



## **Historic Landmark Commission Meeting Agenda**

**COUNCIL CHAMBERS - 1209 FIORELLA STREET**

**Tuesday, January 20, 2026**

**6:30 PM**

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**The Historic Landmark Commission of the City of Castroville will meet in the Regular Called Meeting beginning at 6:30 p.m. in the Council Chambers at City Hall on the following items listed on the agenda.**

**I. Call to Order**

**II. Roll Call**

**III. Citizen Comments**

The Board will hear comments from any citizen or visitor. Speakers must address their comments to the presiding officer rather than individual board members or staff; stand at the podium, speak clearly into the microphone and state your name residential address before speaking. Speakers will be allowed a maximum of 3 minutes for testimony. In accordance with the State Open Meetings Act, the Board is restricted from discussing or taking action on items not listed on the agenda. Action can only be taken at a future meeting.

**IV. Approval of Minutes**

**a.** Minutes for December 17, 2025.

**V. Discussion and Action Items**

**a.** Discussion and action on a Certificate of Appropriateness for 602 Washington St.

**b.** Discussion and action on a Certificate of Appropriateness for 509 Hwy 90 W.

**c.** Discussion and action on a Certificate of Appropriateness for 1101 Alamo St.

**d.** Discussion and action on a Certificate of Appropriateness for 702 Florence St.

**e.** Discussion and action on a Certificate of Appropriateness for 709 Berlin St.

**f.** Discussion and action on a Certificate of Appropriateness for 312 Petersburg.

**g.** Discussion and action on a Certificate of Appropriateness for 905 Lisbon St.

**h.** Discussion and action on a Certificate of Appropriateness for 702 Paris St.

**i.** Discussion and action on a Certificate of Appropriateness for 1315 Fiorella St.

**j.** Discussion and action on selecting discussion items and setting a date for a workshop.

**VI. Discussion on Future Agenda Items**

**VII. Adjourn**

**Accessibility Statement**

The City Hall is wheelchair accessible. The exit and parking ramps are located at the rear of the building.

**Non-Discrimination Statement**

The City of Castroville does not discriminate on the basis of race, color, national origin, sex, religion, or disability in the employment or the provision of services.

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, Castroville, Texas on January 13, 2026 before 6:00 p.m.

/s/ Debra Howe

City Secretary

HISTORIC LANDMARK COMMISSION  
 Minutes for December 17, 2025 6:30 PM

- I. Call to Order at 6:30 pm
- II. Roll Call: Lautie Marchman, Mary King, Kyle McVay, Jeff Gardner, Priscilla Garrett, Doug DeMino, Ginny Andermat, HPO Selena Angel, liaison Phil King.
- III. Citizens Comments - Kalab Perkins ( Mission City Arbor) concerned about the trees in Regional Park. Suggested he bring to City Council
- IV. Minutes for October 21,2025 and November 18,2025 - Approved.

V. **a. 702 Paris Discussion and action on a Certificate of Appropriateness**

The HPO recommends approval with conditions:

- . Use of appropriate mortar and plaster materials for stone and stucco repairs
- . Construction of porch floors in wood rather than concrete, simplified stair design.
- . Submission of a complete exterior paint color schedule using historic colors.
- . Standing seam Porch roof and colors remain as is.
- . Fence height to be 6' , but lower in front yard.
- . Zoning was changed from COA to HE.
- . Future Landscaping required to come before HLC
- . Motion to Approve made by Doug, 2<sup>nd</sup> by Mary Passed

b. **505 Houston Discussion and action on a Certificate of Appropriateness**

The HPO recommends approval with the following recommendations

- . **Windows** should be casement and **Shutters** must be appropriately sized so they are capable of covering the window opening when closed, consistent with Guidelines.
- . Remove any non original mortar or cement plaster- replacing mortar to match the original in composition, color, and profile. Avoid Portland cement plaster , as it may damage historic stone. Instead when appropriate use limestone plaster.'
- . Motion to Approve made by: Kyle , 2<sup>nd</sup> by Doug Passed

c. **1109 Fiorella Discussion and action on a Certificate of Appropriateness**

Add external shutters to all windows appropriately sized so when closed they cover the window opening when closed.

Add paint from Old Century pallet – brick red shutters – salt box blue for porches

Doors to be replaced with solid wood doors to match Historic style – stained.

This includes both buildings. Motion to approve by Priscilla , 2<sup>nd</sup> by Kyle Passed

d. **501 Vienna Discussion and action on a Certificate of Appropriateness**

Remove old aluminum windows – replace with 6-pane Casement windows

Replace back door with a wood door for the back entry

Motion to Approve made by Laurie, 2<sup>nd</sup> by Mary Passed

e. **902 London Discussion and action on a Certificate of Appropriateness**

To repair and add to existing wall to prevent erosion of property. Designed to match existing stone retaining wall. If not matching must be re submitted.

Motion to Approve as presented: made by Doug 2<sup>nd</sup> by Kyle Passed

f **405 Paris discussion and action on a Certificate of Appropriateness**

Wall **sign** must comply with the City's **Sign and Signage Ordinance.**

Motion to Approve made by Priscilla, 2<sup>nd</sup> by Laurie Passed

- g-l **Items to be discussed in Internal workshop** – Time line for projects, using appropriate materials, update guidelines,clarify non conforming structures, code compliance issues. Set a date for joint workshop with Council.

VII Adjourned 7:55pm

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Chair Signature

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Date



# Agenda Report

**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 602 Washington St.

**Property Address:** 602 Washington Street  
**Applicant/Owner:** Mark Suehs & Paige Portenier-Suehs  
**Zoning / Overlay:** Historic Overlay District (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for demolition and new construction at 602 Washington Street, subject to staff’s recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to demolish an existing residence and construct a new single-family home at 602 Washington Street, located within the City’s Historic Overlay District.

## PROPERTY & PROJECT SUMMARY

The subject property is located within a designated historic district but the existing structure, constructed circa 1971, is not historically designated and is not pending designation. The applicant proposes demolition of the existing residence and construction of an approximately 2,200-square-foot single-family dwelling, including front and rear porches.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Demolition:** Acceptable, as the structure is not historic or pending designation.
- **New Construction:**
  - HLC is the reviewing authority.
  - To maintain compatibility with the historic district, it is recommended that window sizes and/or styles on the north and west façades (Washington and Angelo Streets) be consistent to better balance façade openings.
- **General Comment:** Existing mature trees, particularly live oaks and pecans, should be preserved where feasible.

## **STAFF ANALYSIS**

The request complies with historic demolition standards and allows for redevelopment consistent with zoning. The HPO recommendations address design compatibility and site preservation and can be incorporated as conditions of approval.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

12 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

602 Washington Street, Castroville, TX 78009

December 12, 2026

Mark Suehs & Paige Portenier-Suehs  
602 Washington Street  
Castroville, TX 78009  
210.852.1569  
Msuehs21@icloud.com

RE: 602 Washington Street – Demolition and New Construction Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1971
THC 1969 Survey		Architectural Style	
THC 2002 Resource		Minimal Traditional Influences	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.

## DEMOLITIONS

Per Castroville’s Comprehensive Zoning Ordinance, Article IV, Section VII, demolition or removal of a historic structure constitutes an irreplaceable loss to the quality of and character of the city. Per Castroville’s Comprehensive Zoning Ordinance, Article IV, Section II (6),



123 Parland Place, Suite 100  
San Antonio, Texas 78209  
210.549.2588  
work5hop.com

demolition means an act or process that destroys or razes in whole, or in part, a building, object, site or structure, including the permanent impairment of structural integrity. This includes demolition by neglect, which is defined as inaction or series of inaction that result in the destruction or irredeemable deterioration of a landmark building.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), demolition or relocation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Demolition Comments

- 1. Although the property is within one of Castroville’s historic districts, it is not a historic structure nor is it a pending designated structure, therefore demolition of the main home is acceptable.

NEW CONSTRUCTION

Per Castroville’s Comprehensive Zoning Ordinance, Article IV, Section II (22)(b)(iii), the Historic Landmark Commission is the reviewing authority for applications regarding new construction on real property which is located in an area designated or pending designation as a historic landmark or district or on land necessary for access to and use of a structure designated or pending designation as a historic landmark or district.

New Construction Comments

- 2. Per the Castroville Design Guidelines, Section III, New Construction on Historic Resource Lots (pg. 47), façade elements, such as porches, entrances and windows make up the “face” or façade of a building. These visual characteristics of new construction should recall those on historic properties. Windows and doors create solid to void ratios (openings vs. wall areas) that should be employed in new constructions. Façade openings are important in relative size and orientation.



*Although of appropriate massing and scale, this house (center) impairs the visual character established by the adjacent houses in the balance of solid to void façade elements.*



*Façade openings are important in relative size and orientation, note the incompatible building.*

To help balance the façade openings and maintain compatibility with the historic district, it is recommended that the windows on the north and west façades facing Washington and Angelo Streets be consistent in size and/or style.

12 January 2026 /  
Letter of Recommendation  
Certificate of Appropriateness  
602 Washington Street,

GENERAL COMMENTS

- 3. Per the Castroville Design Guidelines, Section II, Landscaping, Walkways, and Driveways (pg. 38), many landmark properties have large old trees that should be conserved where possible. In particular, live oaks and pecan trees should be protected and preserved.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



# CITY OF CASTROVILLE

*Little Alsace of Texas*

Section V, Item a.

Permit Number:	2025337
Submittal Date:	12/16/2025
<i>office use only</i>	

### Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

## Certificate of Appropriateness Application

Property Information			
Project Address:	602 Washington St., Castroville TX 78009	Zoning:	Residential
Legal Description:	Lot <small>Type text here</small> LOT 7&8	Block	12
	Range	Castroville	Subdivision
			CA0112
Landmark Name:			

Owner Information			
Owner Name:	Mark Suehs & Paige Portenier-Suehs		
Mailing Address:	602 Washington St., Castroville TX 78009		
Phone:	210-833-1569	Fax:	
Email:	msuehs21@icloud.com		

Project Description
We would like to remove existing house structure and build a new 2200 Sq. Ft single family dwelling.

**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

Signature of Applicant: Mark Suehs Date: 12/16/2025

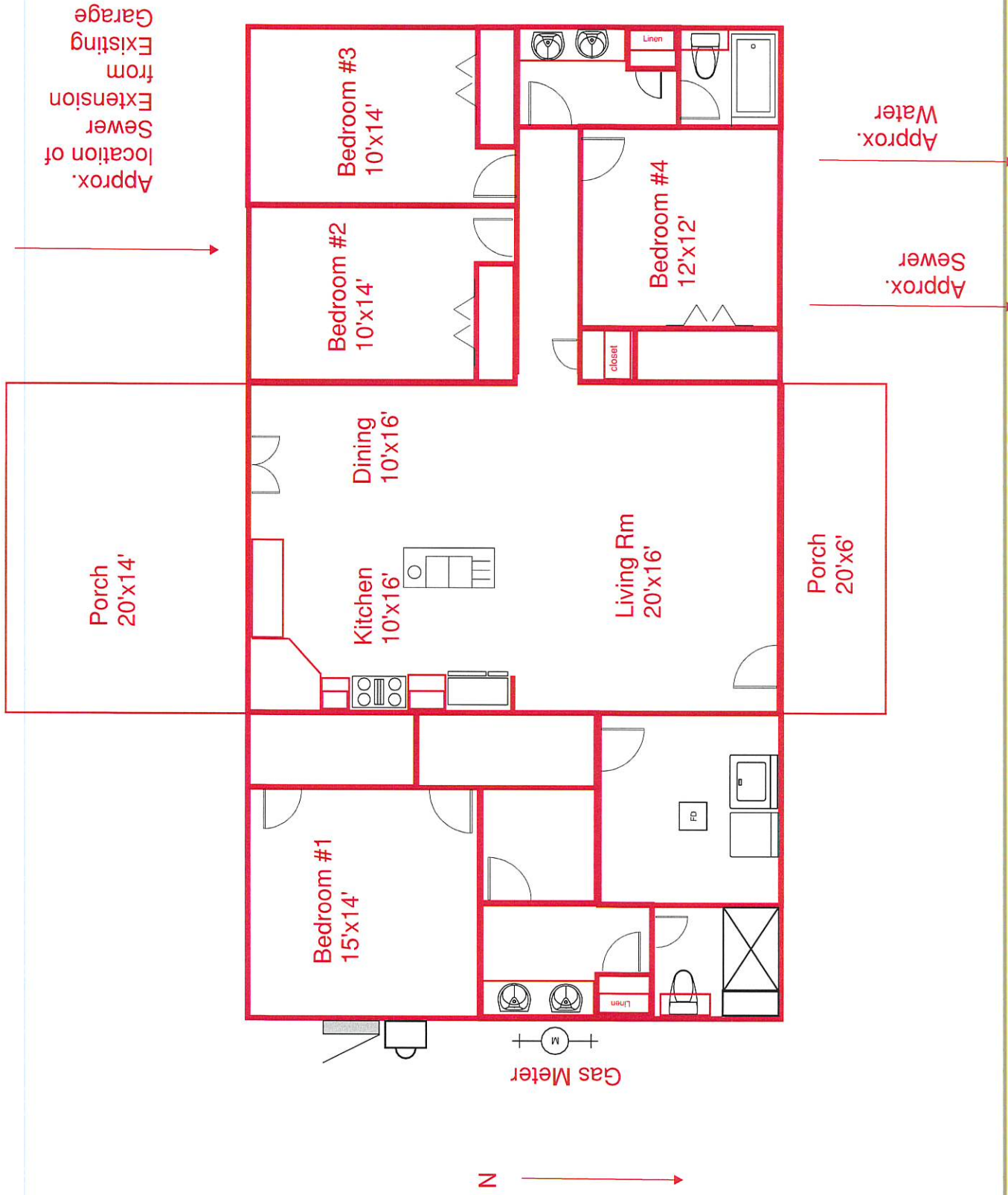








No Chimney



Approx. location of Sewer Extension from Existing Garage

Approx. Water

Approx. Sewer

N

GENERAL NOTES & BUILD SPECIFICATIONS:

- SITE UTILITIES**
  - ELECTRIC: 50' OF POST-METER LINE IN DIRT + 10' OF RISER FOR A TOTAL OF 60'
  - WATER: 50' OF POST-METER UNDERGROUND DIRT
- INSULATION**
- CLOSED CELL ON ROOF DECK
  - BATT IN WALLS

- ROOFING**
- OWENS CORNING ARCHITECTURAL COMPOSITION SHINGLES
  - LIMITED LIFETIME MANUFACTURER'S WARRANTY
  - SYNTHETIC ROOF UNDERLAYMENT
  - GALVANIZED DRIP EDGE

- FRAMING:**
- ALL DIMENSIONS ARE SET FROM STUD FACE TO STUD FACE.
  - ALL EXTERIOR FRAMING TO BE 2X6 DIMENSIONAL LUMBER, UNLESS NOTED OTHERWISE.
  - 2 X 6 JOISTS AND RAFTERS ON 19.2" CENTER - NUMBER 2 GRADE
  - ALL INTERIOR FRAMING TO BE 2X4 DIMENSIONAL LUMBER UNLESS NOTED OTHERWISE.
  - INTERIOR WALLS - 2 X 4 STUD STUDS ON 16" CENTER - NUMBER 2 GRADE
  - FULL OSB WRAP ON ALL EXTERIOR WALLS
  - TERMITE AND ROT RESISTANT TREATED SILL PLATES
  - BORA-CARE TERMITICIDE TREATMENT
  - SILL PLATES ANCHORED TO FOUNDATION
  - ENGINEERED WOOD PRODUCTS USED IN PLANS WITH LONG OPEN SPANS

- EXTERIOR**
- SIDING: FIBER CEMENT HARDIEPLANK, HARDIEPANEL AND HARDIESINGLE SIDING
  - EXTERIOR TRIM AND FACIA: HARDIETRIM SYSTEM
  - SOFFIT: HARDIESOFFIT VENTED SOFFIT PANELS AT PORCHES
- FOUNDATION**
- SITE SPECIFIC GEOTECHNICAL INVESTIGATION
  - ENGINEER DESIGNED, SLAB ON GRADE
  - THIRD-PARTY INSPECTOR PRIOR TO PLACEMENT

- WINDOWS**
- ENERGY EFFICIENT WINDOW TO COMPLY WITH RESCHECK
  - ALL GLAZING IN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2021)
  - ALL NON-TEMPERED WINDOWS TO HAVE A MIN. SILL HT. OF 24" F.F.F.
  - LIMITED LIFETIME WARRANTY
  - LOW-E HIGH PERFORMANCE INSULATED GLASS ARGON GAS FILLED
  - AMERICAN-MADE, ENERGY-EFFICIENT VINYL FRAMES
  - TEMPERED GLASS WHERE REQUIRED BY BUILDING CODE
  - SCREENS FOR OPERABLE WINDOWS
  - CONFIRM WINDOW PLACEMENT WITH OWNER.
- EXTERIOR DOORS**
- ENERGY EFFICIENT FIBERGLASS EXTERIOR DOORS

INTERIOR FINISH & TRIM

- 3/4" GYP. BD. WALL AND CEILINGS.
- SHERWIN-WILLIAMS PAINT
- TEXTURE FINISH
- ROUNDED CORNERS
- HOLLOW CORE, MOLDED INTERIOR DOORS IN MANY STYLES
- ALL FINISHES, TRIM GRADE, AND MILLWORK TO BE SELECTED BY OWNER
- CONFIRM DISTRIBUTION OF LOWER AND UPPER CABINETS AT KITCHEN, BATHROOMS, AND LAUNDRY ROOM
- CLG. HT. TO BE 9'-0" UNLESS NOTED OTHERWISE
- 1 3/8" H.C. INTERIOR DOORS (PROFILE TO BE SELECTED BY OWNER)
- 7'-0" HT. DOORS THROUGHOUT U.N.O.

ELECTRICAL

- NEC COMPLIANCE VERIFIED BY THIRD PARTY
- GROUNDING CIRCUITS AND GROUND FAULT INTERRUPTER (G.F.I.) OUTLETS AS REQUIRED
- ARC-FAULT BREAKERS ON BEDROOM CIRCUITS
- SMOKE AND CARBON MONOXIDE DETECTORS
- REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R314 AND R315 (IRC 2021) AND NFPA 72

HVAC

- LENNOX 15 SEER MATCHED SYSTEM
- DESIGNED AND INSPECTED
- 5-YEAR COMPRESSOR WARRANTY
- 20-YEAR HEAT EXCHANGE UNIT WARRANTY
- FRESH AIR INTAKE SYSTEM
- RETURN AIR VENTS IN ALL BEDROOMS
- DEHUMIDIFIER INCLUDED IN ALL HOMES
- WHOLE HOME MEDIA FILTER
- PROGRAMMABLE THERMOSTAT(S)
- GAS FURNACE
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH R303 (IRC 2021)
- A/C CONTRACTOR MUST SUBMIT FOR PERMITTING AND APPROVAL ALL A/C & R/A PLACEMENT AND CALCULATIONS. DESIGNER IS NOT LIABLE FOR A/C TYPE, PLACEMENT, & FUNCTION.

LIGHTING

- CEILING FANS IN ALL BEDROOMS AND FAMILY ROOM
- DECORATOR LIGHT FIXTURES

PLUMBING

- DELTA WOODHURST FAUCETS
- KOHLER/SERLING TUBS, TOILETS, & PEDESTAL SINKS
- ON DEMAND WATER HEATER
- LOCATE WATER HEATER AT \_\_\_\_\_ INSTALLATION MUST COMPLY WITH MANUFACTURER INSTRUCTIONS AND APPLICABLE CODES.
- SINGLE LEVER "ANTI-SCALD" VALVES AT ALL SHOWERS
- CROSS-LINKED POLYETHYLENE (PEX) WATER PIPING
- GAS FOR FURNACE
- WATER SOFTENER
- BUILDER TO VERIFY HEIGHT AND LOCATION OF HOSE BIBS PRIOR TO CONSTRUCTION

BATHROOMS

- SOLID SURFACE COUNTERTOPS WITH UNDERMOUNT LAVATORIES
- VANITIES TO HAVE BACKSPLASH. BACKSPLASH TO BE SELECTED BY OWNER.
- CERAMIC TILE TUB AND SHOWER SURROUNDS
- TILE FULL AT SHOWERS
- ALL GLASS AT TUBS & SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2021)
- ALL WOOD FACE FRAME CABINETS, CONCEALED HINGES
- INSTALLED VANITY MIRRORS
- TILE FLOOR (AT ALL WET AREAS)
- ALL PLUMBING FIXTURES SHALL COMPLY WITH SPACES REQUIRED PER R307 (IRC 2021)

FLOORING

- POLISHED CONCRETE
- KITCHEN COUNTERTOPS AND CABINETS
- QUARTZ COUNTERTOPS WITH CERAMIC TILE BACK SPLASH
- FULL EXTENSION DRAWER GUIDES
- ADJUSTABLE SHELVING IN UPPER CABINETS
- 42" UPPER CABINETS
- ALL WOOD FACE FRAME CABINETS
- SOFT CLOSE CABINET DOORS AND DRAWERS

KITCHEN APPLIANCES

- CUSTOMER FURNISHED

Suehs Renovation Project  
Castroville, TX

PLANS FOR ESTIMATING ONLY. PLANS NOT FOR CONSTRUCTION

REVISIONS	MARK	DATE	DESCRIPTION

Date	By
Project #	
Sheet Title	Section V, Item a.
GENE	
NOTE	
Sheet Number	A

# Suehs Renovation Project

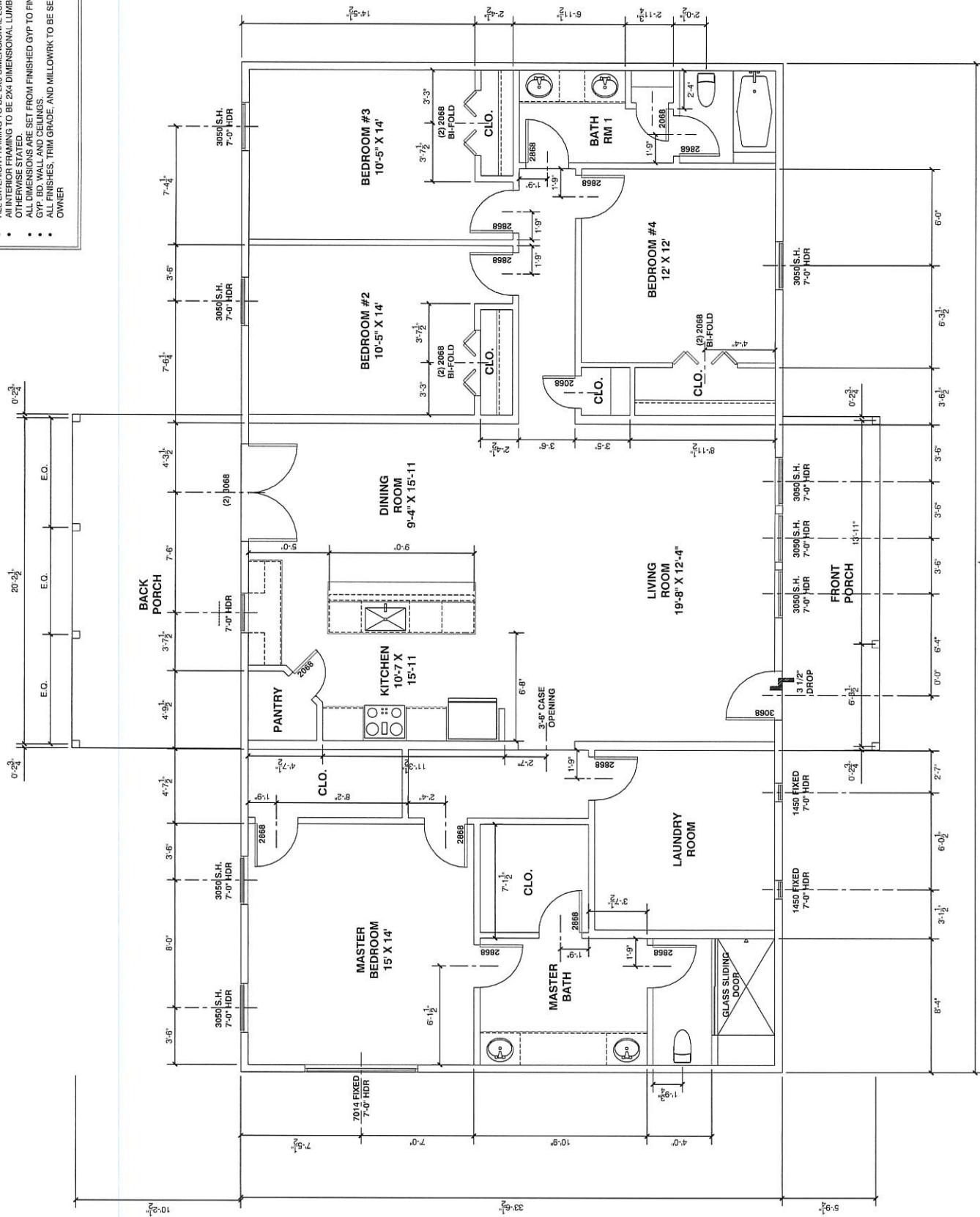
Castroville, TX

PLANS FOR ESTIMATING ONLY. PLANS NOT FOR CONSTRUCTION

Section V, Item a.

REVISIONS	MARK	DATE	DESCRIPTION

- GENERAL NOTES:
- ALL INTERIOR FRAMING TO BE 2X6 DIMENSIONAL LUMBER.
  - ALL EXTERIOR FRAMING TO BE 2X4 DIMENSIONAL LUMBER UNLESS OTHERWISE STATED.
  - ALL DIMENSIONS ARE SET FROM FINISHED GYP TO FINISHED GYP.
  - GYP, BD, WALL AND CEILINGS.
  - ALL FINISHES, TRIM GRADE, AND MILLWORK TO BE SELECTED BY OWNER.



1 PLAN - NEW  
SCALE: 1/4" = 1'-0"





# Agenda Report

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**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 509 US Highway 90

**Property Address:** 509 US Highway 90  
**Applicant/Owner:** Eden & Eunice Properties, LLC  
**Zoning / Overlay:** Historic Overlay (CG)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for exterior alterations, including signage, at 509 US Highway 90, subject to staff's recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow exterior alterations consisting of new wall-mounted building signage at 509 US Highway 90, a commercially zoned property located within the City's Historic Overlay District.

## PROPERTY & PROJECT SUMMARY

The subject property is a commercial structure constructed circa 1928 and identified as having influences of a Two-Part Commercial architectural style. The building is located within a designated historic district and is therefore subject to Historic Landmark Commission review.

The applicant proposes the installation of two flat, wall-mounted signs, anchored with self-tapping screws and anchors, similar in style to previous signage on the building.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Alterations:** Installation of signage constitutes an exterior alteration subject to HLC review.
- **Signage Comments:**
  - Per the Historic Design Guidelines, approval is limited to one building identification sign.
  - The applicant is proposing **two signs**, which is not consistent with the guidelines.

- Recommended alternatives include:
  - Locating a single sign on the front façade of the building;
  - If placed on the east side, centering the sign between the two second-story windows; or
  - Considering a monument sign on the west end of the property.
- All signage must comply with the City’s Sign and Signage Ordinance.

## **STAFF ANALYSIS**

The proposed signage constitutes a visible exterior alteration within a historic district and must be evaluated for compatibility. The HPO recommendations provide clear alternatives that maintain historic character while allowing reasonable identification signage. These recommendations can be incorporated as conditions of approval.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions

06 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

509 US Highway 90, Castroville, TX 78009

January 6, 2026

Eden & Eunice Properties LLC  
5514 Lone Star Parkway, Suite 103  
San Antonio, TX 78253  
210.890.8009  
[eusbey@yahoo.com](mailto:eusbey@yahoo.com)

RE: 509 US Highway 90 – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	x - CG	Build Date	Approx. 1928
THC 1969 Survey		Architectural Style	
THC 2022 Resource		Influences of Two-Part Commercial	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.

## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,



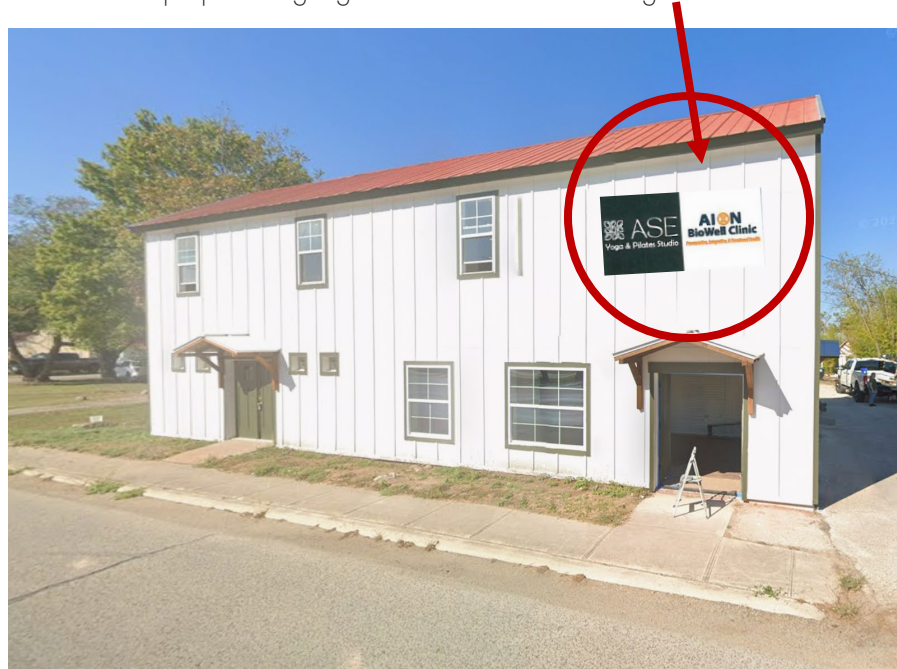
123 Parland Place, Suite 100  
San Antonio, Texas 78209  
210.549.2588  
[workshop.com](http://workshop.com)

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alteration Comments

1. Per the Castroville Design Guidelines, Section II, Signage (pg. 60), approval for only one building identification sign will be permitted. The applicant is proposing two signs on each side of the property. Consider the following:
  - a. Place the proposed signage on the front of the building



06 January 2026 /  
Letter of Recommendation  
Certificate of Appropriateness  
509 US Highway 90

b. If the signage is to be located on the east side of the property, center the sign between the two second story windows.



APPLICANT PROPOSED PLACEMENT

HPO PROPOSED PLACEMENT

- c. Consider a monument sign on the west end of the property.
- 2. The signage must comply with the City's Sign and Signage Ordinance.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



CITY OF CASTROVILLE  
*Little Alsace of Texas*

Permit Number:	2025338
Submittal Date:	12/17/2025
<i>office use only</i>	

**Community Development Department**  
 703 Paris St. Castroville, Tx 78009  
 (830) 931-4090  
[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

**Certificate of Appropriateness Application**

<b>Property Information</b>			
Project Address:	509 Hwy 90W	Zoning:	CH
Legal Description:	Lot 9 Block 5 Range 5	Subdivision	
Landmark Name:			

<b>Owner Information</b>		
Owner Name:	Eden & Eunice Properties LLC	
Mailing Address:	5514 Lone Star Pkwy Ste 103	
Phone:	Fax:	Email: eusbey@yahoo.com
210-840-8009		

<b>Project Description</b>	eusbey@yahoo.com
2 SIGNS FLAT ANCHORED WITH SELF TAPPING SCREWS AND ANCHORS	
<del>QTY 1-96" X 48"</del> QTY 1-96" X 48 2-120 X 48	
SAME AS PREVIOUS SIGNS	

**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

Signature of Applicant: [Signature] Date: 12/16/2025

MANSFIELD SURVEYING  
 P.O. BOX 3111  
 BANDERA, TX 78003  
 830-688-2786

# SURVEY PLAT

0.515 ACRES - BLOCK 5, RANGE 5  
 CITY OF CASTROVILLE

MEDINA COUNTY, TEXAS

VOLUME 5, PAGE 7, PLAT RECORDS

**LEGEND**

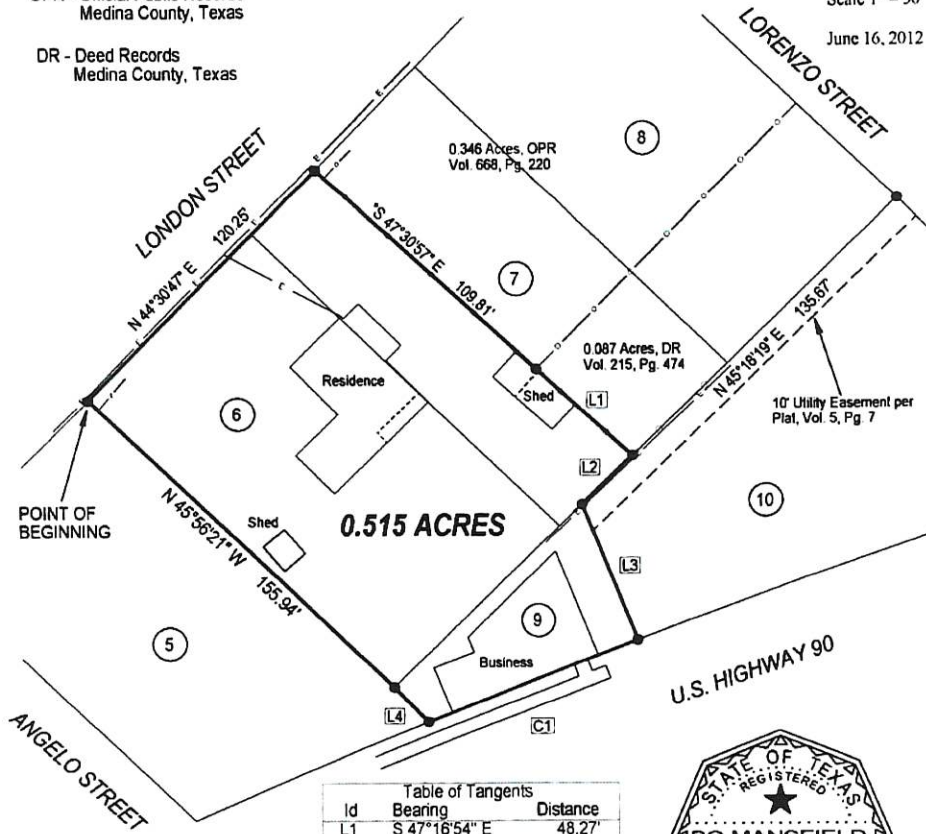
- Iron rod (fnd)
- Power line
- Wire fence
- Wood fence
- OPR - Official Public Records  
Medina County, Texas
- DR - Deed Records  
Medina County, Texas

\*Reference Bearing  
 Deed, Vol. 668, Pg. 220  
 Official Public Records  
 Medina County, Texas



Scale 1" = 50'

June 16, 2012



Id	Bearing	Distance
L1	S 47°16'54" E	48.27'
L2	S 45°35'29" W	26.12'
L3	S 21°49'20" E	55.25'
L4	N 43°37'09" W	18.54'

Id	Delta	Radius	Arc Length	Chord	Ch Bear
C1	01°38'48"	2915.14'	83.78'	83.78'	S 68°10'56" W

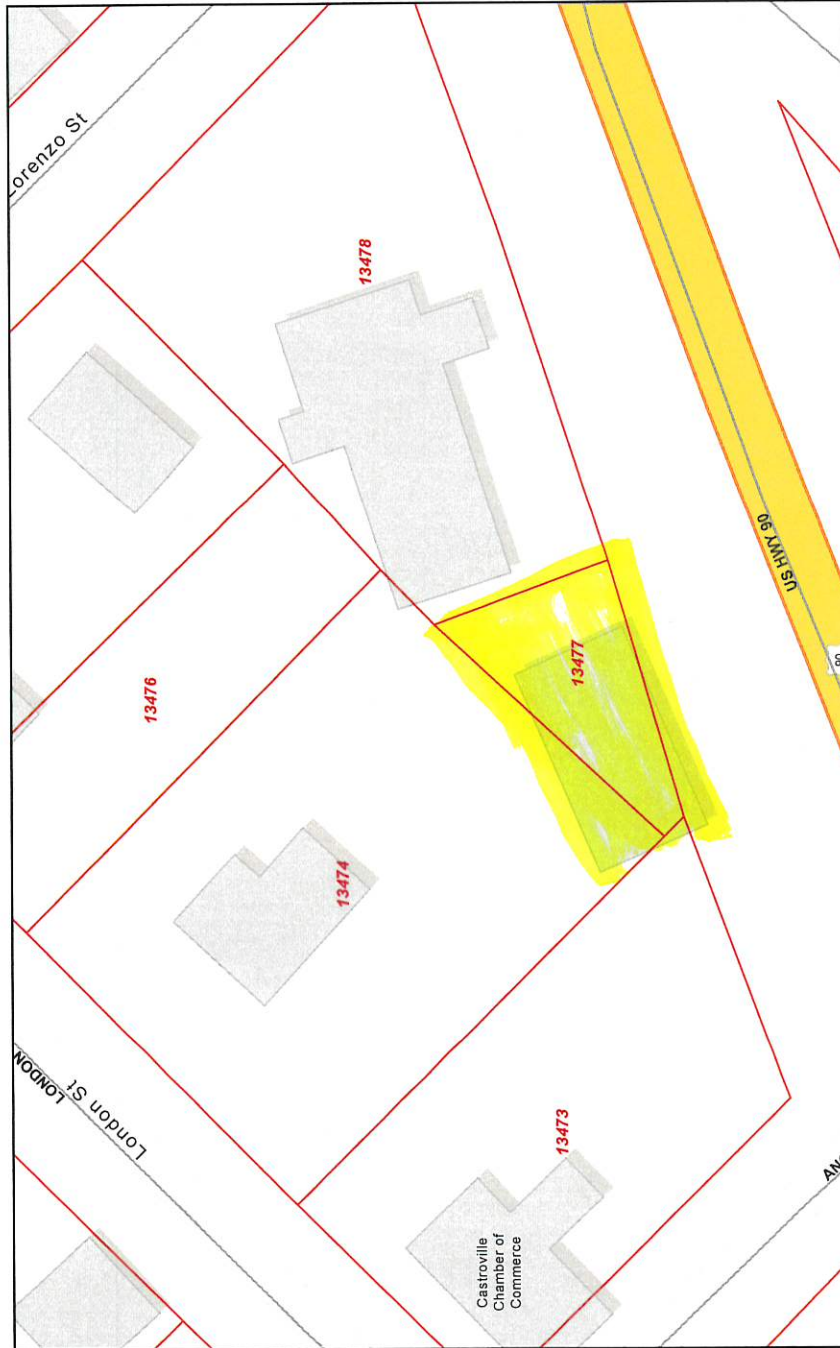


I hereby certify that this survey was made on the ground and that this plat correctly represents the facts found at the time of the survey, and that to the best of my knowledge there are no visible overlapping of improvements, visible easements of rights of way, boundary line conflicts, or encroachments except as shown hereon

509 HIGHWAY 90 W  
 CASTROVILLE, TX 78009

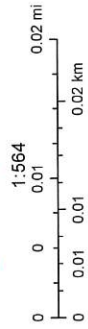
*Bo Mansfield*  
 Bo Mansfield  
 Registered Professional Land Surveyor No 6278

# Medina CAD Web Map



12/15/2025, 5:22:19 PM

- Parcels
- Streets
- Abstracts
- Medina County Boundary



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

Medina County Appraisal District, BIS Consulting - www.bisconsulting.com  
 Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.





# Agenda Report

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**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 1101 Alamo St.

**Property Address:** 1101 Alamo St.  
**Applicant/Owner:** Jeffery & Sara Tondre  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for exterior alterations at 1101 Alamo Street, subject to staff's recommendations and the conditions outlined in the agenda report.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow exterior alterations at 1101 Alamo Street, including fencing modifications, replacement of front porch posts, and replacement of a rear porch awning.

## PROPERTY & PROJECT SUMMARY

The subject property is a residential structure constructed circa 1969, identified as a Styled Ranch with Colonial Revival influences, and located within the City's Historic Overlay District.

The applicant proposes the following exterior improvements:

- Installation of a wood privacy fence between 1101 and 1105 Alamo Street, with the existing chain-link fence remaining in the front yard and the wood fence located along the side and rear yards;
- Replacement of rotting front porch posts with new 6x6 square wood posts; and
- Removal and replacement of a deteriorated rear porch awning and roof framing, tying new framing into the existing house rafters.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Alterations:** The proposed fence, porch post replacement, and rear awning replacement constitute exterior alterations subject to HLC review.
- **Fence:**
  - Per the Design Guidelines, a front yard fence height of three feet or less is recommended.
  - A six-foot fence is acceptable in the side and rear yards.
- **Porch Columns & Beams:**
  - Replacement of deteriorated porch elements is appropriate.
  - It is recommended that the new wood columns, beams, and fascia be painted to match the existing trim, shutters, and fascia, rather than stained.
  - This recommendation applies to both the front and rear porch element..

## **STAFF ANALYSIS**

The proposed improvements address deterioration and routine functional needs while maintaining the residential character of the historic district. The HPO recommendations ensure compatibility with historic design standards and can be incorporated as conditions of approval.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

06 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

1101 Alamo Street, Castroville, TX 78009

December 06, 2025

Jeffrey & Sara Tondre  
1101 Alamo Street  
Castroville, TX 78009  
210.852.6219  
saratondre@gmail.com

RE: 1101 Alamo Street – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1969
THC 1969 Survey		Architectural Style	
THC 2002 Resource		Styled Ranch – Colonial Revival Influences	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.

## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,



123 Parland Place, Suite 100  
San Antonio, Texas 78209  
210.549.2588  
workshop.com

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the *changing of paint color; regarding; dismantling, removing or moving of any exterior features* or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, *alteration*, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, *windows*, stonework, *woodwork*, light fixtures, signs, sidewalks, fences, steps, paving and/or other *exterior elements visible from a public right-of-way* which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alteration Comments

1. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), *consider a fence height of three feet or less for the front yard.* A six-foot fence in the side and rear yards of a property is acceptable.
2. The applicant proposes to remove the existing wood columns and arched beam and replace them with new wood columns and beams that are simpler in design and do not replicate the original detailing. The new porch elements are proposed to be stained. *It is recommended that the new wood porch columns and beam be painted to match the color of the existing home's trim, shutters, and fascia. This same recommendation applies to the new columns, beam, and fascia on the rear porch.*

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



**CITY OF CASTROVILLE**

*Little Alsace of Texas*

Permit Number: <u>2025344</u>
Submittal Date: <u>12/29/25</u>
<i>office use only</i>

**Community Development Department**

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

**Certificate of Appropriateness Application**

<b>Property Information</b>	
Project Address: <u>1101 Alamo St</u>	Zoning: <u>HE</u>
Legal Description: Lot <u>1</u> Block <u>1</u> Range <u>5</u>	Subdivision
Landmark Name:	

<b>Owner Information</b>		
Owner Name: <u>Tondre, Jeffrey &amp; Sara</u>		
Mailing Address: <u>1101 Alamo St. Castroville, Tx 78009</u>		
Phone: <u>210 852 2129</u>	Fax:	Email: <u>SaraTondre@gmail.com</u>

<b>Project Description</b>
<u>fence between 1101 &amp; 11 Alamo St. (side fence)</u>
<u>replace front porch posts w/ square (6x6) posts</u>
<u>replace back porch awning</u>

**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

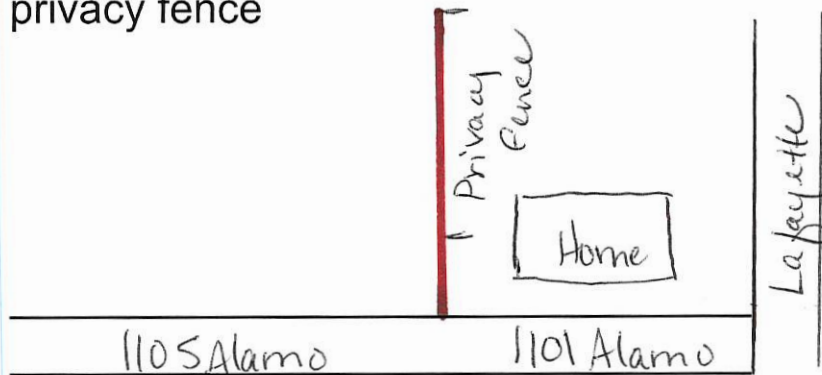
*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

Signature of Applicant: *Jeffrey Tondre* Date: 12/27/25

Plan for fence between 1101 Alamo St. and 1105 Alamo St. (Side of house, between neighbors)

Leave existing chain link fence in front yard

Replace chain link in back yard with a wooden slat privacy fence



Front porch posts

Remove rotting front porch posts and replace with 6x6 square posts.

Back porch Awning

See pics

Remove porch roofing and framing

Tie new porch roof framing back into house rafters and build new porch roof.



Back awning is rotting.



1101

Current Post





Proposed Fence



THE  
MONIER  
HOUSE  
CIRCA 1850

2  
1  
3

Proposed Post

c.1847  
Jacques Monier  
Hüs





# Agenda Report

**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 702 Florence St.

**Property Address:** 702 Florence St.  
**Applicant/Owner:** Priscilla Garrett  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for exterior alterations at 702 Florence Street, subject to staff's recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow exterior alterations at 702 Florence Street consisting of the replacement and enclosure of an existing rear patio cover.

## PROPERTY & PROJECT SUMMARY

The subject property is a residential structure constructed circa 1949 and identified as having Alsatian architectural influences. The property is located within the City's Historic Overlay District.

The applicant proposes to cover the existing wood trellis-style patio cover located at the rear of the house and extend roofing to tie into the existing carport/shop structure. The proposed patio cover will utilize tin roofing to match the existing carport roof and will be compatible with the slope and angle of the existing structure. The improvements are located to the rear of the residence and are not visible from the public right-of-way.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Alterations:** The proposed patio cover constitutes an exterior alteration subject to HLC review.
- **Recommendation:** The proposed scope of work is consistent with Castroville's Historic Design Guidelines, and approval of the project is recommended.

## **STAFF ANALYSIS**

The proposed alterations are limited in scope, located at the rear of the property, and designed to match existing accessory structures. The improvements do not negatively impact the historic character of the residence or the surrounding district and are consistent with adopted design guidelines.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness.

08 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

702 Florence Street, Castroville, TX 78009

December 08, 2026

Priscilla Garrett  
702 Florence Street  
Castroville, TX 78009  
210.912.0449  
prismon@aol.com

RE: 702 Florence Street – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1949
THC 1969 Survey		Architectural Style	
THC 2002 Resource		Alsatian Influences	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.



## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding

08 January 2026 /  
Letter of Recommendation  
Certificate of Appropriateness  
702 Florence Street,

materials; changing, eliminating or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

*Alteration Comments*

1. The proposed scope of work aligns with Castroville’s Design Guidelines, and approval of the project is recommended.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castroville.tx.gov](mailto:breana.soto@castroville.tx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



# CITY OF CASTROVILLE

*Little Alsace of Texas*

Permit Number: <u>2026003</u>
Submittal Date: <u>01/07/2026</u>
<i>office use only</i>

### Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

## Certificate of Appropriateness Application

Property Information	
Project Address: <u>702 FLORENCE CASTROVILLE TX</u>	Zoning: <u>HE</u>
Legal Description: Lot <u>8</u> Block <u>4</u> Range <u>3</u>	Subdivision
Landmark Name:	

Owner Information	
Owner Name: <u>PRISCILLA GARRETT</u>	
Mailing Address: <u>702 FLORENCE CASTROVILLE TX 78009</u>	
Phone: <u>210 912 0449</u>	Email: <u>prismon@aol.com</u>

Project Description
<u>See attached</u>

**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

Signature of Applicant: Priscilla Garrett Date: Jan 6, 2026

## Project Description

To cover the existing wood patio cover (trellis type) at the rear of the carport/shop to the rear of the house.

The carport/shop roof is tin and the patio will match that and tie into and match the current roofing.

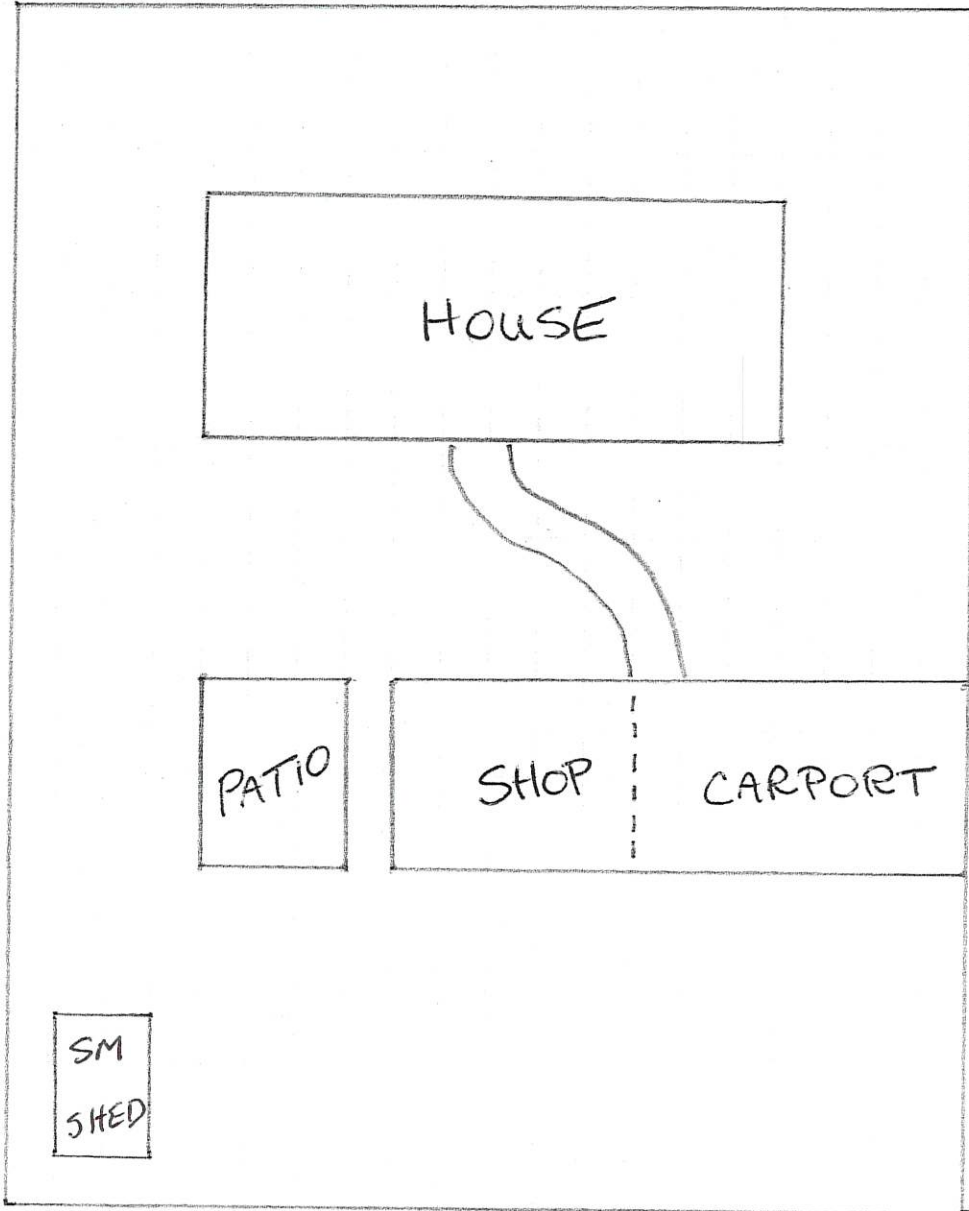
The current cover above the patio is wood strips that were covered with vines that haven't outlasted the drought. The dead vines have been removed.

Addition of the patio cover will be compatible with the angle of the carport.

N

FLORENCE

VACANT LOT



AMELIA

E

S

## Additional to Priscilla Garrett's backyard

From: Lynn Campbell (campblytx@icloud.com)

To: prismon@aol.com

Date: Tuesday, January 6, 2026 at 11:02 AM CST

To whom it may concern,

I am Priscilla Garrett's neighbor behind her house. I have full view of her backyard, garage and garden area. The addition of the roof over her gazebo attached to her garage is a great idea and will not hinder anything that I see. This is a welcome improvement actually. I fully encourage the Historic building committee to approve this upgrade.

Thank you,

Lynn M. Campbell  
512-633-5966  
701 Lisbon

Sent from my iPad



# Agenda Report

**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 709 Berlin St.

**Property Address:** 709 Berlin St.  
**Applicant/Owner:** Jennifer & Peyman Payami  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for new construction at 709 Berlin Street, subject to staff’s recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow new construction consisting of a 10-foot by 20-foot detached shed located to the rear of the primary residence at 709 Berlin Street.

## PROPERTY & PROJECT SUMMARY

The subject property is located within the City’s Historic Overlay District. The primary residence was constructed circa 1977 and is not identified as a contributing historic resource.

The applicant proposes placement of a 10' x 20' detached shed approximately 15 feet from the house and 5 feet from the side property line. The shed will be finished with wood siding and full trim, consistent with residential accessory structures.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **New Construction Review:** The Historic Landmark Commission is the reviewing authority for new construction within the Historic Overlay District.
- **Design Comments:**
  1. New construction within historic districts should generally be oriented parallel to the street to maintain the established rhythm and character of the streetscape.

2. The submitted renderings depict a fence. If the fence is part of the proposed scope of work, the applicant must update the COA application to include the fence and provide additional details.

## **STAFF ANALYSIS**

The proposed accessory structure is modest in scale, located to the rear of the property, and designed with traditional materials. The HPO comments are intended to ensure compatibility with the surrounding historic district and clarify the full scope of work.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

12 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

709 Berlin Street, Castroville, TX 78009

Date: January 12, 2026

Jennifer & Peyman Payami  
709 Berlin Street  
Castroville, TX 78009  
210.823.7960  
jpayami@icloud.com

RE: 709 Berlin Street – New Construction Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1977
THC 1969 Survey		Architectural Style	
THC 2002 Resource			
Other Historical Designation			N/A

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant **HAS** met all COA application requirements.



## NEW CONSTRUCTION

Per Castroville’s Comprehensive Zoning Ordinance, Article IV, Section II (22)(b)(iii), the Historic Landmark Commission is the reviewing authority for applications regarding new

construction on real property which is located in an area designated or pending designation as a historic landmark or district or on land necessary for access to and use of a structure designated or pending designation as a historic landmark or district.

### *New Construction Comments*

1. Per the Castroville Design Guidelines, Section III, New Construction on Historic Resource Lots (pg. 46), similarity of orientation is another important visual characteristic. Orientation of a building generally refers to the relationship of the front of the building to the street. With few exceptions, historic buildings are parallel to the street. In Castroville, its oldest houses face parallel to the street with little setback. *New construction need not be always be placed on the setback line, but it should be parallel to the street.* When a building does not follow the orientation set by nearby historic examples, it disrupts the rhythm of the streetscape.
2. *Please confirm if the fence shown in the rendering is part of the proposed scope of work.* If it is, please update the COA application to include it in the project description and provide additional details on the fence.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



**CITY OF CASTROVILLE**

*Little Alsace of Texas*

Permit Number:	2026004
Submittal Date:	01/07/2026
<i>office use only</i>	

**Community Development Department**

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

**Certificate of Appropriateness Application**

<b>Property Information</b>			
Project Address:	709 Berlin		Zoning: HE
Legal Description:	Lot 3	Block 5	Range 12
			Subdivision
Landmark Name:			

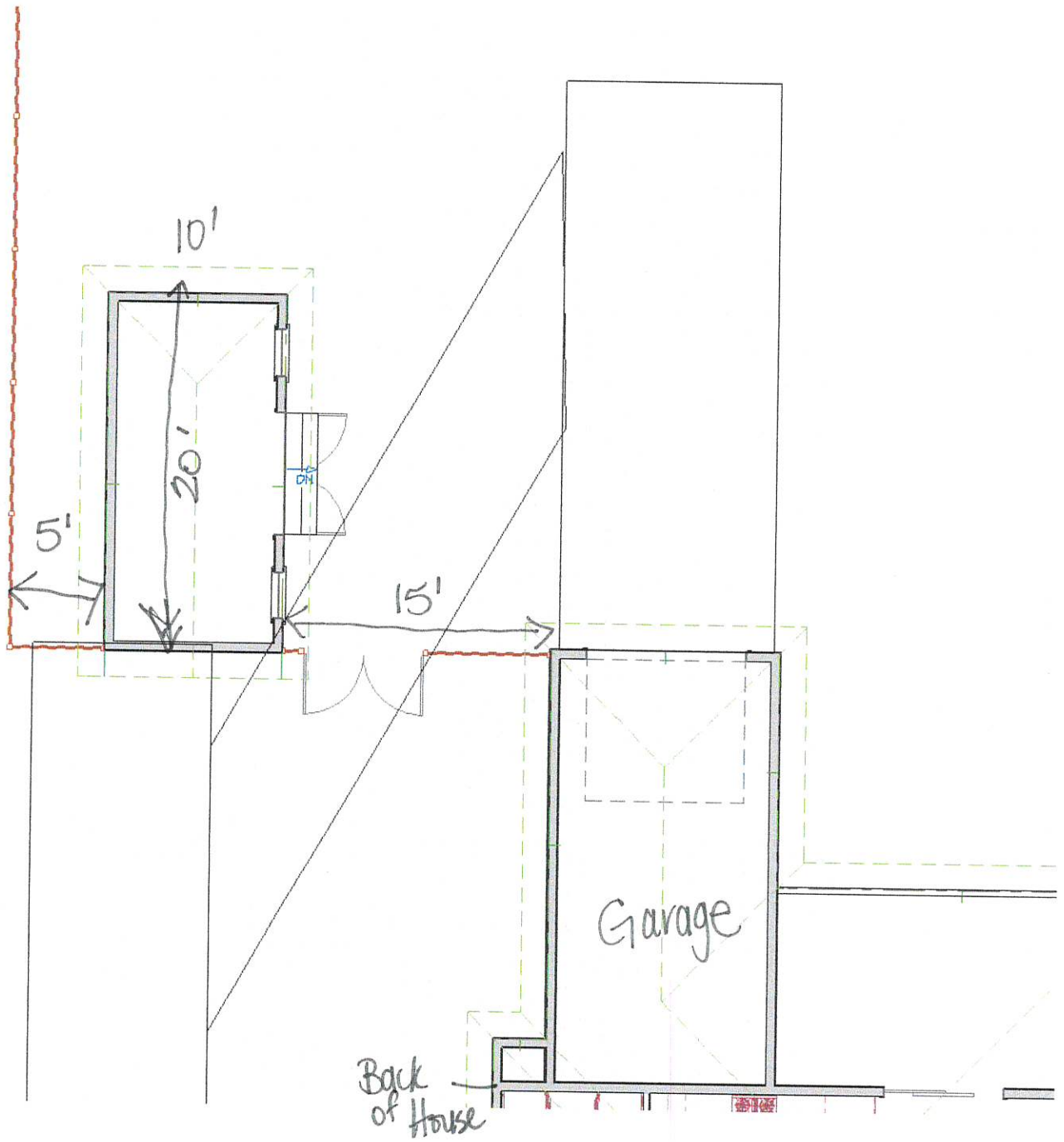
<b>Owner Information</b>		
Owner Name: Jennifer + Peyman Payami		
Mailing Address: 709 Berlin		
Phone: 210.823.7960	Fax: ? guys it is 2026	Email: jpayami@icloud.com

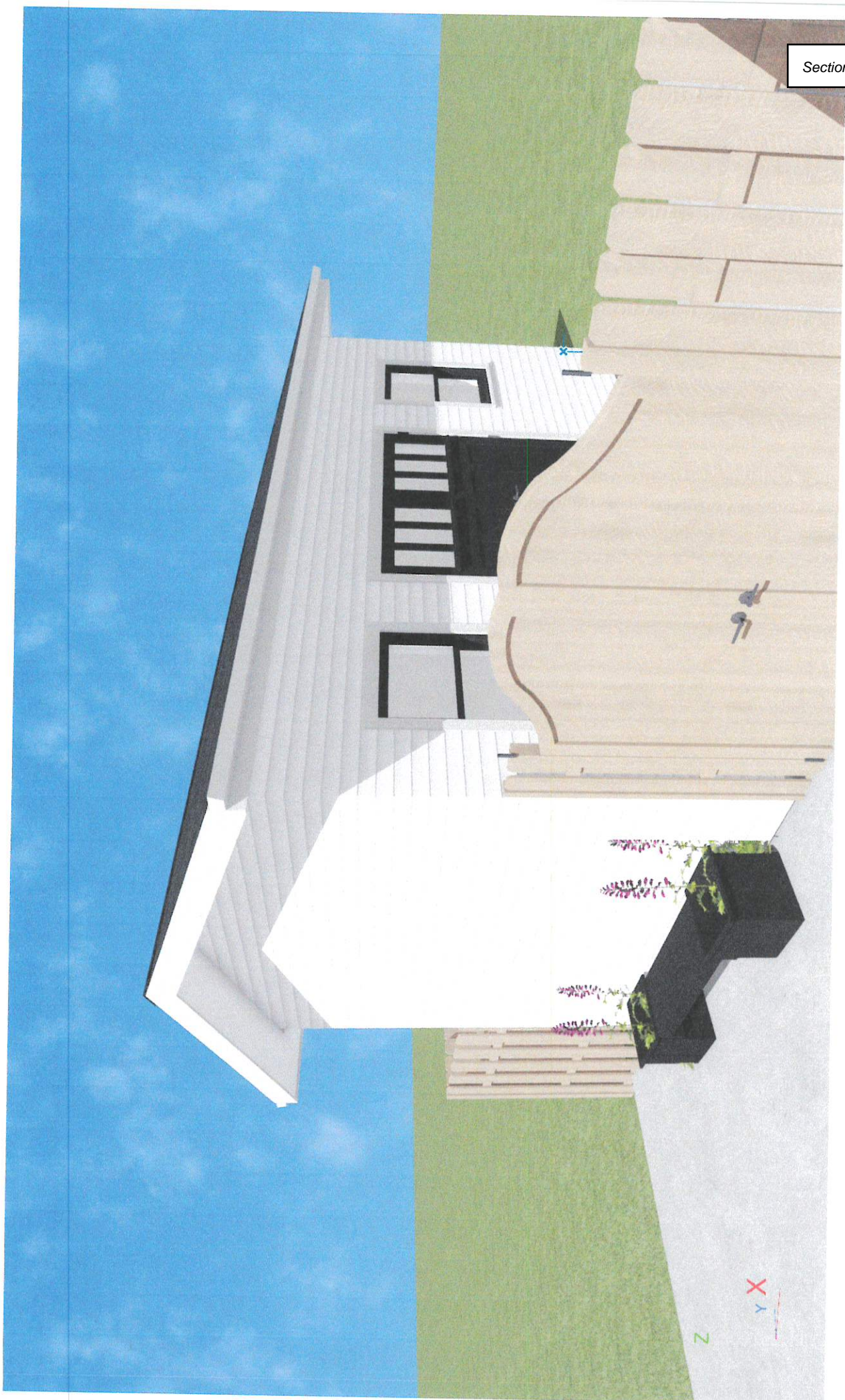
<b>Project Description</b>
A 10x20 shed to be placed 15' away from house and 5' away from side property line.
The siding is wood and is fully trimmed.

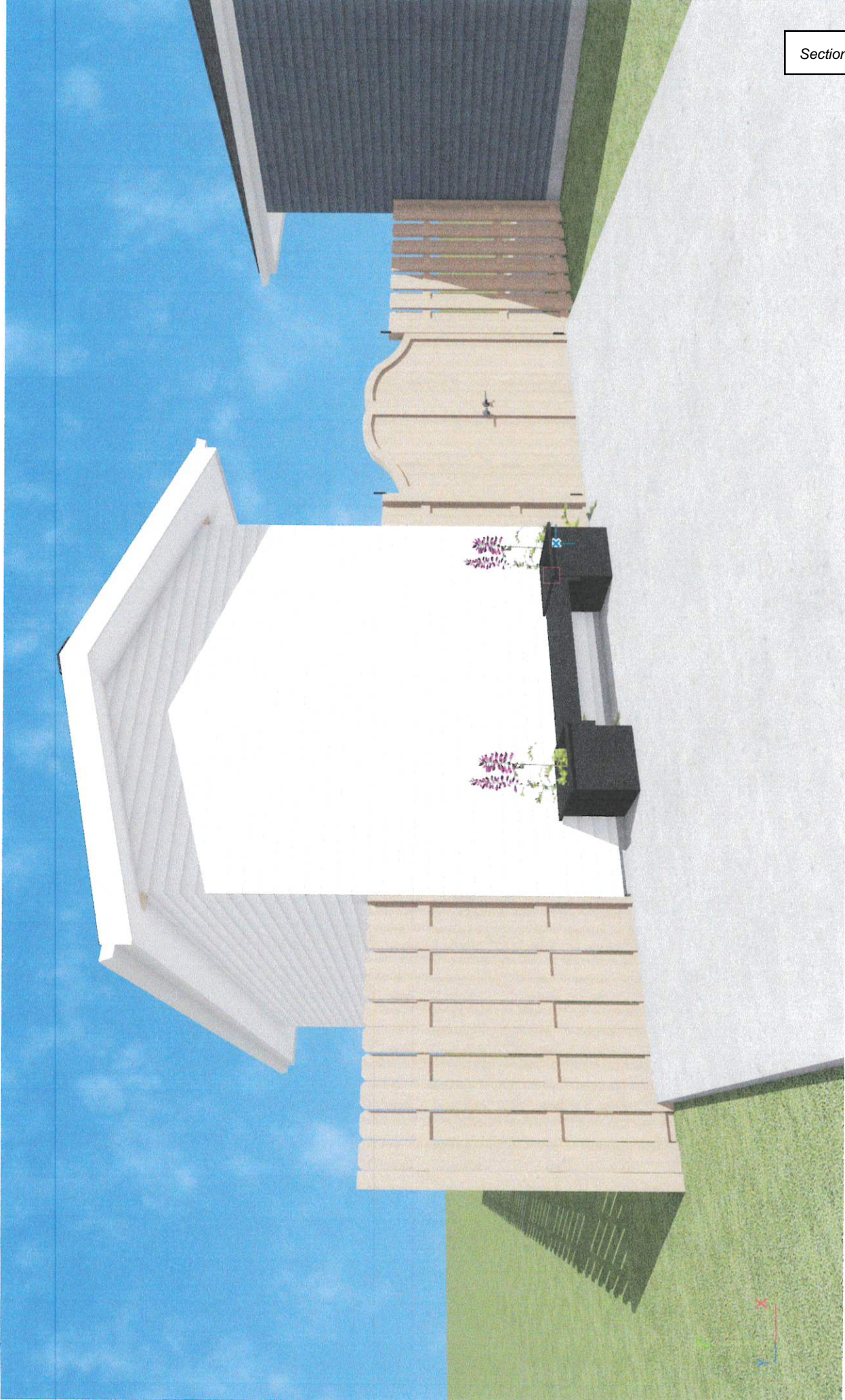
**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

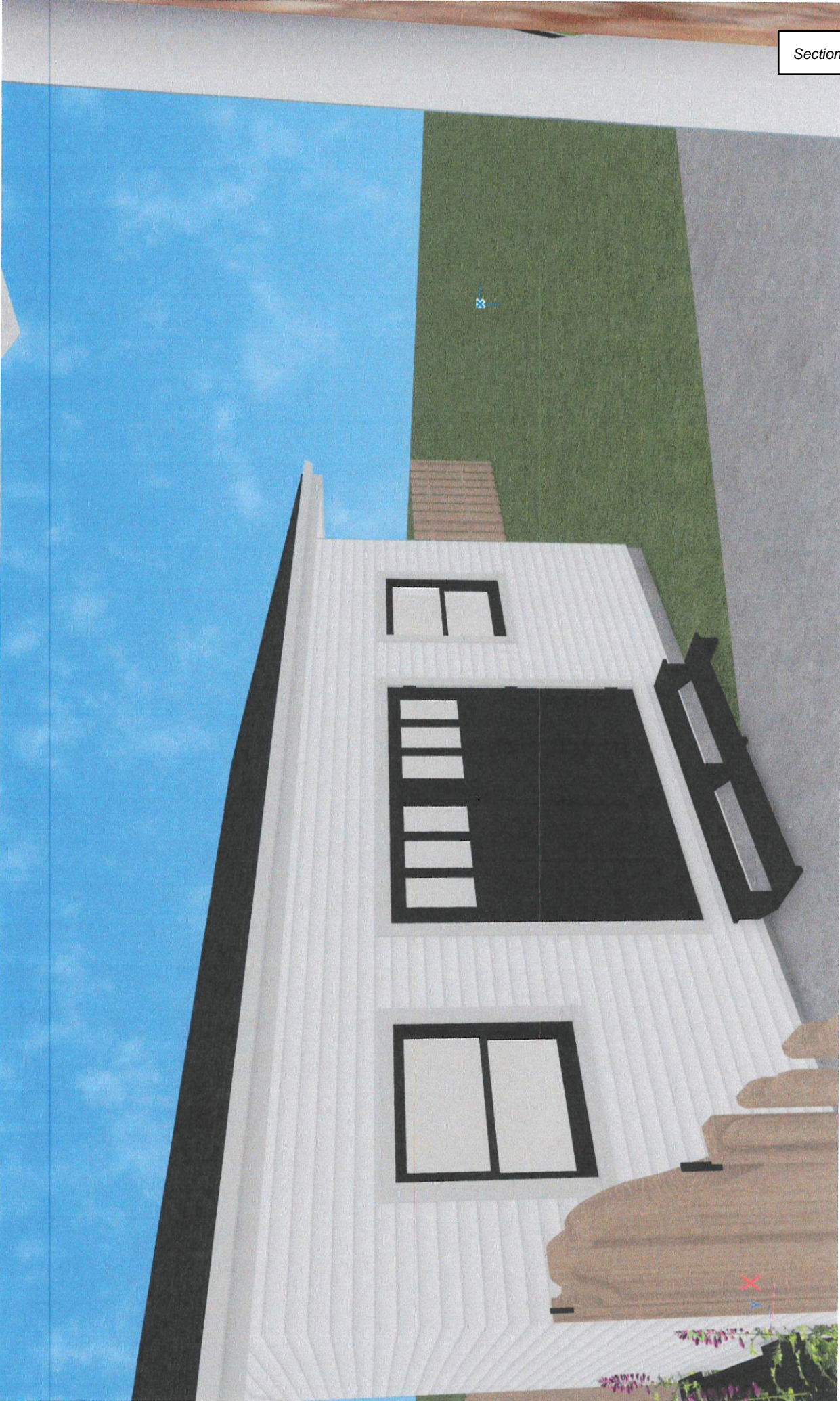
*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

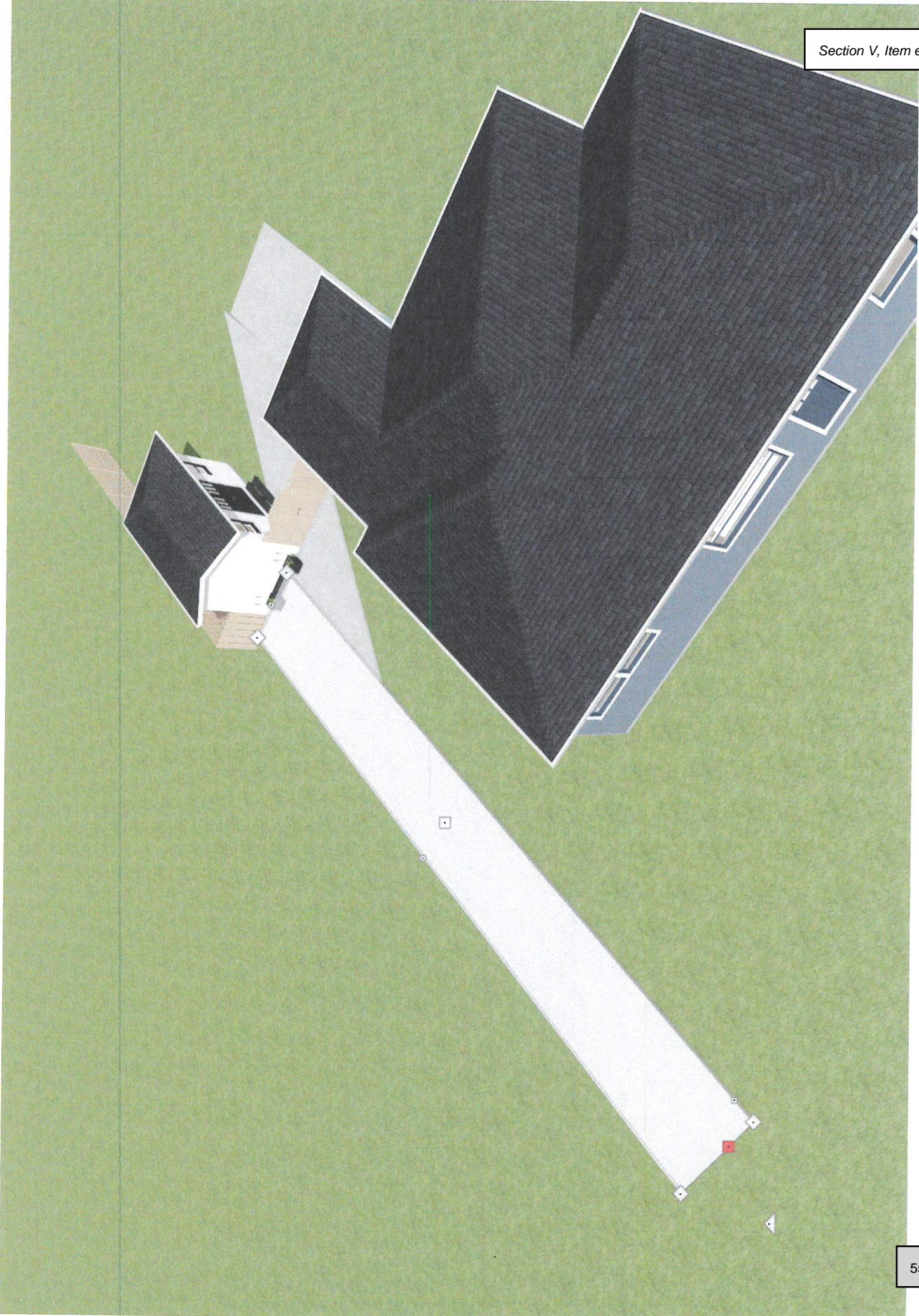
Signature of Applicant: Jennifer Payami Date: January 7, 2026













# Agenda Report

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**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 312 Petersburg.

**Property Address:** 312 Petersburg St.  
**Applicant/Owner:** Sylvia Binford  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for exterior alterations at 312 Petersburg Street, subject to staff’s recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow exterior alterations consisting of new interior and exterior fencing, including gates, at 312 Petersburg Street.

## PROPERTY & PROJECT SUMMARY

The subject property is located within the City’s Historic Overlay District and is identified in historic surveys, including the THC 1969 Survey and THC 2022 Resource Inventory.

The applicant proposes installation of:

- **Interior perimeter fencing** constructed of welded square tubing with hog panel infill, approximately **4 feet in height**, painted black;
- **Exterior privacy fencing** approximately 6 feet in height, constructed of square tubing with stained/weathered horizontal boards; and
- **Custom metal gates** designed to match the fencing materials, height, and color.

Fence locations, materials, and gate placements are illustrated on the submitted site plan and supporting photographs.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Alterations:** The proposed fencing and gates constitute exterior alterations subject to Historic Landmark Commission review.
- **Design Consistency:** The materials, design, height, and placement of the proposed fences and gates are **consistent with the Castroville Design Guidelines**.
- **Recommendation:** Approval of the proposed project is recommended.

**STAFF ANALYSIS**

The proposed fencing improvements are compatible with the historic character of the property and surrounding district. The scale, materials, and design are appropriate for both interior and exterior yard areas and meet adopted historic design standards.

**STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

12 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

312 Petersburg Street, Castroville, TX 78009

---

Date: January 12, 2026

Sylvia Binford  
312 Petersburg Street  
Castroville, TX 78009  
210.508.3726  
Sylvia\_binford@yahoo.com

RE: 312 Petersburg Street – Alterations Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	x
THC 1969 Survey	x
THC 2022 Resource	x
Other Historical Designation	

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant **HAS** met all COA application requirements.



## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

12 January 2026 /  
Letter of Recommendation  
Certificate of Appropriateness  
312 Petersburg Street,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alterations Comments

- 1. The materials, design, height, and location of the proposed fences are consistent with the standards outlined in the Castroville Design Guidelines; therefore, approval is recommended.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



# CITY OF CASTROVILLE

*Little Alsace of Texas*

Section V, Item f.

Permit Number: 2026007

Submittal Date: 1/9/2026

office use only

### Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov

## Certificate of Appropriateness Application

<b>Property Information</b>					
Project Address:	312 Petersburg			Zoning:	HS Historical
Legal Description:	Lot	Block	Range	Subdivision	
	6B	3	8		
Landmark Name:					

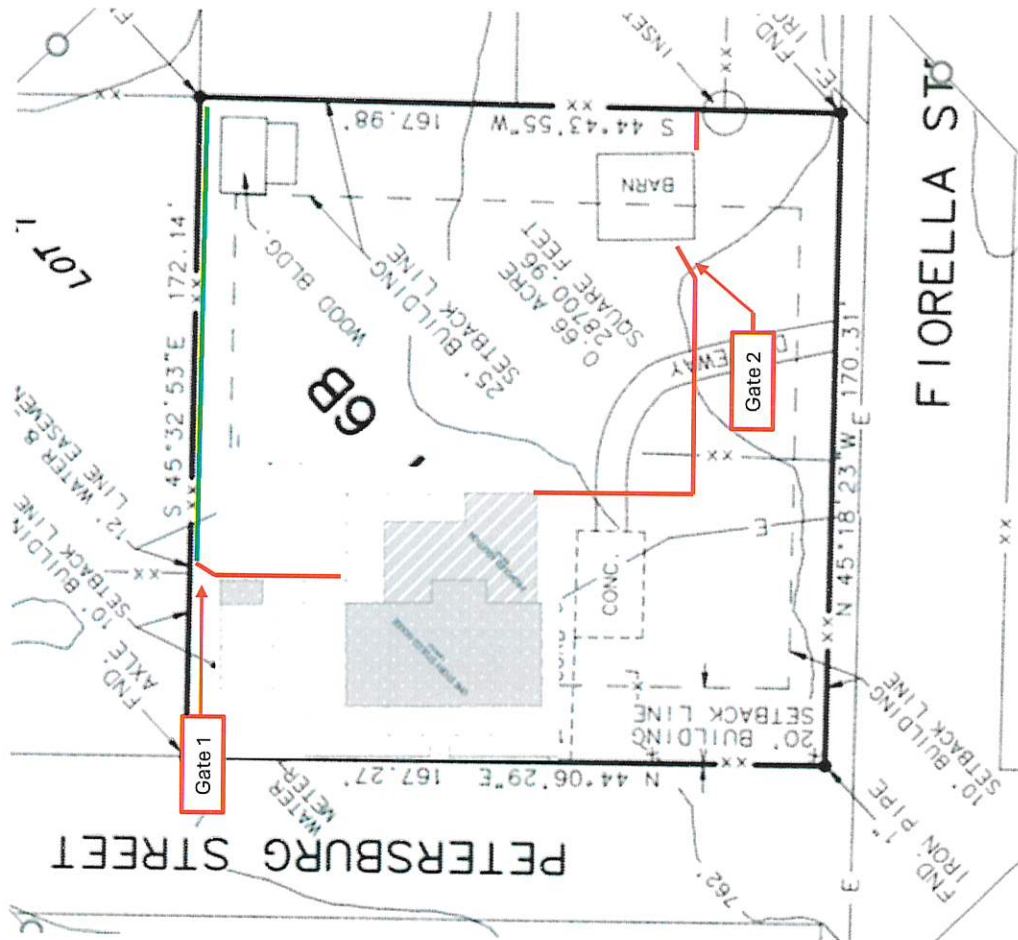
<b>Owner Information</b>		
Owner Name: Sylvia Binford		
Mailing Address: 312 Petersburg, Castroville, TX 78009		
Phone:	Fax:	Email:
261 506 3726		sylvia_binford@yahoo.com

<b>Project Description</b>
New fence - interior and privacy along E fence line - see attached

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant: Sylvia Binford Date: 1-9-26



LEGEND

Interior Perimeter Fence – welded square tubing metal frame with hog panel; 4ft height; frame painted black. Consistent with historical guidelines (insert example on p. 36)



Same material, height and color as Interior Perimeter Fence



Gate 1

LEGEND (cont.)

Gate 2

Custom metal gate, of historical family significance; 4 ft height; painted black; matches both the new, interior perimeter fence and the existing garden wire fence



Exterior privacy fence; 6 ft height; square tubing and stained/weatherized boards, running horizontal





# Agenda Report

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**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 905 Lisbon St.

**Property Address:** 905 Lisbon St.  
**Applicant/Owner:** Collin & Erin Braden  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness amendment for alterations at 905 Lisbon Street, subject to staff's recommendations.

## REQUEST

Approval of a Certificate of Appropriateness amendment to modify an already approved project for alterations and additions to the historic residence at 905 Lisbon Street. The amendment primarily addresses relocation of the approved addition to comply with zoning setbacks, with minor adjustments to the roofline, well integration, and tie-in location.

## PROPERTY & PROJECT SUMMARY

The subject property, known as the Jean Iltis Homestead, is a historic Alsatian residence constructed circa 1870 and identified in both the THC 1969 Survey and THC 2022 Resource Inventory.

The original COA approved restoration of the historic home and construction of additions totaling approximately 1,209 square feet, resulting in a combined livable area of approximately 2,156 square feet. Restoration includes preservation of original windows, doors, chimneys, attic openings, plaster finishes, and architectural features, while incorporating modern systems and livable space.

The amendment proposes relocating the approved addition further from the primary structure to meet required setbacks. The overall design intent, materials, finishes, and architectural compatibility remain consistent with the original approval.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the amendment and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Amendment Scope:** The amendment does not materially change the approved design intent and maintains compatibility with the historic structure.
- **Design Considerations:**
  - The revised placement avoids removal of the heritage pecan tree and preserves the historic well, incorporating it into the floor plan.
  - Roof form, materials, and finishes remain compatible with the existing historic structure.
- **Recommendation:** Approval of the amendment is recommended. All previously approved conditions remain in effect unless modified by this action.

## **STAFF ANALYSIS**

The requested amendment resolves zoning compliance while maintaining the historic preservation goals established under the original COA. The revised layout improves site compatibility, preserves significant landscape and site features, and does not adversely impact the historic character of the property or district.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness amendment, subject to conditions.

14 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

905 Lisbon Street, Castroville, TX 78009

January 14, 2026

Collin and Erin Braden  
321 Private Road 4324  
Hondo, TX 78861  
830.426.0048  
erin@harzheimproperties.com

RE: 905 Lisbon Street – Alteration - AMENDMENT

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	1870
THC 1969 Survey	X	Architectural Style	
THC 2022 Resource	X	Alsatian	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements. Please submit the following items:

## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,



123 Parland Place, Suite 100  
San Antonio, Texas 78209  
210.549.2588  
work5hop.com

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alterations Comments

#### SIDING AND WALL SURFACES

1. Per the Castroville Design Guidelines, Section II, Siding and Wall Surfaces (pg. 23), removal and/or covering of historic material and architectural features contribute to a significant character loss for a building, minimize its historic integrity and diminish its appeal. On the southwest façade, the applicant is proposing to remove the windows on the saltbox section of the home. *It is recommended that the addition be added to the back of the home to avoid losing these features.* Note that the applicant has presented the proposed design to avoid removing the large tree at the back of the home and to incorporate the well into the floor plan.

#### ROOFS, GUTTERS, SKYLIGHTS, DORMERS

2. Per the Castroville Design Guidelines, Section II, Roofs, Gutters, Skylights, Dormers (pg. 31 and 32), the roof form of an addition should be compatible with the roof form of the primary structure, in terms of its pitch and orientation. An addition should not interrupt the original ridgeline when possible. *It is recommended that the roof detailing of the proposed addition be consistent with that of the existing structure.*

#### LANDSCAPING, WALKWAYS AND DRIVEWAYS

3. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 38), *many landmark properties have large old trees that should be conserved where possible. In particular, live oaks and pecan trees should be protected and preserved.* Note that the applicant has presented the proposed design to avoid removing the large tree at the back of the home and to incorporate the well into the floor plan.
4. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 39), scattered throughout the historic district are miscellaneous details such as *wells*, water cisterns, windmills, barns or outhouses. The Commission encourages you to preserve these details. You will need approval from the Commission if you wish to construct, replace, remove or modify them. Note that the applicant has presented the proposed design to avoid removing the large tree at the back of the home and to incorporate the well into the floor plan.

GENERAL COMMENTS

5. The applicant is proposing to relocate the addition to comply with the required zoning setbacks. The overall design of the alteration will remain the same, with minor adjustments to the roofline, well, and the tie-in location of the addition. This request would amend the previous approval by allowing the addition to be set back further. Approval of this amendment would supplement the prior approval, and all other conditions and elements of the original approval would remain in effect.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castroville.tx.gov](mailto:breana.soto@castroville.tx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



# CITY OF CASTROVILLE

*Little Alsace of Texas*

Permit Number:	2026012
Submittal Date:	1/13/2026
<i>office use only</i>	

### Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

## Certificate of Appropriateness Application

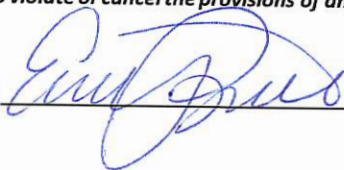
<b>Property Information</b>			
Project Address:	905 Lisbon	Zoning:	HE
Legal Description:	Lot 2	Block 6	Range 3
		Subdivision	n/a
Landmark Name:	"Jean Hts Homestead"		

<b>Owner Information</b>		
Owner Name:	Collin and Erin Braden	
Mailing Address:	321 Private Road 4324, Hondo TX 78861	
Phone:	Fax:	Email:
830-426-0048	n/a	erin@harzheimproperties.com

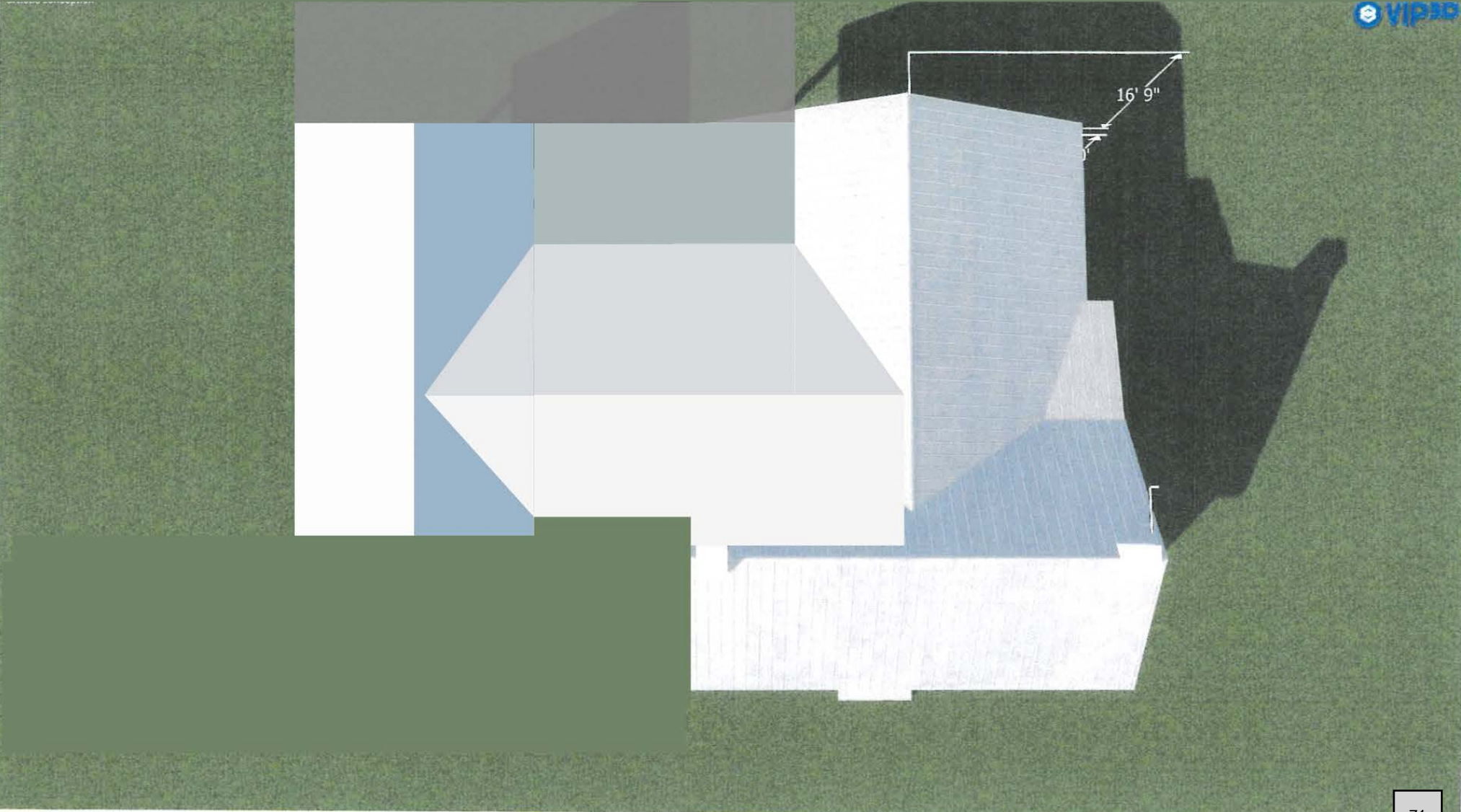
<b>Project Description</b>
Addition of approximately 1000 sf to original 960 sf historic home. We will also be fully restoring and remodeling the existing home that has sat vacant and neglected for many years.

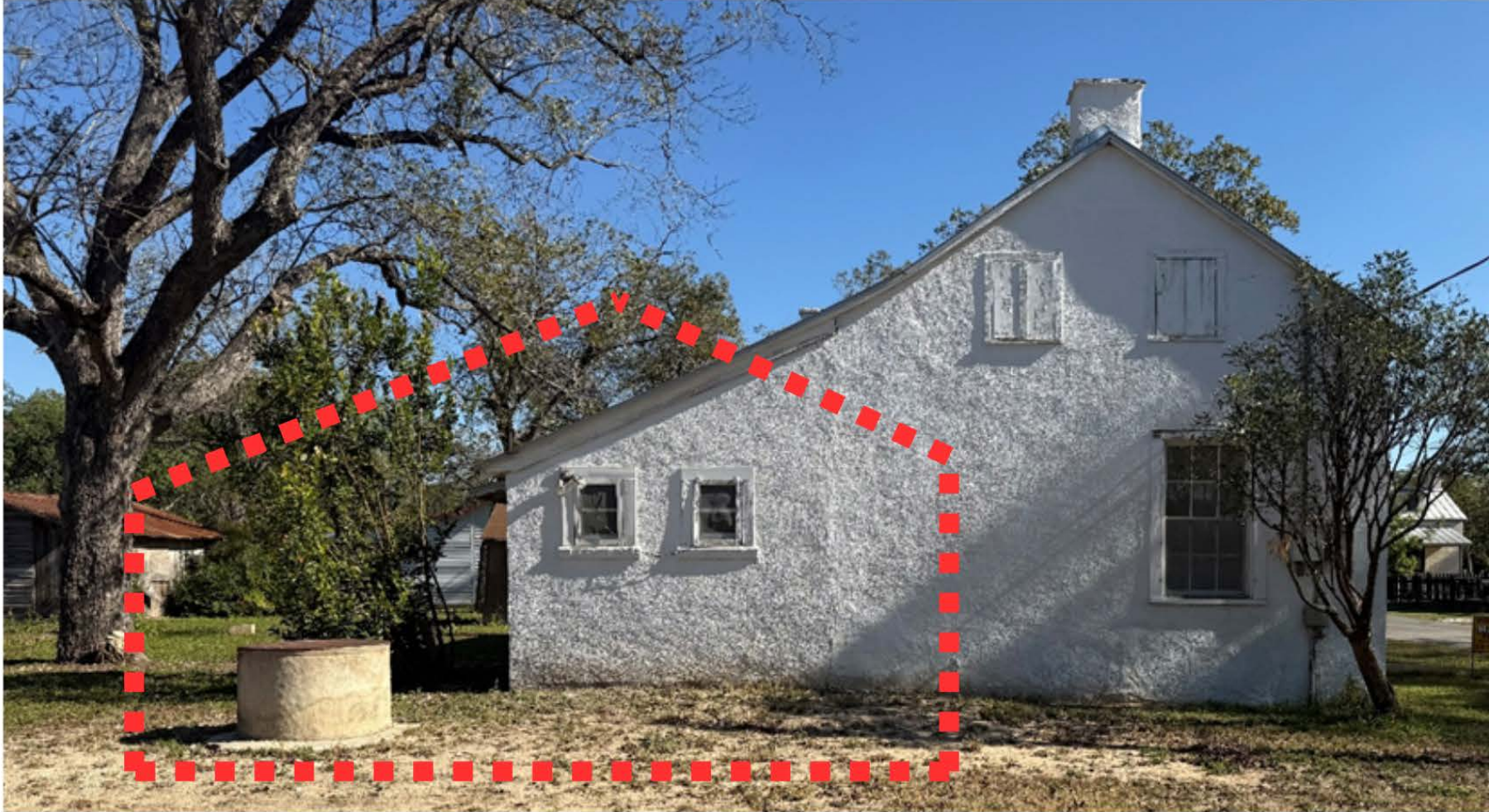
**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

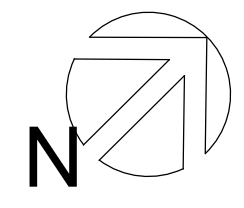
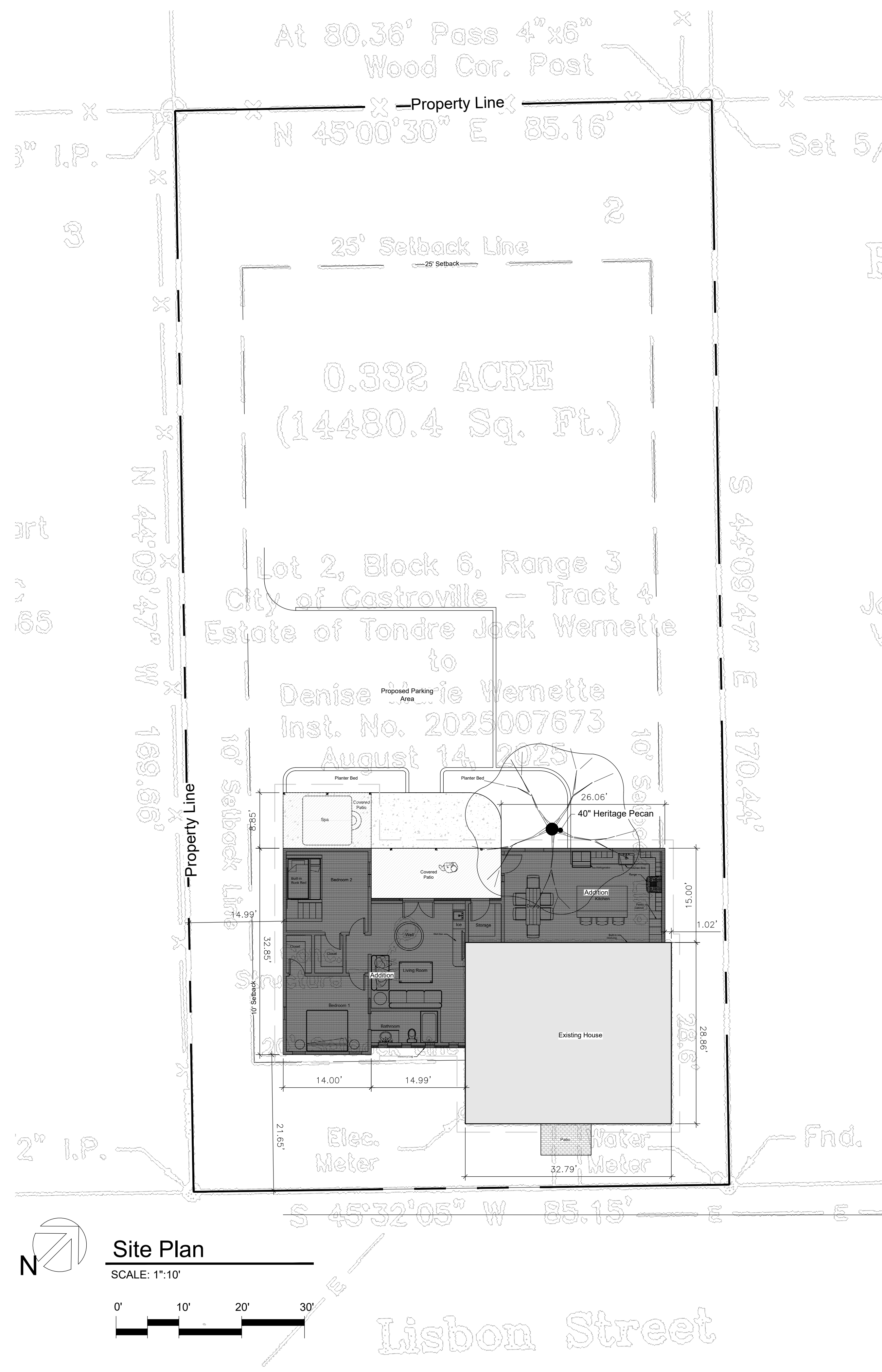
Signature of Applicant:  Date: 1-12-26








Files\Projects\_2023\25-113\_AltanationHome-LisbonStreet\Drawings\_VLS-3004\Isbn-0216\_260101.dwg



**Site Plan**

SCALE: 1"=10'



#	REVISIONS DATE
<b>DREAM   DESIGN   BUILD   LIVE</b> PO BOX 184 D'HANIS TEXAS 78850 P. 830.931.5838 E. INFO@LIVEBRCONCEPTS.COM	
	
<b>Site Plan &amp; Survey Overlay</b> Itlis Pioneer Homestead Addition & Remodel 905 Lisbon Castroville Texas 78009	
DRAWN BY: CCB CHECKED BY: SER APPROVED BY: CCB PROJECT NUMBER: 25-113 FILE LOCATION: BR_2025 DATE: 1/11/2026	
SHEET	
<b>A1</b>	
1 OF 6 SHEETS	

## 2. Photographs of all elevations of structure of property on its lot

- The photos attached are of the existing home from all directions. You will notice a few more from the back of the property showing the location of the existing well as well as the heritage pecan tree directly behind the house, both of which we are planning to keep and work around.



Front Elevation: This will remain the same, other than replastering and removing of the aluminum window screens that take away from the original windows. A light will also be added next to the front door and a new concrete landing/uncovered patio across the front of the house (this is shown in the plans and will not have a roof over it). It is also worth noting that the transom window above the front door will remain as well.



East side of the house: We do not plan to change anything about this, other than a repair of the crack and repainting along with the plaster repairs. The window will remain, as will the attic access and chimney's. Neither of these are functional or connected to a fireplace below.



Rear/North Side of House: These 3 images show the location of the pecan tree and well. Along the north side, we will be adding on a full kitchen and dining space, as well as an outdoor patio along the back of the house. The well will be located inside the addition and cut down to floor level so you can walk over and see down it.



West side of the house: Here is where the main addition will be tied into the existing pioneer home. We will cut into the existing house through this side, about 6ft behind where the window closest to the front of the home is. We are working around the original fireplace from the inside while also needing to make sure our addition is situated behind the 20ft setback line. Our addition will still tie in below the attic windows and will also leave the original only window to that side of the house. The old (original) home will be very easily distinguished from the new addition given how far back we are tying in here.

### #3 Detailed Description of Proposed Work

We are calling this project the Iltis Homestead. When we made our offer to purchase this property, the realtor did not know much about it, nor the seller. Our priority was to figure out the name of who originally settled and built this home. After a few calls and tireless searches through deed records, we found that Jean Iltis was deeded this property from Henry Castro in July of 1853.

Both my husband and I are of Alsatian decent (myself of the Tschirhart's who settled here in Castroville, and my husband of the Rothe's who settled D'Hanis) and it has always been a dream to restore a pioneer home here in Castroville. I have sold many over my time as a real estate agent and have often wished to have the opportunity to give new life to one of the many that sit abandoned.

This house is currently not livable. We plan to gut the interior down to the walls and pour a slab inside of the pioneer home and lay new wood flooring throughout. We plan to have the existing home be a living area, laundry room (located at the back next to where the existing small kitchen is), bedroom and bathroom. Other than the obvious updates to electrical, plumbing and repointing rock walls, and adding HVAC, we will plan to simply restore this house to a livable/usable state.

The addition to the West of the house will feature 2 bedrooms, 1 full bathroom and a small secondary living area that will have doors to connect to an outdoor gathering space in the backyard. To the north of the house, we will add a full kitchen and dining area that opens to the covered patio at the back of the house as well. Throughout the addition we will also run hard wood flooring with tile flooring in kitchen and bathrooms.

After conversations with Selena Angel regarding the exterior façade, we plan to incorporate Stucco on facades visible from the right-of-way, as well as a section of stone on the front façade to pay homage to rock work we see on many historic homes here in Castroville. The original house will have a plaster finish to keep the original identity of the dwelling.

For the color scheme on the exterior, we are using double latte brown color for the fascia board/soffit on both new and existing buildings, a warm white heritage color for the structure itself, and cedar trim accents around all windows and doors. We will install a standing seam metal roof in the galvalume color, recommended by Selena Angel. For window and door selections, please reference our Selection Samples Sheet on item 5.

For clarity, ALL Attic Access openings will be visible and untouched, ALL original window openings will remain, minus the small salt box windows at the exterior North/West corner that will be closed in with new addition. The front door location will not be moved or removed, however a new door, shown on item 5, will be installed in the same location and maintain a similar size to match exiting door. The transom window above front door will also remain. All chimneys will remain.

#6

Historically, this home was utilized as rental home and/or place to stay for visiting family and friends. Being that our primary residence is not going to be this house, we feel that it is fitting to reinstate this house as a short-term rental property for our family and friends who visit for holidays, weddings, parties, funerals, etc. By adding on to this dwelling, we can house visitors and bring back purpose to this historic building and reintroduce its original identity and usage. Visitors will be able to submerge themselves in Alsatian Culture and learn about the origin of our ancestors.

### Legend

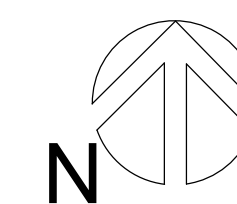
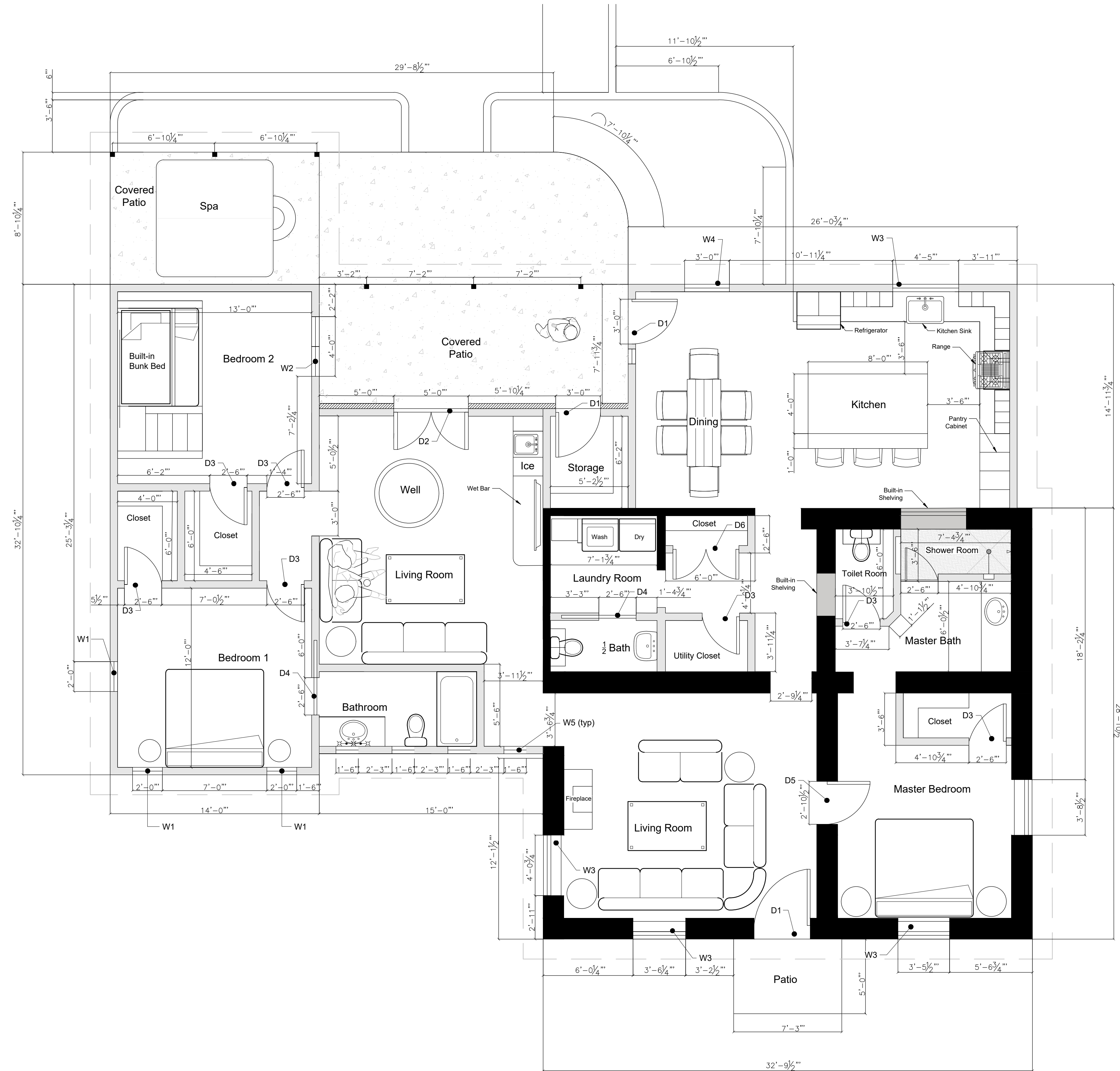
- Existing Wall
- Proposed Wall
- Window
- 6x6 Post (cedar)

### Summary

Existing Livable Space	947 sf
Additional Livable Space	1209 sf
<b>Total Livable Space</b>	<b>2156 sf</b>
Patio Space	177 sf
Covered Patio SF	289 sf

### Window & Door Schedule

D1	36x80 Exterior Door	2 ea
D2	48x80 Exterior Door	1 ea
D3	30x80 Interior Door	7 ea
D4	30x80 Pocket Door	2 ea
D5	36x80 Interior Door	1 ea
D6	48x80 Interior Door	1 ea
W1	2050 Window	3 ea
W2	2050 Window Double	1 ea
W3	Custom Window	4 ea
W4	3050 Window	1 ea
W5	18"x18" Window	4 ea



## FLOOR PLAN & DIMENSIONS

SCALE: 1/4" = 1'-0"



Files \Projects\_2023\25-113\_AlatationHome-LisbonStreet\Drawings\_VS-3004\labon-0216\_260101.dwg

NOTE: THE SITE INFORMATION SHOWN ON THIS PLAN IS FROM A PLAN PROVIDED BY THE OWNER, ARCHITECT, OR CIVIL ENGINEERING COMPANY HIRED BY THE OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION AND IS USING THE INFORMATION PROVIDED TO PREPARE THIS LANDSCAPE PLAN TO MEET CITY ORDINANCE REQUIREMENTS.

#	REVISIONS DATE

DREAM | DESIGN | BUILD | LIVE  
 PO BOX 184  
 D'HANIS TEXAS 78850  
 P. 830.931.5838  
 E. INFO@LIVEBRCONCEPTS.COM



**Floor Plan & Dimensions**  
 Itlis Pioneer Homestead Addition & Remodel  
 905 Lisbon  
 Castroville Texas 78009

DRAWN BY: CCB
CHECKED BY: SER
APPROVED BY: CCB
PROJECT NUMBER: 25-113
FILE LOCATION: BR_2025
DATE: 1/11/2026

SHEET  
A2  
 2 OF 6 SHEETS



# Agenda Report

**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Certificate of Appropriateness for 702 Paris St.

**Property Address:** 702 Paris St.  
**Applicant/Owner:** Castroville Catholic Middle & High School  
**Zoning / Overlay:** Historic Overlay (CG)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for alterations and new construction at 702 Paris Street, subject to staff’s recommendations.

## REQUEST

Approval of a Certificate of Appropriateness (COA) for new signage at 702 Paris Street, including one sign on Paris Street and two signs along US Highway 90 at the London Street and Naples Street entrances.

## PROPERTY & PROJECT SUMMARY

The subject property is located within the City’s Historic Overlay District and is identified as a historic resource (THC survey/resource inventory), with a build date of approximately 1900 and architectural style noted as Center Passage Residential.

The applicant proposes three building identification signs at different access points serving a campus that spans approximately two blocks:

- **Paris Street sign:** sign face **6' wide x 3'** tall (overall structure anticipated approx. 6.5' wide x 7' tall).
- **US Hwy 90 signs:** two sign faces each 8' wide x 4' tall (overall structures anticipated approx. 9' wide x 9' tall), located near Hwy 90 & London Street and Hwy 90 & Naples Street.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the signage proposal and provided the following comments/recommendations:

- **COA Submittal:** A comment response letter is required with subsequent submittals.
- **Paris Street Sign:** Recommended to reduce overall height and maintain a **lower profile closer to the ground** to minimize visual impact and avoid detracting from the historic structure, given the narrow street, slow traffic conditions, and institutional context.
- **Hwy 90 & London Street Sign:** Recommended to reduce height (preferably below the historic masonry wall height), and relocate to the opposite side of the gate/entry to avoid potential conflict with the nearby stop sign.
- **Hwy 90 & Naples Street Sign:** Recommended to be shorter in height and generally consistent with the modified London Street sign.
- **Number of Signs:** While guidelines typically allow one building identification sign, multiple signs are considered reasonable here due to the property spanning two blocks with multiple entrances.
- **Compliance:** All signage must comply with the City’s Sign and Signage Ordinance.

