



Historic Landmark Commission Special Called Meeting Agenda

COUNCIL CHAMBERS - 1209 FIORELLA STREET

Wednesday, December 17, 2025

6:30 PM

The Historic Landmark Commission of the City of Castroville will meet in the Special Called Meeting beginning at 6:30 p.m. in the Council Chambers at City Hall on the following items listed on the agenda.

I. Call to Order

II. Roll Call

III. Citizen Comments

The Board will hear comments from any citizen or visitor. Speakers must address their comments to the presiding officer rather than individual board members or staff; stand at the podium, speak clearly into the microphone and state your name residential address before speaking. Speakers will be allowed a maximum of 3 minutes for testimony. In accordance with the State Open Meetings Act, the Board is restricted from discussing or taking action on items not listed on the agenda. Action can only be taken at a future meeting.

IV. Approval of Minutes

[a.](#) Minutes for November 18, 2025.

[b.](#) Minutes for October 21, 2025.

V. Discussion and Action Items

[a.](#) Discussion and action on a Certificate of Appropriateness for 702 Paris St.

[b.](#) Discussion and action on a Certificate of Appropriateness for 505 Houston.

[c.](#) Discussion and action on a Certificate of Appropriateness for 1109 Fiorella.

[d.](#) Discussion and action on a Certificate of Appropriateness for 501 Vienna.

[e.](#) Discussion and action on a Certificate of Appropriateness for 902 London.

[f.](#) Discussion and action on a Certificate of Appropriateness for 405 Paris.

[g.](#) Discuss whether the HLC should adopt a timeline or deadline for completing approved work.

[h.](#) Discuss options for monitoring projects to ensure work aligns with approved plans.

- i. Discuss whether the Commission would like to begin the process of updating the outdated design guidelines.
- j. Discuss how to treat noncontributing structures that have now aged into potential eligibility.
- k. Discussion about Code Compliance Issues.
- l. Discuss and set a date for a joint workshop with City Council.

VI. Discussion on Future Agenda Items

VII. Adjourn

Accessibility Statement

The City Hall is wheelchair accessible. The exit and parking ramps are located at the rear of the building.

Non-Discrimination Statement

The City of Castroville does not discriminate on the basis of race, color, national origin, sex, religion, or disability in the employment or the provision of services.

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, Castroville, Texas on December 10, 2025 before 5:00 p.m.

/s/ Debra Howe

City Secretary

HISTORIC LANDMARK COMMISSION

Meeting Minutes for November 18,2025

- 1 Called to Order at 6:35 P.M.
- 2 . Roll Call: Present:, Lori Marchman, Ky ;e McVay, Doug DeMino., Jeff Gardner, Mary King, HPO Selena Angel & liaison
- 3 Citizen's Comments – Houston Marchman – put a timeline cap on Project Renovation.
- 4 Minutes from October 21, 2025, Tabled
- 5 **A 905 Lisbon. -Discussion and Appropriate action on a request for a Certificate of Appropriateness for the restoration of the original Pioneer home plus the addition of additional structures, All COA ordinances requirements have been met. Motion included : Keep front rafters, transformer, stucco front & west side of connectors, add muntins to front window. Additions were incorporated in consideration of keeping large pecan tree and old original well. Motion made by Mary K.-2nd by Kyle M. passed**
C, Up date on current code compliance and enforcement
No Updates available – item tabled
6. Adjourned at 7:21

Submitted by : Kyle McVay – Secretary

Approved by Chair –Jeff Gardner_____

HISTORIC LANDMARK COMMISSION

Meeting Minutes for October 21,2025

- 1 Called to Order at 6:30 P.M.
- 2 . Roll Call: Present: Priscilla Garrett, Lori Marchman, Ky ;e
McVay, Doug DeMino., Jeff Gardner, Mary King, HPO Selena
Angel & liaison Phil King.
- 3 Citizen's Comments – None.
- 4 Approval of Minutes for August 19, 2025, passed
- 5 **A. 616 LaFayette – No Action was taken. The property in
question was one of seven properties removed from the
Historic District. The Board would have approved the
requested restoration.**
**B. 1715 Amelia -Discussion and Appropriate action on a
request for a Certificate of Appropriateness for the
restoration of the original Pioneer home plus the addition
of additional structures, All COA ordinances requirements
have been met. Motion by Mary K.-2nd by Kyle M. passed**
C, Up date on current code compliance and enforcement

**D, 1302 Fiorella – Discussion and Appropriate action on
Request to replace 2 doors, replace wooden handrail, exterior
lighting above customer entrance. The doors had already been**

replaced before coming to HLC, The Board's recommendation was to add Muntin's to the glass panels to match the style of the existing transoms and windows ensuring compatibility with the building's historic character. Motion to approved – passed.

E, Potential buyers of Historic properties for sale needed to be notified of Guidelines for Historic Properties before buying. This can be done through the Title company, Realtor, or the City of Castroville

F .Update on the THC First Street Initiative, by Selena.

We are applying – Selena primary, Priscilla secondary.

6. Future Agenda items

7. Adjourned at – 7:17pm

Submitted by : Kyle McVay – Secretary

Approved by Chair – Priscilla Garrett_____



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Certificate of Appropriateness – 702 Paris Street

Applicant

Castroville Catholic Middle & High School

Representative: Brook Rothe

Zoning / Historic Status

- **Zoning:** Historic Estate (HE)
- **Year Built:** ca. 1900
- **Historic Surveys:** THC 1969 Survey; THC 2002 Resource
- **Architectural Style:** Center Passage Residential

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure at 702 Paris Street. Proposed work includes porch and balcony elements, door and window changes, siding and wall surface work, exterior paint, roofing components, fencing, and associated site features.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all COA submission requirements**.

The HPO recommends approval **with conditions**, including but not limited to the following key items:

- Removal of decorative porch and balcony brackets to avoid creating a false sense of historic character.
- Construction of porch floors in wood rather than concrete; simplified stair design.
- Retention of the existing second-story rear door and transom; no replacement with a window.
- Preservation of historic doorframes unless ADA requirements necessitate modification.
- Use of appropriate mortar and plaster materials for stone and stucco repairs.
- Submission of a complete exterior paint color schedule using historically appropriate colors.
- Confirmation of standing seam metal roof colors.
- Fence heights that complement the historic structure, with lower heights in the front yard.
- Correction of zoning designation on the COA application to HE.
- Future HLC review required for any landscaping not included in the current submittal.

A written response letter addressing all HPO comments is required with revised plans.

Staff Recommendation

Approve the Certificate of Appropriateness for 702 Paris Street, subject to the conditions outlined in the Historic Preservation Officer's Letter of Recommendation dated December 2, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 702 Paris Street, subject to the conditions as discussed.



CITY OF CASTROVILLE

Little Alsace of Texas

Section V, Item a.

Permit Number: 2025304

Submittal Date: 11/25/2025

office use only

Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov

Certificate of Appropriateness Application

Property Information	
Project Address: 702 Paris street	Zoning: C-G
Legal Description: Lot 1-8 Block 7 Range 6	Subdivision
Landmark Name: Moye	

Owner Information	
Owner Name: Castroville Catholic Middle & High School	
Mailing Address: PO Box 291	
Phone: 830-426-6502	Email: moyeschoolcastroville@gmail.com

Project Description
Renovation of 2 story rock building on the west half of the Moye Convent property. Restore to original parish exterior and use for a schoolhouse.

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant: Lance Holtz Date: 11-21-2025

AFFIDAVIT OF AUTHORIZATION
STATE OF TEXAS
COUNTY OF MEDINA

BEFORE ME, the undersigned authority, on this day personally appeared Brooke Rothe, who being by me duly sworn, deposed and said:

- 1. My name is Brooke Rothe, and I am a duly authorized representative of Castroville Catholic Middle & High School, located at 702 Paris Street, Castroville, Texas 78009.
- 2. I am competent to make this affidavit and have personal knowledge of the facts stated herein.
- 3. I hereby authorize Lance Rothe to act on behalf of the Castroville Catholic Middle & High School in all matters related to the certificate of appropriateness currently being submitted to the City of Castroville.
- 4. This authorization includes, but is not limited to, attending meetings, submitting documents, and communicating with relevant officials regarding the zone change request.
- 5. This affidavit is made for the purpose of confirming said authorization and may be presented to any relevant authority as evidence thereof.

FURTHER AFFIANT SAYETH NOT.

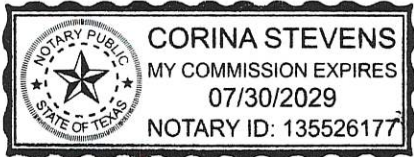
Brooke Rothe

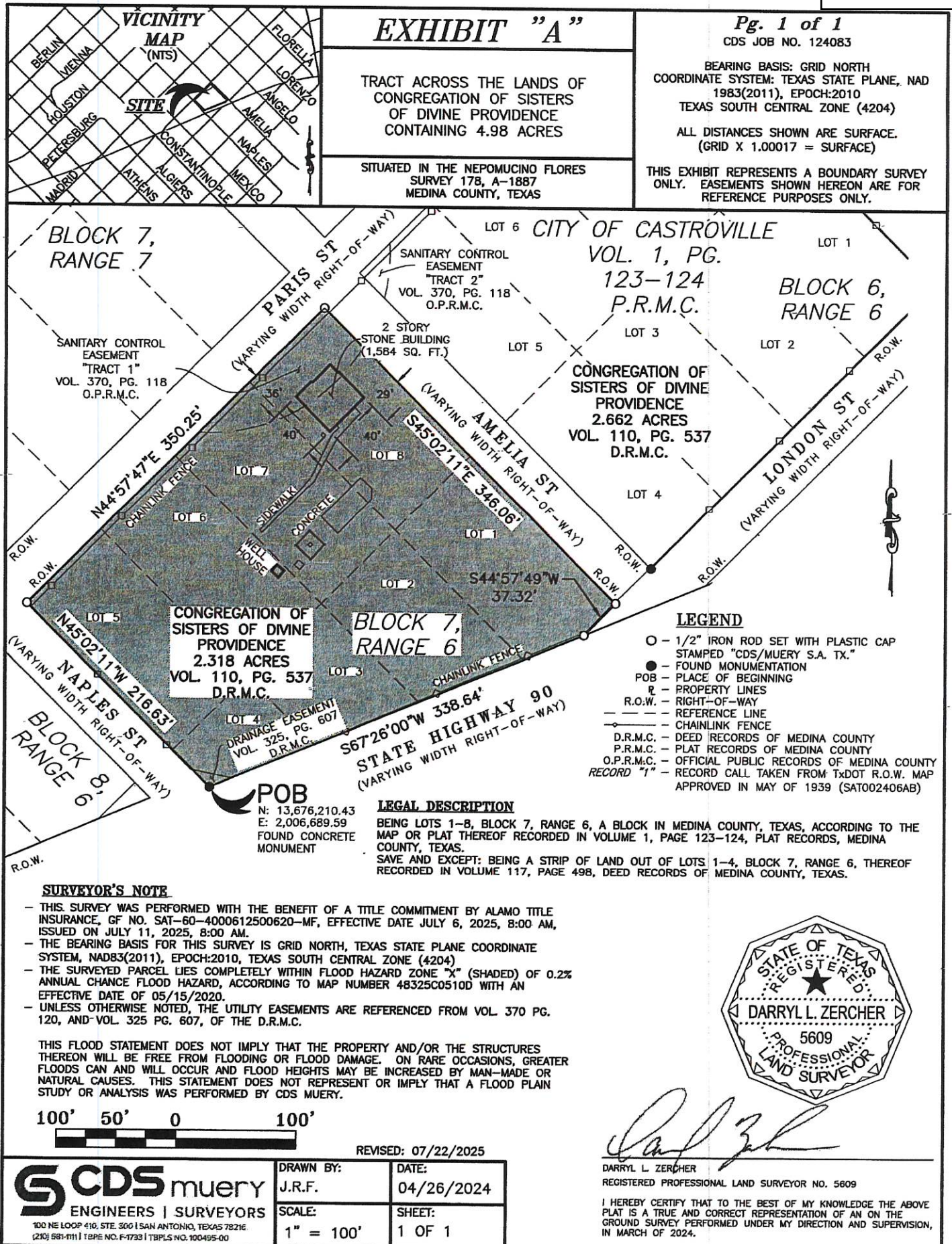
Brooke Rothe, Director, Castroville Catholic Middle & High School

SWORN TO AND SUBSCRIBED BEFORE ME on this 21 day of NOV, 2025, by Brooke Rothe, who is personally known to me or has produced identification.

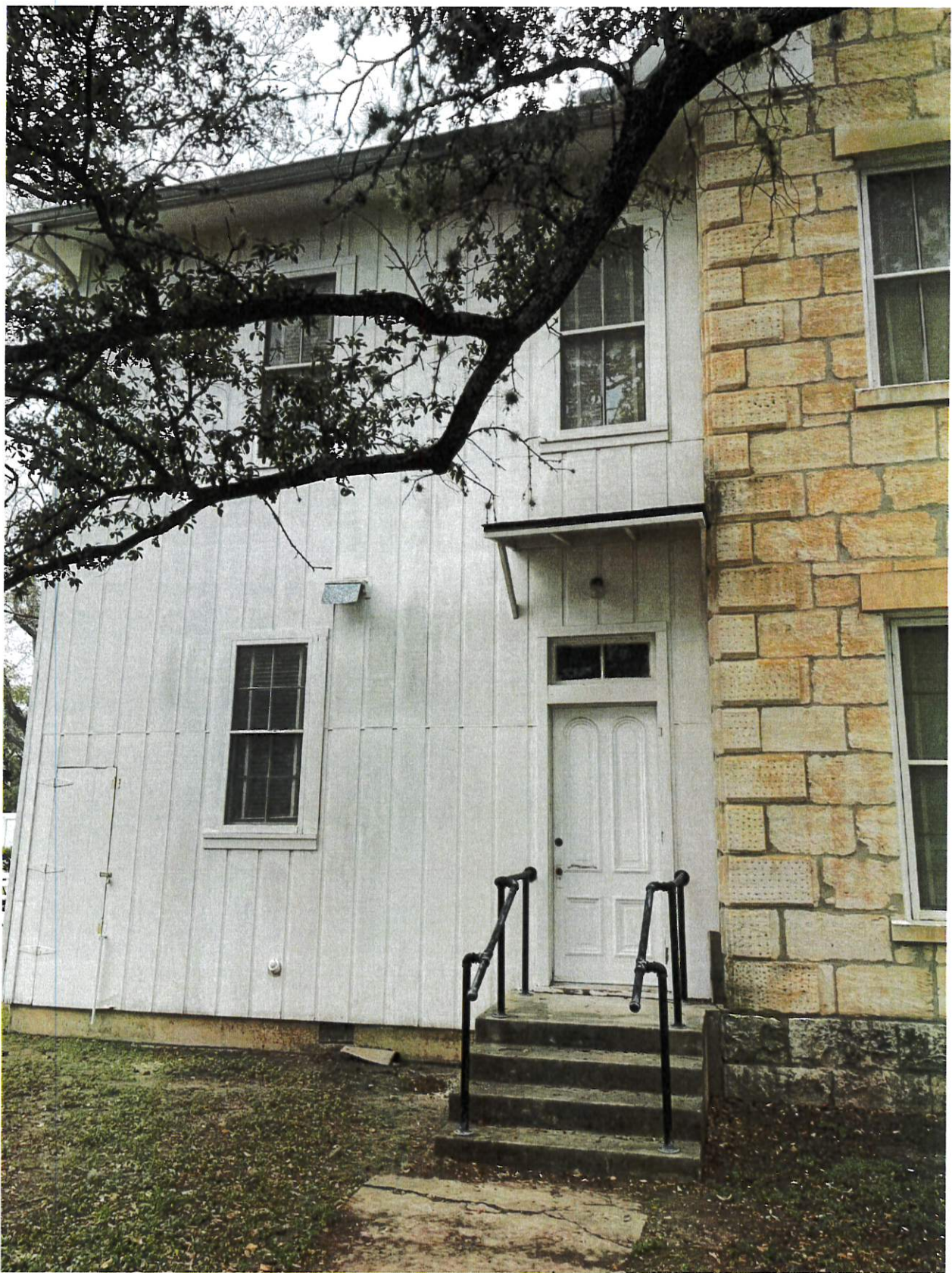
Corina Stevens

Notary Public, State of Texas
My Commission Expires: 7/30/29











BLESSED FATHER
STOUFFIE
CATHOLIC SCHOOL



Studio E
2222 N. GARCIA & PUGH ST. E.C.
WINTER SPRING
TX 77375-3307

CASTROVILLE CATHOLIC SCHOOL

702 PARIS ST, CASTROVILLE, TX

THE ARCHITECT HAS PREPARED THESE DRAWINGS FOR THE PROJECT OF CASTROVILLE CATHOLIC SCHOOL. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE SITE OR THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS.

