Intermodal Terminals	New Facilities
(18) Truck Stops	A new facility with more than three diesel fuel pumps; or containing a half acre of truck parking or 10 truck parking spaces.
(19) Any other development types not identified above (includes parking facilities)	1000 parking spaces

21 SEP 10 10:24 AM

APPLICATION PROCESSING: STAFF USE ONLY

ZA _____ **Applicant Name:** _____

Application Fee: \$ _____

IF APPLICABLE:

- Legal Advertisement Submitted to Newspaper Date: _____
- Planning Commission & Board of Commissioners Packets Delivered Date: _____
- Application Posted on County Website Date: _____
- Adjacent Property Owner Notices Mailed Date: _____
- Interdepartmental Forms Submitted for Review Date: _____
- Department of Transportation Notified Date: _____
- Georgia Mountains Notified (DRI) Date: _____
- Public Notice Signs on Property Verified Date: _____
- Approval or Denial Form placed in folder Date: _____
- Applicant Notified of Final Action Date: _____
- Approval or Denial Form to Office Manager/Building Official/Marshal Date: _____
- Rezoning Change Form to Director Date: _____
- Zoning Map Amended Date: _____
- Change Zoning in EnerGov by Parcel Date: _____
- Planning Commission Meeting Minutes placed in folder Date: _____
- Board of Commission Meeting Minutes placed in folder Date: _____

Planning Commission & Board of Commissioners Actions

PC Recommendation Date: _____

Approval Approval w/stipulations Denial

BOC Decision Date: _____

Approval Approval w/stipulations Denial

Secure and Verifiable Documents Under O.C.G.A. § 50-36-2

The following list of secure and verifiable documents, published under the authority of O.C.G.A. § 50-36-2, contains documents that are verifiable for identification purposes, and documents on this list may not necessarily be indicative of residency or immigration status.

- A **United States Passport or Passport Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Military Identification card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Driver's License** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Identification Card** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Tribal Identification Card** of a federally recognized Native American tribe, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer. A listing of federally recognized Native American tribes may be found at:
<http://www.bia.gov/WhoWeAre/BIA/OIS/TribalGovernmentServices/TribalDirectory/index.htm>
[O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Permanent Resident Card or Alien Registration Receipt Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Employment Authorization Document** that contains a photograph of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Passport Issued by a Foreign Government** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Merchant Mariner Document or Merchant Mariner Credential** issued by the United States Coast Guard [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Free and Secure Trade (FAST) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **NEXUS Card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Secure Electronic Network for Travelers Rapid Inspection (SENTRI) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Driver's License issued by a Canadian Government Authority** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Certificate of Citizenship** issued by the United States Department of Citizenship and Immigration Services (USCIS) (Form N-560 or Form N-561) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]
- A **Certificate of Naturalization** issued by the United States Department of Citizenship and Immigration Services (USCIS) (Form N-550 or Form N-570) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]



PROPERTY OWNER AUTHORIZATION

Sarah H. Warren f.k.a. Sarah M. Hawkins, in her capacity as I/we, Trustee of The Sarah Hawkins Trust No. 6, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #): an undivided interest in

Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Sarah H. Warren, as Trustee

Signature of Owner(s): [Signature] Date: 9-2-21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed Unlisted

Sworn and subscribed before me this 2nd day of September, 2021.

[Signature]
Notary Public

My Commission Expires: _____



Forsyth County, Georgia
Notary Public
Jill J. Mathis

{Notary Seal}

My Commission Expires 1/1/22

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 05 AM

PROPERTY OWNER AUTHORIZATION

Carter M. Hawkins, in his capacity as Trustee of The Carter I/we, Hawkins Trust No. 6, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #): an undivided interest in

Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Carter M. Hawkins, as Trustee

Signature of Owner(s): Carter M. Hawkins Date: 9/2/21

Mailing address: _____

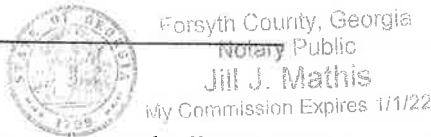
City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 2nd day of September, 2021.

Jill J. Mathis
Notary Public

My Commission Expires: _____ Forsyth County, Georgia {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

RECORDED

One-third undivided interest owned by LeBlanc Family Partners LLLP:

General Partner: LeBlanc Family GP LLC

Limited Partners: Van M. LeBlanc
Christopher B. LeBlanc
Sydney L. Carter
Kathleen James LeBlanc
Thomas M. LeBlanc

21 SEP 10 10:05 AM

PROPERTY OWNER AUTHORIZATION

LeBlanc Family Partners LLLP, a Georgia limited liability limited partnership
I/we, _____, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #):
an undivided interest in
Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

LeBlanc Family Partners LLLP (signed by Timothy P. LeBlanc, Manager of LeBlanc Family GP LLC, its General Partner)
Printed Name of Owner(s): LeBlanc, Manager of LeBlanc Family GP LLC, its General Partner

Signature of Owner(s): Timothy P LeBlanc Date: 08/03/21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me
this 2nd day of September, 2021.

Jill Mathis
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

SEP 10 2021

PROPERTY OWNER AUTHORIZATION

I/we, LeBlanc Family GP LLC, a Georgia limited liability company hereby swear that I/we own the ~~property located at (Full address and contact information)~~ all of the general partnership interests in LeBlanc Family Partners LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): LeBlanc Family GP LLC (by Timothy P. LeBlanc, Manager)

Signature of Owner(s): Timothy P. LeBlanc Date: 08/03/21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 26th day of September, 2021.

Jill J. Mathis
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:05 AM

PROPERTY OWNER AUTHORIZATION

I/we, Van M. LeBlanc, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #)~~
limited partnership interests in LeBlanc Family Partners LLLP,
which is the owner of an undivided interest in Dawson County
Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Van M. LeBlanc

Signature of Owner(s): Van M. LeBlanc Date: 9/3/21

Mailing address: _____

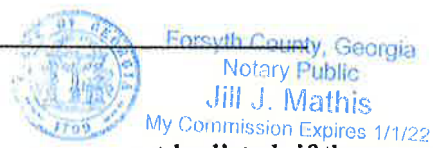
City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 26 day of September, 20 21.

Jill Mathis
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

DAWSON COUNTY

PROPERTY OWNER AUTHORIZATION

I/we, Christopher B. LeBlanc, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #)~~ limited partnership interests in LeBlanc Family Partners LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Christopher B. LeBlanc

Signature of Owner(s): [Signature] Date: 9/2/21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 3rd day of September, 2021.

[Signature]
Notary Public

My Commission Expires: [Seal] Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

SEE SEAM

PROPERTY OWNER AUTHORIZATION

I/we, Sydney L. Carter, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #)~~ limited partnership interests in LeBlanc Family Partners LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Sydney L. Carter

Signature of Owner(s): Sydney L. Carter Date: 9/2/21

Mailing address: _____

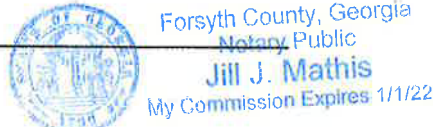
City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 3rd day of September, 2021.

Jill Mathis
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

SEE INSIDE

PROPERTY OWNER AUTHORIZATION

I/we, Kathleen James LeBlanc, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #)~~ limited partnership interests in LeBlanc Family Partners LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Kathleen James LeBlanc

Signature of Owner(s): Kathleen James LeBlanc Date: 9/2/2021

Mailing address: _____

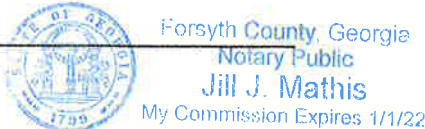
City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 3rd day of September, 2021.

Jill J Mathis
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:05 AM

PROPERTY OWNER AUTHORIZATION

I/we, Thomas M. LeBlanc, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel ID)~~ **limited partnership interests in LeBlanc Family Partners LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015**

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Thomas M. LeBlanc

Signature of Owner(s): [Signature] Date: 9-3-21

Mailing address: _____

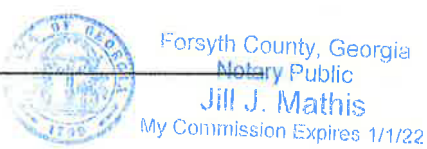
City, State, Zip: _____

Telephone Number: Listed Unlisted

Sworn and subscribed before me this 3rd day of September, 2021.

[Signature]
Notary Public

My Commission Expires: _____ {Notary Seal}



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

99

One-third undivided interest owned by Pilgrim Mill Family Limited Partnership, LLLP:

General Partner: JMH Investments GP LLC

Limited Partners: John P. McGruder

Mary Helen McGruder

Paul J. McGruder, as Trustee of The Paul McGruder Trust

Louisa M. Ritsick, as Trustee of The Louisa Ritsick Trust

21 SEP 10 10:06 AM

PROPERTY OWNER AUTHORIZATION

JMH Investments GP LLC, a Georgia limited liability

I/we, company, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #):~~

all of the general partnership interests in Pilgrim Mill Family Limited Partnership, LLLP, which owns an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): JMH Investments GP LLC (by Paul J. McGruder, a Manager)

Signature of Owner(s): [Signature] Date: 9/7/21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____ Unlisted _____

Sworn and subscribed before me this 7th day of September, 20 21.

[Signature]
Notary Public

My Commission Expires: _____ {Notary Seal}



Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:06 AM

PROPERTY OWNER AUTHORIZATION

I/we, John P. McGruder, hereby swear that I/we own ~~the property located at (fill in address and/or tax map & parcel #):~~
limited partnership interests in Pilgrim Mill Family Limited Partnership, LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): John P. McGruder

Signature of Owner(s): John P. McGruder Date: 9-1-2021

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
 Unlisted _____

Sworn and subscribed before me this 1st day of September, 2021.

Jim Mathis
Notary Public



Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22

My Commission Expires: _____ {Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

11090688

Rezoning Letter of Intent

Dawson Forest Road | Conservation Subdivision | August 2021

The applicant, JimKing requests the Rezoning of Parcel Numbers: 098 015, 098 016 001, and 098 016 001 from R-A to RS-3 in order to build a Residential Community on 160.63 acres bordered on the North by Dawson Forest Road, the West by State Route 9, the East by Goodson Rd. and on the south by single family residences. The site is proposed to be developed as a Conservation Subdivision, preserving nearly 50% of the Site as undeveloped Open Space. A large buffer area from 50' to 300' is being preserved along both State Hwy 9 and Dawson Forest Road and a minimum of 50' buffer preserved along Goodson Road. A total of 80 acres will be set aside for Conservation or dedicated to Dawson County for a Park. If it is designated for Conservation, protective covenants will be recorded to insure that it will never be developed.

The Property is designated for Light Industrial and Mixed-Use Village on the Future Land Use Plan. All of the property to the north and west and a portion of that bordering the south are designated as Mixed-Use Village on the Future Land Use Plan. Mixed-Use Village carries a maximum density of 2.8 homes per acre and we are proposing only 2.36. The ordinance requires 40% Open Space and we are providing 50%. The proposed development is in harmony with the Future Land Use Plan as well as the existing and/or currently developing neighborhoods in the surrounding area.

The proposed development is within walking distance of both Riverview Elementary and Middle Schools which will greatly reduce the traffic impact that is typically associated with similar residential developments, making this an ideal location. The development borders State Hwy 9 which will serve this development and therefore keep traffic off of secondary and minor County roads.

2020 Property Tax Statement

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534

Bill Number	Due Date	CURRENT YEAR DUE
5893	12/1/2020	\$0.00

Payment Good Through:

Map: 098 016 001

Last payment made on: 10/22/2020

Location: 326 GOODSON RD

GREEN WILLIAM P & JUNE M

Dear Taxpayer,
 This is your current year Ad Valorem Property Tax Statement. This bill must be paid in full by December 1st in order to avoid interest and penalty charges. If payment is made after the due date, please call the office for the current amount due. State law requires all bills be mailed to the owner of record as of January 1st of the tax year. If you have sold this property, please forward this bill to the NEW OWNER and notify our office.

Thank you for the privilege to serve as your Tax Commissioner.
 Nicole Stewart

RETURN THIS FORM WITH PAYMENT

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534



Scan this code with your mobile phone to view or pay this bill

Tax Payer: GREEN WILLIAM P & JUNE M
 Map Code: 098 016 001
 Description: LL 421 LD 13-1 S
 Location: 326 GOODSON RD
 Bill Number: 5893
 District: 1

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good Through	Exemptions
\$190,290.00	\$114,800.00	5	305090	12/1/2020	10/22/2020		X14 X14

TAXING ENTITY	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	305090	122036	2000	120036	0	0	0	0
COUNTY M&O	305090	122036	67000	55036	12.377	681.18	0	433.96
SALES TAX ROLLBACK	0	0	0	55036	-4.492	0	-247.22	0
SCHOOL M&O	305090	122036	67000	55036	15.778	868.36	0	868.36
TOTALS					23.663	1,549.54	-247.22	1,302.32

You can pay your bill in person, by mail, online at www.dawsoncountytax.com, or at the drop box in front of the courthouse at the crosswalk. If postmarked after December 1st, interest at a rate prescribed by law will be added monthly. An additional penalty as prescribed by law will be added every 120 days. If the bill is marked appealed, then this is only 85% of the total bill pending.

NO PAYMENT CONTRACTS WILL BE ALLOWED.

Current Due:	\$1,302.32
Penalty:	\$0.00
Interest:	\$0.00
Other Fees:	\$0.00
Back Taxes:	\$0.00
Amount Paid:	\$1,302.32
TOTAL DUE:	\$0.00

30534



Overview

Legend

 Parcels

Parcel ID: 098 016 001
Alt ID: 9626
Owner: GREEN WILLIAM P & JUNE M
Acres: 5
Assessed Value: \$300490

Date created: 8/12/2021
Last Data Uploaded: 8/12/2021 2:10:57 AM

Developed by  Schneider
GEOSPATIAL

21 SEP 10 10:07 AM

2020 Property Tax Statement

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534

Bill Number	Due Date	CURRENT YEAR DUE
15496		\$0.00

Payment Good Through:

Map: 098 016 002

Last payment made on:

Location: 174 GOODSON RD

YEARWOOD PATRICIA

Dear Taxpayer,

This is your current year Ad Valorem Property Tax Statement. This bill must be paid in full by December 1st in order to avoid interest and penalty charges. If payment is made after the due date, please call the office for the current amount due. State law requires all bills be mailed to the owner of record as of January 1st of the tax year. If you have sold this property, please forward this bill to the NEW OWNER and notify our office.

Thank you for the privilege to serve as your Tax Commissioner.
 Nicole Stewart

RETURN THIS FORM WITH PAYMENT

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534



Scan this code with your mobile phone to view or pay this bill

Tax Payer: YEARWOOD PATRICIA
 Map Code: 098 016 002
 Description: LL 421 LD 13-S
 Location: 174 GOODSON RD
 Bill Number: 15496
 District: 1

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good Through	Exemptions
\$53,320.00	\$74,300.00	3.18	127620		8/18/2020		X14 X14

TAXING ENTITY	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	127620	51048	2000	49048	0	0	0	0
COUNTY M&O	127620	51048	51048	0	12.377	0	0	0
SALES TAX ROLLBACK	127620	51048	51048	0	4.492	0	0	0
SCHOOL M&O	127620	51048	51048	0	15.778	0	0	0
TOTALS					32.647			

You can pay your bill in person, by mail, online at www.dawsoncountytax.com, or at the drop box in front of the courthouse at the crosswalk. If postmarked after December 1st, interest at a rate prescribed by law will be added monthly. An additional penalty as prescribed by law will be added every 120 days. If the bill is marked appealed, then this is only 85% of the total bill pending.

NO PAYMENT CONTRACTS WILL BE ALLOWED.

Current Due:	\$0.00
Penalty:	\$0.00
Interest:	\$0.00
Other Fees:	\$0.00
Back Taxes:	\$0.00
Amount Paid:	\$0.00
TOTAL DUE:	\$0.00

2020



Overview



Legend

 Parcels

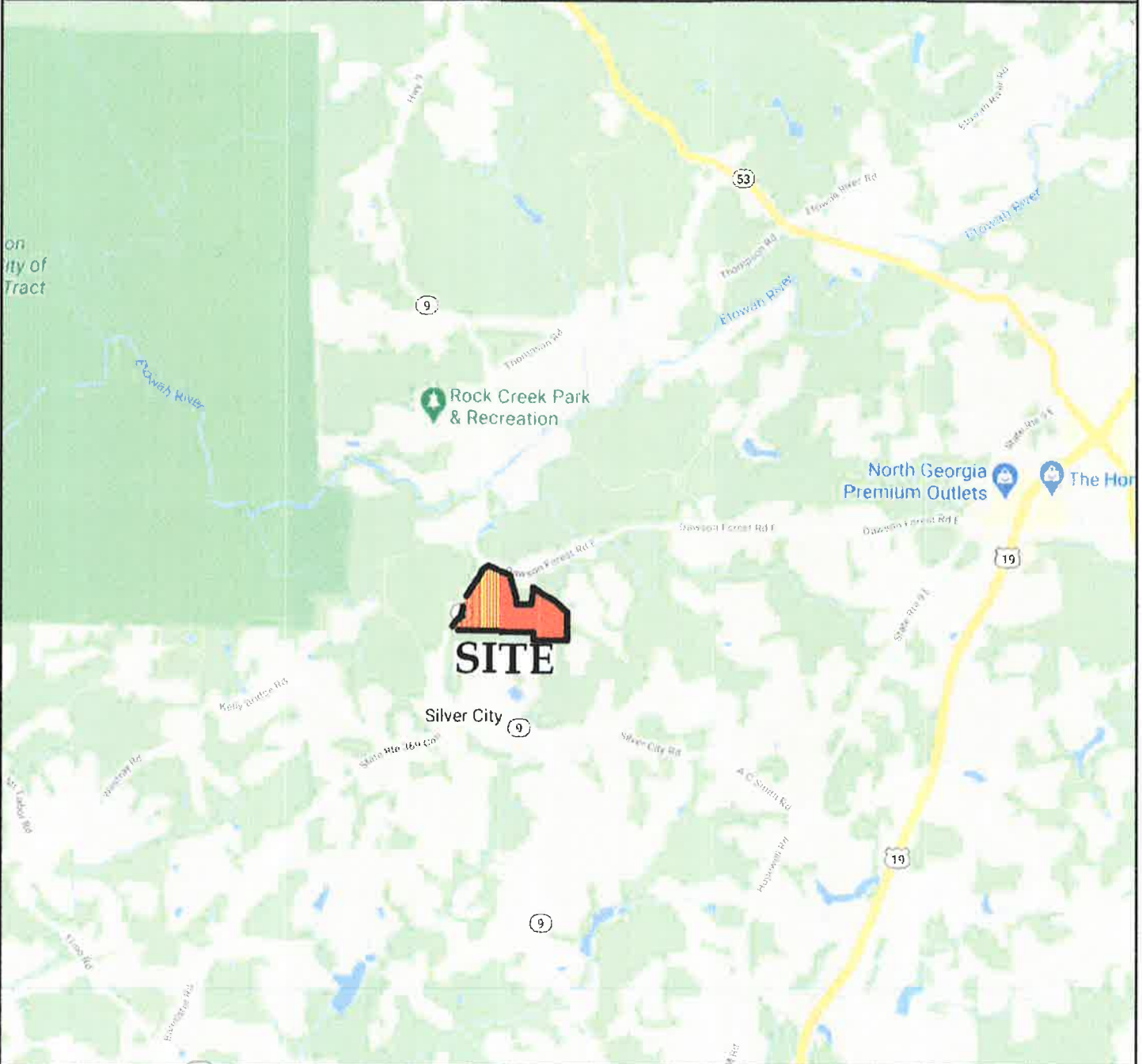
Parcel ID: 098 016 002
Alt ID: 9627
Owner: YEARWOOD PATRICIA
Acres: 3.18
Assessed Value: \$121320

Date created: 8/12/2021
Last Data Uploaded: 8/12/2021 2:10:57 AM

Developed by  Schneider
GEOSPATIAL

21 SEP 10 10:07 AM

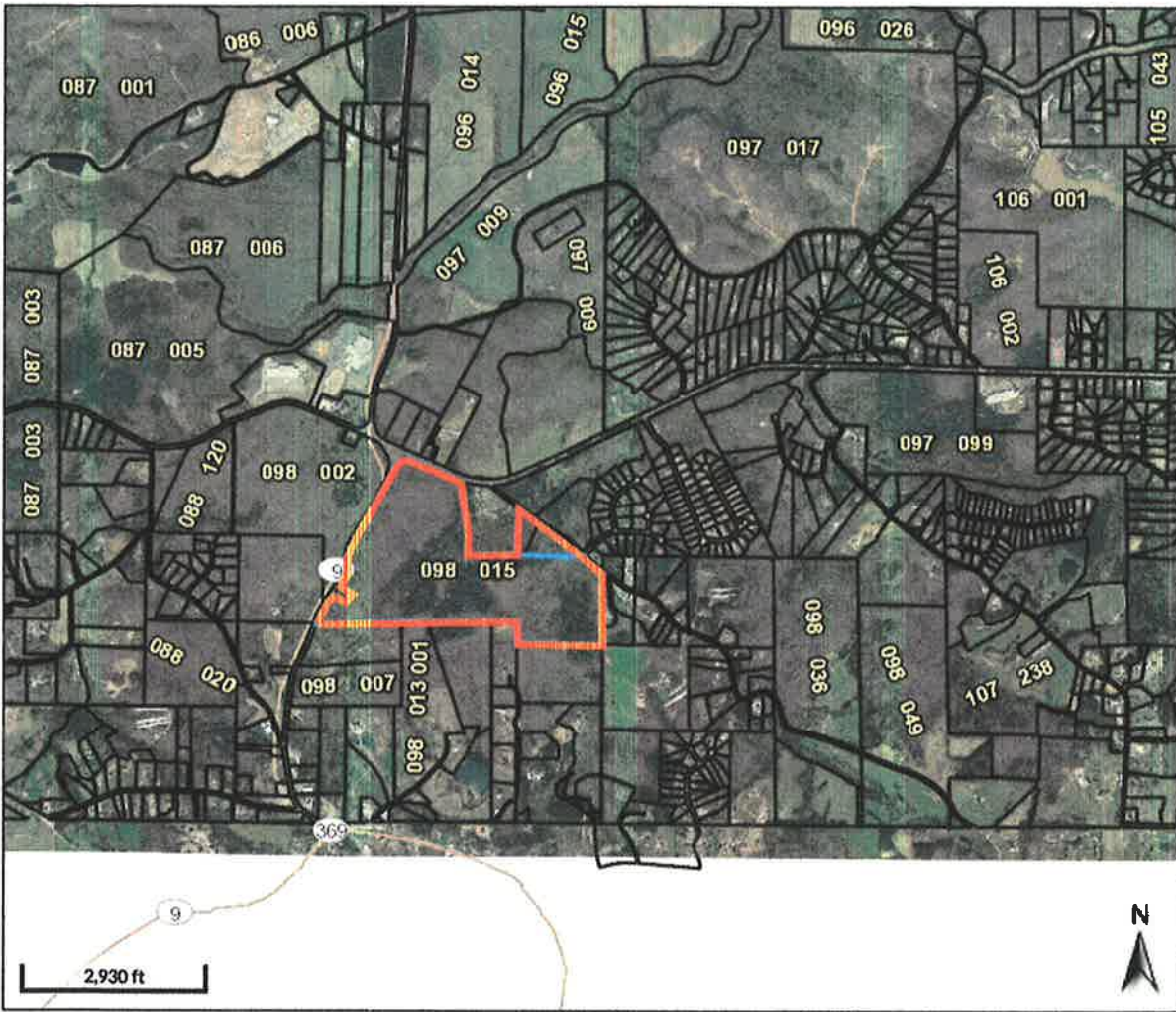
SITE LOCATION MAP



MAP DATE: GOOGLE © 2020

N.T.S.

21SEP19 10:07AM



Overview



Legend

□ Parcels

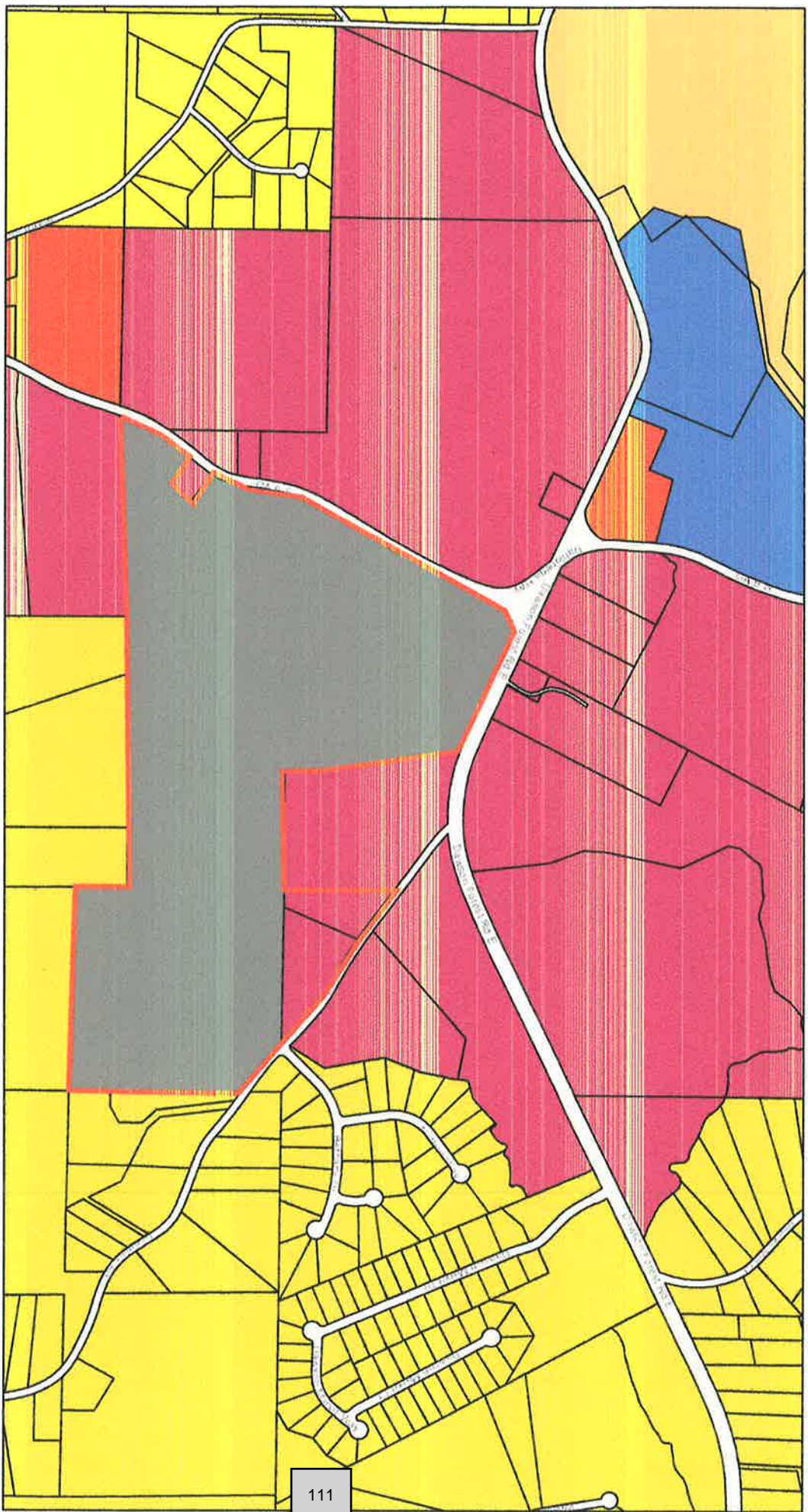
Parcel ID: 098 015
 Alt ID: 6898
 Owner: LeBLANC FAMILY PARTNERS LLLP ETAL
 Acres: 159.7
 Assessed Value: \$1005200

Date created: 8/23/2021
 Last Data Uploaded: 8/21/2021 1:23:27 AM

Developed by Schneider
 GEOSPATIAL

21 SEP 10 10:07 AM

Future Land Use Map



August 23, 2021

Parcels	SRR	CHB	MUV
FLU	SR	LI	
PRC	RR	PI	

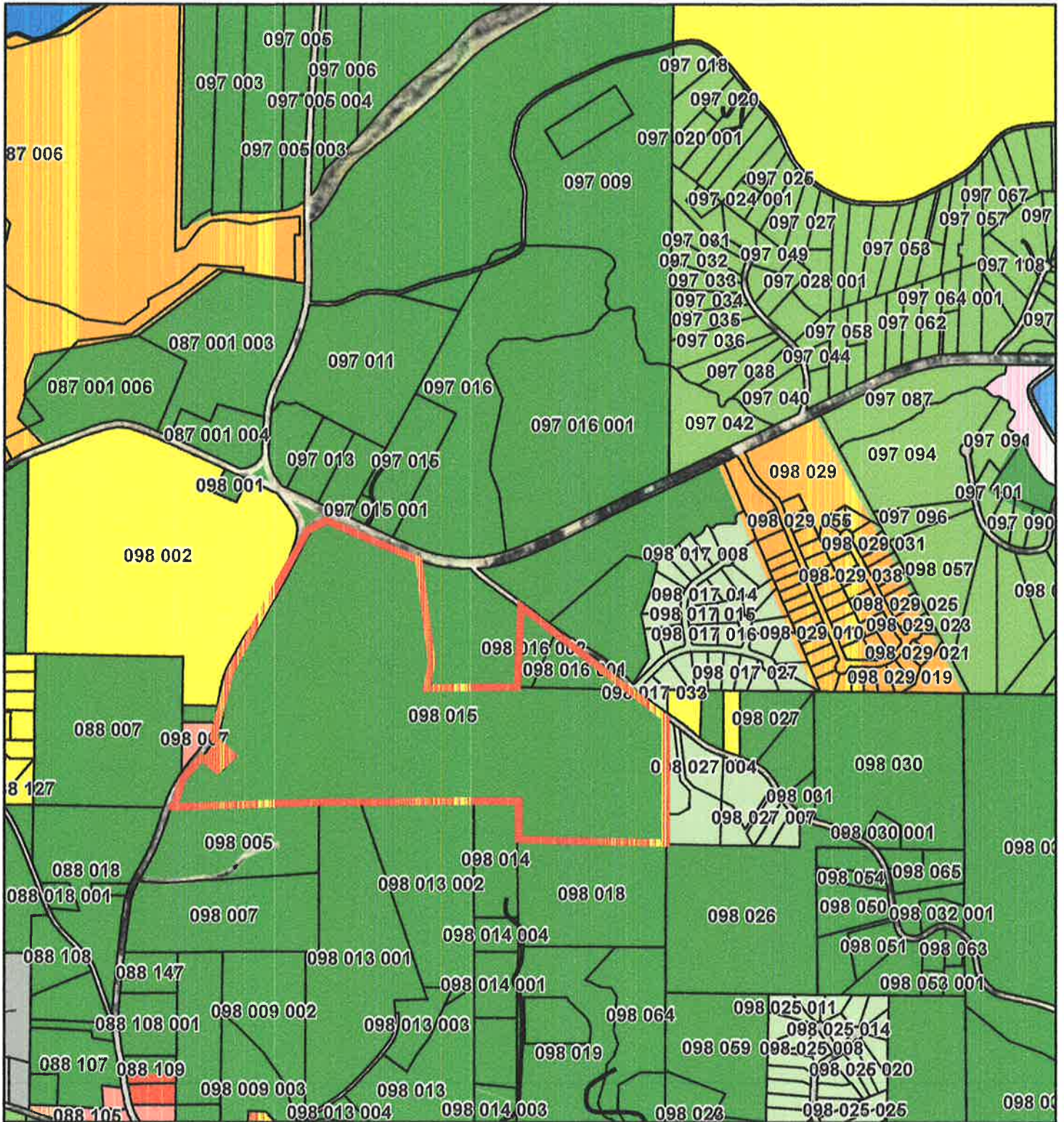
1:9,028

0 0.07 0.15 0.3 0.3mi

21 SEP 10 10 07 AM

Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA
EPA, USDA

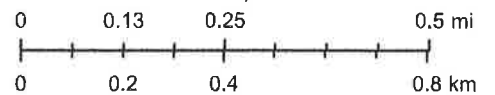
Dawson County



8/23/2021, 8:24:13 AM

1:18,056

- | | |
|--------------------------|------|
| Energov Layers - Parcels | RPC |
| Energov Layers - Zoning | C-CB |
| RA | C-IR |
| RSR | RS |
| C-HB | C-OI |
| RSRMM | C-RB |
| | RS3 |



EagleView, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA, EPA, USDA

DAWSON COUNTY VARIANCE APPLICATION

****This portion to be completed by Zoning Administrator****

VR 2-18 Tax Map & Parcel # (TMP): _____
Current Zoning: RA Commission District #: _____
Submittal Date: _____ Time: _____ am/pm Received by: _____ (staff initials)
Fees Assessed: _____ Paid: _____
Planning Commission Meeting Date: Oct. 2011

APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Jim King
Address: _____
Phone: Listed Unlisted Email: Business Personal
Status: [] Owner Authorized Agent [] Lessee [] Option to purchase

Notice: If applicant is other than owner, enclosed Property Owner Authorization form must be completed.