**STAFF ANALYSIS**

The proposed signage is an exterior alteration within the Historic Overlay District and is subject to HLC review for compatibility. The HPO recommendations provide practical adjustments to reduce visual impact, maintain compatibility with historic features (including the masonry entry walls), and resolve traffic-control conflicts while still allowing identification at multiple campus entrances.

**STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

13 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

702 Paris Street, Castroville, TX 78009

January 13, 2025

Castroville Catholic Middle & High School  
Representative: Brook Rothe  
PO Box 291  
Castroville, TX 78009  
830-426-6502  
[moyeschoolcastroville@gmail.com](mailto:moyeschoolcastroville@gmail.com)  
[lancerothe@gmail.com](mailto:lancerothe@gmail.com)

RE: 702 Paris Street –Alteration - Signage

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	HE
THC 1969 Survey	X
THC 2002 Resource	X
Other Historical Designation	

OTHER IMPORTANT INFORMATION	
Build Date	ca. 1900
Architectural Style	
Center Passage Residential	

Please provide a comment response letter with subsequent submittals.

## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.



123 Parland Place, Suite 100  
San Antonio, Texas 78209  
210.549.2588  
work5hop.com

January 13, 2026 / Letter of  
Recommendation

Certificate of Appropriateness  
702 Paris Street

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alterations Comments

#### SIGNAGE

1. Per the Castroville Design Guidelines, Section II, Signage (p. 59), signs should never overpower the visual environment. Because the historic area of Castroville is a pedestrian environment through which cars should drive slowly, the signs can be small enough to be read at walking speed. But they need to be large enough and numerous enough to signify a small commercial area.
  - a. Paris Street Sign - The applicant is proposing a sign measuring 6 feet wide by 3 feet tall on Paris Street. These dimensions refer to the sign face only and do not include poles or other accessory elements. Based on discussions with the applicant, the overall sign structure is expected to measure approximately 6½ feet wide by 7 feet tall. Given that this area of Paris Street is narrow, lacks sidewalks, and is surrounded by institutional uses—conditions that naturally slow traffic—it is recommended that the sign have a lower profile closer to the ground to minimize visual impact and avoid detracting from the historic structure.
  - b. HWY 90 Signs - The applicant is also proposing two signs along HWY 90, each measuring 8 feet wide by 4 feet tall, with one located at the intersection of London Street and the other at Naples Street. These dimensions reflect the sign faces only. The overall sign structures are anticipated to be approximately 9 feet wide by 9 feet tall.
    - i. HWY 90 and London Street - It is recommended that the sign at this location have a lower profile, preferably below the height of the historic masonry walls at the entryway. Additionally, it is recommended that the sign be relocated to the opposite side of the gate/entry to avoid potential conflicts with the nearby stop sign.
    - ii. HWY 90 and Naples Street - For this location, it is recommended that the sign be shorter in height and generally consistent with the modified London Street sign described above.
2. Per the Castroville Design Guidelines, Section II, Signage (p. 60), only one building identification sign is typically permitted. The applicant, however, is proposing three signs located at different entrances to the property. Given that the property spans two full blocks and has multiple points of access, consideration of multiple building identification signs is reasonable.
3. The signage must comply with the City's Sign and Signage Ordinance.

**January 13, 2026 / Letter of Recommendation**  
Certificate of Appropriateness  
702 Paris Street

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



**CITY OF CASTROVILLE**  
*Little Alsace of Texas*

COMMUNITY DEVELOPMENT DEPARTMENT  
703 PARIS STREET  
CASTROVILLE, TEXAS 78009  
PHONE: (830) 931-4090

SUBMIT PERMIT TO: [PERMITS@CASTROVILLETX.GOV](mailto:PERMITS@CASTROVILLETX.GOV)

Permit # 2026001 **Commercial Construction Permit Application**

Valuation: \$ 509,000 Gross Square Footage: 2,576 Zoning: CG  
 Project Address: 702 Paris St. Castroville TX  
 IBC Construction Type: 2012 IBC Use Group: \_\_\_\_\_ Design Occupant Load: 52  
 Project Description:  New Construction |  Remodel/Addition |  Demolition |  Accessory Building  
 Swimming Pool/Spa |  Irrigation |  Other: \_\_\_\_\_  
 Detailed Description of Work: Remodel of existing 2 story rock house for use as schoolhouse. Asbestos remediation and demo work was part of previous permit 2025309.  
 Utilities Needed:  Water |  Sewer |  Electric |  Gas |  None  
 Project in Floodplain:  No |  Yes If Yes, a Floodplain Development Permit is required.  
 Asbestos Detected:  No |  Yes If Yes, removal of asbestos material requires a licensed abatement contractor.  
 TLDR-AB Registration:  No |  Yes If Yes, provide registration number: \_\_\_\_\_

---

Business Name: ~~PBD~~ Moyer School **APPLICANT/CONTRACTOR** Contact Person: Lance Rotha  
 Address: 702 Paris St.  
 Phone Number: 830-426-6502 Email: lancerotha@gmail.com

---

Name: Castroville ~~Atchafalaya~~ Catholic Middle + High School **PROPERTY OWNER**  
 Address: PO 702 Paris St. PO Box 291 Castroville TX 78009  
 Phone Number: 830-426-6502 Email: lancerotha@gmail.com

Contractor Type	Contact Person	Phone Number	Contractor License Number
Mechanical Contractor	<u>TBD</u>		
Electrical Contractor			
Plumber/Irrigator			

- Must include if applicable:**  Site Plan |  Floor Plan |  Elevations |  COM Check  
 Sealed Engineered Foundation Plan |  Electrical Plan |  Mechanical Plan |  Plumbing Plan  
 Engineered Foundation Letter (New Construction)

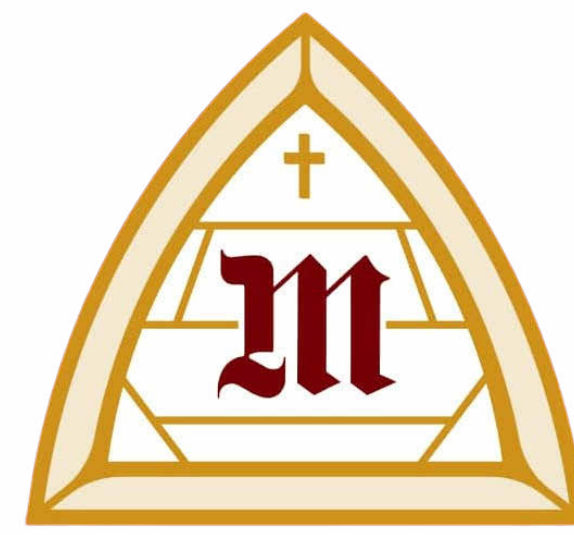
A permit becomes null and void if work or construction authorized is not commenced within 180 days of the date of permit issuance, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All permits require one or more inspections.

**A certificate of occupancy must be issued before any building is occupied.**

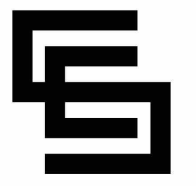
I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. No work may begin until proper permits are approved, and all associated fees have been paid.

Signature of Applicant: *Lance Rotha*

Date: 1-2-2026



BLESSED FATHER  
**MOJE**  
CATHOLIC SCHOOL



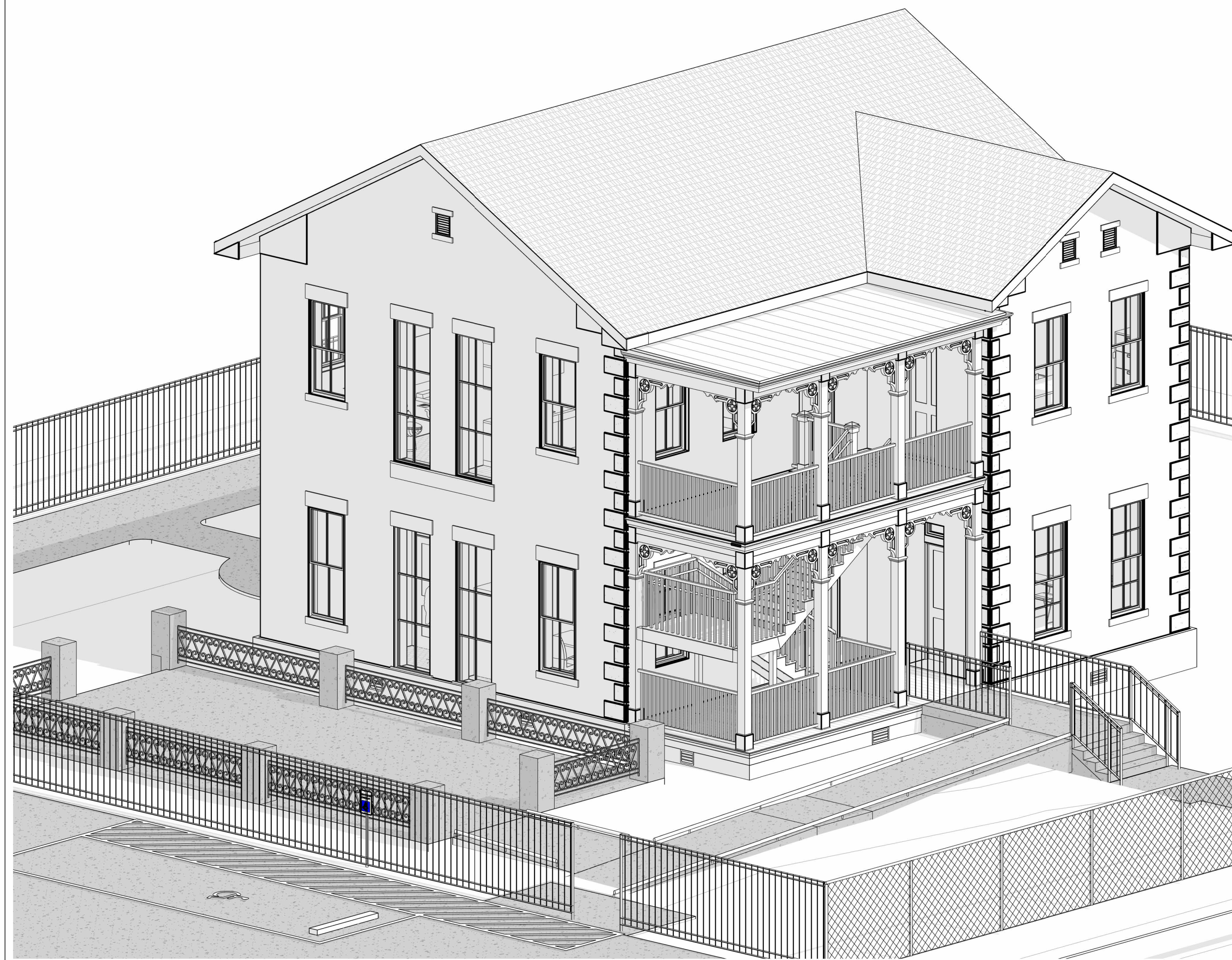
**Studio E**  
architecture & interiors inc.

8118 Broadway  
San Antonio, Texas 78209  
210.733.5300 T

# CASTROVILLE CATHOLIC SCHOOL

702 PARIS ST, CASTROVILLE, TX

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- E5.00 ELECTRICAL SPECIFICATIONS
- E5.01 ELECTRICAL SPECIFICATIONS
- P0.00 PLUMBING ABBREVIATIONS, SCHEDULES AND SYMBOLS
- P1.00 PLUMBING FLOOR PLANS
- P4.00 PLUMBING DETAILS
- P6.00 PLUMBING SPECIFICATIONS

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### CIVIL

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CONTACT: Mike Bledsoe

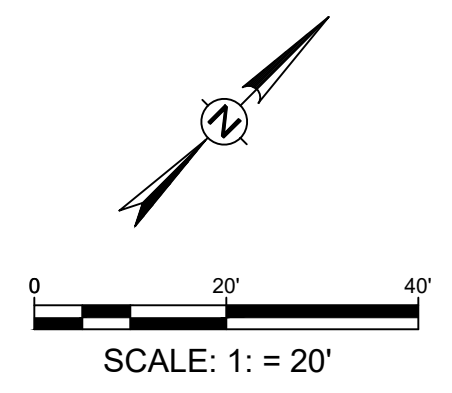
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CONTACT: Vish Hariharaputran, Kameron S. Dean, Dylan R. Woody

## PERMIT SET - BID SET - 12-22-25

### CASTROVILLE CATHOLIC MIDDLE & HIGH SCHOOL

Joshua Kempf  
PO BOX 291  
CASTROVILLE, TX 78009  
P: 830.521.0840  
E: kempf.joshua@gmail.com  
CONTACT: Joshua Kempf



EXIST.	PROPOSED	LEGEND
⊕	⊕	WATER METER (DOMESTIC, IRRIGATION, FIRE)
⊕	⊕	TELEPHONE MANHOLE
⊕	⊕	ELECTRIC MANHOLE
⊕	⊕	ELECTRIC METER
⊕	⊕	SEWER CLEAN OUT
⊕	⊕	GAS METER
⊕	⊕	GAS MANHOLE
⊕	⊕	STORM DRAIN MANHOLE
⊕	⊕	SIGN
⊕	⊕	WATER VALVE
⊕	⊕	FIRE HYDRANT
⊕	⊕	FIRE DEPT. CONNECTION
⊕	⊕	TELEPHONE PEDESTAL
⊕	⊕	POWER/UTILITY POLE
⊕	⊕	CITY WIRE
⊕	⊕	LIGHT POLE
⊕	⊕	SAN. SEWER MANHOLE
⊕	⊕	MAIL BOX
⊕	⊕	TREE TO REMAIN
⊕	⊕	TREE REMOVED
EXISTING		PROJECT BOUNDARY
EXISTING		ADJOINER PROPERTY LINE
EXISTING		FEMA 100-YEAR EFFECTIVE FLOODPLAIN
EXISTING		BUILDING SETBACK LINE
EXISTING		EASEMENT LINE
EXISTING		UNDERGROUND ELECTRIC
EXISTING		UNDERGROUND COMMUNICATION LINE
EXISTING		FIBER OPTIC LINE
EXISTING		OVERHEAD ELECTRIC
EXISTING		SANITARY SEWER LINE
EXISTING		WATER LINE
EXISTING		UNDERGROUND GAS LINE
EXISTING		CABLE FENCE
EXISTING		CHAIN LINK FENCE
EXISTING		WROUGHT IRON FENCE
EXISTING		WIRE FENCE
EXISTING		WOODEN FENCE
EXISTING		EDGE OF PAVEMENT
EXISTING		EXISTING CONTOURS
EXISTING		EXISTING BUILDING

**EXISTING UTILITY INFORMATION**

THE LOCATION OF UTILITIES, EITHER UNDERGROUND OR OVERHEAD, ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH (IF UNDERGROUND) OF ALL UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING TEXAS 811 OR LONE STAR 811 PRIOR TO CONSTRUCTION.

BOTH PRIVATE AND PUBLIC UTILITIES EXIST THROUGHOUT THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES AND THE OWNER PRIOR TO CONSTRUCTION. UTILITIES IN CONFLICT WITH PROPOSED STREETS, DRAINAGE, UTILITIES, ETC. SHALL BE ADJUSTED, REMOVED AND/OR REALIGNED DURING THE CONSTRUCTION OF THE PROJECT, AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY AND/OR OWNER.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



NO	DATE	REVISION	BY

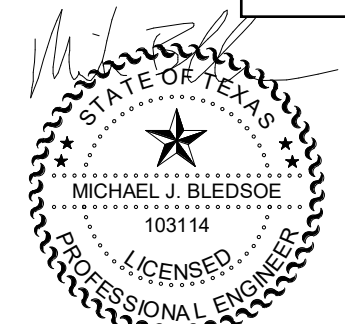
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 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 REVIEWED BY \_\_\_\_\_  
 DATE \_\_\_\_\_

**CDS muery**  
 ENGINEERS | SURVEYORS  
 100 NE LOOP 410, STE. 300 | SAN ANTONIO, TEXAS 78216  
 (210) 581-1111 | TBPE NO. F-1733 | TBPLS NO. 100495-00

UTILITY SITE PLAN  
**MOYE CATHOLIC SCHOOL**  
**CASTROVILLE, TEXAS**

SHEET NO.  
**C1.0**

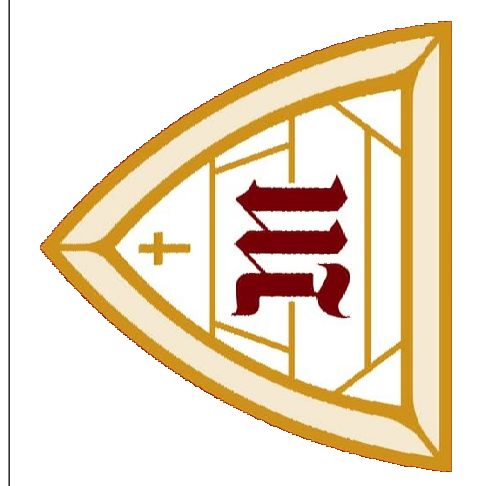
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 124083 UTIL



11-20-2025



CASTROVILLE CATHOLIC SCHOOL CASTROVILLE, TX



JOB NO: 240050
DRAWN BY: OH / MJB
BID SET
ISSUE / REVISION:

Table with 2 columns: No., Date

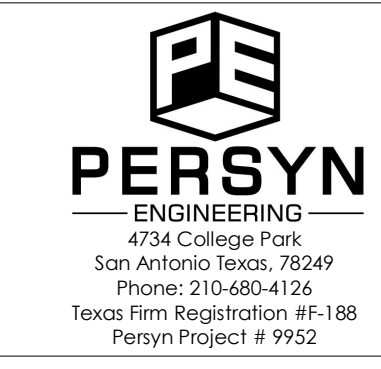
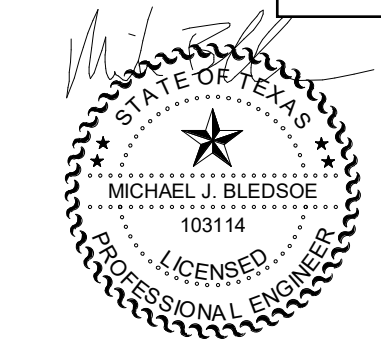
11-20-2025

SHEET TITLE
GENERAL NOTES

S.01

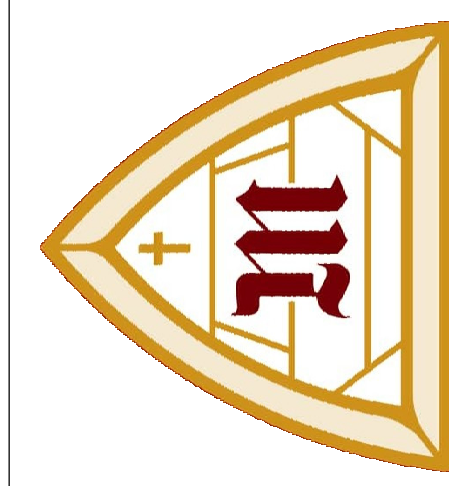
GENERAL NOTES

- 1. VERIFICATION:
A) Verify all dimensions and elevations; do not scale drawings for dimensions.
B) Assumptions have been made by this office regarding existing conditions.
C) Coordinate structural requirements with Civil, Mechanical, and Architectural to determine conflicts or discrepancies.
2. SHOP DRAWINGS AND SUBMITTALS:
A) Submit Shop Drawings for Engineers review prior to fabrication.
B) Materials Fabricators shall provide complete Drawings showing location and design of all structural items.
C) Before submitting each Shop Drawing, Contractor shall have determined and verified: All field dimensions, quantities, dimensions, the suitability of all materials for OSHA and other governing agencies.
3. STRUCTURAL TESTING & INSPECTION REQUIREMENTS:
A) The Testing Lab and/or inspector shall provide written confirmation to the structural engineer that all inspected material was installed in accordance with the project requirements.
B) In addition to the inspections and testing listed below, observations by the Structural Engineer are required.
C) The following inspections and testing are required by the structural engineer of record.
4. FOUNDATION NOTES:
A) Since a Geotechnical Investigation was not furnished, the foundation design was based upon average soil conditions.
B) The design for this foundation is based upon proper surface drainage, away from the foundation, being maintained at all times.
C) Landscaping, plumbing, and downspout drainage is also very important.
D) The design for this foundation is based upon proper surface drainage, away from the foundation, being maintained at all times.
5. SITE DRAINAGE:
A) Site drainage during construction is very important in controlling moisture problems associated with the below slab fill and subgrade soils.
B) Installation of berms or swales on the uphill side of the construction area to divert surface runoff away from the fill area during construction.
C) Sloping of the top of the subgrade with a min. downward slope of 1.5 percent out to the base of a dewatering trench located beyond the building perimeter.
D) Sloping the surface of the select fill during construction to promote runoff of rainwater until the final lift is placed.
E) During Construction, the contractor shall provide any means necessary so as to remove oil standing water in the excavation within a 24-hour period.
6. BUILDING PAD PREPARATION:
A) Structural Fill: Strip building area of all vegetation (6 inches deep).
B) THE STABILIZING BASE COURSE below the concrete slab shall be a compacted, inert, non-expansive, flexible base material (crushed limestone) conforming to Texas Highway Department Specifications No. 247, Type A.
C) Where trees exist within 5 feet of foundation, grade beams shall be deepened to extend a min. of 24 inches below grade for a distance of 5 feet in each direction of the tree (total length of 10 feet).
7. TRENCH BACKFILLING:
A) Trench backfill for utilities shall be properly placed and compacted as required and in accordance with local City Standards, Civil, and Mechanical requirements.
8. CONCRETE REINFORCING:
A) All concrete and reinforcing shall meet ASTM A615 & ACI 117 [Standard Tolerances for Concrete Construction and Materials], U.N.O.
B) Reinforcing on Drawings shall be lapped per the following:
C) Provide 2-#6 corner bars (top, bottom & mid if appropriate) at all corners and "T" intersections.
D) Anchor Bolts, Embed plates, and column dowels shall NOT be "wet set".
E) Welded Wire Fabric (W.W.F.): ASTM A185, or ASTM A497, flat sheets only.
9. CONCRETE:
A) GENERAL REQUIREMENTS:
B) Proper curing of all concrete surfaces shall be provided by the Contractor in accordance with ACI 308, latest edition, "Standard Practice for Curing Concrete."
C) Contractor shall provide and maintain adequate facilities on the project for steel storage and initial curing of concrete test specimens as required by ASTM C31/C31M for the sole use of the testing agency.
D) All concrete shall be placed in accordance with ACI 302.1R.
E) No curing, saw-cutting, or other removal of concrete will be permitted without prior approval of structural engineer.
F) Flowable Fill shall meet 2004 TxDOT Item 401
G) Max aggregate size to be lesser of:
H) Slump shall not exceed the following: 5" +/- 1"
I) Cementitious Material Requirements:
J) Additional Cementitious Material Requirements:
K) Concrete Strength: Based on 28 day compressive strength tests:
L) Field testing is to be primed, painted, cold galvanized, or otherwise to match surrounding steel finishes.
M) All steel embed plates and angles shall be A36 steel.
10. POST-INSTALLED CONCRETE ANCHORS:
A) Post-installed anchors shall only be used where specified on the construction documents.
B) Anchors shall be installed by qualified personnel in strict accordance with the manufacturer's specifications and the ICC-ES evaluation report.
C) Care shall be taken in placing post-installed anchors to avoid conflicts with existing rebar.
D) Provide continuous or periodic inspection for all adhesive and mechanical anchors per the product's applicable ICC-ES evaluation report (ICC-ES ESR).
11. CONCRETE ON GRADE CONSTRUCTION:
A) Refer to Architectural Drawings for all floor finishes, dimensions and locations of slab drops and depressions, and sawcut layouts not shown on structural plans.
B) Fill supported slabs, unless noted otherwise are 5 inches thick with #4 @ 12 inches o.c.
C) VAPOR RETARDER: Place slab directly over Vapor Retarder using 12" minimum laps, continuously taped, tested per the flowing guidelines, and meeting ALL of the following requirements:
12. STRUCTURAL STEEL:
A) All structural steel shall meet the requirements of the current edition of the AISC Code of Standard Practice for Steel Buildings and Bridges.
B) All structural steel WIDE FLANGE shapes shall meet ASTM A992 (50 ksi min.).
C) Unless noted otherwise: All OTHER structural steel shall meet ASTM A36 or ASTM A992.
D) Structural Steel Tubes:
E) Bolts: ASTM A325, F1554, or F1852.
F) Contractor to provide bracing during construction to resist all wind and construction loads in sufficient quantity to insure stability & plumbness requirements of the components and structure throughout the entire construction period.
G) All welding shall comply with the requirements of AWS D1.1 for steel construction and work shall be performed by pre-qualified Certified Welders.
H) Field welding is to be primed, painted, cold galvanized, or otherwise to match surrounding steel finishes.
I) All steel embed plates and angles shall be A36 steel.
J) Pre-engineered Steel Stairs shall be DESIGNED AND SEALED by a Texas Registered Professional Engineer.
13. STRUCTURAL WOOD:
A) All structural lumber shall be as specified below and conform to the AITC Code of Standard Practice, latest edition.
B) Dimensional Lumber Properties: Southern Yellow Pine, No. 2 or better.
C) Special Lumber Properties: So. Yellow Pine. Select Structural or better.
D) Hardware shall be as specified on Drawings and be by "Simpson" or an approved equivalent.
E) Wood in direct contact with concrete or CMU, or exposed to weather, shall be pressure-treated or otherwise protected from moisture.
F) Connectors to pressure-treated wood shall be galvanized or stainless steel.
14. ENGINEERED WOOD:
A) Micro-lam LVL beams shall be solid rectangular sections constructed of high strength laminated veneer as manufactured by Truss-Joist Corporation or equal.
B) Glu-lam beams shall conform to ANSI/AITC A190.1-2007.
C) Adhesives shall meet the requirements for wet conditions of service.
15. STRUCTURAL DESIGN LOADS: (Non-Factored)
A) Dead Loads:
B) Live Loads:
C) Building Risk Category: III (IBC Table 1604.5)
D) Wind Load: per 2024 I.B.C. (Exposure B) (IBC Pg. 378)
E) Snow Loads: 5 psf
F) Building Code 2024 I.B.C.
G) Seismic Design Data:
H) No Pipes or Conduit are to be cast into slabs, unless pre-approved by structural engineer, prior to placement of vapor retarder.
I) Pipes or conduit can be cast into beams, provided they do not run along the length of the beam, and the following limits are met:
16. SCHEDULE OF SITE OBSERVATIONS BY ENGINEER:
A) This design shall not be considered valid, and Engineer accepts no responsibility, unless observations are performed by a representative of Persyn Engineering.
B) Observations made by Engineers Representative are to check for general conformance with the Structural Drawings.
C) Prior to the beginning of construction, the contractor shall arrange a meeting with the Structural Engineer to set-up a schedule for the following observations:
17. SPECIAL INSPECTIONS: (Not Required)
A) Special inspections are not required for the Structural portion of this project (IBC Section 1704.2, Exception 1).
B) The general contractor is responsible for coordinating all testing, inspections and notifying the Architect/Engineer and inspectors of work ready for inspection.
C) List of IBC Section 110 Structural Inspections, which are to be made by the Building Official. (Note: The Building Official may accept a review by a licensed professional engineer in place of the Building Official conducting the review).
D) Footing and Foundation Inspection (IBC Chapter 110.3.1).
E) Concrete Slab and underfloor inspection (IBC Chapter 110.3.2).
F) Frame Inspection (IBC Chapter 110.3.4).



# CASTROVILLE CATHOLIC SCHOOL

CASTROVILLE, TX

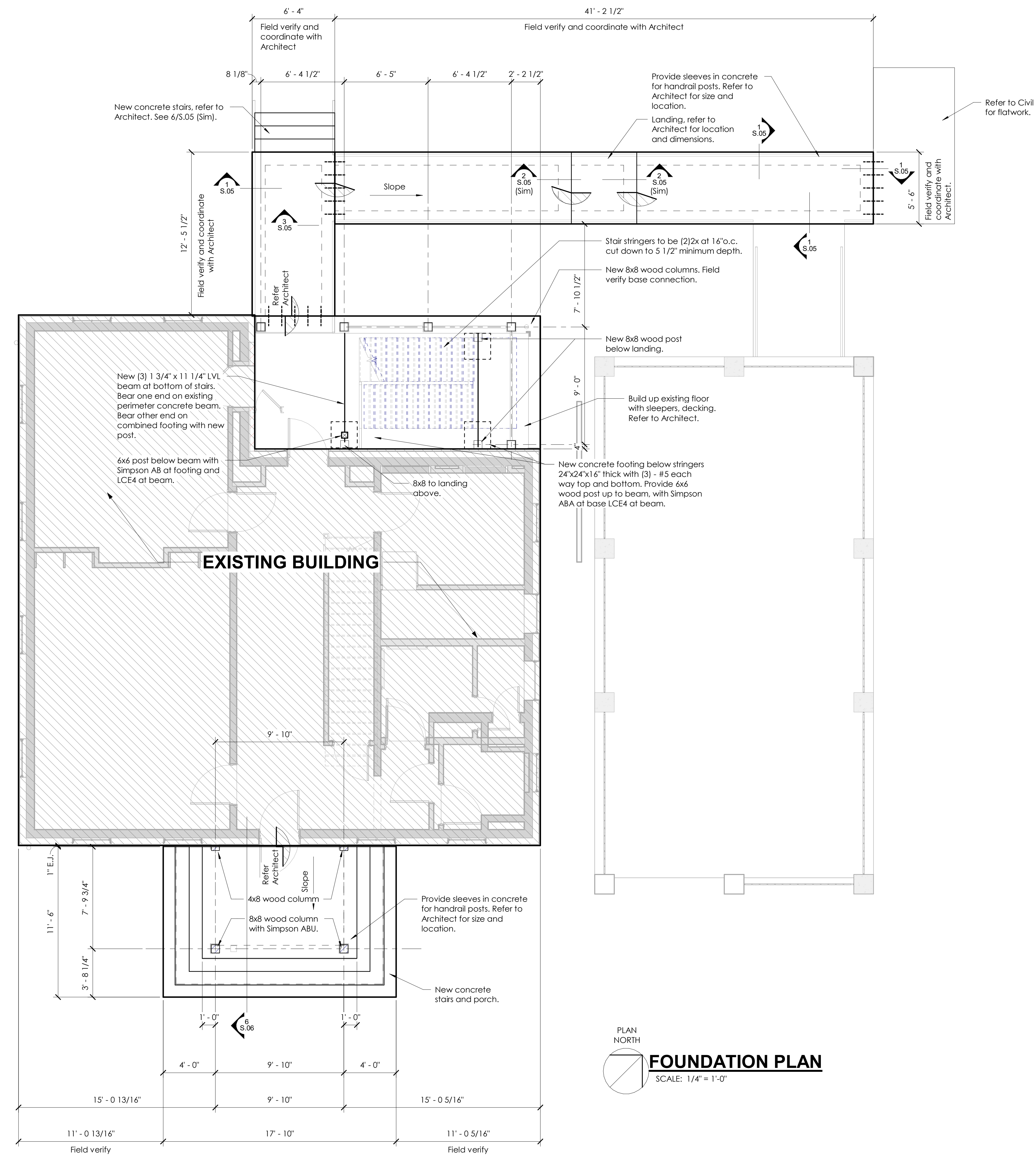


JOB NO: 240050  
 DRAWN BY: OH / MJB  
 BID SET  
 ISSUE / REVISION:

No.	Date

11-20-2025  
SHEET TITLE  
FOUNDATION PLAN

## S.02



**Elevation Notes**

Datum elevation of 100'-0" is for reference purposes only. Refer to Architect/Civil for actual elevations.

T.C. = Top of Concrete  
 T.L. = Top of Lug  
 T.S. = Top of Steel Beam/ Girder  
 J.B. = Joist Bearing  
 T.W. = Top of Wall  
 B.S. = Bottom of Steel Beam

See Foundation plans for location of 100'-0" datum elevation.

**Dimension Note**

Refer to Architectural plans for layout and dimensions. Verify all wall layouts with Architectural plans.

**New Wood Framing Note**

All wood framing to be Southern Yellow Pine, No.2 or better. All exposed wood to be treated against moisture and periodic maintenance will be required.

**Existing Conditions**

Verify all existing conditions. Notify Architect / Engineer if actual conditions vary from assumed conditions.

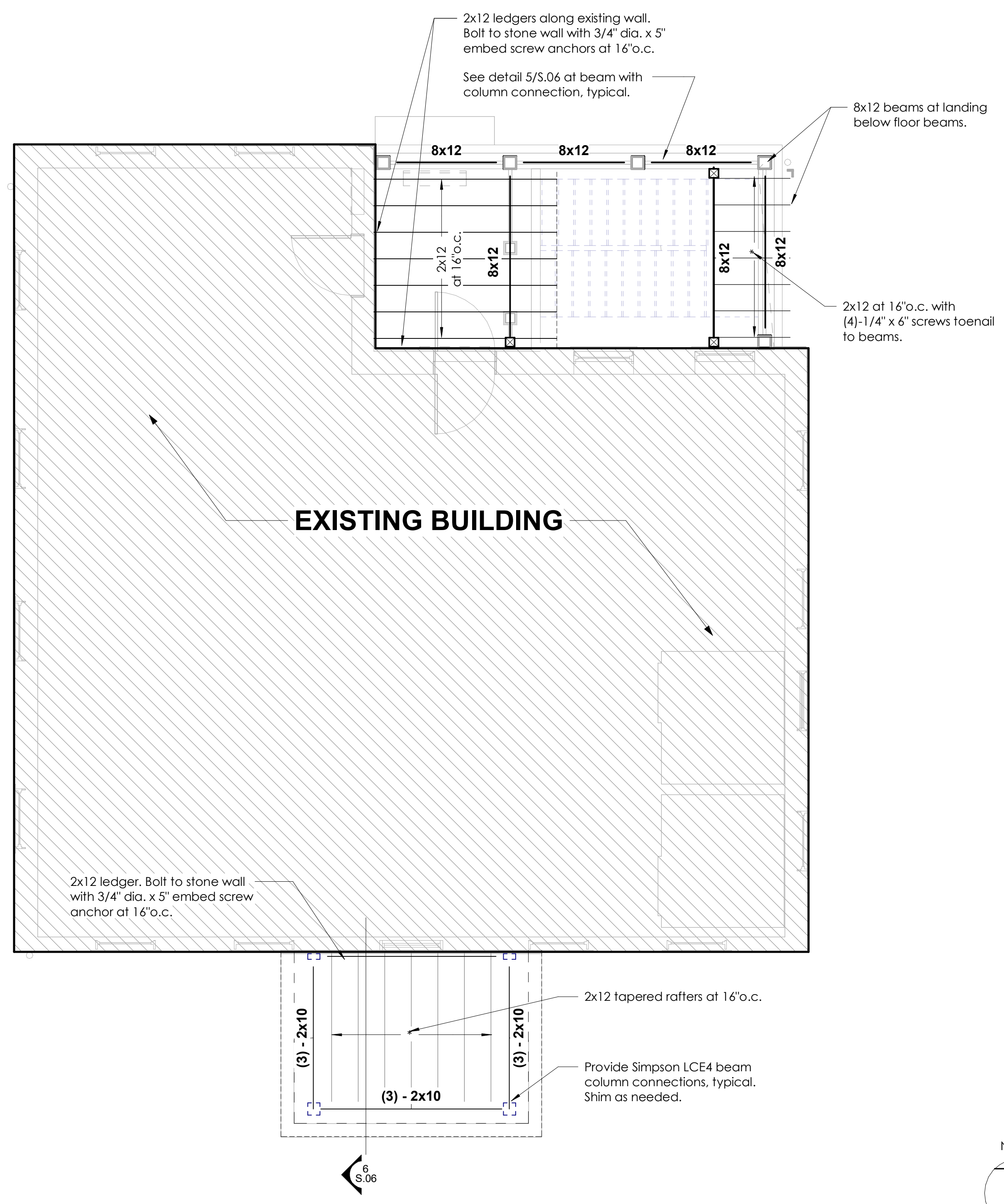
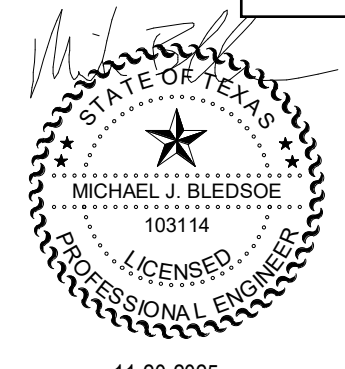
**Existing Floor Joists**

2x12 joists spanning more than 12'-0"  
 2x10 joists spanning more than 10'-0" or  
 2x8 joists spanning more than 8'-0" must be reinforced with a new full length 2x nailed together with (2)-16d at 16"o.c.

**Wood Note**

Wood in contact with concrete or exposed to weather to be treated.

PLAN NORTH  
**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



PLAN NORTH  
**2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**Elevation Notes**

Datum elevation of 100'-0" is for reference purposes only. Refer to Architect/Civil for actual elevations.

T.C. = Top of Concrete  
 T.L. = Top of Lug  
 T.S. = Top of Steel Beam/ Girder  
 J.B. = Joist Bearing  
 T.W. = Top of Wall  
 B.S. = Bottom of Steel Beam

See Foundation plans for location of 100'-0" datum elevation.

**Dimension Note**

Refer to Architectural plans for layout and dimensions. Verify all wall layouts with Architectural plans.

**New Wood Framing Note**

All wood framing to be Southern Yellow Pine, No.2 or better. All exposed wood to be treated against moisture and periodic maintenance will be required.

**Wood Floor Deck**

Provide 3/4" APA rated tongue and groove plywood deck, long dimension across supports, stagger joints. Grade as required by A.P.A. Fully glue to all supports. Provide 8d common nails at 8" o.c. in the field and 4" o.c. at ends and edges.

**PLYWOOD ROOF DECK**

5/8" OSB deck with long dimension across supports. Plywood to be APA rated sheathing. Nail at 6" o.c. along edges and at 12" o.c. at intermediate supports with 8d common nails. Allow 1/8" gap at panel ends and edges. Stagger end joints. Provide edge clips.

**HEADER SCHEDULE**

SPAN	MEMBER
0' - 3'-0"	(2)- 2x8 min.
3'-1" to 6'-0"	(2)- 2x10 min.
6'-1" to 8'-0"	(2)- 2x12 min.

Southern Yellow Pine #2 or better. Provide 1/2" OSB or plywood between 2x members. Provide additional members to match width of wall. Provide (3)- total studs each end of headers.

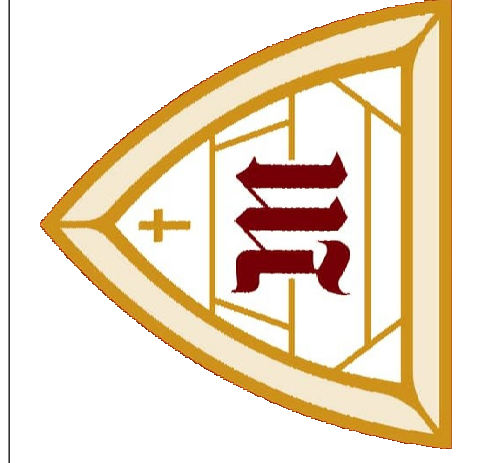
**Existing Conditions**

Verify all existing conditions. Notify Architect / Engineer if actual conditions vary from assumed conditions.

**Existing Floor Joists**

2x12 joists spanning more than 12'-0" or 2x10 joists spanning more than 10'-0" or 2x8 joists spanning more than 8'-0" must be reinforced with a new full length 2x nailed together with (2)-16d at 16' o.c.

**CASTROVILLE  
 CATHOLIC SCHOOL**  
 CASTROVILLE, TX

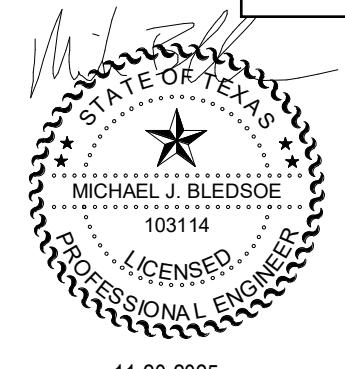


JOB NO: 240050  
 DRAWN BY: OH / MJB  
 BID SET  
 ISSUE / REVISION:

No.	Date

11-20-2025  
 SHEET TITLE  
 2ND FLOOR FRAMING PLAN

**S.03**



**Elevation Notes**

Datum elevation of 100'-0" is for reference purposes only. Refer to Architect/Civil for actual elevations.

T.C. = Top of Concrete  
 T.L. = Top of Lug  
 T.S. = Top of Steel Beam/ Girder  
 J.B. = Joist Bearing  
 T.W. = Top of Wall  
 B.S. = Bottom of Steel Beam

See Foundation plans for location of 100'-0" datum elevation.

**Dimension Note**

Refer to Architectural plans for layout and dimensions. Verify all wall layouts with Architectural plans.

**New Wood Framing Note**

All wood framing to be Southern Yellow Pine, No.2 or better. All exposed wood to be treated against moisture and periodic maintenance will be required.

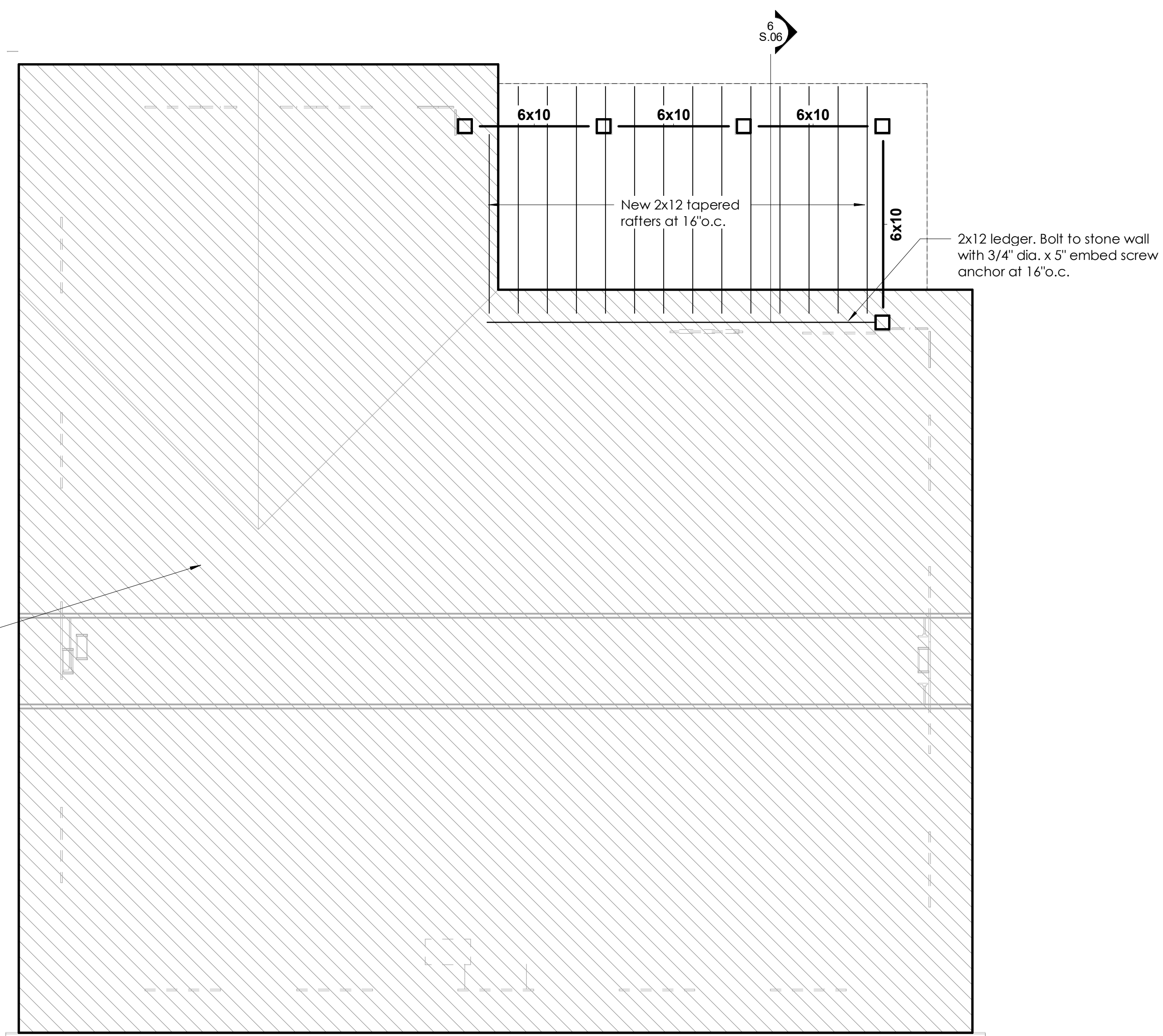
**HEADER SCHEDULE**

SPAN	MEMBER
0' - 3'-0"	(2)- 2x8 min.
3'-1" to 6'-0"	(2)- 2x10 min.
6'-1" to 8'-0"	(2)- 2x12 min.

Southern Yellow Pine #2 or better. Provide 1/2" OSB or plywood between 2x members. Provide additional members to match width of wall. Provide (3)- total studs each end of headers.

**Existing Conditions**

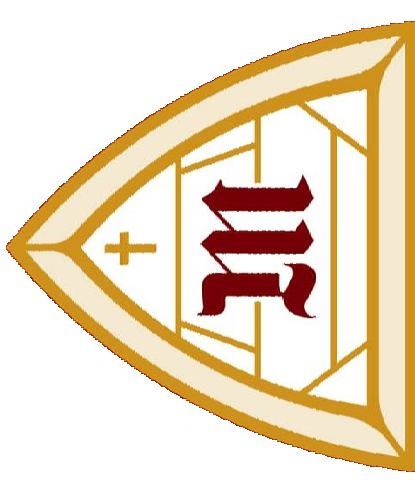
Verify all existing conditions. Notify Architect / Engineer if actual conditions vary from assumed conditions.



At rafters supporting new HVAC units, reinforce with new 2x nailed with (2)-16d at 16" o.c. (match existing size).

PLAN NORTH  
**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**CASTROVILLE CATHOLIC SCHOOL**  
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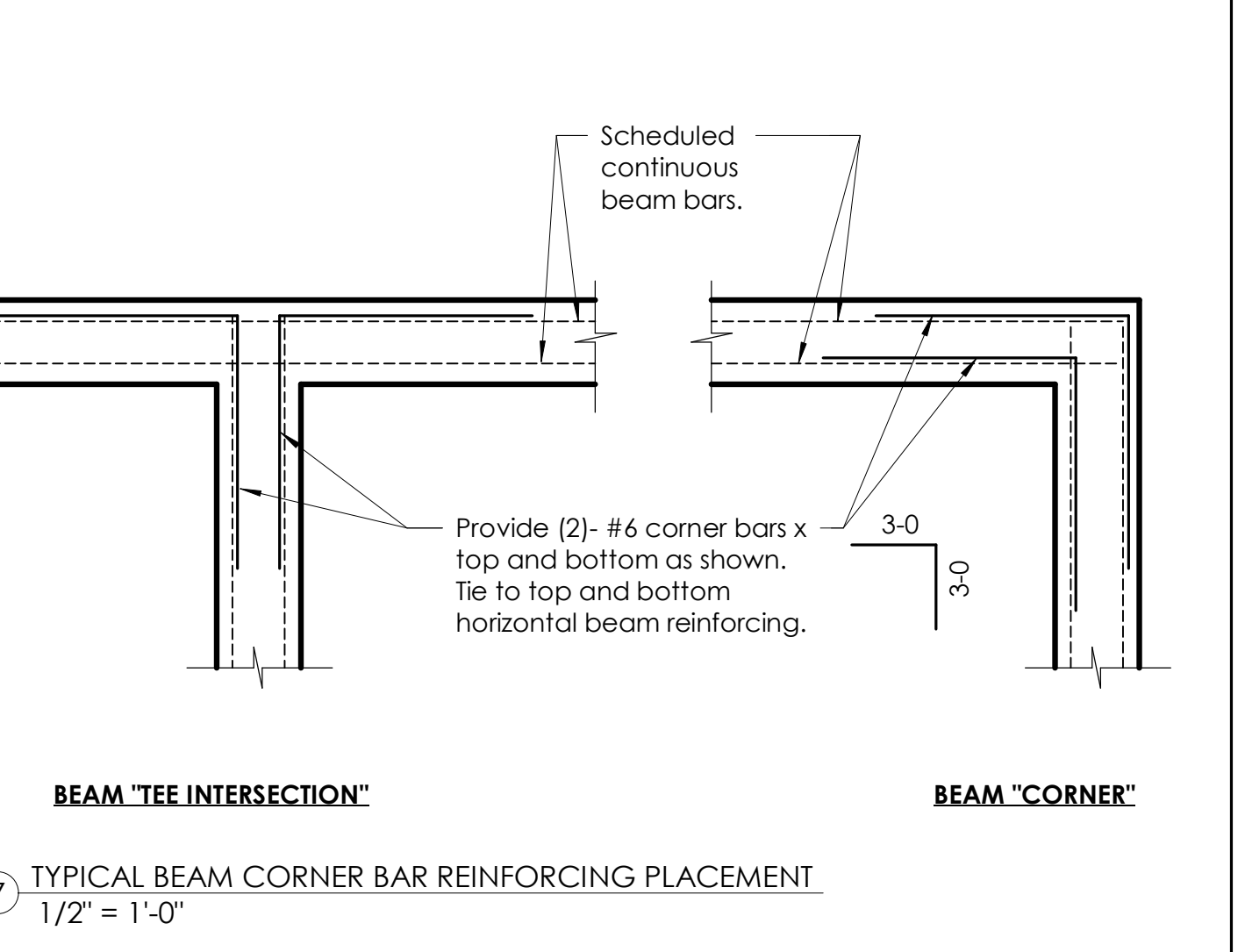
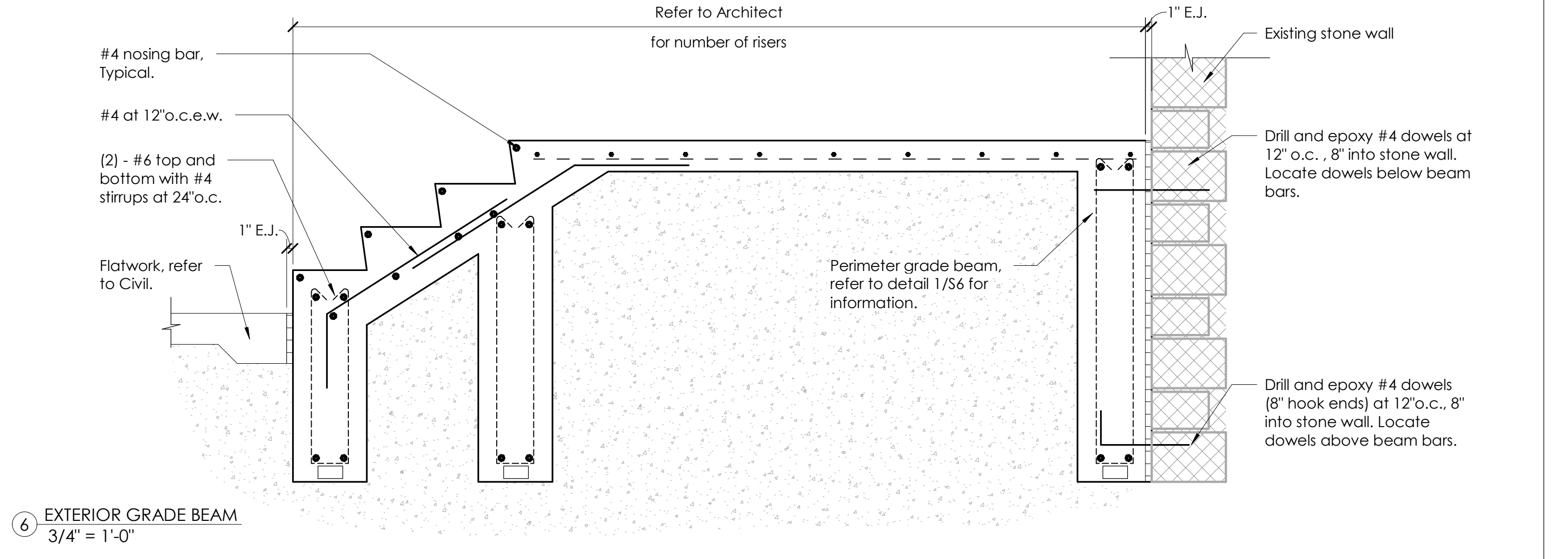
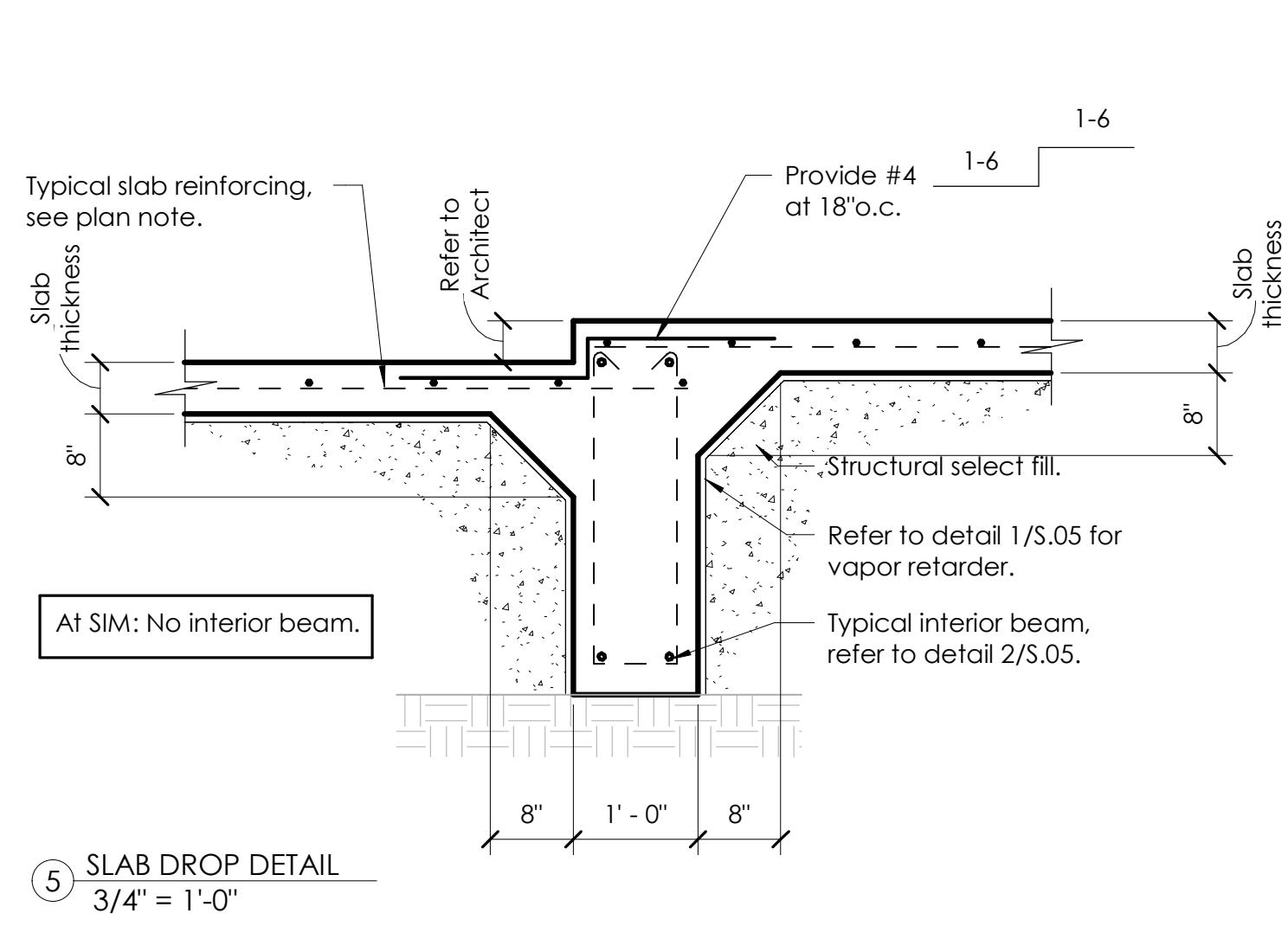
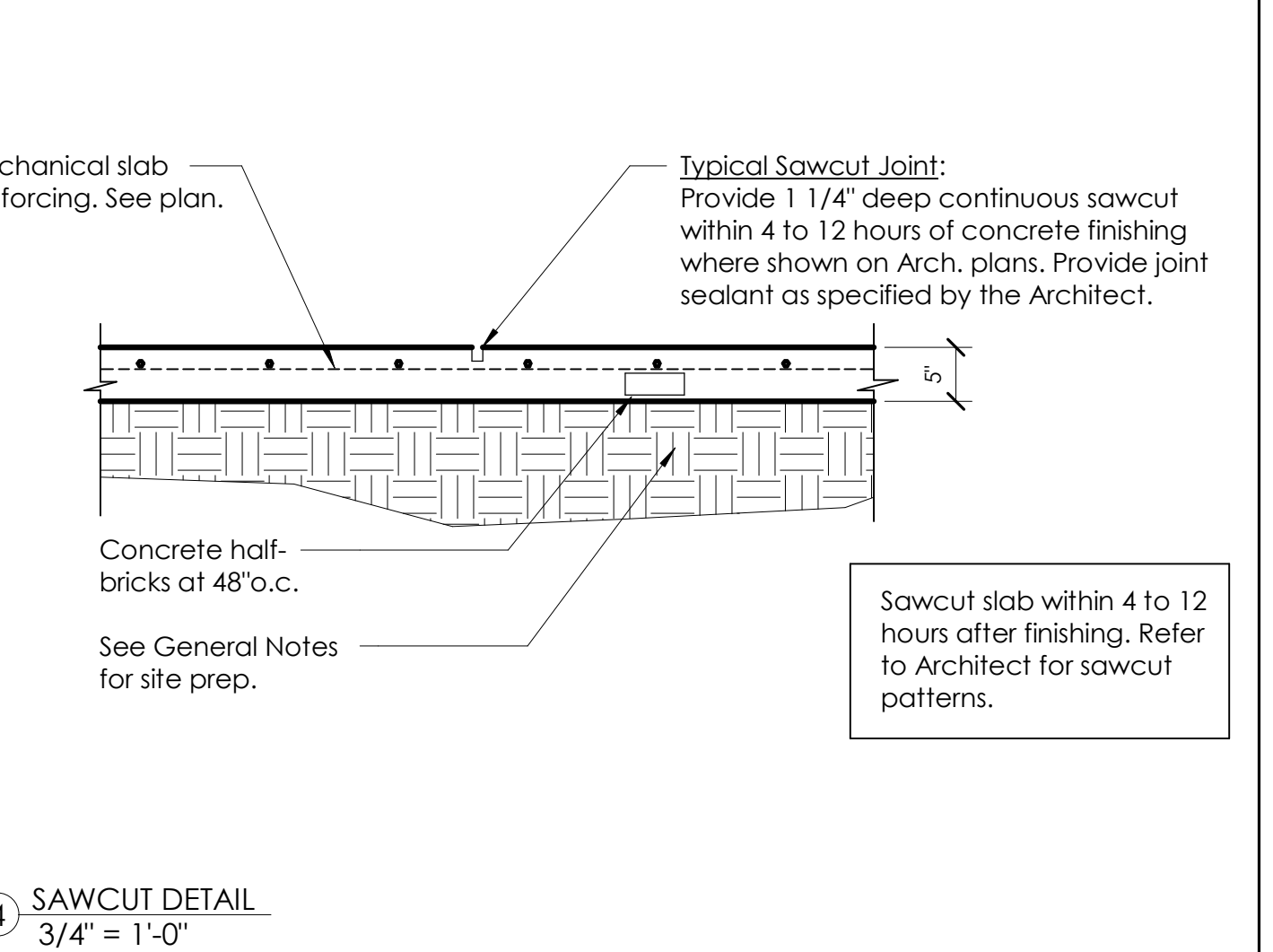
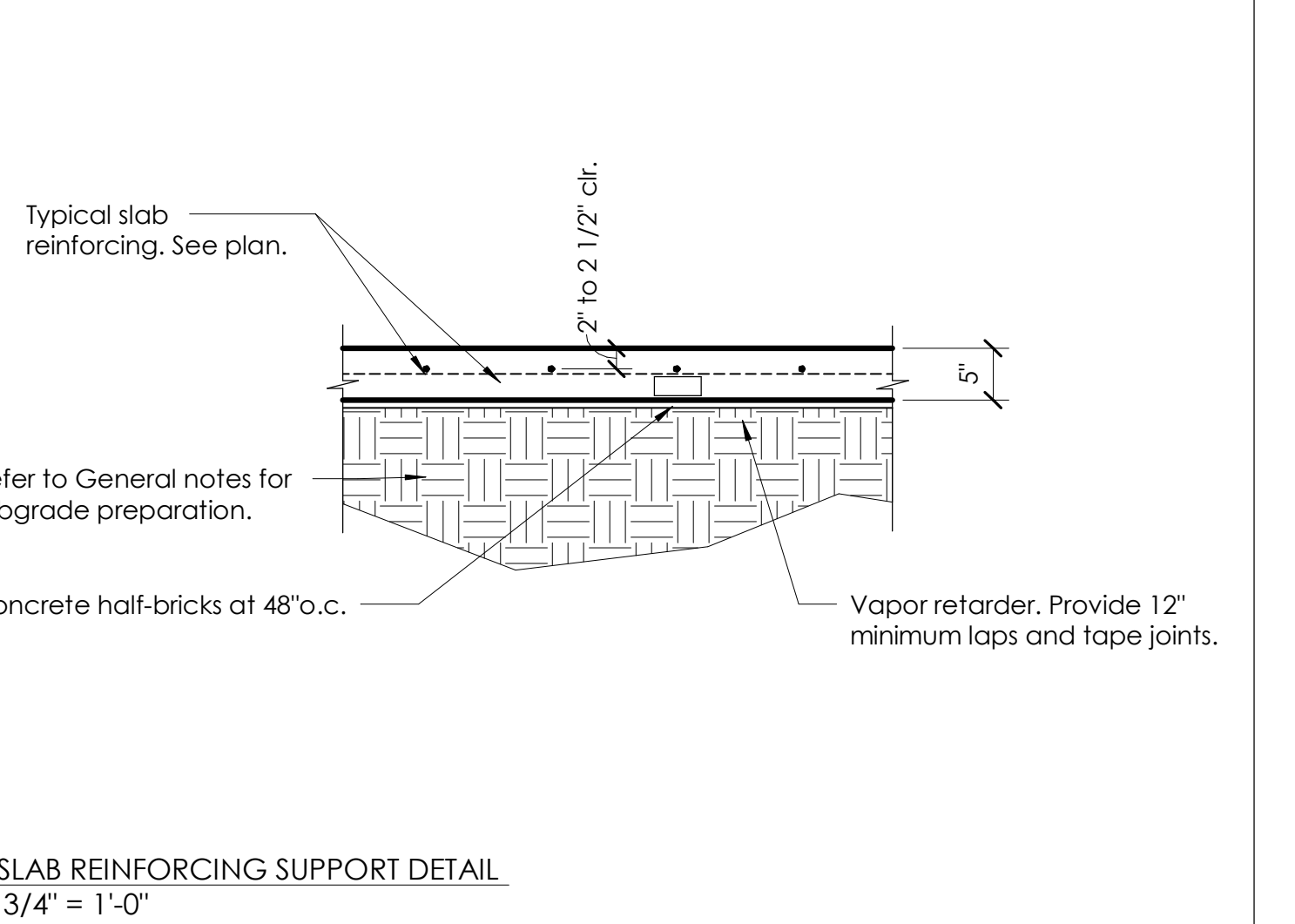
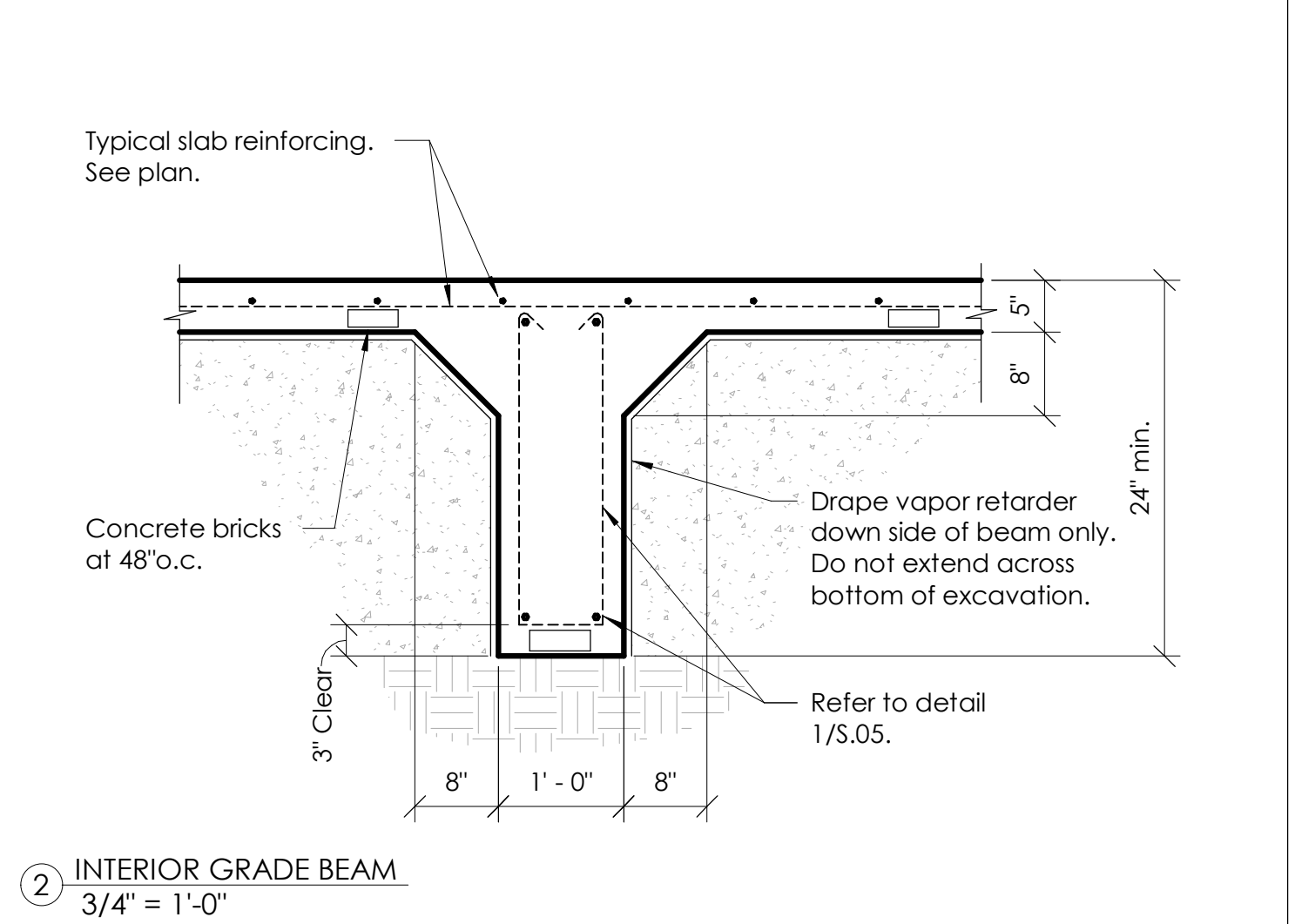
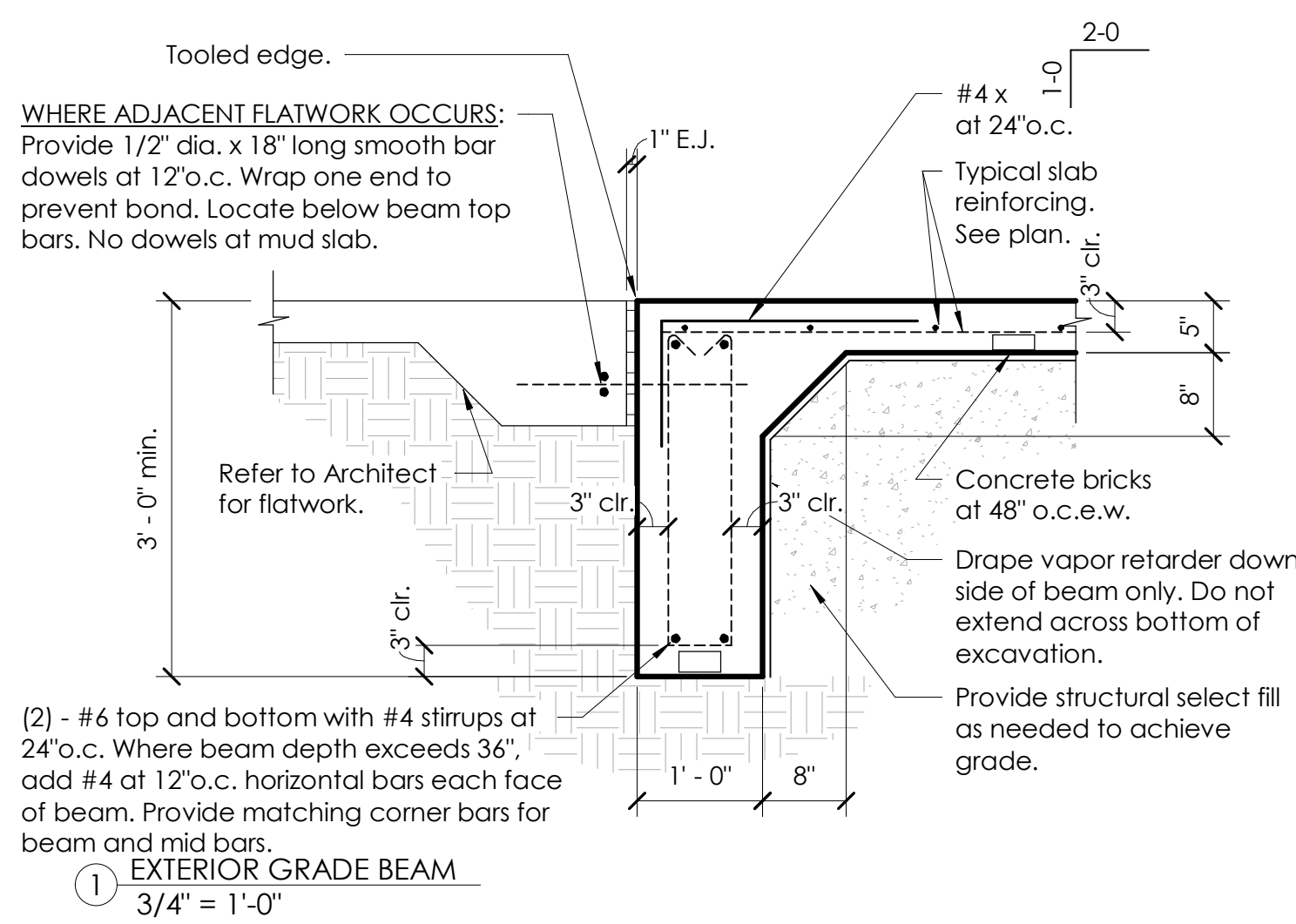
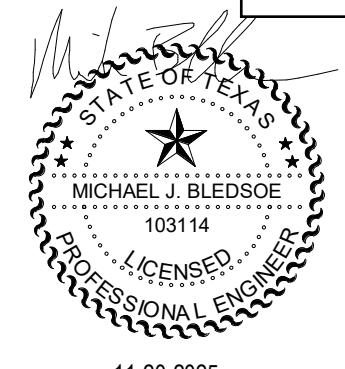


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 ISSUE / REVISION:

No.	Date

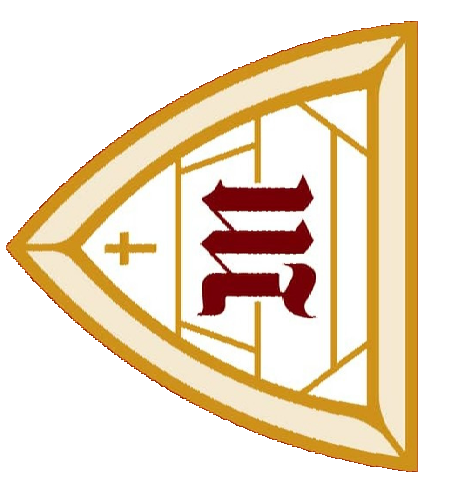
11-20-2025  
 SHEET TITLE  
 ROOF FRAMING PLAN

**S.04**



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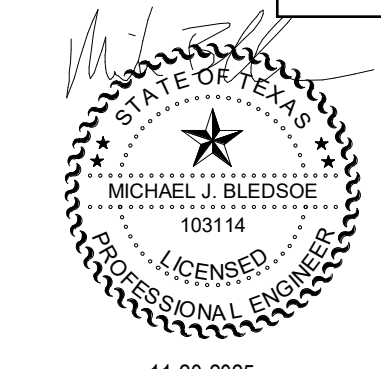


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ISSUE / REVISION:

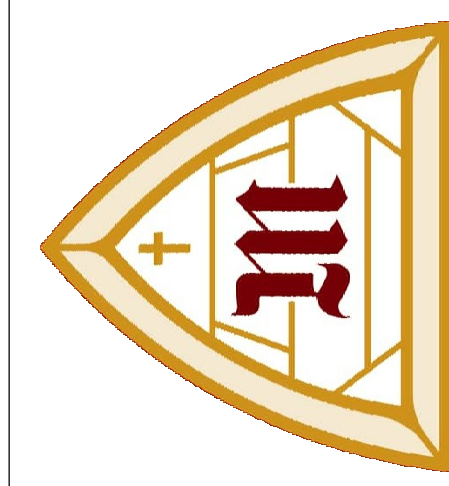
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11-20-2025  
SHEET TITLE  
FOUNDATION DETAILS

**S.05**



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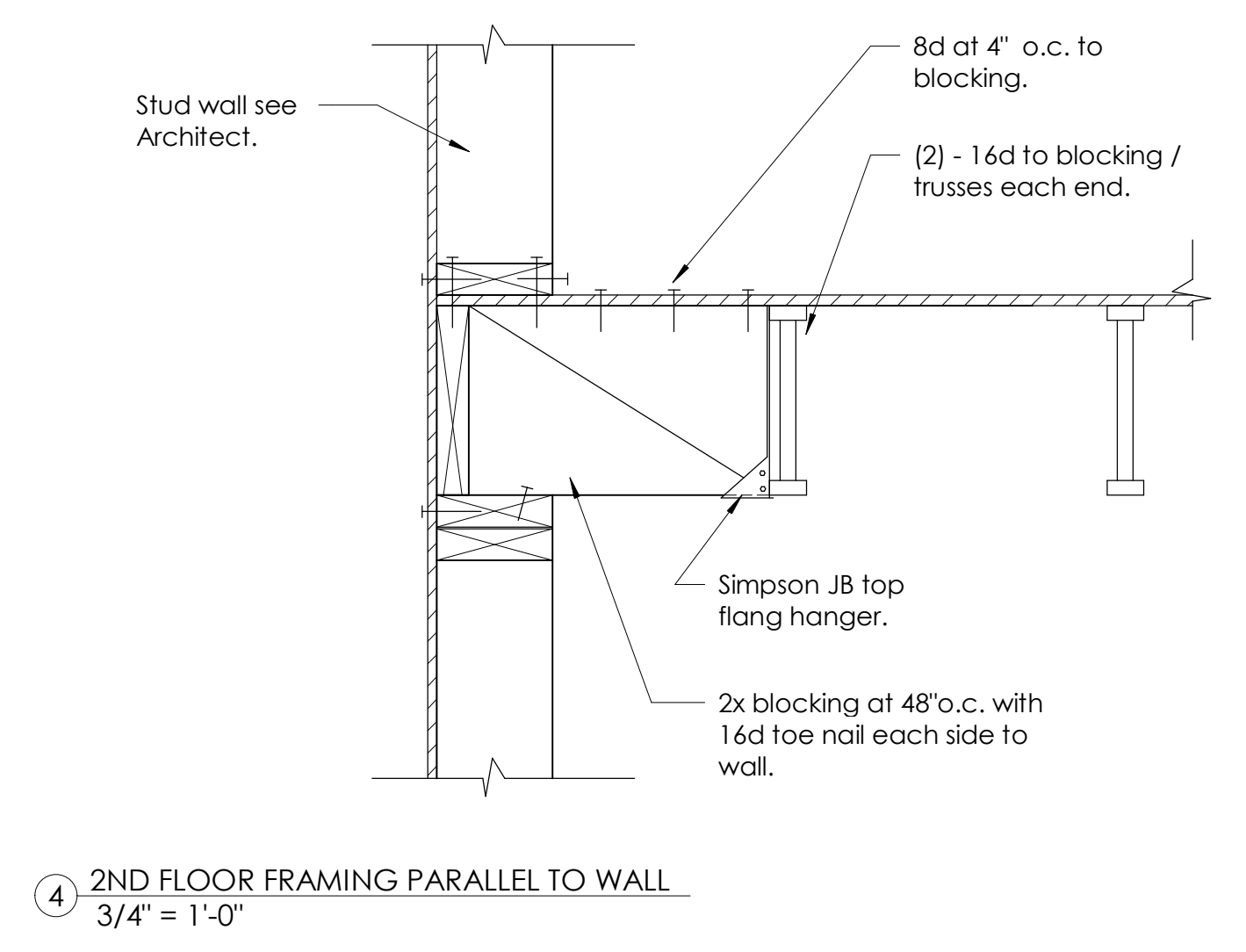


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ISSUE / REVISION:

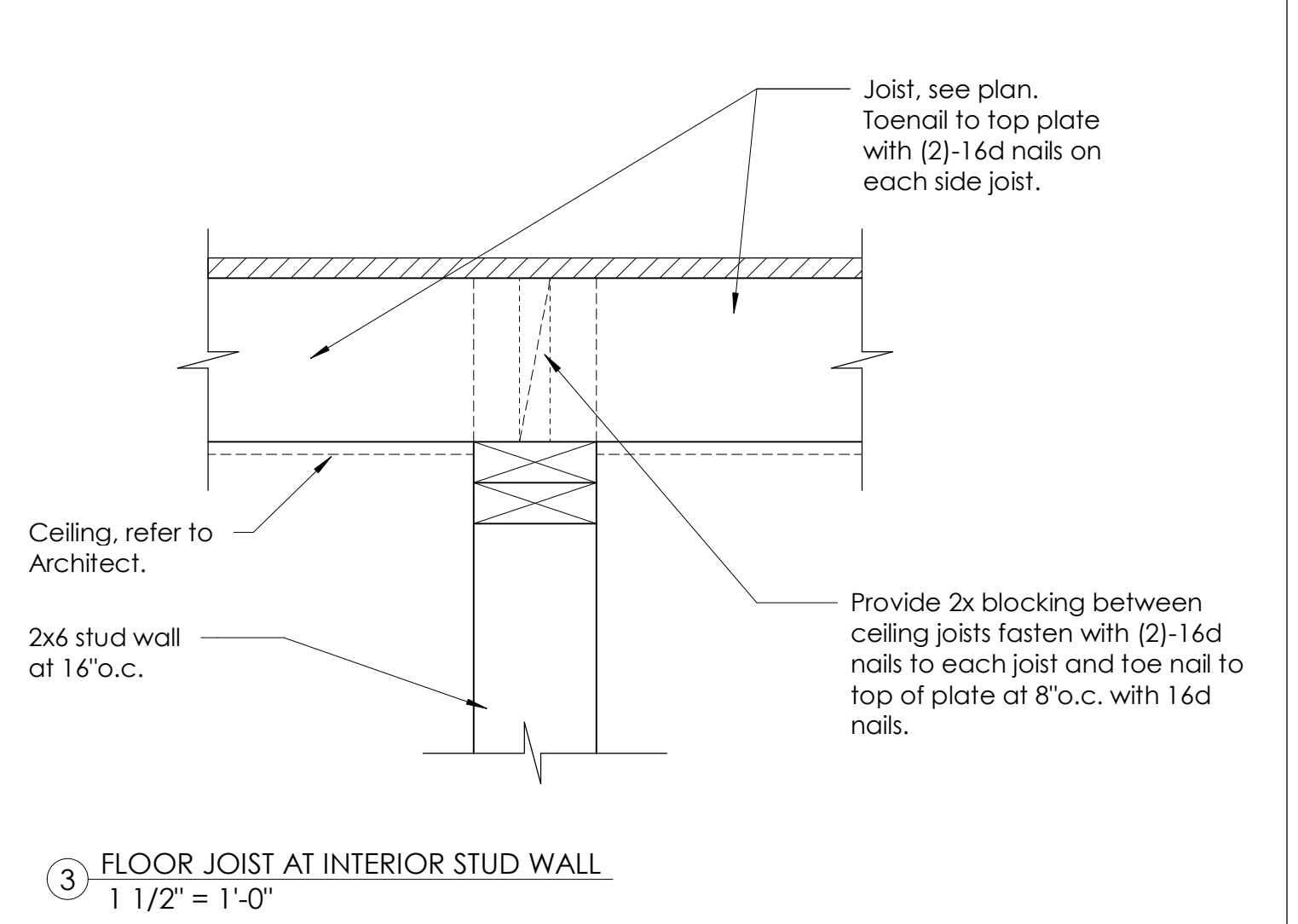
No.	Date

11-20-2025  
SHEET TITLE  
FRAMING DETAILS

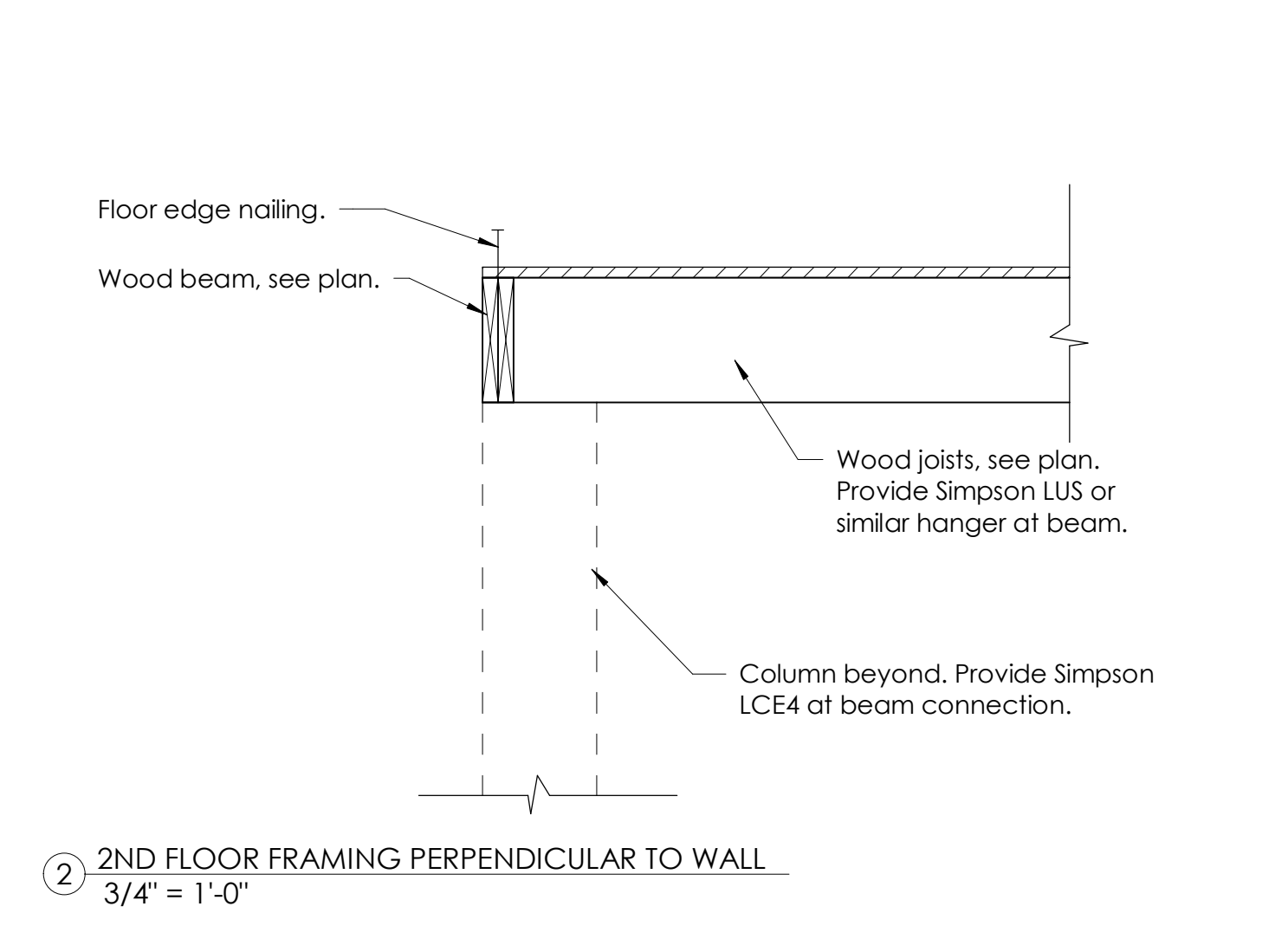
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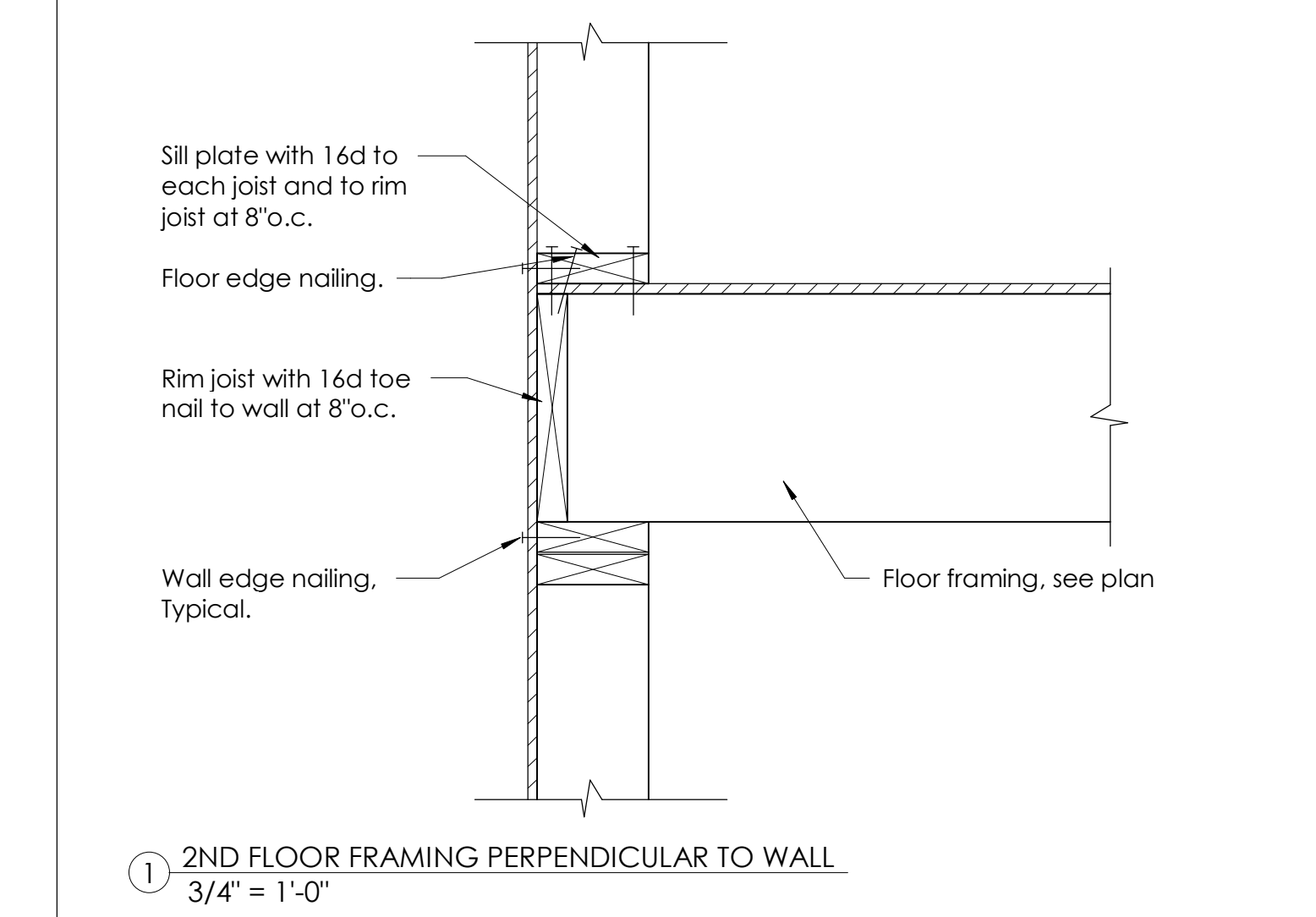
④ 2ND FLOOR FRAMING PARALLEL TO WALL  
3/4" = 1'-0"



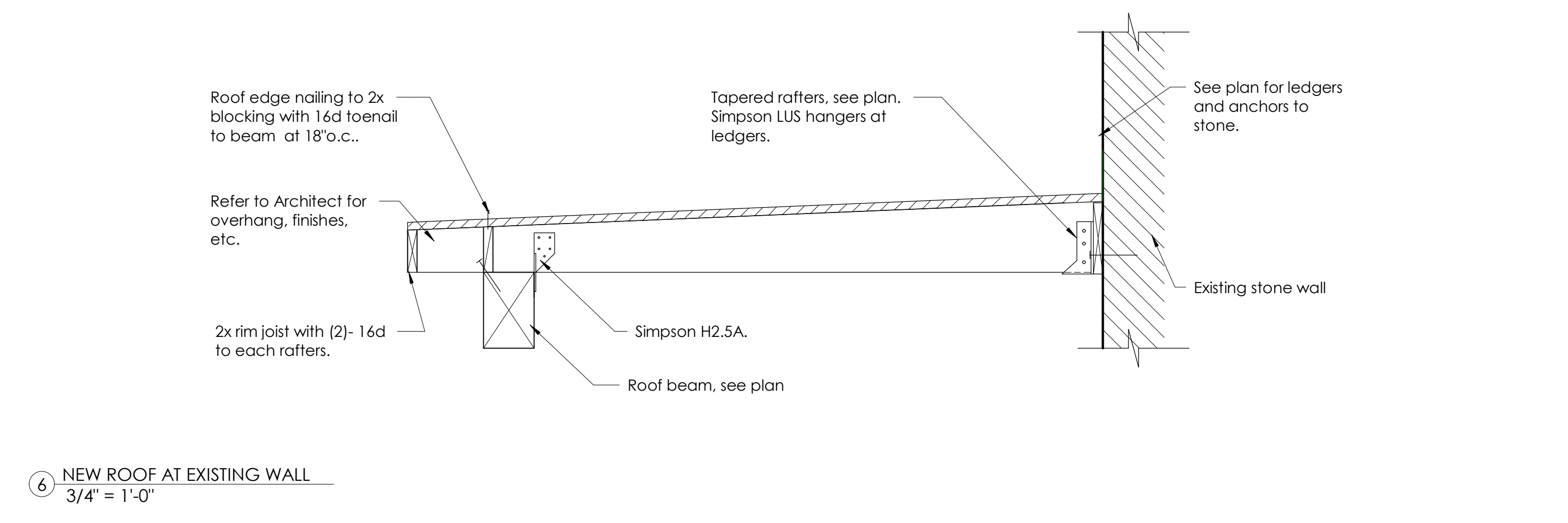
③ FLOOR JOIST AT INTERIOR STUD WALL  
1 1/2" = 1'-0"



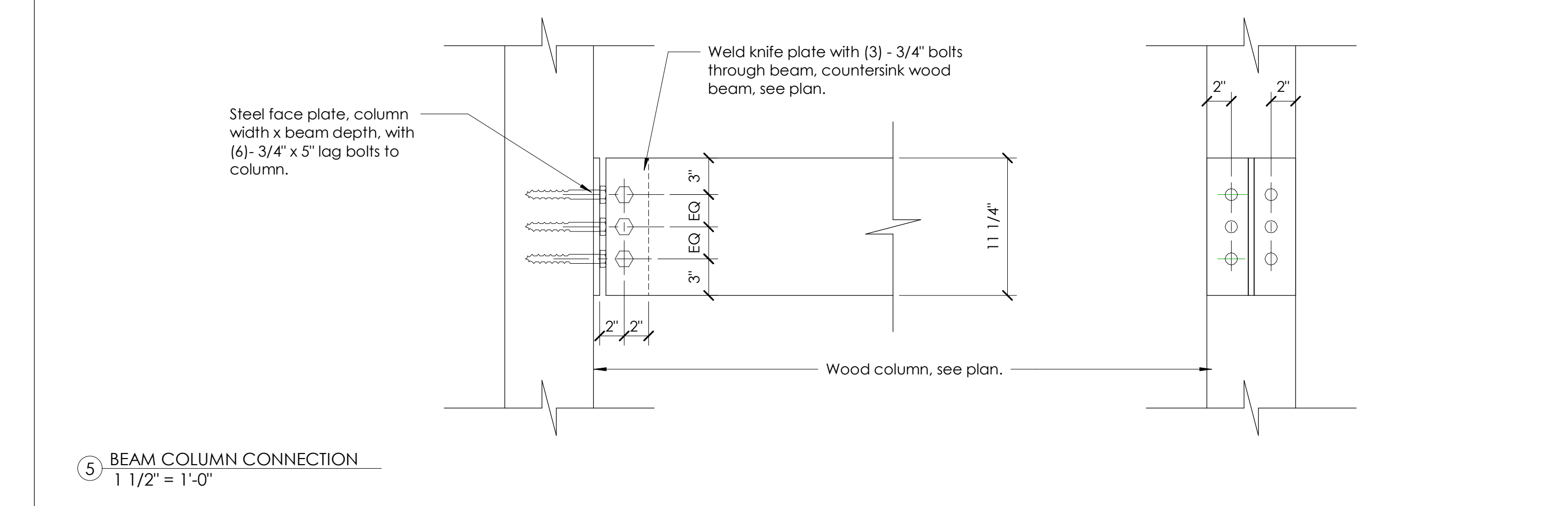
② 2ND FLOOR FRAMING PERPENDICULAR TO WALL  
3/4" = 1'-0"



① 2ND FLOOR FRAMING PERPENDICULAR TO WALL  
3/4" = 1'-0"



⑥ NEW ROOF AT EXISTING WALL  
3/4" = 1'-0"



⑤ BEAM COLUMN CONNECTION  
1 1/2" = 1'-0"

PLYWOOD SHEARWALL SCHEDULE								
TYPE	NAILING					Anchor Bolts to Concrete		Wall Capacity
	Panel Thickness	Nail Size	Panel Edges	Panel Field	Sill Plate Nailing	Size	Spacing	
1	15/32" one side	8d	6" o.c.	12" o.c.	16d @ 8" o.c.	5/8" dia. x 7" embed	48" o.c.	302 plf.

- Shearwall Schedule Notes:**
1. Panels may be installed vertically or horizontally.
  2. Blocking is required at all panel edges between studs.
  3. Provide shearwall sheathing and nailing for the entire length of the wall as shown on the plans, including above and below openings in shearwalls.
  4. Provide shearwall edge nailing at hold-down posts.
  5. Use hot-dipped galvanized nails and connector plates for connections to pressure-treated lumber.
  6. 8d nails = 0.131" dia. x 2 1/2" long, 16d nails = 0.162" dia. x 3 1/2" long.
  7. Where sheathing is applied to both sides of a wall, stagger panel edge joints so that the joints on opposite sides are not on the same stud.
  8. Anchor bolts to be cast in place; contact the engineer for adhesive or expansion bolt alternatives (special inspections may be required).
  9. Where edge nailing is 2" o.c., provide a single 3x or double 2x at panel edges and stagger nails. Nail double 2x studs together with 3" nails to match diameter and spacing of the sill plate nailing.
  10. Wall capacity shear values include a 40% increase per IBC section 2306.3, and a 1.3 reduction for wind loads per IBC section 1605.3.2.
  11. Values are based on DF or SP framing.
  12. At double top plate, offset plate joints 48" minimum, and nail together with (16) 16d nails at 2" o.c. each side of joint.
  13. All exterior walls to be type 1 shearwall U.N.O.

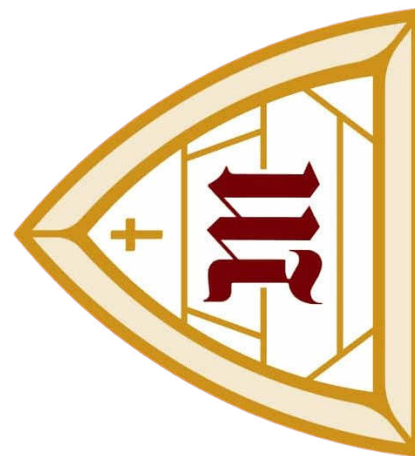
⑦ SHEARWALL SCHEDULE  
1/8" = 1'-0"



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San Antonio, Texas 78209  
210.733.5300 T

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**CASTROVILLE  
CATHOLIC SCHOOL**  
702 PARIS ST, CASTROVILLE, TX



JOB NO: Project Number  
DRAWN BY: Author  
BID SET

ISSUE / REVISION:

No.	Date

12/22/25

SHEET TITLE  
GENERAL  
REQUIREMENTS AND  
SUPPLEMENTARY  
CONDITONS

A.01

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**NOTES:**

1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

# GENERAL REQUIREMENTS AND SUPPLEMENTARY CONDITIONS

## SCOPE OF WORK

The Scope of Work entails the renovations and restoration required to meet all improvements as shown on Construction Documents and in the Specifications and It includes, but is not limited to, portions of demolition, site work improvements, infrastructure utilities, structural systems, concrete, flatwork, metals, new and existing stairs, carpentry, standing seam metal roof, sealants, existing wood windows, existing and new wood doors, existing and new hardware, drywall, painting/staining, sealers, and mechanical, electrical and plumbing.

## Schedule

General Contractor will be required to provide the number of calendar days required to substantially complete the project from the date of issuance of the building permit.

## Prime Contract

All work, including general construction, architectural, structural, mechanical, electrical, plumbing work will be awarded under a single prime contract.

## GENERAL REQUIREMENTS

- 1.1 The "General Conditions of the Contract for Construction", A.I.A. Document A201, 2007 Edition, is a part of this Contract.
- 1.2 The Contractor and Subcontractor are responsible for verifying all dimensions and conditions incidental to this work and taking site measurements for all items requiring fitting to work previously built or set.
- 1.3 Contractor is responsible for carefully inspecting work completed and verifying its accuracy and quality before subsequent work is commenced. If problems exist, contact Architect before starting work.
- 1.4 Contractor is responsible for installing all materials and equipment according to the manufacturer's recommendations. At least one qualified person who is familiar with the proper procedure and manufacturer's requirements shall be present during installation.
- 1.5 The Contractor shall remove and replace all defective work at his own expense.
- 1.6 The Contractor shall haul, stack and store all materials as is proper for their kind to protect them at all times.
- 1.7 The Contractor is responsible for hauling away trash, debris and surplus building materials.
- 1.8 Approval of shop drawings does not remove Contractor's responsibility for quantities, measurements, etc.
- 1.9 The Contractor shall guarantee the work under this contract for one (1) year from final acceptance date against defects in materials, equipment and workmanship and shall repair or replace defects to the Owner's satisfaction at no cost to the Owner. With the request for final payment, Contractor shall deliver to Owner all warranties and guarantees which extend beyond his own.
- 1.10 Project Closeout: The Contract will be considered fulfilled when all work has been completed; the final inspection made by Owner and Architect and final acceptance and final payment by the Owner. When the Architect and Owner determine that all work is substantially complete, they will prepare a punch list to give to the Contractor so he can make any adjustments or corrections as required to complete the project. The failure to include any items on such list does not alter the Contractor's responsibility to complete all work according to drawings and specifications.

## SUPPLEMENTAL GENERAL CONDITIONS:

The General Conditions of this Contract are the American Institute of Architect's Document A-201, "General Conditions of the Contract for Construction". View [www.AIA.ORG](http://www.AIA.ORG) which is hereby made a part of these Specifications and shall apply to all contractors and subcontractors.

In event Document A201 is not bound herewith, a copy may be referred to or obtained from the office of the Architect.

## THE SUPPLEMENTAL GENERAL CONDITIONS

The Supplemental General Conditions contain changes and additions to the AIA General Conditions. Where any part of the AIA General Conditions is modified or deleted by these Supplemental General Conditions, the unaltered provisions shall remain in effect.

## MODIFICATIONS TO THE VARIOUS ARTICLES OF THE GENERAL CONDITIONS:

### ARTICLE 1 - GENERAL PROVISIONS

- 1.1 **Basic Definitions:** Add the following sentence to paragraph 1.1.1, THE CONTRACT DOCUMENTS: "The Agreement takes precedence over all other Contract Documents".
- 1.2 **Execution, Correlation, and Intent:** Add the following paragraphs:
  - 1.2.6 Titles of Sections and Articles in these specifications are introduced merely for convenience and are not to be construed as a correct or complete segregation or tabulation of the various units or materials and/or work. The Contractor shall be solely responsible for omissions or duplications by the Contractor or any Subcontractors due to real or alleged error, either direct or implied, in agreement of matter on the Contract Documents.
  - 1.2.7 Contractor shall check drawings and specifications immediately upon their receipt, and shall notify the Architect in writing not later than Ten (10) days after receipt of them, of errors, discrepancies or omissions. Contractor shall verify dimensions and details before ordering materials or laying out work and shall be responsible for errors that might have been avoided by such check. Deviations from drawings and dimensions shall be made only with the Architect's permission.
  - 1.2.8 Specifications and Drawings are intended to be complementary and in agreement with each other. All work or material called for by either shall be performed and/or furnished as if called for by both. In cases of discrepancy concerning dimensions, quantities and location, the Contractor shall in writing, call to the attention of the Architect any discrepancies between Specifications, Plans, Details or Schedules. The Architect will then inform the Contractor in writing which document takes precedence.

### ARTICLE 3 - CONTRACTOR

- 3.4 **Labor and Materials:** Add the following paragraph:
  - 3.4.3 Contractor and Subcontractors shall conform to the labor laws of the State of Texas, and the various acts amendatory and supplementary there to, and to all other laws, ordinances and legal requirements applicable thereto. Applicable Federal Laws shall be complied with.
- 3.6 **Taxes:** Add the following paragraph:
  - 3.6.2 The Contractor shall pay all taxes and insurances required by the State and Federal Laws.
- 3.7 **Permits, Fees and Notices:** Add the following paragraph:
  - 3.7.5 Costs related to all permitting, Licenses, etc., required in the prosecution of the work, whether of a permanent or temporary nature shall be paid by the Contractor. Upon completion of the work the Contractor shall deliver to the Owner through the Architect all required certificates of inspection.

### ARTICLE 5 - SUBCONTRACTORS

- 5.1 **Definitions:** Add the following paragraph:
  - 5.1.3 There shall be no obligation on the part of the Owner to pay or see to the payment of any sums due any Contractor or Subcontractor, nor create any obligation of any kind, express or implied, upon the Owner or the Architect in favor of any Subcontractor or Sub - subcontractor.

### ARTICLE 6 - CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS

- 6.2 **Mutual Responsibility:** Add the following paragraph:
  - 6.2.7 The Contractor shall be responsible for the fitting of all work and for the coordination of the operation of all trades, other Contractors, Subcontractors and material suppliers engaged upon or in connection with the work, as well as those of his own employees and he shall exercise every effort to assure a harmonious cooperative effort on the part of all those concerned. He shall be prepared to guarantee to each of his subcontractors and foremen all of the dimensions which they may require for the fitting of their own work to adjoining work and shall do or cause to do, all fittings and adjusting necessary to make the several parts of the work come together properly and fit the work to receive or be received by the work of other Contractors.

### ARTICLE 7 - CHANGES IN THE WORK

- 7.3 **Construction Change Directives**
  - 7.3.6 A "reasonable allowance for overhead and profit" as referred to in the first sentence of this paragraph shall not exceed fifteen percent (15%).

### ARTICLE 9 - PAYMENTS AND COMPLETION

- 9.5 **Decisions to Withhold Certification:** Add the following paragraph:
  - 9.5.1 The Architect will not issue any Certificates of Payment for any progress payment to the Contractor subsequent to the work completion date specified in Article 3 of the AIA Document A101, "Standard Form of Agreement Between Owner and Contractor", 1987 Edition.
- 9.6 **Progress Payments:** Delete in its entirety 9.6.1 and add the following paragraph:
  - 9.6.1 After the Architect has issued a Certificate of Payment, and unless otherwise provided in the Agreement, the Owner shall make payment on account of Contract on or about the Fifteenth (15th) day of each month as follows:
    - a. Prior to application for first payment, file with the Architect a complete schedule on AIA Documents G702 "Application and Certificate for Payment and G702A "Continuation Sheet", showing the value of various portions of the work in detail. The Contractor, upon approval of the Architect, may use other formats in lieu of G702 & G702A as long as all information required is supplied.
    - b. Contractor's Application for Payment shall be submitted on Documents G702 and G702A on or before the last day of each month, Ninety percent (90%) of the value based on the Contract prices of labor and materials suitably stored at the site thereof, or in a bonded warehouse up to the last day of that month, as estimated by the Architect, less the aggregate of previous payments. Upon approval of the Owner, the Contractor may make application on the middle and last day of each month.
    - c. Final payment shall be due Thirty (30) days after acceptance as Substantial Completion of the work, provided the work be then fully completed, and the Contract fully performed. Contractor shall submit to the Architect a notarized statement stating that all bills for labor and materials have been paid in full.

### ARTICLE 11 - INSURANCE:

**Each bid shall be accompanied by a bid guarantee in the form of a certified check, cashier's check, or bid bond in the amount of five percent (5%) of the total bid price.**

**The successful bidder will be required to furnish a one hundred percent (100%) Performance Bond and one hundred percent (100%) Payment Bond.**

- 11.1 **Workmen's Compensation and Employer's Liability Insurance**
  - 11.1.1 For the duration of this Contract, the Contractor shall maintain Statutory Workmen's Compensation and shall maintain Employer's Liability Insurance with minimum limits of not less than \$100,000.00. Contractor shall require Subcontractors to provide workmen's Compensation and Employer's Liability Insurance with the same minimum limits.
- 11.2 **Comprehensive General Liability Insurance**
  - 11.2.1 For the duration of this Contract, the Contractor shall maintain comprehensive General Liability Insurance with Minimum Bodily Injury limits of not less than \$500,000.00 for each person and not less than \$500,000.00 for each accident. He shall maintain Property Damage Insurance with minimum limits of not less than \$500,000.00 for each accident and not less than \$500,000.00 aggregate. In addition, the Contractor shall maintain in force an Umbrella Liability Policy covering Bodily Injury and Property Damage in the amount of not less than \$500,000.00. Each policy shall include contractor's Protective Liability Insurance with the same minimum limits and completed operations coverage.
- 11.4 **Owner's Liability Insurance**
  - 11.4.1 For the duration of this Contract, the Contractor shall purchase and maintain insurance described in paragraphs 11.2.1 in the minimum amount of the cost of construction and for the Owner's Liability and shall contain the same specific endorsements which the Contractor places on the insurance required by paragraphs 11.2.1.
- 11.5 **All Risk Builders' Risk**
  - 11.5.1 For the duration of this Contract, the Contractor shall maintain an All Risk Builder's Risk Policy including collapse endorsements up to 100% of the insurable value of the work. This insurance shall include the interest of the Contractor, Subcontractors and the Owner. Form of policy used shall be Builder's Risk.
- 11.6 **General Insurance Requirements**
  - 11.6.1 The Contractor shall not commence work at the site under this Contract until he has obtained all the required insurance and until such insurance has been approved by the Owner and the Architect. Contractor shall not allow any Subcontractor to commence work until all similar required insurance has been obtained and approved. Approval of insurance by the Owner and the Architect shall not relieve or decrease the liability of the Contractor hereunder.
  - 11.6.2 Certificates of Insurance shall be filed with the Owner and the Architect prior to commencing the work. Failure to furnish either satisfactory insurance or the required certificates within Ten (10) days of Notice to Proceed shall not be considered cause for modification of any contractual time limits.
  - 11.6.3 The required insurance must be written by a company licensed to do business in Texas at the time policy is issued. In addition the Company must be acceptable to the Owner.
  - 11.6.4 The Contractor shall not cause any insurance to be cancelled or permit any insurance to lapse. All insurance policies shall include a clause to the effect that the policy shall not be cancelled or reduced, restricted or limited until Fifteen (15) days after the Owner has received written notice as evidenced by return receipt of registered or certified letter.

- 11.6.5 Certificates of Insurance shall contain transcripts from the proper Officer of the Insurer, evidencing in particular those insured, the extent of the insurance, the location and the operations in which the insurance applies, the expiration date and the above mentioned Notice of Cancellation Clause.

### ARTICLE 12 - UNCOVERING AND CORRECTION OF WORK

- 12.2 **Correction of Work:** Add the following paragraph:
  - 12.2.7 The Contractor shall furnish the Owner with a written guarantee against defective material and workmanship for a period of ONE YEAR from the date of FINAL ACCEPTANCE OF THE WORK. He shall secure all written guarantees and warranties called for in the specification. The Contractor is responsible for the guarantee on the entire work performed under this agreement with the Owner. Where guarantees are specified in any section of the specifications for longer periods, such longer periods shall apply.

### ARTICLE 14 - TERMINATION OR SUSPENSION OF THE CONTRACT

- 14.2 **Termination by the Owner for Cause:** Add the following sentence:
  - 14.2.4 The cost incurred by the Owner as herein provided and damage incurred through the Contractor's default shall be certified by the Architect, and his findings shall be prima facie evidence as to the facts of such damage and expense.

### END OF SECTION



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CASTROVILLE CATHOLIC SCHOOL  
702 PARIS ST, CASTROVILLE, TX

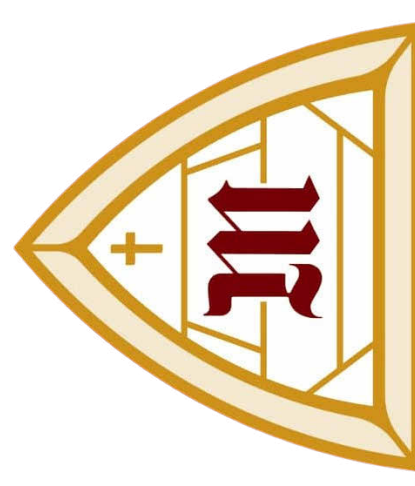


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A.01.1

NOTES:

- 1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

LOCATION PLAN

ADDRESS: 702 PARIS ST., CASTROVILLE, TEXAS. 78009



LEGAL DESCRIPTION

CASTROVILLE RANGE 6 BLOCK 7 LOT 1 - 8, OF THE CITY OF CASTROVILLE, MEDINA COUNTY, TEXAS. PROPERTY ID: 13567

SCHEDULE OF ALTERNATES

FURNISH THE LABOR AND MATERIALS TO INSTALL "OFF THE SHELF" WOOD BALUSTERS IN LIEU OF THE LABOR AND MATERIALS ASSOCIATED IN THE DRAWINGS (1 1/2" x 1 1/2"). NOTIFY ARCHITECT WITH ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PRIOR TO INSTALLATION. PROVIDE MOCK-UP FOR APPROVAL.

