



City Council Work Session

Crest Hill, IL

June 29, 2026

7:00 PM

Council Chambers

20600 City Center Boulevard, Crest Hill, IL 60403

Agenda

MAYOR

- [1.](#) Provide PFAS Treatment Alternatives Status
- [2.](#) 2026 Memorial Day and Police Memorial Event Report

CLERK

TREASURER

CITY ADMINISTRATOR/ASST. CITY ADMIN/HR DIR.

- [1.](#) 1817 Cora Street Water Bill Discussion
- [2.](#) Emergency Payment Public Works
- [3.](#) New Emergency Alerting Software Sign-Up
- [4.](#) Lidice Memorial Report

ECONOMIC DEVELOPMENT DEPARTMENT

ENGINEERING DEPARTMENT

- [1.](#) A Resolution for a Professional Services Agreement for a (Rate Update) by and Between the City of Crest Hill, Will County, Illinois and Burns & McDonnell in the amount of \$27,700.00
- [2.](#) Discussion on the Crest Hill Municipal Park
- [3.](#) Jasmine Ditch Drainage Investigation Update
- [4.](#) Discussion on McGilvary Drive Widening

POLICE DEPARTMENT

PUBLIC WORKS DEPARTMENT

1. Approval of Change Order No. 11 from Vissering Construction Inc. with the Direction to send it to the IEPA for Approval. Change Order will Increase the Amount of the Contract to \$50,051,690

FINANCE DEPARTMENT

1. Draft Ordinance Adding Chapter 3.21 (Satisfaction of Municipal Debts) To Title 3 (Revenue and Finance) To the City of Crest Hill Code of Ordinances

PUBLIC COMMENT(Limit 3 minutes per person)

EXECUTIVE SESSION:

1. 5ILCS 120/2(c)(1): The appointment, employment, compensation, discipline, performance, or dismissal of specific employees of the public body or legal counsel for the public body, including hearing testimony on a complaint lodged against an employee of the public body or against legal counsel for the public body to determine its validity.

ADJOURNMENT

The Agenda for each regular meeting and special meeting (except a meeting held in the event of a bona fide emergency, rescheduled regular meeting, or any reconvened meeting) shall be posted at the City Hall and at the location where the meeting is to be held at least forty-eight (48) hours in advance of the holding of the meeting. The City Council shall also post on its website the agenda for any regular or special meetings. The City Council may modify its agenda for any regular or special meetings. The City Council may modify its agenda before or at the meeting for which public notice is given, provided that, in no event may the City Council act upon any matters which are not posted on the agenda at least forty-eight (48) hours in advance of the time for the holding of the meeting.



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Ronald J Wiedeman
Department:	Engineering
Agenda Item:	Provide PFAS Treatment Alternatives Status.

Summary: As a follow, up to council decision at the October 27th 2025 workshop meeting on PFAS Treatment Alternatives, tonight Staff along with Tanner Smid of Strand and Associates will provide an update to the alternatives selected.

1. Blending Alternative-Reduce or eliminate the water contribution from selected wells with higher PFAS reading under a 24-hour operation.
2. Pilot Study-Complete a pilot Study on PFAS Treatment Systems at selected well locations.
3. Approval of next steps in PFAS Pilot Study-Preparation of a Treatment Protocol. This work will consist of the following
 - a. Collect and review data provided by vendors who responded to the RPF.
 - b. Prepare treatment goals for the Pilot Study
 - c. Prepare a preliminary design full scale design showing how the treatment methods selected will work in the City's existing Well houses.
 - d. How treatment media will be disposed.
 - e. Number of Samples required, testing samples and analyzing the Data.
 - f. Prepare opinion of probable costs summary of pilot rental, sampling, operation and media disposal.

The Cost to complete the work above is \$34,000.00 and is estimated to be completed by October 2, 2026 where it will be submitted to the IEPA for submittal. The next step in the Pilot process cannot begin until the City has IEPA approval and since we do not have control over the IEPA the timeframe of the approval is not known by the City, but estimated at 3-6 months.

The approval of this Amendment to the January 27th Agreement will raise the total contract value approved from \$10,000.00 to \$44,000.00.

Recommended Council Action: A Resolution approving an Amendment to January 27, 2026 Agreement for General Services Per-and-Polyfluoroalkyl Substances (PFAS) Treatment Equipment

and Pilot Testing Services By and Between the City of Crest Hill, Will County, Illinois and Strand & Associates, Inc. to increase the contract amount to \$44,000.00.

Financial Impact:

Funding Source: Water Fund

Budgeted Amount: \$825,000.00

Cost: \$34,000.00

This will change the total approved contract from \$10,000.00 to \$34,000.00

Attachments:

Resolution Amendment 1-Pilot Study

Exhibit A-Amendment 1-Strand-Pilot Study.

Executed PFAS Pilot

RESOLUTION NO. _____

**A RESOLUTION APPROVING AN AMENDMENT TO JANUARY 27, 2026
AGREEMENT FOR GENERAL SERVICES PER-AND-POLYFLUOROROALKYL
SUBSTANCES (PFAS) TREATMENT EQUIPMENT AND PILOT TESTING SERVICES
BY AND BETWEEN THE CITY OF CREST HILL, WILL COUNTY, ILLINOIS AND
STRAND & ASSOCIATES, INC**

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the authority to adopt resolutions and to promulgate rules and regulations that pertain to the City's government and affairs and protect the public health and, safety, and welfare of its citizens; and

WHEREAS, pursuant to Section 2-2-12 of the Illinois Municipal Code (65 ILCS 5/2-2-12), the City Council possesses the authority to enter into contracts that serve the legitimate corporate purposes of the City; and

WHEREAS, Stand & Associates, Inc. (the "COMPANY"), is an entity that is in the business of providing Professional General Engineering Services per-and-polyfluoroalkyl substances (PFAS) treatment equipment and pilot testing services proposal approved on January 27, 2026 by the City Administrator. (the "Project") in the amount of \$10,000; and

WHEREAS, The COMPANY was directed by staff to perform work that was outside the original contract scope. This additional work effort requested by staff will increase the original contract amount of the contract by \$34,000.00 to a total of \$34,0.00, which Amendment 1 is attached hereto as Exhibit A and incorporated herein; and

WHEREAS, the City Council has determined that it is in the best interests of the City and its residents to approve the Change Order and amendment to the total contract price to avoid delays and keep the project on schedule; and

WHEREAS, City Staff and the City Council have reviewed Exhibit A and determined that the conditions, terms, and provisions are fair, reasonable, and acceptable to the City and that the Contract approved on January 27, 2026 by the City Administrator should be amended to include the Amendment 1 attached as Exhibit A

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Crest Hill, Illinois, pursuant to its statutory authority, as follows:

SECTION 1: PREAMBLE. The City Council hereby finds that all the recitals contained in the preamble to this Resolution are true, correct and complete and are hereby incorporated by reference hereto and made part hereof.

SECTION 2: AGREEMENT APPROVED. The City Council hereby finds and declares that the conditions, terms, and provisions of the Amendment to the Contract approved January 27, 2026 by

the City Administrator is attached as (Exhibit A) in the amount of \$34,000.00 are fair, reasonable, and acceptable to the City and that the same is hereby approved in form and substance. Therefore, the City Council hereby authorizes and directs the Mayor to execute and deliver, and the Clerk to attest, the Contract Amendment 1, and further to take any and all other actions, including without limitation the execution and delivery of any and all documents, necessary and appropriate to effectuate the intent of this Resolution, which is to increase the total contract amount of the Contract approved January 27, 2026 by the City Administrator by \$34,000.00 to \$44,000.00.

SECTION 3: SEVERABILITY. If any section, paragraph, clause or provisions of this Resolution is held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any other provision of this Resolution.

SECTION 4: REPEALER. All ordinances, resolutions or orders, or parts thereof, which conflict with the provisions of this Resolution, are to the extent of such conflict hereby repealed.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect immediately upon its passage and publication according to law.

[Intentionally Blank]

PASSED THIS 6th DAY JULY, 2026.

	Aye	Nay	Absent	Abstain
Alderman Scott Dyke	_____	_____	_____	_____
Alderman Angelo Deserio	_____	_____	_____	_____
Alderwoman Claudia Gazal	_____	_____	_____	_____
Alderman Darrell Jefferson	_____	_____	_____	_____
Alderperson Tina Oberlin	_____	_____	_____	_____
Alderman Mark Cipiti	_____	_____	_____	_____
Alderman Nate Albert	_____	_____	_____	_____
Alderman Joe Kubal	_____	_____	_____	_____
Mayor Raymond R. Soliman	_____	_____	_____	_____

APPROVED THIS 6th DAY OF JULY, 2026.

Raymond R. Soliman, Mayor

ATTEST:

Christine Vershay-Hall, City Clerk

EXHIBIT A

(STAND & ASSOCIATES Inc.
AMENDMENT #3)



January 27, 2026

City of Crest Hill
2090 Oakland Avenue
Crest Hill, IL 60403

Attention: Mr. Blaine Wing, City Administrator

Re: Agreement for General Services
Per-and Polyfluoroalkyl Substances (PFAS) Treatment Equipment and Pilot Testing Services

This is an Agreement between the City of Crest Hill, Illinois, hereinafter referred to as OWNER, and Strand Associates, Inc.[®], hereinafter referred to as ENGINEER, to provide engineering services (Services) for the PFAS Pilot Experiment process at Wells No. 7 and No. 10. This Agreement shall be in accordance with the following elements.

Scope of Services

ENGINEER will provide the following Services to OWNER.

1. Review the Wells No. 7 and No. 10 sites for pilot testing.
2. Communicate with the Illinois Environmental Protection Agency (IEPA) and up to three potential PFAS pilot equipment vendors (Vendors) including Desotec US, LLC; Atec Water Systems, LLC; and Water Surplus, Inc. regarding pilot testing criteria.
3. Gather and review product data sheets for each Vendor's pilot testing equipment and summarize the general pilot design criteria and OWNER's spatial site constraints.
4. Prepare a request for proposal (RFP) that includes:
 - a. Project background and objectives.
 - b. Pilot experiment scope and performance metrics.
 - c. OWNER's submittal and selection process.
 - d. OWNER's safety standards.
 - e. Specifications and quantity of brands of granular activated carbon media.
5. Review the RFP with OWNER and submit to the IEPA for concurrence.
6. Distribute the RFP to the three Vendors. Respond to Vendor inquiries during the proposal period.
7. Review proposals from Vendors.
8. Participate in a proposal review meeting with OWNER. OWNER shall select and hire its preferred Vendor.

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Service Elements Not Included

The following services are not included in this Agreement. If such services are required, they will be provided through an amendment to this Agreement or through a separate agreement with OWNER.

1. Additional Site Visits and/or Meetings: Additional OWNER-required site visits or meetings.
2. Bidding- and Construction-Related Services: Any services involved in performing bidding- and construction-related services.
3. Drawings and Specifications: Design services including drawings and specifications.
4. PFAS Testing Assistance: Any services related to PFAS testing assistance.
5. Pilot Testing Report: Review of any reports from Vendors or the IEPA.
6. Preparation for and/or Appearance in Litigation on Behalf of OWNER: Any services related to litigation.

Compensation

OWNER shall compensate ENGINEER for Services under this Agreement on an hourly rate basis plus expenses an estimated fee of \$10,000.

Expenses incurred such as those for travel, meals, printing, postage, copies, computer, electronic communication, and long distance telephone calls will be billed at actual cost plus ten percent.

Only sales taxes or other taxes on Services that are in effect at the time this Agreement is executed are included in the Compensation. If the tax laws are subsequently changed by legislation during the life of this Agreement, this Agreement will be adjusted to reflect the net change.

The estimated fee for the Services is based on wage scale/hourly billing rates, adjusted annually on July 1, that anticipates the Services will be completed as indicated. Should the completion time be extended, it may be cause for an adjustment in the estimated fee that reflects any wage scale adjustments made.

The estimated fee will not be exceeded without prior notice to and agreement by OWNER but may be adjusted for time delays, time extensions, amendments, or changes in the **Scope of Services**. Any adjustments will be negotiated based on ENGINEER's increase or decrease in costs caused by delays, extensions, amendments, or changes.

Schedule

Services will begin upon execution of this Agreement, which is anticipated the week of February 5, 2026. Services are scheduled for completion on April 5, 2026.

Standard of Care

The Standard of Care for all Services performed or furnished by ENGINEER under this Agreement will be the care and skill ordinarily used by members of ENGINEER's profession practicing under similar circumstances at the same time and in the same locality. ENGINEER makes no warranties, express or implied, under this Agreement or otherwise, in connection with ENGINEER's Services.

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OWNER's Responsibilities

1. Assist ENGINEER by placing at ENGINEER's disposal all available information pertinent to this project including previous reports, previous drawings and specifications, and any other data relative to the scope of this project.
2. Furnish to ENGINEER, as required by ENGINEER for performance of Services as part of this Agreement, data prepared by or services of others obtained or prepared by OWNER relative to the scope of this project, such as soil borings, probings and subsurface explorations, and laboratory tests and inspections of samples, all of which ENGINEER may rely upon in performing Services under this Agreement.
3. Provide access to and make all provisions for ENGINEER to enter upon public and private lands as required for ENGINEER to perform Services under this Agreement.
4. Examine all reports, sketches, estimates, special provisions, drawings, and other documents presented by ENGINEER and render, in writing, decisions pertaining thereto within a reasonable time so as not to delay the performance of ENGINEER.
5. Provide all legal services as may be required for the development of this project.
6. Pay all permit and plan review fees payable to regulatory agencies.
7. Provide PFAS testing, as required.

Changes

1. OWNER may make changes within the general scope of this Agreement in the Services to be performed. If such changes cause an increase or decrease in ENGINEER's cost or time required for performance of any Services under this Agreement, an equitable adjustment will be made and this Agreement will be modified in writing accordingly.
2. No services for which additional compensation will be charged by ENGINEER will be furnished without the written authorization of OWNER. The fee established herein will not be exceeded without agreement by OWNER but may be adjusted for time delays, time extensions, amendments, or changes in the **Scope of Services**.
3. If there is a modification of Agency requirements relating to the Services to be performed under this Agreement subsequent to the date of execution of this Agreement, the increased or decreased cost of performance of the Services provided for in this Agreement will be reflected in an appropriate modification of this Agreement.

Extension of Services

This Agreement may be extended for additional Services upon OWNER's authorization. Extension of Services will be provided for a lump sum or an hourly rate plus expenses.

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Payment

OWNER shall make monthly payments to ENGINEER for Services performed in the preceding month based upon monthly invoices. Nonpayment 30 days after the date of receipt of invoice may, at ENGINEER's option, result in assessment of a 1 percent per month carrying charge on the unpaid balance.

Nonpayment 45 days after the date of receipt of invoice may, at ENGINEER's option, result in suspension of Services upon five calendar days' notice to OWNER. ENGINEER will have no liability to OWNER, and OWNER agrees to make no claim for any delay or damage as a result of such suspension caused by any breach of this Agreement by OWNER. Upon receipt of payment in full of all outstanding sums due from OWNER, or curing of such other breach which caused ENGINEER to suspend Services, ENGINEER will resume Services and there will be an equitable adjustment to the remaining project schedule and compensation as a result of the suspension.

Failure to make payments to ENGINEER is cause for termination upon two-week notice to OWNER.

Termination

This Agreement may be terminated with cause in whole or in part in writing by either party subject to a two-week notice and the right of the party being terminated to meet and discuss the termination before the termination takes place. ENGINEER will be paid for all completed or obligated Services up to the date of termination.

Data Provided by Others

ENGINEER is not responsible for the quality or accuracy of data nor for the methods used in the acquisition or development of any such data where such data is provided by or through OWNER, contractor, or others to ENGINEER and where ENGINEER's Services are to be based upon such data. Such data includes, but is not limited to, soil borings, groundwater data, chemical analyses, geotechnical testing, reports, calculations, designs, drawings, specifications, record drawings, contractor's marked-up drawings, and topographical surveys.

Third-Party Beneficiaries

Nothing contained in this Agreement creates a contractual relationship with or a cause of action in favor of a third party against either OWNER or ENGINEER. ENGINEER's Services under this Agreement are being performed solely for OWNER's benefit, and no other party or entity shall have any claim against ENGINEER because of this Agreement or the performance or nonperformance of Services hereunder. OWNER and ENGINEER agree to require a similar provision in all contracts with contractors, subcontractors, subconsultants, vendors, and other entities involved in this project to carry out the intent of this provision.

Dispute Resolution

Except as may be otherwise provided in this Agreement, all claims, counterclaims, disputes, and other matters in question between OWNER and ENGINEER arising out of or relating to this Agreement or the breach thereof will be decided first by mediation, if the parties mutually agree, or with a bench trial in a court of competent jurisdiction within the State of Illinois.

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Remedies

Neither ENGINEER nor OWNER shall be liable to the other for special, indirect, punitive, or consequential damages for claims, disputes, or other matters in question arising out of this or relating to this Agreement. This mutual waiver is applicable, without limitation, due to either party's termination of this Agreement.

Terms and Conditions

The terms and conditions of this Agreement will apply to the Services defined in the **Scope of Services** and represent the entire Agreement and supersede any prior proposals, Requests for Qualifications, or Agreements. OWNER-supplied purchase order is for processing payment only; terms and conditions on the purchase order shall not apply to these Services.

IN WITNESS WHEREOF the parties hereto have made and executed this Agreement.

ENGINEER:


OWNER:

STRAND ASSOCIATES, INC.®

CITY OF CREST HILL, ILLINOIS


Joseph M. Bunker
Corporate Secretary

Date


Blaine Wing
City Administrator

Date



Agenda Memo
Crest Hill, IL

Meeting Date: June 29, 2026

Submitter: Raymond R. Soliman, Mayor

Department: Mayor's Office *RS*

Agenda Item: 2026 Veterans/Police Memorial Report

Summary: For many years the City has been hosting the Veterans/Police Memorial Ceremony and the 2026 event continued on that legacy. Although there was a budget request for up to \$2,000 to support the May 25th event, the City's costs were much less (\$494.36).

The Veterans/Police Committee provided flowers, cookies, water, pop, band, and stamps (for letters). There were also numerous volunteers, and in-kind items, including:

- Tents (Park District Tents.): In-kind
- Tables: In-kind
- Chairs: In-kind
- Trash: In-kind

The City expenses include the following:

- Non-Salary Employee Event Day costs: \$94.36
- Audio/Video and Recording: Invoiced at \$400.00

Overall, the 2026 event was well attended with an estimated attendance of around 150, not including the band. My thanks again goes out to everyone who helped make this year's event special, especially those who volunteered their time and services.

Recommended Council Action: Approval



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Blaine Wing, City Administrator
Department:	Administration
Agenda Item:	Discuss Draft Water & Sewer Payment Plan Options

Summary: Following the June 8th Work Session, Attorney Stiff and I had a meeting with Johnathan De La Torre and Rachel Del Toro. Below is their timeline of what occurred.

They closed on the property on January 18, 2026. The sellers were not at the closing. According to Jonathan and Rachel, the realtors and attorneys at the closing advised them that the water was the only utility they did not have to transfer themselves and that the Crest Hill water account would be transferred to them. They did not question this. They proceeded to have the electric, gas and internet services transferred by making the appropriate calls.

They waited one month and did not receive a water bill. Sometime in February, they called the City. They do not know who they spoke with, but they were told that they would not be able to have an account opened or transferred over the phone. So, they came to City Hall. Again, they do not know who they spoke with. They were told that the water account for the property was still in the name of the Seller (former owner), and that the City would need confirmation from the account holder. They were told that the City would contact the prior owner/account holder to verify that they were no longer in title to the property.

Approximately one week later, someone from the City called and advised that they had reached the prior owner and that they could now come in to have the account set up in their name. This was toward the end of February. Jonathan came to City Hall and “registered” with the City. He thinks it was at that visit that he was advised that there was a problem with the meter and that the City needed to get into the house to fix it. He scheduled a time for the meter to be fixed. By this time it was March.

After the meter was fixed, they received an email from Regina notifying them of the continuous flow alert. That email was March 25, 2026. When they got the email, they were both at work. Jonathan and his father immediately went to the property and were able to figure out that there was a valve on the washing machine that was on, causing water to continuously pour into the drain. They turned off that valve, and that solved the continuous flow issue.

In May, they got their water bill, which totaled \$4,238.37. They were told that the usage was 22,000 gallons. They then contacted the City and eventually Treasurer Jamie Malloy.

Staff did present to Council a draft agreement following City Council’s direction at the meeting on June 8, Attorney Stiff halved the total bill, which comes to \$2,119.00. With a 10% payment of \$210, that leaves a balance of \$1,909.00. When spread over 12 months, the monthly payment would be \$159.00. The residents said that they would agree to that payment plan. Attorney Stiff and I made it clear to them that this would be in addition to their regular water usage as billed every two months, and they understood.

At the last meeting, City Council asked for additional details. The Finance Department has since reviewed the service from both the current and previous owners:

Schedule of Events 1817 Cora St.	Dates	Description	
Scheduled Closing Date/ Took Occupancy - De La Torre	1/18/2026		
Previous Owner's Bill	1/22/2026	Almost 5 times normal bill (\$150=normal, Jan bill = \$722)	
Paid 1/22/2026 bill via Auto Debit	2/20/2026		
Continuous Flow email sent to (Previous) Owner	1/25/2026	No Response. (City now knows was the previous owner.)	
Previous Owner Requested Final Read	3/4/2026		
Final Read (Estimated)	3/5/2026		
New Resident Account Created	3/6/2026		
De La Torre information provided & account created	3/10/2026		
De La Torre Notified	3/25/2026		
Paid Final Bill (Previous Owner)	4/16/2026	Manual paid online (credit card)	
Owner (Previous) Continuous Flow	12/23/2025	Flow Began	
Owner (Previous) Continuous Flow	1/5/2026	Good Read from Meter (cubic feet)	4,050
Owner (Previous) Typical Usage	1/5/2026	Estimated Typical Use (cubic feet)	600
Excess Flow (2 weeks)	1/5/2026	Amount of usage due to Continuous Flow	3,450
		This is an estimate of what the bill should have been	
Owner (Previous) Final Bill s/b	3/5/2026	(including the continuous flow)	\$ 600.00
Owner (Previous) Estimated Final Bill	3/5/2026	Estimated Final Bill Paid by Owner (Previous)	\$238.42
		Amount of the De La Torre bill that should have been paid	
Owed by Owner (Previous)	3/5/2026	by Owner (Previous)	\$361.58

Besides addressing specific issues, staff with the assistance of the City Attorney, will be working on several other items, including:

- Moving to monthly billing.
- Having automatic meters that will allow for remote shutoffs and turning on water.
- Updating our procedures and policies to improve communication with customers and our departments.
- Updating the City’s code, so that there are clear rules when property is sold.

Recommended Council Action: Discussion and direction, so that a final agreement can be drafted for City Council’s consideration on July 6th.



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Blaine Wing, City Administrator
Department:	Administration
Agenda Item:	Emergency Payment Public Works

Summary: As you'll read in Gary's memo, our current biosolids waste hauler contacted us this week to advise us that they could not take our material. The Public Works staff quickly located two (2) alternatives, evaluated them, and needed to move forward. This quickly reached emergency status, and I authorized Gary to move forward with this immediate action while he and the team work on a longer-term solution.

Recommended Council Action: Discussion only; Vote on July 6th.

Financial Impact: \$83,125.00

Funding Source: General Fund

Budgeted Amount: \$195,750.00

Cost: \$83,125.00

Attachments: Emergency Biosolids Handling – East & West Wastewater Treatment Plants Memo



To: Mayor Soliman and City Council
From: Gary Richardson, Director of Public Works
Date: June 25, 2026
Re: Emergency Biosolids Handling – East & West Wastewater Treatment Plants

The purpose of this memorandum is to inform the City Council of an urgent biosolids management issue at the East and West Wastewater Treatment Plants (STPs), and to present available disposal options along with associated costs and risks.

Both facilities are currently experiencing a significant accumulation of biosolids. Approximately 1.4 million gallons must be removed immediately in order to:

- Maintain regulatory compliance
- Ensure continued plant operations
- Prevent odor generation and potential complaints within the community

Stewart Spreading is no longer able to spread biosolids at the Stateville site. If Stewart Spreading continues hauling to an alternative location, the cost would be \$0.145 per gallon. For approximately 1.35 million gallons, the total cost would be \$195,750.

New Era Spreading has offered hauling services to two southern disposal sites with capacities of 600,000 gallons and 350,000 gallons, respectively. The total volume that can be hauled under this option is approximately 950,000 gallons at a rate of \$0.0875 per gallon, resulting in a total cost of \$83,125.

The City faces an urgent need to reduce its biosolids inventory. Prompt approval of disposal services is critical to minimizing environmental impact, maintaining regulatory compliance, and avoiding community nuisance issues.

Given the urgency and current constraints, staff recommends utilizing New Era Spreading to achieve a lower-cost disposal of approximately 950,000 gallons.



Blaine Wing
City Administrator
(815) 741-5124
bwing@cresthill.gov

FOR IMMEDIATE RELEASE
June 26, 2026



Smart 9-1-1 in Will County

Crest Hill encourages residents to sign up for Smart 911 system

Crest Hill, IL; June 26, 2026 – The City of Crest Hill is encouraging residents to register for Smart911, the new emergency notification system that is replacing Everbridge throughout Will County.

Beginning July 1, 2026, the Everbridge alerts system maintained by the Will County Emergency Management Agency, will no longer be available. Existing Everbridge subscribers will receive a notification about the transition and will be encouraged to register for the new system, Smart911. Residents who currently receive City emergency or community notifications through Everbridge must create a new Smart911 account to continue receiving alerts.

Smart911 allows residents to receive important notifications by text message, phone call, email, or mobile app. In addition to emergency alerts, the City of Crest Hill may use the system to share information about road closures, public safety incidents, service disruptions, and other important community updates.

Crest Hill residents are also encouraged to create a free Smart911 Safety Profile, which allows them to voluntarily provide emergency responders with helpful information such as emergency contacts, medical information, household members, pets, vehicles, and additional addresses.

To register, visit the Will County Smart911 Registration page: <https://willcounty911.gov/smart-911/.org>.

About the City of Crest Hill

The City of Crest Hill is a vibrant community in Will County, Illinois, dedicated to providing high-quality public services, maintaining critical infrastructure, and enhancing the quality of life for residents, businesses, and visitors.

For additional information, visit Will County’s Smart 9 1 1 website or contact rave@willcounty911.gov for questions and support.





Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Blaine Wing, City Administrator Tina Oberlin, Alderperson
Department:	Administration & Elected Officials
Agenda Item:	84 th Lidice Memorial Ceremony Report

Summary: For many years the City of Crest Hill has been hosting or co-hosting the Lidice Memorial Ceremony. The event in 2026 was held with the help of mostly volunteers and minimal staff assistance. Although the City budgeted up to \$2,000 to help support this year's event that took place on Sunday, June 7th, the cost to the City was \$400.

The T.G. Masaryk School provided flowers, refreshments, and music.

In-kind items included:

- Tents: In-kind
- Tables: In-kind
- Chairs: In-kind
- Trash: In-kind

City expenses include the following:

- Audio/Video and Recording: Invoiced \$400.00

Alderperson Oberlin will provide additional verbal comments during the report, but overall, the 2026 event was well attended (approximately 150), had substantial volunteers, donations, and required minimal financial support from the City.

Recommended Council Action: Approval



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Ronald J Wiedeman
Department:	Engineering
Agenda Item:	A Resolution for a professional services agreement for a (Rate Update) by and Between the City of Crest Hill, Will County, Illinois and Burns & McDonnell in the amount of \$27,700.00.

Summary: Attached is a proposal from Burns & McDonnell to update the city’s financial plan for water and sewer utilities. When the 2023 water and sewer update was completed for FY2024 staff had informed council that from time to time the current financial plan would need to be updated to adjust and include more up to date costs of the city water and sewer capital program along with more refined construction costs provided by Grand Prairie Water Commission for the city’s share of the construction of a new water supply line. This update will review the city’s utility revenues, operating expenses, debt payments, balances and capital expenditures for FY2024 through FY2027 period.

This update will provide the city a better idea at the start of the FY2028 fund year where the city stands based on its current utility rate structure and how this rate structure will cover expected expenses in the future for the construction of the new water supply line from Lake Michigan and future operating expenses, debt payments and capital expenditures.

The final product will be a technical memorandum summarizing the finding and these findings which will be presented to the Council at a future workshop meeting.

The schedule is to have this work completed and presented to the Council in November of this year.

Recommended Council Action: A Resolution for a professional services agreement for a 2027 financial plan update for water and sewer utility (Rate Update) by and Between the City of Crest Hill, Will County, Illinois and Burns & McDonnell in the amount of \$27,700.00.

Financial Impact:

Funding Source: Water Fund

Budgeted Amount: \$712,000.00

Cost Approved to Date: 27,700.00

Total Amount approved out of 07-06-5330 to date is \$177,700.00.

Attachments:

Exhibit A-Crest Hill-2027 Water and Sewer Financial Plan Update Proposal(6.15-26)

RESOLUTION NO. _____

**A RESOLUTION FOR A PROFESSIONAL SERVICES AGREEMENT FOR A 2027
FINANCIAL PLAN FOR WATER AND SEWER UTILITY (RATE UPDATE) BY AND
BETWEEN THE CITY OF CREST HILL, WILL COUNTY, ILLINOIS AND BURNS
AND MCDONALD IN THE AMOUNT OF \$27,700.00**

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the authority to adopt resolutions and to promulgate rules and regulations that pertain to the City's government and affairs and protect the public health and, safety, and welfare of its citizens; and

WHEREAS, pursuant to Section 2-2-12 of the Illinois Municipal Code (65 ILCS 5/2-2-12), the City Council possesses the authority to enter into contracts that serve the legitimate corporate purposes of the City; and

WHEREAS, Burns and McDonnell. (the "COMPANY"), is an entity that is in the business of providing professional services, 2027 financial plan update for water and sewer utility (the "Services"); and

WHEREAS, the City Council desires to engage the Company to provide the Services and the Company is ready, willing to perform the Services for the City; and

WHEREAS, City Staff have negotiated an Agreement for 2027 financial plan update for water and sewer utility (the "Agreement") with the Company for the purposes of engaging the Company to perform the Services (a copy of the Agreement is attached hereto as Exhibit A and fully incorporated herein); and

WHEREAS, the Staff and City Council has reviewed the Agreement and determined that the conditions, terms, and provisions of the Agreement are fair, reasonable, and acceptable to the City; and

WHEREAS, the City Council has determined that it is in the best interest of the City and its citizens to enter into the Agreement with the Company.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Crest Hill, Illinois, pursuant to its statutory authority, as follows:

SECTION 1: PREAMBLE. The City Council hereby finds that all of the recitals contained in the preamble to this Resolution are true, correct and complete and are hereby incorporated by reference hereto and made part hereof.

SECTION 2: AGREEMENT APPROVED. The City Council hereby finds and declares that the conditions, terms, and provisions of this Agreement (Exhibit A) in the amount of 27,700.00 are fair, reasonable, and acceptable to the City and that the same is hereby approved in form and substance.

Therefore, the City Council hereby authorizes and directs the Mayor to execute and deliver, and the Clerk to attest, the Agreement, and further to take any and all other actions, including without limitation the execution and delivery of any and all documents, necessary and appropriate to effectuate the intent of this Resolution, which is to enter into the Agreement with the Company.

SECTION 3: SEVERABILITY. If any section, paragraph, clause or provisions of this Resolution is held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any other provision of this Resolution.

SECTION 4: REPEALER. All ordinances, resolutions or orders, or parts thereof, which conflict with the provisions of this Resolution, are to the extent of such conflict hereby repealed.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect immediately upon its passage and publication according to law.

[Intentionally Blank]

PASSED THIS 6TH DAY JULY, 2026.

	Aye	Nay	Absent	Abstain
Alderman Scott Dyke	_____	_____	_____	_____
Alderman Angelo Deserio	_____	_____	_____	_____
Alderwoman Claudia Gazal	_____	_____	_____	_____
Alderman Darrell Jefferson	_____	_____	_____	_____
Alderperson Tina Oberlin	_____	_____	_____	_____
Alderman Mark Cipiti	_____	_____	_____	_____
Alderman Nate Albert	_____	_____	_____	_____
Alderman Joe Kubal	_____	_____	_____	_____
Mayor Raymond R. Soliman	_____	_____	_____	_____

APPROVED THIS 6TH DAY OF JULY, 2026.

Raymond R. Soliman, Mayor

ATTEST:

Christine Vershay-Hall, City Clerk

EXHIBIT A

June 15, 2026

Mr. Ron Wiederman, P.E.
Director of Engineering
City of Crest Hill
20600 City Center Blvd
Crest Hill, IL 60403

Re: 2026 Water & Sewer Utility Financial Plan Update

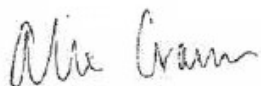
Dear Ron,

This letter proposal follows up on our prior message exchange regarding the update of the City of Crest Hill's financial plan for your water and sewer utility. We plan to follow a similar approach as our prior engagements for updating the financial models and proposed rate increases. The major elements of scope are anticipated to include:

- ▶ Review the utility's revenues, operating expenses, debt payments, balances, and capital expenditures that City records indicate were actually incurred in 2024 through 2026 and are estimated to be incurred in 2027. During this review we will compare these results to projections in our studies completed last year. The purpose of this review is to understand variances that may influence future projections.
- ▶ Update the financial plan for each utility to reflect
 - FY2027 budget
 - Beginning balances available at the start of current fiscal year (FY2027)
 - Updated assumptions regarding growth, usage, inflation, and interest rates
 - Updated water supply costs from the Grand Prairie Water Commission (expected to be available in July, 2026)
 - Conduct review meetings with you and other City staff
 - Provide a technical memorandum summarizing findings

We are pleased to continue supporting you and the City of Crest Hill. I am open to adjustments you may wish to consider that tailor our approach to meet the City's needs. Please reach out to me either by phone or email at 816-782-6055 / acraven@burnsmcd.com.

Sincerely,



Alex Craven / Project Manager

Scope of Services

Task 1 – Initiate Project

The objective of Task 1 is to initiate the Study.

To begin the Study, we will need to obtain the following key data sets:

- A. Detailed actual revenues and expenses for FY2024-FY2026.
- B. Beginning cash balances for FY 2027
- C. Billing summaries by class including accounts, volumes and revenues for 2024 through 2026.
- D. The 2027 utility budget.
- E. Existing annual debt service expenses
- F. The most recent capital improvement plan, with estimates over a 10-year planning period.

We will host a Teams meeting to initiate this Study, including a review of key issues or concerns the City may have that impacts financial planning, and a review of scope and milestones.

Task 2 – Update Financial Planning

The objective of Task 2 is to update the water and sewer utility financial plan for the next ten years, and perform a variance analysis to understand the degree to which actual financial results have varied from plans created in the prior analysis.

Task 2.1 – Evaluate Current Usage Levels and Prepare Revenue Forecast

Projected annual utility service revenues under existing rates will be developed. Burns & McDonnell will review historical growth in the number of customers by class since 2023 and then forecast the annual number of customers for each rate class for each year of the forecast period.

Burns & McDonnell will assess trends in water usage and wastewater volume per account for each customer class. Based on the usage analysis and other available information, Burns & McDonnell will estimate the future usage per customer for each rate class for the utility. The estimates of the annual number of customers and the annual usage per customer will provide the basis for forecasting annual water sales and wastewater volume usage over the Study period.

Burns & McDonnell will also develop projections of revenues from other existing sources, consistent with prior analysis.

Task 2.2 – Project Capital Flow of Funds

Burns & McDonnell will review the capital improvement plan (CIP) and develop a capital planning flow of funds. This plan will acknowledge anticipated sources and uses of capital funds to implement the CIP. Funding sources will include existing balances, issuance of proposed revenue or general obligation bonds, IEPA loans, connection fees, and other sources as applicable. Uses of funds will include the CIP, cost of potential debt issuance, and other costs as identified through consultation with the City.

Task 2.3 – Project Operating Revenue Requirements

Historical O&M will be updated since 2023 and projected O&M will be based on the FY2027 budget, with inflation to project future periods. The Grand Prairie Water Commission's cost calculator, expected to be available in July or August, will be used to refresh water supply costs.

Annual debt service requirements on any outstanding debt will be included in the operating forecast. To the extent additional financing of expected capital improvements is indicated to be required, estimates of new debt service requirements will also be incorporated in the forecast. In addition, the impacts of any financial performance requirements or targets, i.e. debt service coverage requirement, reserve levels, target operating ratio, etc., whether imposed internally or externally, will be considered.

Projections of any other utility system cash expenditures not included in any of the above categories will also be captured in the financial forecast. Such expenditures may include transfers or routine capital expenditures.

Task 2.4 – Review Historical Results & Variance Analysis

The City of Crest Hill's most recent financial forecast was developed in 2023. Understandably there have been changes to the City's utility revenues and costs since the prior analysis was conducted. We will compare the projections of the most recent forecast to the actual revenues and costs since the prior analysis was completed to identify areas of material difference and how those potential variances may impact new forecasting.

Task 2.5 – Review and Finalize Operating Cash Flow

Burns & McDonnell will summarize the annual forecasts of the water and sewer utility revenues, as well as the projected operating requirements in the form of pro-forma cash flow analyses. These analyses will identify potential annual operating surpluses or deficits anticipated during the study period. The total projected annual surplus or deficit will provide an indication of whether the existing rates will generate sufficient revenues to cover the utility's costs for each year of the forecast period, and whether an overall revenue adjustment is necessary. Compliance with loans and revenue bond covenants under existing rates will also be evaluated as applicable.

We will use the same financial planning principles followed in the rate study and prior financial plan updates (reserves, debt service coverage, etc.) to evaluate the sufficiency of revenues over the forecast period. To the extent that revenues under existing rates are not sufficient to cover current and future operating and capital costs, revenue increases will be proposed to meet the funding requirements.

Burns & McDonnell will review the preliminary forecast results with the City. During this meeting, Burns & McDonnell will review assumptions and results for each component of the cash flow forecast. During the meeting, adjustments may be made "real time" to optimize the financial plans and meet the City's needs.

Task 2 Deliverables and Meetings:

- ▶ Deliverables:
 - Water and Sewer Pro-forma cashflows
 - Historical Revenue and Expense Variance Analysis
- ▶ Formal Meeting: Teams Meeting to Review Cash Flows and Variance Analysis

Task 3 – Proposed Rate Development

The objective of Task 3 is to develop proposed water and sewer rates under the existing rate structure to meet future operating and capital needs as identified in Task 2. Utilizing the existing rate structure we will develop proposed rates from 2028 to 2032 using the system wide revenue increases developed in Task 2.5.

Burns & McDonnell will prepare a comparison of typical bills under both the existing and the proposed rates for representative water and sewer customer user profiles. A comparison will also be completed to show the average water and sewer bills of regional peers. The bill profile as well as the set of regional peer communities will be the same as used in prior studies.

Task 3 Deliverables and Meetings:

- ▶ Deliverables:
 - Proposed Water and Sewer Rates
 - Regional Data/Typical Bill Comparison

Task 4 - Deliverables

Burns & McDonnell will summarize the Study results in a draft memorandum, reviewing the key findings and documenting how the analysis and recommendations were developed. Feedback from the City will be incorporated into the memo as appropriate.

Project Timeline

A timeline of proposed major milestones is shown below and assumes a start date of July 1st.

Activity	Target Date
Initiate Study with Council Approval	August
Data Received	Week of August 24 th
First Draft Financial Plan	Week of September 14 th
Finalize Financial Plan	Week of September 28 th
Develop Regional & Typical Bill Comparison	Week of October 5 th
Draft & Finalize Rates	Week of October 12 th
Draft Memorandum	Week of October 19 th
Finalize Memo	Week of November 2 nd

* Timely receipt of data is required to maintain this schedule.

Estimated Level of Effort and Cost

We propose to complete the scope described in this letter for a lump sum fee that shall not exceed \$27,700 which will be billed monthly on a percent complete basis. All meetings are assumed to be conducted virtually.

General Assumptions

1. Project timeline is dependent on availability of client data.
2. City will review and approve key project deliverables in a timely manner.
3. City will attend requested meetings.
4. Key data sets, such as customer billing registers operating cost chart of accounts have not changed since our prior engagement.
5. Comments and feedback from City management regarding study deliverables will not require substantial rework of the analysis or deliverables.

Terms & Conditions

All services will be performed under the terms and conditions of the attached “Terms and Conditions for Professional Services”, which is incorporated and made a part of this agreement.



Burns & McDonnell Services Agreement Terms and Conditions

Project: 2026 Water & Sewer Utility Financial Plan Update

THIS CONTRACT CONTAINS A LIMITATION OF REMEDIES AND BINDING ARBITRATION PROVISION WHICH MAY BE ENFORCED BY THE PARTIES.

Date of Services Proposal: June 15, 2026

Client Signature:

Client:
City of Crest Hill ("Client")

Name (printed): _____

This Agreement is made as of June 15, 2026, by and between Client and Burns & McDonnell Engineering Company, Inc. (hereinafter called "BMcD").

SECTION 1 — AUTHORIZATION OF SERVICES

Services shall be undertaken only upon signing of the attached Services Proposal by Client. Such Services are more specifically identified in the Services Proposal.

SECTION 2 — SERVICES OFFERED BY BMcD

The Services are specifically identified in the attached letter, proposal, agreement, or statement of work as identified above ("Services Proposal"). BMcD will rely on information provided by Client in the undertaking of the Services.

SECTION 3 — PERIOD OF SERVICE

The provisions of this Agreement have been agreed to in anticipation of the orderly and continuous progress of the Project through completion of the services stated in the Proposal. BMcD's obligation to render services hereunder will extend for a period that may reasonably be required for the completion of Services. BMcD shall make reasonable efforts to comply with deliverable schedules (if any) and consistent with BMcD's professional responsibility.

SECTION 4 — COMPENSATION

4.1 Client shall pay BMcD for Services rendered and reimbursable expenses as stated in the Services Proposal. Invoices are payable upon receipt. A late payment charge of 1.5 percent per month or any partial month will be added to amounts not received within thirty (30) days of the statement date. Time is of the essence in payments of statements, and timely payment is a material part of the consideration of this Agreement. Costs, including reasonable attorney's fees, incurred by BMcD in collecting any delinquent amount shall be reimbursed by the Client. If a portion of BMcD's statement is disputed by Client, the undisputed portion shall be paid by Client by the due date. The Client shall advise BMcD in writing of the basis for any disputed portion of any statement.

4.2 Taxes, other than United States federal and state income taxes, and Kansas City, Missouri earnings tax, as may be imposed by the United States, state, and local authorities, shall be in addition to the payment stated under "Amount of Payment."

4.3 BMcD may engage or obtain assistance from its affiliates and subsidiaries including, without limitation, Burns & McDonnell Canada Ltd., Burns & McDonnell Global, Inc., Burns & McDonnell Western Enterprises, Inc., and Burns & McDonnell India Pvt. Ltd. ("Labor Sources") to fulfill performance obligations of BMcD under this Agreement. The Parties agree that contracts, purchase orders, or similar agreements between BMcD and any Labor Sources are not subcontracts and persons from such Labor Sources shall be billed to Client according to the rate sheet / billing rate defined for the applicable contract, purchase order, or similar agreement. Personnel from Labor Sources shall be considered agents of BMcD and able to act on behalf of BMcD within the scope of the authority granted such personnel according to job function and billing classification.

SECTION 5 — LIMITATION OF REMEDIES

5.1 **INDEMNIFICATION.** Client and BMcD each agree to indemnify and hold harmless the other, and the other's officers, directors, and employees, from and against third party damages, including reasonable attorney's fees, to the extent such damages and expenses are caused by the indemnitor's own negligent acts, errors, or omissions. In the event damages or expenses are caused by the joint or concurrent

negligence of Client and BMcD, they shall be borne by each Party in proportion to its own negligence.

5.2 **WAIVER OF CONSEQUENTIAL DAMAGES.** BMcD is not liable for any special, indirect, incidental, punitive, or consequential damages to Client. The excluded damages include, but are not limited to, by way of example, (a) Client's loss of: anticipated profits, savings, revenue, use of equipment, sublicensed software, licensed software, services, or data; (b) cost of capital; (c) cover costs, or cost of any substitute performance or replacement of equipment, facilities or services; (d) third party consequential damages; and (e) indirect damages as a result of property loss.

5.3 **LIMITATION OF LIABILITY.** Notwithstanding any other provision herein, BMcD's maximum liability to Client for all claims arising out of or related to these Services and this Agreement shall be limited to the specific remedies provided herein, but shall not exceed the greater of \$100,000 USD or the amount paid by Client to BMcD under the Agreement. The limitations of liability provided herein in this Section 5.3 shall apply should it be judicially determined that the specific remedies provided elsewhere in this Agreement fail in their essential purpose.

5.4 To the greatest extent allowed by law, the damages waived or excluded, or otherwise limited in this Section 5 Limitation of Remedies, shall be allowed, and shall apply to any and all claims or causes of action as to between the parties, including but not limited to breach of contract, breach of warranty, any tort claim including negligence, strict liability, or any other legal or statutory theory of recovery.

SECTION 6 — INSURANCE; STANDARD OF CARE; WARRANTY

6.1 During the course of performance of its services, BMcD will maintain Worker's Compensation insurance with limits as required by statute, Employer's Liability insurance with limits of \$1,000,000, Commercial General Liability with limits of \$1,000,000 per occurrence and \$2,000,000 general aggregate, and Automobile Liability insurance with combined single limit of \$1,000,000 per accident.

6.2 Client and BMcD and their respective officers, directors, agents, or employees waive all rights of recovery against each other, and their insurers' right to subrogation, for property damage and property loss covered by their respective property insurance (including deductibles and self-insurance) during and after the completion of BMcD's Services.

6.3 BMcD will perform the Services associated with the Services Proposal consistent with the standards and practices of others providing similar services under similar circumstances at time of performance ("Standard of Care"). Client shall promptly notify BMcD in writing of any failure of BMcD to comply with this standard or any perceived deficiency in its Services. During performance of the Services Proposal, and for one year after completion of Services, should BMcD receive such notice, BMcD at its sole option, may (a) reperform the Services to bring the same into conformance with the requirements of the Services Proposal and the applicable Standard of Care, or (b) BMcD may liquidate damages to Client by paying to Client, as refund or otherwise, that portion of the compensation for that portion of the Services which are found to be deficient, or otherwise were not able to be corrected or bought into conformance with Services Proposal requirements by reperformance or replacement after commercially reasonable attempts by BMcD to do so.

6.4 The mutually negotiated obligations and representations contained in Section 6.3 are BMcD's sole obligation and Client's exclusive remedy with respect to defects in the quality of Services or failure to meet the Standard of Care, regardless of the cause of action pled including, without limitation, all types of negligence. Client's improper operation,

maintenance, or unauthorized use of the Services shall relieve BMcD of any liability or damages arising out of such improper or unauthorized use.

6.5 No warranty, express or implied, is included in this Agreement, including any warranty for fitness for a particular purpose, merchantability, or noninfringement of intellectual property rights or any implied warranty arising from statute, course of dealing, course of performance, or usage of trade.

6.6 Cost estimates, projections, and forecasts prepared by BMcD relating to construction costs and schedules, operation and maintenance costs, equipment characteristics and performance, and operating results are opinions based on BMcD's experience, qualifications, and judgment. Since BMcD has no control over weather, cost and availability of labor, material and equipment, labor productivity, construction contractors' procedures and methods, unavoidable delays, construction contractors' methods of determining prices, economic conditions, competitive bidding or market conditions, and other factors affecting such opinions. BMcD does not guarantee that actual rates, costs, performance, schedules, and related items will not vary greatly from the opinions prepared by BMcD.

SECTION 7 — CHANGES; TERM; DELAYS

7.1 Client may request changes within the general scope of BMcD's Services, with an appropriate change to the Services Proposal in compensation and schedule, upon execution of a mutually acceptable amendment or change order signed by an authorized representative of the Client and BMcD

7.2 Should Client fail to fulfill its responsibilities as provided in the Services Proposal to the extent that BMcD is unduly hindered in BMcD's services or if Client fails to make any payment to BMcD on account of BMcD's services and expenses within ninety (90) days after receipt of BMcD's invoice therefor, BMcD may, after giving seven (7) days' written notice to Client, suspend services under this Agreement, with impunity and without liability, until Client has satisfied Client's obligations under this Agreement, and an equitable adjustment to schedule has been mutually agreed by a change order.

7.3 Either Party may terminate this Agreement for the other's material breach by written notice specifying in detail the nature of the breach, effective in thirty (30) days unless the other party first cures such breach. However, termination for breach will become effective immediately upon such notice, without opportunity to cure, if the breach cannot be remedied by performance after notice of termination. Failure on the part of the Client to make payments to BMcD when due shall be considered substantial nonperformance and cause for termination.

7.4 In the event of premature termination of the Agreement by the Client and through no fault of BMcD, BMcD shall be entitled to: (1) recover all reasonable costs and expenses incurred to date of termination, plus all costs incurred to assemble and close Project files and documents; (2) unavoidable down time in the reassignment of Project staff; (3) termination penalties/expenses related to third parties retained by BMcD in regard to its obligations under this contract; and (4) a termination amount of 15 percent of the remaining portion of the total compensation (or estimated compensation) agreed to herein or by separate authorization to cover lost profits, damages, and lost opportunity costs which cannot otherwise be accurately calculated.