I have /have not _____ participated in a Pre-application meeting with Planning Staff.
If not, I agree _____ /disagree _____ to schedule a meeting the week following the submittal deadline.
Meeting Date: _____ Applicant Signature: _____

PROPERTY INFORMATION

Street Address of Property: Tract 1 - Parcel 098 015, n/f LeBLANC FAMILY PARTNERS LLLP ETAL
Tract 2 - Parcel 098 016 001, n/f William P & June M Green
Tract 3 - Parcel 098 016 002, n/f Patricia Yearwood
Land Lot(s): 38, 39, 421, 486 District: 4th & 13th S Section: 1st
Subdivision/Lot: 1121, 1122, 1123, 1124 Building Permit #: N/A (if applicable)
proposed subdivision

SEP 10 10:03 AM

Directions to the Property: _____

Tract is on the right. Take right on Goodson Rd., additional portions of the tract is on the right past the first residence at the corner

REQUESTED ACTION

A Variance is requested from the requirements of Article # X Section # 1003.D of the Land Use Resolution/Sign Ordinance/Subdivision Regulations/Other (circle one).

If other, please describe: _____

Type of Variance requested:

- Front Yard Side Yard Rear Yard variance of _____ feet to allow the structure to:
- be constructed; remain a distance of _____ feet from the: _____
- property line, road right of way, or other (explain below):
Minimum lot width from 60' to 50'. Proposed minimum lot size to remain at 6,000 sf.

instead of the required distance of _____ required by the regulations.

- Lot Size Request for a reduction in the minimum lot size from _____ to _____
- Sign Variance for: _____
- Home Occupation Variance to operate: _____ business
- Other (explain request): _____

If there are other variance requests for this site in past, please list case # and nature of variance: _____

Variances to standards and requirements of the Regulations, with respect to open area, setbacks, yard area, lot coverage, height, and other quantitative requirements may be granted if, on the basis of the application, investigation, and other evidence submitted by the applicant, all four (4) expressly written findings below are made:

1. Describe why a strict and literal enforcement of the standards would result in a practical difficulty or unnecessary hardship: Today's market is dominated by homeowners that do not want a large yard to maintain. Reducing the lot width reduces the yard and maintenance. Correspondingly, by reducing the lot/yard size we are increasing the Community Open Space which provides large forested areas that everyone can enjoy. It also reduces land disturbance and saves trees and other important vegetation. The proposed development does not increase density, it only compacts it to allow for large expanses of usable undisturbed Green Space.

2. Describe the exceptional and extraordinary conditions applicable to this property which do not apply to other properties in the same district: This property has frontage on 2 very Public Roads. By reducing the lot size and putting the balance in Open Space, we are able to provide large buffers for the daily traveler to enjoy. Using the Standard Lot Size, all of this land would be cleared, graded and included in the individual lots.

3. Describe why granting a variance would not be detrimental to the public health, safety, morals or welfare and not be materially injurious to properties in the near vicinity: _____

It does not increase density, only channels the additional area into undisturbed Community Open

4. Describe why granting this variance would support the general objectives within this Resolution: _____

It does not increase density, only channels the additional area into undisturbed Community Open Space.

Submit clear explanation of all four questions above. You may add sheets if necessary.

(Variances should not be granted if the need arises as a result of action by the applicant or previous owner.)

Today's market is dominated by homeowners that do not want a large yard to maintain. Reducing the lot width reduces the yard and maintenance. Correspondingly, by reducing the lot/yard size we are increasing the Community Open Space which provides large forested areas that everyone can enjoy. It also reduces land disturbance and saves trees and other important vegetation. The proposed development does not increase density, it only compacts it to allow for large expanses of usable undisturbed Green Space.

21 SEP 19 10:03 AM

VR# _____

TMP# _____

List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and address of anyone who has property touching your property or who has property directly across the street from your property.

****Please note this information should be obtained using the Tax Map and Parcel Number listing any parcel(s) adjoining or adjacent to parcel where variance or rezone is being requested.**

Name

Address

TMP <u>098 005</u>	1. <u>Herr, Robert R & Mary E</u>	<u>6175 Highway 9 S</u>
TMP <u>098 013 001</u>	2. <u>Jai Ze & Wukuan Jia & Ziue Yan</u>	<u>6980 Alan Thomas Road</u>
TMP <u>098 013 002</u>	3. <u>Jai Ze & Wukuan Jia & Ziue Yan</u>	<u>7040 Alan Thomas Road</u>
TMP <u>098 014</u>	4. <u>Yarbrough, Kevin</u>	<u>6750 Hannah Drive</u>
TMP <u>098 018</u>	5. <u>Harper, Jason T & Jamie W</u>	<u>Grace Drive</u>
TMP <u>098 026</u>	6. <u>Garrett, Larry J & Margie</u>	<u>734 Goodson Road</u>
TMP <u>098 060 001</u>	7. <u>Goodson, Aimee</u>	
TMP <u>098 060</u>	8. <u>Gomes, Leonard Cornell & Rebecca</u>	<u>434 Goodson Road</u>
TMP <u>098 016</u>	9. <u>Rogers, William Z & Mary J</u>	<u>312 Dawson Forest Road, E</u>
TMP _____	10. _____	
TMP _____	11. _____	
TMP _____	12. _____	
TMP _____	13. _____	
TMP _____	14. _____	
TMP _____	15. _____	

Use additional sheets if necessary.

21 SEP 10 10:00 AM

APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and the Board of Commissioners to make an informed determination on my request. I will seek the advice of an attorney if I am not familiar with the zoning and land use requirements.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioner hearings and that I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my rezoning of special use application. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

Signature _____

Date 8/27/2021

Witness Alexandra Smith

Date 8-27-2021

WITHDRAWAL

Notice: This section only to be completed if application is being withdrawn.

I hereby withdraw application # _____

Signature _____

Date _____

Withdrawal of Application:

Withdrawals of any application may be accommodated within the Planning & Development Department if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following the written request and publication the Planning Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Planning Commission. Further, the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal. Please note that no refund of application fees may be made unless directed by the Board of Commissioners.

21 SEP 15 09:08 AM

NOTICE OF RESIDENTIAL EXURBAN/AGRICULTURAL DISTRICT (R-A) ADJACENCY

Agricultural districts include uses of land primarily for active farming activities and result in odors, noise, dust and other effects, which may not be compatible with adjacent development. Future abutting developers in non RA land use districts shall be provided with this "Notice of RA Adjacency" prior to administrative action on either the land use district or the issuance of a building or occupancy permit.

Prior to administrative action the applicant shall be required to sign this waiver which indicates that the applicant understands that a use is ongoing adjacent to his use which will produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent RA use, the applicant agrees by executing this form to waive any objection to those effects and understands that his district change and/or his permits are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the RA district constitute a nuisance) against local governments and adjoining landowners whose property is located in an RA district.

This notice and acknowledgement shall be public record.

Applicant Signature: 


Applicant Printed Name: Jim King

Application Number: _____

Date Signed: 27 AUGUST 2021

Sworn and subscribed before me

this 27 day of August, 2021.


Notary Public

My Commission Expires: 6/8/2022



21 SEP 10 10:00 AM

Dawson County, Georgia Board of Commissioners
Affidavit for Issuance of a Public Benefit
As Required by the Georgia Illegal Immigration Reform and Enforcement Act of 2011

By executing this affidavit under oath, as an applicant for a Dawson County Business License, Out of County Business Registration, Alcohol License, or other public benefit as referenced in the Georgia Illegal Immigration Reform and Enforcement Act of 2011 [O.C.G.A. § 50-36-1(e)(2)], I am stating the following with respect to my application for such Dawson County public benefit.

- I am a United States citizen.
- I am a legal permanent resident of the United States. *(FOR NON-CITIZENS)*
- I am a qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency. *(FOR NON-CITIZENS)*

My alien number issued by the Department of Homeland Security or other federal immigration agency is:

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one **secure and verifiable document**, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. *(See reverse side of this affidavit for a list of secure and verifiable documents.)*

The secure and verifiable document provided with this affidavit can best be classified as:

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Executed in _____ (city), _____ (state)

Signature of Applicant

Jim King

Printed Name

27 AUGUST 2021

Date

Name of Business

SUBSCRIBED AND SWORN BEFORE ME ON

THIS 27th DAY OF August, 2021

Alvin S. Wells Notary Public

My Commission Expires: 6/18/2022



{Notary Seal}

21 SEP 10 10:08 AM

APPLICATION PROCESSING: STAFF USE ONLY

VR _____ Applicant Name: _____

Application Fee: \$ _____

IF APPLICABLE:

- Legal Advertisement Submitted to Newspaper Date: _____
- Planning Commission & Board of Commissioners Packets Delivered Date: _____
- Application Posted on County Website Date: _____
- Adjacent Property Owner Notices Mailed Date: _____
- Interdepartmental Forms Submitted for Review Date: _____
- Public Notice Signs on Property Verified Date: _____
- Approval or Denial Form placed in folder Date: _____
- Applicant Notified of Final Action Date: _____
- Approval or Denial Form to Office Manager/Building Official/Marshal Date: _____
- Planning Commission Meeting Minutes placed in folder Date: _____

Planning Commission & Board of Commissioners Actions

Planning Commission Recommendation Date: _____ Approval Approval w/stipulations Denial

If Denied by Planning Commission was decision appealed? Yes No

Board of Commissioners Decision Date: _____ Approval Approval w/stipulations Denial

- If appealed; Applicant Notified of Date of Appeal Hearing Date: _____
- If appealed; Legal Advertising of Date of Appeal Hearing Date: _____
- If appealed; Approval or Denial Form Placed in Folder Date: _____
- Applicant Notified of Final Action of Appeal Date: _____
- Board of Commission Meeting Minutes placed in folder Date: _____

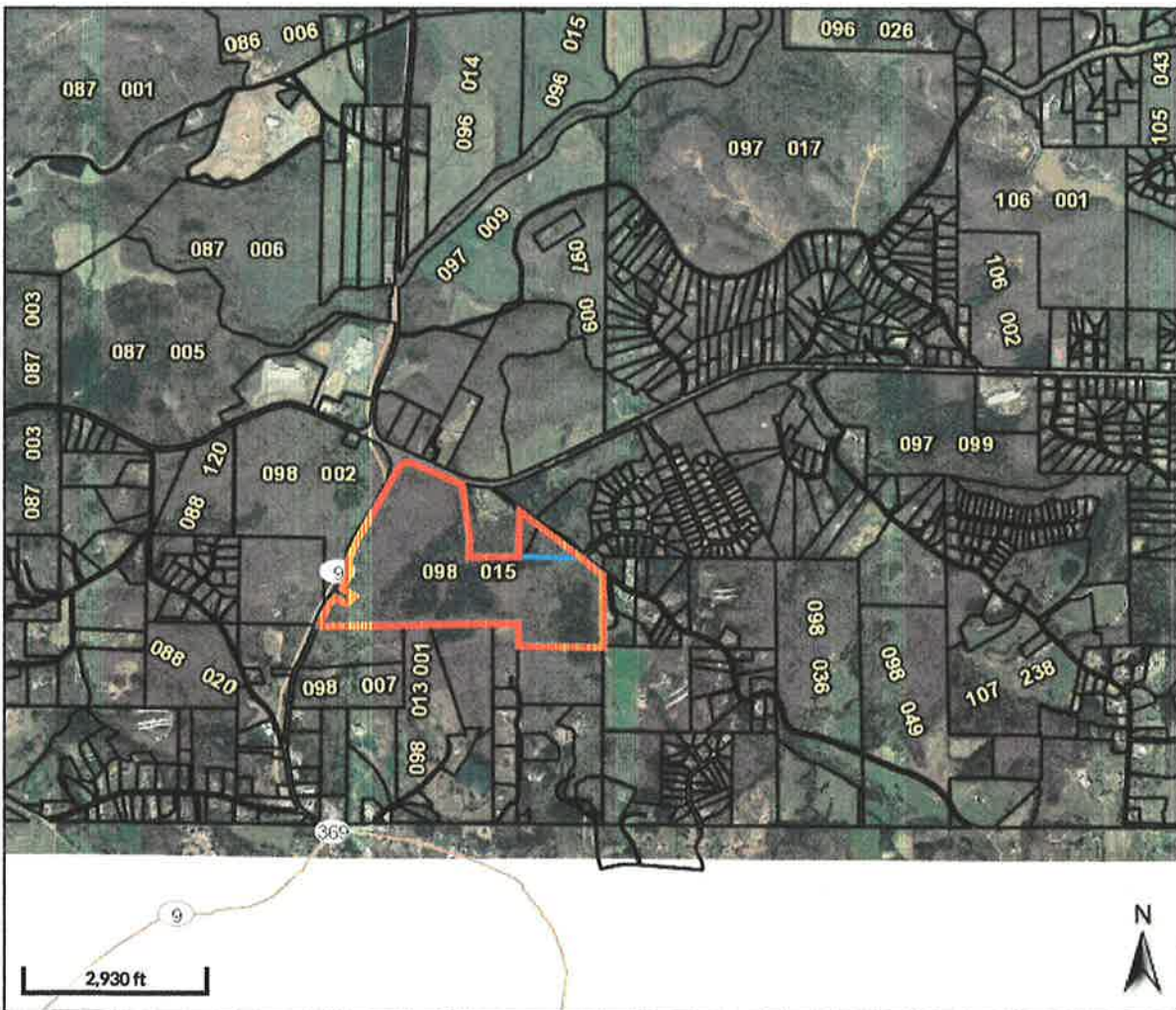
11/20/2011

Secure and Verifiable Documents Under O.C.G.A. § 50-36-2

The following list of secure and verifiable documents, published under the authority of O.C.G.A. § 50-36-2, contains documents that are verifiable for identification purposes, and documents on this list may not necessarily be indicative of residency or immigration status.

- A **United States Passport or Passport Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Military Identification card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Driver's License** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Identification Card** issued by one of the United States, the District of Columbia, the Commonwealth of Puerto Rico, Guam, the Commonwealth of the Northern Marianas Islands, the United States Virgin Island, American Samoa, or the Swain Islands, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Tribal Identification Card** of a federally recognized Native American tribe, provided that it contains a photograph of the bearer or lists sufficient identifying information regarding the bearer, such as name, date of birth, gender, height, eye color, and address to enable the identification of the bearer. A listing of federally recognized Native American tribes may be found at:
<http://www.bia.gov/WhoWeAre/BIA/OIS/TribalGovernmentServices/TribalDirectory/index.htm>
[O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **United States Permanent Resident Card or Alien Registration Receipt Card** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- An **Employment Authorization Document** that contains a photograph of the bearer [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Passport Issued by a Foreign Government** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Merchant Mariner Document or Merchant Mariner Credential** issued by the United States Coast Guard [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Free and Secure Trade (FAST) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **NEXUS Card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Secure Electronic Network for Travelers Rapid Inspection (SENTRI) card** [O.C.G.A. § 50-36-2(b)(3); 22 CFR § 41.2]
- A **Driver's License issued by a Canadian Government Authority** [O.C.G.A. § 50-36-2(b)(3); 8 CFR § 274a.2]
- A **Certificate of Citizenship** issued by the United States Department of Citizenship and Immigration Services (USCIS) (Form N-560 or Form N-561) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]
- A **Certificate of Naturalization** issued by the United States Department of Citizenship and Immigration Services USCIS) (Form N-550 or Form N-570) [O.C.G.A. § 50-36-2(b)(3); 6 CFR § 37.11]

2025 RELEASE UNDER E.O. 14176



Legend
□ Parcels

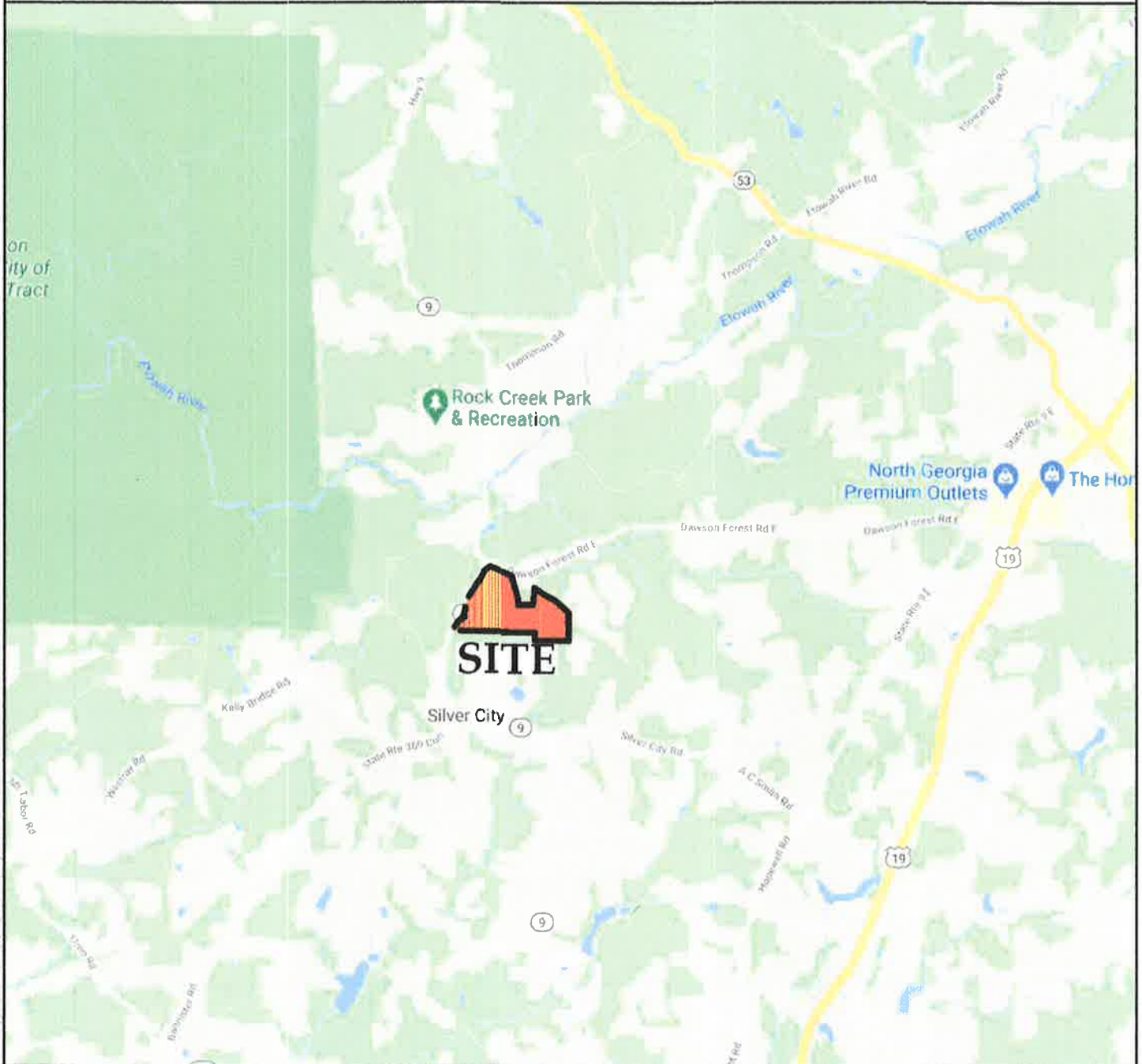
Parcel ID: 098 015
Alt ID: 6898
Owner: LeBLANC FAMILY PARTNERS LLLP ETAL
Acres: 159.7
Assessed Value: \$1005200

Date created: 8/23/2021
Last Data Uploaded: 8/21/2021 1:23:27 AM

Developed by  Schneider
GEOSPATIAL

21 SEP 10 10:00 AM

SITE LOCATION MAP



MAP DATE: GOOGLE © 2020

N.T.S.

21 SEP 10 10:09 AM

2020 Property Tax Statement

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534

Bill Number	Due Date	CURRENT YEAR DUE
15496		\$0.00

Payment Good Through:

Map: 098 016 002

Last payment made on:

Location:

YEARWOOD PATRICIA

Dear Taxpayer,

This is your current year Ad Valorem Property Tax Statement. This bill must be paid in full by December 1st in order to avoid interest and penalty charges. If payment is made after the due date, please call the office for the current amount due. State law requires all bills be mailed to the owner of record as of January 1st of the tax year. If you have sold this property, please forward this bill to the NEW OWNER and notify our office.

Thank you for the privilege to serve as your Tax Commissioner.
 Nicole Stewart

RETURN THIS FORM WITH PAYMENT

Nicole Stewart
 Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534



Scan this code with your mobile phone to view or pay this bill

Tax Payer: YEARWOOD PATRICIA
 Map Code: 098 016 002
 Description: LL 421 LD 13-S
 Location:
 Bill Number: 15496
 District: 1

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good Through	Exemptions
\$53,320.00	\$74,300.00	3.18	127620		8/18/2020		X14 X14

TAXING ENTITY	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	127620	51048	2000	49048	0	0	0	0
COUNTY M&O	127620	51048	51048	0	12.377	0	0	0
SALES TAX ROLLBACK	127620	51048	51048	0	4.492	0	0	0
SCHOOL M&O	127620	51048	51048	0	15.778	0	0	0
TOTALS					32.647			

You can pay your bill in person, by mail, online at www.dawsoncountytax.com, or at the drop box in front of the courthouse at the crosswalk. If postmarked after December 1st, interest at a rate prescribed by law will be added monthly. An additional penalty as prescribed by law will be added every 120 days. If the bill is marked appealed, then this is only 85% of the total bill pending.

NO PAYMENT CONTRACTS WILL BE ALLOWED.

Current Due:	\$0.00
Penalty:	\$0.00
Interest:	\$0.00
Other Fees:	\$0.00
Back Taxes:	\$0.00
Amount Paid:	\$0.00
TOTAL DUE:	\$0.00

21 SEP 10 09:31 AM

2020 Property Tax Statement

Nicole Stewart
Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534

Bill Number	Due Date	CURRENT YEAR DUE
5893	12/1/2020	\$0.00

Payment Good Through:

Map: 098 016 001

Last payment made on: 10/22/2020

Location:

GREEN WILLIAM P & JUNE M

Dear Taxpayer,

This is your current year Ad Valorem Property Tax Statement. This bill must be paid in full by December 1st in order to avoid interest and penalty charges. If payment is made after the due date, please call the office for the current amount due. State law requires all bills be mailed to the owner of record as of January 1st of the tax year. If you have sold this property, please forward this bill to the NEW OWNER and notify our office.

Thank you for the privilege to serve as your Tax Commissioner.
 Nicole Stewart

RETURN THIS FORM WITH PAYMENT

Nicole Stewart
Dawson County Tax Commissioner
 25 Justice Way, Suite 1222
 Dawsonville, GA 30534



Scan this code with your mobile phone to view or pay this bill

Tax Payer: GREEN WILLIAM P & JUNE M
Map Code: 098 016 001
Description: LL 421 LD 13-1 S
Location:
Bill Number: 5893
District: 1

Building Value	Land Value	Acres	Fair Market Value	Due Date	Billing Date	Payment Good Through	Exemptions
\$190,290.00	\$114,800.00	5	305090	12/1/2020	10/22/2020		X14 X14

TAXING ENTITY	Adjusted FMV	Net Assessment	Exemptions	Taxable Value	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	305090	122036	2000	120036	0	0	0	0
COUNTY M&O	305090	122036	67000	55036	12.377	681.18	0	433.96
SALES TAX ROLLBACK	0	0	0	55036	-4.492	0	-247.22	0
SCHOOL M&O	305090	122036	67000	55036	15.778	868.36	0	868.36
TOTALS					23.663	1,549.54	-247.22	1,302.32

You can pay your bill in person, by mail, online at www.dawsoncountytax.com, or at the drop box in front of the courthouse at the crosswalk. If postmarked after December 1st, interest at a rate prescribed by law will be added monthly. An additional penalty as prescribed by law will be added every 120 days. If the bill is marked appealed, then this is only 85% of the total bill pending.

NO PAYMENT CONTRACTS WILL BE ALLOWED.

Current Due:	\$1,302.32
Penalty:	\$0.00
Interest:	\$0.00
Other Fees:	\$0.00
Back Taxes:	\$0.00
Amount Paid:	\$1,302.32
TOTAL DUE:	\$0.00

2 SEP 10 10:58 AM



Overview

Legend

 Parcels

Parcel ID: 098 016 001
Alt ID: 9626
Owner: GREEN WILLIAM P & JUNE M
Acres: 5
Assessed Value: \$300490

Date created: 8/12/2021
Last Data Uploaded: 8/12/2021 2:10:57 AM

Developed by  Schneider
GEOSPATIAL

21 SEP 10 10:09 AM

PROPERTY OWNER AUTHORIZATION

I/we, Mary Helen McGruder, hereby swear that I/we own the property located at ~~(fill in address and/or tax map & parcel #)~~: limited partnership interests in Pilgrim Mill Family Limited Partnership, LLLP, which is the owner of an undivided interest in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Mary Helen McGruder

Signature of Owner(s): Mary Helen McGruder Date: 8-1-21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 1st day of September, 2021.

Jim J. Mathis
Notary Public

My Commission Expires: _____



Forsyth County, Georgia
Notary Public

Jim J. Mathis

My Commission Expires 1/1/22

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21SEP10 10:06AM

PROPERTY OWNER AUTHORIZATION

Paul J. McGruder, in his capacity as Trustee of The Paul
I/we, McGruder Trust, hereby swear
that I/we own the property located at ~~(fill in address and/or tax map & parcel #)~~:
limited partnership interests in Pilgrim Mill Family Limited
Partnership, LLLP, which is the owner of an undivided interest
in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King
Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Paul J. McGruder, as Trustee
Signature of Owner(s): [Signature] Date: 9/7/21
Mailing address: _____
City, State, Zip: _____
Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me
this 7th day of September, 2021.

[Signature]
Notary Public

My Commission Expires: _____
 Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22 {Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:06 AM

PROPERTY OWNER AUTHORIZATION

Louisa M. Ritsick, in her capacity as Trustee of The
I/we, **Louisa Ritsick Trust**, hereby swear
that I/we own ~~the property located at (fill in address and/or tax map & parcel ID):~~
limited partnership interests in Pilgrim Mill Family Limited
Partnership, LLLP, which is the owner of an undivided interest
in Dawson County Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King
Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Louisa M. Ritsick, as Trustee
Signature of Owner(s): Louisa M Ritsick, Trustee Date: 9/2/2021
Mailing address: _____
City, State, Zip: _____
Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me
this 2 day of September, 2021.

Elizabeth C Markland
Notary Public

ELIZABETH C. MARKLAND
Notary Public
State of Colorado
Notary ID # 20184046294
My Commission Expires 12-04-2022

My Commission Expires: 12-04-2022

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:06 AM

PROPERTY OWNER AUTHORIZATION

Carter M. Hawkins, in his capacity as Trustee of The Carter
I/we, Hawkins Trust No. 6, hereby swear
that I/we own the property located at (fill in address and/or tax map & parcel #):
an undivided interest in

Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Carter M. Hawkins, as Trustee

Signature of Owner(s): Carter M. Hawkins Date: 9/2/21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed Unlisted

Sworn and subscribed before me
this 2nd day of September, 2021.

Jill J. Mathis
Notary Public

My Commission Expires: _____



Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

21 SEP 10 10:11 AM

PROPERTY OWNER AUTHORIZATION

Sarah H. Warren f.k.a. Sarah M. Hawkins, in her capacity as I/we, Trustee of The Sarah Hawkins Trust No. 6, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #): an undivided interest in

Tax Parcel No. 098-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Jim King

Signature of applicant or agent: _____ Date: 26 August 2021

Printed Name of Owner(s): Sarah H. Warren, as Trustee

Signature of Owner(s): [Signature] Date: 9-2-21

Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 2nd day of September, 2021.

[Signature]
Notary Public

My Commission Expires: _____



Forsyth County, Georgia
Notary Public
Jill J. Mathis
My Commission Expires 1/1/22

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

SEPTEMBER

PROPERTY OWNER AUTHORIZATION

I/we, June Green, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #):

326 Goodson Rd Dawsonville, Ga 30535 30534

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: _____

Signature of applicant or agent: _____ Date: _____

Printed Name of Owner(s): June Green

Signature of Owner(s): [Signature] Date: 8-30-21

Mailing address: _____

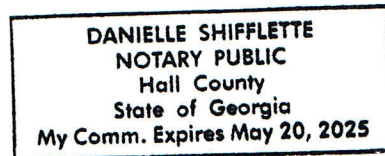
City, State, Zip: _____

Telephone Number: Listed Unlisted _____

Sworn and subscribed before me this 30 day of August, 2021.

[Signature]
Notary Public

My Commission Expires: May 20 2025



{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)

PROPERTY OWNER AUTHORIZATION

I/we, Danielle Woodward, hereby swear that I/we own the property located at (fill in address and/or tax map & parcel #):

174 Gordon Rd
Dawsonville, Ga 30534

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: _____

Signature of applicant or agent: _____ Date: _____

Printed Name of Owner(s): Danielle Woodward

Signature of Owner(s): [Signature] Date: 8-30-2021

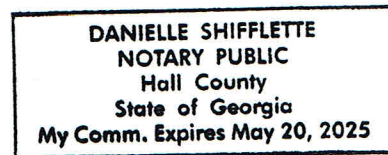
Mailing address: _____

City, State, Zip: _____

Telephone Number: Listed _____
Unlisted _____

Sworn and subscribed before me this 30 day of August, 20 21.

[Signature]
Notary Public



My Commission Expires: May 20, 2025

{Notary Seal}

(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)



Leblanc Tract

Traffic Impact Study

Prepared for:

Piedmont Residential, LLC

Prepared by:

KCI Technologies Inc.

2160 Satellite Boulevard, Suite 130

Duluth, GA 30097

www.kci.com

678.990.6200

October 2021

KCI Project #242106787

RISE TO THE
CHALLENGE



Leblanc Tract

Traffic Impact Study

Prepared for:
Piedmont Residential, LLC

Prepared by:
KCI Technologies Inc.
2160 Satellite Boulevard, Suite 130
Duluth, GA 30097

www.kci.com

678.990.6200

October 2021

KCI Project #242106787



10/5/2021



**RISE TO THE
CHALLENGE**

Executive Summary

The purpose of this study is to evaluate the potential traffic impacts of the proposed *Leblanc Tract* residential development. The site is in Dawson County and located along the south side of Dawson Forest Road, east side of SR 9, and west side of Goodson Road. Based on the concept plan (dated 08/16/2021), the +/-160.63-acre development will include a total of 379 detached single-family homes. The concept plan (see Appendix B) for the development illustrates the conditions in the study area, including the proposed development and the proposed single driveway location on Dawson Forest Road. There is one additional driveway, located along Goodson Road, which is proposed to be gates and only provide emergency access.

Dawson Forest Road is a two-lane roadway with a 40-mph posted speed limit in the area of the proposed development. SR 9 and Goodson Road are two-lane roadway adjacent to the site. The existing site is undeveloped. Access to the site is proposed via one driveway on Dawson Forest Road.

For the purposes of the traffic study, the analysis included the expected completion (build-out) of the development by year 2025. This study performed an analysis of future traffic conditions at the proposed driveway location. The future conditions analysis was performed for the year 2025 Build Conditions (with the Leblanc Tract development). The traffic study also included a review of Georgia DOT requirements and Dawson County subdivision regulations for required turn lanes at the site driveway along Dawson Forest Road.

The results of the traffic analysis indicate that the proposed driveway, operating with unsignalized (side-street stop-control), is expected to operate at an acceptable level of service during the AM and PM peak hours in the future year 2025 Build Conditions.