ALLOWANCES:

Table with 3 columns: Allowance, Description, Amount. Includes allowances for hardware, doors, and granite countertop.

CONTRACTOR TO COORDINATE WITH OWNER AND ARCHITECT THE SELECTION, FABRICATION, MATERIAL SELECTIONS AND INSTALLATION OF ALL ITEMS LISTED.
NOTE: ALL DOORS AND HARDWARE TO BE REMOVED, CLEANED AND PREPARED FOR NEW PAINT AND REINSTALLATION.
ALL DOORS TO BE REMOVED, PAINT STRIPPED TO PREPARE FOR NEW PAINT, AND HINGES AND DOOR HANDLES REMOVE AND STRIPPED AND REINSTALLED. VERIFY SCOPE OF WORK AT JOBSITE.

OCCUPANT LOAD - BREAK DOWN PER IBC TABLE 1004.5

Table with 4 columns: Function, Square Ft., Per Seat, Load. Lists occupancy for classrooms, office, break room, and toilet room.

PLUMBING FIXTURE COUNT

IBC CHAPTER 29 PLUMBING SYSTEMS- TABLE 2902.1

Table with 3 columns: Fixture Type, Required, Provided. Lists service sink, water closet, and lavatory.

TABULATIONS

GROSS SQUARE FOOTAGE

Table with 2 columns: Floor, Square Footage. Shows 1st floor and 2nd floor totals.

NET SQUARE FOOTAGE

Table with 2 columns: Floor, Square Footage. Shows net square footage for 1st and 2nd floors.

NOTE: PORCH STAIRS ARE OUTSIDE OF EXTERIOR WALLS AND NOT INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOORS ABOVE THEREFORE ARE NOT INCLUDED.
REF. TO 2012 IBC CH.2 DEFINITIONS

18. CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE MOST ESTRANGEMENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, RULES, CODES, ORDINANCES, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA AND CODES APPLYING TO THE A.D.A. (AMERICANS WITH DISABILITIES ACT), T.A.S. (TEXAS ACCESSIBILITY STANDARDS), AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS). IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES, AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COST OF REPAIR ARISING OUT OF NON-CONFORMING WORK. REFER TO STANDARDS AND REGULATIONS SECTION ON THIS SHEET FOR APPLICABLE CODES TO THIS PROJECT.

19. PERMITS: THE GENERAL BUILDING PERMIT AND PLAN CHECK(S) SHALL BE SECURED AND PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.

20. INSURANCE: OWNER'S AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND / OR MATERIAL FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE WORKMEN'S COMPENSATION, EMPLOYER'S LIABILITY, COMPREHENSIVE GENERAL LIABILITY AND BUILDER'S RISK INSURANCE FOR THE DURATION OF CONSTRUCTION AND CONTRACT IS COMPLETE AND ACCEPT BY THE OWNER. THE OWNER SHALL BE LISTED AS ADDITIONALLY INSURED FOR THE CONSTRUCTION PERIOD AND THROUGH FINAL PUNCH IN AN AMOUNT SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND / OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ARCHITECT, ENGINEER AND ALL PROFESSIONAL CONSULTANTS. VERIFY WITH OWNER THE GENERAL LIABILITY INSURANCE REQUIRED BY THE OWNER'S INSURANCE REPRESENTATIVE PRIOR TO BID. THE OWNER SHALL BE LISTED AS ADDITIONALLY INSURED FOR THE CONSTRUCTION PERIOD.

21. NAMED PRODUCTS: THE ARCHITECT, DESIGNER AND ENGINEER MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER. ALL PRODUCTS SHALL BE INSTALLED AS PER MANUFACTURER RECOMMENDATIONS, REQUIREMENTS, AND/OR INSTRUCTIONS.

22. SCOPE: ALL SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIAL INDICATED ON THE PLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES. ALL SUBCONTRACTORS SHALL SUBMIT ALL SUBPROPOSALS DESCRIBING SCOPE OF WORK AND MATERIALS IN WRITING TO THE OWNER AND GENERAL CONTRACTOR.

23. SUBSTITUTIONS: SUBSTITUTIONS OF SPECIFIC MATERIALS OR PRODUCTS LISTED SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY ARCHITECT, DESIGNER AND / OR ENGINEER AS APPLICABLE. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE THE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN AUTHORIZATION.

24. CHANGES: ANY ADDITION, DELETION, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED BY THE PLANS SHALL BE WRITTEN CHANGE ORDER ONLY. ANY APPROVAL FROM THE BUILDING OFFICIAL IF APPLICABLE FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.

25. MEANS AND METHODS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL INSURE THAT ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION SHALL BE INCLUDED IN THE WORK FOR COMPLETE EXECUTION OF THE PROJECT. THE ARCHITECT, DESIGNER AND / OR ENGINEER SHALL BE RESPONSIBLE FOR THE MEANS AND METHOD OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO NOTIFY OF ANY CHANGES MADE DURING CONSTRUCTION.

ALL WORK AT PHASES OF CONSTRUCTION SHALL BE EXECUTED BY EXPERIENCED PERSONNEL, SPECIALIZING IN THE TYPE OF WORK BEING EXECUTED, USING METHODS OF APPLICATION RECOMMENDED BY MANUFACTURER OF THE MATERIAL AND INDUSTRY STANDARDS AT EACH PHASE OF THE CONSTRUCTION. COORDINATE WORK WITH OTHER TRADES. LINES, LEVELS AND DIMENSIONS SHALL BE VERIFIED ON JOB SITE AND ALL PARTS MADE FIT AND FINISHED.

26. REVIEW OF DRAWINGS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT, DESIGNER, ENGINEER, AND OWNER. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY WORK NOT IN CONFORMANCE WITH THE PLANS OR IN CONFLICT WITH ANY BUILDING CODE.

27. USE OF THE DRAWINGS: DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL LIKE CONDITIONS TREATED SIMILARLY, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL CONCEPT AND THE MINIMUM RECOMMENDED WEATHER PROTECTION FOR THIS PROJECT. BUILDING CODE REQUIREMENTS, STRUCTURAL ASSOCIATION MANUALS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTION SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE CONSTRUCTION OF THE DETAILS, AND IN SOME CASES MAY SUPERSEDE THE DETAILS.

28. COPYRIGHT: THESE DESIGN AND DRAWINGS ARE SPECIFICALLY TO BE USED FOR THIS PROJECT ONLY. ALL DESIGNS, CONCEPTS ARE COPYRIGHTED BY STUDIO E ARCHITECTURE-INTERIORS INC.

29. APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE DIFFERENT SUBCONTRACTORS AND REQUIRING ALL SUBCONTRACTORS TO USE THE MOST CURRENT SET OF PLANS OR IF APPLICABLE, BUILDING DEPARTMENT APPROVED SET OF PLANS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP THE MOST CURRENT SET OF APPROVED DRAWINGS AT THE JOBSITE.

30. CUTTING AND PATCHING: ALL SUBCONTRACTORS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR WORK OF OTHER TRADES.

31. TEMPORARY FENCING: OWNER TO PROVIDE TEMPORARY CHAIN LINK FENCING BARRIERS AND PROTECTION AS PER CITY OF CASTROVILLE AS REQUIRED TO MAKE SAFE AND PROTECT THE ALL THE VISITORS OR NEIGHBORS FROM AREAS UNDER CONSTRUCTION.

32. STAGING AREA: GENERAL CONTRACTOR TO VERIFY LOCATION OF STAGING AREA WITH OWNER AT BID.

33. FIRE PROTECTION: GENERAL CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE CITY OF CASTROVILLE FIRE DEPARTMENT DURING ALL PHASES OF CONSTRUCTION, INCLUDING FINAL OCCUPANCY.

34. MOCK-UPS: ALL SUBCONTRACTORS TO PROVIDE MOCK-UPS FOR DESIGNER, ARCHITECT, AND OWNER APPROVAL FOR TEXTURE OVER GYPSUM BOARD, EXTERIOR PAINT, INTERIOR PAINT, WINDOW TRIM, DOOR TRIM, WOOD BASE. IN GENERAL, THE INTENT IS FOR NEW FINISHES TO MATCH EXISTING FINISHES. ALLOW FOR 5 PAINT COLOR MOCK UPS.

35. STORAGE OF MATERIALS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE STORAGE OF THE MATERIALS SUPPLIED BY THE MATERIAL SUPPLIER'S OR MANUFACTURER'S INSTRUCTION. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS, AND VANDALS. ANY LOSS ARISING OUT OF MATERIALS STORED AT THE SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR WHO STORED THE DAMAGED THE DAMAGED OR LOST MATERIALS.

36. WARRANTIES: SUBCONTRACTORS WILL WARRANTY ALL MATERIALS AND LABOR FOR A PERIOD OF ONE (1) YEAR AFTER SUBstantial COMPLETION OR THE DATE OF BENEFICIAL OCCUPANCY TO THE OWNER WHICHEVER OCCURS LATER. REPAIR OR REPLACE ALL WORK THAT IS DISCOVERED TO BE DEFECTIVE DURING THAT PERIOD. A COPY OF ALL WARRANTIES EXTENDED OR OTHERWISE SUCH AS EQUIPMENT, APPLIANCES AND ROOFS WARRANTIES WILL BE GIVEN TO THE OWNER IN AN ANNOTATED 3-RING BINDER AND/OR IN ELECTRONIC FORMAT AT THE COMPLETION OF THE PROJECT.

37. SECURITY: SECURITY LIGHTS, CAMERAS, ACCESS CONTROL TO DOOR TO PROVIDED BY THE OWNER. GENERAL CONTRACTOR TO COORDINATE WITH OWNER.

GENERAL NOTES

1. GENERAL INTENT: THE INTENT OF THE DRAWINGS AND GENERAL NOTES & REQUIREMENTS ARE TO PROVIDE DESIGN INTENT. VALUE ENGINEERING (COST SAVINGS) TO THE MATERIALS AND SCOPE OF WORK WILL BE ENTERTAINED BUT SHALL BE DULY NOTED AND ITEMIZED IN THE BID FORM AND PROPOSALS.

THE TERM CONTRACTOR REFERS TO THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND SUPPLIERS NECESSARY TO SUCCESSFULLY COMPLETE THE WORK.

THE SUBCONTRACTOR ACKNOWLEDGES AND AGREES THAT HE OR SHE HAS INDIVISIBLE, INELIGIBLE, INTRANSFERABLE AND A CONTRACTUAL OBLIGATION TO THE OWNER TO MAKE INSPECTIONS OF THE WORK AT THE STAGES OF CONSTRUCTION AND SHALL SUPERVISE AND SUPERINTEND PERFORMANCE OF WORK IN SUCH MANNER AS TO ENABLE CONFIRMATION, CERTIFICATION AND CORROBORATION AT ALL TIMES THAT ALL WORK HAS BEEN EXECUTED ACCORDING TO CODE AND THE CONTRACT DOCUMENTS.

2. BUILDER'S SET: THE SCOPE OF THESE DRAWINGS OR SET OF PLANS ARE TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS "PLANS," AFTER FORMAL REVIEW AND APPROVAL BY A LICENSED ENGINEER AND/OR ARCHITECT. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THIS PLAN SET SPECIFIES THE PARTICULAR PRODUCTS OR MATERIALS RECOMMENDED FOR THIS DESIGN. THE IMPLEMENTATIONS OF THESE PLANS REQUIRES THE SUBCONTRACTORS THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

3. SET OF DRAWINGS: DO NOT DISASSEMBLE THIS SET OR GIVE PARTIAL SETS TO SUBCONTRACTORS. ALL SHEETS CONTAIN REFERENCE TO ALL SHEETS. A PDF OF THE DOCUMENTS WILL BE PROVIDED TO THE GENERAL CONTRACTOR.

4. SCALING OF DRAWINGS: DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OWNER'S REPRESENTATIVE AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT AND/OR ENGINEER BEFORE CONTINUING WITH CONSTRUCTION.

5. DRAWINGS: IN THE EVENT OF CIRCUMSTANCES A CONSTRUCTION DRAWING OR SPECIFICATION CONTAIN AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINES DRAWINGS SUCH AS BUT NOT LIMITED TO "REFER TO MEP" OR "SEE MEP", CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINES OR NOT.

ENGINEERING DRAWINGS ARE OF EQUAL IMPORTANCE WITH THE ARCHITECTURAL DRAWINGS IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECTS AND ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORKS INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

6. SHOP DRAWINGS: IF REQUIRED, ALL STRUCTURAL SHOPS DRAWINGS INCLUDING STEEL AND SPECIAL CONDITIONS MUST HAVE STRUCTURAL AND MEP ENGINEERS OF RECORD SIGN-OFF. NO STRUCTURAL SUBSTITUTIONS WILL BE ACCEPTED WITHOUT ENGINEER'S DOCUMENTED PRE-APPROVAL AND APPROVAL.

7. CITY ORDINANCES: SUBCONTRACTORS TO CONFORM TO ANY AND ALL JURISDICTIONAL ENTITIES INCLUDING BUT NOT LIMITED TO CITY OF CASTROVILLE REQUIREMENTS SUCH AS BUT NOT LIMITED TO ALLOWABLE WORKING HOURS, WORKER PARKING/ACCESS, SIGNAGE, ETC., COORDINATE PARKING REQUIREMENTS WITH OWNER.

8. MECHANICAL, ELECTRICAL & PLUMBING (MEP): REFER TO MEP DRAWINGS FOR HVAC, ELECTRICAL, AND PLUMBING DRAWINGS. INFORMATION FOR CITY REVIEW AND PERMITTING. COORDINATE ALL DESIGN AND CONSTRUCTION AND DOCUMENTS WITH THE ARCHITECT/DESIGNER AND/OR ENGINEER PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTORS TO COORDINATE EXACT LOCATIONS OF ALL HVAC, SWITCHING, OUTLETS, SUPPLY & RETURN VENTS AND FIXTURES WITH OWNER, ARCHITECT/DESIGNER PRIOR TO INSTALLATION.

9. SUBCONTRACTOR RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL REQUIREMENTS AND NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE CONSTRUCTION OF THIS PROJECT. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS AND BRING UP ANY DISCREPANCIES PRIOR TO THE WORK BEING ACCOMPLISHED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBSERVING THAT ALL SUB-CONTRACTOR WORK IS BEING ACCOMPLISHED ACCORDING TO THE MOST CURRENT CONSTRUCTION DOCUMENTS, INCLUDING ALL REVISIONS AND ADDENDA.

10. MATERIAL LEAD TIME: ALL MATERIALS REQUIRING ORDER "LEAD TIME" SHALL BE IDENTIFIED AND/OR ORDERED AT THE START OF THE CONSTRUCTION. ANY ORDER TIME PROBLEMS SHOULD BE IDENTIFIED AND BROUGHT TO THE ARCHITECT/DESIGNER/OWNER ATTENTION BEFORE OR AT THE START OF CONSTRUCTION. IF THE SUBCONTRACTOR FAILS TO ORDER THE FIXTURES, MATERIALS OR EQUIPMENT IN A TIMELY MANNER CAUSING DELAY IN CONSTRUCTION, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DELAY AND SHALL BE OBLIGATED TO OBTAIN ALL THE FIXTURES, MATERIALS AND EQUIPMENT AT ADDITIONAL EXPENSE IF NEEDED TO SPEED ITS DELIVERY. THIS APPLIES TO ALL ASPECTS OF WORK INCLUDING BUT NOT LIMITED TO HVAC, MEP AND FINISH MATERIALS.

ALL AREA CALCULATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL AREA SQUARE FOOTAGE PRIOR TO ORDERING MATERIALS.

11. SITE CONDITIONS : WHILE THE SCOPE OF THE WORK IS LIMITED AS DESCRIBED ON THE DRAWINGS, IT IS THE RESPONSIBILITY ALL THE SUBCONTRACTORS TO VISIT THE SITE TO FAMILIARIZE THEMSELVES AND FIELD VERIFY EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, GRADES, DIMENSIONS, TREES, DRIVEWAYS, ETC. AND TO BRING ANY LIFE AND SAFETY ISSUES AND DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE PROPOSED PROJECT TO THE ARCHITECTS AND ENGINEERS' ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING A PRELIMINARY FORMAL SURVEY AND FINAL SURVEY TO VERIFY THE PLACEMENT OF AND TO INSURE THAT ALL IMPROVEMENTS FALL WITHIN PLAT & SURVEY BOUNDARIES, AS WELL AS INSURING APPROVAL FROM THE AUTHORITIES HAVING JURISDICTION TO COMMENCE WITH CONSTRUCTION.

PROTECT ADJACENT SURFACES & FINISHES (I.E. SIDEWALKS, LANDSCAPE, TREES) TO REMAIN. GENERAL CONTRACTOR TO REPAIR EXISTING ASPHALT DRIVE/PARKING LOT IF DAMAGED DURING CONSTRUCTION.

12. UTILITIES : SUBCONTRACTORS SHALL NOTIFY THE OWNER, ARCHITECT/DESIGNER AND/OR ENGINEER IF ANY REPAIRS TO EXISTING BUILDING SYSTEMS (MECHANICAL, ELECTRICAL, AND PLUMBING), ARE REQUIRED PRIOR TO BEGINNING THE WORK.

13. TEMPORARY FACILITIES : PLACEMENT OF TEMPORARY TOILET TO BE DETERMINED AND PLACED ON SITE. VERIFY FINAL LOCATION WITH THE OWNER.

14. INTERIM AND FINAL CLEANUP : GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE INTERIM CLEANUP AS NECESSARY TO KEEP THE JOBSITE CLEAN OF ALL PERSONAL TRASH AND CONSTRUCTION DEBRIS ON A WEEKLY BASIS. UNDER NO CIRCUMSTANCES SHALL CONSTRUCTION DEBRIS BE LEFT FOR CITY OF CASTROVILLE OR NEIGHBORHOOD TRASH PICK-UP. FINAL CLEANUP SHALL CONSIST OF REMOVAL OF ALL PERSONAL TRASH AND CONSTRUCTION DEBRIS OF CONTRACTED WORK AND PROVIDE A FINAL "MAKE GOOD" CLEANUP. FINAL CLEANUP AS APPLICABLE TO THAT TRADE. FINAL CLEANUP SHALL INCLUDE BUT NOT LIMITED TO WINDOW AND DOOR CLEANING, RESTROOMS, KITCHEN CLEANING, FLOORS, WALLS, AND CEILING HVAC & ELECTRICAL AND THE GENERAL REMOVAL OF CONSTRUCTION DUST AND DEBRIS FOR THE ENTIRE HOUSE.

15. PHOTOGRAPHS: GENERAL CONTRACTOR AND SUBCONTRACTORS TO KEEP A PHOTOGRAPHIC RECORD OF THE CONGRESS AT A MINIMUM OF TWICE A MONTH AND SHALL SHARE WITH THE OWNER / ARCHITECT VIA EMAIL AND/OR DROPBOX. ALL PHOTOGRAPHS SHALL BE DATED AND LABELED AND SHALL INCLUDE WALLS, CEILINGS, FRAMING AT INTERIM AND FINISHED STAGES SHOWING HVAC, ELECTRICAL ITEMS LOCATIONS SUCH AS PANELS, WIRING, ETC., AND PLUMBING BEFORE THE FINISH MATERIALS ARE INSTALLED.

16. RECORD DRAWINGS: GENERAL CONTRACTOR SHALL DOCUMENT ON THE DRAWINGS ANY CHANGES OR MODIFICATIONS TO THE ORIGINAL INTENT OF THE DRAWINGS AS THE CONSTRUCTION PROGRESSES TO INCLUDE BUT NOT LIMITED TO UNDERGROUND UTILITIES, HVAC, ELECTRICAL, CHANGES, FENCING, ETC., AT THE END OF THE PROJECT THE OWNER'S REPRESENTATIVE WILL UPLOAD A SCANNED VERSION OF THE RECORD DRAWINGS TO THE DROPBOX.

17. BUILDING MAINTENANCE : THE EXPOSED MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER SHALL PROVIDE OR IMPLEMENT THE DEVELOPMENT OF A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.

ABBREVIATIONS

- ADA - AMERICAN DISABILITIES ACT
A/C - AIR CONDITIONING
ACT - ACOUSTICAL
ALT. - ALTERNATE
ALUM. - ALUMINUM
CLG. - CEILING
CONC. - CONCRETE
CONS. - CONSTRUCTION
C.J. - CONTROL JOINT
CPT. - CARPET
C.U. - CONDENSING UNIT-SEE MECHANICAL
DET. - DETAIL
DIA. - DIAMETER
DISP. - DISPENSER
DN. - DOWN
DWG. - DRAWINGS
ELEV. - ELEVATOR
EXIST. - EXISTING
EXP. - EXPOSED
EQUIP. - EQUIPMENT
EX. - EXISTING
F.C. - FIRE EXTINGUISHER CABINET
FD. - FLOOR DRAIN
F.G. - FIXED GLASS
F.H. - FIRE HYDRANT
FLUOR. - FLUORESCENT
GA. - GAUGE
GL - GALVANIZED
GPB. - GYPSUM BOARD
GWB. - GYPSUM WALL BOARD
HDW. - HARDWARE
H.M. - HOLLOW METAL
LAM. - LAMINATE/LAMINATED
L.O.P. - LIGHT ORANGE PEEL
MECH. - MECHANICAL
MEP. - MECHANICAL ELECTRICAL PLUMBING
MFR. - MANUFACTURER
MTL. - METAL
N. - NORTH
NIC. - NOT IN CONTRACT
NO. - NUMBER
O.C. - ON CENTER
OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
O.H. - OPPOSITE HAND
PLAS LAM. - PLASTIC LAMINATE
PNT./PT. - PAINT
PR. - PAIR
PREP. - PREPARE
PVC. - POLYVINYL
REF/RE. - REFERENCE
RM. - ROOM
RUB. - RUBBER
SCHD. - SCHEDULE(D)
SIM. - SIMILAR
SL. - SLOPE
SP. - SPANDREL GLASS
STC. - SOUND TRANSMISSION COEFFICIENT
STRCT. - STRUCTURAL
SPEC. - SPECIFIED
T. - TEMPERING FILM
TAS. - TEXAS ACCESSIBILITY STANDARDS
TBD. - TO BE DETERMINED
TEL. - TELEPHONE
TEMP. - TEMPERED
THK. - THICK
TYP. - TYPICAL
VCT. - VINYL COMPOSITION TILE
VEST. - VESTIBULE
WD. - WOOD
W/. - WITH
WRB. - WEATHER RESISTANT BARRIER
XB. - X BRACING

SYMBOL LEGEND

Legend symbols for door and frame, section, interior elevation, room name, detail tag, new window, column grid line, elevation drawing tag, wall section tag.



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**CASTROVILLE  
CATHOLIC SCHOOL**  
702 PARIS ST, CASTROVILLE, TX



**JOB NO:** Project Number  
**DRAWN BY:** Author  
**BID SET**

**ISSUE / REVISION:**

No.	Date

12/22/25

**SHEET TITLE**  
**OUTLINE**  
**SPECIFICATIONS**

**A.01.2**

# OUTLINE SPECIFICATIONS

## BIDDING & CONTRACTING PRE-REQUISITES:

- ALL WORK TO COMPLY WITH THE FOLLOWING CODES:  
2012 INTERNATIONAL ENERGY CONSERVATION CODES.  
2014 NATIONAL ELECTRIC CODE.  
2012 INTERNATIONAL BUILDING CODE.  
2012 INTERNATIONAL EXISTING BUILDING CODE.  
2012 INTERNATIONAL MECHANICAL CODE.  
2012 INTERNATIONAL PLUMBING CODE.  
2012 INTERNATIONAL FUEL GAS CODE.  
2012 INTERNATIONAL FIRE CODE.
- THE TERM CONTRACTOR REFERS TO THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND SUPPLIERS NECESSARY TO SUCCESSFULLY COMPLETE THE WORK.
- OWNER'S AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND / OR MATERIAL FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE WORKMEN'S COMPENSATION, EMPLOYER'S LIABILITY, WORKERS COMPENSATION, GENERAL LIABILITY AND BUILDER'S RISK INSURANCE FOR THE DURATION OF CONSTRUCTION AND CONTRACT IS COMPLETE AND ACCEPT BY THE OWNER. THE OWNER SHALL BE LISTED AS ADDITIONALLY INSURED FOR THE CONSTRUCTION PERIOD AND THROUGH FINAL PUNCH IN AN AMOUNT SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK AND PROPOSED AND / OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, ARCHITECT, ENGINEER AND ALL PROFESSIONAL CONSULTANTS. VERIFY WITH OWNER THE GENERAL LIABILITY INSURANCE REQUIRED BY THE OWNER'S INSURANCE REPRESENTATIVE PRIOR TO BID. THE OWNER SHALL BE LISTED AS ADDITIONALLY INSURED FOR THE CONSTRUCTION PERIOD
- THE PRE-REQUISITES LISTED BELOW ARE REQUIRED BEFORE FINALIZATION OF THE CONTRACT.
- THE CONTRACTOR IS EXPECTED TO VISIT THE JOB SITE BEFORE SUBMITTING HIS/HER OFFERS. INCONSISTENCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND OWNER. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHOULD ENGAGE IN A BIDDING PHASE TO PROVIDE A CONSTRUCTION BUDGET (LABOR, MATERIAL AND METHOD) FOR OWNER APPROVAL PRIOR TO CONTRACTING AND PROCEEDING WITH ANY WORK.
- PRIOR TO THE CONSTRUCTION, GENERAL CONTRACTOR SHALL HOLD COORDINATION MEETING WITH ARCHITECT, OWNER, AND ALL CONSULTING DISCIPLINES.
- INSPECTIONS ARE REQUIRED FOR FOUNDATION SUB-SOIL DRAINAGE SYSTEM, FOUNDATION DAMAGING PROOFING AND WATER PROOFING, FLASHING AT WINDOWS, EXTERIOR DOORS, EXTERIOR WALLS AND DRAINAGE AND FLASHING OF ROOF SYSTEMS.
- THE CONTRACTOR IS TO REVIEW THE PROPERTY PLAT, COVENANTS, CONDITIONS AND RESTRICTIONS AND ALL OTHER REGULATORY DOCUMENTS, INCLUDING THE DESIGN GUIDELINES TO VERIFY COMPLIANCE.
- CONTRACTOR TO VISIT THE JOB SITE, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO SETBACKS & EASEMENTS, UTILITY LOCATIONS AND THOSE IMPACTING THE SCOPE OF WORK OR C.G. SITE ACCESS, WORKING & STAGING AREAS, ETC.
- CONTRACTOR TO REVIEW THE PLANS AND COORDINATE WITH THE ARCHITECT AND ENGINEER TO ENSURE ADEQUATE LOCATION(S) AND SPACE FOR MECHANICAL EQUIPMENT AND DUCT INSTALLATIONS PRIOR TO INSTALLATION.
- COLLABORATE WITH OWNER, INTERIOR DESIGNER AND ARCHITECT TO CREATE AN ACCURATE BUDGET AND ALLOWANCES FOR ANY REMAINING ITEMS, INCLUDING BUT NOT LIMITED TO HARDWARE, APPLIANCES, PLUMBING FIXTURES, FINISHES, DECORATIVE LIGHT FIXTURES, AV, SECURITY SYSTEM, ETC. IF APPLICABLE, REFER TO ALLOWANCES.
- SUBCONTRACTOR SHALL INCLUDE IN CONSTRUCTION CONTRACT INSTALLATION OF ALL FINISH HARDWARE, INCLUDING BUT NOT LIMITED TO PANIC HARDWARE, CABINET PULLS, KNOBS, DOOR STOPS, TOWEL BARS, TOILET PAPER HOLDERS AND OTHER MISCELLANEOUS ITEMS, REGARDLESS OF WHETHER THOSE ITEMS ARE SUPPLIED BY OWNER OR PROVIDED BY AN ALLOWANCE. PROVIDE SOLID BLOCKING FOR ALL ACCESSORIES.
- GENERAL CONTRACTOR SHALL CONFIRM ARRANGEMENTS FOR TEMPORARY POWER WITH OWNER.
- SUBCONTRACTORS TO LOCATE AND VERIFY UTILITY LOCATIONS AND HOOKUPS. VERIFY LOCATIONS OF GUTTERS AND DOWNSPOUTS.
- COMMERCIAL WATERPROOFING SUBCONTRACTOR TO REVIEW DRAWINGS AND VERIFY ANY MEASURES TO MAKE ROOF AND ALL FLASHING CONDITIONS WATER-TIGHT.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IN THE EVENT LEAD, ASBESTOS OR MOLD ARE FOUND TO BE PRESENT IN THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY FINDINGS DURING DEMOLITION OF BUILDING EXTERIOR ELEMENTS, I.E. REAR BALCONY, PORCH AND WALLS.
- CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DAMAGED MASONRY DURING DEMOLITION AND/OR CONSTRUCTION.

## SMOKE AND FIRE SAFETY:

- REFER TO MEP DRAWINGS & SPECIFICATIONS FOR EXISTING SMOKE DETECTORS AND CARBON MONOXIDE ALARMS WITH PRIMARY POWER AND BATTERY BACKUP IN ACCORDANCE WITH APPLICABLE CODES.
- FIRE BLOCKING TO BE WITHIN ALL STUD WALLS AT EXCEEDING TEN FEET OR AS PER CURRENT BUILDING CODE AND IS TO BE ADDRESSED IN BLOCKING ENCLOSED AND CONCEALED SPACES, AND AT OPENINGS AROUND VENTS, PIPES, AND DUCTS, CHASE, AT STAIR STRINGERS, AND AT SIMILAR PLACES AT CEILING AND FLOOR CONNECTIONS.
- ALL PENETRATIONS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE AIR AND WATER TIGHTNESS, FIRE-RESISTIVE AND STRUCTURAL INTEGRITY. REFER TO MEP.

## ROOF FLASHING AND DRAINAGE:

- EXISTING ASPHALT COMPOSITION ROOF TO REMAIN, COMMERCIAL WATERPROOFING SUBCONTRACTOR TO CONFIRM WATER PROTECTIVE MEASURES PRIOR REPAIR & REPLACEMENT OF FASCIA & SOFFITS. VERIFY SCOPE OF WORK AT THE JOBSITE.
- CONTRACTOR SHALL EMPLOY A QUALIFIED COMMERCIAL WATERPROOFING SERVICE TO INSPECT EXISTING ROOF INSTALLATION, INCLUDING ANY FLASHING, AND SHALL CONFIRM ARRANGEMENTS WITH OWNER, ARCHITECT, MANUFACTURER'S REPRESENTATIVE AND ROOFING CONTRACTOR PRIOR TO CONSTRUCTION.
- SUBCONTRACTORS SHALL FURNISH AN UNCONDITIONAL WRITTEN GUARANTEE TO OWNER COVERING ALL MATERIALS AND INSTALLATION OF FLASHING AND MEMBRANES FOR A PERIOD OF 30 YEARS FOLLOWING COMPLETION OF PROJECT.
- ALL OPENING/ PENETRATION AND WATERPROOFING DETAILS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR. VERIFY SCOPE OF WORK AT THE JOBSITE.
- LOW SLOPE ROOF AREAS SHALL HAVE A MINIMUM 1/4" PER FOOT PITCH TO GUTTERS & DOWNSPOUTS.
- VERIFY ROOF DRAINAGE STRATEGY WITH OWNER FOR INSTALLATION OF GUTTER, DOWNSPOUTS AND DRAIN TO DAYLIGHTS.
- ALL GUTTERS, DOWNSPOUTS OR OTHER SHEET METAL WORK SHALL BE PROPERLY FLASHED AND SHALL HAVE WELDED OR SEALED WATERPROOF JOINTS. ALL BENDS, SEAMS, SPLICES, OR OTHER CONNECTIONS SHALL BE STRAIGHT AND CONTINUOUS. SHEET METAL GAUGE SHALL BE SUFFICIENT TO WITHSTAND DENTING AND BENDING, INSTALL AS PER MANUFACTURER RECOMMENDATION, REQUIREMENTS AND INSTRUCTIONS. ALL GUTTERS TO BE 24 GAUGE GALVANIZED METAL.
- GENERAL CONTRACTOR AND LANDSCAPE SUBCONTRACTOR TO REVIEW SURFACE DRAINAGE STRATEGY WITH OWNER. FINISHED GRADE IS TO DIRECT WATER AWAY FROM THE BUILDING AND STRUCTURE.
- GENERAL CONTRACTOR SHALL SHOOT ELEVATIONS AT ALL WALKWAYS, RAMPS AND PERIMETER OF BUILDING TO ENSURE PROPER DRAINAGE AWAY FROM BUILDING.

## STANDING SEAM METAL ROOFING:

- SUPPLY AND INSTALL A SHOP-FABRICATED OR FIELD-FORMED 24 GAUGE 7/8" TALL SEAMS GALVALUM OR G-90 GALVANIZED STEEL OR APPROVED EQUAL, STANDING SEAM METAL ROOF PANELS SYSTEM, INCLUDING PANELS, CLIPS, FASTENERS, UNDERLAYMENT, FLASHING, TRIMS, AND ACCESSORIES REQUIRED FOR WATERIGHT ROOF INSTALLATION. UNDERLAYMENT SHALL BE HIGH-TEMPERATURE SELF-ADHERED MEMBRANE OR APPROVED EQUAL INSTALLED AS PER MANUFACTURER'S RECOMMENDATION AND INSTRUCTIONS AND APPROVED SHOP DRAWINGS. SUBSTITUTIONS SHALL BE SUBMITTED 10 DAYS PRIOR TO BID DATE AND ACCEPTANCE PUT FORTH IN AN ADDENDUM. FABRICATION AND MATERIALS SHALL COMPLY WITH ALL LATEST ASTM AND SMACNA STANDARDS AND CURRENT CODES.
- FLASHING AND TRIMS SHALL BE 24 GAUGE OR THICKER, SHOP-FABRICATED OR FIELD-FORMED. THE PANEL WIDTH SHALL BE 16" TO 18" NOMINAL. ALL EXPOSED ADJACENT FLASHING SHALL BE OF THE SAME MATERIAL AND FINISH AS THE ROOF PANELS.
- PROVIDE PRODUCT DATA AND SHOP DRAWINGS INCLUDING, BUT NOT LIMITED TO, PANEL PROFILES, GALVES, COATING, CLIPS, AND ACCESSORIES. SHOP DRAWINGS SHALL INDICATE PANEL LAYOUT, SEAM LOCATION, TRANSITIONS, FLASHING DETAILS, EDGE CONDITIONS, AND SEALANTS.
- SUBMIT RESULTS INDICATING COMPLIANCE WITH MINIMUM REQUIREMENTS OF THE PERFORMANCE TESTS OF WIND UPLIFT AS PER LATEST BUILDINGS CODES. IF REQUIRED, SUBMIT CALCULATIONS WITH REGISTERED ENGINEER SEAL, VERIFYING ROOF ATTACHMENT METHOD, RESISTS WIND PRESSURES IMPOSED ON IT PURSUANT TO APPLICABLE BUILDING CODES.
- CLEAN ANY GREASE, FINGER MARKS OR STAINS FROM THE PANELS PER MANUFACTURER'S RECOMMENDATIONS.
- FINAL INSPECTION WILL BE PERFORMED BY OWNER APPOINTED AND PAID INSPECTOR.
- PROVIDE A MINIMUM OF A 20-YEAR WARRANTY MANUFACTURER'S STANDARD WEAR TIGHTNESS AND FINISH WARRANTY AND A 20-YEAR GUARANTEE AGAINST FAILURE DUE TO CORROSION, RUPTURE, OR PERFORATION.

## THERMAL

- R-38 MINIMUM OPEN CELL INSULATION BETWEEN EXISTING RAFTERS IS TO MEET ALL APPLICABLE CODES & STANDARDS, INCLUDING BUT NOT LIMITED TO THERMAL AND IGNITION BARRIER REQUIREMENTS. INSTALLED AS PER MANUFACTURER AND CODE REQUIREMENTS FOR THE SLOPES.

## CARPENTRY AND MILLWORK

- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND ACCESSORIES REQUIRED FOR FURNISHING, FABRICATING, AND INSTALLING FINISH CARPENTRY, TRIM, AS SHOWN ON THE DRAWINGS UNLESS AS SPECIFIED. **NO PARTICLE BOARD SHALL BE USED FOR ANY TYPE OF CONSTRUCTION OR FABRICATION IN THIS PROJECT.**
- LUMBER SHALL CONFORM TO AMERICAN LUMBER STANDARDS, SIMPLIFIED PRACTICE RECOMMENDATION R 16', LATEST EDITION, AND TO GRADING RULES OF MANUFACTURER'S ASSOCIATION UNDER WHOSE RULES IT IS PRODUCED. LUMBER SHALL BEAR GRADE AND TRADEMARK OF MANUFACTURER'S ASSOCIATION. ALL LUMBER SHALL BE DRESSED AND KILN DRIED.
- HARDWOODS SHALL CONFORM TO CURRENT STANDARDS OF THE NATIONAL HARDWOOD LUMBER ASSOCIATION. ALL HARDWOODS SHALL BE DRESSED AND KILN DRIED.
- CONSTRUCTION GRADE #1 FIR OR APPROVED EQUAL SHALL BE USED FOR ALL HAILING STRIPS, GROUND, BUCKS AND MISCELLANEOUS LUMBER LESS THAN 2" X 4" THAT IS CONCEALED FROM VIEW.
- REFER TO STRUCTURAL FOR WOOD SPECIES FOR ALL STRUCTURAL COMPONENTS ON COLUMNS. ALL EXPOSED WOOD TO BE PAINTED SUCH AS COLUMNS, BEAMS, AND SOFFITS SHALL BE STRAIGHT, SMOOTH, FREE OF DEFECTS, KNOTS, RAISED GRAIN, TOOL MARKS, AND SURFACE CONTAMINATION, AND FULLY PREPARED TO RECEIVE PAINT.
- WOOD TRIM SHALL BE STRAIGHT, SMOOTH, FREE OF DEFECTS, KNOTS, RAISED GRAIN, TOOL MARKS, AND SURFACE CONTAMINATION, AND FULLY PREPARED TO RECEIVE THE TRIM PAINT OR STAIN FINISH.
- SUBMIT SHOP DRAWINGS AND MOCKUPS FOR ALL EXTERIOR AND INTERIOR TRIM INCLUDING BUT NOT LIMITED TO: FACIAS, SOFFITS, PORCH DETAILS, COLUMNS, BRACKETS, RAILINGS, BALUSTERS, TRIM, AND ALL ASSOCIATED TRIM ASSEMBLIES FOR APPROVAL PRIOR TO PROCUREMENT, FABRICATION AND INSTALLATION. SUBMITTALS AND MOCKUPS SHALL INDICATE MATERIAL PROFILES DIMENSIONS, JOINERY FINISHES, AND INSTALLATION DETAILS.
- EXECUTION:
  - PROTECT FINISHED WOODWORK FROM WEATHER WHILE IN TRANSIT FROM POINT OF PRODUCTION OR FABRICATION TO BUILDING. WHEN DELIVERED TO SITE IMMEDIATELY PLACE UNDER COVER AND ADEQUATELY PROTECT FROM WEATHER. DO NOT STORE IN WET OR DAMP PORTIONS OF THE BUILDING.
  - FURNISH ALL NAILS, SCREWS, SPIKES, BOLTS, HOOKS, HANGERS, ANCHORS, TIES, CLIPS AND OTHER ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION OF THE WORK UNDER THIS SECTION. ANCHORS OR OTHER ITEMS REQUIRED TO BE BUILT IN SHALL BE FURNISHED IN AMPLE TIME FOR BUILDING-IN AND THE CONTRACTOR SHALL SUPERVISE THEIR INSTALLATION TO INSURE PROPER LOCATION.
  - ALL WORK SHALL BE BUILT PLUMB, LEVEL, TRUE AND SQUARE TO THE LINES AND DIMENSIONS SHOWN. POSITION OF OPENINGS AND OFFSETS AND SLOPES AND ANGLES SHALL BE LAID OFF WITH EXTREME CARE. ALL WORK SHALL BE RIGIDLY FASTENED AS BEST SUITED FOR EACH CONDITION AS NEEP TO PERMANENTLY HOLD THE FINISHED WORK TO CORRECT SURFACES, LINES AND LEVELS.
  - NAILERS, PLATES AND BLOCKING: PROVIDE PERMANENT DRESSED WOOD, NAILERS, PLATES AND BLOCKING OF SIZES INDICATED OR REQUIRED FOR ATTACHMENT OF WORK OF OTHER TRADES. CLOSELY FIT AND ACCURATELY SET MEMBERS TO REQUIRE LINES AND LEVELS RIGIDLY SECURED IN PLACE.
  - INSTALLATION OF TRIM: INSTALL MEMBERS, PLUMB, TRUE AND SQUARE IN ACCORD WITH DRAWING REQUIREMENTS. DRILL HOLES IN HARDWOOD FOR NAILS, BUT NOT RECEIVE ANYWHERE POSSIBLE WITH SURFACE NAILS SET. MAKE JOINTS TIGHT IN AN APPROVED MANNER TO CONCEAL SHRINKAGE. SET NAILS AND COUNTERSINK SCREWS. DRAW MEMBERS TIGHT AGAINST FINISHED SURFACES. SECURE ALL INTERIOR FINISH TRIM WITH FINE FINISHING NAILS AND GLUE WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS.
  - WOODWORK WHICH IS TO BE PAINTED SHALL HAVE EXPOSED SURFACES FREE OF DEFECTS THAT WOULD SHOW AFTER BEING PAINTED.
  - WOODWORK WHICH IS TO BE STAINED SHALL HAVE EXPOSED SURFACES FREE OF DEFECTS THAT WOULD SHOW AFTER BEING STAINED, NEW STAIN TO MATCH ADJACENT STAIN FINISHES.
  - CLEAN UP: CLEAN UP ALL DEBRIS CAUSED BY WORK IN THIS SECTION KEEPING PREMISES NEAT AND CLEAN AT ALL TIMES.

## FRAMING:

- VERIFY ALL EXISTING AND NEW FRAMING DIMENSIONS AT THE JOBSITE AND FLOOR PLANS PRIOR TO CONSTRUCTION.
- COLUMN & BEAM LOCATIONS ON ARCHITECTURAL PLANS ARE SUGGESTED LOCATIONS AND MAY NOT INDICATE ALL LOCATIONS. SEE STRUCTURAL FOR LOCATIONS, SIZES & DETAILS. REVIEW ARCHITECTURAL & STRUCTURAL AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- DIMENSIONS ARE TO OUTSIDE OF FRAMING UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO EVALUATE AND COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN PRIOR TO FRAMING INSTALLATION.
- GENERAL CONTRACTOR TO VERIFY EXISTING OPENINGS SUCH AS BUT NOT LIMITED TO, WINDOWS, DOORS, AND VENTS AT THE JOBSITE.
- VERIFY EXISTING WINDOWS, INTERIOR DOORS AND TRANSOMS TO REMAIN AND TO BE REUSED.
- ALL NEW DOORS TO MATCH HEIGHT & STYLE OF EXISTING DOORS. SEE DRAWINGS. VERIFY SCOPE OF WORK AT THE JOBSITE.**
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL WOOD GRADE REQUIREMENTS. ALL EXPOSED WOOD BEAMS AND POSTS SHALL BE SELECTED FOR BEST APPEARANCE GRADE, WITH NO KNOTS, CRACKS AND CHECKS.
- CONTRACTOR SHALL COORDINATE EXISTING & NEW FRAMING WITH PROPOSED LOCATIONS OF ELECTRICAL, MECHANICAL AND PLUMBING WORK SO AS TO AVOID FRAMING WHICH MIGHT CONFLICT WITH EQUIPMENT, DUCTS, FIXTURES OR DIFFUSERS.
- CONTRACTOR SHALL PROVIDE ACCESS TO ALL ATTIC AREAS AND PLUMBING AS REQUIRED BY CODE AND SHALL CONFIRM ACCESS LOCATIONS WITH ARCHITECT, & MEP ENGINEER PRIOR TO FRAMING. WHEN PLACING ELECTRICAL BOXES FOR FIXTURES, ENSURE THEY LINE UP ON CENTER WITH SOMETHING: A DOORWAY, A WINDOW, THE CENTER OF A ROOM OR HALLWAY, ETC. REFER TO ELECTRICAL PLANS FOR PLACEMENT AND GENERAL IDEA. **IF THERE IS NO EXISTING FRAMING IN THE EXACT SPOT WHERE A BOX WOULD GO TO LINE UP WITH SOMETHING, ADD A FRAMING MEMBER OR PIECE OF WOOD TO ACHIEVE THIS OR JUST ADJUSTABLE ELECTRICAL BOXES. IN THE CASE THAT A "J BOX" IS IN THE WAY OF FRAMING, ADJUST THE FRAMING INCLUDING MOVING AND/OR BLOCKING OUT FOR IT.**

- SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING HANGERS, OR OTHER SUPPORT FOR ALL GUARD & HANDRAILS, FIXTURES, EQUIPMENT, CABINERY AND ALL OTHER ITEMS REQUIRED BY APPLICABLE CODES AND STRUCTURAL ENGINEER OF RECORD.
- PROVIDE SOLID BLOCKING AND VERIFY BLOCKING LOCATIONS WITH THE OWNER AND DESIGNER DURING FRAMING FOR ALL LED PROJECTORS, TV LOCATIONS, BREAK ROOM CABINERY & BATHROOM ACCESSORIES, TOILET PAPER HOLDERS (TP), ETC., AS WELL AS DECORATIVE FIXTURES, FURNISHINGS AND ARTWORK.
- WOOD MEMBERS IN CONTACT WITH CONCRETE, NEXT TO THE EARTH AND EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED AND NON-COMBUSTIBLE.
- ALL POSTS, WALL & ROOF FRAMING SHALL BE ANCHORED TO THE FOUNDATION TO PROVIDE RESISTANCE AGAINST LATERAL LOADS AND UPLIFT. VERIFY REQUIREMENTS WITH THE STRUCTURAL ENGINEER OF RECORDS.
- ALL EXPOSED WOOD BEAMS, DECKING OR OTHER MEMBERS INSTALLED PRIOR TO ENCLOSING THE BUILDING ENVELOPE AND COMPLETING ROOF ENCLOSURE AND MEMBRANE SHALL BE PROTECTED DURING CONSTRUCTION AGAINST MOISTURE, STAINING AND OTHER DAMAGE BY PROTECTING WITH WEATHERPROOFING MATERIAL AND ADDITIONAL PROTECTIVE MEASURES AS MAY BE REQUIRED.
- ALL EXPOSED EXTERIOR WOOD MEMBERS TO BE FULLY SOAKED IN WATERPROOFING/ SEALANT AND NON-COMBUSTIBLE AFTER CUTS AND ARE TO RECEIVE AT LEAST ONE COATING OF WATERPROOFING OR PRIMER, IF TO BE PAINTED, AFTER INSTALLATION.

- REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS, FRAMING AND STRUCTURAL WORK.
- ENERGY:
  - OPENINGS, JOINTS AND PENETRATIONS BETWEEN SPACES, FLOORS, WALLS AND ROOF, SHALL BE SEALED, CAULKED OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE AS REQUIRED BY CODE. REFER TO MEP ENGINEER.
  - FIELD MANUFACTURED FENESTRATION PRODUCTS, EXTERIOR DOORS SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCT OR DOOR AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED.
  - REFER TO MECHANICAL ELECTRICAL PLUMBING ENGINEER FOR THERMOSTAT LOCATIONS AND INSTALLATION. REFER TO THE CITY OF CASTROVILLE AND BUILDING CODES.
  - DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER THE MOST STRINGENT STANDARD OR CODE VERSION. REFER TO MEP ENGINEER OF RECORD.
  - REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR HVAC, ELECTRICAL, PLUMBING & INSULATION.
  - EXISTING EXTERIOR ELECTRICAL SWITCHES, J-BOXES, CONDUIITS, WIRING, PLUMBING FIXTURES, PIPES, MECHANICAL EQUIPMENTS, ETC. THAT ARE TO BE REMOVED, ARE TO BE DONE IN ACCORDANCE TO THE MECHANICAL ELECTRICAL PLUMBING DRAWINGS, SPECIFICATIONS AND APPROPRIATE CODES.

## WINDOWS AND DOORS - EXISTING AND NEW:

- MANUFACTURER'S REPRESENTATIVE AND CONTRACTOR TO VERIFY ALL WINDOWS FOR EGRESS AND TEMPERING REQUIREMENTS PRIOR TO ORDERING & INSTALLATION.
- GENERAL CONTRACTOR TO INSPECT INSTALLATION AND FLASHING AT TIME OF INSTALLATION TO ENSURE WATER TIGHTNESS.
- STRIP ALL EXISTING PAINT TO WOOD AND PREPARE TO RECEIVE NEW PAINT AT ALL EXISTING DOORS AND WINDOWS. VERIFY SCOPE OF WORK AT THE JOBSITE.
- ALL PAINTED WOOD DOORS, WINDOW FRAMES, FRAME BUCKS AND END GRAIN CUTS SHALL BE PRIMED WITH AN OIL BASED PRIMER. STAINED WOOD FRAMES SHALL BE BACK-PRIMED SO AS NOT TO SHOW IN FINISH. REFER TO DESIGNER AND OWNER FOR STAIN AND PAINT.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GENERAL CONTRACTOR TO PROVIDE PANIC HARDWARE AT ALL EXTERIOR DOORS. SUBMIT SHOP DRAWINGS PRIOR TO ORDERING.
- ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PER GRAM CUT IF TEMPERED) AS SAFETY GLAZING, AS REQUIRED BY CODE. LOCATIONS ARE IDENTIFIED AS FOLLOWS:
  - GLAZING IN ALL DOORS AND TRANSOMS
  - GLAZING IN BATHROOMS AND OTHER WET AREAS, INCLUDING ROOMS WITH FLOOR DRAINS
  - GLAZING WITHIN A 24" ARC OF A DOOR EDGE
  - GLAZING PANELS HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR.
  - AREAS IDENTIFIED IN THE LATEST BUILDING CODE
  - VERIFY TEMPERED GLAZING REQUIREMENTS WITH DEVELOPER AT GROUND LEVEL FOR SECURITY PURPOSES.
- ALL EXISTING TRANSOMS AND ID IDENTIFIED WINDOWS TO RECEIVE AN APPLIED TEMPERING FILM.
- GENERAL CONTRACTOR TO PROVIDE "WATER SPRAY TESTING" AT EXTERIOR DOORS, AND WINDOWS PRIOR TO DRYWALL TO ENSURE PROPER FLASHING AND SEALING.

## SECURITY NOTES:

- VERIFY WITH THE OWNER'S SITE AND BUILDING LIGHTING SECURITY AND SECURITY SYSTEM REQUIREMENTS AND FEATURES PRIOR TO BIDDING AND CONTRACTING.
- DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.
- ALL PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS.
- THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THE 1 1/2" IN LENGTH.
- DEADBOLTS SHALL CONTAIN HARDENED INSERTS. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT THROW OF 3/4". COORDINATE WITH MOST STRINGENT CODE.
- CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR AS REQUIRED BY BUILDING CODES AS ADOPTED BY THE CITY.

## INTERIOR FINISHES, CABINERY, RAILINGS, STAIRS, ETC.

- SUBCONTRACTOR SHALL SUBMIT ACTUAL MATERIAL SAMPLES FOR REVIEW OF ALL FINISH MATERIALS, PAINT AND STAINS PRIOR TO ORDERING.
- CABINET SUBCONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OR ALL CABINETS, COUNTER, AND OTHER BUILT-IN CABINERY FOR REVIEW BY OWNER, ARCHITECT, AND DESIGNER.
- CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS FOR GUARDRAILS, STAIRS AND HANDRAILS FOR REVIEW PRIOR ORDERING MATERIALS.
- VERIFY ALL LAYOUTS, TRIM SHAPES, GROUT SELECTIONS AND WIDTH AND OTHER SPECIFICATIONS PRIOR TO ORDERING TILE. COORDINATE TILE SIZE AND PATTERN PRIOR TO FINALIZING LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING ALL FINISH MATERIALS WITH ENOUGH LEAD TIME SO THAT ORDERED MATERIAL CAN BE CONFIRMED ACCEPTABLE, AND ANY UNACCEPTABLE MATERIAL REPLACED, WITHOUT DELAYING CONSTRUCTION.
- THE USE OF GYPSUM BOARD FOR TILED WALLS IN WET AREAS IS PROHIBITED. APPROPRIATE MATERIAL SUCH AS HARDIE BACKER BOARD OR APPROVED EQUAL TO BE USED, INSTALL AS PER MANUFACTURER RECOMMENDATIONS.
- USE FULL SHEETS WHEREVER POSSIBLE TO ELIMINATE JOINTS. WHERE JOINTS ARE UNAVOIDABLE, HOLD BOARDS APART 1/8" AND USE 2" FIBERGLASS TARE TO REINFORCE JOINTS. APPLY MIN. 1/2" THICK MORTAR BED PLUS 1/8" BONDING OVER BACKING SURFACES. INSTALL AS PER MANUFACTURERS REQUIREMENTS AND INSTALLATION INSTRUCTIONS.

## NOTES:

- VERIFY ALL DIMENSIONS AT JOBSITE.
- MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
- THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

## PAINTING CONTINUED.

- ALL DUST SHALL BE COMPLETELY WASHED OFF TILE PRIOR TO APPLICATION OF THE BOND COAT. BONDING MORTAR SHALL COVER 100% OF BOTH THE TILE AND THE SURFACE TO BE COVERED APPROXIMATELY 1/8" THICK, ON MARBLE TILE. USE GRAY BONDING MORTAR WITH DARKER TILE, WHITE BONDING MORTAR WITH LIGHT COLORED TILE.
- FINISH CAULKING FOR COUNTERS AND OTHER ITEMS SHALL BE DAP LATEX CAULK WITH SILICONE MADE FOR THIS PURPOSE.
- ALL DRAWERS TO BE SOFT CLOSE. DRAWERS & SLIDING UNITS TO BE INSTALLED WITH FULL EXTENSION ACCURIDE GUIDES OR EQUAL AS APPROVED.
- PROVIDE 42" GUARDRAILS AS INDICATED ON PLANS WITH LESS THAN 4" MIN. CLEARANCE BETWEEN INTERMEDIATE BALAUSTERS. REFER TO ACCEPTED OR CURRENT BUILDING CODE. INSTALL AS PER MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS.
- GUARDRAILS ARE REQUIRED AT FLOOR OPENINGS, LANDINGS, BALCONIES, AND AT OPEN SIDES OF STAIRS OVER 30" IN HEIGHT.
- CONTRACTOR TO PROVIDE SUBMITTALS AND SAMPLES FOR ALL FINISH FLOORS FOR APPROVAL PRIOR TO EXECUTION. PROVIDE TILE LAYOUT SAMPLES AND PRIOR TO ORDERING MATERIAL AND INSTALLATION. REFER TO GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.

## CERAMIC TILE

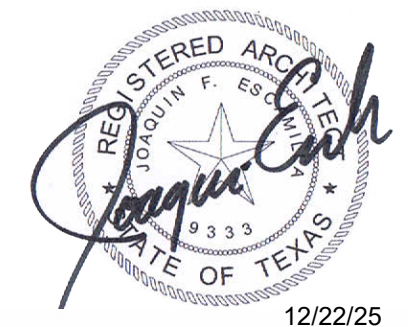
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND ACCESSORIES REQUIRED FOR INSTALLATION OF CERAMIC TILE FLOORING, WALL TILES, BASE, TRIMS, AND TRANSITIONS AS SHOWN ON THE DRAWINGS. INSTALL CERAMIC TILE AS CALLED FOR IN THIS SPECIFICATION AND AS DIRECTED BY THE MANUFACTURER.
- CERAMIC TILE: DA/TLITE OR APPROVED EQUAL MEROLA 3" X 6" RECTANGLE SUBWAY TILE CERAMIC TILE WITH BULLNOSE TRIM-SATIN AT WALLS AND MEROLA TILE MADISON - 1" X 1" HEXAGON PENNY FLOOR AND WALL MOSAIC TILE - MATTE FINISH AT THE TOILET ROOMS. PROVIDE MATCHING COVE BAS AND COBE BASE CORNERS.
- GROUT: COMMERCIAL, SANDED PORTLAND CEMENT TYPE, UPCCO HYDROMENT OR APPROVED EQUAL.
- TILE SHALL BE FIRMLY IN PLACE WITH FINISHED SURFACES IN TRUE PLANES. JOINTS SHALL BE STRAIGHT, UNIFORM IN WIDTH AND SOLIDLY FILLED. COMPLETED WORK SHALL BE FREE FROM HOLLOW SOUNDING AREAS AND LOOSE, CRACKED OR DEFECTIVE TILE.
- TILE WORK SHALL BE LAID OUT SO THAT NO TILES LESS THAN ONE HALF OF FULL TILE SHALL OCCUR. VERIFY LAYOUT PRIOR TO INSTALLATION WITH ARCHITECT, DESIGNER AND OWNER.

## COMPOSITE PORCH FLOOR

- INSTALL COMPOSITE PORCH DECKING BY AERATIS OR APPROVED EQUAL, INSTALL AS PER MANUFACTURE RECOMMENDATION, INSTRUCTION AND BUILDING CODES. INSTALLATION TO INCLUDE BUT NOT LIMITED, TO 2X4 WOOD SLEEPERS OVER WOOD JOISTS. ONCE THE SLEEPERS ARE INSTALLED, A FLASHING TAPE OR PEEL AND STICK MEMBER SHOULD USE TO COVER ALL THE SURFACES OF THE SLEEPERS. REFER TO DRAWINGS FOR DETAILS AND SLOPES.
- TEMPERING FILM
  - SUPPLY AND INSTALL 8 MIL 3M SCOTCH SHIELD ULTRA SECURITY FILM (WWW.3M.COM) OR APPROVED EQUAL TEMPERING WINDOW FILM ON INTERIOR SIDE OF EXISTING GLAZING AS INDICATED ON THE DRAWINGS OR AS DIRECTED. INCLUDE EDGE TREATMENT, SEALING AND ANY ATTACHMENT SYSTEM REQUIRED AS MANUFACTURER INSTRUCTIONS.
  - PROVIDE PERFORMANCE TESTING DOCUMENTATION PRIOR TO PROCUREMENT AND FIELD LABELING AFTER INSTALLATION. PROVIDE DATA SHEETS FOR SELECTIVE FILM, INSTALLATION PLAN, WARRANTY INFORMATION, TEST REPORTS AND CERTIFICATIONS SHOWING COMPLIANCE WITH ALL ADOPTED AND CURRENT BUILDING CODES. COORDINATE WITH LOCAL BUILDING OFFICIALS.
  - PROVIDE MOCK-UPS AS REQUIRED ON SAMPLE GLASS FOR APPROVAL PRIOR TO PROCUREMENT.

## WHITE BOARDS

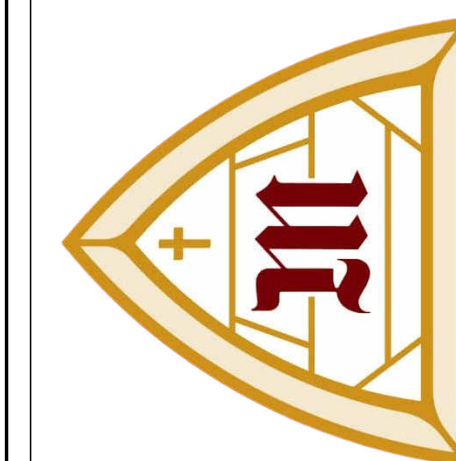
- BY OWNER, TO BE INSTALLED BY CONTRACTOR.
- AFTER COMPLETE REMOVAL OF EXISTING PAINT FROM DOORS, TRANSOMS, AND WINDOWS, FRAMES, TRIM, AND ASSOCIATED COMPONENTS, PREPARE ALL EXPOSED SUBSTRATES TO RECEIVE NEW FIELD APPLIED PAINT FINISHES. EXISTING DOORS HAVE BEEN STRIPPED TOPS, BOTTOMS, AND SIDES OF ALL DOORS SHALL BE FULLY PAINTED. THIS INCLUDES CLEANING, SANDING, PATCHING, PRIMING, AND SURFACE CONDITIONING PER MANUFACTURE REQUIREMENTS.



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**CASTROVILLE CATHOLIC SCHOOL**  
702 PARIS ST, CASTROVILLE, TX



JOB NO: Project Number  
DRAWN BY: Author  
BID SET  
ISSUE / REVISION:

No.	Date

12/22/25  
SHEET TITLE  
ACCESSIBILITY  
DETAILS

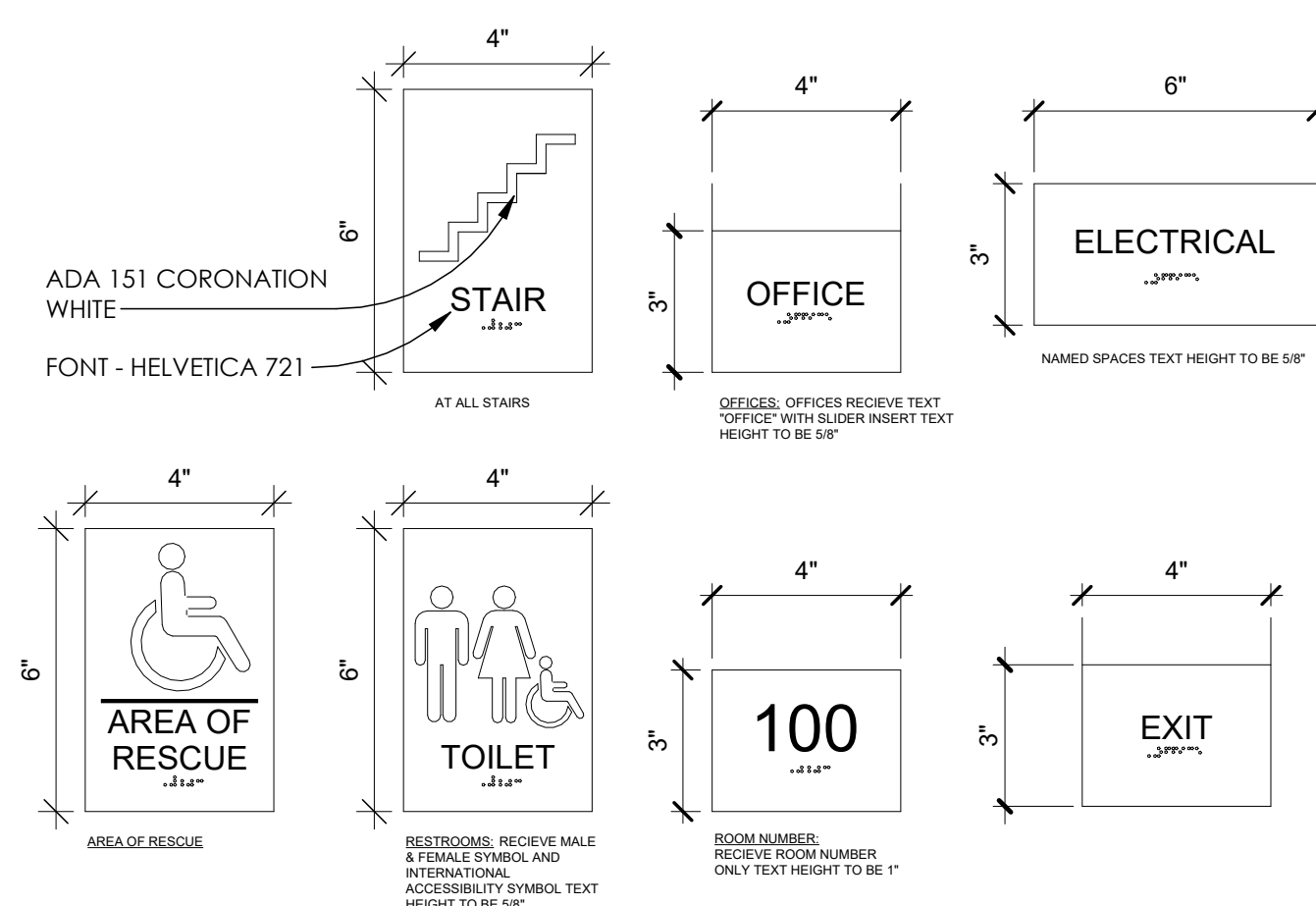
**A.02**

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**NOTES:**

1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

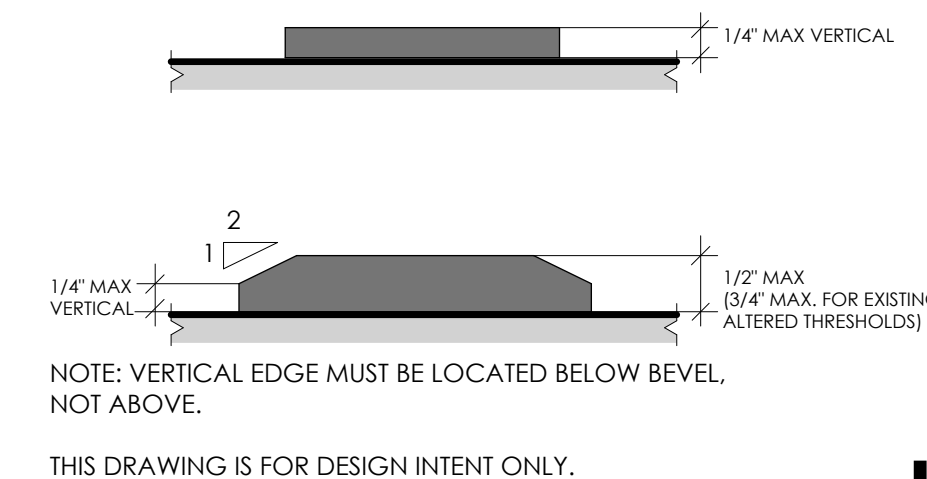
**STANDARD ROOM SIGNAGE**



BACKGROUND COLOR - Formica 8792 - 58 - Winter Sky Matt Finish  
TEXT COLOR - Bright White  
LINE COLOR - Painted Bright White  
EDGE COLOR - Paint to Match  
RAISED TEXT FONT - Helvetica 721 Upper Case Only  
SECONDARY TEXT FONT - Helvetic Medium and Helvetica Medium condense as required  
MOUNTING - 3M VHB - 3M VHB Foam Tape / Silicon

- Notes:**
1. SIGNAGE TACTILE CHARACTERS AND MOUNTING PLACEMENT SHALL COMPLY WITH LATEST ISSUES TAS 2012 SECTION 703, AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS).
  2. COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
  3. PROVIDE SIGNAGE SCHEDULE. PROVIDE SUFFICIENT INFORMATION TO COMPLETELY DEFINE EACH SIGN FOR FABRICATION, INCLUDING ROOM NUMBER, ROOM NAME, OTHER TEXT TO BE APPLIED, SIGN AND LETTER SIZES, FONTS, AND COLORS. SUBMIT FOR APPROVAL BY ARCHITECT PRIOR TO FABRICATION.
  4. PROVIDE SAMPLE FOR COLORS AND LETTERING FOR APPROVAL PRIOR TO ORDERING.

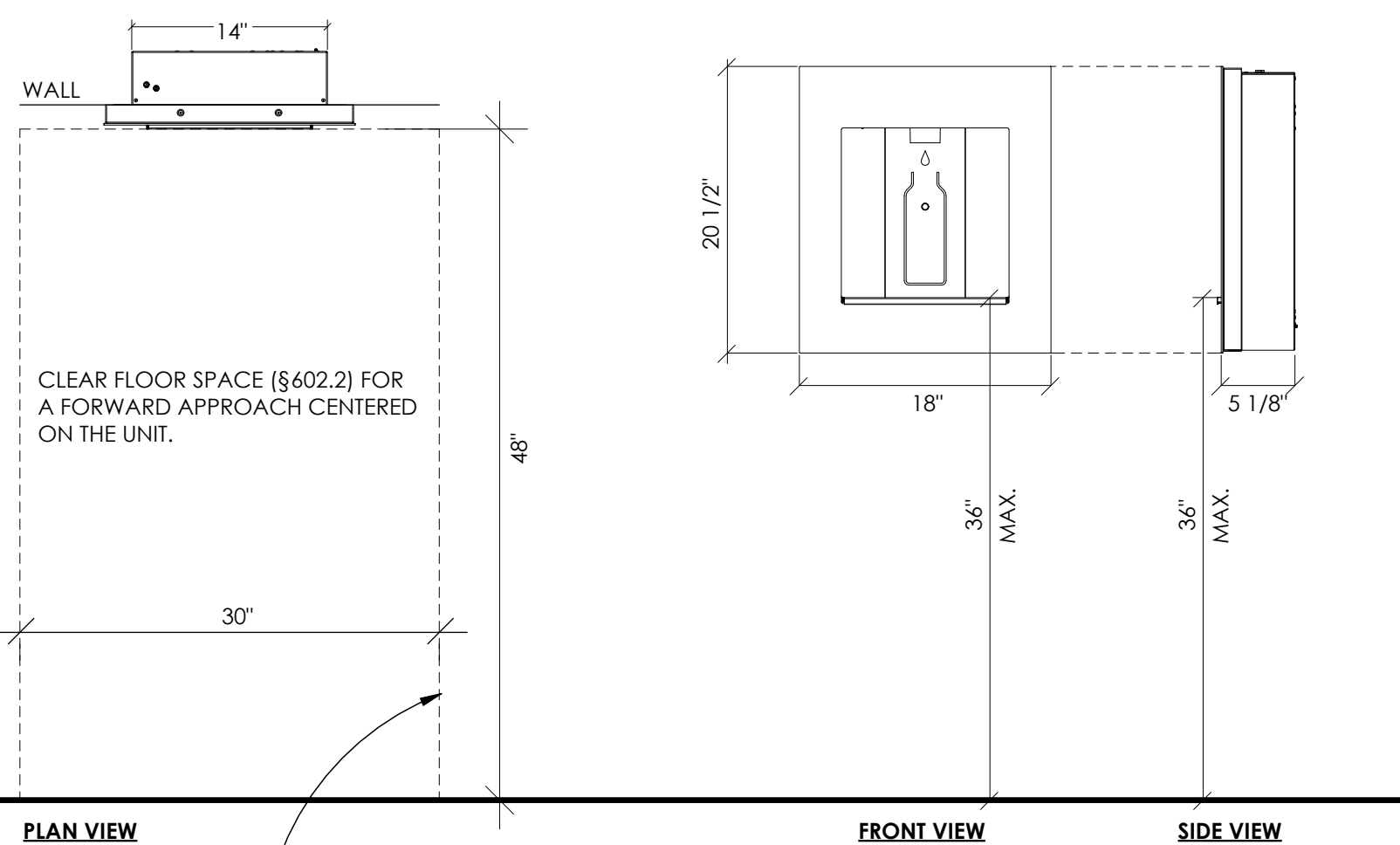
**ADA - TYPICAL THRESHOLD PROFILE**



NOTE: VERTICAL EDGE MUST BE LOCATED BELOW BEVEL, NOT ABOVE.

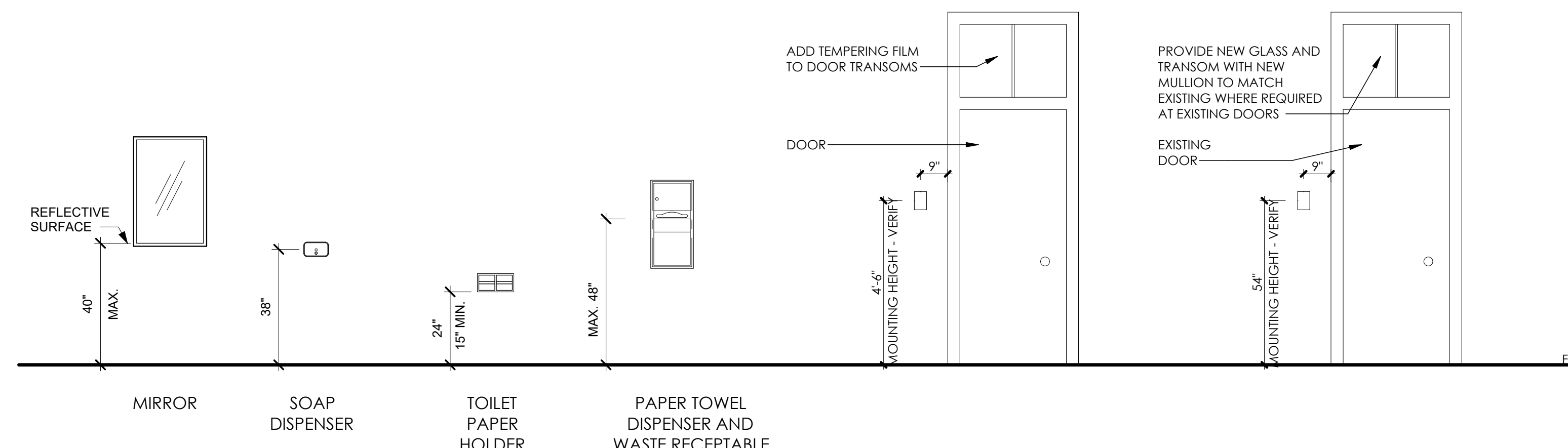
THIS DRAWING IS FOR DESIGN INTENT ONLY.

**TYPICAL ADA REQUIREMENTS**



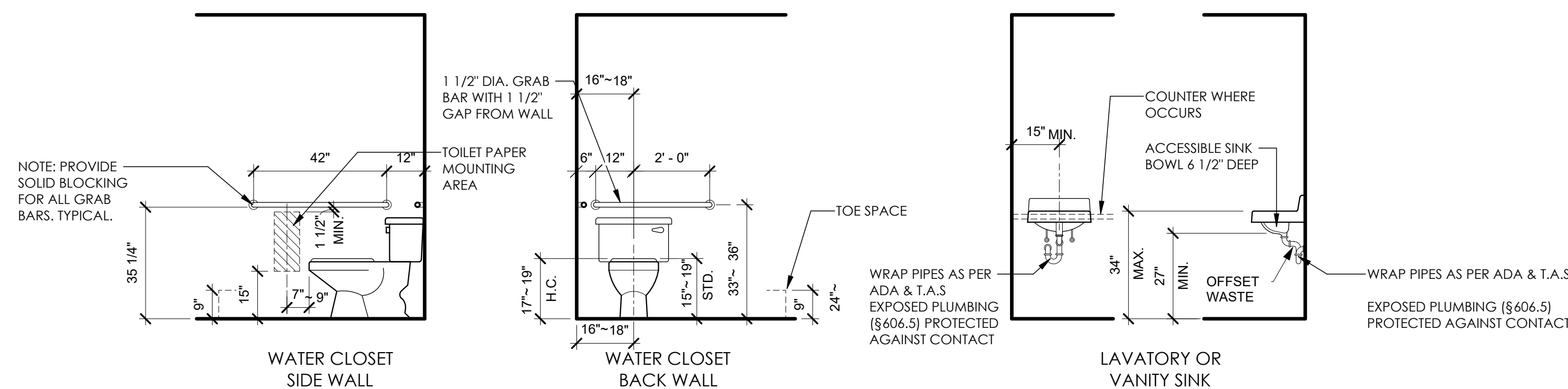
PROVIDE A MINIMUM OF 30" x 48" CLEAR SPACE FOR FRONT OR SIDE APPROACH CENTERED ON EACH FOUNTAIN

**TYPICAL TOILET AND DOOR ACCESSORIES MOUNTING HEIGHTS**



**TYPICAL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS**

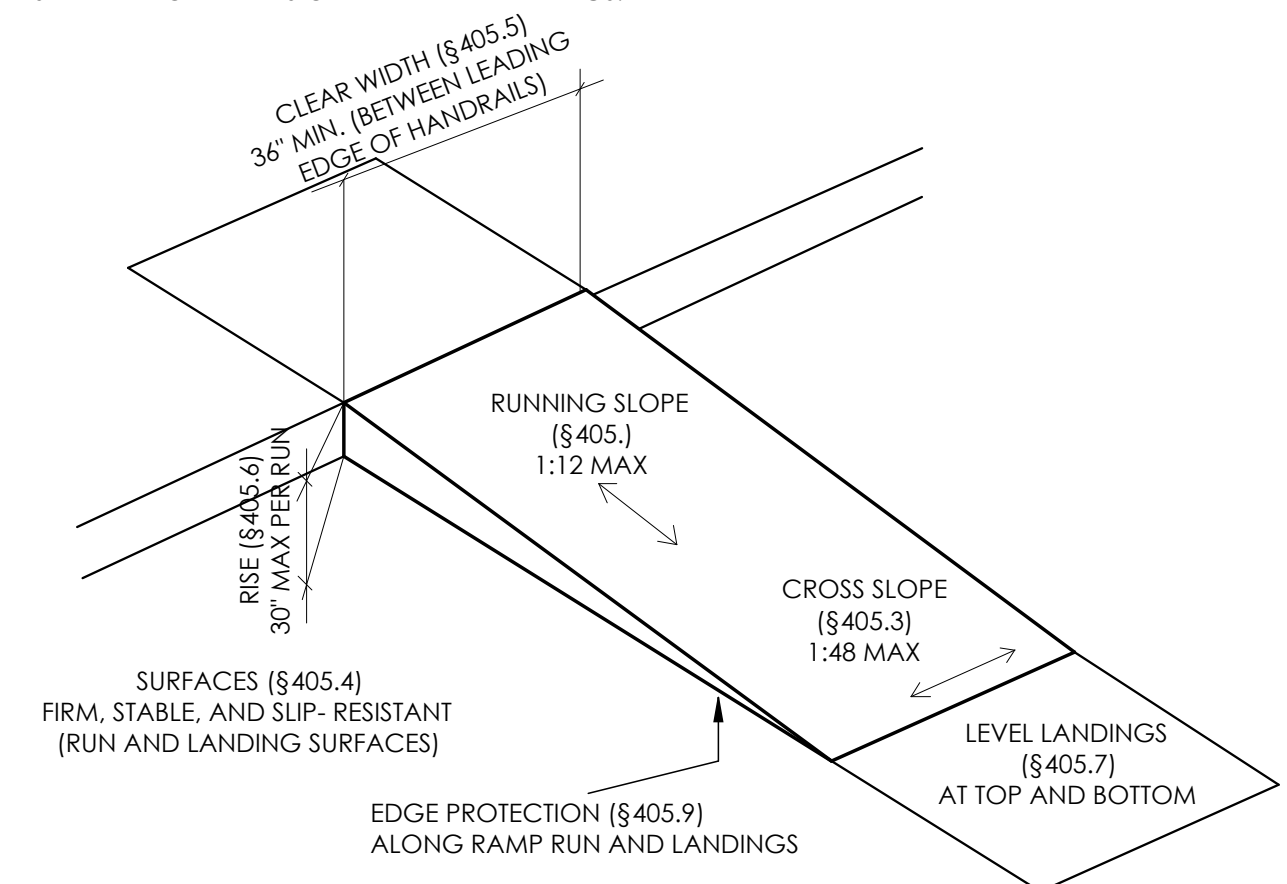
- NOTE:**
- 59" MIN. @ FLOOR-MOUNTED TOILET
  - 56" MIN. @ WALL-HUNG TOILET



**NOTE:** CONTRACTOR TO COMPLY WITH ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS) IN ADDITION TO TAS/ADA REQUIREMENTS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.

**ADA RAMP REQUIREMENTS**

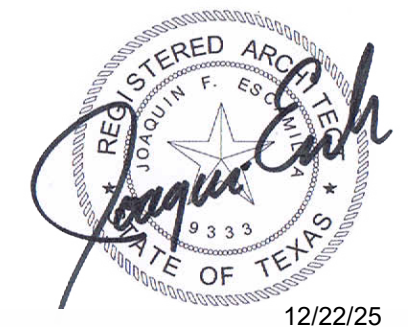
SEE PLAN FOR WIDTHS OF RAMP AND LANDINGS.



ALTERATIONS (§405.2)  
PERMITTED RUNNING SLOPES WHERE SPACE IS LIMITED:  
1:10 MAX (6" MAX RISE) OR 1:8 MAX (3" MAX RISE)

WET CONDITIONS (§405.10)  
LANDINGS MUST BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER

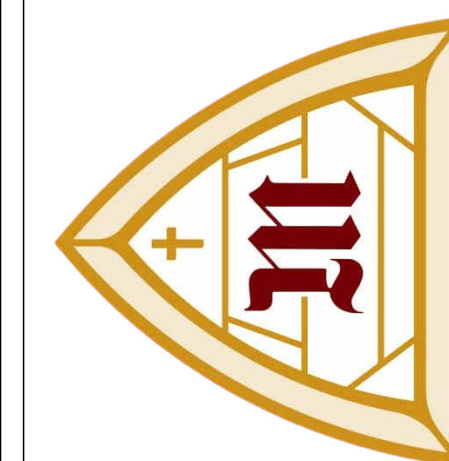
NOT TO SCALE



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702 PARIS ST, CASTROVILLE, TX



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ISSUE / REVISION:

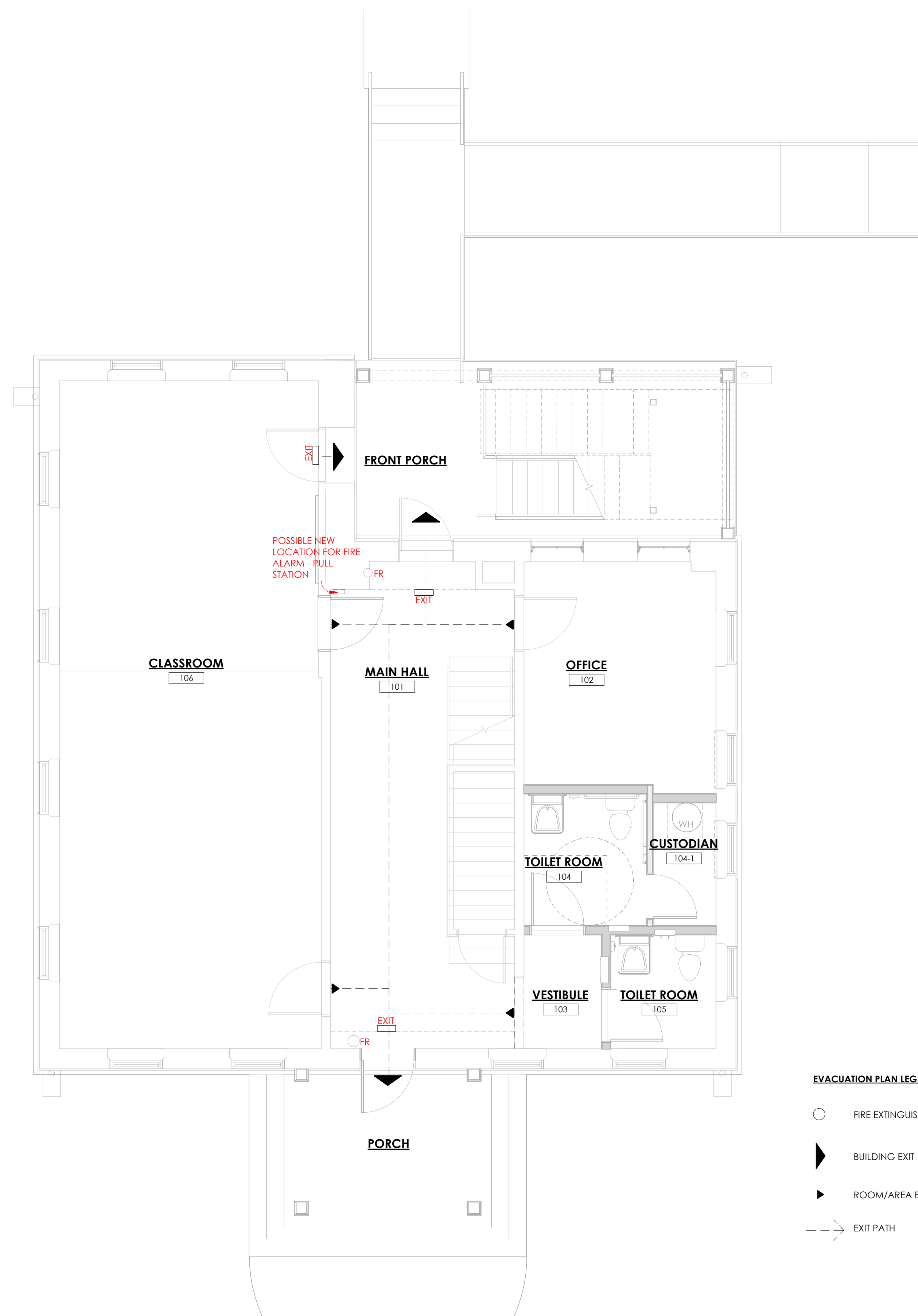
No.	Date

12/22/25  
SHEET TITLE  
EVACUATION PLANS

**A.02.1**

**NOTES:**

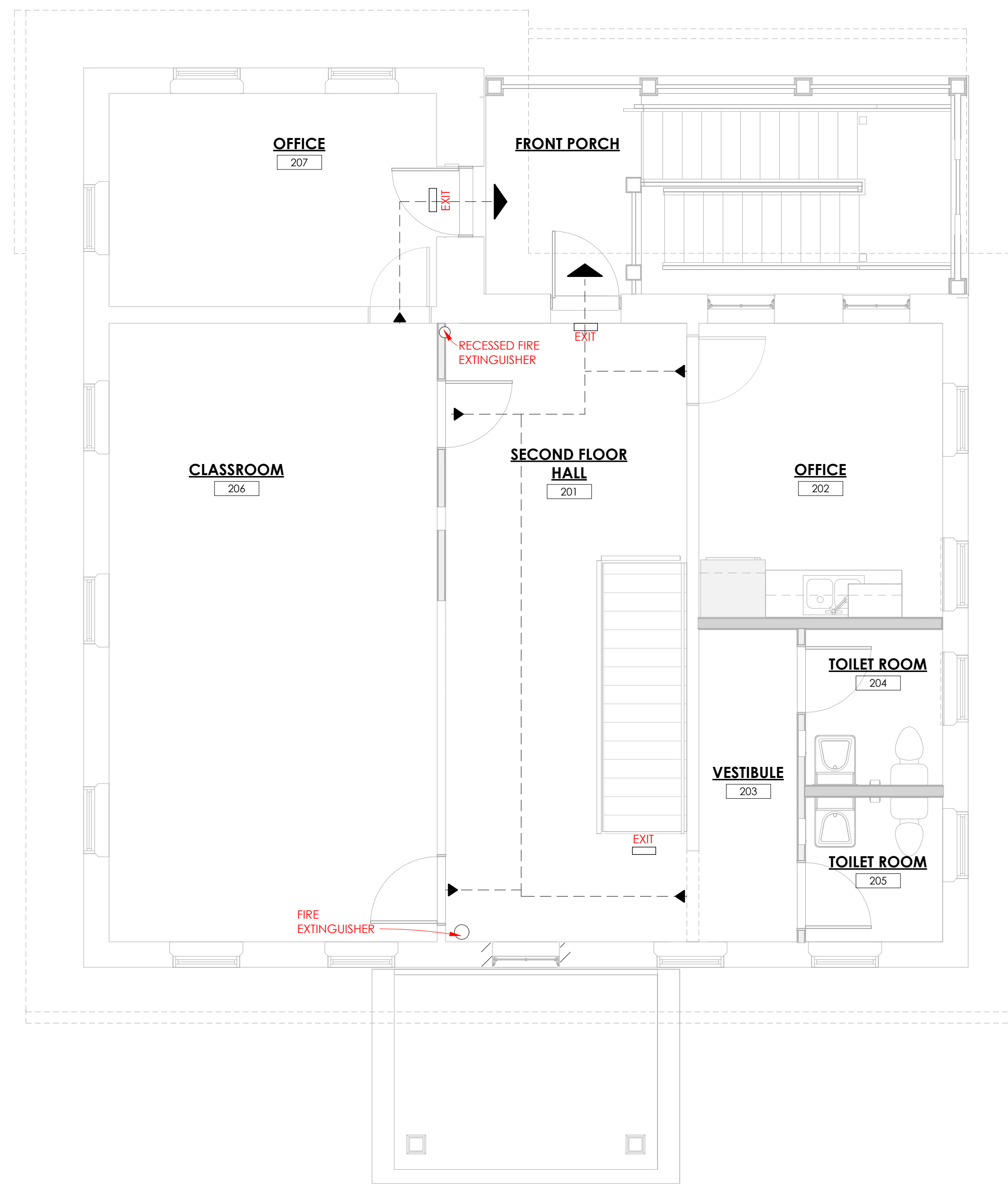
1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.



**1 FIRST FLOOR PLAN - EVACUATION PLAN**  
1/4" = 1'-0"

**EVACUATION PLAN LEGEND**

- FIRE EXTINGUISHER
- ▶ BUILDING EXIT
- ▶ ROOM/AREA EXIT
- > EXIT PATH



**2 SECOND FLOOR PLAN - EVACUATION PLAN**  
1/4" = 1'-0"

**PERMIT SET - BID SET - 12-22-25**

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SHEET TITLE  
SITE PLAN

**A.03**

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**NOTES:**

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3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

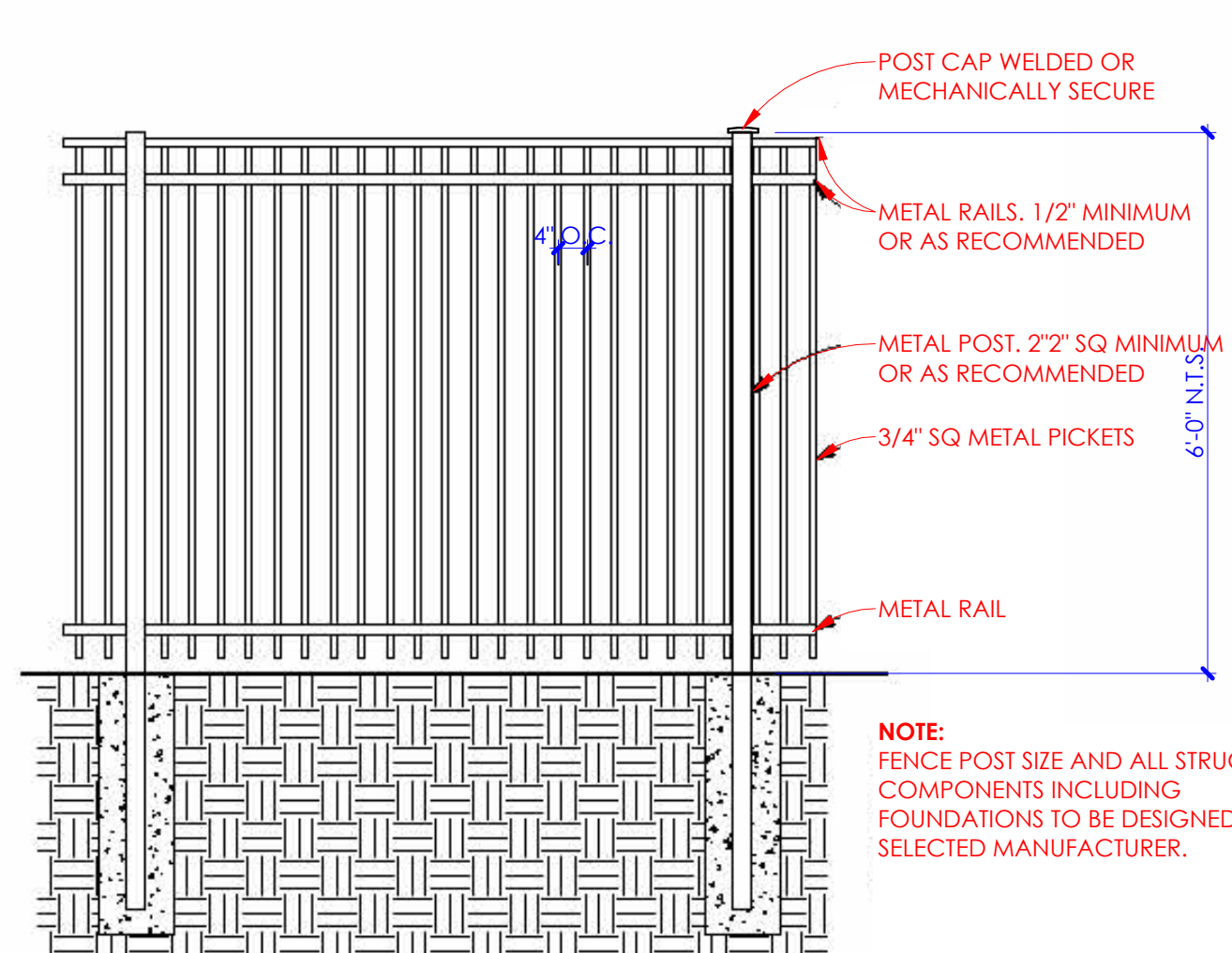
**ORNAMENTAL FENCE & ACCESS GATES:**

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE ORNAMENTAL FENCE AND GATE SYSTEM AS MANUFACTURED BY QUALITY FENCE & WELDING (210-305-4269) OR COMAL FENCE (210-686-3932) OR APPROVED EQUAL.

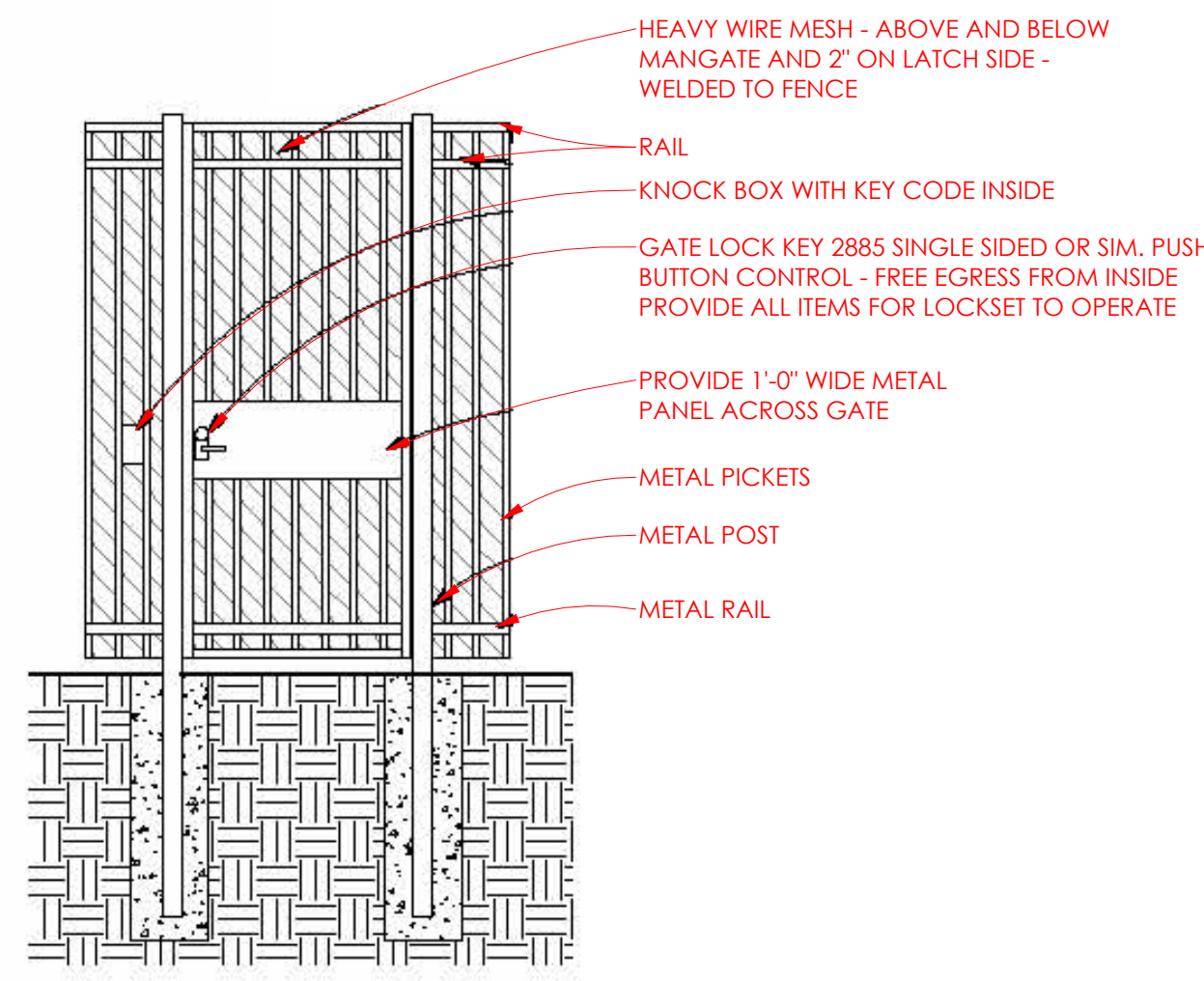
WORK INCLUDES STEEL FENCE PANELS, POST, GATES, HARDWARE, COATING, FOUNDATIONS, AND ACCESSORIES REQUIRED FOR A COMPLETE AND FUNCTIONAL INSTALLATION.

INDICATED SIZES ARE INDICATED FOR PURPOSES OF DESIGN INTENT. PROVIDE RECOMMENDED POST SIZE AND ALL STRUCTURAL COMPONENTS INCLUDING FOUNDATIONS TO BE DESIGNED BY MANUFACTURER SELECTED. GATES, 3'-0" WIDE AND 4'-0" (DOUBLE GATES) TO MATCH THE FENCE SYSTEM. REFER TO PLANS FOR LOCATIONS. PROVIDE ADJUSTABLE GATE CLOSURE AND HINGES FOR HINGE/CLOSURE ON ALL GATES.

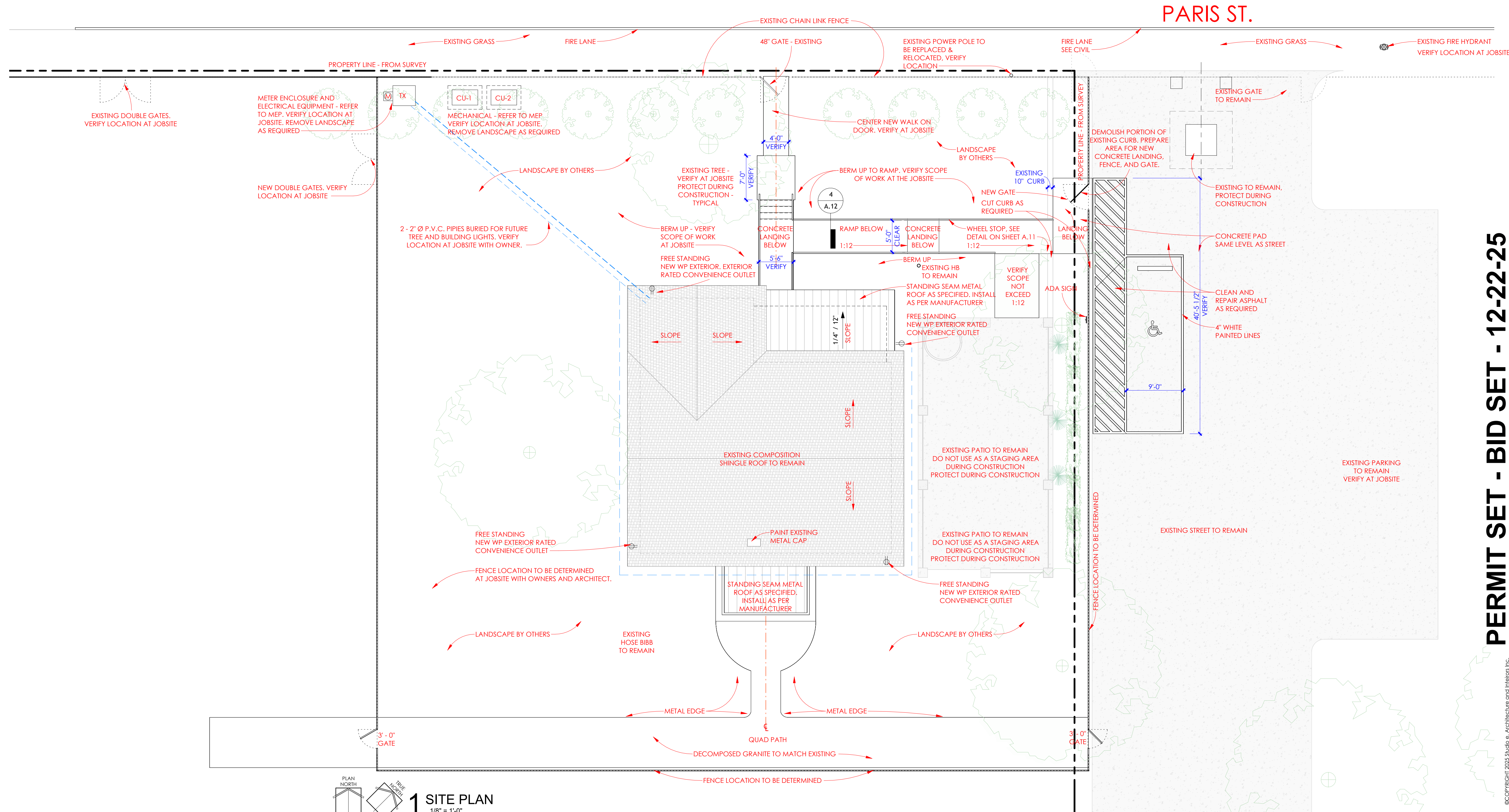
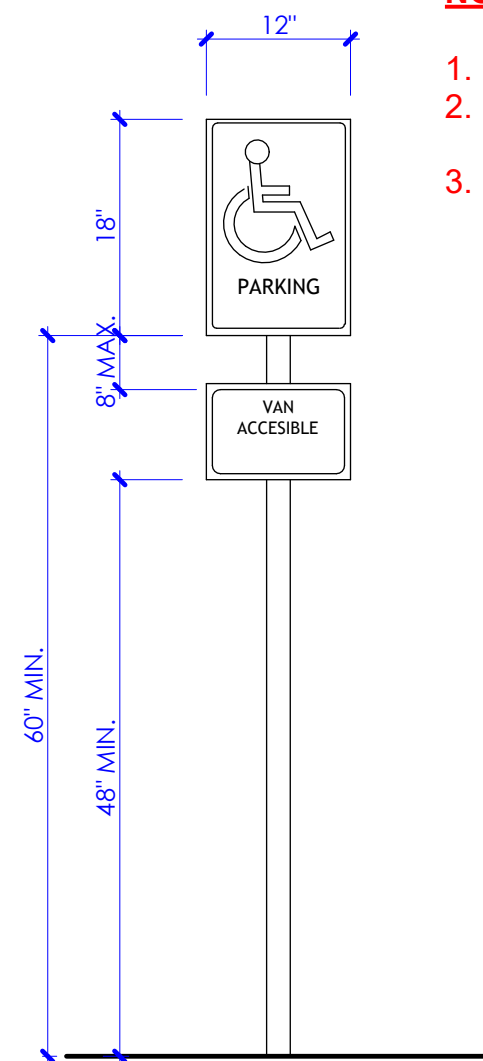
PROVIDE LAYOUT AND MANUFACTURER SPECIFICATIONS, CUTSHEETS, AND SHOP DRAWINGS FOR APPROVAL AND MANUFACTURER'S STANDARD WARRANTY FOR MATERIALS AND FINISHES.



**ORNAMENTAL FENCE & ACCESS GATES**  
**2 ELEVATIONS**  
1/2" = 1'-0"

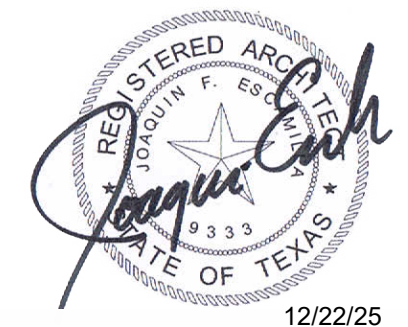


**3 PARKING SIGN**  
3/4" = 1'-0"



**1 SITE PLAN**  
1/8" = 1'-0"

**PERMIT SET - BID SET - 12-22-25**



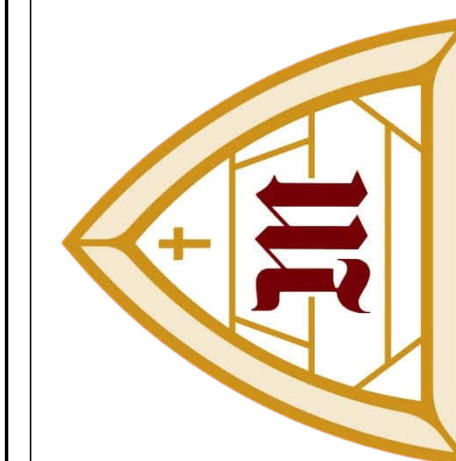
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# CASTROVILLE CATHOLIC SCHOOL

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JOB NO: Project Number  
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ISSUE / REVISION:

No.	Date

12/22/25  
SHEET TITLE  
DEMOLITION PLANS

# A.04

## PERMIT SET - BID SET - 12-22-25

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### NOTES:

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2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.

**NOTE:** SEE STRUCTURAL FOR SHORING REQUIREMENTS PRIOR TO DEMOLITION - TYPICAL. REFER TO MEP FOR ALL HVAC AND ELECTRICAL WORK - TYPICAL.

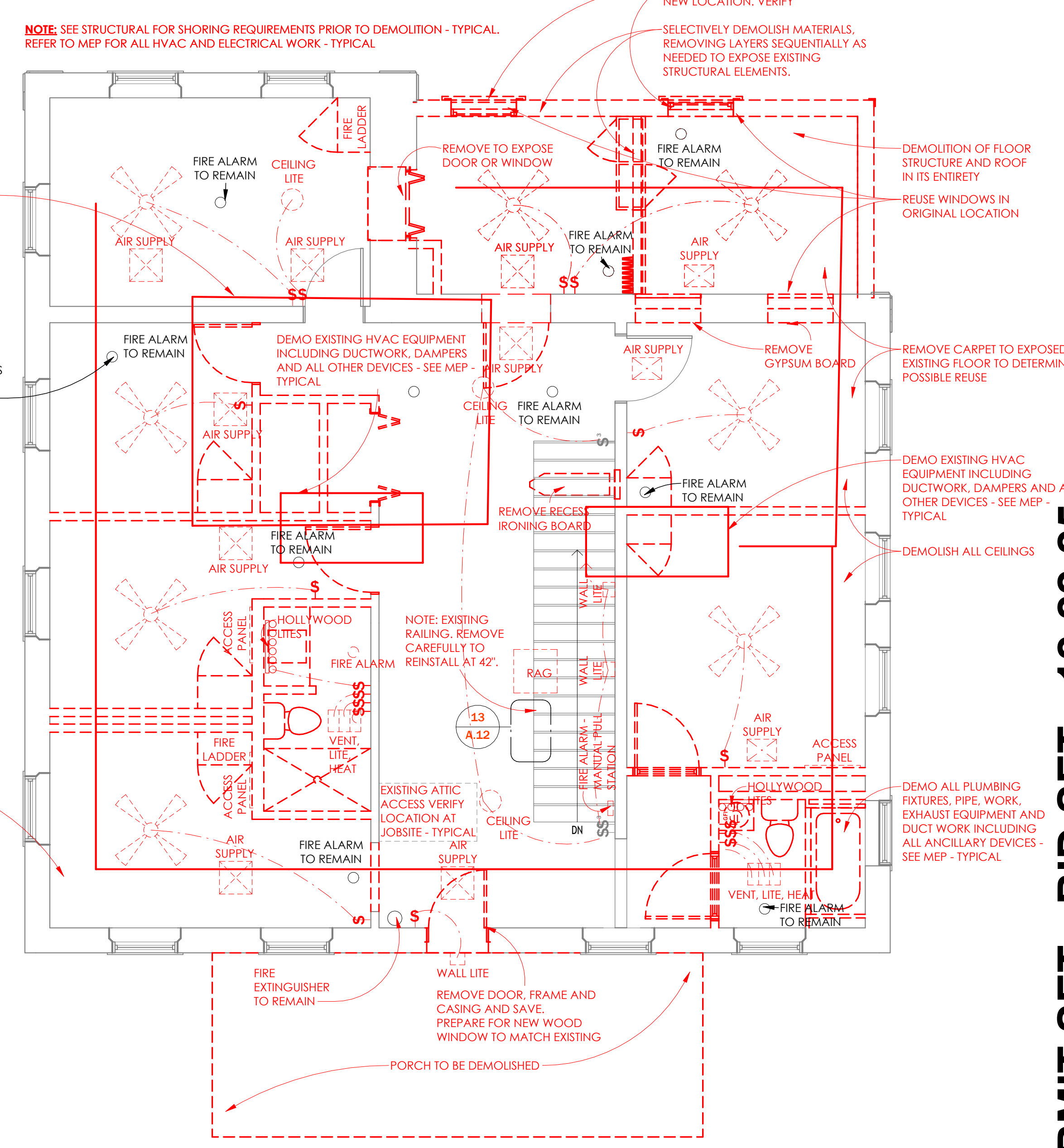
**NOTE:** REFER TO MEP DRAWINGS FOR EXISTING ALARM DETECTORS, LOCATION AND SCOPE OF WORK - TYPICAL.  
FIRE ALARM AND DETECTOR NEED TO BE REMOVED DURING CONSTRUCTION AND SAVED FOR FUTURE INSTALLATION. REINSTALLED AS PER MEP.