7.5 In the event the services of BMcD are suspended or delayed by the Client, BMcD shall be entitled to additional compensation for reasonable costs incurred by BMcD and its subconsultants (if any) in temporarily suspending or delaying performance of the Services (including, but not limited to, unavoidable staff that is idled or placed on standby, reassignment of staff, or any termination expenses incurred where staff reassignment is not reasonably possible).

SECTION 8 — DISPUTE RESOLUTION

8.1 If a dispute arises relating to the performance of the services to be provided and, should that dispute result in arbitration or enforced through litigation, it is agreed that the substantially prevailing party (as determined in equity by the court) shall be entitled to recover all reasonable costs of litigation, including staff time, court costs, attorney's fees and other related expenses.

8.2 The parties shall participate in good faith negotiations to resolve any and all disputes. Should negotiations fail, the parties agree to submit to and participate in a third party-facilitated mediation as a condition precedent to resolution by litigation. Unless otherwise agreed to, mediation shall be conducted under the rules of the American Arbitration Association and shall be held in Kansas City, Missouri.

8.3 If the parties are unable to resolve their dispute after at least one session of mediation, then any claim, dispute or other matter in question arising out of or related to this Agreement (including disputes involving an

officer, director or employee of either party), whether in contract shall be subject to arbitration in accordance with the Arbitration Rules of the American Arbitration Association then in effect. The demand for arbitration shall be filed in writing with the other party to this Agreement and with the American Arbitration Association. Any legal action necessary to compel, confirm, vacate, enforce, modify or otherwise affect the mediation or arbitration shall be filed in state or federal courts in the State of Missouri and each party expressly consents to jurisdiction therein.

8.4 Causes of action between the parties shall accrue, and applicable statutes of limitation shall commence to run the date BMcD's services are substantially complete.

SECTION 9 — GENERAL

9.1 *Use of BMcD Intellectual Property.* All deliverables prepared or furnished by BMcD (and BMcD's independent professional associates and consultants) pursuant to this Agreement are instruments of service which contains BMcD intellectual property and BMcD shall have the ownership and property interest therein whether or not the Project is completed. Client may make and retain copies for information and reference in connection with the use and occupancy of the Project by Client and others; however, such documents or intellectual property are not intended or represented to be suitable for reuse by Client or others on extensions of the Project or on any other project. Client shall not disclose or disseminate any BMcD intellectual property without prior written authorization by BMcD. Any reuse, modification, or completion by others without written verification or adaptation by BMcD for the specific purpose intended will be at Client's sole risk and without liability or legal exposure to BMcD, or to BMcD's independent professional associates or consultants, and Client shall indemnify and hold harmless BMcD and BMcD's independent professional associates and consultants from and against all claims, damages, losses, and expenses, including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle BMcD to further compensation at rates to be agreed upon by Client and BMcD.

9.2 *Rights and Benefits.* BMcD's services will be performed solely for the benefit of the Client and not for the benefit of any other entities.

9.3 *Successor and Assigns.* Client and BMcD each binds itself and its successors, executors, administrators, and assigns to the other party of this Agreement and to the successors, executors, administrators, and assigns of such other party, in respect to all covenants of this Agreement; except as above, neither Client nor BMcD shall assign, sublet, or transfer its interest in the Agreement without the written consent of the other.

9.4 *Controlling Law.* This Agreement shall be subject to, interpreted, and enforced according to the laws of the State of Missouri without regard to any conflicts of law provisions.

9.5 *Entire Agreement.* This Agreement represents the entire Agreement between BMcD and Client relative to the Scope of Services herein. All previous or contemporaneous agreements, representations, promises, and conditions relating to BMcD's services described herein are superseded. Since terms contained in purchase orders do not generally apply to professional services, in the event Client issues to BMcD a purchase order, no preprinted terms thereon shall become a part of this Agreement. Said purchase order document, whether or not signed by BMcD, shall be considered as a document for the Client's internal management of its operations.



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Ronald J Wiedeman
Department:	Engineering
Agenda Item:	Discussion on the Crest Hill Municipal Park

Summary: Provide staff direction on whether work shall be authorized to complete construction on elements of the Crest Hill Municipal Park.

Council previously approved in August of 2023, the following work to be completed based on the Park Layout prepared by Hitchcock Design Group dated December 3, 2021(50% Design Plans)

1. Work Approved.
 - a. Finalize grading and seeding plans for area shown in exhibit 1.
 - i. Turf, in the current plan, is to be restored by using seed and blanket.
 - b. Finalize design of water and sanitary service stubs to future bathroom facility.
 - c. Finalize the park drainage system within the area shown in exhibit 1.
 - d. Finalize design to install an underground irrigation system for the grass field and landscaping areas for the entire park. (Separate Contract)
 - e. Finalize design to install a portion of a sidewalk system along the south end of the plaza to provide access to the playground. See exhibit 1.
 - f. Finalize design to install concrete curb and drainage beneath playground area. See exhibit 1
 - g. Determine pedestrian and security lighting layout design. See exhibit 1.
 - h. Install playground equipment.

All work above has been completed and is ready to be bid except for the following items:

- Need to determine final park playground equipment and layout with council.

Engineer Estimates of Construction have been completed based on the work discussed above and as summarized below.

- Phase 1 Total-\$1,300,000.00
- Lockport Township Park District Funding towards Phase 1-\$250,000.00
- Therefore, City Share for Phase 1-\$1,050,000.00

Funding for the City Center Municipal Park was included in the 2027 city budget at \$2,000,000.00.

Additional items, if approved, can be included with the Phase 1 work.

Option 1-Municipal Park Parking Lot- Construct the parking lot as shown on exhibit 2. The only change staff would recommend to the parking lot configuration previously presented to Council is to revise the proposed location of the west driveway. The original configuration had this driveway connecting to City Center Blvd, staff suggestion is to connect directly to the existing Library access drive. If the driveway change is approved staff will work with the Library for approval and coordination to complete this work.

Option 2-Concrete Flatwork and Walking Paths-Construct the walking paths as shown on exhibit 2. These paths would be constructed in concrete or hot mix asphalt or a combination of both. The final determination of materials used for construction will be presented at a future workshop meeting.

Option 3- Parking lot and security lighting; bollard lighting; Electrical boxes-Install lighting for the parking lot, security and pedestrian bollard lighting. This work will also include the installation of receptacle boxes. The lighting being proposed will match the pendent lighting install along City Center Blvd and the pedestrian bollard lighting will match what is already installed around the City Hall Complex.

Option 4-Picnic Shelter- Staff suggest that a shade structure be included as part of the initial park work. The final determination of materials and size structure will be presented at a future workshop meeting for discussion and approval.

Completing the phase 1 along with some or all of the options above will put the park in a condition where it can be used for future city events, movies in the park, farmers' markets, national night out, etc. Seeding the park will take minimum of 1 year to grow a turf in order to host events like those suggested.

Options For Council Considerations.

1. Proceed with Phase 1 project as currently prepared and ready for Bid.
2. Proceed with Phase 1 and include options 1-4 or any combination of as determined by council.
3. Do nothing.

Funding for the City Center Municipal Plaza was included in the 2027 city budget at a funding limit of \$2,000,00.00.

Staff recommendation is to move forward with bidding the work already prepared for phase 1 and including options 1, and 3. For option 3, we would suggest designing the entire lighting system for the whole park, but installing new lighting from the playground to the south edge of pavement of the parking lot only.

The schedule to get the bids out for the Phase 1 working including options 1 and 3 would be the following if the Design Engineering is approved by July 8th.

- Phase 1 with Options 1 early August 2026
- Irrigation Mid to Late August 2026
- Lighting Phase 1 area only September 2026

Approve RVI Planning and Landscaping Professional Services Agreement in the Amount of \$60,400.00

Approve Spaceco Civil Engineering and Surveying Professional Agreement in the Amount of \$77,800 + \$500(expenses) = \$78,300.00.

Below are construction engineering estimates for the staff recommendation and including all options for Council's Information.

Staff Recommendation

- Phase 1 Total-\$1,300,000.00
- Options 1& 3 Only -\$425,000.00
- Grand Total Phase 1 with Options 1-3-\$1,725,000.00
- Lockport Township Park District Funding towards Phase 1-\$250,000.00
- Therefore, City Share for Phase 1-\$1,475,000.00

Phase 1 plus all options

- Phase 1 Total-\$1,300,000.00
- Options 1-4-\$925,000.00
- Grand Total Phase 1 with Options 1-3-\$2,225,000.00
- Lockport Township Park District Funding towards Phase 1-\$250,000.00
- Therefore, City Share for Phase 1-\$1,975,000.00

Recommended Council Action: Provide direction to staff on how to proceed.

Financial Impact:

Funding Source: Capital Fund

Budgeted Amount: \$2,000,000.00 (Construction) & \$150,000.00 Engineering

Cost: TBD (Construction) plus Engineering (60,400 (RVI) + \$78,300 (Spaceco))

Attachments:

Exhibits for workshop.pdf

Resolution RVI

Exhibit A-PSA Design-City of Crest Hill-Crest Hill City Center Park-6.11.26

Resolution-Spaceco


Exhibit A-PRP.10656.05.JCK.062526




Master Plan
Crest Hill Park
 Lockport Township, Illinois

Prepared By Lockport
Park District (April 2021)

PREPARED FOR:
 Lockport Township



NORTH
 SCALE: 1"=50'



0' 25' 50' 100'

ISSUE DATE: APRIL 20, 2021
 All drawings are preliminary and subject to change.
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Master Plan


Crest Hill Park

Lockport Township, Illinois

PREPARED FOR:
Lockport Township



NORTH
SCALE: 1"=50'



0' 25' 50' 100'

ISSUE DATE: APRIL 20, 2021
All drawings are preliminary and subject to change.
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Crest Hill Municipal Plaza

20670 Len Kubinski Drive
Crest Hill, Illinois 60403

Lockport Township Park District
1811 Lawrence Avenue
Lockport, Illinois 60441

50% Construction Documents
December 3, 2021

Project Team

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Naperville, Illinois 60540
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Joliet, Illinois 60435
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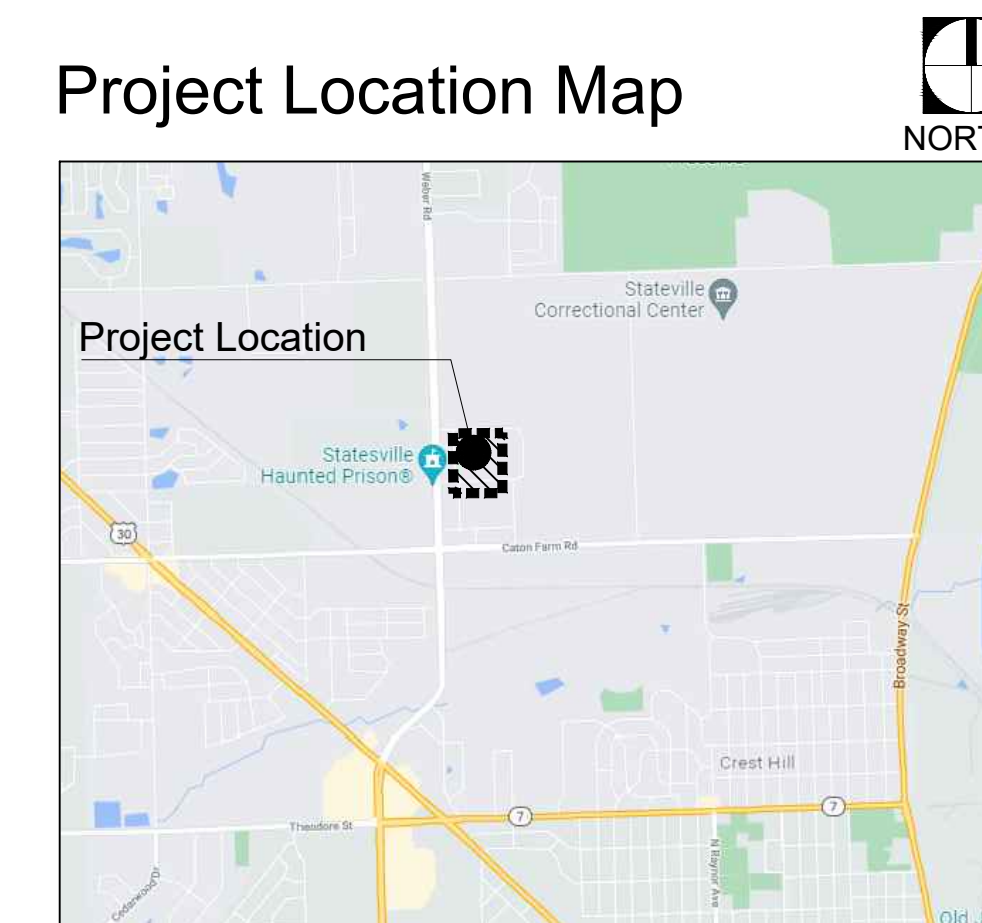
General Notes

1. Basemap information obtained from plans prepared by SPACECO, Inc. received September 17, 2021.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Refer to specifications for additional conditions, standards and notes.
5. The plans and specifications are intended to be completed entirely by the contractor. Unless clearly identified as "By Owner," all work contained within is the responsibility of the general contractor.

Sheet Index

L1.0	Layout and Materials
L1.1	Layout and Materials
L1.2	Layout and Materials
L1.3	Layout and Materials
L2.0	Planting Plan
L2.1	Planting Plan
L2.2	Planting Plan
L2.3	Planting Plan
L3.0	Details
L3.1	Details
L3.2	Details
L3.3	Details

Project Location Map



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PROJECT
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Plaza**
20670 Len Kubinski Drive
Crest Hill, Illinois 60403

CONSULTANTS

LAYOUT NOTES

- Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
- Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
- Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
- Place stakes at limits of playground, structures, and every 25 feet on center along centerline of all pathways for review by the Owner's Representative prior to earthwork operations.
- All walls are dimensioned to Face of Wall unless otherwise noted.
- All dimensions from roadway are from Back of Curb unless otherwise noted.
- All curves and radii to be smooth and not segmented.
- Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
- Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
- All roadway widths are measured from edge of pavement to edge of pavement unless otherwise shown on the plans.
- Contractor responsible to take delivery, assemble and install all materials and furnishings per manufacturer's instructions.
- Place control and expansion joints as shown on plans and details for all curbs, walks, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
- Contractor will maintain use zone requirements within soft surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
- Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
- Layout of soft surface shall be verified in field by landscape architect.
- Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

- Expansion Joint
- Asphalt Paving
- Concrete Paving
- Play Surfacing
- Ornamental Fence

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December 3, 2021
REVISIONS

No	Date	Issue

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EFH

DRAWN BY
LJL/LEC

SHEET TITLE
**Layout And
Materials Plan**

SCALE IN FEET
1" = 10'
0' 5' 10' 30'

NORTH SHEET NUMBER

L1.0

+ 649.3
+ 649.2

L1.1

L1.2

L1.3

R=648.06
BEEHIVE
W I=645.01,18"PVC
B/STRUCTURE=644.8

GATE POST
651.84
651.57
651.52
651.52
651.36
651.70
651.68
651.46
651.39

SITE BENCHMARK #2
650.45+

"STAFF PARKING"

R=649.89
SF I=645.74,12"RCP
STRUCTURE=643.51

UNDERGROUND
ELEC VAULT

R=649.40
E,W I=644.54,12"RCP
B/STRUCTURE=643.4

"STAFF PARKING"

R=648.90
N I=644.49,12"RCP
W I=644.35,18"RCP
S I=644.77,18"RCP
B/STRUCTURE=642.8

UNDERGROUND
COMED UTILITY
VAULT

R=648.34
W I=643.34,12"RCP
B/STRUCTURE=641.7

UNDERGROUND
ELEC VAULT

R=648.34
W I=643.34,12"RCP
B/STRUCTURE=641.7

R=648.26
BEEHIVE
W I=643.34,12"RCP
B/STRUCTURE=641.7

R=648.14
BEEHIVE
S I=642.89,24"RCP
N I=642.84,24"RCP
B/STRUCTURE=642.7

"WHITE OAK 648.97"
LIBRARY
CONC BLOCK
SIGN

R=648.14
BEEHIVE
S I=642.89,24"RCP
N I=642.84,24"RCP
B/STRUCTURE=642.7

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B/STRUCTURE=642.7

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BEEHIVE
S I=642.89,24"RCP
N I=642.84,24"RCP
B/STRUCTURE=642.7

LEN KUBINSKI DRIVE

SITE BENCHMARK #1

AREA UNDER CONSTRUCTION
AT TIME OF SURVEY

AREA UNDER CONSTRUCTION
AT TIME OF SURVEY

AREA UNDER CONSTRUCTION
AT TIME OF SURVEY



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PROJECT
**Crest Hill Municipal
Plaza**

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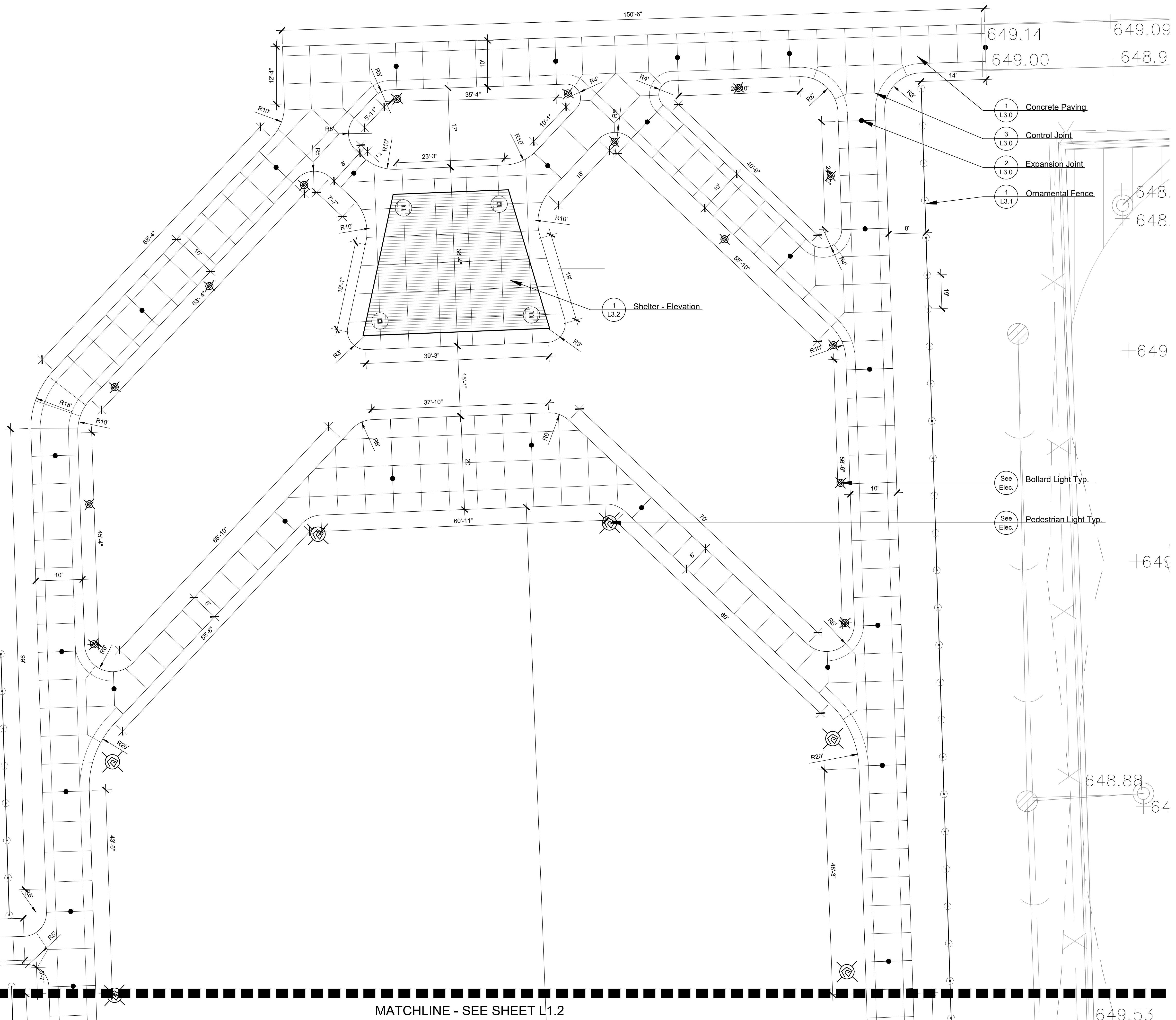
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LAYOUT LEGEND

- Expansion Joint
- Asphalt Paving
- Concrete Paving
- Play Surfacing
- Ornamental Fence



MATCHLINE - SEE SHEET L1.2

50% Construction Documents
December 3, 2021
REVISIONS

No	Date	Issue

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SHEET TITLE
**Layout And
Materials Plan**

SCALE IN FEET
1" = 10'
0' 5' 10' 30'

NORTH SHEET NUMBER

L1.1



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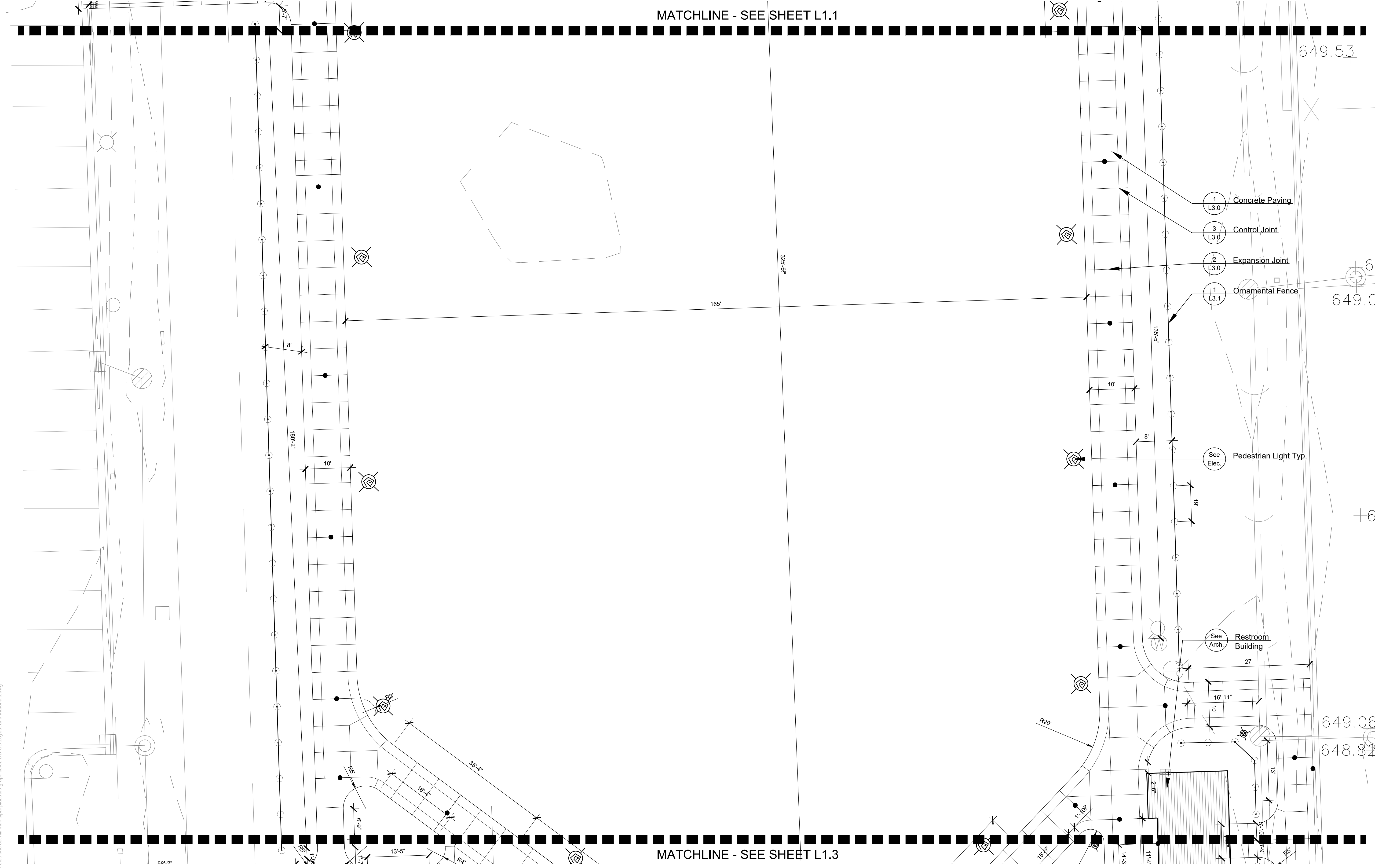
PROJECT
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Plaza**

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Crest Hill, Illinois 60403

CONSULTANTS

MATCHLINE - SEE SHEET L1.1

MATCHLINE - SEE SHEET L1.3



- 1 Concrete Paving
L3.0
- 3 Control Joint
L3.0
- 2 Expansion Joint
L3.0
- 1 Ornamental Fence
L3.1

See Elec. Pedestrian Light Typ

See Arch. Restroom Building

649.53

6
649.0

+6

649.06
648.82

50% Construction Documents
December 3, 2021
REVISIONS

No	Date	Issue

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SHEET TITLE
**Layout And
Materials Plan**

SCALE IN FEET
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NORTH SHEET NUMBER

L1.2



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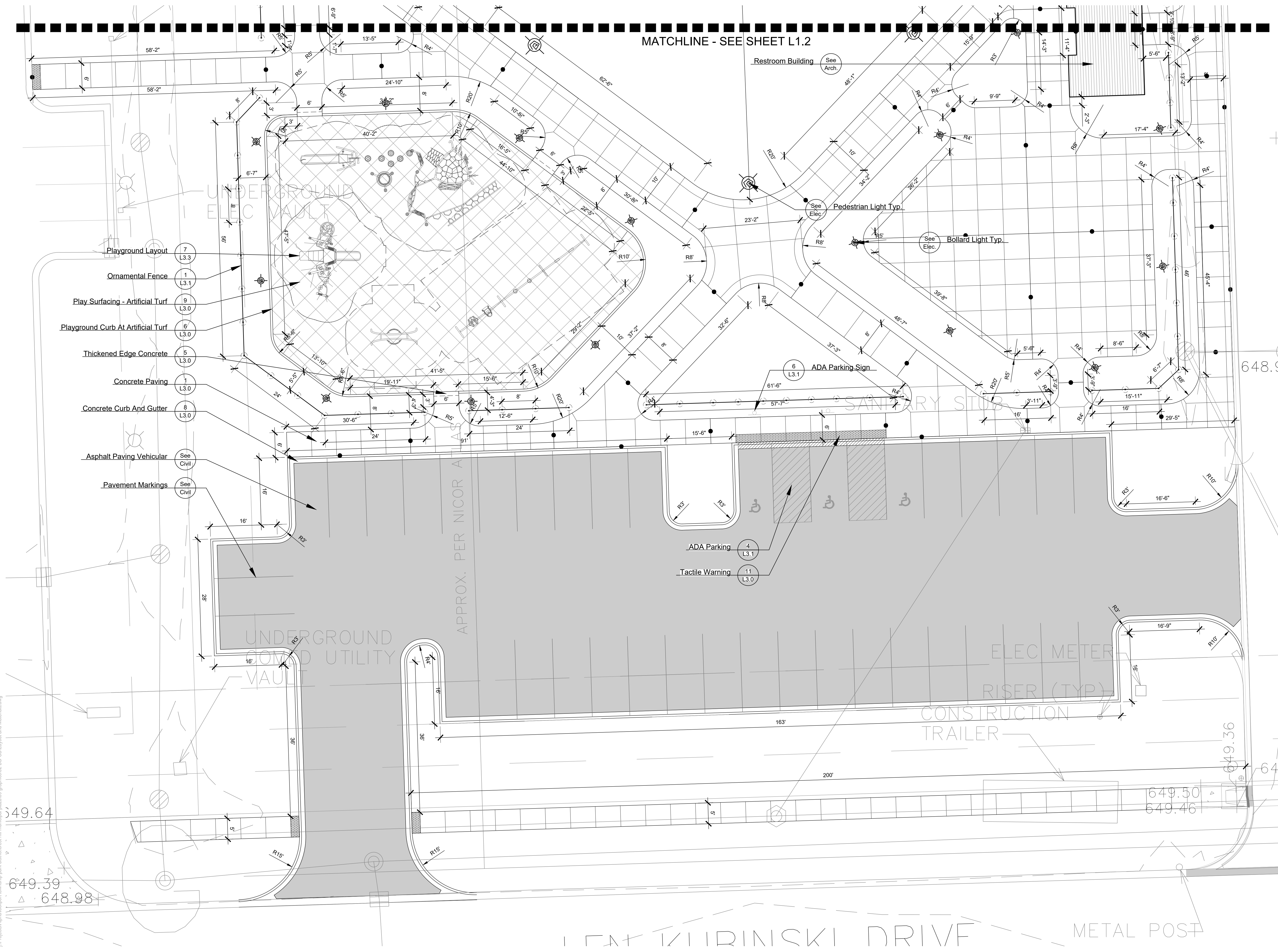
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PROJECT
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MATCHLINE - SEE SHEET L1.2



- Playground Layout (7) L3.3
- Ornamental Fence (1) L3.1
- Play Surfacing - Artificial Turf (9) L3.0
- Playground Curb At Artificial Turf (6) L3.0
- Thickened Edge Concrete (5) L3.0
- Concrete Paving (1) L3.0
- Concrete Curb And Gutter (8) L3.0
- Asphalt Paving Vehicular (See Civil)
- Pavement Markings (See Civil)

- ADA Parking (4) L3.1
- Tactile Warning (11) L3.0

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December 3, 2021
REVISIONS

No	Date	Issue

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SHEET TITLE
Layout And
Materials Plan

SCALE IN FEET
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0' 5' 10' 30'

NORTH SHEET NUMBER

L1.3

J:\Projects\Alpha\lockport township park district\crest hill municipal plaza\09 graphics\l02 DD-CD\Layout and Materials.dwg



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CONSULTANTS

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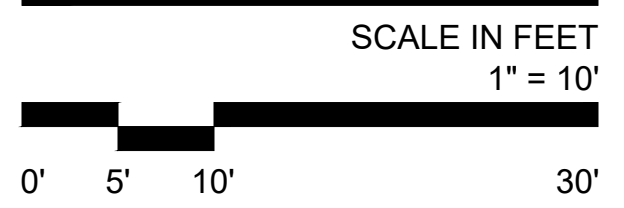
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No	Date	Issue

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SHEET TITLE
Planting Plan



NORTH

SHEET NUMBER

L2.0

SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	QTY
	AH2	Amsonia hubrichtii Arkansas Bluestar	1 Gal	52
	AM2	Aronia melanocarpa 'Morton' TM Iroquois Beauty Black Chokeberry	3 Gal	19
	BG3	Buxus x 'Green Mountain' Green Mountain Boxwood	5 Gal.	43
	CS	Clethra alnifolia 'Sixteen Candles' Sixteen Candles Summersweet	3 Gal	16
	DL	Diervilla lonicera Dwarf Bush Honeysuckle	3 Gal	34
	HA2	Hydrangea arborescens 'Annabelle' Annabelle Hydrangea	5 Gal.	31
	HA	Hydrangea quercifolia 'Alice' Alice Oakleaf Hydrangea	5 Gal.	8
	PS	Physocarpus opulifolius 'Seward' TM Summer Wine Ninebark	5 Gal.	23
	PC2	Pinus mugo 'Valley Cushion' Valley Cushion Mugo Pine	3 Gal	14
	RG	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac	2 gal	74
	SN3	Spiraea nipponica 'Snowmound' Snowmound Spiraea	3 Gal	13
	TC	Thuja occidentalis 'Congabe' TM Fire Chief Arborvitae	3 Gal	6
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONTAINER	QTY
	AP2	Allium x 'Purple Sensation' Purple Sensation Ornamental Onion	1 Gal.	15
	AS	Allium x 'Summer Beauty' Summer Beauty Ornamental Onion	1 Gal.	98
	CK2	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	2 gal	46
	CN	Calamintha nepeta nepeta Lesser Calamint	1 Gal.	123
	CP2	Carex pensylvanica Pennsylvania Sedge	1 Gal.	163
	CM	Coreopsis x 'Moonbeam' Moonbeam Tickseed	1 Gal.	114
	EM	Echinacea purpurea 'Magnus' Magnus Purple Coneflower	1 Gal.	213
	GM	Geranium maculatum Spotted Geranium	1 Gal.	69
	HA4	Hemerocallis x 'Apricot Sparkles' Apricot Sparkles Daylily	1 Gal.	90
	HR	Hemerocallis x 'Rosy Returns' Rosy Returns Daylily	1 Gal.	35
	LK	Liatis spicata 'Kobold' Kobold Blazing Star	1 Gal.	103
	MM	Molinia caerulea 'Moorflamme' Moorflamme Moor Grass	2 gal	58
	MM2	Monarda didyma 'Pette Delight' Pette Delight Beebalm	1 Gal.	79
	NW	Nepeta x 'Walker's Low' Walker's Low Catmint	1 Gal.	141
	NK	Nepeta x faassenii 'Kit Kat' Kit Kat Catmint	1 Gal.	164
	PH	Penstemon hirsutus Hairy Beardtongue	1 Gal.	96
	RS	Rudbeckia fulgida speciosa Showy Coneflower	1 Gal.	30
	SI2	Salvia nemorosa 'Crystal Blue' TM Crystal Blue Color Spires Sage	1 Gal.	73
	SM	Salvia nemorosa 'May Night' May Night Sage	1 Gal.	160
	SA	Sedum x 'Autumn Joy' Autumn Joy Sedum	1 Gal.	30
	SD	Sedum x 'Dazzleberry' Dazzleberry Stonecrop	1 Gal.	64
	ST4	Sedum x 'Thundercloud' Thundercloud Sedum	1 Gal.	88
	SA2	Sesleria autumnalis Autumn Moor Grass	1 Gal.	174
	SH3	Sporobolus heterolepis Prairie Dropseed	1 Gal.	209

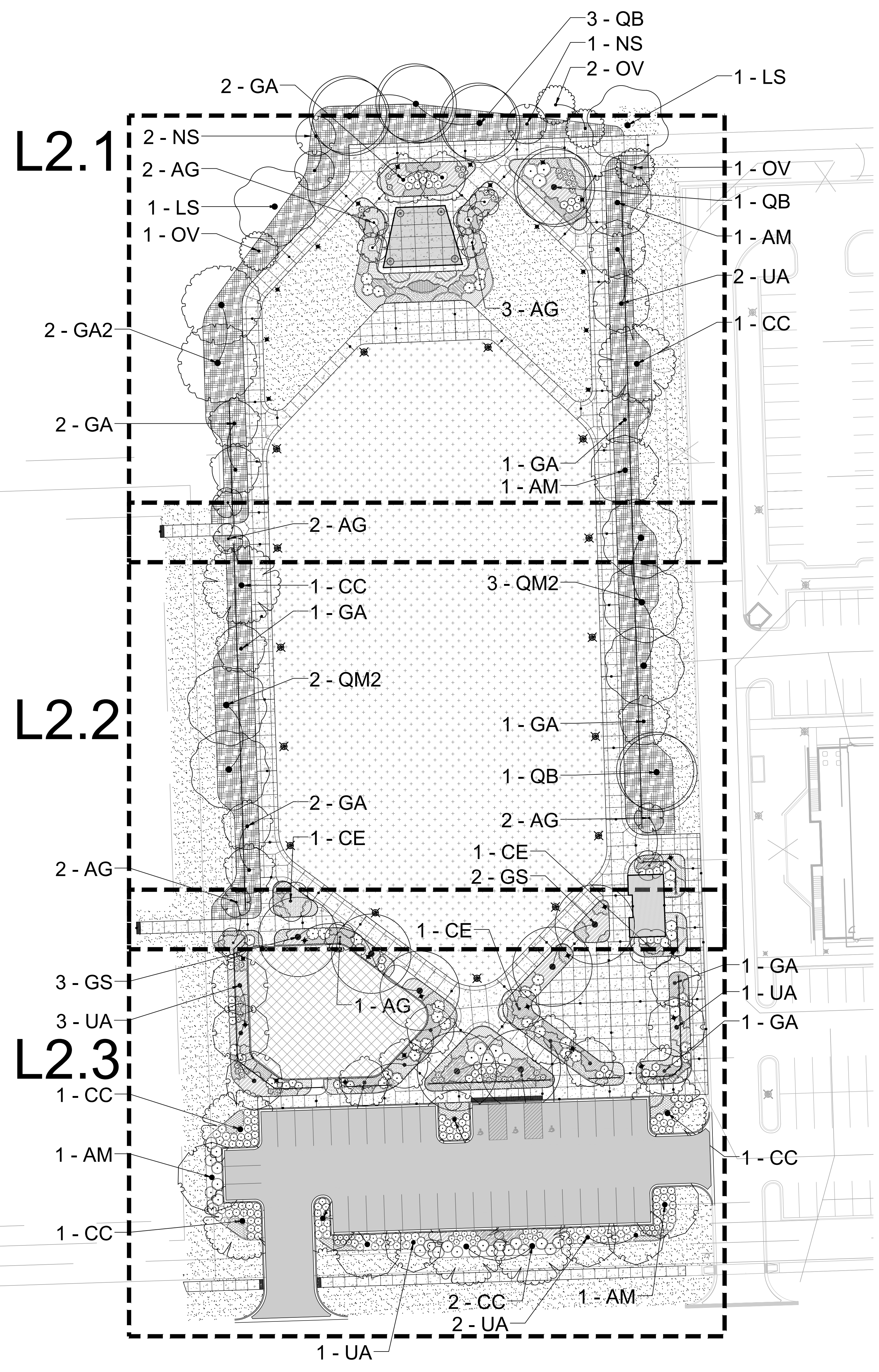
PLANT SCHEDULE

ORNAMENTAL TREE	CODE	BOTANICAL / COMMON NAME	CONTAINER	QTY
	AG	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry	12' HT / Multi-Stem	12
	CE	Cercis canadensis Eastern Redbud Multi-trunk	8' HT	3
	OV	Ostrya virginiana American Hophornbeam	8' HT	4
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	QTY
	AM	Acer x freemanii 'Marmo' Marmo Freeman Maple	2.5' C	6
	CC	Celtis occidentalis 'Chicagoland' Chicagoland Common Hackberry	2.5' Cal.	7
	GA	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	2.5' C	16
	GS	Gleditsia triacanthos inermis 'Skyline' Skyline Honey Locust	4" Cal	7
	GA2	Gymnocladus dioica 'Morton' TM Skinny Latte Kentucky Coffeetree	2.5' C	2
	LS	Liquidambar styraciflua Sweet Gum	4" Cal	2
	NS	Nyssa sylvatica Tupelo	2.5' C	3
	QB	Quercus bicolor Swamp White Oak	4" Cal	5
	QM2	Quercus muehlenbergii Chinkapin Oak	4" Cal	5
	UA	Ulmus x 'Morton' TM Accolade Elm	2.5' C	10

- PLANTING NOTES**
- Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
 - Contractor responsible for erosion control in all seeded/sodded areas.
 - Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
 - Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
 - Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
 - Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
 - Refer to specifications for additional conditions, standards and notes.

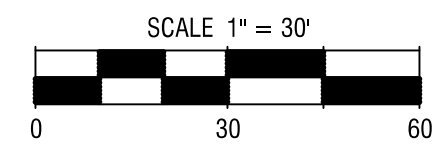
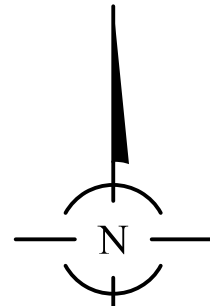
PLANTING LEGEND

	Turf Seed and Erosion Control Blanket
	Sod
	Prairie Planting and Erosion Control Blanket



LEGEND

- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- STORM SEWER
- SANITARY SEWER



NOTES:

1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
2. FUTURE MUNICIPAL PLAZA PAVEMENT, LIGHTING, AND ELECTRICAL IMPROVEMENTS ARE SHOWN HALF-TONED FOR REFERENCE ONLY. THESE IMPROVEMENTS ARE NOT INCLUDED IN THIS CONTRACT.

STORM STRUCTURE LEGEND

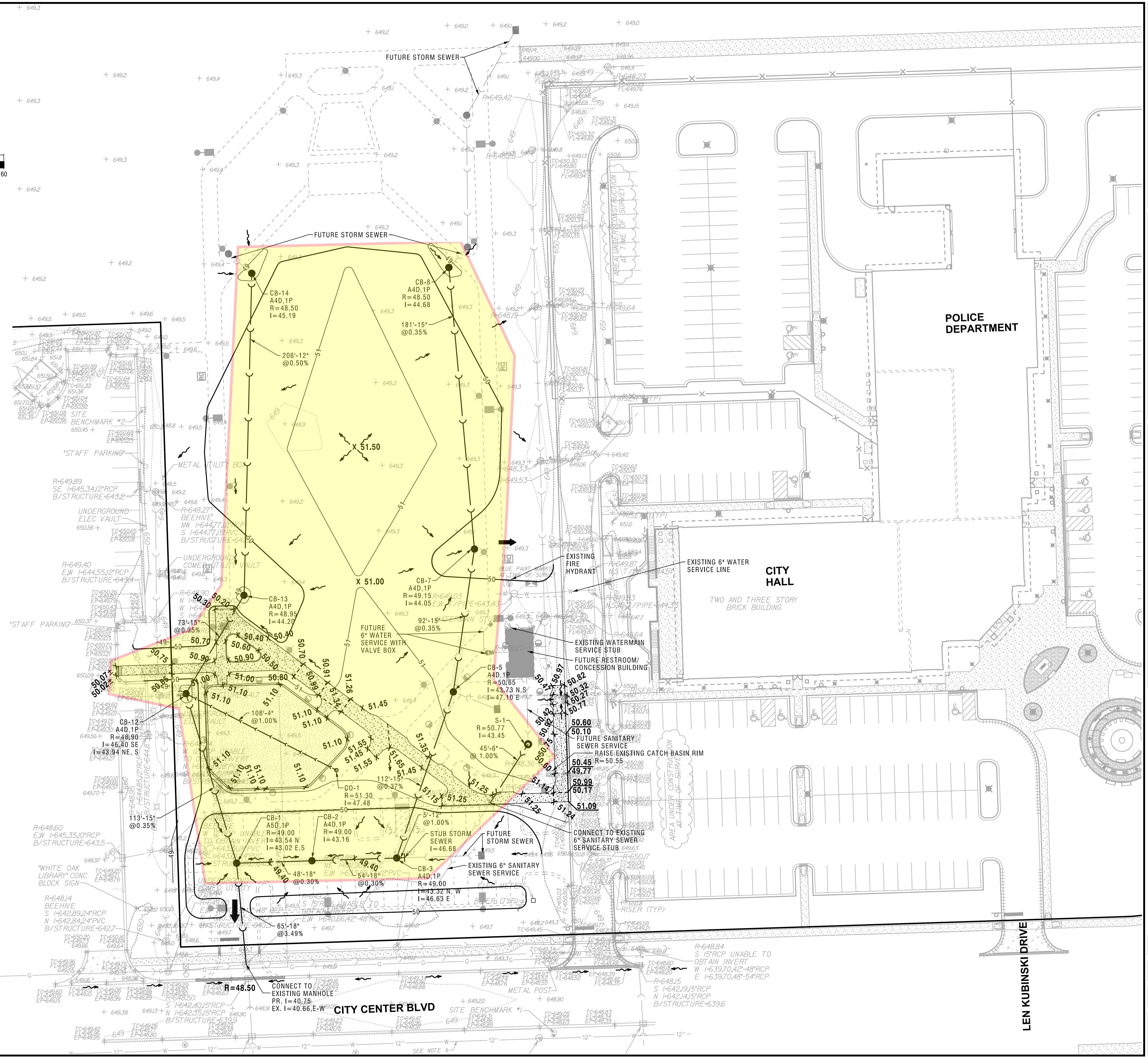
- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

STORM STRUCTURE ABBREVIATIONS

- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION

STORM SEWER NOTES:

1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED AS PVC OR HDPE.
2. INDICATES TRENCH BACKFILL REQUIRED.
3. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 - 1C - MANHOLE-EAST JORDAN 1050 FRAME WITH CLOSED LID
 - 1P - INLET, CATCH BASIN-EAST JORDAN 1050 WITH TYPE M1 OPEN LID
 - 1B - INLET, CATCH BASIN-EAST JORDAN 6527M BEEHIVE TYPE GRATE
4. UNDERGROUND CONTRACTOR TO FIELD VERIFY EXISTING SEWER MAIN AND WATER MAIN LOCATIONS AND DEPTHS WITHIN THE KUBINSKI DRIVE AND PATRICK DRIVE R.O.W. PRIOR TO PROPOSED SEWER CONSTRUCTION. NOTIFY SPACECO, INC. OF ANY DISCREPANCIES.



EXISTING LIBRARY

POLICE DEPARTMENT

CITY HALL

TWO AND THREE STORY BRICK BUILDING

LEN KUBINSKI DRIVE

CITY CENTER BLVD

Exhibit 1

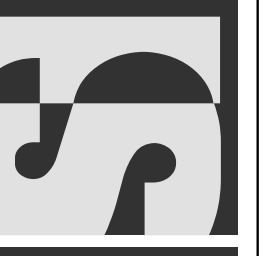
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1	01/10/24			

NO.	DATE	REVISIONS PER VILLAGE	REVISIONS PER CITY	REMARKS
2	01/23/24			
1	01/10/24			

GRADING AND UTILITY PLAN
MASS GRADING
CREST HILL MUNICIPAL PLAZA
 CREST HILL, IL

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 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

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 Rosemont, Illinois 60018
 Phone: (847) 696-0600 Fax: (847) 696-4065



FILENAME: 10656.04GRUT

DATE: 12/11/23

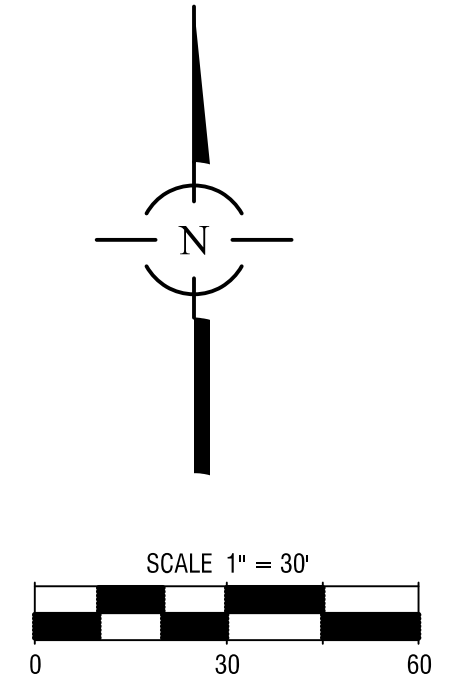
JOB NO. 10656.04

SHEET

GRUT1

5 OF 13

- LEGEND**
- CA-7 STONE PLAYGROUND GRAVEL (SEE POURED-IN-PLACE (PIP) SECTION DETAIL ON SHEET D1)
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP
 - TRUNCATED DOME DETECTIBLE WARNING TILES
 - REVERSE PITCH CURB & GUTTER
 - DEPRESSED CURB & GUTTER



To be Determined to be constructed as temporary or permanent. Discussion for future workshop.

Walking Patch-(Asphalt w/ ribbon Curb or concrete walk) (Option 2)

Shelter or Pavilion (option 4)

Security & Pedestrian Lighting & receptacle cabinet (Option 3)

EXISTING LIBRARY

PLAYGROUND

CITY HALL

POLICE DEPARTMENT

Option 1-Construct Parking Lot

Revised Drive Access to Library

Install Lighting South of this line

Eliminate Drive to City Center Blvd

FUTURE PEDESTRIAN LIGHT POLE CONSISTING OF 14'-0" POLE WITH LED ARCHITECTURAL POST TOP LUMINAIRE, TYP.

REMOVE 5' OF EXISTING B6.12 CURB AND REPLACE WITH DEPRESSED CURB

FUTURE LIGHTED BOLLARD, TYP.

12" WIDE PLAYGROUND RIBBON CURB (SEE DETAIL ON SHEET D1)

FUTURE PAD MOUNTED ELECTRICAL SERVICE & DISTRIBUTION CABINET

FUTURE PAD MOUNTED RECEPTACLE CABINET WITH (4) 20A-120V GFI RECEPTACLES, TYP.

ADA CURB RAMP WITH TRUNCATED DOME DETECTIBLE WARNING TILES

REMOVE 44' OF EXISTING CURB & GUTTER AND REPLACE WITH VARIABE HEIGHT CURB AND GUTTER PER ELEVATIONS SHOWN ON SHEET GRUT1.