The traffic impact study identified the following geometric improvements needed to accommodate the proposed development. Based on estimated traffic volumes in the year 2025 Build year conditions, the following driveway geometric recommendations are provided:

- Dawson Forest Road at Proposed Driveway:
 - Provide a full-movement intersection; driveway to be stop-control
 - Add an eastbound right-turn deceleration lane along Dawson Forest Road
 - Add a westbound left-turn deceleration lane along Dawson Forest Road
 - Provide one entry lane and two exit lanes (one left-turn lane and one right-turn lane)

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A: Figures

- Figure 1 – Location Map
- Figure 2 – Aerial & Access Locations
- Figure 3 – Existing Traffic Conditions
- Figure 4 – Build (Year 2025) Traffic Conditions

B: Concept Plan

C: Traffic Count Data

D: GDOT Traffic Data

E: Intersection Volume Development

F: Capacity Analysis Reports

1. Existing Conditions

1.1 Site Conditions

The proposed development is located on undeveloped property. **Figure 1** provides a general location map. **Figure 2** is an aerial that shows the site location and the proposed site driveway. (Figures included in Appendix A) Access to the property is proposed to be provided at one location. An emergency-only gated access point will be available for entry/exit on Goodson Rd (The site plan is included in Appendix B). The proposed development will be residential and is surrounded by primarily residential uses.

1.2 Roadway Conditions

Dawson Forest Road is a two-lane roadway with a 40mph posted speed limit in the area of the proposed development. Dawson Forest Road is an east-west oriented roadway in the vicinity of the development. Georgia DOT classifies Dawson Forest Road as an urban minor collector. The roadway has grassed, rural shoulders, with no sidewalks.

Goodson Road is a two-lane roadway in the area of the proposed development. Goodson Road is a north-south oriented roadway in the vicinity of the development. Georgia DOT classifies Goodson Road as a local road. The roadway has grassed, rural shoulders, with no sidewalks.

1.3 Traffic Volumes

Traffic counts were collected on Tuesday, September 28, 2021 for use in the traffic analysis. Dawson County public schools were in session. The traffic data collected included:

- 24-hour volume count on Dawson Forest Road, at the proposed driveway location

Historical traffic volume data available from the GDOT TADA source were utilized to inform the annual growth factor. The two locations are indicated in Appendix D. The two locations are:

- GDOT Count Station #085-0101 located on SR 9, just south of Dawson Forest Road.
- GDOT Count Station #085-0202 located on Lumpkin Campground Road, just north of Dawson Forest Road.

For the purposes of this study, a COVID adjustment factor was not applied.

Figure 3 (in Appendix A) illustrates the existing 2021 traffic volumes collected on September 28, 2021. These volumes were used in the traffic analysis. The traffic counts are included in the Appendix C. The 2021 traffic volumes are indicated in the Intersection Volume Development table included in the Appendix E.

1.4 Crash Review

Crash history was not reviewed for the purposes of this study.

2. Future Conditions

2.1 Future No-Build Traffic Volumes

Future traffic volumes on Dawson Forest Road were developed by reviewing the historical traffic volumes roadways within the vicinity of the project and historic population growth in the county. Two GDOT count stations in the area was reviewed. The annual historic compound growth rate was 3.46%, and 2.99% at the two GDOT count stations. The calculations are included in Appendix D. Dawson County's population growth rate was most recently reported as 3.62% percent per year in 2021. Over the past five years the population growth rate has been in the range of 2.95% per year to 3.90% per year. After reviewing this information, a 2.5% per year growth rate to account for background traffic volume growth was used in the traffic study.

For the purposes of this study the proposed development is expected to be completed and opened by 2025. A 2.5% per year growth rate was applied to the 2021 volumes to calculate the future traffic volumes on Dawson Forest Road.

2.2 Future Roadway Conditions

A review of Georgia DOT and Dawson County planned, and programmed transportation projects was performed. No planned roadway projects were identified near the development site. Recently, the GDOT PI 0013682 (SR 9 at Dawson Forest Road) project was completed. The project replaced the existing unsignalized intersections with two single-lane roundabouts.

3. Proposed Development Traffic

Project traffic was calculated for the proposed development. Project traffic is defined as the vehicular trips expected to be generated by the development and distributed over the roadway network.

3.1 Trip Generation

The project driveway volumes were calculated based on the Institute of Transportation Engineers' (ITE) Trip Generation Manual, Tenth Edition. The development will include up to 379 single-family residential homes. For the purposes of the traffic study, ITE land use code 210 (Single-Family Detached) was used,

Since this is a residential development, no pass-by reductions or internal capture rates were included.

Table 1 below summarizes the trips expected daily, during the AM peak hour, and during the PM peak hour for the development.

Land Use (ITE Code)	Units	Daily Trips	AM Peak Hour			PM Peak Hour		
		Two-Way Total	Enter	Exit	Total	Enter	Exit	Total
Single-Family Detached (210)	379	3,542	69	205	274	230	135	365
Gross Trips		3,542	69	205	274	230	135	365

3.2 Trip Distribution and Assignment

An overall trip distribution and assignment of project trips was based on existing traffic patterns and a review of land uses and the street network in the area. This information was used to apply the project traffic volumes at the study intersections and development driveway.

The directional distribution for the proposed development is estimated to be:

- Residential use:
 - 70% to/from the east along Dawson Forest Road
 - 30% to/from the west along Dawson Forest Road

Figure 4 (in Appendix A) illustrates the residential trip distribution in the study area.

3.3 Future Build Traffic Volumes

The 2025 future Build traffic volumes were calculated by adding the proposed development (Leblanc Tract) traffic volumes to the projected year 2025 No-Build traffic volumes. **Figure 4** (in Appendix A) illustrates the year 2025 Build traffic volumes.

4. Capacity Analysis

Capacity analysis was performed at the study intersections for the weekday AM and PM peak hours. Intersection Level of Service (LOS) was calculated based on the methodologies contained in the Highway Capacity Manual, 6th Edition. The Synchro Studio software, which utilizes the HCM 6th Edition methodology, was utilized to perform the analyses.

Capacity is defined as the maximum number of vehicles that can pass over a particular road segment or through a particular intersection within a specified period under prevailing roadway, traffic, and control conditions. Level of service (LOS) is used to describe the operating characteristics of a road segment or intersection in relation to its capacity. LOS is defined as a qualitative measure that describes operational conditions and motorist's perceptions. The Highway Capacity Manual defines six levels of service, LOS A through LOS F. Level of service A indicates excellent operations with little delay to motorists, while level of service F indicates extremely long delay.

Level of service for unsignalized intersections is calculated for the average control delay incurred for vehicles on the stop control approach, compared to the average control delay per vehicle for all approaches at a signalized intersection. Control delay for vehicles include initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay. **Table 2** below indicates the relationship between delay and LOS for signalized and unsignalized intersections, respectively. Level-of-service "E" is typically considered to be the limit of acceptable delay.

Several factors affect the controlled delay for unsignalized intersections, including the availability of gaps in the cross-street traffic, and acceptable gap time to make the movement from the stop position. For stop-control intersections, LOS E and F exist when there are insufficient gaps in traffic, resulting in long delays. Low level of service for stop-control approaches are not uncommon at major cross-streets.

Table 2: Level of Service Criteria		
Level of Service	Average Control Delay Per Vehicle (sec)	
	Signalized Intersection	Unsignalized Intersection
A	≤10	≤10
B	>10 and ≤20	>10 and ≤15
C	>20 and ≤35	>15 and ≤25
D	>35 and ≤55	>25 and ≤35
E	>55 and ≤80	>35 and ≤50
F	>80	>50

4.1 Future Build Conditions Capacity Analysis

Capacity analysis was performed for the year 2025 Future Conditions and includes the No-Build traffic volumes plus the Leblanc Tract development volumes. The Build traffic conditions and volumes are illustrated in **Figure 4**. **Table 3** summarizes the results of the capacity analysis.

Table 3: Open Year (2025) Build Level of Service				
Intersection	Intersection Control	Approach	AM Peak Hour LOS (Delay*)	PM Peak Hour LOS (Delay*)
Dawson Forest Road at Proposed Driveway	Side-street Stop-control	Northbound (Driveway)	C (20.2)	C (22.6)

**Average vehicle delay in seconds*

The Proposed Driveway is expected to operate with an acceptable level of service during both the AM and PM peak hours.

5. Recommendations

Recommendations for access for the proposed development are based on existing conditions, the proposed development use, and expected traffic volumes. The need for dedicated turn lanes at the proposed development driveway and appropriate traffic control (i.e. stop control) were reviewed. Recommendations included reviewing Georgia DOT requirements and Dawson County subdivision regulations for required turn lanes, knowledge of general transportation standards, and engineering judgment. Specifics of the driveway design will need to follow Georgia Department of Transportation requirements for the main site driveway located along Dawson Forest Road, and follow Dawson County requirements for the gated emergency access driveway located along Goodson Road.

5.1 Turn Lane Analysis at Site Driveways

The Dawson County subdivision regulations, section 708.10 – Deceleration, and Left Turn Lanes – specifies the requirements for turn lanes at site driveways. The section stated the Georgia DOT Driveway and Encroachment Control Manual requirements are to be used. The GDOT manual was reviewed for the proposed driveway along Dawson Forest Road. The GDOT driveway manual, Section 4I, Auxiliary Turn Lanes, provides minimum volumes requiring right-turn or left-turn deceleration lanes. The year 2025 Build traffic volumes were compared to the Georgia DOT driveway requirements for right-turn and left-turn deceleration lanes. The most recently collected daily volume on Dawson Forest Road was 8,864 vehicles per day.

Right-Turn Deceleration Lane Criteria

Based on the 40mph speed limit, two-lane roadway, and more than 6,000 ADT (Average Daily Traffic) on Dawson Forest Road, Table 4-6 indicates a dedicated right-turn lane is required if there are more than 75 right-turn vehicles per day. The estimated daily eastbound right-turn entering the site at the proposed driveway is 531 vehicles per day. This volume meets the GDOT criteria to install a right-turn deceleration lane at the proposed driveway.

Left-turn Lane Criteria

Based on the 40mph speed limit, two-lane roadway, and more than 6,000 ADT (Average Daily Traffic) on Dawson Forest Road, Table 4-7a indicates a dedicated left-turn lane is required if there are more than 175 left-turn vehicles per day. The estimated daily eastbound left-turn entering the site at the proposed driveway is 1,240 vehicles per day. This volume meets the GDOT criteria to install a dedicated left-turn deceleration lane at the proposed driveway.

5.2 Recommended Driveway Geometry

Based on estimated traffic volumes in the year 2025 Build year conditions, the following driveway geometric recommendations are provided:

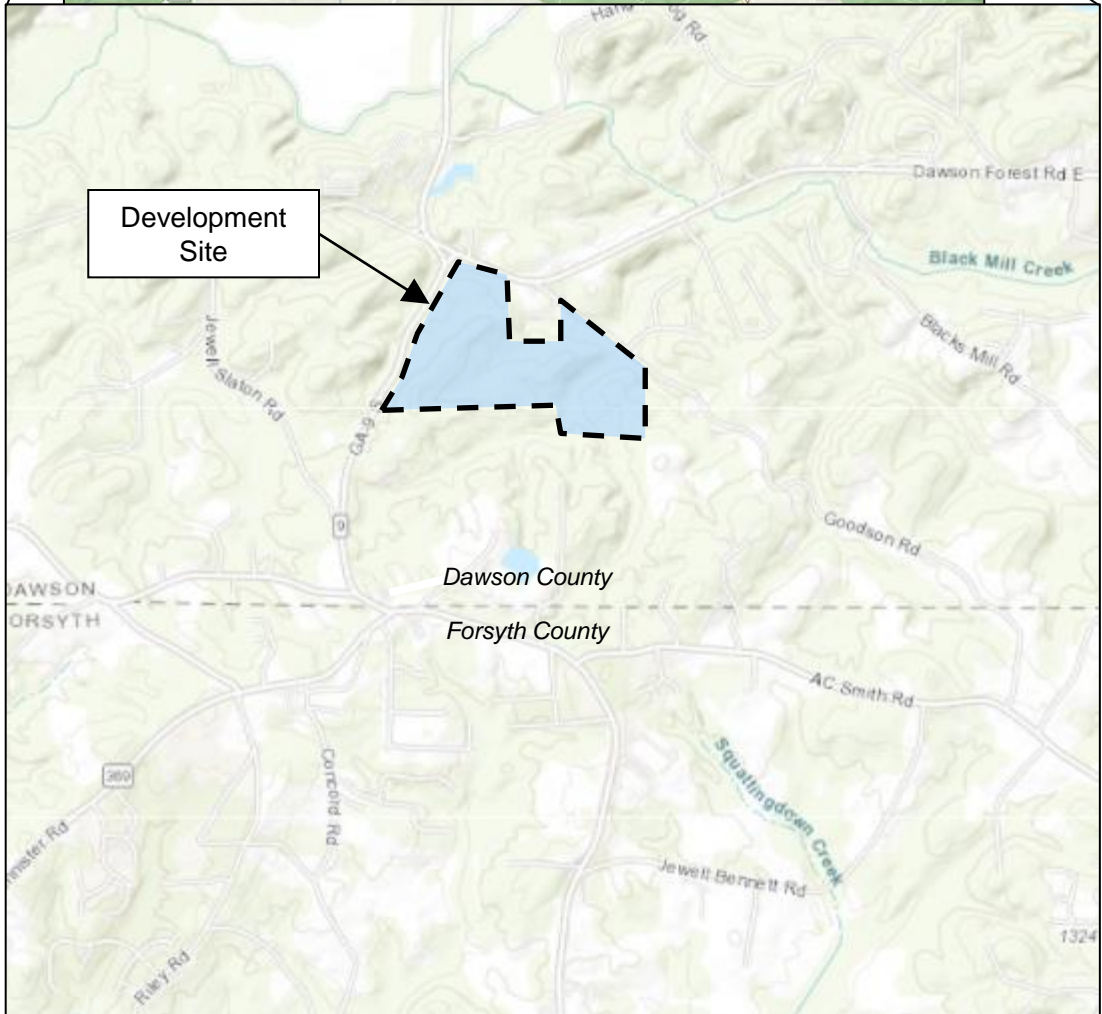
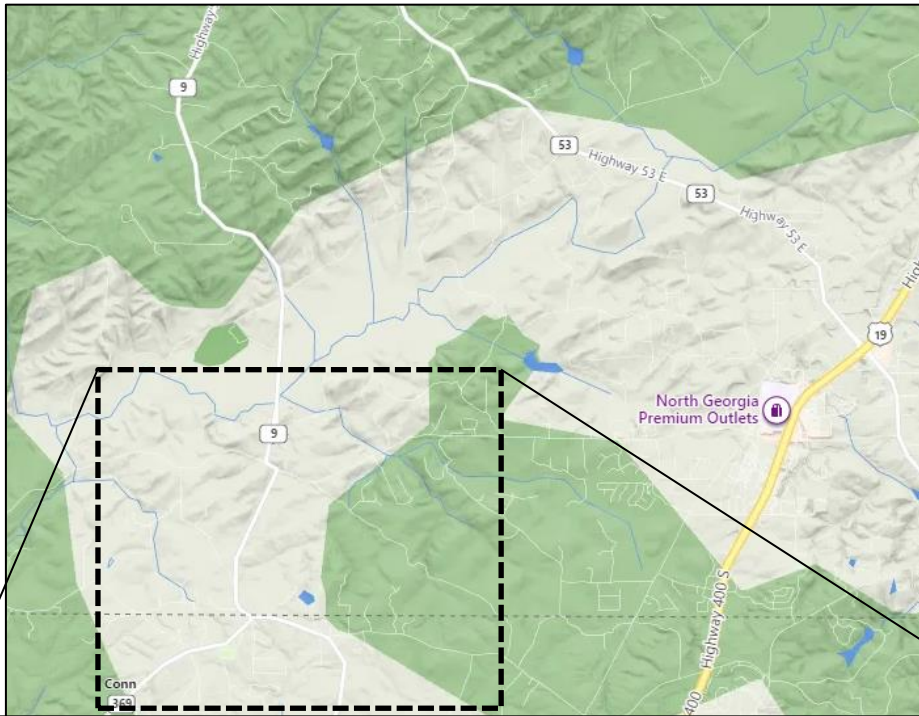
- Dawson Forest Road at Proposed Driveway
 - Provide a full-movement intersection; driveway to be stop-control
 - Add an eastbound right-turn deceleration lane along Dawson Forest Road
 - Add a westbound left-turn deceleration lane along Dawson Forest Road
 - Provide one entry lane and two exit lanes (one left-turn lane and one right-turn lane)

Appendices

- Appendix A
 - Figures
- Appendix B
 - Concept Plan
- Appendix C
 - Raw Traffic Count Data
- Appendix D
 - GDOT Traffic Data
- Appendix E
 - Intersection Volume Development
- Appendix F
 - Capacity Analysis Reports

Appendix A

Figures



Not to Scale




Traffic Impact Study
Leblanc Tract Development
Dawson County, Georgia

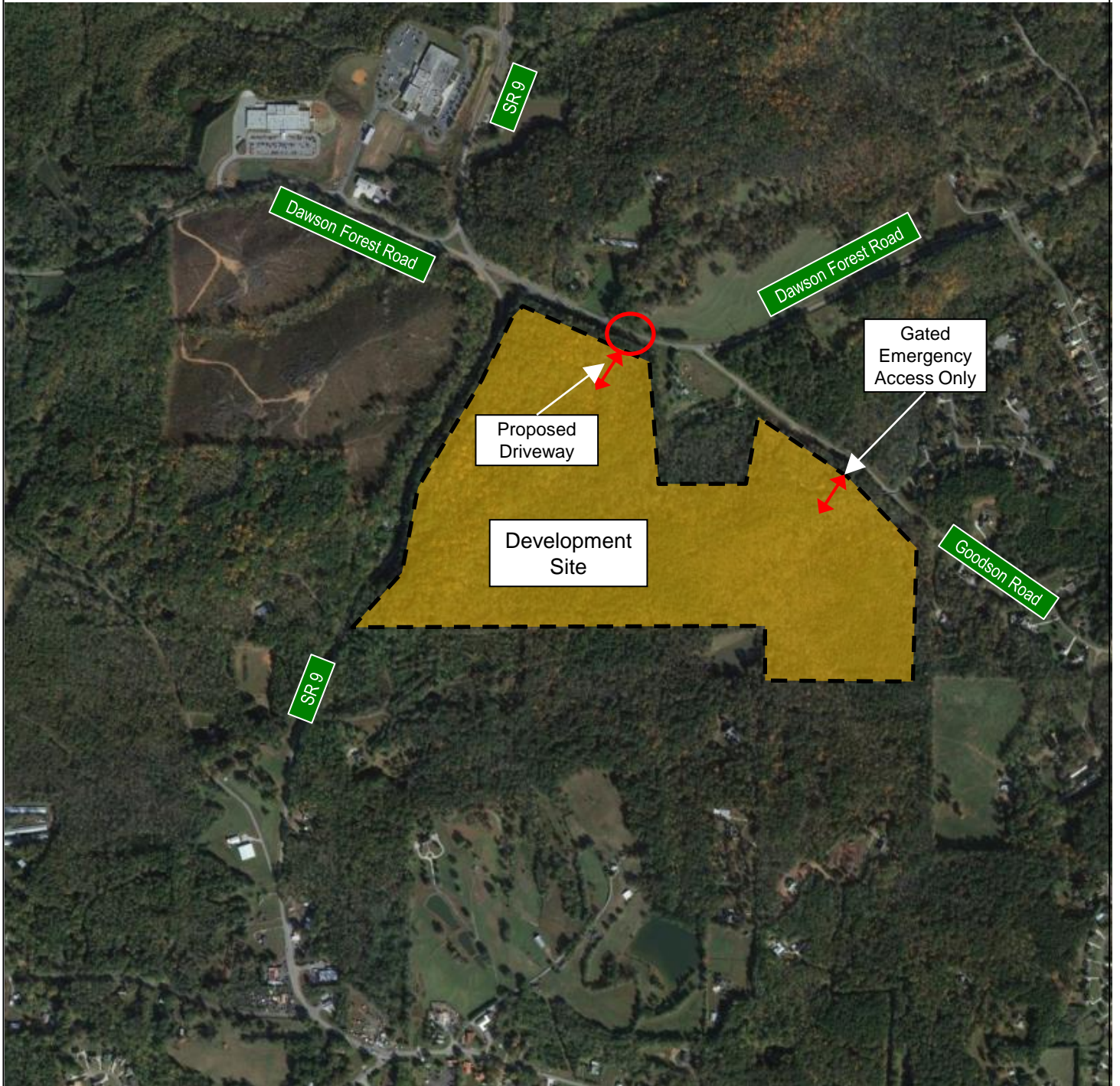
149

**Location
Map**

**Figure
1**

Legend:

 Study Intersection



Not to Scale



Traffic Impact Study
Leblanc Tract Development
Dawson County, Georgia

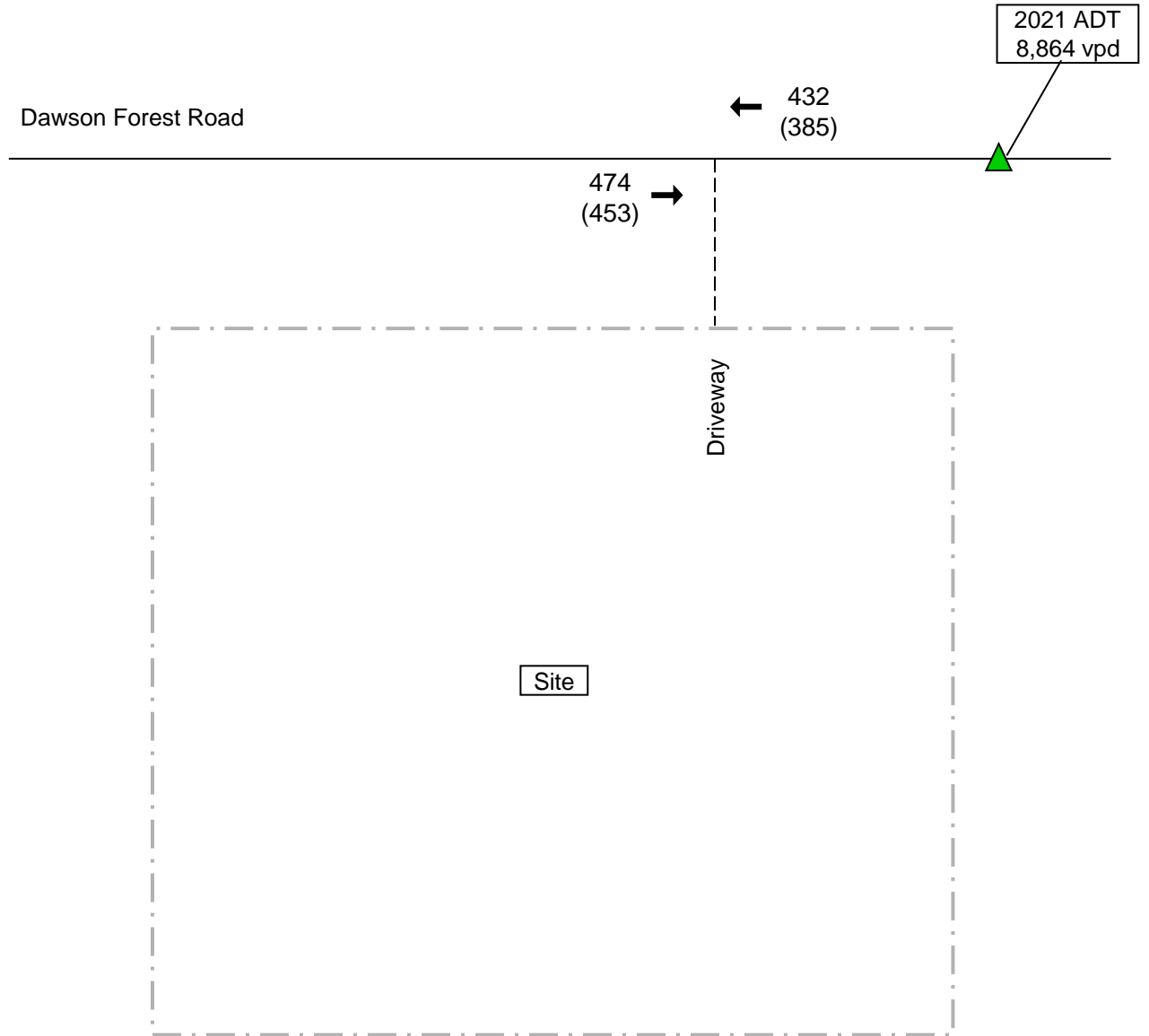
150

**Aerial &
Access
Locations**

**Figure
2**

LEGEND:

- Existing Roadway Laneage
- XX AM Peak Hour Traffic Volumes
- (XX) PM Peak Hour Traffic Volumes



Not to Scale



LEGEND:

- Existing Roadway Laneage
- Proposed Roadway Laneage
- XX AM Peak Hour Traffic Volumes
- (XX) PM Peak Hour Traffic Volumes

Dawson Forest Road

← 477 (425)
↘ 48 (161)

523 (500) →
21 (69) ↘

STOP
↙ ↘
62 144
(41) (95)

Driveway

Site



Not to Scale



Appendix B

Concept Plan

Appendix C

Traffic Count Data

Bi-Directional Class Count | NB EB 15min

Dawsonville, GA



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Site 1
Dawson Forest Rd E,
west of Goodson Rd

Date
Tuesday, September 28, 2021

Weather
Fair
73°F

Lat/Long
34.3491077, -84.109646°

[Click here for Map](#)

0000 - 2400 (Weekday 24h Session) (09-28-2021)
NB EB 15min

Time	Eastbound (Movement 1.1)													15min Total	60min Total
	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13		
0000-0015	0	3	0	0	0	0	0	0	0	0	0	0	0	3	0
0015-0030	0	1	1	0	0	0	0	0	0	0	0	0	0	2	0
0030-0045	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
0045-0100	0	2	0	0	0	0	0	0	0	0	0	0	0	2	7
0100-0115	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
0115-0130	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
0130-0145	0	2	1	0	0	0	0	1	0	0	0	0	0	4	0
0145-0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6
0200-0215	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
0215-0230	0	2	1	0	0	0	0	0	0	0	1	0	0	3	0
0230-0245	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
0245-0300	0	4	0	0	0	0	0	0	0	0	0	0	0	4	9
0300-0315	0	0	0	0	0	1	0	0	0	0	0	0	0	1	0
0315-0330	0	0	1	0	0	0	0	0	0	0	0	0	0	1	0
0330-0345	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
0345-0400	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3
0400-0415	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
0415-0430	0	3	0	0	0	0	0	0	0	0	0	0	0	3	0
0430-0445	0	5	2	0	0	0	0	0	0	0	0	0	0	7	0
0445-0500	0	5	3	0	0	0	0	0	1	0	0	0	0	9	19
0500-0515	0	4	0	0	1	0	0	0	0	0	0	0	0	5	0
0515-0530	0	6	4	0	0	0	0	0	0	0	0	0	0	10	0
0530-0545	0	4	2	0	1	1	0	0	0	0	0	0	0	8	0
0545-0600	0	11	5	1	1	1	0	0	0	0	0	0	0	19	42
0600-0615	0	6	6	0	0	0	0	0	0	0	0	0	0	12	0
0615-0630	0	23	13	2	1	1	23	0	0	0	0	0	0	40	40
0630-0645	0	19	13	0	1	0	0	0	0	0	1	0	0	34	0
0645-0700	0	31	19	0	2	2	0	0	0	0	0	0	0	54	140
0700-0715	0	39	10	3	0	0	0	0	0	0	0	0	0	52	0
0715-0730	0	75	27	0	1	4	0	0	0	0	0	0	0	107	0
0730-0745	0	102	44	1	1	4	0	0	1	1	0	0	0	154	0
0745-0800	0	85	34	2	0	3	0	0	1	0	0	0	0	125	438
0800-0815	0	60	22	0	3	1	2	0	0	0	0	0	0	88	0
0815-0830	0	26	32	1	1	2	0	0	1	0	0	0	0	63	0
0830-0845	0	44	21	0	1	3	1	0	0	0	0	0	0	70	0
0845-0900	1	38	24	0	3	7	0	1	0	0	0	0	0	74	295
0900-0915	0	16	13	1	1	2	0	1	3	0	0	0	0	37	0
0915-0930	0	38	23	0	1	4	0	0	3	0	0	0	0	69	0
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1000-1015	0	23	19	0	2	2	0	0	1	0	0	0	0	47	0
1015-1030	0	24	17	0	0	3	0	0	1	0	0	0	0	45	0
1030-1045	0	27	21	0	2	2	0	0	2	0	0	0	0	53	0
1045-1100	0	37	20	0	2	2	0	1	3	0	0	0	0	65	0
1100-1115	0	33	21	0	1	3	0	0	0	0	0	0	0	58	0
1115-1130	0	37	24	0	1	3	0	0	0	0	0	0	0	65	0
1130-1145	0	35	28	0	1	0	0	0	1	0	0	0	0	65	0
1145-1200	0	40	21	0	0	2	0	1	0	0	0	0	0	64	252
1200-1215	0	40	15	1	3	2	0	2	0	0	0	0	0	63	0
1215-1230	0	38	14	0	4	3	0	1	1	0	0	0	0	61	0
1230-1245	0	57	22	0	1	1	0	1	0	0	0	0	0	82	0
1245-1300	0	46	20	0	1	2	0	1	0	0	0	0	0	70	276
1300-1315	0	44	19	0	0	1	0	0	0	0	0	0	0	64	0
1315-1330	1	35	21	1	1	3	0	0	1	0	0	0	0	63	0
1330-1345	1	36	13	0	0	2	0	1	2	0	0	0	0	55	0
1345-1400	1	32	14	0	1	0	0	0	0	0	0	0	0	48	230
1400-1415	1	41	22	1	0	3	0	0	3	0	0	0	0	71	0
1415-1430	0	40	19	0	1	3	0	1	0	0	0	0	0	64	0
1430-1445	1	44	21	1	0	0	0	0	2	0	0	0	0	68	0
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1500-1515	0	93	27	8	1	1	0	0	0	0	0	0	0	130	0
1515-1530	0	75	24	0	0	3	0	0	2	0	0	0	0	104	0
1530-1545	0	67	22	0	1	2	0	0	5	0	0	0	0	97	0
1545-1600	0	61	24	0	1	2	0	0	0	0	0	0	0	88	419
1600-1615	1	58	15	0	2	1	0	0	0	0	0	0	0	77	0
1615-1630	0	64	17	1	2	2	0	0	0	0	0	0	0	86	0
1630-1645	0	62	28	1	2	3	0	0	0	0	0	0	0	96	0
1645-1700	1	93	22	0	0	0	0	0	0	0	0	0	0	125	385
1700-1715	1	65	48	1	0	1	0	1	0	0	0	0	0	117	0
1715-1730	0	74	39	0	1	0	0	0	0	0	0	0	0	114	0
1730-1745	1	60	29	0	3	1	0	0	0	0	0	0	0	94	0
1745-1800	1	76	29	0	0	0	0	0	0	0	0	0	0	106	431
1800-1815	1	55	31	0	2	2	0	0	0	0	0	0	0	91	0
1815-1830	1	46	29	0	2	1	0	0	0	0	0	0	0	79	0
1830-1845	0	55	23	0	0	1	0	0	1	0	0	0	0	80	0
1845-1900	0	49	24	0	1	0	0	0	0	0	0	0	0	74	324
1900-1915	1	38	13	0	2	0	0	0	0	0	0	0	0	54	0
1915-1930	0	33	15	0	0	0	0	0	0	0	0	0	0	48	0
1930-1945	0	37	14	1	2	0	0	0	0	0	0	0	0	54	0
1945-2000	0	49	4	0	1	0	0	0	0	0	0	0	0	54	210
2000-2015	0	44	3	0	1	0	0	0	0	0	0	0	0	48	0
2015-2030	0	33	2	0	1	0	0	0	0	0	0	0	0	36	0
2030-2045	0	30	0	0	0	0	0	0	0	0	0	0	0	30	0
2045-2100	0	29	0	0	0	0	0	0	0	0	0	0	0	29	143
2100-2115	0	25	0	0	0	0	0	0	0	0	0	0	0	25	0
2115-2130	0	13	0	0	0	0	0	0	0	0	0	0	0	13	0
2130-2145	0	6	0	0	0	0	0	0	0	0	0	0	0	6	0
2145-2200	0	15	0	0	0	0	0	0	0	0	0	0	0	15	59
2200-2215	0	12	0	0	0	0	0	1	0	0	0	0	0	13	0
2215-2230	0	9	0	0	0	0	0	0	0	0	0	0	0	9	0
2230-2245	0	17	0	0	0	0	0	0	0	0	0	0	0	17	0
2245-2300	0	6	0	0	0	0	0	0	0	0	0	0	0	6	45
2300-2315	0	2	0	0	1	0	0	0	1	0	0	0	0	4	0
2315-2330	0	5	0	0	0	0	0	0	0	0	0	0	0	5	0
2330-2345	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
2345-0000	0	4	0	0	0	0	0	0	0	0	0	0	0	4	15