### DEMOLITION GENERAL NOTES

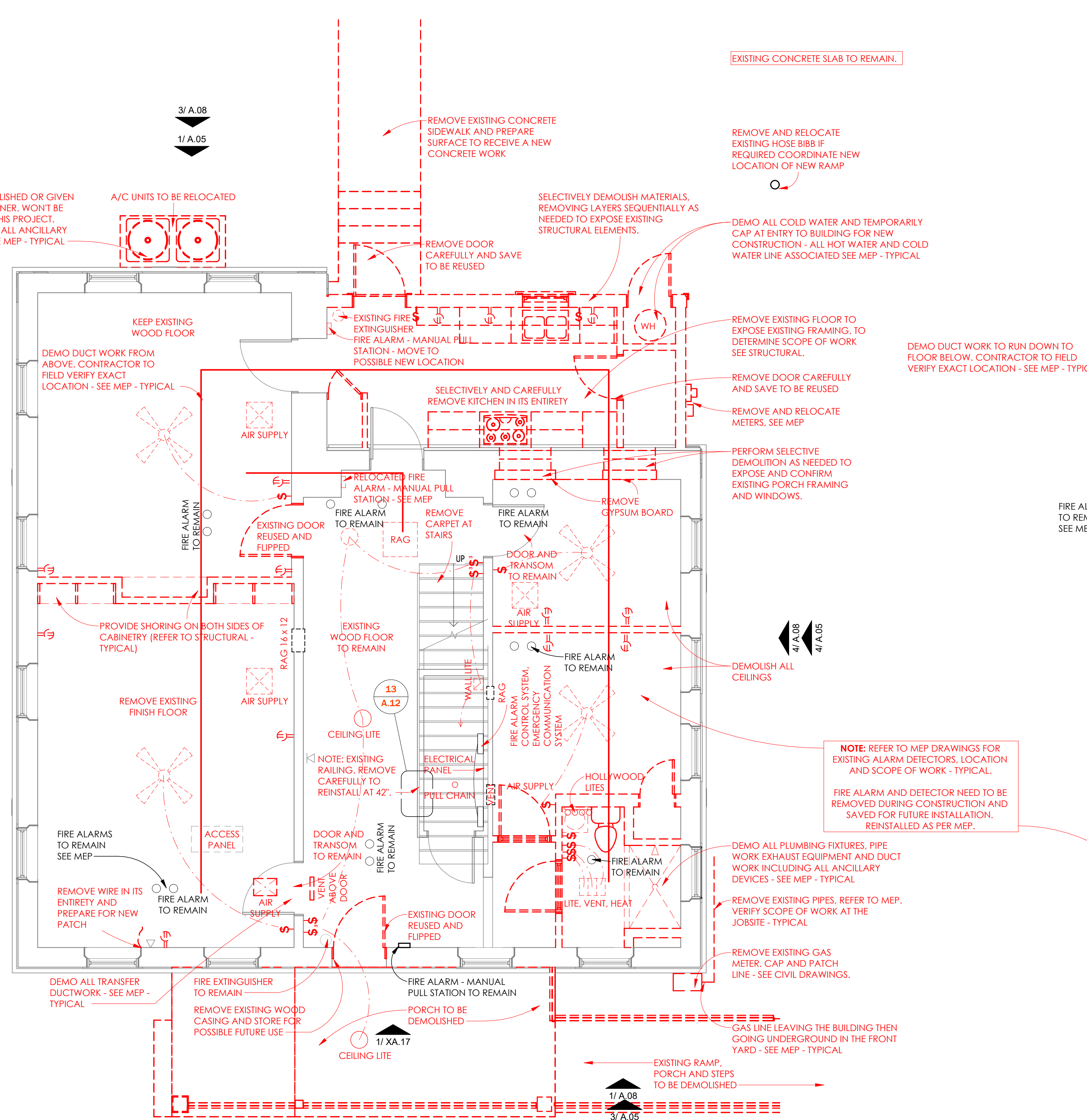
1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AT THE JOBSITE PRIOR TO BID AND WORK. DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER/ OWNER AT THE TIME OF BID PROPOSAL.
2. CONTRACTOR TO REFER TO MEP DRAWINGS FOR HVAC, ELECTRICAL AND PLUMBING NOTES.
3. CONTRACTOR TO PROTECT EXISTING FLOORS TO REMAIN, WALLS AND CEILINGS DURING DEMOLITION AND CONSTRUCTION.
4. DIMENSIONS SHOWN ON DRAWINGS ARE FOR INTENT ONLY AND MAY VARY DEPENDING ON EXISTING CONDITIONS AND DISCOVERY.
5. CAREFULLY REMOVE EXISTING DOORS AND WINDOWS AFFECTED BY DEMOLITION AND SAVE FOR REUSE.
6. COORDINATE REMOVAL OF CEILING WITH INSTALLATION UNITS.

**NOTE:** THIS DRAWING IS INCLUDED FOR GENERAL INTENT. REFER TO MEP ENGINEER DRAWINGS FOR DEMOLITION AND ITEMS TO REMAIN.

- WALL LEGEND**
- EXISTING WOOD STUD
  - DEMOLISH
  - NEW 2 x 6 WOOD STUDS WITH SOUND BATT INSULATION
  - NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION



**2 SECOND FLOOR PLAN - DEMOLITION**  
1/4" = 1'-0"



**1 FIRST FLOOR PLAN - DEMOLITION**  
1/4" = 1'-0"

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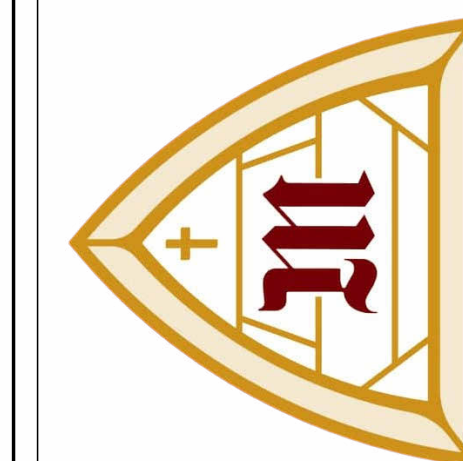


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No. Date

12/22/25

SHEET TITLE  
DEMOLITION  
EXTERIOR  
ELEVATIONS

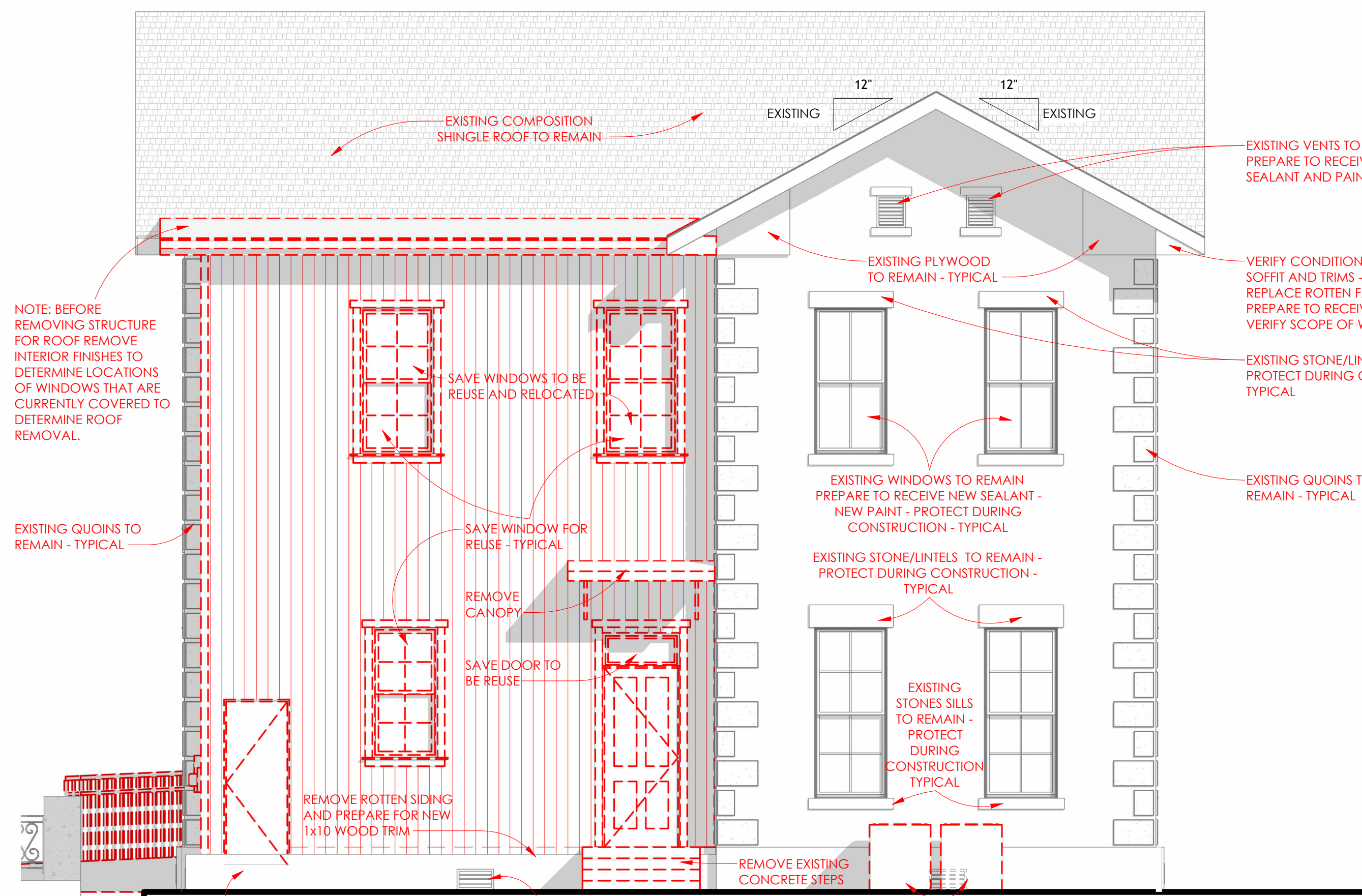
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**PERMIT SET - BID SET - 12-22-25**

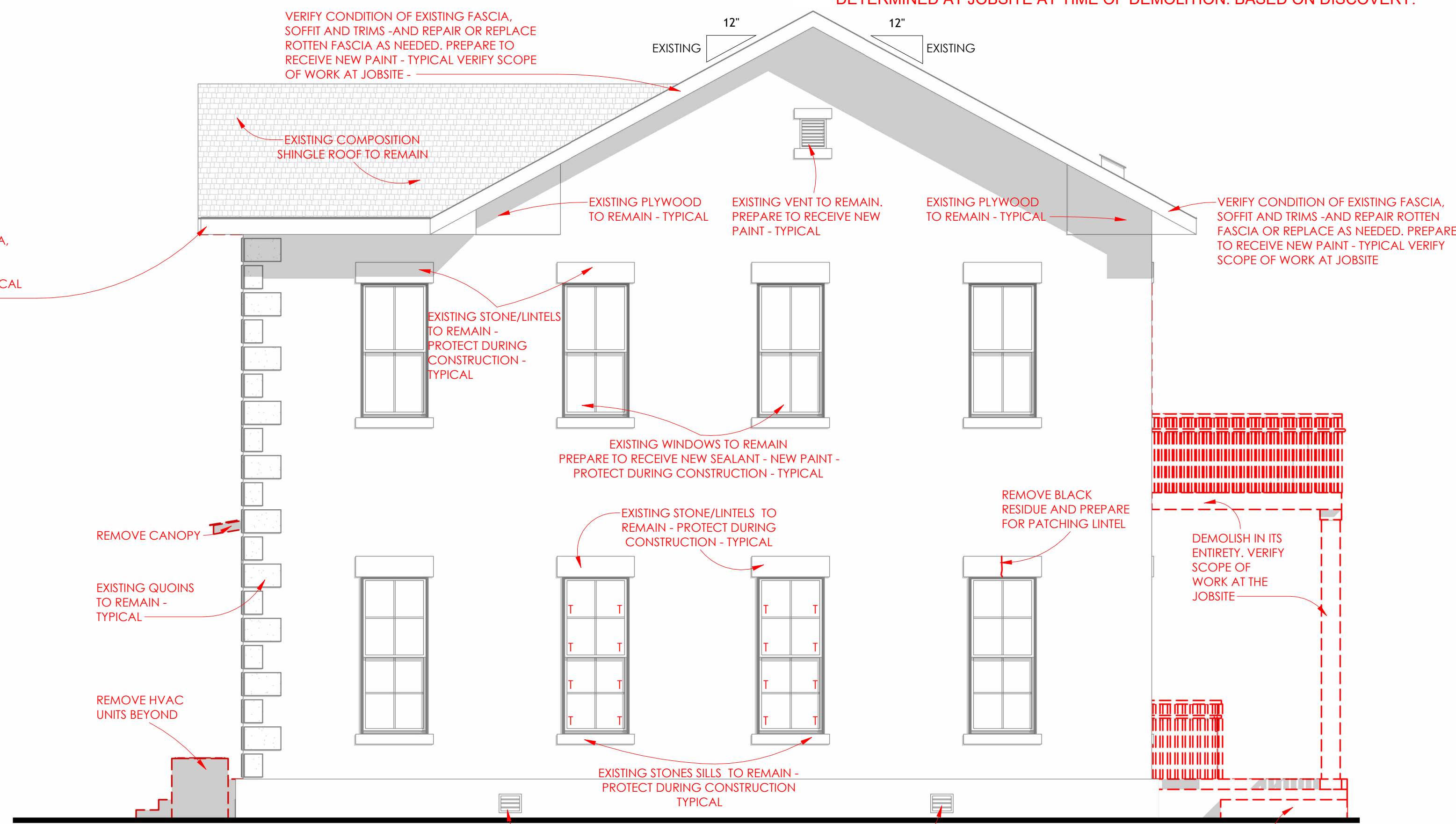
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**NOTES:**

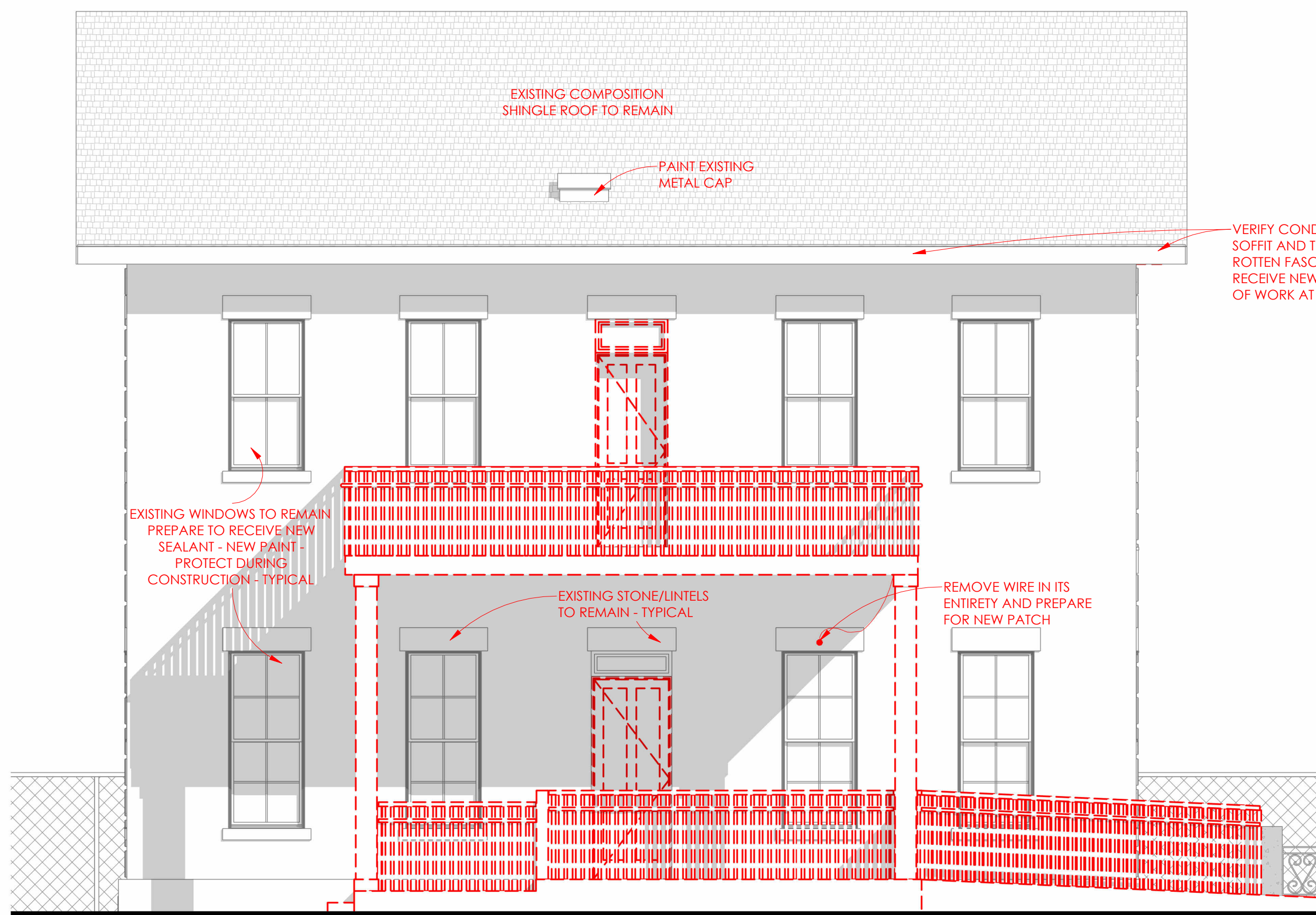
1. VERIFY ALL DIMENSIONS AT JOBSITE.
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3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.



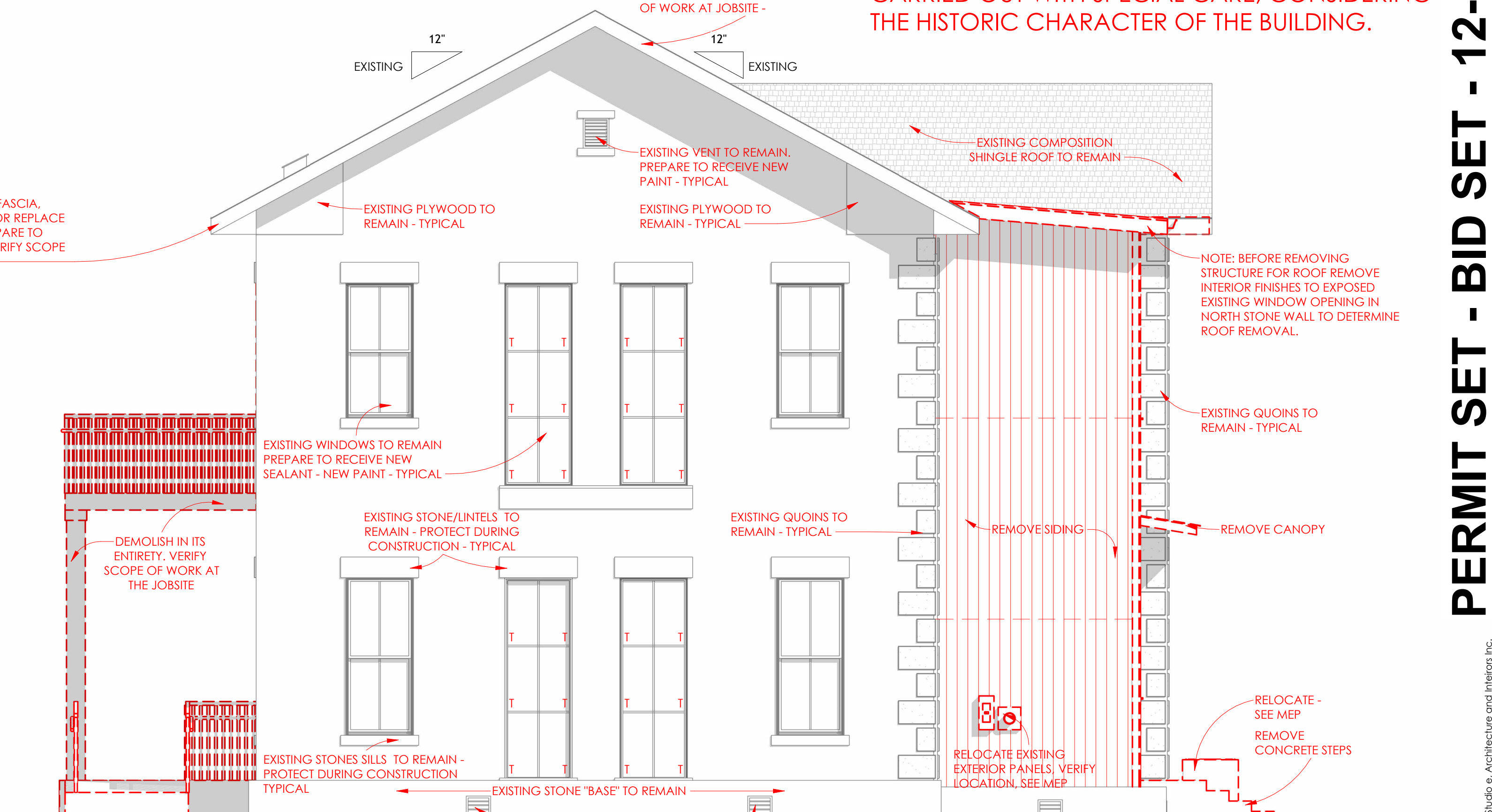
**1 NORTH ELEVATION - DEMOLITION**  
1/4" = 1'-0"



**2 WEST ELEVATION - DEMOLITION**  
1/4" = 1'-0" T=TEMPERING FILM



**3 SOUTH ELEVATION - DEMOLITION**  
1/4" = 1'-0"



**4 EAST ELEVATION - DEMOLITION**  
1/4" = 1'-0" T=TEMPERING FILM

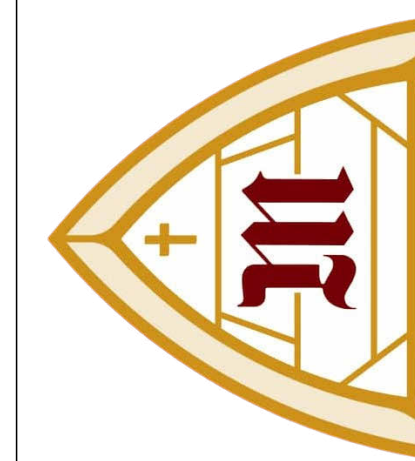


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**CASTROVILLE CATHOLIC SCHOOL**  
702 PARIS ST, CASTROVILLE, TX



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No.	Date

12/22/25

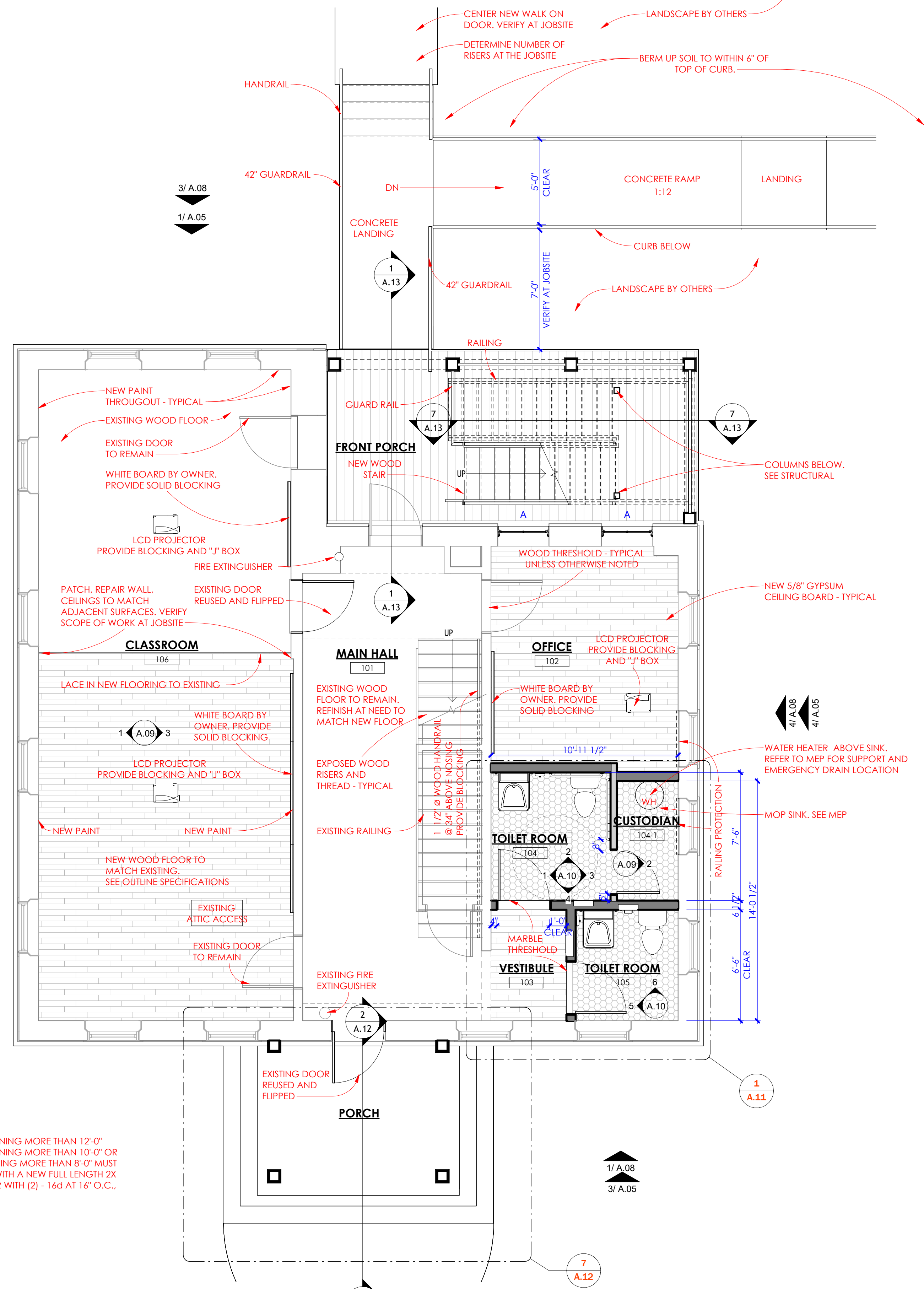
SHEET TITLE  
REVISED FLOOR PLANS

**A.06**

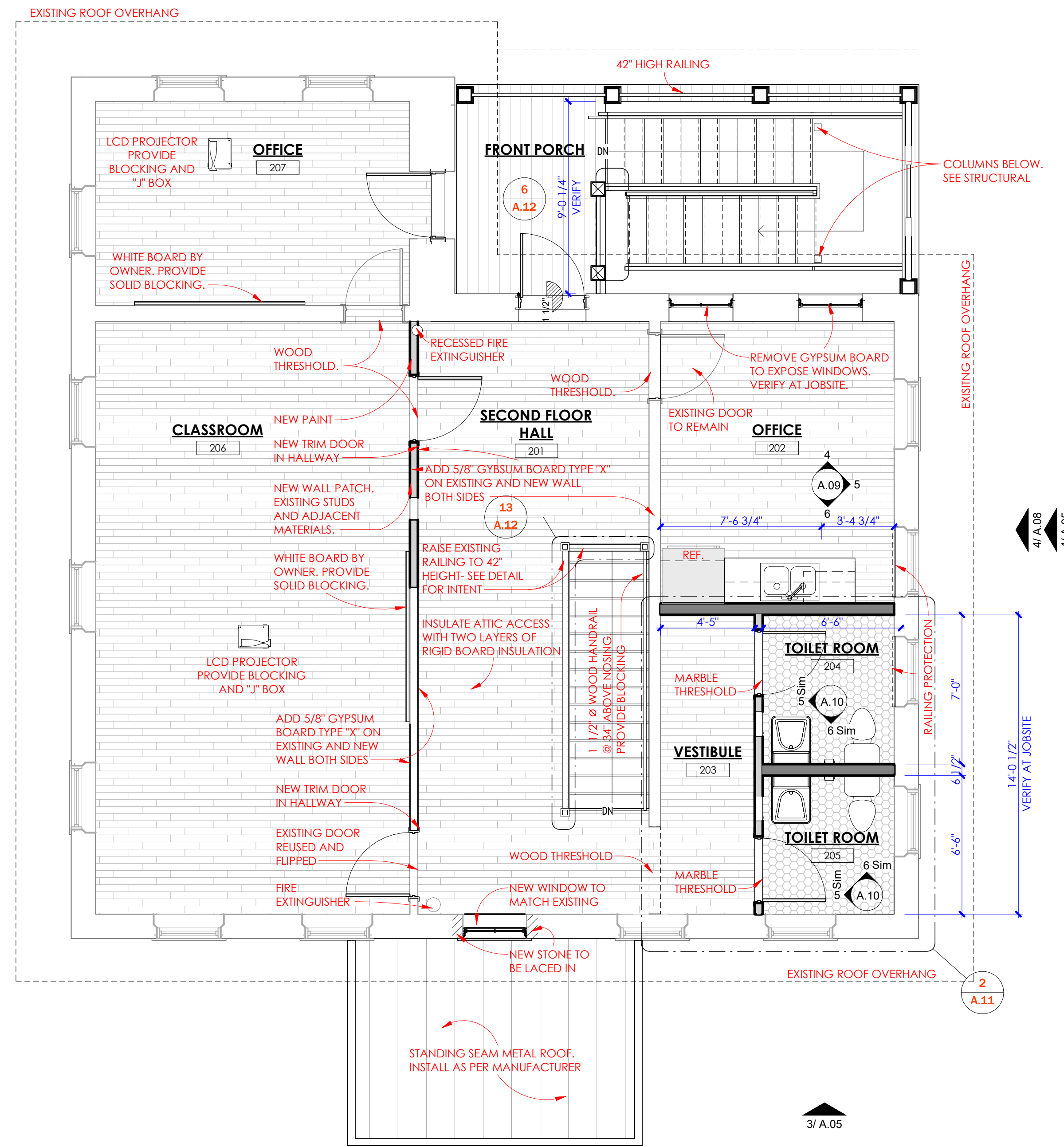
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**NOTES:**

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**1 REVISED FIRST FLOOR PLAN**  
1/4" = 1'-0"



**2 REVISED SECOND FLOOR PLAN**  
1/4" = 1'-0"

**WALL LEGEND**

- EXISTING WOOD STUD
- DEMOLISH
- NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION
- NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION

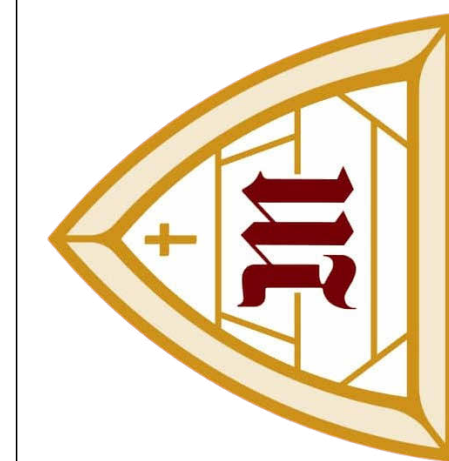
NOTE:  
2X12 JOISTS SPANNING MORE THAN 12'-0"  
2X10 JOISTS SPANNING MORE THAN 10'-0" OR  
2X8 JOISTS SPANNING MORE THAN 8'-0" MUST  
BE REINFORCED WITH A NEW FULL LENGTH 2X  
NAILED TOGETHER WITH (2) - 16d AT 16" O.C.,  
SEE STRUCTURAL



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 SHEET TITLE  
 RCP PLANS

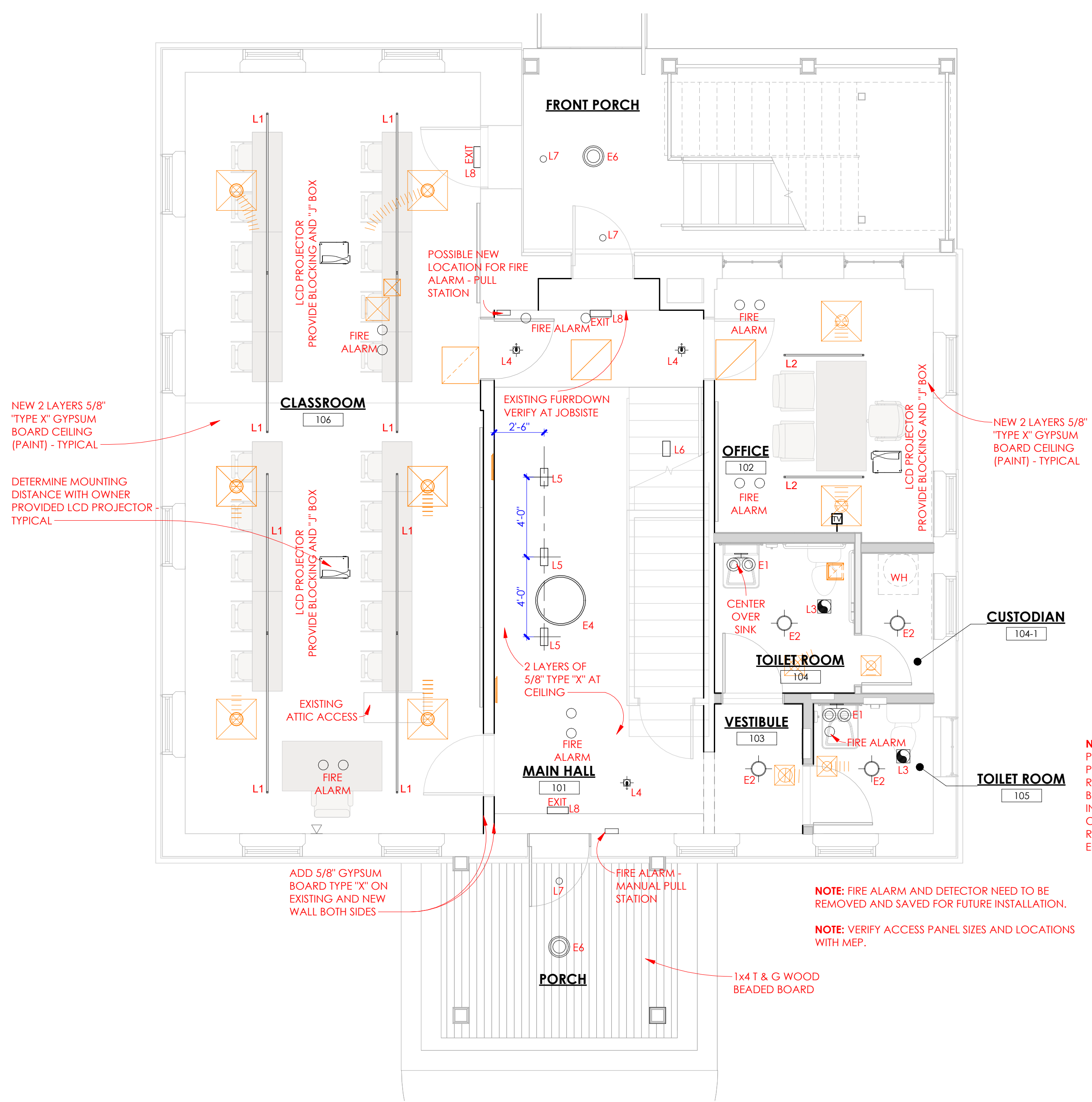
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**PERMIT SET - BID SET - 12-22-25**

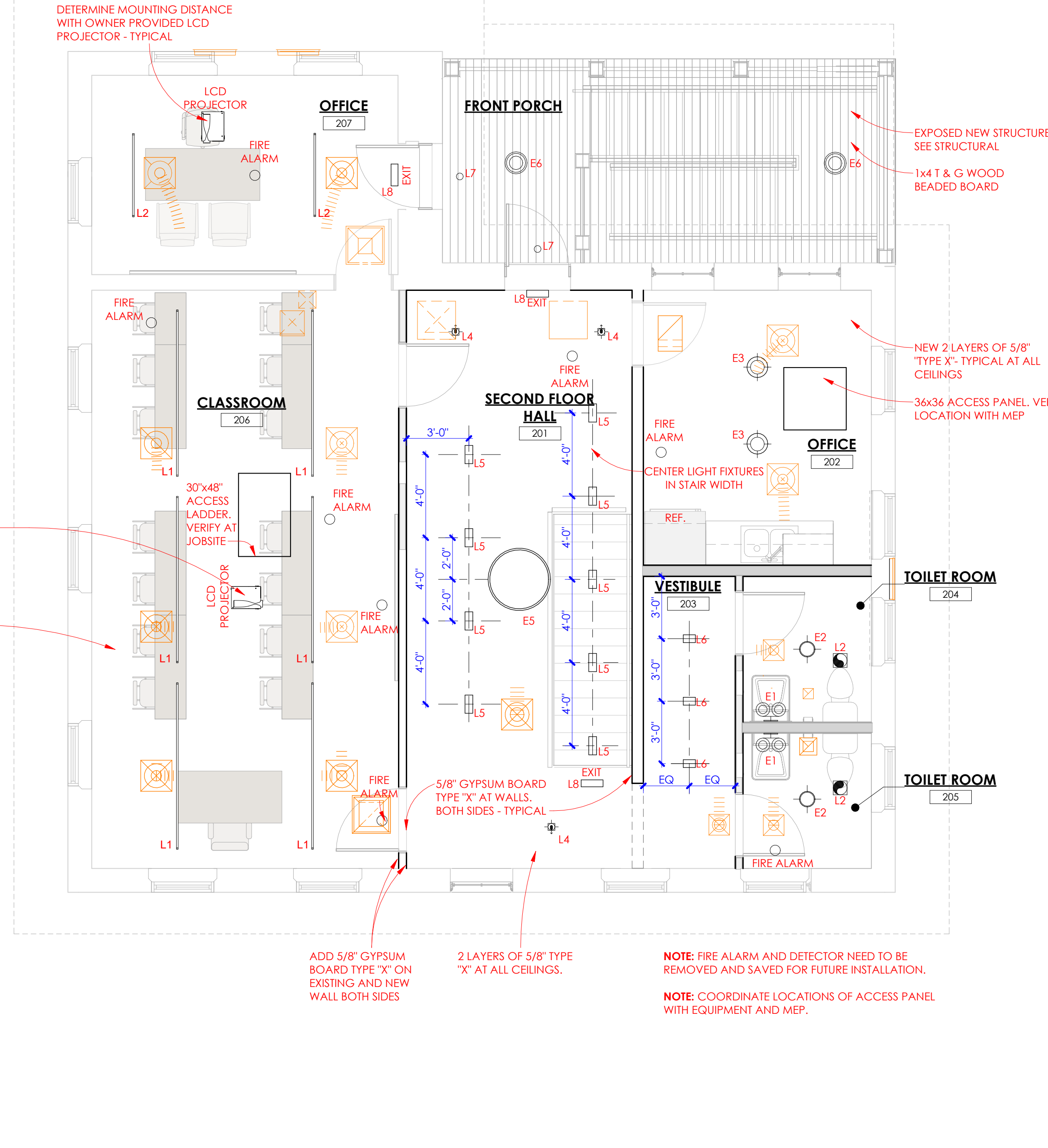
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**1 FIRST FLOOR PLAN - REFLECTED CEILING PLAN**  
 1/4" = 1'-0"

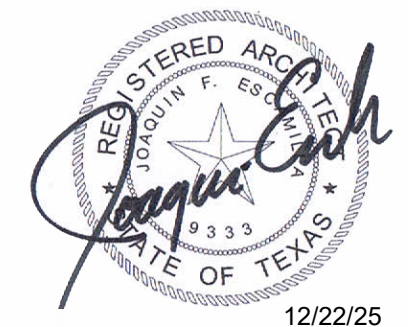


**2 SECOND FLOOR PLAN - REFLECTED CEILING PLAN**  
 1/4" = 1'-0"

**LIGHTING LEGEND**

- NOTES:**
1. ALL LIGHT FIXTURES TO BE LED. **VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH DESIGNER PRIOR TO INSTALLATION.** ALL LIGHTING SELECTION TO BE DETERMINED BY OWNER AND/OR DESIGNER. ALL LIGHTS TO MEET CURRENT LOCAL REGIONAL, STATE AND NATIONAL CODES.
  2. WATER RESISTANT 5/8" GYPSUM BOARD ON ALL WET AREAS SUCH AS BATHROOMS.
  3. VERIFY EXISTING POWER AND LIGHTING AT THE JOBSITE. COORDINATE WITH NEW POWER AND LIGHTING. SEE MEP
  4. DECORATIVE FIXTURES TO BE SELECTED BY OWNER AND/OR DESIGNER. VERIFY FINAL LOCATIONS AND MOUNTING HEIGHTS OF ALL FIXTURES AND SWITCH LOCATIONS PRIOR TO INSTALLATION.
  5. AT ALL EXISTING SWITCHES/OUTLETS TO REMAIN. REPLACE PLATES WITH NEW TO BE SELECTED. SEE MEP.
  6. MEP COORDINATE SWITCHING WITH DESIGN TEAM.

DECORATIVE LIGHTING		ARCHITECTURAL LIGHTING	
E1	WALL SCONCE FIXTURE / VANITY LIGHT	L1	LINEAR FIXTURE 8"
E2	SURFACE MOUNT FIXTURE 8"	L2	LINEAR FIXTURE 4"
E3	SURFACE MOUNT FIXTURE 12"	L3	VENT FAN - BY MEP
E4	PENDANT LIGHT 27.3"	L4	ADJUSTABLE DOWNLIGHT
E5	PENDANT LIGHT 35.3"	L5	RECESSED LINEAR LIGHT
E6	FLUSH MOUNT LIGHT 12.75"	L6	RECESSED LINEAR LIGHT
		L7	EMERGENCY (BATTERY) RECESSED LIGHT
		L8	EXIT WITH EMERGENCY LIGHT BAR

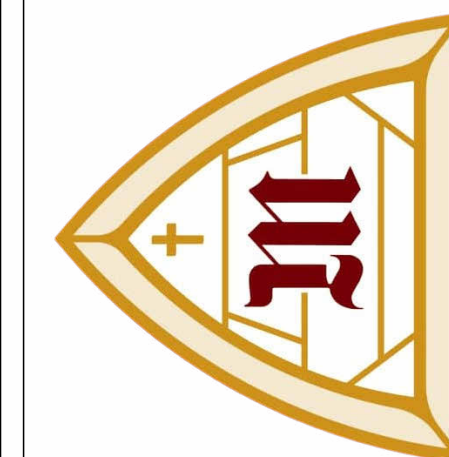


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**CASTROVILLE CATHOLIC SCHOOL**  
702 PARIS ST, CASTROVILLE, TX



JOB NO: Project Number  
DRAWN BY: Author  
BID SET  
ISSUE / REVISION:

No. Date

12/22/25

SHEET TITLE  
EXTERIOR ELEVATIONS

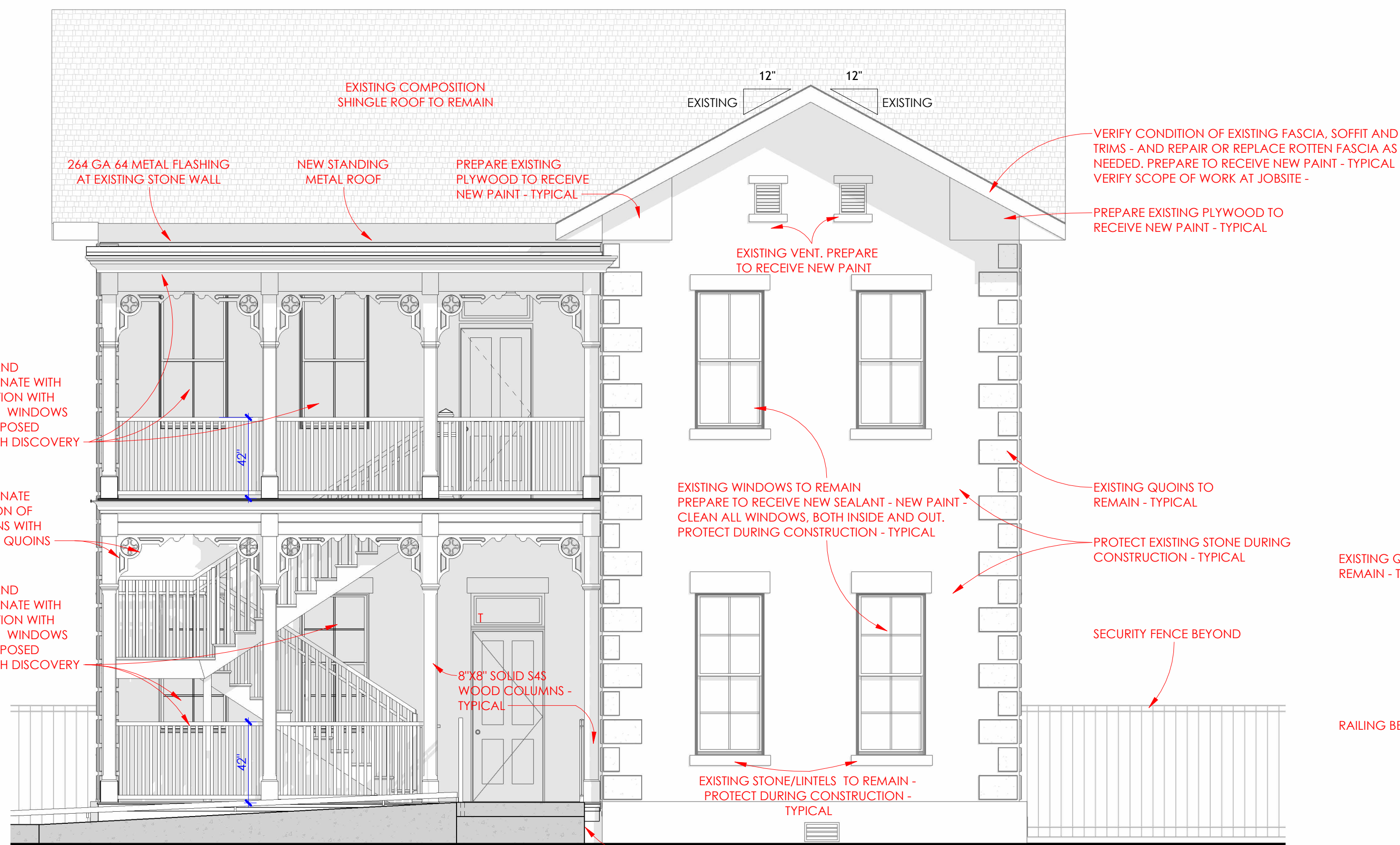
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**PERMIT SET - BID SET - 12-22-25**

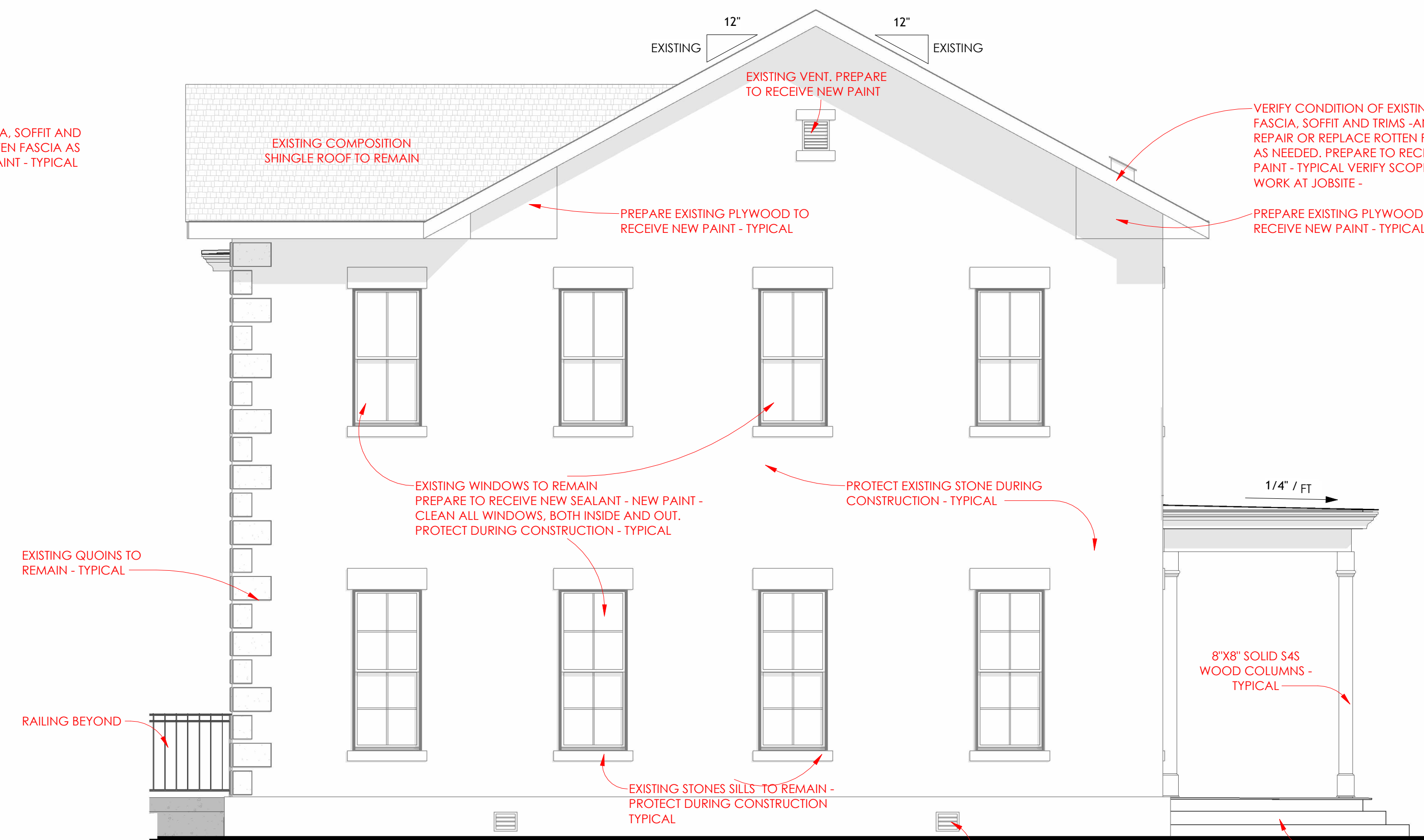
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**NOTES:**

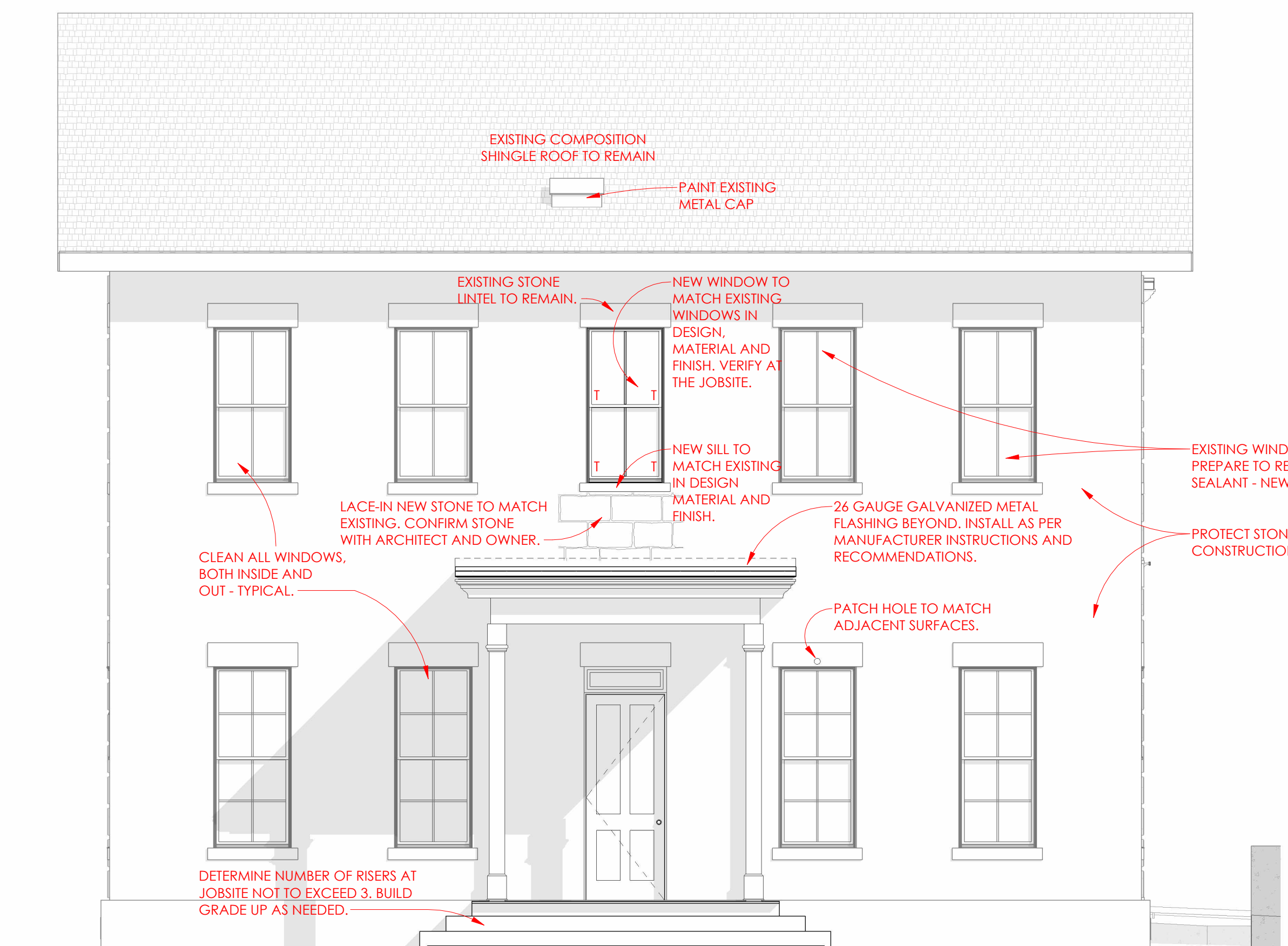
1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.



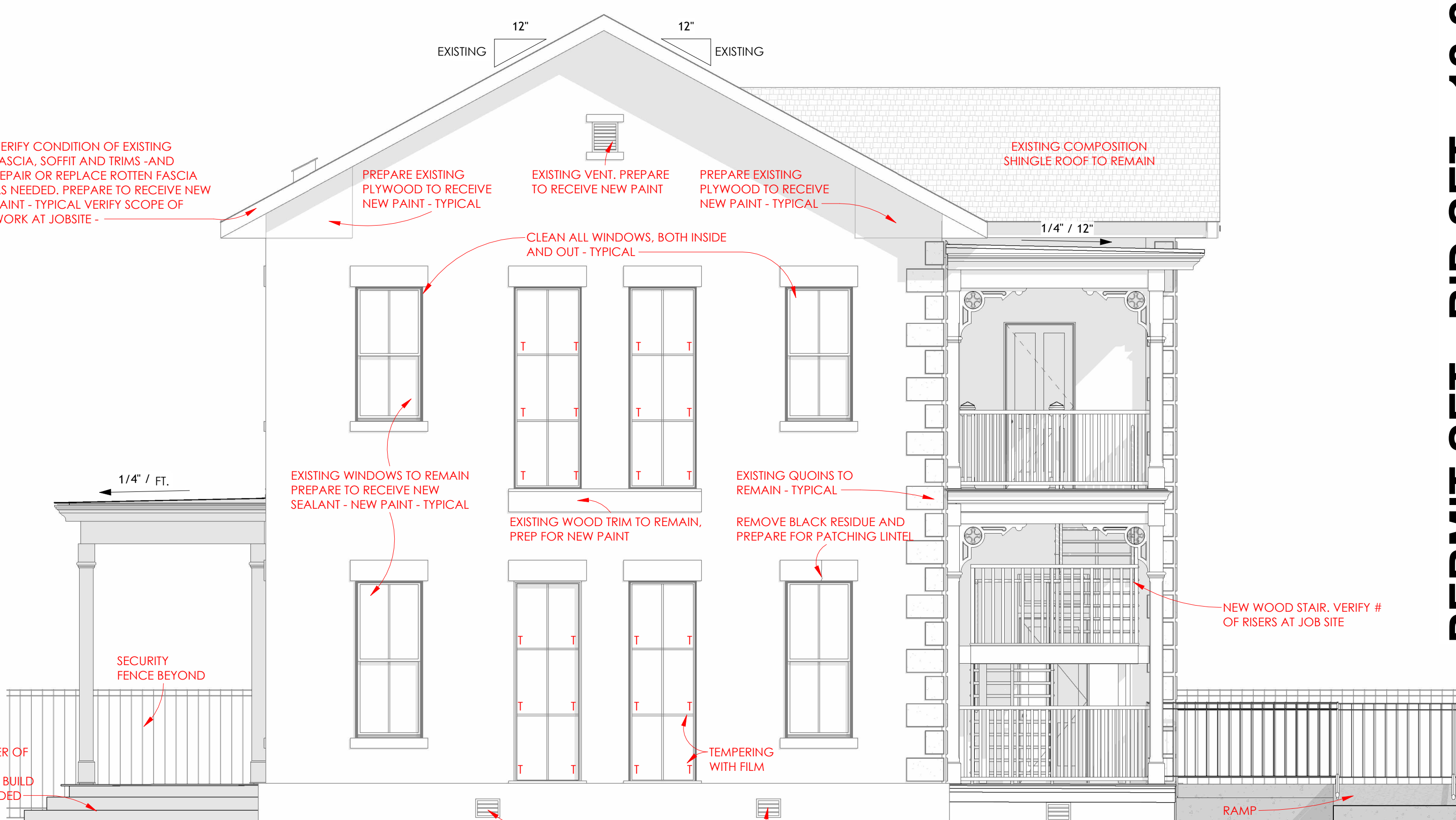
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1/4" = 1'-0"



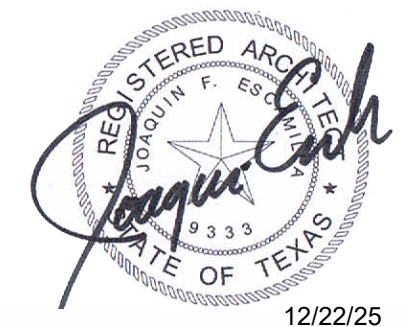
**2 REVISED WEST ELEVATION**  
1/4" = 1'-0"



**1 REVISED NORTH ELEVATION**  
1/4" = 1'-0"  
T= TEMPERING FILM



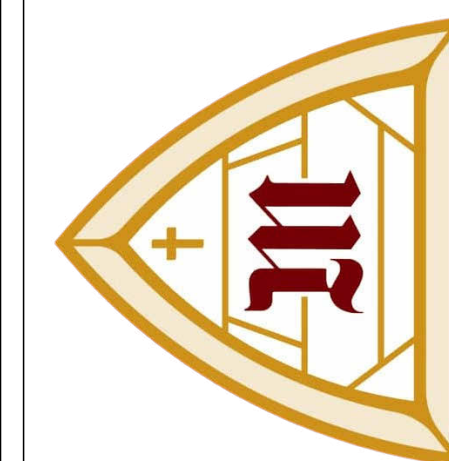
**4 REVISED EAST ELEVATION**  
1/4" = 1'-0"  
T= TEMPERING FILM



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702 PARIS ST, CASTROVILLE, TX



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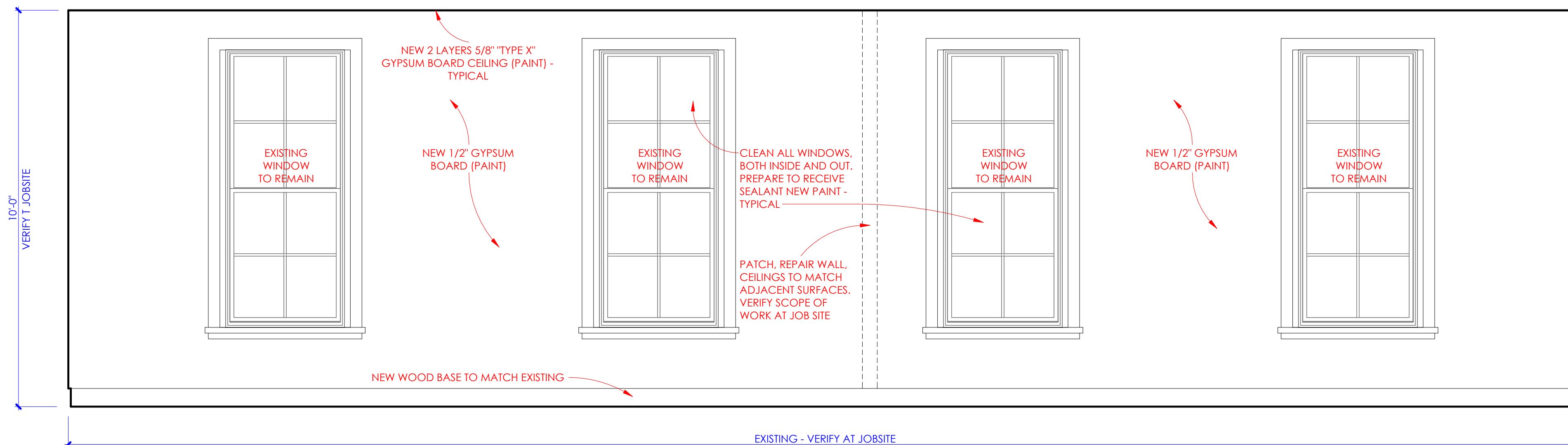
12/22/25  
SHEET TITLE  
INTERIOR  
ELEVATIONS

**A.09**

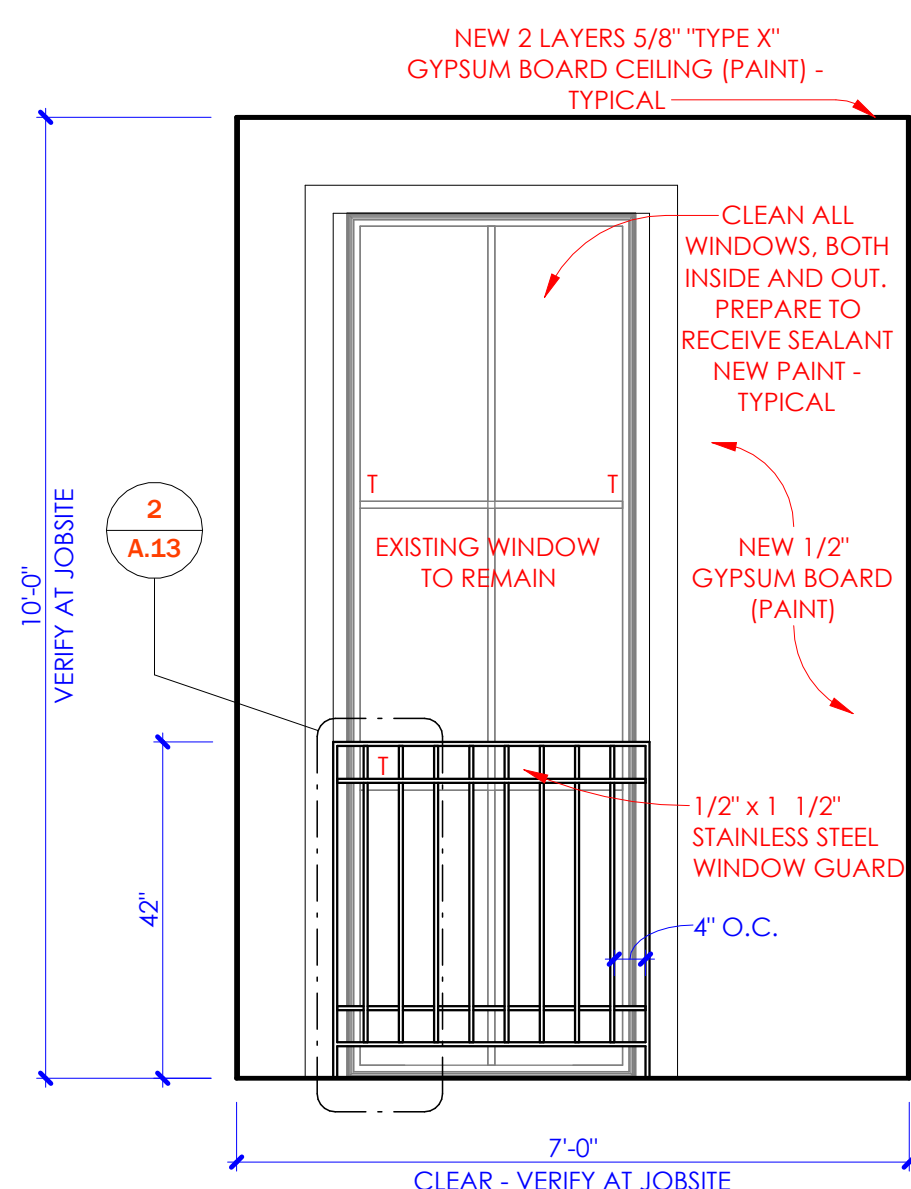
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**NOTES:**

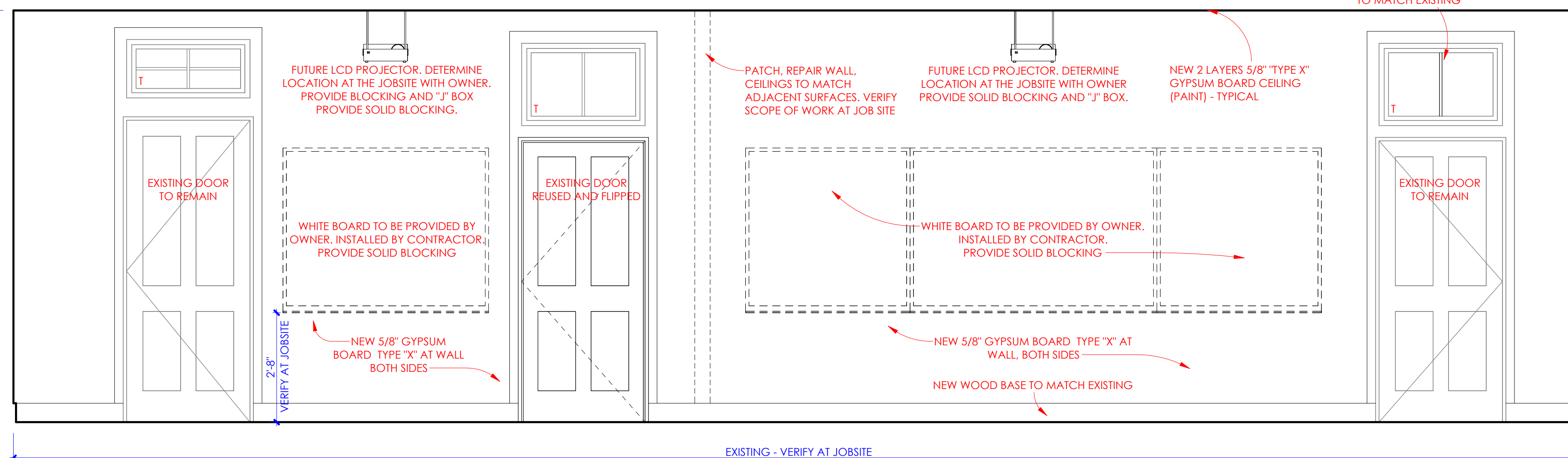
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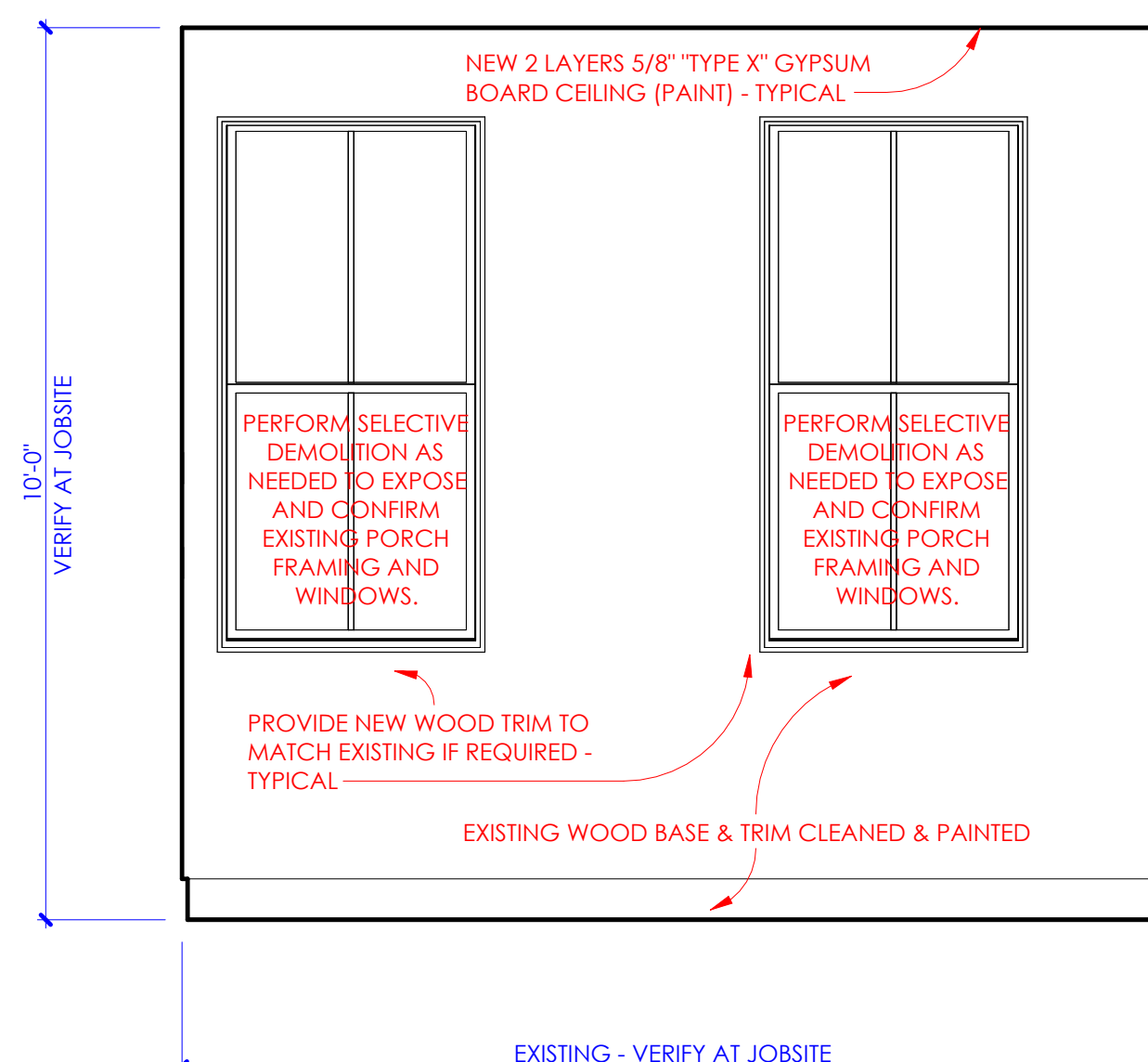
**1 CLASSROOM 106**  
1/2" = 1'-0"



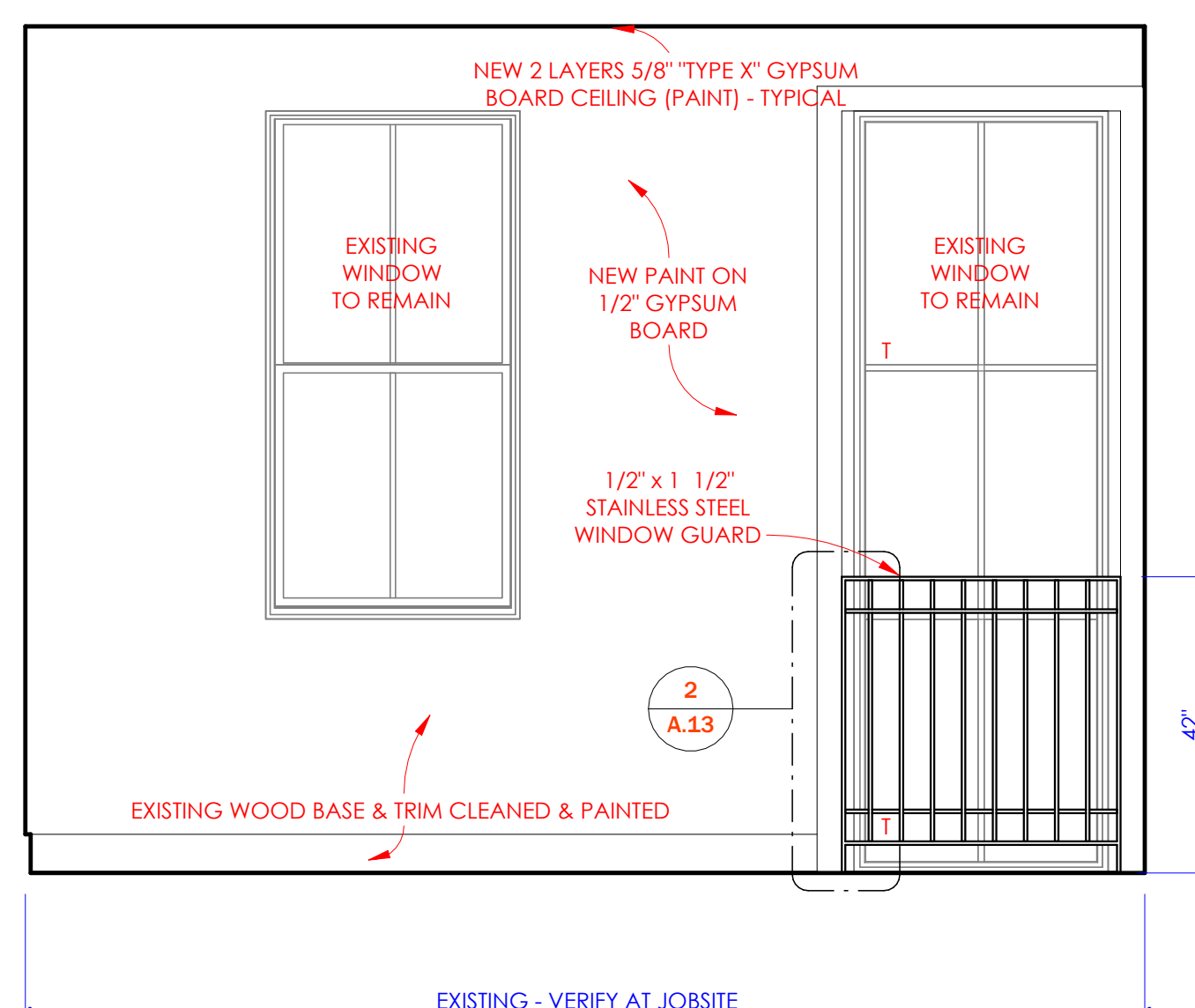
**2 CUSTODIAN**  
1/2" = 1'-0"  
T= TEMPERING FILM



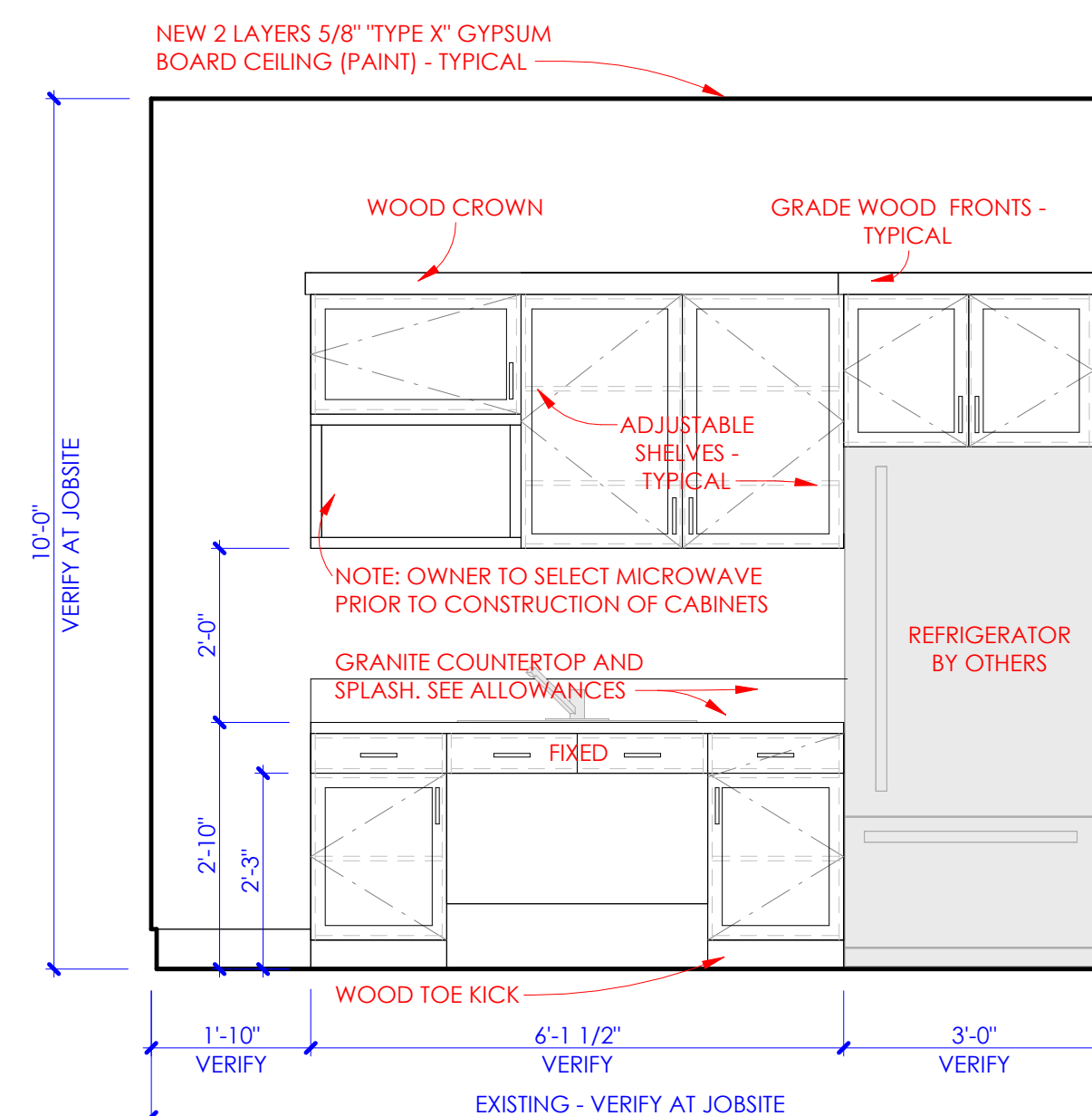
**3 CLASSROOM 106**  
1/2" = 1'-0"  
T= TEMPERING FILM



**4 OFFICE 202**  
1/2" = 1'-0"



**5 OFFICE 202**  
1/2" = 1'-0"  
T= TEMPERING FILM



**6 OFFICE 202**  
1/2" = 1'-0"

**NOTES:**

- CONTRACTOR TO COMPLY WITH ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS) IN ADDITION TO TAS/ADA REQUIREMENTS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- REFER TO SHEET A.02 ACCESSIBILITY DETAILS FOR TYPICAL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
- ALL FURNITURE, APPLIANCES, PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER.



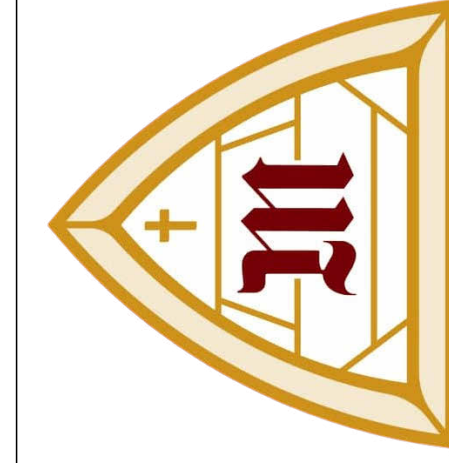


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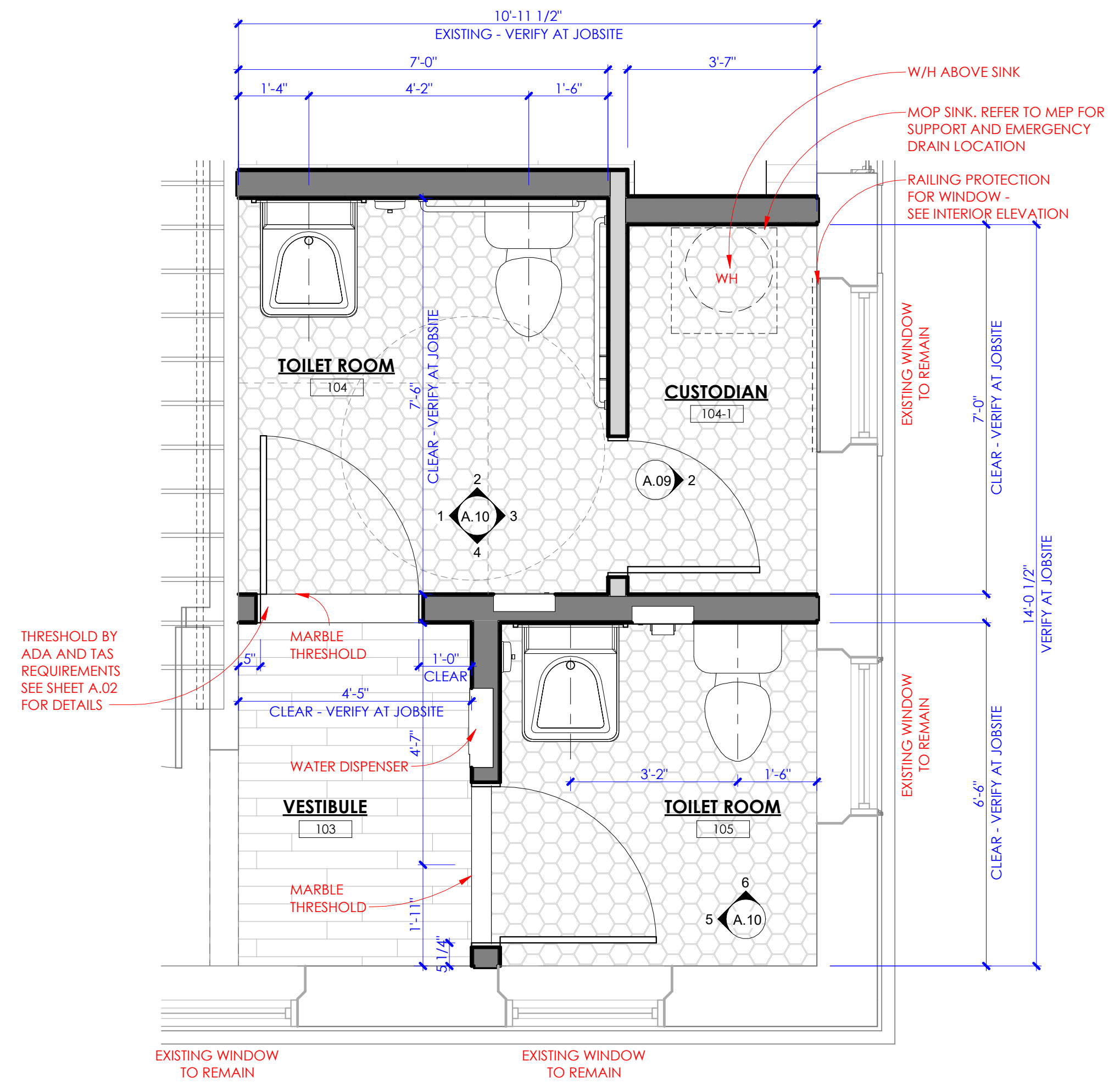
12/22/25  
SHEET TITLE  
ENLARGED PLANS

# A.11

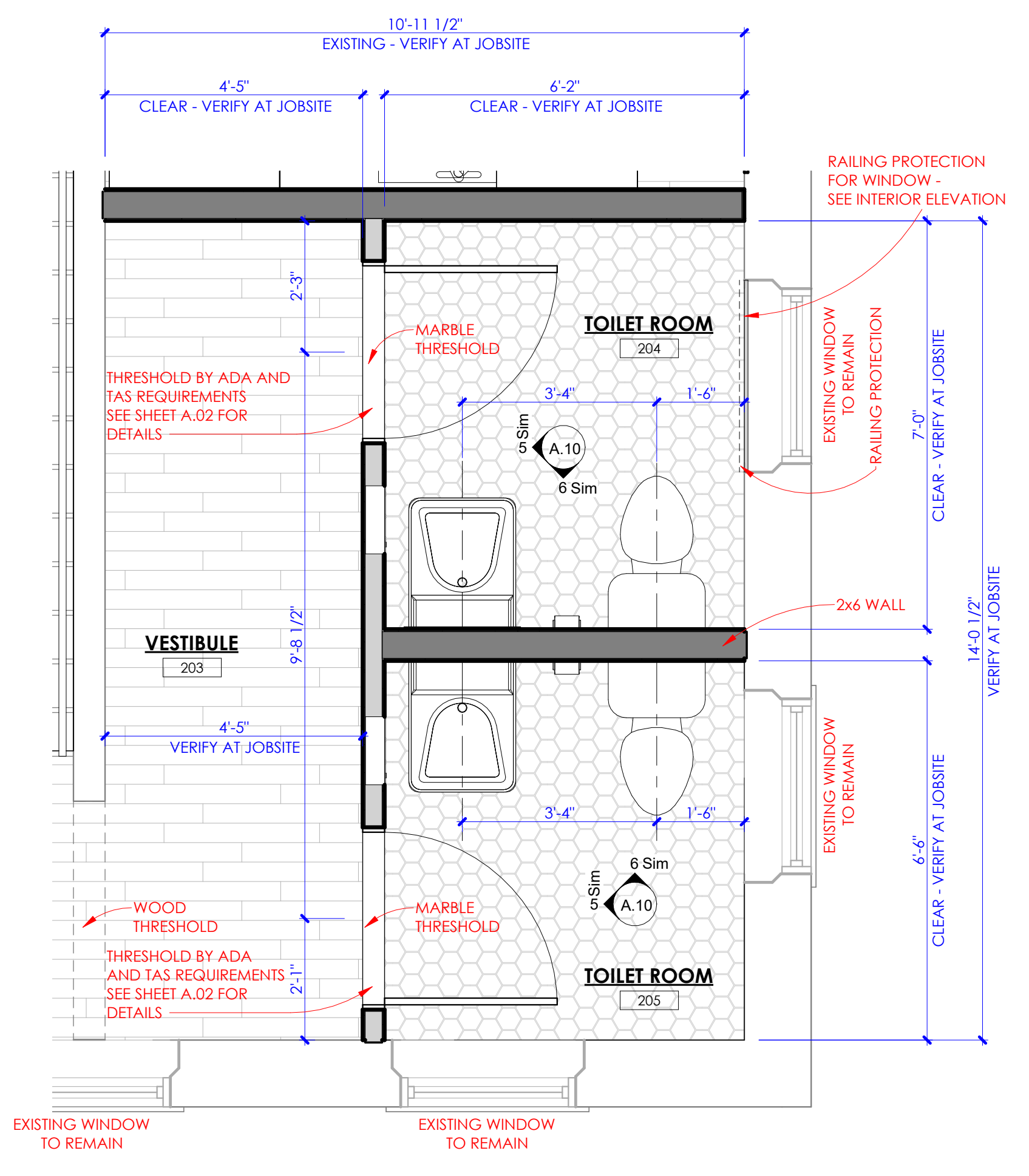
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**1** FIRST FLOOR TOILET ROOM - ENLARGED PLAN  
1/2" = 1'-0"



**2** SECOND FLOOR - TOILET ROOM - ENLARGED PLAN  
1/2" = 1'-0"

**WALL LEGEND**

- EXISTING WOOD STUD
- DEMOLISH
- NEW 2 x 6 WOOD STUDS WITH SOUND BATT INSULATION
- NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION



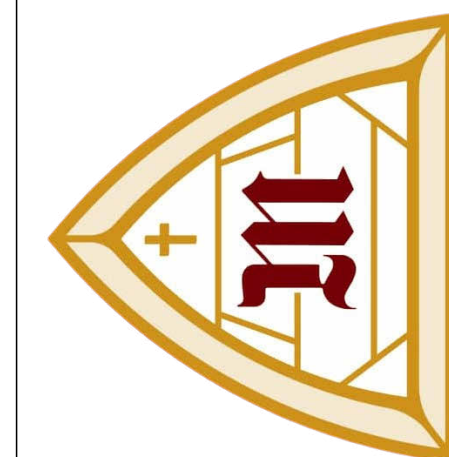




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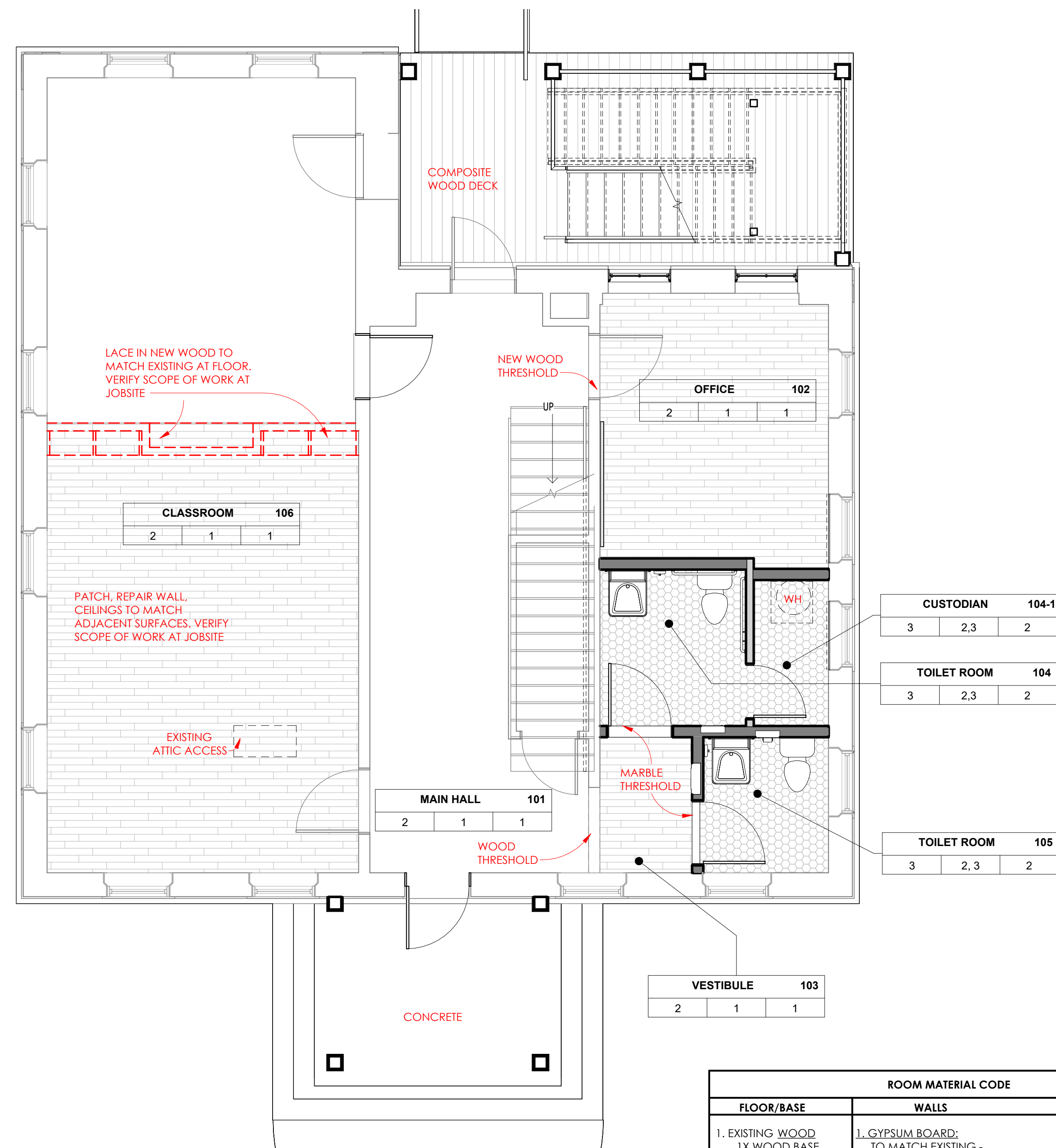
No.	Date

12/22/25  
 SHEET TITLE  
 PAINT SCHEDULE  
 PLANS

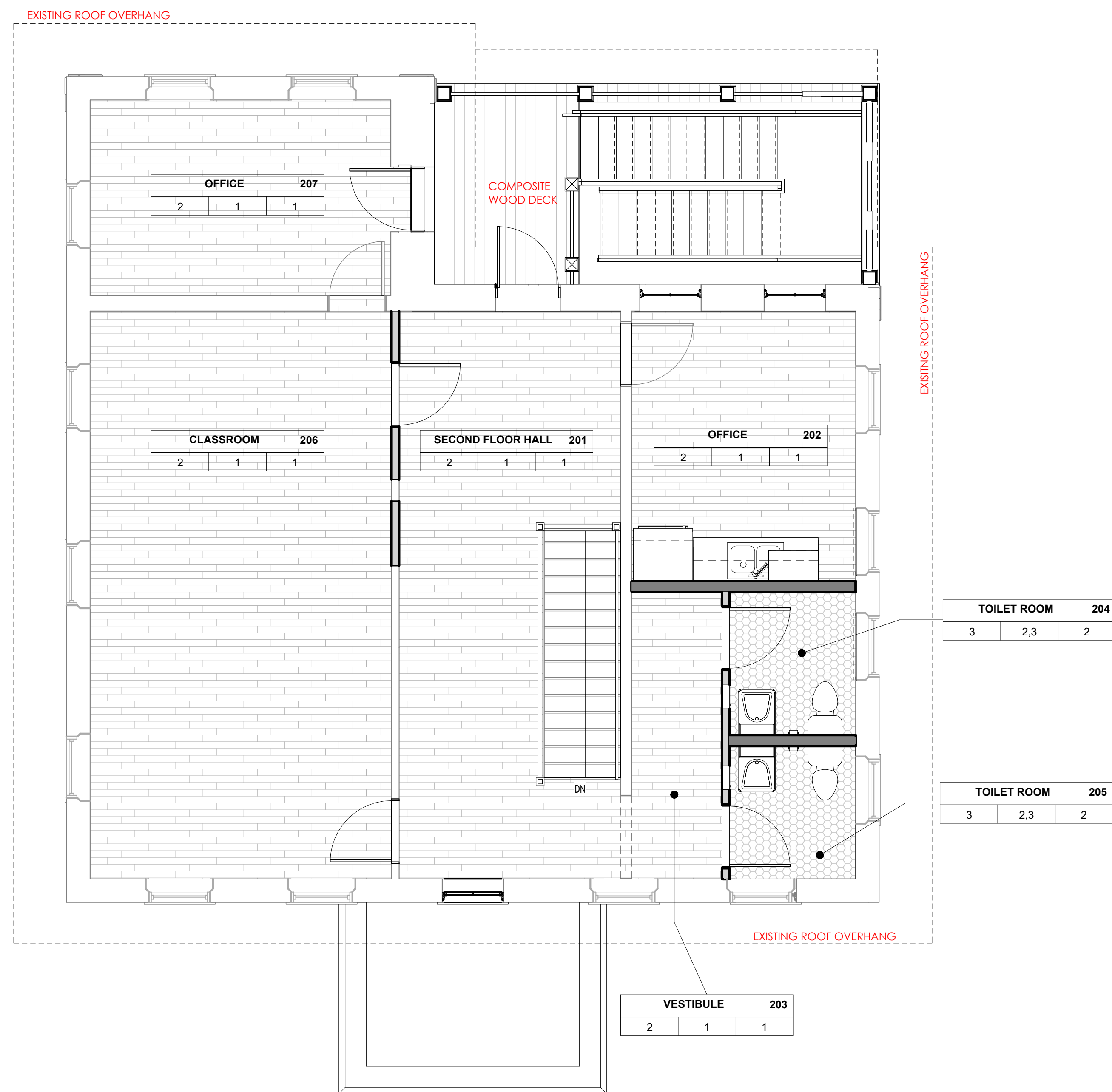
**A.14**

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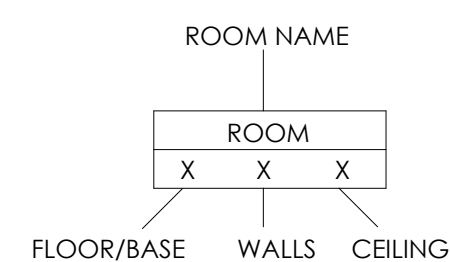
**1 FIRST FLOOR PLAN- PAINT SCHEDULE**  
 1/4" = 1'-0"



**2 SECOND FLOOR PLAN- PAINT SCHEDULE**  
 1/4" = 1'-0"

ROOM MATERIAL CODE		
FLOOR/BASE	WALLS	CEILING
1. EXISTING WOOD 1X WOOD BASE. VERIFY AT JOBSITE	1. GYPSUM BOARD; TO MATCH EXISTING - SHERWIN WILLIAMS SW 6204 SEA SALT	1. GYPSUM BOARD; TO MATCH EXISTING - SHERWIN WILLIAMS - SW 7757 HIGH REFLECTIVE WHITE.
2. NEW WOOD 1X WOOD BASE VERIFY AT JOBSITE	2. WATER RESISTIVE GYPSUM BOARD; TAPE, FLOAT, SMOOTH FINISH AND PAINT - SHERWIN WILLIAMS - SW 6189 OPALINE.	2. WATER RESISTIVE GYPSUM BOARD; TAPE, FLOAT, SMOOTH FINISH AND PAINT - SHERWIN WILLIAMS - SW 7757. HIGH REFLECTIVE WHITE
3. TILE MEROLA TILE MADISON 1X1 HEXAGON PENNY FLOOR AND - COVE BASE	3. CERAMIC TILE: MEROLA 3x6" RECTANGLE SUBWAY TILE WITH BULLNOSE TRIM - SATIN ON HARDIBOARD BACKER BOARD OR APPROVED EQUAL	

TRIM / DOORS / WOOD WORK - SHERWIN WILLIAMS - SW 7551 GREEK VILLA



**WALL FINISH SELECTIONS (PROVIDE MOCK-UP SAMPLES)**

1. WALL FINISHES: PROVIDE GYPSUM BOARD FOR ALL WALLS AND CEILINGS AS SHOWN ON DRAWINGS. PROVIDE MOCK-UPS FOR FINISH FOR APPROVAL.
2. PAINT: PROVIDE A MINIMUM OF 3 COLOR CHOICES OF EGGSHELL LATEX PAINT FOR ALL LIVING SPACES OVER GYPSUM BOARD, AND SEMI-GLOSS PAINT FOR ALL BATHROOM LOCATIONS.
3. WOOD BASE: VERIFY LOCATION OF EXISTING AND NEW BASE. NEW BASE TO BE SOLID 3/4" PINE OR POPLAR (NO MDF), BASE TO BE PAINTED WITH SEMI-GLOSS LATEX PAINT. NOTE: MATCH BASE OF CABINERY COLOR AND MATERIAL TO SELECTED CABINET FINISH.

**CEILING FINISH SELECTIONS (PROVIDE MOCK UP SAMPLES)**

1. GYPSUM BOARD CEILINGS: PROVIDE GYPSUM BOARD WITH SMOOTH FINISH READY FOR PAINT.

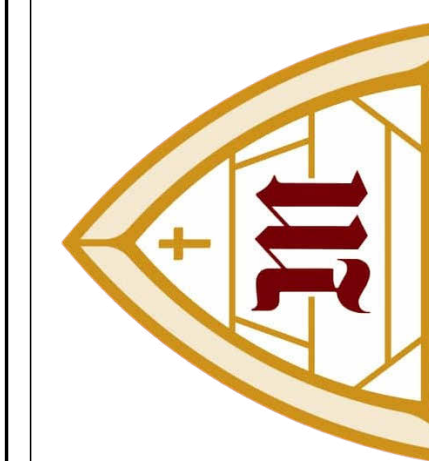


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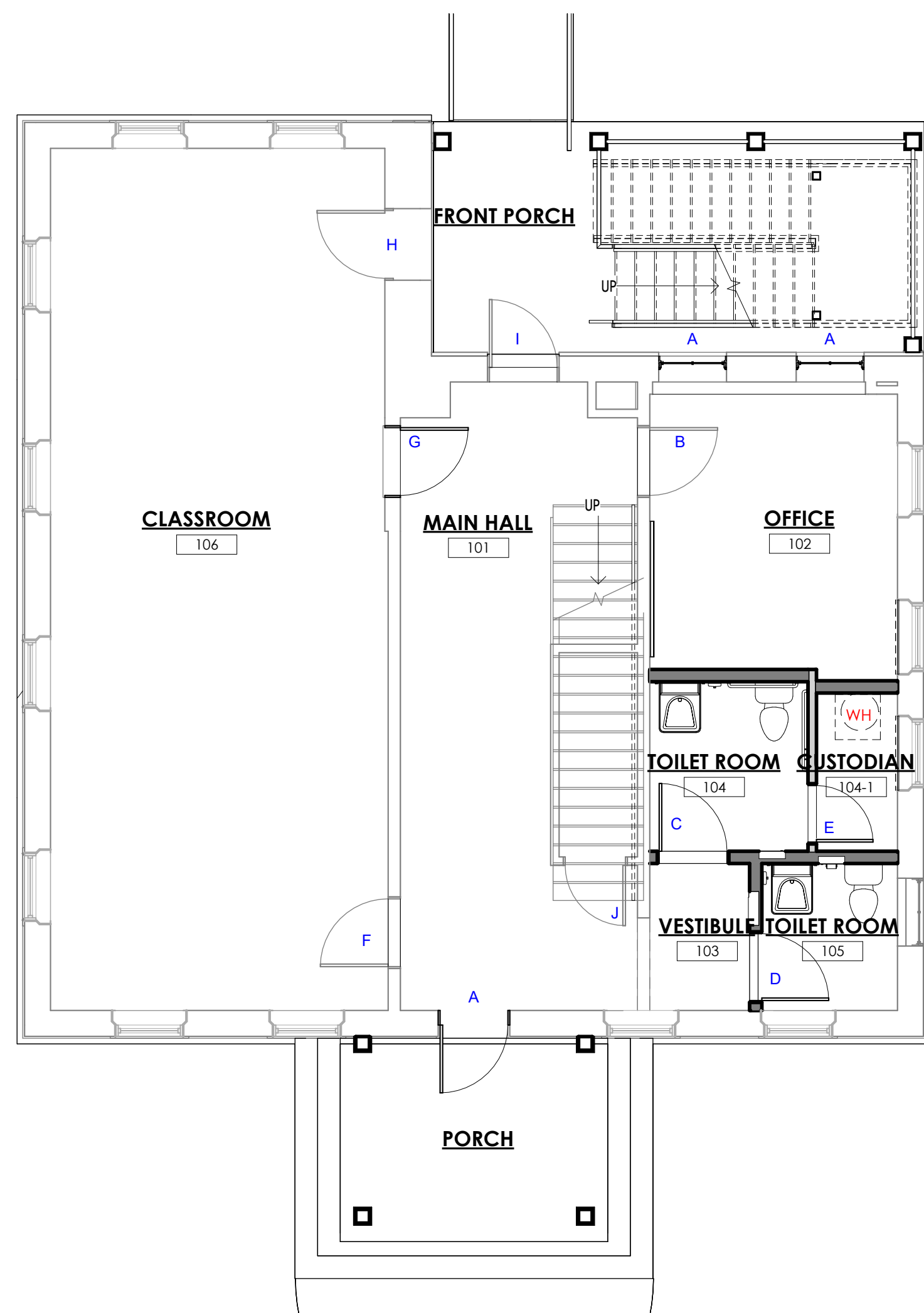
SHEET TITLE  
**DOOR AND WINDOW SCHEDULE**

**A.15**

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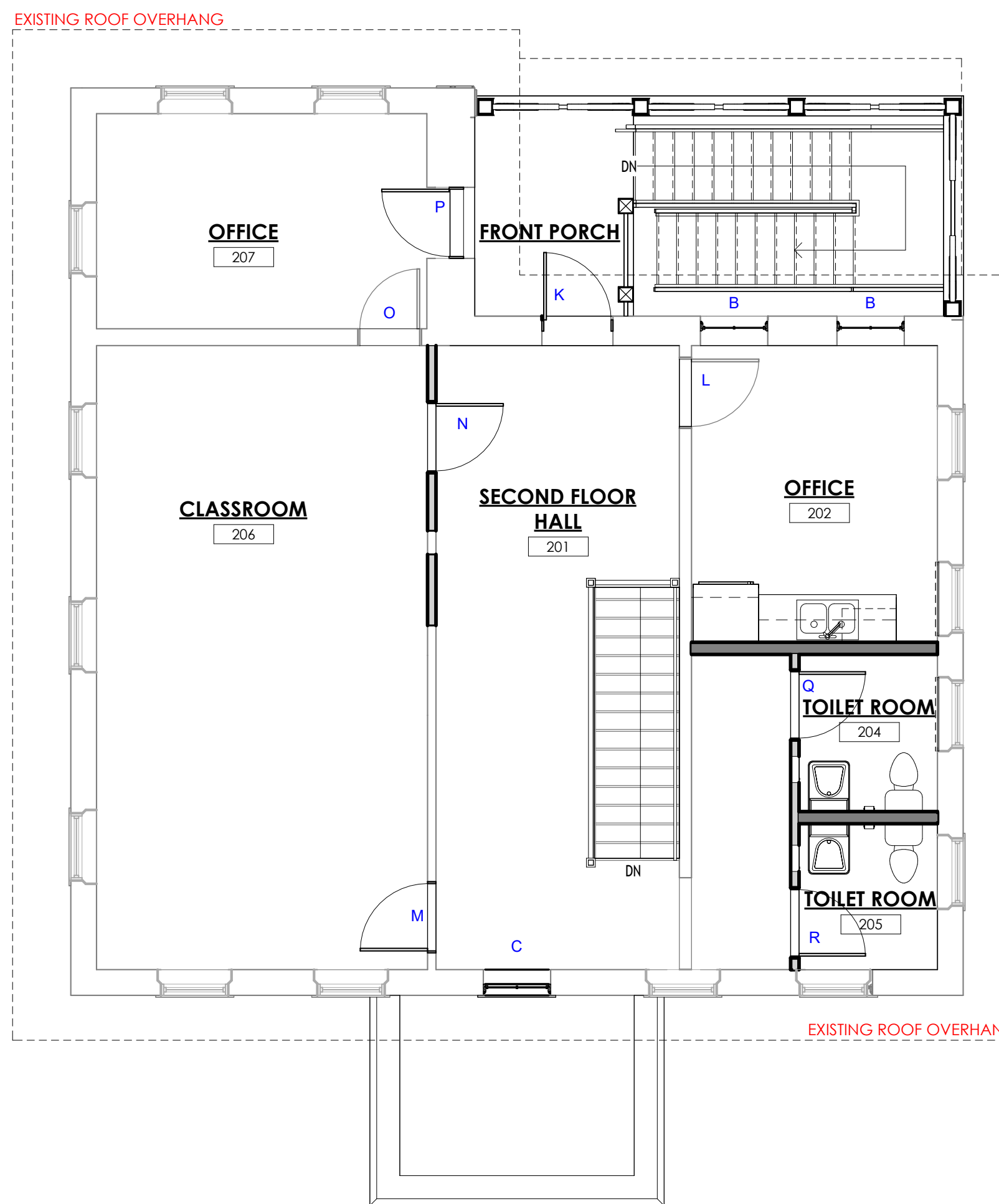
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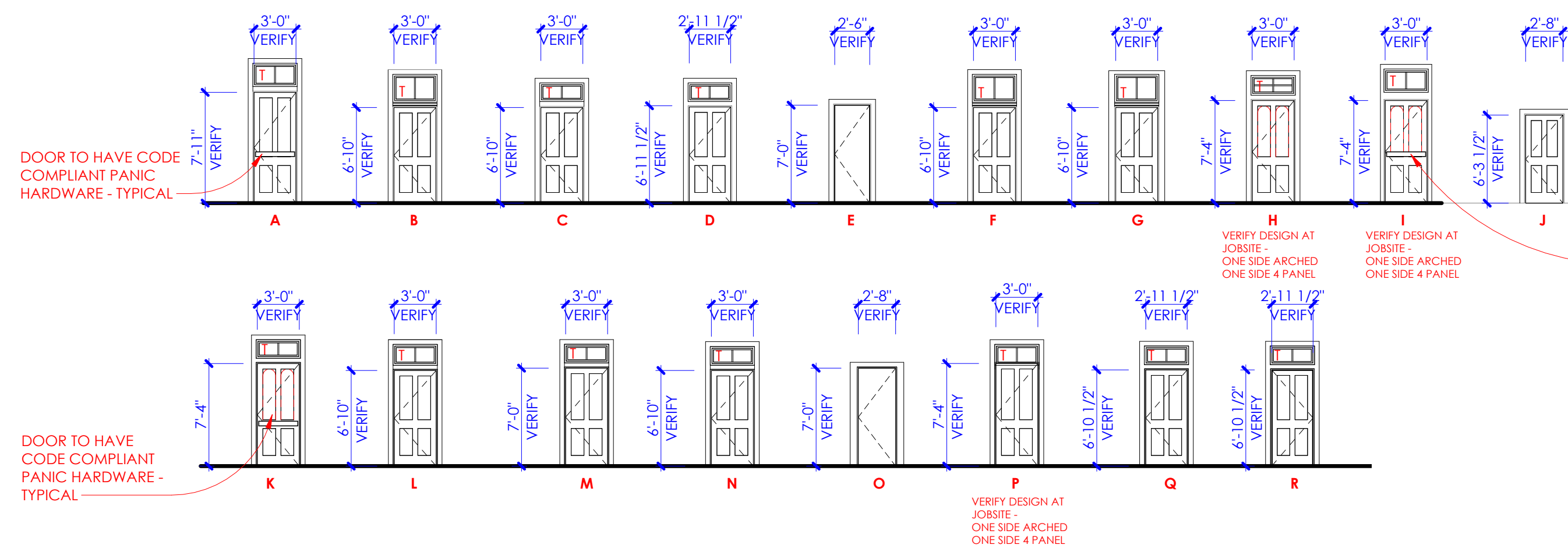
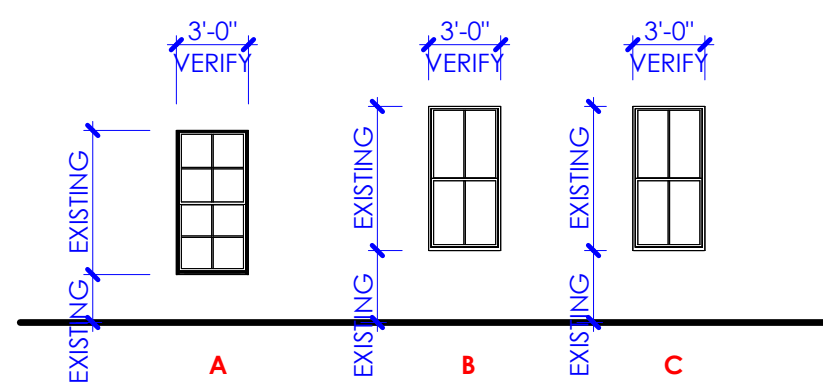
**1** FIRST FLOOR DOOR AND WINDOW SCHEDULE  
3/16" = 1'-0"

DOOR SCHEDULE					
TYPE MARK	WIDTH	HEIGHT	COMMENTS	FROM ROOM	TO ROOM
L1 - FFL					
A	3'-0"	7'-11"	EXISTING DOOR - REUSED AND FLIPPED	PORCH	MAIN HALL
B	3'-0"	6'-10"	EXISTING DOOR TO REMAIN	MAIN HALL	OFFICE
C	3'-0"	6'-10"	DOOR POTENTIALLY TO BE REUSED FROM EXISTING BATHROOMS	VESTIBULE	TOILET ROOM
D	2'-11 1/2"	6'-10 1/2"	DOOR POTENTIALLY TO BE REUSED FROM EXISTING BATHROOMS	VESTIBULE	TOILET ROOM
E	2'-6"	7'-0"	DOOR POTENTIALLY TO BE REUSED FROM EXISTING PANTRY	TOILET ROOM	CUSTODIAN
F	3'-0"	6'-10"	EXISTING DOOR TO REMAIN	MAIN HALL	CLASSROOM
G	3'-0"	6'-10"	DOOR - REUSED AND FLIPPED	MAIN HALL	CLASSROOM
H	3'-0"	7'-4"	EXISTING DOOR TO REMAIN	FRONT PORCH	CLASSROOM
I	3'-0"	7'-4"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	MAIN HALL	FRONT PORCH
J	2'-8"	6'-3 1/2"	EXISTING DOOR TO REMAIN	ELECTRICAL ROOM	MAIN HALL
L2 - FFL					
K	3'-0"	7'-4"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	FRONT PORCH	SECOND FLOOR HALL
L	3'-0"	6'-10"	EXISTING DOOR TO REMAIN	SECOND FLOOR HALL	OFFICE
M	3'-0"	7'-0"	EXISTING DOOR - REUSE AND FLIPPED	SECOND FLOOR HALL	CLASSROOM
N	3'-0"	6'-10"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	CLASSROOM	SECOND FLOOR HALL
O	2'-8"	7'-0"	EXISTING DOOR TO REMAIN	CLASSROOM	OFFICE
P	3'-0"	7'-4"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	OFFICE	FRONT PORCH
Q	2'-11 1/2"	6'-10 1/2"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	TOILET ROOM	VESTIBULE
R	2'-11 1/2"	6'-10 1/2"	REUSE DOOR SALVAGED FROM EXISTING DOORS REMOVED IN DEMOLITION AREAS	VESTIBULE	TOILET ROOM



**2** SECOND FLOOR DOOR AND WINDOW SCHEDULE  
3/16" = 1'-0"

WINDOW SCHEDULE					
TYPE MARK	COUNT	WIDTH	HEIGHT	COMMENTS	
L1 - FFL					
A	1	VERIFY	VERIFY	WINDOW MAY BE REUSED IF FOUND DURING SELECTIVE DEMOLITION AT FRONT PORCH WALL.	
A	1	VERIFY	VERIFY	WINDOW MAY BE REUSED IF FOUND DURING SELECTIVE DEMOLITION AT FRONT PORCH WALL.	
L2 - FFL					
B	1	VERIFY	VERIFY	WINDOW MAY BE REUSED IF FOUND DURING SELECTIVE DEMOLITION AT FRONT PORCH WALL.	
B	1	VERIFY	VERIFY	WINDOW MAY BE REUSED IF FOUND DURING SELECTIVE DEMOLITION AT FRONT PORCH WALL.	
C	1	VERIFY	VERIFY	IF POSSIBLE REUSE WINDOW SALVAGED FROM EXISTING WINDOWS REMOVED IN DEMOLITION AREAS. TO MATCH EXISTING	

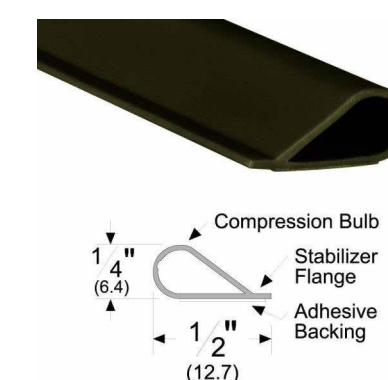


T= TEMPERED - ADD TEMPERING FILM  
DOOR TO HAVE CODE COMPLIANT PANIC HARDWARE - TYPICAL

**NOTE:** VERIFY ALL EXISTING DOORS TO REMAIN AND TO REUSE AT THE JOBSITE PRIOR TO DEMOLITION

**NOTE:** INSTALL ALL HARDWARE IN COMPLIANCE WITH ADOPTED AND LATEST CODES INCLUDING TRIMS, WEATHERSTRIPPING, ETC.

**NOTE:** VERIFY THE WIDTH AND HEIGHT OF ALL DOORS AND WINDOWS SCHEDULED FOR DEMOLITION TO DETERMINE THEIR SUITABILITY FOR REUSE AND RELOCATION IN OTHER DESIGNATED AREAS.