FUTURE PARKING LOT CONSISTING OF 25'-0" LIGHT POLE WITH LED AREA TYPE LUMINAIRE, TYP. OF THREE

FUTURE PARKING LOT IMPROVEMENTS

CITY CENTER BLVD

LEN KUBINSKI DRIVE

NO.	DATE	REVISIONS PER CITY	REMARKS
2	01/23/24	REVISIONS PER CITY	
1	01/10/24	REVISIONS PER CITY	

NO.	DATE	REVISIONS PER CITY	REMARKS
2	01/23/24	REVISIONS PER CITY	
1	01/10/24	REVISIONS PER CITY	

GEOMETRIC PLAN
MASS GRADING
CREST HILL MUNICIPAL PLAZA
 CREST HILL, IL

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



FILENAME:
10656.04GM

DATE:
12/11/23

JOB NO.
10656.04

SHEET
GM1

4 OF 13

Exhibit 2

City Center Municipal Park (2026)

Item No.	Planning and Design Summary	Estimated Cost	Grand Total Each Phase
1	Planning & Design Services-Phase 1 (In 2027 Budget)	\$150,000.00	
		<i>Total Cost</i>	\$150,000.00
	2027 Budget Amount		\$150,000.00
	<u>Phase 1 Construction</u>		
2	CE Services-Phase 1	\$100,000.00	
3	Playground Drainage	\$250,000.00	
4	Playground Equipment	\$300,000.00	
5	Excavation and Erosion Control & Landscaping (based on seeding)	\$550,000.00	
6	Irrigation-Separate Contract	\$100,000.00	
7	Parking Lot,(Option 1)	\$225,000.00	
8	Concrete Flatwork and Paths (Option 2)	\$250,000.00	
9	Parking lot and security lighting; bollard lighting; Electrical boxes(Option 3)-Phase 1 Area Only	\$200,000.00	
10	Parking lot and security lighting; bollard lighting; Electrical boxes(Option 3)-Whole Park	\$400,000.00	
11	Picnic Shelter(Option 4)	\$50,000.00	
12	Landscaping (2027)-Future Contract	\$50,000-\$100,000	
		Phase 1 Total w/o Options	\$1,300,000.00
		Options 1& 3 Only	\$425,000.00
		Total Estimated Park Cost w/	\$1,725,000.00
	2027 Budget Amount		\$2,000,000.00
		Lockport Township Park District	\$250,000.00
	Staff Recommendation	Total Estimated City Cost w/ Options 1& 3 Only	\$1,475,000.00
		Phase 1 Total w/o Options	\$1,300,000.00
		Options 1-4	\$925,000.00
		Total Estimated Park Cost w/	\$2,225,000.00
	2027 Budget Amount		\$2,000,000.00
		Lockport Township Park District	\$250,000.00
	Total Project Estimate	Total Estimated City Cost w/	\$1,975,000.00
13	Design Services-For Band Shell(Est)	\$85,000.00	
14	CE Services-Phase 2(Est)	\$75,000.00	
15	Band Shell Construction(Est)	\$1,000,000.00	
		<i>Total City Cost, Phase 2</i>	\$1,160,000.00

RESOLUTION NO. _____

A RESOLUTION FOR A PROFESSIONAL SERVICES AGREEMENT FOR CREST HILL MUNICIPAL PARK PLANNING AND LANDSCAPING BY AND BETWEEN THE CITY OF CREST HILL, WILL COUNTY, ILLINOIS AND RVI PLANNING + LANDSCAPING IN THE AMOUNT OF \$60,400.00

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the authority to adopt resolutions and to promulgate rules and regulations that pertain to the City's government and affairs and protect the public health and, safety, and welfare of its citizens; and

WHEREAS, pursuant to Section 2-2-12 of the Illinois Municipal Code (65 ILCS 5/2-2-12), the City Council possesses the authority to enter into contracts that serve the legitimate corporate purposes of the City; and

WHEREAS, RVI Planning + Landscaping. (the "COMPANY"), is an entity that is in the business of providing Professional Engineering Services, for the Crest Hill Municipal Park Planning and Landscaping (the "Services"); and

WHEREAS, the City Council desires to engage the Company to provide the Services and the Company is ready, willing to perform the Services for the City; and

WHEREAS, City Staff have negotiated an Agreement for a Crest Hill Municipal Park Planning and Landscaping (the "Agreement") with the Company for the purposes of engaging the Company to perform the Services (a copy of the Agreement is attached hereto as Exhibit A and fully incorporated herein); and

WHEREAS, the Staff and City Council has reviewed the Agreement and determined that the conditions, terms, and provisions of the Agreement are fair, reasonable, and acceptable to the City; and

WHEREAS, the City Council has determined that it is in the best interest of the City and its citizens to enter into the Agreement with the Company.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Crest Hill, Illinois, pursuant to its statutory authority, as follows:

SECTION 1: PREAMBLE. The City Council hereby finds that all of the recitals contained in the preamble to this Resolution are true, correct and complete and are hereby incorporated by reference hereto and made part hereof.

SECTION 2: AGREEMENT APPROVED. The City Council hereby finds and declares that the conditions, terms, and provisions of this Agreement (Exhibit A) in the amount of 60,400.00 are fair, reasonable, and acceptable to the City and that the same is hereby approved in form and substance.

Therefore, the City Council hereby authorizes and directs the Mayor to execute and deliver, and the Clerk to attest, the Agreement, and further to take any and all other actions, including without limitation the execution and delivery of any and all documents, necessary and appropriate to effectuate the intent of this Resolution, which is to enter into the Agreement with the Company.

SECTION 3: SEVERABILITY. If any section, paragraph, clause or provisions of this Resolution is held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any other provision of this Resolution.

SECTION 4: REPEALER. All ordinances, resolutions or orders, or parts thereof, which conflict with the provisions of this Resolution, are to the extent of such conflict hereby repealed.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect immediately upon its passage and publication according to law.

[Intentionally Blank]

PASSED THIS 6TH DAY JULY, 2026.

	Aye	Nay	Absent	Abstain
Alderman Scott Dyke	_____	_____	_____	_____
Alderman Angelo Deserio	_____	_____	_____	_____
Alderwoman Claudia Gazal	_____	_____	_____	_____
Alderman Darrell Jefferson	_____	_____	_____	_____
Alderperson Tina Oberlin	_____	_____	_____	_____
Alderman Mark Cipiti	_____	_____	_____	_____
Alderman Nate Albert	_____	_____	_____	_____
Alderman Joe Kubal	_____	_____	_____	_____
Mayor Raymond R. Soliman	_____	_____	_____	_____

APPROVED THIS 6TH DAY OF JULY, 2026.

Raymond R. Soliman, Mayor

ATTEST:

Christine Vershay-Hall, City Clerk

EXHIBIT A

Exhibit A

Proposal for Professional Services

CREST HILL CITY CENTER PARK

Prepared for: City of Crest Hill
By: Eric Hornig, Principal

PUBLIC PLACES



PROPOSAL FOR PROFESSIONAL SERVICES

June 11, 2026

Ron Wiedeman, Director of Engineering
City of Crest Hill ("Client")
20600 City Center Boulevard, Crest Hill, Illinois 60403
RVI Project Number: 26006459

RE: **Crest Hill City Center Park**

Dear Ron,

Thank you for the opportunity to continue our design and planning efforts with your team. RVI Planning + Landscape Architecture ("Consultant") is pleased to submit the attached proposal for professional services for City Center Park, 20600 City Center Boulevard ("Project"). Below is a summary of services.

- Validate the existing concept with a new program definition through schematic design alternatives that evaluate site circulation, parking, playgrounds, plazas, shelters, lighting, planting, drainage, event spaces, and other key park amenities.
- Prepare design development and construction documents (Phase I Only), including plans, details, technical specifications, and coordination with civil and electrical engineering disciplines.
- Develop and update construction cost opinions and implementation phasing strategies to support informed decision-making and budget planning.
- Support regulatory review and permitting efforts through preparation of required documentation and responses to agency comments.
- Assist with bidding and contractor procurement, including preparation of bid documents, contractor outreach, pre-bid coordination, bid evaluation, and award recommendations.

The known relevant local governmental authorities ("RGA's") having jurisdiction over the Project are: City of Crest Hill (Site Plan) and IEPA (erosion control if > 1 acre is ultimately disturbed).

The Consultant will coordinate with the following consultants, hired separately by the Client, in the performance of this Agreement: SpaceCo (Civil Engineering) and CBBEL (Electrical Engineering).

Please review the attached scope of services and if acceptable, please provide your approval by signing Article 11. Thank you again for the opportunity!

Sincerely,

A handwritten signature in black ink, appearing to read 'Eric Hornig', is written over a light blue circular background.

Eric Hornig, Principal
Naperville, IL



PROFESSIONAL SERVICES AGREEMENT

Project Name: Crest Hill City Center Park

RVi# 26006459

Client Name: City of Crest Hill

Client Address: 20600 City Center Boulevard

Based upon our understanding of project requirements and discussions with you, we have developed the following scope of services.

ARTICLE 1. BASIC SERVICES

The Consultant shall provide, for the Basic Fee plus reimbursable expenses, services described in the following phases.

1.1 (TASK 01) PRELIMINARY SERVICES

1. Attend a Kickoff Meeting to establish the project program and communication protocols.
2. Obtain and review plans, maps, and records provided by the Owner (from previous phases of design & development).
3. Prepare a project schedule delineating each phase, major milestones, and any public meetings required.

DELIVERABLES:

- Program Summary
- Project Schedule

1.2 (TASK 02) SCHEMATIC DESIGN VALIDATION

1. Utilizing as much as practical of the existing schematic plan and construction documents together with new program and goal information the consultant will prepare up to (2) schematic design options for the refinement of the project.
 - a. The Schematic Design may include initial plan, section and elevation drawings, illustrating the general scope, scale and relationship of the landscape architectural components.
 - b. The following site and landscape improvements will be considered in the Schematic Design:
 - General grading and drainage (coordinated with Civil Engineer);
 - Roads, parking and service areas;
 - Pedestrian circulation and development of outdoor people spaces;
 - Garden walls and retaining walls;
 - Fencing & Furnishings;
 - Electrical Supply / Convenience Receptacles / Lighting Site & Stage (coordinated with Electrical Engineer);
 - Low Voltage systems (Audio/security) (coordinated with Electrical Engineer);
 - Support for Winter activities (ice/sledding);
 - Support for festivals and fairs;
 - Site signage;
 - Exterior planting: trees, shrubs, groundcover accent planting;
 - Shelters/Shade;
 - Playground/Playground Surfacing;
 - Amphitheater/Bandshell/Storage;
 - Portable restroom evaluation and location review;
 - Focal point (Christmas Tree or sculptural)
 - Irrigation;
 - Other site amenities to be explored that may align with City of Crest Hill and/or Lockport Township Park District needs
2. Prepare a preliminary budget cost opinion for the construction based on the approved schematic design and other selections made by Client, including a strategy for probable phasing.
3. (2 Virtual Mtgs, 1 in Person 1, 2, & 3) Review the schematic design and preliminary budget costs with Client representatives and other project team members at a 50%, 75%, and 100% milestone. Prepare written summaries of discussions and update the Project Program following each meeting.
4. (Public Mtgs, 2 in Person 4 & 5) Review the schematic design and preliminary budget costs with elected officials at a

75% and 100% milestone. Update documents based on direction provided.

DELIVERABLES:

- Schematic Landscape Plans in 24x36 format (digital pdf format)
- Preliminary budget
- Meeting summary & updated program

1.3 (TASK 03) DESIGN DEVELOPMENT SERVICES – PHASE 1

1. Based on the Client approved Phase I Schematic Design Elements, Consultant will prepare Design Development drawings for the landscape components.
 - a. The Design Development drawings shall include plans, sections, elevations and typical details to fix and describe the size and character of the landscape components approved by the Client for further design.
 - b. The Design Development drawings will establish major materials and finishes.
 - c. The Design Development drawings and all subsequent phases shall be limited to those landscape components approved by the Client in the Schematic Design phase. Current elements anticipated to advance:
 - Grading & Drainage (by Civil)
 - Site Lighting (South, by Electrical)
 - Provisions for future elements (planning & limited items like conduit)
 - Parking Lot
 - Playground Area
 - Walkways and plazas
 - Shelter/Shade Structure
 - Turf restoration (including seed versus sod comparison)
2. Update the opinion of probable cost for the construction based on the Design Development drawings.
3. (1 Virtual Mtg, 1 in Person 6 & 7) Review the Design Development Documents and supporting information with Client representatives for approval and authorization to proceed at the 50% and 95% completion stages. Prepare written summaries of discussions and update the Project Program following each meeting.

DELIVERABLES:

- Design Development Landscape Plans in 24x36 format (digital pdf format)
- Updated cost opinion
- Meeting summaries & update program

1.4 (TASK 04) CONSTRUCTION DOCUMENTATION SERVICES – PHASE I

1. Based on the phasing approved by the Client illustrated on the Design Development drawings, prepare Construction Documents for the landscape components. Initiation of the Construction Documents will rely on Client approval and the complete civil engineers' drawings and shall include:
 - a. Typical detail drawings, that set forth in the requirements for construction of the landscape components, including depiction of their size, shape, dimensions, and locations; and
 - b. Specifications that identify the materials, equipment, workmanship and quality standards (or performance criteria), for landscape components.
 - c. Likely sheets to be represented as known at this time include:
 - Cover sheet, project identification, and general information
 - Existing conditions plans (by Civil Engineer)
 - Site preparation and removals plans
 - Grading and drainage plans (by Civil Engineer)
 - Storm Water Pollution Prevention plans (SWPPP) (by Civil Engineer)
 - Utility plans (by Civil Engineer)
 - Layout and materials plans
 - Construction details
 - Planting plans
 - Planting details and materials list
 - Irrigation plans (design-build / performance spec)
 - Electrical and lighting plans (by electrical engineer)

2. Prepare an opinion of probable cost based on the Construction Documents.
3. (1 Virtual Mtg, 1 in Person 8 & 9) Review the Construction Documents and supporting information with Client representatives for approval and authorization to proceed at the 50% and 95% completion stages. Prepare written summaries of discussions and update the Project Program following each meeting.

DELIVERABLES:

- Construction Documents in 24x36 format and digitally (example: list number, size, scale and type if available)
- Specifications in CSI Masterspec Format
- Updated cost opinion
- Meeting summaries & update program

1.5 (TASK 05) REGULATORY SERVICES

1. The following required permits are in effect on the date of this Agreement:
 - a. IEPA (SWPPP Erosion Control)
 - b. City of Crest Hill
2. Upon approval and authorization to proceed, prepare documents reasonably required for review by RGAs to comply with permitting requirements. Client's civil engineer will be solely responsible for preparing the official submittal and application, for submitting it to the appropriate RGA, and for processing it through the administrative approval process.
3. As requested by Client participate, in the permitting process including:
 - a. Evaluate and respond to RGA review and comments;
 - b. Review with the Client, modifications requested by RGAs, and at Client's direction, modify the documents accordingly for re-submission;

1.6 (TASK 06) BIDDING PHASE SERVICES

1. Following the Client's approval of the Construction Documents, Consultant will assist the Client in obtaining bids utilizing a single general contractor approach and in awarding contracts for construction for the Project by issuing Bid Documents including:
 - a. Advertisement and Invitation to Bid
 - b. Project Manual including Instructions to Bidders, Bid forms, sample Contract, General Conditions, and Technical Specifications
 - c. Construction Drawings
2. Prepare a Contractor Invitation List identifying reputable contractors for consideration.
3. Provide the Bid Documents to Client representatives for use in printing, advertising, and coordinating the bid letting (legal notice publishing by Client).
4. Coordinate and administer the bid process through the City provided plan room service QuestCDN.
5. (Mtg) Participate in a Pre-Bid Meeting for interested bidders and issue written Pre-bid Meeting Minutes to all participants.
6. Review Bidders Request for Information (RFI) and issue written Addenda, when appropriate, to all bidders regarding changes to or clarifications of the Bid Documents.
7. (Mtg) Attend the Bid Opening and record bids received.
8. Review the bids, tabulate the results, check bidder's references, and issue a Bid Tabulation and Award Recommendation to the Client.
9. Prepare and submit the Owner/Contractor Agreement to the Client representative and selected Contractor. Once approved, issue a Notice to Proceed to the Contractor.

DELIVERABLES:

- Bid tabulation
- Bid award recommendation letter

ARTICLE 2. ADDITIONAL SERVICES

All services requested by the Client that are not listed in Article 1 of this Agreement are considered Additional Services. Additional Services are not included in the Basic Fee and shall be paid for by the Client as set forth in Article 4.2 of this Agreement.

2.1 Additional Services include, without limitation, the following:

1. Providing services other than those set forth in Article 1 of this Agreement;
2. Expert witness services performed in preparing for and serving in connection with public hearings, litigation, arbitration, mediation, and/or negotiations;

3. Public or other presentations beyond those described in Basic Services;
4. Preparation of presentation materials for marketing or purposes other than in-progress approvals; construction of presentation models; or preparation of finish quality renderings for the Project;
5. Revisions to drawings previously provided by Consultant due to changes in the Projects' scope, budget or schedule; instructions that are inconsistent with written approvals or instructions previously given; or enactment or revision of codes, laws, or regulations subsequent to the preparation of such documents;
6. Services related to ADA/accessibility/compliance issues for existing site improvements which may be triggered by the design services for new improvements contemplated by this Agreement;
7. Any consultation, drawings, reports and other work products related to permits, approvals and ordinances; or, review and processing of permits, approvals and ordinances with agencies or municipalities having regulatory controls over the development not described in Basic Services;
8. Providing work in connection with the services of a construction manager retained by the Client;
9. Preparing drawings, specifications, supporting data and providing other services in connection with change orders to the extent that the adjustment in the basic compensation resulting from the adjusted construction costs is not commensurate with the services required of the Consultant; providing such change orders are required by causes not solely within the control of the Consultant;
10. Providing services made necessary by the default of the contractor, or by major defects or deficiencies in the work of the contractor;
11. Construction phase services
12. Preparation of as-built drawings;

ARTICLE 3. INFORMATION TO BE PROVIDED BY CLIENT

- 3.1 Client shall provide, in a timely manner, all criteria and full information regarding Client's requirements for, and limitations on, the Project, including without limitation:
1. Legal description and to-scale boundary survey of the property;
 2. All deed restrictions, environmental restrictions, covenants, and all existing or pending municipal, county, state, and federal permits or approvals, and other pertinent information as required during the process;
 3. Topographic survey including 1' contours (unless otherwise agreed by Consultant in writing), tree survey, drainage and flood plain locations, overlay zones or districts, environmental and geotechnical data, utilities, easements, rights-of-way and other existing or proposed physical improvements and impacts of the property. All files to be in AutoCAD format;
 4. Financial/economic information setting forth the budget limitations for the Project;
 5. A geotechnical investigation and report, including design recommendations, will be provided by the Client; and
 6. Designate a representative to serve as the point of contact for the project.

ARTICLE 4. COMPENSATION

4.1 BASIC SERVICES

The Client shall compensate the Consultant as follows:

Lump Sum: Consultant's compensation shall include the lump sum of \$52,700.00 dollars for Basic Services (the "Basic Fee"), plus the total for Additional Services performed on an hourly basis at the rates set forth in Section 4.4, plus reimbursable expenses as set forth in Section 4.5. Consultant's total compensation for Basic Services shall be allocated among the various phases of the Project as set forth below and will be billed monthly based on percent of work complete for each phase of the Project, along with Additional Services and reimbursable expenses incurred during the billing period. The amounts indicated do not include amounts resulting from substantial change in the scope of the Project or services. The Client agrees to pay the Consultant the following fees for the Basic Services:

Task 01:	Preliminary Services	\$ 3,100.00
Task 02:	Schematic Design Validation	\$ 15,900.00
Task 03:	Design Development Services (Phase I)	\$ 17,800.00
<u>Task 04:</u>	<u>Construction Documentation Services (Phase I)</u>	<u>\$ 15,900.00</u>
	Total Lump Sum Fee:	\$ 52,700.00

Hourly: Consultant's compensation shall include the total for Basic Services (the "Basic Fee") and Additional Services performed on an hourly basis at the rates set forth in Section 4.4, plus reimbursable expenses as set forth in Section 4.5. Consultant's estimated compensation for Basic Services for each phase of the Project is set forth below. The amounts indicated do not include

amounts for Additional Services or resulting from substantial change in scope of the Project or services. The Client agrees to pay the Consultant the following estimated fees for the Basic Services:

Task 05:	Regulatory Services	\$ 1,500.00
Task 06:	Bidding Phase Services	\$ 5,700.00
Task 98:	Additional Community/Public Meetings/Staff Meetings	Hourly as requested
<u>Task 99:</u>	<u>Reimbursables</u>	<u>\$ 500.00</u>
	Total Hourly Fee:	\$ 7,700.00
 <u>Total Lump Sum & Hourly Fee:</u>		<u>\$ 60,400.00</u>

4.2 ADDITIONAL SERVICES

The Client shall pay the Consultant for authorized Additional Services performed, including fees and reimbursable expenses. Fees for Additional Services will be included as a separate item on the monthly billing statement.

4.3 INVOICING AND PAYMENT

Consultant will invoice Client monthly for Basic Services and Additional Services performed, and for reimbursable expenses incurred in accordance with the Terms and Conditions of this Agreement. Amounts invoiced are due and payable ten (10) days following the date of the invoice, at the office of **RVi, 1611 West 5th Street, Suite 175, Austin, Texas 78703**. Amounts remaining unpaid sixty (60) days following the date of the invoice shall bear interest at the rate of 12.0% per annum, or at the maximum legal rate allowable, which shall be calculated from the date of the invoice. In no event shall Consultant's failure to bill monthly constitute default under the Terms and Conditions of this Agreement. *Consultant retains the right to halt work pending receipt of any overdue payments, and the right to withhold delivery of final work product if Client does not comply with the payment terms above. Client shall pay all costs and expenses, including without limitation, reasonable attorney's fees and expenses incurred by RVi in connection with the collection of overdue accounts of Client.*

The Client's billing contact information is outlined in the attached exhibit "Client's Billing Contacts"

4.4 HOURLY RATES

The following hourly rates shall apply to the fees described herein and any Additional Services requested of the Consultant. The rates set forth below shall be adjusted in accordance with the normal salary review practices of the Consultant.

Principal	\$230.00 - \$350.00
Associate Principal	\$200.00 - \$275.00
Practice Director	\$165.00 - \$275.00
Project Director	\$165.00 - \$260.00
Project Manager	\$145.00 - \$250.00
Landscape Architect (PLA)/Planner (AICP)	\$155.00 - \$250.00
Designer/Planner/Intern	\$95.00 - \$225.00
Technical, Administrative	\$90.00 - \$200.00

4.5 REIMBURSABLE EXPENSES

Reimbursable expenses are in addition to compensation for Basic Services and Additional Services and include expenses incurred by the Consultant in the interest of the Project. Reimbursable expenses include such items as telecommunications, reprographics, computer plots/mapping, deliveries, photography, reproductions; postage; automobile transportation; expenses in connection with out-of-town travel; special consultants; cost of maps, surveys, drawings and reports necessary to conduct the work and not otherwise furnished by the Client; fees paid for securing approval of authorities having jurisdiction over the project; expense of any additional insurance coverage or limits including professional liability insurance requested by the Client in excess of that normally carried by the Consultant and the Consultant's sub-consultants and third-party consultant charges. Reimbursable expenses will be billed at 1.15 times direct cost to the Consultant.

ARTICLE 5. CHANGES

5.1 Changes. The Consultant and the Client may make changes to the Agreement at any time, but only by written amendment signed by both parties, or by Client's oral request confirmed by Consultant in writing (or email) indicating its acceptance. If such changes cause an increase or decrease in the Consultants' cost of, or time required for, performance of any services, Consultant shall be entitled to an equitable adjustment in compensation and/or completion time.

5.2 Regulatory Changes. In the event that there are modifications or additions to regulatory requirements relating to the services to be performed under the Agreement after the date of execution of the Agreement, the increased or decreased cost of performance of the services provided for in the Agreement and subsequent Proposals shall be reflected in an appropriate written amendment to the Agreement.

ARTICLE 6. RESPONSIBILITIES OF THE PARTIES

- 6.1 Access. Client will provide Consultant with access to the Project site or to any other site as required by Consultant for performance of the Services.
- 6.2 Client shall designate a single person to act with authority on Client's behalf in respect to all aspects of the Project, examine and respond promptly to Consultant's submissions, and give prompt written notice to Consultant whenever it observes or otherwise becomes aware of any defect in the work. If the Client retains a Construction Manager ("CM") for the Project, the Client shall clearly set forth the duties, responsibilities the CM has been assigned by the Client. The Consultant shall be entitled to rely upon the CM's decisions and directions.
- 6.3 Changed Conditions. Consultant shall have the authority to determine the continued adequacy of the Agreement in light of conditions first discovered or information first provided to Consultant after the execution of the Agreement. Should Consultant determine that the Agreement is no longer adequate in light of such conditions, the Consultant shall identify the changed conditions necessitating renegotiation and the Consultant and the Client shall promptly and in good faith enter into renegotiation of the Agreement. If the terms cannot be agreed to, the parties agree that either party has the right to terminate the Agreement.
- 6.4 Permits. Client is responsible for obtaining and complying with all required permits or other approvals of, and for giving any required notices to, all governmental and quasi-governmental authorities having jurisdiction over the Project. Before Consultant performs the Services, Client will provide Consultant evidence satisfactory to Consultant that all required permits or other approvals have been obtained and that all required notices have been given. Client will provide to Consultant copies of any such permits or any such notices, together with any other relevant information that will alert Consultant to the requirements of such permits, approvals, or notifications.
- 6.5 Other Information. Consultant may rely upon commonly used sources of data including but not limited to database searches, publicly available topographic information, GPS coordinates, demographics, and other public information as required. Consultant does not warrant the accuracy of the information obtained from those sources and has not been requested to independently verify such information.
- 6.6 Site Visits. Unless otherwise specifically set forth in the Agreement or a fully executed written Amendment, Client-requested site visits are on an as-requested fee basis for the purpose of visual observation only for general conformance with the Landscape Construction Documents at the time of observation. Client has not retained the Consultant to make inspections or to provide periodic, continuous or exhaustive Project review and observation services. Consultant's site visits do not include any obligation to identify or notify Client of any jobsite safety issues. Consultant is not obligated to conduct any tests in connection with site visits. Consultant at all times reserves the right to make site visits solely for its own collection of information relevant to, and for the benefit of, the performance of its Services.
- 6.7 Construction Exclusion. Consultant's scope of work does not include, and Consultant shall have no authority or responsibility for supervising, directing, performing or controlling any contractor's work, or the means, methods, techniques, sequences, safety measures, or procedures of construction selected by any contractor or subcontractor. Accordingly, Consultant shall have no responsibility or liability for the acts or omissions of any contractor, subcontractor, supplier or any other entity furnishing materials or performing any work on the Project, including, but not limited to, compliance with any applicable law
- 6.8 No Warranty. Consultant and Client acknowledge and agree that Consultant makes no warranties, express or implied, regarding the Services provided in connection with the Project and that the Services provided by Consultant are in the nature of professional services, the essence of which are the provision of advice, judgment, opinion and professional skill.
- 6.9 Estimates of Probable Costs. Client and Consultant agree that any construction cost estimates provided by Consultant are solely for the purpose of providing information for use in revising the Instruments of Service, and that Consultant makes no warranty, express or implied, that any estimates will not differ from bids received from contractors or the negotiated cost of the work. Opinions of cost are based on the experience and judgment of Consultant and are merely opinions. Consultant does not warrant that actual costs will not vary from those opinions because, among other things, Consultant has no control over market conditions. If the fixed limit of construction cost is exceeded by the lowest bona fide bid or negotiated proposal by more than 20%, Consultant will at the Client's request, revise the Contract Documents to comply with the project budget at no additional charge. In any event, Consultant's modification of Instruments of Service shall be its sole responsibility and Client's sole remedy for any difference between Consultant's construction cost estimates and bids received or the negotiated cost of the work.

ARTICLE 7. TERMINATION

- 7.1 This Agreement may be terminated by either party, at any time prior to completion of Consultant's services, upon not less than seven days' written notice, should the other party fail substantially to perform in accordance with the terms of the Agreement through no fault of the party initiating the termination; provided however, that such notice shall state the reason(s) for termination, and such termination shall not be effective if the party to whom the notice is directed, within such seven-day period, fully cures its failure to perform.
- 7.2 If the Client fails to make payments to the Consultant in accordance with the Agreement, such failure shall be considered failure to substantially perform and cause for termination or, at the Consultant's option and upon not less than seven days' written notice, cause for suspension of performance of services without terminating the Agreement. In the event of a suspension of services, the Consultant shall have no liability to the Client for delay, hindrance or damage caused the Client because of such suspension of services. The Consultant shall be paid all sums due prior to suspension and any expenses incurred in the interruption and resumption of the Consultant's services before having to resume services.

- 7.3 If the Project is suspended or the Consultant's services are suspended for more than 90 consecutive days, the Consultant may terminate the Agreement by giving not less than seven days' written notice. Consultant shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the Consultant shall be compensated for any expenses incurred in the interruption and resumption of the Consultant's services. The Consultant's fees for the remaining services and the time schedules shall be equitably adjusted.
- 7.4 This Agreement may be terminated by either party, without cause and for its convenience, at any time prior to completion of Consultant's services, upon not less than seven days' written notice to the other party. In the event that a termination by Consultant for cause is later determined to have been wrongful, then the termination shall be deemed a termination for convenience.
- 7.5 In the event of termination not the fault of the Consultant, the Client shall, within fifteen days following the termination, pay Consultant for all services performed prior to termination, together with reimbursable and sub-consultant expenses incurred before termination and all Termination Expenses. Termination Expenses are in addition to compensation for the services of the Agreement and include expenses directly attributable to termination for which the Consultant is not otherwise compensated, plus an amount for the Consultant's anticipated profit on the value of the services not performed by the Consultant. Client waives any and all claims, causes of action and damages that it has or may have against Consultant arising out of termination not the fault of the Consultant, including termination without cause.

ARTICLE 8. LIMITATIONS OF LIABILITY

- 8.1 Limitation of Liability. Client and Consultant have considered the relative risks and benefits of the Project to both Client and Consultant, and agree to allocate risks such that, to the fullest extent permitted by the law, the total liability of Consultant, its directors, officers, partners, employees, subconsultants and subcontractors (the "Limited Parties"), to Client for any and all injuries, claims, losses, expenses (including attorney's fees and costs), or damages of any nature whatsoever, shall be limited such that the total aggregate liability of the Limited Parties shall not exceed the Consultant's total compensation received for services rendered and reimbursable expenses incurred in connection with the Project. This limitation shall apply to any and all liabilities and causes of action, however alleged or arising and regardless of the nature of the fault, unless otherwise prohibited by law. To the extent that any portion of this limitation is prohibited by law, such prohibited portion shall be deemed excluded from this provision, and the remainder shall remain in effect. Moreover, Client further acknowledges and understands that accessibility standards, guidelines and requirements are subject to varying interpretations, and as such, Client hereby expressly waives all claims, causes of action, liabilities and damages arising out of or in any way related to non-compliance with any and all accessibility standards, guidelines and requirements, including, without limitation, those promulgated through, by or under the Americans with Disabilities Act ("ADA"), the Fair Housing Act ("FHA"), and any of their state counterparts.
- 8.2 Waiver of Special/Consequential Damages. Notwithstanding any other provision of this Agreement, Client and Consultant agree that neither party, nor their respective directors, officers, employees shall in any event be liable to the other for any punitive, special, incidental, or consequential damages, including, without limitation, damages incurred for lost business opportunity or profits, arising out of or relating to the Agreement or the Project, the same being hereby expressly waived by both parties. This waiver shall apply to any and all causes of action, however alleged or arising and regardless of the nature of the fault or whether it was committed by the Client or by Consultant.
- 8.3 Delays. Consultant is not responsible for delays or hindrances caused by factors beyond Consultant's reasonable control, including but not limited to delays and hindrances resulting from strikes, lockouts, work slowdowns or stoppages, accidents, acts of God, failure of any governmental or other regulatory authority to act in a timely manner, failure of the Client to furnish timely information or approve or disapprove of Consultant's Services or work product or respond to Consultant's inquiries promptly, or delays caused by faulty performance by the Client or by contractors of any level. When such delays occur, the Client agrees Consultant is not responsible for damages, nor shall Consultant be deemed to be in default of the Agreement. To the extent necessary as caused by any delay, Consultant shall be entitled to an extension of time equal to the delay and an equitable adjustment in compensation.
- 8.4 Project Enhancement. If, due to Consultant's error or omission, any required item or component of the Project is omitted from Consultant's documents, Consultant shall not be responsible for paying the cost to add such item or component to the extent that such item or component would have been otherwise necessary to the Project or otherwise adds value or betterment to the Project. In no event will Consultant be responsible for any cost or expense that provides betterment, upgrade, or enhancement of the Project.

ARTICLE 9. RELATIONSHIP OF PARTIES

- 9.1 Independent Contractor. It is understood that the relationship of Consultant to Client shall be that of an independent contractor. Neither Consultant nor employees of Consultant shall be deemed to be employees of Client.
- 9.2 No Fiduciary Duty. Client recognizes that neither Consultant nor any of Consultant's subconsultants or subcontractors owes any fiduciary responsibility to Client.
- 9.3 Corporate Services. Client agrees that Consultant has entered the Agreement in its corporate capacity, and that all services are provided by Consultant in its corporate capacity. Client agrees that it shall look solely to Consultant in its corporate capacity and not to any of Consultant's directors, officers, partners or employees in any individual capacity with respect to obtaining any remedy.
- 9.4 No Third-Party Beneficiaries. Consultant's work product, including without limitation all services and all Instruments of Service that are provided in connection with the Project, are intended solely for the benefit and exclusive use of the other party, and any benefits arising out of those obligations or any other services performed by Consultant in connection with

the Project that may accrue to third parties are entirely incidental. Nothing contained in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party. There are no intended third-party beneficiaries to the Agreement.

ARTICLE 10. MISCELLANEOUS PROVISIONS

- 10.1 Merger. The Agreement, including any attachments, represents the entire and integrated agreement between the Client and the Consultant. The Agreement supersedes all prior negotiations, representations or agreements, whether written or oral, and the same shall have no force or effect. The Agreement may be amended only by written instrument signed by both Client and authorized representative Consultant.
- 10.2 Execution. This Agreement may be executed in any number of multiple counterparts, all of which taken together shall constitute one and the same agreement.
- 10.3 Lien Rights. Client grants to Consultant a contractual lien, in addition to all constitutional, statutory and equitable liens that may exist, on the real property identified in the Agreement as the Project location, and on all improvements thereon, to secure payment for all debts owed, now or in the future, to Consultant by Client, arising from services provided and reimbursable expenses and sub-consultant costs incurred by Consultant in connection with the Project. Client grants Consultant the authority and right to file a copy of the Agreement in the Deed Records of the county or counties where the Project is located to give notice of Consultant's lien rights. If Client is not an owner of the real property or improvements at the Project location, then Client hereby assigns to Consultant, to the extent of Consultant's services on the Project, Client's lien rights under the relevant state law, including without limitation, Chapter 53 of the Texas Property Code.
- 10.4 Instruments of Service.
1. All designs, drawings, specifications, documents, calculations, and other work products, whether in hard copy or electronic form, prepared by the Consultant are Instruments of Service, and such Instruments of Service, as well as the concepts, designs, and ideas expressed in the Instruments of Service are for use solely with respect to the Project. The Consultant is deemed the author and owner of the Instruments of Service, regardless of whether or not services are completed, and Consultant shall retain all common law, statutory and other reserved rights, including copyrights.
 2. Upon full payment by Client to Consultant under this Agreement Consultant grants to the Client a non-exclusive license to reproduce and utilize the Consultant's Instruments of Service: (i) to complete the development or construction of the Project, as applicable; (ii) for reference in operating, maintaining and repairing the Project; and (iii) for reference in undertaking any future alteration, improvement, addition or renovation of the Project. Absent full payment by Client under this Agreement, Consultant grants no rights in Instruments of Service.
 3. Reuse, change or alteration of Instruments of Service by the Client or by others acting through or on behalf of the Client is not permitted without the written consent of Consultant. ANY SUCH REUSE, CHANGE OR ALTERATION BY THE CLIENT OR THIRD PARTIES IS AT THEIR OWN RISK AND CLIENT AGREES TO HOLD HARMLESS AND INDEMNIFY THE CONSULTANT, ITS OFFICERS, PARTNERS, EMPLOYEES, AND SUBCONSULTANTS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND COSTS (INCLUDING ATTORNEYS' FEES), INCLUDING, BUT NOT LIMITED TO, CLAIMS FOR CONSULTANT'S ALLEGED NEGLIGENCE, ARISING OUT OF OR RELATED TO SUCH REUSE, CHANGE OR ALTERATION.
- 10.5 Attorney's Fees Client shall pay Consultant, in addition to any other amounts found to be owing, all costs of collection arising from unpaid invoices, including reasonable attorney's fees.
- 10.6 Governing Law. The Agreement shall be governed by and construed in accordance with the laws of the State of Texas.
- 10.7 Venue. Consultant and Client agree that the venue of any action under the Agreement shall be exclusively in the jurisdiction of the Consultant office in which the work was performed.
- 10.8 Severability. If any provision of the Agreement is held to be illegal, invalid or unenforceable under present or future laws, such provision shall be fully severable, and the Agreement shall be construed and enforced as if such illegal, invalid or unenforceable provision is not a party hereof, and the remaining provisions shall remain in full force and effect. In lieu of any illegal, invalid or unenforceable provision, there shall be added automatically as a part of the Agreement, a provision as similar in terms to such illegal, invalid or unenforceable provision as may be possible and be legal, valid and enforceable.
- 10.9 Construction of Agreements. The parties acknowledge that each party and, if it so chooses, its counsel have reviewed and revised the Agreement and that the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of the Agreement or any amendments or exhibits.
- 10.10 Successor and Assigns. Neither Client nor Consultant shall assign, sublet, or transfer this interest in the Agreement without the written consent of the other. Client's representative signing Agreement warrants that he or she has full authority to bind Client to the Agreement. Nothing in this provision restricts Consultant's ability to hire subcontractor(s) in connection with the services to be provided.
- 10.11 Dispute Resolution. Other than a dispute arising from alleged non-payment, all claims, disputes or other matters in question arising out of or related to the Agreement or the services provided thereunder ("Disputes") shall be resolved in accordance with the dispute resolution procedures set forth herein. Specifically, unless both parties agree to waive the requirement in writing, all Disputes shall be subject to non-binding mediation as a condition precedent to the institution of arbitration or any other legal proceedings by either party.
1. Mediation. The Client and Consultant shall endeavor to resolve all Disputes between them by mediation. The parties

shall share the mediator's fee and any filing fees equally. The mediation shall be held in the county where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlements agreements in any court having jurisdiction thereof. If a Dispute relates to or is the subject of a lien arising out of the Consultant's services, the Consultant may proceed in accordance with applicable law to comply with the lien notice or filing deadlines prior to resolution of the matter by mediation or other legal proceedings.

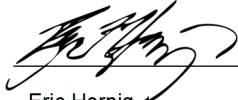
- 2. Arbitration. All claims, disputes and other matters in question arising out of or related to the Agreement or the services provided thereunder and not resolved first through mediation shall be decided by binding arbitration which, unless the parties mutually agree otherwise, shall be in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association currently in effect. The demand for arbitration shall be filed in writing with the other party to the Agreement and with the American Arbitration Association. No arbitration arising out of or relating to the Agreement shall include, by consolidation or joinder or in any other manner, an additional person or entity not a party to the Agreement. The foregoing agreement to arbitration shall be specifically enforceable in accordance with applicable law in any court having jurisdiction. The award rendered by the arbitrator or arbitrators shall be final, and judgment may be entered upon it in accordance with applicable law in any court having jurisdiction.
- 10.12 Survival of Provisions. Termination of the Services for any reason whatsoever shall not affect (a) any right or obligation of any party that is accrued or vested prior to such termination, and any provision of the Agreement relating to any such right or obligation shall be deemed to survive the termination of the Services or (b) any continuing obligation, liability or responsibility of Consultant and of Client which would otherwise survive termination of the Services.
- 10.13 Texas Board of Architectural Examiners. To the extent that this Agreement includes landscape architectural services, under Chapter 1052 of the Texas Occupations Code, the Texas Board of Architectural Examiners - 333 Guadalupe, Suite 2-350, Austin, Texas 78701-3945, telephone (512) 305-9000 - has jurisdiction over complaints regarding the professional practices of persons registered as Landscape Architects in Texas.
- 10.14 For projects in North Carolina: Services in North Carolina are contracted through and provided by Atwell, PLLC dba RVi Planning + Landscape Architecture under North Carolina C-661.

ARTICLE 11. APPROVED AND ACCEPTED

Client approves and accepts the Agreement and authorizes Consultant to commence work upon Consultant's receipt of the properly executed and signed Agreement and specific amendments. If the Agreement is not executed by Client within thirty (30) days of the date tendered, it shall become invalid unless: (1) Consultant extends the time in writing; or (2) at the sole option of Consultant, Consultant accepts Client's oral, email or other written authorization to proceed with services, in which event the terms of the authorization shall be deemed to include all the terms of this Agreement. Consultant's performance of the services under such authorization shall be in reliance on the inclusion and incorporation of all the terms of the Agreement in the authorization.

RVi Planning + Landscape Architecture, Inc.

City of Crest Hill

Signature: 

Printed Name: Eric Hornig

Title: Principal

Date: June 11, 2026

Signature: _____

Printed Name: _____

Title: _____

Date: _____



CLIENT'S BILLING CONTACTS

Monthly invoices will be sent **by email** per the information provided by the Client below:

Name: _____

Title: _____

Invoicing address: _____

Telephone Number: _____

Fax Number: _____

Email Address: _____

Due date for timely processing of invoices: _____

If a special invoice is required, please attach a sample to the executed Professional Services Agreement.



EXHIBIT A: LIMIT OF WORK



RESOLUTION NO. _____

A RESOLUTION FOR A PROFESSIONAL SERVICES AGREEMENT FOR CREST HILL MUNICIPAL PARK BY AND BETWEEN THE CITY OF CREST HILL, WILL COUNTY, ILLINOIS AND SPACECO IN THE AMOUNT OF \$90,000.00

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the authority to adopt resolutions and to promulgate rules and regulations that pertain to the City's government and affairs and protect the public health and, safety, and welfare of its citizens; and

WHEREAS, pursuant to Section 2-2-12 of the Illinois Municipal Code (65 ILCS 5/2-2-12), the City Council possesses the authority to enter into contracts that serve the legitimate corporate purposes of the City; and

WHEREAS, Spaceco. (the "COMPANY"), is an entity that is in the business of providing Professional Engineering Services, for the Crest Hill Municipal Park (the "Services"); and

WHEREAS, the City Council desires to engage the Company to provide the Services and the Company is ready, willing to perform the Services for the City; and

WHEREAS, City Staff have negotiated an Agreement for a Crest Hill Municipal Park (the "Agreement") with the Company for the purposes of engaging the Company to perform the Services (a copy of the Agreement is attached hereto as Exhibit A and fully incorporated herein); and

WHEREAS, the Staff and City Council has reviewed the Agreement and determined that the conditions, terms, and provisions of the Agreement are fair, reasonable, and acceptable to the City; and

WHEREAS, the City Council has determined that it is in the best interest of the City and its citizens to enter into the Agreement with the Company.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Crest Hill, Illinois, pursuant to its statutory authority, as follows:

SECTION 1: PREAMBLE. The City Council hereby finds that all of the recitals contained in the preamble to this Resolution are true, correct and complete and are hereby incorporated by reference hereto and made part hereof.

SECTION 2: AGREEMENT APPROVED. The City Council hereby finds and declares that the conditions, terms, and provisions of this Agreement (Exhibit A) in the amount of 90,000.00 are fair, reasonable, and acceptable to the City and that the same is hereby approved in form and substance. Therefore, the City Council hereby authorizes and directs the Mayor to execute and deliver, and the Clerk to attest, the Agreement, and further to take any and all other actions, including without

limitation the execution and delivery of any and all documents, necessary and appropriate to effectuate the intent of this Resolution, which is to enter into the Agreement with the Company.

SECTION 3: SEVERABILITY. If any section, paragraph, clause or provisions of this Resolution is held invalid, the invalidity of such section, paragraph, clause or provision shall not affect any other provision of this Resolution.

SECTION 4: REPEALER. All ordinances, resolutions or orders, or parts thereof, which conflict with the provisions of this Resolution, are to the extent of such conflict hereby repealed.

SECTION 5: EFFECTIVE DATE. This Resolution shall be in full force and effect immediately upon its passage and publication according to law.

[Intentionally Blank]

PASSED THIS 6TH DAY JULY, 2026.

	Aye	Nay	Absent	Abstain
Alderman Scott Dyke	_____	_____	_____	_____
Alderman Angelo Deserio	_____	_____	_____	_____
Alderwoman Claudia Gazal	_____	_____	_____	_____
Alderman Darrell Jefferson	_____	_____	_____	_____
Alderperson Tina Oberlin	_____	_____	_____	_____
Alderman Mark Cipiti	_____	_____	_____	_____
Alderman Nate Albert	_____	_____	_____	_____
Alderman Joe Kubal	_____	_____	_____	_____
Mayor Raymond R. Soliman	_____	_____	_____	_____

APPROVED THIS 6TH DAY OF JULY, 2026.

Raymond R. Soliman, Mayor

ATTEST:

Christine Vershay-Hall, City Clerk

EXHIBIT A

June 18, 2026
Revised: June 25, 2026

VIA EMAIL

Ron Wiedeman, P.E.
City Engineer
City of Crest Hill
20600 City Center Blvd
Crest Hill, IL 60403
815-656-0086
rwiedeman@cityofcresthill.com

**RE: PROFESSIONAL ENGINEERING SERVICES PROPOSAL
PHASE 1 - IMPROVEMENTS
CREST HILL MUNICIPAL PLAZA
CREST HILL, ILLINOIS
(SPACECO Project No. 10656.05)**

Dear Ron:

In response to your request, SPACECO, Inc. and Ciorba Group are pleased to provide you with this proposal for professional engineering services related to the proposed Phase-1 Municipal Plaza improvements on about 3.5 acres in Crest Hill, Illinois. The purpose of these services is to provide final engineering design, construction plans, and specifications for the **paving**, mass-grading, storm sewer, wet utility services, drainage, lighting/electrical, and soil erosion and sediment control aspects of the proposed Phase-1 development. The following describes our Understanding of the Assignment, Scope of Services, and Fee.

UNDERSTANDING OF THE ASSIGNMENT

- **The proposed plan includes construction of a parking lot, driveway, sidewalks, playground area including ribbon curb, curb islands, mass graded field (sodded or seeded), storm sewer, wet utility services, and soil erosion and sediment control measures for the portion of the proposed Municipal Plaza area shown in yellow on attached "Exhibit A". The proposed Phase-1 improvements will consider the future plaza improvements, and the future concession/restroom building.**
- **It is our understanding that a lighting design is required for the proposed Municipal Plaza that will be constructed between the White Oak Library and City Hall, as shown on the Geometric Plan included under "Exhibit A". The lighting for the entire plaza area**

will be designed, however only the area highlighted in yellow will be constructed under Phase I. The City will work with RVI Planning & Landscape Architecture to finalize the Plaza Area north of the parking lot.

- The lighting design will include revising the preliminary photometric calculations as prepared by Christopher B. Burke Engineering and dated February 5, 2024. The calculations will be used as a basis for the design, with calculations updated based on the final Parking Lot and Plaza geometry, and preferred site lighting units.
- The proposed lighting will be designed in accordance with National Electric Code, Illuminating Engineering Society (IES), and Local Ordinance.
- The City has provided the following as the preferred site lighting units:
 - Pedestrian Pathway Lighting: Should consist of the City's pendant style luminaire mounted on an 18-foot black powder coated light pole. The lighting unit should match the decorative lighting unit installed along City Center Boulevard.
 - Event Security Lighting: Should consist of a LED luminaire mounted on a 35-foot black powder coated aluminum light pole. This lighting would be used to illuminate the lawn area for night events only.
 - Parking Lot Lighting: Should consist of proposed pathway lighting units on the north side of the parking lot, and the City's pendant style luminaire mounted on a 30-foot black powder coated light pole on the south side of the parking lot.
 - Playground Lighting: Should consist of 42" lighted bollards, that match those installed at City Hall.
 - All luminaires should be furnished with a 7-pin twistlock receptacle, which will allow the luminaires to be integrated into future site lighting controls.
- The City has requested the following be included in the site electrical design:
 - Centralized lighting controller to power the site lighting and electrical. The lighting controller should be sized to accommodate future sound and WIFI equipment.
 - Festoon receptacles mounted to pathway light poles for holiday decorations.
 - Six pad mounted receptacle cabinets located around the

THE SITE

- The site is currently vacant.
- Vehicular access to the site will be the city center property and the library property.

THE WORK

We will prepare the following for the on-site paving, lighting/electrical, grading, utility service, and drainage aspects of the proposed Phase-1 improvements for the development:

- **Consultations**
- **Preliminary Photometric Calculations**
- **Final Civil and Lighting/Electrical Design Documents**
- Bid Quantity Forms

SPACECO is also available to perform construction observation, layout staking, and record drawings, for which the scope and fees can be agreed upon later.

ASSUMPTIONS

In preparing this proposal, we have attempted to provide you with a complete package of the engineering services anticipated at this point in time. In doing so, we have made some assumptions, based on the available information, which will need to be verified during the engineering process. If any findings differ from these assumptions, additional design may be needed, which will be considered in a separate agreement for services after the limits of work are clarified.

- Construction administration services and construction layout staking services are not included in this agreement and will be included in a supplemental agreement.
- The site was never used for storage of hazardous materials.
- There will be no modifications to existing adjacent streets except for curb cuts.
- The utilities to be used have adequate capacity and are immediately adjacent to the parcel.
- The sewers will flow by gravity with no lift stations.
- Our sanitary sewer design will be for domestic waste only; process waste collection or treatment design is not expected and is not included in this scope.
- A drainage study and design for any drainage identified as located outside of the project area is not included.

- Regional stormwater detention has been provided offsite. Therefore, on-site stormwater detention will not be required for this project.
- Photometric calculations for the bollard lighting around the playground will not be required.
- Photometric calculations will be revised for the updated geometry to connect the parking lot to the Library Dive Aisle, and remove the access drive off of City Center Blvd.
- The City has provided preferred pedestrian path lighting unit.
- Work not included in this scope of work, but a separate proposal can be provided upon request:
 - Additional event power (excluding the 6 pad mounted receptacle cabinets).
 - Site irrigation
 - Concession building power, plumbing, and HVAC

PROVIDED BY OTHERS

- Boundary & Topographic Survey (by Spaceco, Inc. under separate contract)
- Dry Utility Service Coordination (by City of Crest Hill)
- Permitting (Except As Noted)
- Environmental Assessments, Mitigation, or Clean-Up
- **Design of the Playground (by Lockport Township Park District)**
- **Site Hardscape Layout & Furniture (by RVi)**
- **Landscape & Irrigation System Design (by RVi/ City)**
- **Park Sound System (by RVi)**
- Traffic Analysis
- Geotechnical Reports
- CCDD Reporting
- Construction Observation
- Bid Package Preparation / Bid Coordination

SCOPE OF BASIC SERVICES

SPACECO, INC.

TASK 1- FINAL ENGINEERING: This task will consist of the preparation of the design documents for submittal to the municipality and permit applications to the regulatory agencies that govern the work.

Preparation of Plan Drawings: The plan drawings will include the final design drawings, technical specifications, and other documentation for the final design of on-site engineering improvements. The plans will be in English units of measurement. This work will include; paving, plan notes, typical sections, water service, sanitary sewer service, limited storm sewers, mass grading, erosion control, and details. Our design of underground utilities will be up to five feet from the outside of the building wall for service connections.

Construction specifications will be shown on the drawings for storm sewer, sanitary sewer, watermain, pavement and grading. We will reference the "Standard Specifications for Road and Bridge Construction" adopted April 1, 2024 by the Illinois Department of Transportation, and the latest edition of the "Standard Specifications for Water and Sewer Main Construction in Illinois". SPACECO, Inc.'s preparation of the specifications shall not be construed to relieve the Contractor in any way from his sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

Soil Erosion and Sediment Control Plan: We will prepare a Soil Erosion and Sediment Control Plan for inclusion into the Final Engineering Plans. We will also file with the Illinois Environmental Protection Agency (IEPA) a National Pollutant Discharge Elimination Systems (NPDES) Notice of Intent (NOI) form for the grading activities. The plan will include the appropriate notes, details, and specifications that are the anticipated minimum initial controls and measures that will be required during the duration of construction activities until the site is stabilized and the Notice of Termination (NOT) form is filed. This plan is an integral component of the Storm Water Pollution Prevention Plan (SWPPP) that the IEPA requires as part of the NPDES NOI filing. We assume that the Client is familiar with the requirements of the IEPA NPDES and SWPPP programs and that you will be undertaking the required reporting, monitoring, and maintenance aspects of the programs. If requested, SPACECO, Inc. can provide the required reporting and monitoring work under a separate agreement of services.

SPACECO is not responsible for implementation of the Storm Water Pollution Prevention Plan (SWPPP), including maintenance and/or repair of soil erosion and sediment control measures, for compliance with the General NPDES Permit for Storm Water Discharges from Construction Site Activities.

Permit Applications: We will submit an initial application to the Illinois Environmental Protection Agency for a Notice of Intent (NOI) for mass-grading purposes. Permit

application fees are not included in our fee. This does not warrant that such approval will be obtained.

TASK 2 - PREPARATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP):

We will prepare a SWPPP for the project in accordance with Part IV of the General NPDES Permit No. ILR10. Please note that completion of this task will require input from the project engineer and signed certification statements from all contractors, subcontractors, and the operator as identified in the SWPPP. An up-to-date copy of the SWPPP must be maintained on the project site during construction activities. To meet Illinois Environmental Protection Agency (IEPA) requirements, the SWPPP will be maintained within a 3-ring binder and include the following information: Notice of Intent; IEPA Notice of Coverage; Owner Certification; Contractor Certifications; Sample Site Monitoring Form; Copy of the IEPA General Permit ILR10; Soil Erosion and Sediment Control Plan Drawings.

TASK 3 - BID QUANTITY FORMS: We will prepare bid quantity forms showing the item description and quantities from the final engineering plans for insertion into bid documents prepared by the City. This scope does not include providing consultation or assistance during the construction bidding process such as attendance at pre-bid or bid opening meetings or assistance in the preparation of the bid package.

TASK 4- CONSULTATION/MEETINGS/CONFERENCE CALL: SPACECO, Inc. will provide consultation including attendance at group meetings or conference calls with the Client, municipal staff, governmental agencies and utility companies to properly advise the Client of the engineering concerns. This task will be billed at an hourly rate on a Time and Materials basis.

CIORBA GROUP

Task 5 – Meetings, Data Collection & Coordination

Ciorba will meet with Owner and/or Design Team virtually to discuss project scope, preferred equipment, and lighting design requirements.

Included in this task are the following meetings and site visits for the project:

- Site Visit to Coordinate Electric Service with Com Ed
- Virtual Meeting with Owner and Design Team to Discuss Preliminary Design Submittal
- Virtual Meeting with Owner and Design Team to Discuss Prefinal Design Submittal
- Virtual Meeting to coordinate Lighting Controls and future Sound/Wi-Fi System.

Task 6 – Preliminary Photometric Calculations Submittal

Based on information collected in Task 5, lighting calculations will be performed in accordance with Illuminating Engineering Society (IES) Recommendations for the following:

- RP-8-25 Recommended Practice: Lighting Roadway and Parking Facilities
- RP 43-22 Recommended Practice: Lighting Exterior Applications

Photometric calculations will be performed for the following areas:

- Parking Lot Area
- Pedestrian Pathway
- Event/Plaza Area

Photometric calculations will be performed using AGi32 lighting calculation software to provide updated calculations for:

- Revised parking lot geometry. The parking lot will now be connected to the Library Dive Aisle, versus the access drive off of City Center Blvd as shown in Spaceco's Phase I plans, dated 2/11/2024.
- Revised pedestrian path lighting. The City would like the path lighted by the City's pedestrian decorative lighting unit, as installed along City Center Boulevard.
- Revised Event/Plaza security lighting. Based on RVI Planning & Landscape Architecture final plaza layout.

A revised lighting design report will be prepared and will include the following information:

- Project design criteria
- Photometric design forms and calculations
- Revised luminaire catalog cut information
- Light pole layout plans

The photometric calculation submittal will be sent to SPACECO to be submitted to the City for their review and approval.

Task 7 – Lighting Design Submittal

Pre-Final Lighting Design Submittal

Upon approval of the photometric calculations, a lighting design will be performed in accordance with City Local and National Electric Codes.

The lighting design submittal will include lighting plans, detail drawings, engineer's opinion of construction cost (EOPCC), and specifications. Lighting plans will provide locations of light poles, sources of electrical power, lighting controller cabinet, and conduit/cable routing and sizes. Detail drawings will include light pole details, lighting controller cabinet details, lighting controller one-line diagram (for basic lighting controls), electric service, light pole handhole wiring diagrams, concrete foundations, handhole, and conduit installation. Lighting specifications and EOPCC will be based on IDOT standard pay coded items. Voltage drop calculations will be performed and provided upon request.

The design will also include:

- Sizing a ground mounted receptacle for a large Christmas Tree.
- Including festoon receptacle circuits on the pedestrian path lighting units.
- Ground mounted GFCI receptacles adjacent to trees around the site, as directed by the City.
- Coordination with the City and RVI about future audio mounted to light poles and WIFI available at the site.
- Lighting control system vendor coordination.

The lighting design submittal package will be provided to SPACECO to be submitted to the City for review and comment.

Final Lighting Design Submittal

Upon receiving comments from the City, Ciorba will revise the lighting plans, EOPCC, and provide a written disposition of review comments. The revised lighting design package will be provided to SPACECO to be submitted to CDOT for review and comment.

Task 8 – QC/QA

Ciorba will perform internal quality control/quality assurance in accordance with our QC/QA procedures.

Task 9 – Project Management & Administration

Work associated with project oversight, project progress reports, and updating the schedule will be performed under this task.

SUPPLEMENTAL SERVICES

Normal and customary engineering and surveying services do not include service in respect to the following categories of work which are usually referred to as Supplemental Services. If the Client shall so advise SPACECO, Inc., we shall perform or obtain from others such services. SPACECO, Inc. will be paid on an hourly basis or based on subsequent proposal/contract agreements, at the option of Client. Additional Supplemental Services for the project include, but are not limited to the following:

- Services due to major changes in the general scope of the project.
- Revising studies, reports, and design documents which the Client, the municipality, and/or other governmental agencies have previously approved.
- Providing Engineering Design and Construction Services for:
 - Unusual or unanticipated improvements.
 - Additional off-site improvements requested by the Client or governmental agencies.
 - Improvements necessary to the project development beyond those being included under Basic Services herein.
 - Lift stations.
 - Structural Engineering.
 - Retaining walls over three feet in height.
 - Wetland permitting.
 - NPDES/Erosion Control Report.
 - Traffic impact studies, capacity analyses, warrant studies, intersection design studies, construction documents for any traffic control devices (signals, etc.).
- Meetings with the Client, Contractor(s), the municipal staff, or others during the course of design or construction not included under Basic Services.
- Providing construction observation in support of the engineering plans. Visiting the site for preparing punchlists, reductions of Letter of Credit or for comparing the Contractor's invoices against the approved final design plans and the Engineer's quantity take-offs.
- Giving testimony as an expert witness for the Client in litigation or other court proceedings involving this project.
- Environmental assessments, geotechnical investigations.
- Preparation of any plats (ALTA Surveys, etc.) or documents not explicitly identified under Basic Services.
- Construction Observation Services
- Field construction staking.
- Record drawings.
- Photocopying and final printing. Reimbursable expenses including messenger, overnight delivery services, facsimile, photography, postage, mileage, tolls and mounting drawings.

FEES**Spaceco, Inc.**

	<u>Amount</u>
Task 1–Final Engineering	\$16,500 Lump Sum
Task 2– Preparation of SWPPP	\$1,800 Lump Sum
Task 3- Bid Quantity Forms	\$4,000 Lump Sum
Task 4- Consultation/Meetings/Conference Calls	Hourly, Budget \$4,000*
Reimbursable Expenses	Cost +10%, Budget \$300*
Total:	\$26,600*

*Assumes Task 4 and reimbursable expenses are billed at the budgeted amount.

Ciorba Group

	<u>Amount</u>
Task 5–Meetings, Data Collection & Coordination	\$5,500 Lump Sum
Task 6– Preliminary Photometric Calculation Submittal	\$7,300 Lump Sum
Task 7- Lighting Design Submittal	\$33,000 Lump Sum
Task 8- QA/QC	\$2,700 Lump Sum
Task 9- Project Management & Administration	\$2,700 Lump Sum
Total:	\$51,200

Our services will be invoiced monthly on a percent complete basis. Payments are due within thirty days after invoicing.

Work identified as payable on an hourly basis will be billed to you at the rates specified on the enclosed Schedule of Charges for Professional Services. We will establish our contract in accordance with the enclosed General Terms and Conditions, which are expressly incorporated into and are an integral part of this contract for professional services. If you wish to discuss the terms, conditions and provisions of this agreement, I would be pleased to do so at your earliest convenience. We reserve the right to increase our fees by 5% on each annual anniversary of this Agreement. All reproductions and delivery services will be billed to the Client on a cost plus 10% basis.

If this proposal meets with your approval, please sign and return to us for our files.

Sincerely,

SPACECO, Inc.



James Kapustiak, P.E., P.L.S.
Senior Project Manager

c: R. Stawik - SPACECO, Inc.
Ciorba (Tasks 5-9)
File Copy

ACCEPTED FOR: _____

BY: _____

TITLE: _____

DATE: _____

JANUARY 01, 2026

Standard Charges for Professional Services

Hourly Rate

Principal	\$405.00
Vice President	\$330.00
Senior Project Manager	\$220.00
Senior Design Engineer	\$215.00
Senior Project Designer	\$190.00
Project Manager	\$205.00
Project Engineer	\$190.00
Design Engineer	\$160.00
Intern	\$80.00
Construction Department Manager	\$220.00
Construction Engineer II	\$160.00
Construction Engineer I	\$130.00
CAD Manager	\$180.00
CAD Technician II	\$175.00
CAD Technician I	\$155.00
Survey Department Manager	\$250.00
Survey Group Manager	\$210.00
Survey Manager	\$190.00
Project Surveyor	\$180.00
Land Surveyor Technician	\$155.00
One Man Survey Crew	\$170.00
Two Man Survey Crew	\$280.00
Three Man Survey Crew	\$390.00
Hydrographic Boat with Equipment	\$550.00/Day
Administrative Assistant	\$105.00

Reimbursable Expenses

Fax	\$0.50/page
Outside copy service, messenger, overnight delivery, photos	Cost + 10%
Mileage	\$0.67/mile
Electronic Transfer	\$40.00
Drone	\$200/day
GPS Unit	\$150.00/day

Spaceco reserves the right to increase these rates and costs by 5% after December 31, 2026.

Rosemont

P:(847) 696-4060

9575 W. Higgins Rd, Suite 700
Rosemont, IL 60018

SPACECO, INC.
GENERAL TERMS AND CONDITIONS
WITH THE CITY OF CREST HILL

1. Relationship Between Engineer and Client: SPACECO, Inc. (Engineer) shall serve as Client's professional engineer consultant in those phases of the Project to which this Agreement applies. This relationship is that of a buyer and seller of professional services and as such the Engineer is an independent contractor in the performance of this Agreement and it is understood that the parties have not entered into any joint venture or partnership with the other. The Engineer shall not be considered to be the agent of the Client. Nothing contained in this Agreement shall create a contractual relationship with a cause of action in favor of a third party against either the Client or Engineer.

Furthermore, causes of action between the parties to this Agreement pertaining to acts of failures to act shall be deemed to have accrued and the applicable statute of limitations shall commence to run not later than the date of substantial completion.

2. Responsibility of the Engineer: Engineer will strive to perform services under this Agreement in accordance with generally accepted and currently recognized engineering practices and principles, and in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, express or implied, and no warranty or guarantee is included or intended in this Agreement, or in any report, opinion, document, or otherwise.

Notwithstanding anything to the contrary which may be contained in this Agreement or any other material incorporated herein by reference, or in any Agreement between the Client and any other party concerning the Project, the Engineer shall not have control or be in charge of and shall not be responsible for the means, methods, techniques, sequences or procedures of construction, or the safety, safety precautions or programs of the Client, the construction contractor, other contractors or subcontractors performing any of the work or providing any of the services on the Project. Nor shall the Engineer be responsible for the acts or omissions of the Client, or for the failure of the Client, any architect, engineer, consultant, contractor or subcontractor to carry out their respective responsibilities in accordance with the Project documents, this Agreement or any other agreement concerning the Project. Any provision which purports to amend this provision shall be without effect unless it contains a reference that the content of this condition is expressly amended for the purposes described in such amendment and is signed by the Engineer.

3. Changes: Client reserves the right by written change order or amendment to make changes in requirements, amount of work, or engineering time schedule adjustments, and Engineer and Client shall negotiate appropriate adjustments acceptable to both parties to accommodate any changes, if commercially possible.
4. Suspension of Services: Client may, at any time, by written order to Engineer (Suspension of Services Order) require Engineer to stop all, or any part, of the services required by this Agreement. Upon receipt of such an order, Engineer shall immediately comply with its terms and take all reasonable steps to minimize the costs associated with the services affected by such order. ~~Client, however, shall pay all costs incurred by the suspension, including all costs necessary to maintain continuity and for the resumption~~

~~of the services upon expiration of the Suspension of Services Order.~~ Engineer will not be obligated to provide the same personnel employed prior to suspension, when the services are resumed, in the event that the period of suspension is greater than thirty (30) days.

5. Termination: This Agreement may be terminated by either party upon thirty (30) days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party. This Agreement may be terminated by Client, under the same terms, whenever Client shall determine that termination is in its best interests. Cost of termination, including salaries, overhead and fee, incurred by Engineer either before or after the termination date shall be reimbursed by Client.
6. Documents Delivered to Client: Drawings, specifications, reports, and any other Project Documents prepared by Engineer in connection with any or all of the services furnished hereunder shall be delivered to the Client for the use of the Client. Engineer shall have the right to retain originals of all Project Documents and drawings for its files. Furthermore, it is understood and agreed that the Project Documents such as, but not limited to reports, calculations, drawings, and specifications prepared for the Project, whether in hard copy or machine readable form, are instruments of professional service intended for one-time use in the construction of this Project. These Project Documents are and shall remain the property of the Engineer. The Client may retain copies, including copies stored on magnetic tape or disk, for information and reference in connection with the occupancy and use of the Project.

When and if record drawings are to be provided by the Engineer, Client understands that information used in the preparation of record drawings is provided by others and Engineer is not responsible for accuracy, completeness, nor sufficiency of such information. Client also understands that the level of detail illustrated by record drawings will generally be the same as the level of detail illustrated by the design drawing used for project construction. If additional detail is requested by the Client to be included on the record drawings, then the Client understands and agrees that the Engineer will be due additional compensation for additional services.

~~It is also understood and agreed that because of the possibility that information and data delivered in machine readable form may be altered, whether inadvertently or otherwise, the Engineer reserves the right to retain the original tapes/disks and to remove from copies provided to the Client all identification reflecting the involvement of the Engineer in their preparation. The Engineer also reserves the right to retain hard copy originals of all Project Documentation delivered to the Client in machine readable form, which originals shall be referred to and shall govern in the event of any inconsistency between the two.~~

The Client understands that the automated conversion of information and data from the system and format used by the Engineer to an alternate system or format cannot be accomplished without the introduction of inexactitudes, anomalies, and errors. In the event Project Documentation provided to the Client in machine readable form is so converted, the Client agrees to assume all risks associated therewith and, to the fullest

extent permitted by law, to hold harmless and indemnify the Engineer from and against all claims, liabilities, losses, damages, and costs, including but not limited to attorney's fees, arising therefrom or in connection therewith.

The Client recognizes that changes or modifications to the Engineer's instruments of professional service introduced by anyone other than the Engineer may result in adverse consequences which the Engineer can neither predict nor control. Therefore, and in consideration of the Engineer's agreement to deliver its instruments of professional service in machine readable form, the Client agrees, to the fullest extent permitted by law, to hold harmless and indemnify the Engineer from and against all claims, liabilities, losses, damages, and costs, including but not limited to attorney's fees, arising out of or in any way connected with the modification, misinterpretation, misuse, or reuse by others of the machine readable information and data provided by the Engineer under this Agreement. The foregoing indemnification applies, without limitation, to any use of the Project Documentation on other projects, for additions to this Project, or for completion of this Project by others, excepting only such use as may be authorized, in writing, by the Engineer.

7. Reuse of Documents: All Project Documents including but not limited to reports, opinions of probable costs, drawings and specifications furnished by Engineer pursuant to this Agreement are intended for use on the Project only. They cannot be used by Client or others on extensions of the Project or any other project. Any reuse, without specific written verification or adaptation by Engineer, shall be at Client's sole risk, and Client shall indemnify and hold harmless Engineer from all claims, damages, losses, and expenses including attorney's fees arising out of or resulting therefrom.

The Engineer shall have the right to include representations of the design of the Project, including photographs of the exterior and interior, among the Engineer's promotional and professional materials. The Engineer's materials shall not include the Client's confidential and proprietary information if the Client has previously advised the Engineer in writing of the specific information considered by the Client to be confidential and proprietary. For the purposes of this Agreement, the parties acknowledge that such information shall be confidential and proprietary and shall not be used by Engineer for any purpose without Client's written consent.

8. Standard of Practice: The Engineer will strive to conduct services under this agreement in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions as of the date of this Agreement.
9. Compliance With Laws: The Engineer will strive to exercise usual and customary professional care in his/her efforts to comply with those laws, codes, ordinance and regulations which are in effect as of the date of this Agreement.

~~With specific respect to prescribed requirements of the Americans with Disabilities Act of 1990 or certified state or local accessibility regulations (ADA), Client understands ADA is a civil rights legislation and that interpretation of ADA is a legal issue and not a design issue and, accordingly, retention of legal counsel (by Client) for purposes of interpretation is advisable. As such and with respect to ADA, Client agrees to waive any~~

action against Engineer, and to indemnify and defend Engineer against any claim arising from Engineer's alleged failure to meet ADA requirements prescribed.

Further to the law and code compliance, the Client understands that the Engineer will ~~strive to provide designs in accordance with the prevailing Standards of Practice as previously set forth, but that the Engineer does not warrant that any reviewing agency having jurisdiction will not for its own purposes comment, request changes and/or additions to such designs. In the event such design requests are made by a reviewing agency, but which do not exist in the form of a written regulation, ordinance or other similar document as published by the reviewing agency, then such design changes (at substantial variance from the intended design developed by the Engineer), if effected and incorporated into the project documents by the Engineer, shall be considered as Supplementary Task(s) to the Engineer's Scope of Service and compensated for accordingly.~~

10. Indemnification: Engineer shall indemnify and hold harmless Client ~~up to the amount of this contract fee (for services)~~ from loss or expense, including reasonable attorney's fees for claims for personal injury (including death) or property damage to the extent caused by the sole negligent act, error or omission of Engineer.

Client shall indemnify and hold harmless Engineer under this Agreement, from loss or expense, including reasonable attorney's fees, for claims for personal injuries (including death) or property damage arising out of the sole negligent act, error omission of Client.

In the event of joint or concurrent negligence of Engineer and Client, each shall bear that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of third parties), which caused the personal injury or property damage.

Engineer shall not be liable for special, incidental or consequential damages, including, but not limited to loss of profits, revenue, use of capital, claims of customers, cost of purchased or replacement power, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reasons of the services rendered under this Agreement.

11. Opinions of Probable Cost: Since Engineer has no control over the cost of labor, materials or equipment, or over the Contractor(s) method of determining process, or over competitive bidding or market conditions, his/her opinions of probable Project Construction Cost provided for herein are to be made on the basis of his/her experience and qualifications and represent his/her judgement as a design professional familiar with the construction industry, but Engineer cannot and does not guarantee that proposal, bids or the Construction Cost will not vary from opinions of probable construction cost prepared by him/her. If prior to the Bidding or Negotiating Phase, Client wishes greater accuracy as to the Construction Cost, the Client shall employ an independent cost estimator Consultant for the purpose of obtaining a second construction cost opinion independent from Engineer.

12. Governing Law & Dispute Resolutions: This Agreement shall be governed by and construed in accordance with Articles previously set forth by (Item 9 of) this Agreement, together with the laws of the **State of Illinois**.

~~Any claim, dispute or other matter in question arising out of or related to this Agreement, which can not be mutually resolved by the parties of this Agreement, shall be subject to mediation as a condition precedent to arbitration (if arbitration is agreed upon by the parties of this Agreement) or the institution of legal or equitable proceedings by either party. If such matter relates to or is the subject of a lien arising out of the Engineer's services, the Engineer may proceed in accordance with applicable law to comply with the lien notice or filing deadlines prior to resolution of the matter by mediation or by arbitration.~~

~~The Client and Engineer shall endeavor to resolve claims, disputes and other matters in question between them by mediation which, unless the parties mutually agree otherwise, shall be in accordance with the Construction Industry Mediation Rules of the American Arbitration Association currently in effect. Requests for mediation shall be filed in writing with the other party to this Agreement and with the American Arbitration Association. The request may be made concurrently with the filing of a demand for arbitration but, in such event, mediation shall proceed in advance of arbitration or legal or equitable proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order.~~

~~The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.~~

The validity, construction and interpretation of this Agreement shall be governed by the laws of the State of Illinois without regard to the conflict of law provisions. The parties hereto irrevocably agree that all actions or proceedings in any way, manner or respect arising out of or from or related to this Agreement shall be only litigated in the Circuit Court, Twelfth Judicial Circuit, Will County, Illinois. Each party hereby consents and submits to personal jurisdiction in the State of Illinois and waives any right such party may have to transfer the venue of any such action of proceeding.

13. Successors and Assigns: The terms of this Agreement shall be binding upon and inure to the benefit of the parties and their respective successors and assigns: provided, however, that neither party shall assign this Agreement in whole or in part without the prior written approval of the other.
14. Waiver of Contract Breach: The waiver of one party of any breach of this Agreement or the failure of one party to enforce at any time, or for any period of time, any of the provisions hereof, shall be limited to the particular instance, shall not operate or be deemed to waive any future breaches of this Agreement and shall not be construed to be a waiver of any provision, except for the particular instance.

15. Entire Understanding of Agreement: This Agreement represents and incorporates the entire understanding of the parties hereto, and each party acknowledges that there are no warranties, representations, covenants or understandings of any kind, matter or description whatsoever, made by either party to the other except as expressly set forth herein. Client and the Engineer hereby agree that any purchase orders, invoices, confirmations, acknowledgments or other similar documents executed or delivered with respect to the subject matter hereof that conflict with the terms of the Agreement shall be null, void and without effect to the extent they conflict with the terms of this Agreement.
16. Amendment: This Agreement shall not be subject to amendment unless another instrument is duly executed by duly authorized representatives of each of the parties and entitled "Amendment of Agreement".
17. Severability of Invalid Provisions: If any provision of the Agreement shall be held to contravene or to be invalid under the laws of any particular state, county or jurisdiction where used, such contravention shall not invalidate the entire Agreement, but it shall be construed as if not containing the particular provisions held to be invalid in the particular state, country or jurisdiction and the rights or obligations of the parties hereto shall be construed and enforced accordingly.
18. Force Majeure: Neither Client nor Engineer shall be liable for any fault or delay caused by any contingency beyond their control including but not limited to acts of God, wars, strikes, walkouts, fires, natural calamities, or demands or requirements of governmental agencies.
19. Subcontracts: Engineer may subcontract portions of the work, but each subcontractor must be approved by Client in writing.
20. Access and Permits: Client shall arrange for Engineer to enter upon public and private property and obtain all necessary approvals and permits required from all governmental authorities having jurisdiction over the Project. Client shall pay costs (including Engineer's employee salaries, overhead and fee) incident to any effort by Engineer toward assisting Client in such access, permits or approvals, if Engineer perform such services.
21. Designation of Authorized Representative: Each party (to this Agreement) shall designate one or more persons to act with authority in its behalf in respect to appropriate aspects of the Project. The persons designated shall review and respond promptly to all communications received from the other party.
22. Notices: Any notice or designation required to be given to either party hereto shall be in writing, and unless receipt of such notice is expressly required by the terms hereof shall be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party to whom such notice is directed at such party's place of business or such other address as either party shall hereafter furnish to the other party by written notice as herein provided.
23. Limit of Liability: ~~The Client and the Engineer have discussed the risks, rewards, and benefits of the project and the Engineer's total fee for services. In recognition of the~~

~~relative risks and benefits of the Project to both the Client and the Engineer, the risks have been allocated such that the Client agrees that to the fullest extent permitted by law, the Engineer's total aggregate liability to the Client for any and all injuries, claims, costs, losses, expenses, damages of any nature whatsoever or claim expenses arising out of this Agreement from any cause or causes, including attorney's fees and costs, and expert witness fees and costs, shall not exceed the total Engineer's fee for professional engineering services rendered on this project as made part of this Agreement. Such causes included but are not limited to the Engineer's negligence, errors, omissions, strict liability or breach of contract. It is intended that this limitation apply to any and all liability or cause of action however alleged or arising, unless otherwise prohibited by law.~~

24. Client's Responsibilities: The Client agrees to provide full information regarding requirements for and about the Project, including a program which shall set forth the Client's objectives, schedule, constraints, criteria, special equipment, systems and site requirements.

The Client agrees to furnish and pay for all legal, accounting and insurance counseling services as may be necessary at any time for the Project, including auditing services which the Client may require to verify the Contractor's Application for Payment or to ascertain how or for what purpose the Contractor has used the money paid by or on behalf of the Client.

The Client agrees to require the Contractor, to the fullest extent permitted by law, to indemnify, hold harmless, and defend the Engineer, its consultants, and the employees and agents of any of them from and against any and all claims, suits, demands, liabilities, losses, damages, and costs ("Losses"), including but not limited to costs of defense, arising in whole or in part out of the negligence of the Contractor, its subcontractors, the officers, employees, agents, and subcontractors of any of them, or anyone for whose acts any of them may be liable, regardless of whether or not such Losses are caused in part by a party indemnified hereunder. Specifically excluded from the foregoing are Losses arising out of the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs, or specifications, and the giving of or failure to give directions by the Engineer, its consultants, and the agents and employees of any of them, provided such giving or failure to give is the primary cause of Loss. The Client also agrees to require the Contractor to provide to the Engineer the required certificate of insurance.

The Client further agrees to require the Contractor to name the Engineer, its agents and consultants on the Contractor's policy or policies of comprehensive or commercial general liability insurance. Such insurance shall include products and completed operations and contractual liability coverages, shall be primary and noncontributing with any insurance maintained by the Engineer or its agents and consultants, and shall provide that the Engineer be given thirty days, unqualified written notice prior to any cancellation thereof.

~~In the event the foregoing requirements, or any of them, are not established by the Client and met by the Contractor, the Client agrees to indemnify and hold harmless the~~

~~Engineer, its employees, agents, and consultants from and against any and all Losses which would have been indemnified and insured against by the Contractor, but were not.~~

When Contract Documents prepared under the Scope of Services of this contract require insurance(s) to be provided, obtained and/or otherwise maintained by the Contractor, the Client agrees to be wholly responsible for setting forth any and all such insurance requirements. Furthermore, any document provided for Client review by the Engineer under this Contract related to such insurance(s) shall be considered as sample insurance requirements and not the recommendation of the Engineer. Client agrees to have their own risk management department review any and all insurance requirements for adequacy and to determine specific types of insurance(s) required for the project. Client further agrees that decisions concerning types and amounts of insurance are specific to the project and shall be the product of the Client. As such, any and all insurance requirements made part of Contract Documents prepared by the Engineer are not to be considered the Engineer's recommendation, and the Client shall make the final decision regarding insurance requirements.

25. Information Provided by Others: The Engineer shall indicate to the Client the information needed for rendering of the services of this Agreement. The Client shall provide to the Engineer such information as is available to the Client and the Client's consultants and contractors, and the Engineer shall be entitled to rely upon the accuracy and completeness thereof. The Client recognizes that it is impossible for the Engineer to assure the accuracy, completeness and sufficiency of such information, either because it is impossible to verify, or because of errors or omissions which may have occurred in assembling the information the Client is providing. Accordingly, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Engineer and the Engineer's subconsultants harmless from any claim, liability or cost (including reasonable attorneys' fees and cost of defense) for injury or loss arising or allegedly arising from errors, omissions or inaccuracies in documents or other information provided by the Client to the Engineer.
26. Payment: ~~Client shall be invoiced once each month for work performed during the preceding period. Client agrees to pay each invoice within thirty (30) days of its receipt. The client further agrees to pay interest on all amounts invoiced and not paid or objected to for valid cause within said thirty (30) day period at the rate of eighteen (18) percent per annum (or the maximum interest rate permitted under applicable law, whichever is the lesser) until paid. Client further agrees to pay Engineer's cost of collection of all amounts due and unpaid after sixty (60) days, including court costs and reasonable attorney's fees, as well as costs attributed to suspension of services accordingly and as follows:~~

Client shall be invoiced once each month for work performed during the preceding period. Payment shall be made by the Client according to the terms and provisions of the Illinois Prompt Payment Act, Engineer will provide to the Client a detailed statement of tasks performed by it and reimbursement for expenses, if any. The maximum interest rate under this Section shall be the amount set forth in the Act.

Collection Costs. In the event legal action is necessary to enforce the payment provisions of this Agreement, the Engineer shall be entitled to collect from the Client any judgement or settlement sums due, reasonable attorneys' fees, court costs and expenses incurred by the Engineer in connection therewith and, ~~in addition, the reasonable value of the Engineer's time and expenses spent in connection with such collection action, computed at the Engineer's prevailing fee schedule and expense policies.~~

Suspension of Services. If the Client fails to make payments when due or otherwise is in breach of this Agreement, the Engineer may suspend performance of services upon five (5) calendar days' notice to the Client. The Engineer shall have no liability whatsoever to the Client for any costs or damages as a result of such suspension caused by any breach of this Agreement by the Client. ~~Client will reimburse Engineer for all associated costs as previously set forth in (Item 4 of) this Agreement.~~

27. When construction observation tasks are part of the service to be performed by the Engineer under this Agreement, the Client will include the following clause in the construction contract documents and Client agrees not to modify or delete it:

Kotecki Waiver. Contractor (and any subcontractor into whose subcontract this clause is incorporated) agrees to assume the entire liability for all personal injury claims suffered by its own employees, including without limitation claims under the Illinois Structural Work Act, asserted by persons allegedly injured on the Project; waives any limitation of liability defense based upon the Worker's Compensation Act, court interpretations of said Act or otherwise; and to the fullest extent permitted by law, agrees to indemnify and hold harmless and defend Owner and Engineer and their agents, employees and consultants (the "Indemnitees") from and against all such loss, expense, damage or injury, including reasonable attorneys' fees, that the Indemnitees may sustain as a result of such claims, except to the extent that Illinois law prohibits indemnity for the Indemnitees' own negligence. The Owner and Engineer are designated and recognized as explicit third party beneficiaries of the Kotecki Waiver within the general contract and all subcontracts entered into in furtherance of the general contract.

28. Job Site Safety/Supervision & Construction Observation: The Engineer shall neither have control over or charge of, nor be responsible for, the construction means, methods, techniques, sequences of procedures, or for safety precautions and programs in connection with the Work since they are solely the Contractor's rights and responsibilities. The Client agrees that the Contractor shall supervise and direct the work efficiently with his/her best skill and attention; and that the Contractor shall be solely responsible for the means, methods, techniques, sequences and procedures of construction and safety at the job site. The Client agrees and warrants that this intent shall be carried out in the Client's contract with the Contractor. The Client further agrees that the Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the work; and that the Contractor shall take all necessary precautions for the safety of, and shall provide the necessary

protection to prevent damage, injury or loss to all employees on the subject site and all other persons who may be affected thereby. The Engineer shall have no authority to stop the work of the Contractor or the work of any subcontractor on the project.

When construction observation services are included in the Scope of Services, the Engineer shall visit the site at intervals appropriate to the stage of the Contractor's operation, or as otherwise agreed to by the Client and the Engineer to: 1) become generally familiar with and to keep the Client informed about the progress and quality of the Work; 2) to strive to bring to the Client's attention defects and deficiencies in the Work and; 3) to determine in general if the Work is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the Contract Documents. However, the Engineer shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. If the Client desires more extensive project observation, the Client shall request that such services be provided by the Engineer as Additional and Supplemental Construction Observation Services in accordance with the terms of this Agreement.

The Engineer shall not be responsible for any acts or omissions of the Contractor, subcontractor, any entity performing any portions of the Work, or any agents or employees of any of them. The Engineer does not guarantee the performance of the Contractor and shall not be responsible for the Contractor's failure to perform its Work in accordance with the Contract Documents or any applicable laws, codes, rules or regulations.

When municipal review services are included in the Scope of Services, the Engineer (acting on behalf of the municipality), when acting in good faith in the discharge of its duties, shall not thereby render itself liable personally and is, to the maximum extent permitted by law, relieved from all liability for any damage that may accrue to persons or property by reason of any act or omission in the discharge of its duties. Any suit brought against the Engineer which involve the acts or omissions performed by it in the enforcement of any provisions of the Client's rules, regulation and/or ordinance shall be defended by the Client until final termination of the proceedings. The Engineer shall be entitled to all defenses and municipal immunities that are, or would be, available to the Client.

29. ~~Insurance and Indemnification: The Engineer and the Client understand and agree that the Client will contractually require the Contractor to defend and indemnify the Engineer and/or any subconsultants from any claims arising from the Work. The Engineer and the Client further understand and agree that the Client will contractually require the Contractor to procure commercial general liability insurance naming the Engineer as an additional named insured with respect to the work. The Contractor shall provide to the Client certificates of insurance evidencing that the contractually required insurance coverage has been procured. However, the Contractor's failure to provide the Client with the requisite certificates of insurance shall not constitute a waiver of this provision by the Engineer.~~

~~The Client and Engineer waive all rights against each other and against the Contractor and consultants, agents and employees of each of them for damages to the extent~~

~~covered by property insurance during construction. The Client and Engineer each shall require similar waivers from the Contractor, consultants, agents and persons or entities awarded separate contracts administered under the Client's own forces.~~

30. Hazardous Materials/Pollutants: Unless otherwise provided by this Agreement, the Engineer and Engineer's consultants shall have no responsibility for the discovery, presence, handling, removal or disposal of or exposure of persons to hazardous materials/pollutants in any form at the Project site, including but not limited to mold/mildew, asbestos, asbestos products, polychlorinated biphenyl (PCB) or other toxic/hazardous/pollutant type substances.

Furthermore, Client understands that the presence of mold/mildew and the like are results of prolonged or repeated exposure to moisture and the lack of corrective action. Client also understands that corrective action is a operation, maintenance and repair activity for which the Engineer is not responsible.

June 13, 2005



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Ronald J Wiedeman
Department:	Engineering
Agenda Item:	Jasmine Ditch Drainage Investigation Update.

Summary: See attached Memorandum from Christopher B. Burke Engineering, Ltd (CBBEL) for an update on the engineering work to investigate potential causes of flooding along the Jasmine Ditch for east of Gaylord to its outfall at the farm field west of Jasmine Drive.

The following work has been completed to date.

- Completed a field survey and reviewed findings to determine if silting or filling of the channel has occurred that would affect the capacity of the channel.
- Completed a field reconnaissance on June 8th after a storm event to review how the channel performed.
 - Noted heavy vegetation which could have a minimal impact on impeding flow was observed, but no blockages or pipes or culverts that could significantly impact the capacity of the channel were noted.
- Completed a stormwater preliminary modeling on Jasmine Ditch. This preliminary model used the data provided from the topographic survey of the size, slope and shape of the channel and it showed that the existing ditch should have sufficient capacity to handle the flow of water that is anticipated to reach this ditch for the different storm events.

Therefore, based on the initial investigation, the flooding that occurs east of Gaylord appears to be unrelated to the Jasmine Ditch. It has been noted that some large upstream drainage area to the northeast that drains to the ditch. This drainage reaches the Jasmine ditch through a r that collects drainage from areas north and west of Plainfield Rd. This storm sewer should be reviewed to see if has the adequate capacity to convey and contain the storm water flow or in need of maintenance.

Recommended Next Steps

- The City should televise the existing 53”x 24” storm sewer that is upstream of Gaylord Rd to verify if this section of storm sewer is functioning as designed. Public Works is currently reaching out to Contractors to have this work performed and results of its finding should be available in the next couple of weeks.
- Remove the tall vegetation that has grown throughout the ditch from Gaylord to the Farm field at the west end.
- Depending on the finding of the televising of the upstream 53”x 24” storm sewer.
 - Authorize a more extensive modeling effort that would look outside the immediately boundary of the Jasmine Ditch to see how much actual flow reaches this ditch.
 - The modeling did show that the two culverts under Jasmine Drive are more restrictive than the capacity of the channel. This could be the cause of the backup and additional study should be completed on the capacity of these two culverts.

Recommended Council Action: N/A, at this time.

Financial Impact:

Funding Source: General Fund

Budgeted Amount: \$575,000.00

Cost: TBD

Attachments:

M. Wiedeman Preliminary Investigation_20260615

Jasmine Ditch Exhibit.

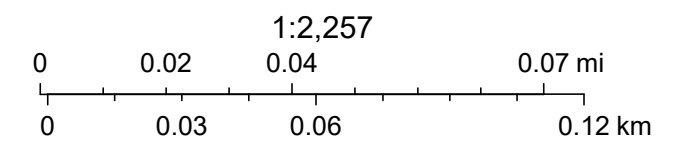
City Of Crest Hill



1/23/2026, 9:17:40 AM

- City Limits
- Parcels
- ★ Storm Outfalls
- Storm Culverts

- Public Right of Way or City Ownership
- Currently not owned by City or under City Control
- Private Ownership



County of Will, Microsoft, Vantor, Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



Agenda Memo

Crest Hill, IL

Meeting Date:	June 29, 2026
Submitter:	Ronald J Wiedeman
Department:	Engineering
Agenda Item:	Discussion on McGilvary Dr. Widening.

Summary: Provide staff direction on whether work shall be authorized to complete construction of the widening of the east leg of McGilvary Dr. to provide a left lane and a combined through and right turn lane for westbound traffic.

During the November 2025 workshop Council made a decision to not move forward with the relocation of traffic signals from Ryan to McGilvary Dr due to the Economic development effects and the potential effects on local streets. Even though the decision was made to not move forward with the signal relocation there were still concerns regarding the performance of this intersection.

Attached are two exhibits of possible improvements to this intersection that will help with the flow of traffic at this intersection.

1. McGilvary Dr. Alternative 1-Right In-Right Out
2. McGilvary Dr. Alternative 2-Right Out Only.

Each Eash Alternative has a construction estimate of \$150,000 to \$175,000 .

Items that will need to be completed to move forward with this work are the following:

1. Submit a Will County Highway permit and gain approval.
2. Submit information letters to the owners of commercial center if Council elects to go with Alternate 2.
3. Finalize coordination with MCI/Verizon on location of existing fiber line and installation of new parallel fiber line along Weber to determine if a conflict exists.
4. Bid Out project. Early August is anticipated.

If Council elects to move forward with work at this location staff would recommend either one of these alternatives to help deal with current and future traffic movements at this intersection.

Recommended Council Action: Provide direction to staff on how to proceed.

Financial Impact:

Funding Source: Capital Fund

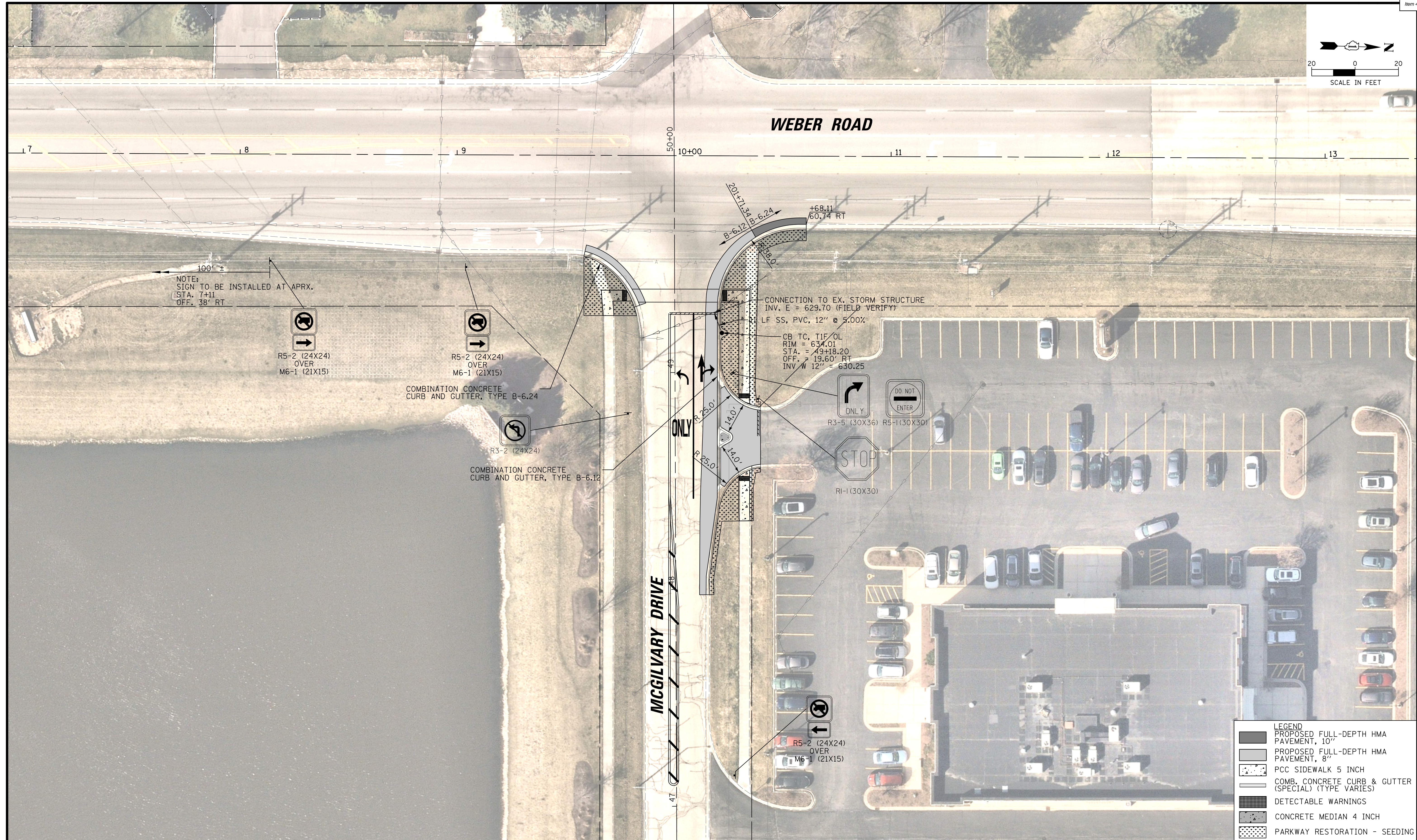
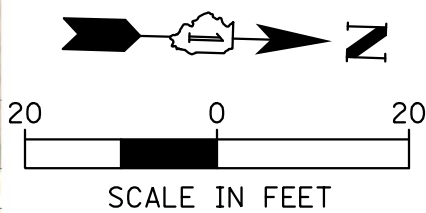
Budgeted Amount: \$200,000.00 (2027)

Cost: TBD

Attachments:

EXH_McGilvary_24007_2026_0109

ITEM-Attachement-001-10b884e4354d26b...pdf



NOTE:
SIGN TO BE INSTALLED AT APRX.
STA. 7+11
OFF. 38' RT

R5-2 (24X24)
OVER
M6-1 (21X15)

R5-2 (24X24)
OVER
M6-1 (21X15)

COMBINATION CONCRETE
CURB AND GUTTER, TYPE B-6.24

R3-2 (24X24)

COMBINATION CONCRETE
CURB AND GUTTER, TYPE B-6.12

CONNECTION TO EX. STORM STRUCTURE
INV. E = 629.70 (FIELD VERIFY)
LF SS, PVC, 12" @ 5.00%
CB TC, TIF/OL
RIM = 634.01
STA. = 49+18.20
OFF. = 19.60' RT
INV W 12" = 630.25

R3-5 (30X36) R5-1 (30X30)

STOP
RI-1 (30X30)

R5-2 (24X24)
OVER
M6-1 (21X15)

LEGEND

- PROPOSED FULL-DEPTH HMA PAVEMENT, 10"
- PROPOSED FULL-DEPTH HMA PAVEMENT, 8"
- PCC SIDEWALK 5 INCH
- COMB. CONCRETE CURB & GUTTER (SPECIAL) (TYPE VARIES)
- DETECTABLE WARNINGS
- CONCRETE MEDIAN 4 INCH
- PARKWAY RESTORATION - SEEDING

CHRISTOPHER B. BURKE ENGINEERING, LTD.
16221 W. 159th Street, Suite 201
Lockport, Illinois 60441
(815) 770-2850

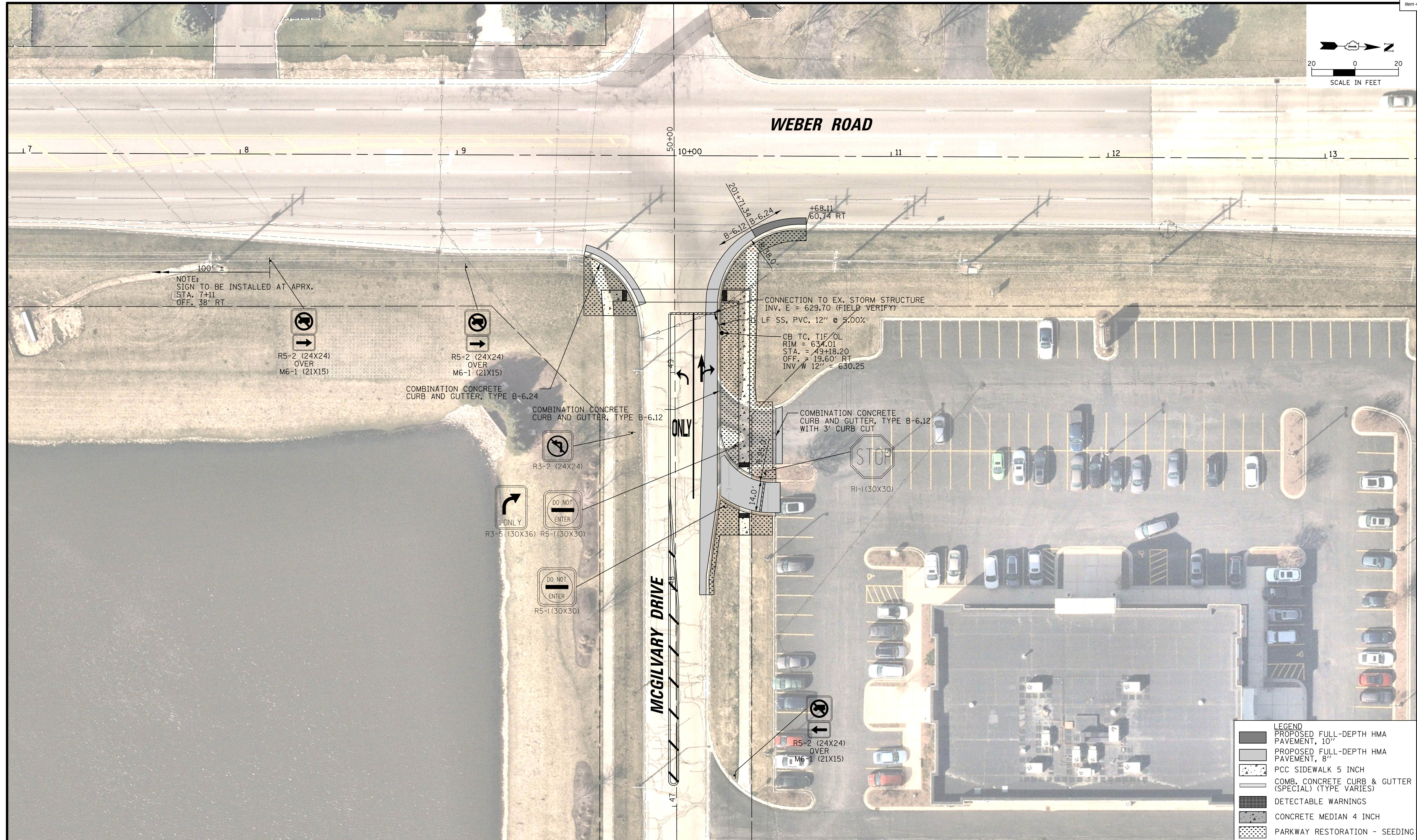
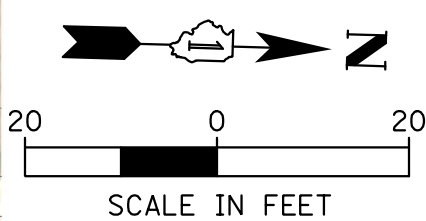
CLIENT:
CITY OF CREST HILL
20600 CITY CENTER BOULEVARD
CREST HILL, IL 60403

NO.	DATE	NATURE OF REVISION	CHKD.
FILE NAME	N:\CRESTHILL\240070\Civil\Exhibits\EXH_01_McGilvary_ex_dw_240070.sht		

DSGN.	JRS
DWN.	JRS
CHKD.	AJS
SCALE:	20'
PLOT DATE:	6/26/2026
CAD USER:	Jspeelman
MODEL:	Model

TITLE:
**MCgilvary Drive at Weber Road
PROPOSED GEOMETRY IMPROVEMENTS
ALTERNATE 1 - RIGHT-IN RIGHT-OUT**

PROJ. NO. 240070
DATE: 6/26/2026
SHEET 1 OF 2
DRAWING NO.
EXH-1



NOTE:
SIGN TO BE INSTALLED AT APRX.
STA. 7+11
OFF. 38' RT

R5-2 (24X24)
OVER
M6-1 (21X15)

R5-2 (24X24)
OVER
M6-1 (21X15)

COMBINATION CONCRETE
CURB AND GUTTER, TYPE B-6.24

COMBINATION CONCRETE
CURB AND GUTTER, TYPE B-6.12

R3-2 (24X24)

R3-5 (30X36) R5-1 (30X30)

R5-1 (30X30)

CONNECTION TO EX. STORM STRUCTURE
INV. E = 629.70 (FIELD VERIFY)
LF SS, PVC, 12" @ 5.00%
CB TC, TIF/OL
RIM = 634.01
STA. = 49+18.20
OFF. = 19.60' RT
INV W 12" = 630.25

COMBINATION CONCRETE
CURB AND GUTTER, TYPE B-6.12
WITH 3" CURB CUT

RI-1 (30X30)

R5-2 (24X24)
OVER
M6-1 (21X15)

LEGEND

- PROPOSED FULL-DEPTH HMA PAVEMENT, 10"
- PROPOSED FULL-DEPTH HMA PAVEMENT, 8"
- PCC SIDEWALK 5 INCH
- COMB. CONCRETE CURB & GUTTER (SPECIAL) (TYPE VARIES)
- DETECTABLE WARNINGS
- CONCRETE MEDIAN 4 INCH
- PARKWAY RESTORATION - SEEDING

CHRISTOPHER B. BURKE ENGINEERING, LTD.
16221 W. 159th Street, Suite 201
Lockport, Illinois 60441
(815) 770-2850

CLIENT:
CITY OF CREST HILL
20600 CITY CENTER BOULEVARD
CREST HILL, IL 60403

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:
FILE NAME	N:\CRESTHILL\240070\Civil\Exhibits\EXH_02_McGilvary_Right_Out_240070.sht			

TITLE:
**MCGILVARY DRIVE AT WEBER ROAD
PROPOSED GEOMETRY IMPROVEMENTS
ALTERNATE 2 - RIGHT-OUT ONLY**

PROJ. NO. 240070
DATE: 6/26/2026
SHEET 2 OF 2
DRAWING NO.
EXH-2



 City Council Work Session Memo

Crest Hill, IL

Meeting Date:	November 24, 2025
Submitter:	Daniel Ritter, AICP, Community & Economic Development Director Ronald J Wiedeman, City Engineer
Department:	Community & Economic Development and Engineering Department
Agenda Item:	Discuss and Provide Direction on the Ryan Dr. & Weber Rd. Traffic Signal Relocation and Investigating Alternative Options to Improve Safety at the Intersection of McGilvary Dr. & Weber Rd.

