



City Council Work Session

Crest Hill, IL

March 31, 2025

7:00 PM

Council Chambers

20600 City Center Boulevard, Crest Hill, IL 60403

Agenda

1. Consideration of Case Number PUD-25-1-3-1 of Lockport Township Fire Protection District seeking Approval of Various Zoning Ordinance Text Amendments, Special Use Permits, Preliminary and Final Planned Unit Development (PUD) Plans, and Miscellaneous PUD Exceptions, in M-1 Limited Manufacturing District zoned, site located along the south side of Division Street west of Broadway Street and east of Weber Road in Crest Hill, Illinois.
2. Public Comments
3. Mayor's Updates
4. Committee/Liaison Updates
5. City Administrator Updates

The Agenda for each regular meeting and special meeting (except a meeting held in the event of a bona fide emergency, rescheduled regular meeting, or any reconvened meeting) shall be posted at the City Hall and at the location where the meeting is to be held at least forty-eight (48) hours in advance of the holding of the meeting. The City Council shall also post on its website the agenda for any regular or special meetings. The City Council may modify its agenda for any regular or special meetings. The City Council may modify its agenda before or at the meeting for which public notice is given, provided that, in no event may the City Council act upon any matters which are not posted on the agenda at least forty-eight (48) hours in advance of the time for the holding of the meeting.



City Council Work Session Agenda Memo

Crest Hill, IL

Meeting Date: March 31, 2025

Submitter: Community and Economic Development Director Patrick Ainsworth
Community and Economic Development Consultant Ron Mentzer

Department: Community Development

Agenda Item: Plan Commission recommendation on Lockport Township Fire Protection District Application for Various Zoning Ordinance Text Amendments, Special Use Permits, Preliminary and Final Planned Unit Development (PUD) Plans, and Miscellaneous PUD Exceptions – Crest Hill Plan Commission Case # PUD-25-1-3-1

Summary

The Lockport Fire Protection District (LTFPD) is requesting approval of numerous Zoning Ordinance (Z.O.) text amendments, special use permits, preliminary and final PUD plans, and miscellaneous PUD exceptions that together would allow the construction and operation of a new state-of-the-art, multi-building, public safety training and maintenance facility with outdoor training grounds and an accessory outdoor firing range (collectively the “Training and Maintenance Complex”). The 12.86-acre vacant, M-1 Limited Manufacturing District zoned, site is situated along the south side of Division Street (the “Subject Property”). The Training and Maintenance Complex has been designed to provide realistic, best-in-class training opportunities for local first responders and enhance emergency response efforts between local fire and law enforcement agencies. Per Chapter 10 of the Z.O., the size and scope of this project mandates it be processed as a Planned Unit Development (PUD).

The following key components of the application materials submitted for this project have been attached for review and reference:

1. Overall Preliminary and Final PUD Site Development Plan - Exhibit A.
2. Project Summary – Exhibit B.
3. Building Elevation Renderings for Primary Training and Maintenance Building -Exhibit C
4. Site Elements and Building Descriptions – Exhibit D
5. Soundscape Engineering Noise Transmission Assessment of FPD Training Grounds – Exhibit E.

A digital copy of the LTFPD’s complete application package can be reviewed on the City’s website at the following link: <https://mccmeetings.blob.core.usgovcloudapi.net/cresthill-pubu/MEET-Packet-ef16f406ea634bd7bfdc28e94422e96b.pdf>. Paper copies of specific component of these application materials will be provided by the Community Development Department upon request.

Plan Commission Recommendations

The Plan Commission conducted a formal public hearing and recommended approval of the various special zoning approvals requested and required for this project at its March 13, 2025, meeting. A copy of the Findings of Fact for the Plan Commission's recommendations is attached for reference as Exhibit F. The draft minutes for this meeting are attached for reference as Exhibit G. A copy of the court reporter transcript of the testimony provided at this public hearing is attached for reference as Exhibit H. The video recording of this meeting can be reviewed at the following link: <https://www.youtube.com/watch?v=NP9eH7a0NjA>

The specific recommendations passed by the Plan Commission include:

1. Recommend City Council **approval** of the requested waiver of the various Preliminary/Final PUD Application Submission Requirements outlined in the March 13, 2025, Plan Commission Staff Report for this case (passed by a vote of 7-0).
2. Recommend City Council **approval** of the requested Zoning Ordinance text amendments outlined in the March 13, 2025, Plan Commission Staff Report for this case (passed by a vote of 7-0).
3. Recommend City Council **conditional approval** of the various Special Use Permits and Planned Unit Development Exceptions outlined in the March 13, 2025, Plan Commission Staff Report and the March 13, 2025, Staff Report Addendum for this case and with the additional condition that the location of the proposed firing range sound attenuation wall be adjusted as outlined in the March 11, 2025, Noise Transition Assessment study prepared by Soundscape Engineering (passed by a vote of 6-1).

The March 13, 2025, Plan Commission Staff Report and the March 13, 2025, Plan Commission Staff Report Addendum summarize the various components of the Training Complex, outline the various special zoning related approvals the LTFPD has requested for the project, and document staff's recommendations on those requests. Copies of these two reports have been attached for review and reference as Exhibits I and J. The conditions attached to the Plan Commission's recommendation on the requested Special Use Permits for this project are consistent with the conditions outlined on pages 11-13 of the March 13, 2025, Plan Commission Staff Report.

Recommended Firing Range Special Use Conditions

Attached Exhibit K provides a comprehensive summary of the conditions staff and the Plan Commission recommend be attached to any City Council approval of a special use permit for the firing range component of the project. It is important to note that one of the recommended conditions (condition 5 on Exhibit K) requires the City Council to establish the maximum number of night shooting trainings allowed each calendar month. LTFPD has requested a maximum of 4 night shooting training events be allowed each month during the spring, summer, and fall. It would be appropriate for the City Council to provide clear direction on this detail at the March 13, 2025, Work Session so it can be accurately reflected in the approval Ordinance the City Attorney prepares for this project.

Council Action Requested: Direct staff and the City Attorney to prepare an ordinance that would memorialize the following special zoning approvals for the Lockport Fire Protection District's Training and Maintenance Complex:

1. Waiver of the various Preliminary/Final PUD Application Submission Requirements
2. Various Zoning Ordinance text amendments involving outdoor accessory governmental firing ranges
3. Conditional approval of the various special use permits required to construct and operate the Training and Maintenance Complex

Funding Source: N/A

Budgeted Amount: N/A

Attachments:

- Exhibit A: Overall Preliminary and Final PUD Site Development Plan
- Exhibit B: Project Summary
- Exhibit C: Building Elevation Renderings for Primary Training and Maintenance Building
- Exhibit D: Site Elements and Building Descriptions
- Exhibit E: Soundscape Engineering Noise Transmission Assessment of FPD Training Grounds
- Exhibit F: Plan Commission Recommendation Findings of Fact
- Exhibit G: Draft March 13, 2025, Plan Commission Meeting Minutes
- Exhibit H: March 13, 2025, Plan Commission Public Hearing Transcript
- Exhibit I: March 13, 2025, Plan Commission Staff Report
- Exhibit J: March 13, 2025, Plan Commission Staff Report Addendum
- Exhibit K: Recommended Firing Range Special Use Permit Conditions



LOCATION MAP SCALE: 1"=2000'

CONTACT INFORMATION

ENGINEER:
PINNACLE ENGINEERING GROUP, LLC
BRIAN JOHNSON, PE, CPESC
1051 E MAIN STREET, SUITE 217
EAST DUNDEE, IL 60118

PROPERTY OWNER:
LOCKPORT TOWNSHIP FIRE
PROTECTION DISTRICT
19623 W. RENWICK ROAD
LOCKPORT, IL 60441

LEGEND

CONCRETE PAVEMENT

- 8" PORTLAND CEMENT CONCRETE
MINIMUM 4000 PSI AT 14 DAYS
- 6" COMP. CA-6 AGGREGATE BASE COURSE
TYPE B


***PAVEMENT SECTION SHALL BE PER GEOT.
ENGINEER'S RECOMMENDATION OR PER OWN.
SPECIFICATION***

SIDEWALK

















































- 5" PORTLAND CEMENT CONCRETE
- 4" COMPACTED CA-6 AGGREGATE BASE
COURSE, TYPE B

GRAVEL

- 12" CA-6 COMPACTED AGGREGATE

	6" BARRIER CURB
	B-6.12 CURB & GUTTER
	DEPRESSED B-6.12 CURB & GUTTER
	PARKING STALL COUNT (NOT TO BE PAINTED)

UTILITY LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
INLET		
PRECAST FLARED END SECTION		
CONCRETE HEADWALL		
VALVE VAULT		
VALVE BOX		
FIRE HYDRANT		
BUFFALO BOX		
CLEANOUT		
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
DRAIN TILE		
WATER MAIN		
LIGHTING		
ELECTRICAL CABLE		
ELECTRICAL TRANSFORMER OR PEDESTAL		
POWER POLE		
GUY WIRE		
STREET SIGN		
GAS MAIN		
TELEPHONE		

SITE DATA

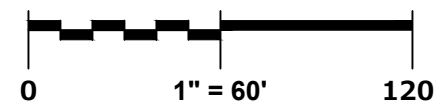
TOTAL PROPERTY AREA:	560,000 SF (12.86 ACRES)
APPARENT ROW	
MONUMENTED & OCCUPIED:	0.40 ACRES
DEVELOPED AREA:	12.46 ACRES
PIN:	11-04-29-200-009-0000
EXISTING ZONING: M1 - LIMITED MANUFACTURING DISTRICT	
TRAINING MAINTENANCE FACILITY	
FLOOR AREA:	23,070 SF
CONCRETE PAD:	5,452 SF
MAIN BURN TOWER:	2,678 SF
FAR:	0.056
OUTDOOR FIRING RANGE:	24,720 SF
LOT COVERAGE:	245,162 SF (43.8%)
TOTAL FRONT YARD AREA:	49,143 SF
IMPERVIOUS (FRONT YARD):	11,814 SF (76.0%)
LANDSCAPING (FRONT YARD):	37,329 (24.0%)
REQUIRED PARKING:	
TRAINING FACILITY:	2 SPACES / 3 EMPLOYEES = 38 SPACES
(TRADE SCHOOL)	1 SPACE / 4 STUDENTS = 4 SPACES
TRAINING FACILITY:	1 SPACE / EMPLOYEE = 6 SPACES
(WAREHOUSE)	1 SPACE / VEHICLE = 12 SPACES
TOTAL REQUIRED:	60 SPACES
PROVIDED PARKING:	
FAR:	159 STALLS (INCLUDING 6 ADA SPACES)
TRUCK:	10 STALLS

LANDSCAPING NOTE

- NO TREES ARE BEING PRESERVED ON THE SUBJECT SITE DUE TO LACK OF EXISTING TREE VEGETATION ON SITE



GRAPHICAL SCALE (FEET)



**LOCKPORT TOWNSHIP FPD
TRAINING & MAINTENANCE FACILITY
CREST HILL, ILLINOIS**

REVISIONS

1	PUD RESUBMITTAL	01/10/25			
2	PUD PRELIM AND FINAL	02/13/25			

PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT PLAN

REG JOB No. **5219.10-1L**
 REG PM **DAT**
 START DATE **08-05-24**
 SCALE **1"=60'**

SHEET
1
 OF
1

PART 2

PROJECT SUMMARY

The Lockport Township Fire Protection District (FPD) seeks approval of Special Use Permits for a Planned Unit Development (PUD) in the form of an Institutional Use with an accessory firing range on a 12.86-acre parcel located in the City of Crest Hill. The property was donated to the FPD by the State of Illinois with the intent of creating a centrally located training facility for the fire district. This development will provide a unique center that supports both practical and classroom training for fire and law enforcement agencies. These training experiences will improve the agencies' ability to respond to emergency situations within Lockport Township and beyond.

The project site is located on the south side of Division Street, adjacent to the Statesville Correctional Facility. The property is currently farmed but is zoned M-1 Light Manufacturing. It is bordered on the east, south, and west by the Department of Corrections, which is also zoned M-1. To the north, across Division Street, lies the Will County Forest Preserve. The nearest residential district is approximately 1,600 feet to the northwest, while the furthest is approximately 6,700 feet to the south. Two governmental outdoor firing ranges are located to the east of the project site, within one mile. One is operated by the Illinois State Police and the other is operated by the Department of Corrections. The direction of fire at both of these ranges is to the west and northwest, while the proposed range is to the south. The intent of this new range is to offload the impact at the other ranges and reduce overall noise from firing ranges within the community.

The proposed training grounds are designed for regional use, focusing solely on public safety, with the potential for collaboration between fire and law enforcement in training and coordination. As the training requirements for both fire services and law enforcement continue to grow, providing these facilities will enable the District and participating departments to meet—and potentially exceed—these needs through consistent, realistic training. This facility, being centrally located within the Fire District, will also help reduce overtime and out-of-service training costs, allowing the District to remain fiscally responsible while maintaining high-quality response services. The communities within the District, with the City of Crest Hill at its center, will greatly benefit from the establishment of these training grounds.

The following are key reasons for the importance of this centrally located training facility:

- **Improved Response Times for Training:** A centrally located facility ensures fire companies can remain in-service and return to their assigned stations quickly, maintaining district-wide emergency readiness.
- **Standardized Training Across the District** – A single, well-equipped facility provides a consistent training environment for all firefighters, ensuring that personnel across different stations receive uniform instruction and practice the same procedures.
- **Enhanced Hands-on-Experience** - A dedicated training facility allows firefighters to practice real-life scenarios in controlled settings, including live fire exercises, search-and-rescue drills, hazardous material responses, and water rescue improving their skills and preparedness.

- **Increased Safety and Efficiency** – Firefighting is a high-risk profession, and a specialized training facility provides a safe environment to learn and refine techniques before facing real emergencies. This reduces the likelihood of injuries and operational errors in the field.
- **Cost-Effective Training Solution** – Instead of relying on multiple locations or external training programs, a centralized facility offers a long-term cost savings by providing in-house training resources, reducing expenses associated with outsourcing and travel.
- **Supports Continuous Learning and Certification** – A dedicated training facility ensures that firefighters can regularly update their skills, meet certification requirements, and adapt to new firefighting techniques and equipment advancements.
- **Facilitates Joint Training with Other Agencies** – A central facility allows for collaboration with neighboring fire departments, law enforcement, EMS, and other emergency response teams, enhancing interagency coordination during large-scale incidents.
- **Improved ISO Score** – Currently an ISO level 2, Lockport Fire has not been able to capture any “Facility points” which are necessary to reach an ISO level 1. This certification can offer several advantages to both homeowners and businesses in the Fire District. This training center would meet the “Facility” criteria to maximize on all training points for the higher score.
- **Back-Up EOC for WCEMA** – In the event of an emergency or natural disaster, this facility will be equipped to operate as a back-up EOC (Emergency Operations Center) for the Will County Emergency Management Agency.
- **Improved Department Operations** – Moving emergency vehicle maintenance to a dedicated facility allows for the FD to move all specialized equipment/ vehicles to Station #6 which is the center of the district and has the most staffing. This allows for reduced response times throughout the fire district for water rescue, technical rescue, hazardous materials, search and rescue type emergencies as well as fire investigations.

Overall, a centrally located fire department training facility strengthens the district’s emergency preparedness, enhances firefighter skills, and ultimately improves public safety by ensuring that first responders are well-trained and ready for any situation.

Project Development Components

The project will include three primary elements:

1. **Training and Maintenance Building**
2. **Training Grounds**
3. **Outdoor Firing Range**

Descriptions of each component are as follows. Please refer to section “Site Elements and Buildings Description” within the project narrative for additional detailed information.

1. **Training/Maintenance Facility (Building 1)**

The Training/Maintenance Facility will be located on the northwest corner of the property. The single-story building will be approximately 24,240 square feet. Approximately half of the building will be dedicated for classroom training while the other half will be dedicated for emergency vehicle maintenance operations.

Classroom education plays a vital role in training programs. Training requirements will include week-long classes held multiple times a year, ensuring efficient use of this facility. Expanding the classroom's availability to other departments will foster inter-governmental communication and encourage the exchange of ideas. Additionally, training events will attract visitors to the City of Crest Hill, supporting local businesses such as restaurants and shops. The classroom area of the building will feature three classrooms, each with a capacity of 50 people.

Fire protection district personnel and other public safety departments will use these spaces for training sessions. Classroom training will take place typically 3 days per week and may run from 9:00 a.m. to 4:00 p.m. Each session may include one to two fire companies and have a maximum of 10-15 people per session (including trainers). EMS training will usually take place one day per week, and their hours of operation and number of participants will be similar to the practical training sessions.

Based on the anticipated load, a typical week will see approximately 10-15 vehicles entering and exiting the site four days per week.

The District will move the maintenance operations to the new facility, which will free up space at Station 6. The maintenance side of the building will include a total of 12 bays (6 double bays). 4 bays will be used for maintenance operations, while 8 bays will be used for reserve vehicles, including ladder trucks, engines, ambulances and other emergency response vehicles. The maintenance department typically services one vehicle on a daily basis, so the anticipated traffic load is minimal.

It is anticipated that the facility will host one to two special events per year, with attendance ranging from 100-150 people. The owner will implement strategies to ensure the safe exit of vehicles onto Division Street following these events.

2. Training Grounds

Realistic physical training is a critical element for public safety. Having training grounds centralized within the District allows training to occur more frequently while keeping staff in service for emergency response. The proposed grounds have some fixed functions that the Fire Service immediately will utilize, but training evolves and the grounds have multiple areas that will be available for future props and events based upon current needs and regulations.

The outdoor practical training will occur on the same days as classroom training as noted above. Participants will either be in the classroom OR out on the training grounds. Therefore, this will not add to the daily traffic load.

Specialty team training will take place monthly from 8:00 a.m. to 12:00 p.m., with a maximum of 30 participants, including trainers.

- A. Burn Tower: A fire department training burn tower is a critical component of firefighter training, providing a controlled environment for realistic, hands-on experience in fire suppression, search and rescue, and emergency response. A multi-story burn training tower

is a requirement for the District to meet mandated requirements with regulation ranking improvements (for example, improving their ISO ratings). The following include the importance of a burn tower and how it is used:

- **Realistic Live Fire Training** – Firefighters will experience live fire conditions in a controlled setting, preparing them for real-world emergencies while minimizing risk.
- **Improved Fire Suppression Techniques** – Firefighters can practice extinguishing fires in various scenarios, learning how fire behaves in different structures and improving their hose handling and attack strategies.
- **Enhanced Search and Rescue Skills** – The tower can be used for search-and-rescue drills in smoke-filled environments, helping firefighters develop essential skills to locate and evacuate victims under challenging conditions.
- **Tactical Ventilation Training** – Firefighters can practice proper ventilation techniques, including roof and window ventilation, to control fire spread and improve visibility during real emergencies. These ventilation techniques ensure firefighters can effectively release heat and smoke, improving safety and fire control.
- **Safe Exposure to Heat and Smoke Conditions** – Training in a burn tower helps firefighters acclimate to high-heat and low-visibility environments, teaching them to maintain composure and effectiveness under pressure.
- **Multi-Story Training Scenarios** – Since many burn towers are multi-level, they simulate fires in apartment buildings, commercial structures, and industrial settings, providing varied and adaptable training. Firefighters can practice ladder rescues, rappelling, and high-angle rescue techniques for multi-story buildings.
- **Incident Command and Team Coordination** – Fire departments can use the burn tower for large-scale drills that involve incident command training, teamwork, and communication strategies critical for real emergency responses.
- **Forcible Entry Exercises** – Firefighters practice breaking through doors, windows, and barriers commonly encountered in burning buildings.
- **Hazardous Materials and Confined Space Training** – Some burn towers are designed to incorporate hazardous materials and confined space rescue training for specialized response scenarios.
- **Multi-Agency Training** – Burn towers provide an opportunity for joint exercises with law enforcement, EMS, and other emergency responders to improve coordination during large-scale incidents.

A fire department training burn tower is an essential tool for firefighter preparedness, offering realistic and diverse training scenarios that improve response capabilities and safety. By providing hands-on experience in fire suppression, search and rescue, and tactical operations, burn towers help ensure firefighters are well-equipped to handle real emergencies effectively.

- B. **Outdoor Tower Training Classroom with Storage:** A dirty classroom is a designated training area within a fire department training facility designed for hands-on, practical exercises that involve the use of firefighting tools, equipment, and techniques in a controlled environment. Unlike a traditional classroom, this space is built to withstand dirt, debris, water, smoke and

physical impact, allowing firefighters to train in realistic conditions without damaging clean indoor spaces.

Key characteristics of a Dirty Classroom:

- Durable and Impact-Resistant Construction – Floors and walls are designed to withstand heavy use, soot, water, and rough handling of tools and gear
- Multi-Purpose Training Environment – Used for skills training such as hose handling, SCBA drills, search and rescue techniques, forcible entry, extrication simulations, and ventilation exercises
- Equipped for Tool Use – Allow firefighters to work with hydraulic tools, saws, ladders, axes, and other firefighting equipment
- Wash and Decontamination Stations – Provides facilities to clean gear and personnel after training sessions involving hazardous materials or contaminants
- Ventilated and Open Space – Designed to accommodate smoke, dust, and airborne particles during training exercises
- Safe and Controlled Setting – Provides a structured environment for realistic drills while minimizing risks associated with uncontrolled outdoor training

Purpose and Benefits:

- Enables practical, hands-on skill development
- Bridges the gap between classroom theory and field applications
- Enhance firefighter familiarity with tools and techniques in a safe yet realistic environment
- Reduces damage to clean training spaces while allowing for messy or high-impact exercises

- C. Training pond (also serving as stormwater detention): Having an available body of water is an essential training resource for a fire department water rescue team, allowing first responders to develop the skills necessary to perform rescues in lakes, rivers, ponds, and floodwaters. Practical, hands-on training in real aquatic environments ensures that firefighters and rescue personnel are fully prepared for water-related emergencies. This resource provides the following advantages:
- **Realistic Training Conditions** – Practicing in an actual body of water simulates real-life rescue scenarios, including varying currents, depths, and visibility conditions.
 - **Hands-On Swift Water and Flood Training** – Training in natural or controlled water conditions prepares rescuers for emergencies such as flash floods, river rescues, and watercraft accidents. Training on rescuing conscious and unconscious victims using throw bags, reach tools, and personal flotation devices as well coordinated practice our underwater ROV (remotely operated vehicles)
 - **Improved Victim Recovery Techniques** – Water rescues require specialized search and recovery methods, including surface and underwater searches, which can be efficiently practiced in a real aquatic environment.
 - **Boat Operations and Navigation** – A body of water allows for hands-on training with rescue boats, jet skis, and other watercraft, ensuring rescuers can maneuver efficiently in different water conditions



- **Ice Rescue Preparedness** – In colder climates, having a body of water for winter training helps firefighters practice ice rescues, including self-rescue victim extrication, and proper use of ice rescue suits.
- **Diver and Underwater Rescue Training** – If the department has a dive team, a training water body is essential for teaching proper diving techniques, underwater search patterns, and victim recovery.
- **Adaptation to Low Visibility and Challenging Environments** – Natural bodies of water often have unpredictable conditions, helping rescuers learn to navigate murky water, debris, and other hazards they may face in real rescues.

Having a body of water for fire department water rescue training is crucial for preparing rescuers to handle diverse aquatic emergencies safely and effectively. Whether performing surface rescues, navigating floodwaters, or executing ice and dive rescues, practical experience in real water conditions ensures that firefighters and rescue teams can respond quickly and efficiently.

- D. **Vehicle Extrication Training Area:** A dedicated outdoor area for vehicle extrication training is crucial for fire departments to ensure firefighters and rescue personnel are well-prepared to handle motor vehicle accidents and other entrapment emergencies. It provides a safe, realistic, and controlled environments where teams can develop their skills and refine techniques, ultimately leading to more efficient rescues and better patient outcomes. Benefits of an extrication training area include:

- **Realistic Training Scenarios** – Firefighters can practice extricating victims from damaged vehicles in a setting that closely mimics real-life crash scenes, including overturned vehicles, multi-car collisions, and confined spaces.
- **Hands-On Tool Proficiency** – Training in an outdoor area allows firefighters to use hydraulic rescue tools (Jaws of Life), cutting equipment, spreaders, and stabilizing devices in realistic conditions, improving their speed and effectiveness.
- **Safe and Controlled Learning Environment** – Unlike practicing in an uncontrolled or ad-hoc location, a dedicated area ensures a safe space for training without interfering with emergency operations or public areas.
- **Multi-Vehicle and Complex Scenario Training** – Firefighters can practice advanced extrication techniques involving multiple vehicles, trucks, buses, and even motorcycles to prepare for a variety of accident situations.
- **Time-Critical Skill Development** – Vehicle extrication often involves victims in critical condition. Regular training in a dedicated space helps firefighters refine their skills to work efficiently under pressure, reducing extrication time and improving patient survival rates.
- **Stabilization and Safety Techniques** – Extrication is not just about cutting; stabilizing vehicles and ensuring the safety of victims and rescuers is essential. A designated outdoor area allows for proper training in cribbing, strut placement, and airbag deployments.

- **Exposure to Changing Environmental Conditions** – Practicing extrication outdoors allows firefighters to train in various weather conditions (rain, heat, snow), preparing them for real-world emergencies that may occur in similar environments.
 - **Collaboration with Other Emergency Services** – A dedicated extrication training area allows for joint drills with EMS, law enforcement, and towing companies, ensuring seamless coordination during actual rescues.
 - **Debriefing and Continuous Improvement** – A set training area provides a space for post-exercise debriefing, reviewing techniques, and improving strategies based on real-time performance evaluations.
- E. K-9 Training: The districts highly trained K9's play a vital role in locating missing people, disaster victims, and trapped individuals. A specialized training space ensures they develop and maintain the skills needed for effective deployments in real emergencies. A dedicated open area for K9 training allows:
- **Realistic Search and Rescue Scenarios** – A training area allows SAR dogs to practice searching for victims in different environments, such as collapsed structures, wooded areas, and open fields, mimicking real-world emergencies.
 - **Consistent and Controlled Training** – Regular training in a designated space ensures K9s and their handlers maintain peak performance, improving their ability to locate victims quickly and accurately.
 - **Enhances K9 Scent Detection Abilities** – Search dogs rely on scent tracking to find missing persons. A training area with various scent sources, obstacles, and hiding places helps reinforce their ability to differentiate between human scents in diverse conditions.
 - **Adaptation to Various Terrains** – A well-designed K9 training area includes confined spaces, water features, and forested sections to prepare the dog for different search environments.
 - **Improved Agility and Endurance** – Search and rescue work requires K9s to navigate through unstable surfaces, climb obstacles, and maneuver in tight spaces. A training area with agility equipment like tunnels, ladders, and balance beams enhances their physical fitness and confidence.
 - **Strengthens Handler-K9 Communication** – Training in a controlled environment allows handlers to practice giving commands, interpreting K9 behavior, and working as an effective team in high-stress situations.
 - **Emergency Preparedness for Large-Scale Incidents** – A well-trained SAR K9 is a valuable asset in disasters like building collapses, floods, and wilderness rescues. A dedicated training area ensures they are ready for rapid deployment in real emergencies.

A dedicated K9 training area is crucial for maintaining the effectiveness of a fire department's search and rescue dog team. By providing a safe and realistic environment to refine scent detection, agility, and teamwork, SAR K9s can perform at their highest level when lives are at stake. Investing in proper training infrastructure ensures these invaluable dogs remain mission-ready for any emergency.

F. **Miscellaneous Open Space:** Maintaining open space on fire department training grounds is a strategic investment that allows for growth, adaptability, and enhanced training opportunities. Fire service needs evolve over time, and having flexible, unused land ensures that training facilities can expand and adapt to meet future demands. Advantages include:

- **Room for Facility Expansion** – Open space provides the opportunity to add new training structures as training needs grow.
- **Adaptability to New Training Methods** – Firefighting tactics, equipment, and safety regulations change over time. Open space allows the department to adjust training grounds to accommodate modern techniques and evolving fire service standards.
- **Multi-Disciplinary Training Areas** – As fire departments take on more specialized roles (hazmat, technical rescue, urban search and rescue, wildland firefighting), an open area can be developed to provide diverse, scenario-based training exercises.
- **Large-Scale Incident Simulations** – Open space allows for mass casualty drills, disaster response training, and multi-agency exercises involving fire, EMS, police, and other emergency services.
- **Vehicle and Apparatus Training** – A designated open area can be used for emergency vehicle operations (EVOC), pump operations, and aerial ladder placement drills, ensuring firefighters are skilled in maneuvering fire apparatus in various conditions.
- **Outdoor Practical Training** – Open space can be utilized for hose deployment drills, water supply operations, and large-diameter hose evolutions, which require extensive space to simulate real-world conditions.
- **Future Technology Integration** – As new technologies such as virtual reality (VR) training units, drone operations, and robotic firefighting equipment become more common, an open training area ensures the department can integrate these advancements.
- **Cost-Effective Growth** – Instead of relocating or acquiring new land, having existing open space allows the department to expand training capabilities on-site, saving costs and resources in the long run.
- **Community and Public Safety Events** – Open space can serve as a venue for firefighter recruitment events, public fire education programs, or large-scale community drills, strengthening relationships with the public and promoting fire safety awareness.

Having open space on fire department training grounds is a valuable asset that provides flexibility, adaptability, and growth potential. It ensures that training facilities remain future-ready, capable of evolving with new challenges, technologies, and training requirements. By planning for expansion, fire departments can enhance firefighter preparedness, improve emergency response capabilities, and maintain a cutting-edge training environment for years to come.

3. Outdoor Firing Range

This development will include a law enforcement training facility, consisting of a firing range to be constructed and operated by the Lockport Police Department. This range will serve public safety training purposes and an inter-governmental agreement will be drafted to outline the parameters. Only departments within Lockport Township Fire Protection District will be able to

utilize the range, under the supervision of a range-master of the Lockport Police Department who will write guidelines for its safe use and operation. The proposed range will be 100 yards so that officers can become certified in mandated long gun fire training. There are two other State ranges located to the east of the project site within 1 mile. One is the Illinois State Police, firing to the northwest and the other is the Department of Corrections, firing to the west. Neither existing State controlled ranges have been designed or constructed for noise suppression, and both are firing in the direction of Crest Hill Ward 2.

The firing range at the training grounds will be located at the southeast corner of the property, with its firing direction facing due south. The range will be surrounded on three sides (east, south, and west) by 24-foot-tall berms, which will feature native plantings with deep roots to help stabilize them. The shooting platform will be positioned on the north side of the firing range, with a 20-foot-tall sound attenuation wall directly behind it. The nearest residential districts are approximately 2,000 feet to the northwest, 3,000 feet to the northeast, and 5,000 to 6,000 feet to the south.

The Lockport police department intends to purchase two pre-manufactured structures similar to car ports so that they can have shelter during inclement weather. These structures will be approximately 10 ft x 15 ft and a maximum of 15 feet tall. The structures will be placed on top of the shooting range and will not be visible by the public.

Various police departments will be using this facility. The Lockport Police Department and the City of Crest Hill will have very similar needs. Each department will use the facility 1-2 times per month, with training from 7:30 a.m. to 3:30 p.m. Each department will likely have approximately 10 officers arriving in 2 hour time waves.

The Village of Romeoville Police Department is only interested in using the facility for rifle training, and therefore their use of the facility will be significantly less than other departments.

Lockport PD also conducts various in-house training days. Some of these training days may occur at the new facility, but not all. These in-house training days will be approximately 10 training days per year, starting from 7:00 a.m. and ending at 3:00 p.m. Each day will typically host between 8 and 12 officers. Traffic generated from police fire training will be minimal based upon the limited intent of use.

The type of ammunition used will be lead. This is the most common and cost effective ammunition and what law enforcement purchases regularly. The Lockport PD will follow the "EPA's Best Management Practices for Lead at Outdoor Shooting Ranges (EPA-902-B-01-001)" for recommended remediation measures for lead in earthen berms.

Noise

FGMA shared the zoning ordinance noise level requirements with two acoustical engineering firms, Siebein Acoustic and Soundscape Engineering. It was the opinion of both firms that the city's ordinance noise standards are outdated. They noted that typical ambient noise (non-firing range noise) such as standard neighborhood equipment (i.e. residential condensing units, yard maintenance equipment, etc.) would exceed the city's ordinance requirements and would not

meet the levels posted in the ordinance. Both engineers recommended that the City revisit the ordinance posted levels in the future to better align with state standards and expectations. Consequently, the owner is requesting the text amendment to the Zoning Ordinance noise related performance standards as described in detail in Part 8 of this Project Narrative.

Soundscape Engineering, LLC has been retained by the Lockport Township Fire Protection District to assess the noise transmission from the proposed firing range to the surrounding neighborhoods and evaluate the effectiveness of the sound mitigation strategies described below. A report will be completed prior to the March 13 Plan Commission meeting. In the meantime, the engineer has provided a preliminary “sound statement”, which is included in the exhibits section of the Project Narrative (Exhibit ‘S’).

Effective strategies for reducing noise at shooting ranges include high berms, side berms, covered shooting positions, and baffles. The proposed range will include high side and backstop berms with native plantings (which help to absorb sound) and a tall sound attenuating wall behind the shooters. Direction of fire is an important factor when situating a firing range. The proposed range will be firing to the south, where the residential districts are much further away than the residential district to the northwest. It should be noted that the greatest amount of noise will always be in the direction of fire. With this in mind, the dB level difference between the direction of fire and behind fire can be equated to about a 10dB difference on average. In addition, we have rearranged the layout of the training grounds so that the firing range is pointing away from the closest residential area. The firing range was also moved to the southwest corner of the training grounds, the furthest point away from the closest residential area. The training facility classroom on the training grounds has been placed directly north of the firing range so that it acts as an additional sound buffer between the range and the closest subdivision to the north.

There are currently two outdoor firing ranges within 1 mile of the proposed training grounds site. Both ranges fire towards the west and northwest (in the direction of Ward 2). Not only will the firing direction of the proposed range be facing south, but the range will also alleviate the load impact of the other two ranges.

Text Amendment to Zoning Ordinance

The inclusion of the firing range will require text amendments to the M-1 Zoning District Use Table, and Section 2 (Definitions) of the Zoning Ordinance to define and permit an “Outdoor Firing Range, for Government Training Purposes”, as well as modifications to Section 8.8 of the Zoning Ordinance to specifically exempt this type of firing range from the City’s existing Noise Performance Standards. Please refer to the section titled “PROPOSED TEXT AMENDMENTS to the City of Crest Hill Zoning Ordinance” within the project narrative for more details.

Proposed Development Requirements and Operational Requirements by Lockport Police Department:

Development Requirements:

1. Private outdoor public safety range used exclusively by public safety agencies who work and operate within the Lockport Township Fire Protection District (Fire District).
2. The range will be designed by a design professional (FGMA architect) with the assistance of range masters from the Lockport Police Department.
3. The public safety outdoor range will be owned by the Fire District, but operated and supervised by the Lockport Police Department as defined in an IGA.
4. Environmental Protection: The Public Safety outdoor range shall be designed such that it is in compliance with the Best Management Practices for Lead at Outdoor Shooting Ranges. The range shall be designed to prevent contamination of any waterway considered "Waters of the U.S." as defined by the U.S. Army Corp of Engineers, wetland or floodplain in accordance with the Clean Water Act.
5. A safety plan shall be provided that complies with the requirements of the NRA current edition of "The Range Manual, A guide to Planning and construction."