Session Total	17	2959	1256	48	69	101	3	14	35	1	1	0 <th>0 <th>4504</th> </th>	0 <th>4504</th>	4504
Session Average	0.18	30.82	13.08	0.50	0.72	1.05	0.03	0.15	0.36	0.01	0.01	0.00	0.00	46.92
Session Percentage	0.38	65.70	27.89	1.07	1.53	2.24	0.07	0.31	0.78	0.02	0.02	0.00	0.00	
AM Peak Hour	0845-0945	0715-0815	0730-0830	0700-0800	0800-0900	0830-0930	0745-0845	0815-0915	0830-0930	0645-0745	0545-0645	-	-	0715-0815
AM Peak Volume	3	322	132	6	8	16	3	2	6	1	1	0	0	474
Noon Peak Hour	1315-1415	1445-1545	1445-1545	1415-1515	1200-1300	1015-1115	-							

Bi-Directional Class Count | SB WB 15min

Dawsonville, GA



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Site 1
Dawson Forest Rd E,
west of Goodson Rd

Date
Tuesday, September 28, 2021

Weather
Fair
73°F

Lat/Long
34.3491077, -84.109646°



0000 - 2400 (Weekday 24h Session) (09-28-2021)
SB WB 15min

Time	Westbound (Movement 1,2)													15min Total	60min Total
	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13		
0000-0015	0	2	1	0	0	0	0	0	0	0	0	0	0	3	
0015-0030	0	1	0	1	0	0	0	0	0	0	0	0	0	2	
0030-0045	0	3	0	0	0	0	0	0	0	0	0	0	0	3	
0045-0100	0	2	0	0	0	0	0	0	0	0	0	0	0	2	10
0100-0115	0	1	0	0	0	0	0	0	0	0	0	0	0	1	
0115-0130	0	1	1	0	0	0	0	0	0	0	0	0	0	2	
0130-0145	0	2	0	0	0	0	0	1	0	0	0	0	0	3	
0145-0200	0	3	0	0	0	0	0	0	0	0	0	0	0	3	9
0200-0215	0	2	0	0	0	0	0	0	0	0	0	0	0	2	
0215-0230	0	1	0	0	0	0	0	0	0	0	0	0	0	1	
0230-0245	0	0	0	0	0	1	0	0	0	0	0	0	0	1	
0245-0300	0	0	0	0	0	1	0	0	0	0	0	0	0	1	5
0300-0315	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
0315-0330	0	1	0	0	1	0	0	0	0	0	0	0	0	2	
0330-0345	0	3	0	0	0	0	0	0	0	0	0	0	0	3	
0345-0400	0	2	0	0	0	0	0	0	0	0	0	0	0	2	7
0400-0415	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
0415-0430	0	4	0	0	0	0	0	0	0	0	0	0	0	4	
0430-0445	0	2	0	0	0	0	0	0	0	0	0	0	0	2	
0445-0500	0	2	0	0	0	0	0	0	0	0	0	0	0	2	8
0500-0515	0	5	0	0	0	0	0	0	0	0	0	0	0	5	
0515-0530	0	7	2	1	0	0	0	0	0	0	0	0	0	10	
0530-0545	0	4	0	0	0	0	0	0	0	0	0	0	0	4	
0545-0600	0	10	7	0	1	1	0	0	0	0	0	0	0	19	38
0600-0615	0	21	4	0	0	1	0	0	0	0	0	0	0	26	
0615-0630	0	21	8	2	1	0	0	0	0	0	0	0	0	32	
0630-0645	0	24	6	0	0	2	0	0	0	0	0	0	0	32	
0645-0700	0	51	13	3	2	0	0	0	0	0	0	0	0	69	159
0700-0715	0	69	19	3	0	1	0	0	0	0	0	0	0	92	
0715-0730	0	98	17	1	0	1	0	0	0	1	0	0	0	118	
0730-0745	0	102	21	0	4	0	0	0	0	0	0	0	0	127	
0745-0800	0	75	17	1	3	4	0	0	0	0	0	0	0	100	437
0800-0815	0	57	18	1	2	5	0	2	1	1	0	0	0	87	
0815-0830	0	39	14	0	2	1	0	1	0	0	0	0	0	57	
0830-0845	0	39	10	0	1	1	0	0	0	0	0	0	0	51	
0845-0900	0	32	15	1	1	0	0	1	0	0	0	0	0	50	245
0900-0915	0	35	8	0	1	0	0	0	0	0	0	0	0	44	
0915-0930	0	34	13	0	1	2	0	0	0	0	0	0	0	50	
0930-0945	0	26	9	0	1	1	0	0	0	0	0	0	0	37	
0945-1000	0	35	11	0	1	2	0	0	0	1	0	0	0	50	181
1000-1015	0	32	6	0	2	2	0	0	1	0	0	0	0	43	
1015-1030	0	22	11	0	2	3	0	0	0	0	0	0	0	38	
1030-1045	0	33	10	0	1	1	0	0	0	0	0	0	0	45	
1045-1100	0	29	13	0	2	0	0	1	0	0	0	0	0	45	171
1100-1115	0	37	19	0	3	2	0	1	1	0	0	0	0	63	
1115-1130	0	27	13	1	1	2	0	0	3	0	0	0	0	47	
1130-1145	0	39	13	0	2	2	0	0	0	0	0	0	0	56	
1145-1200	0	40	11	1	2	1	0	0	1	1	0	0	0	57	223
1200-1215	0	36	7	0	0	1	0	0	0	0	0	0	0	44	
1215-1230	0	30	26	1	0	2	0	0	0	0	0	0	0	59	
1230-1245	0	42	18	0	1	2	0	0	1	1	0	0	0	65	
1245-1300	0	38	18	0	0	3	0	0	2	0	0	0	0	61	229
1300-1315	0	31	20	0	1	1	0	0	0	0	0	0	0	53	
1315-1330	0	27	21	0	1	3	0	0	0	0	0	0	0	52	
1330-1345	0	34	19	0	0	0	0	0	2	0	0	0	0	55	
1345-1400	0	44	14	1	1	2	0	0	0	0	0	0	0	62	222
1400-1415	0	42	14	0	1	2	0	1	1	0	0	0	0	61	
1415-1430	1	55	12	1	1	2	0	2	1	0	0	0	0	75	
1430-1445	0	74	15	0	0	1	0	0	2	0	0	0	0	92	
1445-1500	1	78	10	2	2	2	0	0	2	0	0	0	0	95	323
1500-1515	0	84	12	1	0	0	0	0	0	0	0	0	0	98	
1515-1530	0	64	16	0	0	0	0	1	1	0	0	0	0	82	
1530-1545	0	41	15	3	0	0	0	0	0	0	0	0	0	59	
1545-1600	0	42	23	3	0	0	0	0	0	0	0	0	0	68	307
1600-1615	0	62	23	0	1	0	0	2	1	0	0	0	0	89	
1615-1630	0	47	24	0	1	1	0	0	1	0	0	0	0	74	
1630-1645	0	69	24	0	2	0	0	0	0	0	0	0	0	95	
1645-1700	0	76	23	0	1	1	0	0	1	1	0	0	0	103	361
1700-1715	0	72	17	0	1	0	0	0	0	0	0	0	0	90	
1715-1730	0	79	16	0	2	0	0	0	0	0	0	0	0	97	
1730-1745	0	65	14	0	0	0	0	0	0	0	0	0	0	79	
1745-1800	0	58	33	0	0	0	0	0	2	0	0	0	0	93	359
1800-1815	0	58	30	0	1	0	0	0	0	0	0	0	0	89	
1815-1830	0	52	30	0	1	0	0	1	0	0	0	0	0	84	
1830-1845	0	38	31	0	0	0	0	0	0	0	0	0	0	69	
1845-1900	0	58	18	0	0	0	0	0	0	0	0	0	0	76	318
1900-1915	0	37	16	0	0	0	0	0	0	0	0	0	0	53	
1915-1930	0	32	18	0	0	0	0	1	0	0	0	0	0	51	
1930-1945	0	31	13	0	0	0	0	0	0	0	0	0	0	44	
1945-2000	0	33	12	0	0	0	0	0	0	0	0	0	0	45	193
2000-2015	0	43	2	0	0	0	0	0	0	0	0	0	0	45	
2015-2030	0	51	0	0	0	0	0	0	0	0	0	0	0	51	
2030-2045	0	41	0	0	0	0	0	0	0	0	0	0	0	41	
2045-2100	0	44	2	0	0	0	0	0	0	0	0	0	0	46	183
2100-2115	0	34	1	0	0	0	0	0	0	0	0	0	0	35	
2115-2130	0	26	0	0	0	0	0	0	0	0	0	0	0	26	
2130-2145	0	25	0	0	2	0	0	0	0	0	0	0	0	27	
2145-2200	0	19	0	0	0	0	0	0	0	0	0	0	0	19	107
2200-2215	0	12	0	0	0	0	0	0	0	0	0	0	0	12	
2215-2230	0	18	0	0	0	0	0	0	0	0	0	0	0	18	
2230-2245	0	12	0	0	0	0	0	0	0	0	0	0	0	12	
2245-2300	0	8	0	0	0	0	0	0	0	0	0	0	0	8	50
2300-2315	0	12	4	0	0	0	0	0	0	0	0	0	0	16	
2315-2330	0	7	5	0	0	0	0	0	0	0	0	0	0	12	
2330-2345	0	3	2	0	0	0	0	0	0	0	0	0	0	5	
2345-0000	0	2	0	0	0	0	0	0	0	0	0	0	0	2	35

Session Total	2	3061	928	28	57	61	0	17	22	4	0	0	0	4180
Session Average	0.02	31.89	9.67	0.29	0.59	0.64	0.00	0.18	0.23	0.04	0.00	0.00	0.00	43.54
Session Percentage	0.05	73.23	22.20	0.67	1.36	1.46	0.00	0.41	0.53	0.10	0.00	0.00	0.00	

AM Peak Hour	-	0700-0800	0700-0800	0615-0715	0730-0830	0745-0845	-	0800-0900	0715-0815	0715-0815	-	-	-	0700-0800
AM Peak Volume	0	344	74	8	11	11	0	4	1	2	0	0	0	437

Noon Peak Hour	1400-1500	1430-1530	1215-1315	1445-1545	1015-1115	1230-1330	-	1330-1430	1100-1200	1100-1200	-	-	-	1430-1530
Noon Peak Volume	2	300	82											

Bi-Directional Class Count || Bi-Directional 15min

Dawsonville, GA



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Site 1
Dawson Forest Rd E,
west of Goodson Rd

Date
Tuesday, September 28, 2021

Weather
Fair
73°F

Lat/Long
34.349107°, -84.109646°

0000 - 2400 (Weekday 24h Session) (09-28-2021)
Bi-Directional 15min

Time	Bi-Directional 15min													15min Total	60min Total
	Class 1	Class 2	Class 3	Class 4	Class 5	Class 6	Class 7	Class 8	Class 9	Class 10	Class 11	Class 12	Class 13		
0000-0015	0	5	1	0	0	0	0	0	0	0	0	0	0	6	
0015-0030	0	2	1	1	0	0	0	0	0	0	0	0	0	4	
0030-0045	0	3	0	0	0	0	0	0	0	0	0	0	0	3	
0045-0100	0	4	0	0	0	0	0	0	0	0	0	0	0	4	17
0100-0115	0	3	0	0	0	0	0	0	0	0	0	0	0	3	
0115-0130	0	1	1	0	0	0	0	0	0	0	0	0	0	2	
0130-0145	0	4	1	0	0	0	2	0	0	0	0	0	0	7	
0145-0200	0	3	0	0	0	0	0	0	0	0	0	0	0	3	15
0200-0215	0	3	0	0	0	0	0	0	0	0	0	0	0	3	
0215-0230	0	3	1	0	0	0	0	0	0	0	1	0	0	4	
0230-0245	0	1	0	0	0	1	0	0	0	0	0	0	0	2	
0245-0300	0	4	0	0	0	1	0	0	0	0	0	0	0	5	14
0300-0315	0	0	0	0	0	1	0	0	0	0	0	0	0	1	
0315-0330	0	1	1	0	1	0	0	0	0	0	0	0	0	3	
0330-0345	0	4	0	0	0	0	0	0	0	0	0	0	0	4	
0345-0400	0	2	0	0	0	0	0	0	0	0	0	0	0	2	10
0400-0415	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
0415-0430	0	7	0	0	0	0	0	0	0	0	0	0	0	7	
0430-0445	0	7	2	0	0	0	0	0	0	0	0	0	0	9	
0445-0500	0	7	3	0	0	0	0	0	1	0	0	0	0	11	27
0500-0515	0	9	0	0	1	0	0	0	0	0	0	0	0	10	
0515-0530	0	13	6	1	0	0	0	0	0	0	0	0	0	20	
0530-0545	0	8	2	0	1	1	0	0	0	0	0	0	0	12	
0545-0600	0	21	12	1	2	2	0	0	0	0	0	0	0	38	80
0600-0615	0	27	10	0	0	1	0	0	0	0	0	0	0	38	
0615-0630	0	44	21	4	2	1	0	0	0	0	0	0	0	72	
0630-0645	0	43	19	0	1	2	0	0	0	0	1	0	0	66	
0645-0700	0	82	32	3	4	2	0	0	0	0	0	0	0	123	299
0700-0715	0	108	29	6	0	1	0	0	0	0	0	0	0	144	
0715-0730	0	173	44	1	1	5	0	0	0	1	0	0	0	225	
0730-0745	0	204	65	1	5	4	0	0	1	1	0	0	0	281	
0745-0800	0	160	51	3	3	7	0	0	1	0	0	0	0	225	875
0800-0815	0	117	40	1	5	6	2	2	1	1	0	0	0	175	
0815-0830	0	65	46	1	3	3	0	0	1	1	0	0	0	120	
0830-0845	0	83	31	0	2	4	1	0	0	0	0	0	0	121	
0845-0900	1	70	39	1	4	7	0	2	0	0	0	0	0	124	540
0900-0915	0	51	21	1	2	2	0	1	3	0	0	0	0	81	
0915-0930	0	72	36	0	2	6	0	0	3	0	0	0	0	119	
0930-0945	2	61	36	0	2	2	0	0	0	0	0	0	0	103	
0945-1000	0	72	34	0	2	8	0	0	0	1	0	0	0	117	420
1000-1015	0	55	25	0	4	4	0	0	2	0	0	0	0	90	
1015-1030	0	46	28	0	2	6	0	0	1	0	0	0	0	83	
1030-1045	0	60	31	0	3	3	0	0	0	1	0	0	0	98	
1045-1100	0	66	33	0	4	2	0	2	3	0	0	0	0	110	
1100-1115	0	70	40	0	4	5	0	1	1	0	0	0	0	121	
1115-1130	0	64	37	1	2	5	0	0	3	0	0	0	0	112	
1130-1145	0	74	41	0	3	2	0	0	1	0	0	0	0	121	
1145-1200	0	80	32	1	2	3	0	1	1	1	0	0	0	121	475
1200-1215	0	76	22	1	3	3	0	2	0	0	0	0	0	107	
1215-1230	0	88	40	1	4	5	0	1	1	0	0	0	0	120	
1230-1245	0	99	40	2	2	3	0	2	1	0	0	0	0	147	
1245-1300	0	84	38	0	1	5	0	1	2	0	0	0	0	131	505
1300-1315	0	75	39	0	1	2	0	0	0	0	0	0	0	117	
1315-1330	1	62	42	1	2	6	0	0	1	0	0	0	0	115	
1330-1345	1	70	32	0	0	2	0	1	4	0	0	0	0	110	
1345-1400	1	76	28	1	2	2	0	0	0	0	0	0	0	110	452
1400-1415	1	83	36	1	1	5	0	1	4	0	0	0	0	132	
1415-1430	1	95	31	1	2	5	0	3	1	0	0	0	0	139	
1430-1445	1	118	36	1	0	1	0	0	4	0	0	0	0	161	
1445-1500	2	135	32	23	3	3	0	0	0	0	0	0	0	198	630
1500-1515	0	177	39	9	1	2	0	0	0	0	0	0	0	228	
1515-1530	0	139	40	0	0	3	0	1	3	0	0	0	0	186	
1530-1545	0	108	37	3	1	2	0	0	5	0	0	0	0	156	
1545-1600	0	103	47	3	1	2	0	0	0	0	0	0	0	156	726
1600-1615	1	120	38	0	3	1	0	2	1	0	0	0	0	166	
1615-1630	0	111	41	1	3	3	0	0	1	0	0	0	0	160	
1630-1645	0	131	52	1	4	3	0	0	0	0	0	0	0	191	
1645-1700	1	169	55	0	1	1	0	1	1	0	0	0	0	229	746
1700-1715	1	137	65	1	1	1	0	1	0	0	0	0	0	207	
1715-1730	0	153	55	0	3	0	0	0	0	0	0	0	0	211	
1730-1745	1	125	43	0	3	1	0	0	0	0	0	0	0	173	
1745-1800	1	134	62	0	0	0	0	0	2	0	0	0	0	199	790
1800-1815	1	113	61	0	3	2	0	0	0	0	0	0	0	180	
1815-1830	1	98	59	0	3	1	0	1	0	0	0	0	0	163	
1830-1845	0	93	54	0	0	1	0	0	1	0	0	0	0	149	
1845-1900	0	107	42	0	1	0	0	0	0	0	0	0	0	150	
1900-1915	1	75	29	0	2	0	0	0	0	0	0	0	0	107	642
1915-1930	0	65	33	0	0	0	0	1	0	0	0	0	0	99	
1930-1945	0	68	27	1	2	0	0	0	0	0	0	0	0	98	
1945-2000	0	82	16	0	1	0	0	0	0	0	0	0	0	99	403
2000-2015	0	87	5	0	1	0	0	0	0	0	0	0	0	93	
2015-2030	0	84	2	0	1	0	0	0	0	0	0	0	0	87	
2030-2045	0	71	0	0	0	0	0	0	0	0	0	0	0	71	
2045-2100	0	73	2	0	0	0	0	0	0	0	0	0	0	75	
2100-2115	0	59	1	0	0	0	0	0	0	0	0	0	0	60	326
2115-2130	0	39	0	0	0	0	0	0	0	0	0	0	0	39	
2130-2145	0	31	0	0	2	0	0	0	0	0	0	0	0	33	
2145-2200	0	34	0	0	0	0	0	0	0	0	0	0	0	34	166
2200-2215	0	24	0	0	0	0	0	1	0	0	0	0	0	25	
2215-2230	0	27	0	0	0	0	0	0	0	0	0	0	0	27	
2230-2245	0	29	0	0	0	0	0	0	0	0	0	0	0	29	
2245-2300	0	14	0	0	0	0	0	0	0	0	0	0	0	14	95
2300-2315	0	14	4	0	1	0	0	0	1	0	0	0	0	20	
2315-2330	0	12	5	0	0	0	0	0	0	0	0	0	0	17	
2330-2345	0	5	2	0	0	0	0	0	0	0	0	0	0	7	
2345-0000	0	6	0	0	0	0	0	0	0	0	0	0	0	6	50

Session Total	19	6020	2184	76	126	162	3	31	57	5	1	0	0	8684	
Session Average	0.20	62.71	22.75	0.79	1.31	1.69	0.03	0.32	0.59	0.05	0.01	0.00	0.00	90.46	
Session Percentage	0.22	69.32	25.15	0.88	1.45	1.87	0.03	0.36	0.66	0.06	0.01	0.00	0.00		
AM Peak Hour	0845-0945	0715-0815	0730-0830	0615-0715	0730-0830	0715-0815	0745-0845	0800-0900	0830-0930	0715-0815	0545-0645	-	-	-	0715-0815
AM Peak Volume	3	654	202	13	16	22	3	5	6	3	1	0	0	906	
Noon Peak Hour	1400-1500	1430-1530	1230-1330	1445-1545	1000-1100	1015-1115	-	1145-1245	1315-1415	1100-1200	-	-	-	-	1430-1530
Noon Peak Volume	5	569</													

Bi-Directional Class Count || Volume Summary 15min



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Dawsonville, GA

Site 1

Dawson Forest Rd E,
west of Goodson Rd

Date

Tuesday, September 28, 2021

Weather

Fair
73°F

Lat/Long

34.349107°, -84.109646°

0000 - 2400 (Weekday 24h Session) (09-28-2021)

Volume Summary 15min

TIME	Volume Summary 15min		15min Total	60min Total
	EB	WB		
0000 - 0015	3	3	6	
0015 - 0030	2	2	4	
0030 - 0045	0	3	3	
0045 - 0100	2	2	4	17
0100 - 0115	2	1	3	
0115 - 0130	0	2	2	
0130 - 0145	4	3	7	
0145 - 0200	0	3	3	15
0200 - 0215	1	2	3	
0215 - 0230	3	1	4	
0230 - 0245	1	1	2	
0245 - 0300	4	1	5	14
0300 - 0315	1	0	1	
0315 - 0330	1	2	3	
0330 - 0345	1	3	4	
0345 - 0400	0	2	2	10
0400 - 0415	0	0	0	
0415 - 0430	3	4	7	
0430 - 0445	7	2	9	
0445 - 0500	9	2	11	27
0500 - 0515	5	5	10	
0515 - 0530	10	10	20	
0530 - 0545	8	4	12	
0545 - 0600	19	19	38	80
0600 - 0615	12	26	38	
0615 - 0630	40	32	72	
0630 - 0645	34	32	66	
0645 - 0700	54	69	123	299
0700 - 0715	52	92	144	
0715 - 0730	107	118	225	
0730 - 0745	154	127	281	
0745 - 0800	125	100	225	875
0800 - 0815	88	87	175	
0815 - 0830	63	57	120	
0830 - 0845	70	51	121	
0845 - 0900	74	50	124	540
0900 - 0915	37	44	81	
0915 - 0930	69	50	119	
0930 - 0945	66	37	103	
0945 - 1000	67	50	117	420
1000 - 1015	47	43	90	
1015 - 1030	45	38	83	
1030 - 1045	53	45	98	
1045 - 1100	65	45	110	381
1100 - 1115	58	63	121	
1115 - 1130	65	47	112	
1130 - 1145	65	56	121	
1145 - 1200	64	57	121	475

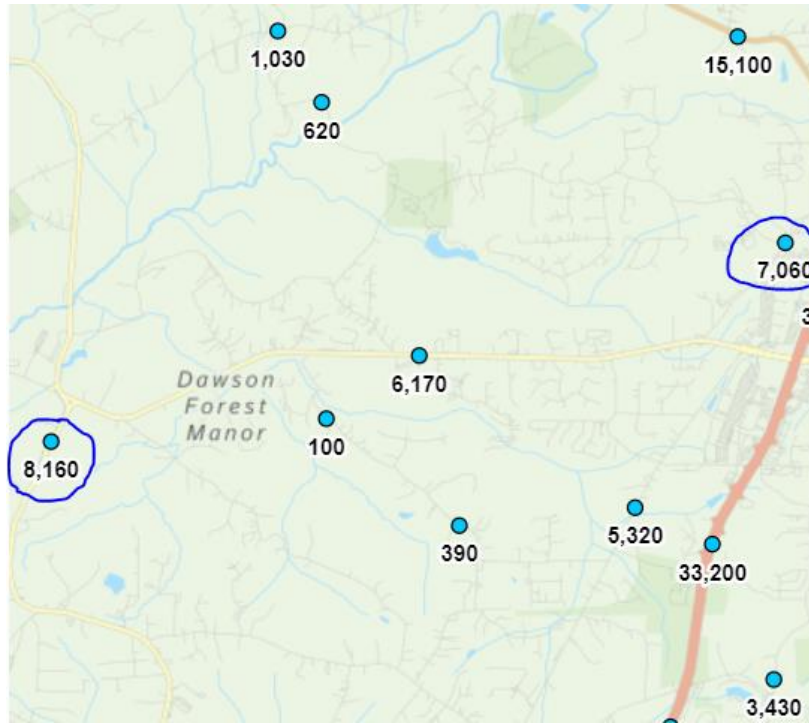
Time	Volume Summary 15min		15min Total	60min Total
	EB	WB		
1200 - 1215	63	44	107	
1215 - 1230	61	59	120	
1230 - 1245	82	65	147	
1245 - 1300	70	61	131	505
1300 - 1315	64	53	117	
1315 - 1330	63	52	115	
1330 - 1345	55	55	110	
1345 - 1400	48	62	110	452
1400 - 1415	71	61	132	
1415 - 1430	64	75	139	
1430 - 1445	69	92	161	
1445 - 1500	103	95	198	630
1500 - 1515	130	98	228	
1515 - 1530	104	82	186	
1530 - 1545	97	59	156	
1545 - 1600	88	68	156	726
1600 - 1615	77	89	166	
1615 - 1630	86	74	160	
1630 - 1645	96	95	191	
1645 - 1700	126	103	229	746
1700 - 1715	117	90	207	
1715 - 1730	114	97	211	
1730 - 1745	94	79	173	
1745 - 1800	106	93	199	790
1800 - 1815	91	89	180	
1815 - 1830	79	84	163	
1830 - 1845	80	69	149	
1845 - 1900	74	76	150	642
1900 - 1915	54	53	107	
1915 - 1930	48	51	99	
1930 - 1945	54	44	98	
1945 - 2000	54	45	99	403
2000 - 2015	48	45	93	
2015 - 2030	36	51	87	
2030 - 2045	30	41	71	
2045 - 2100	29	46	75	326
2100 - 2115	25	35	60	
2115 - 2130	13	26	39	
2130 - 2145	6	27	33	
2145 - 2200	15	19	34	166
2200 - 2215	13	12	25	
2215 - 2230	9	18	27	
2230 - 2245	17	12	29	
2245 - 2300	6	8	14	95
2300 - 2315	4	16	20	
2315 - 2330	5	12	17	
2330 - 2345	2	5	7	
2345 - 0000	4	2	6	50

Session Total	4504	4180	8684
Session Average	46.92	43.54	90.46
Session Percentage	51.87	48.13	

Appendix D


GDOT Traffic Data

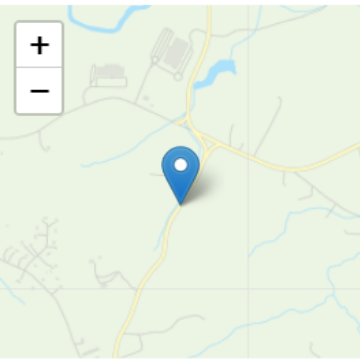
Location Map of GDOT Count Stations



000085_0101 - 085-0101
Description: BEG FORSYTH 117
County: Dawson
Route number: 0000900
LRS section: 085100900
Functional class: 6U - Minor Collector (Urban)
Coordinates: 34.3473147331233, -84.1152072446982

Site Data






Leaflet | Maps © Thunderforest, Data © OpenStreetMap contributors

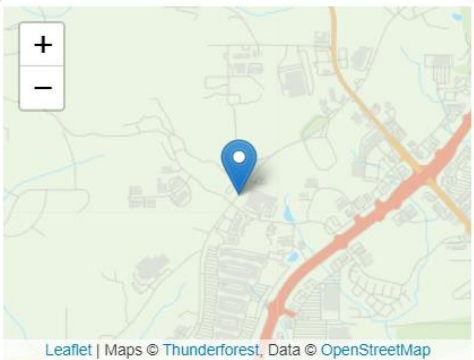
Count History

Year	Month	Count type	Duration	Count
2021	May	Class	48 hours	8108
2019	January	Volume	48 hours	8814
2015	May	Class	48 hours	7454
2013	November	Volume	48 hours	6764
2011	August	Class	48 hours	6645
2010	July	Class	48 hours	6610

000085_0202 - 085-0202
Description: Lumpkin Camp Ground Rd
County: Dawson
Route number: 00022300
LRS section: 0852022300
Functional class: 6U - Minor Collector (Urban)
Coordinates: 34.36235361, -84.04782588

Site Data





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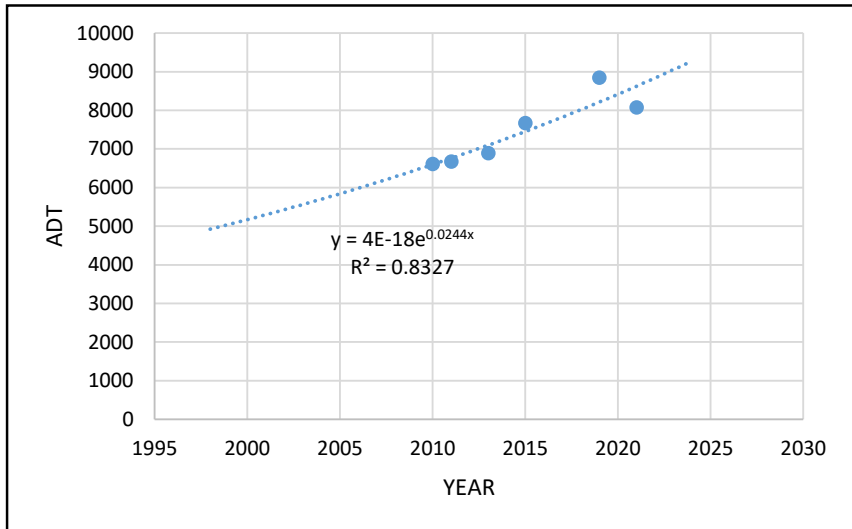
Count History

Year	Month	Count type	Duration	Count
2018	May	Volume	48 hours	8228
2015	May	Volume	48 hours	6665
2011	August	Volume	48 hours	7086

Count Station: GDOT #085-0101
 Street: SR 9
 Location: South of Dawson Forest Road
 Source: GDOT

YEAR	ADT	TREND
1998		4900
1999		5000
2000		5200
2001		5300
2002		5400
2003		5600
2004		5700
2005		5800
2006		6000
2007		6100
2008		6300
2009		6400
2010	6616	6600
2011	6673	6800
2012		6900
2013	6896	7100
2014		7300
2015	7670	7500
2016		7600
2017		7800
2018		8000
2019	8845	8200
2020		8400
2021	8081	8600
2022		8800
2023		9100
2024		9300

11-Years of Count Data
Trend Annual Historic Compound Growth Rate
 3.46%



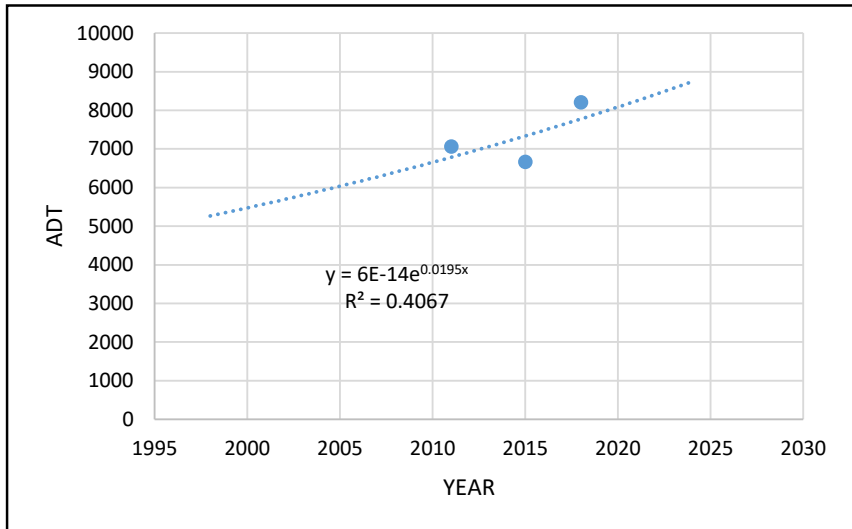
Count Station: GDOT #085-0202
 Street: Lumpkin Campground Road
 Location: North of Dawson Forest Road
 Source: GDOT

YEAR	ADT	TREND
1998		5300
1999		5400
2000		5500
2001		5600
2002		5700
2003		5800
2004		5900
2005		6000
2006		6200
2007		6300
2008		6400
2009		6500
2010		6700
2011	7066	6800
2012		6900
2013		7100
2014		7200
2015	6668	7300
2016		7500
2017		7600
2018	8210	7800
2019		7900
2020		8100
2021		8200
2022		8400
2023		8600
2024		8700

