

### **Historic Landmark Commission Special Called Meeting Agenda**

### **COUNCIL CHAMBERS - 1209 FIORELLA STREET**

Wednesday, December 17, 2025 6:30 PM

The Historic Landmark Commission of the City of Castroville will meet in the Special Called Meeting beginning at 6:30 p.m. in the Council Chambers at City Hall on the following items listed on the agenda.

- I. Call to Order
- II. Roll Call

### **III.** Citizen Comments

The Board will hear comments from any citizen or visitor. Speakers must address their comments to the presiding officer rather than individual board members or staff; stand at the podium, speak clearly into the microphone and state your name residential address before speaking. Speakers will be allowed a maximum of 3 minutes for testimony. In accordance with the State Open Meetings Act, the Board is restricted from discussing or taking action on items not listed on the agenda. Action can only be taken at a future meeting.

### IV. Approval of Minutes

- a. Minutes for November 18, 2025.
- **b.** Minutes for October 21, 2025.

### V. Discussion and Action Items

- a. Discussion and action on a Certificate of Appropriateness for 702 Paris St.
- **b.** Discussion and action on a Certificate of Appropriateness for 505 Houston.
- **c.** Discussion and action on a Certificate of Appropriateness for 1109 Fiorella.
- d. Discussion and action on a Certificate of Appropriateness for 501 Vienna.
- e. Discussion and action on a Certificate of Appropriateness for 902 London.
- **f.** Discussion and action on a Certificate of Appropriateness for 405 Paris.
- g. Discuss whether the HLC should adopt a timeline or deadline for completing approved work.
- **h.** Discuss options for monitoring projects to ensure work aligns with approved plans.

- i. Discuss whether the Commission would like to begin the process of updating the outdated design guidelines.
- **i.** Discuss how to treat noncontributing structures that have now aged into potential eligibility.
- k. Discussion about Code Compliance Issues.
- **L** Discuss and set a date for a joint workshop with City Council.

### VI. Discussion on Future Agenda Items

### VII. Adjourn

### **Accessibility Statement**

The City Hall is wheelchair accessible. The exit and parking ramps are located at the rear of the building.

### **Non-Discrimination Statement**

The City of Castroville does not discriminate on the basis of race, color, national origin, sex, religion, or disability in the employment or the provision of services.

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, Castroville, Texas on December 10, 2025 before 5:00 p.m.

/s/ Debra Howe

City Secretary

### HISTORIC LANDMARK COMMISSION

### **Meeting Minutes for November 18,2025**

- 1 Called to Order at 6:35 P.M.
- 2 . Roll Call: Present:, Lori Marchman, Ky ;e McVay, Doug DeMino., Jeff Gardner, Mary King, HPO Selena Angel & liaison
- 3 Citizen's Comments Houston Marchman put a timeline cap on Project Renovation.
- 4 Minutes from October 21, 2025, Tabled
- 5 A 905 Lisbon. -Discussion and Appropriate action on a request for a Certificate of Appropriateness for the restoration of the original Pioneer home plus the addition of additional structures, All COA ordinances requirements have been met. Motion included: Keep front rafters, transformer, stucco front & west side of connectors, add muntins to front window. Additions were incorporated in consideration of keeping large pecan tree and old original well. Motion made by Mary K.-2<sup>nd</sup> by Kyle M. passed
  - C, Up date on current code compliance and enforcement

    No Updates available item tabled
- 6. Adjourned at 7:21

Submitted by : Kyle McVay – Secretary	
Approved by Chair -Jeff Gardner	

### HISTORIC LANDMARK COMMISSION

### **Meeting Minutes for October 21,2025**

- 1 Called to Order at 6:30 P.M.
- 2 . Roll Call: Present: Priscilla Garrett, Lori Marchman, Ky; e McVay, Doug DeMino., Jeff Gardner, Mary King, HPO Selena Angel & liaison Phil King.
- 3 Citizen's Comments None.
- 4 Approval of Minutes for August 19, 2025, passed
- 5 A. 616 LaFayette No Action was ta;en. The property in question was one of seven properties removed from the Historic District. The Board would have approved the requested restoration.
  - B. 1715 Amelia -Discussion and Appropriate action on a request for a Certificate of Appropriateness for the restoration of the original Pioneer home plus the addition of additional structures, All COA ordinances requirements have been met. Motion by Mary K.-2<sup>nd</sup> by Kyle M. passed
  - C, Up date on current code compliance and enforcement
- D, 1302 Fiorella Discussion and Appropriate action on Request to replace 2 doors, replace wooden handrail, exterior lighting above customer entrance. The doors had already been

replaced before coming to HLC, The Board's recommendation was to add Muntin's to the glass panels to match the sty;e of the existing transoms and windows ensuring compatibility with the building's historic character. Motion to approved – passed.

- E, Potential buyers of Historic properties for sale needed to be notified of Guidelines for Historic Properties before buying. This can be done through the Title company, Realtor, or the City of Castroville
- F. Update on the THC First Street Initiative, by Selena.

We are applying - Selena primary, Priscilla secondary.

- 6. Future Agenda items
- 7. Adjourned at 7:17pm

**Submitted by : Kyle McVay - Secretary** 

Approved by Chair - Priscilla Garrett\_\_\_\_\_

Section V, Item a.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 702 Paris Street

### **Applicant**

Castroville Catholic Middle & High School

Representative: Brook Rothe

### **Zoning / Historic Status**

• **Zoning:** Historic Estate (HE)

• **Year Built:** ca. 1900

• Historic Surveys: THC 1969 Survey; THC 2002 Resource

• Architectural Style: Center Passage Residential

### Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure at 702 Paris Street. Proposed work includes porch and balcony elements, door and window changes, siding and wall surface work, exterior paint, roofing components, fencing, and associated site features.

### **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all COA submission requirements**.

The HPO recommends approval with conditions, including but not limited to the following key items:

Section V. Item a.

- Removal of decorative porch and balcony brackets to avoid creating a false sense of historic character.
- Construction of porch floors in wood rather than concrete; simplified stair design.
- Retention of the existing second-story rear door and transom; no replacement with a window.
- Preservation of historic doorframes unless ADA requirements necessitate modification.
- Use of appropriate mortar and plaster materials for stone and stucco repairs.
- Submission of a complete exterior paint color schedule using historically appropriate colors.
- Confirmation of standing seam metal roof colors.
- Fence heights that complement the historic structure, with lower heights in the front yard.
- Correction of zoning designation on the COA application to HE.
- Future HLC review required for any landscaping not included in the current submittal.

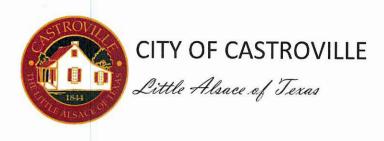
A written response letter addressing all HPO comments is required with revised plans.

### **Staff Recommendation**

Approve the Certificate of Appropriateness for 702 Paris Street, subject to the conditions outlined in the Historic Preservation Officer's Letter of Recommendation dated December 2, 2025.

### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 702 Paris Street, subject to the conditions as discussed.



	Section V, Item a.
Permit Number:	2025304
Submittal Date:	11/25/2025
	office use only

**Community Development Department** 

703 Paris St. Castroville, Tx 78009 (830) 931-4090 permits@castrovilletx.gov

Certificate of Appropriateness Application

Property Information		
Project Address: 702 Paris Street		Zoning: C-G
egal Description: Lot /-8 Block 7	Range 💪	Subdivision
andmark Name: Maye	guidina.	
Owner Information		
Owner Name: Castroville Cotholic Middle	+ High school	economic activento con il committa e la Presenta Pese, presentare del Pese di Indiana del 1973.
lailing Address: Po Box 291	U	
hone: 830-426-6502 Fax:	Email: maye sc	houlcastroville egmail.com
roject Description		
Renovation of 2 story rock bui	ilding on the	west half of the Moye
envent property. Restore to original	an exter	cise and use fac
a schoolhave.	3,70	
Renovation of 2 story rock but anvent property. Restore to original a schoolhave.	an exter	rior and us

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:_	Jame Holl	Date: 11-21-2025

### AFFIDAVIT OF AUTHORIZATION STATE OF TEXAS COUNTY OF MEDINA

BEFORE ME, the undersigned authority, on this day personally appeared Brooke Rothe, who being by me duly sworn, deposed and said:

- 1. My name is Brooke Rothe, and I am a duly authorized representative of Castroville Catholic Middle & High School, located at 702 Paris Street, Castroville, Texas 78009.
- 2. I am competent to make this affidavit and have personal knowledge of the facts stated herein.
- 3. I hereby authorize Lance Rothe to act on behalf of the Castroville Catholic Middle & High School in all matters related to the certificate of appropriateness currently being submitted to the City of Castroville.
- This authorization includes, but is not limited to, attending meetings, submitting documents, and communicating with relevant officials regarding the zone change request.
- 5. This affidavit is made for the purpose of confirming said authorization and may be presented to any relevant authority as evidence thereof.

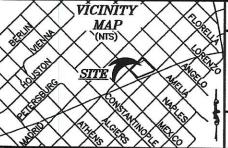
Brooke Rothe, Director, Castroville Catholic Middle & High School

SWORN TO AND SUBSCRIBED BEFORE ME on this 21 day of \_\_\_\_\_\_, 2025, by Brooke Rothe, who is personally known to me or has produced identification.

Notary Public, State of Texas

FURTHER AFFIANT SAYETH NOT.

My Commission Expires: 7/30/29



### **EXHIBIT**

TRACT ACROSS THE LANDS OF CONGREGATION OF SISTERS OF DIVINE PROVIDENCE CONTAINING 4.98 ACRES

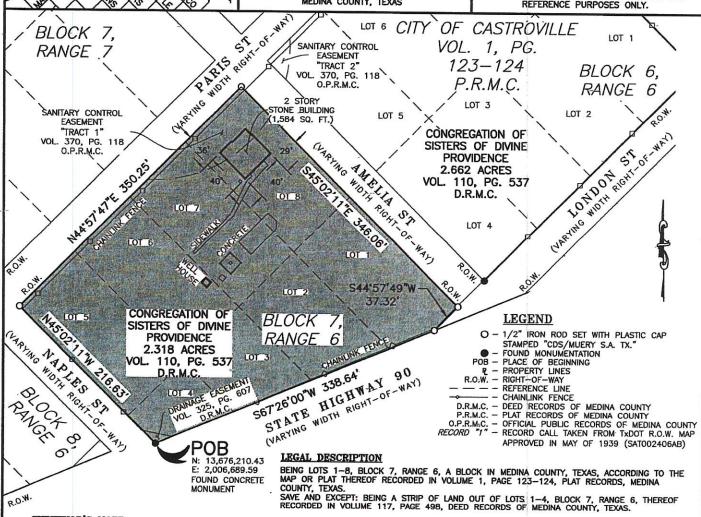
SITUATED IN THE NEPOMUCINO FLORES SURVEY 178, A-1887 MEDINA COUNTY, TEXAS

Pg. 1 of 1 CDS JOB NO. 124083

BEARING BASIS: GRID NORTH COORDINATE SYSTEM: TEXAS STATE PLANE, NAD 1983(2011), EPOCH:2010 TEXAS SOUTH CENTRAL ZONE (4204)

ALL DISTANCES SHOWN ARE SURFACE. (GRID X 1.00017 = SURFACE)

THIS EXHIBIT REPRESENTS A BOUNDARY SURVEY ONLY. EASEMENTS SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY.



### SURVEYOR'S NOTE

R.O.W.

THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE COMMITMENT BY ALAMO TITLE INSURANCE, GF NO. SAT-60-4000612500620-MF, EFFECTIVE DATE JULY 6, 2025, 8:00 AM, ISSUED ON JULY 11, 2025, 8:00 AM.

THE BEARING BASIS FOR THIS SURVEY IS GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NADB3(2011), EPOCH:2010, TEXAS SOUTH CENTRAL ZONE (4204)

THE SURVEYED PARCEL LIES COMPLETELY WITHIN FLOOD HAZARD ZONE "X" (SHADED) OF 0.2% ANNUAL CHANCE FLOOD HAZARD, ACCORDING TO MAP NUMBER 48325C0510D WITH AN

FOUND CONCRETE

- EFFECTIVE DATE OF 05/15/2020.

  UNLESS OTHERWISE NOTED, THE UTILITY EASEMENTS ARE REFERENCED FROM VOL 370 PG. 120, AND-VOL 325 PG. 607, OF THE D.R.M.C.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN—MADE OR NATURAL CAUSES. THIS STATEMENT DOES NOT REPRESENT OR IMPLY THAT A FLOOD PLAIN STUDY OR ANALYSIS WAS PERFORMED BY CDS MUERY.



CDC	DF
G CDS muery	J.
ENGINEERS   SURVEYORS	SC
100 NE LOOP 410, STE, 300 I SAN ANTONIO, TEXAS 78216. (210) 581-111 I TEPE NO. F-1733 I TEPLS NO. 100495-00	1

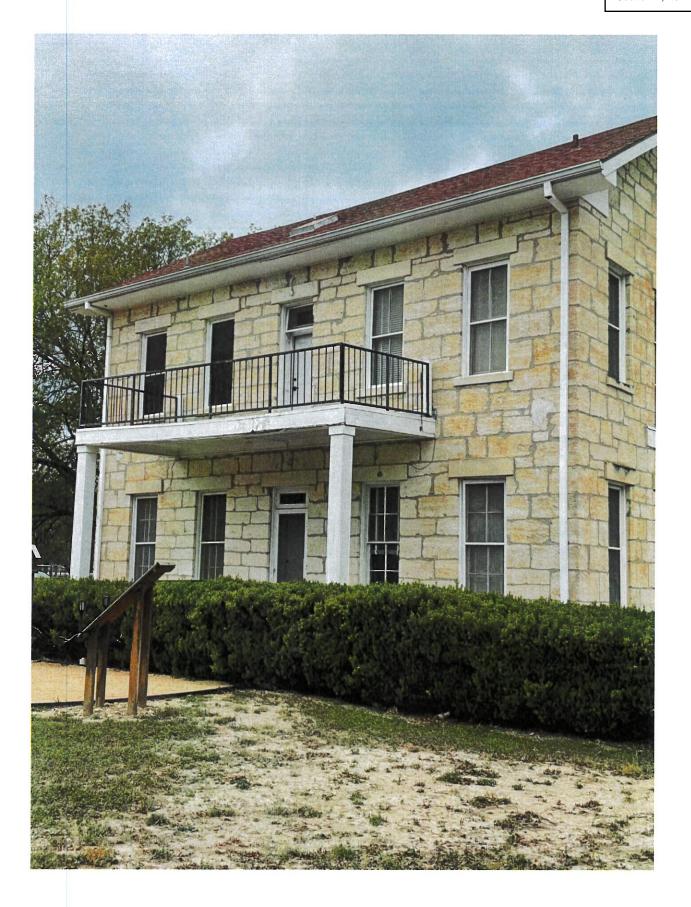
ISED: 07/22/2025	
DATE:	
04/26/2024 SHEET:	
1 OF 1	



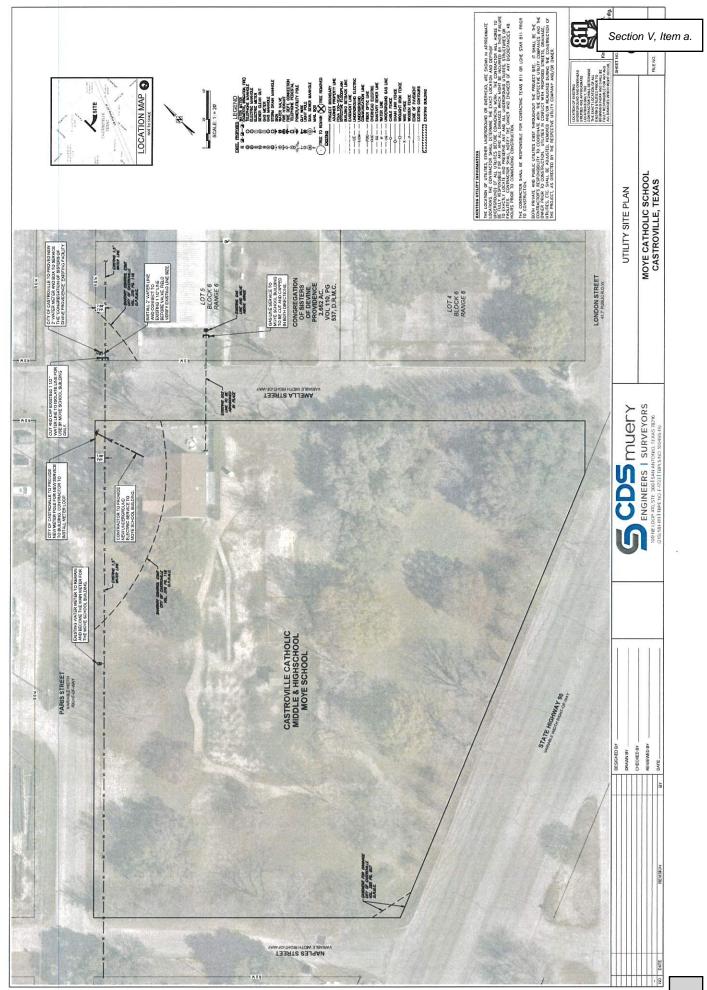
DARRYL L ZERCHER

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5609

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE ABOVE PLAT IS A TRUE AND CORRECT REPRESENTATION OF AN ON THE GROUND SURVEY PERFORMED UNDER MY DIRECTION AND SUPERVISION, IN MARCH OF 2024.









Studio E CENTRAL DE PROPERTOR DE PROPE

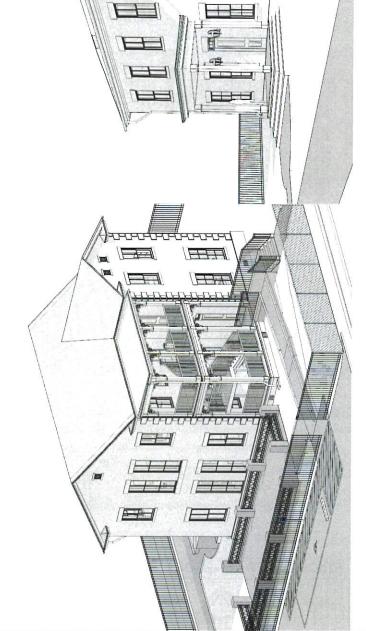
INDEX OF DRAWINGS

UTILITY SITE PLAN

CASTROVILLE CATHOLIC SCHOOL

702 PARIS ST, CASTROVILLE, TX

BLESSED FATHER கூழ்த் CATHOLIC SCHOOL



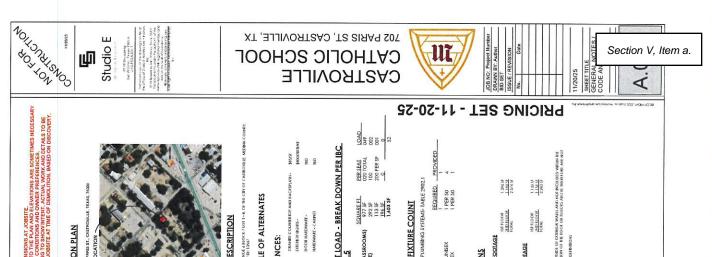
PRICING SET - 11-20-25

CASTROVILLE CATHOLIC MIDDLE & HIGH SCHOOL control of the control of the catholic middle of

ARCHITECT
Sulate E. Attolecture & Hinters, Inc.
Asset in General, Replaces & Attolector (X, 833)
1818 Bendering S. Anthone, I. X. TANDS
P. 1817-181-180 Anthone
P. 1817-181-180 Anthone
P. 1817-181-181 Anthone
P. 1817-181 Anthone
P. 1817-18

MEP VISIT HARMOUTHAN CD9
CES - CONNEND EDITOR ON YOUR CD9
T TO PROMISE OF THE CONNEND AND A THREE OF THREE OF THREE OF THREE OF THREE OF TH

16



L, ERREAL PIERLE: HE RIENI OF THE DRAWINGS AND GENERA HOTES A REGINERARIS ARE TO YROWIZ DESIGN HITHET. WAUR ENGINEERING (COST SANINGS) TO HE MAKERIALS AND SCOPE OF THE SANING HE ENFERSARIED BUT SHALL IF DUTT NOTED AND ITEMBED IN THE BID FORM AND TROPOSALL.

GENERAL NOTES

**ABBREVIATIONS** 

38. MODERCATIONS: MODERCATIONS TO THE PLANS" ARE SOMETIMES NECESSARY DUE TO JOB SITE CONDITIONS AND OWNERS PRETEXENCES.	LEINEN ERGELEGE OF CHRANGE OF CHR
38 MODEICA	39. IERMIEP UCENSED IER PASFECTIONS ACTIVITY BE II ENSURING THE WITH PROBESS SASIAMANNE CONTRACTO

. KET OF DRAWINGS: DO NOT DISASSEABLE THE SET OR CIVE PARTIAL SETS TO SPECIONESCONS.

SET OF THE CONTRACTOR.

SET OF THE DOCUMENTS WILL SPEED.