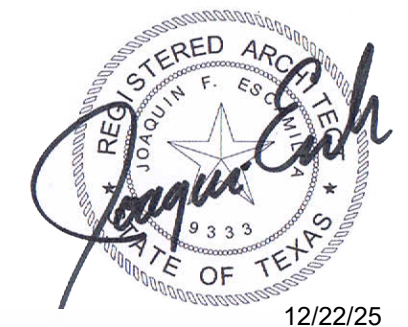
PEMCO S88 ADHESIVE - BACKED FIRE / SMOKE SILICONE SEAL PERIMETER GASKETING - OR APPROVED EQUAL FOR INTERIOR DOORS. COORDINATE WITH EXISTING DOORS.



ED900 DOOR STOP - OR APPROVED EQUAL FOR DOORS - VERIFY WITH OWNER AND ARCHITECT. COORDINATE WITH EXISTING DOORS.



CROSS BAR PANIC EXIT DEVICE, UL PANIC RATED OR APPROVED EQUAL, MUST MEET ADA REQUIREMENTS. COORDINATE WITH EXISTING DOORS.

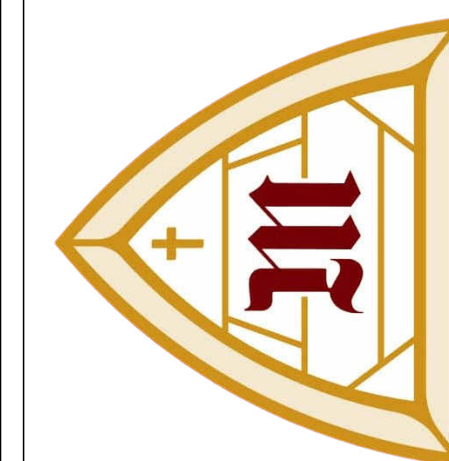


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# CASTROVILLE CATHOLIC SCHOOL

702 PARIS ST, CASTROVILLE, TX



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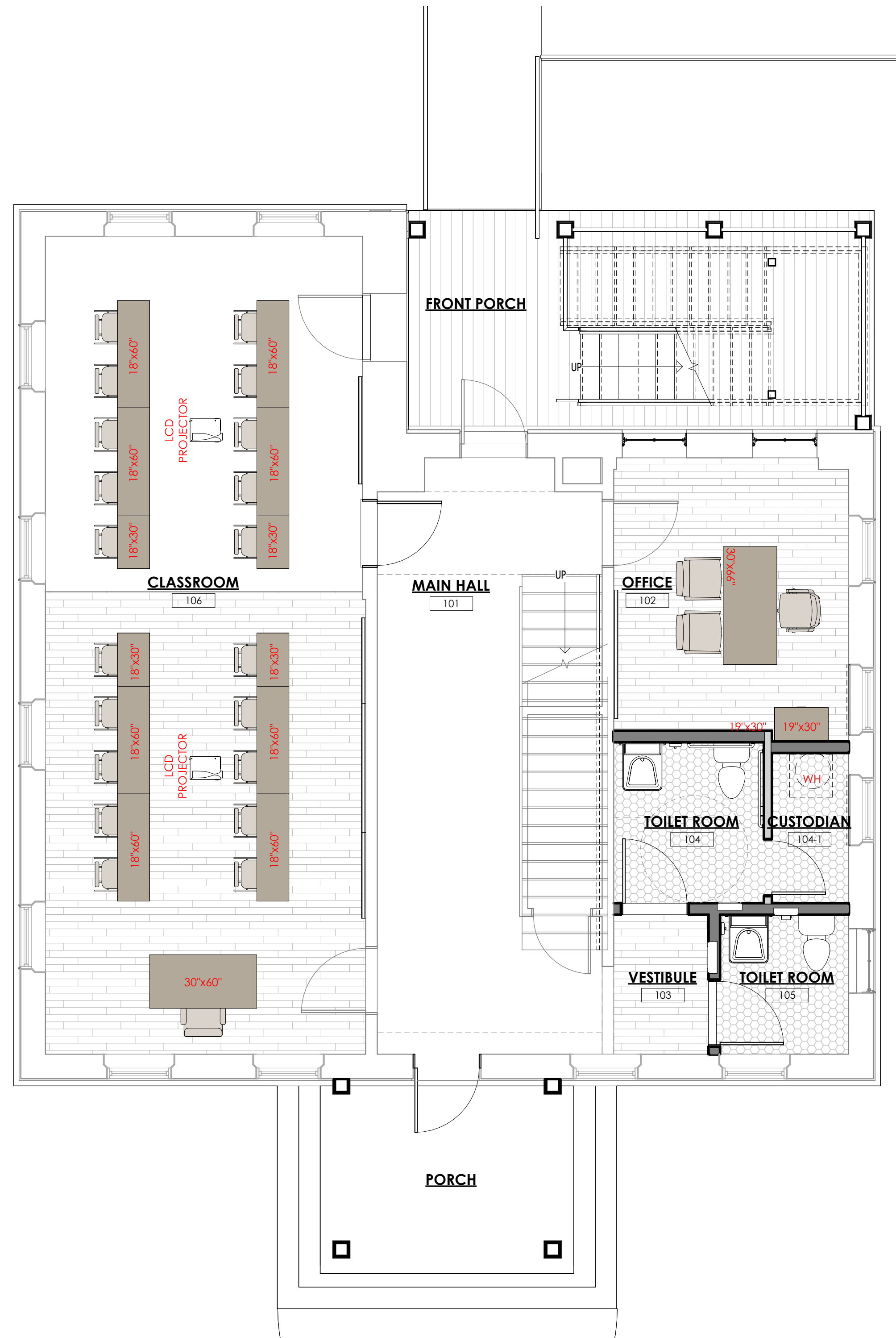
12/22/25  
SHEET TITLE  
SUGGESTED FURNITURE PLAN LAYOUT

# A.16

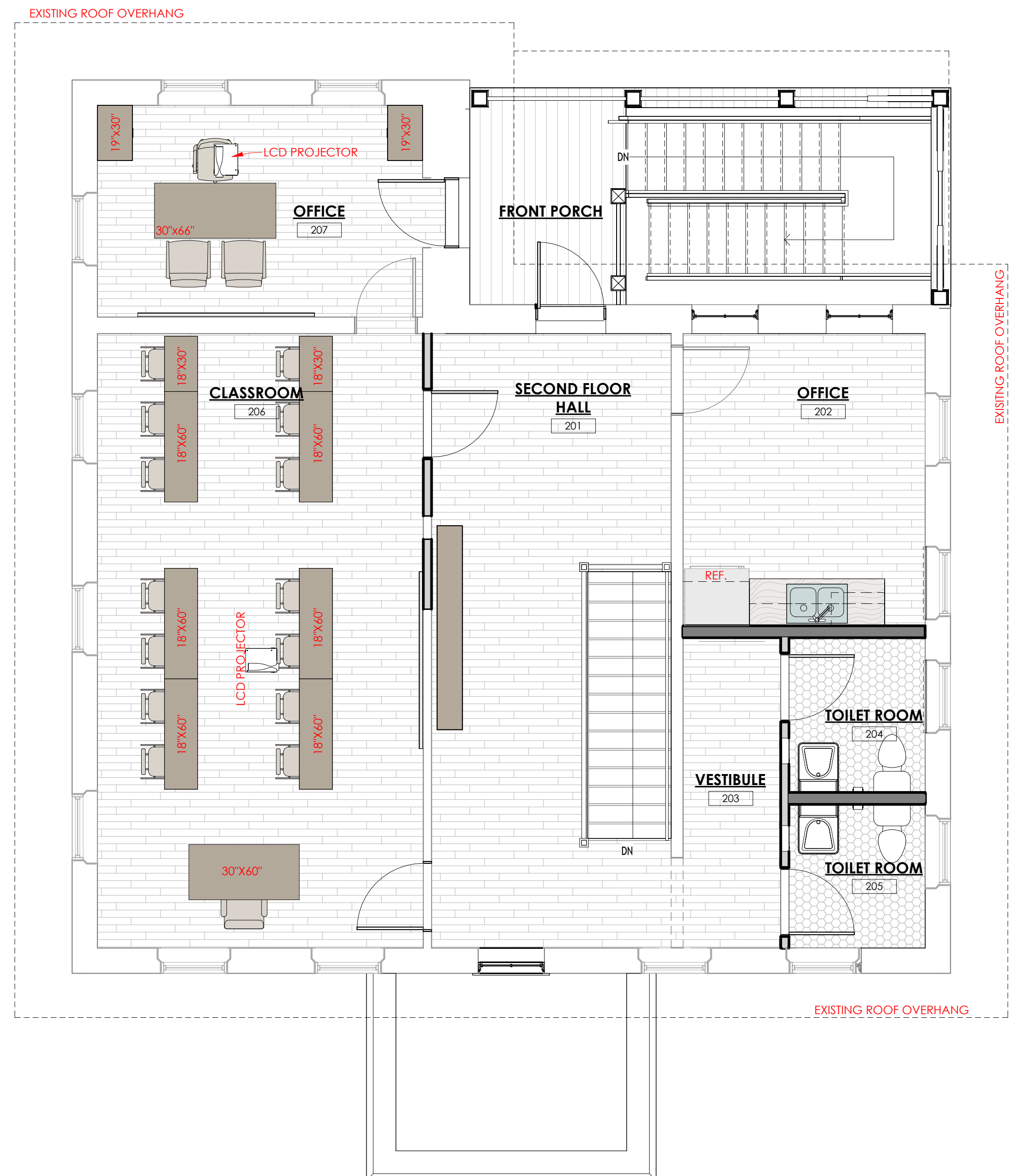
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**1 FIRST FLOOR PLAN - SUGGESTED FURNITURE LAYOUT**  
1/4" = 1'-0"  
**NOTE: FURNITURE NOT IN CONTRACT**



**2 SECOND FLOOR PLAN - SUGGESTED FURNITURE LAYOUT**  
1/4" = 1'-0"  
**NOTE: FURNITURE NOT IN CONTRACT**



**CES Engineering Services TX, LLC**  
 License F-19994  
 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
 210.686.1614  
 ceseng.com  
 CES #250812.00

**UNDERGROUND UTILITY NOTE**

THE CONTRACTOR IS TO BE FULLY RESPONSIBLE FOR CONTACTING THE LOCAL CABLE TELEVISION COMPANY, POWER COMPANY, TELEPHONE COMPANY, GAS COMPANY, WATER AND SEWER COMPANY AND ANY OTHER UTILITY COMPANY WITHIN THE AREA PRIOR TO PROCEEDING WITH ANY EXCAVATION. BY LAW, THE CONTRACTOR IS REQUIRED TO CALL BEFORE DOING ANY EXCAVATION, DIGGING HOLES OR DRIVING POSTS REGARDLESS OF WHETHER IT IS WITHIN THE STREET LINE OR ON PRIVATE PROPERTY. OBTAIN INFORMATION REGARDING THE EXISTENCE AND LOCATION OF ANY UNDERGROUND FACILITIES BY CALLING 811.

**WATER PREVENTION MEASURES**

1. PITCH ALL UNDERGROUND CONDUITS SUCH THAT THEY ARE ANGLED DOWNWARDS AWAY FROM THE BUILDING. CONDUITS SHALL NOT BE PITCHED DOWNWARDS TOWARD THE BUILDING, ALLOWING GROUND WATER TO ENTER BUILDING.
2. PROVIDE FOAM SEALANT FOR ALL ACTIVE ELECTRIC CONDUITS CONTAINING CONDUCTORS, EQUAL TO POLYURETHANE. LOCATE AT INTERIOR END OF EACH ACTIVE CONDUIT (AT EXTERIOR ENCLOSURE AND WHERE CONDUIT TERMINATES IN BUILDING). FOR SPARE CONDUITS WITHOUT CONDUCTORS, PROVIDE CAP AT EACH END.
3. ALL CONDUITS (ACTIVE AND SPARE) SHALL SWEEP UPWARD A MINIMUM OF 12" ABOVE THE BASE OF HANDHOLES OR OTHER EXTERIOR STRUCTURES.
4. COORDINATE SWEEP AT TRANSFORMER PADS WITH UTILITY COMPANY DETAILS AND STANDARDS.

**GENERAL SITE ELECTRICAL NOTES**

1. REFER TO DRAWING E0.00 FOR SYMBOLS LIST.
2. REFER TO DRAWING E3.00 AND E51.00 FOR SITE ELECTRICAL DETAILS.
3. WHERE UNDERGROUND UTILITIES ARE LIKELY TO BE ENCOUNTERED THE CONTRACTOR SHALL EXCAVATE BY HAND.
4. REFER TO LANDSCAPE & CIVIL SITE PLANS FOR FINAL LOCATIONS OF LIGHTING FIXTURES, FLAGPOLES AND OTHER SITE UTILITIES.
5. PROVIDE CONDUIT PLUGS WITH 1/4" NYLON DRAG LINE ATTACHED IN ALL EMPTY CONDUITS.
6. EXISTING OVERHEAD UTILITIES NOT SHOWN. COORDINATE WITH UTILITY COMPANY AS REQUIRED.

**ISSUANCES**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

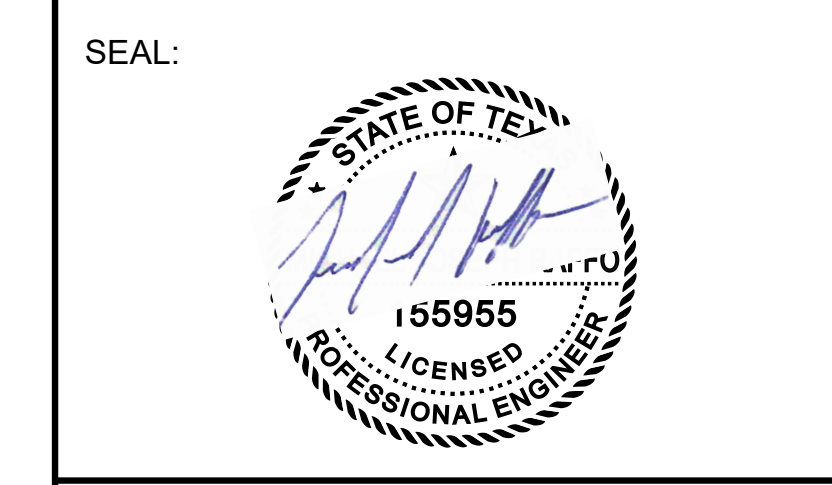
**REVISIONS**

NO.	DATE	DESCRIPTION

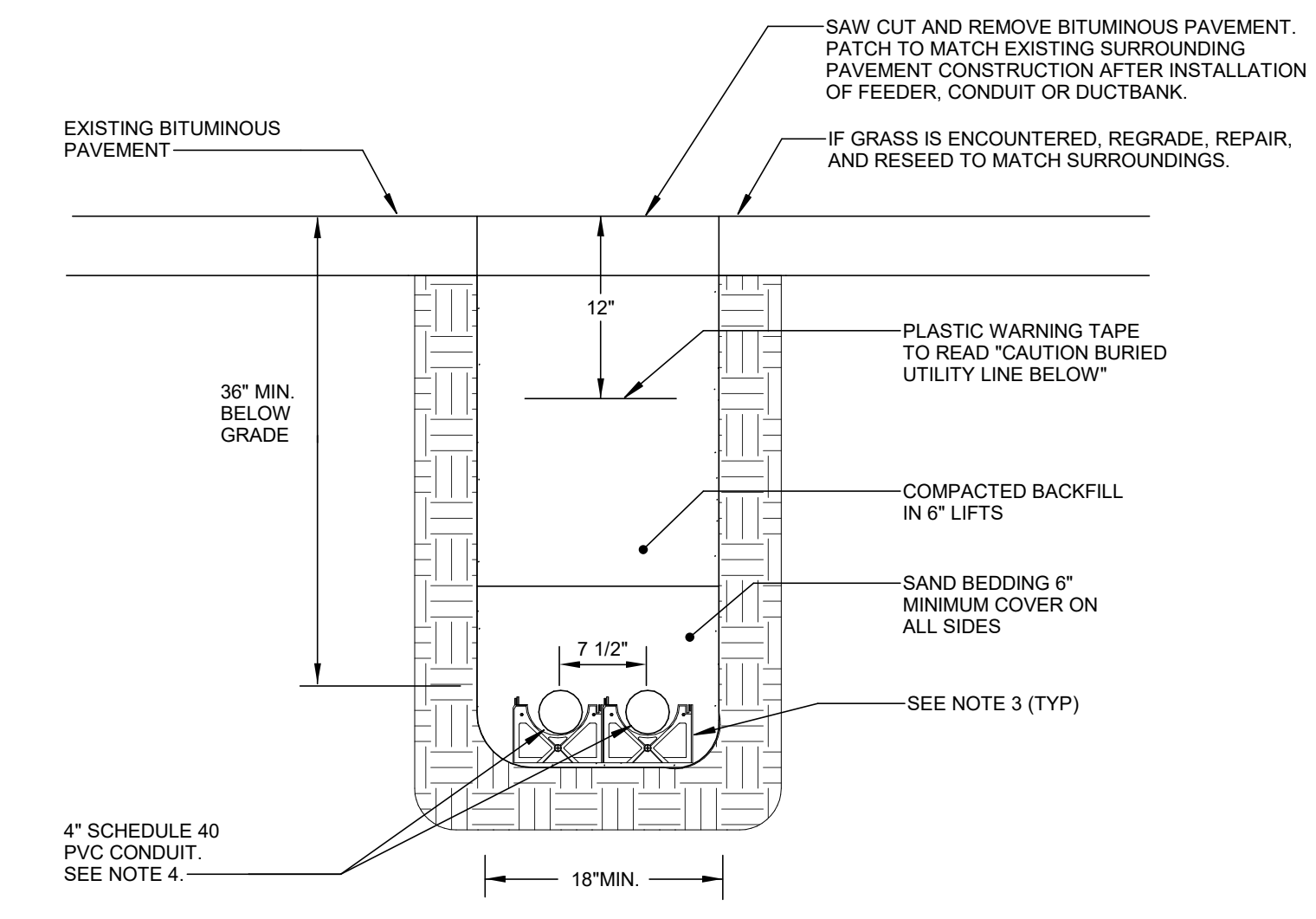
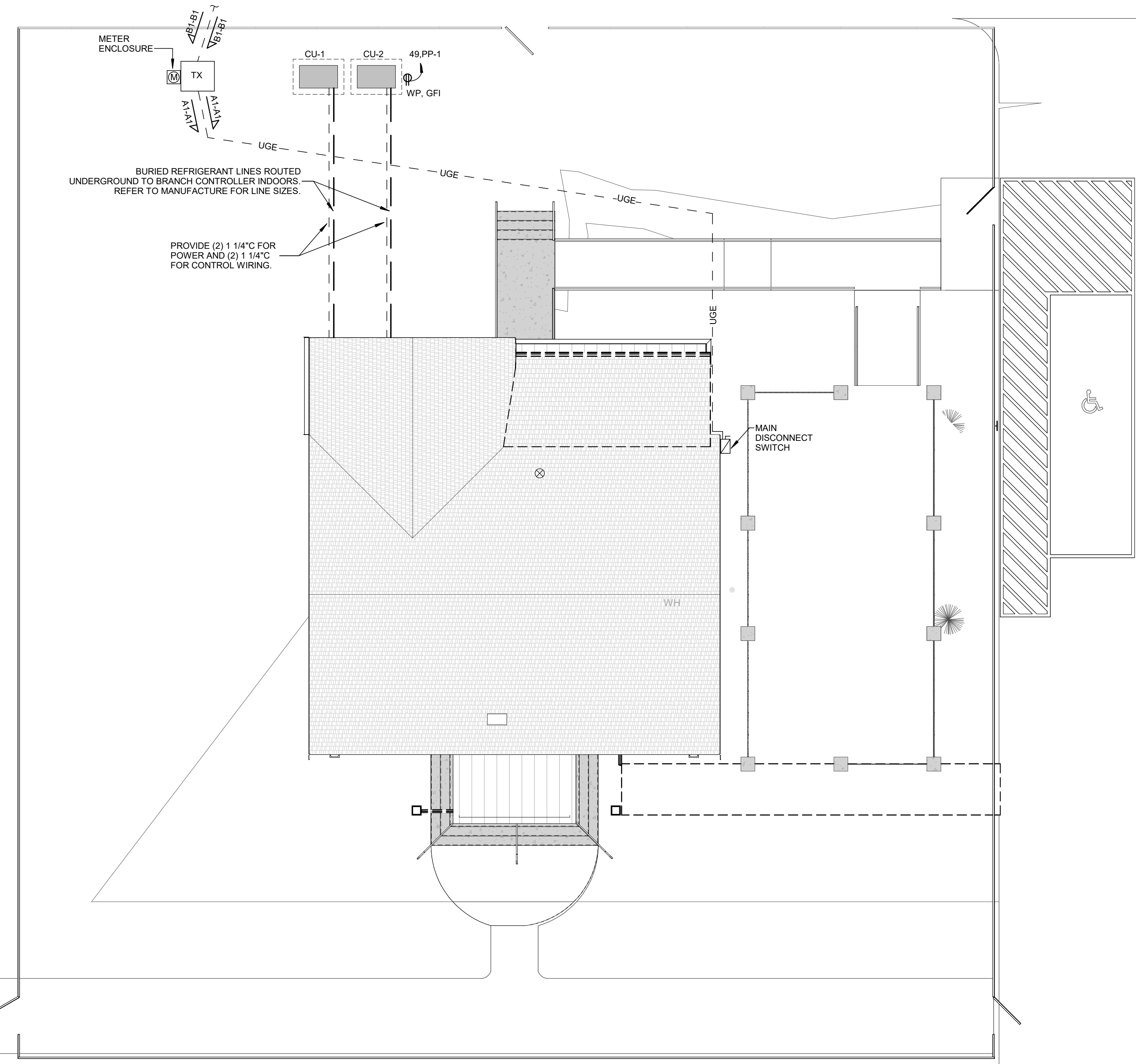
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**ELECTRICAL SITE PLAN**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	

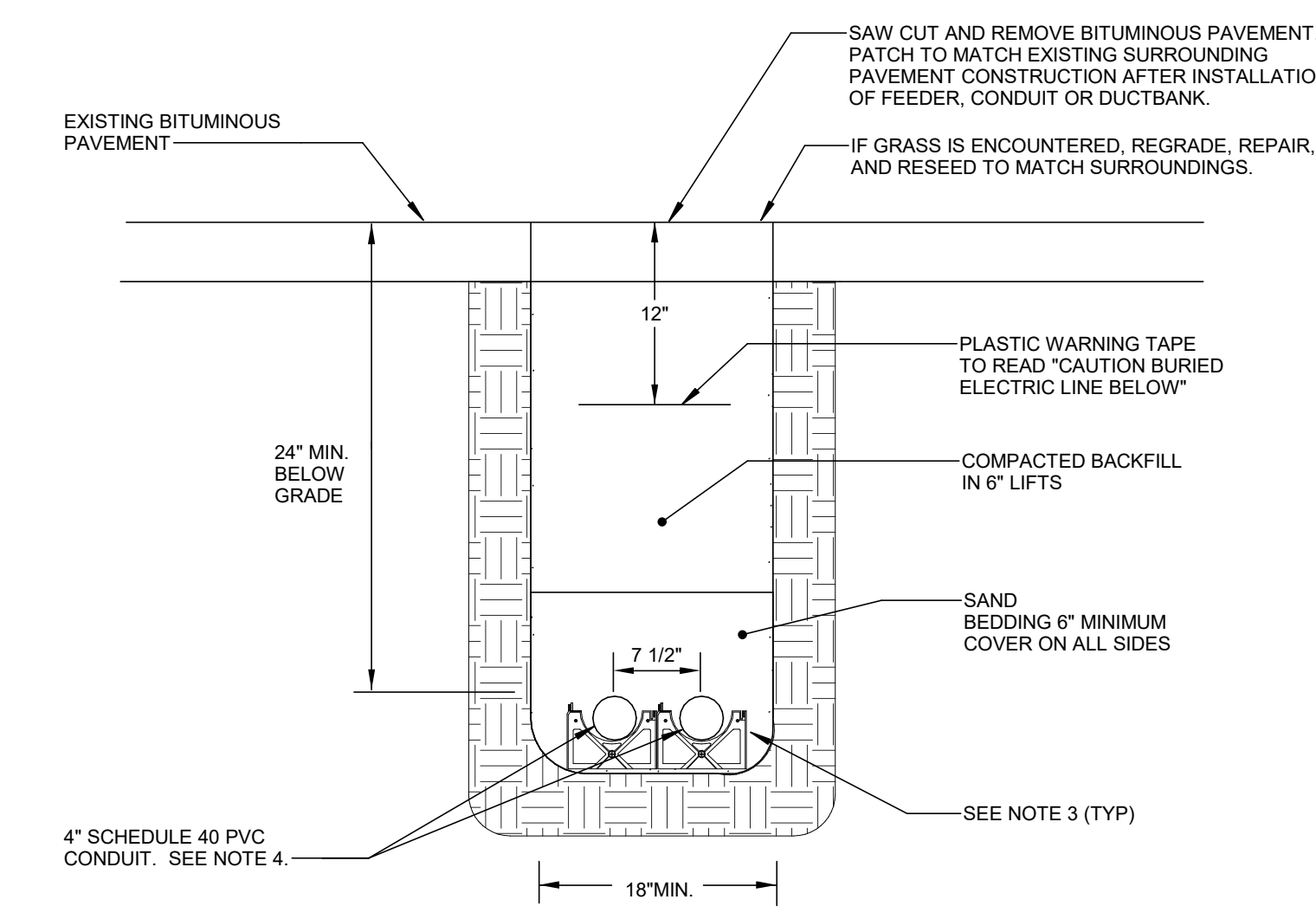


SHEET NO.  
**ES1.00**



- NOTES:**
1. TYPICAL CONDUITS AND QUANTITIES SHOWN, REFER TO DRAWINGS FOR QUANTITIES AND SIZES.
  2. COORDINATE AND GROUP CONDUITS IN COMMON TRENCH. SINGLE ROW SHOWN, MULTIPLE ROW DUCT BANKS ARE ACCEPTABLE, MAINTAINING SEPARATION DISTANCE REQUIREMENTS.
  3. PROVIDE SUITABLE SEPARATORS AND CHAIRS 4 FT. MAX. ON CENTER, SET TO COMPACTED TRENCH BOTTOM AND BAND CONDUITS TOGETHER PRIOR TO BACKFILL OR PLACING CONCRETE.
  4. REFER TO CONCRETE ENCASUREMENT DETAIL WHERE CONCRETE ENCASUREMENT IS REQUIRED. USE TYPE 'EB' SCHEDULE 40 PVC CONDUIT.

**3 DUCTBANK DETAIL B1-B1**



- NOTES:**
1. TYPICAL CONDUITS AND QUANTITIES SHOWN, REFER TO E4.00 FOR QUANTITIES AND SIZES.
  2. COORDINATE AND GROUP CONDUITS IN COMMON TRENCH. SINGLE ROW SHOWN, MULTIPLE ROW DUCT BANKS ARE ACCEPTABLE, MAINTAINING SEPARATION DISTANCE REQUIREMENTS.
  3. PROVIDE SUITABLE SEPARATORS AND CHAIRS 4 FT. MAX. ON CENTER, SET TO COMPACTED TRENCH BOTTOM AND BAND CONDUITS TOGETHER PRIOR TO BACKFILL OR PLACING CONCRETE.
  4. REFER TO CONCRETE ENCASUREMENT DETAIL WHERE CONCRETE ENCASUREMENT IS REQUIRED. USE TYPE 'EB' SCHEDULE 40 PVC CONDUIT.

**2 DUCTBANK DETAIL A1-A1**

**1 ELECTRICAL SITE PLAN**

1/8" = 1'-0"

GENERAL NOTES	
1.	GENERAL NOTES, SYMBOLS, AND DETAILS ARE APPLICABLE TO DRAWINGS WITHIN DIVISION 23.
2.	PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY CODES.
3.	DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE CAPACITY, SIZE, APPROXIMATE LOCATION AND GENERAL ARRANGEMENT. COORDINATE LOCATIONS OF SYSTEMS AND COMPONENTS.
4.	COORDINATE ROOF AND WALL PENETRATIONS WITH WORK OF OTHER SECTIONS AND WITH FLASHING REQUIREMENTS. COORDINATE SLAB PENETRATIONS WITH WORK OF OTHER SECTIONS.
5.	RUN DUCTS AND PIPING CONCEALED UNLESS SPECIFIED OTHERWISE NOTED.
6.	INSTALL SENSORS (TEMPERATURE, HUMIDITY, THERMOSTATS) AT LOCATIONS SHOWN ON PLANS OR AS DIRECTED BY ARCHITECT. MOUNTING HEIGHT AFF SHALL COMPLY WITH ADA AND SHALL BE MOUNTED LEVEL WITH ADJACENT SWITCHES (IE LIGHT SWITCHES).
7.	COORDINATE WORK OF THIS SECTION WITH THAT OF OTHER SECTIONS AND WITH ALL TRADES INVOLVED. PROVIDE OFFSETS IN PIPING AND DUCTS (INCLUDING DIVIDED DUCTS) AND TRANSITIONS AROUND OBSTRUCTIONS.
8.	NOT ALL ACCESS DOORS HAVE BEEN SHOWN ON THE PLANS. PROVIDE ACCESS PANELS THROUGH BUILDING ASSEMBLIES TO SERVICE AND MAINTAIN EQUIPMENT UNLESS SUCH EQUIPMENT IS INSTALLED IN EXPOSED LOCATIONS OR ABOVE LAY-IN CEILINGS. COORDINATE THE LOCATION OF ACCESS DOORS AND PANELS AND VERIFY THE QUANTITY, SIZE, AND LOCATIONS AFTER THE SYSTEMS AND EQUIPMENT REQUIRING ACCESS HAVE BEEN INSTALLED AND PRIOR TO THE CLOSURE OF THE AFFECTED CEILINGS AND BUILDING ASSEMBLIES. SUBMIT ACCESS PANEL LOCATIONS FOR REVIEW.
9.	AT SUBSTANTIAL COMPLETION, THE FOLLOWING ITEMS, NEW OR EXISTING, SHALL BE FULLY AND REASONABLY ACCESSIBLE: HVAC CONTROL BOXES, JUNCTION BOXES, VALVES, ELECTRICAL PANELS, FILTERS, BELTS, DISCONNECT SWITCHES AND ELEMENTS OF EQUIPMENT REQUIRING MAINTENANCE. "FULLY AND REASONABLY ACCESSIBLE" SHALL BE DEFINED AS NATIONAL ELECTRIC CODE REQUIRED CLEARANCE FOR POWERED EQUIPMENT AND CAPABLE OF BEING ACCESSED OR SERVICED WITHOUT REMOVING, MODIFYING OR DISTORTING OTHER COMPONENTS OF THE WORK. PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCE FOR ALL EQUIPMENT.
10.	SUPPORT EQUIPMENT, PIPING AND DUCTWORK FROM BUILDING STRUCTURE OR WITH STEEL SUPPORTS AND PLATFORMS AS REQUIRED. PROVIDE VIBRATION ISOLATION FOR ROTATING EQUIPMENT, DUCTWORK, AND PIPING IN ACCORDANCE WITH THE SPECIFICATIONS.
11.	CONTROL WIRING METHODS SHALL COMPLY WITH NEC, AND DIVISION 26 SPECIFICATIONS.
12.	VERIFY EQUIPMENT CONNECTIONS WITH MANUFACTURER'S DRAWINGS. VERIFY AND PROVIDE FITTINGS TO TRANSITION TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE DIMENSIONS BEFORE FABRICATION.
13.	PERFORM PRESSURE AND LEAKAGE TESTS BEFORE INSULATING DUCTWORK AND PIPING
14.	MAINTAIN 6'-8" CLEARANCE TO THE UNDERSIDE OF PIPES, DUCTS, CONDUITS, SUSPENDED EQUIPMENT, ETC., THROUGHOUT ROUTES IN MECHANICAL ROOMS. MAINTAIN 3'-0" WIDE MEANS OF EGRESS IN MECHANICAL ROOMS.
15.	WHERE BEAMS ARE INDICATED TO BE PENETRATED WITH DUCTWORK OR PIPING, COORDINATE DUCTWORK AND PIPING LAYOUT WITH BEAM OPENING SIZE AND LOCATION. COORDINATION SHALL BE DONE PRIOR TO THE FABRICATION OF DUCTWORK, CUTTING OF PIPING, OR FABRICATING OF THE BEAMS.
16.	MISCELLANEOUS STEEL REQUIRED TO ENSURE PROPER INSTALLATION AND, AS SHOWN IN THE DETAILS FOR PIPING, DUCTWORK, AND EQUIPMENT, SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR.
17.	AIR CONDITIONING CONDENSATE DRAIN LINES FROM EACH AIR HANDLING UNIT AND ROOFTOP UNIT SHALL BE PIPED FULL SIZE OF THE UNIT DRAIN OUTLET WITH P-TRAP, P TRAP ARRANGEMENT SHALL BE BASED ON THE UNIT (NEGATIVE OR POSITIVE PRESSURE).
18.	INSTALL UNITS WITH CLEARANCE FOR SERVICE AS REQUIRED BY THE MANUFACTURER.

DUCTWORK LEGEND	
SYMBOL	DESCRIPTION
	RECTANGULAR DUCTWORK
	ROUND DUCTWORK
	OVAL DUCTWORK
	DUCTWORK SHOWN SINGLE LINE
	RECTANGULAR SUPPLY DUCTWORK TOWARDS (UP IN PLAN)
	ROUND SUPPLY DUCTWORK TOWARDS (UP IN PLAN)
	RECTANGULAR SUPPLY DUCTWORK AWAY (DOWN IN PLAN)
	ROUND SUPPLY DUCTWORK AWAY (DOWN IN PLAN)
	RECTANGULAR RETURN DUCTWORK TOWARDS (UP IN PLAN)
	ROUND RETURN DUCTWORK TOWARDS (UP IN PLAN)
	RECTANGULAR RETURN DUCTWORK AWAY (DOWN IN PLAN)
	ROUND RETURN DUCTWORK AWAY (DOWN IN PLAN)
	RECTANGULAR EXHAUST DUCTWORK TOWARDS (UP IN PLAN)
	ROUND EXHAUST DUCTWORK TOWARDS (UP IN PLAN)
	RECTANGULAR EXHAUST DUCTWORK AWAY (DOWN IN PLAN)
	ROUND EXHAUST DUCTWORK AWAY (DOWN IN PLAN)
	FLEXIBLE DUCT
	OPEN ENDED DUCT WITH WIRE MESH SCREEN
	CAPPED DUCT
	DUCT TRANSITION

AIR DEVICE LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY DIFFUSER
	RETURN GRILLE OR REGISTER
	EXHAUST GRILLE OR REGISTER
	SIDEWALL SUPPLY GRILLE
	SIDEWALL RETURN OR EXHAUST GRILLE OR REGISTER

DAMPER LEGEND	
SYMBOL	DESCRIPTION
	MANUAL VOLUME DAMPER
	MOTORIZED CONTROL DAMPER
	BACKDRAFT DAMPER

MECHANICAL DUCTWORK NOTES	
1.	PROVIDE VOLUME DAMPERS IN EACH BRANCH DUCT FOR SUPPLY, RETURN, AND TOILET EXHAUST SYSTEMS. FOR DAMPERS LOCATED ABOVE INACCESSIBLE CEILINGS WITHOUT PROPER ACCESS FROM ARCHITECTURAL ACCESS DOOR, PROVIDE CABLE OPERATED DAMPERS IN A LOCATION WHERE CABLE IS REACHABLE FROM AIR OUTLET.
2.	ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. ALL SUPPLY AND RETURN DUCTWORK IS TO BE INSULATED.
3.	PROVIDE FLEXIBLE CONNECTIONS FROM ALL MOVING EQUIPMENT (FANS, FAN COIL UNITS, ETC) AND DUCTWORK CONNECTIONS.

VRF GENERAL NOTES	
<b>VRF GENERAL NOTES:</b>	
1.	MANUFACTURER MUST BE CERTIFIED, LISTED, AND LABELED PER AHRI 1230.
2.	MANUFACTURER MUST MEET MINIMUM EFFICIENCIES AND PERFORMANCE EQUAL TO OR GREATER THAN THE BASIS OF DESIGN.
3.	SUBMITTED PERFORMANCE DATA MUST BE FULLY DE-RATED FOR ALL COMPONENTS AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO LINE LENGTH, VERTICAL SEPARATION, CONNECTION RATIO, DESIGN CONDITIONS (TEMPERATURE DB/WB), AND COIL COATINGS.
4.	PROVIDE ALL CONTROL WIRING NECESSARY FROM THE OUTDOOR UNIT, INDOOR UNIT, CONTROLLER/THERMOSTAT, AND CONTROLS ASSOCIATED WITH THE SYSTEM IN ORDER TO BE FULLY OPERATIONAL.
5.	SYSTEM SHALL BE PROVIDED WITH A MANUFACTURER-ASSISTED START-UP. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
6.	INSTALLING CONTRACTORS MUST ATTEND THE REQUIRED VRF INSTALLATION TRAINING BY THE MANUFACTURER.
7.	PROVIDE BACNET COMMUNICATION TO INTEGRATE WITH FUTURE BMS CONTROL SYSTEM
<b>VRF OUTDOOR UNITS NOTES:</b>	
1.	MANUFACTURER MUST PROVIDE HEATING DURING OIL EQUALIZATION AND DEFROST OPERATIONS.
2.	LOCATE CONDENSING UNITS WITH 18-INCH SEPARATION BETWEEN CONDENSING UNIT MODULES FOR IMPROVED SERVICEABILITY.
<b>VRF INDOOR UNITS NOTES:</b>	
1.	VRF UNITS SHALL BE PROVIDED WITH FACTORY-INSTALLED, INTEGRATED CONDENSATE PUMPS.
2.	VRF UNITS SHALL HAVE AN INTEGRATED OVERFLOW SWITCH.
<b>VRF PIPING INSTALLATION NOTES (R410A):</b>	
1.	ALL PIPING SIZES SHALL BE COORDINATED WITH VRF MANUFACTURER.
2.	PROVIDE REFRIGERATION BALL VALVES WITH CHARGING PORTS DOWNSTREAM OF BRANCH SELECTOR BOX FOR SERVICE.
3.	FOR REFRIGERANT PIPE SIZES, CONSULT THE MANUFACTURER; REFRIGERANT PIPE RISERS INCLUDED IN DRAWINGS SHALL BE REVIEWED AND CONFIRMED BY THE MANUFACTURER PRIOR TO PURCHASING EQUIPMENT.

CONTROLS LEGEND	
PLAN SYMBOL	DESCRIPTION
	DIFFERENTIAL PRESSURE SWITCH
	DIFFERENTIAL PRESSURE SENSOR AND TRANSMITTER
	FLOW METER
	FLOW SWITCH
	HUMIDISTAT - STAND ALONE
	HUMIDITY SENSOR
	SMOKE DETECTOR
	THERMOSTAT - STAND ALONE
	TEMPERATURE SENSOR
	COMBINATION TEMPERATURE/HUMIDITY/CO2 SENSOR

ACTUATOR LEGEND	
SYMBOL	DESCRIPTION
	DAMPER OR VALVE WITH TWO POSITION ACTUATOR
	DAMPER OR VALVE WITH MODULATING ACTUATOR

GENERAL ABBREVIATIONS	
AD	ACCESS DOOR
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
AHJ	AUTHORITY HAVING JURISDICTION
AP	ACCESS PANEL
APD	AIR PRESSURE DROP
AWT	AVERAGE WATER TEMPERATURE
BHP	BREAK HORSEPOWER
BTU	BRITISH THERMAL UNIT
BTU/H	BTU / HOUR
BOD	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
CAP	CAPACITY
COP	COEFFICIENT OF PERFORMANCE
CFM	CUBIC FEET PER MINUTE
CUFF	CUBIC FEET
dB	DECIBELS
DB	DRY BULB TEMPERATURE
DDC	DIRECT DIGITAL CONTROL
DIA	DIAMETER
DN	DOWN
DX	DIRECT EXPANSION
EZ	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE (DRY BULB)
EDB	ENTERING DRY BULB
EER	ENERGY EFFICIENCY RATIO
ELEC	ELECTRICAL
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB
F	DEGREES FAHRENHEIT
FT	FEET
FT WG	FEET WATER GAUGE
FLA	FULL LOAD AMPS
FPM	FEET PER MINUTE
GRD	GRILLE, REGISTER, DIFFUSER
HD	HEAD
HP	HORSEPOWER
HSPF	HEATING SEASON PERFORMANCE FACTOR
HZ	HERTZ
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
IN	INCHES
IN WG	INCHES WATER GAUGE
IPLV	INTEGRATED PART LOAD VALUE
KW	KILOWATTS
L	LOUVER
LAT	LEAVING AIR TEMPERATURE
LDB	LEAVING DRY BULB
LWB	LEAVING WET BULB
MAX	MAXIMUM
MECH	MECHANICAL
MBH	THOUSANDS OF BTU / HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAT	OUTSIDE AIR TEMPERATURE
OD	OUTER DIAMETER
OED	OPEN ENDED DUCT
P	PUMP
PH	PHASE
PLBG	PLUMBING
PRV	PRESSURE REDUCING VALVE
PSIG	POUNDS PER SQUARE INCH GAUGE
QTY	QUANTITY
RA	RETURN AIR
RPM	REVOLUTIONS PER MINUTE
SA	SUPPLY AIR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SG	SIGHT GLASS
SP	STATIC PRESSURE
SPD	STATIC PRESSURE DROP
SS	STAINLESS STEEL
SQFT / SF	SQUARE FEET
TEMP	TEMPERATURE
TSP	TOTAL STATIC PRESSURE
TSTAT	THERMOSTAT
TYP	TYPICAL
UCI	UNLESS OTHERWISE INDICATED
VAV	VARIABLE AIR VOLUME
VFD	VARIABLE FREQUENCY DRIVE
VTR	VENT THRU ROOF
W	WITH
W/O	WITHOUT
WB	WET BULB
WC	WATER COLUMN
WG	WATER GAUGE
WMS	WIRE MESH SCREEN
WPD	WATER PRESSURE DROP

EQUIPMENT ABBREVIATIONS	
AC	AIR CONDITIONING UNIT
AHU	AIR HANDLING UNIT
CP	CONDENSATE PUMP
CJ	CONDENSING UNIT
DOAS	DEDICATED OUTDOOR AIR SYSTEM
EDH	ELECTRIC DUCT HEATER
EF	EXHAUST FAN
EG	EXHAUST GRILLE
ET	EXPANSION TANK
F	FAN
FCU	FAN COIL UNIT
RF	RELIEF FAN
SD	SUPPLY DIFFUSER
SG	SUPPLY GRILLE

SHEET INDEX - MECHANICAL	
SHEET NUMBER	SHEET NAME
03-MECHANICAL	
M0.00	MECHANICAL ABBREVIATIONS, NOTES AND SYMBOLS
M1.00	MECHANICAL ZONE AND PIPING FLOOR PLAN
M2.00	MECHANICAL DUCTWORK FLOOR PLAN
M4.00	MECHANICAL DETAILS
M4.01	MECHANICAL DETAILS
M5.00	MECHANICAL SCHEDULES AND DIAGRAMS
M6.00	MECHANICAL SPECIFICATIONS
M8.00	MECHANICAL CONTROLS
Grand total: 8	

**CLS**  
 Engineering Services TX, LLC  
 License F-19994  
 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
 210.686.1614  
 ceseng.com  
 CES #250812.00

ISSUANCES		
NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**

**702 PARIS ST, CASTROVILLE, TX**

**MECHANICAL ABBREVIATIONS, NOTES AND SYMBOLS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	KD
CHECKED:	MM
ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

SHEET NO.

**M0.00**



**CES Engineering Services TX, LLC**  
 License F-19994  
 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
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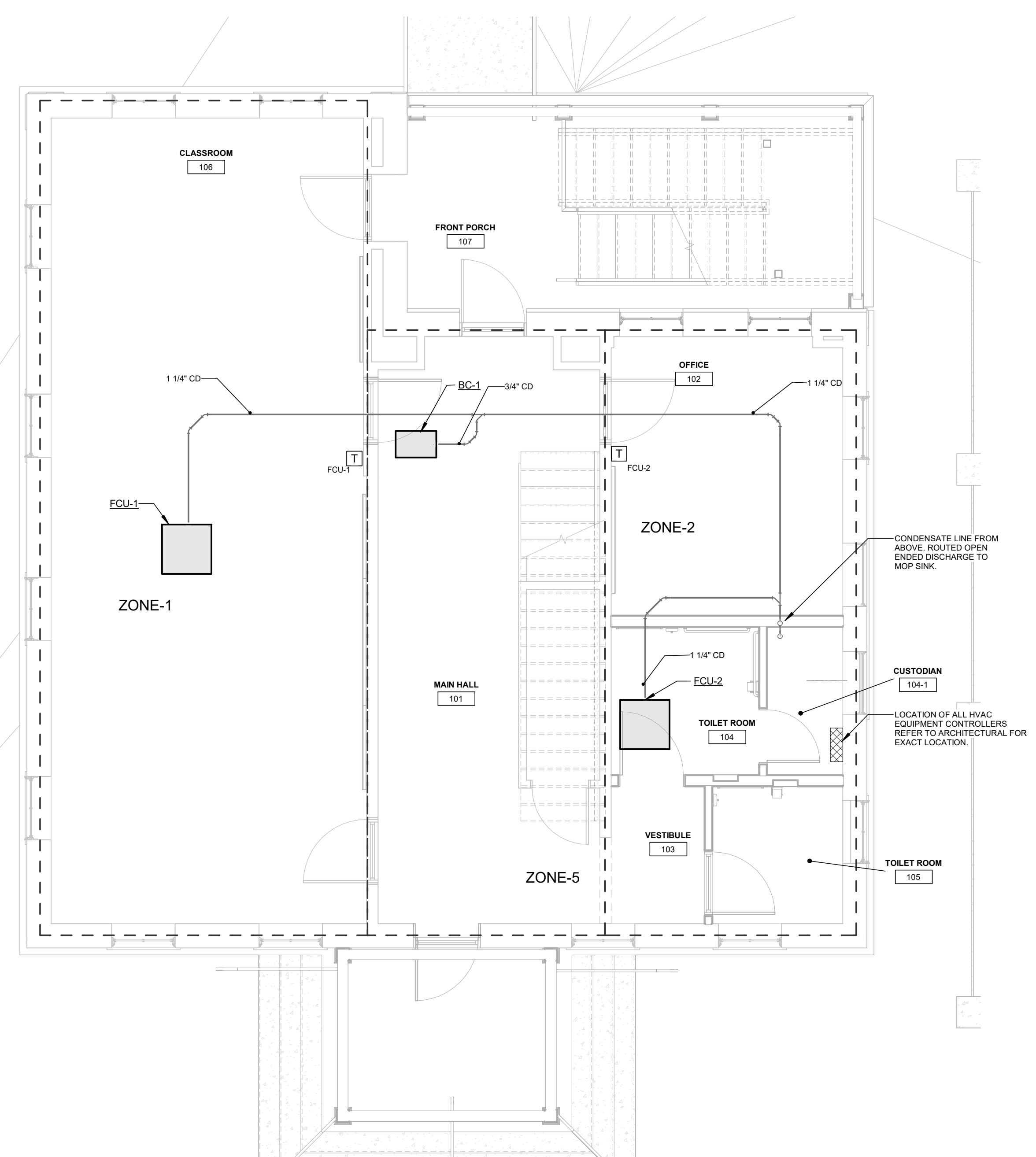
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**MECHANICAL ZONE AND PIPING FLOOR PLAN**

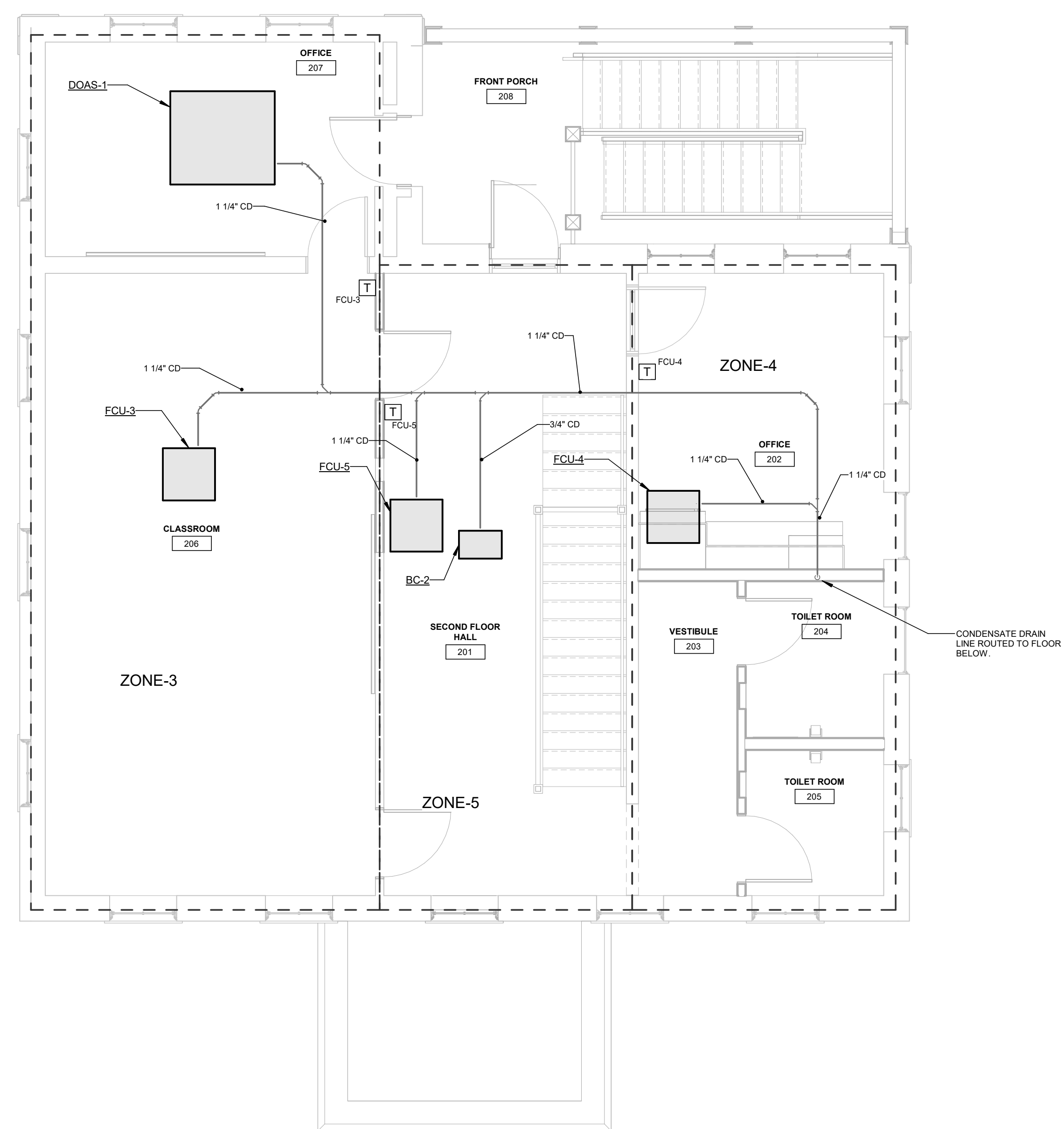
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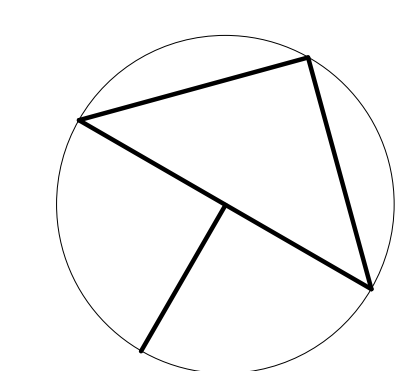
SHEET NO.  
**M1.00**



1 MECHANICAL ZONE PLAN - LEVEL 1  
 1/4" = 1'-0"



2 MECHANICAL ZONE PLAN - LEVEL 2  
 1/4" = 1'-0"





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 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
 210.686.1614  
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 CES #250812.00

MECHANICAL KEY NOTES	
1	OA, RA AND SA DUCT ROUTED DOWN TO FLOOR BELOW IN EXISTING CHASE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION DURING DEMO PHASE.
2	HORIZONTAL FAN COIL UNIT REFER TO SCHEDULES. PROVIDE WITH MANUFACTURE FILTER BOX INLINE AFTER OA TAP TO RETURN DUCT WORK. ENSURE ALL MANUFACTURES CLEARANCES ARE MET.
3	INTAKE AIR DUCT TO CONNECT TO EXISTING LOUVER. ENSURE LOUVER FREE AREA OPENING IS AT MINIMUM 144 IN <sup>2</sup>
4	RELIEF AIR DUCT TO CONNECT TO EXISTING LOUVER WITH INTEGRAL BACKDRAFT DAMPER BALANCED 0.05INWC. ENSURE LOUVER FREE AREA OPENING IS AT MINIMUM 2882 IN <sup>2</sup>
5	EXHAUST AIR DUCT TO CONNECT TO EXISTING LOUVER. ENSURE LOUVER FREE AREA OPENING IS AT MINIMUM 72IN <sup>2</sup>
6	EA DUCT ROUTED UP THROUGH EXISTING CHASE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION DURING DEMO PHASE.
7	FIELD CONSTRUCTED FILTER BOX WITH MERV 13 FILTER.
8	EA DUCT ROUTED DOWN TO FLOOR BELOW IN EXISTING CHASE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION DURING DEMO PHASE.
9	EXISTING ACCESS PANEL TO REMAIN. CONTRACTOR TO FIELD VERIFY EXACT SIZE AND LOCATION.

ISSUANCES		
NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

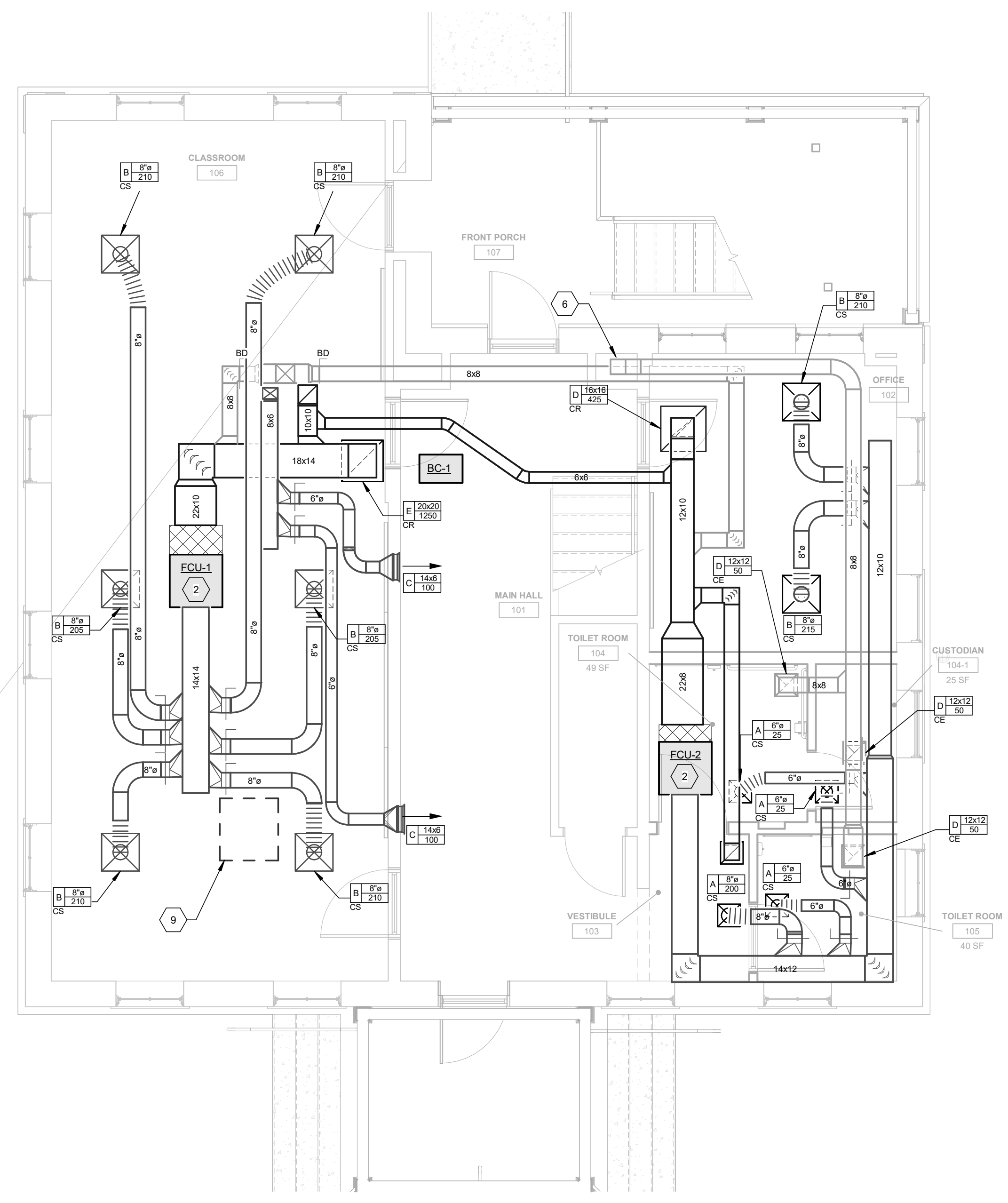
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**MECHANICAL DUCTWORK FLOOR PLAN**

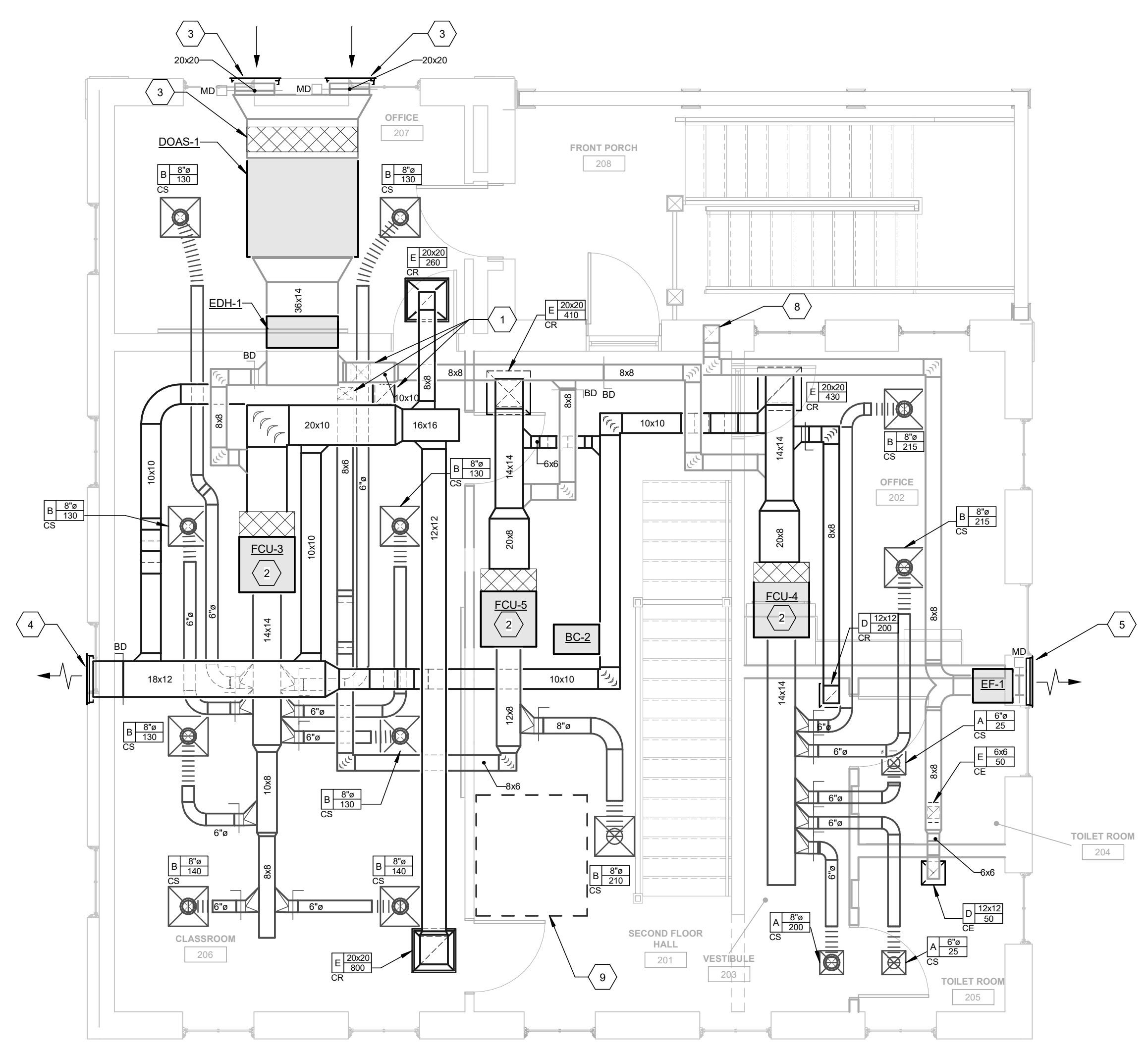
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PROJECT NO:	250812.00
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ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

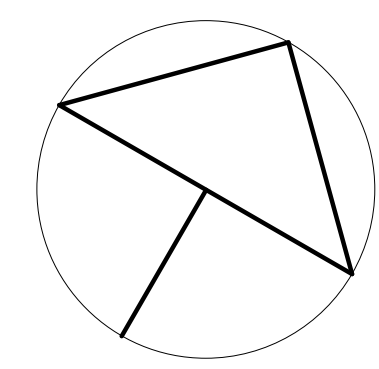
SHEET NO.  
**M2.00**



1 MECHANICAL DUCTWORK - LEVEL 1  
 1/4" = 1'-0"



2 MECHANICAL DUCTWORK - LEVEL 2  
 1/4" = 1'-0"





1370 Pantheon Way, Ste. 290  
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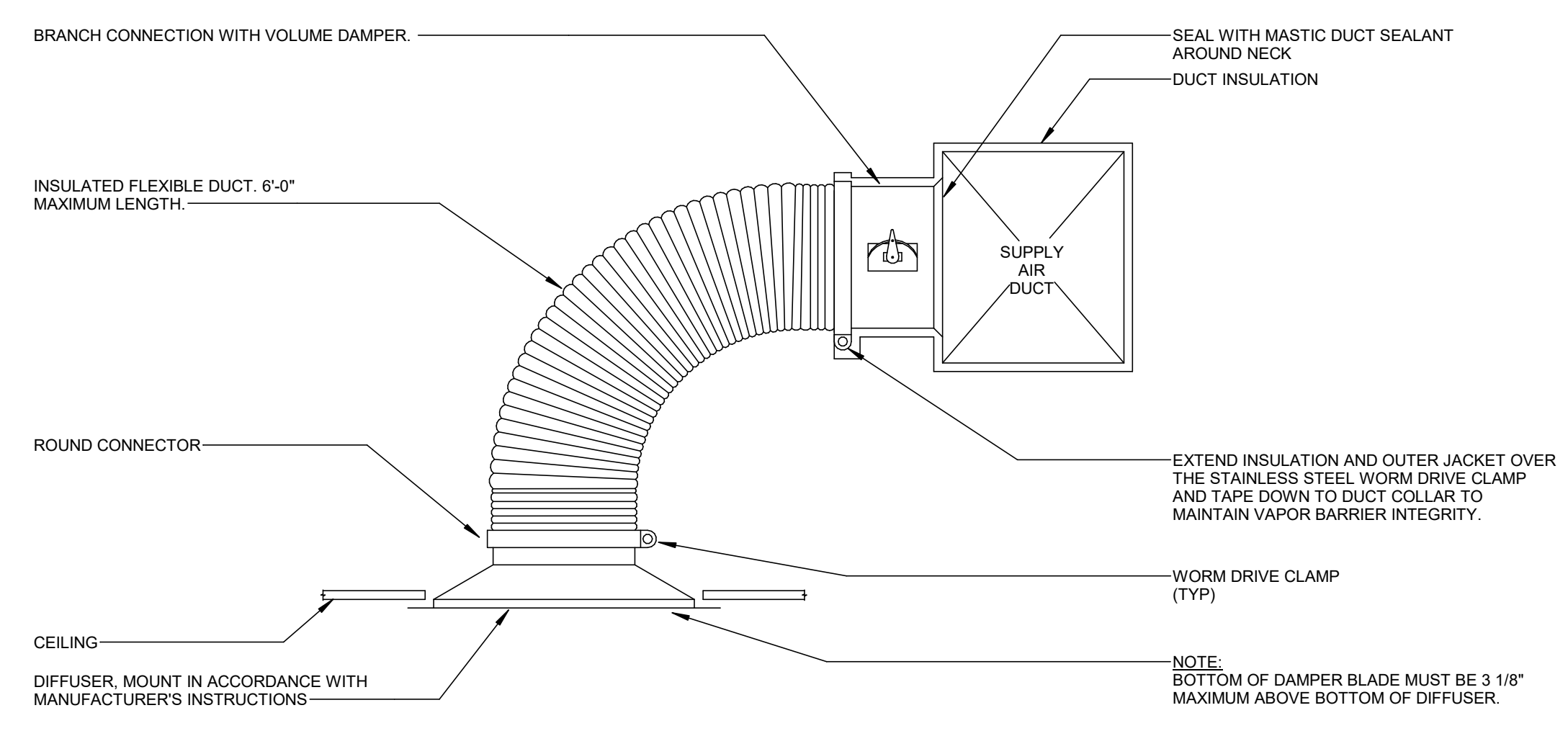
**CASTROVILLE CATHOLIC SCHOOL**  
  
702 PARIS ST,  
CASTROVILLE, TX

**MECHANICAL DETAILS**

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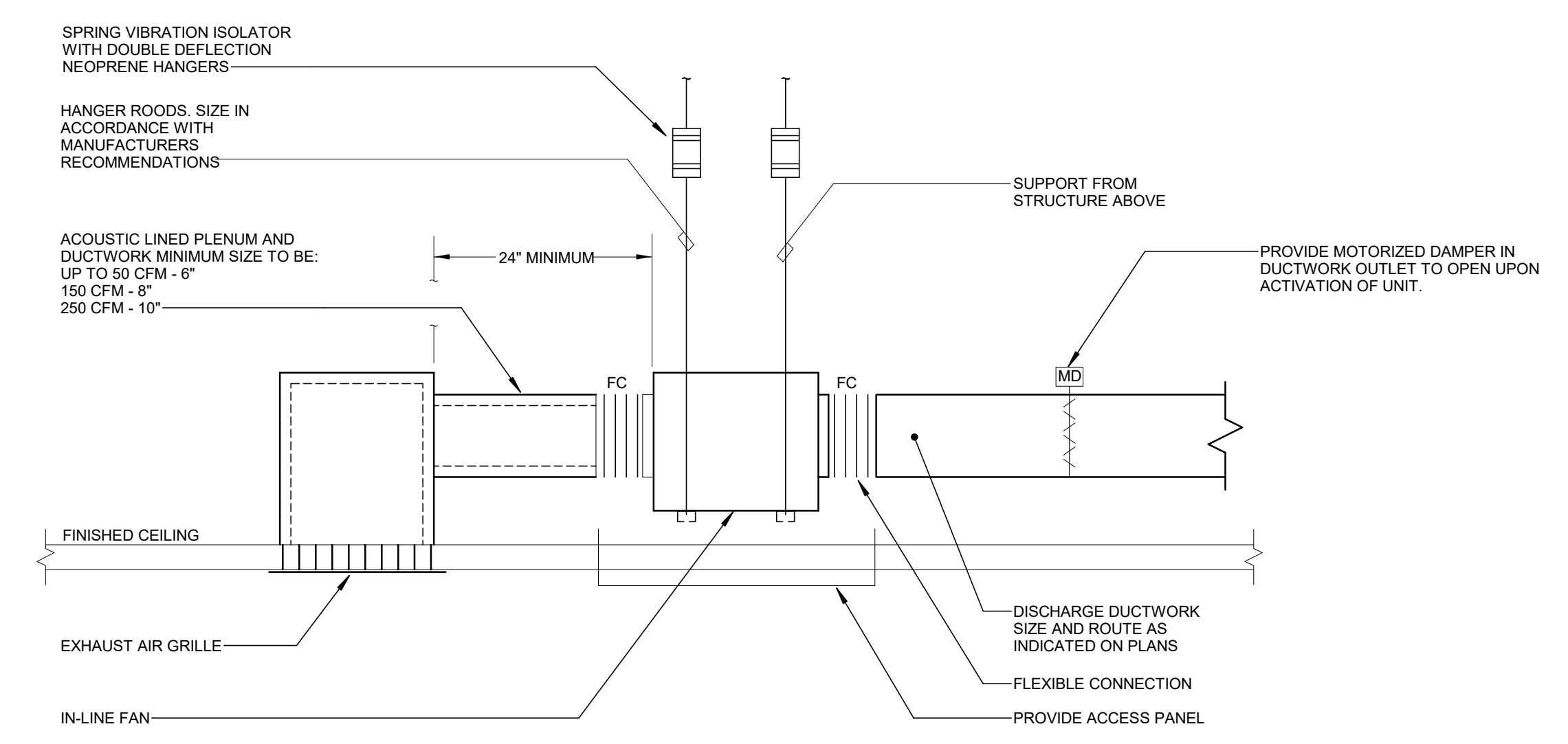


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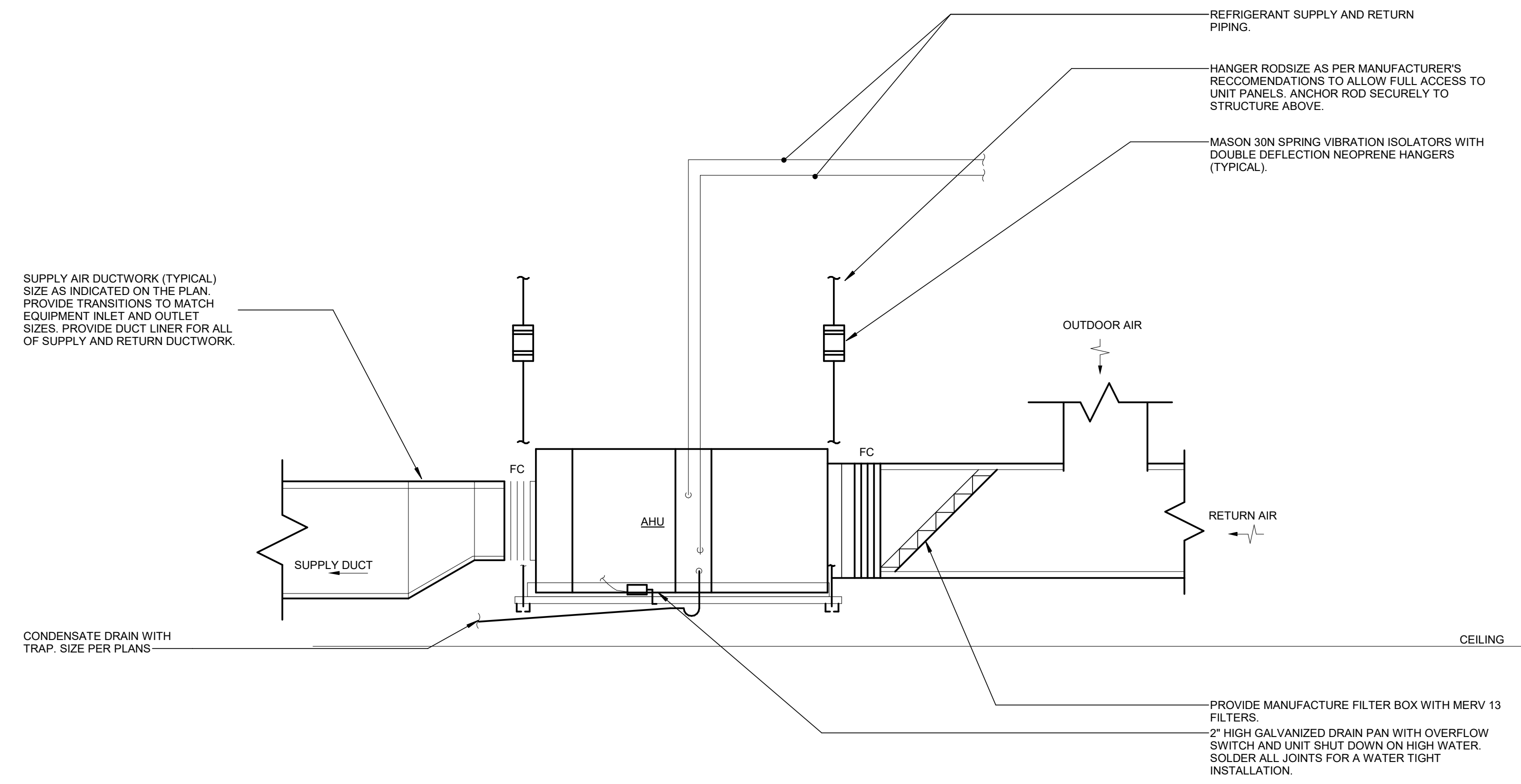


NOTES:  
1. SUPPORT FLEXIBLE DUCT FROM STRUCTURE AS SPECIFIED. DUCT SHALL NOT KINK, SAG OR REST ON LIGHT FIXTURES, CEILING SUPPORT TEES OR TILE.  
2. IN UNCONDITIONED CEILING PLENUMS, INSULATE BACK OF DIFFUSER WITH 1" DUCT WRAP AND SEAL WITH VAPOR BARRIER TAPE.

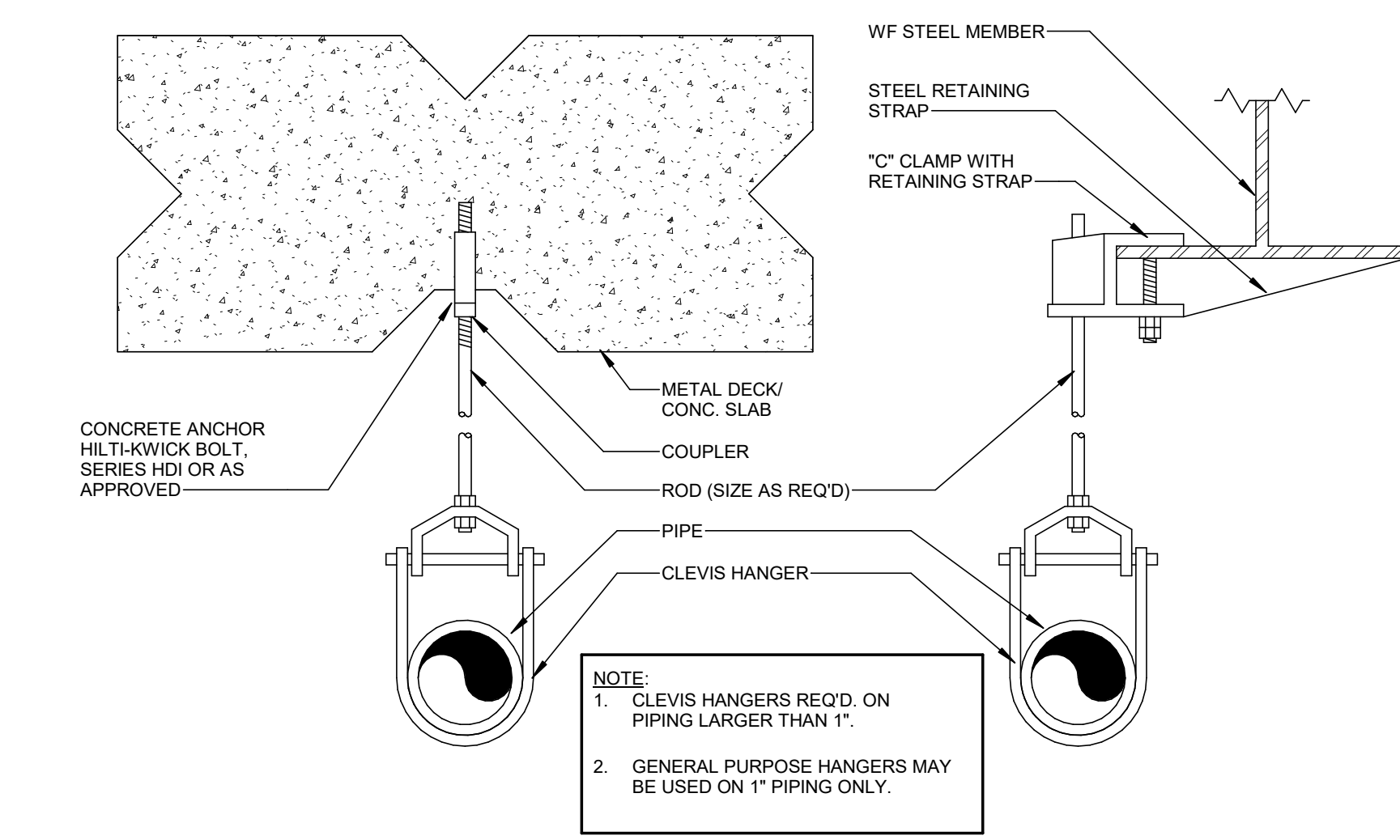
**1 DIFFUSER WITH FLEX DUCT DETAIL**  
NTS



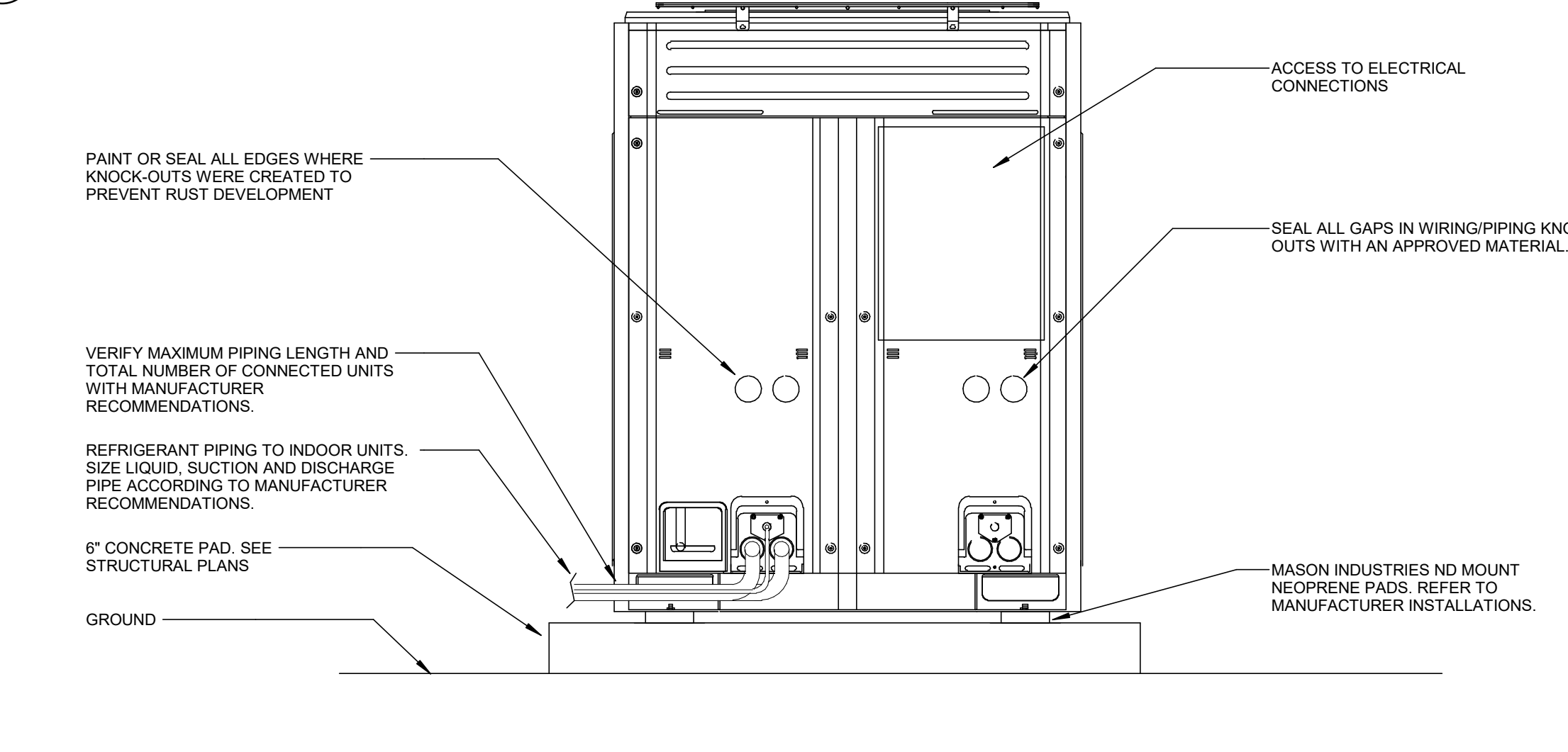
**2 INLINE CEILING FAN DETAIL**  
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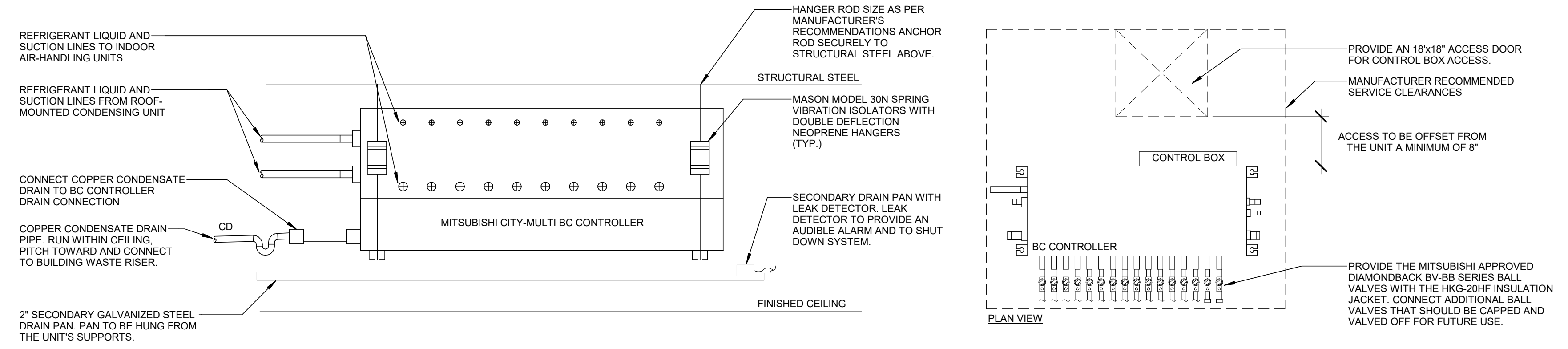
**3 HORIZONTAL AIR HANDLING UNIT DETAIL**  
NTS



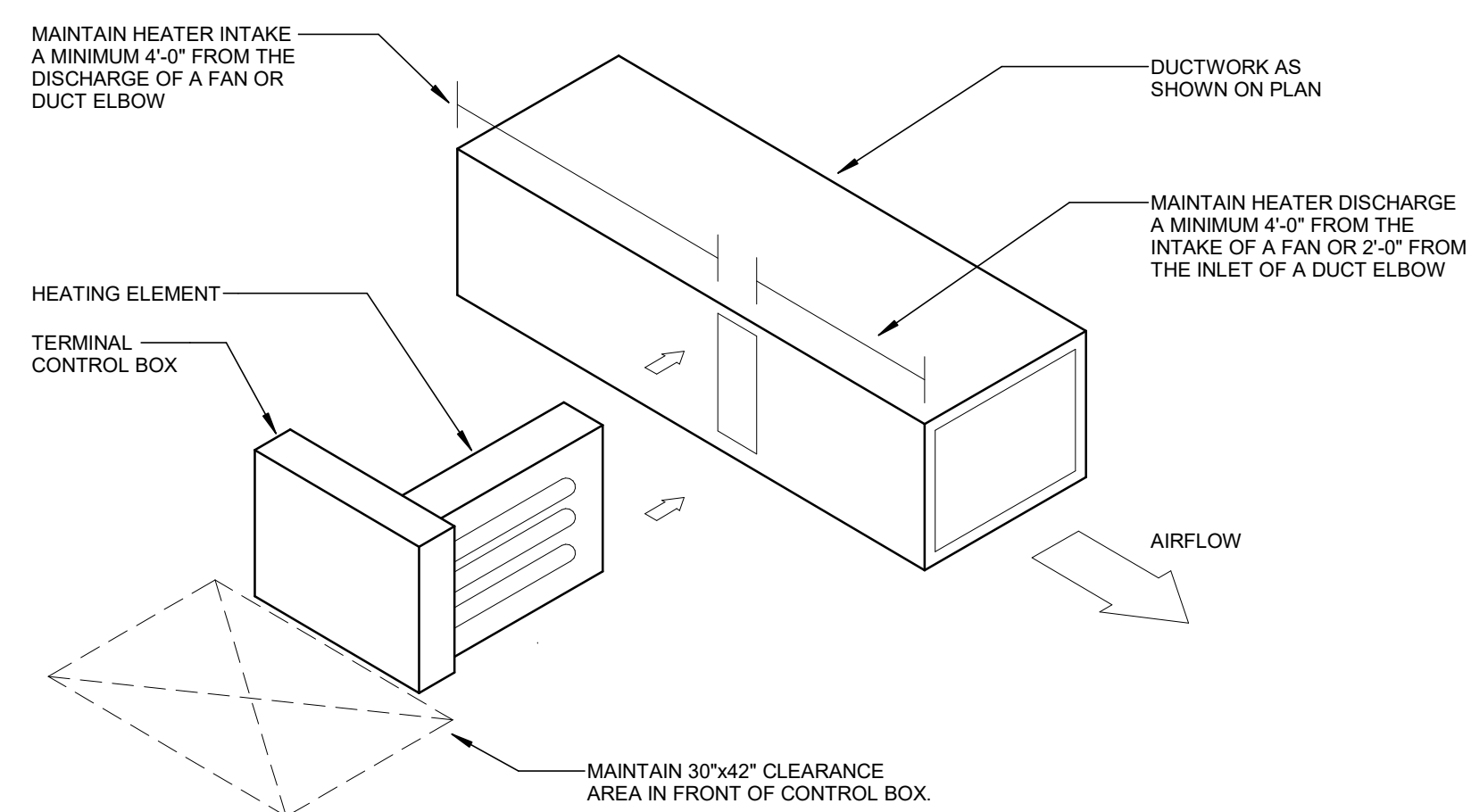
**4 TYPICAL PIPE HANGER DETAIL**  
NTS



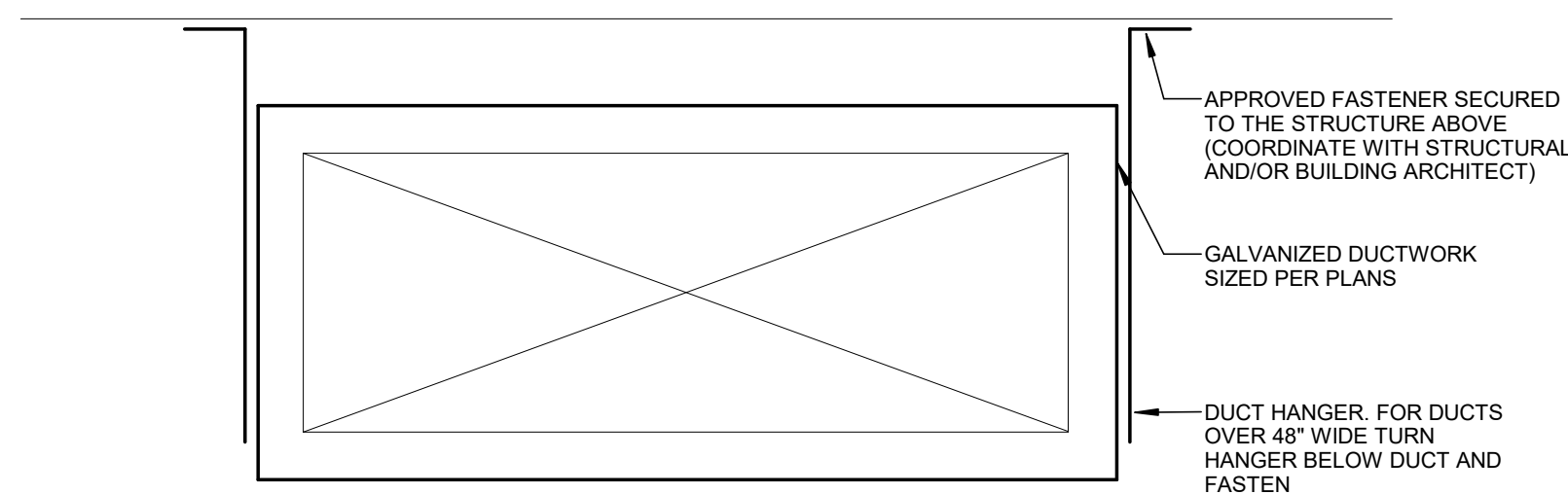
**5 VRF THREE PHASE CONDENSING UNIT MOUNTING DETAIL**  
NTS



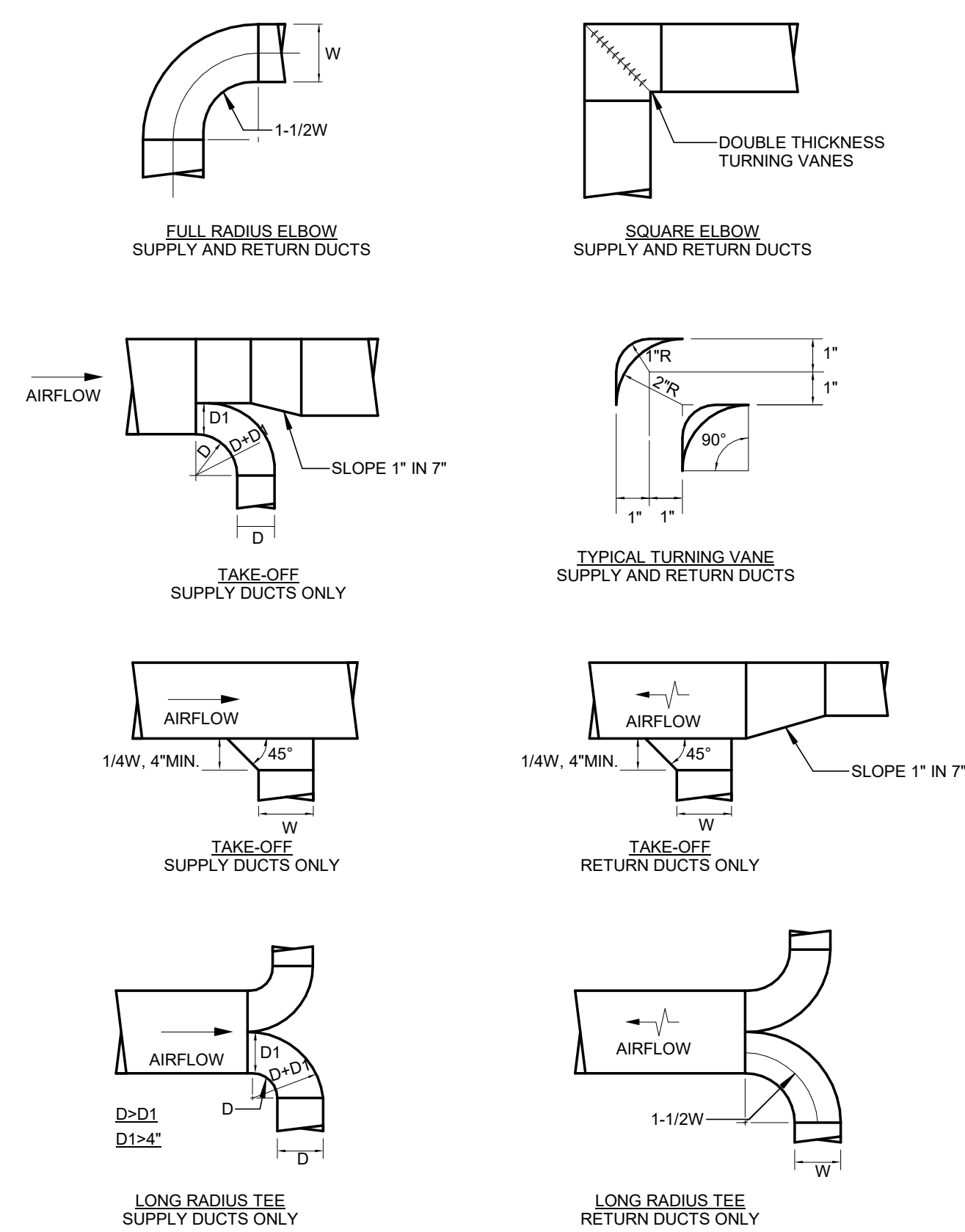
**6 BC CONTROLLER DETAIL**  
NTS



1 SLIP IN TYPE ELECTRIC DUCT HEATER DETAIL  
 NTS



2 DUCTWORK HANGING DETAIL  
 NTS



3 TYPICAL DUCT DETAILS  
 NTS

ISSUANCES

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CASTROVILLE CATHOLIC SCHOOL

702 PARIS ST,  
 CASTROVILLE, TX

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DRAWN:	KD
CHECKED:	MM
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.

M4.01



**CLS**  
**CES Engineering Services TX, LLC**  
 License F-19994  
 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
 210.686.1614  
 ceseng.com  
 CES #250812.00

AIR OUTLET SCHEDULE					
SYMBOL	MANUFACTURER/ MODEL NO.	TYPE	CONSTRUCTION		REMARKS
			MATERIAL	MAX N.C.	
A	TITUS/OMNI-AA	SQUARE PLAQUE (12x12)	ALUMINUM	25	1-4
B	TITUS/OMNI-AA	SQUARE PLAQUE (20x20)	ALUMINUM	25	1-4
C	TITUS/300FL	BLADED GRILLE	ALUMINUM	25	1-4
D	TITUS/PAR	SQUARE PERFORATED (12x12)	ALUMINUM	15	1-4
E	TITUS/PAR	SQUARE PERFORATED (20x20)	ALUMINUM	15	1-4

**DUTY:**  
 CS - CEILING SUPPLY    HWS - HIGH WALL SUPPLY    INDICATES UNIT TYPE  
 CR - CEILING RETURN    HWR - HIGH WALL RETURN    INDICATES FACE SIZE  
 CE - CEILING EXHAUST    HWE - HIGH WALL EXHAUST    INDICATES UNIT CFM CAPACITY

**REMARKS:**  
 1. DIFFUSER/GRILLE TO BE COORDINATED ARCHITECTURAL RCP. CONTRACTOR TO CONFIRM FINAL LOCATIONS AND WITH ARCH. RCP.  
 2. COORDINATE BORDER TYPE WITH CEILING CONSTRUCTION.  
 3. PERFORMANCE DATA LISTED ON PLAN IS AT MAX AIRFLOW.  
 4. PROVIDE CABLE-OPERATED DAMPER WITH REMOTE ACTUATOR FOR VOLUME DAMPERS LOCATED ABOVE GYP AND INACCESSIBLE CEILINGS.

SPLIT DEDICATED OUTDOOR AIR SYSTEM SCHEDULE																									
GENERAL				PHYS.	PERFORMANCE										ELECTRICAL										
TAG	MANUFACTURER	MODEL	LOCATION	MATCHED COMP. UNIT	WEIGHT (LBS)	NOMINAL TONS	COOLING				REHEAT		HEATING		FAN		MCA	MOP	VOLTAGE	PHASE	NOTES				
							TOTAL (MBH)	EAT (°F)		LAT (°F)		SENSIBLE (MBH)	LAT		TOTAL (MBH)	EAT (°F)						CFM	ESP (IN WG)		
								DB	WB	DB	WB		DB	%RH		DB								WB	
DOAS-1	MITSUBISHI	TPEFYP120AR140A	ATTIC	CU-2	309	10	95	77	105	74	55	52.3	24.2	63	45	76	26	95	1200	0.8	3.99	15	208	1	1-5

**NOTES:**  
 1. COOLING CAPACITIES ARE AT ARI CONDITIONS - 95°F OAT, 80°F EDB, 67°F EWB, WITH MATCHED COMPRESSOR UNIT.  
 2. SUSPEND UNIT FROM STRUCTURE ABOVE AT FOUR CORNERS WITH NEOPRENE SPRING VIBRATION HANGERS.  
 3. PROVIDE FLEXIBLE DUCT CONNECTIONS AT INLET AND DISCHARGE.  
 4. PROVIDE SPLIT SYSTEM REFRIGERANT PIPING BETWEEN AIR HANDLING UNIT AND COMPRESSOR UNIT, SIZED AND CONFIGURED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PIPING AND CONDUIT (POWER & CONTROLS) WALL PENETRATIONS SHALL BE WATERTIGHT.  
 5. PROVIDE CONDENSATE DRAIN TO NEAREST WASTE RECEIVER, PITCHED AT MINIMUM 1/8" PER FOOT. PROVIDE MINIMUM 2" WATER SEAL TRAP AT CONNECTION TO COIL.

FAN SCHEDULE																			
GENERAL					PHYSICAL			PERFORMANCE					ACOUSTICAL DATA		ELECTRICAL				
TAG	MANUFACTURER	MODEL	LOCATION	SERVICE	WEIGHT (LBS)	DRIVE	WHEEL DIA. (IN.)	CFM	ESP (IN WG)	RPM	DRIVE LOSS (%)	BHP	INLET SONES	OUTLET SONES	WATTS	MCA	VOLTAGE/PH	MOCP	NOTES

**NOTES:**  
 1. INLINE FAN WITH DIRECT DRIVE EC MOTOR.  
 2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.  
 3. PROVIDE FLEXIBLE DUCT CONNECTIONS AT INLET AND DISCHARGE.  
 4. PROVIDE WITH HANGING ISOLATORS.  
 5. PROVIDE DIAL ON MODE CONTROLLER FOR VG FAN.

CONDENSING UNIT SCHEDULE																		
GENERAL				PHYSICAL			PERFORMANCE							ELECTRICAL				
TAG	MANUFACTURER	MODEL	MATCHED BC UNIT	COMPRESSORS		WEIGHT (LBS)	NOMINAL TONS	COOLING			HEATING		SOUND PRESS. (dBA)	MCA	MOP	VOLTAGE	PHASE	NOTES
				INVERTER	TYPE			MBH	EER	IEER/SEER	MBH	COP						
CU-1	MITSUBISHI	TURYE1443AN41AN	BC-1	1	SCROLL	680	12	104	21.9	-/10	120	3.675	85.5	60	100	208	3	1-5
CU-2	MITSUBISHI	TURYE1203AN41AN	BC-2	1	SCROLL	622	10	99	21.7	-/10.5	60	3.71	80.5	56	90	208	3	1-5

**NOTES:**  
 1. HEAT RECOVERY SIMULTANEOUS HEATING AND COOLING.  
 2. SCROLL COMPRESSOR(S), R-410A.  
 3. PROVIDE LOW AMBIENT KIT.  
 4. MOUNT UNIT ON 6" THICK REINFORCED CONCRETE PAD WITH 1" CHAMFERED EDGES.  
 5. UNIT TESTED CONDITIONS AT COOLING MBH AT 95°F ODB AND HEATING 43°F OWB.

VRF FAN COIL SCHEDULE															
GENERAL				PERFORMANCE							ELECTRICAL				
TAG	MANUFACTURER	MODEL	LOCATION	COMP. UNIT	NOMINAL TONS	TOTAL COOLING MBH	SEN COOLING MBH	NET HEATING MBH	FAN			KW	VOLTAGE	PHASE	REMARKS
									SUPPLY CFM	OA CFM	ESP (IN WG)				
FCU-1	MITSUBISHI	TPEFYP030MA145A	SEE PLANS	CU-1	2.5	25.2	19	29.4	1,250	400	0.5	0.22	208	1	1-7
FCU-2	MITSUBISHI	TPEFYP030MA145A	SEE PLANS	CU-1	2.5	23.2	18.0	18.4	700	125	0.5	0.22	208	1	1-7
FCU-3	MITSUBISHI	TPEFYP030MA145A	SEE PLANS	CU-1	2.5	24.9	18.4	28.6	1,060	400	0.5	0.22	208	1	1-7
FCU-4	MITSUBISHI	TPEFYP024MA144A	SEE PLANS	CU-1	2	18.6	13.6	18.3	680	125	0.5	0.14	208	1	1-7
FCU-5	MITSUBISHI	TPEFYP012MA144A	SEE PLANS	CU-1	1	7.5	7.2	11.1	410	150	0.6	0.05	208	1	1-7

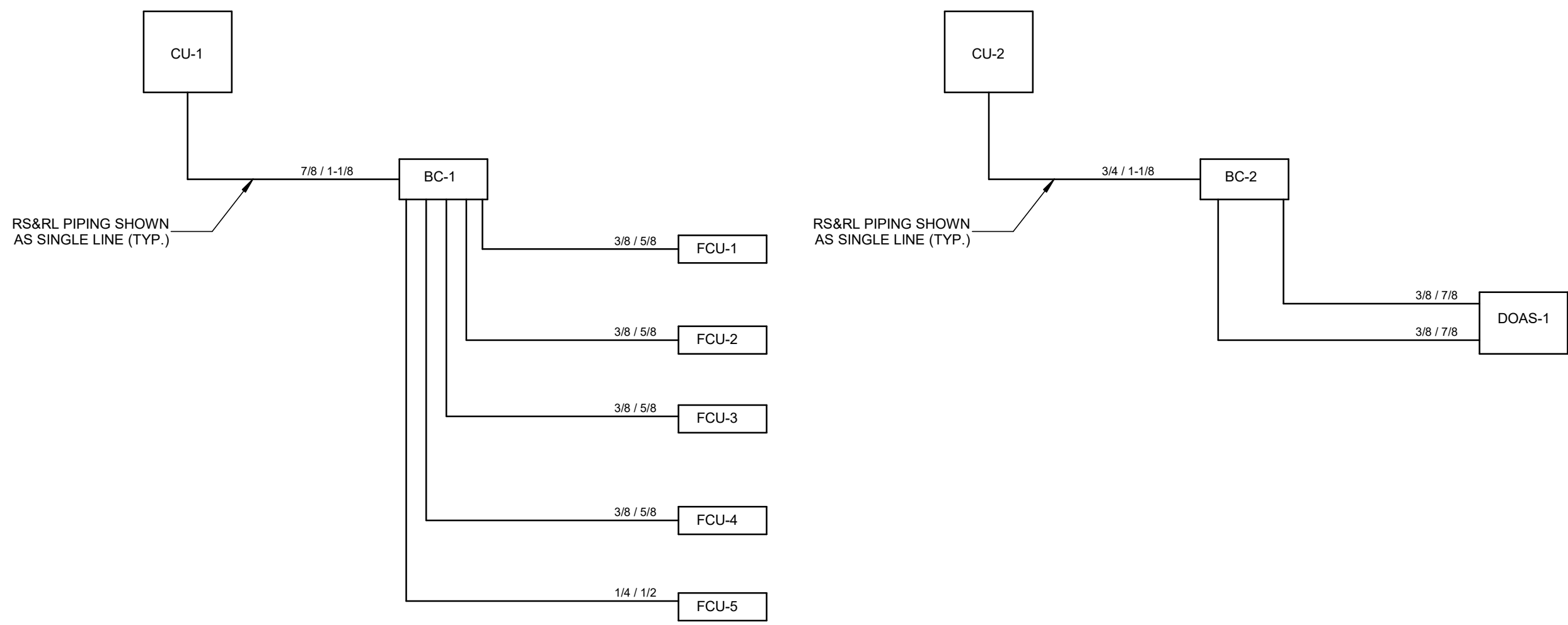
**NOTES:**  
 1. HORIZONTAL DUCTED, HIGH STATIC  
 2. COOLING MBH AT 80°F EDB, 67°F EWB, 95°F ODB. HEATING MBH AT 70°F EDB, 47°F ODB, 43°F OWB.  
 3. PROVIDE WITH CONDENSATE LIFT  
 4. PROVIDE WITH MANUFACTURER'S FILTER BOX.  
 5. PROVIDE WITH FIELD FABRICATED 2" GALVANIZED STEEL SECONDARY DRAIN PAN WITH SECONDARY DRAIN TO LOCAL FUNNEL DRAIN.  
 6. SUSPEND UNIT FROM STRUCTURE ABOVE AT FOUR CORNERS WITH NEOPRENE VIBRATION HANGERS.  
 7. PROVIDE WITH FIELD DISCONNECT.

ELECTRIC DUCT HEATER SCHEDULE										
SYMBOL	MANUFACTURER	MODEL	UNIT SERVED	TYPE	AIRFLOW (CFM)	DELTA T	ELECTRICAL DATA			REMARKS
							V/PH/Hz	KW		
EDH-1	GREENHECK	IDHB	DOAS-1	FLANGE	1,200	45°F	208/3/60	17		1-2

**REMARKS:**  
 1. PROVIDE WITH SCR CONTROLS.  
 2. INSTALL HEATER WITH DISTANCE FROM FAN AS PER MANUFACTURER'S RECOMMENDATIONS.

VRF BRANCH CONTROLLER SCHEDULE									
GENERAL				PHYS.	ELECTRICAL			NOTES	
TAG	MANUFACTURER	MODEL	LOCATION	MATCHED COMP. UNIT	# OF BRANCHES	MCA	VOLTAGE		PHASE
BC-1	MITSUBISHI	TCBMO108JA21N4	1ST FLOOR	CU-1	8	0.8	208	1	1
BC-2	MITSUBISHI	TCBMO108SJ11N4	ATTIC	CU-2	8	0.7	208	1	1

**NOTES:**  
 1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



1. THE INTENT OF THE REFRIGERANT PIPING DIAGRAMS IS TO SHOW THE ASSOCIATION OF OUTDOOR UNITS TO INDOOR UNITS.  
 2. SHOWN FOR REFERENCE ONLY. REFER TO MANUFACTURE FOR CONFIRMATION ON EXACT SIZES AND ROUTING.  
 3. ALL REFRIGERANT PIPING SHALL RUN IN CONCEALED LOCATIONS.