7-Years of Count Data

Trend Annual Historic Compound Growth Rate

2.99%



Appendix E

Intersection Volume Development

Traffic Impact Study
 Leblanc Tract Development
 Intersection Traffic Volumes

Intersection: #1 - Dawson Forest Road at Proposed Driveway

A.M. PEAK HOUR

Condition	Proposed Driveway				N/A				Dawson Forest Road			Dawson Forest Road		
	Northbound				Southbound				Eastbound			Westbound		
	U-turn	L	T	R	U-turn	L	T	R	L	T	R	L	T	R
Existing Volumes (2021)										474			432	
Annual Growth Rate	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%
Growth Factor	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104
Base Condition (2025)	0	0	0	0	0	0	0	0	0	523	0	0	477	0
Project Trips:														
Trip Distribution IN											30%		70%	
Trip Distribution OUT		30%		70%										
Residential Trips	0	62	0	144	0	0	0	0	0	0	21	48	0	0
Total Project Trips	0	62	0	144	0	0	0	0	0	0	21	48	0	0
Buildout Total (2025)	0	62	0	144	0	0	0	0	0	523	21	48	477	0

P.M. PEAK HOUR

Condition	Proposed Driveway				N/A				Dawson Forest Road			Dawson Forest Road		
	Northbound				Southbound				Eastbound			Westbound		
	U-turn	L	T	R	U-turn	L	T	R	L	T	R	L	T	R
Existing Volumes (2021)										453			385	
Annual Growth Rate	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%	2.5%
Growth Factor	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104	1.104
Base Condition (2025)	0	0	0	0	0	0	0	0	0	500	0	0	425	0
Project Trips:														
Trip Distribution IN											30%		70%	
Trip Distribution OUT		30%		70%										
Residential Trips	0	41	0	95	0	0	0	0	0	0	69	161	0	0
Total Project Trips	0	41	0	95	0	0	0	0	0	0	69	161	0	0
Buildout Total (2025)	0	41	0	95	0	0	0	0	0	500	69	161	425	0

Appendix F
Capacity Analysis Reports
Future Build Conditions – Year 2025

Intersection						
Int Delay, s/veh	3.6					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑	↗	↘	↑	↘	↗
Traffic Vol, veh/h	523	21	48	477	62	144
Future Vol, veh/h	523	21	48	477	62	144
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	150	150	-	0	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	568	23	52	518	67	157

Major/Minor	Major1	Major2	Minor1	Minor2	Minor3
Conflicting Flow All	0	0	591	0	1190
Stage 1	-	-	-	-	568
Stage 2	-	-	-	-	622
Critical Hdwy	-	-	4.12	-	6.42
Critical Hdwy Stg 1	-	-	-	-	5.42
Critical Hdwy Stg 2	-	-	-	-	5.42
Follow-up Hdwy	-	-	2.218	-	3.518
Pot Cap-1 Maneuver	-	-	985	-	207
Stage 1	-	-	-	-	567
Stage 2	-	-	-	-	535
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	985	-	196
Mov Cap-2 Maneuver	-	-	-	-	196
Stage 1	-	-	-	-	567
Stage 2	-	-	-	-	507

Approach	EB	WB	NB
HCM Control Delay, s	0	0.8	20.2
HCM LOS			C

Minor Lane/Major Mvmt	NBLn1	NBLn2	EBT	EBR	WBL	WBT
Capacity (veh/h)	196	522	-	-	985	-
HCM Lane V/C Ratio	0.344	0.3	-	-	0.053	-
HCM Control Delay (s)	32.7	14.8	-	-	8.9	-
HCM Lane LOS	D	B	-	-	A	-
HCM 95th %tile Q(veh)	1.4	1.3	-	-	0.2	-

Intersection						
Int Delay, s/veh	3.6					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑	↗	↘	↑	↘	↗
Traffic Vol, veh/h	500	69	161	425	41	95
Future Vol, veh/h	500	69	161	425	41	95
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	150	150	-	0	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	543	75	175	462	45	103

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	618	0	1355 543
Stage 1	-	-	-	-	543 -
Stage 2	-	-	-	-	812 -
Critical Hdwy	-	-	4.12	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	-	-	2.218	-	3.518 3.318
Pot Cap-1 Maneuver	-	-	962	-	165 540
Stage 1	-	-	-	-	582 -
Stage 2	-	-	-	-	437 -
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	962	-	135 540
Mov Cap-2 Maneuver	-	-	-	-	135 -
Stage 1	-	-	-	-	582 -
Stage 2	-	-	-	-	357 -

Approach	EB	WB	NB
HCM Control Delay, s	0	2.6	22.6
HCM LOS			C

Minor Lane/Major Mvmt	NBLn1	NBLn2	EBT	EBR	WBL	WBT
Capacity (veh/h)	135	540	-	-	962	-
HCM Lane V/C Ratio	0.33	0.191	-	-	0.182	-
HCM Control Delay (s)	44.3	13.2	-	-	9.6	-
HCM Lane LOS	E	B	-	-	A	-
HCM 95th %tile Q(veh)	1.3	0.7	-	-	0.7	-



MEMORANDUM

TO: Sharon Farrell, Director
Dawson County Planning and Development
Other Interested Parties

FROM: Adam Hazell, AICP, Planning Director *AH*

DATE: October 18, 2021

SUBJECT: DRI Project Review, Dawson County

PROJECT: DRI-3466, Leblanc Tract

The Georgia Mountains Regional Commission (GMRC) has completed the review of the project identified above. Based on comments received and staff analysis of this project, conducted in accordance with the Georgia Department of Community Affairs' Procedures for the Review of Developments of Regional Impact, the GMRC finds that the proposed action does NOT present any potential adverse inter-jurisdictional impacts, but the GMRC does recommend adding another access point and providing a fixed amenity area. Please note that this finding is advisory only and assumes the project will proceed as presented to the GMRC and will comply with all applicable local, State and federal rules and regulations.

Copies of the staff review, any comments from interested stakeholders and any recommendations have been included with this memo. They should be considered and addressed by the local government in its final determination and review/permitting procedures for the finding to remain as stated.



DRI #3466 – Leblanc Tract

STATEMENT OF FINDING

Based on the information provided, comments received, a review of the local comprehensive plan and prevailing DRI review criteria, the GMRC staff analysis finds that this project does NOT present any potential adverse inter-jurisdictional impacts. *The GMRC does recommend adding another access point and providing a fixed amenity area.* The finding assumes the project will proceed as presented to the GMRC and only if the project complies with all applicable local, State and federal rules and regulations and if the following advisory comments and recommendations are considered and addressed.

Summary of Staff Review

- The proposal calls for a 160 acre “conservation design” subdivision consisting of 379 lots.
- The development sits approximately 3.5 miles west of the GA 400 commercial power centers anchored by the North Georgia Premium Outlets. It is located at the intersection of Dawson Forest Road, a growing residential arterial stretching from GA 400, and SR9, a minor north/south arterial reaching up to Dawsonville. The intersection is just near the Dawson Middle School-Riverview Elementary campus. Overall, the subject property is within a major development corridor for the county and has been targeted by local plans for comparable scale activity. *No regional concerns regarding utilities.*
- The proposal projects approximately 25% impervious surface coverage, the rest being a combination of preserved greenspace, detention areas, and speculative private yards. According to the application, the proposal “*will maintain stream buffers and direct storm drainage into detention and water quality facilities. No impacts to streams or wetlands are proposed.*” These are designed around the perennial and intermittent streams on site. While no State Vital areas are listed on site, the property is within the Etowah River drainage basin and part of an area projected to see more development, so best management practices concerning runoff management are recommended.

While the concept of preserved greenspace is ideal, there is some concern about the application. Specifically, the mechanism to ensure the land will remain undeveloped and protected from unpermitted disturbance and erosion. Since these places do not appear to be programed for passive use, the County will want assurances the parcels will remain natural in perpetuity. *Assuming compliance with all applicable federal, State and local regulations, there are no regional concerns regarding environmental protection.*



- According to the application: *“A formal traffic study hasn’t been performed. Traffic is anticipated to access Dawson Forest Rd with an emergency only entry/exit on Goodson Rd. The only access improvements anticipated is a right-in decel lane and the addition of a left turn lane on Dawson Forest Rd. The adjoining intersection of SR 9 & Dawson Forest Rd has recently been improved with two adjacent round-a-bouts.”* The project is projected to generate over 3,600 vehicle trips per day, with peak hour counts ranging from approximately 140 to 250 trips.

Conventional subdivision standards promote a minimum of two access points for any development over 50 units, both to relieve traffic flow and provide alternate route options for emergency vehicles. For subdivisions of this size and lacking pedestrian connectivity to neighboring activity centers, two or three access points would be considered critical to avoid creating interior traffic hazards (such as bottlenecking) near the sole intersection access. Given the property abuts Goodson Road to the east there is ample opportunity to create at least one more access point, which should be a given. Further, if the County eventually projects sidewalks or trails along Dawson Forest Road, then they should work with the developer to provide interior sidewalks along at least one side of the major streets with the ambition of someday allowing pedestrians to travel from this subdivision to the nearby parks and schools.

There are no regional concerns regarding traffic or transportation infrastructure, but a strong recommendation to include at least one more access point.

- ***Additional Note:*** The application materials promote the project as a “conservation subdivision.” We take this to mean a conservation design style project that is focused on preserving undeveloped greenspace. The idea is one heavily supported by the GMRC and we applaud the intention, but it should be noted that such residential developments also typically employ other measures to ensure not only the integrity of the greenspace but also the viability of the housing units. Such developments provide a range of housing models and price points, so that the market for the community can rise beyond simply the lowest economic tier, and they feature a variety of publicly accessible amenity areas, so that in lieu of larger private lots the residents can still enjoy spaces for recreation and socializing. Given the inherent site restrictions, as shown the proposal appears less like a conservation design development but more like a cluster housing project with a bonus parcel left undeveloped. The County should work with the developer to find ways to introduce defined amenity spaces and either a variety of housing price points or some design standards that ensure this doesn’t become a minimalist development.



CONSISTENCY REVIEW	
Is the proposed DRI compliant with ...	Comment
<i>The GMRC Regional Plan?</i>	Yes, but improvements could be made.
<i>Other State or regional plans for the area?</i>	Yes
<i>Applicable Service Delivery Agreements and/or land use management measures?</i>	Yes
<i>Projected capacity for utilities and services?</i>	Yes
<i>Are there any potential inter-jurisdictional conflicts identified by the GMRC?</i>	No significant or standing conflict was raised or identified by staff.

Outside Comments Received

(Copies of full comments can be found as submitted attached to this report.)

- Gilmer County



**Georgia Mountains
Regional Commission**

DEVELOPMENTS OF REGIONAL IMPACT
Comments Form

Project Name: **Leblanc Tract**

Project I.D.: **DRI-3466**

Name of Commenting Organization: Gilmer County Planning and Zoning

Address: 1 Broad Street

Suite 002

Ellijay, Ga. 30540

Contact Person: Karen Henson

Telephone No.: 706-635-3406

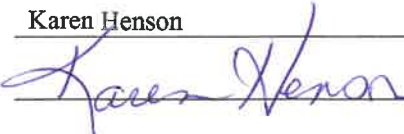
Do you believe your jurisdiction will be affected by the proposed development? Yes No

Please describe the effects (positive and/or negative) the proposed project could have on your jurisdiction:

The residents will travel to Gilmer County for tourism / agritourism purposes, which will be a positive effect on Gilmer County.

Form Completed By: Karen Henson

Title: Director

Signature: 

Date: 10/05/2021

Mail Comments to: Adam Hazell
Planning Director
P. O. Box 1720
Gainesville, GA 30503

O: 770.538.2617
F: 770.538.2625
E-mail: ahazell@gmrc.ga.gov

Comments Due By: **October 16, 2021**



**DAWSON COUNTY PLANNING COMMISSION
PLANNING STAFF REPORT**

Applicant.....King Consulting and Development

Amendment #.....ZA 21-21 & VR 21-18

Request #1Rezone the property from R-A (Residential Agricultural) to RS 3 (Residential Suburban 3)

Request #2Variance from the Dawson County Subdivision Regulations Article X, Section 1008 D

Proposed Use.....To develop 379 Single-Family residences with a reduction of minimum lot width requirement reduction

Current Zoning.....R-A (Residential Agricultural)

Size160.63± acres

LocationGoodson Rd./Hwy 9 South/Dawson Forest Rd.

Tax Parcel.....098-015, 098-016-001, 098-016-002

Planning Commission DateOctober 19, 2021

Board of Commissioners Date.....November 18, 2021

Applicant Proposal

Develop a 379-lot single family residential community leaving approximately 80 acres that will be dedicated as conservation land.

Site Characteristics:

No flood zones have been identified on the property. The topography of the site varies from roughly 1150 Elev. along Dawson Forest Rd. to 1255 Elev. in the interior of the project site. Lots are expected to be graded to elevations of a maximum of 1220 to around 1170 Elev.

Existing Land Uses

The current use of the property has two single-family residences on two of the parcels with remainder being vacant wooded land.

Adjacent Land Uses	Existing zoning	Existing Use
North	R-A	Single Family
South	R-A	Single Family Residential/Vacant
East	RS	Residential
West	RSR	Vacant

Development Support and Constraints

Subject property is bordered by GA Hwy 9, Dawson Forest Road and Goodson Road, adequate ingress and egress from the property is possible. The property is in proximity to two schools Riverview Elementary and Dawson County Middle School and within 0.25 miles of Fire Station #7.

While additional traffic in the area is concerning, the intersection of Dawson Forest Road and GA Hwy 9 has recently been improved to a double roundabout facilitating increased traffic flow.

Relationship to the Comprehensive Plan and FLUP (Future Land Use Plan)

According to the Comprehensive Plan and accompanying FLUP (Future Land Use Plan), the subject property is identified as Light Industrial and Mixed Use Village. Industrial districts are established where some light industrial operations such as warehousing and low intensity manufacturing can occur without objectionable impacts such as noise, vibration, smoke, dust, gas, fumes, odors, and radiation and that do not create fire or explosion hazards or other objectionable conditions. They are to be located in areas with close proximity to arterial highways and/or adjacent access roads, with particular attention paid to traffic patterns and schedules for any heavy freight vehicles. The Mixed Use Village development pattern consists of sites of local cultural significance that will experience growth related to the cultural resources. These areas in the future will include a mixture of uses that support the cultural resources This project is thus partially relatable to the residential component of the Mixed Use Village development pattern. However, no other relationships to either the Light Industrial and Mixed Use Village development patterns exist.

Public Facilities/Impacts

Engineering Department – No comments returned as of 10/14/2021

Environmental Health Department – No comments returned due to the project facilitating public water and sewer.

Emergency Services – “These comments are preliminary observations only (based on information included in the application), and should not be construed as a final position from this office on all matters related to the proposed property development.

- 1) All apparatus access roads within the proposed development shall conform to the requirements of IFC Appendix D for width, hydrants, no parking, turnarounds, etc.
- 2) Dawson County Fire Ordinance Sect. 22-22(a) requires a minimum 1-hour fire resistance rating of paralleling exterior walls within 25 feet of a lot line and/or 20 feet of another occupiable structure.”

Etowah Water & Sewer Authority- “Water main and sewer upgrades and extensions will be necessary to serve the project per EWSA specifications t the developer’s expense.”

Dawson County Sheriff’s Office – No comments returned as of 10/14/2021

GDOT: “Further coordination with GDOT will be necessary for this project.”

Dawson County Board of Education- No improvements planned and teachers will be added as needed.

	D.C. High School	D.C. Jr. High School	D.C. Middle School	Riverview Elementary
Recommend Capacity	1400	725	725	725
Latest Enrollment	824	575		402

Zoning Element of Request:

The following observations should be noted with respect to this request:

A. The existing uses and classification of nearby property.

The surrounding uses of the adjoining properties are RA, RSR and a vacant parcel zoned C-HB.

B. The extent to which property values are diminished by the particular land use classification.

There should be no diminished values to the surrounding properties.

C. The extent to which the destruction of property values of the applicant promotes the health, safety, morals, or general welfare of the public.

There should be no destruction of property values.

D. The relative gain to the public, as compared to the hardship imposed upon the individual property owner.

Theoretically, increased property values due to the construction of this project, as opposed to vacant land may be a gain to the public. However, industrial development has less of a level of service burden on the tax digest. Development of properties designated as *Light Industrial* on the Future Land Use Plan as industrial aides in covering the public expenditures of residential growth.

E. The suitability of the subject property for the proposed land use classification.

The property is suitable for the proposed land use classification due to close proximity other properties of the same use. However, constraints of the surrounding roadways should be considered.

F. The length of time the property has been vacant under the present classification, considered in the context of land development in the area in the vicinity of the property.

The property was used as single family from the late 1980's to the present.

G. The specific, unusual, or unique facts of each case, which give rise to special hardships, incurred by the applicant and/or surrounding property owners.

There are no hardships associated with the parcel that have been documented by the applicant.

Variance Element of Request:

The applicant is requesting a reduction of lot widths for internal subdivided parcels from 60 feet as required Article X Section 1003.D. of the Subdivision Regulations to 50 feet in width.

Applicant Criteria of Need

To be considered for a variance, the following four (4) criteria must be addressed:

That a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty or unnecessary hardship; and a strict and literal interpretation of the code would not allow the proposed to occur:

A strict and literal interpretation and enforcement of Article X, Section 1003.D. of Subdivision Regulations will result in the applicant's inability to subdivide the property to the extent they desire. There are no hardships associated with the development of 60-foot lot widths.

That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties in the same district.

There are no extraordinary circumstances or conditions associated with lot widths, conversely a narrow lot size may cause future hardships for homeowners.

The granting of the variance will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the near vicinity; and

No detriment to the public health, safety or welfare nor any materially injurious effects to the near vicinity have been noted.

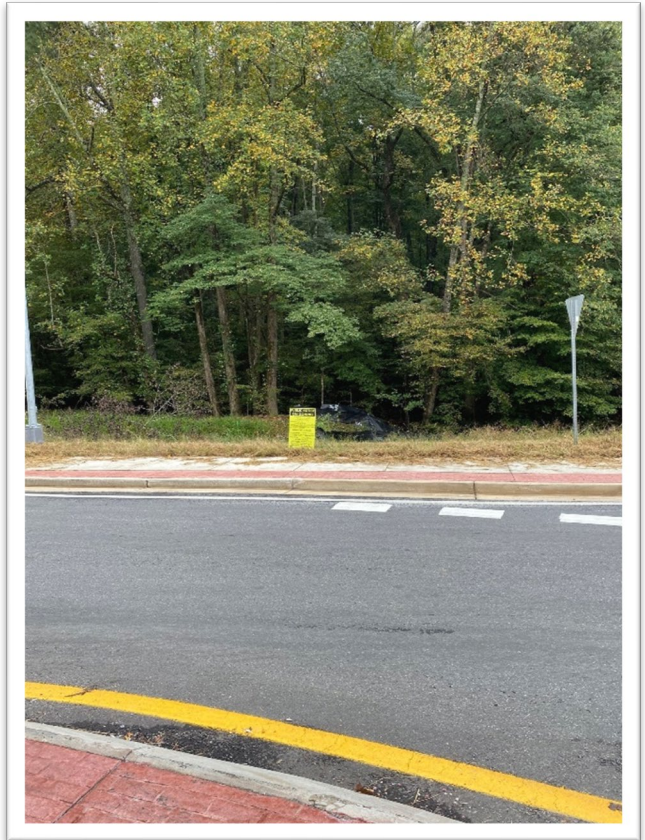
That the granting of the variance would support general objectives contained within this Resolution.

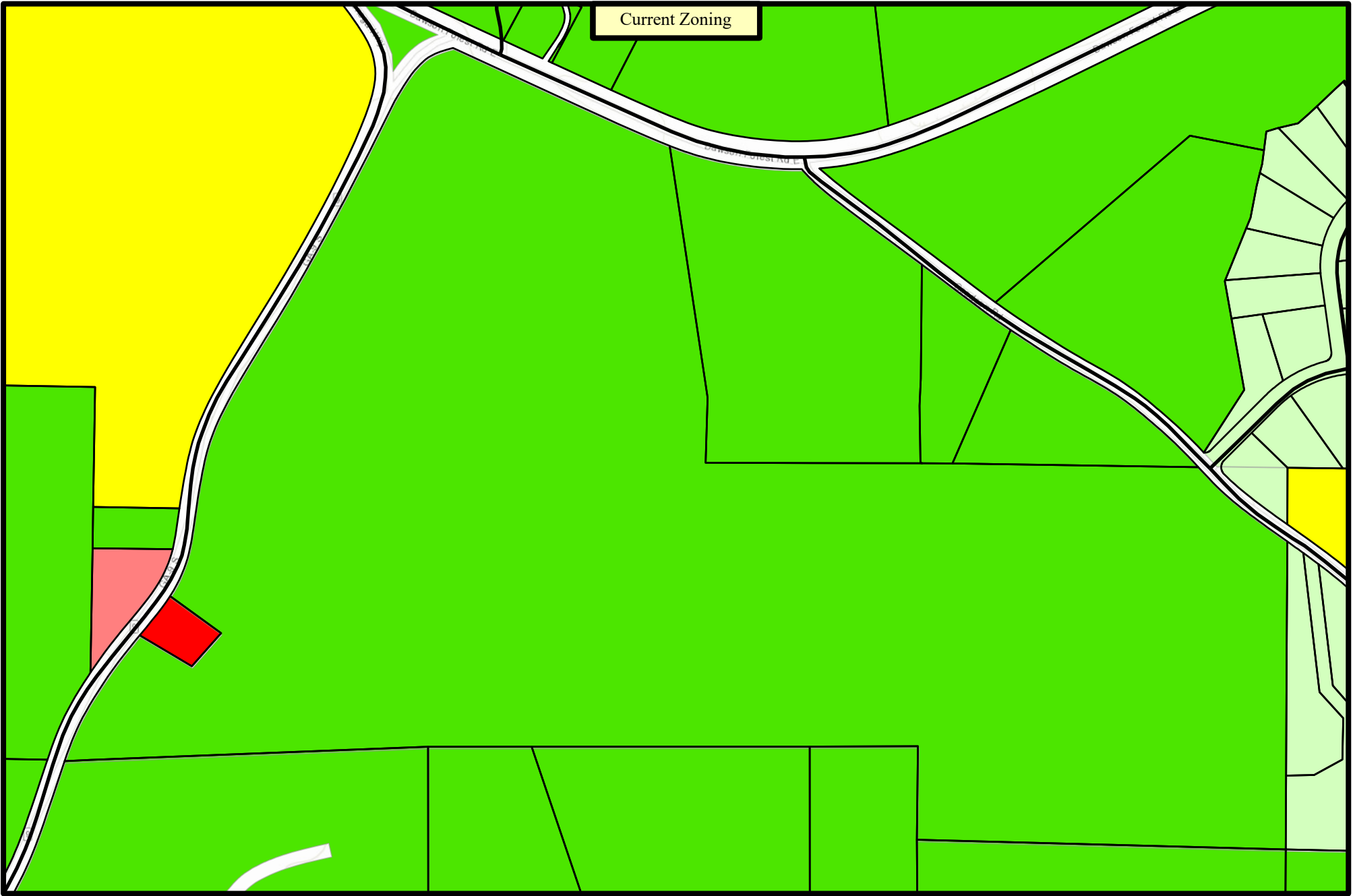
The objectives of providing appropriate lot widths for housing separation could still be met by the application of the requested variance with narrow lot designed homes. The conservation of acreage proposed by the concept plan supports the concept of narrow lots.

ANALYSIS

This property appears to be suitable for the residential use requested and a variance to lot widths would provide the developer with the opportunity to increase the number of lots which would the developer suggests would increase marketability due to current housing trends for smaller lots. The proposal is consistent both with current housing trends in the area but not with the FLUP which targets the area for light industrial development and mixed use commercial/residential. The targeted future use of light industrial was most probably due to the size of the parcel and its proximity to both GA. Hwy. 9 and GA. 400 however the trend for the area appears to be towards residential housing rather than commercial/industrial growth.

Pictures of Property/ Posted Public Hearing Signs:





Current Zoning



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N



Scale: 1:6,760

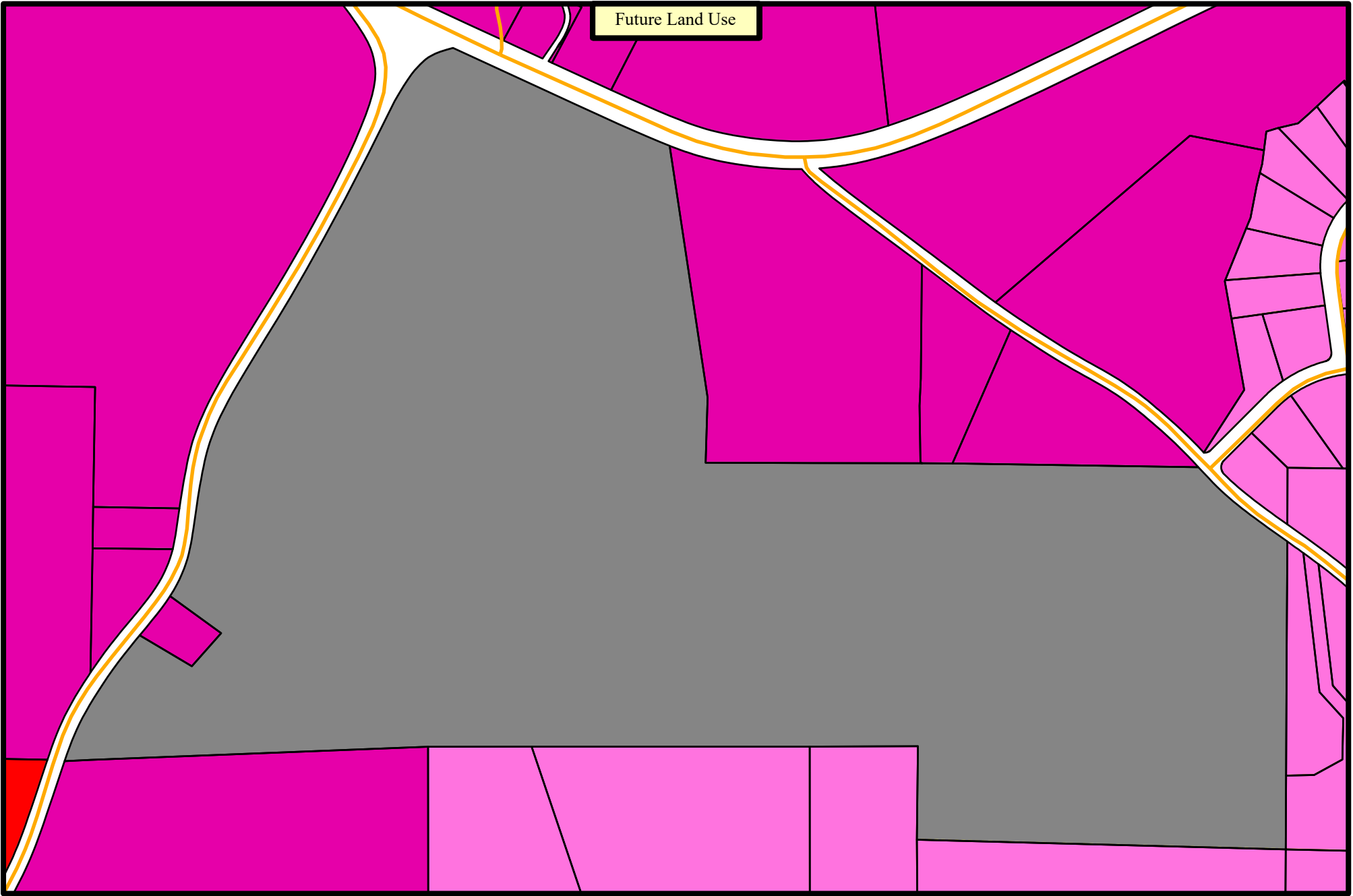
Dawson County

Planning and Development

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Site Report


Parcel #: 098-015
 Current Zoning: RA
 FLU: LI
 Application #: ZA 21-21 & VR 21-18




Future Land Use

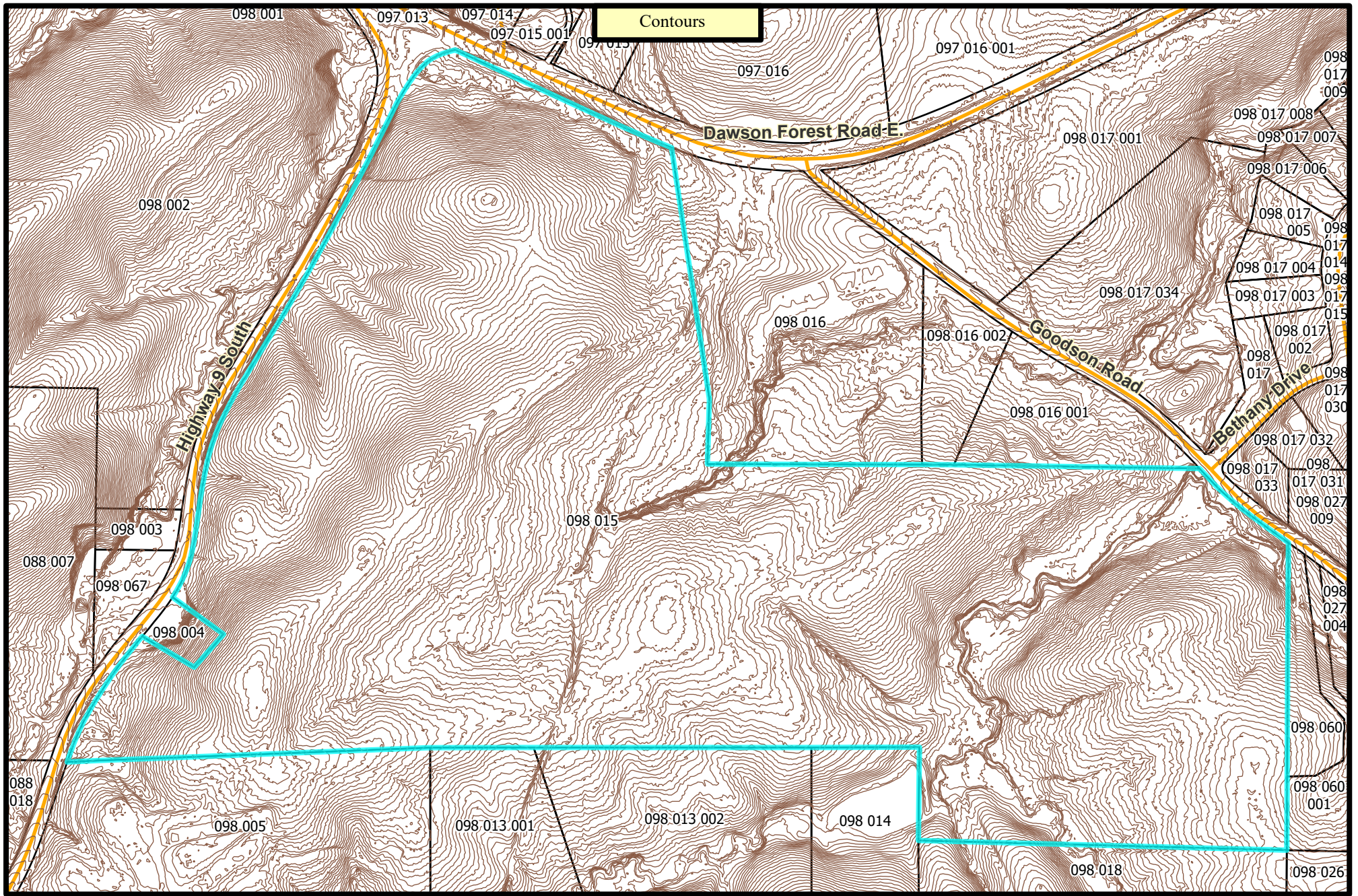


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N

 Scale: 1:6,760

Dawson County
 Planning and Development

 Staff Report

Parcel #: 098-015
 Current Zoning: RA
 FLU: LI
 Application #: ZA 21-21 & VR 21-18



Contours

Dawson County
 Planning and Development
 185
 Staff Report

Parcel #: 098-015
 Current Zoning: RA
 FLU: LI
 Application #: ZA 21-21 &
 VR 21-18



DAWSON COUNTY DISCLAIMS ANY RESPONSIBILITIES, LIABILITIES OR DAMAGES FROM THE USE OF THIS MAP. THIS MAP IS ONLY FOR DISPLAY PURPOSES.

N

 Scale: 1:6,760

DENIAL

PUBLIC HEARING OF REZONING REQUEST

We, the Dawson County Planning Commission, do hereby recommend denial the following rezoning request:

ZA #: 21-21 + VR 21-18 DATE OF HEARING: 10-19-21

Applicant's Name: Jim King

Address: 131 Prominence Ct. Ste. 230 Dawsonville, GA 30534

Tax Map Parcel & Parcel Number: 098-015-098-016-001 Parcel Currently Zoned: RA
+ 098-016-008

Rezoning Requested: RSB

This recommendation for approval is based upon the following which we feel will/will not:

- A. Affect the property values of surrounding property.
- B. Affect the health, safety or general welfare of the public.
- C. Impose any special hardships on the surrounding property owners.
- D. The subject property is suited for the proposed land use.

This recommendation for approval is, however, subject to the following stipulations and/or modifications:


Chairman Jason Hamby
Dawson County Planning Commissioner

10-19-21
Date

DAWSON COUNTY GOVERNMENT BUDGET PRESENTATION FY 2022



Presented by:
Chairman Billy Thurmond
October 7, 2021

Budget Goals

- ▶ Prepare a realistic, revenue based budget.
- ▶ Budget conforms to the reduced millage rate from 7.885 to 7.625.
- ▶ Provide same or improved level of funding for all departments—thus improving level of service.
- ▶ Provide all departments /agencies the opportunity to present their requests to the full Board during public hearings.

Budget Challenges

- ▶ Increased personnel costs
- ▶ Increasing operational needs of multiple departments
- ▶ Anticipate any foreseeable changes in revenue sources

General Fund

- ▶ Main operating fund of the County. All property tax received by the County government provides revenue to the General Fund.
- ▶ In this proposed budget, property tax provides 39.17% of revenue for General Fund.

Where we started.....

- ▶ General Fund operating requests totaled \$26,643,416.
- ▶ Over \$5.4 million in capital requests.
- ▶ Over \$2.6 million in new personnel/salary change requests.

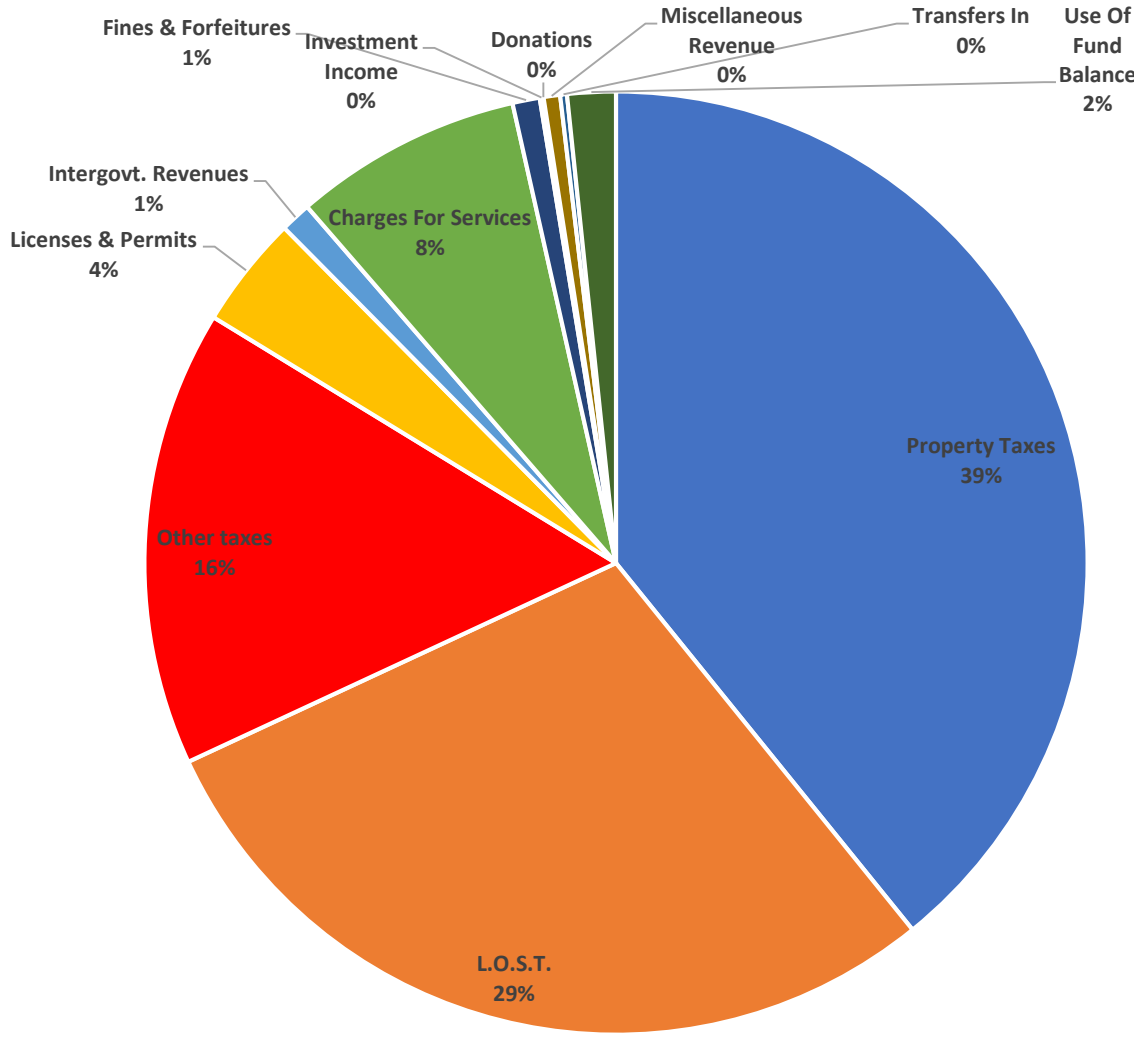
FY 2021 Original Budget was \$30,788,031

FY 2021 Current budget is \$32,114,834

General Fund Revenue Changes

- ▶ In 2021, the County received word it would receive \$5 million from the Federal Government as a part of the American Rescue Plan Act (ARPA).
- ▶ In this proposed budget, those funds are programmed to cover salary increases provided to First Responders—includes Sheriff officers, Emergency Services and Public Works. Those costs total over \$1.5 million for 2022 and are budgeted in Special Revenue fund 230. This funding will cover these costs for the next 3 years.
- ▶ This proposed budget includes use of fund balance (reserves) of \$534,017.

Revenue Sources



- Property Taxes
- L.O.S.T.
- Other taxes
- Licenses & Permits
- Intergovt. Revenues
- Charges For Services
- Fines & Forfeitures
- Investment Income
- Donations
- Miscellaneous Revenue
- Transfers In
- Use Of Fund Balance

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Proposed General Fund Expenditures by Function

	FY 2022 Proposed Budget	FY 2021 Budget Amended	% Change	FY 2021 Budget Original
General Government	6,528,549	6,114,073	6.78%	5,778,646
Judicial	3,861,952	3,532,727	9.32%	3,522,132
Public Safety-Sheriff	8,887,258	8,599,897	3.34%	8,478,523
Public Safety	5,983,209	6,398,193	-6.49%	5,821,844
Public Works	1,910,536	1,974,171	-3.22%	1,974,171
Health & Welfare	373,304	420,573	-11.24%	354,732
Recreation & Culture	1,735,485	1,773,631	-2.15%	1,706,447
Housing & Development	1,122,776	995,505	12.78%	1,014,046
Transfers out (uses)	1,772,944	2,306,064	-23.12%	2,137,490
Totals	32,176,013	32,114,834	0.19%	30,788,031
		Change from Original Budget	4.51%	

General Government

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Board of Commissioners	176,206	191,707	174,957	-8.09%
County Administration	248,293	258,512	258,512	-3.95%
Elections/Registrar	388,305	299,405	299,405	29.69%
General Government	1,467,816	1,267,865	1,202,252	15.77%
Finance	623,962	617,259	617,259	1.09%
Information Technology	719,222	535,618	535,618	34.28%
Human Resources	246,940	254,121	254,121	-2.83%
Tax Commissioner	462,543	435,071	435,071	6.31%
Tax Assessor	563,236	526,431	526,431	6.99%
Board of Equalization	21,621	18,807	18,807	14.96%
Risk Management	398,800	428,564	316,500	-6.95%
Facilities	1,102,867	1,167,339	1,026,339	-5.52%
Public Relations	108,738	113,374	113,374	-4.09%
Total General Government	6,528,549	6,114,073	5,778,646	6.78%
	Change from 2021 Original Budget			12.98%

Judicial

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Superior Court	660,141	541,254	568,324	21.97%
Clerk of Court	651,706	664,081	628,416	-1.86%
District Attorney	830,828	796,139	796,139	4.36%
Magistrate Court	494,375	461,792	459,792	7.06%
Probate Court	347,172	337,856	337,856	2.76%
Juvenile Court	354,599	274,809	274,809	29.03%
Public Defender	523,131	456,796	456,796	14.52%
Total Judicial	3,861,952	3,532,727	3,522,132	9.32%
	Change from 2021 Original Budget			9.65%

Public Safety

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Marshals	279,072	188,600	170,925	47.97%
Fire	2,415,233	2,680,124	2,453,378	-9.88%
Fire Marshal & Prevention	23,510	22,260	22,260	5.62%
EMS	2,843,635	3,101,661	2,771,502	-8.32%
Coroner	129,352	127,812	125,843	1.20%
EMA	132,407	127,736	127,936	3.66%
Humane Society	160,000	150,000	150,000	6.67%
Total Public Safety	5,983,209	6,398,193	5,821,844	-6.49%
	Change from 2021 Original Budget			2.77%

Sheriff

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Sheriff	4,251,358	4,080,090	4,002,287	4.20%
Sheriff-K-9	34,350	30,147	32,850	13.94%
Sheriff-Jail	3,182,534	3,041,217	3,033,982	4.65%
Sheriff-School Traffic Mgmt.	60,000	60,000	60,000	0.00%
Sheriff-School Resource Officers	467,556	483,991	483,991	-3.40%
Sheriff- Donations	-	27,031	-	-100.00%
Sheriff-Court Services	869,330	843,926	831,918	3.01%
Sheriff-Special Event Officers	22,130	33,495	33,495	-33.93%
TOTAL SHERIFF	8,887,258	8,599,897	8,478,523	3.34%
	Change from 2021 Original Budget			4.82%

Public Works

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Public Works -Admin	227,195	226,997	227,027	0.09%
Roads Department	1,670,308	1,747,174	1,747,144	-4.40%
Keep Dawson Co. Beautiful	13,033			
Total Public Works	1,910,536	1,974,171	1,974,171	-3.22%
		Change from 2021 Original Budget		-3.22%

Health & Welfare

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Health Department	162,000	162,000	162,000	0.00%
Good Shepherd Clinic	30,000	20,000	20,000	50.00%
Avita	7,500	7,500	7,500	0.00%
CASA	9,000	9,000	9,000	0.00%
DFACS	35,300	34,300	34,300	2.92%
No one alone (NOA)	5,000	5,000	5,000	0.00%
Indigent Welfare	7,000	7,000	7,000	0.00%
Senior Center	111,254	103,682	103,682	7.30%
Senior Services Donations	-	65,432	-	-100.00%
Medicare Silver Sneakers	6,250	6,659	6,250	-6.14%
Total Health & Welfare	373,304	420,573	354,732	-11.24%

Change from 2021 Original Budget

5.24%

Culture & Recreation

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Park	1,237,704	1,241,017	1,209,580	-0.27%
Park Donations	-	42,428	-	-100.00%
Park Women's Club	-	219	-	-100.00%
Park Pool	39,030	34,683	38,263	12.53%
War Hill Park	33,751	30,284	33,604	11.45%
Library	425,000	425,000	425,000	0.00%
Total Recreation & Culture	1,735,485	1,773,631	1,706,447	-2.15%
	Change from 2021 Original Budget			1.70%

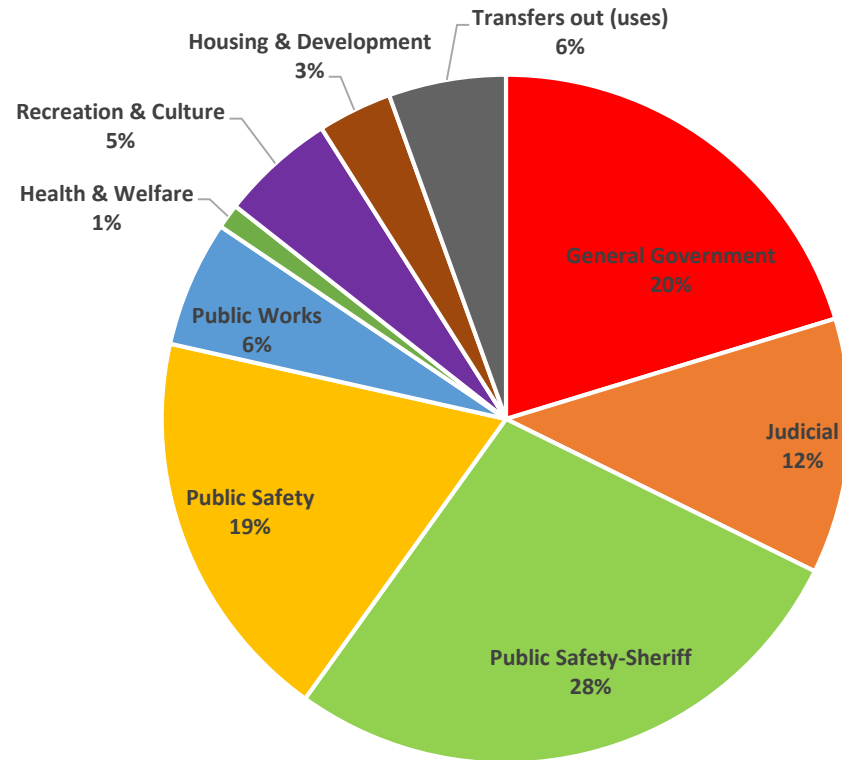
Housing & Development

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
County Extension	95,738	95,078	95,078	0.69%
Planning & Development	787,038	660,427	678,968	19.17%
Development Authority	240,000	240,000	240,000	0.00%
Total Housing & Development	1,122,776	995,505	1,014,046	12.78%
	Change from 2021 Original Budget			10.72%

Other financing uses

	FY 2022 Proposed Budget	FY 2021 Budget Amended	FY 2021 Budget Original	% Change From Amended
Transfer out to Family Connection	44,488	26,257	26,257	69.43%
Transfer out to Grants	782,771	888,726	888,726	-11.92%
Transfer out to Capital	53,000	809,478	659,445	-93.45%
Transfer out to Fleet	347,942	86,754	86,754	301.07%
Transfer out to E-911	464,700	456,308	456,308	1.84%
Transfer out to DCARGIS	80,043	38,541	20,000	107.68%
	1,772,944	2,306,064	2,137,490	-23.12%
		Change from 2021 Original Budget		-17.05%

Expenditure allocation



- General Government
- Judicial
- Public Safety-Sheriff
- Public Safety
- Public Works
- Health & Welfare
- Recreation & Culture
- Housing & Development
- Transfers out (uses)

Proposed budget highlights

- ▶ 9 new positions (\$657,919)
- ▶ Provide \$1.00 per hour to each FT and PT employee that did not receive increase from COVID funding (\$341,615)
- ▶ Provide contingency to County Manager (\$75k)
- ▶ \$1.5 million of personnel costs (for First responders) moved from General fund to special ARPA fund
- ▶ Many capital requests proposed to be funded out of SPLOST VI overage.

Proposed new Personnel

9 new positions proposed: (costs include benefits)

▶ County Marshal	\$131,114.75
▶ Upgrade PT Custodian to FT	29,910.87
▶ General Mechanic (Fleet)	55,931.96
▶ Network Administrator (IT)	75,015.16
▶ IT Technician (IT)	67,750.16
▶ Senior Judicial Assistant (Juvenile Court)	81,735.16
▶ Front Desk Clerk (Planning)	70,065.47
▶ Legal Assistant (Public Defender)	64,967.16
▶ Pretrial Officer (Superior Court)	<u>81,428.29</u>
▶ Total	\$657,919

Capital Projects Fund

- ▶ Capital Projects Fund is funded by transfers from General Fund.
- ▶ This budget proposes two items to be purchased using Capital Projects Funding.
 - Vehicle for Tax Assessor (\$28K)
 - Sheriff X-ray and metal detector for courthouse (\$25k)

SPLOST VI

SPLOST VI collections ended June 30, 2021

Numerous capital requests are proposed to be paid out of the SPLOST VI overage of \$4,915,783.

Proposed uses of SPLOST VI–Page 1

Ladder truck purchased last year \$ 1,068,086

Park & Rec funding approved in May \$ 1,595,000

Fire Truck debt payoff (Mandatory) \$ 268,000

Fleet (Priority 1 & 2 Vehicle list) \$ 307,000

Lift truck/Fork lift \$ 40,000

Emergency Services:

Turn-out Gear \$ 25,000

SCBA Air Cylinders \$ 25,000

SCBA 4.5 Replacement \$ 76,000

\$ 126,000

Information Technology:

System-wide Backup \$ 175,000

Wired Network Infrastructure Upgrade \$ 100,000

Conference Rooms Technology Upgrades \$ 75,000

Desk Phone Upgrade \$ 30,000

Computer Upgrades \$ 20,000

Assembly Room Upgrade \$ 76,241

AV Upgrades Courtroom C \$ 45,000

\$ 521,241

Proposed uses of SPLOST VI–Page 2

Sheriff:

Riot Gear	\$ 118,364
Taser Program	\$ 33,638
Body Cameras	\$ 70,000
Laptops for Patrol cars	\$ 20,000
	<hr/>
	\$ 242,002

Public Works:

Storm Truck	\$ 230,000
Two Tipping Trailers	\$ 135,000
Leasing of Equipment	\$ 65,400
	<hr/>
	\$ 430,400

Remainder in Contingency \$ 318,054

Total \$4,915,783

SPLOST VII

- ▶ SPLOST VII Collections began July 1, 2021
- ▶ \$9,500,000 budgeted to be received in 2022
- ▶ Only Emergency Operations Center and communications upgrade projects will be in progress in 2022 using SPLOST VII funding

Grant Transfers

GRANT NAME	GRANT AWARD	COUNTY MATCH
VOCA	\$ 74,419	in kind
Treatment Court	454,292	94,498
Family Treatment Court	96,390	in kind
K-9	112,204	-
H.E.A.T. Grant	107,765	-
Bulletproof Vest Grant	4,000	2,000
GA Forestry	10,000	5,000
EMPG	15,568	7,784
EMS Trauma Equipment Grant	5,000	-
Hazard Mitigation	30,000	4,500
LMIG	617,923	185,376
Legacy Link	540,812	319,806
Legacy Link (Respite Care)	66,318	50,060
Transit	265,494	63,747
Potential Grants	-	50,000
Totals	\$2,400,185	\$ 782,771

All Funds Proposed Budgets

FUND	FY 2022 Proposed Budget	FY 2021 Amended Budget	% Change
General Fund	32,176,013	32,114,834	0.19%
D.A.T.E Fund	25,000	30,000	-16.67%
Jail Fund	34,900	39,500	-11.65%
LVAP (Crime Victims)	17,350	19,920	-12.90%
Law Library	24,360	24,360	0.00%
Family Connection	92,488	386,192	-76.05%
Inmate Welfare	85,000	85,000	0.00%
DA Forfeiture	2,000	3,000	-33.33%
Confiscated Assets -Sheriff	10,700	10,700	0.00%
Emergency 911	1,139,900	1,016,408	12.15%
ARPA Local Fiscal Recovery	1,527,654	-	
Multiple Grants Fund	2,450,185	3,070,932	-20.21%
Hotel-Motel Tax	450,000	450,000	0.00%
SPLOST VI	7,000,000	11,382,551	-38.50%
SPLOST VII	9,500,000		
Capital Projects	53,000	1,384,975	-96.17%
Solid Waste	619,413	711,327	-12.92%
DCAR GIS	85,043	81,154	4.79%
Fleet & Fuel	404,669	337,979	19.73%
Inmate Escrow	80,000	80,000	0.00%
Impact Fees	1,250,000	2,029,230	-38.40%
Total ALL FUNDS	52,276,675	53,258,062	7.08%

FY 2022 Public Budget Hearings

- ▶ 4:00 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FY 2022 Budget
- ▶ 6:00 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FY 2022 Budget
- ▶ 6:00 p.m. Thursday, November 4, 2021 – Public Comment on Proposed FY 2022 Budget
- ▶ At the November 4, 2021, Voting Session, the Board will consider and may adopt the FY 2022 Budget.

In closing.....

Thank you to elected officials, department heads and agencies in their assistance with this budget process.





DAWSON COUNTY ANNOUNCEMENT AND ADVERTISEMENT REQUEST

Submitting Department:	BOC	Department contact name:	Kristen Cloud
Submittal Date:	09/27/2021	Run Dates:	10/06/2021 and 10/13/2021
AD Description :	Notice	Section of Paper:	Legals and Prominent Display (A Section) <i>*Display ad attached to email*</i>
Name of Paper:	Dawson County News	Do you want your ad online:	Yes

Notice of Public Hearings

Notice is hereby given that public hearings shall be held by the Dawson County Board of Commissioners at the Dawson County Government Center, 25 Justice Way, Assembly Room 2302, Dawsonville, Georgia as follows:

- 4 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FY 2022 Budget
- 6 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FYI 2022 Budget
- 6 p.m. Thursday, November 4, 2021 – Public Comment on Proposed FY 2022 Budget

At the November 4, 2021, Voting Session, the Board will consider and may adopt the FY 2022 Budget.

O.C.G.A. § # 36-81-5.

Department Head Approval:

Notice of Public Hearings

Notice is hereby given that public hearings shall be held by the Dawson County Board of Commissioners at the Dawson County Government Center, 25 Justice Way, Assembly Room 2302, Dawsonville, Georgia as follows:

- 4 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FY 2022 Budget
- 6 p.m. Thursday, October 21, 2021 – Public Comment on Proposed FY 2022 Budget
- 6 p.m. Thursday, November 4, 2021 – Public Comment on Proposed FY 2022 Budget

At the November 4, 2021, V 218 Session, the Board will consider and may adopt the FY 2022 Budget.



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Sheriff's Office

Work Session: 11/04/2021

Prepared By: Melissa Hawk

Voting Session: 11/18/2021

Presenter: Greg Rowan

Public Hearing: Yes No

Agenda Item Title: RFP #377-21 - Construction Services-Comprehensive Security System Upgrade for Dawson County

Background Information:

Dawson County currently utilizes an integrated security and control system installed and maintained by Accurate Control, which has been in place since approximately 2007 at the Law Enforcement Center, to include the Jail and since 2011 at the Government Center.

The current equipment is obsolete and becoming harder and harder to obtain parts to allow Accurate Control to maintain workability of the systems. Accurate Control's maintenance manager and technicians have stated the systems have come to a point where the county needs to consider a total upgrade of the comprehensive security system.

Current Information:

Per approval of the BOC, an RFP was released for the construction services to perform the comprehensive security system upgrade. The RFP opened on August 26, 2021, with 3 proposals being submitted. After a thorough evaluation, including Zoom meeting with each proposer, the Evaluation Team has determined that the offer received by SWC fits the needs of the County. South Western Communications also received the highest total score of 79.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: The Sheriff's Office respectfully requests the Board to accept the officers received, approve a contract to South Western Communications, for the Comprehensive Security System Upgrade project, not to exceed \$2,075,409.40, utilizing the Capital Funds in the amount of \$1,405,500.00 previously approved and \$669,909.40 from General Fund fund balance, to be reimbursed by the SPLOST VII funds approved for the upgrade.

Department Head Authorization: Jeff Johnson

Date: 10/26/2021

Finance Dept. Authorization: Vickie Neikirk

Date: 10/27/21

County Manager Authorization: David Headley

Date: 10-27-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Presentation



The Edge of The World

Photo By: Michele DeBlois

RFP #377-21 COMPREHENSIVE SECURITY SYSTEM UPGRADE FOR DAWSON COUNTY

WORK SESSION – November 4, 2021

Background and Overview

- ❖ On January 21, 2021, the Board approved the funding, in the amount of \$1,500,000.00 to contract with a security system consultant and for the upgrade of the current system at the Government Center and the Law Enforcement Center.
- ❖ The Board approved the professional exemption for the services of Tanner and Hoskins Consultants to work with staff in developing the scope of work and design for the upgrade.
- ❖ A Request for Proposal of the upgrade of the system was released on July 22, 2021.

Procurement Approach and Procedure

BID ACCORDING TO POLICY

- ✓ Advertised in Legal Organ
- ✓ Posted on County Website
- ✓ Posted on Georgia Procurement Registry
- ✓ Emailed notification through vendor registry
- ✓ Notification through County's Facebook and Twitter accounts
- ✓ Notification through Chamber of Commerce
- ❑ **3 Proposals were received**

Scope of Work

- ❖ A brief summary of the Scope of Work includes:
 - ✓ Test current equipment
 - ✓ Run new CAT 6 wiring
 - ✓ Provide the latest available version of all equipment and software at time of installation
 - ✓ Provide quality assurance and quality control, including testing and inspection of new equipment and software
 - ✓ Provide training of equipment and software installed to pertinent staff
 - ✓ Provide a comprehensive support/repair and maintenance agreement

Scope of Work

- ❖ As the project developed, several items were added to ensure the system met the needs of Sheriff's Office staff. They are as follows:
 - ✓ Secure Doors – a total of 15
 - ✓ Additional cameras both indoor and outdoor
 - ✓ Added new camera client stations in the courthouse
 - ✓ Added cameras to the Butler Building
 - ✓ Added cameras to the Historic Courthouse
 - ✓ Added cameras to the K-9 building
 - ✓ Added elevator controls

Summary of Scores

COMPANY	COMPANY BACKGROUND AND STRUCTURE	EXPERIENCE & QUALIFICATIONS OF DEDICATED STAFF	PROJECT UNDERSTANDING /APPROACH TO SCOPE OF WORK	REFERENCES	MANAGEMENT PLAN	TECHNICAL SCORE	Cost/ FINANCIAL	Total SCORE
A E SECURITY GROUP	36	86	78	40	29	48	25	73
JOHNSON CONTROLS	48	97	99	39	45	57	9	66
SOUTH WESTERN COMMUNICATIONS, INC	47	100	99	46	45	59	20	79

Note: Rounded up to the nearest whole number

Offers Received

Tasks	A E SECURITY GROUP	JOHNSON CONTROLS	SOUTH WESTERN COMMUNICATIONS
Turn-Key Comprehensive Security System Upgrade-Installation	\$542,361.20	\$834,300.00	\$767,102.40
Turn-Key Comprehensive Security System Upgrade-All Equipment Required	\$1,200,000.00	\$1,157,800.00	\$1,254,031.00
Turn-Key Comprehensive Security System Upgrade-All Software Required	\$75,261.00	\$162,900.00	\$52,818.00
Software/Hardware Training	\$3,800.00	\$1,960.00	\$1,458.00
Service/Maintenance Support - Year After Warranty Period - Five Year Total	\$75,261.00	\$926,250.00	\$203,930.00
Total	\$1,896,683.20	\$3,083,210.00	\$2,279,339.40

Note: South Western Communications offered the manufacturer and product preferred by the Sheriff's Office staff. AE Security Group and Johnson Controls offered a mixture of the preferred and approved alternate manufacturer and products.

Staff Recommendation

The Sheriff's Office Staff respectfully requests the Board to accept the offers received, approve a contract to South Western Communications, for the Comprehensive Security System Upgrade project, not to exceed \$2,075,409.40, utilizing the Capital Funds in the amount of \$1,405,500.00 previously approved and \$669,909.40 from General Fund fund balance, to be reimbursed by the SPLOST VII funds approved for the upgrade.



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Superior Court

Work Session: 11.04.2021

Prepared By: Jason Stephenson

Voting Session: 11.18.2021

Presenter: Jason Stephenson

Public Hearing: Yes _____ No _____

Agenda Item Title: Presentation of New Traffic Bureau Division

Background Information:

Dawson County Superior Court will create a Traffic Bureau Division beginning in January 2022, and citations will be heard and paid in Superior Court rather than Probate Court as is currently done. This new process, planned in coordination with Probate Court, Magistrate Court, and the Clerk of Courts, will facilitate a uniform misdemeanor citation system, provide a consistent pattern of hearing and trial dates, and broaden accessibility to the court system for paying and/or contesting alleged violations.

Current Information:

Transferring traffic citations to Superior Court will result in the Clerk of Courts office absorbing approximately 4,000 additional cases annually. Funding is requested for a Traffic Bureau Deputy Clerk position, along with several one-time expenses associated with relocating the current Law Library and repurposing its existing space as an office and file storage area. Specific requests are included in the Comments section below.

Budget Information: Applicable: Not Applicable: _____ Budgeted: Yes _____ No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: _____

Department Head Authorization: _____

Date: _____

Finance Dept. Authorization: Vickie Neikirk

Date: 10/27/21

County Manager Authorization: David Headley

Date: 10-27-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Total Requested Budget Adjustment: \$95,019.58

Traffic Bureau Deputy Clerk Position (Clerk of Courts)

- Requested salary \$36,936.90
- FICA/Medicare \$2,825.67
- Retirement \$1,846.85
- Health Insurance \$20,273.16
- Flex Spending \$45

Total Salary and Benefits: \$62,019.58

One-Time Transfer, Relocation and Renovation Expenses

- Law Library Relocation: \$8,000
 - o New network wiring and connections
 - o Computer desks
 - o Bookshelf
 - o Signage
- New Traffic Bureau Office and Storage: \$25,000
 - o Two workstations
 - o Two computers, scanners, and a printer
 - o Case management software licensing and conversion
 - o New sliding window and counter
 - o Window blinds
 - o File folders and storage

Total One-Time Costs: \$33,000



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Tax Commissioner

Work Session: 11.04.2021

Prepared By: Nicole Stewart

Voting Session: 11.18.2021

Presenter: Nicole Stewart

Public Hearing: Yes No

Agenda Item Title: Presentation of request to move part time to full time

Background Information:

We have a part time clerk position that is impossible to keep filled. The last 4 years we have had 7 different people in this position. It is hard to find someone to do this job part time. It is a hard job to learn and it is very fast pace. Due to the importance of accuracy in motor vehicle you want someone who will do a good job.

Current Information:

Current salary is \$21,840 and total additional cost (pay increase, retirement, and insurance) is \$33,223.76 - \$15.54 an hour. I would like to hire this employee before the end of the year.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: _____

Department Head Authorization: _____

Date: _____

Finance Dept. Authorization: Vickie Neikirk

Date: 10/26/21

County Manager Authorization: David Headley

Date: 10-26-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Tax Commissioner

Work Session: 11.04.2021

Prepared By: Nicole Stewart

Voting Session: 11.18.2021

Presenter: Nicole Stewart

Public Hearing: Yes No

Agenda Item Title: Presentation of request to update Tax Commissioner's resolutions

Background Information:

My office has current resolutions that are listed the Tax Commissioner's Office, not my name. I would like to add my name in case anyone would like to question my resolutions.

Current Information:

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: _____

Department Head Authorization: _____

Date: _____

Finance Dept. Authorization: Vickie Neikirk

Date: 10/26/21

County Manager Authorization: David Headley

Date: 10-26-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: **Emergency Services**

Work Session: **11.04.21**

Prepared By: **Danny Thompson**

Voting Session: **11.18.21**

Presenter: **Danny Thompson**

Public Hearing: Yes _____ No **X**

Agenda Item Title: **VFA 50/50 Grant**

Background Information:

The Georgia Forestry Commission annually opens up a 50/50 grant program to smaller rural communities in Georgia. The maximum allowed on this grant is \$10,000. The grant period closes on December 1, 2020.

Current Information:

Dawson County Fire/EMS is seeking permission to apply to the Forestry Grant. We were awarded this grant last year, and this year seek to purchase replacement fire hose and emergency lighting for our apparatus. This grant will not be awarded until spring of 2022. We have funds available to meet the match.