Operational Requirements:

1. These operational requirements will be defined in an IGA between the Fire District and each agency that wishes to use the Public Safety Range.
2. Hours of operation (Defined by the LPD) – 7:00 AM to 10:00 PM Monday through Friday. 8:00 AM to 4:00 PM Saturday and Sunday.
3. Night shooting shall occur a maximum of once per week. (LPD).
5. Liability insurance: Proof of liability insurance in the minimum amount of two million dollars (\$2,000,000) shall be provided to the Lockport Township Fire Protection District that names the Fire District as an additional insured party and shall save and hold the Fire District, its appointed officials, and employees working within the scope of their duties harmless from and against all claims, demands and causes of action of any kind or character, including the cost of defense thereof, arising in favor of a person or groups members or employees or third parties on account or representatives. The Fire District shall be notified immediately if there are any changes or lapses to this liability insurance coverage. The Public Safety Range will have a Standard Operating Procedure drafted by a certified Range Master from the Lockport Police Department.
6. Each agency using the Public Safety Range will be responsible for providing their own certified Range Master who will present, ensuring the safe operation of the Public Safety Range whenever in use. The Range Master shall notify both the Fire District and the Lockport Police Department when their training begins and ends.

SITE LIGHTING

Parking lot and drive lighting will be LED type, on 25 foot tall light poles. The building will have LED wall packs above the overhead doors and there will be recessed lighting at the main entrance. In addition to the general site lighting, there will be spot lights placed inside the berms for night time shooting. These lights will be LEDs and will be mounted on 25 ft. tall poles. Lighting cut sheets are included in the

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photometric submittal. Night time shooting will be very minimal and will not extend beyond 10:00 p.m.

A photometric plan is provided and it includes a statement by the electrical engineer that the site lighting complies with the Site Lighting Development Standards in the zoning ordinance (Section 8.7-4). Foot candles at the site boundaries will meet the ordinance. Refer to Exhibit 'J'.

DEVELOPMENT SCHEDULE

The anticipated project schedule is as follows. Final dates will be dependent on PUD approvals and permitting.

Sequence of construction:

1. Mass/Rough grading (July 2025 through September 2025)
 - a. Rough grading
 - b. Construction of road subsurface
 - c. Pond excavation. Soils removed will be placed in the area where the outdoor firing range will be located and will be used to construct the berms to the maximum extent possible.
 - d. Berm Construction
 - e. Site Utilities
 - f. Building pad construction
2. Building Construction (August 2025 through June 2026)
 - a. Building 1 Training/ Maintenance Facility.
 - b. Building 2 Tower Training Classroom
3. Burn Tower – Exact dates to be determined. Current plan would be to install during other building construction.
4. Remaining Site Work (April 2026 through June 2026)
 - a. Fine Grading
 - b. Walks, Curbs, etc.
 - c. Paving
 - d. Landscaping

REQUESTED APPLICATION WAIVERS

LTFPD is requesting waivers to the following application submittal requirements:

- FINAL Construction Drawings are required as part of the Preliminary & Final Planned Unit Development process. These will be provided as part of the FINAL ENGINEERING. This submittal will be providing ENGINEERING IMPROVEMENT DRAWINGS.
- Market Analysis: Not applicable. This project will not include residential, commercial or industrial uses.
- Tax and School Impact Analysis: Not applicable. The Owner is a governmental agency and will not be taxed.

EXCEPTIONS TO THE ORDINANCES

Lockport Township Fire Protection District is requesting several exceptions to the zoning ordinance.

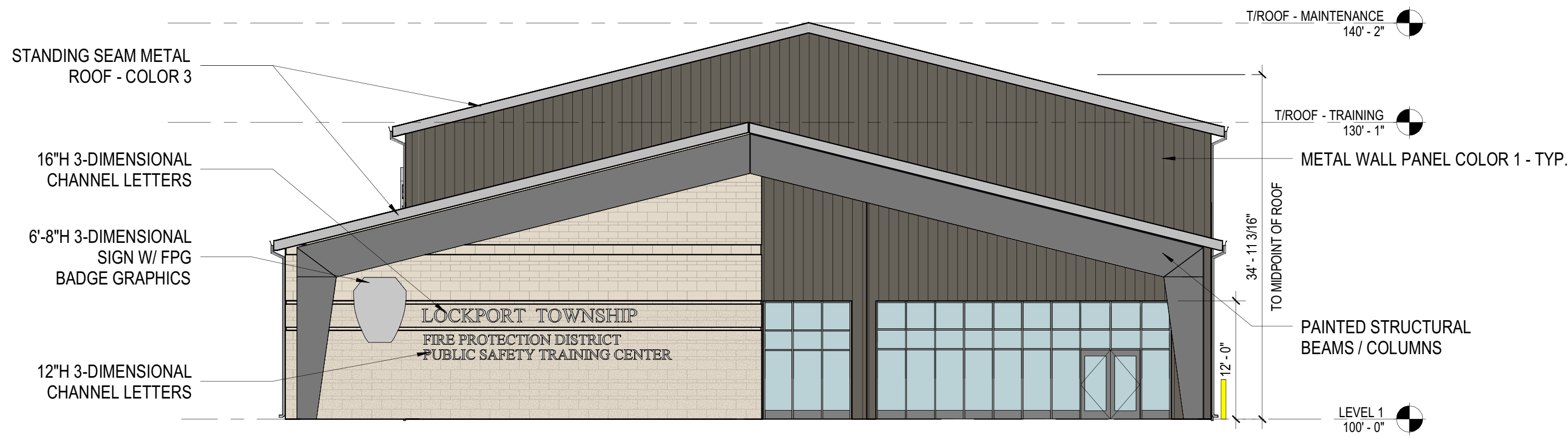
The following are the requested exceptions:

- Building façade masonry quantities
- Use of metal panels for exterior building material.
- Height of accessory structures
- Use of shipping containers
- Building signage
- Curb cut widths
- Plantings on parking lot islands
- Loading zones

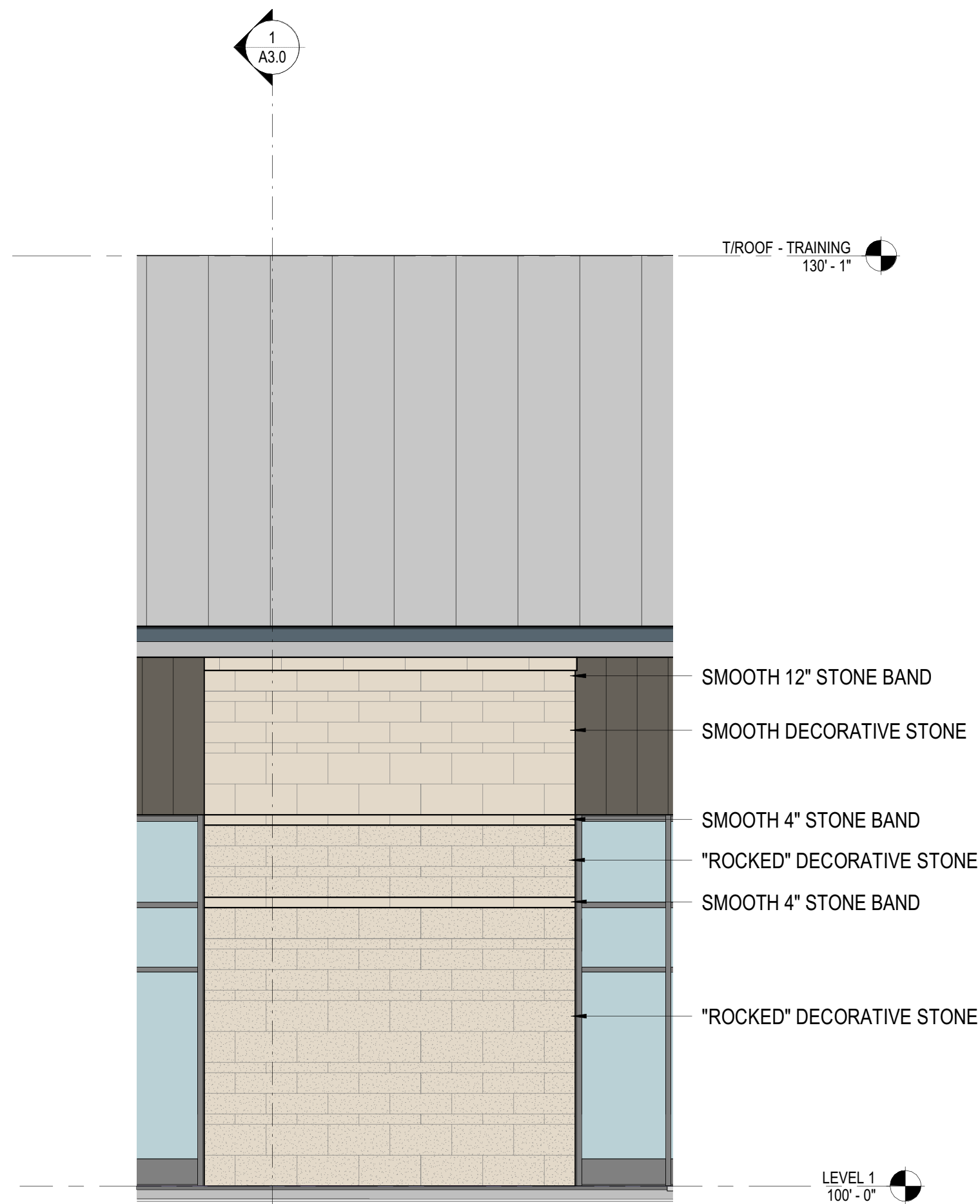
Please refer to section ZONING ORDINANCE EXCEPTIONS for additional detail.

LOCKPORT TOWNSHIP FPD TRAINING GROUNDS

W DIVISION ST, LOCKPORT, ILLINOIS 60441



2 BUILDING ELEVATION - WEST
3/32" = 1'-0"



3 MASONRY WALL DETAIL
1/4" = 1'-0"



1 BUILDING ELEVATION - NORTH
3/32" = 1'-0"

BUILDING 1 - ELEVATIONS

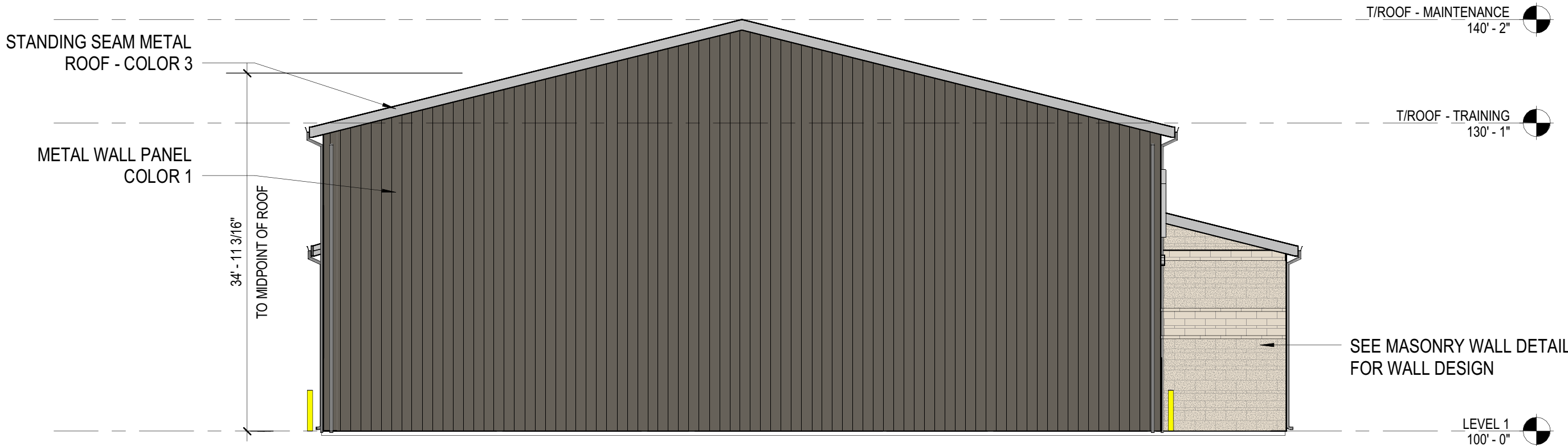
SCALE: 3/32" = 1'-0"

LOCKPORT FIRE PROTECTION DISTRICT
Job No. 23-3640.02
Published 01/13/2025
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LOCKPORT TOWNSHIP FPD TRAINING GROUNDS

W DIVISION ST, LOCKPORT, ILLINOIS 60441



2 | BUILDING ELEVATION - EAST
3/32" = 1'-0"



1 | BUILDING ELEVATION - SOUTH
3/32" = 1'-0"

BUILDING 1 - ELEVATIONS

LOCKPORT FIRE PROTECTION DISTRICT
Job No. 23-3640.02

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PART 6

SITE ELEMENTS AND BUILDING DESCRIPTIONS

The following is a description of the site elements and buildings included in the Planned Unit Development.

Project Location: 12.86 acre parcel of land west of Statesville Correction Facility

Project PIN: 11-04-29-200-009-0000

A. SITE:

1. Entrance: A single entrance will be provided to the site. The drive will be accessed directly off Division Street. The existing gravel frontage road will be eliminated within the property boundaries.
2. Parking: Quantity of parking provided is greater than the required parking based on the Zoning Ordinance Off-Street Parking and Loading:
 - a. Zoning Ordinance 11.8-4: The maintenance side of the building is considered Warehouse and Storage Building. There will be 2-4 employees. The maintenance bay will be able to house 12 vehicles (6 double bays). The total maximum required parking is 16.
 - b. Zoning Ordinance 11.8-5: The training side of the building is considered Business, Professional, Trade School. There will be 3 classrooms for 50 students each. There will be 1 training officer and up to 3 instructors. The total maximum parking required is 42.
 - c. Total required parking is 58, including 3 accessible parking spaces (Illinois Accessibility Code, Table 208.2).
 - d. Total actual parking is 175, including 6 accessible parking spaces.
3. Trash Enclosure: There will a 3 sided enclosure (solid fence) made of aluminum posts with attached vinyl slats (CCH Code of Ordinances 7.12.050,D). The enclosure will be approximately 6 ft. tall (minimum required is 6 ft. tall).
4. Extrication Area: This is an area for training on vehicles where extrication training will take place. The area will be approximately 75 ft wide x 150 ft. long and will be graveled surface.
5. Burn Pit: The burn pit is an area where excess materials that are removed from the burn tower will be placed for final burning. The area will be approximately 40 ft x 40 ft.
6. Storm detention/ Training Pond: The storm detention pond will also be used as training pond. There will be a dive dock, a vehicle dive prop, a boat ramp and an area where pump trucks can draft from the pond directly into the pump truck.
7. Memorial Plaza: A 25 ft. diameter memorial plaza will be located between the Training/

Maintenance Facility and the Shooting Range. The plaza will be placed between the two facilities and will be accessed by concrete sidewalks. The plaza will have 3 flag poles (30 ft. maximum height) and will be surrounded on the west side by shade trees, and smaller plantings.

B. BUILDINGS:

1. Training/ Maintenance Facility (Building No. 1):
 - a. Building Use: Approximately half of the facility will be used for classroom training. It will include 3 classrooms, an office, break rooms, storage spaces, mechanical spaces (IT, HVAC, Electrical, Sprinkler) and toilet facilities. The other half of the facility will be used for reserve vehicle storage and maintenance of FPD vehicles.
 - b. Building Construction: The primary structure and exterior envelope will be a pre-engineered building, Construction type 3B.
 - c. Number of Stories: 1.
 - d. Building Height: Approximately 35'-0" to the median height of the tallest roof.
 - e. Exterior Construction Materials:
 - i. Roof: Metal panels.
 - ii. Walls: Metal panels and masonry
 - iii. Exterior Windows and Doors: Aluminum storefront with 1" insulated, low-E glazing.
 - iv. Exterior Lighting:
 1. Wall packs above overhead doors.
 2. Wall sconces at man doors.
 3. Downlighting at main entrance
2. Outdoor Training Classroom, Building 2 (Accessory Structure):
 - a. Building Use: Training area and refuge during inclement weather.
 - b. Building Construction: Structural frame will be steel. Storage containers will separate 2 areas under the roof.
 - c. Building Size (footprint): 3,360 gsf.
 - d. Number of Stories: 1
 - e. Building Height: Approximately 15'-6" to the highest point.
 - f. Exterior Construction Materials:
 - i. Roof: Metal panels.
 - ii. Walls: Storage containers, metal.
 - g. Exterior Lighting: pendant lighting underneath roof structure.
3. Main Burn Tower:
 - a. Building Use: Tower is used for training purposes, including fire fighting, search and rescue, forcible entry and technical rescue to name a few.
 - b. Building Construction: Pre-manufactured box containers specifically designed for fire fighting training.
 - c. Building Size:
 - i. Overall GSF: 7,892

- ii. Footprint GSF: 2,676
 - d. Number of Stories: 4
 - e. Building Height: 45'-3"
 - f. Exterior Construction Materials: Metal panels for roof and walls.
- 4. Range Canopy (refer to Section C below for further description of the shooting range):
 - a. Structure Use: Cover during inclement weather and shooting platform.
 - b. Structure Construction: Pre-manufactured metal structure w/ metal roof (no walls) sitting on a 20' x 60' concrete slab on grade.
 - c. Structure Size: Two structures at approximately 150 square feet each.
 - d. Structure Height: 15'-0" maximum.
- 5. Noise Barrier Wall, adjacent to range canopy (refer to Section C below for further description of the shooting range):
 - a. Structure Use: Deflect noise on north side of shooting range.
 - b. Structure Construction: Perforated reinforced fiberglass walls (tongue and groove design), supported by vertical steel columns anchored to concrete footings.
 - c. Structure Size: Approximately 70 ft. in length and 20 ft. in height.

C. OUTDOOR FIRING RANGE:

The sole intent of the outdoor shooting range is the cooperation between law enforcement and the fire service in Lockport Township to best utilize property donated by the State of Illinois for training purposes to better serve the community and the resident who live here. It is understood that the Lockport Township Fire Protection District will be requesting an approval for a TEXT AMENDMENT to the City of Crest Hill Zoning Ordinance for the inclusion of the shooting range. The text amendment is included in the Project Narrative.

- The firing range will be located on the southeast corner of the property.
- The overall size of the firing range (including berms) is approximately 210 ft. wide by 420 ft. long.
- The firing range is 100 yards by 27 yards wide.
- Firing Direction – South
- Range is surrounded by 24 ft. high berms on the east, west and south sides with natural vegetation designed to dampen sound. The berms will have a hybrid slope. The first 12 ft. will have a slope of 1:1.5 and the next 12 ft. will have a slope of 1:1. These berms are steep and are intended to be low-no maintenance. The spoils from the site excavation are expected to be used for the berms. Geotech mats will be placed on the berm to aid in the establishment of native plantings.
- Two canopy type structures placed on the concrete platform will be used as cover during inclement weather. Each of these structures is approximately 10'w x 15'l x 15'h.
- Majority of the training will be using handguns on the southernmost part of the range 15-20 yards from the end berm.
- There will be spot lighting on the range for evening/ nighttime shooting.
- There will be a vertical sound attenuation barrier wall on the north side of the shooting range, directly behind the canopies. Refer to description above.

Noise Transmission Assessment of FPD Training Grounds, Lockport, Illinois

Prepared By:

Nathan Sevener, Principal Consultant
INCE Bd. Cert.

Aimee Lalime, Senior Consultant
INCE Bd. Cert.

11 March 2025

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Executive Summary

The proposed Lockport Township FPD Training Grounds and Outdoor Range will be located in the Lockport Fire Protection District on West Division Street in Lockport, Illinois, adjacent to the Stateville Correctional Center. The outdoor firing range would be surrounded by 24' tall berms on three sides and a 20.5' tall absorptive sound barrier on the north side. The firing range has been designed to accommodate a maximum of 15 shooters using handguns and AR-15 rifles.

We have modeled the propagation of sound emitted from rifle and handgun use at the proposed firing range to the surrounding residential properties, with and without the planned mitigation, although we have shifted the proposed barrier 10 feet to the west to improve mitigation to the residences northwest of the range. Our analysis shows that levels transmitted to the surrounding properties will be reduced by 2-12 dB with the mitigation measures, depending on location.

The maximum impulsive levels (LAI_{max}) transmitted from a rifle at the firing range to the nearest residential properties, located approximately 2,200 feet northwest of the site, are predicted to be 58 dBA without mitigation. With the berms and absorptive sound barrier in place, LAI_{max} levels at these properties are expected to be 46 dBA. Levels transmitted from a handgun at the firing range to the same location are expected to be 57 dBA without mitigation and 45 with mitigation.

LAI_{max} sound levels from rifles transmitted to residences located 4,500 feet to the south are predicted to be 58 dBA without mitigation and 50 dBA with the berms/barrier.

At the library and closest residences to the southwest of the site (located approximately 5,000 feet to the southwest) the predicted LAI_{max} sound levels from a rifle are 48 dBA without mitigation and 41 dBA with the berms and absorptive sound barrier in place.

Predicted noise levels are based on our assumption of stable weather conditions and ground conditions in warmer weather. Temperature inversions, wind speed and direction, and seasonal ground effects can all influence the noise levels significantly.

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List of Abbreviated Terms

dB	Decibel
dBA	A-weighted Decibels
IPCB	Illinois Pollution Control Board
L_1	The sound level during 1% of the measurement period, closer to the maximum
L_{10}	The sound level during 10% of the measurement period, closer to the maximum
L_{90}	The sound level exceeded during 90% of the measurement period, closer to the minimum
LAF_{max}	Maximum A-weighted SPL using a fast detector
LAI_{max}	Maximum A-weighted impulsive sound level
LA_{eq}	Equivalent continuous sound level (A-weighted)
L_{eq}	Equivalent continuous sound level (unweighted)
SPL	Sound Pressure Level
STC	Sound Transmission Class
NRC	Noise Reduction Coefficient

1.0 Introduction

Soundscape Engineering has completed a sound study for the proposed Lockport Township FPD Training Grounds and Outdoor Range located in the Lockport Fire Protection District on West Division Street in Crest Hill, Illinois, adjacent to the Stateville Correctional Center. As shown below in Figure 1, the outdoor firing range would be surrounded by 24' tall berms on three sides with a 20.5' tall absorptive sound barrier on the north side.

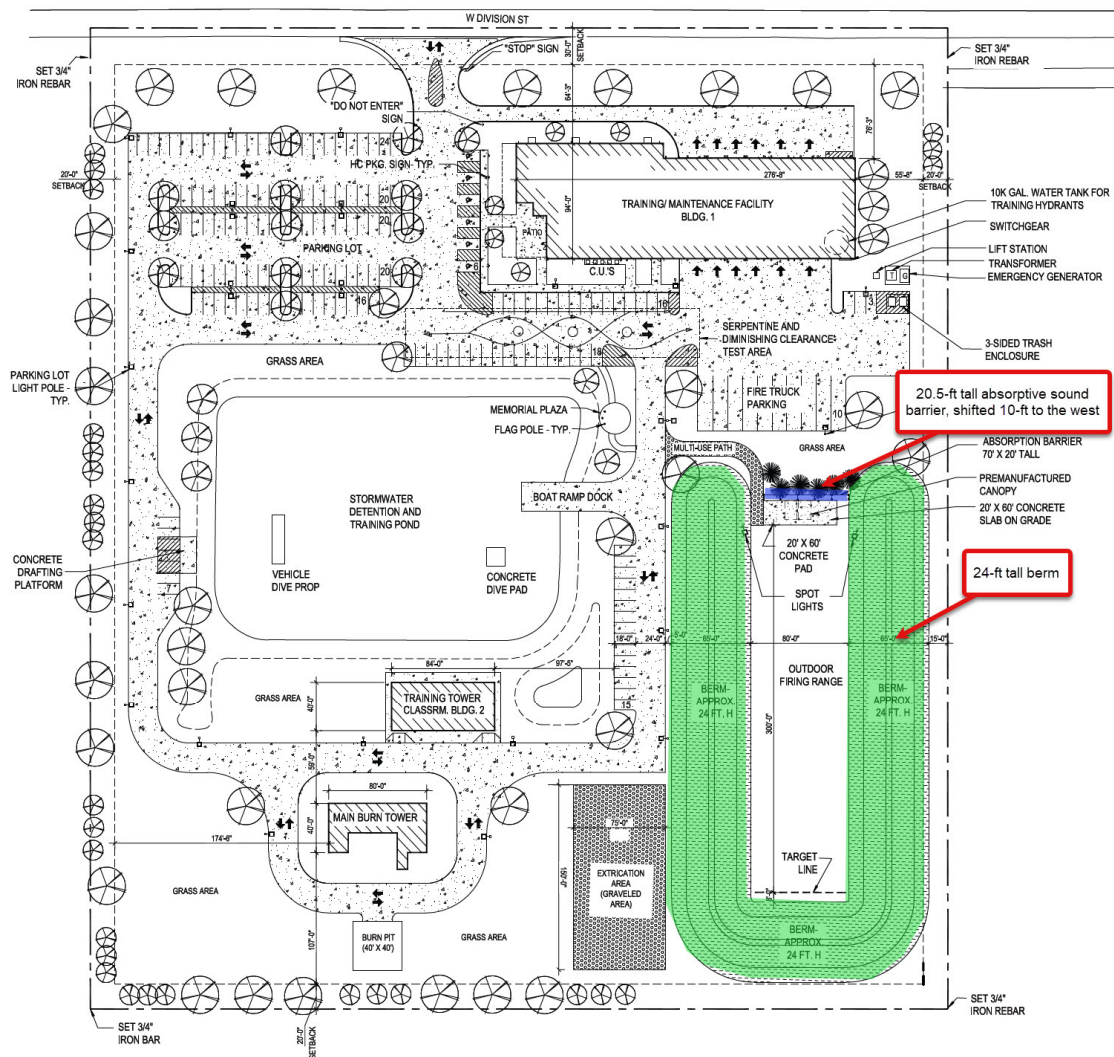


Figure 1: Site Plan for the Lockport Township FPD Training Grounds, Lockport, IL

The outdoor firing range is being designed to accommodate a maximum of 15 shooters. Most of the training would be with handguns, but it is anticipated that AR-15 rifles would be used as well. The design team has been asked to assess sound transmission to the nearby residential properties. The distances to the nearest residential areas are shown in the zoning map below (Figure 2).

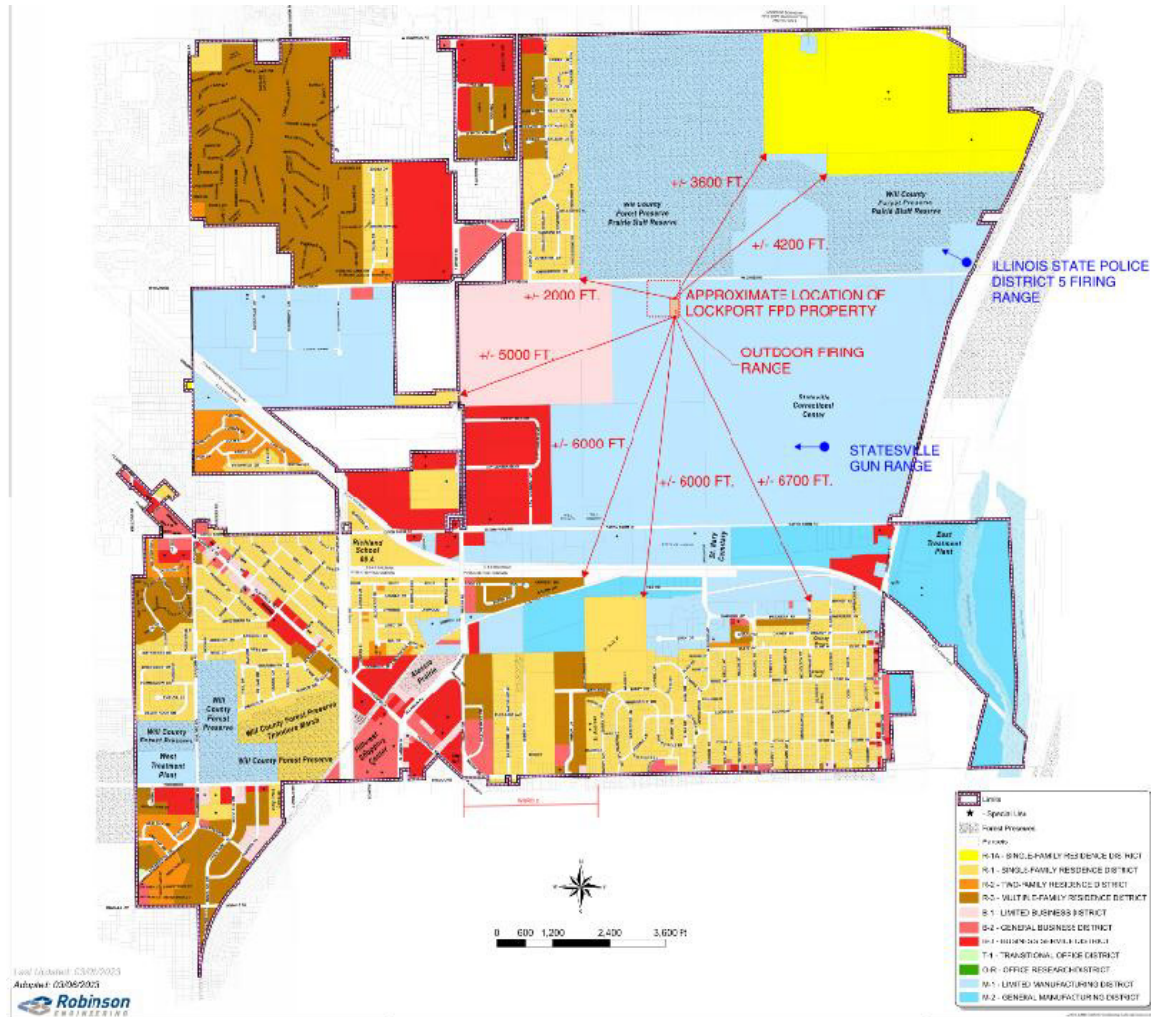


Figure 2: Location of Firing Range with Respect to Nearby Residential Areas

Soundscape has been retained to assess the expected sound transmission to nearby communities within Crest Hill, with and without the planned earthen berms and sound barrier wall.

2.0 Background Information

Outdoor firing ranges are a potential source of noise transmission to the surrounding community. Noise from firearms such as handguns and rifles is characterized as impulsive due to the quick muzzle blast of the weapon and the resulting high amplitude pressure wave. The overall equivalent continuous sound level (LA_{eq}) may not be affected significantly by short-duration impulsive noises from the firing range, however the maximum impulsive noise levels (LAI_{max}) from the gunshots will be noticeably louder, depending on the firing direction and weapon used.

With such highly impulsive noise levels, unmitigated firing ranges can affect residents within a large distance. The findings from this noise transmission study will demonstrate the effectiveness of the proposed mitigation – the berms and sound barrier wall – in reducing firing range noise transmission to the neighbors.

2.1 Terminology

There is a brief glossary of pertinent acoustics terminology in Appendix A.

2.2 Noise Target

Per 740 ILCS 130/5, firearm ranges operated by a governmental entity are exempt from any ordinances governing the noise or sound emissions from normal use of a firearm range. Since the proposed firing range will be operated by the Lockport Township FPD, we understand that it is exempt from noise ordinances. However, we understand that the operators wish to reduce the noise levels transmitted to nearby properties in an effort to be good neighbors.

3.0 Modeled Noise Transmission

3.1 Noise-sensitive Receptors

The sensitive receptors for noise from the firing range were identified as thirteen residential and community spaces surrounding the proposed firing range. As shown in Figure 3, the closest of these homes is approximately 2,200 feet from the planned location of the firing range.

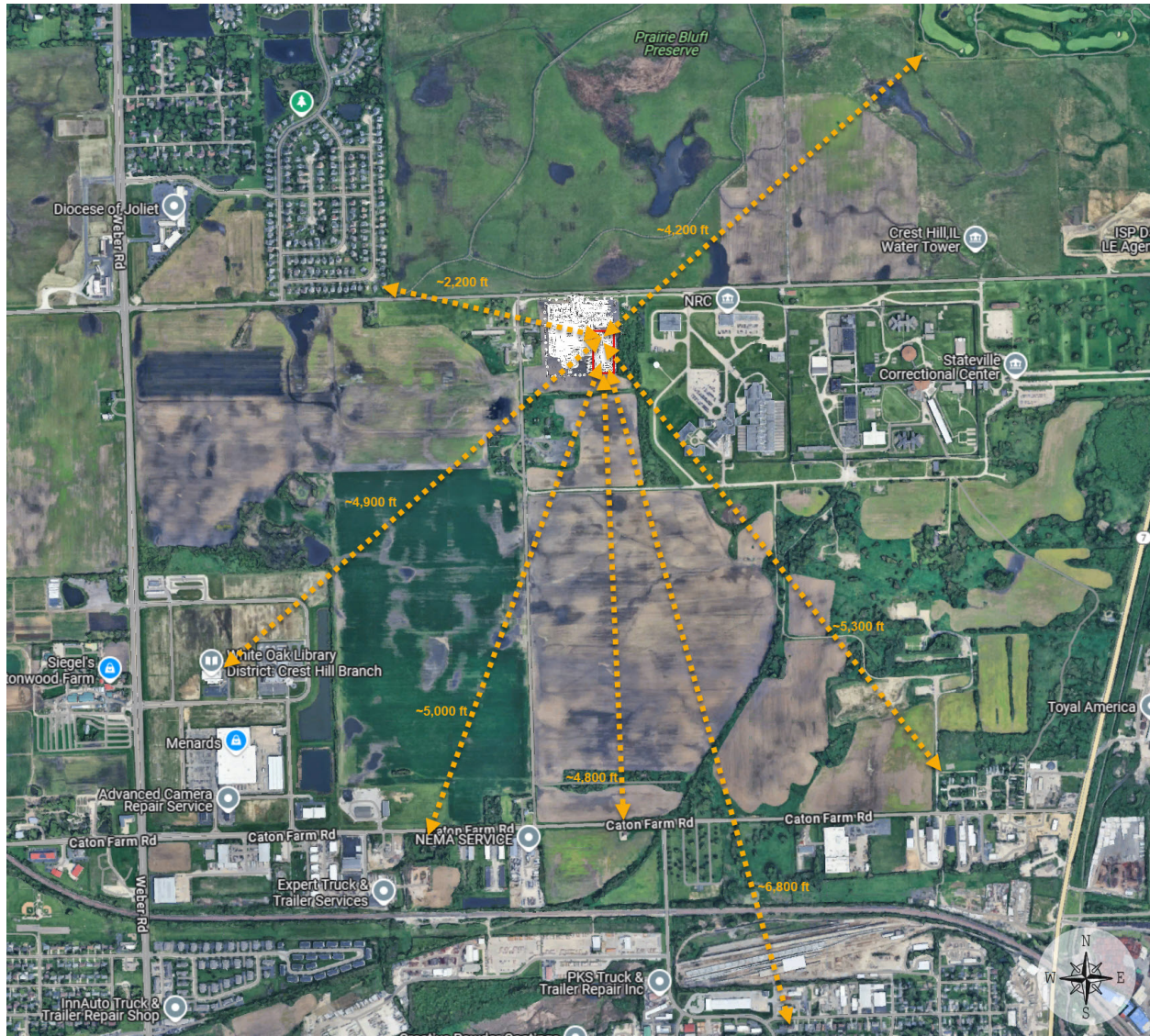


Figure 3: Aerial View Showing Sensitive Receptors

3.2 Firing Range Source Levels

Soundscape has previously measured firearm noise for other projects, which have included handguns and rifle sound levels. The data are directly applicable to this project. Octave band levels measured at a distance of 6 feet in front of a rifle and handgun are shown in Figure 4.

