



CARTERSVILLE HISTORIC PRESERVATION COMMISSION MEETING

Council Chambers, Third Floor of City Hall
Tuesday, June 18, 2024 at 5:30 PM

AGENDA

COMMISSIONERS:

Greg Frisbee – Chair
Brad Galland – Vice Chair
Becky Carr
Larry Gregory
Vandi White
Lisa Ellis
David Elder

CITY PLANNER:

David Hardegree

CITY CLERK:

Julia Drake

DEPUTY CITY CLERK:

Ashley Peters

CITY ATTORNEY:

Keith Lovell

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

1. May Meeting Minutes 2024

CERTIFICATE OF PRESERVATION

2. COP24-17. 7 Oakland St. Applicant: Alan Clark, AIA
3. COP24-18. 10 Hillside Dr. Applicant: Kevin and Michele Gunter
4. COP24-19. 178 W. Main St. Applicant: Matt Womack
5. COP24-20. 341 W Cherokee Ave. Applicant: Colt Kelley and Stephanie Gargiulo.

STAFF OR COMMITTEE COMMENTS

ADJOURNMENT

The next meeting of the Historic Preservation Commission will be July 16th. 5:30pm.

Persons with disabilities needing assistance to participate in any of these proceedings should contact the human resources office, ADA coordinator, 48 hours in advance of the meeting at 770-387-5616.

P.O Box 1390 – 10 N. Public Square – Cartersville, Georgia 30120
Telephone: 770-387-5616 – Fax 770-386-5841 – www.cityofcartersville.org



HISTORIC PRESERVATION COMMISSION ITEM SUMMARY

MEETING DATE:	June 18, 2024
SUBCATEGORY:	HPC Meeting Minutes
DEPARTMENT NAME:	Historic Preservation Committee
AGENDA ITEM TITLE:	May Meeting Minutes 2024
DEPARTMENT SUMMARY RECOMMENDATION:	Approval of May 2024 Meeting Minutes
LEGAL:	N/A

Historic Preservation Commission Meeting Minutes
10 N. Public Square
May 21, 2024
5:30 P.M.

I. Open Meeting

Called to order by Chairman Frisbee at 5:30 PM.

Present: Greg Frisbee, Becky Carr, David Elder, Brad Galland, and Vandi White

Absent: Lisa Ellis and Larry Gregory

Staff Present: David Hardegree, Zack Arnold, Ashley Peters, and Keith Lovell

1. Approval of Minutes

Chairman Greg Frisbee called for a motion to approve the minutes of the last meeting. Board Member Becky Carr made a motion to approve the meeting minutes from April 16, 2024. Board Member David Elder seconded the motion to approve the minutes. The motion carried unanimously. Vote: 4-0.

Certificate of Preservation:

2. COP24-12 206 West Ave.

Applicant: Jim Macht

David Hardegree, Planning and Development Assistant Director, stated per the original application COP24-12, the applicant proposes to replace existing carport with a detached garage.

The house was constructed c 1940 according to Bartow County Tax assessor's records. No GHRS survey for the property. The house is Historic, Non-Contributing. Previous work completed under COP06-07. To replace the front door, a new architectural roof. Was approved on 4/18/06.

Due to the house being non- contributing the determination by the Board should focus on the appropriateness of the proposed modifications on the surrounding houses and on the district.

Chairman Frisbee opened the floor for discussion from the committee.

Jim Macht, 215 West Cherokee Ave, stated that he is going for a Dutch colonial design and will be using the same materials throughout.

Robby Stewart, 408 Terrel Drive, stated that the front location is not designed to be parking by used for a turn around due to the traffic on West Ave.

Board Member Carr asked where the location of the AC unit will be after it is moved. The applicant stated that it will still be located at the back of the property.

Chairman Frisbee asked on the type of material of the windows. The applicant states that they will be wood windows.

Board Member Galland asked about the number of panes that will be on the windows to achieve the colonial look. Applicant states that they prefer six panes over one open.

Chairman Frisbee asked regarding the roof materials. The applicant stated that it would be asphalt shingles.

Chairman Frisbee closed the discussion and asked for a motion to be made.

Board Member White made a motion to approve the project with the following items to be included.

1. Cementitious materials to match the front dormer.
2. Parking area to be revised to a turnaround spot. Determination of size from planning and development office.
3. Windows to be wood and consist of six panes over one.
4. AC to be located on the back of the property.

Board Member Carr seconded the motion. Motion carried unanimously. Vote: 4-0.

3. COP24-13. 10 Hillside Dr.

Applicant: Kevin and Michele Gunter

David Hardegree stated per the original application COP24-13, the applicant proposes to add a front porch and demolish brick steps.

The house was constructed c. 1954 according to Bartow County Tax assessor's records. There is no GHRS Survey. The house is Historic, Contributing. Applicant proposes to demolish the existing brick steps and landing at the front door. The front porch is to be constructed from wood or wood composite materials for the support columns, railings, and decking.

Chairman Frisbee stated that there are no architectural drawings associated with this application and that is a requirement to have on an addition.

Chairman Frisbee opened the floor for discussion from the committee.

Kevin Gunter, 10 Hillside, stated they are interested in adding a covered porch with a possible metal roof. Replace the brick steps with wood steps and porch with iron railings.

Board Member White asked if the railings will go around the complete porch due to code and height of porch. The applicant stated that they were trying to leave the front portion open and would add a railing on the highest point.

Chairman Frisbee stated that he prefers an architectural drawing that shows elevations and does not believe that a determination can be made on an incomplete application.

Keith Lovell, City Attorney, states that it may or may not be necessary to decide. The board is within the rights to ask the applicant to resubmit with the required items but believes that the issue of appropriateness needs to be determined before the applicant spends money on the drawings.

Chairman Frisbee stated that the house does not currently have a front porch and that adding one takes away to historic attributes of the house.

Board Member White stated that she believes an architect will be money well spent and would allow the homeowners to see what would compliment the home the best.

Chairman Frisbee closed the discussion and asked for a motion to be made.

Board Member Galland made a motion to deny the application and allow the applicant to resubmit providing details and intended use. No additional fee for resubmission. Board Member Carr seconded the motion. Motion carried unanimously. Vote: 4-0

4. COP24-15 19 N. Erwin St.

Applicant: City of Cartersville

Mr. Hardegree stated that this is a last-minute add-on. The applicant proposes to demolish the existing structure.

The structure was constructed c. 1916 according to the Bartow County Tax assessor's records. GHRS survey state's structure was constructed c. 1916. The structure is Historic and should be designated as Contributing/Non-contributing designation table included with the adoption resolution, Ordinance 04-04 dated 2-5-02. This table is also reflected in the current city ordinance.

Structure is part of the N. Erwin St. National Register of Historic Places, 1994. The structure is included in the local DBD historic district adopted in 2004. The structure is also part of the Cartersville Downtown Business District National Register of Historic Places, 2014. The building was the home of the first City Hall as well as a police and fire station. Addition to the rear was constructed in 1990's.

Demolition is expected to begin this month. Once new building plans are available, they will be presented to the commission for review.

Chairman Frisbee opened the floor to discussion.

Mr. Lovell stated that studies have been completed on the building and that renovating the property will cost between four to eight million dollars and only provide 6,000 sqft of usable space. The design that the city is looking at would be 10,000-20,000 sqft. A lot of the older items that were wanting to be saved have been moved to the Public Safety headquarters. The timing of the project will take approximately 18 months to 2 years and depending on the number of stories it will cost between three to four million dollars.

Board Member White stated that she would like to have a discussion to see if there are other options to save the existing building and to find a neutral party to provide a full overview.

Mr. Hardegree stated that the interior and floors are very solid. From the studies everything will need to be fully gutted on the interior.

Chairman Frisbee stated that he would prefer to have the committee and council sit down as well as prefer further studies on what can be done to save a historic structure.

Further discussion commenced.

Board Member Galland left the meeting at 6:40pm

Chairman Frisbee closed the floor to discussion.

Board Member White made a motion to deny the demo permit pending a work session with the City Council to discuss additional information as to the feasibility of saving the building. Board Member Elder seconded the motion. Motion carried unanimously. Vote: 3-0.

II. OTHER

Chairman Frisbee asked if there were additional items to discuss.

Mr. Hardegree stated that there were two bids that have come in for review. Board Member Carr and Galland will start the review process. The state grant was approved, and we have two years to complete it.

Chairman Frisbee adjourned the meeting at 7:11 PM

Date Approved: 06/18/2024

/s/ _____
Greg Frisbee, Chairman



HISTORIC PRESERVATION COMMISSION ITEM SUMMARY

MEETING DATE:	June 18th, 2024
SUBCATEGORY:	HPC
DEPARTMENT NAME:	Planning and Development
AGENDA ITEM TITLE:	COP24-17. 7 Oakland St. Applicant: Alan Clark, AIA
DEPARTMENT SUMMARY RECOMMENDATION:	COP request for multiple house and site modification and/ or additions.
LEGAL:	



City of Cartersville Historic Preservation Commission COP Application Staff Report
Case: COP24-17

HPC Meeting – 6-18-24

Application Information

Address: 7 Oakland St
 Applicant: Alan Clark, AIA. Owner: Andrew Pettit
 Zoning District: R-20
 Setbacks: Front: 20ft. Rear: 20ft: Side: 10ft.

Brief Description: Construct detached garage. Multiple modifications to existing house.

Applicable Guidelines to Consider

Historic District Ordinance Section	
	9.25-51. General
	9.25-52. Downtown Business District
	9.25-53. Olde Towne
<input checked="" type="checkbox"/>	9.25-54. West End
	9.25-55. Cherokee- Cassville
	9.25-56. Granger Hill

Infill Overlay Districts. Chapter 26, Zoning. Article 27 (Sec. 27.1- 27.6)	
	West End Infill Overlay District
	Cherokee-Cassville Infill Overlay District

Residential Design Guidelines			
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>			
<input checked="" type="checkbox"/>	A. Wood		K. Utilities and Energy Retrofit
	B. Masonry		L. Accessibility, Health, and Safety Considerations
	C. Architectural Metals		M. Additions to Historic Buildings
	D. Paint	<input checked="" type="checkbox"/>	N. Aesthetic Recommendations
<input checked="" type="checkbox"/>	E. Roofs		
<input checked="" type="checkbox"/>	F. Exterior Walls	<input checked="" type="checkbox"/>	PART TWO: New Construction
<input checked="" type="checkbox"/>	G. Driveways, Walkways, and Off-Street Parking		
	H. Lighting		PART THREE: Relocation
<input checked="" type="checkbox"/>	I. Windows and Doors		
<input checked="" type="checkbox"/>	J. Entrances, Porches and Balconies		PART FOUR: Demolition

The following scopes of work are proposed. See building plans for all of these items:

Front Porch

1. Add new brick at base with brick water table
2. Add new metal, shed roof with 4/12 pitch
3. Add doric-styled Greek columns
4. Add wood handrails and railings
5. Stairs to have brick risers and bluestone treads

Front of House (Oakland St)

1. Add new brick at base with brick water table
2. Add new faux wood shutters to left side windows
3. Add new wood canopy with brackets over left side windows.

Side Porch (Oakland St. Driveway)

1. Add new brick at base with brick water table
2. Add new timber gable roof with 6/1 pitch
3. Roof material unknown
4. Add doric-styled Greek columns
5. Add new stone landing

Existing Garage area

1. Add (4) new garage doors at existing openings (left and right sides)
2. Remove (1) window in storage area, right side of garage
3. Add new double doors to storage room, right side of garage

Detached Garage (New Construction)

1. Construct new two car, detached garage, approx. 25ft x 28ft.
2. Side and rear walls to partially be stepped concrete due to grades.
3. Roof to have 6/12 pitch.
4. Roof material unknown. Anticipated to be asphalt shingles to match house.
5. Wall under Gable to be board and batten
6. Add (2) garage doors
7. Add (1) Man-door.
8. Add Hardi siding to match house
9. Roof to be asphalt shingle (match house)
10. Add (4) Velux skylights for ventilation to roof.
11. Expand driveway to allow for turnaround space.

Rear Patio

1. Add timber roof structure over patio, approx. 18ft x 26ft. (attach to house)
2. New roof to have 6/12 pitch
3. Add 10in. stained timber columns to support roof structure.
4. Add outdoor chimney, stone or brick
5. Add new arch wall at stairs, stone or brick.

Side of House (Poplar St)

1. Add new brick at base with brick water table
2. Add vent to board and batten wall under gabled roof peak
3. Add new faux wood shutters to left and right windows
4. Add new wood canopy with brackets over left and right windows.

Site Improvements (To be reviewed at a future HPC meeting. More details needed)

1. Add retaining walls from new detached garage to near Poplar St.
2. Add fence to Poplar St side of house. Potential variance item.
3. Add guest parking area to Oakland St. driveway. (Currently, not allowed by ordinance, Sec. 17-11.)

Sec. 17.11. - Parking of vehicles in the front yard in a residential district.

Required parking spaces shall not be allowed in the front yard between a principal building and a street (public or private) or in front of the front entrance to a building on any property used for residential purposes, with the exception that in single-family residential districts (excluding townhouse developments) vehicles may park in front of the principal building on a driveway leading to a garage, carport or side yard parking space as required. Additional parking may be allowed in front of the principal building on a public or private street with the approval of the City of Cartersville Public Works Department and such parking shall be designed as parallel parking spaces only.

History of the Property- Bartow County Tax assessor's records state the original structure was built in 1953. GHRS states 1950-1959. Major renovations occurred in 2021 that completely modified the interior and exterior.

COPs on file:

COP20-10. Various renovation tasks. Approved 3-17-2020.
 COP21-11 Rev-2. Various major renovations. Approved 8-16-22.
 COP21-11 Rev-1. Various major renovations. Approved 4-19-22.
 COP21-11. Various major renovations. Approved 4-20-21

Analysis of the COP:

The ranch home is historic, non-contributing. As of 2020, the house was clad with several different materials that seem to demonstrate the popular choice during a particular period of time of the original construction and additions. Brick, board and batten and horizontal wood siding were used. Various windows styles were also used.

The 2020-2021 were uncommon to most projects in the historic districts involving ranch homes. The proposed renovations to the original structure are in keeping with the unique

modifications proposed in 2020-2021. Those renovations were halted due to the untimely passing of the owner and her vision.

The current proposals seem compatible with the renovations that have occurred and variations of the proposals would likely have occurred with the previous owner, too.

The Board may chose to ask for clarification on the materials to be used for the board and batten siding, railings, and roofs.

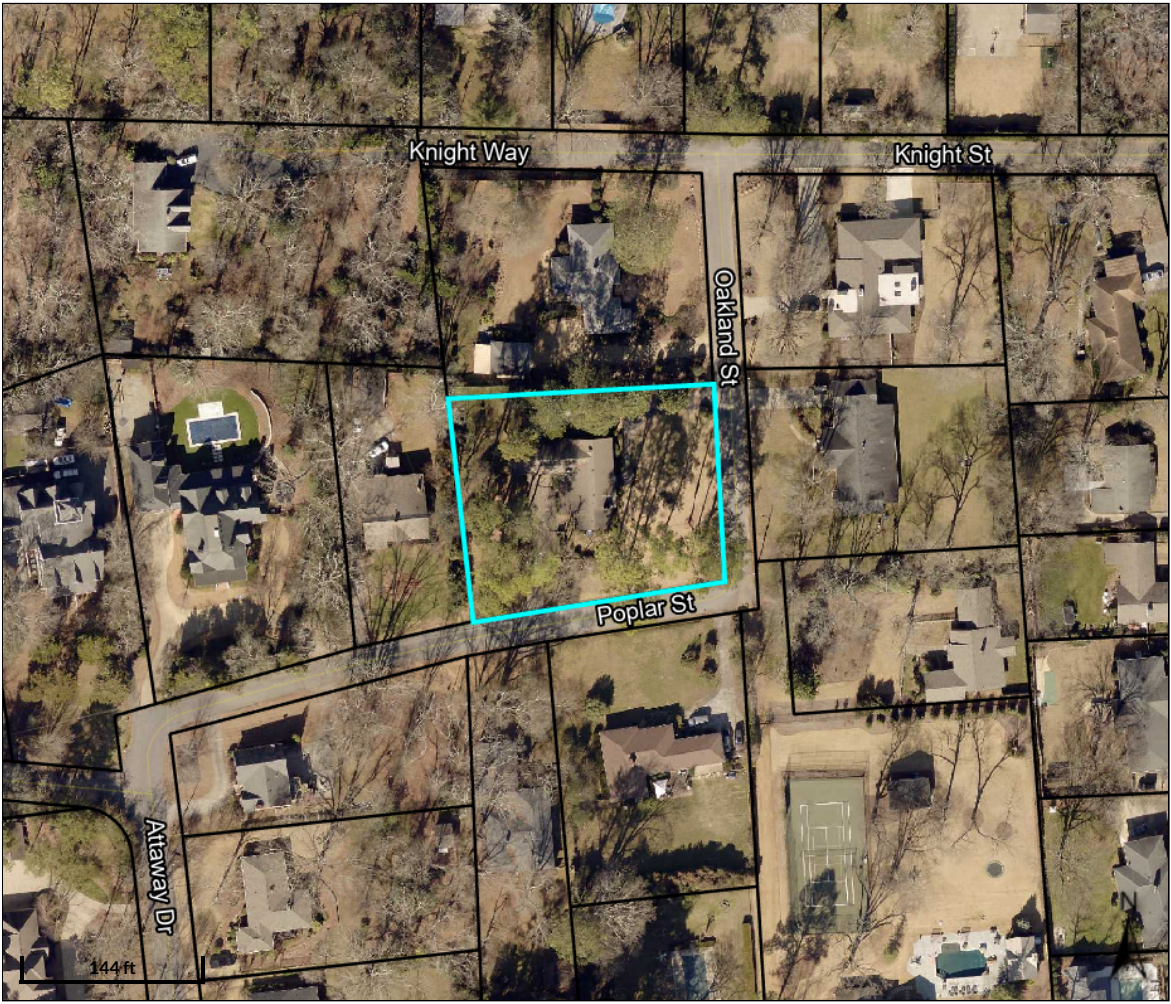
The proposed site improvements will require review at a future HPC meeting once more details are provided.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof	Asphalt shingle (house)	Metal (porch), shingles, all other
Siding	Hardi	Hardi
Windows		
Doors		Composite/ metal (garages)
Exterior Lighting		
Foundation	Brick	Brick
Decking		
Steps	Wood	Brick/ bluestone
Porches	Wood	Wood /composite columns/handrails
Ornamentation		Wood/ composite

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.



Overview



Legend

-  Parcels
-  Roads

Parcel ID	C015-0004-006	Alternate ID	33802	Owner Address	PETTIT ANDREW COLEMAN
Sec/Twp/Rng	n/a	Class	Residential		7 OAKLAND ST
Property Address	7 OAKLAND ST	Acreage	0.71		CARTERSVILLE, GA 30120
District	Cartersville				
Brief Tax Description	LTS 5&6 HOYLE DEAN SUB LL523 LD4				
	(Note: Not to be used on legal documents)				

Date created: 6/14/2024
 Last Data Uploaded: 6/13/2024 10:22:46 PM

Developed by 



Cartersville Historic Preservation Commission
CERTIFICATE OF PRESERVATION APPLICATION

*Applicant: ALAN CLARK, AIA
Project Address: 7 OAKLAND STREET
CARTERSVILLE GA 30120
Mailing Address (if different than project address):

Phone: (404) 219 4642
Email: alan@alauclarkarchitects.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. **Building permits will not be issued without proof of a COP.**

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

Office Use Only	
Case Number	COP24-17
Date Received	5-24-24
Contributing	NC
Zoning	R-20
Legal Advertisement	6-11-24
Notified Adjacent	
HPC Hearing	6-18-24
HPC Decision	
COP Expiration	
Project Completion	
Tax Parcel	C015-0004-006

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Existing Building Type:

- Residential One, Two or Multi-family ONE STORY
- Commercial Garage, Storage NEW GARAGE BLDG
- Other

Brief Project Description (example: addition of sunroom, installation of fence)

Type of Project (Check all that apply)

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other

Start Date: JUNE 2024

Anticipated Completion: JAN 2025

Contractor/Consultant/Architect: ALAN CLARK ARCHITECTS
ATLANTA GA

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 05/21/2024 Signature Alan Clark

APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

Site Changes – Signs

- specifications
- description of construction materials and illumination

Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

NOTE: Only complete applications will be placed on the agenda for design review. Submit to:

City of Cartersville
 Planning and Development Department
 P.O. Box 1390
 Cartersville, GA 30120

PROJECT DESCRIPTION

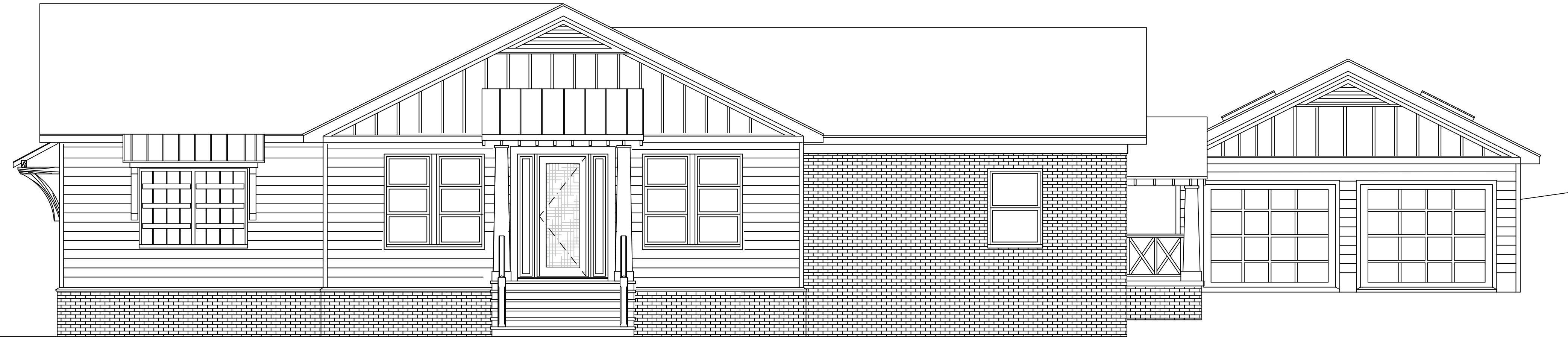
Include support materials and attach additional sheets if needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

1. New Front Porch design
2. New Bracket @ windows
3. New Side Entry Gable (Timberframe)
4. New 2 car garage (Separate)
5. New Open Pavilion behind main house
6. New Garage doors @ Exist house
7. New Retaining walls (Landscape)
8. New Rear Yard design
9. New Fence @ Poplar Street
10. New Driveway & Parking Area
11. New Patio off new Pavilion

PRECEDENCE OF DECISIONS

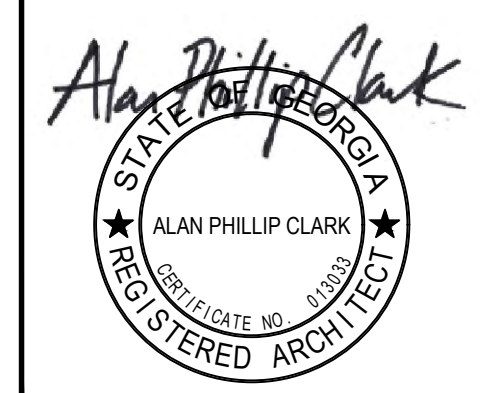
Each application will be considered on it's own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.

AN ADDITION AND RENOVATION FOR
ANDREW PETTIT & FAMILY
 70 OAKLAND STREET CARTERSVILLE GEORGIA
CARTERSVILLE HISTORIC PRESERVATION COMMISSION REVIEW
MAY 24, 2024



REVISIONS	DATE

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 ALAN PHILIP CLARK ARCHITECTS, LLC
 AND IS NOT
 TO BE REPRODUCED OR COPIED IN
 WHOLE OR IN PART. THE DIMENSION
 OF WHICH ARE 24" X 36".
 AND SITE SPECIFICALLY IDENTIFIED HEREIN
 AND IS NOT TO BE USED ON ANY OTHER
 PROJECT WITHOUT WRITTEN PERMISSION
 FROM THE ARCHITECT. THE CONTRACTOR
 IS RESPONSIBLE FOR VERIFYING ALL FIELD
 MEASUREMENTS, QUANTITIES, DIMENSIONS
 AND RELATED FIELD CONSTRUCTION
 CRITERIA.
 NOTE TO GENERAL CONTRACTOR:
 ANY DISCREPANCIES, INCONSISTENCIES
 OR AMBIGUITIES FOUND BETWEEN THE
 DRAWINGS, SPECIFICATIONS & SITE
 CONDITIONS SHALL BE IMMEDIATELY
 REPORTED TO THE ARCHITECT IN WRITING.
 THE ARCHITECT WILL PROMPTLY CORRECT
 THE SAME IN WRITING. WORK DONE BY THE
 CONTRACTOR AFTER DISCOVERY OF SUCH
 DISCREPANCIES, INCONSISTENCIES OR
 AMBIGUITIES SHALL BE DONE AT THE
 GENERAL CONTRACTOR'S RISK.



CODE COMPLIANCE INFORMATION

THE CURRENT CITY OF CARTERSVILLE, GA MINIMUM BUILDING CODES:
 LISTED BELOW ARE THE CODE EDITIONS IN EFFECT AS OF JANUARY 1, 2021:

INTERNATIONAL BUILDING CODE	2018 EDITION
INTERNATIONAL RESIDENTIAL CODE	2018 EDITION
INTERNATIONAL PLUMBING CODE	2018 EDITION
INTERNATIONAL MECHANICAL CODE	2018 EDITION
INTERNATIONAL FUEL GAS CODE	2018 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2015 EDITION
INTERNATIONAL FIRE CODE	2018 EDITION
NATIONAL ELECTRICAL CODE	2020 EDITION
INTERNATIONAL SWIMMING POOL AND SPA CODE	2018 EDITION

THE ACT REQUIRES LOCAL GOVERNMENTS THAT ELECT TO ENFORCE THESE CODES WITHIN THEIR JURISDICTIONS TO ADOPT ADMINISTRATIVE PROCEDURES AND PENALTIES IN ORDER TO LOCALLY ENFORCE ANY OF THESE MANDATORY CODES. ALSO, ANY APPLICABLE APPENDICES OF THESE CODES MUST BE ADOPTED LOCALLY IN ORDER TO BE ENFORCEABLE WITHIN A SPECIFIC LOCAL JURISDICTION.
 THE ACT ALSO MADE THE FOLLOWING OPTIONAL CODES AVAILABLE FOR LOCAL GOVERNMENT ADOPTION AND ENFORCEMENT.
 LOCAL GOVERNMENTS CHOOSING TO ENFORCE ANY OF THE BELOW OPTIONAL CODES MUST ADOPT THE CODE(S) THEY WISH TO ENFORCE, AS WELL AS ADMINISTRATIVE PROCEDURES AND PENALTIES.

- INTERNATIONAL PROPERTY MAINTENANCE CODE
- INTERNATIONAL EXISTING BUILDING CODE
- NATIONAL GREEN BUILDING STANDARD
- DISASTER RESILIENT BUILDING CODE IBC APPENDIX 2020 EDITION
- DISASTER RESILIENT BUILDING CODE IRC APPENDIX 2020 EDITION

PROJECT TEAM

ARCHITECT
 ALAN CLARK ARCHITECTS, LLC
 CONTACT: ALAN P. CLARK, AIA
 alan@alanclarkarchitects.com
 404-219-4642

INTERIOR DESIGN
 VANDI WHITE INTERIORS
 vandiw@bellsouth.net

OWNER OF RECORD

ANDREW PETTIT
 70 OAKLAND STREET
 CARTERSVILLE GA 30120
 ANDREW PETTIT <ANDREWCPETTIT@GMAIL.COM>

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A RENOVATION/ADDITIONS FOR
ANDREW PETTIT and FAMILY
 7 OAKLAND STREET
 CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
DRAWN BY	APC/WAC
JOB NUMBER	0283
SHEET NAME	TITLE SHEET

T-1
 SHEET NUMBER

ARCHITECTURAL SYMBOLS

5 ——— Wall Type

A Window Type

100 Door Type

ELEVATION ——— Elevation height

Room Name Floor Finish Room Name (and Finish Material)

1 A1 Elevation designation

1 A1 Section designation

X X Detail bubble

1 ROOM NAME SCALE Drawing tag

ZONING INFORMATION

PER CARTERSVILLE PLANNING AND ZONING

7 OAKLAND STREET

R-20 ZONING

FRONT YARD SET BACK 20'-0" (AT OAKLAND AND POPLAR)
SIDE YARD SET BACK 10'-0"

GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL
- DO NOT SCALE DRAWINGS
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.
- IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/ OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THE FOLLOWING DRAWINGS/DOCUMENTS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.
- ANY DEVIATIONS FROM THE FOLLOWING DOCUMENTS SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.
- ALL STRUCTURAL MEMBERS TO BE VERIFIED, DESIGNED, AND SIGNED AND SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE WHICH THE PROJECT IS BEING CONSTRUCTED.
- ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO THE EXTERIOR ELEMENTS TO BE PRESSURE TREATED.
- ALL SHEATHING AND DECKING USED ON EXTERIOR ENVELOPE TO BE OF "EXTERIOR GRADE"
- CERTIFIED U.L. FIRE SEPARATION/RATED ASSEMBLIES TO BE USED WHERE REQUIRED BY CODE.
- G.C. TO VERIFY & ADHERE TO FIREPLACE MANUFACTURER AND CODE REQUIREMENTS FOR MIN. CLEARANCES OF COMBUSTIBLE MATERIALS AROUND FIREPLACE, INCLUDING, BUT NOT LIMITED TO, FRAMING, SURROUNDING MATERIAL, HEARTH, & FLUE.
- ALL TOILETS MUST HAVE VENTILATION FAN ABOVE IN CEILING IN ACCORDANCE WITH GOVERNING BUILDING CODE.
- ALL BEDROOMS MUST HAVE SMOKE DETECTORS LOCATED OUTSIDE BEDROOM DOOR IN ACCORDANCE W/ GOVERNING BUILDING CODE.
- TEMPERED GLASS TO BE USED IN DOORS & WINDOWS AS REQUIRED BY GOVERNING BUILDING CODE. G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO FINAL ORDER.
- EXTERIOR PORCHES SHOULD BE SLOPED 1/8" PER FOOT MINIMUM TO ALLOW FOR DRAINAGE OF WATER & TO PREVENT PONDING OF WATER.
- G.C. TO VERIFY W/ ELEVATOR AND/OR LIFT MANUF. ALL REQUIREMENTS INCLUDING BUT NOT LIMITED TO STRUCTURAL & ELECTRICAL, PERTAINING TO SPECIFIED ELEVATOR/LIFT BEFORE CONSTRUCTION - IF G.C. SUBSTITUTES SPECIFIED ELEVATOR/LIFT FOR ANOTHER MANUF. AND/OR MODEL NOTIFY ARCHITECT IMMEDIATELY (BEFORE PROCEEDING) TO DISCUSS POSSIBLE IMPACT ON CONSTRUCTION DOCUMENTS.
- G.C. TO VERIFY GRADE AGAINST HOUSE/STRUCTURE SLOPES AWAY TO DRAIN WATER AWAY FROM STRUCTURE.
- G.C. TO VERIFY MASONRY WEEPHOLES @ 33" O.C., MAX.
- G.C. TO USE METAL MASONRY TIES. G.C. TO VERIFY W/ STRUCTURAL 0.29 x 7/8" GALV. METAL TIES TO BE USED. EACH METAL TIE MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQUARE FEET WITH A MAXIMUM SPACING OF 16" O.C VERTICALLY AND 24" O.C. MAX. HORIZONTALLY.
- G.C. TO VERIFY R-VALUES W/ LOCAL JURISDICTIONS AND GOVERNING CODES BEFORE INSULATION.
- G.C. TO VERIFY SOIL CONDITIONS BEFORE POURING FOUNDATION.
- TYPICAL SLAB ON GRADE TO BE 4" P.I.P. CONCRETE SLAB W/ 6 X 6 X 10/16 W.W.F. OVER 6 MIL. POLY VAPOR BARRIER OVER 4" GRAVEL BED OVER COMPACTED SOIL. G.C. TO VERIFY WITH APPROVED STRUCTURAL BEFORE POURING SLAB.
- ALL WINDOW & DOOR SHOP DRAWINGS REQUIRED TO BE REVIEWED & APPROVED BY ARCHITECT AND OWNER PRIOR TO PLACING ORDER.
- G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO ORDERING.
- G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF GUTTERS & DOWNSPOUTS PRIOR TO INSTALLATION.
- G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF VENTS, INCLUDING BUT NOT LIMITED TO, DRYER VENTS / EXHAUST VENTS, WHICH ARE LOCATED ON EXTERIOR WALLS.
- G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATION OF EXTERIOR LIGHTING PRIOR TO INSTALLATION OF JUNCTION BOXES.
- G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATIONS OF INTERIOR AND EXTERIOR ELECTRICAL SWITCHES PRIOR TO INSTALLATION OF JUNCTION BOXES.
- G.C. TO COORDINATE ELECTRICAL & PLUMBING REQUIREMENTS FOR APPLIANCES, INCLUDING, BUT NOT LIMITED TO REFRIGERATORS & FREEZERS, OVENS, STOVES, GRILLS, VENT HOODS, ICE MAKERS, AND DISHWASHERS.
- G.C. TO VERIFY ALL STRUCTURAL MEMBERS NOTED IN ARCHITECTURAL DRAWINGS, INCLUDING, BUT NOT LIMITED TO STUDS, JOISTS, AND RAFTER SIZES AND SPACING, WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK IN QUESTION.
- ALL EXTERIOR MATERIALS, COLORS, STAINS, ETC. TO BE SUBMITTED TO ARCHITECT & OWNER FOR REVIEW & APPROVAL, PRIOR TO FINAL ORDER & INSTALLATION. MATERIAL MOCK-UPS MIGHT BE NECESSARY FOR REVIEW & APPROVAL.
- ALL SILLS & TOPS OF HEADER TRIM @ EXTERIOR WINDOWS TO SLOPE MIN. 5 DEGREES TO SHED WATER PROPERLY.
- ALL WINDOW AND DOOR DIMENSIONS ON SCHEDULE DIMENSIONED TO SASH. IT IS THE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ROUGH OPENING SIZES AND REQUIREMENTS WITH THE CHOSEN WINDOW MANUFACTURER.
- EACH ITEM OF MATERIAL AND EQUIPMENT SHALL EQUAL OR EXCEED THAT DESCRIBED OR INDICATED. THE CONTRACTOR IS HELD DIRECTLY RESPONSIBLE FOR ALL WORK DONE BY SUBCONTRACTORS.
- NO VARIATIONS OR DEVIATIONS FROM THE DETAILS AS DRAWN ARE PERMITTED WITHOUT WRITTEN AUTHORIZATION OR AN ALTERNATE APPROVED DETAIL FURNISHED BY THE ARCHITECT OR OWNERS. UNLESS SPECIFICALLY STATED OTHERWISE, ALL MATERIALS PROVIDED UNDER THIS CONTRACT SHALL BE NEW AND FREE FROM DEFECTS.
- ALL DIMENSIONS ARE WITNESSED TO THE OUTSIDE FACE OF CMU, OR STUD, CENTER OF COLUMNS, TOP OF STRUCTURAL CONCRETE SLAB OR MASONRY OPENINGS OF WINDOWS AND DOORS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL DEVELOP A COMPLETE SCHEDULE FOR COMPLETION OF THE WORK. THIS SCHEDULE SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS.
- GENERAL CONTRACTOR SHALL HOLD EXTERIOR GRADES A MINIMUM OF 6" BELOW FINISH FLOOR AND PROVIDE A 5% SLOPE OF GRADE AWAY FROM BUILDING EXTERIOR.
- ALL CONCRETE SHALL BE PROPORTIONED TO DEVELOP 3000 PSI AT 28 DAYS AND HAVE A MAXIMUM SLUMP OF 4".
- ALL LUMBER IN CONTACT WITH THE GROUND, CONCRETE, MASONRY, OR THE EXTERIOR SHALL BE PRESSURE TREATED.
- PROVIDE WOOD BLOCKING SUPPORT FOR GRAB BARS, TOILET AND ACCESSORIES, AS REQUIRED BY EACH MANUFACTURER.
- ALL DOOR AND WINDOW OPENINGS TO BE COUNTER FLASHED W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
- CAULK WITH SEALANT AT ALL JOINTS AT DISSIMILAR MATERIALS. CAULK PANEL ENDS OF SIMILAR MATERIALS WHEN EXPOSED TO AIR INFILTRATION.
- METAL FLASHING SHALL BE PROVIDED AT ALL VERTICAL MATERIAL TRANSITIONS W/ METHODOLOGY TO BE REVIEWED AND APPROVED BY ARCHITECT.
- ALL FLOOR FINISH CHANGES TO OCCUR AT CENTERLINE OF DOORS (U.N.O.).
- INSTALL ALL PRODUCTS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- IF ASBESTOS, TRANSITE, LEAD, MERCURY, PCBS, SILICA AND EVEN MOLD, OR OTHER HAZARDOUS CONSTRUCTION MATERAIL IS DISCOVERED DURING CONSTRUCTION/DEMOLITION OF EXISTING WORK, CONTRACTOR TO NOTIFY ARCHITECT AND CLIENT IMMEDIATELY. CONTRACTOR TO CONSULT HAZARDOUS MATERIAL SPECIALIST FOR REMOVAL OR ENCAPSULATION UPON FINDING ABOVE CONSTRUCTION MATERIALS. COMPANIES INVOLVED IN ANY FACET OF A DEMOLITION, A RENOVATION, OR EVEN A CURRENT CONSTRUCTION PROJECT THAT FAIL TO GRASP THIS SALIENT FACT EXPOSE THEMSELVES TO LITIGATION FROM INJURED PARTIES AS A RESULT OF CONTACT (REAL OR PERCEIVED) WITH HAZARDOUS MATERIALS.

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ABV	ABOVE
ARCH	ARCHITECTURAL / ARCHITECT
BYND	BEYOND
BTM	BOTTOM
B.O.	BOTTOM OF
BL	BUILD LINE
CLG	CEILING
CTR	CENTER
CL	CENTER LINE
CLO/ CLOS	CLOSET
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
COORD	COORDINATE
DEG	DEGREE
DIFF	DIFFERENCE/ DIFFERENT
DIM	DIMENSION(S)
DWG	DRAWING
DBL	DOUBLE
DN	DOWN
EA	EACH
EL	ELEVATION
ELEV	ELEVATOR
ELLIP	ELLIPTICAL
EXT	EXTERIOR
FIN	FINISH
FLR	FLOOR
GEN	GENERAL
GC	GENERAL CONTRACTOR
HGT	HEIGHT
INT	INTERIOR
LVL	LEVEL
MANUF	MANUFACTURER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
OC	ON CENTER
OW	OPEN WEB
PL	PLATE
PIP	POURED IN PLACE
PDR	POWDER ROOM
PT	PRESSURE TREATED
R	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REP	REPRESENTATIVE
REQ'D/ REQ	REQUIRED/ REQUIREMENTS
SECT	SECTION
SPECS	SPECIFICATIONS
ST/ STOR	STORAGE
STRUCT	STRUCTURAL/ STRUCTURE
THK	THICK
TBD	TO BE DETERMINED
TO	TOP OF
TYP	TYPICAL
T&G	TOUNGE & GROOVE
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC

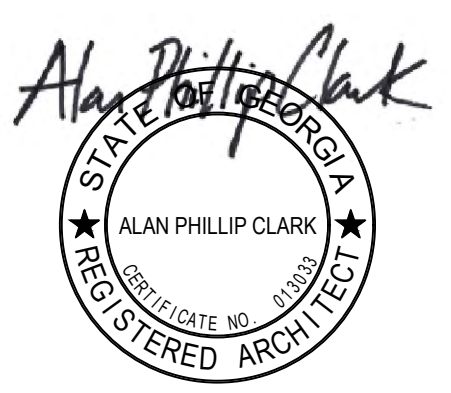
*** IF ANY DISSIMILAR METALS ARE SHOWN AS BEING IN CONTACT WITH EACH OTHER, CONTRACTOR TO PROVIDE "MATERIAL" TO ELIMINATE GALVANIC ACTION.

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A RENOVATION/ADDITIONS FOR
ANDREW PETTIT and FAMILY
7 OAKLAND STREET
CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
DRAWN BY	APC/WAC
JOB NUMBER	0263
SHEET NAME	NOTES & SYMBOLS

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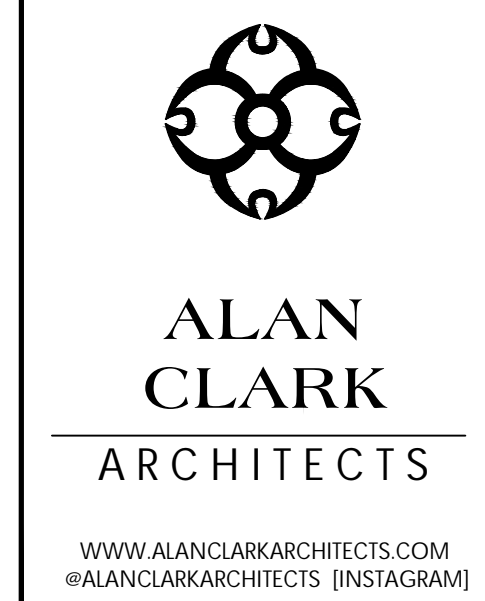
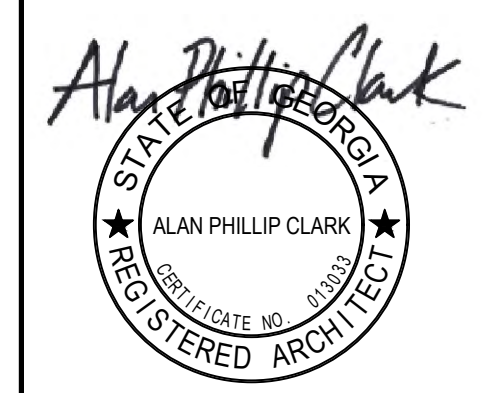
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MICHAEL E. BARTENFELD
REGISTERED PROFESSIONAL LAND SURVEYOR
678-435-1998
LICENSED IN GEORGIA, ALABAMA, TENNESSEE AND FLORIDA

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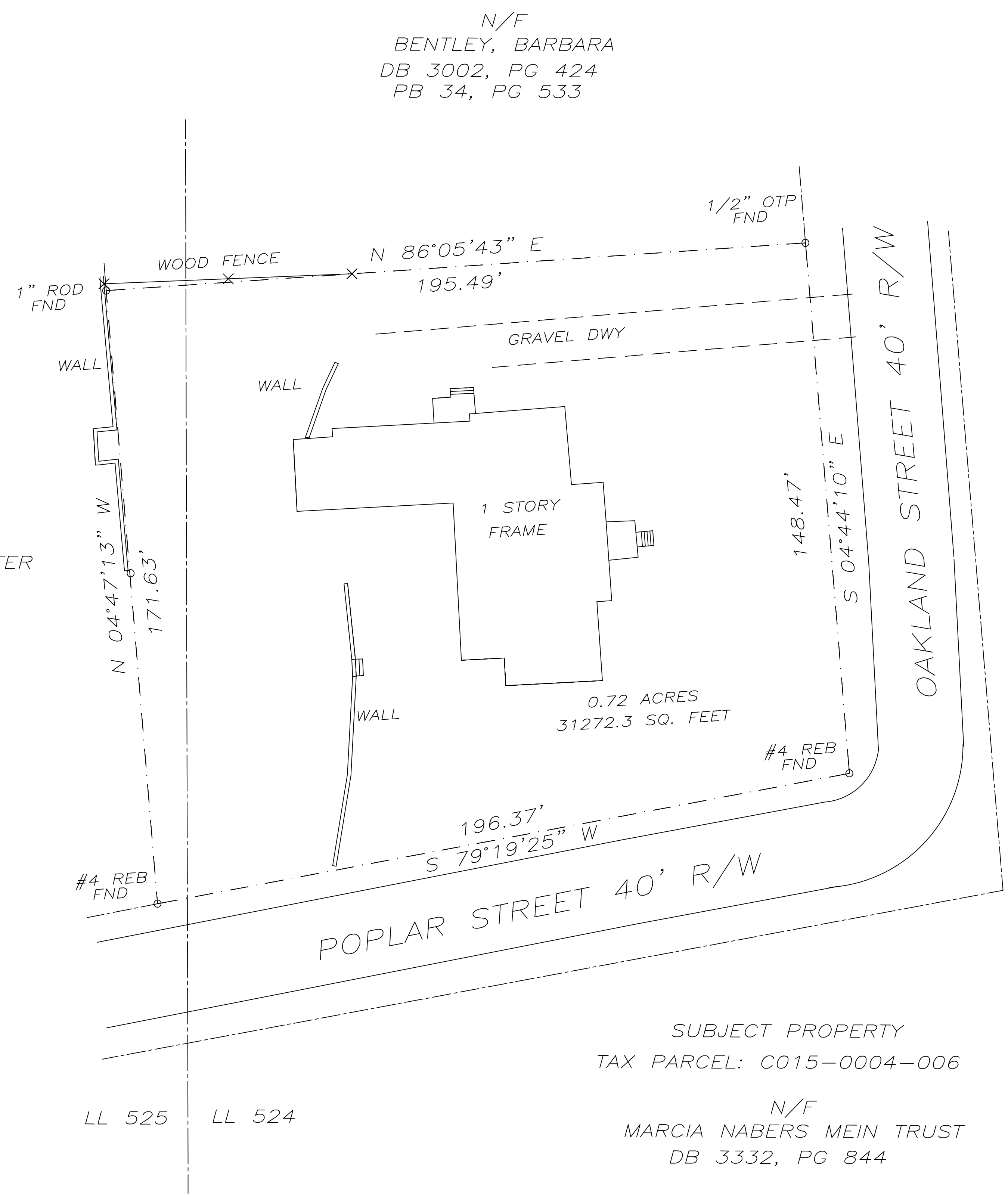
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CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
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JOB NUMBER	0283
SHEET NAME	SURVEY (BY OTHERS)

C-1
SHEET NUMBER

N/F
BENTLEY, BARBARA
DB 3002, PG 424
PB 34, PG 533

N/F
ROBERTSON, JENNIFER
DB 2241, PG 212



SUBJECT PROPERTY
TAX PARCEL: C015-0004-006

N/F
MARCIA NABERS MEIN TRUST
DB 3332, PG 844

LL 525 LL 524

DRAWING BASED ON ORIGINAL SURVEY PROVIDED BY

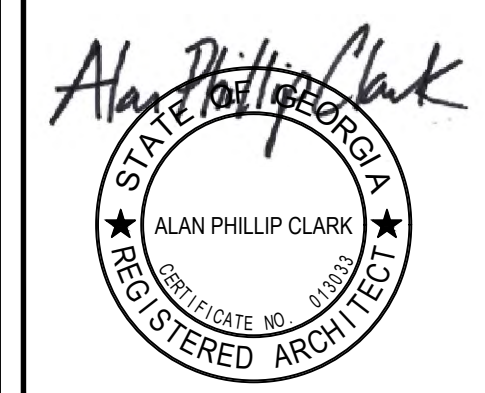
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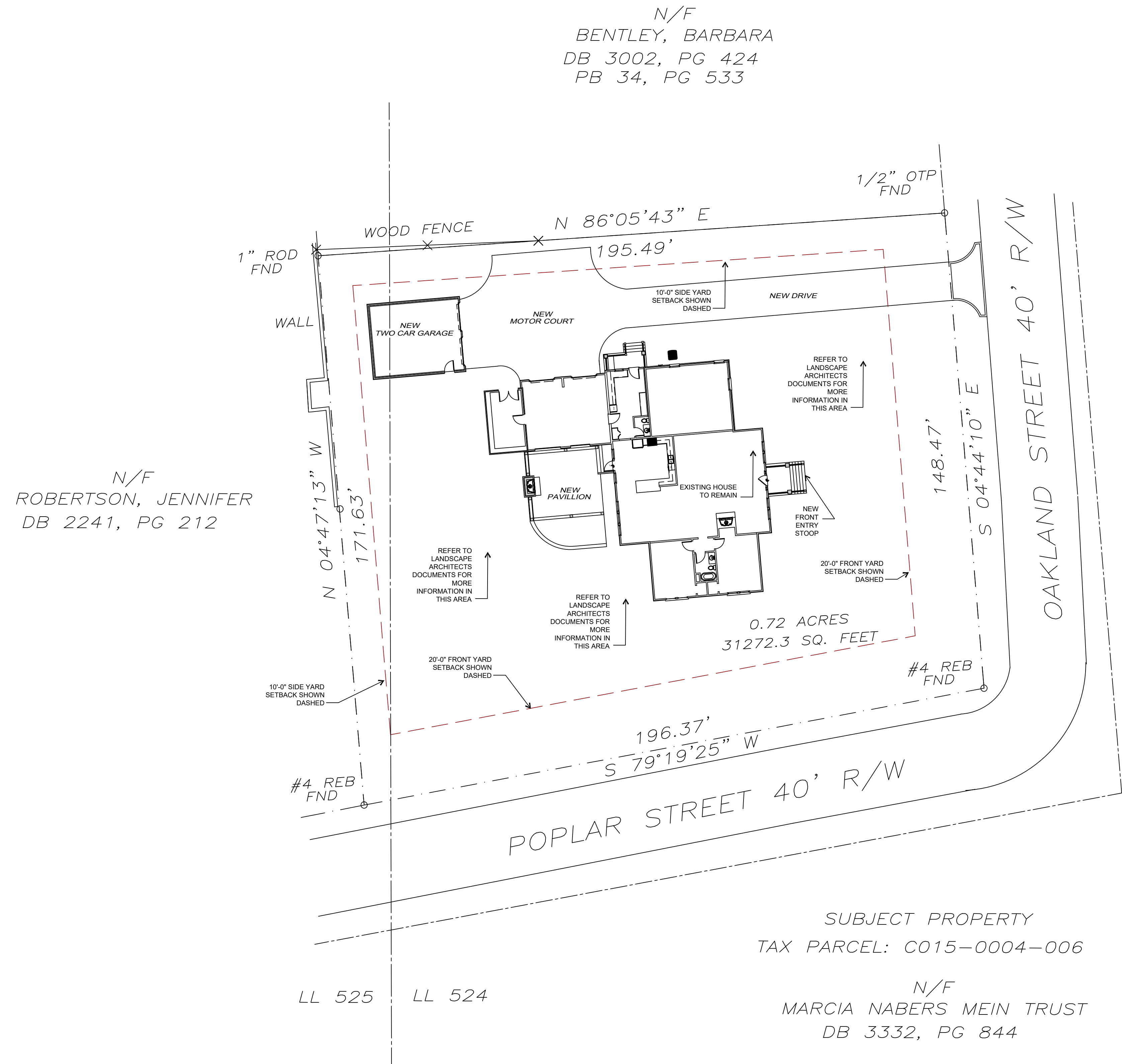
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SHEET NAME: SITE PLAN

C-2
SHEET NUMBER



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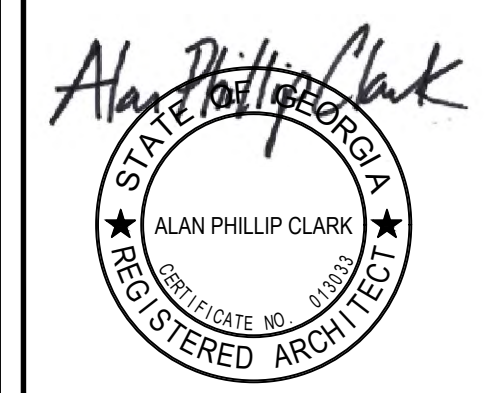
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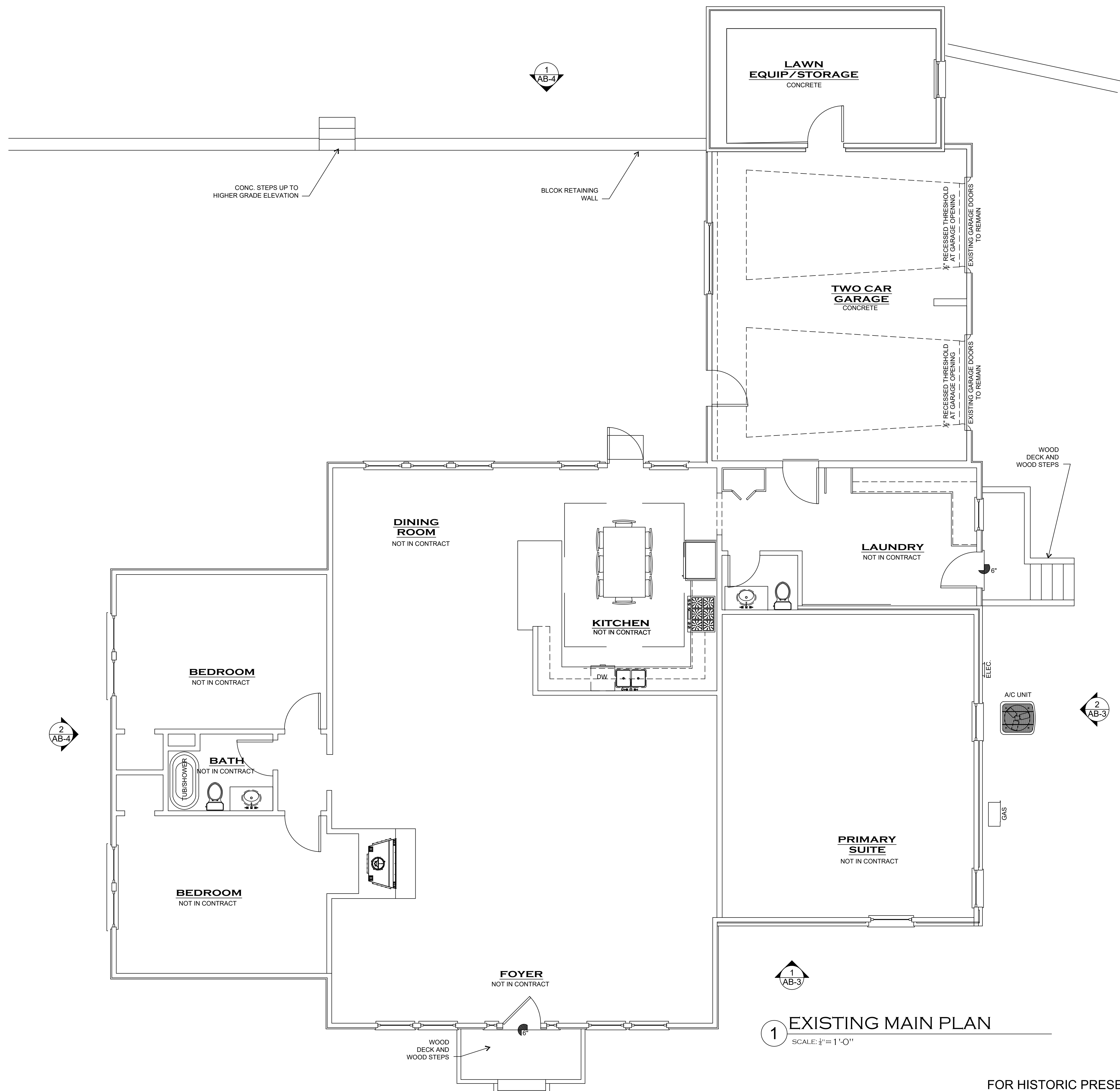
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AB-1
SHEET NUMBER



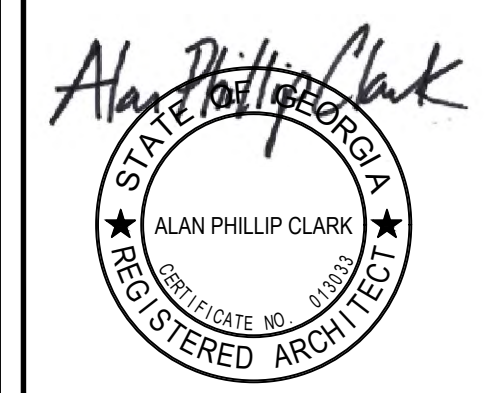
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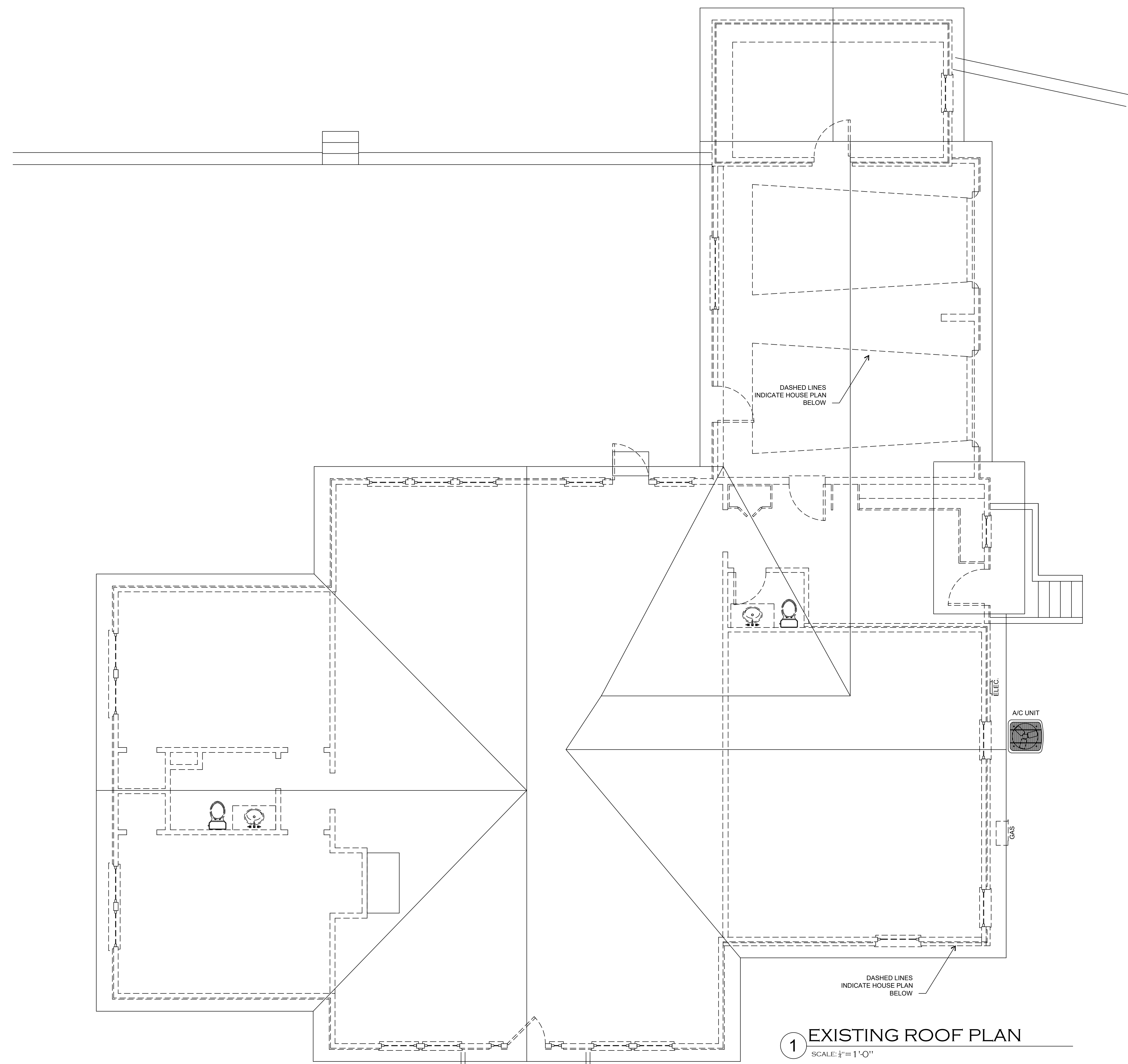
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DATE	05/24/2024
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SHEET NAME	EXISTING ROOF PLAN

AB-2
SHEET NUMBER



1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

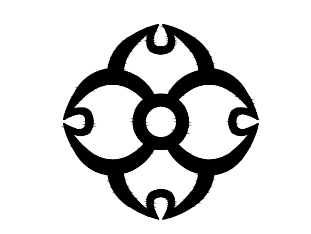
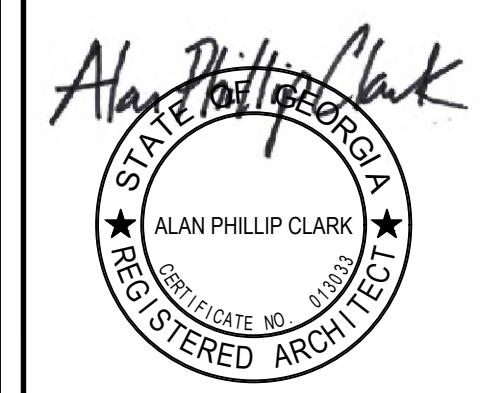
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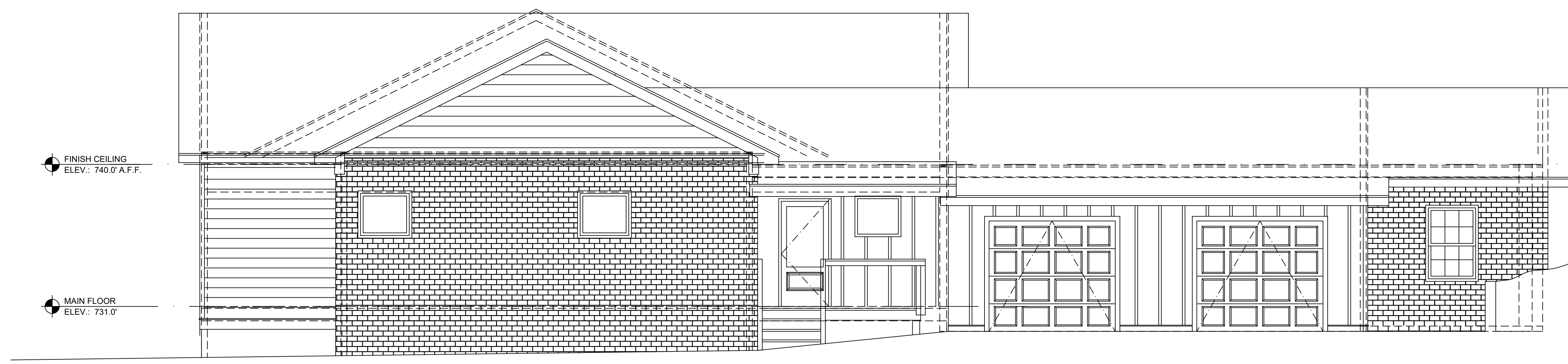
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AB-3
SHEET NUMBER



2 EXISTING EXTERIOR ELEVATION - DRIVE SIDE
SCALE: 1/4" = 1'-0"



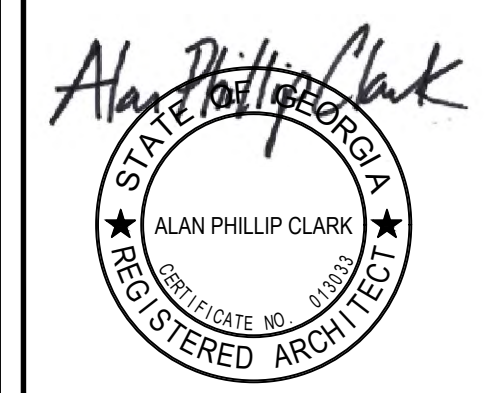
1 EXISTING EXTERIOR ELEVATION - FRONT
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SHEET NAME	EXISTING EXTERIOR ELEVATIONS

AB-4
SHEET NUMBER

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2 EXISTING EXTERIOR ELEVATION - POPLAR ST SIDE
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - REAR
SCALE: 1/4" = 1'-0"



7 OAKLAND STREET
REAR INTERIOR COURTYARD VIEW



7 OAKLAND STREET
EXISTING GARAGE VIEW



7 OAKLAND STREET
EXISTING FRONT VIEW



7 OAKLAND STREET
SIDE ENTRY VIEW



7 OAKLAND STREET
EXISTING SIDE VIEW - POPLAR STREET



7 OAKLAND STREET
EXISTING SIDE VIEW - POPLAR STREET



7 OAKLAND STREET
BACK DOOR



7 OAKLAND STREET
OBLIQUE VIEW

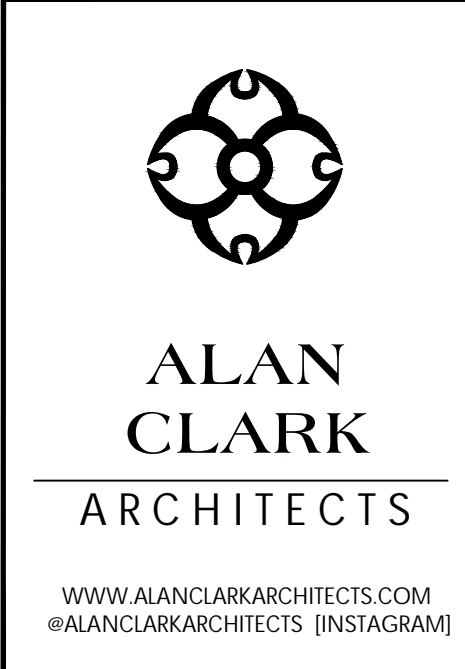
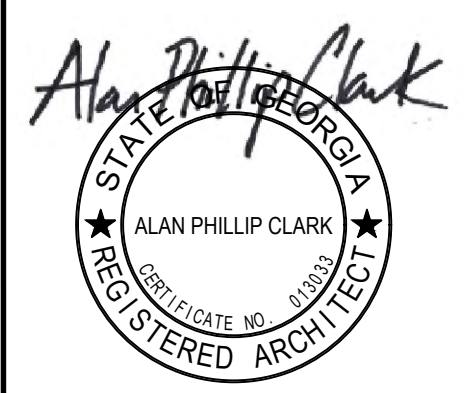
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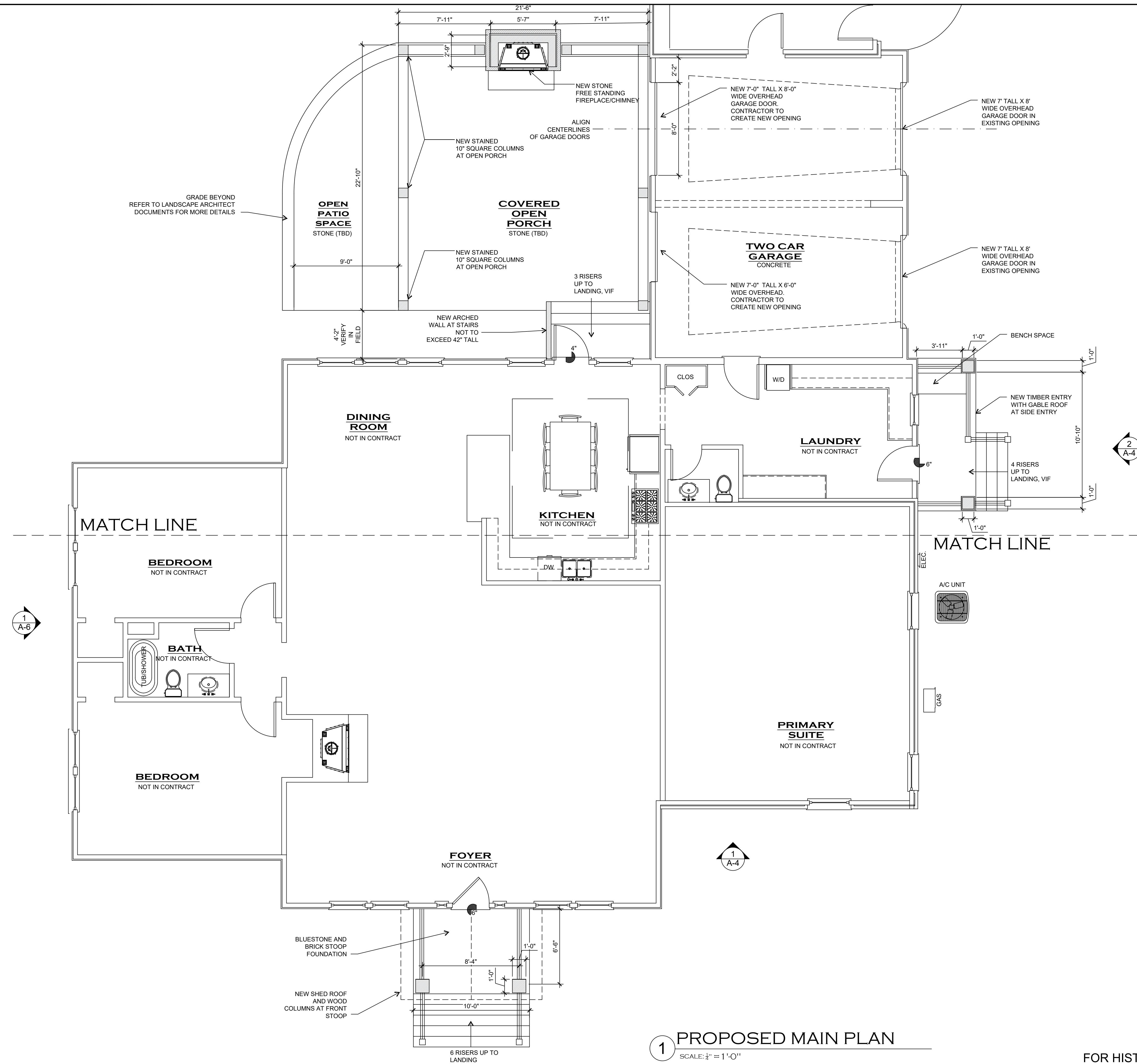


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A RENOVATION/ADDITIONS FOR
ANDREW PETTIT and FAMILY
7 OAKLAND STREET
CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
DRAWN BY	APC/WAC
JOB NUMBER	0263
SHEET NAME	EXISTING COND. PHOTOS

AB-5
SHEET NUMBER



GENERAL NOTES	
1. EXISTING WOOD STUD WALL	
2. NEW 2 x 4 & 2 x 6 WOOD STUD WALL	
3. NEW BRICK VENEER	
4. NEW STONE VENEER	
5. ALL DIMENSIONS ARE PLUS OR MINUS	
6. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS	
7. FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.	

SYMBOLS LEGEND	
SMOKE DETECTOR	
CARBON MONOXIDE DETECTOR	
EXHAUST FAN	
GROUND FAULT INTERRUPTER	

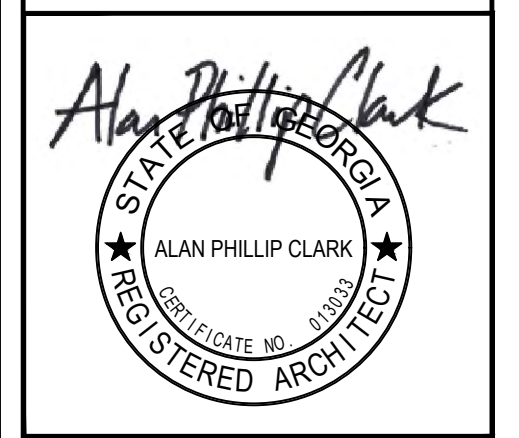
SQUARE FOOTAGE	
EXISTING AREAS	
FIRST FLOOR (HEATED AREA):	2,901 S.F.
FIRST FLOOR (UNHEATED GARAGE & STORAGE):	720 S.F.
TOTAL AREA (FIRST FLOOR - HEATED + UNHEATED):	3,621 S.F.
PROPOSED (NEW AREAS)	
NEW TWO CAR GARAGE (UNHEATED)	632 S.F.
NEW OPEN AIR PAVILLION (UNHEATED)	541 S.F.

REVISIONS	DATE

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CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
DRAWN BY	APC/WAC
JOB NUMBER	0263
SHEET NAME	FIRST FLOOR PLAN

A-1

SHEET NUMBER

1 PROPOSED MAIN PLAN
SCALE: 1/4" = 1'-0"

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GENERAL NOTES

- EXISTING WOOD STUD WALL
- NEW 2 x 4 & 2 x 6 WOOD STUD WALL
- NEW BRICK VENEER
- NEW STONE VENEER
- ALL DIMENSIONS ARE PLUS OR MINUS
- CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS
- FIRE AND CARBON MONOXIDE DETECTORS PLACED ACCORDING TO IRC R313 AND GEORGIA AMENDMENTS.

SYMBOLS LEGEND

- SMOKE DETECTOR (SD)
- CARBON MONOXIDE DETECTOR (CM)
- EXHAUST FAN (F)
- GROUND FAULT INTERRUPTER (GFI)

SQUARE FOOTAGE

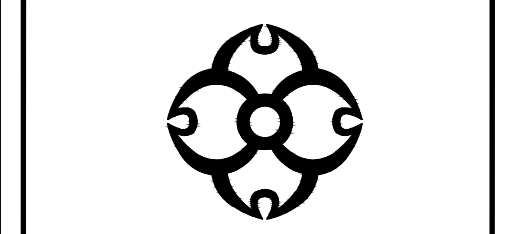
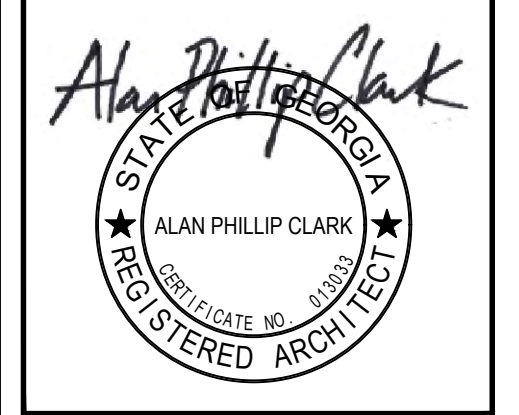
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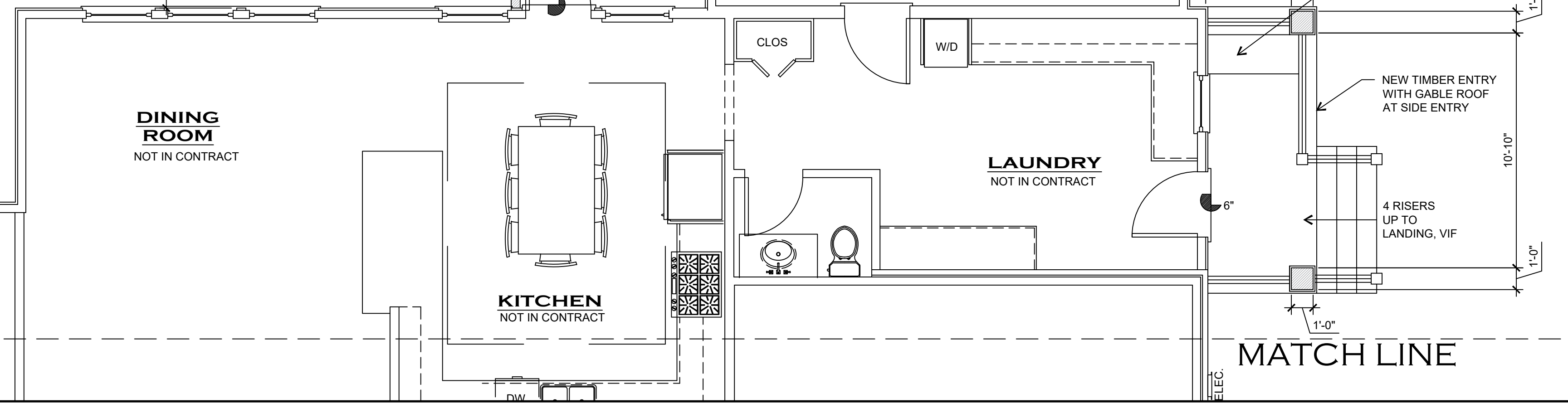
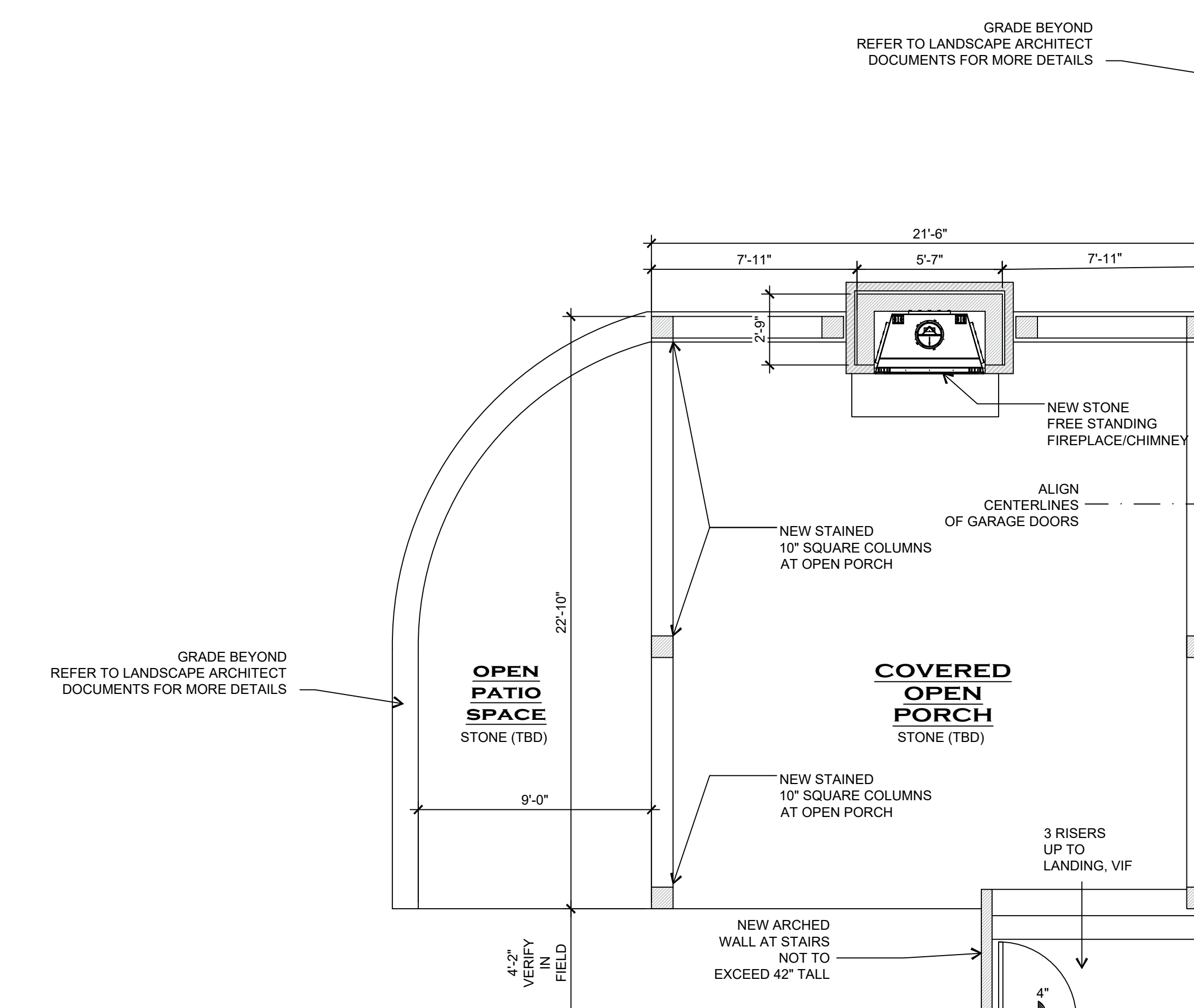
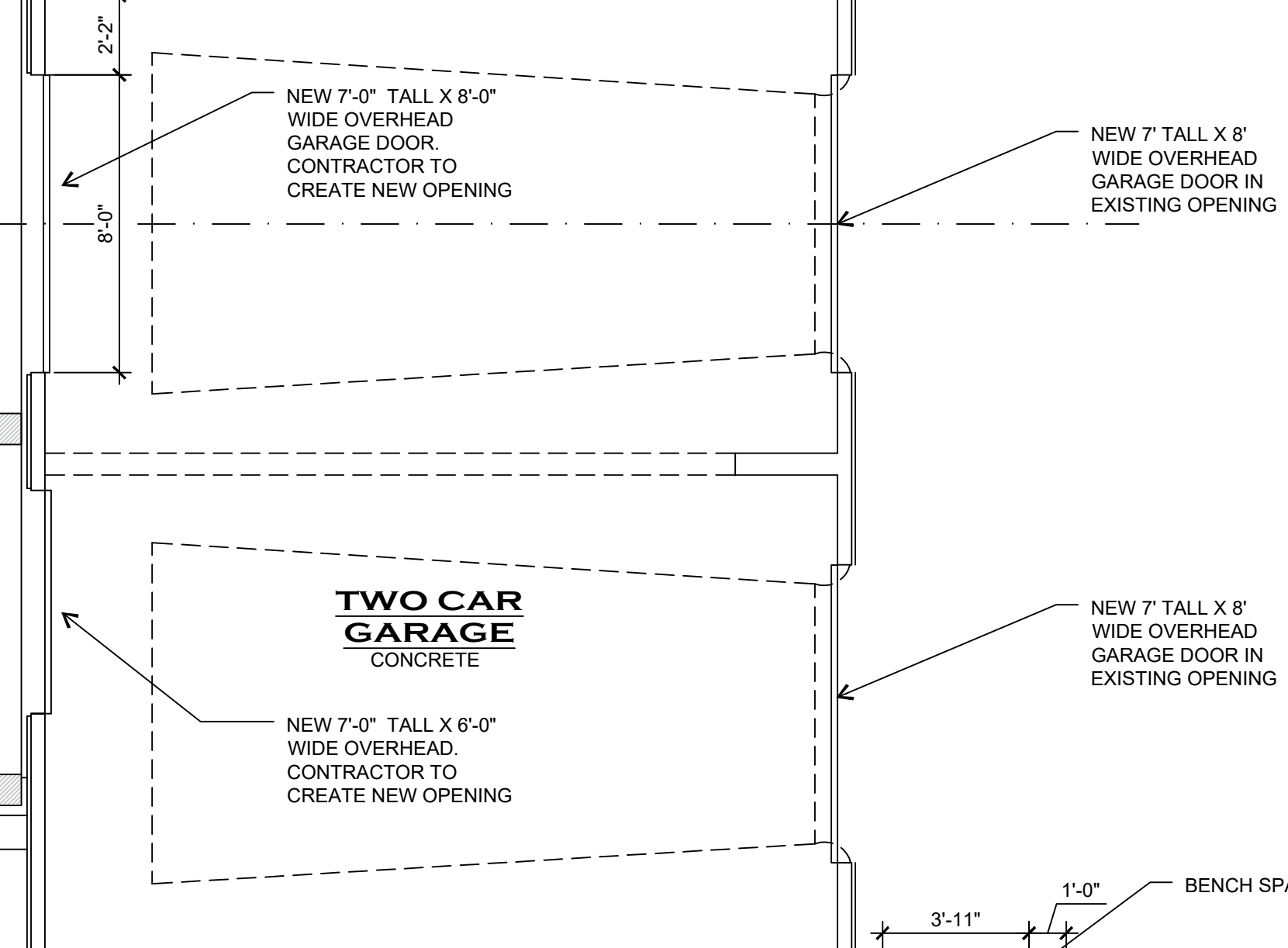
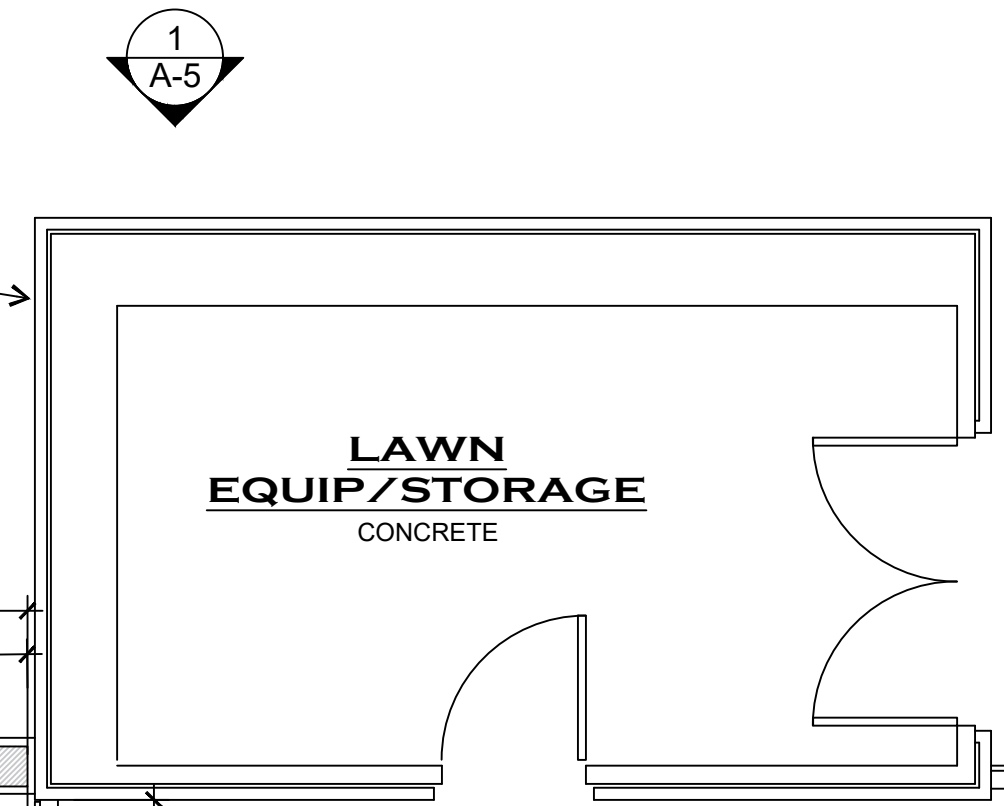
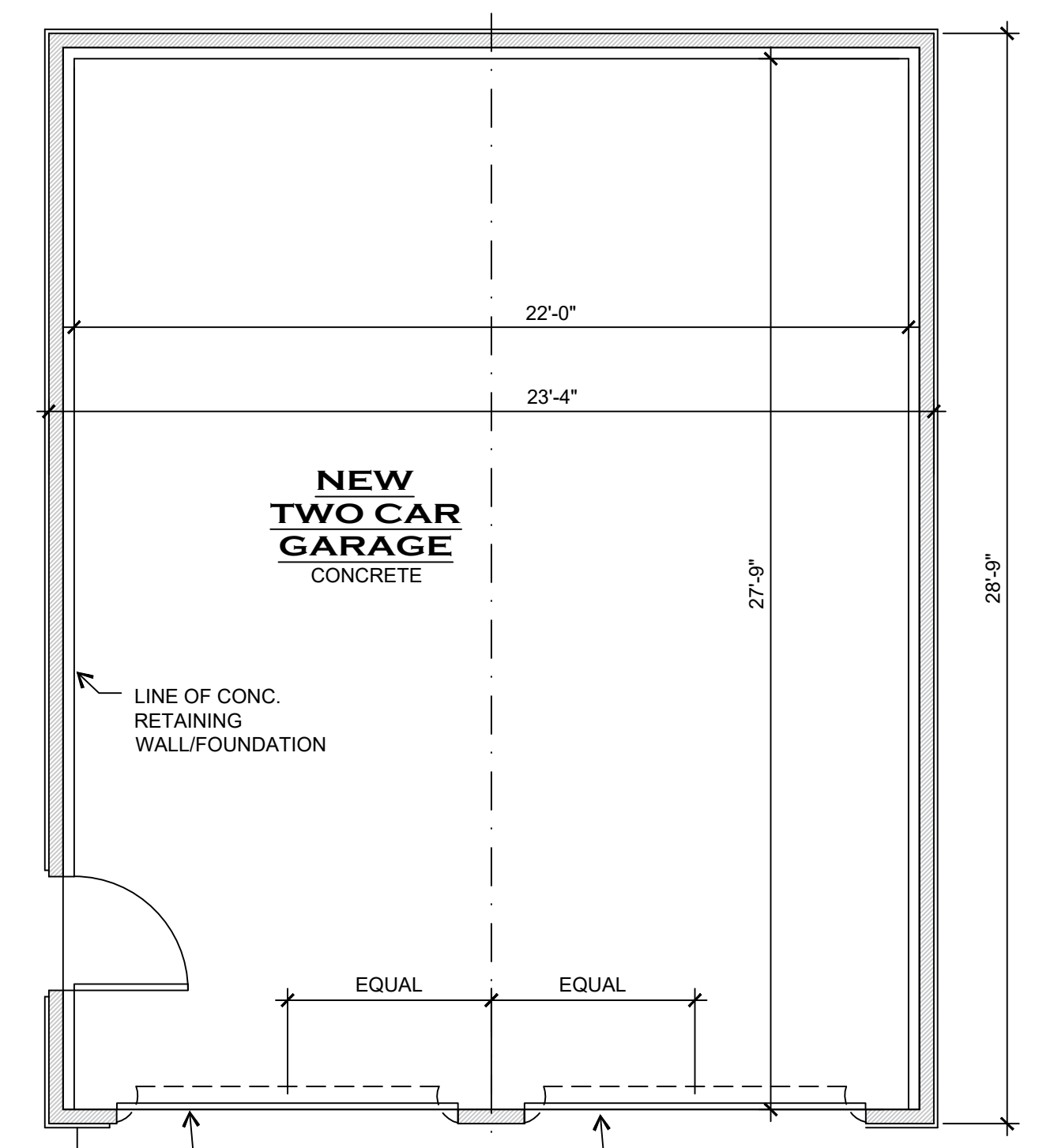
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7 OAKLAND STREET
CARTERSVILLE, GEORGIA 30120

DATE: 05/24/2024
DRAWN BY: APC/WAC
JOB NUMBER: 0263
SHEET NAME: PROPOSED MAIN FLOOR (CONT.)

A-2
SHEET NUMBER

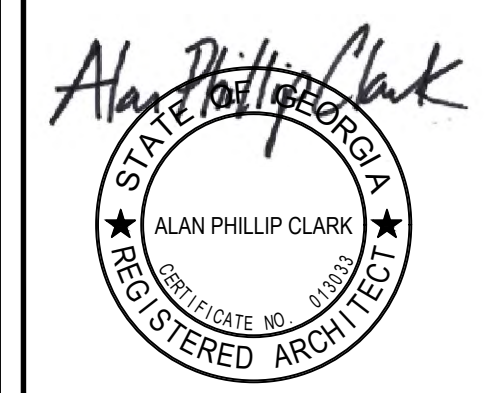


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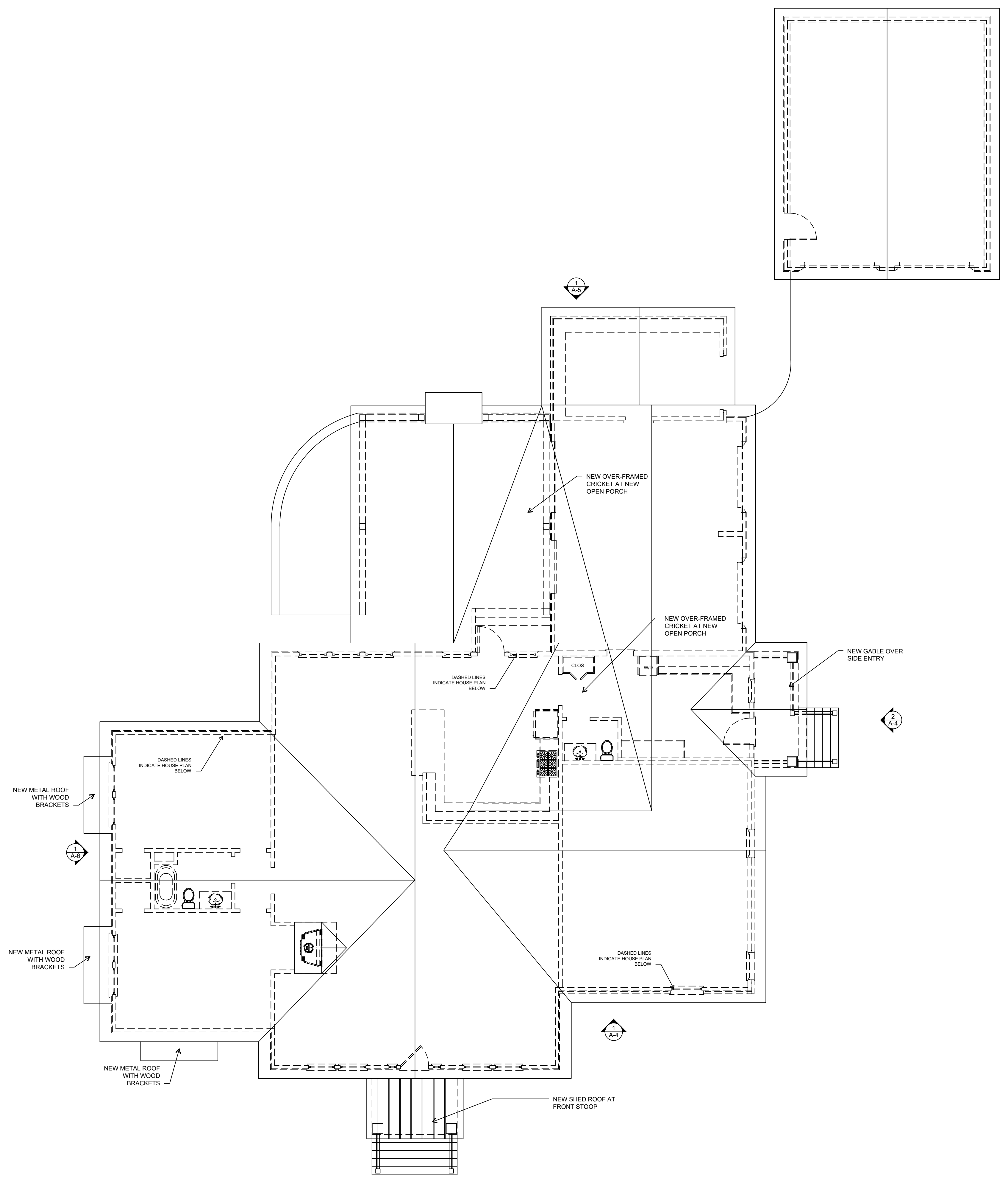
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7 OAKLAND STREET
CARTERSVILLE, GEORGIA 30120

DATE	05/24/2024
DRAWN BY	APC/WAC
JOB NUMBER	0263
SHEET NAME	PROPOSED ROOF PLAN

A-3
SHEET NUMBER



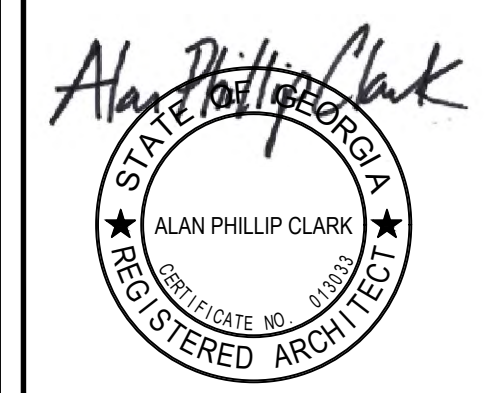
1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

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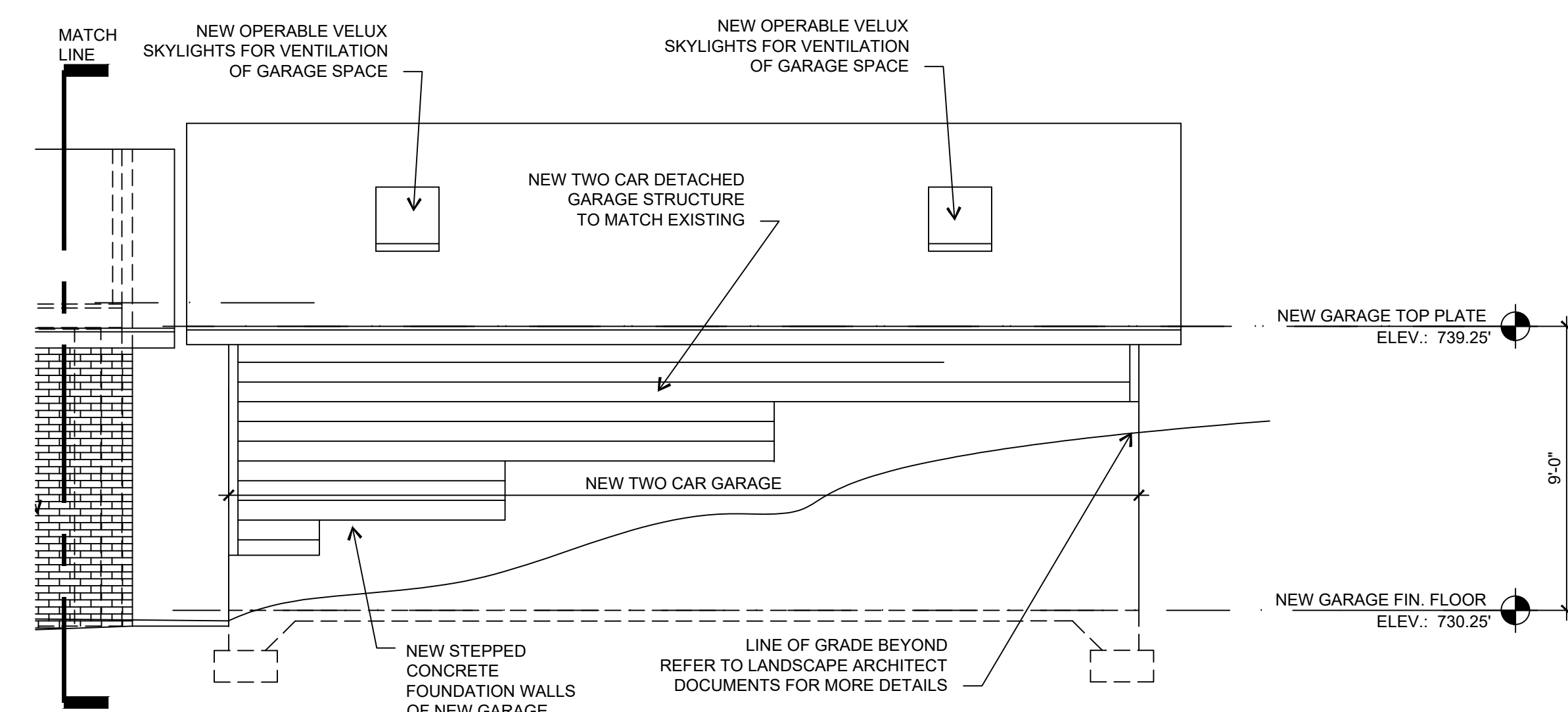
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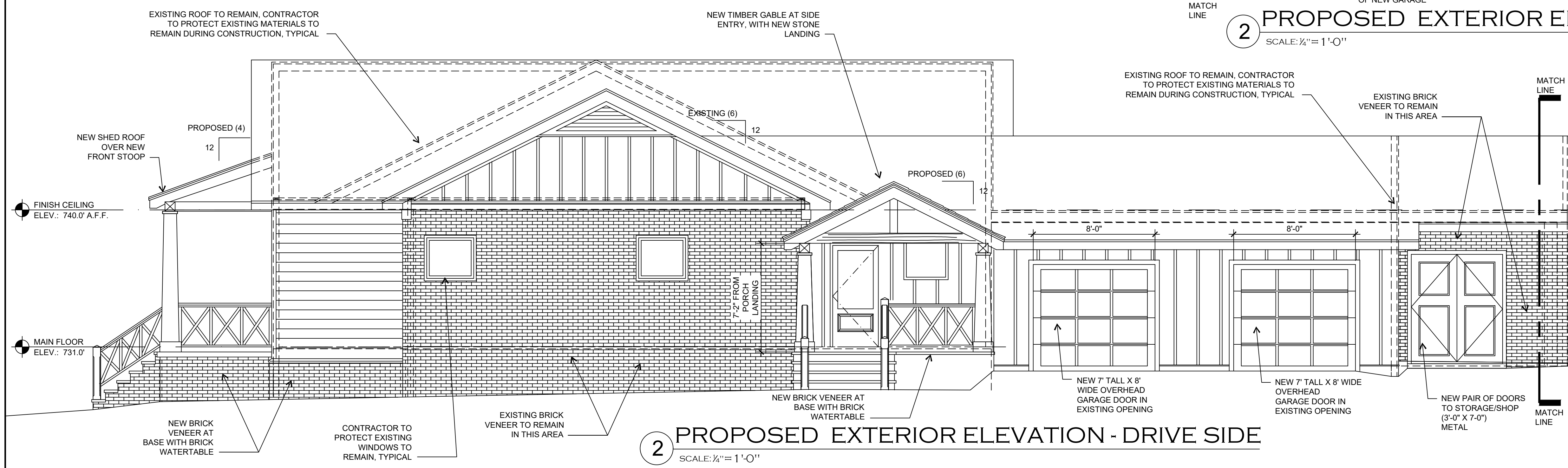
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7 OAKLAND STREET
CARTERSVILLE, GEORGIA 30120

DATE: 05/24/2024
DRAWN BY: APC/WAC
JOB NUMBER: 0263
SHEET NAME: PROPOSED EXTERIOR ELEVATIONS

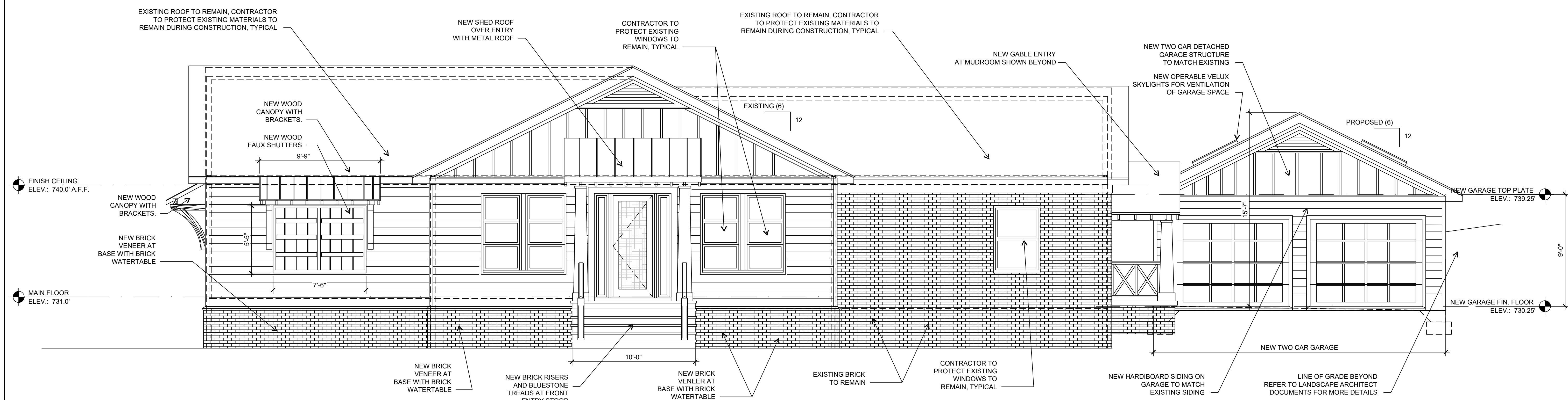
A-4
SHEET NUMBER



2 PROPOSED EXTERIOR ELEVATION - DRIVE SIDE
SCALE: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - DRIVE SIDE
SCALE: 1/4" = 1'-0"



1 PROPOSED EXTERIOR ELEVATION - FRONT
SCALE: 1/8" = 1'-0"

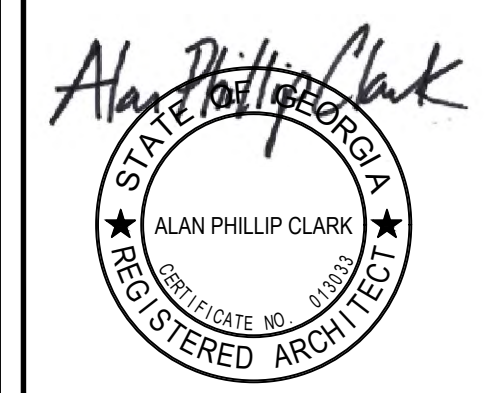
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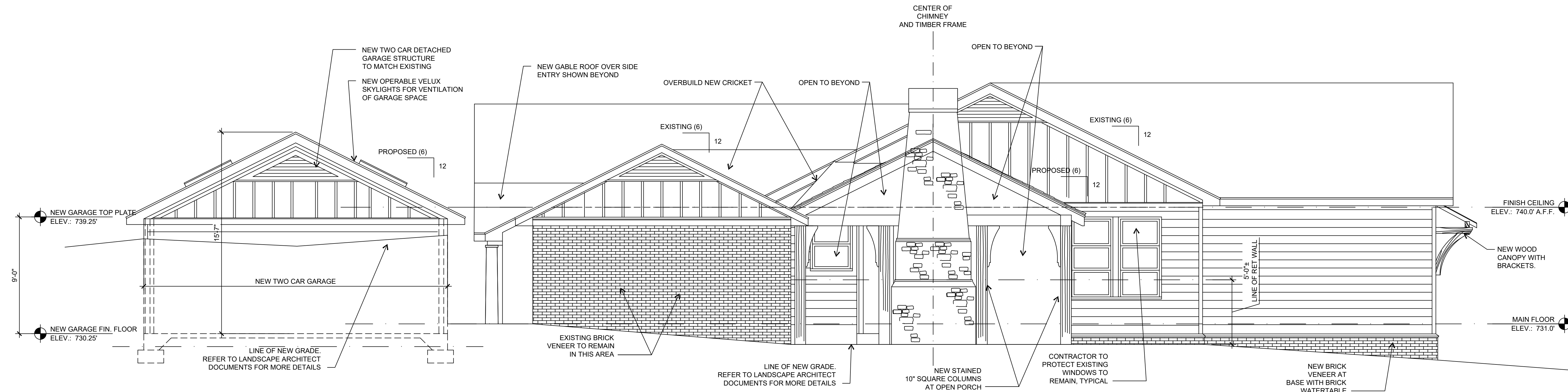
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CARTERSVILLE, GEORGIA 30120

DATE 05/24/2024
DRAWN BY APC/WAC
JOB NUMBER 0263
SHEET NAME PROPOSED EXTERIOR ELEVATIONS

A-5
SHEET NUMBER



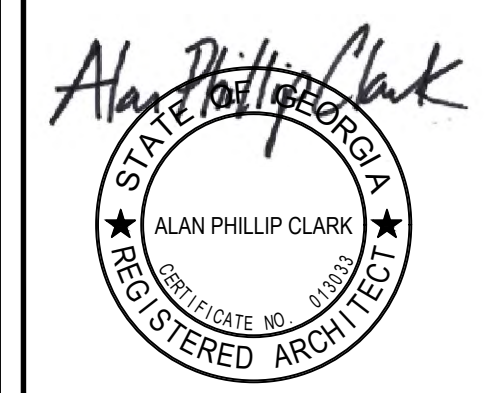
1 PROPOSED EXTERIOR ELEVATION - REAR
SCALE: 1/8" = 1'-0"

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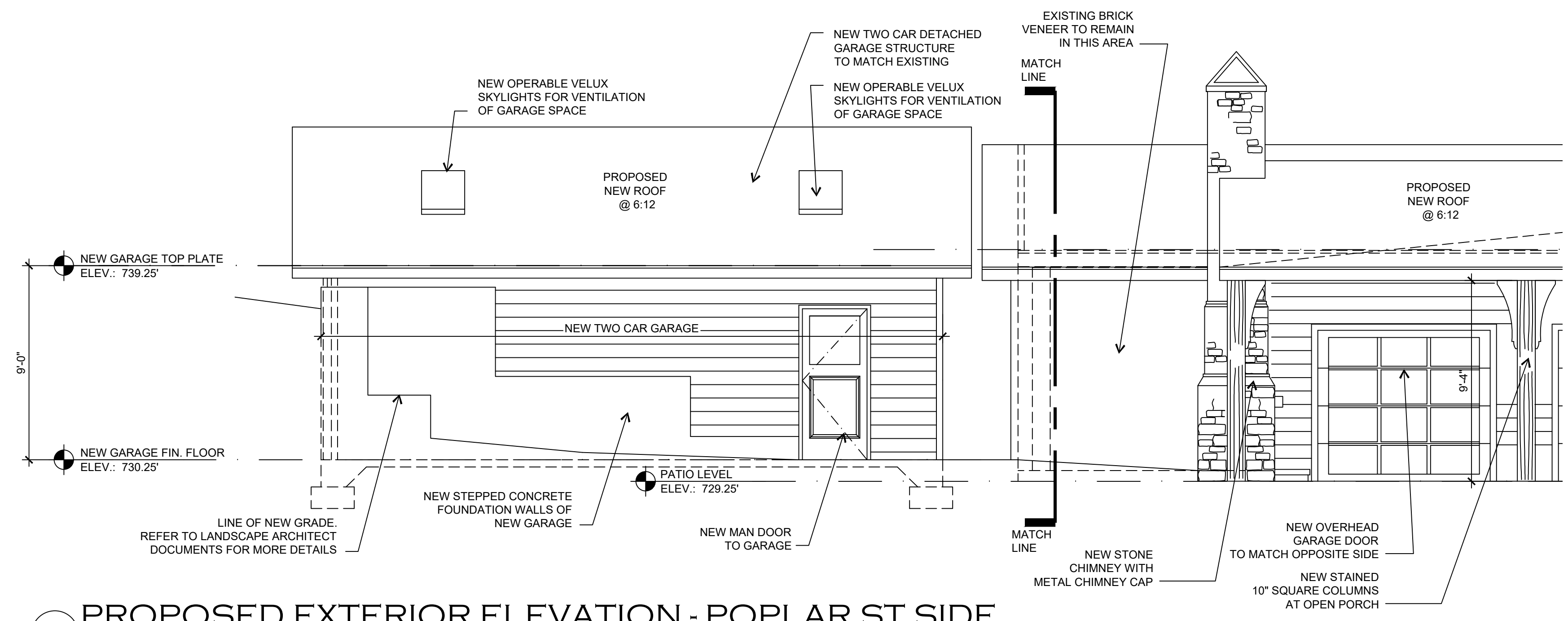
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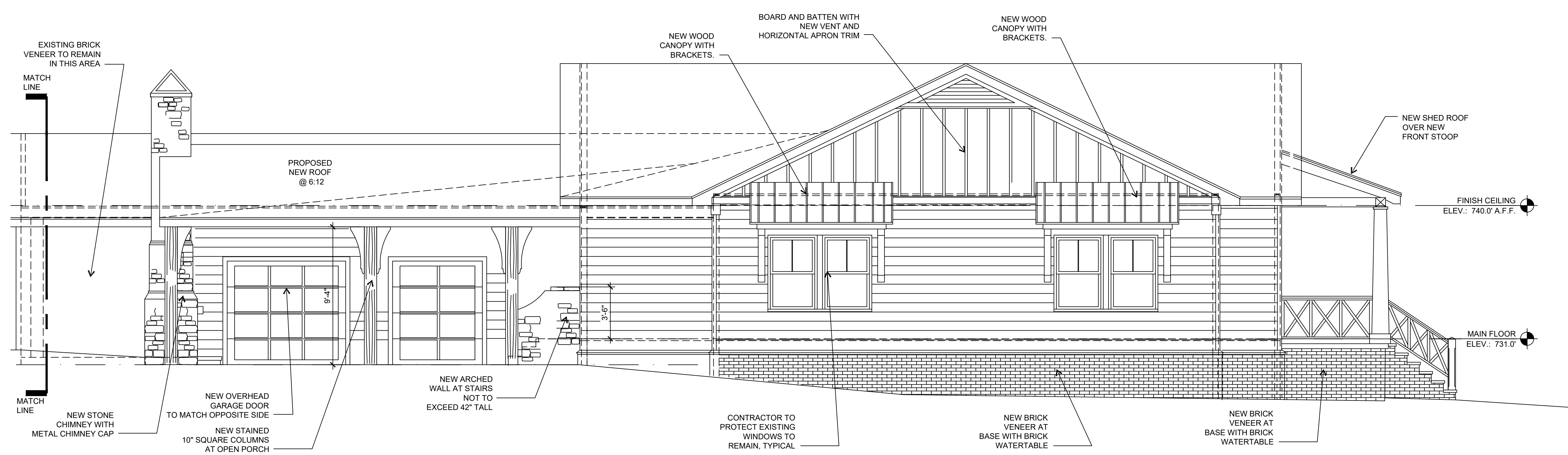
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SHEET NAME PROPOSED EXTERIOR ELEVATIONS