INDEX OF DRAWINGS

CIVIL

C1.0 UTILITY SITE PLAN

STRUCTURAL

S.01 GENERAL NOTE AND SPECIAL INSTRUCTION
S.02 FOUNDATION PLAN
S.03 FLOOR PLAN
S.04 ROOF TRUSSING PLAN
S.05 FOUNDATION DETAILS
S.06 FLOOR DETAILS

ARCHITECTURAL

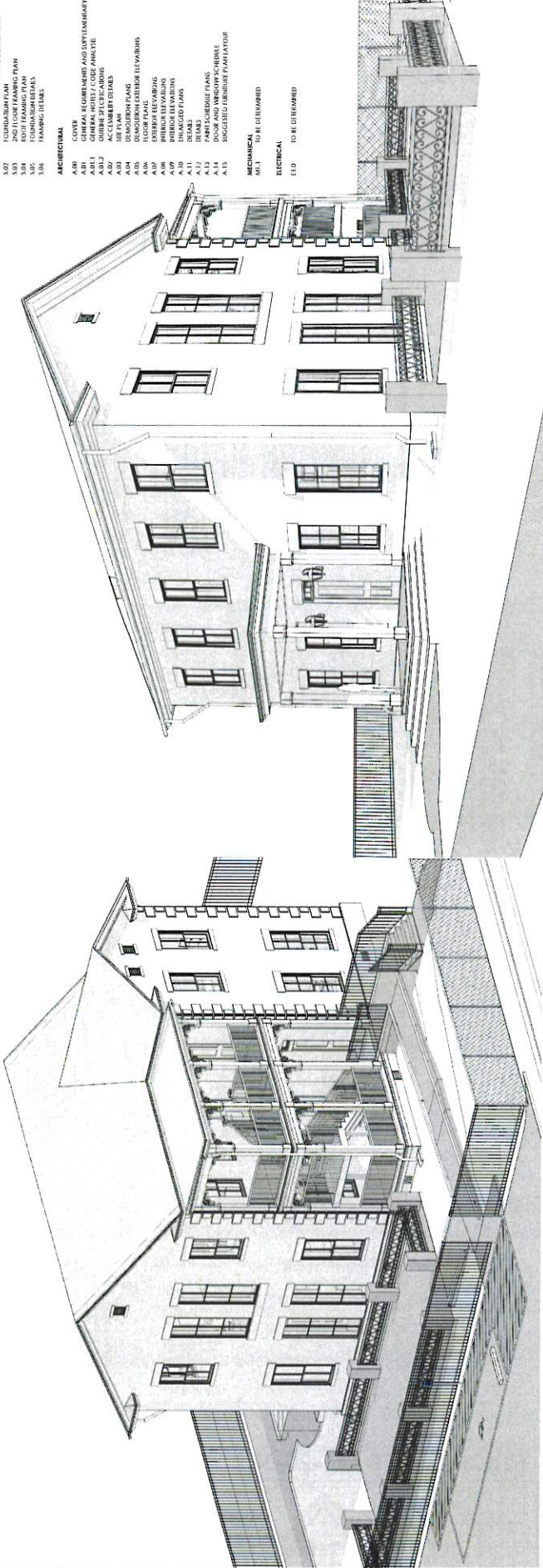
A.00 COVER
A.01 EXTERIOR ELEVATIONS AND SUPPLEMENTARY CONSTRUCTIONS
A.01.1 GENERAL NOTES / CODE ANALYSIS
A.01.2 EXTERIOR SPECIFICATIONS
A.02 INTERIOR ELEVATIONS
A.03 SITE PLAN
A.04 DEMOLITION PLAN
A.05 EXTERIOR ELEVATIONS
A.06 FLOOR PLAN
A.07 EXTERIOR ELEVATIONS
A.08 INTERIOR ELEVATIONS
A.09 INTERIOR ELEVATIONS
A.10 ENLARGED FLOOR
A.11 DETAILS
A.12 DETAILS
A.13 PART SCHEDULE PLANS
A.14 EXTERIOR ELEVATIONS
A.15 EXTERIOR ELEVATIONS

MECHANICAL

M.01 TO BE DETERMINED

ELECTRICAL

E.01 TO BE DETERMINED



Section V, Item a.

PRICING SET - 11-20-25

CASTROVILLE CATHOLIC MIDDLE & HIGH SCHOOL

CASTROVILLE, TX 78009
PO BOX 291
E. kemp@studio-e.com
CONTACT: Joshua Kempf

MEP

MEP Engineering
1335 Fawcett Way Suite 200 San Antonio, TX 78222
P: 210.341.1111
E: info@mepe.com
CONTACT: Vito Venturini, Matthew S. Dean, Dylan R. Moody

STRUCTURAL ENGINEER

Structural Engineering
1335 Fawcett Way Suite 200 San Antonio, TX 78222
P: 210.341.1111
E: info@mepe.com
CONTACT: Vito Venturini, Matthew S. Dean, Dylan R. Moody

ARCHITECT

Studio E Architects & Interiors, Inc.
1335 Fawcett Way Suite 200 San Antonio, TX 78222
P: 210.341.1111
E: info@studio-e.com
CONTACT: Joshua Kempf, Matthew S. Dean, Dylan R. Moody

CIVIL

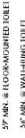
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E: info@studio-e.com
CONTACT: Joshua Kempf, Matthew S. Dean, Dylan R. Moody

1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION. BASED ON DISCOVERY.



BACKGROUND COLOR - Fumica B77 - 58 - White Wax MA 3
TEXT COLOR - Bright White
LINE COLOR - Painted Bright White
EDGE COLOR - Paint in White
RABBIT TEST FORM - Helicella 721 Upper Case Only
SEC. CONTRAST TEST FORM - Helicella Medium and Helicella Medium
condensed as required
MONITORING - 3M VHS - 3M VHS from tape / SEC

1. SIGNAGE TACTIC CHARACTERS AND MOUNTING PLACEMENT SHALL COMPLY WITH LATEST ISSUES IAS 212 SIGNAGE AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAS).
2. CONTRASTIVE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
3. PROVIDE SIGNAGE SCHEDULE, PROVIDE SUFFICIENT INFORMATION TO COMPLY BETTER EACH SIGN FOR IDENTIFICATION, INCLUDING ROOM NUMBER, ROOM NAME, OTHER TEXT TO BE APPLIED, SIGN AND LETTER SIZE, FONT, AND COLOR. OTHER TEXT TO BE APPLIED, SIGN AND LETTER SIZE, FONT, AND COLOR. OTHER TEXT TO BE APPLIED, SIGN AND LETTER SIZE, FONT, AND COLOR.
4. PROVIDE SAMPLE FOR COLORS AND LETTERING FOR APPROVAL PRIOR TO ORDERING.



NOTE:
CONTRACTOR TO COMPLY WITH ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS) IN ADDITION TO TAS/ADA REQUIREMENTS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.

[illegible]

NOT TO SCALE

NOT FOR CONSTRUCTION

11/20/25

Studio E
ARCHITECTS, PLLC
111025 CURRENT - DEMOLITION
702 PARIS ST. CASTROVILLE, TX

CASTROVILLE CATHOLIC SCHOOL
702 PARIS ST. CASTROVILLE, TX

JO: NO. Project Number
BY: Author
DATE: 11/20/25
ISSUE: REVISION:
No. Date

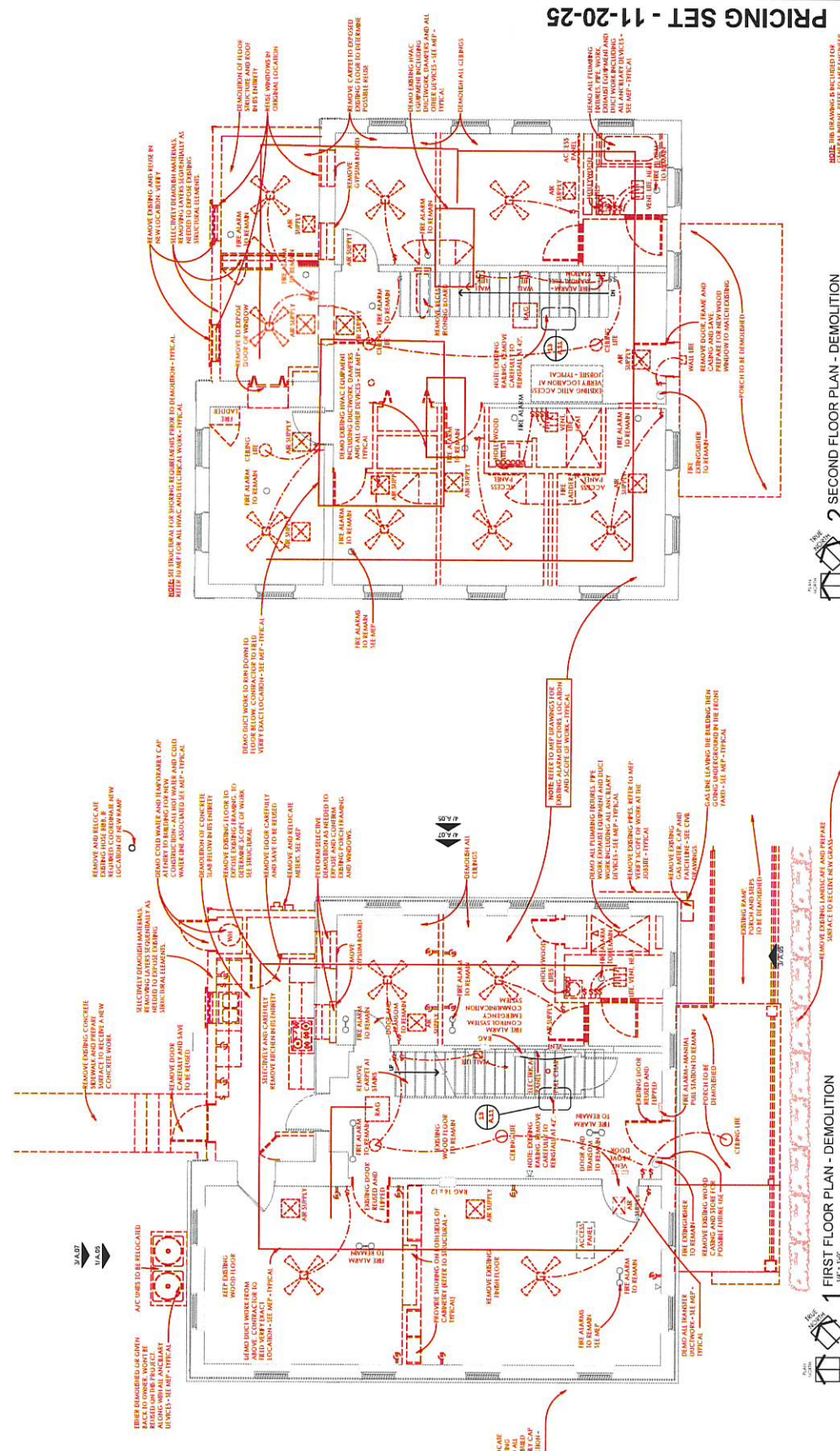
Section V, Item a.

A

11/20/25
SHEET TITLE
DEMOLITION BLANS

NOTES:

1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. DIMENSIONS OF EXISTING CONDITIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT, ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.



PRICING SET - 11-20-25

2 SECOND FLOOR PLAN - DEMOLITION
11' x 12'

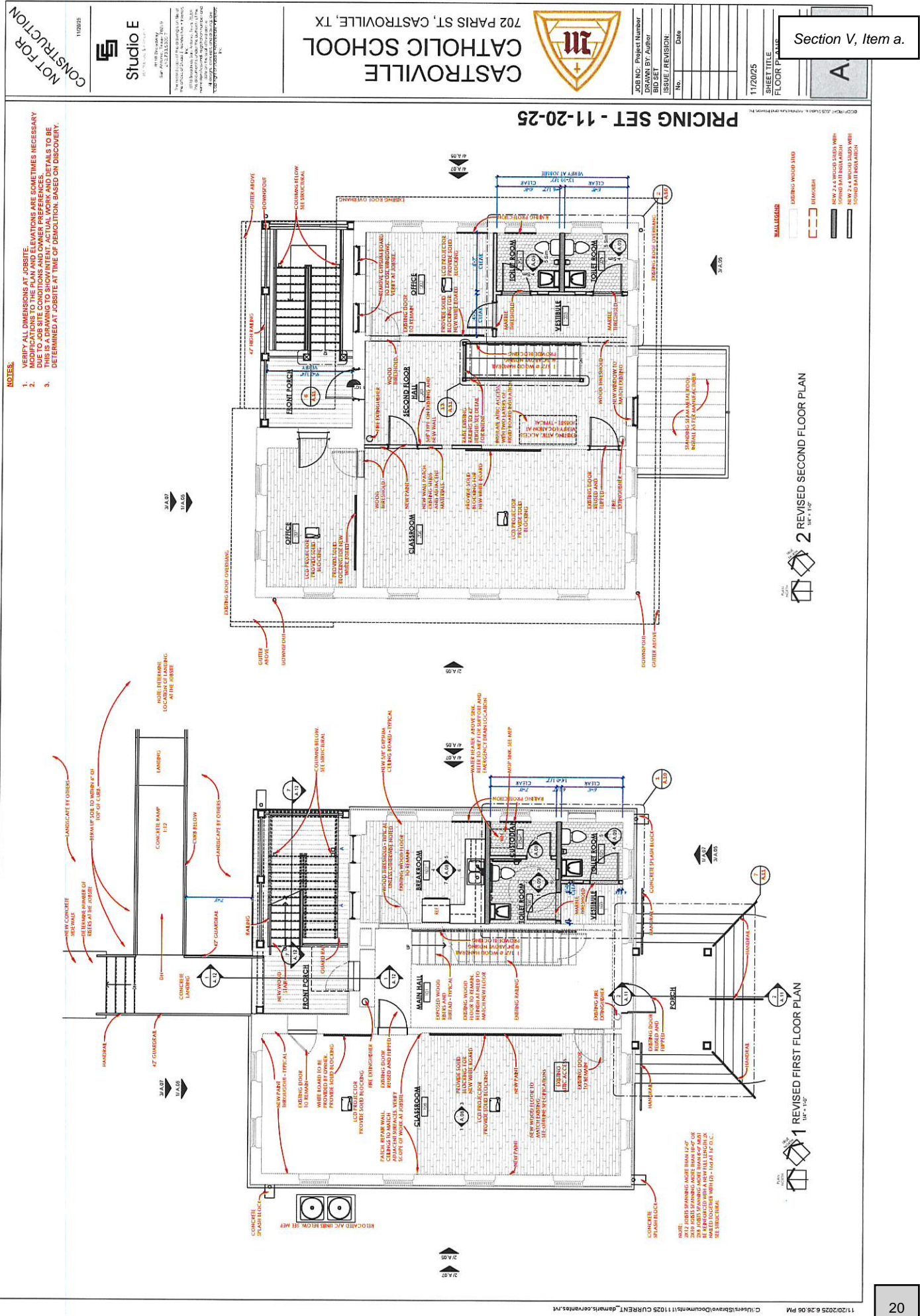
1 FIRST FLOOR PLAN - DEMOLITION
11' x 12'

LEGEND:

- EXISTING WOOD FLOOR
- DEMOLITION
- NEW 3/4" WOOD FLOOR WITH SOUND AND INSULATION
- NEW 3/4" WOOD FLOOR WITH SOUND BATT INSULATION

NOTES:

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AT THE JOBSITE PRIOR TO BEGINNING WORK. DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS ARE TO BE RESOLVED AT THE JOBSITE.
2. DIMENSIONS OF EXISTING CONDITIONS ARE TO BE VERIFIED AT THE JOBSITE.
3. CONTRACTOR TO PROVIDE EXISTING FLOOR TO REMAIN, WOOD AND CONCRETE.
4. DIMENSIONS SHOWN ON DRAWINGS ARE FOR EXISTING ONLY AND MAY VARY AT JOBSITE.
5. CONTRACTOR TO PROVIDE EXISTING FLOOR AND INSULATION ATTACHED TO EXISTING FLOOR.



NOT FOR CONSTRUCTION

11/20/25

Studio E

Architectural Firm
11025 CURRENT DAMARIS, CASTROVILLE, TX 78747
Tel: 512.444.1102
Fax: 512.444.1103
www.studioe.com

CASTROVILLE
CATHOLIC SCHOOL
702 PARIS ST, CASTROVILLE, TX

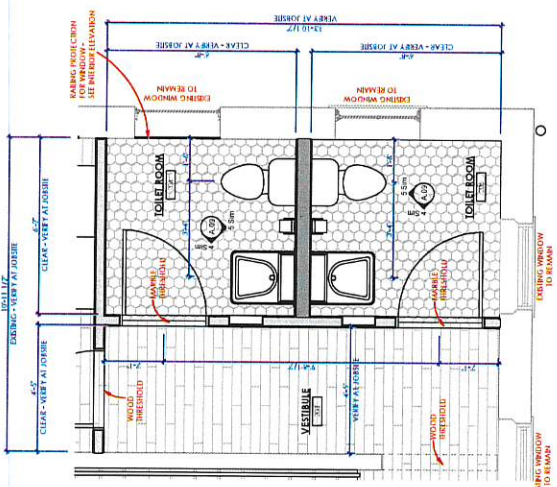


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No.	Date

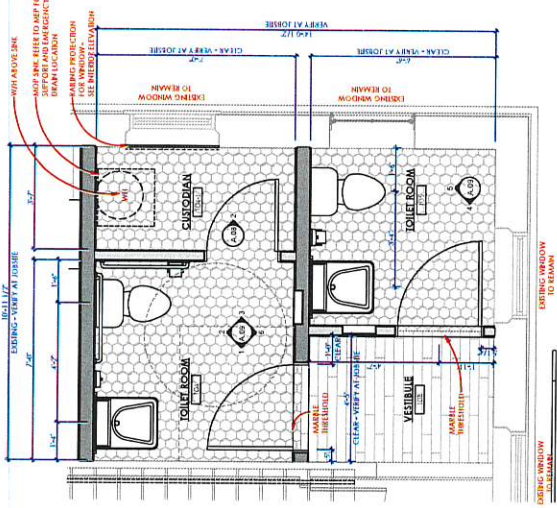
11/20/25
SHEET TITLE
ENLARGED

Section V, Item a.

- NOTES:
1. VERIFY ALL DIMENSIONS AT JOBSITE.
 2. INDICATE ANY CHANGES TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO FIELD CONDITIONS. THIS IS A DRAWING TO SHOW INTENT, ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.
 - 3.



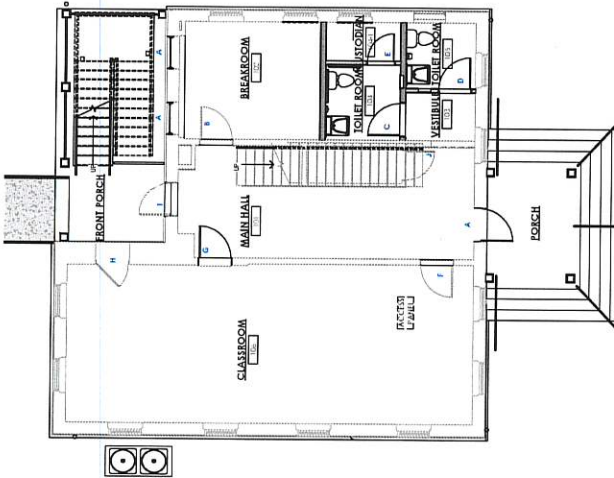
SECOND FLOOR - TOILET ROOM -
ENLARGED PLAN
1/2" = 1'-0"



FIRST FLOOR TOILET ROOM -
ENLARGED PLAN
1/2" = 1'-0"

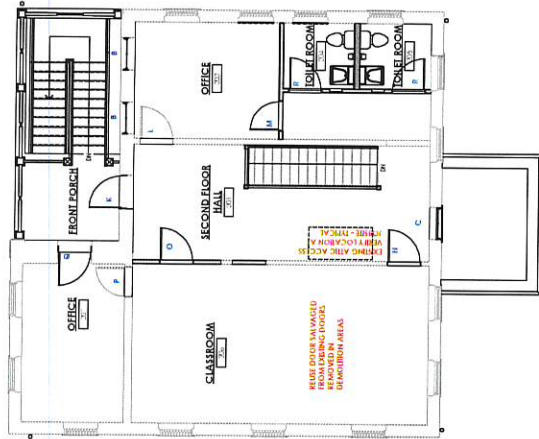
- LEGEND
- EXISTING WINDOW
 - EXISTING WINDOW
 - NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION
 - NEW 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION

- NOTES:
1. VERIFY ALL DIMENSIONS AT JOBSITE.
 2. VERIFY ALL CONDITIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.
 - 3.



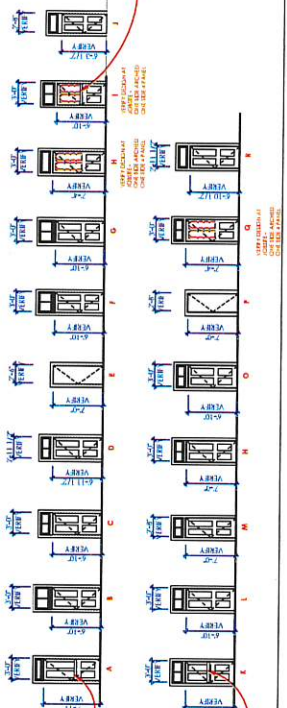
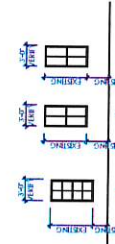
1 FIRST FLOOR DOOR AND WINDOW SCHEDULE
3/16" x 1/8"

DOOR SCHEDULE			
ITEM NAME	WIDTH	HEIGHT	TO ROOM
A 1-11	3'-0"	7'-0"	MAIN HALL
B 1-11	3'-0"	6'-6"	MAIN HALL
C 1-11	3'-0"	6'-6"	MAIN HALL
D 1-11	3'-0"	6'-6"	MAIN HALL
E 1-11	3'-0"	6'-6"	MAIN HALL
F 1-11	3'-0"	6'-6"	MAIN HALL
G 1-11	3'-0"	6'-6"	MAIN HALL
H 1-11	3'-0"	6'-6"	MAIN HALL
I 1-11	3'-0"	6'-6"	MAIN HALL
J 1-11	3'-0"	6'-6"	MAIN HALL
K 1-11	3'-0"	6'-6"	MAIN HALL
L 1-11	3'-0"	6'-6"	MAIN HALL
M 1-11	3'-0"	6'-6"	MAIN HALL
N 1-11	3'-0"	6'-6"	MAIN HALL
O 1-11	3'-0"	6'-6"	MAIN HALL
P 1-11	3'-0"	6'-6"	MAIN HALL
Q 1-11	3'-0"	6'-6"	MAIN HALL
R 1-11	3'-0"	6'-6"	MAIN HALL
S 1-11	3'-0"	6'-6"	MAIN HALL
T 1-11	3'-0"	6'-6"	MAIN HALL
U 1-11	3'-0"	6'-6"	MAIN HALL
V 1-11	3'-0"	6'-6"	MAIN HALL
W 1-11	3'-0"	6'-6"	MAIN HALL
X 1-11	3'-0"	6'-6"	MAIN HALL
Y 1-11	3'-0"	6'-6"	MAIN HALL
Z 1-11	3'-0"	6'-6"	MAIN HALL



2 SECOND FLOOR DOOR AND WINDOW SCHEDULE
3/16" x 1/8"

WINDOW SCHEDULE			
ITEM NAME	WIDTH	HEIGHT	COMMENT
A 1-11	3'-0"	7'-0"	MAIN HALL
B 1-11	3'-0"	6'-6"	MAIN HALL
C 1-11	3'-0"	6'-6"	MAIN HALL
D 1-11	3'-0"	6'-6"	MAIN HALL
E 1-11	3'-0"	6'-6"	MAIN HALL
F 1-11	3'-0"	6'-6"	MAIN HALL
G 1-11	3'-0"	6'-6"	MAIN HALL
H 1-11	3'-0"	6'-6"	MAIN HALL
I 1-11	3'-0"	6'-6"	MAIN HALL
J 1-11	3'-0"	6'-6"	MAIN HALL
K 1-11	3'-0"	6'-6"	MAIN HALL
L 1-11	3'-0"	6'-6"	MAIN HALL
M 1-11	3'-0"	6'-6"	MAIN HALL
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P 1-11	3'-0"	6'-6"	MAIN HALL
Q 1-11	3'-0"	6'-6"	MAIN HALL
R 1-11	3'-0"	6'-6"	MAIN HALL
S 1-11	3'-0"	6'-6"	MAIN HALL
T 1-11	3'-0"	6'-6"	MAIN HALL
U 1-11	3'-0"	6'-6"	MAIN HALL
V 1-11	3'-0"	6'-6"	MAIN HALL
W 1-11	3'-0"	6'-6"	MAIN HALL
X 1-11	3'-0"	6'-6"	MAIN HALL
Y 1-11	3'-0"	6'-6"	MAIN HALL
Z 1-11	3'-0"	6'-6"	MAIN HALL



Section V, Item a.

NOT FOR CONSTRUCTION

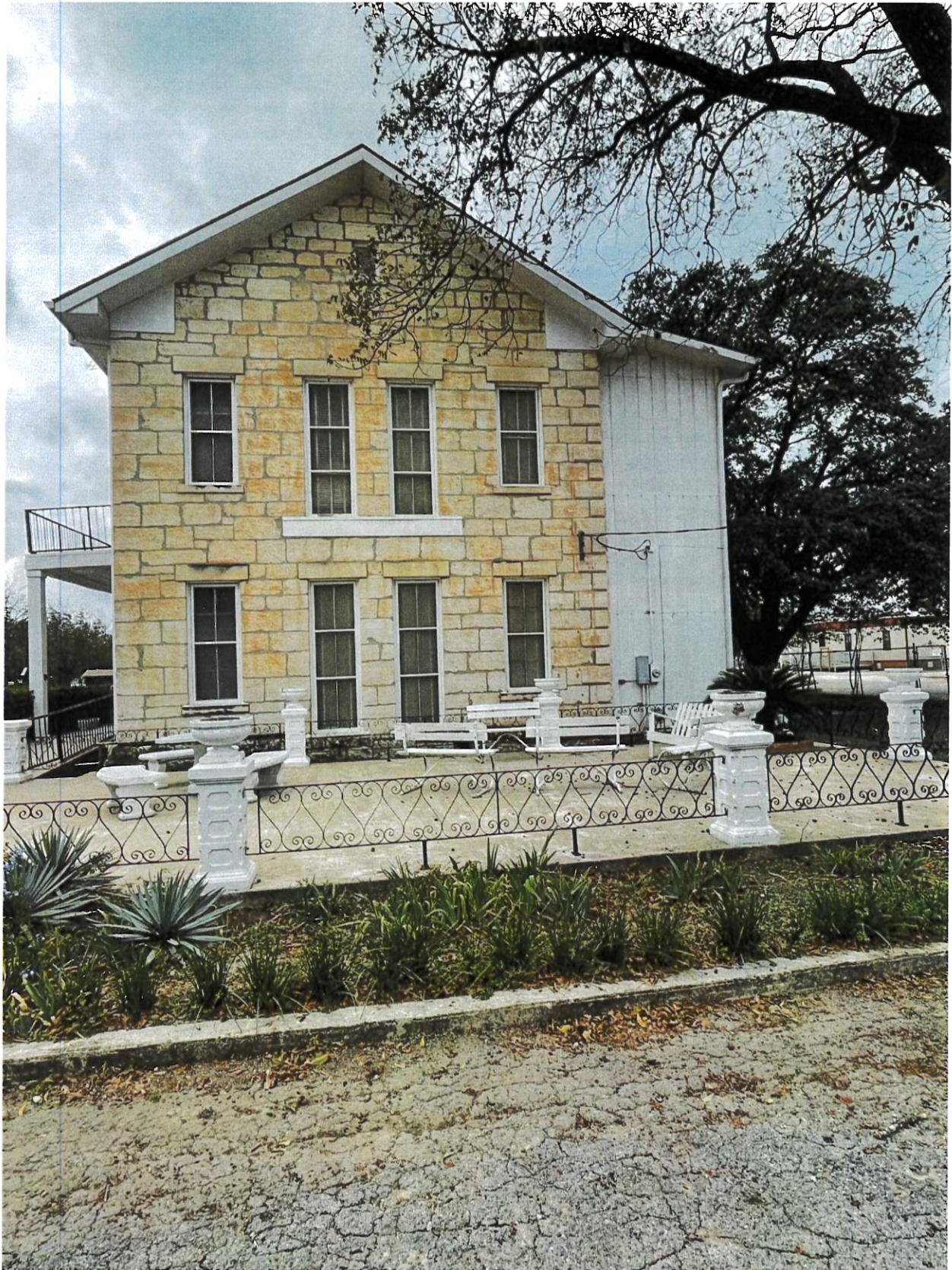
Studio E
11/20/25

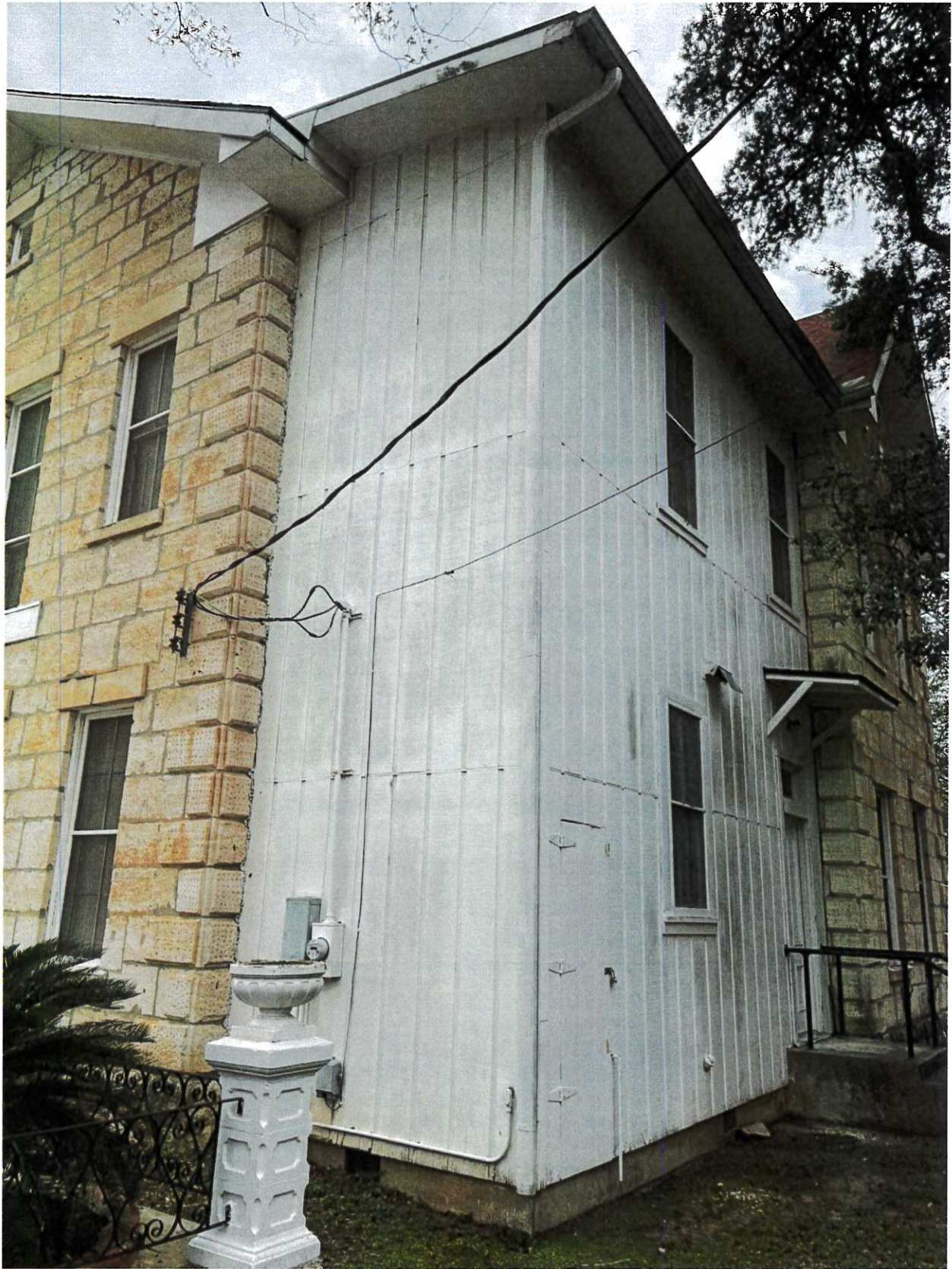
CASTROVILLE CATHOLIC SCHOOL
702 PARIS ST. CASTROVILLE, TX



JOB NO. Project Number
DRAWN BY: Author
CHECKED BY: Designer
ISSUE / REVISION:
No. Date

11/20/25
SHEET TITLE
DOOR AND WINDOW SCHEDULE





GENERAL REQUIREMENTS AND SUPPLEMENTARY CONDITIONS

PRICING SET - 11-20-25



**CASTROVILLE
CATHOLIC SCHOOL**
702 PARIS ST. CASTROVILLE, TX

NOT FOR
CONSTRUCTION

Studio E
2021/2022 - 41 N. v. 27-28-29-30

210.733.53007

PC
 4118 Breckfa eny Ltd, Bedford, Tenn

Abstract (continued)

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IL C ST

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1/20/25

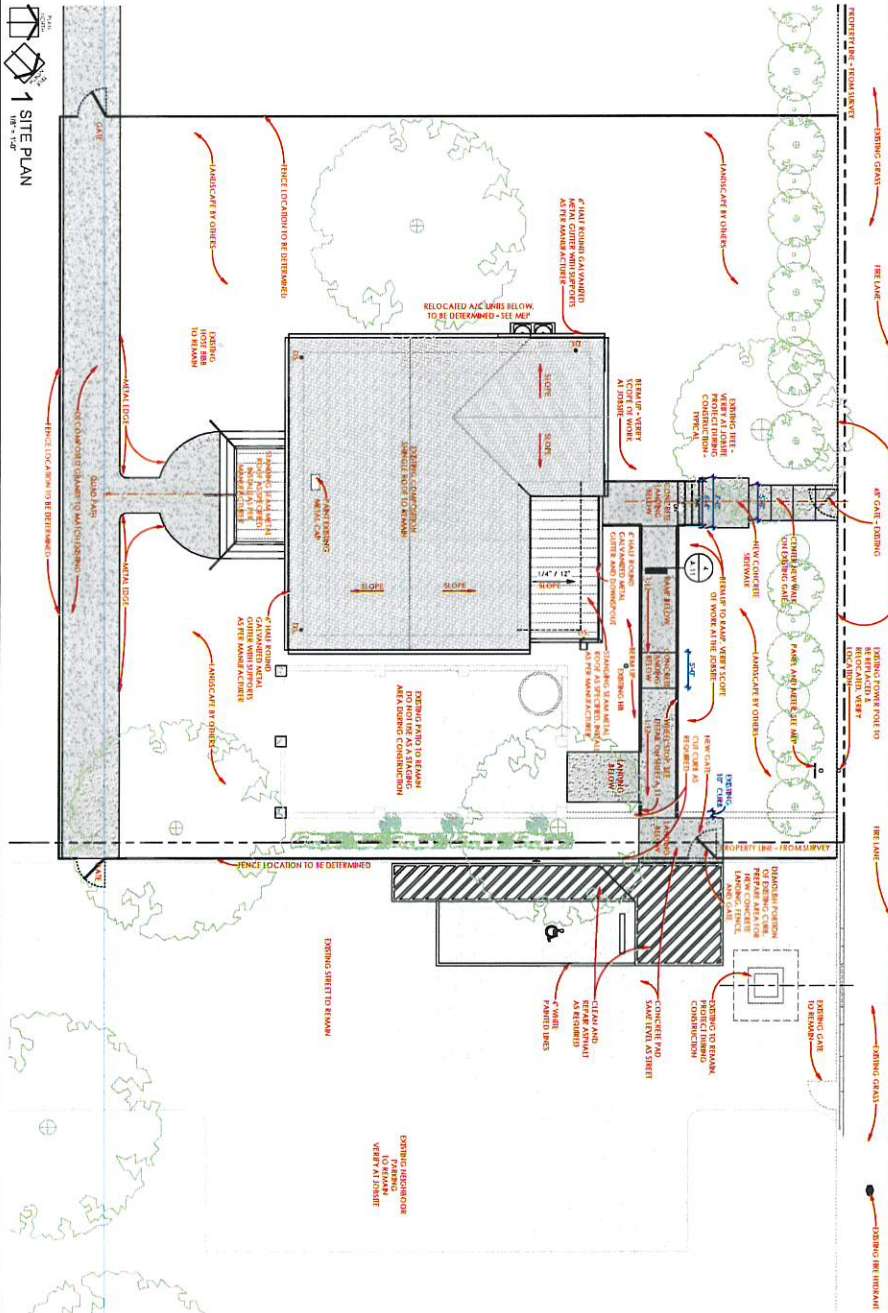
GENERAL

SUPPLEMENTARY

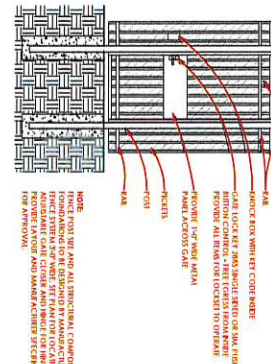
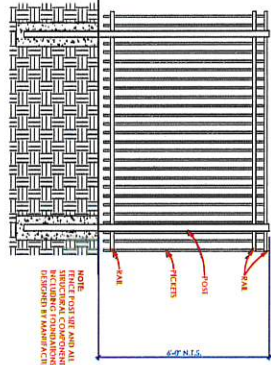
A07

OUTLINE SPECIFICATIONS

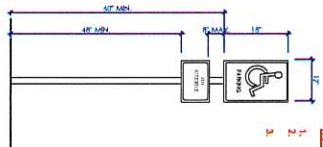
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ORNAMENTAL FENCE & ACCESS GATE
2 ELEVATIONS
1/8" = 1'-0"



3 PARKING SIGN
3/4" = 1'-0"



11/20/25
SITE PLAN

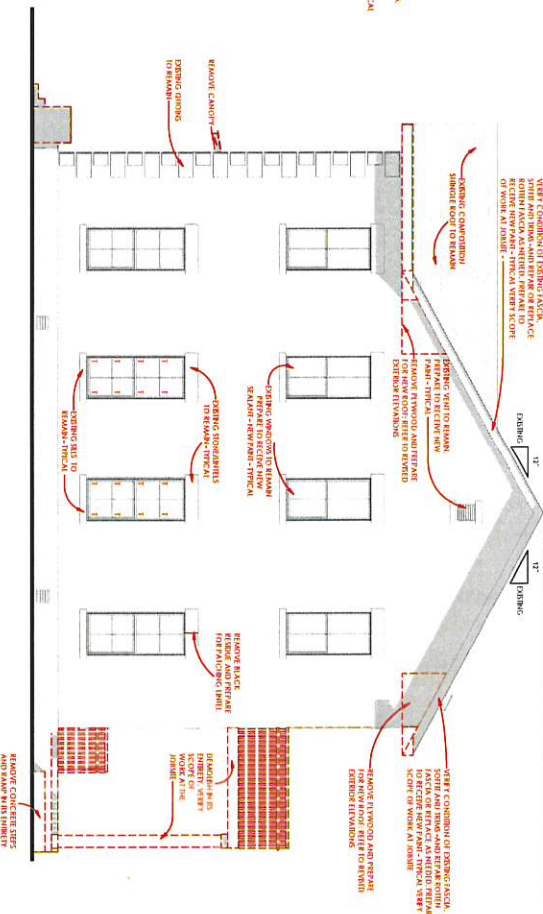
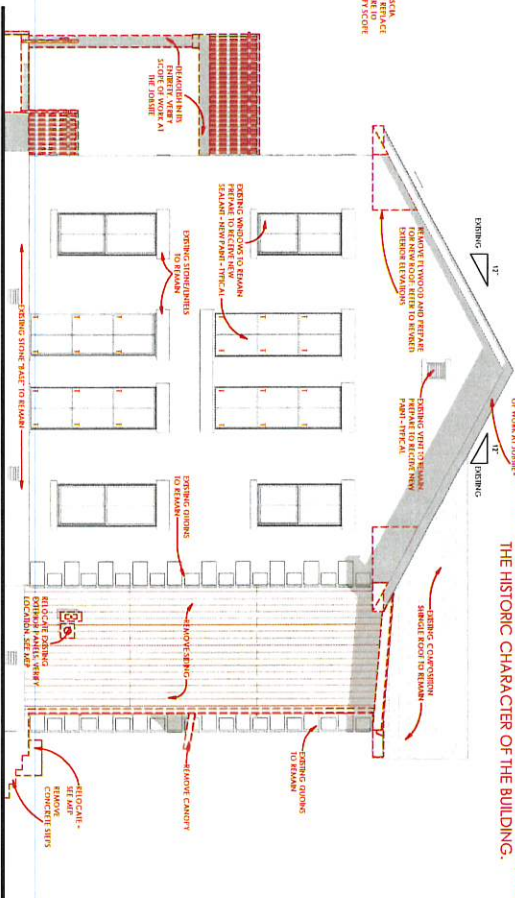
A.03



**CASTROVILLE
CATHOLIC SCHOOL**
702 PARIS ST, CASTROVILLE, TX

Studio E
11/20/25

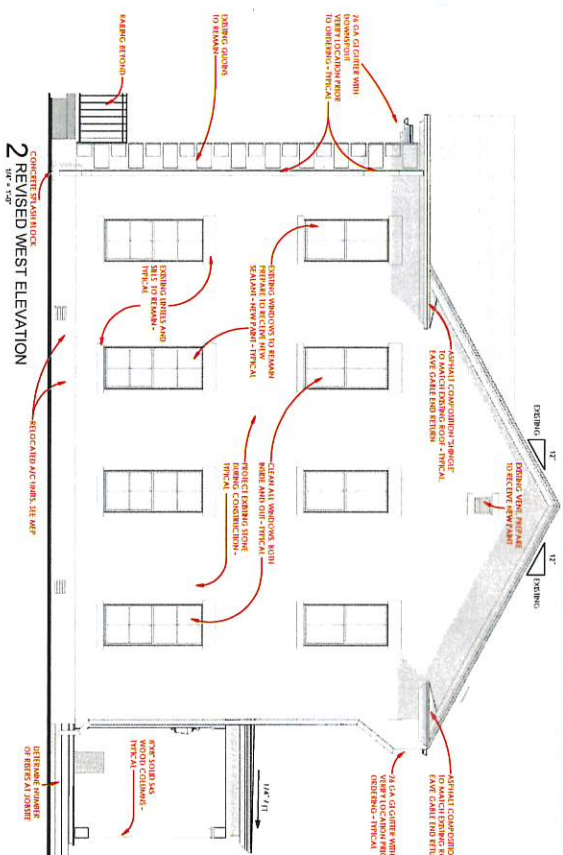
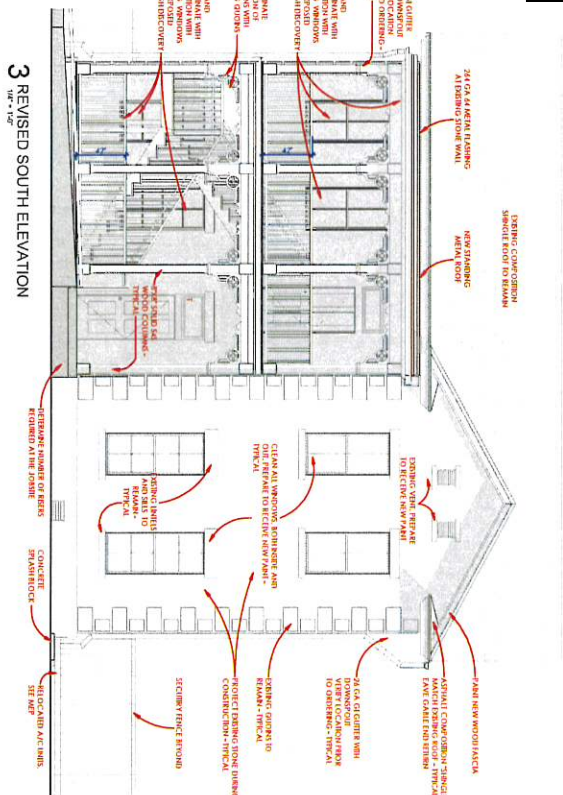
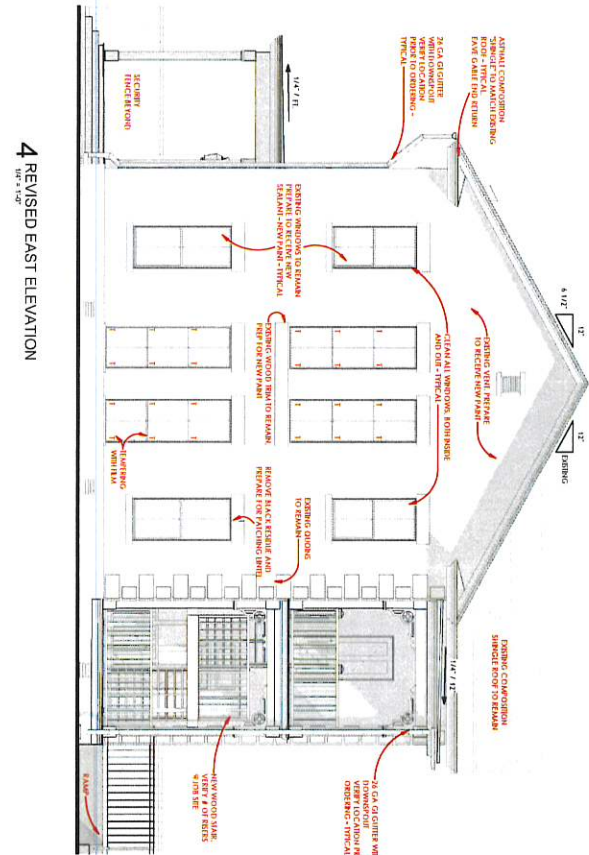
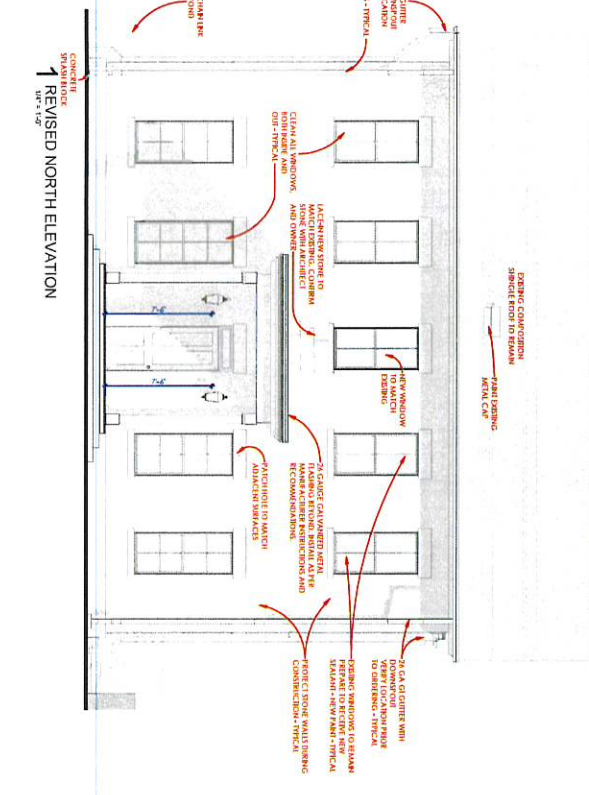
**NOT FOR
CONSTRUCTION**
11/20/25



1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOBSITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS DRAWING TO SHOW INTENT, ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.

PRICING SET - 11-20-25

Section V, Item a.



- NOTES:
1. VERIFY ALL DIMENSIONS AT JOBSITE.
 2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY TO ACCOMMODATE THE ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.
 3. THIS IS A DRAWING TO SHOW THE ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.

PRICING SET - 11-20-25

11/20/25	SHEET TITLE	EXTERIOR ELEVATIONS
A.07		

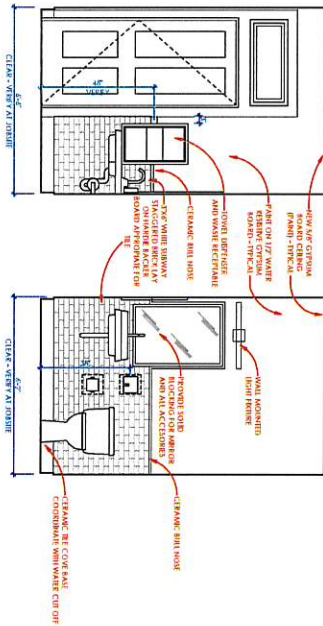
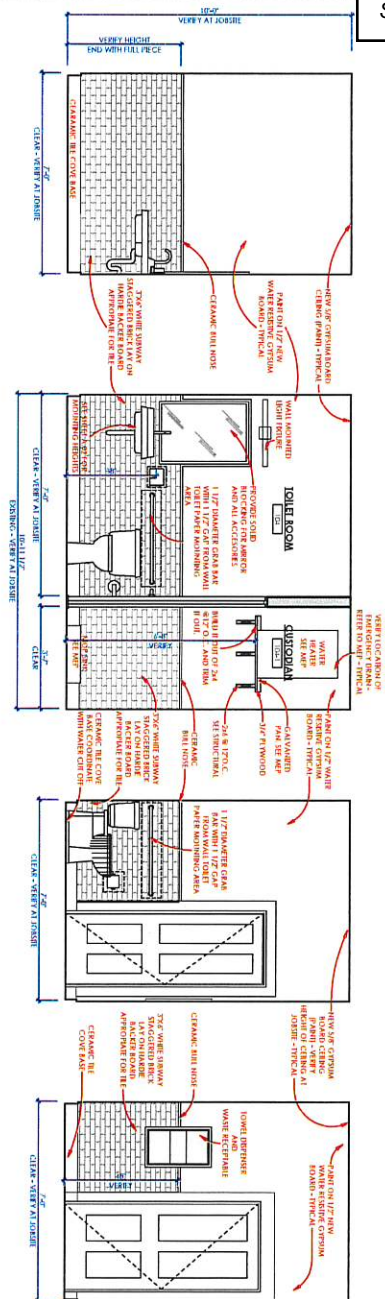


CASTROVILLE
CATHOLIC SCHOOL
702 PARIS ST, CASTROVILLE, TX

Studio E
11025

NOT FOR
CONSTRUCTION

Section V, Item a.



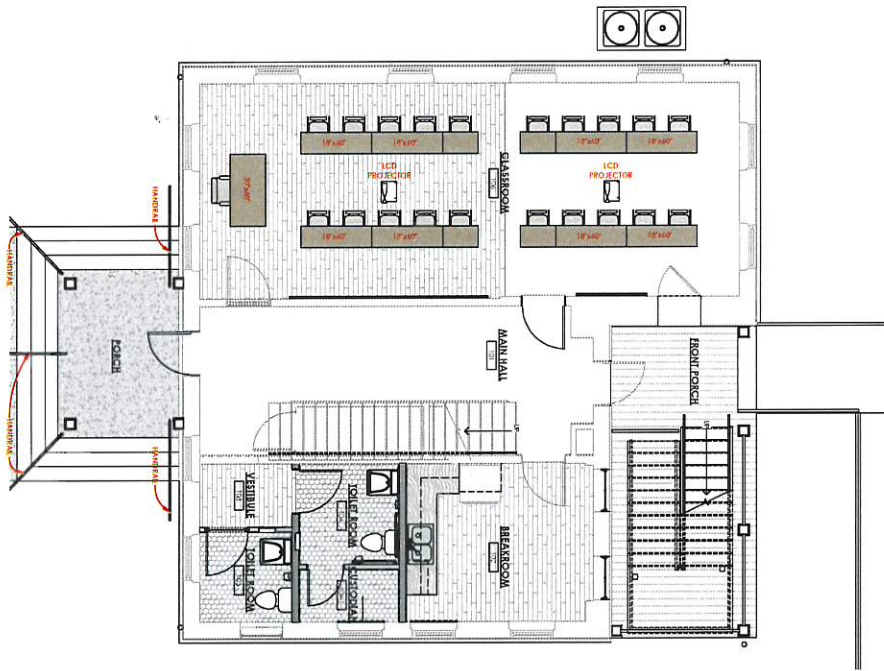
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2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION BASED ON DISCOVERY.

- **CONTRACTOR TO COMPLY WITH ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (AAAS) IN ADDITION TO INSADA REQUIREMENTS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL.**
- **REFER TO SHEET A-02 ACCESSIBILITY DETAILS FOR TYPICAL PUNING ERRORS AND ACCESSORIES.**
- **ARCHITECTURAL BARRIERS**
- **REFER TO MAP FOR TIGHT SECTIONS.**

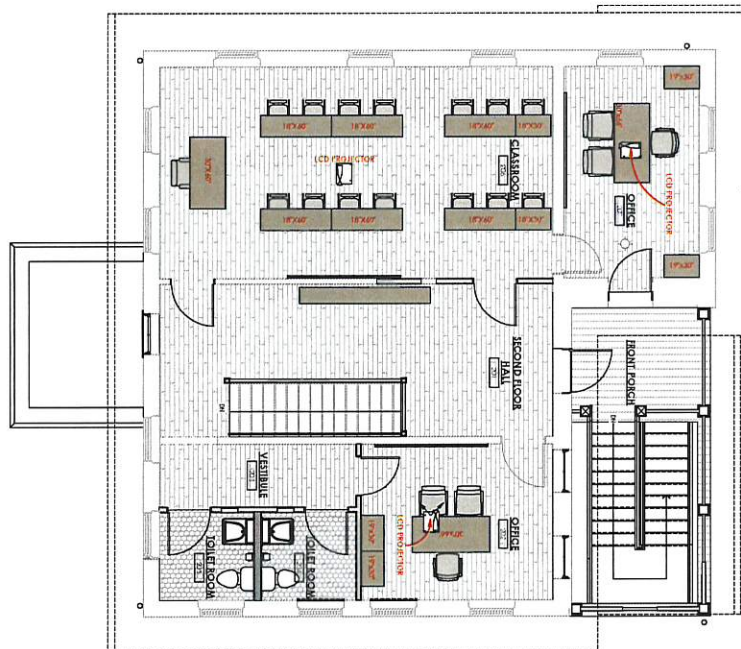
PRICING SET - 11-20-25

Section V, Item a.

FIRST FLOOR PLAN - SUGGESTED
FURNITURE LAYOUT
1st - 1st
NOTE: DIMENSIONS NOT TO SCALE



SECOND FLOOR PLAN - SUGGESTED
FURNITURE LAYOUT
2nd - 2nd
NOTE: DIMENSIONS NOT TO SCALE



- NOTES:
1. VERIFY ALL DIMENSIONS AT JOBSITE.
 2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO FIELD CONDITIONS. ANY CHANGES WILL BE NOTED ON THE DRAWING.
 3. THIS IS A DRAWING TO SHOW INTENT. ACTUAL WORK AND DETAILS TO BE DETERMINED AT JOBSITE AT TIME OF DEMOLITION, BASED ON DISCOVERY.

PRICING SET - 11-20-25

11/20/25
SHEET TITLE
SUGGESTED FURNITURE LAYOUT
A.15

JOB NO. / Project Number
JOB BY / Author
BID SET
ISSUE / REVISION
DATE



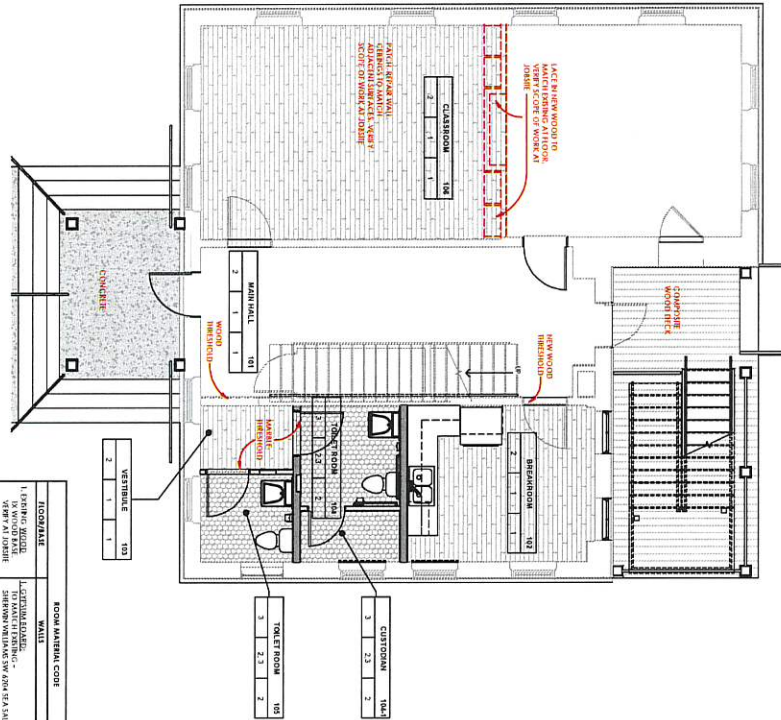
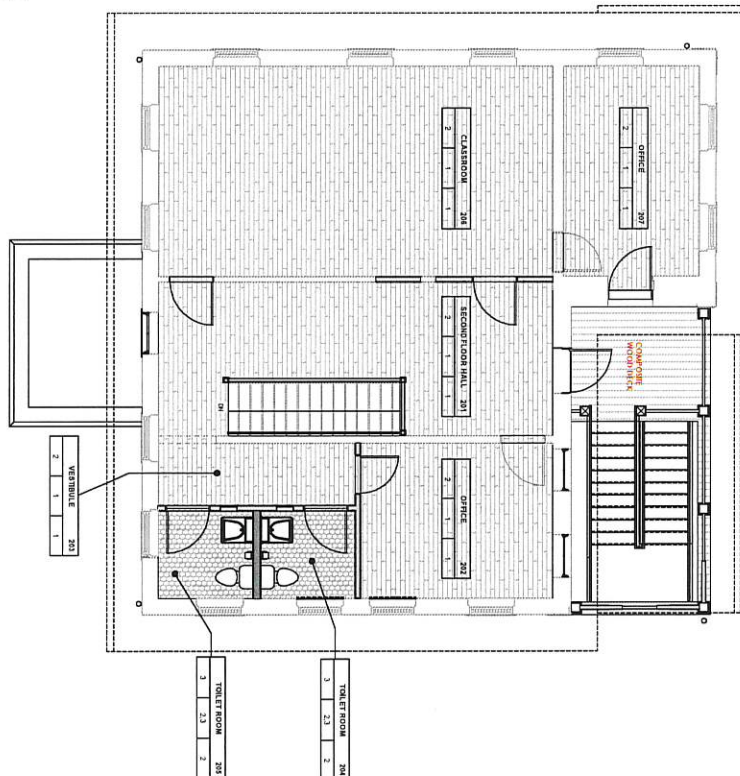
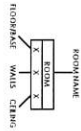
CASTROVILLE
CATHOLIC SCHOOL
702 PARIS ST, CASTROVILLE, TX

NOT FOR CONSTRUCTION

Studio E

11/20/25

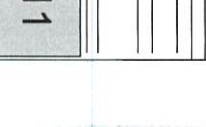
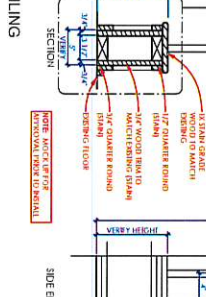
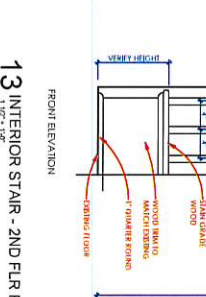
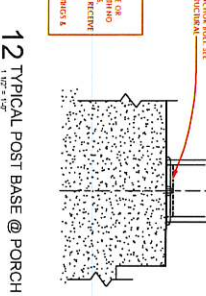
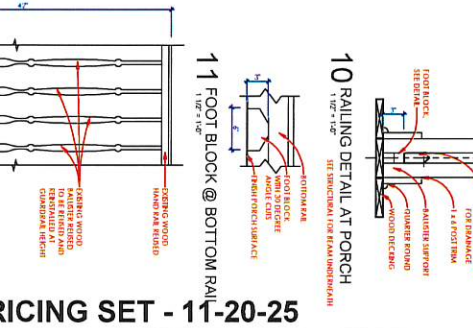
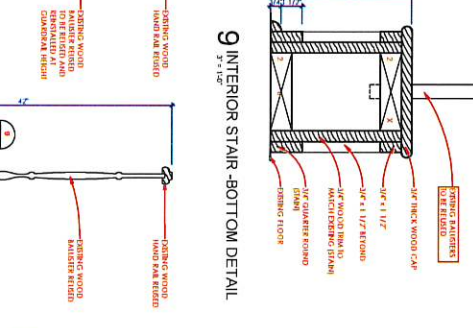
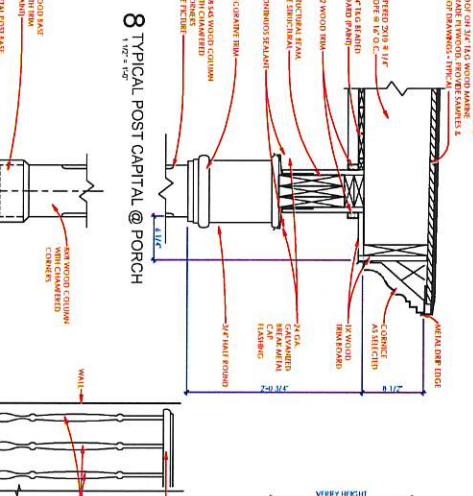
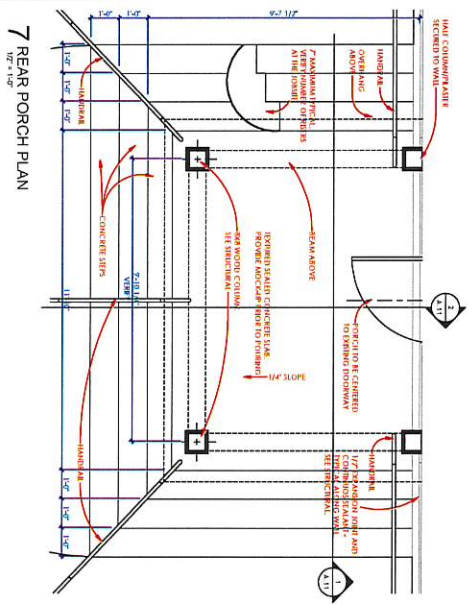
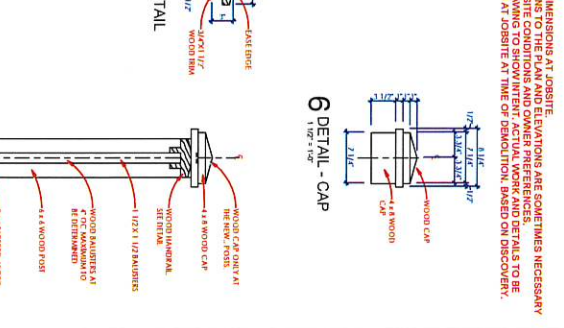
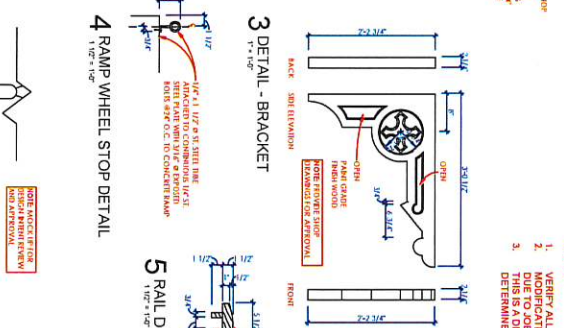
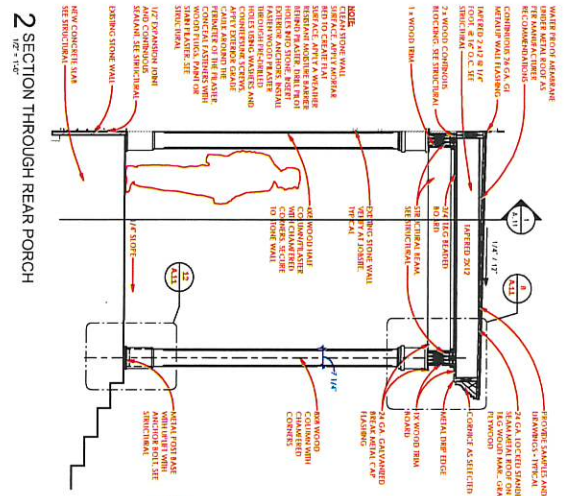
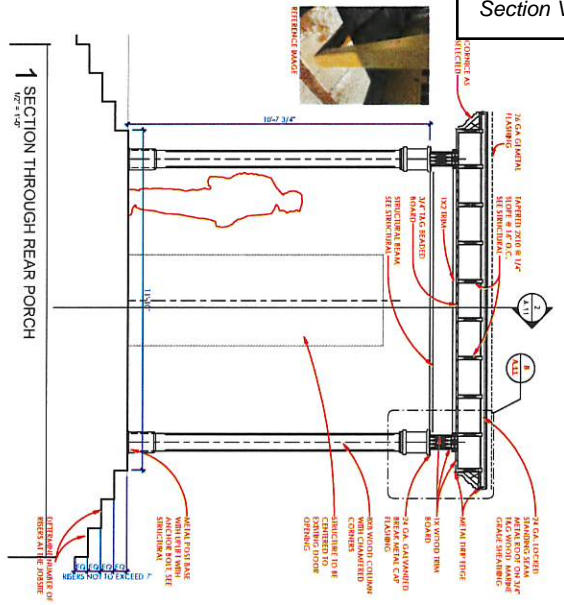
Section V, Item a.

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1. VERIFY ALL DIMENSIONS AT JOBSITE.
2. MODIFICATIONS TO THE PLAN AND ELEVATIONS ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNER PREFERENCES.
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PRICING SET - 11-20-25

Section V, Item a.



PRICING SET - 11-20-25

JOB NO. Project Number	111025
REV. BY	11/20/25
ISSUE / REVISION	
No.	Date



CASTROVILLE CATHOLIC SCHOOL
702 PARIS ST, CASTROVILLE, TX

NOT FOR CONSTRUCTION

Studio E

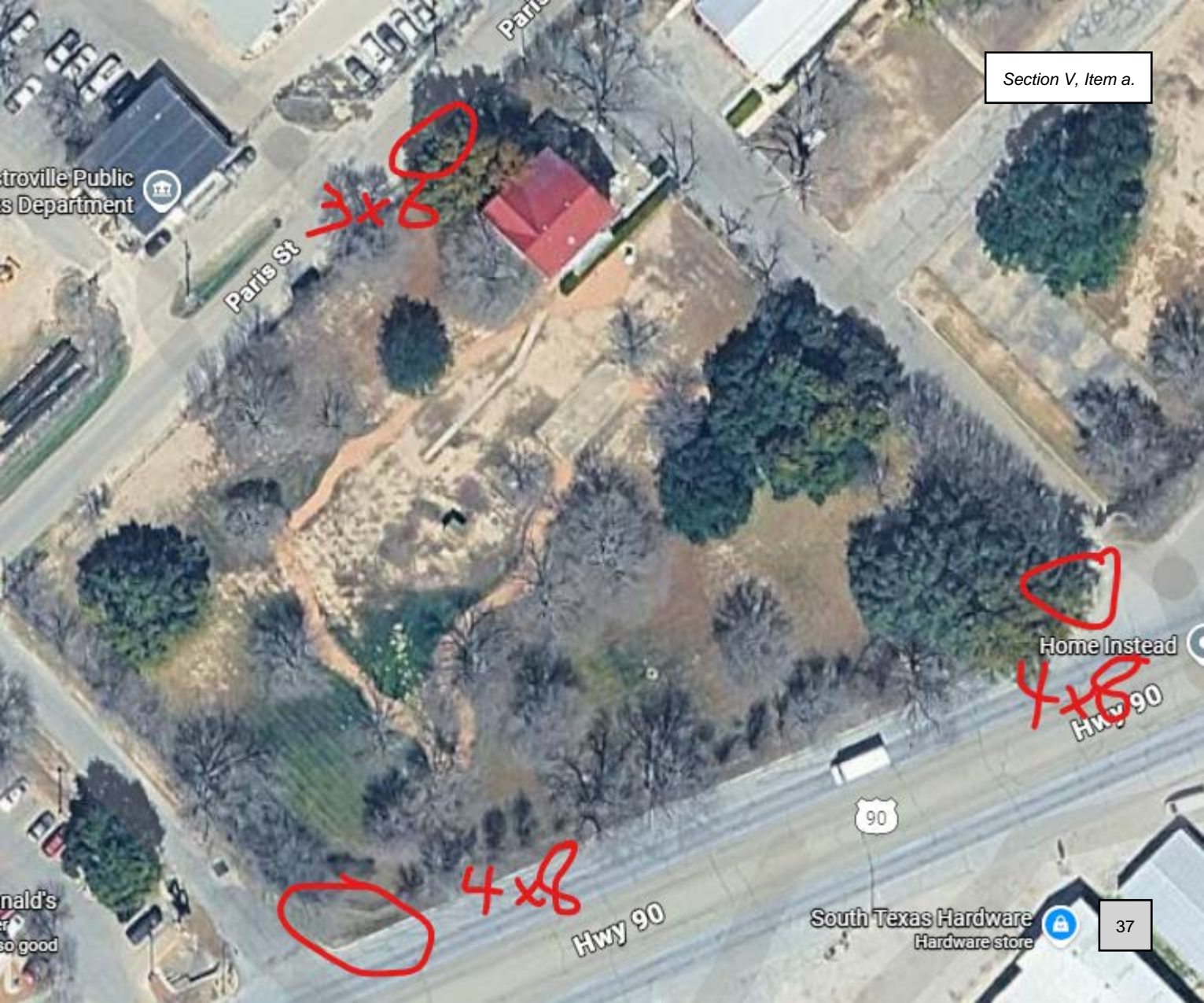
11/20/25



Moye Catholic Middle & High School



moyeschool.com





02 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness

702 Paris Street, Castroville, TX 78009

December 2, 2025

Castroville Catholic Middle & High School
Representative: Brook Rothe
PO Box 291
Castroville, TX 78009
830-426-6502
moyeschoolcastroville@gmail.com

RE: 702 Paris Street –Alteration

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1900
THC 1969 Survey	X	Architectural Style	
THC 2002 Resource	X	Center Passage Residential	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements. Please submit the following items:

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
work5shop.com

materials; changing, eliminating or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alterations Comments

ADDITIONS/PORCHES, GALLERIES, AND BALCONIES

1. Per the Castroville Design Guidelines, Section II, Additions (pg. 11), design an addition so it blends well with but does not look “historic.” The bracket details on the front porch and balcony may create a false sense of historic character. Additionally, Section II: Porches, Galleries, and Balconies (p. 35) advise avoiding decorative elements that are not known to have been used on the house or on similar structures. For these reasons, it is recommended that the brackets be removed. Eliminating them will also help reduce visual emphasis on the new addition. This area of the home already contains substantial visual activity due to the staircase, which competes with the historic structure, and the brackets add further visual busyness. Therefore, their removal is recommended.
2. Per the Castroville Design Guidelines, Section II: Porches, Galleries, and Balconies (p. 33) a new (replacement) porch should be in character with the historic building, in terms of scale, materials and detailing. The proposed back porch includes a concrete floor and concrete steps on three sides. Historically, porches on homes of this type were typically constructed of wood, and the use of concrete flooring would alter the historic character of the structure. It is recommended that the porch floor be constructed of wood to match the proposed new front porch. Additionally, the porch stairs should be simple in design and should not wrap around the entire porch, as this would be inconsistent with the historic character of the home.

DOORS AND SCREEN DOORS

3. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 18), a historic door and its distinct materials and placement should be preserved. Per the plans on page A.04, the Second Floor Plan – Demolition notes the following at the rear of the building: “remove door frame and casing and save. Prepare for new wood window to match existing.” However, the south elevation of the home did not have a balcony at the time of the Texas Historic Commission’s 1969 Survey (see image below). Despite this, there is currently still a door on the second story with a transom. It is possible that a balcony existed at an earlier date, prior to the survey

December 2, 2025 / Letter of
Recommendation
Certificate of Appropriateness
702 Paris Street

photo, as patches in the stone suggest this may have been the case. Given this, it is recommended that the existing door and transom remain in place and not be replaced with a window.



THC 1969 Survey photo of south elevation



Close up of THC 1969 Survey photo of south elevation, possible stone patchwork

4. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 20), maintain features important to the character of a historic doorway. These may include the door, doorframe, screen door, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights. Per the plans on page A.04, the First Floor Plan – Demolition notes, on the rear entry door: “remove existing wood casing and store for possible future use.” However, per the design guidelines, the doorframe should not be altered unless the door is being widened to meet ADA requirements. Otherwise, the existing doorframe should remain in place.

SIDING AND WALL SURFACES

5. Per the Castroville Design Guidelines, Section II, Siding and Wall Surfaces (pg. 21), for repairs to stone and stucco wall surfaces:
 - Remove any non-original mortar and cement plaster from the wall. Replace mortar to match original in composition, color, and profile.
 - Avoid Portland cement plaster as mortar to stucco material. Because it's harder than the softer stone, it will cause the stone to crumble.
 - Reinstall a soft limestone plaster if the majority of the building is plastered and/or the stone is soft.

December 2, 2025 / Letter of Recommendation

Certificate of Appropriateness
702 Paris Street

EXTERIOR PAINT

6. Please provide paint colors on the following items:

- New security fence
- All handrails
- Columns on new porches
- Brackets
- Cornice and cornice return
- Wood newel post on staircase
- All stair assembly elements
- Vents
- Fascia, soffit, and roof trim
- Window and door trim
- Metal cap on roof at rear
- Gutter and downspout
- Deck on porches

Per the Castroville Design Guidelines, Section II, Exterior Paint (pg. 27), consider the color palette to the right. The palette consists of soft, natural and traditional colors. They have a matte finish rather than shiny, because of the traditional organic/protein or milk base.



ROOFS, GUTTERS, SKYLIGHTS, DORMERS

7. Per the Castroville Design Guidelines, Section II, Roofs, Gutters, Skylights, Dormers (pg. 30), roof color is an important feature because it dominates the appearance of the house. Choose a color that is complimentary to the house. Metal roofs were typically painted a silvery color or red. Please confirm color of new standing seam roofs on front and back porches.

FENCES AND WALLS

8. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), the height of your fence should complement the house, not overwhelm it. This usually means a fence will measure about 2-1/2 to 4 feet from the ground to the top of the fence. Consider this for the new security fence.

9. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), consider a fence height of three feet or less for the front yard.

LANDSCAPING, WALKWAYS AND DRIVEWAYS

10. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 38), locate off-street parking, as much as possible, to the rear of your property. Technically the Americans with Disabilities (ADA) parking space is on the side of the property.

December 2, 2025 / Letter of
Recommendation

Certificate of Appropriateness
702 Paris Street

GENERAL COMMENTS

11. The Certificate of Appropriateness application lists the property's zoning as CG. The property is actually located in an HE zoning district, which is still under the Historic Landmark Commission's purview. Please update the application to reflect the correct zoning.
12. Several pages in the plans note "landscape by others." Please be aware that any landscape plans or details not included in this submission must be approved by the HLC before any landscape work can proceed. This recommendation applies only to the landscaping details shown in the plans submitted with this application and does not include any items labeled "landscape by others."

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Certificate of Appropriateness – 505 Houston Street

Applicant

Conflict and Development Foundation
Representative: Joseph King

Zoning / Historic Status

- **Zoning:** Historic Estate (HE)
- **Year Built:** ca. 1811–1847
- **Historic Surveys:** THC 1969 Survey; THC 2002 Resource
- **Architectural Style:** Alsatian

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure located at 505 Houston Street. The proposed work includes window and shutter elements and repairs to stone and stucco wall surfaces.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review, the HPO recommends approval **with conditions**, including the following key items:

- **Windows and Shutters:** Shutters must be appropriately sized so that they are capable of covering the window opening when closed, consistent with the Design Guidelines.
- **Siding and Wall Surfaces:**
 - Remove any non-original mortar or cement plaster.
 - Replace mortar to match the original in composition, color, and profile.
 - Avoid Portland cement plaster, as it may damage historic stone.
 - Use a soft limestone plaster where appropriate to maintain historic integrity.

A written response letter addressing all HPO comments is required with any revised or subsequent submittals.

Staff Recommendation

Approve the Certificate of Appropriateness for 505 Houston Street, subject to the conditions outlined in the Historic Preservation Officer's Letter of Recommendation dated December 5, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 505 Houston Street, subject to the conditions as discussed.



CITY OF CASTROVILLE

Little Alsace of Texas

Permit Number: **2025307**
 Submittal Date: **12/2/2025**
office use only

Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov

Certificate of Appropriateness Application

Property Information			
Project Address: 505 HOUSTON			Zoning:
Legal Description: Lot	Block	Range	Subdivision
Landmark Name: BIPPERT HOUSE			

Owner Information		
Owner Name: CONFLICT AND DEVELOPMENT FOUNDATION		
Mailing Address: CASTROVILLE		
Phone: 210-219-1318	Fax:	Email: JOSEPH.KING@CONDEV.ORG

Project Description
REPLACE REAR MODERN GALLERY TIMBER FRAMED WALLS WITH HISTORIC ROCK MASONRY WALLS.
REPLACE REAR MODERN PICTURE FRAME WINDOWS WITH HISTORIC CASEMENT WINDOWS TO MATCH EXISTING.
STUCCO SEGMENT OVER ROCK WILL MATCH EXISTING STUCCO PAINT COLOR.
CASEMENT WINDOW WALLS WILL FEATURE EXPOSED ROCK.

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:

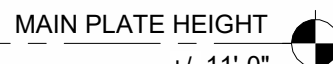
Date: 01 DEC 2025



11/25/2025

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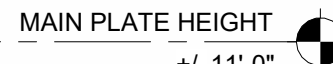
GALLERY PLATE HEIGHT 

FLOOR
0' 0"

NORTH ELEVATION

3/16" = 1'-0"
A3.01

03



GALLERY PLATE HEIGHT

LOOR

EAST ELEVATION

3/16" = 1'-0"
A3.01

02

KEYNOTES

- 1 NEW SOLID STONE WALL MATCHING HISTORIC STYLE. VERIFY STONE TYPE, COLOR, SIZE AND PATTERN WITH OWNER AND ARCHITECT.
- 2 NEW PATIO DOOR MATCHING EXISTING. VERIFY MATERIAL, FINISH AND MANUFACTURER WITH OWNER AND ARCHITECT. MATCH TRIM DETAILING OF HISTORIC DOORS.
- 3 NEW CASEMENT WINDOW MATCHING EXISTING ELSEWHERE ON HOUSE. VERIFY SIZE, MATERIAL, FINISH AND MANUFACTURE WITH OWNER AND ARCHITECT. MATCH HISTORIC TRIM AND SHUTTERS.
- 4 PLASTER EAST FACE OF NEW STONE WALL AT GALLERY. MATCH HISTORIC TECHNIQUE, COLOR AND TEXTURE.

[illegible][illegible]

Job Number	Primary Project #
Checked By	Checker
Scale	3/16" = 1'-0"

EXTERIOR ELEVATIONS

05 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness
505 Houston Street, Castroville, TX 78009

December 5, 2025

Conflict and Development Foundation
502 Florence Street
Castroville, TX 78009
210-219-1318
Joseph.king@condev.org

RE: 505 Houston Street –Alteration

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1811-1847
THC 1969 Survey	X	Architectural Style	
THC 2002 Resource	X	Alsation	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements. Please submit the following items:



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
workShop.com

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alterations Comments

WINDOWS & SHUTTERS

1. Per the Castroville Design Guidelines, Section II, Windows and Shutters (pg. 17), shutters should be large enough to cover the window when closed.

SIDING AND WALL SURFACES

2. Per the Castroville Design Guidelines, Section II, Siding and Wall Surfaces (pg. 21), for repairs to stone and stucco wall surfaces:
 - Remove any non-original mortar and cement plaster from the wall. Replace mortar to match original in composition, color, and profile.
 - Avoid Portland cement plaster as mortar to stucco material. Because it's harder than the softer stone, it will cause the stone to crumble.
 - Reinstall a soft limestone plaster if the majority of the building is plastered and/or the stone is soft.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Certificate of Appropriateness – 1109 Fiorella Street

Applicant

Conflict and Development Foundation
Representative: Joseph King

Zoning / Historic Status

- **Zoning:** Commercial General (CG) – Historic Overlay
 - **Historic Surveys:** THC 1969 Survey; THC 2002 Resource
 - **Architectural Style:** Not specified
 - **Year Built:** Unknown
-

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the structure located at 1109 Fiorella Street. The proposed work includes window and shutter elements visible from the public right-of-way.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review, the HPO recommends approval **with conditions**, including the following key item:

- **Windows and Shutters:** Shutters must be appropriately sized so that they are capable of fully covering the window opening when closed, consistent with the Castroville Design Guidelines.

A written response letter addressing the HPO comment is required with any revised or subsequent submittals.

Staff Recommendation

Approve the Certificate of Appropriateness for 1109 Fiorella Street, subject to the condition outlined in the Historic Preservation Officer's Letter of Recommendation dated December 5, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 1109 Fiorella Street, subject to the conditions as discussed.



CITY OF CASTROVILLE
Little Alsace of Texas

Permit Number:	2025308
Submittal Date:	12/2/2025
office use only	

Community Development Department
703 Paris St. Castroville, Tx 78009
(830) 931-4090
permits@castrovilletx.gov

Certificate of Appropriateness Application

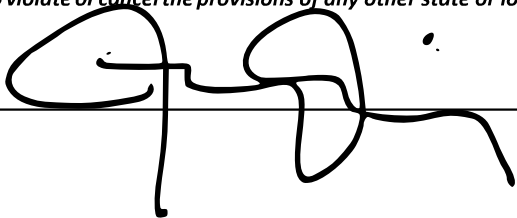
Property Information	
Project Address: 1109 FIORELLA	Zoning: CG
Legal Description: Lot 5-6 Block 3 Range 5	Subdivision
Landmark Name: CASTRO HOMESTEAD	

Owner Information		
Owner Name: CONFLICT AND DEVELOPMENT FOUNDATION		
Mailing Address: CASTROVILLE		
Phone: 210-219-1318	Fax:	Email: JOSEPH.KING@CONDEV.ORG

Project Description
ADD EXTERNAL SHUTTERS TO ALL WINDOWS IN HISTORIC STYLE.
ADD PAINT FROM OLDE CENTURY PALLET. OLDE BRICK RED FOR SHUTTERS. SALT BOX BLUE FOR PORCHES.
DOORS WILL BE REPLACED WITH SOLID WOOD DOORS TO MATCH HISTORIC STYLES AND STAINED.

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:  Date: 01 DEC 2025

Section V, Item c.

Elevate on Florella

Stewart Title
Company - Castroville

London St

London St

Florella St

314

Florella St

Zion Evangelical
Lutheran


Castro Home

Rock & Tapas
Temporarily closed


53

Authentique
Performing Arts Dance...

Castroville Café



Section V, Item c.


A photograph of a white, single-story house with a prominent stone chimney. The house is situated on a grassy hillside. The chimney is constructed from light-colored stone blocks and has a dark roof. The house has a red roof and several windows with white frames. A small cactus is visible near the base of the chimney. The image is tilted at an angle, giving it a dynamic feel. A white box with black text is overlaid in the upper right corner, and a white box with black text is overlaid in the lower right corner.

Section V, Item c.



Section V, Item c.





Section V, Item c.

THIS BLUE





Shutter Color

05 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness

1109 Fiorella Street, Castroville, TX 78009

December 5, 2025

Conflict and Development Foundation
502 Florence Street
Castroville, TX 78009
210-219-1318
Joseph.king@condev.org

RE: 1109 Fiorella Street –Alteration

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	CG	Build Date	
THC 1969 Survey	X	Architectural Style	
THC 2002 Resource	X		
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
workShop.com

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

December 2, 2025 / Letter of
Recommendation
Certificate of Appropriateness
1109 Fiorella Street

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alterations Comments

WINDOWS & SHUTTERS

1. Per the Castroville Design Guidelines, Section II, Windows and Shutters (pg. 17), shutters should be large enough to cover the window when closed.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Certificate of Appropriateness – 501 Vienna Street

Applicant

Kenneth Reimer

Zoning / Historic Status

- **Zoning:** Historic Estate (HE)
- **Year Built:** ca. 1907
- **Historic Surveys:** THC 2002 Resource
- **Architectural Style:** Hall Parlor

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure located at 501 Vienna Street. Proposed work includes window and door modifications visible from the public right-of-way.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review and subsequent correspondence with the applicant, the HPO's comments have largely been resolved, with the following clarifications:

- **Windows:** Although the initial submittal showed inconsistent window types, the applicant confirmed use of a **six-pane casement window**, which is consistent with the design guidelines. The window is located at the rear of the structure and has limited visibility from the public right-of-way.
- **Doors:** While the initial description referenced a wood/steel door, the applicant confirmed that a **wood door** will be used for the rear entry, consistent with the design guidelines.

A written comment response letter is required with the final submittal confirming these items.

Staff Recommendation

Approve the Certificate of Appropriateness for 501 Vienna Street, subject to compliance with the clarifications outlined in the Historic Preservation Officer’s Letter of Recommendation dated December 9, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 501 Vienna Street, subject to compliance with the clarifications as discussed.



CITY OF CASTROVILLE

Little Alsace of Texas

Section V, Item d.

Permit Number: _____

Submittal Date: _____

office use only

Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov

Certificate of Appropriateness Application

Property Information

Project Address: 501 VIENNA

Zoning:

Legal Description: Lot 10 Block 3 Range 11 Subdivision

Landmark Name: NONE

Owner Information

Owner Name: Kenneth Reimer

Mailing Address: 501 Vienna / OR 5700 Armstrong Pkwy Dallas, Tx 75205

Phone: 214.282.0800

Fax:

Email: kreimer@venturelandgroup.net

Project Description

remove old 1970's aluminum window, replace with wood/steel Casement set of Windows

Replace Back Door as this was eliminated in what appears to be a 1970's addition

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant: _____

Date: _____

12/4/25

INFORMATION SECTION

Please read the following information regarding Certificate of Appropriateness prior to submitting an application.

Any application that is missing information will be considered incomplete and will not be processed.

APPLICATION DUE DATE/DATE OF HEARING:

All applications are due by the date on the chart attached. There will not be a waiver of date, so please plan accordingly. Applications will be reviewed for completeness by Community Development staff.

REQUIRED FEES:

Application Fee	\$100.00
------------------------	----------

APPLICATION REQUIREMENTS

To apply for a Certificate of Appropriateness please submit the following regarding your project:

1. Site plan showing the location of the structure of property on its lot;
2. Photographs of all elevations of the structure or property and details pertaining to the proposed work;
3. Detailed description of the proposed work;
4. Elevation drawings of the proposed changes, if applicable;
5. Samples of, or appropriate information concerning materials to be used;
6. Rationale for why the proposed change is compatible with designation as a historic landmark or property within a historic district;
7. Any other information which the Historic Landmark Commission or staff deems reasonably necessary to visualize and evaluate the proposed work;

LETTER OF AUTHORIZATION:

If the applicant is not the property owner, a letter signed by the owner authorizing the applicant to act on their behalf must accompany this application.

LEGAL DESCRIPTION:

If the property is not platted (example of platted property: Lot A, Block 4, ABC Subdivision), a survey and/or metes and bounds description of the property with an exhibit illustrating property boundaries **must** accompany the application.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS PROCESS/PROCEDURE:

1. Applicant completes the application for Certificate of Appropriateness and submits said application with required attachment(s) and filing fees
2. The city will call a Historical Landmark Commission meeting, based on the schedule provided on the following page, and review for completeness after receipt of payment.
3. A meeting is held before the Historical Landmark Commission at which time the commission approves or denies the Certificate of Appropriateness. The Historical Landmark Commission has the final say and the Certificate of Appropriateness does not need to go to City Council for approval.

501 Vienna



- 1.
2. South Elevation



East Elevation



West Elevation



North Elevation



3)Explanation of Work:

Replace the two 1970's era aluminum windows with a more period correct set of casement windows. Add back door with period correct door – original if possible, or quality wood/steel door - as original door was eliminated with this more recent addition of the house.

4)Diagram of work:





5) Material Information / Window/Door Detail



Doors, though most likely this will be a single door, not double:



6)Rational: These changes will eliminate 1970's aluminum windows and add back much nicer, more expensive, period correct windows. While the house originally had two back doors, they have both been eliminated by the latest addition – which appears to be from the 70's. We would like to add back the function of the original house – access to the back yard.

09 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness

501 Vienna Street, Castroville, TX 78009

December 09, 2025

Kenneth Reimer
5700 Armstrong Pkwy
Dallas, TX 75205
214.282.0800
kreimer@venturelandgroup.net

RE: 501 Vienna Street – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	ca. 1907/
THC 1969 Survey		Architectural Style	
THC 2002 Resource	x	Hall Parlor	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
workShop.com

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(III)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

09 December 2025 /
Letter of Recommendation
Certificate of Appropriateness
501 Vienna Street,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the *changing of paint color; regarding; dismantling, removing or moving of any exterior features* or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, *alteration*, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, *windows*, stonework, *woodwork*, light fixtures, signs, sidewalks, fences, steps, paving and/or other *exterior elements visible from a public right-of-way* which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alteration Comments

1a. The rendering shows four-over-four windows; however, the “Material Information/Window/Door Detail” indicates a mix of six-pane and three-pane windows.

Please confirm which window style is correct.

1.b After corresponding with the applicant by email, they confirmed that they will be using a six-pane casement window. This window style is consistent with the applicable guidelines. Please note, however, that the window will be located at the rear of the house, where visibility from the public right-of-way is minimal and therefore of less significance. Therefore, this comment is cleared.

2a. The “Explanation of Work” notes a proposed wood/steel door. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 20), avoid using a metal door.

2b. Per email correspondence with the applicant, they are proposing a wood door rather than a metal door for the rear entry. Accordingly, this comment is considered resolved.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Certificate of Appropriateness – 902 London Street

Applicant

Edward Solis

Zoning / Historic Status

- **Zoning:** Historic Estate (HE)
 - **Historic Surveys:** THC 1969 Survey
 - **Architectural Style:** Not specified
 - **Year Built:** Unknown
-

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the property located at 902 London Street. The proposed work includes construction of an erosion prevention wall near the garage.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review, the HPO recommends approval **with conditions**, as follows:

- **Erosion Prevention Wall:**

- If the proposed erosion prevention wall is designed to **match the existing stone retaining walls** on the property in material and appearance, the recommendation is approved.
- If the wall will not match existing stone retaining walls, the applicant must provide additional details, including **height and materials**, for further review.

A written response letter addressing this condition is required with any subsequent submittals.

Staff Recommendation

Approve the Certificate of Appropriateness for 902 London Street, subject to compliance with the condition outlined in the Historic Preservation Officer's Letter of Recommendation dated December 14, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 902 London Street, subject to compliance with the conditions as discussed.



CITY OF CASTROVILLE

*Little Alsace of Texas*Permit Number: 2025310Submittal Date: 12/2/25

office use only

Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov**Certificate of Appropriateness Application****Property Information**

Project Address: 902 London St Castroville Tx Zoning:

Legal Description: Lot Block Range Subdivision

Landmark Name:

Owner Information

Owner Name: Edward Solis

Mailing Address: 902 London St Castroville Tx 78009

Phone: 2102841225 Fax: Email: edrainolis@AOL.com

Project Description

Adding concrete to existing patio and side
of Garage to prevent erosion of the
property

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

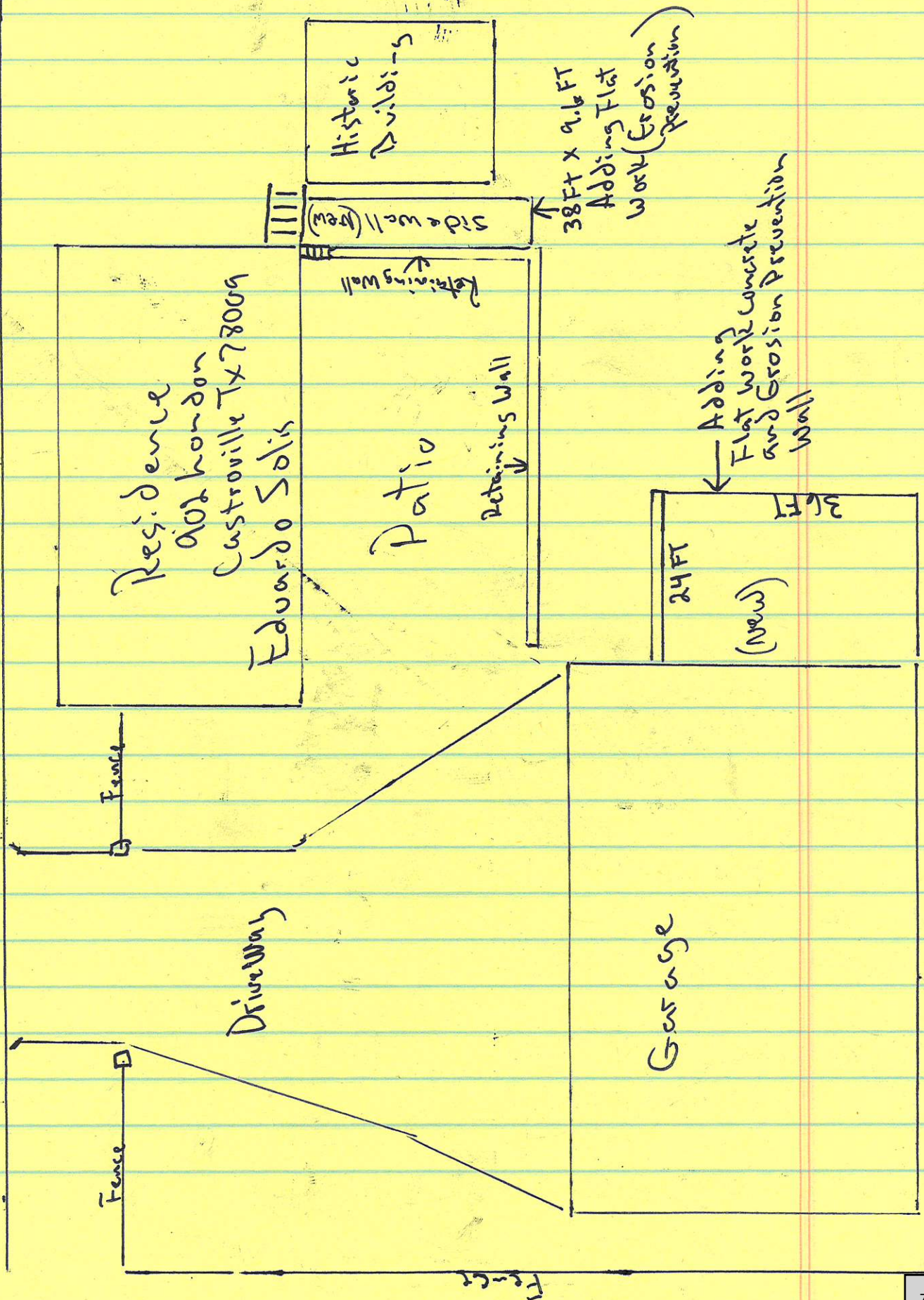
Signature of Applicant: _____

Date: 12-1-25

Site Plan

London

Mexico



05 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness
902 London Street, Castroville, TX 78009

December 14, 2025

Edward Solis
902 London Street
Castroville, TX 78009
210-284-1225
edrainsolis@aol.com

RE: 902 London Street –Alteration

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	HE	Build Date	
THC 1969 Survey	X	Architectural Style	
THC 2002 Resource			
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements. Please submit the following items:



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
workShop.com

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

December 14, 2025 / Letter of
Recommendation
Certificate of Appropriateness
902 London Street

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

GENERAL COMMENTS

- 1. If the erosion prevention wall is designed to match the existing stone retaining walls on the property, the recommendation is approved. If it will not match, please provide additional details, including the proposed height and materials for the new erosion prevention wall near the garage.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of:	December 17, 2025
Department:	Community Development Department
Subject:	Certificate of Appropriateness – 405 Paris Street

Applicant

San Antonio OMS PLLC

Zoning / Historic Status

- **Zoning:** Commercial General (CG) – Historic Overlay
 - **Year Built:** ca. 2007
 - **Historic Resource:** THC 2002 Resource
 - **Architectural Style:** Alsatian Influences
-

Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations consisting of a proposed sign to be installed on the property located at 405 Paris Street.

Review Summary

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements.**

Based on the review, the HPO determined that:

- The proposed sign is **consistent with the City of Castroville’s Design Guidelines** and is recommended for approval.

- The sign must also comply with the City's **Sign and Signage Ordinance**, which will be reviewed separately as part of the permitting process.
-

Staff Recommendation

Approve the Certificate of Appropriateness for 405 Paris Street, subject to compliance with the City's Sign and Signage Ordinance and the Historic Preservation Officer's Letter of Recommendation dated December 8, 2025.

Recommended Motion

I move to approve the Certificate of Appropriateness for 405 Paris Street, subject to compliance with the City's Sign and Signage Ordinance and as discussed.



CITY OF CASTROVILLE

Little Alsace of Texas

Section V, Item f.

Permit Number:	
Submittal Date:	12/5/2025
office use only	

Community Development Department

703 Paris St. Castroville, Tx 78009

(830) 931-4090

permits@castrovilletx.gov

Certificate of Appropriateness Application

Property Information	
Project Address: 405 Paris St	Zoning:
Legal Description: Lot 2 Block 4 Range 7	Subdivision
Landmark Name: MCB Paris Street Partners, LLC	

Owner Information	
Owner Name: San Antonio OMS PLLC	
Mailing Address: 405 Paris St Castroville, TX 78009	
Phone: 210 696 7500	Fax: 210 697 0748 Email: info@sanantoniooms.com

Project Description
3mm Aluminium Composite with Full color printed graphics. Wall Sign, adhesive mounted.

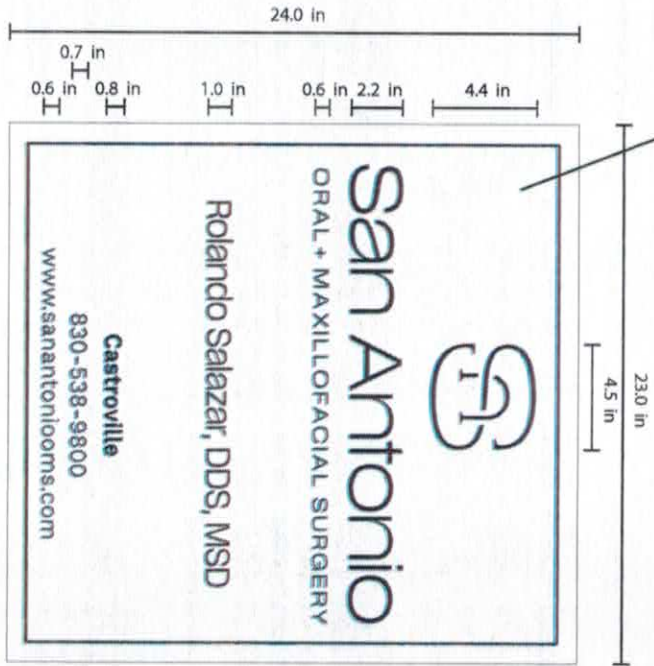
Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:  Date: 12/5/25

405 Paris Street Castroville Tx 78009

3mm Aluminum Composite
Full Color Printed Graphics



08 DECEMBER 2025 / LETTER OF RECOMMENDATION

Certificate of Appropriateness

405 Paris Street, Castroville, TX 78009

December 08, 2025

San Antonio OMS PLLC
405 Paris St
Castroville, TX 78009
210.696.7500
info@sanantoniooms.com

RE: 405 Paris Street – Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville’s Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A “Special Historic District and Landmark Regulations” and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the re-submittal:

DESIGNATIONS		OTHER IMPORTANT INFORMATION	
Historic Zoning (HE/CG)	CG	Build Date	ca. 2007
THC 1969 Survey		Architectural Style	
THC 2002 Resource		Alsatian Influences	
Other Historical Designation			

Please provide a comment response letter with subsequent submittals.

COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant HAS met all COA application requirements.

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,



123 Parland Place, Suite 100
San Antonio, Texas 78209
210.549.2588
work5hop.com

08 December 2025 /
Letter of Recommendation
 Certificate of Appropriateness
 405 Paris Street,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the *changing of paint color; regarding; dismantling, removing or moving of any exterior features* or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, *alteration*, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, *windows*, stonework, *woodwork*, light fixtures, signs, sidewalks, fences, steps, paving and/or other *exterior elements visible from a public right-of-way* which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

Alteration Comments

1. The proposed sign is consistent with the City of Castroville's Design Guidelines and is therefore *recommended for approval*. Please note that the signage must also comply with the City's Sign and Signage Ordinance.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at breana.soto@castrovilletx.gov if you have any further questions.

Regards,



Selina Angel | City of Castroville Historic Preservation Officer | Work5hop



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Timeline / Deadline for Completion of Approved Work

Background

Currently, when the Historic Landmark Commission (HLC) approves a Certificate of Appropriateness (COA), the approval does not include a defined deadline for completing the approved work. In practice, this has resulted in some projects remaining partially completed or delayed for extended periods of time, which may contribute to visual blight or uncertainty regarding the status of approved improvements.

Commission members have expressed interest in discussing whether a formal timeline or expiration period should be established for approved work. Other cities address this issue by setting a deadline after which a COA or permit becomes void if work has not commenced or if reasonable progress is not demonstrated, requiring the property owner to reapply.

It was noted during prior discussion that, under the current framework, enforcement options are limited as long as some level of progress is occurring.

Discussion

Key discussion points for the Commission may include:

- Whether establishing a standard timeframe for completing approved work would be beneficial.
- How “reasonable progress” could be defined, if at all.
- Whether a COA expiration or reapplication requirement would be appropriate.
- How such a policy would align with existing City permitting processes.

Because any enforceable timeline may have legal and procedural implications, staff recommends consulting with the City Attorney before drafting or implementing any policy changes.

Recommendation

No action is requested at this time. Staff recommends:

- Discussion by the Commission.

- Direction on whether staff should consult with the City Attorney and return with options or draft language for consideration.



Agenda Report

Agenda of:	December 17, 2025
Department:	Community Development Department
Subject:	Tracking Projects for Compliance with Approved Plans

Background

Ensuring that work completed under an approved Certificate of Appropriateness (COA) aligns with the plans reviewed by the Historic Landmark Commission is an important part of historic preservation. At this time, the Building Inspection Department is responsible for periodically inspecting projects for general code compliance and consistency with approved plans.

The Commission has expressed interest in discussing whether additional tracking or oversight mechanisms could be explored to ensure compliance with approved historic plans, particularly for visible exterior improvements.

Per the City’s current code provisions, the Historic Preservation Officer’s role does not include ongoing project monitoring or inspection authority. As a result, any alternative approach—such as the creation of a subcommittee or task force—would need to be carefully evaluated for consistency with the City’s ordinances and legal framework.

Discussion

Potential discussion topics include:

- The limitations of the current compliance and inspection process.
- Whether a Commission subcommittee or advisory role could assist with tracking projects.
- Coordination between the HLC and Building Inspection Department.
- Legal considerations related to oversight and enforcement authority.

Staff recommends that any changes to roles or responsibilities be reviewed with the City Attorney prior to implementation.

Recommendation

No action is requested at this time. Staff recommends:

- Discussion by the Commission.
- Direction on whether staff should seek legal guidance and return with feasible options for enhanced tracking or coordination.



Agenda Report

Agenda of:	December 17, 2025
Department:	Community Development Department
Subject:	Updating the Historic Design Guidelines

Background

The City's historic design guidelines serve as an important reference for property owners, applicants, and the Historic Landmark Commission when reviewing proposed work within historic districts or on landmark properties. Over time, these guidelines have become outdated and may no longer reflect current best practices, architectural understanding, or community goals.

The Commission has expressed interest in discussing a comprehensive update to the design guidelines, including the possibility of holding a workshop with staff to identify needed revisions and areas for improvement.

Updating the design guidelines would be a significant effort requiring Historic Preservation Officer (HPO) time, potential consultant assistance, and ultimately City Council approval. Funding would also need to be identified as part of this process.

Discussion

Discussion topics may include:

- Areas of the design guidelines that are outdated or unclear.
- Whether a workshop format would be beneficial to guide updates.
- The relationship between updated guidelines and other preservation topics, such as noncontributing properties.
- The level of effort, timeline, and resources required for a comprehensive update.

Staff can prepare a preliminary cost estimate and project scope if the Commission wishes to move forward.

Recommendation

No action is requested at this time. Staff recommends:

- Discussion by the Commission.
- Direction on whether staff should prepare a cost estimate and outline next steps for City Council consideration.



Agenda Report

Agenda of: December 17, 2025

Department: Community Development Department

Subject: Noncontributing Properties Within Historic Districts (50+ Years Old)

Background

Within historic districts, some properties are currently classified as noncontributing due to alterations, age at the time of designation, or lack of historic integrity. Over time, some of these properties have reached or exceeded 50 years of age, raising questions about how they should be evaluated moving forward.

The Commission has requested guidance on how to approach noncontributing properties that are now over 50 years old, including how architectural styles, construction periods, and historic context may affect future consideration.

Discussion

Staff proposes providing an educational overview to assist the Commission, including:

- General criteria used to evaluate contributing versus noncontributing status.
- Common architectural styles and features associated with relevant time periods.
- How integrity, context, and design guidelines factor into evaluation.
- How this topic may relate to a future update of the City's design guidelines.

Staff can prepare a brief PowerPoint presentation to support this discussion and provide consistent reference material for the Commission.







Recommendation

No action is requested at this time. Staff recommends:

- Discussion by the Commission.
- Direction on whether staff should prepare the proposed educational presentation for a future meeting.

HLC COMPLIANCE ISSUES 2025

Section V, Item k.

IMAGE	ADDRESS	ISSUE	1ST NOTICE	2ND NOTICE	3RD NOTICE	4TH NOTICE	NOTES
	1401 ISABELLA	TRASH/JUNK NOT PICKED UP. HISTORIC HOME POSSIBLE CONDEMN. DOG TIED UP TOO SHORT.					Code enforcement deemed there are no active code violations. Code enforcement reached out to them about possibly getting them to remodel, but got no response.
	501 LONDON	TRASH & CONSTRUCTION MATERIALS NOT TO CODE. PICTURE WINDOWS NOT TO CODE AND NOT APPROVED IN CA.		Citation issued March 12, 2025.	Court date - 05/15/2025		The bank now owns the property. Will discuss reaching out to the bank about the current code violations on the windows. The bank has put out a dumpster to start clean up.
	1715 NAPLES	DID NOT BUILDING GARAGE ACCORDING TO C OF A.	Door hanger - 2/26/2024	Notice of Violation sent 3/15/2024. Have a month to	Filed in municipal court in May 20, 2024		Date still needs to be reset.
	714 LISBON	HOME IS IN DISREPAIR.					No improvements have been made
	713 Lisbon	JUNK AND DEBRIS		Notice of violation sent 04/15/2025	Citation Issued - 5/5/2025 (No show to court)		Went to court on the 9th and showed that he has been cleaning the property.
	307 London	HOME IS IN DISREPAIR.					Code compliance reached out to owner. He has recently taken down the pickets to repair and replace. Also mowed the grass and was told to fix the shutters. Pulled permit to repair the electric.



Agenda Report

Agenda of:	December 17, 2025
Department:	Community Development Department
Subject:	Setting a Date for a Joint Workshop with City Council

Background

A joint workshop between the Historic Landmark Commission and City Council would provide an opportunity to discuss preservation priorities, design guidelines, code issues, and long-range planning initiatives related to historic resources.

The Commission has expressed interest in coordinating such a workshop to ensure alignment with City Council goals and to provide policy-level guidance on future preservation efforts.

Discussion

The Commission may discuss:

- Desired topics for a joint workshop.
- Timing and availability of Commission members and City Council.
- Whether the workshop should be informational or include policy direction.

Staff Recommendation

Staff recommends that the Commission discuss and select a preferred date or date range for a joint workshop, with staff coordinating logistics and confirmation with City Council.