Summary/Background:

The City Council previously directed staff to explore relocating the existing signal from Ryan Drive & Weber Road, south to McGilvary Drive & Weber Road. The main issue and purpose for this direction was due to difficult turns at McGilvary Drive, which handles a lot of residential traffic from the subdivisions to the east. Specifically, the left-hand turns for residents to go south on Weber Road are difficult due to the number of lanes and turns. The difficulty in making left turns leads to delays and back-ups during peak weekday hours.

Following that direction, the City Engineer initiated discussions with Will County Division of Transportation, which has jurisdiction over Weber Road and the signal. After initial pushback, the county agreed to allow the potential relocation of the signal based on a traffic study and an approved County Variance. Based on those discussions with Will County, the city has pursued engineering designs for the signal and necessary roadway changes. The City Engineer has received an initial design and review from the county. The design is close to a final set that can be permitted and has received initial cost estimates. However, the extent of the proposed changes to the roadway geometry, signal location, private site entrances, and required 90-day temporary traffic signals at Ryan Dr. (discussed at the June 17, 2024 council meeting) has made the total cost more significant than what was initially estimated. Initial estimates to complete this work were estimated at \$750,000, with savings of around \$200,000-\$300,000 due to using some of the existing traffic signal equipment. Based on the latest detailed designs, the initial construction cost estimate is around \$1.5 million.

The proposed changes include making the existing signalized intersection at Ryan Dr into a limited-access intersection. Initially, the county had required this to be converted to a right-in/right-out only. However, after discussions with the City, they did allow left-ins as well, but would still restrict left-outs. Additionally, the medical office building and adjacent shopping center would have the right-in/right-out access on McGilvary Dr eliminated. Most traffic going to the existing office building and strip center would need to enter through the rear of the property and loop around to the front of the buildings, which will have a potential to further impact access to the existing strip center.

Economic Development Effects:

Without the signal at Ryan Drive, access to vacant commercial lots (and vacant former bank building) along Weber Road and Renwick Road will be reduced. These lots have good visibility and high daily traffic counts at a busy intersection. The lots are located to potentially attract national commercial/retail brands that prefer visible outlots. However, these lots already have limited access through the private interior ring road and the only adjacent signalized intersection at Ryan Drive & Weber Road. Without the adjacent signalized intersection, the current commercial and development potential of the vacant lots would be negatively impacted. The interest in the vacant lots (and vacant bank site) has already been directly impacted as prospective users and developers want to know the final decision for the signal before pursuing any future contracts or investments.

Additionally, the Seasons at Crest Hill multi-family development went through a Concept Review meeting on 11/17/25 and was given positive feedback from the council to pursue a PUD at that location for a 260-unit luxury apartment community. The development would increase traffic at the signal and area as well. This development will greatly improve the economics of the existing strip center business and the development of the vacant commercial lots with an adjacent younger residential population. A signal relocation would cause concern for the developer, who sees it as a main entrance/exit to their proposed development due to the high Weber Road traffic volumes. The developer is already in the process of pursuing a traffic impact and signal warrant study that would show the need for the existing signal location. If the signal was relocated, it is staff's opinion that it would negatively affect the currently proposed development as well as the positive effects it would have on the existing and future commercial sites that surround it.

Existing Traffic Flow Effects:

Residents and visitors have the option to utilize the signal at Ryan Dr. or the unsignalized McGilvary Dr. to go south on Weber Rd. With the proposed relocation of the Ryan Dr. signal, it would push future commercial and residential traffic that is looking to go south from the Seasons at Crest Hill development, or any future development, through the existing residential neighborhood of the Remington Lakes Subdivision to the relocated traffic signal, which will produce more traffic along Ontario Street. Ontario Street and the Remington Lakes Subdivision were not designed for regular "through" traffic to navigate through, and likely to affect those residents living off it. Additionally, due to only one option to go south on Weber Rd and restrictions on the signals' timing, it may still mean long waits at peak times.

Alternative Options and County Discussion:

With the full scope, cost, and potential negative impacts of the signal relocation as noted above, staff recommend investing in alternative options to improve the situation. Staff can work with Will County DOT to investigate other changes or projects that might be less costly and still improve safety at the intersection of McGilvary Dr. and Weber Road.

Recommended Council Action:

Discuss and Provide Direction on the Ryan Dr. & Weber Rd. Traffic Signal Relocation and Investigating Alternative Options to Improve Safety at the Intersection of McGilvary Dr. & Weber Rd.

Attachments:

- A. Weber Rd & Ryan Dr Signal Relocate Map
- B. Preliminary Weber Rd/ McGilvary Dr Signal Relocation Geometric and Roadway Plans
- C. Initial Signal Relocation Cost Estimate (based on 2026 Construction Estimates)



Agenda Memo

Crest Hill, IL

Meeting Date:	6/29/2026
Submitter:	Gary Richardson Director of Public Works
Department:	Public Works
Agenda Item:	Approval of Change Order No. 11 from Vissering Construction Inc. with the direction to send it to the IEPA for approval. Change Order will increase the amount of the contract to \$50,051,690

Summary:

Strand Engineering and Public Works staff have reviewed the attached change order # 11, from Vissering Construction Inc for the West Plant Expansion Project and are asking the council to approve this change. Vissering's change order #11 will increase the contract amount by \$355,982.

Original Contract Price \$50,640,000

Previous Change Order Adjustments (\$944,292)

Adjustment in Contract Price this Change Order \$355,982

Current Contract Price including this Change Order \$50,051,690

Recommended Council Action:

Approve a change order #11 from Vissering Construction Inc with direction to send it to the IEPA for approval. Change Order will increase the amount of the contract to \$50,051,690.

Financial Impact:

Funding Source: IEPA Loan

Attachments:

Strand Memo for Change Order #11



May 6, 2026

CHANGE ORDER NO. 11

PROJECT: West Sewage Treatment Plant (STP) Improvements
OWNER: City of Crest Hill, Illinois
CONTRACT: 1-2022
CONTRACTOR: Vissering Construction Company

Description of Change

11a	Work described in the enclosed Contractor’s Cost Proposal Request (CPR) 044 Revision 1 (dated October 30, 2025) and Engineer’s CPR 044 (dated August 26, 2025) related to providing a platform lift to the second floor at Building E70.	ADD	\$26,124
11b	Work described in the enclosed Contractor’s CPR 048 Revision 2 (dated April 13, 2026) related to settled biosolids removal, dewatering, and disposal at the aeration tanks and anaerobic digesters.	ADD	\$233,169
11c	Work described in the enclosed Contractor’s CPR 050 Revision 1 (dated March 5, 2026) and Engineer’s CPR 050 Revision 1 (dated January 28, 2026) related to adding a run dry protection sensor, conduit, and wire to the plant water pump system.	ADD	\$12,113
11d	Work described in the enclosed Contractor’s CPR 051 (dated February 24, 2026) and enclosed Engineer’s CPR 051 Revision 1 (dated February 5, 2026) related to supervisory control and data acquisition data storage changes to the Historian License.	ADD	\$55,146
11e	Work described in the enclosed Contractor’s CPR 052 (dated April 20, 2026) and enclosed Engineer’s CPR 052 (dated April 9, 2026) related to providing additional emergency-stop push buttons for the tertiary filter equipment.	ADD	\$11,722
11f	Work described in the enclosed Contractor’s CPR 054 (dated May 4, 2026) related to repowering the Anaerobic Digester Building on a time and material basis.	ADD	\$17,708
TOTAL VALUE OF THIS CHANGE ORDER:		ADD	\$355,982

Contract Price Adjustment

Original Contract Price	\$50,640,000
Previous Change Order Adjustments	(\$944,292)
Adjustment in Contract Price this Change Order	\$355,982
Current Contract Price including this Change Order	\$50,051,690

City of Crest Hill–Vissering Construction Company
Contract 1-2022, Change Order No. 11
Page 2
May 6, 2026

Contract Substantial Completion Date Adjustment

Original Contract Substantial Completion Date	December 1, 2024
Contract Substantial Completion Date Adjustments due to previous Change Orders	548 days
Contract Substantial Completion Date Adjustments due to this Change Order	0 days
Current Substantial Contract Completion Dates including all Change Orders	June 1, 2026

Contract Final Completion Date Adjustment

Original Contract Final Completion Date	March 1, 2025
Contract Final Completion Date Adjustments due to previous Change Orders	640 days
Contract Final Completion Date Adjustments due to this Change Order	0 days
Current Final Contract Completion Dates including all Change Orders	December 1, 2027

This document shall become a supplement to the Contract and all provisions will apply hereto.

RECOMMENDED


 _____ May 6, 2026
 ENGINEER–Strand Associates, Inc.® Date

APPROVED


 _____ May 7, 2026
 CONTRACTOR–Vissering Construction Company Date

APPROVED


 _____ May 8, 2026
 OWNER–City of Crest Hill, Illinois Date



**PROPOSAL
WORKSHEET SUMMARY**

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 044

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 10/30/2025
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

WORK DESCRIPTION
Per CPR044 - Make changes to the platform lift installation, which replaced the elevator as part of CPR/CO#1.

Line No	Cost Description	Labor Amt	Material Amt	Equip & Other Amt	Sub-Contractor Amt	Sub-Total
1	Connelly Electric - See Attached				\$ 1,325.00	\$ 1,325.00
2	Vissering Construction	\$ 5,280.00	\$ 1,836.00	\$ 88.00		\$ 7,204.00
3	Ameri Glide - Original Pricing - See Attached		\$ (19,670.00)			\$ (19,670.00)
4	Ameri Glide - Final Pricing - See Attached		\$ 29,014.00			\$ 29,014.00
5	Doors/Frames/Hardware - LaForce - See Attached		\$ 2,076.00			\$ 2,076.00
6	Signage - Spec Ten - See Attached		\$ 275.00			\$ 275.00
7	Tape & Paint Drywall - RP Coatings - See Attached				\$ 2,610.00	\$ 2,610.00
8						\$ -
9						\$ -
10						\$ -
11						\$ -
12						\$ -
13						\$ -
14						\$ -
15						\$ -
16						\$ -
17						\$ -
18						\$ -
19						\$ -
20						\$ -
21						\$ -
22						\$ -
23						\$ -
24						\$ -
25						\$ -
Sub-Total		\$ 5,280.00	\$ 13,531.00	\$ 88.00	\$ 3,935.00	\$ 22,834.00

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill

Name/Title: Gary Richardson, Public Works Director
Signature: _____
Date: _____

Contractor's Net:	\$ 18,899.00
Sub-Contractor's Net:	\$ 3,935.00
Net Subtotal:	\$ 22,834.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits):	\$ 3,031.60
Sub-Total:	\$ 25,865.60
Bonds & Insurance - 1%:	\$ 258.66
Worksheet Total:	\$ 26,124.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.

Name/Title: Dominic Gattone, PE
Signature: _____
Date: _____

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO

Name/Title: Tony Marzetta, Project Manager
Signature: _____
Date: October 30, 2025



40 S. Addison Rd.
Addison, IL 60101

CHANGE NOTICE

Item 1.

Connelly CCN # 024
Field Ticket #
Date: 10/2/2025
Project Name: Crest Hill WWTP - West Sewage Treatment Plant
Project Number: 22-0686
Page Number: 1

Client Address:

Vissering Construction
 1631 Gaylord Rd.
 Crest Hill, IL 60403
 Telephone: 815.673.5511
 Contact: Tony Marazetta

Site Address:

Vissering Construction
 Contact: Tony Marazetta
 1631 Gaylord Rd.
 Crest Hill, IL 60403

Work Description

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
 This price is good for acceptance within **10** days from the date of receipt.
 We request a time extension of **0** days.
 We will supply and install all materials, labor, and equipment as per your instructions on **Connelly CCN # 024**.

Description:

This CCN was generated in response to CPR044 - Platform Lift.

Per the Cost Proposal No. 44, the purpose of this request is to make changes to the platform lift installation, which replaced the elevator as part of Cost Proposal Request (CPR)/Change Order No. 1.

Itemized Breakdown

Description	Qty	Total Mat.	Total Hrs.
Misc. Materials	1	100.00	8.00
Totals	1	100.00	8.00


Summary

MATERIAL

General Materials			100.00
Material Total			100.00
Foreman	(8.00 Hrs @ \$130.91)		1,047.28
Overhead	(@ 10.000 %)		114.73
Markup	(@ 5.000 %)		63.10
Subtotal			1,325.11
Final Amount			\$1,325.11

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XSSMLXL

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- [Vertical Platform Lifts](#)
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Customer Service:

[1 \(800\) 580-0831](tel:18005800831)

8am-5pm EST - Mon-Fri


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1. **Shopping Cart**
2. Addresses
3. Payment
4. Review

Your Shopping Cart

"

Product	Qty Quantity	Price	Total
	<input type="text" value="1"/>	\$19,670.00	\$19,670.00
AmeriGlide - Hercules 750 - Commercial			

Category: Vertical Platform Lifts

Base Price \$6,499.00

Commercial DC 750 Includes

2252 Keys \$0.00
 Rocker Switch or NEMA 3R \$0.00

Handling \$0.00
Shipping \$0.00
Order Total \$19,670.00

Product	Qty Quantity	Price	Total Item 1.
Base Price		\$6,499.00	
Manually Resettable Audible Platform Alarm		\$0.00	
Pit Switch		\$0.00	
Grab Bar		\$0.00	
Platform Lights		\$0.00	
Main Disconnect		\$0.00	
AC Power Cord and Interlock Wiring Kit (for Interlocks Included with Doors, Gates)		\$0.00	
<u>Power Source</u>			
DC Battery Powered (2 x U1 Batteries Included)		\$0.00	
<u>Number of Stops</u>			
Two Stop		\$0.00	
<u>Lifting Height</u>			
160" Maximum Lift Height (190" Tower)		+\$7,999.00	
<u>Select Tower Bracket Type</u>			
Ground Bracket (for 115",130", 160")		\$0.00	
<u>Color of Unit</u>			
Grey (standard)		\$0.00	
<u>Fascia Panels</u>			
No Fascia Panels		\$0.00	
<u>Platform / Tower Configuration</u>			
Same Side Entry/Exit (For Hoistway Installs Only)		+\$999.00	
		Handling	\$0.00
		Shipping	\$0.00
		Order Total	\$19,670.00

Product	Qty Quantity	Price	Total Item 1.
Base Price		\$6,499.00	
<u>Guard Panels / Cab</u>			
42" High Steel Guard Panels (Standard)		\$0.00	
<u>Wing Walls</u>			
No Wing Walls		\$0.00	
<u>Platform Canopy for 42" Panels (Rather Than Full Cab)</u>			
No Canopy		\$0.00	
<u>Platform Dimensions (Dimensions are All Clear)</u>			
36" x 54"		\$0.00	
<u>Platform Controls</u>			
Lighted Buttons for COP		+\$399.00	
<u>Entrance Gates & Doors (Interlock Included with Door/Gate)</u>			
38" to 42" W x 42 H Upper Landing Gate (includes Call/Send in frame)		+\$1,695.00	
<u>Delivery Options</u>			
Site Shipping - Customer Provided Fork Lift OR Loading Dock on Site		\$0.00	
<u>Delivery State</u>			
Illinois		+\$2,079.00	
		Handling	\$0.00
		Shipping	\$0.00
		Order Total	\$19,670.00

Need more information?



Item 1.



5110 Atlantic Ave.
 Raleigh, NC 27616
 1 (800) 790-1635

Sales Quotation #93993

For Vissering Construction
 Created 10/13/25
 Good Through 10/20/25
 Prepared By Kenny Guzman

Item	Qty	Price	Ext.
AmeriGlide - Hercules 750 - Commercial	1	\$29,014.00	\$29,014.00
Commercial DC 750 Includes			
2252 Keys		incl.	
Rocker Switch or NEMA 3R		incl.	
Manually Resettable Audible Platform Alarm		incl.	
Pit Switch		incl.	
Grab Bar		incl.	
Platform Lights		incl.	
Main Disconnect		incl.	
AC Power Cord and Interlock Wiring Kit (for Interlocks Included with Doors, Gates)		incl.	
Power Source			
DC Battery Powered (2 x U1 Batteries Included)		incl.	
Number of Stops			
Two Stop		incl.	
Lifting Height			
160" Maximum Lift Height (190" Tower)		\$7,999.00	
Select Tower Bracket Type			
No Bracket Desired (for 44", 64", 78", 98")		incl.	
Color of Unit			
Grey (standard)		incl.	
Fascia Panels			

Item	Qty	Price
No Fascia Panels		incl.
Platform / Tower Configuration		
Same Side Entry/Exit (For Hoistway Installs Only)		\$999.00
Guard Panels / Cab		
42" High Steel Guard Panels (Standard)		incl.
Wing Walls		
No Wing Walls		incl.
Platform Canopy for 42" Panels (Rather Than Full Cab)		
No Canopy		incl.
Platform Dimensions (Dimensions are All Clear)		
36" x 54"		incl.
Platform Controls		
Lighted Buttons for COP		\$399.00
Call/Send Options		
Keyed Call/Send Flush Mount - Lower Landing		\$250.00
Keyed Call/Send Flush Mount - Upper Landing		\$250.00
Other Options		
Fixed Ramp for Bottom Landing		\$599.00
Delivery Options		
Site Shipping - Flatbed & Forklift Delivery (Available in Most Areas)		\$850.00
Delivery State		
Illinois		\$2,079.00
Entrance Gates & Doors (Interlock Included with Door/Gate)		
Door 80" H x 36" W Fire Rated	2 @ \$2,250.00	
	ea	
	= \$4,500.00	
Auto Operators and Closers		
Auto Operator for Door Qty.	2 @ \$2,295.00	
	ea	
	= \$4,590.00	
		Item \$29,014.00
		Total
		Est. Tax \$0.00
		Shipping \$0.00
		Total \$29,014.00

if clicking buy now does not work, copy and paste or type the following into your browser:
<https://www.ameriglide.com/redeemQuote.html?q=YD6GNGV18P7NE1Y4>

Buy Now

QUOTATION

DATE: 9/19/2025

VISSERING CONSTRUCTION
175 BENCHMARK INDUSTRIAL DR
P O BOX 417
STREATOR, IL 61364
USA

RE: CREST HILL WWTP CPR044
Our Quote #: 527894QU
Contact: AUSTIN NGUYEN
Phone: 608.222.2424

- This quotation is subject to acceptance within 30 calendar days from the date of this quotation. If not accepted by that date it may be withdrawn or modified without notice.
- Tax quoted is LaForce's interpretation of taxes required, tax is subject to change depending on building permit and tax exempt certificate information.
- All quotes are subject to the potential addition of a cost surcharge contingent upon the final resolution of proposed import tariffs. Any surcharge(s), if applicable, will be disclosed at the time they are received.

FREIGHT INCLUDED
F.O.B. JOBSITE (MATERIAL ONLY)

HOLLOW METAL FRAMES/ HOLLOW METAL DOORS/ HARDWARE:

Bid Total with Tax Included	<u>\$2,231.00</u>
Tax breakout for base bid only (if alternate pricing is accepted, tax amount subject to change)	<u>\$155.00</u>
Base Bid Amount Less Tax	<u>\$2,076.00</u>

- 1 WELDED HM FRAMES
- 1 HM DOORS
- 1 LOT OF HARDWARE

GENERAL QUALIFICATIONS

- Our price for all materials is based upon receipt of full approval and release within 4 months from bid day for delivery by the manufacturer's standard leadtimes as quoted. If this timetable does not meet the requirements of this project, please call us to discuss further.
- JAMB DEPTH QUOTED AS 5 3/4
- FRAME QUOTED AS 90 MINUTE RATED
- DOOR QUOTED AS 90 MINUTE RATED

LEADTIMES AFTER SUBMITTAL APPROVAL AND ANSWERS TO ALL QUESTIONS

HOLLOW METAL FRAMES: 6-8 WEEKS
HOLLOW METAL DOORS: 10-13 WEEKS
HARDWARE TO SHIP WITH DOORS

THIS QUOTATION INCLUDES AND IS SUBJECT TO THE ONE PAGE OF TERMS AND CONDITIONS LOCATED AT THE END OF THIS QUOTATION.

SPEC TEN, etc., LLC

"a Division 10 & more company"

1586 North Road

E. Fairfield, Vermont 05448

Tel. (802) 849-9222 Fax (802) 849-9244

email: andy@spectenvt.com

TO: Julie Eurich
Vissering Constr. Co.

QUOTE # 225-00

Date: 09-16-2025

TERMS: TBD*

FOB: Freight Allowed

QUOTATION

WWTP
CREST HILL, IL

<i>We are pleased to quote the following, per plans and specs... furnished only and delivered to jobsite. (Excludes all taxes)</i>	<u>TOTAL PRICE</u>
(2) Attachment "A" In Case Of Fire Do Not Use Lift signs	\$ 275.00

Hardware and fasteners by others.

NO RETAINAGE PERMITTED *Deposits may be required on certain sections.

VALID FOR 30 DAYS

SIGNATURE: Andy R. Tetrault, President





October 29, 2025

To: Vissering Construction

Re: Crest Hill West Sewage Treatment Plant
RFP 044

**Tape and paint new drywall
Paint door and frame**

Labor
18 hrs @ \$ 120.00 /hr..... \$ **2,160**

Materials & Equipment

1 rolls joint tape @	\$	5.50 /roll.....	\$	6
2 buckets joint compound @	\$	22.50 /bucket.....	\$	45
1 gal drywall primer @	\$	15.00 /gal.....	\$	15
2 gal acrylic finish @	\$	22.00 /gal.....	\$	44
Subtotal.....				\$ 2,270
15% Markup.....				\$ 340
Total Add				\$ 2,610

Doug Penrod
RP Coatings, Inc.
Cell: 618-978-7595
Email: doug@rpcoatings.com



Cost Proposal Request
 West Sewage Treatment Plant Improvements
 City of Crest Hill
 Contract 1-2022
 August 26, 2025

COST PROPOSAL NO.: 044

TO: Vissering Construction
 ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager	Vissering Construction (Contractor)
Julius Hansen	City of Crest Hill
Dominic Gattone, P.E.	Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to make changes to the platform lift installation, which replaced the elevator as part of Cost Proposal Request (CPR)/Change Order No. 1.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing E70-ASM1.01

- 044-01 Frame and drywall the northern and eastern shaft fenestration surrounding the newly proposed door on the first floor. See attached drawing.
- 044-02 Change manufacturer provided first-floor half-height door with full height mandoor. Rewire electrical componentry from manufacturer-provided call-station to interlock doorway hardware (automatic door opener) with platform lift system operation, as described below.
- Add row to Drawing 99-ASM6.01 Door 7002C, size 3'-6" x 7'-0", type - STL, active - HG, swing - RHR, frame type - 1, frame material - STL, hardware group - as provided by product manufacturer, active, lintel - B-1, Details, head - F-99-ASM6.02, jamb - F-99-ASM6.02, sill - N/A
- 044-03 Provide attached pictograph (Attachment A) at first floor and second floor call stations. Pictograph shall conform to Section 10 14 00 - Plastic and Metal Signs.

Clarification: Fire Protection System shall remain in shaft as shown on E70-FP1.02.

Drawing E70-ASM1.02

- 044-04 Frame northern shaft fenestration on second floor. See attached drawing. Standard manufacturer-provided door, its respective wiring, and call-station shall remain at the second floor.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

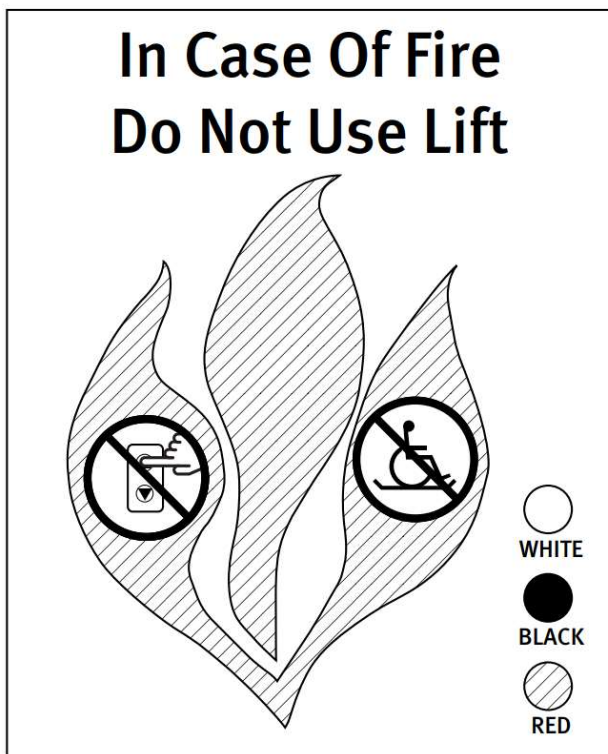
- 044-05 Add Section 08 71 10 - Automatic Door Operators, attached.

Clarification: It is the intent of this CPR to have the door opener/closer system interlocked with the platform travel. With the changing of the first-floor door, the new door operation shall work in an identical way to the manufacturer's stock door. For example, the door will automatically unlock/open when the platform arrives from the second floor after an operator adjustable time delay. Additionally, the door will automatically open



when the call button is pressed and the platform has arrived and stationed at the first floor. The door shall not open when the platform is not stationed there. If the first-floor door were to open and the platform is not in the down position, power to the platform shall be terminated.

Attachment A -



SECTION 08 71 10

AUTOMATIC DOOR OPERATORS

PART 1–GENERAL

1.01 SUMMARY

- A. This Section includes the following types of automatic door operators: Exterior and interior, automatic door operators, low energy, with bottom load headers and surface or concealed mounting.

1.02 REFERENCES

General: Standards listed by reference, including revisions by issuing authority, form a part of this specification section to extent indicated. Standards listed are identified by issuing authority, authority abbreviation, designation number, title or other designation established by issuing authority. Standards subsequently referenced herein are referred to by issuing authority abbreviation and standard designation.

- A. Underwriters Laboratories (UL): UL 325–Standard for Door, Drapery, Gate, Louver, and Window Operators and Systems.
- B. American National Standards Institute (ANSI)/Builders' Hardware Manufacturers Association (BHMA):
1. ANSI/BHMA A156.10: Standard for Power Operated Pedestrian Doors.
 2. ANSI/BHMA A156.19: Standard for Power Assist and Low Energy Power Operated Doors.
- C. American Society for Testing and Materials (ASTM):
1. ASTM B221–Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes.
 2. ASTM B209–Standard Specifications for Aluminum and Aluminum-Alloy Sheet and Plate.
- D. Builders' Hardware Manufacturers Association (BHMA): BHMAA156.10–Standard for Power Operated Pedestrian Door.
- E. American Association of Automatic Door Manufacturers (AAADM).
- F. National Fire Protection Association (NFPA):
1. NFPA 101–Life Safety Code.
 2. NFPA 70–National Electric Code.
- G. International Conference of Building Officials (ICBO): UBC 1997: Uniform Building Code.
- H. California Department of Forestry and Fire Protection, Office of the State Fire Marshall.
- I. International Standards Organization (ISO): ISO 9001–Standard for Manufacturing Quality Management Systems.

- J. National Association of Architectural Metal Manufacturers (NAAMM): Metal Finishes Manual for Architectural and Metal Products.
- K. American Architectural Manufacturers Association (AAMA):
 - 1. AAMA 607.1—Clear Anodic Finishes for Architectural Aluminum.
 - 2. AAMA 611 Voluntary Specification for Anodized Architectural Aluminum.

1.03 DEFINITIONS

- A. Activation Device: Device that, when actuated, sends an electrical signal to the door operator to open the door.

1.04 PERFORMANCE REQUIREMENTS

- A. Provide automatic door operators capable of withstanding loads and thermal movements based on testing manufacturer's standard units in assemblies similar to those indicated for this Project.
- B. Operating Range: Minus 30°F (Minus 34°C) to 130°F (54°C).
- C. Opening-Force Requirements for Egress Doors: In the event power failure to the operator, swinging automatic entrance doors shall open with a manual force, not to exceed 30 lbf (133 N) applied at 1 inch (25 mm) from the latch edge of the door.
- D. Break Away Requirements: Automatic door operators shall breakaway with no more than 50 lbf (222 N) applied at 1 inch (25 mm) from the latch edge of the door.
- E. Door Energy: The kinetic energy of a door in motion shall not exceed 1.25 lbf-ft (1.69 Nm).
- F. Closing Time:
 - 1. Doors shall be field adjusted to close from 90 degrees to 10 degrees in 3 seconds or longer.
 - 2. Doors shall be field adjusted to close from 10 degrees to fully closed in not less than 1.5 seconds.

1.05 SUBMITTALS

- A. Submit listed submittals in accordance with Conditions of the Contract and Division 01 submittal procedures.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware mounting heights, and attachments to other work. Indicate wiring for electrical supply.
- C. Color Samples for selection of factory-applied color finishes.
- D. Closeout Submittals: Provide the following with project close-out documents.
 - 1. Owner's Manual.
 - 2. Warranties.

1.06 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized representative, with certificate issued by AAADM, who is trained for installation and maintenance of units required for this Project.
- B. Manufacturer Qualifications: A qualified manufacturer with a manufacturing facility certified under ISO 9001 and with company certificate issued by AAADM.
- C. Certifications: Automatic door operators shall be certified by the manufacturer to meet performance design criteria in accordance with the following standards:
 - 1. ANSI A156.10.
 - 2. NFPA 101.
 - 3. UL 325 Listed (Fire Door Operator).
 - 4. ICBO (UBC Standard 10-1).
 - 5. California Department of Forestry and Fire Protection, Listed.
- D. Source Limitations: Obtain automatic door operators through one source from a single manufacturer.
- E. Product Options: Drawings indicate sizes, profiles, and dimensional requirements of automatic door operators and are based on the specific system indicated. Refer to Division 01 Section "Product Requirements."
- F. Power Operated Door Standard: ANSI/BHMA A156.19.
- G. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.
- H. Emergency-Exit Door Requirements: Comply with requirements of authorities having jurisdiction for swinging automatic entrance doors serving as a required means of egress.

1.07 PROJECT CONDITIONS

- A. Field Measurements: General Contractor shall verify openings to receive automatic door operators by field measurements before fabrication and indicate measurements on Shop Drawings.
- B. Mounting Surfaces: General Contractor shall verify all surfaces to be plumb, straight and secure; substrates to be of proper dimension and material.
- C. Other trades: General Contractor Advise of any inadequate conditions or equipment.

1.08 COORDINATION

- A. Templates: Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing automatic door operators to comply with indicated requirements.
- B. Electrical System Roughing-in: Coordinate layout and installation of automatic door operators with connections to, power supplies and remote activation devices.

- C. System Integration: Integrate automatic door operators with other systems as required for a complete working installation.
 1. Provide electrical interface control capability for card reader or keypad operation of automatic door operators on doors with electric locking.
 2. Where required for proper operation, provide a time relay to signal automatic door operator to activate only after electric lock system is released.

1.09 WARRANTY

- A. Automatic door operators shall be free of defects in material and workmanship for a period of one year from the date of substantial completion.
- B. During the warranty period OWNER shall engage a factory-trained technician to perform service and affect repairs. A safety inspection shall be performed after each adjustment or repair and a completed inspection form shall be submitted to OWNER.
- C. During the warranty period all warranty work, including but not limited to emergency service, shall be performed during normal working hours.

PART 2-PRODUCTS

2.01 AUTOMATIC DOOR OPERATORS

- A. Manufacturer: Stanley Access Technologies; M-Force™ Series automatic door operator.

2.02 MATERIALS

- A. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 1. Headers: 6063-T6.
 2. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221.
 3. Sheet and Plate: ASTM B 209.

2.03 COMPONENTS

- A. Header Case: Header case shall not exceed 4 1/2-inch by 6-inch (114 mm) in section and shall be fabricated from extruded aluminum designed to conceal door operators and controls. The operator shall be sealed against dust, dirt, and corrosion within the header case. Access to the operator and electronic control box shall be provided from the bottom by a removable cover. Removable cover shall be secured in place by screws.
- B. Door Arms: Door arms shall be manufacturer's standard units designed specifically for use with automatic door operators provided.
 1. Visible Arms: A combination of door arms and linkage shall provide positive control of door through entire swing; units shall permit use of butt hung, center pivot, and offset pivot-hung doors.
 2. Concealed Arms: A single straight arm, designed for top mounting in door panel, shall provide positive control of door through entire swing; units shall be specifically designed for use on center pivot doors.

- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, non-staining, non-bleeding fasteners and accessories compatible with adjacent materials.
- D. Signage: Provide signage in accordance with ANSI/BHMAA156.19.

2.04 SWINGING DOOR OPERATORS

- A. Provide door operators of size recommended by manufacturer for door size, weight, and movement; for condition of exposure; and for long-term, maintenance-free operation under normal traffic load for type of occupancy indicated.
- B. Electromechanical Operators: Self-contained unit powered by a minimum 3/16 horsepower, permanent-magnet DC motor; through a high torque reduction gear system.
 - 1. Operation: Power opening and spring closing.
 - 2. Operator Type: Low energy; readily convertible to full energy; no tools required to change type.
 - 3. Handing: Non-handed; no tools required to change handing.
 - 4. Capacity: Rated for door panels weighing up to 350 pounds.
 - 5. Mounting: Surface applied or concealed as indicated.
 - 6. Features:
 - a. Adjustable opening and closing speeds.
 - b. Adjustable opening and closing force.
 - c. Adjustable back-check.
 - d. Adjustable hold-open time between 0 and 30 seconds.
 - e. Reverse on obstruction.
 - f. Variable rate open/closed speed control.
 - g. Closed loop speed control with active braking and acceleration.
 - h. Variable obstruction recycle time delay.
 - i. Optional Switch to open/Switch to close operation.
 - j. When operators are provided in pairs, adjustable features are independently adjustable for each operator.
- C. Field Adjustable Spring Closing Operation: The operator shall close the door by spring energy employing the motor, as a dynamic brake to provide closing speed control. The closing spring shall be a helical compression spring, adjustable for positive closing action. The spring shall be adjustable, without removing the operator from the header, to accommodate a wide range of field conditions.
- D. Independent Adjustable Closing and Latching Speed Control: The operator shall employ a rheostat module to allow for independent field adjustment of closing and latching speeds using the motor as a dynamic brake.
- E. Field Adjustable Open Stop: The operator shall provide a field adjustable open stop to accommodate opening angles from 80 to 135 degrees without the need for additional components.
- F. Consistent Cycle: The operator shall deliver an even, consistent open manual push force across the entire transition from door fully closed to door fully open. Additionally, the force shall be field adjustable to accommodate a wide range of on-site conditions.
- G. Quiet Performance: The operator shall be designed to output audible noise ratios less than or equal to 50 dba.

- H. Manual Use: The operator shall function as a manual door closer in the direction of swing with or without electrical power. The operator shall deliver an even, consistent open force across the entire transition from door fully closed to door fully open, except as restricted by platform lift controls.
- I. Electrical service to door operators shall be provided under Division 26 Electrical. Minimum service to be 120 VAC, 10 amps for doors with operators in pairs, 5 amps for single doors.

2.05 ELECTRICAL CONTROLS

- A. Electrical Control System: Electrical control system shall include a microprocessor controller and a high-resolution position encoder. The encoder shall monitor revolutions of the operator shaft and send signals to microprocessor controller to define door position. Systems utilizing external magnets and magnetic switches are not acceptable.
- B. Life Cycle Data Counter: The microprocessor control shall incorporate a nonresettable counter to track door operation cycles.
- C. Controller Protection: The microprocessor controller shall incorporate the following features to provide trouble free operation:
 1. Automatic Reset Upon Power Up.
 2. Main Fuse Protection.
 3. Electronic Surge Protection.
 4. Internal Power Supply Protection.
 5. Resettable sensor supply fuse protection.
 6. Software "Watchdog" protection in the case of software malfunction.
- D. Push Button Interface with LED: The controller shall have push button switches with LED readout to allow for selection or change of the following parameters: carpet or timer logic, single or dual door, activation options, normal back check or large back check, push-to-open assist on/off.
- E. Soft Start/Stop: A "soft-start" "soft-stop" motor driving circuit shall be provided for smooth normal opening and recycling.
- F. Safety Search Circuitry: Provide system to recycle the swinging panels when an obstruction is encountered during the closing cycle. If an obstruction is detected, the system shall search for that object on the next closing cycle by reducing door closing speed prior to the previously encountered obstruction location and will continue to close in check speed until doors are fully closed, at which time the doors will reset to normal speed. If obstruction is encountered again, the door will come to a full stop. The doors shall remain stopped until obstruction is removed and operate signal is given, resetting the door to normal operation.
- G. Programmable Controller: Microprocessor controller shall be programmable and shall be designed for connection to a local configuration tool. Local configuration tool shall be software driven and shall be utilized via Palm® handheld interface. The following parameters may be adjusted via the configuration tool.
 1. Operating speeds and forces as required to meet ASNI/BHMA A156.10.
 2. Adjustable and variable features as specified in Paragraph 2.04.B.6.
 3. Firmware update.
 4. Trouble shooting.
 - a. I/O Status.

- b. Electrical component monitoring including parameter summary.
 - 5. Entrance profile copy/paste.
 - 6. Software for local configuration tool shall be available as a free download from the automatic door operators' manufacturer's internet site.
- H. Emergency Breakout Switch: A cam actuated emergency breakout switch shall be provided to disconnect power to the motor when an in-swinging door is manually pushed in the emergency out direction. The operator will then automatically reset and power will be resumed.
- I. Control Switch: Automatic door operators shall be equipped with a three position function switch to control the operation of the door. Control switch shall provide three modes of operation, Automatic, Off, and Hold-Open.
- J. Power Switch: Automatic door operators shall be equipped with a two position On/Off switch to control power to the door.

2.06 ALUMINUM FINISHES

- A. Comply with NAAMM Metal Finishes Manual for Architectural and Metal Products for recommendations for applying and designing finishes. Finish designations prefixed by AA comply with system established by Aluminum Association for designing finishes.
- B. Class II, Clear Anodic Finish: AA-M12C22A31 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class II, clear coating 0.40 mils minimum complying with AAMA 611-98, and the following
 - 1. AAMA 607.1.
 - 2. Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.

PART 3-EXECUTION

3.01 INSPECTION

- A. Examine conditions, with Installer present, for compliance with requirements for installation tolerances, header support, and other conditions affecting performance of swinging automatic entrance doors. Proceed with installation only after unsatisfactory conditions have been corrected.

3.02 INSTALLATION

- A. Do not install damaged components. Fit joints to produce hairline joints free of burrs and distortion. Rigidly secure non-movement joints.
- B. Mounting: Install automatic door operators/headers plumb and true in alignment with established lines and grades. Anchor securely in place.
 - 1. Install surface-mounted hardware using concealed fasteners to greatest extent possible.
 - 2. Set headers, arms and linkages level and true to location with anchorage for permanent support.

- C. Door Operators: Connect door operators to electrical power distribution system as specified in Division 26 Sections.
- D. Sealant: Comply with requirements specified in Section 07 90 00–Caulking and Sealants to provide weather tight installation.

3.03 FIELD QUALITY CONTROL

- A. Testing Services: Factory Trained Installer shall test and inspect each swinging automatic entrance door to determine compliance of installed systems with applicable ANSI standards.

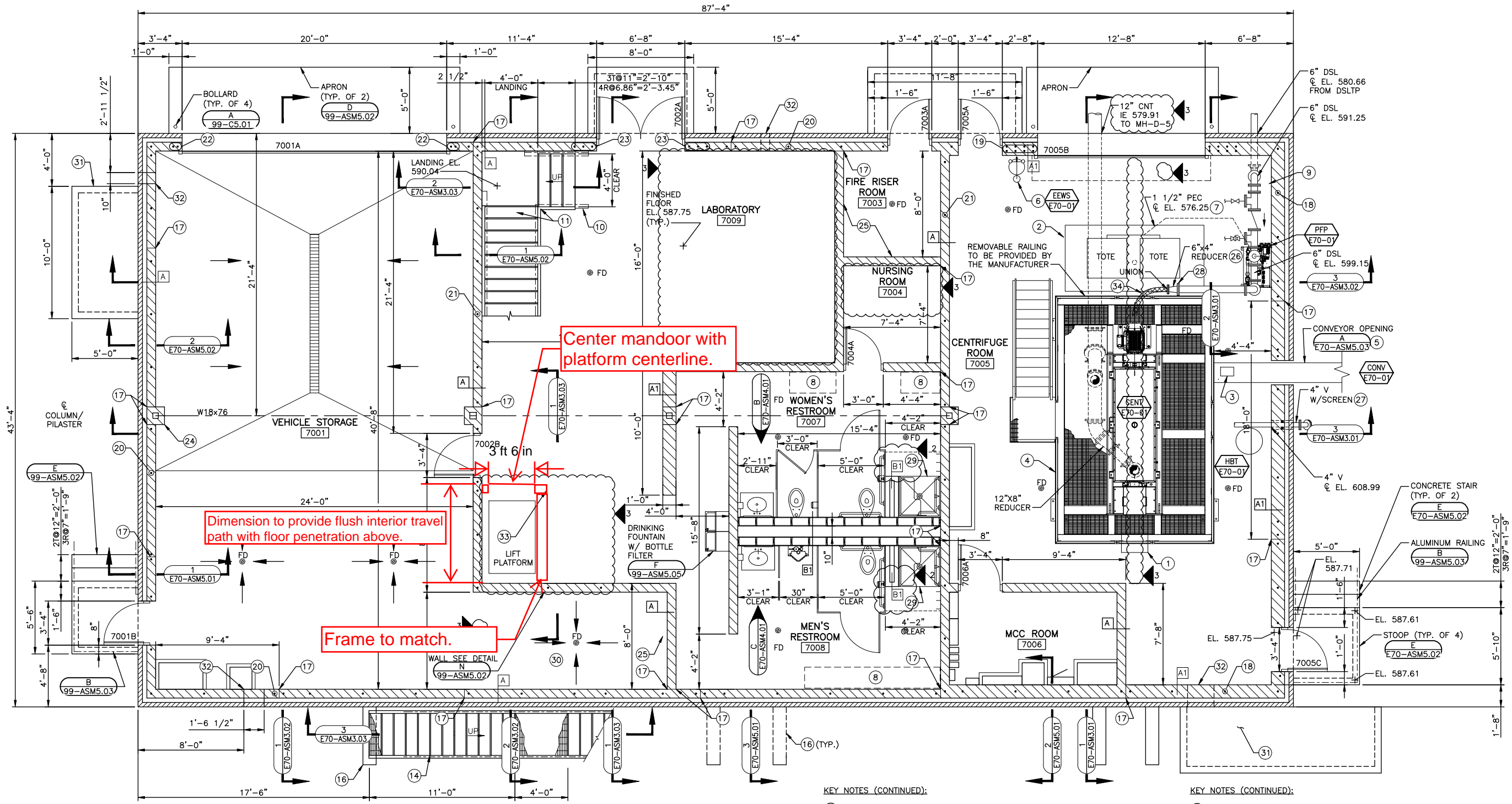
3.04 ADJUSTING

- A. Adjust door operators, controls, and hardware for smooth and safe operation, for weather tight closure, and complying with requirements in ANSI/BHMA A156.19 by AAADM Certified Technician.

3.05 CLEANING AND PROTECTION

- A. Clean surfaces promptly after installation. Remove excess sealant compounds, dirt, and other substances. Repair damaged finish to match original finish.

END OF SECTION



LOWER LEVEL PLAN

- GENERAL NOTES:**
- SEE ROOM FINISH SCHEDULE AND SPECIFICATION FOR TREATMENTS OF WALLS, FLOORS AND CEILINGS NOT CALLED OUT ON DRAWINGS.
 - SEE SPECIFICATIONS FOR LAB AND SCADA/CONTROL ROOM FURNITURE.
 - EXCEPT WHERE SHOWN OTHERWISE, ROOM FURNITURE AND ARCHITECTURAL CASEWORK (SHELVING, COUNTERS, ETC.) SHALL BE PROVIDED BY CONTRACTOR AS SHOWN AND SPECIFIED.
 - RESTRAIN ALL DUCTILE IRON JOINTS BURIED UNDER SLAB.
 - SEE 99-ASM6.03 FOR GENERAL STRUCTURE NOTES.