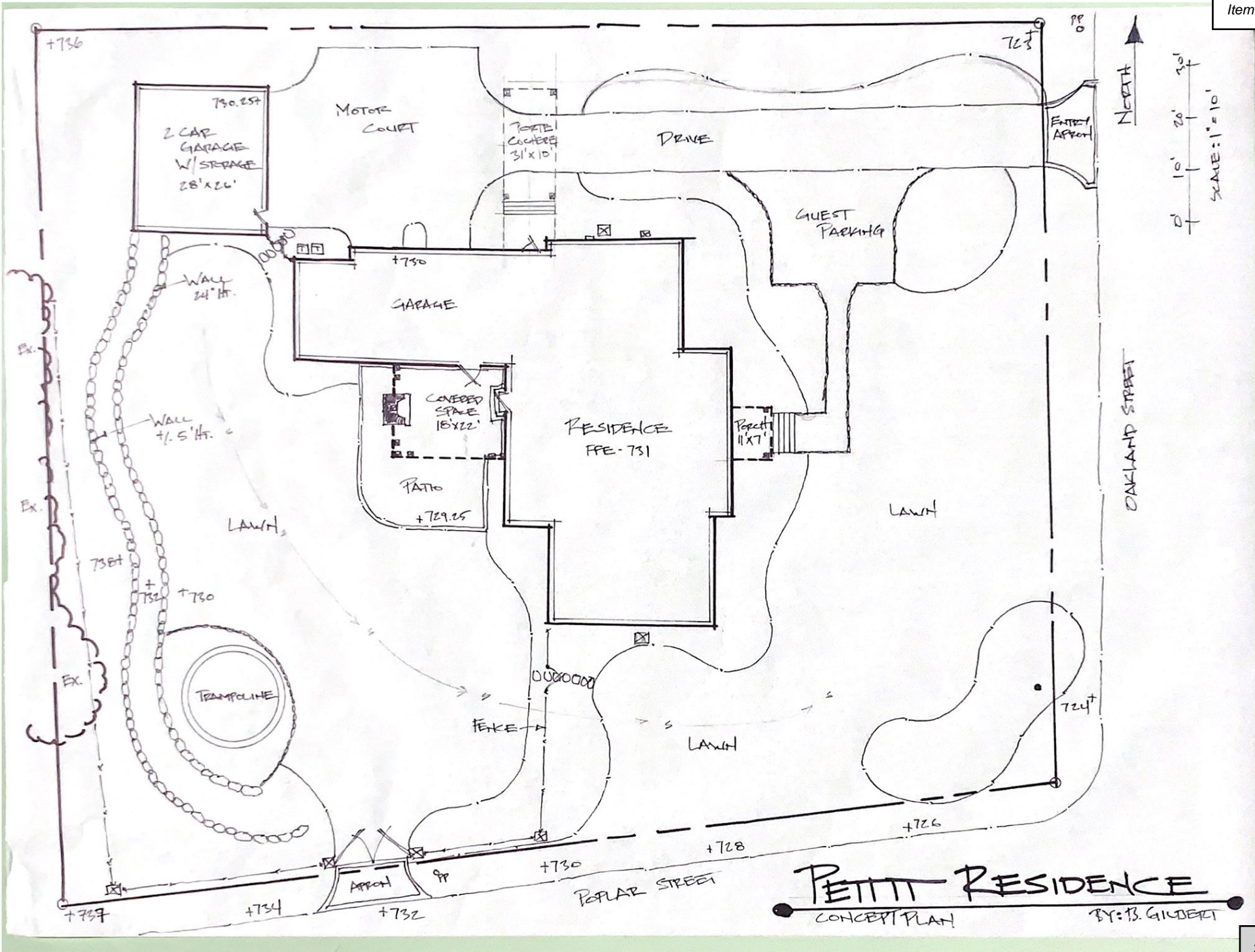
A-6
SHEET NUMBER



1 PROPOSED EXTERIOR ELEVATION - POPLAR ST SIDE
SCALE: 1/4" = 1'-0"



1 PROPOSED EXTERIOR ELEVATION - POPLAR ST SIDE
SCALE: 1/4" = 1'-0"



PETTIT RESIDENCE
 CONCEPT PLAN BY: B. GILBERT



7 Oakland St

Jun'22

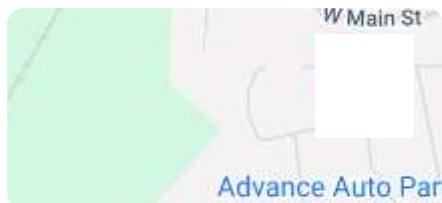
Cartersville, Georgia

Google Street View

Jun 2022 [See more dates](#)



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8 Oakland St

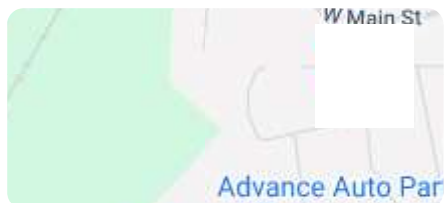
Jun'22

Cartersville, Georgia
Google Street View
Jun 2022 See more dates



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4 Poplar St

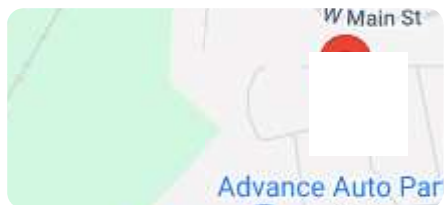
Jun'22

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Google Street View
Jun 2022 See more dates



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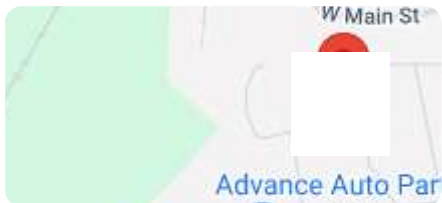
4 Poplar St

Jun'22

Cartersville, Georgia
Google Street View
Jun 2022 See more dates



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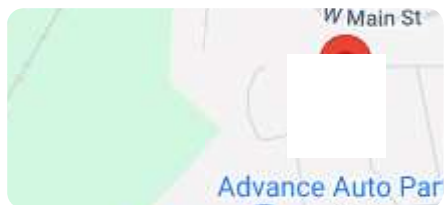
4 Poplar St

Jun'22

Cartersville, Georgia
Google Street View
Jun 2022 See more dates



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HISTORIC PRESERVATION COMMISSION ITEM SUMMARY

MEETING DATE:	June 18, 2024
SUBCATEGORY:	HPC
DEPARTMENT NAME:	Planning and Development
AGENDA ITEM TITLE:	COP24-18. 10 Hillside Dr. Applicant: Kevin and Michele Gunter
DEPARTMENT SUMMARY RECOMMENDATION:	COP request to add a front porch. Demolish brick steps. Original request for same , COP24-13, was denied on 5/21/24 due to no plans being submitted with application.
LEGAL:	



City of Cartersville Historic Preservation Commission COP Application Staff Report
Case: COP24-18

HPC Meeting – 6-18-24

Application Information

Address: 10 Hillside Dr
 Applicant: Kevin and Michele Gunter
 Zoning District: R-20
 Setbacks: Front: 20ft. Rear: 20ft: Side: 10ft.

Brief Description: Applicant proposes to add a front porch. Demolish brick steps.

Applicable Guidelines to Consider

Historic District Ordinance Section	
	9.25-51. General
	9.25-52. Downtown Business District
	9.25-53. Olde Towne
	9.25-54. West End
X	9.25-55. Cherokee- Cassville
	9.25-56. Granger Hill

Infill Overlay Districts. Chapter 26, Zoning. Article 27 (Sec. 27.1- 27.6)	
	West End Infill Overlay District
	Cherokee-Cassville Infill Overlay District

Residential Design Guidelines		
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>		
	A. Wood	K. Utilities and Energy Retrofit
	B. Masonry	L. Accessibility, Health, and Safety Considerations
	C. Architectural Metals	M. Additions to Historic Buildings
	D. Paint	N. Aesthetic Recommendations
X	E. Roofs	
	F. Exterior Walls	PART TWO: New Construction
	G. Driveways, Walkways, and Off-Street Parking	
	H. Lighting	PART THREE: Relocation
	I. Windows and Doors	
X	J. Entrances, Porches and Balconies	PART FOUR: Demolition
Commercial Design Guidelines (Historic Downtown Business District)		
	PART ONE: General Guidelines for Structures Contributing to the District.	
	PART TWO: Guidelines for New Construction.	

The following scopes of work are proposed:**Front Porch Addition**

1. Demolish existing brick steps from walkway to front door.
2. Construct a front porch approx. 11ft x 36ft.
3. Add asphalt shingle roof to match house, 3/12 pitch
4. Add wood or composite columns to match existing column details at front door.
5. Add wood steps.
6. Add wood hand rail and porch railing.
7. Add wood decking.
8. Add brick pillars to support porch under columns
9. Add lap siding to end of porch to match siding on house.

History of the Property- The house was constructed c.1954 according to the Bartow County Tax assessor's records. There is no GHRs survey.

COPs on file:

COP24-13. Demolish front steps. Add new porch to front of house. Denied 5/21/24.

COP19-05. 1) Add stamped paver at base of driveway; 2) Replace existing asphalt driveway with river rock gravel driveway, and 3) Replace iron deck railing with wood railing to match porch on rear of home. Approved 3-19-19.

Analysis of the COP:

The house is Historic, Contributing. Housing Type: Undetermined, but cottage-like. Style: Undetermined

Plans are provided. Porch dimensions are approximately 11ft. x 36ft. x 30" (staff measurements). Porch height ranges from 27in. to 45in. per the plan.

The applicant proposes to demolish the existing brick steps and landing at the front door. The contractor states the brick steps cannot be saved. Pictures are provided that show the steps have settled and the mortar is cracked. The steps appear to be original to the house as the brick appears to match the house brick. Tile has been added to the surface of the landing at the front door.

The front porch is to be constructed from wood and/or wood composite materials for the support columns, railings, and decking. The porch will be supported with brick pillars under the support columns at ground level. Approx. dimensions appear to be 20in. x 20in. Pictures representing the applicants' material preferences have been provided for the porch and roof. The roof is proposed as a 3:1 or 3/12 pitched roof with asphalt shingles to match the house. This is the minimum slope allowed for asphalt shingles.

The revised plans and materials seem to be a better fit for the house than the idea presented in the COP24-13 application. Matching the brick and wood porch details to the material details of the house is likely key to constructing an appropriate front porch.

The proposed lap siding should match the house lap siding in material and reveal.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof	Asphalt shingle (house)	Asphalt shingle (porch)
Siding	Wood lap	Wood lap
Windows		
Doors		
Exterior Lighting		
Foundation	Brick Crawlspace	Brick columns ground level
Decking		Wood
Steps	Brick w/ metal railing	Wood
Porches		Wood/composite columns/handrails
Ornamentation		

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.

10 Hillside Dr. Porch Dims.

Item 3.



01/22/2015 - 03/07/2015



Overview



Legend

- Parcels
- Roads

Parcel ID	C014-0002-004	Alternate ID	33613	Owner Address	ADCOCK KIMBERLY
Sec/Twp/Rng	n/a	Class	Residential		10 HILLSIDE DR
Property Address	10 HILLSIDE DR	Acres	0.66		CARTERSVILLE, GA 30120
District	Cartersville				
Brief Tax Description	LL 452 LD 4				

(Note: Not to be used on legal documents)

Date created: 5/15/2024
 Last Data Uploaded: 5/14/2024 9:24:48 PM

Developed by **Schneider**
 GEOSPATIAL

CERTIFICATE OF PRESERVATION APPLICATION



*Applicant: KEVIN AND MICHELLE GUNTER

Project Address: 10 HILLSIDE DR. 30120

Mailing Address (if different than project address):

Phone: 770-367-4608

Email: KEVIN_GUNTER@BELLSOUTH.NET

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. Building permits will not be issued without proof of a COP.

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

P
R
O
J
E
C
T

Existing Building Type:

- Residential One, Two or Multi-family _____
- Commercial Garage, Storage _____
- Other _____

Brief Project Description (example: addition of sunroom, installation of fence)
PORCH (FRONT) ADDITION

I
N
F
O
R
M
A
T
I
O
N

Type of Project (Check all that apply)

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other _____

Start Date: 6-24-24

Anticipated Completion: _____

Contractor/Consultant/Architect: HEATH MASSEY

Office Use Only	
Case Number	_____
Date Received	_____
Contributing	_____
Zoning	_____
Legal Advertisement	_____
Notified Adjacent	_____
HPC Hearing	_____
HPC Decision	_____
COP Expiration	_____
Project Completion	_____
Tax Parcel	_____

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 6-10-24 Signature [Signature]

APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

Site Changes – Signs

- specifications
- description of construction materials and illumination

Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

NOTE: Only complete applications will be placed on the agenda for design review. Submit to:

City of Cartersville
Planning and Development Department
P.O. Box 1390
Cartersville, GA 30120

PROJECT DESCRIPTION

Include support materials and attach additional sheets needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

Item 3.

1. FRONT PORCH ADDITION

PIC #1 COLUMN PEDESTAL

PIC #2 UNDER PINNING
BRICK SUPPORT

PIC #3 PORCH COLUMNS

PIC #4 FRONT ELEVATION

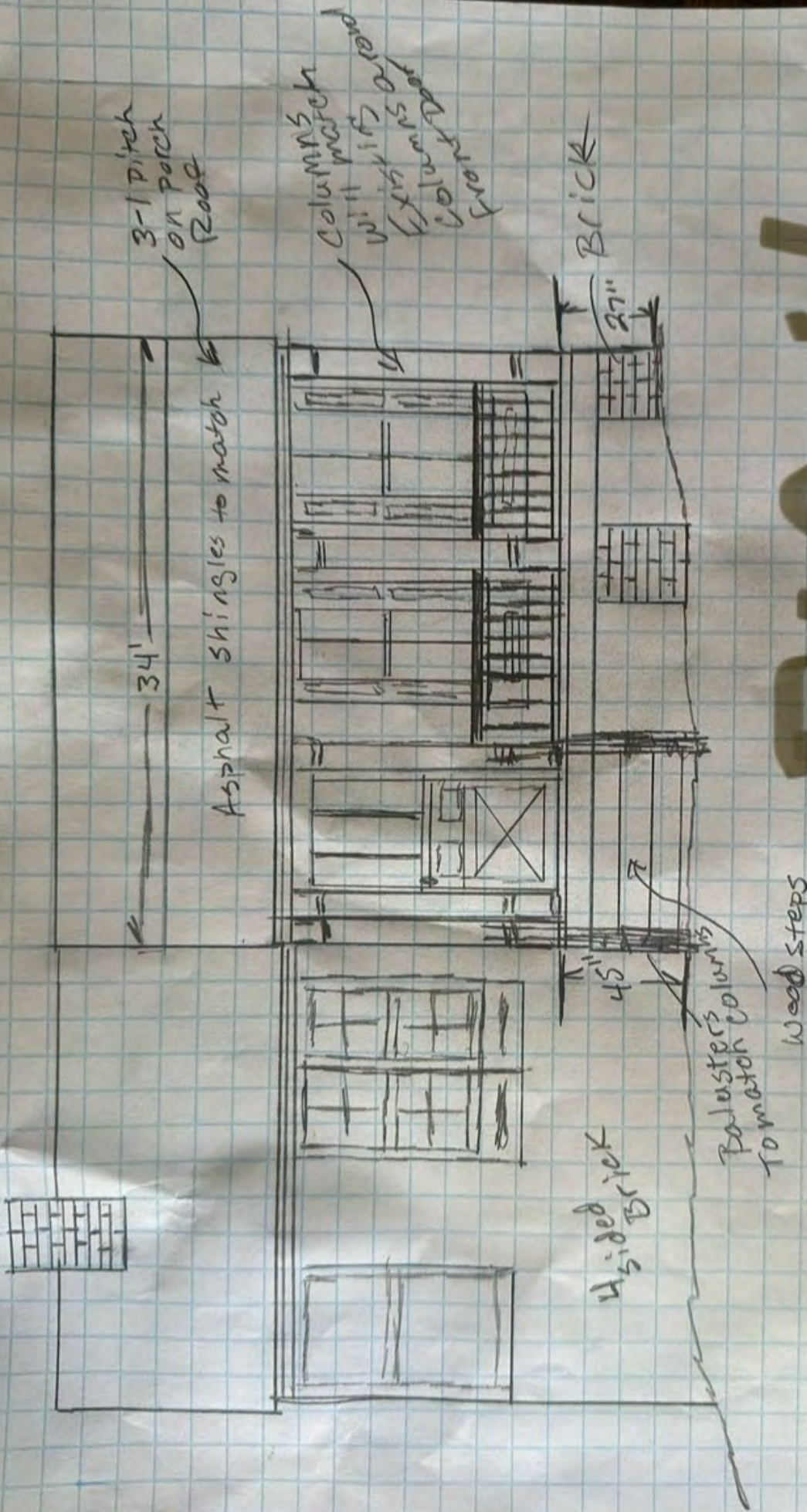
PIC #5 SIDE ELEVATION

PIC #6 CEILING

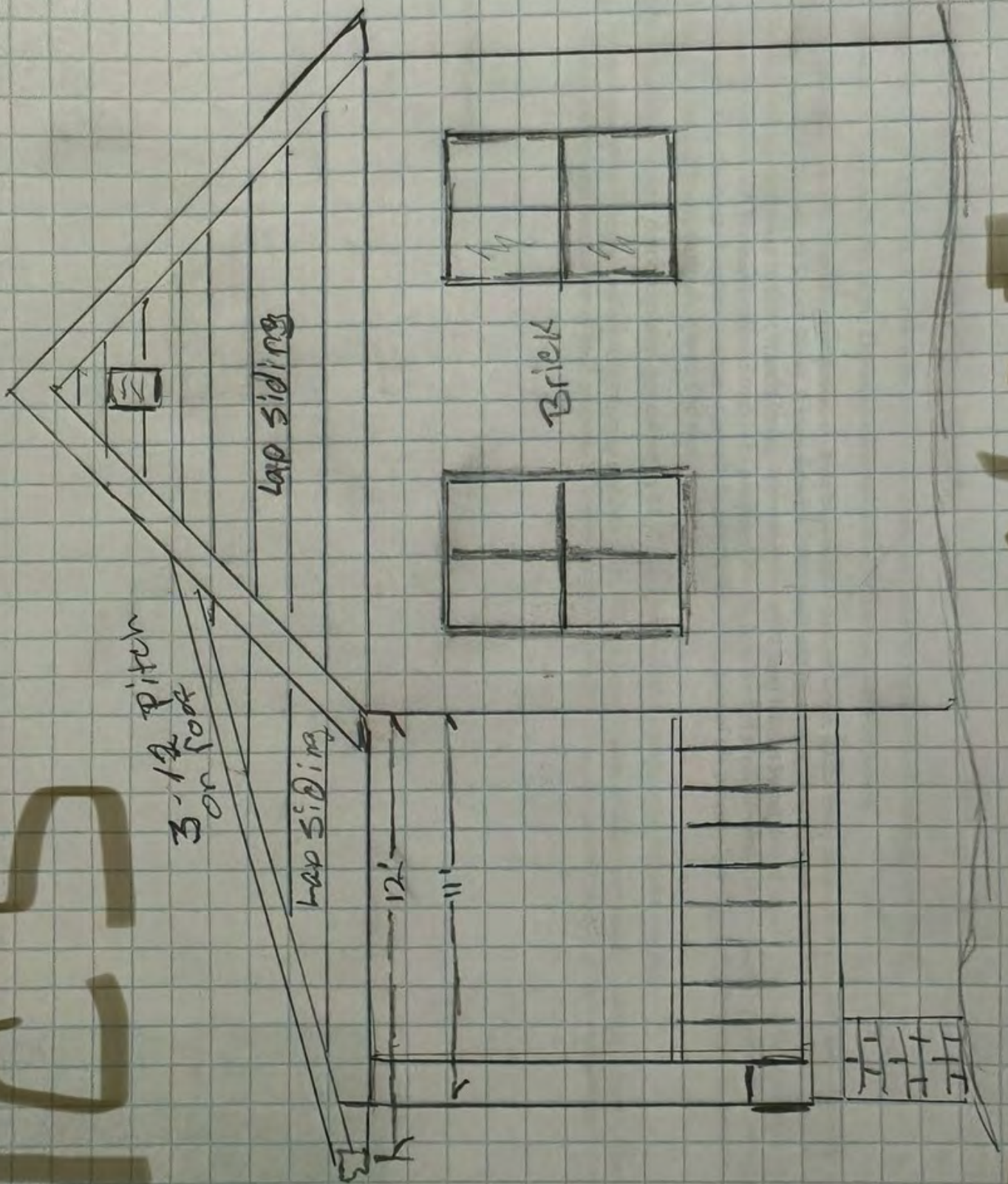
FLOORING WILL BE
WOOD.

PRECEDENCE OF DECISIONS

Each application will be considered on its own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.



FRONT
PICTURE





Item 3.



P Paula proulx Follow

View Save

Show the look

22:38 5G 69
 Q porch on front of my h — Private





EXISTING BRICK STEPS

Item 3.



PHOTOS PREVIOUSLY USED WITH COP24-13.

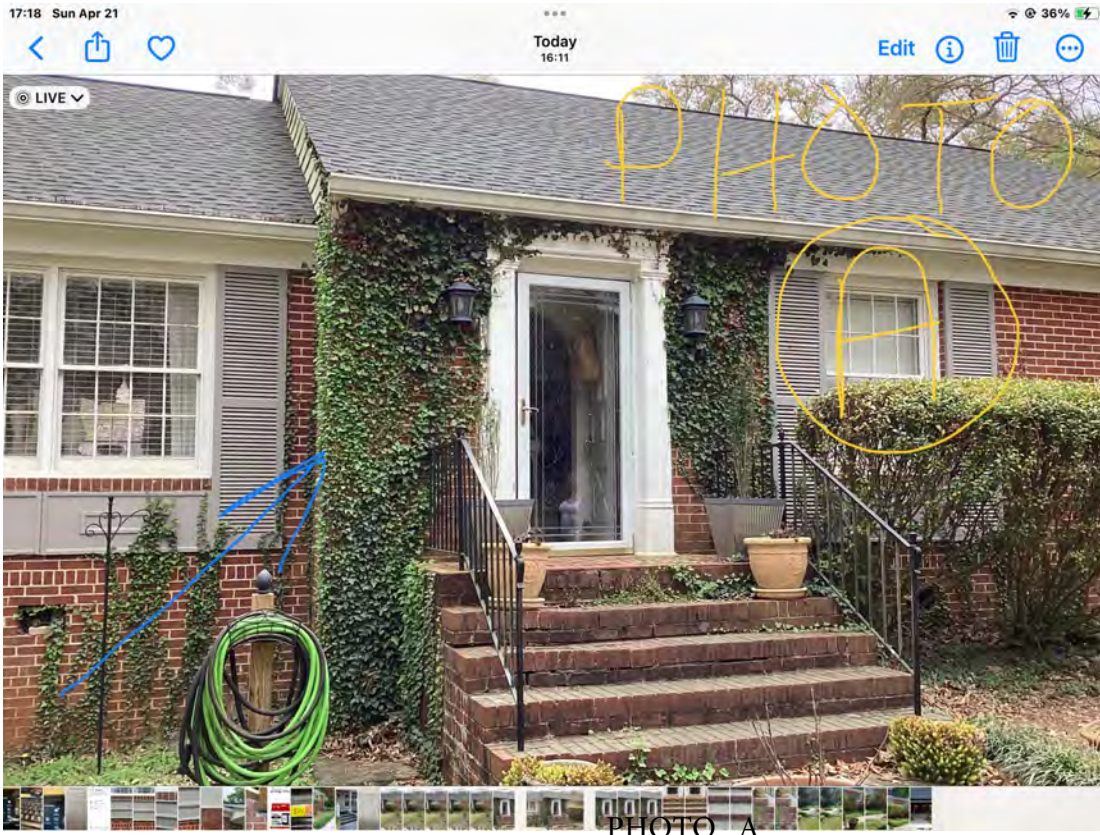


PHOTO SHOWS HEIGHT OF PORCH OF 30IN. EVEN WITH SHUTTERS AND DOOR.

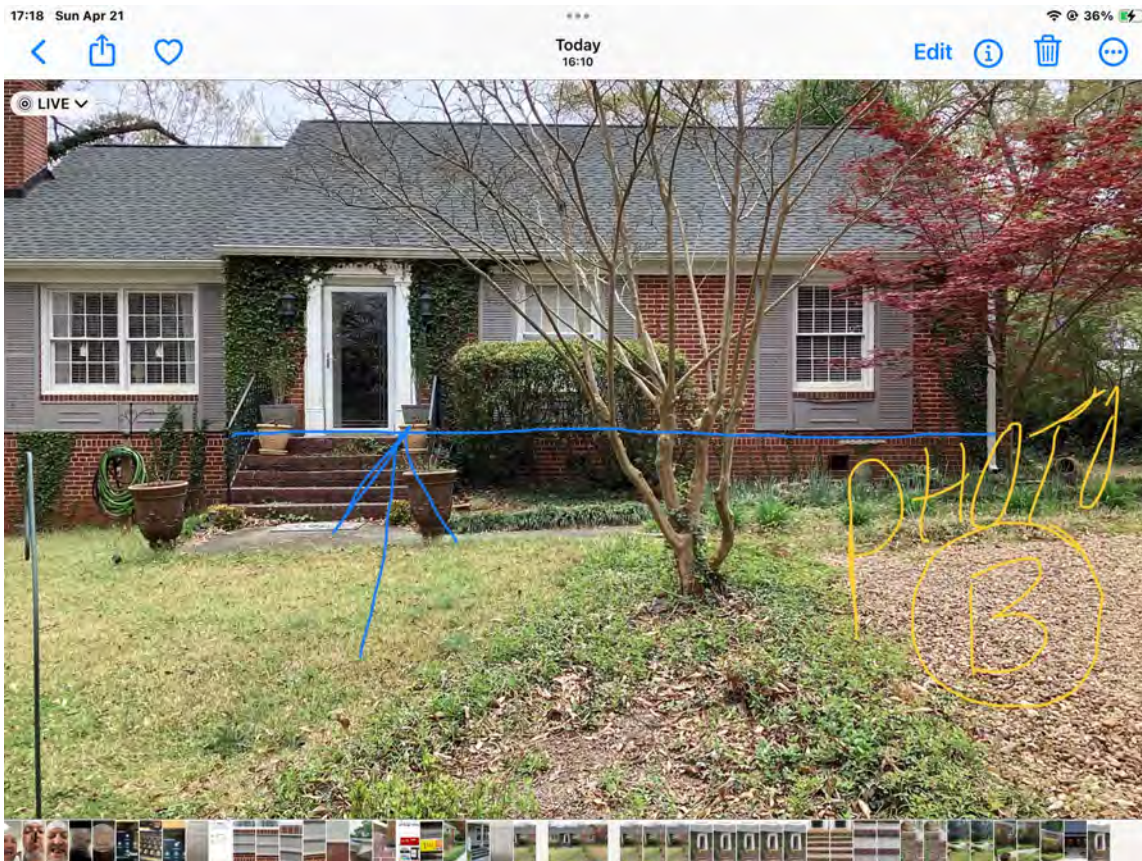
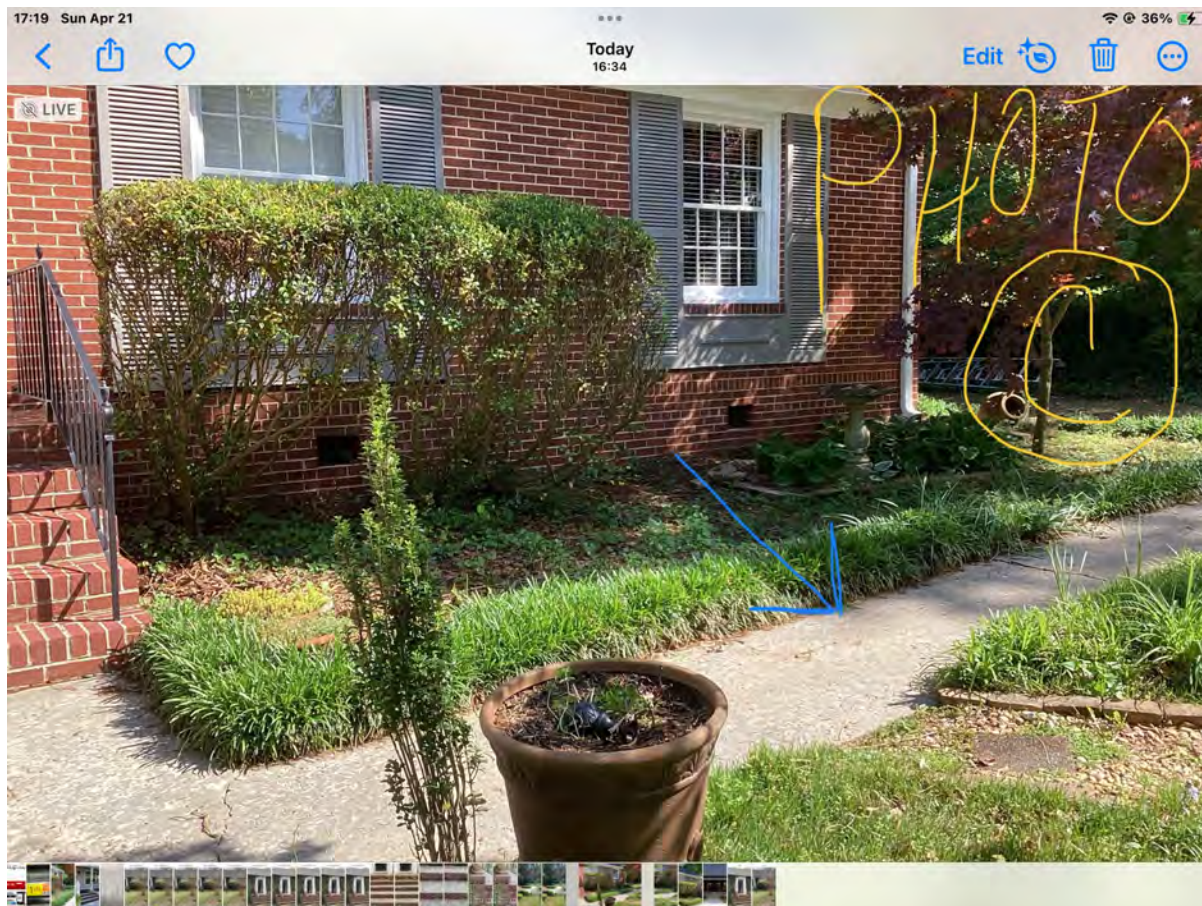


PHOTO SHOWS PORCH WIDTH OFF OF HOME AND EVEN WITH CONCRETE WALKWAY (APPROX. 11FT)

Item 3.









HISTORIC PRESERVATION COMMISSION ITEM SUMMARY

MEETING DATE:	June 18, 2024
SUBCATEGORY:	HPC
DEPARTMENT NAME:	Planning and Development
AGENDA ITEM TITLE:	COP24-19. 178 W. Main St. Applicant: Matt Womack
DEPARTMENT SUMMARY RECOMMENDATION:	COP request to demolish existing structure, to construct four (4) townhome buildings containing 18 units, and to increase the area and duration of a temporary banner (variance required).
LEGAL	



City of Cartersville Historic Preservation Commission COP Application Staff Report
Case: COP24-19

HPC Meeting – 6-18-24

Application Information

Address: 178 W. Main St.
 Applicant: Matt Womack
 Zoning District: DBD
 Setbacks: Front: 0ft. Rear: 0ft: Side: 0ft.

Brief Description: Applicant proposes to demolish existing structure to construct (18) new townhomes. Also, variance, V24-17, to increase area and duration of (2) temporary signs.

Applicable Guidelines to Consider

Residential Design Guidelines	
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>	
A. Wood	K. Utilities and Energy Retrofit
B. Masonry	L. Accessibility, Health, and Safety Considerations
C. Architectural Metals	M. Additions to Historic Buildings
D. Paint	N. Aesthetic Recommendations
E. Roofs	
F. Exterior Walls	PART TWO: New Construction
G. Driveways, Walkways, and Off-Street Parking	
H. Lighting	PART THREE: Relocation
I. Windows and Doors	
J. Entrances, Porches and Balconies	PART FOUR: Demolition
Commercial Design Guidelines (Historic Downtown Business District)	
	PART ONE: General Guidelines for Structures Contributing to the District.
X	PART TWO: Guidelines for New Construction.

The following scopes of work are proposed:

A. Demolition

1. Demolish existing brick building that fronts W. Main St. (recently used for city municipal court)
2. Demolish accessory structure (garage) to rear of site near Leake St.

B. New Construction

1. Construct (4) four new buildings containing a total of (18) 3-1/2 story, townhome units.
 2. Construct a mail kiosk.
 3. Construct new site amenities including driveways, parking areas, walkways, and landscaping.
- * See site plan and architectural elevations.

C. Sign Variance, File no. V24-17. BZA Agenda July 11th.

1. Increase area of (2) temporary banners from the allowed 32sf to 76sf. (4ft x 19ft)
2. Increase duration of (2) temporary banners from the allowed 14 days to end of construction or until temporary fencing is removed.

History of the Property- The primary structure was constructed c.1960 according to the Bartow County Tax assessor’s records. There is no date provided in the GHRS survey.

COPs on file:

No COPs on file.

Analysis of the COP:

The existing primary structure is Historic, Non-Contributing. Generally, the proposal is to construct (18) 3-1/2 story, townhomes within four building units on the 1.6 acre site. The city sold the property to Womack Custom Homes in February 2024 after an extended period for an RFP process and developer due diligence.

Demolition

The existing primary structure is a single story, brick structure that is known to have served as a funeral home, the city police station and the city municipal courthouse. The floor area of the building is stated as 11,467sf per the tax records. The accessory structure near Leake St. is labelled as a garage with dimensions of 27ft x 37ft constructed in 1985.

Both structures are required to be demolished for the townhome development.

All existing trees on site will also be removed. See demolition plan.

New Construction. Plans for Buildings 1 to 3 provided.

Plans and elevations for Buildings 1 to 3 are provided. Plans and elevations for Building 4 will be provided for review at a later date.

The building units are rear -access (2 car garages in rear). Building 1 will front W. Main St. Buildings 2 and 3 will face each other and create a lawn area between the front facades. Building 4 will front the residential property at 139 Leake St. Driveway access is provided from Bartow St and Leake St. Limited gated access will be provided from the existing driveway on W. Main St.

The entry driveways are asphalt. Concrete will be used for sidewalks and unit driveways.

Buildings 1 to 3 will have townhomes with 26ft x 28ft footprints. Building 4 townhomes will have 24ft x 40ft footprints.

All townhomes are primarily brick with some lap siding used in vertical and horizontal configurations. Doors are presented as either 3/4 or full-lite doors. French doors are also utilized. Windows are shown to have a 2/2 pane configuration. Per the side elevations, several windows are portrayed as faux windows.

The primary roofs will be asphalt shingle. Metal roofs are introduced over the ground floor and rooftop terraces.

Balconies with metal railings are introduced on the rear side of the townhomes.

This project will be the first townhome project in the DBD and the first significant residential project since the condominium apartments were constructed at 148 W. Main St. c.2004.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof		Asphalt Shingle & Metal (porch)
Siding (Lap)		Wood or cement
Windows		Vinyl (Assumed)
Doors		Metal, Composite or Wood
Exterior Lighting		Metal
Foundation		Conc. slab
Decking		
Steps		Brick/ concrete
Porches		Wood/composite columns/handrails
Ornamentation		Wood/ composite

Sign Variance

The applicant was permitted and has installed (2) 4ft x 19ft vinyl banners, categorized as Temporary Event Signs, along the W. Main St and Bartow St. security fencing. The banners are to announce and inform the public about the project. The banners are expected to remain on site and attached to the security fencing until the end of the construction process when the fencing can be removed. The banners exceed the 32sf. area minimum allowed by the sign ordinance, Sec. 20-28 (5) and the 14 day duration allowed by Sec. 20-28 (1).

The applicant has applied for a variance to increase these requirements for the duration of the townhome construction. Variance, V24-17, will be heard at the BZA meeting on July 11th.

Sign ordinance Sec. 20-27, DBD Sign regulations, does not include guidance for temporary event signs nor does this section prohibit temporary event signs.

At this time, the banners have been installed longer than the allowed 14 days, but staff agreed to allow the banners to remain until the HPC and BZA boards can review and rule on the variance request.

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.

Sec. 9.25-52. Downtown Business Historic District.

The City Council of the City of Cartersville adopts the Downtown Business Historic District as indicated herein.

Sections (a) to (c) omitted.

- (d) *Design standards.* The following design standards are adopted for the Downtown Business Historic District:

CARTERSVILLE
HISTORIC PRESERVATION COMMISSION
DOWNTOWN BUSINESS HISTORIC DISTRICT
GENERAL STANDARDS

INTRODUCTION

The following Downtown Business Historic District Design Standards are intended to identify the character-defining features of a site or structure used in determining the compatibility of the proposed alteration, repair, renovation, rehabilitation or restoration of an existing structure or the construction of a new structure regarding the appropriateness of the size, location, materials, style, rhythm, and any other quality deemed as contributing to the character of a historic property or structure as determined by the Historic Preservation Commission (Commission).

For items not addressed by the following standards or guidelines, the Commission will refer to the *U.S. Department of the Interior, Secretary of the Interior Standards for the Treatment of Historic Properties*, latest edition, for guidance.

Preservation of character-defining elements of historic buildings is a priority, and alterations and repairs should accurately represent the historic qualities of the buildings. Original documentation shall be used for restoration work, if available. Where original documentation is unavailable, interpretations of similar elements that occurred in the area may be considered.

In filing for a Certificate of Preservation all standards shall be complied with and so demonstrated on said application and supporting documentation. Guidelines, as indicated herein, may or may not be demonstrated in the application or supporting documentation for a Certificate of Preservation. Maintenance recommendations, if any, are included for informational purposes only and are not required to be included in an application for a Certificate of Preservation and as such shall not be considered by the Commission in reviewing said applications.

PART 1—EXISTING STRUCTURES- Omitted

PART TWO—NEW BUILDING CONSTRUCTION

1. *Building form and scale:*
 - A. Any new building constructed in the Downtown Business Historic District will make a significant visual impact on the streetscape. It is important to consider the character and scale of the surroundings and adjacent buildings to insure the new structure will be compatible. New buildings shall appear similar in mass and scale to historic structures in the area. Use building forms and roof forms that match those used historically.
 - B. Building height shall be comparable to adjacent structures. Where new building facades will be wider than those found traditionally, subdivide the surface into proportions similar in scale to

historic facades by varying setback, roof forms, and materials. New construction shall be sensitive to the size, scale, proportion, material, shape, texture, and rhythm of its neighbors.

2. *Reconstruction:*

- A. Infill designs should not attempt to duplicate the period and style of the adjacent buildings, or try to look "old" by using period proportions and materials. The designs should complement the buildings in the area but represent the style of the period in which it is built.
- B. Reconstruction may be considered as a treatment when: 1) a contemporary depiction is required to understand and interpret a property's historic value, (2) no other property with the same associative value has survived; and, 3) when sufficient historical documentation exists to ensure an accurate reproduction.

3. *Building orientation and site placement:*

- A. New buildings will respect the placement of nearby historic buildings by being placed at a setback equal to that of nearby similar historic buildings or similar buildings within the district. It is required to align new buildings with the established setbacks of the area. Nontraditional lots can be given special consideration by the HPC.
- B. Buildings with party walls, such as those along Wall Street, Main Street, Public Square, and East Church Street (under the bridge) shall maintain zero lot line placement. New buildings on these streets will not have side setbacks, but will use party walls.

4. *Entrance orientation:*

New construction will face the same street as nearby similar buildings. Respect traditional designs used for building entrances of similar buildings in the district, using, for example, a recessed entrance where appropriate.

5. *Windows:*

The size and proportion of window and door openings of a building shall be similar to those on surrounding facades. The same applies to the ratio of window area to solid wall for the facade as a whole. Maintain the rhythm of the surrounding windows.

6. *Materials:*

- A. Use building materials that are similar to those employed historically for all major surfaces. Brick, stone and terra cotta may be used in unlimited quantities.
- B. Wood may be used on the first story (store-front level) for architectural elements such as pilasters, cornices, decorative raised panels, etc., but wood shall not be used as a general siding material.
- C. Concrete and precast concrete use is limited to architectural elements such as window hoods, cornices, columns and capitals. Glazed block or ceramic tile may be used as accent material only.
- D. Prohibited materials on building facades include metal, aluminum, or vinyl siding and preformed panels, or porcelain or baked enamel metal panels. Other materials may be used if their appearances are similar to those of historic building materials.

7. *Plant beds and plantings:*

The goal is to beautify the district and make it more pleasant for pedestrian traffic. Locate plantings in traditional areas of the site, such as along fences, walks, and foundations. Well-maintained concrete planters that harmonize with nearby buildings and existing streetscape are recommended.

8. *Walls and fences:*

-
- A. The goal is to maintain the pattern of existing fencing in the Downtown Business Historic District and to use fencing and walls to screen parking and storage areas. Maintain traditional fence lines or dominant fence lines in the vicinity. New fence and wall designs shall be appropriate for the primary structure and reinforce the pedestrian scale instead of forming barriers or exclusionary walls.
 - B. Privacy fences shall not be placed flush with the facade of a building.
 - C. New fences should limit their impact by being placed behind the rear elevation and by using traditional materials, such as wood. Any obtrusive fence shall be further screened from public view by evergreen vegetation or a second traditional fence.
9. *Pavement:*
- Historic walks and drives shall be repaired rather than replaced. If replacement is required, new materials shall match the original in placement, composition, design, texture and other visual qualities as determined by the Commission.
10. *Parking lots:*
- A. Parking lots shall not be allowed in the front yard. Side or rear locations are required. Plan parking lots to be subdivided into small components so that the visual impact of large paved areas is reduced. Include islands of plantings in the interior of lots, and provide planting buffers at the edges of parking lots.
 - B. If walls are required to screen parking lots, then they shall be constructed at a height that screens parked vehicles. The facade line of nearby historic buildings shall be maintained. Traditional materials, such as brick, shall be used.
11. *Service areas and equipment:*
- Screen service equipment and trash containers from public view. The visual impact of mechanical and electrical equipment shall be minimized. (See also walls and fences).
12. *Signs:*
- A. Signs shall be subordinate to the architecture and overall character throughout the district. Sign materials shall be compatible with the building materials. The types and sizes of signs allowed are defined in the sign ordinance of the City of Cartersville.
 - B. Position flush-mounted signs so they will fit within architectural features. Locate flush signs so they do not extend beyond the outer edges of the building front. Avoid obscuring ornament and detail.
 - C. Locate projecting signs along the first floor level of the facade. Positions near the building's entrance are encouraged. Locate pole-mounted signs in landscaped areas.
 - D. Where several businesses share a building, coordinate the signs. Align several smaller signs, or group them onto a single panel. Use similar forms or backgrounds for the signs to visually tie them together.
13. *Additions:*
- A. New additions shall not obscure or confuse the essential form and character of the original building. Exteriors shall be compatible with the size scale, material, and character of the main building and its environment.

-
- B. New additions shall not be allowed that would hinder the ability to interpret the design character of the historic period of the district. Site additions back from the building front so they will not alter the historic rhythm of building fronts.
 - C. When locating additions to historic buildings, maintain the pattern created by the repetition of building fronts in the area. Locate additions so they will not obscure or damage significant ornamentation or detail. Special moldings, decorative windows, or dormers shall be preserved. Generally, additions shall be sited to the side or rear of the original structure.

14. *Demolition:*

- A. Before demolition, one shall submit a site plan to the Commission for review that illustrates the proposed site development or plantings to follow demolition.
- B. During and after demolition, protect the trees on the site from damage due to compaction of the soil by equipment or materials.
- C. After demolition, clear the site promptly and thoroughly. Plant or develop the site promptly as approved in the proposed site plan.

(e) *Effective date.* This district shall become effective on April 1, 2004.

(Ord. No. 04-04, § 2, 2-5-04; Ord. No. 03-20, § 1, 3-5-20)

Sec. 20-27. - DBD sign regulations.

Item 4.

All signs under this section require a permit. The standards and requirements of this section shall be in addition to city-wide standards and requirements. In the event of conflicting regulations, the standards and requirements of this section shall take precedence.

(1) *General regulations.*

- a. *Banners.* No more than one (1) banner, not to exceed thirty-two (32) square feet in area, may be displayed at each place of business and shall be securely attached to the facade of a building. A registration permit is required, at no cost, and such banners shall be displayed for a period not to exceed thirty (30) days.
- b. *Color.* For all signs in the DBD district, fluorescent colors shall not be used. Such signs shall not contain more than five (5) colors, except in instance of an illustration.
- c. *Freestanding signs.* One (1) freestanding sign shall be allowed on each property frontage, not to exceed six (6) feet in height, and shall not exceed twenty-four (24) square feet in area. Electronic freestanding signs which exhibit animation, blink, change copy, display moving pictures or images, flash, contain light emitting diode (LED), and/or contain liquid crystal display (LCD) shall be prohibited.
- d. *Pole banners.* Such banners shall not exceed twelve and one-half (12-1/2) square feet in area; shall have a maximum width of two and one-half (2-1/2) feet and a maximum height of five (5) feet; shall have a minimum display height from the bottom edge of the banner to the ground of eight (8) feet; and shall have a maximum display height of twenty-five (25) feet measuring from the top edge of the banner to the ground. Such banners attached to public utility poles or light poles shall be approved by the appropriate city department prior to attachment.
- e. *Projecting signs.* A business shall be allowed to attach one (1) projecting sign to a building facade which fronts a public right-of-way with the following stipulations:
 1. The sign shall not exceed an area of six (6) square feet.
 2. The horizontal dimension of the sign shall not exceed three (3) feet.
 3. The sign shall be attached perpendicular to the building wall.
 4. The distance from the ground to the lower edge of the sign shall be a minimum of seven (7) feet over a sidewalk and a minimum of thirteen (13) feet over a street or driveway.
 5. The distance from the building wall to the sign shall not exceed six (6) inches.
 6. The height of the top edge of the sign shall not exceed the height of the wall from which the sign projects, if attached to a single story building, or the height of the sill or bottom of any second story window, if attached to a multi-story building.

7. The sign may be directly or indirectly lighted, however, direct lighting shall be of the sign copy only. Animated illumination or effects, blinking, flashing, rotating, and/or scrolling projecting signs shall be prohibited.

f. *Wall signs.*

1. Wall signs shall have an aggregate area not to exceed two (2) square feet for each linear foot of building face, not to exceed two hundred (200) square feet in area. Canopy and awning signage shall be deducted from allocated wall sign area.
2. No wall sign shall be closer than eighteen (18) inches to an adjacent property line and shall not be installed or extend over a party wall.
3. Wall signs shall not obscure important architectural details or features such as windows, transom panels, sills, moldings and cornices.
4. Wall signs shall be no greater than twenty-four (24) inches in height (excludes permanent window signage).
5. Animated illumination or effects, electronic, blinking, flashing, rotating, and/or scrolling wall signs shall be prohibited.

- g. *Window signs.* Each ground level business having windows directly oriented to a street may use all of that glass area as one (1) allowable sign, but no single window shall be covered more than thirty (30) percent. Electronic window signs in the downtown business district (DBD) shall be no greater than four (4) square feet in area and shall only be stationary.

(2) *Maintenance and appearance of signs.*

- a. All signs in the DBD zoning district shall be maintained in good condition, so as to present a quality and orderly appearance. The city finds that neglected or dilapidated signs in the DBD zoning district may adversely affect the public health, safety and welfare. Such signs may adversely affect the aesthetic characteristics of the city and may adversely affect public safety due to the visual impact of said signs on motorists and the structural characteristics of said signs.
- b. Signs shall be considered neglected or dilapidated signs if any of the following conditions are present: Rust or holes on or in the sign or sign structure; broken, missing, loose or bent parts; faded or flaking paint; nonoperative or partially nonoperative illuminating or mechanical devices; or missing letters in sign copy.
- c. The planning and development department, after due notice, may have any sign removed which shows gross neglect or becomes dilapidated. Said notice shall be given to the property owner and current tenant by first class mail, with proof of mailing obtained from the post office. Proof of mailing means either a first class "certificate of mailing" or a first class "certified mail" receipt; a proof of delivery is not required. Only an owner reflected

on the records of the tax assessors as of January 1st of the applicable year shall be entitled to notice. Item 4.
zoning administrator or designee shall give the owner thirty (30) days' written notice to correct the deficiencies or to remove the sign or signs. If the owner refuses to correct the deficiencies or remove the sign, the zoning administrator or designee may have the sign removed at the expense of the owner.

(3) *Prohibited signs in the DBD district in addition to section 20-22*

- a. Animated illumination or effects, electronic, and/or flashing signs, unless noted above.
- b. Billboards.
- c. Signs painted directly onto roofs, retaining walls, fences or building facades or walls.
Commemorative wall signs of historical significance are exempt from this provision.
- d. Streamers.

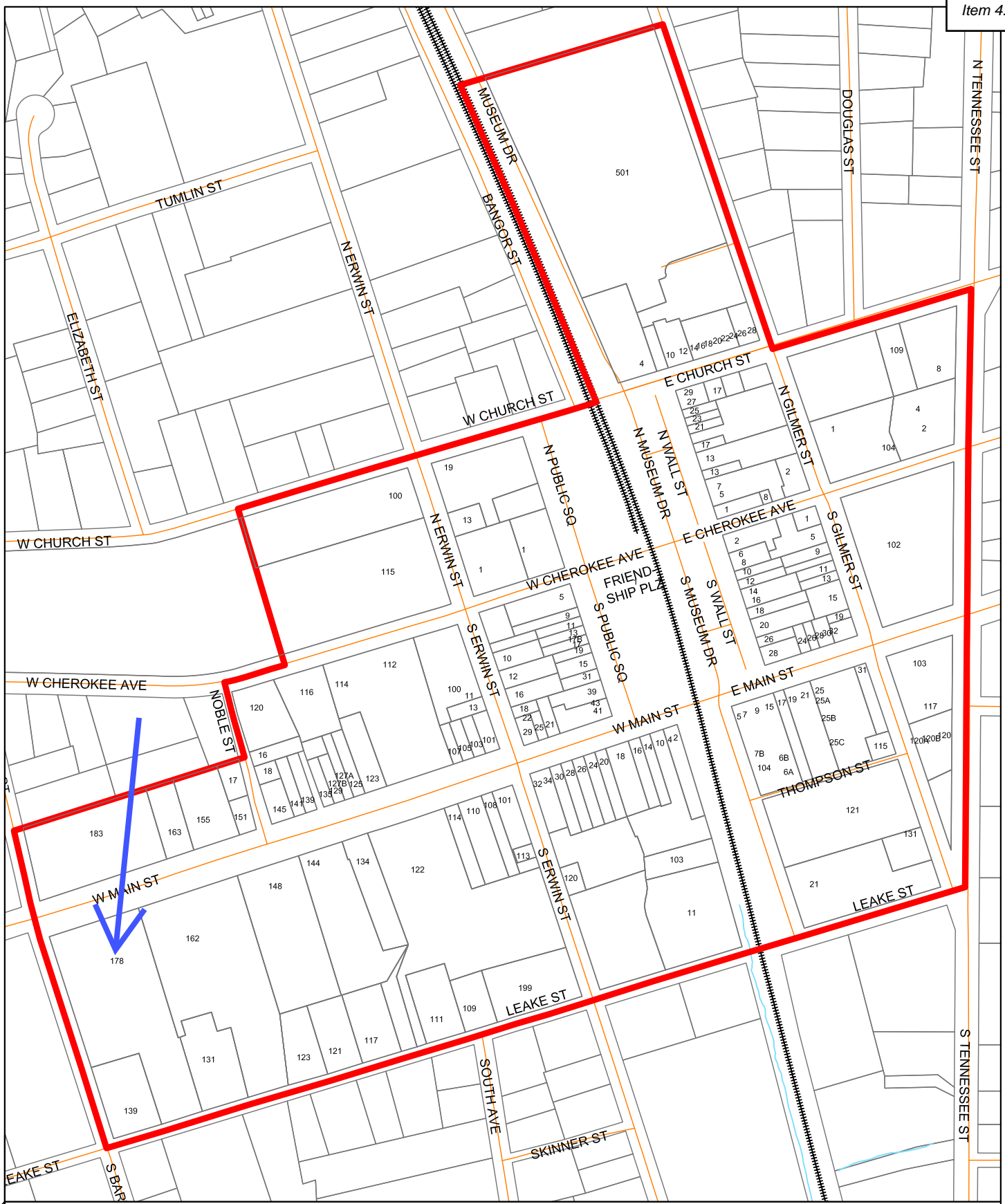
(Ord. No. 26-12, 5-3-12; Ord. No. 01-15, § 8, 3-5-15)

Sec. 20-28. - Temporary event signs.

Businesses and institutions may exhibit balloons, banners, flags or streamers related to an activity or event having a specific duration, or the end of which is related to a specific action, usually lasting only a few days at a time. Examples include grand opening events, seasonal sales events, and close-out sales. Such signs must comply with the following provisions:

- (1) *Duration.* Such signs may be exhibited for no more than fourteen (14) days at a time, with a thirty-day separation period between events, and no more than one (1) time each calendar year on the same property. A new business owner who obtains a new business license (occupational tax certificate) may be eligible to hold a temporary event, even if a former business has held an event earlier on the same property in the same calendar year.
- (2) *Maintenance.* No person shall maintain or permit to be maintained on any premises owned or controlled by that person any temporary event sign which is in a dangerous and defective condition. Any such sign shall be removed or repaired by the permittee of the sign, the owner of the premises, or as otherwise provided for in this article.
- (3) *Permit.* A temporary event permit is required along with a fee per fee ordinance.
- (4) *Setback.* All such signs and devices shall be set back a minimum of five (5) feet from public road right-of-way.
- (5) *Size.* Banners and portable signs shall be a maximum of thirty-two (32) square feet in area.

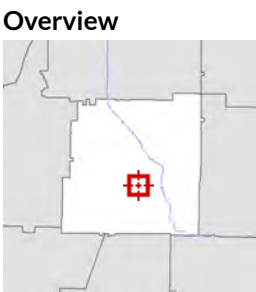
(Ord. No. 26-12, 5-3-12)



City of Cartersville

Downtown Business District Historic District





Legend
 □ Parcels
 — Roads

Parcel ID	C002-0002-013	Alternate ID	32096	Owner Address	CITY OVERLOOK CARTERSVILLE LLC
Sec/Twp/Rng	n/a	Class	Exempt		PO BOX 3603
Property Address	178 W MAIN ST	Acreage	1.6		CARTERSVILLE, GA 30120
District	Cartersville				
Brief Tax Description	LL483 D4 Cartersville Police Department				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/12/2024
 Last Data Uploaded: 6/11/2024 10:41:29 PM

Developed by Schneider
 GEOSPATIAL



Overview



Legend

- Parcels
- Roads

Parcel ID	C002-0002-013	Alternate ID	32096	Owner Address	CITY OVERLOOK CARTERSVILLE LLC
Sec/Twp/Rng	n/a	Class	Exempt		PO BOX 3603
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Date created: 6/12/2024
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Developed by Schneider
 GEOSPATIAL

Cartersville Historic Preservation Commission



CERTIFICATE OF PRESERVATION APPLICATION

*Applicant: City Overlook Cartersville

Project Address: 178 W Main St

Mailing Address (if different than project address):

PO Box 3603; Cartersville, GA 30120

Phone: 678 776 6872

Email: matthew@womacustomhomes.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. Building permits will not be issued without proof of a COP.

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

P
R
O
J
E
C
T

Existing Building Type:

Residential

One, Two or Multi-family
Garage, Storage

Townhomes

Commercial

Other

Brief Project Description (example: addition of sunroom, installation of fence):

Townhome development

I
N
F
O
R
M
A
T
I
O
N

Type of Project (check all that apply):

New building

Addition to building

Relocation of building(s)

Demolition

Fence(s), wall(s), landscaping

Minor exterior change

Major restoration, rehabilitation, or remodeling

Other

Start Date: January 2025 (vertical)

Anticipated Completion: June 2026

Contractor/Consultant/Architect: Womac Custom Homes

Office Use Only	
Case Number	<u>COP24-16</u>
Date Received	<u>5-8-24</u>
Contributing	<u>N- c1960</u>
Zoning	<u>DBD</u>
Legal Advertisement	_____
Notified Adjacent	<u>6-11-24</u>
HPC Hearing	<u>6-18-24</u>
HPC Decision	_____
COP Expiration	_____
Project Completion	_____
Tax Parcel	<u>C002-0002-013</u>

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 5/8/24

Signature [Signature]

APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

Site Changes – Signs

- specifications
- description of construction materials and illumination

Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

NOTE: Only complete applications will be placed on the agenda for design review. Submit to:

City of Cartersville
Planning and Development Department
P.O. Box 1390
Cartersville, GA 30120

PROJECT DESCRIPTION

Item 4.

Include support materials and attach additional sheets if needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

demolish old police station
& rear block building
remove trees & asphalt
construct roads & infrastructure
for 18 townhomes
Plans submitted

Add: Variance V24-17 to increase the sign area
and duration for (2) temporary event signs.

PRECEDENCE OF DECISIONS

Each application will be considered on it's own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.

SITE DATA:

OWNER/DEVELOPER: CITY OVERLOOK CARTERSVILLE, LLC
 P.O. BOX 3603
 CARTERSVILLE, GA 30120
 PHONE: 678-776-6872
 24-HR CONTACT: MATT WOMACK
 EMAIL: matt@womackbros.com

ENGINEER: STEPHENSON ENGINEERING, INC.
 P.O. BOX 20088
 CARTERSVILLE, GEORGIA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

BOUNDARY SURVEYOR: SMITH & SMITH LAND SURVEYORS, P.C.
 2 SOUTH AVENUE
 CARTERSVILLE, GA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

TOPOGRAPHIC INFORMATION: SMITH & SMITH LAND SURVEYORS, P.C.
 2 SOUTH AVENUE
 CARTERSVILLE, GA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

SITE AREA: SITE +/- 1.66 ACRES

DISTURBED AREA: 170 ACRES (INCLUDING OFFSITE AREAS)

IMPERVIOUS SURFACE: 105 AC +/- 45,738 SF (PROPOSED SITE)

PROPOSED USE: TOWNHOMES (8 TOTAL)

ZONING: DBD (DOWNTOWN BUSINESS DISTRICT)

FLOOD NOTE: THIS TRACT OF LAND DOES NOT LIE WITHIN THE 100 YEAR FLOOD INTERMEDIATE FLOOD ZONE AS PER FEMA COMMUNITY PANEL #13015C0266H, LAST REVISED OCTOBER 5, 2018.

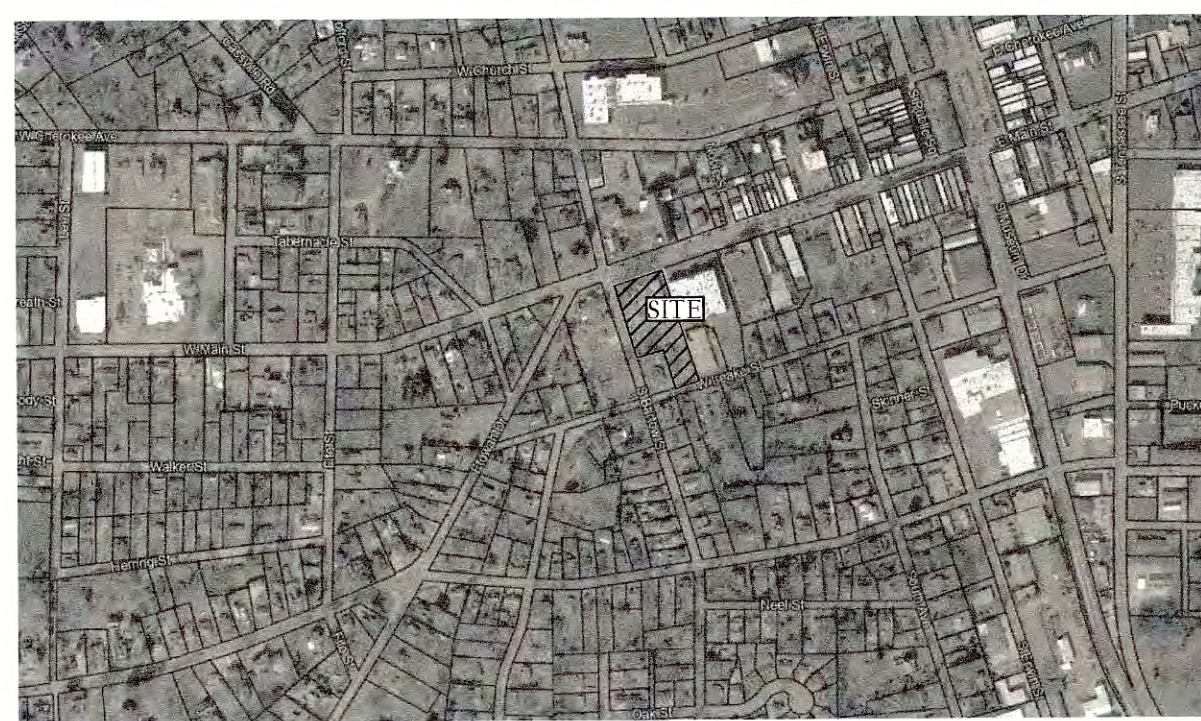
DEVELOPMENT STANDARDS:

MINIMUM FRONT YARD: NONE

MINIMUM SIDE YARD: NONE

MINIMUM REAR YARD: NONE

MAXIMUM HEIGHT: BUILDINGS SHALL BE NO HIGHER THAN 45 FEET OR 3 STORIES, WHICHEVER IS HIGHER



LOCATION MAP

PRELIMINARY PLAT APPROVAL CERTIFICATE

All requirements of the City of Cartersville Development Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted subject to further provisions of said Regulations. This certificate is effective for 24 months from the date of signing unless a Final Plat is recorded.

 Planning Commission Chairman

 Date

24 Hr Emergency Contact:

Matt Womack
 678-776-6872

***** ELEVATION NOTE *****

TOPOGRAPHIC INFORMATION PROVIDED BY SMITH & SMITH LAND SURVEYORS, P.C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING AND PROPOSED ELEVATIONS, GRADES ON STREET, STORM DRAINS, AND UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND THEN IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER.

***** CAUTION *****

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***** INSTALLATION OF INFRASTRUCTURE *****

THE OWNER/DEVELOPER AND CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE INSTALLATION OF ANY AND ALL INFRASTRUCTURE SHALL COMPLY TO ALL CITY OF CARTERSVILLE AND ANY APPLICABLE UTILITY COMPANY, RULES, REGULATIONS AND SPECIFICATIONS. THIS REQUIREMENT APPLIES TO ALL MATERIALS, INSPECTIONS, AND INSTALLATION PROCEDURES, REQUIRED FOR THIS PROJECT BY ANY DEPARTMENT OF THE CITY OF CARTERSVILLE. THIS MAY INCLUDE REQUIREMENTS THAT ARE NOT SHOWN IN SPECIFIC DETAIL ON THIS PLAN, BUT ARE STILL REQUIRED BY THE CITY OF CARTERSVILLE. IF THERE IS ANY QUESTION PERTAINING TO THIS REQUIREMENT, THE OWNER/DEVELOPER AND CONTRACTOR MUST CONTACT THE APPROPRIATE DEPARTMENT TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH ALL SPECIFICATIONS.

***** CARTERSVILLE GAS & UTILITIES NOTE *****

THERE IS NATURAL GAS SERVICE PROPOSED FOR THIS SITE.

STORM DRAIN INSTALLATION
 PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER MUST VERIFY THAT THE PROPOSED STORM DRAIN CAN BE INSTALLED AS SHOWN, AND AVOID ANY CONFLICTS WITH ANY EXISTING UTILITIES. CONTACT STEPHENSON ENGINEERING, INC. WITH ANY QUESTIONS.

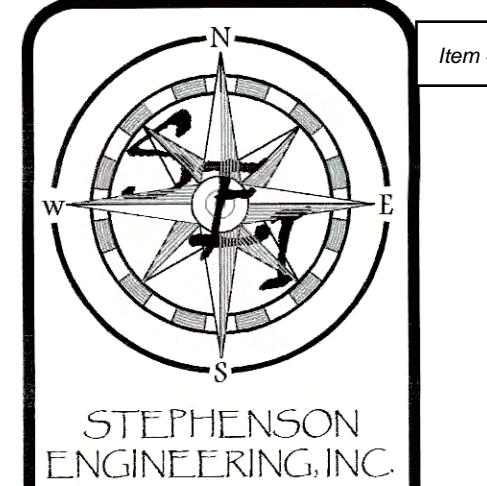
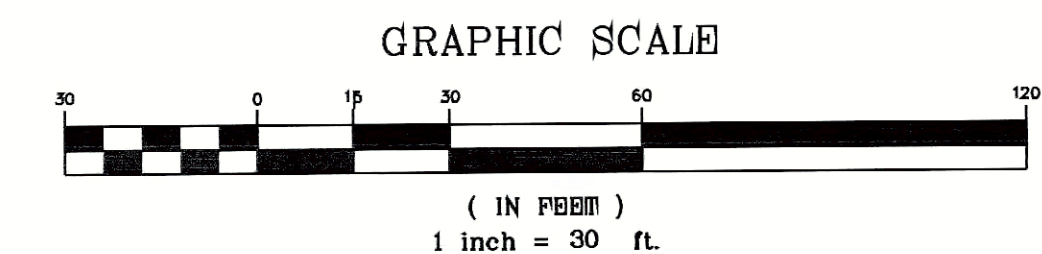
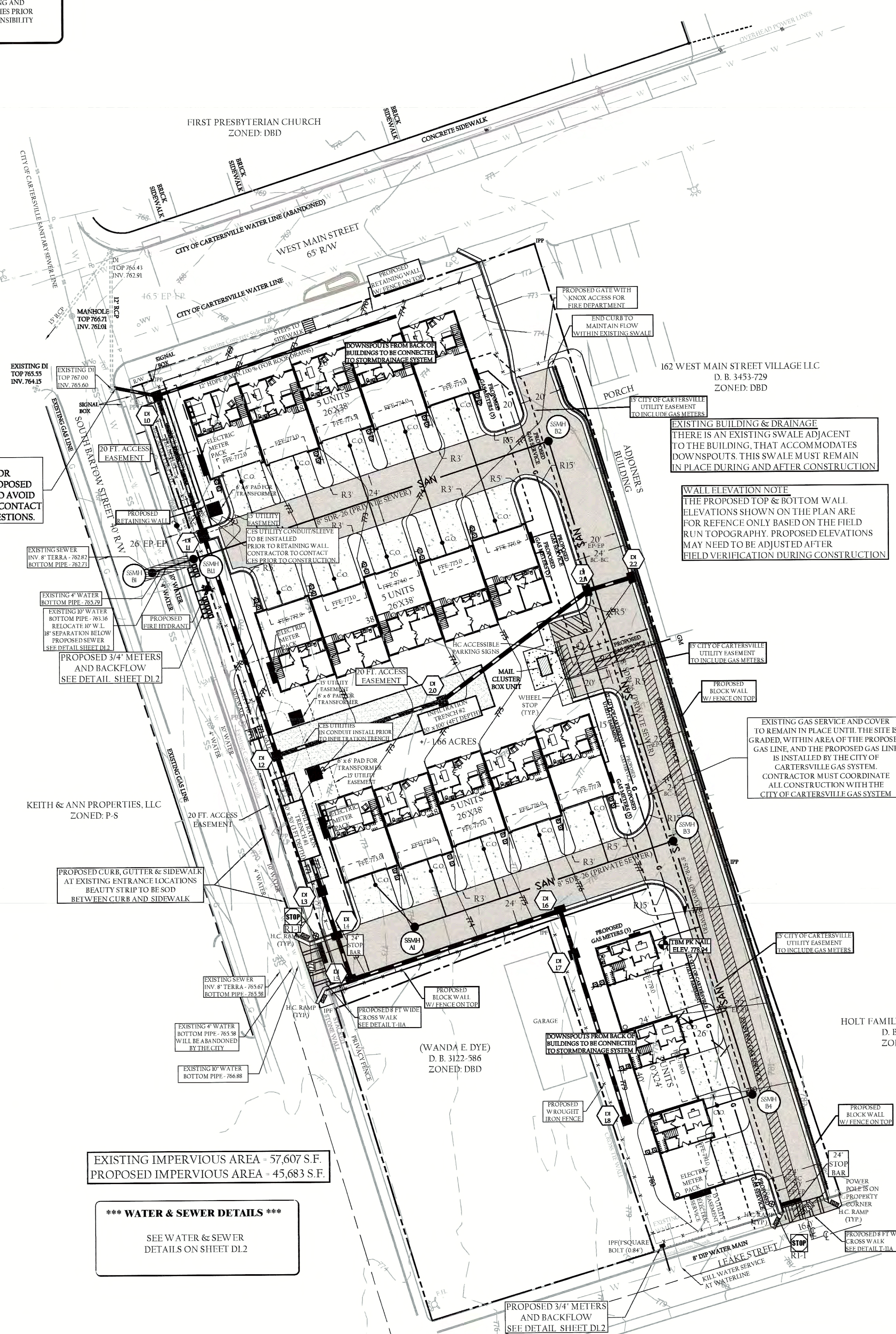
EXISTING BUILDING & DRAINAGE
 THERE IS AN EXISTING SWALE ADJACENT TO THE BUILDING, THAT ACCOMMODATES DOWNSPOUTS. THIS SWALE MUST REMAIN IN PLACE DURING AND AFTER CONSTRUCTION.

WALL ELEVATION NOTE
 THE PROPOSED TOP & BOTTOM WALL ELEVATIONS SHOWN ON THE PLAN ARE FOR REFERENCE ONLY BASED ON THE FIELD RUN TOPOGRAPHY. PROPOSED ELEVATIONS MAY NEED TO BE ADJUSTED AFTER FIELD VERIFICATION DURING CONSTRUCTION.

EXISTING GAS SERVICE AND COVER
 TO REMAIN IN PLACE UNTIL THE SITE IS GRADED, WITHIN AREA OF THE PROPOSED GAS LINE, AND THE PROPOSED GAS LINE IS INSTALLED BY THE CITY OF CARTERSVILLE GAS SYSTEM. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE CITY OF CARTERSVILLE GAS SYSTEM.

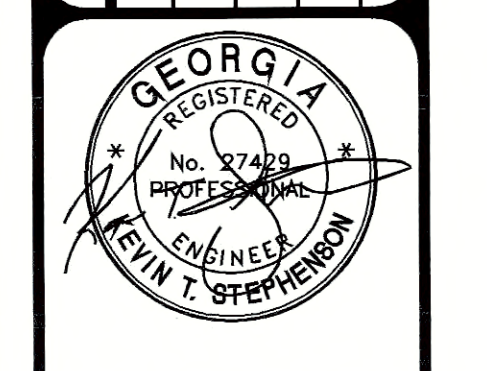
EXISTING IMPERVIOUS AREA = 57,607 S.F.
 PROPOSED IMPERVIOUS AREA = 45,683 S.F.

***** WATER & SEWER DETAILS *****
 SEE WATER & SEWER DETAILS ON SHEET DL2



STEPHENSON ENGINEERING, INC.
 CIVIL ENGINEERING, LAND PLANNING & DEVELOPMENT CONSULTING
 P.O. BOX 20088
 110 N. TENNESSEE ST., SUITE D
 CARTERSVILLE, GEORGIA 30120
 EMAIL: STEPHENSON@VAVARCO.COM
 PHONE: (770) 382-7877
 FAX: (770) 382-1742

REVISION	DATE	REVISED PER CITY OF CARTERSVILLE COMMENTS
	12-8-23	



THE HOLDER OF THIS DOCUMENT WAIVES ALL CLAIMS AGAINST STEPHENSON ENGINEERING INCORPORATED FOR ANY UNAUTHORIZED CHANGES OR REUSE OF THIS DOCUMENT. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF STEPHENSON ENGINEERING INCORPORATED. WE RETAIN ALL RIGHTS OF COMMON LAW, STATUTE AND COPYRIGHT THEREIN.

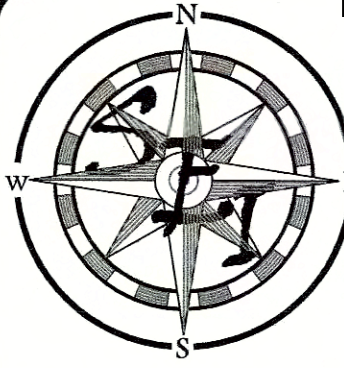
OWNER/DEVELOPER:
 City Overlook Cartersville, LLC
 P.O. Box 3603
 Cartersville, GA 30120
 Phone: 678-776-6872
 24-hr Contact: Matt Womack
 email: matt@womackbros.com

City Overlook
 Located in Land Lot 18
 4th District 3rd Section
 City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
 Preliminary Plat

SHEET NO.
 P1



STEPHENSON ENGINEERING, INC.

CIVIL ENGINEERING, LAND PLANNING & DEVELOPMENT CONSULTING
P.O. BOX 20888
100 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30120
EMAIL: STEPHENSONENG@AOL.COM
PHONE: (770)362-7877
FAX: (770)362-3742

REVISION	DATE



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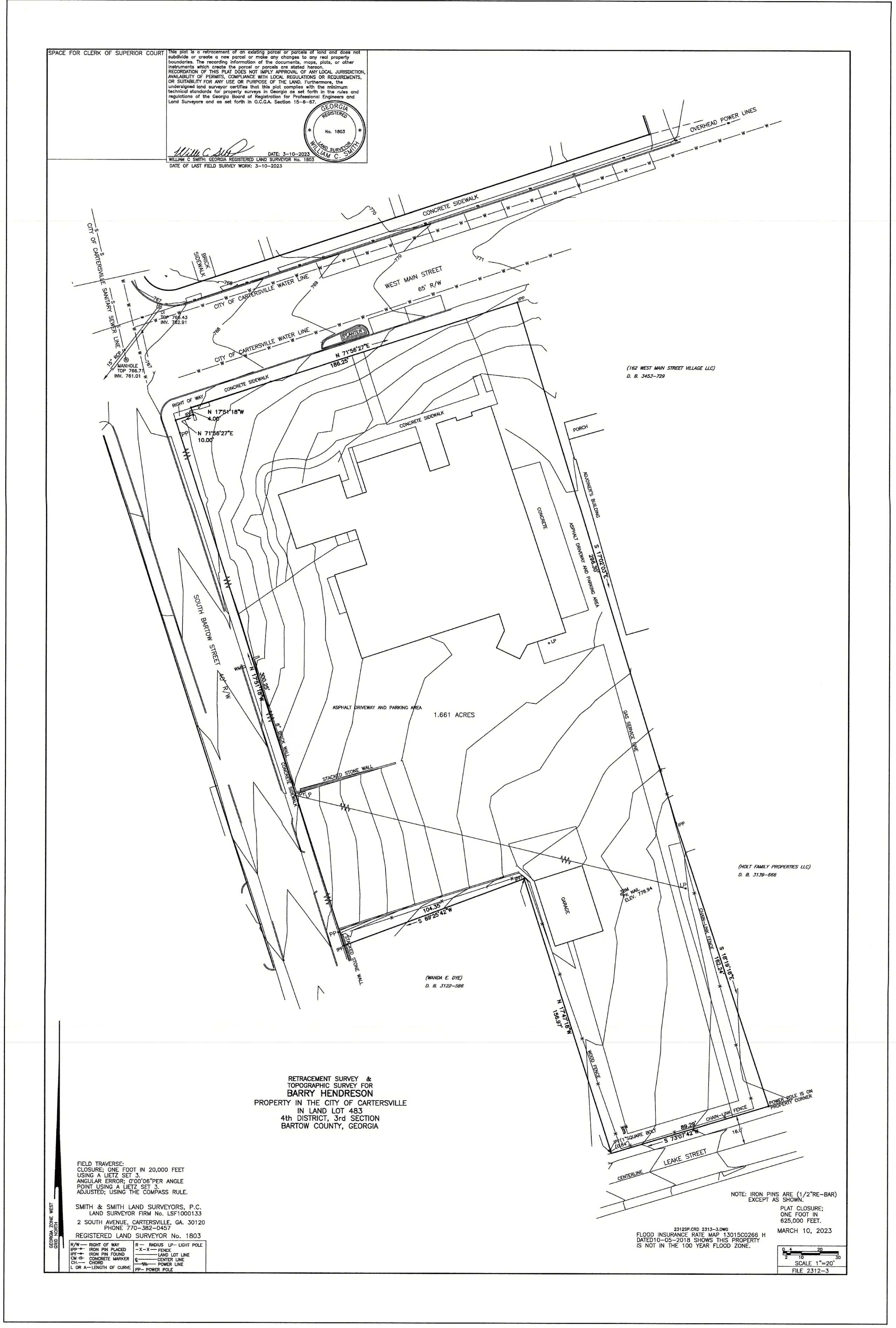
OWNER/DEVELOPER:
City Overlook Cartersville, LLC
P.O. Box 3603
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbrothers.com

City Overlook
Located in Land Lot 483
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
Boundary Survey

SHEET NO.
B1



NOT TO SCALE
BOUNDARY SURVEY SHOWN FOR REFERENCE ONLY

Utilities Protection Center, Inc.



**IF YOU DIG GEORGIA
CALL US FIRST!**
1-800-282-7411
It's The Law!

24 Hr Emergency Contact:

Matt Womack
678-776-6872

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***** EXISTING UTILITIES & FEATURES *****

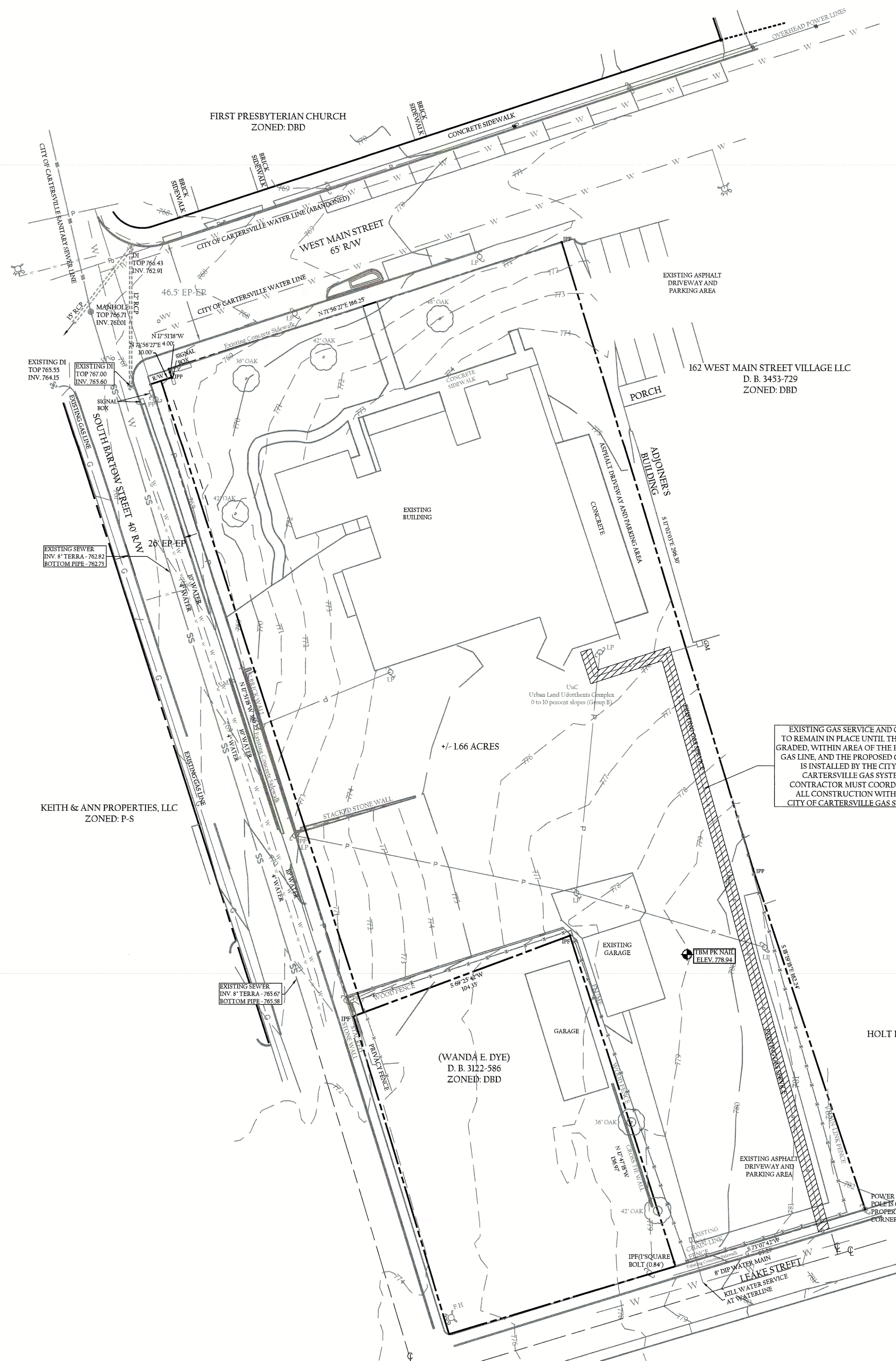
THE CONTRACTOR MUST VERIFY ALL EXISTING UTILITY LOCATIONS, AND EXISTING FEATURES THAT MAY REQUIRE RELOCATION AND OR REPLACEMENT, FOR THE PROPOSED CONSTRUCTION, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

***** EXISTING POWER/UTILITY POLES *****

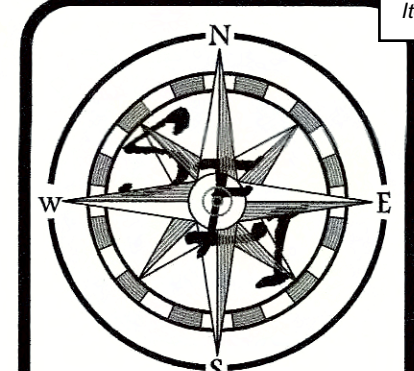
THE CONTRACTOR MUST COORDINATE THE REMOVAL OR RELOCATION OF ANY POLES AND/OR EXISTING SERVICE LINES ON SITE, THAT MAY NEED TO BE REMOVED OR RELOCATED FOR CONSTRUCTION, WITH CARTERSVILLE ELECTRIC SYSTEM.

SOILS ON SITE ARE LISTED BELOW:

UuC - Urban Land Udorthents Complex, 0 to 10 percent slopes (Group B)



EXISTING GAS SERVICE AND COVER TO REMAIN IN PLACE UNTIL THE SITE IS GRADED, WITHIN AREA OF THE PROPOSED GAS LINE, AND THE PROPOSED GAS LINE IS INSTALLED BY THE CITY OF CARTERSVILLE GAS SYSTEM. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE CITY OF CARTERSVILLE GAS SYSTEM.



STEPHENSON ENGINEERING, INC.

CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 20088
130 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30120
EMAIL: STEPHENSON@YAHOO.COM
PHONE: (770) 942-7877
FAX: (770) 942-3742

REVISION	DATE



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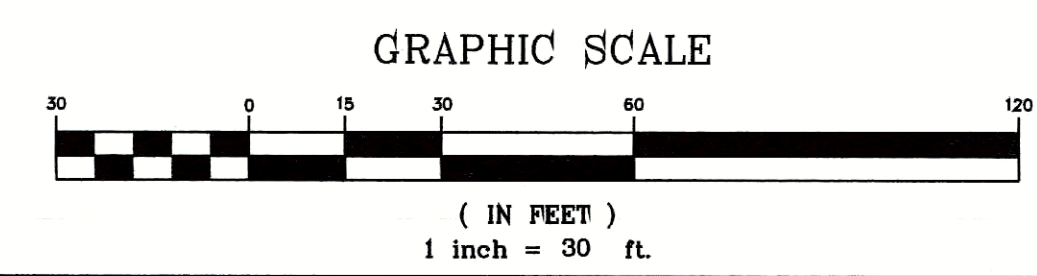
OWNER/DEVELOPER:
City Overlook Cartersville, LLC
P.O. Box 2609
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbros.com

City Overlook
Located in Land Lot 18
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
Existing Conditions

SHEET NO.
C1.1



Utilities Protection Center, Inc.



IF YOU DIG GEORGIA
CALL US FIRST!
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It's The Law!

24 Hr Emergency Contact:

Matt Womack
678-776-6872

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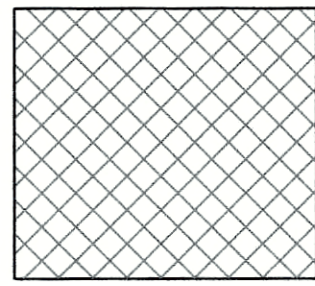
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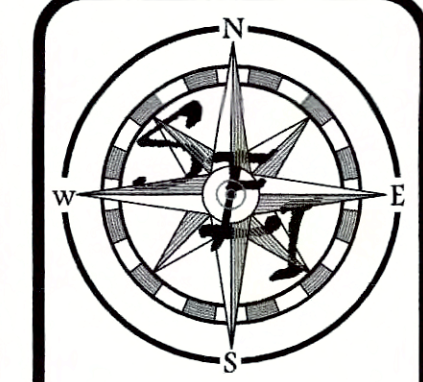
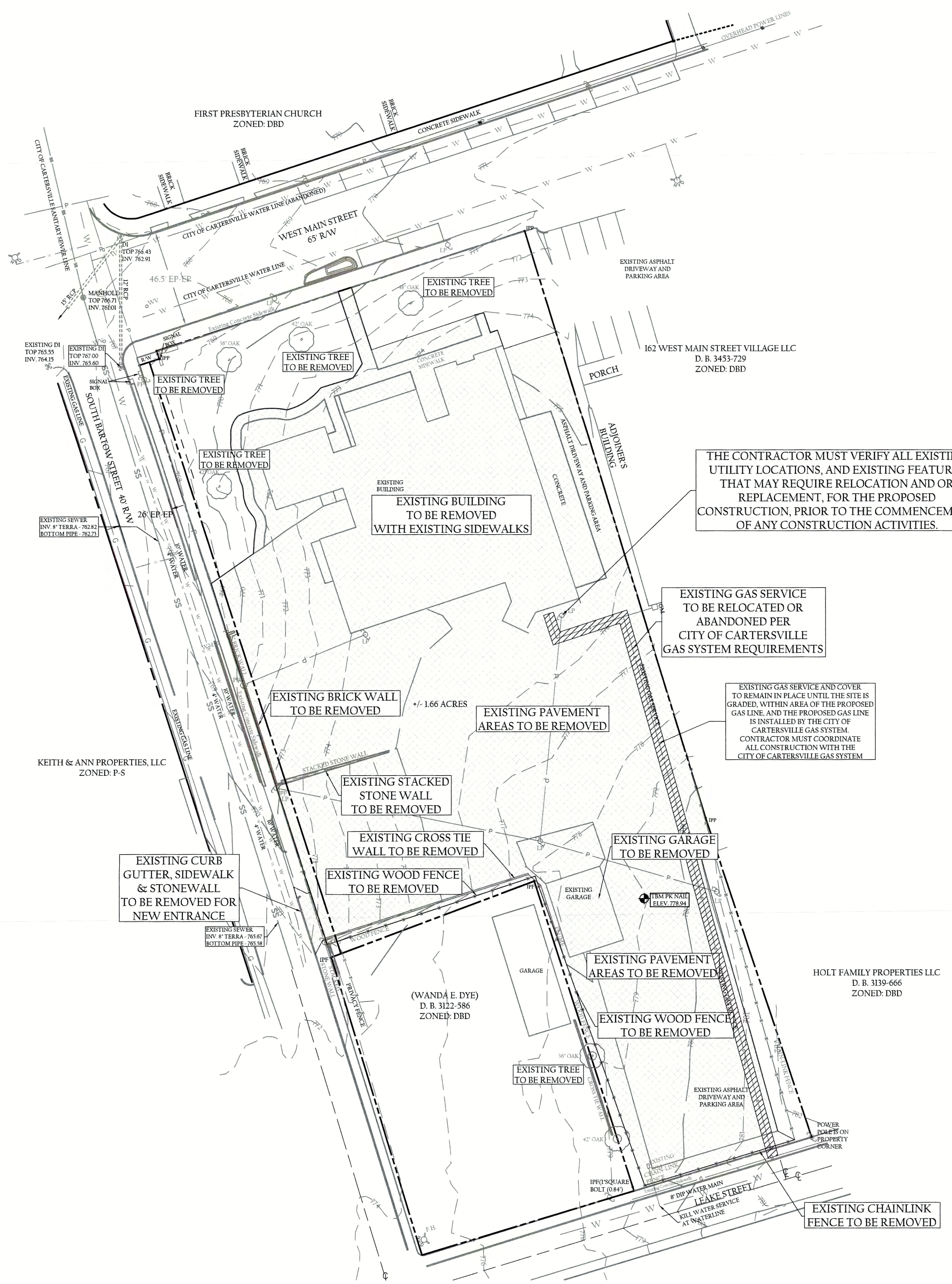
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THE CONTRACTOR MUST COORDINATE THE REMOVAL OR RELOCATION OF ANY POLES AND/OR EXISTING SERVICE LINES ON SITE, THAT MAY NEED TO BE REMOVED OR RELOCATED FOR CONSTRUCTION, WITH CARTERSVILLE ELECTRIC SYSTEM.

*** DEMOLITION NOTE ***



AREAS FOR DEMOLITION.
CONTRACTOR TO COORDINATE ALL DEMOLITION WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO COMMENCEMENT.



STEPHENSON ENGINEERING, INC.

CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 230088
130 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30120
EMAIL: STEPHENSONENG@YAHOO.COM
PHONE: (770) 942-7877
FAX: (770) 942-3742

REVISION	DATE



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City Overlook Cartersville, LLC
P.O. Box 3603
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbros.com

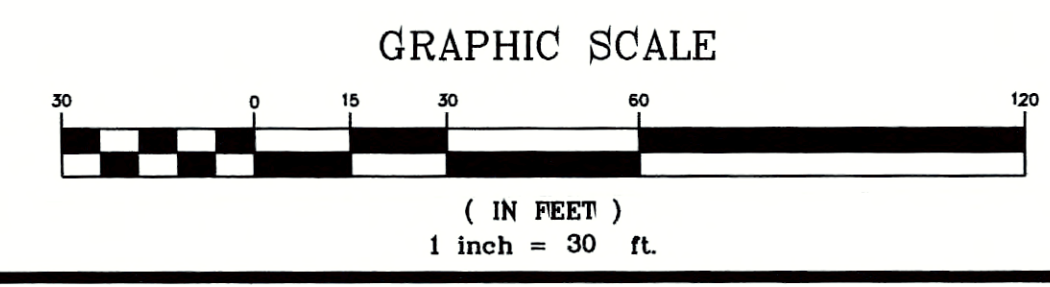
City Overlook
Located in Land Lot 18
4th District, 9rd Section
City of Cartersville, Georgia

PROJECT#
23-015

DATE
9-6-23

SHEET TITLE
Demolition Plan

SHEET NO.
C1.2



Utilities Protection Center, Inc.



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*****100-YEAR FLOODPLAIN STATEMENT***
NO PART OF THE PROPERTY LIES WITHIN
THE 100-YEAR FLOODPLAIN.**

***** U.S. ARMY CORPS OF ENGINEERS *****
IT IS THE DEVELOPER'S RESPONSIBILITY TO ADDRESS ANY WETLANDS ISSUES TO
THE SATISFACTION OF THE U.S. ARMY CORPS OF ENGINEERS.

***** U.S. FISH & WILDLIFE SERVICE *****
IT IS THE DEVELOPER'S RESPONSIBILITY TO ADDRESS ANY ENDANGERED SPECIES
ISSUES TO THE SATISFACTION OF THE U.S. FISH AND WILDLIFE SERVICE.

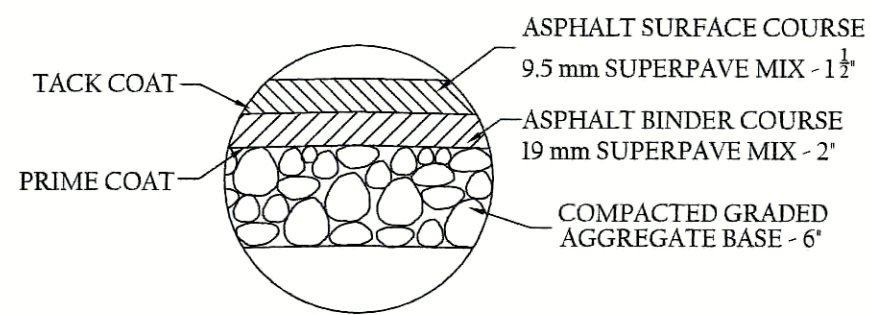
***** NPDES PERMIT REQUIREMENTS *****
IT IS THE DEVELOPER'S RESPONSIBILITY TO ABIDE BY ALL THE RULES AND
REGULATIONS PERTAINING TO THE STATE OF GEORGIA'S NATIONAL POLLUTANT
DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

LEGEND

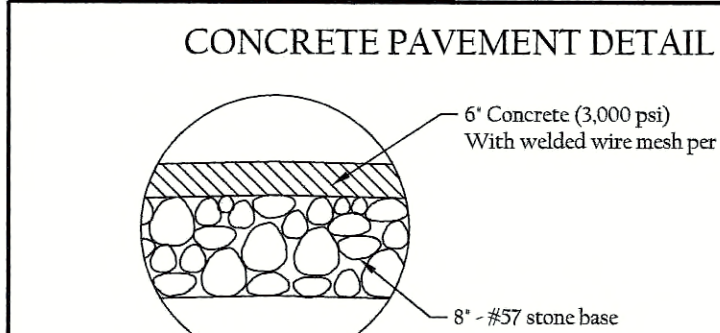
- - - 771 - - - EXISTING MINOR CONTOUR
- - - 770 - - - EXISTING MAJOR CONTOUR
- - - 770 - - - PROPOSED CONTOUR
- SANITARY SEWER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- WATER LINE
- NATURAL GAS LINE
- FIRE HYDRANT
- BENCHMARK
- LP EXISTING LIGHT POLE

**PROPOSED ASPHALT PAVEMENT AREAS
WITHIN DEVELOPMENT**

**PAVEMENT DETAIL FOR AREAS
WITHIN DEVELOPMENT**



**CONCRETE PAVING DETAIL
(DRIVEWAYS)**



**ALL ACCESSIBLE RAMPS AND
ACCESS AISLES SHALL MEET
ALL CODES AND ADAAG REGULATIONS.**

24 Hr Emergency Contact:

**Matt Womack
678-776-6872**

***** CAUTION *****

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MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO
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OF THE CONTRACTOR TO NOTIFY THE ENGINEER.

***** DUMPSTER NOTE *****

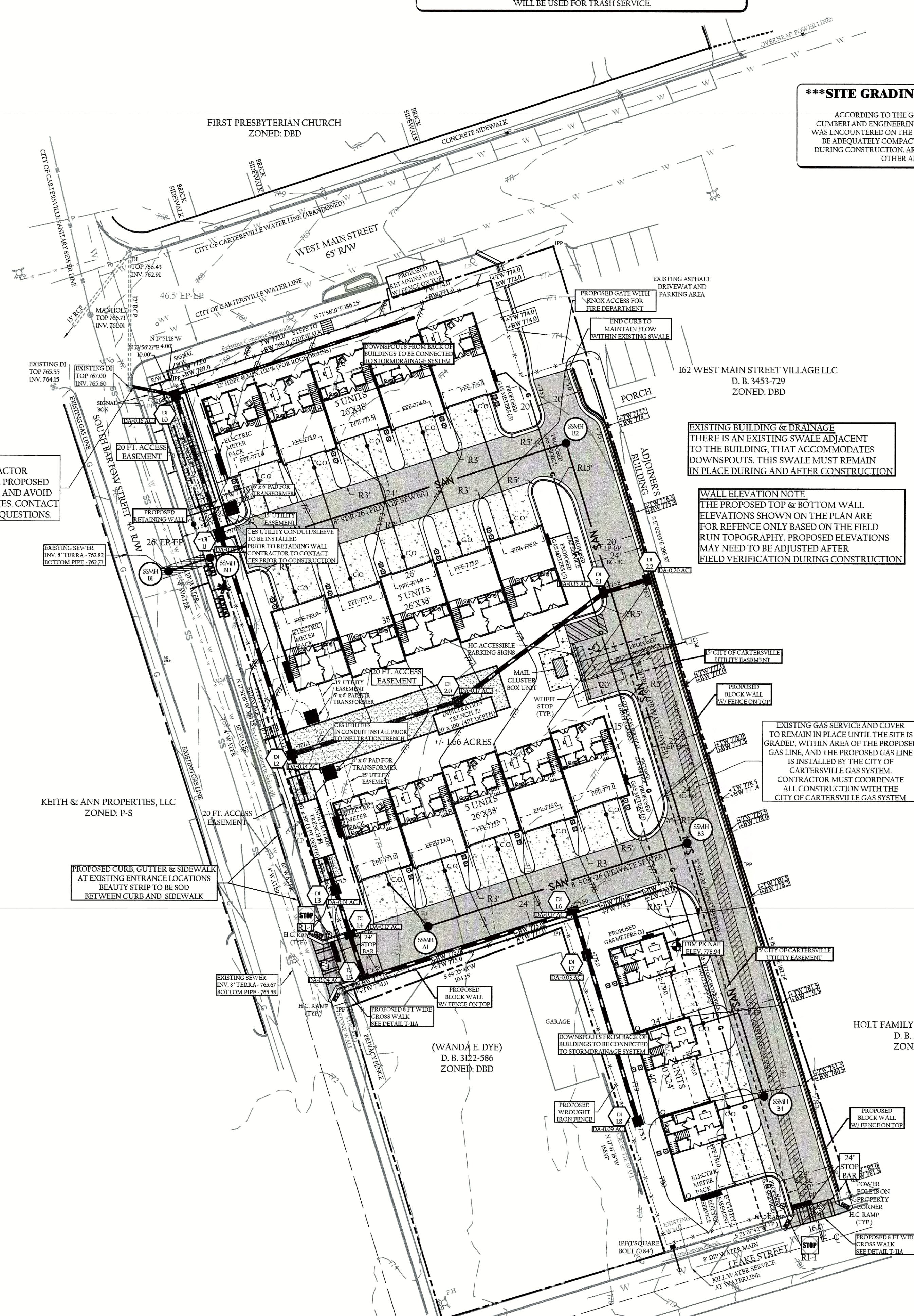
A DUMPSTER IS NOT PROPOSED FOR THIS DEVELOPMENT.
INDIVIDUAL CURBSIDE PICKUP TRASH RECEPTACLES (CURBIES)
WILL BE USED FOR TRASH SERVICE.

***** INSTALLATION OF INFRASTRUCTURE *****

THE OWNER, DEVELOPER, AND CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE
INSTALLATION OF ANY AND ALL INFRASTRUCTURE SHALL COMPLY TO ALL CITY OF CARTERSVILLE
AND ANY APPLICABLE UTILITY COMPANY, RULES, REGULATIONS AND SPECIFICATIONS.
THIS REQUIREMENT APPLIES TO ALL MATERIALS, INSPECTIONS, AND INSTALLATION PROCEDURES,
REQUIRED FOR THIS PROJECT, BY ANY DEPARTMENT OF THE CITY OF CARTERSVILLE. THIS MAY
INCLUDE REQUIREMENTS THAT ARE NOT SHOWN IN SPECIFIC DETAIL ON THIS PLAN, BUT ARE STILL
REQUIRED BY THE CITY OF CARTERSVILLE. IF THERE IS ANY QUESTION PERTAINING TO THIS
REQUIREMENT, THE OWNER, DEVELOPER, AND CONTRACTOR MUST CONTACT THE APPROPRIATE
DEPARTMENT TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH ALL SPECIFICATIONS.

***** SITE GRADING & COMPACTION NOTE *****

ACCORDING TO THE GEOTECHNICAL EVALUATION OF THE SITE BY
CUMBERLAND ENGINEERING CONSULTANTS, SOME EXISTING FILL MATERIAL
WAS ENCOUNTERED ON THE SITE. THIS OLD FILL MATERIAL DID NOT APPEAR TO
BE ADEQUATELY COMPACTED AND MAY REQUIRE SOME REMEDIAL WORK
DURING CONSTRUCTION. AREAS OF EXISTING FILL MAY BE ENCOUNTERED ON
OTHER AREAS OF THE SITE NOT TESTED.

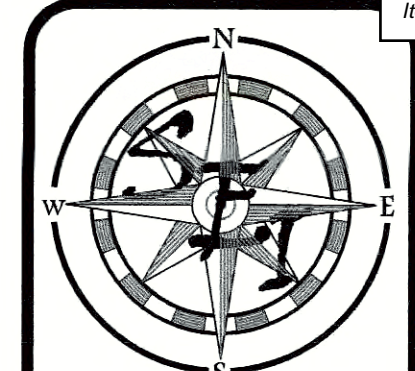
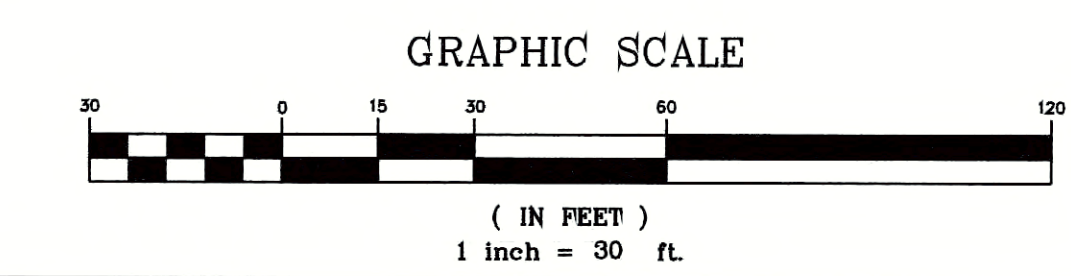


STORMDRAIN INSTALLATION
PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR
AND/OR DEVELOPER MUST VERIFY THAT THE PROPOSED
STORMDRAIN CAN BE INSTALLED AS SHOWN, AND AVOID
ANY CONFLICTS WITH ANY EXISTING UTILITIES. CONTACT
STEPHENSON ENGINEERING, INC. WITH ANY QUESTIONS.

EXISTING BUILDING & DRAINAGE
THERE IS AN EXISTING SWALE ADJACENT
TO THE BUILDING, THAT ACCOMMODATES
DOWNSPOUTS. THIS SWALE MUST REMAIN
IN PLACE DURING AND AFTER CONSTRUCTION.

WALL ELEVATION NOTE
THE PROPOSED TOP & BOTTOM WALL
ELEVATIONS SHOWN ON THE PLAN ARE
FOR REFERENCE ONLY BASED ON THE FIELD
RUN TOPOGRAPHY. PROPOSED ELEVATIONS
MAY NEED TO BE ADJUSTED AFTER
FIELD VERIFICATION DURING CONSTRUCTION.

EXISTING GAS SERVICE AND COVER
TO REMAIN IN PLACE UNTIL THE SITE IS
GRADED, WITHIN AREA OF THE PROPOSED
GAS LINE, AND THE PROPOSED GAS LINE
IS INSTALLED BY THE CITY OF
CARTERSVILLE GAS SYSTEM.
CONTRACTOR MUST COORDINATE
ALL CONSTRUCTION WITH THE
CITY OF CARTERSVILLE GAS SYSTEM.



**STEPHENSON
ENGINEERING, INC.**
CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 20088
110 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30201
PHONE: (770) 382-7977
FAX: (770) 382-3742

REVISION	DATE



THE HOLDER OF THIS DOCUMENT WAIVES
ALL CLAIMS AGAINST STEPHENSON
ENGINEERING, INC. FOR ANY
UNAUTHORIZED CHANGES OR REUSE OF
THIS DOCUMENT. THE DOCUMENT IS AN
INSTRUMENT OF SERVICE OF STEPHENSON
ENGINEERING, INC. AND THE HOLDER
RETAINS ALL RIGHTS OF COMMON LAW,
STATUTE AND COPYRIGHT THEREOF.

OWNER/DEVELOPER:
City Overlook Cartersville, LLC
P.O. Box 3605
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbro.com

City Overlook
Located in Land Lot 18
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
**Site &
Grading Plan**

SHEET NO.
C2.1

CITY OVERLOOK - BUILDING 1

CITY OVERLOOK CARTERSVILLE, GA 30120



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ARCHITECT / ENGINEER SEAL

CONTACT INFO.

OWNER:
WOMACK CUSTOM HOMES
706 ROWLAND SPRINGS RD
CARTERSVILLE, GA 30121
678-776-6872

CONTRACTOR:
WOMACK CUSTOM HOMES
706 ROWLAND SPRINGS RD
CARTERSVILLE, GA 30121
678-776-6872

STRUCTURAL ENGINEER:
PALMER CONSTRUCTION CONSULTANTS, INC.
DAVID PALMER, PE
2755 ANTIOCH ROAD
CUMMING, GA 30040

CONST. TYPE

PRODUCT:
THREE & 1/2 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION:
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE V-B TWO HOUR SEPARATION BETWEEN UNITS
SPRINKLERS NOT REQUIRED

PERSPECTIVE



DRAWING INDEX

AO - GENERAL INFO		
AO - GENERAL INFO	A0.00	COVER SHEET
AO - GENERAL INFO	A0.01	PERSPECTIVE VIEWS
A1 - ELEVATIONS		
A1 - ELEVATIONS	A1.01	FRONT ELEVATION
A1 - ELEVATIONS	A1.02	RIGHT & LEFT ELEVATIONS
A1 - ELEVATIONS	A1.03	REAR ELEVATION
A2 - PLANS		
A2 - PLANS	A2.01	FIRST FLOOR PLAN
A2 - PLANS	A2.02	SECOND FLOOR PLAN
A2 - PLANS	A2.03	THIRD FLOOR PLAN
A2 - PLANS	A2.04	FOURTH FLOOR PLAN
A2 - PLANS	A2.05	ROOF PLAN
A4 - SCHEDULES & TAKEOFFS		
A4 - SCHEDULES & TAKEOFFS	A4.01	SCHEDULES
A4 - SCHEDULES & TAKEOFFS	A4.02	TAKEOFFS

REVISION NOTES

REV #	DATE	DESCRIPTION

KEY PLAN



PLAN OVERVIEW

A) HEATED	
TERRACE FINISHED	442 SF
FIRST FLOOR HEATED	926 SF
SECOND FLOOR	919 SF
THIRD FLOOR	591 SF
	2877 SF
B) UNHEATED	
TWO-CAR GARAGE	546 SF
	546 SF
C) PORCHES & PATIOS	
3RD FLOOR ROOF DECK	129 SF
FIRST FLOOR DECK	206 SF
FIRST FLOOR JULIET BALCONY	80 SF
	414 SF

BUILDING CODE SUMMARY

ALL CONSTRUCTION TO COMPLY WITH THE LOCAL CODES AND ORDINANCES OF THE JURISDICTION.

APPLICABLE CODES:

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, GEORGIA STATE SUPPLEMENTS AND AMENDMENTS.

INTERNATIONAL BUILDING CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL RESIDENTIAL CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL PLUMBING CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL MECHANICAL CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL FUEL GAS CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL ENERGY CONSERVATION CODE: 2015 EDITION, WITH GA SUPPLEMENTS AND AMENDMENTS (2020)

INTERNATIONAL FIRE CODE: 2018 EDITION

NATIONAL ELECTRICAL CODE: 2017 EDITION

MM/DD/YYYY	9-1-23
REVISION	DESIGN DEVELOPMENT SET

COVER SHEET
CITY OVERLOOK
CARTERSVILLE, GA 30120

A0.00



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ARCHITECT / ENGINEER SEAL



REVISION	MM/DD/YYYY	
DESIGN DEVELOPMENT	9-1-23	



PERSPECTIVE VIEWS
CITY OVERLOOK
CARTERSVILLE, GA 30120

A0.01



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ARCHITECT / ENGINEER SEAL



1 BUILDING 1 - FRONT ELEVATION
3/16" = 1'-0"

REVISION	DATE	BY	APP
MMDDYYYY			

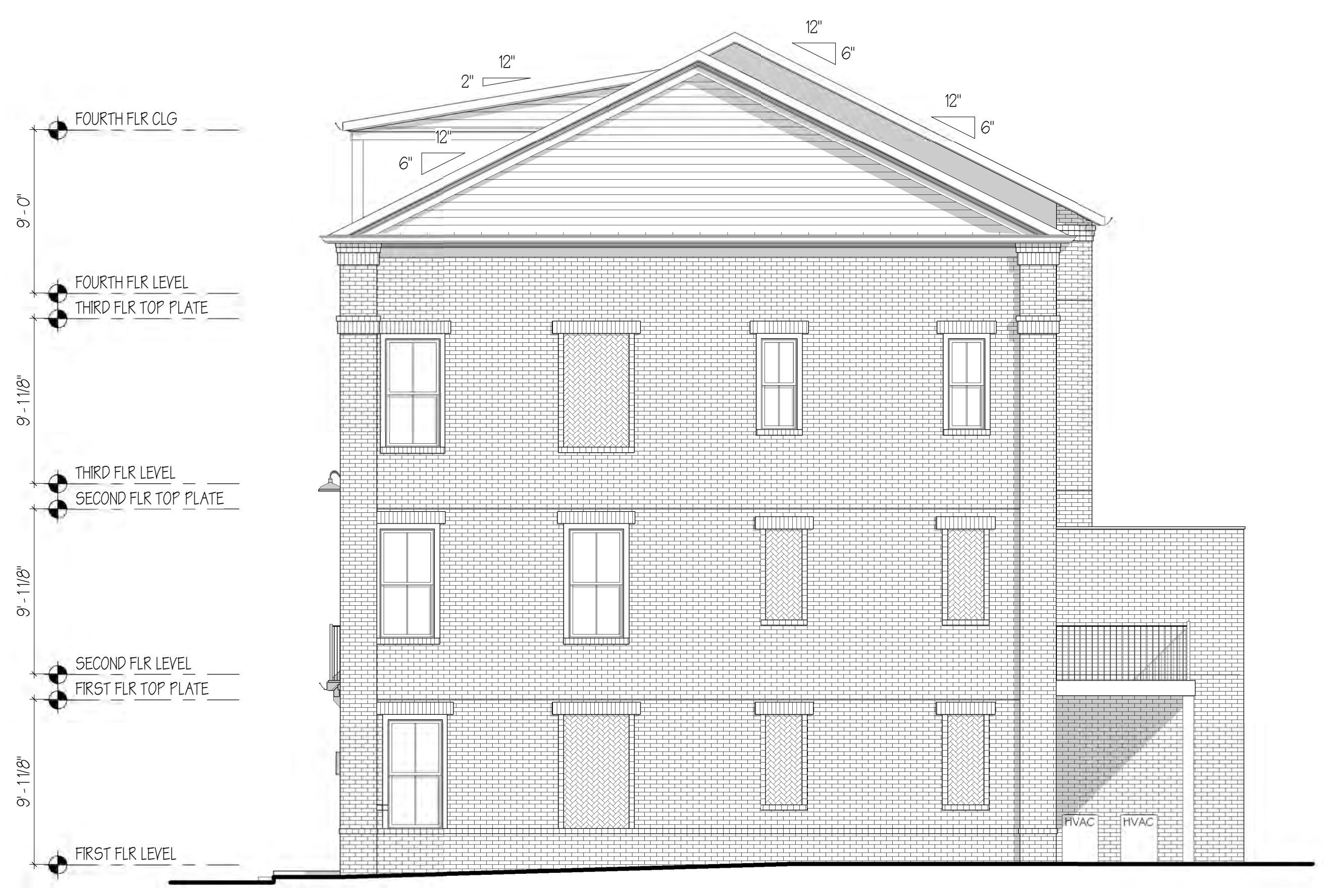
FRONT ELEVATION
 CITY OVERLOOK
 CARTERSVILLE, GA 30120

A1.01

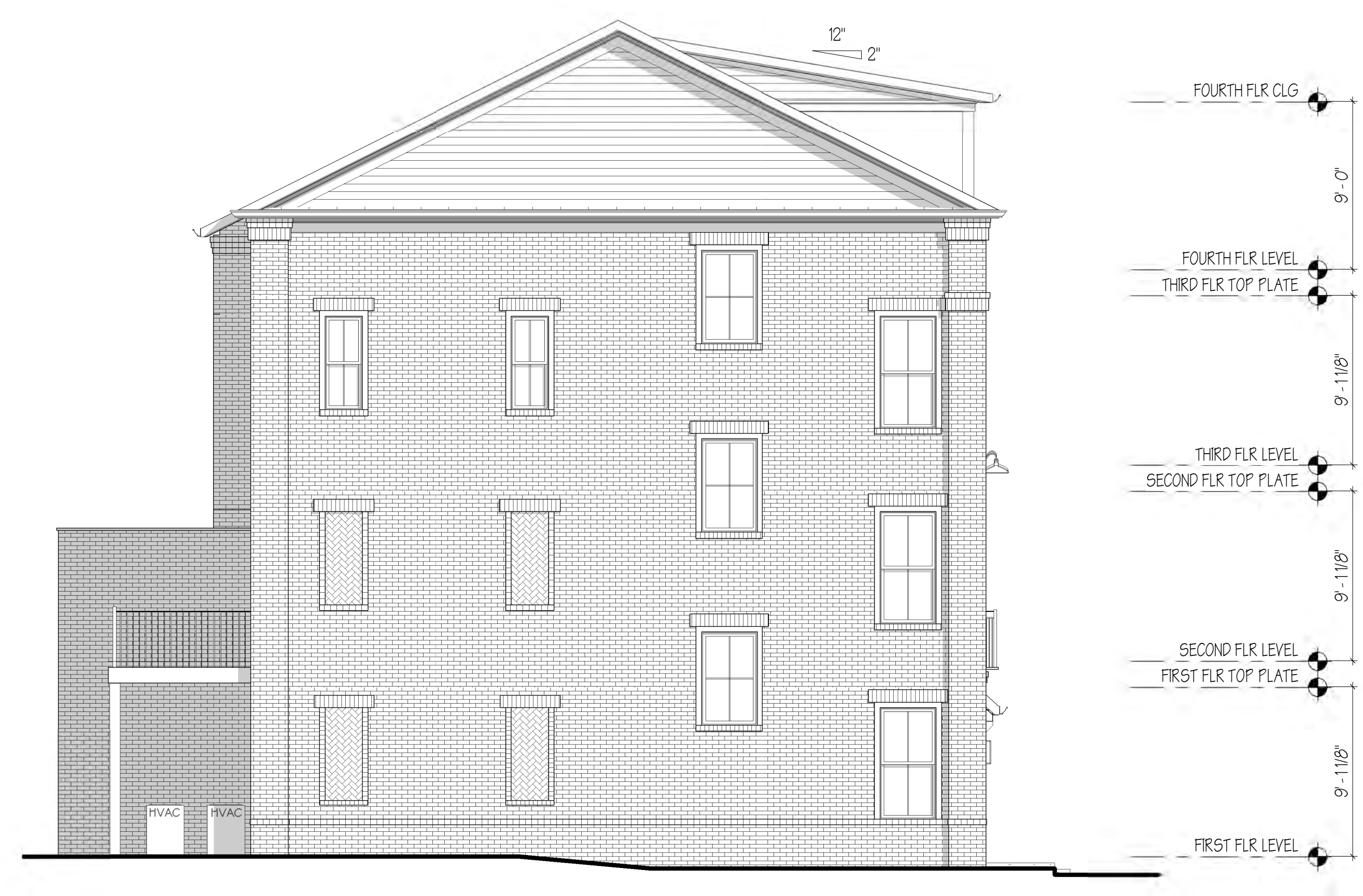


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ARCHITECT / ENGINEER SEAL



① BUILDING 1 - RIGHT ELEVATION
3/16" = 1'-0"



② BUILDING 1 - LEFT ELEVATION
3/16" = 1'-0"

REVISION	MMDD/YYYY	
DESIGN DEVELOPMENT	9-1-23	

RIGHT & LEFT ELEVS.
CITY OVERLOOK
CARTERSVILLE, GA 30120

A1.02



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ARCHITECT / ENGINEER SEAL



① BUILDING 1 - REAR ELEVATION
3/16" = 1'-0"

REVISION	MM/DD/YYYY	
DESIGN DEVELOPMENT		9-1-23

REAR ELEVATION
CITY OVERLOOK
CARTERSVILLE, GA 30120

A1.03



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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

A2.01



1 BUILDING 1 - FIRST FLOOR LEVEL
3/16" = 1'-0"



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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	
DESIGN DEVELOPMENT	9-1-23	

SECOND FLOOR PLAN
 CITY OVERLOOK
 CARTERSVILLE, GA 30120

A2.02



1 BUILDING 1 - SECOND FLOOR LEVEL
 3/16" = 1'-0"



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REVISION	MMDDYYYY	
	9-1-23	
	DESIGN DEVELOPMENT	

THIRD FLOOR PLAN
 CITY OVERLOOK
 CARTERSVILLE, GA 30120

A2.03



1 BUILDING 1 - THIRD FLOOR LEVEL
 3/16" = 1'-0"



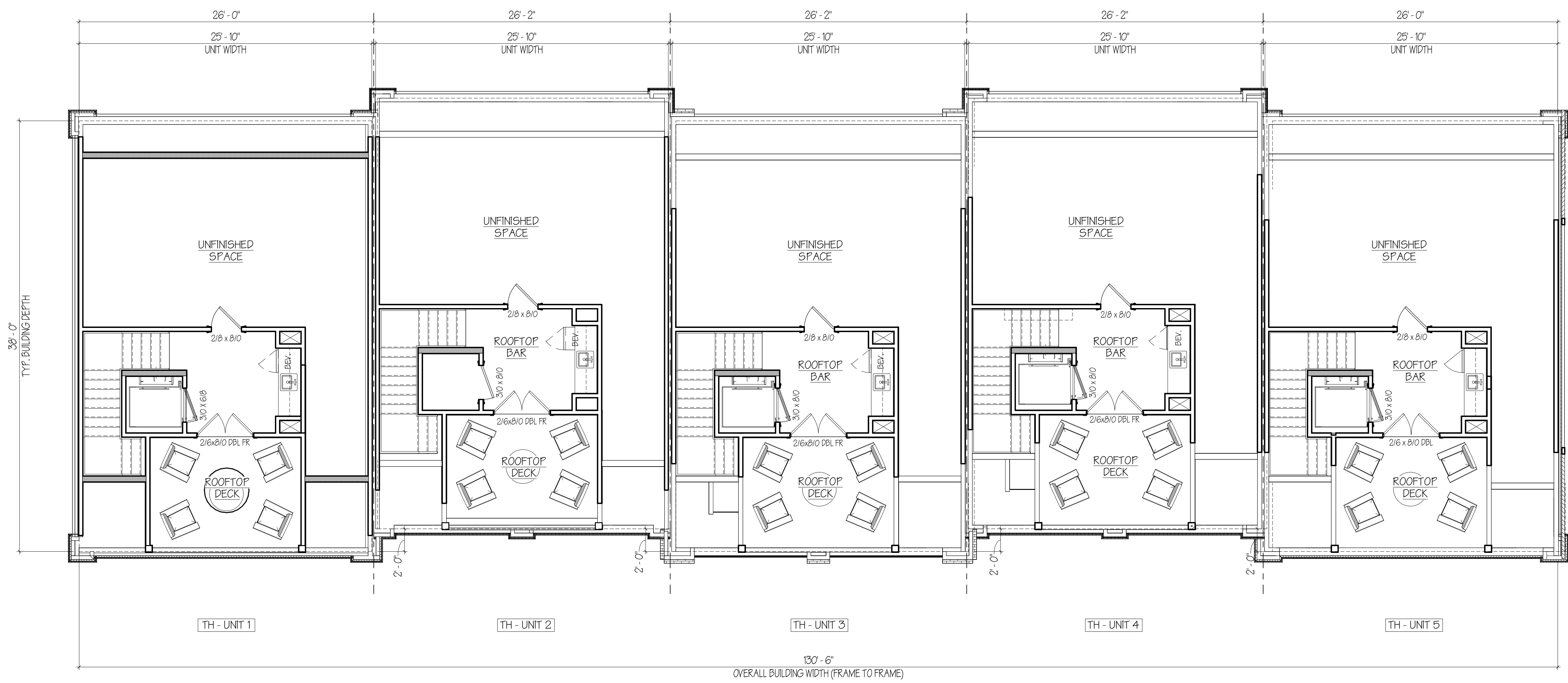
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FOURTH FLOOR PLAN
 CITY OVERLOOK
 CARTERSVILLE, GA 30120

A2.04

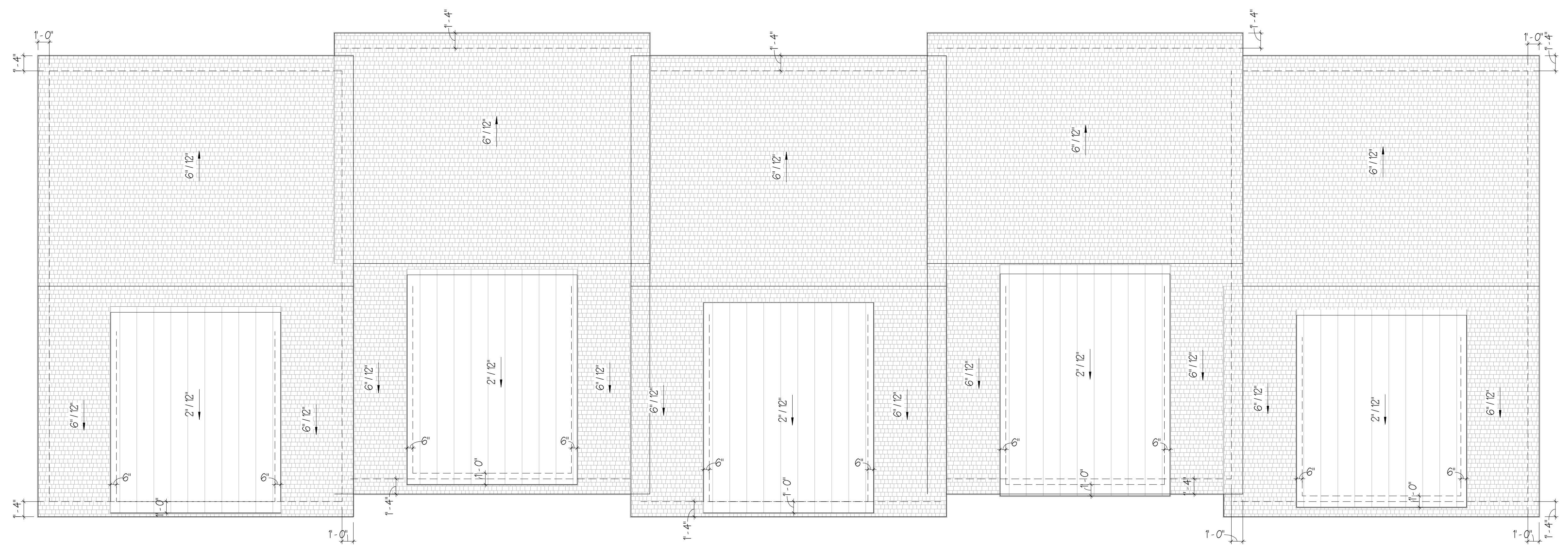


① BUILDING 1 - FOURTH FLOOR LEVEL
 3/16" = 1'-0"



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ARCHITECT / ENGINEER SEAL



① BUILDING 1 - ROOF LEVEL
3/16" = 1'-0"

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

ROOF PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

A2.05

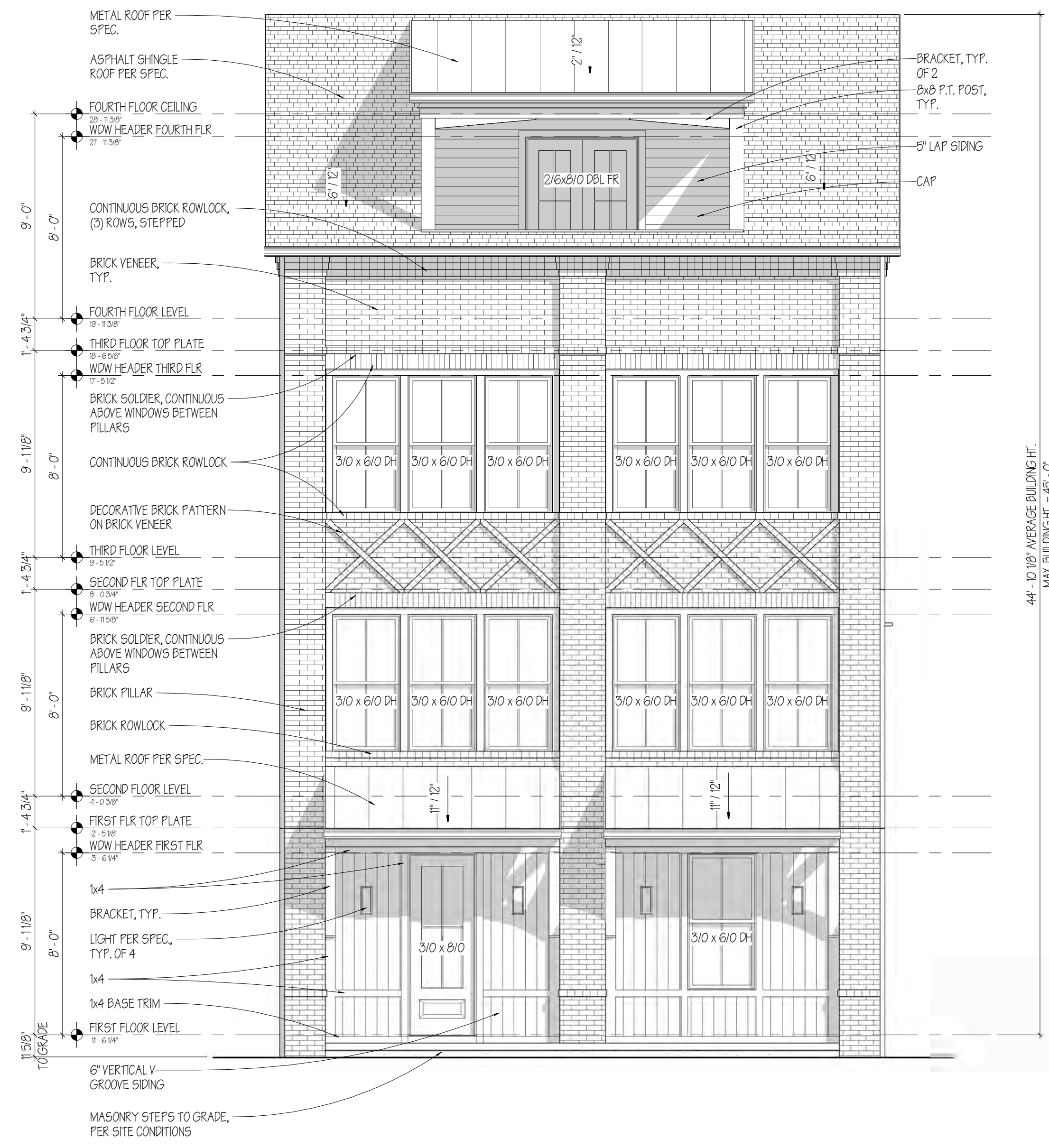
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ARCHITECT / ENGINEER SEAL

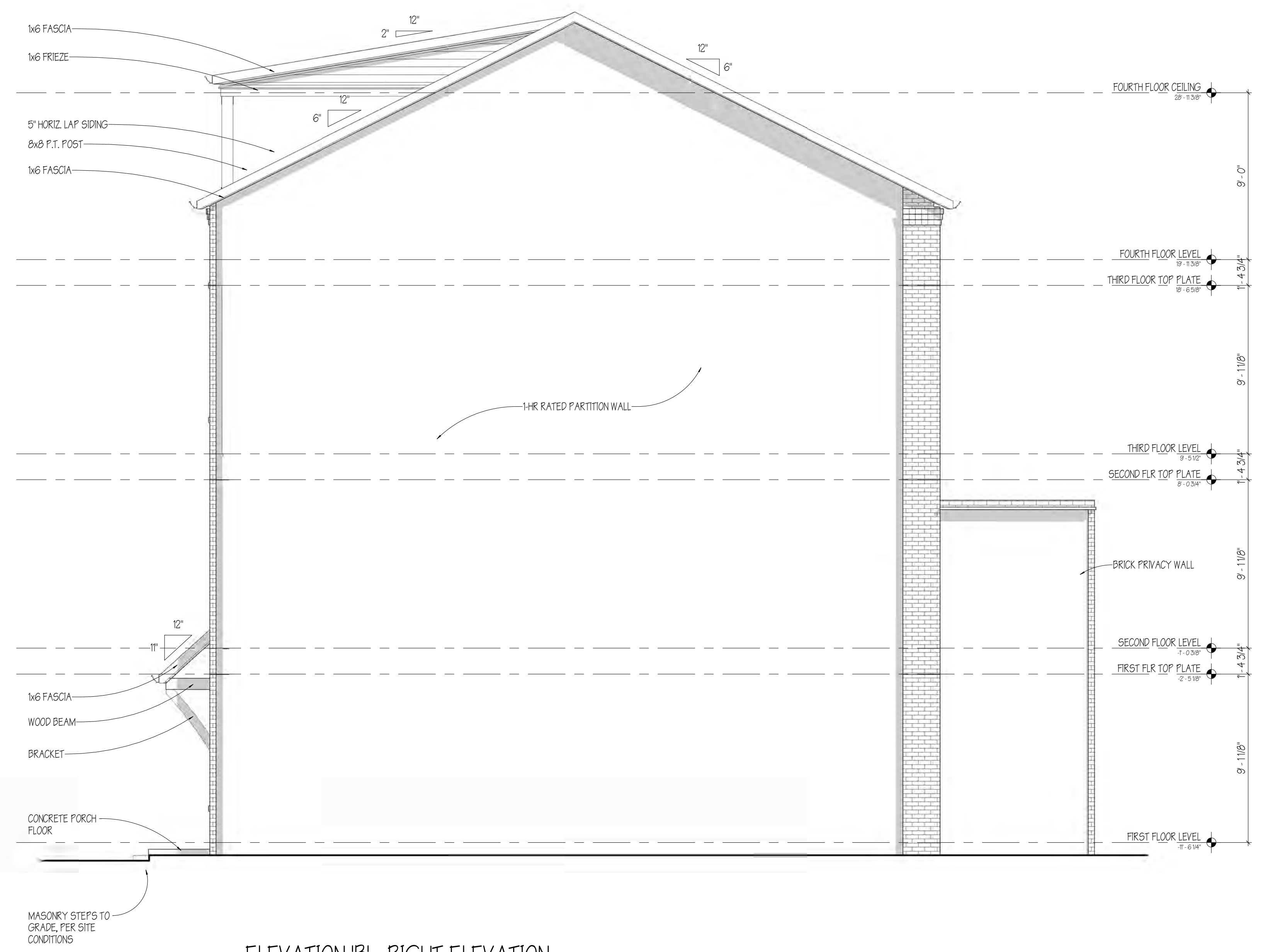
REVISION	MMIDDYYYY	9-1-23
DESIGN DEVELOPMENT		

FRONT/ RIGHT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.01



① ELEVATION 'B' - FRONT ELEVATION
1/4" = 1'-0"



② ELEVATION 'B' - RIGHT ELEVATION
1/4" = 1'-0"

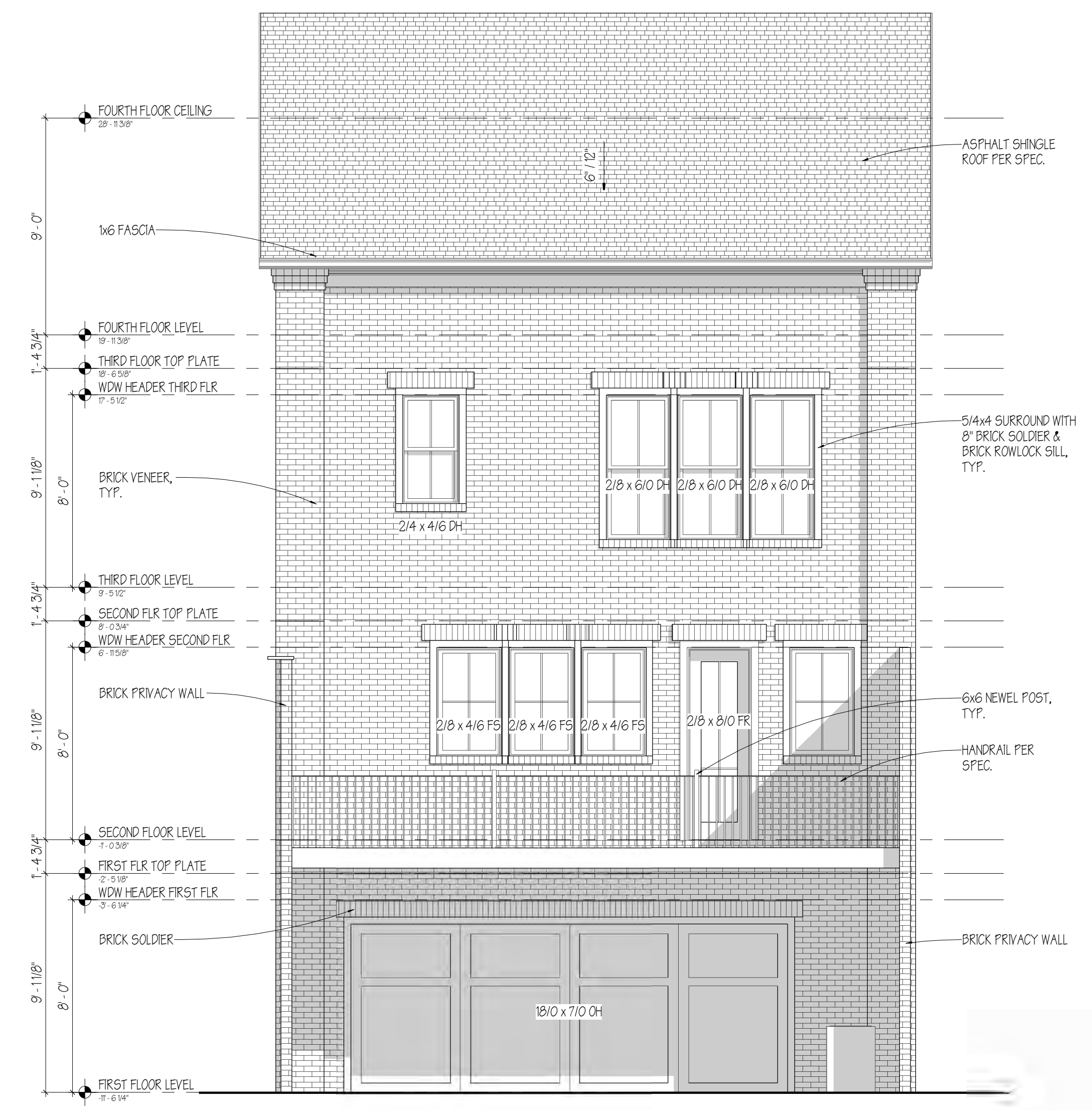
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ARCHITECT / ENGINEER SEAL

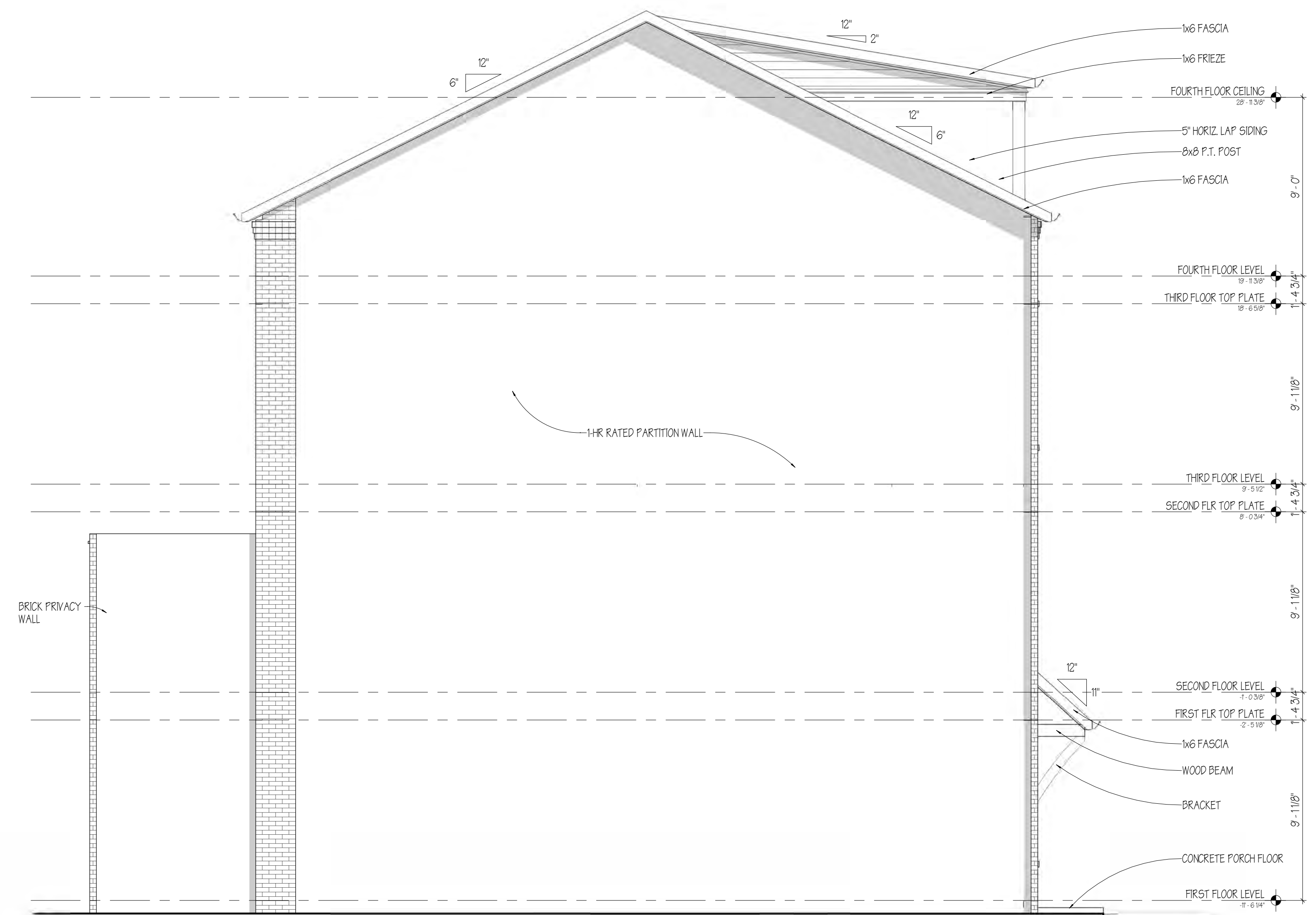
REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

REAR/ LEFT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.02



① ELEVATION 'B' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'B' - LEFT ELEVATION
1/4" = 1'-0"

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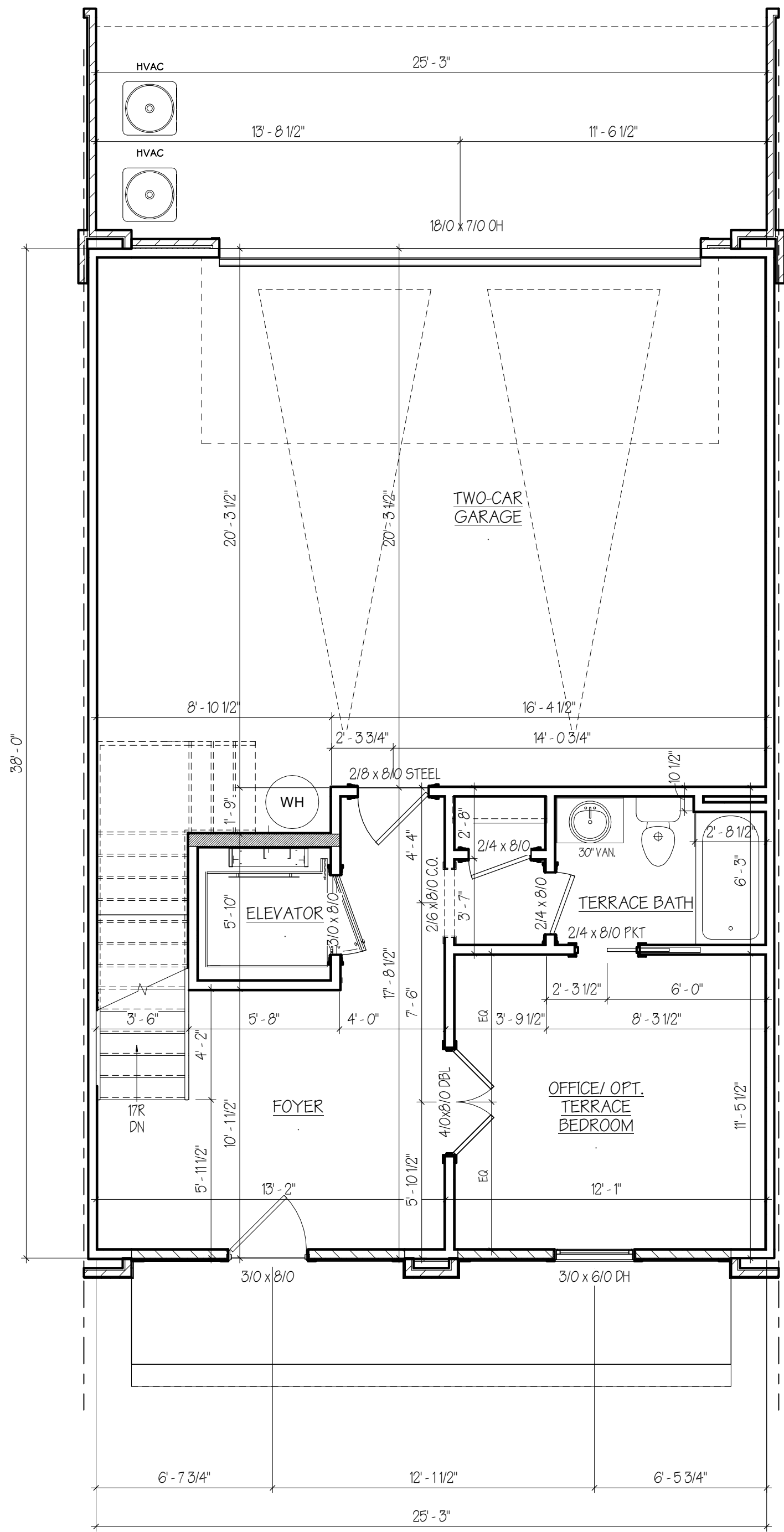
ARCHITECT / ENGINEER SEAL

MM/DD/YYYY	9-1-23
REVISION	DESIGN DEVELOPMENT

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

A2.01

- GENERAL**
- CEILING:**
 - ALL TERRACE LEVEL CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - DOORS:**
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 2"
 - WINDOWS:**
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WxH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.**
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.**
 - FRAME/PURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.**
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.**
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.**
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - FIRST FLOOR LEVEL
1/4" = 1'-0"



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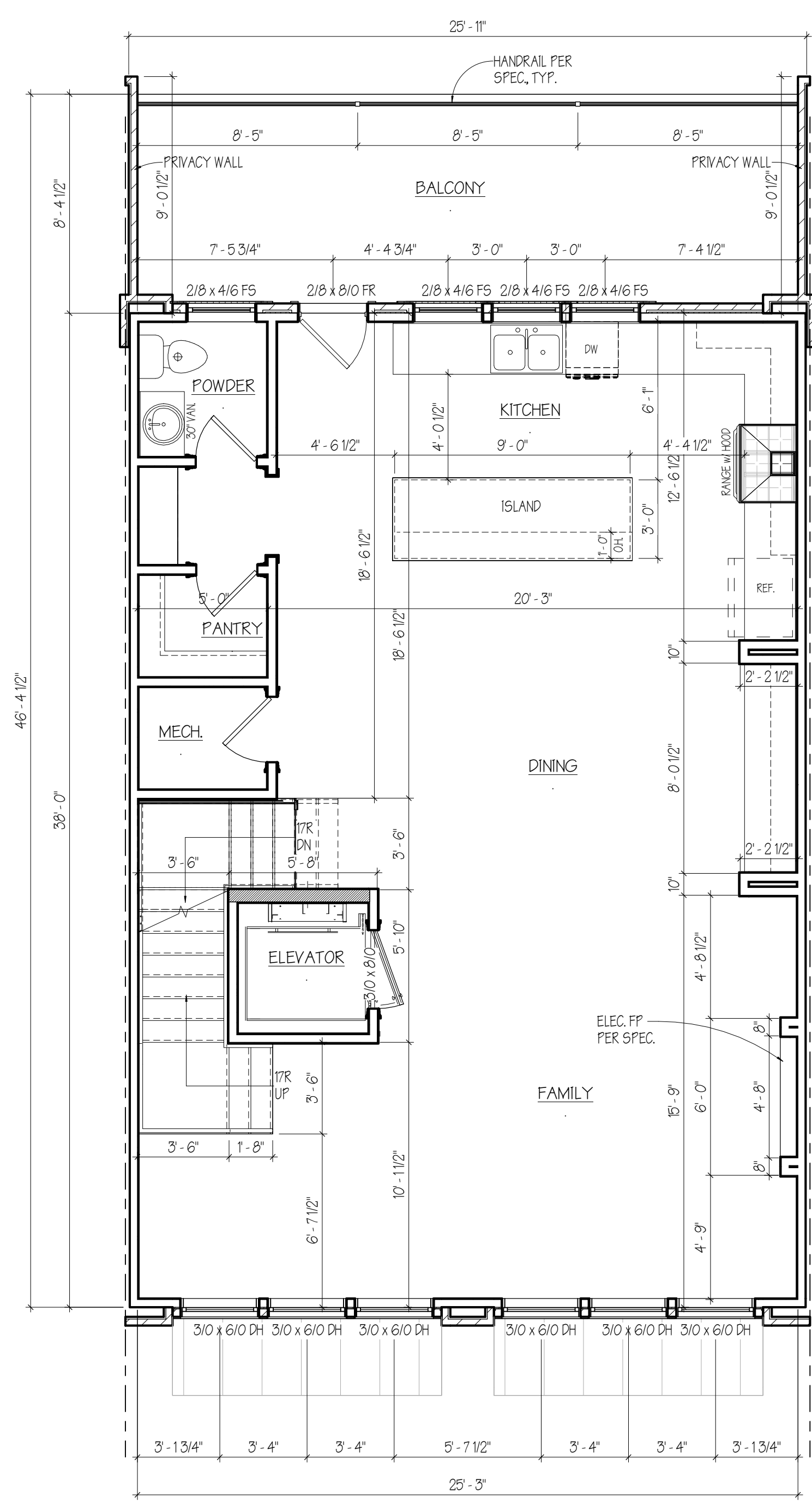
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

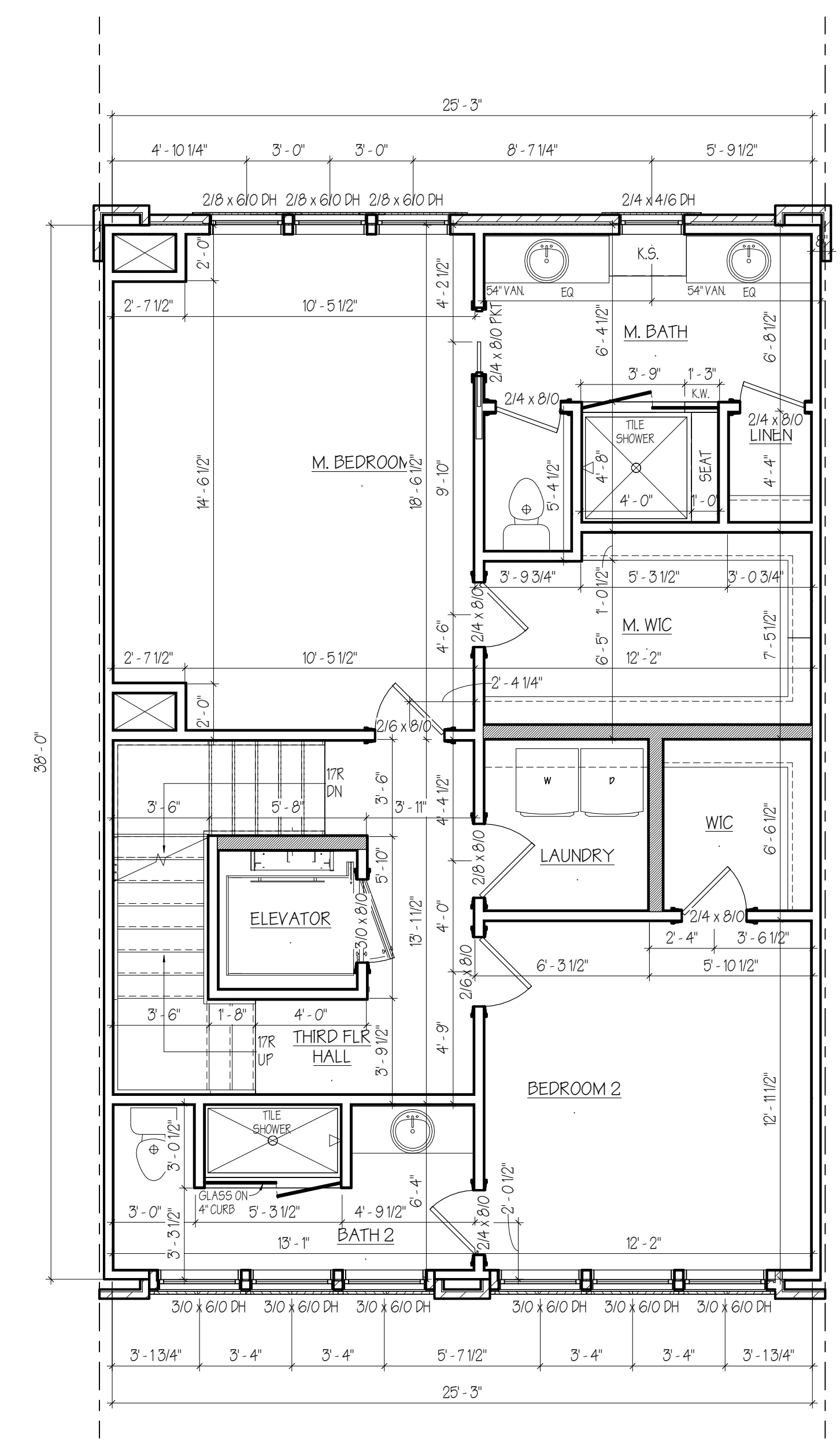
SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.02

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WITH +1" HEIGHT +0"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/RRR OUT AT TIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE SIKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - THIRD FLOOR PLAN
1/4" = 1'-0"

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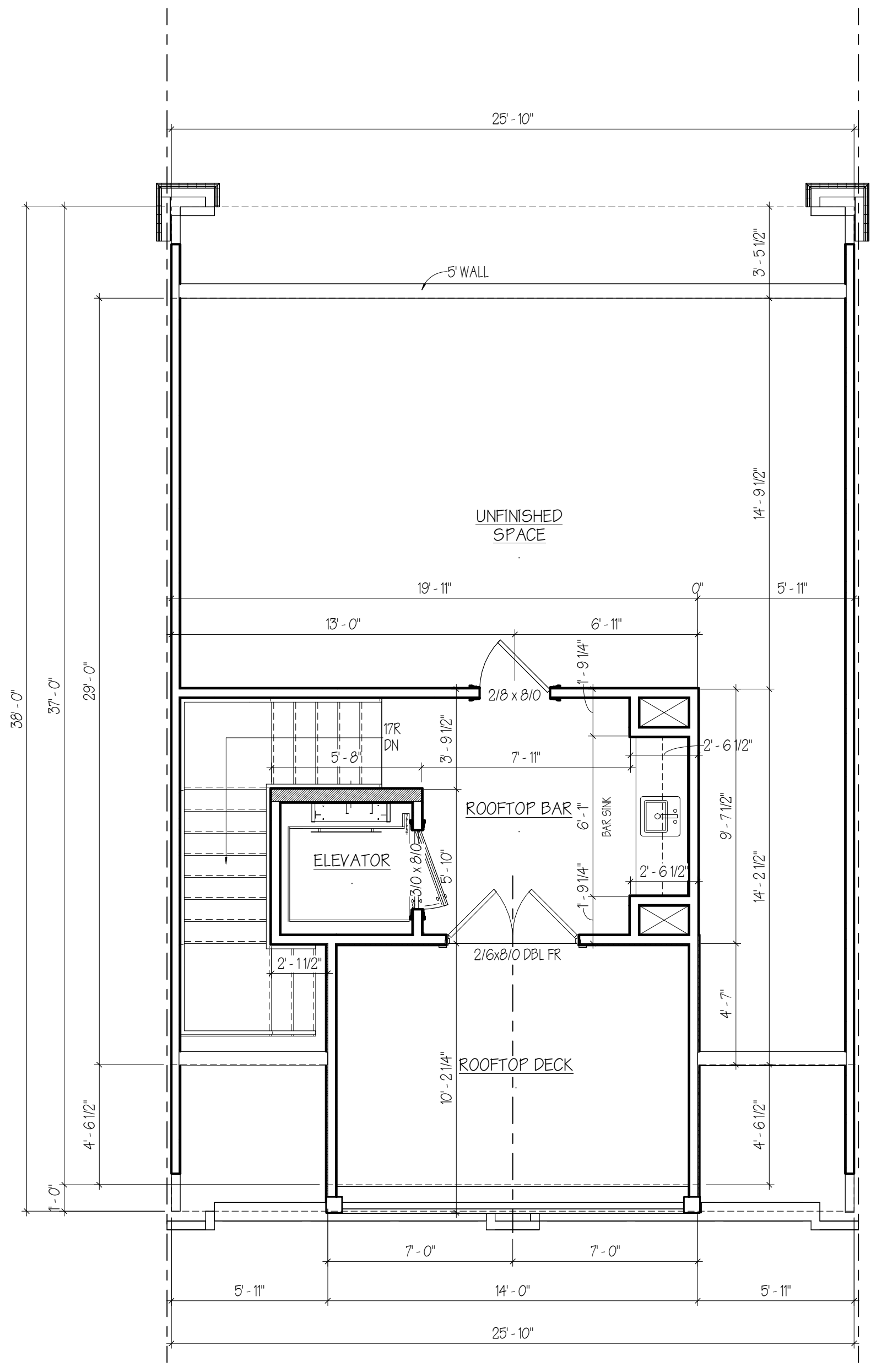
ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	
	9-1-23	
	DESIGN DEVELOPMENT	

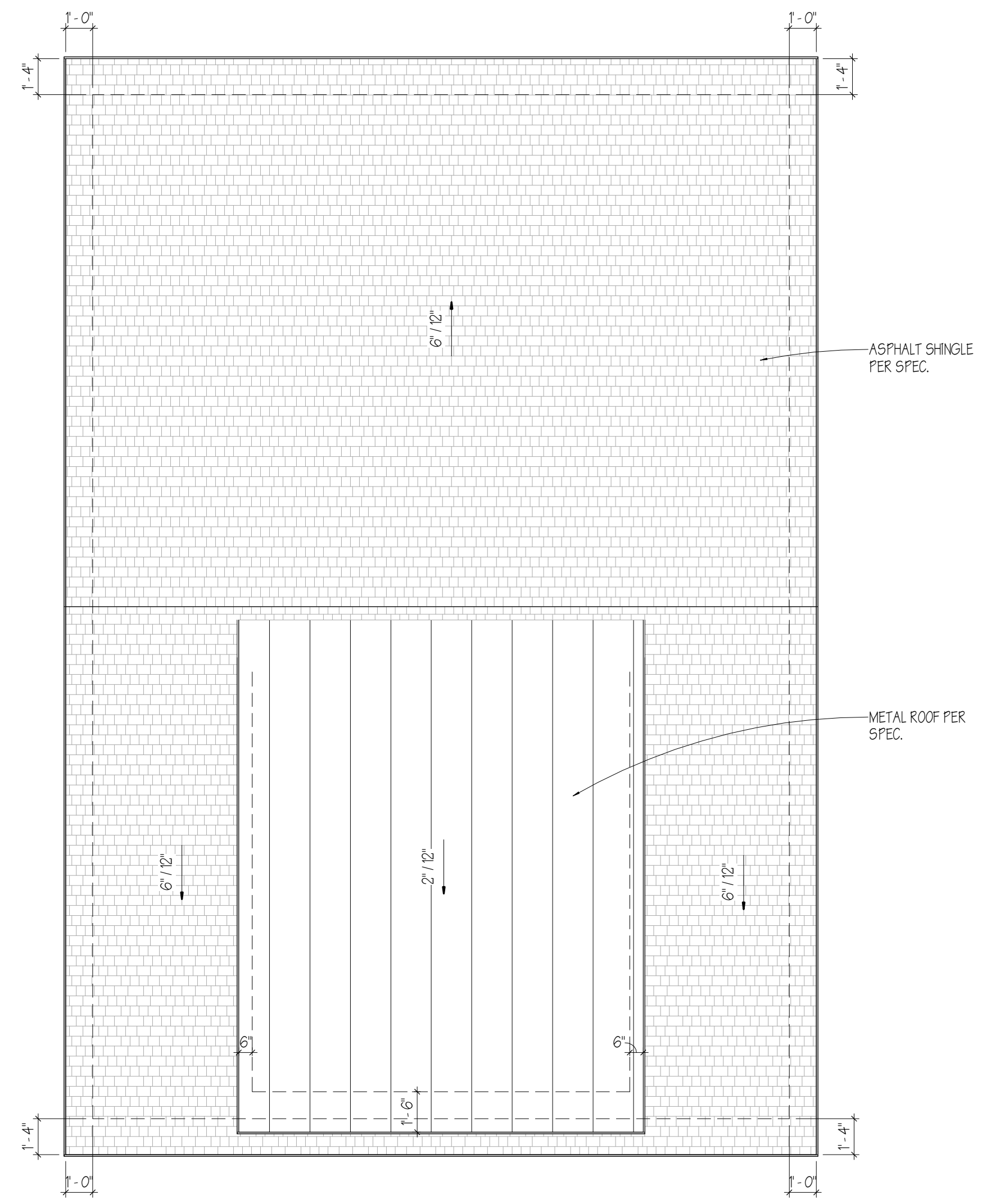
FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.03

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOORSET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL YORK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - IN-DOOR ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR/OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - ROOF LEVEL
1/4" = 1'-0"



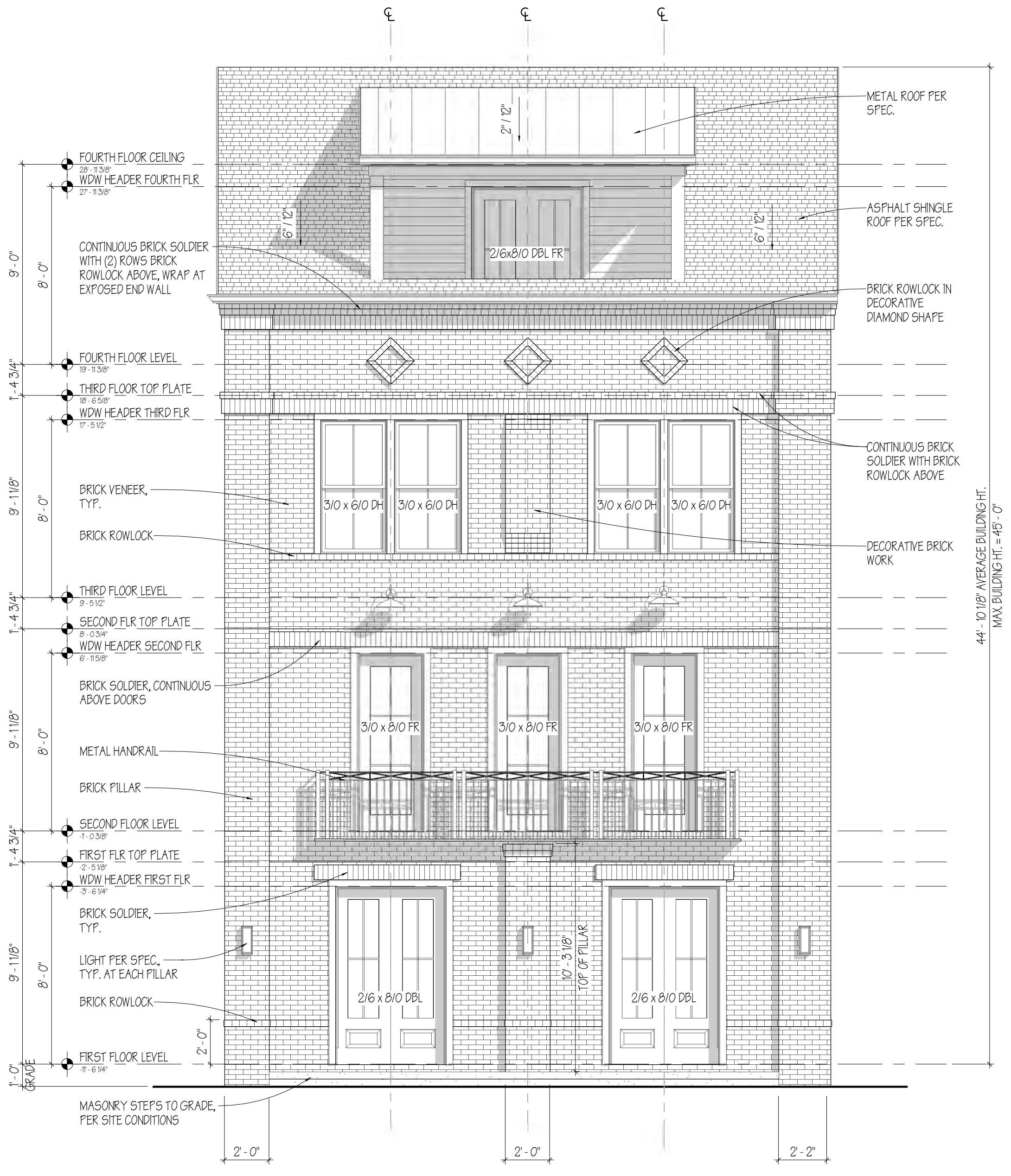
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ARCHITECT / ENGINEER SEAL

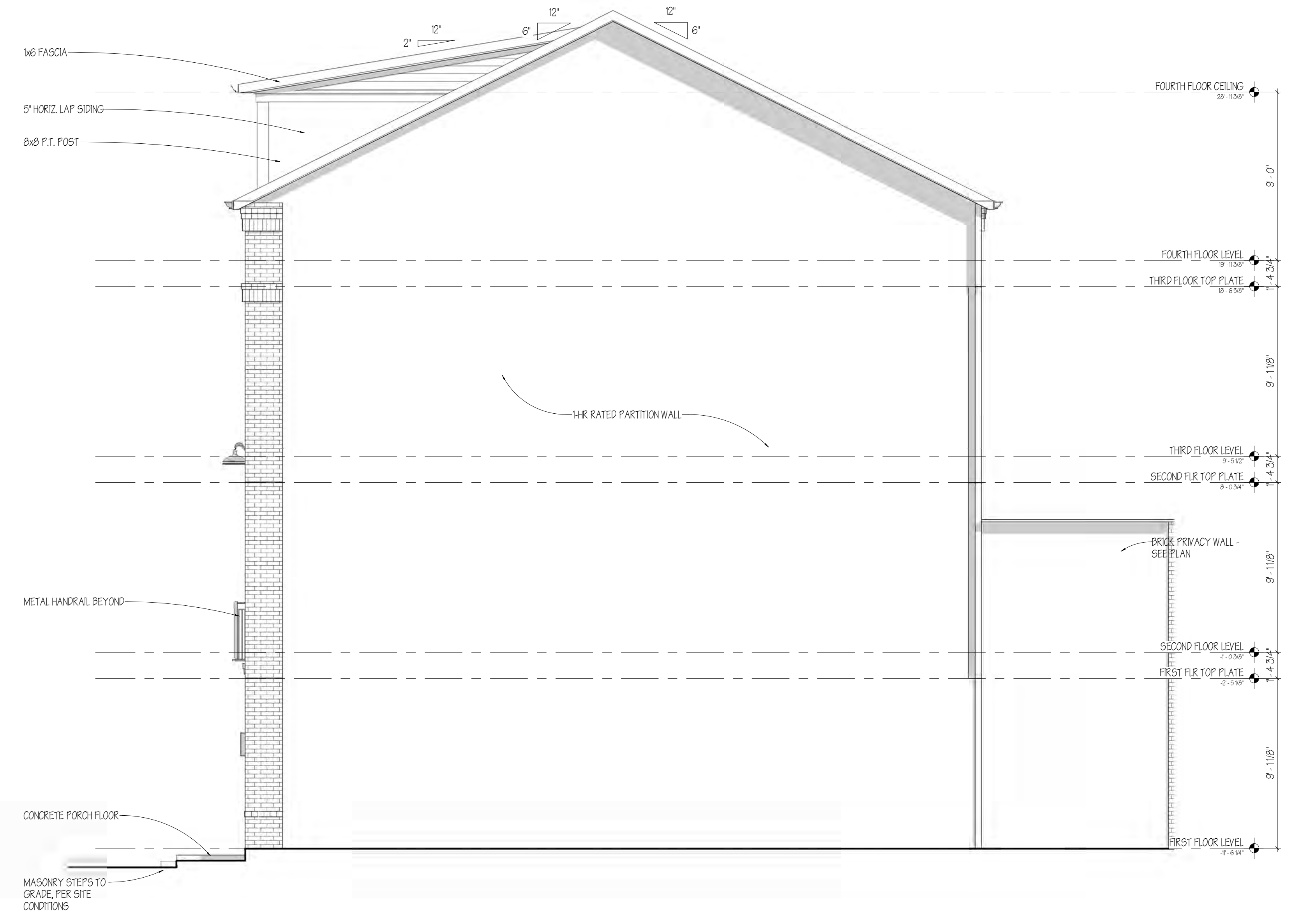
REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

FRONT / RIGHT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.01



① ELEVATION 'A' - FRONT ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - RIGHT ELEVATION
1/4" = 1'-0"



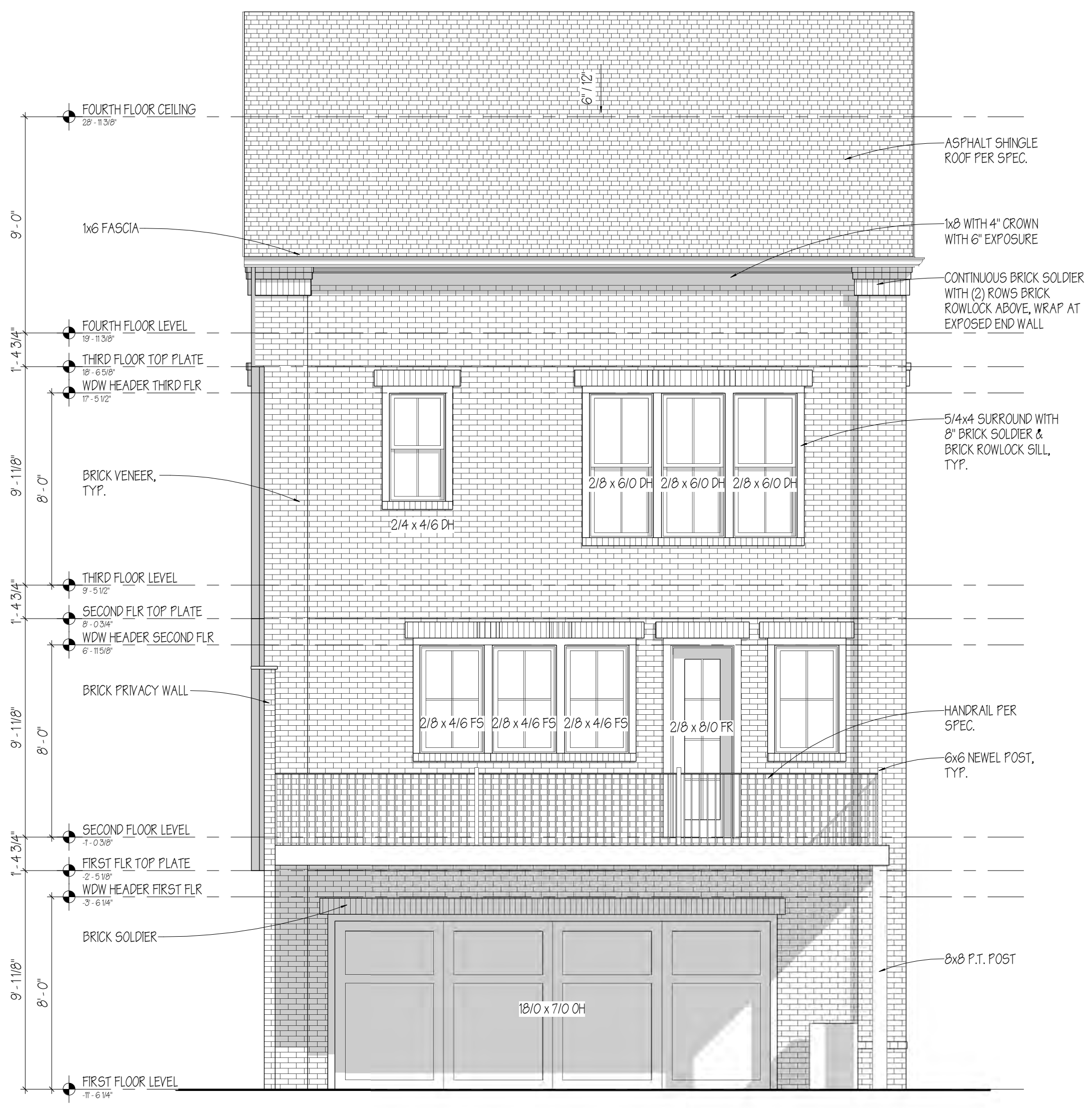
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

REAR/ LEFT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.02



① ELEVATION 'A' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - LEFT ELEVATION
1/4" = 1'-0"



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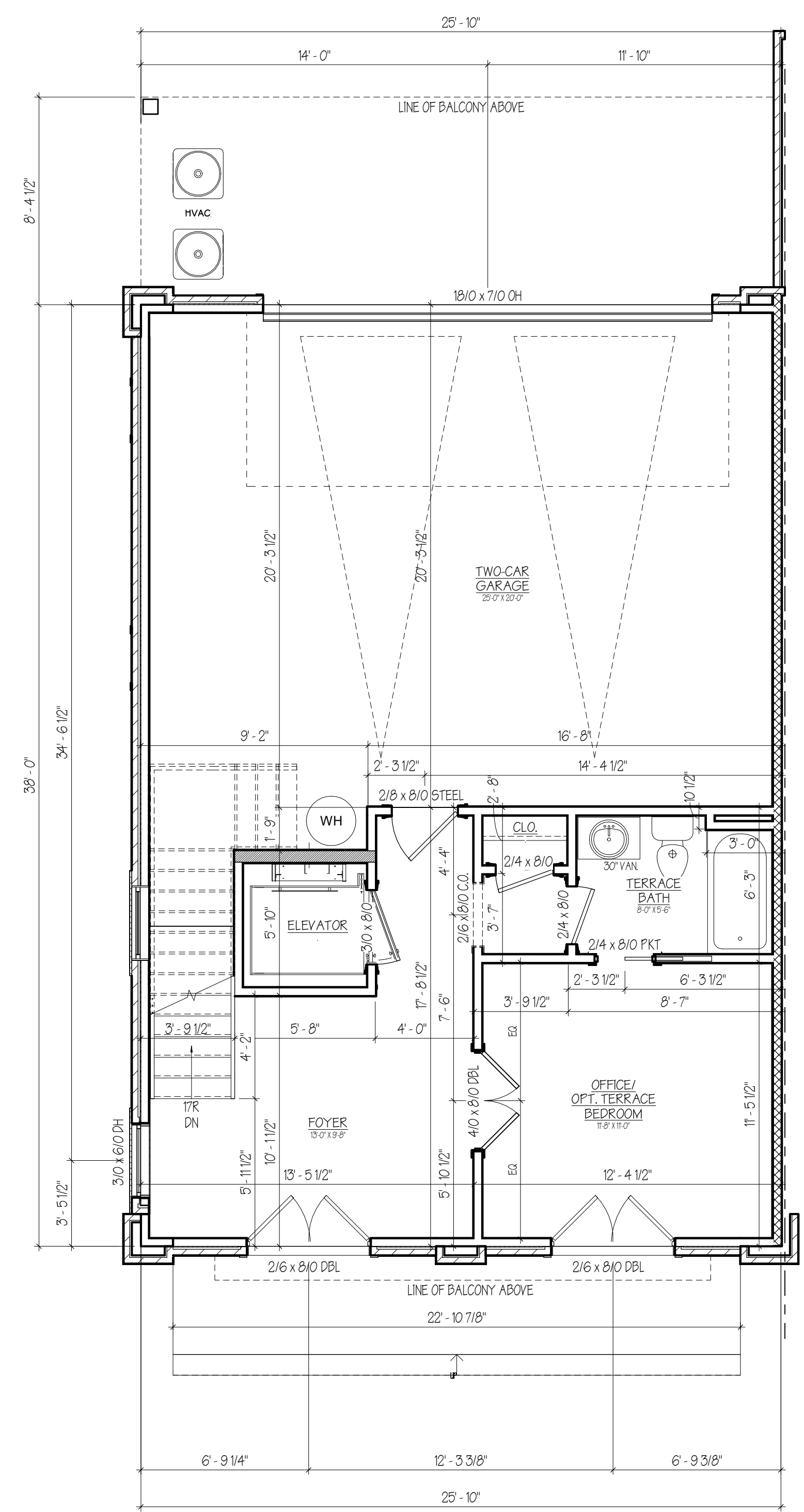
ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

A2.01

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" x HEIGHT + 6"
 - WINDOWS:
 - ALL YORK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5/16" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE KORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - FIRST FLOOR LEVEL
1/4" = 1'-0"



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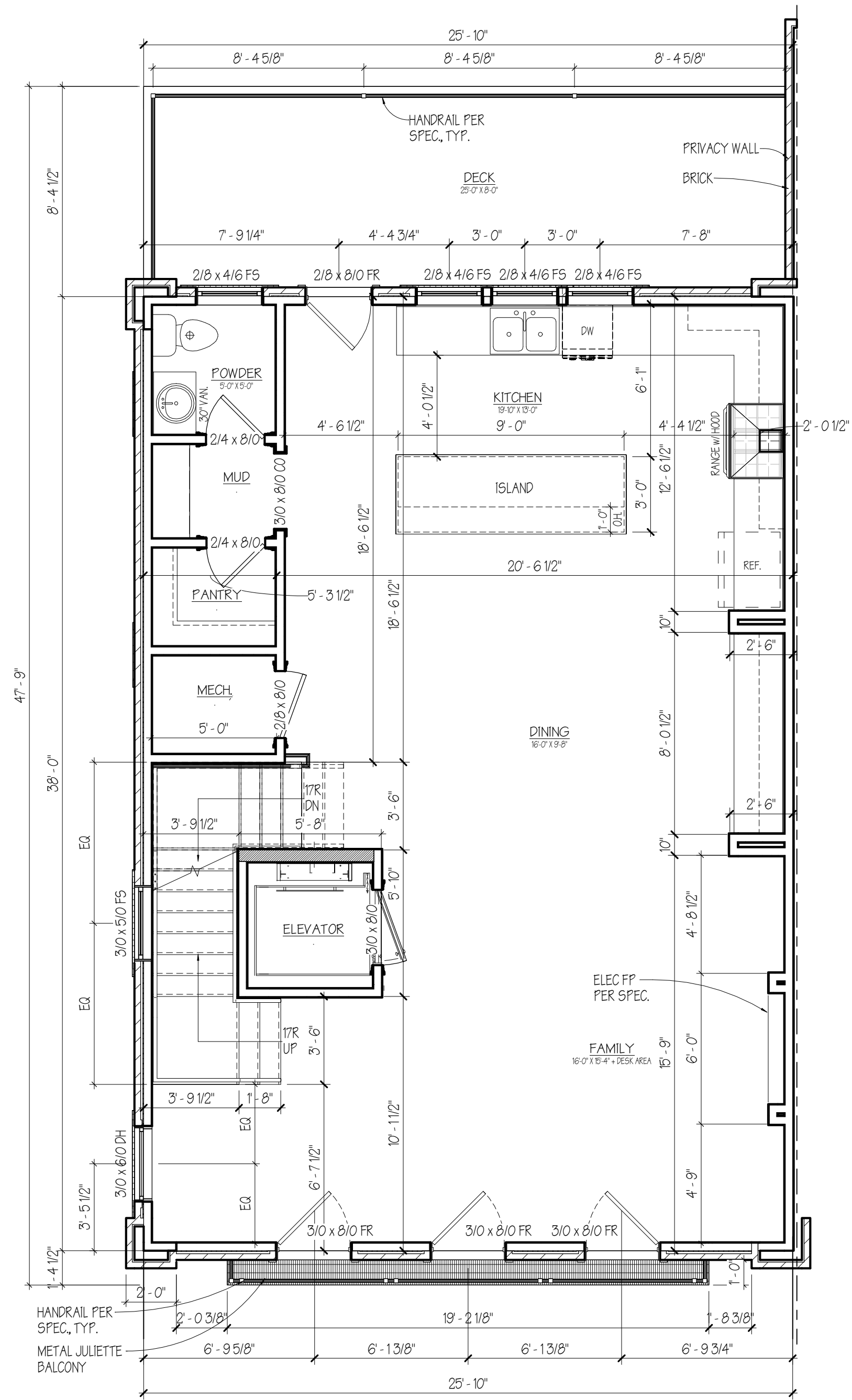
ARCHITECT / ENGINEER SEAL

REVISION	DESIGN DEVELOPMENT
MM/DD/YYYY	9-1-23

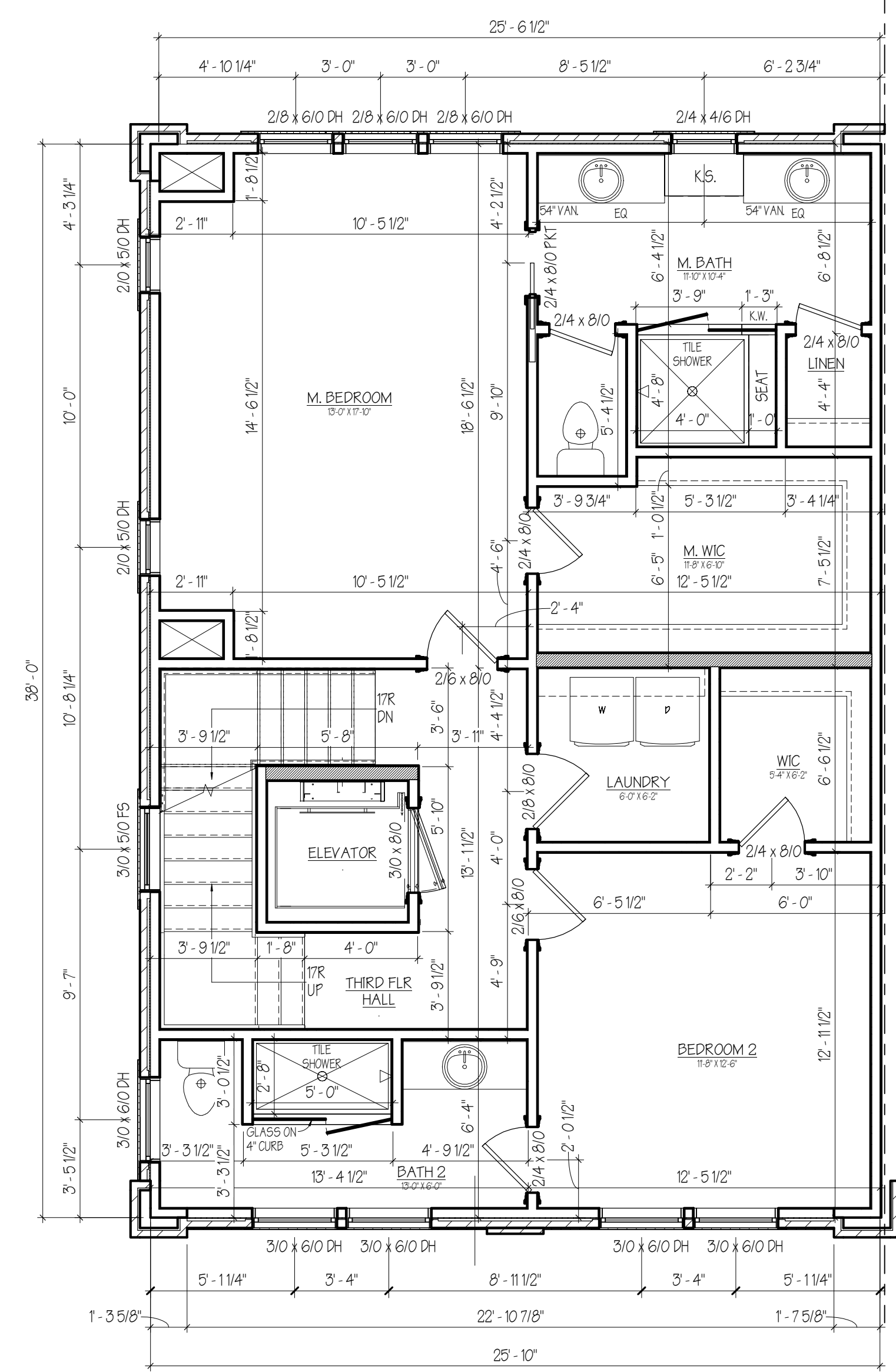
SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.02

- GENERAL**
- CEILING: ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL), UNO. ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL), UNO. ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS: ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO. ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO. ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO. POCKET DOOR ROUGH OPENINGS ARE WITH + 1" HEIGHT + 0"
 - WINDOWS: ALL VIK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H). ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO. ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO. ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/POUR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - THIRD FLOOR LEVEL
1/4" = 1'-0"



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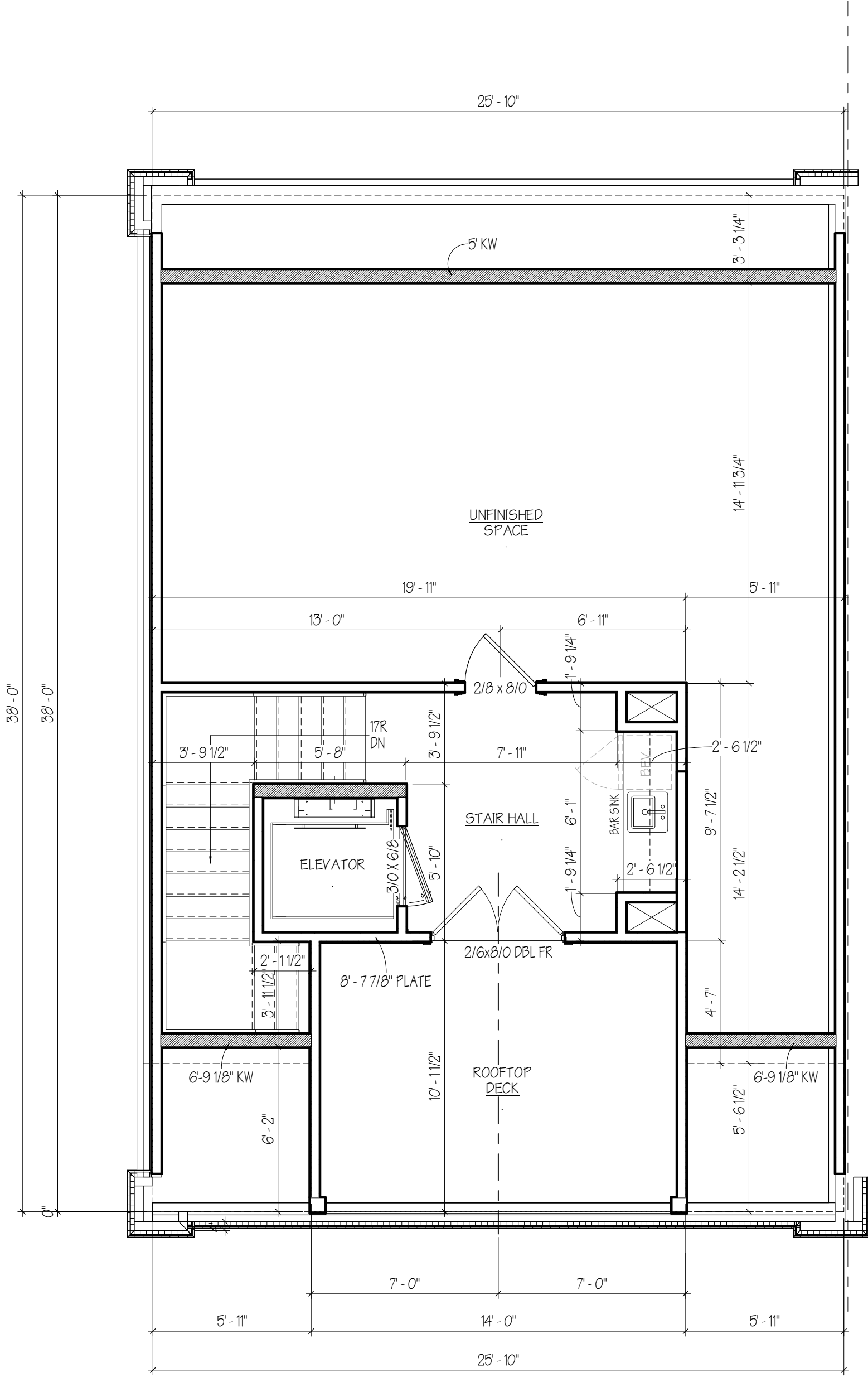
ARCHITECT / ENGINEER SEAL

REVISION	DESIGN DEVELOPMENT
MM/DD/YYYY	9-1-23

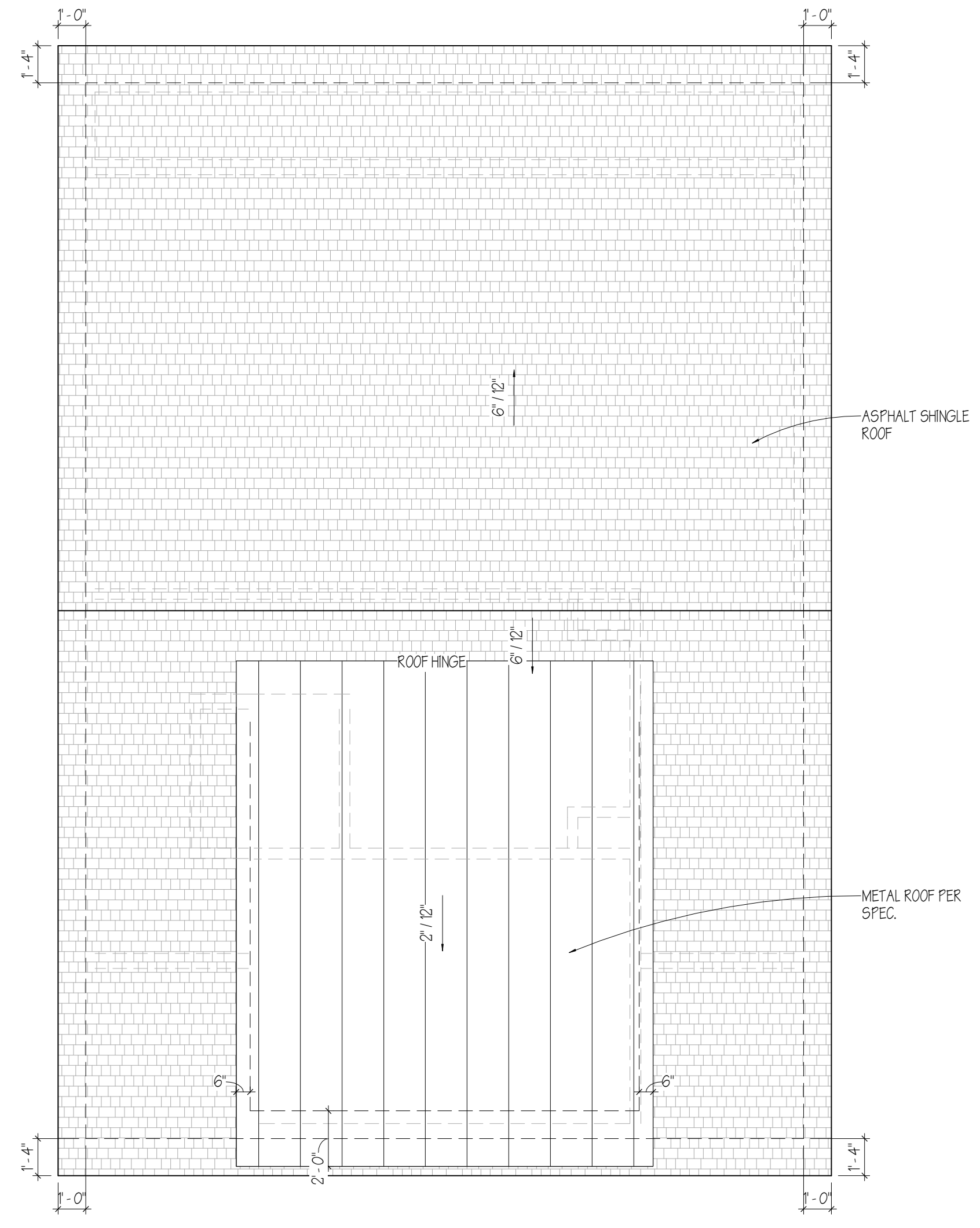
FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.03

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL WKK WINDOW SIZES ARE LISTED IN FEET/INCHES (Ft/IN)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - ROOF LEVEL
1/4" = 1'-0"



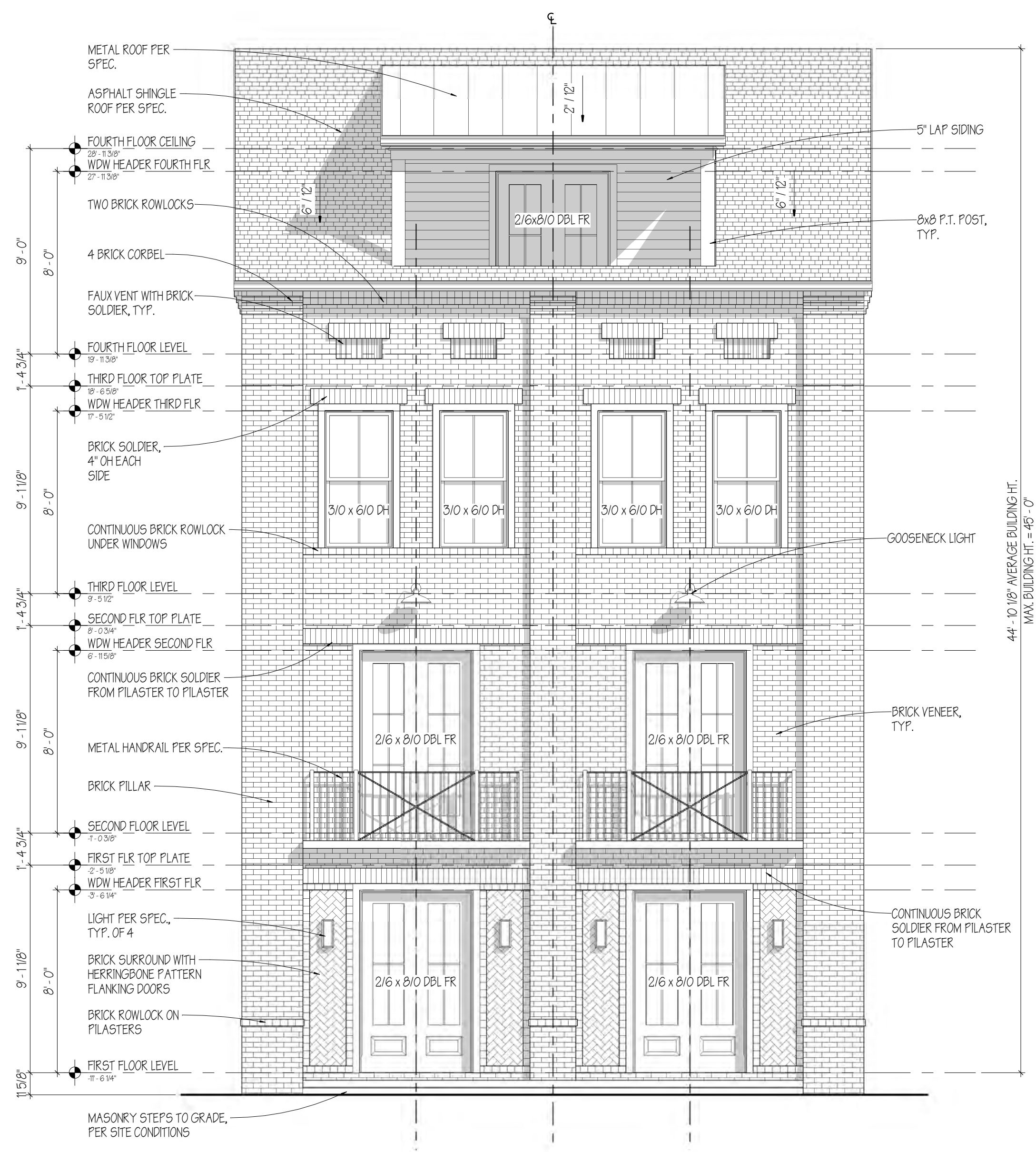
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ARCHITECT / ENGINEER SEAL

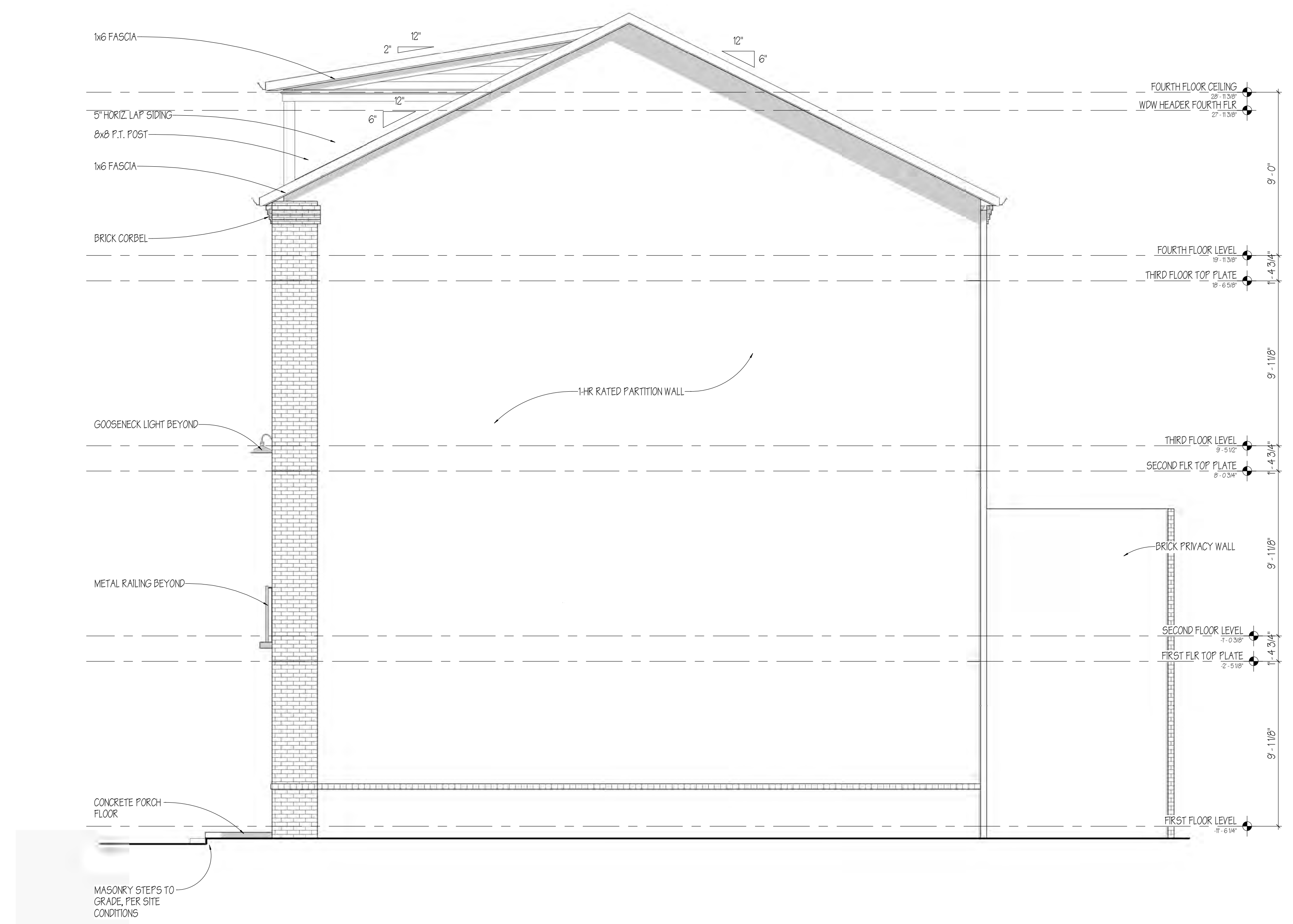
REVISION	DATE	DESCRIPTION
MMDDYYYY	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
 W MAIN STREET & S BARTOW STREET
 CARTERSVILLE, GA 30120

A1.01



① ELEVATION 'C' - FRONT ELEVATION
1/4" = 1'-0"

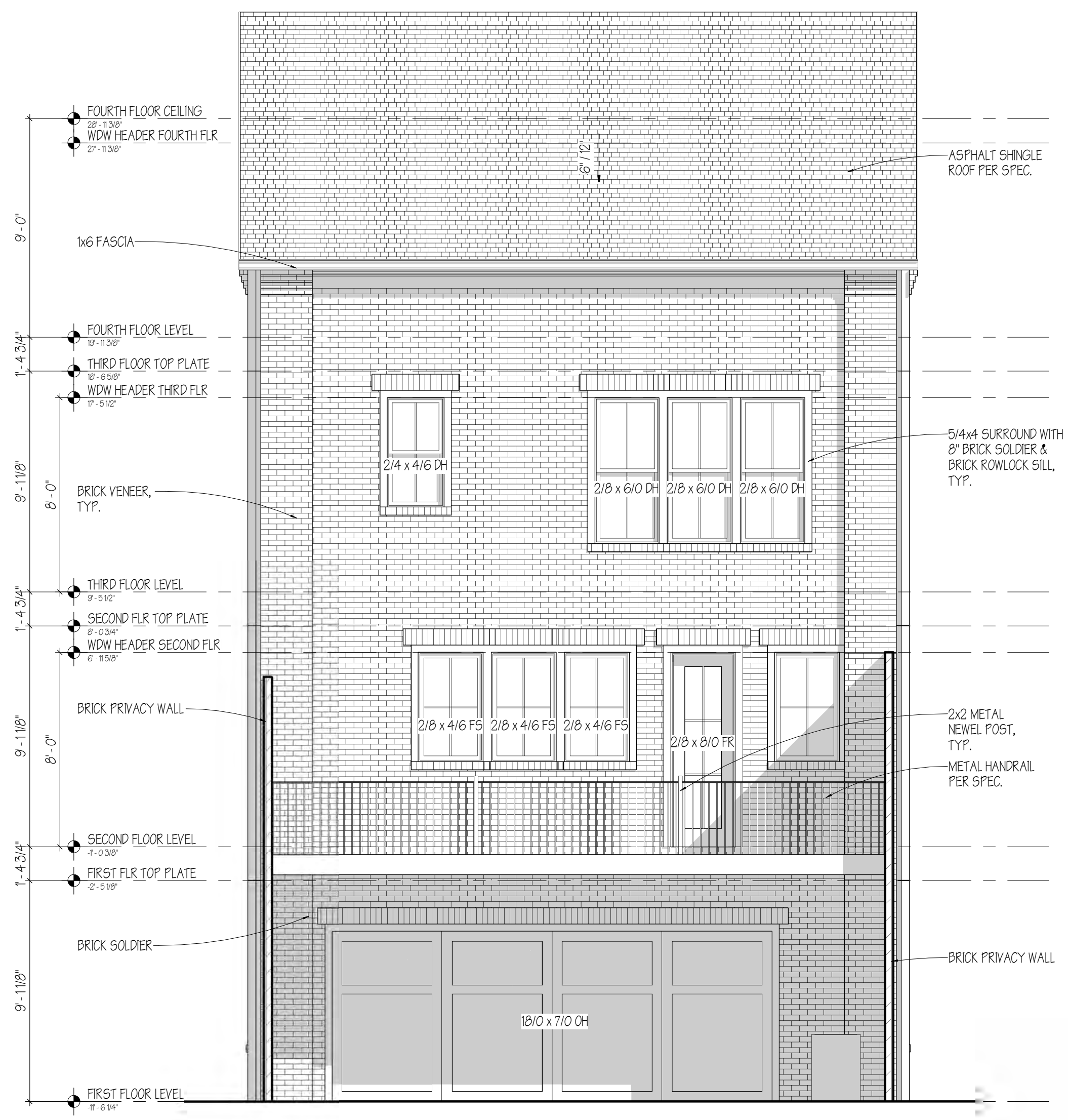


② ELEVATION 'C' - RIGHT ELEVATION
1/4" = 1'-0"

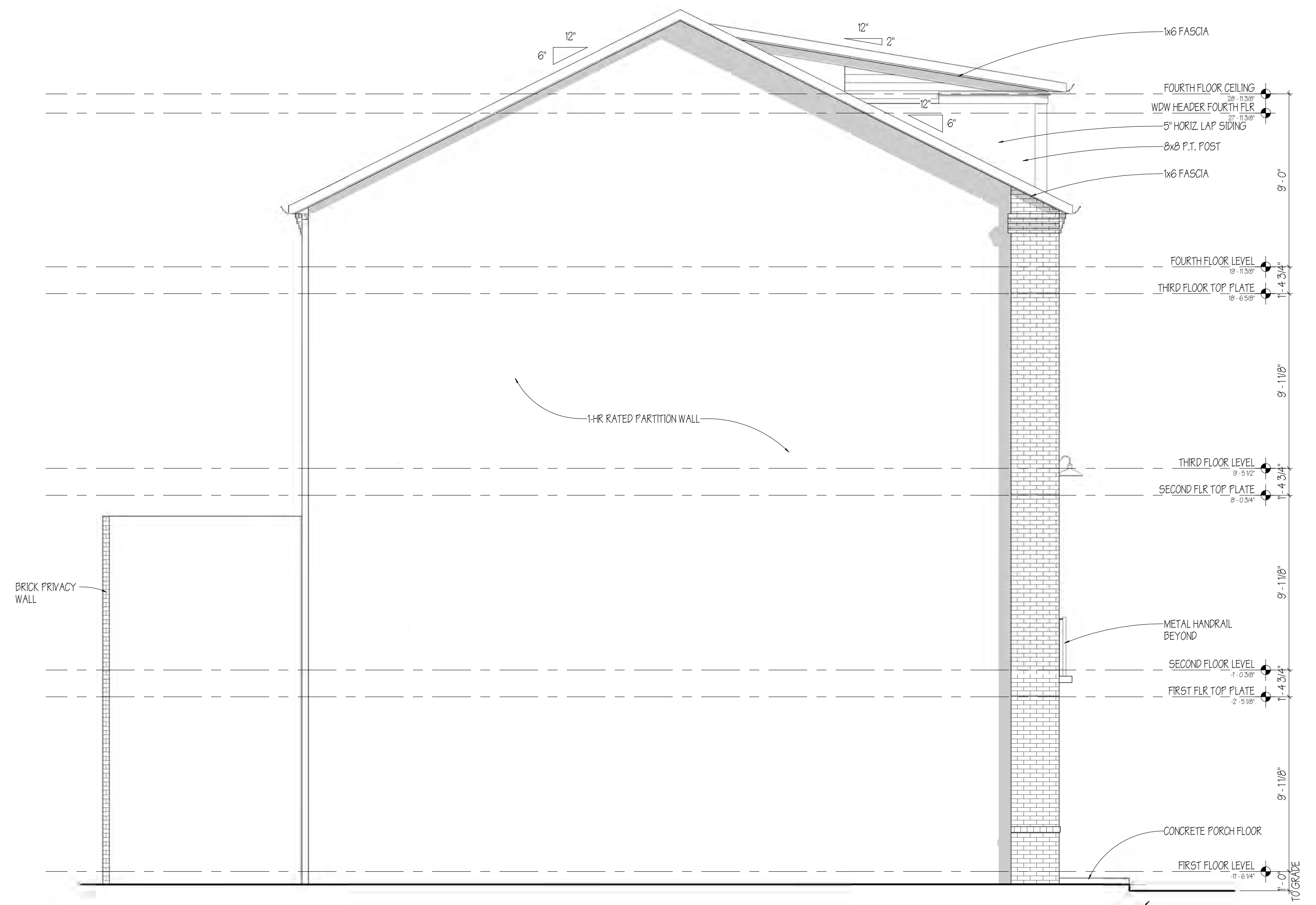


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ARCHITECT / ENGINEER SEAL



1 ELEVATION 'C' - REAR ELEVATION
1/4" = 1'-0"



2 ELEVATION 'C' - LEFT ELEVATION
1/4" = 1'-0"

REVISION	DATE	DESCRIPTION
MMDD/YYYY	9-1-23	DESIGN DEVELOPMENT

REAR/ LEFT ELEVATIONS
 W MAIN STREET & S BARTOW STREET
 CARTERSVILLE, GA 30120

A1.02



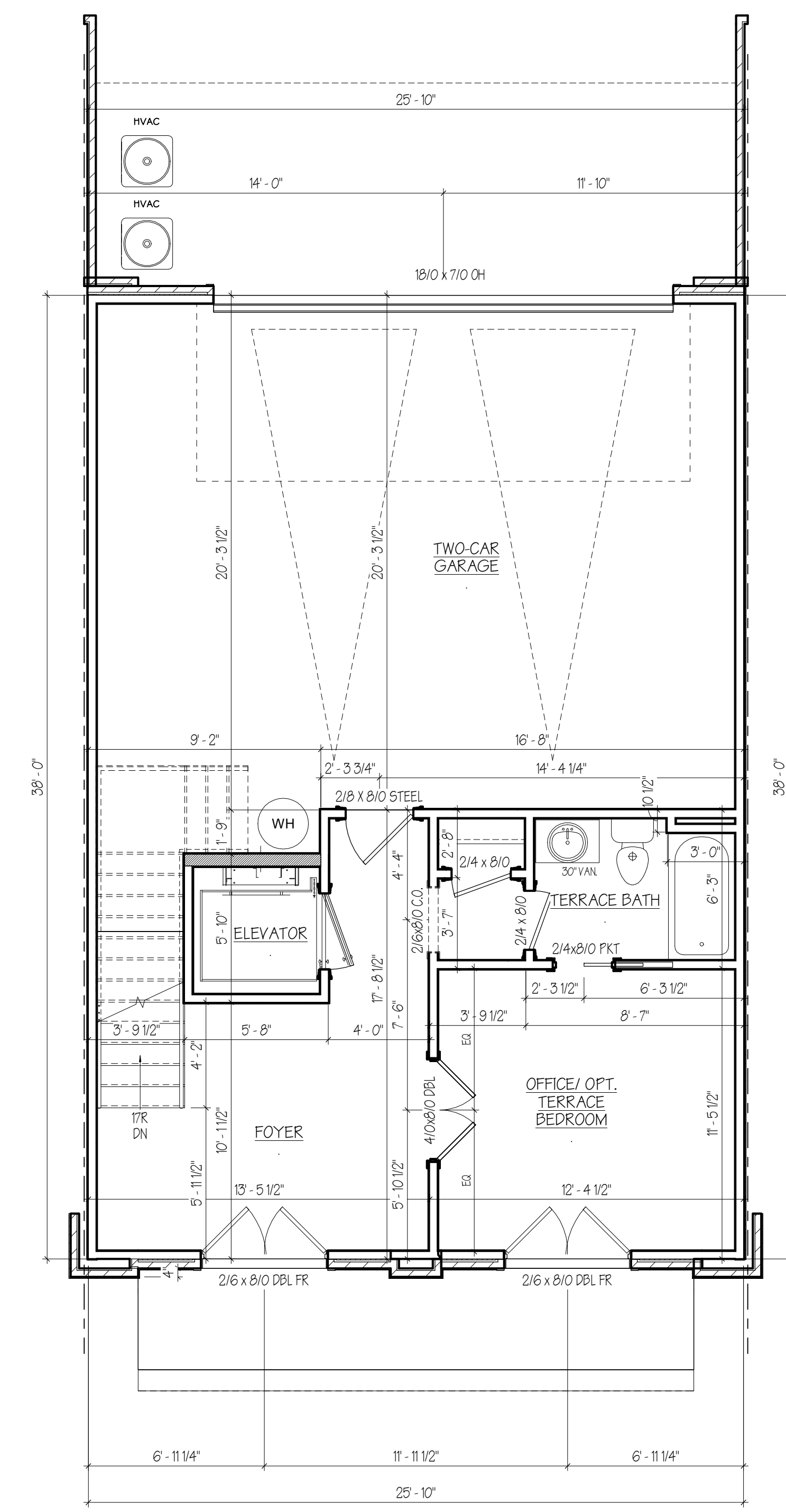
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

A2.01



- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 2"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY

① ELEVATION 'C' - FIRST FLOOR LEVEL
1/4" = 1'-0"



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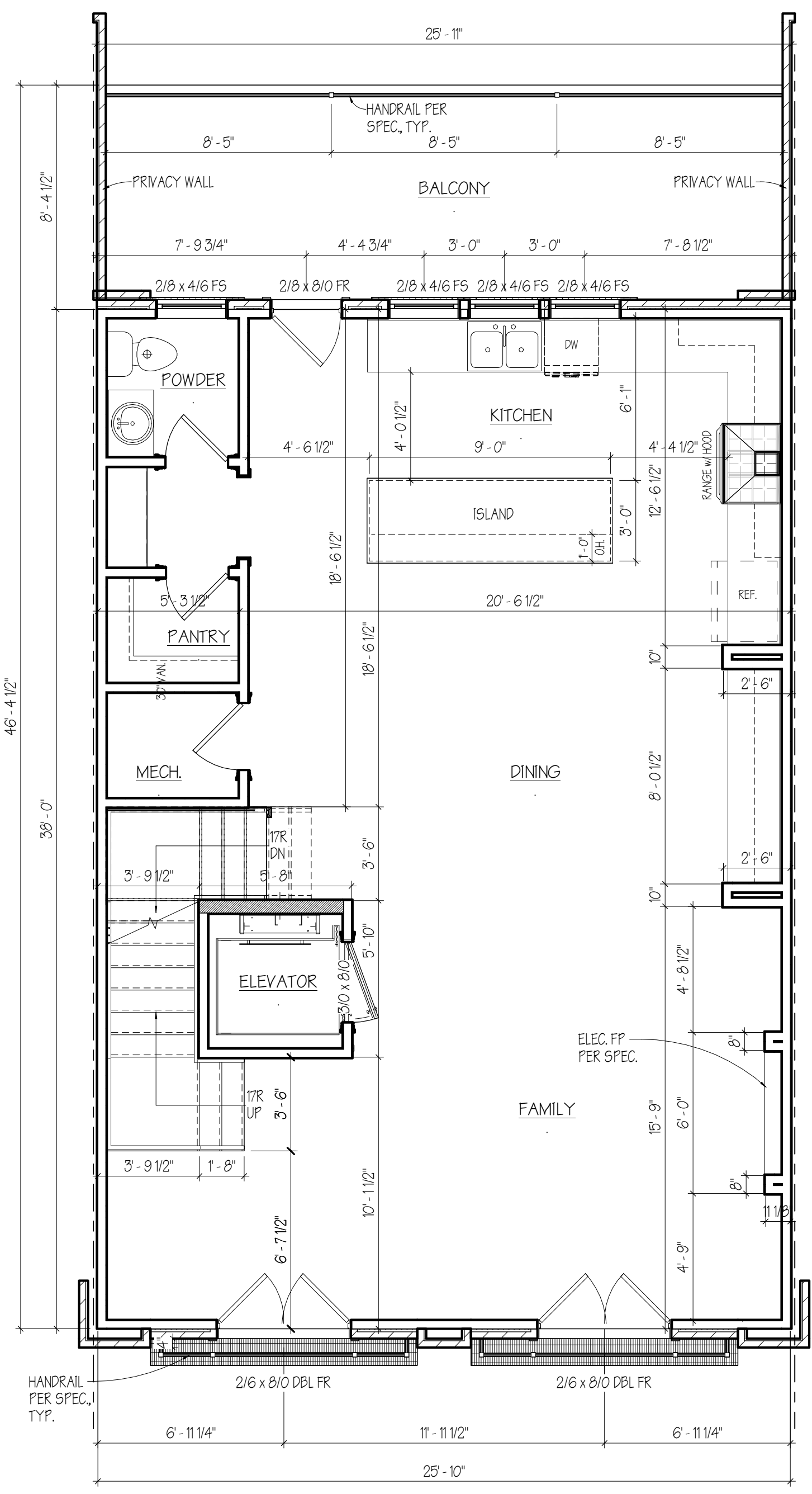
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

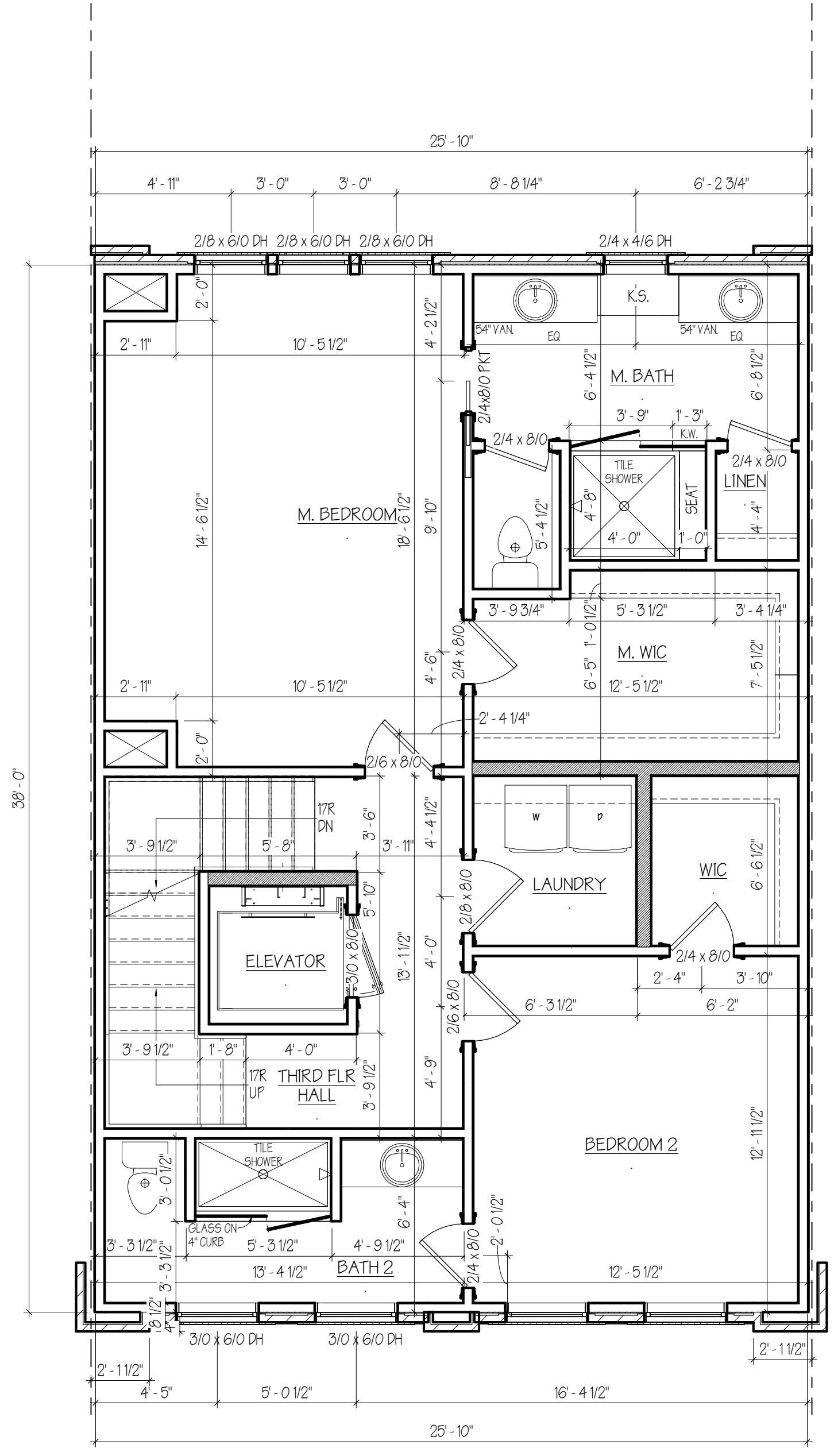
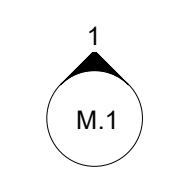
SECOND/THIRD FLOOR PLANS
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

A2.02

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - FOOTING DOOR ROUGH OPENINGS ARE WIDTH + T X HEIGHT + 5"
 - WINDOWS:
 - ALL W/K WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/PLR/BR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'C' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'C' - THIRD FLOOR LEVEL
1/4" = 1'-0"



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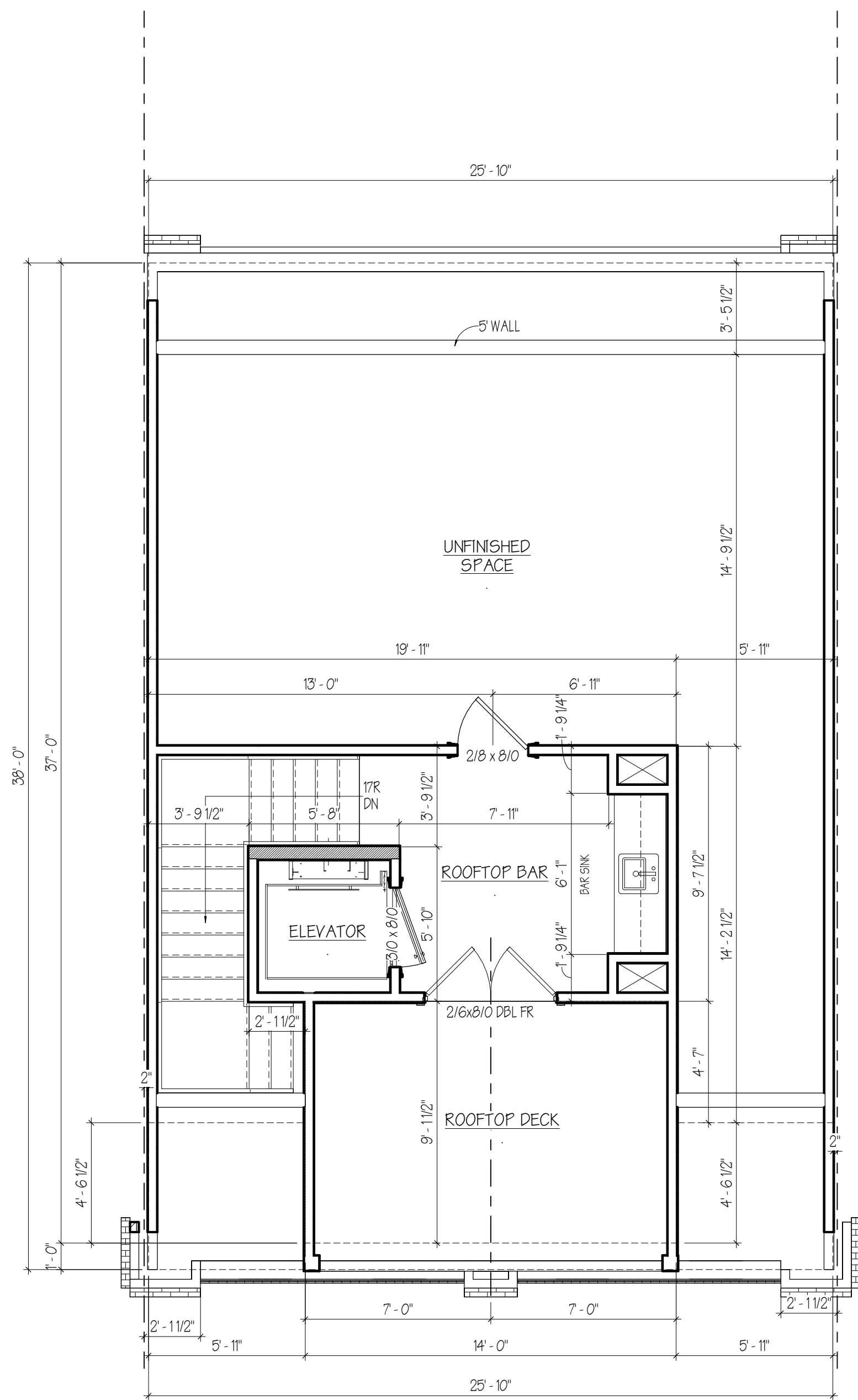
ARCHITECT / ENGINEER SEAL

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" HEIGHT + 5"
 - WINDOWS:
 - ALL 10K WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/PURCH OUT ATTC KNEE WALLS TO 5'-10" FOR INSULATION.
 - FRAME CALIFORNIA CORNERS AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY

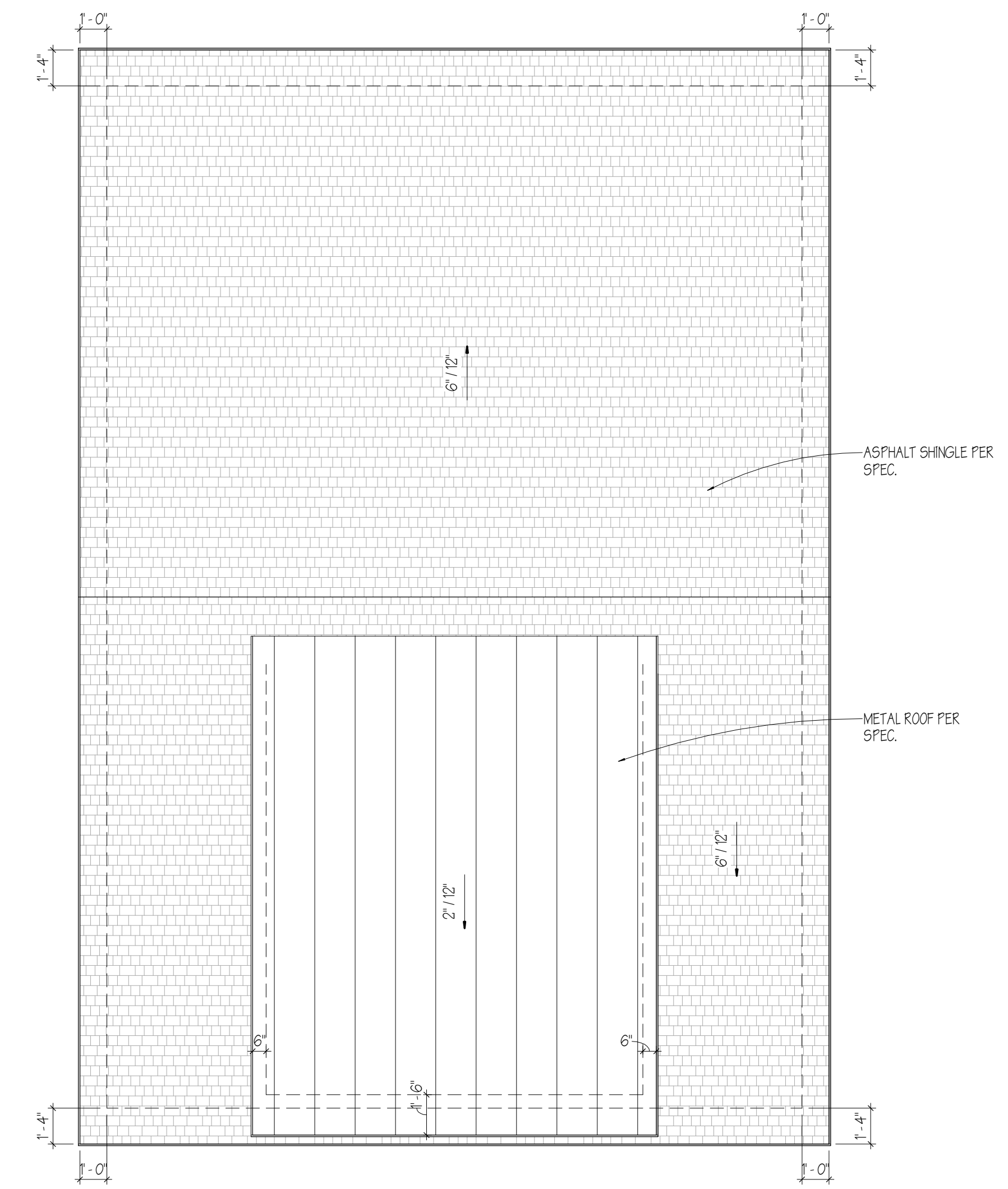
REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

FOURTH/ ROOF FLOOR PLANS
 W MAIN STREET & S BARTOW STREET
 CARTERSVILLE, GA 30120

A2.03



① ELEVATION 'C' - FOURTH FLOOR LEVEL
 1/4" = 1'-0"



② ELEVATION 'C' - ROOF LEVEL
 1/4" = 1'-0"

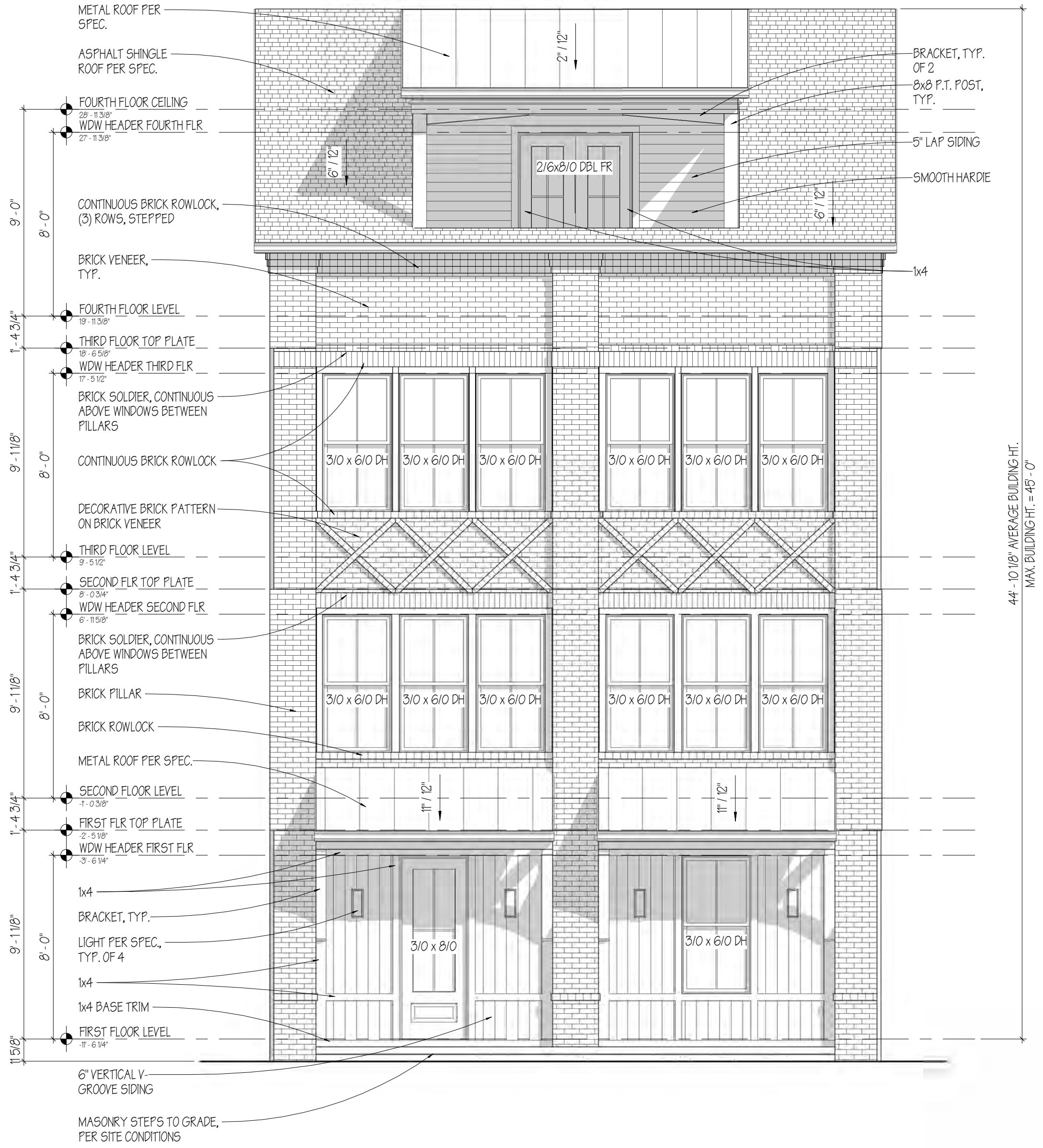
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ARCHITECT / ENGINEER SEAL

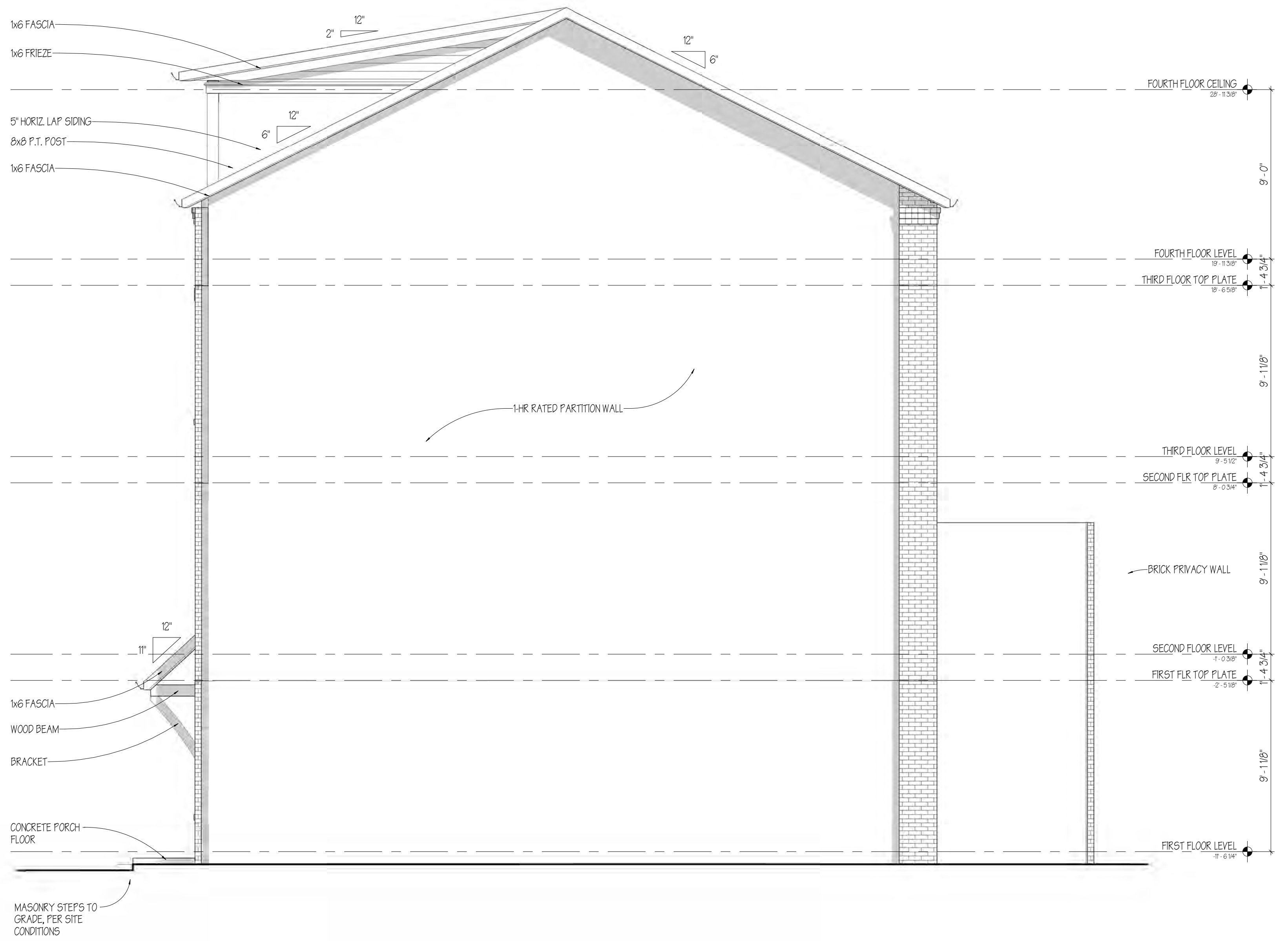
REVISION	DATE	DESCRIPTION
MMDD/YYYY	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.01



① ELEVATION 'B' - FRONT ELEVATION
1/4" = 1'-0"



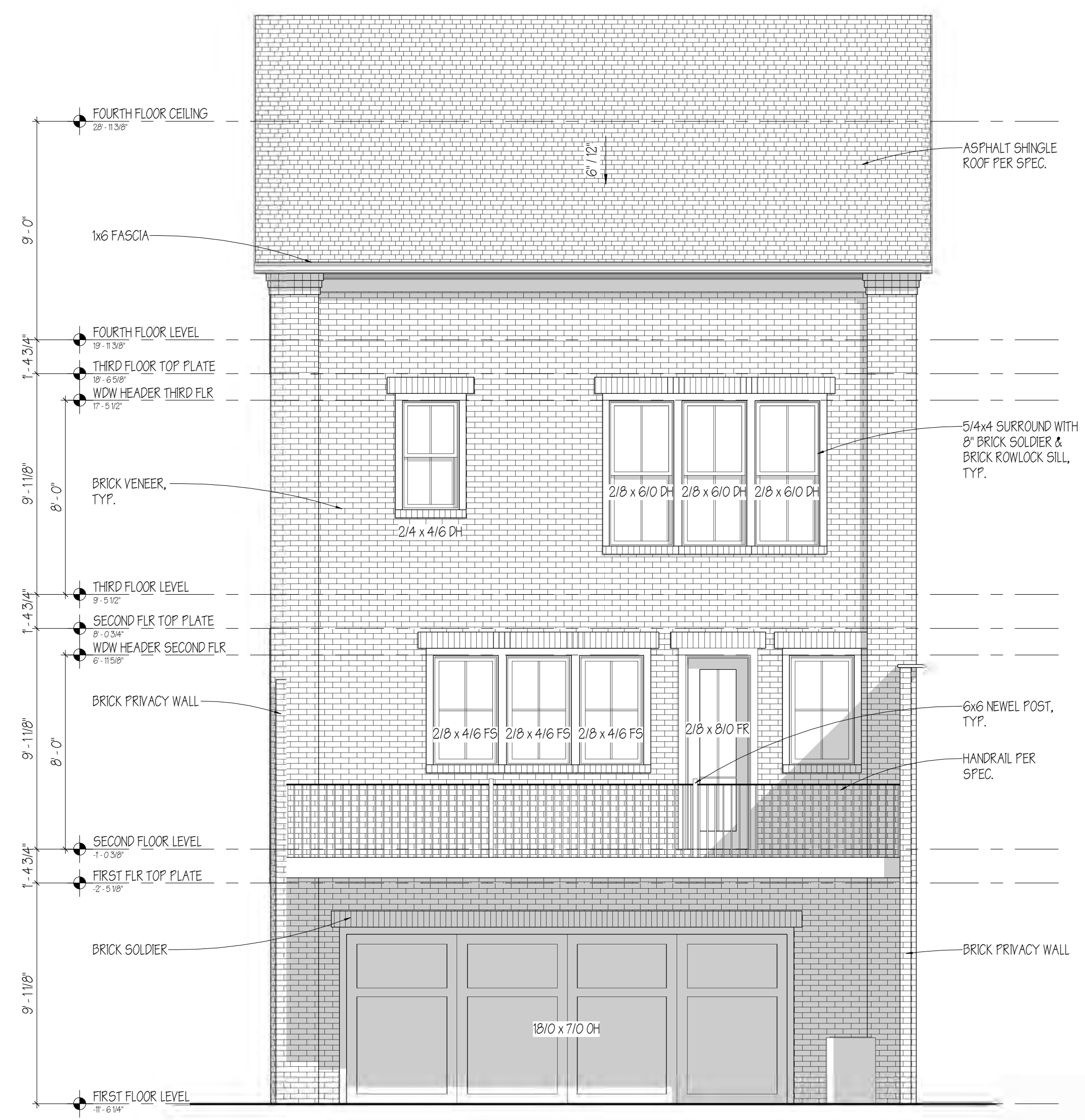
② ELEVATION 'B' - RIGHT ELEVATION
1/4" = 1'-0"

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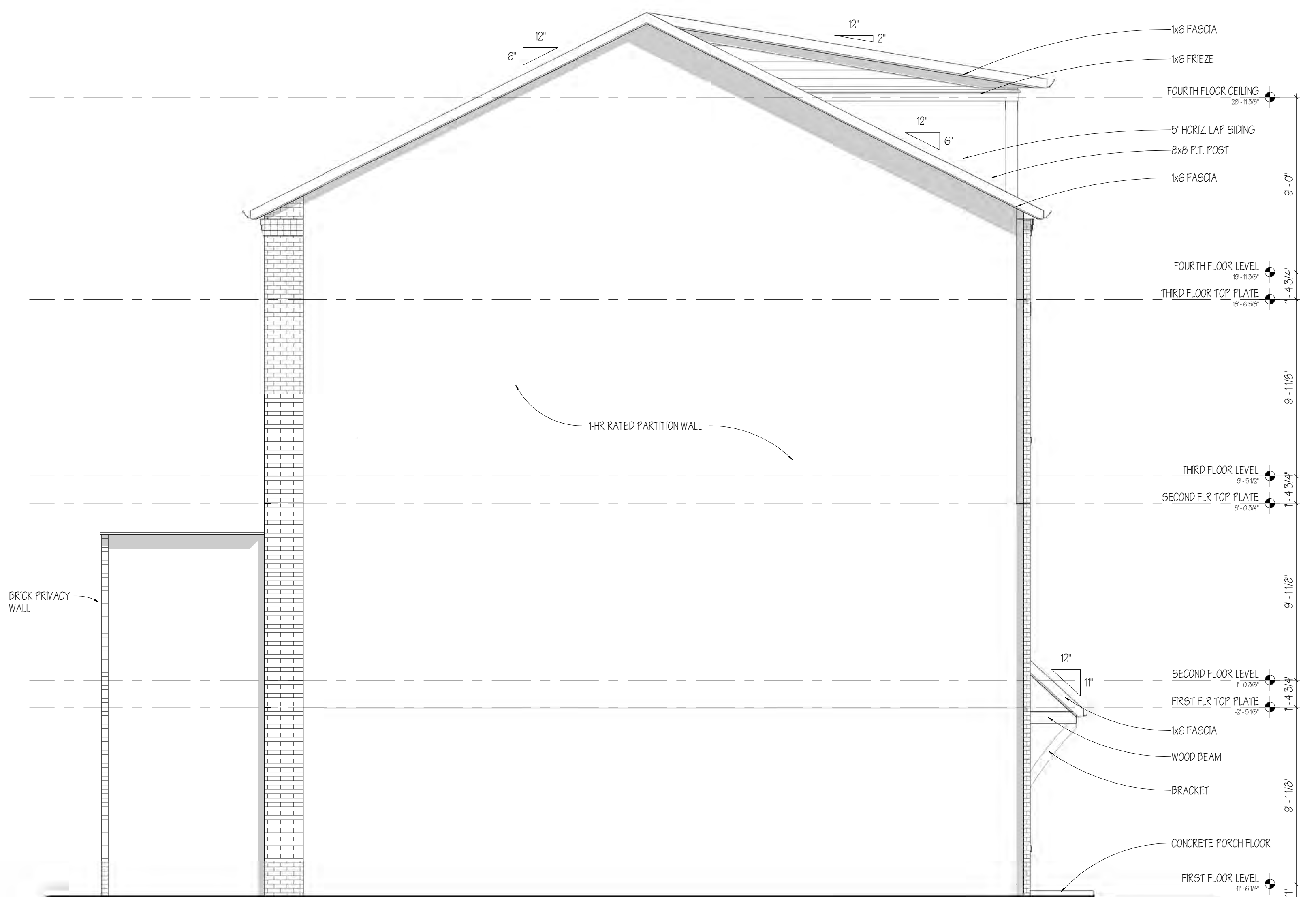
ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

REAR/ LEFT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120



① ELEVATION 'B' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'B' - LEFT ELEVATION
1/4" = 1'-0"

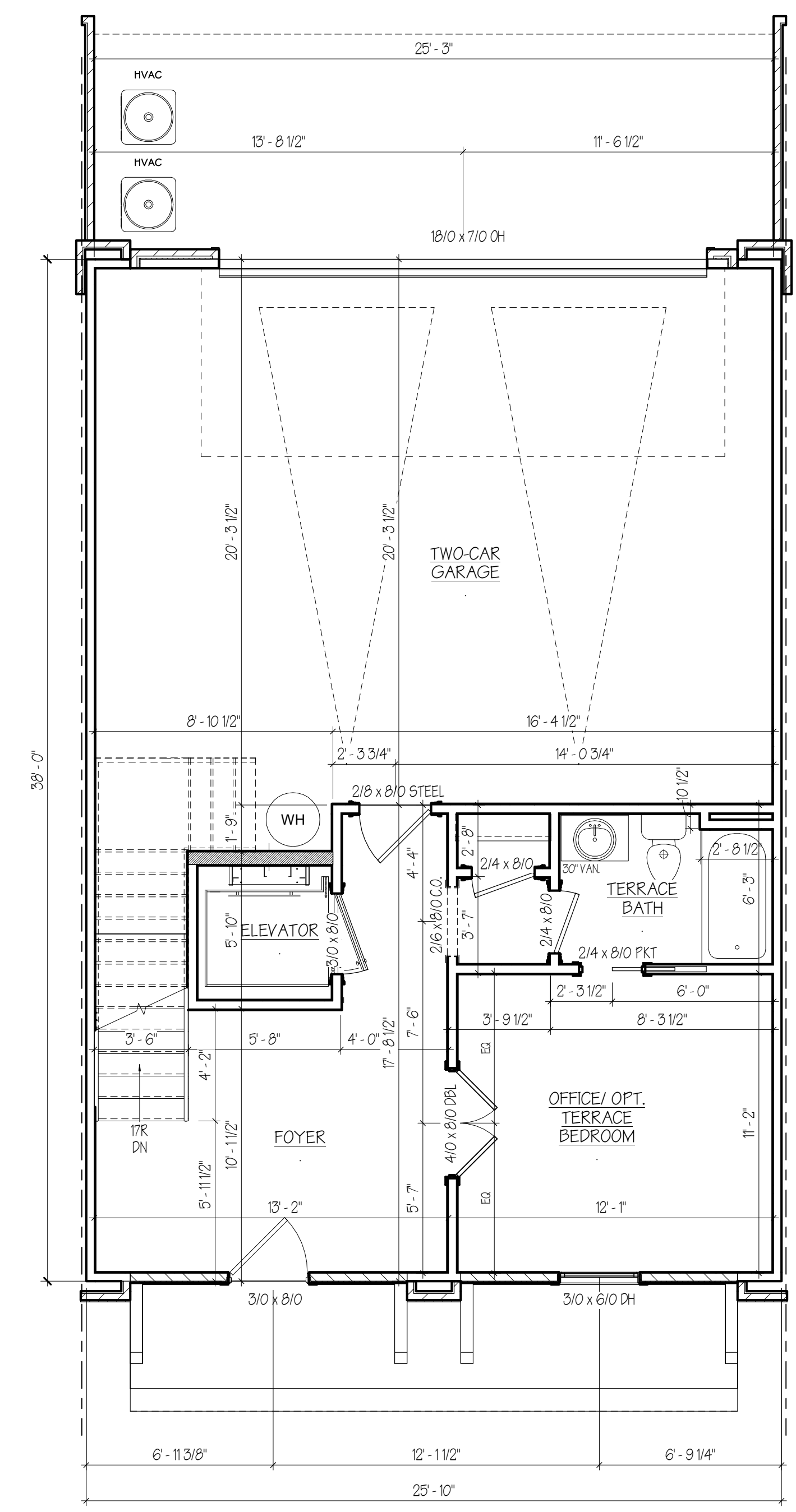
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ARCHITECT / ENGINEER SEAL

MM/DD/YYYY	9-1-23
REVISION	DESIGN DEVELOPMENT

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

A2.01



① ELEVATION 'B' - FIRST FLOOR LEVEL
1/4" = 1'-0"

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WxH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/PURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



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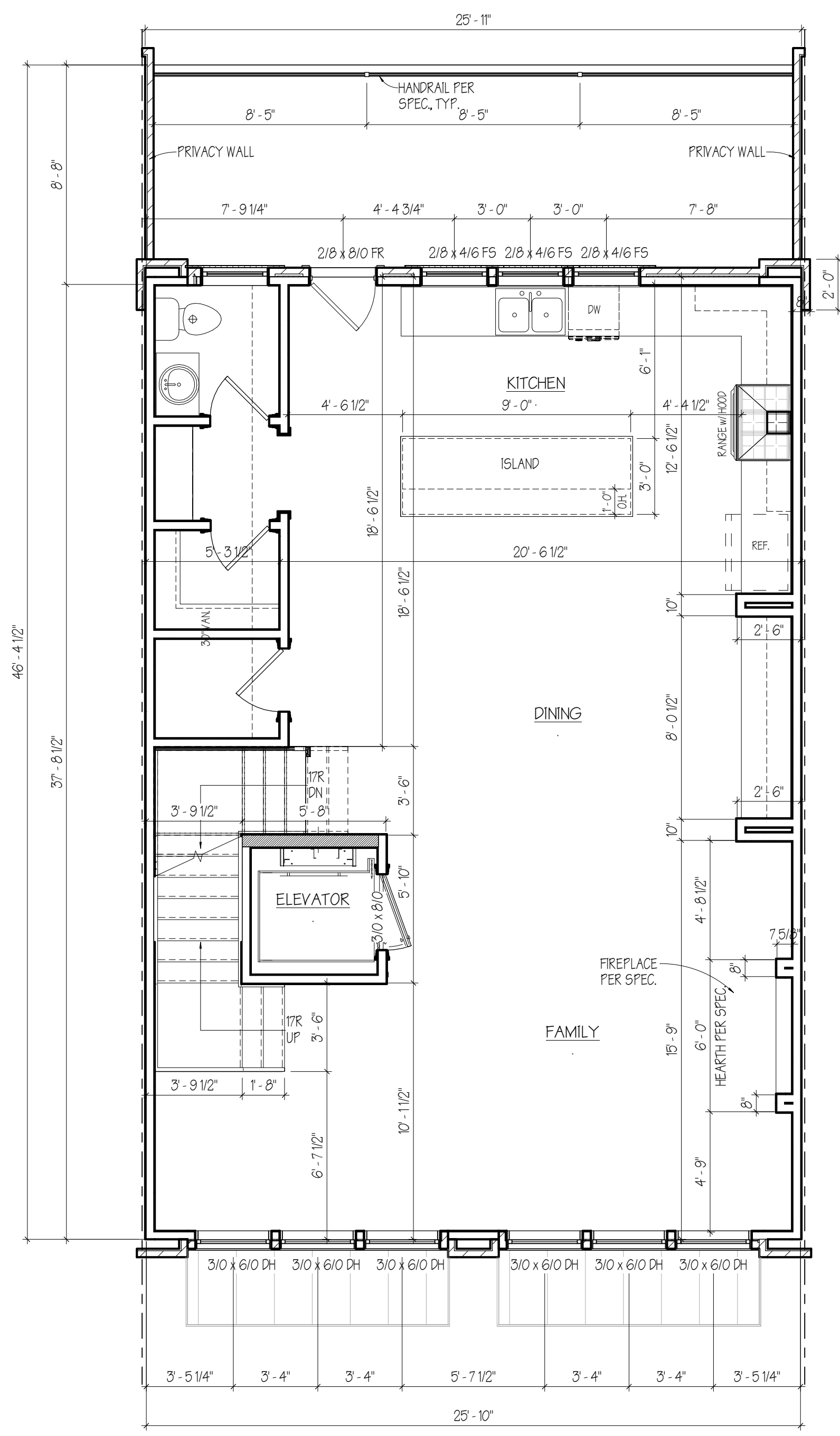
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

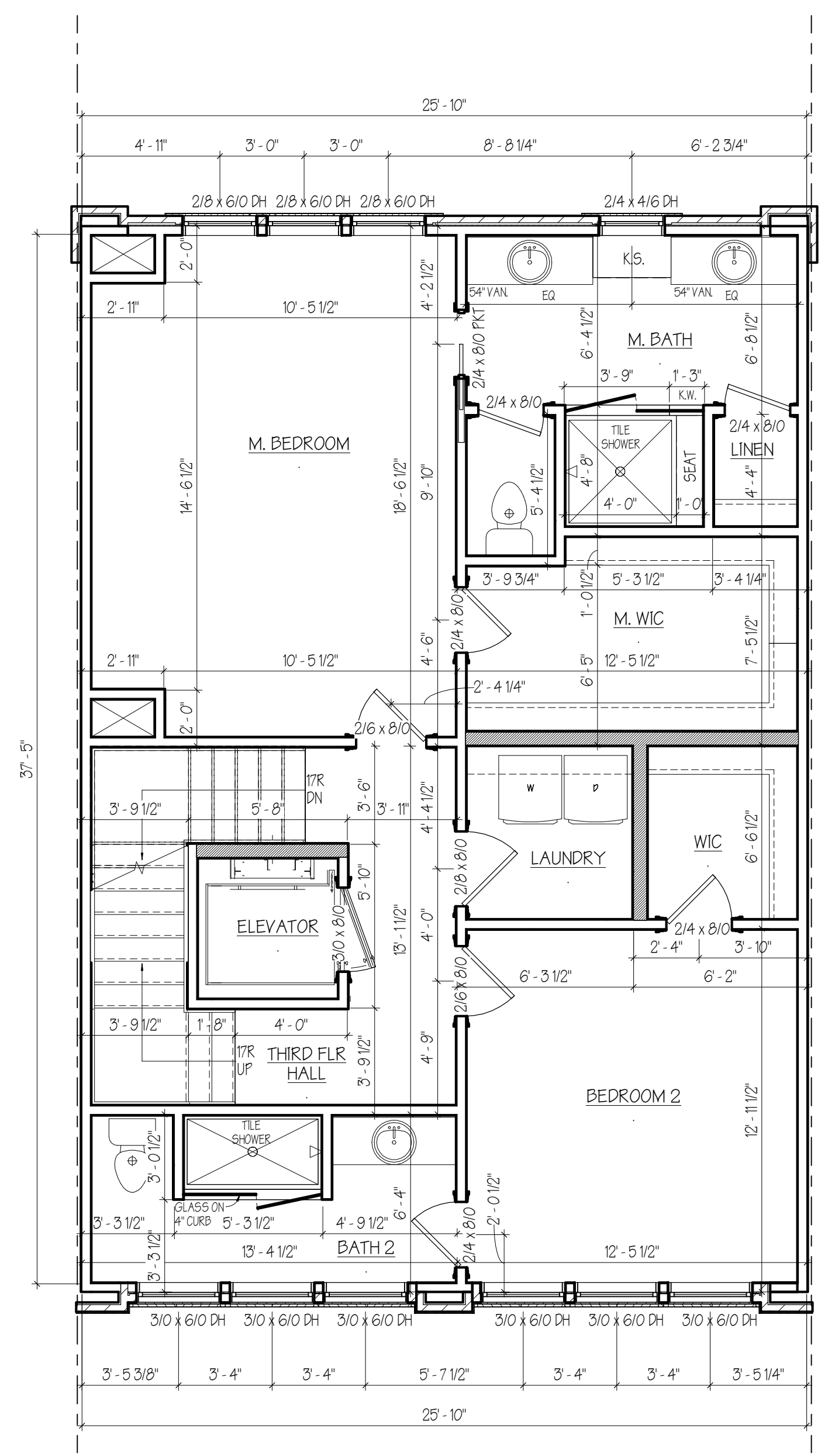
SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.02

- GENERAL**
- CEILING: ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL), UNO. ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL), UNO. ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS: ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO. ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO. ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO. POCKET DOOR ROUGH OPENINGS ARE WITH +1" HEIGHT +0"
 - WINDOWS: ALL YPK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H). ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO. ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO. ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/RRK OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - THIRD FLOOR LEVEL
1/4" = 1'-0"

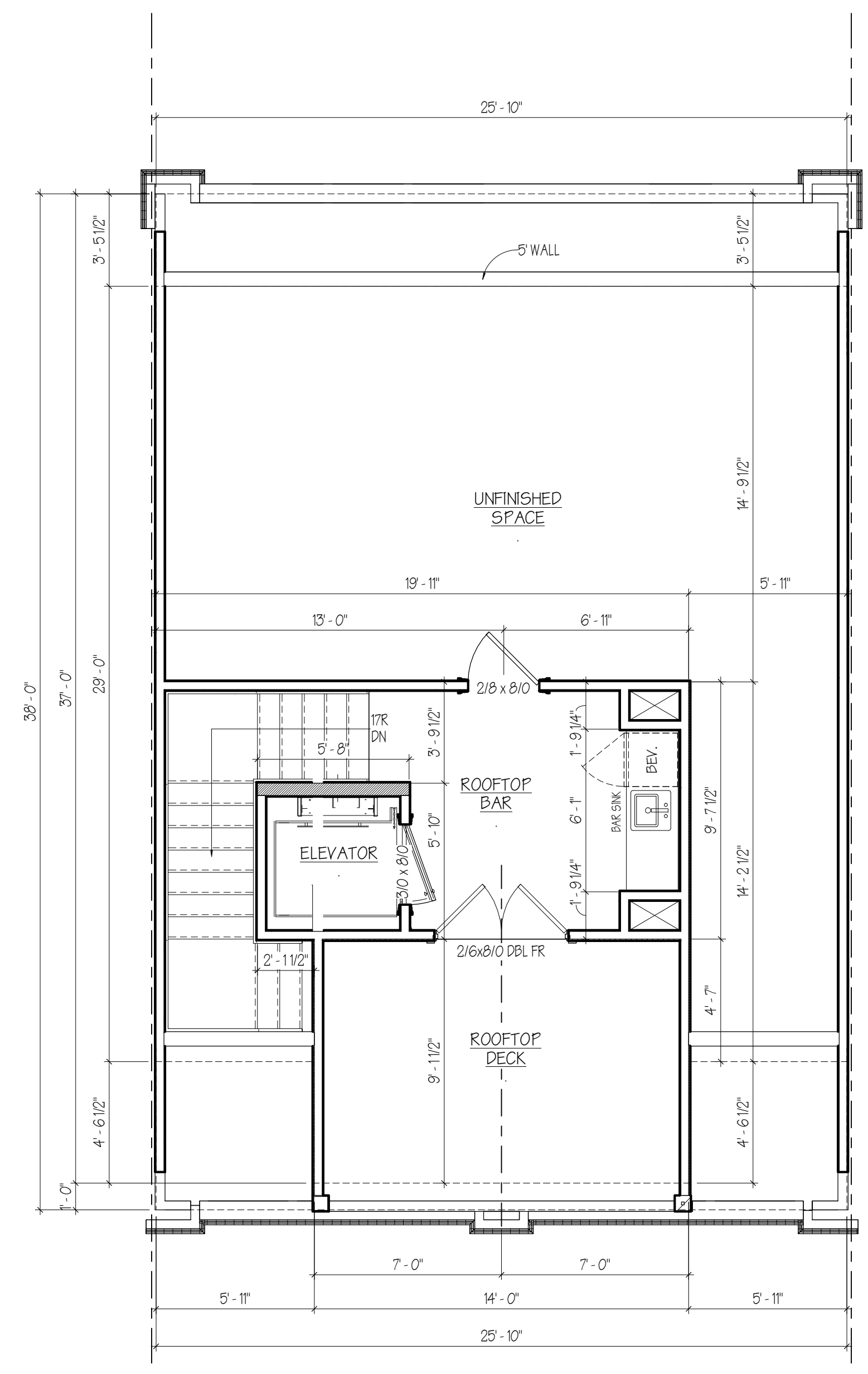
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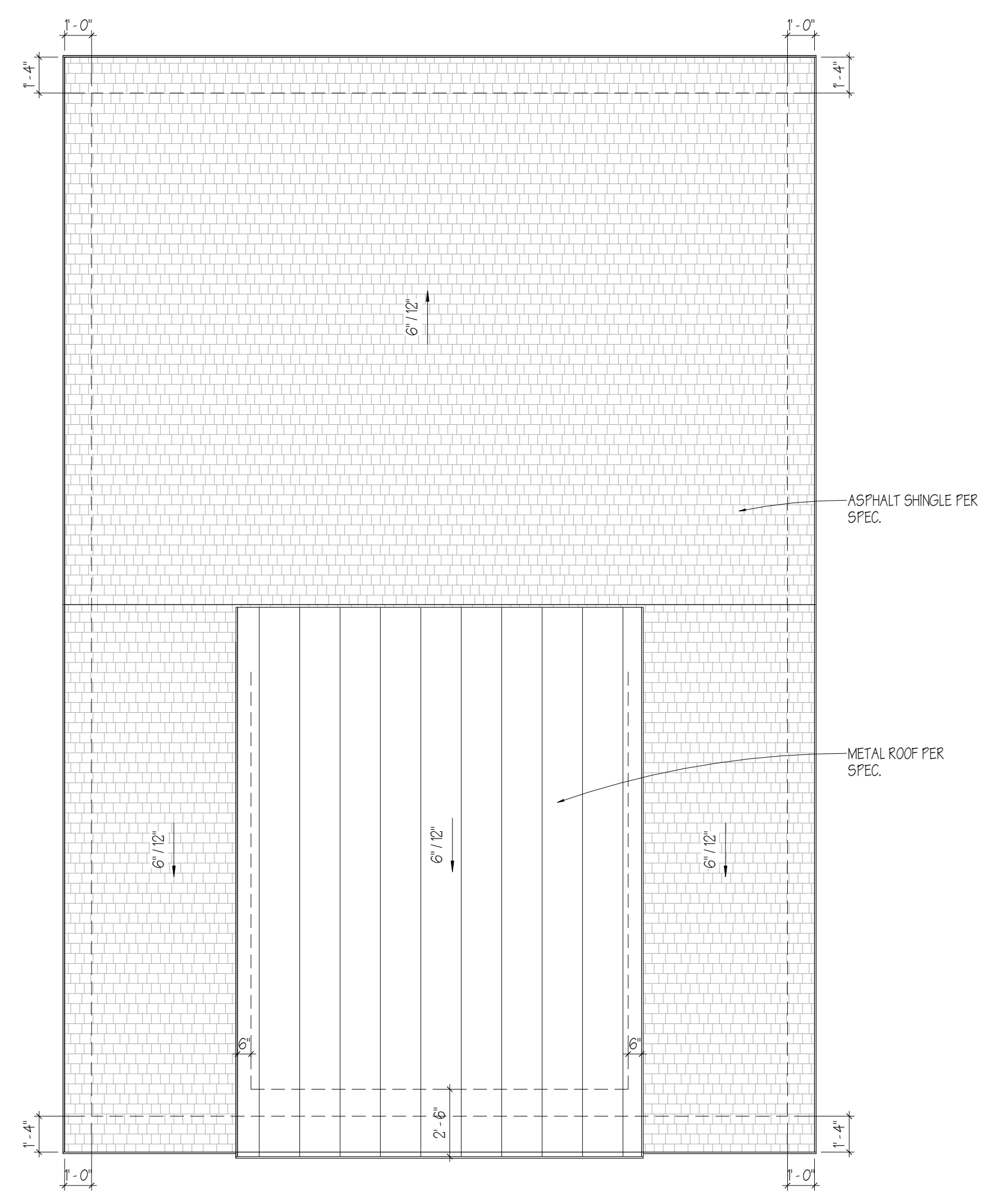
REVISION	MM/DD/YYYY	DESIGN/DEVELOPMENT
	9-1-23	

FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.03



① ELEVATION 'B' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - ROOF LEVEL
1/4" = 1'-0"

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL WXX WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INDOOR ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY

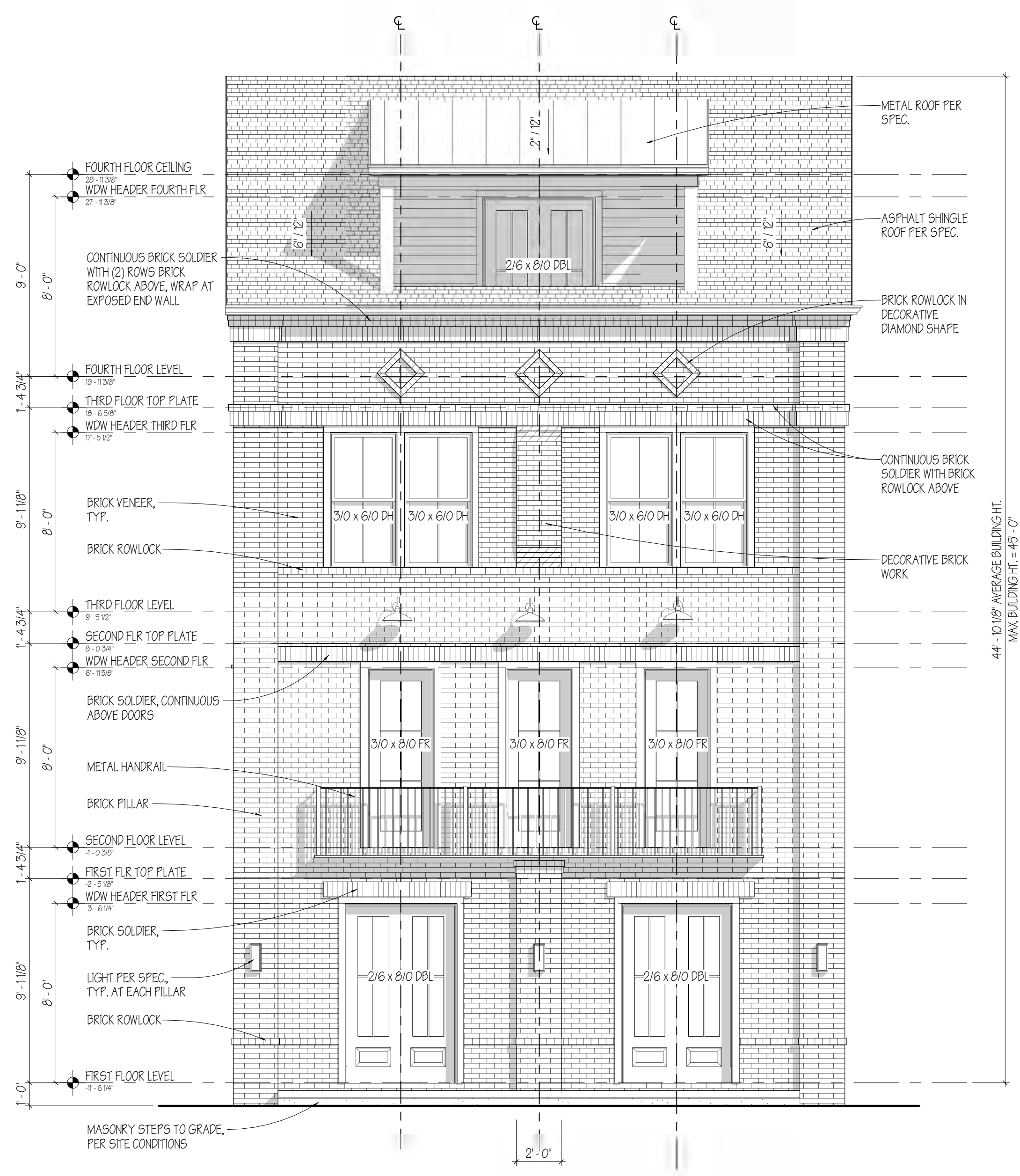
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	DESCRIPTION
	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.01



① ELEVATION 'A' - FRONT ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - RIGHT ELEVATION
1/4" = 1'-0"

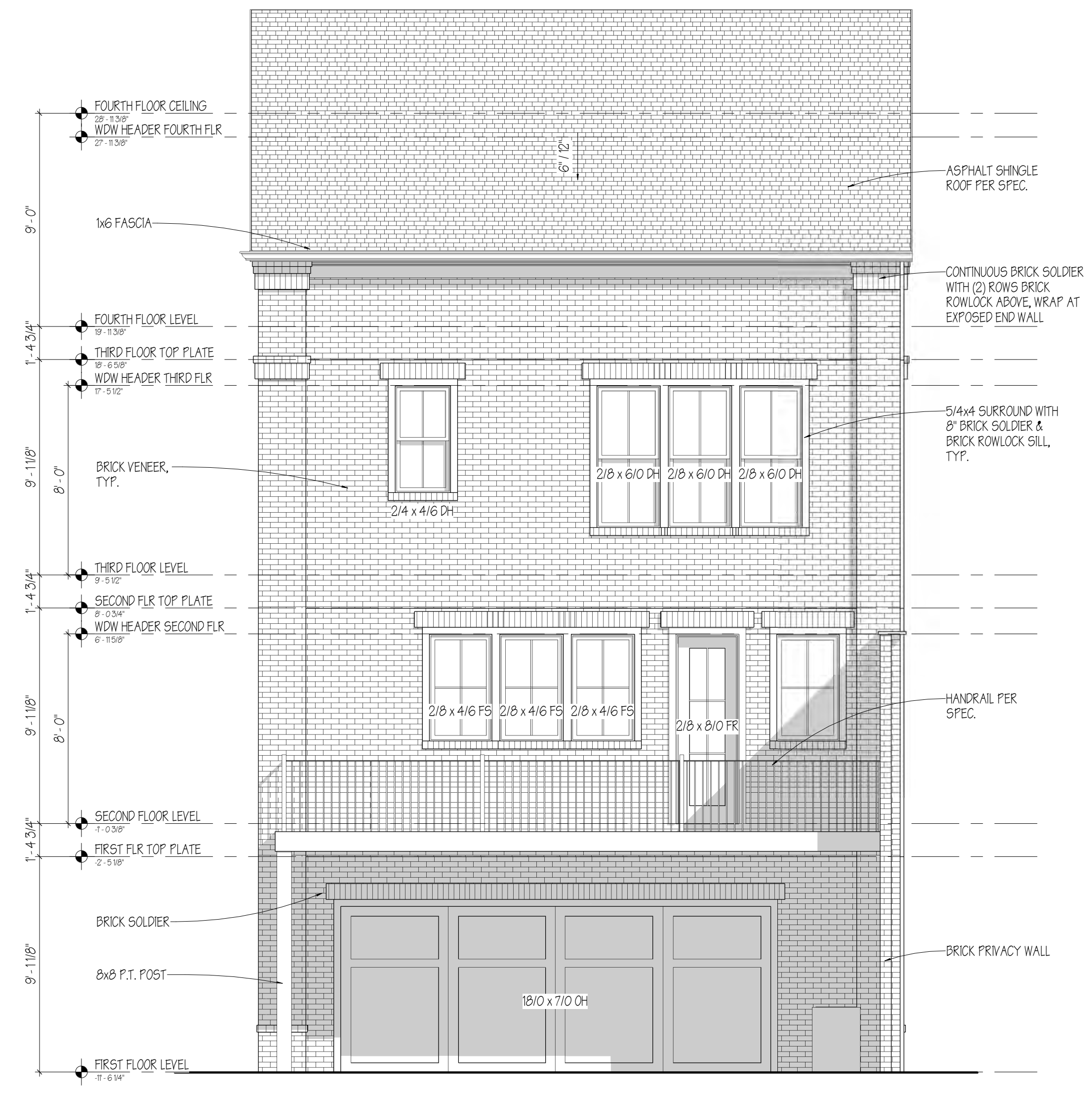
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ARCHITECT / ENGINEER SEAL

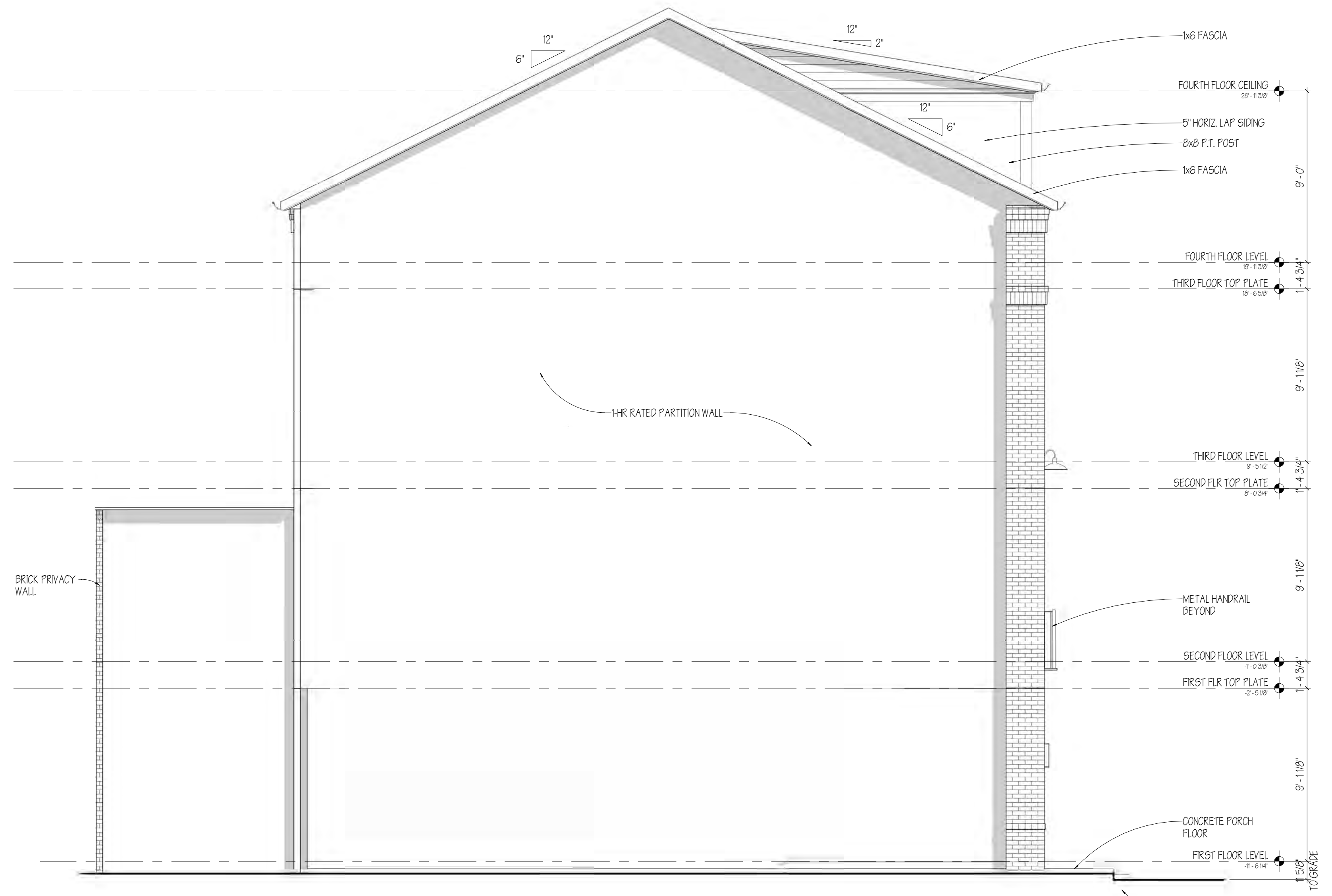
REVISION	MM/DD/YYYY	
DESIGN DEVELOPMENT	9-1-23	

REAR/ LEFT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120

A1.02



① ELEVATION 'A' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - LEFT ELEVATION
1/4" = 1'-0"

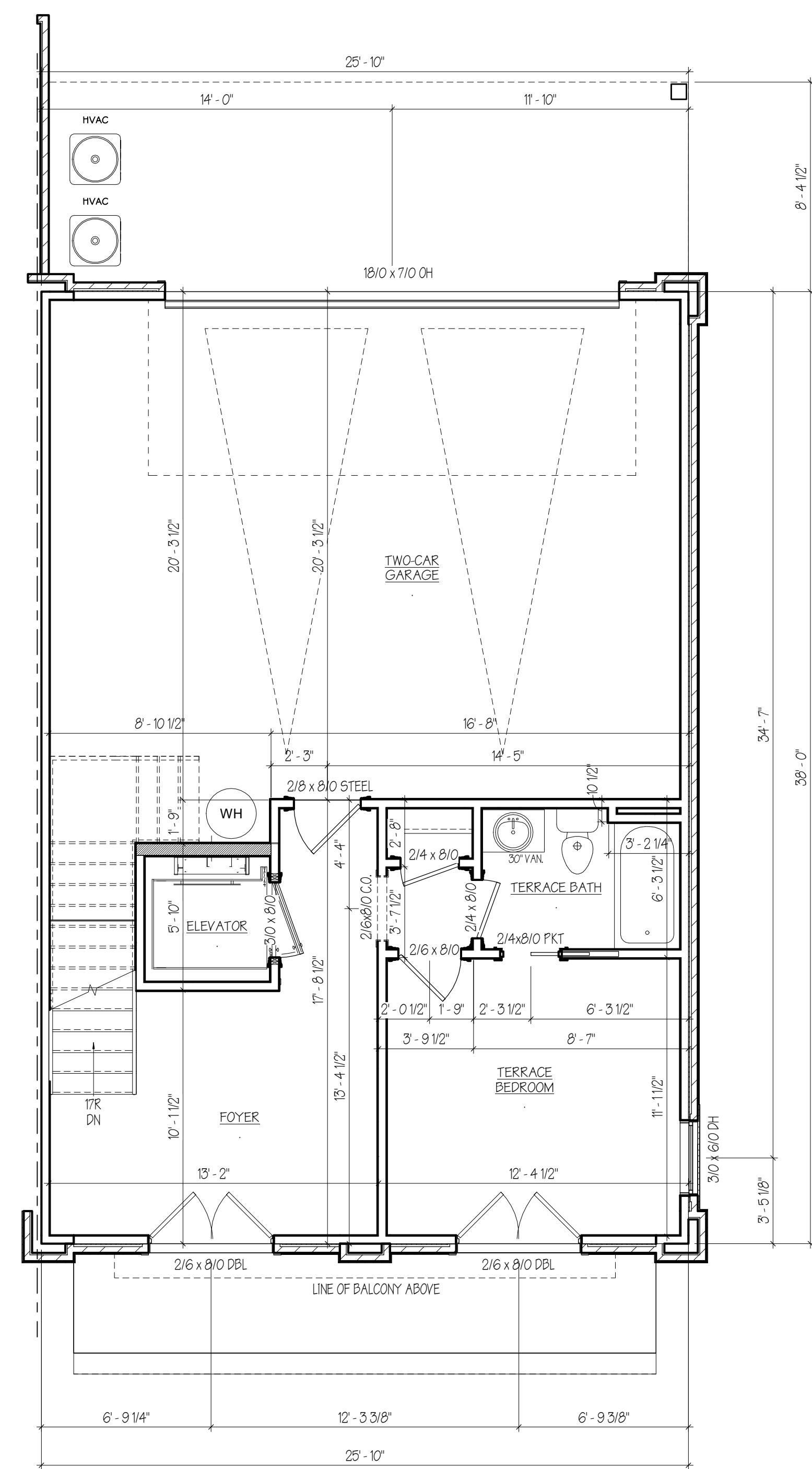
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ARCHITECT / ENGINEER SEAL

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DESIGN DEVELOPMENT	9-1-23

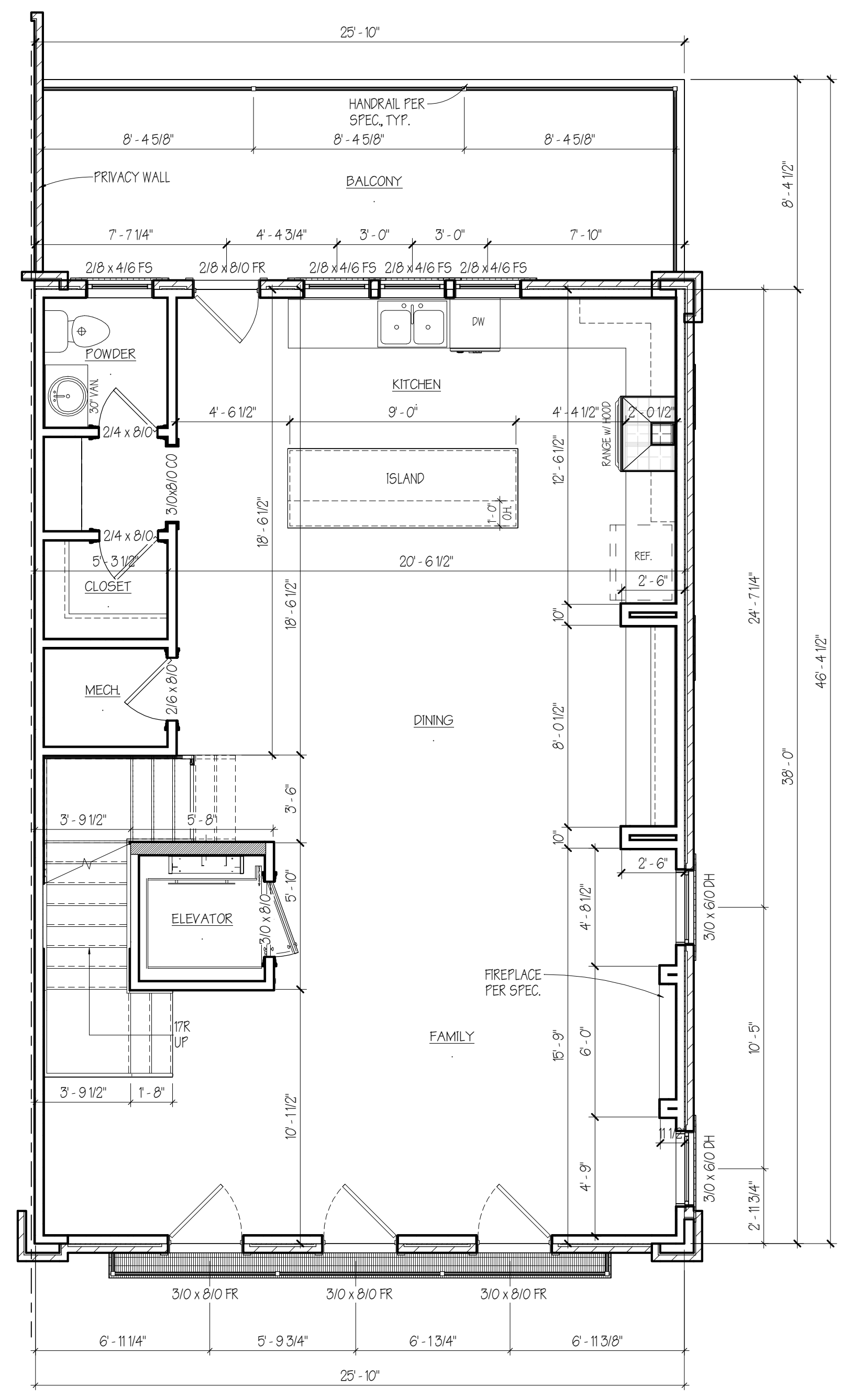
FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

A2.01

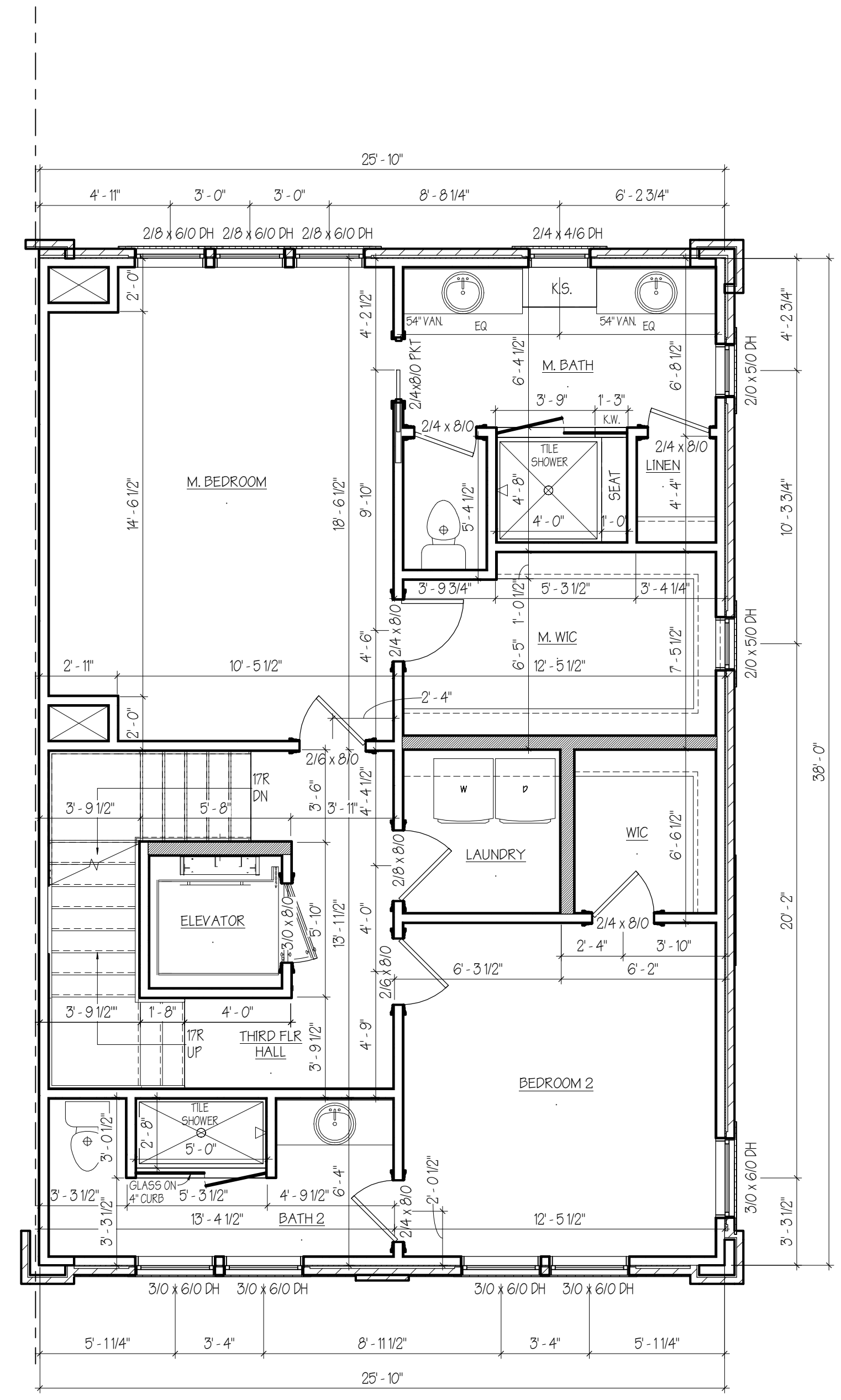


- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 0"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WH).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
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 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY

① ELEVATION 'A' - FIRST FLOOR LEVEL
1/4" = 1'-0"



① ELEVATION 'A' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - THIRD FLOOR PLAN
1/4" = 1'-0"

- GENERAL**
- CEILING:
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 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
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 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - FOOTSTOCK DOOR ROUGH OPENINGS ARE WIDTH + T X HEIGHT + 5"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET (INCHES) (WH).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	DESCRIPTION
	9-1-23	DESIGN DEVELOPMENT

SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

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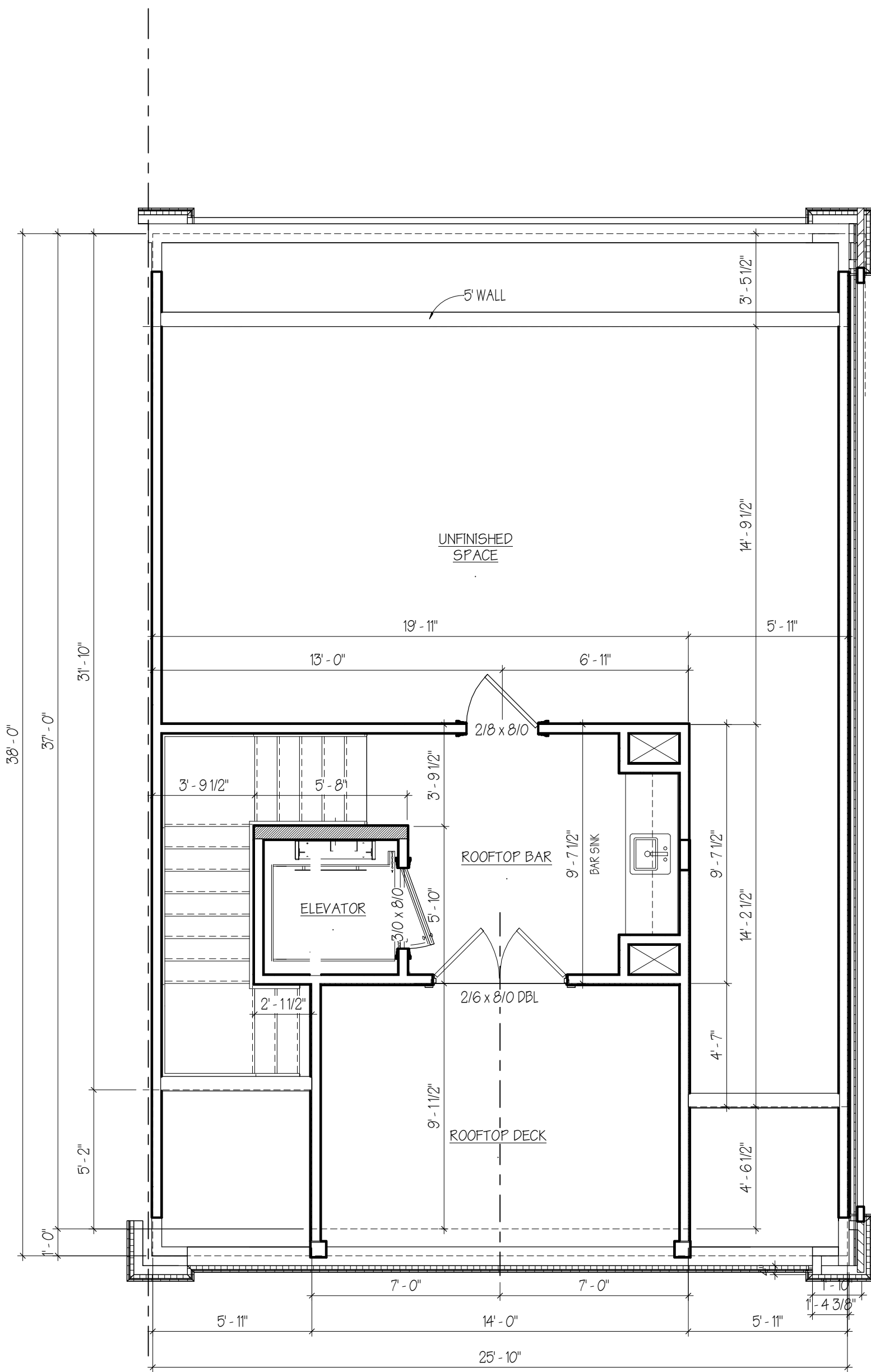
ARCHITECT / ENGINEER SEAL

REVISION	DESIGN DEVELOPMENT
MM/DD/YYYY	9-1-23

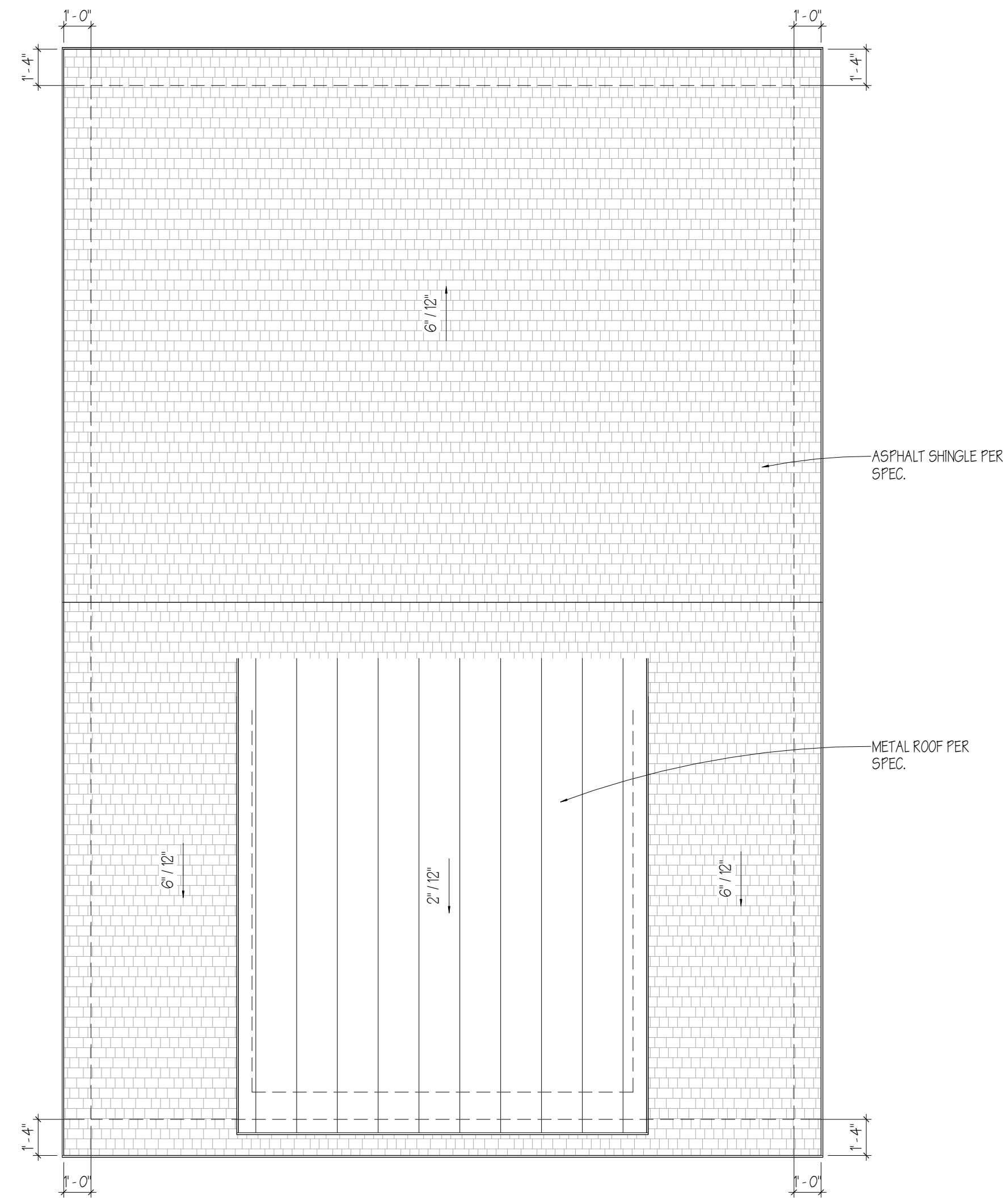
FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

A2.03

- GENERAL**
- CEILING:**
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- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



1 ELEVATION 'A' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



2 ELEVATION 'A' - ROOF LEVEL
1/4" = 1'-0"



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ARCHITECT / ENGINEER SEAL



① BUILDING 2 - FRONT ELEVATION
3/16" = 1'-0"

REVISION	MMDDYYYY

FRONT ELEVATION
 CITY OVERLOOK - BLDG 2
 CARTERSVILLE, GA 30120

A1.01



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ARCHITECT / ENGINEER SEAL



① BUILDING 3 - FRONT ELEVATION
3/16" = 1'-0"

MM/DD/YYYY			
REVISION			

FRONT ELEVATION
CITY OVERLOOK - BLDG 3
CARTERSVILLE, GA 30120

A1.01



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ARCHITECT / ENGINEER SEAL



1 BUILDING 4 - FRONT ELEVATION
3/16" = 1'-0"

MMDDYYYY			
REVISION			

FRONT ELEVATION
 CITY OVERLOOK - BLDG 4
 CARTERSVILLE, GA 30120

A1.01



172 GA-61
178 W. Main St.



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



183 GA-61

178 W Main St. Municipal Ct



Cartersville, Georgia
 Google
 Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

Item 4.



57 S Bartow St
178 W Main St



Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

118



1 S Bartow St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Google

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



201 W Main St
178 W. Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



41 S Bartow St
178 W Main St



Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



41 S Bartow St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

Item 4.



131 Leake St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Google

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

123



134 Leake St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

Temporary Banner installed on fence along W. Main Street. A second banner is installed on the fence along Bartow St. The banners are 4ft x 19ft (76sf) and are intended to remain in place until the fence is removed later in the construction process.





HISTORIC PRESERVATION COMMISSION ITEM SUMMARY

MEETING DATE:	June 18, 2024
SUBCATEGORY:	HPC
DEPARTMENT NAME:	Planning and Development
AGENDA ITEM TITLE:	COP24-20. 341 W Cherokee Ave. Applicant: Colt Kelley and Stephanie Gargiulo.
DEPARTMENT SUMMARY RECOMMENDATION:	COP request to add retaining walls to front, side and rear yards.
LEGAL	



City of Cartersville Historic Preservation Commission COP Application Staff Report
Case: COP 24-20

HPC Meeting – 6-18-24

Application Information

Address: 341 W. Cherokee Ave.
 Applicant: Justin Colt Kelley/ Stephanie Gargiulo
 Historic District: Cherokee-Cassville
 Zoning: R-20
 Setbacks: Front= 20ft. Rear= 20. Side= 10ft.

Project Summary: Add retaining walls to property

Applicable Guidelines to Consider

Historic District Ordinance Section	
	9.25-51. General
	9.25-52. Downtown Business District
	9.25-53. Olde Towne
	9.25-54. West End
X	9.25-55. Cherokee- Cassville
	9.25-56. Granger Hill

Infill Overlay Districts. Chapter 26, Zoning. Article 27 (Sec. 27.1- 27.6)	
	West End Infill Overlay District
	Cherokee-Cassville Infill Overlay District

Residential Design Guidelines	
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>	
A. Wood	K. Utilities and Energy Retrofit
B. Masonry	L. Accessibility, Health, and Safety Considerations
C. Architectural Metals	M. Additions to Historic Buildings
D. Paint	X N. Aesthetic Recommendations
E. Roofs	
F. Exterior Walls	PART TWO: New Construction
G. Driveways, Walkways, and Off-Street Parking	
H. Lighting	PART THREE: Relocation
I. Windows and Doors	
J. Entrances, Porches and Balconies	PART FOUR: Demolition

The following scopes of work are proposed:

Retaining Wall

1. Add architectural block wall along rear property line, max. 36in. in height
2. Add architectural block wall along left side property line, 20-36in. in height.
3. Add residential garden-style block wall along right side property line in side and rear yards, max. 36in. in height.

History of the Property-

No GHRS for this property. The tax assessor shows the property constructed c. 1958. The property is historic, contributing.

COP22-09. Various house renovations including 2nd fl addition. Approved 3-15-22.

COP22-09 REV-1. Add front porch, 1st and 2nd floors. Approved 10-18-22.

Analysis of the COP:

The original house type is Ranch House. The original house style is mid-century modern.

The property owner/ applicant has faced many drainage challenges on the property with the completion of the site work and new structures at 32 Cassville Rd and the clearing, grubbing and grassing of the vacant property at 323 W Cherokee Ave. that is adjacent to and the north of the applicants' property. The solution was to raise the grade elevations in the back yard and diffuse and divert the stormwater flowing across their property. Retaining walls were needed.

The owner chose a red-gray architectural block wall, approx. 16in x 12in. x 8" in, for the solution. It begins about the mid-point of the rear property line at grade and is installed to the western property corner reaching a maximum height of 36 inches. The wall turns south along the western (left side) property line and ends approx. 35ft in front of the house, still hugging the property line and stepping down in two intervals to terminate at 20 inches in height.

A second wall section is being installed along the right side property line behind the front façade of the house and along the side property line before curving and paralleling the rear of the house. A second wall appears planned above the bottom wall per the site pictures taken 6-12-24. A traditional architectural concrete garden wall 12in. 8in. x 4in. is being used for this wall.

A privacy fence will be installed around the side and rear of the property. The privacy fence will be installed on top of the architectural block wall. Height of the wall and fence combined cannot exceed 8ft in height per Sec. 4.16 of the zoning code. The owner intends to plant vegetation in front of the wall to disguise the wall where it faces outward toward adjacent properties.

Retaining Walls do not have a specific HPC design standard, but are reviewable based on the definitions section of the HPC ordinance, a new [retaining] wall constitutes a change in material and is subject to HPC review. The HPC is tasked with determining if the wall material is appropriate for the district.

Concrete retaining wall products have been reviewed and approved by the HPC most recently at 420 W. Main St (COP23-08) and 416 W. Main St (COP19-02). Other retaining walls constructed of brick, and stone have also been reviewed.

Per Section 9.25-37:

Exterior environmental features and landscape features means all those aspects of the landscape or the development of a site which affect the historical character of the property, i.e., walls, fences, paving, walks, drives, etc., but not plants, trees, or flowers of any kind.

Historic, for the purposes of historic preservation, means a historic structure is one that is fifty (50) years of age or older. A historic structure may be contributing or non-contributing.

Historic district means a geographically definable area which contains structures, buildings, objects, sites, works of art, or a combination thereof which exhibit a special historical, architectural, or environmental character as designated by the commission.

Historic property means an individual building, structure, site, object, or work of art which exhibits a special historical or architectural character as designated by the commission.

Material change in appearance means a change that will affect either the exterior architectural or environmental features of a historic property or any buildings, structure site, object, landscape feature or work of art within a historic district, such as:

- (1) A reconstruction or alteration of the size, shape, or facade of a historic property, including relocation of any doors or windows or removal or alteration of any architectural features, details, or elements;
- (2) Demolition or relocation of a historic structure;
- (3) Commencement of excavation for construction purposes;
- (4) A change in the location or design of advertising visible from the public right-of-way on any historic property; or
- (5) The erection, alteration, restoration, or removal of any building, structure, object, or work of art within a historic property, including walls, fences, steps, and pavements or other appurtenant features.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof		
Siding		
Windows		
Doors		
Exterior Lighting		
Foundation		
Decking		
Steps		
Porches		
Ornamentation		

Hardscaping

Retaining Wall	Architectural Concrete
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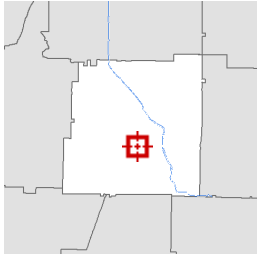
Notes:

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.



 Approx. Retaining Wall Locations



Overview



Legend

-  Parcels
-  Roads

Parcel ID	C014-0004-007	Alternate ID	33624	Owner Address	KELLEY JUSTIN COLT
Sec/Twp/Rng	n/a	Class	Residential		GARGIULO STEPHANIE
Property Address	341 W CHEROKEE AVE	Acres	0.7		341 W CHEROKEE AVE
					CARTERSVILLE, GA 30120
District	Bartow County				
Brief Tax Description	LL452 LD4 lots 25-32 QUILLIAN SUB				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/14/2024
Last Data Uploaded: 6/13/2024 10:22:46 PM

Developed by 



*Applicant: Justin colt Kelley
 Project Address: 341w Cherokee Ave cartersville
 Mailing Address (if different than project address):
P.O. Box 1166 cartersville ga 30120
 Phone: 706-266-7431
 Email: Justincoltkelley@gmail.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. **Building permits will not be issued without proof of a COP.**

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

Office Use Only	
Case Number	COP24-20
Date Received	Wall- 6-11-24
Contributing	Y. c.1958
Zoning	R-20
Legal Advertisement	6-11-24
Notified Adjacent	
HPC Hearing	6-18-24
HPC Decision	
COP Expiration	
Project Completion	
Tax Parcel	C014-0004-007

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Existing Building Type:

- Residential One, Two or Multi-family _____
- Commercial Garage, Storage _____
- Other _____

Brief Project Description (example: addition of sunroom, installation of fence):

Fence

Type of Project (Check all that apply):

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other _____

Retaining Walls added to application 6-11-24 following site visit, emails, and calls between 6-10 and 6-11.

Start Date: June 19th 2024

Anticipated Completion: TBA

Contractor/Consultant/Architect: Psalterco.com

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 5-20-24 Signature Colt Kelley

APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

Site Changes – Signs

- specifications
- description of construction materials and illumination

Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

NOTE: Only complete applications will be placed on the agenda for design review. Submit to:

City of Cartersville
Planning and Development Department
P.O. Box 1390
Cartersville, GA 30120

PROJECT DESCRIPTION

Item 5.

Include support materials and attach additional sheets if needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

Add architectural block retaining wall with gravel core along rear and side property lines.

See pictures.

Height of wall ranges from 20 inches in front yard at start of wall to 36 inches along rear property line. Also, 36 inches in right side property line.

Wall to be disguised with vines or other vegetation.

Privacy fence to be installed on top of wall.

Fence and wall combined will not exceed 8ft in height per zoning regulations.

Fence was approved administratively by city staff.

PRECEDENCE OF DECISIONS

Each application will be considered on it's own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.

David Hardegree

From: stephanie Gargiulo <stephaniengargiulo@gmail.com>
Sent: Monday, June 10, 2024 11:45 AM
To: David Hardegree
Cc: Colt Kelley
Subject: [EXTERNAL] Historic meetings 2023. 341 W Cherokee Ave.



Okay great and we interpreted it as separate entities but I can see it both ways. Either way it's no problem.

And just to have for everyone's records:

Ultimately, we are just replacing the fence that we took down as it was falling apart. It was over 10 feet high but we are planing on continuing to follow the ordinances.

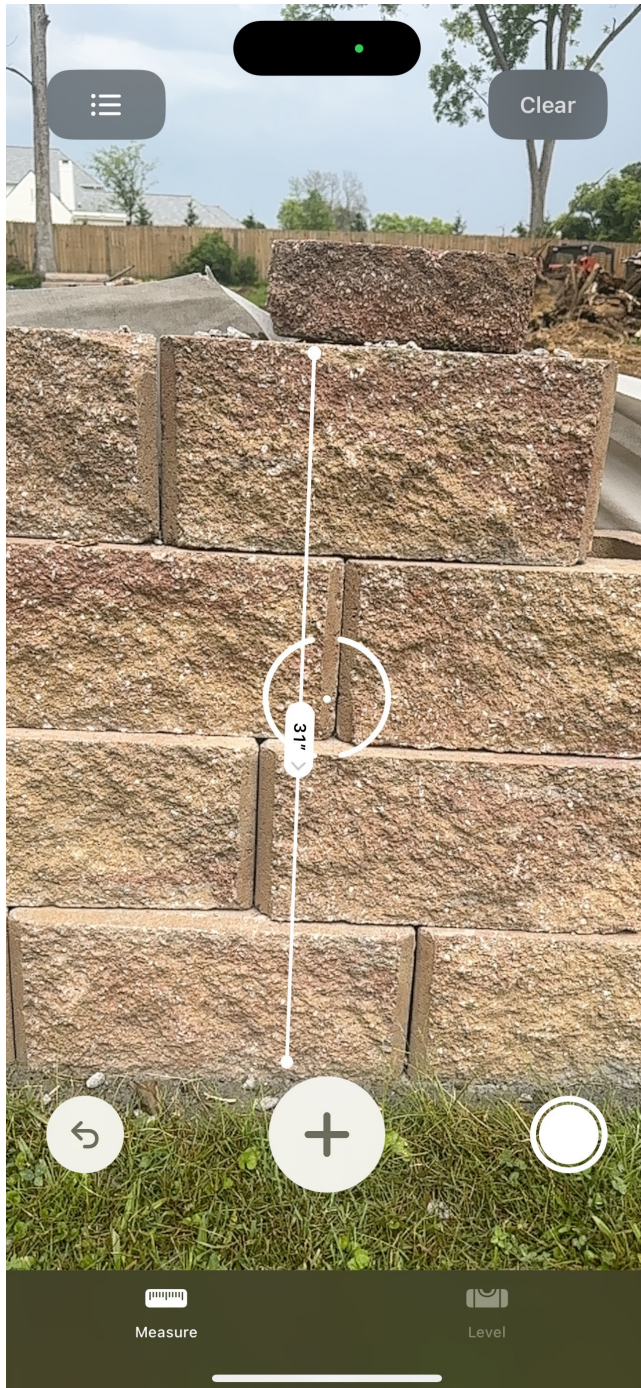


Below is a photo of the top block. That block that is a smaller one above the white dot is holding down the tarp, so ignore it.

And as you know our fence is 6 feet H. Since this fence was administratively approved and this style only comes in 6 foot H panels and 10 foot H panels we are cutting them. They don't have a 5 foot H panel. We already have to cut them to fit the post in and will cut whatever is necessary to continue to stay within ordinances- which seems to only be 6 inches.

We will continue to maintain the 8 feet H barrier regardless of it is the retaining wall and fence Or fence and single block or fence by itself. (To give context, some areas only will have one block where it is closer to the rest of the land elevation at the top of the hill on the far back right (if facing Charles street).

Unfortunately we are having to do this due to the neighbors gutters pointed out all of our homes. Thankfully the city redid the drain which helped a good bit. This will only ensure that the water doesn't hit the roads like it has been causing people to drive on the wrong side.



See you today at 3pm 341 w Cherokee Ave cartersville ga 30120z

Thank you again.

On Mon, Jun 10, 2024 at 10:14 AM David Hardegree <dhardegree@cityofcartersville.org> wrote:

Below is the fence ordinance. See Sec. B(2) in highlights.

Sec. 4.16. - Fences and walls.

A. In all zoning districts:

1. No fence or wall shall constitute an obstruction to the vision for or create a hazard to vehicular traffic.
2. No fence or wall, including retaining walls, shall be constructed of exposed concrete block, tires, junk or other discarded materials.
3. The fencing standards as stated in this section shall not apply to fencing for detention ponds.
4. The wall standards as stated in this section shall not apply to retaining walls approved by the plan review process for planned developments.

B. In all residential and commercial zoning districts:

1. Any fence or wall which extends into the front yard shall be ornamental or decorative, and shall not be opaque. Any such fence or wall may be constructed of brick, stone, wood, wrought iron, split rail, or other decorative material as approved by the zoning administrator.
2. Fences and walls shall not exceed four (4) feet in height in a front yard and shall not exceed eight (8) feet in height in a side or rear yard.
3. Chain-link fencing material may be used in the front yard with prior approval of a variance by the board of zoning appeals. No variance is required if chain link fencing material is used in a side or rear yard.
4. For a corner lot or double frontage lot, a screening or opaque fence may be installed to the rear of the principal structure at a maximum of eight (8) feet in height provided that the fence shall be located behind the required front yard setback and shall not be located adjacent to or abutting a collector or arterial street.
5. Razor wire (ribbon) shall be prohibited.

C. In all industrial zoning districts:

1. Fences or walls shall not exceed (8) feet in height in front, side and rear yards.

(Ord. No. 20-21, § 1, 4-1-2021)

[ARTICLE IV. - GENERAL PROVISIONS | Code of Ordinances | Cartersville, GA | Municode Library](#)

From: Colt Kelley <justincoltkelley@gmail.com>
Sent: Monday, June 3, 2024 12:10 PM
To: David Hardegree <dhardegree@cityofcartersville.org>
Subject: Re: [EXTERNAL] Historic meetings 2023. 341 W Cherokee Ave.

Okay will do. Thank you so much!

Colt!

On Mon, Jun 3, 2024 at 11:41 AM David Hardegree <dhardegree@cityofcartersville.org> wrote:

Approved application attached. Please keep for your records. No further action is required. If you do make changes to the fence location or material, contact me for next steps or re-review.

Have a good day!

David

David Hardegree

Planning and Development

O. 770-387-5614

From: Colt Kelley <justincoltkelley@gmail.com>
Sent: Friday, May 31, 2024 9:04 PM
To: David Hardegree <dhardegree@cityofcartersville.org>
Subject: Re: [EXTERNAL] Historic meetings 2023. [341 W Cherokee Ave.](#)

Good evening David,

Okay, great! Let me know if you need anything else for the approval process.

Your records are correct and are still the current state.

We do not plan on having the meters be inside the fence . The fences on each side will end right before them that way they can still check on the meters. However, we did talk to the city about moving the gas meter as it's going through the large tree in the front and we didn't want the roots to cause issues years down the road. However that is still up in the air. Either way we will make sure the meters are accessible and in front of the fence for easy access for both them.

Let me know if you have any other thoughts.

Thank you in advance!

On Fri, May 24, 2024 at 6:24 PM David Hardegree <dhardegree@cityofcartersville.org> wrote:

Colt,

I have received the application. It looks like something I can approve administratively. The privacy fence does not exceed the max. height of 8ft and is located in the side and rear yards of your property. It complies with the zoning ordinance. The gates are decorative and also meet the zoning ordinance. I'll look more closely at it on Tuesday, but the approval process looks simple.

The only comments I have are about the electric and gas meters. From my 2022 pics, it looks like the gas meter is on the left side of the house near the front corner. Was it moved to another location for the remodel? The electric meter appears to have been moved to the right side of the house. Is this correct? Will these meters be enclosed behind the fence? If so, the utility departments will likely require a 10ft wide gate and a double lock so they have 24/7 access to the lines and meters. The best solution is to locate the fence behind the meters so there is no conflict. I cannot tell from the site plan sketch if the fence will be behind or in front of the meters. Please confirm.

David

David Hardegree

Planning and Development

O. 770-387-5614

From: Colt Kelley <justincoltkelley@gmail.com>
Sent: Monday, May 20, 2024 1:22 PM
To: David Hardegree <dhardegree@cityofcartersville.org>
Subject: Re: [EXTERNAL] Historic meetings 2023

Good afternoon,

Here is the application for our fence. The gate its self is in review. However it will be similar to what you see here.

This is the exact fence Link:

<https://www.homedepot.com/p/Outdoor-Essentials-6-ft-x-8-ft-Pressure-Treated-Pine-Capped-Stockade-Fence-Panel-248698/305626151>

Please let me know if I missed anything.

I am submitting this before the May 24th deadline in hopes to present at the June 18th 2024 meeting.

Thank you in advance

On Sun, May 19, 2024 at 10:43 PM Colt Kelley <justincoltkelley@gmail.com> wrote:

----- Forwarded message -----

From: **Colt Kelley** <justincoltkelley@gmail.com>
Date: Tue, May 7, 2024 at 3:04 PM
Subject: Fwd: [EXTERNAL] Historic meetings 2023
To: Colt Kelley <justincoltkelley@gmail.com>, stephanie Gargiulo <stephaniengargiulo@gmail.com>

----- Forwarded message -----

From: **David Hardegree** <dhardegree@cityofcartersville.org>
Date: Thu, May 18, 2023 at 5:33 PM
Subject: RE: [EXTERNAL] Historic meetings 2023
To: stephanie Gargiulo <stephaniengargiulo@gmail.com>, Colt Kelley <justincoltkelley@gmail.com>, Zack Arnold <zarnold@cityofcartersville.org>

Correct.

From: stephanie Gargiulo <stephaniengargiulo@gmail.com>
Sent: Thursday, May 18, 2023 5:25 PM
To: Colt Kelley <justincoltkelley@gmail.com>; David Hardegree <dhardegree@cityofcartersville.org>; Zack Arnold <zarnold@cityofcartersville.org>
Subject: Re: [EXTERNAL] Historic meetings 2023

*****CAUTION***** : This email originated from outside the City of Cartersville network. Do not click links or open attachments unless you recognize the sender and know the content is safe.
Sender: stephaniengargiulo@gmail.com

Okay great we will see what we can do.

Just to reconfirm – So to get on the June docket we must have the application and all items to you by next Friday. Basically all materials are always do a month prior to the meeting?

Thank you so much

On Thu, May 18, 2023 at 5:18 PM David Hardegree

<dhardegree@cityofcartersville.org> wrote:

Not until we have an application, plans and supporting documentation. Application deadline is next Friday.

From: stephanie Gargiulo <stephaniengargiulo@gmail.com>
 Sent: Thursday, May 18, 2023 5:17 PM
 To: David Hardegree <dhardegree@cityofcartersville.org>
 Cc: Colt Kelley <justincoltkelley@gmail.com>; Zack Arnold <zarnold@cityofcartersville.org>
 Subject: Re: [EXTERNAL] Historic meetings 2023

*****CAUTION***** : This email originated from outside the City of Cartersville network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sender: stephaniengargiulo@gmail.com

Wow David this is beyond helpful! You have no idea!

Can you go ahead and put up down for the June meeting?

When are materials due?

Thank you again!

On Thu, May 18, 2023 at 4:49 PM David Hardegree <dhardegree@cityofcartersville.org> wrote:

Colt and Stephanie- I think I have answered most of your questions below. Probably created some new ones. Contact me with any questions.

1. driveways,- HPC- See Sec. 9.25-55 (G). New curb cuts require Public Works approval.
2. fences, HPC-None. See Zoning ordinance [Sec. 4.16](#)
3. retaining walls, HPC- No specific requirements. Retaining walls are typically reviewed if they require a permit (over 4ft in height), visible from ROW, or are in the front yard, i.e. by a sidewalk. See Zoning ordinance [Sec. 4.16](#)
4. grading, None.
5. landscaping, HPC- None. Zoning ord.- None.
6. trellis, HPC- Considered a landscape feature. Probably no review required unless structure requires a permit (over 200sf). Considered an accessory structure. See Zoning ordinance, [Sec. 4.9](#)
7. mailbox, HPC- Considered a landscape feature. Probably, no review required. Zoning- None
8. lighting, HPC- Review possible. See 9.55-55 (H). Zoning- No review required.
9. pools, HPC- Admin. review/approval if in backyard. Considered an accessory structure. See Zoning ordinance, [Sec. 4.9](#)
10. portable sheds, HPC- Admin. or Board review/approval required. See 9.25-55, Part 2 (B). Considered an accessory structure. See Zoning ordinance, [Sec. 4.9](#)
11. ponds, HPC- similar to pools. Admin. or Board review/approval required depending on size. May also be considered a landscape feature. Considered an accessory structure. See Zoning ordinance, [Sec. 4.9](#)

Cherokee Cassville HD. [Sec. 9.25-55.](#)

For the above items, Admin or Board review:

- Submit a site plan/ sketch showing feature relative to house and/or property lines.
- Include object dimensions and locating dimensions.
- Include elevations where appropriate.
- Include materials to be used.
- Include digital pictures of site location. You can email those to me.
- Submit the appropriate application. See Admin form for eligible items.

David

David Hardegree

City Planner

O. 770-387-5614

From: stephanie Gargiulo <stephaniengargiulo@gmail.com>
Sent: Monday, May 8, 2023 12:37 PM
To: Colt Kelley <justincoltkelley@gmail.com>; David Hardegree <dhardegree@cityofcartersville.org>
Subject: [EXTERNAL] Historic meetings 2023

*****CAUTION***** : This email originated from outside the City of Cartersville network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Sender: stephaniengargiulo@gmail.com](mailto:stephaniengargiulo@gmail.com)

Hey ,

We hope all is well! It's been awhile.

Can you send me the meeting dates for the rest of the year? We would like to get on the next meeting in June whenever that may be. We are working on what we want to submit.

Also, can you tell me the rules and guidelines for, driveways, fences, retaining walls, grading, landscaping, trellis, mailbox, lighting, pools, portable sheds, ponds and anything exterior?

SITE VISIT 6-10-24









SITE VISIT 6/12/24











Historic Preservation Application for Administrative Review

Administrative approval may be issued for the following projects only. A Certificate of Preservation must be obtained from HPC for projects not listed below: Check project area(s):

<input type="checkbox"/>	SIGN	Must comply with Sign Ordinance
<input type="checkbox"/>	ROOF	No significant alterations; no change in materials
<input checked="" type="checkbox"/>	FENCE	Must comply with Zoning Ordinance
<input type="checkbox"/>	MAINTENANCE	No change in exterior design or material
<input type="checkbox"/>	DECK	Rear yard only
<input type="checkbox"/>	POOL	Rear yard and side yard, if corner lot.
<input type="checkbox"/>	ACCESSORY STRUCTURE	Rear yard only; must be less than 200 square feet
<input type="checkbox"/>	RETAINING WALL (NEW)	Generally, for aesthetics and erosion control of short slopes, no structural impact to historic structure, under 30in. when abutting a public ROW or fence/handrail required. Utility locate required. Must Comply with Zoning Ordinance.

Owner's Name: Justin Colt Kelley
 Property Address: 341 W. Cherokee Ave
 Mailing Address: PO Box 1166. Cartersville. 30120

Phone: 706-266-7431
 Email: justincoltkelley@gmail.com
 Commercial Residential

DESCRIPTION OF WORK

- Describe in detail all work planned: See attached. Add 6ft. wood privacy fence to side and rear yards. Electric and gas meters located on sides of the house will not be enclosed behind fence.
- List materials to be used. Submit specification sheet, if available: Wood
- Will there be an exterior structural change? Explain: No
- Anticipated start date: _____ Anticipated end date: _____
- Applicant's signature: _____ Application date: _____

STAFF REVIEW

Approved: Denied: _____
 Staff signature: David Hardegree Date: 6-3-24

City of Cartersville Planning and Development. 10 N. Public Sq. Cartersville, GA 30120.
 Contact: David Hardegree. (o)770-387-5614. dhardegree@cityofcartersville.org



Cartersville Historic Preservation Commission
CERTIFICATE OF PRESERVATION APPLICATION

*Applicant: Justin colt Kelley
Project Address: 341w Cherokee Ave cartersville
Mailing Address (if different than project address):
P.O. Box 1166 cartersville ga 30120
Phone: 706-266-7431
Email: Justincoltkelley@gmail.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. **Building permits will not be issued without proof of a COP.**

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

Office Use Only

Case Number _____
Date Received _____
Contributing _____
Zoning _____
Legal Advertisement _____
Notified Adjacent _____
HPC Hearing _____
HPC Decision _____
COP Expiration _____
Project Completion _____
Tax Parcel _____

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Existing Building Type:

- Residential One, Two or Multi-family _____
Garage, Storage _____
- Commercial
- Other _____

Brief Project Description (example: addition of sunroom, installation of fence):

Fence

Type of Project (check all that apply):

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other _____

Start Date: June 19th 2024

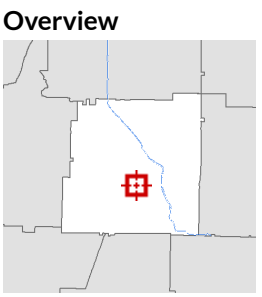
Anticipated Completion: TBA

Contractor/Consultant/Architect: Psalterco.com

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 5-20-24 Signature Colt Kelley

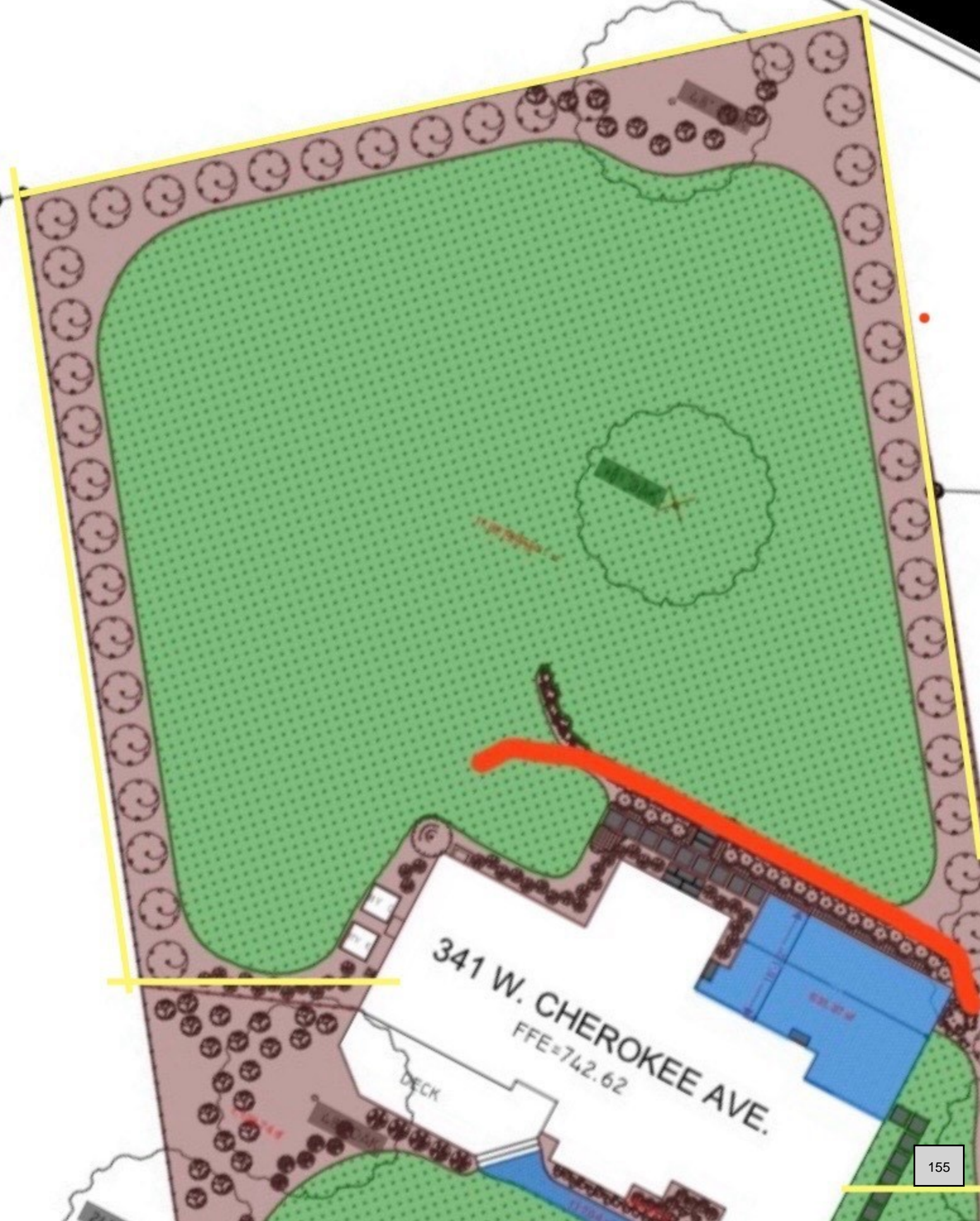


Legend
 □ Parcels
 — Roads

Parcel ID	C014-0004-007	Alternate ID	33624	Owner Address	KELLEY JUSTIN COLT
Sec/Twp/Rng	n/a	Class	Residential		GARGIULO STEPHANIE
Property Address	341 W CHEROKEE AVE	Acreage	0.7		341 W CHEROKEE AVE
					CARTERSVILLE, GA 30120
District	Bartow County				
Brief Tax Description	LL452 LD4 lots 25-32 QUILLIAN SUB				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 5/28/2024
 Last Data Uploaded: 5/27/2024 10:09:21 PM







Cartersville 10PM 30120



Cartersville 10PM 30120

Shop All Services DIY Me

... / Lumber & Composites / Fencing & Gates / Wood Fencing / Wood Fence Panels

Internet # 305626151 Model # 248698 Store SKU # 1003416743



Outdoor Essentials

6 ft. x 8 ft. Pressure-Treated Pine Capped Stockade Fence Panel

★ ★ ★ ★ ★ (1) Questions & Answers (3)

Feedback



Hover Image to Zoom

Share Print

\$95⁰⁰

Pay \$70.00 after \$25 OFF your total qualifying purchase upon opening a new card. [Apply for a Home Depot Consumer Card](#)

- Made of durable pressure-treated pine
- Vertical board design with matching cap rail



David Hardegree

From: Colt Kelley <justincoltkelley@gmail.com>
Sent: Friday, May 31, 2024 9:04 PM
To: David Hardegree
Subject: Re: [EXTERNAL] Historic meetings 2023. 341 W Cherokee Ave.

Follow Up Flag: Follow up
Flag Status: Flagged

Good evening David,

Okay, great! Let me know if you need anything else for the approval process.

Your records are correct and are still the current state.

We do not plan on having the meters be inside the fence . The fences on each side will end right before them that way they can still check on the meters. However, we did talk to the city about moving the gas meter as it's going through the large tree in the front and we didn't want the roots to cause issues years down the road. However that is still up in the air. Either way we will make sure the meters are accessible and in front of the fence for easy access for both them.

Let me know if you have any other thoughts.

Thank you in advance!

On Fri, May 24, 2024 at 6:24 PM David Hardegree <dhardegree@cityofcartersville.org> wrote:

Colt,

I have received the application. It looks like something I can approve administratively. The privacy fence does not exceed the max. height of 8ft and is located in the side and rear yards of your property. It complies with the zoning ordinance. The gates are decorative and also meet the zoning ordinance. I'll look more closely at it on Tuesday, but the approval process looks simple.

The only comments I have are about the electric and gas meters. From my 2022 pics, it looks like the gas meter is on the left side of the house near the front corner. Was it moved to another location for the remodel? The electric meter appears to have been moved to the right side of the house. Is this correct? Will these meters be enclosed behind the fence? If so, the utility departments will likely require a 10ft wide gate and a double lock so they have 24/7 access to the lines and meters. The best solution is to locate the fence behind the meters so there is no conflict. I cannot tell from the site plan sketch if the fence will be behind or in front of the meters. Please confirm.

David

David Hardegree

Planning and Development

O. 770-387-5614

From: Colt Kelley <justincoltkelley@gmail.com>
Sent: Monday, May 20, 2024 1:22 PM
To: David Hardegree <dhardegree@cityofcartersville.org>
Subject: Re: [EXTERNAL] Historic meetings 2023

Good afternoon,

Here is the application for our fence. The gate its self is in review. However it will be similar to what you see here.

This is the exact fence Link:

<https://www.homedepot.com/p/Outdoor-Essentials-6-ft-x-8-ft-Pressure-Treated-Pine-Capped-Stockade-Fence-Panel-248698/305626151>

Please let me know if I missed anything.