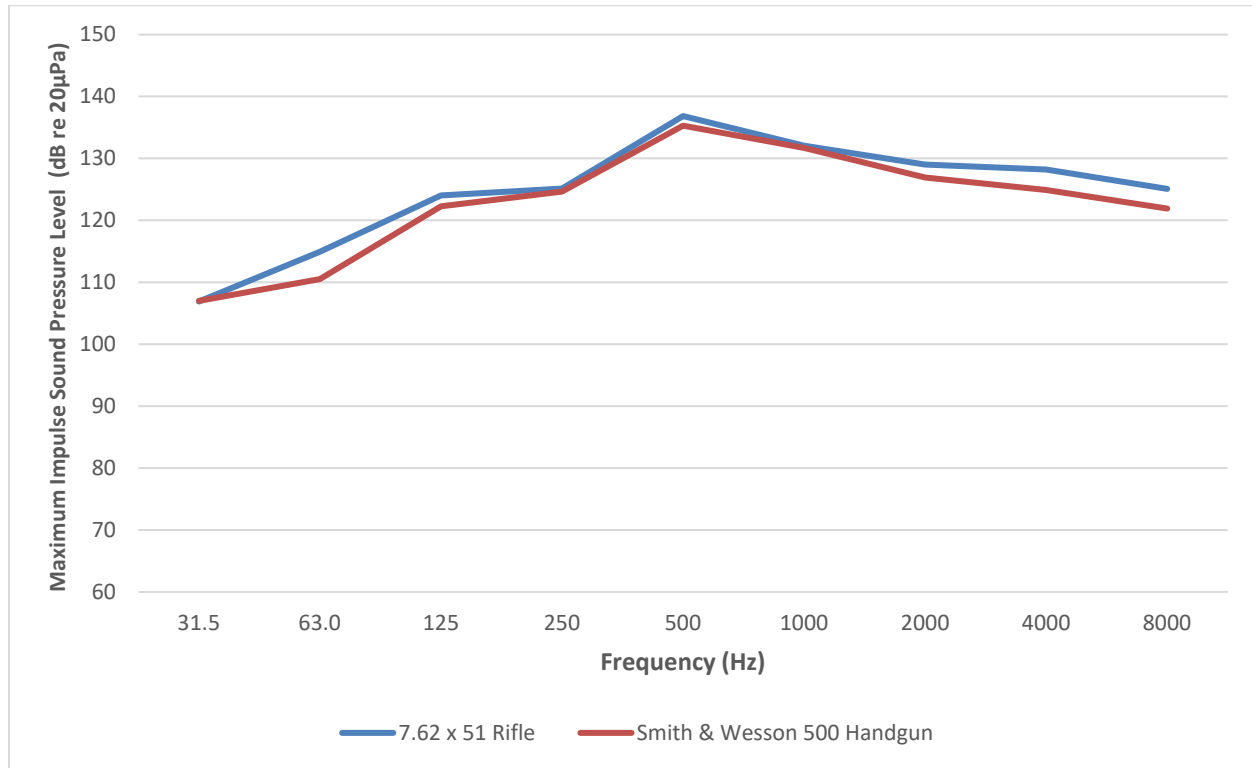


Figure 4: Measured LZI_{max} at 6-ft in Front of Muzzle

There are also many research reports and noise studies published with test data available for different types of firearms, which show similar results to our measurement data shown above.

The directivity pattern of gunshot noise produced by a typical rifle was obtained from a research report from the RCMP,¹ as shown in Figure 5, and was used to set up the rifle noise source in our model. In comparison to the levels measured for a rifle, pistol noise levels are approximately 6 dB quieter at the muzzle and 3 dB louder to the rear of the shooter.

¹ Royal Canadian Mounted Police, "Shooting Ranges and Sound."

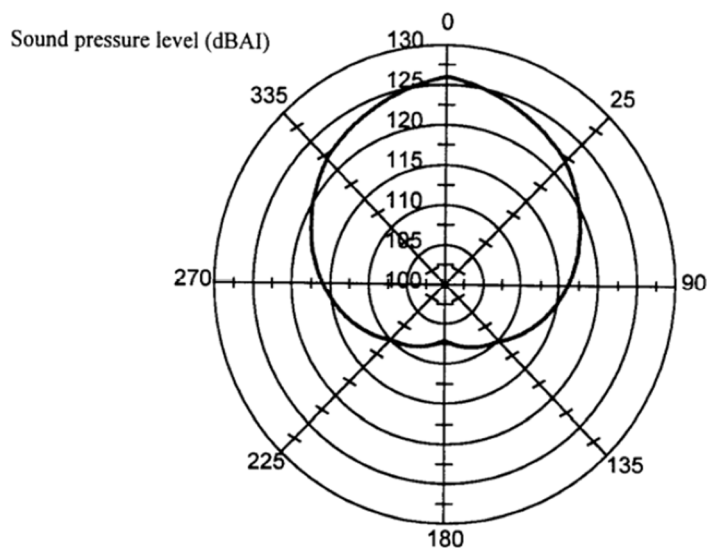


Figure 5: Directivity of Typical Rifle as Measured at 10-m

3.3 Firing Range Noise Modeling with SoundPLAN

The commercially available and widely used computer software, SoundPLAN, was employed to develop a 3-D noise model of the firing range site and its surroundings. This model included inputs to represent the planned firing range, the surrounding buildings, the area's topography, and the planned berms and noise barrier. The sound propagation across the site and surrounding area was calculated within the model to determine the expected noise levels at selected receiver locations.

Figure 6, below, presents an aerial view of the Crest Hill area surrounding the proposed firing range, as modeled in SoundPLAN. In the model, the red asterisk marks the noise source, representing the firing range. The yellow numbers indicate the sound receivers, which are positioned 5 feet above ground at the closest residential (along with the library and golf course) property lines.

Maximum impulsive noise levels were modeled from a single firearm (rifle and handgun) located at the center of the concrete pad, with the muzzle directed to the south. We have provided results separately for the rifle and handgun noise, with and without the planned mitigation, in the following section.

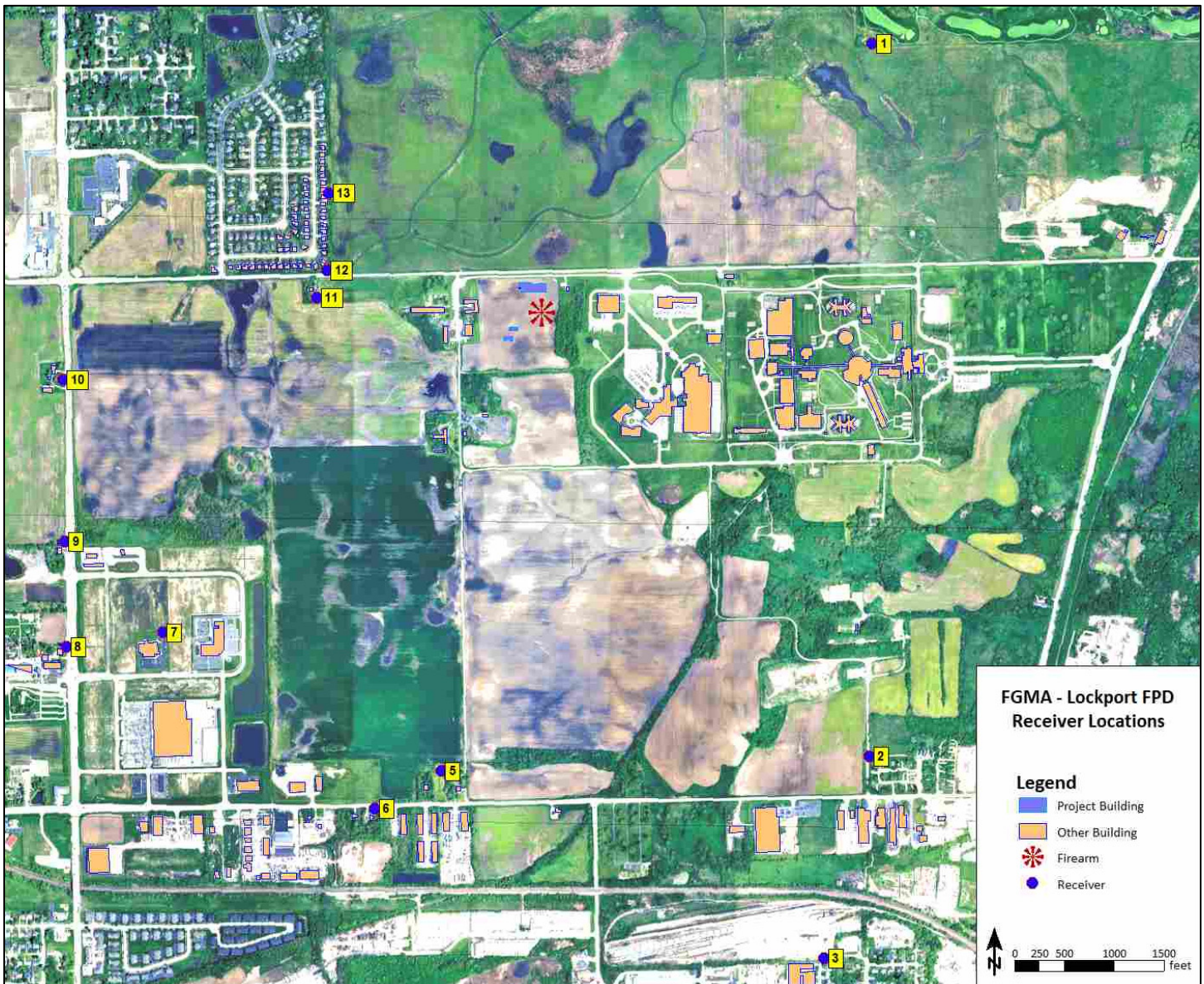


Figure 6: 2-D Aerial View from the SoundPLAN Model

3.4 Sound Absorption Barrier

The planned mitigation includes a 20.5-ft tall acoustical wall along the north side of the concrete pad. The wall was modeled with NRC 0.65 absorption on the south face of the wall. We have assume that the wall will have a minimum STC of 25. Although the site plan (Figure 1) shows the noise barrier located adjacent to the eastern side of the berm, we have shifted its location 10 feet to the west in order to better mitigate the transmitted noise levels to residences directly northwest of the range.

3.5 Ground Effects

Ground cover influences the sound propagation, especially near the source and receiver. Harder surfaces such as concrete, pavement, hard soil, and water provide little attenuation while softer, porous surfaces such as grass, vegetation, or snow will attenuate more sound over long distances. The attenuation is also frequency-dependent. In general, the softer ground types will attenuate more sound in the 250 Hz frequency band than at other frequencies. Taller vegetation can also provide some sound attenuation; however it must be a larger, dense forest before any significant effects can be measured.

The ground effects can also vary seasonally. While we have modeled the firing range in warmer weather conditions, colder weather can affect sound propagation significantly. As mentioned above, snow can provide a porous surface that will attenuate more noise and noise levels will be reduced at locations far from the firing range. At other times when the ground is frozen solid, with no snow on the ground, the hard ground will not provide significant attenuation and levels at distant receivers can increase by 5 – 20 dB, depending on distance.

In our analysis we assumed the ground effects based on warmer weather conditions; pavement and concrete surfaces were modeled as harder, reflective ground and the open field areas were modeled as partially soft ground to represent the absorption provided by some vegetation (i.e., grasses and field crops). We also assumed that there were no dense forests in the immediate area to provide any volume attenuation.

3.6 Wind and Temperature Effects

For noise that travels long distances, such as that from a firing range, wind and temperature variations can affect the bending of sound waves in the atmosphere, which can influence the transmitted noise levels. Wind speed and temperature change with altitude and these gradients can cause sound waves to travel faster or slower.

Outdoor sound is not only affected by wind speed, but also its direction, especially over distances greater than 150 feet. Sounds measured downwind may increase by a few dB while sounds measured upwind or side-wind can drop by 20 dB or more, depending on the distance and wind speeds. Turbulent or gusty wind can also reduce the measured sound levels.

Air temperatures at ground level tend to be warmer than the air at higher altitudes. When there is a “temperature inversion,” such as on a clear night, the temperature at the ground surface may be lower than at altitude and sound waves will be reflected back to the earth’s surface and can increase noise levels at large distances (1/2 mile or more) by several dB.

Our model of the firing range assumed stable weather conditions, with low winds and no influence from temperature inversions.

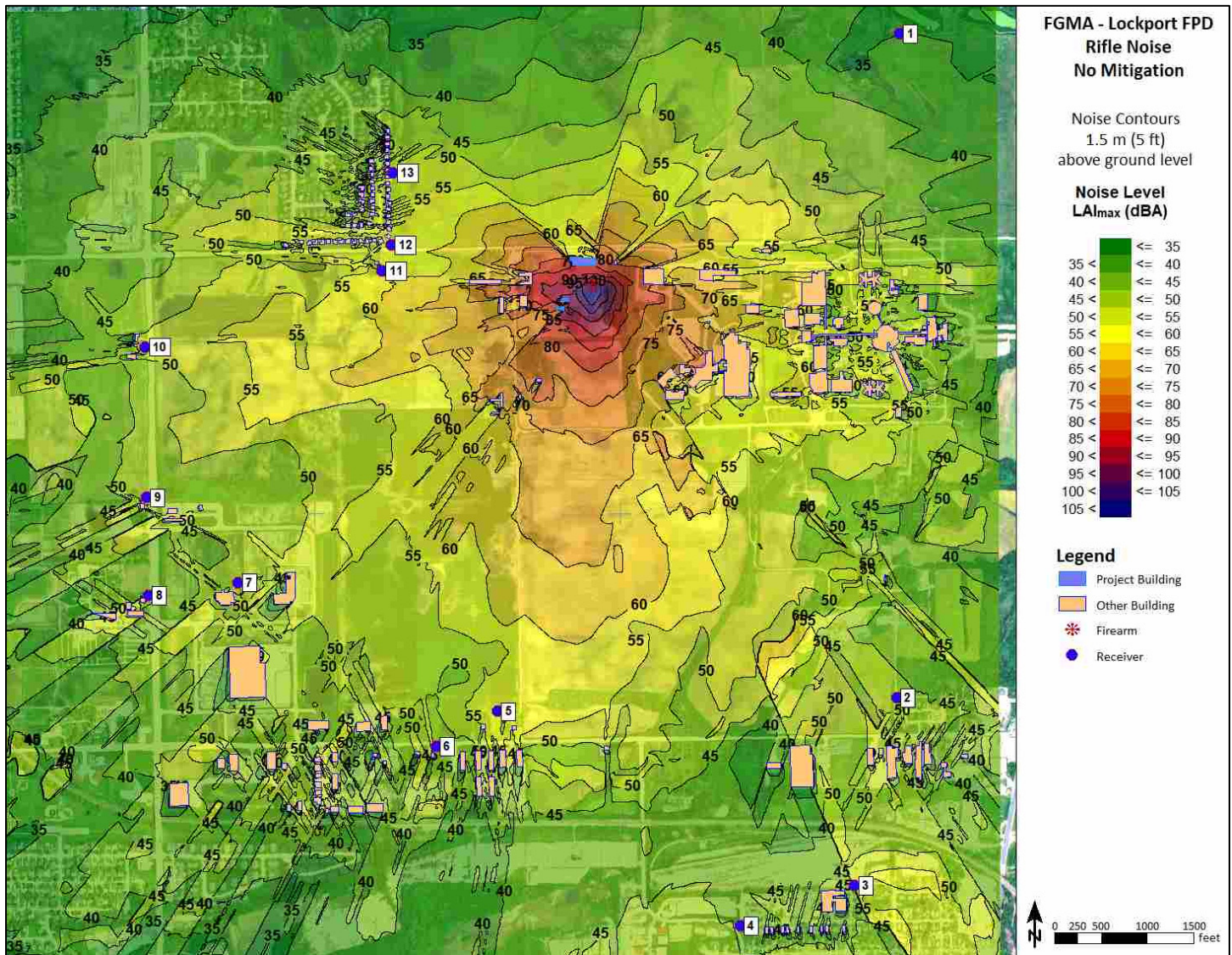
4.0 Modeled Firing Range Noise

The predicted noise levels due to a rifle and a handgun at the nearest sensitive receiver locations with and without the mitigation in place are provided below in Table 1. With the berms and noise barrier in place, levels are expected to be reduced by 2 – 12 dB, depending on location relative to the firing range.

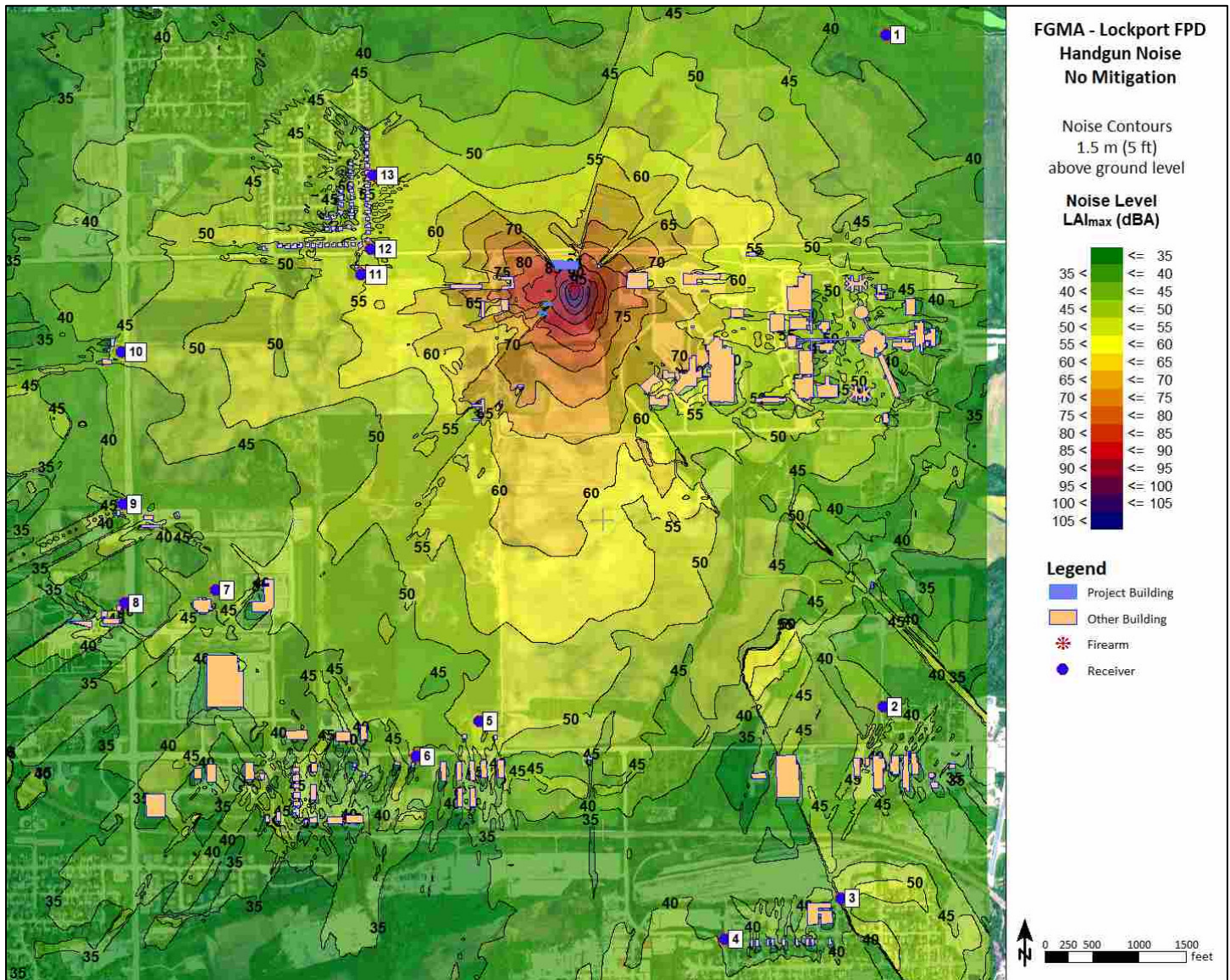
Table 1: Comparison of Expected Noise Levels at Selected Receiver Locations, With and Without Mitigation

Receiver #	Rifle		Handgun		Improvement Due to Berms & Wall
	LAI _{max} (dBA)	LAI _{max} (dBA)	LAI _{max} (dBA)	LAI _{max} (dBA)	(dBA)
	Without Mitigation	With Mitigation	Without Mitigation	With Mitigation	
1 (Golf Course)	35	28	38	32	7
2	49	45	44	40	4
3	53	42	49	38	11
4	44	42	39	37	2
5	58	50	53	45	8
6	49	42	44	37	7
7 (Library)	48	41	42	36	7
8	43	38	38	33	5
9	48	41	42	36	7
10	53	41	48	36	12
11	56	48	53	45	8
12 (Nearest Residence)	58	46	57	45	12
13	54	45	55	46	9

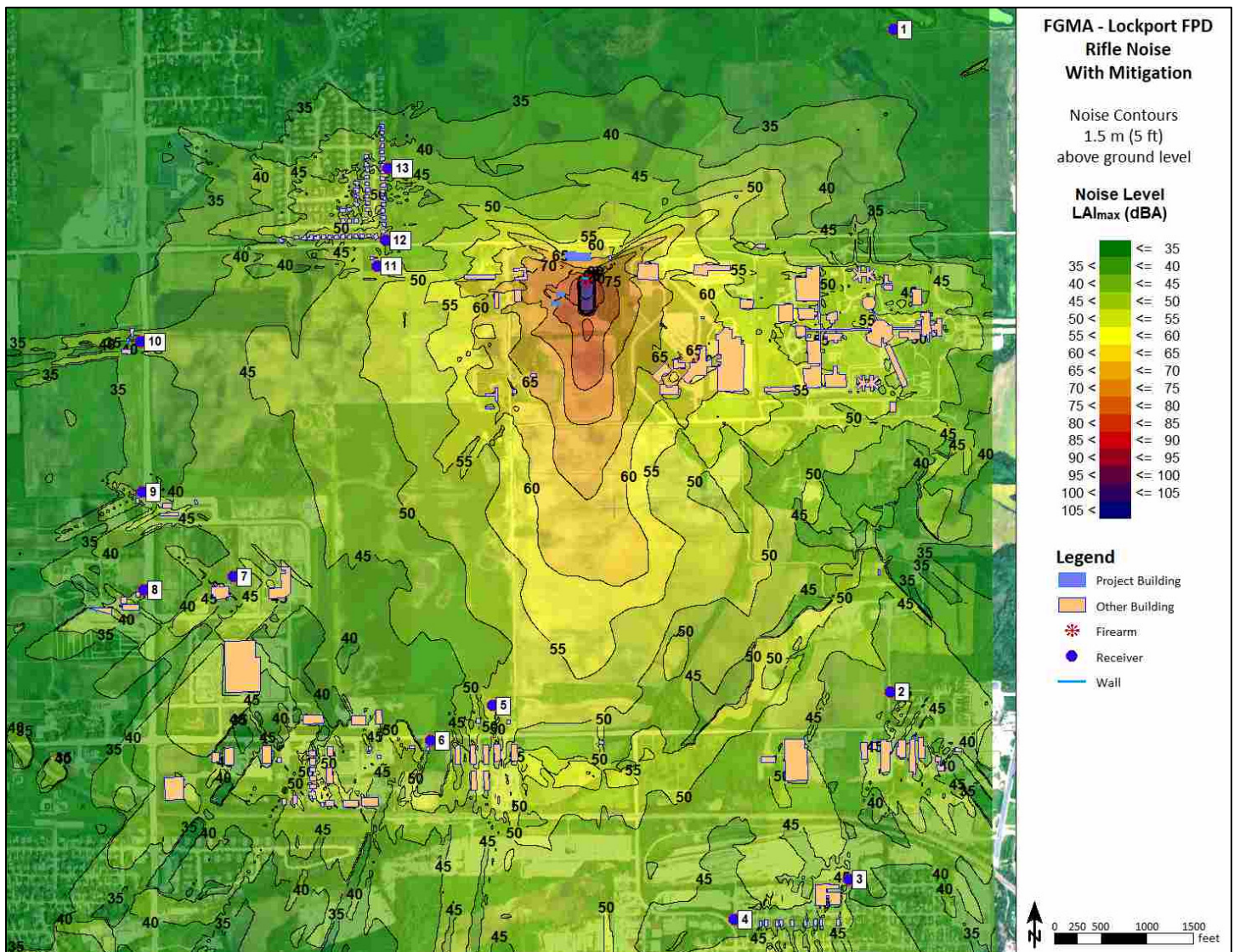
A noise contour map helps to visualize the expected noise levels for the surrounding neighborhood due to the proposed firing range. Figure 7 and Figure 8 show predicted LAI_{max} levels from a rifle and handgun, respectively, without any mitigation in place. Notice that gunfire is directional, so more sound would transmit downrange than uprange. In addition, intervening buildings provide shielding in some areas. Figure 9 and Figure 10 show the predicted levels from a rifle and handgun with the berms and noise barrier in place. Figure 11 and Figure 12 show a closer view of the noise contours due to a rifle in the immediate area around the firing range.



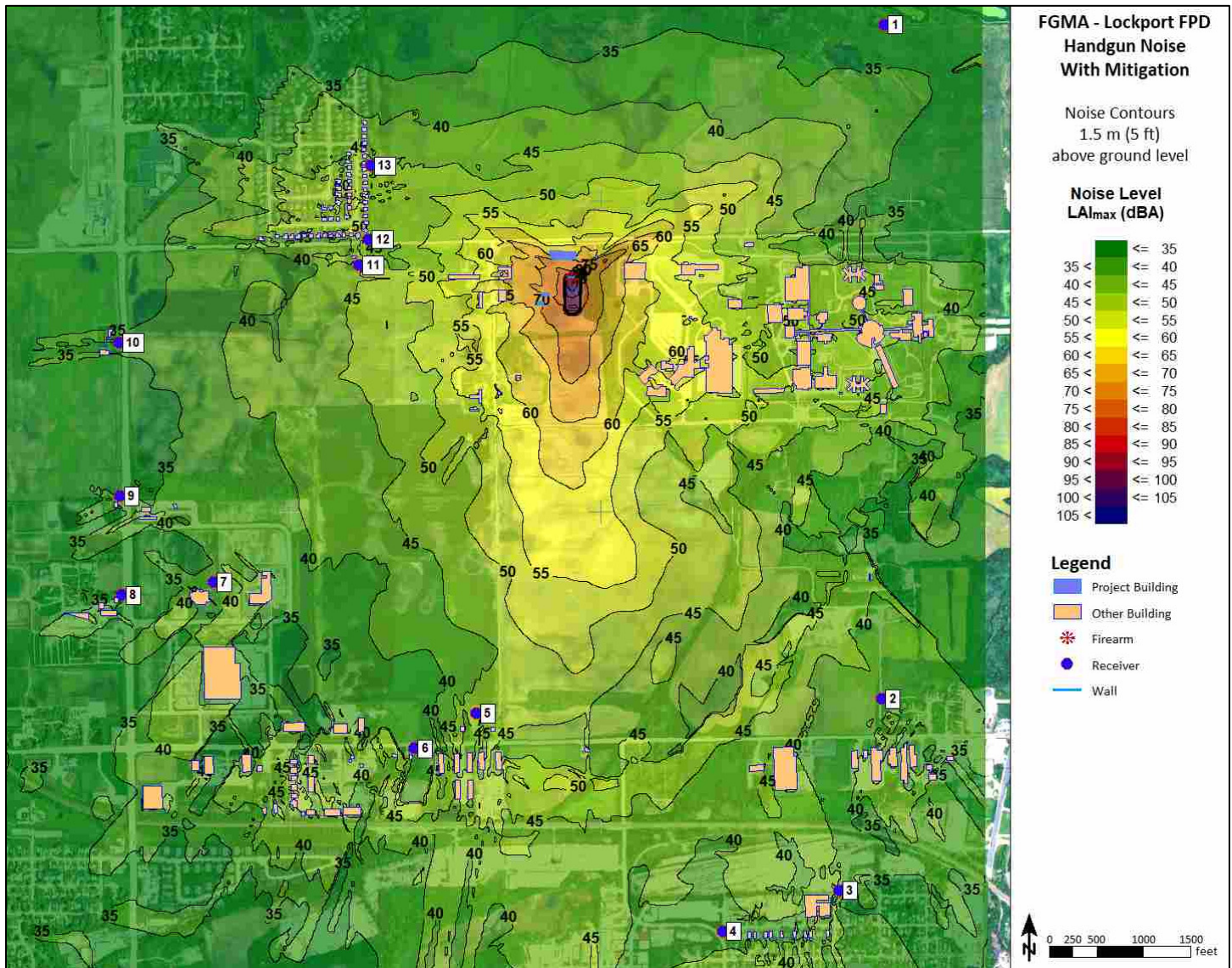
**Figure 7: Noise Contour Map of Predicted Rifle Noise Transmission to Surrounding Areas,
Without Mitigation**



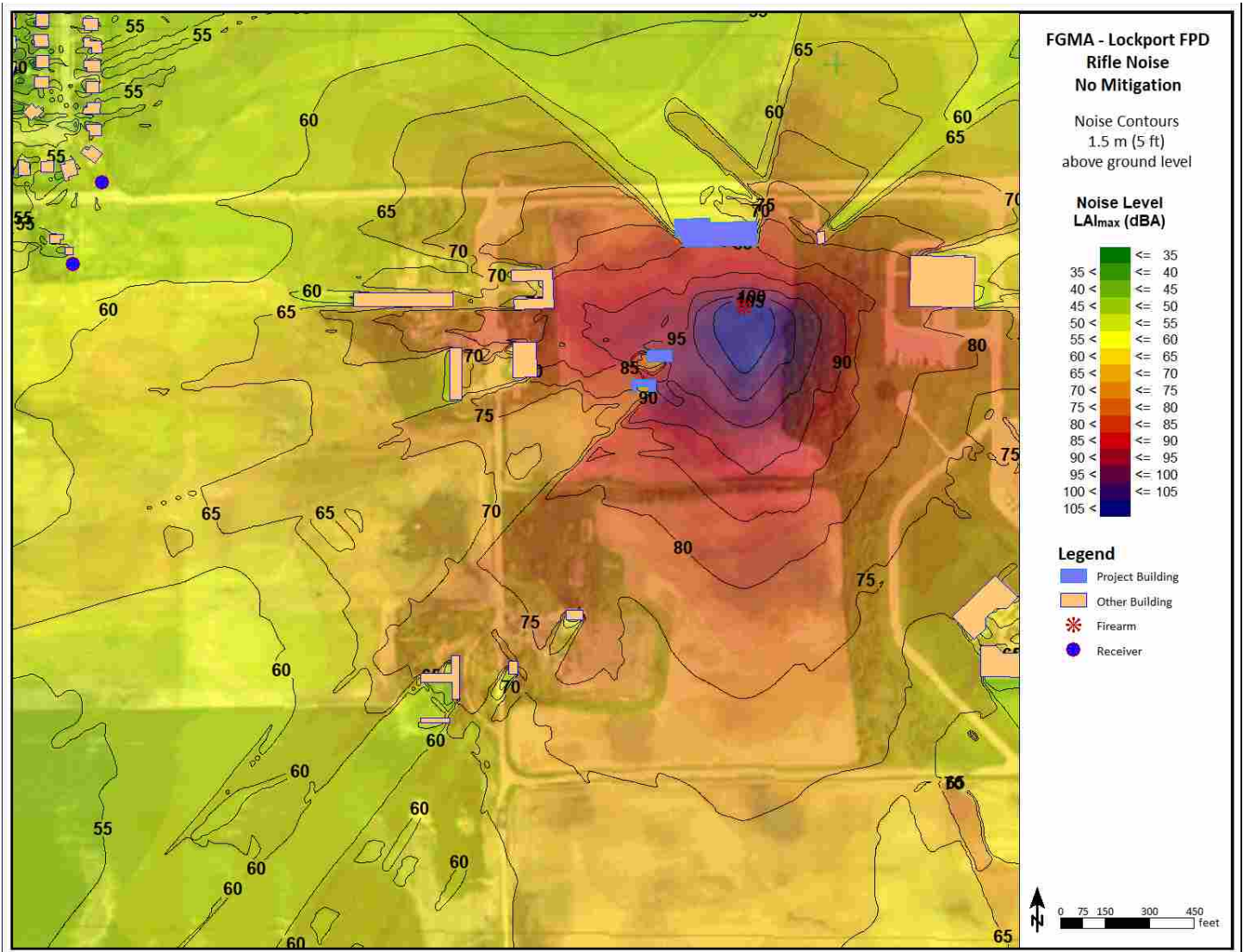
**Figure 8: Noise Contour Map of Predicted Handgun Noise Transmission to Surrounding Areas,
Without Mitigation**



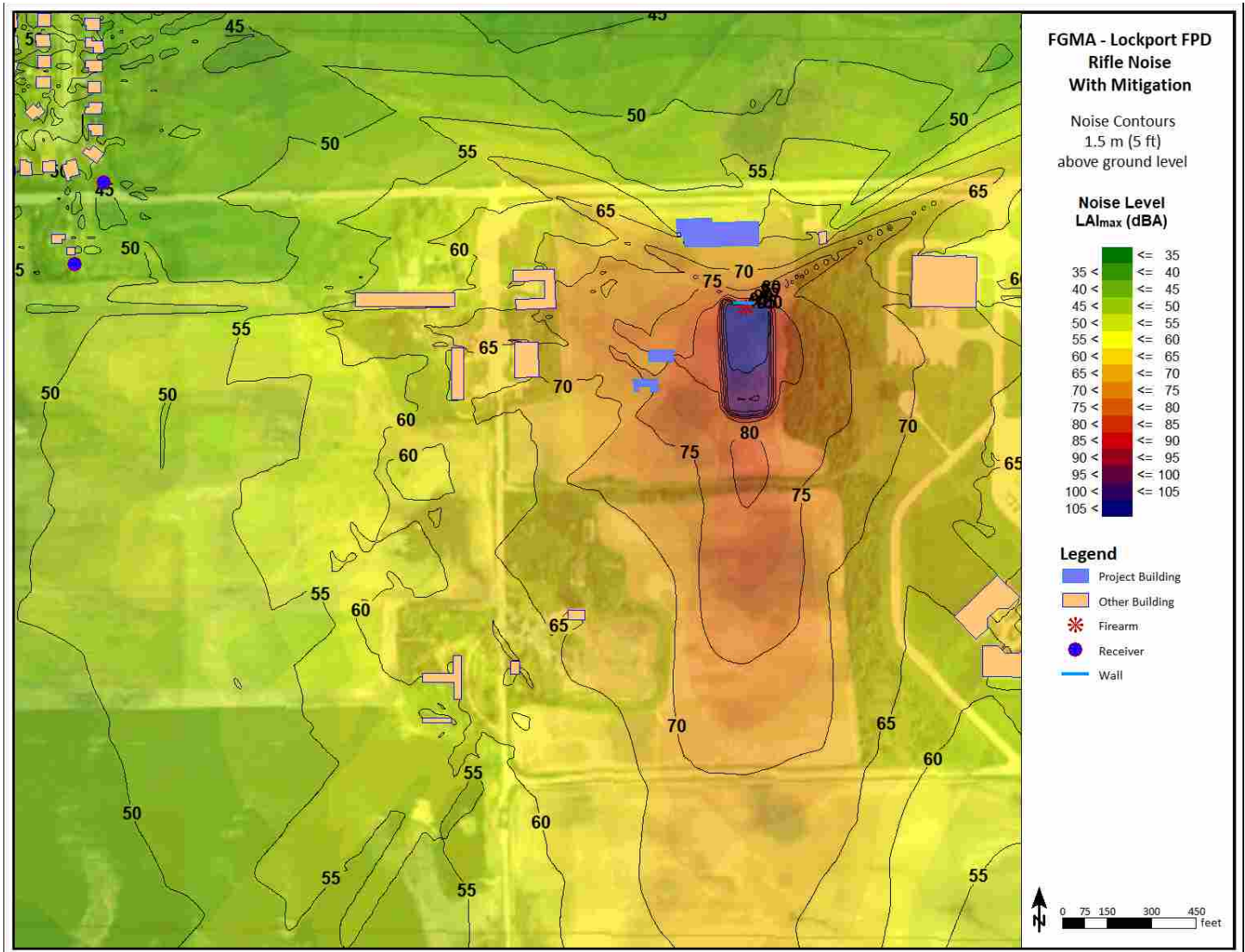
**Figure 9: Noise Contour Map of Predicted Rifle Noise Transmission to Surrounding Areas,
With Berms and Barrier**



**Figure 10: Noise Contour Map of Predicted Handgun Noise Transmission to Surrounding Areas,
With Berms and Barrier**



**Figure 11: Noise Contour Map of Predicted Rifle Noise Transmission Near Project Site,
 Without Mitigation**



**Figure 12: Noise Contour Map of Predicted Rifle Noise Transmission Near Project Site,
With Berms and Barrier**

5.0 Conclusions

We have modeled the propagation of sound emitted from rifle and handgun use at the proposed firing range to surrounding residential properties. Our analysis shows that levels transmitted to the surrounding residential properties will be reduced by 2-12 dB with the planned 24-foot tall berm and 20.5-foot tall absorptive sound barrier ($STC \geq 25$, $NRC \geq 0.65$), which was shifted 10 feet to the west in our model to improve mitigation for the residences northwest of the range.