- KEY NOTES:**
- HYDRAULIC BACK DRIVE.
 - POLYMER TOTE CONTAINMENT, SEE SPECIFICATIONS.
 - PROVIDE INSPECTION HATCHES ON THE CONVEYORS AT LOCATIONS ACCESSIBLE TO OPERATORS. PROVIDE ADDITIONAL HATCH BENEATH PLATFORM. COORDINATE SIZE TO AVOID CONFLICT W/ PLATFORM.
 - ACCESS WALKWAYS AND STAIRS BY EQUIPMENT MANUFACTURER.
 - CONVEYOR SHALL BE HEAT TRACED AND INSULATED ACCORDING TO THE SPECIFICATIONS. CONVEYOR SHALL BE HEAT TRACED AND INSULATED FROM BUILDING E70 TO THE END OF THE CONVEYOR.
 - EMERGENCY EYE WASH AND SAFETY SHOWER.
 - PROVIDE LONG RADIUS ELBOWS FOR UNDERSLAB PEC CHEMICAL PIPE.
 - SPACE RESERVED FOR ADA LOCKERS AND ADA BENCHES.
 - MOUNT PEC PIPING TO WALL. PROVIDE SUPPORTS AS NECESSARY.
 - 1'-0" HANDRAIL EXTENSION (TYP.)

- KEY NOTES (CONTINUED):**
- CONCRETE PAN STAIRS WITH VINYL TREAD AND RISER FINISH. 4'-5" OUT-TO-OUT. SEE SPECIFICATION 09 65 13 FOR FINISH.
 - NOT USED
 - METAL SHROUD FOR MACHINE SPACE BY ELEVATOR MANUFACTURER.
 - ALUMINUM GRATING STAIRS (E) 99-ASM5.04
 - NOT USED
 - STAIR FOUNDATION (G) 99-ASM5.02
 - MCJ-2 (L) 99-ASM5.02 FOR MCJ'S IN BRICK VENEER, SEE ELEVATION VIEWS.
 - #6@40" VERTICAL MASONRY REINFORCING (TYP. AT EXTERIOR 12" BLOCK WALLS).
 - 1~#6 EACH FACE @ 8" VERTICAL MASONRY REINFORCING (TYP. 1ST 4 CORES AT OHC DOOR JAMBS).
 - #4@48" VERTICAL MASONRY REINFORCING (TYP. EXTERIOR 8" BLOCK WALLS).

- KEY NOTES (CONTINUED):**
- #4@48" VERTICAL MASONRY REINFORCING.
 - 1~#4 VERTICAL BAR @ 8" TYP. 1ST 2 CORES AT JAMBS.
 - 1~#4 VERTICAL @ 8" TYP. 1ST 3 CORES AT JAMBS.
 - MASONRY PILASTER (TYP. OF 4) (B) E70-ASM5.03
 - NON-BEARING MASONRY WALL (N) 99-ASM5.02
 - 4"x1/2" REDUCER AND 1/2" FLEXIBLE HOSE TO BE PROVIDED BY CENTRIFUGE MANUFACTURER.
 - NON-CORRODING INSECT SCREEN BETWEEN TWO FLANGES ON DOWNWARD TURNED 45° FLANGED FITTING.
 - PRESSURE GAUGE CONNECTION, SEE DETAIL (J) 99-P5.01
 - BARRIER FREE SHOWER, SEE DETAIL (B) 99-ASM5.06
 - TOOL STORAGE AND ACCESS TO ELEVATOR CONTROL PANEL.
 - HVAC EQUIPMENT PAD. VERIFY SIZE AND LOCATION W/HVAC SCHEDULES.
 - HVAC OPENING. SEE H-DRAWINGS AND LINTEL SCHEDULE.
 - PROVIDE LINTEL B-1 AT LIFT PLATFORM ENTRY AND EQUIPMENT ACCESS DOORWAYS AND EQUIPMENT ACCESS.
 - FLEXIBLE HOSE BY MANUFACTURER TO LEFT OF UNION.
 - NOT USED

NO.	ISSUED FOR	DATE
1	ISSUED FOR BID	5/12/2022
2	CONFORMED DRAWINGS	12/1/2022
3	CHANGE ORDER NO. 1	X/7/2023

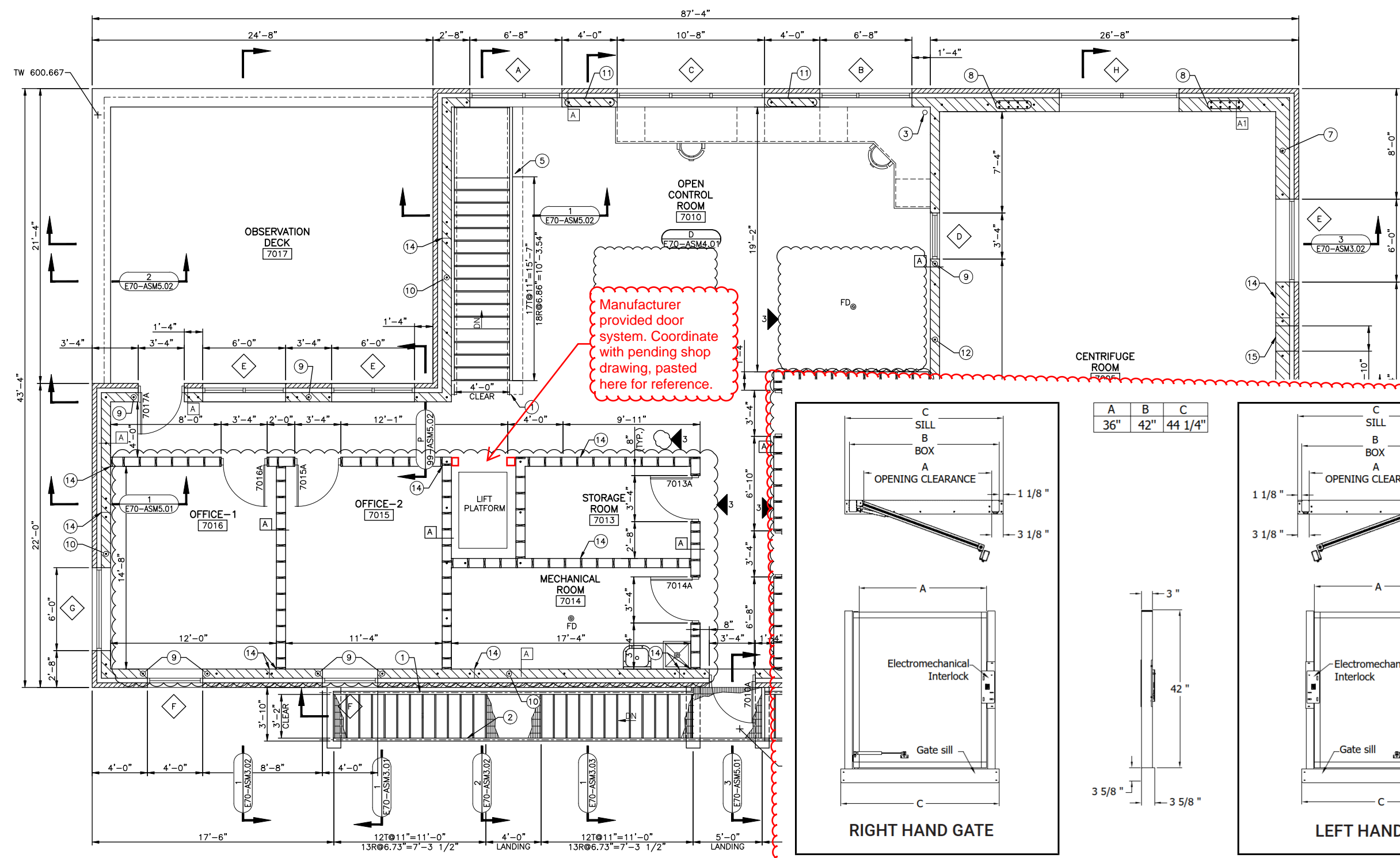
**DEWATERING AND OPERATIONS BUILDING
LOWER LEVEL PLAN**

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
CITY OF CREST HILL
WILL COUNTY, ILLINOIS

JOB NO.
3894.051
PROJECT MGR.
DOMINIC GATTONE

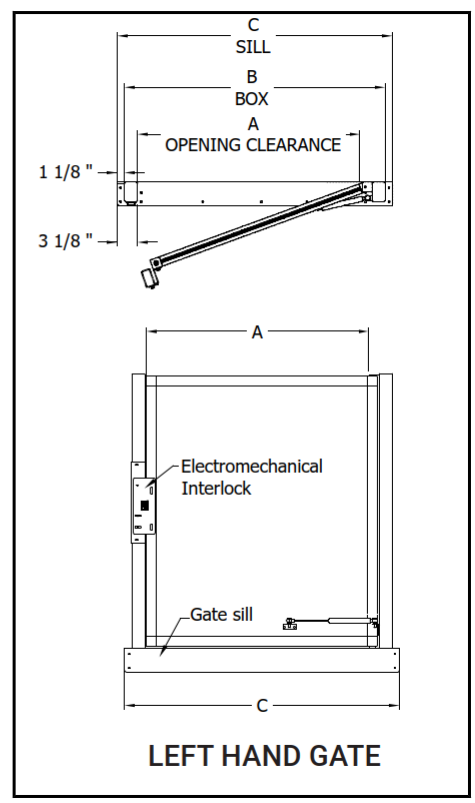
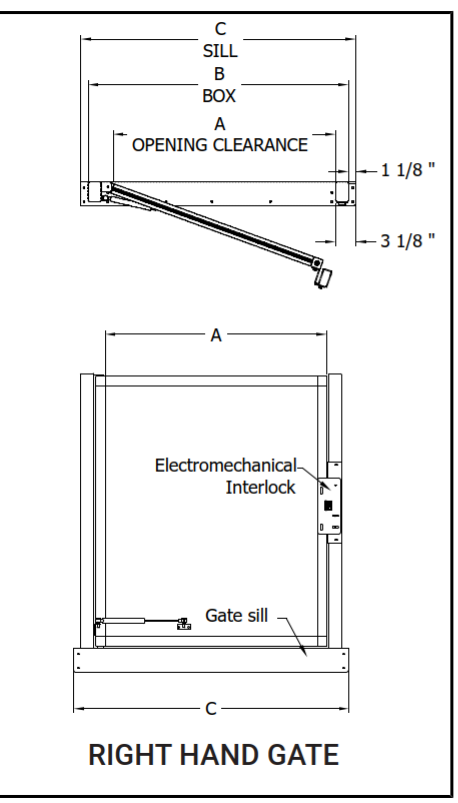


SHEET
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E70-ASMT.01



Manufacturer provided door system. Coordinate with pending shop drawing, pasted here for reference.

A	B	C
36"	42"	44 1/4"



UPPER LEVEL PLAN
0 1' 2' 4' 8'

- GENERAL NOTES:**
- SEE ROOM FINISH SCHEDULE AND SPECIFICATION FOR TREATMENTS OF WALLS, FLOORS AND CEILINGS NOT CALLED OUT ON DRAWINGS.
 - SEE SPECIFICATIONS FOR LAB AND SCADA/CONTROL ROOM FURNITURE.
 - EXCEPT WHERE SHOWN OTHERWISE, ROOM FURNITURE AND ARCHITECTURAL CASEWORK (SHELVING, COUNTERS, ETC.) SHALL BE PROVIDED BY CONTRACTOR AS SHOWN AND SPECIFIED.
 - SEE 99-ASM6.03 FOR GENERAL STRUCTURAL NOTES.

- KEY NOTES:**
- 1'-0" HANDRAIL EXTENSION (TYP.)
 - ALUMINUM STAIRS, 3'-10" OUT-TO-OUT. (E 99-ASM5.04)
 - PROVIDE GROMMET IN COUNTERTOP.
 - HVAC OPENING. SEE H-DRAWINGS AND LINTEL SCHEDULE.
 - 42" HIGH GUARD RAIL AROUND FLOOR OPENING.
 - NOT USED.
 - #6@40" MASONRY VERTICAL BARS. (TYP. AT EXTERIOR 12" BLOCK)
 - 1~#6 EA. FACE @ 8" SEE DRAWING E70-ASM1.01.

- KEY NOTES (CONTINUED):**
- 1~#4 AT WINDOW JAMBS UNLESS NOTED.
 - #4@48" (TYP. AT EXTERIOR 8" BLOCK).
 - 1~#4 @ 16" O.C. IN 4'-0" JAMB.
 - #4@48" (TYP. WHERE SHOWN IN INTERIOR BLOCK).
 - NOT USED
 - MCJ-2 99-ASM5.02 SEE ELEVATION VIEWS FOR MCJ-1'S IN VENEER.
 - OPENING IN CONVEYOR, SEE LINTEL SCHEDULE.

NO.	REVISIONS	DATE
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**DEWATERING AND OPERATIONS BUILDING
UPPER LEVEL PLAN**

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
CITY OF CREST HILL
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Cost Proposal Request
 West Sewage Treatment Plant Improvements
 City of Crest Hill
 Contract 1-2022
 August 26, 2025

COST PROPOSAL NO.: 044

TO: Vissering Construction
 ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager	Vissering Construction (Contractor)
Julius Hansen	City of Crest Hill
Dominic Gattone, P.E.	Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to make changes to the platform lift installation, which replaced the elevator as part of Cost Proposal Request (CPR)/Change Order No. 1.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing E70-ASM1.01

- 044-01 Frame and drywall the northern and eastern shaft fenestration surrounding the newly proposed door on the first floor. See attached drawing.
- 044-02 Change manufacturer provided first-floor half-height door with full height mandoor. Rewire electrical componentry from manufacturer-provided call-station to interlock doorway hardware (automatic door opener) with platform lift system operation, as described below.
- Add row to Drawing 99-ASM6.01 Door 7002C, size 3'-6" x 7'-0", type - STL, active - HG, swing - RHR, frame type - 1, frame material - STL, hardware group - as provided by product manufacturer, active, lintel - B-1, Details, head - F-99-ASM6.02, jamb - F-99-ASM6.02, sill - N/A
- 044-03 Provide attached pictograph (Attachment A) at first floor and second floor call stations. Pictograph shall conform to Section 10 14 00 - Plastic and Metal Signs.

Clarification: Fire Protection System shall remain in shaft as shown on E70-FP1.02.

Drawing E70-ASM1.02

- 044-04 Frame northern shaft fenestration on second floor. See attached drawing. Standard manufacturer-provided door, its respective wiring, and call-station shall remain at the second floor.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

- 044-05 Add Section 08 71 10 - Automatic Door Operators, attached.

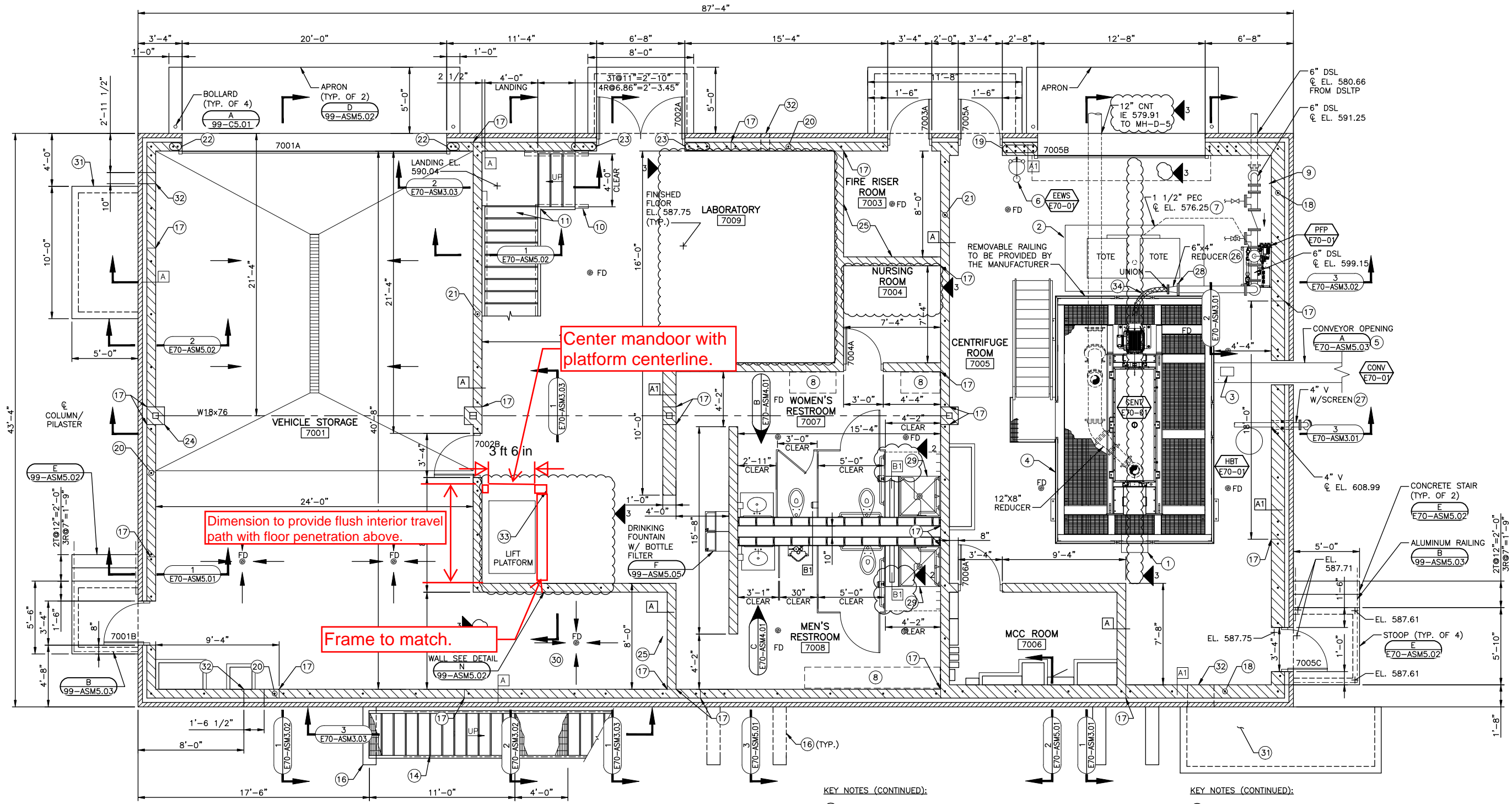
Clarification: It is the intent of this CPR to have the door opener/closer system interlocked with the platform travel. With the changing of the first-floor door, the new door operation shall work in an identical way to the manufacturer's stock door. For example, the door will automatically unlock/open when the platform arrives from the second floor after an operator adjustable time delay. Additionally, the door will automatically open



when the call button is pressed and the platform has arrived and stationed at the first floor. The door shall not open when the platform is not stationed there. If the first-floor door were to open and the platform is not in the down position, power to the platform shall be terminated.

Attachment A -





LOWER LEVEL PLAN

- GENERAL NOTES:**
- SEE ROOM FINISH SCHEDULE AND SPECIFICATION FOR TREATMENTS OF WALLS, FLOORS AND CEILINGS NOT CALLED OUT ON DRAWINGS.
 - SEE SPECIFICATIONS FOR LAB AND SCADA/CONTROL ROOM FURNITURE.
 - EXCEPT WHERE SHOWN OTHERWISE, ROOM FURNITURE AND ARCHITECTURAL CASEWORK (SHELVING, COUNTERS, ETC.) SHALL BE PROVIDED BY CONTRACTOR AS SHOWN AND SPECIFIED.
 - RESTRAIN ALL DUCTILE IRON JOINTS BURIED UNDER SLAB.
 - SEE 99-ASM6.03 FOR GENERAL STRUCTURE NOTES.

- KEY NOTES:**
- HYDRAULIC BACK DRIVE.
 - POLYMER TOTE CONTAINMENT, SEE SPECIFICATIONS.
 - PROVIDE INSPECTION HATCHES ON THE CONVEYORS AT LOCATIONS ACCESSIBLE TO OPERATORS. PROVIDE ADDITIONAL HATCH BENEATH PLATFORM. COORDINATE SIZE TO AVOID CONFLICT W/ PLATFORM.
 - ACCESS WALKWAYS AND STAIRS BY EQUIPMENT MANUFACTURER.
 - CONVEYOR SHALL BE HEAT TRACED AND INSULATED ACCORDING TO THE SPECIFICATIONS. CONVEYOR SHALL BE HEAT TRACED AND INSULATED FROM BUILDING E70 TO THE END OF THE CONVEYOR.
 - EMERGENCY EYE WASH AND SAFETY SHOWER.
 - PROVIDE LONG RADIUS ELBOWS FOR UNDERSLAB PEC CHEMICAL PIPE.
 - SPACE RESERVED FOR ADA LOCKERS AND ADA BENCHES.
 - MOUNT PEC PIPING TO WALL. PROVIDE SUPPORTS AS NECESSARY.
 - 1'-0" HANDRAIL EXTENSION (TYP.)

- KEY NOTES (CONTINUED):**
- CONCRETE PAN STAIRS WITH VINYL TREAD AND RISER FINISH. 4'-5" OUT-TO-OUT. SEE SPECIFICATION 09 65 13 FOR FINISH.
 - NOT USED
 - METAL SHROUD FOR MACHINE SPACE BY ELEVATOR MANUFACTURER.
 - ALUMINUM GRATING STAIRS (E 99-ASM5.04)
 - NOT USED
 - STAIR FOUNDATION (G 99-ASM5.02)
 - MCJ-2 (L 99-ASM5.02) FOR MCJ'S IN BRICK VENEER, SEE ELEVATION VIEWS.
 - #6@40" VERTICAL MASONRY REINFORCING (TYP. AT EXTERIOR 12" BLOCK WALLS).
 - 1~#6 EACH FACE @ 8" VERTICAL MASONRY REINFORCING (TYP. 1ST 4 CORES AT OHC DOOR JAMBS).
 - #4@48" VERTICAL MASONRY REINFORCING (TYP. EXTERIOR 8" BLOCK WALLS).

- KEY NOTES (CONTINUED):**
- #4@48" VERTICAL MASONRY REINFORCING.
 - 1~#4 VERTICAL BAR @ 8" TYP. 1ST 2 CORES AT JAMBS.
 - 1~#4 VERTICAL @ 8" TYP. 1ST 3 CORES AT JAMBS.
 - MASONRY PILASTER (TYP. OF 4) (B E70-ASM5.03)
 - NON-BEARING MASONRY WALL (N 99-ASM5.02)
 - 4"x1/2" REDUCER AND 1/2" FLEXIBLE HOSE TO BE PROVIDED BY CENTRIFUGE MANUFACTURER.
 - NON-CORRODING INSECT SCREEN BETWEEN TWO FLANGES ON DOWNWARD TURNED 45° FLANGED FITTING.
 - PRESSURE GAUGE CONNECTION, SEE DETAIL (J 99-P5.01)
 - BARRIER FREE SHOWER, SEE DETAIL (B 99-ASM5.06)
 - TOOL STORAGE AND ACCESS TO ELEVATOR CONTROL PANEL.
 - HVAC EQUIPMENT PAD. VERIFY SIZE AND LOCATION W/HVAC SCHEDULES.
 - HVAC OPENING. SEE H-DRAWINGS AND LINTEL SCHEDULE.
 - PROVIDE LINTEL B-1 AT LIFT PLATFORM ENTRY AND EQUIPMENT ACCESS DOORWAYS AND EQUIPMENT ACCESS.
 - FLEXIBLE HOSE BY MANUFACTURER TO LEFT OF UNION.
 - NOT USED

NO.	ISSUED FOR	DATE
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REVISIONS

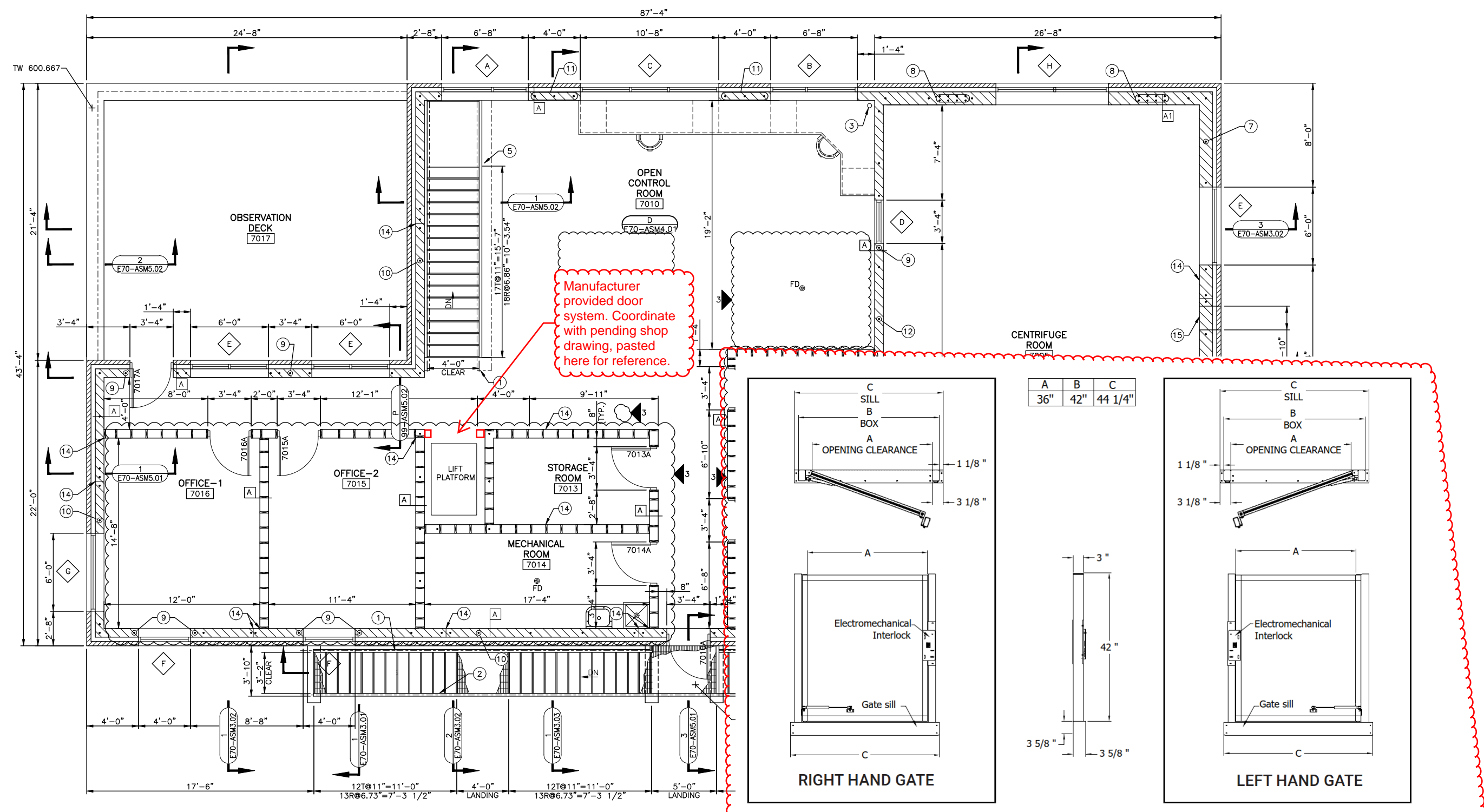
DEWATERING AND OPERATIONS BUILDING
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WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
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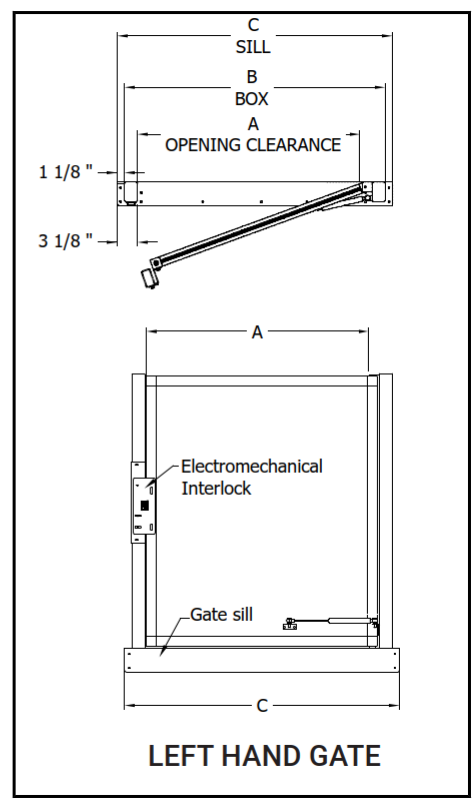
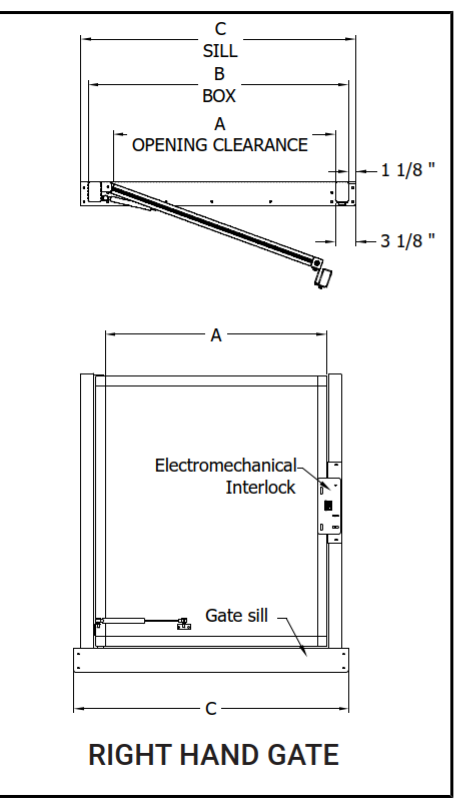
PROJECT MGR.
DOMINIC GATTONE





Manufacturer provided door system. Coordinate with pending shop drawing, pasted here for reference.

A	B	C
36"	42"	44 1/4"



UPPER LEVEL PLAN
0 1' 2' 4' 8'

- GENERAL NOTES:**
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 - SEE 99-ASM6.03 FOR GENERAL STRUCTURAL NOTES.

- KEY NOTES:**
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**DEWATERING AND OPERATIONS BUILDING
UPPER LEVEL PLAN**

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
CITY OF CREST HILL
WILL COUNTY, ILLINOIS

JOB NO.
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PROJECT MGR.
DOMINIC GATTONE



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SECTION 08 71 10

AUTOMATIC DOOR OPERATORS

PART 1–GENERAL

1.01 SUMMARY

- A. This Section includes the following types of automatic door operators: Exterior and interior, automatic door operators, low energy, with bottom load headers and surface or concealed mounting.

1.02 REFERENCES

General: Standards listed by reference, including revisions by issuing authority, form a part of this specification section to extent indicated. Standards listed are identified by issuing authority, authority abbreviation, designation number, title or other designation established by issuing authority. Standards subsequently referenced herein are referred to by issuing authority abbreviation and standard designation.

- A. Underwriters Laboratories (UL): UL 325–Standard for Door, Drapery, Gate, Louver, and Window Operators and Systems.
- B. American National Standards Institute (ANSI)/Builders' Hardware Manufacturers Association (BHMA):
1. ANSI/BHMA A156.10: Standard for Power Operated Pedestrian Doors.
 2. ANSI/BHMA A156.19: Standard for Power Assist and Low Energy Power Operated Doors.
- C. American Society for Testing and Materials (ASTM):
1. ASTM B221–Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes.
 2. ASTM B209–Standard Specifications for Aluminum and Aluminum-Alloy Sheet and Plate.
- D. Builders' Hardware Manufacturers Association (BHMA): BHMAA156.10–Standard for Power Operated Pedestrian Door.
- E. American Association of Automatic Door Manufacturers (AAADM).
- F. National Fire Protection Association (NFPA):
1. NFPA 101–Life Safety Code.
 2. NFPA 70–National Electric Code.
- G. International Conference of Building Officials (ICBO): UBC 1997: Uniform Building Code.
- H. California Department of Forestry and Fire Protection, Office of the State Fire Marshall.
- I. International Standards Organization (ISO): ISO 9001–Standard for Manufacturing Quality Management Systems.

- J. National Association of Architectural Metal Manufacturers (NAAMM): Metal Finishes Manual for Architectural and Metal Products.
- K. American Architectural Manufacturers Association (AAMA):
 - 1. AAMA 607.1–Clear Anodic Finishes for Architectural Aluminum.
 - 2. AAMA 611 Voluntary Specification for Anodized Architectural Aluminum.

1.03 DEFINITIONS

- A. Activation Device: Device that, when actuated, sends an electrical signal to the door operator to open the door.

1.04 PERFORMANCE REQUIREMENTS

- A. Provide automatic door operators capable of withstanding loads and thermal movements based on testing manufacturer's standard units in assemblies similar to those indicated for this Project.
- B. Operating Range: Minus 30°F (Minus 34°C) to 130°F (54°C).
- C. Opening-Force Requirements for Egress Doors: In the event power failure to the operator, swinging automatic entrance doors shall open with a manual force, not to exceed 30 lbf (133 N) applied at 1 inch (25 mm) from the latch edge of the door.
- D. Break Away Requirements: Automatic door operators shall breakaway with no more than 50 lbf (222 N) applied at 1 inch (25 mm) from the latch edge of the door.
- E. Door Energy: The kinetic energy of a door in motion shall not exceed 1.25 lbf-ft (1.69 Nm).
- F. Closing Time:
 - 1. Doors shall be field adjusted to close from 90 degrees to 10 degrees in 3 seconds or longer.
 - 2. Doors shall be field adjusted to close from 10 degrees to fully closed in not less than 1.5 seconds.

1.05 SUBMITTALS

- A. Submit listed submittals in accordance with Conditions of the Contract and Division 01 submittal procedures.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware mounting heights, and attachments to other work. Indicate wiring for electrical supply.
- C. Color Samples for selection of factory-applied color finishes.
- D. Closeout Submittals: Provide the following with project close-out documents.
 - 1. Owner's Manual.
 - 2. Warranties.

1.06 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized representative, with certificate issued by AAADM, who is trained for installation and maintenance of units required for this Project.
- B. Manufacturer Qualifications: A qualified manufacturer with a manufacturing facility certified under ISO 9001 and with company certificate issued by AAADM.
- C. Certifications: Automatic door operators shall be certified by the manufacturer to meet performance design criteria in accordance with the following standards:
 - 1. ANSI A156.10.
 - 2. NFPA 101.
 - 3. UL 325 Listed (Fire Door Operator).
 - 4. ICBO (UBC Standard 10-1).
 - 5. California Department of Forestry and Fire Protection, Listed.
- D. Source Limitations: Obtain automatic door operators through one source from a single manufacturer.
- E. Product Options: Drawings indicate sizes, profiles, and dimensional requirements of automatic door operators and are based on the specific system indicated. Refer to Division 01 Section "Product Requirements."
- F. Power Operated Door Standard: ANSI/BHMA A156.19.
- G. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.
- H. Emergency-Exit Door Requirements: Comply with requirements of authorities having jurisdiction for swinging automatic entrance doors serving as a required means of egress.

1.07 PROJECT CONDITIONS

- A. Field Measurements: General Contractor shall verify openings to receive automatic door operators by field measurements before fabrication and indicate measurements on Shop Drawings.
- B. Mounting Surfaces: General Contractor shall verify all surfaces to be plumb, straight and secure; substrates to be of proper dimension and material.
- C. Other trades: General Contractor Advise of any inadequate conditions or equipment.

1.08 COORDINATION

- A. Templates: Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing automatic door operators to comply with indicated requirements.
- B. Electrical System Roughing-in: Coordinate layout and installation of automatic door operators with connections to, power supplies and remote activation devices.

- C. System Integration: Integrate automatic door operators with other systems as required for a complete working installation.
 1. Provide electrical interface control capability for card reader or keypad operation of automatic door operators on doors with electric locking.
 2. Where required for proper operation, provide a time relay to signal automatic door operator to activate only after electric lock system is released.

1.09 WARRANTY

- A. Automatic door operators shall be free of defects in material and workmanship for a period of one year from the date of substantial completion.
- B. During the warranty period OWNER shall engage a factory-trained technician to perform service and affect repairs. A safety inspection shall be performed after each adjustment or repair and a completed inspection form shall be submitted to OWNER.
- C. During the warranty period all warranty work, including but not limited to emergency service, shall be performed during normal working hours.

PART 2-PRODUCTS

2.01 AUTOMATIC DOOR OPERATORS

- A. Manufacturer: Stanley Access Technologies; M-Force™ Series automatic door operator.

2.02 MATERIALS

- A. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 1. Headers: 6063-T6.
 2. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221.
 3. Sheet and Plate: ASTM B 209.

2.03 COMPONENTS

- A. Header Case: Header case shall not exceed 4 1/2-inch by 6-inch (114 mm) in section and shall be fabricated from extruded aluminum designed to conceal door operators and controls. The operator shall be sealed against dust, dirt, and corrosion within the header case. Access to the operator and electronic control box shall be provided from the bottom by a removable cover. Removable cover shall be secured in place by screws.
- B. Door Arms: Door arms shall be manufacturer's standard units designed specifically for use with automatic door operators provided.
 1. Visible Arms: A combination of door arms and linkage shall provide positive control of door through entire swing; units shall permit use of butt hung, center pivot, and offset pivot-hung doors.
 2. Concealed Arms: A single straight arm, designed for top mounting in door panel, shall provide positive control of door through entire swing; units shall be specifically designed for use on center pivot doors.

- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, non-staining, non-bleeding fasteners and accessories compatible with adjacent materials.
- D. Signage: Provide signage in accordance with ANSI/BHMAA156.19.

2.04 SWINGING DOOR OPERATORS

- A. Provide door operators of size recommended by manufacturer for door size, weight, and movement; for condition of exposure; and for long-term, maintenance-free operation under normal traffic load for type of occupancy indicated.
- B. Electromechanical Operators: Self-contained unit powered by a minimum 3/16 horsepower, permanent-magnet DC motor; through a high torque reduction gear system.
 - 1. Operation: Power opening and spring closing.
 - 2. Operator Type: Low energy; readily convertible to full energy; no tools required to change type.
 - 3. Handing: Non-handed; no tools required to change handing.
 - 4. Capacity: Rated for door panels weighing up to 350 pounds.
 - 5. Mounting: Surface applied or concealed as indicated.
 - 6. Features:
 - a. Adjustable opening and closing speeds.
 - b. Adjustable opening and closing force.
 - c. Adjustable back-check.
 - d. Adjustable hold-open time between 0 and 30 seconds.
 - e. Reverse on obstruction.
 - f. Variable rate open/closed speed control.
 - g. Closed loop speed control with active braking and acceleration.
 - h. Variable obstruction recycle time delay.
 - i. Optional Switch to open/Switch to close operation.
 - j. When operators are provided in pairs, adjustable features are independently adjustable for each operator.
- C. Field Adjustable Spring Closing Operation: The operator shall close the door by spring energy employing the motor, as a dynamic brake to provide closing speed control. The closing spring shall be a helical compression spring, adjustable for positive closing action. The spring shall be adjustable, without removing the operator from the header, to accommodate a wide range of field conditions.
- D. Independent Adjustable Closing and Latching Speed Control: The operator shall employ a rheostat module to allow for independent field adjustment of closing and latching speeds using the motor as a dynamic brake.
- E. Field Adjustable Open Stop: The operator shall provide a field adjustable open stop to accommodate opening angles from 80 to 135 degrees without the need for additional components.
- F. Consistent Cycle: The operator shall deliver an even, consistent open manual push force across the entire transition from door fully closed to door fully open. Additionally, the force shall be field adjustable to accommodate a wide range of on-site conditions.
- G. Quiet Performance: The operator shall be designed to output audible noise ratios less than or equal to 50 dba.

- H. Manual Use: The operator shall function as a manual door closer in the direction of swing with or without electrical power. The operator shall deliver an even, consistent open force across the entire transition from door fully closed to door fully open, except as restricted by platform lift controls.
- I. Electrical service to door operators shall be provided under Division 26 Electrical. Minimum service to be 120 VAC, 10 amps for doors with operators in pairs, 5 amps for single doors.

2.05 ELECTRICAL CONTROLS

- A. Electrical Control System: Electrical control system shall include a microprocessor controller and a high-resolution position encoder. The encoder shall monitor revolutions of the operator shaft and send signals to microprocessor controller to define door position. Systems utilizing external magnets and magnetic switches are not acceptable.
- B. Life Cycle Data Counter: The microprocessor control shall incorporate a nonresettable counter to track door operation cycles.
- C. Controller Protection: The microprocessor controller shall incorporate the following features to provide trouble free operation:
 1. Automatic Reset Upon Power Up.
 2. Main Fuse Protection.
 3. Electronic Surge Protection.
 4. Internal Power Supply Protection.
 5. Resettable sensor supply fuse protection.
 6. Software "Watchdog" protection in the case of software malfunction.
- D. Push Button Interface with LED: The controller shall have push button switches with LED readout to allow for selection or change of the following parameters: carpet or timer logic, single or dual door, activation options, normal back check or large back check, push-to-open assist on/off.
- E. Soft Start/Stop: A "soft-start" "soft-stop" motor driving circuit shall be provided for smooth normal opening and recycling.
- F. Safety Search Circuitry: Provide system to recycle the swinging panels when an obstruction is encountered during the closing cycle. If an obstruction is detected, the system shall search for that object on the next closing cycle by reducing door closing speed prior to the previously encountered obstruction location and will continue to close in check speed until doors are fully closed, at which time the doors will reset to normal speed. If obstruction is encountered again, the door will come to a full stop. The doors shall remain stopped until obstruction is removed and operate signal is given, resetting the door to normal operation.
- G. Programmable Controller: Microprocessor controller shall be programmable and shall be designed for connection to a local configuration tool. Local configuration tool shall be software driven and shall be utilized via Palm® handheld interface. The following parameters may be adjusted via the configuration tool.
 1. Operating speeds and forces as required to meet ASNI/BHMA A156.10.
 2. Adjustable and variable features as specified in Paragraph 2.04.B.6.
 3. Firmware update.
 4. Trouble shooting.
 - a. I/O Status.

- b. Electrical component monitoring including parameter summary.
 - 5. Entrance profile copy/paste.
 - 6. Software for local configuration tool shall be available as a free download from the automatic door operators' manufacturer's internet site.
- H. Emergency Breakout Switch: A cam actuated emergency breakout switch shall be provided to disconnect power to the motor when an in-swinging door is manually pushed in the emergency out direction. The operator will then automatically reset and power will be resumed.
- I. Control Switch: Automatic door operators shall be equipped with a three position function switch to control the operation of the door. Control switch shall provide three modes of operation, Automatic, Off, and Hold-Open.
- J. Power Switch: Automatic door operators shall be equipped with a two position On/Off switch to control power to the door.

2.06 ALUMINUM FINISHES

- A. Comply with NAAMM Metal Finishes Manual for Architectural and Metal Products for recommendations for applying and designing finishes. Finish designations prefixed by AA comply with system established by Aluminum Association for designing finishes.
- B. Class II, Clear Anodic Finish: AA-M12C22A31 Mechanical Finish: as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class II, clear coating 0.40 mils minimum complying with AAMA 611-98, and the following
 - 1. AAMA 607.1.
 - 2. Applicator must be fully compliant with all applicable environmental regulations and permits, including wastewater and heavy metal discharge.

PART 3-EXECUTION

3.01 INSPECTION

- A. Examine conditions, with Installer present, for compliance with requirements for installation tolerances, header support, and other conditions affecting performance of swinging automatic entrance doors. Proceed with installation only after unsatisfactory conditions have been corrected.

3.02 INSTALLATION

- A. Do not install damaged components. Fit joints to produce hairline joints free of burrs and distortion. Rigidly secure non-movement joints.
- B. Mounting: Install automatic door operators/headers plumb and true in alignment with established lines and grades. Anchor securely in place.
 - 1. Install surface-mounted hardware using concealed fasteners to greatest extent possible.
 - 2. Set headers, arms and linkages level and true to location with anchorage for permanent support.

- C. Door Operators: Connect door operators to electrical power distribution system as specified in Division 26 Sections.
- D. Sealant: Comply with requirements specified in Section 07 90 00–Caulking and Sealants to provide weather tight installation.

3.03 FIELD QUALITY CONTROL

- A. Testing Services: Factory Trained Installer shall test and inspect each swinging automatic entrance door to determine compliance of installed systems with applicable ANSI standards.

3.04 ADJUSTING

- A. Adjust door operators, controls, and hardware for smooth and safe operation, for weather tight closure, and complying with requirements in ANSI/BHMA A156.19 by AAADM Certified Technician.

3.05 CLEANING AND PROTECTION

- A. Clean surfaces promptly after installation. Remove excess sealant compounds, dirt, and other substances. Repair damaged finish to match original finish.

END OF SECTION



**PROPOSAL
WORKSHEET SUMMARY**

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 48 - Rev 2

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 4/13/2026
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

WORK DESCRIPTION
1) Aeration Tank Cleaning including removal of PVC Diffusers
2) Anaerobic Tank Cleaning (2 Tanks)
3) Mobilization

Line No	Cost Description	Labor Amt	Material Amt	Equip & Other Amt	Sub-Contractor Amt	Sub-Total
1	Stewart Spreading - See Attached - Aeration Tank				\$ 181,760.00	\$ 181,760.00
2	Stewart Spreading - See Attached - Anaerobic Tank				\$ 18,200.00	\$ 18,200.00
3	Stewart Spreading - See Attached - Mobilization (\$7500 x 2 trips)				\$ 15,000.00	\$ 15,000.00
4	Vissering Construction - VCC Labor to Coordinate Work	\$ 4,480.00				\$ 4,480.00
5						\$ -
6						\$ -
7						\$ -
8						\$ -
9						\$ -
10						\$ -
11						\$ -
12						\$ -
13						\$ -
14						\$ -
15						\$ -
16						\$ -
17						\$ -
18						\$ -
19						\$ -
20						\$ -
21						\$ -
22						\$ -
23						\$ -
24						\$ -
25						\$ -
Sub-Total		\$ 4,480.00	\$ -	\$ -	\$ 214,960.00	\$ 219,440.00

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill

Name/Title: Gary Richardson, Public Works Director
Signature: _____
Date: _____

Contractor's Net: \$ 4,480.00
Sub-Contractor's Net: \$ 214,960.00
Net Subtotal: \$ 219,440.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits): \$ 11,420.00
Sub-Total: \$ 230,860.00
Bonds & Insurance - 1%: \$ 2,308.60
Worksheet Total: \$ 233,169.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.

Name/Title: Dominic Gattone, PE
Signature: _____
Date: _____

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO

Name/Title: Tony Marzetta, Project Manager
Signature: _____
Date: December 1, 2025



April 13, 2026

Vissering Construction
175 Benchmark Industrial Drive
Streator, IL 61364
Attention: Mr. Tony Marzetta

RE: PROPOSAL FOR CREST HILL 8-AERATION AND 2-ANAEROBIC TANK CLEANINGS AND DISPOSAL

Stewart Spreading will provide:

- Mobilization and demobilization of trained personnel and required equipment to and from Crest Hill Plant for safety conscious operations;
- All labor, equipment & technical expertise necessary for cleaning of tanks;
- Residuals removal, loading into Stewart Spreading's trailers for transportation to an appropriate landfill or land application site for final disposal;
- Cut and Remove PVC Aeration Diffusers from Aeration Tanks. PVC Diffusers will be removed during cleaning operations and is included in lump sum pricing. *Note: Does not include brackets. Disposal of PVC Aeration Diffusers to be provided by Vissering Construction.*
- Includes basic wash down / cleaning of Digesters and Aeration tank interiors with booster pump, hydrant water provided by Crest Hill WWTP. Remaining wash water that cannot be pumped out will be vacuumed out. *Note: Basic interior tank wash down included is the same level of cleaning that we always provide but does not include pressure washing.*
- Paying the landfill tipping fees for Aeration tank contents that has been dewatered;
- Provide generator required for tank cleaning operations;
- Land application of liquid biosolids will be invoiced to Crest Hill at the their current Biosolids agreement rates;
- Land application will be according to IEPA, USEPA & IEMA regulations and following agricultural timelines;
- All proper licensing, safety certifications and insurance documentation;
- Provide operation reports that meet IEPA regulations;
- Provide certificate of insurance with additionally insured endorsement for the duration of the project;
- Appropriately documented invoice within 30 days of completion.

Vissering Construction / Crest Hill will provide:

- Safely secured continuous plant access for tank cleaning operations;
- Water from hydrant at 60 psi & 60 GPM within 100' of the work area;
- A return for filtrate within 100' of the work area;
- Disposal of PVC diffusers;
- Land application of liquid biosolids from digesters will be invoiced to Crest Hill at the their current Biosolids agreement/contract rates;
- Payment of invoice within 30 days of project completion.
- Provide required testing, permits and landfill profile;
- A 2% monthly fee for all payments received beyond 30 days of invoice;



Proposal Pricing:

Aeration Tank Cleaning (includes removal of PVC Diffusers) \$181,760.00 Lump Sum

- Aeration tanks cleaning (8-Tanks) includes volume of up to 3', if volume exceeds 3, overage will be invoiced at \$1.42 per gallon.

Anaerobic Tank Cleaning (2-Tanks) \$18,200.00 Lump Sum

- Anaerobic tanks include volume up to 13,000 gallons total, if volume exceeds 13,000 gallons, overage will be invoiced at \$1.40 per gallon.
- Land application of liquid biosolids will be invoiced to Crest Hill at the their current Biosolids agreement/contract rates.

Mobilization \$7,500.00 per mobilization

Notes:

- During Aeration Tank Cleaning, PVC Diffusers will be removed and is included in the lump sum pricing. *Note: Does not include removal of the brackets or disposal of PVC diffusers;*
- The 2 Digesters and 8 Aeration tank cleaning pricing includes basic wash down / cleaning with a booster pump. hydrant water to be provided by Crest Hill WWTP. Remaining wash water that cannot be pumped out will be vacuumed out. *Note: Basic interior tank wash down included is the same level of cleaning that we always provide but does not include pressure washing.*
- Aeration and digester tank volumes will be measured prior to beginning of tank cleaning operations. All parties will mutually agree upon the tank volume and sign off on the content sheet.
- Rates are based on work being performed Monday – Friday, during normal working hours.
- Proposal is valid for 10 days.