<u>26.AINT OI DIAMBIGS.</u> DO HOTS CALE DRAWINGS. È UNERSISSIS ARE BY QUESTON, OWNS SERVESTANDIAM AND SUCCESSINANCA (ON SAULE RE RESPONDIBLE FOR DEBARDOS CLARBEATION PROFESSION AND SUCCESSION OF CONTINUES OF CONTINUES OF THE ACCUSATION OF THE ACCUSAT

ED HAV	ACTOR NB FO
WHEARES TANABASES CONSTRUCTION REDIDENT AND BEITRING CODES HAN HEAME FOR CLAMA JETCE CONFIDENCE, COPREDIDENT REVIEWS AS COPPED PRECENT WHO COMMEACE IN COUNTRIES, COPREDIDENT REVIEWS PRECEDING ON REVIEWS AS CONTRIBUTED TO A REQUIREMENT PRANCHARD AND CONTRIBUTED TO CONTRIBU	COMPT WHI LICKAL BEIGHER COURS, AND PROJEKT SHALKARS. CENTRACTOS SESTONBLE FOR CONPLINE TO BEIST SHARKARS AND RECURATIONS AND IN THE CONPRINCITION PROMISE. HE PSYLLARDHY SHALL MET HIL MANDRAM THE AND PROJECTED BY HE LATEST EDITION OF THE FOLLOWING CODES. HANDARDS AND SECURATIONS.
HEDBAG SECAS SECUR	SET WHILLOGEN WHILLOGEN AND HOUSEN'S YABLADESI, CORI ESSONOBIER FOR CONTRACTO INEST AND HOUSEN'S AND RECOLATIONS FOR CONSENCIONE HEARING, HE PSIALLANDA SMALLAET HE ARHUMIN AND AND RECORDED BY HE LATEST EDIRION OF HE FOLLOWING CODES HANDANDS AND REGULATIONS.
AND B THE WC REGUL NSO P	STANE AND R MET I
CE OF RNING ARDS D	DUSIRY DAKDS SHALL F THE F
HON BY GOVE STAND, G DR C	AND IN E STANI LATION IIDN C
SIRUCI VPERIO MENIS. NCED LAPPIN	O DES O DES PASTAL EST ED
F CON ECT OF BOCCU	NACE IN THE LA
AND AFF AD AFF AND AFF NON-	OWTU OWTU PERMI PED IN GULAT
STANDA BCE AN C CON E CVER MAY C	COMPLY WITH LOCAL BUILDING REFONSIBILE FOR COMPLIANCE HIE CONSTRUCCION PERMIS, IN STANDARD PRESCREED IN THE L. STANDARDS AND RECURITORS
ME FOR THE PRICE OF THE PRICE O	NSBIE NSBIE ONSBE ARD P
NPTU HE SA DREC NECE	H COM

EXBING SURDIN	. FIRE CODE. IF C	MECHANICAL CO	FLUMBING CODE
2012 MILKINA HOMAL EXISTING BUILDING	ERECODE 2012 BUERNA HOMALTINE CODE. IFC.	MICHANICAL CODE 2012 MERNATIONAL MECHANICAL CC	PLUMBING CODE 2012 BITERNA HOBAL FLUMBING CODE

PLUMSING	HEL GAS C
PHINGING CODE 2012 BHERNA HOSSAL	THE GAS CODE 2012 BUT ENATIONAL

	LENERGY CONSERVATION	ECINIC CODE, NEC
FNFRGY CODE	2012 INTERNATIONAL	2014 NATIONAL ELECT

	MARJETANCE COLE 2025 CASIROVELE CITY CODE OF ORDRIANCES, CHAPTER 22 - BUR DIHGS AND BUIDING REGULATIONS PROPERTY MARIEMANCE CODES	CONTRIBLE CONTRIBLE AND AMERICAN DISABILITY ACT ADDA, AMERICAN DISABILITY ACT ADDA, AMERICAN DISABILITY ACT ADDA, AMERICAN AND THE DEPARTMENT BY AND THE CONTRACTOR ON GENERAL DICADORS. HIS CONTRACTOR AND AMERICAN DISABILITY OF THE AMERIC
--	---	--

CHOOSE AND
--

BULDINGS AND FACILITIES.	MGS OR FACERIES THAT ARE
206 ACCESSBLE ROUTES	EXCEPTIONS
206 2.3 MULIESTORY B	1. BY A PRIVATE BUILDINGS

MAIL THE PROFESSIONAL OFFICE OF A HEATHLYME PROVIDER. A FERRANAL DIFFOU BO OFFICE STATUSIS LIGHT OFFICE PER DYBILL TRANSPORTATION A APPORT RAXISCER RESAMAL OF ANOINER THE OF FACILITY AS DEFENANTED Y HE US. ALTORNEY GENERAL.	2. WHERE A IND STORY PUBLIC BURDING OR FACILITY HAS ONE STORY WITH AN OCCUPANTIOND OF INCOMENS PRESCUSS THAT INDEX NOT CONTAIN PUBLIC LESS SACE, THAT STORY SHALL NOT BE REQUIRED TO BE COMPLICED.
--	--

AN OCCUPANTOND OF THE OX TEWER PERS	ADA SIANDARDS FOR ACCESSISE DESIGN
PUBLIC US SPACE. HAT STORY SHALL NOT BE I	28 CFR PART 34, SVRPART D.—NEW CONSTRUCTION
TO THE STORY ABOVE OR BELOW.	34,404 ALTERATIONS: ELEVATOR EXEMPTION

ANY AND AND AND AND AND AND AND ALTERATIONS TO AND ALTERATIONS TO AND ALTERATIONS TO ANY ALTERATION SEAL AND ALTERATION SEAL A	(o) THIS SECTION DOLES NOT REQUIRE THE INSTALLABILATE OF ANH ELEVA AND ALTERED FACE THE THAN THE SET IN THAN THE SET ON ORDER OR BANK TAKEN TO AND ALTERS A MODIFMEN AND THE RESERVE THE OF ANY PACEDIA. THE RESERVE CHILLS AND THE REPORTER A TESTANDARY OF A HACHE CARE PROVINCE. A TESMANAL DEPOL ON OHRE STANDARY.
--	--

	ŭ
	9
į	-
	3
	9
	-

		111.00
	SIL	41.4
	RSI	E
	3-4	E HE
	178	SEAB
	OK:	IANI
ö	1	SG
ĕ	=	. 481
ž	3	ž
₹	=	AR KA
5	120	LAK
_	-	"

CONTRACTOR DE RAMANITO CORRACTOR, CORRACTOR, CORRACTOR, CORRACTOR, CORRACTOR, CONTRACTOR, CONTRACTOR, SEND TO ARCHITECT A MOD FORCINETE POR SETEW AND MODERNAL ACIDA VIETER D DIATOR OF REPROVAL FOR PRINKINA, ALLOW METER D DIATOR OF REPORT OF THE CONTRACTOR OF CONTRACTOR SENDS TO FACURE OF METERS AND THE CONTRACTOR SENDS TO FACURE OF METERS OF THE CONTRACTOR OTHER OF THE CONTRACTOR OF THE	The Party Street and an area of the party and the party an
---	--

FOR BILLIA ALLOW SEVEN CHARACTOR APPROVAL BOX
CHIECL INGINER AND/OR COMPACTOR PRICE TO PLAN
RDES. REFER TO STRUCTURAL & MEP ENGINEERS FOR ADDIVITS.
WING SHOP DRAWINGS OR MISMITIALS SHALL INCLUDE BLIT THE FOLLOWING:
AG FRINKS
PROTECTION OF THE PROTECTION O
NCB

38. MODERCATIONS: MODERCATIONS TO THE PLANS" ARE SOMETIMES MECESSARY DUE TO JOBS SIE CONDITIONS AND OWNER'S PREFERENCES.	LESTOR REMAIL ENGINEERS, THE GERBAC COUNCILO WHITE THE CENTRAL PROPERTY OF THE CHARGE COUNCILO WHITE THE CHARGE COUNCILO WHITE THE CHARGE COUNCILO WHITE THE CHARGE COUNCILO WHITE THE CHARGE COUNCILON. THE CHARGE COUNCILON WHITE THE CHARGE COUNCILON WHITE THE CHARGE COUNCILON WHITE THE CHARGE THE THANK TO COUNCILON WHITE THE CHARGE COUNCILON WH
- MODELCAHONS: MODERCAHONS TO THE PLANS" ARE S	A MATERIAL CONTROL SHE CERTAGE A CONTROL CON WAS
CLSSARY DUE TO JOB SITE CONDITIONS AND OWNERS PA	STORY MARKET CONTROL

2	BUILDING CODE DATA
APPU	APPLICABLE STANDARDS OF CONSTRIBUTION INDIGINY AND MINDING
THE S.	AME FORCE AND AFFECT ON PERFORMANCE OF THE WORK AS IN
DREC	DRECTLY INTO CONTRACT DOCUMENTS. GOVERNME RECUI ATOMS H
PREC	*RECEDENCE OVER NON-REFERENCED STANDARDS IN SO FAR AS DE
STAN	STANDARDS MAY CONTAIN OVERLAPPING OR COMBINCTING REQUIRES
COM	COMPLY WITH LOCAL BUILDING CODES AND MUNISIRY STANDARDS. C.
RESPL	RESTONSIBILE FOR COMPURINCE TO THESE STANDARDS AND REGULATED
THE	HE CONSTRUCTION PERMISS. DIF PICTALI ATION SHALL MEET THE MINING
STANS	STANDARD PRESCRIED IN THE LATEST EDITION OF THE COLLOWORD CO.

1917	
DIG	APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY AND
	THE SAME FORCE AND AFFECT ON PERFORMANCE OF THE W
	DIRECTIVING CONTRACT DOCUMENTS, GOVERNING REGI
	PRECEDENCE OVER NOM - REFERENCED STANDARDS IN SO
SURE	STANDARDS MAY CONTAIN OVERLAPPING OR CONTINCING
IE.	COMPLY WITH LOCAL BUILDING CODES AND MUNISIRY STAY
	RESPONSIBILE FOR COMPITANCE TO THESE STANDARDS AND
. 115	THE CONSTRUCTION PERMITS. THE PASTALL ALTON SHALL AND
ANY.	STANDARD PRESCREED IN THE LATEST EDITION OF THE FOLLO
	STANDARDS AND REGULATIONS:
-	MILIDING CODE

THE WASHINGTON THE AND	THE PROJECT HE ARCHITECT DESIGNER AND FOR
	INON SHALL BE DECUIED BY DUPININCED PERSONNEL.  THE SHALL SHOW AND SHALL SHOW AND SHALL SHOW AND SHALL

200	NLED MEA DCAILOR NOIED TO HE AKCH NCEPI AN MCEPI AN MCEPI AN
	E DVER 3C, SPECEFIC I, B. DETAILS THERWDE, VEUAL CO VEUAL CO S PROJECT, OCCATION
CODE.	RECEDENC SHOWN AN HROUGHOU IS NOTED ID STRATE THE DAY FOR THE DAY FOR THE WARTEN BA
PLANS OR IN CONFLICT WITH ANY BUILDING CODE.	MICH THE THAMBRIGS INMOMENS HAT PRECIDENCE OVER SCALED MAY ALL AND EXTERNOR THE HAMARING AND EXTERNOR AND STREET OCATION AND STREET OF THE THE MANARING AND STREET OF STREET AND STREET OF THE
I WITH AN	E DIMENSIS H HE DRA PRAL REQUI ATED SIMILA NDED TO PE D WEATHER AL CORSIL
IN CONFID	DRAWING ECTIONS O HOW GEN MONS INE N ARE INTE O MARRING S SRUCTUR
PLANS OR	ALS AND S ALS AND S ADED TO S THE CONE ALS SHOW IMUM REC AUREMENTS INCARDAS

-	OK	
>-	# V # 5	Ξ
-	音楽の音	=
=	3522	3
픙	2022	9
2	2322	5
a.	2503	3
8	2552	č
44	2552	c
*	유통화학	5
55	3 3 4	ä
<b>3</b> 5	寄書口さ	ě,
ž	2222	5
0	2882	₫
	#555	Ψ
2	7.5 = 5	Ě
8	25.25	5
=	검독등등	×
=	\$ ¥ 5 2	ū
<	원= 종종	B
×	23 E Z	뒥
OJECT ONLY. ALL DESIGNS, CONCEPTS ARE COPTRICHIED BY SI- LEBORS INC.	APPROVED DRAWNGS: THE GENERAL COMBACTOR STALL BE B DOBBEACHING THE WORK RETWEEN HE DIFFERH SUBCOMBACT BE CONTRACTORS TO USE THE MOST CORRENT SET OF PLANS OR E. PARMARH ATPROVED SET OF PLANS. IT S. THE REPOLISHIETY OR	a
- 2	임폭변물	₹
20		
	원포증포	-

|--|

VIDE FIRE	OAKD, E
HE TO PRO DURBNG AL	ROVIDE N
S. <u>IRE PROTICTION</u> : GENERAL CONTRACTOR TO PROVIDE TRE HE CITY OF CASTROVILLE FIRE DEPARTMENT DURING ALL PHASE ICLUDING FRIAL OCCUPANCY.	<ol> <li>MOCKHES: All SUBCONTRACTORS TO PROVIDE MOCKHIP ND OWNER APPROVALTOR IDDINE OVER GYPNIM ROARD, E</li> </ol>
E FIRE DEP PANCY.	CONTRAC FOR IDEE
PER PROJECTION: GENERAL C TE CITY OF CASTROVILLE FIRE DE ICLUIDING FINAL OCCUPANCY.	PPROVAL
NE PROFE SITY OF C. UDING HIS	MOCKAP OWNER/
- 20	79

FCI	E 2
3. MOCK-LES, ALI SINCOMPACTORS TO PROVIDE MOCK-INS FOR DEBCHE, ARCHITECT POWER APPROVAL OR REDIRECT OVER OFFWARMSOAD. DEBICIE PARI BITISCHE PARI ANDOR TRAW WOODE BASE. IN GENERAL, HE WIND B. FOR NEW PRIGHTS TO MICH. DEBCHE THE BLOSS NEW PRIGHTS ALL OWN TO SE TAPAT COURS MOCK DES.	4 MORAGE OF MATERIALS THE GIPTERAL CONTRACTOR AND STRECONTRACTORS STARL BE STREPOMBLE FOR STROKEN THE MATERIALS OH HE BE ACCORDING TO MATERIAL STEPPERS REMAINACTURES SKRINGTON THE MATERIALS SHALL BE FOR THE CONTRACTOR OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY STREAM SHALL BE SHALL BE SHALL BE SHALL BE SHALL SHALL BE SHAL
GAER IN	ACTOR ATERM AND PR
OR DESI	CONTRACTOR MATER
JUST NIEMI X UPS	AD SUB OKDING CEPT SE SUT OF
3. MOGALES: ALI SUBCONIBACTORS TO PROVIDE MOCALIFS FOR AND OWNER APPROVAL FOR EXISTING OVER CHYMINGOARD. DET WEBDOW TRAN, DOOR TRAN, WOOD BASE, IN GENERAL, THE INITIAL ANTCHENDING PASTIES, ALLOW FOR S PART COLOR MOCK UPS.	TOR AL
NEW PER	MIRAC INE SH ALS SH DSS AR
S TO PR DVER G SE IN G S PARI	MATER ANY L
CLURE COL BA	GENE MATERI N. THE NDAIS
FOR TE	C DE C
IL SUBI TOVAL DOR IN	STORING STORIN
RAPP BM DO	F F OF A
OWNI OWNI CHEXE	ONSIBI MANUFA M MOE
2544	4 2 X 2 X

DRED THE DAMAGED THE DAMAGED OR LOST MATERIALS.	WARRANTS AND CONTROLLOR WAS HARRANT AND AND CONTROLLOR OF CONTROLLOR WAS AND AND CONTROLLOR OF CONTROLLOR OF CONTROLLOR WAS AND AND CONTROLLOR OF CONTROLLOR OF CONTROLLOR WAS AND AND CONTROLLOR OF CONTROL OF CONTROLLOR OF CONTROL OT CONTROL OF CONTROL OF CONTROL OF CONTROL OF CONTROL OF CONTROL
DRED THE DAMAGED THE DAMAGED OR LOST MATERIALS.	WARRANIES: SUBCONTRACTORS STOD OF ONE 11) YEAR AFFER SUBST CULPARTY TO THE OWNER WARCH BECOVIER TO BE DEFECTIVE DUE COMPERMEE SUCH AS FOURPACH, FOWER BE MAN MANORED SHAM

EASE AL	V AND 3.	
SUBCONTRACTOR'S) TO BE SUBMITTED TO GRAFER I CONTRACTOR G	SEGREFFOR REVEN TS FOR APPROVAL PRO TRACTOR FRICK TO PLA EP ENGINEERS FOR ADI	
SE STRANTED TO GEN	ND TO ARCHITECT AND ALLOW SEVEN (7) DA GREER ANDJOR CON R TO SIRUCIURAL & M	The case of the case of the
SUBCONTRACTOR'S) TO BE SUBMITTED TO GENERAL CONTRACTOR GENERAL	COMIRACTOR SHALL SEND TO ARCHITECT AND ENGINEER FOR REVEW AND APPROVAN FOR BITCH, ALCHOWSTUPH TO DASS FOR ARTHOVAL REVOR HE OWNER, ARCHITECT, ENGINEER AND/OR, COMIRACIOR FISCRY TO PLACENE MAIRINAL ORDESS, REFER TO STRUCTURGAL & MAP FRICHERS FOR ADDIBITIONAL	REGUIREMENTS.

W SEVEN (7) DAYS FOR AFFROVAL FROM BIE R MILJOR CONTRACTOR FRICK TO FLACING RUCTURAL & MEF ENGINEERS FOR ADDIRIONAL	;
NGS OR MEMITIALS SHALL INCLUDE BUT NOT	
IIIINGS SRLES AND BUCTTAYOUT BOOKS	
SECURITY OF STATE OF STATE AND ASSESSMENT TO STATE OF STA	

LOCATION PLAN

|--|

THE WATER	
I MAKE THE	
	BUILDING CODE DATA
HE BUR DING	APPRICABLE STANDARDS OF CONSTRUCTION MUNICIPAL
Y OF THE	THE SAME FORCE AND AFFECT ON PERFORMANCE OF
	DRECHY INTO CONTRACT DOCUMENTS, GOVERNING
	PRECEDENCE OVER MON - REFERENCED STANDARDS
SHALL PISURE	STANDARDS MAY CONTAIN OVERLAPPING OR COMPI
ED IN THE	COMPLY WITH LOCAL RUIDING COINS ALID MUNICIPA
80708	PEGPONGREE CONTRIBUTION OF THESE STANDS

HORIZATION.	F THE WORK DESCRIBED AL INCOM THE BIRL DING PONSEMBY OF THE	HEACTORS SHALL INSINE BE INCLUDED IN THE SIGNER AND JOK DI CONSTRUCTION, IT IS TORS TO MODELY OF ANY
AS WINGUI PROR WRITEN AUTHORIZATION.	N. OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED <u>20 ORDER ONLY, ANY AFFOUND HOW THE BIRLIDHG</u> <u>ER IN HE WORK SHALL</u> BE THE RESPONSIBILITY OF THE HEACTORS.	AL COMPACION AND SUBCONINACIONS SHALL BUSINE BIT FOR COCE LI HE ACRESTICL DESIGNER AND FON TOWN HE MARKAN AND ATHOUS OF CONSIDEROR. ITS OWN HE MARKAN AND ATHOUS OF CONSIDEROR. ITS OWNEACTOR AND SUBCONINACIONS TO HOME

BY AT PHASES OF CONCIDENCION SHALL BE EXECUTED BY DODGESTED
JES MADE DURING CONSTRUCTION,
PONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO
ER SHALL NOT BE RESPONSIBLE FOR THE MEANS AND METHODS OF COMS
TOR COMPLETE EXECUTION OF THE PROJECT. THE ARCHITECT, DESIGNER A
LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION SHALL BE INCLU-
ANS AND METHODS: THE GENERAL CONTRACTOR AND SUBCONTRACTOR
AL CONTRACTOR AND SUBCONTRACTORS.
ALE APPLICABLE FOR A CHANGE IN THE WORK SHALL BE THE RESPONSE!

CLITORDIAMICES. SHECOHTRACTORS TO CONFORM TO ANY AND ALL JINEDICTORAL EN-CICLUDICE BIT HOT LIMITED TO CITY OF CASINOVALE REGUMENARIS SUCH AS BITE HOT LIMITE A ALLOWINE WORRENG FOR BOUSS WINDRER PARENC/ACCESS SIGNACE FIC., COORDINATE

CENTRACE ALCONOMICS A CONSTRUCTOR STATE OF THE STATE OF T

ALION DRAWNESS & REGIMED. ALL STRUCTURAL SHOPS DRAWNESS PACTURDED STREET AND STREET, CONDITIONS AMEN AND ALVES SHOUGHAL AND WEETERDER, ESO RECORD SIGNATION OF A STREET OF STREE

OR AND ALL SUB PANCES AND O FCI. DESKARER. AY WORK NOTE E.	HNCE DVER SC IN AI SPECIFIC I SHOUR. DETAILS
ERAL CONTRACT AND FOR DISCRE DIEY THE ARCHIT FONSIBLE FOR AL	ONS TAKE PRECED NIPLGS ARE SHOW REMEMIS THROUN
MUCS: THE GEN INTENT OF THE PL OF WORK AND NI ORS SHALL BE RES	MNGS: DIMENSE INS ON THE DRAY GENERAL REQUI
SENTEM OF DEMANDES THE CREEK AL CONFINENCIOR AND ALL SHE VEW THE ULL CONTRICT OF HER ALL SHE AND ALL SHE COMMETCER AND ALL SHE AND AND AND AND ALL SHE AND	97. <u>15E OF THE DRAWPHCS</u> : DIMENSIONS TAKE PRECEDENCE DVER SC DEFALS AND SECTIONS ON THE DRAWPHCS ARE SHOWN AT SPECIFIC I PHENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS
32025	222

AMENANN, STRUCTURAL CORRUPEATIONS, IRADE ASSOCIAN UCARIONE AND PRODUCT MANUFACTIRES WRITTEN BESTRUCT Y SHYREED BY ORDER TO COMPLETE THE CONSTRUCTION OF THE Y SHYREEDE THE DETAILS.	COPTRICHE: PRESE DESIGNAND DRAWINGS ARE SPECIFICALL DECEONEY, ALI DESIGNS, CONCEPS ARE COPTRICHED BYS KIOKS INC.	APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHALL BE
ND PRODIK ORDER TO C THE DETAILS	INESE DESK ALL DESIGN	RAWPIGS: 1
JUREMENDS, STRUCTURAL UKARDARE, AND PRODUK; VISIDERED IN ORDER TO CO F SUPERSEDE THE DETAILS.	COPYRIGHT: DECT ONLY, RIORS INC.	AFFROVED D

A MANIET CALL ME, AN ANCHOLNIC CHAN DAY THAN THE UNBER CHANGE CHA

ALI AREA CALCULATIONS ARE APPROXIMATE. CONTRACTOR SHALL FELD VERIFY ALL ACTU-SQUARE FOOTAGE PRIOR TO OXDERING MATERIALS.