The maximum impulsive levels (LAI_{max}) transmitted from a rifle at the firing range to the nearest residential properties, located approximately 2,200 feet northwest of the site, are predicted to be 58 dBA without mitigation. With the berms and absorptive sound barrier in place, LAI_{max} levels at these properties are expected to be 46 dBA. Levels transmitted from a handgun at the firing range to the same location are expected to be 57 dBA without mitigation and 45 with mitigation.

LAI_{max} sound levels from rifles transmitted to residences located 4,500 feet to the south are predicted to be 58 dBA without mitigation and 50 dBA with the berms/barrier.

At the library and closest residences to the southwest of the site (located approximately 5,000 feet to the southwest) the predicted LAI_{max} sound levels from a rifle are 48 dBA without mitigation and 41 dBA with the berms and absorptive sound barrier in place.

Predicted noise levels are based on our assumption of stable weather conditions and ground conditions in warmer weather. Temperature inversions, wind speed and direction, and seasonal ground effects can all influence the noise levels significantly.

Appendix A: Acoustical Terminology

Sound level is measured in units called decibels (abbreviated dB). Decibels are logarithmic rather than linear quantities and thus a doubling of the sound level does not translate to a mathematical doubling of decibels. Also, the human ear does not interpret a doubling of sound energy (two sources instead of one) as a doubling of loudness. The logarithmic nature of dB and the human subjective perception of relative sound levels result in the following approximate rules for judging increases in sound.

- 3 dB sound level increase or decrease - just noticeable
(the addition of one identical sound source to an existing source)
- 5 dB sound level increase or decrease - clearly perceptible and is often considered significant
(the addition of two identical sound sources to an existing source)
- 10 dB sound level increase or decrease - perceived as twice as loud/half as loud
(the addition of nine identical sound sources to an existing source)

These perceived changes in the sound level are mostly independent of the absolute sound level. That is, a 35 dB sound will be perceived as twice as loud as a 25 dB sound, and a 60 dB sound will be perceived as twice as loud as a 50 dB sound.

Audible sound occurs over a wide frequency range, from low pitched sounds at approximately 20 hertz (Hz) to high pitched sounds at 20,000 Hz. These frequencies are commonly grouped into octave bands or 1/3 octave bands. Building mechanical systems generally produce noise in the 63 Hz to 1000 Hz octave bands, with the lower frequency noise generated by large fans. Speech is predominantly contained in the 250 Hz to 2000 Hz octave bands.

A-weighted sound level - Humans do not hear equally well at all frequencies. We are especially poor at hearing low frequency sound and are best at hearing sound in the frequency range of speech. A microphone does not have these same characteristics. Therefore, when sound is being measured to determine how well people will be able to hear it, a "weighting" or microphone-to-human correction factor is applied to the sound level measured using a microphone. The most common weighting is the "A-weighting" and the resulting sound level is expressed in A-weighted decibels (dBA). This weighting reduces the low frequency sound, slightly increases the sound at the dominant frequencies of speech, and slightly lowers the sound level at high frequencies.

Equivalent Sound Level (L_{eq}) is essentially the average sound level in an environment. However, the L_{eq} is not a simple arithmetic average of the sound level over time, but is a logarithmic average of the sound energy level over a period of time. L_{eq} can be measured for any time period, but is typically measured for some increment or fraction of an hour such as 15 minutes, 1 hour, or 24 hours. Steady sounds, such as fan noise, can be accurately measured for much shorter periods of time, such as 30 to 60 seconds.

Maximum sound level (L_{max}) is the highest sound level that occurs during a measurement period.

Slow Time Response or Slow Time Weighting is a measurement setting that uses a time constant of 1 second. This setting is most appropriate when the sound level being measured does not fluctuate much. Fan and condensing unit noise are examples of sounds that do not fluctuate much. Some regulations, ordinances, and standards call for a slow response setting regardless of the type of sound source.

Fast Time Response or Fast Time Weighting is a measurement setting that uses a time constant of 125 milliseconds. This setting is most appropriate when the sound level being measured fluctuates quickly, but is also often used as a default setting. Music and speech are examples of sounds that fluctuate quite a bit. Some regulations, ordinances, and standards call for a fast response setting regardless of the type of sound source.

Impulse Time Weighting is a measurement setting that uses a time constant of 32 milliseconds. This setting is most appropriate when the sound level being measured is extremely short. Gunfire and similar impulsive sounds should be measured with the impulse time weighting.

While the **time response setting** will not affect the average sound level (L_{eq}) measurement result, it will affect the maximum sound level (L_{max}) and minimum sound levels (L_{min}) measurement results. For example, if measuring the sound level of music, the fast time weighting will result in higher L_{max} results. When presenting an L_{max} or L_{min} result, the time weighting, impulse, fast, or slow, should be specified.

Statistical sound levels, as they are most often called, quantify the sound level exceeded during a period of time. For example, the L_{90} sound level is the sound level exceeded during 90% of the measurement period. If the measurement period is 60 minutes long, then the L_{90} is the sound level exceeded during 54 minutes. It is generally lower than the average sound. The L_{90} is generally considered to be the “background” sound level, the baseline level that is present most of the time. Another commonly used statistical level is the L_{10} . The L_{10} is the sound level exceeded during only 10% of the measurement period. If the measurement period is 60 minutes long, then L_{10} is the sound level exceeded during only 6 minutes of the measurement period. L_{10} can be used to quantify the fluctuating sound levels in an environment. L_1 is often used as the maximum sound level for analysis in the design of fitness centers and other facilities where music and amplified speech could disturb adjacent spaces.

The **ambient or background sound level** often refers to the indoor or outdoor sound level without the sound source of interest but with other sounds that contribute to the level. For example, if the sound level of an outdoor condensing unit is being assessed, the extraneous sound of traffic and other mechanical equipment should also be measured to determine if it affects the measurement of the condensing unit. If it does, then a correction factor can be applied.

Sound Transmission Class (STC) is a single number rating of the amount of sound blocked by a material or assembly (a window glazing unit, door, wall, floor-ceiling assembly). This metric is measured in a laboratory under ideal conditions. STC is a single number reduction calculated from the measured one-third octave band spectrum. This metric is mathematically normalized and can be compared other partitions or test data. STC is most appropriately used to assess the ability of a material or partition to block sound in the frequency range of speech. The original sound transmission test reports should be consulted when the sound source contains low frequencies, such as music or mechanical noise. A higher number indicates better performance.

Noise Reduction Coefficient (NRC) is basically the percentage of incident sound that is absorbed by a material. Theoretically, NRC 1.0 (100% of sound absorbed) is the best performance achievable, but manufacturers do sometimes publish test results with NRC's greater than 1.0. Because of the way the test is performed in the acoustical lab and the calculation procedure, NRC's are sometimes higher than 1.0. NRC is a single number rating derived by averaging the measured absorption coefficients for the 250 Hz, 500 Hz, 1,000 Hz, and 2,000 Hz octave bands. It is intended to represent the sound absorption provided by a material in the dominant frequency range of human speech. Most manufacturers of sound absorbing

acoustical products provide the NRC for their products. NRC is mostly used as a convenient means of comparing the acoustical performance of products.

BEFORE THE PLAN COMMISSION
OF THE CITY OF CREST HILL, ILLINOIS

IN RE:)	
)	
The application of the Lockport Township Fire)	
Protection District)	No. PUD-25-1-3-1
)	
)	
For Text Amendments to the City of Crest Hill)	
Zoning Ordinance)	
)	

**FINDINGS AND DECISION OF THE
PLAN COMMISSION AS TO CASE NO. PUD-25-1-3-1
THE APPLICATION OF THE LOCKPORT TOWNSHIP FIRE PROTECTION DISTRICT FOR
TEXT AMENDMENTS TO THE CITY OF CREST HILL ZONING ORDINANCE**

THIS APPLICATION, coming before the City of Crest Hill Plan Commission for decision, and the Plan Commission having heard the evidence in support and opposition to the application at a regularly scheduled meeting held on March 13, 2025, and being fully advised in the premises, THE COMMISSION DOES MAKE THE FOLLOWING FINDINGS:

A. That the applicant, Lockport Township Fire Protection District is the owner of a certain vacant 12.86-acre parcel within the City of Crest Hill, which parcel is zoned M-1 Limited Manufacturing.

B. That the application seeks text amendments to the City of Crest Hill Zoning Ordinance as follows:

Amending Section 2.0 Definitions to add the following definition for “Outdoor Firing Range, Government Training Purposes- The use of a designated outdoor area accessory to a government training facility for the discharging of firearms for the purposes of target practice or military/law enforcement training”;

Amending Table 4: Index of Permitted & Special Uses Non-Residential Uses to include “Outdoor Firing Range, Government Training Purposes, as a permitted Special Use in the M-1 Zoning District;

Amending Section 11.8-5 of the Zoning Ordinance to require one parking space for each firing station plus two parking spaces for instructor and employee use for any approved “Outdoor Firing Range, Governmental Training Purposes”;

Amending Section 8.8-1 (Noise Performance Standards) of the Zoning Ordinance to exempt only approved “Outdoor Firing Range, Governmental Training Purposes” from said Noise Performance Standards.

C. That the application seeking the foregoing text amendments was properly submitted and notice of the application and the Public Hearing were properly published;

D. That no interested parties filed their appearances herein;

E. That the public hearing was opened and called to order on March 13, 2025, and the applicant presented evidence and arguments in support of its application on that date, and members of the public were allowed to make comment and examine the applicant's witnesses. The public hearing was duly transcribed by a certified shorthand reporter of the State of Illinois;

F. That the rules adopted by the Plan Commission for the conduct of Public Hearings by the Plan Commission were duly followed and observed;

G. That the proposed text amendments, as considered under section 12.8 of the zoning code, meet the standards for the granting of the text amendments under section 12.8-6, specifically the considerations under subsections 1-6, as outlined in the Attached Exhibit A.

THEREFORE, it is the decision of the Plan Commission of the City of Crest Hill, Illinois, based upon the evidence heard by same and arguments and suggestions heard at the public hearing, and having duly considered the mandates and standards as set forth in the City of Crest Hill, Illinois zoning ordinance for the approval of text amendments, as follows:

1. That the application of the Lockport Township Fire Protection District for the text amendments to the City of Crest Hill Zoning Ordinance outlined in paragraph B above were recommended to be approved and is supported by the evidence adduced.
2. It is therefore the recommendation of the City of Crest Hill Plan Commission that the application for the text amendments be granted.

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Adopted by the Plan Commission of the City of Crest Hill, Illinois, this 13th Day of March 2025 upon the following voice vote:

	Aye	Nay	Absent	Abstain
Commissioner Cheryl Slabozeski	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner John Stanton	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Ken Carroll	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Marty Flynn	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Bill Thomas	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Jeff Thomas	<u>X</u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Angelo Deserio	<u>X</u>	<u> </u>	<u> </u>	<u> </u>

Approved:

Bill Thomas, Chairperson

Attest:

Christine Vershay-Hall, City Clerk

EXHIBIT A
PLAN COMMISSION FINDINGS OF FACT

Item 1.

1. The effect the text amendment would have on comprehensive planning in the community and the extent to which the proposed amendment would be consistent with Crest Hill's planning objectives.

There are currently no provisions in the Crest Hill Code for firing ranges as a permitted use, or permitted special use, in any Crest Hill Zoning District. Consideration of the limited text amendment to allow only a firing range for governmental training as a Special Use in only the M-1 District would not compromise or be otherwise inconsistent with City of Crest Hill Comprehensive Plan or the City's planning objectives. Based on the testimony presented at the Public Hearing, the proposed facility will be of great public benefit.

2. The consistency of the proposed text amendment with other provisions in this Ordinance.

The proposed text amendment is not inconsistent with other provisions of the zoning ordinance as far as it will create a new, although limited use that must still go through the special use process of the zoning ordinance.

3. The degree to which all property owners in the community, zoned in similar classifications, would be benefited or affected by the zoning text amendment; and the extent to which the proposed amendment would or would not benefit or affect one (1) or a selected and small group of property owners only.

The proposed text amendment would apply equally to any governmental training facility but would otherwise not benefit other owners of property with M-1 zoning.

4. The extent to which the text amendment will ameliorate a condition in this Ordinance which is, from a legal or administrative standpoint, deficient.

As previously stated, the zoning ordinance is silent as to any gun range, private, public, or governmental. The limited governmental use being sought is requested based on the asserted public benefit. If such a use is deemed to be permissible as a special use, then the zoning ordinance must be amended to clearly delineate the nature of the allowed special use.

5. The need for the zoning text amendment.

The proposed text amendment does clarify the ordinance and is limited to solely the use being requested by the applicant, another unit of government, and the need for the governmental firing range was demonstrated during the public hearing.

6. Whether or not the proposed text amendment, if adopted, will require other provisions of this Ordinance to be changed or modified and, if so, the way in which the Ordinance will have to be further modified and amended.

The application requests a total of 4 text amendments to the zoning ordinance which, if all are approved, will not require any further amendments to the zoning ordinance relative to a governmental training firing range.

BEFORE THE PLAN COMMISSION
OF THE CITY OF CREST HILL, ILLINOIS

IN RE:)	
)	
The application of the Lockport Township Fire)	
Protection District)	No. PUD-25-1-3-1
)	
)	
For Text Amendments to the City of Crest Hill)	
Zoning Ordinance)	
)	

**FINDINGS AND DECISION OF THE
PLAN COMMISSION AS TO CASE NO. PUD-25-1-3-1
THE APPLICATION OF THE LOCKPORT TOWNSHIP FIRE PROTECTION DISTRICT
MIDWEST INDUSTRIAL FUNDS, INC. FOR WAIVER OF VARIOUS PRELIMINARY/FINAL
PUD APPLICATION SUBMISSION REQUIREMENTS AND FOR APPROVAL OF VARIOUS
SPECIAL USE PERMITS AND PLANNED UNIT DEVELOPMENT EXCEPTIONS FOR A 12.86
ACRE PARCEL OF VACANT PROPERTY WITHIN THE CITY OF CREST HILL**

THIS APPLICATION, coming before the City of Crest Hill Plan Commission for decision, and the Plan Commission having heard the evidence in support and opposition to the application at a regularly scheduled meeting held on March 13, 2025, and being fully advised in the premises, THE COMMISSION DOES MAKE THE FOLLOWING FINDINGS:

A. That the applicant, Lockport Township Fire Protection District is the owner of a certain vacant 12.86-acre parcel within the City of Crest Hill, which parcel is zoned M-1 Limited Manufacturing.

B. That the application seeks the following waivers of Preliminary/Final PUD Application Submission requirements:

Waiver of Final Construction Drawings pursuant to Section 10.3-3(c);
Waiver of submission of a Market Analysis pursuant to Section 10.3-2(b)(8);
Waiver of a Tax and School Impact Analysis pursuant to Section 10.3-2(b)(8).

That the application also seeks an M-1 special use for construction and operation of a new Outdoor Firing Range, Government Training Purposes, as an accessory use to the Requested Special Use for the construction and operation of a new Institutional Use in the form of a proposed training complex on the property described in the application, approximately 12.86 acres on the south side of Division Street and part of PIN: 11-04-29-200-009-0000 (the "Property"), as legally described in Exhibit "A". The Application also seeks Preliminary and Final PUD Plan approval and Planned Unit Development Exceptions, as follows

Reduction in the minimum amount of masonry required on building facades pursuant to Section 8.7-2(2)(b);

Permit the use of metal panels on certain exterior building facades, which are prohibited by Section 8.7-3.

Allow multiple accessory structures to have a height more than 15 feet as limited and restricted by Section 8.3-7.

Permit the use of shipping containers of accessory training buildings despite the prohibition in Section 8.3-9.6.

Permit a wall sign to be installed at a height of less than 10 feet from grade as required by Section 15.12.080 of the City Sign Ordinance.

Permit the driveway curb cut from the facility onto Division Street to exceed 30 feet in width as required by Section 15.04.040 of the City Code of Ordinances.

Eliminate the required parking lot landscape islands as required by Section 11.6-2.

Eliminate the requirement to have a designated loading zone as required by Section 11.11-15.

- C. That the Property is currently zoned M-1;
- D. That the proposed use is not allowed on the Property as currently zoned;
- E. That the Property described in the application is currently zoned as Manufacturing District, with M-1 zoning adjacent thereto;
- F. That the application for the special use permits, planned unit developments exceptions, and waivers of preliminary/final PUD application submission requirements was properly submitted to the City and notice of the application and the Public Hearing were properly published;
- G. That no interested parties filed their appearances herein;
- H. That the public hearing was opened and called to order on March 13, 2025, and the applicant presented evidence and arguments in support of its application on that date, and members of the public were allowed to make comment and examine the applicant's witnesses. The public hearing was duly transcribed by a certified shorthand reporter of the State of Illinois;
- I. That the rules adopted by the Plan Commission for the conduct of Public Hearings by the Plan Commission were duly followed and observed;
- K. That the proposed special uses for the Proposed Training Complex and for an Outdoor Firing Range, Government Training Purposes as an accessory use, as considered under section 12.7 of the zoning code, meets the standards for the granting of the special use under section 12.7-6 as the proposed development meets all of the criteria set forth in subsections 10.6 and 12.7-6(1), (2), (3), (4), (5) and (6) for the reasons set forth on the record in the meeting held on March 13, 2025 as well as those recommendations and comments outlined in the City of Crest Hill staff report dated March 13, 2025 and the March 13, 2025 addendum to that report, and subject to the conditions set forth therein;
- L. That the requested waivers of the various Preliminary/Final PUD Application Submission requirements, are for the reasons set forth in the City of Crest Hill staff report dated March 13, 2025, also determined to be acceptable and meet the requirements for waiver established by the zoning ordinance;

M. That the Planned Unit Development Exceptions requested in the application are also determined to be conditionally accepted for the reasons set forth on the record in the March 13, 2025 Plan Commission meeting and in the City of Crest Hill staff report and addendum dated March 13, 2025.

THEREFORE, it is the decision of the Plan Commission of the City of Crest Hill, Illinois, based upon the evidence heard by same and arguments and suggestions heard at the public hearing, and having duly considered the mandates and standards as set forth in the City of Crest Hill Illinois code of ordinances and zoning ordinance for the granting of special uses and Planned Unit Developments, as follows:

1. That the application of the Lockport Township Fire Protection District for an M-1 special use for the preliminary and final Planned Unit Development (PUD) plans with the reviewed plans for a Governmental Training Complex with an accessory Outdoor Firing Range, Governmental Training Purposes on the vacant 12.86 acre property located on the south side of Division Street, PIN: 11-04-29-200-009-0000 (the "Property"), as legally described in Exhibit "A", in a M-1 zoning district was conditionally recommended to be approved and is supported by the evidence adduced during the March 13, 2025 public hearing and as outlined in the March 13, 2025 City of Crest Hill staff report and addendum;
2. That the application of the Lockport Township Fire Protection District for the Planned Unit Development Exceptions for a Governmental Training Complex with an accessory Outdoor Firing Range, Governmental Training Purposes on the vacant 12.86 acre property located on the south side of Division Street, PIN: 11-04-29-200-009-0000 (the "Property"), as legally described in Exhibit "A", in a M-1 zoning district was conditionally recommended to be approved and is supported by the evidence adduced during the March 13, 2025 public hearing and as outlined in the March 13, 2025 City of Crest Hill staff report and addendum;
3. That the application of the Lockport Township Fire Protection District for waiver of Preliminary/Final PUD Application Submission Requirements for a Governmental Training Complex with an accessory Outdoor Firing Range, Governmental Training Purposes on the vacant 12.86 acre property located on the south side of Division Street, PIN: 11-04-29-200-009-0000 (the "Property"), as legally described in Exhibit "A", in a M-1 zoning district was recommended to be approved and is supported by the evidence adduced during the March 13, 2025 public hearing and as outlined in the March 13, 2025 City of Crest Hill staff report and addendum;
4. These conditional approvals are subject to all conditions enumerated in the March 13 2025 City of Crest Hill staff report and addendum which are attached hereto and made part of this Findings and Decision document.
5. It is therefore the recommendation of the City of Crest Hill Plan Commission that the application for the special uses, waivers, and Planned Unit Development Exceptions as outlined herein be conditionally approved.

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Adopted by the Plan Commission of the City of Crest Hill, Illinois, this 13th Day of March 2025
upon the following voice vote:

	Aye	Nay	Absent	Abstain
Commissioner Cheryl Slabozeski	<u> </u>	<u> X </u>	<u> </u>	<u> </u>
Commissioner John Stanton	<u> X </u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Ken Carroll	<u> X </u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Marty Flynn	<u> X </u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Bill Thomas	<u> X </u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Jeff Thomas	<u> X </u>	<u> </u>	<u> </u>	<u> </u>
Commissioner Angelo Deserio	<u> X </u>	<u> </u>	<u> </u>	<u> </u>

Approved:

Bill Thomas, Chairperson

Attest:

Christine Vershay-Hall, City Clerk

“Exhibit A”

LEGAL DESCRIPTION

PERMANENT INDEX NO: 11-04-29-200-009-0000

LEGAL DESCRIPTION

THAT PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 36 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 29; THENCE SOUTH 87 DEGREES 56 MINUTES 40 SECONDS WEST, ON THE NORTH LINE OF SAID NORTHEAST QUARTER, 400.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02 DEGREES 03 MINUTES 20 SECONDS EAST, PERPENDICULAR TO SAID NORTH LINE, 800.00 FEET; THENCE SOUTH 87 DEGREES 56 MINUTES 40 SECONDS WEST, PARALLEL WITH SAID NORTH LINE, 700.00 FEET; THENCE NORTH 02 DEGREES 03 MINUTES 20 SECONDS WEST, PERPENDICULAR TO SAID NORTH LINE, 800.00 FEET TO THE NORTH LINE OF SAID NORTHEAST QUARTER; THENCE NORTH 87 DEGREES 56 MINUTES 40 SECONDS EAST, ON SAID NORTH LINE, 700.00 FEET TO THE POINT OF BEGINNING), ALL IN WILL COUNTY, ILLINOIS.

MINUTES OF THE
CREST HILL PLAN COMMISSION

The March 13, 2025, Plan Commission meeting was called to order by Chairman Bill Thomas, at 7:00 p.m. in the Council Chambers of the City Center, 20600 City Center Boulevard, Crest Hill, Will County, Illinois.

The Pledge of Allegiance was recited in unison.

Roll call indicated the following present: Chairman Bill Thomas, Commissioner Ken Carroll, Commissioner Angelo Deserio, Commissioner Jeff Peterson, Commissioner Marty Flynn, Commissioner John Stanton, Commissioner Cheryl Slabozeski.

Also present were: Interim City Administrator Tony Graff, Police Chief Ed Clark, Economic & Community Development Director Patrick Ainsworth, Community Development Consultant Ron Mentzer, City Engineer Ron Wiedeman, Building Commissioner Don Seeman, City Attorney Mike Stiff, Administrative Clerk Samantha Tilley.

Absent were: None.

APPROVAL OF MINUTES: Chairman Thomas asked for a motion to approve the minutes from the regular meeting held on September 12, 2024, for Commission approval.

(#1) Motion by Commissioner Peterson seconded by Commissioner Slabozeski, to approve the minutes from the regular meeting held on September 12, 2024.

On roll call, the vote was:

AYES: Commissioners Peterson, Slabozeski, Deserio, Carroll, Flynn, Chairman Thomas.

NAYES: None.

ABSTAIN: Commissioner Stanton.

ABSENT: None.

There being six (6) affirmative votes, the MOTION CARRIED.

PUBLIC HEARING: Chairman Bill Thomas presented case number PUD-25-1-3-1, of Lockport Township Fire Protection District seeking Approval of Various Zoning Ordinance Text Amendments, Special Use Permits, Preliminary and Final Planned Unit Development (PUD) Plans, and Miscellaneous PUD Exceptions, in M-1 Limited Manufacturing District zoned, site located along the south side of Division Street west of Broadway Street and east of Weber Road in Crest Hill, Illinois.

Chairman Thomas asked if the paperwork is in order. The necessary paperwork was in order.

Chairman Thomas asked for a Motion to Open the Public Hearing on Case Number PUD-25-1-3-1.

(#2) Motion by Commissioner Carroll seconded by Commissioner Deserio, to open a public hearing on case number PUD-25-1-3-1.

On roll call, the vote was:

AYES: Commissioners Carroll, Deserio, Flynn, Peterson, Stanton, Slabozeski, Chairman Thomas.

NAYES: None.

ABSENT: None.

There being seven (7) affirmative votes, the MOTION CARRIED.

The Public Hearing was opened at 7:04 p.m.

Chairman Thomas asked the Community and Economic Development Consultant Ron Mentzer to present the specifics on this case.

Consultant Ron Mentzer commented that he is currently the City's Community and Economic Development Consultant and prior to the city hiring Patrick Ainsworth as the full-time Community and Economic Development Director he had served as the city's Interim Community and Economic Development Director for over a year and over that time period he has been involved in the City's ongoing discussions with the Lockport Township Fire Protection District about the proposed new training and maintenance facility.

In 2023, the Fire District contacted the city to set up the first meeting with the staff to let the city know they were working on this project, provide a high-level conceptual overview of the scope of the project, and find out what the city's approval process for the project would be.

In January of 2024, the Fire District appeared before the Council to present an update on the preliminary scope, design, and timing of this project.

In August of 2024, the Fire District submitted their formal application materials for the various special zoning approvals that would be required for the project including a request for a Planned Unit Development (PUD) Special Use Permit.

In September of 2024, the Fire District, consultants, and partners appeared before the City Council at a Work Session meeting to present the conceptual PUD plans, they had prepared up to that point.

In early January of 2025, the Fire District submitted the preliminary and final design documents and application materials.

The purpose of this meeting is to conduct an official public hearing for the various special zoning approvals that would be required for the construction and operation of the proposed new maintenance and training facility. The process of the public hearing was then explained.

It was stated that the Plan Commission is an appointed body, which is appointed by the Mayor with the consent of the City Council, which then makes recommendations to the City Council on special zoning approval requests.

Consultant Mentzer gave a brief overview of the key special approvals that have been requested by the Fire District. It is important to note that the city staff performed a comprehensive review of the detailed application materials for this project and prepared a detailed staff report that was distributed to the Plan Commission and made available to the public on the city's website that staff report provides more detail on each one of these requests.

The first set of requests involves a series of zoning ordinance text amendments that relate to the proposed outdoor firing range component of this project. The first text amendment involves amending the city's zoning ordinance text to add a detailed definition for this type of firing range.

The second text amendment would add the newly defined governmental training firing range use as a possible special use in the M-1 Zoning District. From a zoning perspective, all land uses are either considered prohibited, special uses, or permitted uses. Permitted uses are allowed without going through any type of public hearing process. Uses classified as a special use require the applicant to go through the City's formal public hearing process.

The third text amendment would add a specific parking requirements for this type of use.

The fourth text amendment would exempt governmental training firing ranges from the existing Noise performance standards contained in the City's Zoning Ordinance.

The next set of special zoning approvals that have been requested involve special use permits. The Fire District has requested special use permits for the preliminary and final PUD design plans for the project, the operation of an institutional use in the form of the public safety facility, and for the operation of an outdoor governmental training firing range on the subject site.

This project is being processed as a Planned Unit Development (PUD) with requests for a series of PUD exceptions for detailed components of the projects that do not match up and comply with the letter of all the city's regulations and ordinances, which include:

- Allow one of the facades of the building to have a reduced amount of masonry materials.
- Allow increased accessory structure height for the training tower classroom/building.
- Allow the main burn tower building and the adjacent outdoor classroom facility to be constructed with shipping containers.
- Allow to increase the maximum width of the only driveway they have proposed for this project on Division Street.
- Allow a parking lot islands that would allow them to be paved and striped instead of landscaped.
- Allow a large, designated loading zone.
- Allow the bottom edge of the wall sign on the west building façade of the main facility to be located six feet above grade.

Chairman Thomas asked Chief O'Connor of the Lockport Township Fire District to approach the podium to be sworn-in and present the case. Chief O'Connor was sworn in.

Chief O'Connor introduced himself and thanked all for giving them the opportunity to present their project. He introduced Jason Estes, and Jennifer Villena, who are the project architects from FGM Architects Inc. (FGMA). He also introduced Deputy Chief Ron Huff from the Lockport Police Department who will discuss the details and the training opportunities of the public safety range. Also, with them tonight is Nathan Sevens, the Principal Consultant from Soundscape Engineering who will present the findings of the outdoor sound study.

Chief O'Connor gave a detailed PowerPoint presentation on the proposed new training and maintenance facility project.

He explained how the facility will improve the Fire District operations and reduce the response times for local police and fire agencies, the importance of realistic training and how it enhances emergency response efforts and ultimately improves public safety.

Chief O'Connor commented that as the Fire Chief his primary responsibility is to ensure the Fire District is properly staffed, trained, and equipped to handle emergencies across a forty-six square mile jurisdiction serving 85,000 residents and that the Fire District's first responders return home safely to their families.

Over time, the hazards first responders deal with have changed and become more dangerous and complicated. This continues to require more coordination and collaboration among the emergency response teams that respond to local emergencies and calls for public safety response. The new training facility will enhance how the various specialized first responders provide service, which will in turn help improve the quality of life for the residents and create a safer community. This requires extensive ongoing training to make all first responder personnel prepared, efficient, and safe, which is why a dedicated training facility is essential.

This state-of-the-art facility will provide Police and Fire personnel with advanced and realistic opportunities that exceed the continuously increasing mandated training requirements.

The proposed project site is located on a portion of the former Stateville property the Fire District received from the State of Illinois for the specific purpose of creating a new training facility that would serve as the hub of inner agency coordination and support critical public safety training and operation functions in a unified setting. This project will also include space for emergency vehicle maintenance.

The purpose of this facility is to improve response time for training, standardized training across the district, enhanced hands-on realistic training and this facility will consolidate all resources in one central location. The more realistic the training is the more proficient the fire fighters become, and increased proficiency leads to safer operations.

This facility would also offer a cost-effective solution to satisfy regional first responder training needs. Currently, they must rent out of district training facilities which takes the companies out of

service. Additionally, members pay to take classes at other fire facilities because they do not have the resources to provide those classes internally.

Jason Este from the architectural firm the Fire District has retained to design this project, FGMA approached the podium and was sworn in. Jason commented that the site is just under thirteen acres in area and includes a proposed 23,100 square foot training and maintenance building that would contain three classrooms that are fifty seats each, a breakout area, a kitchenette, EMS and training offices, and restrooms.

He also commented that the facility will also provide a centralized location to store reserved equipment where fire companies can come and drop off a vehicle for repair or maintenance and then be able to swap vehicles quickly which would bring the company back into full-service capabilities.

Jason then explained the design and benefits associated with the proposed training tower, which is a critical component of the training facility. The four-story training tower will provide realistic fire suppression, search and rescue emergency response, and live fire training with burn rooms. These would have live training scenarios where they would have the police there as well. The training tower classroom is a place to get out of the weather, discuss training and regroup if needed.

A brief video was played to help further illustrate the design and explain the benefits of the training tower.

There will also be an auto extrication pad where they will take practice vehicles and put them into situations for extrication training, as well as learning on the modern technology like electric vehicles.

There will be a storm water detention / training pond that will pull dual purposes of water rescue, including dive operations, boat rescue operations, ice rescue and drafting and pumping drills.

On site, there will be a Fire, EMS, and Police Memorial overlooking the pond by the boat ramp centrally located.

Chief O'Connor explained that when the Fire District acquired this site from the State of Illinois with the support of several State Legislators. The goal was to establish a dedicated training site to meet all their operational needs. As part of the initial plan, a small firing range was included for the arson investigators, who like Police Officers must complete mandatory annual qualifications. Recognizing the challenge, that all local first responders face regarding securing range time at the existing Department of Corrections and State Police District 5 firing range facilities, they identified this project as a potential solution to that issue. After discussions with the Lockport Police Department, it was learned that they face similar challenges and while they had secured funding, they lacked a suitable location to build a firing range. Since Lockport Police have the funding and expertise, and Lockport Fire District had the land, the idea emerged to combine funding and resources and expand the project from a fire training facility to a public safety training facility that will serve the fire and police agencies in Lockport Township including the City of Crest Hill Police

Department, the Village of Romeoville Police Department and Lewis University Police Officers at no charge.

Deputy Chief Ron Huff from the Lockport Police Department, approached the podium and was sworn in. Deputy Chief Huff introduced himself and stated that he has spent the last twenty years as a firearms instructor and a Range Master with the Police Department.

He stated that this is a unique opportunity to bring all the agencies together to a single training ground that provides limitless opportunities. Currently, the mandates for police training in the State of Illinois are forever increasing. As of now they have eighteen classes that must be attended in addition to basic training, firearm qualifications and other ancillary training.

Only public safety agencies within the Lockport Township Fire Protection District will be allowed to use the range, which is five agencies, and they will be under the supervision of the Range Master from the Lockport Police Department, who will also write the guidelines for the use and operations. The Range Master will not be on the grounds for every shoot and the other agencies that will use this range will be required to provide their own Range Master to oversee their shoots and ensure their staff operate within the guidelines agreed upon by Lockport Police Department, the LTFPD, and the City of Crest Hill. The range will not be open to the public. The range will be owned by the Lockport Township Fire Protection District but designed, built, and operated by the Lockport Police Department.

The proposed times of the range is no earlier than 7:00 a.m. and no later than 10:00 p.m. on Monday through Friday, on Saturdays and Sundays the hours will be 8:00 a.m. through 4:00 p.m. This will not be every day. Lockport Police Department shoots approximately fifteen times a year, Crest Hill Police Department is similar, and Lewis University and Park District Police would be lower, and the Romeoville Police Department will only use the range for their rifle training since they have their own indoor firing range for handgun training. Most of the training will take place between March and October. They are proposing to be able to do night shootings once per week, but this does not mean that it will happen once per week. Some agencies only do night shooting four times a year.

They are proposing a 100-yard shooting range, which is 110 feet wide in an east to west direction and 375 feet long in a north to south direction. There is an extra seventy-five feet space behind the firing line for officers to reload ammunition, and store equipment.

There will be a 20x60 concrete pad on the north end of the firing range, where a canopy structure will be installed to protect first responders training at the range from weather. Between the east end of the canopy structure concrete pad, there will be a ten-foot pass-through for vehicles needing access to the range. There will also be spotlights on light poles inside the firing range for the nighttime shooting. These lights will be pointed downward facing the south towards the ground and will only be in use when training is taking place at the range. They will not be on all the time, and they are not meant to be security lights.

There will be 24-foot-high berms around three sides of the range for safety and sound suppression purposes. The current standard is an 18-foot back stop berm for a hundred-yard firing range and

their proposal is to increase that by 33% to a 24-foot berm to provide as much sound mitigation as possible. On the north end of the range, there will be a 21-foot-high sound barrier wall which is located behind the shooters to reflect the noise from the gunshots away from the homes to the north.

Jason Estes approached the podium again and gave a brief explanation of the sound barrier wall. He stated that it will be twenty feet tall, and it is perforated fiberglass panel that is meant to be exterior with a structural steel frame and is similar to sound panels on the side of a highway or airport that you would see.

Nathan Sevens, a consultant from Soundscape Engineering, approached the podium and was sworn in. He commented that they were asked to assess the sound mitigation that was being proposed for the project. They modeled the sound impacts that would be generated by two different types of firearms at the proposed range, an AR-15 and a handgun. He explained the key conclusions that were contained in the March 11, 2025, Noise Transition Assessment study his firm prepared. He stated that the study showed that the various sound mitigation improvements incorporated into the design for the proposed firing range would reduce the sound impact of the range on surrounding properties from two decibels for the properties located furthest away from the proposed range to twelve decibels at the nearest residential properties to the northeast. Due to the logarithmic nature of the decibel level measuring scale, a 10-decibel reduction in sound levels would roughly result in the sound being perceived half as loud to the human ear.

Chief O'Connor recognized and thanked those who stepped up and supported the project, which were State Legislator Natalie Manley, State Senator Meg Loughran-Cappel, Will County EMA Director Allison Anderson, Crest Hill Police Chief Ed Clark, Lockport Police Chief Rich Harang, Lewis University Police Chief Mike Zegaldo and Police Chief Brant Hromadka of Romeoville. He then thanked FGMA for their hard work on this project and thanked his Board of Trustees for their support.

He also thanked the city staff of Crest Hill. He then stated this is an important initiative that will help the community better. He also thanked everyone that came out in support for tonight's meeting.

Chairman Thomas asked the commissioners if anyone had a comment or question.

Commissioner Peterson commented that everyone has done a very good job, and he then asked how many officers would be training at the same time and was told as little as seven to a maximum of fifteen at one time.

Commissioner Stanton commented that this project is very well planned and a very thorough presentation.

Commissioner Carroll asked what the forty-six decibels is equivalent to? Nathan with Soundscape Engineering commented that two people talking to each other would be approximately sixty decibels on average where the voices go up and down as you talk.

Commissioner Carroll then asked if there would be a fence for security around the training facility. Chief O'Connor commented that no vehicles will be stored outdoors, and it is a secure building. Commissioner Carroll then commented that he is concerned with the retention pond being there with a boat ramp and asked if they see this being a problem. Chief O'Connor commented that it would be no different than any other water retention pond in any subdivision and this would not be open to the public.

Commissioner Slabozeski commented that it was a very impressive and detailed presentation. She then asked what the additional cost would be to have an indoor firing range? It was then commented that it would be an additional eight million dollars plus to get a long gun indoor range which would be a substantial upcharge. Commissioner Slabozeski then commented that the land has already been gifted so that is a cost savings right there and this would be something to look at.

Commissioner Deserio thanked them for the detailed proposal that was nice to read and had great information.

Chairman Thomas then asked any city staff if they would like to ask a question or make a comment. There were none.

Chairman Thomas had all who were making a public comment stand and be sworn in.

Shawn Hillman, a resident on Borio Drive, commented that he is a proud resident of over twenty years. He grew up in Sycamore Illinois and that is where his father-in-law served the community as a fireman for thirty years before retiring as assistant chief which gives him some insight to this. He then commented that he is glad to be a member of the community that cares for their residents and stated that we have potential in Crest Hill. He then commented that the property adjacent to the proposed training facility would be great to give the residents closer access to facilities such as future healthcare but asked will the sounds of gunshots help us realize our potential. He then commented that he cannot imagine an organization coming to survey the wonderful city and available space and hear gunshots and think this is where they want to set up their organization.

He then commented that he read all the material about the sound barrier proposed but down the road is an existing shooting range for the Illinois State Police that has a berm, and he still hears the gun shots at his home.

He also commented that he is excited to see development towards the training and support of the people who serve our community and are important improvements to be made to serve those who serve the residents, but he believes putting a gun range next to homes and perspective businesses is not a good idea. He then stated that he respectfully asks and challenges the leadership of this community if there is anywhere else, they can consider putting a gun range. He then asked the Commission to please reconsider phase four of this project.

Chief O'Connor commented that they listened to the concerns of the community, especially the Borio area, and have changed a lot in how they designed the gun range. They talked to a lot of experts regarding how sound travels and what they learned they modified how they built the gun range. He then commented that once sound goes up, it does not come down. They also changed

where the range would be on that property and the direction of the gunfire to make sure it does not point towards a residential area.

Jamie Malloy, a resident, commented that she shoots a handgun and when she shoots her handgun, she wears protective ear coverings and she has shot a rifle outside, never indoors but she commented that an AR-15 has got to sound like a canon and that is the part she is worried about for the citizens of Crest Hill.

Todd Randich, a second-generation Lockport Township Fire Fighter. He commented that his father served the community for 42 years and he served the community for 28 years. Currently, he is the president of the Board of Trustees for Lockport Township Fire District. He then commented that when he started there were three people at their station and Crest Hill Police Department had two people on the street and they taught them how to tie to the hydrant, since they did not have the people, and the officers taught them how to deal with a difficult subject when on a call. They worked together and had each other's backs, and they will continue to. He then stated that this is a significant investment for their training for everyone, all agencies and training together to be one. This will make the community the safest.

Claudia Gazal, a resident, and a ward two alderwoman, approached the podium and stated that she was there on behalf of the residents. She commented that a board member from the Arbor Glen Community asked her to represent the residents at this meeting. She read a letter from Julianne Pierce regarding the gun range stating it will lower our value of the homes, terrorize animals, upset veterans because no one will want to move near the range because of the noise of gun shots. She does want the firemen and police to be trained and work in harmony but would like to see the gun range indoors or removed.

Claudia also commented that the commission is an advisory board, and the Council will override the approval by the Plan Commission with a 2/3 majority vote and reminded the board they only make recommendations, but she is standing in front of the commission as a representative for her ward 2 residents. She also asked the commission to think about their vote and stated that they are not against the facility, and they think it is beautiful and brings many good things to the city. She also commented that she knows what it takes to be family of an officer since her son is an officer and he was hurt because he was a new officer and needed to train and learn more. She then asked why they are mixing these police and fire together. She then stated that another problem is if it comes to the Council, and they vote it down because of the firing range, the entire facility would be voted down.

Claudia also asked the attorney if they did not separate the gun range from the facility and if it is voted down by the Council will the entire facility be gone. Attorney Stiff commented that it would not necessarily be gone because they are asking for a text amendment to allow for the gun range component and the City Council could act on that request separately from the other requests for the overall project.

Claudia than asked a question for another residents, if any of the existing fireman or police officers from Lockport live close to a fire range? She then commented that Crest Hill has been fighting for the two hundred acres off Weber Road, and she is concerned that developers will not build homes

next to a fire range. She then commented that any decisions we make now affect the future of our residents.

She then thanked the only commissioner for asking if the gun range could be indoors.

Claudia then stated that there are two representatives on the commission from Carillon Lakes Community and stated that they would come to meetings because of the noise from the trucks backing up but she commented that when they purchased their homes they knew there was commercial warehouses by Carillon Lakes Community but when the residents purchased their home they were not informed that they would be building a gun range.

Claudia then asked the commissioners of the Plan Commission Board to think about the future for the residents. She also commented that she is not against the facility nor are the residents, but they are against the gun range.

John Batusich, a resident, commented that he hears the gun fire and so does everybody in Crest Hill, Lockport, and Joliet area hear. He then commented that these agencies are going to continue to shoot, and they will continue to hear gun fire that will be louder compared to what the gun range will be. It is a state-of-the-art outdoor facility at a reasonable cost with a partnership with another taxing body and putting our resources together to help each other out to be cost effective.

John then commented that the gun ranges at Stateville and District 5 have been around since the 1960s and then asked Claudia when she built her house because three-gun ranges were there when the subdivision was built and sold those homes. He then said that if development came in now, they would hear gun fire as it is now, but they will not hear the gun firing from this facility, and it would not be until 11:00 p.m. He then commented that to stop this project because of the gun fire versus the benefits that this facility will provide does not outweigh.

He commented that over thirty years ago he arrived first on a call and had to pick an officer up off the street who passed away and he does not want that to happen again because of the sound of gun fire stopping the best training for the fire and police departments in this area.

Patricia Burnett approached the podium and was sworn in. She commented that she lives in Lockport by the high school. She commented that she had called for an ambulance twice in the last few years and when they arrived the Police Department and the Fire Department were there working together. She then commented that she can hear the gunshots where she lives, and they used to bother her but now it gives her great feeling of goodness because she knows they are training. She also stated that two years ago at the Canal Days of 2023 her husband and her were sitting on the curb watching the parade go by and she looked up and seen snipers on the downtown buildings, but those snipers were there to protect the people, so another Highland Park incident did not happen in their neighborhood. With that said, she stated that she wants those snipers very well trained. She then commented that we used to not have to worry about our children having a shooter in the school but currently they must train for it when that happens.

Chairman Thomas asked for a Motion to Close the Public Hearing on Case Number PUD-25-1-3-1.

(#3) Motion by Commissioner Peterson seconded by Commissioner Carroll, to close the public hearing on case number PUD-25-1-3-1.

On roll call, the vote was:

AYES: Commissioners Peterson, Carroll, Deserio, Slabozeski, Flynn, Stanton, Chairman Thomas.

NAYES: None.

ABSENT: None.

There being seven (7) affirmative votes, the MOTION CARRIED.

The Public Hearing was closed at 8:45 p.m.

Commissioner Slabozeski commented that she has a conflict. She stated that her conflict is that we have two parties disagreeing with one another and she believes in compromise so everyone can live in harmony with one another and stated that there must be a solution to this problem where everyone is happy, and we just have to find that solution.

Chairman Thomas asked for a motion to recommend to the City Council approval of the requested waiver of the various Preliminary/Final PUD Application Submission Requirements as outlined in the March 13, 2025, Plan Commission Staff Report for this case.

(#4) Motion by Commissioner Peterson seconded by Commissioner Flynn, to recommend to the City Council approval of the requested waiver of the various Preliminary/Final PUD Application Submission Requirements as outlined in the March 13, 2025, Plan Commission Staff Report for this case.

On roll call, the vote was:

AYES: Commissioners Peterson, Flynn, Stanton, Carroll, Slabozeski, Deserio, Chairman Thomas.

NAYES: None.

ABSENT: None.

There being seven (7) affirmative votes, the MOTION CARRIED.

Chairman Thomas and Attorney Stiff commented that the entire staff report, the addendum, and the sound study is all online for everyone to read in detail.

Consultant Ron Mentzer commented that if you are interested in locating those documents it is under the Agenda and Minutes section of the City's website and if you are having problems locating those documents, please contact the Clerk's Office or the Community Development Department at the city.

Chairman Thomas asked for a motion to recommend to the City Council approval of the requested Zoning Ordinance text amendments as outlined in the March 13, 2025, Plan Commission Staff Report for this case.

(#5) Motion by Commissioner Deserio seconded by Commissioner Carroll, to recommend to the City Council approval of the requested Zoning Ordinance text amendments as outlined in the March 13, 2025, Plan Commission Staff Report for this case.

On roll call, the vote was:

AYES: Commissioners Deserio, Carroll, Stanton, Peterson, Flynn, Slabozeski, Chairman Thomas.

NAYES: None.

ABSENT: None.

There being seven (7) affirmative votes, the MOTION CARRIED.

Chairman Thomas asked for a motion to recommend to the City Council for conditional approval of the various requested Special Use Permits and Planned Unit Development Exceptions as outlined in the March 13, 2025, Plan Commission Staff Report and the March 13, 2025, Staff Report Addendum for this case and with the additional condition that the location of the proposed firing range sound attenuation wall be adjusted as outlined in the March 11, 2025, Noise Transition Assessment prepared by Soundscape Engineering.

(#6) Motion by Commissioner Peterson seconded by Commissioner Stanton, to recommend conditional approval of the various requested Special Use Permits and Planned Unit Development Exceptions as outlined in the March 13, 2025, Plan Commission Staff Report and the March 13, 2025, Staff Report Addendum for this case and with the additional condition that the location of the proposed firing range sound attenuation wall be adjusted as outlined in the March 11, 2025, Noise Transition Assessment prepared by Soundscape Engineering.

On roll call, the vote was:

AYES: Commissioners Peterson, Stanton, Carroll, Deserio, Flynn, Chairman Thomas.

NAYES: Commissioner Slabozeski.

ABSENT: None.

There being six (6) affirmative votes, the MOTION CARRIED.

Chairman Thomas informed the petitioner that the Plan Commission is a recommendation body only. The City Council will hear about the case and have an official vote.

Chairman Thomas then commented that whenever he thinks about needing a First Responder to come to his house, he hopes that they have been well trained and prepared, and this facility will make sure they are the best prepared and trained First Responders in our community.

OTHER BUSINESS: There was no other business.

PUBLIC COMMENTS: There were no public comments.

Commissioner Carroll commented that he would not be here if it were not for the Lockport Township Fire Department. He commented that he had an asthmatic attack and had to call 911 and within four minutes the fire department arrived and had him bagged and on his way to the hospital,

where he spent 24 hours on a ventilator in Intensive Care Unit. He then thanked the Lockport Township Fire Department and stated he would not be here today if it was not for them.

There being no further business before the Commission a motion for adjournment was in order.

(#7) Motion by Commissioner Flynn, seconded by Commissioner Carroll, to adjourn the March 13, 2025, Plan Commission meeting.

On roll call, the vote was:

AYES: Commissioners Flynn, Carroll, Slabozeski, Deserio, Peterson, Stanton, Chairman Thomas.

NAYES: None.

ABSENT: None.

There being seven (7) affirmative votes, the MOTION CARRIED.

The meeting was adjourned at 8:53p.m.

As approved this _____ day of _____, 2025.

As presented _____

As amended _____

BILL THOMAS, COMMISSION CHAIRMAN

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CREST HILL PLAN COMMISSION
MARCH 13, 2025

REPORT OF PROCEEDINGS had in the above-entitled matter, at 20600 City Center Boulevard, Crest Hill, Illinois, commencing at 7:00 o'clock p.m. on the 13th day of March, 2025.

BEFORE:

Ron Mentzer, Community/Economic Development Consultant
Pat Answorth, Director of Community and Economic Development
Samantha Tilley, Administrative Clerk
Mike Stiff, City Attorney
Bill Thomas, Chairman
Ken Carroll, Vice Chairman
Cheryl Slabozeski, Commissioner
John Stanton, Commissioner
Marty Flynn, Commissioner
Angelo DeSerio, Commissioner
Jeff Peterson, Commissioner

PRESENT:

Lockport Township Fire Protection District
Chief John O'Connor

Lockport Police Department Deputy Chief Ron Huff

Jason Estes and Jennifer Villena, FGMA

Nathan Sevensen, Soundscape Engineering

* * * * *

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CHAIRMAN THOMAS: Okay. Welcome. I would like to call the March 13th, 2025 Plan Commission Meeting to order at 7:00. If you're able, please rise for the Pledge of Allegiance.
(Pledge of Allegiance.)
CHAIRMAN THOMAS: Thank you.
Roll call, please.
SAMANTHA TILLEY: Bill Thomas?
CHAIRMAN THOMAS: Yes. Here.
SAMANTHA TILLEY: Ken Carroll?
COMMISSIONER CARROLL: Here.
SAMANTHA TILLEY: Cheryl Slabozeski?
COMMISSIONER SLABOZESKI: Here.
SAMANTHA TILLEY: Angelo DeSerio?
COMMISSIONER DESERIO: Here.
SAMANTHA TILLEY: Jeff Peterson?
COMMISSIONER PETERSON: Here.
SAMANTHA TILLEY: Marty Flynn?
COMMISSIONER FLYNN: Here.
SAMANTHA TILLEY: John Stanton?
COMMISSIONER STANTON: Here.
SAMANTHA TILLEY: Thank you.
CHAIRMAN THOMAS: Okay. Thank you.

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I would like to introduce, before we get going, our new director of community and economic development, Pat Answorth, and also our community and economic development consultant, Ron Mentzer, and then else up here is our attorney, Mike Stiff.

So I would like to start by having a motion to approve the minutes from the Plan Commission Meeting held on September 12th, 2024.

COMMISSIONER PETERSON: I'll make that motion.

COMMISSIONER SLABOZESKI: Second.

CHAIRMAN THOMAS: Motion by Commissioner Peterson. Second by Commissioner Slabozeski.

Roll call, please.

SAMANTHA TILLEY: Jeff Peterson?

COMMISSIONER PETERSON: Yes.

SAMANTHA TILLEY: Cheryl Slabozeski?

COMMISSIONER SLABOZESKI: Yes.

SAMANTHA TILLEY: Angelo DeSerio?

COMMISSIONER DESERIO: Yes.

SAMANTHA TILLEY: Ken Carroll?

COMMISSIONER CARROLL: Here. Yes.

SAMANTHA TILLEY: John Stanton?

COMMISSIONER STANTON: Abstain.

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SAMANTHA TILLEY: Marty Flynn?
COMMISSIONER FLYNN: Yes.
SAMANTHA TILLEY: And Bill Thomas?
CHAIRMAN THOMAS: Yes again.
SAMANTHA TILLEY: Motion carried.
CHAIRMAN THOMAS: Okay. Thank you all for coming. I appreciate all the input that we have had for tonight, and I promise you anybody who has come and wants to speak will be given the time to do that. So we have one case on our agenda for tonight and it is a public hearing and consideration of Case Number PUD-25-1-3-1 of Lockport Township Fire Protection District seeking approval of various zoning ordinance text amendments, special use permits, preliminary and final Planned Unit Development plans, and miscellaneous PUD exceptions in the M-1 limited manufacturing district site located along the south side of Division, west of Broadway, east of Weber.
Samantha, is all the paperwork in order?
SAMANTHA TILLEY: Yes, it is.
CHAIRMAN THOMAS: So I thought about that, is all the paperwork in order, and sometimes

1 (Pages 1 to 4)

1 you go, well, what paperwork are you talking
2 about. There's the paperwork for this case. I
3 think we set a record.

4 Okay. I would like to have a motion to
5 open the public hearing for Case PUD-25-1-3-1.

6 COMMISSIONER CARROLL: So moved.

7 CHAIRMAN THOMAS: Motion by Commissioner
8 Carroll.

9 COMMISSIONER DESERIO: Second.

10 CHAIRMAN THOMAS: Second by Commissioner
11 DeSerio.

12 Roll call, please.

13 SAMANTHA TILLEY: Ken Carroll?

14 COMMISSIONER CARROLL: Yes.

15 SAMANTHA TILLEY: Angelo DeSerio?

16 COMMISSIONER DESERIO: Yes.

17 SAMANTHA TILLEY: Marty Flynn?

18 COMMISSIONER FLYNN: Yes.

19 SAMANTHA TILLEY: Jeff Peterson?

20 COMMISSIONER PETERSON: Yes.

21 SAMANTHA TILLEY: John Stanton?

22 COMMISSIONER STANTON: Yes.

23 SAMANTHA TILLEY: Cheryl Slabozeski?

24 COMMISSIONER SLABOZESKI: Yes.

1 SAMANTHA TILLEY: And Bill Thomas?

2 CHAIRMAN THOMAS: Yes. The meeting is
3 open at 7:04 p.m.

4 So, again, the subject of this public
5 hearing is to discuss Case PUD-25-1-3-1. I would
6 like to ask our community and economic development
7 consultant, Ron Mentzer, to present some of the
8 specifics of this case.

9 RON MENTZER: Hi. Sorry about that.

10 Good evening, everybody. Thank you,
11 Chairman. I just wanted to start out by providing
12 a high overview -- high level, but brief overview
13 of the history of this project and the City's
14 involvement in it, the purpose of tonight's
15 meeting, and the scope of the most important
16 special approvals that the Fire District has
17 submitted and our ability to (inaudible) tonight's
18 meeting.

19 First, I did want to just clarify a
20 little bit. I am the City's community and
21 economic development consultant currently. Prior
22 to that, prior to the City hiring Patrick as the
23 full-time community and economic development
24 director earlier this year, I had served as the

1 City's interim community development director for
2 over a year, and over that service time I did play
3 a pretty important or extensive role in
4 interacting with the Fire District as they came
5 forward with this project and began discussing it
6 with the City, and then through the evolution of
7 the back and forth, the design and the documents
8 and the approvals that are being presented to you
9 tonight.

10 So, it was just in the last quarter of
11 2023 is when the Fire District contacted the City
12 and set up the first initial meeting with staff to
13 provide a high level conceptual overview of what
14 they were working on and that they were looking
15 forward to submitting for formal City review and
16 approvals. The purpose of that initial meeting
17 was just to kind of let the City know that they
18 were working on this project and it was their
19 intent to move forward with submitting for City
20 approvals at some point in time, and they wanted
21 to get a good handle on what that City approval
22 process looked like. That was, again, in the end
23 of 2023.

24 In January of 2024 the Fire District

1 appeared before the City Council and presented an
2 update on where they were at in the design of the
3 project and preliminary scope of the project. And
4 in August of 2024, the Fire District submitted
5 their formal application materials that have led
6 to where we're at today. And in September
7 of 2024, the Fire District and their consultants
8 and partners appeared before the City Council
9 Workshops meeting to present the detailed
10 conceptual plans that they had prepared up to that
11 point in time, and then in early January of 2025,
12 this year, the Fire District submitted the
13 final -- preliminary and final design documents
14 and application materials for what's going to be
15 discussed tonight.

16 The purpose of tonight's meeting is the
17 official public hearing for this request. The
18 public hearing for special zoning requests by City
19 ordinances is conducted by the Plan Commission.
20 As part of the process there will be presentations
21 by staff and the applicant and the applicant's
22 team. Ultimately the Plan Commission will be
23 afforded an opportunity to ask questions. After
24 the Plan Commissions' questions are addressed,

1 then there will be opportunities for the public to
2 ask questions and provide comments on the
3 proposals and the special approval requests that
4 have been submitted. And, ultimately, the Plan
5 Commission will get to a point where they need to
6 make recommendations to the City Council on the
7 various special approvals that have been requested
8 by the Fire Protection District for this
9 particular project.

10 And, again, the key there is that the
11 Plan Commission is an appointed body appointed by
12 the mayor with the consent of the City Council,
13 and they only make recommendations to the City
14 Council. So this is one step in the process.
15 Ultimately the Plan Commission's recommendations
16 will move forward and be considered by the City
17 Council at a work session meeting, and ultimately
18 the City Council would approve any of the special
19 requests by ordinance at a formal City Council
20 meeting in the future.

21 So, with that, I would just like to
22 give you a brief overview summary, you might
23 say, of the key special approvals that have
24 been requested by the Fire District as part of

1 this. I think it is important to note that
2 City staff did perform an exhaustive review of
3 this project and prepared a detailed 13-page
4 staff report that was distributed to the Plan
5 Commission, and it was made available on the
6 City's website that goes into much more detail
7 on each one of these requests than what I'm
8 going to cover in my summary.

9 But the first set of requests are a
10 series of zoning ordinance text amendments to
11 be made to the proposed outdoor firing range
12 component of this project. The first of those
13 requests involves amending the City's zoning
14 ordinance text to actually add a definition
15 for that type of firing range. To be very
16 specific, it would be an outdoor firing range
17 for governmental training purposes. So it's
18 not -- this is not a for-profit-type facility
19 that's open to the general public. It's for
20 governmental training purposes only.

21 Then the second text amendment would
22 actually add that particular use as a possible
23 special use in the M-1 zoning district. In
24 the zoning perspective all land uses are

1 either prohibited or permitted, meaning people
2 have a right to operate those uses without
3 going through any type of public hearing or
4 special uses. And if they are -- a use is
5 identified as a special use, there has to be a
6 special application and the applicant needs to
7 go through the type of process, public
8 hearing, that we're conducting tonight.

9 The third text amendment that's being
10 requested is to add parking requirements for
11 this type of use.

12 And then, finally, a text amendment would
13 modify the City's existing noise performance
14 standards to specifically exempt this type of
15 use from those standards.

16 The next set of approvals that they
17 have submitted for involve special use
18 permits. They have requested a special use
19 permit for the final design plans for the
20 project, for the operation of an institutional
21 use in the form of the public safety facility
22 that they're going to present tonight on the
23 property, and then, finally, the operation of
24 an outdoor governmental training firing range

1 on the subject site as part of the training
2 facility.

3 There's a series of eight specific
4 Planned Unit Development -- this project is
5 being processed as a Planned Unit Development.
6 There's a series of Planned Unit Development
7 exceptions that they're asking for where
8 specific details of the project don't
9 necessarily match up and comply with the
10 letter of all the City's regulations and
11 ordinances.

12 Those include -- they're looking to
13 have -- one of the building facades to have a
14 reduced amount of masonry materials on it.
15 They're looking to make use of architectural
16 metal panels on the building facades. They're
17 looking for an increase in accessory structure
18 heights; one for the training tower, which
19 will be approximately 45 feet in height.
20 There's an ancillary training tower camp
21 classroom facility adjacent to the training
22 tower, and that would have a canopy over it,
23 and that canopy would have a height of 15
24 foot, six inches. The firing range would be

equipped, as proposed, with a solid attenuation wall, and that attenuation wall would have a height of 20 foot, 6 inches. Those heights all exceed the maximum height of accessory structures allowed by the City's regulation of 15 feet. They're also seeking to use shipping containers to construct the accessory training tower and the training tower classroom facility adjacent to that.

The request -- another request involves increasing the maximum width of the only driveway they have proposed for the project, which is on Division Street, up to a maximum of 150 feet. They're also seeking a parking lot landscape island variance that would allow four of the proposed parking lot islands to be paved and striped versus being landscaped.

They're seeking to eliminate the requirement for a large loading zone on the property, and then they're seeking two sign-related exceptions; one to allow a second wall sign on the project, and that wall sign would be on the west building facade, it would not face Division Street, it would face the

large parking lot that would be constructed on site to support the facility. And then that sign -- second piece of relief that's being requested would be for that sign to have the bottom of the sign only six feet above grade, where ten feet is normally required.

So, with that, I would turn it back over to the Chairman

CHAIRMAN THOMAS: Thank you, Ron.

So I would now like to ask the Lockport Township Fire Protection District -- Chief O'Connor, is that going to be you -- to come to the podium and present your case.

FIRE CHIEF O'CONNOR: There was some conversation about being sworn in. Is that --

CHAIRMAN THOMAS: Yes. I'm sorry.

Would you raise your right hand, please?
(Fire Chief O'Connor duly sworn.)

CHAIRMAN THOMAS: Thank you.

You may proceed.

FIRE CHIEF O'CONNOR: Okay. Can everyone hear me all right? Okay. I'm getting over a cold, so hopefully my voice doesn't give out.

Good evening. I thank you for the

opportunity to present tonight. My name is John O'Connor, Fire Chief of Lockport Township Fire Protection District. With me tonight is Jason Estes and Jennifer Villena, the project veritechs from FGMA. We're also joined by Deputy Chief Ron Huff from Lockport Police Department who will discuss the details and the training opportunities of the public safety range. Lastly, Nathan Sevenser, principal consultant of Soundscape Engineering, who will present the findings of the outdoor sound study for the public safety range.

Tonight we will cover several key topics. No. 1 is how this facility will improve the Fire District operations and reduce response times; the critical training opportunities this facility will provide for police and fire agencies; the importance of realistic training and how it enhances emergency response and improves safety, and an overview of the proposed training complex and what we are building at this facility.

As Fire Chief my primary responsibility,

along with our Board of Trustees, is to ensure the Fire District is properly staffed, trained, and equipped to handle emergencies across a 46-mile jurisdiction serving 85,000 residents.

Additionally, and most importantly, our duties ensure that all 108 firefighter paramedics return home safely to their families at the end of every shift. This is no small task when the nature of emergency response is constantly evolving.

40 years ago Fire Districts' primary focus was fire suppression. We then added EMS. Lockport Fire had some of the first paramedics in the state of Illinois starting in 1978. We expanded our services as the need arose to include fire investigations, technical rescue, and hazardous material response. 20 years ago we added rescue diving, which later evolved to include swift water rescue, boat operations, and surface ice rescue.

Motor vehicle accidents have been a part of our emergency response for a long time, but

1 the hazards have changed drastically with the
2 introduction of electric vehicles.

3 Sadly, active shooter emergencies are a
4 new reality in this country. These incidents
5 have completely changed how emergency response
6 agencies work together. Lockport Fire, with
7 the support of the Romeoville Police
8 Department, was one of the first agencies in
9 Illinois to implement rescue task force
10 training for our personnel.

11 We evolve as the needs of the community
12 evolve. In just the last five years we have
13 established a search and rescue team, which
14 includes a trained canine handling team
15 working alongside drone operators to locate
16 missing persons.

17 We managed the pandemic, which included a
18 mass casualty event in Stateville Correctional
19 Facility, multiple vaccination clinics for
20 at-risk residents, distribution of free PBE
21 for our senior communities, unprecedented
22 challenges we hope to never repeat.

23 We have launched a community risk
24 reduction program, which includes mental

1 health services in collaboration with township
2 government to provide free, accessible
3 counseling to our residents.

4 All these specialized services help
5 improve the quality of life of our residents
6 and create a safer community, but it requires
7 extensive, ongoing training to ensure our
8 personnel are prepared, proficient and, above
9 all, safe. This is why a dedicated training
10 facility is essential.

11 Our program objective. The Lockport Fire
12 District Public Safety Training Ground is a
13 collaborative initiative between state
14 legislators, the Lockport Township Fire
15 Protection District and local police agencies
16 working together to enhance public safety in
17 Lockport Township.

18 This state-of-the-art facility will
19 provide police and fire personnel with
20 advanced, realistic training opportunities
21 that exceed all state mandated requirements.
22 Centrally located within the Fire District on
23 former Stateville property, the proposed
24 training grounds will serve as a hub for

1 interagency coordination supporting various
2 public safety functions in a unified setting.
3 This project will also include space for
4 emergency vehicle maintenance, allowing the
5 Fire District to meet it's own vehicle
6 maintenance needs, while expanding services to
7 other departments. The goal for this facility
8 is to become self-sustaining through these
9 operations.

10 The purpose of this facility. No. 1,
11 improved response times for trainings. Our
12 department is not large enough to take fire
13 companies completely out of service for
14 drills. At times we must respond to
15 emergencies directly from the training
16 grounds. A centrally located facility will
17 reduce response times for those instances.

18 Standardized training across the
19 district. A dedicated facility will provide a
20 controlled, consistent environment for
21 training ensuring uniformity in drills and
22 skill development for all firefighters using
23 standardized resources.

24 Enhanced hands-on realistic training.

1 This facility will consolidate all necessary
2 resources in one location allowing
3 firefighters to train for all types of
4 emergencies. Realistic training is crucial
5 for developing muscle memory and improving
6 performance under pressure.

7 Increased safety and efficiency. The
8 more realistic the training is, the more
9 proficient firefighters become. Increased
10 proficiency leads to safer operations. A
11 well-trained crew can execute tasks
12 efficiently with minimal communication. This
13 saves valuable time in emergency situations
14 where minutes matter.

15 Cost affective training solutions.
16 Currently, we must rent out-of-district
17 facilities for any live fire training, which
18 takes our companies out of service.
19 Additionally, members pay to take classes at
20 other fire departments or facilities because
21 we don't have the resources to provide those
22 classes internally. Having our own facility
23 keeps companies in district and in service,
24 and also allows us the opportunities to host

our own classes.

Improved operational readiness. Operational readiness is the ability of a fire department to effectively respond to emergencies. It is relying upon continuous training, equipment maintenance, personnel preparedness, and interagency coordination. A dedicated facility will enhance all these factors ensuring firefighters, police, and EMS are always prepared.

Facilitate joint training with other agencies. We conduct monthly training with our mutual aid partners. A high quality facility with realistic scenarios will enhance interagency coordination improving response effectiveness.

Additionally, it provides a secure space where police and fire can train together.

Improved ISO score. The insurance service office assigns public protection classification rating to every fire department. This rating from 1, the best, to 10, the worst, is based on several criteria. It is provided to the insurance companies

across the country. These insurance companies use this rating to help determine insurance rates for a particular community. The Lockport Township Fire Protection District currently holds a Class 2 rating. However, we are unable to gain any facility points without a dedicated training facility that is at least four stories tall and on a minimum of two acres. Our proposed training facility will allow us to capture the points needed for an ISO 1 score, which could reduce insurance costs for both residents and businesses within our community.

Back up EOC or emergency operation center for the Will County Emergency Management Agency. In coordination with Will County EMA, we will utilize the training classroom building as back-up emergency operation center ensuring enhanced emergency preparedness for the county.

Lastly, improve response times for specialized emergencies. This is an operational efficiency. With the addition of the training maintenance facility, this will

allow the Fire District to make several operational changes, which will reduce response times and increase efficiency.

Our maintenance program is currently working out of our Station 6. This doesn't take the advantage of the fact that the building is the largest station in our Fire District, it has the most staffing and is centrally located in the Fire District. Currently our specialty equipment and our reserve apparatus are scattered throughout the six stations in our Fire District. This is not optimal. Moving our maintenance to the Division Street facility, we'll be able to utilize Station 6 for all rescue equipment. We have frontline for District 6, including the ambulance, the tower, the battalion chief, which run out of there now, but we'll also be able to store new ARFF vehicle, our dive vehicle, and both technical rescue equipment, our HAZMAT squad, and our fire investigation vehicle.

This will be centrally located, so any type of specialty-type emergency will have

reduced response times throughout the district. These high risk, low frequency specialized incidents are most specifically when time is of the essence. We have trained personnel throughout the district on every shift, but if we can't get that equipment there within a reasonable time, that's when seconds matter the most.

At this time we're going to turn it over to Jason Estes, and he's going to go over project description. Thank you.

CHAIRMAN THOMAS: Jason, would you raise your right hand, please?

(Jason Estes duly sworn.)

JASON ESTES: So to be able to give you a little understanding of what we're doing on the project. So the site is just over -- just under 13 acres graphically shown up on the screen, and we're going to kind of walk you through each of those components. We have basically looked at this in terms of multiple phases. Phase one and two really go after the training and maintenance building, which is the orange box in the upper right. Roads, parking, storm water detention and

the training pond, the big blue circle in the middle. Gravel extrication area, that would be the gray box at the bottom of the page there, and then a serpentine testing course for driving and equipments. Phase three would be brining in the tower training classroom and the burn tower. Those are the two orange boxes at the bottom of the page there that you see. And phase four being the public safety outdoor firing range constructed and operated by Lockport Police Department. So we'll go into each of these with a little bit more information.

Sorry. Going fast on the click.

First and foremost, up front, the training and maintenance facility. This facility in the bottom left is really kind of showing you what's going on. The tan piece is the maintenance portion. What you see below it in large on the right is the classroom training portion of the facility. The entrance being in the gray spot in the bottom left. The red is the classrooms, dividable into three separate classrooms, but also with dividing walls that can be open for a larger training

event. Up to 50 seats each in each of these classrooms, probably at about 100 to 150 as you go through for a larger function. But this also includes support. Obviously if you're in a training classroom situation, you need breakout space, you need lunch space, kitchenette, bathroom facilities and office facilities. So all of this is meant to be self-sustained and that they would be able to host any training within their own district, but, as the Chief stated, to be able to bring additional training in from other departments and comingle training events.

Going the wrong way. There we go. The east side of the facility is the maintenance facility. What you see here are dedicated maintenance bays on the right side, the larger two bays. This allows multiple vehicles to be serviced simultaneously without interference from frontline operations. Currently at the Station 6 it does interfere in some of the operations. This is completely isolated. As we know from any vehicle maintenance right now, it has been difficult

to get vehicles, so some vehicles are in service positions longer than ideal. Being able to keep this isolated and being able to work on multiple vehicles at a single time is an asset.

The facility will also provide the centralized location to store all reserve equipment. Fire companies can drop off vehicles when they come for repairs and be able to swap out vehicles quickly bringing them back into service, which is critical to the operations of the Fire District.

A dedicated maintenance facility will create opportunities and expand vehicle maintenance services for -- for other fire departments. This consolidation of resources will support neighboring departments while generating revenue to offset the operating costs here for this facility.

What you do see on the right is the function that supports the maintenance operations, and on the left, again, offices and washroom facilities to be able to service the mechanics.

We'll go through some elevations just so that you can see things firsthand and then we have some renderings that would give you context.

So what you see on the bottom, the north elevation is actually the face that would be facing Division, the red doors being the maintenance facility and the larger roof on the left side, the east side of the facility. On the right are the classrooms. Actually all of those windows are entering into the classrooms that face the north on Division, and that the far right side is the entry, which is the west elevation in the upper face here. What you will see there is the signage that Ron Mentzer was mentioning that's facing the parking lot on that west elevation. East elevation is facing Stateville to the east, and then south elevation, this is the rear facing the training grounds.

What you do see is a mix of materials in all of these. So this would be from the rear of the facility, parking lot, looking northeast. You see a mix of materials. So

there's a mix of metal, a mix of masonry to play off of the industrial, but also more of the rural look. From Division at the entry, again, you see the entry overhang and the signage that would be facing the parking lot. The light color that you see is a mix of materials, stone modular units, and then the gray being a mix of metal.

Inside some renderings of the interior classrooms. This is the larger space opened up as if it was a larger classroom. The main corridor entries to the classroom, but also holding on to history. A place to be able to give context and training props that students would be able to come see and instructors can come out to the hall to be able to utilize as part of their training. Training happens every day. Break area, kitchenette area for breakout space. It does give access to an outside patio. Again, training would be occurring all year round, so being able to have somewhere for everybody to step away during a week-long training session would be valuable. And, with that, we're going to talk

a little bit about the training tower itself.

The training tower is a critical component. Obviously, as the Chief said, ISO rating, but it's more about what it provides the district. The four stories is a minimal requirement when you look at it, but there are a lot more of these items that this facility will provide. Realistic experience and fire suppression, search rescue emergency response. If you're able to do live fire training, improve fire suppression techniques, search and rescue, not only in this facility in the tower itself, but on the grounds and pertaining to the pond usage, which we will get to later. All the training in here do have burn rooms, live burn rooms, but you're going to basically learn exposure to heat and smoke conditions, multi-story training scenarios that allow them not only to go up, but stage at a higher level to train going down as if you were working on garden level approaches.

Incident command and team coordination. Part of this being a public safety facility is

not only for fire, but to be able to come to a scene live with police and understand how the scene is taken into control and assessed. Forcible entry exercises and other props throughout the site. And I think this is the video.

(Video playing.)

JASON ESTES: To service the training tower you're going to have a training classroom. When they're utilizing evolutions they need a place to be able to talk through preplanning, post-evolution response and review, so what this is, is a place to get out of the weather. If it's raining, if it's just hot, sunny, it's a place to get out of the weather, be able to utilize and reengage -- regroup and reengage.

Construction materials. When you're looking at this, the gray boxes are intermodals, and that allows you to be able to utilize a roof structure. Those pieces are meant to hold equipments and storage that service the burn tower. All of -- everything in there needs to be built, rebuilt because part of it is that you're burning. You need to be able to have materials

and equipment and props. It allows you all of these spaces to be able to keep this equipment.

In addition, you're going to have a place to refill air bottles with an SCBA system, and tool and equipment storage based upon the training that's being utilized during those evolutions for the day.

As you see, understanding it is literally a free-span structure between the boxes. Be able to provide shade, but get air flow through so that, again, staff is able to get out of these conditions.

Adjacent to the burn area you will have an auto extrication training pad. This is where they will take -- I would like to say "donated vehicles." Sometimes. Vehicles that they will practice on, everything from cutting up vehicles, putting them into precarious situations, as well as learning on some of the new technologies, i.e., the EV vehicles that the chief mentioned earlier. This is a place that they can keep up, do multiple pieces on, and not have to worry about the conditions of the area and other equipment.

Storm water detention training pond. So the pond is being utilized for storm water, but it's also going to be utilized for training. This pond will be able to pull a dual purpose for water rescue operations, including dive operations, boat operations, ROV operations, ice rescue, drafting and pumping drills. There's a boat launch, a drafting pit, which allows them to test all of their pumps and be able to utilize this with police as well to be able to make sure in terms of rescues in these scenarios.

On site we are planning on having a fire, EMS, and police memorial, overlooking the pond by the boat ramp centrally located on the staff path that would get you from the training classrooms to the rear training grounds. This is a critical piece and a very important piece that we want to be able to progress. It has not been fully designed yet, this is more concept, but the idea is that we will be looking at developing this as we work through.

I think I'm going to pass it off.

FIRE CHIEF O'CONNOR: Absolutely. Tag me in. Thank you.

So I think the important part is to give a little bit of history besides -- behind the outdoor public firing range.

In 2023 the Fire District acquired 13 acres of Stateville property with the support of several state legislators. Our goal was to establish a dedicated training site to meet all of our operational needs. As part of the initial plan, the small firearm range was included for our arson investigators who, like police officers, must complete annual firearm qualifications. Recognizing the challenge they face in securing range time, Department of Corrections or District 5 facilities, we saw this as a solution to that issue. Discussions with the Lockport Police Department revealed they face similar challenges to our arson investigators but on a much larger scale. While they had secured funding for a firearms range, they lacked a suitable location to build it. They had the funding and expertise and we had the land

that's the Stateville. The idea merged to combine resources and expand the project from a fire training facility into a public safety training safety that could serve both fire and police agencies in Lockport Township. This includes not just Lockport Police, but also Crest Hill, Romeoville, Lewis University, and Lockport park police agencies having access to the training facility at no cost to those departments.

The state granted the land exclusively to the fire department. We had no obligation to share any portion of that, but is that what's best for the community? Police agencies face the same training challenges as fire departments. By working together and sharing resources, we can enhance public safety while maximizing tax payer dollars ensuring both firefighters and law enforcement officers receive high quality training they need to protect our community.

At this time I would like to introduce Deputy Chief Ron Huff from the Lockport Police Department.

(Deputy Chief Ron Huff duly sworn.)

DEPUTY CHIEF RON HUFF: Good evening, Mr. Chairman, members of the Commission.

As the Chief said, my name is Ron Huff. I'm the Deputy Chief for Lockport Police Department, but more important for this conversation is that I have spent the last 20 years as a firearm instructor and a range master with the police department. So shooting ranges is kind of something I have done, so that's why I'm speaking to you today.

So the mutual cooperation support between the five law enforcement agencies and the Fire District, and the Fire District itself is critical to serve the community the best and all the residents who live here. Unfortunately, other areas have police and fire departments that don't always cooperate. This is a unique opportunity to bring all these agencies together into a single training ground that provides limitless opportunities.

Currently the state mandates for police training in Illinois are ever increasing. We're at 18 classes that we have to attend in addition

to basic training, firearms qualification, and any other ancillary training, so this doesn't include specialized training. These are just basic things that we have to have. To do that, you need the space to train. This facility will allow us to train in certain classes and maintain our proficiencies in things like ballistic shield deployment to protect our officers from gun fire; less lethal munitions training, which is critical to deescalating situations without having to use lethal force; high risk traffic stops; active shooter and rescue task force response, which is something 20, 30 years ago was not a priority for law enforcement, which unfortunately has become that. And we have integrated the fire department into that response because we're not paramedics. We found that we can't help people who are injured, and the fire department can't help if they're outside, so we need to work together to be able to bring the fire department into the hot zone. And, as Chief O'Connor said, in Will County, Lockport Township Fire Protection District has been on the cutting edge of that. Deadly forced decision making using paint bullets;

officer and citizen down rescue training; TASER scenario based training; drone deployment training, and then a multitude of other joint trainings for fire, EMS, and local law enforcement.

Having a multiuse space like a firing range that you don't have to use just to shoot guns, located next to a four-story tower that you just don't only have to burn things in, that can be used as interior training space for law enforcement as well as a large classroom, just really sets it to the point that you can use your own imagination and do everything you need to do in a single space. And that's not just us, that's every agency within the Fire District.

For this range itself only public safety agencies within the Lockport Township First District will be allowed to use the range. That's just five of them. The utilization will be free of charge to those agencies, and under the supervision of a range master from our police department who will write the guidelines for its use and operations. We won't be there for every

shoot. Understand that. These departments will be required to provide their own range masters to oversee their shoots, but they have to operate within the guidelines that are agreed upon by us and the Fire District.

This course will not be open to the public. The Lockport Police Department is not interested in running a for-profit firing range. I'm really not interested in running a firing range for 100 police agencies. Five is perfectly manageable. I have other things to do in my daily job than just schedule police departments to come in and out and shoot, so that's not something we're ever looking to expand.

The range facility will be owned by Lockport Township Fire Protection District, but it will be designed, built, and operated by the Lockport Police Department. The intergovernmental agreement will be drafted between us and the Fire District that sets out those parameters. Additional IGAs will be then agreed upon between the other police departments that want to use the range and the

Fire District as well to set those guidelines.

A safety plan will be provided to all these agencies who want to use the range meeting the requirements of the NRA's Range Manual, A Guide to Planning and Construction for a firing range. If you're super interested in reading some nighttime reading, I suggest reading all 27 chapters of it. It covers the design, construction, maintenance, and operational guidelines for firing ranges. It's a nationally accepted standard.

For the proposed operation where the proposal is to start no earlier than 7:00 a.m. and no later than 10:00 p.m. Monday through Friday to use the firing range. On Saturdays and Sundays the firing range will be in use no -- not outside of the hours of 8:00 a.m. to 4:00 p.m. It's important to note that this won't be every day. You won't -- the gunfire won't be generated from that range every day. Lockport Police Department shoots about 15 times a year. The Crest Hill Police Department is probably somewhere similar. The utilization for the Park District Police and

Lewis University are probably lower, significantly lower, and the Romeoville Police Department has already indicated they only wish to use the range for their rifle training as they already have an indoor firing range at their police department for handgun training. And that's majority of law enforcement firearm training is done with a handgun, not the rifle. Also, the majority of training takes place between March and October. We're cops. We don't want to be cold. You know, we keep the heat on when it gets a little bit chilly outside in our squad cars, so we don't put our officers out in inclement weather, you know, in negative 20 degree weather in February. So, like, for example, our first shoot of the year will actually be happening next week, and then our last shoot of the year typically happens before Halloween. So we're really talking about roughly a seven-month span of the year. For the night shoots we want to have it only be a maximum of once per week, but it's important to note that that doesn't mean it will happen once per week that we'll

be out there shooting until 10:00 p.m. Lockport Police Department shoots four times a year at night. That's it. The other agencies are probably there or less. So maybe a -- a maximum of about 20 nights throughout the year, but that's probably not even accurate. That's probably an over estimation. So -- but we want to keep that to one night a week so that -- I know the concern is we don't want to be kept up by gunfire late at night. This will limit it to one day a week. Also it's limiting it to 10:00 p.m. For example, our shoot next week is actually until 11:00 p.m. at the Department of Corrections range, so we're cutting an hour from what we're currently using.

It will be a 100-yard shooting range, which is 110 feet wide east to west, 375 feet long north to south. The extra -- if you do the math there, the extra 75 feet encompasses the distance behind the firing line for officers to reload ammunition, store equipment, things like that.

There will be a 20 by 6 feet concrete

pad on the north side of the property where we will install a canopy structure. That is to protect officers from inclement weather and also from the sun, very similar to the canopy structure that -- not the same size or scope, but for the same purpose of the canopy structure that's being constructed by the burn tower.

Currently there's a proposed additional 20 by 60 concrete pad with plumbing and electric roughed in for a potential future building. That building is not currently budgeted or in the plans, it's just simply an opportunity, while the site is being developed and electric and plumbing services are being supplied, to put that in without having to disrupt any pavement or other services that are already installed. So there is not currently a plan to put a building on the property, that would be a future development.

Between the east side of the covered area and concrete pad and then the burn, there would be a ten-foot pass through for vehicles needing access to the range. We need to be

able to cut the grass, we need to be able to drive target stands down to the end of the range, and Heaven forbid we need access for an ambulance incase somebody gets hurt, so that's why we need that ten-foot space. That's why we can't extend the acoustic wall the entire back width of the range. We have to be able to get vehicles on to the range.

There will be spotlights on light poles inside the firing range for nighttime shooting. Those lights will be pointed down range, so they will be pointed at the berm facing to the south. Those lights will be directed towards the ground, not into the air, and, additionally, those lights will only be on and in use when training is taking place. So, again, a max of one night per week until 10:00 p.m., then those lights will be turned off. It will not be a permanent feature that they'll come on all the time. They're not meant to be security lights.

Mitigation enhancements for sound and safety include 25 -- or 24-foot berms around three sides of the range. On the forth side

1 will be a 20-foot high sounded barrier wall.
2 That wall is located behind the shooters to
3 reflect the noise from the gunshots away from
4 the homes to the south. I'm sorry. Homes
5 from the north.

6 We're proposing a 100-yard range. The
7 current standard is that you require an
8 18-foot backstop berm for a 100-yard firing
9 range. Our proposal is to increase that by
10 33 percent to 24 feet. The goal of that is to
11 try to provide -- and put that same berm along
12 the side to provide as much sound mitigation
13 as we possibly can to try to trap as much
14 noise as we can into the bowl of the range
15 itself and then reflect the noise up.

16 So this will be a private outdoor public
17 safety range proposed exclusively for use by
18 the public safety agencies who work and
19 operate within the Lockport Township Fire
20 Protection District. The range is being
21 designed by a professional architect -- or a
22 professional architect, FGM Architects, with
23 assistance from range masters of the Lockport
24 Police Department. And this is not just us

1 sitting with a napkin and sketching things
2 out. We'll have professionals who know how to
3 build berms and put in the proper safety
4 features that we require. It will be owned by
5 the Fire Protection District, but is operated
6 and supervised by the Lockport Police
7 Department, as defined in our IGA.

8 For environmental protection. This range
9 will be designed and built such that it
10 complies with the U.S. EPA Best Management
11 Practices for Lead at Outdoor Shooting Ranges.
12 There's always a concern about lead getting
13 into ground water when we're talking about
14 firing ranges. The use of natural vegetation
15 to help prevent erosion control and to slow
16 down water runoff will be used on the berms
17 themselves, and then soil remediation will be
18 used within the impact zone of where the
19 bullets land down range in accordance with the
20 standards set by the EPA, which is currently
21 100,000 rounds per firing lane. So it would
22 be 15 firing positions proposed, so every
23 100,000 rounds that each of those lanes put
24 down -- down range, we will remediate the

1 soil, we'll pull it out, you can use soil
2 washing, take the lead out, put the soil back
3 on. That's that roughly, you know, six-foot
4 of dirt just where the bullets are impacting.
5 And then the range will also be designed
6 without any contamination of a waterway as
7 defined by the U.S. Army Corp of Engineers.

8 JASON ESTES: Chief mentioned a sound
9 barrier wall behind the shooting line. This is a
10 sound barrier wall system. It's -- as stated,
11 it's going to be 20 feet tall. It's perforated
12 fiberglass panels meant to be exterior with a
13 structural steel frame. This is very similar to
14 conditions that many of you probably have seen
15 down an interstate in terms of sound panels on the
16 side of a highway. You see them around airports
17 and industrial areas equipments.

18 As stated, we did leave a partial opening
19 on the east side for access, otherwise this goes
20 berm to that access point on the east.

21 And, with that, (inaudible.)

22 CHAIRMAN THOMAS: State your name.

23 NATHAN SEVERNER: Nathan Severner,
24 principal consultant of Soundscape Engineering.

1 CHAIRMAN THOMAS: Okay. Thank you.
2 (Nathan Severner duly sworn.)

3 CHAIRMAN THOMAS: All right. Proceed.

4 NATHAN SEVERNER: My company was asked to
5 asses the sound mitigation that was being proposed
6 for the project and to see how effective it was.

7 So let's see what we got on this slide.
8 We looked at -- well, we looked at two types of
9 firearms; an AR-15 and a handgun. And our
10 understanding was most of the time the handgun
11 will be used. We also used a relatively loud
12 handgun. The reason we used two different types
13 of firearms is because they don't -- these are
14 both relatively loud weapons, but they do not have
15 the same directivity. The handguns tend to send
16 more energy backwards than the rifles do, and so
17 we looked at both of those.

18 The sound levels that you see here on the
19 slide are maximum sound levels. This is -- it's
20 not an average over time. This is not quite an
21 instantaneous, but, as far as your ear is
22 concerned, it's pretty much an instantaneous sound
23 level.

24 The nearest residences are these ones to

the northwest, which are about 2,200 feet away. And I'm going to show you -- we have -- the mitigation that's being put in place for sound was already discussed, but there's a series of berms and then there's a sound wall behind.

There we go. Okay. So we have here our two slides. One on the left is without any sound mitigation. The slide on the right is with the sound mitigation with the berms and the wall, and what you're seeing here is the noise contours unlike topographic contours only with sound levels. And, yeah, it's pretty small up there, but the colors represent the change in sound level as the sound propagates away from the range. You see -- you can see -- this is both with a rifle. The handgun is similar, slightly different, but this is with a rifle. You can see a little better here, a little zoomed in some. You do see the houses to the northwest a little better on this image.

So with these berms in place, with the wall behind, and we looked at the performance of the wall in terms of its (inaudible) performance, how absorbant it is and how much sound does it

block. The column on the right shows the attenuation that we're getting from the berms and the wall, so anywhere from two decibels, which is quite small, up to 12 decibels, but I should say that that two decibels is quite small is because that -- we picked a sampling of receiver locations near residences, that's what these receiver locations 1 through 13 mostly are, they're residential, near residences. That location that only has a two decibel reduction location is actually a very long ways away, so it's not getting very loud in the first place. It's very quiet there, which is why when you get a long ways away from a barrier, like these berms or these walls, they're not as effective. They're most effective for receiver locations for houses that are closer to the range, so this -- that one location is several -- I'm not sure how far it is, it's quite a ways away. So for the -- these receiver locations probably -- you can see where these were, I think it's the last three, 11, 12, and 13, I believe, that are to the northwest near the houses to the northwest, and we are seeing about an 8 to 12 decibel reduction due to the

berms and the wall. And to try to put that into perspective, what we usually say is that a two to three decibel reduction is not really noticeable, and a five to six decibel reduction is easily noticeable and significant, a 10 decibel reduction is cutting the sound level in half. So, all right.

FIRE CHIEF O'CONNOR: In closing, the Lockport Township Fire Protection District in partnership with local law enforcement remains committed to providing our first responders with realistic, high quality training. This investment enhances emergency response, strengthens coordination between fire and police agencies, and ultimately improves community safety. Our public safety training facility is more than just an infrastructure project, it is a critical investment in the safety of both our personnel and the residents who depend on us in the most urgent moments. This initiative reflects a collaboration among state legislators, police and fire agencies and local government ensuring responsible use of taxpayer dollars to protect our community and those who serve it.

Before my time is up, I would like to take a moment to recognize and thank those who stepped up in support of this project. State Representative Natalie Manly, State Senator Meg Loughran Cappel, Will County EMA Director Allison Anderson, Police Chiefs Ed Clark of Crest Hill, Rich Harang of Lockport, Mike Zegaldo, Lewis University, and Brant Hromadka of Romeoville. Each of them provided letters of support attached to the PUD application. I would also like to thank FGMA for all their work on this project and my Board of Trustees for their support. These guys believe in this project as much as I do. I would like to take a moment to thank City Staff. This has been, as they have described, a long process with a lot of work and a sizable stack of information. They have been helpful through this long event guiding us through something we have never been through before, but I think -- and I think that they feel as well -- that this is an important initiative that's going to better help our community.

Finally, I would like to thank everyone who came out to support tonight. Behind me stand

1 police officers and firefighters who protect our
2 community. They are here because your vote
3 directly impacts them. On the street we rely upon
4 each other. The better trained we are, the safer
5 we will be, and the safer our community will be.

6 Thank you for your time and
7 consideration, and we look forward to your support
8 bringing this vision to life.

9 CHAIRMAN THOMAS: Thank you, Chief.

10 Would you stand there just a minute?

11 We're going to give our commissioners each a
12 chance to ask some questions.

13 Commissioner Peterson, we'll start with
14 you.

15 Do you have any questions of the Chief?

16 COMMISSIONER PETERSON: Well, first of
17 all, everybody did a very good job. That was very
18 good.

19 I just have one question for the chief of
20 police. You said 15 lanes of fire, correct?

21 DEPUTY CHIEF RON HUFF: That's correct.

22 COMMISSIONER PETERSON: And so how many
23 officers would be maybe training at the same time?

24 DEPUTY CHIEF RON HUFF: So no more than

1 15. That actually is only for our night shoots,
2 and -- because we -- we get out more of the
3 departments, we do less of them a year. Typically
4 we only allow up to about seven officers on the
5 range at a time, but it could be a maximum of 15.

6 COMMISSIONER PETERSON: Okay. That's
7 all. Thanks.

8 CHAIRMAN THOMAS: Commissioner Flynn?

9 COMMISSIONER FLYNN: I'm good.

10 CHAIRMAN THOMAS: Okay. Commissioner
11 Stanton, any questions?

12 COMMISSIONER STANTON: No, I would like
13 to make a comment. That's very well planned.
14 It's very well planned and very thorough with the
15 engineers, architects, et cetera, so it's a very
16 good presentation that you guys have given. I'm
17 looking forward to it.

18 FIRE CHIEF O'CONNOR: Thank you.

19 CHAIRMAN THOMAS: Thank you.

20 Commissioner Carroll?

21 COMMISSIONER CARROLL: The only question
22 I have is the intensity or the volume of the
23 firing that's going to be going on in the firing
24 range. What is that equivalent to? I mean, are

1 we talking something -- 40-something odd decibels?

2 FIRE CHIEF O'CONNOR: So in this slide,
3 you know, we talk a little bit -- there's a
4 comparison decibel chart on the right that -- I'll
5 let Nathan talk more. I don't know what 46
6 decibels are either, so I think this is helpful,
7 so...

8 COMMISSIONER CARROLL: I see this and I
9 notice here, like a household refrigerator,
10 55 decibels, and, you know, I don't know. I
11 just -- I'm just questioning it and I'm just --

12 NATHAN SEVENER: I didn't see that little
13 chart until just now actually, but, anyway,
14 without me looking at it I'll see if I can answer
15 your question.

16 So, for perspective, when we talk to each
17 other at -- maybe not at this distance with
18 amplification, but just talking to each other,
19 that's about 60 decibels on average where our
20 voices kind of go up and down as we talk, so the
21 average is about 60 decibels. It's not a direct
22 comparison with gunfire because of impulsive
23 nature of gun fire. You can hear it and pick it
24 up from the background. It makes it -- because of

1 that time characteristic, it makes it a little
2 easier to hear than a more continuous noise, but
3 40 decibels, as I was saying before, each ten
4 decibel change is about a doubling or halving of
5 the sound level, it's not the near. So if we --
6 if we have two things happening at the same time,
7 which isn't usually the case with gunfire because
8 it happens very briefly, so it's rare that two
9 shots would actually happen at the same time but,
10 if they did, that's only a three decibel change,
11 and it's actually just a (inaudible) perceptible
12 change if it's truly happening at the same time.
13 So each one of these is 40 compared to people
14 talking, that's two halvings of the sound level,
15 so you drop it by ten decibels down to 50, you
16 drop it another down to 40, then that would be a
17 quarter as loud.

18 COMMISSIONER CARROLL: So that would be a
19 little bit less than two people having a
20 conversation X number of feet from each other?

21 NATHAN SEVENER: It would be quite a lot
22 less, yeah, than two people having a conversation.

23 COMMISSIONER CARROLL: Okay. I have one
24 other question, Bill.

CHAIRMAN THOMAS: Go ahead.

COMMISSIONER CARROLL: There's a lot of valuable equipment that would be stored or in that fire protection facility. Will you have a fence around this thing or is it going to be out in the open or what?

FIRE CHIEF O'CONNOR: There will be no vehicles stored outdoors, so it's a secure building. What's going to be stored there is all our reserve equipment, so in case something breaks, we have an older vehicle that's stocked and ready to go and we can swap out so nothing is out of service. We're not -- we don't skip a beat. But there's a dedicated area with those bays strictly for reserve equipment and it's going to be a secure building.

COMMISSIONER CARROLL: Okay. One of my other concerns was the detention pond. That's an open invitation for somebody to do something there and do you think that will cause any problems? Because you got open water and a boat ramp there and...

FIRE CHIEF O'CONNOR: Yeah. We don't see it any different than any other water retention

pond in any subdivision and there are instances, and that's why we have a dive team that we respond to, but there's quite a few bodies of water in this Fire District, and most subdivisions do have some sort of water retention area that people fish, but this won't be open to the public, and this will be staffed during the day between 7:30 and 3:30. We may even be doing training later than that, but our mechanic will be there, there will be a gate to not allow cars to come into the parking lot in the front, so that area will be secure, and it's not going to be open to the public for fishing or anything like that.

COMMISSIONER CARROLL: Okay. All right. Thank you.

FIRE CHIEF O'CONNOR: You're welcome.

CHAIRMAN THOMAS: Commissioner Slabozeski?

COMMISSIONER SLABOZESKI: Yes. Very impressive and detailed presentation.

One question I do have is: The cost of this facility is approximately \$12 million?

FIRE CHIEF O'CONNOR: It's more than that. It's about -- well, we're taking out a bond

for \$15 million, and then we have some capital money in addition to that, but that was the original when we estimated the project with our finance guy. I mean, we're going on a year and a half now, so I'm anticipating those numbers are, at least, very close to what they were, but it's going to be a bond. We're not going through the taxpayers. It would be very similar to a mortgage. We have a finance guy do out ten-year financial forecast that has marked out our payments, so this will be no additional taxes for any taxpayers and, like you said, we talked about we're not charging any police departments to utilize the training. This is something that benefits everyone.

COMMISSIONER SLABOZESKI: Okay. My question is:

What would be the additional cost to have an indoor shooting range? What added cost would it be?

FIRE CHIEF O'CONNOR: Oh, probably \$10 million.

Ron, I don't know if you can touch on that -- or if you have done indoor ranges?

JASON ESTES: We do shooting ranges for many law enforcement. Just to be able to do a pistol range, not a long gun, which is what Chief Huff talked about, just do a pistol range indoor probably seven lane, instead of the 15 lane that's being proposed, you're in for probably another two and a half million just for that. To go at this length, yeah, you would probably be somewhere in the eight million-plus range to be able to get a long gun. There's a lot of equipment, air movement, air change and other elements that need to be done, as well as structural elements through, so it's a substantial upcharge.

COMMISSIONER SLABOZESKI: Okay. I mean, the land is already gifted, so you have cost savings right there, so something to look at.

CHAIRMAN THOMAS: Commissioner DeSerio?

COMMISSIONER DESERIO: Thank you. I have no questions. I just want to say thank you for the very detailed proposal you guys came up with. It was very nice to read through this for the last week. It was some great information and I think you guys have done your extreme diligence to present this to us.

1 FIRE CHIEF O'CONNOR: Thank you.

2 CHAIRMAN THOMAS: Is there anyone in the
3 City Staff that wants to ask a question before we
4 open it up? Anyone? No one?

5 Okay. How many of you in the audience
6 are planning on coming to the podium to ask
7 questions?

8 UNIDENTIFIED SPEAKER: To ask a question
9 or to make a comment?

10 CHAIRMAN THOMAS: Either one. I'm sorry.
11 Either one.

12 Only three. Okay. I'll tell you what,
13 if you would stand up, I'll swear you in now and
14 then you feel free to come up and...

15 Raise your right hand.

16 (Public Speakers duly sworn.)

17 CHAIRMAN THOMAS: All right. Why don't
18 we start with you, sir, and then we'll work our
19 way back.

20 MIKE STIFF: And if anybody has a
21 question of somebody, could you please just direct
22 the question to whomever of who the three -- four
23 presenters that there were. If you're just making
24 a comment, feel free to make the comment.

1 SHAWN HILLMAN: Mr. Chairman and esteemed
2 members of the Plan Commission and leaders from
3 our City, I want to -- and our first responders
4 that are in attendance, I thank everybody for
5 their presentation and their comments so far today
6 and for your time.

7 My name is Shawn Hillman. I live on
8 Borio Drive in Crest Hill where I have been a
9 proud resident of Crest Hill for over 20 years. I
10 grew up in a town somewhat reminiscent of Crest
11 Hill; Sycamore, Illinois. It was there that my
12 father-in-law served his community as a member of
13 the fire department for 30 years before retiring
14 as assistant chief. Being in close proximity to
15 first responders in our community for so long gave
16 me a deep appreciation for all that they do in
17 every community, including ours.

18 The Lockport Fire Protection District and
19 our police departments are no exception. This has
20 to be one of the busiest public services in the
21 state of Illinois if the amount of sirens and
22 emergency vehicles that we hear are any
23 indication. The hard working men and women on the
24 front line of our community should be heralded and

1 applauded for amazing, tireless, and, too often,
2 thankless work that they do to keep our community
3 safe.

4 I say "proud resident" because where I
5 would have been somewhat -- while I have been
6 somewhat dispirited by opportunities for
7 development that I think Crest Hill has missed out
8 on, I'm glad to be a member of a community that
9 cares for its residents and strives to provide a
10 forward looking, if not careful approach to
11 growth.

12 All that is to say that we have potential
13 here. On our official City website we have an
14 introductory video about all of the things that
15 make Crest Hill great. There's a video titled
16 "strategic location." In this vignette CEO of
17 Will County Center for Economic Development,
18 Mr. John Grueling states that Crest Hill's biggest
19 advantage for new and expanding business is it's
20 location. He goes on to point out, accurately so,
21 that we are in a prime position to provide
22 interested businesses incredible market reach,
23 particularly to retail, commercial, as well as
24 industrial and logistics. We have potential. And

1 while slower than some of us would have maybe have
2 liked to see, we have realized the Larkin Avenue
3 and Weber Road corridor buildup a little bit over
4 time as well. In the past 20 years that I have
5 lived here, we have seen a refreshing of
6 businesses and storefronts, including new
7 construction to welcome several food
8 establishments, retail storefronts, auto care
9 centers, big box store, like Menards, we have been
10 a productive partnership and support for neighbors
11 such as Siegel's Cottonwood Farm, we have even
12 seen a couple of new fuel and car wash stations go
13 up as well, not to mention a new library and this
14 beautiful new City Hall. There's room for more,
15 which means very have potential.

16 Not mentioned in the above is our
17 attractiveness and prime local for possible health
18 care businesses and centers as well. In fact, in
19 a recent City Council meeting, it was brought up
20 that the land adjacent to this proposed training
21 center and gun range being discussed tonight might
22 be a prospective place for possible future health
23 care related businesses. I find conversations
24 like this exciting. How great would it be to give

1 our residents closer access to facilities like
2 this where we can truly say that we are taking
3 care of our own? We have potential.

4 Crest Hill has acreage yet to develop.
5 We have room for more parks, more houses, more
6 landscaping, more businesses, more economic and
7 retail growth, just like that video doubted.

8 My question is this: Will the sounds of
9 gunshots help us realize this potential? Will
10 having a firing range, however important it may
11 be, close to homes in a competitive real estate
12 market, in an area that is trying to attract
13 growth that we say we want, is that going to help?
14 I don't believe it will. I can't imagine a
15 business or an organization or even a health care
16 organization coming to survey our wonderful City
17 and available space and hear gunshots and think,
18 this is where I want to set up shop.

19 I have read the plan for the 24-inch berm
20 to surrounding the range on all sides and seen a
21 very detailed and well thought out presentation
22 tonight. But, frankly, a mile or so down the road
23 is an existing shooting range for the Illinois
24 State Police that has a berm, and I can tell you I

1 can hear those gunshots from my house clear as
2 day. I don't necessarily agree with or believe --
3 although I do not have the education, I will
4 acknowledge that -- that the sound barriers
5 proposed for this new center will do what they say
6 they will do to keep gunfire from filling my
7 neighborhood.

8 As I stated in my earlier remarks, I'm a
9 staunch supporter of our first responders. I am
10 excited to see development towards the training
11 and support of the people that serve our
12 community. The facilities and the instructional
13 spaces and the other things that they have planned
14 for this are important improvements to be made to
15 serve those who serve us, our first responders,
16 but I believe that we have a responsibility to
17 serve the residents of the community as well. If
18 any research -- if my research is correct,
19 Lockport Township Fire Protection District covers
20 about 46 square miles. Is putting a gun range
21 next to one of our neighborhoods or right next to
22 land where we hope prospective businesses will
23 find attractive in order to bring more development
24 and revenue to our community, is putting a gun

1 range there a good idea?

2 I respectfully ask and challenge the
3 leadership of this community and this Commission,
4 is there nowhere else that we can consider putting
5 a gun range, even if it's on the east side of this
6 property closer to Stateville? Is an indoor or
7 underground range with sound provisions not an
8 option? Thank you, Commissioner, for asking the
9 question. Is even partnering with other local gun
10 ranges, for some activities, not long range, but
11 such as Mega Sports, the indoor ranger over on
12 Route 30, or the indoor range mentioned -- the
13 range mentioned in Romeoville, are those not
14 options to explore as well? Chief O'Connor asked
15 in his presentation what is best for our
16 community. I ask the same. I would hate to see
17 us rush into this plan for the sake of development
18 of this now while killing our potential future
19 with literal gunfire.

20 I ask that this Commission please
21 carefully reconsider phase four of this project.
22 Thank you, again, to the first responders, to
23 those who presented, and to the Commission for
24 your time. Appreciate it.

1 CHAIRMAN THOMAS: Thank you for your
2 comments.

3 FIRE CHIEF O'CONNOR: Can I answer some
4 of the questions?

5 CHAIRMAN THOMAS: Sure. Go back up
6 there.

7 FIRE CHIEF O'CONNOR: I'm not a gun
8 expert and I don't claim to be. I have, in recent
9 years, done a crash course in gun ranges and we
10 have examined basically essentially from our first
11 workshop some of the concerns that was addressed
12 by the community in the Borio area and we changed
13 a lot on how we designed this gun range. We took
14 a look at the District 5 and Department of
15 Corrections gun ranges and we talked to a lot of
16 experts on how sound travels. Some of the things
17 that we learned, we modified how we built our gun
18 range.

19 A couple things we talked about is higher
20 berms, and not just berms on the back end like
21 District 5 and Department of Corrections, but
22 berms surrounding the entire area. Sound goes up.
23 Once it deflects, it goes up, it does not come
24 down. The louder direction of the gun is the

direction of the gunfire, so we changed our location of where our gun range was on that property, and we changed the direction of the gunfire to make sure it does not point towards a residential area. The Department of Corrections and District 5 point almost directly at the subdivision in Borio Drive where the loudest gunfire is. They have a berm only on the back end. They don't have a berm on the side. None of them have any type of sound mitigation on the back. On all four sides we have sound mitigation in trying to be good partners with the residents in our community and respectful of some of their concerns.

Another point to make up is all police agencies in northern Illinois area, including City of Chicago, come down to District 5 and Department of Corrections for qualification for their fire. All five agencies that would shoot at this facility shoot at those two locations. So you have five agencies that are shooting at a quieter range. If this is not approved, they're back to shooting at the two louder ranges that are pointed directly at the subdivision on Borio Drive. Our

goal is -- and some of the struggles that I brought up earlier is finding range time. Sometimes having to go earlier in the morning or very late at night and you guys know, you can hear the gunfire on a clear night in the City of Lockport. We're very conscientious of that and have done everything within our power, outside of an indoor range, and I actually have had communication with some alderpersons about would we be open if somehow funding came available from another agency or from federal funding or state funding to do an indoor range. I'm like, of course we would. You know, but to have an extra \$8 million, we don't.

One of the slides that I didn't talk about it further is that we wanted to get a partnership with Tri-River Police Training. The original plan was -- and they provide a lot of continuing education training for the tri-county area, including some of our agencies. We were going to have their offices in there, we're going to have training classrooms to build out for them. We couldn't afford to build it for them. They can't own anything, so they were going to lease

out to us, but we have to be financially responsible to our taxpayers as well. So this is something that, within our limitations, we could not provide them, so we had to cut them out of the deal. We're a very fiscally conservative department and we run a very lean operation. This is not something that we take very lightly, and we want to save. We have a lot of expenses, too, you know, being an organization of this size, we don't have an extra \$8 million to put towards a gun range. This seemed like the best option for all the agencies involved while trying to add extra mitigation efforts that no other range in the area is doing. So I hope I was able to answer some of the questions. Thank you.

CHAIRMAN THOMAS: Thank you, Chief. Okay. Next.

JAMIE MALLOY: Good evening. My name is Jamie Malloy. I just want to tell you all that I shoot, but I shoot a hand gun. When I shoot a hand gun, I do wear protective ear coverings. I have shot a rifle in the outside. Never indoors. But an AR-15 has got to come off sounding like a canon, and that's the part I'm worried about for

the citizens of Crest Hill. Thank you.

CHAIRMAN THOMAS: Thank you for your comments.

Next.

TODD RANDICH: Good evening, everyone. My name is Todd Randich. I'm a second generation Lockport Township firefighter. My father served for 42 years for this area. I served for 28 and I retired as lieutenant a few years ago. Currently I am the president of the Board of Trustees for Lockport Township Fire District.

When I started back in the early '90s here at Crest Hill we had three people at our station. Crest Hill police had two people on the street. We used to teach them how to tie to the hydrant if we had a house fire because we didn't have the people. They taught us how to protect them on an ambulance call to deal with a difficult subject. We worked together, we had each others back, and we will continue to have Crest Hill's back, Romeoville's back, Lockport's back, all the police officers. It's amazing how much time you actually spend on each side of the division. Whether people say cops are the greatest, firemen

are the greatest, they're the best ever. They put their lives on the lines for everybody. So when we -- as a district, we are doing a significant investment for our training for everyone. We don't want to, you know, niche out law enforcement compared to the firefighters. We want everybody to train together to be one. I speak 100 percent behind this project, and it's only going to make our City and area the safest.

Thank you for your consideration. We back the blue, hopefully you will also. Thank you, everyone.

CHAIRMAN THOMAS: Thank you, Todd. Next.

CLAUDIA GAZAL: Good evening, everyone. My name is Claudia Gazal. My address is 1619 Michigan Court.

Though I don't have the speech that Shawn did, which, that was an amazing speech. Thank you for presenting, too. I'm here just on behalf of some residents. I will do my part when it comes to the work session. But, good to see you all, Commissioners, and good to see you, Chief.

FIRE CHIEF O'CONNOR: Thank you.

CLAUDIA GAZAL: I passed by and wanted to say "hello," but hello. Hello. Welcome to our City. Yes.

One of the board members for Arbor Glen community asked me to represent the residents tonight, and I have some questions as well for some of you and some of the commissioners here.

This letter was sent to us, to me and to Alderman Darrell Jefferson, which is -- he represent Ward 2 as well.

Alderman Gazal and Alderman Darrell Jefferson. I am sorry I am not able to make it, I am out of town. To all of the council, commissioners, and Lockport Fire Department, my name is Julie. I'm at Glen Vista Lane and Borio. I can hear the gun range on Route 53 very clearly, and most days is there even as light breeze. I terrorize -- terrorize my dog, veterans, prevent quiet enjoyment of our homes, and it will lower our homes value as no one will want to move near it due to the sound. The new emergency site is much closer to our homes, so it's fair to expect the noise would be significantly worse than the Route 53 range. I love our emergency workers. I

want the firemen and policemen to train and work in harmony. However, we can't give them harmony at the expense of so many local resident less than one mile of the facility. Gun range must be indoors or eliminated.

Also, I can't imagine the terror it would create for the prisoners in the jail when they rebuild next door. What result would the homeowners have if they build the gun range an outdoor. These promises. It was frequent and loud. Do we call the police to get them to stop? Do we go to court with documentation that everyone has promised not to disturb us?

Thank you for everything on behalf of our community.

Julianne Pierce. This is her name. She wanted me to say her full, legal name.

Now, I have some questions here from other residents. And, just to retouch on Ron Mentzer, what you stated, correct, you all advisor board right here. The council will override the approval by the Plan Commission by two third majority vote. So you only recommendation, but I'm going to stand in

front of you here as a representative of my word, too, to think about your vote tonight. We are not against the facility. I think the facility -- it's beautiful, it's going to bring lot things to our City, it's going to bring more traffic, it's going to help everyone to train better.

As some of you know, my son is a policeman, and I know there is a couple residents here behind me that they have family as a policeman. I know what it takes to train. My son got hurt last year and he was set back three months. You know why? Because he was a new police. Did he needed to learn more? Yes. Did he needed to train more? Of course. But why are you mixing these two things together? Here is the problem. You guys can vote on this tonight, and if it comes to a council who vote it down, you voting the whole facility.

And I have a question for the attorney: If they don't separate the gun range from the facility, if we vote it down, the whole thing is gone, correct?

MIKE STIFF: Not necessarily.

CLAUDIA GAZAL: Not necessarily?

MIKE STIFF: They're asking for a text amendment.

CLAUDIA GAZAL: Okay. I just want to make sure that we're -- so I'm going to ask a couple more questions from the residents.

One of the question I have is: Is any of the existing firemen and police -- policemen from Lockport, they live close to a fire range, that's one question, so if somebody can answer it.

The other question I ask, it is: Future development. That's -- you kept saying "future development." What are we talking future development? Are we talking a year? Two years? Four years? Five years? What is the time frame for that? Can somebody answer that for me?

You don't have the answer for that?

FIRE CHIEF O'CONNOR: Future development of what?

CLAUDIA GAZAL: You -- I think some of the presentation was that the gun range is going to be in the future. What we talking about? Long term? Short term?

FIRE CHIEF O'CONNOR: Oh, short term.

CLAUDIA GAZAL: Short term. Like a year? Two? That's what we're talking about. Okay. Yeah, that's -- so that's an issue.

So is any one of you aware that Crest Hill would be fighting for the 200-acre off Weber Road? I'm thinking of the future of Crest Hill, not just right now. I'm thinking and concerned about long term. Do you think any developers are going to come build homes? Because that was the plan that we had and the plan that we presented to -- to the state, that we would build commercial with rooftop. Do you think anyone is going to come and build next to a fire range? We're land lock. We only have limited land. We only have limited chances. I'm not just thinking for now. I'm thinking for the future as well because any decision that we make right now, it affects the future.

And you are right, thank you. You're the only commissioner that ask, you know, why don't you do an indoor. They have seen that we talk to all the representative, but nobody reach out to representative asking how we can get funds between

all three entities like Stateville, the state, and Lockport. Why don't we all work together on building something for the future? Crest Hill has a plan. We have a plan to build this beautiful facility for our residents, for our policemen, and I'm so happy we're able to give finally our policemen a nice building that they can be proud of, they can come, and they have lockers finally, because they didn't even have lockers in the past. Okay? And we have plans for the empty, vacant lot between us here and the library to build a park for our residents, and what happened? We can't build it. It has been two years because things happen. You know, we overspend on this building and now we're not able to build a park, but it is our goal to build a park eventually when we get the money. That was our goal. No matter what, that's going to be goal. And that should be all of you here goal is if you care about the resident, and if it's so important, why don't you put it, as you said, it's going to be future development, why don't you spend -- save the money and build an indoor facility? But nobody is going to answer that question as well.

We have two representative here from Carillon. Do you guys recall when we used to come? Full house we used to have because of the trucking off of Division, correct, because you didn't like the noise backing up trucks. When Carillon resident, they bought next to a development area, you knew it was going to be commercial and there's going to be warehouses there. When we bought our homes, we bought them beside empty land. They never told us they were going to build a gun range. And the fact it's going to be until 10:00 p.m., some people going to bed 8:00, 9:00. People are going to get up 4:00, 5:00, to go to work, they going to sleep early. And I have sat here for many years, and people came and promise us many things, and nothing happens. They say, "oh, we're only going to park a couple cars," and then you see a bunch of cars. "We're only going to do this," and you're going to see -- who is going to monitor this? Crest Hill police going to monitor this? Who is going to monitor the hours?

The other questions that some of the residents have is -- one moment. 15 times -- I

1 got this text message this morning. 15 times
2 the -- the Chief of the PD said 15 times for
3 Lockport, 15 times for Crest Hill, and not much
4 we're going to shoot. So if you're not going to
5 shoot that much, why are you insisting on building
6 this? If you're not going to use it so much, why
7 do you want to spend all of these millions of
8 dollars for only a couple use?

9 I would like these answered, and I would
10 like for you, Commissioners, to really think about
11 the future of Crest Hill as a resident. Again, I
12 am not against the facility. None of the
13 residents are against the facilities, because I
14 have got a lot of calls, I have talked to a lot of
15 people. We love the facility. That's going to be
16 beautiful, but we are against the gun range.
17 Thank you.

18 CHAIRMAN THOMAS: Thank you, Claudia.
19 Okay. I think one more.

20 JOHN BATUSICH: Yes.

21 CHAIRMAN THOMAS: There you go.

22 JOHN BATUSICH: Good evening. My name is
23 John Batusich. I am a lifelong resident of Crest
24 Hill, born and raised on Pleasant Drive and

1 currently live on Hess Drive.

2 I hear the gunfire. Everybody in this
3 room that lives in Crest Hill, Lockport, Joliet
4 area probably hear gunfire. Chief had talked
5 about it earlier, these agencies, they're still
6 going to continue to shoot. You're going to hear
7 the gunfire that's going to be louder compared to
8 what ours is going to be. Basically
9 state-of-the-art outdoor facility, at a reasonable
10 cost, partnership with another, basically, taxing
11 body. That's what we're supposed to be doing.
12 Putting our recourses together to help each other
13 out to be cost effective.

14 Stateville District 5 has been there
15 since, I don't know, 1960s, that shooting range.
16 Claudia, you built your house when? Everybody
17 that lives in that bordering subdivision built
18 that subdivision hopefully knowing that there was
19 a gun range there, two of them -- actually, three
20 of them; a rifle range for Stateville, a pistol
21 range, and also District 5. Their firing ranges
22 are not going to compare to what we offer.

23 Development. If a development comes in
24 next to Menards, they're going to hear gunfire

1 right now and they're going to hear ours, but it's
2 not going to be as loud, and not going to be as
3 often. It's not going to be until 11:00. It will
4 be until 10:00, maybe, when they night shoot. So
5 to stop this project because of some gunfire
6 versus the benefits that this is going to provide
7 for all these men and women behind me and you, as
8 citizens, it just doesn't weigh.

9 The gun fire happens. I haven't heard
10 gunfire in a while, but when the wind blows
11 certain ways, you'll hear it. And you're going to
12 hear it more on Borio if the wind is out of the
13 southeast, and you're going to hear it more in
14 Ward 2 or Ward 1 if it's out of the north. It's
15 just the way it is. There is just no comparison
16 between what we're putting together compared to
17 what Stateville and District 5 has.

18 I guess when you talk about growth, there
19 has been years for growth when Weber Road turned
20 from two lanes to four lanes, as I remember it.
21 Where is the growth? Is it because of the gun
22 ranges or is it because of something else? You
23 can't build a subdivision to the east of Borio
24 because that's all the Park District. They took

1 all that land. Stateville, are they going to give
2 up any more land? I don't think so. We have
3 already got -- we got lucky we got this.
4 Centrally located. Able to train with the men and
5 women in this township is big. I don't know how
6 often we train with the City of Crest Hill right
7 now, probably not very often. I do know things
8 change from when I used to work. If there's an
9 active shooter, the cops went in. We waited for
10 the cops to come out. We waited too long to go in
11 when -- until it was deemed safe. We all know
12 what the probable outcome is when we wait too long
13 on a shooting victim. Nowadays we're right behind
14 the cops going in. That's what we do. What
15 better way to have a facility, not just to shoot a
16 gun, but to get into those buildings and act out a
17 whole scenario of an active shooter or whatever it
18 may be.

19 You guys didn't hear this -- and I'll end
20 with this, but about 45 minutes ago these men and
21 women, a handful of them went on a call. The cops
22 over here in the corner went on a call. It was
23 for a shooting in Crest Hill. Right there my
24 heart kind of sank because I'm like hopefully

1 they're all going to be all right. Hopefully they
 2 come back -- all of them come back. I see the
 3 chief over there, I'm assuming everything went
 4 pretty well, but do we have the training,
 5 continuous training, that we do every day, Monday
 6 through Sunday. The ability to work with these
 7 police officers on a regular basis is huge. It
 8 can save our lives, it can save their lives.
 9 30-some years ago I was on a call. First one
 10 there. I picked up an officer off the street. He
 11 passed away. I do not want that to happen again
 12 because of a sound of gunfire 2,200 feet away or
 13 four miles away or however the wind blows, that
 14 should not stop us being the best trained fire
 15 department, police department agencies in this
 16 area. Thank you.

17 CHAIRMAN THOMAS: Thank you, John.

18 Let me ask a question here.

19 Okay. Sorry about that.

20 Anybody else change their mind and want
 21 to get up and -- okay. Come up to the podium.

22 Raise your right hand.

23 (Patricia Burnett duly sworn.)

24 PATRICIA BURNETT: Thank you for letting

1 me speak. My name is Patricia Burnett. My
 2 husband and I live in central Lockport right by
 3 old central high school where some of you may have
 4 gone to school, so I'm giving a different
 5 perspective because I don't live in Crest Hill.

6 I had to call for an ambulance twice in
 7 the last few years for a dog bite. A dog went
 8 nuts, attacked a child, my husband ran out, right
 9 there was the fire department, right there was the
 10 police department. They work hand-in-hand and I
 11 felt very fortunate that they all come together to
 12 help me, but I can tell you where I live by the
 13 old high school -- or it's still in use -- I can
 14 hear the gunshots. I can hear the gunshots. And
 15 it used to bother me and now it gives me great
 16 feeling of goodness because they're training.

17 Let me tell you what happened two years
 18 ago at the Canal Days Parade of '23. My husband
 19 and I were sitting in front of Embers restaurant
 20 on the -- you know, on the curb watching the
 21 parade go by when I looked up and there was
 22 snipers on the downtown buildings, and those
 23 snipers were there to protect us so that another
 24 Highland Park didn't happen in our neighborhood.

1 So I want those snipers very well trained. You
 2 know how many people are at the Canal Days Parade?
 3 I want them well trained. I want them to have the
 4 best of their ability because, as I think the
 5 chief will tell you, that nothing nowadays is, oh,
 6 we're so lucky we don't have to worry about our
 7 children having a shooter in the school. No,
 8 that's not what they train for now. They train
 9 for when it happens. And when it happens, you
 10 want the best you can get. And if I have to
 11 listen to more gunshots -- because I think I'm
 12 going to have to listen to a lot less -- I'm happy
 13 to do that. Because, to me, having that
 14 protection of the best, they're taking care of me.
 15 To see the SWAT team on the roofs in downtown
 16 Lockport and I thought, what have we come to, but
 17 you know what we have come to and, you know, it's
 18 possible that it may escalate. And so, to be
 19 prepared, we need to prepare our men and women
 20 that choose that profession because they're
 21 dedicated to helping their fellow man, and you
 22 have the ability to help your fellow man, too, so
 23 I hope you think about that when you vote tonight.
 24 Thank you for letting me speak.

1 CHAIRMAN THOMAS: Thank you, Pat.

2 Okay. One final chance. I don't want
 3 you to go home and say, "I should have said
 4 something."

5 Okay. If no one else is going to come to
 6 the podium, I need to have a motion to close the
 7 public hearing.

8 COMMISSIONER PETERSON: I'll make that
 9 motion.

10 CHAIRMAN THOMAS: Motion by Commissioner
 11 Peterson.

12 COMMISSIONER CARROLL: Second.

13 CHAIRMAN THOMAS: Second by Commissioner
 14 Carroll.

15 Roll call, please.

16 SAMANTHA TILLEY: Jeff Peterson?

17 COMMISSIONER PETERSON: Yes.

18 SAMANTHA TILLEY: Ken Carroll?

19 COMMISSIONER CARROLL: Yes.

20 SAMANTHA TILLEY: Angelo DeSerio?

21 COMMISSIONER DESERIO: Yes.

22 SAMANTHA TILLEY: Cheryl Slabozeski?

23 COMMISSIONER SLABOZESKI: Yes.

24 SAMANTHA TILLEY: Marty Flynn?

1 COMMISSIONER FLYNN: Yes.
 2 SAMANTHA TILLEY: John Stanton?
 3 COMMISSIONER STANTON: Yes.
 4 SAMANTHA TILLEY: And Bill Thomas?
 5 CHAIRMAN THOMAS: Yes.
 6 SAMANTHA TILLEY: Motion carried.
 7 CHAIRMAN THOMAS: Hearing closed at 8:45.
 8 Okay. All right. Bear with us just for
 9 a minute while we talk amongst ourselves.
 10 Are we okay here or...
 11 COMMISSIONER PETERSON: I'm okay.
 12 COMMISSIONER FLYNN: Yeah.
 13 COMMISSIONER SLABOZESKI: Actually, I
 14 have a comment.
 15 CHAIRMAN THOMAS: Okay. Make your
 16 comment.
 17 COMMISSIONER SLABOZESKI: The conflict is
 18 we have two parties disagreeing with one another.
 19 I believe in compromise so we can all live in
 20 harmony with one another. There has got to be a
 21 solution to this problem where everybody is happy.
 22 We just have to find it.
 23 CHAIRMAN THOMAS: Okay. Okay. Well,
 24 it's pretty obvious after watching the excellent

1 SAMANTHA TILLEY: John Stanton.
 2 COMMISSIONER STANTON: Yes.
 3 SAMANTHA TILLEY: Ken Carroll?
 4 COMMISSIONER CARROLL: Yes.
 5 SAMANTHA TILLEY: Cheryl Slabozeski?
 6 COMMISSIONER SLABOZESKI: Yes.
 7 SAMANTHA TILLEY: Angelo DeSerio?
 8 COMMISSIONER DESERIO: Yes.
 9 SAMANTHA TILLEY: And Bill Thomas?
 10 CHAIRMAN THOMAS: Yes. Now --
 11 SAMANTHA TILLEY: Motion carried.
 12 CHAIRMAN THOMAS: -- I'm going to make
 13 this comment consultant, but make sure I'm saying
 14 it right. I think you mentioned at the beginning
 15 that the Staff Report was available on the
 16 website --
 17 RON MENTZER: Mm-hmm.
 18 CHAIRMAN THOMAS: -- for all to read.
 19 So, as I have mentioned about the Staff
 20 Report, if you go on the Crest Hill website, you
 21 can see it in great detail, much of what you
 22 already saw.
 23 Okay. Motion No. 2 --
 24 MIKE STIFF: And, in addition, there's an

1 presentations that this request of the City
 2 Council and the Plan Commission, it is very
 3 involved, so what we have done is we have broken
 4 it down into three different motions, and so let
 5 me ask for the first one.

6 Can I have a motion to recommend to the
 7 City Council approval of a requested waiver of the
 8 various preliminary and final PUD application
 9 submission requirements as outlined in the
 10 March 13th, 2025, Plan Commission Staff Report for
 11 this case?

12 Does someone want to make a motion?

13 COMMISSIONER PETERSON: I'll make that
 14 motion.

15 CHAIRMAN THOMAS: Motion by Commissioner
 16 Peterson.

17 COMMISSIONER FLYNN: I'll second it.

18 CHAIRMAN THOMAS: Second by Commissioner
 19 Flynn.

20 Roll call, please.

21 SAMANTHA TILLEY: Jeff Peterson?

22 COMMISSIONER PETERSON: Yes.

23 SAMANTHA TILLEY: Marty Flynn?

24 COMMISSIONER FLYNN: Yes.

1 addendum that's dated March 13th that's also
 2 available.

3 CHAIRMAN THOMAS: Yes. Part of that
 4 report that talks about the noise submissions.

5 RON MENTZER: And if I can just clarify.
 6 If people do have interest in locating that
 7 document, it's under the agendas or minutes
 8 section of the City website, and if you're having
 9 problems locating that, please contact either the
 10 clerk's office or the Community Development
 11 Department at the City and we can walk you through
 12 how to get to that page of the website to access
 13 that information. And, for that matter, all of
 14 the application details that the Fire District --
 15 that pile of information that the Chairman
 16 referenced earlier is all available on the City's
 17 website.

18 MIKE STIFF: And if you are able to
 19 access it, the staff report dated
 20 March 13th, 2025, starts at page 392, so if you
 21 look in the bottom corner for 392, that's the
 22 start of the Plan Commission Report.

23 CHAIRMAN THOMAS: All right. Thank you,
 24 guys.

1 Motion No. 2.
2 Can I have a motion to recommend to the
3 City Council approval of the requested zoning
4 ordinance text amendments as outlined in the
5 March 13th, 2025, Plan Commission Staff Report for
6 this case?

7 COMMISSIONER DESERIO: So moved.

8 COMMISSIONER CARROLL: Second.

9 CHAIRMAN THOMAS: Motion by Commissioner
10 DeSerio. Second by Commissioner Carroll.

11 Roll call, please.

12 SAMANTHA TILLEY: Angelo DeSerio?

13 COMMISSIONER DESERIO: Yes.

14 SAMANTHA TILLEY: Ken Carroll?

15 COMMISSIONER CARROLL: Yes.

16 SAMANTHA TILLEY: John Stanton?

17 COMMISSIONER STANTON: Yes.

18 SAMANTHA TILLEY: Jeff Peterson?

19 COMMISSIONER PETERSON: Yes.

20 SAMANTHA TILLEY: Marty Flynn?

21 COMMISSIONER FLYNN: Yes.

22 SAMANTHA TILLEY: Cheryl Slabozeski?

23 COMMISSIONER SLABOZESKI: Yes.

24 SAMANTHA TILLEY: And Bill Thomas?

1 CHAIRMAN THOMAS: Yes.
2 SAMANTHA TILLEY: Motion carried.
3 CHAIRMAN THOMAS: Third and final motion.

4 Can I have a motion to recommended to the
5 City Council conditional approval of the various
6 requested special use permits and Planned Unit
7 Development exceptions as outlined in the
8 March 13th, 2025 Plan Commission Staff Report and
9 the March 13th, 2025, staff report addendum for
10 this case, and with the additional condition that
11 the location of the proposed firing range sound
12 attenuation wall be adjusted as outlined in the
13 March 11, 2025, noise transition assessment study
14 prepared by Soundscape Engineering.

15 Motion, please.

16 COMMISSIONER PETERSON: I'll make that
17 motion.

18 CHAIRMAN THOMAS: Motion by Commissioner
19 Peterson.

20 COMMISSIONER STANTON: You got --
21 Commissioner Stanton beat you to it.

22 Roll call, please.

23 SAMANTHA TILLEY: Jeff Peterson?

24 COMMISSIONER PETERSON: Yes.

1 SAMANTHA TILLEY: John Stanton?
2 COMMISSIONER STANTON: Yes.
3 SAMANTHA TILLEY: Ken Carroll?
4 COMMISSIONER CARROLL: Yes.
5 SAMANTHA TILLEY: Cheryl Slabozeski?
6 COMMISSIONER SLABOZESKI: No.
7 SAMANTHA TILLEY: Angelo DeSerio?
8 COMMISSIONER DESERIO: Yes.
9 SAMANTHA TILLEY: Marty Flynn?
10 COMMISSIONER FLYNN: Yes.
11 SAMANTHA TILLEY: Bill Thomas?
12 CHAIRMAN THOMAS: Yes.
13 SAMANTHA TILLEY: Motion carried.
14 CHAIRMAN THOMAS: Okay. So these
15 recommendations will be forwarded to the City
16 Council. Again, the Plan Commission is a
17 recommendation body only, so you have to keep that
18 in mind. The City Council will most likely hear
19 this case in some time in April, I think we were
20 thinking, but you will get plenty of notice when
21 it comes before the workshop first, and then the
22 City Council meeting next.

23 I will just make this comment, and right
24 now I'll just speak for myself and the

1 Commissioners that voted unanimously. Whenever I
2 think about needing a first responder to come to
3 my house I hope that they have been well trained,
4 I hope that they're prepared. This facility will
5 ensure that they are the best prepared, the best
6 trained first responders in Crest Hill and in
7 Lockport Township.

8 So that ends our topic on this. We just
9 have a couple other things to clean up. I want to
10 thank everybody for coming and especially for
11 behaving yourselves like the good residents of
12 Crest Hill are known to do, so, thank you very
13 much. I appreciate all of the comments.

14 Does anyone else have any business that
15 we need to discuss?

16 We do have a section for public comment.
17 Is there anything else -- anybody in the audience
18 that wants to come up and speak about anything
19 except this case? If not, then can I have a
20 motion for adjournment?

21 COMMISSIONER CARROLL: Can I make a
22 comment first?

23 CHAIRMAN THOMAS: Yes. I'm sorry.

24 COMMISSIONER CARROLL: Most of you are

1 looking at a person that wouldn't be here if it
2 were not for the Lockport Township Fire
3 Department. I had an asthmatic attack. My wife
4 got on the phone, she called 911, four minutes
5 later --

6 THE COURT REPORTER: Im sorry. I cannot
7 hear.

8 CHAIRMAN THOMAS: All right. Can we --
9 the meeting is still in progress, please.

10 COMMISSIONER CARROLL: In four minutes
11 the fire department walked in my door, and
12 administered me -- bagged me on the way to the
13 hospital. I spent 24 hours on a ventilator,
14 another day in the ICU, and I'm here today because
15 of you gentleman, so thank you very much.

16 CHAIRMAN THOMAS: Motion to adjourn?

17 FIRE CHIEF O'CONNOR: Thank you, Council,
18 for the time.

19 CHAIRMAN THOMAS: All right. Thank you.

20 COMMISSIONER FLYNN: Motion.

21 CHAIRMAN THOMAS: Commissioner Flynn,
22 motion.

23 COMMISSIONER CARROLL: Second.

24 CHAIRMAN THOMAS: Second by Commissioner

1 Carroll.

2 Roll call, please.

3 SAMANTHA TILLEY: Marty Flynn?

4 COMMISSIONER FLYNN: Yes.

5 SAMANTHA TILLEY: Ken Carroll?

6 COMMISSIONER CARROLL: Yes.

7 SAMANTHA TILLEY: Cheryl Slabozeski?

8 COMMISSIONER SLABOZESKI: Yes.

9 SAMANTHA TILLEY: Angelo DeSerio?

10 COMMISSIONER DESERIO: Yes.

11 SAMANTHA TILLEY: Jeff Peterson?

12 COMMISSIONER PETERSON: Yes.

13 SAMANTHA TILLEY: John Stanton?

14 COMMISSIONER STANTON: Yes.

15 SAMANTHA TILLEY: And Bill Thomas?

16 CHAIRMAN THOMAS: Yes.

17 SAMANTHA TILLEY: Motion carried.

18 CHAIRMAN THOMAS: Meeting adjourned 8:53.

19 Thank you again for coming.

20 (The meeting was adjourned at 8:53 p.m.
21 on March 13th, 2025.)
22
23
24

1 STATE OF ILLINOIS)

2) SS:

3 COUNTY OF WILL)

4 Hailey Schoot, CSR, RPR, being first duly
5 sworn, on oath says that she is a court
6 reporter doing business in the State of
7 Illinois; and that she reported in shorthand
8 the proceedings of said meeting and that the
9 foregoing is a true and correct transcript of
10 her shorthand notes so taken as aforesaid, and
11 contains the proceedings given at said
12 meeting.
13
14
15



Hailey Schoot

16 Hailey Schoot, CSR, RPR
17 Illinois CSR License 084-004897
18
19
20
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23
24

A				
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To: Plan Commission/ZBA

Patrick Ainsworth, AICP, Community and Economic Development Director

From: Ronald Mentzer, Community & Economic Development Consultant

Date: March 13, 2025

Re: Lockport Township Fire Protection District Application for the Approval of Various Zoning Ordinance Text Amendments, Special Use Permits, Preliminary and Final Planned Unit Development (PUD) Plans, and Miscellaneous PUD Exceptions – Crest Hill Plan Commission Case # PUD-25-1-3-1

Project Details

Project	Public Safety Training Complex and Maintenance Facility
Request	Zoning Ordinance Text Amendments, Preliminary and Final PUD, and Misc. Deviations
Location	South end of Advantage Avenue

Site Details

Building Sizes	24,240 SF Training/Maintenance Principal Building, 3,360 SF Outdoor Classroom and 7,892 SF Burn Tower Accessory Buildings
Site Area	12.86 Acres

Land Use and Zoning Summary

	Land Use	Comp Plan	Zoning
Subject Parcel	Agriculture	Stateville	M1
North	Open Space	Natural Area	M1
South	Agriculture	Stateville	M1
East	Stateville	Stateville	M1
West	Stateville	Stateville	M1

PROJECT SUMMARY

The Lockport Township Fire Protection District (the "LTFPD") has submitted a detailed application package for the City's potential approval of the various Zoning Ordinance (the "Z.O.") text amendments, Special Use Permits, Preliminary and Final PUD Plans, and miscellaneous PUD Exceptions that would be required from the City of Crest Hill for the new state-of-the-art, multi-building public safety training and maintenance building, training grounds, and an accessory outdoor firing range facility (collectively the "Training Complex") it desires to construct on the 12.86-acre vacant, M-1 Limited Manufacturing District zoned, site it owns along the south side of Division Street approximately 6,000 feet west of Broadway Street and 4,135 feet east of Weber Road (the "Subject Property"). The Training Complex has been designed to provide consistent and realistic training opportunities and promote collaboration

among regional fire and law enforcement agencies. Per Chapter 10 of the Z.O., the size and scope of this project mandates it be processed as a Planned Unit Development (PUD).

A summary of the key components of the proposed Training Complex includes:

Primary Training and Maintenance Facility – Building 1: This 24,240 sq. ft. single-story building would be located along the Division Street frontage of the Subject Property. Approximately half of the building would be dedicated to training classrooms, an office, and a lunchroom with the other half being dedicated to emergency vehicle maintenance operations. This facility would be constructed with high quality metal and masonry building materials. See application package Exhibit G for detailed design drawings for this facility.

Training Ground Improvements: The training grounds for this facility have been designed to include the following key components:

- **Outdoor Burn Tower Classroom/Storage Building 2:** A 3,360 sq. ft., single-story accessory building constructed from pre-manufactured box containers (AKA shipping containers) covered by an independent, 15'-6" high structural steel and metal roofing canopy structure. This facility would be located on the south-central area of the Subject Property. See application package Exhibit I for detailed design drawings for this facility.
- **Burn Tower Building:** A 7,892 sq. ft., four-story accessory building constructed from pre-manufactured box containers specifically designed for firefighting training and would have an overall building height of 45'-3". This facility would be located between the burn tower building and the training pond. See application package Exhibit M for detailed design drawings for this facility.
- **Training Pond:** The required stormwater detention pond planned in the central area of the site will be designed to support real world water rescue and recovery training scenarios.
- **Vehicle Extraction Training Area:** A 75' x 150' gravel surface area will be provided in the southeast quadrant of the site to accommodate vehicle extraction training exercises on actual motor vehicles.
- **K-9 Training Area:** The open area adjacent to the west side of the outdoor burn tower classroom building will be designed and dedicated to support K-9 training activities.