Please let us know if there are any questions.

ACCEPTED BY:
Stewart Spreading, Inc.

Greg Halmagyi

Greg Halmagyi, Bus. Div. Mgr. 4/13/2026

Name/Title Date

Approved By:
Vissering Construction

_____ Date



Cost Proposal Request
West Sewage Treatment Plant Improvements
City of Crest Hill, Illinois
Contract 1-2022
January 28, 2026

Item 1.

COST PROPOSAL NO.: 050

TO: Vissering Construction Company
ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager
Gary Richardson
Dominic Gattone, P.E.
Vissering Construction Company (Contractor)
City of Crest Hill, Illinois
Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request connect the PLW Pumping Skid Run-dry signal to the SCADA system. The Grundfos package system was supplied with a liquid level switch to provide run dry protection.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

26 09 00 - 3.05C

050-01 Add the following as ‘3.’:
“There is a low liquid level switch (LSL-C45-01) that shall shut down the motor in the event of a low level condition (“Hand” and “Auto” modes). Manual reset shall be required to restart the motor. Provide a hardwired time delay (0 to 5 seconds) to prevent nuisance tripping resulting from momentary power interruptions. Provide 120-volt fused power for the liquid level switch. Provide red pilot light on associated MCC bucket that shall be energized when the level switch is activated.”

DESCRIPTIONS AFFECTING THE DRAWINGS

C45-E1.01

050-02 Provide a NEMA 12 “PLW Liquid Level Switch Control Enclosure,” sized as needed, on adjacent wall for termination of level switch conductors. Splice manufacturer-recommended cable to manufacturer-furnished cable with Raychem D-1744 (NAS 1744) wire-to-wire splice to extend the wiring to enclosure in 3/4” conduit. Provide 24VDC power supply, overcurrent protection, and terminal blocks as required to provide 24VDC power to level switch and for termination of control conductors. Provide interposing relays as required to interface with 120VAC motor control wiring from MCC-C45. Enclosure shall be provided by 26 09 00 System Supplier.

050-03 Provide 4~#14 in 3/4” conduit from enclosure to MCC-C45 for shutdown signal and power wiring. Provide 2~#14 in 3/4” conduit from MCC-C45 to SCC-C45 for discrete input signal to PLC for liquid level switch shutdown signal.

**PROPOSAL
WORKSHEET SUMMARY**

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 050

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 3/5/2026
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

WORK DESCRIPTION
Per CPR 050 - PLW Pump Run Dry Protection

Line No	Cost Description	Labor Amt	Material Amt	Equip & Other Amt	Sub-Contractor Amt	Sub-Total
1	CONNELLY ELECTRIC				\$ 5,286.00	\$ 5,286.00
2	WUNDERLICH-MALEC				\$ 6,250.00	\$ 6,250.00
3						\$ -
4						\$ -
5						\$ -
6						\$ -
7						\$ -
8						\$ -
9						\$ -
10						\$ -
11						\$ -
12						\$ -
13						\$ -
14						\$ -
15						\$ -
16						\$ -
17						\$ -
18						\$ -
19						\$ -
20						\$ -
21						\$ -
22						\$ -
23						\$ -
24						\$ -
25						\$ -
Sub-Total		\$ -	\$ -	\$ -	\$ 11,536.00	\$ 11,536.00

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill
Name/Title: Gary Richardson, Public Works Director
Signature: _____
Date: _____

Contractor's Net: \$ -
Sub-Contractor's Net: \$ 11,536.00
Net Subtotal: \$ 11,536.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits): \$ 576.80
Sub-Total: \$ 12,112.80
Bonds & Insurance - 1%: \$ -
Worksheet Total: \$ 12,113.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.
Name/Title: Dominic Gattone, PE
Signature: _____
Date: _____

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO
Name/Title: Tony Marzetta, Project Manager
Signature: _____
Date: March 5, 2026



Cost Proposal Request
West Sewage Treatment Plant Improvements
City of Crest Hill, Illinois
Contract 1-2022
January 28, 2026

Item 1.

COST PROPOSAL NO.: 050

TO: Vissering Construction Company
ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager
Gary Richardson
Dominic Gattone, P.E.
Vissering Construction Company (Contractor)
City of Crest Hill, Illinois
Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request connect the PLW Pumping Skid Run-dry signal to the SCADA system. The Grundfos package system was supplied with a liquid level switch to provide run dry protection.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

26 09 00 - 3.05C

050-01 Add the following as '3.':
"There is a low liquid level switch (LSL-C45-01) that shall shut down the motor in the event of a low level condition ("Hand" and "Auto" modes). Manual reset shall be required to restart the motor. Provide a hardwired time delay (0 to 5 seconds) to prevent nuisance tripping resulting from momentary power interruptions. Provide 120-volt fused power for the liquid level switch. Provide red pilot light on associated MCC bucket that shall be energized when the level switch is activated."

DESCRIPTIONS AFFECTING THE DRAWINGS

C45-E1.01

050-02 Provide a NEMA 12 "PLW Liquid Level Switch Control Enclosure," sized as needed, on adjacent wall for termination of level switch conductors. Splice manufacturer-recommended cable to manufacturer-furnished cable with Raychem D-1744 (NAS 1744) wire-to-wire splice to extend the wiring to enclosure in 3/4" conduit. Provide 24VDC power supply, overcurrent protection, and terminal blocks as required to provide 24VDC power to level switch and for termination of control conductors. Provide interposing relays as required to interface with 120VAC motor control wiring from MCC-C45. Enclosure shall be provided by 26 09 00 System Supplier.

050-03 Provide 4~#14 in 3/4" conduit from enclosure to MCC-C45 for shutdown signal and power wiring. Provide 2~#14 in 3/4" conduit from MCC-C45 to SCC-C45 for discrete input signal to PLC for liquid level switch shutdown signal.



40 S. Addison Rd.
Addison, IL 60101

CHANGE NOTICE

Item 1.

Connelly CCN # 028
Field Ticket #
Date: 2/17/2026
Project Name: Crest Hill WWTP - West Sewage Treatment Plant
Project Number: 22-0686
Page Number: 1

Client Address:

Vissering Construction

1631 Gaylord Rd.
Crest Hill, IL 60403
Telephone: 815.673.5511
Contact: Tony Marazetta

Site Address:

Vissering Construction

Contact: Tony Marazetta
1631 Gaylord Rd.
Crest Hill, IL 60403

Work Description

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
 This price is good for acceptance within **10** days from the date of receipt.
 We request a time extension of **3** days.
 We will supply and install all materials, labor, and equipment as per your instructions on **Connelly CCN # 028**.

Description:

This CCN was generated in response to the distribution of CPR050 which involved the connection of the PLW Pumping Skid Run-dry signal to the SCADA system.

Itemized Breakdown

Description	Qty	Total Mat.	Total Hrs.
3/4" GRC (GALV)	100	434.71	6.00
3/4" GRC MYERS HUB	4	17.34	1.80
3/4" GRC COUPLING	10	31.03	0.17
3/4" GRC 90 ELBOW	3	27.76	1.20
3/4" 1-H MALL STRAP	20	38.61	0.80
3/4" MINERLC/BOLT	20	19.01	5.00
3/4" LT FLEX	3	9.54	0.15
3/4" LT STRAIGHT CONN	3	11.22	0.54
#14 THHN	500	108.95	2.50
CABLE TAG	1	14.30	1.00
FD 1GANG BOX	1	27.22	0.70
BOX SUPP HOLD-ITS #977	2	8.13	0.50
Install Enclosure, FBO	1	0.00	4.00
Connect to Instrument Panel	1	0.00	2.00
Connect to SCADA Cabinet	1	0.00	2.00
Splice to MFR-furnished cable	1	0.00	1.00
Totals	671	747.82	29.36

Summary

MATERIAL

General Materials

747.82

Material Total

Foreman

(14.68 Hrs @ \$133.77)

747.82

Journeyman

(14.68 Hrs @ \$127.07)

1,86

147

CHANGE NOTICE

Site Address:

Vissering Construction
1631 Gaylord Rd.
Crest Hill, IL 60403

Connelly CCN # 028
Field Ticket #
Date: 2/17/2026
Project Name: Crest Hill WWTP - West Sewage Treatment Pla
Project Number: 22-0686
Page Number: 2

Summary (Cont'd)		
Overhead	(@ 10.000 %)	457.70
Markup	(@ 5.000 %)	251.73
Subtotal		5,286.38
Final Amount		\$5,286.38



March 5, 2026

Project Name: West Sewage Treatment Plant Improvements

Project Location: City of Crest Hill, Illinois

Consulting Engineer: Strand Associates, Inc

WME Change Order – 12 Rev B

Vissering Construction
Tony Marzetta - tmarzetta@vissering.com
Project 11108.00

Reference: CPR050 PLW Pumping Skid
Note: Reduced to (1) LSL per return comments.

Wunderlich-Malec Environmental is pleased to offer the following add proposal.

Total price for the Add is \$6,250.00 Net Excluding Tax

Enhancement Hours Requested for the Programming Changes: 2

Breakout
See Attached

This proposal consists of two (2) pages. If you have any questions regarding this proposal, please do not hesitate to contact me at 952-843-5846

Yours Truly,

Ken Kawiecki

SIGNED ELECTRONICALLY

Ken Kawiecki
ken.kawiecki@wmeng.com
Wunderlich-Malec Environmental
"Employee Owned, Customer Committed"

EEO/Affirmative Action Employer

Change Order 12						
COMPONENT	MFR	MODEL	QTY	COST	TOTAL	Note
Hinge Enclosure	Hoffman	A1412CHQR	1	\$215.00	\$215.00	
Hinge Enclosure Sub Panel	Hoffman	A14P12	1	\$12.00	\$12.00	
Circuit Breaker - 5 Amp	AB	1489-M1C050	1	\$34.00	\$34.00	
Power Supply	AB	1606-XLS15E	1	\$50.00	\$50.00	
Relay	AB	700-HK32D24-4	1	\$13.00	\$13.00	
Relay Base	AB	700-HN122	1	\$6.00	\$6.00	
Timer	Idec	GT5Y-4	1	\$60.00	\$60.00	
Timer Base	Idec		1	\$6.00	\$6.00	
Fues Holder	AB	1492-H5	1	\$8.00	\$8.00	
Fuse	Bussmann	MDL4	1	\$5.00	\$5.00	
Terminals	AB	1492-J3	12	\$0.40	\$4.80	
Ground Bar	Square D	PK9TGA	1	\$15.00	\$15.00	
Shop Stock	WME	Multiple	1	\$50.00	\$50.00	
MCC Additions						
Red Light	AB	800H-PTHR16R	1	\$30.00	\$30.00	
Contract Block	AB	800T-XA2	1	\$14.00	\$14.00	
Relay	AB	700-HK32A1-4	1	\$15.00	\$15.00	
Relay Base	AB	700-HN122	1	\$6.00	\$6.00	
TOTAL					\$522.80	
					\$78.42	15% Markup
					Sub Total Material Sell	\$601.22
Freight (Inbound / Outbound)			1	\$150.00	\$150.00	
Project Mangement		03 13	5	\$185.00	\$925.00	
Engineering		03 11	8	\$160.00	\$1,280.00	
CAD		03 21	8	\$105.00	\$840.00	
Production		02 51	8	\$105.00	\$840.00	
Test		02 61	2	\$105.00	\$210.00	
Programming - PLC - See Below		03 31	0	\$160.00	\$0.00	
Programming - OIT / SCADA - See Below		03 41	0	\$160.00	\$0.00	
Field Modifications		03 71	8	\$140.00	\$1,120.00	
Startup		03 71	2	\$140.00	\$280.00	
					Labor Sell	\$5,495.00
Total (Equipment, Labor, Expenses)					\$6,246.22	
Enhancement Request			Hours			
Programming - PLC and SCADA			2			



Cost Proposal Request
 West Sewage Treatment Plant Improvements
 City of Crest Hill, Illinois
 Contract 1-2022
 February 5, 2026

COST PROPOSAL NO.: 048

TO: Vissering Construction Company
 ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager	Vissering Construction Company (Contractor)
Gary Richardson	City of Crest Hill, Illinois
Dominic Gattone, P.E.	Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to eliminate connection to the East Sewage Treatment Plant SCADA System and its Historian server over the City/Comcast ENS network.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

Section 26 09 01 SCADA Programming

048-01 Provide a rack-mounted server for use as a local historian server. Server shall be installed in the Structure 70 network rack and powered from the UPS furnished with the rack. Server shall be Dell PowerEdge with the following minimum specifications:

Single 16-core processor, 32-thread
 BOSS with RAID 1 configuration, minimum 256G
 Separate RAID 5 storage volume, minimum 3TB, space for minimum 3 solid-state drives
 Minimum 64 GB RAM
 Chassis with space for 8 drives
 iDRAC with out of band hardware management platform and remote troubleshooting
 6 NICs
 Windows Server 2025 OS with downgrade license keys for 2019 & 2022 OS's
 5-year support contract

Submit server selection for review by Engineer before ordering. The server shall be configured for the following VMs: Domain Controller, Demilitarized Zone (DMZ), Historian, and Access Anywhere. Server configuration shall be reviewed with Engineer once server is received (assume 2 hour meeting).

048-02 Subsection 2.01 SCADA System Computers and Software -E.3.j - Delete "Remote IDAS to Connect to Existing East STP Historian Server" from the Table 2.01 SCADA Computer Software Schedule. Add a 5,000-tag Historian Server license (to be installed on the new West STP Historian Server VM described above) and Historian Client licenses on each of the SCADA1, SCADA2, and SCADA4 desktop computers.

048-03 Subsection 2.01 SCADA System Computers and Software -E.3.j - Provide an InTouch AccessAnywhere Application Server and one read/write InTouch runtime license on the new West STP Access Anywhere Server VM described above. Provide an AccessAnywhere Gateway on the new West STP DMZ Server VM described above.

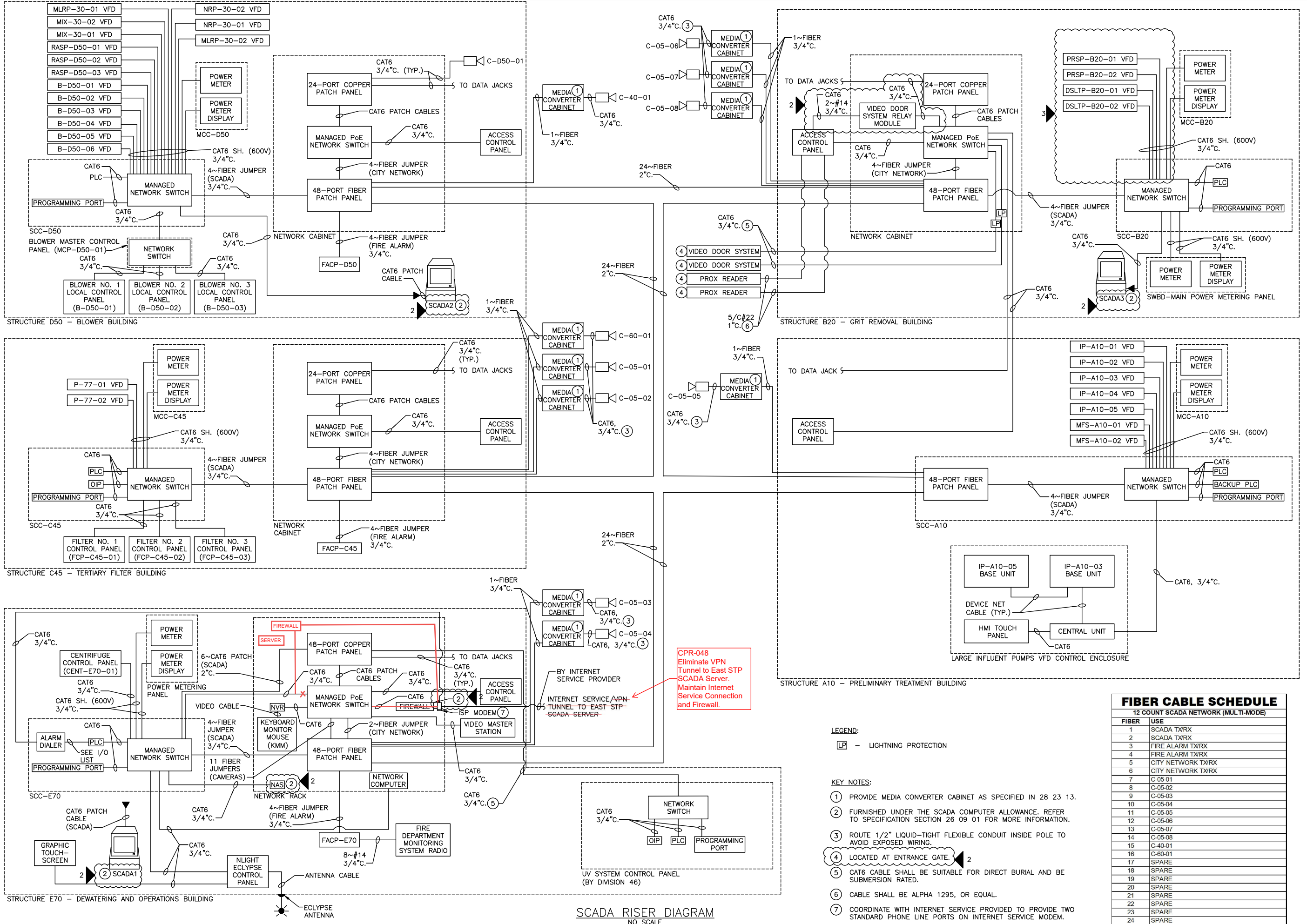


048-04 Subsection 2.01 SCADA System Computers and Software - G. Delete entire Paragraphs 2 and 3.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing 99-E6.03 - Electrical SCADA Riser Diagram

048-05 See attached mark-up.



SCADA RISER DIAGRAM
NO SCALE

CPR-048
Eliminate VPN
Tunnel to East STP
SCADA Server.
Maintain Internet
Service Connection
and Firewall.

LEGEND:

- LP - LIGHTNING PROTECTION
- KEY NOTES:
 - 1 PROVIDE MEDIA CONVERTER CABINET AS SPECIFIED IN 28 23 13.
 - 2 FURNISHED UNDER THE SCADA COMPUTER ALLOWANCE. REFER TO SPECIFICATION SECTION 26 09 01 FOR MORE INFORMATION.
 - 3 ROUTE 1/2" LIQUID-TIGHT FLEXIBLE CONDUIT INSIDE POLE TO AVOID EXPOSED WIRING.
 - 4 LOCATED AT ENTRANCE GATE.
 - 5 CAT6 CABLE SHALL BE SUITABLE FOR DIRECT BURIAL AND BE SUBMERSION RATED.
 - 6 CABLE SHALL BE ALPHA 1295, OR EQUAL.
 - 7 COORDINATE WITH INTERNET SERVICE PROVIDED TO PROVIDE TWO STANDARD PHONE LINE PORTS ON INTERNET SERVICE MODEM.

FIBER CABLE SCHEDULE

12 COUNT SCADA NETWORK (MULTI-MODE)	
FIBER	USE
1	SCADA TX/RX
2	SCADA TX/RX
3	FIRE ALARM TX/RX
4	FIRE ALARM TX/RX
5	CITY NETWORK TX/RX
6	CITY NETWORK TX/RX
7	C-05-01
8	C-05-02
9	C-05-03
10	C-05-04
11	C-05-05
12	C-05-06
13	C-05-07
14	C-05-08
15	C-40-01
16	C-60-01
17	SPARE
18	SPARE
19	SPARE
20	SPARE
21	SPARE
22	SPARE
23	SPARE
24	SPARE

NO.	REVISIONS	ISSUED FOR	DATE
1	ISSUED FOR BID	5/12/2022	
2	CONFORMED DRAWINGS	12/1/2022	
3	CHANGE ORDER NO. 1	X/3/2023	

ELECTRICAL
SCADA RISER DIAGRAM
 WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
 CITY OF CREST HILL
 WILL COUNTY, ILLINOIS

JOB NO.
 3894.051
PROJECT MGR.
 DOMINIC GATTONE





**PROPOSAL
WORKSHEET SUMMARY**

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 051

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 2/24/2026
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

WORK DESCRIPTION
RF051 - Historian License

Line No	Cost Description	Labor Amt	Material Amt	Equip & Other Amt	Sub-Contractor Amt	Sub-Total
1	WUNDERLICH-MALEC				\$ 52,520.00	\$ 52,520.00
2						\$ -
3						\$ -
4						\$ -
5						\$ -
6						\$ -
7						\$ -
8						\$ -
9						\$ -
10						\$ -
11						\$ -
12						\$ -
13						\$ -
14						\$ -
15						\$ -
16						\$ -
17						\$ -
18						\$ -
19						\$ -
20						\$ -
21						\$ -
22						\$ -
23						\$ -
24						\$ -
25						\$ -
Sub-Total		\$ -	\$ -	\$ -	\$ 52,520.00	\$ 52,520.00

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill

Name/Title: Gary Richardson, Public Works Director

Signature: _____

Date: _____

Contractor's Net:	\$ -
Sub-Contractor's Net:	\$ 52,520.00
Net Subtotal:	\$ 52,520.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits):	\$ 2,626.00
Sub-Total:	\$ 55,146.00
Bonds & Insurance - 1%:	\$ -
Worksheet Total:	\$ 55,146.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.

Name/Title: Dominic Gattone, PE

Signature: _____

Date: _____

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO

Name/Title: Tony Marzetta, Project Manager

Signature: _____

Date: February 24, 2026



February 24, 2026

Project Name: West Sewage Treatment Plant Improvements

Project Location: City of Crest Hill, Illinois

Consulting Engineer: Strand Associates, Inc

WME Change Order – 13 Rev A

Vissering Construction
Tony Marzetta - tmarzetta@vissering.com
Project 11108.00

Reference: CPR048 Historian

Wunderlich-Malec Environmental is pleased to offer the following add proposal.

Total price for the Add is \$52,520.00 Net Excluding Tax

Enhancement Hours Requested for the Programming Changes: 24

Breakout
See Attached

Note: Downgrade Pack to 2019 is no longer available, WME is including the downgrade pack to 2002.

This proposal consists of eleven (11) pages. If you have any questions regarding this proposal, please do not hesitate to contact me at 952-843-5846

Yours Truly,

Ken Kawiecki

SIGNED ELECTRONICALLY

Ken Kawiecki
ken.kawiecki@wmeng.com
Wunderlich-Malec Environmental
"Employee Owned, Customer Committed"

EEO/Affirmative Action Employer

Prepared for:

Wunderlich-Malec Systems

Attn: Ken Kawiecki

Prepared by:

High Point Networks, LLC

Hardware

Qty	Item	Description	Price	Ext. Price
1	210-BNMR	PowerEdge R470 Server, Enterprise	\$16,662.32	\$16,662.32
1	210-BNMR	PowerEdge R470 Server, Enterprise		
1	321-BLDY	2.5" Chassis with up to 8 Hard Drives (SAS/SATA), Smart Flow, Rear IO, H965i		
1	338-CTBM	Intel Xeon 6 Performance 6511P 2.3G, 16C/32T, 72M Cache, Turbo, (150W) DDR5-6400		
1	412-BBKQ	Extended heatsink without DIMM blanks		
1	370-AAIP	Performance Optimized		
1	370-BCCX	6400MT/s RDIMMs		
1	780-BCDP	RAID 5		
1	403-BDMY	PERC H965i Controller, Front, DCMHS		
1	384-BBBL	Performance BIOS Settings		
1	800-BBDM	UEFI BIOS Boot Mode with GPT Partition		
1	387-BBEY	No Energy Star		
1	384-BDQL	PowerEdge 1U High Performance Silver Fan		
1	450-BDRV	Dual, Redundant(1+1), Hot-Plug MHS Power Supply, 800WMM(100-240Vac) Titanium		
1	330-BCWK	Riser Config 6, 2x16 FH Slots (Gen5), 1x16 Onboard OCP		
1	330-BCYF	PowerEdge R470 Motherboard fo RTS 1.1, ROW		
1	780-BCZQ	No OCP Blanks or Cables Required		
1	470-AEYU	No Cables Required		

Hardware

Qty	Item	Description	Price	Ext. Price
1	325-BFXF	PowerEdge 1U Standard Bezel		
1	350-BDDK	Dell Luggage Tag for x8 and x10 Chassis		
1	403-BDMM	BOSS-N1 controller card + with 2 M.2 480GB (RAID 1) (22x80)		
1	634-CVGB	Windows Server 2025 Standard,16CORE,FI,No Med,No CAL, Multi Language		
1	634-CSHS	Secure Enterprise Key Manager License 3.0		
1	634-CSHT	Secured Component Verification		
1	634-CSHY	iDRAC10, Enterprise 17G		
1	379-BFXS	Dell Connectivity Client - Enabled		
1	634-CZRP	Dell Connectivity Module 17G		
1	634-CZWJ	Dell Secure Onboarding Client 17G - Disabled		
1	350-BCYJ	Blank Left Ear Module		
1	379-BETF	iDRAC Legacy Password for OCP cards		
1	770-BDMT	Cable Management Arm		
1	770-BECD	ReadyRails Sliding Rails (A15)		
1	340-DNSW	PowerEdge Shipping		
1	340-DSBN	PowerEdge R470 Shipping		
1	340-DNSY	PowerEdge 1U Shipping Material		
1	389-FHHX	PowerEdge CCC, No CE Label Marking		
1	709-BBFM	Basic Next Business Day 36 Months		
1	865-BBMY	ProSupport and Next Business Day Onsite Service Initial, 36 Month(s)		
1	865-BBMZ	ProSupport and Next Business Day Onsite Service Extension, 24 Month(s)		
1	883-BBFN	No Field Deployment		
4	370-BCCY	32GB RDIMM, 6400MT/s, Dual Rank		
3	161-BCBX	2.4TB Hard Drive SAS ISE 12Gbps 10K 512e 2.5in Hot-Plug		

Hardware

Qty	Item	Description	Price	Ext. Price
2	450-AALV	Power Cord - NEMA 5-15P to C13, 3M, 125V, 15A (North America, Guam, North Marianas, Philippines, Samoa, Vietnam)		
1	540-BFPS	Broadcom 57412 Quad Port 10GbE Base-T adapter, OCP 3.0 NIC +Sec		
1	528-DHTW	Windows Server 2025 Standard,16CORE,DF Recovery Image, Multi Lang, (Downgrade not included)		
1	528-DHVD	Windows Server 2025 Standard,No Media,WS2022 Std Downgrade DF Media, Multi Language		
1	634-CVBQ	Windows Server 2025 Standard,No Media, WS2022 Std Downgrade w/DVD Media,Multi Lang		
1	634-CVGJ	Windows Server 2025 Standard,16CORE,Media Kit, Multi Lang, (Downgrade not included)		
1	634-CVFT	Windows Server 2025 Standard Edition, Add License,16CORE,NO MEDIA/KEY		
			Subtotal:	\$16,662.32

Quote Summary

Description	Amount
Hardware	\$16,662.32
Total:	\$16,662.32



PowerEdge R470

Unprecedented Single-Socket Server with Optimized Power and Balanced Performance

Boost Datacenter Efficiencies and Performance

The Dell PowerEdge R470 is a 1U, single-socket rack server engineered for high-performance computing with optimal power efficiency and balanced performance, driving cost savings and boosting data center productivity. Its advanced design maximizes rack utilization by offering more cores in a single socket enabling better performance in a smaller footprint while minimizing energy consumption. This makes it ideal for workloads like cloud scale web and app microservices, data services, virtualization, and scale-out database.

Purpose-built for enterprise and scalable infrastructures, the PowerEdge R470 seamlessly integrates into existing environments. Equipped with an Intel® Xeon® processor with E-cores that are tailored for energy efficiency and performance-per-watt, offering both improved power efficiency and higher rack density. With GPU support, it further enhances computational power while reducing overall operational costs, especially on energy consumption impact.

The server is available in rear I/O hot aisle and front I/O cold aisle configurations, with the front I/O cold aisle improving serviceability, reducing maintenance time, and enhancing overall efficiency, reliability, and uptime. Dell's Smart Power and Cooling Technology, optimized for air cooling, significantly reduces energy consumption, delivering long-term operational savings and supporting sustainability goals.

Cyber Resilient Architecture for Zero Trust IT environment & operations

Security is integrated into every phase of the PowerEdge lifecycle, including protected supply chain and factory-to-site integrity assurance. The Silicon-based root of trust anchors end-to-end boot resilience while Multi-Factor Authentication (MFA) and role-based access controls safeguard trusted operations.

Increase efficiency and accelerate operations with autonomous collaboration

The Dell OpenManage systems management portfolio tames the complexity of managing and securing IT infrastructure. Using Dell Technologies' intuitive end-to-end tools, IT can deliver a secure, integrated experience by reducing process and information silos in order to focus on growing the business. The Dell OpenManage portfolio is the key to your innovation engine, unlocking the tools and automation that help you scale, manage, and protect your technology environment.

Sustainability

From recycled materials in our products and packaging, to thoughtful, innovative options for energy efficiency, the PowerEdge portfolio is designed to make, deliver, and recycle products to help reduce the carbon footprint and lower your operation costs. We even make it easy to retire legacy systems responsibly with Dell Technologies.

Rest easier with Dell Technologies Services

Maximize your PowerEdge Servers with comprehensive services designed to meet you wherever you are. Accelerate time to value in achieving high AI use cases with **Professional Services for AI**, choose from tailored deployment options with the **ProDeploy Suite**, receive proactive and predictive support with our **ProSupport Suite**, and so much more with our services available across 170 locations and backed by our 60K+ employees and partners.

PowerEdge R470

The Dell PowerEdge R470 is powered by Intel Xeon 6 Processors, DDR5 Memory, NVMe BOSS, Energy Star compliant and advanced cooling.

Ideal for:

- Cloud scale web and app microservices
- Data services
- Virtualization
- Scale-out database

Feature	Technical Specifications	
Processor	One Intel® Xeon 6 E-core processor with up to 144 cores per processor or One Intel® Xeon 6 P-core processor with up to 86 Cores with R1S option	
Memory	<ul style="list-style-type: none"> • 16 DDR5 DIMM slot, supports RDIMM 4TB max, speeds up to 6400 MT/s • Intel® Xeon® 6 E-core processor - supports 1 TB max • Intel® Xeon® 6 P-core processor with up to 86 cores with R1S option - supports 4 TB max • Supports registered ECC DDR5 DIMMs only Note: The installed processor may reduce the operating speed of the DIMM	
Storage controllers	<ul style="list-style-type: none"> • Internal Controllers (RAID): PERC H365i DC-MHS, front PERC H965i DC-MHS, PERC H365i adapter, PERC H965i adapter • External Controllers: HBA465e, H965e(RAID) • Internal Boot: Boot Optimized Storage Subsystem (BOSS-N1 DC-MHS): HWRAID 1, 2 xM.2 NVMe SSDs, M.2 interposer with upto 2 x M.2 NVMe SSDs or USB 	
Drive Bays	Front bays: <ul style="list-style-type: none"> • Up to 8 x EDSFF E3.S Gen5 NVMe max 491.52 TB • Up to 16 x EDSFF E3.S Gen5 NVMe max 983.04 TB • Up to 8 x 2.5-inch SATA/NVMe max 491.52 TB • Up to 10 x 2.5 - inch SATA/NVMe (with 4 x 2.5 -inch universal) max 614.4 TB • Up to 4 x 3.5 - inch SATA max 128 TB (only supported with rear 2 x E3.S drives; not supported as standalone front-only configuration) Rear bays: <ul style="list-style-type: none"> • Up to 2 x EDSFF E3.S Gen5 NVMe max 122.88 TB 	
Power Supplies	<ul style="list-style-type: none"> • 800W Platinum/Titanium 100-240 VAC or 240 HVDC, hot swap redundant • 1100 W Platinum/Titanium 100-240 VAC or 240 HVDC, hot swap redundant • 1500 W Titanium 100-240 VAC or 240 HVDC, hot swap redundant • 1500 W 277 Vac and HVDC Titanium, hot swap redundant • 1400W -48v DC Titanium, hot swap redundant 	
Cooling Options	Air cooling	
Fans	<ul style="list-style-type: none"> • Up to 4 sets (dual fan module) hot swappable fans 	
Dimensions	<ul style="list-style-type: none"> • Height – 42.8 mm (1.69 inches) • Width – 482 mm (19.0 inches) • Depth – 816.92 mm (32.16 inches) with bezel • Depth – 815.14 mm (32.09 inches) without bezel • Depth (Front I/O Configuration) — 829.44 mm (32.09 inches) without bezel Note: Front I/O configuration will not have a bezel.	
Form Factor	1U rack server	
Embedded Management	<ul style="list-style-type: none"> • iDRAC • iDRAC Direct • iDRAC RESTfull API with redfish • RACADM CLI • iDRAC Service Module 	
Bezel	Optional security bezel	
Security	<ul style="list-style-type: none"> • Cryptographically signed firmware • Data at Rest Encryption (SEDs with local or external key mgmt) • Secure Boot • Secured Component Verification (Hardware integrity check) • Secure Erase • Silicon Root of Trust • System Lockdown (requires iDRAC10 Enterprise or Datacenter) • TPM 2.0 FIPS, CC-TCG certified • Chassis Intrusion Detection 	
OCP network options	<ul style="list-style-type: none"> • Up to two OCP NIC card 3.0: Two slots on the front or two slots on the rear (optional) Slot Numbers: 2,5,31,32	
Embedded NIC	<ul style="list-style-type: none"> • 1 Gb dedicated BMC Ethernet port 	
GPU Options	Up to 4 x 75 W SW	
DPU Options	NVIDIA BlueField-3 2 x 200 GbE B3220	
Ports	Front Ports <ul style="list-style-type: none"> • 1 x USB 2.0 Type - C port • 1 x USB 2.0 Type A port (optional) • 1 x Mini-DisplayPort (optional) • 1 x DB9 Serial (with front I/O configuration) • 1 x Dedicated BMC Ethernet port (with front I/O configuration) 	Rear Ports <ul style="list-style-type: none"> • 1 x Dedicated BMC Ethernet port • 2 x USB 3.1 Type A ports • 1 x VGA
	Internal Ports <ul style="list-style-type: none"> • 1 x USB 3.1 Type A port 	
PCIe	Up to 4 Gen5 PCIe slots (x16 connectors) <ul style="list-style-type: none"> • Slot 1 -1 x8 Gen5 Low Profile • Slot 1 -1 x16 Gen5 (x16 connector) full height, half length on rear riser • Slot 4 -1 x16 Gen5 (x16 connector) full height, half length on rear riser • Slot 31 -1 x16 Gen5 (x16 connector) full height, half length on rear riser • Slot 32 -1 x16 Gen5 (x16 connector) full height, half length on rear riser 	

Feature	Technical Specifications
Operating System and Hypervisors	<ul style="list-style-type: none"> • Canonical Ubuntu Server LTS • Red Hat Enterprise Linux • SUSE Linux Enterprise Server • VMware ESXi • Windows Server • Windows Server Datacenter For specifications and interoperability details, see Dell.com/OSsupport .
OEM-ready version available	From bezel to BIOS to packaging, your servers can look and feel as if they were designed and built by you. For more information, visit Dell.com/OEM .

NOTE: From bezel to BIOS to packaging, your servers can look and feel as if they were designed and built by you with our OEMR platforms, while XL platforms provide extended transitions and stability for OEM Solutions customers. For more information, visit Dell.com -> Solutions -> OEM Solutions.

APEX on Demand

APEX Flex on Demand Acquire the technology you need to support your changing business with payments that scale to match actual usage. For more information, visit www.delltechnologies.com/en-us/payment-solutions/flexible-consumption/flex-on-demand.htm.

NOTE: This document provides a comprehensive list of product features. However, features marked with an asterisk (*) may not be available at launch but introduced in future updates. Please note that this document does not confirm the availability or release timeline of any feature. For the most accurate and up-to-date information on feature availability, please refer to the product configurator page on dell.com.

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We have prepared a quote for you



Crest Hill - West STP Additions

QUOTE

PREPARED FOR

Wunderlich-Malec Engineering/Systems, Inc.



804.378.8981 spalumbo@insourcess.com www.insource.solutions

Friday, February 06, 2026

Wunderlich-Malec Engineering/Systems, Inc.
Ken Kawiecki
6101 Blue Circle Dr
Eden Prairie, MN 55343-9108
ken.kawiecki@wmeng.com

Dear Ken,

Thank you for your partnership.

At InSource, our mission is to help organizations operate smarter, stronger, and more competitively. We understand that success in today's environment requires more than just the right software or hardware—it requires a trusted partner who can bring together technology, services, and expertise to deliver sustainable results.

For years, we've worked alongside clients across many industries, providing solutions that improve productivity, reduce complexity, and support long-term growth. We take pride in being more than a provider—we strive to be an extension of your team, ensuring that every engagement delivers measurable value.

We're also committed to the future. By investing in innovation and supporting the next generation of professionals, we work to strengthen not only our clients but the industries and communities we serve.

We look forward to continuing to earn your trust and helping you achieve your goals.

To place your order:

Please send your purchase order to orderentry@insourcess.com or by fax to **804.378.8970**.

Note: When sending purchase orders, please include a copy of your company's tax-exempt certificate (if applicable), as this omission could delay your order.

Sales Operations Coordinator
Richmond, VA



804.378.8981 spalumbo@insourcess.com www.insource.solutions

SiteID: 149388
Crest Hill WWTP,
1610 Plainfield Road, Crest Hill Illinois 60435

Software

Item	Description	Price	Qty	Ext. Price
1 HstClt-01-N-231	AVEVA Historian Client Desktop 2023 R2, Concurrent User Single	\$2,683.00	3	\$8,049.00
2 InTch-06-N-231	AVEVA InTouch HMI 2023 R2 Workstation 100K Tag with I/O	\$9,398.00	1	\$9,398.00
Customer FIRST	Customer FIRST Contract #110227 - Pro-rated 7 months to Expire 10/8/2026	\$1,355.00	1	\$1,355.00
Subtotal:				\$18,802.00



Cost Proposal Request
West Sewage Treatment Plant Improvements
City of Crest Hill, Illinois
Contract 1-2022
February 5, 2026

Item 1.

COST PROPOSAL NO.: ~~048~~ 051

TO: Vissering Construction Company
ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

Tony Marzetta, Project Manager
Gary Richardson
Dominic Gattone, P.E.
Vissering Construction Company (Contractor)
City of Crest Hill, Illinois
Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to eliminate connection to the East Sewage Treatment Plant SCADA System and its Historian server over the City/Comcast ENS network.

DESCRIPTIONS AFFECTING THE SPECIFICATIONS

Section 26 09 01 SCADA Programming

048-01 Provide a rack-mounted server for use as a local historian server. Server shall be installed in the Structure 70 network rack and powered from the UPS furnished with the rack. Server shall be Dell PowerEdge with the following minimum specifications:

- Single 16-core processor, 32-thread
- BOSS with RAID 1 configuration, minimum 256G
- Separate RAID 5 storage volume, minimum 3TB, space for minimum 3 solid-state drives
- Minimum 64 GB RAM
- Chassis with space for 8 drives
- iDRAC with out of band hardware management platform and remote troubleshooting
- 6 NICs
- Windows Server 2025 OS with downgrade license keys for 2019 & 2022 OS's
- 5-year support contract

Submit server selection for review by Engineer before ordering. The server shall be configured for the following VMs: Domain Controller, Demilitarized Zone (DMZ), Historian, and Access Anywhere. Server configuration shall be reviewed with Engineer once server is received (assume 2 hour meeting).

048-02 Subsection 2.01 SCADA System Computers and Software -E.3.j - Delete "Remote IDAS to Connect to Existing East STP Historian Server" from the Table 2.01 SCADA Computer Software Schedule. Add a 5,000-tag Historian Server license (to be installed on the new West STP Historian Server VM described above) and Historian Client licenses on each of the SCADA1, SCADA2, and SCADA4 desktop computers.

048-03 Subsection 2.01 SCADA System Computers and Software -E.3.j - Provide an InTouch AccessAnywhere Application Server and one read/write InTouch runtime license on the new West STP Access Anywhere Server VM described above. Provide an AccessAnywhere Gateway on the new West STP DMZ Server VM described above.

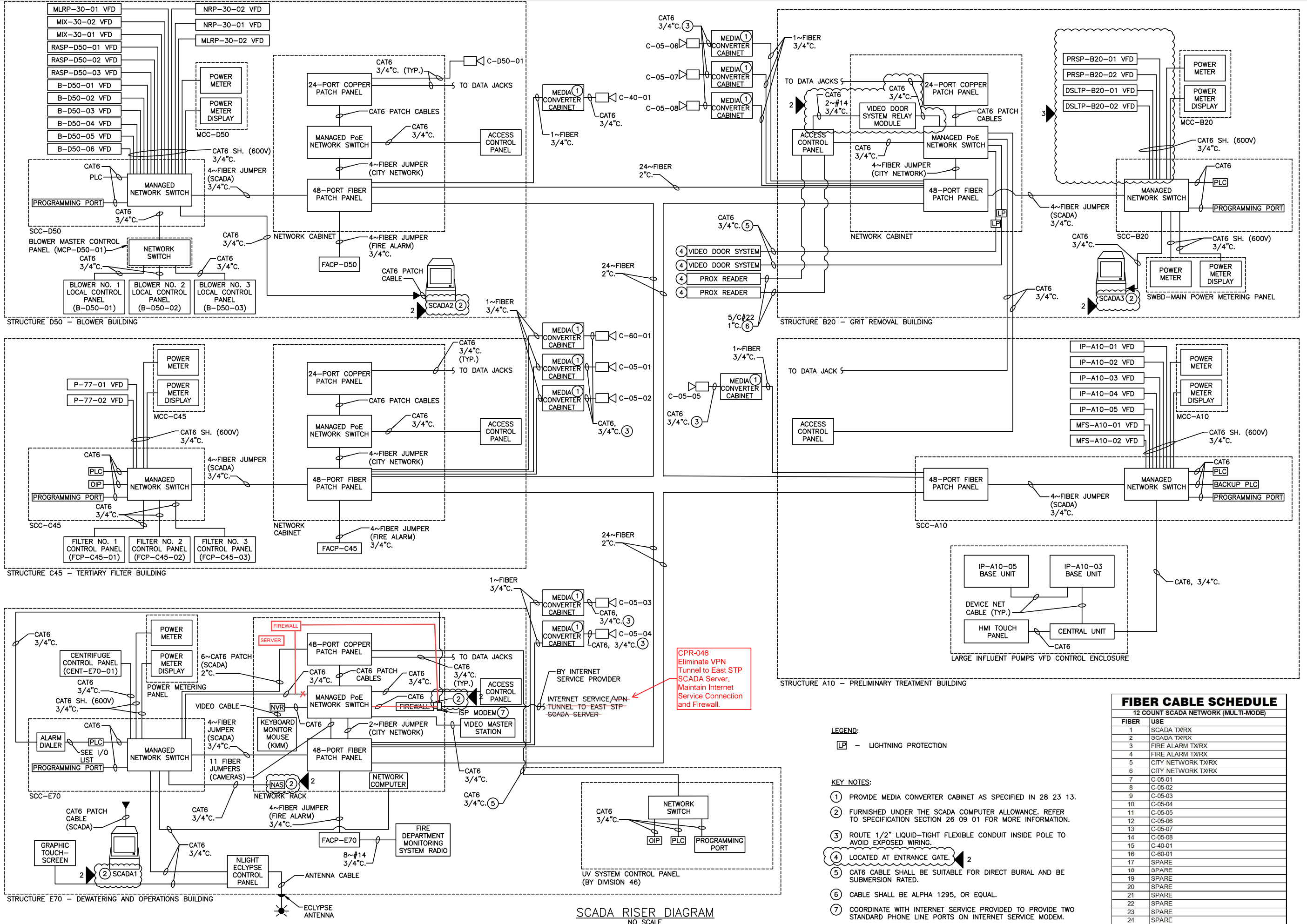


048-04 Subsection 2.01 SCADA System Computers and Software - G. Delete entire Paragraphs 2 and 3.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing 99-E6.03 - Electrical SCADA Riser Diagram

048-05 See attached mark-up.



NO.	ISSUED FOR	DATE
1	CONFORMED DRAWING	5/12/2022
2	CHANGE ORDER NO. 1	12/1/2022
3		3/7/2023

NO.	REVISIONS
1	
2	
3	

ELECTRICAL SCADA RISER DIAGRAM

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
CITY OF CREST HILL
WILL COUNTY, ILLINOIS

JOB NO.
3894.051
PROJECT MGR.
DOMINIC GATTONE



FIBER CABLE SCHEDULE

12 COUNT SCADA NETWORK (MULTI-MODE)

FIBER	USE
1	SCADA TX/RX
2	SCADA TX/RX
3	FIRE ALARM TX/RX
4	FIRE ALARM TX/RX
5	CITY NETWORK TX/RX
6	CITY NETWORK TX/RX
7	C-05-01
8	C-05-02
9	C-05-03
10	C-05-04
11	C-05-05
12	C-05-06
13	C-05-07
14	C-05-08
15	C-40-01
16	C-60-01
17	SPARE
18	SPARE
19	SPARE
20	SPARE
21	SPARE
22	SPARE
23	SPARE
24	SPARE

- LEGEND:**
- LP - LIGHTNING PROTECTION
- KEY NOTES:**
- PROVIDE MEDIA CONVERTER CABINET AS SPECIFIED IN 28 23 13.
 - FURNISHED UNDER THE SCADA COMPUTER ALLOWANCE. REFER TO SPECIFICATION SECTION 28 09 01 FOR MORE INFORMATION.
 - ROUTE 1/2" LIQUID-TIGHT FLEXIBLE CONDUIT INSIDE POLE TO AVOID EXPOSED WIRING.
 - LOCATED AT ENTRANCE GATE.
 - CAT6 CABLE SHALL BE SUITABLE FOR DIRECT BURIAL AND BE SUBMERSION RATED.
 - CABLE SHALL BE ALPHA 1295, OR EQUAL.
 - COORDINATE WITH INTERNET SERVICE PROVIDED TO PROVIDE TWO STANDARD PHONE LINE PORTS ON INTERNET SERVICE MODEM.

SCADA RISER DIAGRAM
NO SCALE



Cost Proposal Request
West Sewage Treatment Plant Improvements
City of Crest Hill, Illinois
Contract 1-2022
April 9, 2026

COST PROPOSAL NO.: 052

TO: Vissering Construction Company
ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

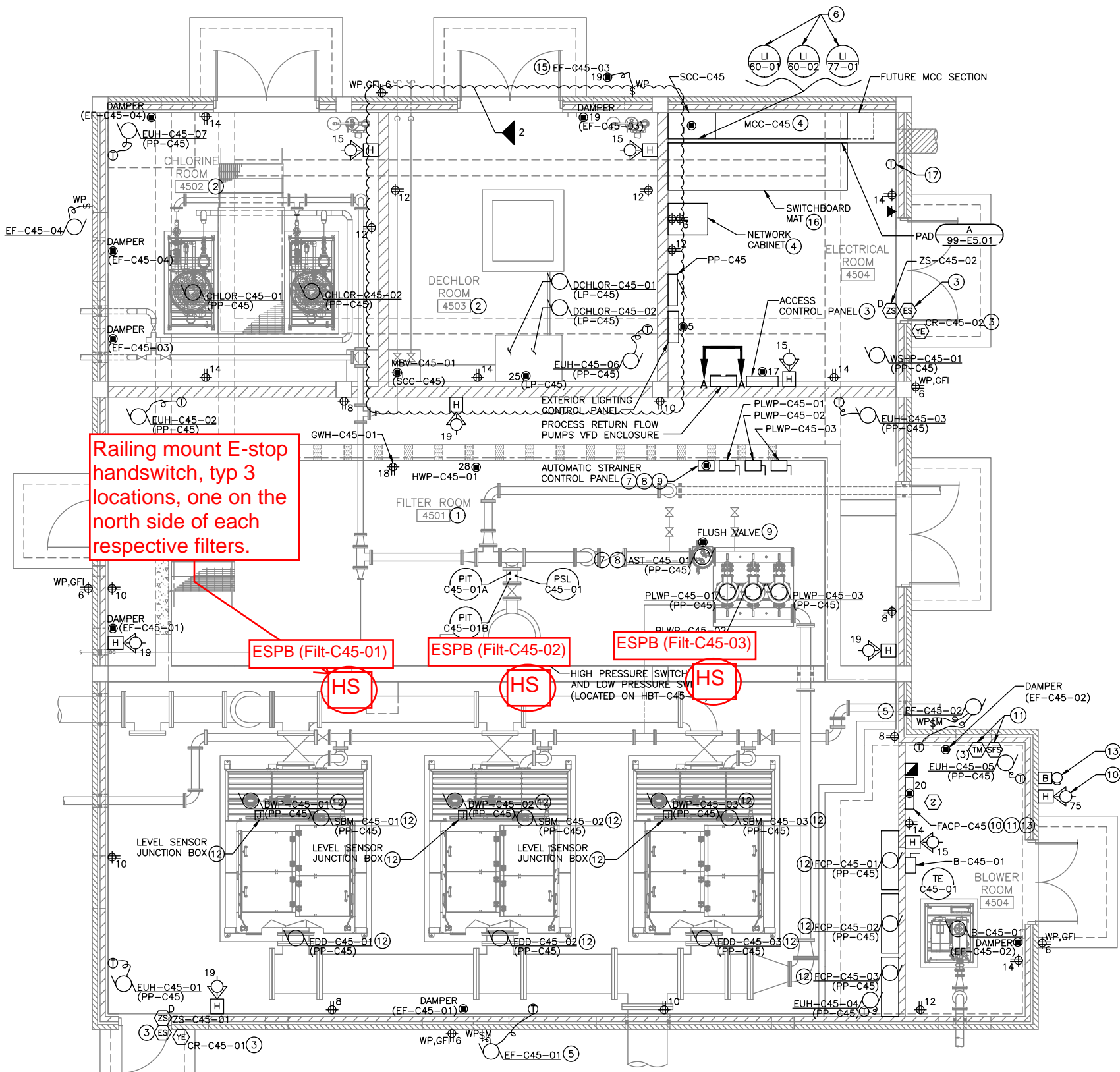
Tony Marzetta, Project Manager	Vissering Construction Company (Contractor)
Gary Richardson	City of Crest Hill, Illinois
Dominic Gattone, P.E.	Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to add additional emergency stop push buttons nearer the tertiary filter equipment.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing C45-E1.01 - Tertiary Filter Building - Electrical Plan

052-01 Provide emergency stop pushbutton in NEMA 4X control station enclosure by Tertiary Disc Filter manufacturer and 2~#14 in 3/4" conduit from each e-stop to the associated filter control panel. Pressing the e-stop shall stop backwash pump, filter drum drive, and spray bar oscillating motor of its respective filter. Provide panel modifications as required. See attached mark-up.



Railing mount E-stop handswitch, typ 3 locations, one on the north side of each respective filters.

ESPB (Filt-C45-01)

ESPB (Filt-C45-02)

ESPB (Filt-C45-03)

HS

HS

HS

ELECTRICAL PLAN

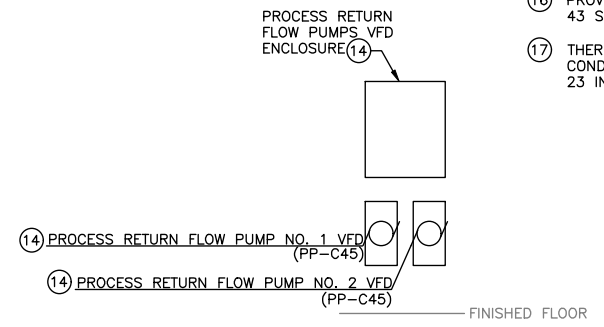


GENERAL NOTES:

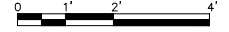
- REFER TO SPECIFICATION SECTION 01 11 00 FOR INFORMATION ON CONSTRUCTION SEQUENCING.
- REFER TO SPECIFICATION SECTION 26 09 90 FOR WIRING ASSOCIATED WITH THE SCADA SYSTEM.
- SEE DRAWING C45-ASM1.01 FOR LOCATIONS OF FIRE-RATED WALLS.
- DAMPERS NOT SHOWN WITH A CIRCUIT NUMBER SHALL BE POWERED FROM A CONTROL POWER TRANSFORMER IN THE ASSOCIATED MCC BUCKET.
- THERE SHALL BE A MINIMUM OF 4" BETWEEN VFDs AND VFD ENCLOSURES. VFDs SHALL BE A MINIMUM OF 1'-0" AFF.

KEY NOTES:

- ALL ELECTRICAL WORK AND EQUIPMENT IN THIS ROOM SHALL BE RATED NEMA 4X. CONDUIT SHALL BE ALUMINUM AND SUPPORT MEMBERS SHALL BE STAINLESS STEEL.
- ALL ELECTRICAL WORK AND EQUIPMENT IN THIS ROOM SHALL BE RATED NEMA 4X. CONDUIT SHALL BE PVC AND SUPPORT MEMBERS SHALL BE FRP.
- PROVIDE A FLUSH-MOUNTED BOX ON BUILDING EXTERIOR FOR CARD READER. PROVIDE 3/4" CONDUIT FROM BOX TO ACCESS CONTROL PANEL IN THE ELECTRICAL ROOM. PROVIDE 3/4" CONDUIT FROM BOX TO DOOR FRAME FOR ELECTRIC STRIKE. WIRING SHALL BE FURNISHED AND INSTALLED BY THE SECTION 28 10 00 SYSTEM SUPPLIER.
- BOND THE COMMUNICATION CABINET GROUND BAR TO THE GROUND BUS IN MCC-C45 WITH A #6 GROUND CONDUCTOR IN 3/4" PVC CONDUIT. MOUNT RECEPTACLES INSIDE THE COMMUNICATION CABINET.
- FAN SHALL BE CONTROLLED BY THE ROOM THERMOSTAT SUCH THAT THE FAN RUNS WHEN THE ROOM TEMPERATURE RISES ABOVE THE THERMOSTAT SETPOINT AND SHUTS DOWN WHEN THE TEMPERATURE FALLS BELOW THE THERMOSTAT SETPOINT.
- LEVEL INDICATORS SHALL BE FLUSH-MOUNTED ON THE DOOR OF THE SCC. REFER TO SPECIFICATION SECTION 26 09 00 PART 3 FOR ADDITIONAL INFORMATION.
- PROVIDE 2~#14 FROM CONTROL PANEL TO THE LOW PRESSURE SWITCH AND 2~#14 FROM CONTROL PANEL TO THE HIGH PRESSURE SWITCH IN 3/4" CONDUIT. SWITCHES ARE LOCATED AT THE AUTOMATIC STRAINER (AST-C45-01).
- PROVIDE 3~#12 AND #12 GROUND IN 3/4" CONDUIT FROM CONTROL PANEL TO SCREEN MOTOR DRIVE MOTOR NO. 1 AT THE AUTOMATIC STRAINER (AST-C45-01). PROVIDE 3~#12 AND #12 GROUND IN 3/4" CONDUIT FROM CONTROL PANEL TO SCREEN MOTOR DRIVE MOTOR NO. 2 AT THE AUTOMATIC STRAINER.
- PROVIDE 4~#14 FROM CONTROL PANEL TO THE FLUSH VALVE IN 3/4" CONDUIT.
- EXTERIOR ALARM STROBE SHALL BE POWERED THROUGH FACP SUCH THAT IT IS ONLY ACTIVATED WHEN SMOKE DETECTOR OR FIRE ALARM FLOW SWITCH IS ACTIVATED.
- FIRE ALARM FLOW SWITCH AND TAMPER SWITCHES PROVIDED BY DIVISION 21 AND WIRED TO FACP BY DIVISION 28. PROVIDE REQUIRED ADDRESSABLE CONTROL MODULES AND SUPERVISORY RELAYS TO MONITOR EACH DEVICE.
- PROVIDE CONDUCTORS/CONDUIT TO DEVICES AS SHOWN IN THE TERTIARY DISC FILTER SYSTEM CONDUIT AND WIRE SCHEDULE.
- FIRE SUPPRESSION SYSTEM ALARM BELL FURNISHED BY DIVISION 21 AND INSTALLED AND WIRED BY DIVISION 28. ALARM BELL SHALL BE POWERED FROM THE FACP.
- THERE SHALL BE A MINIMUM OF 6" BETWEEN THE TOP OF THE VFD AND THE BOTTOM OF THE VFD CONTROLS ENCLOSURE.
- FAN SHALL RUN CONTINUOUSLY.
- PROVIDE SWITCHBOARD MAT AS SPECIFIED IN SECTION 12 48 43 SPANNING ENTIRE FRONT OF MCC AND SCC.
- THERMOSTAT PROVIDED BY DIVISION 23. PROVIDE 3/4" CONDUIT FROM THERMOSTAT TO WSHP-C45-01 FOR DIVISION 23 INSTALLED WIRING.



SECTION A



CONDUIT DESIGNATION	ORIGIN	TERMINATION	CONDUIT SIZE	CONDUCTORS*
DRUM DRIVE MOTOR POWER	FCP-C45-01	FDD-C45-01	3/4"	3~#12
DRUM DRIVE MOTOR OVERTEMP	FCP-C45-01	FDD-C45-01	3/4"	2~#14
BACKWASH PUMP MOTOR POWER	FCP-C45-01	BWP-C45-01	3/4"	3~#10
BACKWASH PUMP MOTOR OVERTEMP	FCP-C45-01	BWP-C45-01	3/4"	2~#14
SPRAY BAR OSCILLATION DRIVE MOTOR POWER	FCP-C45-01	SBM-C45-01	3/4"	3~#12
DISC FILTER LEVEL SENSORS	FCP-C45-01	FILT-C45-01 LEVEL SENSOR JUNCTION BOX	3/4"	10~#14

* PROVIDE GROUND WIRE FOR EACH PIECE OF EQUIPMENT SIZED PER THE NEC.
 **SCHEDULE TYPICAL FOR FCP-C45-01, FCP-C45-02, AND FCP-C45-03.

NO.	ISSUED FOR	DATE
1	ISSUED FOR BID	5/12/2022
2	CONFORMED DRAWINGS	12/1/2022
3	CHANGE ORDER NO. 1	X/X/2023

TERTIARY FILTER BUILDING ELECTRICAL PLAN

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
 CITY OF CREST HILL
 WILL COUNTY, ILLINOIS

JOB NO. 3894.051
 PROJECT MGR. DOMINIC GATTONE





PROPOSAL WORKSHEET SUMMARY

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 052

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 4/20/2026
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

Table with 1 row: WORK DESCRIPTION, CPR052: E Stop for Filters

Main cost breakdown table with columns: Line No, Cost Description, Labor Amt, Material Amt, Equip & Other Amt, Sub-Contractor Amt, Sub-Total. Includes rows for CONNELLY ELECTRIC and WESTECH.

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill

Name/Title: Gary Richardson, Public Works Director
Signature:
Date:

Contractor's Net: \$ 4,025.00
Sub-Contractor's Net: \$ 6,645.00
Net Subtotal: \$ 10,670.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits): \$ 936.00
Sub-Total: \$ 11,606.00
Bonds & Insurance - 1%: \$ 116.06
Worksheet Total: \$ 11,722.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.

Name/Title: Dominic Gattone, PE
Signature:
Date:

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO

Name/Title: Tony Marzetta, Project Manager
Signature:
Date: April 20, 2026



Cost Proposal Request
West Sewage Treatment Plant Improvements
City of Crest Hill, Illinois
Contract 1-2022
April 9, 2026

Item 1.

COST PROPOSAL NO.: 052

TO: Vissering Construction Company
ISSUED BY: Dominic Gattone, P.E.

DISTRIBUTION

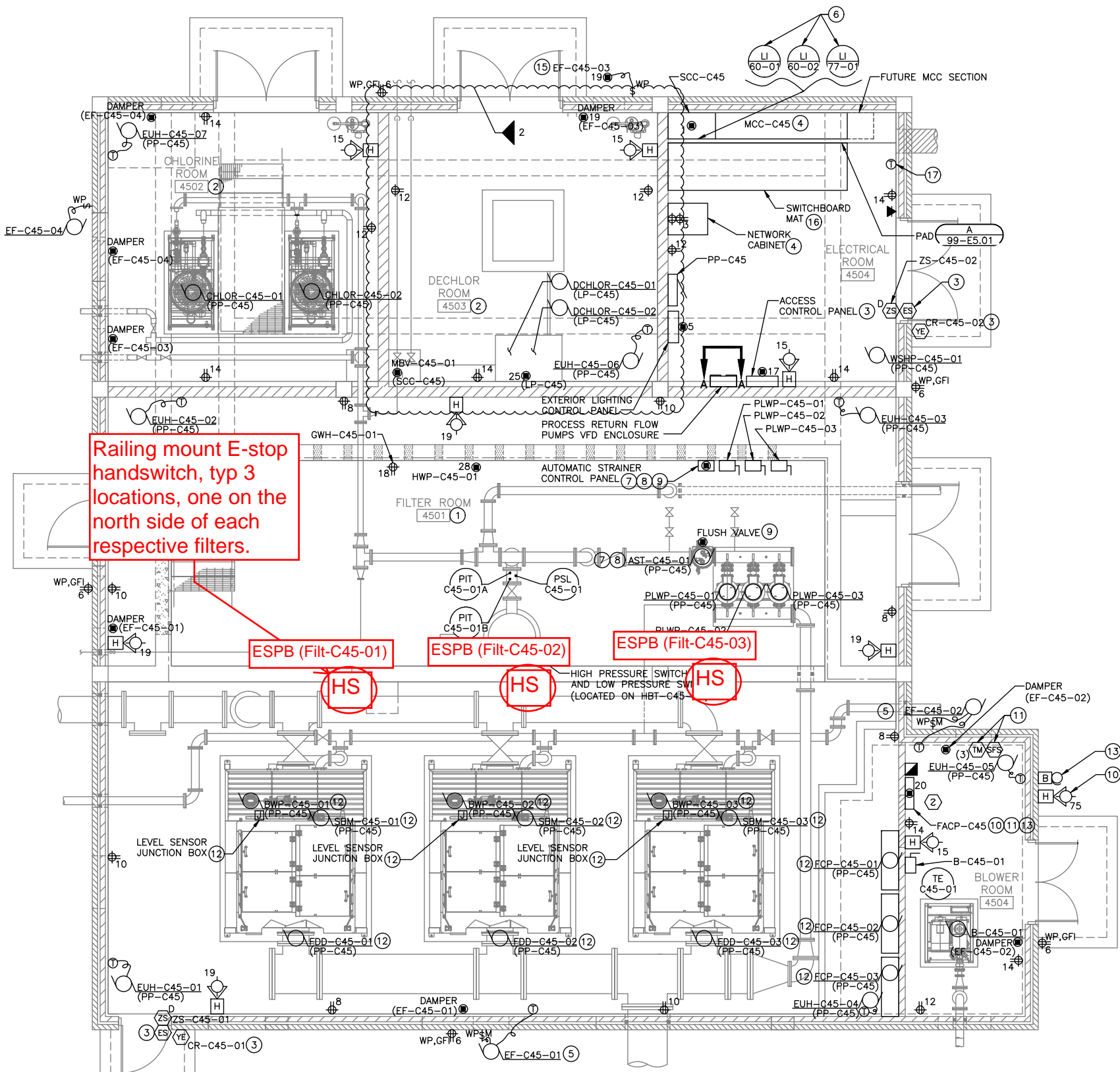
Tony Marzetta, Project Manager
Gary Richardson
Dominic Gattone, P.E.
Vissering Construction Company (Contractor)
City of Crest Hill, Illinois
Strand Associates, Inc.®

Please submit an itemized quotation for changes in the Contract Price and Time incidental to proposed modifications to the Contract Documents described herein. The purpose of this request is to add additional emergency stop push buttons nearer the tertiary filter equipment.

DESCRIPTIONS AFFECTING THE DRAWINGS

Drawing C45-E1.01 - Tertiary Filter Building - Electrical Plan

052-01 Provide emergency stop pushbutton in NEMA 4X control station enclosure by Tertiary Disc Filter manufacturer and 2~#14 in 3/4” conduit from each e-stop to the associated filter control panel. Pressing the e-stop shall stop backwash pump, filter drum drive, and spray bar oscillating motor of its respective filter. Provide panel modifications as required. See attached mark-up.



Railing mount E-stop handswitch, typ 3 locations, one on the north side of each respective filters.

ESPB (Filt-C45-01)

ESPB (Filt-C45-02)

ESPB (Filt-C45-03)

HS

HS

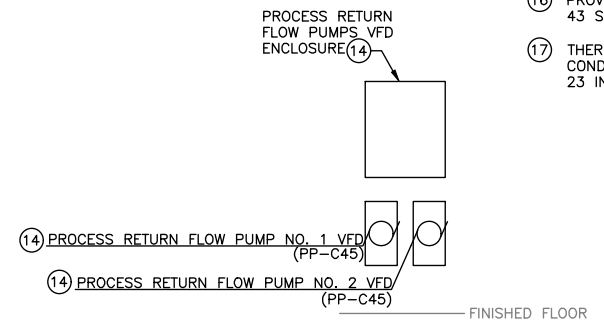
HS

ELECTRICAL PLAN

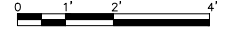


- GENERAL NOTES:
- REFER TO SPECIFICATION SECTION 01 11 00 FOR INFORMATION ON CONSTRUCTION SEQUENCING.
 - REFER TO SPECIFICATION SECTION 26 09 90 FOR WIRING ASSOCIATED WITH THE SCADA SYSTEM.
 - SEE DRAWING C45-ASM1.01 FOR LOCATIONS OF FIRE-RATED WALLS.
 - DAMPERS NOT SHOWN WITH A CIRCUIT NUMBER SHALL BE POWERED FROM A CONTROL POWER TRANSFORMER IN THE ASSOCIATED MCC BUCKET.
 - THERE SHALL BE A MINIMUM OF 4" BETWEEN VFDS AND VFD ENCLOSURES. VFDS SHALL BE A MINIMUM OF 1'-0" AFF.

- KEY NOTES:
- ALL ELECTRICAL WORK AND EQUIPMENT IN THIS ROOM SHALL BE RATED NEMA 4X. CONDUIT SHALL BE ALUMINUM AND SUPPORT MEMBERS SHALL BE STAINLESS STEEL.
 - ALL ELECTRICAL WORK AND EQUIPMENT IN THIS ROOM SHALL BE RATED NEMA 4X. CONDUIT SHALL BE PVC AND SUPPORT MEMBERS SHALL BE FRP.
 - PROVIDE A FLUSH-MOUNTED BOX ON BUILDING EXTERIOR FOR CARD READER. PROVIDE 3/4" CONDUIT FROM BOX TO ACCESS CONTROL PANEL IN THE ELECTRICAL ROOM. PROVIDE 3/4" CONDUIT FROM BOX TO DOOR FRAME FOR ELECTRIC STRIKE. WIRING SHALL BE FURNISHED AND INSTALLED BY THE SECTION 28 10 00 SYSTEM SUPPLIER.
 - BOND THE COMMUNICATION CABINET GROUND BAR TO THE GROUND BUS IN MCC-C45 WITH A #6 GROUND CONDUCTOR IN 3/4" PVC CONDUIT. MOUNT RECEPTACLES INSIDE THE COMMUNICATION CABINET.
 - FAN SHALL BE CONTROLLED BY THE ROOM THERMOSTAT SUCH THAT THE FAN RUNS WHEN THE ROOM TEMPERATURE RISES ABOVE THE THERMOSTAT SETPOINT AND SHUTS DOWN WHEN THE TEMPERATURE FALLS BELOW THE THERMOSTAT SETPOINT.
 - LEVEL INDICATORS SHALL BE FLUSH-MOUNTED ON THE DOOR OF THE SCC. REFER TO SPECIFICATION SECTION 26 09 00 PART 3 FOR ADDITIONAL INFORMATION.
 - PROVIDE 2~#14 FROM CONTROL PANEL TO THE LOW PRESSURE SWITCH AND 2~#14 FROM CONTROL PANEL TO THE HIGH PRESSURE SWITCH IN 3/4" CONDUIT. SWITCHES ARE LOCATED AT THE AUTOMATIC STRAINER (AST-C45-01).
 - PROVIDE 3~#12 AND #12 GROUND IN 3/4" CONDUIT FROM CONTROL PANEL TO SCREEN MOTOR DRIVE MOTOR NO. 1 AT THE AUTOMATIC STRAINER (AST-C45-01). PROVIDE 3~#12 AND #12 GROUND IN 3/4" CONDUIT FROM CONTROL PANEL TO SCREEN MOTOR DRIVE MOTOR NO. 2 AT THE AUTOMATIC STRAINER.
 - PROVIDE 4~#14 FROM CONTROL PANEL TO THE FLUSH VALVE IN 3/4" CONDUIT.
 - EXTERIOR ALARM STROBE SHALL BE POWERED THROUGH FACP SUCH THAT IT IS ONLY ACTIVATED WHEN SMOKE DETECTOR OR FIRE ALARM FLOW SWITCH IS ACTIVATED.
 - FIRE ALARM FLOW SWITCH AND TAMPER SWITCHES PROVIDED BY DIVISION 21 AND WIRED TO FACP BY DIVISION 28. PROVIDE REQUIRED ADDRESSABLE CONTROL MODULES AND SUPERVISORY RELAYS TO MONITOR EACH DEVICE.
 - PROVIDE CONDUCTORS/CONDUIT TO DEVICES AS SHOWN IN THE TERTIARY DISC FILTER SYSTEM CONDUIT AND WIRE SCHEDULE.
 - FIRE SUPPRESSION SYSTEM ALARM BELL FURNISHED BY DIVISION 21 AND INSTALLED AND WIRED BY DIVISION 28. ALARM BELL SHALL BE POWERED FROM THE FACP.
 - THERE SHALL BE A MINIMUM OF 6" BETWEEN THE TOP OF THE VFD AND THE BOTTOM OF THE VFD CONTROLS ENCLOSURE.
 - FAN SHALL RUN CONTINUOUSLY.
 - PROVIDE SWITCHBOARD MAT AS SPECIFIED IN SECTION 12 48 43 SPANNING ENTIRE FRONT OF MCC AND SCC.
 - THERMOSTAT PROVIDED BY DIVISION 23. PROVIDE 3/4" CONDUIT FROM THERMOSTAT TO WSHP-C45-01 FOR DIVISION 23 INSTALLED WIRING.



SECTION A



TERTIARY DISC FILTER SYSTEM CONDUIT AND WIRING SCHEDULE**

CONDUIT DESIGNATION	ORIGIN	TERMINATION	CONDUIT SIZE	CONDUCTORS*
DRUM DRIVE MOTOR POWER	FCP-C45-01	FDD-C45-01	3/4"	3-#12
DRUM DRIVE MOTOR OVERTEMP	FCP-C45-01	FDD-C45-01	3/4"	2-#14
BACKWASH PUMP MOTOR POWER	FCP-C45-01	BWP-C45-01	3/4"	3-#10
BACKWASH PUMP MOTOR OVERTEMP	FCP-C45-01	BWP-C45-01	3/4"	2-#14
SPRAY BAR OSCILLATION DRIVE MOTOR POWER	FCP-C45-01	SBM-C45-01	3/4"	3-#12
DISC FILTER LEVEL SENSORS	FCP-C45-01	FILT-C45-01 LEVEL SENSOR JUNCTION BOX	3/4"	10-#14

* PROVIDE GROUND WIRE FOR EACH PIECE OF EQUIPMENT SIZED PER THE NEC.
 **SCHEDULE TYPICAL FOR FCP-C45-01, FCP-C45-02, AND FCP-C45-03.

REVISIONS

NO.	ISSUED FOR	DATE
1	ISSUED FOR BID	5/12/2022
2	CONFORMED DRAWINGS	12/1/2022
3	CHANGE ORDER NO. 1	X/X/2023

TERTIARY FILTER BUILDING ELECTRICAL PLAN

WEST SEWAGE TREATMENT PLANT IMPROVEMENTS
 CITY OF CREST HILL
 WILL COUNTY, ILLINOIS

JOB NO. 3894.051
 PROJECT MGR. DOMINIC GATTONE





40 S. Addison Rd.
Addison, IL 60101

Client Address:

Vissering Construction

1631 Gaylord Rd.
Crest Hill, IL 60403
Telephone: 815.673.5511
Contact: Tony Marazetta

CHANGE NOTICE

Item 1.

Connelly CCN # 031
Field Ticket #
Date: 4/10/2026
Project Name: Crest Hill WWTP - West Sewage Treatment Plant
Project Number: 22-0686
Page Number: 1

Site Address:

Vissering Construction

Contact: Tony Marazetta
1631 Gaylord Rd.
Crest Hill, IL 60403

Work Description

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
 This price is good for acceptance within **10** days from the date of receipt.
 We request a time extension of **4** days.
 We will supply and install all materials, labor, and equipment as per your instructions on **Connelly CCN # 031**.

Description:

This CCN has been generated in response to the distribution of CPR052: E stop for filters dated 4/9/2026. This includes pricing on mounting these control stations as well as conduit/wire between them and the control panels. Also includes terminating the wiring within the Westech control panels.

Itemized Breakdown

Description	Qty	Total Mat.	Total Hrs.
3/4" ARC (AL)	70	137.00	5.60
3/4" ARC MYERS HUB	6	41.50	6.60
3/4" ARC LB CONDULET	3	45.48	2.70
3/4" ARC 90 ELBOW	6	131.65	2.40
3/4" ARC STRAP	14	197.82	2.10
#14 XHHW	200	53.22	1.40
ALUMINUM MTG PLATE	3	300.30	3.00
CABLE TAG	1	0.75	0.16
Test	1	100.00	2.00
SS U-bolts	6	31.20	1.50
Mount E-Stop to Plate	3	0.00	3.00
Connect to Filter Panels	3	0.00	3.00
Connect to E-Stop	3	0.00	3.00
Totals	319	1,038.93	36.46

Summary

MATERIAL

General Materials		1,038.93
Material Total		1,038.93
Foreman	(12.15 Hrs @ \$133.77)	1,625.31
Journeyman	(24.31 Hrs @ \$127.07)	3,089.07
Subtotal		5,753.31

CHANGE NOTICE

Site Address:

Vissering Construction
1631 Gaylord Rd.
Crest Hill, IL 60403

Connelly CCN # 031
Field Ticket #
Date: 4/10/2026
Project Name: Crest Hill WWTP - West Sewage Treatment Plant
Project Number: 22-0686
Page Number: 2

Summary (Cont'd)		
Overhead	(@ 10.000 %)	575.33
Markup	(@ 5.000 %)	316.43
Subtotal		6,645.07
Final Amount		\$6,645.07

Change Order Proposal

3665 South West Temple, Salt Lake City, UT 84115 Phone: 801.265.1000

Job Name: Crest Hill West STP	Ref. PO/Contract: 11108.00-11500.00
WesTech Job No: 24851A	Cust. Job No: -
Customer: Vissering Construction Company	Revision No: COB.0
Customer Contact: Tony Marzetta	Date: 4/20/2026
WesTech Contact: Kib Huefner	Validity Period: 30 days
WesTech Email: khuefner@westechwater.com	

SCOPE

Item	Description of Change and Statement of Reason	Net Price (USD)
A	E-Stop Station (Qty 3), NEMA 4X, SS Includes additional programming for quick-stop buttons (currently directly wired to the VFDs and a digital input on the PLC). WesTech will send a rental Tosibox to make the programming changes remotely.	\$4,025.00
Payment Terms	See Terms of Original Contract	
Freight Terms	FSP-FFA - FOB Shipping Point - Full Freight to Jobsite (USA ONLY)	Included
Freight Terms	Crest Hill, IL	
	Taxes (sales, use, VAT, IVA, IGV, duties, import fees, etc.)	Not Included
Total, Excluding Taxes If Applicable		\$4,025.00

TERMS

- (1) Unless specifically identified above or attached to the contrary, this Job Change Order does not impact Terms and Conditions for the Purchase of Goods and Services of the Existing Agreement.
- (2) Added equipment and the Tosibox for remote programming will ship approximately 1 - 2 weeks from order execution.
- (3) Please note that the Tosibox must be returned no more than 30 days after services are completed. If not returned, the customer will be charged the full cost of a replacement.
- (4) This order is subject to all specifications above as well as attachments included.

AUTHORIZATION

Vissering Construction Company

WesTech Engineering, LLC.

Signed by: _____ Date

Signed by: _____ Date

Title: _____

Title: _____





**PROPOSAL
WORKSHEET SUMMARY**

Project: CITY OF CREST HILL - WEST SEWAGE TREATMENT PLANT IMPROVEMENTS

Change Order Request #: 054

To: Strand Associates, Inc.
Dominic Gattone, PE

Date: 5/4/2026
A/E Project #: IDFPR No. 184-001273
VCC Project #: 11108.00

WORK DESCRIPTION
Re-Power Digester Building

Line No	Cost Description	Labor Amt	Material Amt	Equip & Other Amt	Sub-Contractor Amt	Sub-Total
1	Connelly Electric				\$ 16,698.00	\$ 16,698.00
2						\$ -
3						\$ -
4						\$ -
5						\$ -
6						\$ -
7						\$ -
8						\$ -
9						\$ -
10						\$ -
11						\$ -
12						\$ -
13						\$ -
14						\$ -
15						\$ -
16						\$ -
17						\$ -
18						\$ -
19						\$ -
20						\$ -
21						\$ -
22						\$ -
23						\$ -
24						\$ -
25						\$ -
Sub-Total		\$ -	\$ -	\$ -	\$ 16,698.00	\$ 16,698.00

ACCEPTANCE OF PROPOSAL (OWNER): City of Crest Hill

Name/Title: Gary Richardson, Public Works Director

Signature: _____

Date: _____

Contractor's Net:	\$ -
Sub-Contractor's Net:	\$ 16,698.00
Net Subtotal:	\$ 16,698.00
Contractor's Fee: (15% on Own Work, 5% on Subs, & 0% on Credits):	\$ 834.90
Sub-Total:	\$ 17,532.90
Bonds & Insurance - 1%:	\$ 175.33
Worksheet Total:	\$ 17,708.00

ACCEPTANCE OF PROPOSAL (A/E): Strand Associates, Inc.

Name/Title: Dominic Gattone, PE

Signature: _____

Date: _____

ACCEPTANCE OF PROPOSAL (CONTRACTOR): VISSERING CONSTRUCTION CO

Name/Title: Tony Marzetta, Project Manager

Signature: _____

Date: May 4, 2026



40 S. Addison Rd.
Addison, IL 60101

CHANGE NOTICE

Item 1.

Connelly CCN # **033**
 Field Ticket #
 Date: 5/1/2026
 Project Name: Crest Hill WWTP - West Sewage Treatment Plant
 Project Number: 22-0686
 Page Number: 1

Client Address:

Vissering Construction

1631 Gaylord Rd.
Crest Hill, IL 60403
Telephone: 815.673.5511
Contact: Tony Marazetta

Site Address:

Vissering Construction

Contact: Tony Marazetta
1631 Gaylord Rd.
Crest Hill, IL 60403

Work Description

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
 This price is good for acceptance within **10** days from the date of receipt.
 We request a time extension of **0** days.
 We will supply and install all materials, labor, and equipment as per your instructions on **Connelly CCN # 033**.

Description:

This CCN was generated in reponse to the work completed on the following work order tickets to complete piping across existing Admin building from existing MCC to refeed MCC-2:

- WO#64619 dated 4/24/2026
- WO#64620 dated 4/27/2026
- WO#64621 dated 4/28/2026
- WO#64622 dated 4/29/2026
- WO#64623 dated 4/30/2026

Itemized Breakdown

Description	Qty	Total Mat.	Total Hrs.
1 1/2" EMT	150	657.01	10.50
1 1/2" EMT DC COMP CONN	6	14.80	2.70
1 1/2" EMT DC SS CPLG	20	37.11	2.00
1 1/2" EMT LB SET SCREW	3	153.27	3.30
1 1/2" EMT 90 ELBOW	2	23.99	0.80
1 1/2" EMT STRAP 1-H	5	33.75	0.21
1 1/2" EMT STRUT CLAMP	10	25.11	0.40
1 1/2" GRC (GALV)	150	1,764.84	13.50
1 1/2" GRC MYERS HUB	4	29.62	3.00
1 1/2" GRC LB CONDULET	1	30.67	1.50
1 1/2" GRC STRUT CLAMP	10	22.00	0.40
#6 THHN	310	380.81	3.41
#3 THHN	930	2,205.10	13.95
P-1000 1 5/8" STRUT	10	56.48	1.20
Eaton FRS-R-100 Fuse	2	240.00	0.80
10" x 10" x 6" NEMA 12 Box w/ Piano Hinge Cover	2	400.00	3.00
Totals	1,615	6,074.58	60.67

Summary

MATERIAL

CHANGE NOTICE

Site Address:

Vissering Construction
1631 Gaylord Rd.
Crest Hill, IL 60403

Connelly CCN # 033
Field Ticket #
Date: 5/1/2026
Project Name: Crest Hill WWTP - West Sewage Treatment Pla
Project Number: 22-0686
Page Number: 2

Summary (Cont'd)

General Materials		6,074.58
Material Total		6,074.58
Foreman	(2.00 Hrs @ \$135.17)	270.34
Journeyman	(65.00 Hrs @ \$124.80)	8,112.00
Subtotal		14,456.92
Overhead	(@ 10.000 %)	1,445.69
Markup	(@ 5.000 %)	795.13
Subtotal		16,697.74
Final Amount		\$16,697.74



CONNELLY
ELECTRIC

40 S. Addison Road
Suite 100
Addison, IL 60101

p 630.543.9059
f 630.543.9077
www.connelyelectric.com

Item 1.

WORK ORDER

Job Location: Crest Hill NWRC
1601 Gaylord Rd. Crest Hill 60403

Bill to: Vissering

DATE OF WORK	JOB #	WORK ORDER #	SUPERVISING ELECTRICIAN	HOURS			OT HOURS		
				GF	FRMN	JW	GF	FRMN	JW
4/24/26	CCN#033	64619	Zane Roth		2	11			

Description: Piping across existing Admin building from existing MCC to refeed MCC-2

QUANTITY	MATERIAL DESCRIPTION
6	1 1/2" EMT Connectors
150'	1 1/2" EMT
2	1 1/2" LB Fitting
1	1 1/2" LR Fitting
10	1 1/2" EMT Street Straps
5	1 1/2" EMT Minis
10'	1 3/8" Struts
2	1 1/2" Factory EMT 90
2	Eaton FRS-R-100 Fuses

SUB CONTRACTOR WORK DESCRIPTION

LIFT	N/A
BOOM	
CORING	
EXCAV	
SUB	
CRANE	
OTHER	

Customer Vissering
Signature [Signature]
Date 4/27/2026
White - Office Canary - Customer

- Extra
- Change Order
- T & M



CONNELLY
ELECTRIC

40 S. Addison Road
Suite 100
Addison, IL 60101

p 630.543.9059
f 630.543.9077
www.connelyelectric.com

Item 1.

WORK ORDER

Job Location: Crest Hill WWRC
1601 Gaylord Rd Crest Hill 60403

Bill to: Vissering

DATE OF WORK	JOB #	WORK ORDER #	SUPERVISING ELECTRICIAN	HOURS			OT HOURS		
				GF	FRMN	JW	GF	FRMN	JW
4/27/26	CCN#033	64620	Zane Roth			14			

Description: Piping across Existing Admin building from existing MCC to Refuel MCC-2

QUANTITY	MATERIAL DESCRIPTION
	N/A

SUB CONTRACTOR WORK DESCRIPTION

LIFT	
BOOM	
CORING	
EXCAV	
SUB	
CRANE	
OTHER	

Customer Vissering
Signature [Signature]
Date 4/27/2026
White - Office Canary - Customer

- Extra
- Change Order
- T & M



CONNELLY
ELECTRIC

40 S. Addison Road
Suite 100
Addison, IL 60101

p 630.543.9059
f 630.543.9077
www.connelyelectric.com

Item 1.

WORK ORDER

Job Location: Crest Hill WWRC
1601 Gaylord RD Crest Hill 60403

Bill to: Vissering

DATE OF WORK	JOB #	WORK ORDER #	SUPERVISING ELECTRICIAN	HOURS		OT HOURS	
				GF	FRMN JW	GF	FRMN JW
4/28/26	CCN#033	64621	Zane Roth		16		

Description: Piping across existing Admin building + outside of building
From existing MCC to refeed MCC-2

QUANTITY	MATERIAL DESCRIPTION
100'	1 1/2" RMC
10	1 1/2" RMC strut straps
20	1 1/2" EMT Couplings
2	10" x 10" x 6" Nema 12 boxes w/ Piano hinge covers
4	1 1/2" Myers Hubs

SUB CONTRACTOR WORK DESCRIPTION

LIFT	N/A
BOOM	
CORING	
EXCAV	
SUB	
CRANE	
OTHER	

Customer Vissering
Signature [Signature]
Date 4/28/26
White - Office Canary - Customer

- Extra
- Change Order
- T & M



WORK ORDER

Job Location: 1601 Gaylord Rd
Crest Hill IL 60403

Bill to: Vissering

Crest Hill UWRC

DATE OF WORK	JOB #	WORK ORDER #	SUPERVISING ELECTRICIAN	HOURS			OT HOURS		
				GF	FRMN	JW	GF	FRMN	JW
4/30/26	CON#033	64623	Zane Roth			16			

Description: Piping across roadway to re-feed MCC-2
Pull wire from MCC-1 to MCC-2
terminate wire on both ends

QUANTITY	MATERIAL DESCRIPTION
310'	#3 THHN Brown
310'	#3 THHN Orange
310'	#3 THHN Yellow
310'	#6 THHN Green
50'	1 1/2" RMC

SUB CONTRACTOR WORK DESCRIPTION

LIFT	<u>N/A</u>
BOOM	
CORING	
EXCAV	
SUB	
CRANE	
OTHER	

Customer Vissering
Signature [Signature]
Date 4/30/2026

- Extra
- Change Order
- T & M

ORDINANCE NO. _____

AN ORDINANCE ADDING CHAPTER 3.21 (SATISFACTION OF MUNICIPAL DEBTS) TO TITLE 3 (REVENUE AND FINANCE) TO THE CITY OF CREST HILL CODE OF ORDINANCES

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the authority to adopt ordinances and to promulgate rules and regulations that pertain to its government and affairs and protect the public health, safety, and welfare of its citizens; and

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois, have the statutory ability to make, enact, and enforce all needful rules and regulations for the operation and management of its combined waterworks and sewerage system, including the establishment of rates to be charged to users of combined waterworks and sewerage system (65 ILCS 5/11-139-8); and

WHEREAS, the Corporate Authorities of the City of Crest Hill, Will County, Illinois have previously exercised said authority by establishing Title 13, Water and Sewer of its Code of Ordinances; and

WHEREAS, the City of Crest Hill has encountered problems due to water customers and property owners failing to notify the City of the impending sale of property and thus failing to obtain accurate final water meter reads and final bills issued prior to the sale of property within the City; and

WHEREAS, in furtherance of its statutory powers, the Corporate Authorities have now determined that the City of Crest Hill Code of Ordinances should be amended to add a comprehensive set of Ordinances to ensure that all municipal debts, including unpaid water and sewer charges and other delinquent fees are satisfied prior to the transfer of title to property.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CREST HILL, WILL COUNTY, ILLINOIS, PURSUANT TO ITS STATUTORY AUTHORITY, AS FOLLOWS:

SECTION 1: The City Council hereby finds that all the recitals contained in the preamble to this Ordinance are true, correct, and complete and are hereby incorporated by reference hereto and made a part hereof.

SECTION 2: That Chapter 3.30 (Satisfaction of Municipal Debts), including Sections 3.21.010, 3.21.020, 3.21.030, 3.21.040, 3.21.050, 3.21.060, 3.21.070, and 3.21.080 are hereby added to Title 3 (Revenue and Finance) of the City of Crest Hill Code of Ordinances, as follows:

CHAPTER 3.21 SATISFACTION OF MUNICIPAL DEBTS

§ 3.21.010 Purpose.

The purpose of this division is to establish a system to provide for the collection of unpaid water service charges and other delinquent fees and charges owed to the City from individuals or entities upon the sale or other transfer of real estate within the City.

§3.21.020 Definitions.

The following definitions shall apply to the interpretation and enforcement of this division:

Beneficial interest means the interest held by a beneficiary in a trust where the trustee of the trust holds legal title to real estate for the benefit of the beneficiaries of such trust.

Transferor of the real estate means the person or persons, entity or entities that transfer the title to real estate or the beneficial interest in a trust that holds title to real estate to another person or persons, entity or entities. The definition shall also include the transfer of control of a property subject to the Illinois Condominium Property Act from the developer to the condominium association board of managers.

City means the City of Crest Hill, Illinois.

§ 3.21.030 Satisfaction of municipal debts.

- (a) Unless the transfer is exempt and only to the extent exempted, no real estate located in the City and no beneficial interest of a trust holding title real estate located in the City shall be sold, quitclaimed, exchanged or otherwise transferred unless it has been determined by the City's director of finance that:
 - (1) The City's water, sewer, and refuse collection charges related to the real estate have been paid in full; and
 - (2) The transferor of the real estate is not otherwise in debt to the City.
- (b) Unless exempted, the requirement of obtaining a municipal debt satisfaction certificate shall be mandatory on all transfers of ownership of or beneficial interest in real estate located within the City.

§ 3.21.040 Exempt transfers.

The following transfers are exempt from compliance with the requirement that the City's water, sewer and refuse collection charges related to the real estate have been paid in full:

- (a) The transfer of title or assignment of the beneficial interest of a trust holding title to a condominium unit for which a condominium association pays the water, sewer, and/or refuse collection charges.

§ 3.21.050 Application.

- (a) Upon entering into any agreement to transfer the title of real estate located within the City or to assign the beneficial interest of a trust holding title to real estate located within the City, the titleholder or the beneficiary of the trust holding title shall immediately and before the transfer make application to the City's director of finance for a final reading of the water meter serving the real estate and for a municipal debt satisfaction certificate. The application shall be accompanied by the original deed or other document of transfer. Upon the final reading of the water meter's being made and the amount owed being determined, including, but not limited to, any outstanding penalties for delinquent payments and for other monetary obligations owed to the City, the applicant shall make full payment to the City in the amounts then determined to be due. The application for a municipal debt satisfaction certificate shall be submitted to the director of finance during regular business hours not less than seven business days prior to any proposed sale, assignment or other transfer of real estate or of the legal or beneficial interest of a trust holding title to real estate located in the City to allow sufficient time for the director of finance to determine if the applicant has met the requirements for a municipal debt satisfaction certificate.
- (b) If the director of finance determines that the transferor of the real estate has paid in full all water, sewer and refuse collection charges as of the most recent billing, and that the transferor of the real estate is not otherwise in debt to the City, the director of finance shall issue a municipal debt satisfaction certificate. The municipal debt satisfaction certificate shall state that as of the date of the most recent billing, all water, sewer and refuse collection charges have been paid in full and that the transferor of the real estate is not otherwise in debt to the City. Any unbilled charges incurred after the issuance of the municipal debt satisfaction certificate to, and including, the date of the closing of the sale or transfer of the real estate shall remain the responsibility of the transferor of the real estate.
- (c) The municipal debt satisfaction certificate shall be valid for a period of 30 days from the date of issuance.
- (d) The director of finance shall keep a record of all municipal debt satisfaction certificates on file in the office of the department of finance. Copies of any municipal debt satisfaction certificate related to the property shall be furnished, upon request, to any person having a tenancy interest in the property for which the certificate is requested.

- (e) If the director of finance determines that the transferor of the real estate has not paid in full all water, sewer and/or refuse collection charges, or that the transferor of the real estate is otherwise in debt to the City, no municipal debt satisfaction certificate shall be issued. Instead, the applicant will be issued a report in a form adopted by the department of finance which details any water, sewer, refuse collection charges, and/or debts owed by the transferor of the real estate to the City. When, and if, the transferor of the real estate has paid all of the debts noted on the report, the applicant may reapply for a municipal debt satisfaction certificate.

§ 3.21.060 Appeals.

- (a) Any person whose application for a municipal debt satisfaction certificate has been denied may file an appeal with the City Administrator to contest the findings contained in the report or request that the requirements of this division be waived in his or her particular circumstances.
- (b) An appeal to the City Administrator must be made by filing a notice of appeal with the City manager. The notice of appeal must be filed within ten days from the date of issuance of the report denying the issuance of the municipal debt satisfaction certificate. The City Administrator may grant a variance from the requirements of the division only when the applicant can prove by a preponderance of the evidence that:
- (1) Compliance with the requirements of the division will place an extreme hardship on the applicant; or
 - (2) Physical conditions of the real estate make compliance with the requirements of the division impossible.
- (c) The City Administrator shall hold a hearing on the appeal within seven days of the filing of the notice of appeal. The City Administrator shall issue a written decision within seven (7) days of the close of the hearing.

§ 3.21.070 Fee.

A fee of \$ _____ for the preparation of a municipal debt satisfaction certificate shall be payable upon application for the municipal debt satisfaction.

§ 3.21.080 Penalty.

Any person who participates in the sale or transfer of any structure, building or dwelling unit in the City in violation of this division as seller, buyer, broker or agent, shall be subject to a fine of not less than \$200.00 nor more than \$750.00 for such violation.

SECTION 3: In the event that any provision or provisions, portion or portions, or clause or clauses of this Ordinance shall be declared to be invalid or unenforceable by a Court of competent jurisdiction, such adjudication shall in no way affect or impair the validity or enforceability of any of the remaining provisions, portions, or clauses of this Ordinance that may be given effect without such invalid or unenforceable provision or provisions, portion or portions, or clause or clauses.

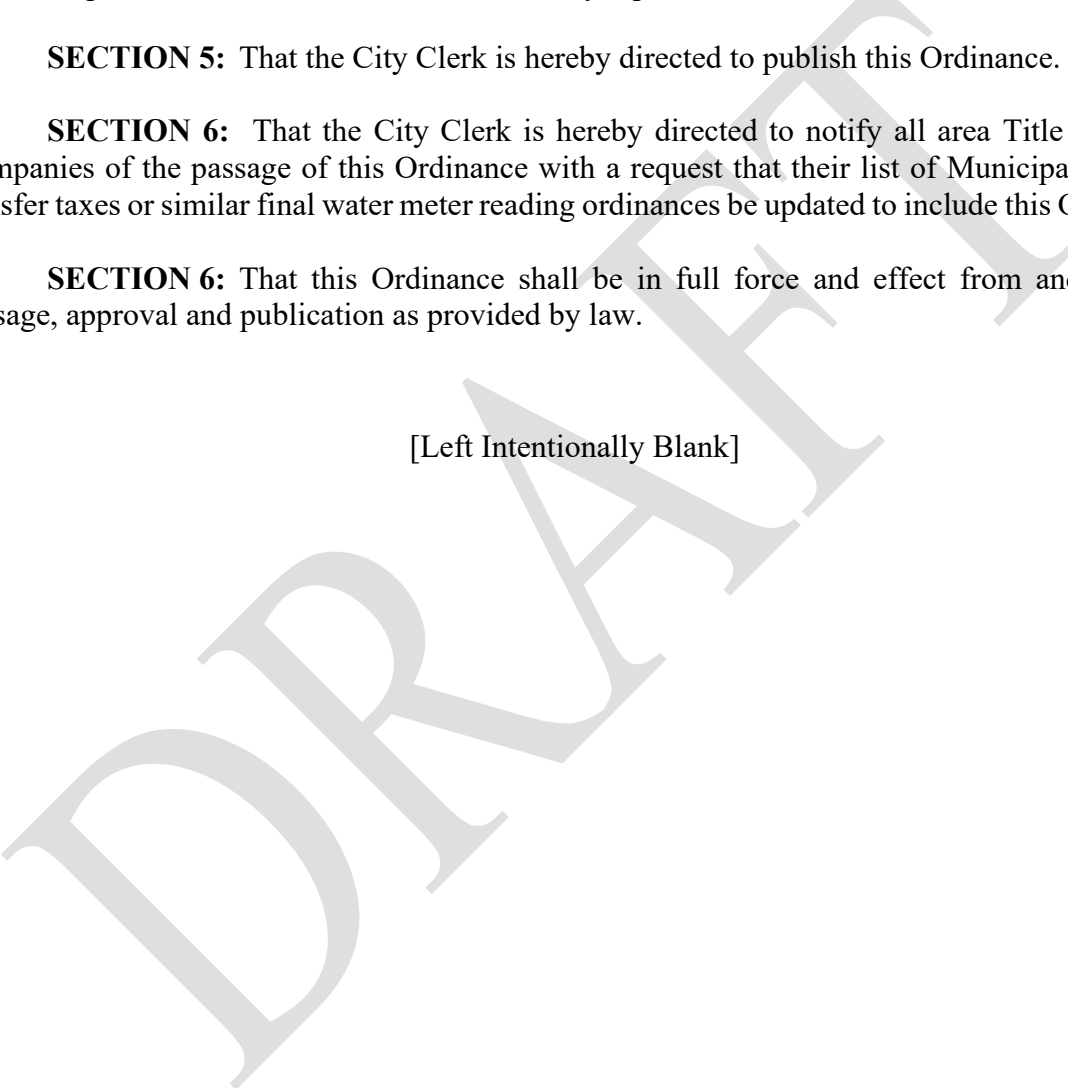
SECTION 4: That all ordinances, resolutions, motions, or parts thereof, conflicting with any of the provisions of this Ordinance, are hereby repealed to the extent of the conflict.

SECTION 5: That the City Clerk is hereby directed to publish this Ordinance.

SECTION 6: That the City Clerk is hereby directed to notify all area Title Insurance Companies of the passage of this Ordinance with a request that their list of Municipalities with transfer taxes or similar final water meter reading ordinances be updated to include this Ordinance.

SECTION 6: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

[Left Intentionally Blank]



PASSED THIS _____ DAY OF _____, 2026.

	Aye	Nay	Absent	Abstain
Alderman Scott Dyke	_____	_____	_____	_____
Alderman Angelo Deserio	_____	_____	_____	_____
Alderwoman Claudia Gazal	_____	_____	_____	_____
Alderman Darrell Jefferson	_____	_____	_____	_____
Aldersperson Tina Oberlin	_____	_____	_____	_____
Alderman Mark Cipiti	_____	_____	_____	_____
Alderman Nate Albert	_____	_____	_____	_____
Alderman Joe Kubal	_____	_____	_____	_____
Mayor Raymond R. Soliman	_____	_____	_____	_____

Christine Vershay-Hall, City Clerk

APPROVED THIS _____ DAY OF _____, 2026.

Raymond R. Soliman, Mayor

ATTEST:

Christine Vershay-Hall, City Clerk