

**DAWSON COUNTY PLANNING COMMISSION**  
**MEETING Agenda – Tuesday, February 20, 2024**  
**DAWSON COUNTY GOVERNMENT CENTER ASSEMBLY ROOM**  
**25 JUSTICE WAY, DAWSONVILLE GEORGIA 30534**  
**6:00 PM**

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**A. MEETING CALLED TO ORDER**

**B. INVOCATION**

**C. PLEDGE OF ALLEGIANCE**

**D. ROLL CALL**

**E. ANNOUNCEMENTS:**

There will be a Planning Commission Meeting March 19<sup>th</sup>, 2024

**F. APPROVAL OF MINUTES:**

December 19<sup>th</sup>, 2023

**G. APPROVAL OF THE AGENDA**

**H. STATEMENT OF DISCLOSURE:**

*For speakers in favor or opposition to any application who have made contributions more than \$250.00 to any local official campaign.*

**I. NEW BUSINESS:**

**Election of Planning Commission Officers:**

1. Chairman
2. Vice Chairman
3. Secretary

**Application for Variance:**

4. Presentation of VR 23-18 Christopher and Angela Baptiste

**Application for Rezoning:**

5. Presentation of ZA 23-08 Chief Construction

**J. PUBLIC HEARINGS:**

1. Presentation of Amendment of Land Use Resolution for the addition of an Entertainment District

**K. ADJOURNMENT**

*Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 706-344-3666, extension 44514. The county will make reasonable accommodations for those persons*



VR 23-18

Angela & Christopher Baptiste

Planning Commission Hearing February 20, 2024

VARIANCE STAFF REPORT

**Proposal:** The applicant is requesting a variance to the Dawson County Land Use Resolution side setback requirements for the construction of a primary residence two and a half feet from the Eastern property line.

Applicant	Angela & Christopher Baptiste
The development standard and requirement to be varied	Land Use Code, Article III Section 121-67
Zoning	Vacation Cottage Restricted
Acreage	.365 acres
Plat	Plat Book
Road Classification	Private
Right-of-Way	Unknown
Tax Parcel	L21 100 006
Commission District	District 3

Direction	Zoning	Existing Use
North	VCR	Single Family Residence
South	VCR	Single Family Residence
East	VCR	Vacant Land
West	VCR	Single Family Residence

***Unless a variance is approved the minimum requirements for the VCR Land Use District are:***

Minimum square footage. 800 square feet (heated).

Minimum setbacks.

Front yard - 100 feet on parkways, 60 feet on state highways, 35 feet on others;

Side yard - 15 feet;

Rear yard - 20 feet.

Front yard setback applies to all frontages on publicly maintained streets.

Minimum setbacks for accessory structures:

Front yard - 100 feet on parkways, 60 feet on state highways, 40 feet on others;  
Side yard - 10 feet; and Rear yard - 10 feet.

If a principal residential structure is located less than 15 feet from any property line, then local fire codes impose certain requirements.

*A variance should be granted only after evidence is presented and accepted that enforcement of all of the required standards on the property in question would render the property useless.*

*Reasonable conditions may be imposed in connection with a variance as deemed necessary to protect the best interests of the surrounding property or neighborhood, and otherwise secure the purpose and requirements of this article. Guarantees and evidence may be required that such conditions will be and are being complied with.*

*Variances in accordance with this article should not ordinarily be granted if the special circumstances on which the applicant relies are a result of the actions of the applicant or owner or previous owners.*

**County Agency Comments:**

Emergency Services: "Must meet Fire Code requirements."

Environmental Health Department: Serviced by Forsyth County water and sewer.

Etowah Water & Sewer Authority: Serviced by Forsyth County water and sewer.

Planning and Development: At the commencement of construction the homeowner was using a contractor that failed a site staking inspection and continued with the construction of the home without requesting any further inspections. The homeowner and the contractor parted ways leaving the homeowner left to finish the construction on their own and to bring the mid-developed home into compliance.

Public Works Department: "No comments necessary."

- **PHOTO** -





**Criteria for granting variances.**

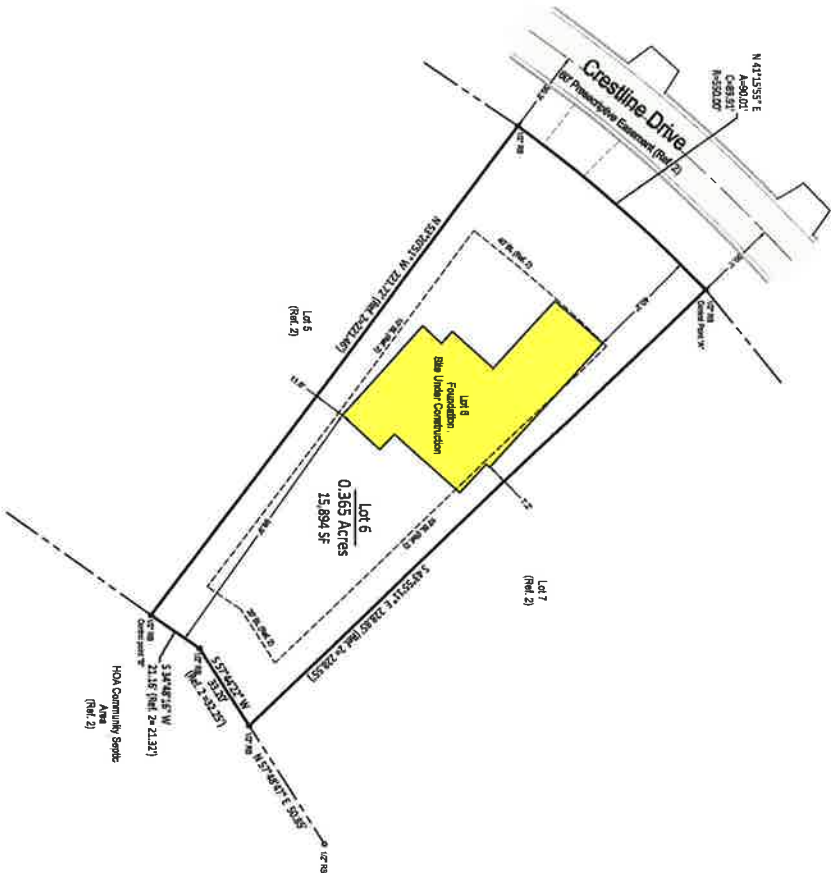
**THE PLANNING COMMISSION SHALL MAKE ITS RECOMMENDATIONS BASED ON ALL FOUR EXPRESSLY WRITTEN FINDINGS:**

- (1) That a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty or unnecessary hardship; and**
- (2) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties in the same district; and**
- (3) That the granting of the variance will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the near vicinity; and**
- (4) That the granting of the variance would support general objectives contained within the Land Use Chapter of the code.**

SYMBOL | EQUINOX

planning or any construction activities.

1. No attempt was made by this firm to determine presence of wetlands.
2. No attempt was made by this firm to determine the presence of specimen trees.



LOCATION MA  
NOT TO SCALE

1. Type of Survey: RTK (Real Time Control)
2. Average Positional Accuracy Per Point: 0.04
3. Horizontal Datum: NAD83 (2011)
4. Point Control Label: Smartphone network
5. Good Control: GCR180
6. Combined GSD Factor: 0.00881 (0.0090 w/ a Bearing of 5.30° 48' 18" E, a Distance of 132.44' from Control Point 1, N, to Control Point 0).
7. Date of Release: 7/14/21

1. **GENERAL NOTES:**
  - a. **CONTRACT DOCUMENTS:** The contract documents shall include, but not be limited to, the following:
    - 1. **STATEMENT OF WORK (SOW):** The SOW shall be prepared by the contractor and shall be submitted to the owner for review and approval. The SOW shall include, but not be limited to, the following:
      - 1. **SCOPE OF WORK:** A detailed description of the work to be performed, including the location, extent, and nature of the work.
      - 2. **SEQUENCE OF WORK:** A detailed description of the sequence of work, including the order of construction, the timing of construction, and the duration of construction.
      - 3. **QUALITY CONTROL:** A detailed description of the quality control measures to be implemented, including the frequency of inspections, the methods of inspection, and the acceptance criteria.
      - 4. **SAFETY:** A detailed description of the safety measures to be implemented, including the safety plan, the safety training, and the safety equipment.
      - 5. **ENVIRONMENTAL PROTECTION:** A detailed description of the environmental protection measures to be implemented, including the erosion control, the sediment control, and the waste management.
      - 6. **COMMUNITY RELATIONS:** A detailed description of the community relations measures to be implemented, including the public information, the community outreach, and the stakeholder engagement.
  - b. **PERMITS:** The contractor shall be responsible for obtaining all necessary permits for the construction project. The contractor shall submit all permit applications to the owner for review and approval. The contractor shall be responsible for paying all permit fees and for complying with all permit conditions.
  - c. **INSURANCE:** The contractor shall be responsible for obtaining all necessary insurance for the construction project. The contractor shall submit all insurance policies to the owner for review and approval. The contractor shall be responsible for paying all insurance premiums and for maintaining all insurance policies throughout the construction project.
  - d. **FINANCIAL:** The contractor shall be responsible for providing all necessary financial information to the owner. The contractor shall submit all financial statements, including the balance sheet, the income statement, and the cash flow statement, to the owner for review and approval. The contractor shall be responsible for providing all necessary financial guarantees, including the performance bond and the payment bond.
  - e. **COMPLETION:** The contractor shall be responsible for completing the construction project on time and within budget. The contractor shall submit a completion report to the owner upon completion of the project. The contractor shall be responsible for maintaining the completed project for a period of one year after completion.

**Not for recording**

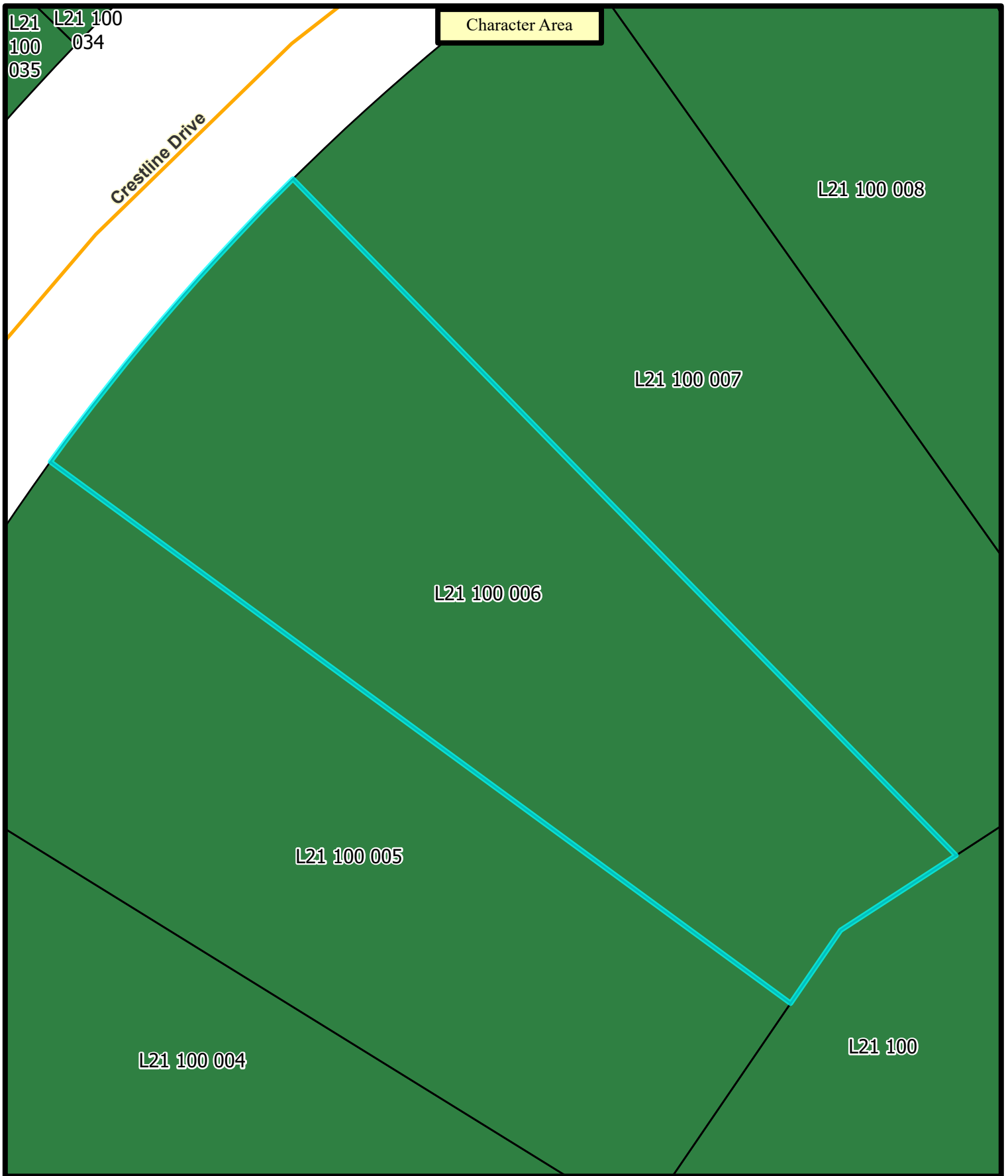
**Civil Engineering, Land Surveying,  
Stream and Wetland Restoration**

108 Allen Street Cumming, Georgia 30040  
Phone: 770-442-0500 [www.engineering303.com](http://www.engineering303.com)



**Lot 6 - The Reserve Club and Marina, Phase 1-A**  
Christopher Baptista and Angela Baptista Living Trust, Synovus Bank, Meriton & Associates, LLC and American Land Title Assoc.

UNINCORPORATED  
13th District  
DeKalb County, GA



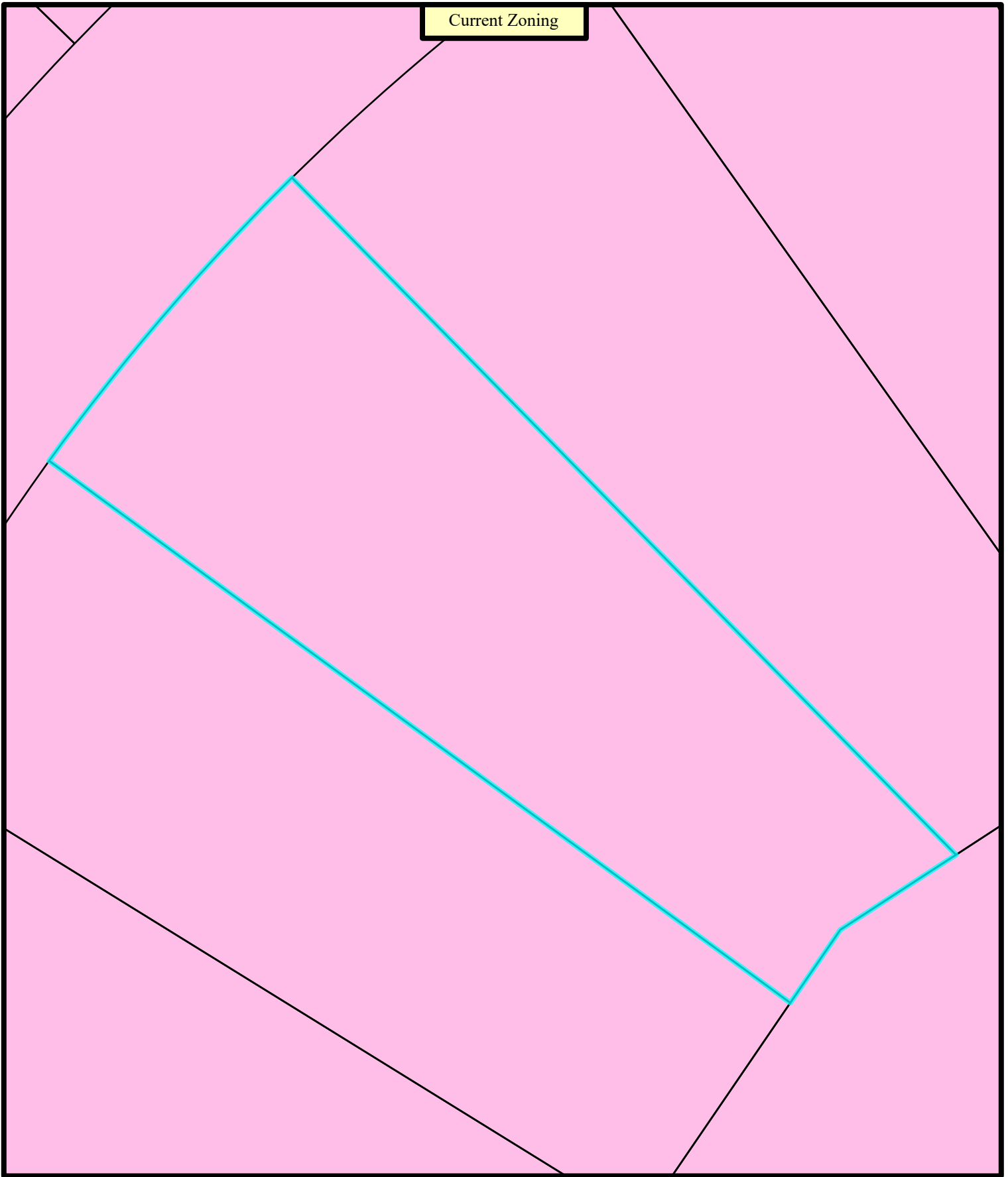
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Dawson County  
Planning and Development  
7  
Staff Report

Parcel #: L21 100 006  
Current Zoning: VCR  
FLU: RL  
Application #: VR 23-18  
Character Area: Lanier



Current Zoning



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Dawson County

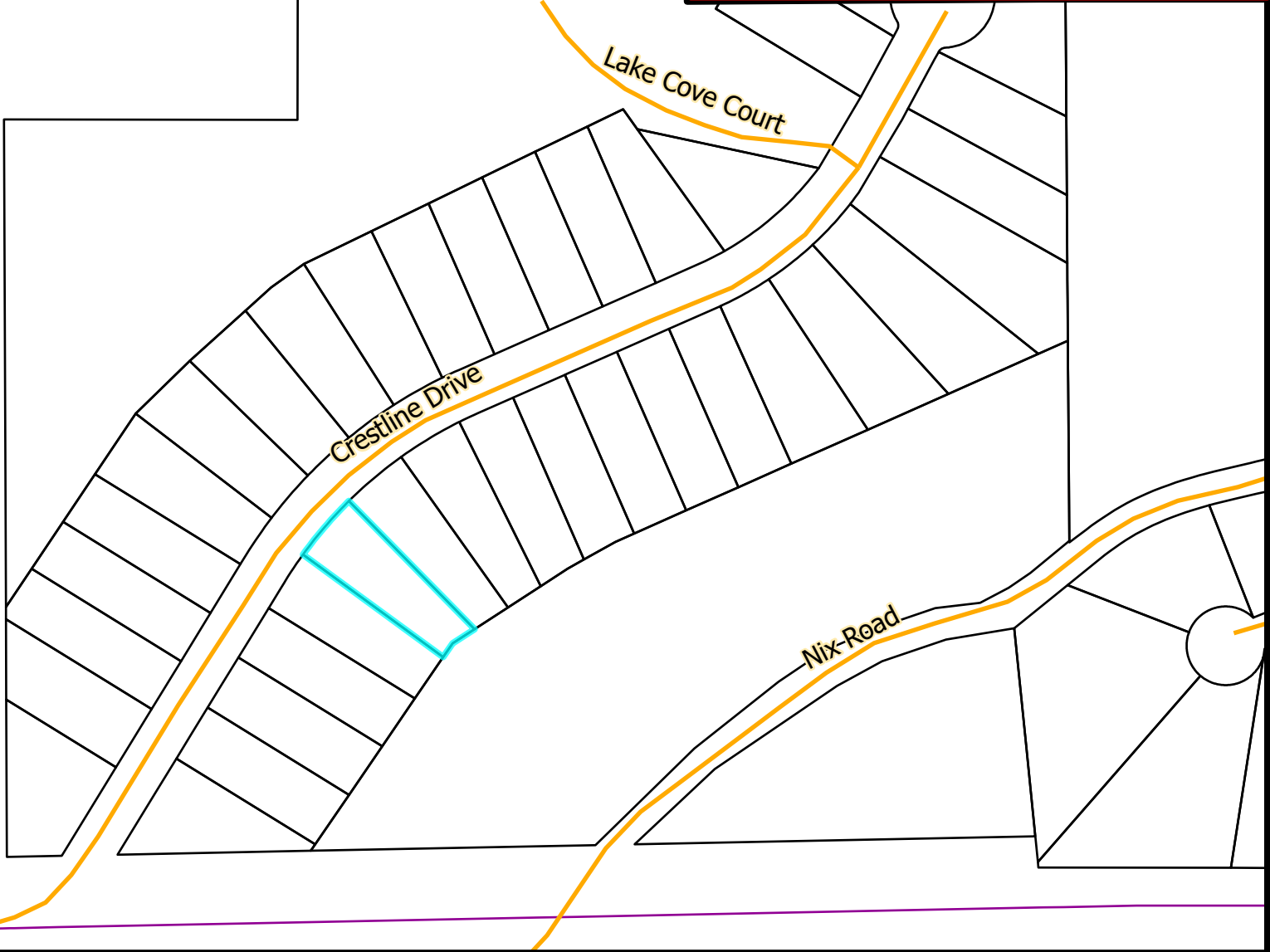
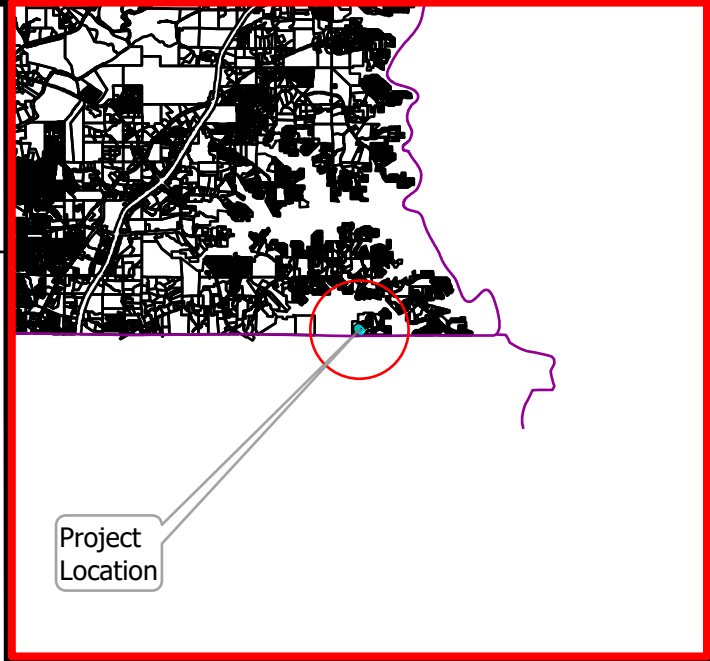
Planning and Development

8

Staff Report

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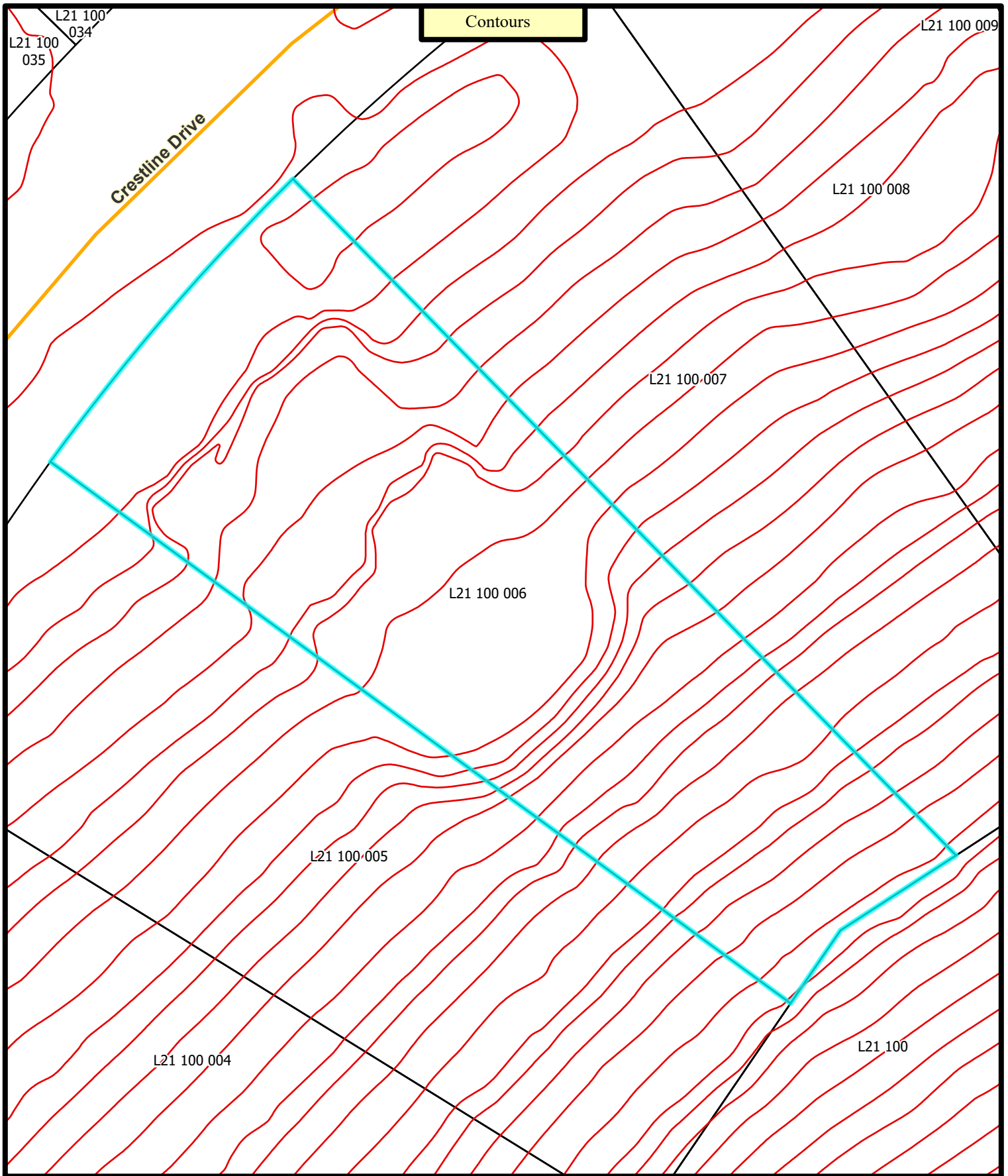


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Dawson County  
Planning and Development  
9  
Staff Report: Exhibit

Parcel #: L21 100 006  
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Scale: 1:447

Dawson County  
Planning and Development  
10  
Staff Report

Parcel #: L21 100 006  
Current Zoning: VCR  
FLU: RL  
Application #: VR 23-18  
Character Area: Lanier



## DAWSON COUNTY VARIANCE APPLICATION

25 Justice Way, Dawsonville, Georgia 30534

### APPLICANT INFORMATION (or Authorized Representative)

Printed Name: Christopher & Angela Baptiste

Address: \_\_\_\_\_

Contact Email: \_\_\_\_\_ Telephone # \_\_\_\_\_

Status: ☒ Owner ☐ Authorized Agent ☐ Lessee

### PROPERTY INFORMATION

Street Address of Property:

7390 Crestline Drive

Land Lot(s): 6 District: 3 Section: \_\_\_\_\_

Subdivision/Lot: 47 / \_\_\_\_\_

Building Permit #: 18025 (if applicable)

### REQUESTED ACTION

A Variance is requested from the requirements of Article # \_\_\_\_\_ Section # \_\_\_\_\_ of the Land Use Resolution/Sign Ordinance/Subdivision Regulations/Other.

☐ Front Yard setback ☒ Side Yard setback ☐ Rear Yard setback variance of \_\_\_\_\_ feet to allow the structure to: ☐ be constructed; ☒ remain a distance of 2 1/2 feet from the ☒ property line, or ☐ other: \_\_\_\_\_ instead of the required distance of 10 feet as required by the regulations.

☒ Home Occupation Variance: \_\_\_\_\_

☐ Other (explain request): \_\_\_\_\_

If there are other variance requests for this site in past, please list case # and nature of variance:

\_\_\_\_\_

2023 SEP 23 11 03 AM



## DAWSON COUNTY VARIANCE APPLICATION

25 Justice Way, Dawsonville, Georgia 30534

Variances to standards and requirements of the Regulations, with respect to setbacks, lot coverage, height, and other quantitative requirements may be granted if, on the basis of the application, investigation, and other evidence submitted **by the applicant, all four (4)** expressly written findings below are made:

**1. Describe why a strict and literal enforcement of the standards would result in a practical difficulty or unnecessary hardship:**

The construction of our home was completed by our previous owner. When it came to our attention when we took over the project that the structure exceeded the setbacks, we immediately contacted the Planning Department and the Board of Commissioners. We were informed that the structure was in violation of the setbacks and that we would need to apply for a variance. We have since been working with the Planning Department and the Board of Commissioners to resolve this issue. We have been informed that the Board of Commissioners will be meeting on the 12th of the month to discuss our variance application. We are confident that the Board will grant our variance and that we will be able to complete our home.

**2. Describe the exceptional and extraordinary conditions applicable to this property which do not apply to other properties in the same district:**

The exceptional and extraordinary conditions unique to this property primarily stem from the irregular shape of the property. Unlike neighboring properties with more regular configurations, the irregular shape of the property makes it difficult to build a house that meets the setbacks. Acknowledging and addressing these specific conditions through a variance is essential to the property owner's ability to build a house on the property.

**3. Describe why granting a variance would not be detrimental to the public health, safety, morals or welfare and not be materially injurious to properties in the near vicinity:**

Granting a variance in this case would not be detrimental to public health, safety, morals or welfare. The deviation does not compromise the structural integrity or safety of the building, and it does not materially injure the properties in the near vicinity. Moreover, the property owner has taken measures to ensure that the variance request does not adversely affect the surrounding properties.

**4. Describe why granting this variance would support the general objectives within the Regulation:**

Granting this variance aligns with the regulations' overarching objectives by allowing a house to be built on the property. Moreover, the variance contributes to sustainable development by minimizing environmental impact. Overall, this variance request strikes a balance between adhering to regulatory principles and the property owner's need to build a house on the property.

Add extra sheets if necessary.



**1. Describe why a strict and literal enforcement of the standards would result in a practical difficulty or unnecessary hardship:**

The construction of our home was completed by our previous contractor Harvest Homes who abandoned the project, and it came to our attention when we took over the project that the structure exceeded the specified standards by 2 1/2 feet. A strict and literal enforcement of these standards at this stage would result in a practical difficulty and unnecessary hardship. The existing structure takes into account the unique topographical features of the property, which includes a notable slope and irregular shape. Retrofitting the building to conform precisely to the established standards would not only be financially burdensome but may also compromise the structural integrity and safety of the already erected edifice. Additionally, the deviation from the standards is minimal and does not impede the overall purpose and intent of the zoning regulations. Granting a variance for the already constructed building acknowledges the practical challenges faced during construction and ensures that the structure remains safe and in harmony with the surrounding environment without adversely affecting public health, safety, or welfare.

**2. Describe the exceptional and extraordinary conditions applicable to this property which do not apply to other properties in the same district:**

The exceptional and extraordinary conditions unique to this property primarily stem from its irregular shape, which significantly deviates from the standard characteristics of other properties within the district. The irregular topography poses a distinctive challenge for development, as it restricts the conventional placement and design of structures. Unlike neighboring properties with more regular configurations, the

irregular shape of this land requires careful consideration and creative design solutions to ensure practical and safe development. The inherent complexities in working with such a distinctive land layout contribute to the practical difficulty of adhering strictly to standard regulations. Acknowledging and addressing these specific conditions through a variance is essential to enable the property owner to utilize the land effectively without compromising the integrity of the development or setting precedent for other properties in the district with more conventional shapes.

**3. Describe why granting a variance would not be detrimental to the public health, safety, morals or welfare and not be materially injurious to properties in the near vicinity:**

Granting a variance in this case would not be detrimental to public health, safety, morals, or welfare and would not result in material injury to properties in the near vicinity. The proposed variance involves a modest adjustment of 2 1/2 feet to accommodate the irregular shape of the property. The deviation does not compromise the structural integrity or safety of the building, and the construction adheres to all relevant building codes and safety standards. Additionally, the variance is designed to promote the optimal use of the property without imposing any negative impacts on the surrounding community. The adjustment is minor and does not infringe upon the privacy, sunlight, or views of neighboring properties. Moreover, the property owner has taken measures to ensure that the variance request aligns with the overall aesthetic and functional goals of the community, reinforcing that the variance will not undermine the well-being or property values of nearby residents. The requested variance, therefore, strikes a balance between the property owner's legitimate development needs

and the preservation of the public interest, ensuring a harmonious coexistence with the surrounding properties.

**4. Describe why granting this variance would support the general objectives within the Regulation:**

Granting this variance aligns with the regulations' overarching objectives by allowing a minor adjustment of 2 1/2 feet to accommodate the irregular shape of the property. This deviation supports the regulations' goal of promoting flexibility in development, fostering creativity and adaptability in architectural solutions. Moreover, the variance contributes to sustainable development by minimizing environmental impact and preserving the natural features of the land. Overall, this variance request strikes a balance between adhering to regulatory principles and addressing the unique characteristics of the property, thereby supporting the general objectives within the regulations.



## DAWSON COUNTY VARIANCE APPLICATION

25 Justice Way, Dawsonville, Georgia 30534

### List of Adjacent Property Owners

It is the responsibility of the Applicant to provide a list of adjacent property owners. This list must include the name and address of anyone who has property touching your property or who has property directly across the street from your property. Please note this information should be obtained using the Tax Map and Parcel Number listing of any parcel(s) adjoining or adjacent to parcel where variance or zoning is being requested. Please add additional sheets if necessary.

	Name	Address
TMP <u>L21</u> - <u>100 C</u> 1.	Duba Thomas K & Lucretia Stancil	790 Riverside Drive, Suwanee (
TMP <u>L21</u> - <u>100 C</u> 2.	GADOL Investments LLC	7410 Crestline Drive, Dawsonville GA 30
TMP _____ - _____ 3.	_____	_____
TMP _____ - _____ 4.	_____	_____
TMP _____ - _____ 5.	_____	_____
TMP _____ - _____ 6.	_____	_____
TMP _____ - _____ 7.	_____	_____
TMP _____ - _____ 8.	_____	_____
TMP _____ - _____ 9.	_____	_____

### APPLICANT CERTIFICATION

I hereby request the action contained within this application relative to the property shown on the attached plats and site plan and further request that this item be placed on the Planning Commission agenda for a public hearing.

I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented.

I understand that I have the obligation to present all data necessary and required by statute to enable the Planning Commission and Board of Commissioners to make an informed determination on my request. I may seek the advice of a land use professional if I am not familiar with the zoning and land use requirements.

2020  
JAN  
16





## DAWSON COUNTY VARIANCE APPLICATION

25 Justice Way, Dawsonville, Georgia 30534

I understand that my request will be acted upon at the Planning Commission I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my special use or rezoning application. I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

Signature of Applicant or Agent: \_\_\_\_\_

Date: \_\_\_\_\_

Withdrawals of any application may be accommodated within the Planning & Development office if requested before the Planning Commission agenda is set. Therefore, withdrawals may not be made after ten (10) days prior to the scheduled Planning Commission meeting hearing, unless accompanied by written request stating specific reasons for withdrawal. This withdrawal request is to be published in the legal organ prior to the meeting. Following that written request and publication the Commission will vote to remove the item from the agenda at the scheduled hearing. Please note that should the withdrawal be denied, the item will receive deliberation and public hearing with a decision by the Commission. Further the applicant is encouraged to be present at the hearing to substantiate reasons for withdrawal.