SYMBOL LEGEND

(a)

	APPOVIO DRAVBUGS: HE GENERAL CONTRACTOR SHAL OGRINACHOG HE WORK SETVERH HE DITERENT SHE OF PLAGS I CONTRACTORS TO USE THE AGOST CURRENT SET OF PLAGS. SHARMHAI APPROVIO SET OF PLANS. ILE SHE REFORMERS AT EFFE HE MOST CURRENT SET OF APPROVIDE DRAVBNES AT	
	20390	
	요즘 문 의 점	
	52633	
	중국 교육의	
	# 2 C # 2	
	요독조교등	
	20840	
	SHRIE	
	F Z = Z Z	
	2 2 6 2 2	
	N 8 8 2 2 2	
	医肾盂后处	
	24 E E 2 Z	
	20202	
	# > 0 × ×	
	4 # 2 S O	
	원들용표정	
(ŝ	리물음국의	
KIOKS INC.	지글 속도 다	
0	의로변용곡	
5	취급중출원	
¥	\$150 Z Z	

10	五星	
EPARIMENI ALPROVED SEI OF PLANS. <u>II &amp; DIE RESPONSBEITY OF</u> DEFEE <u>DIE MOSI CURRENI SEI OF APPROVED DRAWBAGS A</u> T DIE JA	A. CHERIC AND FALCHEG; ALL SURCOHIRACIONS SIVAL DO THEI AICHFIG, EIC, TO MAKE THE SEVENAL FAKIS COME TO GEHER PRO ECEIVE OR WORK OF OTHER HARBS.	
GS /	E E	
P.O.	25	
물살	10 M	
1	SCO	
극성	Z X	
NS.	A CHENG AND PAICHING: ALI SUBCON MCHING, ETC. TO MAKE THE SEVERAL PAN CEIVE OR WORK OF OTHER TRADES.	
SET OF PLA	O <u>CUTTRIC AND PAICHTNG:</u> ALL SUBG AICHTNG: EIC, 10 MAKE THE SEVERAL ECEIVE OR WORK OF OTHER HADES.	
92		
EN	製品業	
JAEC ST	388	
3.5	음으움	
Z 2		
중복	200	
ARI.	馬魯蓋	
2 2	250	

CITIBLE AND PACIFICATION OF THE GOOD TO THE CONTROL OF THE CONTROL	I IMPORARY HAICHE; OWNER TO PROVIDE HOWORARY CHAIN LINE EFFICING BARRERS. IN IN WILLIAM MA AFER CITY OF CAMBROWILE AS RECIBIRED TO MARKE MAIL AND PROTECTINE. IN PROTECTION OR RELEGIOUS FROM AFEA MADE CONSIDERED.	1. BEE PROJECTION: GENERAL COMIRACIOR TO PROVIDE PRE EXTINGUES (ES AS REQUIRED BY THE OFFICE OF CASEROLTION.  CHARLES OF CASEROLTION.
A CHITING AND PAICHING: All SUNC NICHING, EIC, TO MAKE THE SEVERAL CEIVE OR WORK OF OTHER TRADES.	: <u>IEMPORARY HINCING</u> : OWN ND PROTECTION AS PER CITY OF ILTHE VESTORS OR REICHBORS	E CITY OF CASTROVILLE FIRE DI

PHASES	AKD, DO HE INTEN
<ol> <li>Z. LEE PROJECTION: GENERAL CONTRACTOR 19 PROVIDE TREE THE CITY OF CASTROYILE FIRE DEPARTMENT DURING ALL PHASES PICLUDING FRAL OCCUPANCY.</li> </ol>	33. MOGKAPS: ALL SUBCORTRACTORS TO PROVIDE MOCKAPS AND OWNER APPROVAL FOR EXTINE OVER CIVILIAM ROARD, EX- WINDOW TRIAL DOOR TRIAL WOOD BASE, IN GENERAL, HEE INSEN
IRACTOR IMENT DU	HS TO PR OVER G ASE IN G
RALCON REDEPAR HCY.	R IEXTURE WOOD B
32. IRE PROFICION: GENERAL O THE CITY OF CASTROVILLE FIRE DE INCLUDING FINAL OCCUPANCY.	IL SUBCO OVAL FO FOR TRIM
S CASTR G FBIAL	KAPS: A MERAPPI TRIM DO
NO. LEEF	AND OWN

	2 × 5 5 5 5
WALCH EXDING HISHES, ALLOW FOR S PART COLOR MOCK UPS.	A STREAGE OMETICALS IN ELECTRAL CONTRACTOR OF A STREAGE O
ŏ	DE SES
ž	AC PAC PAC PAC PAC PAC PAC PAC PAC PAC P
ě	CH HAM
ō	MA SS SS
ž	NO NEW PROPERTY OF STREET
3	AN PARE
2	音を表している。
Ξ	ACH PARE
5	# NO NO NO
7	353523
₫.	AND A SERVICE
9	ES SES
5	WE SEE
-	SEPER
3	SIBI
5	SE SE SE
ş	14 MORAGE OF MATERIAS: THE GENERAL COMIRACIOR A GENOMIEL FOR STOKEOF THE MATERIAS ON THE BIT ACC TO MANUFACTURES RESTRICTION. THE MATERIAS SHALL BIT FROM MOCHINE, FEES, AND VANDARS, ANY TOSS ARRENG THE SHALL BE THE RESTONMENT OF THE CHATEAU CONTRACT ONCED THE DAMAGED OF LOSS MARTERIAS.

13. <u>EAPOGASY ACUING</u>: PLACEMANI OF TEAPORARY TOLET TO BE DETERMINED AND PLACED DN SIE, VEREY IRVALLOCANON WITH THE OWNER.

DETAIL TAG

< >

2.2. JILLIES. SURCOPIRACIORS SHALL HORY HE OWNER, ARCHITECINESIGNER ANNOR WEIGHTER FART RETAINS TO SKRIDE OMDERGE STRIKEA RECHARICAL, ELECTRICAL, AND TRUMSHEE JAR EGURED FROM TO GEORGIC HE WORK.

WOTECI ADJACĮNI SIRFACES A IBRIBES BE SIDEWAIS, LANDYCAPE IRESJIO REMARI ONIKACIOR IO REPAR DEIRIG, SAFIALI DRIVEJFARIRBIG LOTE DAMAGED DISING DOSTRICIIDAI.

KIALS.	PARAMETER SECURIOR TORS WAS THE AUGUST OF TH
ALD THE DAMPINED HE DAMPINED OF LOST MAIRINGS.	RACTORS WILL WARRANT FIER SUBSTANTIAL COMPLE REWINCHEVER OCCURS IN CIPYE DURBIC HALLERODE LILLY ARELIANCES AND TIED SHANG BRODER AND/OCCUP.
ALL DAMMOLD IN	WARRANIES: 50BC OMFRAC SUDD OF ORE, II) TEAS AFFE CUPARCT TO BE OWNER W BECOVERED OF EFFECTIVE OWNER WES SUCH AS EGUITA, OWNER WAS AND ARROLATED

	ei ei		
The south of the s	ALEGORÁCIOS DE ES RAMIEDE DO GENERA COURTACION, CESEÇAL COUNTACIOS SUAL SEGO DACUETCI, AND ENSORETE DE RECENA MAID PERSONAL ION BIELH. ALLOW SUVEN I/J DAYS ION APPROVAL PROM BIE SPINES, ARCHITECT, BACHER, ANDION COURTACION, ESTAN DE INCEDEC MARINAL GORDES, RETER TO STRUCTURAL A MAY EMEDIESTS TOR ADDIBIONAL	FEGURE MENTS. HE FOLLOWING SHOP DIRAWINGS OR VIRWINALS SHALL INCLUDE RICK NOT	

THE OFFICER CONTRACTOR, GENERAL CONTROL OF STREET AND SECURITY OF AND SECURITY OF A PPROVAL FROM THE WILLY TO LANGUAGE FRICK TO PLACING ULTURAL A MEP ENGINERS FOR ADDITIONAL	6	5 = 5
S OR SUBMITIALS SHALL INCLUDE BUT NOT		

LOW SEVEN (7) DAYS FOR APPROVAL PROM THE TER ANDJOR CONTRACTOR PRIOR TO PLACING D. STRUCTURAL A MEP ENGINEERS FOR ADDITIONAL	
WINGS OR SUBMITIALS SHALL INCLUDE BUT NOT	
ND GREES AND DUCT LAYOUT IN DOORS	
DE RUT NOT UMITED TO DOOR AND MATWORK.	

ON TERMIE: THE GENERAL BUILDING FERMULAND FLAN CHECKES SHALL BE SECURED ON BY THE OWNER, ALL OHER PERMUES, SHALL BE SECURED AND FAID FOR BY THE OWNER, ALL ON DRECEIV RESPONSIBLES

MRID 10 HI GLIOWEG. SON SHAMINA SHALL BE SHEED WHITE OF THE SHEED WHITE OF THE SHEED WARDS TO SHAMINA SHALL BE SHEED WHITE OF THE SHEED WARDS TO SHEED WARDS	MARKEL ANCHREEL, MAGNETER AND/OR CONTRACTOR FRIOR TO FLACING AND REPERT OF STRUCTURAL & MEP ENGINEERS FOR ADDITIONAL AND ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIONAL ADDITIO
LIGHBOR DIRECT AND IRRINGS  -THOMSEC FIDENTS AND AND AND ADDRESS AND ADDRESS  -THOMSEC FIDENTS AND AND PROPERTY CAN ADDRESS  -THOMSEC FIDENTS AND AND AND ADDRESS AND ADDRESS  -THOMSE FIDENTS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS  -THOMSE FIDENTS AND ADDRESS AND ADDRESS AND ADDRESS  -THOMSE FIDENTS AND ADDRESS AND ADD	COLLOWING SHOP DRAWINGS OR SUBMITIALS SHALL INCLUDE BLIFING MITED TO THE FOLLOWINGS.
AND THE	- UGHENG IRBINES - FULMANDE (BRIEFS AND BITINGS - HANCE COUNTRY AND CREETS AND BUCI LAYOUF - EXITERITY AND PRIERION DOORS.
ENERGY, E (USING URL CORRECTION OF CORRECTIO	- HAZDANARE DO RICLUDE BUT NOT UMIED TO DOOR AND MALWORK - AUDIO/VBUAL AND SECURITY SPECIFICATIONS AND LAYOUSS IF APT - REFER TO SIRICLIEAL AND MEP ENGBEER FOR ADDISIDANA SUBMIT
MACHICATURES ANOMERACIONOS O DE 17 AGY DE CONTROLE CUCIÓN POR ESCUENCIA DE CONTROLE AGO DONO ESTA ESTA ESTA ESTA ESTA ESTA ESTA ESTA	Y SIEVEY. IF KROUKED THE OWNERS REPRESENTATIVE TO COORDINATE IN OF CASTROVILE INCINCES OFFICE OR COVERNACH ENTITY HAVE REDICTION TO DETERMINE IF A FRAIL NEW STRIVEY IS REQUIRED.
THE THE TOTAL CHAIR AND THE ACT OF WALL THE ACT OF THE ACT OF WALL THE ACT OF	A MODELCAIRDIS: MODERCAHORS TO THE PLANS ARE SOMETIMES ECESSARY DUE TO JOB SITE CONDITIONS AND OWNERS PREFERENCES.
	THE TRAFFIE CONTROLL OF THE THE ACCOUNT WHEN THE CONTROL THE CONTROL CONTROL METABLE CONTROL COMPANY TO CONDUCT MICROR REPORT OF THE CONTROL CONTROL METABLE WAS THE CONTROL OF THE CONTROL THE CONTROL CONTROL METABLE OF THE CONTROL

	WITH INDUSTRY STANDARDS IN AN ENVIRONMENTALLY SENT
	SUSTABINABLE AND MON-TOXIC METHODS WHENEVER POSSES
	CONRACTOR TO NOTEY THE ARCHITECT A OWNER AS THE
-	

UCENSED IERMIR CONTROL C. PASFECTIONS DURING THE COU ACTIVITY BE IDENTIFIED. THE GED ENSURING THAT AFPROPRIATE	WITH FULDING STANDARDS IN A STRAIGHABLE AND NON-FLOXIC CONTRACTOR TO NOTEY THE A		APPLICABLE STANDARDS OF CO
21. NAMED PRODUCTS: THE ANCHETCE DESIGNER AND ENGINEER MAKES NO GUARANITE FOR PRODUCTS BETTIFFED BY TRADE NAME OF MANUFACIORIE. ALI PRODUCTS SHALL BE DESTAITED AS IT EN MANUFACIORIE RECOMMENDATIONS. REQUIREMENTS, AND/OR PRINCEIONS.	22 SCOPE ALL SURCORREACTIONS SHALL HUNGER ALL LAROR, EQUIPORTED AND ANAIHMAN. BEDIEVATION OF HIT AND AND BEDSOADHER BERGERO ENG REGINED FOR HEATHCLARE CODES. ALL SURCORREACTORS SHALL SHAPMEN ALL SURPECTORS, ALL SURPECTORS, AND SHAPMEN AND CENERAL CONTRACTOR. WORK AND MATERIALS WINRING TO HE OWNER, AND CENERAL CONTRACTOR.	2) SUSTIBILIZAS, SUBSTRUTIONS OF SPECIFIC MANERALS OR PRODUCTS INTO SHALL MOTE. AND AND MANERAL MATERIAL MATERIAL MATERIAL SPECIFICATION AND APPLICABLE IN CONTROL OF DEFORMER AS APPLICABLE IN CONTROL OF SHALL MAY SHALL SHAL	24, <u>CHANGES, ANY ADDITION, DE EFFON, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED</u> SEY THE PLANS SINCE IN <u>WINTER THE WORK SAN</u> E, THE PROPONE INCOME THE THE DISC OFFICIAL & PAYLLICARE FOR A CHANGE BY THE WORK SANE BY THE RESOURCESTY OF THE

	22. SCOPE, ALL SHIGONTRACTORS SHALL HIPPORT ALL LABOR, EQUIPARTINI, AND MATHEMA FUDICATION THE PERSA AND RESONANTS BY RESTOR OS REQUESTED BY THE APPRICAME CODES. ALL SHEGORIESATION SHALL SHAMP OF ALL SHEGOSTED STORY OF WORK AND MATERIALS IN WRITING TO THE OWNER AND GENERAL CONTRACTOR.	23. ZIBSTILINGUES STABSTERFICORS OF SPECEPIC MANERALS OR PRODUCTS ENTER SHALL MODE WITHOUT WHICH ADMINISTRATION OF SECRETE A PAYTICABLE THE GENERAL COURT COURT ACTOR AND ANY SPECEPINATION SESSIOL NOT MAKE STRUCTUREA SUBSTILIATIONS OF CHANGES WITHOUT PRICE WRITHS A MIDIORIZATION.	24. <u>CLARAGES</u> , ANY ADDRION, DELETION, OR CHANGE IN THE SCOPE OF THE WORK DISCE OF THE TIMES SHALL BY WILLIAM CHANGES OF BOOK ANY AFFORM FROM THE DISC THE CHAN E AFFULCABLE FOR A CHANGES THE WORK STARL BE THE RESPONSES
--	--	---	--

23. SERSTIMMOMS: SURSTRUMONS OF SPECIFIC MANERALS OR PRODUCTS ISST AMDE WITHOUT WRITE WAS PROGRAFICED BY AND FOR AND A SPECIFIC DESCRIPTION STRUMONS THE SPECIFICATION SAND AND AND AND AND AND AND AND AND AND
24 CHANGES ANY ADDRION DELETION, OR CHANGE IN THE SCOPE OF THE BY THE PRASS SHALL BY WHITCHELE CHANGE OF DERIVORS, ANY AFFRONAL INCOPPLEAL FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBLE ACCHRISCLOR AND MISCOPHRACTORS.
25. <u>MEANS AND METHODS</u> : THE GENERAL COMPRACTOR AND SISCOMBACI. HAT ALL AND MARKHALS, COUNTY-METHOR SHALL BE IN THEY FOR COMMISSIFE EXECUTION OF THE BROOKES BOX MARKHALD SHALLS.

MERAL CONTRACTOR AND SUBCONTRACTORS.	MAND AND METHODS: THE GENERAL COMPACION AND MESCON AND ALL COUNTACION AND ALL COUNTACION AND AND AND AND AND AND AND AND AND AN
MERAL COMPRACTO	MEANS AND METHO AI ALL LABOK, MATE DEC FOR COMPLETE GREEK SHALL NOT 8 E KESFONSBRITY OF ANGES MADE DURB

ALL WORK ALPHASES OF CONSIRINCTION SHALL BE DISCUISD BY EXI PECIALIZING IN THE TYPE OF WORK NEWS, PYCCUISD 15MIG ACTION
ECOMMENDED BY MANUFACTURER OF THE MATERIAL AND RIDIGIN
HASE OF THE CONSTRUCTION, COORDINATE WORK WITH OBJER TRA
IMENSIONS SHALL BE VERFIED ON JOB SITE AND ALL PARIS MADE FI
6 REVIEW OF DRAWINGS: THE GENERAL COMPRACTOR AND ALL SE
EVEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCES AND
COMMENCEMENT OF WORK AND NOTEY THE ARCHITECT, DESIGNER
AL MISCONIRACTORS SHALL BE RESPONSIBLE FOR ANY WORK NOT

EVEW HE FULL CONTENT OF THE PLANS FOR DISCREPANCE, AND SOMMETCHER, AND SOMMETCHER OF THE DESCRIPT IN ALL THE CONTENT OF SAME HE RESPONDED. FOR ANY WORK NOT HE PLANS OR BE CONTECT WITH ANY BUILDING CODE.	21. <u>USE OF THE DIAMONECS</u> : CHARINGONS TAKE PRECEDENCE OVER ST BEAUS AND SECTIONS ON THE DIAMONECS ARE SHOWN AT SPECIFIC HEADER OF O SHOW WEREARE ARE DURERANDED SHOUGHLOUD. DEFAIL LIL REC CONDITIONS TREATED SAME AND THATSES ACTION TO THE WAY
EVEW HE FULL CONTENT COMMENCEMENT OF VIOS ALL MISCONTRACTORS SHO HE PLANS OR IN CONTILC	7. JEE OF THE DRAWFICES. RETAES AND SECTIONS ON VIEWDED TO SHOW GENER

	AI SPECIFIC OUR. DETAIL OTHERWISE OTHERWISE OTHERWISE OTHERWISE SHOE PROJECT
IDING CODE.	V ACCIDITED AND THE TRANSPECTOR THE PRECIDENCE ON BY STATEMENT OF THE TRANSPECTOR THE TRANSPEC
HE PLANS OR IN CONFLICT WITH ANY BUILDING CODE	MENSIONS IN E DRAWPIGS F EGUNEME SIMILARIY I ED TO FURBER ED TO FURBER CONSIDERALI MANNING FROM
CONFLICTY	RAMPIGS IN THOMS ON IN- THOMS INCATE ONE INCATE ARE INTENDE WATHING WATHING WA
ANS OR IN	S AND SEC FD TO SHO F CONDITI S SHOWN, UM RECOP FEMENTS, S
FP	FERENCE PARTY OF THE PARTY OF T

1.05 O I HE DIAMPHES, DIAMPHES AND REPECTORINE TO VIEW STATES AND
---

ARE SPECIFIC	RACTOR SHAL
OPPRIGHTED	FINI SUBCON
ND DRAWINGS DNCEPIS ARE	ENERAL CONT EEN THE DITTER OST CURRENTS
COPYRICHE: HESE DESIGN AND DRAWINGS ARE SPECIFIC	APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHA
DIECT ONLY. ALI DESIGNS, CONCEPTS ARE COPPRICHTED	ORDINALING HE WORK BETWEN THE DISTREM SHOOT
RIORS INC.	CONTRACTORS TO USE THE MOST CURRENT SET OF PLANS.
COPYRIGHT: UECT ONLY. RIORS INC.	ORDINATES CONTRACTOR