Outdoor Law Enforcement Firing Range: A 27-yard-wide by 100-yard-long firing range surrounded on the east, west, and south sides by a 24' high berm is proposed in the southeast quadrant of the Subject Property. A 20' tall by 70' long noise barrier will be provided along the north edge of the firing range. The overall size of the firing range, including the berms, is approximately 210' wide by 420' long. The shooting platform would consist of a 20' wide x 60' long concrete slab on grade. Two 150 sq. ft., +/-, 15' tall, premanufactured metal canopy structures (no walls) would be attached to the shooting platform to protect trainees from inclement weather conditions. As proposed, the firing range would be equipped with twelve LED spotlights mounted on 25' tall light poles for evening/nighttime training.

Other Site Improvements:

- **Parking Improvements:** 153 standard parking spaces and 6 handicapped parking spaces will be provided for automobiles. Ten oversized parking spaces will be provided for fire trucks.
- **Burn Pit:** A 40' x 40' area will be provided south of the proposed Burn Tower Building to accommodate the disposal of excess burned training materials removed from the Burn Tower Building.
- **Trash Enclosure:** A 12' wide by 18' long, 6' tall, three-sided trash enclosure will be provided near the southwest corner of the primary training and maintenance facility.
- **Memorial Plaza:** A 25' diameter memorial plaza will be provided between the primary training and maintenance facility and the firing range.

More detailed information on the scope and anticipated use, operation, and public safety value of each component of the Training Complex can be found in the Project Summary (Part 2) and Site Elements and Building Descriptions (Part 6) components of the Project Narrative application binder LTFPD has submitted for this project. A paper copy of this binder was distributed to the Plan Commission Members with this report.

BACKGROUND

The proposed Training Complex would be located on a 12.86-acre parcel of vacant land the State of Illinois provided to the LTFPD to accommodate the creation of a new centrally located public safety training facility in Lockport Township.

On January 22, 2024, LTFPD representatives appeared at a City Council work session meeting to provide a status report and a preliminary overview of the scope of the new training grounds facility that was in the initial stages of design at that time. A copy of the meeting minutes from that discussion are attached for reference as Exhibit 1. The minutes reflect general City Council support for the project but significant concern about the firing range component.

On May 13, 2024, Interim Community and Economic Director Mentzer presented information at a City Council work session meeting to explain how the existing Z.O. does not specifically allow new firing ranges and therefore automatically prohibits them. He indicated the Z.O. would need to be amended before a new firing range could be constructed and operated in Crest Hill. A copy of the meeting minutes from that discussion are attached as Exhibit 2.

In early August of 2024, the LTFPD submitted a detailed PUD Concept Plan review application for the Training Complex Project to the City of Crest Hill. The City Council reviewed the concept plan application at its September 9, 2024, work session meeting. A copy of the minutes from that discussion are attached as Exhibit 3. The minutes reflect unanimous City Council support for the training facility components of the overall project with less, but still majority, support for the combined training facility/firing range project.

STAFF ANALYSIS AND RECOMMENDATIONS

The application documents listed on attached Exhibit 4 have been thoroughly reviewed by City staff and that review is the basis for the following staff commentary, recommendations, and conclusions. *Specific staff recommendations and conclusions are highlighted in purple, bold, italic font.*

Comprehensive Plan

The City's 2014 Comprehensive Plan assigns the "Stateville Correctional Center" land use designation to the Subject Property but acknowledges that the future of the Stateville facility is unclear and there may be opportunities for redevelopment of all or portions of the facility. Page 52 of the Comprehensive plan provides some initial thoughts and guidance on potential future land uses on the Stateville Property should it become available for redevelopment. This land use guidance identifies the area of

the Stateville Property the LTFP now owns as potentially being utilized for some form of residential, institutional, or industrial redevelopment. "Institutional Uses, including Governmental Buildings" are considered a potential special use in all residential and industrial Zoning Districts and are a critically crucial element of safe and efficient public services. As such, *staff believes the proposed Training Complex is generally consistent with the goals and objectives outlined in the City's Comprehensive Plan.*

Stormwater Management

Stormwater detention is required for this project and will be provided in the new combined detention pond existing regional stormwater detention/training pond improvements that would be constructed in the central area of the Subject Property. The City Engineer has reviewed the grading plans and stormwater pond details included in Exhibit B of the Project Narrative/Application Binder for this project and found them to be acceptable. *Final stormwater calculations and construction engineering design drawings will need to be submitted to and approved by the City Engineer before permits for this project can be issued for this project.*

Public Utilities

The Final PUD Utility Plans for this project illustrate the primary potable water supply for the proposed main training and maintenance building being supplied through new service connection to the existing City of Crest Hill Water main located along the Division Street frontage of the Subject Property. A secondary water service interconnection to the existing City well site to the east is proposed to specifically supply water to the fire hydrants that would be installed throughout the Subject Property for training purposes. Per the recommendation of the City Engineer, these training hydrants will be painted a different color to differentiate them from the hydrants associated with the potable water supply system for the project.

Sanitary service for this facility would be provided through a new service connection made to an existing City of Crest Hill sanitary sewer main located on the adjacent Stateville Property to the east.

The City Engineer has reviewed the proposed utility plans for the project included in Exhibit B of the Project Narrative/Application Binder for this project and found them to be acceptable. He has confirmed the existing City water and sanitary sewer mains the project would connect into have sufficient capacity to effectively serve the proposed Training Complex. *Final construction engineering design drawings and a utility easement dedication plat will need to be submitted to and approved by the City Engineer before permits for this project can be issued.*

Traffic Control and Site Circulation

The City Engineer has reviewed the November 15, 2024, traffic study KLOA prepared for this project and concurs with its findings and recommendations. A copy of the traffic study is included as Exhibit P in the Project Narrative/Application Binder for this project. The proposed Final PUD Plans reflect the recommendations in this report and do not include any new turn-lane improvements on Division Street. The facility would be served with a single, centrally located, access driveway on the portion of Division Street that is owned and controlled by the Illinois Department of Transportation. *IDOT permit approval for this new driveway is required before it can be constructed.*

Landscaping

The landscape plans included in the Project Narrative application binder for this project as Exhibit E illustrate LTFPD's commitment to plant a desirable and appropriate mix of 50 shade trees, 18 evergreen trees, 5 ornamental trees, 69 deciduous shrubs, 61 evergreen shrubs, 51-1 gallon container ornamental grasses, 82 –1 gallon container perennials, 227,982 sq. ft. (5.23 acres) of turf

grass, and 57,413 sq. ft. (1.2 acres) of native vegetative mat with an upland meadow/wildflower seed mix. The native vegetative mat would be planted on the entire 24-foot-tall berm illustrated around the south, east, and west sides of the proposed firing range. Landscape Plan Sheet 1 also identifies the potential installation of 7 additional shade trees and 15 evergreen tree plantings adjacent to the perimeter property lines in the southwest corner of the Subject Property as "Alternative 1 Plantings" *Staff recommends the Alternative 1 Plantings be required as part of the initial development phase of this project.* With the installation of Alternative 1 Plantings, staff has determined the

proposed landscape plan complies with the landscaping requirements contained in Section 15.04.040 (l)(2) of the Municipal Code. Furthermore, staff believes the design and implementation of the proposed landscape plan would:

- Create a visually attractive landscape treatment on the site, especially when viewed from Division Street
- Complement the architectural design of the primary training and maintenance building and effectively soften the visual impact of larger areas of pavement and service improvements and the site
- Provide desirable shading in the parking lot areas
- Produce a desirable transition to adjacent properties

Parking

According to the Preliminary and Final Planned Unit Development Plan included in the Project Narrative application binder for this project as Exhibit A, the project will provide 153 standard parking spaces and 6 handicapped parking spaces for automobiles and 10 oversized parking spaces for fire trucks. Staff has calculated the maximum (most conservative) Z.O. required parking for this project as follows:

Function/Use Classification	Zoning Ordinance Parking Requirement	Project Specific Design Parameters	Required # of Parking Spaces
<i>Motor Vehicle Service/ Repair</i>	4 parking spaces per service bays	12 Service Bays	48
	1 space per employee on largest shift	6 employees	6
<i>Professional Training School</i>	1 parking space per 4 seats of training space	150 seats in Bld. 1 58 seats in Bld. 2	52
	3 trainers per classroom and 2 spaces for each 3 trainers	3 classrooms in Bld. 1 1 classroom in Bld. 2	6
Firing Range	1 space per station	15 stations	15
	2 spaces for instructors/trainers	2 instructors/trainers	2
TOTAL PARKING REQUIRED			129

Based on these calculations, the proposed amount of parking that would be constructed in this project exceeds what is required by the Zoning Ordinance.

Photometric/Lighting Plans

City staff has reviewed and found the photometric plans included in the Project Narrative application binder for this project as Exhibit J are acceptable given the nature of the proposed facility and related proposed site improvements. All light fixtures would be LED type fixtures. All pole mounted light fixtures would be mounted to 20 ft. tall poles. To minimize unnecessary glare and light pollution, *Staff recommends any PUD approval of this project include a condition that requires all pole mounted light fixtures, except the floodlight fixtures that will illuminate the firing range, to be installed and maintained in a manner where the bottom glass of the fixture remains parallel to the adjacent grade level.*

Special Zoning Related Requests

A Summary of the various special zoning requests included in the LTFPD's application materials and Staff's assessment and recommendations on those requests follows:

1.) Zoning Ordinance text amendments to:

- a. Add the following definition for “*Outdoor Firing Range, Government Training Purposes*” to the Zoning Ordinance: “The use of a designated outdoor areas accessory to a government training facility for the discharging of firearms for the purposes of target practice or military/law enforcement training.”

Staff Comments: If this particular land use is ultimately added to the list of potential special uses in the M-1 Zoning District, **staff strongly recommends adding this definition to the Z.O.** as well as it narrowly defines and therefore restricts any such use to that of an accessory use to a government training facility. This would preclude any such establishment from being operated either as a principal use or as a for-profit private facility.

- b. Add the “*Outdoor Firing Range, Governmental Training Purposes*” to the list of potential special uses allowed in the M-1 zoning district.

Staff Comments: The City’s current Z.O. does not include any reference to this specific land use. As a result, by default this use is currently considered prohibited land use in the City of Crest Hill. If the City is interested in potentially accommodating a governmentally operated firing range at a specific location in the City and/or under specific special conditions, **staff recommends this land use be added to the list of possible special uses allowed in the M-1 Limited Manufacturing District.** M-1 zoned areas are generally the areas of the City furthest removed from residential uses and are also where the most intensive land uses are located. If this use is added to the Z.O. as a potential special use, any specific proposal to establish and operate one in Crest Hill would trigger the need for the owner/operator to apply for and ultimately receive City Council approval of a special use permit for the facility. All special use permit applications are reviewed at a formal public hearing before the Plan Commission. In conjunction with its review and approval of a specific special use permit, the City could impose detailed restrictions and requirements on the operation of the proposed facility that are designed to minimize the potential negative impacts the use could have on the community.

- c. Add minimum parking requirements for the “*Outdoor Firing Range, Governmental Training Purposes*” land use that would require any such facility to provide one parking space for each firing station plus two parking spaces for instructor and employee use.

Staff Comments: Based on staff research, this parking requirement is in line with how other municipal zoning ordinances address parking needs for this type of facility. If the City is receptive to amending the Z.O. to add this type of land use to the list of potential special uses allowed in Crest Hill, **staff recommends this new parking requirement be added to the schedule of Parking Requirements contained in Section 11.8 of the Z.O.**

- d. Specifically exempt “*Outdoor Firing Range, Governmental Training Facilities*” from existing Z.O. Noise Performance Standards.

Staff Comments: The LTFPD has engaged Soundscape Engineering to evaluate (i) the noise impact the proposed firing range will produce and (ii) the ability of the proposed firing range to comply with the noise performance standards outlined in section 8.8-1 of the Z.O. As stated on pages 9 and 10 in the Project Summary (Part 2) component of the Project Narrative binder for this project, the sound engineer has stated the City’s existing noise performance standards are antiquated, most typical ambient neighborhood noise would exceed the current standards, and the current standards should be revised to better align with current expectations and State standards. Based on this technical input, LTFPD has requested the Z.O. be amended to

specifically exempt this type of public safety training firing range from the City's antiquated noise performance standards.

It is important to note that a representative of Soundscape Engineering is planning to provide testimony and be available to address questions at the March 13, 2025, Plan Commission public hearing for this project. Soundscape Engineering is actively performing detailed modeling to quantify the sound impacts that would be associated with the proposed firing range. Their sound model and final report will be presented by Soundscape Engineering representatives at the March 13, 2025, Plan Commission Meeting. In the meantime, Soundscape Engineering has produced the February 28, 2025, Sound Statement included in the Project Narrative binder for this project as Exhibit S. The Sound Statement outlines how the sound reduction measures that have been incorporated into the design of the proposed firing range will help control sound impacts. *Staff cannot provide a recommendation on this Z.O. text amendment request until staff receives and reviews Soundscape Engineering's final sound report and hears the testimony Soundscape Engineering representatives provide at the March 13, 2025, public hearing for this application.*

2.) Waiver of Preliminary/Final PUD Application Submission Requirements for:

- a. Final Construction Drawings (Z.O. Section 10.3-3.c.)
- b. A Market Analysis (Z.O. Section 10.3-2.b.8)
- c. A Tax and School Impact Analysis (Z.O. Section 10.3-2.b.8)

Staff Comments: Section 10.3 of the Z.O. specifically states "The City may, in those cases where, in their judgment, the required information (specific application submissions) is not necessary because of existing evidence and information, waive all or portions of the requirements listed within this Section, upon written request from the applicant." LTFPD has requested the City waive the submission requirements of the three above noted documents as part of the ongoing PUD review and approval process for this project.

The City's standard past practice on larger, more complex developments is to not require the submission of final construction drawings as part of the PUD review and approval process for this project and instead require their submission with the construction permit applications submitted if and after a PUD Special Use Permit Ordinance is approved. This practice has proved to be more cost effective and efficient for both the Applicant and the City. As a result, *staff recommends waving the requirement for the submission of final construction drawings at this time.*

Given the fact that the proposed project will be owned, operated, and used by a tax-exempt overlapping taxing body to improve public safety service to the community, *staff recommends waving the requirements for the submission of a Market Analysis and a Tax and School Impact Analysis.*

3.) Special Use Permits for:

- a. (i) The construction and operation of a new Institutional Use in the form of the proposed Training Complex on the Subject Property and (ii) the Preliminary and Final PUD Plans for the project.

Staff Comments: Overall, staff believes LTFPD's Project Narrative binder effectively documents the need for and community benefits that would be realized by the construction of the proposed Training Complex. Furthermore, staff believes the design of the project is well thought out, high quality, and would have a positive impact on the character of this section of Division Street. Based on the staff findings articulated in attached Exhibit 4, *staff*

recommends conditional approval of the required Special Use Permits required for all project components except the proposed firing range.

- b. The construction and operation of a new Governmental Training Firing Range as an accessory use on the Subject Property. As proposed, the firing range would be owned by the LPTFPD but operated and supervised by the Lockport Police Department under an intergovernmental agreement between the two agencies. It is important to note that the only public safety agencies that would be allowed to train at this range under the current application are those that work and operate in Lockport Township.

The information included in subsection 3 of Part 2 of the Project Narrative application binder for this project outlines in detail how the firing range would be operated, which public agencies will be permitted to use it, and how it will be designed and maintained to minimize potential negative impacts on the surrounding area (see pages 8-13 of Part 2).

Staff Comments: The LTPFD continues to work diligently to understand and address the concerns the City has identified with their proposed Training Complex project. This includes concerns related to the noise impacts that would be associated with the proposed range. LTPFD has engaged Soundscape Engineering to evaluate (i) the noise impact the proposed firing range will produce and (ii) the ability of the proposed firing range to comply with the noise performance standards outlined in section 8.8-1 of the Z.O. Their sound model and report is expected to be presented at the March 13, 2025, Plan Commission Public Hearing.

While staff understands the public safety value and benefit the firing range would have for the broader Lockport Township community, it is still unclear what type of impact it will have on the nearby neighborhoods in Crest Hill. It is important to note that a representative of Soundscape Engineering is planning to provide expert testimony and be available to address questions at the March 13, 2025, Plan Commission public hearing for this project. Soundscape Engineering is actively performing detailed modeling to quantify the sound impacts that would be associated with the proposed firing range. Their sound model and final report will be presented by Soundscape Engineering representatives at the March 13, 2025, Plan Commission Meeting. In the meantime, Soundscape Engineering has produced the February 28, 2025, Sound Statement included in the Project Narrative binder for this project as Exhibit S. The Sound Statement outlines how the sound reduction measures that have been incorporated into the design of the proposed firing range will help control sound impacts. *Staff cannot provide a recommendation on this Z.O. text amendment request until staff receives and reviews Soundscape Engineering's final sound report and hears the testimony Soundscape Engineering representatives provide at the March 13, 2025, public hearing for this application.*

Ultimately, if the City is receptive to the approval of the Firing Range component of this project, *staff recommends that any such approval be conditioned upon the range being operated in accordance with commitments and limitations outlined subsection 3 of Part 2 of the Project Narrative application binder for this project with the following modifications and additions and modifications:*

- a. *Unless otherwise required by these conditions of approval, the firing range shall be operated in compliance with the information included in subsection 3 of Part 2 of the Project Narrative application binder for this project (see pages 8-13 of Part 2).*

- b. *The maximum number of night shootings allowed each calendar month shall be agreed upon between the Applicant and the City Council.*
- c. *The final construction design drawings for the firing range shall comply with the current edition of the United States Environmental Protection Agency's Best Management Practices for Lead at Outdoor Shooting Ranges. The range shall also be designed to prevent contamination of any waterway considered "Waters of the U.S." as defined by the U.S. Army Corps of Engineers, wetland, or floodplain in accordance with the Clean Water Act.*
- d. *No live ammunition training shall be allowed on Sundays unless otherwise approved by the City Council for special events.*
- e. *The firing range spotlights shall only be operated when the firing range is in use within the hours of operation allowed by the City approved special use permit for the range.*
- f. *If complaints from Crest Hill property owners persist after the outdoor firing range opens, the Applicant shall appear before the City Council to discuss the complaints and if and how the hours of operation of the range can be adjusted to address the complaints without materially impacting the ability of the range to meet the mandatory training needs of authorized users.*
- g. *Add the following definition for "Outdoor Firing Range, Government Training Purposes" to the Zoning Ordinance: "The use of a designated outdoor areas accessory to a government training facility for the discharging of firearms for the purposes of target practice or military/law enforcement training."*

4.) Planned Unit Development Exceptions to:

- a. Reduce the minimum amount of masonry required on building facades. Section 8.7-2.2.b of the Z.O. requires at least one wall façade on a non-residential building include a minimum of 80% masonry materials. As illustrated in the building elevation drawings attached to the Project Narrative application binder for this project as Exhibit G, none of the building facades for the proposed main maintenance and training building would satisfy this requirement.

Staff Comments: The two most visible building elevations (west and south) for this project each provide a significantly higher percentage of masonry materials than required by the Z.O. As proposed, 44% of the east building façade would be constructed with masonry materials when no masonry materials are technically required on this façade per Sections 8.7-2-2.d of the Zoning Ordinance. As proposed, 40% of the building façade facing Division Street would be constructed with masonry materials when technically only 10% of this façade is required to be constructed with masonry materials per section Sections 8.7-2-2.c of the Z.O. It is also important to note that 23% of the building's overall façade area would be constructed of masonry materials when only 20% is required by the Z.O.

Overall, staff is of the opinion that the Applicant's proposed distribution of masonry materials on the main building is attractive and desirable. *Staff recommends approval of a PUD exception that would allow the building facades to be constructed as reflected in Project Application Binder Exhibit G.*

- b. Permit the use of metal panels on miscellaneous exterior building facades. Section 8.7-3 of the Zoning Ordinance prohibits the use of metal panels on non-industrial buildings.

Staff Comments: Overall, staff is of the opinion that the proposed exterior façade design for the main maintenance and training building reflects an attractive mix of building materials that would be appropriate for the geographic area it would be constructed in and would have a positive impact on the character of the area. *Staff recommends approval of a PUD*

exception that would allow the building facades of the main training and maintenance building to incorporate the use of metal façade panels as reflected in the building elevation drawings attached to the Project Narrative application binder as Exhibit G.

- c. Allow multiple accessory structures to have a height in excess of 15-feet. Section 8.3-7 of the Z.O. restricts the height of accessory building and structures to 15 feet. The following proposed buildings and structures in this project do not comply with this restriction:
- Training Tower Classroom/Bldg. 2 (Application Binder Exhibit I) is proposed with a maximum 15'-6" height.
 - Main Burn Training Tower (Application Binder Exhibit M) is proposed with a maximum height of 45'-3".
 - The sound attenuation wall proposed at the north end of the firing range (Application Binder Exhibit F) is proposed with a maximum height of 20'-6"

Staff Comments: Given the specialized nature of the proposed Training Complex, the overall size of the site, and the existing established large institutional use on the adjacent properties, ***Staff recommends approval of PUD exceptions that would allow these accessory structures to exceed 15' in height*** as noted above.

- d. Permit the use of shipping containers for accessory training buildings. Section 8.3-9.6 of the Z.O. prohibits the use of shipping containers. As illustrated in the architectural drawings included in the Application Binder as Exhibit I and the specialized fire training systems drawings attached to the Application Binder as Exhibit M, the proposed burn tower and the adjacent outdoor classroom facility (Building 2) would be constructed with shipping containers.

Staff Comments: Given the specialized nature of the proposed Training Complex, the overall size of the site, and the existing established large institutional use on the adjacent properties, ***Staff recommends approval of PUD exceptions that would allow the main burn tower building and the adjacent outdoor classroom facility to be constructed with shipping containers.***

- e. Permit a wall sign to be installed at a height less than 10 feet from grade. As currently proposed, the bottom edge of the proposed wall sign on the west building façade of the main training and maintenance facility would be located 6'-0" above grade (see sheet A1.2 of the architectural elevation drawings attached to the Project Narrative application binder as Exhibit G). Section 15.12.080 of the City's Sign Ordinance requires wall signs to be located 10' above grade.

Staff Comments: ***Staff recommends approval of a PUD exception that would allow the bottom edge of the wall sign on the west building façade of the main training and maintenance facility to be located 6'-0" above grade.***

- f. Allow the driveway curb cut onto Division Street to exceed 30 feet in width. Section 15.04.040 of the Municipal Code restricts the width of driveway curb cuts to 30' measured at the property line. As illustrated on Sheet C-4 of the engineering design drawings attached to the Application Binder as Exhibit B, the proposed Division Street curb cut width for this project is just under 150'. The measured width in this case is measured at the very widest part of the driveway where it connects with the through pavement of Division Street because the existing front property line for the Subject Property is located in the Division Street pavement.

Staff Comments: The City Engineer has reviewed the design of the proposed curb cut and feels it is appropriate given the type of facility it would serve and the type of vehicles that would

be using it. *Staff recommends approval of a PUD exception that would allow the Division Street curb cut width for the proposed Training Complex to be 150' in width.*

- g. Eliminate required parking lot landscape islands. Section 11.6-2 of the Z.O. requires landscape islands at the ends of all rows of parking spaces. As illustrated on the Preliminary and Final Planned Unit Development Plan attached to the Application Binder as Exhibit A, there are several parking lot islands located at the southwest corner and immediately south of the proposed main training and maintenance building that would be paved and striped off rather than being landscaped in order to accommodate large vehicle maneuvering and fire truck driver training activities.

Staff Comments: Given the intended use and users of this facility, *staff recommends approval of a PUD Exception that would allow the four above noted parking lot islands to be paved and striped rather than being landscaped.*

- h. Eliminate the requirement to provide a designated loading zone: Section 11.11-15 of the Z.O. requires one 12' x 65' loading zone to be provided for this facility.

Staff Comments: Given the nature of this facility and the extensive amount of asphalt pavement that would be available along the north and south sides of the proposed main training and maintenance building, staff feels the site has adequate space to accommodate the very limited large truck loading and unloading needs this facility will generate. Staff recommends approval of a PUD exception that would eliminate the requirement for designated large loading space to be provided in this project.

CONCLUSIONS

Based on staff's analysis of the detailed and extensive application materials for this project, staff recommends the Plan Commission recommend conditional approval of the following special approvals for this project.

1. *Waiver of Preliminary/Final PUD Application Submission Requirements for:*
 - a. *Final Construction Drawings (Z.O. Section 10.3-3.c.)*
 - b. *A Market Analysis (Z.O. Section 10.3-2.b.8)*
 - c. *A Tax and School Impact Analysis (Z.O. Section 10.3-2.b.8)*
2. *Conditional approval of Special Use Permits for the Preliminary and Final PUD application documents listed in attached Exhibit 4 and for the construction and operation of a new Institutional Use in the form of the proposed Training Complex project as reflected in those documents. Conditions of approval of these special use permits include:*
 - a. *Final staff approval of the final construction engineering design plans for the project including, but not limited to, site geometry, traffic study, and stormwater management.*
 - b. *Final approval of an IGA between the City and LTFPD prior to any improvements or interconnections being made to City Well #11 for the purpose of providing City well water service for training purposes at the Training Complex.*
 - c. *Final City approval of a Plat of Easement dedication as deemed necessary by the City Engineer.*
 - d. *IDOT approval is secured prior to construction of any new driveway improvement onto Division Street.*

- e. *“Alternative 1 Plantings” shall be considered part of the required Phase 1 landscaping for the project.*
- f. *All new pole mounted parking lot and drive aisle light fixtures shall be installed, equipped with necessary shielding, and maintained in a manner where the bottom glass of the fixture remains parallel to the adjacent grade level in order to ensure all lighting is directed downward. .*

3. *Approval of PUD Exceptions that would:*

- a. *Allow the building facades to be constructed with the level of masonry reflected in Project Application Binder Exhibit G.*
- b. *Allow the building facades of the main training and maintenance building to incorporate the use of metal façade panels as reflected in the building elevation drawings attached to the Project Narrative application binder as Exhibit G.*
- c. *Allow the following accessory structures to have a height in excess of 15-feet:*
 - *Training Tower Classroom/Bldg. 2 (Application Binder Exhibit Binder Exhibit I) is proposed with a maximum 15'-6" height.*
 - *Main Burn Training Tower (Application Binder Exhibit M) is proposed with a maximum height of 45'-3".*
 - *The sound attenuation wall proposed at the north end of the firing range (Application Binder Exhibit F) is proposed with a maximum height of 20'-6"*
- d. *Allow the main burn tower building and the adjacent outdoor classroom facility to be constructed with shipping containers.*
- e. *Allow the bottom edge of the wall sign proposed on the west building façade of the main training and maintenance facility to be located 6-0' above grade.*
- f. *Allow the Division Street curb cut width for the proposed Training Complex to be 150' in width.*
- g. *Allow the four above parking lot islands illustrated on Application Binder as Exhibit A as being to be paved and striped to not be landscaped.*
- h. *Eliminate the requirement to provide a designated large loading zone in the project.*

It is important to note that the above staff recommendations do not encompass the special zoning approvals required to construct or operate the proposed firing range component of this project at this time due to the outstanding sound study information that is still being finalized by the Applicant's sound engineering consultant. Approval of the following separate Z.O. text amendments and additional special use permit would be required for this component of the project to proceed:

1. Zoning Ordinance text amendments to:

- a. *Add the following definition for “Outdoor Firing Range, Government Training Purposes” to the Zoning Ordinance: “The use of a designated outdoor areas accessory to a government training facility for the discharging of firearms for the purposes of target practice or military/law enforcement training.”*
- b. *Add the “Outdoor Firing Range, Governmental Training Purposes” to the list of potential special uses allowed in the M-1 zoning district.*
- c. *Add minimum parking requirements for the “Outdoor Firing Range, Governmental Training Purposes” land use that would require any such facility to provide one parking space for each firing station plus two parking spaces for instructor and employee use.*
- d. *Specifically exempt “Outdoor Firing Range, Governmental Training Facilities” from existing Z.O. Noise Performance Standards.*

2. Special use permit that would allow for the construction and operation of the new accessory Governmental Training Firing Range as described and illustrated in the various in the Application Binder and Preliminary/Final PUD documents submitted for project on the Subject Property. If this special use is ultimately recommended for approval, staff recommends the following conditions be attached to its approval:
 - a. Unless otherwise required by these conditions of approval, the firing range shall be operated in compliance with the information included in subsection 3 of Part 2 of the Project Narrative application binder for this project (see pages 8-13 of Part 2).
 - b. The maximum number of night shootings allowed each calendar month shall be agreed upon between the Applicant and the City Council.
 - c. The final construction design drawings for the firing range shall comply with the current edition of the United States Environmental Protection Agency's Best Management Practices for Lead at Outdoor Shooting Ranges. The range shall also be designed to prevent contamination of any waterway considered "Waters of the U.S." as defined by the U.S. Army Corps of Engineers, wetland or floodplain in accordance with the Clean Water Act.
 - d. No live ammunition training shall be allowed on Sundays unless otherwise approved by the City Council for special events.
 - e. The firing range spotlights shall only be operated when the firing range is in use within the hours of operation allowed by the City approved special use permit for the range.
 - f. If complaints from Crest Hill property owners persist after the outdoor firing range opens, the Applicant shall appear before the City Council to discuss the complaints and if and how the hours of operation of the range can be adjusted to address the complaints without materially impacting the ability of the range to meet the mandatory training needs of authorized users.



To: Plan Commission/ZBA

Patrick Ainsworth, AICP, Community and Economic Development Director

From: Ronald Mentzer, Community & Economic Development Consultant

Date: March 13, 2025

Re: ADDENDUM to Plan Commission Staff Report for Case # PUD-25-1-3-1 - Lockport Township Fire Protection District Miscellaneous Special Zoning Approval Requests

PURPOSE of MEMO

This memo has been prepared to explain and provide a staff recommendation on the following additional Planned Unit Development Exception the Lockport Township Fire Protection District has requested approval of for the new training, maintenance, and governmental firing range project (collectively the "Training Complex") but was not addressed in the detailed staff report distributed to the Plan Commission for this case on Friday, March 7, 2025.

ADDITIONAL REQUESTED PLANNED UNIT DEVELOPMENT EXCEPTION

Allow wall signage on a building façade not abutting a public right-of-way (Division Street in this case): According to section 15.12.080(C)(1) of the Municipal Code, only one wall sign is permitted per public street frontage. In this case, the subject property only has one street frontage. As currently proposed, the applicant is proposing a 266 sq. ft. wall sign on the north building façade facing Division Street and a similar, but smaller, 200 sq. ft. wall sign on the west building façade facing the main parking lot and adjacent to the main public entrance into the primary training and maintenance building. Section 15.12.080(C)(3) of the Municipal Code allows up to 15% (approximately 1,015) sq. ft. of the north façade of the building to be covered by signage. If both of the proposed signs were installed on the north building façade of this facility, they would cover a combined 6.9% of the north façade.

Staff Comments: Staff feels the proposed wall signs are attractive in design, appropriately sized for the proposed building, and that it is both reasonable and desirable to allow facility identification wall signage on both the Division Street façade and on the west façade facing the main parking lot. As such, *staff recommends approval of a PUD exception that would allow the applicant to install the wall signage illustrated on sheet A1.2 of the architectural elevation drawings attached to the Project Narrative application binder as Exhibit G.*

Exhibit K: Recommended Firing Range Special Use Permit Conditions

(last updated 3.31.2025)

1.) Firing Range Design and Maintenance Requirements:

- The firing range will be designed by a design professional (FGMA architect) with the assistance of certified Range Masters from the Lockport Police Department.
- Except as specifically noted otherwise in these conditions, the design, location, berming, landscaping, and layout of the firing range and associated sound barrier wall shall be constructed and maintained in substantial compliance with the Preliminary and Final PUD Plans listed in the City approved special use ordinance for the firing range. This includes but is not limited to:
 - The firing range being located at the southeast corner of the property, with its firing direction facing due south.
 - The firing range being surrounded on three sides (east, south, and west) by 24-foot-tall earthen berms, which will feature native plantings with deep roots to help stabilize them.
 - The shooting platform being positioned on the north end of the firing range so that shooting will be directed south.
 - A 20.5' tall abortive sound barrier wall will be constructed on the north end of the firing range. Said wall shall be constructed in the location assumed and modeled in the March 11, 2025, Soundscape Engineering Noise Transmission Assessment of FPD Training Grounds, Lockport, Illinois.
- The Firing Range shall be maintained in a manner that is substantially consistent with the "EPA's Best Management Practices for Lead at Outdoor Shooting Ranges (EPA-902-B-01-001)" for recommended remediation measures for lead in earthen berms.
- The firing range shall be designed and maintained to prevent contamination of any waterway considered "Waters of the U.S." as defined by the U.S. Army Corps of Engineers, wetland, or floodplain in accordance with the Clean Water Act.

2.) Sunday Firing Range Training Restrictions: No live ammunition training shall be allowed on Sundays unless otherwise approved by the City Council for special events.

3.) Monday through Friday Firing Range Training Restrictions: Live ammunition training shall be limited to the hours of 7:00 AM to 10:00 PM.

4.) Saturday Firing Range Training Restrictions: Live ammunition training shall be limited to the hours of 8:00 AM to 4:00 PM

5.) Night Shooting Training Restrictions: The maximum number of night shootings allowed each calendar month shall be (??? to be discussed and defined by the City Council ???).

6.) Firing Range Illumination Restrictions: The firing range spotlights shall only be operated when the firing range is in use within the hours of operation allowed by the City approved special use permit for the range.

7.) Response Obligations to Persistent Crest Hill Property Owner Complaints: If persistent written complaints from Crest Hill property owners are filed with the City Council after the firing

Exhibit K: Recommended Firing Range Special Use Permit Conditions

(last updated 3.31.2025)

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range opens, the Applicant shall appear before the City Council to discuss the complaints and if and how the hours of operation of the range can be adjusted to address the complaints without materially impacting the ability of the range to meet the mandatory training needs of authorized users.

8.) Authorized Range Users: Unless otherwise approved by the City Council, authorized users of the firing range will be limited to staff members of the following entities:

- The City of Crest Hill Police Department
- The City of Lockport Police Department
- The Lockport Township Park District
- The Village of Romeoville Police Department
- The Lewis University Police Department

9.) Operational Oversight Requirements: The firing range will be constructed and operated by the Lockport Police Department for public safety training purposes under an IGA with the Lockport Township Fire Protection District.

- Authorized users of the firing range will train at the range, under the ultimate supervision of a certified Range Master of the Lockport Police Department who will write and enforce Standard Operating Procedures and guidelines for its safe use and operation.
- Each authorized agency using the firing range will be responsible for providing their own certified Range Master who will present, ensuring the safe training operations at the firing range whenever in use. The Range Master of authorized users shall notify both the Fire District and the Lockport Police Department Range Master when their training begins and ends.
- A safety plan will be developed and enforced by the Lockport Police Department certified Range Master responsible for the overall supervision of training activities at the range. Said safety plan shall comply with the requirements of the current edition of the NRA's "The Range Manual, A guide to Planning and Construction."
- Proof of liability insurance in the minimum amount of two million dollars (\$2,000,000) shall be provided to the Lockport Township Fire Protection District that names the Fire District as an additional insured party and shall save and hold the Fire District, its appointed officials, and employees working within the scope of their duties harmless from and against all claims, demands and causes of action of any kind or character, including the cost of defense thereof, arising in favor of a person or groups members or employees or third parties on account or representatives. The Fire District shall be notified immediately if there are any changes or lapses to this liability insurance coverage.