1 VRF REFRIGERANT RISER DIAGRAM  
 NTS

ISSUANCES		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**MECHANICAL SCHEDULES AND DIAGRAMS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	KD
CHECKED:	MM
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.  
**M5.00**

23 00 00 - GENERAL

A. THESE SPECIFICATIONS ARE APPLICABLE TO ALL PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS UNLESS NOTED OTHERWISE. REVIEW THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING DRAWINGS FOR NOTES, DIMENSIONS, ETC., AND COORDINATE WITH OTHER TRADES INVOLVED. THE WORK REQUIRED WITHIN DIVISION 23 SPECIFICATION SECTION "COMMON MECHANICAL/ELECTRICAL REQUIREMENTS" FORM COMPLIMENTARY REQUIREMENTS TO THE SCOPE OF WORK CONTAINED WITHIN DIVISION 23.

B. DESCRIPTION

- 1. THIS PROJECT COMPRISES ALTERATIONS AND RENOVATIONS TO THE EXISTING BUILDING. THE EXISTING BUILDING IS CURRENTLY OCCUPIED AND THE PROJECT SHALL PROCEED IN A MANNER THAT MINIMIZES ANY INCONVENIENCE TO THE BUILDING OCCUPANTS.
2. SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING LABOR, MATERIALS, EQUIPMENT, HOISTING, TRANSPORTATION, RIGGING, STAGING, ADJUSTMENTS, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.

C. DEFINITIONS: THE FOLLOWING DEFINITIONS APPLY TO THIS CONTRACT

- 1. FURNISH: THE TERM "FURNISH" MEANS TO "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS"
2. INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."
3. PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."
4. REMOVE: THE TERM "REMOVE" MEANS TO DISCONNECT FROM ITS PRESENT POSITION, REMOVE FROM THE PREMISES AND TO DISPOSE OF IN A LEGAL MANNER."
5. SUBSTITUTIONS: "SUBSTITUTIONS" ARE REQUESTS FOR CHANGES IN PRODUCTS, MATERIALS AND/OR METHODS OF CONSTRUCTION AS PROPOSED BY THE CONTRACTOR AFTER AWARD OF THE CONTRACT."

D. DRAWINGS

- 1. DRAWINGS ARE DIAGRAMMATIC. THE FINAL PLACEMENT OF EQUIPMENT OR DEVICES IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT WHICH IS SHOWN ON THE DRAWINGS. THOUGH SOME OFFSETS & TRANSITIONS MAY BE SHOWN IN PIPING & SHEET METAL TO HELP INDICATE THE PHYSICAL RELATIONSHIP BETWEEN THEM, IT IS NOT THE INTENT OF THE DRAWINGS TO SHOW ALL PIPING & SHEET METAL OFFSETS & TRANSITIONS REQUIRED. THE CONTRACTOR SHALL FULLY COORDINATE THE WORK AND PROVIDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. IF A CONFLICT IN POSITIONING OCCURS THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY TO ASCERTAIN WHAT THE INTENT WAS BY THE DESIGN PROFESSIONAL.

E. CODES AND STANDARDS: WORK SHALL CONFORM TO THE 2012 EDITIONS OF THE FOLLOWING:

- 1. SHEET METAL SMACNA STANDARDS
2. INTERNATIONAL MECHANICAL CODE
3. INTERNATIONAL ENERGY CONSERVATION CODE
4. INTERNATIONAL EXISTING BUILDING CODE
5. ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, OWNER STANDARDS AND BASE BUILDING SPECIFICATIONS AND STANDARDS

F. PERMITS AND FEES:

- 1. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS; AND PAY ALL GOVERNMENT AND STATE SALES TAXES AND FEES WHERE APPLICABLE, AND OTHER COSTS, INCLUDING UTILITY CONNECTIONS OR EXTENSIONS IN CONNECTION WITH THE WORK. FILE ALL NECESSARY DRAWINGS, PREPARE ALL DOCUMENTS AND OBTAIN ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL AND STATE DEPARTMENTS HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK, AND DELIVER A COPY TO THE OWNER AND ENGINEER BEFORE REQUEST FOR ACCEPTANCE AND FINAL PAYMENT FOR THE WORK.

G. EXISTING SYSTEMS AND EQUIPMENT

- 1. EXISTING TO BE REUSED/RELOCATED EQUIPMENT: REPORT ANY EXISTING EQUIPMENT DEFICIENCIES TO THE OWNER AND THE ARCHITECT AND/OR ENGINEER.
2. CONNECT WORK TO VARIOUS EXISTING SYSTEMS AS INDICATED ON THE DRAWINGS. WORK SHALL BE COMPATIBLE WITH THE EXISTING SYSTEMS. ALL WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED AS WELL AS WITH EXISTING SYSTEMS, THE STRUCTURE, AND OTHER OBSTRUCTIONS.
3. PROVIDE THE FOLLOWING SERVICES ON ALL EXISTING HVAC EQUIPMENT INDICATED TO REMAIN:
a. CLEAN CONDENSATE PAN AND TRAP
b. CALIBRATE CONTROLS
c. FILTER CHANGES
d. VERIFY FAN ROTATION AND OPERATION
e. BALANCING
f. VERIFY PITCH OF CONDENSATE DRAIN PIPES AND DRAIN PAN
g. VERIFY EQUIPMENT CONTROL OPERATIONS
h. LUBRICATION OF FANS, MOTORS, ETC.
i. CLEAN HEATING/COOLING COILS

H. SURVEY AND MEASUREMENTS

- 1. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, SHALL BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS.
2. DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS.
3. PRIOR TO ORDERING ANY MATERIALS AND EQUIPMENT, THOROUGHLY REVIEW THE SITE CONDITIONS TO DETERMINE IF ADEQUATE CLEARANCES AND ACCESS IS ALLOWED TO INSTALL THE COMPONENTS. ORDER EQUIPMENT BROKEN DOWN AS NECESSARY TO ALLOW FOR PROPER RIGGING THROUGH THE PROJECT AREA. PROVIDE ALL NECESSARY ALTERATIONS TO THE STRUCTURE OF THE BUILDING AS NECESSARY TO RIG THE EQUIPMENT IN PLACE.
4. CONTRACTORS SHALL VERIFY, LAYOUT AND BE RESPONSIBLE FOR ALL MEASUREMENTS OF ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS THAT PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS.

A. SUBMITTALS AND SHOP DRAWINGS

- 1. SUBMIT FOR REVIEW, ELECTRONIC SHOP DRAWINGS IN SEARCHABLE PDF FORMAT FOR THE FOLLOWING:
a. SUBMITTAL DATA FOR ALL MATERIAL AND EQUIPMENT. CLEARLY IDENTIFY DEVIATIONS OF THE SUBMITTED PRODUCTS FROM THE DESIGN.
b. DUCTWORK AND PIPING SHOP DRAWINGS: DRAWN TO ACCURATE SCALE OF 1/4"=1'-0". HIGHLIGHT, ENIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT CONSIDERED SHOP DRAWINGS.
c. CONTROLS SHOP DRAWINGS: INCLUDE EQUIPMENT AND SYSTEM CONTROL SCHEMATICS, SEQUENCES OF OPERATIONS, LOGIC DIAGRAMS AND SYSTEM COMPONENTS INCLUDING DETAILS OF TIE-IN TO EXISTING BUILDING CONTROL MANAGEMENT SYSTEM.
2. DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN IN CONNECTION WITH CONSTRUCTION.
3. DO NOT ORDER ANY MATERIALS OR EQUIPMENT PRIOR TO RECEIVING FINAL APPROVED SUBMITTALS.
4. SCHEDULE AT LEAST TEN WORKING DAYS EXCLUSIVE OF TRANSMITTAL TIME, FOR SUBMITTAL REVIEW.

AS-BUILT DRAWINGS

- A. MAINTAIN ONE SET OF PRINTS ON THE SITE AND NOTE ALL CHANGES OR DEVIATIONS FROM THE ORIGINAL DESIGN THEREON AT THE COMPLETION OF THE PROJECT, INCORPORATE ALL CHANGES INTO RECORD AS-BUILT DRAWINGS IN ELECTRONIC FORMAT AND SUBMIT FOR APPROVAL.

C. OPERATION AND MAINTENANCE

- 1. UPON COMPLETION OF ALL WORK AND TESTS, THE CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE OPERATION, ADJUSTMENT AND MAINTENANCE OF ALL EQUIPMENT FURNISHED. THE CONTRACTOR SHALL GIVE AT LEAST SEVEN (7) DAYS NOTICE TO THE OWNER AND THE ENGINEER IN ADVANCE OF THIS PERIOD.
2. THE CONTRACTOR SHALL PREPARE THREE (3) COPIES OF A COMPLETE OPERATION AND MAINTENANCE MANUAL, BOUND IN BOOKLET FORM. ORGANIZE OPERATING AND MAINTENANCE DATA INTO SUITABLE SETS OF MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL HEAVY-DUTY 3-RING VINYL-COVERED BINDERS, WITH POCKET FOLDERS FOR FOLDED SHEET INFORMATION AND DESIGNATION PARTITIONS WITH IDENTIFICATION TABS. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER.

1. OPERATION AND MAINTENANCE MANUAL SHALL INCLUDE THE FOLLOWING:

- a. MANUFACTURER'S PRINTED OPERATING AND MAINTENANCE PROCEDURES.
b. TROUBLESHOOTING PROCEDURES FOR ROUTINE PREVENTATIVE MAINTENANCE AND TROUBLESHOOTING.
c. COPIES OF WARRANTIES.
d. APPROVED SHOP DRAWINGS AND PRODUCT DATA.
e. BALANCE REPORTS.
f. INCLUDE IN THE MANUAL, A TABULATED EQUIPMENT SCHEDULE FOR ALL EQUIPMENT. SCHEDULE SHALL INCLUDE IDENTIFYING DATA SUCH AS: MAKE, MODEL NUMBER, SERIAL NUMBER, VOLTAGE, NORMAL OPERATING CURRENT, BELT SIZE, FILTER QUANTITIES AND SIZES, BEARING NUMBER, ETC. SCHEDULE SHALL INCLUDE MAINTENANCE TO BE DONE AND FREQUENCY.
2. MAINTENANCE AND INSTRUCTION MANUALS SHALL BE SUBMITTED TO THE OWNER AT THE SAME TIME AS THE SEVEN (7) DAY NOTICE IS GIVEN PRIOR TO THE INSTRUCTION PERIOD.

D. CLEANING

- 1. ALL WORK AREAS SHALL BE LEFT AS CLEAN AS NEW. CLEAN INTERNALS OF ALL DUCTWORK AND AIR HANDLING UNITS AND REPLACE FILTERS AFTERWARDS.
2. DUCTWORK: DUCTS SHALL BE THOROUGHLY CLEANED SO THAT NO DIRT OR DUST SHALL BE DISCHARGED FROM DIFFUSERS, REGISTERS, OR GRILLES, WHEN SYSTEM IS OPERATED.
3. PIPING: AFTER CONDENSATE PIPING HAS BEEN PRESSURE TESTED AND APPROVED FOR TIGHTNESS, CLEAN AND FLUSH PIPING.
4. EQUIPMENT: AFTER COMPLETION OF PROJECT, CLEAN THE EXTERIOR SURFACE OF EQUIPMENT INCLUDED IN THIS SECTION, INCLUDING REMOVAL OF CONCRETE RESIDUE.
5. WORK AREA: AFTER COMPLETION OF PROJECT, REMOVE ALL CONSTRUCTION DEBRIS, TEMPORARY FACILITIES AND EQUIPMENT FROM WORK AREA. CLEAN WORK AREA TO PERMIT OCCUPATION.

E. GUARANTEE

- 1. GUARANTEE WORK OF THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE (1) YEAR FROM DATE OF FINAL NOTICE OF ACCEPTANCE. REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEFECTS OCCUR WITHIN THIS PERIOD, PROMPT AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.

F. MEANS AND METHODS ALL TRADES

- 1. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE AND DISPOSE OF ALL WASTE MATERIALS, PACKAGING MATERIAL, SKIDS ETC. FROM THE SITE AND DISPOSE OF IN A LAWFUL MANNER IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL REGULATIONS.
3. MATERIALS AND EQUIPMENT SHALL BE UL LISTED WHERE STANDARD HAS BEEN ESTABLISHED.
4. CAREFULLY INSPECT ALL BUILDING ELEMENTS PRIOR TO CUTTING OR DRILLING INTO WALL, FLOORS OR CEILINGS. PATCH AND PAINT SURFACES DISTURBED BY WORK UNDER THIS CONTRACT AS REQUIRED TO RESTORE THEM TO THEIR ORIGINAL CONDITION.
5. SCAFFOLDING, RIGGING, HOISTING: THE CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, RIGGING, HOISTING AND SERVICES NECESSARY FOR ERECTION AND DELIVERY INTO THE PREMISES ANY EQUIPMENT AND APPARATUS FURNISHED UNDER THIS DIVISION. REMOVE SAME FROM PREMISES WHEN NO LONGER REQUIRED.
6. EXCAVATION AND BACKFILLING: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE SIZES, DEPTHS, FILL AND BEDDING REQUIREMENTS AND ANY OTHER EXCAVATION WORK REQUIRED UNDER THESE SPECIFICATIONS.
7. WATERPROOFING: WHERE ANY WORK PIERCES WATERPROOFING, INCLUDING WATERPROOF CONCRETE, ROOFS, EXTERIOR WALL AND FLOORS IN WET AREAS, THE METHOD OF INSTALLATION SHALL BE REVIEWED BY THE ENGINEER BEFORE WORK IS DONE. THE CONTRACTOR SHALL FURNISH ALL NECESSARY SLEEVES, CAULKING AND FLASHING REQUIRED TO MAKE OPENINGS ABSOLUTELY WATERTIGHT.
8. PROVIDE FIRESTOPPING AROUND ALL FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED PARTITIONS. PROVIDE ASBESTOS FREE FIRESTOPPING SYSTEM CAPABLE OF MAINTAINING AN EFFECTIVE BARRIER AGAINST FLAME AND GASES. SYSTEM SHALL BE UL LISTED AND COMPLY WITH ASTM E 814.
9. PROVIDE ACCESS PANELS IN WALLS, FLOORS AND GYPSUM WALL BOARD CEILINGS TO ALLOW ACCESS TO: DAMPERS, HEATERS, VALVES, VARIABLE AIR VOLUME BOXES, FAN BOXES AND OTHER APPARATUS AND EQUIPMENT REQUIRING PERIODIC SERVICE AND INSPECTION. NOT ALL ACCESS PANELS ARE INDICATED ON THE PLANS. REVIEW ARCHITECTURAL AND MECHANICAL PLANS TO DETERMINE THE LOCATION AND QUANTITY OF ACCESS PANELS REQUIRED. COORDINATE TYPE AND LOCATION WITH ARCHITECTURAL PLANS.

23 05 17 - SLEEVES AND PENETRATIONS

A. GENERAL REQUIREMENTS

- 1. LAY OUT PENETRATION AND SLEEVE OPENINGS IN ADVANCE. COORDINATE WORK CAREFULLY WITH ARCHITECTURAL AND STRUCTURAL WORK. PROVIDE CORE DRILLING OF EXISTING CONSTRUCTION WHERE REQUIRED. SUBMIT PROPOSED LOCATIONS FOR REVIEW PRIOR TO CORE DRILLING.
2. MAINTAIN FIRE RATING OF WALLS, PARTITIONS, CEILINGS, AND FLOORS AT PENETRATIONS. SEAL PENETRATIONS WITH APPROVED FIRESTOP MATERIALS.
3. SLEEVES FOR INSULATED PIPE AND DUCT IN NON-FIRE RATED CONSTRUCTION SHALL ACCOMMODATE CONTINUOUS INSULATION WITHOUT COMPRESSION.

B. PIPE SLEEVES:

- 1. PROVIDE HOT-DIPPED GALVANIZED SCHEDULE 40 STEEL PIPE SLEEVES FOR PIPES PASSING THROUGH CONCRETE AND MASONRY WALLS AND CONCRETE FLOOR AND ROOF SLABS.
2. PROVIDE 26 GAUGE GALVANIZED STEEL SLEEVES THROUGH PARTITIONS AND NON-FIRE-RATED CONSTRUCTION.
3. PROVIDE MECHANICAL SLEEVE SEALS CONSISTING OF INTERLOCKING MODULES AT EXTERIOR PIPE PENETRATIONS.
4. PROVIDE ADJUSTABLE ESCUTCHEONS ON EXPOSED PIPING THAT PASSES THROUGH FINISHED FLOORS, WALLS AND CEILINGS. ESCUTCHEONS SHALL BE CHROMIUM-PLATED CAST BRASS, SIZED TO COVER SLEEVE OPENINGS AND TO ACCOMMODATE PIPE AND INSULATION.

C. DUCT SLEEVES AND OPENINGS:

- 1. PROVIDE GALVANIZED-STEEL SHEET DUCT SLEEVES FOR ROUND DUCTS 16 INCHES AND SMALLER. PROVIDE PREPARED, FRAMED OPENINGS FOR ROUND DUCTS LARGER THAN 16 INCHES AND FOR SQUARE, RECTANGULAR AND FLAT OVAL DUCTS, EXCEPT AS SPECIFIED OTHERWISE. SLEEVES SHALL MEET SMACNA REQUIREMENTS.
2. PROVIDE GALVANIZED-STEEL SHEET DUCT SLEEVES FOR SLEEVES THROUGH FIRE-RATED CONSTRUCTION AND THROUGH SMOKE PARTITIONS. SLEEVE AND SEAL MATERIALS CONSTRUCTION AND CLEARANCES SHALL MEET REQUIREMENTS OF SMACNA FIRE DAMPER AND HEAT STOP GUIDE FOR AIR HANDLING SYSTEMS. WHERE FIRE DAMPERS ARE REQUIRED, INSTALL SLEEVE AND DAMPER ASSEMBLY IN ACCORDANCE WITH DAMPER LISTING.

23 05 29 - HANGERS AND SUPPORTS

- A. PROVIDE PIPE STANDS, SUPPORTS, HANGERS AND OTHER SUPPORTING APPLIANCES AS NECESSARY TO SUPPORT WORK REQUIRED BY CONTRACT DOCUMENTS. SPACING OF HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING AND MECHANICAL CODES. STRUCTURAL STEEL SUPPORTS, HANGERS, ETC. SHALL BE ANGLE IRON, STEEL CHANNEL OR STEEL ROD USED WITH APPROVED CLAMPS, INSERTS, ETC. ALL SUPPORTS, HANGERS, BRACKETS, ETC., SHALL BE AS APPROVED BY THE ENGINEER.
B. ALL HANGERS SHALL BE GALVANIZED.
C. ATTACH HANGERS AND SUPPORTS DIRECTLY ONTO THE STRUCTURE BY FIRST REMOVING EXISTING FIRE PROOFING AND AFTER SECURING THE ATTACHMENT, REPAIRING THE FIRE PROOFING TO ITS ORIGINAL CONDITION, CONTINUOUSLY OVER THE ATTACHMENT.
D. FOR EXPANSION BOLT/SUPPORTS USE RED HEAD, HILT OR WEAHT SELF DRILLING OR STEEL SHIELD, LOAD RATED. DO NOT USE DRILLED ANCHORS IN POST TENSION SLABS WITHOUT APPROVAL OF OWNER. DO NOT CUT REINFORCED CONCRETE WITH DRILLED INSERTS.
E. SUPPORT ALL GALVANIZED DUCTWORK WITH GALVANIZED HANGERS AND MOUNTS AS REQUIRED BY SMACNA (6 FT SPACING). DO NOT SUPPORT RISERS FROM SLEEVES IN SLABS.

23 05 48 - VIBRATION AND SEISMIC CONTROLS FOR HVAC

- A. PROVIDE VIBRATION ISOLATION FOR EACH PIECE OF ROTATING OR RECIPROCATING HVAC EQUIPMENT SHOWN ON THE DRAWINGS. ALL ISOLATION COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. BOUND IN BOOKLET FORM. ORGANIZE OPERATING AND MAINTENANCE DATA INTO SUITABLE SETS OF MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL HEAVY-DUTY 3-RING VINYL-COVERED BINDERS, WITH POCKET FOLDERS FOR FOLDED SHEET INFORMATION AND DESIGNATION PARTITIONS WITH IDENTIFICATION TABS. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER.

23 05 53 - PIPE AND DUCT IDENTIFICATION

A. DUCTWORK AND PIPING SHALL BE LABELED WITH PREPRINTED SELF-ADHESIVE, PREMIUM GRADE VINYL, COLOR-CODED, WITH LETTERING INDICATING SERVICE, AND SHOWING FLOW DIRECTION.

23 05 93 - TESTING ADJUSTING AND BALANCING

- A. PROVIDE QUALIFIED PERSONNEL, EQUIPMENT, APPARATUS AND SERVICES FOR START-UP, TESTING AND BALANCING OF MECHANICAL SYSTEMS, TO PERFORMANCE DATA SHOWN IN SCHEDULES, AS SPECIFIED, AND AS REQUIRED BY CODES, STANDARDS, REGULATIONS AND AUTHORITIES HAVING JURISDICTION INCLUDING CITY INSPECTORS, OWNERS AND ARCHITECT.
B. PROVIDE THE SERVICES OF AN INDEPENDENT TESTING, ADJUSTING, AND BALANCING (TAB) AGENCY TO PROVIDE TAB SERVICES FOR THE MECHANICAL SYSTEMS. THE TAB AGENCY SHALL BE REGISTERED WITH THE NATIONAL ENVIRONMENTAL BALANCING BUREAU (NEBB) OR THE ASSOCIATED AIR BALANCE COUNCIL (AAEC) IN THOSE TESTING AND BALANCING DISCIPLINES REQUIRED FOR THIS PROJECT. THE TAB AGENCY SHALL HAVE AT LEAST ONE PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE SERVICES ARE TO BE PERFORMED AND CERTIFIED BY NEBB OR AACB AS A TEST AND BALANCE ENGINEER.
C. PRIOR TO TESTING, ADJUSTING, AND BALANCING, THE MECHANICAL CONTRACTOR SHALL VERIFY THAT THE SYSTEMS HAVE BEEN INSTALLED AND ARE OPERATING AS SPECIFIED. APPROVED SHOP DRAWINGS, AS BUILT DRAWINGS, AND ALL OTHER DATA REQUIRED FOR EACH SYSTEM AND/OR COMPONENT TO BE TESTED SHALL BE MADE AVAILABLE AT THE JOB SITE DURING THE ENTIRE TAB EFFORT. THE OWNER SHALL BE NOTIFIED IN WRITING OF ALL EQUIPMENT COMPONENTS, OR BALANCING DEVICES, THAT ARE DAMAGED, INCORRECTLY INSTALLED, OR MISSING, AS WELL AS ANY DESIGN DEFICIENCIES THAT WILL PREVENT PROPER TESTING, ADJUSTING, AND BALANCING. TESTING, ADJUSTING, AND BALANCING SHALL NOT COMMENCE UNTIL APPROVED BY THE OWNER.
D. PERFORM TESTING AND BALANCING PROCEDURES ON EACH SYSTEM IDENTIFIED, IN ACCORDANCE WITH THE DETAILED PROCEDURES OUTLINED IN EITHER NEBB, "PROCEDURAL STANDARDS FOR TESTING, ADJUSTING, AND BALANCING OF ENVIRONMENTAL SYSTEMS" OR AACB, "NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE." THE TAB AGENCY SHALL TEST, ADJUST, AND BALANCE THE FOLLOWING MECHANICAL SYSTEMS:
1. ALL AIR HANDLING EQUIPMENT
2. ALL PUMPING SYSTEMS
3. ALL SUPPLY AIR SYSTEMS
4. ALL RETURN AIR SYSTEMS
5. ALL HYDRONIC SYSTEMS
6. VERIFY OPERATION OF ALL TEMPERATURE CONTROL SYSTEMS
7. TEST SYSTEMS FOR PROPER SOUND AND VIBRATION LEVELS

A. SUBMIT TESTING, ADJUSTING, AND BALANCING REPORTS BEARING THE SEAL AND SIGNATURE OF THE TAB PROFESSIONAL ENGINEER. PREPARE A REPORT OF RECOMMENDATIONS FOR CORRECTING UNSATISFACTORY MECHANICAL PERFORMANCES WHEN A SYSTEM CANNOT BE SUCCESSFULLY BALANCED.

B. START UP ALL SYSTEMS. PRESSURE TEST DUCTWORK AND PIPING, AND BALANCE SYSTEMS INCLUDING, BUT NOT LIMITED TO ALL NEW AND EXISTING REGISTERS, GRILLES, DIFFUSERS, TERMINAL UNITS, FANS, ETC. WITHIN THE AREA OF WORK TO PERFORMANCE DATA SHOWN ON PLANS, SCHEDULES, AND AS SPECIFIED.

C. DO NOT COVER OR CONCEAL WORK BEFORE TESTING AND INSPECTION AND OBTAINING APPROVAL.

D. LEAKS, DAMAGE AND DEFECTS DISCOVERED OR RESULTING FROM STARTUP, TESTING, AND BALANCING SHALL BE REPAIRED OR REPLACED TO LIKE-NEW CONDITION WITH ACCEPTABLE MATERIALS. TEST SHALL BE CONTINUED UNTIL SYSTEM OPERATES WITHOUT ADJUSTMENT OR REPAIR.

E. REPORT ON REPORTING FORMS, SUBMITTED TO OWNER FOR APPROVAL IN ADVANCE.

F. SUBMIT PROCEDURES, RECORDING FORMS, AND TEST EQUIPMENT FOR REVIEW PRIOR TO BALANCING, AS DESCRIBED IN SPECIFICATIONS. SUBMIT ELECTRONIC COPY OF TESTING AND BALANCING REPORTS TO ARCHITECT FOR APPROVAL.

G. THE BALANCING CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DIRECTIONAL ADJUSTMENT OF ALL LINEAR DIFFUSERS AS INDICATED ON PLANS. IF NO DIRECTIONAL FLOW IS INDICATED INTERIOR LINEAR DIFFUSERS SHALL BE DIRECTED HORIZONTALLY AND PERIMETER LINEAR DIFFUSER SHALL BE DIRECTED VERTICALLY. IF PERIMETER LINEAR DIFFUSERS HAVE MULTIPLE SLOTS THE PERIMETER SLOT DIRECTED VERTICALLY, AND THE INTERIOR SLOT DIRECTED HORIZONTALLY TOWARDS THE INTERIOR SPACE.

23 07 13 - HVAC INSULATION

A. GENERAL REQUIREMENTS

- 1. INSULATION SHALL BE CERTAIN-TEED, KNAUF, MANVILLE, OR OWENS CORNING. MATERIALS SHALL MEET REQUIREMENTS OF ADHESIVE AND SEALANT COUNCIL STANDARDS AND SMACNA. INSTALL INSULATION, MASTICS, ADHESIVES, COATINGS, COVERS, WEATHER-PROTECTION AND OTHER WORK IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ASTM E-84 FIRE HAZARD RATINGS SHALL BE 25 FLAME SPREAD, 50 SMOKE DEVELOPED.
2. INSULATION AND VAPOR BARRIER SHALL BE CONTINUOUS AROUND ENTIRE PERIMETER OF DUCTS. DUCTS SUPPORTED BY METAL STRAPS SHALL HAVE INSULATION ENCOMPASSING STRAPS, WHERE STRAPS PENETRATE AT TOP OF DUCT TIGHTLY SEAL AROUND STRAP WITH INSULATING TAPE. DUCTS SUPPORTED BY TRAPEZIE TYPE HANGERS UNDER DUCTS SHALL HAVE 6 LB. DENSITY RIGID INSULATION PROVIDED BETWEEN DUCT AND HANGER. INSULATION SHALL BE SAME THICKNESS AND VAPOR BARRIER AS SPECIFIED FOR SPECIFIC DUCT TYPE. RIGID INSULATION SECTION SHALL BE FULL WIDTH OF DUCT AND MINIMUM 1/2" LONG. TAPE AND SEAL ALL SEAMS WHERE RIGID INSULATION MEETS OTHER INSULATION.
3. FITTINGS, VALVES AND FLANGES SHALL BE INSULATED WITH SAME MATERIAL AND TO SAME THICKNESS AS ADJOINING PIPE INSULATION, WITH PRESENT SECTIONS.
4. FOR STRAINERS AND OTHER VALVES OR FITTINGS WHICH NEED MAINTENANCE, PROVIDE PREFORMED REMOVABLE INSULATION SECTION.

B. PRODUCTS AND APPLICATIONS

- 1. INDOOR DUCT INSULATION SHALL BE MINERAL FIBER BLANKET DUCT INSULATION WITH FACTORY APPLIED FSK JACKET. PROVIDE MINIMUM OF R-6 (AS INSTALLED) INSULATION FOR THE FOLLOWING:
a. SUPPLY AND FRESH AIR DUCTS WHEN LOCATED WITHIN CONCEALED SPACES INSIDE THE BUILDING ENVELOPE.
b. RETURN AIR DUCTWORK IN UNCONDITIONED SPACES (WHERE SPACE TEMPERATURE IS MORE THAN 10 DEGREES F DIFFERENT FROM DUCT TEMPERATURE).
2. REFRIGERANT LINE AND CONDENSATE DRAIN LINE INSULATION SHALL BE 1 INCH THICK FLEXIBLE ELASTOMERIC, ACCEPTABLE MANUFACTURERS: ARMACELL OR K-FLEX.
3. CONDENSATE DRAIN LINE INSULATION SHALL BE 1 INCH THICK FLEXIBLE ELASTOMERIC, ACCEPTABLE MANUFACTURERS: ARMACELL OR K-FLEX.
4. EQUIPMENT INSULATION SHALL BE MINERAL FIBER BOARD INSULATION WITH FACTORY APPLIED ASJ. PROVIDE 2 INCH THICK FOR HEATING SYSTEM HEAT EXCHANGERS, 1 INCH THICK FOR OTHER EQUIPMENT. INSULATION SHALL BE FORMED OR FABRICATED TO FIT EQUIPMENT.

23 09 00 - INSTRUMENTATION AND CONTROLS

- A. PROVIDE COMPLETE SYSTEM OF AUTOMATIC TEMPERATURE CONTROLS (ATC). CONTROL SYSTEM SHALL BE CAPABLE OF PERFORMING ALL SEQUENCES OF OPERATION SHOWN ON THE DRAWINGS OR DESCRIBED IN THESE SPECIFICATIONS. INDIVIDUAL CONTROL COMPONENTS MAY NOT BE SHOWN ON CONTRACT DOCUMENTS, BUT THE CONTRACTOR SHALL SUPPLY ALL COMPONENTS, AND CONTROL WIRING NECESSARY FOR A COMPLETE OPERABLE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SYSTEM COMPONENTS, WHETHER THE ELECTRICAL OR OTHER WORK IS SUBCONTRACTED OR NOT.
B. INSTALL THERMOSTATS AT MOUNTING HEIGHTS ABOVE FINISHED FLOOR IN ACCORDANCE WITH "ADA" REQUIREMENTS, OR AS DIRECTED OTHERWISE BY ARCHITECT.
C. ALL SAFETY SWITCHES AND CUT OUTS SHALL BE FIELD CALIBRATED AND SET PRIOR TO START-UP EQUIPMENT.
D. ALL CONTROL WIRING SHALL COMPLY WITH THE REQUIREMENTS OF THE ELECTRICAL SPECIFICATIONS.
E. SUBMIT TO ARCHITECT A POINT-TO-POINT WIRING DIAGRAM AND AIR PIPING LAYOUT SHOWING MANUFACTURERS AND MODEL NUMBERS OF ALL CONTROL COMPONENTS. INCLUDE WRITTEN DESCRIPTION OF SYSTEM OPERATION.
F. WIRING BETWEEN FIRE ALARM SYSTEM AND TEMPERATURE CONTROL SYSTEM, EXCEPT FOR DUCT MOUNTED SMOKE DETECTORS, SHALL BE BY MECHANICAL CONTRACTOR.
G. ROOM THERMOSTAT SENSORS AND TRANSMITTERS IN PUBLIC AREAS SHALL HAVE METAL COVER WITH TAMPER PROOF SCREWS AND CONCEALED ADJUSTMENT. THERMOSTATS FOR PRIVATE OFFICES SHALL HAVE EXPOSED DIAL FOR SETPOINT ADJUSTMENT. HEATING/COOLING THERMOSTATS SHALL HAVE AN ADJUSTABLE DEADBAND.
H. LOCAL CONTROLLERS, RELAYS, SWITCHES, AND OTHER CONTROL COMPONENTS SHALL BE MOUNTED ON ENCLOSED CONTROL PANELS WITH HINGE-LOCK DOOR MOUNTED NEXT TO SYSTEM CONTROLLED. TEMPERATURE SETTINGS, ADJUSTMENTS AND CALIBRATIONS SHALL BE MADE AT SYSTEM CONTROL PANEL. PANEL SHALL HAVE CANOPY LIGHT AND ON-OFF SWITCH.

23 31 00 - HVAC DUCTS

A. GENERAL REQUIREMENTS

- 1. FOR GALVANIZED DUCTWORK, SEAL AIR DUCT JOINTS AND JOINTS BETWEEN FITTINGS AND CONTRACTOR A COMPLETE EQUIPMENT DATA PACKAGE. THIS PACKAGE SHALL INCLUDE, BUT IS NOT LIMITED TO, EQUIPMENT CAPACITIES AT THE DESIGN CONDITIONS DETAILED IN THIS SPECIFICATION AND ON THE EQUIPMENT SCHEDULE, POWER REQUIREMENTS, INDOOR UNITS CNSTATIC PRESSURES, FAN CURVES, INSTALLATION REQUIREMENTS, AND PHYSICAL DIMENSIONS. NOMINAL PERFORMANCE DATA IS NOT ACCEPTABLE.
2. DUCTWORK SHALL BE FREE FROM VIBRATION UNDER ALL CONDITIONS OF OPERATION.
3. DIFFUSER & REGISTER LOCATIONS SHALL BE COORDINATED WITH ARCHITECTURAL REFLECTED CEILING PLANS.
4. DIFFUSER SIZES SHOWN ARE NECK SIZES; REGISTER AND GRILLE SIZES ARE NOMINAL.
5. ALL DUCTS PENETRATING RATED FIRE WALLS SHALL BE PROVIDED WITH FIRE DAMPERS AND ACCESS DOORS.
6. DUCTWORK SHALL NOT RUN ALONG FULL HEIGHT PARTITIONS.
7. WHEN SECTION OF DUCTWORK IS NOT LABELED FOR SIZE, THE LARGER SIZE INDICATED ON THE CONNECTION SHALL PREVAIL. SIZE OF DUCT RUN-OUTS TO DIFFUSER SHALL EQUAL DIFFUSER NECK SIZE.
8. DUCT BRANCH CONNECTIONS AND TAKE OFF'S SHALL BE MADE WITH 45° CONNECTION, BELLMOUTH OR CONICAL ONLY. SPIN IN COLLARS AND STRAIGHT TAPS SHALL NOT BE USED.
9. ELBOWS AND BENDS FOR RECTANGULAR DUCTS SHALL HAVE CENTER LINE RADIUS OF 1.5 TIMES DUCT WIDTH, ELBOWS SHALL BE RADIUS THROAT WITH RADIUS HEEL AND FULL LENGTH SPLITTER VANES.
10. NO PIPE, CONDUIT, HANGER, ARCHITECTURAL ELEMENT NOR STRUCTURAL MEMBER SHALL PASS THROUGH DUCT WITHOUT ARCHITECT'S AND/OR ENGINEER'S WRITTEN APPROVAL.

B. SHEETMETAL DUCTWORK

- 1. SHEET METAL DUCTS SHALL BE CONSTRUCTED OF HOT DIPPED G80 GALVANIZED SHEET METAL UNLESS OTHERWISE SPECIFIED. MATERIAL, CONSTRUCTION AND INSTALLATION SHALL MEET REQUIREMENTS OF MOST RECENT EDITIONS OF SMACNA STANDARDS (EXCEPT FOR MORE STRINGENT REQUIREMENTS SPECIFIED OR SHOWN ON DRAWINGS). ALL MEDIUM PRESSURE DUCTWORK BETWEEN MAIN SYSTEM FAN AND AIR TERMINAL DEVICE SHALL BE MINIMUM 4"(wg) PRESSURE CLASS, SEAL CLASS A, LEAKAGE CLASS 6. ALL LOW-PRESSURE DUCTWORK BETWEEN TERMINAL DEVICE AND AIR OUTLETS SHALL BE MINIMUM 2"(wg) PRESSURE CLASS. SEAL CLASS B, LEAKAGE CLASS 12

C. FLEXIBLE DUCTWORK

- 1. FLEXIBLE DUCTWORK, CONNECTING TO UNINSULATED OR UNLINED DUCT, SHALL BE VINYL COATED FIBERGLASS CLOTH 0.0057" MINIMUM THICKNESS, 25 STRANDS PER INCH MINIMUM THREAD COUNT WITH CORROSION-RESISTANT HELICAL WIRE REINFORCEMENT. FLEX DUCT SHALL BE UL RATED FOR 12" W.C. POSITIVE PRESSURE, 2" W.C. NEGATIVE PRESSURE WITH A MAXIMUM VELOCITY OF 4000 FPM. FLEXDUCT MUST BE LISTED AS A CLASS 1 CONNECTOR ACCORDING TO UL 181 AND SHALL MEET THE REQUIREMENTS OF NFPA 90A - MAXIMUM ASTM E-84 FIRE HAZARD RATING SHALL BE 25 FLAME SPREAD, 50 SMOKE DEVELOPED. 50 SMOKE DEVELOPED. UNINSULATED FLEXIBLE DUCT SHALL BE EQUIVALENT TO FLEXMASTER TYPE 4.
2. FLEXIBLE DUCT CONNECTED TO INSULATED OR LINED DUCT SHALL BE INSULATED WITH 1-1/2", 1/2 LB. DENSITY FIBERGLASS INSULATION AND FLAME RETARDANT (UL LISTED) VAPOR BARRIER, MEETING ASTM E-84 RATING AS REFERENCED ABOVE.
3. FLEXIBLE DUCTS SHALL NOT EXCEED 5 FEET LONG AND SHALL BE USED FOR STRAIGHT RUN ONLY, NO OFFSETS OR TURNS. MAXIMUM SAG OF 1/2" PER 1'-0".
4. HANGER AND SADDLE IN CONTACT WITH FLEXIBLE DUCT SHALL BE WIDE ENOUGH TO PREVENT RESTRICTION OF INTERNAL DUCT DIAMETER WHEN WEIGHT OF SUPPORTED SECTION RESTS ON HANGER OR SADDLE MATERIAL.
5. COLLARS TO WHICH FLEXIBLE DUCTS ARE ATTACHED SHALL BE AT LEAST 2' LONG. SLEEVES FOR JOINING SECTIONS OF FLEXIBLE DUCT SHALL BE AT LEAST 4' LONG.
6. APPLY SEALING COMPOUND TO METALLIC SURFACE AT CONNECTION OF FLEXIBLE DUCT WITH SHEET METAL DUCTS, COLLARS AND MIXING BOXES. SLIP FLEXIBLE DUCTWORK OVER CONNECTIONS TO BE MADE AS FAR UPSTREAM AS POSSIBLE IN THE BRANCH DUCT OR TAKE OFF TO MINIMIZE DOWNSTREAM NOISE.

23 33 00 - AIR DUCT ACCESSORIES

A. ADJUSTABLE MANUAL BALANCING DAMPERS:

- 1. GENERAL: NOT ALL MANUAL BALANCING DAMPERS MAY BE SHOWN ON THE PLANS FOR CLARITY. PROVIDE MANUAL ADJUSTABLE VOLUME DAMPERS, WITH EXTENDED MOUNT INDICATING AND LOCKING QUADRANTS ON EACH SUPPLY, RETURN, AND GENERAL EXHAUST DUCT TAKEOFF, AND AT EACH TAKEOFF TO A REGISTER, GRILLE, OR DIFFUSER. DAMPERS SHALL BE LOCATED AS FAR UPSTREAM AS POSSIBLE IN THE BRANCH DUCT OR TAKE OFF TO MINIMIZE DOWNSTREAM NOISE.
2. REMOTE ADJUSTABLE VOLUME DAMPERS: PROVIDE REMOTE ADJUSTABLE VOLUME DAMPERS IN AREAS WHERE CEILING CAVITY ACCESS IS LIMITED BY HARD (SOLID) CEILINGS, EQUIPMENT OBSTRUCTIONS, ARCHITECTURAL FEATURES, ETC. COORDINATE BETWEEN MECHANICAL PLANS AND ARCHITECTURAL CEILING PLANS TO DETERMINE IF AND WHERE REMOTE ADJUSTABLE VOLUME DAMPERS ARE REQUIRED. MANUALLY ADJUSTED REMOTE VOLUME DAMPERS SHALL BE SIMILAR TO YOUNG REGULATOR MODEL 270.

B. FLEXIBLE CONNECTIONS

- 1. MAKE ALL CONNECTIONS BETWEEN AIR HANDLING UNITS AND DUCTWORK AND BETWEEN FANS AND DUCTWORK WITH FLEXIBLE CONNECTIONS. FOR INDOOR APPLICATIONS, FLEXIBLE CONNECTIONS SHALL BE NEOPRENE-COATED FIBROUS GLASS FIRE RETARDANT FABRIC, BY VENT FABRICS, OR DURODYNE. FOR OUTDOOR APPLICATIONS, FLEXIBLE CONNECTIONS SHALL BE LOCATED AS FAR UPSTREAM AS POSSIBLE IN THE BRANCH DUCT, AND UV-RESISTANT BY VENT FABRICS OR DURODYNE.

23 34 00 - HVAC FANS

- A. ALL FANS SHALL HAVE THEIR AIR PERFORMANCE RATED IN ACCORDANCE WITH AMCA AND SHALL BE LICENSED TO BEAR THE AMCA SEAL.
B. ACCEPTABLE MANUFACTURERS: GREENHECK, COOK, TWIN CITY.

23 37 00 - AIR OUTLETS AND INLETS

- A. PROVIDE DIFFUSERS, REGISTERS, AND GRILLES FOR SUPPLY, RETURN, AND EXHAUST OUTLETS, OF SIZE, TYPE, MATERIAL AND DESIGN SHOWN ON DRAWINGS. ACCEPTABLE MANUFACTURERS: KNAUF, REGISTER, METALAIRE, METALAIR, OR PRIGER. REGISTER, METALAIR, LEVELS SHALL NOT EXCEED NC 30. COLOR AND FINISH SHALL BE SELECTED BY THE ARCHITECT.

23 81 29 - VARIABLE REFRIGERANT FLOW SYSTEMS

A. SYSTEM DESCRIPTION:

- 1. PROVIDE A VARIABLE REFRIGERANT CAPACITY, AIR-COOLED HEAT PUMP AIR CONDITIONING SPLIT SYSTEM CONSISTING OF EVAPORATOR UNITS AND BRANCH SELECTOR BOXES, THREE PIPE REFRIGERANT DISTRIBUTION CONFIGURATION USING PID CONTROL, AND AIR-COOLED CONDENSING UNITS. THE CONDENSER SHALL BE A DIRECT EXPANSION (DX), AIR-COOLED, HEAT RECOVERY/HEAT PUMP MULTI-ZONE SPLIT AIR CONDITIONING SYSTEM WITH INVERTER DRIVEN VARIABLE SPEED COMPRESSORS, USING R-410A REFRIGERANT. ALL INDOOR UNITS ARE EACH CAPABLE OF OPERATING SEPARATELY WITH INDIVIDUAL TEMPERATURE CONTROL. SYSTEM SHALL BE CAPABLE OF INTEGRATING WITH OPEN PROTOCOL BACNET BMS. INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS.

B. CONDENSING UNIT:

- 1. FACTORY ASSEMBLED AND PRE-WIRED WITH ALL NECESSARY ELECTRONIC AND REFRIGERANT CONTROLS CAPABLE OF HEATING OPERATION AT 12F AND 95F OUTDOOR AIR DRY-BULB TEMPERATURE.

C. INDOOR UNITS:

- 1. FACTORY ASSEMBLED AND TESTED WITH FACTORY WIRING, PIPING, ELECTRONIC PROPORTIONAL EXPANSION VALVE, CONTROL CIRCUIT BOARD, FAN MOTOR, THERMAL PROTECTOR, FLARE CONNECTIONS, CONDENSATE DRAIN PAN, CONDENSATE DRAIN PUMP, CONDENSATE SAFETY SHUTOFF AND ALARM, SELF-DIAGNOSTICS, AUTO-RESTART FUNCTION, 3-MINUTE FUSED TIME DELAY, AND TEST RUN SWITCH.

D. BRANCH SELECTOR (BS) BOX:

- 1. DESIGNED SPECIFICALLY FOR USE WITH THE MANUFACTURER'S VRF HEAT RECOVERY SYSTEM COMPONENTS. THESE SELECTOR BOXES SHALL BE FACTORY ASSEMBLED, WIRED, PIPED, AND RUN TESTED AND PROVIDED WITH ELECTRONIC EXPANSION VALVES (EEVs) THAT ARE SERVICEABLE AND REPLACEABLE WITHOUT OPENING THE REFRIGERATION SYSTEM. IF THE MANUFACTURER EMPLOYS ANY SOLENOID VALVES IN LIEU OF EEVs PRESSURE-RATED SHUTOFF ISOLATION VALVES SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR. UPSTREAM AND DOWNSTREAM OF THE BS BOX TO FACILITATE SERVICEABILITY WITHOUT OPENING THE REFRIGERATION SYSTEM.

E. VRF SYSTEM CONTROLS:

- 1. INTELLIGENT MULTI-ZONE CONTROLLER CAPABLE OF CONTROLLING A MAXIMUM OF 64 INDOOR UNIT GROUPS AND 128 INDOOR UNITS CONNECTED TO A MAXIMUM OF 10 OUTDOOR UNITS. THE CONTROLLER SHALL BE MANAGED BY THE SYSTEM SUPPORT OPERATIONS PERSONNEL THAT OF THE LOCAL REMOTE CONTROLLER, SYSTEM CONFIGURATION, DAILY/WEEKLY SCHEDULING, MONITORING OF OPERATION STATUS, AND MALFUNCTION MONITORING.

F. ALLOWABLE ALTERNATE MANUFACTURER REQUIREMENTS:

- 1. IN ORDER FOR AN ALTERNATE EQUIPMENT SUPPLIER TO BE CONSIDERED FOR THIS PROJECT, ALTERNATE SUPPLIER SHALL PROVIDE TO THE BIDDING MECHANICAL CONTRACTOR A COMPLETE EQUIPMENT DATA PACKAGE. THIS PACKAGE SHALL INCLUDE, BUT IS NOT LIMITED TO, EQUIPMENT CAPACITIES AT THE DESIGN CONDITIONS DETAILED IN THIS SPECIFICATION AND ON THE EQUIPMENT SCHEDULE, POWER REQUIREMENTS, INDOOR UNITS CNSTATIC PRESSURES, FAN CURVES, INSTALLATION REQUIREMENTS



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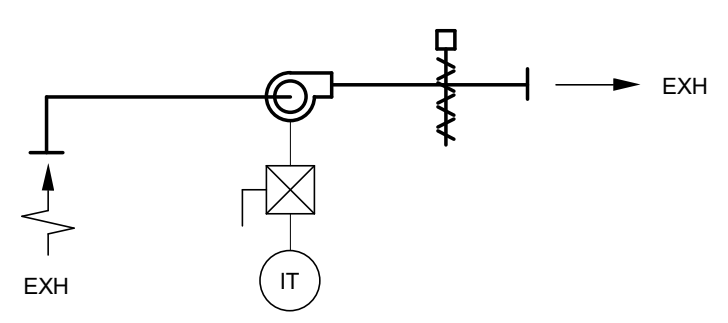
**CASTROVILLE CATHOLIC SCHOOL**  
702 PARIS ST,  
CASTROVILLE, TX

**MECHANICAL CONTROLS**

DATE:	12/19/2025
PROJECT NO:	250812.00
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ISSUED FOR:	100% CD
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**SEQUENCE OF OPERATION**

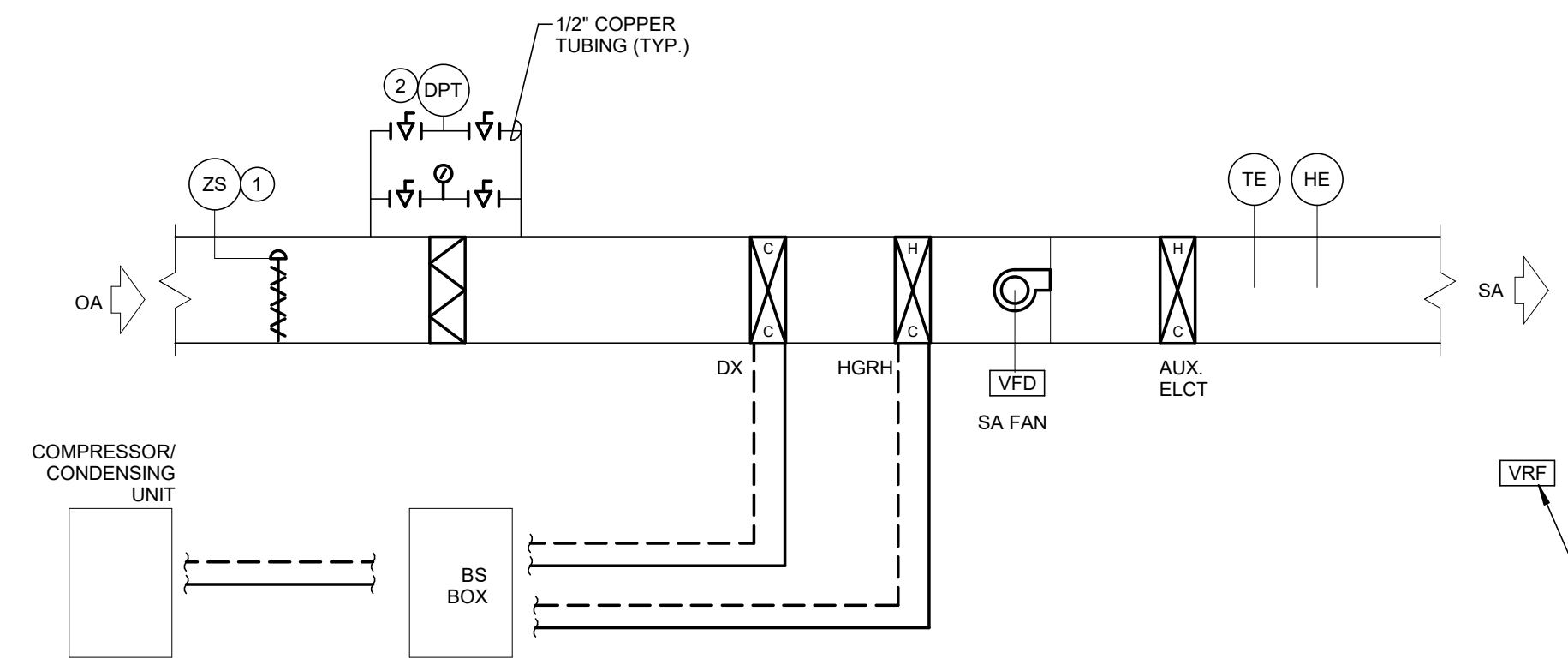
**GENERAL**

- UNIT SHALL BE CONTROLLED BY DOAS CONTROLLER AND SHALL RUN IN CONJUNCTION WITH DOAS UNIT.
- THE FAN SHALL RUN CONTINUOUSLY AND MOTORIZED DAMPER SHALL FULLY OPEN DURING THE BUILDING'S OCCUPIED HOURS AND UNIT SHALL OFF DURING UNOCCUPIED HOURS.

**OPERATION**

- UPON STARTUP, DAMPER SHALL POWER OPEN (FAIL CLOSE)
- IF THE DAMPER IS PROVEN OPEN VIA END SWITCH, FAN SHALL ACTIVATE AND RUN CONTINUOUSLY AT CONSTANT VOLUME.
- DURING UNOCCUPIED MODE THE FAN SHALL DEENERGIZE AND MOTORIZED DAMPER SHALL FULLY CLOSE.

**1 FANS - EXHAUST**  
NTS



**SEQUENCE OF OPERATION**

**GENERAL**

- SPLIT SYSTEM DEDICATED OUTDOOR AIR SYSTEM, PROVIDED WITH LOCAL FACTORY CONTROLS BY MANUFACTURE. UNIT SHALL CONSIST OF A MOTORIZED, OUTSIDE AIR DAMPER, FILTER SECTION, DX COOLING COIL, DX REHEAT COIL, DIRECT DRIVE FAN, AUXILIARY ELECTRIC DUCT HEATER AND SAFETY CONTROLS. THE UNIT TIES INTO THE BACK OF FAN COIL UNITS. ALL FAN COIL CONTROL SETPOINTS AND OPERATION ARE FACTORY PRESET; DOAS CONTROLS SHALL NOT ATTEMPT TO OVERRIDE
- FILTER STATUS SHALL BE MONITORED BY THE DOAS CONTROLLER VIA FACTORY-INSTALLED DIFFERENTIAL PRESSURE SENSOR.
- FAN STATUS SHALL BE MONITORED BY THE CONTROLLER VIA FACTORY CURRENT FEEDBACK.
- END SWITCHES SHALL VERIFY POSITION OF DAMPERS.
- DOAS SHALL UTILIZE FACTORY-INSTALLED DISCHARGE AIR TEMPERATURE AND RELATIVE HUMIDITY SENSORS FOR CONTROL AND MONITORING.

**TEMPERATURE/HUMIDITY CONTROL**

- DURING OCCUPIED MODE DOAS SHALL MAINTAIN A DISCHARGE AIR TEMPERATURE AND HUMIDITY USING FACTORY DIPSWITCH SETPOINT OF:
  - COOLING MODE: 63 DEG. F (DB) 45% RH
  - HEATING MODE: 63 DEG. F (ADJ.)
    - AUXILIARY ELECTRIC DUCT HEATER SHALL ENGAGE ONLY IF DISCHARGE AIR DROPS BELOW SAFE LIMITS (FACTORY THRESHOLD) AND SHALL DE-ENERGIZE ONCE THE SETPOINT IS ACHIEVED.
    - ONCE SET POINT IS REACHED, AUXILIARY HEATING ELEMENT SHALL DEENERGIZE.

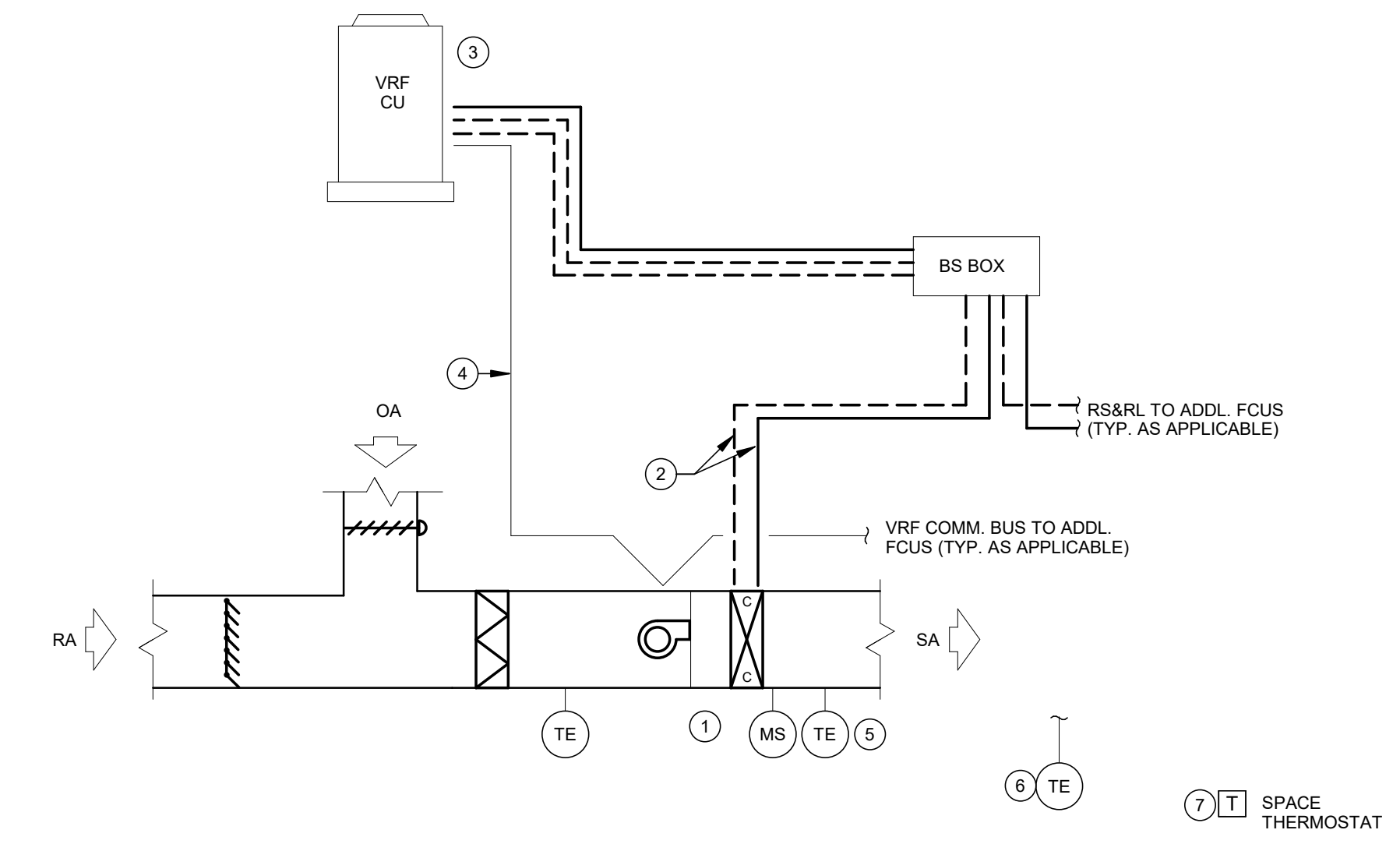
**OA DAMPER CONTROL**

- WHEN THE SYSTEM IS IN OCCUPIED MODE, THE OUTSIDE AIR DAMPER SHALL OPEN FULLY TO PROVIDE REQUIRED AIRFLOW.
- WHEN THE SYSTEM IS IN UNOCCUPIED MODE, THE OUTSIDE AIR DAMPER SHALL CLOSE.

**OCCUPIED MODE**

- WHEN OCCUPIED MODE IS INITIATED, THE DOAS FAN SHALL ENERGIZE AND RUN CONTINUOUSLY
- THE OUTSIDE AIR DAMPER SHALL OPEN TO MAINTAIN MINIMUM VENTILATION REQUIREMENTS.
- DX COOLING AND HEATING SHALL MAINTAIN DISCHARGE AIR TEMPERATURE / HUMIDITY ACCORDING TO FACTORY DIP-SWITCH SETTINGS.

**2 ENERGY RECOVERY UNIT - FIXED PLATE TYPE**  
NTS



**SEQUENCE OF OPERATION**

**GENERAL**

- VRF FAN COIL UNITS SHALL BE FURNISHED WITH LOCAL FACTORY CONTROLS BY MITSUBISHI. PROVIDE WIRING BETWEEN THE OUTDOOR UNITS AND THE INDOOR UNITS, THE FRONT END CONTROLLER(S), AND OTHER CONTROLS COMPONENTS FURNISHED WITH THE VRF SYSTEMS, PER THE VRF SYSTEM SHOP DRAWINGS, FOR A COMPLETE AND OPERABLE SYSTEM.
- THE CONTROLS INTEGRAL TO THE VRF SYSTEMS SHALL CONTROL THE VRF SYSTEMS, WITH SETPOINTS, SCHEDULES, AND SIMILAR OPERATIONAL INFORMATION. THE VRF SYSTEMS SHALL OPERATE THE VRF SYSTEM EQUIPMENT TO MAINTAIN THOSE SETPOINTS AND SCHEDULES
- CONNECT THE UNITS TO LOCAL THERMOSTAT COMMUNICATIONS AND MONITORING PACKAGE PROVIDED BY THE VRF SYSTEM MANUFACTURER FOR MONITORING AND ADJUSTMENTS.

**TEMPERATURE CONTROL**

- DURING OCCUPIED MODE DOAS SHALL MAINTAIN A DISCHARGE AIR TEMPERATURE SETPOINT OF:
  - COOLING MODE 55 DEG. F (ADJ.)
  - HEATING MODE 95 DEG. F (ADJ.)
- DURING UNOCCUPIED MODE DOAS SHALL MAINTAIN A DISCHARGE AIR TEMPERATURE SETPOINT OF:
  - COOLING MODE 80 DEG. F (ADJ.)
  - HEATING MODE 65 DEG. F (ADJ.)

**FAN COILS**

- FAN COIL UNITS SHALL OPERATE TO MAINTAIN SPACE TEMPERATURE SETPOINTS AS MEASURED BY THE UNIT OR WALL-MOUNTED SENSORS, FOLLOWING MITSUBISHI FACTORY CONTROL LOGIC..
- FANS SHALL OPERATE ON DEMAND WHEN HEATING OR COOLING IS REQUIRED.
- THERMOSTAT MODES SHALL CONTROL UNIT OPERATION AS FOLLOWS:
  - OFF: UNIT DEACTIVATES; UNOCCUPIED SETPOINTS OVERRIDDEN.
  - FAN ONLY: FAN ENERGIZES; NO HEATING OR COOLING
  - AUTO: UNIT AUTOMATICALLY SELECTS HEATING OR COOLING TO MAINTAIN SETPOINT.
  - COOLING: COOLING STAGE ENERGIZES WHEN SPACE TEMPERATURE EXCEEDS SETPOINT
  - HEATING: HEATING STAGE ENERGIZES WHEN SPACE TEMPERATURE FALLS BELOW SETPOINT

**OCCUPIED MODE**

- THE CONTROLLER SHALL INDEX THE VRF SYSTEM INTO OCCUPIED MODE BASED ON SCHEDULE. DURING THIS PERIOD THE VRF SYSTEM SHALL OPERATE TO MAINTAIN OCCUPIED SETPOINTS.

**UNOCCUPIED MODE**

- THE CONTROLLER SHALL INDEX THE VRF SYSTEM INTO UNOCCUPIED MODE BASED ON SCHEDULE. DURING THIS PERIOD THE VRF SYSTEM SHALL OPERATE TO MAINTAIN UNOCCUPIED SETPOINTS.

**SAFETIES AND ALARMS**

- THE FOLLOWING SAFETIES, SHALL BE MONITORED AND INITIATE A SPECIFIC ALARM NOTICE AT THE FACTORY CONTROLLER:
  - CONDENSATE OVERFLOW.
  - FAILURE TO START WITHIN FACTORY DELAY SHALL GENERATE AN ALARM.
  - FAILED SENSOR ALARM.

**KEYNOTES**

- INDOOR EVAPORATOR UNIT. REFER TO PLANS FOR QTY. AND TYPE.
- REFRIGERANT LIQUID AND SUCTION LINES SIZED PER MANUFACTURER
- OUTDOOR CONDENSING UNIT
- PROVIDE WIRING IN ACCORDANCE WITH UNIT MANUFACTURER'S INSTALLATION GUIDELINES
- PLENUM RATED, UL508 CONDENSATE OVERFLOW SWITCH MOUNTED IN PRIMARY DRAIN PAN. SWITCH SHALL BE WIRED TO DE-ENERGIZE UNIT UPON DETECTION OF RISING WATER (BLOCKED DRAIN) AND GENERATE
- WALL-MOUNTED VRF ROOM CONTROLLER WITH CONFIGURABLE DISPLAY, TEMPERATURE SENSOR, AND OPERATOR INTERFACE WITH ON/OFF, MODE, TEMPERATURE SETPOINT.
- INDIVIDUAL WALL MOUNTED TEMPERATURE SENSOR IN SPACE.

**3 VRF SYSTEMS**  
NTS

FIRE ALARM LEGEND	
SYMBOL	DESCRIPTION
<b>EQUIPMENT</b>	
	FIRE ALARM CONTROL PANEL
<b>NOTIFICATION</b>	
	CEILING MOUNTED COMBINATION HORN / STROBE LIGHT WITH A MULTI-CANDELA STROBE. MINIMUM 30 CD RATING FOR NOTIFICATION DEVICES. COORDINATE WITH ENGINEER IF CD RATINGS DIFFER IN FIELD.
<b>INITIATING DEVICES</b>	
	CEILING MOUNTED SMOKE DETECTOR
	WALL MOUNTED FIRE ALARM MANUAL PULL STATION. MOUNT AT 48" AFF.

LIGHTING FIXTURE TAGS	
	UPPER CASE LETTER = FIXTURE TYPE. REFER TO LIGHTING FIXTURE SCHEDULE
	LOWER CASE LETTER = SWITCH CONTROL
<b>NOTES</b> 1. FIXTURE CONTROL DESIGNATION REFERS TO ZONE/SWITCH/RELAY CONTROL OF FIXTURES CONTROLLED BY COMMON: A. SWITCH FOR LIGHTING IN ROOM, CORRIDOR, OPEN AREA. B. ZONE RELAY IN LOCAL LIGHTING CONTROL PANEL OR LIGHTING CONTROL RELAY PANEL. C. ALL CONTROL DEVICES (SWITCHES, CONTROL PANELS, OCCUPANCY/VACANCY SENSORS, ETC) WITH CONTROL DESIGNATIONS REFERS TO COMMON CONTROL OF THE SAME ZONE/SWITCH/RELAY CONTROL. 2. WHERE CONTROL DESIGNATION IS NOT SHOWN, ALL FIXTURES IN ASSOCIATED ROOM OR SPACE SHALL BE CONTROLLED SIMULTANEOUSLY VIA THE CONTROL DEVICES INDICATED ON PLANS. 3. WHERE EMERGENCY AND NORMAL FIXTURES ARE CONTROLLED FROM THE SAME ZONE/SWITCH/CONTROL RELAY, UL 924 EMERGENCY BYPASS RELAYS SHOWN WITH SAME CONTROL DESIGNATION BYPASS THAT ZONE/SWITCH/CONTROL RELAY. REFER TO EMERGENCY LIGHTING CIRCUIT SCHEMATICS FOR ADDITIONAL WIRING INFORMATION. 4. UNSWITCHED LIGHTING BRANCH CIRCUIT WIRING IS SHOWN TO A SINGLE FIXTURE IN EACH COMMON CONTROL ZONE. UNLESS OTHERWISE INDICATED, PROVIDE 2#12,#12G,3/4" FOR SWITCHED WIRING TO ALL COMMON CONTROL FIXTURES. 5. PROVIDE LOW VOLTAGE DIMMING CONTROL WIRING AS INDICATED IN LIGHTING CONTROL DETAILS FOR DIMMABLE LIGHT FIXTURES IN COMMON CONTROL ZONES/SWITCHES/RELAY CONTROL. 6. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL WIRING AND CONTROL INFORMATION. 7. REFER TO LIGHTING CONTROL RELAY PANEL SCHEDULES WHERE APPLICABLE FOR ADDITIONAL CONTROL INFORMATION.	

LIGHTING SWITCH AND SENSOR TAGS	
	WALL MOUNTED SWITCH
	SWITCH CONTROL GROUP
<b>SWITCH TYPE:</b> BLANK - LINE VOLTAGE SINGLE POLE TOGGLE SWITCH 3 - LINE VOLTAGE THREE WAY TOGGLE SWITCH 4 - LINE VOLTAGE FOUR WAY TOGGLE SWITCH D - LINE VOLTAGE WALL DIMMER K - KEYPAD SWITCH - SINGLE POLE KG - KEYPAD SWITCH - THREE WAY OS - LINE VOLTAGE OCCUPANCY SENSOR SWITCH (AUTO-ON / AUTO-OFF) OSD - LINE VOLTAGE OCCUPANCY DIMMER SWITCH (AUTO-ON / AUTO-OFF) VS - LINE VOLTAGE VACANCY SENSOR SWITCH (MANUAL-ON / AUTO-OFF) VSD - LINE VOLTAGE VACANCY DIMMER SWITCH (MANUAL-ON / AUTO-OFF) LOS - LOW VOLTAGE OCCUPANCY SENSOR SWITCH (AUTO-ON / AUTO-OFF) LOSD - LOW VOLTAGE OCCUPANCY DIMMER SWITCH (AUTO-ON / AUTO-OFF) LVS - LOW VOLTAGE VACANCY SENSOR SWITCH (MANUAL-ON / AUTO-OFF) LVSD - LOW VOLTAGE VACANCY DIMMER SWITCH (MANUAL-ON / AUTO-OFF) LV - LOW VOLTAGE MOMENTARY PUSHBUTTON FOR USE WITH CEILING SENSORS. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION. LVD - LOW VOLTAGE DIMMER FOR USE WITH CEILING SENSORS. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION. LK# - LIGHTING CONTROL KEYPAD FOR USE WITH ROOM CONTROLLER SYSTEM. "#" REPRESENTS TYPE OF KEYPAD. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION.	
	WALL/CORNER MOUNTED OCCUPANCY SENSOR (OS), VACANCY SENSOR (VS)
	CEILING MOUNTED OCCUPANCY SENSOR (OS), VACANCY SENSOR (VS)
	SWITCH CONTROL GROUP
<b>SENSOR TYPE:</b> BLANK - DUAL SENSOR H - HIGH BAY SENSOR IR - PIR SENSOR U - ULTRASONIC SENSOR	
<b>NOTES:</b> 1. FIXTURE(S) SHALL BE CONTROLLED BY SWITCH OR RELAY LOCATED IN THE ROOM UNLESS OTHERWISE NOTED ON PLAN. 2. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION ON WIRING AND SWITCHING. 3. WALL MOUNTED SWITCHES SHALL BE MOUNTED AT 42" AFF UNLESS OTHERWISE NOTED, COORDINATE WITH ARCHITECT. 4. SET ALL OCCUPANCY TYPE SENSORS TO AUTO-ON, AUTO-OFF MODE. SET ALL VACANCY TYPE SENSORS TO MANUAL-ON, AUTO-OFF MODE. 5. REFER TO CONTROL SCHEME NOTES AND CONTROL SCHEDULE FOR ADDITIONAL INFORMATION. 6. REFER TO SYMBOL LIST FOR ADDITIONAL LIGHTING CONTROL DEVICES. 7. WHERE SWITCHES ARE NOT TAGGED WITH CONTROL LETTER ON PLANS, ALL FIXTURES IN ASSOCIATED ROOM SHALL BE CONTROLLED SIMULTANEOUSLY VIA CONTROLS SPECIFIED.	

ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	SURFACE MOUNTED PANELBOARD
	RECESSED PANELBOARD
	DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	COMBINATION STARTER AND DISCONNECT SWITCH
	MOTOR STARTER OR CONTACTOR
	MANUAL MOTOR STARTER
	MOTOR (REFER TO MOTOR CIRCUIT SCHEDULE FOR POWER REQUIREMENTS)
	ELECTRIC SHADE MOTOR AND CONTROL SWITCH FURNISHED BY DIV. 12 CONTRACTOR AND INSTALLED/WIRED BY EC. REFER TO MOTORIZED SHADE WIRING DETAIL FOR ADDITIONAL INFORMATION.
	TRANSFORMER
	ELECTRICAL METER
	SURGE PROTECTIVE DEVICE
	VARIABLE FREQUENCY DRIVE
	BRANCH CIRCUIT WIRING, CONCEALED IN WALLS OR CEILINGS
	HOMERUN TO PANELBOARD
	SWITCHED BRANCH CIRCUIT WIRING
	JUNCTION BOX
	SIMPLEX WALL MOUNTED RECEPTACLE, 18" AFF UNLESS OTHERWISE NOTED
	DUPLEX WALL MOUNTED RECEPTACLE, 18" AFF UNLESS OTHERWISE NOTED
	DUPLEX WALL MOUNTED RECEPTACLE FOR MICROWAVE. COORDINATE WITH MICROWAVE LOCATION. VERIFY EXACT LOCATION AND MOUNTING HEIGHT WITH ARCH PRIOR TO ROUGH-IN.
	DUPLEX WALL MOUNTED RECEPTACLE FOR DISHWASHER. MOUNT 18" AFF UNLESS OTHERWISE NOTED. PROVIDE AND CONNECT TO GFCI BREAKER IN PANELBOARD.
	DUPLEX WALL MOUNTED RECEPTACLE FOR REFRIGERATOR. MOUNT 48" AFF UNLESS OTHERWISE NOTED. PROVIDE AND CONNECT TO GFCI BREAKER IN PANELBOARD.
	DUPLEX WALL MOUNTED RECEPTACLE FOR ELECTRIC WATER COOLER. MOUNT 18" AFF UNLESS OTHERWISE NOTED. PROVIDE AND CONNECT TO GFCI BREAKER IN PANELBOARD.
	DOUBLE DUPLEX WALL MOUNTED RECEPTACLE, 18" AFF UNLESS OTHERWISE NOTED
	RECEPTACLE, MOUNT 6" ABOVE COUNTER OR CASEWORK
	RECEPTACLE MOUNTED BELOW FRONT OF COUNTER
	RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTION
	RECEPTACLE WITH WEATHERPROOF COVER
	RECEPTACLE, CEILING MOUNTED
	PLUG LOAD CONTROLLER FOR AUTOMATIC RECEPTACLE SHUTOFF. TIED INTO LIGHTING CONTROL SYSTEM. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION. CONTROLLED RECEPTACLES ARE INDICATED WITH SWITCHED WIRING ON PLANS.
	RECEPTACLE, HALF SWITCHED. REFER TO TYPICAL SWITCHED RECEPTACLE WIRING DIAGRAM FOR ADDITIONAL INFORMATION.

LIGHTING SYMBOLS	
SYMBOL	DESCRIPTION
	PENDANT MOUNTED LIGHTING FIXTURE
	RECESSED DOWNLIGHT FIXTURE
	SURFACE MOUNTED ROUND FIXTURE
	PENDANT HUNG LIGHTING FIXTURE
	WALL SCONCE
	CEILING MOUNTED EXIT SIGN
	SELF CONTAINED EMERGENCY LIGHTING FIXTURE WITH BATTERY
	LIGHT SENSING PHOTOCELL / DAYLIGHT SENSOR
	NORMAL LIGHTING CONTROLLER FOR LOW-VOLTAGE CONTROL SYSTEM. REFER TO LIGHTING CONTROL DETAILS FOR ADDITIONAL INFORMATION.

SHEET INDEX - ELECTRICAL	
SHEET NUMBER	SHEET NAME
04 - ELECTRICAL	
E0.00	ELECTRICAL ABBREVIATIONS, NOTES AND SYMBOLS
E1.00	ELECTRICAL LIGHTING FLOOR PLAN
E2.00	ELECTRICAL POWER FLOOR PLAN
E3.00	ELECTRICAL DETAILS
E3.01	ELECTRICAL DETAILS
E4.00	ELECTRICAL SCHEDULES AND DIAGRAMS
E4.01	ELECTRICAL SCHEDULES AND DIAGRAMS
E5.00	ELECTRICAL SPECIFICATIONS
E5.01	ELECTRICAL SPECIFICATIONS
Grand total: 9	

ELECTRICAL ABBREVIATIONS	
A/AMP	AMPERE
AC	ALTERNATING CURRENT
AFCI	ARC FAULT CIRCUIT INTERRUPTER
ACU	AIR CONDITIONING UNIT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
AIC	AMPS INTERRUPTING CURRENT
AL	ALUMINUM
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BSMT	BASEMENT
C	CONDUIT
CATV	CABLE TELEVISION
C/B	CIRCUIT BREAKER
CKT	CIRCUIT
COMP	COMPRESSOR
CP	CONDENSATE PUMP
CT	CURRENT TRANSFORMER
CU	CONDENSING UNIT OR COPPER
CUH	CABINET UNIT HEATER
D	DRYER
DEG.	DEGREE
DI	DIAMETER
DN	DOWN
DWG	DRAWING
EF	EXHAUST FAN
ELEC	ELECTRICAL
ELEV	ELEVATOR
EM	EMERGENCY
EMT	ELECTRIC METALLIC TUBING
EP	EMERGENCY PANEL
EUH	ELECTRIC UNIT HEATER
EW/C	ELECTRIC WATER COOLER
EW/H	ELECTRIC WATER HEATER
FA	FAHRENHEIT
FACP	FIRE ALARM CONTROL PANEL
FC	FOOT CANDLE
FCU	FAN COIL UNIT
G	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HP	HORSE POWER
HPS	HIGH PRESSURE SODIUM
HR	HOUR
HZ	HERTZ
IG	ISOLATED GROUND
IN	INCHES
JB	JUNCTION BOX
KCMIL	THOUSAND CIRCULAR MILS
KVA	KILOVOLT AMPERE
KW	KILOWATT
MAX	MAXIMUM
MAU	MAKE-UP AIR UNIT
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MCCB	MOLDED CASE CIRCUIT BREAKER
MH	METAL HALIDE OR MANHOLE
MIN	MINIMUM
MLO	MAIN LUGS ONLY
NA	NOT APPLICABLE
NEC	NATIONAL ELECTRIC CODE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
P	POLE
PE	PRIMARY ELECTRIC SERVICE
PF	POWER FACTOR
PH	PHASE
PNL	PANEL
PVC	POLYVINYL CHLORIDE CONDUIT
REF	REFRIGERATOR
RGS	RIGID GALVANIZED STEEL CONDUIT
ROOM	ROOM
RTU	ROOFTOP UNIT
SE	SECONDARY ELECTRICAL SERVICE
SPEC	SPECIFICATION
SWBD	SWITCHBOARD
SPD	SURGE PROTECTION DEVICE
TELE	TELECOMMUNICATIONS/TELEPHONE
TV	TELEVISION
T/TX	TRANSFORMER
TYP	TYPICAL
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
V	VOLTS
VA	VOLT AMPERE
VAC	VOLTS ALTERNATING CURRENT
VIF	VERIFY IN FIELD
W	WATT OR WIRE
WA	WASHER
WG	WIRE GUARD
WP	WEATHERPROOF

ELECTRICAL GENERAL NOTES	
1.	BRANCH CIRCUITS AND FEEDER CIRCUITS SHALL BE CONCEALED IN WALLS AND ABOVE CEILINGS WHERE POSSIBLE, INCLUDING HOMERUNS TO PANELBOARDS, BRANCH CIRCUITS AND FEEDERS SHALL NOT BE ROUTED IN OR UNDER SLAB UNLESS SPECIFICALLY INDICATED ON ELECTRICAL FLOOR PLANS OR DETAILS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
2.	BRANCH CIRCUITS SHALL BE 2#12,#12G, 3/4" TO NEW 20A/1P CIRCUIT BREAKER IN PANEL INDICATED UNLESS NOTED OTHERWISE.
3.	120V, 1-PHASE, 20A BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE 2#10,#10G, 3/4" UNLESS NOTED OTHERWISE.
4.	120V, 1-PHASE, 20A BRANCH CIRCUITS EXCEEDING 165' IN LENGTH SHALL BE 2#8,#10G, 3/4" UNLESS NOTED OTHERWISE.
5.	DEVICES SHALL BE LABELED WITH SOURCE PANEL AND CIRCUIT NUMBER(S).
6.	REFER TO ARCHITECTS REFLECTED CEILING PLAN FOR EXACT LOCATION OF CEILING MOUNTED ELECTRICAL DEVICES. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION OF WALL MOUNTED ELECTRICAL DEVICES.
7.	PROVIDE FIRE STOPPING AND SMOKE BARRIER SEALING OF PENETRATIONS THROUGH FIRE WALLS OR SMOKE BARRIERS AS REQUIRED. REFER TO ARCHITECTURAL FLOOR PLANS AND CODE SHEETS FOR WALLS.
8.	COORDINATE LOCATIONS OF ELECTRICAL DEVICES AND CONTROLS WITH RESPECT TO LOCATIONS OF CASEWORK AND EQUIPMENT PRIOR TO ROUGH-IN.
9.	WHEN DEVICES ARE SHOWN ON PLANS OFFSET FROM ONE ANOTHER, DEVICES SHALL BE MOUNTED IN LINE, CENTERED ON WALL.
10.	SHARED NEUTRAL WIRING IS NOT ACCEPTABLE, UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE A DEDICATED NEUTRAL WIRE FOR EACH CIRCUIT, WHERE APPLICABLE.
11.	DRAWINGS ARE DIAGRAMMATIC ONLY. DO NOT SCALE ELECTRICAL DRAWINGS. FIELD CONDITIONS AND ARCHITECTURAL ELEVATIONS AND DIMENSIONS SHALL GOVERN EXACT LOCATION AND MOUNTING HEIGHTS OF ELECTRICAL DEVICES AND RACEWAYS.
12.	FINISHES AND COLOR OF ELECTRICAL WIRING DEVICES, EXPOSED RACEWAY, LIGHT FIXTURES, AND OTHER ELECTRICAL DEVICES SHALL BE DETERMINED BY THE ARCHITECT.
13.	ELECTRICAL WORK SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE (OTHER THAN ROOF DECK).
14.	THE ELECTRICAL CONTRACTOR SHALL PERFORM CORES REQUIRED FOR ELECTRICAL WORK.
15.	BUILDING WIRE AND CABLE NOT IN RACEWAY SHALL BE PLENUM RATED.

PHASED WORK ABBREVIATIONS	
EX	EXISTING TO REMAIN
RL	EXISTING TO BE RELOCATED
RE	EXISTING TO BE REMOVED
RD	NEW LOCATION OF RELOCATED DEVICE
RN	REMOVE AND REPLACE WITH NEW



ISSUANCES		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**  
702 PARIS ST,  
CASTROVILLE, TX

## ELECTRICAL ABBREVIATIONS, NOTES AND SYMBOLS

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.  
  
**E0.00**



**CES Engineering Services TX, LLC**  
 License F-19994  
 1370 Pantheon Way, Ste. 290  
 San Antonio TX 78232  
 210.686.1614  
 ceseng.com  
 CES #250812.00

ISSUANCES		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REVISIONS		
NO.	DATE	DESCRIPTION

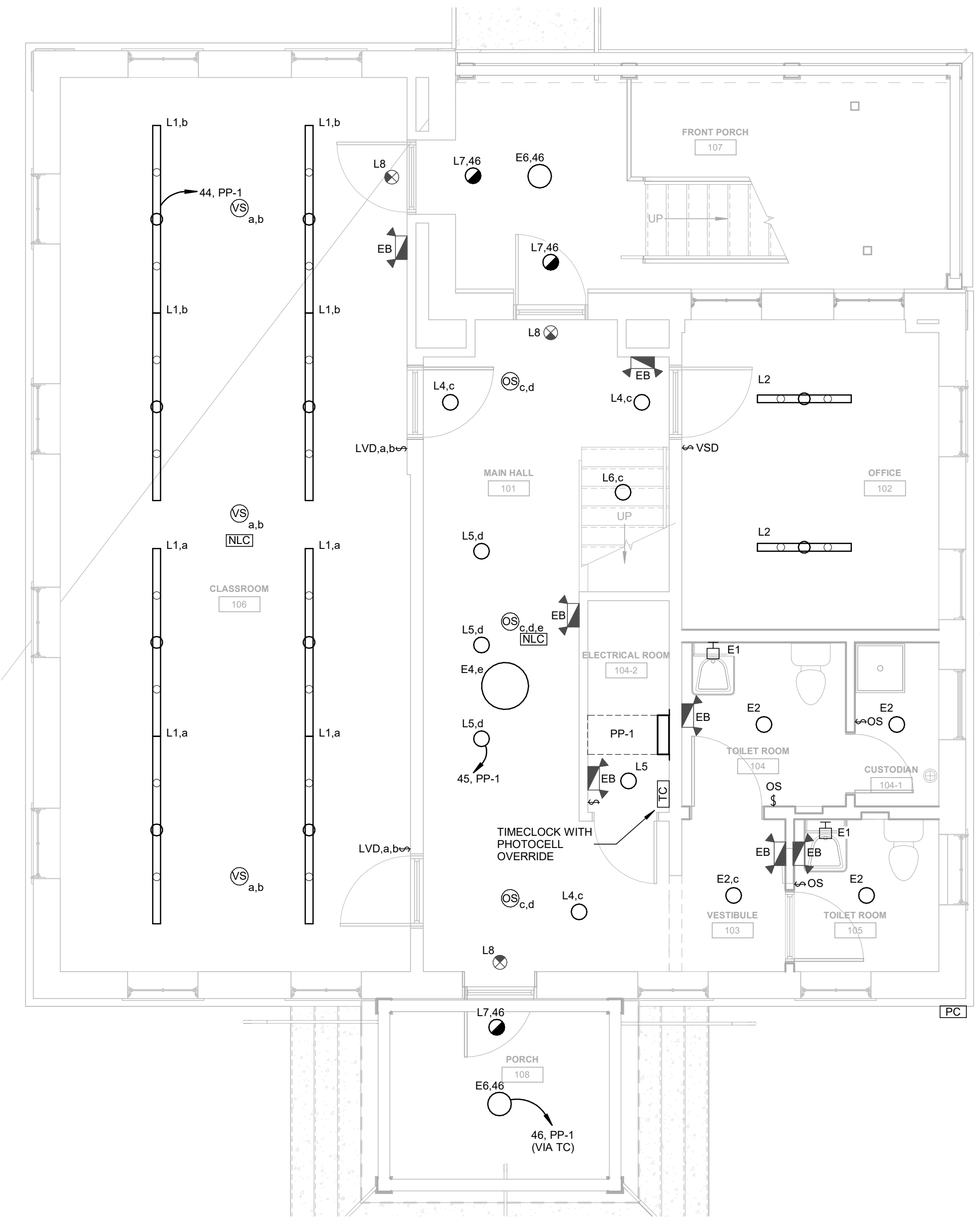
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**ELECTRICAL LIGHTING FLOOR PLAN**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

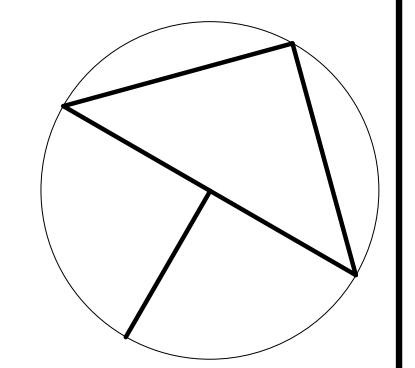
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**E1.00**



**1** ELECTRICAL LIGHTING PLAN - LEVEL 1  
 1/4" = 1'-0"



**2** ELECTRICAL LIGHTING PLAN - LEVEL 2  
 1/4" = 1'-0"





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 CES #250812.00

**FIRE ALARM NOTES**

1. EXISTING FIRE ALARM NOTIFICATION DEVICES AND INITIATING DEVICES ARE TO BE REMOVED AND REINSTALLED/RELOCATED. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
2. EXISTING NOTIFICATION AND INITIATING DEVICES:
  - A. PULL STATIONS: 3
  - B. CEILING HORN/STROBE: 13
  - C. SMOKE ALARM: 13

ISSUANCES		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REVISIONS		
NO.	DATE	DESCRIPTION

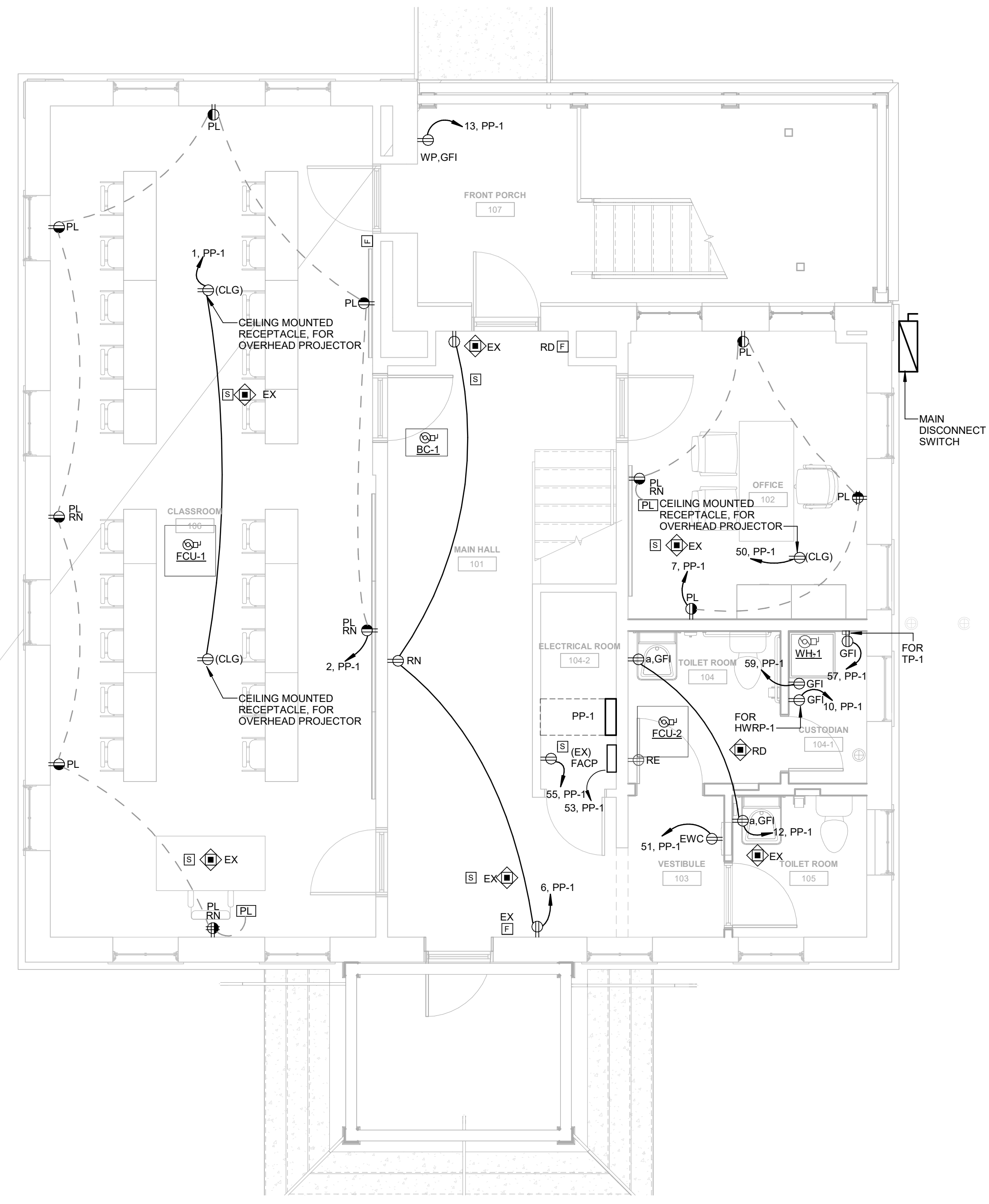
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**ELECTRICAL POWER FLOOR PLAN**

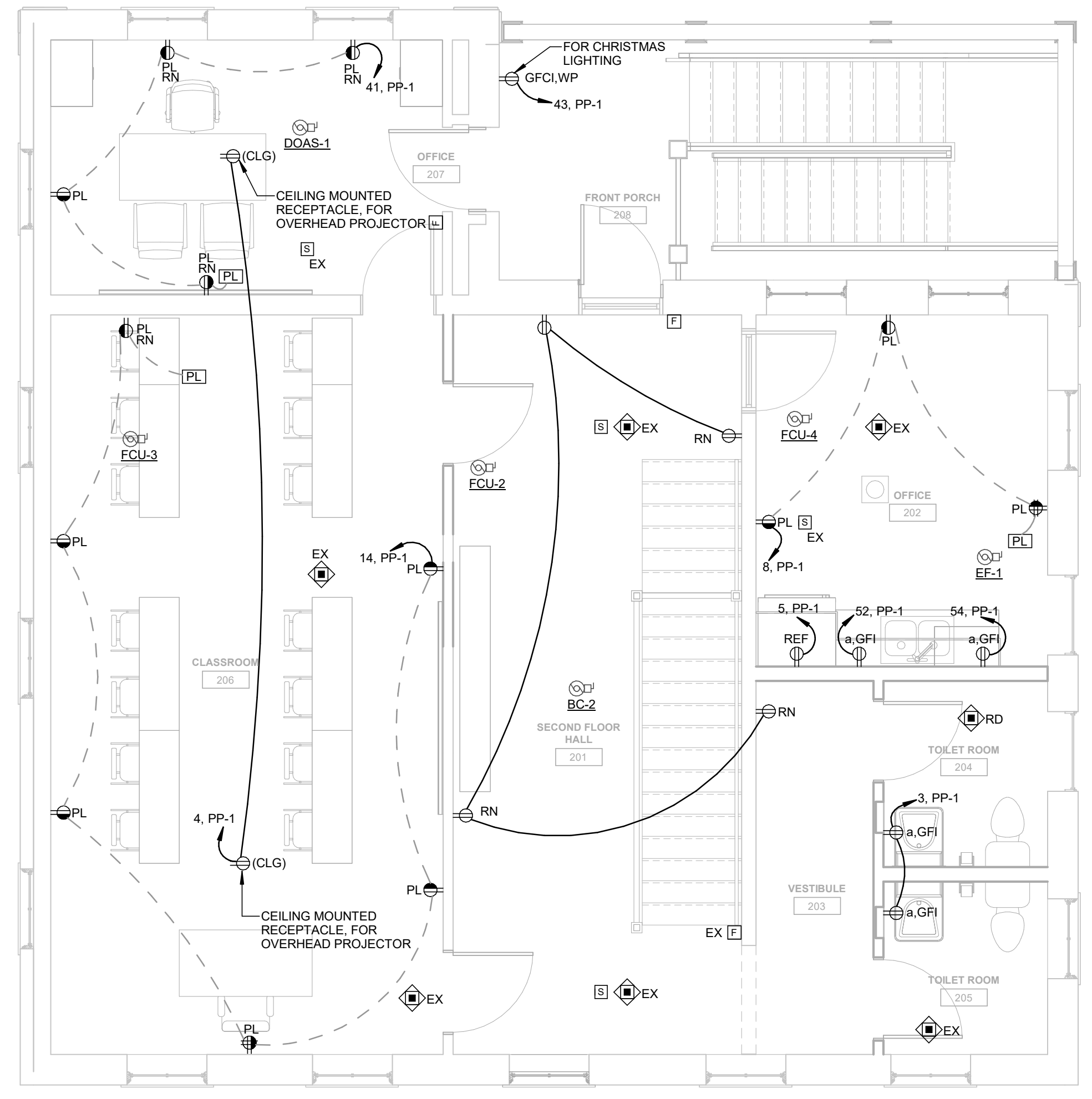
DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

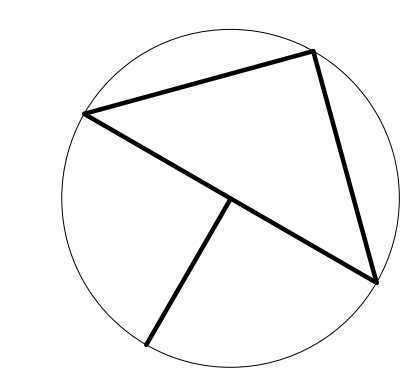
SHEET NO.  
E2.00



**1 ELECTRICAL POWER FLOOR PLAN - LEVEL 1**  
 1/4" = 1'-0"



**2 ELECTRICAL POWER FLOOR PLAN - LEVEL 2**  
 1/4" = 1'-0"





**CLS**  
**CES Engineering Services TX, LLC**  
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 210.686.1614  
 ceseng.com  
 CES #250812.00

ISSUANCES		
NO.	DATE	DESCRIPTION
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2		
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5		
6		

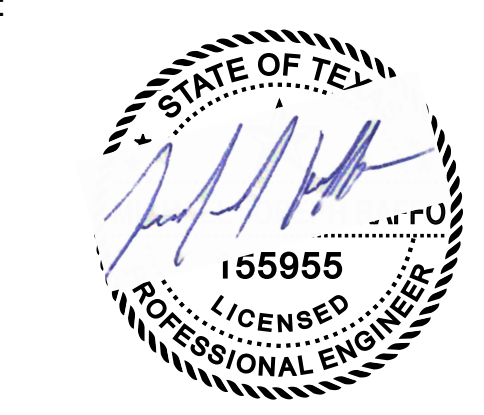
REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**  
**702 PARIS ST, CASTROVILLE, TX**

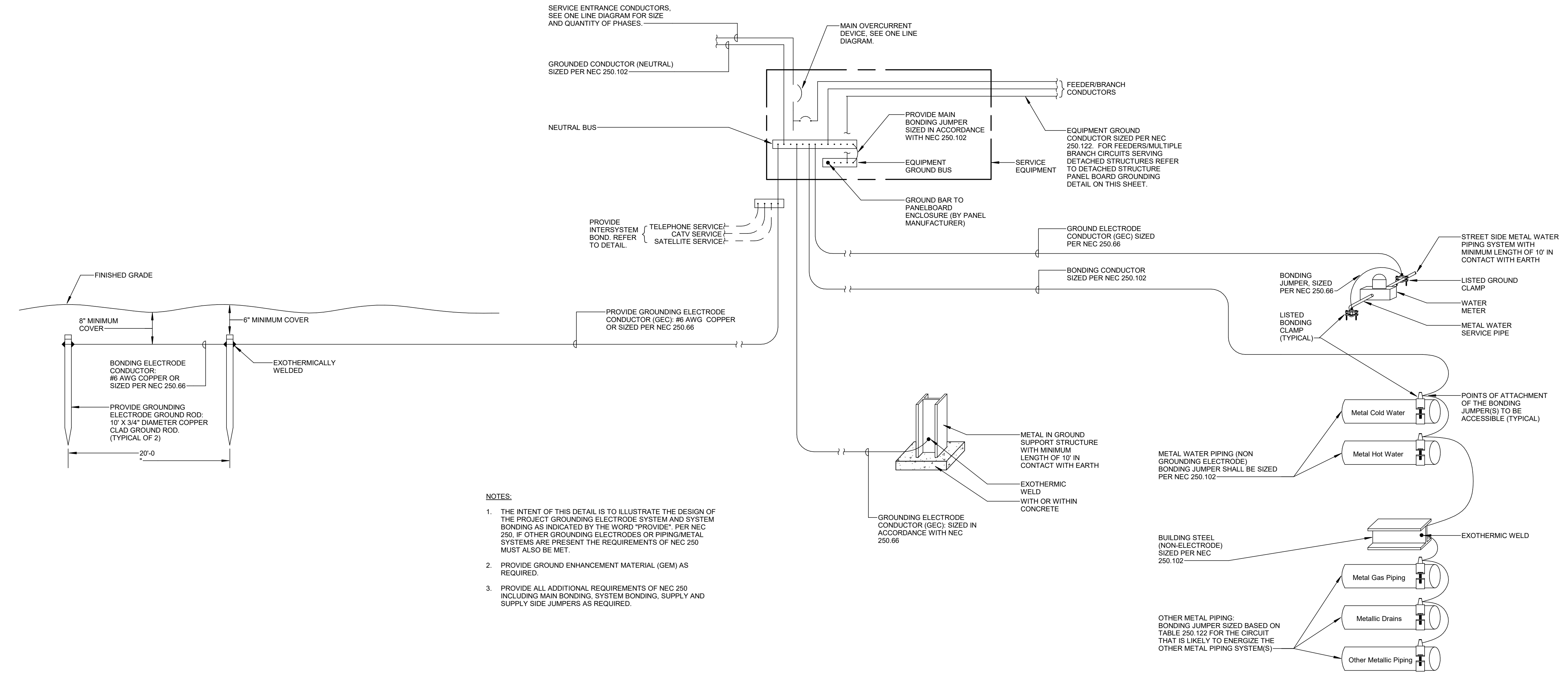
**ELECTRICAL DETAILS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	

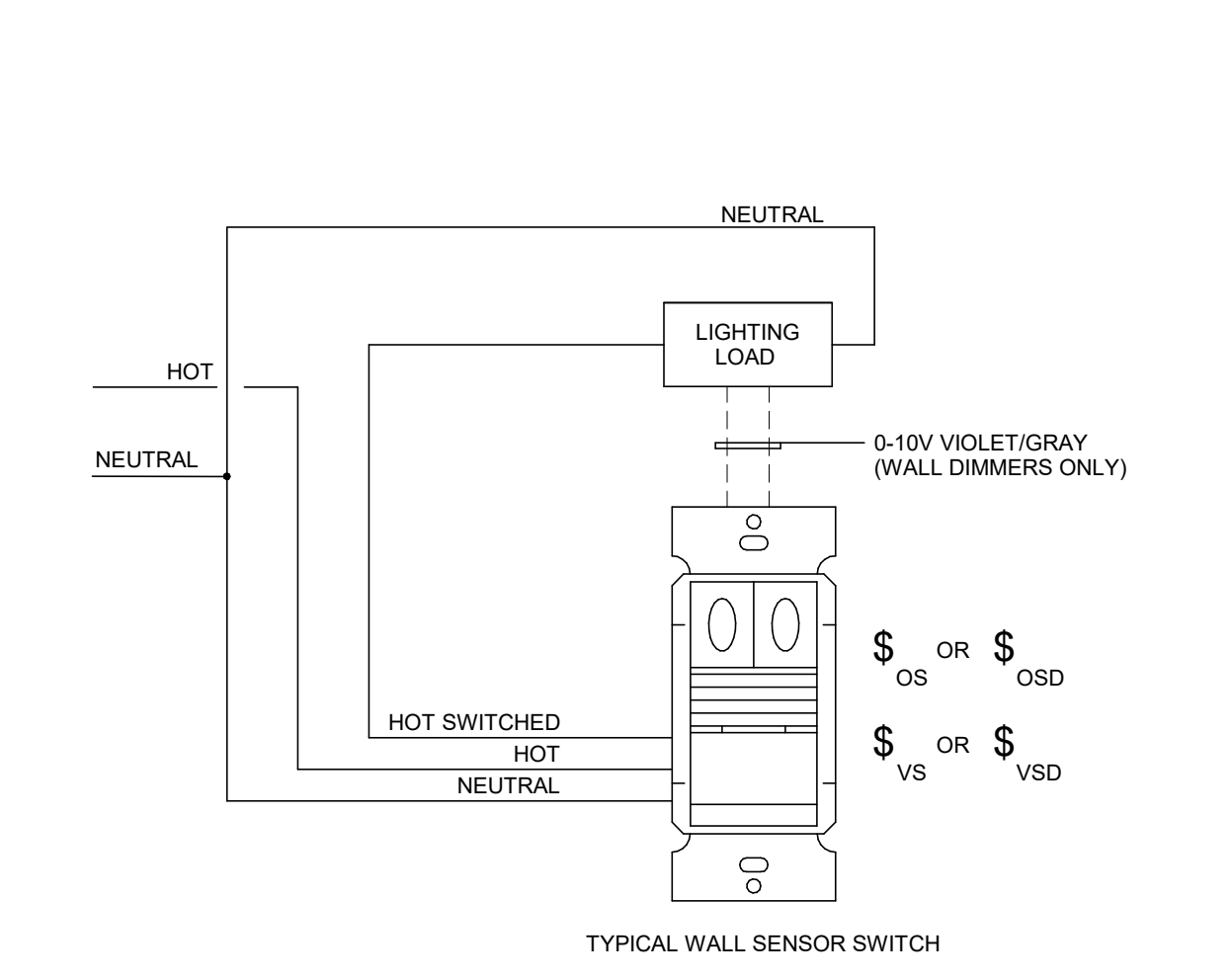
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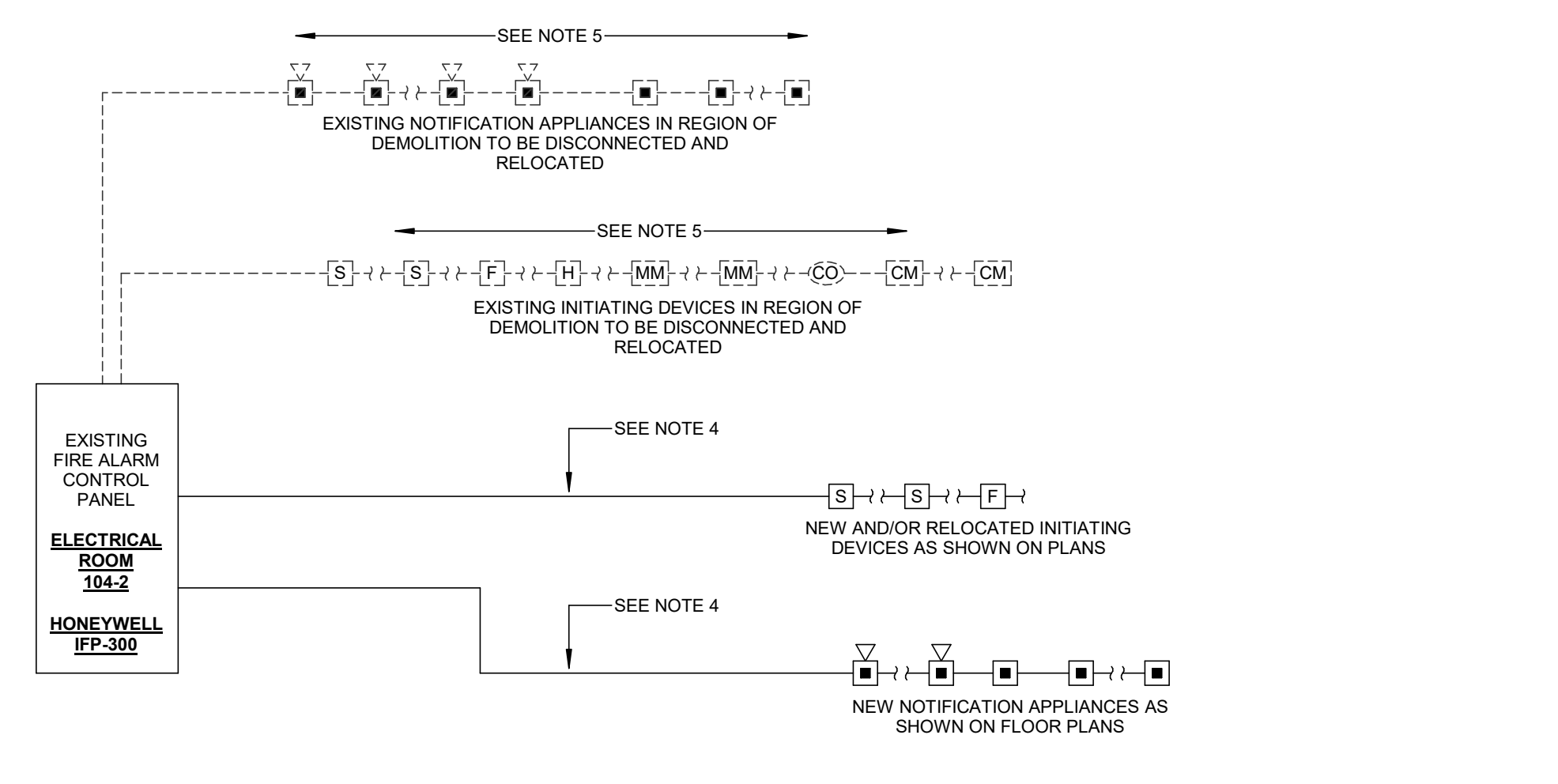
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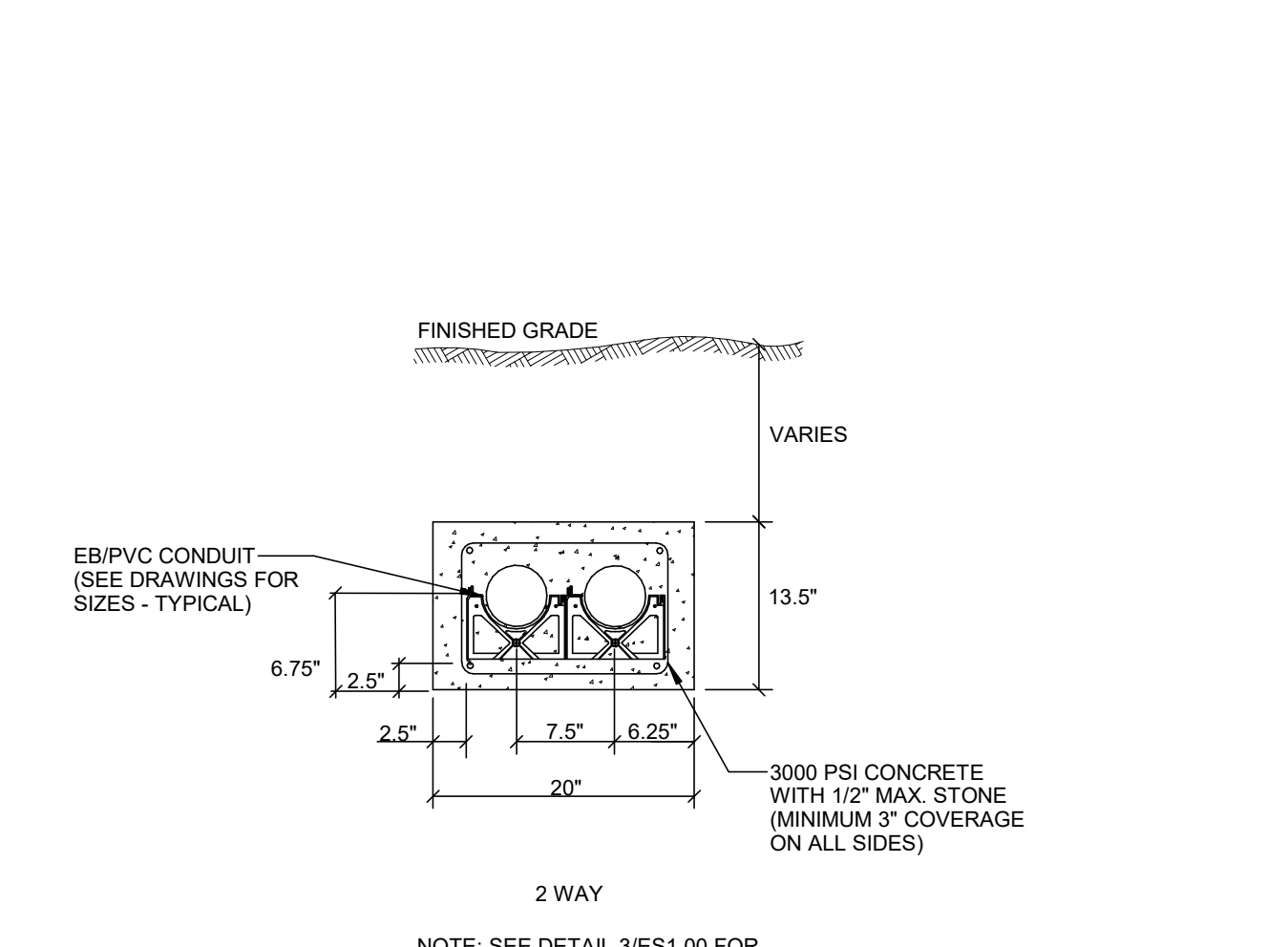
**1 GROUNDING ELECTRODE SYSTEM AND BONDING DETAIL**  
 NTS



**2 TYPICAL LINE VOLTAGE SENSOR SWITCH**  
 NTS



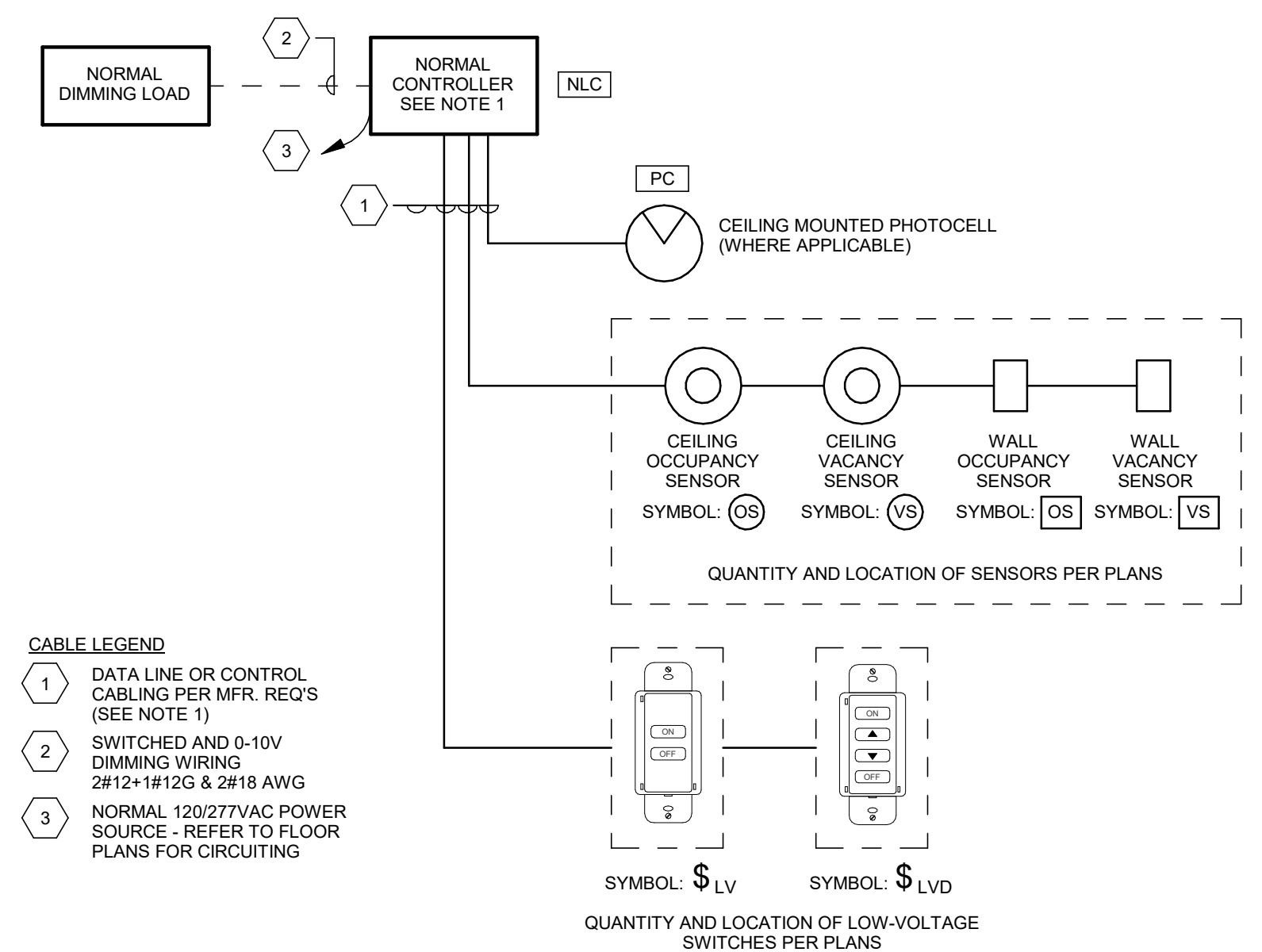
**3 PARTIAL FIRE ALARM RISER DIAGRAM**  
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**4 CONCRETE ENCASED DUCT BANK DETAIL**  
 NTS

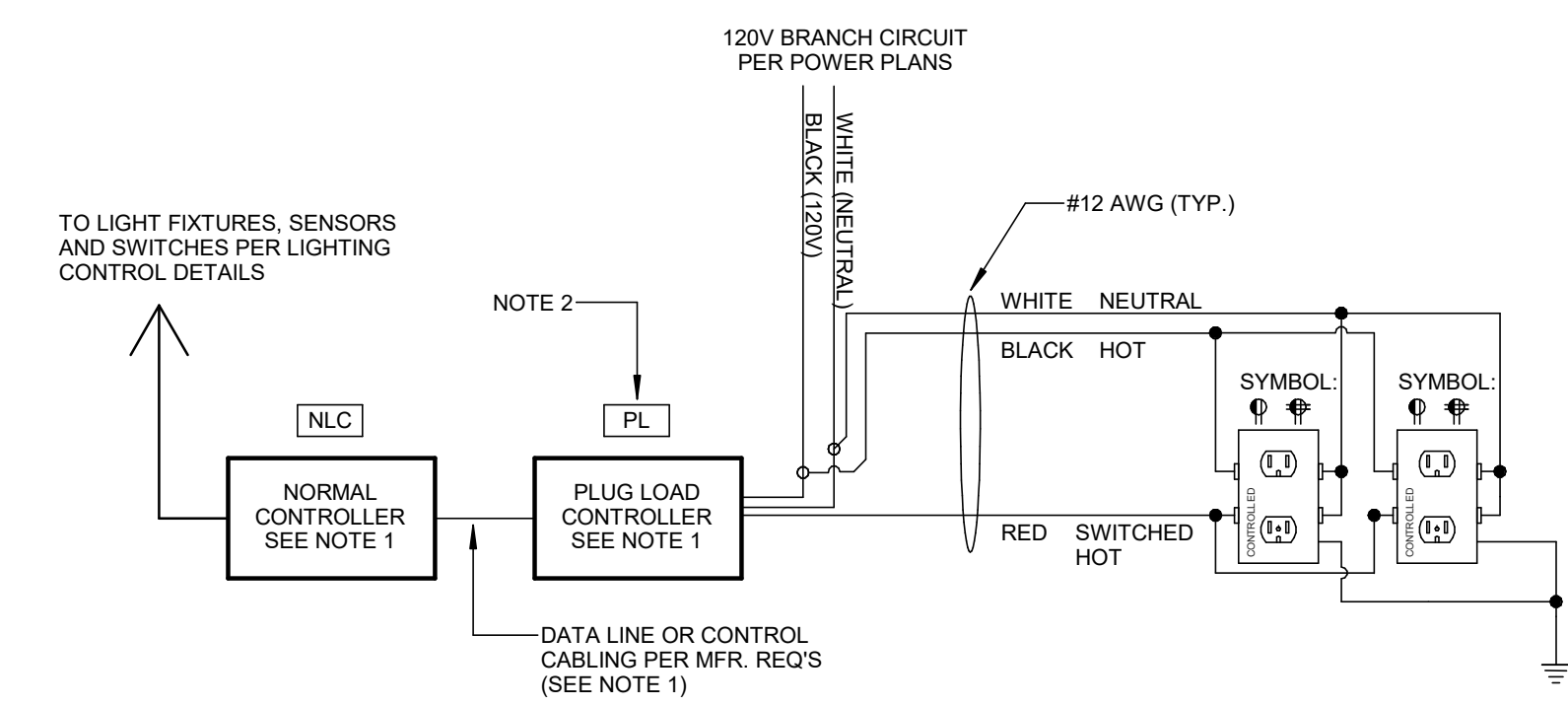


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210.686.1614  
ceseng.com  
CES #250812.00



- GENERAL NOTES:**
- DETAIL IS MANUFACTURER-AGNOSTIC. REFER TO SPECIFICATIONS FOR BASIS OF DESIGN LIGHTING CONTROL SYSTEM MANUFACTURER. SYSTEM TOPOLOGY AND ARCHITECTURE IS SHOWN DIAGRAMMATICALLY ON THIS DETAIL. FINAL CONNECTIONS, WIRING SCHEME, WIRE TYPE AND STYLE, AND OTHER SYSTEM COMPONENT CONFIGURATIONS SHALL BE AS REQUIRED BY APPROVED LIGHTING CONTROL MANUFACTURER. PROVIDE ADAPTERS, CONVERTERS AND OTHER SYSTEM COMPONENTS REQUIRED BY MANUFACTURER. SUBMIT FOR APPROVAL BY ENGINEER A WIRING DIAGRAM INDICATING ALL COMPONENTS AND CONNECTIONS.
  - PROVIDE FACTORY COMMISSIONING OF ALL SENSORS, PHOTOCELLS AND CONTROLS.
  - REFER TO FLOOR PLANS FOR EXACT LIGHTING FIXTURES ON EACH ZONE, AND QUANTITY AND LOCATION OF ALL DEVICES.
  - FINISHES AND COLORS OF ALL LIGHTING CONTROL DEVICES AND SWITCH PLATES SHALL BE SELECTED BY ARCHITECT.
  - OCCUPANCY AND VACANCY SENSORS SHALL BE PROVIDED WITH AUXILIARY RELAY OPTION FOR CONNECTION TO BUILDING MANAGEMENT SYSTEM BY DIVISION 23 CONTRACTOR. IF SUBMITTED SENSORS DO NOT HAVE THIS ABILITY, PROVIDE ADDITIONAL INPUT/OUTPUT MODULES CAPABLE OF SUPPORTING RELAYED OUTPUT TO BMS.
  - SYSTEM SHALL BE PROVIDED WITH NETWORKED CONNECTIONS BETWEEN EACH CONTROLLER IN PROJECT, SO THAT EACH ROOM CAN BE SET UP AND CONFIGURED FROM A CENTRALLY OPERATED SYSTEM. PROVIDE BRIDGE MODULES AS REQUIRED BY MANUFACTURER TO SUPPORT THIS NETWORKING CAPABILITY.
- SEQUENCE OF OPERATIONS:**
- ROOM OCCUPANCY SENSORS SHALL BE SET FOR AUTO ON, AUTO OFF OPERATION. TIMEOUT AFTER 20 MINUTES.
  - ROOM VACANCY SENSORS SHALL BE SET FOR MANUAL ON, AUTO OFF OPERATION. TIMEOUT AFTER 20 MINUTES.
  - 4-BUTTON "LVD" KEYPAD(S) SHALL PROVIDE MANUAL CONTROL OF FIXTURES AS FOLLOWS:
    - BUTTON 1: "ON": TURN ALL LIGHTS ON
    - BUTTON 2: "▲": PRESS TO RAISE ALL LIGHTS
    - BUTTON 3: "▼": PRESS TO LOWER ALL LIGHTS
    - BUTTON 4: "OFF": TURN ALL LIGHTS OFF
  - 2-BUTTON "LV" KEYPAD(S) SHALL PROVIDE MANUAL CONTROL OF FIXTURES AS FOLLOWS:
    - BUTTON 1: "ON": TOGGLE ALL LIGHTS ON
    - BUTTON 2: "OFF": TOGGLE ALL LIGHTS OFF
  - WHERE PHOTOCELL IS INDICATED ON PLANS, ZONE SHALL HAVE AUTOMATIC DIMMING VIA PHOTOCELL AND SHALL CAP MAXIMUM LIGHT LEVEL OF 40 FOOT-CANDLES IN THIS ZONE.