### THIS SECTION TO BE COMPLETED BY STAFF.

VR 24-\_\_\_\_\_ Tax Map & Parcel# \_\_\_\_\_

Zoning: \_\_\_\_\_ Commission District #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_ Time: am/pm Received by: \_\_\_\_\_ (staff initials)

Fee Paid: \_\_\_\_\_ Planning Commission Meeting Date: \_\_\_\_/\_\_\_\_/2024



**Variances**

**Property Owner Authorization Form**

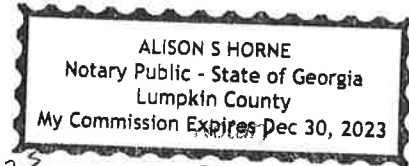
This form must be signed by the owner(s) as listed on the deed of record for the subject property. If there is more than one property owner, additional affidavits must be provided. **Only an owner or an authorized agent may speak on behalf of the variance at the public hearing.**

Owner's Name: Christopher & Angele Baptiste

Mailing Address: 12/27/23  
12/27/23  
12/27/23

Signature of Owner: Al Baptiste Date: 12/27/23

Signature of Notary: Alison S Horne Date: 12/27/23



Stamp

2023/12/27

Printed: 12/27/2023 2:12:15 PM



**Official Tax Receipt**  
**Dawson County**  
**25 Justice Way, Suite 1222**  
**Dawsonville, GA 30534**  
**--Online Receipt--**

**Phone: (706) 344-3520**  
**Fax: (706) 344-3522**

Trans No	Property ID / District Description	Original Due	Interest & Penalty	Amount Due	Amount Paid	Transaction Balance
2023 - 926	L21 100 006 / 1 LOT 6 THE RESERVE CLUB & MARINA PHASE 1A FMV: 105000	\$690.23	\$0.00 Fees: \$0.00 \$0.00	\$0.00	\$690.23	\$0.00
<b>Totals:</b>		<b>\$690.23</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$690.23</b>	<b>\$0.00</b>

Paid Date: 11/30/2023

Charge Amount: \$690.23

BAPTISTE CHRISTOPHER &amp; ANGELA



Scan this code with your  
mobile phone to view this  
bill

12/27/23  
2:12:15 PM  
19

Christopher & Angela Baptiste

Sugar Hill GA 30518 12/27/23

To: Dawson County Planning & Development Dawsonville GA 30534

Subject: Request for Variance – Permit 18025

Dear Sir/Madam,

I am writing to formally request a variance for our property located at 7390 Crestline Drive. The construction of our home, initially undertaken by Harvest Homes, was discovered to exceed specified standards by 2 1/2 feet upon our takeover of the project. We realized that the permits on our home was not renewed, the site- staking inspection had failed and the contractor had abandoned the project and we had to assume all the responsibility for building our home. At this point we are completing the project as a Self-build and we have assumed the role as contractor.

This has been literally a nightmare for us and we are hoping to get everything resolved so that we can complete our build as soon as possible so finally we can live in our home. We believe that strict and literal enforcement of these standards, particularly at this advanced stage of construction, would impose a practical difficulty and unnecessary hardship.

The existing structure has been designed to accommodate the unique topographical features of the property, characterized by a notable slope and irregular shape. The decision to retrofit the building to conform precisely to the established standards would not only be financially burdensome but also jeopardize the structural integrity and safety of the already erected edifice. It is crucial to note that the deviation from the standards is minimal and does not compromise the overall purpose and intent of the zoning regulations.

Granting a variance for the completed construction acknowledges the practical challenges encountered during the building process. This variance ensures that the structure remains safe and harmonious with the surrounding environment, upholding public health, safety, and welfare.

2023



The exceptional and extraordinary conditions specific to our property stem from its irregular shape, a significant deviation from the standard characteristics of other properties within the district. The irregular topography poses a unique challenge for development, restricting conventional placement and design. Unlike neighboring properties with more regular configurations, our land's irregular shape requires careful consideration and creative design solutions for practical and safe development. The complexities inherent in working with such distinctive land contribute to the practical difficulty of adhering strictly to standard regulations.

Acknowledging and addressing these specific conditions through a variance is essential to enable effective land use without compromising the development's integrity. It is our firm belief that granting this variance will not set a precedent for other properties in the district with more conventional shapes.

We appreciate your consideration of our request and look forward to a favorable resolution that ensures a harmonious balance between regulatory compliance and the unique characteristics of our property.

Sincerely

Christopher & Angela Baptiste

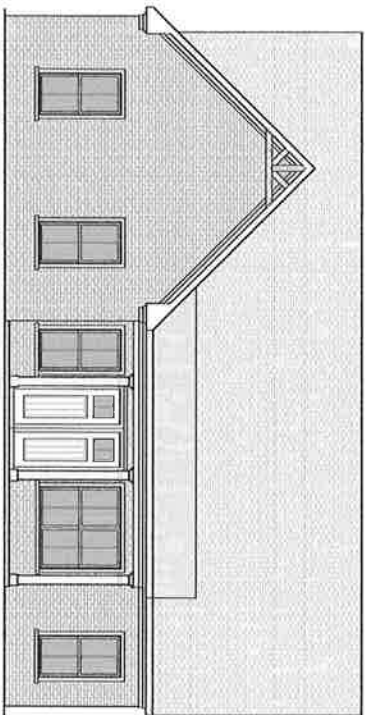


2025

PLAN: Baptiste Residence	
C5	COVER SHEET
A1.1	FRONT & REAR ELEVATIONS
A1.2	LEFT & RIGHT ELEVATIONS
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	ROOF PLAN
E1.0	ELECTRICAL PLANS
E1.1	ELECTRICAL PLANS

SHEET INDEX

FRONT ELEVATION



## GENERAL

1. CONTRACTORS SHALL NOTIFY THE DISTRICT ENGINEER AND SUPERVISOR AT THE SITE AND ALL PERSONNEL SHALL BE AWARE OF THE LOCATION OF THE SITE AND THE DESIGN OF THE PROJECT AND THE WORK.
2. ALL PROPOSED CHANGES TO THE DESIGN SHALL BE SUBMITTED TO THE DISTRICT ENGINEER AND SUPERVISOR FOR REVIEW AND APPROVAL.
3. ALL CHANGES TO THE DESIGN SHALL BE SUBMITTED TO THE DISTRICT ENGINEER AND SUPERVISOR FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE WORK.
5. ALL CHANGES TO THE DESIGN SHALL BE SUBMITTED TO THE DISTRICT ENGINEER AND SUPERVISOR FOR REVIEW AND APPROVAL.

## ABBREVIATIONS

## CONSULTANTS

DESIGNER

BRANCH CONCEPTS, LLC.

WOODSTOCK, GA 30118

OWNER

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## SQUARE FOOTAGE

## CODE INFORMATION

SQUARE FOOTAGES	
FIRST FLOOR:	2,065 SQ. FT.
FINISHED BASEMENT:	1,426 SQ. FT.
TOTAL HEATED:	3,491 SQ. FT.
UNFINISHED BASEMENT:	567 SQ. FT.
FRONT PORCH:	120 SQ. FT.
REAR OPEN DECK:	120 SQ. FT.
REAR SCREENED PORCH:	131 SQ. FT.
REAR COVERED PORCH:	85 SQ. FT.
REAR COVERED PATIO:	216 SQ. FT.
OUTDOOR LIVING:	672 SQ. FT.

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2020 INTERNATIONAL ELECTRIC CODE
- 2015 ENERGY CONSERVATION CODE
- 2018 ADA, GA. ACCESSIBILITY CODE | 20-3-20
- 2020 NEC
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018-101 LIFE SAFETY CODE

••ALL WITH GEORGIA STATE AMENDMENTS••

### SCALE NOTE

[illegible]

## DETAILED REVISION LIST:

DATE	DESCRIPTION

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## BRANCH Concepts

★ DESIGN DRAFTING  
CAPTON GEORGE  
678 - 523 - 0780

PLOT SCALE: 3/16" = 1'-0"

PLOT DATE: 11/01/22

PLOT TIME: 12:00 PM

1. The contractor shall perform all work in accordance with applicable national, state and local codes.
2. The contractor shall verify all site conditions and dimensions before construction. Any discrepancies shall be reported to Blatch Companies for justification and/or corrections before proceeding with work. Contractor shall assume responsibility for errors that the no longer reported.
3. The contractor shall be responsible for obtaining all permits, special use permits, and other approvals that may be required and never submit a false application.
4. All wood, concrete and steel structural members shall be of proper grade and quality and meet all national, state and local building codes.
5. The contractor shall be responsible for all structural members and conditions to meet all local codes and insure a safety and solid structure.

BAPTISTE RESIDENCE  
COVERSHEET

## REVISIONS:

PAGE: \_\_\_\_\_

PAGE:

8



PLOT SCALE: 3/16" = 1'-0"  
PLOT DATE: 11/01/22  
PLOT TIME: 12:00 PM

- 1 The contractor shall perform its work in accordance with applicable national, state and local codes.
- 2 The contractor shall verify a safe working condition and determine the appropriate construction. Any discrepancy shall be reported to Branch Councils for consultation and/or corrections before proceeding with work. Contractor shall assume responsibility for errors that are reported.
- 3 All contractors should be trained in **excavating and trenching**.
- 4 All work, concrete and steel structures must be done by properly trained and licensed personnel.
- 5 The contractor shall be responsible to meet all structural members and conditions to meet all structural code and insure a quality work and safe structure.

BAPTISTE RESIDENCE

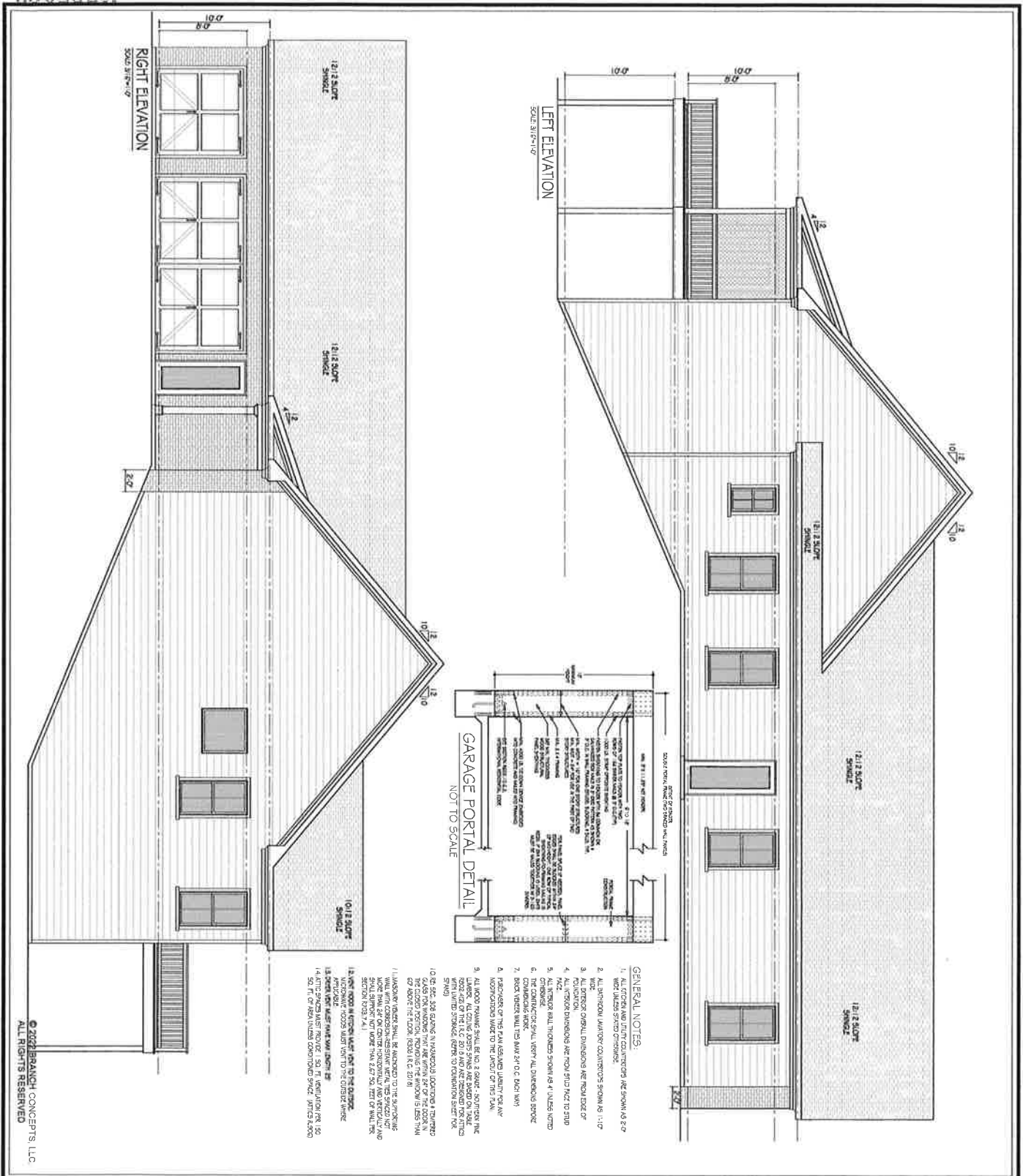
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LEFT & RIGHT ELEVATIONS

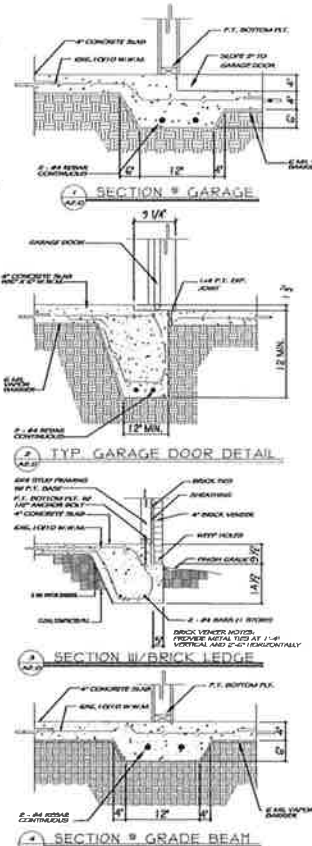
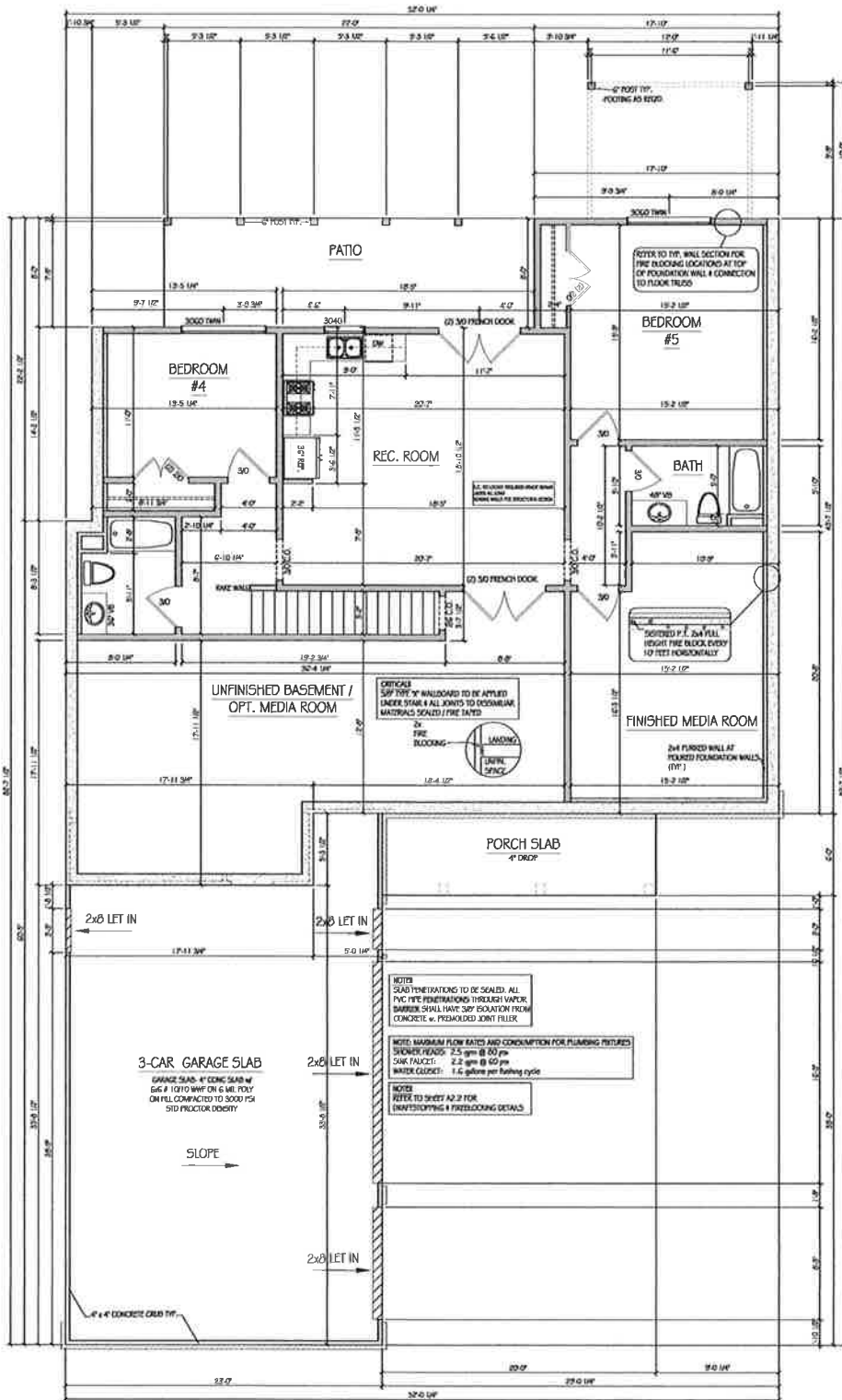
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13-07-27



### HEADER SPANS FOR LOAD BEARING WALLS:

- SINGLE STORY:**
- 2 FLY 2X6" 4'-2" MAX
  - 2 FLY 2X8" 5'-4" MAX
  - 2 FLY 2X10" 7'-6" MAX
- 2 STORY:**
- 2 FLY 2X6" 3X7" MAX
  - 2 FLY 2X8" 4X6" MAX
  - 2 FLY 2X10" 6X2" MAX
- 2 FLY 2X6" HEADERS FOR ALL NON-LOAD BEARING WALLS
- OSB BETWEEN ALL HEADER PLIES
  - NO BOXED HEADERS
- REFER TO IRC R502.5 (1) AND (2) FOR ADDITIONAL HEADER AND GIRDER SPANS

WALL TYPE	MAX. HEIGHT	MAX. SPAN
2 FLY 2X6"	8'-0"	8'-0"
2 FLY 2X8"	10'-0"	10'-0"
2 FLY 2X10"	12'-0"	12'-0"

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## BAPTISTE RESIDENCE FOUNDATION

REVISIONS:

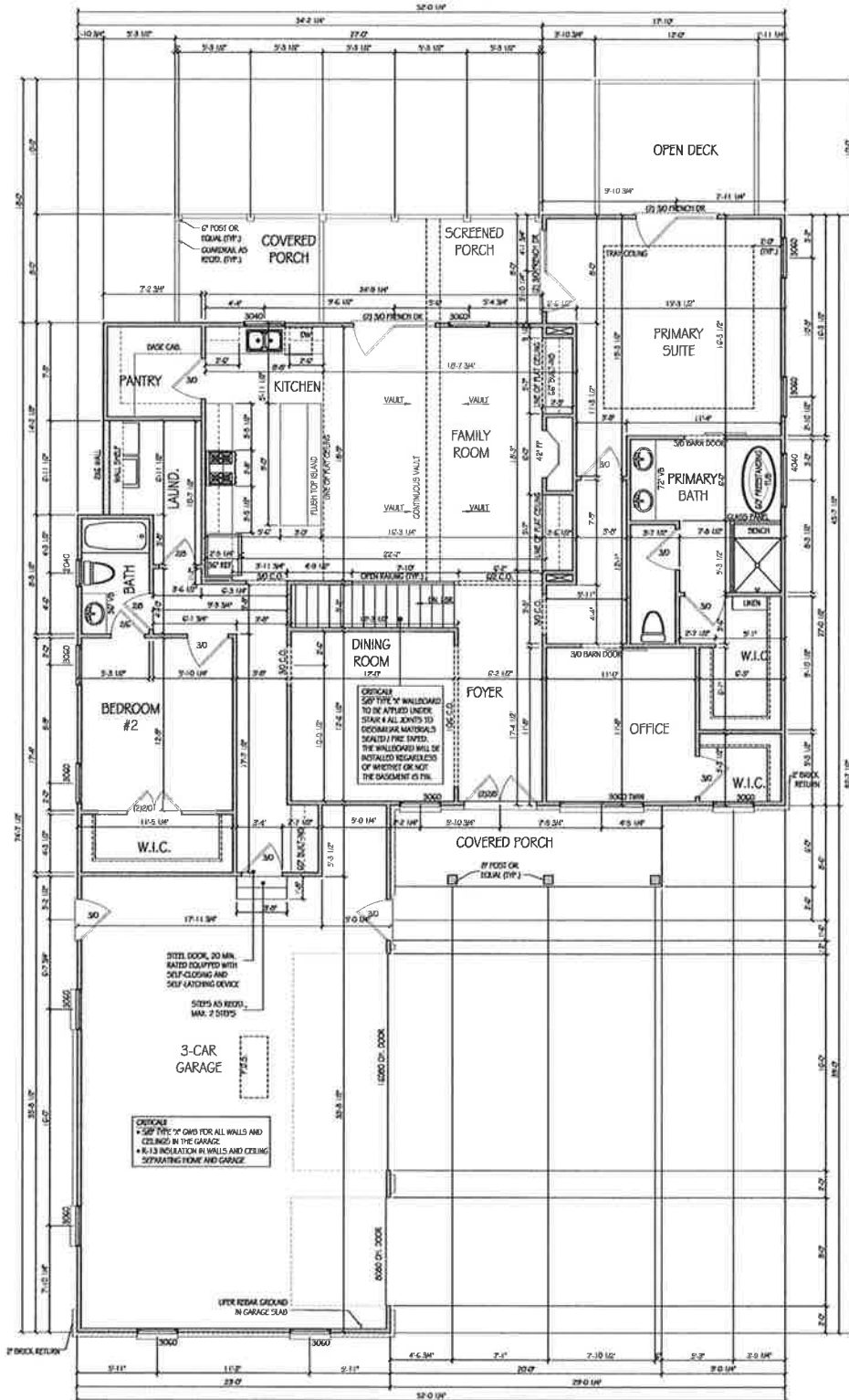
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A2.0

1. The contractor shall provide all work in accordance with applicable national, state and local codes.  
2. The contractor shall verify all the conditions and dimensions prior to construction. Any discrepancies shall be reported immediately to the architect and resolved prior to construction.  
3. All dimensions shall be tied to the existing structure.  
4. All work shall be done in accordance with the approved plans and specifications.  
5. The contractor shall be responsible for all structural members and connections to the existing structure and ensure a safely and stable structure.

PLOT SCALE: 3/16" = 1'-0"  
PLOT DATE: 11/01/22  
PLOT TIME: 12:00 PM





- HEADER SPANS  
FOR LOAD BEARING  
WALLS:**
- SINGLE STORY:**
- 2 PV 2X6 4'-2" MAX
  - 2 PV 2X6 5'-4" MAX
  - 2 PV 2X10 7'-6" MAX
- 2 STORY:**
- 2 PV 2X6 3W7 MAX
  - 2 PV 2X6 4W6 MAX
  - 2 PV 2X10 6X2 MAX
- 2 PV 2X6 HEADERS FOR ALL NON-LOAD  
BEARING WALLS**
- CDS BETWEEN ALL HEADER PLIES
  - NO BOXED HEADERS
- REFER TO IRC R602.5 (1) AND (2) FOR  
ADDITIONAL HEADER AND GIRDERS  
SPANS



**BAPTISTE RESIDENCE  
FOUNDATION & FIRST FLOOR**

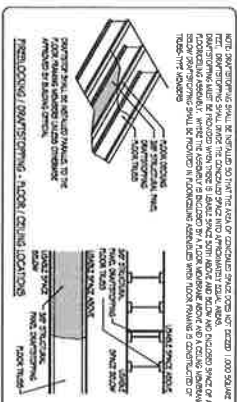
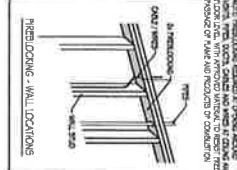
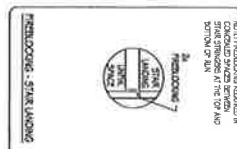
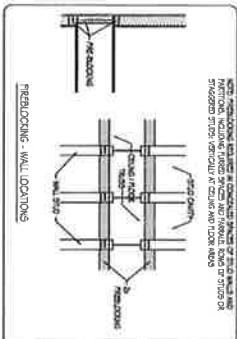
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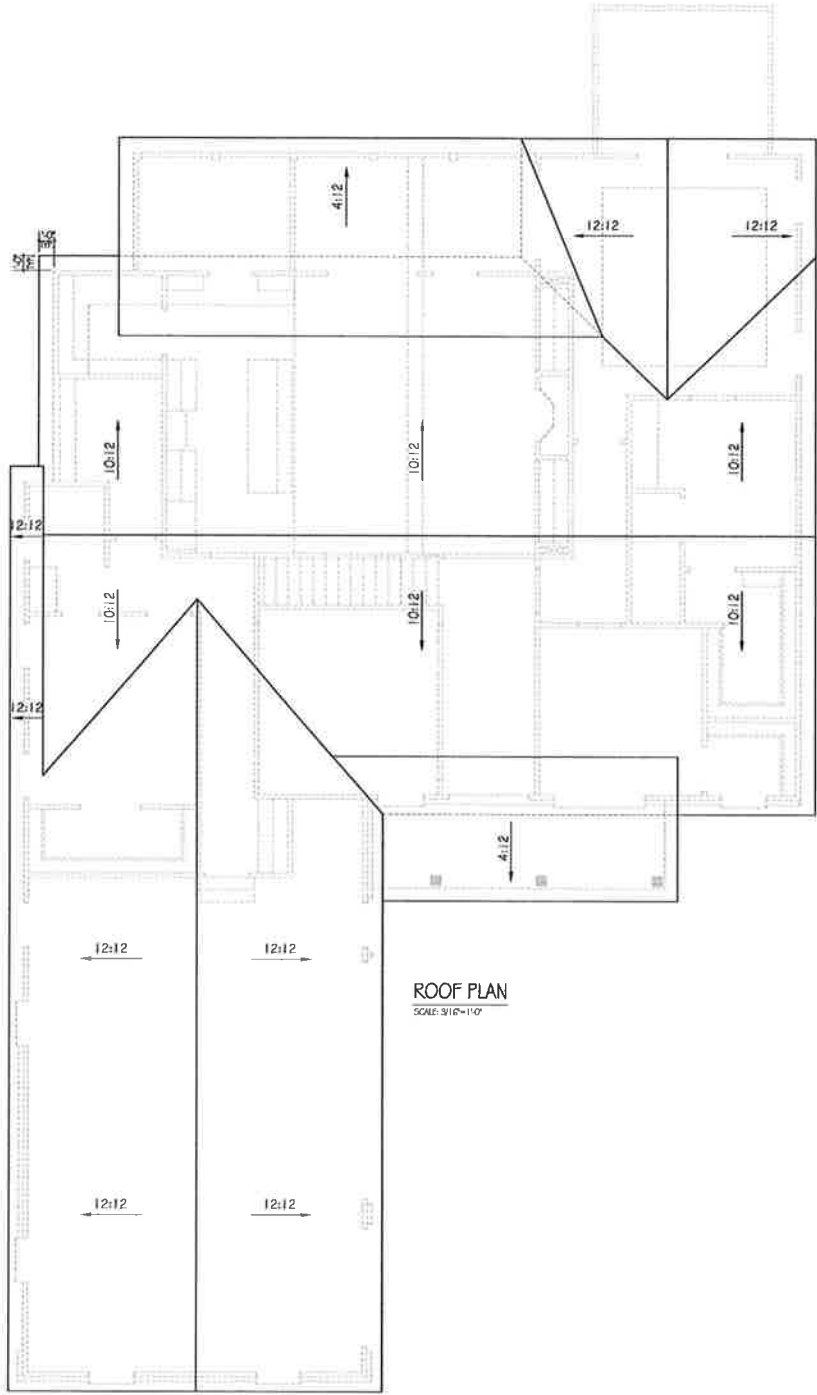
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NOTE:  
GENERAL CONTRACTOR TO PROVIDE APPROPRIATE ROOF VENTILATION BUILDING SYSTEMS TO MEET THE REQUIREMENTS OF THE ROOF VENTILATION REQUIREMENTS AS FOLLOWS: CONTINUOUS RIDGE VENTS, POWER VENTS, BOX VENTS, AND GABLE-END VENTS. WHEN APPROVED BY OWNER.  
SOFFIT VENTS TO BE USED ONLY IN ACCORDANCE WITH IRC CODE SECTION R902.1.1 TO ACHIEVE APPROPRIATE FIRE SEPARATION DISTANCES.



PLOT SCALE: 3/16" = 1'-0"

PLOT DATE: 11/01/22

PLOT TIME: 12:00 PM

## BAPTISTE RESIDENCE ROOF PLAN

### REVISIONS:

1. The contractor shall perform all work in accordance with the approved plans, specifications, and local codes.
2. The contractor shall verify all site conditions. Any discrepancies shall be reported to Branch Concepts for approval prior to construction.
3. All work shall be completed in a timely manner and in accordance with the approved plans, specifications, and local codes.
4. All work shall be completed in a timely manner and in accordance with the approved plans, specifications, and local codes.
5. All work shall be completed in a timely manner and in accordance with the approved plans, specifications, and local codes.

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## REVISIONS:

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**BRANCH**  
*Concepts*

★ DESIGN & DRAFTING ★

CANTON, GEORGIA  
878-422-0780  
www.branchco.com

PLOT TIME: 12:00 PM

1. The contractor shall perform all work in accordance with applicable national, state and local codes.
2. The contractor shall verify all site conditions and dimensions before construction. Any discrepancies shall be reported to Blawie Construction for verification and/or correction before proceeding with work. Contractor shall accept responsibility for errors that are not reported.
3. All dimensions should be read or calculated and never assumed.
4. All wood, concrete and steel structural members shall be of proper grade and quality and meet all national, state and local building codes.
5. The contractor shall be responsible for all structural members and conditions to meet all local codes and insure a quality safe structure.



PLOT SCALE: 3/16" = 1'-0"  
PLOT DATE: 11/01/22  
PLOT TIME: 12:00 PM

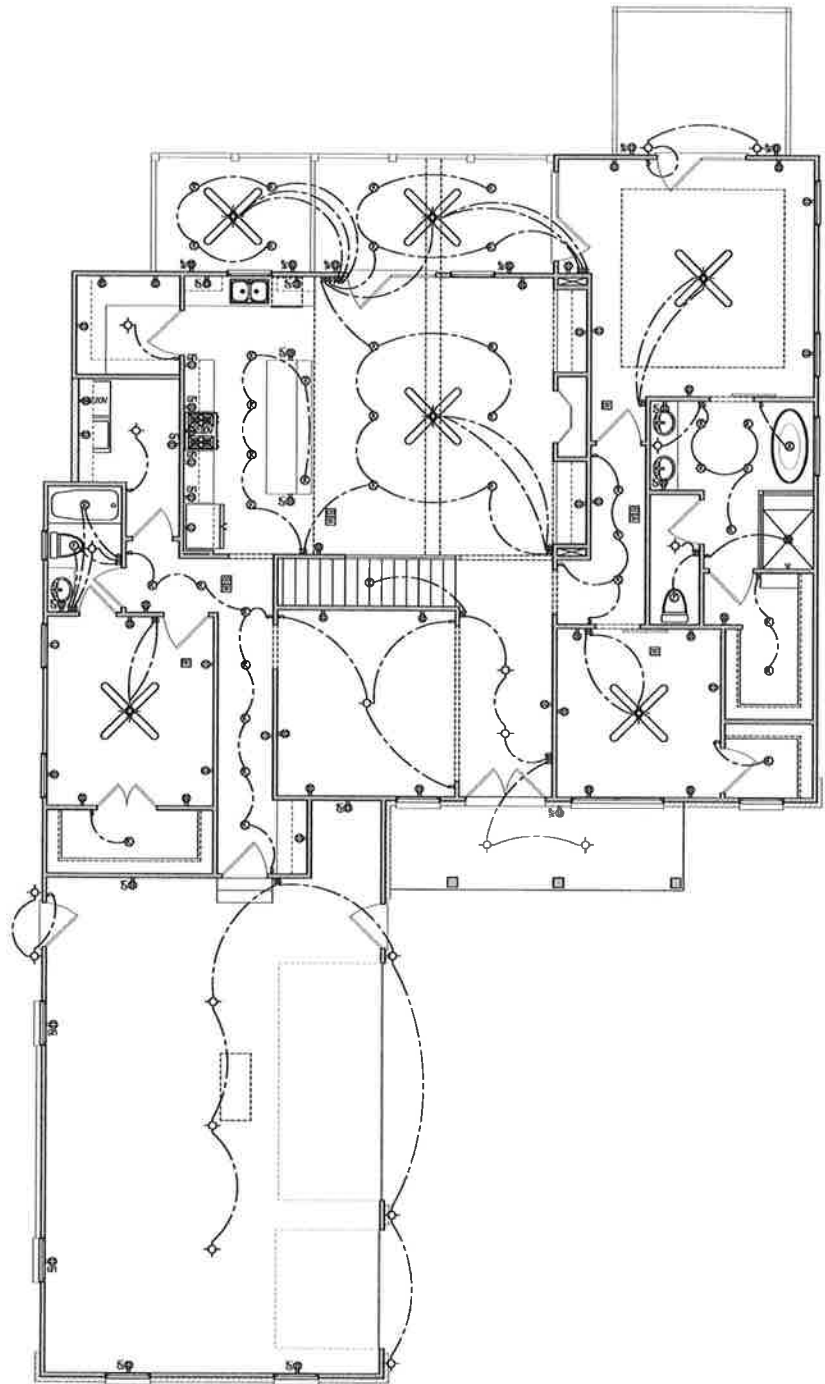
- 1. The contractor shall perform all work in accordance with the approved plans and specifications.
- 2. The contractor shall verify all data and conditions before construction. Any discrepancies shall be reported to Branch Concepts for resolution.
- 3. The contractor shall maintain accurate records of all materials and labor used.
- 4. All work, materials and labor shall be of the highest quality and meet all national, state and local building codes.
- 5. The contractor shall be responsible for all structural members and conditions to meet all local codes and insure a quality and safe structure.

BAPTISTE RESIDENCE  
ELECTRICAL PLANS

REVISIONS:

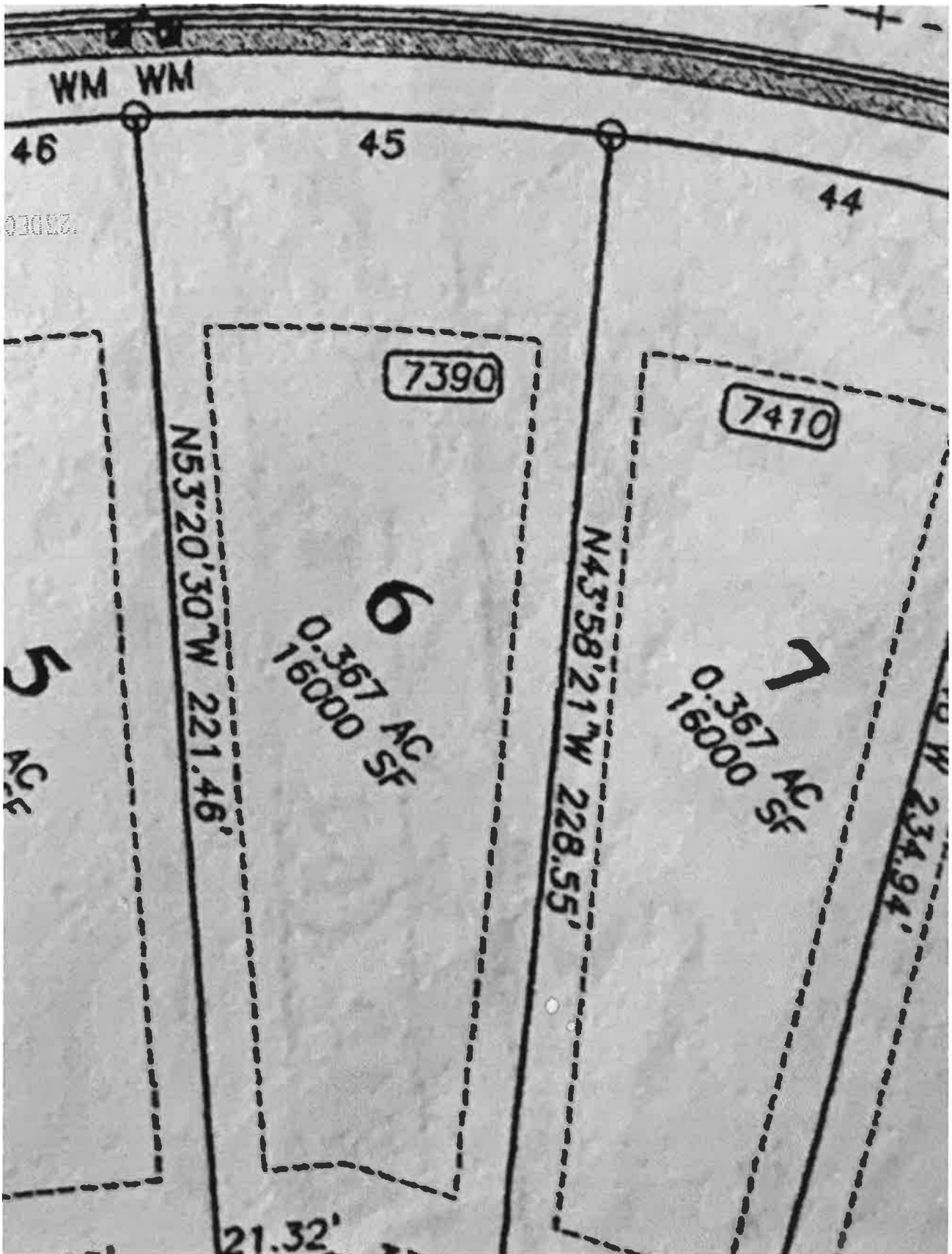
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EXAMPLE 1

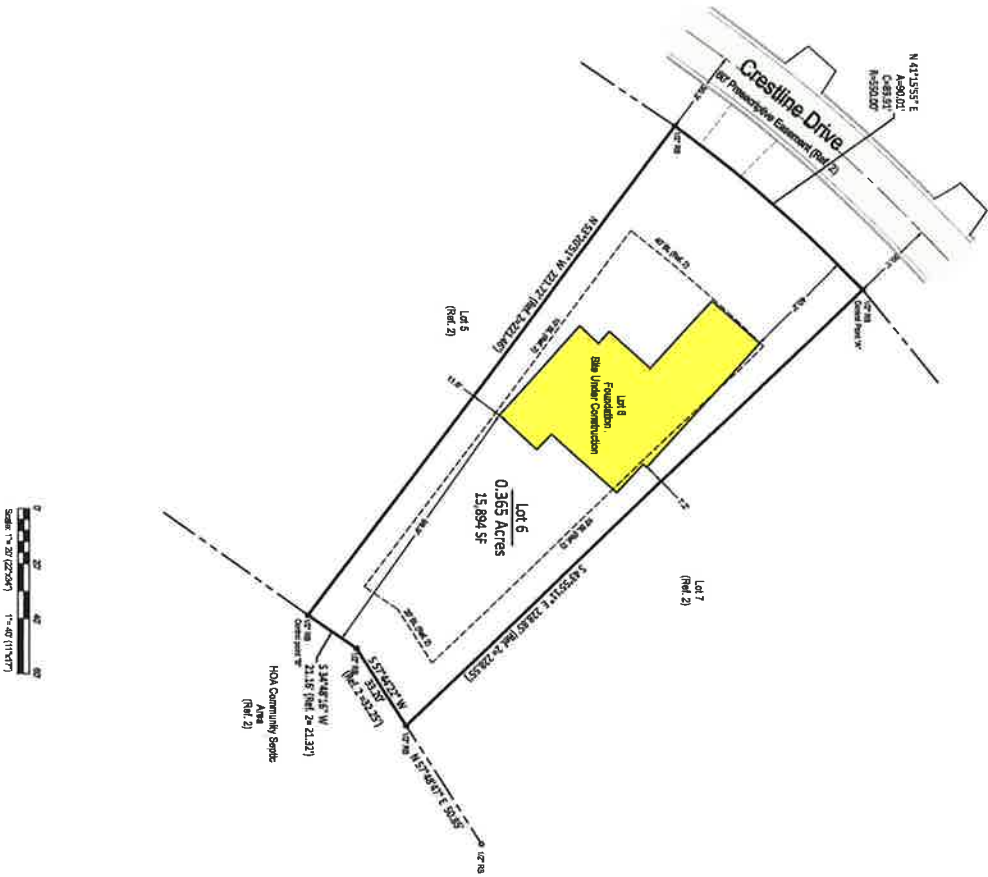
planning or any construction activities.

Purchase No.: 121 100 006

- subgroups and barriers shown are given in  
 Table 1 and should be confirmed in  
 further studies.

### ENVIRONMENTAL NOTES:

- specimen trees.



1. Topic of Survey: All High School Seniors

7. Date of Fieldwork 7/24/21

### GENERAL NOTES:

- construction, contact Georgia Dept.

**Not for recording**

**Civil Engineering, Land Surveying,  
Stream and Wetland Restoration**

106 Allen Street Cumming, Georgia 30040  
Phone: 770-442-0600 [www.civilengineering303.com](http://www.civilengineering303.com)

Foundation Survey  
**Lot 6 - The Reserve Club and Marina, Phase 1-A**  
 Christopher Baptista and Angela Baptista Living Trust, Synovus  
 Bank, Meriton & Associates, LLC and American Land Title Assoc.  
 UNINCORPORATED  
 13th District  
 Land Lot 613  
 DeWitt County, GA



## Owner Information

GADOL INVESTMENTS LLC  
7410 CRESTLINE DRIVE  
DAWSONVILLE, GA 30534

## Payment Information

Status	Unpaid
Last Payment Date	
Amount Paid	\$0.00

## Property Information

Parcel Number	L21 100 007
District	1 DAWSON COUNTY UNINCORPORATED
Acres	0.37
Description	LOT 7 THE RESERVE CLUB & MARINA PHASE 1A
Property Address	CRESTLINE DRIVE
Assessed Value	\$42,000
Appraised Value	\$105,000

## Bill Information

Record Type	Property
Tax Year	2023
Bill Number	5677
Account Number	65941
Due Date	12/01/2023

## Taxes

Base Taxes	\$690.23
Penalty	\$0.00
Interest	\$6.04
<b>Total Due</b>	<b>\$696.27</b>

## Tax Breakdown

Entity	Adjusted FMV	Net Assmt	Exemptions	Taxable Val	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	105,000	42,000	0	42,000	0	\$0.00	\$0.00	\$0.00
COUNTY M&O	105,000	42,000	0	42,000	9.681	\$406.60	\$0.00	\$236.63
SALES TAX ROLLBACK	0	0	0	42,000	-4.047	\$0.00	-\$169.97	\$0.00
SCHOOL M&O	105,000	42,000	0	42,000	10.8	\$453.60	\$0.00	\$453.60
<b>Totals</b>					<b>16.434</b>	<b>\$860.20</b>	<b>-\$169.97</b>	<b>\$690.23</b>

## Owner Information

DUBA THOMAS K & LUCRETIA STANCIL  
790 RIVERSIDE DR  
SUWANEE, GA 30024

## Payment Information

Status	Paid
Last Payment Date	11/23/2022
Amount Paid	\$1,242.51

## Property Information

Parcel Number	L21 100 005
District	1 DAWSON COUNTY UNINCORPORATED
Acres	0.37
Description	LOT 5 THE RESERVE CLUB & MARINA PHASE 1A
Property Address	CRESTLINE DRIVE
Assessed Value	\$58,000
Appraised Value	\$145,000

## Bill Information

Record Type	Property
Tax Year	2022
Bill Number	14340
Account Number	60513
Due Date	12/01/2022

## Taxes

Base Taxes	\$1,242.51
Penalty	\$0.00
Interest	\$0.00
<b>Total Due</b>	<b>\$0.00</b>

## Tax Breakdown

Entity	Adjusted FMV	Net Assmt	Exemptions	Taxable Val	Millage Rate	Gross Tax	Credit	Net Tax
STATE TAX	145,000	58,000	0	58,000	0	\$0.00	\$0.00	\$0.00
COUNTY M&O	145,000	58,000	0	58,000	12.3455	\$716.04	\$0.00	\$418.91
SALES TAX ROLLBACK	0	0	0	58,000	-5.123	\$0.00	-\$297.13	\$0.00
SCHOOL M&O	145,000	58,000	0	58,000	14.2	\$823.60	\$0.00	\$823.60
<b>Totals</b>					<b>21.423</b>	<b>\$1,539.64</b>	<b>-\$297.13</b>	<b>\$1,242.51</b>





## ZA23-08

Chief Construction Management, LLC  
Planning Commission Meeting February 20, 2024  
Board of Commission Hearing March 28, 2024

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### Applicant Proposal

The applicant seeks to zone the property from Residential Agriculture to Commercial Industrial Restricted to expand an existing airport facility with the construction individual storage areas for use as airplane hangars.

Applicant	Chief Construction Management, LLC
Amendment #	ZA 23-08
Request	Rezone property from R-A to C-IR
Proposed Use	Airplane hangars and storage for equipment.
Current Zoning	Residential Agriculture (R-A)
Character Area	Rural Living
Acreage	79.88 acres
Location	Marvin Styles Road
Commercial Square footage	54,000 square feet proposed
Road Classification	Public - County
Tax Parcel	054 015
Dawson Trail Segment	n/a
Commission District	1
DRI	No; however, the size of the parcel lends itself to more than the proposal.
Planning Commission Recommendation	

---

Direction	Existing Zoning	Existing Use
North	R-A	Vacant Land
South	R-A	Vacant Pasture Land
East	City of Dawsonville	Airport
West	R-A	Vacant Pasture Land

**According to the Comprehensive Plan and accompanying Character Area Map,** The Rural Living character area seeks to preserve the pastoral landscape of the county, celebrating the natural landscape that remains both a scenic value to the community and a critical facet of supporting the environment and natural resources. This character area corresponds to lands near the forested greenbelt. This area includes rural residences, farms, and privately owned forested tracts. These areas are located outside of established sewer service areas. A five-acre lot size ensures that this area remains rural and has very low-density residential development to prevent the need to extend facilities and services to that area. Some sites may have access to central water.

Land Uses are limited to Residential homesteads, Places of worship, Agricultural uses, Forestry, Wildlife Management Areas, Passive Recreation, and County Parks.

Recommended Zoning Districts are Residential Agriculture, Rural Residential Estate, and Community Rural Business.

#### **COUNTY AGENCY COMMENTS:**

##### **Planning and Development:**

An analysis of existing development patterns provides an understanding of the use of land at a specific point in time. This 80-acre property is designated as Rural Living due to the surrounding land uses outside of the municipal city limits. The City Comprehensive Plan designated the property of the existing airport as **Airport**.

Per the applicant's letter of intent, the proposal is to expand support services (hangars). The application was submitted prior to adoption of the 2023 Character Areas, however there was not a change of the 2018 recommended low density rural residential land use. The growth of air service in Dawson County is consistent with economic prosperity objectives, supports local business, and potentially expands transportation options. The City of Dawsonville's Character Area and Existing land use maps are included in this report.

In the CIR district, light industries include administration, research, assembly, storage, warehousing, and shipping facilities. Development standards for light industrial uses include the minimum necessary to assure safe, functional, and environmentally sound development. Future development shall conform to requirements regarding landscaping, screening, and minimum distance from existing residential and agricultural land uses.

Additional conditions and requirements for buffers, open space, right of way, access, curb cuts, deceleration and acceleration lanes, traffic signals, water, sewer, etc., may be determined and required by the county upon review of a site development plan. The site development plan shall include landscaping as required by county code. All mechanical equipment and refuse areas shall be within an enclosed building or screened by a solid wall.

**Public Works Department:**

"Public Works cannot recommend using Marvin Styles Road as access to proposed C-IR without making significant improvements."

**Emergency Services:**

Comments concerning the requested rezoning of 729 Marvin Styles Rd (TMP# 054 015) from RA to C-IR to allow for the construction of several aircraft hangars and light industrial structures.

- 1) If approved, the proposed hangar and industrial buildings construction will require that min fire flows be provided on the property prior to such construction being permitted. The minimum flow required would be 1,500 gpm @ 20 psi residual for 2 hour, and the actual amount required would be determined in accordance with Dawson County Fire Ord 22-26(c).
- 2) Fire apparatus access road(s) shall be required in accordance with 2018 IFC Sect 503 and Appendix D as adopted by the State of GA.
- 3) Fire hydrants shall be required not more than 500 feet apart along fire apparatus access roads, and not more than 500 feet from the most remote portion of any of the buildings being constructed in accordance with Dawson County Fire Ord 22-25.
- 4) Any need for fire protection systems (fire sprinklers / fire alarms) shall be determined upon consideration of architectural plans for the buildings.

**Environmental Health Department:** No comments returned as of 1-9-2024

**Etowah Water & Sewer Authority:**

An existing water line is available to the proposed project that is designated for domestic use. There are no plans for expansion or improvements to the water lines at this time. No sanitary sewer at this site, septic only.



Photos of the Property:







## Rural Residential – 130,680 square feet (3 Acre)

Similar to the Rural Agricultural area, the Rural Residential category seeks to preserve the pastoral landscape of the west of the county, limiting the need for public improvements and celebrating the natural landscape that remains both a scenic value to the community and a critical facet of supporting the environment and natural resources. This future land use category corresponds to lands west of the forest greenbelt which runs west of Dawsonville's proposed developed area. This area currently includes exurban and rural residences, farms, and forests. A three-acre lot size ensures that this area remains rural and very low density residential, so as to prevent the need to extend facilities and services to that area. It is desirable that conservation subdivision principles be followed in this area in order to encourage the set-asides of open space or retention of farm and forest lands.

<i>Land Uses</i>	<i>Zoning Districts</i>
<ul style="list-style-type: none"> <li>• Rural Residential</li> <li>• Parks, Recreation and Conservation</li> </ul>	<ul style="list-style-type: none"> <li>• Residential Agriculture</li> </ul>

### *Strategies*

- Have Committee study increasing minimum acreage requirements for rural zoning categories
- Develop Greenspace Master Plan
- Develop Bike/Pedestrian/Greenways Master Plan
- Adopt conservation subdivision regulations
- Adopt Best Management Practices (BMP) for stormwater run-off
- Update development regulations to address drainage and impervious surface requirements



## **8. Airport**

### **Description**

This refers to the existing airport on the city's western fringe. This is a private facility with select small-scale manufacturing and air service-related industries already on site. The potential exists for this site to harbor additional, similar uses capable of developing employment options for area residents.

To attain the city's vision and stay within the context desired by Dawson County, this development should be done with minimal impact on the neighboring properties and the prevailing rural character of the area. Business types should feature low-to-modest levels of employment and minimal demands for public services so that the location does not require significant improvements to infrastructure or utilities, thus supporting measures to preserve rural land uses outside the airport. Structures should be modest and preferably concealed from view outside the property.

### **Land Use Types**

Small industrial facilities

Warehouse facilities

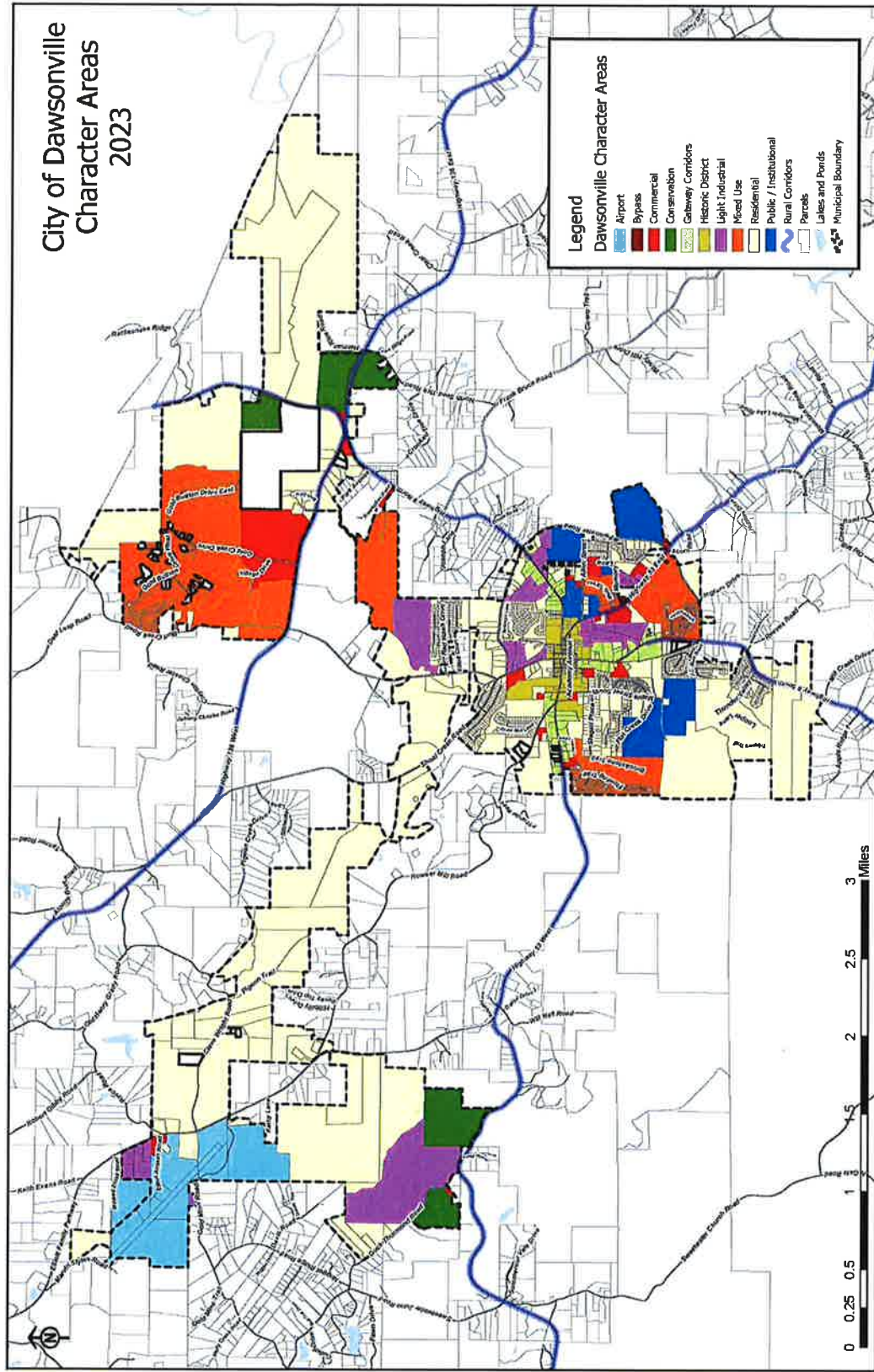
### **Implementation Strategies**

Maintenance of Comprehensive plan

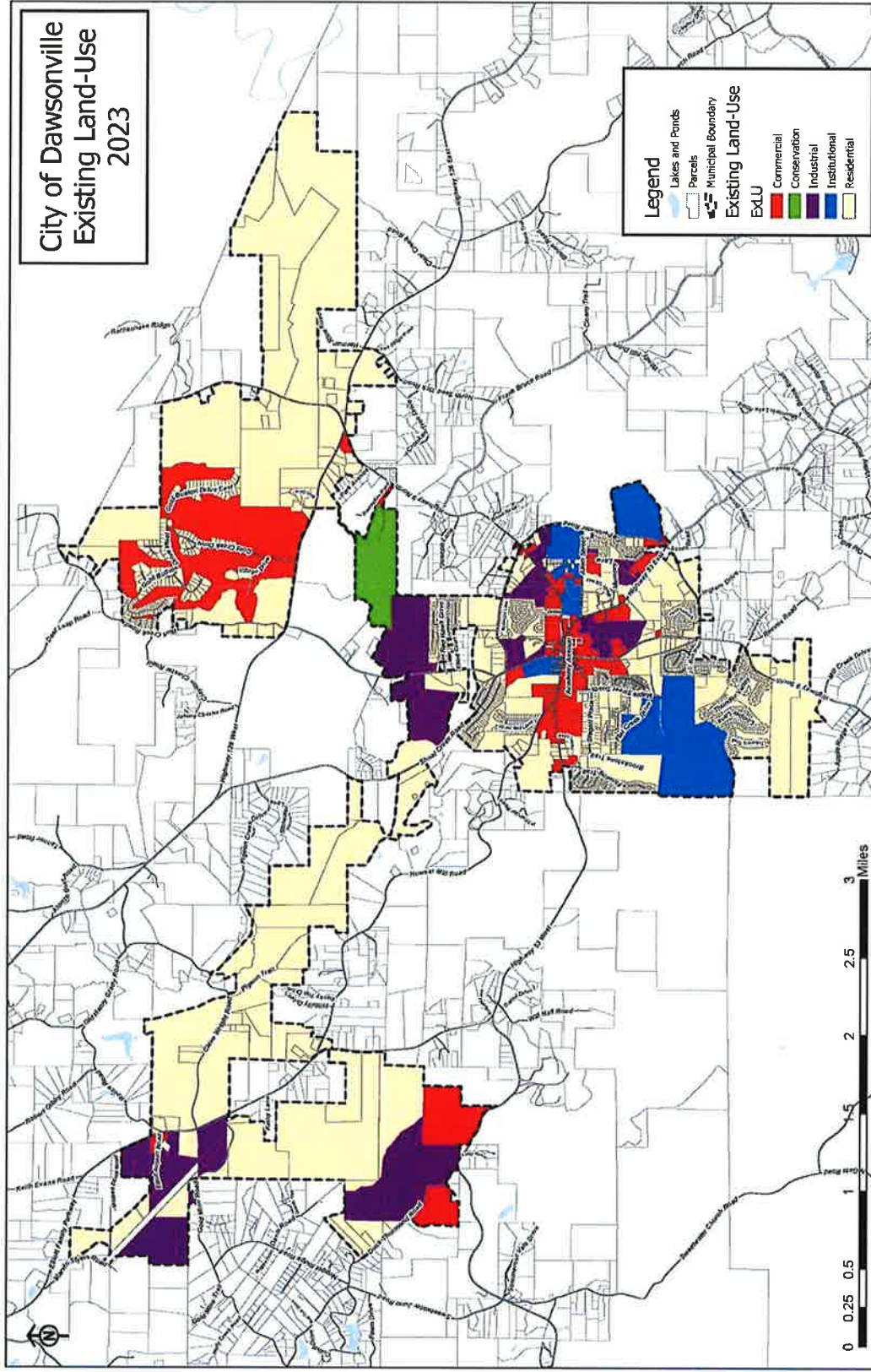
Update of development regulations (as needed)







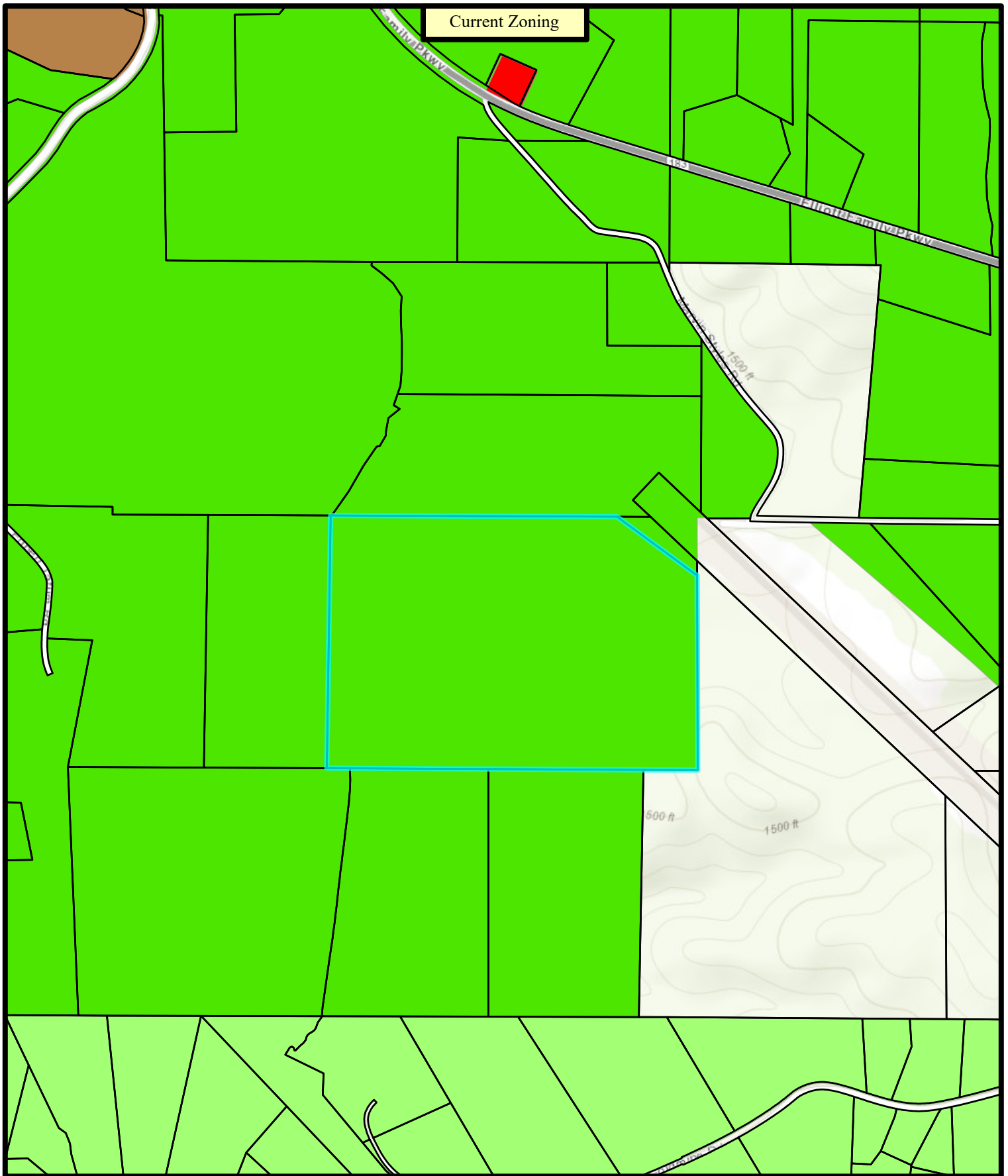












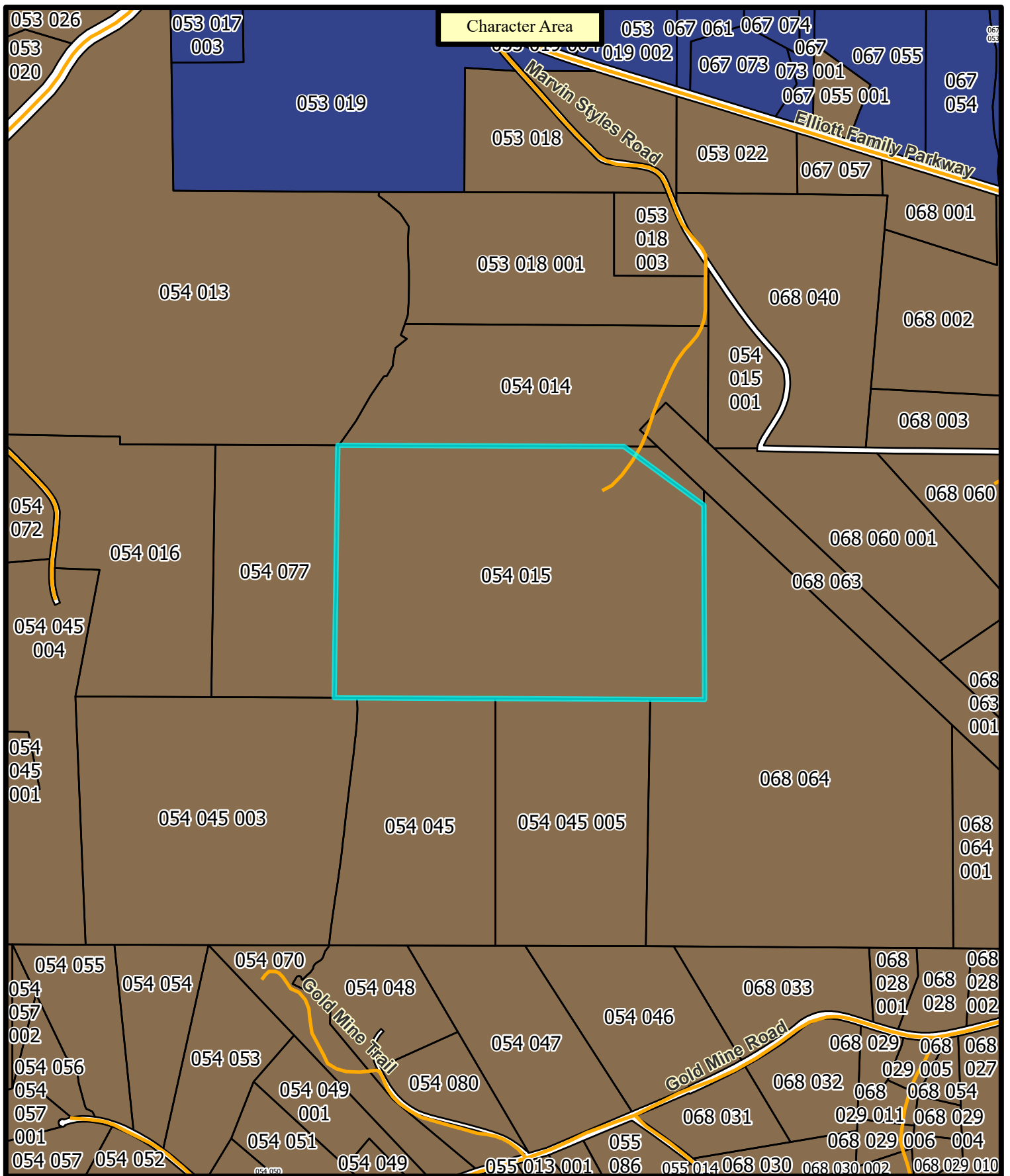
DAWSON COUNTY  
DISCLAIMS ANY  
RESPONSIBILITIES,  
LIABILITIES OR  
DAMAGES FROM THE USE  
OF THIS MAP. THIS MAP  
IS ONLY FOR DISPLAY  
PURPOSES.

N  
Scale: 1:9,818

Dawson County  
Planning and Development

43

Parcel #: 054 - 015  
Current Zoning: RA  
FLU: RA (2018)  
Application #: ZA 23-08



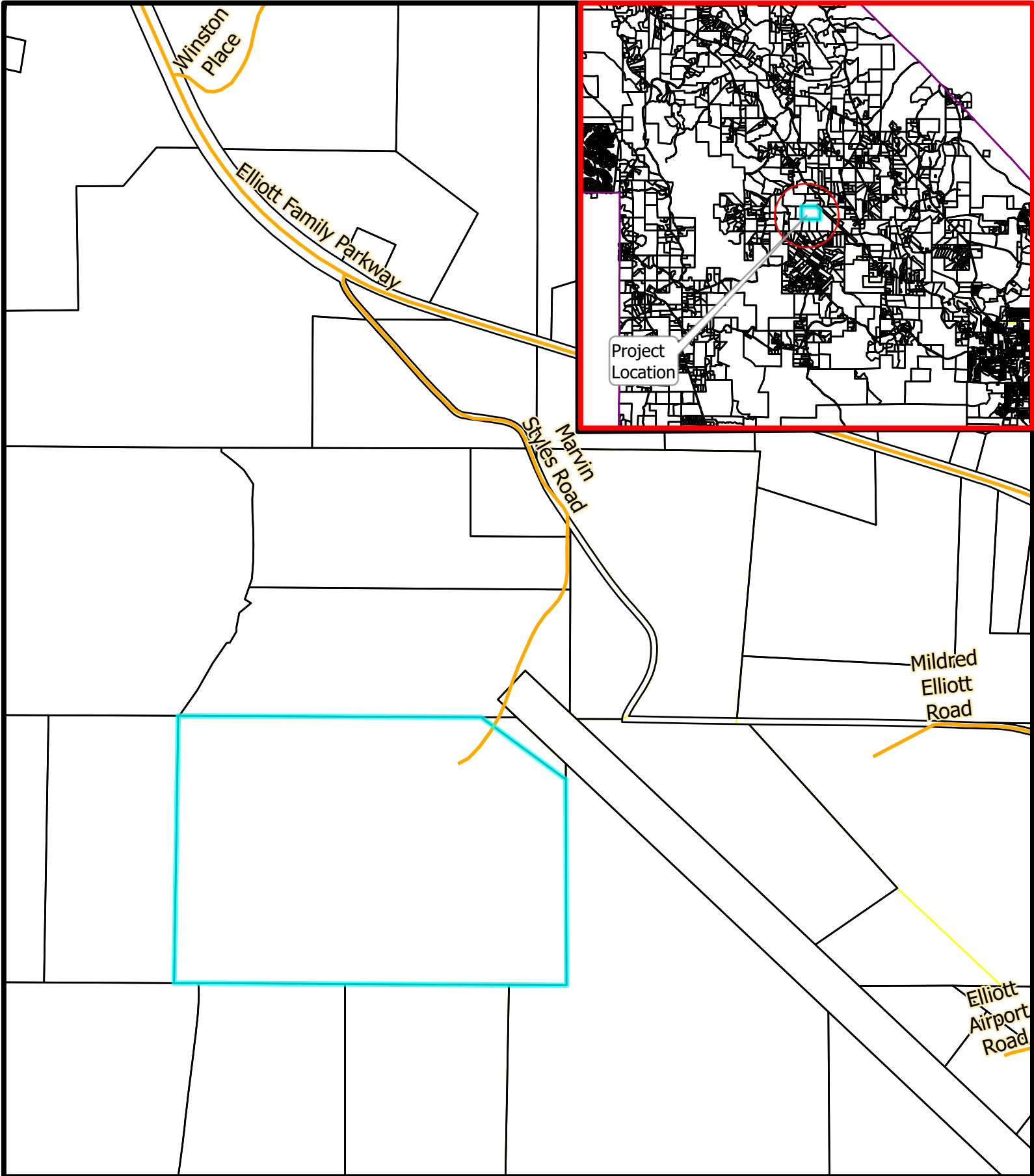
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Dawson County Planning  
and Development

44

Staff Report

Parcel #: 054-015  
Current Zoning: RA  
FLU: RA  
Application #: ZA 23-08  
Character Area: Rural Living



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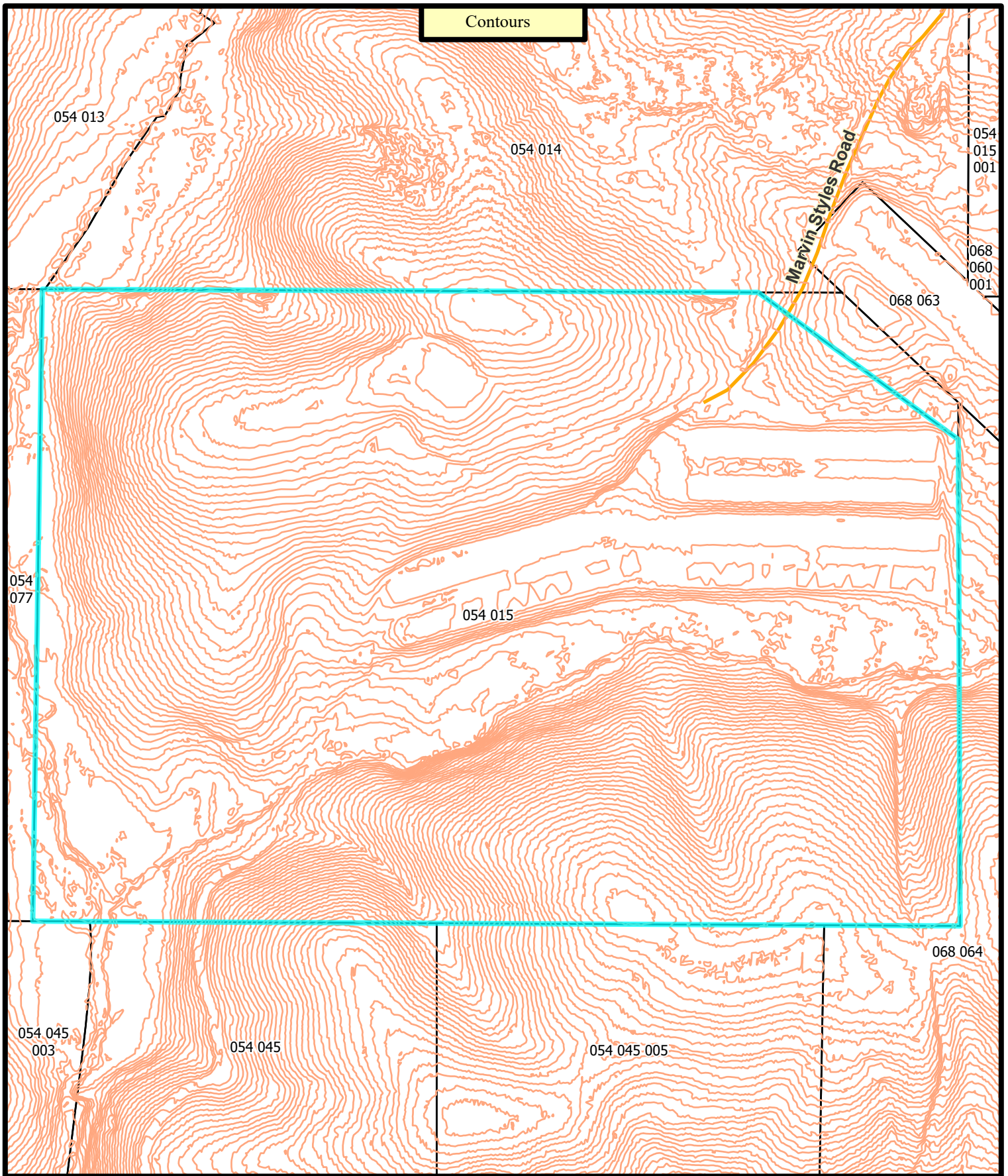
Dawson County Planning  
and Development

Staff Report: Maps

45

Parcel #: 054-015  
Current Zoning: RA  
FLU: RA  
Application #: ZA 23-08





Contours



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PURPOSES.



Dawson County  
Planning and Development  
46  
Staff Report

Parcel #: 054-015  
Current Zoning: RA  
FLU: RA  
Application #:ZA 23-08

**THE PLANNING COMMISSION SHALL MAKE ITS RECOMMENDATION BASED ON THE FOLLOWING CRITERIA:**

- (1) The existing uses and classification of nearby property;
- (2) The extent to which property values are diminished by the particular land use classification;
- (3) The extent to which the destruction of property values of the applicant promotes the health, safety, morals, or general welfare of the public;
- (4) The relative gain to the public, as compared to the hardship imposed upon the individual property owner;
- (5) The suitability of the subject property for the proposed land use classification;
- (6) The length of time the property has been vacant under the present classification, considered in the context of land development in the area in the vicinity of the property; and
- (7) The specific, unusual, or unique facts of each case, which give rise to special hardships, incurred by the applicant and/or surrounding property owners.



Dawson County  
Rezoning Application  
(AMENDMENT TO LAND USE MAP)

**APPLICANT INFORMATION (or Authorized Representative)**

If applicant is other than owner, the Property Owner Authorization form must be completed.

Printed Name: Tim Satterfield Chief Construction Management, LLC

Address: \_\_\_\_\_

Phone (Listed only please) \_\_\_\_\_

Email (Business/Personal): \_\_\_\_\_

Status: ☐ Owner ☒ Authorized Agent ☐ Lessee ☐ Option to purchase

I have ☐ / have not ☒ participated in a pre-application meeting with Planning Staff.

If not, I agree ☒ / disagree ☐ to schedule a meeting the week following the submittal deadline.

Meeting Date: \_\_\_\_\_ Applicant Signature: Tim Satterfield

**REQUESTED ACTION & DETAILS OF PROPOSED USE**

☒ Rezoning to: C-1R ☐ Special Use Permit for: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Existing Utilities: ☒ Water ☐ Sewer ☐ Gas ☒ Electric

Proposed Utilities: ☐ Water ☐ Sewer ☐ Gas ☐ Electric

**RESIDENTIAL**

No. of Lots: \_\_\_\_\_ Minimum Lot Size: \_\_\_\_\_ (acres) No. of Units: \_\_\_\_\_

Minimum Heated Floor Area: \_\_\_\_\_ sq. ft. Density/Acre: \_\_\_\_\_

Type: ☐ Apartments ☐ Condominiums ☐ Townhomes ☐ Single-family ☐ Other

Type of Amenity: \_\_\_\_\_ Amount of Open Space: \_\_\_\_\_

**COMMERCIAL & RESTRICTED INDUSTRIAL:**

Building area: \_\_\_\_\_ No. of Parking Spaces: \_\_\_\_\_

Property Owner/  
Property Information

Name: William C. Elliott

Street Address of Property being rezoned: 729 MARVIN STYLES

Rezoning from: RA to: C-1R Total acreage being rezoned: 79.880

Directions to Property (if no address):

Elliot Family Parkway 183 TO MARVIN STYLES Rd.

Subdivision Name (if applicable): \_\_\_\_\_ Lot(s) #: \_\_\_\_\_

Current Use of Property: \_\_\_\_\_

**Does this proposal reach DRI thresholds?** NO If yes, the application will require submittal of a transportation study. DRIs require an in depth review by County agencies, and regional impact review by the Georgia Mountains Regional Planning staff. This adds several weeks to processing; additionally, the applicant is responsible for the expense of third party review of the required technical studies associated with the project.

**Please refer to Dawson County's Georgia 400 Corridor Guidelines and Maps to answer the following:**

Does the property lie within the Georgia 400 Corridor? NO (yes/no)

**SURROUNDING PROPERTY ZONING CLASSIFICATION:**

North V-4 South V-4 East C-4 V5 West V-4

Future Land Use Map Designation: \_\_\_\_\_

Access to the development will be provided from:

Road Name: MARVIN STYLES Type of Surface: GRAVEL

# Applicant Certification

I hereby request the action contained within this application relative to the property shown on the attached survey, plat, and site plan and further request that this item be placed on both the Planning Commission and Board of Commissioners agenda(s) for a public hearing.

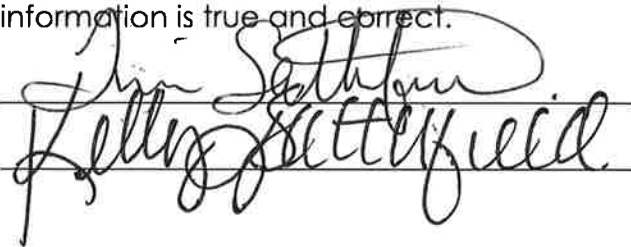
I understand that the Planning & Development staff may either accept or reject my request upon review. My request will be rejected if all the necessary data is not presented. The staff will send notices to adjacent property owners advising of the request and proposed use prior to the public hearing.

I understand that I have the obligation to present all data necessary and required by code to enable the Planning Commission and the Board of Commissioners to make an informed determination on my request. I will seek the advice of an attorney or a land use professional if I am not familiar with the zoning and land use requirements.

I understand that my request will be acted upon at the Planning Commission and Board of Commissioner hearings and that I am required to be present or to be represented by someone able to present all facts. I understand that failure to appear at a public hearing may result in the postponement or denial of my rezoning or special use application. **I further understand that it is my responsibility to be aware of relevant public hearing dates and times regardless of notification from Dawson County.**

I hereby certify that I have read the above and that the above information as well as the attached information is true and correct.

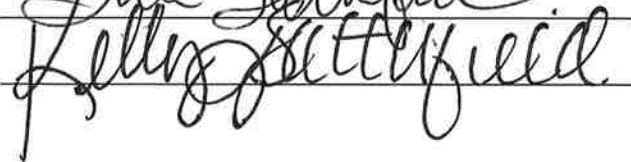
Signature



Date

8-25-23

Witness



Date

8/25/2023

# Property Owner Authorization

I/we, William C Elliott, hereby swear that I/we own the property located at (fill in address and/or tax map parcel #s):

Street Address of Property being rezoned:

TMP#: 034-015

as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel or parcels will be affected by this request.

I hereby authorize the person named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The under signer is aware that no application or reapplication affecting the same land shall be acted upon within six (6) months from the date of the last action by the Board of Commissioners.

Printed Name of applicant or agent: Tim Satterfield

Signature of applicant or agent: [Signature] Date: \_\_\_\_\_

\*\*\*\*\*

Printed Name of Owner(s): William C. Elliott

Signature of Owner(s): [Signature] Date: 8-24-23

Mailing address: \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Phone (Listed/\_\_\_\_\_

Sworn and subscribed before me

this 25<sup>th</sup> day of August, 2023

[Signature]  
Notary Public

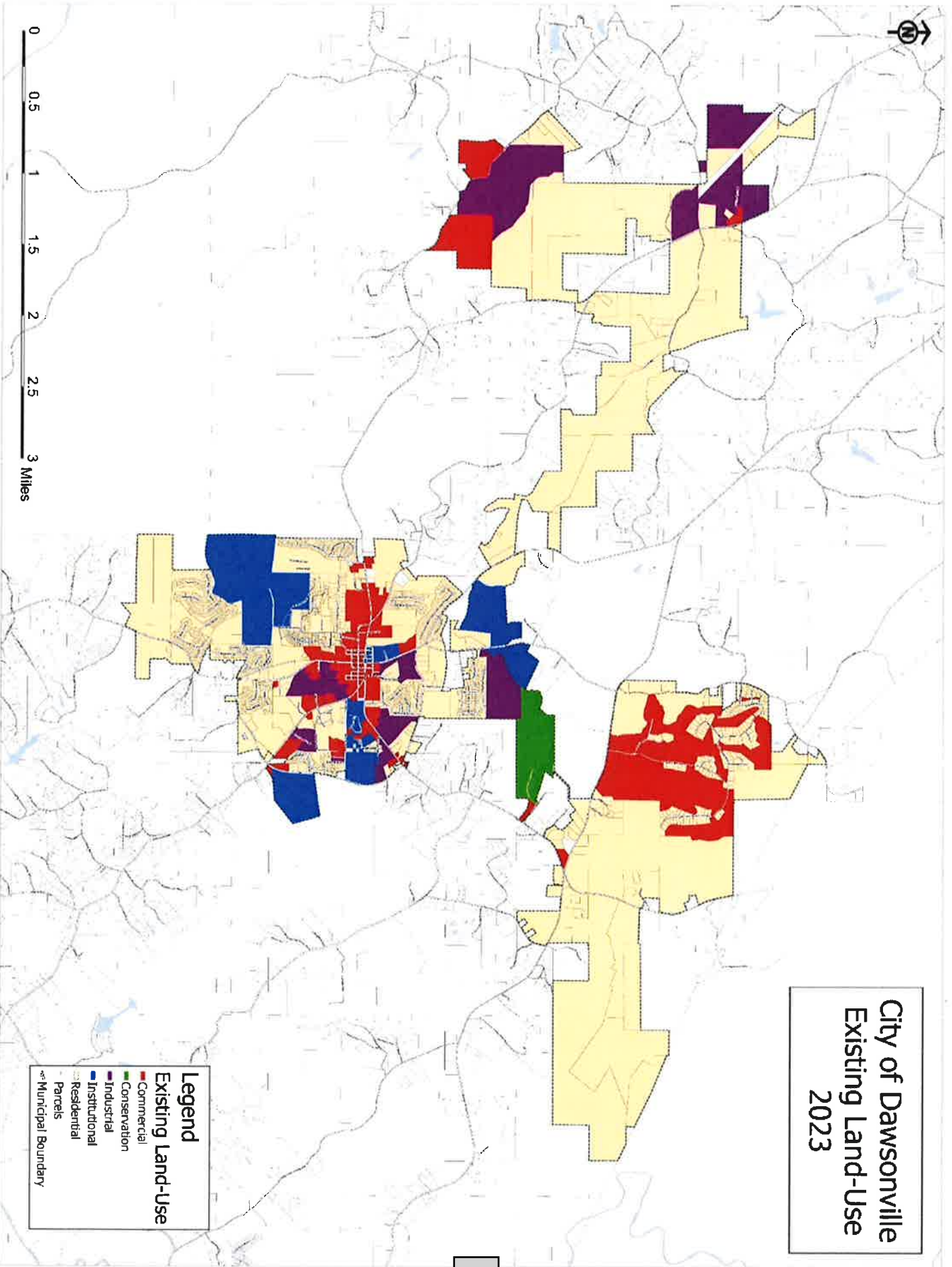
My Commission Expires: 5/31/2027



(The complete names of all owners must be listed; if the owner is a partnership, the names of all partners must be listed; if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please identify as applicant or owner and have the additional sheet notarized also.)



# City of Dawsonville Existing Land-Use 2023



**Legend**

**Existing Land-Use**

- Commercial
- Conservation
- Industrial
- Institutional
- Residential
- Parcels
- Municipal Boundary



CHIEF Construction Management, LLC  
246 Hickory Nut Trail  
Dawsonville, Georgia 30534  
Phone: 706-525-0328  
E-Mail: tsatt21@outlook.com

August 31, 2023

VIA ELECTRONIC MAIL: [hgee@dawsoncountyga.gov](mailto:hgee@dawsoncountyga.gov)

Ms. Harmony Gee  
Development Services Rep II  
25 Justice Way, Suite 2322  
Dawsonville, Georgia 30534

RE: Zoning Request for Parcel No.: 054015

Dear Ms. Gee:

As requested, the following is the additional information necessary for the rezoning for the above-referenced parcel number.

My client would like to rezone said parcel from RA to light industrial for the purpose the of constructing additional hangers, as well as structures to house light industrial needs for the owner of the property. The adjacent properties are already zoned as light industrial. The future land map of Dawson County shows the area as zoned light industrial.

Please let me know if you have any questions or need any additional information.

Respectfully,

*Tim Satterfield*

Tim Satterfield



## DAWSON COUNTY Tax Commissioner

25 Justice Way Suite 1222  
Dawsonville, GA 30534

Trans No	Property ID/District Description	Original Due	Interest & Penalty	Prev Paid	Amount Due	Amount Paid	Transaction Balance
15772 Year-Bill No 2022 - 14652	054 015 / 001 LL 17 53 54 LD 4  FMV: \$710,190.00	4,618.99	0.00 Fees 0.00	0.00	4,618.99	4,618.99	0.00
						Paid Date 11/15/2022 16:38:26	Current Due 0.00
Transactions:	15771 - 15782 Totals	4,618.99	0.00	0.00	4,618.99	4,618.99	0.00

Paid By :

ELLIOTT WILLIAM C  
PO BOX 1948  
DAWSONVILLE, GA 30534BILL OR CINDY ELLIOTT  
PO BOX 1948  
DAWSONVILLE, GA 30534

Cash Amt: 0.00

Check Amt: 0.00

Charge Amt: 0.00

Change Amt: 0.00

Check No

Refund Amt: 0.00

Charge Acct

Overpay Amt: 0.00

729 MARVIN STYLES  
Road

Filed in Office: 01/19/2021 10:15AM  
Deed Doc: WD  
Bk 01466 Pg 0539-0540  
Georgia Transfer Tax Paid : \$1,300.0  
Justin Power Clerk of Court  
Dawson County  
0422021000087

Return Recorded Document to:  
Angela Grant Clark  
65-A Turner Road, P.O. Box 611  
Dahlonega, GA 30533

**WARRANTY DEED**

STATE OF GEORGIA  
COUNTY OF DAWSON

File #: 20RE1007

This Indenture made this 14th day of January, 2021 between Michael R. Styles and Martha A. Styles, as party or parties of the first part, hereinafter called Grantor, and William C. Elliott, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

**WITNESSETH** that: Grantor, for and in consideration of the sum of **TEN AND 00/100'S (\$10.00) Dollars** and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

See Exhibit "A" Attached hereto and made a part hereof by reference

This Deed is given subject to all easements and restrictions of record, if any.

**TO HAVE AND TO HOLD** the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**.

**AND THE SAID** Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

**IN WITNESS WHEREOF**, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed this 14th day of January, 2021  
in the presence of:

Pat Cagle  
Unofficial Witness

Angela G. Clark  
Notary Public

My commission expires: Aug. 5, 2023

Michael R. Styles (Seal)

Martha A. Styles (Seal)



EXHIBIT A

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 53 AND 54, 4<sup>TH</sup> DISTRICT, 1<sup>ST</sup> SECTION, DAWSON COUNTY, GEORGIA AND BEING FULLY DESCRIBED BY A PLAT PREPARED BY DOUGLAS R. SHERRILL, GEORGIA REGISTERED LAND SURVEYOR, DATED JANUARY 6, 2021: AND AS PER SAID PLAT, THE PROPERTY IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE COMMON INTERSECTION OF LAND LOTS 52, 53, 84, AND 85; THENCE SOUTH 89 DEGREES 50 MINUTES 00 WEST 1984.43 FEET TO A ½ INCH IRON FOUND; THENCE NORTH 00 DEGREES 09 MINUTES 36 SECONDS EAST 1328.75 FEET TO A ½ INCH IRON PIN FOUND ON THE NORTHERN LAND LOT LINE OF LAND LOT 54; THENCE SOUTH 89 DEGREES 34 MINUTES 41 SECONDS EAST 1787.93 FEET TO A ½ INCH REBAR FOUND; THENCE SOUTH 46 DEGREES 31 MINUTES 45 SECONDS EAST 268.15 FEET TO A ½ INCH REBAR FOUND ON THE EASTERN LAND LOT LINE OF LAND LOT 53; THENCE SOUTH 00 DEGREES 05 MINUTES 26 SECONDS WEST 1125.32 FEET TO A ½ INCH IRON PIN AT THE INTERSECTION OF LAND LOTS 52, 53, 84, AND 85, BEING THE POINT OF BEGINNING. SAID PLAT IS HEREBY INCORPORATED BY REFERENCE.

THIS CONVEYANCE IS MADE TOGETHER WITH AND SUBJECT TO EASEMENTS FOR PUBLIC ROADS AND UTILITIES NOW IN USE.

THIS CONVEYANCE IS MADE TOGETHER WITH AND SUBJECT TO ANY EASEMENTS OF RECORDS OR EASEMENTS LOCATED ON THE PROPERTY ABOVE DESCRIBED.

20RE-1007

A handwritten signature, possibly "B. J.", is enclosed within a hand-drawn circle. Below the circle, there are additional handwritten initials or a signature.