Ě	Ę	2 #	Ü
Š	VEEP HE MOST CURRENT SELOF APPROVED DRAWINGS AT II	O <u>CUTRAG AND PAICHEG</u> S ALI SUBCONIRACTORS SHALL DO AICHBUG, FIG, 10 MAKE THE SEVERAL FAKIS COME IOGETHER ECEIVE OR WORK OF OLHER IRADES.	. IEMPORARY HACING: OWNER TO PROVIDE TEMPORARY CI
Š	ă	25	ĝ
Š	R.A.	30 N	3
Ħ	d	200	30
9	Š	12.5	8
ċ	99.4	A P	O PR
ŝ	3	A CUTING AND FAICHING; ALL SUR NICHING, ELC. TO MAKE THE SEVERA CEIVE OR WORK OF OTHER TRADES	×
5	H	S S S	ž
-	NI S	얽돌	0
3	K R.F.	된것이	Ή
ŝ	3	335	9
Ę	S	9.78	=
È	3	75 A	3
Ē	∄	250	9
ž	퓕	EEE	3
5	7	250	- 0.7

CONSTR	VIDE FIR	AOCKAIR
SUNDER	R TO PRO URING A	KOVIDE
MAREA	IKACIO IMENI D	PKS TO P
L THE VESTOR'S OR NEIGHBORS FROM AREAS UNDER CONSTRU	LIKE PROTECTIONS GENERAL COMINACION TO PROVIDE FIN E CITY OF CASTROVILE FINE DEPARTMENT DURING ALL PHASE CURBNG FINAL OCCUPANCY.	MOCKARS: All SUBCONTRACTORS TO PROVIDE MOCKAR
NEICHE	E CITY OF CASHOVILLE FRE DE CUUDNG FRAL OCCUPANCY.	SUBCO
KS ON	A STRO	A ALI
VISITO	OF C.	KAR
Ħ	THE CHE	MO

MD. DO	COKDI COKDI FREPT
RAL TH	ACTOR SHE AC SHALL B
IN GEN	CONIE ON THE TERRASS NY LOSS
AND OWNER APPROVALIOR EDGINE OVER GYFNIMBOARD, EX WINDOW IRIM, DOOR IRIM, WOOD BASE, IN GENERAL, THE INTEN MATCH EXBING THISTES, ALLOW FOR S FARIT COLOR MOCK UP	34 <u>Norace of Materias</u> The General Comeracior and M Responsibile tor Noring the Materias on the file accordi or Manulactures besided fine the material shall be rept From Modeline: PSSS, and Vandals any 1035 mende out
OK IEXT	S: PE C
SOVALI DOR IRE INSHES.	STOKING STOKIN
TRIM DO	GE OF A SIE FOR FACTURE STURE
ND OWN MDOW ATCH EX	M. STORAGE OF MARES FOR ST RESPONSIBLE FOR ST OR MANUFACTURES ROM MODINEE PE
283	X 20 0 0

STORED THE DAMAGED THE DAMAGED OR LOST MATERIALS.	THE AT IN CONTRIBUTION OF THE ATTENDED TO THE ATTENDED THE ATTENDED TO THE ATTENDED THE ATTEND
STORED 1	PERIOD C OCCUPA DE DECO OR OTHER THE OWN

	RIDE	
	ATEST	
	EKHI	
	STABS	
	GUAR	
3	AIMI	
ź	HIGH	
Ì	BER !	

	3	
	55	
	Oct.	
	2	
	100	
	- 7	
	200	
	2 4	
	17 T	
	* 7	
	7 =	
	S 81	
	₹ 5	
	2 2	
	* 3	
	83	
	20	
n	7 g	
ч	= 2	
	4 .	
,	= 2	
4	2 =	
1	#5	
-	2 2	

2. MC	<b>IODIFICATIONS TO</b>
3. EH B	DUE TO JOB SITE CO THIS IS A DRAWING DETERMINED AT JO
	3. E

NOTES:

à		2		1	
1			9	-0 A	30
	10				X
		A		SC.	1
A		1	10		
PROJECT LOCATION			1		Ó
CT LOC	May 1		P	X	
PROJE	1	1			

	LEGAL DESCRIPTION	CASTROVILE RANGE & BLOCK 7 LOT 1 - 8, OF THE CITY OF CASTROVALE, MEDINA COLIN
1000	LEGAL DESC	CASTROVILE RANGE & BL

CASTROVILLE RANGE & BLO IEXAS, PROPERTY ID: 13547	CASTROVILE RANCE & BLOCK 7 LOT 1 - 8, OF THE CITY OF CASTROVILE, MEDINA COLNET BEAS, PROPERTY DE 12847	OVRUE, MEDINA COURI
SCHEDUL	SCHEDULE OF ALTERNATES	
ALLOWANCES:	NCES:	
ALLOWANCE	GRANITE COUNTRIOF AND BACKSPLASH-	382/58
ALLOWANCE 2	EXERIOR LIGHTS -	\$100/1ECIURE
ALLOWANCE 3	DOOR HARDWARE -	180

OCCUPANT LOAD - TABLE 1004.5	- BREAK DOWN PER IB	WN PER IB	o
FUNCTION EDUCATION (CLASSROOMS) BUSINESS (OFFICE)	<u>SQUARE FT.</u> 977 SF 292 SF	PER SEAT 020 TOTAL 100	949 80 80 80 80 80 80 80 80 80 80 80 80 80

EDUCATION (CLASSROOMS)	977 SF	020 TOTAL	049
BUSINESS (OFFICE)	292 SF	100	005
BREAK ROOM	113 SF	200 PER SF	100
IOILET ROOM	196 SF	0	0
TOTAL	1,603 SF		52
PLUMBING FIXTURE COUNT	OUNT		
IBC CHAPTER 29 PLUMBING SYSTEMS- TABLE 2902.1	TEMS- TABLE 2902	12	
FIXTURE TYPE	REQUIRED	REQUIRED PROVIDED	
SERVICE SINK	_	-	
WATER CLOSET- UNISEX	1 PER 50	4	
LAVATORY- UNISEX	1 PER 50	-	

WAIRE CLOSE: UNIEK   1 PER 50 4	SERVICE SIME	-		-	
1 PER	WATER CLOSET- UNISEX	- I	ER 50	4	
SALINDOR ZADROOR FOTAL ISTROOR ZADROOR OTAL	LAVATORY- UNISEX	- P	ER 50	-	
IST HOOR ZUD HOOR FOTAL ST HOOR ST HOOR FOTAL FOTAL					
IST ROOK ZUD ROOK IOTAL IST ROOK ZUD ROOK ZUD ROOK IOTAL	TABULATIONS				
ISTROOR TUDIOOR TOTAL ISTROOR ZADIOOR IONI	GROSS SQUARE FOOTAGE				
ISTELDOR ZND HOOR FOIAL		IST ROOK ZED ROOK TOTAL	1.39651		
	NET SQUARE FOOTAGE				
		ISTRIDOR ZND RIDOR TOTAL	1.132.58	u nte	

TOTAL 2,283.3F	NOT STATES ARE CHISDE OF DETRICIN WALLS AND NOT BECLUED WITH HOCKED HIS PROJECTION OF THE BOOK OF LEGISLA ABOVE BREKERORE, RECIDED, SECULORED, SECULORED AND THE BOOK OF LEGISLA ABOVE BREKERORE, RELIGIOUS, DECINE DETRIBUTIONS.
----------------	---

ONCHE, CONTROLL AND CONTROL OF EXTENDE WALLS AND NOT INCLUDED WHILE ORCHANTAL PROJECTION OF THE ROOT OR ILOOKS ABOVE HERELORE ARCURED.  FILOSOPE SECRET DEPARTORS  FILOSOPE SECRET DEPARTORS		IL RCH STARS ARE GUISIDE OF EXTERIOR WALLS AND NOT INCLUDED WITH	RECORTAL PROJECTION OF THE ROOF OR TLOOKS ABOVE DIEKETORE AN LUDED.
--	--	---	--

OUTA I SEC STREED HE OF EXTENDE WALLS AND NOT RECUIDED WHILE

LONIAL PROJECTION OF THE ROOF OR ILDORS ALOVE THEREFORE ARE NOT UDED.	HERETORE ARE NOT
TO 2012 BIC CH 2 DEFMINONS	

H SARS ARE OURSDE OF EXCREDE WALLS AREH HOT INCLUDED WHILE BOOK A ROOK THOOKS ABOVE INERCEORE AS 2012 MC CH 2 DEPARTONE.	
	HSIARS ARE OURSDE OF EXTRUOR WALLS AND HOT INCLUDED WHIS ASSET RECALCING OF LLOOKS ASSOUT INCLUDED WHIS ASSOUT INCLUDED WHIS OR LOOKS ASSOUT INCLUDED WHIS OF 2012 BIG CH 2 DEPARTONS

ITE: RCH STARS ARE GUISIDE OF EXTENDR WALLS AND NOT INCLUDED WITH ROHANT PROJECTION OF THE ROOF OR LEGISS AND YELDING AN	AND NOT INCLUDED WITH DRS ABOVE BREKELORE AL
LUDED. TO 2012 BC CH 2 DEFEMBORS	

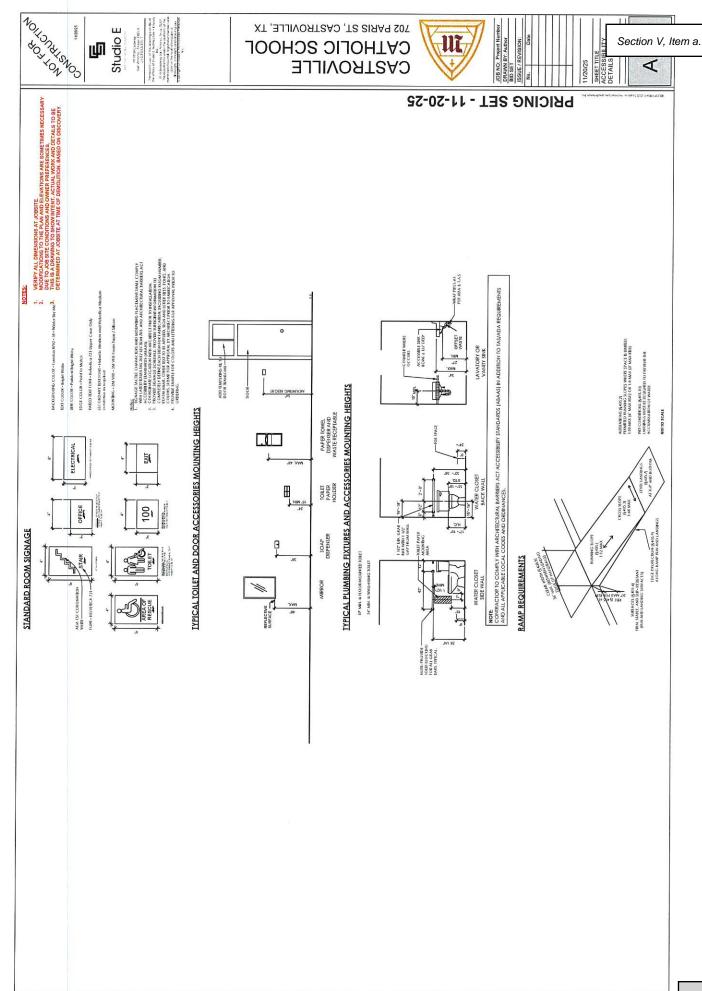
	1000	
E. CHSTARS ARE OUTSDE OF EXTERIOR WALLS AND NOT BECUDED WI RORFAL PROJECTION OF THE ROOF TOORS ABOVE HEREFORE	RIOR WALLS AND DOT OR ILLOOKS	NOTINGUDED W
UDED.		
TO 2012 BC CH 2 DEFMITIONS		

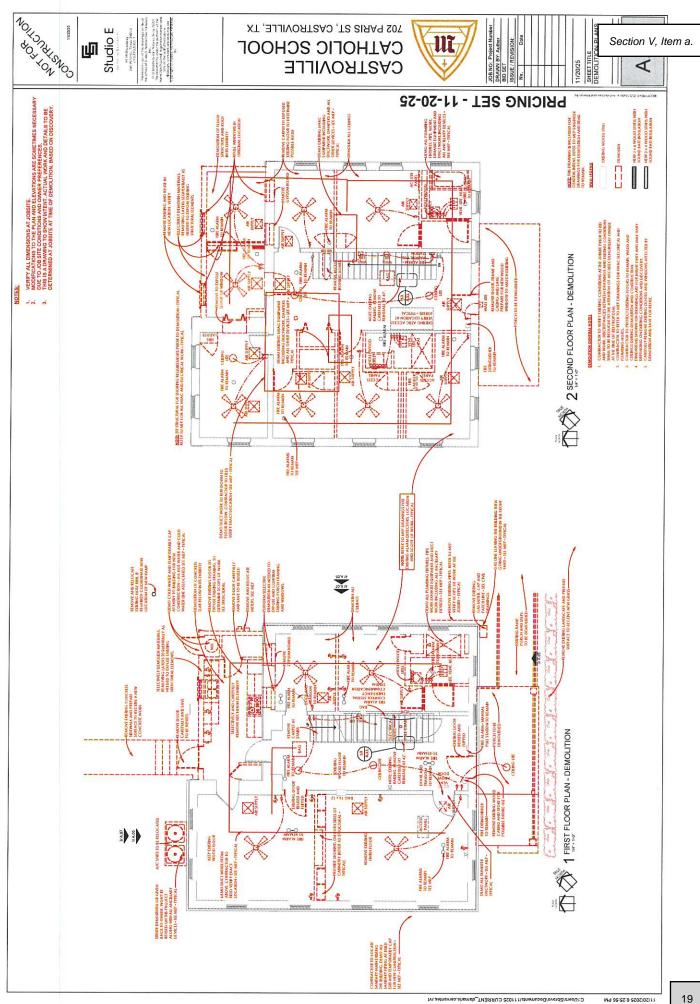
THE STATES ARE OUTSIE OF EXTRICK WAILS AND NOT INCLUDED VICTORIAL WORLD	TOTAL STREET
CH SIARCARE OUSBE OF EXERIOR WALLS AND NOT INCLUDED LUGBIAL PROJECTION OF THE ROOF OR ILOOKS AND VE HERBEE TO 2012 INC. CH.2 DEPARTMENT.	
LUDED.	ARS ARE OUTSIDE OF EXTERIOR WALLS AND NOT INCLUDED. AL PROJECTION OF THE ROOF OR LLOORS AROVE THEREFOR
TO 2012 BIC CH 2 DEPARTONS	
	12 BC CH 2 DEPMINONS

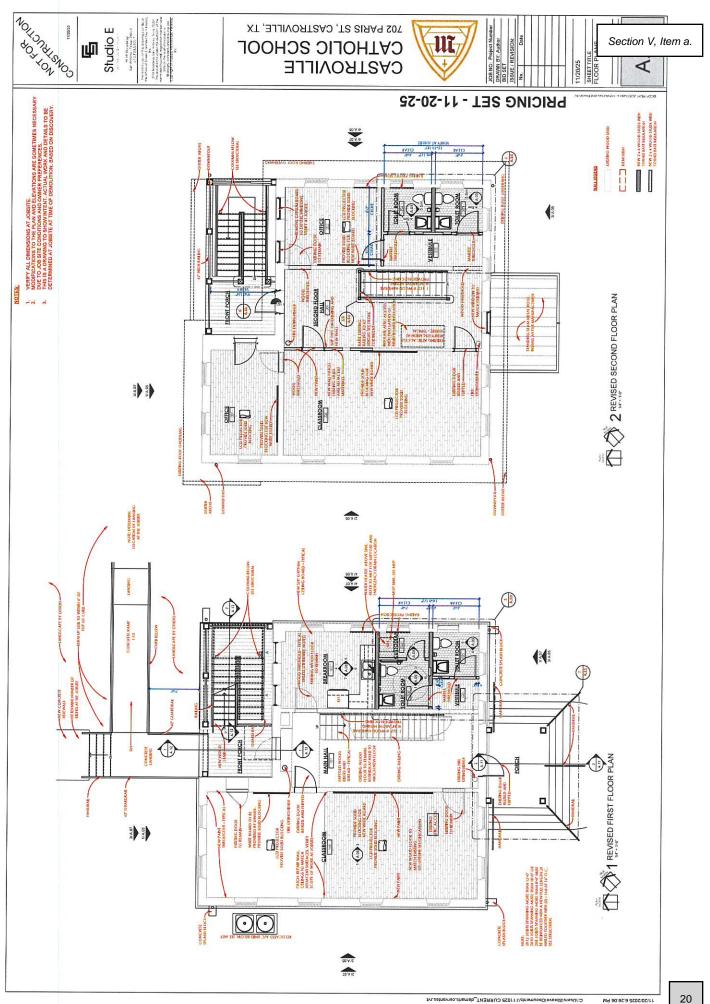
ITE.  NELSANDS ARE OUISIDE OF EXERTOR WALLS AND NOT INCLUDED W  RUCHALL ROOLE INDICATE IN THE ROOF OR FLOORS AROVE HERFETOR  10 2012 BC CH 2 DEPRIEDAS		
CCHSIARS ARE OUTSIDE OF EXCRIOR WALLS AND NOT INCLUDED V RUONIAL PROJECTION OF THE ROOF OR LLOOKS AROVE HIRKETON LODGE. TO 2012 BEC. CH 2 DEFINITIONS	<u> </u>	
RECORTAL PROJECTION OF THE ROOF OR FLOORS ABOVE DIRECTOR TUDED: 2012 BIG CH 2 DEFENDING	RCH STARS ARE OUTSIDE OF EXTERIOR WALLS	S AND NOT INCLUDED Y
LUDED. TO 2012 BIC CH 2 DEFENTIONS	RUONTAL PROJECTION OF THE ROOF OR FLO	DORS ABOVE INCRESOR
TO 2012 BIC CH 2 DEPMITIONS	LUDED.	
	TO 2012 BC CH 2 DEPMITIONS	

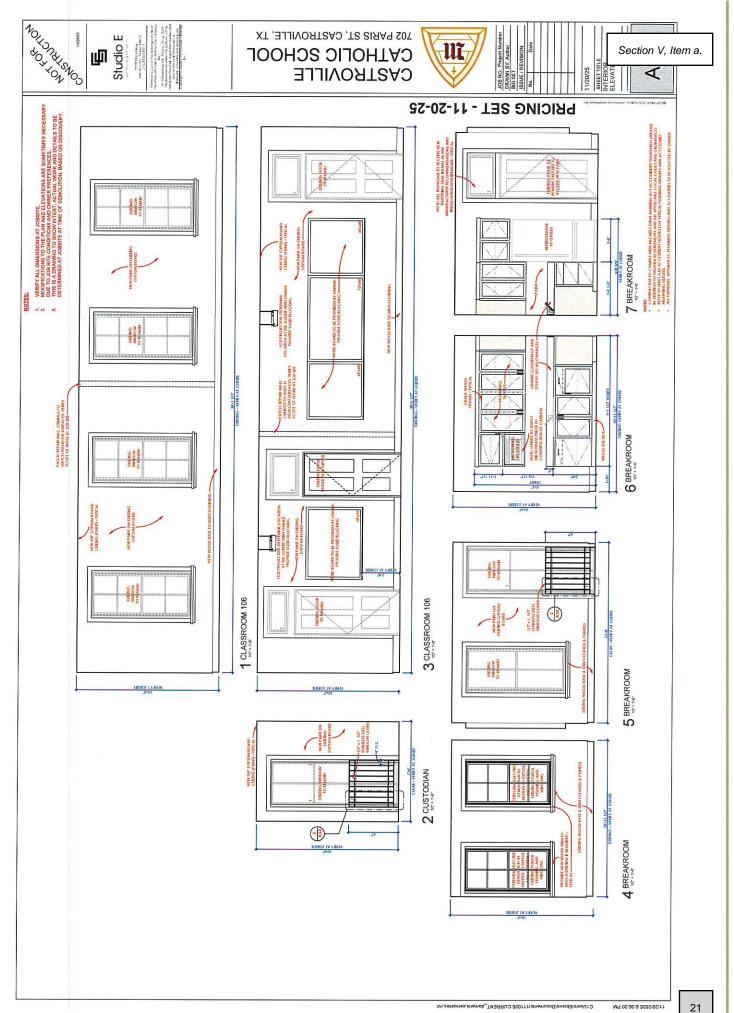
ELEVATION DRAWING TAG

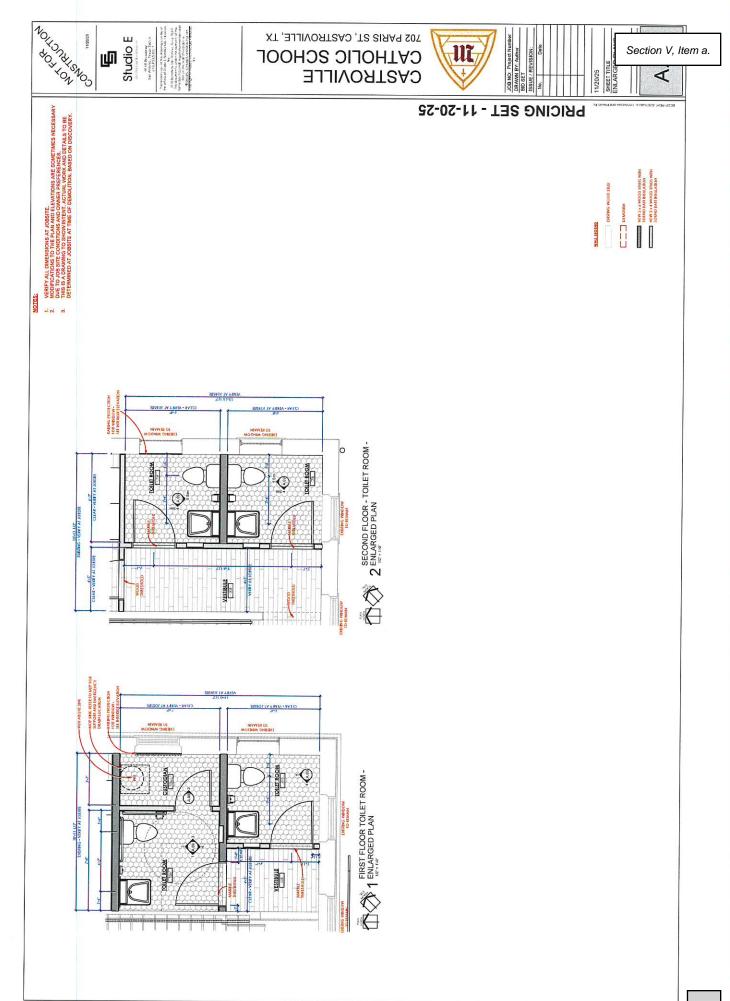
WALL SECTION TAG

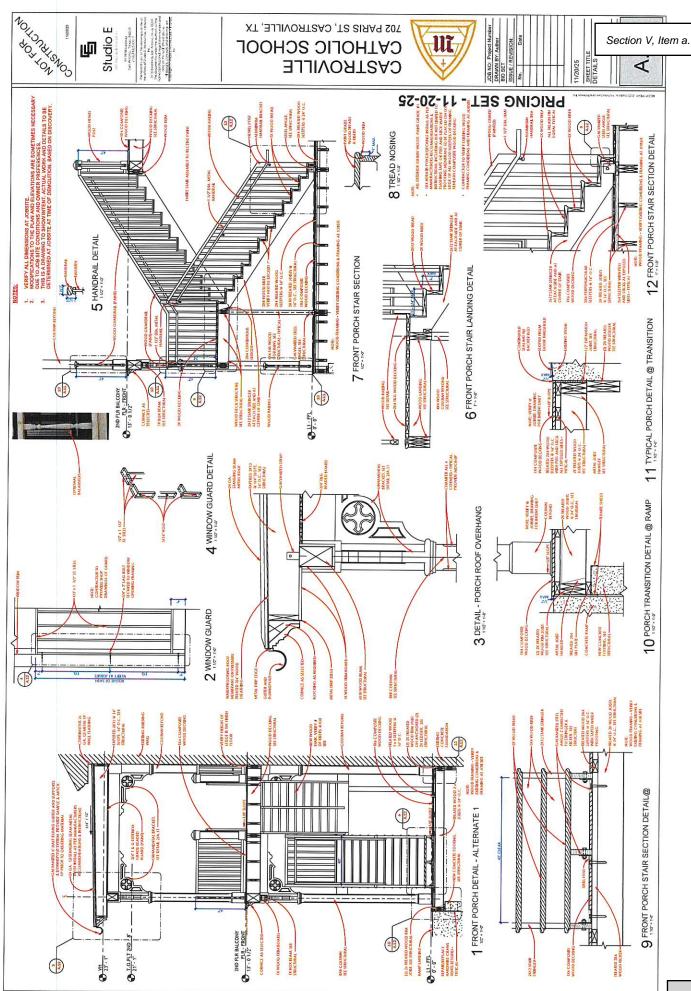


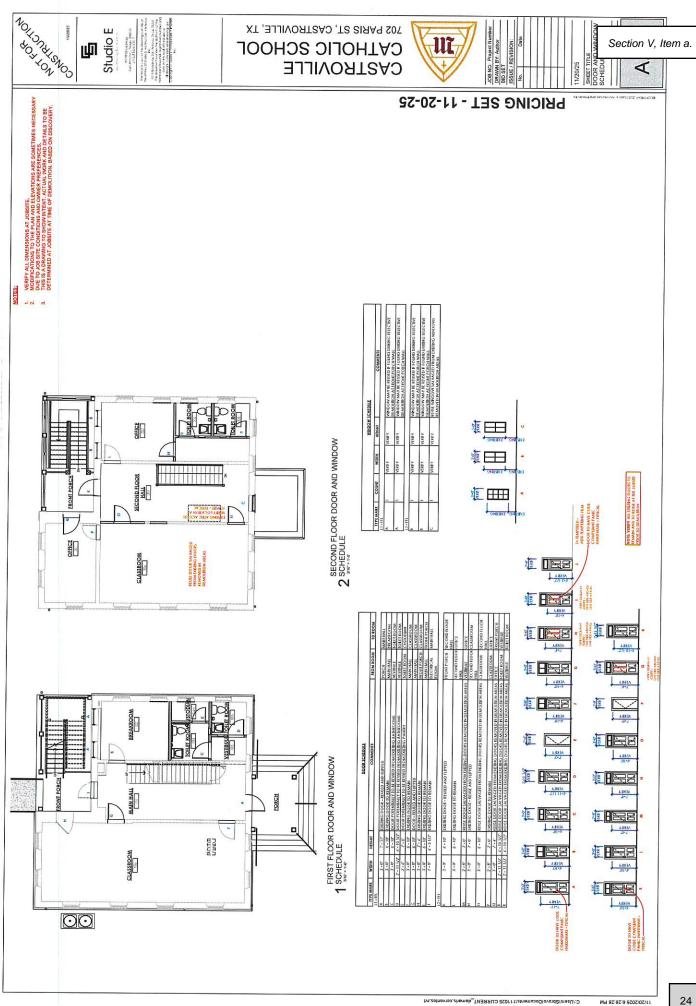


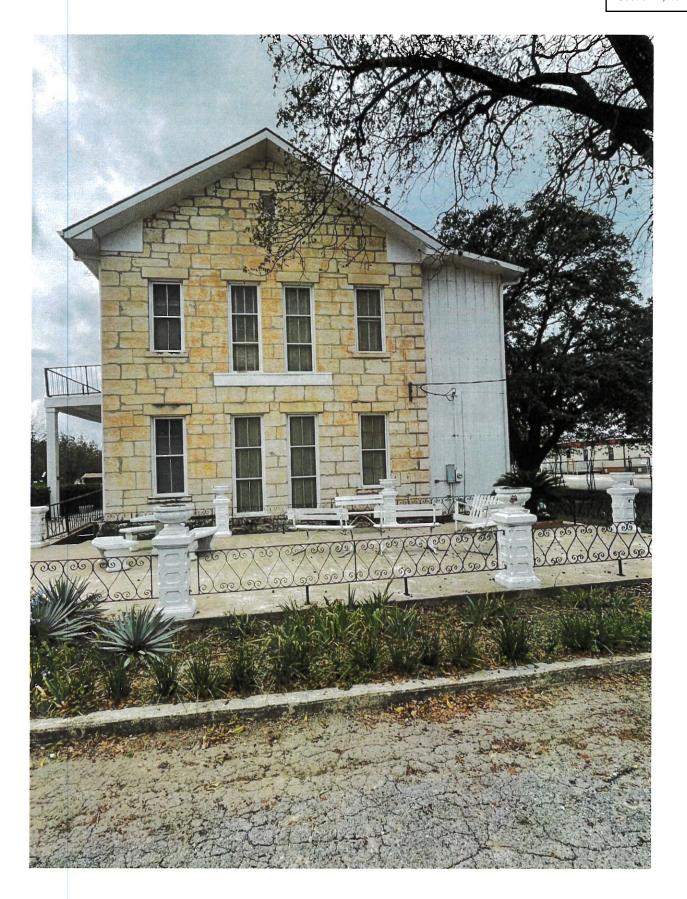














# GENERAL REQUIREMENTS AND SUPPLEMENTARY CONDITIONS

The Scape of Work entitle the renovation and retrodation registed to meet of improvement a shown on Continction Document and in the Specification and in Induction, but in not immed to partition of demodition, all work improvements, indirective at tillies, intertual systems, concepts, flatvock, metals, new and existing static, capturely, starting seam metal root, seelants, satisfray aroad windows, existing and new wood doors, existing or new tradware, styrout partitings literature, seedes, and metalvatical, seeded for the tradware, styrout partitings literature, seedes, and metalvatical, seederlised one plantshap,

### Prime Contract

General Contractor will be required to provide the number of calendar days required to substantially complete the project from the date of issuance of the building permit.

All work, including general construction, architectural, structural, mechanical, electrical, plumbing work; will be awarded under a single prime contract.

## GENERAL REQUIREMENTS

The "General Conditions of the Contract for Construction", A.I.A. Document A201, 2007 Edition, is a part of this Contract.

12

- Contractor is responsible for carefully inspecting work completed and verifying its accuracy and quality before subsequent work is commenced. If problems exist, contact Architect before
- Contractor is expansible for intelling all materials and equipment according to the manufacturer's recommendations. At least one qualified person who is familiar with the proper procedure and manufacturer's requirements shall be present during installation.

5

- oval of shop drawings does not remove tractor's responsibility for quantities,
- 1.10 In Project Consout the Control will be conditioned willight when all work has been complised the first introduction made by Owner and Architect and final accessions a not final oppract by the Owner. When the Architect and Owner determine that all work is stationally in the project of the property of the project of the stationary of the stationary

- 3.7

- In the Contraction that guarantee the work under this contract for an entity for the influence and the against defect in metallists, equipment and workmanning and followed to grant of the country statistication at no cost to the Country, with the response of the country of th

- 3.6

- The Contractor is responsible for hauling away trash, debris and surplus building materials.

  - The Contractor shall haul, stack and store all materials as is proper for their kind to protect them at all times.
- The Contractor shall remove and replace all defective work at his own expense.
- 1.2.8 Specifications and Drawings are intended to be complement lay and in agreement with each other. All work or manifeld after by either had be partitioned and of the partition of the partiti

# ARTICLE 3 - CONTRACTOR

- 3.4 Labor and Materials: Add the following paragraph:
- 3.4.3 Contractor and Subcontractors shall conform to the lobor lows of the State of Least, and the various acts omendatory and supplementary these to, and to all other lows, ordinances and logal requirement applicable thereto. Applicable Federal Laws shall be complied with.
- Taxes: Add the following paragraph:
- Permits, Fees and Notices: Add the following paragraph: 3.6.2 The Contractor shall pay all taxes and insurance required by the State and Federal Laws.

3.7.5 Costs related to all permitting, Licenses, etc., required in the proteculars of the work. A required in the proteculars of the work. A real to be paid by the Contraction Upon completion of the work the Contraction trial deliver to the Downet through the Architect of the required conflictacts of the president regulared conflictacts of the president.

- The Contractor and Subcontractor are responsible for verifying all dimensions and conditions incidental to this work and taking site measurements for all items requiring fitting to work previously built or set.
- 1.27 Contractor shall break drawing and prediscales informationally soon their seeight and prediscales informationally soon their seeight and half notify the Acritical in willing prolitate than for (10) days after seepand of them, of serion, for (10) days after seepand of them, of serion, for instance, and details be also adding an admit an analest in device, and acritically serion that minght have been acrossed by such energy that the provision from drawings and defined to the break. Devalors from drawings and soften from the acritical serion of the serious half be made only with the achieves a permission.
- 9.6
- <u>Progress Payments</u>: Delete in its entirety 9.6.1 and add the following paragraph:
- After the Architect has issued a Certificate of Payment, and unless otherwise provided in the Agreement, the Owner shall make payment an account of Confact on or about the Fifteenth (15th) day of each month as follows:

11.6

11.6.1

General Insurance Requirements

Pietr la application for first payment. (It with
the Authlitical complete schedule on Aix.)
 Document 6 2012 "Application and Certificate for
Fayment and 6 2012. Certification Select., Thorings
the value of various pointing of the work in defail.
 The Certification just on approad of the Auchlet C.
 The contraction just on approad of the Auchlet C.
 The Certification is proposed of the Auchlet C.
 The Special Contraction of the Auchlet C.

In the contractor haltest commerce work of the state of the Contractor was the Contract with the state of the test with the test with the test with the test of th

L. Conduction's Applications for Bromen theil be submitted an Decument 6/372 and 6/37204 on or before the last day of each month, threely poscern (973) of they whole bound on the Conforta prices of labor and materials unlockly latered at the site threels, of an both and warehouse up to the last day of their month, as stimated by the Architect, less the aggregated to previous proximanti, Upon approach of the Sumer, the Confortation may make application on the modification of the Sumer.

11.6.2

2 Certificates of trauronce shall be filled with the Owner and the Auchitect prior to commencing the work. Fallure to brush affect solidactory murance or the required certificates within ten (10) days of Notice to Proceed shall not be considered course for modification of any

c. Find projiment shall be due Thirly (30) doys after acceptionce as Substantial Completion of the work, powded the work be fren hulfy completed, and the Control Life pretented. Control to shall suit mit to the Architect on charged statement shall suit mit to the Architect on charged statement stating that all this for labor and materials have been paid in tills.

The Controlled in Mallind course my invursive to be concelled as permit any invursive to lapse. All invursives policies in the final day adducts to the effect that the policy profiled the concelled or reduced, restricted or invited until Filteen (15) days after the Common bus resired william notice as evidenced by return receipt at registered or certified before.

The required insurance must be written by a company licensed to do business in Texas of the fine policy it issued. In addition the Company must be acceptable to the Owner.

# UPPLEMENTAL GENERAL CONDITIONS:

The General Conditions of this Contract are the Amelian Institute of Architect Document A-201. General Condition of the Contract to Construction. View www.AMA.08G which is hereby made a pour of these Specifications and Institute apply to all contraction and wbcontraction. In event Document A201 is not bound herewith, a copy may be referred to or obtained from the office of the Architect.

THE SUPPLEMENTAL GENERAL CONDITIONS

The Supplemental General Conditions contain changes and additions to the AM. General Conditions. Where any part of the AM General Conditions is modified or detelted these Supplemental General Conditions, the unaltered provisions shall remain in effect.

6.2

# MODIFICATIONS TO THE VARIOUS ARTICLES OF THE GENERAL CONDITIONS: ARTICLE 1 - GENERAL PROVISIONS

Ξ

<u>Basic Definitions</u>: Add the following sentence to paragraph 1.1.1, THE CONTRACT DOCUMENTS: "The Agreement takes precedence over all other Contract

# Execution, Carrelation, and Intent: Add the following paragraphs:

1.2

1.2.6 Titles of sections and Articles in these predictations are introduced meetly for a convenience and are not to be confused as consect or complete segregation at tabulation of the various units or materials and/of work. The Confuscitat what he so poly responsible for annivious and deplications by the Confuscitat or any Subconfuscita due to add on allegad error, either direct or implied, he agreement of matter on the Confuscitation and the Confuscitation of the Confuscitation

### 7.3 Construction Change Directives

ARTICLE 9 - PAYMENTS AND COMPLETION 7.3.6 A "reasonable allowance for overhead and profil" as referred to in the first sentence of this paragraph shall not exceed lifteen percent (15%).

# Decisions to Withhold Certification: Add the following paragraph:

9.5

- 9.5.1 The Architect will not issue any Certificates of Payment for any progress payment to the Conflactor subsequent to the work completion and specified in Article 3 of the AA Document A 101, "Standard form of Agreement Between Owner and Conflactor", 1987 Edition.
- 11.5 All Risk Builders ' Risk

# 11.3.1 for the dualition of this Contract the Contract of the Importation on All Risk didgets (Risk Poli-tical Contract of the Importance of Importance

- 5.1 Definitions: Add the follow
- 5.1.3. There shall be no obligation on the part of the Owner to pay or see to the payment of any sums due any Contraction is Subscontraction, no create any obligation of any kind, express or implied, upon the Owner as the Architect in town of any Subcontractor of Sub subcontractio.

Comprehensive General Liability Insurance

Owner's Liability Insurance

### **END OF SECTION**

# ARTICLE 6 - CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS

AL? The Controctor shall be responsible for the filting of Wave A count or the condisions of the operation of the operation of the condisions of the operation op Mutual Responsibility: Add the following paragraph

ARTICLE 7 - CHANGES IN THE WORK 11.2

11.4.1 for the duration of this contract the contractor that grotness and making income distributed that propagate 11.2.1 in the minimum of the time the could construct the ord the Command's liability and shall contain the same specific endostments which the Contractor places on the insurance required by prographs 11.2.1.

Fat the stration of this Contract the Construction and modeling competencies Contract the Management of the Stration and the Stration and Stration a

14.2 <u>Termination by the Owner for Cause</u>: Add the following sentence:

### 14.2.4

4 The cost incurred by the Owner as herein provided and damage incurred through the Confractor's dataful shall be certified by the Architect, and his findings shall be paims facile evidence as to the facts of such damage and expense.

The successful blader will be required to turnish a one hundred percent (100%) Performance Bond and one hundred percent (100%) Payment Bond.

11.1 for the duration of this Contract the Contract to additional contract of the Contract to a distribution of the Contract o

ARTICLE 14 - TERMINATION OR SUSPENSION OF THE CONTRACT

### ARTICLE 11 - INSURANCE:

Each bid shall be accompanied by a bid guarantee in the form of a certified check, cashler's check, or bid bond in the amount of five percent (5%) of the total bid price.

12.2 <u>Correction of Work</u>: Add the following paragraph:

12.2.7

1.7 The Contractor traditurals him. Owner with the Winn parameter against a state of the willing parameter against a state of the period of ONE YEAR form the data of a parallel of the YEAR form the data of the HALL ACCEPTANCE OF THE WORK. He had secure all william guarantees and warranties called fair in the specification. The Contractor is suppossible for the parameter on the entire work parameter of the par

ARTICLE 12 - UNCOVERING AND CORRECTION OF WORK 5 Certificates of huwance that combain source(ps) from the proper Officer of the insures, evidencing in positicular those nured, the estent of the insurance, the location and the operations in which the insurance applies, the expiration date and the chose mentioned Notice of Concellation Clause.

11.6.5

Studio E

CONSTRUCTION 圚

VERIFY ALL DIMENSIONS AT JOBSITE.

VERIFY ALL DIMENSIONS AT JOBSITE.

MODIFICATIONS TO THE PAIN AND ELEVATIONS ARE SOMETIMES NECESSARY
DUE TO JOBSITE CONDITIONS AND COMER PREFERENCES.

THIS 19. A DRAWMOR TO SHOWN METH, ACTUAL WORK AND DETAILS TO BE
DETERMINED AT JOBSITE AT TIME OF DENOLITION, BASED ON DISCOVERY.

**PRICING SET - 11-20-25** 

A.01

CONDITIONS GENERAL REQUIREMENTS AND

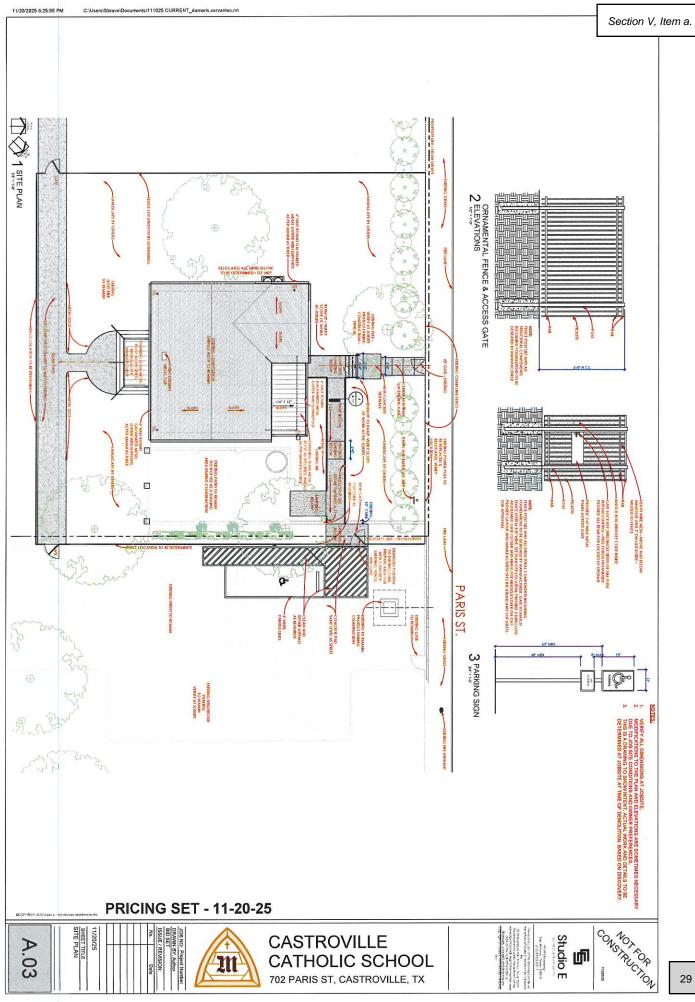
11/20/25

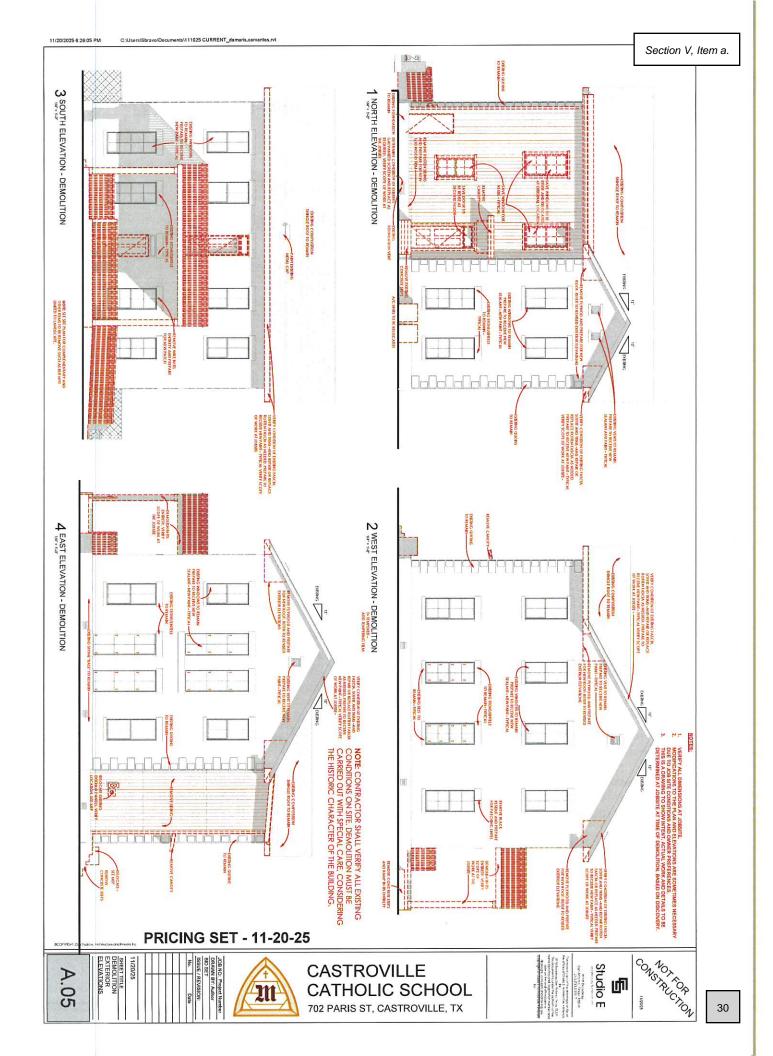


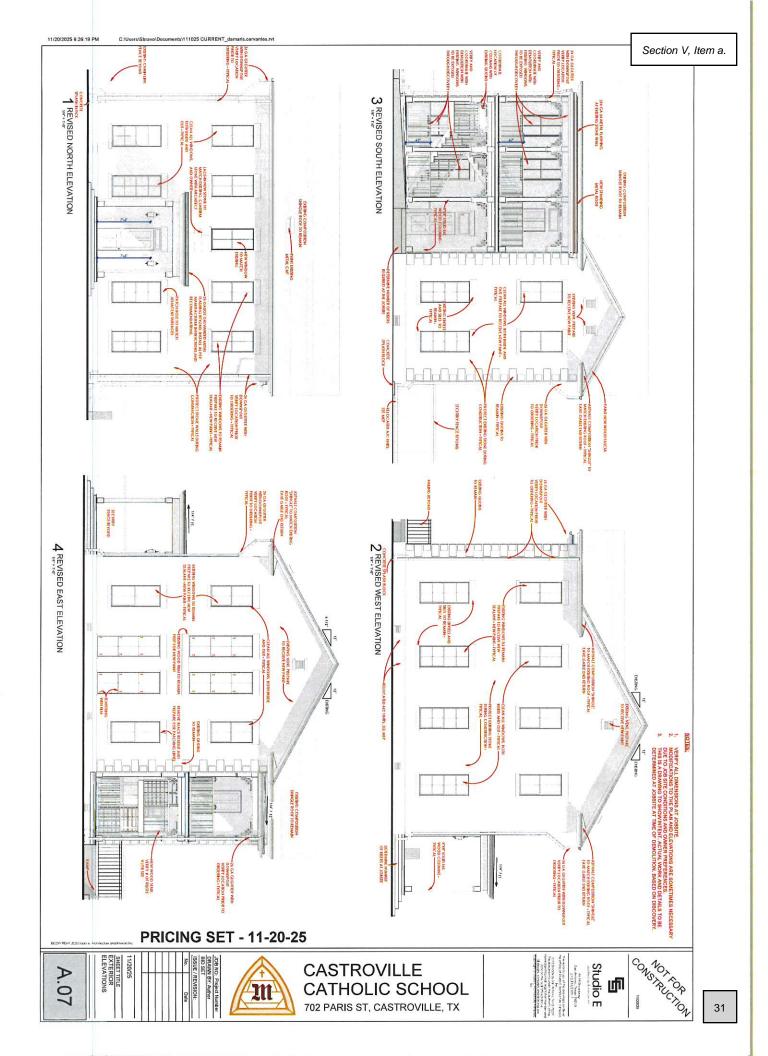
**CASTROVILLE** CATHOLIC SCHOOL

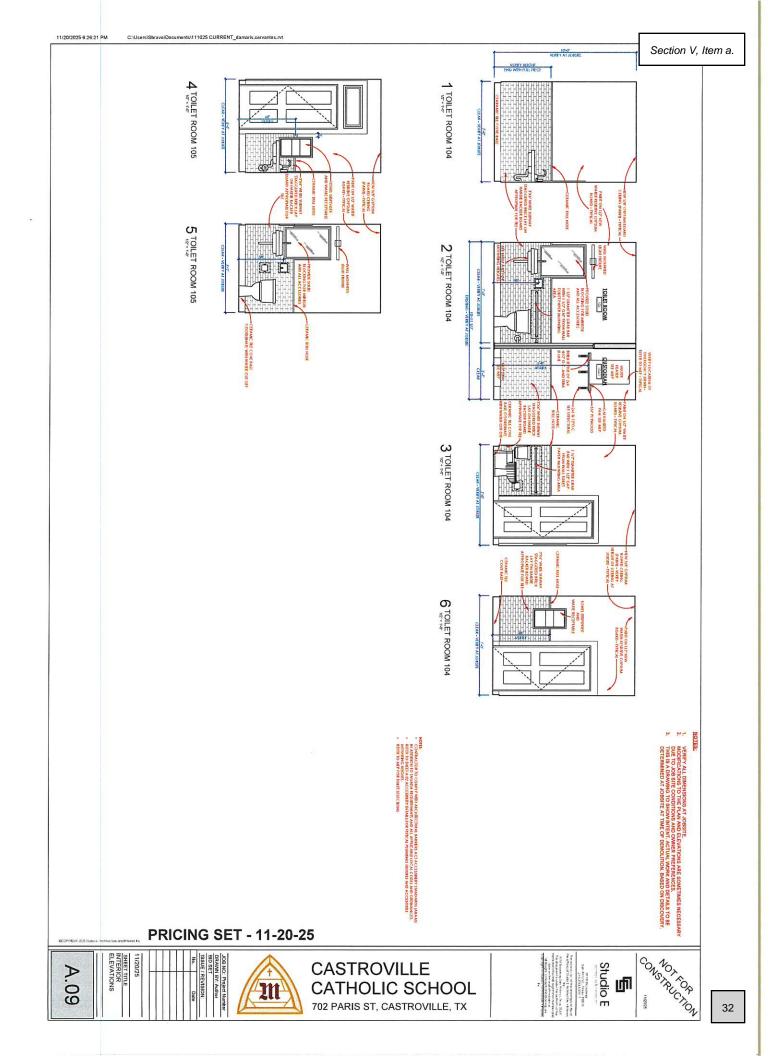
A.(	CASTROVILLE  STEP THE SECTION OF THE OUTLINE O	Stud Students		
DCOP/PICHLUZS (NAME of	CONTIDE IDSTANCE INTERNAL PROFESSION IN CONTINE IN CONT			
	CENAME III COMPRESSON HILL MAN INSEL AND ENABRISHS AND THE MAN INSEL AND ENABRISHS AND THE MATERIAL THROUGH DIGHT MANUSCHELLE THROUGH MANUSCHELLE THROUGH MANUSCHELLE MANUSCHELLE THROUGH DIGHT MANUSCHELLE MANUSCHELL	THE PART LONG HER PARK AND ELEVATIONS ARE SOMETHMES NECESSARY WORDS AND SHEAT TO THE PARK AND ELEVATIONS ARE SOMETHMES NECESSARY WORDS AND SHEAT TO THE PARK AND ELEVATIONS AND SHEAT TO THE PARK AND ELEVATIONS AND SHEAT TO THE PARK AND ELEVATIONS AND SHEAT TO THE PARK AND SHEAT TO THE PARK AND SHEAT THE PARK AND SHEA		
PART PROBEL DESIRE DOORS INVESTED.  WEFFEL DES CORMAN, AUD WEST, OF ALL DOORS.  LANGES IL NACHMEN AUD WEST, OR ALL DOORS.  LANGES IL NACHMEN AUD WEST, OR ALL DOORS.  CONSIDERATION OF THE ANAME ACTIVE STORES AND.  CONSIDERATION OF THE ANAME ACTIVE STORES AND.		MINDLE BRIDGE CARRENTS  A MINDLE BRIDGE CARRENTS  A MINDLE BRIDGE CARRENTS  A MINDLE BRIDGE CARRENTS WHI COVER  A MINDLE BRIDGE CARRENT OF THE COMMITTEE  A MINDLE BRIDGE CARRENT OF THE COMMITTEE  A MINDLE BRIDGE CARRENT OF THE COMMITTEE  A COMMITTEE CARRENT OF THE COVER OF THE		
ACCOMMENDATIONS  TO CHARLEST AND CHARLEST AN		MINISTER AND BOOK LADING AND MET.  I AMARA PATRETS REPETENDANT AND		
A HEEE IS AMP ENAMPSICA AND STEEDLARDISSION  A DERMIC CENTERNA HISCORY AMPLIES, SANCY, CONTRES, WARRE AND AMPLIES, SANCY, CONTRES, CONTRES, CONTRES, CONTRES, HE WAS CONTRES, ALL (TREES, AT IMMASS) HE WAS CHANGES, ALL (TREES, AT IMMASS) CONTRES.  CONTRES.  THE CONTRESS AND AMPLIES AND A	MICHARICA AND PRINCIPAL PORT AND PRINCIPAL PROPERTY OF A TO A TOTAL PRINCIPAL PROPERTY OF A TOTAL PROPERTY	, , , , , , , , , , , , <u>, , , , , , , </u>		
HEWINAMO MAICH ADIACHT SIAN PROBES: 26 CILAVIE CILAVIE ALD DERECANSIS FE WORK HAS ECTION AT ALI BAUS: HEM AND CILMA AT ALI BAUS:	PRICE MONCH ON PROPERTY SCHOLARS. AND ADDRESS AND SCHOLARS. AND COURS AND ADDRESS AND ADDR	DUTLINE SPECIFICATIONS  REMAND  LOS MORMANDES CHI POSILATIONETIVIPI  L'ANDRAMES, INCLUDES CHI POSILATIONETIVIPI  ANTICHES, DALINETICI CONSIDERE CHI POSILATIONETIVIPI  L'ANDRAMES, INCLUDES CHI POSILATIONETIVIPI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVIPI  L'ANDRAMES, INCLUDINETIVIPI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVIPI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVI  L'ANDRAMES, INCLUDE CHI POSILATIONETIVI  L'ANDRAMES, INCLUDE CHI POSIL		
2. PRODIES ADRIGADOS ASSAS VARIANTAS AND ANTI- JAMEN ACTUBER STANDAR WARMER PARHESS AND TREM WARMANT AND A SPEKA COMMANTE ACADES FAULUE DIE TO CORNODON BUPIES. CHE PREDIMANDIS.	A ALL GIFFER CHARLES AND MARKAN ON A PATRICH OF THE TAXABLE AND MARKAN ON A PATRICH OF THE TAXABLE AND WAS INTERPORTED OF THE TAXABLE AND WAS INTERPORTED OF THE TAXABLE AND WAS INTERPORTED ON A PATRICK AND WAS INTERPORTED ON A PATR			
I. CORREACTOR SHALL HOTEY HE ACCIDENT AND OWNERS OF ANY TREMESON DERIVED THOUGHTON OF AUTHORITICAL OWNERS OF ANY TREMESON OF THE ACCIDENT COURTS (LIMBERS LE REAL MACCION). FORCE AND WALLS: 19. CORREACTOR DO DOTY FILE AND STATE AND COURTS OF ANY TO ANALOTHE CONTRIBUTE ON AND DEVELOPMENT DEBUG DEMORRDH AND CONTRIBUTE ON.	IN THE PRESIDENCE PROTECTION TO WANTER CORRECT  AND THE CONSISTANCE TO SECURITY OF WANTER CORRECT  AND THE CONSISTANCE TO SECURITY OF WANTER CORRECT  FOR THE THE PROTECT OF THE CONSISTANCE OF THE CONSIST	LIMINGAL CONTACTORS PERSONNETTS:  1. ANY CONTROLLED CON		

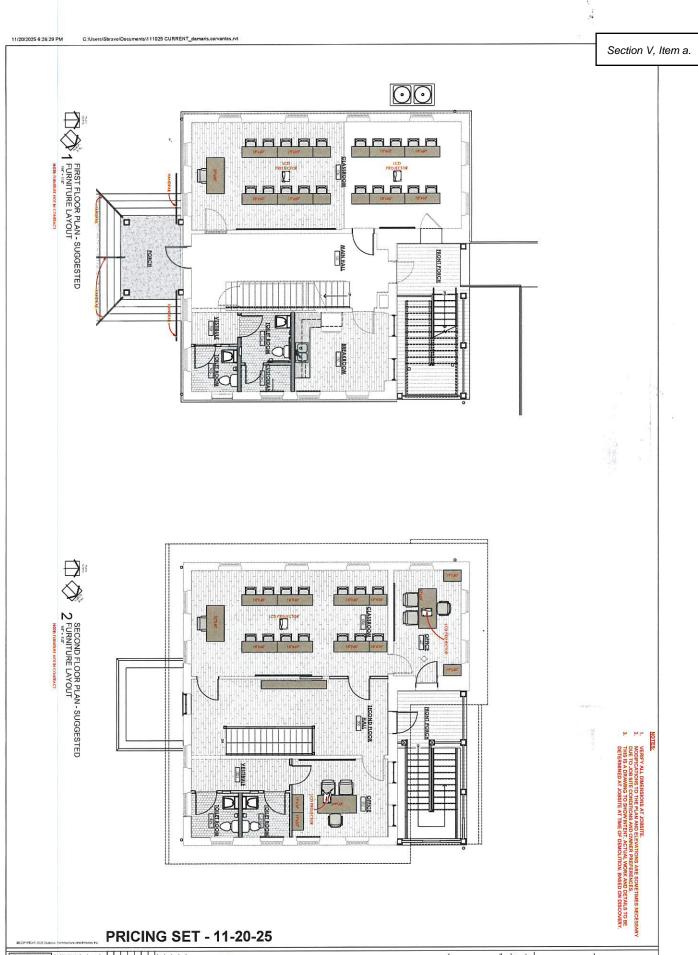
CATHOLIC SCHOOL 702 PARIS ST, CASTROVILLE, TX











PRICING SEI - 11-20-23

CASTROVILLE

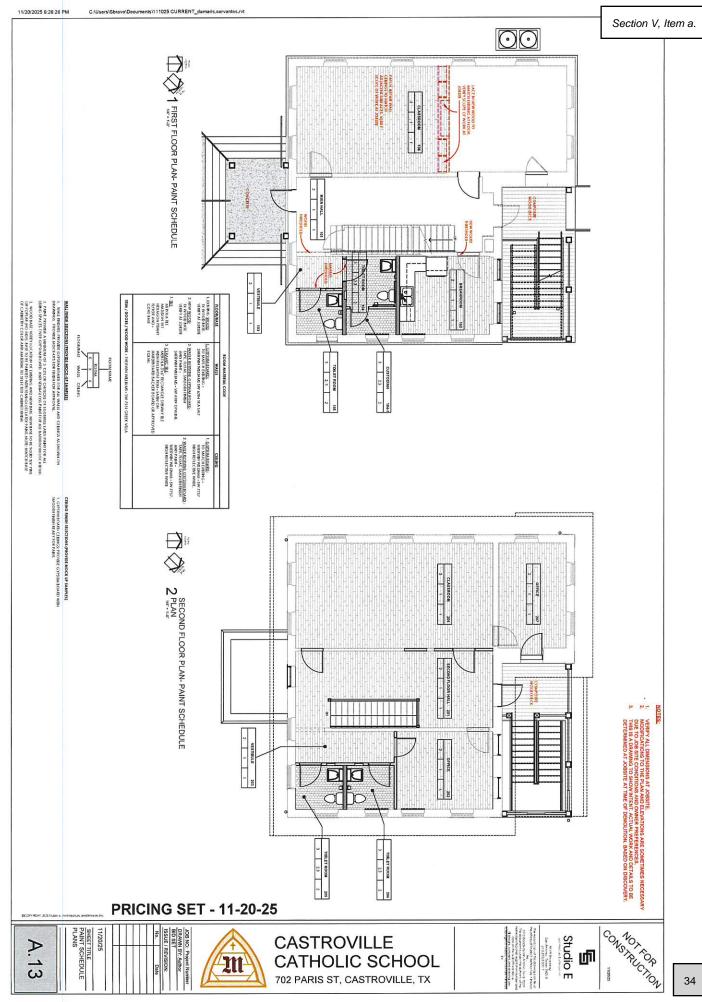
CATHOLIC SCHOOL

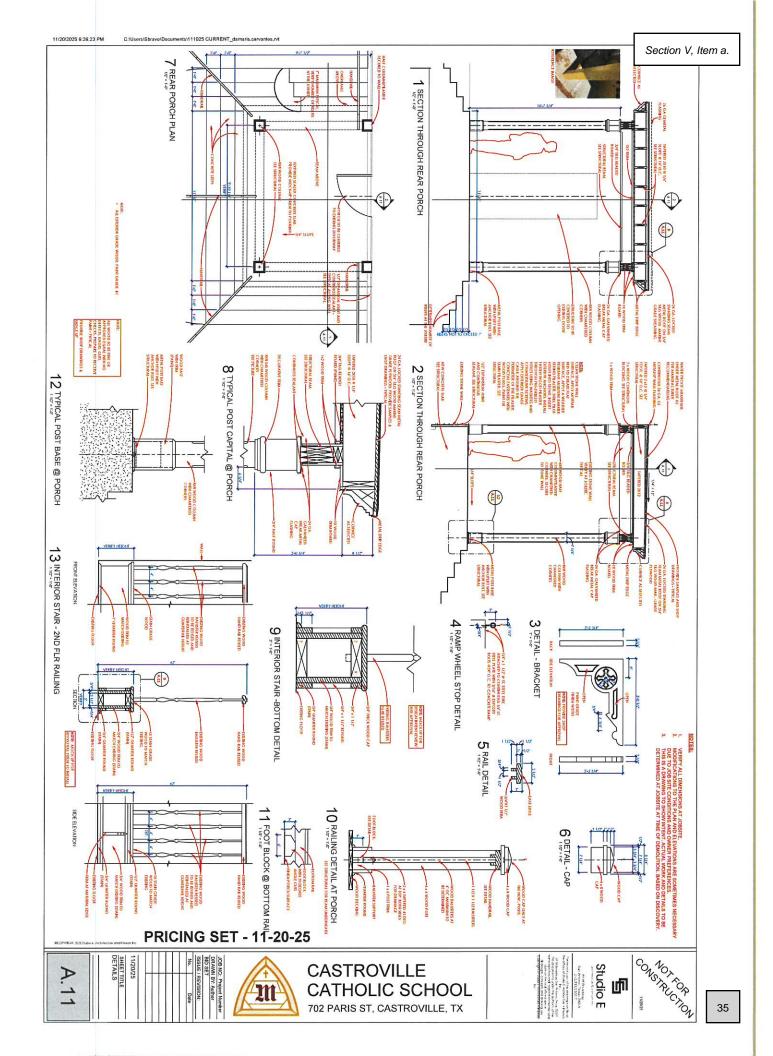
702 PARIS ST, CASTROVILLE, TX

THE PLAN TURBE PLAN

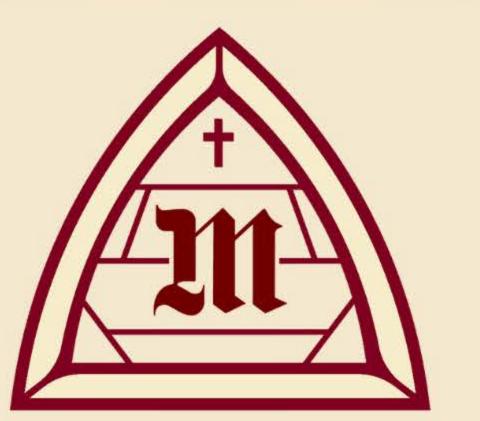
TO PARIS ST, CASTROVILLE, TX

TO PARIS ST, CASTROVILLE, TX









# Moye Catholic Middle & High School

moyeschool.com





#### 02 DECEMBER 2025 / LETTER OF RECOMMENDATION

## Certificate of Appropriateness

702 Paris Street, Castroville, TX 78009

December 2, 2025

Castroville Catholic Middle & High School Representative: Brook Rothe PO Box 291 Castroville, TX 78009 830-426-6502 moyeschoolcastroville@gmail.com

RE: 702 Paris Street - Alteration

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	HE
THC 1969 Survey	Χ
THC 2002 Resource	Χ
Other Historical Designation	

OTHER IMPORTANT INFORMATION		
Build Date ca. 1900		
Architectural Style		
Center Passage Residential		

Please provide a comment response letter with subsequent submittals.

### COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements. Please submit the following items:



#### <u>ALTERATIONS</u>

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com

Certificate of Appropriateness 702 Paris Street

materials; changing, eliminating or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alterations Comments

#### ADDITIONS/PORCHES, GALLERIES, AND BALCONIES

- 1. Per the Castroville Design Guidelines, Section II, Additions (pg. 11), design an addition so it blends well with but does not look "historic." The bracket details on the front porch and balcony may create a false sense of historic character. Additionally, Section II: Porches, Galleries, and Balconies (p. 35) advise avoiding decorative elements that are not known to have been used on the house or on similar structures. For these reasons, it is recommended that the brackets be removed. Eliminating them will also help reduce visual emphasis on the new addition. This area of the home already contains substantial visual activity due to the staircase, which competes with the historic structure, and the brackets add further visual busyness. Therefore, their removal is recommended.
- 2. Per the Castroville Design Guidelines, Section II: Porches, Galleries, and Balconies (p. 33) a new (replacement) porch should be in character with the historic building, in terms of scale, materials and detailing. The proposed back porch includes a concrete floor and concrete steps on three sides. Historically, porches on homes of this type were typically constructed of wood, and the use of concrete flooring would alter the historic character of the structure. It is recommended that the porch floor be constructed of wood to match the proposed new front porch. Additionally, the porch stairs should be simple in design and should not wrap around the entire porch, as this would be inconsistent with the historic character of the home.

#### **DOORS AND SCREEN DOORS**

3. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 18), a historic door and its distinct materials and placement should be preserved. Per the plans on page A.O4, the Second Floor Plan – Demolition notes the following at the rear of the building: "remove door frame and casing and save. Prepare for new wood window to match existing." However, the south elevation of the home did not have a balcony at the time of the Texas Historic Commission's 1969 Survey (see image below). Despite this, there is currently still a door on the second story with a transom. It is possible that a balcony existed at an earlier date, prior to the survey

40

Certificate of Appropriateness 702 Paris Street photo, as patches in the stone suggest this may have been the case. Given this, <u>if is</u> recommended that the existing door and transom remain in place and not be replaced with a window.



THC 1969 Survey photo of south elevation



Close up of THC 1969 Survey photo of south elevation, possible stone patchwork

4. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 20), maintain features important to the character of a historic doorway. These may include the door, doorframe, screen door, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights. Per the plans on page A.O4, the First Floor Plan – Demolition notes, on the rear entry door: "remove existing wood casing and store for possible future use." However, per the design guidelines, the doorframe should not be altered unless the door is being widened to meet ADA requirements. Otherwise, the existing doorframe should remain in place.

#### SIDING AND WALL SURFACES

- 5. Per the Castroville Design Guidelines, Section II, Siding and Wall Surfaces (pg. 21), for repairs to stone and stucco wall surfaces:
  - Remove any non-original mortar and cement plaster from the wall. Replace mortar to match original in composition, color, and profile.
  - Avoid Portland cement plaster as mortar to stucco material. Because it's harder than the softer stone, it will cause the stone to crumble.
  - Reinstall a soft limestone plaster if the majority of the building is plastered and/or the stone is soft.

3/5

Certificate of Appropriateness 702 Paris Street

#### **EXTERIOR PAINT**

- 6. Please provide paint colors on the following items:
  - New security fence
  - All handrails
  - Columns on new porches
  - Brackets
  - Cornice and cornice return
  - Wood newel post on staircase
  - All stair assembly elements
  - Vents
  - Fascia, soffit, and roof trim
  - Window and door trim
  - Metal cap on roof at rear
  - Gutter and downspout
  - Deck on porches

Per the Castroville Design Guidelines, Section II, Exterior Paint (pg. 27), consider the color palette to the right. The palette consists of soft, natural and traditional colors. They have a matte finish rather than shiny, because of the traditional organic/protein or milk base.



### **ROOFS, GUTTERS, SKYLIGHTS, DORMERS**

7. Per the Castroville Design Guidelines, Section II, Roofs, Gutters, Skylights, Dormers (pg. 30), roof color is an important feature because it dominates the appearance of the house. Choose a color that is complimentary to the house. Metal roofs were typically painted a silvery color or red. *Please confirm color of new standing seam roofs on front and back porches.* 

### **FENCES AND WALLS**

- 8. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), the height of your fence should complement the house, not overwhelm it. <u>This usually means a fence will measure about 2-1/2 to 4 feet from the ground to the top of the fence. Consider this for the new security fence.</u>
- Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 36), consider a fence height of three feet or less for the front yard.
   LANDSCAPING, WALKWAYS AND DRIVEWAYS
- 10. Per the Castroville Design Guidelines, Section II, Fences and Walls (pg. 38<u>). locate</u> off-street parking, as much as possible, to the rear of your property. Technically the Americans with Disabilities (ADA) parking space is on the side of the property.

4/5

Certificate of Appropriateness 702 Paris Street

### GENERAL COMMENTS

- 11. The Certificate of Appropriateness application lists the property's zoning as CG. The property is actually located in an HE zoning district, which is still under the Historic Landmark Commission's purview. <u>Please update the application to reflect the correct zoning.</u>
- 12. Several pages in the plans note "landscape by others." Please be aware that any landscape plans or details not included in this submission must be approved by the HLC before any landscape work can proceed. <u>This recommendation applies only to the landscaping details shown in the plans submitted with this application and does not include any items labeled "landscape by others."</u>

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

5/5 43

Section V. Item b.



## **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 505 Houston Street

### **Applicant**

Conflict and Development Foundation

Representative: Joseph King

## **Zoning / Historic Status**

Zoning: Historic Estate (HE)Year Built: ca. 1811–1847

• Historic Surveys: THC 1969 Survey; THC 2002 Resource

• Architectural Style: Alsatian

## Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure located at 505 Houston Street. The proposed work includes window and shutter elements and repairs to stone and stucco wall surfaces.

## **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review, the HPO recommends approval **with conditions**, including the following key items:

Section V, Item b.

- **Windows and Shutters:** Shutters must be appropriately sized so that they are capable by covering the window opening when closed, consistent with the Design Guidelines.
- Siding and Wall Surfaces:
  - o Remove any non-original mortar or cement plaster.
  - o Replace mortar to match the original in composition, color, and profile.
  - o Avoid Portland cement plaster, as it may damage historic stone.
  - o Use a soft limestone plaster where appropriate to maintain historic integrity.

A written response letter addressing all HPO comments is required with any revised or subsequent submittals.

### **Staff Recommendation**

Approve the Certificate of Appropriateness for 505 Houston Street, subject to the conditions outlined in the Historic Preservation Officer's Letter of Recommendation dated December 5, 2025.

### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 505 Houston Street, subject to the conditions as discussed.



Permit Number: 2025307

Submittal Date: \_12/2/2025

office use only

#### **Community Development Department**

703 Paris St. Castroville, Tx 78009 (830) 931-4090 permits@castrovilletx.gov

**Property Information** 

## **Certificate of Appropriateness Application**

Project Address: 505 HOU	STON		Zoning:
Legal Description: Lot	Block	Range	Subdivision
Landmark Name: BIPPERT	HOUSE		
Owner Information			
Owner Name: CONFLICT	AND DEVELOPMENT FOUNDA	TION	
Mailing Address: CASTRON	/ILLE		
Phone: <sub>210-219-1318</sub>	Fax:	Email; JOSEPH.KING@0	CONDEV.ORG
Project Description			
REPLACE REAR MODERN GALLERY TIMBER FRAMED WALLS WITH HISTORIC ROCK MASONRY WALLS.			
REPLACE READ MODERN PICTURE FRAME WINDOWS WITH HISTORIC CASEMENT WINDOWS TO MATCH EXISTING.			
STUCCO SEGMENT OVER ROCK WILL MATCH EXISTING STUCCO PAINT COLOR.			
CASEMENT WINDOW WALLS WILL FEATURE EXPOSED ROCK.			

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:

Date: 01 DEC 2025



NORTH ELEVATION 3/16" = 1'-0" A3.01 03



EAST ELEVATION 3/16" = 1'-0" 02

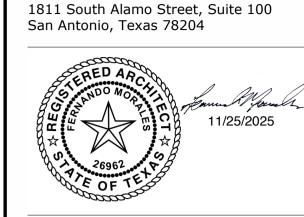
# **KEYNOTES**

NEW SOLID STONE WALL MATCHING HISTORIC STYLE. VERIFY STONE TYPE, COLOR, SIZE AND PATTERN WITH OWNER AND ARCHITECT.

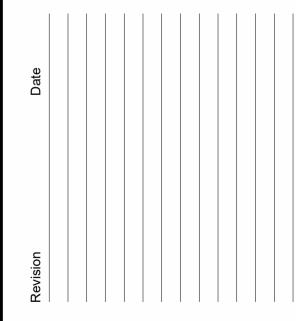
- NEW PATIO DOOR MATCHING EXISTING. VERIFY MATERIAL, FINISH AND MANUFACTURER WITH OWNER AND ARCHITECT. MATCH TRIM DETAILING OF HISTORIC DOORS.
  - NEW CASEMENT WINDOW MATCHING EXISTING ELSEWHERE ON HOUSE. VERIFY SIZE, MATERIAL, FINISH AND MANUFACTURER WITH OWNER AND ARCHITECT. MATCH HISTORIC TRIM AND SHUTTERS.
- PLASTER EAST FACE OF NEW STONE WALL AT GALLERY. MATCH HISTORIC TECHNIQUE, COLOR AND TEXTURE.

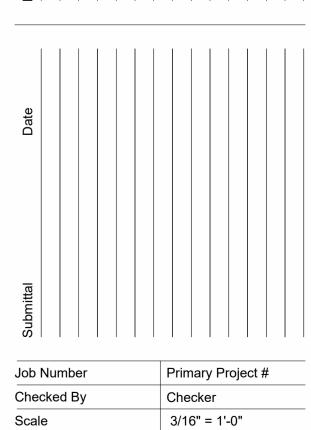
Section V, Item b.

ARCHITECTURE ENGINEERING INTERIOR DESIGN LANDSCAPE ARCHITECTURE PLANNING 210-829-1737 Office LPADesignStudios.com



This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, are the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.





**EXTERIOR ELEVATIONS** 

#### 05 DECEMBER 2025 / LETTER OF RECOMMENDATION

## Certificate of Appropriateness

505 Houston Street, Castroville, TX 78009

December 5, 2025

Conflict and Development Foundation 502 Florence Street Castroville, TX 78009 210-219-1318 Joseph.king@condev.org

RE: 505 Houston Street -Alteration

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	HE
THC 1969 Survey	X
THC 2002 Resource	X
Other Historical Designation	

OTHER IMPORTANT INFORMATION		
Build Date ca. 1811-1847		
Architectural Style		
Alsatian		

Please provide a comment response letter with subsequent submittals.

#### COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements. Please submit the following items:



## <u>ALTERATIONS</u>

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com

Certificate of Appropriateness
702 Paris Street

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alterations Comments

#### **WINDOWS & SHUTTERS**

1. Per the Castroville Design Guidelines, Section II, Windows and Shutters (pg. 17), shutters should be large enough to cover the window when closed.

#### SIDING AND WALL SURFACES

- 2. Per the Castroville Design Guidelines, Section II, Siding and Wall Surfaces (pg. 21), for repairs to stone and stucco wall surfaces:
  - Remove any non-original mortar and cement plaster from the wall. Replace mortar to match original in composition, color, and profile.
  - Avoid Portland cement plaster as mortar to stucco material. Because it's harder than the softer stone, it will cause the stone to crumble.
  - Reinstall a soft limestone plaster if the majority of the building is plastered and/or the stone is soft.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

2/2

49

Section V, Item c.



## **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 1109 Fiorella Street

### **Applicant**

Conflict and Development Foundation

Representative: Joseph King

## **Zoning / Historic Status**

• **Zoning:** Commercial General (CG) – Historic Overlay

• **Historic Surveys:** THC 1969 Survey; THC 2002 Resource

• Architectural Style: Not specified

• Year Built: Unknown

## Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the structure located at 1109 Fiorella Street. The proposed work includes window and shutter elements visible from the public right-of-way.

## **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application **meets all Certificate of Appropriateness submission requirements**.

Based on the review, the HPO recommends approval **with conditions**, including the following key item:

Section V, Item c.

• **Windows and Shutters:** Shutters must be appropriately sized so that they are capable or runy covering the window opening when closed, consistent with the Castroville Design Guidelines.

A written response letter addressing the HPO comment is required with any revised or subsequent submittals.

### **Staff Recommendation**

Approve the Certificate of Appropriateness for 1109 Fiorella Street, subject to the condition outlined in the Historic Preservation Officer's Letter of Recommendation dated December 5, 2025.

### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 1109 Fiorella Street, subject to the conditions as discussed.



Permit Number: 2025308

Submittal Date: 12/2/2025

office use only

#### **Community Development Department**

703 Paris St. Castroville, Tx 78009 (830) 931-4090 permits@castrovilletx.gov

## **Certificate of Appropriateness Application**

Property Information		
Project Address: 1109 FIORELLA		Zoning: CG
Legal Description: Lot 5-6 Block 3	Range 5	Subdivision
Landmark Name: CASTRO HOMESTEAD		

Owner Information		
Owner Name: CONFLICT AND DEVELOPMENT FOUNDATION		
Mailing Address: CASTROVILLE		
Phone: <sub>210-219-1318</sub>	Fax:	Email: JOSEPH.KING@CONDEV.ORG

Project Description		
ADD EXTERNAL SHUTTERS TO ALL WINDOWS IN HISTORIC STYLE.		
ADD PAINT FROM OLDE CENTURY PALLET. OLDE BRICK RED FOR SHUTTERS. SALT BOX BLUE FOR PORCHES.		
DOORS WILL BE REPLACED WITH SOLID WOOD DOORS TO MATCH HISTORIC STYLES AND STAINED.		

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

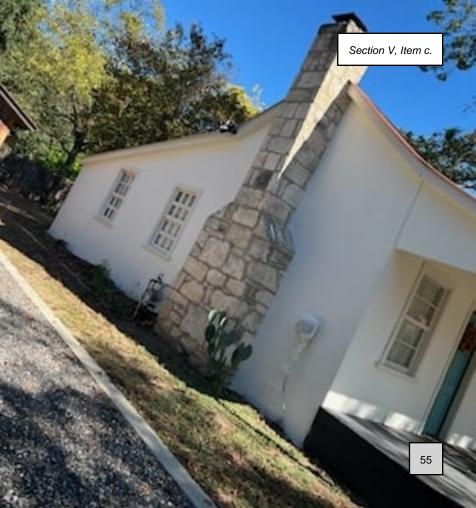
I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:

Date: 01 DEC 2025

















## **Shutter Color**

#### 05 DECEMBER 2025 / LETTER OF RECOMMENDATION

## Certificate of Appropriateness

1109 Fiorella Street, Castroville, TX 78009

December 5, 2025

Conflict and Development Foundation 502 Florence Street Castroville, TX 78009 210-219-1318 Joseph.king@condev.org

RE: 1109 Fiorella Street - Alteration

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

designations	
Historic Zoning (HE/CG)	CG
THC 1969 Survey	X
THC 2002 Resource	X
Other Historical Designation	

OTHER IMPORTANT INFORMATION		
Build Date		
Architectural Style		

Please provide a comment response letter with subsequent submittals.

#### COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements.



## ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com

Certificate of Appropriateness 1109 Fiorella Street shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alterations Comments

#### **WINDOWS & SHUTTERS**

1. Per the Castroville Design Guidelines, Section II, Windows and Shutters (pg. 17), shutters should be large enough to cover the window when closed.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

2/2

62

Section V, Item d.



## **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 501 Vienna Street

### **Applicant**

Kenneth Reimer

## **Zoning / Historic Status**

• **Zoning:** Historic Estate (HE)

• **Year Built:** ca. 1907

• **Historic Surveys:** THC 2002 Resource

• Architectural Style: Hall Parlor

## Request

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the historic structure located at 501 Vienna Street. Proposed work includes window and door modifications visible from the public right-of-way.

## **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application meets all Certificate of Appropriateness submission requirements.

Based on the review and subsequent correspondence with the applicant, the HPO's comments have largely been resolved, with the following clarifications:

Section V, Item d.

- **Windows:** Although the initial submittal showed inconsistent window types, the applicant confirmed use of a **six-pane casement window**, which is consistent with the design guidelines. The window is located at the rear of the structure and has limited visibility from the public right-of-way.
- **Doors:** While the initial description referenced a wood/steel door, the applicant confirmed that a **wood door** will be used for the rear entry, consistent with the design guidelines.

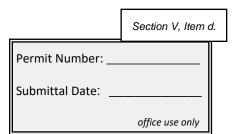
A written comment response letter is required with the final submittal confirming these items.

### **Staff Recommendation**

Approve the Certificate of Appropriateness for 501 Vienna Street, subject to compliance with the clarifications outlined in the Historic Preservation Officer's Letter of Recommendation dated December 9, 2025.

### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 501 Vienna Street, subject to compliance with the clarifications as discussed.





### **Community Development Department**

703 Paris St. Castroville, Tx 78009 (830) 931-4090 permits@castrovilletx.gov

## **Certificate of Appropriateness Application**

Property Information		
Project Address: 501 VIENNA		Zoning:
Legal Description: Lot 10 Block 3	Range	Subdivision
Landmark Name: NONE		
Owner Information		
Owner Name: Kenneth Reimer		
Mailing Address: 501 Vienna / OR 5700 Armstrong	Pkwy Dallas, Tx 75	205
Phone: 214.282.0800 Fax:	Email: kreimer(	@venturelandgroup.net
Project Description		
remove old 1970's aluminum window, replace	with wood/steel Cas	sement set of Windows
Replace Back Door as this was eliminated in what appears to be a 1970's addition		

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

	X) X X - g.m/	12/4/25
Signature of Applicant:	CYMM) A CXMM	Date:
	1 1/1	

 $\Lambda \Lambda \Lambda$ 

#### **INFORMATION SECTION**

Please read the following information regarding Certificate of Appropriateness prior to submitting an application.

Any application that is missing information will be considered incomplete and will not be processed.

### **APPLICATION DUE DATE/DATE OF HEARING:**

All applications are due by the date on the chart attached. There will not be a waiver of date, so please plan accordingly. Applications will be reviewed for completeness by Community Development staff.

#### **REQUIRED FEES:**

Application Fee \$100.00

#### **APPLICATION REQUIREMENTS**

To apply for a Certificate of Appropriateness please submit the following regarding your project:

- 1. Site plan showing the location of the structure of property on its lot;
- 2. Photographs of all elevations of the structure or property and details pertaining to the proposed work;
- 3. Detailed description of the proposed work;
- 4. Elevation drawings of the proposed changes, if applicable;
- 5. Samples of, or appropriate information concerning materials to be used;
- 6. Rationale for why the proposed change is compatible with designation as a historic landmark or property within a historic district;
- 7. Any other information which the Historic Landmark Commission or staff deems reasonably necessary to visualize and evaluate the proposed work;

#### **LETTER OF AUTHORIZATION:**

If the applicant is not the property owner, a letter signed by the owner authorizing the applicant to act on their behalf must accompany this application.

### **LEGAL DESCRIPTION:**

If the property is not platted (example of platted property: Lot A, Block 4, ABC Subdivision), a survey and/or metes and bounds description of the property with an exhibit illustrating property boundaries **must** accompany the application.

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS PROCESS/PROCEDURE:

- 1. Applicant completes the application for Certificate of Appropriateness and submits said application with required attachment(s) and filing fees
- 2. The city will call a Historical Landmark Commission meeting, based on the schedule provided on the following page, and review for completeness after receipt of payment.
- 3. A meeting is held before the Historical Landmark Commission at which time the commission approves or denies the Certificate of Appropriateness. The Historical Landmark Commission has the final say and the Certificate of Appropriateness does not need to go to City Council for approval.

## 501 Vienna





East Elevation



## West Elevation



North Elevation



## 3)Explanation of Work:

Replace the two 1970's era aluminum windows with a more period correct set of casement windows. Add back door with period correct door – original if possible, or quality wood/steel door - as original door was eliminated with this more recent addition of the house.

## 4)Diagram of work:





## 5) Material Information / Window/Door Detail







Doors, though most likely this will be a single door, not double:



6)Rational: These changes will eliminate 1970's aluminum windows and add back much nicer, more expensive, period correct windows. While the house originally had two back doors, they have both been eliminated by the latest addition – which appears to be from the 70's. We would like to add back the function of the original house – access to the back yard.

#### 09 DECEMBER 2025 / LETTER OF RECOMMENDATION

## Certificate of Appropriateness

501 Vienna Street, Castroville, TX 78009

December 09, 2025

Kenneth Reimer 5700 Armstrong Pkwy Dallas, TX 75205 214.282.0800 kreimer@venturelandgroup.net

RE: 501 Vienna Street - Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

designations	
Historic Zoning (HE/CG)	HE
THC 1969 Survey	
THC 2002 Resource x	
Other Historical Designation	

OTHER IMPORTANT INFORMATION		
Build Date	ca. 1907/	
Architectural Style		
Hall Parlor		

Please provide a comment response letter with subsequent submittals.

#### COA APPLICATION

ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements.



Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com 09 December 2025 /
Letter of Recommendation
Certificate of Appropriateness
501 Vienna Street,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

### Alteration Comments

1a. The rendering shows four-over-four windows; however, the "Material Information/Window/Door Detail" indicates a mix of six-pane and three-pane windows.

Please confirm which window style is correct.

1.b After corresponding with the applicant by email, they confirmed that they will be using a six-pane casement window. This window style is consistent with the applicable guidelines. Please note, however, that the window will be located at the rear of the house, where visibility from the public right-of-way is minimal and therefore of less significance. Therefore, this comment is cleared.

2a. The "Explanation of Work" notes a proposed wood/steel door. Per the Castroville Design Guidelines, Section II, Doors and Screen Doors (pg. 20), <u>avoid using a metal door.</u>

2b. Per email correspondence with the applicant, they are proposing a wood door rather than a metal door for the rear entry. Accordingly, this comment is considered resolved.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

2/2

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

Section V, Item e.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 902 London Street

#### **Applicant**

**Edward Solis** 

#### **Zoning / Historic Status**

• **Zoning:** Historic Estate (HE)

Historic Surveys: THC 1969 Survey
 Architectural Style: Not specified

• Year Built: Unknown

#### **Request**

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations to the property located at 902 London Street. The proposed work includes construction of an erosion prevention wall near the garage.

#### **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application meets all Certificate of Appropriateness submission requirements.

Based on the review, the HPO recommends approval with conditions, as follows:

• Erosion Prevention Wall:

Section V, Item e.

- If the proposed erosion prevention wall is designed to match the existing stone
  retaining walls on the property in material and appearance, the recommendation is
  approved.
- o If the wall will not match existing stone retaining walls, the applicant must provide additional details, including **height and materials**, for further review.

A written response letter addressing this condition is required with any subsequent submittals.

#### **Staff Recommendation**

Approve the Certificate of Appropriateness for 902 London Street, subject to compliance with the condition outlined in the Historic Preservation Officer's Letter of Recommendation dated December 14, 2025.

#### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 902 London Street, subject to compliance with the conditions as discussed.

Section V, Item e.



Permit Number: 2025310
Submittal Date: 12 2 25

office use only

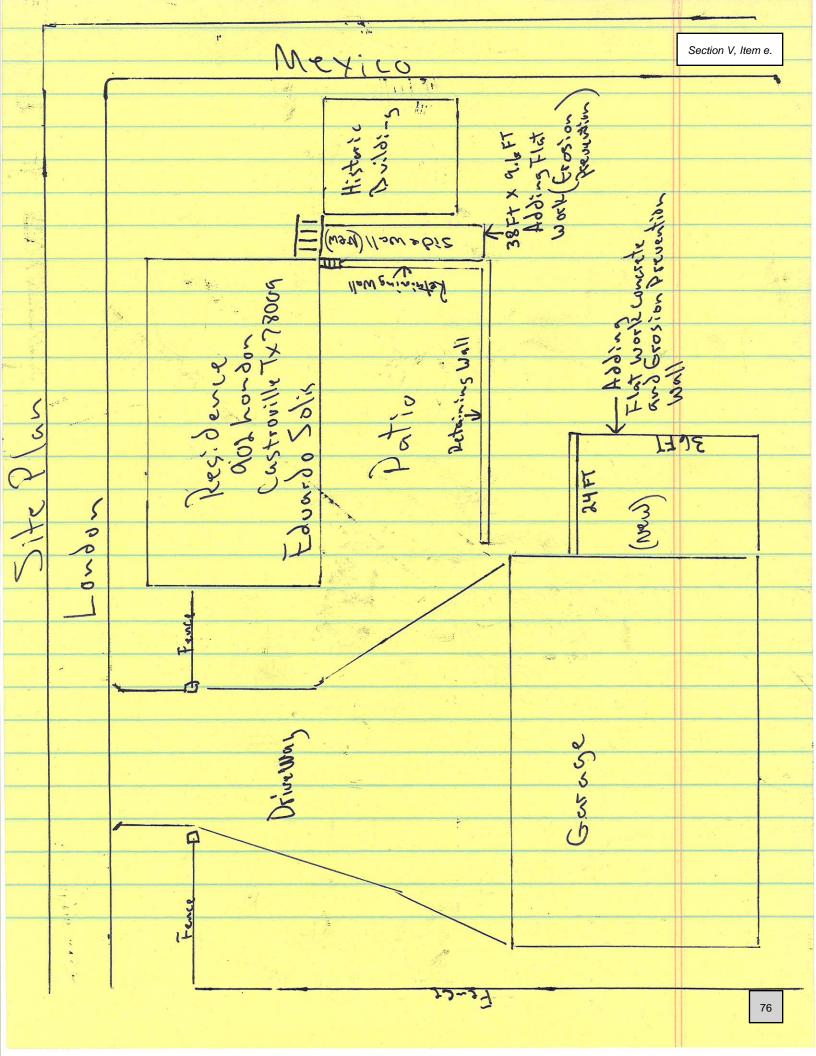
**Community Development Department** 

703 Paris St. Castroville, Tx 78009 (830) 931-4090

permits@castrovilletx.gov

### Certificate of Appropriateness Application

	Certificate of Appropriateness Application
Property Informa	ation
Project Address:	2002 Land ST Castraille 1x Zoning:
Legal Description:	Lot Block Range Subdivision
Landmark Name:	
Owner Information	on
Owner Name:	1 1 5 30.
Mailing Address:	2008 / 2016 Castsoville TX 28000
Phane: 334-12	Fax: Email: Potain solis@ Aol. Com
Project Descripti	ion
Adding	concrete to existing Patio and side
of Ga	= age to present erosion of the
F29929	
	)
A	
Any application that is	is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.
	of application requirements on the following page.
governing this type of pro Historic District and Land regulations found therein.	e read and examined this application and know the same to be true and correct. All provisions of laws and ordinance oject will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special dmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with a the granting of a Certificate of Appropriateness does not take the place of any required building permit and does not to violate or cancel the provisions of any other state or local law.
Signature of Applicant	Date: 12-1-25



#### 05 DECEMBER 2025 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

902 London Street, Castroville, TX 78009

December 14, 2025

Edward Solis 902 London Street Castroville, TX 78009 210-284-1225 edrainsolis@aol.com

RE: 902 London Street -Alteration

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	HE
THC 1969 Survey	X
THC 2002 Resource	
Other Historical Designation	

OTHER IMPORTANT INFORMATION				
Build Date				
Architectural Style				

Please provide a comment response letter with subsequent submittals.

#### COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements. Please submit the following items:



### ALTERATIONS

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com

### December 14, 2025 / Letter of Recommendation

Certificate of Appropriateness 902 London Street shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

#### GENERAL COMMENTS

 If the erosion prevention wall is designed to match the existing stone retaining walls on the property, the recommendation is approved. If it will not match, please provide additional details, including the proposed height and materials for the new erosion prevention wall near the garage.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

Section V, Item f.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Certificate of Appropriateness – 405 Paris Street

#### **Applicant**

San Antonio OMS PLLC

#### **Zoning / Historic Status**

• **Zoning:** Commercial General (CG) – Historic Overlay

• **Year Built:** ca. 2007

Historic Resource: THC 2002 Resource
 Architectural Style: Alsatian Influences

#### **Request**

The applicant is requesting a Certificate of Appropriateness (COA) for exterior alterations consisting of a proposed sign to be installed on the property located at 405 Paris Street.

#### **Review Summary**

The Historic Preservation Officer reviewed the application and plans for compliance with City Ordinance Nos. 2017-004 and 2017-005 and the Overlay Design Guidelines for Historic Properties. The application meets all Certificate of Appropriateness submission requirements.

Based on the review, the HPO determined that:

• The proposed sign is **consistent with the City of Castroville's Design Guidelines** and is recommended for approval.

Section V, Item f.

• The sign must also comply with the City's **Sign and Signage Ordinance**, which will be reviewed separately as part of the permitting process.

#### **Staff Recommendation**

Approve the Certificate of Appropriateness for 405 Paris Street, subject to compliance with the City's Sign and Signage Ordinance and the Historic Preservation Officer's Letter of Recommendation dated December 8, 2025.

#### **Recommended Motion**

I move to approve the Certificate of Appropriateness for 405 Paris Street, subject to compliance with the City's Sign and Signage Ordinance and as discussed.



Permit Number:

Submittal Date: 12/5/2025

office use only

Community Development Department

703 Paris St. Castroville, Tx 78009 (830) 931-4090

permits@castrovilletx.gov

**Property Information** 

Project Address: 140 F

Certificate of	<b>Appropriateness</b>	<b>Application</b>
----------------	------------------------	--------------------

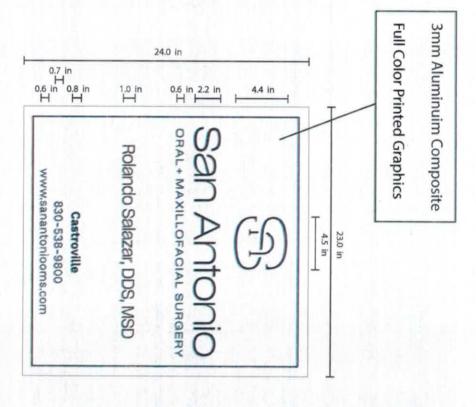
Zonina:

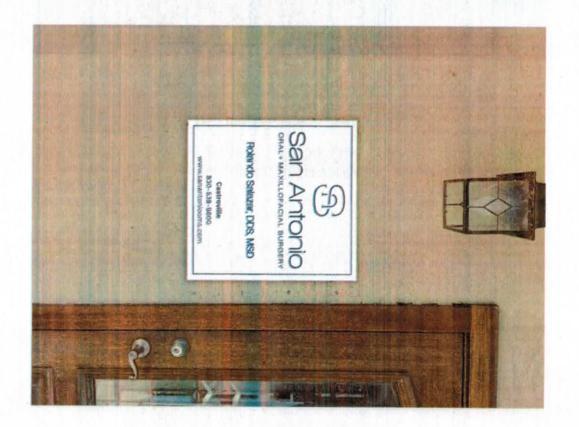
703 Paris St
Legal Description: Lot Z Block 4 Range 7 Subdivision
Landmark Name: MCB Paris Street Partners, UC
Owner Information
Owner Name: San Antonio OMS PLLC
Mailing Address: 405 Paris St Castrovile, TX 78009
Mailing Address: 405 Paris St Castrovile, TX 78009  Phone: 2106967500 Fax: 2106970748 Email: info G Sanantonio oms. com
Project Description
3 mm Aluminium Composite with Full color printed
3 mm Aluminium Composite with Full color printed graphics. Wall Sign, adhesive mounted.

Any application that is missing information will be considered incomplete and will not be processed. Please see the list of application requirements on the following page.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of project will be complied with whether specified or not. I certify that I have read Article IV, Section 2 (entitled "Special Historic District and Landmark Regulations") of the Comprehensive Zoning Ordinance of the City of Castroville and will comply with all regulations found therein. The granting of a Certificate of Appropriateness does not take the place of any required building permit and does not presume to give authority to violate or cancel the provisions of any other state or local law.

Signature of Applicant:	Alle	Date: /2	15	/25	





#### 08 DECEMBER 2025 / LETTER OF RECOMMENDATION

# Certificate of Appropriateness

405 Paris Street, Castroville, TX 78009

December 08, 2025

San Antonio OMS PLLC 405 Paris St Castroville, TX 78009 210.696.7500 info@sanantoniooms.com

RE: 405 Paris Street - Alteration Review

The above-referenced report and plans were reviewed by the City of Castroville's Historic Preservation Officer for compliance with the City Ordinance No. 2017-004, Ordinance No. 2017-005, Exhibit A, Article IV, Section 2, Subsection A "Special Historic District and Landmark Regulations" and the Castroville Zoning Ordinance Article IV, Section 2B, Overlay Design Guidelines for Historic Properties. We are providing the following comments based on a cursory review of the submittal; additional comments may be generated upon the resubmittal:

DESIGNATIONS	
Historic Zoning (HE/CG)	CG
THC 1969 Survey	
THC 2002 Resource	
Other Historical Designation	

other important information					
Build Date ca. 2007					
Architectural Style					
Alsatian Influences					

Please provide a comment response letter with subsequent submittals.

#### COA APPLICATION

Per Castroville City Ordinance No. 2017-005 Exhibit, A(VII)(3), the applicant <u>HAS</u> met all COA application requirements.



### <u>ALTERATIONS</u>

Per Castroville City Ordinance No. 2017-005 Exhibit, A(II)(1), alteration means any construction or change to the exterior of a building site, or structure. Alterations shall include, but not be limited to, the changing to a different type, style, or size of roofing or siding materials; changing, eliminating or adding doors, door frames, windows, window frames,

123 Parland Place, Suite 100 San Antonio, Texas 78209 210.549.2588 work5hop.com **08 December 2025 / Letter of Recommendation**Certificate of Appropriateness

405 Paris Street,

shutters, fences, railings, porches, columns, balconies, walls, steps, signs, or other ornamentation; the changing of paint color; regarding; dismantling, removing or moving of any exterior features or demolition. Alteration does not include routine maintenance.

Therefore, per Castroville City Ordinance No. 2017-005 Exhibit A(II)(22)(b), reconstruction, alteration, addition, stabilization, restoration or rehabilitation of a site or structure designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission. Also, per Castroville City Ordinance No. 2017-005 Exhibit A(VII)(4), material changes in any doors, roofs, windows, stonework, woodwork, light fixtures, signs, sidewalks, fences, steps, paving and/or other exterior elements visible from a public right-of-way which affect the appearance and compatibility of any structure or property designated or pending designation as a historic landmark or district shall be reviewed by the Historic Landmark Commission.

#### Alteration Comments

 The proposed sign is consistent with the City of Castroville's Design Guidelines and is therefore <u>recommended for approval.</u> Please note that the signage must also comply with the City's Sign and Signage Ordinance.

All submittals should be submitted to the City of Castroville. A comment response letter shall be provided. Please contact Breana Soto at <a href="mailto:breana.soto@castrovilletx.gov">breana.soto@castrovilletx.gov</a> if you have any further questions.

Regards,

Selina Angel | City of Castroville Historic Preservation Officer | Work5hop

84

Section V, Item g.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Timeline / Deadline for Completion of Approved Work

#### **Background**

Currently, when the Historic Landmark Commission (HLC) approves a Certificate of Appropriateness (COA), the approval does not include a defined deadline for completing the approved work. In practice, this has resulted in some projects remaining partially completed or delayed for extended periods of time, which may contribute to visual blight or uncertainty regarding the status of approved improvements.

Commission members have expressed interest in discussing whether a formal timeline or expiration period should be established for approved work. Other cities address this issue by setting a deadline after which a COA or permit becomes void if work has not commenced or if reasonable progress is not demonstrated, requiring the property owner to reapply.

It was noted during prior discussion that, under the current framework, enforcement options are limited as long as some level of progress is occurring.

#### Discussion

Key discussion points for the Commission may include:

- Whether establishing a standard timeframe for completing approved work would be beneficial.
- How "reasonable progress" could be defined, if at all.
- Whether a COA expiration or reapplication requirement would be appropriate.
- How such a policy would align with existing City permitting processes.

Because any enforceable timeline may have legal and procedural implications, staff recommends consulting with the City Attorney before drafting or implementing any policy changes.

#### Recommendation

No action is requested at this time. Staff recommends:

Discussion by the Commission.

Section V, Item g.

Direction on whether staff should consult with the City Attorney and return with options or urant language for consideration.

Section V, Item h.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Tracking Projects for Compliance with Approved Plans

#### **Background**

Ensuring that work completed under an approved Certificate of Appropriateness (COA) aligns with the plans reviewed by the Historic Landmark Commission is an important part of historic preservation. At this time, the Building Inspection Department is responsible for periodically inspecting projects for general code compliance and consistency with approved plans.

The Commission has expressed interest in discussing whether additional tracking or oversight mechanisms could be explored to ensure compliance with approved historic plans, particularly for visible exterior improvements.

Per the City's current code provisions, the Historic Preservation Officer's role does not include ongoing project monitoring or inspection authority. As a result, any alternative approach—such as the creation of a subcommittee or task force—would need to be carefully evaluated for consistency with the City's ordinances and legal framework.

#### **Discussion**

Potential discussion topics include:

- The limitations of the current compliance and inspection process.
- Whether a Commission subcommittee or advisory role could assist with tracking projects.
- Coordination between the HLC and Building Inspection Department.
- Legal considerations related to oversight and enforcement authority.

Staff recommends that any changes to roles or responsibilities be reviewed with the City Attorney prior to implementation.

#### Recommendation

No action is requested at this time. Staff recommends:

Section V, Item h.

- Discussion by the Commission.
- Direction on whether staff should seek legal guidance and return with feasible options for enhanced tracking or coordination.

Section V, Item i.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Updating the Historic Design Guidelines

#### **Background**

The City's historic design guidelines serve as an important reference for property owners, applicants, and the Historic Landmark Commission when reviewing proposed work within historic districts or on landmark properties. Over time, these guidelines have become outdated and may no longer reflect current best practices, architectural understanding, or community goals.

The Commission has expressed interest in discussing a comprehensive update to the design guidelines, including the possibility of holding a workshop with staff to identify needed revisions and areas for improvement.

Updating the design guidelines would be a significant effort requiring Historic Preservation Officer (HPO) time, potential consultant assistance, and ultimately City Council approval. Funding would also need to be identified as part of this process.

#### Discussion

Discussion topics may include:

- Areas of the design guidelines that are outdated or unclear.
- Whether a workshop format would be beneficial to guide updates.
- The relationship between updated guidelines and other preservation topics, such as noncontributing properties.
- The level of effort, timeline, and resources required for a comprehensive update.

Staff can prepare a preliminary cost estimate and project scope if the Commission wishes to move forward.

#### Recommendation

No action is requested at this time. Staff recommends:

Section V, Item i.

- Discussion by the Commission.
- Direction on whether staff should prepare a cost estimate and outline next steps for City Council consideration.

Section V, Item j.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Noncontributing Properties Within Historic Districts (50+ Years Old)

#### **Background**

Within historic districts, some properties are currently classified as noncontributing due to alterations, age at the time of designation, or lack of historic integrity. Over time, some of these properties have reached or exceeded 50 years of age, raising questions about how they should be evaluated moving forward.

The Commission has requested guidance on how to approach noncontributing properties that are now over 50 years old, including how architectural styles, construction periods, and historic context may affect future consideration.

#### **Discussion**

Staff proposes providing an educational overview to assist the Commission, including:

- General criteria used to evaluate contributing versus noncontributing status.
- Common architectural styles and features associated with relevant time periods.
- How integrity, context, and design guidelines factor into evaluation.
- How this topic may relate to a future update of the City's design guidelines.

Staff can prepare a brief PowerPoint presentation to support this discussion and provide consistent reference material for the Commission.

#### Recommendation

No action is requested at this time. Staff recommends:

- Discussion by the Commission.
- Direction on whether staff should prepare the proposed educational presentation for a future meeting.

# THE COMMINIST ISSUES 2025

Notice of

violation sent

04/15/2025

Citation Issued -

5/5/2025 (No

show to court)

No improvements have been made

been cleaning the property.

Went to court on the 9th and showed that he has

Code compliance reached out to owner. He has

replace. Also mowed the grass and was tora to fix the shutters. Pulled permit to repair the electric.

recently taken down the pickets to repage

HLC COIVIPLIANCE 155UE5 2U25 Section V, Item k.						ZUZ5 Section V, Item k.	
IMAGE	ADDRESS	ISSUE	1ST NOTICE	2ND NOTICE	3RD NOTICE	4TH NOTICE	NOTES
	1401 ISABELLA	TRASH/JUNK NOT PICKED UP. HISTORIC HOME POSSIBLE CONDEMN. DOG TIED UP TOO SHORT.					Code enforcement deemed there are no active code violations. Code enforcement reached out to them about possibly getting them to remodel, but got no response.
	501 LONDON	TRASH & CONSTRUCTION MATERIALS NOT TO CODE. PICTURE WINDOWS NOT TO CODE AND NOT APPROVED IN CA.		Citation issued March 12, 2025.	Court date - 05/15/2025		The bank now owns the property. Will discuss reaching out to the bank about the current code violations on the windows. The bank has put out a dumpster to start clean up.
	1715 NAPLES	DID NOT BUILDING GARAGE ACCORDING TO C OF A.	Door hanger - 2/26/2024	Notice of Violation sent 3/15/2024. Have a month to	Filed in municipal court in May 20, 2024		Date still needs to be reset.

HOME IS IN DISREPAIR.

JUNK AND DEBRIS

HOME IS IN DISREPAIR.

714 LISBON

713 Lisbon

307 London

Section V, Item I.



### **Agenda Report**

**Agenda of:** December 17, 2025

**Department:** Community Development Department

**Subject:** Setting a Date for a Joint Workshop with City Council

#### **Background**

A joint workshop between the Historic Landmark Commission and City Council would provide an opportunity to discuss preservation priorities, design guidelines, code issues, and long-range planning initiatives related to historic resources.

The Commission has expressed interest in coordinating such a workshop to ensure alignment with City Council goals and to provide policy-level guidance on future preservation efforts.

#### **Discussion**

The Commission may discuss:

- Desired topics for a joint workshop.
- Timing and availability of Commission members and City Council.
- Whether the workshop should be informational or include policy direction.

#### **Staff Recommendation**

Staff recommends that the Commission discuss and select a preferred date or date range for a joint workshop, with staff coordinating logistics and confirmation with City Council.