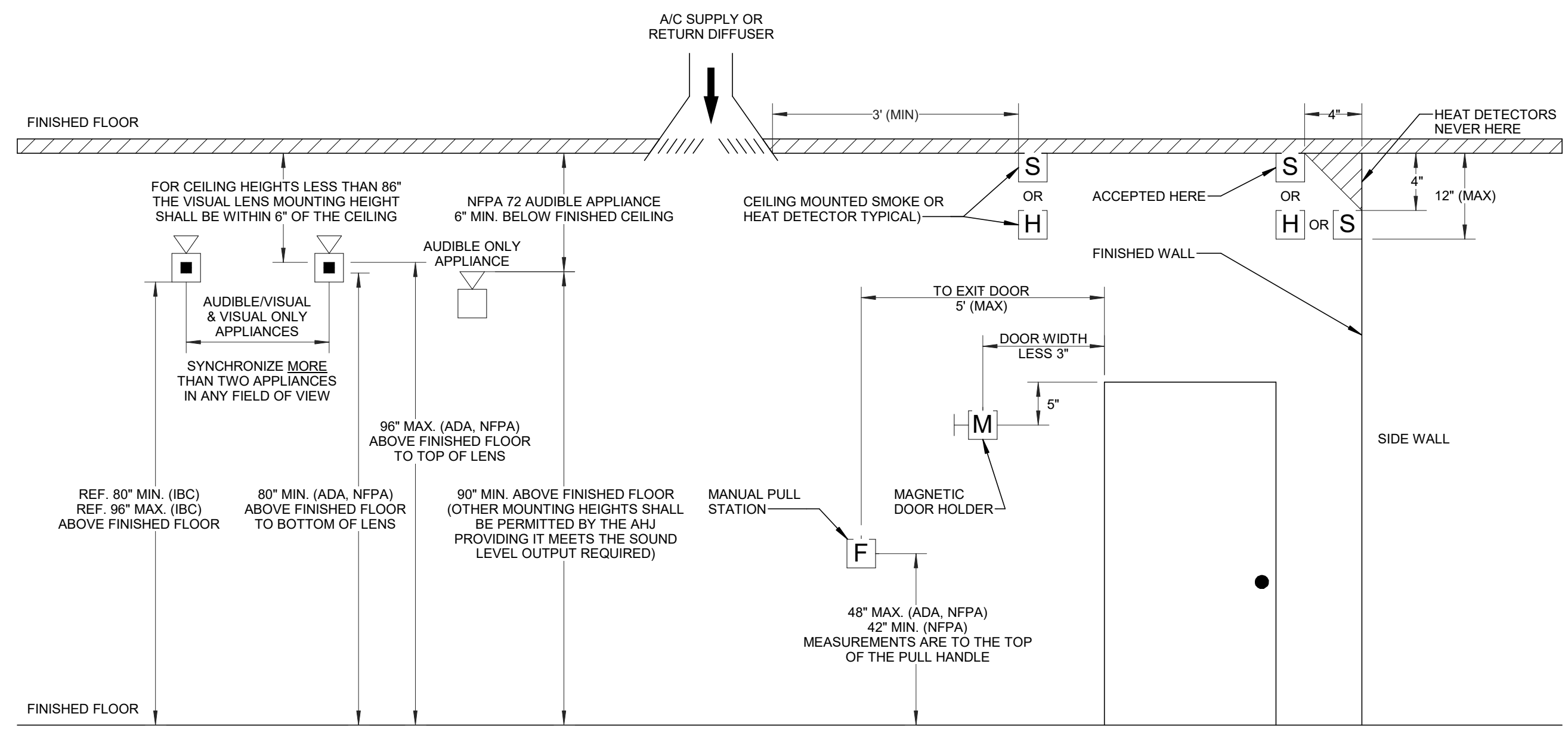
TYPICAL 1-ZONE LIGHTING CONTROL DETAIL - NORMAL FIXTURES ONLY



- GENERAL NOTES:**
- DETAIL IS MANUFACTURER-AGNOSTIC. REFER TO SPECIFICATIONS FOR BASIS OF DESIGN LIGHTING CONTROL SYSTEM MANUFACTURER. SYSTEM TOPOLOGY AND ARCHITECTURE IS SHOWN DIAGRAMMATICALLY ON THIS DETAIL. FINAL CONNECTIONS, WIRING SCHEME, WIRE TYPE AND STYLE, AND OTHER SYSTEM COMPONENT CONFIGURATIONS SHALL BE AS REQUIRED BY APPROVED LIGHTING CONTROL MANUFACTURER. PROVIDE ADAPTERS, CONVERTERS AND OTHER SYSTEM COMPONENTS REQUIRED BY MANUFACTURER. SUBMIT FOR APPROVAL BY ENGINEER A WIRING DIAGRAM INDICATING ALL COMPONENTS AND CONNECTIONS.
  - "PL" PLUG LOAD CONTROLLER SYMBOLS ARE SHOWN ON ELECTRICAL POWER FLOOR PLANS. PROVIDE MULTIPLE CONNECTIONS WHERE MULTIPLE SYMBOLS ARE SHOWN. REFER TO TYPICAL CONTROLLED RECEPTACLE WIRING DIAGRAM ON ELECTRICAL DETAILS DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- SEQUENCE OF OPERATIONS:**
- ROOM OCCUPANCY SENSORS SHALL SWITCH LIGHTING USING AUTO ON, AUTO OFF OPERATION. TIMEOUT AFTER 20 MINUTES.
  - ROOM VACANCY SENSORS SHALL SWITCH LIGHTING USING MANUAL ON, AUTO OFF OPERATION. TIMEOUT AFTER 20 MINUTES.
  - PLUG LOAD CONTROLLER SHALL DE-ENERGIZE CONTROLLED RECEPTACLES UPON TIMEOUT SIGNAL FROM OCCUPANCY OR VACANCY SENSORS IN ROOM.
  - PLUG LOAD CONTROLLER SHALL NOT DE-ENERGIZE CONTROLLED RECEPTACLES UPON MANUAL-OFF SIGNAL TO LIGHT FIXTURES.
  - PROGRAM LIGHTING WITHIN THE SPACE TO TURN OFF (3) MINUTES PRIOR TO RECEPTACLE SHUTOFF IN ORDER FOR STILL OCCUPANTS TO RE-ESTABLISH OCCUPANCY IN THE SPACE.

TYPICAL PLUG LOAD CONTROL DETAIL

1 LOW VOLTAGE CONTROL DETAILS  
N.T.S.



2 FIRE ALARM DEVICE MOUNTING HEIGHT REFERENCE DETAIL  
N.T.S.

ISSUANCES		
NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**  
  
702 PARIS ST,  
CASTROVILLE, TX

ELECTRICAL DETAILS

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.  
  
**E3.01**



Branch Panel: PP-1													
Location: ELECTRICAL ROOM 104-2				Volts: 120/208 Wye				A.I.C. Rating: 22K					
Supply From: MAIN DISCONNECT SWITCH				Phases: 3				Bus Material: CU					
Mounting: Surface				Wires: 4				Bus Rating: 400 A					
Enclosure: Type 1								MCB Rating / MLO: MLO					
CKT	Circuit Description	AFCI/GFCI	Trip	Poles	A	B	C	Poles	Trip	AFCI/GFCI	Circuit Description	CKT	
1	RECEP - CEILING PROJECTOR 106	20 A	1		0.36	1.44		1	20 A		RECEP - CLASSROOM 106	2	
3	RECEP - TOILET ROOM 204/205	20 A	1			0.36	0.36	1	20 A		RECEP - CEILING PROJECTOR 206	4	
5	REF 202	GFCI	20 A	1			1.20	0.54	1	20 A	RECEP - MAIN HALL 101	6	
7	RECEP - 102		20 A	1	0.90	0.72		1	20 A		RECEP - 202	8	
9	WATER HEATER		70 A	2			5.50	0.18	1	20 A	HWRP-1	10	
11	--	--	--	--				5.50	0.36	1	20 A	RECEP - 104/105	12
13	RECEP - FRONT PORCH 107		20 A	1	0.18	1.26		1	20 A		RECEP - 206	14	
15	RECEP - SECOND FLOOR HALL 201		20 A	1		0.72	7.20	3	100 A		CU-1	16	
17	DOAS-1		15 A	2			0.41	7.20	--	--	--	18	
19	--	--	--	--	0.41	7.20		--	--	--	--	20	
21	EDH-1		60 A	3			5.66	6.72	3	90 A	CU-2	22	
23	--	--	--	--				5.66	6.72	--	--	24	
25	--	--	--	--	5.66	6.72		--	--	--	--	26	
27	FCU-1		20 A	2		0.11	0.07	2	20 A		FCU-4	28	
29	--	--	--	--			0.11	0.07	--	--	--	30	
31	FCU-2		20 A	2	0.11	0.01		2	20 A		FCU-5	32	
33	--	--	--	--		0.11	0.01	--	--	--	--	34	
35	FCU-3		20 A	2			0.11	0.08	2	20 A	BC-1	36	
37	--	--	--	--	0.11	0.08		--	--	--	--	38	
39	EF-1		20 A	1		0.12	0.08	2	20 A		BC-2	40	
41	RECEP - OFFICE 207		20 A	1			0.72	0.08	--	--	--	42	
43	RECEP - FRONT PORCH 208		20 A	1	0.18	1.27		1	20 A		LTG - 1ST FLOOR ROOMS	44	
45	LTG - 1ST FLOOR CORRIDOR		20 A	1		0.66	0.32	1	20 A		LTG - EXTERIOR	46	
47	LTG - 2ND FLOOR ROOMS		20 A	1			1.09	1.11	1	20 A	LTG - STAIR/2ND FLOOR...	48	
49	SITE CU MAINT. RECEP.		20 A	1	0.18	0.18		1	20 A		RECEP - CEILING PROJECTOR	50	
51	RECEP - WATER COOLER	GFCI	20 A	1		0.18	0.18	1	20 A		RECEP - COUNTERTOP 202	52	
53	SPARE		20 A	1			0.18	0.18	1	20 A	RECEP - COUNTERTOP 202	54	
55	RECEP - 104-2		20 A	1	0.18	0.00		1	20 A		SPARE	56	
57	TP-1		20 A	1		0.18	0.00	1	20 A		SPARE	58	
59	RECEP - MAINT		20 A	1			0.18	0.00	1	20 A	SPARE	60	
					Phase...	27.12 KVA	28.72 KVA	31.47 KVA					
					Phase...	226 A	241.4 A	264.3 A					
					Total Load:	87.24 KVA							
					Total...	242.17 A							

Notes:  
 PROVIDE WITH INTERGAL SURGE PROTECTION DEVICE  
 PROVIDE SINGLE TUB

THREE PHASE FEEDER SCHEDULE					
CIRCUIT SYMBOL	CONDUCTORS (3 PH. 3W) WITH GROUND	CONDUIT SIZE	CONDUCTORS (3 PH. 4W) WITH GROUND	CONDUIT SIZE	OVERCURRENT RATING
(1)	3#12 & 1#12G	3/4"	4#12 & 1#12G	3/4"	15A
(2)	3#12 & 1#12G	3/4"	4#12 & 1#12G	3/4"	20A
(2.5)	3#10 & 1#10G	3/4"	4#10 & 1#10G	3/4"	25A
(3)	3#10 & 1#10G	3/4"	4#10 & 1#10G	3/4"	30A
(3.5)	3#8 & 1#10G	3/4"	4#8 & 1#10G	3/4"	35A
(4)	3#8 & 1#10G	3/4"	4#8 & 1#10G	1"	40A
(4.5)	3#8 & 1#10G	3/4"	4#8 & 1#10G	1"	45A
(5)	3#8 & 1#10G	1"	4#8 & 1#10G	1"	50A
(6)	3#8 & 1#10G	1"	4#8 & 1#10G	1"	60A
(7)	3#4 & 1#8G	1 1/4"	4#4 & 1#8G	1 1/4"	70A
(8)	3#4 & 1#8G	1 1/4"	4#4 & 1#8G	1 1/4"	80A
(9)	3#3 & 1#8G	1 1/4"	4#3 & 1#8G	1 1/4"	90A
(10)	3#3 & 1#8G	1 1/4"	4#3 & 1#8G	1 1/4"	100A
(11)	3#2 & 1#8G	1 1/4"	4#2 & 1#8G	1 1/2"	110A
(12)	3#1 & 1#8G	1 1/2"	4#1 & 1#8G	2"	125A
(15)	3#1/0 & 1#6G	2"	4#1/0 & 1#6G	2"	150A
(17)	3#2/0 & 1#6G	2"	4#2/0 & 1#6G	2"	175A
(20)	3#3/0 & 1#6G	2"	4#3/0 & 1#6G	2 1/2"	200A
(22)	3#4/0 & 1#4G	2 1/2"	4#4/0 & 1#4G	2 1/2"	225A
(25)	3#250KCMIL & 1#4G	3"	4#250KCMIL & 1#4G	3"	250A
(30)	3#350KCMIL & 1#4G	3"	4#350KCMIL & 1#4G	4"	300A
(35)	3#500KCMIL & 1#3G	3 1/2"	4#500KCMIL & 1#3G	4"	350A
(40)	3#500KCMIL & 1#3G	4"	4#600KCMIL & 1#3G	4"	400A
(45)	(2)3#4/0 & 1#2G	(2) 2 1/2"	2 SETS OF 4#4/0 & 1#2G	(2) 2 1/2"	450A
(50)	(2)3#250KCMIL & 1#2G	(2) 3"	2 SETS OF 4#250KCMIL & 1#2G	(2) 3"	500A
(60)	(2)3#350KCMIL & 1#1G	(2) 3"	2 SETS OF 4#350KCMIL & 1#1G	(2) 4"	600A
(70)	(2)3#500KCMIL & 1#1/0G	(2) 4"	2 SETS OF 4#500KCMIL & 1#1/0G	(2) 4"	700A
(80)	(2)3#500KCMIL & 1#1/0G	(2) 4"	2 SETS OF 4#600KCMIL & 1#1/0G	(2) 4"	800A
(90)	(3)3#350KCMIL & 1#2/0G	(3) 3"	3 SETS OF 4#350KCMIL & 1#2/0G	(3) 4"	900A
(100)	(3)3#500KCMIL & 1#2/0G	(3) 4"	3 SETS OF 4#500KCMIL & 1#2/0G	(3) 4"	1000A
(120)	(4)3#350KCMIL & 1#3/0G	(4) 3"	4 SETS OF 4#350KCMIL & 1#3/0G	(4) 4"	1200A

- NOTES:
- CONDUIT SIZES ARE BASED ON THE NEC ANNEX C TABLES FOR EMT/SCH 40 WITH THHN/THWN CONDUCTORS. CONDUIT SIZES USED IN CONDUIT CALCULATION ARE BASED ON THE SIZE OF THE HOT CONDUCTORS OF CIRCUIT. EXAMPLE: 40A 3PH 4W CONDUIT SIZE IS BASED ON 4#8 + 1#6G + 1#6 "SPACE". FOR ACTUAL WIRE INSTALL USE QUANTITY AND SIZES WITHIN SCHEDULE.
  - UNLESS OTHERWISE INDICATED, CONDUCTOR SIZING SHALL MATCH THE SIZE INDICATED ABOVE FOR THE APPLICABLE OVERCURRENT DEVICE. PROVIDE LARGER CIRCUIT WHERE INDICATED.
  - PROVIDE MINIMUM SIZE CONDUIT INDICATED IN THE SPECIFICATIONS OR ON THE DRAWINGS.
  - PROVIDE A 4-WIRE CIRCUIT UNLESS DEVICE SERVED DOES NOT HAVE PROVISIONS FOR A NEUTRAL.
  - MINIMUM SIZE CONDUIT UNDERGROUND IS 4 INCH EXCEPT FOR SITE BRANCH CIRCUITS SUCH AS LIGHTING AND MISCELLANEOUS POWER AND SYSTEMS WHICH SHALL BE A MINIMUM OF 1 INCH.
  - PROVIDE TYPE OF RACEWAY OR CABLE AS INDICATED IN THE SPECIFICATIONS OR ON THE DRAWINGS.
  - REFER TO PANELBOARD SCHEDULES AND RISER DIAGRAM DRAWINGS FOR CONDUCTOR AND CONDUIT SIZE.
  - ALL CONDUCTOR SIZES ARE BASED ON 75°C (167°F). ALL EQUIPMENT CONNECTED TO WIRES SHALL BE RATED FOR 75°C (167°F).
  - 500KCMIL CONDUCTORS ARE ONLY RATED FOR 380AMPS EACH

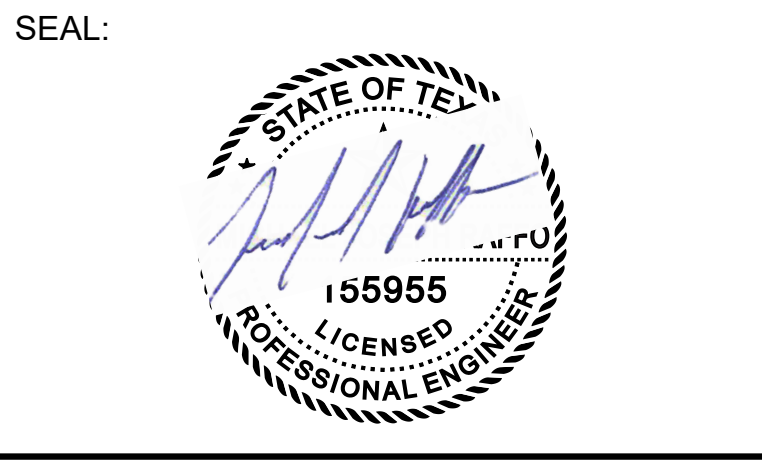
ISSUANCES		
NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

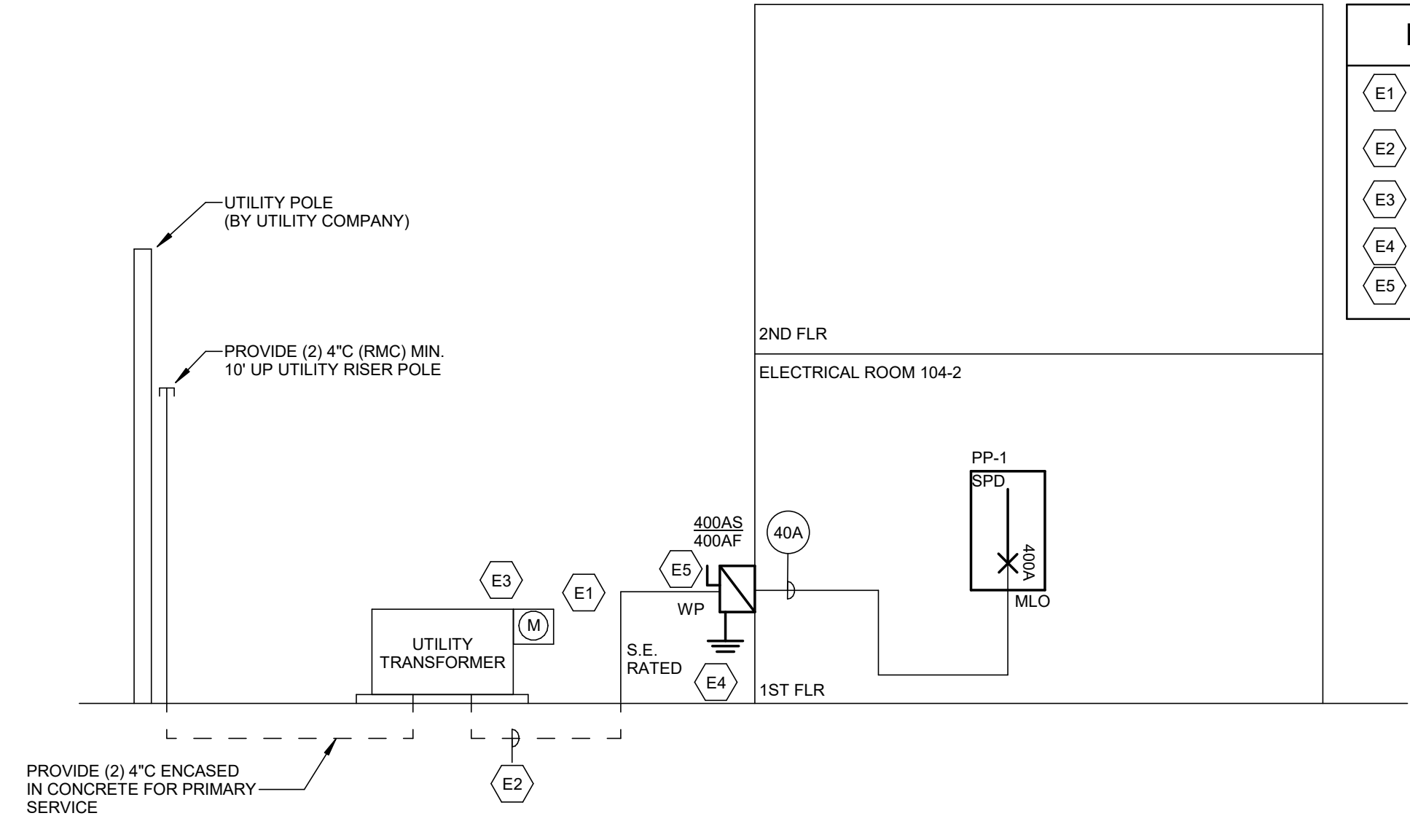
**ELECTRICAL SCHEDULES AND DIAGRAMS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.  
 E4.00

1 POWER RISER DIAGRAM  
 NTS



- ELECTRICAL RISER DIAGRAM KEY NOTES**
- E1 PROVIDE UTILITY APPROVED METER SOCKET. REFER TO UTILITY COMPANY.
  - E2 PROVIDE 4#600KCMIL IN 4\"/>



ISSUANCES

NO.	DATE	DESCRIPTION
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REVISIONS

NO.	DATE	DESCRIPTION

**CASTROVILLE  
CATHOLIC SCHOOL**

**702 PARIS ST,  
CASTROVILLE, TX**

**ELECTRICAL  
SCHEDULES AND  
DIAGRAMS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD



SHEET NO.

**E4.01**

LIGHTING FIXTURE SCHEDULE				
TYPE	BASIS OF DESIGN MANUFACTURER / MODEL	VOLTAGE	SOURCE	FIXTURE DESCRIPTION - BASIS OF DESIGN
E1	KESWICK 1972-AGB	UNV	75W LED	VANITY FIXTURE, AGED BRASS
E2	WAC LIGHTING FM-240508	UNV	30W 3000K LED	5", LED SURFACE MOUNTED DOWNLIGHT, DIMMING 0-10V TO 5%, WHITE FINISH
E3	WAC LIGHTING FM-240512	UNV	30W 3000K LED	5", LED SURFACE MOUNTED DOWNLIGHT, DIMMING 0-10V TO 5%, WHITE FINISH
E4	HINKLEY LIGHTING, INC. ELEANOR 4956HB	120V	-	CHANDELIER FIXTURE, HERITAGE BRASS
E5	HINKLEY LIGHTING, INC. ELEANOR 4956HB	120V	-	CHANDELIER FIXTURE, HERITAGE BRASS
E6	VISUAL COMFORT & CO. SL 4002HAB-WG	UNV	60W 5000K	12.75", SURFACE MOUNTED DOWNLIGHT, BRASS FINISH
L1	SONNEMAN 2818.03-8	120V	94W 3000K LED	96", LED LINEAR PENDANT, DIMMING 0-10V TO 5%, WHITE FINISH
L2	SONNEMAN 2818.03-4	120V	44W 3000K LED	48", LED LINEAR PENDANT, DIMMING 0-10V TO 5%, WHITE FINISH
L4	WAC LIGHTING RZESAR-W930-WT	UNV	30W 3000K LED	3.5", LED RECESSED DOWNLIGHT PENDANT, DIMMING 0-10V TO 5%, WHITE FINISH
L5	WAC LIGHTING RZESAR-W930-WT	UNV	30W 3000K LED	10.5", LED RECESSED DOWNLIGHT PENDANT, DIMMING 0-10V TO 5%, WHITE FINISH
L6	WAC LIGHTING RZESAR-W930-WT	UNV	30W 3000K LED	7", LED RECESSED DOWNLIGHT PENDANT, DIMMING 0-10V TO 5%, WHITE FINISH
L7	WAC LIGHTING R2FBFT-W930-WT	UNV	15W 3000K LED	4", LED RECESSED DOWNLIGHT PENDANT, DIMMING 0-10V TO 1%, WHITE FINISH
L8	LITHONIA LIGHTING ECBG LED M6	UNV	3W LED	DOUBLE FACED EXIT SIGN
EB	LITHONIA LIGHTING EU2C	UNV	1W 5000K LED	14.625", LED WALL MOUNTED EMERGENCY FIXTURE, WHITE FINISH

- NOTES:**
- LIGHT FIXTURES IN THE SCHEDULE SHALL BE CONSIDERED BASIS OF DESIGN. EQUAL FIXTURE SUBSTITUTIONS ARE ACCEPTABLE FOR ALL FIXTURES IN THE LIGHTING FIXTURE SCHEDULE, UNLESS INDICATED OTHERWISE. EQUAL FIXTURE APPROVAL SHALL BE AS JUDGED BY THE ENGINEER AND THE ARCHITECT. IN ADDITION TO THE REQUIREMENTS LISTED IN THE LIGHTING FIXTURE SCHEDULE AND IN THE SPECIFICATIONS, THE PROPOSED EQUAL FIXTURES SHALL:
    - BE THE SAME GENERAL SIZE, STYLE AND SHAPE, INCLUDING BUT NOT LIMITED TO LENS CONSTRUCTION AND SHADING.
    - BE OF EQUAL QUALITY CONSTRUCTION AND FINISH.
    - BE SUPPLIED WITH ALL REQUIRED ACCESSORIES TO MATCH THE SPECIFIED (BASIS OF DESIGN) FIXTURE.
    - PROVIDE THE SAME DISTRIBUTION, EFFICACY AND SOURCE LUMEN OUTPUT.
    - HAVE THE SAME LISTINGS AS THE BASIS OF DESIGN FIXTURE, INCLUDING DLC AND ENERGY STAR QUALIFICATIONS.
  - ALL FIXTURES SHALL BE UL LISTED.
  - ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, RAILS, YOKES, CANOPIES, STEMS, CHAINS, ROW JOINERS, ETC. SHALL BE FURNISHED AND INSTALLED.
  - REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC DETAILS, ARRANGEMENT, MOUNTING HEIGHTS, SUSPENSION LENGTHS, CEILING CONSTRUCTION, ETC. ALL COLORS AND FINISHES SHALL BE SELECTED BY ARCHITECT.
  - FIXTURES SHALL BE SEISMICALLY SUPPORTED AS REQUIRED BY THE APPLICABLE BUILDING CODE. FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL BE INDEPENDENT OF DUCTS, PIPES, CEILINGS AND THEIR SUPPORTING MEMBERS. FIXTURES SHALL BE SUPPORTED WITH A MINIMUM OF 2 SUPPORTS.
  - WIRE EMERGENCY FIXTURES AND EXIT SIGNS AHEAD OF SWITCHED LEGS.
  - MINIMUM MOUNTING HEIGHT OF FIXTURES IN MECHANICAL AND ELECTRICAL SPACES IS 8'-6" AFF. COORDINATE MOUNTING HEIGHT IN FIELD WITH EQUIPMENT IN ROOM SUCH THAT LIGHTING IS NOT OBSTRUCTED BY DUCTWORK, PIPING AND CONDUIT. PROVIDE NECESSARY CHAIN-MOUNTING HARDWARE TO SUSPEND FIXTURES WHERE REQUIRED.
  - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - WHERE EXIT SIGNS ARE SHOWN AS WALL MOUNTED ABOVE A DOOR, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NO MORE THAN 3" ABOVE THE DOOR FRAME, UNLESS INDICATED OTHERWISE ON PLANS.
  - UNLESS OTHERWISE NOTED, PENDANT FIXTURE MOUNTING HEIGHTS IN FINISHED SPACES SHALL BE AS FOLLOWS:
    - CEILING HEIGHT 9'-0" OR LOWER: 7'-6" TO BOTTOM OF FIXTURE
    - CEILING HEIGHT 9'-6" TO 11'-0": 8'-0" TO BOTTOM OF FIXTURE
    - CEILING HEIGHT 11'-0" TO 12'-0": 9'-6" TO BOTTOM OF FIXTURE
    - MINIMUM PENDANT LENGTH SHALL BE 1'-6"
    - CONSULT WITH ARCHITECT AND ENGINEER FOR OTHER CEILING HEIGHTS.

MOTOR / EQUIPMENT CIRCUIT SCHEDULE													
EQUIPMENT	OCPD	PANEL	LOAD					LOCAL DISC. SW	MOTOR STARTER			REMARKS	
			HP	MCA	KW	PH	VOLT		SIZE	TYPE	LOCATION		WIRING
FCU-1	20A-2P	PP-1	-	1.3	-	1	208	DIV. 23	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
FCU-2	20A-2P	PP-1	-	1.3	-	1	208	DIV. 23	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
FCU-3	20A-2P	PP-1	-	1.3	-	1	208	DIV. 23	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
FCU-4	20A-2P	PP-1	-	0.8	-	1	208	DIV. 23	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
FCU-5	20A-2P	PP-1	-	0.2	-	1	208	DIV. 23	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
BC-1	20A-2P	PP-1	-	0.8	-	1	208	30A-NF	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
BC-2	20A-2P	PP-1	-	0.7	-	1	208	30A-NF	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
CU-1	100A-3P	PP-1	-	60	-	3	208	100A-NF	-	SPC	AT UNIT	3#3 & 1#8G, 1 1/4"C	
CU-2	90A-3P	PP-1	-	56	-	3	208	100A-NF	-	SPC	AT UNIT	3#3 & 1#8G, 1 1/4"C	
EF-1	20A-1P	PP-1	-	-	-	14	1	120	MAN	-	SPC	AT UNIT	2#12, #12G, 3/4"C
DOAS-1	15A-2P	PP-1	-	4	-	1	208	30A-NF	-	SPC	AT UNIT	2#12, #12G, 3/4"C	
EDH-1	60A-3P	PP-1	-	-	-	17	3	208	60A-NF	-	SPC	AT UNIT	3#6 & 1#10G, 1"C
WH-1	70A-2P	PP-1	-	-	-	11	1	208	100A-NF	-	SPC	AT UNIT	3#4 & 1#8G, 1 1/4"C

- GENERAL NOTES:**
- DISCONNECT SWITCHES SHALL BE HEAVY-DUTY TYPE AND SHALL BE LOCATED AT EQUIPMENT LOCATION UNLESS OTHERWISE NOTED.
  - ABBREVIATIONS:
    - MAN: MANUAL STARTER (TOGGLE SWITCH WITH THERMAL OVERLOADS)
    - FVNR: COMBINATION FULL VOLTAGE NON-REVERSING STARTER/ DISCONNECT SWITCH
    - VFD: VARIABLE FREQUENCY DRIVE, FURNISHED BY DIV. 23, WIRED BY DIV. 26. PROVIDE POWER WIRING FROM SOURCE PANELBOARD TO VFD AND FROM VFD TO MOTOR(S). COORDINATE EXACT LOCATION IN FIELD WITH DIV. 23.
    - DIV. 21: EQUIPMENT FURNISHED BY DIVISION 21 FIRE PROTECTION CONTRACTOR
    - DIV. 22: EQUIPMENT FURNISHED BY DIVISION 22 PLUMBING CONTRACTOR
    - DIV. 23: EQUIPMENT FURNISHED BY DIVISION 23 HVAC CONTRACTOR
    - SPC: SINGLE POINT CONNECTION (STARTERS INTEGRAL TO EQUIPMENT). COORDINATE EXACT POINT OF CONNECTION IN FIELD.
  - OVERCURRENT PROTECTION DEVICES (OCPD) SHALL BE MOLDED CASE CIRCUIT BREAKERS UNLESS NOTED WITH AN "F" FOR FUSE.
  - DISCONNECT SWITCHES AND STARTERS SHALL BE NEMA 3R RATED WHEN LOCATED OUTSIDE.
  - REFER TO PANEL SCHEDULES FOR SOURCE PANEL/ CIRCUIT INFORMATION.
  - REFER TO ELECTRICAL AND MECHANICAL PLANS FOR EXACT LOCATIONS OF EQUIPMENT.
  - STARTERS SHALL BE SQUARE D CLASS 8536 OR APPROVED EQUAL.

- REFERENCED REMARKS:**
- REFER TO FLOOR PLANS FOR CIRCUITING. ALL UNITS INDICATED ON PLANS SHALL BE DAISY-CHAINED TOGETHER. PROVIDE SEPARATE DISCONNECT SWITCH FOR EACH UNIT ON CIRCUIT.
  - CONDENSATE PUMP FOR AC/ FAN COIL UNIT SHALL BE FURNISHED/INSTALLED BY DIV. 23. ELECTRICAL CONTRACTOR SHALL PROVIDE HARDWIRED CONNECTION TO PUMP VIA SAME CIRCUIT AS AC/ FAN COIL UNIT. PROVIDE MOTOR RATED TOGGLE SWITCH AT PUMP FOR DISCONNECTING MEANS.
  - CONDENSATE PUMP FOR AC/ FAN COIL UNIT SHALL BE FURNISHED/INSTALLED BY DIV. 23. ELECTRICAL CONTRACTOR SHALL PROVIDE DUPLEX RECEPTACLE FOR PUMP, POWERED VIA LOCAL UNSWITCHED RECEPTACLE CIRCUIT. COORDINATE EXACT LOCATION WITH DIV. 23.
  - PROVIDE POWER WIRING FROM SOURCE PANELBOARD TO OUTDOOR UNIT. PROVIDE INTERCONNECT WIRING IN 3/4"C. FROM OUTDOOR UNIT TO INDOOR UNIT. WIRE SIZE AND TYPE SHALL BE PER MANUFACTURER'S REQUIREMENTS. PROVIDE SEPARATE DISCONNECT SWITCH FOR EACH OF THE TWO UNITS.
  - PROVIDE SEPARATE 20A/120V/1PH CONNECTION TO UNIT FOR INTEGRAL LIGHTS AND RECEPTACLES. POWER VIA CIRCUIT INDICATED ON PLANS.
  - UNIT IS LOCATED OUTSIDE BUILDING ON PAD. CIRCUIT SHALL RUN UNDER SLAB FROM PANEL TO UNIT LOCATION. COORDINATE EXACT STUB-UP LOCATION IN FIELD WITH HVAC CONTRACTOR PRIOR TO ROUGH-IN.
  - POWER VIA EPOV SHUTOFF SYSTEM AS SPECIFIED ON ELECTRICAL DETAILS.
  - VFD FURNISHED AND INSTALLED BY KITCHEN EQUIPMENT CONTRACTOR. PROVIDE WIRING FROM SOURCE PANEL TO VFD, AND FROM VFD TO MOTOR(S). PROVIDE CONTROL WIRING AS DICTATED ON FOOD SERVICE DETAILS AND ELECTRICAL DRAWINGS.
  - NEMA 3R DISCONNECT SWITCH FOR CHILLER SHALL BE MOUNTED IN AN ACCESSIBLE LOCATION ADJACENT TO UNIT. COORDINATE EXACT LOCATION OF STARTER/VFD AND CONTROL PANEL IN FIELD WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
  - DUPLEX PUMP ASSEMBLY - PROVIDE POWER WIRING TO CONTROL PANEL AND FROM CONTROL PANEL TO EACH OF THE TWO PUMPS.
  - PROVIDE EQUIPMENT RELAY FOR CONTROL. REFER TO SINGLE PHASE EQUIPMENT RELAY CONTROL DETAIL FOR ADDITIONAL INFORMATION.
  - PROVIDE EQUIPMENT RELAY FOR CONTROL. REFER TO THREE PHASE EQUIPMENT RELAY CONTROL DETAIL FOR ADDITIONAL INFORMATION.



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## SECTION 26 04 00 - GENERAL CONDITIONS FOR ELECTRICAL TRADES

### A. DESCRIPTION

- THIS PROJECT COMPRISES ALTERATIONS AND RENOVATIONS TO THE EXISTING BUILDING. THE EXISTING BUILDING IS CURRENTLY OCCUPIED AND THE PROJECT WILL PROCEED IN A MANNER WHICH WILL MINIMIZE ANY INCONVENIENCE TO THE BUILDING OCCUPANTS.
- SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING LABOR, MATERIALS, EQUIPMENT, FINISH, PLANT, TRANSPORTATION, RIGGING, STAGING, APPURTENANCES, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN.

### B. DEFINITIONS:

- FURNISH: THE TERM "FURNISH" MEANS TO "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS."
- INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."
- PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."
- REMOVE: THE TERM REMOVE MEANS TO DISCONNECT FROM ITS PRESENT POSITION; REMOVE FROM THE PREMISES AND TO DISPOSE OF IN A LEGAL MANNER."
- SUBSTITUTIONS: "SUBSTITUTIONS" ARE REQUESTS FOR CHANGES IN PRODUCTS, MATERIALS AND METHODS OF CONSTRUCTION AS PROPOSED BY THE CONTRACTOR AFTER AWARD OF THE CONTRACT.

### C. EQUIPMENT EQUIVALENTS AND SUBSTITUTIONS:

- CERTAIN MANUFACTURERS OF MATERIAL, APPARATUS OR APPLIANCES ARE INDICATED IN THE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT. THESE ITEMS HAVE BEEN USED AS THE BASIS OF DESIGN, AND AS A CONVENIENCE IN FIXING THE MINIMUM STANDARD OF WORKMANSHIP, FINISH AND DESIGN THAT IS REQUIRED, IF THE CONTRACTOR USES AN "APPROVED EQUAL" ALTERNATIVE TO THE BASIS OF DESIGN, AND IF THE FEATURES OF THAT ALTERNATIVE HAVE AN IMPACT ON OTHER COMPONENTS OF THE PROJECT, THE CONTRACTOR SHALL INCLUDE THE NECESSARY ADJUSTMENTS IN THOSE COMPONENTS, WHETHER FOR ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, OR ANY OTHER ELEMENTS, PLUS ANY ADJUSTMENTS FOR DIFFERENCE IN PERFORMANCE.
- EQUIPMENT, MATERIAL OR DEVICES SUBMITTED FOR REVIEW AS AN "EQUIVALENT" SHALL MEET THE FOLLOWING REQUIREMENTS:
  - THE EQUIVALENT SHALL HAVE THE SAME CONSTRUCTION FEATURES SUCH AS, BUT NOT LIMITED TO:
    - MATERIAL THICKNESS, GAUGE, WEIGHT, DENSITY, ETC.
    - WELDED, RIVETED, BOLTED, ETC., CONSTRUCTION
    - FINISH, UNDERCOATING, CORROSION PROTECTION
  - THE EQUIVALENT SHALL PERFORM WITH THE SAME OR BETTER OPERATING EFFICIENCY.
  - THE EQUIVALENT SHALL BE LOCALLY REPRESENTED BY THE MANUFACTURER FOR SERVICE, PARTS AND TECHNICAL INFORMATION.
  - THE EQUIVALENT SHALL BEAR THE SAME LABELS OF PERFORMANCE CERTIFICATION AS IS APPLICABLE TO THE SPECIFIED ITEM, SUCH AS UL OR NEMA LABELS OR DLC QUALIFICATIONS.

### D. DRAWINGS:

- PROVIDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO NOTE THAT THESE DOCUMENTS ARE DIAGRAMMATIC ONLY AND THAT FINAL PLACEMENT OF EQUIPMENT OR DEVICES IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT WHICH IS SHOWN ON THE DRAWINGS. IF A CONFLICT IN POSITIONING OCCURS THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY TO ASCERTAIN WHAT THE INTENT WAS BY THE DESIGN PROFESSIONAL.
- WHERE VARIANCES OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER OF THE DOCUMENTS, THE ITEM OR ARRANGEMENT OF BETTER QUALITY, HIGHER RATING, OR HIGHER VALUE SHALL BE INCLUDED IN THE CONTRACT PRICE. THE OWNER AND ENGINEER SHALL DECIDE ON THE ITEM AND THE MANNER IN WHICH THE WORK SHALL BE INSTALLED.

### E. SURVEY AND MEASUREMENTS:

- PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS, INCLUDE IN THE BID ALL DEMOLITION WORK REQUIRED.
- DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS.
- PRIOR TO ORDERING ANY MATERIALS AND EQUIPMENT, THOROUGHLY REVIEW THE SITE CONDITIONS TO DETERMINE IF ADEQUATE CLEARANCES AND ACCESS IS ALLOWED TO INSTALL THE COMPONENTS. ORDER EQUIPMENT BROKEN DOWN AS NECESSARY TO ALLOW FOR PROPER RIGGING THROUGH THE PROJECT AREA. PROVIDE ALL NECESSARY ALTERATIONS TO THE STRUCTURE OF THE BUILDING AS NECESSARY TO RIG THE EQUIPMENT IN PLACE.
- ARRANGE INSTALLATION TO PROVIDE ACCESS TO EQUIPMENT FOR EASY MAINTENANCE AND REPAIR.

### F. CODES AND STANDARDS: ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MOST RECENTLY ADOPTED EDITIONS OF THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL JURISDICTIONAL REVISIONS:

- STATE BUILDING CODE INCLUDING ALL SUPPLEMENTS.
- STATE FIRE SAFETY CODE INCLUDING ALL SUPPLEMENTS.
- STATE FIRE PREVENTION CODE INCLUDING ALL SUPPLEMENTS.
- THE INTERNATIONAL BUILDING CODE
- THE INTERNATIONAL EXISTING BUILDING CODE
- THE INTERNATIONAL FIRE CODE
- THE INTERNATIONAL MECHANICAL CODE
- THE INTERNATIONAL PLUMBING CODE
- THE INTERNATIONAL EMERGENCY CONSERVATION CODE
- NFPA 1: FIRE CODE
- NFPA 70: NATIONAL ELECTRICAL CODE
- NFPA 72: NATIONAL FIRE ALARM AND SIGNALING CODE
- NECA 1: STANDARD FOR GOOD WORKMANSHIP IN ELECTRICAL CONSTRUCTION
- NETA ATS.

### G. PERMITS AND FEES:

- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, AND PAY ALL GOVERNMENT AND STATE SALES TAXES AND FEES WHERE APPLICABLE, AND OTHER COSTS, FILE ALL NECESSARY DRAWINGS, PREPARE ALL DOCUMENTS AND OBTAIN ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL AND STATE DEPARTMENTS HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK, AND DELIVER A COPY TO THE OWNER AND ENGINEER BEFORE REQUEST FOR ACCEPTANCE AND FINAL PAYMENT FOR THE WORK.

### H. SHOP DRAWINGS:

- PROVIDE SHOP DRAWINGS FOR ALL DEVICES SPECIFIED UNDER EQUIPMENT SPECIFICATIONS FOR ALL SYSTEMS INCLUDING FIRE ALARM, SWITCHGEAR, CLOCK, LIGHTING, ETC. OR WHERE CALLED FOR ELSEWHERE IN THE SPECIFICATIONS, OR WHERE SCHEDULED ON THE DRAWINGS, OR WHERE CALLED OUT ON THE DRAWINGS. SHOP DRAWINGS SHALL INCLUDE MANUFACTURERS' NAMES, CATALOG NUMBERS, CUTS, DIAGRAMS, DIMENSIONS, IDENTIFICATION OF PRODUCTS AND MATERIALS INCLUDED, COMPLIANCE WITH SPECIFIED STANDARDS, NOTATION OF COORDINATION REQUIREMENTS, NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND ACCEPT THE EQUIPMENT. A COMPLETE LIST IN EACH CATEGORY (EXAMPLE: ALL FIXTURES) OF ALL SHOP DRAWINGS, CATALOG CUTS, MATERIAL LISTS, ETC. SHALL BE SUBMITTED TO THE ENGINEER AT ONE TIME. NO CONSIDERATION WILL BE GIVEN TO A PARTIAL SHOP DRAWING SUBMITTA.
- SHOP DRAWINGS SHALL INCLUDE EQUIPMENT SUBMITTALS, FABRICATION AND INSTALLATION DRAWINGS, SETTING DIAGRAMS, SCHEDULES, PATTERNS, TEMPLATES AND SIMILAR DRAWINGS. INCLUDE THE FOLLOWING INFORMATION:
  - DIMENSIONS
  - WIRING DIAGRAMS AND RISER DIAGRAMS
  - CALCULATIONS
  - IDENTIFICATION OF PRODUCTS AND MATERIALS INCLUDED.
  - COMPLIANCE WITH SPECIFIED STANDARDS AND PERFORMANCE DATA AS INDICATED.
  - NOTATION OF COORDINATION REQUIREMENTS.
  - NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT.
  - DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN IN CONNECTION WITH CONSTRUCTION.
  - DO NOT ORDER ANY MATERIALS OR EQUIPMENT PRIOR TO RECEIVING FINAL APPROVED SHOP DRAWINGS.
  - SHOP DRAWINGS SHALL BE IN PDF/OCR FORMAT. PHOTOCOPIES ARE NOT ACCEPTABLE.

### I. COORDINATION DRAWINGS:

- PREPARE COORDINATION DRAWINGS AT A SCALE TO MATCH THE CONTRACT DOCUMENT FLOOR PLANS; DETAILING MAJOR ELEMENTS, COMPONENTS, AND SYSTEMS OF ELECTRICAL EQUIPMENT AND MATERIALS IN RELATIONSHIP WITH OTHER SYSTEMS, INSTALLATIONS, AND BUILDING COMPONENTS. INDICATE LOCATIONS WHERE SPACE IS LIMITED FOR INSTALLATION AND ACCESS AND WHERE SEQUENCING AND COORDINATION OF INSTALLATIONS ARE OF IMPORTANCE TO THE EFFICIENT FLOW OF THE WORK, INCLUDING (BUT NOT NECESSARILY LIMITED TO) THE FOLLOWING:
  - INDICATE THE PROPOSED LOCATIONS OF LIGHT FIXTURES, PANELBOARDS, CONDUITS, CABINETS, ETC.
  - CLEARANCES FOR INSTALLING AND MAINTAINING INSULATION
  - CLEARANCES FOR SERVICING AND MAINTAINING EQUIPMENT, INCLUDING NEC REQUIREMENTS AND SPACE FOR EQUIPMENT DISASSEMBLY REQUIRED FOR PERIODIC MAINTENANCE.
  - EQUIPMENT CONNECTIONS AND SUPPORT DETAILS.
  - EXTERIOR WALL AND FOUNDATION PENETRATIONS.
  - FIRE-RATED WALL AND FLOOR PENETRATIONS.
  - SIZES AND LOCATIONS OF REQUIRED CONCRETE PADS AND BASES.
- INDICATE SCHEDULING, SEQUENCING, MOVEMENT, AND POSITIONING OF LARGE EQUIPMENT INTO THE BUILDING DURING CONSTRUCTION.
- PREPARE FLOOR PLANS, ELEVATIONS, AND DETAILS TO INDICATE PENETRATIONS IN FLOORS, WALLS, AND CEILING AND THEIR RELATIONSHIP TO OTHER PENETRATIONS AND INSTALLATIONS.
- PREPARE REFLECTED CEILING PLANS TO COORDINATE AND INTEGRATE INSTALLATIONS, AIR OUTLETS AND INLETS, LIGHT FIXTURES, COMMUNICATION SYSTEMS COMPONENTS, SPRINKLERS, AND OTHER CEILING-MOUNTED ITEMS.

### J. AS-BUILT DRAWINGS:

- PREPARE AS-BUILT DRAWINGS TO A SCALE TO MATCH THE CONTRACT DOCUMENT FLOOR PLANS, DETAILING THE ACTUAL INSTALLATION OF MAJOR ELEMENTS, COMPONENTS, AND SYSTEMS OF MECHANICAL EQUIPMENT AND MATERIALS. WHERE SHOP DRAWINGS ARE USED, RECORD A CROSS-REFERENCE AT THE CORRESPONDING LOCATION ON THE AS-BUILT DRAWINGS. GIVE PARTICULAR ATTENTION TO CONCEALED ELEMENTS THAT WOULD BE DIFFICULT TO MEASURE AND RECORD AT A LATER DATE.
- MARK NEW INFORMATION THAT IS IMPORTANT TO THE OWNER, BUT WAS NOT SHOWN ON CONTRACT DRAWINGS OR SHOP DRAWINGS.
- NOTE RELATED CHANGE ORDER NUMBERS WHERE APPLICABLE.
- FINAL RECORD DOCUMENTS SHALL BE PREPARED IN THE LATEST AUTOCAD VERSION AND DIGITAL MEDIA FOR ALL DRAWINGS AND A CLEAN SET OF REPRODUCIBLE PAPER COPIES SHALL BE TURNED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.

### K. OPERATIONS AND MAINTENANCE MANUALS

- THE CONTRACTOR SHALL PREPARE (1) PDF COPY AND (3) HARD COPIES OF A COMPLETE MAINTENANCE AND OPERATING INSTRUCTIONS MANUAL, BOUND IN BOOKLET FORM. ORGANIZE OPERATING AND MAINTENANCE DATA INTO SUITABLE SETS OF MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL, HEAVY-DUTY, 3-RING, VINYL-COVERED BINDERS, WITH POCKET FOLDERS FOR FOLDED SHEET INFORMATION. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER.
- MANUAL SHALL INCLUDE THE FOLLOWING:
  - DESCRIPTION OF FUNCTION, NORMAL OPERATING CHARACTERISTICS AND LIMITATIONS, PERFORMANCE CURVES, ENGINEERING DATA AND TESTS, AND COMPLETE NOMENCLATURE AND COMMERCIAL NUMBERS OF REPLACEMENT PARTS.
  - MANUFACTURER'S PRINTED OPERATING PROCEDURES TO INCLUDE START-UP, BREAK-IN, AND ROUTINE AND NORMAL OPERATING INSTRUCTIONS, REGULATION, CONTROL, STOPPING, SHUTDOWN, AND EMERGENCY INSTRUCTIONS; AND SUMMER AND WINTER OPERATING INSTRUCTIONS.
  - MAINTENANCE PROCEDURES FOR ROUTINE PREVENTATIVE MAINTENANCE AND TROUBLESHOOTING; DISASSEMBLY, REPAIR, AND REASSEMBLY; ALIGNING AND ADJUSTING INSTRUCTIONS.
  - SERVICING INSTRUCTIONS AND LUBRICATION CHARTS AND SCHEDULES.
  - EMERGENCY INSTRUCTIONS.
  - SPARE PARTS LIST.
  - COPIES OF WARRANTIES.
  - WIRING DIAGRAMS.
  - RECOMMENDED "TURN AROUND" CYCLES.
  - INSPECTION PROCEDURES.
  - APPROVED SHOP DRAWINGS AND PRODUCT DATA.
  - EQUIPMENT START-UP REPORTS.

### L. WARRANTIES

- ALL EQUIPMENT PROVIDED IN THIS PROJECT SHALL CARRY A MANUFACTURER'S WARRANTY FOR NO LESS THAN ONE (1) YEAR FROM DATE OF BENEFICIAL USE - UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.

### M. MISCELLANEOUS REQUIREMENTS:

- THE CONTRACTOR SHALL COORDINATE ALL INTERRUPTIONS OF SERVICES AND LIMITATIONS OF ACCESS WITH THE OWNER NO LESS THAN (5) DAYS PRIOR TO THE INTERRUPTION.
- OBTAIN IN OWNER'S NAME WRITTEN EQUIPMENT AND MATERIAL WARRANTIES OFFERED IN MANUFACTURER'S PUBLISHED PRODUCT DATA WITHOUT EXCLUSION OR LIMITATION.
- GUARANTEE WORK OF THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE (1) YEAR FROM DATE OF BENEFICIAL USE. REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN THIS PERIOD, PROMPT AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.
- SUBMIT TO THE OWNER AN OFFICIAL CERTIFICATE OF INSURANCE FOR THEIR RECORDS.

### SECTION 26 05 19 - ELECTRICAL POWER CONDUCTORS AND CABLES

- COORDINATE SIZES OF RACEWAYS, BOXES, AND EQUIPMENT ENCLOSURES INSTALLED UNDER OTHER SECTIONS WITH THE ACTUAL CONDUCTORS TO BE INSTALLED, INCLUDING ADJUSTMENTS FOR CONDUCTOR SIZES INCREASED FOR VOLTAGE DROP.
  - COORDINATE WITH ELECTRICAL EQUIPMENT INSTALLED UNDER OTHER SECTIONS TO PROVIDE TERMINATIONS SUITABLE FOR USE WITH THE CONDUCTORS TO BE INSTALLED.
- PROVIDE SINGLE CONDUCTOR BUILDING WIRE INSTALLED IN SUITABLE RACEWAY UNLESS OTHERWISE INDICATED, PERMITTED OR REQUIRED.
- CONDUCTOR SIZES AND AMPACITIES SHOWN ARE BASED ON COPPER.
- MINIMUM CONDUCTOR SIZES:
    - BRANCH CIRCUITS: 12 AWG
    - 20A, 120V CIRCUITS LONGER THAN 100 FEET - #10 AWG MINIMUM AND SIZED FOR VOLTAGE DROP.
    - 20A, 120V CIRCUITS LONGER THAN 165 FEET - #8 AWG MINIMUM AND SIZED FOR VOLTAGE DROP.
    - CONTROL CIRCUITS: 14 AWG
- CONDUCTORS NO. 10 AWG AND SMALLER DIAMETER SHALL BE SOLID ANNEALED COPPER, EXCEPT THAT CONDUCTORS FOR REMOTE CONTROL, ALARM, AND SIGNAL CIRCUITS, CLASSES 1, 2, AND 3, SHALL BE STRANDED UNLESS SPECIFICALLY INDICATED OTHERWISE.
- CONDUCTORS NO. 8 AWG AND LARGER DIAMETER SHALL BE STRANDED ANNEALED COPPER.
- UNLESS SPECIFIED OR INDICATED OTHERWISE OR REQUIRED BY NFPA 70, POWER AND LIGHTING WIRES SHALL BE 600-VOLT, TYPE THW/THWN OR THW/THWN-2 ANNEALED COPPER. CONTROL AND SIGNAL CIRCUITS SHALL BE TYPE TW, THW, OR TF ANNEALED COPPER. UNDERGROUND CONDUCTORS SHALL BE TYPE XHHW-2.
- WHERE LIGHTING FIXTURES REQUIRE 90 DEGREE C CONDUCTORS, PROVIDE ONLY CONDUCTORS WITH 90 DEGREE C INSULATION OR BETTER.
- MAKE ALL SPLICES IN ACCESSIBLE LOCATIONS. MAKE SPLICES IN CONDUCTORS NO. 10 AWG AND SMALLER DIAMETER WITH INSULATED, SPRING WIRE CONNECTORS WITH PLASTIC CAPS. MAKE SPLICES IN CONDUCTORS NO. 8 AWG AND LARGER DIAMETER WITH SOLDERLESS PRESSURE CONNECTORS WITH INSULATING COVERS. MAKE SPLICES IN CONDUCTORS NO. 6 AND LARGER WITH PRESSURE CONNECTORS OR SPLIT BOLT CONNECTORS.
- MAKE WIRE TERMINATIONS USING CRIMPED TERMINALS FOR CONDUCTORS NO. 10 AND SMALLER. MAKE WIRE TERMINATIONS FOR CONDUCTORS NO. 8 AND LARGER USING MECHANICAL OR PRESSURE CONNECTORS. PROVIDE SUITABLE REDUCERS WHERE OVERSIZED CONDUCTORS ARE LARGER THAN THE EQUIPMENT TERMINATION.
- PHASE CONDUCTORS SHALL BE IDENTIFIED BY COLOR CODING. THE COLOR OF THE INSULATION ON DIFFERENT A, B, AND C RESPECTIVELY (FOR THREE PHASE) OR PHASES A AND B RESPECTIVELY (FOR SINGLE PHASE) OF PHASES A, B, AND C SHALL BE AS FOLLOWS:
    - 120/208 VOLT, THREE PHASE: BLACK, RED, AND BLUE.
- UNLESS OTHERWISE INDICATED, THE WIRING METHOD SHALL CONSIST OF THE INSTALLATION OF INSULATED CONDUCTORS INSTALLED IN ELECTRICAL METALLIC AND/OR WIREMOLD RACEWAY.
- METALLIC-ARMORED TYPE MC CABLES, WHERE ALLOWED, SHALL INCLUDE 600V INSULATION RATING, TYPE THN/THWN-2 COPPER CONDUCTORS, DEDICATED NEUTRAL CONDUCTOR AND STEEL, INTERLOCKING ARMOR. USES PERMITTED:
    - WHERE CONCEALED ABOVE ACCESSIBLE CEILING FOR FINAL CONNECTIONS TO LUMINAIRES (MAXIMUM LENGTH 6 FEET).
    - WHERE CONCEALED IN HOLLOW STUD WALLS, ABOVE ACCESSIBLE CEILING, AND UNDER RAISED FLOOR FOR BRANCH CIRCUITS UP TO 20A.
    - EXCEPTION: PROVIDE SINGLE CONDUCTOR BUILDING WIRING IN RACEWAY FOR CIRCUIT HOMERUN FROM FIRST DEVICE IN SPACE TO PANELBOARD.
- PROVIDE INSULATED, GREEN EQUIPMENT GROUNDING CONDUCTOR IN FEEDER AND BRANCH CIRCUITS, INSTALLED IN CONDUIT OR RACEWAYS, INCLUDING LIGHTING CIRCUITS. GROUNDING CONDUCTOR SHALL BE SEPARATE FROM ELECTRICAL SYSTEM NEUTRAL CONDUCTOR.

### SECTION 26 05 26 - GROUNDING AND BONDING

- GROUNDING SHALL BE COMPLETED IN ACCORDANCE WITH NFPA 70. GROUND EXPOSED, NON-CURRENT-CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, METALLIC RACEWAY SYSTEMS, GROUNDING CONDUCTOR IN METALLIC AND NONMETALLIC RACEWAYS, AND NEUTRAL CONDUCTOR OF WIRING SYSTEMS. WHERE GROUND FAULT PROTECTION IS EMPLOYED, ENSURE THAT CONNECTION OF GROUND AND NEUTRAL DOES NOT INTERFERE WITH CORRECT OPERATION OF FAULT PROTECTION.
- EXISTING WORK: WHERE EXISTING GROUNDING AND BONDING SYSTEM COMPONENTS ARE INDICATED TO BE REUSED, THEY MAY BE REUSED ONLY WHERE THEY ARE FREE FROM CORROSION, INTEGRITY AND CONTINUITY ARE MAINTAINED, AND WHERE ACCESSIBLE TO THE AUTHORITY HAVING JURISDICTION.
- WHERE CONDUCTOR SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70.
- USE INSULATED COPPER CONDUCTORS UNLESS OTHERWISE INDICATED. USE BARE COPPER CONDUCTORS WHERE INSTALLED UNDERGROUND OR ENCASED IN CONCRETE.
- USE LISTED MECHANICAL CONNECTORS, COMPRESSION CONNECTORS OR EXOTHERMIC WELDED CONNECTIONS FOR ACCESSIBLE CONNECTIONS. USE EXOTHERMIC WELDED CONNECTIONS FOR UNDERGROUND, CONCEALED OR OTHERWISE INACCESSIBLE CONNECTIONS.
- GROUNDING ELECTRODE SYSTEM: PROVIDE CONNECTION TO REQUIRED AND SUPPLEMENTAL GROUNDING ELECTRODES INDICATED TO FORM GROUNDING ELECTRODE SYSTEM. PROVIDE CONTINUOUS GROUNDING ELECTRODE CONDUCTORS WITHOUT SPLICE OR JOINT. INSTALL GROUNDING ELECTRODE CONDUCTORS IN RACEWAY WHERE EXPOSED OR SUBJECT TO PHYSICAL DAMAGE. BOND GROUNDING ELECTRODE CONDUCTOR TO METALLIC RACEWAY AT EACH END WITH BONDING JUMPER.
- SERVICE-SUPPLIED SYSTEM GROUNDING: FOR EACH SERVICE DISCONNECT, PROVIDE GROUNDING ELECTRODE CONDUCTOR TO CONNECT NEUTRAL SERVICE CONDUCTOR TO GROUNDING ELECTRODE SYSTEM. UNLESS OTHERWISE INDICATED, MAKE CONNECTION AT NEUTRAL (GROUNDED) BUS IN SERVICE DISCONNECT ENCLOSURE.
- SEPARATELY DERIVED SYSTEM GROUNDING: PROVIDE GROUNDING ELECTRODE CONDUCTOR TO CONNECT DERIVED SYSTEM GROUNDED CONDUIT TO NEAREST EFFECTIVELY GROUNDED METAL BUILDING FRAME. PROVIDE SYSTEM BONDING JUMPER TO CONNECT SYSTEM GROUNDED CONDUCTOR TO EQUIPMENT GROUNDING BUS. MAKE CONNECTION AT SAME LOCATION AS GROUNDING ELECTRODE CONDUCTOR CONNECTION. WHERE GROUNDED METAL BUILDING FRAME DOES NOT EXIST, BOND TO METAL WATER PIPE AT POINT OF ENTRY TO BUILDING.

### SECTION 26 05 29 - HANGERS AND SUPPORTS

- PROVIDE ALL REQUIRED HANGERS, SUPPORTS, ANCHORS, FASTENERS, FITTINGS, ACCESSORIES AND HARDWARE NECESSARY FOR THE COMPLETE INSTALLATION OF THE ELECTRICAL WORK.
- HANGERS AND SUPPORTS SHALL MEET ASTM STANDARDS FOR CONNECTIONS; NECA 1 STANDARDS FOR WORKMANSHIP; NFPA 70, AND UL 58 FOR STRUT-TYPE CHANNEL RACEWAY AND FITTINGS.
- WHERE SUPPORT AND ATTACHMENT COMPONENT TYPES AND SIZES ARE NOT INDICATED, SELECT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS REQUIRED FOR THE LOAD TO BE SUPPORTED.
- STEEL COMPONENTS: USE CORROSION RESISTANT MATERIALS SUITABLE FOR THE ENVIRONMENT WHERE INSTALLED. USE ZINC-PLATED STEEL FOR INDOOR DRY LOCATIONS. USE GALVANIZED STEEL, STAINLESS STEEL, FIBERGLASS OR APPROVED EQUIVALENT FOR OUTDOOR, DAMP AND WET LOCATION INSTALLATIONS.
  - CONDUIT STRAPS: ONE-HOLE OR TWO-HOLE, ZINC PLATED.
  - CONDUIT CLAMPS: BOLTED TYPE.
- OUTLET BOX SUPPORTS: HANGERS AND BRACKETS SUITABLE FOR BOXES TO BE SUPPORTED.
- METAL CHANNEL (STRUT) FRAMING SYSTEMS: FACTORY FABRICATED CONTINUOUS SLOTTED METAL CHANNEL AND ASSOCIATED FITTINGS, ACCESSORIES, AND HARDWARE FOR FIELD-ASSEMBLY OF SUPPORTS. ALL LOCATIONS: USE 12 GA. GALVANIZED STEEL.
- HANGER RODS: CONTINUOUS THREADING, ZINC-PLATED STEEL.
- USE OF POWER-ACTUATED FASTENERS REQUIRES APPROVAL OF ARCHITECT AND STRUCTURAL ENGINEER.
- UNLESS SPECIFICALLY INDICATED, DO NOT USE FASTENERS OR ANY ELECTRICAL COMPONENT FROM THE ROOF DECK.
- PLASTIC AND LEAD ANCHORS ARE NOT PERMITTED.

### SECTION 26 05 33 - RACEWAY AND BOXES

- PROVIDE A COMPLETE WIRING SYSTEM OF RACEWAYS AND BOXES LOCATED AS INDICATED ON DRAWINGS AND AT LOCATIONS AS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS AND COMPLIANCE WITH REGULATORY REQUIREMENTS. LOCATIONS INDICATED ON DRAWINGS ARE APPROXIMATE UNLESS DIMENSIONED.
- STANDARDS: MATERIALS SHALL COMPLY WITH ANSI C80, NEMA AND UL REQUIREMENTS AS APPLICABLE FOR TYPE AND MATERIAL.
- MINIMUM CONDUIT SIZE, UNLESS OTHERWISE NOTED: INTERIOR - 3/4"; EXTERIOR EXPOSED 3/4"; EXTERIOR UNDERGROUND - 1".
- CONDUIT APPLICATIONS:
  - UNDER SLAB ON GRADE - SCHEDULE 40 PVC CONDUIT WITH RIGID METAL CONDUIT SWEEPS.
  - EXTERIOR IN TRENCH - USE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT WITH RIGID METAL CONDUIT SWEEPS.
  - EXTERIOR CONCRETE ENCASED - USE TYPE EB RIGID PVC CONDUIT, TRANSITION TO RIGID METAL WHERE EMERGING FROM UNDERGROUND.
  - EMBEDDED WITHIN SLAB: FLOOR BOX SLAB-ON-GRADE APPLICATIONS ONLY.
  - CONCEALED IN MASONRY WALLS: USE EMT WITH FLUSH MOUNTED MASONRY BOXES.
  - CONCEALED IN HOLLOW STUD WALLS: USE EMT CONDUIT OR MC CABLE (WHERE ALLOWED). PROVIDE FLUSH SHEET-METAL BOXES.
  - INTERIOR DAMP OR WET LOCATIONS: USE RIGID METAL CONDUIT, INTERMEDIATE METAL CONDUIT OR SCHEDULE 40 PVC CONDUIT. PROVIDE CAST METAL OR NONMETALLIC OUTLET, JUNCTION AND PULL BOXES.
  - EXPOSED, INTERIOR DRY LOCATIONS: USE EMT CONDUIT.
  - EXPOSED FINISHED LOCATIONS: PROVIDE SURFACE METAL RACEWAY AND FITTINGS. UNLESS SPECIFIED ON DRAWINGS, REQUIRE DESIGN TEAM APPROVAL. COORDINATE ALL VERTICAL RUNS OF SURFACE RACEWAY WITH ARCHITECT PRIOR TO INSTALLATION.
  - CONNECTIONS TO LUMINAIRES ABOVE ACCESSIBLE CEILING: USE FLEXIBLE METAL CONDUIT, MAXIMUM LENGTH OF 6 FEET.
  - CONNECTIONS TO VIBRATING EQUIPMENT: DRY LOCATIONS - USE FLEXIBLE METAL CONDUIT OR MC CABLE; DAMP, WET OR CORROSIVE LOCATIONS - USE LIQUIDTIGHT FLEXIBLE METAL CONDUIT; MAXIMUM LENGTH 6 FEET.
- FITTINGS:
  - EMT - COMPLY WITH NEMA FB 1 AND UL 514B. STEEL WITH COMPRESSION FITTINGS IN DAMP OR WET LOCATIONS; SEE SPECIFICATIONS.
  - RIGID METAL CONDUIT - COMPLY WITH ANSI C80.1 AND UL 6. THREADED STEEL OR MALLEABLE IRON. USE FITTING LISTED AND LABELED AS COMPLYING WITH UL 514B IN HAZARDOUS LOCATIONS.
  - FLEXIBLE METAL CONDUIT - COMPLY WITH NEMA FB 1 AND UL 514B. USE STEEL FITTINGS.
  - LIQUIDTIGHT FLEXIBLE METAL CONDUIT - COMPLY WITH NEMA FB 1 AND UL 514B. USE STEEL FITTINGS.
  - SURFACE METAL RACEWAY - PROVIDE FITTINGS FROM SAME MANUFACTURER AS SURFACE RACEWAY. INCLUDE ALL REQUIRED ELBOWS, COUPLINGS MOUNTING CLIPS, COVERS, END FITTINGS AND DEVICE MOUNTING BRACKETS.
- BOXES: WHERE A BOX SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70, BUT NOT LESS THAN APPLICABLE MINIMUM SIZE SPECIFIED.
  - USE SHEET METAL, STEEL BOXES IN DRY LOCATIONS.
  - USE CAST IRON OR CAST ALUMINUM BOXES WITH THREADED HUBS WHERE EXPOSED RIGID METAL CONDUIT IS USED.
  - USE NONMETALLIC BOXES WHERE EXPOSED RIGID PVC CONDUIT IS USED.
  - USE SUITABLE CONCRETE TYPE BOXES WHERE FLUSH-MOUNTED IN CONCRETE.
  - USE SUITABLE MASONRY TYPE BOXES WHERE FLUSH-MOUNTED IN MASONRY WALLS.
  - USE RAISED COVERS SUITABLE FOR TYPE OF WALL CONSTRUCTION AND DEVICE CONFIGURATION WHERE REQUIRED.
  - USE MULTI-GANG BOXES OF SINGLE-PIECE CONSTRUCTION, DO NOT USE FIELD CONNECTED GANGABLE BOXES. H. MINIMUM BOX SIZE, UNLESS OTHERWISE INDICATED: WIRING DEVICE - 4 INCH SQUARE BY 1-1/2" DEEP; COMMUNICATIONS SYSTEM OUTLET - 4 INCH SQUARE BY 2-1/8" DEEP.
- CABINETS AND ENCLOSURES: COMPLY WITH NEMA 250, UL 50 AND UL 50E OR UL 508A.
  - USE NEMA TYPE 1, PAINTED STEEL FOR INDOOR CLEAN, DRY LOCATIONS.
  - USE NEMA TYPE 3R, PAINTED STEEL FOR OUTDOOR AND WET LOCATIONS.
  - PROVIDE SCREW COVER ENCLOSURES FOR PULL AND JUNCTION BOXES.
  - PROVIDE LOCKABLE, HINGE COVER TYPE FOR EQUIPMENT ENCLOSURES.
- REMOVE EXPOSED ABANDONED RACEWAY, INCLUDING ABANDONED RACEWAY ABOVE ACCESSIBLE CEILING FINISHES. CUT RACEWAY FLUSH WITH WALLS AND FLOORS, PATCH SURFACES TO MATCH ADJACENT SURFACES.
- DISCONNECT AND REMOVE ABANDONED OUTLETS AND DEVICES.
- INSTALL BLANK PLATES ON ABANDONED, EMPTY BOXES.
- EXTEND EXISTING RACEWAY AND BOX INSTALLATION USING MATERIALS AND METHODS COMPATIBLE WITH EXISTING ELECTRICAL INSTALLATION OR AS SPECIFIED.

### SECTION 26 05 53 - IDENTIFICATION FOR ELECTRICAL SYSTEMS

- EXISTING WORK: UNLESS SPECIFICALLY EXCLUDED, IDENTIFY EXISTING ELEMENTS TO REMAIN THAT ARE NOT ALREADY IDENTIFIED IN ACCORDANCE WITH THE SPECIFIED REQUIREMENTS.
- SERVICE EQUIPMENT: USE IDENTIFICATION NAMEPLATE TO IDENTIFY EACH SERVICE DISCONNECTING MEANS.
- EMERGENCY SYSTEM EQUIPMENT: USE IDENTIFICATION NAMEPLATE OR VOLTAGE MARKER TO IDENTIFY EMERGENCY EQUIPMENT IN ACCORDANCE WITH NFPA 70. USE IDENTIFICATION NAMEPLATE AT EACH PIECE OF SERVICE EQUIPMENT TO IDENTIFY TYPE AND LOCATION OF ON-SITE EMERGENCY POWER SOURCE.
- USE IDENTIFICATION NAMEPLATES TO IDENTIFY EACH PIECE OF ELECTRICAL DISTRIBUTION AND CONTROL EQUIPMENT AND ASSOCIATED SECTIONS, COMPARTMENTS AND COMPONENTS. IDENTIFY: NAME, AMPERE RATING, LOADS SERVED (DISCONNECT SWITCHES, ENCLOSED CONTROLLERS, AND TRANSFORMERS ONLY), VOLTAGE AND PHASE, AND POWER SOURCE/CIRCUIT NUMBER. INCLUDE LOCATION OF SOURCE/LOAD SERVED IF NOT WITHIN SIGHT OF EQUIPMENT.
- REMOVE EXPOSED ABANDONED ACRYLIC OR NON-CONDUCTIVE PHENOLIC WITH BEVELED EDGES. NAMEPLATES FOR EACH EQUIPMENT ENCLOSURE, RELAY, SWITCH, AND DEVICE. NAMEPLATES SHALL BE 1/8" THICK, WHITE WITH BLACK CENTER CORE, MATTE FINISH SURFACE, BEVELED EDGES, SQUARE CORNERS, ACCURATELY ALIGN LETTERING AND ENGRAVE INTO THE CORE. MINIMUM SIZE OF NAMEPLATES SHALL BE 1" BY 2-1/2". LETTERING SHALL BE A MINIMUM OF 1/4" HIGH NORMAL BLOCK STYLE.
- PROVIDE WIRE AND CABLE MARKERS OR IDENTIFICATION LABELS TO IDENTIFY CIRCUIT NUMBER AT EACH SOURCE LOCATION, WITHIN BOXES WHERE MORE THAN ONE CIRCUIT IS PRESENT; WITHIN EQUIPMENT ENCLOSURES WHERE CONDUCTORS ENTER AND EXIT THE ENCLOSURES; AND IN CABLE TRAYS (MAXIMUM 20 FT. INTERVALS). PROVIDE WRAP-AROUND SELF-ADHESIVE VINYL CLOTH, WRAP-AROUND SELF-ADHESIVE VINYL SELF-LAMINATING, HEAT-SHRINK SLEEVE, PLASTIC SLEEVE, PLASTIC CLIP-ON, OR VINYL SPLIT SLEEVE TYPE MARKERS SUITABLE FOR THE

## ISSUANCES

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## REVISIONS

NO.	DATE	DESCRIPTION

**CASTROVILLE  
CATHOLIC SCHOOL**  
  
702 PARIS ST,  
CASTROVILLE, TX

## ELECTRICAL SPECIFICATIONS

DATE: 12/19/2025

PROJECT NO: 250812.00

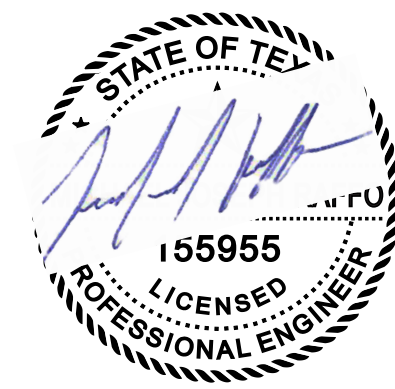
DRAWN: DRW

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ISSUED FOR: 100% CD

REVISIONS:

SEAL:



SHEET NO.

E5.00



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- G. CONDUCTOR OR CABLE TO BE IDENTIFIED.
- H. PROVIDE VOLTAGE MARKERS TO IDENTIFY HIGHEST VOLTAGE PRESENT FOR ACCESSIBLE CONDUITS (MAXIMUM 20 FT. INTERVALS).
- I. PROVIDE PRE-LABELLED, SNAP AROUND PIPE MARKERS ON ALL CONDUITS. MARKERS SHALL COMPLY WITH ANSI A 13.1-1988 STANDARDS AND INDICATED VOLTAGE.
- J. WARNING LABELS: USE FACTORY PRE-PRINTED OR MACHINE-PRINTED SELF-ADHESIVE POLYESTER OR SELF-ADHESIVE VINYL LABELS; UV, CHEMICAL, WATER, HEAT AND ABRASION RESISTANT.
- K. CLEAN SURFACES TO RECEIVE ADHESIVE PRODUCTS ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- L. INSTALL IDENTIFICATION PRODUCTS TO BE PLAINLY VISIBLE FOR EXAMINATION, ADJUSTMENT, SERVICING AND MAINTENANCE.

**SECTION 26 27 26 - WIRING DEVICES**

- A. RECEPTACLES:
  - A. SELF-GROUNDING COMPLYING WITH NEMA WD 1 AND NEMA WD 6 AND LISTED COMPLYING WITH UL 498.
  - B. SINGLE AND DUPLEX RECEPTACLES SHALL BE RATED 20 AMPERES, 125 VOLTS, TWO-POLE, THREE-WIRE, GROUNDING TYPE WITH POLARIZED PARALLEL SLOTS.
  - C. COLOR OF BODIES SHALL BE SELECTED BY THE ARCHITECT.
  - D. RECEPTACLE SHALL BE SIDE-WIRED OR BACK-WIRED WITH TWO SCREWS PER TERMINAL. THE THIRD GROUNDING POLE SHALL BE CONNECTED TO THE METAL MOUNTING YOKE.
  - E. RECEPTACLES WITH GROUND FAULT CIRCUIT INTERRUPTERS SHALL HAVE THE CURRENT RATING AS INDICATED, AND SHALL BE UL 943, CLASS A TYPE UNLESS OTHERWISE SHOWN.
  - F. GROUND FAULT CIRCUIT PROTECTION SHALL BE PROVIDED AS REQUIRED BY NFPA 70 OR AS INDICATED ON THE DRAWINGS.
  - G. USB CHARGING DEVICES: PROVIDE DEVICES LISTED PER UL 1310 WITH TWO-PORT CHARGING CAPACITY OF 2.1 A, MINIMUM OR 4.2 A MINIMUM FOR FOUR-PORT DEVICES.
  - H. LOCKING DEVICES: REFER TO DRAWINGS FOR NEMA LOCKING CONFIGURATIONS.
  - I. MOUNT RECEPTACLES AND DATA OUTLETS 18" ABOVE FINISHED FLOOR, AND OTHER DEVICES AS INDICATED. MEASURE MOUNTING HEIGHTS OF WIRING DEVICES AND OUTLETS TO TOP OF DEVICE OR OUTLET.
  - J. PROVIDE TAMPER RESISTANT RECEPTACLES WHERE INDICATED ON DRAWINGS.
- B. LINE VOLTAGE WALL SWITCHES:
  - A. AC ONLY, QUIET OPERATING GENERAL USE SNAP SWITCHES WITH SILVER ALLOY CONTACTS COMPLYING WITH NEMA WD 1 AND NEMA WD 6 AND UL 20, TYPE AS INDICATED ON DRAWINGS.
  - B. INDUSTRIAL SPECIFICATION GRADE, 20A, 120/277 V WITH STANDARD TOGGLE TYPE SWITCH ACTUATOR AND MAINTAINED CONTACTS, SINGLE POLE SINGLE THROW, THREE-WAY, OR FOUR-WAY AS INDICATED ON DRAWINGS.
  - C. COLOR OF BODIES SHALL BE SELECTED BY THE ARCHITECT.
  - D. SWITCH SHALL BE SIDE-WIRED OR BACK-WIRED WITH BINDING CLAMP, WITH SEPARATE GROUND SCREW TERMINAL.
  - E. LOCKING (KEYED) TYPE SWITCHES SHALL INCLUDE LEVER TYPE THREE POSITION SWITCH ACTUATOR WITH OFF POSITION IN CENTER.
- C. DEVICE PLATES
  - A. DEVICE PLATES SHALL BE ONE-PIECE TYPE AND SHALL BE PROVIDED FOR RECEPTACLES, OUTLETS, SWITCHES AND FITTINGS.
  - B. PLATES ON UNFINISHED WALLS AND ON FITTINGS SHALL BE GALVANIZED SHEET STEEL.
  - C. FINISH SELECTION BY ARCHITECT.
  - D. PLATES SHALL BE INSTALLED WITH ALL FOUR EDGES IN CONTINUOUS CONTACT WITH FINISHED WALL SURFACES WITHOUT THE USE OF MATS OR SIMILAR DEVICES. PLASTER FILLINGS WILL NOT BE PERMITTED.
  - E. PLATES INSTALLED IN WET LOCATIONS SHALL BE GASKETED AND PROVIDED WITH A HINGED, GASKETED COVER, UNLESS OTHERWISE SPECIFIED.

**SECTION 26 09 23 - LIGHTING CONTROL DEVICES**

- A. GENERAL REQUIREMENTS
  - 1. MANUFACTURERS:
    - A. ACUTY
    - B. HUBBELL/ CURRENT
    - C. CRESTRON
    - D. CRISTAL
  - 2. REFER TO LIGHTING CONTROL DETAILS ON DRAWINGS FOR ADDITIONAL REQUIREMENTS.
  - 3. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.
  - 4. SOURCE LIMITATIONS: FURNISH PRODUCTS PRODUCED BY A SINGLE MANUFACTURER AND OBTAINED FROM A SINGLE SUPPLIER.
  - 5. COLOR AND FINISH: TO BE DETERMINED BY ARCHITECT.
- B. LINE VOLTAGE OCCUPANCY/VACANCY SENSOR SWITCHES
  - 1. PRODUCT DESCRIPTION:
    - A. PROVIDE WALL SWITCH STYLE OCCUPANCY/VACANCY SENSOR CAPABLE OF TURNING LIGHTS OFF WHEN THE SPACE BECOMES UNOCCUPIED AND ON WHEN THE SPACE BECOMES RE-OCCUPIED. PROVIDE WITH 0-10V DIMMING CAPABILITIES AND/OR INTEGRAL DAYLIGHT CONTROL, WHERE INDICATED ON THE DRAWINGS. REFER TO DRAWINGS FOR OCCUPANCY OR VACANCY MODE SETTING.
  - 2. SENSOR SWITCH REQUIREMENTS:
    - A. SENSOR SWITCH SHALL BE LINE VOLTAGE @ 120/277 VAC, RATED FOR 20A. SENSOR TECHNOLOGY SHALL BE DUAL TECHNOLOGY (PIR AND ULTRASONIC) WITH FIELD OF VIEW OF 180 DEGREES. SENSOR SWITCH SHALL BE CAPABLE OF OPERATING WITH LED. SENSOR SWITCH SHALL BE SET TO:
      - a. AUTO-ON, AUTO-OFF MODE (OCCUPANCY SENSOR)
      - b. MANUAL-ON, AUTO-OFF MODE (VACANCY SENSOR)
    - c. DIPSWITCH SELECTABLE TO TOGGLE BETWEEN OCCUPANCY AND VACANCY MODE.
  - B. SENSOR SHALL BE CAPABLE OF TURNING LIGHTS OFF AFTER 20 MINUTES OF INACTIVITY. SWITCH SHALL ALSO HAVE 10 AND 20 MINUTE OVERRIDES. PROVIDE DEVICE CAPABLE OF ACCEPTING A 2-WIRE (HOT AND NEUTRAL) INPUT PLUS GROUND. SENSOR SWITCH SHALL BE CAPABLE OF OPERATING IN CONJUNCTION WITH A 3-WAY SWITCH PER MANUFACTURERS REQUIREMENTS, WHERE INDICATED ON DRAWINGS. PROVIDE WITH 0-10V DIMMING CONTROL.
- C. LOW VOLTAGE OCCUPANCY/VACANCY SENSORS
  - 1. SENSOR REQUIREMENTS:
    - A. SENSOR SHALL BE DUAL TECHNOLOGY (PIR AND ULTRASONIC), UNLESS OTHERWISE NOTED ON DRAWINGS. SENSOR SHALL BE SET TO:
      - a. AUTO-ON, AUTO-OFF MODE (OCCUPANCY SENSOR)
      - b. MANUAL-ON, AUTO-OFF MODE (VACANCY SENSOR)
    - c. DIPSWITCH SELECTABLE TO TOGGLE BETWEEN OCCUPANCY AND VACANCY MODE.
  - B. SPECIFIC APPLICATIONS:
    - C. CORRIDORS AND HALLWAYS: CAPABLE OF DETECTING MAJOR MOTION WITH A LONG, NARROW PATTERN DESIGNED FOR CORRIDOR AND AISLE SENSING.
    - D. HIGH BAY AREAS: FOR AREAS WITH CEILINGS MORE THAN 15 FEET ABOVE FINISHED FLOOR, PROVIDE HIGH-BAY PIR-ONLY CEILING MOUNTED OCCUPANCY SENSOR.
- D. ROOM CONTROLLERS / POWER PACKS
  - 1. PRODUCT DESCRIPTION:
    - A. INTEGRATED LIGHTING, DIMMING, AND EQUIPMENT SWITCHING CONTROL SYSTEM FOR MOUNTING IN A CONCEALED SPACE. ENCLOSURE SHALL BE PLENUM RATED. PROVIDE PRE-CONFIGURED LIGHTING CONTROLLERS(S), WITH CAPABILITIES FOR MANUAL, SETUP, AND SOFTWARE SETUP THROUGH PROGRAMMING PORT, CONFIGURED AS A STANDALONE CONTROLLER.
- F. LOW VOLTAGE KEYPADS / SWITCHES
  - 1. LIGHTING KEYPAD SHALL BE PROVIDED BY THE SAME MANUFACTURER AS THE LIGHTING CONTROL SYSTEM.
  - 2. PROVIDE LOW VOLTAGE KEYPADS / SWITCHES WITH CONFIGURATION, FUNCTIONALITY AND OPERATION AS INDICATED ON DRAWINGS.
  - 3. GENERAL REQUIREMENTS:
    - A. CUSTOM ENGRAVABLE BUTTONS/SWITCHES, REFER TO DRAWINGS FOR LABELING.
    - B. QUANTITY AND FUNCTION AS INDICATED ON DRAWINGS.
    - C. LED INDICATORS, AS SHOWN ON DRAWINGS.
    - D. CONFIGURED TO FIT IN STANDARD GANG BOXES.
    - E. COLOR, BY ARCHITECT
  - 4. LABELING:
    - A. PROVIDE FACTORY ENGRAVED LABELS FOR ALL LOW VOLTAGE KEYPADS / SWITCHES BUTTONS.
    - B. REFER TO LIGHTING CONTROL DETAILS ON DRAWINGS FOR SUGGESTED LABELING OF LIGHTING CONTROL EQUIPMENT. COORDINATE NAMING OF SCENES/CONTROL ZONES WITH THE OWNER. PROVIDE A WORKSHEET LISTING REMOTE KEYPAD CONTROLS, LABELING REQUESTS AND LOCATIONS TO THE OWNER FOR THEIR LABELING REQUESTS.
    - C. DO NOT ORDER LABELS UNTIL OWNER COORDINATION IS COMPLETE.
- G. I. CLASS 2 CONDUCTORS AND CABLES
  - 1. GENERAL REQUIREMENTS:
    - A. LINE VOLTAGE WIRING: COMPLY WITH REQUIREMENTS OF DIVISION 26 SECTION "ELECTRICAL POWER CONDUCTORS AND CABLES".
    - B. CLASS 2 LOW-VOLTAGE CABLE:
      - a. PROVIDE PLENUM-RATED CABLE.
      - b. UTP CABLE: CAT 5, CAT 6, OR AS REQUIRED BY MANUFACTURER.

**SECTION 26 50 00 - LIGHTING FIXTURES**

- A. LUMINAIRE TYPES
  - 1. FURNISH PRODUCTS AS INDICATED IN LIGHTING FIXTURE SCHEDULE INCLUDED ON THE DRAWINGS. REFER TO NOTES ON LIGHTING FIXTURE SCHEDULE FOR SUBSTITUTION LIMITATIONS.
- B. INTERIOR LUMINAIRES
  - 1. MANUFACTURERS:
    - A. LITHONIA LIGHTING
  - 2. PROVIDE PRODUCTS THAT COMPLY WITH REQUIREMENTS OF NFPA 70.
  - 3. PROVIDE PRODUCTS THAT ARE LISTED AND LABELED AS COMPLYING WITH UL 1598, WHERE APPLICABLE.
  - 4. UNLESS OTHERWISE INDICATED, PROVIDE COMPLETE LUMINAIRES INCLUDING LAMP(S) AND ALL SOCKETS, BALLASTS, DRIVERS, REFLECTORS, LENSES, HOUSINGS AND OTHER COMPONENTS REQUIRED TO POSITION, ENERGIZE AND PROTECT THE LAMP AND DISTRIBUTE THE LIGHT.
  - 5. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED CONDUIT, BOXES, WIRING, CONNECTORS, HARDWARE, SUPPORTS, TRIMS, ACCESSORIES, ETC. AS NECESSARY FOR A COMPLETE OPERATING SYSTEM.
- C. EMERGENCY LIGHTING UNITS
  - 1. PRODUCT DESCRIPTION: EMERGENCY LIGHTING UNITS COMPLYING WITH NFPA 101 AND ALL APPLICABLE STATE AND LOCAL CODES, AND LISTED AND LABELED AS COMPLYING WITH UL 924.
  - 2. BATTERY:
    - A. SEALED MAINTENANCE FREE LEAD CALCIUM UNLESS OTHERWISE INDICATED.
    - B. SIZE BATTERY TO SUPPLY ALL CONNECTED LAMP/LED ARRAYS, INCLUDING EMERGENCY REMOTE HEADS WHERE INDICATED.
  - 3. SELF-DIAGNOSTICS: PROVIDE UNITS THAT SELF-MONITOR FUNCTIONALITY AND AUTOMATICALLY PERFORM TESTING REQUIRED BY NFPA 101 WHERE INDICATED, PROVIDE INDICATOR LIGHT(S) TO REPORT TEST AND DIAGNOSTIC STATUS.
- D. DRIVERS
  - A. CONTROL INPUT
    - a. 0-WIRE (0-10V DC VOLTAGE CONTROLLED) DIMMING DRIVERS: CONNECT TO DEVICES COMPATIBLE WITH 0 TO 10V ANALOG CONTROL PROTOCOL, CLASS 2, CAPABLE OF SINKING 0.6 MA PER DRIVER AT A LOW END OF 0.3V. LIMIT THE NUMBER OF DRIVERS ON EACH 0-10V CONTROL OUTPUT BASED ON VOLTAGE DROP AND CONTROL CAPACITY.
    - b. DIGITAL MULTIPLEX (DMX LOW VOLTAGE CONTROLLED) DIMMING DRIVERS: MUST MEET DMX / RDM: USITT DMX512A AND ANSI E1.20 (EXPLORE & ADDRESS) AND SHALL BE CAPABLE OF SIGNAL INTERPOLATION AND SMOOTHING OF COLOR AND INTENSITY TRANSITIONS.
  - B. DRIVER: APPROVED BY DIMMING SYSTEM MANUFACTURER AS SUITABLE FOR OPERATION WITH CONTROL UNIT AND SUITABLE FOR LED SOURCE TYPE AND QUANTITY SPECIFIED FOR LUMINAIRE.

**SECTION 26 20 00 - ELECTRICAL DISTRIBUTION**

- A. GENERAL REQUIREMENTS FOR EQUIPMENT UNDER THIS SECTION
  - 1. MANUFACTURERS:
    - A. SQUARE D
    - B. SIEMENS
    - C. EATON
    - D. ABB
  - 2. ENCLOSURE (UNLESS OTHERWISE INDICATED ON PLANS OR SCHEDULES):
    - A. TYPE 1 (INDOOR, DRY LOCATIONS).
    - B. TYPE 3R (OUTDOOR, WET LOCATIONS).
- B. PANELBOARDS
  - 1. PRODUCT DESCRIPTION: NEMA PB 1, CIRCUIT BREAKER TYPE PANELBOARD, COMPLYING WITH UL 67.
  - 2. PANELBOARD BUS: COPPER CURRENT CARRYING COMPONENTS, RATINGS AS SHOWN ON DRAWINGS. FURNISH COPPER-GROUND BUS IN EACH PANELBOARD.
  - 3. MINIMUM INTEGRATED SHORT CIRCUIT RATING: 10KAIC.
  - 4. MOLDED CASE CIRCUIT BREAKERS: NEMA AB 1, CIRCUIT BREAKERS WITH INTEGRAL THERMAL AND INSTANTANEOUS TRIP FUNCTION, BOLT-ON TYPE. PROVIDE ELECTRONIC TRIP CIRCUIT BREAKERS WHERE INDICATED.
  - 5. PROVIDE CIRCUIT BREAKERS WITH MAGNETIC TRIP IN EACH POLE.
  - 6. CIRCUIT BREAKERS RATED 1,000 AMPS OR MORE ON SOLIDLY GROUNDED 480V SYSTEMS SHALL INCLUDE GROUND FAULT PROTECTION.
  - 7. CIRCUIT BREAKERS RATED 1,200 AMPS OR MORE SHALL HAVE LONG TIME, SHORT TIME, INSTANTANEOUS, AND GROUND FAULT PROTECTION (LSI) FUNCTIONS. CIRCUIT BREAKERS SHALL HAVE ENERGY REDUCTION MAINTENANCE SETTING (ERMS) SYSTEM.
  - 8. ENCLOSURE: NEMA PB 1.
  - 9. CABINET FRONT: LOCKABLE HINGED DOOR, METAL DIRECTORY FRAME, FINISHED IN MANUFACTURER'S STANDARD GRAY ENAMEL.
- C. DISCONNECT SWITCHES
  - 1. PRODUCT DESCRIPTION: HEAVY-DUTY, NEMA KS 1, ENCLOSED LOAD INTERRUPTER KNIFE SWITCH. HANDLE LOCKABLE IN "OFF" POSITION.
  - 2. ENCLOSURE: NEMA KS 1, TO MEET CONDITIONS. FABRICATE ENCLOSURE FROM STEEL FINISHED WITH MANUFACTURER'S STANDARD GRAY.
  - 3. PROVIDE WITH (2) SETS OF AUXILIARY CONTACTS.
  - 4. FURNISH SWITCHES WITH ENTIRELY COPPER CURRENT CARRYING PARTS.
  - 5. SWITCH VOLTAGE, PHASE AND AMPERAGE RATINGS AS INDICATED ON DRAWINGS.
  - 6. WHERE SPECIFIED AS FUSED DISCONNECT SWITCHES, PROVIDE WITH DUAL-ELEMENT, TIME DELAY, CLASS RK1 FUSES, FUSE RATINGS AND QUANTITIES AS INDICATED ON DRAWINGS. FUSES SHALL BE MANUFACTURED BY BUSSMAN, GOULD SHAWMUT OR LITTELFUSE. FURNISH (3) SPARE FUSES OF EACH TYPE.
- D. PANELBOARD & DISCONNECT SWITCH INSTALLATION STANDARDS
  - 1. MOUNT PANELBOARDS, CIRCUIT BREAKERS (INCLUDING PROVISIONS FOR FUTURE BREAKERS), AND DISCONNECTING SWITCHES SO HEIGHT OF OPERATING HANDLE AT ITS HIGHEST POSITION IS MAXIMUM 78 INCHES ABOVE FLOOR.
  - 2. ARRANGE EQUIPMENT TO PROVIDE MINIMUM CLEARANCES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND NFPA 70.
  - 3. INSTALL PANELBOARDS PLUMB. INSTALL FLUSH-MOUNTED PANELBOARDS SO THAT TRIMS FIT COMPLETELY FLUSH TO WALL WITH NO GAPS AND ROUGH OPENING COMPLETELY COVERED.
  - 4. INSTALL A PERMANENT LABEL INDICATING THE PANELBOARD OR TRANSFORMER WHERE THE POWER SUPPLY TO THE DEVICE ORIGINATES.
  - 5. PROVIDE FILLER PLATES TO COVER UNUSED SPACES IN PANELBOARDS.
  - 6. PROVIDE CIRCUIT BREAKER LOCK-ON DEVICES TO PREVENT UNAUTHORIZED PERSONNEL FROM DE-ENERGIZING ESSENTIAL LOADS AS INDICATED.
  - 7. PROVIDE WITH MANUFACTURER'S STANDARD ARC FLASH LABEL.

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REVISIONS		
NO.	DATE	DESCRIPTION

**CASTROVILLE  
 CATHOLIC SCHOOL**

**702 PARIS ST,  
 CASTROVILLE, TX**

**ELECTRICAL  
 SPECIFICATIONS**

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	DRW
CHECKED:	GYC
ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

SHEET NO.

**E5.01**

WATER HEATER SCHEDULE-ELECTRIC									
SYMBOL	MANUFACTURER/ MODEL NUMBER	TYPE	LOCATION	ELEMENTS (KW)	STORAGE CAPACITY (GALLONS)	RECOVERY (GPH AT 80°F RISE)	HW STORAGE TEMP.	ELEC DATA (VOLTS / PH)	REMARKS
WH-1	BRADFORD WHITE/ RE250LNE	S	SEE PLANS	11	40	48	140	208V /1Ø	3

TYPE:  
S = STORAGE TYPE HEATER  
1 = INSTANTANEOUS TYPE HEATER

REMARKS:  
1. SINGLE ELEMENT  
2. DUAL ELEMENT (NON-SIMULTANEOUS OPERATION)  
3. DUAL ELEMENT (SIMULTANEOUS OPERATION)

PUMP SCHEDULE									
SYMBOL	MANUFACTURER/ MODEL NUMBER	TYPE	LOCATION	SYSTEM SERVED	CAPACITY	CAPACITY FT OF HEAD	FLUID TEMP (°F)	ELEC DATA	REMARKS
HWRP-1	BELL AND GOSSETT ECOCIRC XL N 20-35	IL	SEE PLAN	DOMESTIC HW RECIRC WH-1	1 GPM	12.0	110°F	115 V / 1/12 HP	1,2

NOTES:  
IL = IN-LINE PUMP

REMARKS:  
1. PUMP SHALL BE STAINLESS STEEL FOR DOMESTIC WATER USE  
2. PROVIDE WITH PACKAGED THERMOSTATIC MIXING STATION  
3. PROVIDE HYDROMATIC DUPLEX "Q" PANEL IN NEMA 3R CONTROL PANEL.

PLUMBING FIXTURE CONNECTION SCHEDULE				
FIXTURE TYPE	WASTE CONNECTION	VENT CONNECTION	COLD WATER CONNECTION	HOT WATER CONNECTION
MOP BASIN (MB)	3	1-1/2"	1/2"	1/2"
HOSE BIB (HB) (BY OTHERS)	-	-	3/4"	-
LAVATORY (LAV)	1 1/2"	1 1/2"	1/2"	1/2"
SINK (SK)	1 1/2"	1 1/2"	1/2"	1/2"
WATER CLOSET (WC)	4"	2"	1/2"	-
WATER DISPENSER (WD)	1-1/2"	1-1/2"	1/2"	-

NOTES:  
1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL PLUMBING FIXTURE MOUNTING HEIGHTS.  
2. ALL PIPE TRAPS AT SINKS AND LAVATORIES SHALL BE CHROME PLATED BRASS.  
3. QUANTITY AND SIZE OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH THE SPECIFIED FIXTURES.  
4. NO PORTION OF THE DRAINAGE SYSTEM INSTALLED UNDERGROUND SHALL BE LESS THAN 2 INCHES IN DIAMETER.  
5. HOSE BIB SIZE TO BE CONFIRMED BY CIVIL.