Budget Information: Applicable: Not Applicable: _____ Budgeted: Yes No _____

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: **Approve agenda item**

Department Head Authorization: FDI

Date: 10.18.21

Finance Dept. Authorization: Vickie Neikirk

Date: 10/26/21

County Manager Authorization: David Headley

Date: 10-26-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:



**GEORGIA FORESTRY COMMISSION VOLUNTEER FIRE ASSISTANCE
GRANT APPLICATION**

Name of Community Organization **Dawson County Fire & Emergency Services**

*Federal ID Number **58-6011882**

COMMUNITY CONTACT INFORMATION

Contact Name: **Danny Thompson**

Address: **393 Memory Lane**

City: **Dawsonville** Zip Code: **30534** County: **Dawson**

Phone (primary): **706-344-3666** Phone (other): **678-410-1738**

Email: **dthompson@dawsoncounty.org** Fax: _____

Fire Department: **Dawson County**

Fire Chief: **Danny Thompson** Phone: **706-344-3666 Ext 44504**

Is the community in question bordered by any federally controlled land, such as a national park or forest? **Yes** If not, how close is the nearest one? _____ miles

Other Community Contacts:

Name	Title	Phone
Billy Thurmond	Chairman of the BOC	706-344-3500
David Headley	County Manager	706-344-3500
Vicki Niekirk	Chief Financial Officer	706-344-3500

*If the community applying for grant money does not have a Federal ID number, the community will need to apply for one by going to <http://www.irs.gov/index.html>

PROJECT DESCRIPTION

We are applying for a Georgia Forestry Volunteer Fire Assistance Grant to:

We are replacing some older fire hose, upgrading nozzles and adding emergency light to several vehicles.

\$ Amount applying for **\$5,000.00**

Please attach a short narrative on the situation(s) you want to mitigate and your expected results from completing this project. Include a timeline for completion, who is responsible, amount being requested, and measures of project accomplishments.

Estimated time it will take to complete this project: **6 Month(s)**

Anticipated date to start this project: **60 Days from date of award**

Anticipated date the project will be finished: **August 2022**

Please attach a proposed timeline with milestones that need to be reached. All local governing bodies and authorities, if applicable, must approve all projects. Attach letters of approval as needed.


Authorized signature: _____ Date: _____

Position: **Chairman – Dawson County Board of Commissioners**

Other signatures, as required by the community:

Authorized signature: _____ Date: _____

Position: **Fire Chief**

Authorized signature:  Date: 10-18-2021

Position: _____

Authorized signature: _____ Date: _____

Position: _____

Return completed application to:

Emily Hamilton
GA Forestry Commission RFD
5645 Riggins Mill Rd
Dry Branch, GA 31020
Or ehamilton@gfc.state.ga.us

Phone: 478-751-3504

RFD Staff Only

GRANT # _____ CONTACT _____

AMOUNT OF AWARD RECEIVED _____

APPROVAL SIGNATURE _____

APPENDIX A

AGREEMENT ADDENDUM

FFATA (Federal Funding Accountability and Transparency Act)

The Federal Funding Accountability and Transparency Act (FFATA) was signed on September 26, 2006. The intent is to empower every American with the ability to hold the government accountable for each spending decision. The end result is to reduce wasteful spending in the government. The FFATA legislation requires information on federal awards (federal financial assistance and expenditures) be made available to the public via a single, searchable website. Federal awards include grants, sub grants, loans, awards, cooperative agreements and other forms of financial assistance as well as contracts, subcontracts, purchase orders, task orders, and delivery orders. The legislation does not require inclusion of individual transactions below \$25,000 or credit card transactions before October 1, 2008.

Definitions

- A. "FFATA funds" means funds expended or obligated from appropriations The Federal Funding Accountability and Transparency Act.
- B. "Contractor" is defined as any person, including, but not limited to, a bidder, offeror, loan recipient, grantee, or sub-grantee, who has furnished or seeks to furnish goods, supplies, services, or leased space, or who has performed or seeks to perform construction activity under contract, subcontract, grant, or sub-grant with the Georgia Forestry Commission, or with a person under contract, subcontract, grant, or sub-grant with the Georgia Forestry Commission. The term contractor may include a permit, licensee, or any agency, political subdivision, instrumentality, public authority, or other entity of the Georgia Forestry Commission.

FFATA Terms & Conditions

1. Revisions to Requirements. Contractor acknowledges that this Addendum may be revised pursuant to ongoing guidance from the relevant Federal agency or Georgia Forestry Commission regarding requirements for FFATA funds. Contractor agrees to abide by any such revisions upon receipt of written notification from the Georgia Forestry Commission of the revisions, which will automatically become a material part of this Addendum, without the necessity of either party executing any further instrument.
2. Reporting Requirements – To meet the reporting requirements of FFATA and ensure transparency and accountability in the use of funds provided through FFATA. Activities carried out and results achieved with FFATA funds will be tracked carefully, reported clearly and quantifiably.

In an effort to meet this requirement, all project information will be reported by GFC at www.fsrs.gov/

Detailed information on any subcontracts or sub-grants awarded by the Contractor must include the data elements required to comply with the Federal Funding Accountability and Transparency Act of 2006 (Public Law 109–282), allowing aggregate reporting on awards below \$25,000 or to individuals, as prescribed by the Director of the Office of Management and Budget;

Contractor may be required to submit backup documentation for expenditures of FFATA funds including such items as timecards and invoices. Contractor shall provide copies of backup documentation at the request of the Georgia Forestry Commission upon.

3. Registrations and Identification Information

(a) Contractor must maintain current registrations in the Central Contractor Registration (www.ccr.gov) at all times during which they have active federal awards funded with FFATA funds. A Dun and Bradstreet Data Universal Numbering System (DUNS) Number (www.dnb.com) is one of the requirements for registration in the Central Contractor Registration.

(b) If applicable, the Contractor agrees to separately identify to each sub-contractor and document at the time of award of contract or approval of application and at the time of disbursement of funds, the Federal award number, CFDA number, and amount of FFATA funds.

4. Flow Down Requirement. Contractor must include these FFATA Terms and Conditions in any sub-contract, sub-grants, loans and cooperative agreements.

5. Prohibition on Use of Funds. FFATA Section 1604 states no FFATA funds may be used for any casino or other gambling establishment, aquarium, zoo, golf course, or swimming pool, or any other items prohibited by FFATA.

6. Wage Rate Requirements. FFATA requires that all laborers employed by contractors and subcontractors on projects funded directly by or assisted in whole or in part by and through the Federal Government pursuant to FFATA shall be paid wages at rates not less than those prevailing on projects of a character similar in the locality as determined by the U.S. Secretary of Labor in accordance with subchapter IV of chapter 31 of title 40, United States Code (Davis-Bacon Act). Will comply with the Copeland Act (40 U.S.C. Section 276C and 18 U.S.C. Section 874) and the Contract Work Hours and Safety Standards Act (40 U.S.C. Section 327-333), regarding labor standards for federally assisted construction sub-agreements.

7. Whistleblower Provision.

(a) An employee of any non-Federal employer receiving covered funds may not be discharged, demoted, or otherwise discriminated against as a reprisal for disclosing, including a disclosure made in the ordinary course of an employee's duties, to an inspector general, the Comptroller General, a member of Congress, a State or Federal regulatory or law enforcement agency, a person with supervisory authority over the employee (or such other person working for the employer who has the authority to investigate, discover, or terminate misconduct), a court or grand jury, the head of a Federal agency, or their representatives, information that the employee reasonably believes is evidence of:

(1) gross mismanagement of an agency contract, agreement or grant relating to covered funds;

(2) a gross waste of covered funds;

(3) a substantial and specific danger to public health or safety related to the implementation or use of covered funds;

(4) an abuse of authority related to the implementation or use of covered funds; or

(5) a violation of law, rule, or regulation related to an agency contract or agreement (including the competition for or negotiation of a contract) or grant, awarded or issued relating to covered funds.

(b) A person who believes that the person has been subjected to a reprisal prohibited by subsection (a) may submit a complaint regarding the reprisal to the appropriate U.S. Office of the Inspector General.

9. False Claims Act. Contractors and subcontractors shall promptly refer to the U.S. Office of Inspector General any credible evidence that a principal, employee, agent, contractor, sub-grantee, subcontractor or other person has submitted a false claim under the False Claims Act or has committed a criminal or civil violation of laws pertaining to fraud, conflict of interest, bribery, gratuity or similar misconduct involving those funds.

10. Environmental and Preservation Requirements. The Contractor shall comply with all applicable Federal, State, and local environmental and historic preservation (EHP) requirements and shall provide any information requested by the awarding Federal agency to ensure compliance with applicable laws including: National Environmental Policy Act, National Historic Preservation Act, Endangered Species Act, the Clean Air Act, the Federal Water Pollution and Control Act, and Executive Orders on Floodplains (11988), Wetlands (11990) and Environmental Justice (12898). Failure of the Contractor to meet Federal, State, and local EHP requirements and obtain applicable permits may jeopardize Federal funding. The Contractor shall not undertake any project having

the potential to impact EHP resources without the prior approval of the awarding Federal agency, including but not limited to communication towers, physical security enhancements, new construction, and modification to buildings that are 50 years old or greater. The Contractor must comply with all conditions placed on the project as a result of the EHP review. Any change to the approved project scope of work will require re-evaluation for compliance with these EHP requirements. If ground disturbing activities occur during project implementation, the Contractor must ensure monitoring of ground disturbance and if any potential archeological resources are discovered, the Contractor will immediately cease construction in that area and notify the Georgia Forestry Commission. Any construction activities that have been initiated prior to the full environmental and historic preservation review will result in a non-compliance finding.

11. No Contracts/Agreements with Debarred or Suspended Entities. The Contractor shall not enter into any contract or subcontract with any party that has been debarred or suspended from either:

- (a) contracting with the Federal Government or the State of Georgia; or
- (b) participating in any Federal or State of Georgia assistance programs.

12. Prohibition on Lobbying.

(a) The Contractor covenants and agrees that it will not expend any funds appropriated by Congress to pay any person for influencing or attempting to influence an officer or employee of any agency, or a Member of Congress, or an employee of a Member of Congress in connection with any of the following covered Federal actions: the awarding of any Federal contract; the making of any Federal grant; the making of any Federal loan; the entering into of any cooperative Agreement; and, the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative Agreement.

(b) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a member of Congress in connection with this Federal contract, grant, loan or cooperative agreement, the contractor/grantee shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying", in accordance with its instructions.

(c) Section 319 of Public Law 101-121 (31 U.S.C. Section 1352) and any applicable regulations are incorporated by reference and the Contractor agrees to comply with all the provisions thereof, including any amendments to the Interim Final Rule that may hereafter be issued.

13. Nondiscrimination Provisions. The Contractor covenants and agrees that no person shall be denied benefits of, or otherwise be subjected to discrimination in connection with the Contractor's performance under this Agreement. Accordingly, and to the extent applicable, the Contractor covenants and agrees to comply with the following on the basis of:

- (a) Race, color or national origin, in Title VI of the Civil Rights Act of 1964 (42 U.S.C. Section 2000d et seq.) as implemented by applicable regulations.
- (b) Race, color, religion, sex, or national origin, in Executive Order 11246 (3 CFR, 1964-1965 Comp. pg. 339), as implemented by applicable regulations.
- (c) Sex or blindness, in Title IX of the Education Amendments of 1972 (20 U.S.C. 1681, et seq.), as implemented by applicable regulations.

- (d) Age, in The Age Discrimination Act of 1975 (42 U.S.C. Section 6101 et seq.), as implemented by applicable regulations.
- (e) Handicap, in Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794), as implemented by applicable regulations.
- (f) Drug abuse, the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-225) as amended.
- (g) Alcohol abuse or alcoholism, the Comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970 (P.L. 91-616) as amended.
- (h) Confidentiality of alcohol and drug abuse patient records, Section 523 and 527 of the Public Health Service Act of 1912 (42 U.S.C., Section 290 dd-3 and 290 ee3).
- (i) Any other nondiscrimination provisions in the specific statute(s) under which application for Federal assistance is being made; and

14. DBE Provisions. The Contractor shall comply with all applicable federal Disadvantaged Business Enterprises (DBE) requirements related to DBE programs. In the event this Contract/Agreement is a grant Contract not covered by federal DBE requirements, the Contractor shall use reasonable and good faith efforts to solicit and utilize DGS-certified Minority Business Enterprises (MBEs) and Women Business Enterprises (WBEs) for those contracting, subcontracting and purchase opportunities that exist and report utilization to DGS.

15. Access to Records. Contractor agrees that with respect to each FFATA Contract using, in whole or in part, FFATA funds, any representative of an appropriate U.S. Inspector General appointed under section 3 or 8G of the Inspector General Act of 1988 (5 U.S.C. App.) or of the U.S. Comptroller General is authorized to examine any records of the Contractor, any of its subcontractors, or any state or local agency administering such contract that pertain to, and involve transactions relating to the contract; and to interview any officer or employee of the contractor, subcontractor or agency regarding such transactions.

16. Access to Information. This section provides authority for the Inspector General or authorized representative during the term of this agreement/contract plus an additional three (3) years thereafter to examine any records or interview any employee or officers working on this agreement/contract. The contractor is advised representatives of the inspector general have the authority to examine any record and interview any employee or officer of the contractor, its subcontractors or other firms working on this agreement/contract. Section 1515(b) further provides nothing in this section shall be interpreted to limit or restrict in any way any existing authority of the inspector general. This agreement/contract and any records or expenditures related thereto may be subject to disclosure under Freedom of Information Act, 5 U.S.C. §552.

17. Right to Inspect. The Office of the State Inspector General shall have access to all records, information, data, reports, plans, projects, matters, contracts, memoranda, correspondence, and any other materials of Georgia Forestry Commission and shall be deemed to be an authorized representative and agent of Georgia Forestry Commission for purposes of determining whether fraud, waste, corruption and abuse have occurred. Contractor agrees to make available, at all reasonable times during the term of this agreement/contract plus an additional three (3) years thereafter, any and all records, information, data, reports, plans, projections, matters, contracts, memoranda, correspondence and other materials relating to this agreement/contract, for inspection by the Office of the State Inspector General.

18. Each party hereby certifies that it has complied with the Immigration Reform and Compliance Act of 1986 (IRCA), D.L. 99-603 and the Georgia Security and Immigration Compliance Act, O.C.G.A. 13-10-90 et seq., by registering at <https://e-verify.uscis.gov/enroll/StartPage.aspx?JS=YES> verifying information for all new employees and executing any affidavits by Ga. Comp. R. & Regs. R. 300-10-1-.01 et, Seq

19. Compliance. The Contractor shall comply with all applicable laws, regulations and program guidance. A non-exclusive list of statutes, regulations and/or guidance commonly applicable to Federal funds follows:

General

- Drug-Free Workplace Act of 1988 (Public Law 100-690, Title V, Subtitle D; 41 U.S.C. 701 et seq.; 32 CFR part 26, Subpart B
- Copeland "Anti-Kickback Act", 18 U.S.C. Section 874; 29 CFR Part 3
- Contract Work Hours and Safety Standards Act, 40 U.S.C. §§327-330; 29 CFR Part 5
- Americans with Disabilities Act of 1990, as amended; 42 U.S.C. Chapter 126; 28 C.F.R. §35.101 et seq.

Administrative Requirements

- OMB Circular A-102, State and Local Governments (10/07/94, amended 08/28/07) (44 CFR Part 13)
- OMB Circular A-110, Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations (11/19/93, amended 09/30/99) (2 CFR Part 215)

Cost Principles

- OMB Circular A-87, State and Local Governments (05/10/04) (2 CFR Part 225)
- OMB Circular A-21, Educational Institutions (5/10/04) (2 CFR Part 220)
- OMB Circular A-122, Non-Profit Organizations (5/10/04) (2 CFR Part 230)

Audit Requirement

- OMB Circular A-133, Audits of States, Local Governments, and Non-Profit Organizations (6/24/97, includes revisions published in the Federal Register 6/27/03)

IN WITNESS WHEREOF, the **COMMISSION** and the **AWARDEE** hereto have affixed signatures this 18 day of October, 2021.

WITNESS: K Dawn Phillips AWARDEE



K Dawn Phillips
NOTARY PUBLIC
Dawson County, GEORGIA

DATE

10-18-2021



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Fleet

Work Session: 11/4/21 _____

Prepared by: Kara Wilkins

Voting Session: 11/18/21

Presenter: Shannon Harben

Public Hearing: Yes _____ No

Agenda Item Title: 2021 Dawson County Surplus List. _____

Background Information:

This is a compilation of dilapidated Dawson County assets. This list consists of Dawson County assets that Dawson County no longer needs and or have met replacement due to policy and or repair cost.

Current Information:

The current 2021 Surplus List is included for consideration for surplus and a detailed list explaining why it's being disposed of.

Budget Information: Applicable: _____ Not Applicable: Budgeted: Yes _____ No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Dawson County Fleet Services staff recommends approving surplus for disposal on GOV Deals auction site.

Department Head Authorization: Shannon Harben

Date: 10/11/21

Finance Dept. Authorization: Vickie Neikirk

Date: 10/27/21

County Manager Authorization: David Headley

Date: 10-27-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Dawson County BOC 2021 Surplus List

Year	Make	Model	VIN #	Approx Mileage
2007	Ford	Expedition	1FMFU16537LA42125	214,000
1997	Ford	F150	1FTZF18W1WNA25537	173,300
2000	Ford	F150	1FTRF18W2YNB64756	190,000
2003	Ford	F150	1FTRX17W13NA89040	165,000
2008	Ford	F250	1FTSW20568EA07998	111,000

2013	Caterpillar	CT660	1HSJGTKT2DJ199942	106,000
2003	Ford	F250	1FDNW21L53EC35151	133,000
2008	Ford	Sport Trac	1FMEU51E68UA40925	152,500
2007	Ford	Crown Vic	2FAFP73V87X145097	135,000
2007	Chevy	2500HD	1GCHK23D57F163175	250,000
2015	Dodge	Charger	2C3CDXAT4FH845011	80,000
1984	Chevy	Blazer	1G8ED18J7EF191122	*-----
2007	Country Boy	Trailer	5MYEE18297B022896	
1986	Ford	Bronco 2	1FMCU14T4GUB42345	*-----
2002	Nissan	Frontier XE	1N6ED29X12C323705	*-----
2006	Dodge	Durango	1D4HB38N86F122497	*-----
2002	Ford	Crown Vic	2FAFP71W12X131983	179,000
2006	Ford	Crown Vic	2FAFP71W16X133285	125,000
2007	Ford	Crown Vic	2FAFP71WX7X117930	*200,000
2011	Ford	Crown Vic	2FABP7BV5BX110817	152,750
2011	Ford	Crown Vic	2FABP7BV3BX110816	168,000
2011	Ford	Crown Vic	2FABP7BV2BX101900	151,650
2011	Ford	Crown Vic	2FABP7BV9BX153864	128,000
2012	Dodge	Charger	2C3CDXATXCH266682	130,085
2012	Dodge	Charger	2C3CDXAT1CH266683	157,000
2012	Dodge	Charger	2C3CDXAT4DH642813	128,250
		Dump body		*-----
	Bobcat	T770 Skidsteer	AT6311986	1500 Hours
	Bobcat	E63 mini-ex	B34R11544	1200 Hours
	Bobcat	E85 mini-ex	B48411163	2000 Hours

miscellaneous outdated first responder equipment, multiple items to include but, not limited and other related item.

Lot of various office chairs that Facilities needs to remove from storage that are no longer n Various sizes of new tires we no longer have vehicles to support but, cannot return due to a Miscellaneous stocked parts for vehicles Dawson County no longer owns and cannot return

Sheriff miscellaneous disposal items

8 - Medical Beds	1 - Segway
2-Book Shelves	1 - Overhead Projector
20 - Chairs	10 - Patrol Car Partitions
10 - Charger Rear Seats	4 - Medical Lamps
10 - Explorer Rear Seats	1 - White board 16'
3 - Filing Cabinets	2 - Explorer Door Panels (Rear

To remain inservice until the replacement comes in, then be sold on GOV Deals for surplus.

To remain inservice and not be sold unless replacements are approved in the budget proces

* The odometer does not operate

Department	Disposal Justification
Fire	Policy/ repair cost
Facilities	Policy/ repair cost
Fire	Policy/ repair cost
Parks	Remain in service until major repair is needed
Facilities	Internal engine issues not worth repairing due to Policy/ repair cost
Transfer Stat	The engine is failing and truck is a constant expense
Facilities	Policy/ repair cost
Parks	Repair cost/ history
District Att	Policy/ impending repair needed
Road Dept	Policy/ repair cost/ history
Sheriff	Total loss from accident
Sheriff	Policy/ repair cost
Road Dept	Policy/ repair cost
Sheriff Abandoned	No keys, does not run, abandoned recovery
Sheriff Abandoned	No keys, does not run, abandoned recovery
Sheriff Abandoned	No keys, does not run, abandoned recovery
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Sheriff	Policy/ repair cost
Road Dept	Removed from trk, rusted out
Road Dept	Repair cost/ history
Road Dept	Repair cost/ history
Road Dept	Repair cost/ history

d to light bars, cages, electronic equipment

eeded.
ge or other reasons.
due to age. Example Ford Expedition parts.



- Misc. Office Supplies
- 8 - Pictures in Frames
- 1 - Old A/C Unit
- 2 - John Deere Zero Turn Mows
- 10 - Light Bars
- Sirens, Switch Boxes, Wiring

2 - Old Gasoline Generators



S.



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Parks & Rec

Work Session: 11/04/2021

Prepared By: Matt Payne

Voting Session: 11/18/21

Presenter: Matt Payne

Public Hearing: Yes No

Agenda Item Title: Presentation of Rate Adjustments for Recreation Programs

Background Information:

The Parks & Recreation department seeks BOC input on rate increases for the 2022 programs.

Current Information:

See attached information

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion:

Department Head Authorization:

Date:

Finance Dept. Authorization: Vickie Neikirk

Date: 10/11/21

County Manager Authorization: David Headley

Date: 10-11-2021

County Attorney Authorization:

Date:

Comments/Attachments:

2022 DAWSON COUNTY

Recreation Programs & Rental Rates Adjustment Proposal

**E
X
A
M
P
L
E**

9&10 Boys Basketball

64 total players

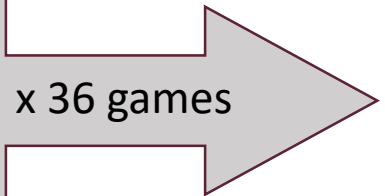
- 8 teams
- 8 players each

36 total games

For a complete season

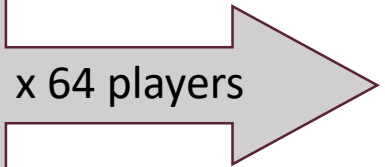


2 referees @ \$28 each = \$54
+
2 scorekeepers at \$15 each = \$30
=
\$84 per game for
Referees and scorekeepers



\$3024
For officials for
9& 10 Boys season

Jersey = \$ 17 per player
+
Shorts = \$ 11 per player
=
\$28 per player



\$1792
For 9&10 Boys
uniforms

\$3024 officials cost
+
\$1792 uniform cost



\$4816
For 9&10 Boys
season

\$4816 total expenses
÷
64 players



\$75.25
Cost per player

PROPOSAL

PROGRAM	2021 FEE	PROPOSED 2022 FEE	MAC AVERAGE FEE	SURROUNDING AVERAGE
Football	\$150	\$175	\$165	\$390
Cheerleading	\$125	\$140	\$125	\$275
Basketball	\$50	\$70	\$75	\$135
Inst. League Basketball	\$10	\$25	\$30	N/A
Wrestling	\$50	\$70	\$70	N/A
Spring Baseball	\$75	\$90	\$80	\$165
Spring Softball	\$75	\$90	\$80	\$165
Spring T-Ball	\$75	\$90	\$80	\$165
Spring Inst. League T-Ball	\$10	\$25	\$30	N/A
Track	\$50	\$70	\$70	\$155
Volleyball	\$50	\$70	\$70	\$250
Fall Baseball	\$60	\$75	\$70	\$95
Fall Softball	\$60	\$75	\$70	\$95
Fall T-Ball	\$60	\$75	\$70	\$95
Fall Inst. League T-Ball	\$10	\$25	\$30	N/A
Travel Practice Only Season	\$350	\$500	N/A	N/A
Travel Practice + Game Season	\$800	\$1000	\$1500	\$1500
Adult Softball	\$475	249	\$525	\$625

PROPOSAL

FACILITY & OTHER		2021 FEE	PROPOSED 2022 FEE
ROCK CREEK PARK	Community Room	\$100	\$125
	Classroom	\$50	\$75
	Gymnasiums	\$75	\$100
	Ball Fields	\$100	\$125
	Small Pavilion	\$35	\$60
	Large Pavilion	\$65	\$90
	Tennis Courts	\$65	\$90
	Walking Trail	\$65	\$90
VETERANS MEMORIAL PARK	Gymnasium	\$75	\$100
	Ball Fields	\$100	\$125
	Small Pavilion	\$35	\$60
	Large Pavilion	\$200	\$200
	Tennis Courts	\$65	\$90
	Track	\$65	\$90
	Walking Trail	\$65	\$90
	Swimming Pool	\$30	\$55
OTHER	Meeting Room at Fire Station #2	\$50	\$75
	Non-Resident Fee (for rentals & athletic programs)	250	\$40

The Parks and Recreation Department,
along with the Recreation Board, respectfully
requests that the Dawson County Board of
Commissioners review and consider
these rate increases to begin in the
2022 fiscal year.

Thank you



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: Planning & Development

Work Session: 11.04.2021

Prepared by: Sharon O. Farrell

Voting Session: 11.18.2021

Presenter: Sharon O. Farrell

Public Hearing: Yes x No

Agenda Item Title: Presentation of the proposed short-term rental/bed and breakfast establishment ordinance.

Background Information:

Dawson County adopted a Bed and Breakfast Ordinance in 2004 and a short term rental ordinance in 2020. The codes have been combined and updated to meet state law.

Current Information:

Staff requests consideration to move forward to a public hearing with an ordinance that strengthens standards for permitting and development standards of *Bed and Breakfast Establishments* and *Short-term Rentals* of privately owned residential structures rented to transient occupants, to minimize adverse effects of Short-term Rental uses on surrounding residential neighborhoods.

Budget Information: Applicable: _____ Not Applicable: **X** Budgeted: Yes _____ No _____

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining

Recommendation/Motion: Approval to place on public hearing agenda

Department Head Authorization: SO.Farrell

Date: 10/27/2021

Finance Dept. Authorization: Vickie Neikirk

Date: 10/27/21

County Manager Authorization: David Headley

Date: 10-27-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

THE BOARD OF COMMISSIONERS OF DAWSON COUNTY, GEORGIA: TO PROVIDE REGULATIONS FOR SHORT-TERM RENTAL AND BED AND BREAKFAST ESTABLISHMENTS; TO PROVIDE SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES AND RESOLUTIONS; AND FOR OTHER PURPOSES.

WHEREAS, the Constitution of the State of Georgia, approved by the voters of the State in November 1983, and effective July 1, 1983, provides in Article IX, Section 2, Paragraph 1 thereof, that the governing authority of the County may adopt clearly reasonable ordinances, resolutions, and regulations; and

WHEREAS, O.C.G.A. § 36-1-20 authorizes the County to adopt ordinances preserving the public health, safety, and welfare, and to adopt appropriate measures to enforce those ordinances; and

WHEREAS, in the interests of the health, safety, and general welfare of the citizens of Dawson County, Georgia, the Board of Commissioners of Dawson County desires to exercise its authority to adopt an ordinance regulating Short-term Rentals and Bed and Breakfast Establishments; and

WHEREAS, appropriate notice and hearing on the ordinance contained herein have been carried out according to general and local law.

NOW, THEREFORE, the Board of Commissioners hereby ordains as follows:

Section 1. The language attached hereto as Exhibit “A,” and incorporated herein by reference as if fully set forth herein, is hereby adopted and approved, and shall be codified as Article V in Chapter 30 of the Code of Dawson County, Georgia.

Section 2. All other ordinances shall continue in full force and effect and shall remain unaffected, except where such ordinance, or part thereof, conflicts herewith, in which case such ordinance, or part thereof, is hereby repealed.

Section 3. It is the express intent of the Board of Commissioners of Dawson County, Georgia that this Ordinance be consistent with both federal and state law. If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, the invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared severable.

Section 4. This Ordinance shall become effective sixty (60) days following the date of adoption.

BE IT RESOLVED this ____ day of _____, 20 ____.

DAWSON COUNTY

ATTEST

By: _____

Billy Thurmond, Chairman

Board of Commissioners

By: _____

Kristen Cloud

County Clerk

Dates of Public Hearing:

Dates of Advertising:

Exhibit A

Article V. – SHORT-TERM RENTALS AND BED AND BREAKFAST ESTABLISHMENTS

Sec. 30-500 – Purpose

- (a) The purpose of this Article is to establish standards for Bed and Breakfast Establishments and Short-term Rentals of privately owned residential structures rented to transient occupants, minimize adverse effects of Short-term Rental uses on surrounding residential neighborhoods, and preserve the character of neighborhoods in which Short-term Rental use occurs.
- (b) This Article is not intended to regulate hotels, motels, or non-Short-term Rental or non-Bed and Breakfast Establishments including, but not limited to, boarding houses, lodging houses, or rooming houses, or an individual providing long term rental (more than 30 days) of their home.

Sec. 30-501 - Definitions

The following words, terms and phrases, when used in this Article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Applicant: all persons who are required to sign an application for a Short-term Rental or Bed and Breakfast Establishment permit.

Bed and Breakfast Establishment: A dwelling occupied by a family and used incidentally to provide overnight accommodation and meals to transient travelers, operated by an owner or designated operator-in-residence, with a maximum number of rented units being six.

Bedroom: A room that meets the building code requirements to be used as a sleeping room and for no other primary purpose.

Building Official: An official designated by the county to enforce the provisions of the applicable building code and other applicable laws.

Certificate of Occupancy: A certificate issued by the Building Official of Dawson County indicating that upon examination and inspection at the time of the completion of work done on the dwelling, dwelling unit, building or structure stating the nature of the occupancy permitted, the number of persons for each floor when limited by law, and the allowable load per square foot for each floor in accordance with the provisions of the construction codes.

Hotel: any structure or any portion of a structure, including any lodging house, rooming house, dormitory, Turkish bath, bachelor hotel, studio, hotel, motel, motor hotel, auto court, inn, public club or private club, containing guest rooms and which is occupied, or is intended or designed for occupancy by guests, whether rent is paid in money, goods, labor or otherwise. Such term does not include any jail, hospital, asylum, sanitarium, orphanage, prison, detention center or other buildings in which human beings are housed and detained under legal restraint or for medical reasons.

Hotel/Motel Tax: A state tax imposed on homes being rented for thirty (30) days or less, paid on a monthly basis.

Labeled Floor Plan: A drawing showing the location of the rooms in the home.

Natural Person: A human being as distinguished from a person (as a corporation) created by operation of law.

Noise Ordinance: Regulations that pertain to the amount and duration of noise that affects the community.

Owner: A person that holds legal rights to the Property.

Paid Tax Receipt: A tax receipt showing that the property taxes have been paid on said Property.

Permit Administrator: The employee designated by the Board of Commissioners for the administration of this Article

Property: A residential legal lot of record on which a Short-term Rental or Bed and Breakfast Establishment is intended to be located.

Septic Tank Permit: A document obtained from the Dawson County Health Department showing the size of the tank and number of bedrooms associated with a specific home.

Short-term Rental: An accommodation for transient guests within a dwelling unit, whether the entire unit or any portion thereof, rented for the purpose of overnight lodging, for a period of not less than two (2) nights, and not more than thirty (30) consecutive nights. For purposes of this definition, a Short-term Rental shall include all housing types, but shall exclude Bed and Breakfast Establishments.

Short-term Rental Agent or Bed and Breakfast Agent: a person who is at least 21 years of age designated by the Owner of a Short-term Rental or Bed and Breakfast Establishment on the permit application. Such person shall be available for and responsive to contact 24 hours a day, 7 days a week, and within two (2) hours after being contacted by a duly authorized representative of Dawson County. Such person, firm, or agency shall be legally responsible for ensuring that all occupants and/or guests of a Short-term Rental or Bed and Breakfast Establishment comply with all applicable rules and regulations.

Permittee: a person who obtains a permit for a Short-term Rental or Bed and Breakfast Establishment.

Subdivision: Property that has been divided into three (3) or more smaller pieces.

Tourist Accommodation Permit: A permit issued by Dawson County Environmental Health Office to allow overnight accommodations and breakfast.

Trash: Discarded Matter, Refuse

Zoning: The classification of real property and delineating permitted and prohibited uses of said real property depending on a prescribed zoning classification along with other rules to be followed such as building heights and setbacks.

Sec. 30-502 – Short-term Rental Permit Required

No person shall rent, lease, or otherwise exchange for compensation or advertise for such all or any portion of a dwelling, dwelling unit, building, or structure as a Short-term Rental without first obtaining a Short-term Rental permit pursuant to the regulations contained herein.

Sec. 30-503 – Bed and Breakfast Establishment Permit Required

No person shall rent, lease, or otherwise exchange for compensation all or any portion of a dwelling, dwelling unit, building, or structure as a Bed and Breakfast Establishment without first obtaining a Bed and Breakfast Establishment permit pursuant to the regulations contained herein.

Sec. 30-504 – Application for permit

- (a) An Owner of a proposed Short-term Rental or Bed and Breakfast Establishment shall submit an application for a Short-term Rental permit or a Bed and Breakfast permit to the Dawson County Planning and Development Department. All applications shall be fully completed by the Applicant and sworn to and signed by the Applicant in the presence of

a notary public or other officer authorized to administer oaths. If the Owner is not a Natural Person, then the Applicant must certify he or she has the actual authority to submit the application on behalf of the Owner. All applications shall be on a form specified by Dawson County.

(b) All applications shall be accompanied by a non-refundable application fee as set forth in the Dawson County Planning and Development Fee Schedule.

(c) All applications shall include:

- (1) The name, address, telephone number, and email address of the Owner(s) of record of the Property. If such Owner is not a natural person, the application shall identify all partners, officers, and/or directors of any such entity, including personal contact information for each such Natural Person, including address, telephone number, and email address;
- (2) The address of the Property to be used as a Short-term Rental or Bed and Breakfast Establishment;
- (3) The current zoning classification and Tax Map and Parcel number for the Property;
- (4) The name, address, telephone number, and email address of the designated Short-term Rental Agent or Bed and Breakfast Agent;
- (5) The Owner's sworn acknowledgement that he or she has reviewed and understands all regulations of the County pertaining to the operation of Short-term Rentals and/or Bed and Breakfast Establishments, as applicable;
- (6) The number of off-street parking spaces allotted to the Property;
- (7) The number of bedrooms and approximate square footage in the Short-term Rental or Bed and Breakfast Establishment, and a statement of the maximum number of overnight and daytime occupants, as allowed by this Article;
- (8) The Owner's agreement to use his or her best efforts to assure that use of the Property by Short-term Rental or Bed and Breakfast Establishment occupants will not disrupt the neighborhood, and will not interfere with the rights of neighboring property owners to the quiet enjoyment of their property;
- (9) Any other information that this Article requires the Owner to provide to Dawson County as part of the application process. The Permit Administrator or his or her designee shall have the authority to obtain any additional information from the Applicant as necessary to achieve the objectives of this Article.

(d) Attached to and concurrent with submission of the application described in this Section, the Owner shall provide:

- (1) Proof of Owner's current ownership of the Property;

- (2) A Paid Tax Receipt for the most current year taxes paid for the Property;
- (3) If the Property is not serviced by public sewer, a Septic Tank Permit or other appropriate documentation from the Dawson County Environmental Health Office which denotes the number of bedrooms permitted for the Property;
- (4) A Labeled Floor Plan of the dwelling, dwelling unit, building or structure to be used as a Short-term Rental or Bed and Breakfast Establishment;
- (5) A written certification from the Owner verifying compliance with the requirements of Section 30-510;
- (6) A copy of the Owners or Owner's agents' government issued photo identification card (i.e. driver's license or other legal identification card); and
- (7) Proof of insurance for the Short-term Rental and/or Bed and Breakfast Establishment.
- (8) Proof of professional trash service for the Short-term Rental and/or Bed and Breakfast Establishment, with documentation indicating designated trash collection days.

Sec. 30-505 - Grant or denial of application

- (a) Prior to the issuance of a permit under this Article, the Permit Administrator, or his or her designee, shall provide written notice of the application to all owners of record of property adjacent to the Property proposed to be used as a Short-term Rental or Bed and Breakfast Establishment. Such notification shall include:
 - (1) The street address of the proposed Short-term Rental or Bed and Breakfast Establishment;
 - (2) The location of any on-site parking for Short-term Rental or Bed and Breakfast Establishment occupants;
 - (3) Applicable maximum occupancy requirements; and
 - (4) The name of the Property Owner.
- (b) Review of an application submitted under this Article, including renewal applications, shall be conducted by the Permit Administrator, or his or her designee, and a permit shall be issued or the application denied within fifteen (15) business days of receipt of a completed application.
- (c) An application or renewal may be denied if:
 - (1) The Applicant has had any other permit issued under this Article revoked within the immediately preceding twelve (12) month period;
 - (2) The Property is not current on its property taxes;

- (3) There is a history of complaints regarding the Property or the Owner or operator of the Short-term Rental or Bed and Breakfast Establishment, as applicable, as determined in the sole good faith discretion of the Permit Administrator;
 - (4) The Health Department notifies the County of an inadequate septic system or other health concerns;
 - (5) There are violations of the Code of Dawson County, Georgia on the Property;
 - (6) The Homeowner's Association of the relevant neighborhood provides covenants or other legal documents preventing Short-term Rentals or Bed and Breakfast Establishments from operating on the Property; or
 - (7) The Applicant fails to meet the conditions and/or requirements of this Article, or otherwise fails to demonstrate the ability to comply with any other local, state, or federal law.
- (d) A decision to deny a permit shall be provided to the Applicant in writing and delivered to the Applicant by certified mail.

Sec. 30-506 - Duty to notify Dawson County of material change to application

The Owner, Applicant, and/or Permittee maintain a duty to provide written notice to Dawson County of any material change to information listed on the application, which shall be provided within three (3) business days of such change unless otherwise noted in this Article.

Sec. 30-507 – Maximum Occupancies

(a) Short-term Rentals:

- (1) The maximum overnight occupancy (between the hours of 10 p.m. and 8 a.m.) of any Property to be used as a Short-term Rental shall be limited to two (2) persons per bedroom plus two (2) additional persons;
- (2) The maximum daytime occupancy (between the hours of 8 a.m. and 10 p.m.) of any Property to be used as a Short-term Rental shall be the maximum overnight occupancy times two (2). For example, if a five-bedroom house is rented, the maximum occupancy between 8:00 a.m. and 10:00 p.m. would be twelve (12) Short-term Rental overnight occupants and twelve (12) guests, for a total of twenty-four (24) persons.
- (3) Only six (6) bedrooms may be rented regardless of the total number of bedrooms, provided however, that ten (10) bedrooms may be rented on properties of five (5) or more acres, subject to the number of bedrooms noted by the Dawson County Environmental Health Office.

- (b) Bed and Breakfast Establishments: The maximum overnight occupancy of any Property to be used as a Bed and Breakfast Establishment shall be based on the number of bedrooms less one, with an overall maximum of six (6) bedrooms, with no more than two (2) persons per bedroom. For example, if a five-bedroom house is being used as a Bed and Breakfast Establishment, the occupancy would be calculated by not counting one bedroom (caretakers room) and then multiplying the number of remaining bedrooms, four (4) bedrooms, by two (2), with a maximum of eight (8) overnight occupants.
- (c) The maximum occupancies set forth in this section shall be based on the number of bedrooms set forth in the documentation from the Dawson County Environmental Health Office which denotes the number of bedrooms permitted as referenced in Section 30-504(d)(3) above.

Sec. 30-508 – Parking

- (a) No parking for any purposes shall be allowed on the street on which the Short-term Rental or Bed and Breakfast Establishment is located or any adjacent street thereto.
- (b) Sufficient parking must be provided for every Short-term Rental or Bed and Breakfast Establishment occupant to park his or her vehicle off the street with a minimum of one parking space per bedroom;
- (c) No motorhomes, campers or the like shall be parked or hooked up to utilities at any Short-term rental or Bed and Breakfast Establishment property.

Sec. 30-509-Solid Waste

The Owner of any Short-term Rental or Bed and Breakfast Establishment shall provide adequate solid waste receptacles with closable lids to prevent wildlife incursion, as well as professional solid waste collection and disposal services for the Property. Said receptacles shall be secured except on days when trash pickup occurs.

Sec. 30-510- Life Safety and Sanitation

- (a) All designated bedrooms, including egress from all bedrooms, shall comply with all applicable safety codes as were in effect on the date the Short-term Rental or Bed and Breakfast Establishment was issued a Certificate of Occupancy.
- (b) Every bedroom, adjoining hallway, and common area shall be equipped with an operational smoke detector that meets current IRC standards and shall be maintained in good working order at all times. The placement and mounting of each smoke detector shall comply with all applicable requirements of the current IRC.

- (c) Each habitable floor shall be equipped with an operational carbon monoxide detector that meets applicable state law requirements and shall be maintained in good working order at all times.
- (d) Each floor of a Short-term Rental or Bed and Breakfast Establishment shall be equipped with a fire extinguisher that is fully charged, not past expiration date, and that meets all National Fire Protection Association (NFPA) standards, including those as set forth in NFPA 10: Standard for Portable Fire Extinguishers.
- (e) Private swimming pools shall comply with the current International Swimming Pool and Spa Code.
- (f) The Owner shall maintain a house number that is visible from the street at all times.

Sec. 30-511 – Postings on Property

- (a) The following shall be posted in a conspicuous place near the main entry door of the dwelling, dwelling unit, building or structure used as a Short-term Rental or Bed and Breakfast Establishment:
 - (1) The Short-term Rental permit or Bed and Breakfast Establishment permit;
 - (2) The maximum overnight occupancy and maximum daytime occupancy of the Short-term Rental or Bed and Breakfast Establishment;
 - (3) Rules and regulations for occupants to view in order to promote compliance with this Article.
 - (4) Tourist Accommodation Certificate provided by the Dawson County Environmental Health Office (Bed and Breakfast Establishments Only).
 - (5) An emergency exit route map with the 911 emergency number clearly denoted.
 - (6) The number of vehicles which may be parked on the Property.

Sec. 30-512 – Guest Rules

The following are the minimum rules to be published and displayed in a conspicuous place as described in Sec. 30-511(a)(3) of this Article:

- (1) Please respect the neighborhood and your neighbor’s right to quiet enjoyment of their home. Loud music and noise are prohibited by the Dawson County Noise Ordinance. Quiet time: 10 p.m. to 7 a.m. on weekdays and 10:00 p.m. to 8:00 a.m. on weekends and holidays.
- (2) Overnight guests shall not exceed the property’s posted occupancy.

- (3) All rental properties are designed for residential use consistent with the Dawson County Land Use Resolution. Large groups, events, receptions or the like which exceeds the maximum daytime occupancy of the property is prohibited.
- (4) Cars may not be parked on the street and must remain on the property associated with said Short-term Rental or Bed and Breakfast Establishment in designated parking areas.
- (5) Motor homes, campers, etc. are prohibited and may not be parked or hooked up at a Short-term Rental or Bed and Breakfast Establishment.
- (6) Garbage shall be bagged securely and placed in provided trash receptacles. Lids must be secured on trash receptacles to prevent wildlife incursions.

Sec. 30-513 – Additional Requirements

- (a) *Access to a Short-term Rental.* The Property upon which a Short-term Rental or Bed and Breakfast Establishment is located must either front upon, and have access to, a County-maintained road by a minimum fifty (50) feet of road frontage, or if the property is located on a privately-owned road, the property owner must provide written authorization from the owner of the road granting access to County employees with authority to enforce this Article, including employees or agents of the County Marshals Office, Sheriff's Office, Fire Department, and Health Department, which shall authorize gate access, where applicable, for enforcement purposes.
- (b) *Advertising.* Any advertising of a Short-term Rental or Bed and Breakfast Establishment shall conform to information included in the permit and requirements of this Article, and shall include the permit number issued by the County.
- (c) The Short-term Rental or Bed and Breakfast Establishment must have a sewer connection or a septic system in good working order and capable of handling the number of bedrooms approved for rental.

Sec. 30-514 - Short-term Rental Agent; duties

- (a) The Owner of a Short-term Rental shall designate a Short-term Rental Agent on its application for a Short-term Rental permit who has access and authority to assume management of the Short-term Rental and take remedial measures while the Short-term Rental is being rented to an occupant and/or guest.
- (b) An Owner may designate himself or herself as the Short-term Rental Agent, or may designate any other Natural Person over the age of 21. Alternatively, an Owner may retain a managing agent, managing agency, operator, or representative to serve as the Short-term Rental Agent to comply with the requirements of this Section, including, without limitation, the permitting of the Short-term Rental, the management of the Short-term rental, and the compliance with the conditions of the Short-term Rental permit. The Owner

of the Short-term Rental is responsible for compliance with the provisions of this Section, and the failure of an agent to comply with this Section shall be deemed noncompliance by the Owner.

- (c) An Owner may change his or her designation of a Short-term Rental Agent temporarily or permanently; however, there shall only be one such agent for a Property at any given time. To change the designated agent, the Owner shall notify the Dawson County in writing of the new agent's identity, together with all information regarding such person as required by this Article.
- (d) Any change in designation of the Short-term Rental Agent will not take effect until notice has been provided to Dawson County.
- (e) The Short-term Rental Agent shall:
 - (1) Respond to the Property 24 hours a day, 7 days a week, and within two (2) hours following notification from a duly authorized representative of Dawson County of the existence of a violation of this Article or any other provision of this Code, or any disturbance or complaint requiring immediate remedy or abatement regarding the condition, operation, or conduct of occupants of the Short-term Rental. This includes, but is not limited to, notification that occupants of the Short-term Rental have created unreasonable noise or disturbances, engaged in disorderly conduct, or have committed violations of Code of Dawson County, Georgia, or other applicable local, state or federal law pertaining to noise, disorderly conduct, overcrowding, consumption of alcohol, or use of illegal drugs. This is not intended to impose a duty on the Short-term Rental Agent to act as a peace officer or otherwise require the agent to place himself or herself in a perilous situation.
 - i. Whether the Short-term Rental Agent shall be required to respond to the Property to address a violation, disturbance, or complaint shall be determined in the discretion of the County officer or employee responding to said violation, disturbance, or complaint.
 - ii. Nothing in this section shall be construed as limiting Dawson County or any officer or employee thereof in responding to any violation, disturbance, or complaint or taking any enforcement action under this Article.
 - (2) Receive and accept service of any notice of violation related to the use or occupancy of the Short-term Rental.
 - (3) Monitor the Short-term Rental for compliance with this Article.

Sec. 30-515 - Bed and Breakfast Establishment Owner/Agent; duties

- (a) The Owner of a Bed and Breakfast Establishment shall designate a Short-term Rental Agent on its application for a Bed and Breakfast Establishment permit who has access and authority to assume management of the Bed and Breakfast Establishment and take remedial measures while the Bed and Breakfast Establishment is being rented to an occupant and/or guest.
- (b) An Owner may designate himself or herself as the Bed and Breakfast Agent, or may designate any other Natural Person over the age of 21. The Owner of the Bed and Breakfast Establishment is responsible for compliance with the provisions of this Section, and the failure of an agent to comply with this section shall be deemed noncompliance by the Owner.
- (c) An Owner may change his or her designation of a Bed and Breakfast Agent temporarily or permanently; however, there shall only be one such agent for a Property at any given time. To change the designated agent, the Owner shall notify the Dawson County in writing of the new agent's identity, together with all information regarding such person as required by this Article.
- (d) Any change in designation of the Bed and Breakfast Agent will not take effect until notice has been provided to Dawson County.
- (e) The Bed and Breakfast Agent shall:
 - (1) Reside on the Property of the Bed and Breakfast Establishment and be at least 21 years of age or older.
 - (2) Respond to the Property 24 hours a day, 7 days a week, and within two (2) hours following notification from a duly authorized representative of Dawson County of the existence of a violation of this Article or any other provision of this Code, or any disturbance or complaint requiring immediate remedy or abatement regarding the condition, operation, or conduct of occupants of the Short-term Rental. This includes, but is not limited to, notification that occupants of the Bed and Breakfast Establishment have created unreasonable noise or disturbances, engaged in disorderly conduct, or have committed violations of the Code of Dawson County, Georgia, or other applicable local, state or federal law pertaining to noise, disorderly conduct, overcrowding, consumption of alcohol, or use of illegal drugs. This is not intended to impose a duty on the Bed and Breakfast Agent to act as a peace officer or otherwise require the agent to place himself or herself in a perilous situation.
 - i. Whether the Bed and Breakfast Agent shall be required to respond to the Property to address a violation, disturbance, or complaint shall be

determined in the discretion of the County officer or employee responding to said violation, disturbance, or complaint.

- ii. Nothing in this section shall be construed as limiting Dawson County or any officer or employee thereof in responding to any violation, disturbance, or complaint or taking any enforcement action under this Article.

(3) Receive and accept service of any notice of violation related to the use or occupancy of the Property.

(4) Monitor the Bed and Breakfast Establishment for compliance with this Article.

Sec. 30-516 - Renewal of permit

- (a) An approved Short-term Rental or Bed and Breakfast Establishment permit shall be valid for a period of three (3) years from the date issued.
- (b) Each application for renewal of a permit shall be approved or denied in accordance with the procedures prescribed in this Article.
- (c) Each application for renewal of a permit shall be submitted by 4:00 p.m. thirty (30) days prior to the permit expiration date. Any Permittee who has not submitted the renewal application and required fee by 4:00 p.m. thirty (30) days prior to the permit expiration date shall pay a late charge as determined by the Dawson County Board of Commissioners and set forth in Dawson County Planning and Development Fee Schedule. If the renewal deadline date falls on a Saturday or Sunday, the renewal deadline shall be the following Monday.
- (d) Any application received after the permit expiration date shall be treated as an initial application and the Applicant shall be required to comply with all rules and regulations for the granting of permits as if no previous permit had been held. This will include, but in no way be limited to, a reassessment of administrative fees and suspension of any and all rental activities during the reapplication process.

Sec. 30-517 – Transfer or Assignment

No person to whom a permit has been issued shall transfer, assign or convey such permit to another person and no permit issued under this Article may be transferred or assigned or used at any location other than the location for which it is issued.

Sec. 30-518 – Cancellation of Permit

Before the expiration of a permit, a Permittee may voluntarily cancel the permit by notifying Dawson County in writing of the intent to cancel the permit. The permit shall become void upon the receipt of written notice of intent to cancel the permit.

Sec. 30-519 – Suspension or Revocation of Certificate – Administrative Penalties

- (a) Any false statements or false information provided in the application is grounds for denial, suspension or revocation of a permit under this Article, including the denial of future applications.
- (b) Any violations or noncompliance with the provisions of this Article are grounds for denial, suspension, or revocation of a permit, including denial of future applications.
- (c) *Discovery of an immediate health hazard.* Upon the discovery of an immediate health hazard to renters, the Permit Administrator shall suspend a permit issued under this Article until the hazard is remedied. If the hazard is not timely corrected, the permit may be revoked.
- (d) Reasons for revocation of a permit include, but are not limited to:
 - (1) Any permit issued under this Article shall be immediately revoked in the case of bankruptcy, receivership or levy of legal process upon the Owner or subject Property.
 - (2) A permit shall be immediately suspended or revoked upon learning that an Applicant furnished fraudulent or untruthful information in the application for a permit, or omits information required in the application for a permit, or fails to pay all fees, taxes, or other charges imposed under the provisions of this Article or other applicable ordinances and laws.
 - (3) A permit may be suspended or revoked in the case of three violations of this Article within a 12-month period.
 - (4) A permit may be suspended or revoked if the Property's use as a Short-term Rental constitutes a public nuisance.
 - (5) A permit shall be immediately suspended upon violation of any zoning, building, health, or safety code provision, and the Owner must demonstrate compliance with the applicable code prior to being eligible for reinstatement or to receive a subsequent permit.
- (e) Any suspension, revocation, or forfeiture of an issued permit shall occur only after notice and opportunity for a hearing before the Board of Commissioners consistent with the procedures set forth in this Article.

Sec. 30-520 - Permit fee

The permit fee shall be a non-refundable fee amount as set forth in the Dawson County Planning and Development Fee Schedule, and as amended by the Dawson County Board of Commissioners from time to time. Permits are valid for three years from the date of issuance.

Sec. 30-521 – Taxes

Short-term Rental and Bed and Breakfast Establishment Owners are subject to state sales tax, County taxes, including but not limited to the hotel/motel tax, and are liable for payment thereof as established by state law and the Code of Dawson County, Georgia. The County may seek to enforce payment of all applicable taxes to the extent provided by law, including injunctive relief.

Sec. 30-522 – Violation and Penalties – upon Citation in Magistrate Court

- (a) Any violation of this Article, including any violation of the Noise Ordinance set forth in the Code of Dawson County, Georgia, shall subject the permit holder to the following progressive actions, except for those violations and occurrences set forth in Section 30-519 that provide for immediate suspension or revocation upon notice and hearing:
 - (1) The first violation within a consecutive 12-month period, which shall result in a fine in magistrate court not to exceed \$ 250.00 and a written warning notice of violation upon a finding of guilt or plea in magistrate court.
 - (2) The second violation within a consecutive 12-month period, which shall result in a fine in magistrate court not to exceed \$ 500.00 and a suspension of the permit for a period of not less than thirty (30) nor more than ninety (90) days upon a finding of guilt or plea in magistrate court.
 - (3) The third violation within a consecutive 12-month period, which shall result in a fine in magistrate court not to exceed \$ 1,000.00 and the revocation of the permit upon a finding of guilt or plea in magistrate court, and the Owner or Short-term Rental Agent/Bed and Breakfast Agent shall not be eligible to reapply for a permit for a period of twelve (12) months from the date of revocation.
- (b) Any violation of the provisions of this Article by the Owner, Short-term Rental Agent/Bed and Breakfast Agent, or, occupants and/or guests of a Short-term Rental or Bed and Breakfast Establishment shall be enforced in magistrate court to the full extent authorized by O.C.G.A. § 36-1-20. Enforcement actions may be brought against occupants and/or guests of a Short-term Rental or Bed and Breakfast Establishment for violations of this Article and any other provision of the Code of Dawson County, Georgia notwithstanding that enforcement actions may also be brought against the Owner or Short-term Rental Agent/Bed and Breakfast Agent responsible for the conduct constituting the violation. A finding of guilt or plea of guilty or nolo contendere for any violation of the provisions of this Article shall subject the Owner of a Short-term Rental or Bed and Breakfast Establishment to the administrative penalties as set forth in Section 30-522(a)(1-3) regardless of whether the finding of guilty is against, or the plea of guilty or nolo contendere was by, the Owner, Short-term Rental Agent/Bed and Breakfast Agent, or occupants and/or guests of a Short-term Rental or Bed and Breakfast Establishment.

- (c) Each day the Short-term Rental or Bed and Breakfast Establishment is advertised, marketed, or rented for overnight accommodation without the necessary permit required under this Article shall constitute a separate violation.
- (d) A property subject to this Article that has been advertised or listed via the internet or other media sources (e.g. www.vrbo.com, www.airbnb.com, etc.) as a Short-term Rental or as a Bed and Breakfast Establishment shall be prima facie evidence the property is being used as a Short-term Rental or Bed and Breakfast Establishment.
- (e) Failure of the Owner or Short-term Rental Agent/Bed and Breakfast Agent to respond to calls or complaints regarding the condition, operation, or conduct of occupants and/or guests of the Short-term Rental or Bed and Breakfast Establishment in a timely and appropriate manner shall be grounds for imposition of penalties as set forth in this Article. It is not intended that an Owner or Short-term Rental Agent/Bed and Breakfast Agent act as a peace officer or place himself or herself in an at-risk situation.
- (f) In addition to the penalties described above, any person violating the provisions of this Article by operating a Short-term Rental or Bed and Breakfast Establishment without a valid permit under this Article may be prosecuted in magistrate court and upon conviction, shall be subject to a fine in an amount not to exceed \$1,000.00 or confinement in the county jail not to exceed 60 days or both.
- (g) Nothing contained in this subsection shall be construed to preclude the Board of Commissioners from suspending or revoking a permit for a period exceeding those periods identified in sections 30-522(a)(1),(2), or (3) or from revoking the permit if the Board determines in its discretion that such action is necessary and in the best interest of the public health, safety, and welfare of the County.
- (h) In all cases, the mandatory suspension period may be mitigated by the Board of Commissioners upon presentation of evidence that the permit holder established practices and procedures to prevent the violation from occurring.

Sec. 30-523 – Enforcement

- (a) To ensure continued application of the intent and purpose of the Article, any complaints received by Dawson County regarding a Short-term Rental or Bed and Breakfast Establishment shall result in a notice of the complaint being directed to the Short-term Rental Agent or the Bed and Breakfast Agent, as applicable. The Short-term Rental Agent or Bed and Breakfast Agent shall be responsible for contacting the occupants to correct any problem within one (1) hour, if applicable. As directed by a duly authorized officer or employee of Dawson County, the Short-term Rental Agent or Bed and Breakfast Agent is required to visit the Property to confirm compliance with this Article. However, nothing in this section shall be construed as limiting Dawson County or any officer or employee

thereof in responding to any violation, disturbance, or complaint, or taking any enforcement action under this Article.

- (b) The Permit Administrator, or his or her designee, shall investigate whenever there is reason to believe that an Owner, Occupant(s) and/or Short-term Rental Agent or Bed and Breakfast Agent has failed to comply with the provisions of this Article. The investigation may include an inspection of the Short-term Rental or Bed and Breakfast Establishment in accordance with applicable law, review of law enforcement/security reports, online searches, citations, or neighbor documentation consisting of photos, sound recordings and video all of which may constitute evidence of a violation. Should the investigation support a finding that a violation occurred, the Permit Administrator shall determine in his/her discretion whether to proceed with the administrative penalties set forth in Section 18-385 or upon citation to Magistrate Court as set forth in Section 18-386, or both, as applicable.
- (c) The Permit Administrator, or his or her designee, is hereby authorized to establish such procedures as may be required to carry out the purpose and intent of this Section.
- (d) County employees, including employees or agents of the County Marshal's Office, Sheriff's Office, Code Compliance, Fire Department, and Health Department shall have the authority to enforce this Article.

Sec. 30-524 – Appeals and Hearings

- (a) A person aggrieved by the Permit Administrator's or his or her designee's decision to deny a permit may appeal the decision to the Dawson County Board of Commissioners. The appeal must be filed with the Dawson County clerk in writing, within 30 calendar days of the date of the decision to deny the permit, contain a concise statement of the reason for appeal, and be accompanied by the appeal fee as set out in Dawson County Planning and Development Fee Schedule as amended by the Dawson County Board of Commissioners from time to time.
- (b) Upon receipt of an appeal of the Permit Administrator's or his or her designee's decision to deny a permit, or upon the administrative suspension or revocation of a permit, the Dawson County clerk shall schedule a hearing before the Dawson County Board of Commissioners. The timely filing of an appeal shall stay the revocation, suspension, or denial, pending a decision by the Dawson County Board of Commissioners.
- (c) The Dawson County Board of Commissioners shall hold a hearing within 30 days after receipt of the appeal or following the Permit Administrator's determination that suspension or revocation of the permit is warranted, unless extended for good cause, and provide the aggrieved party written notice of the time, place, and date of the scheduled hearing on the matter. The standard of proof on all issues in the hearing shall be a preponderance of the evidence and a determination will be made on the basis of the evidence presented at the hearing.

- (d) At the hearing, the Permit Administrator or his or her designee shall present the facts upon which the denial, suspension, or revocation of the permit were based. After presentation of the case against the aggrieved party, the aggrieved party will have an opportunity to present his/her case, to rebut the allegations made against him/her, and present whatever defenses he/she has. The aggrieved party shall have the right to be represented by an attorney, at the expense of the aggrieved party, and to present evidence and cross-examine opposing witnesses.
- (e) At the conclusion of the hearing, the Dawson County Board of Commissioners shall place any findings and conclusions in writing, which shall be forwarded by the Permit Administrator or his or her designee to the aggrieved party.
- (f) The decision of the Dawson County Board of Commissioners shall be final unless appealed to the superior court of the County, within 30 days of the Permit Administrator or his or her designee providing written notification to the aggrieved party of the decision. Appeal shall be by writ of certiorari based upon the record in accordance with O.C.G.A. § 5-4-1.
- (g) For purposes of this Article, notice shall be deemed delivered when personally served, or when served by certified mail postage prepaid within three days after the date of deposit in the United States Mail.

Sec. 30-525 – Severability

If any paragraph, sub-paragraph, sentence, clause, phrase, or portion of the ordinance shall be declared invalid or unconstitutional by any court of competent jurisdiction or if a provision of any part of this ordinance is applied to any particular situation or set of circumstances in such a manner as to be declared invalid or unconstitutional, then any such invalidity shall not be construed to affect the portions of this ordinance not so held to be invalid and the application of this ordinance to other circumstances shall be held to be invalid. The Dawson County Board of Commissioners hereby declares the intent of Dawson County Board of Commissioners is to provide for separable and divisible parts, and the Dawson County Board of Commissioner hereby adopts any and all parts hereof as may not be held invalid for any reason.

Sec. 30-526 – Repealer

All resolutions or ordinance or parts thereof in conflict with the terms if this Article are hereby repealed.



DAWSON COUNTY BOARD OF COMMISSIONERS AGENDA FORM

Department: EMS/Finance Departments

Work Session: 11/04/2021

Prepared By: Melissa Hawk

Voting Session: 11/18/2021

Presenter: Melissa Hawk

Public Hearing: Yes No

Agenda Item Title: RFP # 394-21 Delinquent Debt Collection for EMS Billing

Background Information:

The County entered into its first debt collections services contract on February 22, 2017, with Professional Recovery Consultants. The contract's last renewal option term expires on December 31, 2021.

Current Information:

A Request for Proposal was released on August 24, 2021, for the collection of outstanding debt related to EMS services. Two offers were received, with LifeQuest receiving a total score of 88. The County will not have a direct cost for these services. LifeQuest will receive 16% of the liability recovered during the contract term.

Budget Information: Applicable: Not Applicable: Budgeted: Yes No

Fund	Dept.	Acct No.	Budget	Balance	Requested	Remaining
100	3630	521100	\$43,000.00			

Recommendation/Motion: Staff respectfully requests the Board to accept the offers submitted and to award a contract to LifeQuest, to receive 16% of the debt collected.

Department Head Authorization: Vickie Neikirk

Date: 10/15/2021

Department Head Authorization: Danny Thompson

Date: 10/2021

Finance Dept. Authorization: Vickie Neikirk

Date: 10/26/21

County Manager Authorization: David Headley

Date: 10-26-2021

County Attorney Authorization: _____

Date: _____

Comments/Attachments:

Presentation



The Edge of The World

Photo By: Michele DeBlois

RFP #394-21 DELINQUENT DEBT COLLECTION FOR EMS BILLING

WORK SESSION – NOVEMBER 4, 2021

Background and Overview

- ❖ Dawson County entered into its first debt collection services contract on February 22, 2017 with Professional Recovery Consultants.
- ❖ The cost of these services is \$31,778.61 for the period of February, 2017 through September, 2021.
- ❖ Collections received by the County for the same period is \$83,509.98.
- ❖ The last renewal option term for this contract expires on December 31, 2021.
- ❖ A Request for Proposal was released on August 24, 2021 for these services.

Procurement Approach and Procedure

BID ACCORDING TO POLICY

- ✓ Advertised in Legal Organ
- ✓ Posted on County Website
- ✓ Posted on Georgia Procurement Registry
- ✓ Emailed notification through vendor registry
- ✓ Notification through County's Facebook and Twitter accounts
- ✓ Notification through Chamber of Commerce
- ❑ **2 proposals received**

Scope of Work

- ❖ Some of the scope of work includes:
 - Work closely with current service provider for a smooth transition to new contract.
 - Adhere to all relative areas of the EMS Billing and Collections Policy .
 - Adhere to all relative directives of the Consumer Financial Protection Bureau and the Telephone Consumer Protection Act.
 - Adhere to all relative State and other Federal laws, regulations, policies and procedures.
 - Adhere to all HIPPA requirements.
 - Actively pursue collections for a period not to exceed 180 days.
 - Receive payments by mail or electronic transfer for outstanding invoices.
 - Remit full amount collected monthly to the County with an accompanying Report of Collections.

Offers Received

Tasks	LifeQuest Services	Stallings Financial Group
Option 1: Fixed Percentage	16%	23%
Total	16%	23%

Summary of Scores

COMPANY	COMPANY BACKGROUND AND STRUCTURE	EXPERIENCE & QUALIFICATIONS OF DEDICATED STAFF	PROJECT UNDERSTANDING/ APPROACH TO SCOPE OF WORK	REFERENCES	MANAGEMENT PLAN	TECHNICAL SCORE	FINANCIAL SCORE	TOTAL SCORE
LifeQuest Services	42	105	105	43	43	68	20	88
Stallings Financial Group	40	100	110	40	40	66	11	77

Scores are rounded up to the nearest whole number.

Staff Recommendation

Staff respectfully requests the Board to accept the offers submitted and to award a contract to LifeQuest to receive 16% of the debt collected during the contract term.