From: **Ringle, Bill** Bill.Ringle@dph.ga.gov  
Subject: **Parcel 054 015**  
Date: **Aug 24, 2023 at 11:46:41 AM**  
To: **Harmony Gee** hgee@dawsoncountyga.gov  
Cc: **tsatt21@outlook.com**

Harmony,

The owner of the subject parcel is planning to re-zone the property to light industrial. The parcel consists of 59.43 acres and has an existing home, six chicken houses, and other out buildings on it. We could not locate any paperwork on the septic system for the house.

With this size of property, we have no issues with the proposed re-zoning request. The property would be served by public water and septic systems. We will perform site evaluations as applications for septic system construction permits are submitted.

If their intent is to create more than four parcels out of this one, with any of those parcels being 3.0 acres or less, a subdivision review with our office would be required.

Do not hesitate to contact me if you have any questions.

Thank you,  
Bill

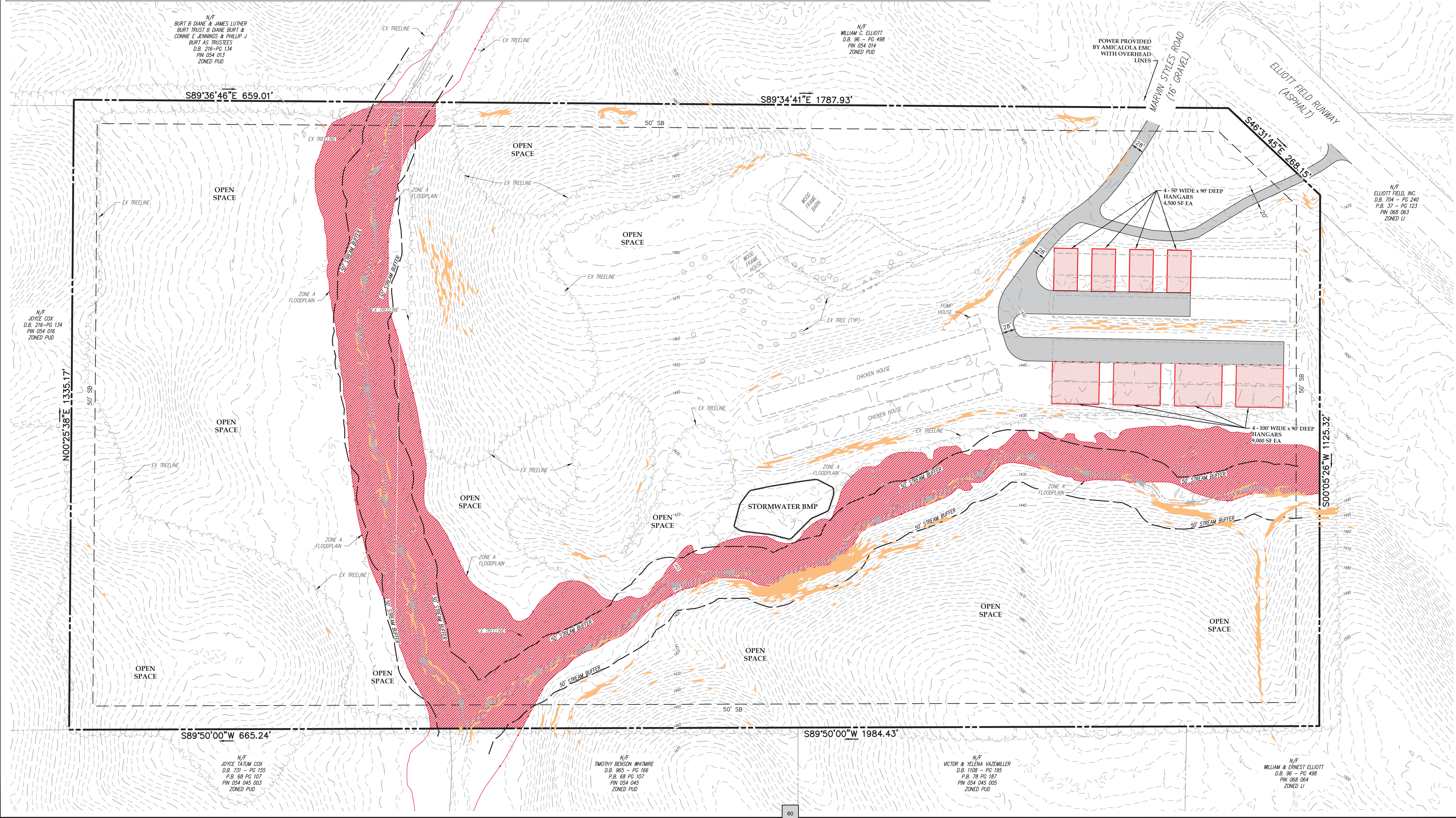
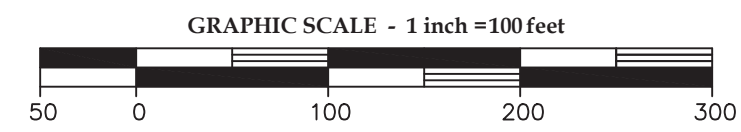
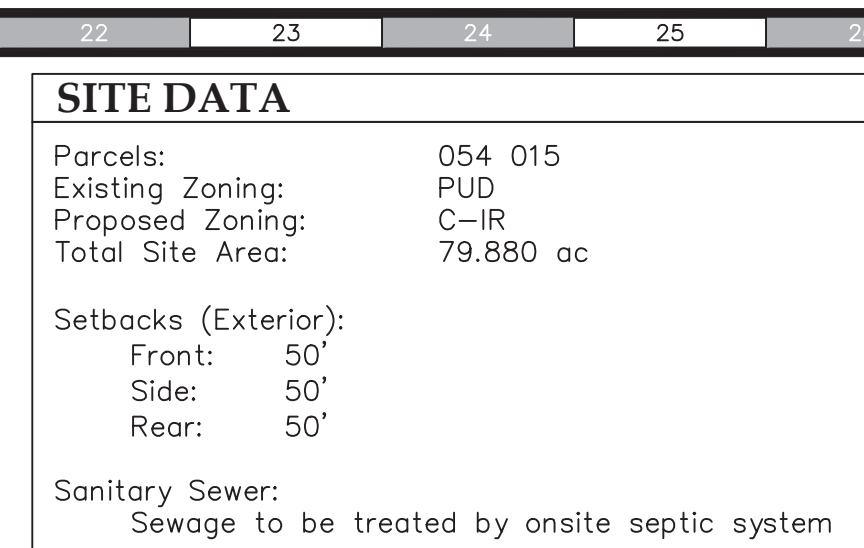
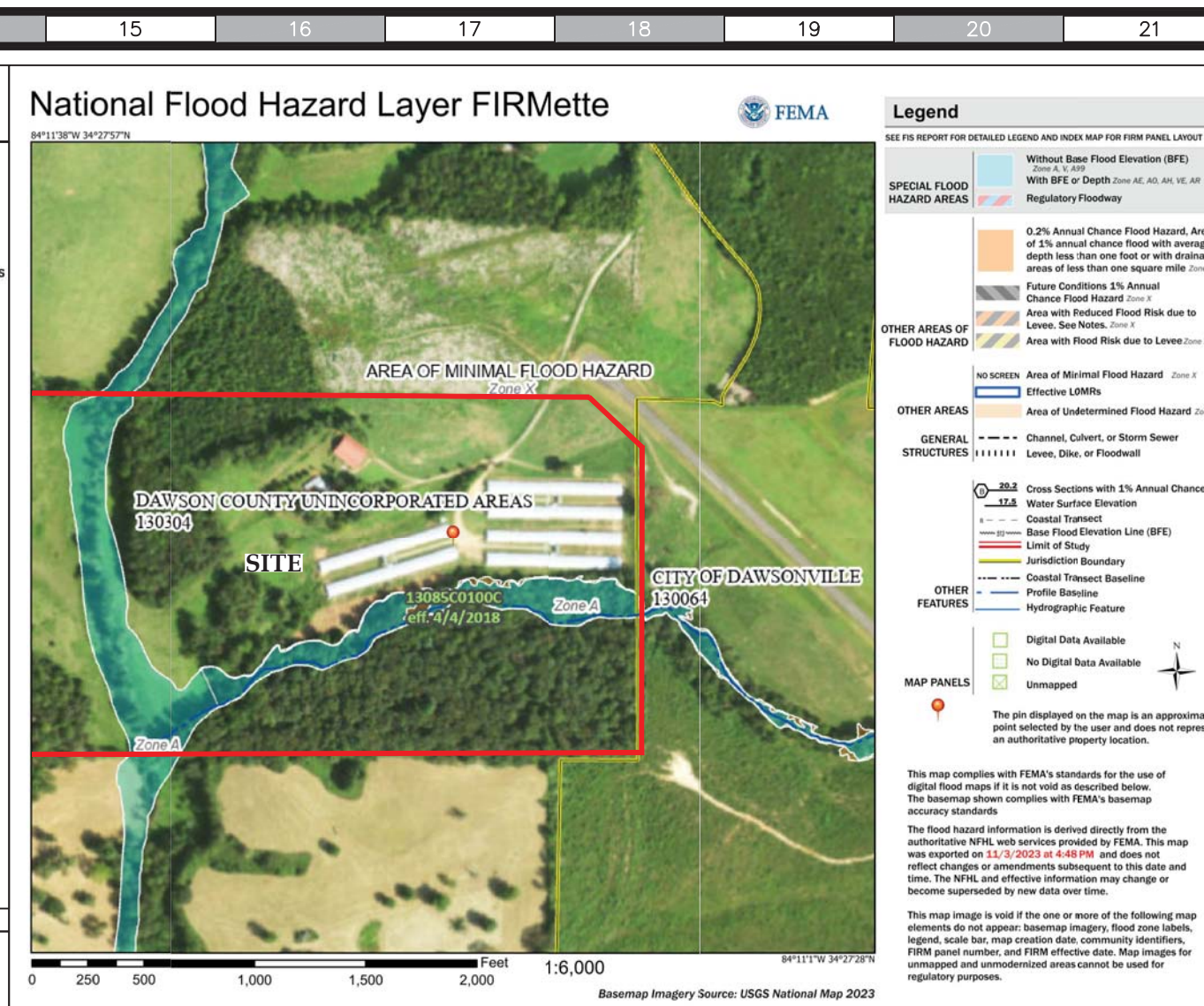
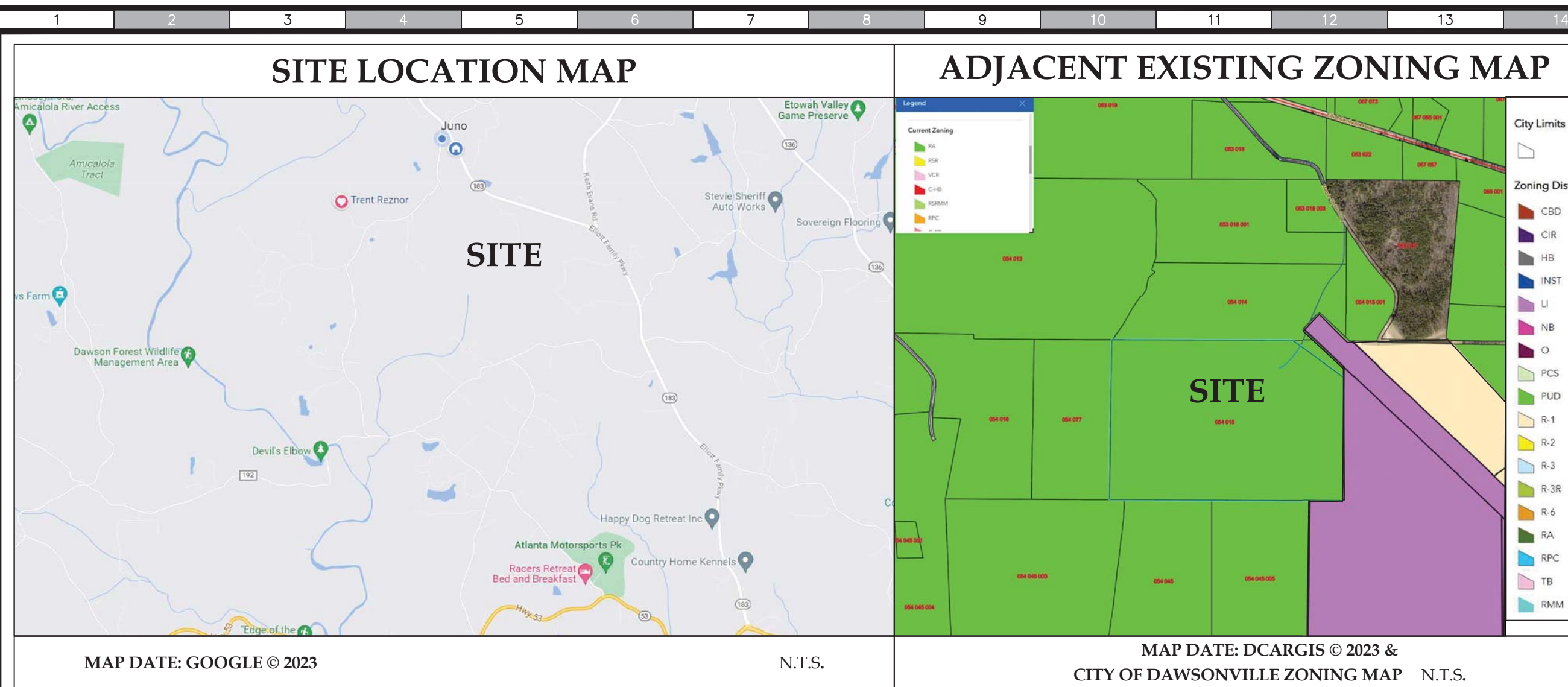
**George W. "Bill" Ringle**  
Environmental Health Manager  
Dawson County Environmental Health  
189 Hwy 53 West  
Suite 102  
Dawsonville, GA 30534  
phone [706-265-2930](tel:706-265-2930)  
fax [706-265-7529](tel:706-265-7529)

**Elliott Fields  
Parcel No. 054015**

**CONSTRUCTION & DEVELOPMENT SCHEDULE**

Entitlement Process:	October 2023 – December 2023
Engineering Design:	January 2024 – November 2024
Land Development Ph 1:	January 2025 – July 2025
Land Development Ph 2:	August 2025 – May 2026
Vertical Construction Ph 2:	February 2027 – November 2027





Grid North (GA West Zone)

**E N S I T E**  
**CIVIL CONSULTING, LLC**  
4224 Sweetwater Juno Road  
Dawsonville, GA 30534  
Mobile: 770-597-8813  
Contact: Corey Guthrie, PE  
Email: [Corey.Guthrie@ensiteconsulting.com](mailto:Corey.Guthrie@ensiteconsulting.com)

OWNER/DEVELOPER:  
**WILLIAM C. ELLIOTT**

PO BOX 1948  
DAWSONVILLE, GA 30534

**24-HOUR CONTACT:**  
**TIM SATTERFIELD**  
706-525-0328

PROJECT:  
ELLIOTT FIELD  
HANGARS

LOCATED IN:  
LAND LOTS 53 & 54  
4th DISTRICT, 1st SECTION  
DAWSON COUNTY, GEORGIA

SHEET TITLE:  
**CONCEPT PLAN**

**GEORGIA811**  
Utilities Protection Center, Inc.  
**1-800-282-7411**  
Know what's below.  
**Call** before you dig.

**STAMP:**



EXPIRES DECEMBER 31, 2023  
GSWCC CERT. # 0000020671  
EXPIRES OCTOBER 21, 2024

DRAWING DATE: 2023-11-06

## SHEET REVISIONS

[illegible]

**SHEET:**  
**1 of 1**

FILE: 23011P



Subpart B - LAND DEVELOPMENT ORDINANCES  
Chapter 121 - LAND USE  
ARTICLE II. ESTABLISHMENT OF LAND USE DISTRICTS  
**AMENDMENT FOR ENTERTAINMENT DISTRICT**

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**ARTICLE II. ESTABLISHMENT OF LAND USE DISTRICTS**

**Secs 121-35.—121-57. Reserved.**

**Secs. 121-34. Entertainment Overlay District.**

The purpose of the Entertainment Overlay District is to encourage retail and restaurant uses within a defined commercial area of Dawson County. The district is intended to create an opportunity to offer a variety of amenities to the public and visitors in a single physical location, promoting pedestrian use.

*1. District Boundaries.*

The boundaries of the Entertainment Overlay District shall be coterminous with the following parcel: Parcel ID 114 004.

*2. Underlying Land Use Regulations*

Within the Entertainment Overlay District, land and structures shall be used in accordance with the standards of the underlying land use district. Whenever provisions of this article conflict with any other section in this land use resolution or any other County ordinances, regulations, or the standards set forth in this article shall prevail.

*3. Mobile Food Service Units*

Notwithstanding anything contrary to the underlying land use district regulations, Mobile Food Service Units are allowed to operate within the Entertainment Overlay District subject to the restrictions and requirements of this Section.

- a. Motor vehicle tag. A Mobile Food Service Unit must have a valid tag from the state's Division of Motor Vehicles.
- b. Food service rules. As applicable, Mobile Food Service Units shall operate according to the State of Georgia's Rules and Regulations Food Service, Chapter 290-5-14, Manual for Design, Installation, and Construction, Section U—Special Food Service Operations, as amended.
- c. Licensing. The operator of a Mobile Food Service Unit shall apply for a license or permit as may be required by the Dawson County Health Department, and the applicant shall submit evidence of health department approval before authorization by the planning and development department. No Mobile Food Service Unit shall operate without a health department permit or approval.
- d. Additional operational constraints.
  - 1 Mobile Food Service Units shall be parked and operated in walkways or interior areas, not in a parking lot.
  - 2 The location and set up of Mobile Food Service Units are subject to all applicable safety codes (e.g., use of propane or generators; pedestrian safety).
  3. There shall be no more than eight Mobile Food Service Units on-site.

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4. No Mobile Food Service Unit shall be permitted to operate a vehicular drive-through facility or drive-up window.

4. *Organized Entertainment.*

Notwithstanding anything to the contrary in the underlying land use district regulations, are allowed within the Entertainment Overlay District, subject to all applicable provisions of the Dawson County Code, including but not limited to, land use, health, safety, and alcohol regulations. Such activities shall be limited to walkways or interior areas and are prohibited in a parking lot.