### GENERAL NOTES

**GENERAL**

- GENERAL NOTES, SYMBOLS AND DETAILS ARE APPLICABLE TO DRAWINGS WITHIN DIVISION 22.
- DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO INDICATE CAPACITY, SIZE, APPROXIMATE LOCATION AND GENERAL ARRANGEMENT. DETERMINE LOCATIONS OF SYSTEMS AND COMPONENTS IN FIELD.
- COORDINATE CONCRETE PADS AND STEEL PLATFORMS REQUIRED FOR PLUMBING WORK.
- COORDINATE ROOF AND WALL PENETRATIONS WITH WORK OF OTHER SECTIONS AND WITH FLASHING REQUIREMENTS. COORDINATE SLAB PENETRATIONS WITH WORK OF OTHER SECTIONS.
- RUN PIPING CONCEALED, UNLESS SPECIFIED OTHERWISE, AND CLEAR OF CEILING INSERTS.
- COORDINATE WORK OF THIS SECTION WITH THAT OF OTHER SECTIONS AND WITH ALL TRADES INVOLVED.
- NOT ALL ACCESS DOORS HAVE BEEN SHOWN ON THE PLANS. PROVIDE ACCESS PANELS THROUGH BUILDING ASSEMBLIES TO SERVICE AND MAINTAIN EQUIPMENT UNLESS SUCH EQUIPMENT IS INSTALLED IN EXPOSED LOCATIONS OR ABOVE LAY-IN CEILINGS. COORDINATE THE LOCATION OF ACCESS DOORS AND PANELS AND VERIFY THE QUANTITY, SIZE, AND LOCATIONS AFTER THE SYSTEMS AND EQUIPMENT REQUIRING ACCESS HAVE BEEN INSTALLED AND PRIOR TO THE CLOSURE OF THE AFFECTED CEILINGS AND BUILDING ASSEMBLIES. SUBMIT ACCESS PANEL LOCATIONS FOR REVIEW.
- AT SUBSTANTIAL COMPLETION, THE FOLLOWING ITEMS, NEW OR EXISTING, SHALL BE FULLY AND REASONABLY ACCESSIBLE: CONTROL BOXES, JUNCTION BOXES, VALVES, DOC CONTROL BOXES, ELECTRICAL PANELS, CLEAN OUTS, DISCONNECT SWITCHES AND ELEMENTS OF EQUIPMENT REQUIRING MAINTENANCE. "FULLY AND REASONABLY ACCESSIBLE" SHALL BE DEFINED AS NATIONAL ELECTRIC CODE REQUIRED CLEARANCE FOR POWERED EQUIPMENT AND CAPABLE OF BEING ACCESSED OR SERVICED WITHOUT REMOVING, MODIFYING OR DISTORTING OTHER COMPONENTS OF THE WORK. PROVIDE MANUFACTURERS RECOMMENDED CLEARANCE FOR ALL EQUIPMENT.
- VERIFY EQUIPMENT CONNECTIONS WITH MANUFACTURER'S CERTIFIED DRAWINGS. VERIFY AND PROVIDE FITTINGS TO TRANSITION TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE DIMENSIONS BEFORE FABRICATION.
- INSTALL FOOD SERVICE AND/OR KITCHEN EQUIPMENT PLUMBING ACCESSORIES FURNISHED UNDER DIVISION 11, INCLUDING BUT NOT LIMITED TO: FAUCETS, VACUUM BREAKERS, SOLENOIDS, PRESSURE REDUCING VALVES, DRAINS, SINK TAILPIECES, AND OTHER PLUMBING TRIM SUPPLIED WITH EQUIPMENT IN ACCORDANCE WITH THE KITCHEN DESIGN DOCUMENTS
- IN COMPLIANCE WITH THE FEDERAL SAFE DRINKING WATER ACT (SDWA), THE CONTRACTOR SHALL NOT PROVIDE ANY COMPONENTS IN THE DOMESTIC WATER SYSTEM THAT CONTRAIN MORE THAN 0.25% LEAD ON ANY WETTED PARTS. THE CONTRACTOR SHALL PROVIDE THE LEAD FREE EQUIVALENT OF ANY EQUIPMENT SPECIFIED AND PROVIDE A LETTER CERTIFYING THAT ALL PLUMBING PRODUCTS PROVIDED MEET THIS REGULATION.
- PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE PLUMBING AND FUEL GAS CODE. COORDINATE WITH THE INSPECTOR FOR ALL PLUMBING INSPECTIONS.
- IN THE EVENT THAT THERE ARE DISCREPANCIES BETWEEN PIPE SIZES SHOWN ON THE PLANS, DETAILS AND DIAGRAMS, THE LARGER PIPE SIZE SHALL BE PROVIDED.

**PIPING SYSTEM SPECIFIC NOTES:**

- PROVIDE ESCUTCHEONS AT EXPOSED PIPE PENETRATIONS OF CEILINGS AND WALLS
- TOPS OF FLOOR DRAINS SHALL BE FLUSH WITH FINISHED FLOOR.
- PROVIDE SHUT-OFF VALVES ON BRANCH PIPING AND ON SUPPLIES TO INDIVIDUAL FIXTURES AND EQUIPMENT.
- SUPPORT PIPING FROM STRUCTURE. PROVIDE CLAMPS, OFFSETS, EXPANSION JOINTS, ANCHORS AND GUIDES AS NECESSARY TO PREVENT STRESS ON PIPING.
- PROVIDE DRAIN WITH BALL VALVE. HOSE END VACUUM BREAKER, CAP AND CHAIN AT DOMESTIC WATER LOW POINTS AND PITCH PIPING TO DRAIN.
- PROVIDE ACCESSIBLE CLEANOUTS AT THE BASE OF STACKS.
- PLUMBING PIPING AND DRAINS SHALL BE PROTECTED FROM DEBRIS AND KEPT CLEAR OF BLOCKAGE DURING CONSTRUCTION.
- PROVIDE DIELECTRIC FITTINGS WHEN JOINING PIPES OF DISSIMILAR METALS.
- PROVIDE OFFSETS IN PIPING AROUND OBSTRUCTIONS.

**FIRESTOPPING NOTES:**

- PROVIDE FIRE STOPPING AND SMOKE BARRIER SEALING OF PENETRATIONS THROUGH FIRE WALLS OR SMOKE BARRIERS INCLUDING BOTH EMPTY OPENINGS AND OPENINGS CONTAINING CABLES, PIPES, DUCTS, CONDUITS AND OTHER PENETRATING ITEMS. REFER TO ARCHITECTURAL FLOOR PLANS AND CODE SHEETS FOR WALL RATINGS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

### GENERAL ABBREVIATIONS

AD	ACCESS DOOR
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
AHJ	AUTHORITY HAVING JURISDICTION
AP	ACCESS PANEL
BTU	BRITISH THERMAL UNIT
BTU/H	BTU / HOUR
BOP	BOTTOM OF PIPE
CD	CONDENSATE DRAIN
CFH	CUBIC FEET PER HOUR
CI	CAST IRON
CO	CLEANOUT
CW	COLD WATER
DIA	DIAMETER
DN	DOWN
DW	DIRECT WASTE
ELEC	ELECTRICAL
ET	EXPANSION TANK
F	DEGREES FAHRENHEIT
FCO	FLOOR CLEANOUT
FEE	FINISHED FLOOR ELEVATION
FGCO	FINISHED GRADE CLEANOUT
FLD	FULL LOAD AMPS
FLD	FLOOR DRAIN
FS	FLOOR SINK
FT	FEET
FT WG	FEET HEAD
GALL	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GSV	GAS SOLENOID VALVE
HB	HOSE BIB
HW	HOT WATER
HD	HEAD
HP	HORSEPOWER
HZ	HERTZ
HWR	HOT WATER RECIRCULATION
INV ELEV	INVERT ELEVATION
IW	INDIRECT WASTE
KW	KILOWATT
LAV	LAVATORY
MAX	MAXIMUM
MECH	MECHANICAL
MBH	THOUSAND BTU PER HOUR
NCA	MINIMUM CIRCUIT AMPACITY
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
P	PUMP
P	PLUMBING
PLBG	POUNDS PER SQUARE INCH GAUGE
PSIG	POUNDS PER SQUARE INCH GAUGE
QTY	QUANTITY
RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
SAN	SANITARY
SOFT / SF	SOFT FEET
TEMP	TEMPERATURE
TW	TEMPERED WATER
TY	TYPICAL
V	VENT
VS	VENT STACK
VTR	VENT THRU ROOF
WS	WASTE
WS	WASTE STACK
W&V	WASTE AND VENT

### EQUIPMENT ABBREVIATIONS

BFP	BACKFLOW PREVENTER
COT	CLEANOUT TEE
ET	EXPANSION TANK
FCO	FLOOR CLEANOUT
L	LAVATORY
MB	MOP BASIN
P	PUMP
S	SINK
TP	TRAP PRIMER
TV	TEMPERING VALVE
VC	VENT CAP
WC	WATER CLOSET
WCO	WALL CLEANOUT
WH	WATER HEATER
WHA	WATER HAMMER ARRESTOR
WHYD	WALL HYDRANT

### VALVE AND SYMBOL LEGEND

SYMBOL	DESCRIPTION
	BALL VALVE
	BALL VALVE WITH HOSE BIBB, CAP & CHAIN (DRAIN VALVES)
	BUTTERFLY VALVE
	GLOBE VALVE
	GATE VALVE
	OS&Y VALVE
	PLUG VALVE
	PRESSURE REDUCING VALVE
	CHECK VALVE
	Y-PATTERN STRAINER
	SOLENOID VALVE
	AUTOMATIC CONTROL VALVE, MODULATING ACTUATOR
	AUTOMATIC CONTROL VALVE, TWO POSITION ACTUATOR
	THREE WAY AUTOMATIC CONTROL VALVE, MODULATING ACTUATOR
	THREE WAY AUTOMATIC CONTROL VALVE, TWO POSITION ACTUATOR
	COMBINATION SHUT OFF/BALANCING VALVE (CIRCUIT SETTER)
	SAFETY RELIEF VALVE
	PRESSURE GAUGE
	THERMOMETER
	DOUBLE CHECK VALVE ASSEMBLY
	REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY AND DRAIN
	GATE VALVE IN ROAD CURB BOX
	BACKWATER VALVE
	PUMP
	WATER METER
	FLOOR DRAIN / FLOOR SINK / AREA DRAIN WITH PIPE TRAP
	TRAP PRIMER
	GAS METER
	WATER HAMMER ARRESTOR
	VENT THRU ROOF
	ADA ACCESSIBLE FIXTURE

### PIPING LEGEND

SYMBOL	DESCRIPTION
	COLD WATER
	HOT WATER RECIRCULATION (110°F)
	HOT WATER (120°F)
	SANITARY DRAINWASTE
	VENT
	PIPE RISE
	PIPE DROP
	PIPE TEE TOWARDS (UP IN PLAN)
	PIPE TEE AWAY (DOWN IN PLAN)
	PIPE DROP AND RUN
	DIRECTION OF FLOW
	PIPE TRAP
	DIRTY LEG
	CLEANOUT
	UNION OR FLANGE
	BLIND FLANGE
	END CAP
	REDUCER (ECCENTRIC)
	REDUCER (CONCENTRIC)

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CES #250812.00

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NO.	DATE	DESCRIPTION

**CASTROVILLE CATHOLIC SCHOOL**

**702 PARIS ST, CASTROVILLE, TX**

### PLUMBING ABBREVIATIONS, SCHEDULES AND SYMBOLS

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	KD
CHECKED:	JS
ISSUED FOR:	100% CD
REVISIONS:	

SEAL:

SHEET NO. **P0.00**

### PLUMBING SPECIALTIES SCHEDULE

SYMBOL	MANUFACTURER/ MODEL NO.	DESCRIPTION	REMARKS
FCO-1	JR. SMITH / 4023S	FLOOR CLEANOUT, CAST IRON, NO-HUB OUTLET, TAPER THREAD, BRONZE PLUG, POLISHED BRONZE (PB) VANDAL PROOF (U) ADJUSTABLE SCORATED TOP. PROVIDE FLASHING FLANGE (F) AND FLASHING CLAMP (C) WHERE NECESSARY TO ADEQUATELY SECURE CLEANOUT TO FLOOR ASSEMBLY.	1
FLD-1	JR. SMITH / 2010C	FLOOR DRAIN, CAST IRON BODY, FLASHING COLLAR, ADJUSTABLE NICKEL BRONZE (NB) STRAINER HEAD, VANDAL PROOF SCREWS (U), 5" ROUND STRAINER FOR 2" OUTLET, 6" ROUND STRAINER FOR 3" OUTLET, 8" ROUND STRAINER FOR 4" OUTLET	2
TP-1	PRECISION PLUMBING PRODUCT / MP-500	TRAP PRIMER, ELECTRIC, MANIFOLD TYPE, 16 GAUGE GALVANIZED FLUSH MOUNTED STEEL CABINET, STAINLESS STEEL ACCESS DOOR, INTEGRAL VACUUM BREAKER, 3/4" INLET WITH BALL VALVE, CALIBRATED MANIFOLD FOR EQUAL WATER DISTRIBUTION WITH 1/2" OUTLETS, PRE-SET 24 HOUR ADJUSTABLE TIMER WITH TEST SWITCH, SOLENOID VALVE OPERATED, 115 V	3
TV-1	LEONARD / TM-26-LF	WALL CLEANOUT, CAST IRON BODY, "T" HANDLE PLUS (TH), VANDAL PROOF SCREW (U), POLISHED BRONZE COVER (PB)	1
WCO-1	JR. SMITH / 4510	WALL CLEANOUT, CAST IRON BODY, "T" HANDLE PLUS (TH), VANDAL PROOF SCREW (U), POLISHED BRONZE COVER (PB)	1
WHA-1	PRECISION PLUMBING PRODUCT / SC-500	WATER HAMMER ARRESTOR, PISTON TYPE, COPPER/BRASS, EPDM O-RING WITH FDA LISTED SILICONE SEAL LUBRICANT, -40F TO 212F OPERATING TEMPERATURE, 200 PSIG WORKING PRESSURE, 60 PSIG NITROGEN PRELOAD	4

REMARKS:  
1. SAME SIZE AS THE PIPE SERVED UNLESS OTHERWISE INDICATED.  
2. 4" OUTLET SIZE UNLESS OTHERWISE INDICATED. PROVIDE A VENTED TRAP WITH A TRAP PRIMER CONNECTION (PR-500) UNLESS OTHERWISE INDICATED.  
3. PROVIDE A BALL VALVE ON THE SUPPLY PIPE, AND PROVIDE AN ACCESS PANEL WHERE THE BALL VALVE IS NOT ACCESSIBLE. MOUNTED TRAP PRIMER SUCH THAT DISCHARGE IS MINIMUM 1" ABOVE FLOOR FOR EVERY 2 FEET OF HORIZONTAL RUN, MAXIMUM 20" ABOVE FLOOR. COORDINATE QUANTITIES OF PRIMER OUTLETS PRIOR TO PURCHASING UNIT  
4. PROVIDE PER GENERAL NOTE ON THE PLAN SHEETS REGARDING LOCATIONS AND SIZE.

### PLUMBING EXPANSION TANK SCHEDULE

SYMBOL	MANUFACTURER	MODEL	TYPE	SYSTEM	SYSTEM VOLUME	MAXIMUM ACCEPTANCE FACTOR	PHYSICAL DATA			NOTES
							DIAMETER (IN)	HEIGHT (IN)	WEIGHT (LBS)	
PET-1	AMTRON	ST-SC-DD	DIAPHRAGM	HOT WATER	2 GAL	0.45	8	14	10	1,2

NOTES:  
1. VERTICAL CONFIGURATION.  
2. TANK SHALL BE ASME CONSTRUCTION.

### SHEET INDEX - PLUMBING

SHEET NUMBER	SHEET NAME
02 - PLUMBING	
P0.00	PLUMBING ABBREVIATIONS, SCHEDULES AND SYMBOLS
P1.00	PLUMBING FLOOR PLANS
P4.00	PLUMBING DETAILS
P6.00	PLUMBING SPECIFICATIONS
Grand total: 4	

### PLUMBING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER/ MODEL NUMBER	DESCRIPTION OF FIXTURE	TRIM AND ACCESSORIES	REMARKS	SYMBOL	MANUFACTURER/ MODEL NUMBER	DESCRIPTION OF FIXTURE	TRIM AND ACCESSORIES	REMARKS
	ELKAY MODEL # LBW08WHK	ELECTRIC WATER COOLER, ACCESSIBLE BUILT-IN FILTERED REFRIGERATED WATER DISPENSER REMOTE CHILLER	115V/1FLA/1GPH PROVIDE 3600-GAL CAPACITY FILTER WALL MOUNTED WITH ELECTRIC SENSOR, ASPEN WHITE FINISH	#3,4		AMERICAN STANDARD "QUINCE" MODEL # 770B33223.308	SINK, TOP MOUNT, DOUBLE COMPARTMENT, WHITE, 308 FINISH, 3-9/16" CENTER DRAIN, 22-1/4" L X 29-9/16" W X 9" DEEP.	GERBER MODEL# G0040168 MANUALLY OPERATED, CHROME PLATED FAUCET, 1.5 GPM WITH AERATOR, DRAIN WITH STRAINER IN STAINLESS STEEL AMERICAN STANDARD 9028000.07	#2,4,6
	GERBET "WICKER PARK" MODEL # G0012592	LAVATORY, ACCESSIBLE, WALL MOUNT, SINGLE HOLE HOLE, VITREOUS CHINA	GERBER FAUCET MODEL #G0040023, 1.0 GPM WITH AERATOR, POP-UP DRAIN & LIFT ROD, POLISHED CHROME, JR SMITH MODEL # 0720 LAVATORY SUPPORTS.	#1,2,3,4,67		GERBER MODEL # GWS31518	WATER CLOSET, ACCESSIBLE, FLOOR MOUNT, ELONGATED BOWL, VITREOUS CHINA, 3" INLET 1.28 MAX GPF.	GERBER #99-213 ELONGATED SOFT CLOSE SEAT AND COVER.	#1,3,4
	SWANSTONE MODEL # MS02424WA.900	MOP BASIN, MOLDED STONE COMPOSITE BASIN, 24"x24"x10", SST INTEGRAL DRAIN BODY.	CHICAGO #897-RCF WALL MOUNTED 8" BODY FAUCET, 3/4" THREADED MALE HOSE OUTLET, PAIL HOOK, WALL BRACE AND VACUUM BREAKER SPOUT, 1/8 GAUGE STAINLESS STEEL STRAINER, WALL GUARD, MOP HANGER, HOSE AND BRACKET, PROVIDE JOINTMENT TO SERVICE FAUCET, ONE CHICAGO # 952289CP WASH DOWN AND SILL FAUCET WITH VACUUM BREAKER INSPOUT, HOSE END THREAD.	#1,4,5					

REMARKS:  
1. COLOR SHALL BE WHITE.  
2. INSTALL TRUEBRO INC. MODEL #102, HANDI LAV-GUARD PROTECTOR ON THE HOT, COLD, AND DRAIN PIPING UNDER FIXTURE.  
3. FIXTURES AND TRIM AS NOTED SHALL BE "ACCESSIBLE" AND SHALL BE INSTALLED TO ADA / ANSI A117 AND FEDERAL 504 REQUIREMENTS.  
4. PROVIDE ISOLATION VALVES AT THE SUPPLY PIPE CONNECTIONS.  
5. PROVIDE WATER HAMMER ARRESTORS AT THE PIPE CONNECTIONS, LOCATE ABOVE AN ACCESSIBLE CEILING OR LOCATED ABOVE AN ACCESSIBLE CEILING.  
6. REFER TO ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS.  
7. PROVIDE SYMMONS MODEL #7-225 THERMOSTATIC MIXING VALVE UNDER LAVATORY AND/OR SINK. TEMPERATURE SHALL BE SET AT 110. DEG.



PLUMBING KEY NOTES	
1	1-1/2" CW TO CONTINUE 5' OUT OF BUILDING AND CONNECT TO EXISTING MAIN. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND ELEVATIONS. REFER TO CIVIL PLANS FOR CONTINUATION INCLUDING WATER METER AND BACKFLOW.
2	4" SAN TO CONTINUE 5' OUT OF BUILDING AND CONNECT TO EXISTING SANITARY SYSTEM. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND ELEVATIONS. REFER TO CIVIL PLANS FOR CONTINUATION.
3	1" CW, 1" HW, 3/4" HWR TO WATER HEATER. SEE DETAIL FOR CONTINUATION.
4	1/2" CW TO REFRIGERATOR.
5	4" SANITARY DROP TO FLOOR BELOW.
6	3/4" CW 1/2" HWR AND 3/4" HW UP FROM FLOOR BELOW TO SERVE LAVS.
7	3/4" CW UP FROM FLOOR BELOW.
8	BALANCE VALVE TO 0.5 GPM.
9	CIRCUIT VENT SERVING MS-1 AND WC-1.
10	4" SANITARY TIE IN FROM FLOOR ABOVE.
11	TP-1 SERVING FD-1 ON FLOOR ABOVE. SEE DETAIL 2/P4.00
12	2" VENT ROUTED FROM FLOOR BELOW.
13	3/4" CW LINE TO YARD HYDRANT. CONTRACTOR TO COORDINATE WITH CIVIL ON EXACT LOCATION AND INVERT REQUIRED.

ISSUANCES		
NO.	DATE	DESCRIPTION
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REVISIONS		
NO.	DATE	DESCRIPTION

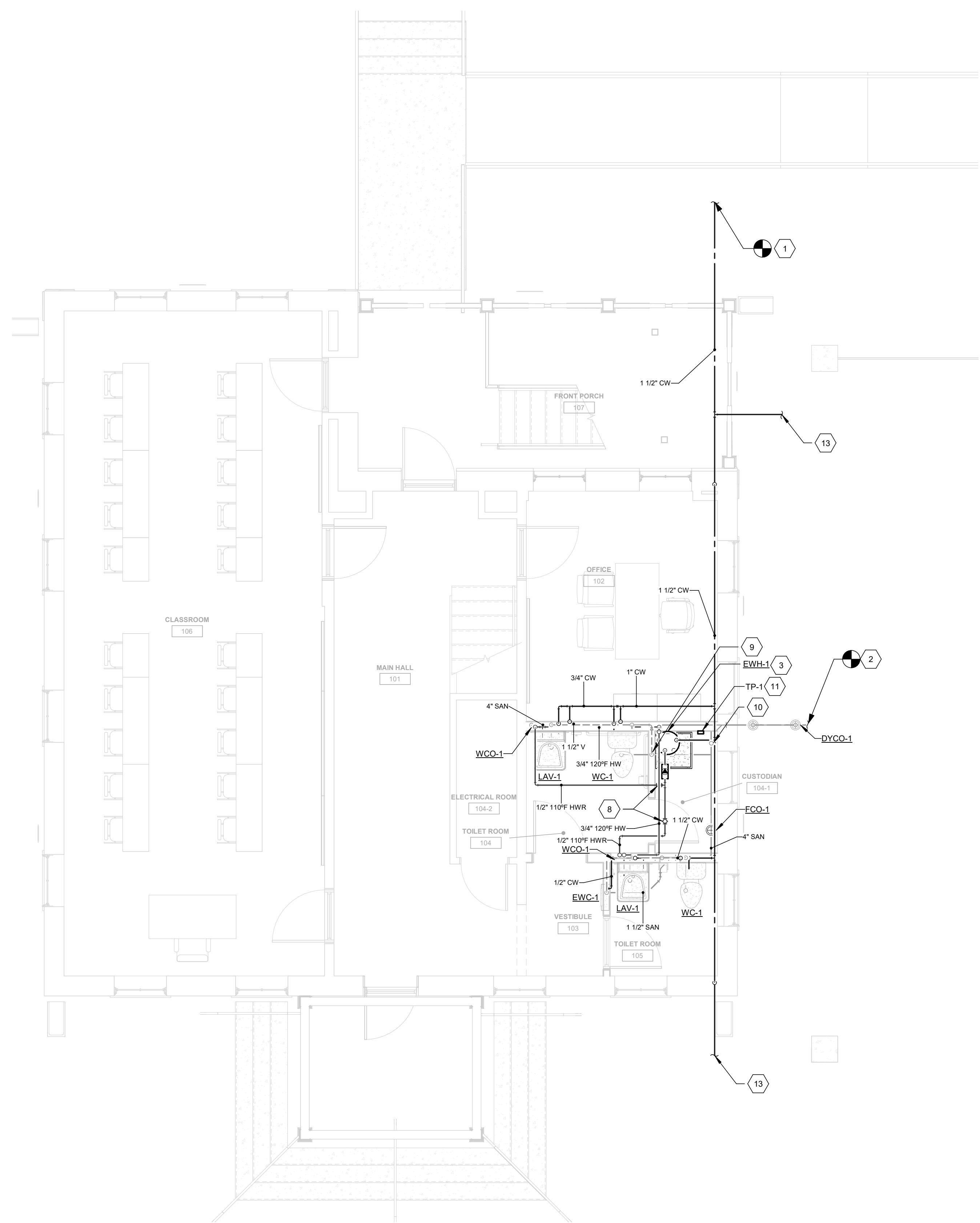
**CASTROVILLE CATHOLIC SCHOOL**  
 702 PARIS ST,  
 CASTROVILLE, TX

**PLUMBING FLOOR PLANS**

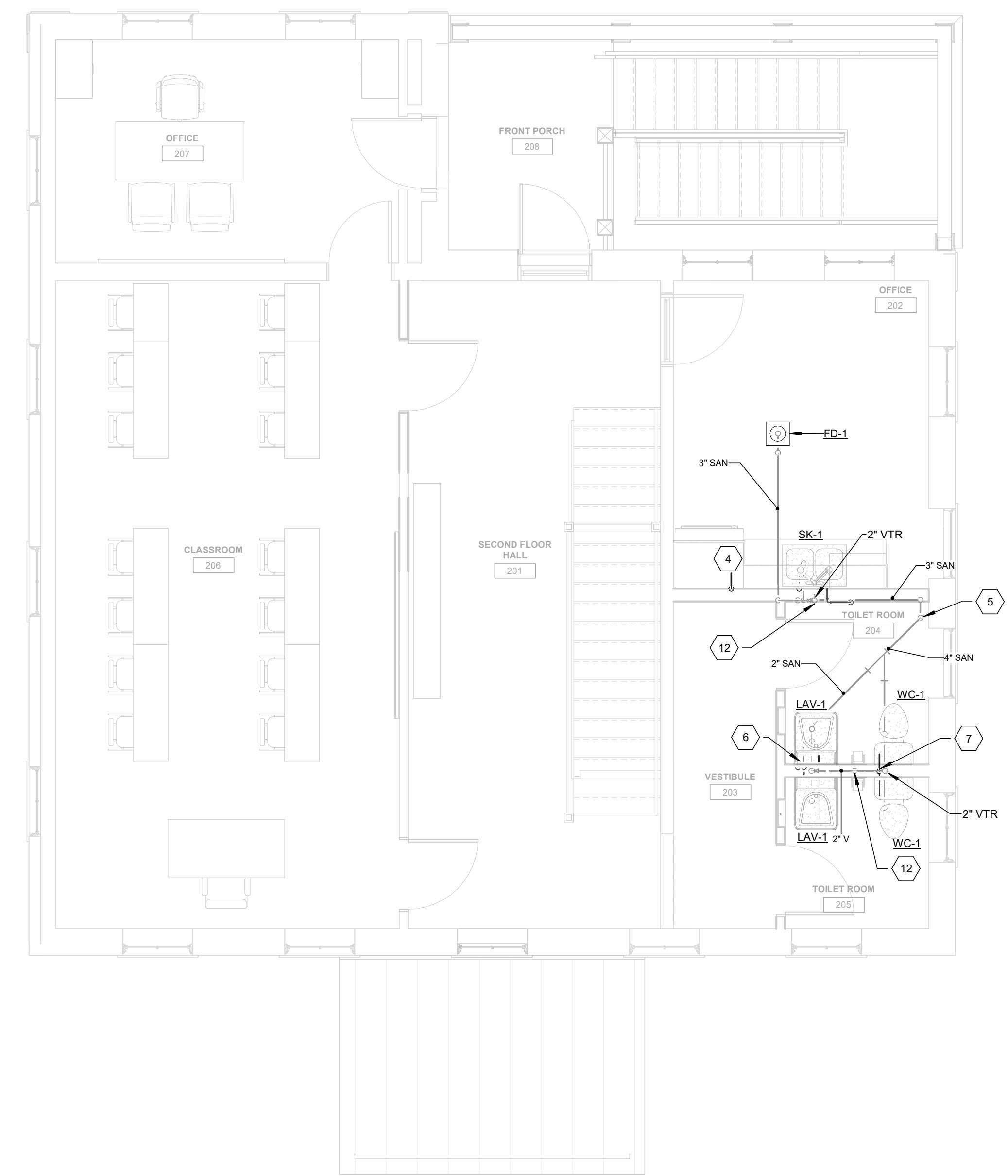
DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	KD
CHECKED:	JS
ISSUED FOR:	100% CD
REVISIONS:	



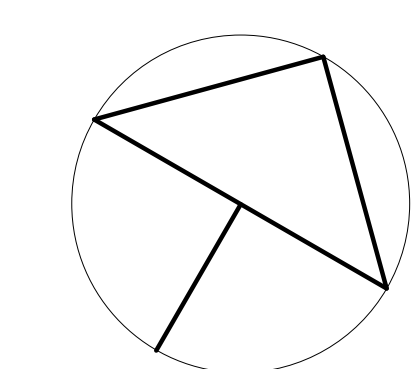
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**P1.00**



1 PLUMBING LEVEL 1  
 1/4" = 1'-0"

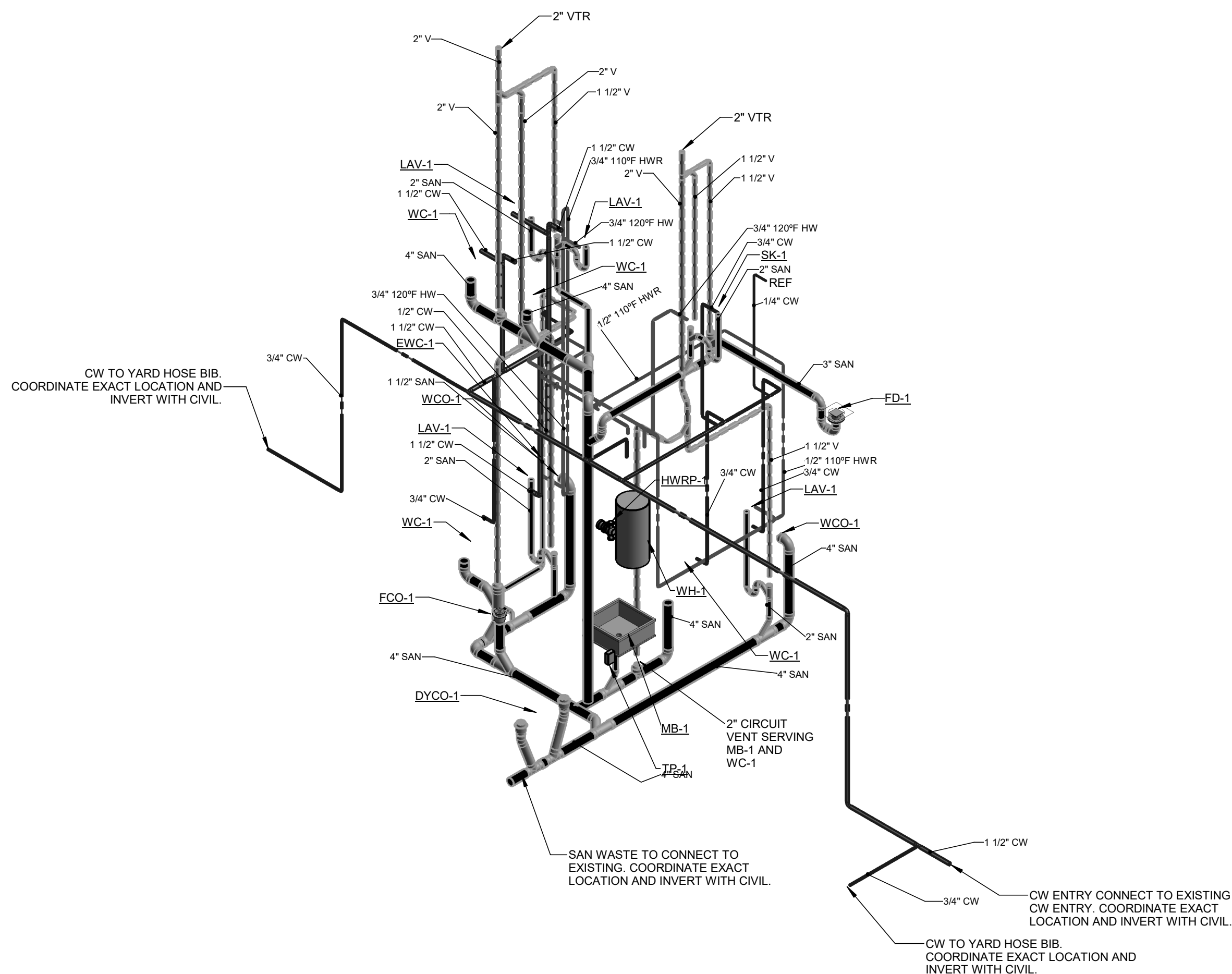


2 PLUMBING LEVEL 2  
 1/4" = 1'-0"

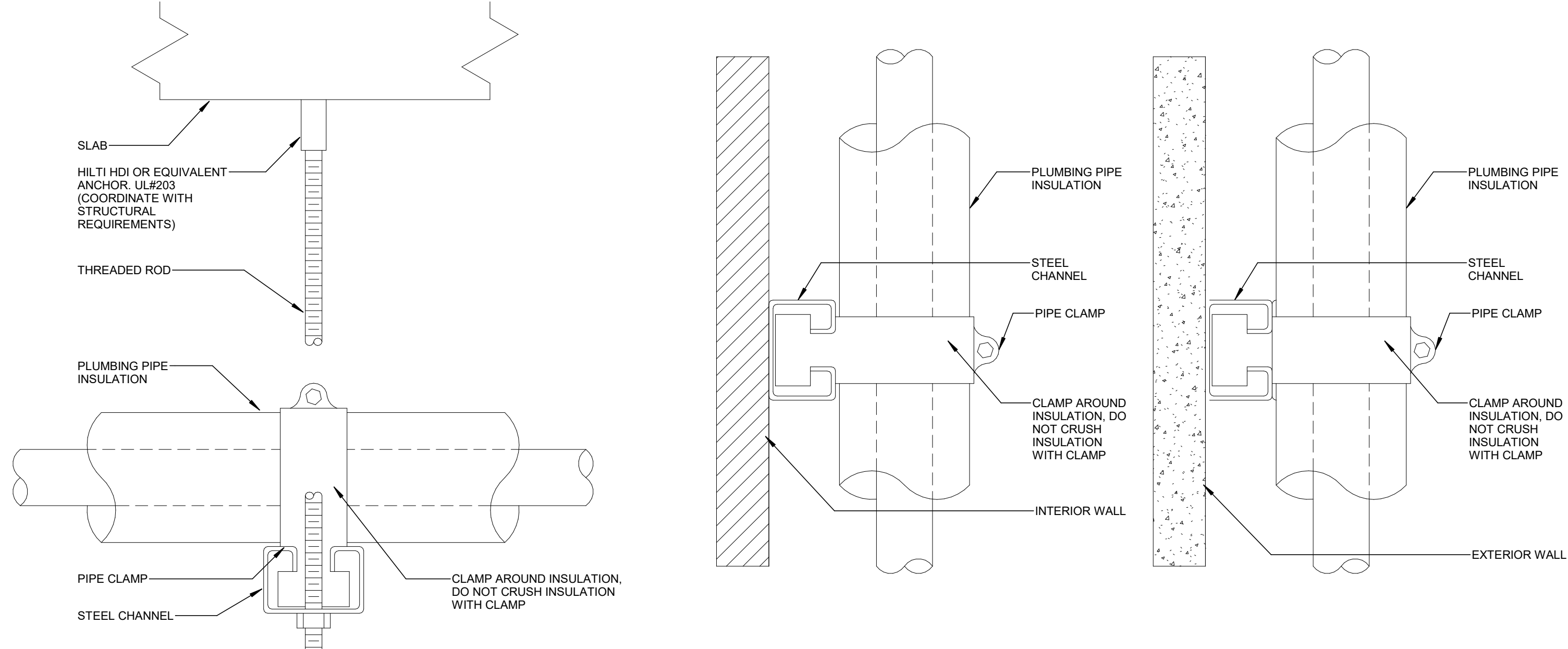




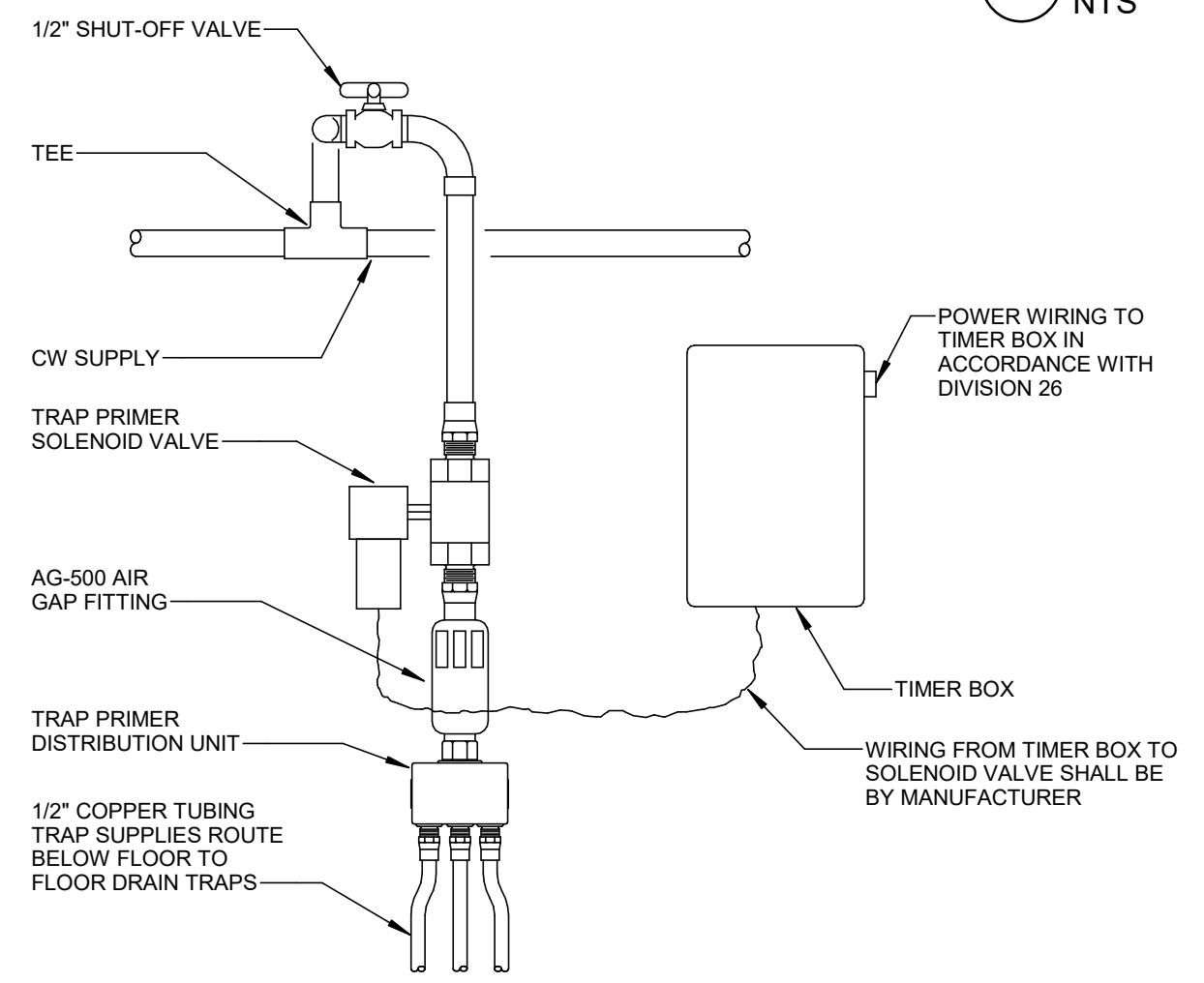
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CES #250812.00



1 PLUMBING RISER

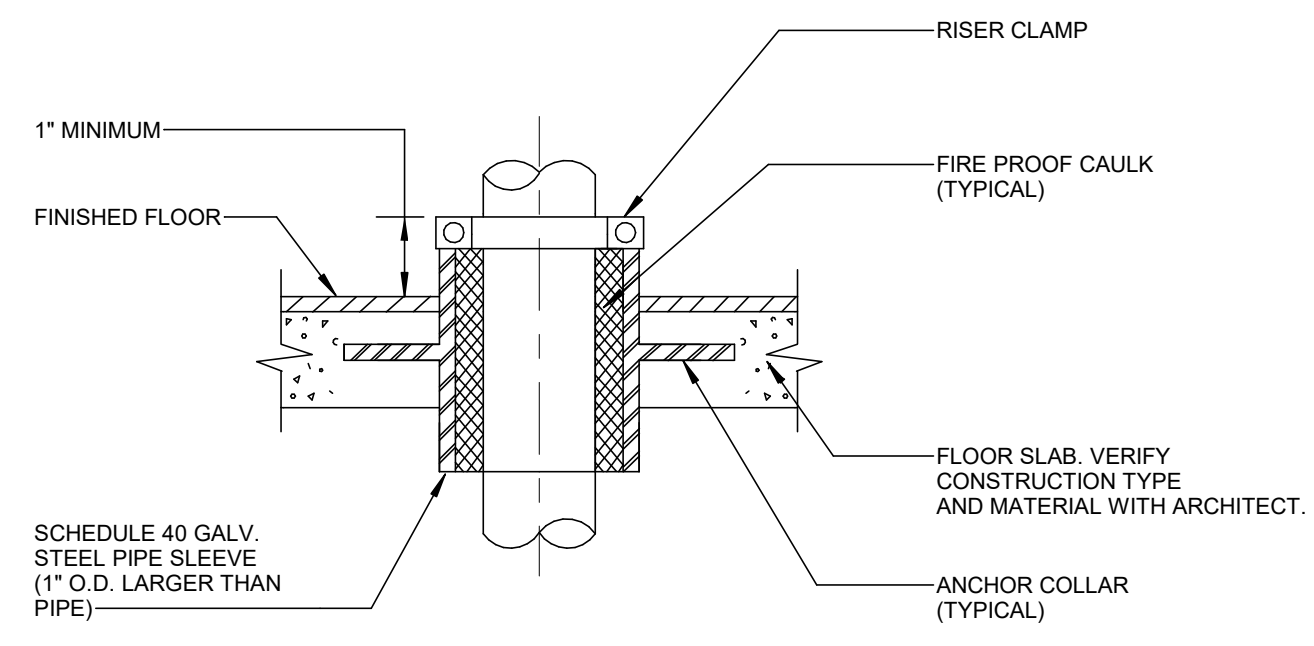


2 PIPE INSULATION & HANGER DETAIL  
NTS

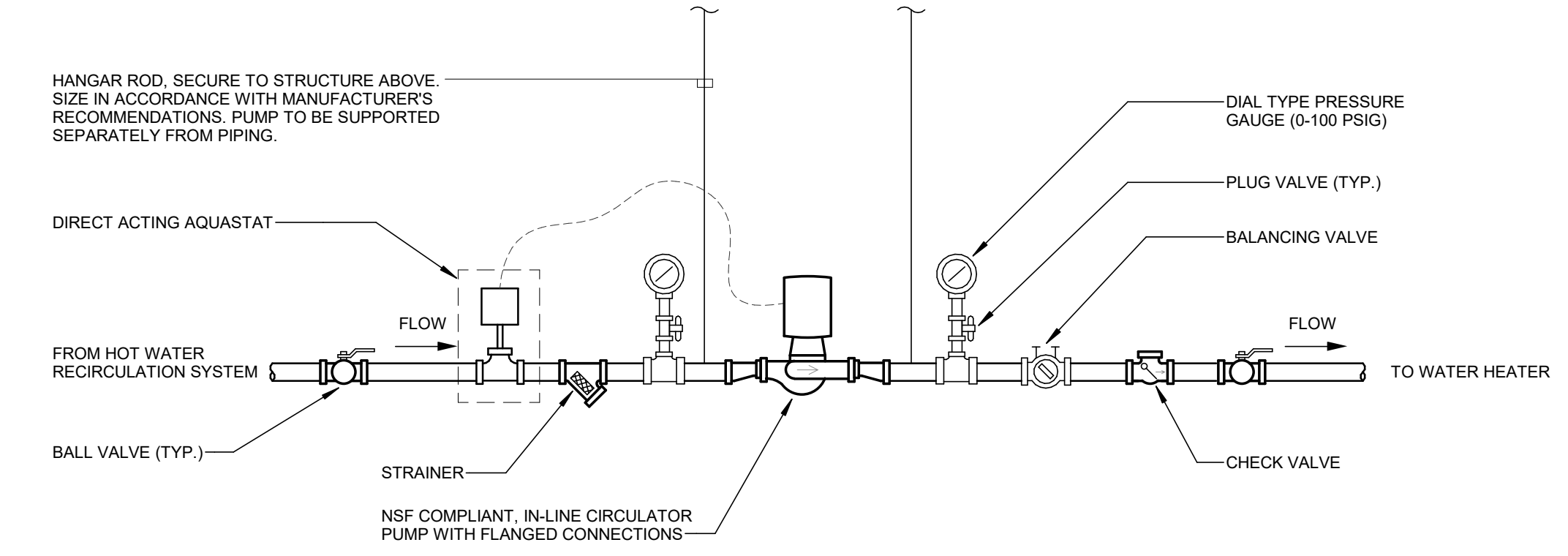


NOTE:  
1. TRAP PRIMER SHALL BE LOCATED ABOVE AN ACCESSIBLE CEILING OR OTHER ACCESSIBLE LOCATION. PROVIDE ACCESS PANEL WHERE REQUIRED.  
2. PROVIDE TRAP PRIMERS AT FLOOR DRAINS LOCATIONS.  
3. CONTRACTOR SHALL BE RESPONSIBLE FOR WATER PIPE ROUTING FROM DISTRIBUTION UNIT TO ALL DRAINS NOTED ABOVE.

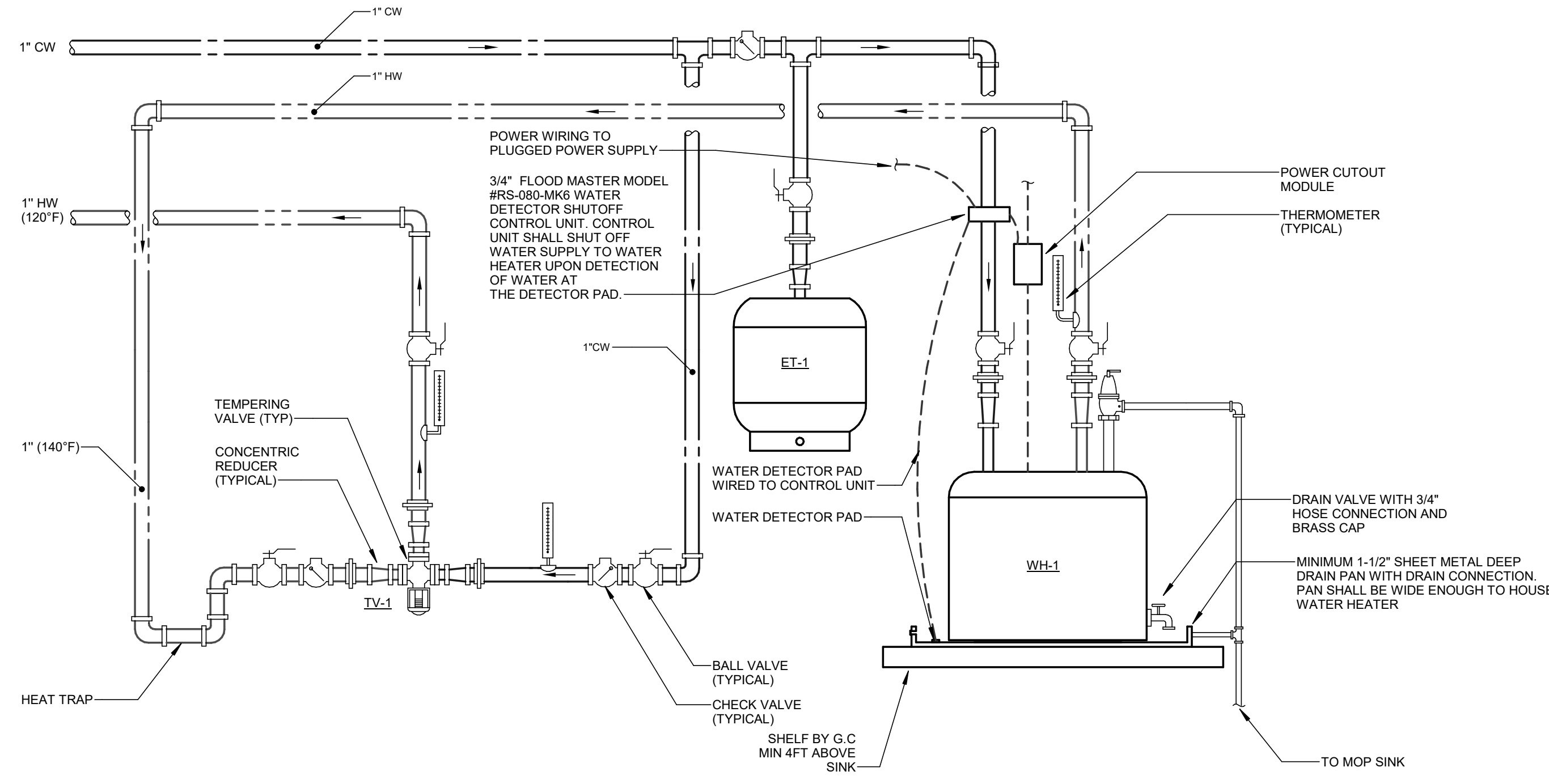
4 TRAP PRIMER DETAIL  
NTS



3 TYPICAL PIPE SLEEVE PENETRATION OF FLOOR INSTALLATION DETAIL  
NTS



5 PUMP - INLINE  
NTS



6 ELECTRIC WATER HEATER DETAIL  
NTS

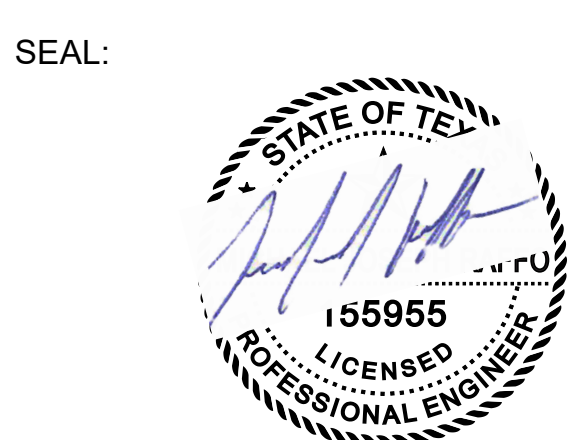
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REVISIONS		
NO.	DATE	DESCRIPTION

CASTROVILLE CATHOLIC SCHOOL  
702 PARIS ST,  
CASTROVILLE, TX

PLUMBING DETAILS

DATE:	12/19/2025
PROJECT NO:	250812.00
DRAWN:	KD
CHECKED:	JS
ISSUED FOR:	100% CD
REVISIONS:	



SHEET NO.  
**P4.00**



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## ISSUANCES

NO.	DATE	DESCRIPTION
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## REVISIONS

NO.	DATE	DESCRIPTION

## 2. FLANGES

- COPPER PIPING: CLASS 150, SLIP-ON BRONZE FLANGES.
  - STEEL PIPING: CLASS 150, SLIP-ON FORGED STEEL FLANGES.
  - GASKETS: 1/16" THICK PREFORMED NEOPRENE GASKETS.
- UNIONS
    - COPPER PIPING: CLASS 150, BRONZE UNIONS WITH SOLDERED OR BRAZED JOINTS.
    - STEEL PIPING: CLASS 150, MALLEABLE IRON, THREADED.
    - DILECTRIC CONNECTIONS: UNION WITH GALVANIZED OR PLATED STEEL THREADED END COPPER SOLDER END WATER IMPROVISED ISOLATION BARRIER ARE REQUIRED WHERE TWO DISSIMILAR METAL PRODUCTS ARE CONNECTED WITHIN A SYSTEM.

22.30.00 - PLUMBING EQUIPMENT

- FLOOR DRAINS: MANUFACTURED BY JAY R. SMITH, JOSAM, MIFAB, WADE, WATTS, ZURN.
- FLOOR SINKS: MANUFACTURED BY JAY R. SMITH, JOSAM, MIFAB, WADE, WATTS, ZURN.
- CLEANOUTS: MANUFACTURED BY JAY R. SMITH, JOSAM, MIFAB, WADE, WATTS, ZURN.
- HOSE BIBBS: MANUFACTURED BY: CHICAGO FAUCETS, JAY R. SMITH, JOSAM, MIFAB, ROYAL, WADE, WATTS, WOODFORD, ZURN.
- WATER HAMMER ARRESTORS: MANUFACTURED BY: JAY R. SMITH, JOSAM, MIFAB, PRECISION PLUMBING PRODUCTS (PPP), WADE, WATTS, WOODFORD, ZURN.
- TRAP PRIMERS: MANUFACTURED BY: JAY R. SMITH, JOSAM, MIFAB, PRECISION PLUMBING PRODUCTS (PPP), WADE, WATTS, WOODFORD, ZURN.
- ELECTRIC WATER HEATERS: MANUFACTURED BY: BRADFORD WHITE, RHEEM.

## H. GENERAL

- VERIFY WALLS AND FLOOR FINISHES ARE PREPARED AND READY FOR INSTALLATION OF FIXTURES.
- VERIFY ELECTRIC POWER IS AVAILABLE AND OF CORRECT CHARACTERISTICS.
- COORDINATE CUTTING AND FORMING OF ROOF AND FLOOR CONSTRUCTION TO RECEIVE DRAINS.
- INSTALL COMPONENTS LEVEL AND PLUMB.
- EXTEND CLEANOUTS TO FINISHED FLOOR OR WALL SURFACE. LUBRICATE THREADED CLEANOUT PLUGS WITH MIXTURE OF GRAPHITE AND LINSEED OIL. ENSURE CLEARANCE AT CLEANOUT FOR RODDING OF DRAINAGE SYSTEM.
- INSTALL WATER HAMMER ARRESTORS WITH ISOLATION VALVE IN ACCESSIBLE LOCATIONS.

22.40.00 - PLUMBING FIXTURES AND SPECIALTIES

- GENERAL
  - INSTALL EACH FIXTURE WITH CHROME PLATED SUPPLIES WITH SCREWDRIWER STOPS, REDUCERS, AND ESCUTCHEONS. ADJUST STOPS FOR INTENDED WATER FLOW RATE TO FIXTURES WITHOUT SPLASHING, NOISE, OR OVERFLOW.
- WATER CLOSETS - VITREOUS CHINA
  - MANUFACTURERS - FIXTURES: GERBER, AMERICAN STANDARD, ELIJER, KOHLER, TOTO.
  - MANUFACTURERS - FLUSH VALVES: GERBER, DELANY, DELTA COMMERCIAL, SLOAN, ZURN.
- LAVATORIES - VITREOUS CHINA
  - MANUFACTURERS: GERBER, AMERICAN STANDARD, ELIJER, KOHLER, TOTO.
  - MANUFACTURERS - FAUCETS: GERBER, CHICAGO FAUCETS, DELTA, KOHLER, SPEAKMAN, SYMMONS, T&S BRASS.
- SINKS - STAINLESS STEEL OR VITREOUS CHINA
  - MANUFACTURERS - FIXTURES: AMERICAN STANDARD, ELKAY, JUST MANUFACTURING, KOHLER.
  - MANUFACTURERS - FAUCETS: GERBER, CHICAGO FAUCETS, DELTA, KOHLER, SPEAKMAN, SYMMONS, T&S BRASS.
- MOP BASINS
  - MANUFACTURERS: SWANSTONE, FIAT, MUSTEE, STERN WILLIAMS.

**CASTROVILLE  
CATHOLIC SCHOOL**

**702 PARIS ST,  
CASTROVILLE, TX**

## PLUMBING SPECIFICATIONS

DATE: 12/19/2025

PROJECT NO: 250812.00

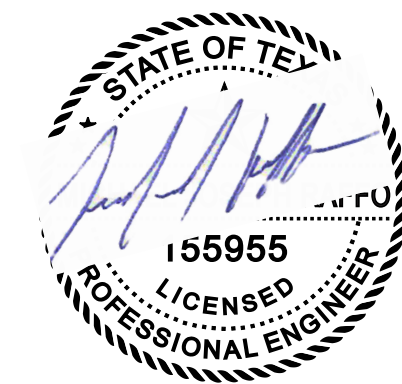
DRAWN: KD

CHECKED: JS

ISSUED FOR: 100% CD

REVISIONS:

SEAL:



SHEET NO.

P6.00

22.00.00 - GENERAL

- DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.
- THESE SPECIFICATIONS ARE APPLICABLE TO ALL PLUMBING DRAWINGS UNLESS NOTED OTHERWISE. REVIEW THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR NOTES, DIMENSIONS, ETC., AND COORDINATE WITH OTHER TRADES INVOLVED.
- THIS SECTION APPLIES TO ALL DIVISION 22 SPECIFICATION SECTIONS WHERE THERE ARE DIFFERENCES OR DISCREPANCIES BETWEEN THIS SPECIFICATION SECTION AND OTHER DIVISION 22 SPECIFICATION SECTIONS, THE MORE STRINGENT REQUIREMENT(S) SHALL APPLY.
- DESCRIPTION
  - THIS PROJECT COMPRISES ALTERATIONS AND RENOVATIONS TO THE EXISTING BUILDING. THE EXISTING BUILDING IS CURRENTLY OCCUPIED AND THE PROJECT SHALL PROCEED IN A MANNER THAT MINIMIZES ANY INCONVENIENCE TO THE BUILDING OCCUPANTS.
  - SCOPE OF WORK CONSISTS OF INSTALLATION OF MATERIALS TO BE FURNISHED UNDER THE CONTRACT DOCUMENTS AND WITHOUT LIMITING GENERALITY THEREOF CONSISTS OF FURNISHING LABOR, MATERIALS, EQUIPMENT, HOISTING, TRANSPORTATION, RIGGING, STAGING, APPURTENANCES, AND SERVICES NECESSARY AND/OR INCIDENTAL TO PROPERLY COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- DEFINITIONS: THE FOLLOWING DEFINITIONS APPLY TO THIS CONTRACT
  - FURNISH: THE TERM "FURNISH" MEANS TO "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS"
  - INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."
  - PROVIDE: THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."
  - REMOVE: THE TERM "REMOVE" MEANS TO DISCONNECT FROM ITS PRESENT POSITION, REMOVE FROM THE PREMISES AND TO DISPOSE OF IN A LEGAL MANNER."
  - SUBSTITUTIONS: "SUBSTITUTIONS" ARE REQUESTS FOR CHANGES IN PRODUCTS, MATERIALS AND/OR METHODS OF CONSTRUCTION AS PROPOSED BY THE CONTRACTOR AFTER AWARD OF THE CONTRACT."

## F. DRAWINGS

- DRAWINGS ARE DIAGRAMMATIC. THE FINAL PLACEMENT OF EQUIPMENT OR DEVICES IN THE FIELD MAY NOT DIRECTLY CORRESPOND TO THAT WHICH IS SHOWN ON THE DRAWINGS. THOUGH SOME OFFSETS & TRANSITIONS MAY BE SHOWN IN PIPING TO HELP IDENTIFY THE PHYSICAL RELATIONSHIP BETWEEN THEM, IT IS NOT THE INTENT OF THE DRAWINGS TO SHOW ALL PIPING OFFSETS & TRANSITIONS. THE CONTRACTOR SHALL FULLY COORDINATE THE WORK AND PROVIDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK OUTLINED ON THESE CONTRACT DOCUMENTS. IF A CONFLICT IN POSITIONING OCCURS THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY TO ASCERTAIN WHAT THE INTENT WAS BY THE DESIGN PROFESSIONAL.

## G. CODES AND STANDARDS: WORK SHALL CONFORM TO THE FOLLOWING:

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2014 NATIONAL ELECTRICAL CODE (NFPA 70)
- 2012 THE LIFE SAFETY CODE (NFPA 101)

## H. PERMITS AND FEES:

- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS; AND PAY ALL GOVERNMENT AND STATE SALES TAXES AND FEES WHERE APPLICABLE, AND OTHER COSTS, INCLUDING UTILITY CONNECTIONS OR EXTENSIONS IN CONNECTION WITH THE WORK, FILE ALL NECESSARY PERMITS AND DOCUMENTS AND OBTAIN ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL AND STATE DEPARTMENTS HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK, AND FURNISH A COPY TO THE OWNER AND ENGINEER BEFORE REQUEST FOR ACCEPTANCE AND FINAL PAYMENT FOR THE WORK.

## I. EXISTING SYSTEMS AND EQUIPMENT

- EXISTING TO BE REMOVED/RELOCATED EQUIPMENT: REPORT ANY EXISTING EQUIPMENT DEFICIENCIES TO THE OWNER AND THE ARCHITECT AND/OR ENGINEER.
- CONNECT WORK TO VARIOUS EXISTING SYSTEMS AS INDICATED ON THE DRAWINGS. WORK SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM CONDITIONS. ALL WORK SHALL BE COORDINATED WITH ALL TRADES AND CONTRACTORS AS WELL AS WITH EXISTING SYSTEMS, THE STRUCTURE, AND OTHER OBSTRUCTIONS.

## J. SURVEY AND MEASUREMENTS

- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, SHALL BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS.
- DO NOT SCALE DRAWINGS. SCALE INDICATED ON DRAWINGS IS FOR ESTABLISHING REFERENCE POINTS ONLY. ACTUAL FIELD CONDITIONS SHALL GOVERN ALL DIMENSIONS.
- PRIOR TO ORDERING ANY MATERIALS AND EQUIPMENT, THOROUGHLY REVIEW THE SITE CONDITIONS TO DETERMINE IF ADEQUATE CLEARANCES AND ACCESS IS ALLOWED TO INSTALL THE COMPONENTS. ORDER EQUIPMENT BROKEN DOWN AS NECESSARY TO ALLOW FOR PROPER RIGGING THROUGH THE PROJECT AREA. PROVIDE ALL NECESSARY ALTERATIONS TO THE STRUCTURE OF THE BUILDING AS NECESSARY TO RIG THE EQUIPMENT IN PLACE.
- CONTRACTORS SHALL VERIFY, LAYOUT AND BE RESPONSIBLE FOR ALL MEASUREMENTS OF ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS THAT PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS.

## K. SUBMITTALS AND SHOP DRAWINGS

- SUBMIT FOR REVIEW, ELECTRONIC SHOP DRAWINGS IN SEARCHABLE PDF FORMAT FOR THE FOLLOWING.
  - SUBMITTAL DATA FOR ALL MATERIAL AND EQUIPMENT. CLEARLY IDENTIFY DEVIATIONS OF THE SUBMITTED PRODUCTS FROM THE DESIGN.
  - SHOP DRAWINGS: DRAWN TO ACCURATE SCALE OF 1/4"=1'-0". HIGHLIGHT, ENCIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT CONSIDERED SHOP DRAWINGS.
- DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN IN CONNECTION WITH CONSTRUCTION.
- DO NOT ORDER ANY MATERIALS OR EQUIPMENT PRIOR TO RECEIVING FINAL APPROVED SUBMITTALS.
- SCHEDULE AT LEAST TEN WORKING DAYS EXCLUSIVE OF TRANSMITTAL TIME, FOR SUBMITTAL REVIEW.

## L. AS-BUILT DRAWINGS

- MAINTAIN ONE SET OF PRINTS ON THE SITE AND NOTE ALL CHANGES OR DEVIATIONS FROM THE ORIGINAL DESIGN THEREON. AT THE COMPLETION OF THE PROJECT, INCORPORATE ALL CHANGES INTO RECORD AS-BUILT DRAWINGS IN ELECTRONIC FORMAT AND SUBMIT FOR APPROVAL.

## M. OPERATION AND MAINTENANCE

- UPON COMPLETION OF ALL WORK AND TESTS, THE CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE OPERATION, ADJUSTMENT AND MAINTENANCE OF ALL EQUIPMENT FURNISHED. THE CONTRACTOR SHALL GIVE AT LEAST SEVEN (7) DAYS NOTICE TO THE OWNER AND THE ENGINEER IN ADVANCE OF THIS PERIOD.
- THE CONTRACTOR SHALL PREPARE THREE (3) COPIES OF A COMPLETE OPERATION AND MAINTENANCE MANUAL, BOUND IN BOOKLET FORM. ORGANIZE OPERATING AND MAINTENANCE DATA INTO SUITABLE SETS OF MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL HEAVY-DUTY 3-RING VINYL-COVERED BINDERS, WITH POCKET FOLDERS FOR FOLDED SHEET INFORMATION AND DESIGNATION PARTITIONS WITH IDENTIFICATION TABS. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER.
- MAINTENANCE AND INSTRUCTION MANUALS SHALL BE SUBMITTED TO THE OWNER AT THE SAME TIME AS THE SEVEN (7) DAY NOTICE IS GIVEN PRIOR TO THE INSTRUCTION PERIOD.

## N. CLEANING

- EQUIPMENT: AFTER COMPLETION OF PROJECT, CLEAN THE EXTERIOR SURFACE OF EQUIPMENT INCLUDED IN THIS SECTION, INCLUDING REMOVAL OF CONCRETE RESIDUE.
- WORK AREA: AFTER COMPLETION OF PROJECT, REMOVE ALL CONSTRUCTION DEBRIS, TEMPORARY FACILITIES AND EQUIPMENT FROM WORK AREA. CLEAN WORK AREA TO PERMIT OCCUPATION.

- DOMESTIC WATER PIPING: PRIOR TO STARTING WORK, VERIFY SYSTEM IS COMPLETE, FLUSHED AND CLEANED. ENSURE ACIDITY (PH) OF WATER TO BE TREATED IS BETWEEN 7.4 AND 7.6 BY ADDING ALKALI (CAUSTIC SODA OR SODA ASH) OR ACID (HYDROCHLORIC), INJECT DISINFECTANT, FREE CHLORINE IN LIQUID, POWDER, TABLET OR GAS FORM, THROUGHOUT SYSTEM TO OBTAIN 50 TO 80 MG/L RESIDUAL BLEND WATER FROM OUTLETS TO ENSURE DISTRIBUTION AND TEST FOR DISINFECTANT RESIDUAL AT MINIMUM 15 PERCENT OF OUTLETS. MAINTAIN DISINFECTANT IN SYSTEM FOR 24 HOURS. IF FINAL DISINFECTANT RESIDUAL TESTS LESS THAN 25 MG/L, REPEAT TREATMENT. FLUSH DISINFECTANT FROM SYSTEM UNTIL RESIDUAL EQUAL TO THAT OF INCOMING WATER OF 1.0 MG/L. TAKE SAMPLES NO SOONER THAN 24 HOURS AFTER FLUSHING, FROM 10 PERCENT OF OUTLETS AND FROM WATER ENTRY, AND ANALYZE IN ACCORDANCE WITH AWWA C651.
- GUARANTEE
  - GUARANTEE WORK OF THESE CONTRACT DOCUMENTS IN WRITING FOR NOT LESS THAN ONE (1) YEAR FROM DATE OF FINAL NOTICE OF ACCEPTANCE. REPAIR OR REPLACE DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN THIS PERIOD, PROMPT AND TO OWNER'S SATISFACTION AND CORRECT DAMAGE CAUSED IN MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER GUARANTEE WITHIN CONTRACT PRICE.
- MEANS AND METHODS ALL TRADES
  - INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE AND DISPOSE OF ALL WASTE MATERIALS, PACKAGING MATERIAL, SKIDS ETC. FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL REGULATIONS.
  - MATERIALS AND EQUIPMENT SHALL BE UL LISTED WHERE STANDARD HAS BEEN ESTABLISHED.
  - CAREFULLY INSPECT ALL BUILDING ELEMENTS PRIOR TO CUTTING OR DRILLING INTO WALL, FLOORS OR CEILINGS. FLOORS AND PAINT SURFACES DISTURBED BY WORK UNDER THIS CONTRACT AS REQUIRED TO RESTORE THEM TO THEIR ORIGINAL CONDITION.
  - SCAFFOLDING, RIGGING, HOISTING: THE CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, RIGGING, HOISTING AND SERVICES NECESSARY FOR ERECTION AND DELIVERY INTO THE PREMISES ANY EQUIPMENT AND APPARATUS FURNISHED UNDER THIS DIVISION. REMOVE SAME FROM PREMISES WHEN NO LONGER REQUIRED.
  - EXCAVATION AND BACKFILLING: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE SIZES, DEPTHS, FILL AND BEDDING REQUIREMENTS AND ANY OTHER EXCAVATION WORK REQUIRED UNDER THESE SPECIFICATIONS.
  - WATERPROOFING: WHERE ANY WORK PIERCES WATERPROOFING, INCLUDING WATERPROOF CONCRETE, ROOFS, EXTERIOR WALL AND FLOORS IN WET AREAS, THE METHOD OF INSTALLATION SHALL BE REVIEWED BY THE ENGINEER BEFORE WORK IS DONE. THE CONTRACTOR SHALL FURNISH ALL NECESSARY SLEEVES, CAULKING AND FLASHING REQUIRED TO MAKE OPENINGS ABSOLUTELY WATERTIGHT.
  - PROVIDE FIRESTOPPING AROUND ALL FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED PARTITIONS. PROVIDE ASSISTOSYS FREE FIRESTOPPING SYSTEM CAPABLE OF MAINTAINING AN EFFECTIVE BARRIER AGAINST FLAME AND GASES. SYSTEM SHALL BE UL LISTED AND COMPLY WITH ASTM E 814. REFER TO ARCHITECTURAL DRAWINGS FOR RATINGS OF ASSEMBLIES.
  - PROVIDE ACCESS PANELS IN WALLS, FLOORS AND GYPSUM WALL BOARD CEILINGS TO ALLOW ACCESS TO: VALVES AND OTHER APPARATUS AND EQUIPMENT REQUIRING PERIODIC SERVICE AND INSPECTION. NOT ALL ACCESS PANELS ARE INDICATED ON THE PLANS. REVIEW ARCHITECTURAL AND PLUMBING PLANS TO DETERMINE THE LOCATION AND QUANTITY OF ACCESS PANELS REQUIRED. COORDINATE TYPE AND LOCATION WITH ARCHITECTURAL PLANS.

22.05.00 - COMMON WORK RESULTS FOR PLUMBING

## A. IDENTIFICATION FOR PIPING AND EQUIPMENT:

- MANUFACTURERS: CRAFTMARK IDENTIFICATION SYSTEMS, SAFETY SIGN CO., SETON IDENTIFICATION PRODUCTS, NORTHPOW ANGLER. SUBSTITUTIONS: DIVISION 01 - GENERAL REQUIREMENTS AND 22.04.00 - GENERAL REQUIREMENTS.
- PLASTIC NAMEPLATES: LAMINATED THREE-LAYER PLASTIC WITH ENGRAVED BLACK LETTERS ON LIGHT BACKGROUND COLOR.
- TAGS
  - PLASTIC TAGS: LAMINATED THREE-LAYER PLASTIC WITH ENGRAVED BLACK LETTERS ON LIGHT BACKGROUND COLOR, MINIMUM 1-1/2 INCHES DIAMETER.
  - METAL TAGS: ALUMINUM WITH STAMPED LETTERS, TAG SIZE MINIMUM 1-1/2 INCHES DIAMETER WITH FINISHED EDGES.
  - INFORMATION TAGS: CLEAR PLASTIC WITH PRINTED "DANGER," "CAUTION," OR "WARNING" AND MESSAGE: SIZE 3-1/4 X 5-5/8 INCHES WITH GROMMET AND SELF-LOCKING NYLON TIES.
  - TAG CHART: TYPEWRITTEN LETTER SIZE LIST OF APPLIED TAGS AND LOCATION IN ANODIZED ALUMINUM FRAME.
- PIPE MARKERS
  - COLOR AND LETTERING TO CONFORM TO ASME A13.1.
  - PLASTIC PIPE MARKERS: FACTORY FABRICATED, FLEXIBLE, SEMI-RIGID PLASTIC, PREFORMED TO FIT AROUND PIPE OR PIPE COVERING. LARGER SIZES MAY HAVE MAXIMUM SHEET SIZE WITH SPRING FASTENER. MINIMUM INFORMATION INDICATING FLOW DIRECTION ARROW AND IDENTIFICATION OF FLUID BEING CONVEYED.
  - PLASTIC TAPE PIPE MARKERS: FLEXIBLE, VINYL FILM TAPE WITH PRESSURE SENSITIVE ADHESIVE BACKING AND PRINTED MARKINGS.
  - PLASTIC UNDERGROUND PIPE MARKERS: BRIGHT COLOR COLORED CONTINUOUSLY PRINTED PLASTIC RIBBON TAPE, MINIMUM 6 INCHES WIDE BY 4 MIL THICK, MANUFACTURED FOR DIRECT BURIAL SERVICE. TRACE WIRE: MAGNETIC DETECTABLE CONDUCTOR, BRIGHTLY COLORED PLASTIC COVERING, IMPRINTED WITH COLOR CODE AS FOLLOWS:
    - POTABLE, COOLING, BOILER, FEED, OTHER WATER: GREEN WITH WHITE LETTERS.
    - FIRE QUENCHING FLUIDS: RED WITH WHITE LETTERS.
    - TOXIC AND CORROSIVE FLUIDS: ORANGE WITH BLACK LETTERS.
    - FLAMMABLE FLUIDS: YELLOW WITH BLACK LETTERS.
    - COMBUSTIBLE FLUIDS: BROWN WITH WHITE LETTERS.
    - HEAT TRACED PIPING: TO MATCH THE COLOR CODE OF THE FLUID OR GAS BEING USED.
- CEILING TACKS
  - DESCRIPTION: STEEL WITH 3/4 INCH DIAMETER COLOR-CODED HEAD.
  - COLOR CODE AS FOLLOWS: PLUMBING VALVES: GREEN.
- LABELS
  - DESCRIPTION: POLYESTER FOR ABOVE GRADE AND LAMINATED MYLAR FOR BELOW GRADE, SIZE 1.9 X 0.75 INCHES, ADHESIVE BACKED WITH PRINTED IDENTIFICATION.

## B. SLEEVES

- MANUFACTURERS: FLEXICRAFT INDUSTRIES; PIPE WALL SLEEVE: METRAFLEX; PIPE WALL SLEEVE, COI PIPELINE; PIPE WALL SLEEVE, GPT - CENTURYLINE SLEEVE SERIES; GPT/UNDERLINE LINK-SEAL; INC. METRAFLEX - METRASEAL; BWM - PIPE SEAL; PS SERIES; SUBSTITUTIONS: SEE DIVISION 01 - GENERAL REQUIREMENTS AND 22.04.00 - GENERAL REQUIREMENTS.
- VERTICAL PIPING:
  - SLEEVE LENGTH: 1 INCH ABOVE FINISHED FLOOR.
  - PROVIDE SEALANT FOR WATERTIGHT JOINT.
  - BLOCKED OUT FLOOR OPENINGS: PROVIDE 1-1/2 INCH ANGLE SET IN SILICON ADHESIVE AROUND OPENING.
  - DRILLED PENETRATIONS: PROVIDE 1-1/2 INCH ANGLE RING OR SQUARE SET IN SILICON ADHESIVE AROUND PENETRATION.
  - SHEET METAL: PIPE PASSING THROUGH INTERIOR WALLS, PARTITIONS, AND FLOORS, UNLESS STEEL OR BRASS SLEEVES ARE SPECIFIED BELOW.
  - PIPE PASSING THROUGH BELOW GRADE OR EXTERIOR WALLS:
    - ANCHORED SLEEVE - ZINC COATED OR CAST IRON PIPE.
    - PROVIDE WATERTIGHT SPACE WITH LINK RUBBER OR MODULAR SEAL BETWEEN SLEEVE AND PIPE ON BOTH PIPE ENDS.

## 5. CLEARANCES:

- PROVIDE ALLOWANCE FOR INSULATED PIPING.
- WALL, FLOOR, FLOOR, PARTITIONS, AND BEAM FLANGES: 1 INCH GREATER THAN EXTERNAL, PIPE DIAMETER.
- ALL RATED OPENINGS: CAULKED TIGHT WITH FIRE STOPPING MATERIAL CONFORMING TO HYPERLINK "HTTP://GLOBAL.HS.COM/DOC\_DETAL.CFM?RID=8383&DOCUMENT\_NAME=ASTM%20E%20814%20IN%20ACCORDANCE%20WITH%20DIVISION%2007%20THERMAL%20AND%20MOISTURE%20PROTECTION%20TO%20PREVENT%20THE%20SPREAD%20OF%20FIRE,%20SMOKE,%20AND%20GASES."
- SLEEVES FOR PIPES THROUGH NON-FIRE RATED FLOORS: 18 GAGE THICK GALVANIZED STEEL.
- SLEEVES FOR PIPES THROUGH NON-FIRE RATED WALLS, AND POTENTIALLY WET FLOORS: STEEL PIPE OR 18 GAGE THICK GALVANIZED STEEL.
- SEALANT: REFER TO DIVISION 07 THERMAL AND MOISTURE PROTECTION.
- MECHANICAL SLEEVE SEALS
  - PRODUCT DESCRIPTION: MODULAR MECHANICAL TYPE, CONSISTING OF INTERLOCKING SYNTHETIC NITRILE RUBBER LINKS SHAPED TO CONTINUOUSLY FILL ANNULAR SPACE BETWEEN OBJECT AND SLEEVE, CONNECTED WITH BOLTS AND PRESSURE PLATES CAUSING RUBBER SEALING ELEMENTS TO EXPAND WHEN TIGHTENED, PROVIDING WATERTIGHT SEAL AND ELECTRICAL INSULATION.
  - PROVIDE NSF 61 CERTIFIED ASSEMBLY WHEN USED IN POTABLE WATER STORAGE TANK APPLICATIONS.

## C. FORMED STEEL CHANNEL

- MANUFACTURERS: B-LINE SYSTEMS, UNISTRUT CORP., ANVIL INTERNATIONAL, SUBSTITUTIONS: DIVISION 01 - GENERAL REQUIREMENTS AND 22.04.00 - GENERAL REQUIREMENTS.
- PRODUCT DESCRIPTION: GALVANIZED 12 GAGE THICK STEEL WITH HOLES 1-1/2 INCHES ON CENTER.
- GENERAL INSTALLATION REQUIREMENTS FOR PLUMBING
  - CONNECTIONS BETWEEN COPPER & STEEL PIPING SHALL BE MADE WITH DIELECTRIC WATERWAYS, WITH BRONZE BODY VALVES, OR WITH BRASS ADAPTER FITTINGS.
  - INSTALL AND TEST GAS PIPING IN ACCORDANCE WITH THE FUEL GAS CODE AND NFPA 54.
  - PREPARATION
    - REAM PIPE AND TUBE ENDS. REMOVE BURRS. BEVEL OR GROOVE PLAIN END FERROUS PIPE.
    - REMOVE SCALE AND DIRT ON INSIDE AND OUTSIDE BEFORE ASSEMBLY.
    - PREPARE PIPING CONNECTIONS TO EQUIPMENT WITH FLANGES OR UNIONS.
    - KEEP OPEN ENDS OF PIPE FREE FROM SCALE AND DIRT. PROTECT OPEN ENDS WITH TEMPORARY PLUGS OR CAPS.
    - AFTER COMPLETION, FILL, CLEAN, AND TREAT SYSTEM.

## E. INSTALLATION REQUIREMENTS FOR PLUMBING PIPING

- INSTALL PIPING IN ACCORDANCE WITH ALL APPLICABLE PLUMBING CODES, ASME B31.1, AND ASME B31.9 AS APPLICABLE.
- ROUTE PIPING PARALLEL TO BUILDING STRUCTURE AND MAINTAIN GRADIENT.
- INSTALL PIPING TO CONSERVE BUILDING SPACE, AND NOT INTERFERE WITH USE OF SPACE.
- GROUP PIPING WHENEVER PRACTICAL AT COMMON ELEVATIONS.
- SLEEVE PIPE PASSING THROUGH PARTITIONS, WALLS AND FLOORS.
- INSTALL FIRESTOPPING AT PENETRATIONS OF RATED ASSEMBLIES. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF RATED ASSEMBLIES.
- INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT.
- PROVIDE ACCESS WHERE VALVES AND FITTINGS ARE NOT EXPOSED.
- SLOPE DOMESTIC WATER, PIPING AND ARRANGE SYSTEMS TO DRAIN AT LOW POINTS. USE ECCENTRIC REDUCERS TO MAINTAIN TOP OF PIPE ALIGNED.
- WHERE PIPE SUPPORT MEMBERS ARE WELOD TO STRUCTURAL BUILDING FRAMING, SCRAPER, BRUSH CLEAN, AND APPLY ONE COAT OF ZINC RICH PRIMER TO WELDS.
- PREPARE UNFINISHED PIPE, FITTINGS, SUPPORTS, AND ACCESSORIES, READY FOR FINISH PAINTING.
- INSTALL VALVES WITH STEMS UPRIGHT OR HORIZONTAL, NOT INVERTED.

## F. TESTING

- TEST PIPING IN ACCORDANCE WITH ALL APPLICABLE PLUMBING CODES, ASME B31.1 AND ASME B31.9, AS APPLICABLE.

22.05.20 - HANGERS AND SUPPORTS

- PROVIDE PIPE STANDS, SUPPORTS, HANGERS AND OTHER SUPPORTING APPLIANCES AS NECESSARY TO SUPPORT WORK REQUIRED BY CONTRACT DOCUMENTS. SPACING OF HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING AND MECHANICAL CODES. STRUCTURAL STEEL SUPPORTS, HANGERS, ETC., SHALL BE ANGLE IRON, STEEL CHANNEL OR STEEL ROD USED WITH APPROVED CLAMPS, INSERTS, ETC., ALL SUPPORTS, HANGERS, BRACKETS, ETC., SHALL BE AS APPROVED BY THE ENGINEER.
- ALL HANGERS SHALL BE GALVANIZED.
- ATTACH HANGERS AND SUPPORTS DIRECTLY ONTO THE STRUCTURE BY FIRST REMOVING EXISTING FIRE PROOFING AND AFTER SECURING THE ATTACHMENT, REPAIRING THE FIRE PROOFING TO ITS ORIGINAL CONDITION, CONTINUOUSLY OVER THE ATTACHMENT.
- FOR EXPANSION BOLTS/SHIELDS USE RED HEAD, HLTI OR WELT SELF DRILLING OR STEEL SHIELD, LOAD RATED. DO NOT USE DRILLED ANCHORS IN POST TENSION SLABS WITHOUT APPROVAL OF OWNER. DO NOT CUT REINFORCING STEEL WITH DRILLED INSERTS.
- INSTALLATION REQUIREMENTS FOR HANGERS AND SUPPORTS
  - INSTALL IN ACCORDANCE WITH ASME B31.9, ASTM F708 AND MSS SP 89.
  - SUPPORT HORIZONTAL PIPING AS SCHEDULED.
  - INSTALL HANGERS TO PROVIDE MINIMUM 1/2 INCH SPACE BETWEEN FINISHED COVERING AND ADJACENT WORK.
  - PLACE HANGERS WITHIN 12 INCHES OF EACH HORIZONTAL ELBOW.
  - USE HANGERS WITH 1-1/2 INCH MINIMUM VERTICAL ADJUSTMENT. DESIGN HANGERS FOR PIPE MOVEMENT WITHOUT DISENGAGEMENT OF SUPPORTED PIPE.
  - SUPPORT VERTICAL PIPING AT EVERY FLOOR. SUPPORT RISER PIPING INDEPENDENTLY OF CONNECTED HORIZONTAL PIPING.
  - WHERE INSTALLING SEVERAL PIPES IN PARALLEL AND AT SAME ELEVATION, PROVIDE MULTIPLE PIPE HANGERS OR TRAPEZE HANGERS.
  - PROVIDE COPPER PLATED HANGERS AND SUPPORTS FOR COPPER PIPING.
  - PRIME COAT EXPOSED STEEL HANGERS AND SUPPORTS. HANGERS AND SUPPORTS LOCATED IN CRAWL SPACES, PIPE SHAFTS, AND SUSPENDED CEILING SPACES ARE NOT CONSIDERED EXPOSED.
  - PROVIDE CLEARANCE IN HANGERS AND FROM STRUCTURE AND OTHER EQUIPMENT FOR INSTALLATION OF INSULATION AND ACCESS TO VALVES AND FITTINGS.

22.05.48 - VIBRATION AND SEISMIC CONTROLS

- PROVIDE VIBRATION ISOLATION FOR EACH PIECE OF ROTATING OR RECIPROCATING EQUIPMENT SHOWN ON THE DRAWINGS. ALL ISOLATION COMPONENTS SHALL BE SUPPLIED BY A SINGLE MANUFACTURER - MASON INDUSTRIES, KINETICS OR AMBER BOOTH. TYPES OF ISOLATORS, REQUIRED DEFLECTIONS, AND INSTALLATION PRACTICES SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE VIBRATION ISOLATION MANUFACTURER.

22.07.00 - PLUMBING INSULATION

## A. GENERAL REQUIREMENTS

- INSULATION SHALL BE CERTAIN-TEED, KNAUF, MANVILLE, OR OWENS CORNING. MATERIALS SHALL MEET REQUIREMENTS OF ADHESIVE AND SEALANT COUNCIL STANDARDS AND SMACNA. INSTALL INSULATION, MASTICS, ADHESIVES, COATINGS, COVERS, WEATHER-PROTECTION AND OTHER WORK IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ASTM E-84 FIRE HAZARD RATINGS SHALL BE 25 FLAME SPREAD, 50 SMOKE DEVELOPED.
- FITTINGS, VALVES AND FLANGES SHALL BE INSULATED WITH SAME MATERIAL AND TO SAME THICKNESS AS ADJOINING PIPE INSULATION, WITH PRESENT SECTIONS.
- FOR STRAINERS AND OTHER VALVES OR FITTINGS WHICH NEED MAINTENANCE, PROVIDE PREFORMED REMOVABLE INSULATION SECTION.
- INCREASE PIPE INSULATION AS REQUIRED FOR PIPING WITH HEAT TRACING PER MANUFACTURER'S REQUIREMENTS.

## B. PRODUCTS AND APPLICATIONS

- INSULATION SHALL BE FIBROUS GLASS PIPE INSULATION WITH FACTORY-APPLIED ASJ WITH K FACTOR OF AT LEAST 0.23 AT 75F WARM TEMPERATURE.
- PROVIDE INSULATION FOR THE FOLLOWING SYSTEMS:
  - DOMESTIC HOT WATER PIPE INSULATION: MINIMUM 1 INCH THICKNESS, PROVIDE 1-1/2 INCH THICKNESS FOR DOMESTIC HOT WATER PIPES; 1-1/2 INCH DIAMETER AND LARGER.
  - DOMESTIC COLD WATER: MINIMUM 1/2 INCH THICKNESS, PROVIDE 1 INCH THICKNESS FOR COLD WATER PIPES 1-1/2 INCH DIAMETER AND GREATER.

22.10.00 - PLUMBING PIPING

## A. DOMESTIC WATER PIPING - ABOVE GRADE

- SOLDERED OR BRAZED: ASTM B88, TYPE L HARD DRAWN COPPER TUBING, WITH ASME B16.18 CAST BRASS OR ASME B16.22 WROUGHT COPPER FITTINGS. JOINTS SHALL BE SOLDER TYPE WITH ASTM B32 95-5 TIN-ANTIMONY OR TIN AND SILVER SOLDER, OR BRAZED TYPE WITH AWS A5.8 BCUP ALLOY BRAZE. TEES SHALL BE FITTINGS: MECHANICALLY EXTRACTED COLLARS TEES ARE NOT ALLOWED.
- GROOVED: ASTM B88, TYPE L WITH ROLLED GROOVED ENDS, WITH ASME B16.18 CAST COPPER ALLOY, ASME B16.22 WROUGHT COPPER AND BRONZE, OR ASTM B584 BRONZE SAND CASTINGS, GROOVED END FITTINGS, AND ASTM F1476 GROOVED MECHANICAL COUPLINGS JOINTS WITH ENAMEL COATED ASTM A395 DUCTILE IRON AND ASTM A536 DUCTILE IRON HOUSING CLAMPS, COMPATIBLE WITH COPPER TUBING SIZES, TO ENGAGE AND LOCK DESIGNED TO PERMIT SOME ANGULAR DEFLECTION, CONTRACTION, AND EXPANSION, ELASTOMER COMPOSITION GASKETS WITH AN OPERATING TEMPERATURE RANGE FROM -40°F TO 230°F, AND GALVANIZED OR STAINLESS STEEL BOLTS, NUTS, AND WASHERS. TEES SHALL BE FITTINGS: CLAMP TYPE TEES ARE NOT ALLOWED. MANUFACTURERS: ANVIL/GULVOK, TYCOO/GRINNELL, VICTAULIC. FITTINGS AND JOINTS SHALL BE BY THE SAME MANUFACTURER.
- PRESS CONNECTIONS: COPPER AND COPPER ALLOY PRESS CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE TUBING SHALL BE FULLY INSERTED INTO THE FITTING AND THE TUBING MARKED AT THE SHOULDER OF THE FITTING. THE FITTING ALIGNMENT SHALL BE CHECKED AGAINST THE MARK ON THE TUBING TO ASSURE THE TUBING IS FULLY ENGAGED (INSERTED) IN THE FITTING, THE JOINTS SHALL BE PRESSED USING THE TOOL(S) APPROVED BY THE MANUFACTURER.

## B. DRAIN, WASTE, AND VENT PIPING (SANITARY)

- BELOW GRADE: HUB & SPIGOT: ASTM A74 CAST IRON PIPE, WITH ASTM A74 CAST IRON FITTINGS AND ASTM C564 RUBBER GASKET JOINT DEVICES OR LEAD AND OAKUM.
- HUBLESS (NO-HUB): CISPI 301 HUBLESS SERVICE WEIGHT CAST IRON PIPE WITH CISPI 310 NEOPRENE GASKET AND STAINLESS STEEL CLAMP AND SHIELD JOINT ASSEMBLIES.
- COPPER: ASTM B306 TUBE OR ASTM B42 PIPE, WITH AS



# Agenda Report

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**Agenda of:** January 20, 2026

**Department:** Community Development Director

**Subject:** Certificate of Appropriateness for 1315 Fiorella St.

**Property Address:** 1315 Fiorella St.  
**Applicant/Owner:** David & Tammie Kopecki  
**Zoning / Overlay:** Historic Overlay (HE)

## RECOMMENDED MOTION

I move to approve the Certificate of Appropriateness for exterior alterations at 1315 Fiorella Street, subject to staff's recommendations and the conditions outlined in the agenda report.

## REQUEST

Approval of a Certificate of Appropriateness (COA) to allow exterior alterations consisting of additional perimeter fencing at the rear of the property and interior fencing on both sides of the residential lot.

## PROPERTY & PROJECT SUMMARY

The subject property is a single-family residence constructed circa 1985, located within the City's Historic Overlay District. The structure is not a designated historic landmark, but alterations are subject to Historic Landmark Commission review due to the overlay zoning.

The applicant proposes:

- Extension of existing cedar wood fencing along the rear and side property lines;
- Installation of interior fencing with matching materials; and
- Gates and fence components designed to match existing conditions on the property, as shown on the submitted site plan and photographs.

## HISTORIC PRESERVATION OFFICER REVIEW

The Historic Preservation Officer reviewed the application and determined:

- **COA Application:** Complete and meets all submittal requirements.
- **Alterations:** The proposed fencing constitutes an exterior alteration subject to HLC review.

- **Fence Height & Design:**
  - A 42-inch (3'-6") fence in the front/interior yard area, while slightly taller than the typical three-foot guideline, is consistent with existing conditions and considered acceptable.
  - Proposed 5-foot and 6-foot cedar fences with gates along side and rear yard areas align with the Historic Design Guidelines.
- **Recommendation:** Approval of the proposed fencing is recommended.

## **STAFF ANALYSIS**

The proposed fencing improvements are compatible with the existing residential character and surrounding historic district. The materials, heights, and placement are consistent with adopted design guidelines and existing site conditions, and the request does not adversely impact the historic character of the area.

## **STAFF RECOMMENDATION**

Approve the Certificate of Appropriateness, subject to conditions.

08 JANUARY 2026 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

1315 Fiorella Street, Castroville, TX 78009

December 08, 2026

David & Tammie Kopecki  
604 Elm Street  
Floresville, TX 78114  
210.219.4481  
Tdkopi.tk@gmail.com

RE: 1315 Fiorella Street – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1985
THC 1969 Survey		Architectural Style	
THC 2002 Resource		Alsatian Influences	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

## COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.



## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding

materials; changing, eliminating or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

***Alteration Comments***

1. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), consider a fence height of three feet or less for the front yard. The four-foot fences common today were not typical historically. However, the applicant proposes to match the existing 42-inch (3'-6") wire garden fence with cedar posts. *While slightly taller than the recommended height, the proposed 3'-6" fence and gate is consistent with the existing conditions on the property and is therefore considered acceptable in height and design. Additionally, the proposed 5-foot and 6-foot cedar wood fences with gates, aligns with the Design Guidelines.*

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at [breana.soto@castrovilletx.gov](mailto:breana.soto@castrovilletx.gov) if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



# CITY OF CASTROVILLE

*Little Alsace of Texas*

Permit Number: <u>2025330</u>
Submittal Date: <u>12/12/2025</u>
<i>office use only</i>

### Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

[permits@castrovilletx.gov](mailto:permits@castrovilletx.gov)

## Certificate of Appropriateness Application

Property Information	
Project Address: <u>1315 Fiorella</u>	Zoning:
Legal Description: Lot <u>0.34 ACRE OUT OF LOT 526</u> Block <u>3</u> Range <u>7</u> Subdivision <u>CASTROVILLE</u>	
Landmark Name: <u>NOT A LANDMARK BLDG., RESIDENTIAL</u>	

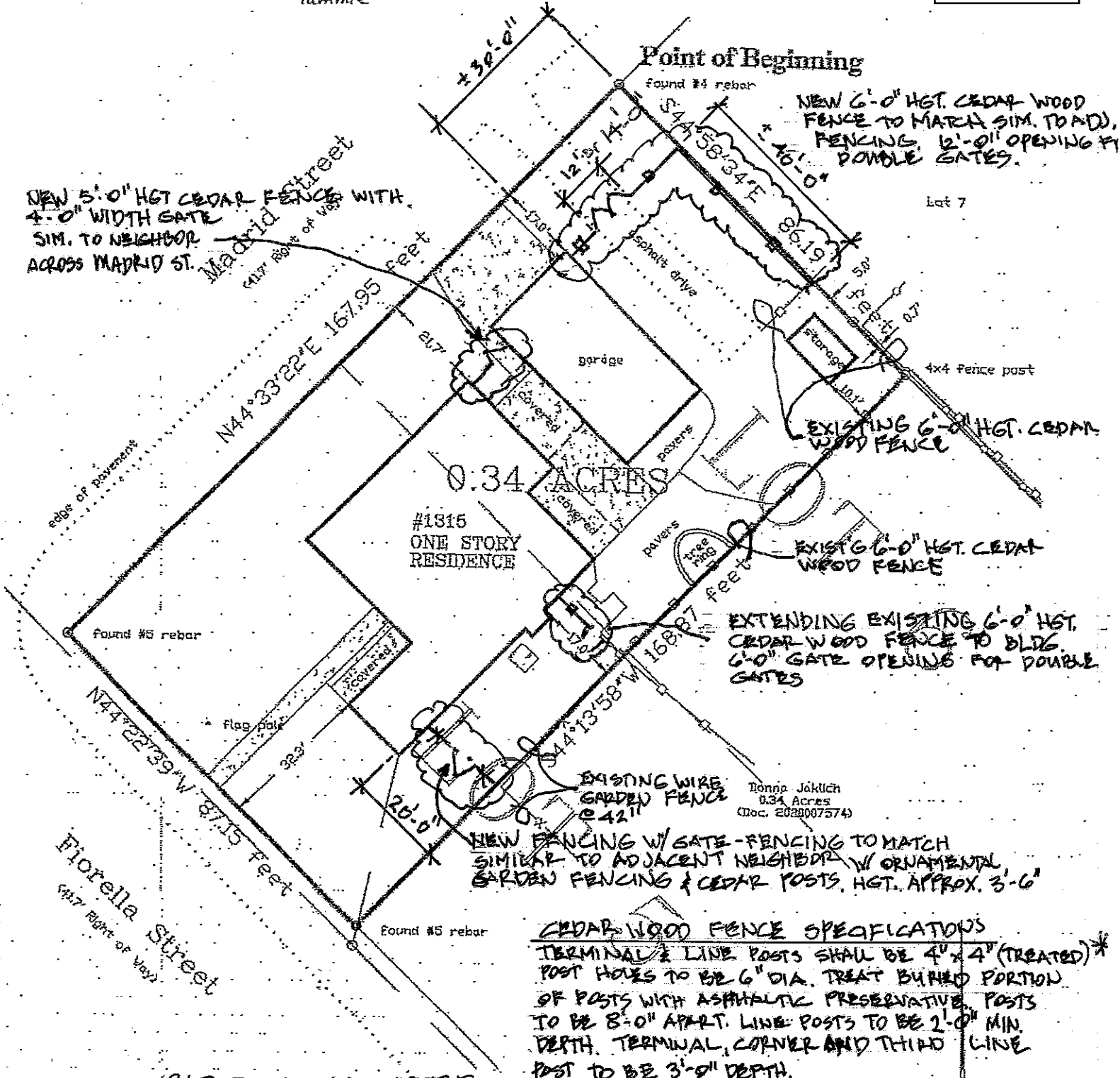
Owner Information		
Owner Name: <u>David &amp; Tammie Kopecki</u>		
Mailing Address: <u>604 Elm Street Floresville, TX, 78114</u>		
Phone: <u>210-219-4481</u>	Fax:	Email: <u>tdkopi.tk@gmail.com</u>

Project Description
<u>Additional Property Perimeter Fencing in Back</u>
<u>Misc. Interior Fencing Both Sides</u>

**Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.**

*I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.*

Signature of Applicant: Tammie Kopecki Date: 12-12-25



# 1315 FIORELLA STREET PROPOSED FENCING SITE PLAN

**CEDAR WOOD FENCE SPECIFICATIONS**  
 TERMINAL & LINE POSTS SHALL BE 4" x 4" (TREATED)\*  
 POST HOLES TO BE 6" DIA. TREAT BURIED PORTION  
 OF POSTS WITH ASPHALTIC PRESERVATIVE. POSTS  
 TO BE 8'-0" APART. LINE POSTS TO BE 2'-0" MIN.  
 DEPTH. TERMINAL, CORNER AND THIRD LINE  
 POST TO BE 3'-0" DEPTH.

**HARDWARE:** EACH WOOD GATE  
 SHALL HAVE 3 HEAVY DUTY  
 STRAP HINGES. PROVIDE 1/2" DIA.  
 DOWN ROD FOR INACTIVE LEAF  
 AND ENTRY LOCK HANDLE FOR ACTIVE  
 LEAF.

\* ALT: PIPE SAW, POSTS IN LINES OF 4" x 4" WOOD

N.T.S.  
 1x6 RED CEDAR OR ALASKAN WHITE  
 CEDAR BOARD TO BE VERTICAL  
 PROVIDE 4 HORIZONTAL 2x4  
 BOARDS (TREATED)





Section V, Item i.





# Agenda Report

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**Agenda of:** January 20, 2026  
**Department:** Community Development Director  
**Subject:** Discussion and Action – Selection of Workshop Topics and Scheduling

## TOPIC

Discussion and action on identifying priority discussion items for a Historic Landmark Commission workshop and setting a date for the workshop.

## BACKGROUND

The Historic Landmark Commission has previously expressed interest in holding a workshop to discuss broader policy, process, and code-related topics affecting historic preservation in Castroville. In October 2024, the Historic Preservation Officer provided a memorandum outlining potential discussion topics related to the Historic Preservation Code and Design Guidelines, including items that may inform future updates to the Unified Development Ordinance and associated guidelines.

A workshop would allow the Commission to review these and other topics in a non-action setting and provide input prior to any formal recommendations being brought forward.

## DISCUSSION ITEMS

During this agenda item, the Commission may:

- Identify and prioritize topics for a future workshop (e.g., historic overlay structure, design guidelines, review processes, definitions, mapping, or other policy considerations);
- Discuss the desired scope and format of the workshop; and
- Select a preferred date or date range for the workshop.

## ACTION REQUESTED

Provide direction on workshop discussion topics and take action to set a date for the Historic Landmark Commission workshop.

23 OCTOBER 2024 / MEMORANDUM

# Comprehensive Zoning Ordinance

## *Historic Preservation Code and Design Guideline Review*

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Breana,

Thank you for allowing me to give my feedback on the most recent, 2022 Comprehensive Zoning Ordinance (CZO), pertaining to items related to historic preservation. The purpose of this memorandum is to present considerations to the current code and Design Guidelines in order to help improve the proposed Unified Development Code that is currently being written by Simplectiy.Design. My findings and recommendations are as follows:

### CONSIDERATIONS

1. Currently Castroville's historic districts are codified through zoning (see CZO Amendment 2006 and CZO Amendment 2017). The historic districts consist of parcels that fall within the HE (*Historical District*) and CG (*Historic Central Business District*) districts. Typically, historic districts are created via overlays. Overlays are a zoning tool used to add additional regulations and standards to a base zone. Overlays can help protect the character of an area. They do not affect the uses allowed or prohibited on a property. The downfall of using base zoning to define historic districts is that if a property owner wants to rezone their property to something other than HE or CG, and if approved through the proper channels, the historic property can lose its historic preservation protection. ***It is recommended that historic districts be defined through overlays, atop base zoning, in the new UDO. This will allow for changes to base zoning while maintain the definition of the historic districts.***
2. Because Castroville's historic districts are codified through zoning, from my interpretation, the historic district boundaries can easily be altered through a simple zoning change. District boundaries are typically defined by streets, alleys, and property lines (CZO, Article I, Section 19). Article VIII, Section 3, of Castroville's CZO states:

The City Council may from time to time amend, supplement, or change by ordinance the boundaries of the districts or regulations herein. Before taking action on any proposed amendment, supplement or change, the City Council shall submit the same to the City Planning and Zoning Commission for its recommendation and report.

Of course, zoning changes must comply with a city's comprehensive plan (*Local Government Code, Title 7, Subtitle A, Subchapter A, Sec. 211.004*).



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23 October 2024  
Memorandum

Comprehensive Zoning Ordinance  
Historic Preservation Code and  
Design Guideline Review

Most of the future land use plan, shown in Castroville’s most recent 2016 Comprehensive/Master Plan (<https://www.castrovilletx.gov/2475/Comprehensive-Plan>) are shown as single-family land uses for HE zones and institutional, commercial/mixed use, and parks open space for CG zones, however *it is recommended that city staff consults with the City Attorney in order to determine if the proposed zoning change process complies with Castroville’s Comprehensive/Master Plan in the case that a property owner wants to be added or taken out of a historic district, or any district in that matter.*

- 3. In the CZO, Article IV, Section 2(A)(II)(5), the code defines a contributing structure as:

A structure that physically or historically contributes to the significance of a historic district.

Again, typically historic districts are created through overlays. Properties within these historic overlay districts have similar characteristics and meet a certain criterion, usually two or more, such as:

- History, heritage, and culture
- Historic context
- Significant persons
- Architecture
- Architect or master builder
- Unique visual features
- Archeological
- National and state recognition
- Historic education

Because Castroville’s historic districts are codified through zoning, there may be properties that meet this criterion, but have been left out of the historic district zoning boundaries. There are also properties that are within the historic district zoning boundaries, specifically on the edges, and do not meet this criterion. Although the zoning district characteristics are defined in the CZO, Article I, Section 17(4) and (6), *it is recommended that properties within these zoned historic district boundaries be surveyed to determine if they are contributing or non-contributing structures.* This is most likely a future and separate project for the city, since the historic districts take up a large geographical area of Castroville and could be done after new UDO is adopted.

- 4. Currently the CZO has a process for creating new historic districts but does not state the process to amend or re-evaluate historic district boundaries. *It is recommended that a section be written to address the process to amend existing historic boundaries, with guidance from the Texas Historic Commission.*

23 October 2024  
Memorandum

Comprehensive Zoning Ordinance  
Historic Preservation Code and  
Design Guideline Review

5. In the CZO, Article I, Section 8(43), the code refers to the Historic Landmark Commission (HLC) as the Historical District Board. This is the only instance in where the HLC is referred by this name, which is an older name given to the HLC. *It is recommended that the Historical District Board be changed to Historic Landmark Commission since that is the current name of the commission and is referred to this way in the rest of the code.*

6. In the CZO, Article II, Section 1, there is a misprint in the legend. The black box and the white box have the same description:

Designates use permitted in district indicated.

This causes confusion on what is permitted and not-permitted in, not only historic districts, but all zoning districts. *It is recommended that the legend be updated to symbolize what is NOT permitted vs what IS permitted.*

7. In the CZO, Article IV, Section 2(A) "alterations" and "material changes" are similar with overlapping definitions. However, they are used differently throughout the code, which can be confusing.

Alteration – any construction or change to the exterior of a building, site, or structure

Examples: changing to a different type, style, or size of roofing or siding materials; changing, eliminating, or adding doors, door frames, windows, window frames, shutter, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; dismantling, removing, or moving of any exterior features or demolition

Material changes – in exterior elements visible from a public right-of-way which affect the appearance or compatibility of any structure or property

Examples: doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, and paving

- A. *It is recommended that one or the other term be used, preferably alteration, to be consistent with the Texas Historic Commission terminology.* This eliminates the review authority of the HPO (see CZO, Article IV, Section 2(A)(II)(22)(a)(ii), but alterations would still be subject to HLC review.

8. In the CZO, Article IV, Section 2(A)(II)(7) "Design Guidelines" are defined as:

Guidelines which are adopted by the Historic Landmark Commission and guide property owners or residents to appropriate treatments to property designated as a historic landmark or within a landmark district.

23 October 2024  
Memorandum

Comprehensive Zoning Ordinance  
Historic Preservation Code and  
Design Guideline Review

- A. Because there are other “design guidelines” such as the Design Guidelines for Commercial Districts, also referred to design criteria, Building design guidelines, Landscaping design guidelines, and Highway 90 design guidelines, it is recommended that the term “Design Guidelines” be changed to “Overlay Design Guidelines for Historic Properties” as titled in Exhibit B of the CZO, Article IV, Section 2B.
  - B. It is recommended that the language be consistent throughout the code referring to which designated areas the Overlay Design Guidelines for Historic Properties apply to. Per CZO, Article IV, Section 2(A)(X)(B)(2), the guidelines apply to the historic landmarks and historic districts.
9. There are 3 terms that are used interchangeably: Historic District, Historic Overlay Zone, and Historic Landmark in the CZO, Article IV, Section 2(A)(II). Although Historic District and Historic Overlay Zone are accurately used, Historic Landmark is not. The code states:
- Historic landmark also referred to as a historic overlay zone, means a building, structure or site which satisfies two or more of the criteria set out in CZO, Article IV, Section 2, Subsection A (V) and which is designated as such in accordance with that section.

A landmark is typically a stand alone building or site, whereas an overlay zone is a district with multiple buildings or sites that often contain groups of landmarks. It is recommended that the definition for Historic Landmark be updated.

- 10. In CZO, Article IV, Section 2(A)(VI)(1), the code states:

The Letter "H" shall indicate the historic zoning overlay designation of those historic landmarks and districts which the City Council has designated. Such designation shall be in addition to any other zoning district designation established in the Comprehensive Zoning Ordinance. All zoning district maps shall reflect the designation of historic landmarks and/or districts by the letter "H".

Currently, the zoning district map <https://castrovilletx.gov/DocumentCenter/View/1201/Zoning-District-Map-PDF> and GIS maps <https://gissolutions.half.com/portal/apps/sites/#/castroville/apps/2d20f05f53ac42c7b9f0e4b6e53ce0b8/explore> do not show an “H” on the current historic districts or landmarks. This may cause confusion to property owners on which sites are within the historic districts. It is recommended that the zoning maps be updated to be consistent with the CZO language.

23 October 2024  
Memorandum

Comprehensive Zoning Ordinance  
Historic Preservation Code and  
Design Guideline Review

11. In CZO, Article IV, Section 2(A)(VI)(2), the code states:

Historic landmark and district applications and/or requests may be initiated by the owner of the property(s) or his/her authorized representative, or the City Council, Historic Landmark Commission or Planning and Zoning Commission may direct the Historic Preservation Officer to initiate such a request on behalf of the city.

To my knowledge, there is no historic landmark and district application. *It is recommended that this be created in order to abide by the current code.*

12. The HLC currently has powers to move forward with a demolition by neglect procedure to save historic properties that are at risk of deterioration that can be fatal to the property or structure (CZO, Article IV, Section 2(A)(IX)). However, the city may not have any resources that would help the property owner to improve their property. *It is recommended that such resources are obtained with the help of the THC in order to properly preserve such properties within the historic districts.*

13. The Overlay Design Guidelines for Historic Properties is a great resource that property owners within historic districts can use to determine what alterations, additions, demolition and new construction is acceptable and recommended, however this document was written almost 10 years ago and does not include modern trends that exist in 2024. *It is recommended that this document be updated to include contemporary practices and guidelines* for items such as:

- a. The incorporation of passive systems on historic properties (solar panels, rain water harvesting systems, etc.)
- b. The use of recycled materials
- c. The preservation of heritage trees

14. According to the CZO, Article V, Section 2(3), the CG zoning district is exempt from the following:

- a. Section 3: Off-Street Parking – Design and Construction Standards, J. Landscaping
- b. Section 8: Off-Street Loading Requirements for Non-Residential Properties

The intention may be to not require parking for these properties, however, this also unintentionally exempts properties in the CG zoning district from complying with design and landscaping requirements. *It is recommended that regulations be developed for parking lots which incorporate landscaping that is compatible with the historic district.*

15. It is recommended that the new UDO keeps the Table of Requirements found in the CZO, Article III, Section 1, showing height, yard, lot area width, and lot depth regulations within the historic districts, or something similar to this. This can also be added in the “Historic Preservation” section of the code.

23 October 2024

**Memorandum**

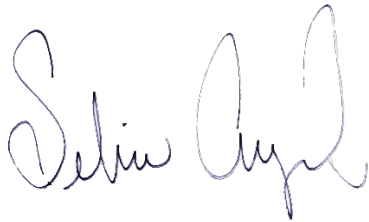
Comprehensive Zoning Ordinance  
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16. It is recommended that the language in CZO, Article IV, Section 2(A)(III)(7) be kept to eliminate confusion between historic districts and a historic overlay zone.
17. It is recommended that the language in CZO, Article IV, Section 2(A)(VII)(2) be kept to eliminate work on city staff and streamline the process for requests regarding routine maintenance.

If you have any other questions in regards to the information above, or have additional questions, please feel free to reach out.

As stated, these are my recommendations and should be reviewed by the City Attorney to confirm that these recommended changes are feasible.

Thank you again for allowing me to give my feedback and please reach out if you have any questions!



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop